



**ZONING APPROVAL
PLANNING DIVISION**

BY: Planning Commission
 DATE: November 23, 2021
 PLPA# 2021-00035
 RESOLUTION NO. 21-11

DUBLIN AFFORDABLE HOUSING

6543 REGIONAL STREET
 DUBLIN CA 94568

ENTITLEMENTS RESUBMITTAL #2
 SITE DEVELOPMENT REVIEW (SDR)
 NOVEMBER 5, 2021

PROJECT TEAM

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 BAR ARCHITECTS
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 SAN FRANCISCO, CA 94108
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■ OWNER:
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■ CIVIL ENGINEER
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ZONING ANALYSIS

	CONTROL	COMMENT	
Height Limit	75' to highest finish floor / 90' maximum		
Bulk Limitation	stepbacks on upper floors allowed but not required		
FAR Limitation	1.2	69,536	can develop up to max for res use if OPT in to Communi...
SDB Factor		93,874	
Front Setback	5'		
Side Setbacks	5'		
Rear Setback			
Building Frontage	must occupy min. 80% of frontage		
Allowable Uses	Multi-Family Residential	subject to Additional Development Standards if located within 1,000' of I-580	
Minimum Residential...	30	39.9	
Density Limitation		113.05	
Set Building Far away fro...	see site and building design requirements for proximity to highway		
Common Open Space...	Min. 15% of Site Area	8,692	>10' in dimension; if on roof, >7' (found in definitions)
Parking Requirements	1.5:1 and Guest = 15% of...	up to 35% Compact, Shade tree for every 4 cars, see other standards	
Bicycle Parking Requirements			
Surface Parking	allowed to the rear of the building on-site and can be single loaded along side in specific situations		
Private open space...	100sf/unit		

VICINITY MAP**SHEET INDEX**

NO	NAME	08/20/21
00 - GENERAL		
G000	COVER SHEET	●
G001	PROJECT INFORMATION	●
G002	PROJECT DATA	●
G003	EXISTING SITE PHOTOS	●
01 - CIVIL		
C1.0	BOUNDARY & EXISTING CONDITIONS	●
C2.0	PRELIMINARY SITE PLAN	●
C3.0	PRELIMINARY UTILITY PLAN	●
C4.0	PRELIMINARY GRADING AND DRAINAGE PLAN	●
C5.0	GRADING SECTIONS	●
C6.0	PRELIMINARY STORMWATER CONTROL PLAN	●
C7.0	PRELIMINARY EROSION CONTROL PLAN	●
C8.0	PRELIMINARY FIRE ACCESS PLAN	●
02 - LANDSCAPE		
L-1	COVER SHEET / PLANT LIST / PROJECT INFORMATION	●
L-2	TREE REMOVAL PLAN	●
L-3	PLANT PALETTE	●
L-4	OVERALL SITE PLAN - GROUND LEVEL	●
L-5	UPPER TERRACE ENLARGEMENTS	●
L-6	OUTDOOR FURNITURE / FENCING	●
L-7	SITE LIGHTING CONCEPT PLAN	●
03 - ARCHITECTURAL		
A001	PERSPECTIVE - CORNER OF REGIONAL ST & ST PATRICK WAY	●
A002	PERSPECTIVE - MAIN ENTRY ALONG ST PATRICK WAY	●
A101	SITE PLAN	●
A201	FLOOR PLAN - LEVEL 1	●
A202	FLOOR PLAN - LEVEL 2	●
A203	FLOOR PLAN - LEVEL 3	●
A204	FLOOR PLAN - LEVEL 4	●
A205	FLOOR PLAN - LEVEL 5	●
A206	ROOF PLAN	●
A301	BUILDING ELEVATIONS	●
A302	BUILDING ELEVATIONS	●
A303	BUILDING SECTIONS	●
A401	FAÇADE MATERIALS	●
04 - TRASH		
TR0.1	SITE PLAN	●
TR1.0	RESIDENTIAL TRASH COLLECTION ROOM-LOOSE BIN LAYOUT	●
TR1.1	GROUND FLOOR UNITS - TRASH CLOSET LAYOUT	●
TR1.2	RESIDENTIAL UPPER FLOOR TRASH VESTIBULE (LEVEL 2-5)	●
TR1.3	STAGING LOCATION	●

PROJECT SUMMARY & CODE ANALYSIS

PROJECT ADDRESS 6543 REGIONAL ST, DUBLIN, CA 94568

ASSESSOR'S PARCEL NO 941-1500-25

ZONING DDTOD - DOWNTOWN DUBLIN TOD

LOT AREA 57,947 SF

PROJECT DESCRIPTION THE CURRENT SITE CONSISTS OF AN EXISTING 1-STORY COMMERCIAL BUILDING AND SURFACE PARKING. THE PROJECT IS TO REDEVELOP THE SITE WITH CONSTRUCTION OF A NEW 5-STORY AFFORDABLE SENIOR HOUSING BUILDING WITH 113 AFFORDABLE SENIOR HOUSING RESIDENTIAL UNITS, RESIDENT USE COMMUNITY SPACES, AND 57 SURFACE PARKING STALLS.

REFERENCE CODES 2019 CBC WITH LOCAL AMENDMENTS

CONSTRUCTION TYPE (CHAPTER 6) (1) LEVEL OF TYPE IA CONSTRUCTION
(4) LEVELS OF TYPE VA CONSTRUCTION ABOVE

SPRINKLER (SECTION 903) AUTOMATED NFPA 13 SPRINKLER SYSTEM

OCCUPANCY & OCCUPANT LOAD (CHAPTER 3) R-2* RESIDENTIAL (200 SF/OC GROSS)
B MANAGEMENT OFFICES (150 SF/OC GROSS)
A-2 RESIDENTIAL COMMUNITY SPACE (15 SF/OC NET)
*R-2 OCCUPANCY INCLUDES RESIDENTIAL SPACES SUCH AS LOBBY, MAIL ROOM AREA, AND ACCESSORY OCCUPANCIES (LESS THAN 10% OF TOTAL FLOOR AREA)

HORIZONTAL BUILDING SEPARATION (SECTION 510.2) ONE STORY ABOVE GRADE PLANE (TYPE 1A CONSTRUCTION) SHALL BE CONSIDERED A SEPARATE AND DISTINCT BUILDING FROM THE STORIES ABOVE (TYPE VA CONSTRUCTION) FOR THE FOLLOWING PURPOSES:

- DETERMINATION OF AREA LIMITATIONS
- LIMITATION OF NUMBER OF STORIES
- TYPE OF CONSTRUCTION

BUILDING LIMITATIONS (TABLE 504.3, 504.4, 506.2)

CONSTR OCCUPANCY HEIGHT STORIES AREA

TYPE 1A R-2, B, A-3 UL UL UL

TYPE VA* R-2 60 FT 4 36,000 SF

*INCLUDES ALLOWABLE AREA INCREASE IN ADDITION TO THE HEIGHT AND STORY INCREASE ALLOWED PER TABLE 504.3 EXCEPTION J

BUILDING AREA CALCULATION FOR TYPE VA CONSTRUCTION

TWO BUILDING AREA COMPARTMENTS PROVIDED,

SEPARATED BY A 2-HR FIRE WALL

ALLOWABLE BUILDING AREAS PER COMPARTMENT:

Sa = 2

Aa = (36,000 SF + 0 SF) x 2 = 72,000 SF

PROVIDED:

COMPARTMENT A = 40,865 SF

COMPARTMENT B = 26,625 SF

ALLOWABLE BUILDING AREA PER STORY:

Sa = 1

Aa = (24,000 SF + 0 SF) x 1 = 24,000 SF

PROVIDED (AT LARGEST STORY, LEVEL 2):

COMPARTMENT A = 10,640 SF

COMPARTMENT B = 6,870 SF

EXITING PROVISIONS (CHAPTER 10)

OCCUPANT LOAD EGRESS REQUIREMENTS (TABLE 1006.2.1)

R-2 OCCUPANCY (GREATER THAN 10 OCCUPANTS): 2 MEANS OF EGRESS

B OCCUPANCY (EACH OFFICE LESS THAN 49 OCCUPANTS): 1 MEANS OF EGRESS

A-3 OCCUPANCY (COMMUNITY ROOM GREATER THAN 49 OCCUPANTS): 2 MEANS OF EGRESS

NUMBER OF EXITS PER STORY (TABLE 1006.3.2): 2

ACCESSIBLE MEANS OF EGRESS (SECTION 1009.2.1): THE ELEVATOR SHALL NOT BE REQUIRED TO MEET ACCESSIBLE MEANS OF EGRESS ON FLOORS PROVIDED WITH A HORIZONTAL EXIT LOCATED AT OR ABOVE THE LEVELS OF EXIT DISCHARGE

EXISTING PROVISIONS (CHAPTER 10)
[CONTINUED]

THE 2-HR FIRE WALL WILL ALSO BE A HORIZONTAL EXIT

EXIT TRAVEL DISTANCE (SECTION 1017):

R-2, A-3 250 FT

B 300 FT

DEAD END CORRIDOR (SECTION 1020.4, EXCEPTION 2): SHALL NOT EXCEED 50 FT

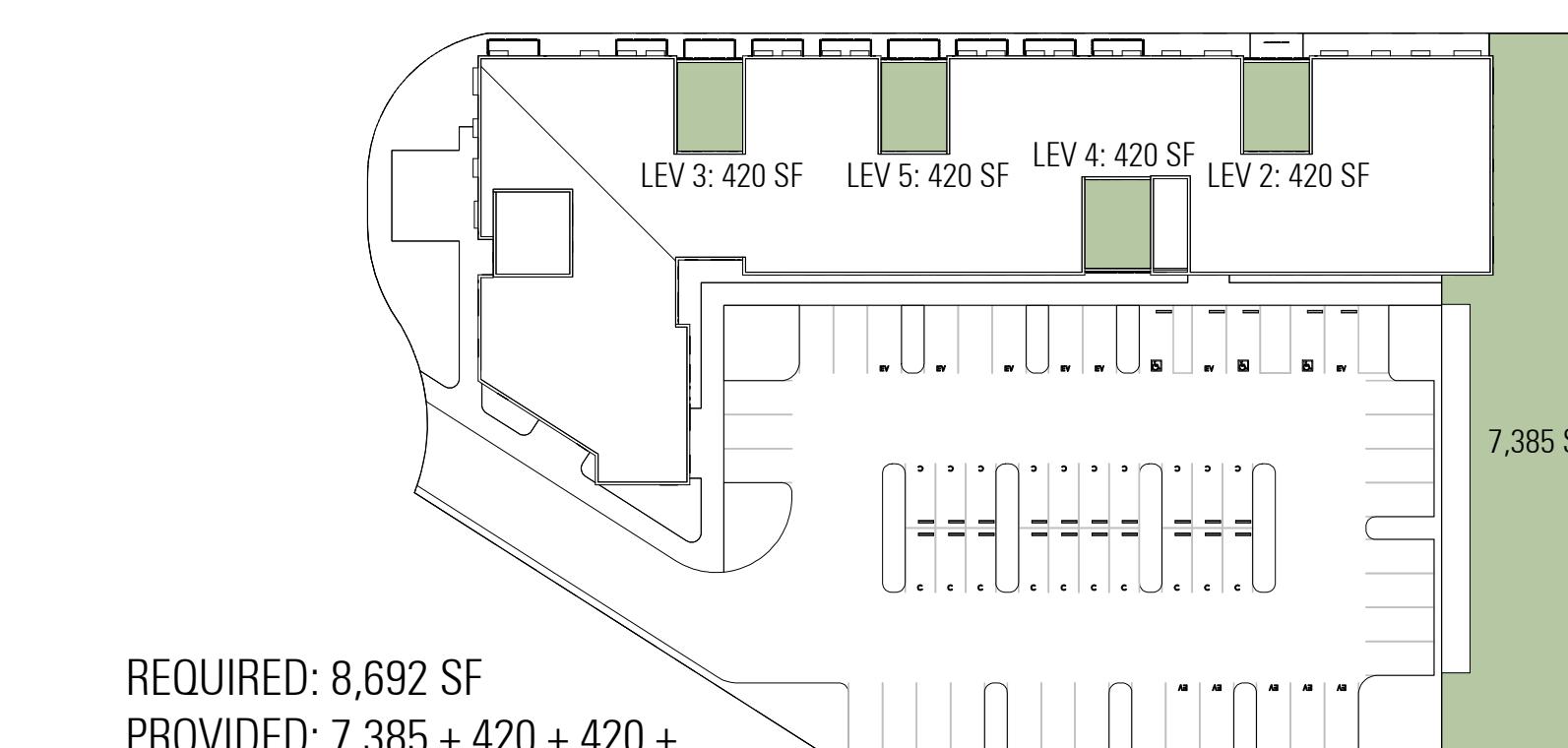
ACCESSIBILITY

MEET THE REQUIREMENTS OF CHAPTER 11B

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**OPEN SPACE DIAGRAM**

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PRELIMINARY BUILDING AREA TABULATIONS

Level	Residential Net Rentable GSF*	Residential Amenity GSF**	Residential Core GSF***	Grand Total GSF
5	12,740		3,500	16,240
4	13,170		3,490	16,660
3	13,620		3,465	17,085
2	14,050		3,455	17,505
1	8,015	4,455	5,000	17,470
Total	61,595	4,455	18,910	84,960

NOTES:

* Residential Net Rentable GSF calculation includes exterior, corridor, and party walls

** Residential Amenity GSF includes entry lobby, offices, community room, fitness room, laundry room, etc

*** Residential Core GSF include corridors, elevator lobbies, stairs, elevators, utility spaces, etc

PRELIMINARY UNIT MIX

LEVEL	STU w18' x d25' 450 GSF typ.	1 BR w24' x d25' 600 GSF typ.	2 BR w36' x d25' 900 GSF typ.	3 BR	UNIT TOTAL
5	10	13			23
4	11	13			24
3	12	13			25
2	13	13			26
1	9	5	1		15
TOTAL	55	57	1	0	113
%	49%	50%	1%	0%	100%
AVERAGE UNIT SIZE					Residential GSF** 61,595
					Average Unit Size (GSF) 545

* Unit GSF includes exterior, corridor, and party walls

** As calculated in the Preliminary Building Area Tabulation

PARKING COUNT:

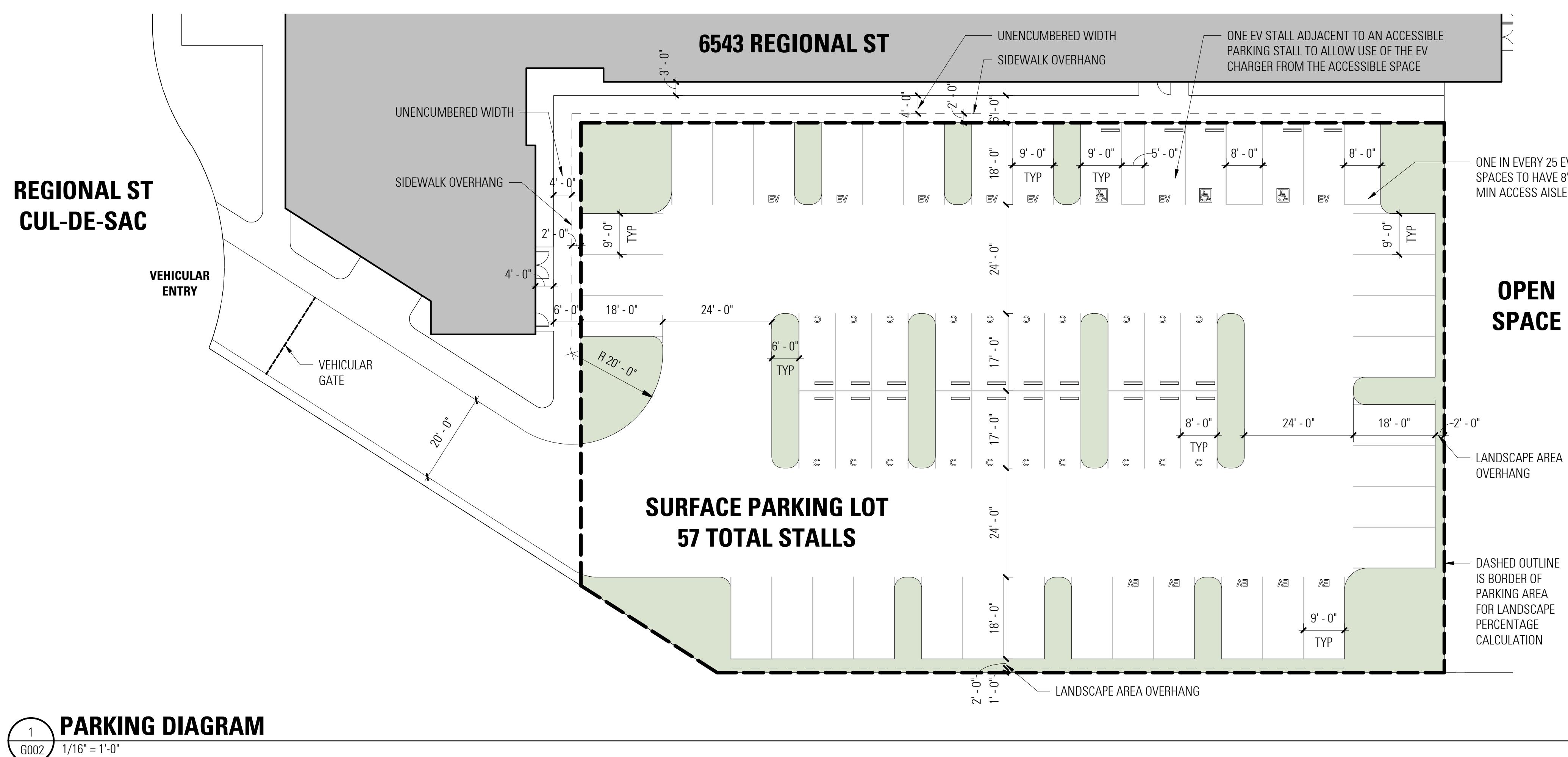
57 STALLS TOTAL FOR 113 DWELLING UNITS:

22 STANDARD STALLS (W/ 2' OVERHANG)

20 COMPACT STALLS

12 EV STALLS (SIZE OF STANDARD STALL)

3 ACCESSIBLE STALLS (INCLUDING 1 VAN ACCESSIBLE)

PARKING PLANNING REQUIREMENTS:PARKING REQUIRED (DMC CHAPTER 8.76): 1 STALL/DU
PARKING REQUIRED (SPECIFIC PLAN): 1.5 STALL/DU
PROVIDED: 0.5 STALL/DUGUEST PARKING REQUIRED (DMC CHAPTER 8.76): 1 STALL/3 DU
GUEST PARKING REQUIRED (SPECIFIC PLAN): UP TO 15%
PROVIDED: 0 STALLSREQUIRED (AND AS PROVIDED) STALL SIZES:
STANDARD - 9' X 18' (W/ 2' OVERHANG)
COMPACT - 8' x 17'ALLOWED COMPACT % OF TOTAL: 35%
PROVIDED: 35%REQUIRED LANDSCAPE % OF PARKING AREA: 15%
PROVIDED (SHOWN IN GREEN): 17%
A MINIMUM OF 1 TREE PER 4 STALLS WILL BE PROVIDED**PARKING CODE REQUIREMENTS:**ACCESSIBLE STALLS (CBC 11B-208.2.3.1): PER TABLE 11B-208.2
PROVIDED: 3 STALLS, AS REQUIRED FOR 51 TO 75 TOTAL STALLSEV STALLS (CITY REQUIREMENT): 20% OF TOTAL PARKING
PROVIDED: 11.4 OR 12 STALLS

**VIEW 1****VIEW 2****VIEW 3****VIEW 4****VIEW 5****APPROVED**

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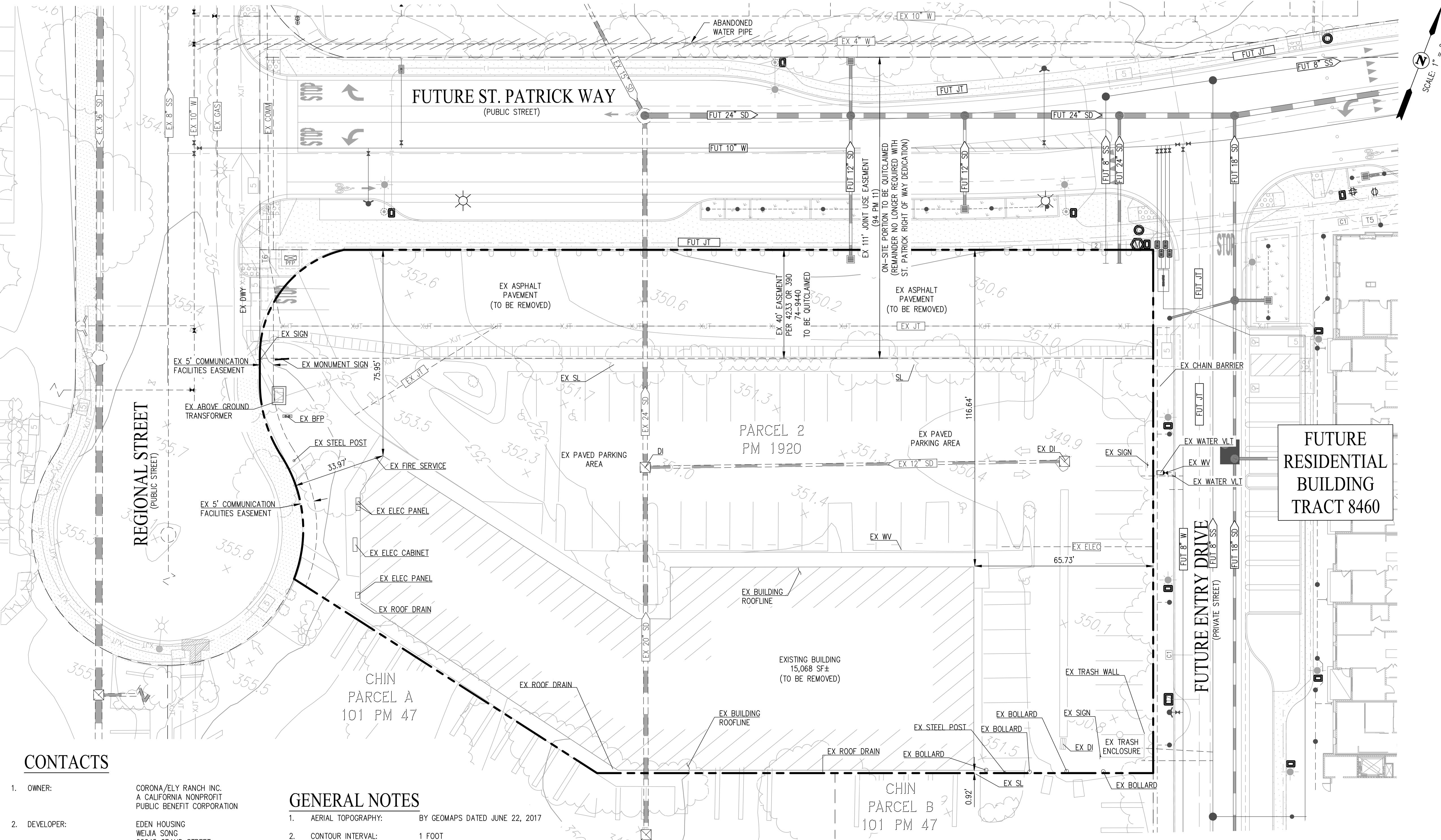
11/05/21

19049

BAR architects

1" = 50'-0"

G003



CONTACTS

1. OWNER: CORONA/ELY RANCH INC.
A CALIFORNIA NONPROFIT
PUBLIC BENEFIT CORPORATION

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RCE #80557

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GENERAL NOTES

14. UTILITY PROVIDERS: WATER: DUBLIN SAN RAMON SERVICES DISTRICT (DSRSD) SANITARY SEWER: DUBLIN SAN RAMON SERVICES DISTRICT (DSRSD) STORM DRAIN: CITY OF DUBLIN GAS & ELECTRIC: PG&E TELEPHONE: AT&T CABLE TV: TBD

15. TRASH: TRASH COLLECTION AREA TO BE PRIVATELY MAINTAINED ON-SITE. STAGING AREA TO BE PLACED ALONG REGIONAL STREET.

16. WELLS ONSITE: NONE

17. FLOOD ZONE: ZONE X (SHADeD): OTHER FLOOD AREA. AREAS OF 0.2% ANNUAL CHANCE FLOOD. AREAS OF 0.2% CHANCE OF FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

18. BASIS OF BEARING: THE BASIS OF BEARINGS FOR THIS SURVEY IS THE MONUMENT LINE OF REGIONAL STREET, THE BEARING BEING N20°51'45"W PER 143 M 6.

19. BENCHMARK: BRASS DISK IN CONCRETE IN DUBLIN BOULEVARD, NGS MONUMENT HS3924, HAVING AN NGVD29 ELEVATION OF 347.7 FEET.

20. DIMENSIONS: ALL DIMENSIONS ARE PRELIMINARY AND SUBJECT TO FINAL MAP.

21. GRADING: ALL GRADING AS SHOWN IS SUBJECT TO FINAL DESIGN. GRADING WILL NOT BE PHASED.

22. TREES: ALL ONSITE TREES ARE TO BE REMOVED UNLESS OTHERWISE NOTED.

23. EROSION CONTROL: EROSION CONTROL WILL BE PREPARED PER CITY STANDARDS AND ABAG RECOMMENDATIONS.

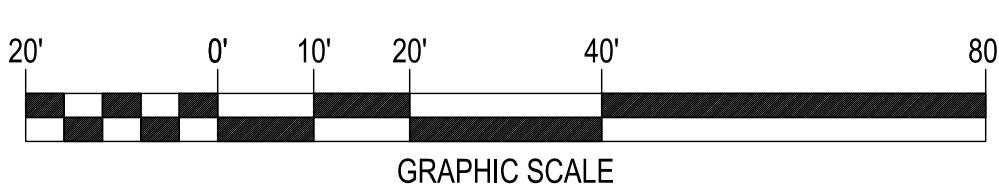
24. PHASING: PROJECT MAY BE CONSTRUCTED IN MULTIPLE PHASES.

NOTE:

- ALL IMPROVEMENTS TO BE REMOVED, EASEMENTS TO BE QUITCLAIMED.
- ALL FUTURE IMPROVEMENTS ARE PER TRACT 8460.
- ALL ON-SITE BUILDINGS, SURFACE IMPROVEMENTS AND UTILITIES ARE TO BE REMOVED UNLESS OTHERWISE NOTED.

SHEET INDEX

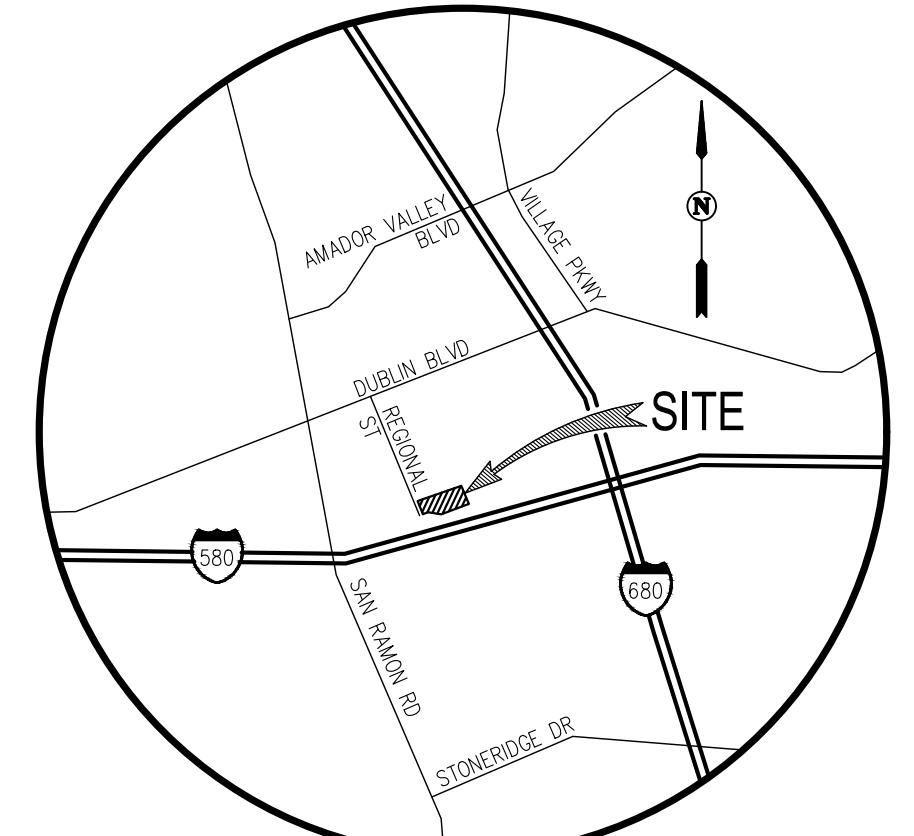
- C1.0 BOUNDARY & EXISTING CONDITIONS
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- C8.0 PRELIMINARY FIRE ACCESS PLAN



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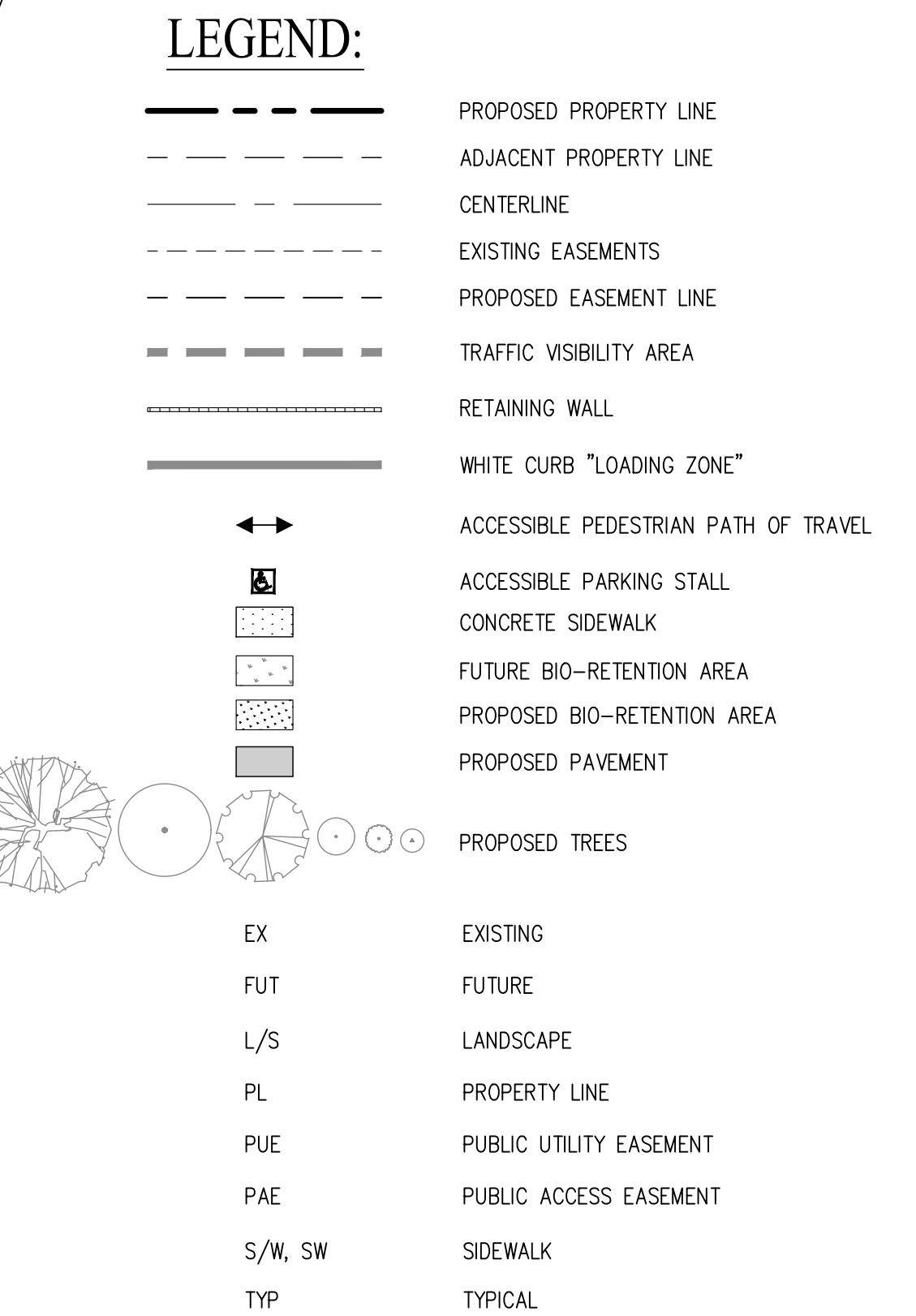
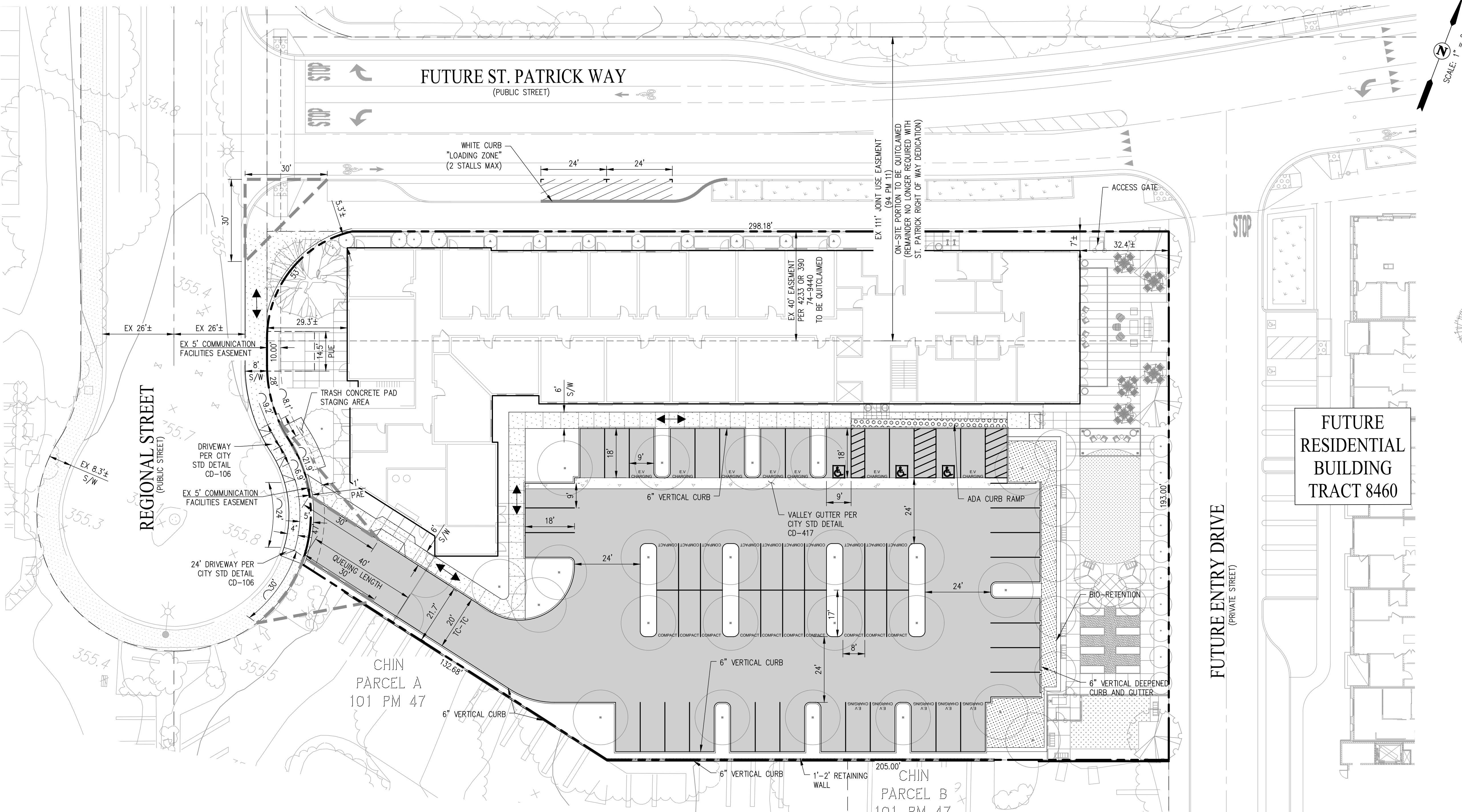


VICINITY MAP

NOT TO SCALE

LEGEND

—	BOUNDARY LINE
- - -	CENTERLINE
- - - - -	EASEMENT LINE
- - - - - -	ADJACENT PROPERTY LINE
- - - - - - -	EXISTING SANITARY SEWER
- - - - - - - -	FUTURE SANITARY SEWER
- - - - - - - - -	EXISTING STORM DRAIN
- - - - - - - - - -	FUTURE STORM DRAIN
- - - - - - - - - - -	EXISTING WATER
- - - - - - - - - - - -	FUTURE WATER
- - - - - - - - - - - - -	EXISTING JOINT TRENCH
- - - - - - - - - - - - - -	FUTURE JOINT TRENCH
- - - - - - - - - - - - - - -	EXISTING GAS
- - - - - - - - - - - - - - - -	FUTURE MANHOLE
- - - - - - - - - - - - - - - - -	EXISTING STORM DRAIN FIELD INLET
- - - - - - - - - - - - - - - - - -	FUTURE STORM DRAIN FIELD INLET
- - - - - - - - - - - - - - - - - - -	EXISTING FIRE HYDRANT
- - - - - - - - - - - - - - - - - - - -	FUTURE FIRE HYDRANT
- -	EXISTING BACKFLOW
- -	FUTURE BACKFLOW
- -	EXISTING WATER VALVE
- -	EXISTING UTILITY BOX/VAU
- -	EXISTING STREET LIGHT
- -	BACK FLOW PREVENTER
- -	DRIVEWAY
- -	DRAIN INLET
- -	ELECTRICAL
- -	BFP
- -	CB
- -	DWY
- -	DI
- -	ELEC
- -	EX
- -	FI
- -	PF
- -	SL
- -	TBI
- -	VL
- -	WN
- -	WV



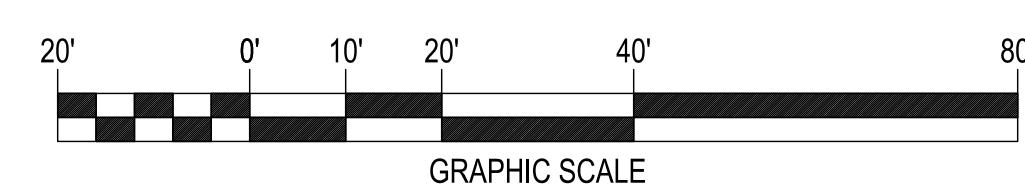
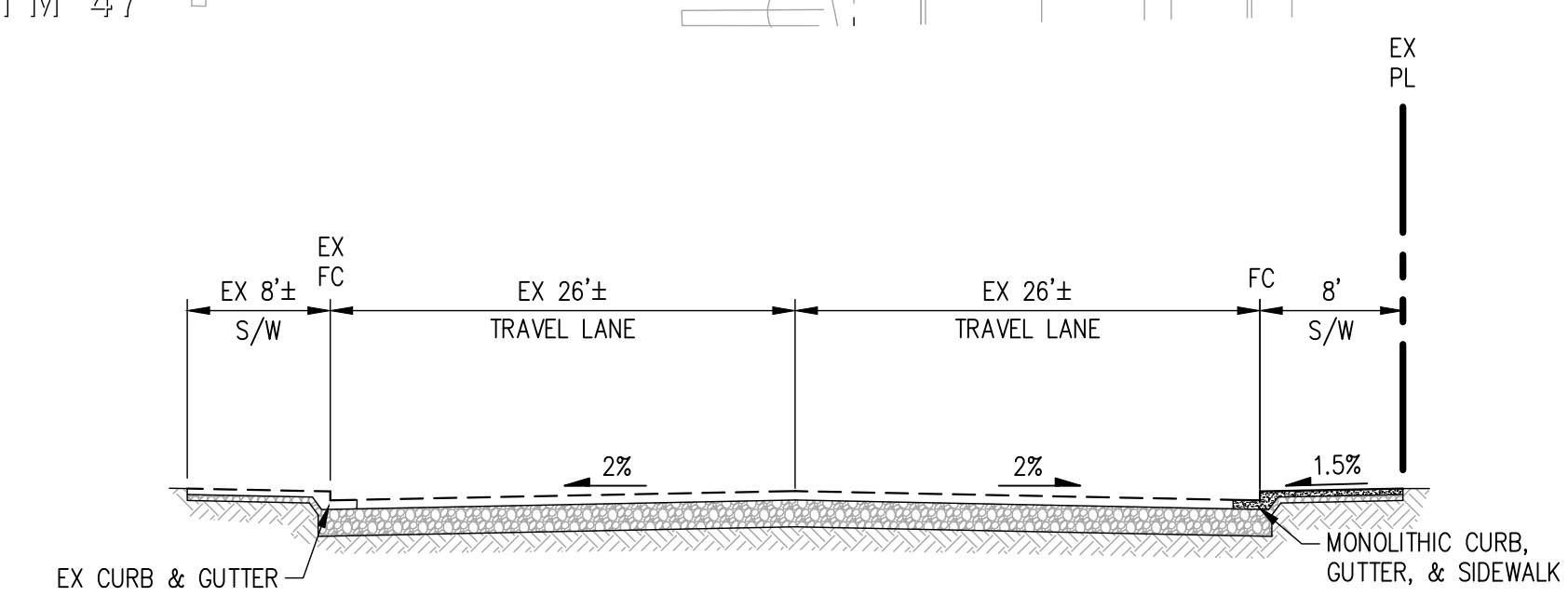
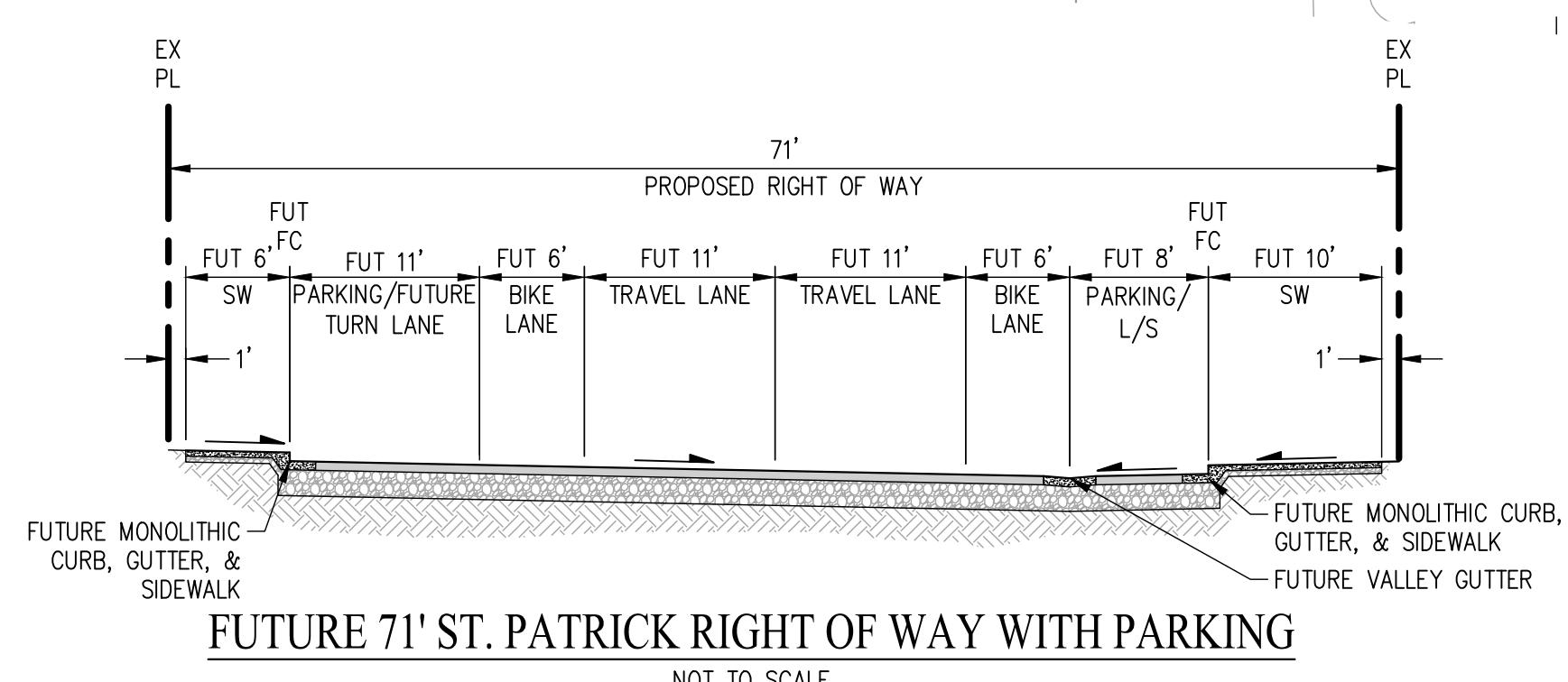
NOTE:

1. ALL FUTURE IMPROVEMENTS ARE PER TRACT 8460.

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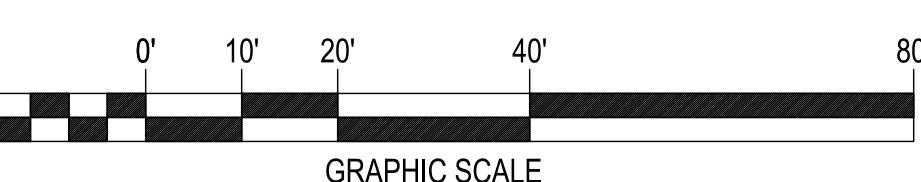


LEGEND

—	BOUNDARY LINE
- - -	CENTERLINE
- - -	EASEMENT LINE
- - -	ADJACENT PROPERTY LINE
- - -	EXISTING SANITARY SEWER
- - -	FUTURE SANITARY SEWER
—	PROPOSED SANITARY SEWER
- - -	EXISTING STORM DRAIN
- - -	FUTURE STORM DRAIN
—	PROPOSED STORM DRAIN
- - -	EXISTING WATER
- - -	FUTURE WATER
- - -	EXISTING JOINT TRENCH
- - -	FUTURE JOINT TRENCH
- - -	EXISTING GAS
- - -	FUTURE GAS
○	EXISTING MANHOLE
●	FUTURE MANHOLE
□	PROPOSED MANHOLE
■	EXISTING STORM DRAIN FIELD INLET
■	FUTURE STORM DRAIN FIELD INLET
■	PROPOSED STORM DRAIN FIELD INLET
■	EXISTING FIRE HYDRANT
■	FUTURE FIRE HYDRANT
■	EXISTING BACK FLOW
■	FUTURE BACKFLOW
■	PROPOSED BFP (DOMESTIC)
■	PROPOSED BFP (IRRIGATION)
■	PROPOSED DDCA
■	EXISTING WATER VALVE
■	FUTURE WATER VALVE
■	FUTURE BIO RETENTION
■	PROPOSED BIO RETENTION
■	PROPOSED MEDIA FILTER
■	EXISTING STREET LIGHT
■	FUTURE STREET LIGHT
■	PROPOSED TRANSFORMER (BY OTHERS)
■	BACK FLOW PREVENTER
■	CATCH BASIN
■	DOUBLE DETECTOR CHECK ASSEMBLY
■	DRIVEWAY
■	DRAIN INLET
■	ELECTRICAL
■	EXISTING
■	FIRE HYDRANT
■	FUTURE
■	POWER POLE
■	STREET LIGHT
■	VULT
■	WATER METER
■	WATER VALVE
BFP	BACK FLOW PREVENTER
CB	CATCH BASIN
DDCA	DOUBLE DETECTOR CHECK ASSEMBLY
DWY	DRIVEWAY
DI	DRAIN INLET
ELEC	ELECTRICAL
EX	EXISTING
FH	FIRE HYDRANT
FUT	FUTURE
PP	POWER POLE
SL	STREET LIGHT
VLT	VULT
WM	WATER METER
WV	WATER VALVE

UTILITY NOTES:

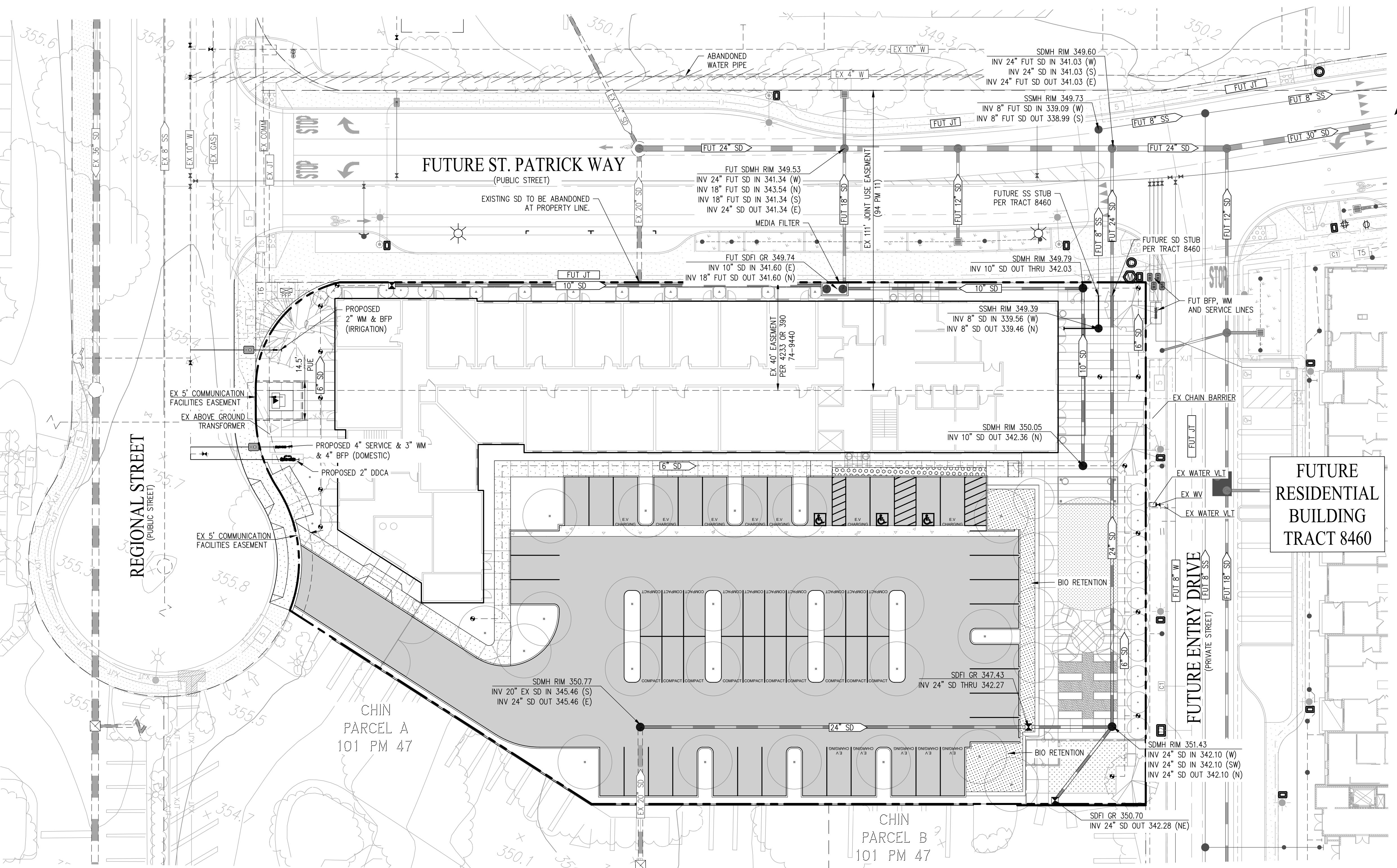
1. UTILITY LAYOUT AS SHOWN IS PRELIMINARY AND SUBJECT TO FINAL ENGINEERING DESIGN. EXISTING UTILITY LOCATIONS ARE APPROXIMATE BASED ON RECORD INFORMATION AND FIELD SURVEY DATA. UTILITY POINT OF CONNECTIONS SHALL BE VERIFIED WITH USA MARKINGS AND POTHOLE INFORMATION.
2. PRELIMINARY DOMESTIC AND FIRE SERVICE SIZES ARE SUBJECT TO FINAL DESIGN. IRRIGATION METERS, DOMESTIC BACKFLOW PREVENTERS AND BUILDING FIRE SERVICES ARE SHOWN FOR REFERENCE ONLY.
3. PROPOSED CONNECTIONS OF EXISTING ADJACENT PROPERTY UTILITIES IS SUBJECT TO FINAL DESIGN AND DSRS/CITY OF DUBLIN APPROVAL.
4. ALL BUILDING STORM DRAIN, WATER, AND SEWER POINT OF CONNECTIONS ARE SUBJECT TO FINAL BUILDING PLUMBING DESIGN.
5. THE DISCHARGE FROM THE FIRE PUMP ROOM/FIRE SPRINKLER TEST WATER SHALL BE PLUMBED TO THE SANITARY SEWER OR DISCHARGE TO AN APPROPRIATELY SIZED LANDSCAPE AREA.
6. PROPOSED STORM WATER FACILITIES WITHIN THE PRIVATE PROPERTY OR PRIVATE STREETS WILL PRIVATELY OWNED AND MAINTAINED.
7. EXISTING 20" MAIN FROM SOUTH PROPERTY TO BE RELOCATED ON SITE TO MAINTAIN ADJACENT PROPERTY DRAINAGE PATTERNS. POSSIBLE PRIVATE STORM DRAIN EASEMENT AGREEMENT MAY BE REQUIRED.
8. DISCHARGE FROM THE FIRE PUMP ROOM/FIRE SPRINKLER TEST WATER SHALL BE PLUMBED TO THE SANITARY SEWER OR DISCHARGE TO AN APPROPRIATELY SIZED LANDSCAPE AREA.

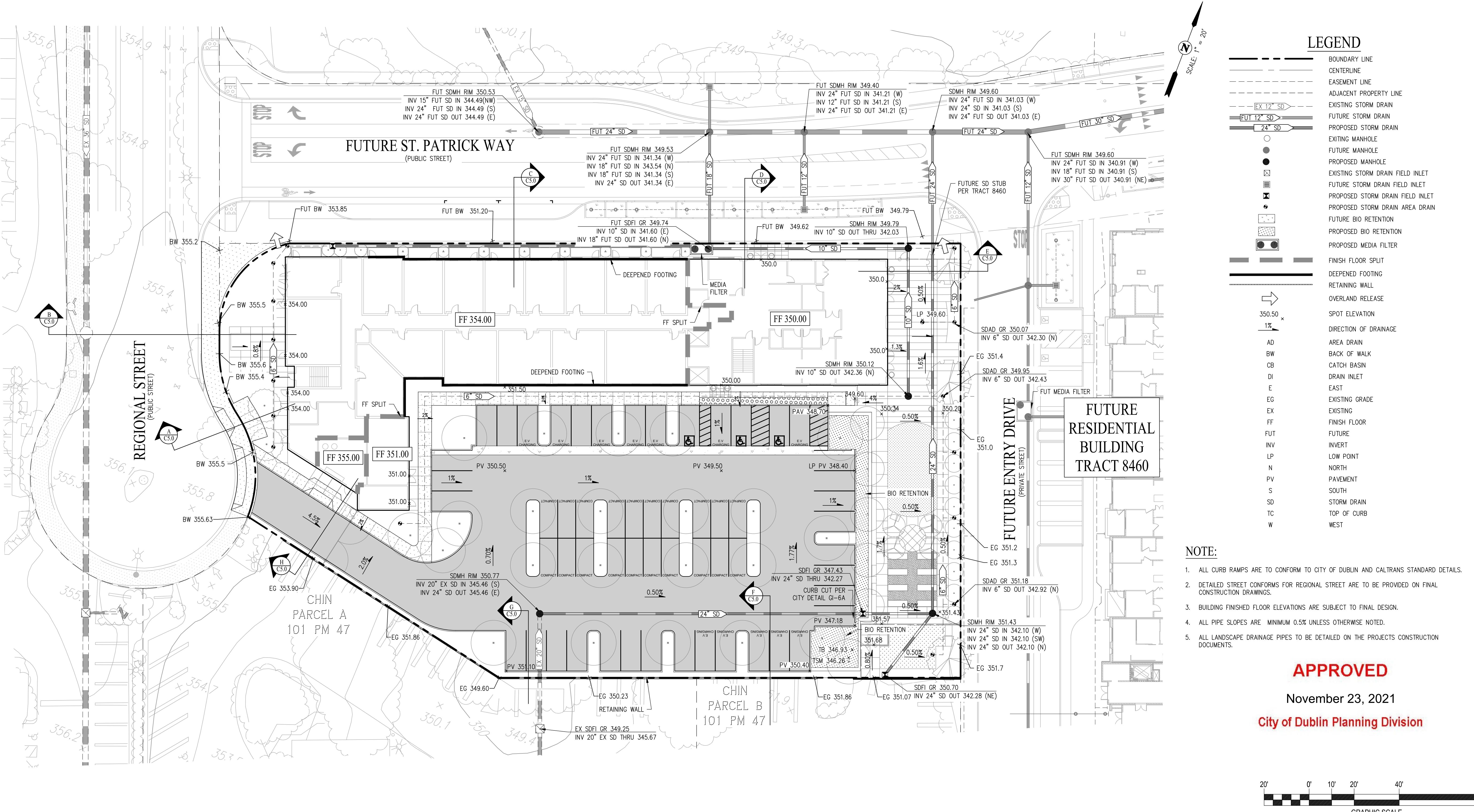


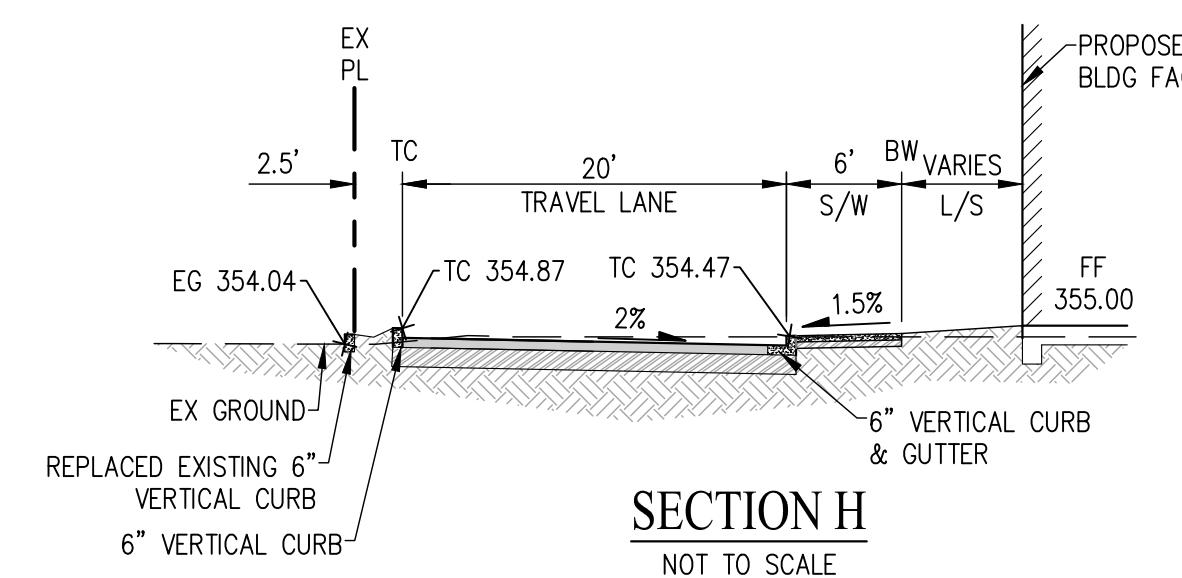
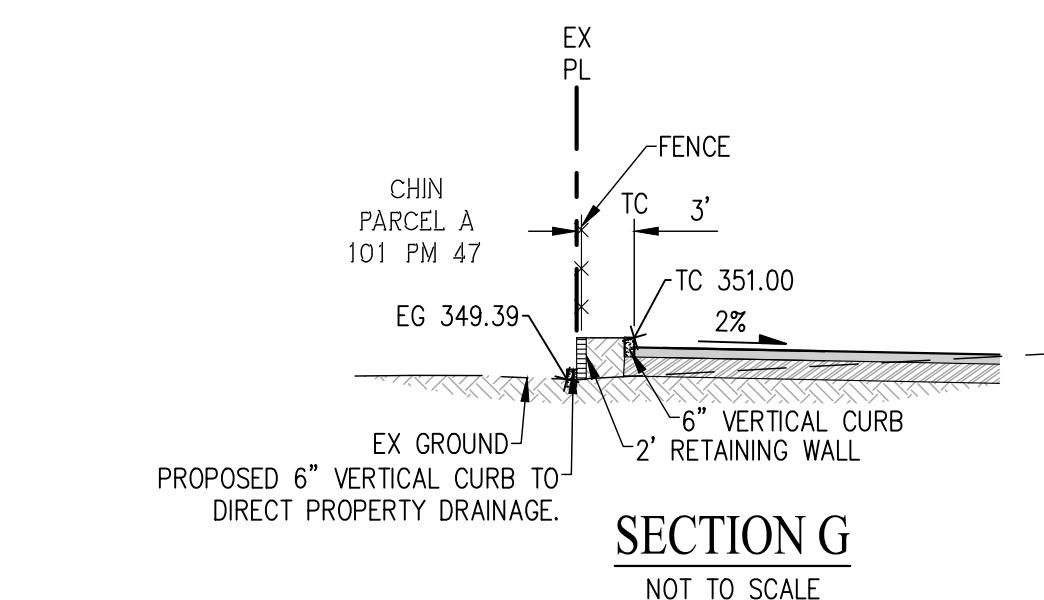
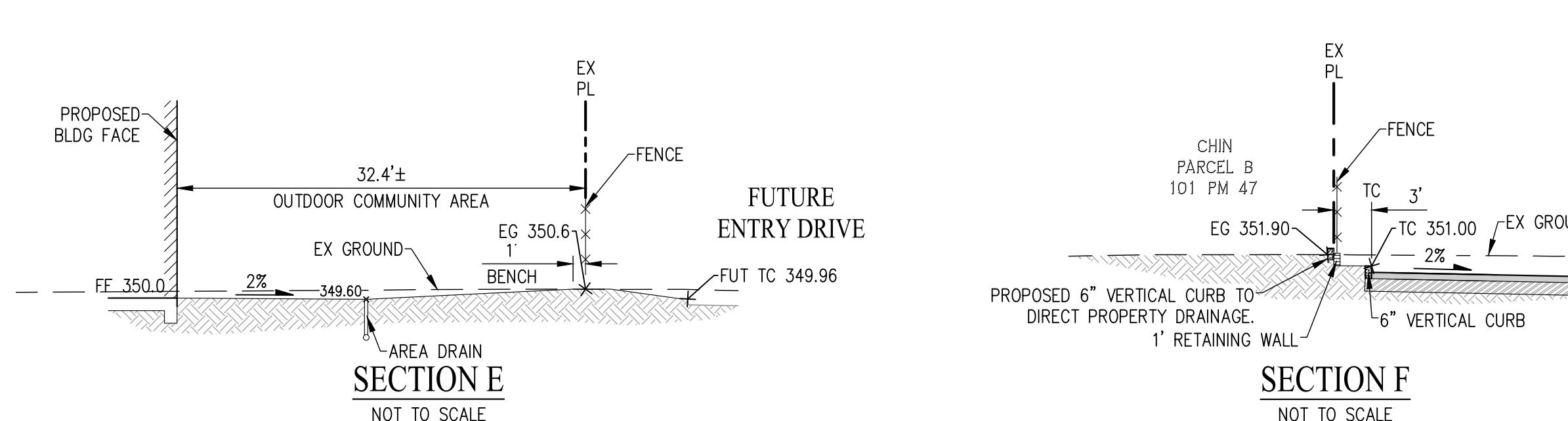
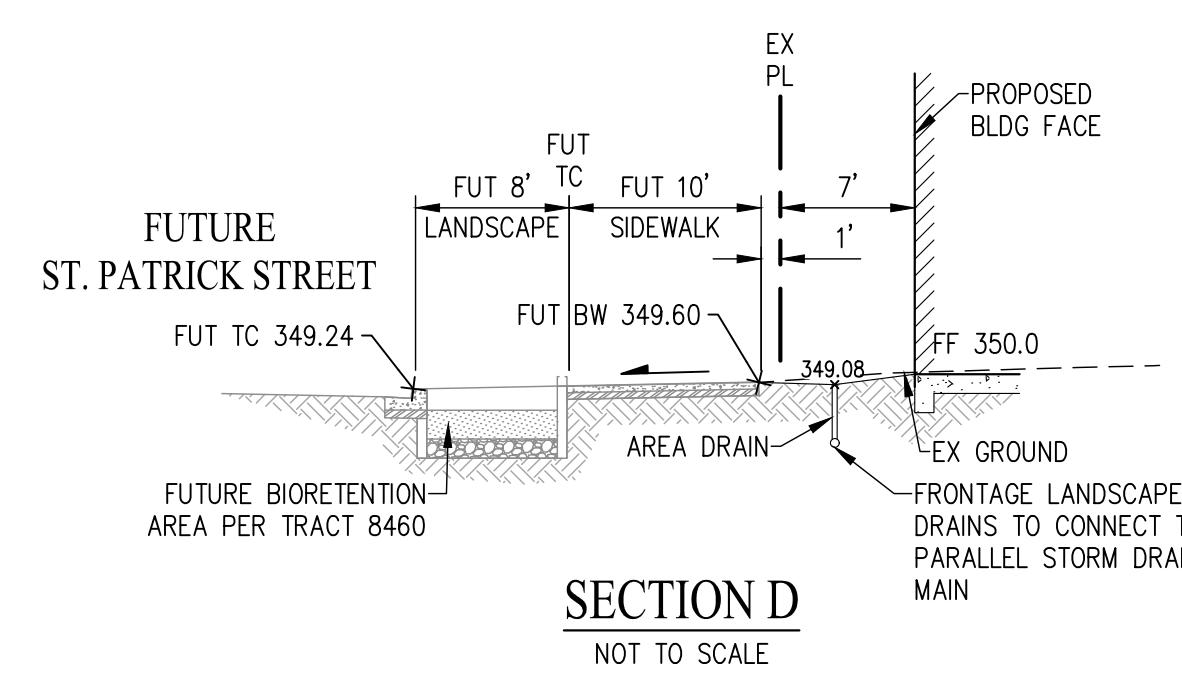
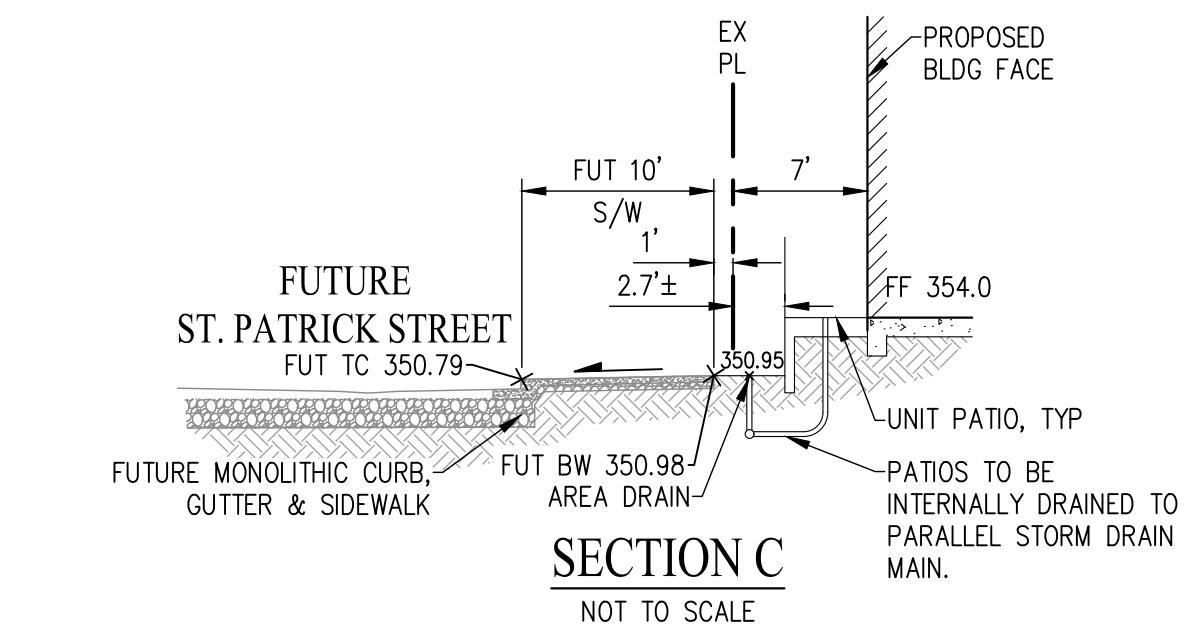
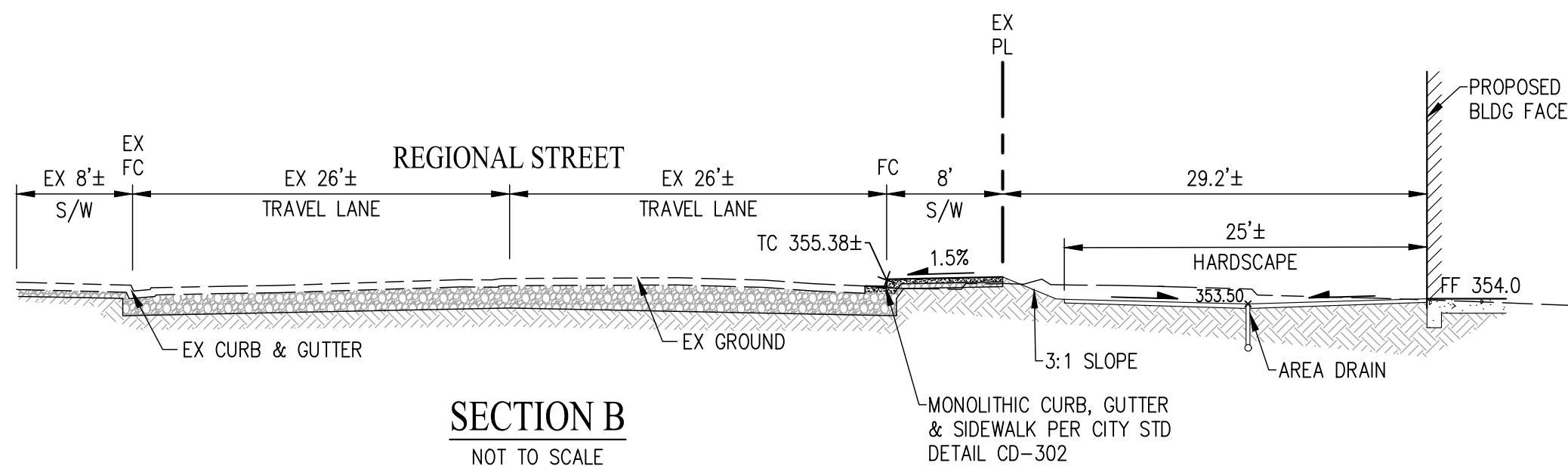
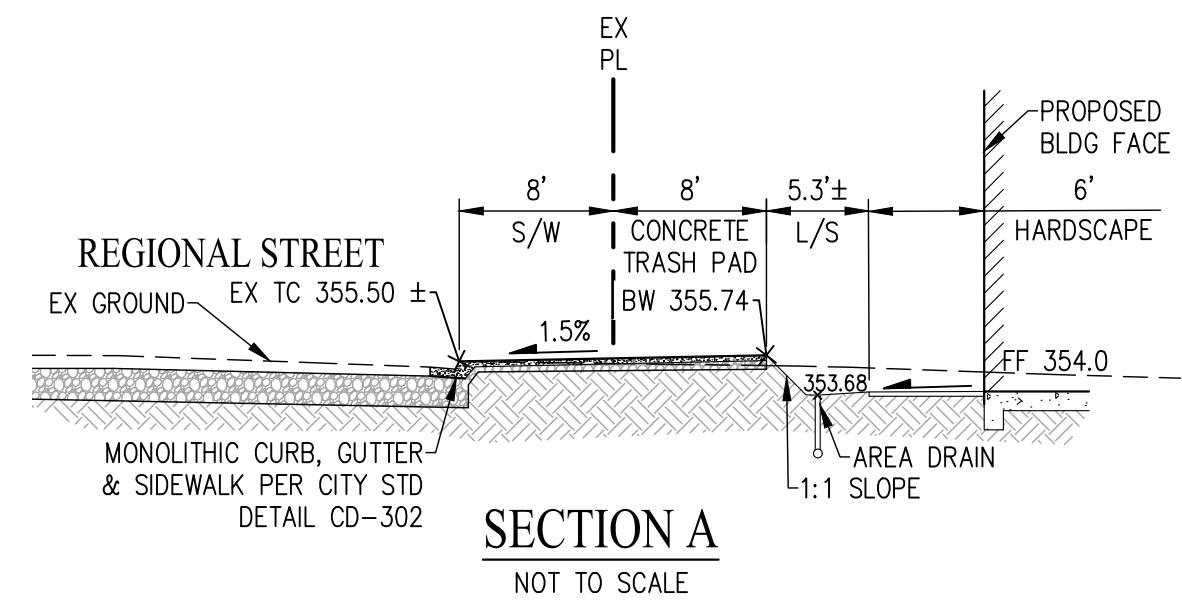
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November 23, 2021

City of Dublin Planning Division



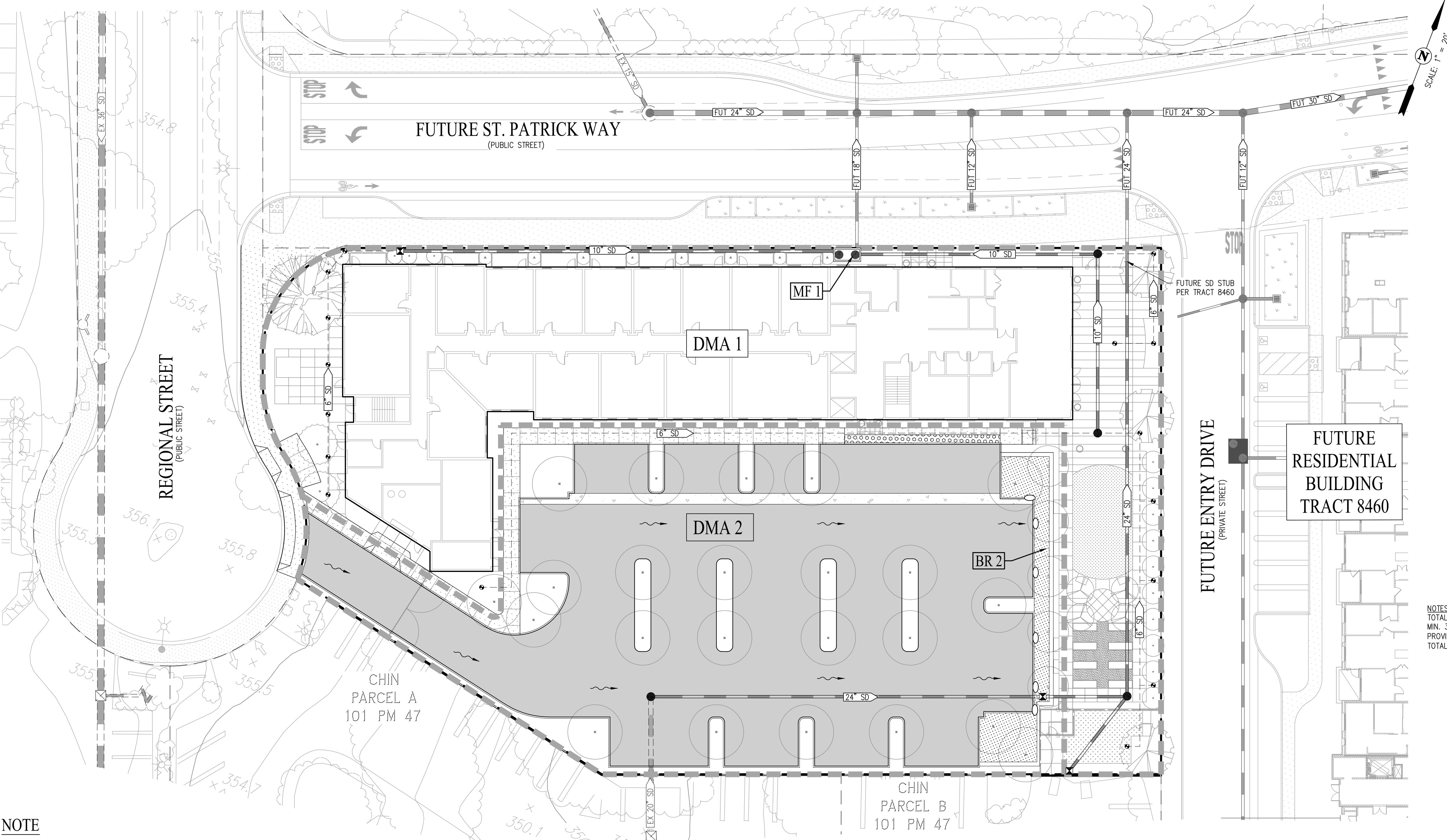




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NOTE

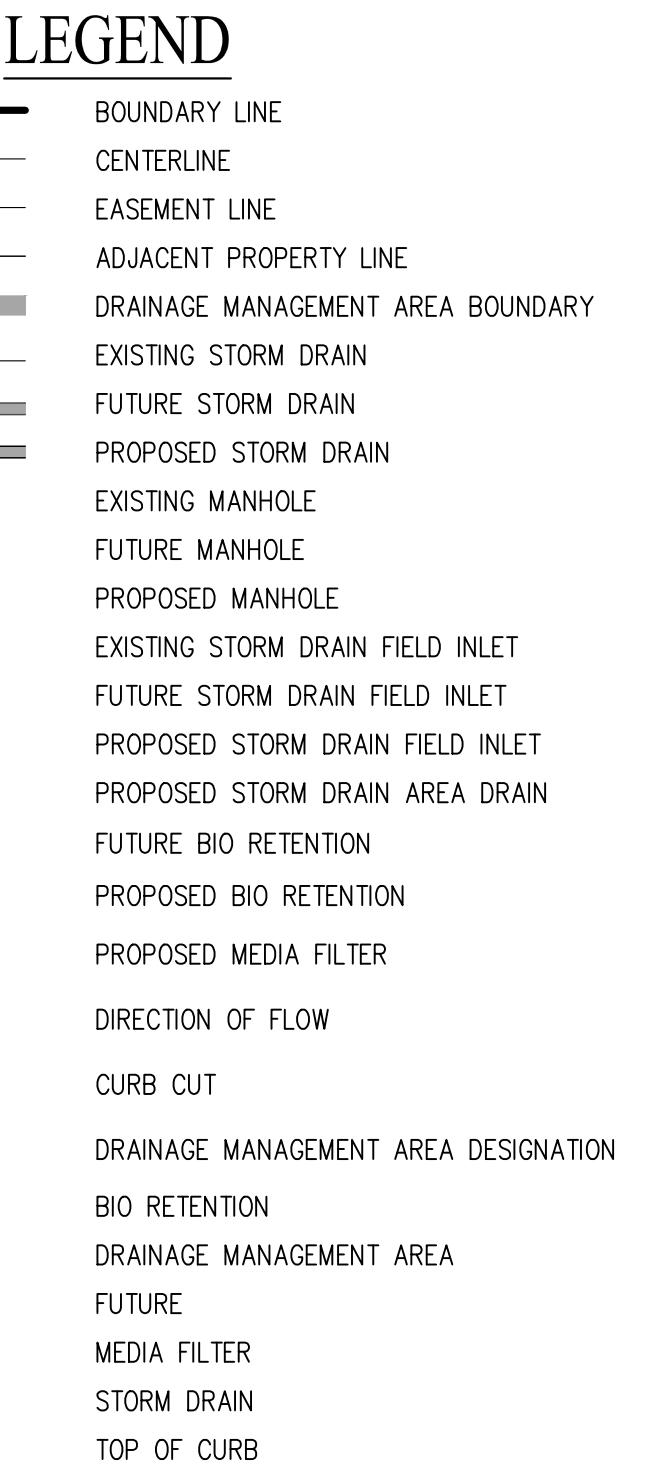
1. BIO-RETENTION AREAS HAVE BEEN SIZED USING THE 4% SIZING METHOD PER CHAPTER 5 OF THE ALAMEDA COUNTY C.3. GUIDANCE MANUAL.

C.3 TREATMENT SUMMARY (MEDIA FILTER)

DMA	TREATMENT TYPE	SIZING METHOD	TREATMENT DEVICE DESIGNATION	TOTAL DMA AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA (A) (SF) (IMPERVIOUS + PERVIOUS X 0.1)	COMPOSITE C VALUE (C)	INTENSITY (I) (IN/HR)	MIN REQUIRED TREATMENT FLOW (CxIxA) (CFS)
1	MEDIA FILTER	FLOW	MF 1	29,337	20,095	9,242	21,019	0.6500	0.2	0.063
			TOTAL	29,337	20,095	9,242	21,019			

C.3 TREATMENT SUMMARY

DMA	TREATMENT TYPE	SIZING METHOD	TREATMENT DEVICE DESIGNATION	TOTAL DMA AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA (SF) (IMPERVIOUS + PERVIOUS X 0.1)	REQUIRED BIOPRETENTION AREA (SF)	PROVIDED BIOPRETENTION AREA (SF)
2	BIO-RETENTION	COMBO	BR 2	28,300	24,300	4,000	24,700	988	1,000
			TOTAL	28,300	24,300	4,000	24,700	988	1,000



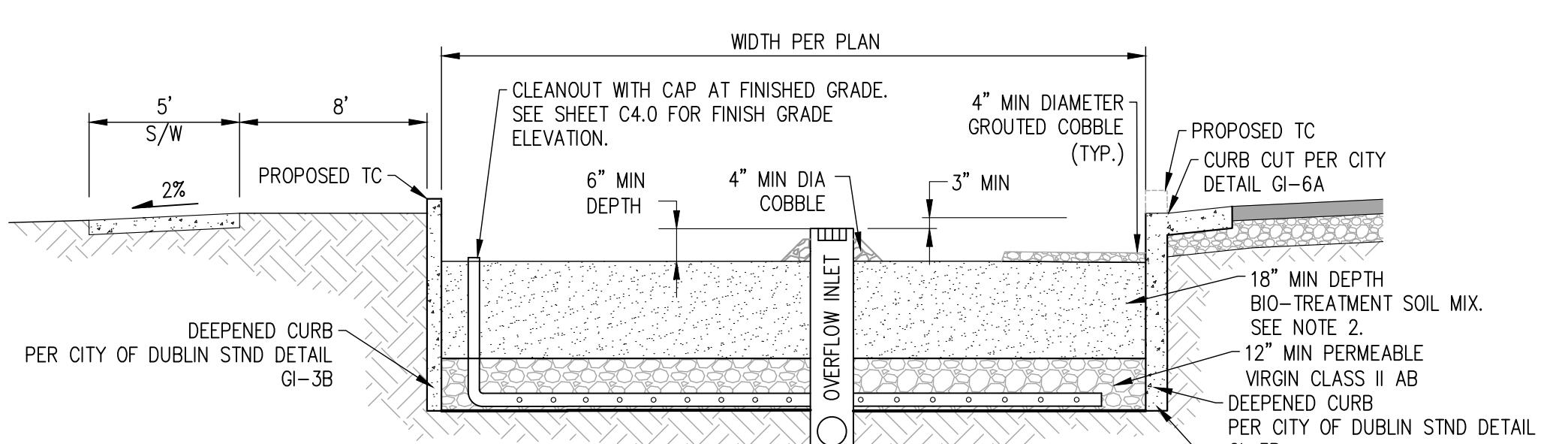
SPECIAL PROJECT NON-LID TREATMENT REDUCTION CREDITS

CATEGORY C: TRANSIT ORIENTED DEVELOPMENT (TOD)

LOCATION CREDIT:
1. WITHIN $\frac{1}{4}$ MILE OF TRANSIT HUB 50%
2. DENSITY/FAR CREDIT: ≥ 60 DU/AC 20%

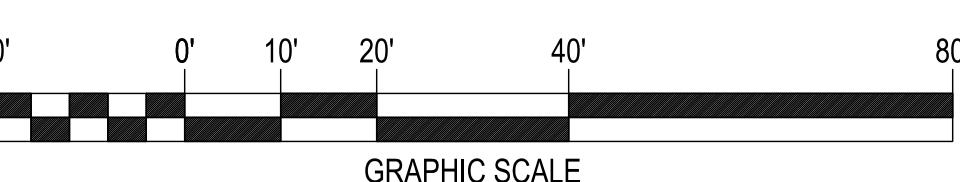
TOTAL MAX. NON-LID CREDIT ALLOWED: 70%

NOTES:
TOTAL SITE EFFECTIVE IMPERVIOUS AREA: 44,395 SF
MIN. 30% BY LID TREATMENT: 13,242 SF
PROVIDED IMPERVIOUS SURFACE TREATED BY LID TREATMENT AREAS: 24,700 SF (54.0%)
TOTAL SITE: 57,637 SF



ON-SITE BIO-RETENTION DETAIL

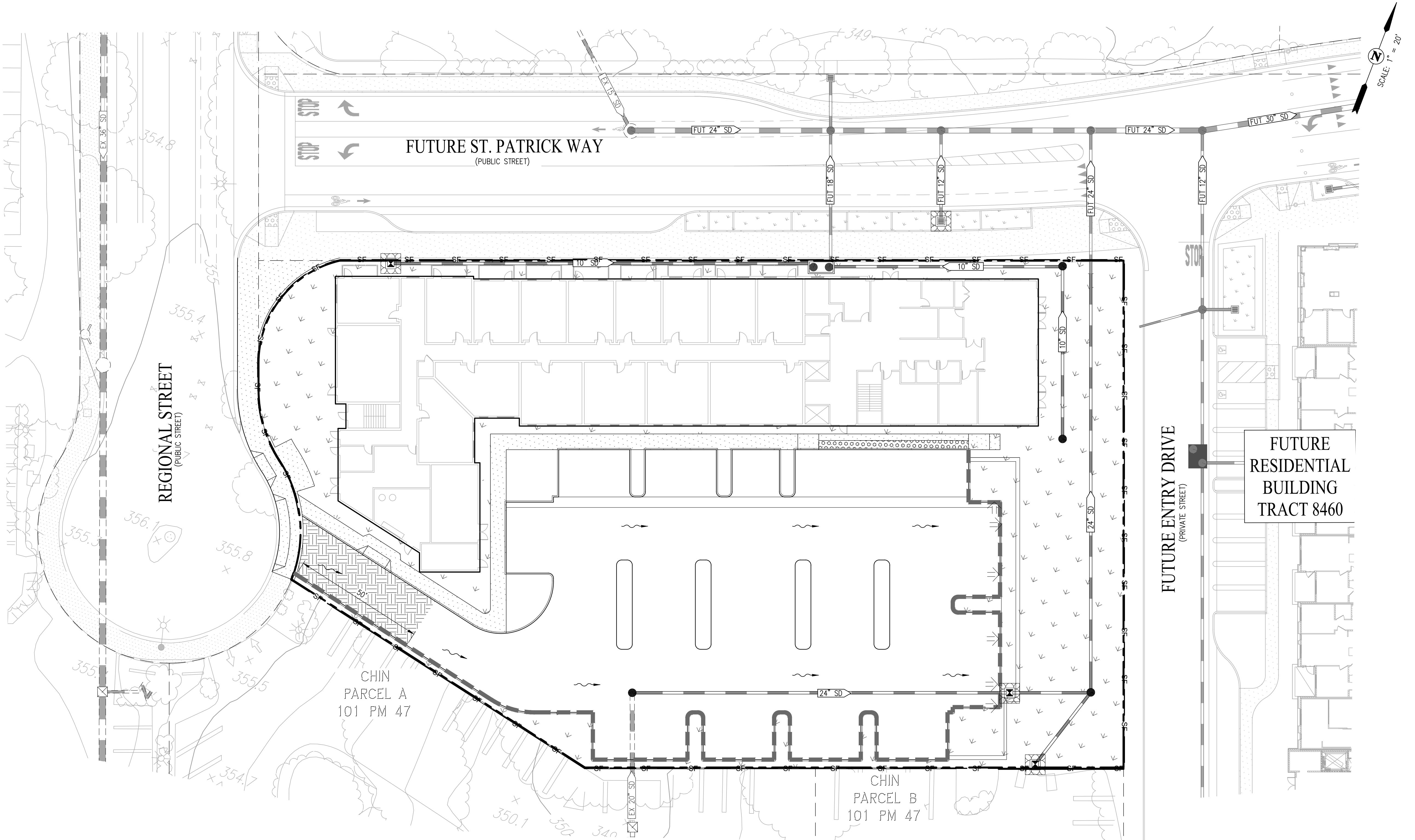
NOT TO SCALE



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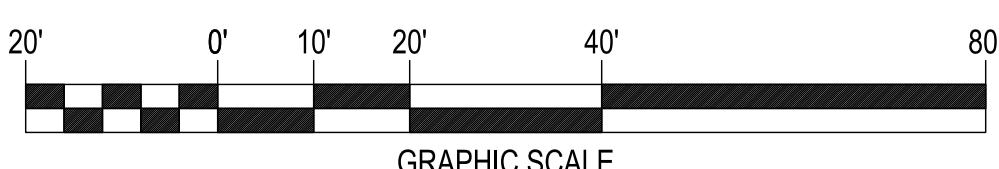
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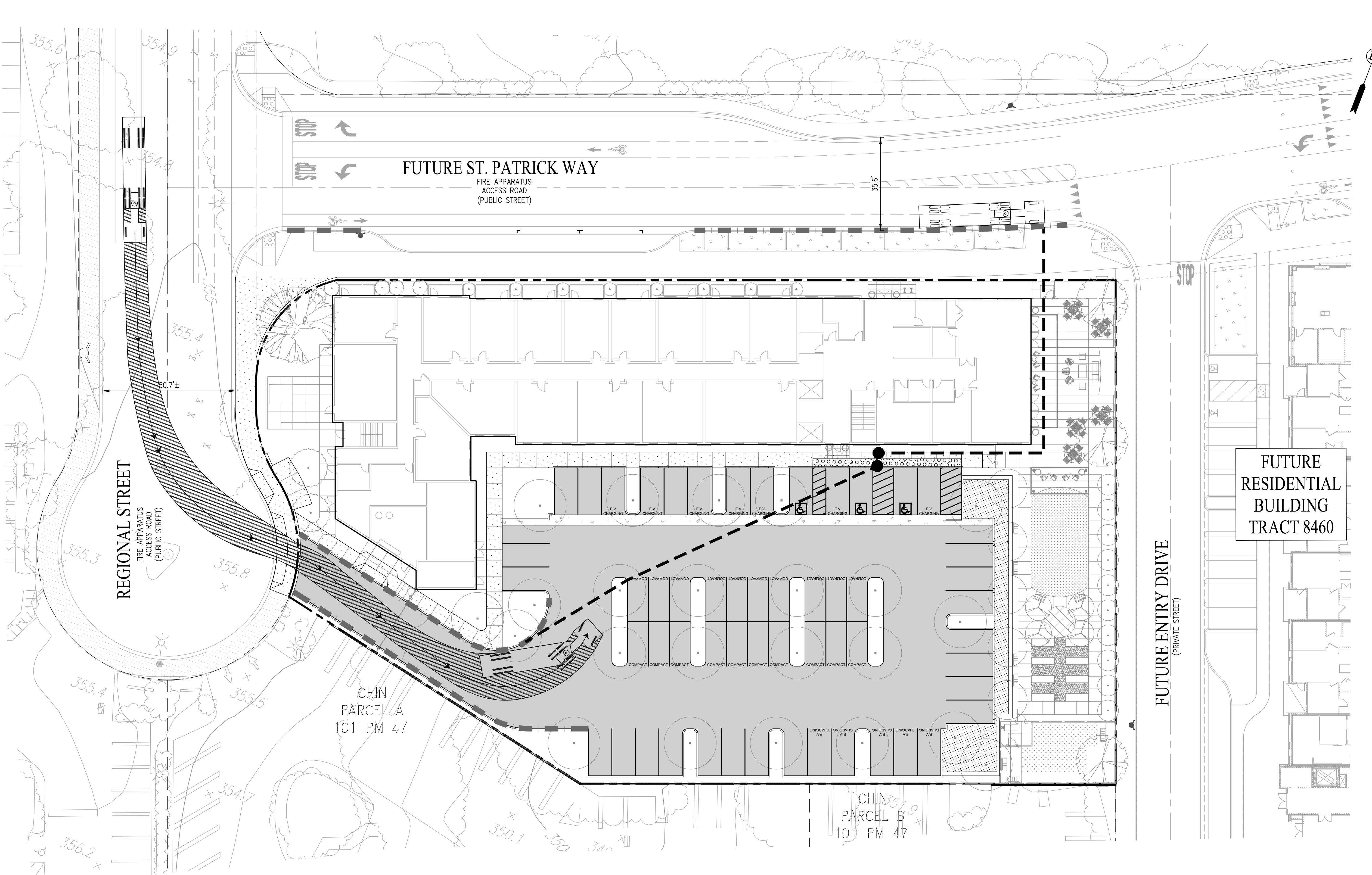


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LEGEND:

— — — — — PROPOSED PROPERTY LINE

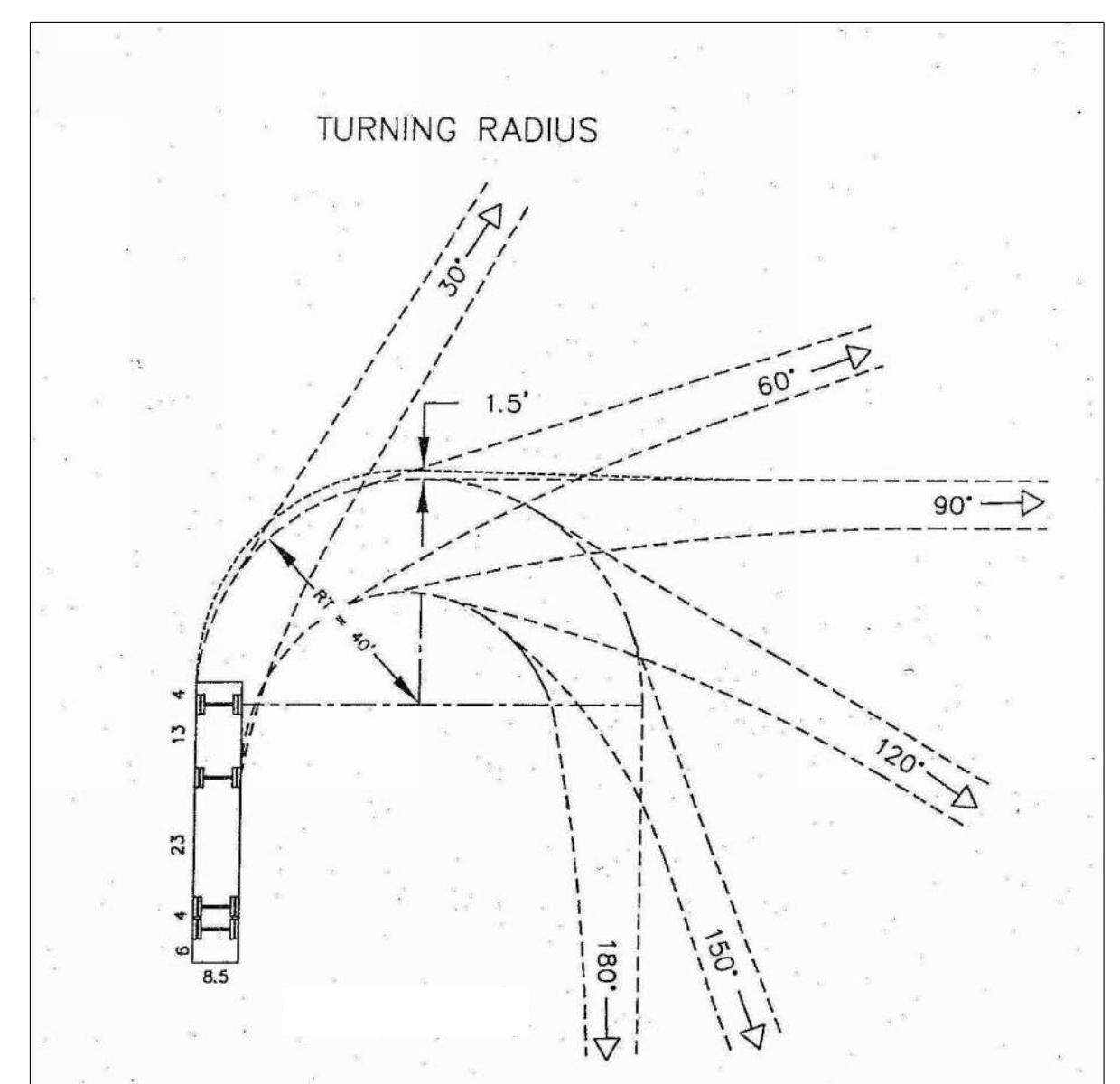
— — — — — ADJACENT PROPERTY LINE

■ | ■ | ■ | ■ | ■ RED CURB WITH "NO STOPPING FIRE LANE"

○ EXISTING FIRE HYDRANT

● FUTURE FIRE HYDRANT

— — — ● FIRE DEPARTMENT HOSE REACH (150')



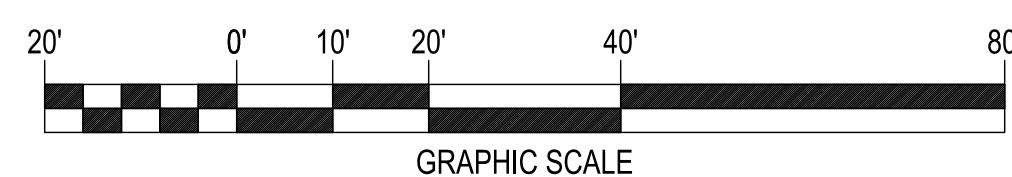
ALAMEDA COUNTY FIRE TRUCK TURNING TEMPLATE

NOT TO SCALE

November 23, 2021

November 23, 2021

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PLANTING LIST

TREES

LEGEND	PARKING LOT TREES	CONTAINER SIZE AT TIME OF PLANTING	QTY.	WUCOLS ZONE	NATIVE (N) / LOCAL (L)	NOTES
	AESCULUS X CARNEA RED HORSECHESTNUT	24" BOX	8	M	L	FULL SUN TO PT SHADE, 50'H x 50'W, DECIDUOUS
	ACER CIRCINATUM VINE MAPLE	24" BOX				FULL SUN TO PT SHADE, 25'H x 20'W, DECIDUOUS
	ULMUS PARVIFOLIA 'DRAKE' EVERGREEN ELM	24" BOX	15	L	L	FULL SUN, 45'H x 50'W, EVERGREEN

LEGEND	SPECIMEN/ MONUMENT TREE	CONTAINER SIZE AT TIME OF PLANTING	QTY.	WUCOLS ZONE	NATIVE (N) / LOCAL (L)	NOTES
	QUERCUS LOBATA VALLEY OAK	72" BOX	1	L	N	FULL SUN TO PT SHADE, 70'H x 50'W, DECIDUOUS

LEGEND	ORCHARD TREES	CONTAINER SIZE AT TIME OF PLANTING	QTY.	WUCOLS ZONE	NATIVE (N) / LOCAL (L)	NOTES
	CITRUS 'MEYER LEMON' MEYER LEMON TREE	15 GAL.	10	M	N	FULL SUN, 10'H x 4'W, EVERGREEN
	MALUS PUMILA APPLE TREE	15 GAL.				FULL SUN, 15'H x 15'W, DECIDUOUS
	PYRUS PYRIFOLIA PEAR TREE	15 GAL.				FULL SUN, 30'H x 30'W, DECIDUOUS

LEGEND	EVERGREEN TREES	CONTAINER SIZE AT TIME OF PLANTING	QTY.	WUCOLS ZONE	NATIVE (N) / LOCAL (L)	NOTES
	ARBUcus X 'MARINA' ARBUcus STANDARD	24" BOX	8	L	N	FULL SUN, EVERGREEN
	ELAEOCARpus DECIPIENS JAPANESE BLUEBERRY TREE	24" BOX				FULL SUN TO PT SHADE, EVERGREEN
	LAURUS NOBILIS 'SARATOGA' SWEET BAY	24" BOX				FULL SUN TO PT SHADE, EVERGREEN
	PODOCARpus MACROPHYLLUS 'MAKI' MAKI SHRUBBY YEW PODOCARpus	15 GAL	5	M		FULL SUN PT SHADE, EVERGREEN

LEGEND	COMMON AREA TREES	CONTAINER SIZE AT TIME OF PLANTING	QTY.	WUCOLS ZONE	NATIVE (N) / LOCAL (L)	NOTES
	ULMUS CARPINIFOLIA X PARVIFOLIA 'FRONTIER' FRONTIER ELM	24" BOX	3	L	L	FULL SUN, DECIDUOUS
	OLEA EUROPaea 'SWAN HILL' SWAN HILL OLIVE MULTI-TRUNK	24" BOX				FULL SUN TO PT SHADE, EVERGREEN
	ACER RUBRUM 'ARMSTRONG' ARMSTRONG RED MAPLE	24" BOX	5	M	L	FULL TO PT SHADE, DECIDUOUS
	CITRUS SPP. ORANGE TREE	24" BOX	4	M	L	FULL SUN, EVERGREEN
	LAGERSTROEMIA INDICA 'MUSKOGEE' MUSKOGEE CRAPemyrtle	24" BOX				FULL SUN, DECIDUOUS
	PRUNUS SERRULATA 'KANZAN' JAPANESE FLOWERING CHERRY	24" BOX				FULL SUN TO PT SHADE, DECIDUOUS
	ROSA FLORIBUNDA 'BRILLIANT PINK ICEBERG' ROSE	15 GAL.				PT TO FULL SUN, DECIDUOUS

	STREET TREE BY ST. PATRICK WAY PROJECT
--	--

TOTAL TREES PROPOSED	59
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PERCENT OF LANDSCAPING	15.64 % (9065 SF)
AREAS OF PROPOSED FOR OUTDOOR USE	GROUND LEVEL (COMMON AREA)
	LEVEL 2 TERRACE
	LEVEL 3 TERRACE
	LEVEL 4 TERRACE
	LEVEL 5 TERRACE

SHRUBS, ORNAMENTAL GRASSES AND GROUNDCOVER

LEGEND	BOTANICAL NAME	CONTAINER SIZE AT TIME OF PLANTING	QTY.	WUCOLS ZONE	NATIVE (N) / LOCAL (L)	NOTES
	AGAVE ATTENUATA 'KARA'S STRIPES' AGAVE	5 GAL		L	N	SUN OR SHADE, EVERGREEN
	ARBUTUS UNEDO STRAWBERRY TREE SHRUB	15 GAL		L	N	FULL SUN PT SHADE, EVERGREEN
	BOUGAINVILLEA spp. BOUGAINVILLEA	5 GAL		L		FULL SUN, EVERGREEN VINE
	CALISTEMON VIMINALIS "LITTLE JOHN" BOTTLEBRUSH	5 GAL		L		FULL SUN PT SHADE, EVERGREEN
	CAMELLIA SASANQUA CHRISTMAS CAMELLIA	5 GAL		M		FULL SUN TO PT SHADE, EVERGREEN
	COLEONEMA PULCHRUM 'SUNSET GOLD' GOLDEN BREATH OF HEAVEN	5 GAL		M	L	FULL SUN, EVERGREEN
	DIETES BICOLOR FORTNIGHT LILY	5 GAL		L	L	FULL SUN PT SHADE, EVERGREEN
	DIETES GRANDIFLORA 'VARIEGATA' STRIPED FORTNIGHT LILY	5 GAL		L	L	SUN OR PT SHADE, EVERGREEN
	EPILOBIUM CALIFORNICUM 'BOWMAN'S #1'	1 GAL		L	N	FULL SUN, DECIDUOUS
	CALIFORNIA FUCHSIA					
	FESTUCA MAIREI ATLAS FESCUE	1 GAL		L		SUN OR PT SHADE, EVERGREEN
	HESPERALOE PARVIFLORA RED YUCCA	5 GAL		L	L	FULL SUN, EVERGREEN
	HESPERALOE PARVIFLORA 'PERPA'	5 GAL		L	L	FULL SUN, EVERGREEN
	BRAKELIGHTS RED YUCCA					
	HEUCHERA X 'ELECTRIC LIME' CORAL BELLS	1 GAL		M	L	FULL SUN, EVERGREEN
	KNIPHOFIA UVARIA 'MALIBU YELLOW' MALIBU YELLOW TORCH LILY	5 GAL		L		FULL SUN, PERENNIAL
	LAVANDULA ANGUSTIFOLIA 'HIDCOTE PINK' ENGLISH LAVENDER	5 GAL		L		FULL SUN PT SHADE, EVERGREEN
	LAVATERA MARITIMA TREE MALLOW	5 GAL		L	L	SUN OR SHADE, EVERGREEN
	LEUCOSPERMUM CORDIFOLIUM NODDING PINCUSHION	5 GAL		L		FULL SUN, EVERGREEN
	LIRIOPE MUSCARI 'VARIEGATA' VARIEGATED LILY TURF	1 GAL		M		FULL SUN TO PT SHADE, EVERGREEN
	LOMANDRA LONGIFOLIA 'BREEZE' BREEZE MAT RUSH	1 GAL		L	L	SUN OR SHADE, EVERGREEN
	LOMANDRA LONGIFOLIA 'ROMA13' PP25962	1 GAL		L	L	FULL SUN TO PT SHADE, EVERGREEN
	LOMANDRA PLATINUM BEAUTY					
	MYRTUS COMMUNIS 'COMPACTA'	5 GAL		L		FULL SUN, EVERGREEN
	MYRTLE					
	NEPETA FAASSENII CATMINT	1 GAL		L	L	FULL SUN TO PT SHADE, EVERGREEN
	OLEA EUROPaea 'MONTRA'	5 GAL		L	L	FULL SUN, EVERGREEN
	LITTLE OLIVE DWARF OLIVE					
	PITTOSPORUM TOBIRA 'WHEELER'S DWARF' DWARF MOCK ORANGE	5 GAL		L		FULL SUN PT SUN, EVERGREEN
	PODOCARpus MACROPHYLLUS 'MAKI' MAKI SHRUBBY YEW PODOCARpus	15 GAL		M		FULL SUN PT SHADE, EVERGREEN
	RHAMNUS CALIFORNICA 'EVE CASE' CALIFORNIA COFFEEBERRY	5 GAL		L	N	SUN OR SHADE, EVERGREEN
	ROSA X 'FLOWER CARPET APPLEBLOSSOM' ROSE	2 GAL		M	L	FULL SUN, DECIDUOUS
	SALVIA LEUCANTHA 'SANTA BARBARA' MEXICAN BUSH SAGE	5 GAL		L	L	FULL SUN, EVERGREEN
	SALVIA MICROPHYLLOA 'HOT LIPS' HOT LIPS SAGE	5 GAL		L	L	FULL SUN TO PT SHADE, EVERGREEN
	SENECIO SERPENS BLUE CHALKSTICKS	1 GAL		L	L	FULL SUN, EVERGREEN
	TEUCRIUM CHAMAEDRYS GERMANDER	1 GAL		L	L	FULL SUN TO PT SHADE, EVERGREEN
	TEUCRIUM FRUTICANS 'AZUREUM' AZURE BUSH GERMANDER	5 GAL		L	L	FULL SUN, EVERGREEN

STORMWATER TREATMENT AREA

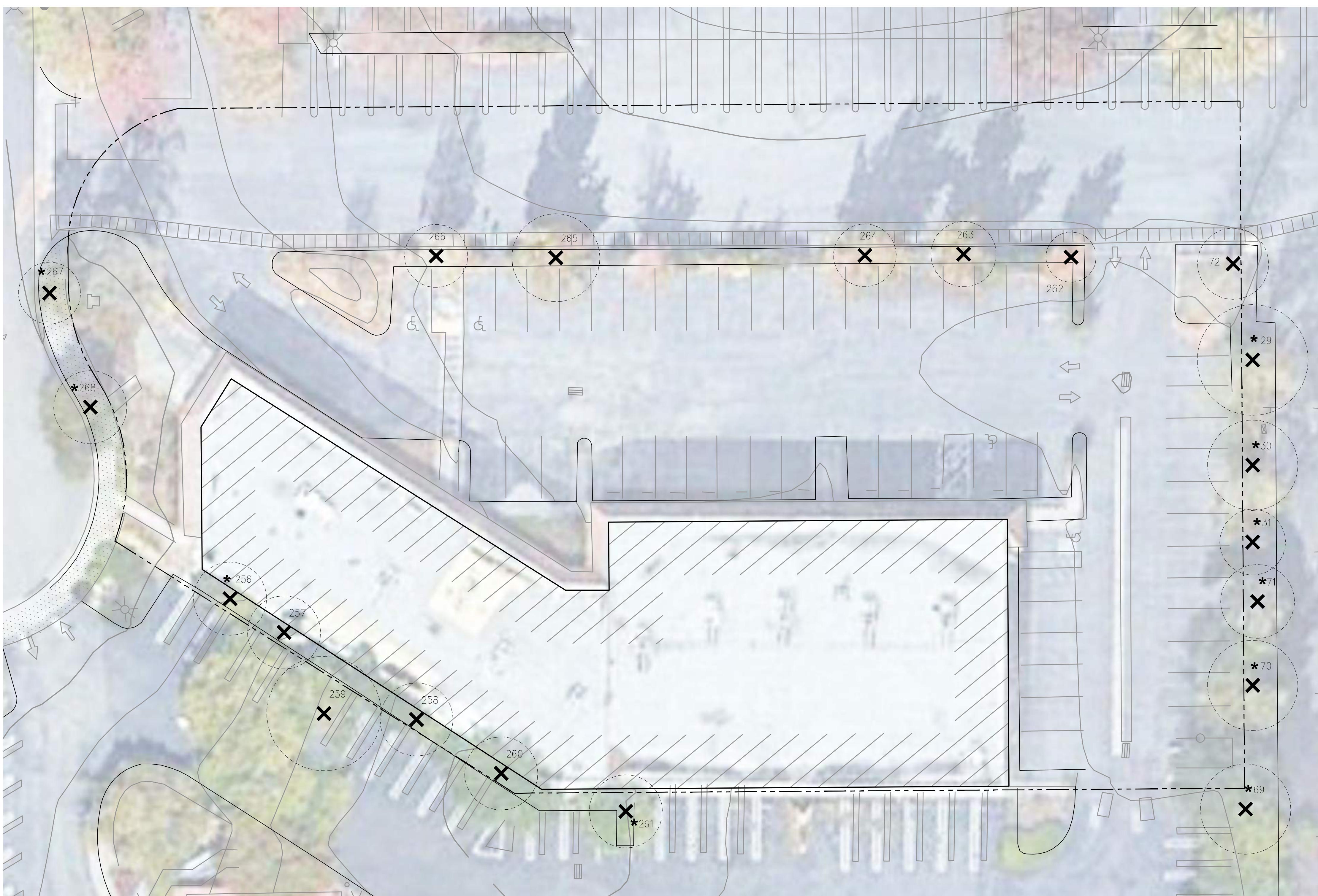
LEGEND	BOTANICAL NAME	CONTAINER SIZE AT TIME OF PLANTING	QTY.	WUCOLS ZONE	NATIVE (N) / LOCAL (L)	NOTES
	LIMONIUM CALIFORNICUM MARSH ROSEMARY	1 GAL		L	N	FULL SUN TO PT SHADE, EVERGREEN
	CAREX TUMULICOLA BERKELEY SEDGE	1 GAL		L	N	SUN OR SHADE, EVERGREEN
	CHONDROPETALUM TECTORUM 'EL CAMPO' CAPE RUSH	5 GAL		L	L	SUN OR SHADE, EVERGREEN
	JUNCUS PATENS 'CARMAN'S GREY' SPREADING RUSH	5 GAL		L	N	SUN OR SHADE, EVERGREEN
	LEYMUS CONDENSATUS 'CANYON PRINCE' NATIVE BLUE RYE	1 GAL		L	N	FULL SUN, EVERGREEN
	MIMULUS AURANTIACUS STICKY MONKEYFLOWER	5 GAL		VL	N	FULL SUN TO PT SHADE

Table 3. Tree Disposition
Regional Street, Dublin CA

Tree No.	Common Name	Trunk Diameter	Heritage?	Suitability for Preserv.	Recommendation for Action
256	Hollywood juniper	8,6,5	No	Moderate	Remove, within access drive
257	Callery pear	7	No	Low	Remove, within access drive
258	Coast live oak	8	No	Low	Remove, within access drive
* 259	Chinese elm	19	No	Moderate	Remove, within access drive
260	Chinese elm	12,10,6,5	No	Low	Remove, within access drive
261	Chinese pistache	10	No	Moderate	Remove, within parking lot
* 69	Coast live oak	15	No	Moderate	Remove, impacted by grading
* 70	Tulip poplar	15	No	Low	Remove, impacted by grading
* 71	Coast live oak	15	No	Low	Remove, impacted by grading
* 31	Tulip poplar	14	No	Low	Remove, impacted by grading
* 30	Tulip poplar	15	No	Low	Remove, impacted by grading
* 29	Tulip poplar	23	No	Low	Remove, impacted by grading
72	Tulip poplar	16	No	Low	Remove, impacted by grading
262	Sweetgum	6	No	Moderate	Remove, within sidewalk
263	Sweetgum	11	No	Moderate	Remove, within sidewalk
264	Sweetgum	11	No	Moderate	Remove, within sidewalk
265	Sweetgum	9	No	Moderate	Remove, within sidewalk
266	Sweetgum	9	No	Moderate	Remove, within sidewalk
* 267	Callery pear	11	No	Moderate	Remove for aesthetics/performance
* 268	Callery pear	14	No	Moderate	Remove for aesthetics/performance

* OFF-SITE TREES

TREES TO BE REMOVED AND PRESERVED PER THE ARBORIST REPORT BY HORTSCIENCE DATED ON AUGUST, 2021

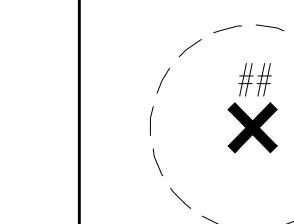


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EXISTING TREE LEGEND



EXISTING TREE TO BE REMOVED

TOTAL OF EXISTING TREES: 20
TOTAL IN-SITE TREES TO BE REMOVED: 10
TOTAL OFF-SITE TREES TO BE REMOVED: 10

----- PROPERTY LINE -----

TREES



SHRUBS, ORNAMENTAL GRASSES AND GROUNDCOVER



STORMWATER TREATMENT AREA



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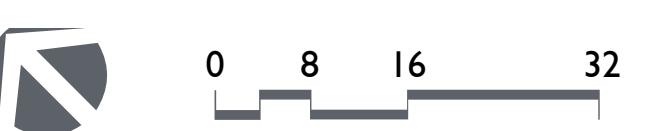


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- 1** Outoodr Dining/
Lounge/Event Space
 - 2** Sports Court
 - 3** Garden
 - 4** Pet Relief Area
 - 5** Shade Element
 - 6** Art panel on Fence Panel
 - 7** Gate
 - 8** 6'H Perimeter Privacy Fencing
 - 9** 4'H Pet Fence/Gate
 - 10** 20' W Vehicular Double Gates
 - 11** Green Screen Panels
 - 12** Pots
 - 13** Bench
 - 14** Stand-up Planters
 - 15** 5' W Pathway
 - 16** Patio
 - 17** Stormwater Treatment Area
 - 18** Specimen/ Monument Tree
 - 19** Evergreen Tree
 - 20** Parking Lot Tree
 - 21** Columnar Tree
 - 22** Speciment Shade Tree
 - 23** Accent Tree
 - 24** Orchard Tree
 - 25** Transformer/ Pad
 - 26** Bike Rack



DUBLIN AFFORDABLE HOUSING

6543 REGIONAL STREET, DUBLIN CA 94568

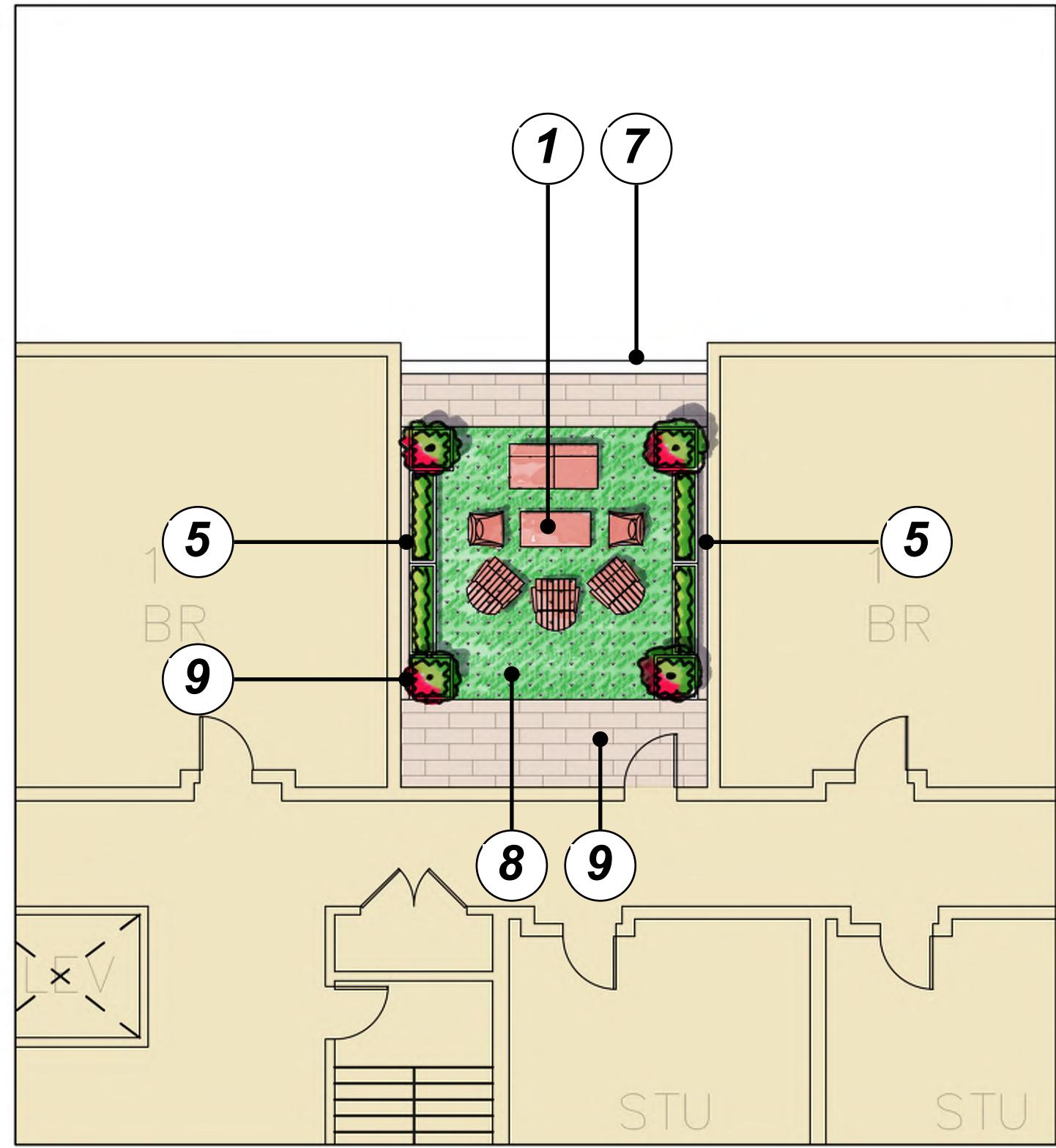
OVERALL SITE PLAN - GROUND LEVEL

11/05/21

19049

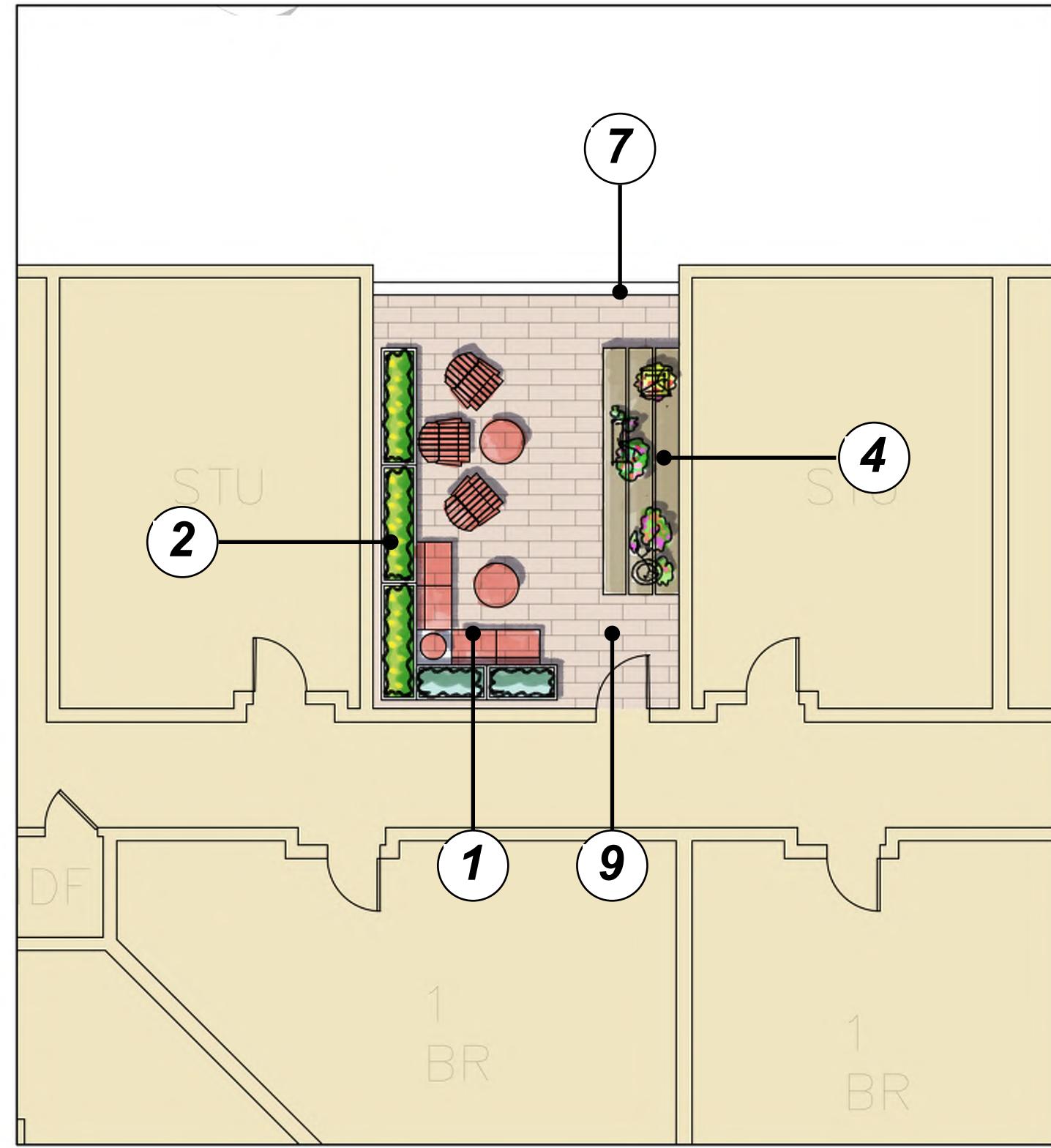
 GATES
+ASSOCIATES

-4



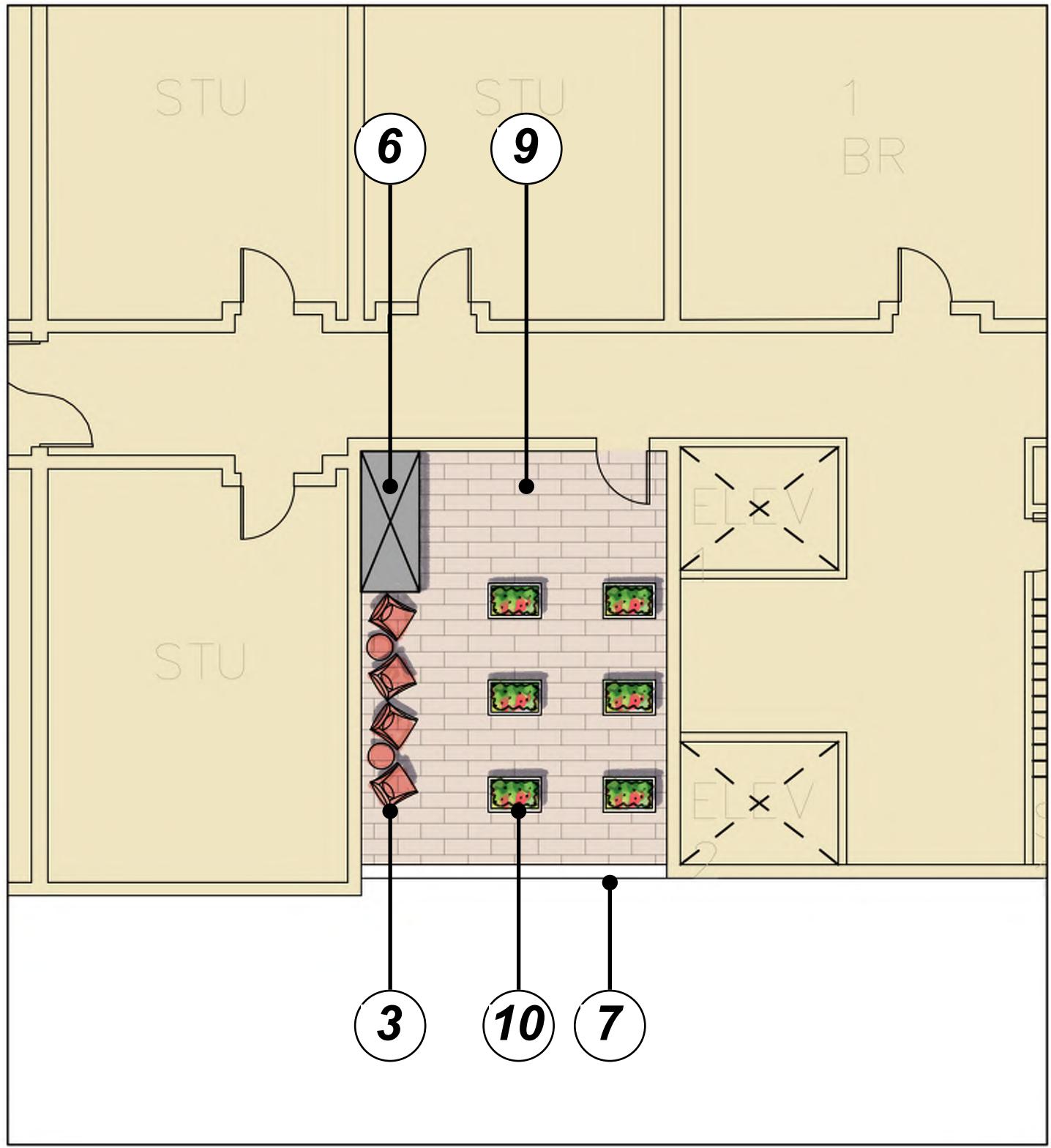
LEVEL 2 - SCENT GARDEN

1/8" = 1'-0"



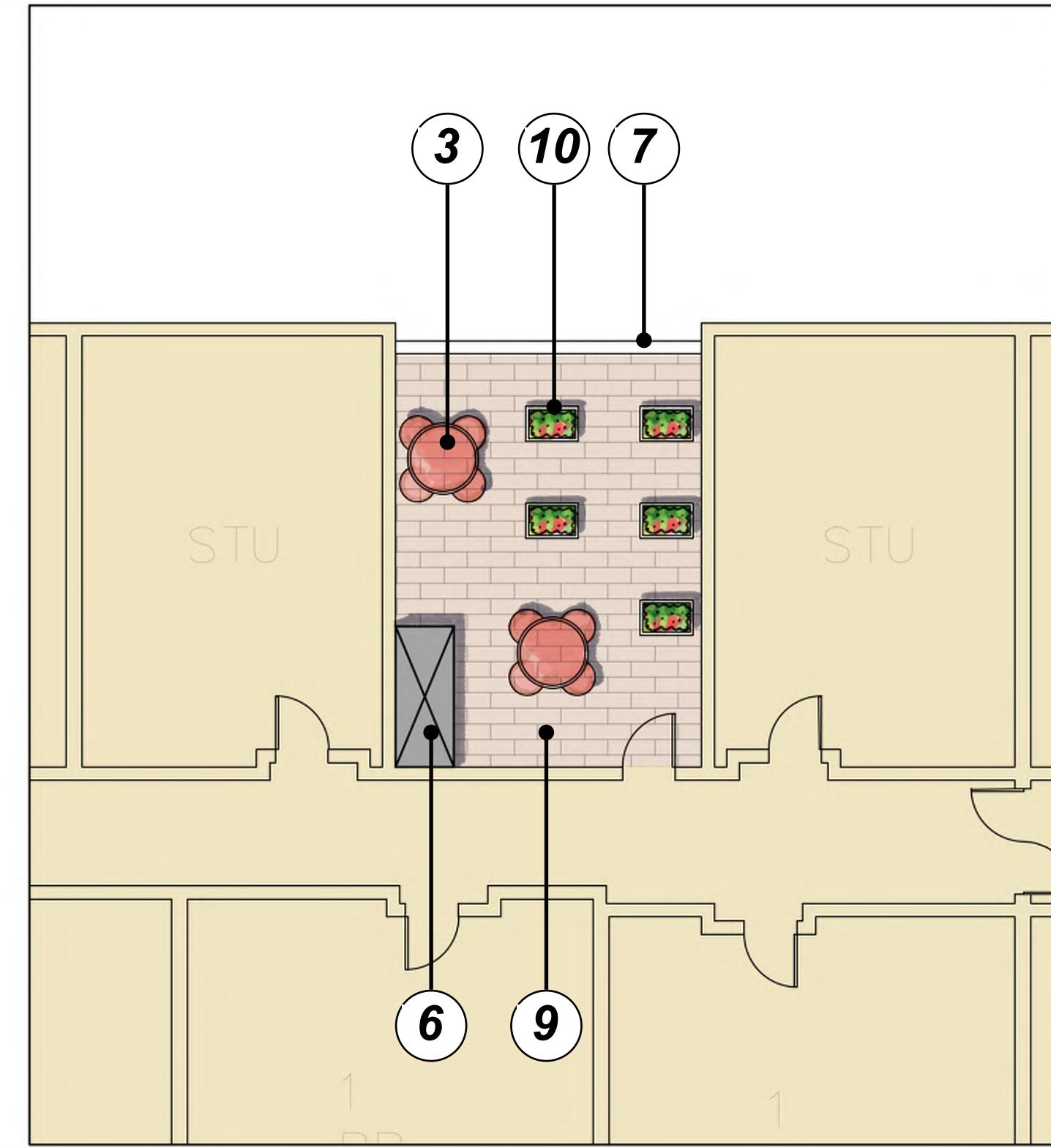
LEVEL 3 - ORCHID GARDEN

1/8" = 1'-0"



LEVEL 4 - PERENNIAL GARDEN

1/8" = 1'-0"



LEVEL 5 - EDIBLE GARDEN

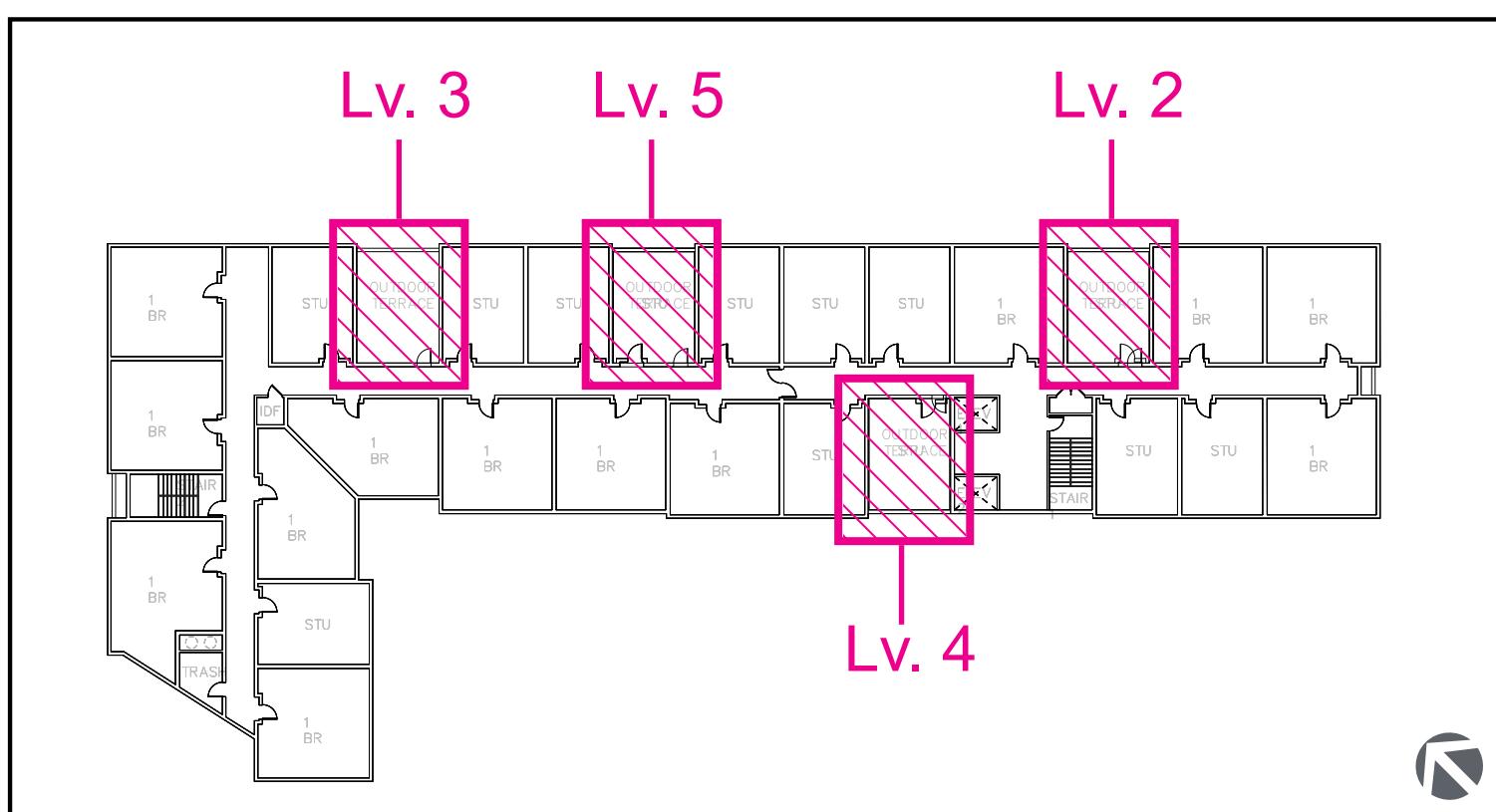
1/8" = 1'-0"

- 1 Lounge Seating
- 2 Raised Planter
- 3 Tables and Chairs
- 4 Shelf for Displaying Orchid Planters
- 5 Raised Planter with Scent themed plant palette
- 6 Tool Shed
- 7 Guardrail, S.A.D.
- 8 Synthetic Turf
- 9 Pedestal Paver System, S.A.D.
- 10 Stand-Up Planters

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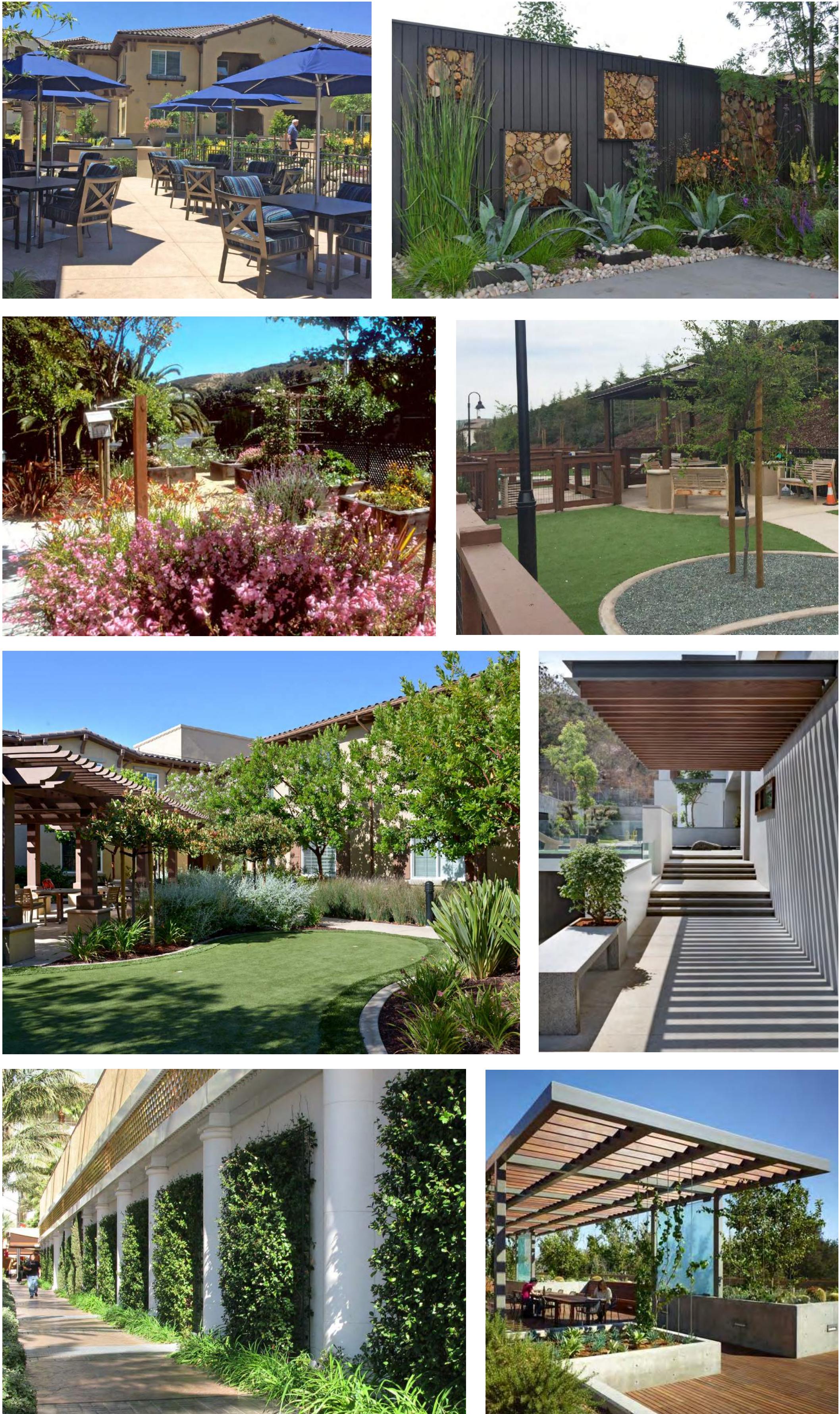
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KEY PLAN
N.T.S.

COMMON OUTDOOR SPACE



UPPER TERRACE ORCHID GARDEN



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SCENT GARDEN



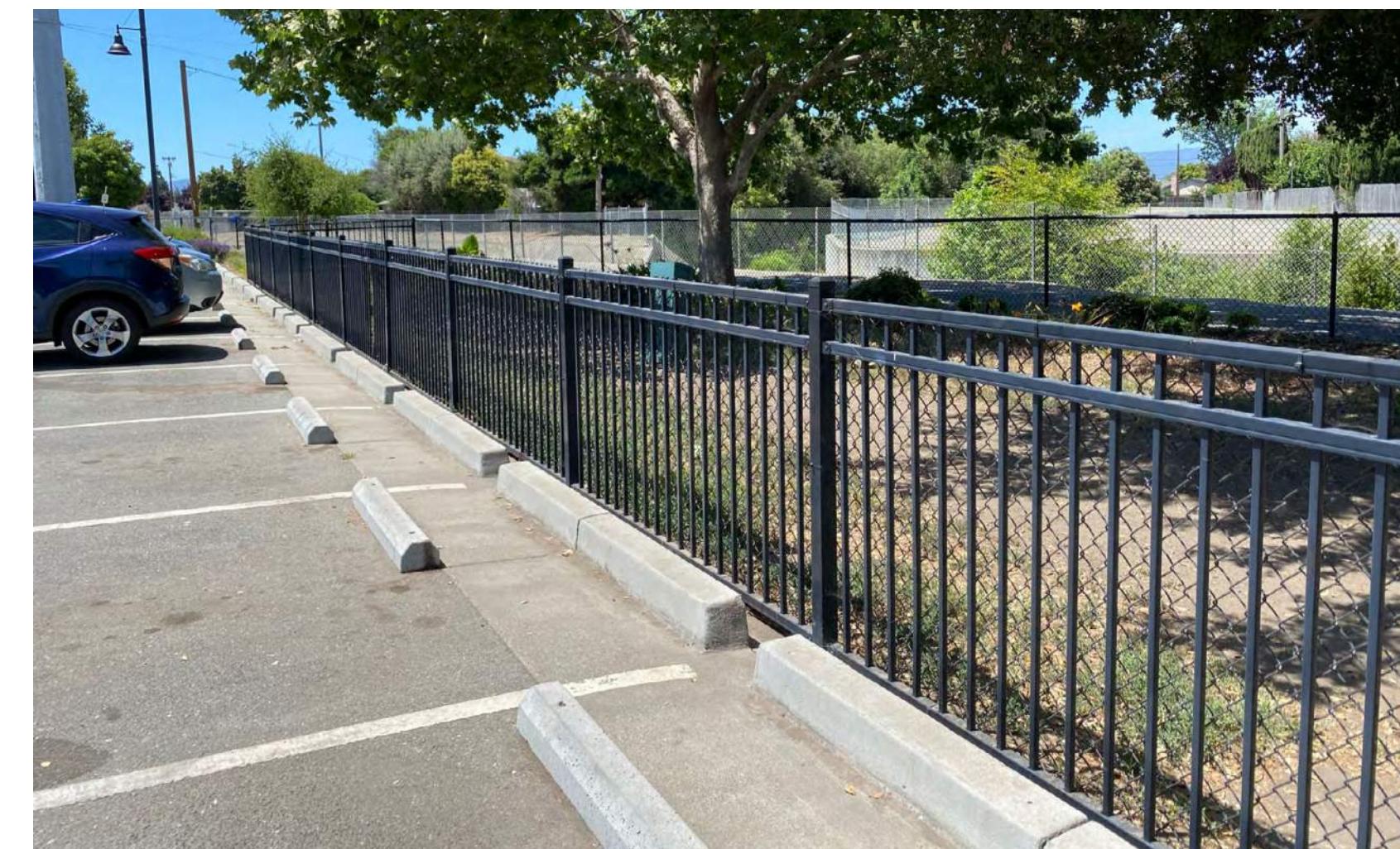
PERENNIAL GARDEN/ EDIBLE GARDEN



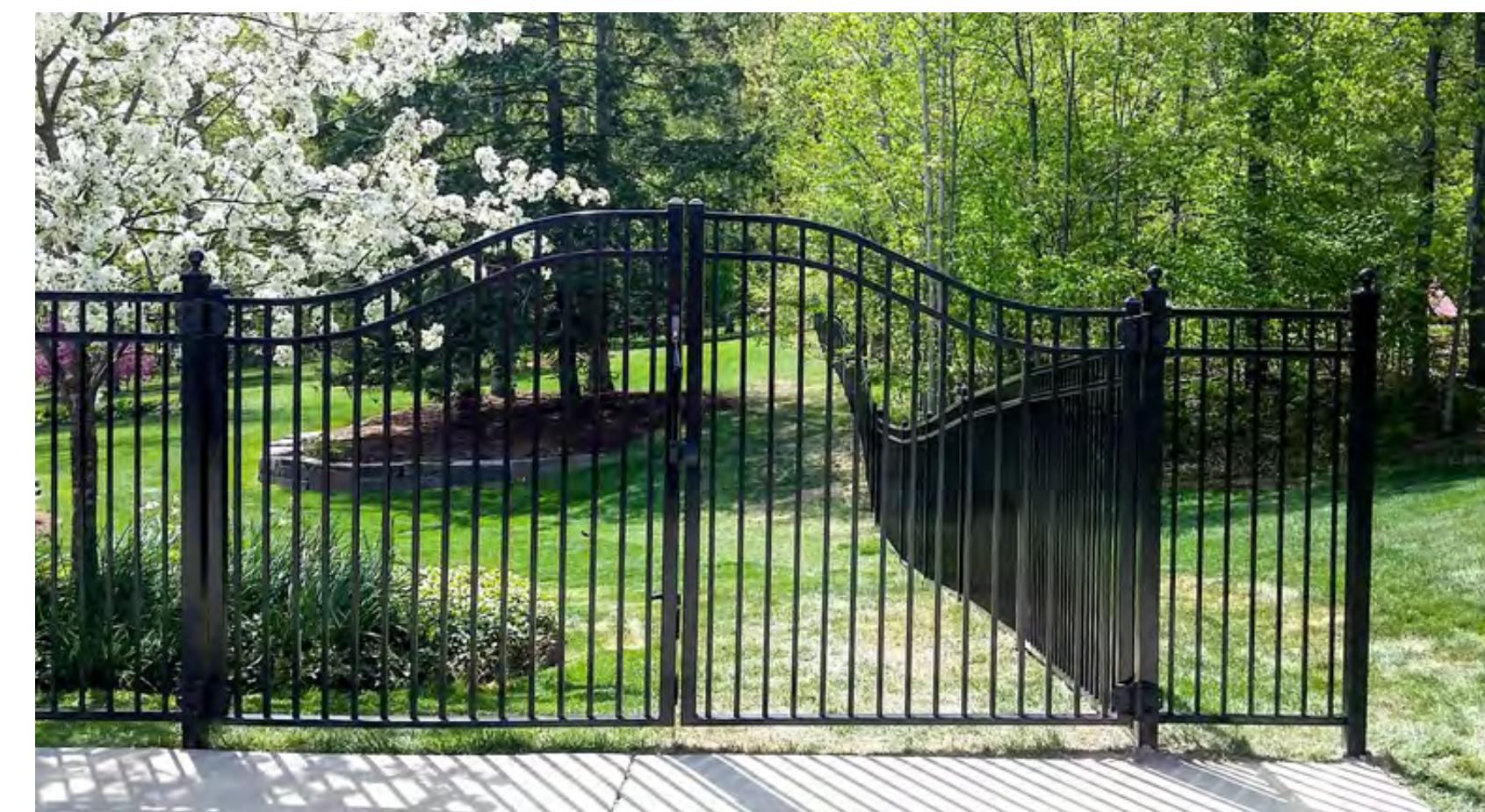
FENCING CHARACTER IMAGES 6' H GOOD NEIGHBOR FENCE



4' H PET FENCE AT DOG RUN



VEHICULAR DOUBLE GATE



**SITE LIGHTING
Fixture Legend:**

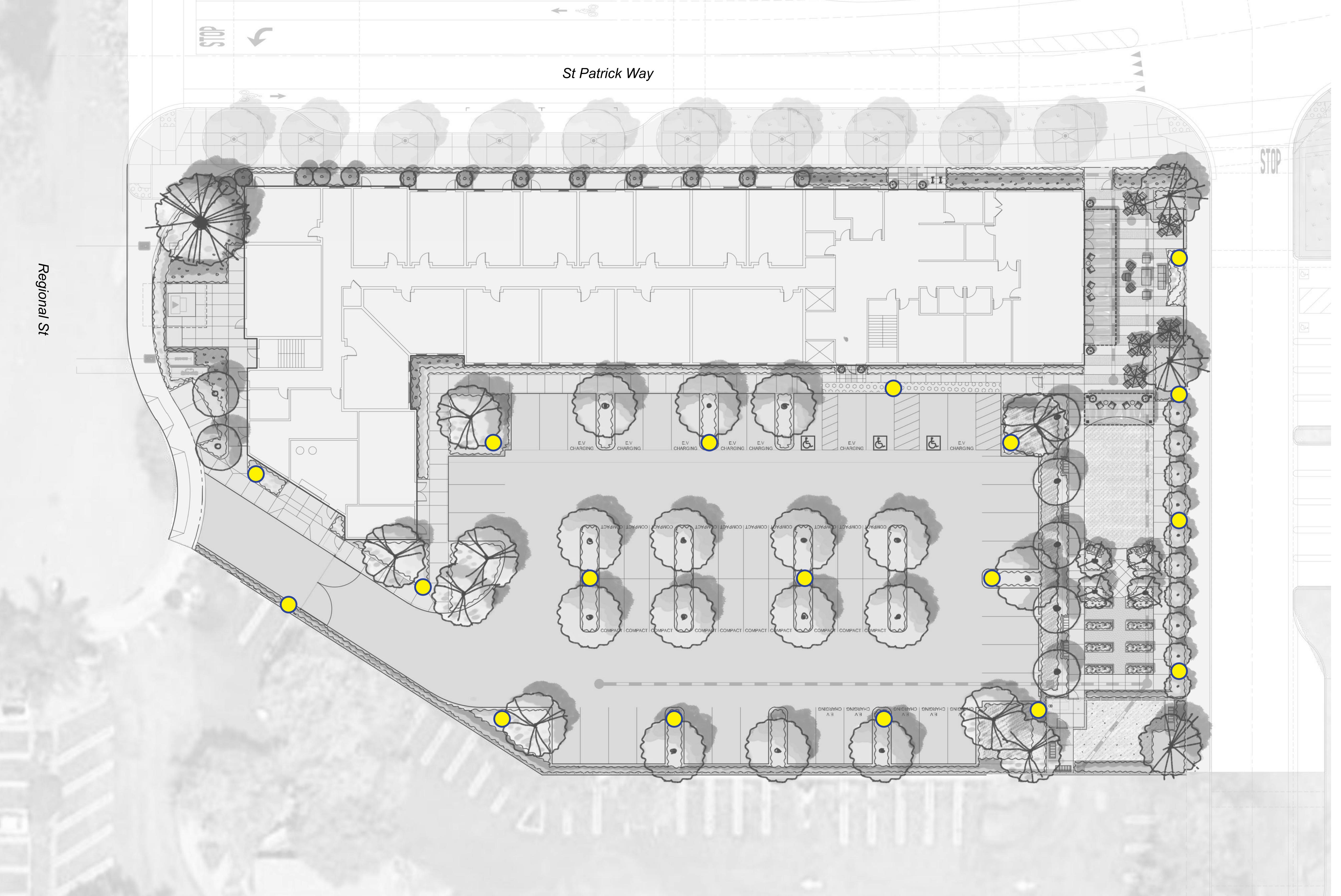
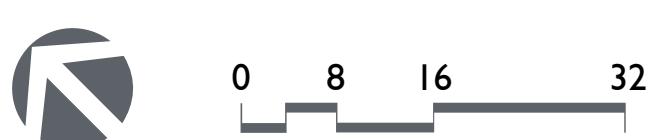
SYMBOL	Fixture Type
	POST TOP LIGHT MFR: HADCO OR SIMILAR MODEL: URBAN SWAN LED PENDANT WITH INTEGRAL BUILDING SIDE SHIELD LOUVER, CXF4C POLE HEIGHT: 12' - 14' COLOR FINISH: T.B.D.

NOTES:
1. THE PERIMETER LIGHTING WILL BE SHIELDED WITH ADEQUATE ANGLE AND WILL BE DIRECTED TO THE INTERIOR.
2. THE SITE LIGHTING PLAN IS SUBJECT TO REVISIONS WHEN A PHOTOMETRIC STUDY IS DONE.
3. PARKING LOT LIGHTING SHALL MEET THE REQUIREMENTS SET FORTH IN THE DUBLIN MUNICIPAL CODE.

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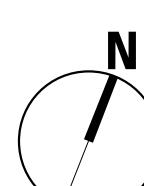
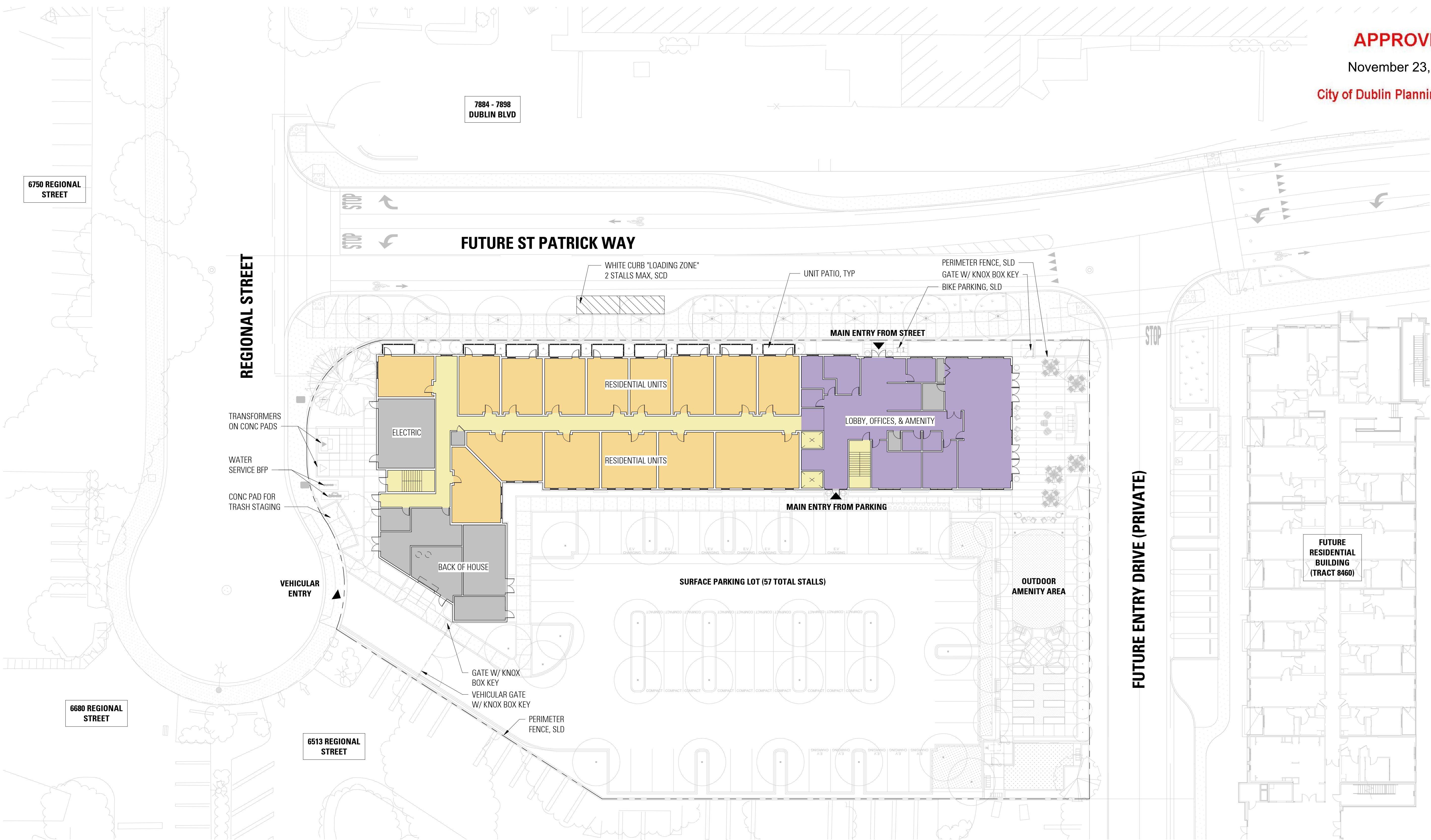
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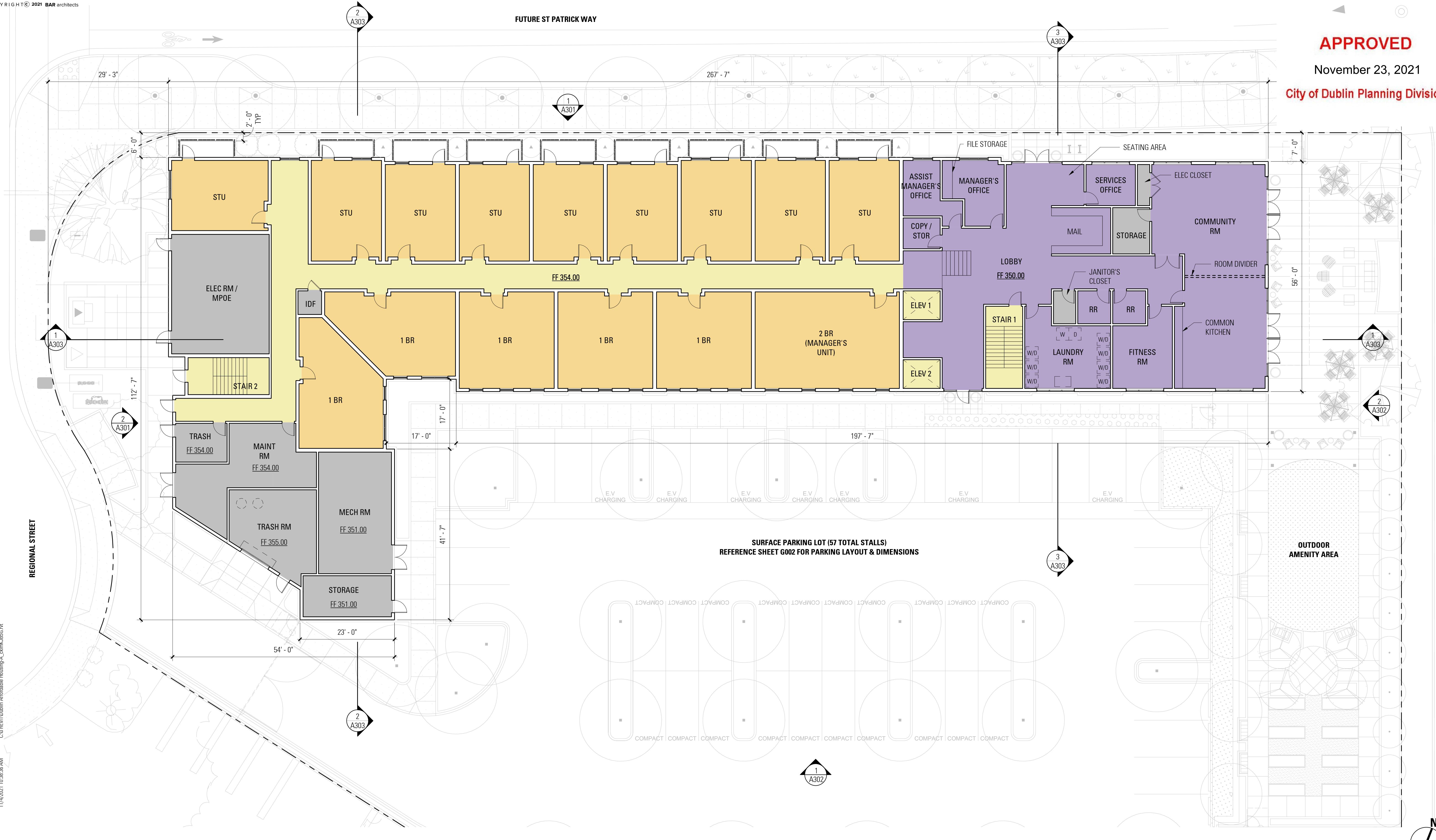


FUTURE ST PATRICK WA

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DUBLIN AFFORDABLE HOUSING

6543 REGIONAL STREET, DUBLIN CA 94568

11/05/21

19049

BAR architects

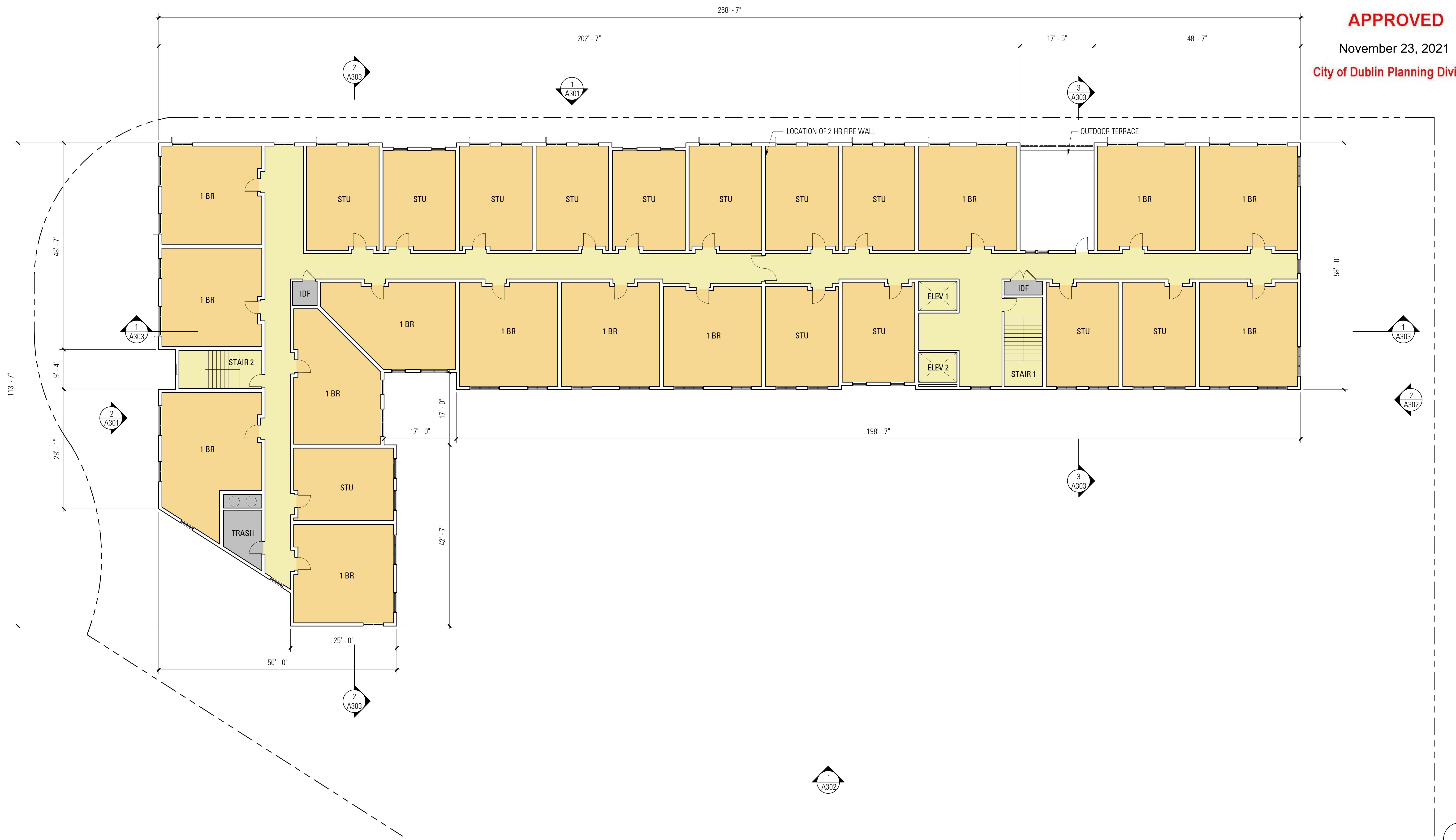
3/32" = 1'-0"

A201

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DUBLIN AFFORDABLE HOUSING

6543 REGIONAL STREET, DUBLIN CA 94568

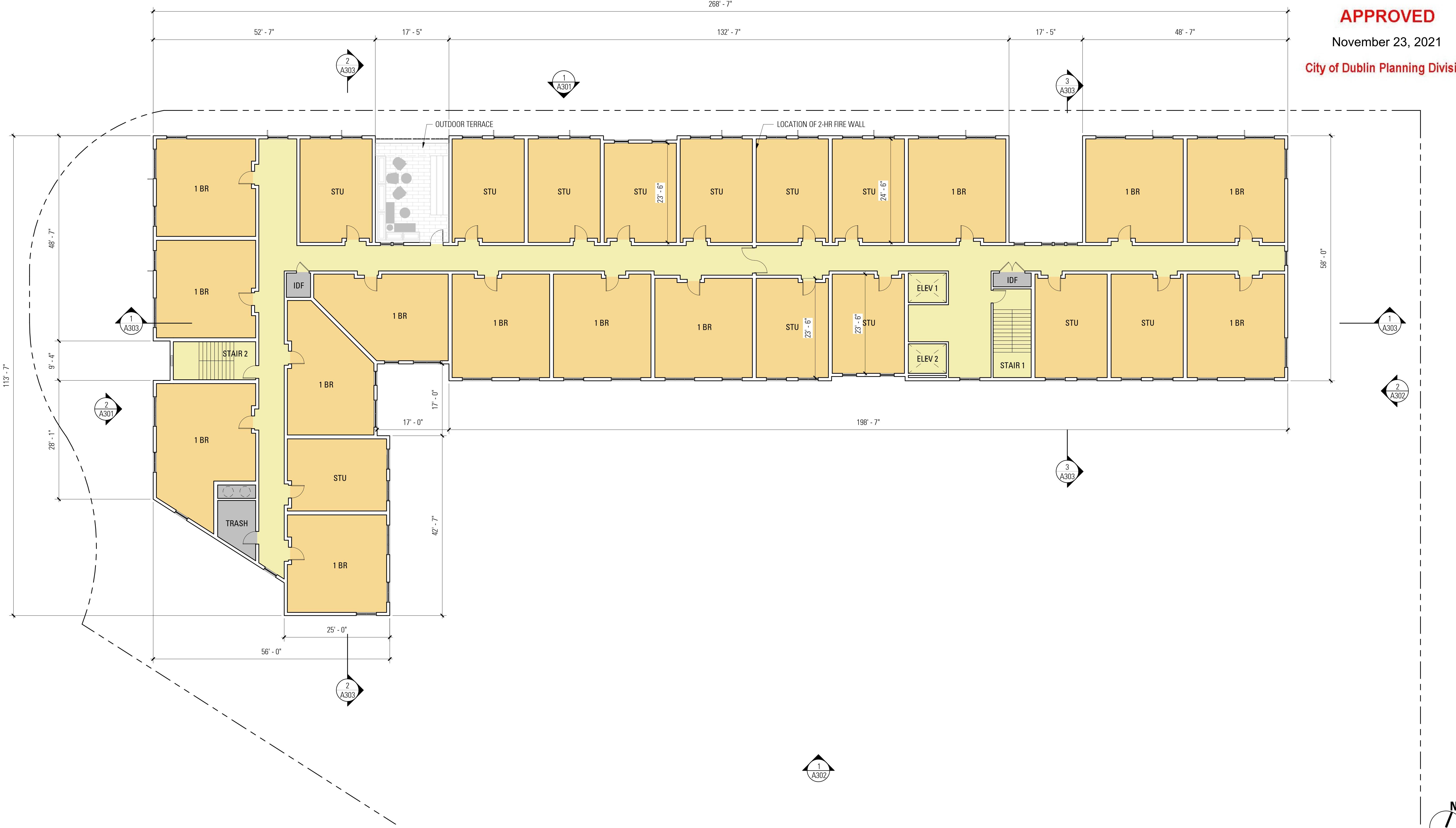
11/05/21

19049

BAR architects

3/32" = 1'-0"

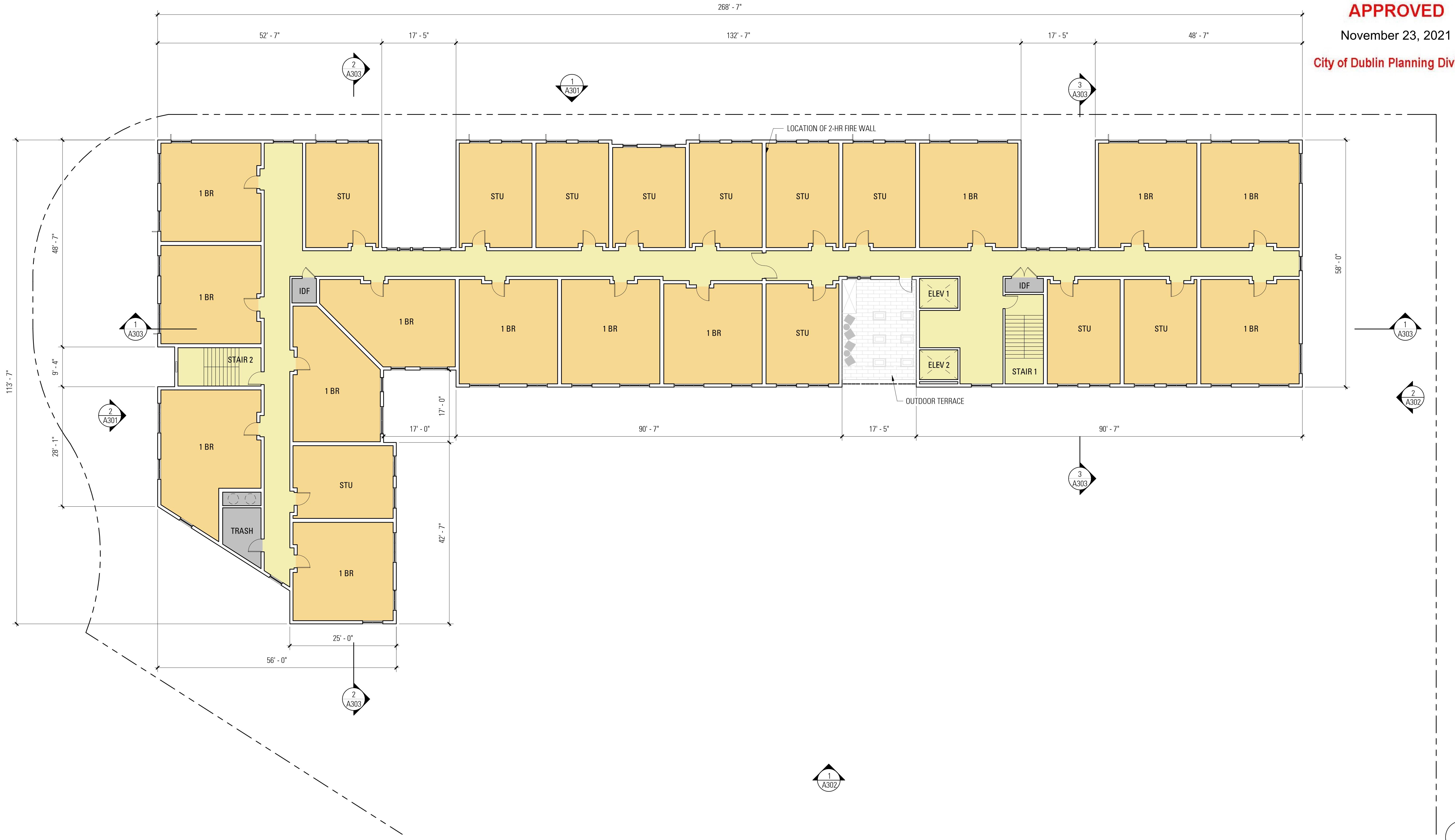
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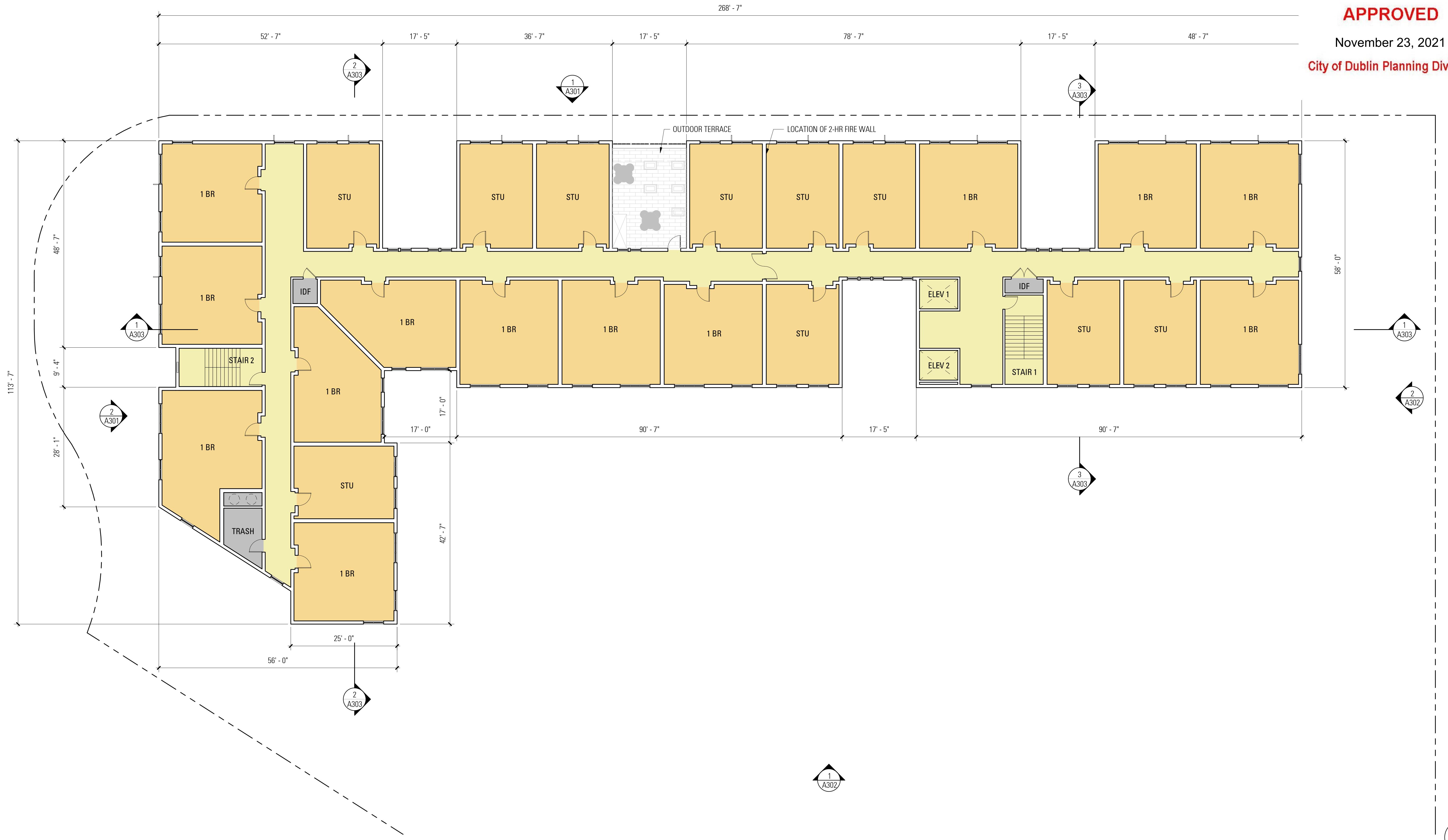
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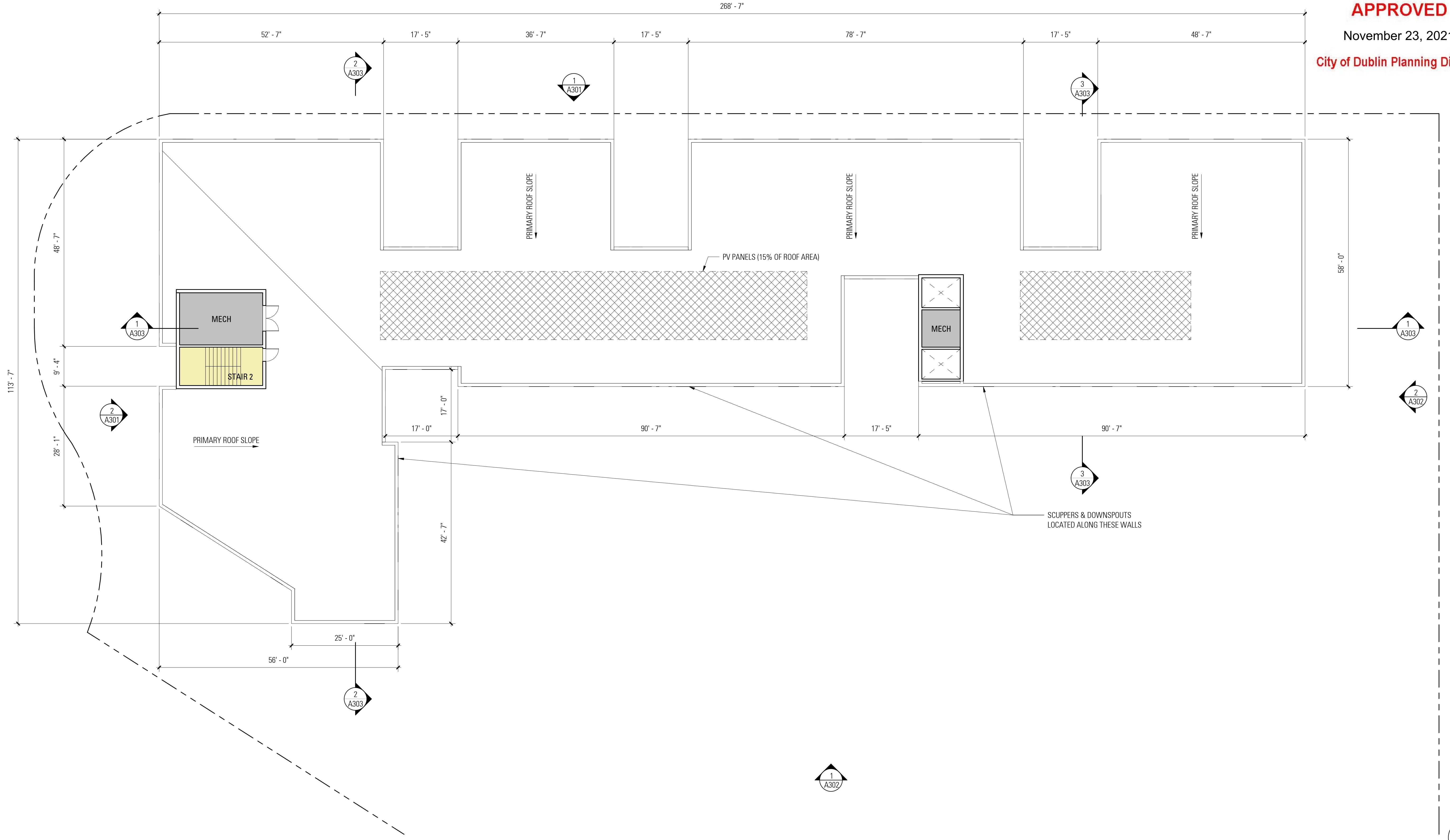
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MATERIAL LEGEND

- C1 - TEXTURED CONCRETE BASE
- M1 - METAL LASER CUT RAILING PANELS
- M2 - STEEL CANOPY
- M3 - PERFORATED METAL WINDOW SURROUND
- S1 - FIBER CEMENT LAP SIDING (COLOR: GRAY)
- S2 - FIBER CEMENT LAP SIDING (COLOR: WHITE)
- S3 - FIBER CEMENT LAP SIDING (COLOR: NATURAL)
- W1 - VINYL WINDOW (COLOR: WHITE)
- W2 - VINYL WINDOW (COLOR: DARK BRONZE)
- W3 - ALUMINUM STOREFRONT (COLOR: DARK BRONZE)

2
A302
3/32" = 1'-0"
ELEVATION - EAST

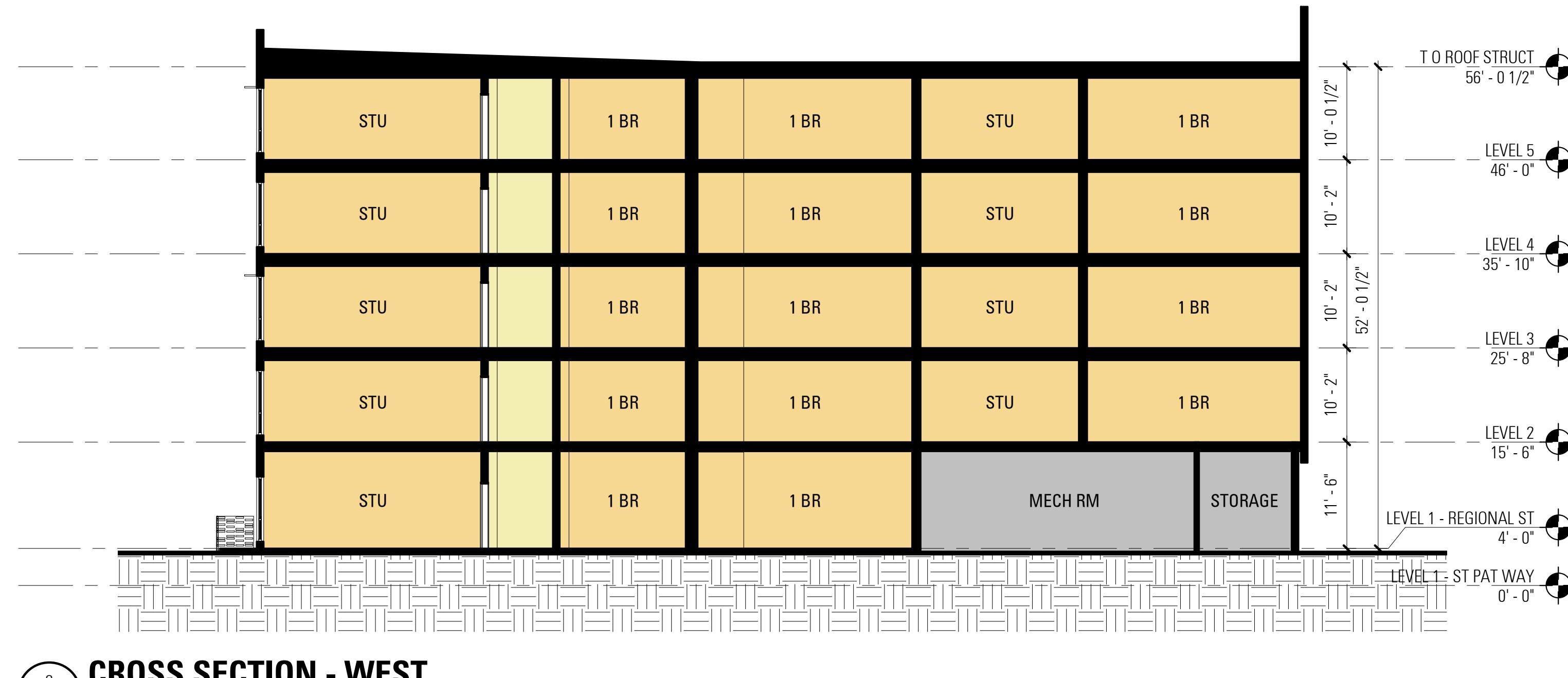


1
A302
3/32" = 1'-0"
ELEVATION - SOUTH

APPROVED

November 23, 2021

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APPROVED

November 23, 2021

City of Dublin Planning Division



7884 -
D089N BLVD

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CONSULTANT

BAR

ARCHITECT

EDEN HOUSING

OWNER / DEVELOPER

No. DATE ISSUE / REVISION ISSUED BY
Dublin Affordable Housing
6541- 6543 REGIONAL ST
DUBLIN, CA

PROJECT

SITE PLAN

DRAWING TITLE

PROJECT NO. DRAWING NO.

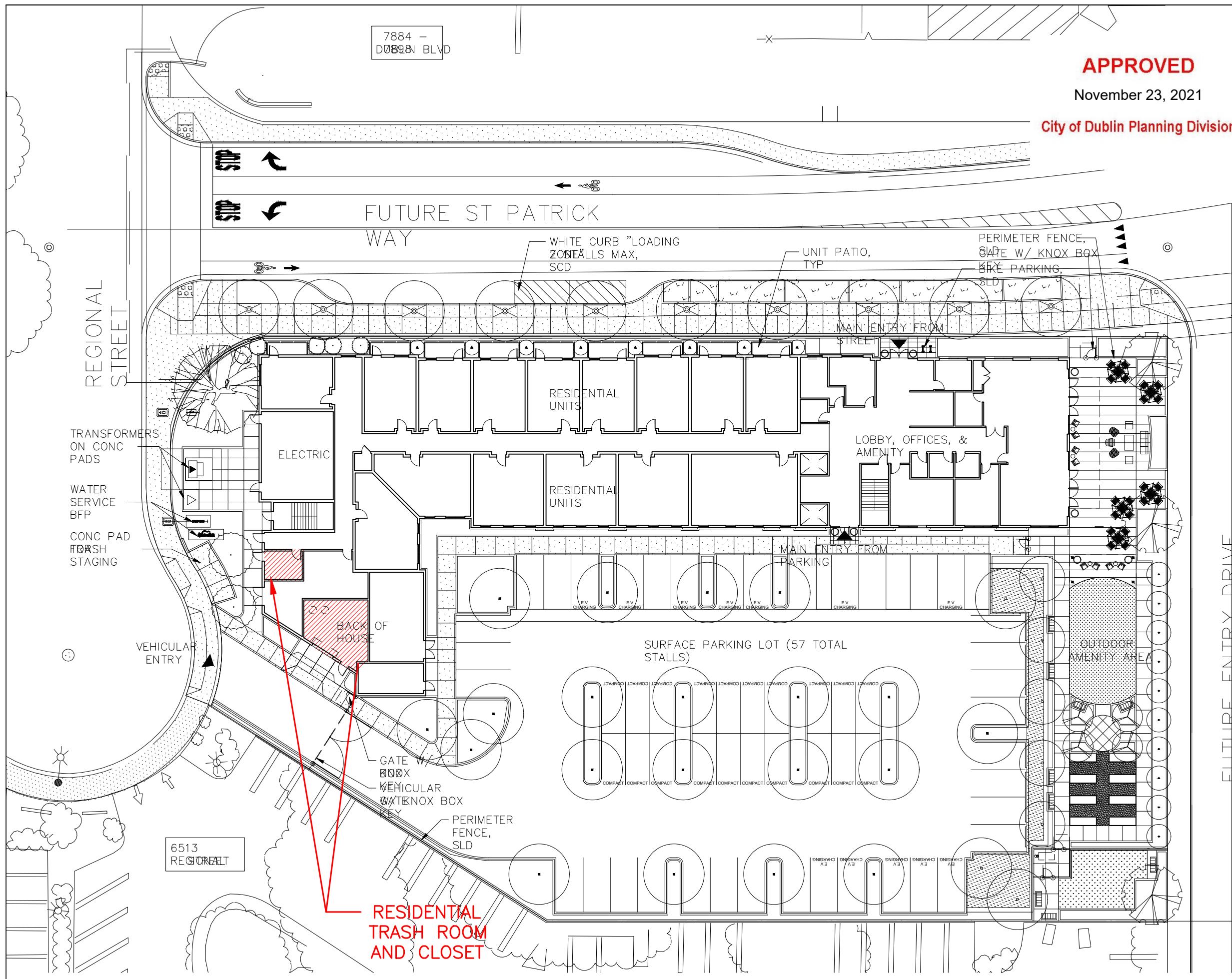
DRAWN CS

APPROVED SB

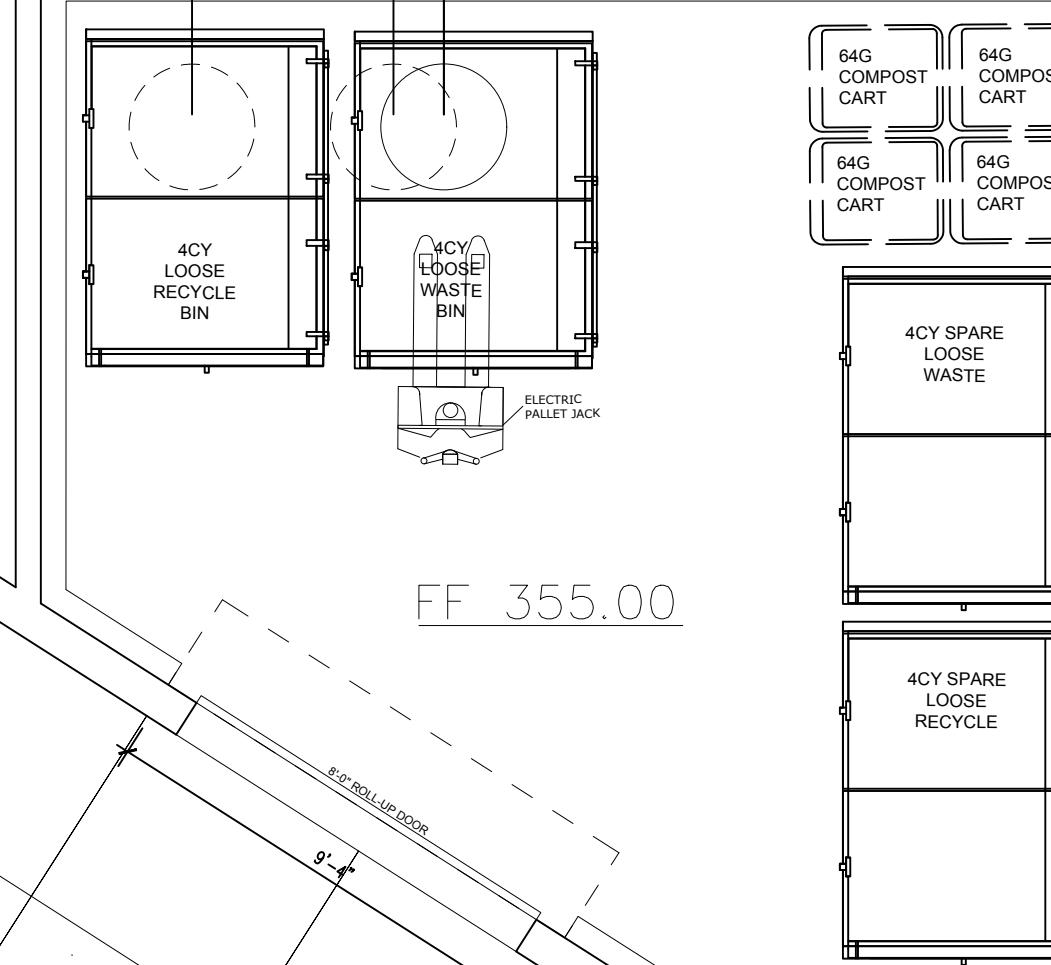
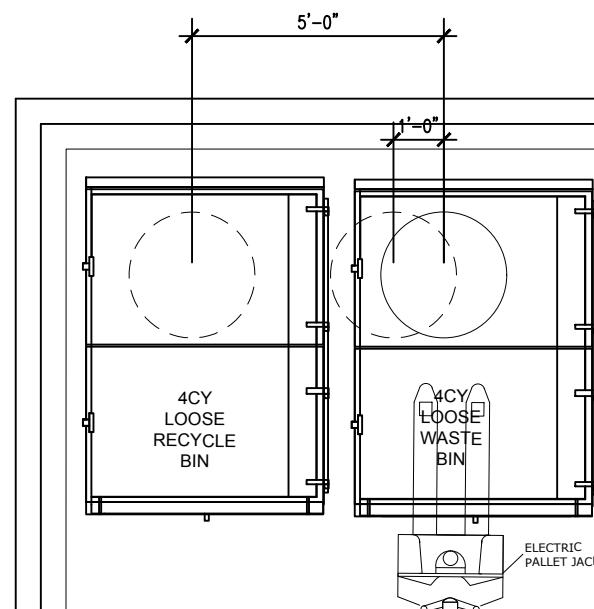
DATE 11/08/2021

SCALE AS SHOWN

TR0.1



CLOSET



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PROJECTED COLLECTION SCHEDULE: TRASH CLOSET GROUND FLOOR UNITS		
SERVICE:	CONTAINER VOL / TYPE:	FREQUENCY:
WASTE	(2) 96G TOTER CARTS	3x/wk
RECYCLING	(2) 96G TOTER CARTS	3x/wk
COMPOST	(1) 64G TOTER CARTS	1x/wk

PROJECTED COLLECTION SCHEDULE: LOOSE BIN LAYOUT RESIDENTIAL TRASH ROOM		
SERVICE:	CONTAINER VOL / TYPE:	FREQUENCY:
WASTE	(1) 4CY FL LOOSE BIN	4x/wk
RECYCLING	(1) 4CY FL LOOSE BIN	4x/wk
COMPOST	(4) 64G TOTER CARTS (3) 64G TOTER CARTS	1x/wk 1x/wk

Dublin Affordable Housing
6541- 6543 REGIONAL ST
DUBLIN, CA

PROJECT

RESIDENTIAL
TRASH COLLECTION ROOM
LOOSE BIN LAYOUT

DRAWING TITLE

PROJECT NO.

DRAWN

APPROVED

DATE

SCALE

DRAWING NO.

CS

SB

11/08/2021

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TR1.0

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OWNER / DEVELOPER

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6541- 6543 REGIONAL ST
DUBLIN, CA

PROJECT

GROUND FLOOR UNITS
TRASH CLOSET LAYOUT

DRAWING TITLE

PROJECT NO.	DRAWING NO.
DRAWN CS	
APPROVED SB	
DATE 11/08/2021	
SCALE AS SHOWN	

TR1.1

TRASH CLOSET

5' ADA

64G
COMPOST
CART

96G
WASTE
CART

96G
WASTE
CART

96G
RECYCLE
CART

96G
RECYCLE
CART

5'-0"

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November 23, 2021

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ARCHITECT

EDEN HOUSING

OWNER / DEVELOPER

DUBLIN AFFORDABLE HOUSING
6541-6543 REGIONAL ST
DUBLIN, CA

PROJECT

RESIDENTIAL
UPPER FLOOR
TRASH VESTIBULE
(LEVEL 2-5)

DRAWING TITLE

PROJECT NO.

DRAWN

APPROVED

DATE

SCALE

DRAWING NO.

CS

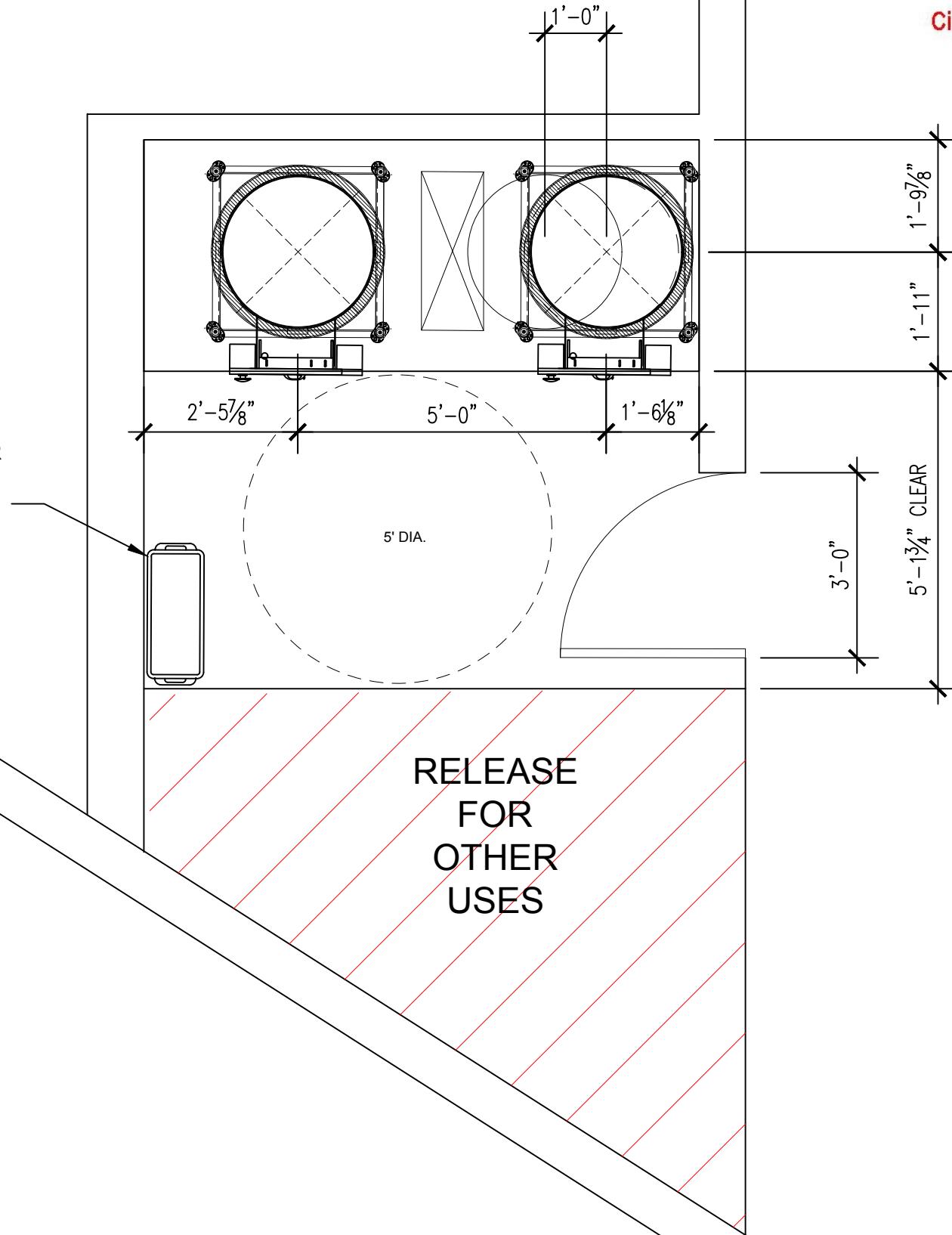
SB

11/08/2021

AS SHOWN

TR1.2

RUBBERMAID SLIM JIM FOR
COMPOST. TO BE EMPTIED
DAILY INTO TRASH
COLLECTION ROOM
COMPOST CONTAINER.





**AMERICAN
TRASH MANAGEMENT**

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6541- 6543 REGIONAL ST
DUBLIN, CA

PROJECT

Staging Location

DRAWING TITLE

PROJECT NO.

DRAWN

APPROVED

DATE

SCALE

AS SHOWN

DRAWING NO.
TR1.3

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