

BIRD GARAGE

APN: 103-0-052-035

REVIEWED
FOR
CODE COMPLIANCE
Jun 03, 2024
INTERWEST CONSULTING GROUP

REVISIONS
REVISION 5/7/2023
REVISION 5/26/2023

EXP. DATE: 12-31-2023



CALIFORNIA * NEVADA
PH. 805 - 935 - 1225
PH. 702 - 591 - 1973
E-MAIL: richardcuen@yahoo.com
rmarchitect.com
RICHARD M. CUEN AIA
President

BIRD GARAGE
510 SANTA PAULA STREET
SANTA PAULA, CA 93060
APN: 103-0-052-035

ABBREVIATIONS	ARCHITECTURAL SYMBOLS	SHEET INDEX	BUILDING DATA																		
<p>ADL. ADJUSTABLE A/C AIR CONDITIONING AL. ALUMINUM ALT. ALTERNATE A.B. ANCHOR BOLT & APPROX. APPROXIMATE @ AT</p> <p>BM. BEAM B.M. BEACH MARK BITUM. BITUMINOUS BLK. BLOCK BLKG. BLOCKING BD. BOARD BOT. BOTTOM BLDG. BUILDING</p> <p>CAB. CABINET C.I. CAST IRON CLG. CEILING CEM. CEMENT CTR. CENTER CI. CENTER LINE CER. CERAMIC C.T. CERAMIC TILE CHAN. CHANNEL CLR. CLEAR C.O. CLEAN OUT CLO. CLOSE COL. COLUMN CONC. CONCRETE C.M.U. CONCRETE MASONRY UNIT C.J. CONSTR. JOINT, CONTROL CONT. CONTINUOUS CONTR. CONTRACTOR</p> <p>DEPT. DEPARTMENT DET. DETAIL Ø DIA. DIAMETER DIM. DIMENSION DO. DITTO DR. DOOR DBL. DOUBLE DN. DOEN DWG. DRAWING</p> <p>EA. EACH ELEC. ELECTRICAL EL. ELEVATION EQ. EQUAL EXP. EXPANSION E.J. EXPANSION JOINT EXT. EXTERIOR</p> <p>FT. FEET or FOOT F.F. FINISH FLOOR FL. FLOOR FLUOR. FLUORESCENT FTG. FOOTING FND. FOUNDATION</p> <p>G.C. GENERAL CONTRACTOR GYP. GYPSUM</p> <p>HDWR. HARDWARE HDWD. HARDWOOD HTR. HEATER HGT. HEIGHT H.C. HOLLOW CORE HOEZ. HORIZONTAL H.B. HOSE BIBB H.W. HOT WATER HR. HOUR</p> <p>IN. INCH INSUL. INSULATION INT. INTERIOR INV. INVERT</p> <p>JT. JOINT JST. JOIST</p> <p>KIT. KITCHEN</p> <p>LAM. LAMINATED LAV. LAVATORY LT. LIGHT</p>	<p>GRID NUMBER: Shows a grid with a circle containing a dot and a line pointing to it.</p> <p>GRID LETTER: Shows a grid with a circle containing a letter and a line pointing to it.</p> <p>COLUMN / GRID LINE: Shows a vertical line with a circle containing a dot and a line pointing to it.</p> <p>BUILDING SECTION: Shows a cross-section with a circle containing a dot and a line pointing to it.</p> <p>WALL SECTION: Shows a cross-section with a circle containing a dot and a line pointing to it.</p> <p>DETAIL REFERENCE: Shows a cross-section with a circle containing a dot and a line pointing to it.</p> <p>ROOM NUMBER REFERENCE: Shows a room number with a line pointing to it.</p> <p>DOOR REFERENCE: Shows a door number with a line pointing to it.</p> <p>WINDOW LETTER: Shows a window letter with a line pointing to it.</p> <p>ELEVATION NUMBER: Shows an elevation number with a line pointing to it.</p> <p>WALL SECTION NUMBER: Shows a wall section number with a line pointing to it.</p> <p>ROOM NUMBER: Shows a room number with a line pointing to it.</p> <p>DOOR NUMBER: Shows a door number with a line pointing to it.</p> <p>WINDOW LETTER: Shows a window letter with a line pointing to it.</p> <p>ELEVATION NUMBER: Shows an elevation number with a line pointing to it.</p> <p>NORTH ARROW: Shows a north arrow pointing right.</p> <p>SHEET REFERENCE: Shows a sheet reference with a line pointing to it.</p> <p>DRAWING SCALE: Shows a drawing scale with a line pointing to it.</p> <p>XREF-NAME: Shows an xref-name with a line pointing to it.</p> <p>SHEET NUMBER: Shows a sheet number with a line pointing to it.</p> <p>SHEET DETAIL NUMBER: Shows a sheet detail number with a line pointing to it.</p>	<p>ARCHITECTURAL</p> <p>A0.0 COVER SHEET / GENERAL NOTES A0.1 DETAILS A1.0 SITE PLAN</p> <p>A2.0 FLOOR PLANS A2.1 ROOF & ELECTRICAL PLANS A3.0 PROPOSED EXTERIOR ELEVATIONS A3.1 PROPOSED SECTIONS A4.0 DOOR & WINDOW SCHEDULES</p> <p>APPLICABLE CODES</p> <p>CODES USED SHALL CONFORM TO THE FOLLOWING: ORDINANCE 2022-11 CALIFORNIA BUILDING CODE ORDINANCE 2022-12 CALIFORNIA PLUMBING CODE ORDINANCE 2022-13 CALIFORNIA MECHANICAL CODE ORDINANCE 2022-14 CALIFORNIA ELECTRICAL CODE ORDINANCE 2022-15 CALIFORNIA RESIDENTIAL CODE ORDINANCE 2022-16 CALIFORNIA EXISTING BUILDING CODE ORDINANCE 2022-17 CALIFORNIA FIRE CODE ORDINANCE 2022-18 INTERNATIONAL PROPERTY MAINTENANCE CODE ORDINANCE 2022-19 CALIFORNIA ENERGY CODE, CALIFORNIA GREEN BUILDING STANDARDS CODE, CALIFORNIA REFERENCED STANDARDS CODE, 2022 EDITION OF THE ADMINISTRATIVE CODE AND THE 2022 EDITION OF THE CALIFORNIA HISTORICAL BUILDING CODE</p> <p>BASIS of BEARING</p> <p>THE SCOPE OF WORK FOR THIS PROJECT IS TO PROURE A BUILDING PERMIT FOR CONSTRUCTION OF A DETACHED GARAGE ON A LOT WITH AN EXISTING 4-BEDROOM 2-BATHROOM RESIDENCE. THERE WILL ALSO BE A SMALL UPPER BALCONY AND STORAGE. THE GARAGE WILL BE PROVIDED WITH ELECTRICAL SERVICE AND INCLUDES STORAGE AND AN UPPER BALCONY. THE PROPERTY CURRENTLY HAS NO GARAGE. WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE RESUBMITTED FOR APPROVAL AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS. NOTE: TRUSS CALCULATIONS WILL BE A DEFERRED SUBMITTAL</p> <p>STRUCTURAL ENGINEERING</p> <p>S1 GENERAL NOTES S2 FOUNDATION PLAN S3 FRAMING PLANS HFX1 FOUNDATION DETAILS HFX2 DETAILS</p> <p>AREA CALCULATIONS</p> <table border="1"> <thead> <tr> <th></th> <th>BUILDING</th> <th>NET / GROSS AREA</th> </tr> </thead> <tbody> <tr> <td rowspan="2">EXISTING</td> <td>(E) 2-STORY PRIMARY RESIDENCE</td> <td>2232 Sq.Ft.</td> </tr> <tr> <td>(E) CARPORT</td> <td>372 Sq.Ft.</td> </tr> <tr> <td>TOTAL (E) FLOOR AREA</td> <td>2604 Sq.Ft.</td> </tr> <tr> <td rowspan="4">PROPOSED</td> <td>NEW DETACHED GARAGE</td> <td>1370 Sq.Ft.</td> </tr> <tr> <td>NEW UPPER PORCH</td> <td>101 Sq.Ft.</td> </tr> <tr> <td>NEW UPPER LEVEL STORAGE (NOTE: UPPER LEVEL STORAGE IS NON HABITABLE)</td> <td>1198 Sq.Ft.</td> </tr> <tr> <td>TOTAL PROPOSED ADDITIONAL FLOOR AREA</td> <td>2669 Sq.Ft.</td> </tr> </tbody> </table> <p>PROJECT DESIGN TEAM</p> <p>OWNER: LYNN BIRD 510 SANTA PAULA STREET SANTA PAULA, CA 93060</p> <p>DESIGNER: RICHARD CUEN A.I.A. R.M.C. DESIGN & PLANNING INC. PHONE (805) 395-1225</p> <p>STRUCTURAL ENGINEER: PAUL LOBANO PHONE (818) 203-2527</p> <p>WALKWAYS PORCHES, & HARSCAPED AREAS: 321 Sq.Ft.</p> <p>DRIVEWAY SQ.FT.: 826 Sq.Ft.</p> <p>TOTAL HARSCAPED AREAS: 1147 Sq.Ft.</p> <p>LANDSCAPING SQ.FT. (MIN. REQ. 32% OF LOT): 4345 Sq.Ft. (50% OF LOT)</p>		BUILDING	NET / GROSS AREA	EXISTING	(E) 2-STORY PRIMARY RESIDENCE	2232 Sq.Ft.	(E) CARPORT	372 Sq.Ft.	TOTAL (E) FLOOR AREA	2604 Sq.Ft.	PROPOSED	NEW DETACHED GARAGE	1370 Sq.Ft.	NEW UPPER PORCH	101 Sq.Ft.	NEW UPPER LEVEL STORAGE (NOTE: UPPER LEVEL STORAGE IS NON HABITABLE)	1198 Sq.Ft.	TOTAL PROPOSED ADDITIONAL FLOOR AREA	2669 Sq.Ft.
	BUILDING	NET / GROSS AREA																			
EXISTING	(E) 2-STORY PRIMARY RESIDENCE	2232 Sq.Ft.																			
	(E) CARPORT	372 Sq.Ft.																			
TOTAL (E) FLOOR AREA	2604 Sq.Ft.																				
PROPOSED	NEW DETACHED GARAGE	1370 Sq.Ft.																			
	NEW UPPER PORCH	101 Sq.Ft.																			
	NEW UPPER LEVEL STORAGE (NOTE: UPPER LEVEL STORAGE IS NON HABITABLE)	1198 Sq.Ft.																			
	TOTAL PROPOSED ADDITIONAL FLOOR AREA	2669 Sq.Ft.																			

PRODUCT DATA SHEET

#WD-104
DESIGNER PLUS

weatherdek®

WEATHERDEK DESIGNER PLUS

Weatherdek PLUS Outdoor Vinyl Flooring & Roofing approved membranes are engineered to provide long lasting waterproofing protection for Roof Decks, Sun decks, Balconies, Patios, Walkways and Ramps.

DESIGNER PLUS:

The workhorse of the Weatherdek line, the Designer Plus series offers a selection of pure and organic color tones that blend well in virtually any setting. From a backyard deck in the garden, or a roof top terrace in the heart of downtown, the Designer Plus series has the look to match. For years these patterns have been some of the most popular with homeowners and builders alike, and continue to deliver maintenance free long lasting waterproof protection against the elements.

SPECIFICATIONS:

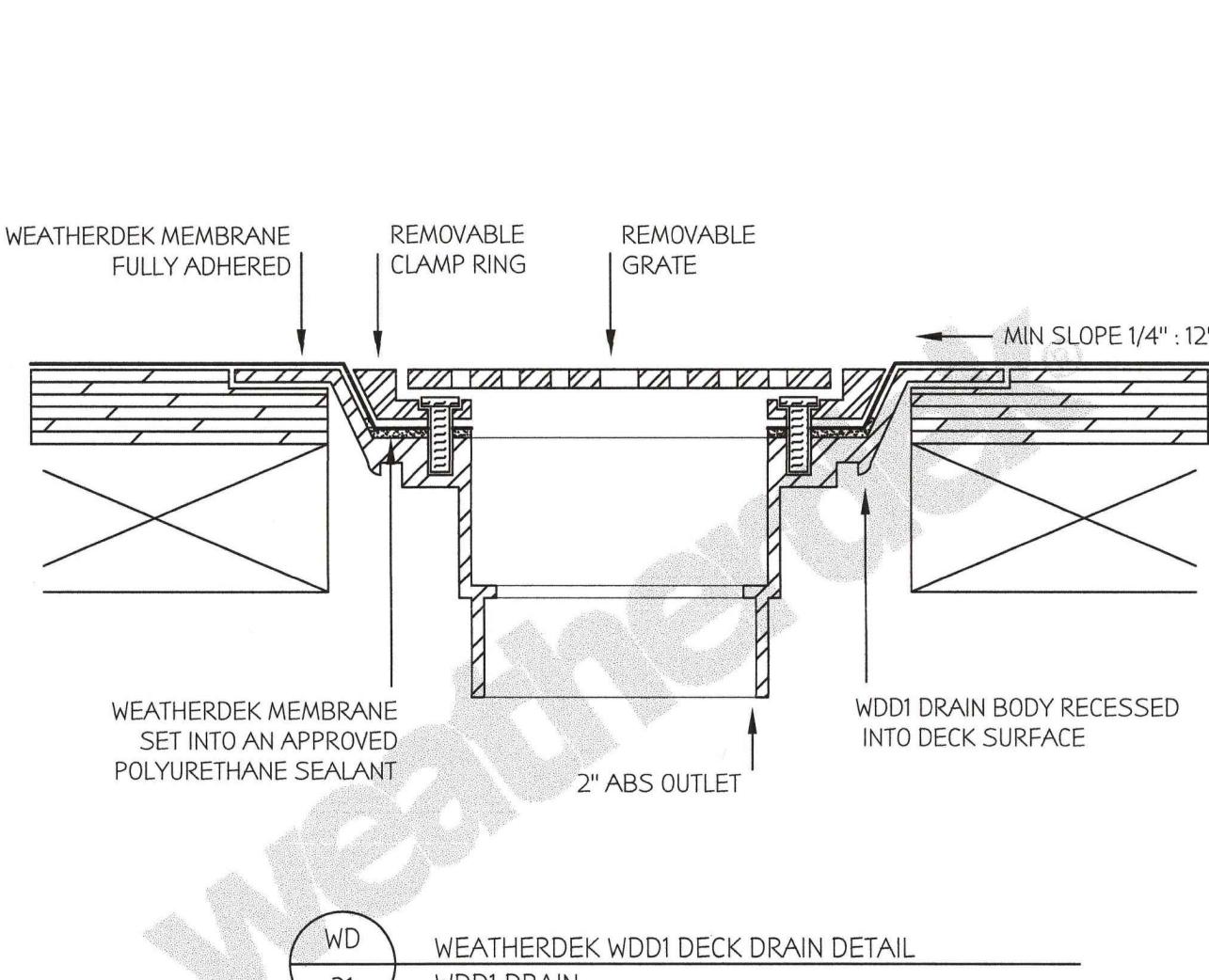
Thickness: 65 mil (1.65mm)
Roll Width: 54 & 72 in (1372/1829mm)
Roll Length: 60/75 ft (18.29/22.86m)
Backing: Woven & Non-Woven Polyester
Complies to: CAN/GSB 37.54
ASTM D 4434
Warranty: 15 Year Limited Warranty
Note: Designer Series also available in 45mil thickness
NICKEL & TUNDRA available in 72" only

Intertek
SPEC ID # 13989
CCMC
REPORT 13606-R
Intertek
VN 17291

Colors shown here may not be properly displayed.
Always choose colors from actual product samples only.

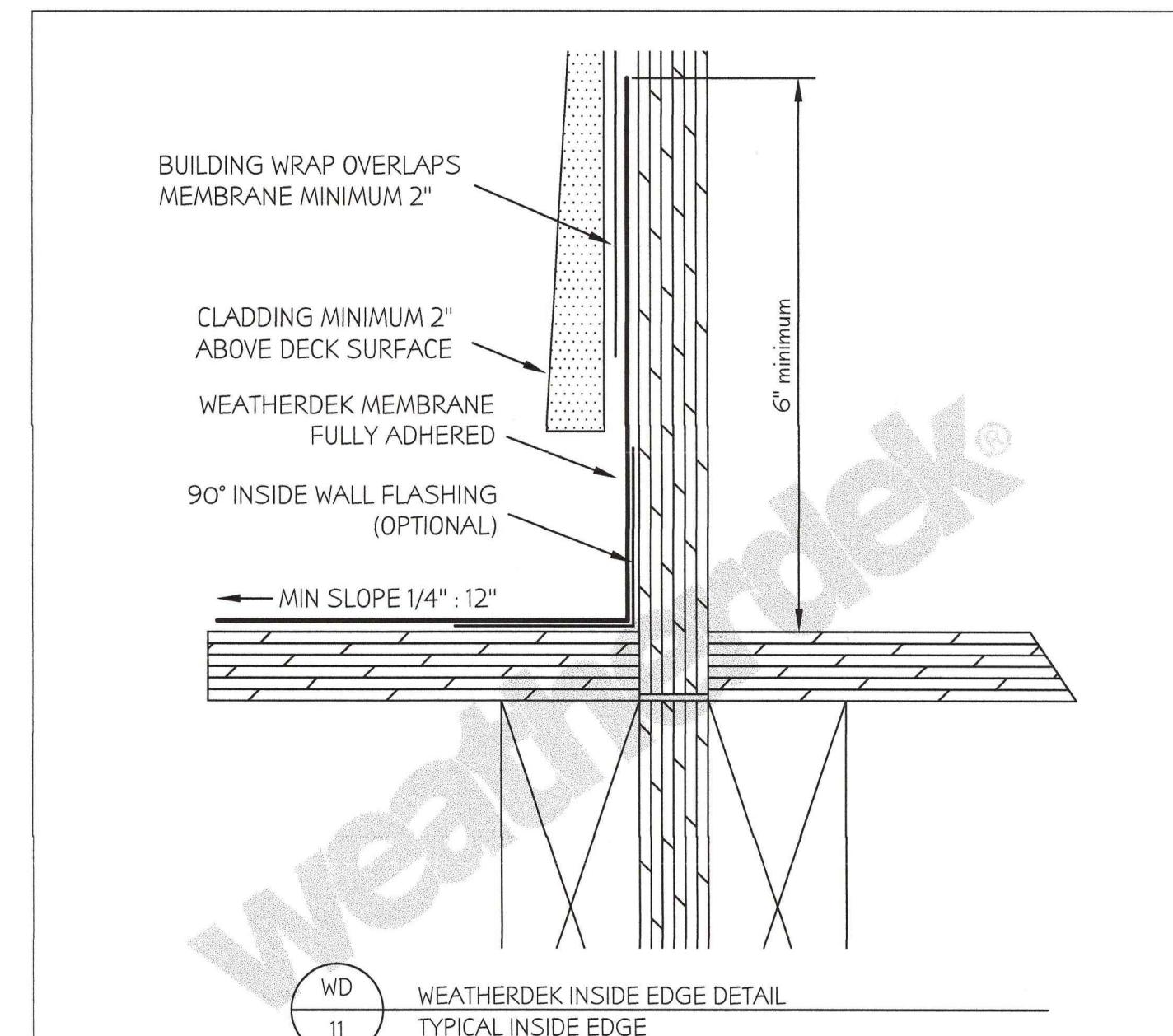
For further information regarding Weatherdek products please contact:
ADS Weatherdek Canada Ltd. at: www.weatherdek.com or 1-800-667-2596

#WD-104, Revised 02/21



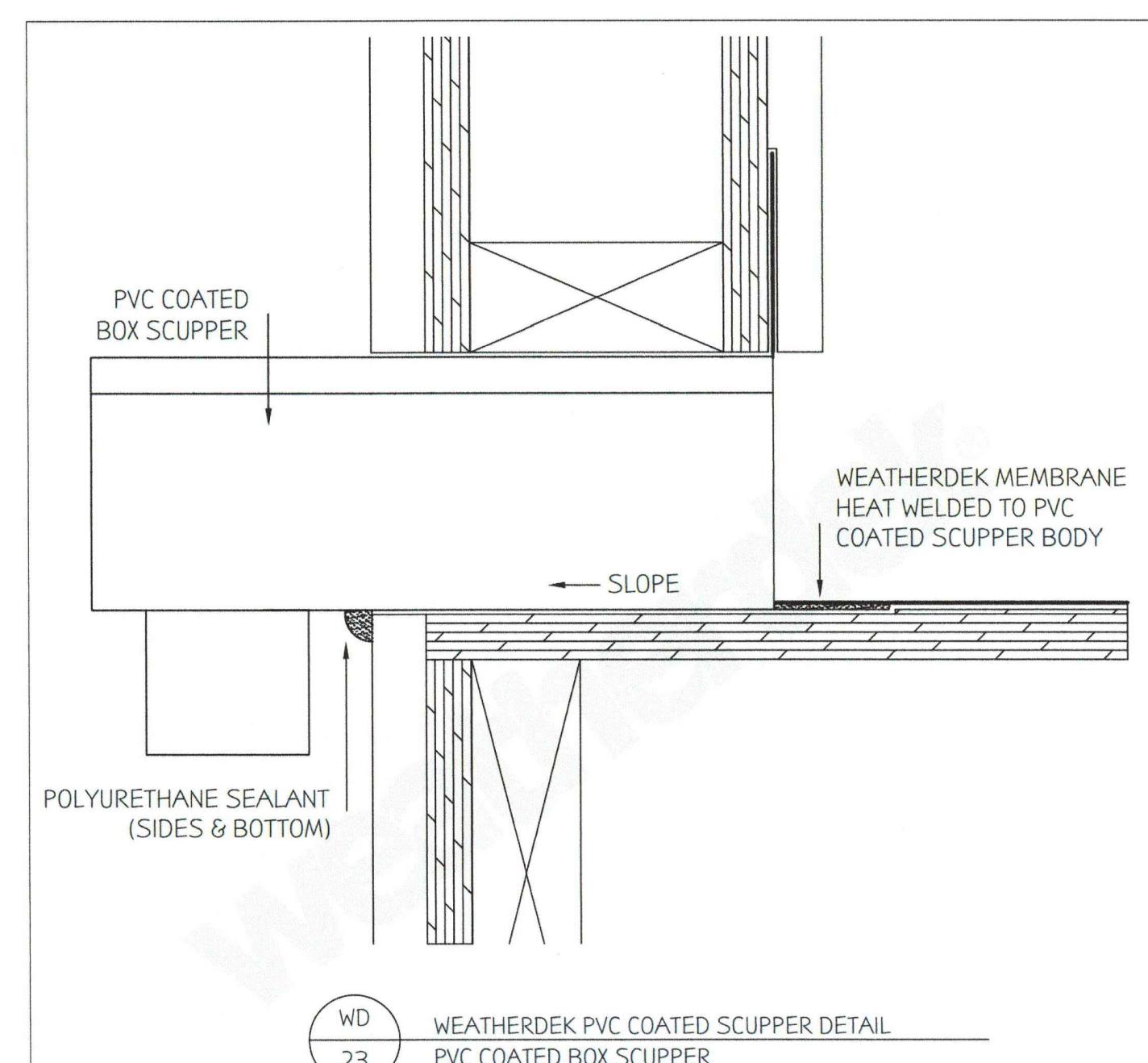
Project: WEATHERDEK DECK DRAIN DETAIL #1	ADS Weatherdek Canada Ltd. 600 Adams Rd Kelowna BC V1X 7S1 Canada Tel: (250) 765-5575 Fax: (250) 765-5548 www.weatherdek.com
Title: WDDI DRAIN	weatherdek®
Date: 05/01/17	Drawing No: WD-21 Scale: NTS

NOTE: Refer to Product Data Sheet WD-401 for WDDI Drain Specifications



Project: WEATHERDEK INSIDE EDGE DETAIL #1	ADS Weatherdek Canada Ltd. 600 Adams Rd Kelowna BC V1X 7S1 Canada Tel: (250) 765-5575 Fax: (250) 765-5548 www.weatherdek.com
Title: TYPICAL INSIDE EDGE	weatherdek®
Date: 30/11/16	Drawing No: WD-11 Scale: NTS

NOTE: AS A SUPPLIER OF MATERIALS ONLY ADS WEATHERDEK DOES NOT ASSUME RESPONSIBILITY FOR ERRORS IN DESIGN OR SITE CONDITIONS. SUITABILITY OF ALL DETAILS SHOULD BE CONFIRMED BY THE ARCHITECT, CONTRACTOR OR OWNERS REPRESENTATIVE.



Project: WEATHERDEK SCUPPER DETAIL	ADS Weatherdek Canada Ltd. 600 Adams Rd Kelowna BC V1X 7S1 Canada Tel: (250) 765-5575 Fax: (250) 765-5548 www.weatherdek.com
Title: PVC COATED BOX SCUPPER	weatherdek®
Date: 05/01/17	Drawing No: WD-23 Scale: NTS

NOTE: Refer to Product Data Sheet WD-402 for PVC Coated Box Scupper Specifications

REVISIONS	REVISION 5/7/2023
	REVISION 5/26/2023
	REVISION 5/2/2023

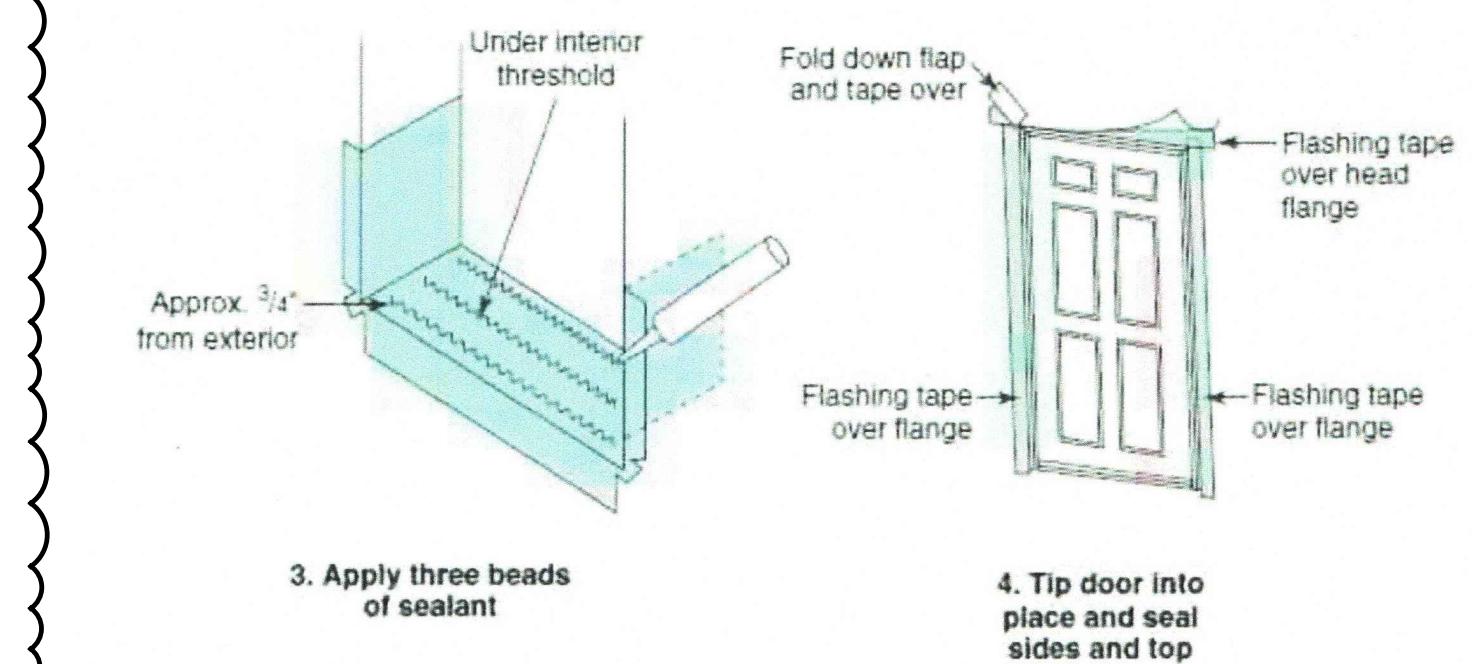
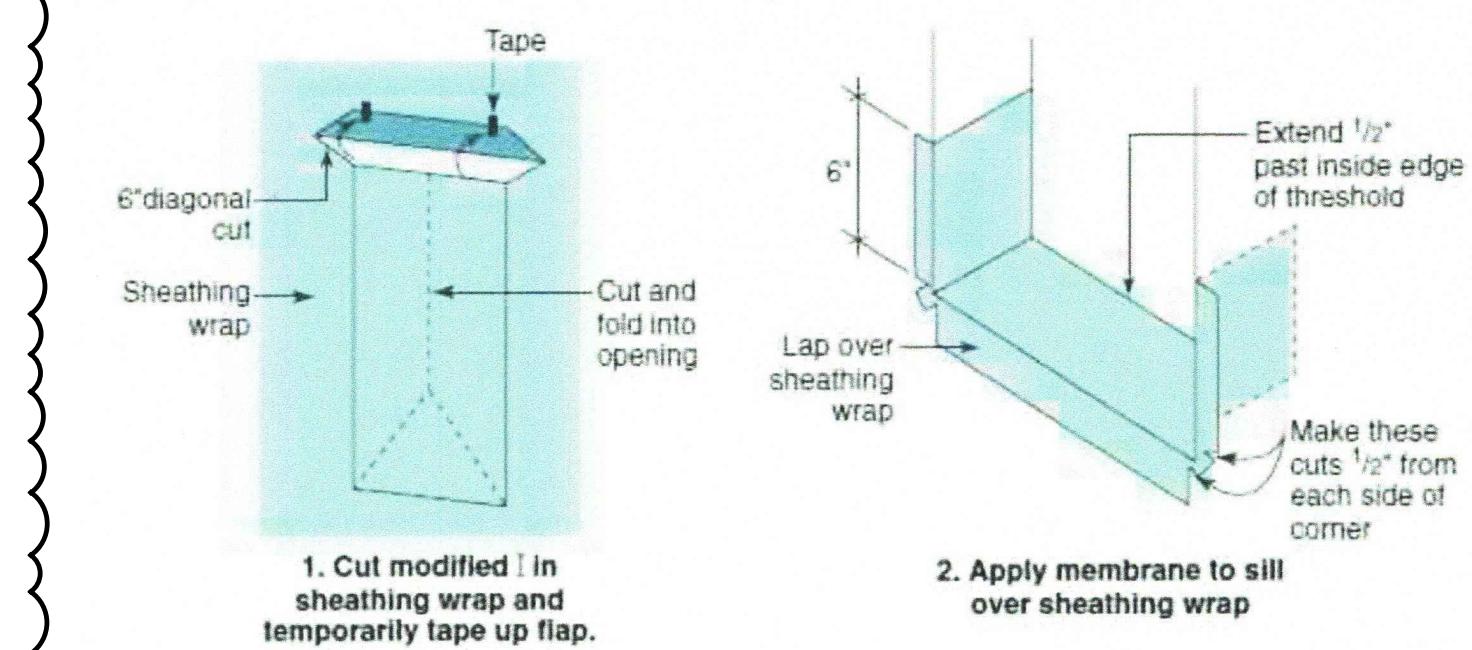
EXP. DATE: 12-31-2023

RMC DESIGN AND PLANNING, INC.
ARCHITECTURE

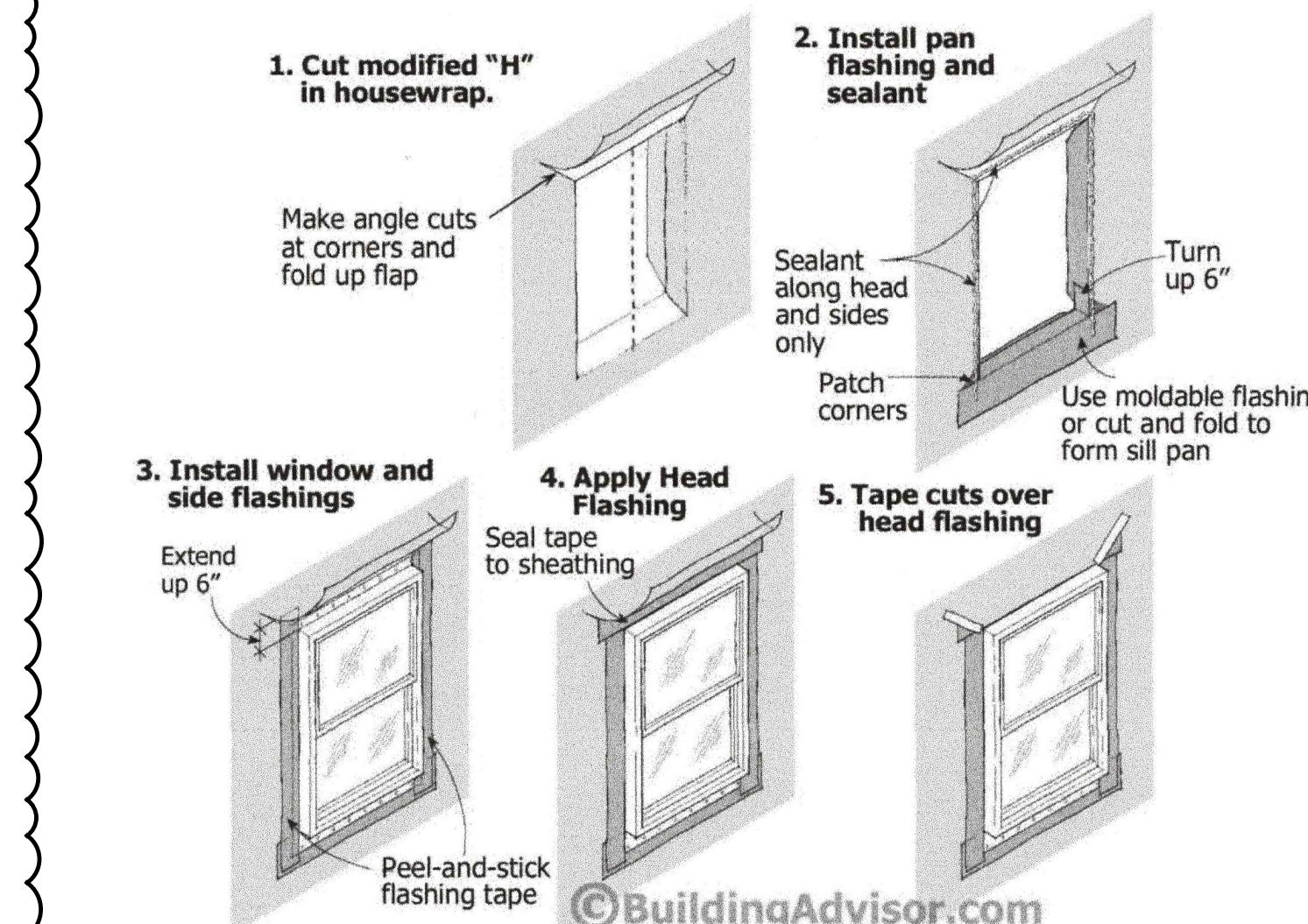
R M C
D & P
I N C

CALIFORNIA * NEVADA
PH. 805 - 935 - 1225
PH. 702 - 591 - 1973
E-MAIL: richardcuena@yahoo.com
rmchairitect.com
RICHARD M. CUENA AIA
President

REVIEWED
FOR
CODE COMPLIANCE
Jun 03, 2024
INTERWEST CONSULTING GROUP



FLASHING AT DOORS



FLASHING AT WINDOWS

3

1
A0.1
SCALE: NTS

BIRD GARAGE
510 SANTA PAULA STREET
SANTA PAULA, CA 93060
APN: 103-0-052-035

ALL RIGHTS RESERVED
RICHARD M. CUENA ARCHITECT
These drawings, specifications, and copies thereof furnished by the architect are and shall remain his sole property. They are to be used only with reference to this project and may not be altered or reproduced without written permission of the architect.

GENERAL NOTES &
DETAILS

JOB # 2023-1

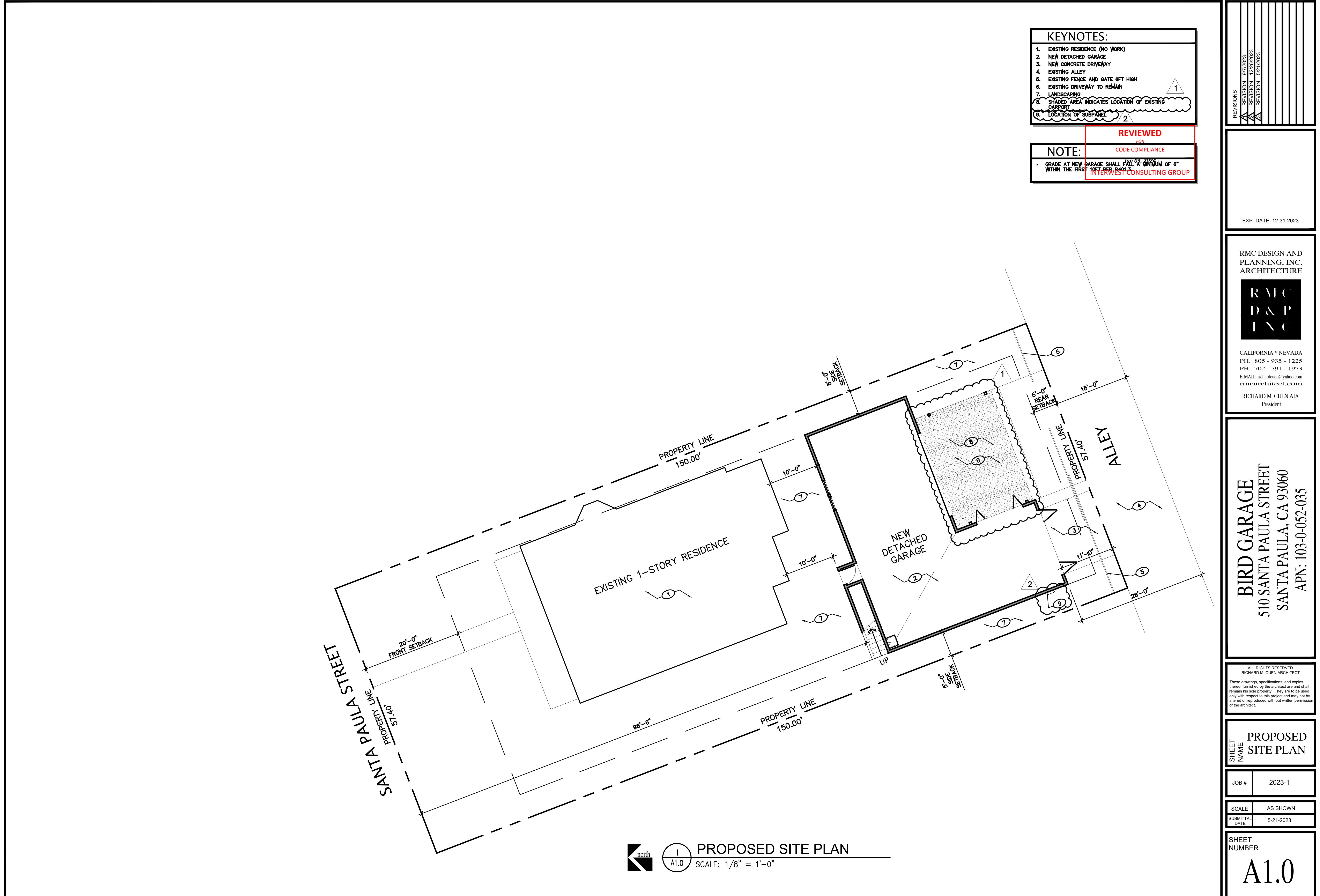
SCALE AS SHOWN

SUBMITTAL DATE 5-21-2023

SHEET NUMBER

A0.1

©BuildingAdvisor.com



UPPER FLOOR NOTES:

1. STAIR WITH 17 RISERS AT 7" HIGH AND 12" TREADS. WOOD TREADS OVER WATERPROOF MEMBRANE. LOW WALL GUARDRAIL TO BE 36" ABOVE TREAD NOSING AND CONFORM W/ R311.7.8.3
2. DRAINAGE SCUPPERS AT BALCONY
3. NEW BALCONY WITH WATERPROOF MEMBRANE AND TILE OVER
4. CLASS 'A' ASPHALT SHINGLE ROOFING TO MATCH EXISTING HOUSE
5. EXISTING CARPORT ROOF BELOW
6. LINE OF ROOF OVERHANG ABOVE
7. DORMER ABOVE
8. 4x4 WOOD POSTS
9. DORMER
10. UTILITY SINK, SEE PLUMBING DWGS'
11. LOCATION OF SUBPANEL

LEGEND

NEW WALL

LOWER FLOOR NOTES:

1. STAIR WITH 17 RISERS AT 7" HIGH AND 12" TREADS. WOOD TREADS OVER WATERPROOF MEMBRANE. LOW WALL GUARDRAIL TO BE 36" ABOVE TREAD NOSING AND CONFORM W/ R311.7.8.3
2. EXISTING CARPORT TO REMAIN
3. NEW BALCONY WITH WEATHERDEK WATERPROOF MEMBRANE AND TILE OVER. SEE DETAILS ON SHEET A0.1
4. CONCRETE SLAB FLOOR
5. NEW CONCRETE DRIVEWAY TO EXISTING ALLEYWAY
6. LINE OF EXISTING CARPORT ROOF ABOVE
7. NEW GATE AT DRIVEWAY
8. EXISTING STEEL COLUMNS FOR EXISTING CARPORT TO REMAIN
9. EXISTING 6FT HIGH FENCE
10. UTILITY SINK, SEE PLUMBING DWGS'

REVIEWED

FOR

CODE COMPLIANCE

Jun 03, 2024

INTERWEST CONSULTING GROUP

EXP. DATE: 12-31-2023

RMC
D&P
INC.

CALIFORNIA * NEVADA
PH. 805 - 935 - 1225
PH. 702 - 591 - 1973
E-MAIL: richardcu@ yahoo.com
rmarchitect.com
RICHARD M. CUEN AIA
President

BIRD GARAGE
510 SANTA PAULA STREET
SANTA PAULA, CA 93060
APN: 103-0-052-035

ALL RIGHTS RESERVED
RICHARD M. CUEN ARCHITECT
These drawings, specifications, and copies thereof furnished by the architect are to and shall remain his sole property. They are to be used only with reference to this project and may not be altered or reproduced without written permission of the architect.

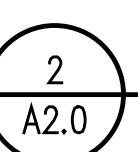
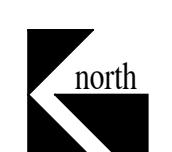
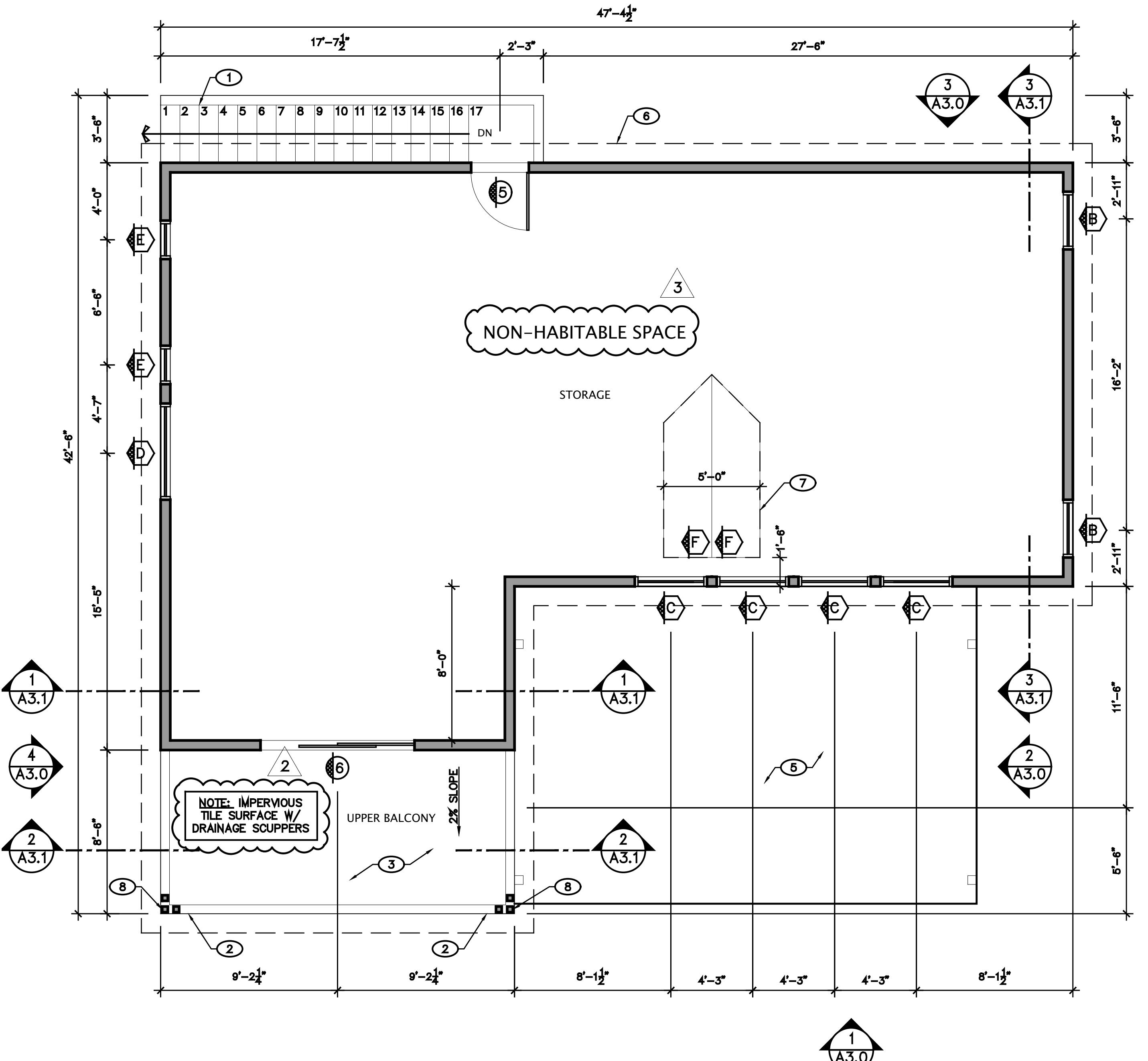
FLOOR
PLANS

SHEET
NAME
JOB # 2023-1

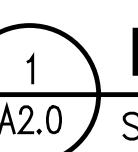
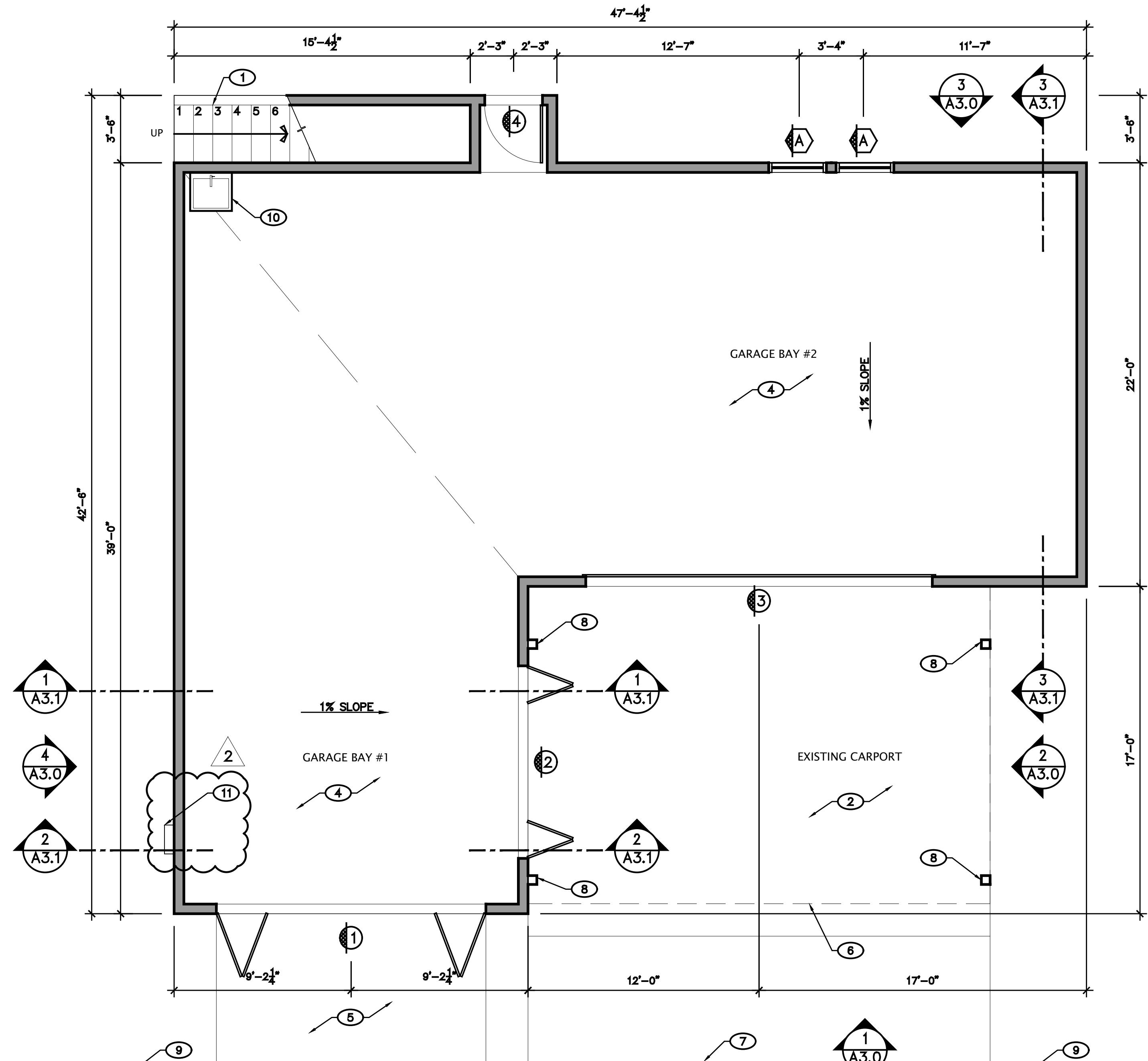
SCALE AS SHOWN
SUBMITTAL
DATE 5-21-2023

SHEET
NUMBER

A2.0



PROPOSED UPPER FLOOR PLAN
2 A2.0 SCALE: 1/4 = 1'-0"

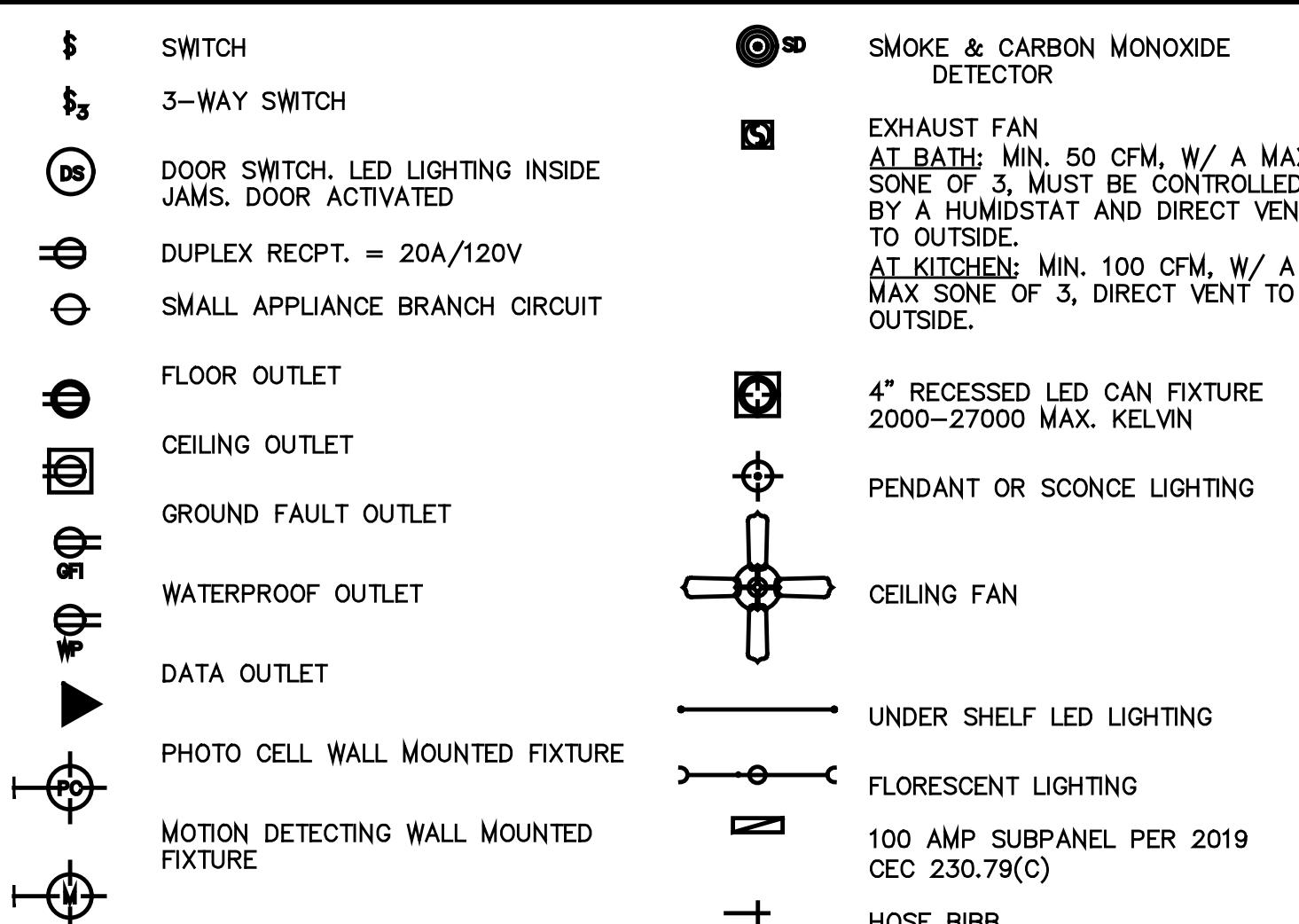


PROPOSED LOWER FLOOR PLAN
1 A2.0 SCALE: 1/4 = 1'-0"

GENERAL NOTES

- SMOKE DETECTORS SHALL NOT BE INCLUDED ON ARC FAULT PROTECTED CIRCUITS.
- ALL ELECTRICAL TO CONFORM TO THE 2017 NEC W/ CALIFORNIA AMENDMENTS
- ALL INTERIOR LIGHT FIXTURES TO BE SELECTED BY DESIGNER
- SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LOCATED IN ACCORDANCE WITH SECTION R314.3.1 AS AMENDED
- ALL RECESSED CAN LIGHTS ARE 4" DIAMETER, WHITE COLE, WHITE TRIM. DESIGNED FOR LED.
- ALL SWITCHES AND OUTLETS TO BE WHITE DACOR SLIDE DIMMERS
- ALL LIGHTING FIXTURES TO BE SELECTED BY DESIGNER.
- ALL LIGHTING TO BE ON DIMMERS. LUTRON
- ALL DIMMERS TO BE RATED FOR LED LIGHTING
- NOT USED.
- POWER TO BE PROVIDED BEHIND ALL BATHROOM MIRRORS. MIRRORS TO POP OUT +2" FROM BACK AND WALLS
- PROVIDE POWER TO ALL WINDOW LOCATIONS FOR ROLLER SHADES
- ALL INSTALLED LIGHTING MUST BE HIGH EFFICACY PER TABLE 150.0-A, 2019 CALIFORNIA ENERGY CODE TABLE 150.0
- LIGHTING IN BATHROOMS SHALL BE HIGH EFFICACY AND AT LEAST ONE FIXTURE IN EACH BATHROOM SHALL BE CONTROLLED BY A VACANCY SENSOR. 2019 CALIFORNIA ENERGY CODE 150(K) 5
- LIGHTING IN GARAGES, LAUNDRY ROOMS, CLOSETS AND UTILITY ROOMS SHALL BE HIGH EFFICACY AND AT LEAST ONE LIGHT FIXTURE INSTALLED SHALL BE CONTROLLED BY A VACANCY SENSOR. 2019 CALIFORNIA ENERGY CODE 150(K) 2.J
- LIGHTING IN ROOMS OTHER THAN BATHROOMS, GARAGES, LAUNDRY ROOMS & UTILITY ROOMS SHALL BE HIGH EFFICACY LUMINAIRES. 2019 CALIFORNIA ENERGY CODE 150(K) 7
- LUMINAIRES RECESSED INTO INSULATED CEILINGS SHALL NOT CONTAIN SCREW BASE SOCKETS AND SHALL BE APPROVED FOR ZERO CLEARANCE INSULATION COVER (IC) BY U.L. OR OTHER TESTING LAB RECOGNIZED BY BUILDING OFFICIAL AND SHALL BE CERTIFIED AIR TIGHT TO SHOW NO LEAKAGE LESS THAN 2.0 CFM AT 0.1 IN. P.D. IN ACCORDANCE WITH ASTM E282 AND SEALED WITH A GASKET OR CAULK BETWEEN HOUSING AND CEILING. CALIFORNIA ENERGY CODE 150(K)
- LUMINAIRES / SCREW BASED SOCKETS SHALL MEET THE FOLLOWING REQUIREMENTS:
 - THE LUMINAIRE SHALL NOT BE A RECESSED DOWN-LIGHT IN A CEILING;
 - THE LUMINAIRE SHALL CONTAIN LAMPS THAT COMPLY WITH REFERENCE JOINT APPENDIX JA7; AND THE INSTALLED LAMPS SHALL BE MARKED WITH "JA8-2016" OR "JA8-2016-R" AS SPECIFIED IN REFERENCE JOINT APPENDIX JA8.
- DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JA8.
- PERMANENTLY INSTALLED OUTDOOR LIGHTS ON BUILDINGS SHALL BE HIGH EFFICACY AND THEY SHALL BE CONTROLLED BY A MOTION SENSOR WITH INTEGRAL PHOTOCODE CERTIFIED TO COMPLY W/ THE 2019 CALIFORNIA ENERGY CODE 150(K) 9 A
- VENT FANS MUST BE SWITCHED SEPARATELY FROM LIGHTING. 2019 CALIFORNIA ENERGY CODE 150(K) 2B

LEGEND



ROOF NOTES:

- STAIR WITH 17 RISERS AT 7" HIGH AND 12" TREADS. WOOD TREADS OVER WATERPROOF MEMBRANE. LOW WALL GUARDRAIL TO BE 36" ABOVE TREAD NOSING AND CONFORM W/ R311.7.8.3
- EXISTING CARPORT BELOW TO REMAIN
- GUTTERS & DOWNSPOUTS, TYP.
- CLASS 'A' ASPHALT SHINGLE ROOFING TO MATCH EXISTING HOUSE

REVIEWED
FOR
CODE COMPLIANCE
Jun 03, 2024
INTERWEST CONSULTING GROUP

REVISIONS
REV 07/20/23
REV 12/26/23
REV 5/2/23

RMC
D & P
INC

CALIFORNIA * NEVADA
PH. 805 - 935 - 1225
PH. 702 - 591 - 1973
E-MAIL: richardcuen@yahoo.com
rmcaarchitect.com
RICHARD M. CUEN AIA
President

BIRD GARAGE
510 SANTA PAULA STREET
SANTA PAULA, CA 93060
APN: 103-0-052-035

ALL RIGHTS RESERVED
RICHARD M. CUEN ARCHITECT
These drawings, specifications, and copies thereof furnished by the architect are and shall remain his sole property. They are to be used only with reference to this project and may not be altered or reproduced without written permission of the architect.

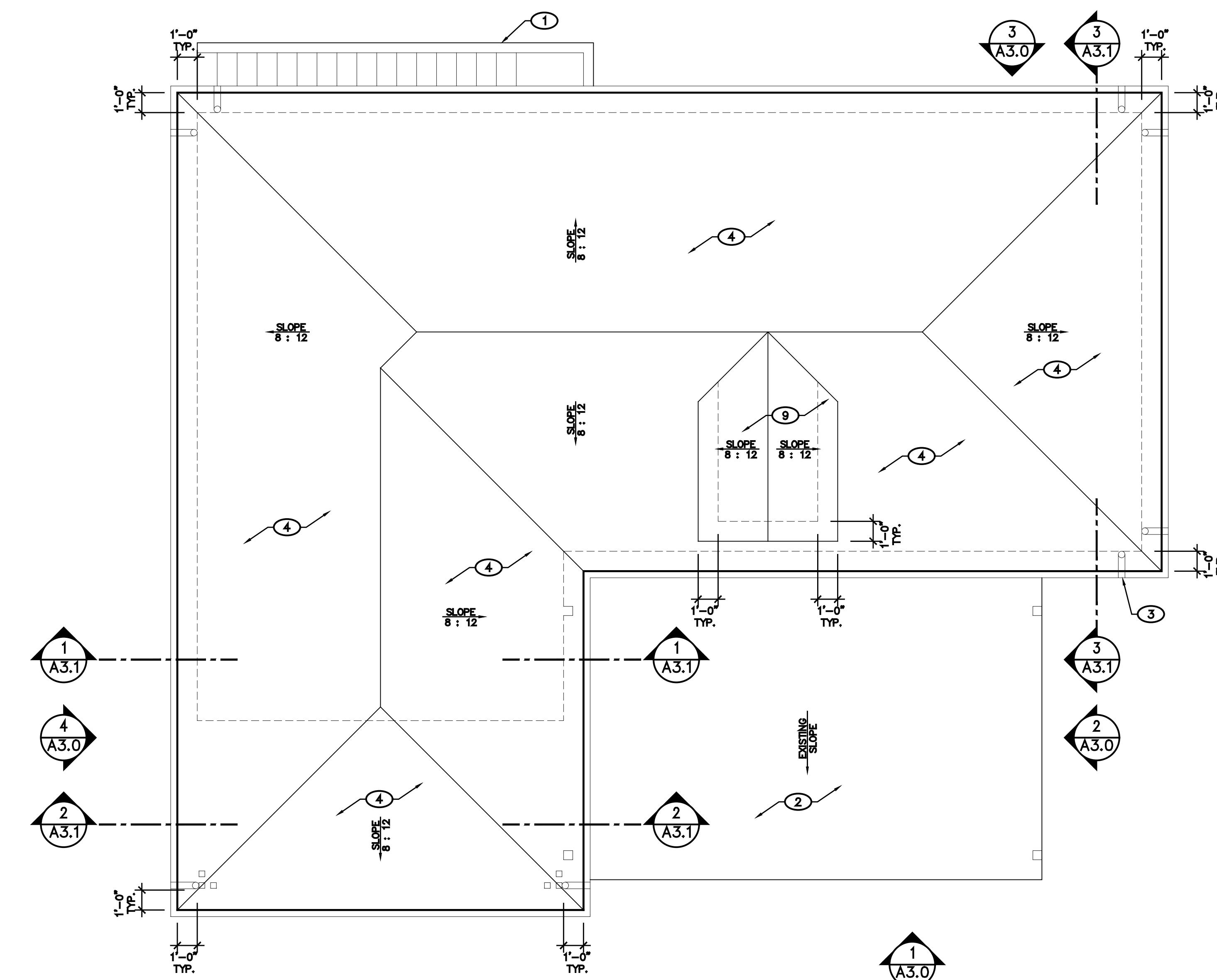
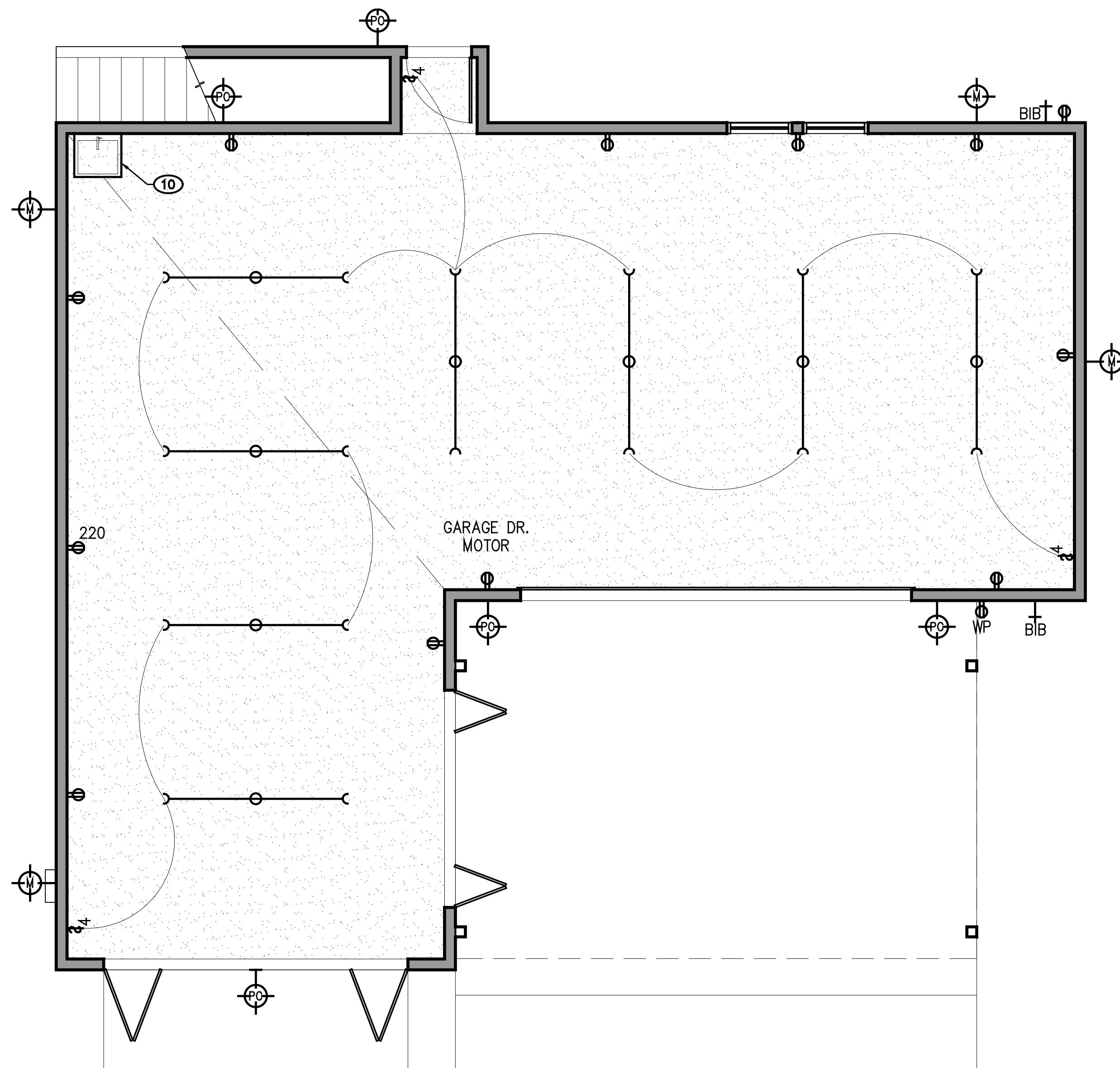
ROOF &
ELECTRICAL
PLANS

JOB # 2023-1

SCALE AS SHOWN
SUBMITTAL DATE 5-21-2023

SHEET NUMBER

A2.1



2
A2.1

SCALE: 1/4 = 1'-0"



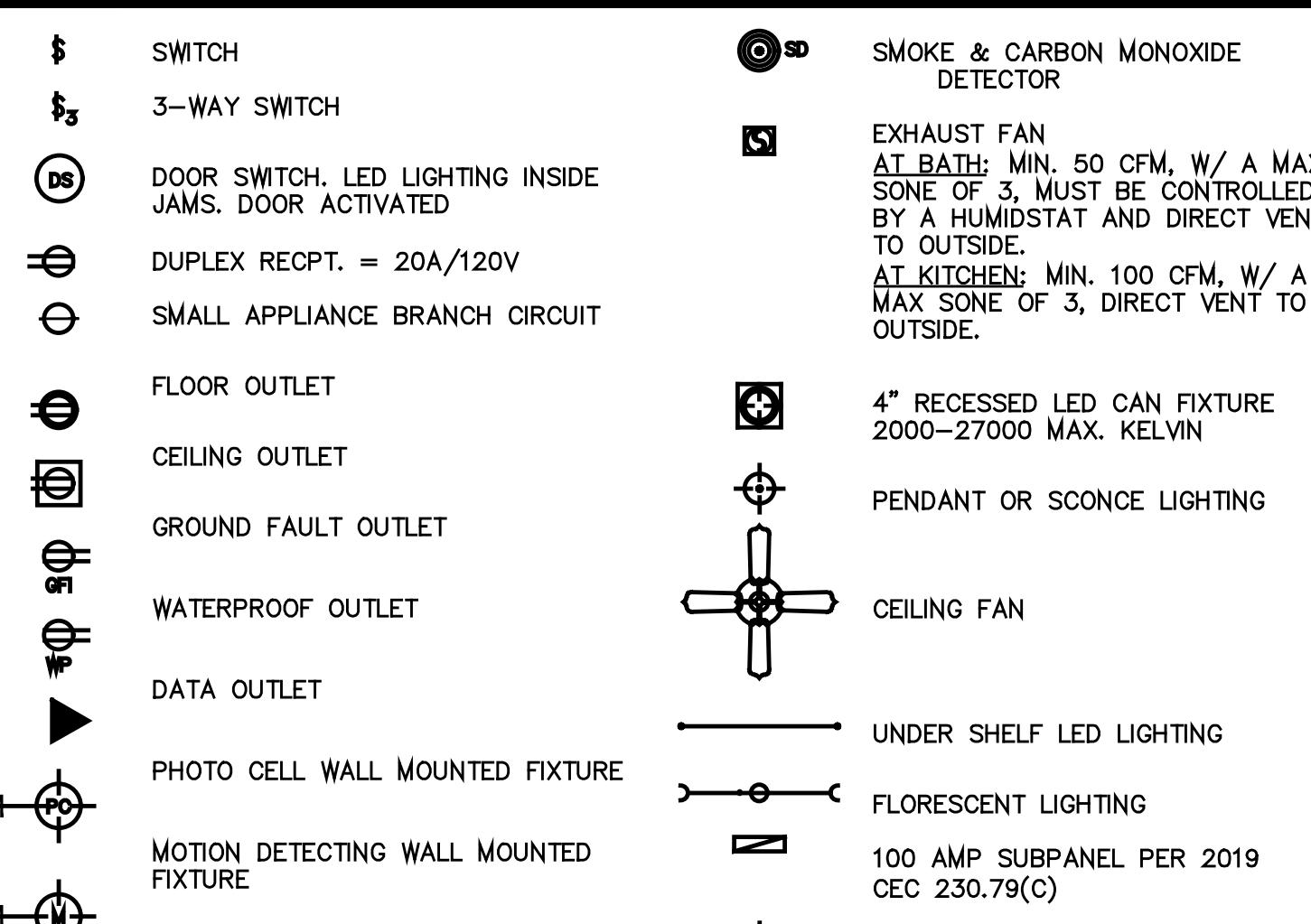
1
A2.1

SCALE: 1/4 = 1'-0"

GENERAL NOTES

- SMOKE DETECTORS SHALL NOT BE INCLUDED ON ARC FAULT PROTECTED CIRCUITS.
- ALL ELECTRICAL TO CONFORM TO THE 2017 NEC W/ CALIFORNIA AMENDMENTS
- ALL INTERIOR LIGHT FIXTURES TO BE SELECTED BY DESIGNER
- SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LOCATED IN ACCORDANCE WITH SECTION R314.3.1 AS AMENDED
- ALL RECESSED CAN LIGHTS ARE 4" DIAMETER, WHITE COLE, WHITE TRIM. DESIGNED FOR LED.
- ALL SWITCHES AND OUTLETS TO BE WHITE DACOR SLIDE DIMMERS
- ALL LIGHTING FIXTURES TO BE SELECTED BY DESIGNER
- ALL LIGHTING TO BE ON DIMMERS. LUTRON
- ALL DIMMERS TO BE RATED FOR LED LIGHTING
- NOT USED.
- POWER TO BE PROVIDED BEHIND ALL BATHROOM MIRRORS. MIRRORS TO POP OUT +2" FROM BACK AND WALLS
- PROVIDE POWER TO ALL WINDOW LOCATIONS FOR ROLLER SHADES
- ALL INSTALLED LIGHTING MUST BE HIGH EFFICACY PER TABLE 150.0-A, 2019 CALIFORNIA ENERGY CODE TABLE 150.0
- LIGHTING IN BATHROOMS SHALL BE HIGH EFFICACY AND AT LEAST ONE FIXTURE IN EACH BATHROOM SHALL BE CONTROLLED BY A VACANCY SENSOR. 2019 CALIFORNIA ENERGY CODE 150(K) 5
- LIGHTING IN GARAGES, LAUNDRY ROOMS, CLOSETS AND UTILITY ROOMS SHALL BE HIGH EFFICACY AND AT LEAST ONE LIGHT FIXTURE INSTALLED SHALL BE CONTROLLED BY A VACANCY SENSOR. 2019 CALIFORNIA ENERGY CODE 150(K) 2J
- LIGHTING IN ROOMS OTHER THAN BATHROOMS, GARAGES, LAUNDRY ROOMS & UTILITY ROOMS SHALL BE HIGH EFFICACY LUMINAIRES. 2019 CALIFORNIA ENERGY CODE 150(K) 7
- LUMINAIRES RECESSED INTO INSULATED CEILINGS SHALL NOT CONTAIN SCREW BASE SOCKETS AND SHALL BE APPROVED FOR ZERO CLEARANCE INSULATION COVER (IC) BY U.L. OR OTHER TESTING LAB RECOGNIZED BY BUILDING OFFICIAL, AND SHALL BE CERTIFIED AIR TIGHT TO SHOW AIR LEAKAGE LESS THAN 2.0 CFM AT 0.1 IN. OF WATER ACCORDING WITH ASTM E283 AND SEALED WITH A GASKET OR CAULK BETWEEN HOUSING AND CEILING. CALIFORNIA ENERGY CODE 150(K)
- LUMINAIRES w/ SCREW BASED SOCKETS SHALL MEET THE FOLLOWING REQUIREMENTS:
 - THE LUMINAIRE SHALL NOT BE A RECESSED DOWN-LIGHT IN A CEILING; AND
 - THE LUMINAIRE SHALL CONTAIN LAMPS THAT COMPLY WITH REFERENCE JOINT APPENDIX JA7; AND
 - THE INSTALLED LAMPS SHALL BE F

LEGEND



ROOF NOTES:

- STAIR WITH 17 RISERS AT 7" HIGH AND 12" TREADS, WOOD TREADS OVER WATERPROOF MEMBRANE, LOW WALL GUARDRAIL TO BE 36" ABOVE TREAD NOSING AND CONFORM W/ R311.7.8.3
- EXISTING CARPORT BELOW TO REMAIN
- GUTTERS & DOWNSPOUTS, TYP.
- CLASS 'A' ASPHALT SHINGLE ROOFING TO MATCH EXISTING HOUSE

REVIEWED
FOR
CODE COMPLIANCE
Jun 03, 2024
INTERWEST CONSULTING GROUP

REVISIONS
REV 07/20/23

REV 12/26/2023

RMC
D&P
INC

CALIFORNIA * NEVADA
PH. 805 - 935 - 1225
PH. 702 - 591 - 1973
E-MAIL: richardcu@ yahoo.com
rmchairt.com
RICHARD M. CUEN AIA
President

BIRD GARAGE
510 SANTA PAULA STREET
SANTA PAULA, CA 93060
APN: 103-0-052-035

ALL RIGHTS RESERVED
RICHARD M. CUEN ARCHITECT
These drawings, specifications, and copies thereof furnished by the architect are and shall remain his sole property. They are to be used only with reference to this project and may not be altered or reproduced without written permission of the architect.

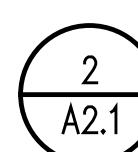
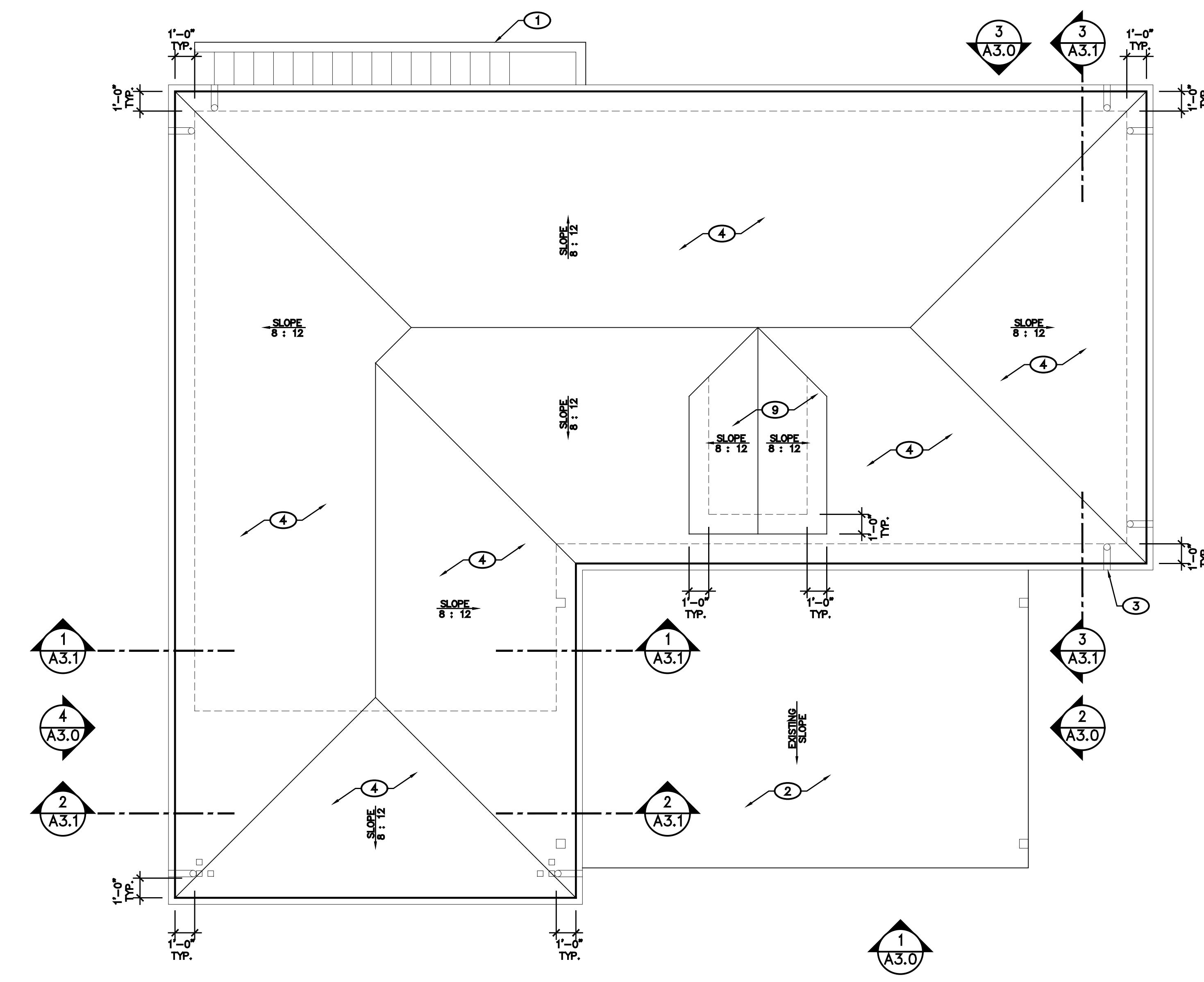
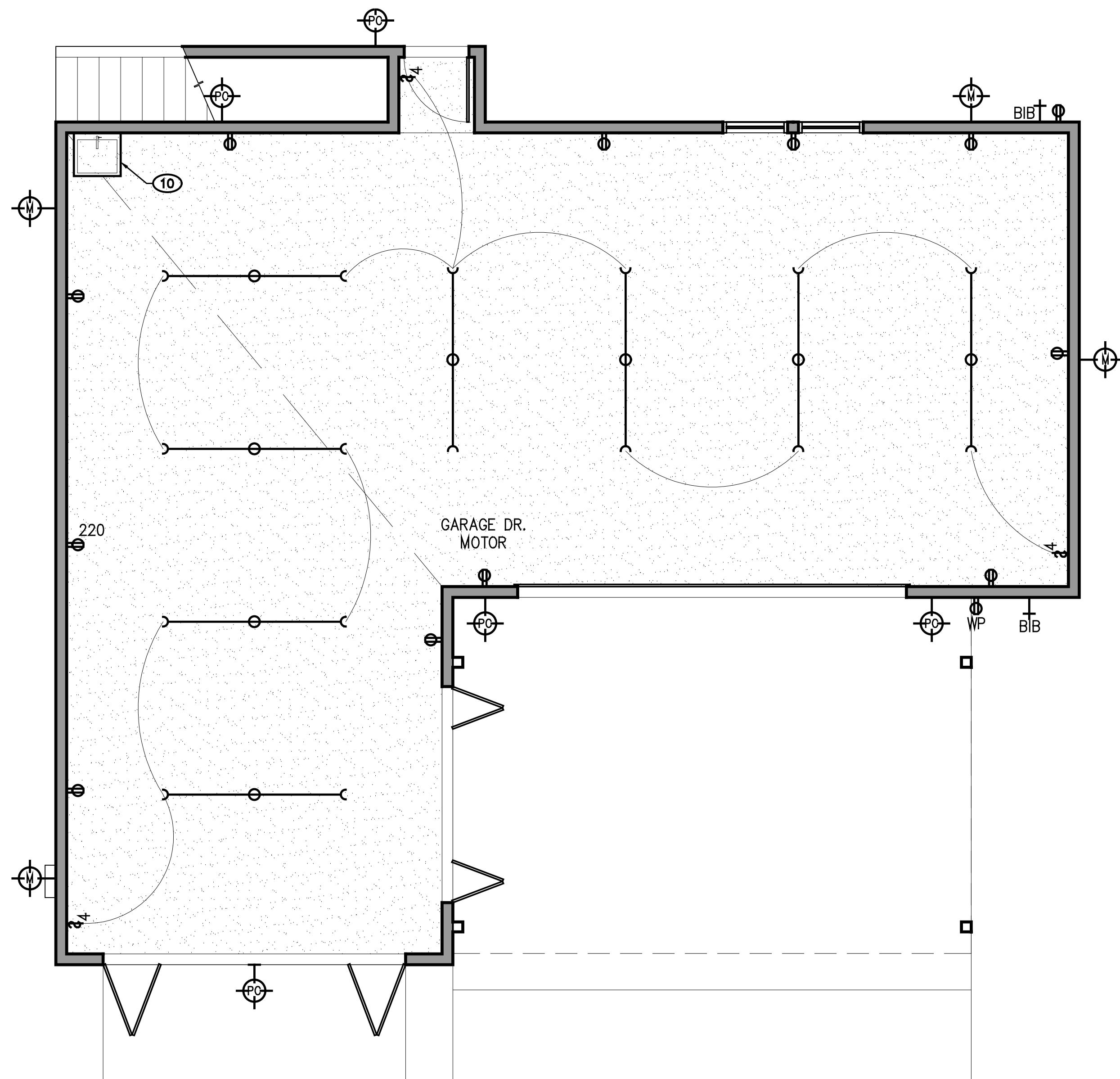
ROOF &
ELECTRICAL
PLANS

JOB # 2023-1

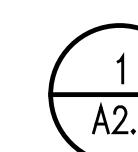
SCALE AS SHOWN
SUBMITTAL DATE 12-26-2023

SHEET NUMBER

A2.1



LOWER FLOOR ELECTRICAL PLAN
SCALE: 1/4 = 1'-0"



ROOF PLAN
SCALE: 1/4 = 1'-0"

KEYNOTES:

1. EXISTING CARPORT TO REMAIN
2. NEW EXTERIOR WOOD FRAMED STAIRS TO HAVE WATERPROOF MEMBRANE AND TILE OVER, WITH 36" HIGH GUARDRAIL
3. NEW UPPER PORCH WITH 4x4 COLUMNS
4. NEW DORMER, DETAILING TO MATCH DORMERS AT EXISTING HOUSE
5. DRAINAGE SCUPPERS AT BALCONY

REVISIONS

REV. 5/7/2023

REV. 5/26/2023

REV. 5/2/2023

EXP. DATE: 12-31-2023

RMC
DESIGN AND
PLANNING, INC.
ARCHITECTURE

R M C
D E S I G N
A N D P L A N N I N G
I N C

CALIFORNIA * NEVADA
PH. 805 - 935 - 1225
PH. 702 - 591 - 1973
E-MAIL: richardcuen@yahoo.com
rmchairitect.com

RICHARD M. CUEN AIA
President

BIRD GARAGE
510 SANTA PAULA STREET
SANTA PAULA, CA 93060
APN: 103-0-052-035

GENERAL NOTES:

1. ALL EXTERIOR SIDING, EAVES, FASCIA, DORMERS AND TRIM TO MATCH EXISTING HOUSE

LEGEND

- (A) CLASS 'A' ASPHALT SHINGLE ROOFING TO MATCH EXISTING HOUSE
- (B) WOOD LAP SIDING OVER MOISTURE BARRIER TO MATCH EXISTING HOUSE

PROVIDE APPROVED CORROSION RESISTANT FLASHING SHALL BE APPLIED SHINGLE FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS.

MINIMUM 0.019" (GALVANIZED SHEET GAGE) CORROSION RESISTANT OR PLASTIC WEEP SCREEN LOCATED BELOW FOUNDATION SILL PLATE LINE AND 4 INCHES ABOVE GRADE ON ALL EXTERIOR STUD WALLS OR 2 INCHES ABOVE PAVED AREAS PER CRC R703.7.2.1.

A MINIMUM OF ONE LAYERS OF NO. 15 ASPHALT FELT, FREE FROM HOLES AND BREAKS, COMPLYING WITH ASTM D226 OR TYPE I FELT SHALL BE APPLIED OVER STUDS OR SHEATHING OF ALL EXTERIOR STUDS, CRC R703.2. TWO LAYERS OF GRADE D OR 60 MINUTES GRADE D PAPER SHALL BE APPLIED OVER ALL WOOD-BASED SHEATHING, CRC R703.2.

REQUIRED GUARDS AT OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, PORCHES, BALCONIES OR LANDINGS, SHALL BE NOT LESS THAN 42 INCHES IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE OR THE LINE CONNECTING THE LEADING EDGES OF THE TREADS. 2049 CRC SECTION R312.

REVIEWED

FOR

CODE COMPLIANCE

Jun 03, 2024

INTERWEST CONSULTING GROUP

ALL RIGHTS RESERVED
RICHARD M. CUEN ARCHITECT
These drawings, specifications, and copies thereof furnished by the architect are and shall remain his sole property. They are to be used only with reference to this project and may not be altered or reproduced without our written permission of the architect.

PROPOSED
ELEVATIONS

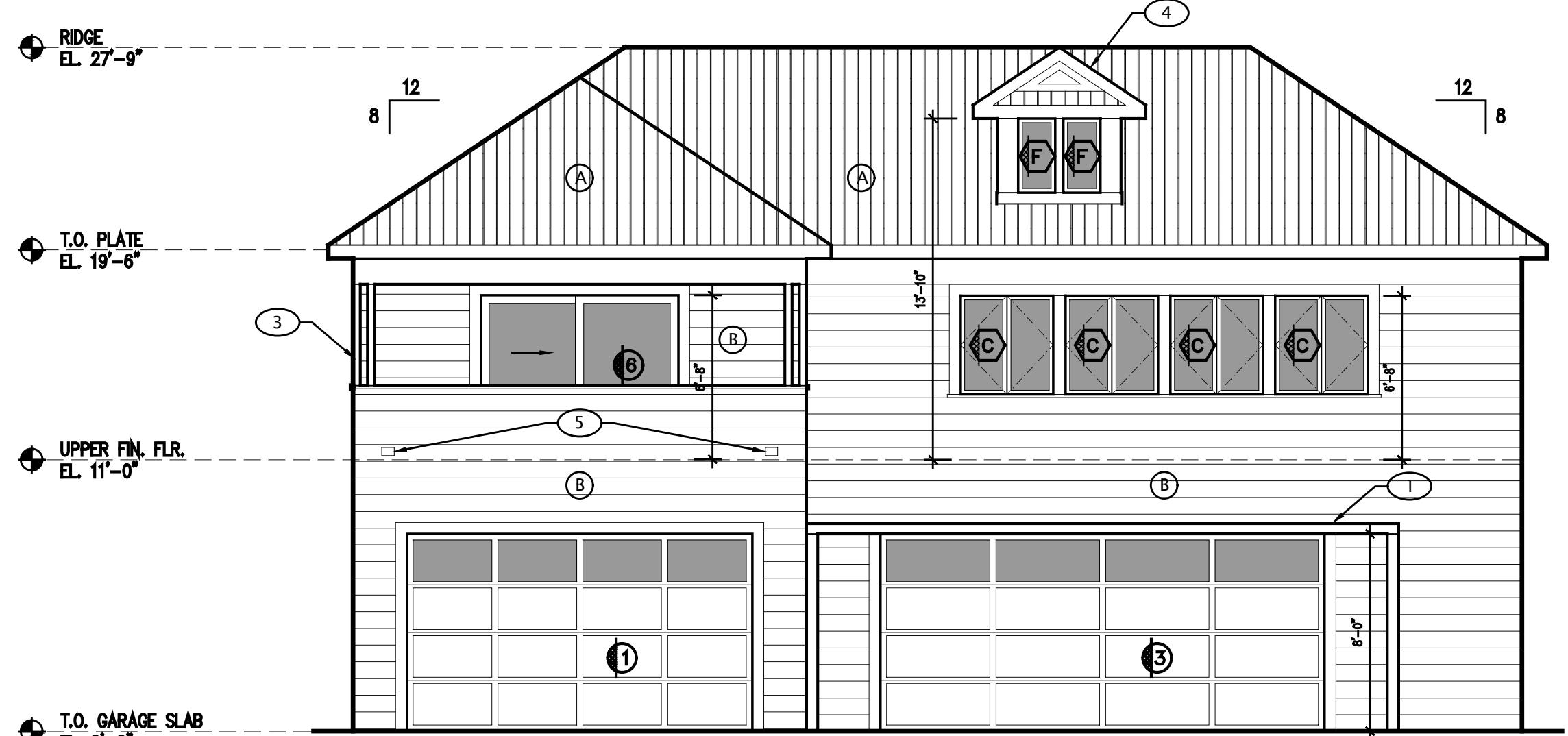
JOB # 2023-1

SCALE AS SHOWN

SUBMITTAL DATE 5-21-2023

SHEET NUMBER

A3.0



1 PROPOSED ELEVATION

A3.0

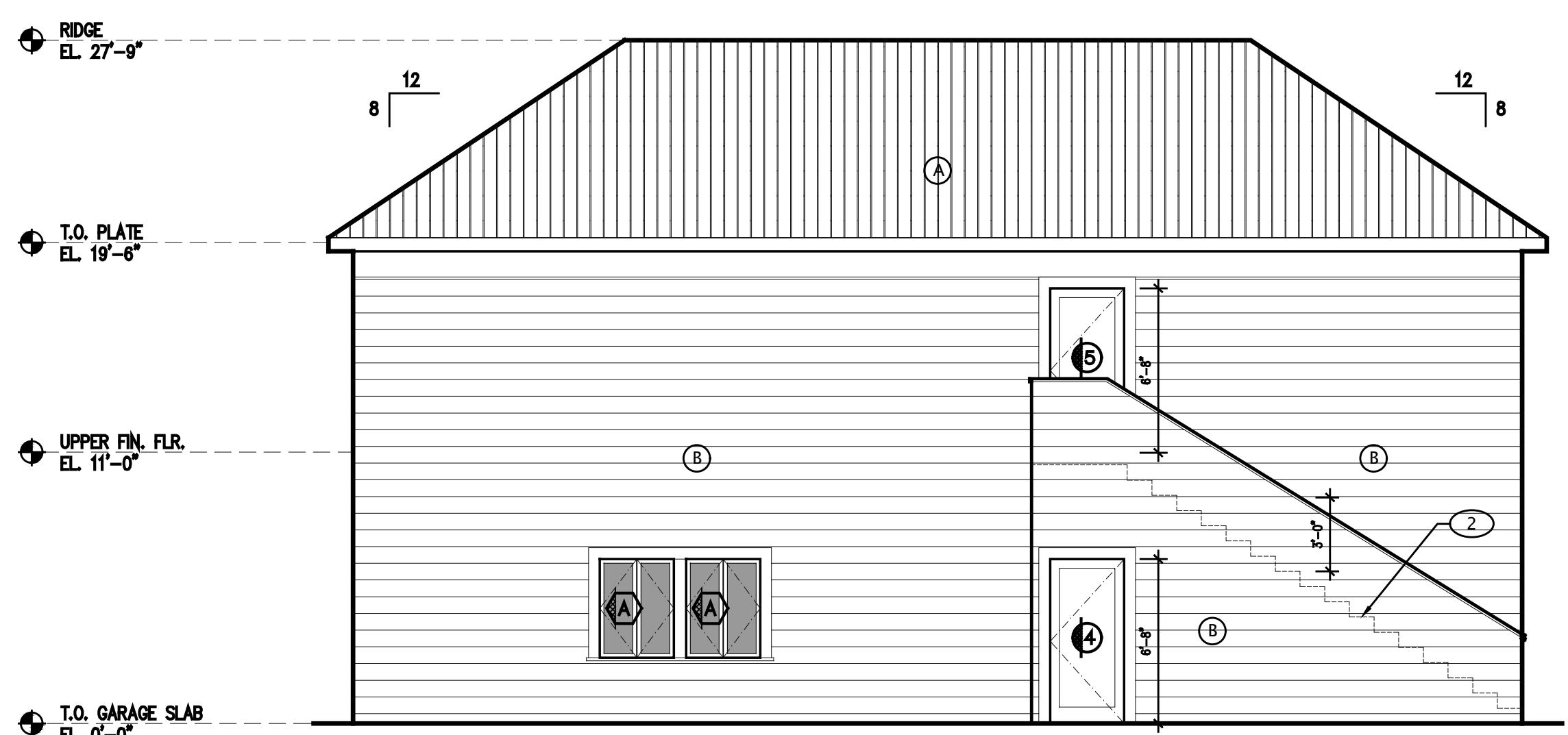
SCALE: 3/16" = 1'-0"



2 PROPOSED ELEVATION

A3.0

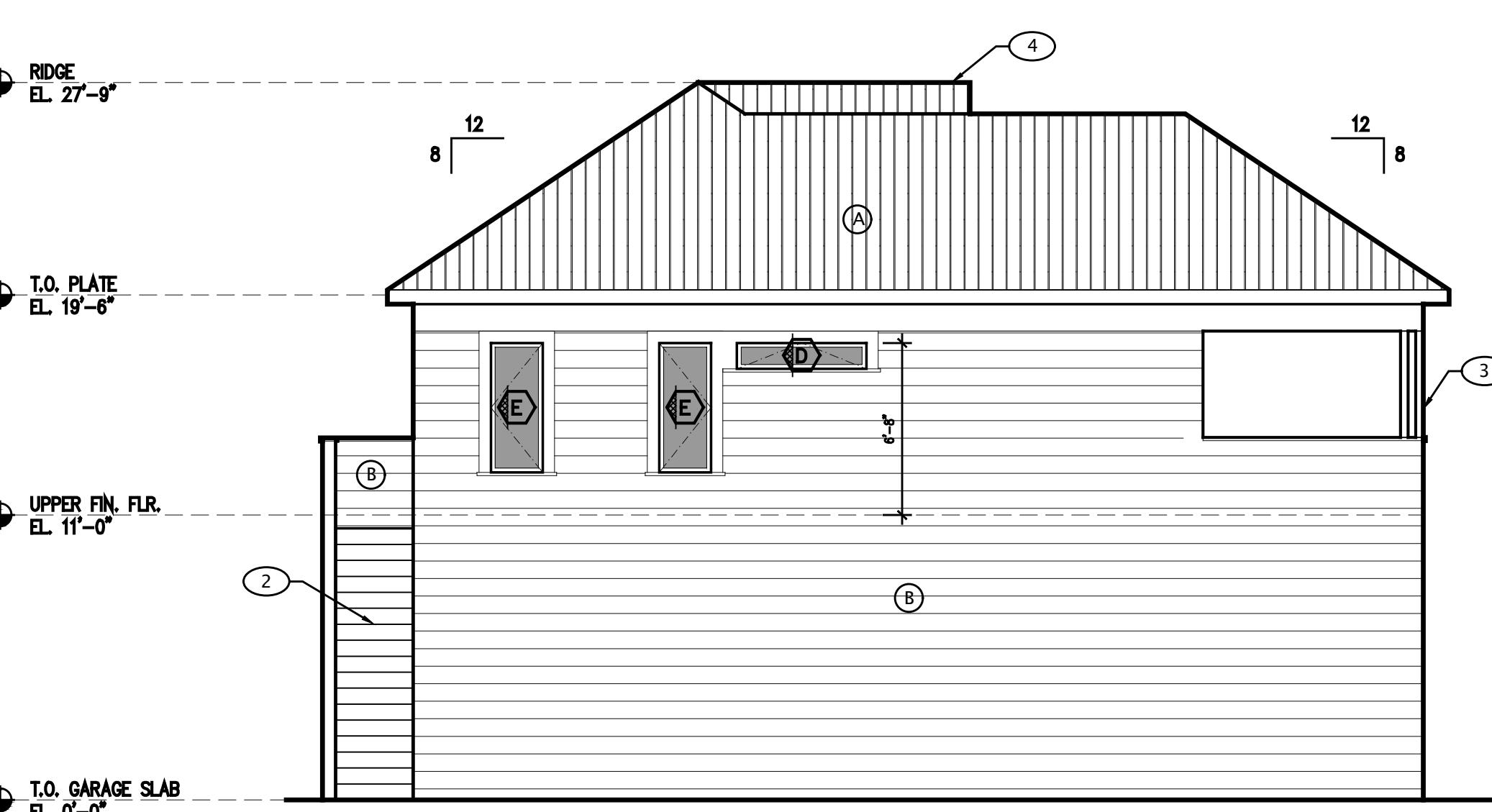
SCALE: 3/16" = 1'-0"



3 PROPOSED ELEVATION

A3.0

SCALE: 3/16" = 1'-0"



4 PROPOSED ELEVATION

A3.0

SCALE: 3/16" = 1'-0"

KEYNOTES:

1. 8' GYPSUM WALL BOARD AT INTERIOR WALLS AND CEILINGS, TYP.
2. PROVIDE R-21 INSULATION AT GARAGE WALLS & R-30 INSULATION AT GARAGE CEILING
3. PROVIDE R-28 INSULATION AT STORAGE WALLS & R-30 INSULATION AT ROOF
4. SCISSOR TRUSS, TYP.

REVISIONS

REV. 5/7/2023

REV. 5/26/2023

REV. 5/2/2023

PROVIDE APPROVED CORROSION RESISTANT FLASHING SHALL BE APPLIED SHINGLE FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS.

EXP. DATE: 12-31-2023

MINIMUM 0.019" (GALVANIZED SHEET GAGE) CORROSION RESISTANT OR PLASTIC WELD SCREEN LOCATED BELOW FOUNDATION SILL PLATE LINE AND 4 INCHES ABOVE GRADE ON ALL EXTERIOR STUD WALLS OR 2 INCHES ABOVE PAVED AREAS PER CRC R703.7.2.1.

A MINIMUM OF ONE LAYERS OF NO. 15 ASPHALT FELT, FREE FORM HOLES AND BREAKS, COMPLYING WITH ASTM D226 OR TYPE I FELT SHALL BE APPLIED OVER STUDS OR SHEATHING OF ALL EXTERIOR STUDS, CRC R703.2. TWO LAYERS OF GRADE D OR 60 MINUTES GRADE D PAPER SHALL BE APPLIED OVER ALL WOOD-BASED SHEATHING, CRC R703.2.

REVIEWED
FOR
CODE COMPLIANCE

Jun 03, 2024

INTERWEST CONSULTING GROUP

RMC
D&P
INC

CALIFORNIA * NEVADA
PH. 805 - 935 - 1225
PH. 702 - 591 - 1973
E-MAIL: richardcuen@yahoo.com
rmcaarchitect.com

RICHARD M. CUEN AIA
President

BIRD GARAGE
510 SANTA PAULA STREET
SANTA PAULA, CA 93060
APN: 103-0-052-035

ALL RIGHTS RESERVED
RICHARD M. CUEN ARCHITECT
These drawings, specifications, and copies thereof furnished by the architect and shall remain his sole property. They are to be used only with reference to this project and may not be altered or reproduced without our written permission of the architect.

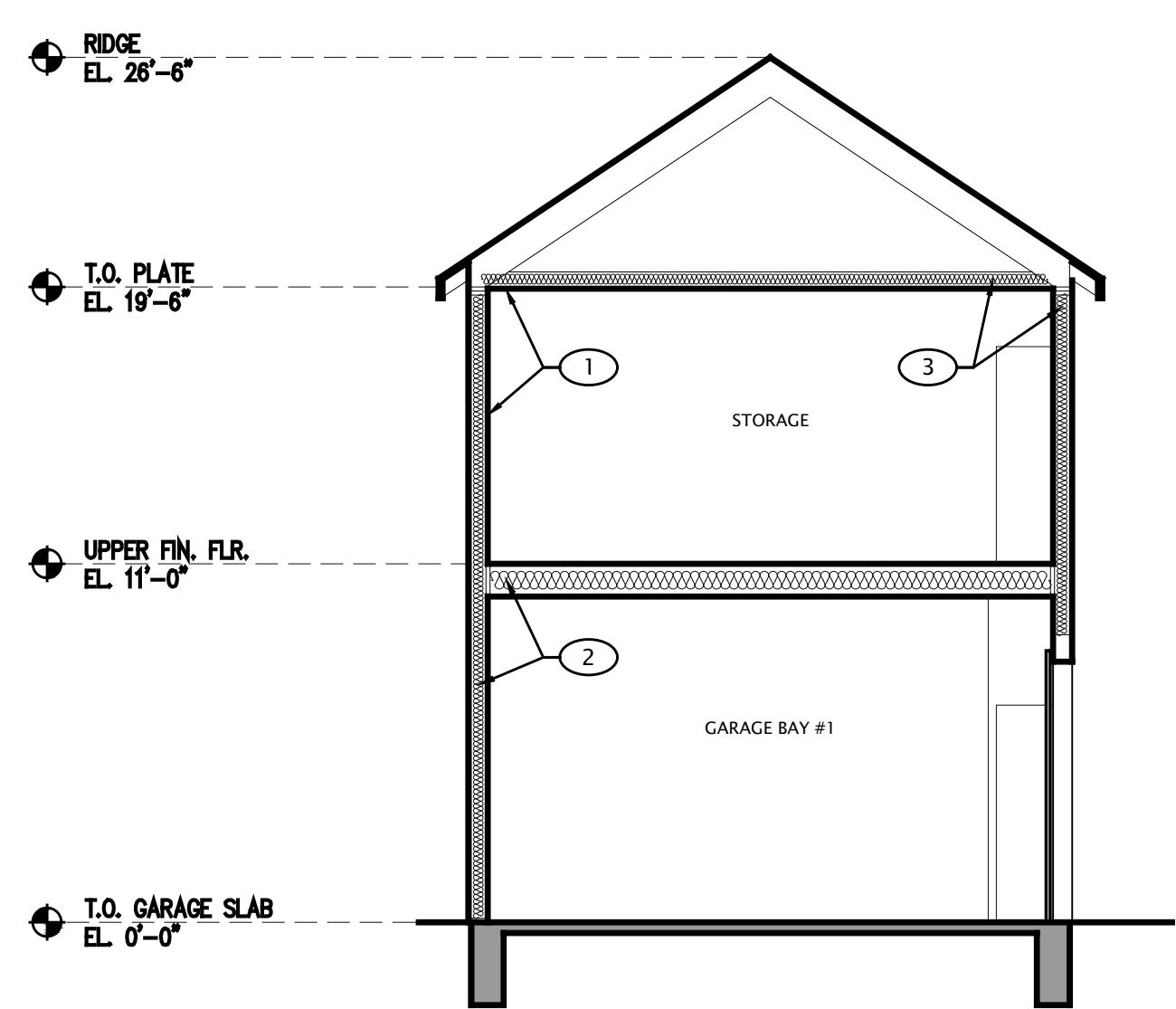
PROPOSED
SECTIONS
SHEET NAME

JOB # 2023-1

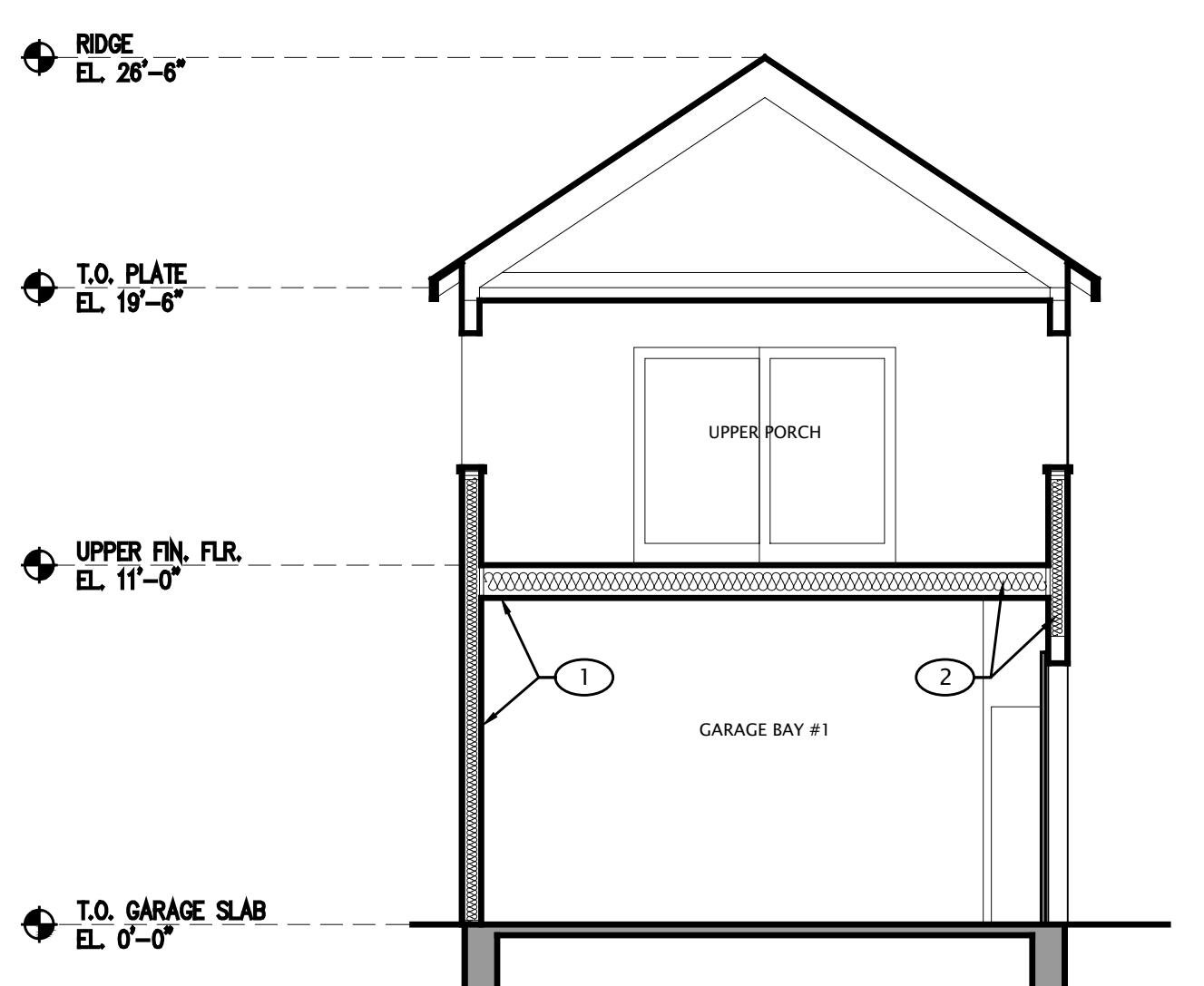
SCALE AS SHOWN
SUBMITTAL DATE 5-21-2023

SHEET NUMBER

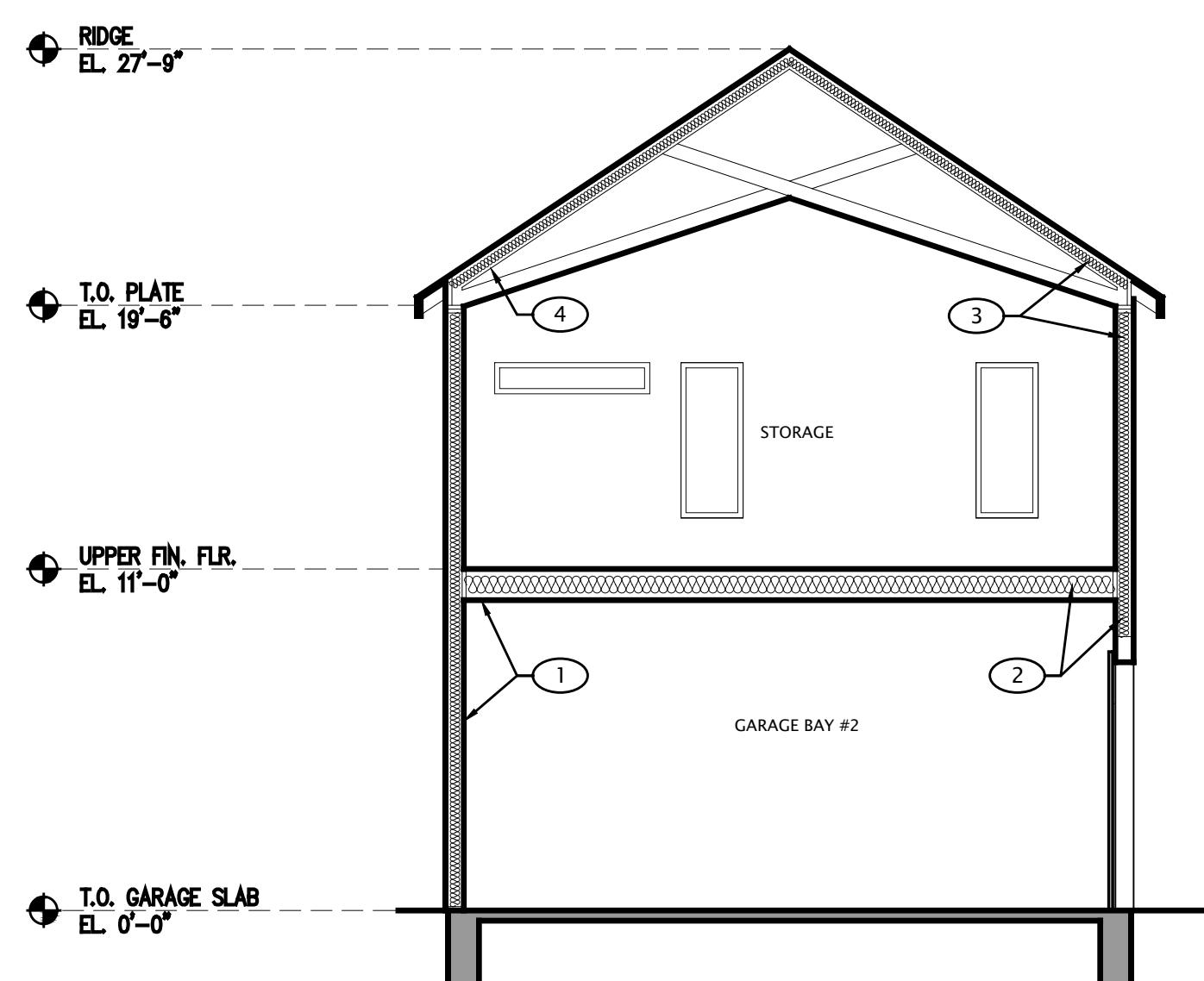
A3.1



SECTION-1
A3.1 SCALE: 3/16" = 1'-0"

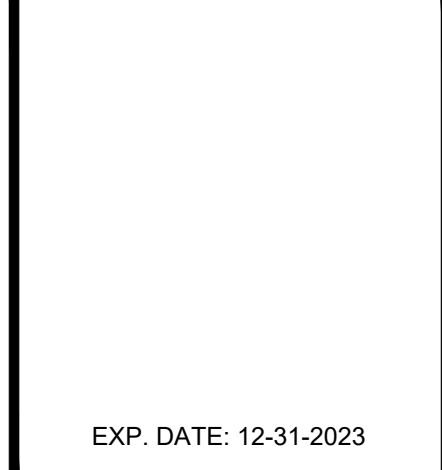


SECTION-2
A3.1 SCALE: 3/16" = 1'-0"



SECTION-3
A3.1 SCALE: 3/16" = 1'-0"

	REVISIONS
1	REVISION 5/7/2023
2	REVISION 12/26/2023
3	REVISION 5/21/2023



EXP. DATE: 12-31-2023

RMC DESIGN AND
PLANNING, INC.
ARCHITECTURE

R M C
D & P
I N C

CALIFORNIA * NEVADA
PH. 805 - 935 - 1225
PH. 702 - 591 - 1973
E-MAIL: richardcu@ yahoo.com
rmarchitect.com

RICHARD M. CUEN AIA
President

BIRD GARAGE
510 SANTA PAULA STREET
SANTA PAULA, CA 93060
APN: 103-0-052-035

REVIEWED
FOR
CODE COMPLIANCE
Jun 03, 2024
INTERWEST CONSULTING GROUP

DOOR NOTES:

- THE PERIMETER OF DOOR FRAMES SHALL BE SEALED TO THE EXTERIOR WALL CONSTRUCTION WITH A WEATHER SEALANT.
- ALL GLASS DOORS TO HAVE LOW-E GLASS.
- ALL NEW INTERIOR DOORS WILL BE SOLID CORE WOOD SLAB.
- ALL INTERIOR DOORS TO BE BALTIC GRAY WITH A SATIN FINISH.

RESIDENCE DOOR SCHEDULE

PLAN REF.	SIZE	TYPE & MATRL		FRAME TYPE	ADD'L INFO.	HARDWARE																				
		SINGLE	DOUBLE	WOOD	SOLID CORE	HOLLOW CORE	FRENCH DOOR	SLIDING GLASS	POCKET DOOR	BARN DOOR	ROLL-UP DOOR	BI-FOLD DOOR	CARAGE DOOR	PIVOT DOOR	TRANSMISSIONLESS GLASS	SEE DESIGN PACKAGE	PRE-FINISHED BY MICRO	FACE FRAME	TEMPERED GLASS	STANDARD AIR SPACER	TRANSMISSION GLASS	RATED TO MAN	WEATHER STRIPPING	DOOR STOP	VIEWER	SELF CLOSING
(1)	14'-0" 8'-0"																									
(2)	10'-0" 8'-0"																									
(3)	● 18'-0" 8'-0"																									
(4)	● 3'-0" 6'-8"	●	●																							
(5)	● 3'-0" 6'-8"	●	●																							
(6)	● 8'-0" 6'-8"	●	●																							

DOOR SCHEDULE

A4.0 SCALE: N.T.S.

RESIDENCE WINDOW SCHEDULE

PLAN REF.	SIZE	FRAME & WIN TYPE		GLAZING TYPE	GLASS FINISH	REMARKS
		VINYL FRAME	ALUMINUM			
(A)	3'-0" 4'-0"	●	●			DOUBLE CASEMENT
(B)	3'-0" 4'-0"	●	●			
(C)	3'-0" 4'-0"	●	●			
(D)	5'-0" 1'-0"	●		●		DOUBLE CASEMENT
(E)	2'-0" 5'-0"	●	●			
(F)	1'-6" 3'-0"	●	●			

WINDOW SCHEDULES

A4.0 SCALE: N.T.S.

WINDOW NOTES:

- ALL GLASS TO BE AT LEAST 3/16" THICK
- ALL WINDOWS TO BE WEATHER STRIPPED
- PERIMETER WINDOW FRAMES SHALL BE SEALED TO THE EXTERIOR WALL CONSTRUCTION WITH A WEATHER RESISTANT SEALANT
- ALL WINDOWS ARE TO BE STOREFRONT GLASS TYPE. WINDOW FRAMES TO MATCH EXISTING HOUSE.
- ALL GLASS TO BE LOW-E DOUBLE PANE WITH ARGON GAS.
- PROVIDE SAFETY GLAZING ACCORDING TO SECTION 304.4IRC:
A. TUB AND SHOWER ENCLOSURE AND GLAZING IN THE WALLS LESS THAN 60" ABOVE THE STANDING OF TUBS OR SHOWERS.
B. GLAZING WITHIN A 24" ARC OF A DOOR.
C. GLAZING WITHIN 18" OF THE FLOOR, INDIVIDUAL PANEL GREATER THAN 9 SQUARE FEET.
- NATURAL LIGHT AND VENTILATION. ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS OR SHALL OTHERWISE BE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4 PERCENT OF THE FLOOR AREA BEING VENTILATED. (SECTION R303.1IRC)



ALL RIGHTS RESERVED
RICHARD M. CUEN ARCHITECT

These drawings, specifications, and copies thereof furnished by the architect and shall remain his sole property. They are to be used only with reference to the project and may not be altered or reproduced with out written permission of the architect.

DOOR &
WINDOW
SCHEDULES

JOB # 2023-1

SCALE AS SHOWN
SUBMITTAL DATE 5-21-2023

SHEET NUMBER
A4.0