

# BOULEVARD

phases 2-3

Dublin, California

Site Design Review

NEIGHBORHOODS 10, 11/12/18, 13, 17 & REC CENTER

APRIL 11, 2017

C2|Collaborative  
LANDSCAPE ARCHITECTURE



**MACKAY & SOMPS**  
ENGINEERS PLANNERS SURVEYORS  
**Bassenian | Lagoni**  
ARCHITECTURE • PLANNING • INTERIORS

**Brookfield Residential**

CALATLANTIC HOMES<sup>SM</sup>

ktgy<sup>25</sup> Celebrating Twenty-Five Years of Architecture+Planning  
**GATES +ASSOCIATES**  
LANDSCAPE ARCHITECTURE

woodley architectural group, inc.  
**WILLIAM HEZMALHALCH**  
ARCHITECTS INC.



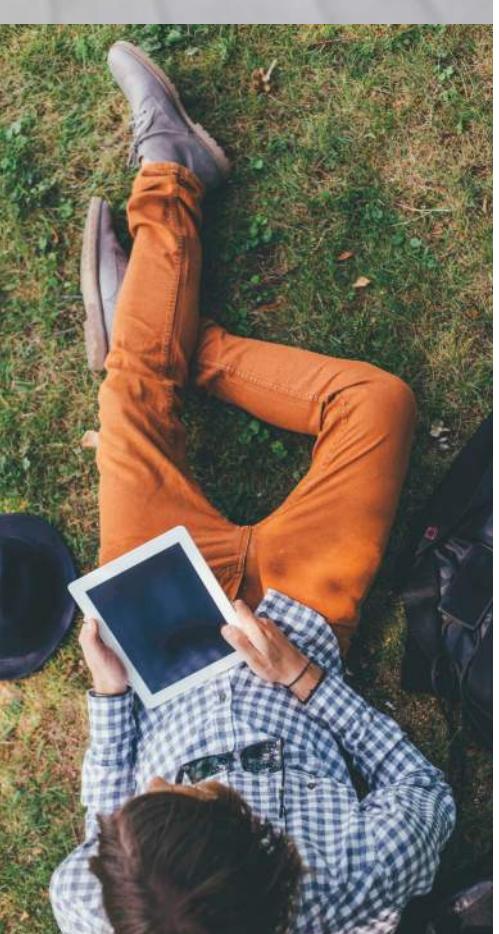
URBAN IN SUBURBAN



Boulevard is an immediate experience.

Boulevard conveys action, walking, movement and advancing from one place to the next. It's a place of seeing, doing, free thinking and perspective—because living at Boulevard is living real life. With an urban notion and intimate neighborhood experience, Boulevard's vision reflects the evolving dynamics of Dublin and the Tri-Valley area, offering a rich environment that has all the

elements of a great place – transit, residential diversity, social spaces and abundant parks. Those things are a must, but Boulevard goes further with unique distinctions that set it apart, from landmark entry monuments, innovative park programming and public art to notable residential architecture. A place of fresh experiences, artistic sights and connected activities, Boulevard is the hub that moves life forward.



# Site Development Review

## Table of Contents

### OVERALL

- A0.1 RENDERING KEY MAP
- A0.2 RENDERING 1 - NEIGHBORHOOD 7
- A0.3 RENDERING 2 - NEIGHBORHOOD 1/3
- A0.4 RENDERING 3 - NEIGHBORHOOD 14/15
- A0.5 RENDERING 4 - NEIGHBORHOOD 14/16
- A0.6 RENDERING 5 - NEIGHBORHOOD 8/14
- A0.7 RENDERING 6 - NEIGHBORHOOD 10/13
- A0.8 RENDERING 7 - NEIGHBORHOOD 12/13
- A0.9 RENDERING 8 - NEIGHBORHOOD 11/18
- A0.10 RENDERING 9 - NEIGHBORHOOD 10
- A0.11 RENDERING 10 - NEIGHBORHOOD 10
- A0.12 RENDERING 11 - NEIGHBORHOOD 13 AT PARK

### CIVIL

- C0.1.1 PHASE 2 & 3 OVERALL AERIAL PHOTO PLAN
- C0.1.2 PHASE 2 OVERALL AERIAL PHOTO PLAN
- C0.2 OVERALL NEIGHBORHOOD PLAN

### LANDSCAPE

- L0.1 ENTRY AT IRON HORSE PARKWAY
- L0.2 ENTRY AT CENTRAL PARKWAY
- L0.3 OVERALL WALL AND FENCING PLAN
- L0.4 WALL AND FENCING DETAILS
- L0.5 GREENBELT
- L0.6 GREENBELT
- L0.7 STREET SECTIONS
- L0.8 STREET SECTIONS
- L0.9 SITE ACCESSORIES

### NEIGHBORHOOD 10 (PHASE 2)

- L3.1 NEIGHBORHOOD 10 SITE PLAN

### CIVIL

- C.3.1 NEIGHBORHOOD 10 SITE PLAN
- C.3.2 NEIGHBORHOOD 10 LAND USE SUMMARY
- C.3.3 NEIGHBORHOOD 10 STREET SECTIONS
- C.3.4 NEIGHBORHOOD 10 ADDRESS PLAN
- C.3.5 NEIGHBORHOOD 10 PARKING PLAN
- C.3.6 NEIGHBORHOOD 10 TRASH PICKUP PLAN
- C.3.7 NEIGHBORHOOD 10 MAILBOX LOCATION PLAN
- C.3.8 NEIGHBORHOOD 10 FIRE ACCESS PLAN
- C.3.9 NEIGHBORHOOD 10 SIGHT DISTANCE PLAN
- C.3.10 NEIGHBORHOOD 10 ACCESSIBILITY PLAN
- C.3.11 NEIGHBORHOOD 10 MAINTENANCE RESPONSIBILITY PLAN

### LANDSCAPE

- L3.2 NEIGHBORHOOD 10 STREET TREE PLAN
- L3.3 NEIGHBORHOOD 10 WALLS AND FENCING
- L3.4 NEIGHBORHOOD 10 TYPICAL
- L3.5 NEIGHBORHOOD 10 TYPICAL
- L3.6 NEIGHBORHOOD 10 POCKET PARK – THE WELL

### ARCHITECTURE

- A3.10 HYDE PARK-SITE KEY MAP
- A3.11 CODE ANALYSIS
- A3.12 CONCEPTUAL SOLAR READY ZONE PLAN
- A3.20 STACKED FLAT-6 PLEX \_ EXTERIOR ELEVATIONS
- A3.21 STACKED FLAT-6 PLEX \_ EXTERIOR ELEVATIONS
- A3.22 STACKED FLAT-6 PLEX \_ EXTERIOR ELEVATIONS
- A3.23 STACKED FLAT-6 PLEX \_ EXTERIOR ELEVATIONS
- A3.24 STACKED FLAT-6 PLEX \_ EXTERIOR ELEVATIONS
- A3.25 STACKED FLAT-6 PLEX \_ EXTERIOR ELEVATIONS
- A3.26 STACKED FLAT-6 PLEX \_ EXTERIOR ELEVATIONS
- A3.27 STACKED FLAT-6 PLEX \_ EXTERIOR ELEVATIONS
- A3.28 STACKED FLAT-6 PLEX \_ EXTERIOR ELEVATIONS

- A3.30 STACKED FLAT-6 PLEX \_ BUILDING PLANS
- A3.31 STACKED FLAT-6 PLEX \_ BUILDING PLANS
- A3.32 STACKED FLAT-6 PLEX \_ BUILDING PLANS

- A3.40 PLAN 1 – FLOOR PLANS
- A3.41 PLAN 2 – FLOOR PLANS
- A3.42 PLAN 3 – FLOOR PLANS
- A3.43 PLAN 3 - FLOOR PLANS

- A3.50 BUILDING SECTIONS

- A3.60 ARCHITECTURAL DETAILS
- A3.61 COLOR & MATERIALS

### NEIGHBORHOOD 11&12 (PHASE 2) & 18 (PHASE 3)

- L4.1 NEIGHBORHOOD 11&12&18 SITE PLAN

### CIVIL

- C.4.1.1 NEIGHBORHOOD 11/12/18 SITE PLAN
- C.4.1.2 NEIGHBORHOOD 11/12/18 INTERIM CONDITION SITE PLAN
- C.4.2 NEIGHBORHOOD 11/12/18 LAND USE SUMMARY
- C.4.3 NEIGHBORHOOD 11/12/18 STREET SECTIONS
- C.4.4 NEIGHBORHOOD 11/12/18 ADDRESS PLAN
- C.4.5.1 NEIGHBORHOOD 11/12/18 ULTIMATE PARKING PLAN
- C.4.5.2 NEIGHBORHOOD 11/12/18 INTERIM PARKING PLAN
- C.4.6 NEIGHBORHOOD 11/12/18 TRASH PICKUP PLAN
- C.4.7 NEIGHBORHOOD 11/12/18 MAILBOX LOCATION PLAN
- C.4.8 NEIGHBORHOOD 11/12/18 FIRE ACCESS PLAN
- C.4.9 NEIGHBORHOOD 11/12/18 SIGHT DISTANCE PLAN
- C.4.10 NEIGHBORHOOD 11/12/18 UNIVERSAL DESIGN ORDINANCE
- C.4.11 NEIGHBORHOOD 11/12/18 MAINTENANCE RESPONSIBILITY PLAN

### LANDSCAPE

- L4.2 NEIGHBORHOOD 11&12&18 STREET TREE PLAN
- L4.3 NEIGHBORHOOD 11&12&18 WALLS AND FENCING
- L4.4 NEIGHBORHOOD 11&12&18 WALLS AND FENCING
- L4.5 NEIGHBORHOOD 11&18 TYPICALS
- L4.6 NEIGHBORHOOD 12 TYPICALS
- L4.7 NEIGHBORHOOD 11&12&18 – THE HANGOUT
- L4.8 NEIGHBORHOOD 11&12&18 – INTERIM SECTIONS
- L4.9 NEIGHBORHOOD 11&12&18 – INTERIM SECTIONS
- L4.10 NEIGHBORHOOD 11&12&18 – INTERIM SECTIONS

### ARCHITECTURE

#### *Neighborhood 11/18*

- A4.11.SS STREETSCENE
- A4.11.1 PLAN 1 FLOOR PLAN
- A4.11.2 PLAN 1 FLOOR PLAN (UNIVERSAL DESIGN)

- A4.11.3 PLAN 1 ROOF PLANS
- A4.11.4 PLAN 1 DECK OPT. ROOF PLANS
- A4.11.5 PLAN 1 FRONT ELEVATIONS
- A4.11.6 PLAN 1 TYP. ISOMETRIC VIEW
- A4.11.7 PLAN 1 EXTERIOR ELEVATIONS
- A4.11.8 PLAN 1A W/ OPTIONAL DECK
- A4.11.9 PLAN 1B EXTERIOR ELEVATIONS
- A4.11.10 PLAN 1B ENHANCED ELEVATIONS
- A4.11.11 PLAN 1B W/ OPTIONAL DECK
- A4.11.12 PLAN 1C EXTERIOR ELEVATIONS
- A4.11.13 PLAN 1C W/ OPTIONAL DECK
- A4.11.14 PLAN 2 FLOOR PLAN
- A4.11.15 PLAN 2 FLOOR PLAN (UNIVERSAL DESIGN)

- A4.11.16 PLAN 2 ROOF PLANS
- A4.11.17 PLAN 2 FRONT ELEVATIONS
- A4.11.18 PLAN 2 ISOMETRIC VIEW
- A4.11.19 PLAN 2 EXTERIOR ELEVATIONS
- A4.11.20 PLAN 2 ENHANCED ELEVATIONS
- A4.11.21 PLAN 2A W/ OPTIONAL DECK
- A4.11.22 PLAN 2B EXTERIOR ELEVATIONS
- A4.11.23 PLAN 2B W/ OPTIONAL DECK
- A4.11.24 PLAN 2C EXTERIOR ELEVATIONS
- A4.11.25 PLAN 2C W/ OPTIONAL DECK
- A4.11.26 PLAN 3 FLOOR PLAN
- A4.11.27 PLAN 3 FLOOR PLAN (UNIVERSAL DESIGN)

- A4.11.28 PLAN 3 ROOF PLANS
- A4.11.29 PLAN 3 FRONT ELEVATIONS
- A4.11.30 PLAN 3 TYP. ISOMETRIC VIEW
- A4.11.31 PLAN 3A EXTERIOR ELEVATIONS
- A4.11.32 PLAN 3B EXTERIOR ELEVATIONS
- A4.11.33 PLAN 3B ENHANCED ELEVATIONS
- A4.11.34 PLAN 3C EXTERIOR ELEVATIONS
- A4.11.35 COLOR & MATERIALS SCHEME 1 & 2
- A4.11.36 COLOR & MATERIALS SCHEME 3 & 4
- A4.11.37 COLOR & MATERIALS SCHEME 5 & 6

### Neighborhood 12

- A4.12.SS STREETSCENE
- A4.12.1 PLAN 1 FLOOR PLAN (UNIVERSAL DESIGN)
- A4.12.2 PLAN 1A FLOOR PLANS
- A4.12.3 PLAN 1B FLOOR PLAN (UNIVERSAL DESIGN)
- A4.12.4 PLAN 1B FLOOR PLANS
- A4.12.5 PLAN 1C FLOOR PLAN (UNIVERSAL DESIGN)
- A4.12.6 PLAN 1C FLOOR PLANS
- A4.12.7 PLAN 1 ROOF PLANS
- A4.12.8 PLAN 1A ELEVATIONS
- A4.12.9 PLAN 1B ELEVATIONS
- A4.12.10 PLAN 1C ELEVATIONS
- A4.12.11 PLAN 1C TYPICAL ISOMETRIC VIEW
- A4.12.12 PLAN 1B ENHANCED CORNER LOTS 19 & 49
- A4.12.13 PLAN 2A FLOOR PLAN (UNIVERSAL DESIGN)
- A4.12.14 PLAN 2A FLOOR PLANS
- A4.12.15 PLAN 2B FLOOR PLAN (UNIVERSAL DESIGN)
- A4.12.16 PLAN 2B FLOOR PLANS
- A4.12.17 PLAN 2C FLOOR PLAN (UNIVERSAL DESIGN)
- A4.12.18 PLAN 2C FLOOR PLAN
- A4.12.19 PLAN 2 ROOF PLANS
- A4.12.20 PLAN 2A ELEVATIONS
- A4.12.21 PLAN 2A TYPICAL ISOMETRIC VIEW
- A4.12.22 PLAN 2B ELEVATIONS
- A4.12.23 PLAN 2C ELEVATIONS
- A4.12.24 PLAN 2A ENHANCED CORNER LOT 4
- A4.12.25 PLAN 2B ENHANCED CORNER LOT 31
- A4.12.26 PLAN 2C ENHANCED CORNER LOT 13 & 46
- A4.12.27 PLAN 3A FLOOR PLAN (UNIVERSAL DESIGN)
- A4.12.28 PLAN 3A FLOOR PLANS
- A4.12.29 PLAN 3B FLOOR PLAN (UNIVERSAL DESIGN)
- A4.12.30 PLAN 3B FLOOR PLANS
- A4.12.31 PLAN 3C FLOOR PLAN (UNIVERSAL DESIGN)
- A4.12.32 PLAN 3C FLOOR PLANS
- A4.12.33 PLAN 3 ROOF PLANS
- A4.12.34 PLAN 3A ELEVATIONS
- A4.12.35 PLAN 3B ELEVATIONS
- A4.12.36 PLAN 3B TYPICAL ISOMETRIC VIEW
- A4.12.37 PLAN 3C ELEVATIONS
- A4.12.38 PLAN 3B ENHANCED CORNER LOT 17
- A4.12.39 PLAN 3C ENHANCED CORNER LOT 1
- A4.12.40 COLOR & MATERIAL SCHEME 1 & 2
- A4.12.41 COLOR & MATERIAL SCHEME 3 & 4
- A4.12.42 COLOR & MATERIAL SCHEME 5 & 6

# Site Development Review

## Table of Contents

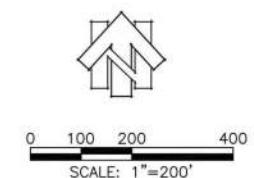
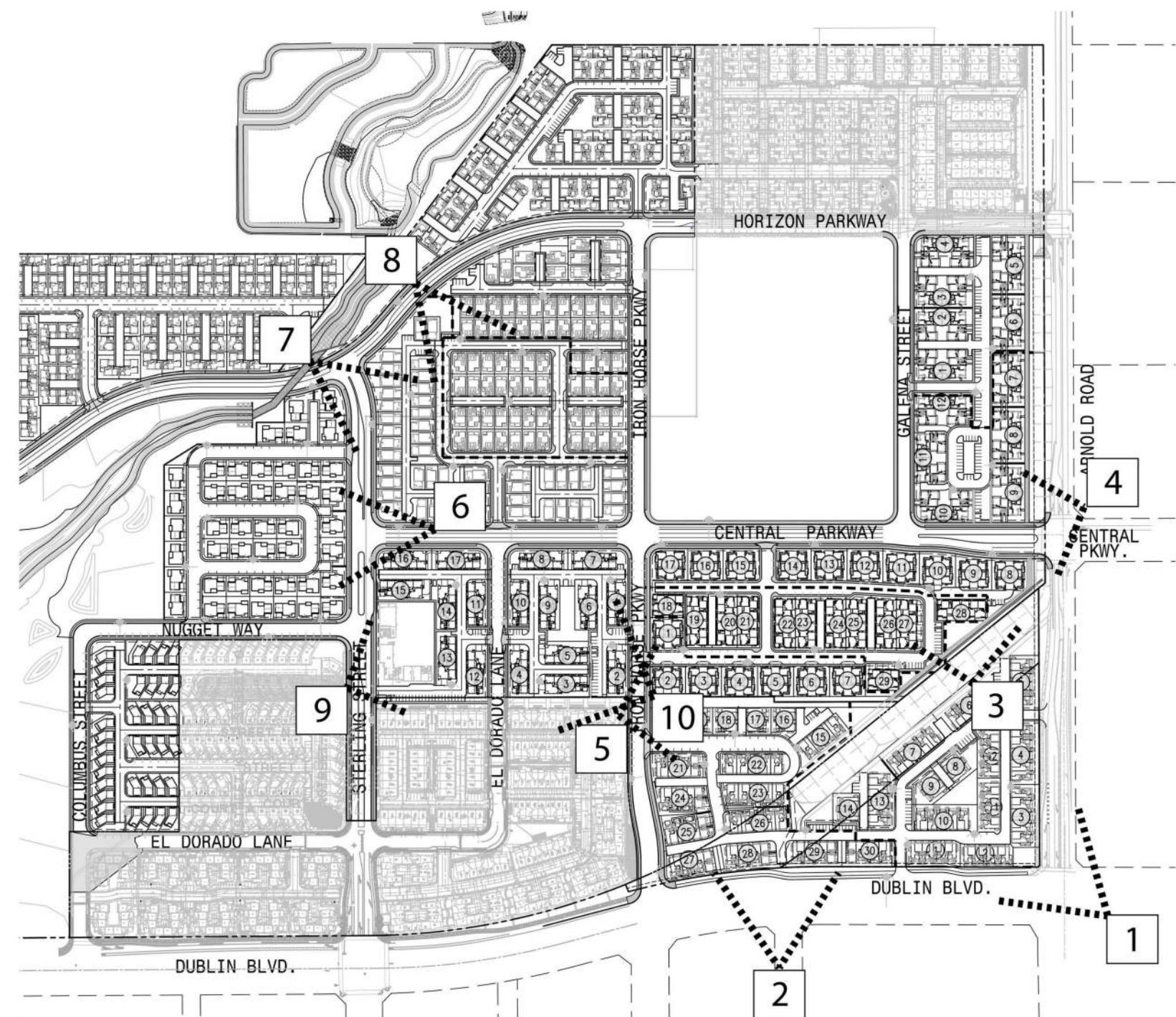
<b>NEIGHBORHOOD 13 (PHASE 2)</b>	A5.24 PLAN 2 UDO PLANS	A7.09 PLAN 2A FLOOR PLANS	A5 FIRST FLOOR FINISH PLAN
L5.1 NEIGHBORHOOD 13 SITE PLAN	A5.25 PLAN 3 FRONTS ELEVATIONS	A7.10 EXTERIOR ELEVATIONS 2A	A6 SECOND FLOOR FINISH PLAN
<i>CIVIL</i>	A5.26 PLAN 3 VARIATION A FLOOR PLAN	A7.11 PLAN 2B FLOOR PLANS	A7 RCP FIRST FLOOR
C.5.1 NEIGHBORHOOD 13 SITE PLAN	A5.27 PLAN 3 VARIATION A FLOOR PLAN	A7.12 EXTERIOR ELEVATIONS 2B	A8 RCP SECOND FLOOR
C.5.2 NEIGHBORHOOD 13 LAND USE SUMMARY	A5.28 PLAN 3 VARIATION A ELEVATIONS	A7.13 PLAN 2C FLOOR PLANS	<b>VESTING TENTATIVE MAP</b>
C.5.3 NEIGHBORHOOD 13 STREET SECTIONS	A5.29 PLAN 3 VARIATION B FLOOR PLAN	A7.14 EXTERIOR ELEVATIONS 2C	<i>Civil</i>
C.5.4 NEIGHBORHOOD 13 ADDRESS PLAN	A5.30 PLAN 3 VARIATION B FLOOR PLAN	A7.15 RENDERED FRONT ELEVATIONS 3	0.1 COVER SHEET
C.5.5 NEIGHBORHOOD 13 PARKING PLAN	A5.31 PLAN 3 VARIATION B ELEVATIONS	A7.16 PLAN 3A FLOOR PLANS	0.2 INDEX SHEET
C.5.6 NEIGHBORHOOD 13 TRASH PICKUP PLAN	A5.32 PLAN 3 VARIATION C FLOOR PLAN	A7.17 EXTERIOR ELEVATIONS 3A	0.3 DETAIL SHEET
C.5.7 NEIGHBORHOOD 13 MAILBOX LOCATION PLAN	A5.33 PLAN 3 VARIATION C FLOOR PLAN	A7.18 PLAN 3B FLOOR PLANS	0.4 DETAIL SHEET
C.5.8 NEIGHBORHOOD 13 FIRE ACCESS PLAN	A5.34 PLAN 3 VARIATION C ELEVATIONS	A7.19 EXTERIOR ELEVATIONS 3B	<b>TRACT 8363 (NH10)</b>
C.5.9 NEIGHBORHOOD 13 SIGHT DISTANCE PLAN	A5.35 PLAN 3 ENHANCED REAR ELEVATIONS	A7.20 PLAN 3C FLOOR PLANS	3.0 EXISTING CONDITIONS
C.5.10 NEIGHBORHOOD 13 UNIVERSAL DESIGN	A5.36 PLAN 3 UDO PLANS	A7.21 EXTERIOR ELEVATIONS 3C	3.1 TENTATIVE MAP
<i>ORDINANCE</i>	A5.37 ELEVATION DETAIL SHEET 1	A7.22 BUILDING SECTIONS	3.2 GRADING AND DRAINAGE PLAN
C.5.11 NEIGHBORHOOD 13 MAINTENANCE	A5.38 ELEVATION DETAIL SHEET 2	A7.23 PLAN 1 UNIVERSAL DESIGN PLAN	3.3 UTILITY PLAN
RESPONSIBILITY PLAN	A5.39 COLOR & MATERIAL SCHEMES	A7.24 PLAN 2 UNIVERSAL DESIGN PLAN	3.4 STORM WATER MANAGEMENT PLAN
<i>LANDSCAPE</i>	A5.40 COLOR & MATERIAL SCHEMES	A7.25 PLAN 3 UNIVERSAL DESIGN PLAN	3.5 SECTIONS AND DETAILS
L5.2 NEIGHBORHOOD 13 STREET TREE PLAN	<b>NEIGHBORHOOD 17 (PHASE 3)</b>	A7.26 FRONT ELEVATIONS 1 DETAILS	<b>TRACT 8364 (NH11, NH12), TRACT 8365 (NH18)</b>
L5.3 NEIGHBORHOOD 13 WALLS AND FENCING	L7.1 NEIGHBORHOOD 17 SITE PLAN	A7.27 FRONT ELEVATIONS 2 DETAILS	4.0 EXISTING CONDITIONS
L5.4 NEIGHBORHOOD 13 WALLS AND FENCING	<i>CIVIL</i>	A7.28 FRONT ELEVATIONS 3 DETAILS	4.1 TENTATIVE MAP
DETAILS	C.7.1 NEIGHBORHOOD 17 SITE PLAN	A7.29 SITE PLAN	4.2 TENTATIVE MAP
L5.5 NEIGHBORHOOD 13 WALLS AND FENCING	C.7.2 NEIGHBORHOOD 17 LAND USE SUMMARY	A7.30 1A LEFT ENHANCED ELEVATION WITH BALCONY	4.3 GRADING AND DRAINAGE PLAN
DETAILS	C.7.3 NEIGHBORHOOD 17 STREET SECTIONS	A7.31 1A RIGHT ENHANCED ELEVATION WITH BALCONY	4.4 UTILITY PLAN
L5.6 NEIGHBORHOOD 13 TYPICAL	C.7.4 NEIGHBORHOOD 17 ADDRESS PLAN	A7.32 1A LEFT ENHANCED	4.5 STORM WATER MANAGEMENT PLAN
L5.7 NEIGHBORHOOD 13 PASEO	C.7.5 NEIGHBORHOOD 17 PARKING PLAN	A7.33 1A RIGHT ENHANCED	4.6 SECTIONS AND DETAILS
L5.8 NEIGHBORHOOD 13 PARK INTERFACE	C.7.6 NEIGHBORHOOD 17 TRASH PICKUP PLAN	A7.34 1B LEFT ENHANCED	<b>TRACT 8366 (NH13)</b>
<i>ARCHITECTURE</i>	C.7.7 NEIGHBORHOOD 17 MAILBOX LOCATION PLAN	A7.35 1B RIGHT ENHANCED	5.0 EXISTING CONDITIONS
A5.0 CONCEPTUAL STREET SCENE	C.7.8 NEIGHBORHOOD 17 FIRE ACCESS PLAN	A7.36 3A LEFT ENHANCED WITH BALCONY	5.1 TENTATIVE MAP
A5.1 PLAN 1 FRONTS ELEVATIONS	C.7.9 NEIGHBORHOOD 17 SIGHT DISTANCE PLAN	A7.37 3A LEFT ENHANCED	5.2 GRADING AND DRAINAGE PLAN
A5.2 PLAN 1 VARIATION A FLOOR PLAN	C.7.10 NEIGHBORHOOD 17 UNIVERSAL DESIGN	A7.38 3A RIGHT ENHANCED	5.3 UTILITY PLAN
A5.3 PLAN 1 VARIATION A FLOOR PLAN	ORDINANCE	A7.39 3B LEFT ENHANCED WITH BALCONY	5.4 STORM WATER MANAGEMENT PLAN
A5.4 PLAN 1 VARIATION A ELEVATIONS	C.7.11 NEIGHBORHOOD 17 MAINTENANCE	A7.40 3B LEFT ENHANCED	5.5 SECTIONS AND DETAILS
A5.5 PLAN 1 VARIATION B FLOOR PLAN	RESPONSIBILITY PLAN	A7.41 3B RIGHT ENHANCED	<b>TRACT 8368 (NH17)</b>
A5.6 PLAN 1 VARIATION B FLOOR PLAN	<i>LANDSCAPE</i>	A7.42 COLOR SCHEMES	7.0 EXISTING CONDITIONS
A5.7 PLAN 1 VARIATION B ELEVATIONS	L7.2 NEIGHBORHOOD 17 STREET TREE PLAN	<b>RECREATION CENTER (PHASE 2)</b>	
A5.8 PLAN 1 VARIATION C FLOOR PLAN	L7.3 NEIGHBORHOOD 17 STREET TREE PLAN	<i>Civil</i>	
A5.9 PLAN 1 VARIATION C FLOOR PLAN	L7.4 NEIGHBORHOOD 17 WALLS AND FENCING	C.1 REC CENTER PRELIM GRADING/DRAINAGE/SWQ	
A5.10 PLAN 1 VARIATION C ELEVATIONS	L7.5 NEIGHBORHOOD 17 TYPICAL	PLAN	
A5.11 PLAN 1 ENHANCED REAR ELEVATIONS	L7.6 NEIGHBORHOOD 17 PASEO	C.2 REC CENTER UTILITY PLAN	7.1 TENTATIVE MAP
A5.12 PLAN 1 UDO PLANS	<i>ARCHITECTURE</i>	C.3 REC CENTER PARKING PLAN	7.2 GRADING AND DRAINAGE PLAN
A5.13 PLAN 2 FRONTS ELEVATIONS	A7.00 STREET SCENE	C.4 REC CENTER FIRE ACCESS PLAN	7.3 UTILITY PLAN
A5.14 PLAN 2 VARIATION A FLOOR PLAN	A7.01 RENDERED FRONT ELEVATIONS 1	C.5 REC CENTER ACCESSIBILITY PLAN	7.4 STORM WATER MANAGEMENT PLAN
A5.15 PLAN 2 VARIATION A FLOOR PLAN	A7.02 PLAN 1A FLOOR PLANS	C.6 REC CENTER PRELIM GRADING/DRAINAGE/SWQ	7.5 SECTIONS AND DETAILS
A5.16 PLAN 2 VARIATION A ELEVATIONS	A7.03 EXTERIOR ELEVATIONS 1A	PLAN	
A5.17 PLAN 2 VARIATION B FLOOR PLAN	A7.04 PLAN 1B FLOOR PLANS	<i>Landscape</i>	
A5.18 PLAN 2 VARIATION B FLOOR PLAN	A7.05 EXTERIOR ELEVATIONS 1B	L1 REC CENTER LANDSCAPE PLAN	
A5.19 PLAN 2 VARIATION B ELEVATIONS	A7.06 PLAN 1C FLOOR PLANS	<i>Architecture</i>	
A5.20 PLAN 2 VARIATION C FLOOR PLAN	A7.07 EXTERIOR ELEVATIONS 1C	A1 EXTERIOR PERSPECTIVES	
A5.21 PLAN 2 VARIATION C FLOOR PLAN	A7.08 RENDERED FRONT ELEVATIONS 2	A2 EXTERIOR ELEVATIONS	
A5.22 PLAN 2 VARIATION C ELEVATIONS		A3 EXTERIOR ELEVATIONS	
A5.23 PLAN 2 ENHANCED REAR ELEVATIONS		A4 BREEZEWAY ELEVATIONS	

BOULEVARD phase 2

- 1 NH 7
- 2 NH 1 & 3
- 3 NH 14 & 15
- 4 NH 14 & 16
- 5 NH 8 & 14
- 6 NH 13
- 7 NH 10 & 13
- 8 NH 11 & 18
- 9 NH 10 - Pedestrian corridor View A
- 10 NH 10 - Pedestrian corridor View B

**11**

NH 13 - Park Interface



DUBLIN, CALIFORNIA  
KEY MAP

FEBRUARY 03, 2017

A 0 . 1

BOULEVARD phase 2



DUBLIN, CALIFORNIA

1-NH 7

FEBRUARY 03, 2017

A0.2

 CALATLANTIC  
HOMES<sup>SM</sup>

**Brookfield**  
Homes



BOULEVARD phase 2

DUBLIN, CALIFORNIA

2-NH 1&3

FEBRUARY 03, 2017

A 0 . 3

 CALATLANTIC  
HOMES™

**Brookfield**  
Homes

BOULEVARD phase 2



DUBLIN, CALIFORNIA

3-NH 14&15

FEBRUARY 03, 2017

A 0 . 4



BOULEVARD phase 2

DUBLIN, CALIFORNIA

4-NH 14&16

FEBRUARY 03, 2017

A 0.5

 CALATLANTIC  
HOMES<sup>SM</sup>

**Brookfield**  
Homes

BOULEVARD phase 2



DUBLIN, CALIFORNIA

5 - NH 8 & 14

FEBRUARY 03, 2017

A 0 . 6



BOULEVARD phase 2

DUBLIN, CALIFORNIA

6-NH 10&13

FEBRUARY 03, 2017

A 0.7

 CALATLANTIC  
HOMES<sup>SM</sup>

**Brookfield**  
Homes



BOULEVARD phase 2

DUBLIN, CALIFORNIA

7-NH 12&13

FEBRUARY 03, 2017

A 0 . 8

BOULEVARD phase 2



DUBLIN, CALIFORNIA

8-NH 11&18

FEBRUARY 03, 2017

A 0.9

BOULEVARD phase 2



DUBLIN, CALIFORNIA

9-NH 10

FEBRUARY 03, 2017

A0.10

BOULEVARD phase 2



DUBLIN, CALIFORNIA

10-NH 10

FEBRUARY 03, 2017

A0.11

 CALATLANTIC  
HOMES<sup>SM</sup>

**Brookfield**  
Homes

BOULEVARD phase 2

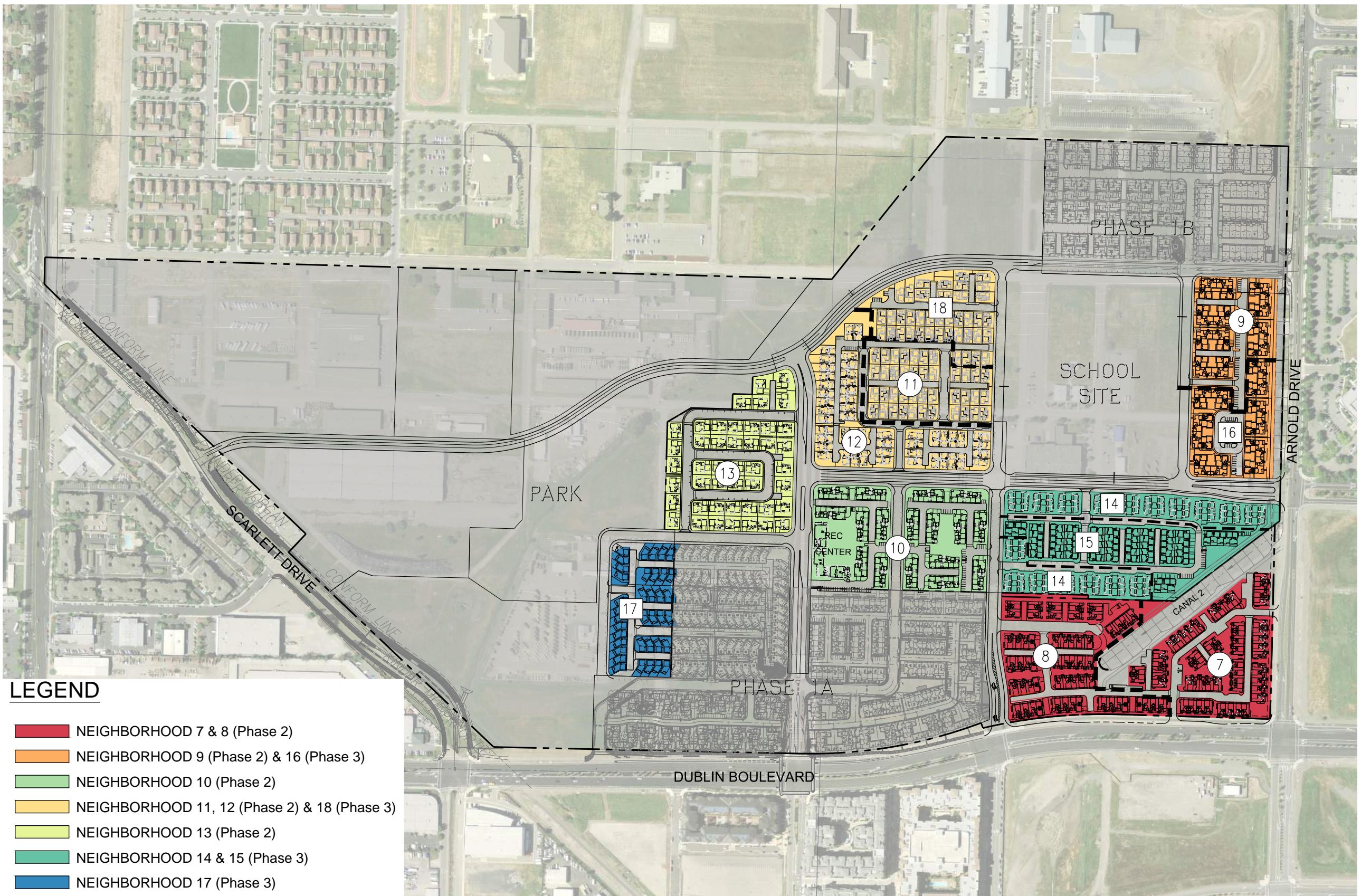


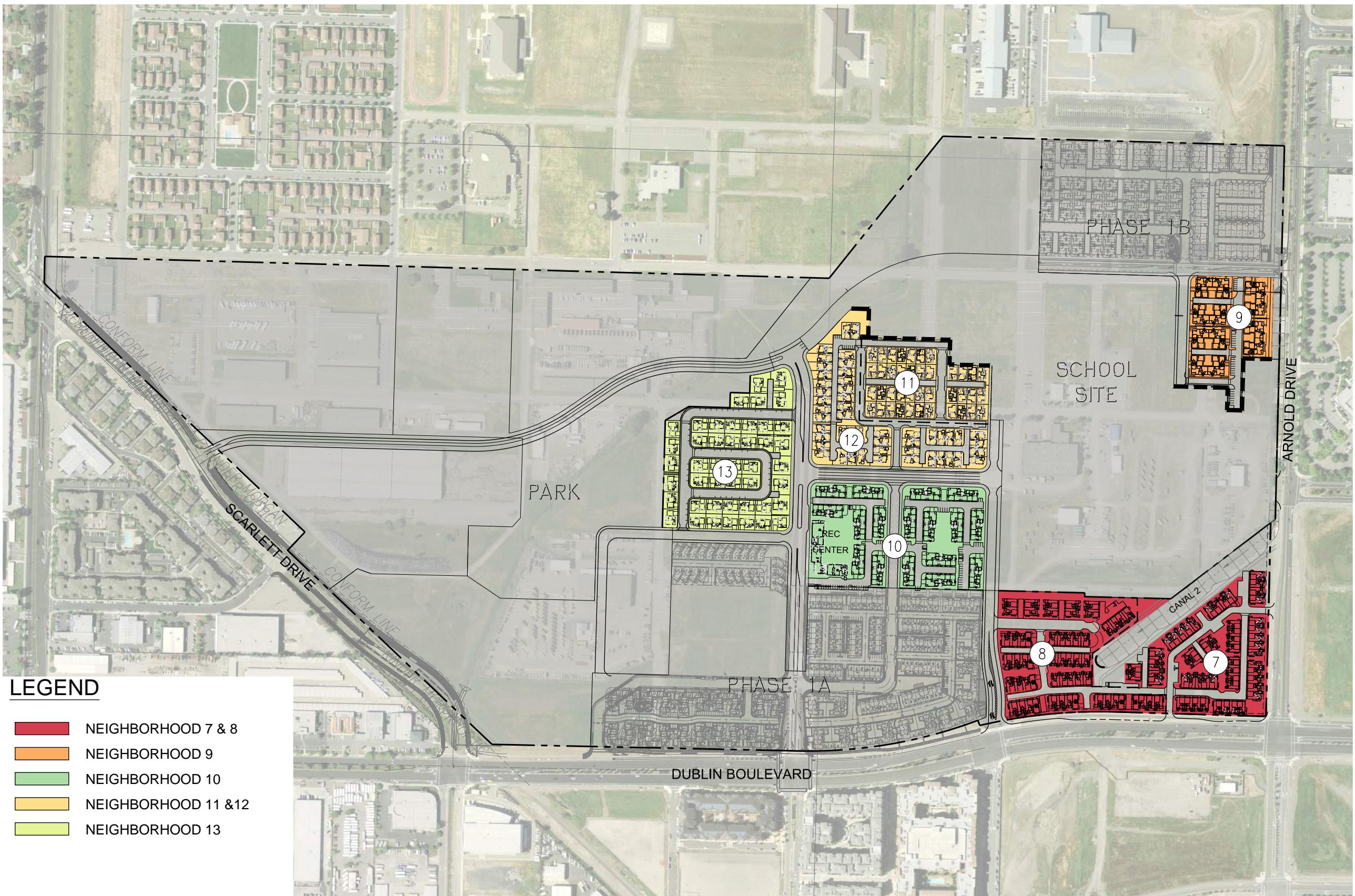
DUBLIN, CALIFORNIA

16-NH 13

APRIL 11, 2017

A0.12

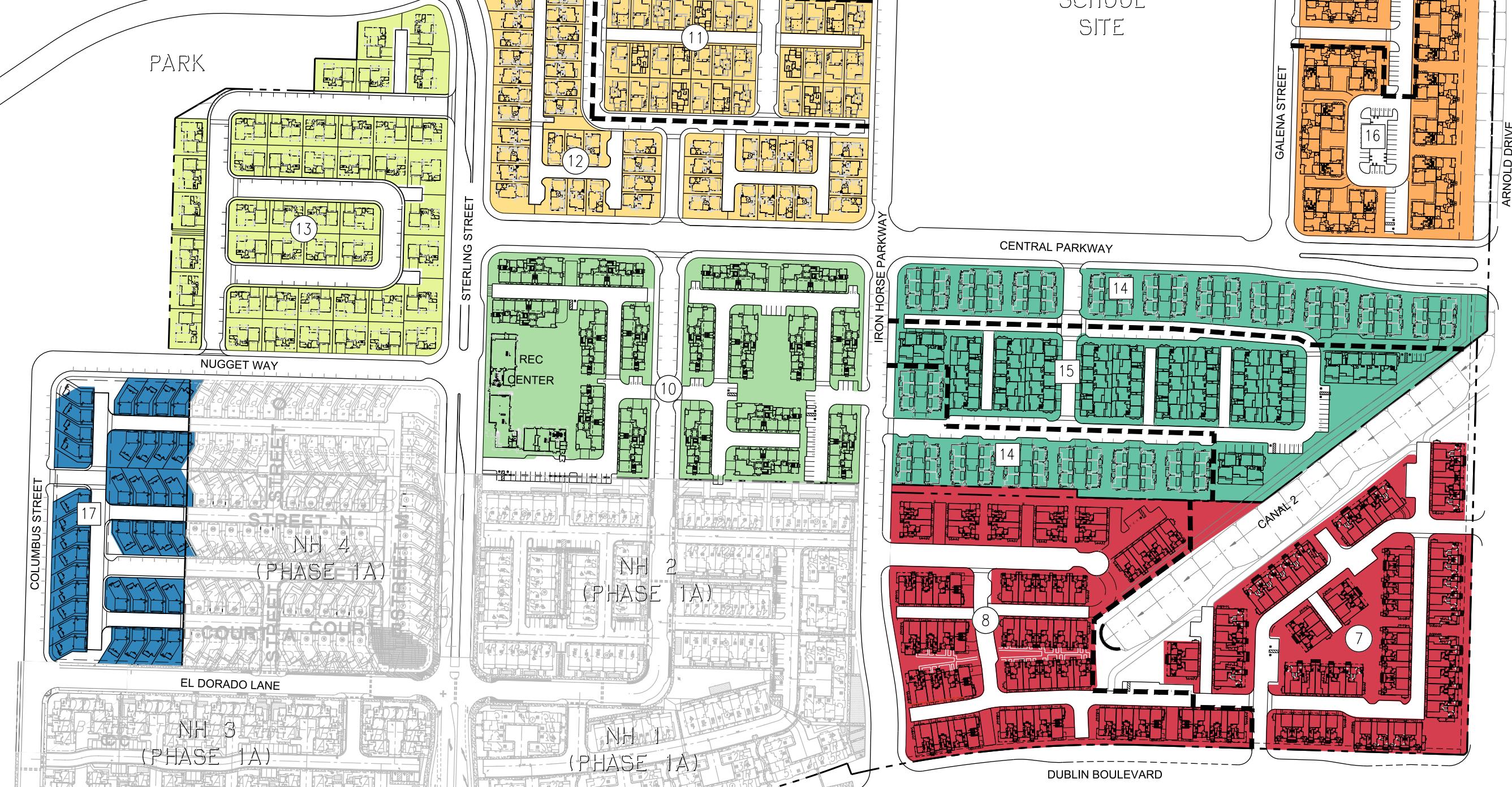




## PHASES 2-3 UNIT SUMMARY

NEIGHBORHOOD #	# OF UNITS PHASE 2	# OF UNITS PHASE 3	TOTAL
7 & 8	N7: 110 units	N8: 114 units	224 units
9 & 16	N9: 48 units	N16: 48 units	96 units
10	N10: 102 units		102 units
11, 12, & 18	N11: 40 units	N12: 49 units	129 units
13	N13: 45 units		45 units
14 & 15	N14: 102 N15: 56		158 units
17	N17: 37 units		37 units
<b>TOTAL PHASE 2 &amp; 3: 791 UNITS</b>			

Phase 2 Neighborhood Number  
 Phase 3 Neighborhood Number  
 Neighborhood Line



**MACKAY & SOMPS**  
 ENGINEERS  
 PLEASANTON, CA  
 PLANNERS  
 SURVEYORS  
 (925)225-0690

phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA

PHASES 2-3  
OVERALL  
NEIGHBORHOOD PLAN

0 100 200 300 FEET

APRIL 11, 2017

C0.2

BOULEVARD phases 2-3



ENTRY AT IRON HORSE

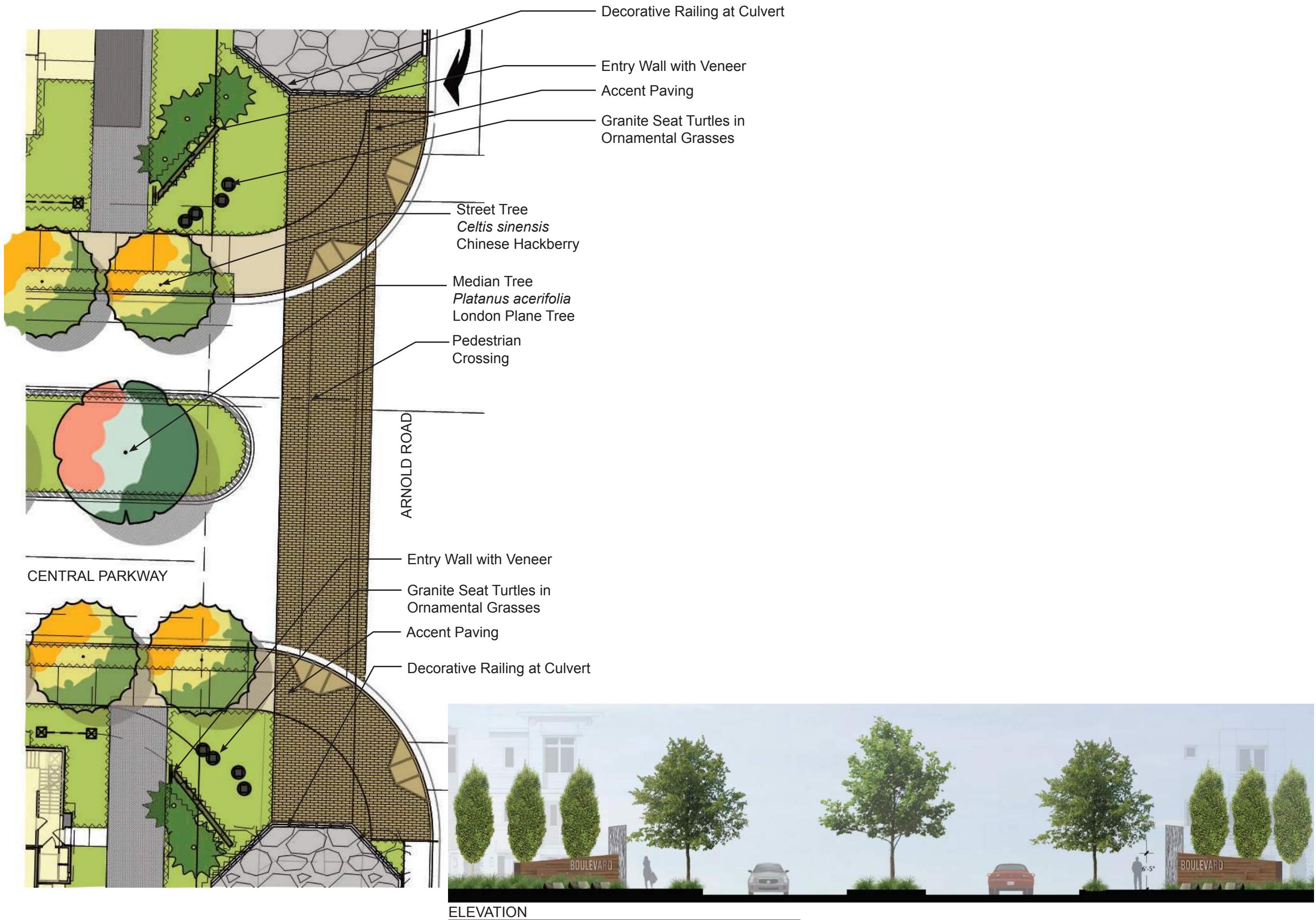


0' 10' 20' 40'

APRIL 11, 2017

L0.1







GATES  
+ASSOCIATES  
LANDSCAPE ARCHITECTURE

## BOULEVARD phases 2-3

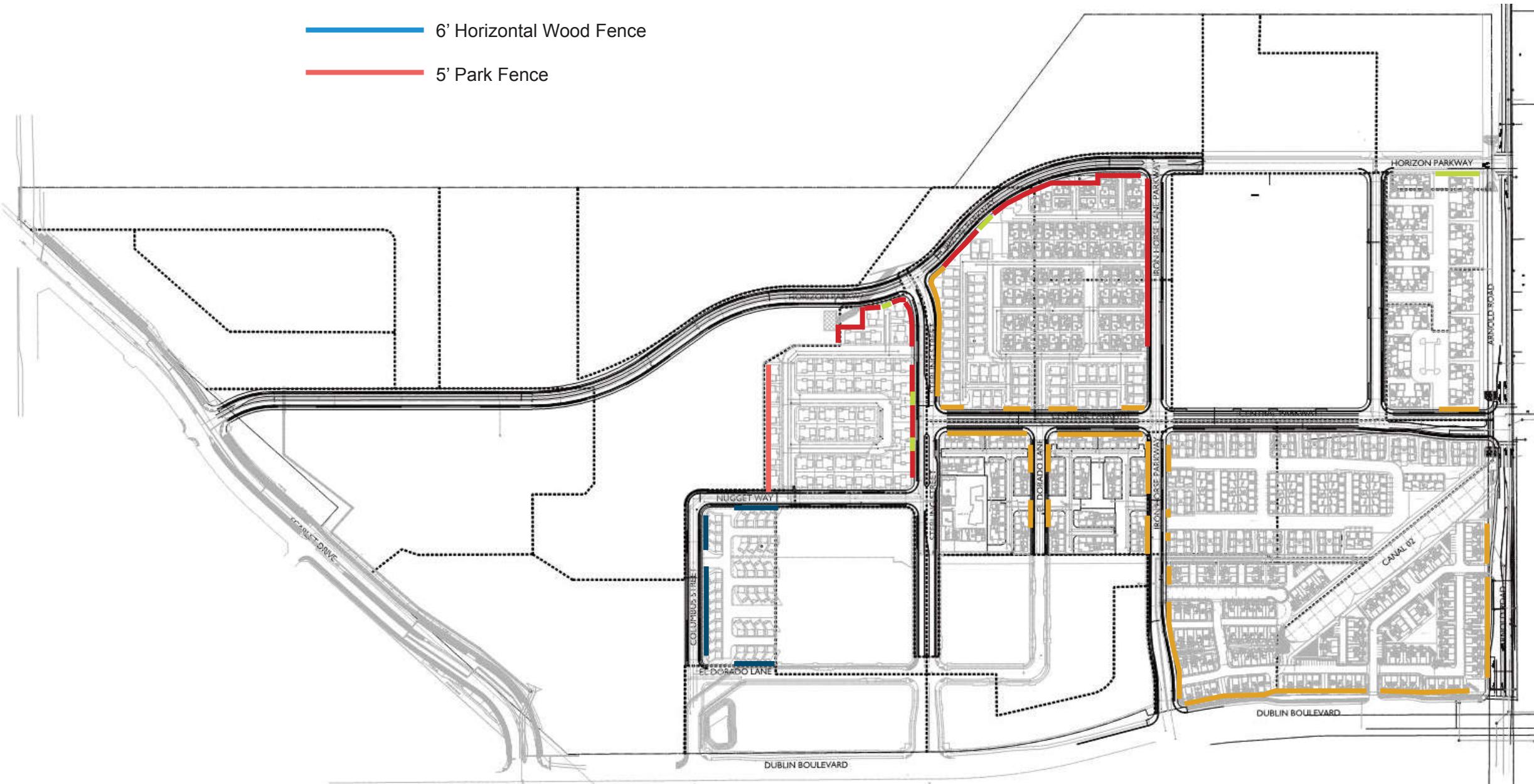
## Dublin, California

## **ENTRY AT CENTRAL PARKWAY**

APRIL 11, 2017

L0.2

- 3' Low Stucco Wall with Column
- 3' Low Veneer Wall
- Low Theme Wall
- 6' Theme Wall
- 6' Horizontal Wood Fence
- 5' Park Fence



BOULEVARD phases 2-3

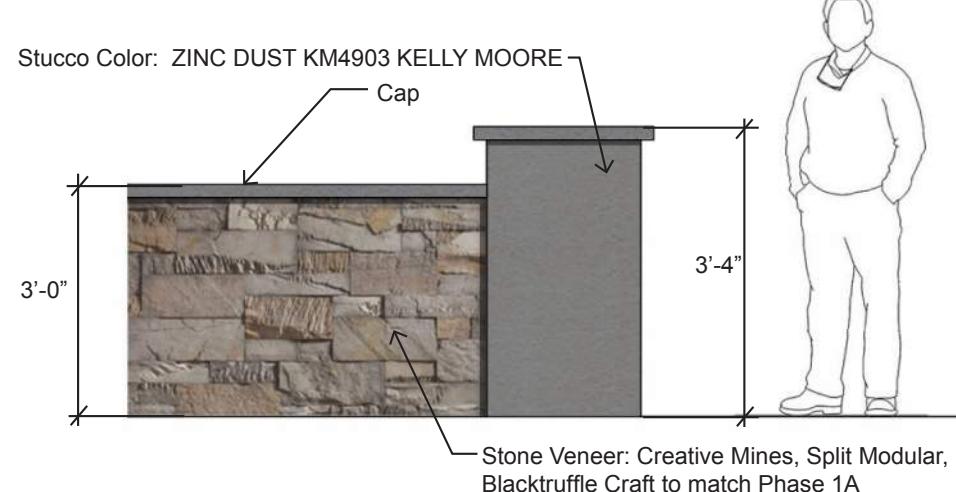


OVERALL WALL AND  
FENCING PLAN

0' 10' 20' 40'

APRIL 11, 2017

L0.3

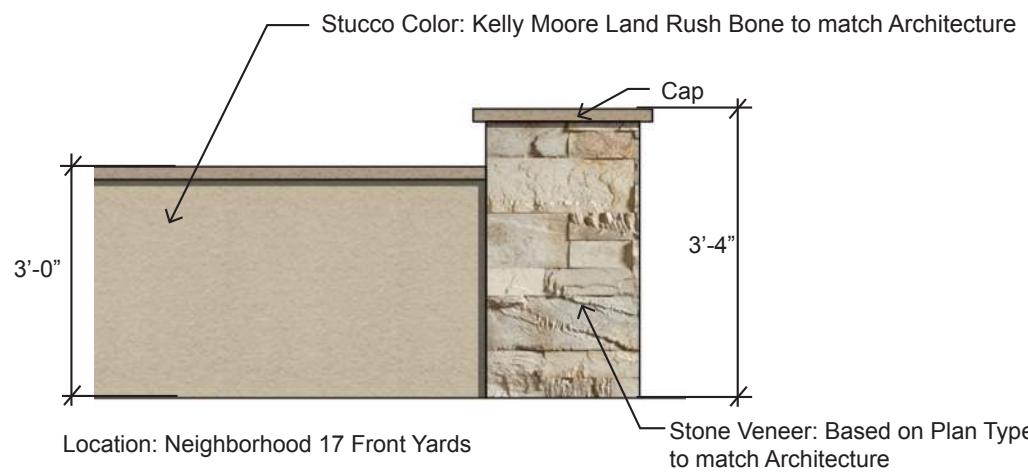


Location: Central Parkway, Sterling Street, Dublin Blvd and Iron Horse Parkway Frontage  
3' HT LOW VENEER WALL

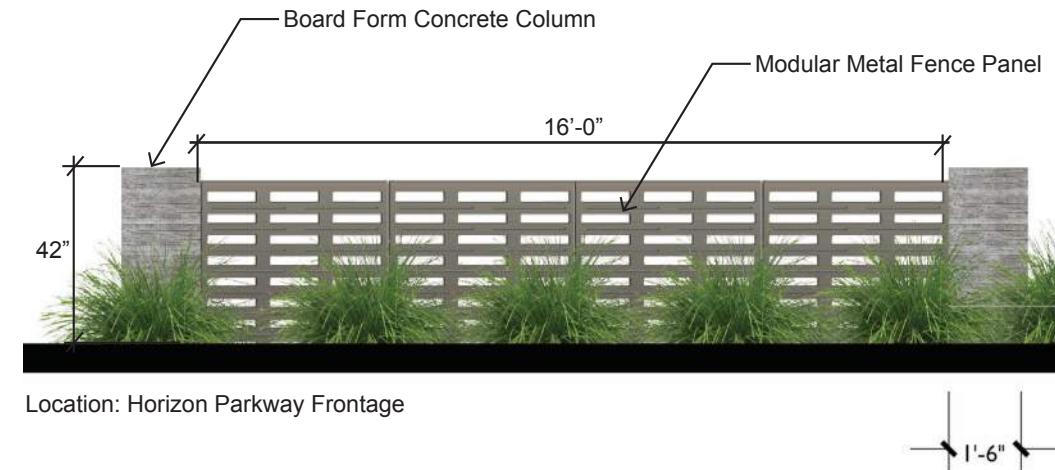


Location: Neighborhoods 11,12,18,13,17 where Wood Fencing Faces the Street

6'HT GOOD NEIGHBOR FENCE

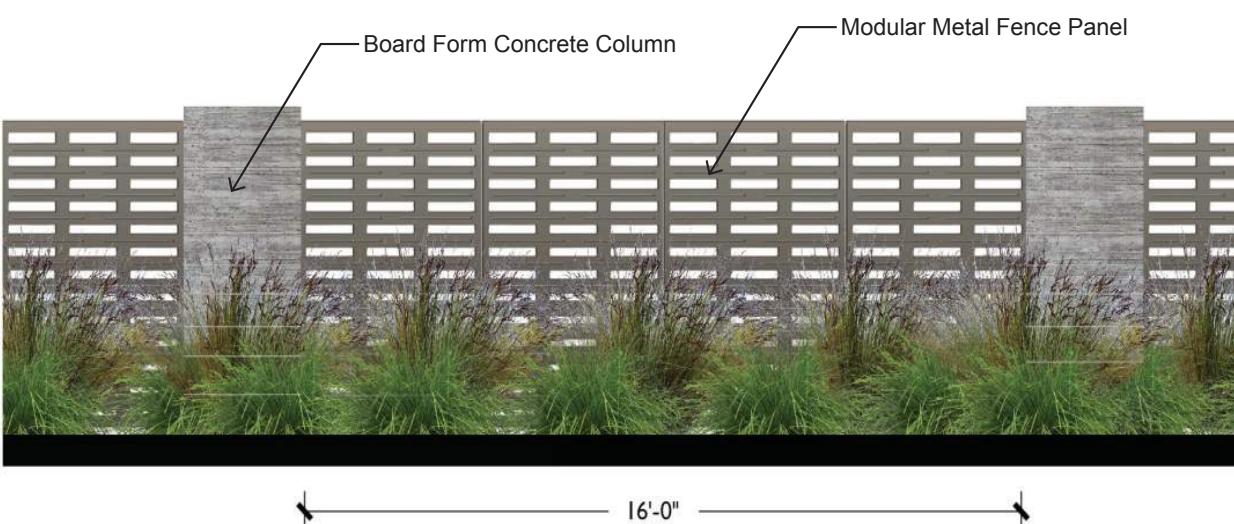


Location: Neighborhood 17 Front Yards  
3' HT LOW WALL WITH COLUMN



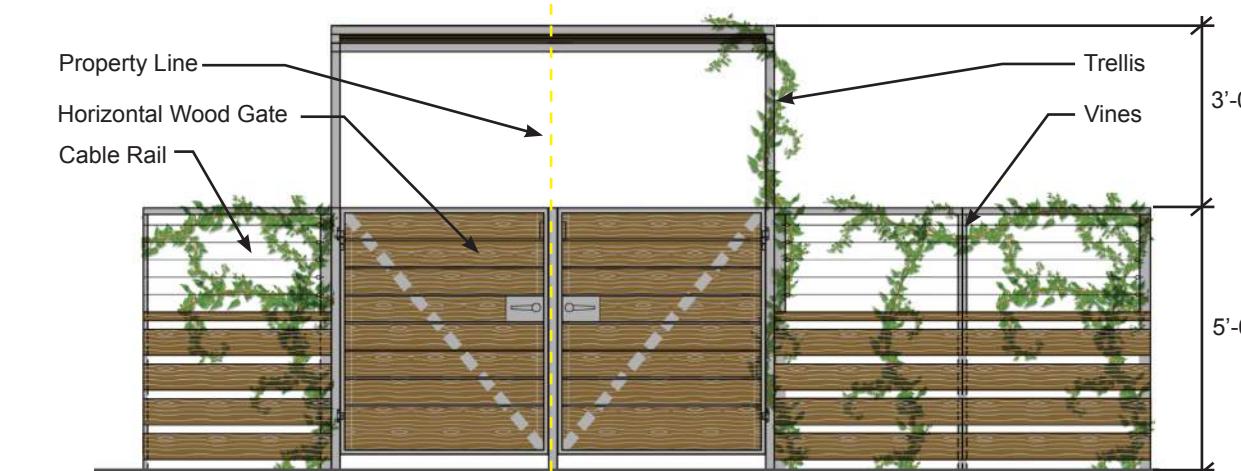
Location: Horizon Parkway Frontage

42" HT LOW THEME WALL



Location: Horizon Parkway Frontage

6'HT THEME WALL



Location: Neighborhood 13 Park Interface

5' PARK FENCE

### BOULEVARD phases 2-3



Dublin, California

OVERALL

### WALL AND FENCING DETAILS

0' 10' 20' 40'

APRIL 11, 2017

L0.4

BOULEVARD phases 2-3

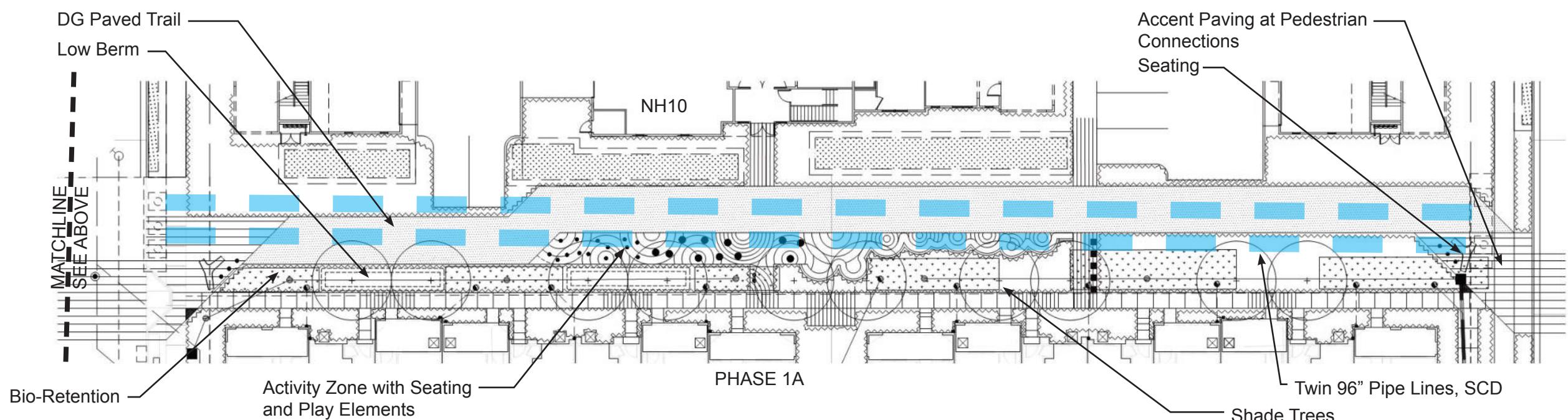
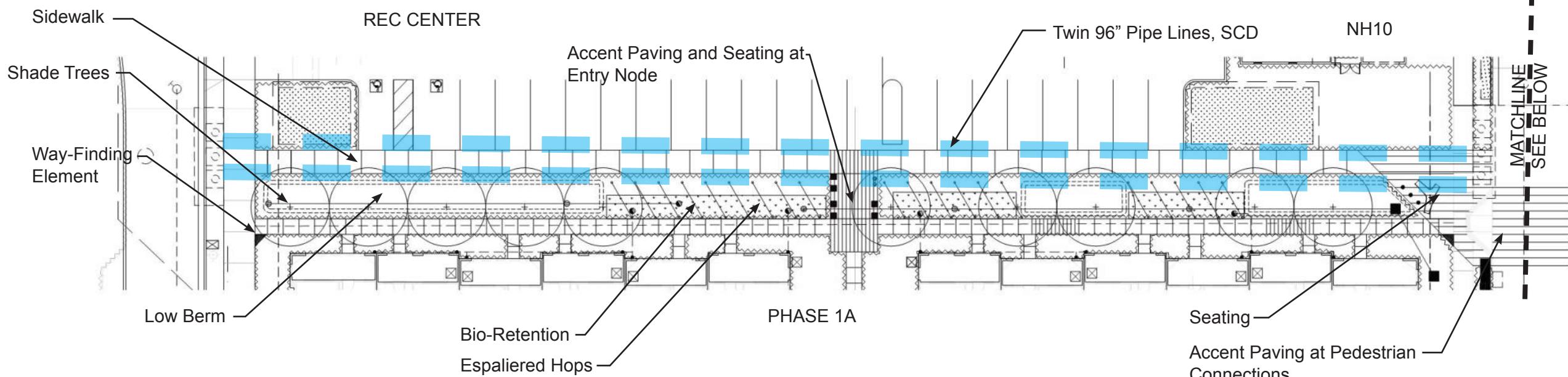


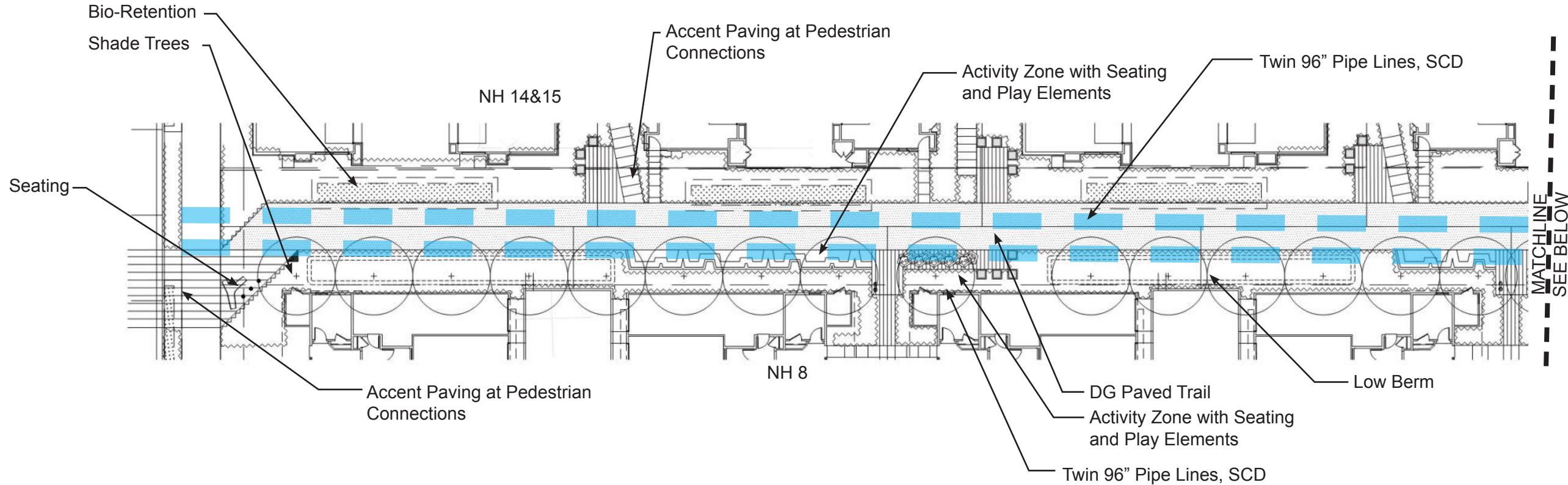
**GREENBELT**  
NEIGHBORHOOD 10&REC  
CENTER

0' 15' 30' 60'

APRIL 11, 2017

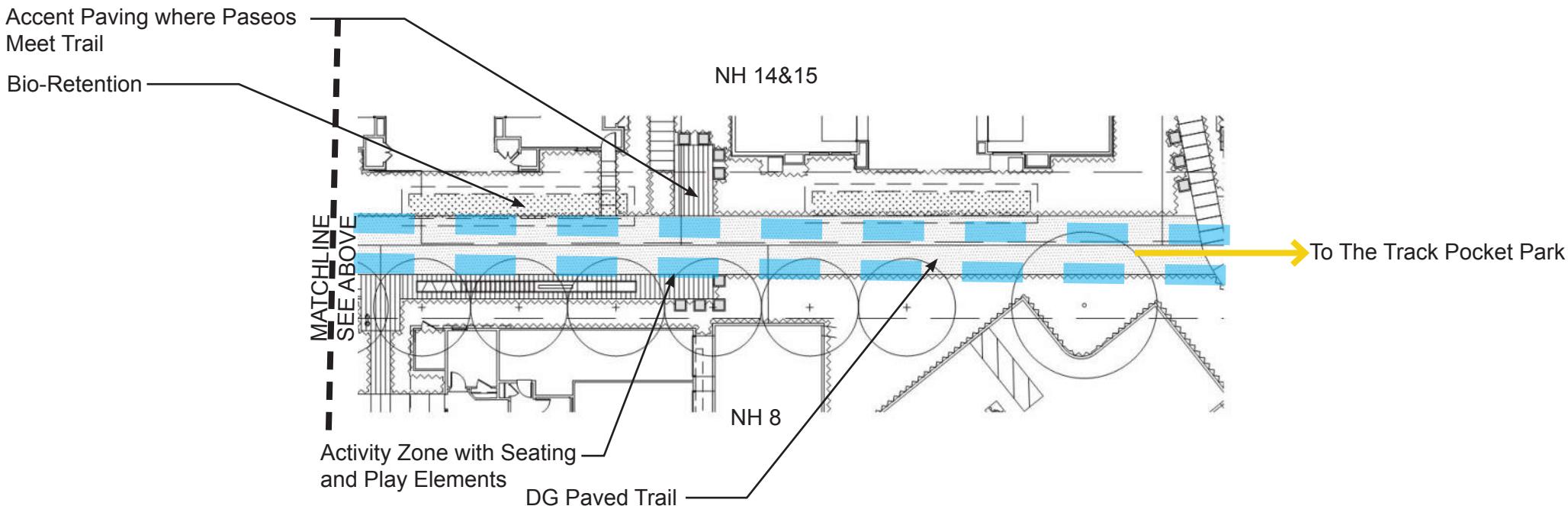
L0.5





GATES  
+ASSOCIATES  
LANDSCAPE ARCHITECTURE

BOULEVARD phases 2-3



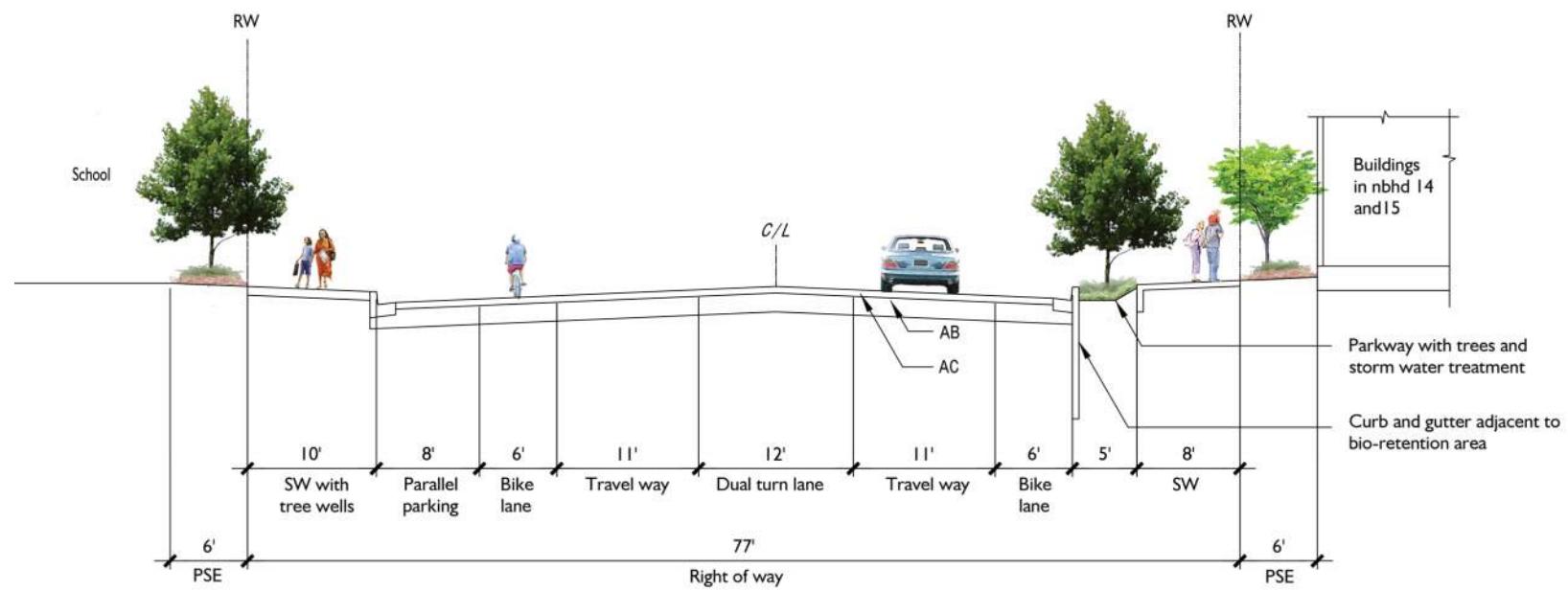
GREENBELT  
NEIGHBORHOOD 7&8,14&15

0' 15' 30' 60'

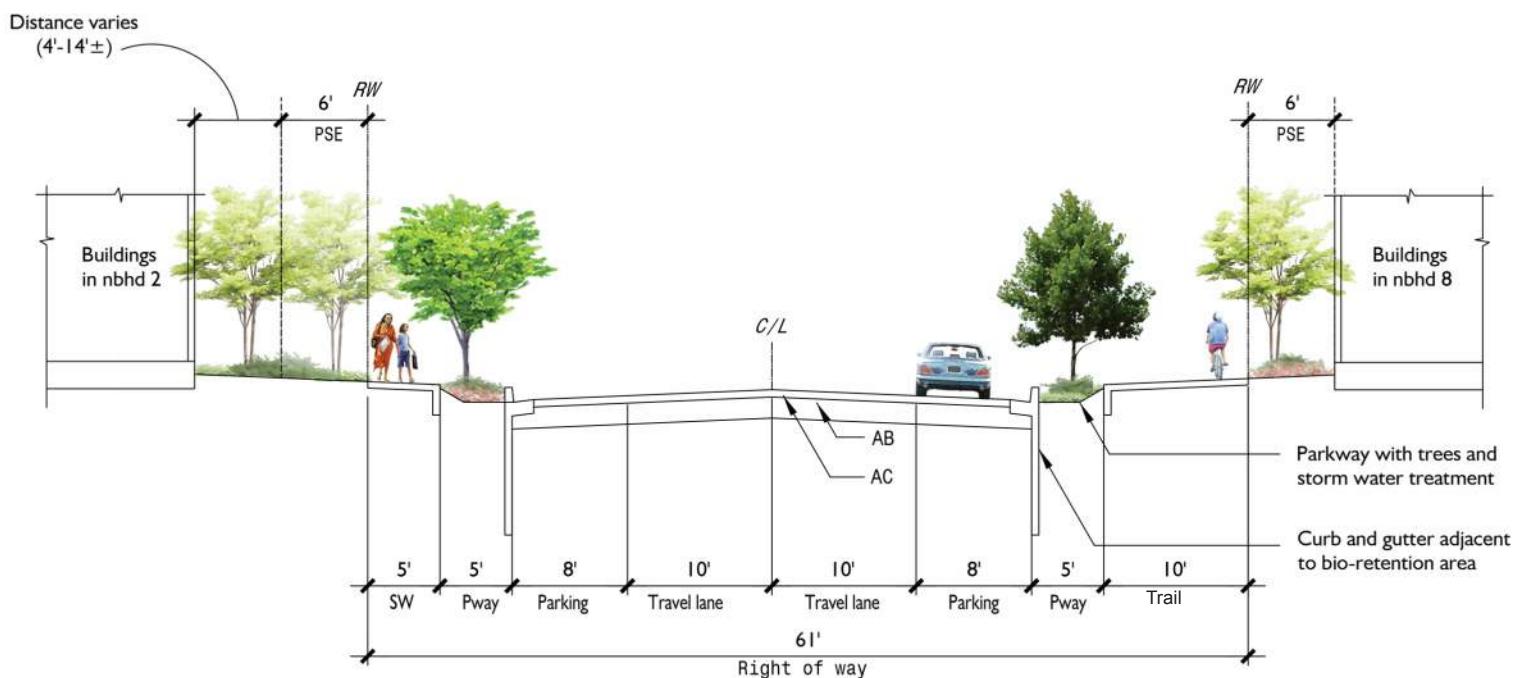
APRIL 11, 2017

L0.6

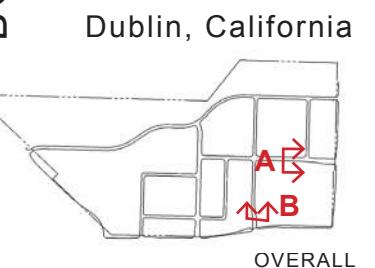
---

BOULEVARD phases 2-3


**SECTION A CENTRAL PARKWAY**  
NTS



**SECTION B IRON HORSE PARKWAY**  
NTS



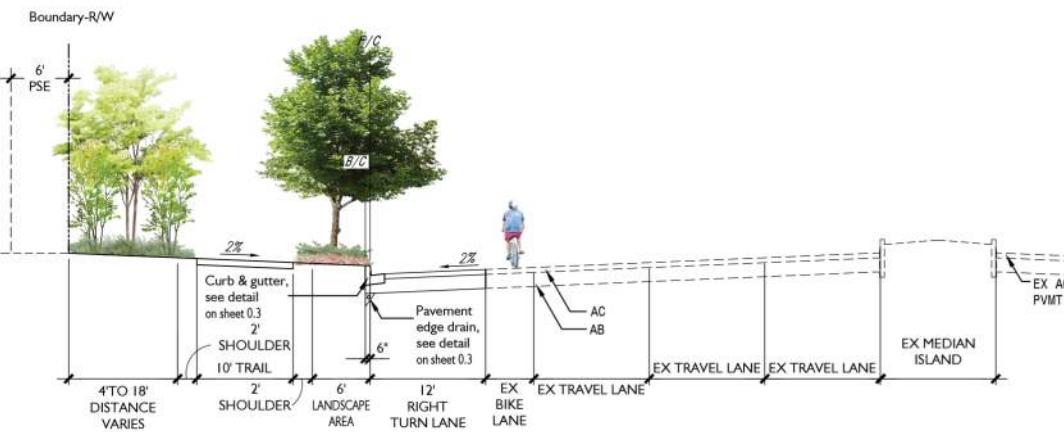

---

STREET SECTIONS

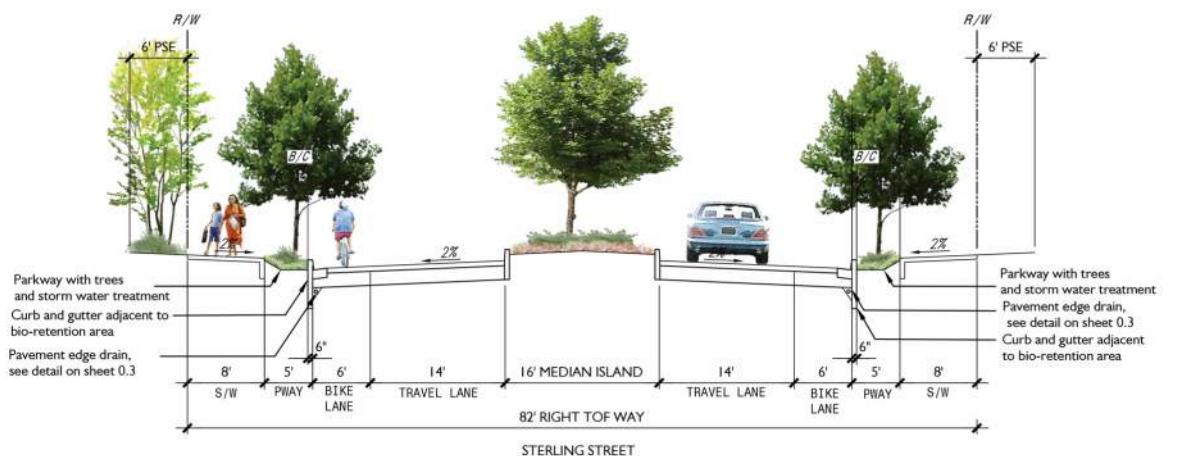
APRIL 11, 2017

L0.7

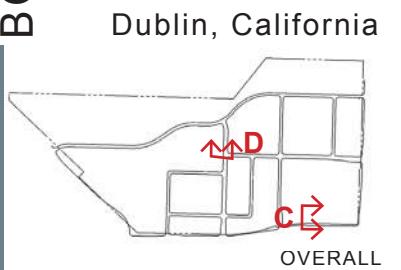
---

BOULEVARD phases 2-3


**SECTION C DUBLIN BOULEVARD**  
NTS



**SECTION D STERLING STREET**  
NTS

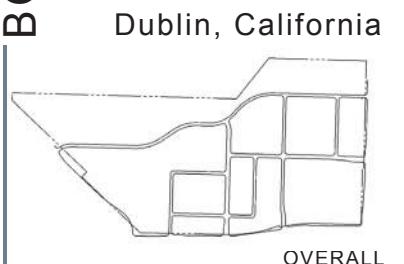


STREET SECTIONS

APRIL 11, 2017

L0.8

## BOULEVARD phases 2-3



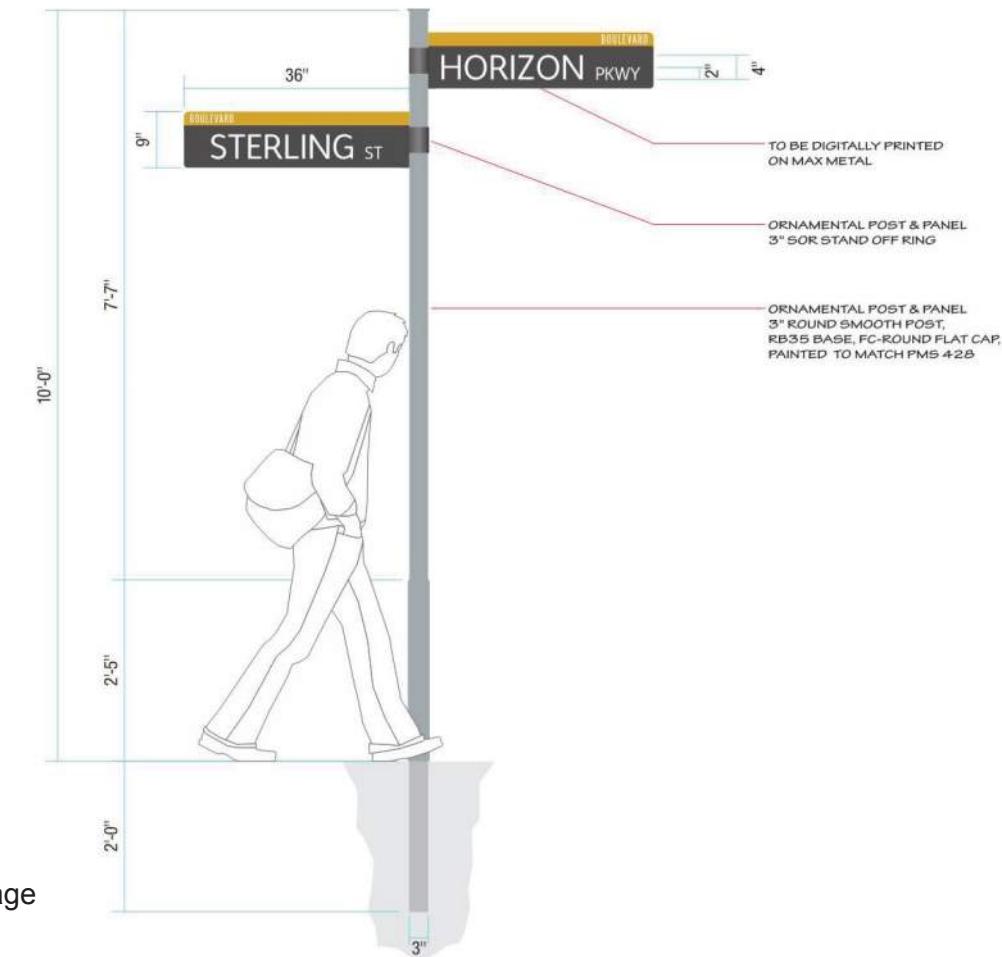
### SITE ACCESSORIES



Accent Lighting in Parks and Common Areas  
Hess City Elements  
Bega LED Bollard



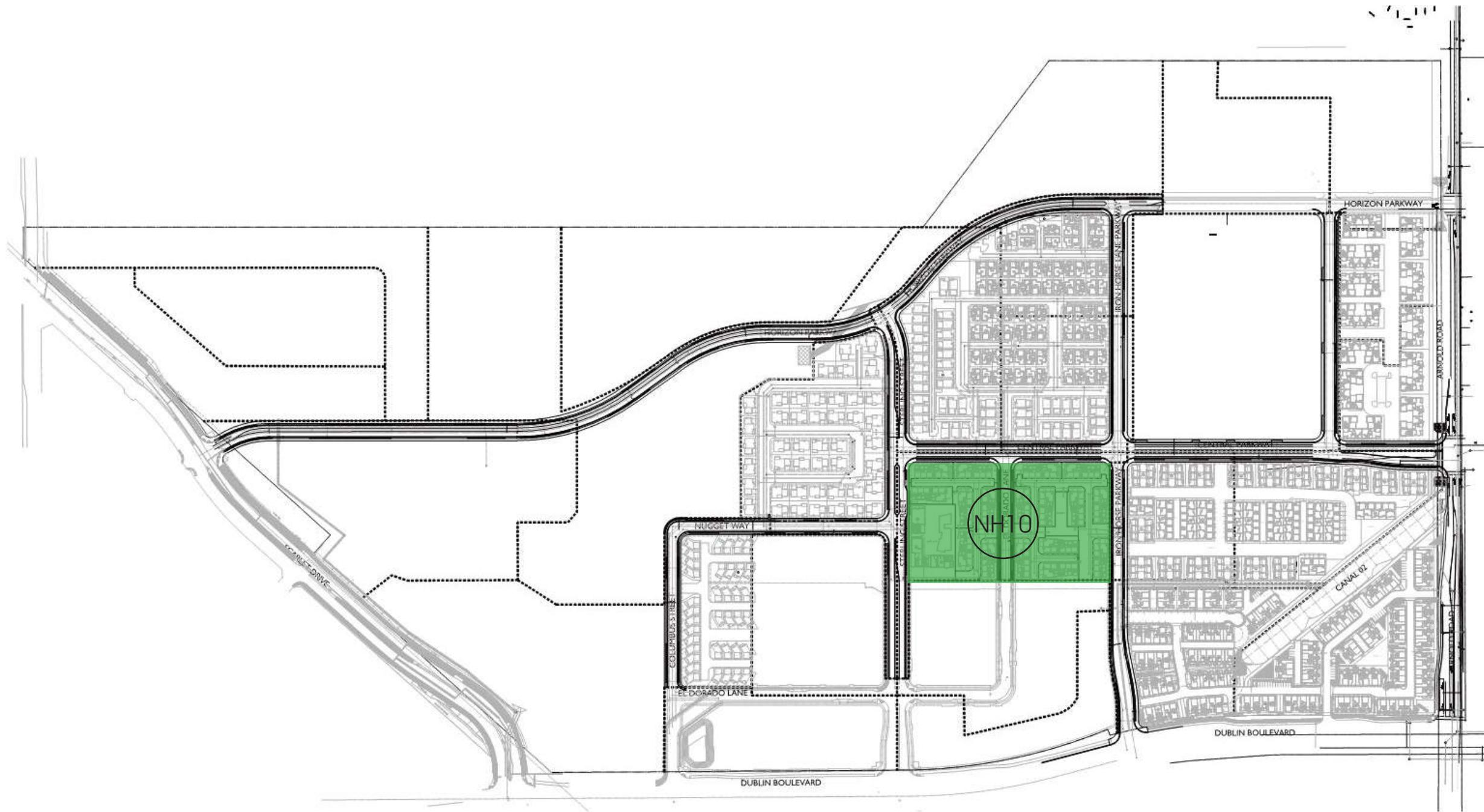
Backbone and Intract Street Light  
PureForm LED Series  
MFR: Philips Gardco  
Color: RAL 7043



APRIL 11, 2017

L0.9

TABBED PAGE - NEIGHBORHOOD 10

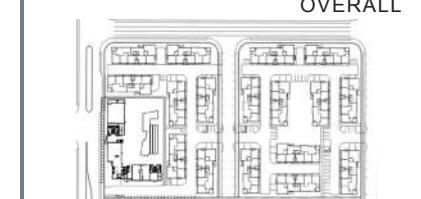


BOULEVARD phases 2-3

Dublin, California



OVERALL



HYDE PARK

SITE PLAN  
NEIGHBORHOOD 10



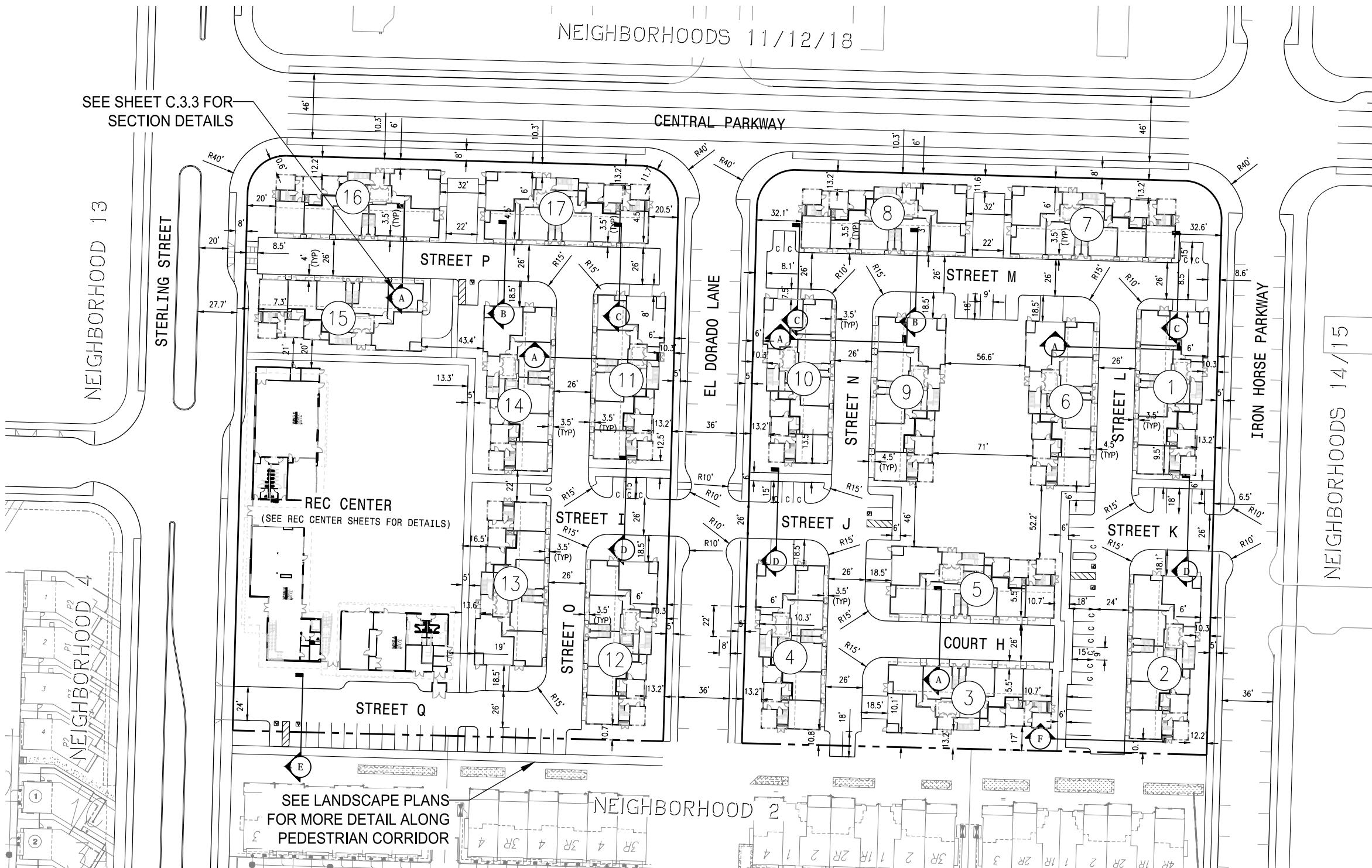
0' 200' 400' 800'

APRIL 11, 2017

L 3.1

NEIGHBORHOODS 11/12/18

**MACKAY & SOMPS**  
ENGINEERS  
PLEASANTON, CA  
PLANNERS  
(925)225-0690  
SURVEYORS



### NEIGHBORHOOD 10 (PHASE 2)

#### SITE SUMMARY

TOTAL ACRES: **5.97± AC**

NH 10 UNIT COUNT: **102 UNITS**

DENSITY: **17.1 du/AC**

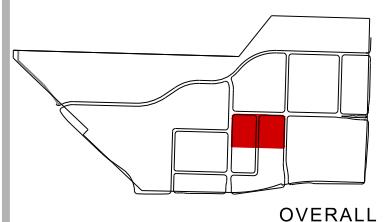
SITE PLAN



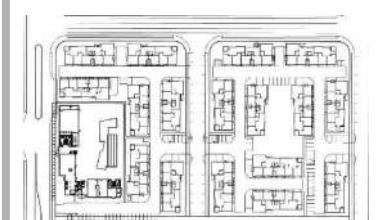
phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



OVERALL



HYDE PARK

LAND USE SUMMARY

NEIGHBORHOOD 10  
 0 40 80 120 FEET



APRIL 11, 2017

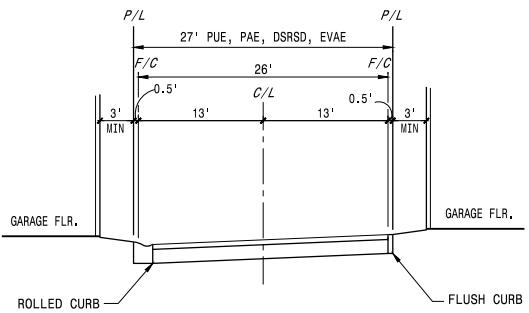
C.3.2

<b>NH 10 (STACKED FLATS) DEVELOPMENT STANDARDS</b>		<b>Per Dublin Crossing Specific Plan Table 2-11</b>	<b>Proposed Site Plan</b>
<b>SETBACKS (MINIMUM) <sup>(1) (2) (3)</sup></b>			
Building to PL	10 feet	6 feet (Back of Public Walk) 9 feet to Front Door (Lobby) 16 feet to Face of Curb of Public Street	
Building to Parking and Drive Isle	5 feet	5 feet to Living 3 feet to Garage	
Drive Isle or Parking to PL	5 feet	5 feet to PL along Public Street	
<b>BUILDING SEPARATION (MINIMUM)</b>			
Garage to Garage	30 feet	30 feet	
Building to Building (2 stories or less)	10 feet	N/A	
Building to Building (3-4 stories)	20 feet	20 feet	
Building to Building (5-6 stories)	30 feet	N/A	
Maximum number of stories	6 stories	4 stories	
<b>Notes (From the Dublin Crossing Specific Plan):</b>			
(1) Setbacks apply to building proximity to property lines. For setbacks interior to the project, refer to the minimum building separations.			
(2) All setbacks at corner lots shall meet the intersection sight distance design criteria of the Zoning Ordinance. All setbacks for front areas shall ensure safe sight distances for pedestrians and vehicles as approved by the City Engineer			
(3) Architectural projections such as porches and patios, landings, roof eaves, steps, bay windows, media nooks, fireplaces and other similar features are allowed to project into the setback as long as three feet clear is maintained for access into rear yard.			

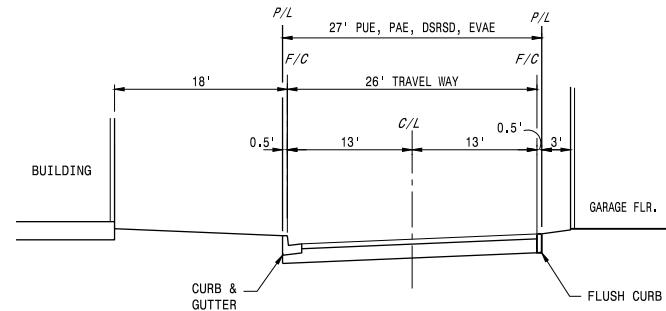
phases 2-3

BOULEVARD

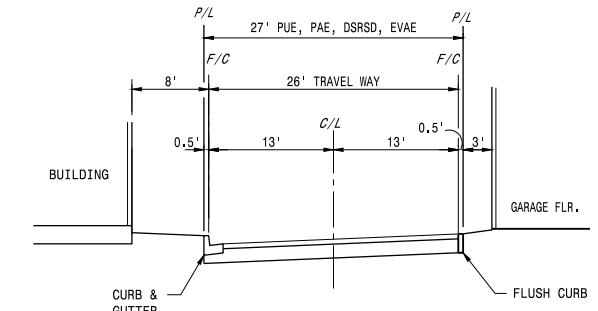
DUBLIN, CALIFORNIA



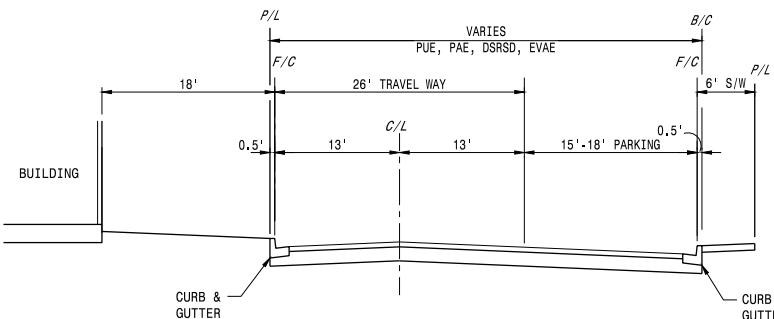
**SECTION A-A**  
STREETS O, P, N, AND L, COURT H  
NTS



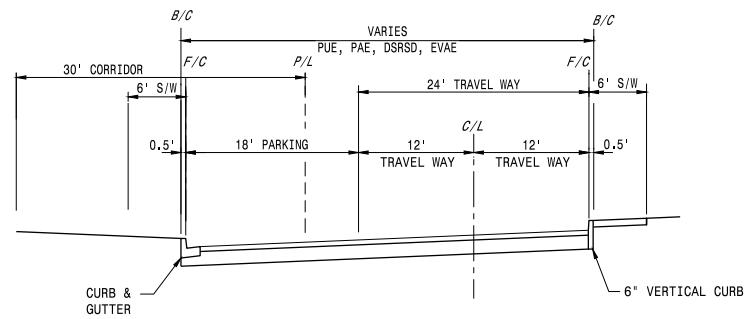
**SECTION B-B**  
STREET P, M  
NTS



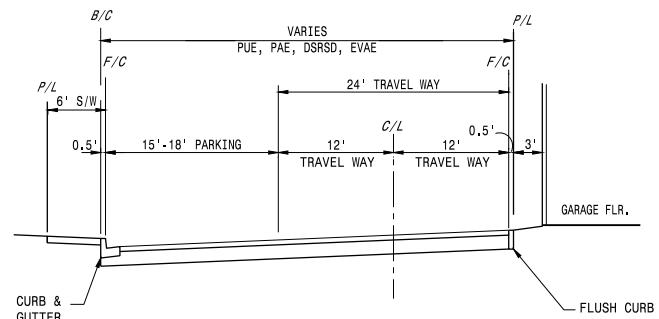
**SECTION C-C**  
STREET P, M  
NTS



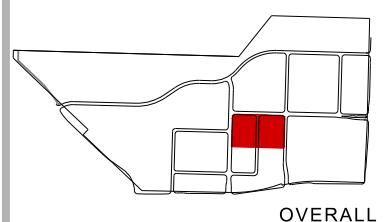
**SECTION D-D**  
STREET I, J, K  
NTS



**SECTION E-E**  
STREET Q  
NTS



**SECTION F-F**  
STREET L  
NTS



HYDE PARK  
STREET SECTIONS  
NEIGHBORHOOD 10

This architectural site plan illustrates two neighborhoods, 11/12/18 and 14/15, showing street layouts, building footprints, and various landmarks.

**Neighborhood 11/12/18:**

- Central Parkway:** A major north-south artery.
- El Dorado Lane:** A east-west connector street.
- Streets:** STREET P, STREET M, STREET N, STREET L, STREET K, STREET J, STREET I, STREET O, STREET Q.
- Courts:** COURT H.
- Buildings:** Numbered buildings 1 through 17 are scattered throughout the neighborhood.
- Landmarks:** REC CENTER (SEE REC CENTER SHEETS FOR DETAILS).
- Addressing:** Street addresses 5900, 5800, and 5100 are indicated along the Central Parkway.

**Neighborhood 14/15:**

- Iron Horse Parkway:** A major north-south artery.
- Neighborhood 13:** Located to the west of Neighborhood 11/12/18.
- Neighborhood 4:** Located to the south of Neighborhood 11/12/18.
- Building Footprints:** Detailed building outlines are shown for numerous structures across the two neighborhoods.

BOULEVARD phases 2-3

## BOULEVARD

The figure consists of two parts. The top part is a site plan for the city of Dublin, California, showing the overall urban layout with various neighborhoods and roads. A specific area in the northeast part of the city is highlighted with a red rectangle, labeled "OVERALL". The bottom part is a detailed architectural rendering of a residential complex within this highlighted area, showing multiple houses, driveways, and landscaping.



# HYDE PARK ADDRESS PLAN

## NEIGHBORHOOD 10

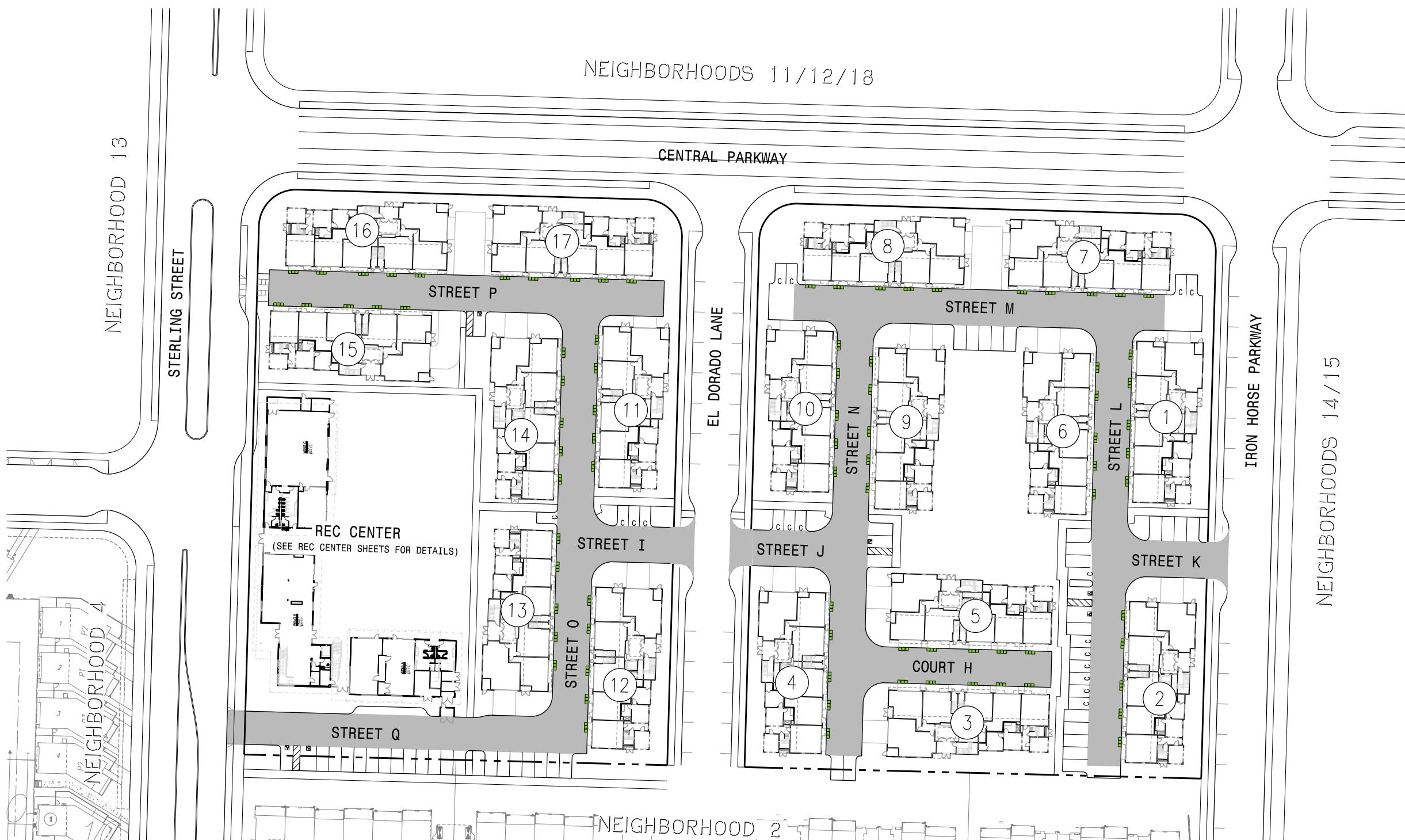
0      40      80      120      FEE

APRIL 11, 2017

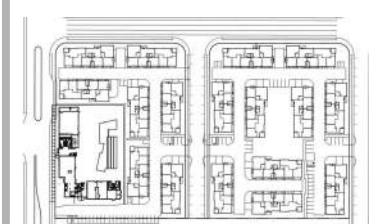
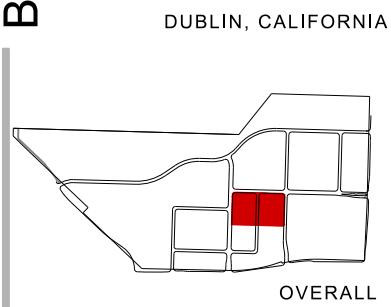
### C.3.4



NEIGHBORHOODS 11/12/18



BOULEVARD phases 2-3

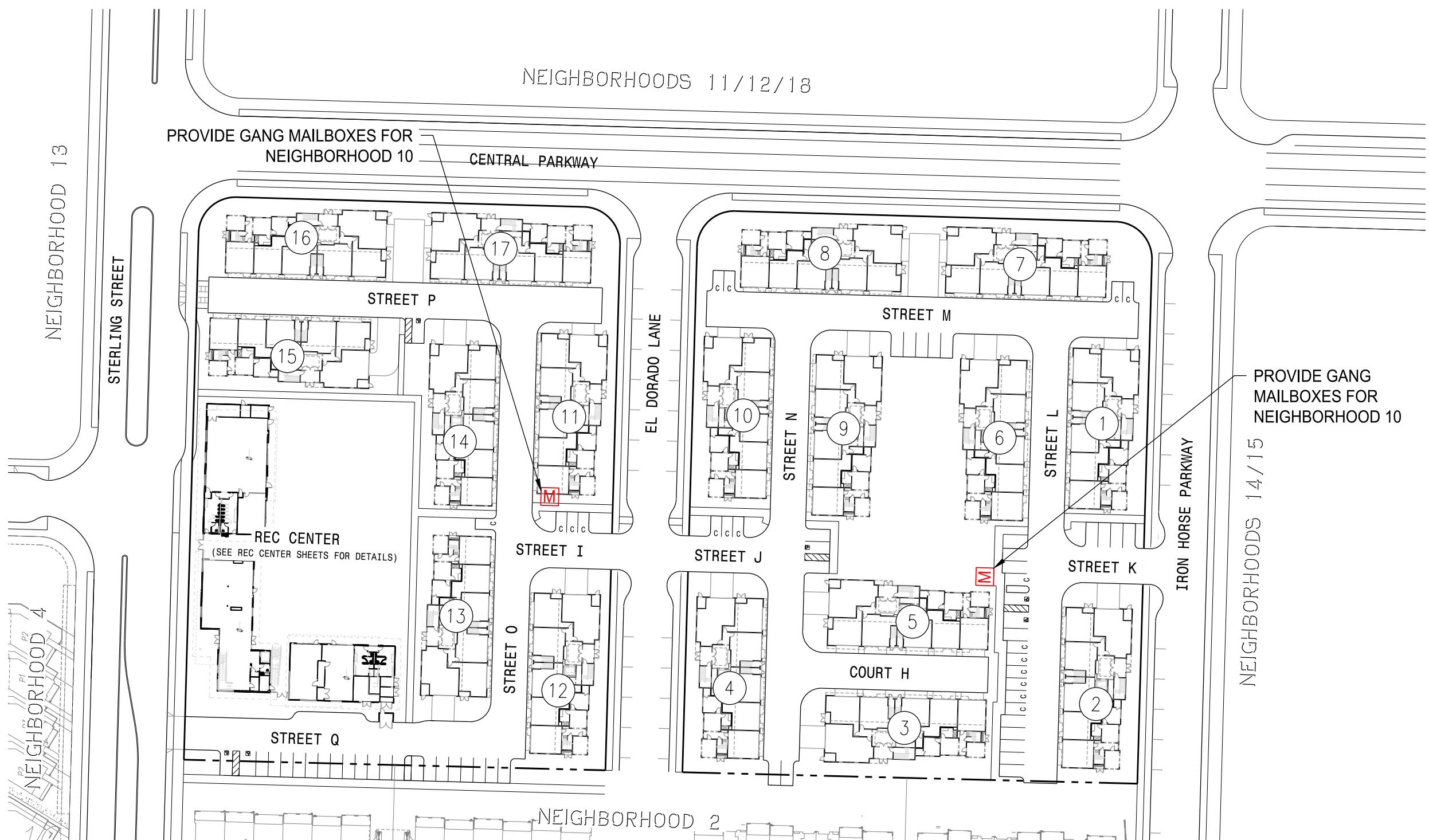


TRASH PICKUP  
PLAN  
NEIGHBORHOOD 10

0 40 80 120 FEET



NEIGHBORHOODS 11/12/18

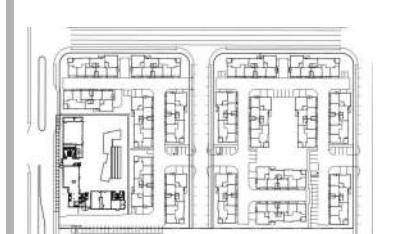
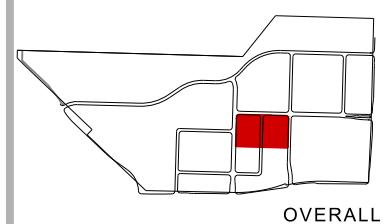


### LEGEND

**M** PRELIMINARY MAILBOX LOCATION  
(FINAL LOCATION SUBJECT TO  
USPS APPROVAL)

BOULEVARD phases 2-3

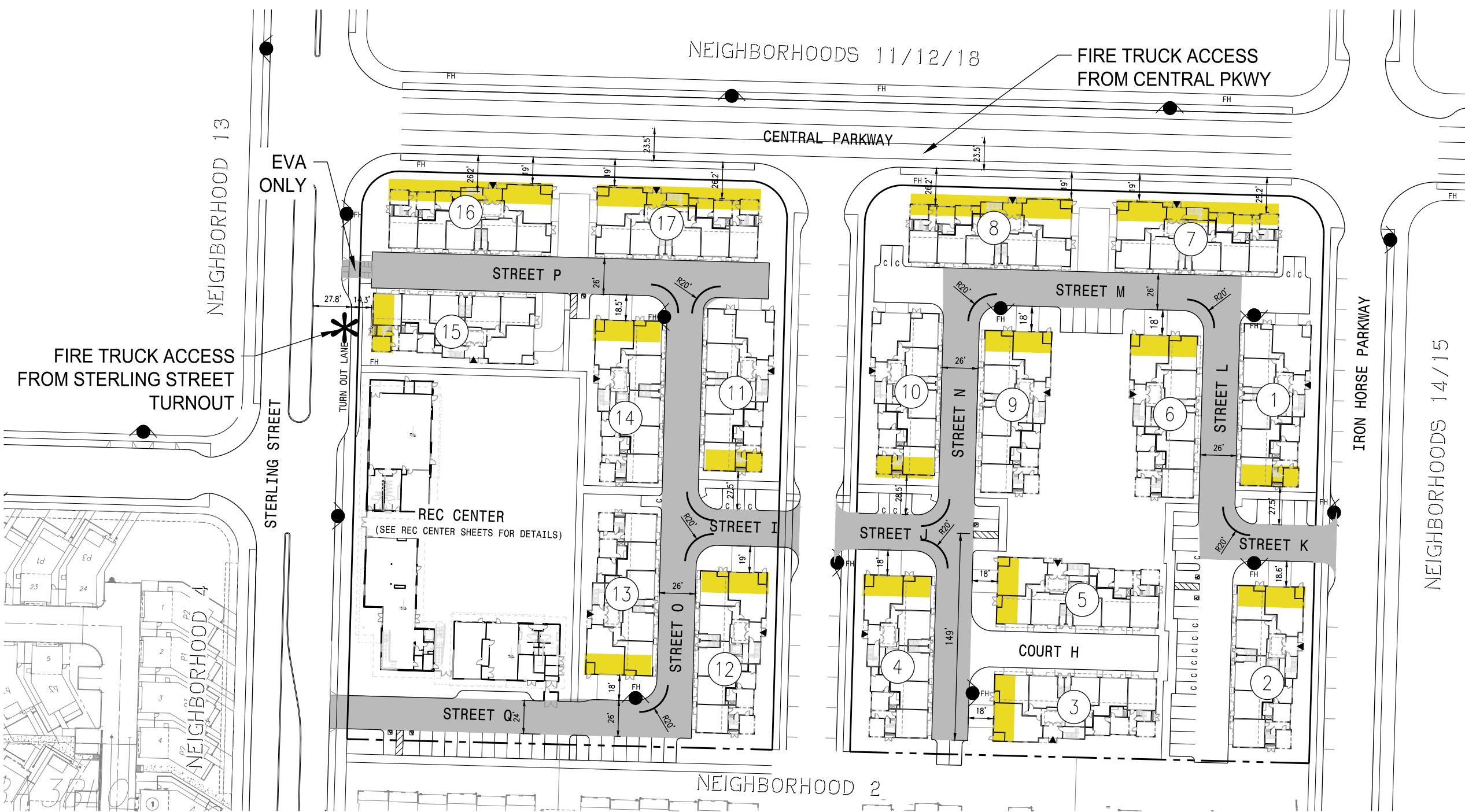
DUBLIN, CALIFORNIA



HYDE PARK  
MAILBOX LOCATION  
PLAN  
NEIGHBORHOOD 10  
0 40 80 120 FEET

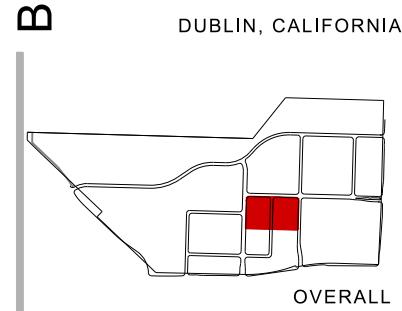
APRIL 11, 2017

C.3.7



phases 2-3

## BOULEVARD



### LEGEND

- FIRE DEPARTMENT ACCESS ROUTE
- PROPOSED FIRE HYDRANT(FH)
- LADDER ACCESS TO BUILDING OVER 30'
- \* FIRE ACCESS PULLOUT TO ALSO SERVE KITCHEN FACILITY AT RECREATION CENTER (RECREATION CENTER 2-STORY MAX.)
- ▲ FRONT DOOR TO LOBBY (SHOWN FOR MEDICAL EMERGENCY PURPOSES)
- ↙ MINIMUM INSIDE TURN RADIUS

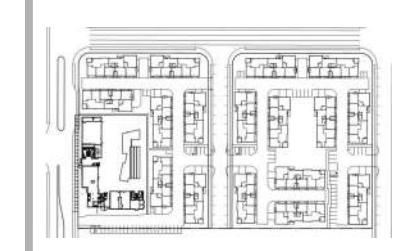
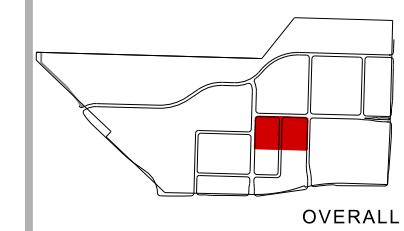
NOTE:

1. NEIGHBORHOOD 10 PRODUCT IS A 4-STORY PRODUCT.
2. FIRE APPARATUS ROADS SHOWN HAVE A MINIMUM WIDTH OF 26'.



BOULEVARD phases 2-3

DUBLIN, CALIFORNIA



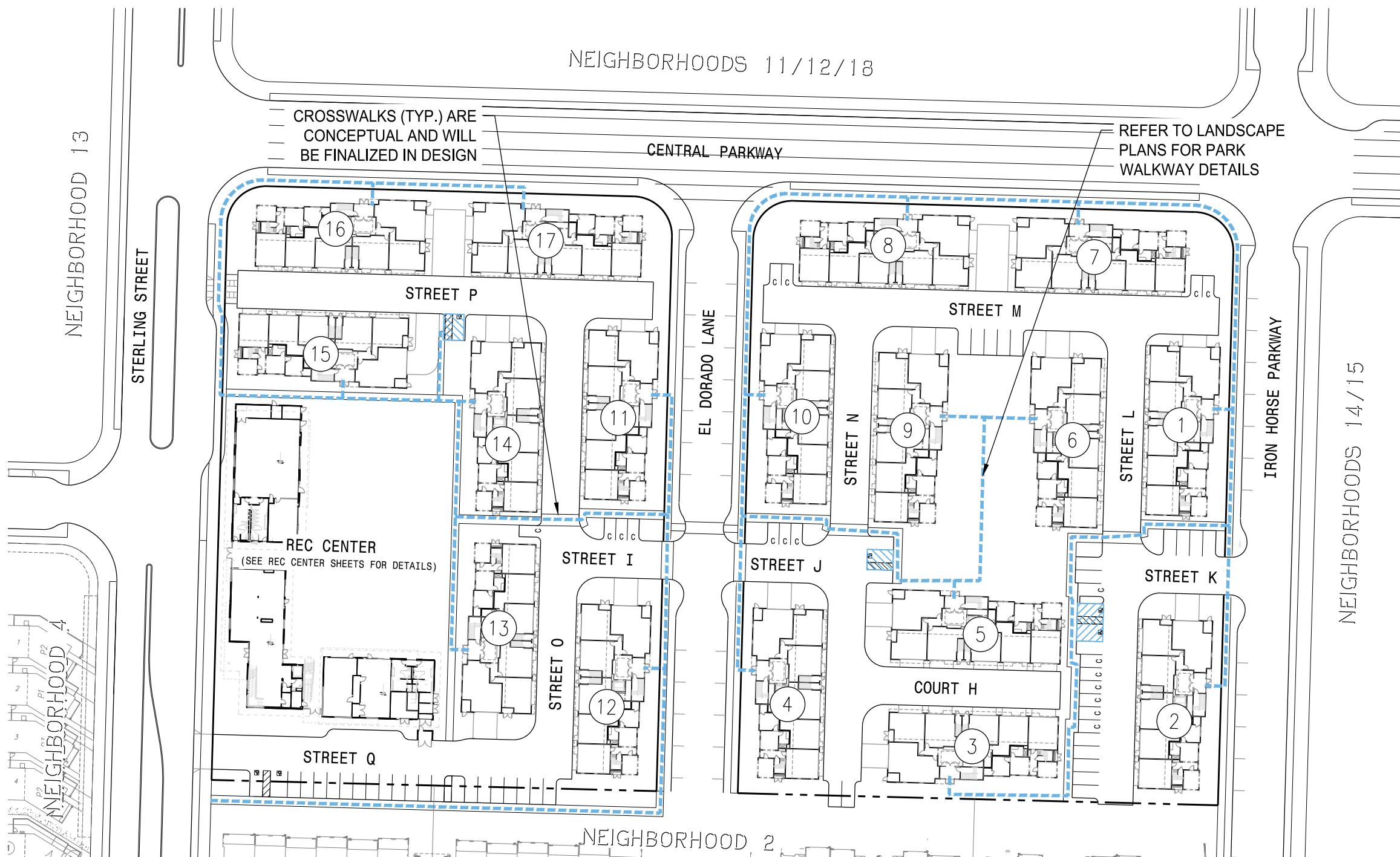
SIGHT DISTANCE  
PLAN  
NEIGHBORHOOD 10

0 40 80 120 FEET

APRIL 11, 2017

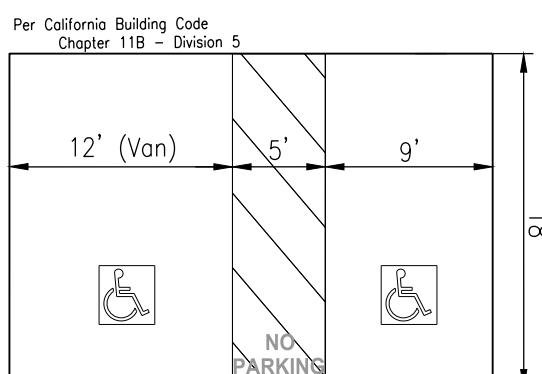
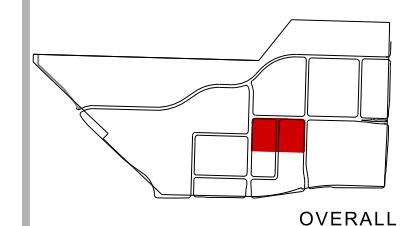
C.3.9

NEIGHBORHOODS 11/12/18



BOULEVARD phases 2-3

DUBLIN, CALIFORNIA



DOUBLE DISABLED PARKING STALLS

#### LEGEND:

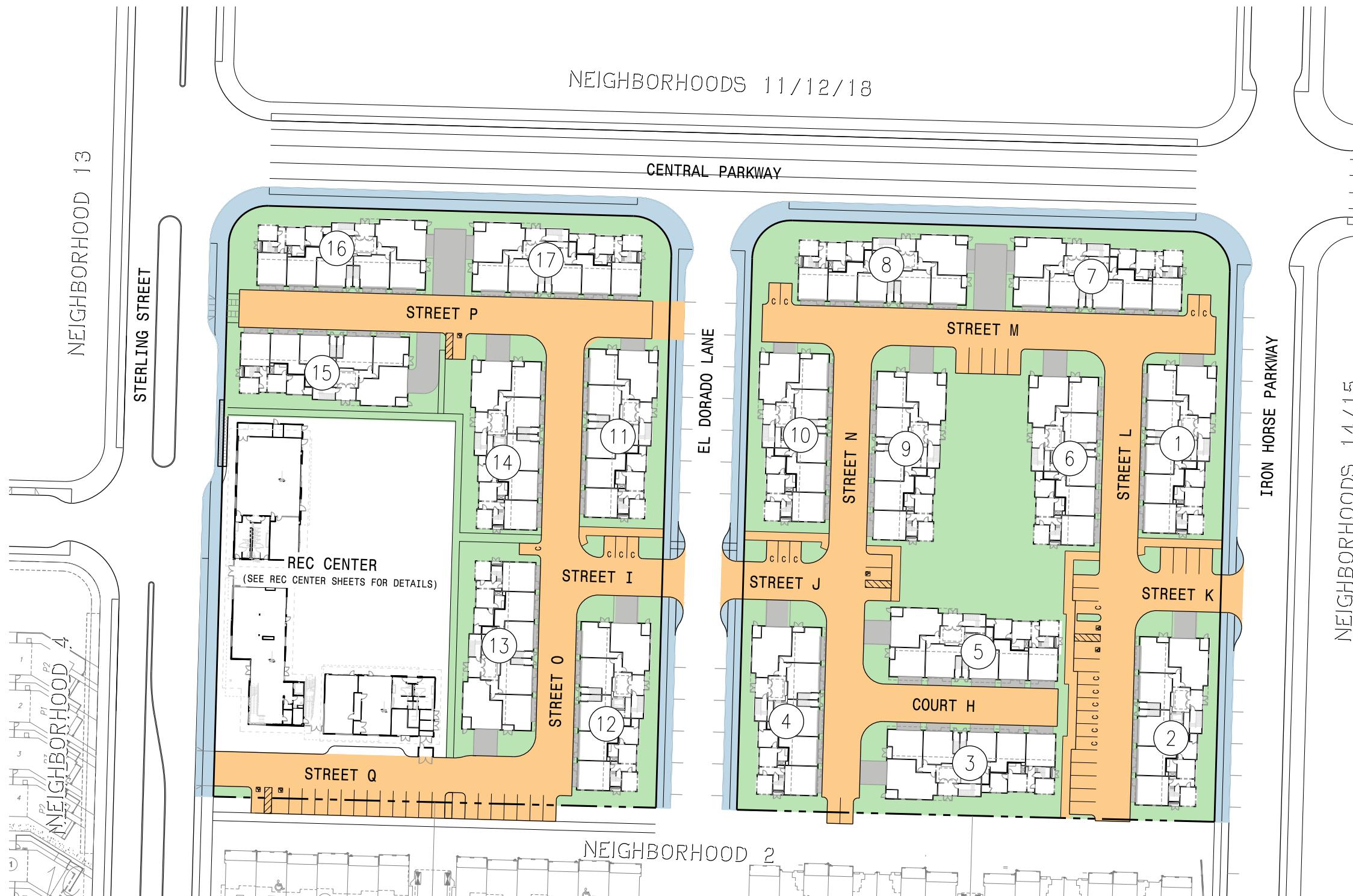
ACCESSIBLE PARKING SPACES

ACCESSIBLE PATH TO/FROM  
ACCESSIBLE STALL AND PUBLIC R.O.W.  
TO ACCESSIBLE LOBBY ENTRANCE

NOTE: ALL UNITS ARE ACCESSIBLE BY ELEVATOR



NEIGHBORHOODS 11/12/18

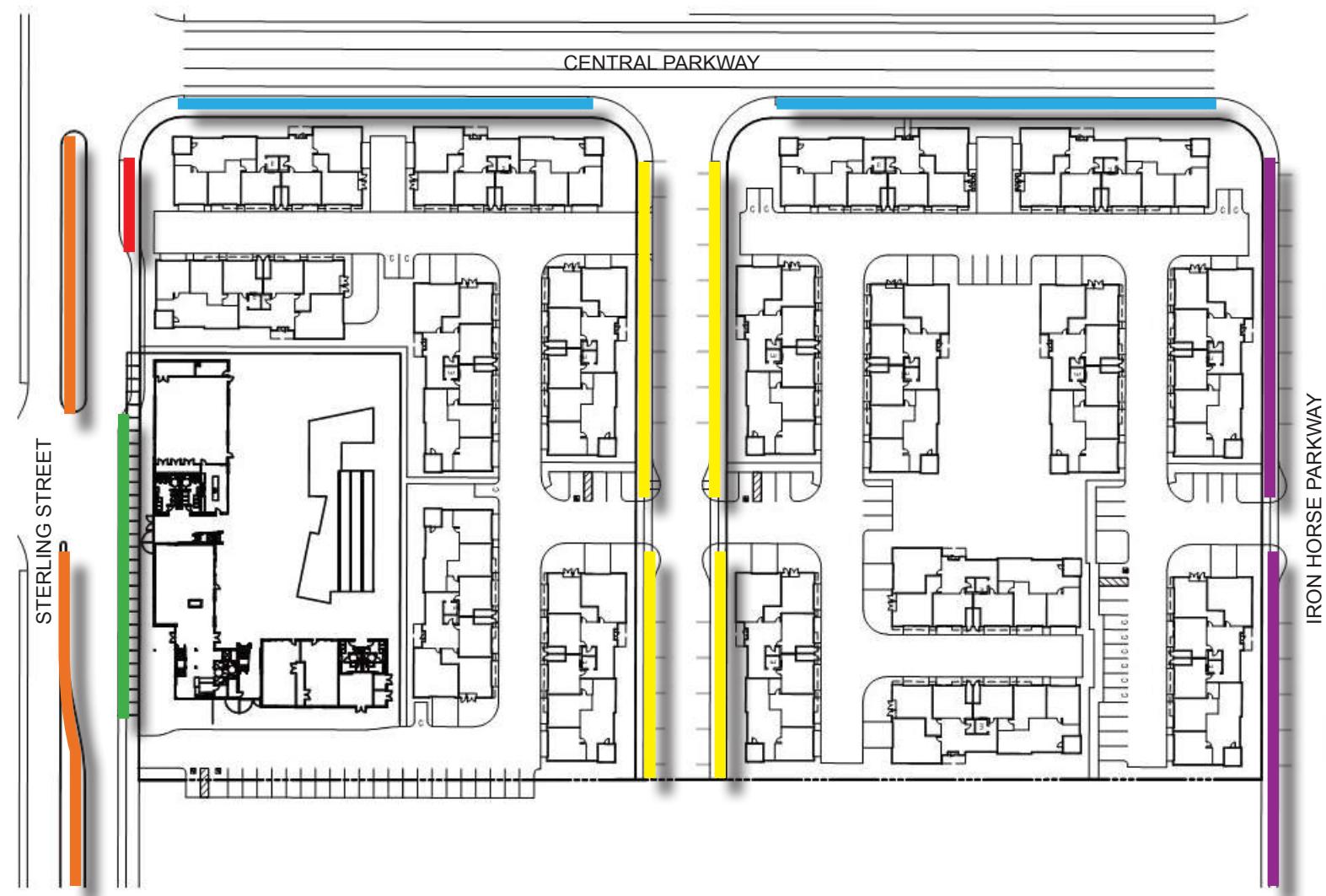


### LEGEND

- OPEN SPACE - HOA MAINTAINED  
(INCLUDING BIO-RETENTION/SILVA CELL FACILITIES)
- COURTS & PRIVATE DRIVES - HOA MAINTAINED
- PRIVATE STREETS - HOA MAINTAINED
- PUBLIC STREET PARKWAY - HOA MAINTAINED  
(INCLUDING BIO-RETENTION/SILVA CELL FACILITIES)

## LEGEND

	<i>Quercus virginiana</i> Southern Live Oak
	<i>Ulmus parvifolia</i> Chinese Elm
	<i>Platanus acerifolia</i> London Plane Tree
	<i>Pistacia chinensis 'Keith Davey'</i> Chinese Pistache
	<i>Celtis sinensis</i> Chinese Hackberry
	<i>Phoenix dactylifera</i> Date Palm



BOULEVARD phases 2-3



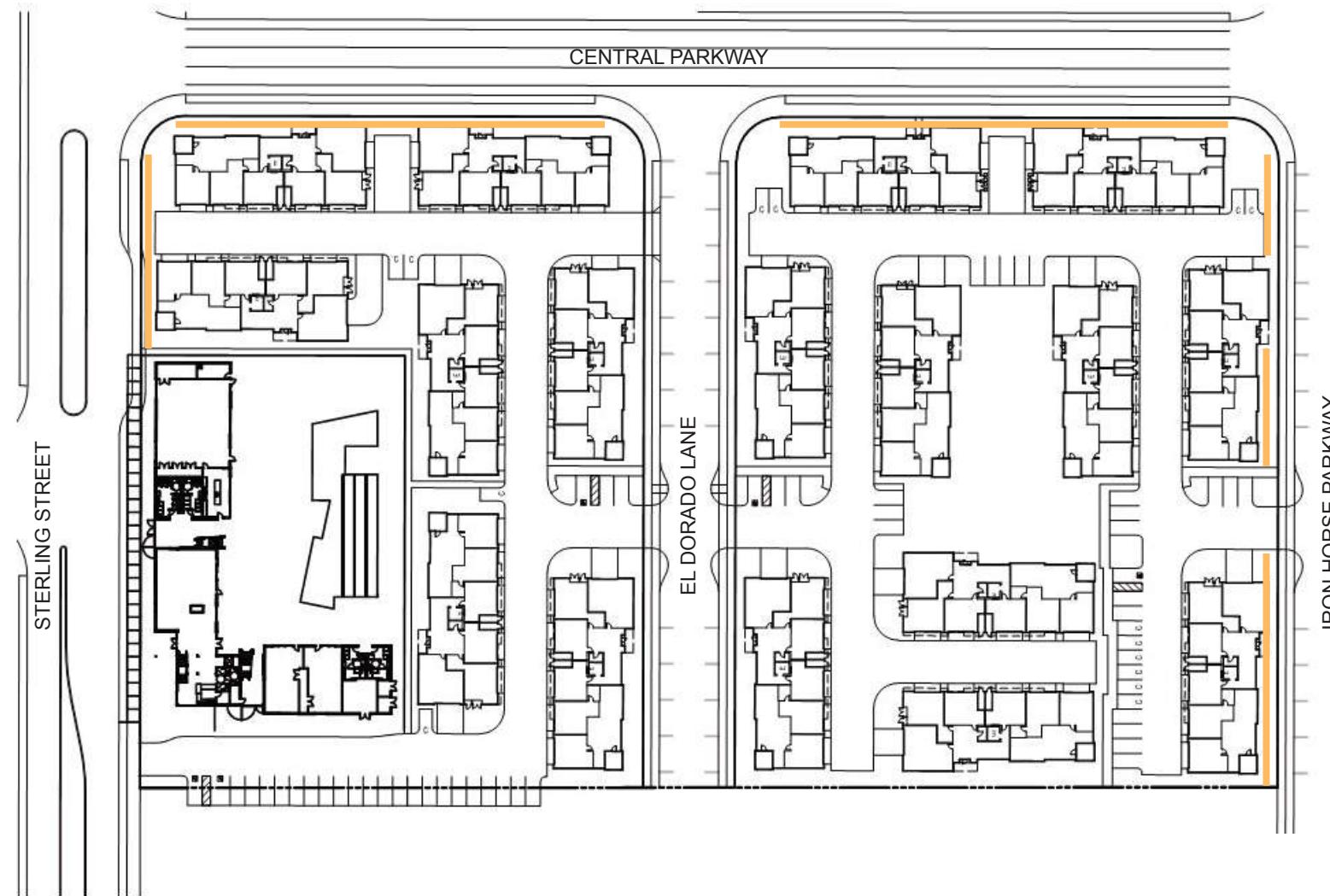
STREET TREES  
NEIGHBORHOOD 10



0' 50' 100' 200'

APRIL 11, 2017

L 3.2



### LEGEND

— 3' Low Veneer Wall

#### Notes:

1. All Walls and Fences to be located outside of the PSE.
2. The height of walls, gates, signs, monuments, pilasters and any other architectural and landscape features shall be kept below 30" inside the intersection visibility zone. These zones shall be determined by the city traffic engineer.

BOULEVARD phases 2-3

Dublin, California

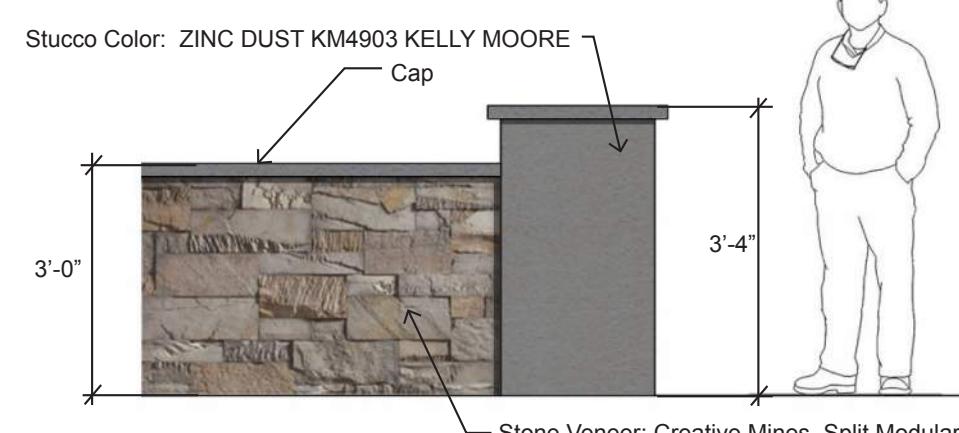


WALLS AND FENCING  
NEIGHBORHOOD 10



0' 50' 100' 200'

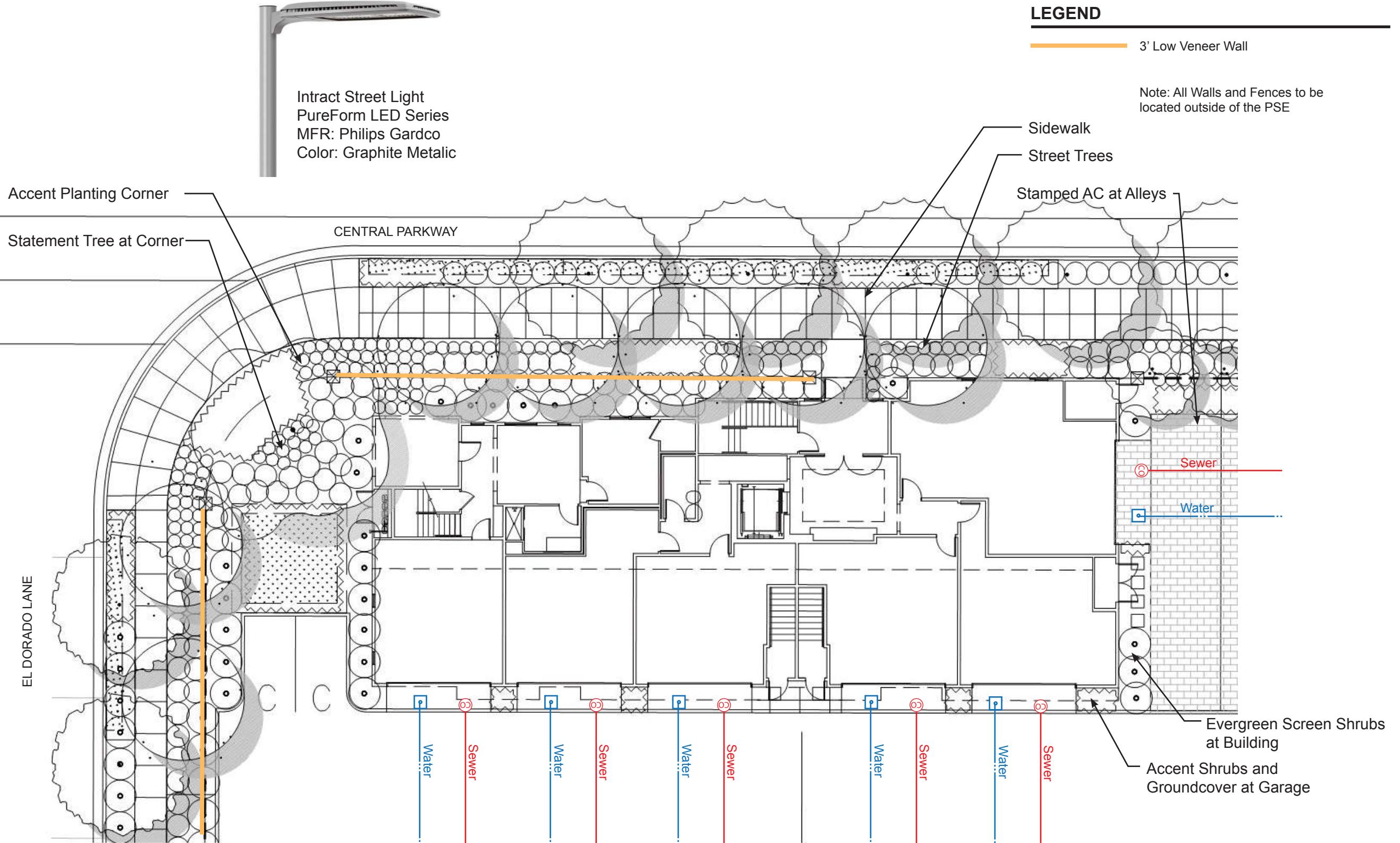
APRIL 11, 2017



Location: Central Parkway, Sterling Street and Iron Horse Trail Parkway Frontage

3' HT LOW VENEER WALL

L 3.3



## LEGEND

**GATES**  
+ASSOCIATES  
LANDSCAPE ARCHITECTURE

BOULEVARD phases 2-3

Dublin, California

OVERALL

HYDE PARK

TYPICAL  
NEIGHBORHOOD 10

0' 8' 16' 32'



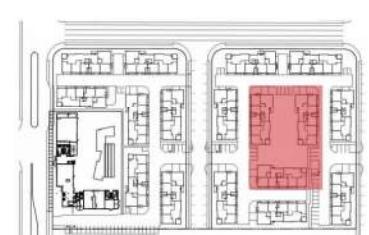
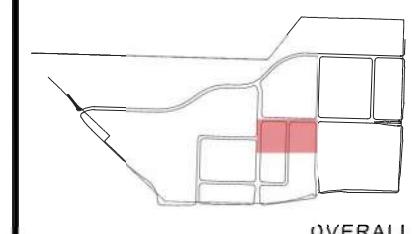
APRIL 11, 2017

L 3.4





DUBLIN, CALIFORNIA



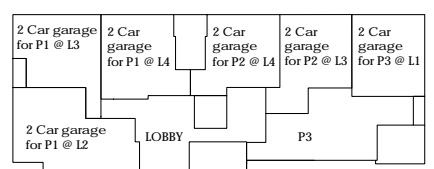
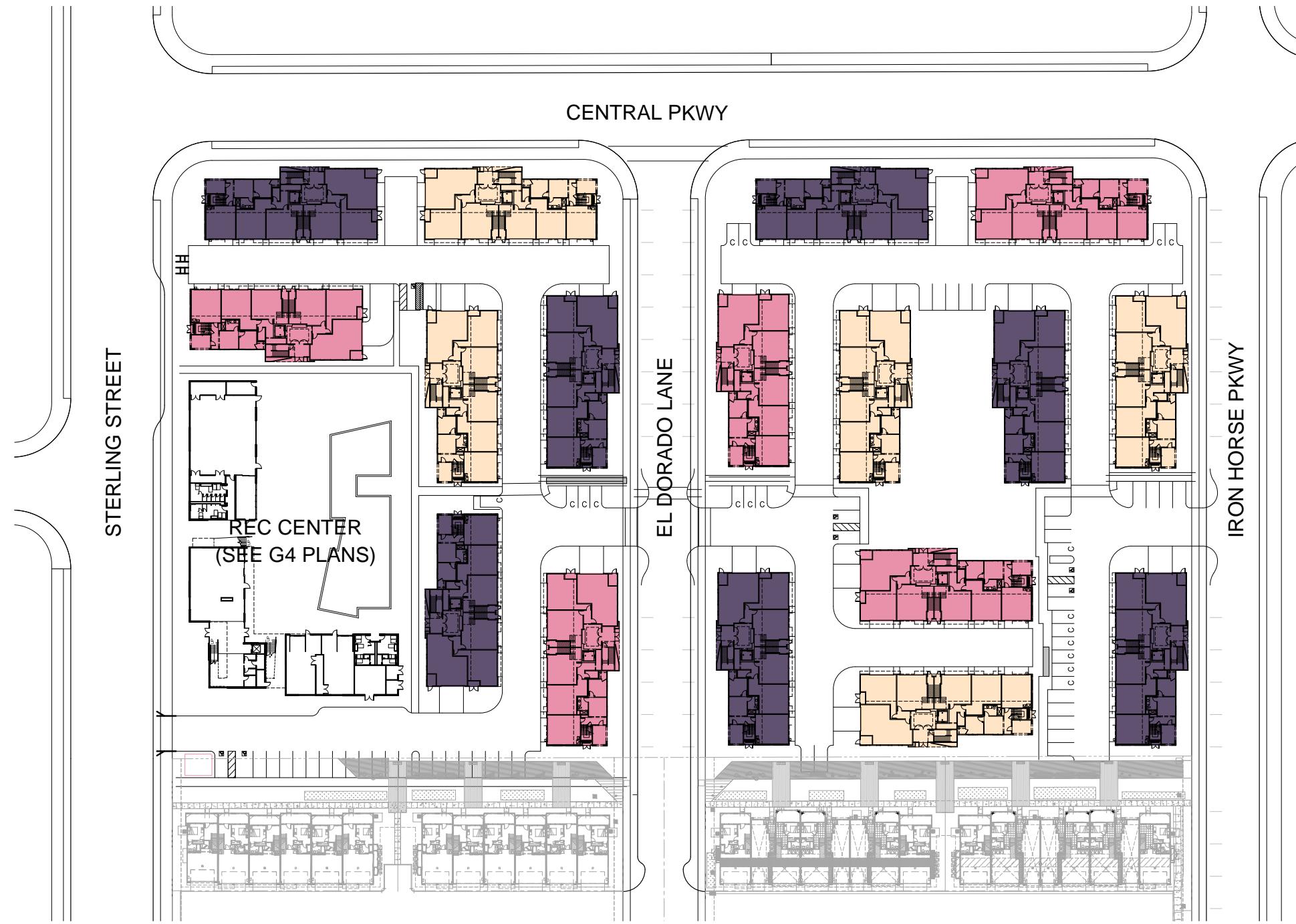
POCKET PARK - THE WELL  
HYDE PARK

0 5 10 20 30 FEET

April 11, 2017

L3.6

- COLOR SCHEME 1  
Elevations \_see A3.20, A3.21, A3.22
- COLOR SCHEME 2  
Elevations \_see A3.23, A3.24, A3.25
- COLOR SCHEME 3  
Elevations \_see A3.26, A3.27, A3.28



HYDE PARK - N10\_6 PLEX  
BLDG. PLAN DIAGRAM - L1

N10-SITE KEY MAP  
NEIGHBORHOOD 10

0 20' 40' 80' 160' 320'

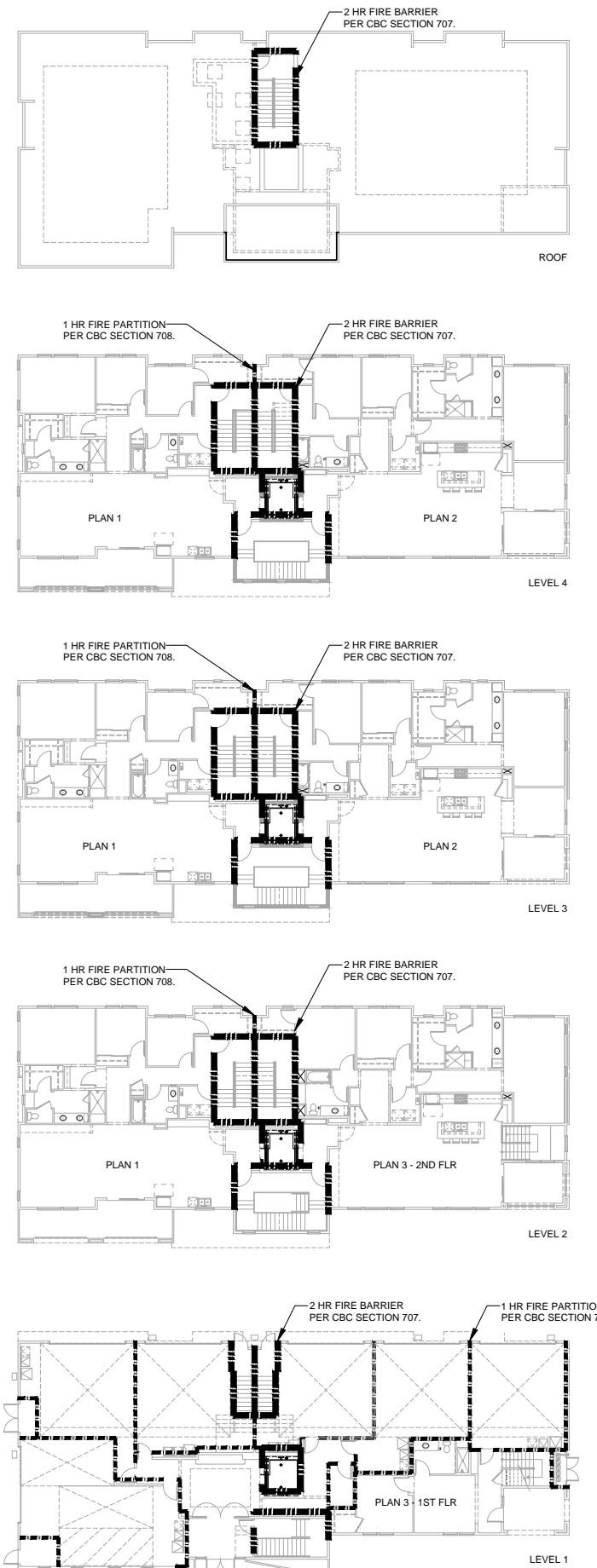


APRIL 11, 2017

N10 - HYDE PARK - SITE KEY MAP

A3.10

## FIRE WALL LOCATIONS:



## ALLOWABLE AREA

MIXED - OCCUPANCY, MULTISTORY BUILDINGS.

### ALLOWABLE AREA PER STORY CALCULATION FOR SINGLE-OCCUPANCY MULTISTORY BUILDING (CBC SEC. 506.2.4):

$$Aa = (At + [Ns \times If])$$

Aa = ALLOWABLE BUILDING AREA(SQUARE FEET)

At = TABULAR BUILDING AREA FACTOR (NS, S13R OR SM VALUE, AS APPLICABLE) IN ACCORDANCE WITH TABLE 506.2  
NS = TABULAR ALLOWABLE AREA FACTOR IN ACCORDANCE WITH TABLE 506.2 FOR A NONSPRINKLERED BUILDING(REGARDLESS OF WHETHER THE BUILDING IS SPRINKLERED)

If = AREA FACTOR INCREASE DUE TO FRONTAGE PER 506.3  
(EQUATION 5-5) If =  $\{F/P - 0.25\} W/30$

F= BUILDING PERIMETER THAT FRONTS ON PUBLIC WAY OR OPEN SPACE HAVING MIN. DISTANCE OF 20 FEET  
P= PERIMETER OF ENTIRE BUILDING  
W= WIDTH OF PUBLIC WAY OR OPEN SPACE ( WHERE W VARIES, USE WEIGHTED AVERAGE, EQUATION 5-4)

WEIGHTED WIDTH AVERAGE ( EQUATION 5-4)

$$W = (L1 \times w1 + L2 \times w2 + L3 \times w3...) / F$$

W= CALCULATED WIDTH OF PUBLIC WAY OR OPEN SPACE

Ln= LENGTH OF A PORTION OF THE EXTERIOR PERIMETER WALL  
wn= WIDTH(GREATER THAN 20') OF A PUBLIC WAY OR OPEN SPACE ASSOCIATED WITH THAT PORTION OF THE EXTERIOR PERIMETER WALL

F= BUILDING PERIMETER THAT FRONTS ON A PUBLIC WAY OR OPEN SPACE HAVING A WIDTH OF 20 FEET

### MIXED - OCCUPANCY, MULTISTORY RATIO CALCULATION

$$\text{1ST STORY: } \frac{\text{R-2 ACTUAL}}{\text{R-2 ALLOWABLE (Eq. 5-3)}} + \frac{\text{U ACTUAL}}{\text{U ALLOWABLE (Eq. 5-3)}} < 1$$

$$\text{2ND STORY: } \frac{\text{R-2 ACTUAL}}{\text{R-2 ALLOWABLE (Eq. 5-3)}} < 1$$

$$\text{3RD STORY: } \frac{\text{R-2 ACTUAL}}{\text{R-2 ALLOWABLE (Eq. 5-3)}} < 1$$

$$\text{4TH STORY: } \frac{\text{R-2 ACTUAL}}{\text{R-2 ALLOWABLE (Eq. 5-3)}} < 1$$

TOTAL SUM OF RATIOS:

$$< 2$$

### Bldg # 1-11 (TYPE V-A CONSTRUCTION):

#### WEIGHTED FRONTAGE WIDTH CALCULATION ( Eq 5-4)

$$W = (L1 \times w1 + L2 \times w2 + L3 \times w3...) / F$$

$$W = (117.6' + 117.5' + 50.5') \times 30' / 351'$$

W = 28.73

#### FRONTAGE INCREASE CALCULATION (Eq 5-5)

$$If = [F/P - 0.25] W/30$$

$$If = [351/351' - 0.25] 28.73/30$$

If = 0.72

#### R-2 MIXED- OCCUPANCY ALLOWABLE AREA (Eq 5-3)

$$Aa = (At + [Ns \times If])$$

$$Aa = [36,000 + (12,000 \times 0.72)]$$

Aa = 44,640

#### U MIXED- OCCUPANCY ALLOWABLE AREA (Eq 5-3)

$$Aa = (At + [Ns \times If])$$

$$Aa = [16,500 + (5,500 \times 0.72)]$$

Aa = 20,460

#### 1ST STORY: $\frac{1.614}{44,640} + \frac{3.217}{20,460} = 0.036 + 0.16 = 0.196 < 1$

$$2ND STORY: \frac{4.891}{44,640} = 0.110 < 1$$

$$3RD STORY: \frac{4.976}{44,640} = 0.111 < 1$$

$$4TH STORY: \frac{4.976}{44,640} = 0.111 < 1$$

TOTAL SUM OF RATIOS = 0.528 < 2

1 HOUR FIRE PARTITION PER CBC SECTION 708.

2 HOUR FIRE BARRIER PER CBC SECTION 707.  
REFER TO DETAILS:

### Bldg # 13, 14 & 15 (TYPE V-A CONSTRUCTION):

#### WEIGHTED FRONTAGE WIDTH CALCULATION ( Eq 5-4)

$$W = (L1 \times w1 + L2 \times w2 + L3 \times w3...) / F$$

$$W = (43.3' \times 21' + 117.5' \times 26' + 50.5' \times 30') / 211.4'$$

W = 25.92

#### FRONTAGE INCREASE CALCULATION (Eq 5-5)

$$If = [F/P - 0.25] W/30$$

$$If = [211.4/351' - 0.25] 25.92/30$$

If = 0.302

#### R-2 MIXED- OCCUPANCY ALLOWABLE AREA (Eq 5-3)

$$Aa = (At + [Ns \times If])$$

$$Aa = [36,000 + (12,000 \times 0.302)]$$

Aa = 39,624

#### U MIXED- OCCUPANCY ALLOWABLE AREA (Eq 5-3)

$$Aa = (At + [Ns \times If])$$

$$Aa = [16,500 + (5,500 \times 0.302)]$$

Aa = 18,161

#### 1ST STORY: $\frac{1.614}{39,624} + \frac{3.217}{18,161} = 0.041 + 0.18 = 0.221 < 1$

$$2ND STORY: \frac{4.891}{39,624} = 0.124 < 1$$

$$3RD STORY: \frac{4.976}{39,624} = 0.126 < 1$$

$$4TH STORY: \frac{4.976}{39,624} = 0.126 < 1$$

TOTAL SUM OF RATIOS = 0.597 < 2

## STACKED FLAT - TYPE VA

### CODE INFORMATION

REFERENCE: 2016 CALIFORNIA BUILDING CODE  
CALIFORNIA CODE OF REGULATIONS, TITLE 24  
PART 1 OF 2

OCCUPANCY TYPE: R-2  
U RESIDENTIAL PRIVATE GARAGES

CONSTRUCTION TYPE: V-A

### ALLOWED

BLDG HT: R-2 BUILDINGS OF TYPE VA CONSTRUCTION EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.1.1, AREA INCREASE IS PERMITTED IN ADDITION TO THE HEIGHT AND STORY INCREASE PROVIDED THE HEIGHT SHALL NOT EXCEED 60 FEET AND 4 STORIES PER CBC TABLE 504.3

### PROVIDED

BLDG HT: 4 STORIES, AND < 60 FEET

### FIRE SEPARATION DISTANCE FOR OPENINGS:

X<3' = NOT PERMITTED

3' X < 5' = 15%

5' X < 10' = 25%

10' X < 30' = 45%

30' < X = NO LIMIT

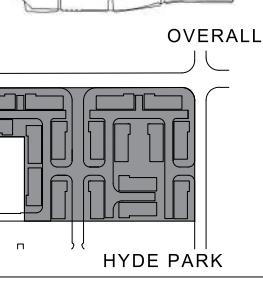
### FIRE SPRINKLER SYSTEM: NFPA 13

WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM, THE SEPARATION DISTANCE OF THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL NOT BE LESS THAN ONE-THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED PER CBC1007.1.1.2

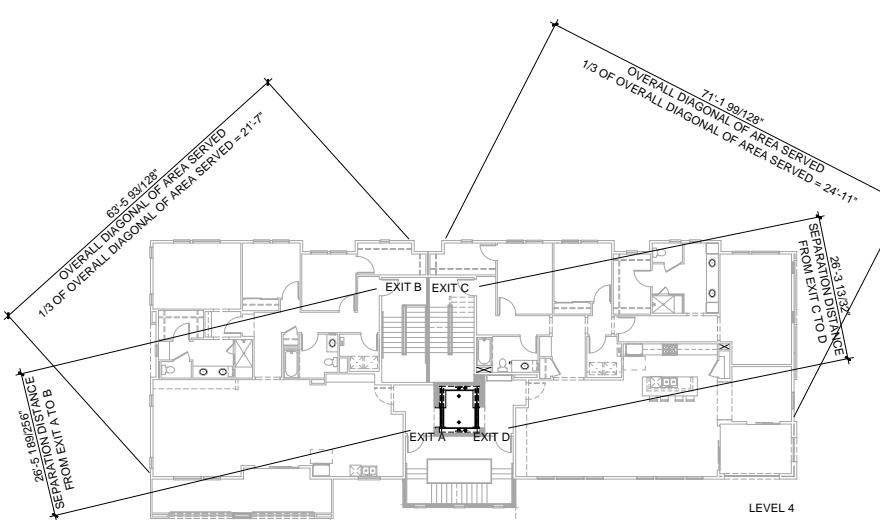
### ACCESSIBILITY

ALL UNITS IN BUILDINGS ARE REQUIRED TO BE ADAPTABLE PER CBC 11A.

BOULEVARD phase 2



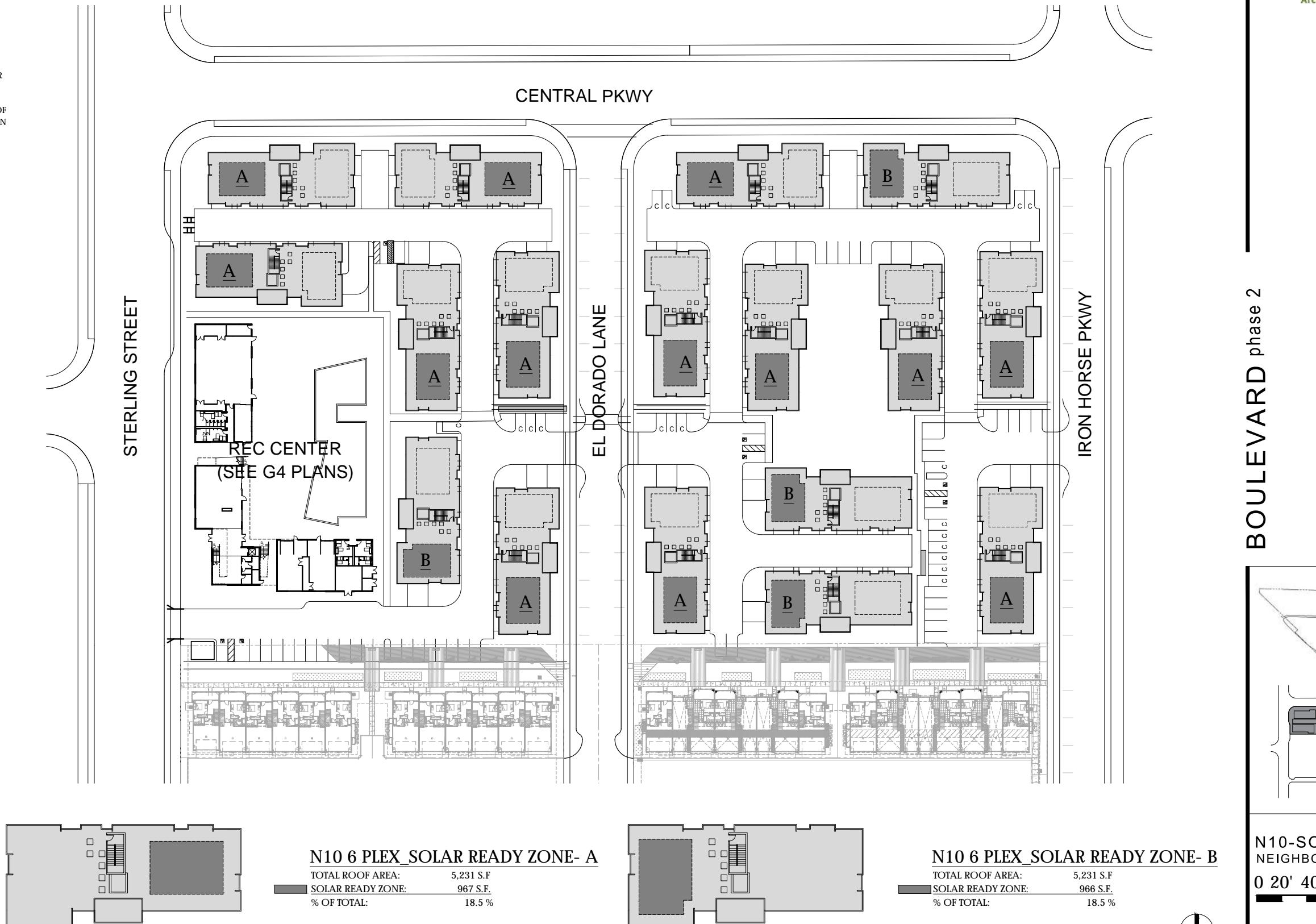
DUBLIN, CALIFORNIA  
N10 - CODE ANALYSIS  
NEIGHBORHOOD 10



APRIL 11, 2017  
A3.11

**SOLAR READY ROOF**
**REQUIREMENTS:**

FOR LOW RISE MULTIFAMILY BUILDINGS, THE SOLAR ZONE SHALL BE LOCATED ON THE ROOF OR OVERHANG OF THE BUILDING OR ON THE ROOF OR OVERHANG OF ANOTHER STRUCTURE LOCATED WITHIN 250' OF THE BUILDING AND HAVE A TOTAL AREA OF NO LESS THAN 15% OF THE TOTAL ROOF AREA OF THE BUILDING (2016 ENERGY CODE SECTION 110.10B)



APRIL 11, 2017

**A3.12**



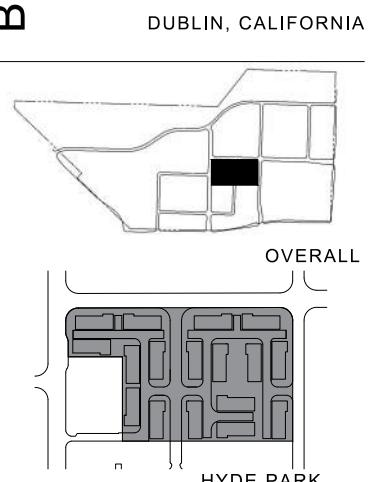
Key Map n.t.s.

FRONT/LEFT PERSPECTIVE



FRONT

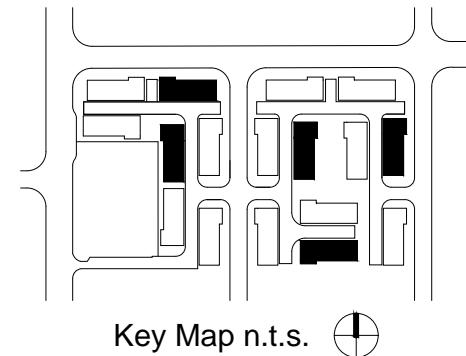
**BOULEVARD phase 2**



N10-BLDG ELEVATIONS  
NEIGHBORHOOD 10

0 4' 8' 16' 24' 32'

APRIL 11, 2017

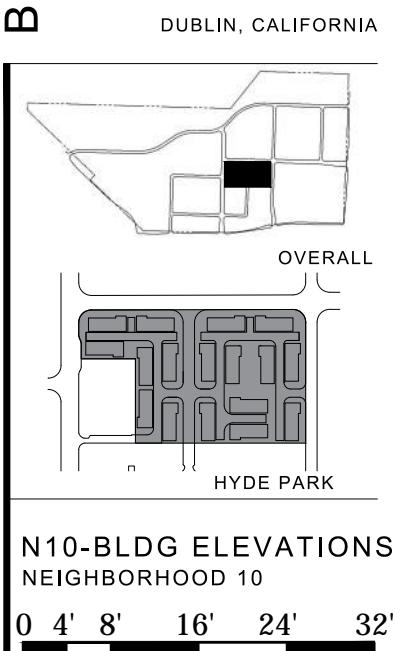


Key Map n.t.s.

## BOULEVARD phase 2

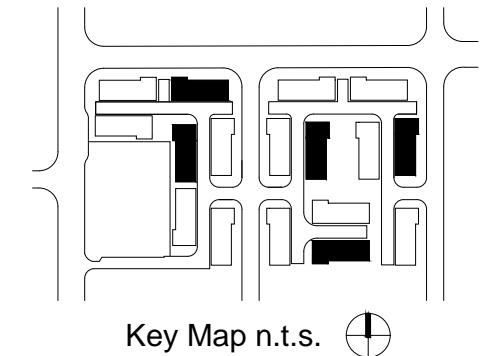


- Material Legend:**
1. Stucco
  2. Cornice (see A3.50 for more info)
  3. Manufactured Stone veneer (typ.)
  4. Cementitious Lap Siding or Panel per Elevations
  5. Metal column
  6. Metal railing
  7. Stucco trim
  8. Metal awning or trellis, as occurs
  9. Unit Address
  10. Entry door
  11. Building Address
  12. Light Fixture
  13. Metal Garage Door
  14. Vinyl Window (typ.)
  15. Storefront Window and Door System
  16. Obscure Windows

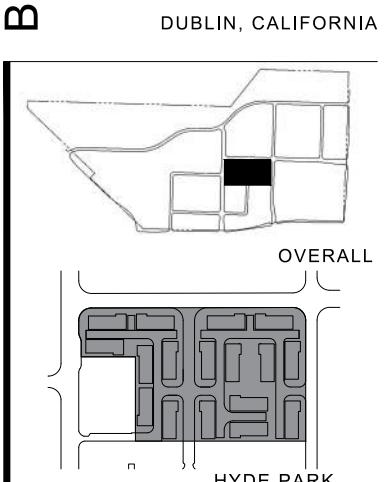




REAR/RIGHT PERSPECTIVE



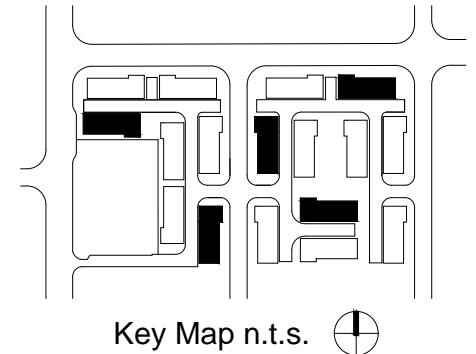
BOULEVARD phase 2



N10-BLDG ELEVATIONS  
NEIGHBORHOOD 10

0 4' 8' 16' 24' 32'

APRIL 11, 2017

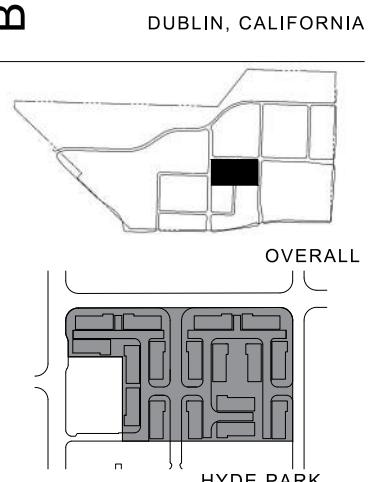


Key Map n.t.s.

FRONT/LEFT PERSPECTIVE



BOULEVARD phase 2

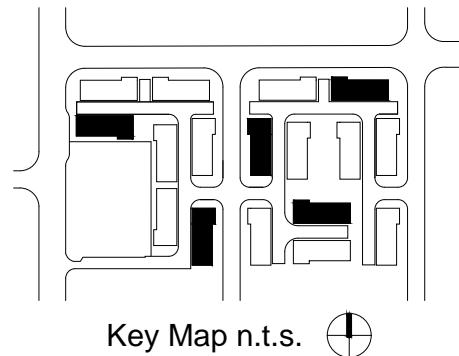


N10-BLDG ELEVATIONS  
NEIGHBORHOOD 10

0 4' 8' 16' 24' 32'

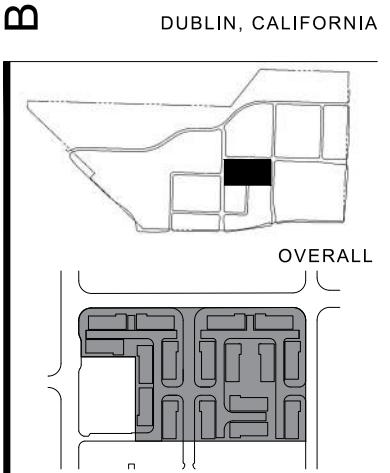
APRIL 11, 2017

A3.23



Key Map n.t.s.

## BOULEVARD phase 2



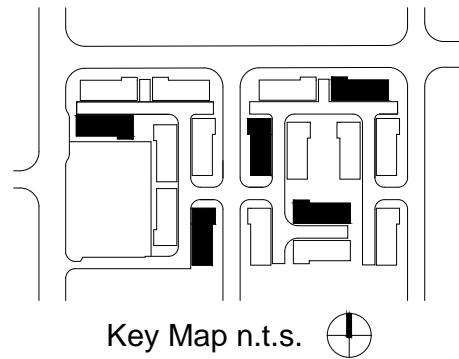
N10-BLDG ELEVATIONS  
NEIGHBORHOOD 10

0 4' 8' 16' 24' 32'

APRIL 11, 2017

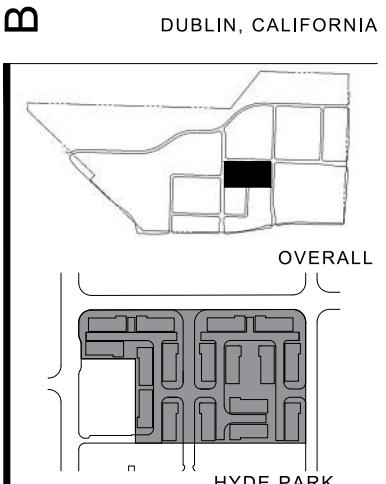


REAR/RIGHT PERSPECTIVE



Key Map n.t.s.

**BOULEVARD phase 2**



N10-BLDG ELEVATIONS  
NEIGHBORHOOD 10

0 4' 8' 16' 24' 32'

APRIL 11, 2017



Key Map n.t.s.

FRONT/LEFT PERSPECTIVE

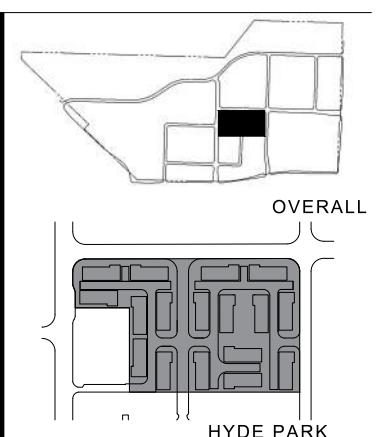


Material Legend:

1. Stucco
2. Cornice (see A3.50 for more info)
3. Manufactured Stone veneer (typ.)
4. Cementitious Lap Siding or Panel per Elevations
5. Metal column
6. Metal railing
7. Stucco trim
8. Metal awning or trellis, as occurs
9. Unit Address
10. Entry door
11. Building Address
12. Light Fixture
13. Metal Garage Door
14. Vinyl Window (typ.)
15. Storefront Window and Door System
16. Obscure Windows

BOULEVARD phase 2

DUBLIN, CALIFORNIA

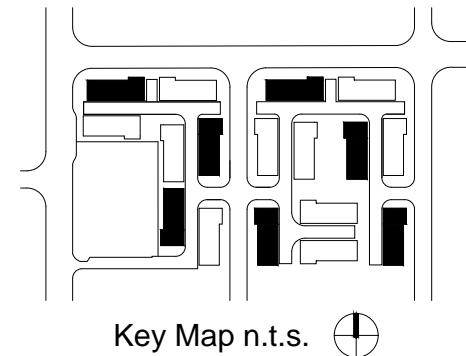


N10-BLDG ELEVATIONS  
NEIGHBORHOOD 10

0 4' 8' 16' 24' 32'

APRIL 11, 2017

A3.26



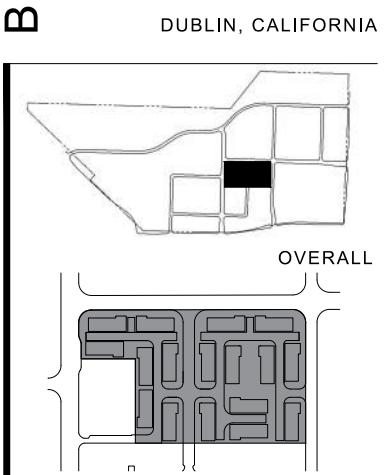
Key Map n.t.s.

## BOULEVARD phase 2



### Material Legend:

1. Stucco
2. Cornice (see A3.50 for more info)
3. Manufactured Stone veneer (typ.)
4. Cementitious Lap Siding or Panel per Elevations
5. Metal column
6. Metal railing
7. Stucco trim
8. Metal awning or trellis, as occurs
9. Unit Address
10. Entry door
11. Building Address
12. Light Fixture
13. Metal Garage Door
14. Vinyl Window (typ.)
15. Storefront Window and Door System
16. Obscure Windows



N10-BLDG ELEVATIONS  
NEIGHBORHOOD 10

0 4' 8' 16' 24' 32'

APRIL 11, 2017

**A3.27**



Key Map n.t.s.

REAR/RIGHT PERSPECTIVE



**BOULEVARD phase 2**

DUBLIN, CALIFORNIA

Overall  
Hyde Park

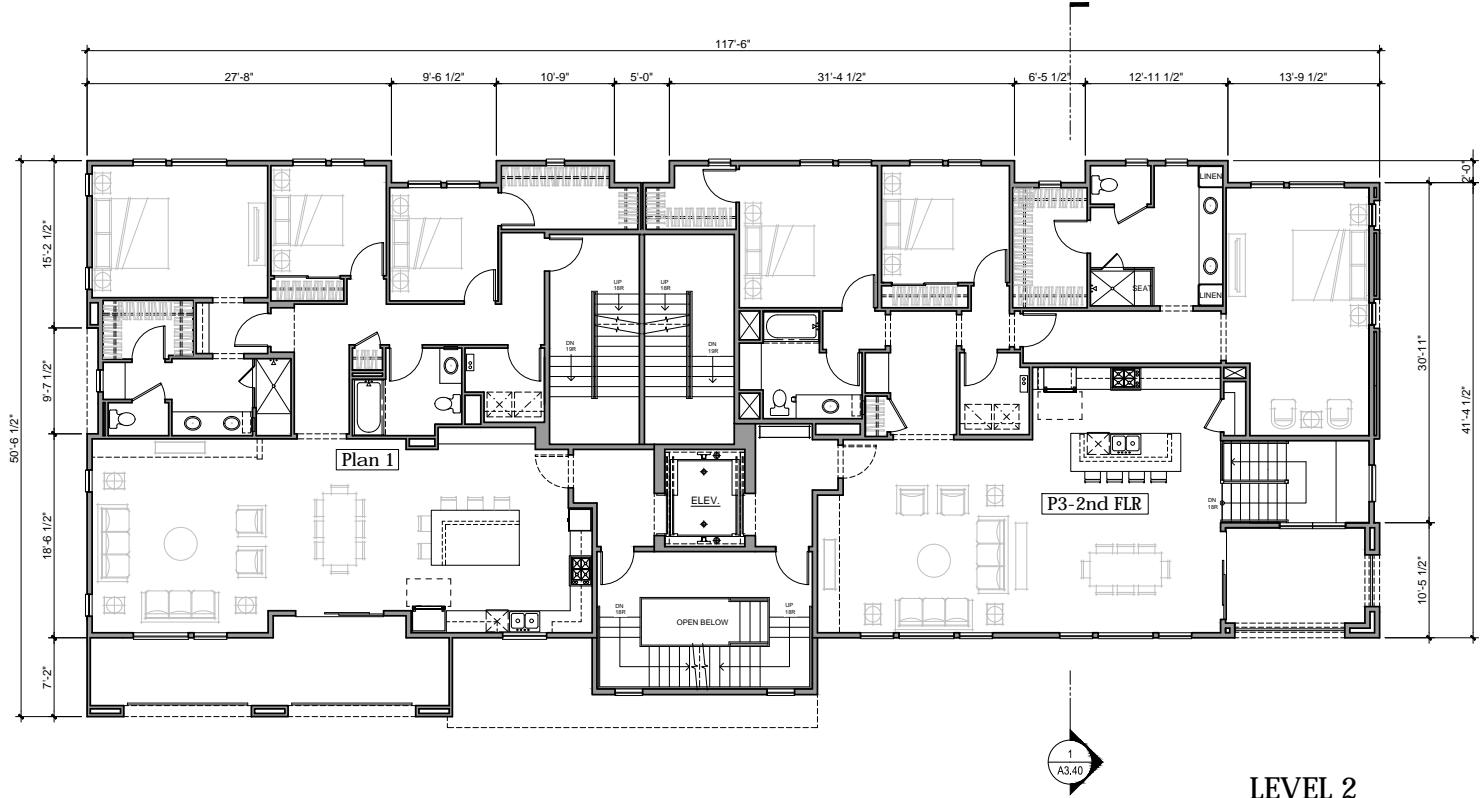
N10-BLDG ELEVATIONS  
NEIGHBORHOOD 10

0 4' 8' 16' 24' 32'

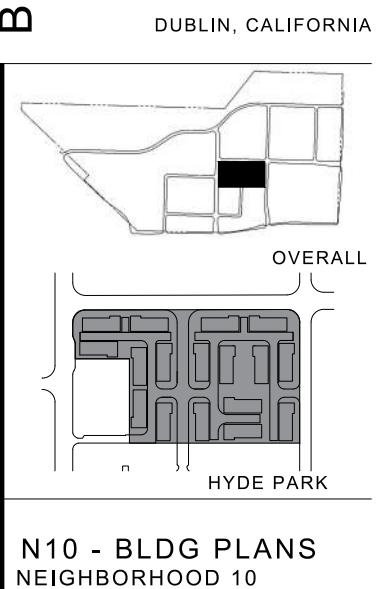
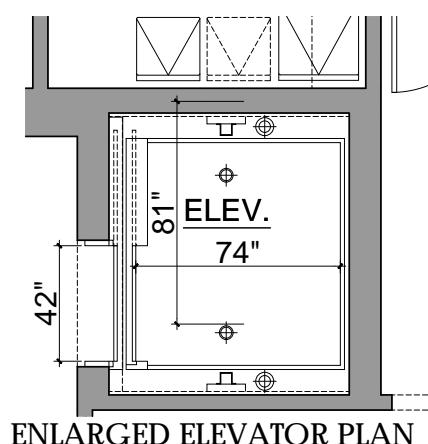
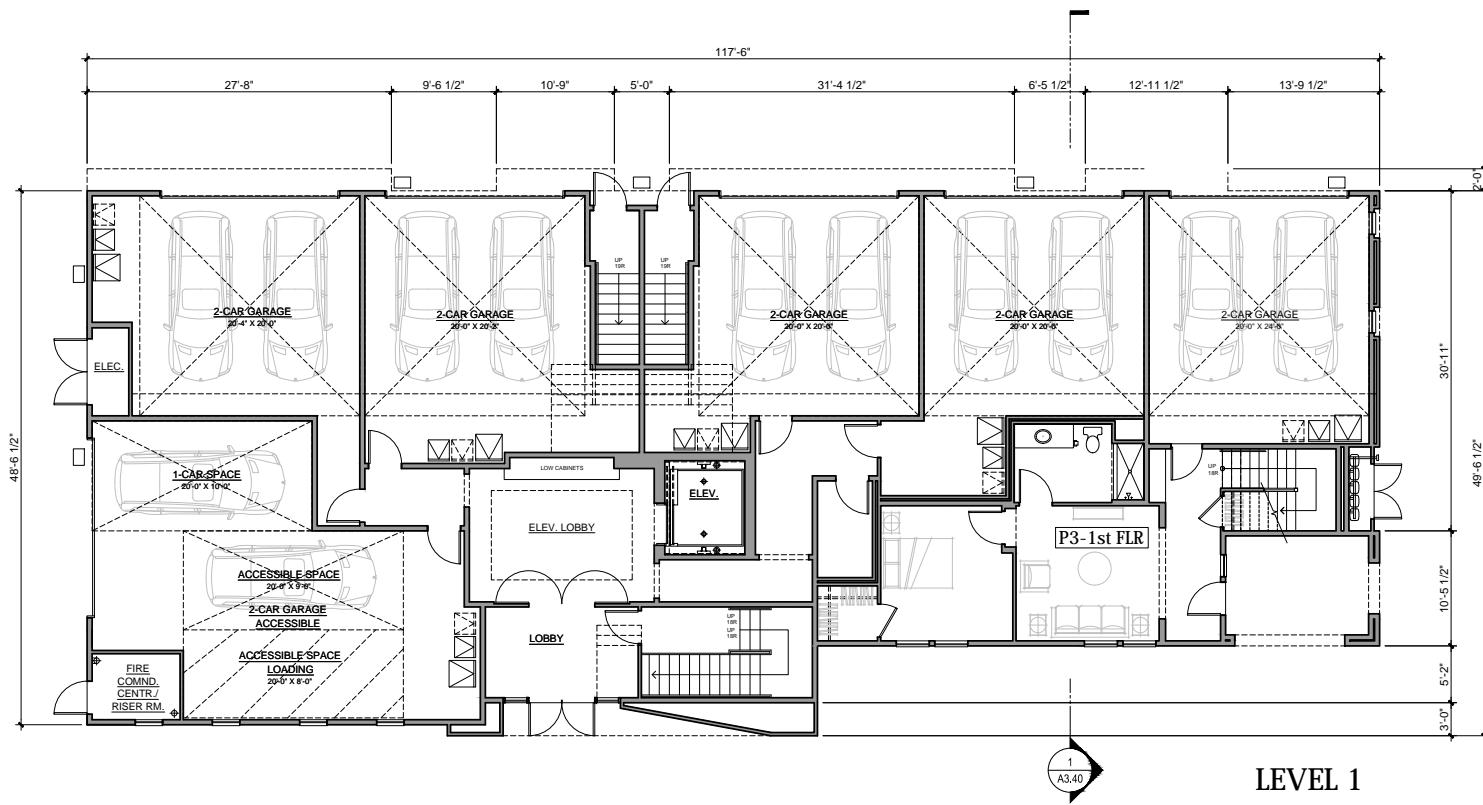
APRIL 11, 2017

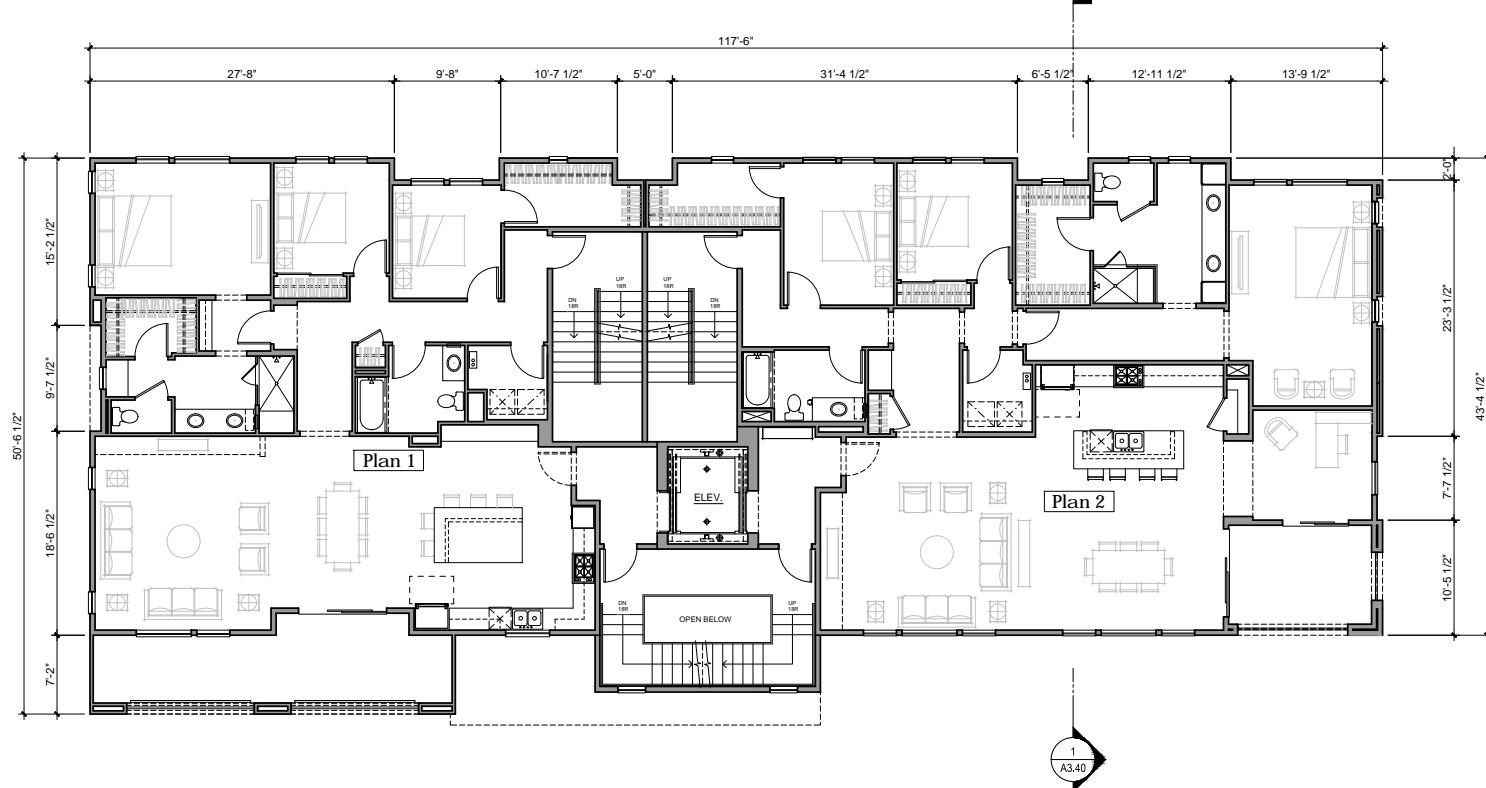
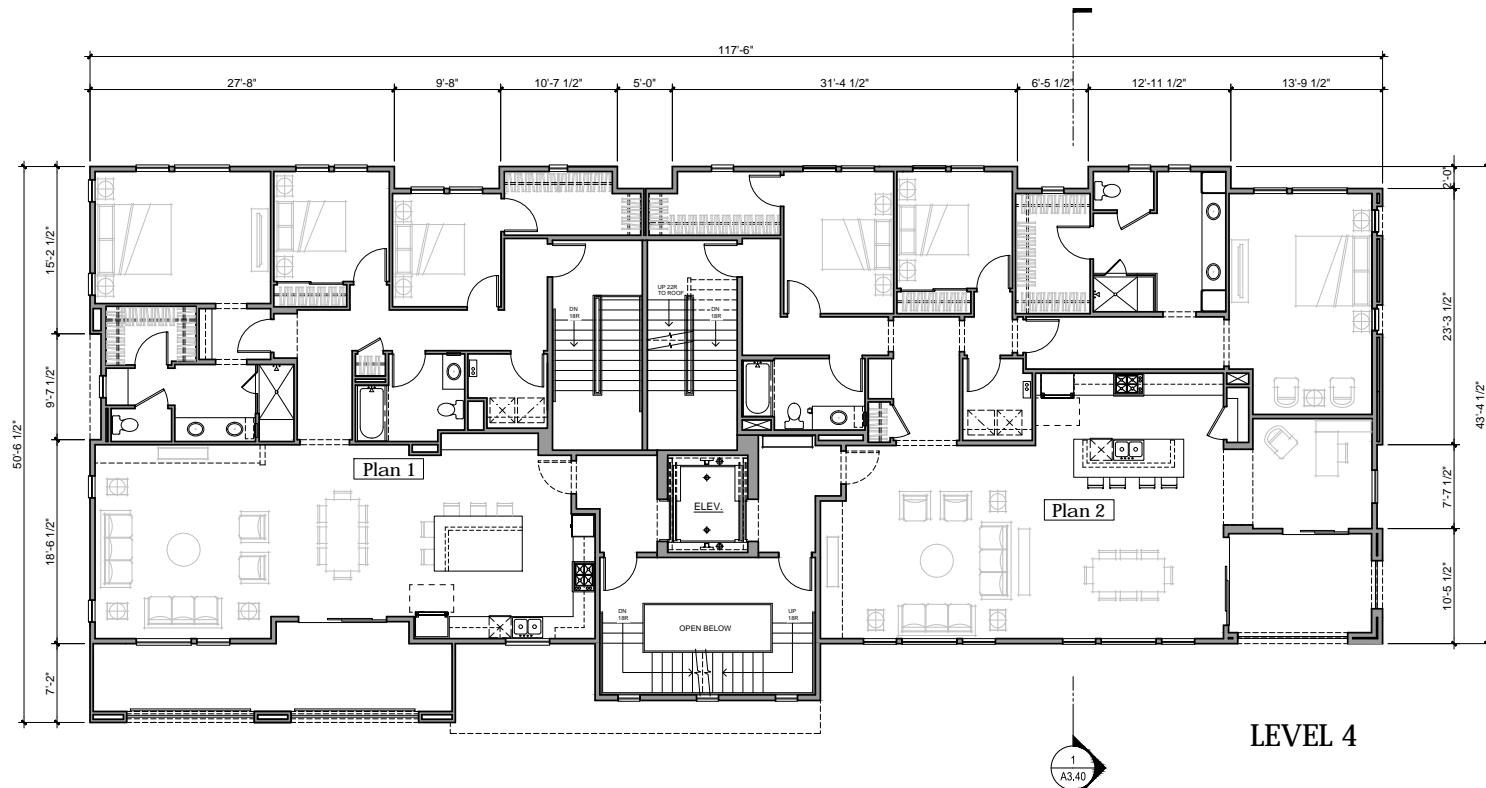
STACKED FLATS - 6 PLEX\_EXTERIOR ELEVATIONS\_COLOR SCHEME 3

**A3.28**



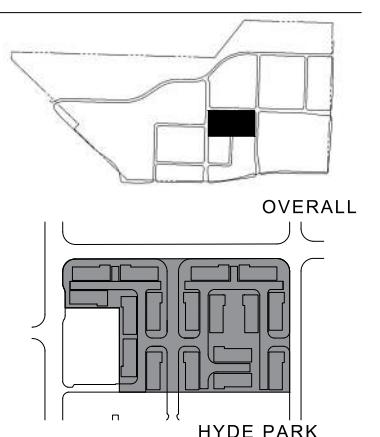
BOULEVARD phase 2





**BOULEVARD phase 2**

DUBLIN, CALIFORNIA



N10 - BLDG PLANS  
NEIGHBORHOOD 10

0 4' 8' 16' 24' 32'

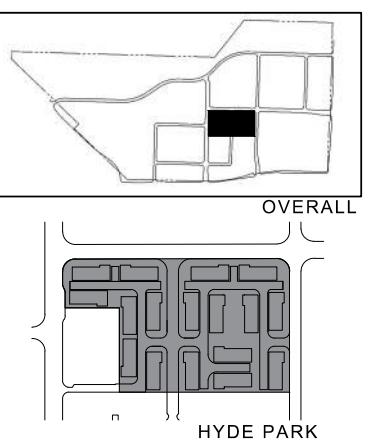
APRIL 11, 2017

STACKED FLATS - 6 PLEX\_BUILDING PLANS

**A3.31**

BOULEVARD phase 2

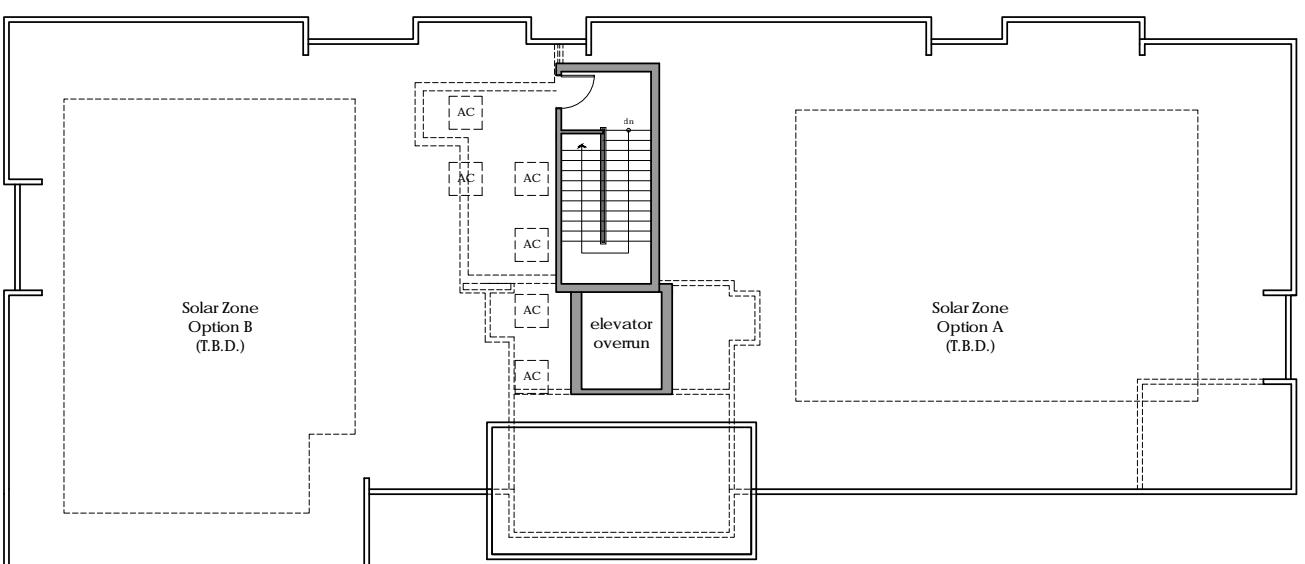
DUBLIN, CALIFORNIA



N10 - BLDG PLANS  
NEIGHBORHOOD 10

0' 4' 8' 16' 24' 32'

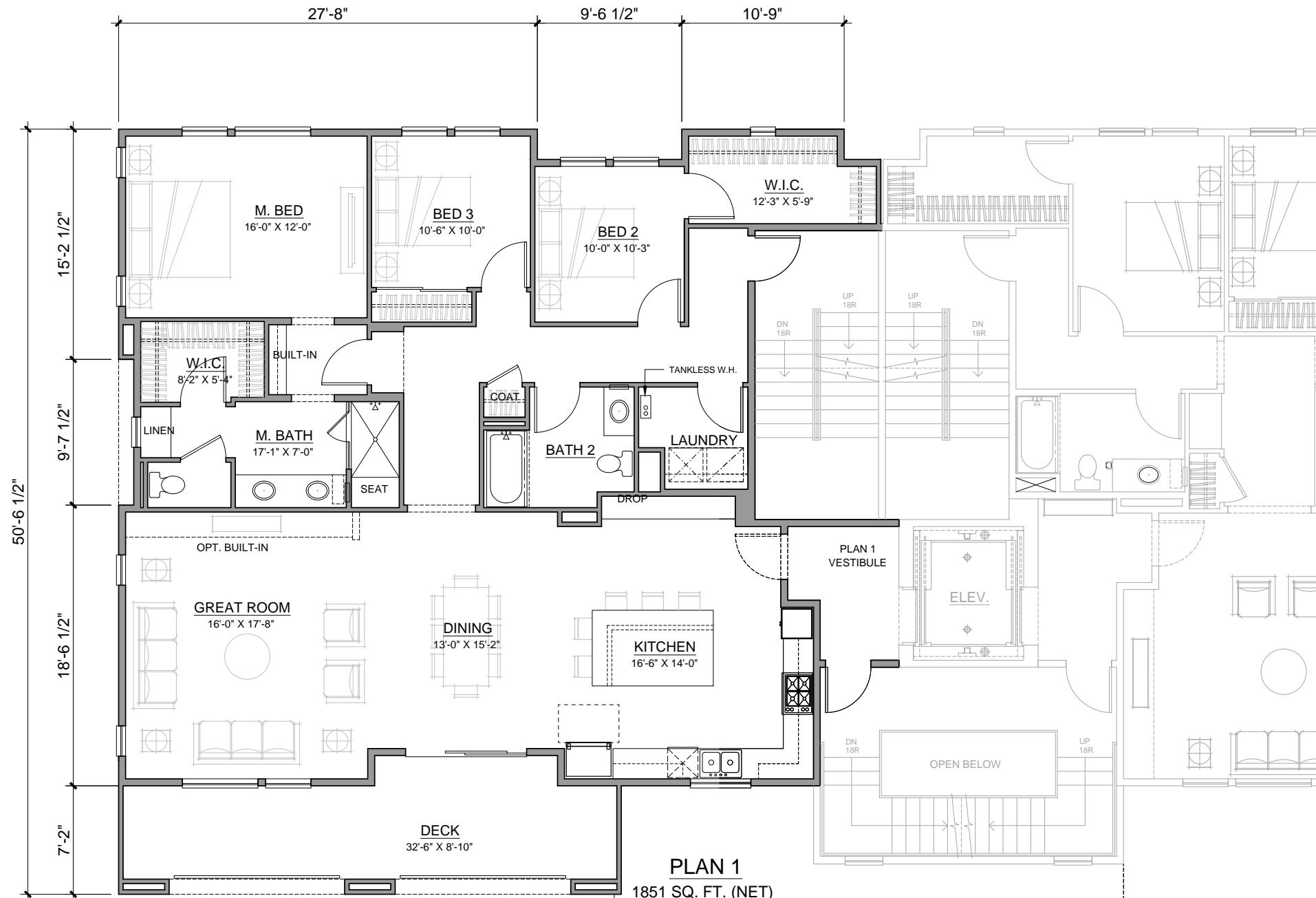
ROOF



STACKED FLATS - 6 PLEX\_BUILDING PLANS

APRIL 11, 2017

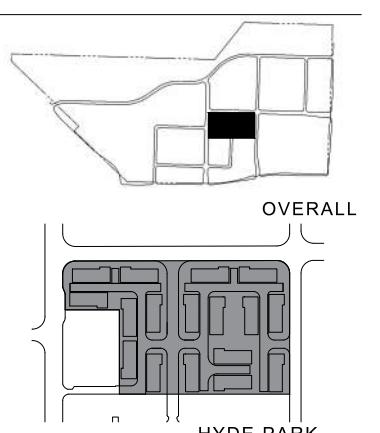
A3.32



3 BEDS + 2 BATHS

**BOULEVARD phase 2**

DUBLIN, CALIFORNIA



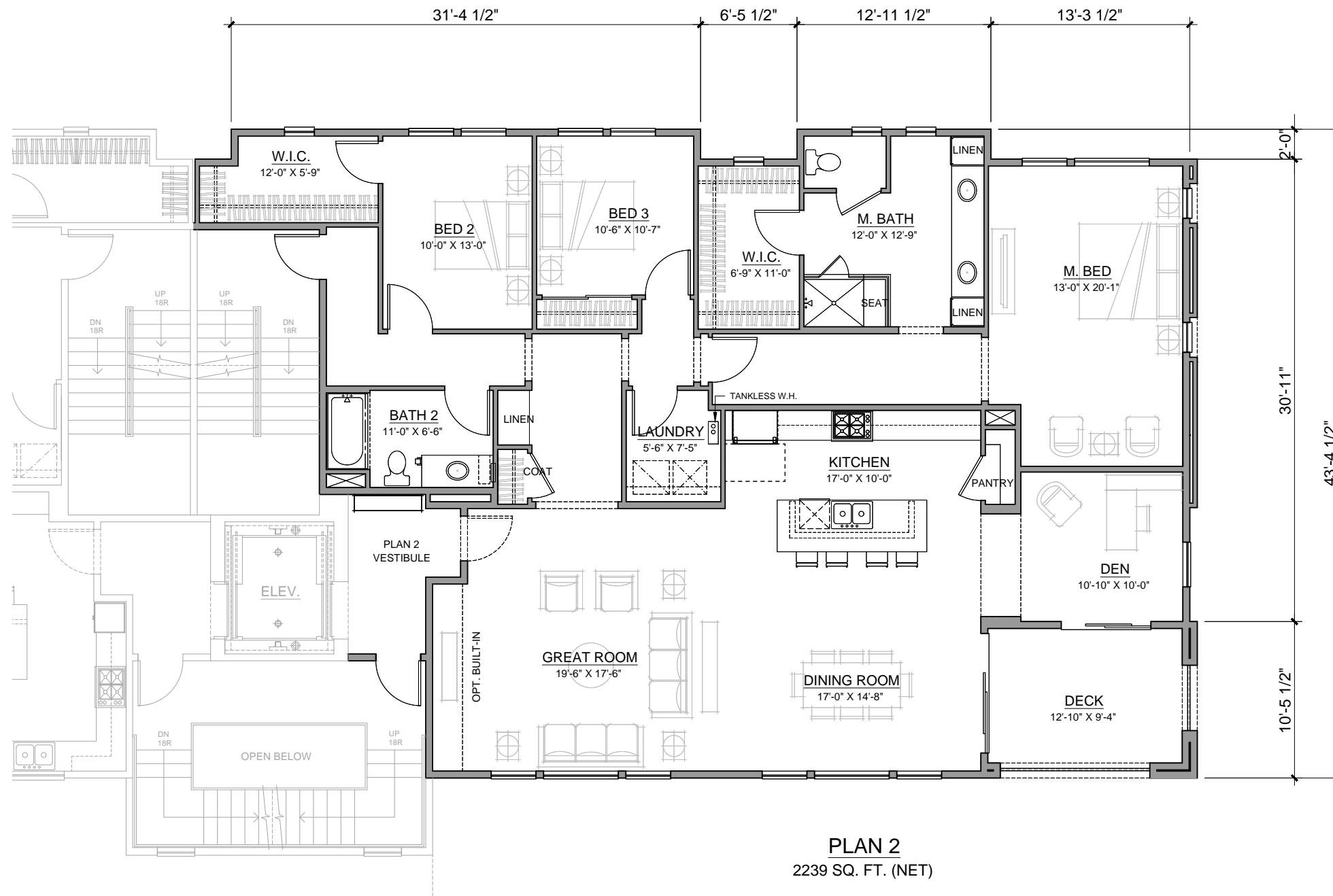
N10 - PLAN 1  
NEIGHBORHOOD 10

0' 2' 4' 8' 12' 16'

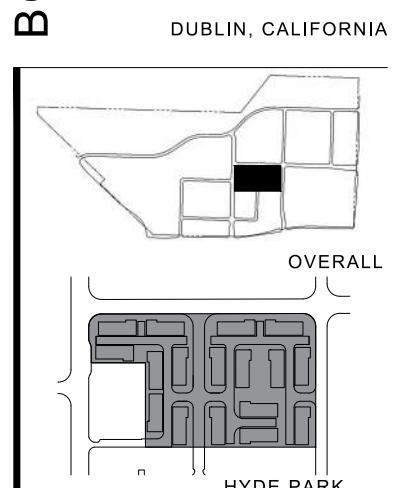
APRIL 11, 2017

PLAN 1 - FLOOR PLANS

A3.40



BOULEVARD phase 2



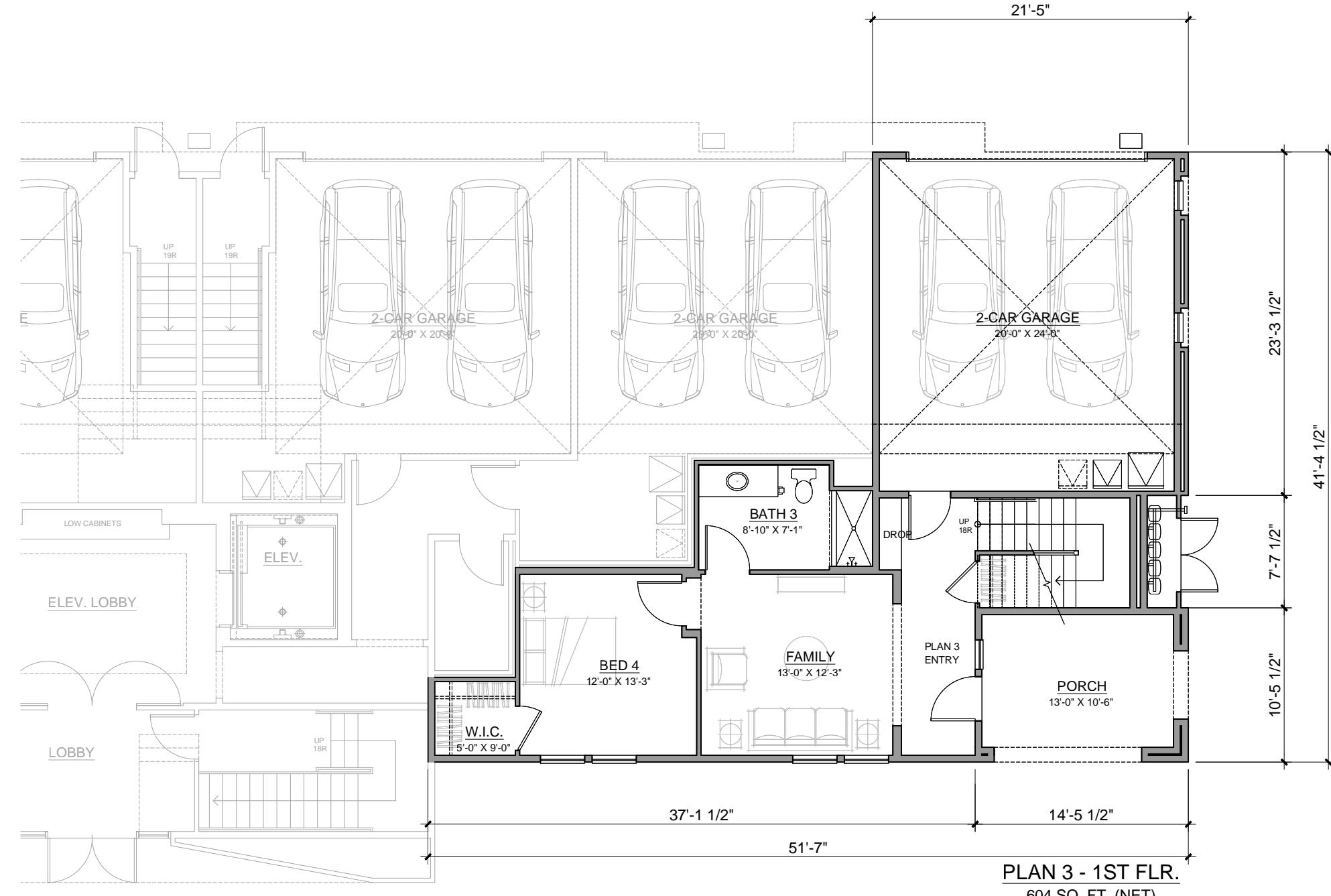
N10 - PLAN 2  
NEIGHBORHOOD 10

0' 2' 4' 8' 12' 16'

APRIL 11, 2017

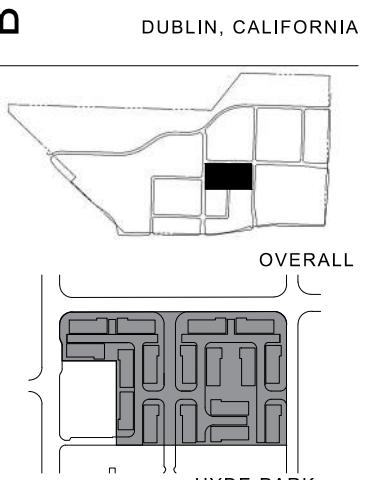
PLAN 2 - FLOOR PLANS

A3.41



TOTAL NET SF: 2,764 SF  
4 BEDS + 3 BATHS

### BOULEVARD phase 2



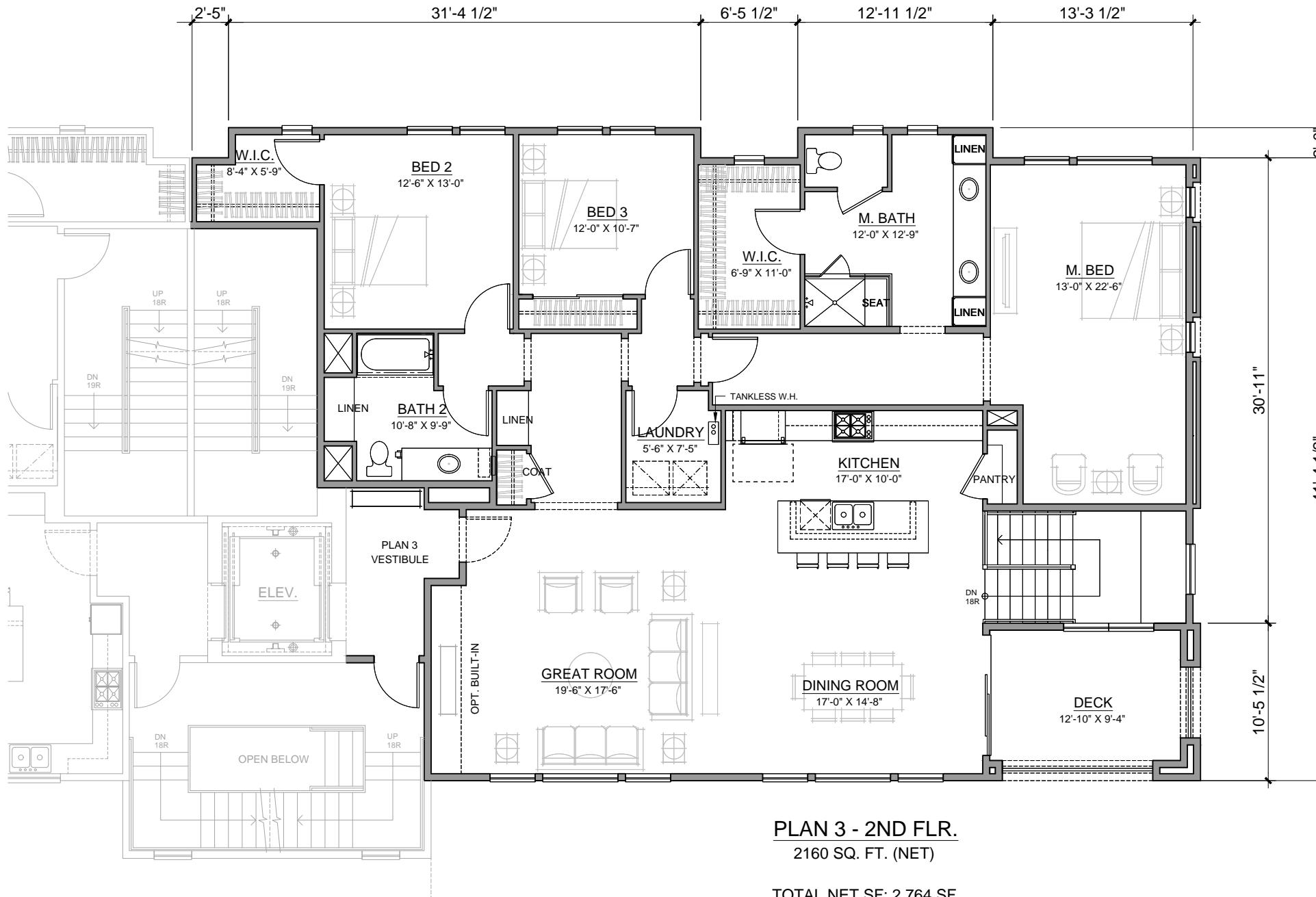
N10 - PLAN 3  
NEIGHBORHOOD 10

0' 2' 4' 8' 12' 16'

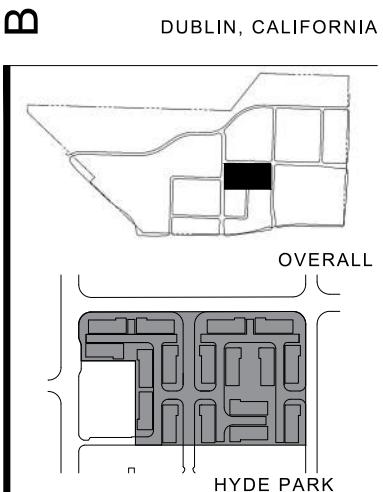
APRIL 11, 2017

PLAN 3 - FLOOR PLANS

A3.42



BOULEVARD phase 2



N10 - PLAN 3  
NEIGHBORHOOD 10

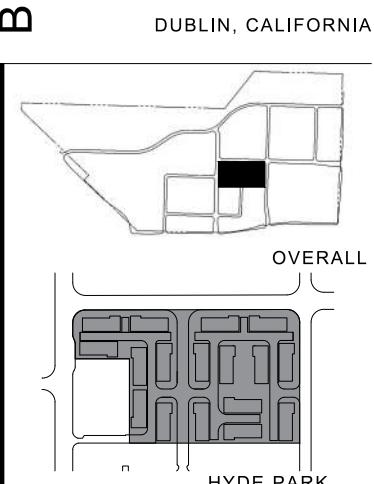
0' 2' 4' 8' 12' 16'

APRIL 11, 2017

PLAN 3 - FLOOR PLANS

A3.43

**BOULEVARD phase 2**



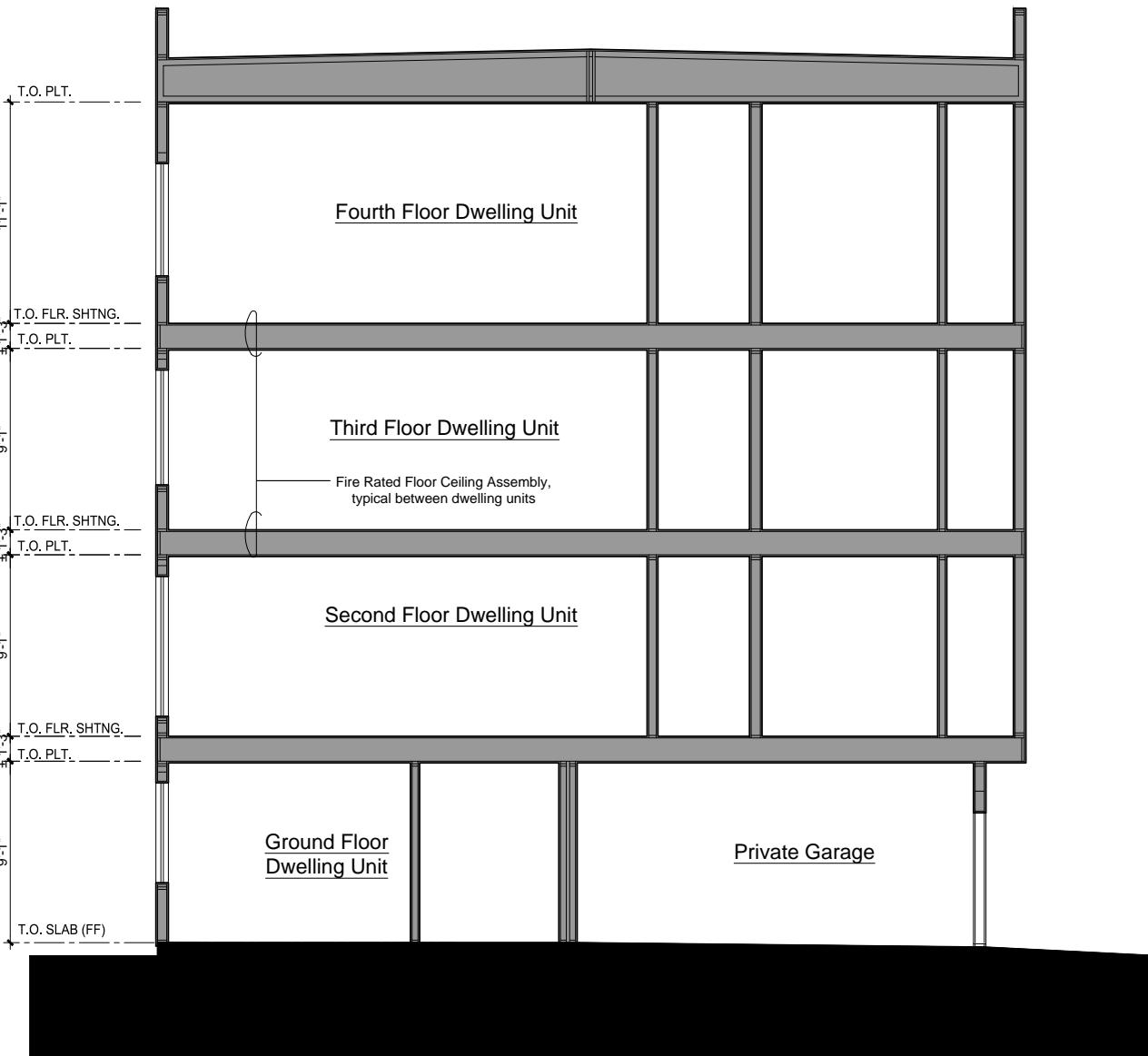
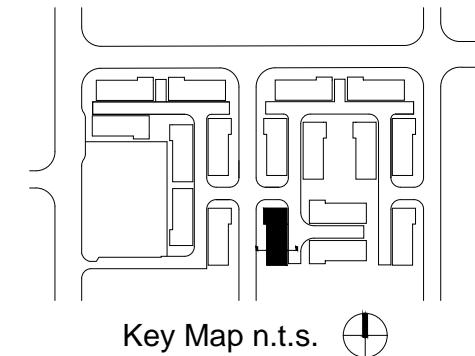
N10 - SECTIONS  
NEIGHBORHOOD 10

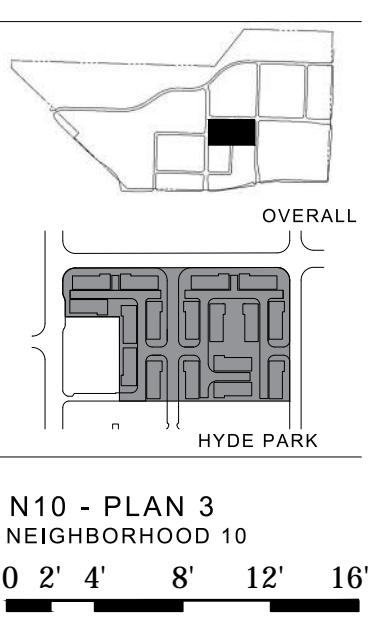
0' 2' 4' 8' 12' 16'

APRIL 11, 2017

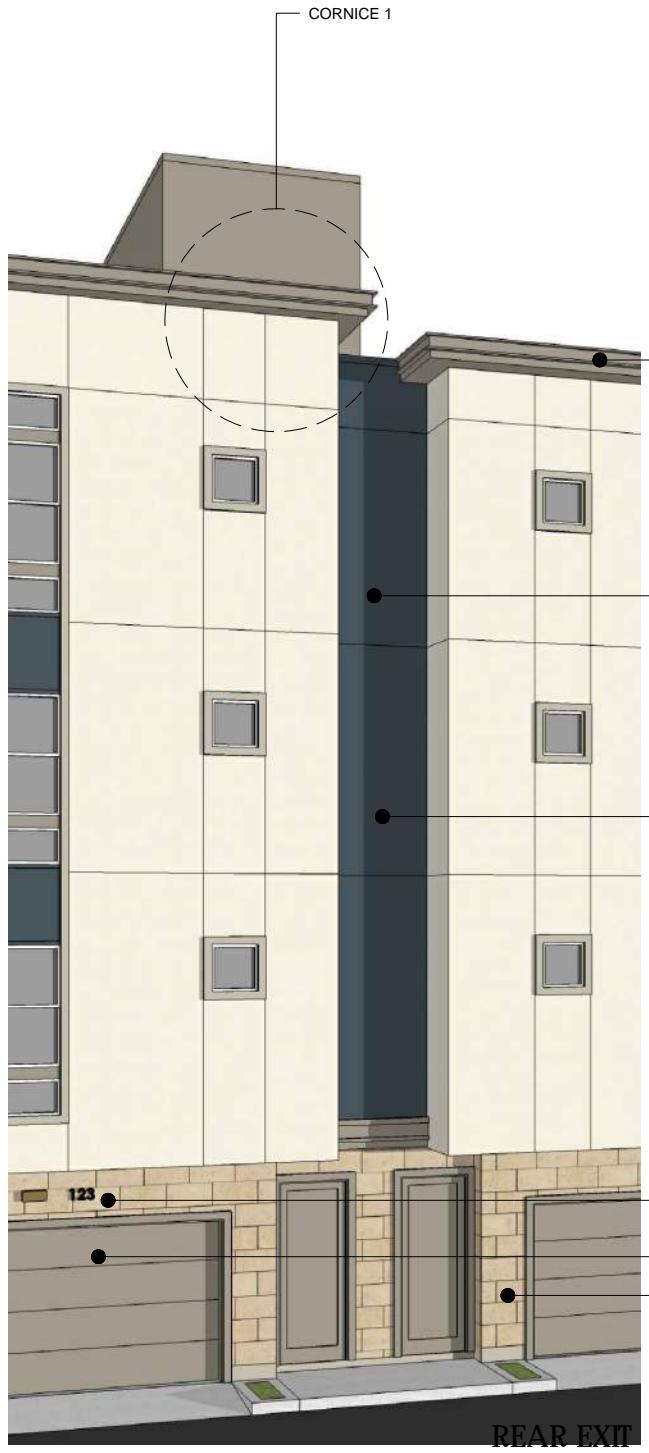
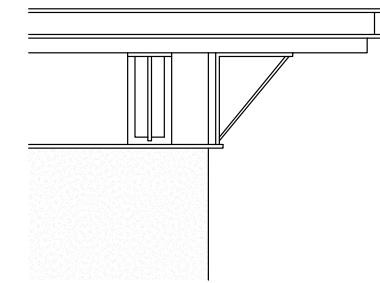
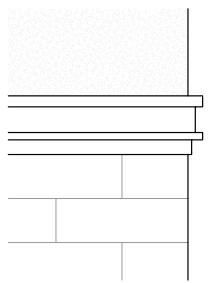
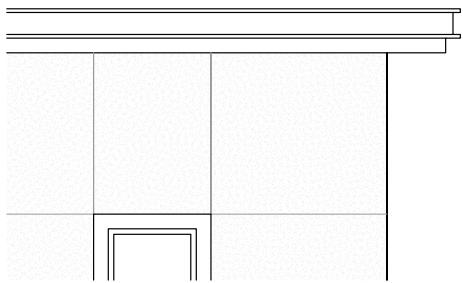
**A3.50**

BUILDING SECTIONS



**BOULEVARD phase 2**


APRIL 11, 2017

**A3.60**

**ARCHITECTURAL DETAILS**

	SCHEME 1	SCHEME 2	SCHEME 3
STUCCO BODY 1			
	HLS 4295 DAISY WHITE	HLS 4295 DAISY WHITE	HLS 4295 DAISY WHITE
STUCCO BODY 2			
	KM 4566 CITY LOFT	KM 4566 CITY LOFT	KM 4579 GHOST TOWN
STUCCO BODY 3			
	KM 5799 DOWNTOWN BENNY BROWN	KM 4559 MINK	KM 4581 BAT WING
STUCCO BODY 4			
	KM 5812 WINTER SOLSTICE	KM 4504 CHOCO LOCO	KM 5812 WINTER SOLSTICE
STONE VENEER			
	LONGITUDE24 WILD OAT	LONGITUDE24 WILD OAT	MARQUEE24 DOVE TAIL
ACCENT MATERIAL			
	KM 5812 WINTER SOLSTICE	KM 4504 CHOCO LOCO	KM 5812 WINTER SOLSTICE
METAL AWNING/ RAILING			
	KM 4904 BALSAMIC REDUCTION	KM 4904 BALSAMIC REDUCTION	KM 4904 BALSAMIC REDUCTION
GARAGE DOOR			
	KM 4566 CITY LOFT	KM 4566 CITY LOFT	KM 4586 ABBEY ROAD
TRIM			
	KM 4566 CITY LOFT	KM 4566 CITY LOFT	KM 4586 ABBEY ROAD
TRIM 2			
	KM 202 DOESKIN	KM 202 DOESKIN	KMW 30 LIGHT FROST
CORNICE			
	KM 4566 CITY LOFT	KM 4575 MUD ROOM	KM 4586 ABBEY ROAD
CORNICE 2			
			KMW 28 CLAM

Manufacturers:  
Kelly Moore Paint  
El Dorado Stone

BOULEVARD phase 2

DUBLIN, CALIFORNIA

OVERALL

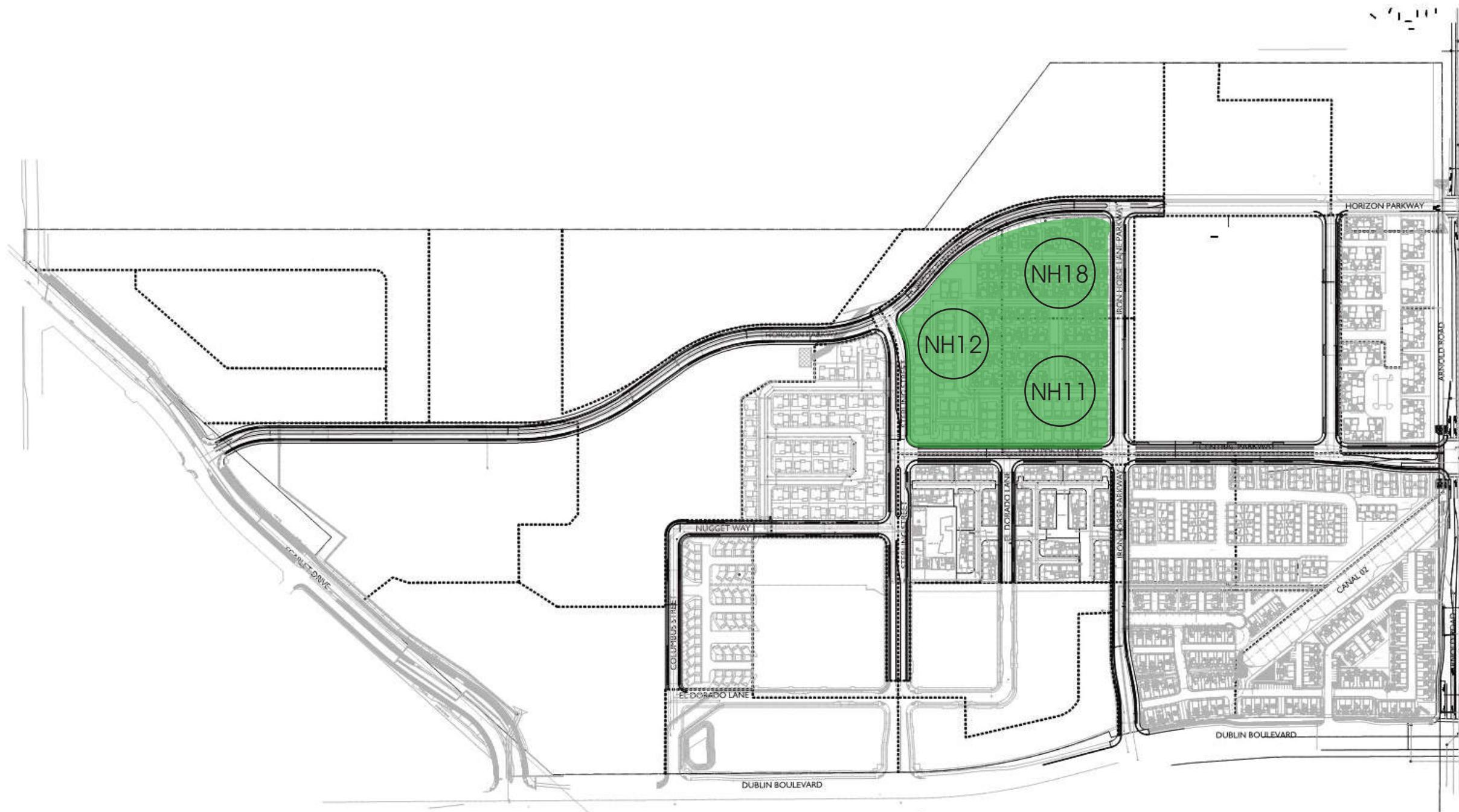
HYDE PARK

NEIGHBORHOOD 10

APRIL 11, 2017

A3.61

TABBED PAGE - NEIGHBORHOOD 11/12/18



BOULEVARD phases 2-3

Dublin, California



OVERALL



MULLHOLLAND & NEWBURY

SITE PLAN  
NEIGHBORHOOD 11,12&18



0' 200' 400' 800'

APRIL 11, 2017

L4.1

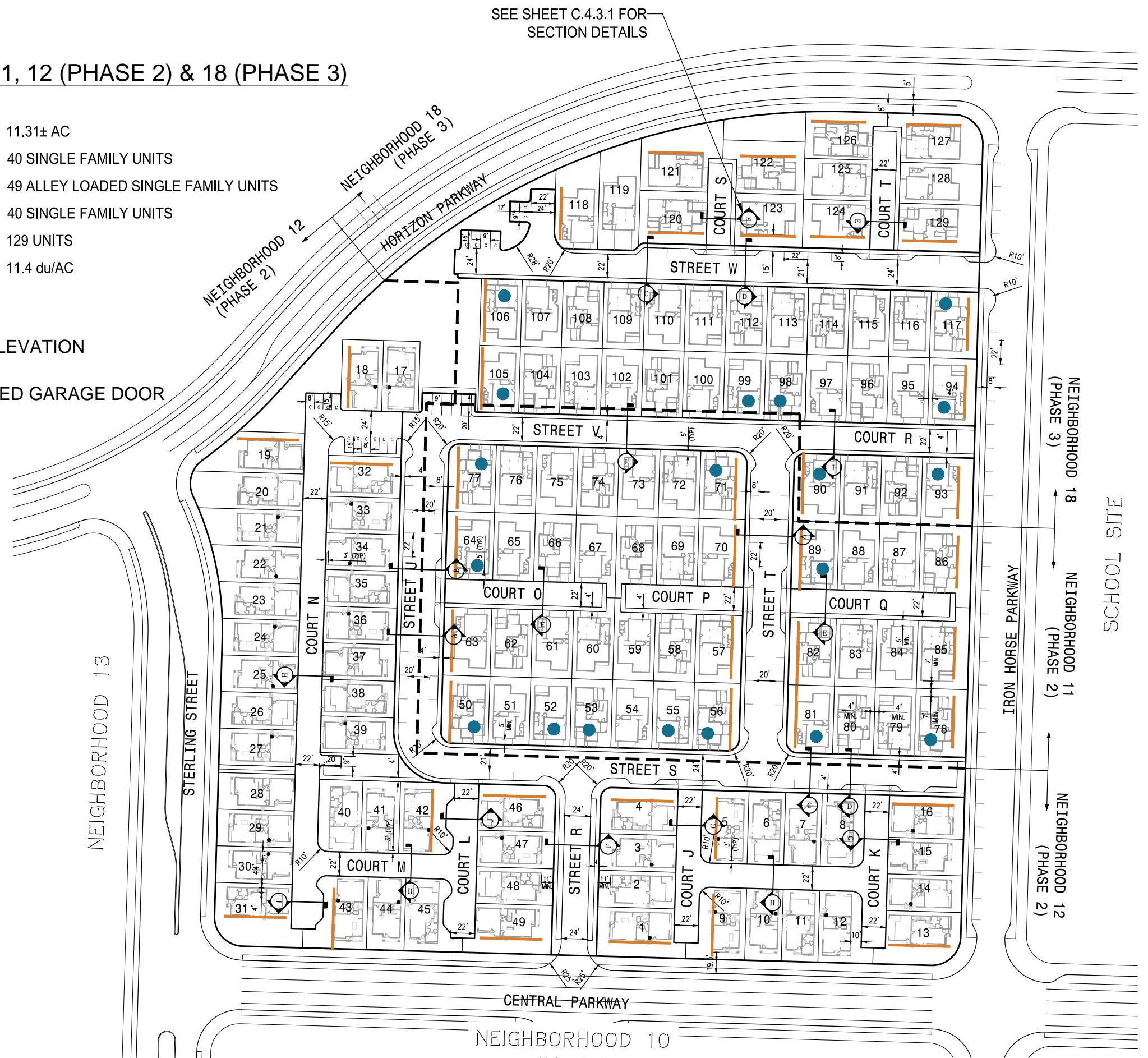
## NEIGHBORHOOD 11, 12 (PHASE 2) & 18 (PHASE 3) SITE SUMMARY

TOTAL ACRES: 11.31± AC  
 NH 11 UNIT COUNT\* 40 SINGLE FAMILY UNITS  
 NH12 UNIT COUNT: 49 ALLEY LOADED SINGLE FAMILY UNITS  
 NH 18 UNIT COUNT: 40 SINGLE FAMILY UNITS  
 TOTAL UNITS: 129 UNITS  
 DENSITY: 11.4 du/AC

SEE SHEET C.4.3.1 FOR SECTION DETAILS

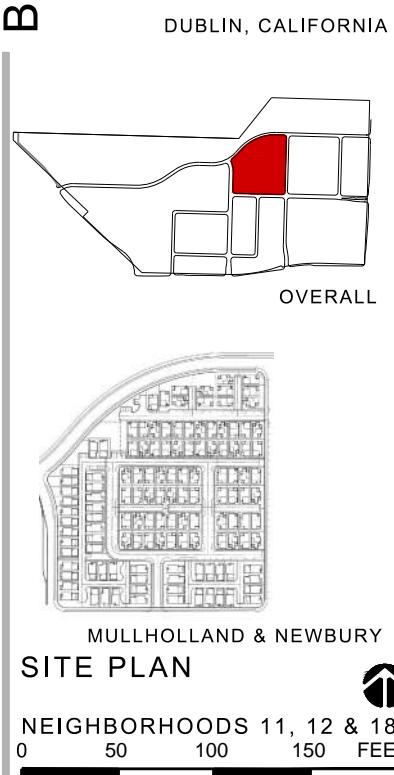
### LEGEND

- ENHANCED SIDE ELEVATION
- LOT WITH UPGRADED GARAGE DOOR



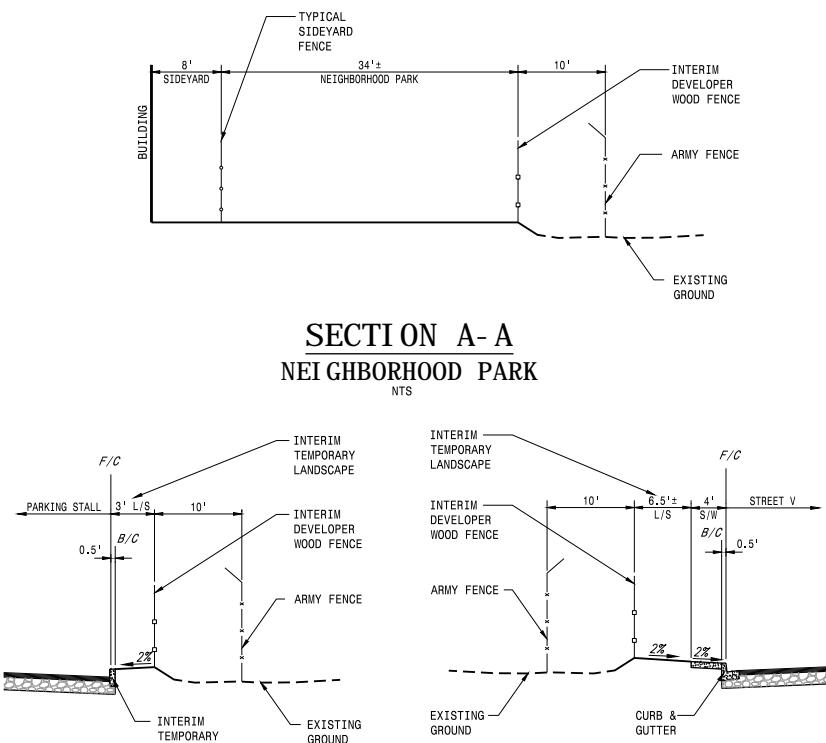
phases 2-3

BOULEVARD

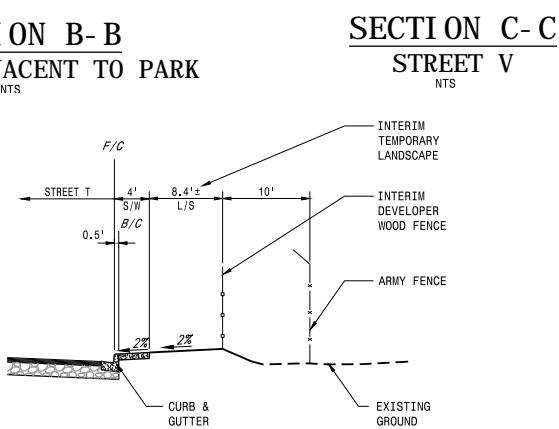


APRIL 11, 2017

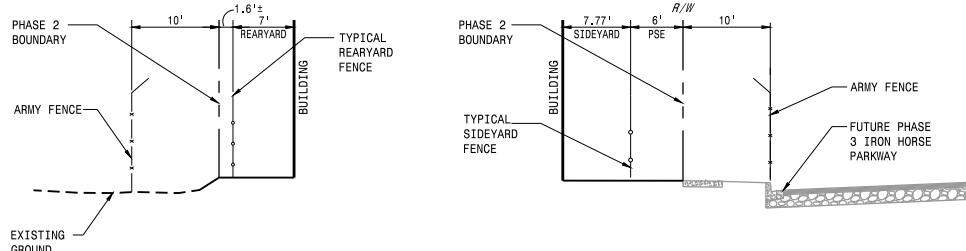
C.4.1.1



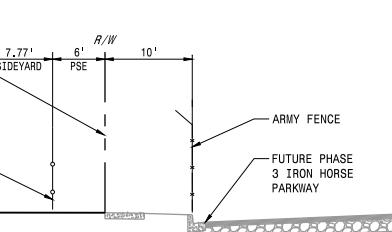
**SECTION B-B**  
PARKING ADJACENT TO PARK  
NTS



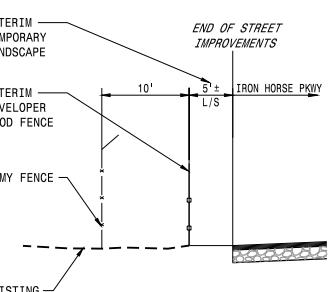
**SECTION D-D**  
STREET T  
NTS



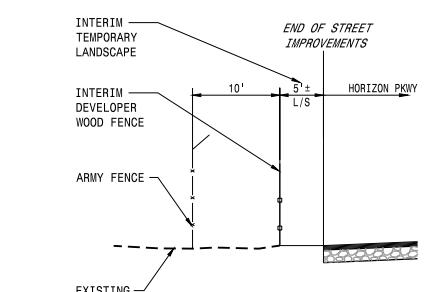
**SECTION F-F**  
INTERIM CONDITION  
NTS



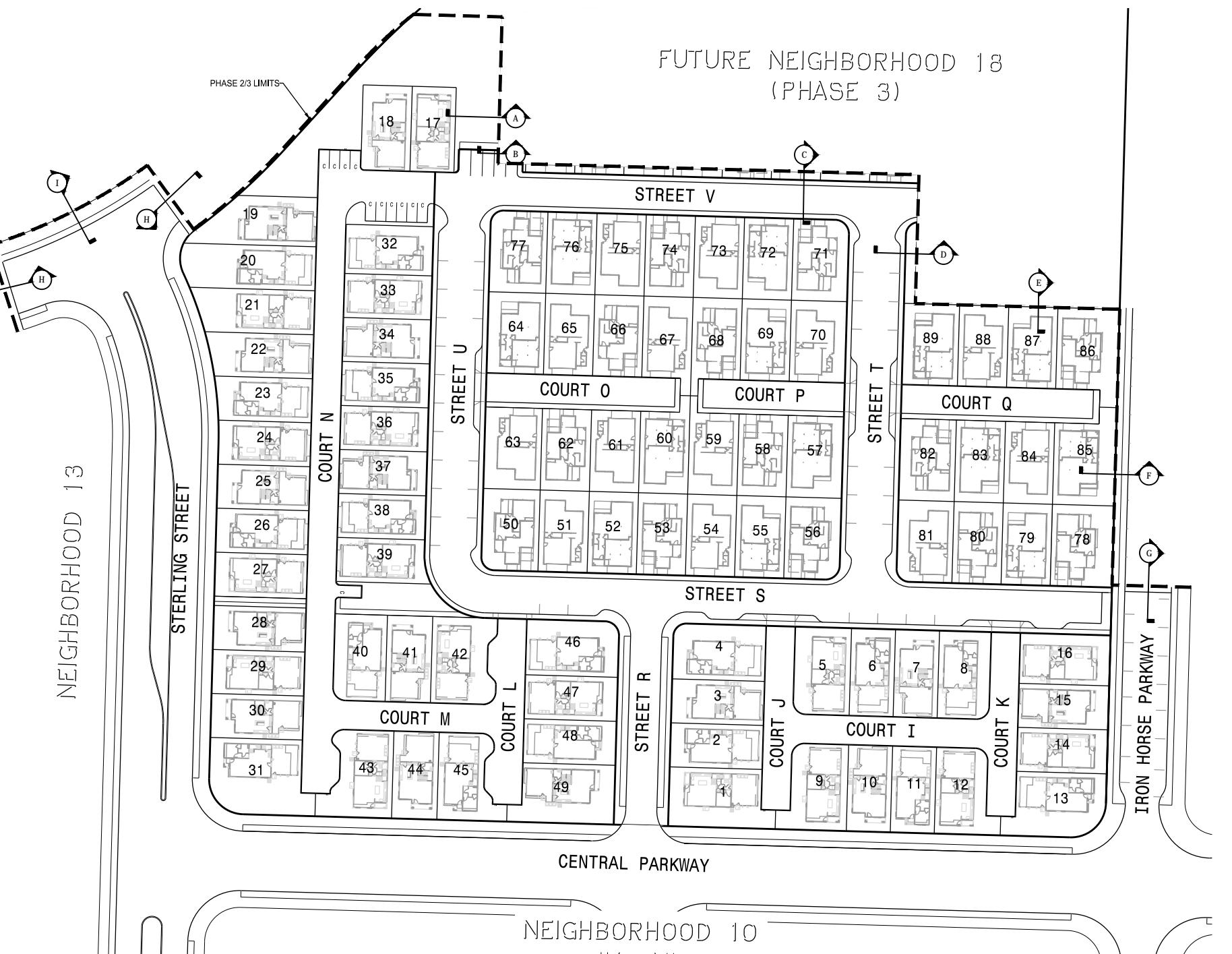
**SECTION G-G**  
IRON HORSE PARKWAY  
NTS



**SECTION H-H**  
HORIZON PARKWAY AT STERLING STREET  
NTS

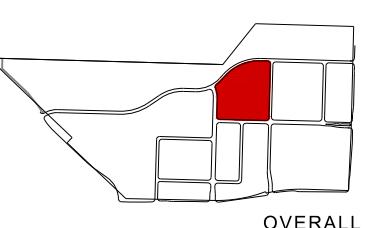


**SECTION I-I**  
END OF STERLING ST  
NTS



BOULEVARD  
phases 2-3

DUBLIN, CALIFORNIA



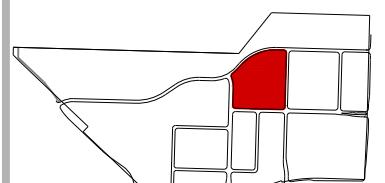
**INTERIM CONDITION SITE PLAN**  
NEIGHBORHOODS 11, 12 & 18

0 50 100 150 FEET

phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



OVERALL



MULLHOLLAND & NEWBURY  
 LAND USE SUMMARY

NEIGHBORHOODS 11, 12 & 18  
 0 50 100 150 FEET

APRIL 11, 2017

C.4.2

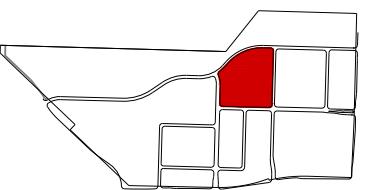
<b>NH 11 &amp; 18 (DETACHED MOTORCOURT) DEVELOPMENT STANDARDS</b>		<b>Per Dublin Crossing Specific Plan Table 2-9</b>	<b>Proposed Site Plan</b>
<b>SETBACKS (MINIMUM) <sup>(1)</sup> <sup>(2)</sup> <sup>(3)</sup></b>			
Lot Size (minimum)	1800 sf	2300 sf	
Lot Width (minimum)	30 feet	38 feet	
Front Street Facing			
Living	10 feet	8 feet <sup>(3)</sup>	
Porch	5 feet	5 feet	
Front Interior			
Living	5 Feet	5 feet <sup>(3)</sup>	
Porch	4 Feet	4 feet	
Garage <sup>(4)</sup>	5 Feet	5 feet	
Side			
Yard Side	4 feet	4 feet <sup>(3)</sup>	
Corner			
Living	10 feet	8 feet to Front <sup>(3)</sup> 9 feet to Side <sup>(3)</sup>	
Porch	5 feet	5 feet	
Rear			
Living	4 feet	4 feet	
Garage	5 feet	5 feet	
Number of Stories (maximum)	3 Stories	3 Stories	
<b>Notes (From the Dublin Crossing Specific Plan):</b>			
(1) Building setbacks are measured from edge of building foundation to property line.			
(2) All setbacks at corner lots shall meet the intersection sight distance design criteria of the Zoning Ordinance. All setbacks for front areas shall ensure safe sight distances for pedestrians and vehicles as approved by the City Engineer			
(3) Architectural projections such as porches and patios, landings, roof eaves, steps, bay windows, media nooks, fireplaces and other similar features are allowed to project into the setback as long as three feet clear is maintained for access into rear yard.			
(4) Zero lot line configuration are permitted provided a minimum building separation of an aggregate of 8 feet is provided. Articulated lot lines and Reciprocal Use Easements (RUE) are allowed.			
(5) Minimum garage setback for a driveway is 18 feet. Maximum garage setback for no parking driveway is 3 feet.			

<b>NH 12 (ALLEY LOADED) DEVELOPMENT STANDARDS</b>	<b>Per Dublin Crossing Specific Plan Table 2-5</b>	<b>Proposed Site Plan</b>
Lot Size (minimum)	2200 sf	2260 sf
Lot Width (minimum)	30 feet	34 feet
<b>SETBACKS (MINIMUM) <sup>(1)</sup> <sup>(2)</sup> <sup>(3)</sup></b>		
Front		
Living	10 feet	10 feet to Face of Curb 6.5 feet to Back of Walk
Porch	5 feet	5 feet
Side <sup>(4)</sup>		
Interior	4 feet	4 feet
Corner		
Living	8 feet	8 feet
Porch	5 feet	5 feet
Rear		
Living	3 feet	N/A
Garage	3 feet	3 feet
Number of Stories (maximum)	3 Stories	3 Stories
<b>Notes (From the Dublin Crossing Specific Plan):</b>		
(1) Building setbacks are measured from edge of building foundation to property line.		
(2) All setbacks at corner lots shall meet the intersection sight distance design criteria of the Zoning Ordinance. All setbacks for front areas shall ensure safe sight distances for pedestrians and vehicles as approved by the City Engineer		
(3) Architectural projections such as porches and patios, landings, roof eaves, steps, bay windows, media nooks, fireplaces and other similar features are allowed to project into the setback as long as three feet clear is maintained for access into rear yard.		
(4) Zero lot line configuration are permitted provided a minimum building separation of an aggregate of 8 feet is provided. Articulated lot lines and Reciprocal Use Easements (RUE) are allowed.		
(5) Minimum garage setback for a driveway is 18 feet. Maximum garage setback for no parking driveway is 3 feet.		

phases 2-3

**BOULEVARD**

DUBLIN, CALIFORNIA

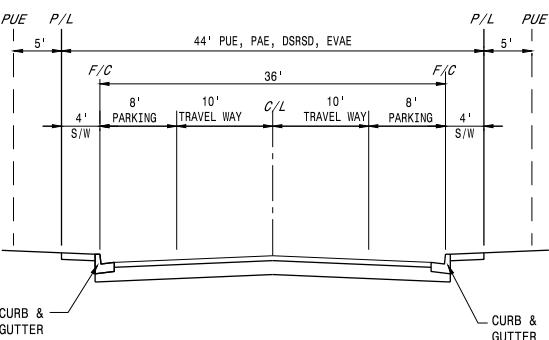


OVERALL

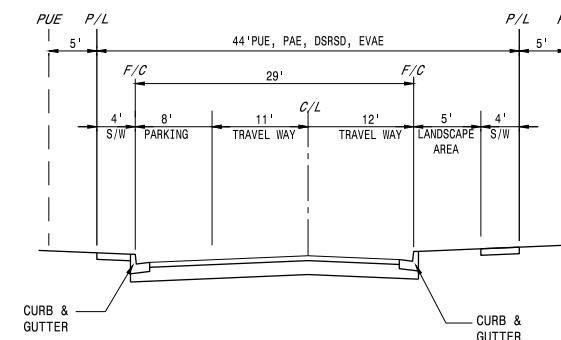


MULLHOLLAND & NEWBURY  
STREET SECTIONS

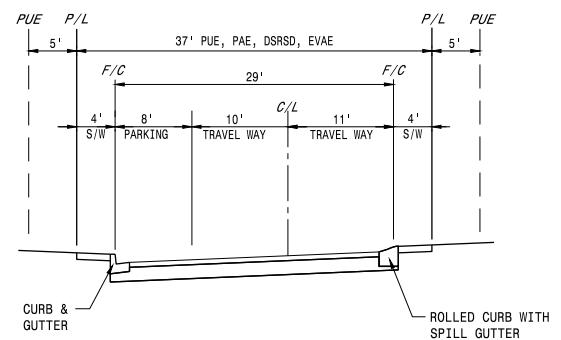
NEIGHBORHOODS 11, 12 & 18  
0 50 100 150 FEET



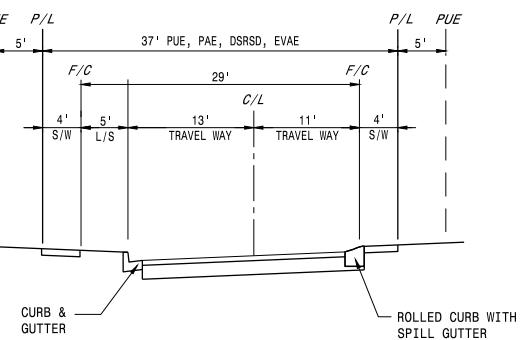
**SECTION A-A**  
STREET T & STREET U  
NTS



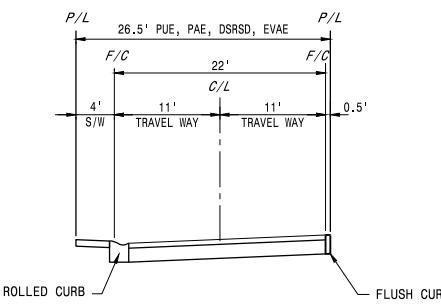
**SECTION B-B**  
STREET U  
NTS



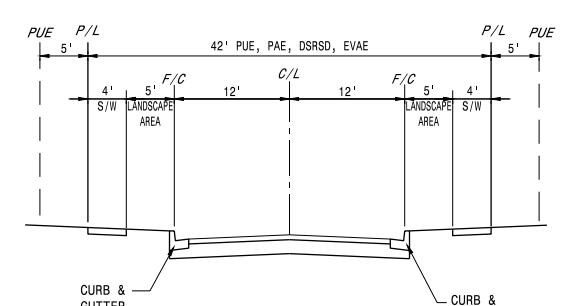
**SECTION C-C**  
STREET S & STREET W  
NTS



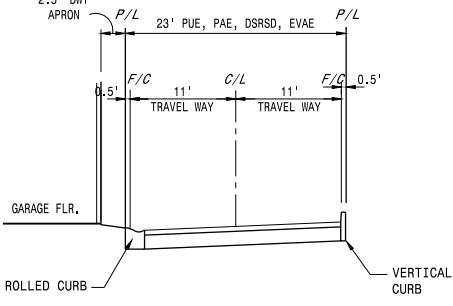
**SECTION D-D**  
STREET S & STREET W  
NTS



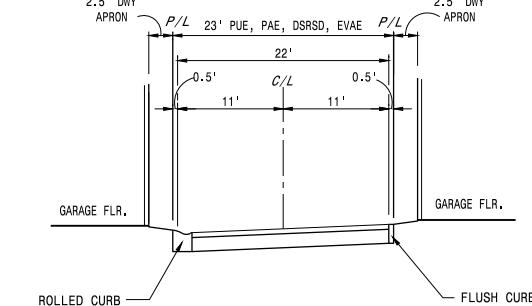
**SECTION E-E**  
COURT O, P, Q, AND T  
NTS



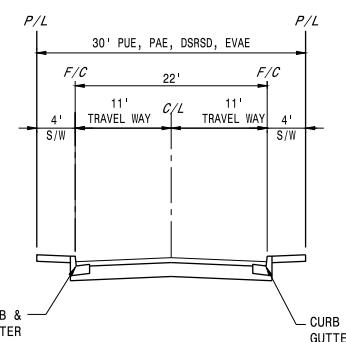
**SECTION F-F**  
STREET R  
NTS



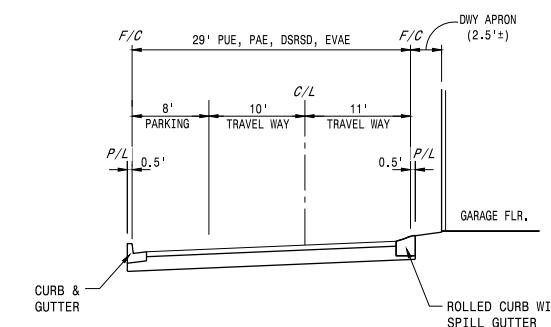
**SECTION G-G**  
COURT J & COURT K  
NTS



**SECTION H-H**  
COURTS M AND N  
NTS



**SECTION I-I**  
STREET V, COURT R  
NTS



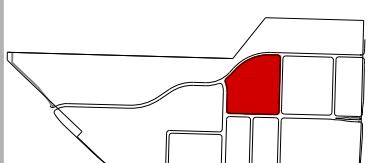
**SECTION J-J**  
COURTS L AND N  
NTS

NOTE: SEE SHEET C. 4. 1. 1 FOR CROSSSECTION LINES

phases 2-3

**BOULEVARD**

DUBLIN, CALIFORNIA



OVERALL



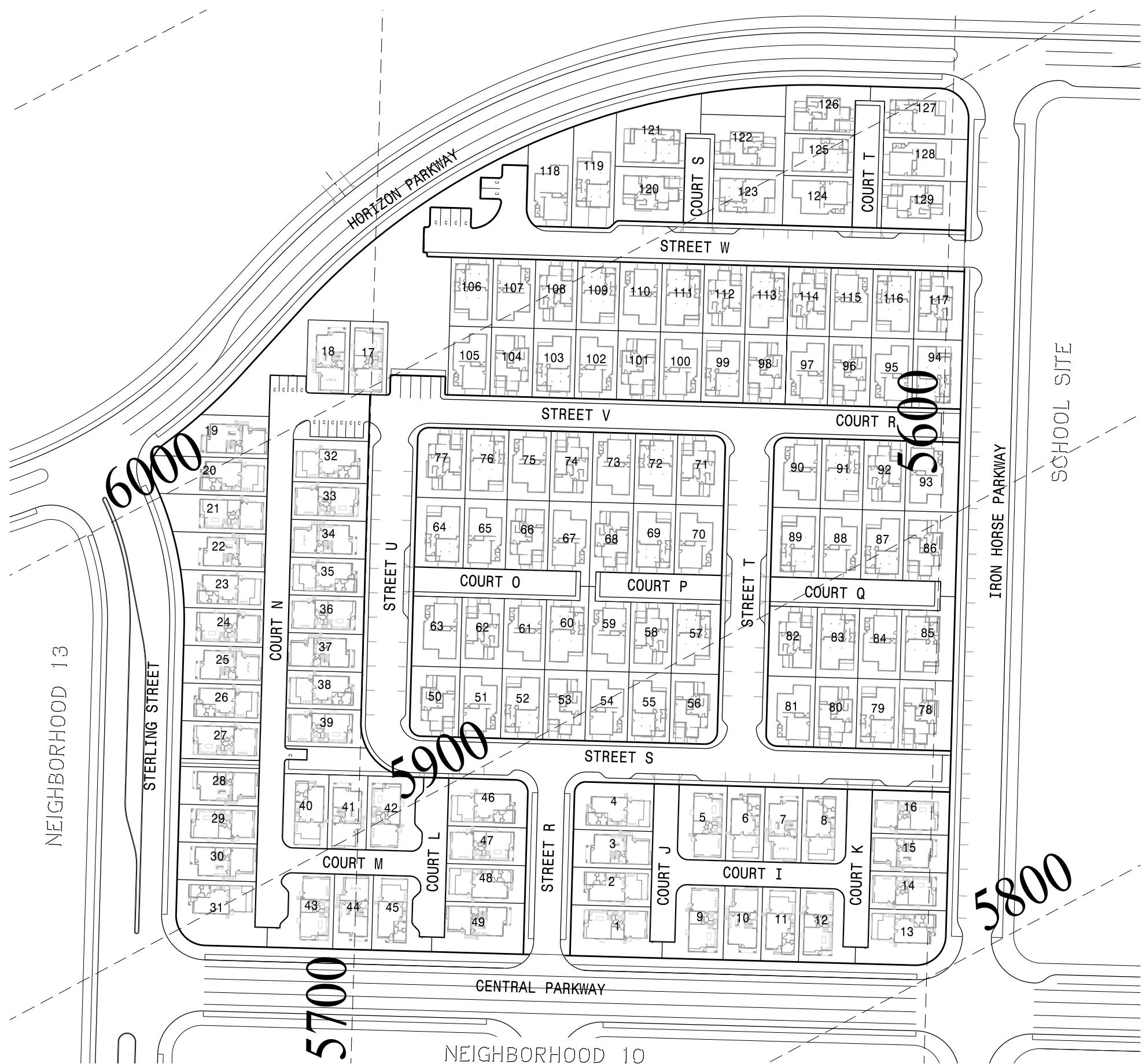
MULLHOLLAND & NEWBURY  
ADDRESS PLAN

NEIGHBORHOODS 11, 12 & 18  
0 50 100 150 FEET



APRIL 11, 2017

**C.4.4**



## PARKING SUMMARY (129 UNITS)

### REQUIRED PARKING:

2 COVERED SPACES + 1 GUEST SPACE/UNIT

### PROPOSED:

GARAGE RESIDENTIAL SPACES

ON-SITE GUEST PARKING SPACES

GUEST PARKING SPACES ON PUBLIC STREETS

### TOTAL PARKING SPACES:

COMPACT PARKING SPACES (35% ALLOWED):

387 SPACES

258

104

28

**390 SPACES (3.04 SPACES/UNIT)**

16 (12%)

### LEGEND

ON-SITE GUEST PARKING SPACE

GUEST PARKING SPACE ON PUBLIC STREETS

IN-DRIVE GUEST PARKING SPACE

FIRE HYDRANT

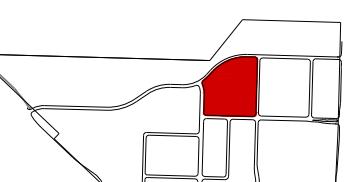
NP NO PARKING ZONE (AT FIRE HYDRANTS)



phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



OVERALL  
MULLHOLLAND & NEWBURY  
ULTIMATE PARKING PLAN  
NEIGHBORHOODS 11, 12 & 18

0 50 100 150 FEET



## NEIGHBORHOOD 11 & 12 (89 UNITS)

### PARKING SUMMARY

**REQUIRED PARKING:**

2 COVERED SPACES + 1 GUEST SPACE/UNIT

**PROPOSED:**

GARAGE RESIDENTIAL SPACES

ON-SITE GUEST PARKING SPACES

GUEST PARKING SPACES ON PUBLIC STREETS

**TOTAL PARKING SPACES:**

COMPACT PARKING SPACES (35% ALLOWED):

#### LEGEND

 ON-SITE GUEST PARKING SPACE

 GUEST PARKING SPACE ON PUBLIC STREETS

 IN-DRIVE GUEST PARKING SPACE

 FIRE HYDRANT

NP NO PARKING ZONE (AT FIRE HYDRANTS)



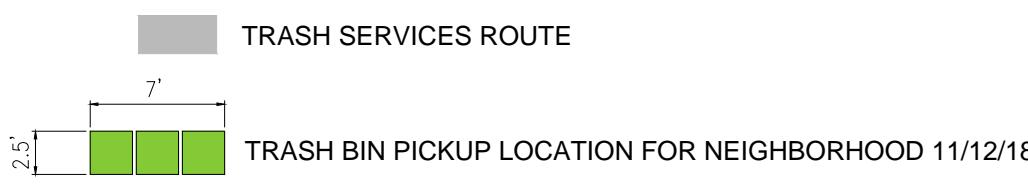
phases 2-3

BOULEVARD

APRIL 11, 2017

**C.4.5.2**

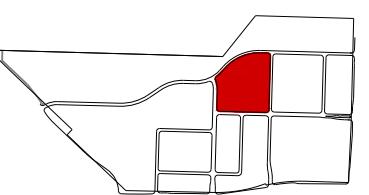
## LEGEND



NOTE: ALL STREETS ARE PRIVATE.  
TRASH WILL BE PICKED UP IN BINS AT  
THE END OF INDIVIDUAL DRIVES.



DUBLIN, CALIFORNIA



TRASH PICKUP  
PLAN  
NEIGHBORHOODS 11, 12 & 18

0 50 100 150 FEET

APRIL 11, 2017

C.4.6

## LEGEND

**M** PRELIMINARY MAILBOX LOCATION  
(FINAL LOCATION SUBJECT TO  
USPS APPROVAL)



## LEGEND

FIRE DEPARTMENT ACCESS ROUTE (CONTINUATION OF N4 FROM PH. 1A)

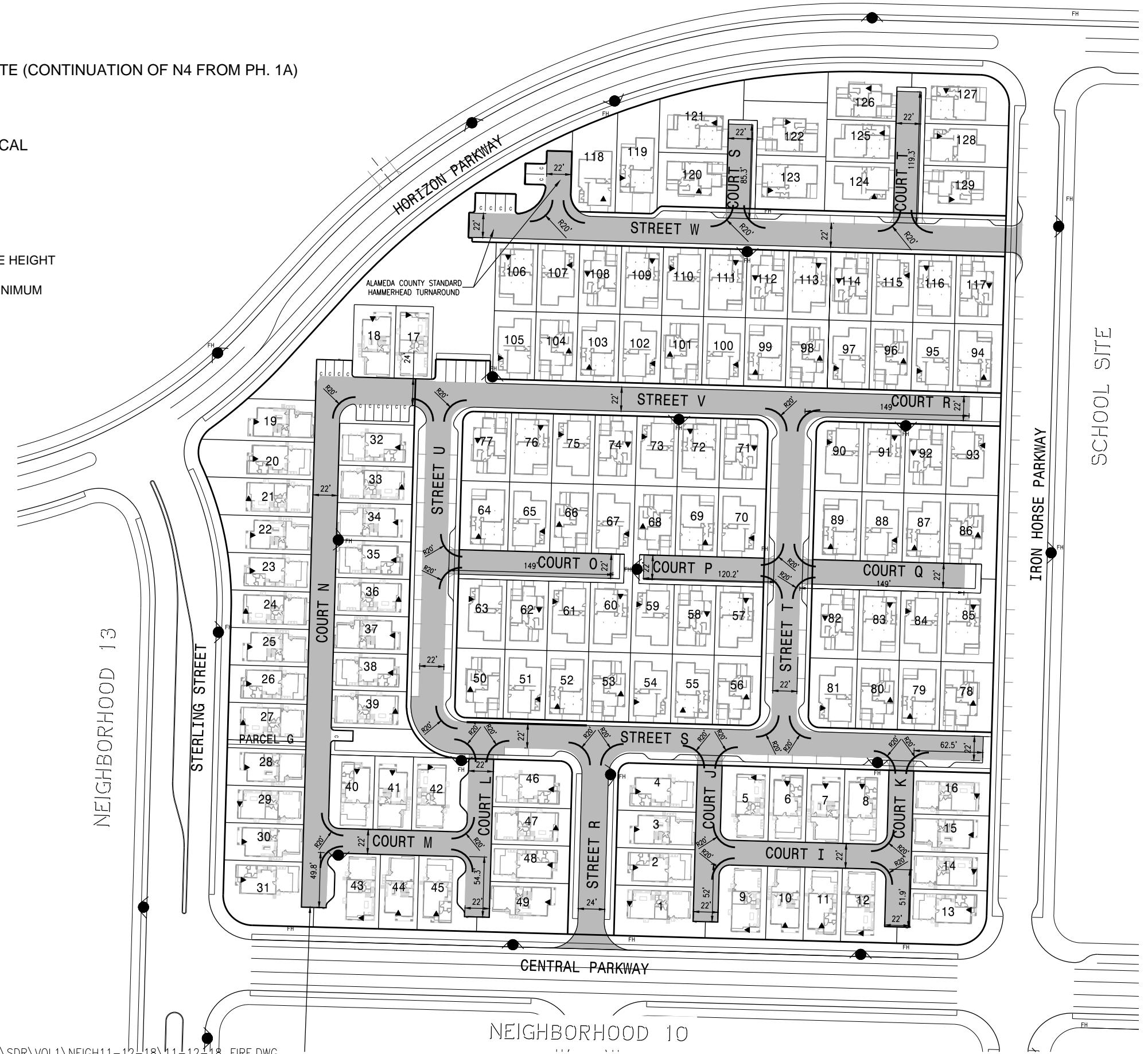
FH PROPOSED FIRE HYDRANT(FH)

▲ FRONT DOOR (SHOWN FOR MEDICAL  
EMERGENCY PURPOSES)

MINIMUM INSIDE TURN RADIUS

NOTE:

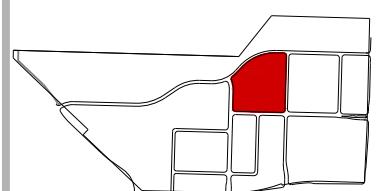
1. PRODUCTS SHOWN HAVE A PROPOSED EAVE HEIGHT  
OF LESS THAN 30'.
2. FIRE APPARATUS ROADS SHOWN HAVE A MINIMUM  
WIDTH OF 20'-24'.



phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



OVERALL



MULLHOLLAND & NEWBURY

FIRE ACCESS PLAN

NEIGHBORHOODS 11, 12 & 18  
0 50 100 150 FEET

APRIL 11, 2017

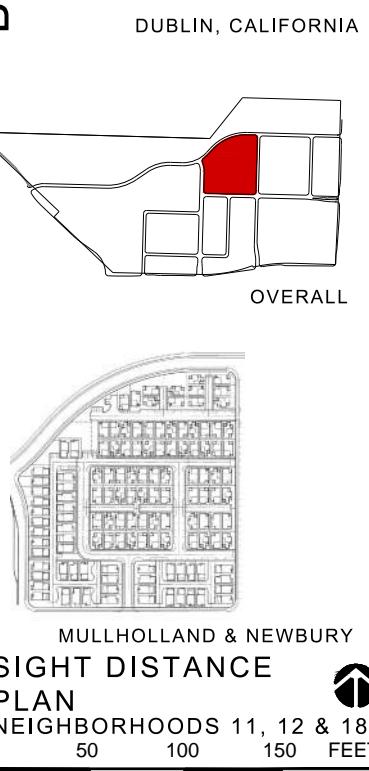
C.4.8



BOULEVARD phases 2-3

APRIL 11, 2017

**C.4.9**



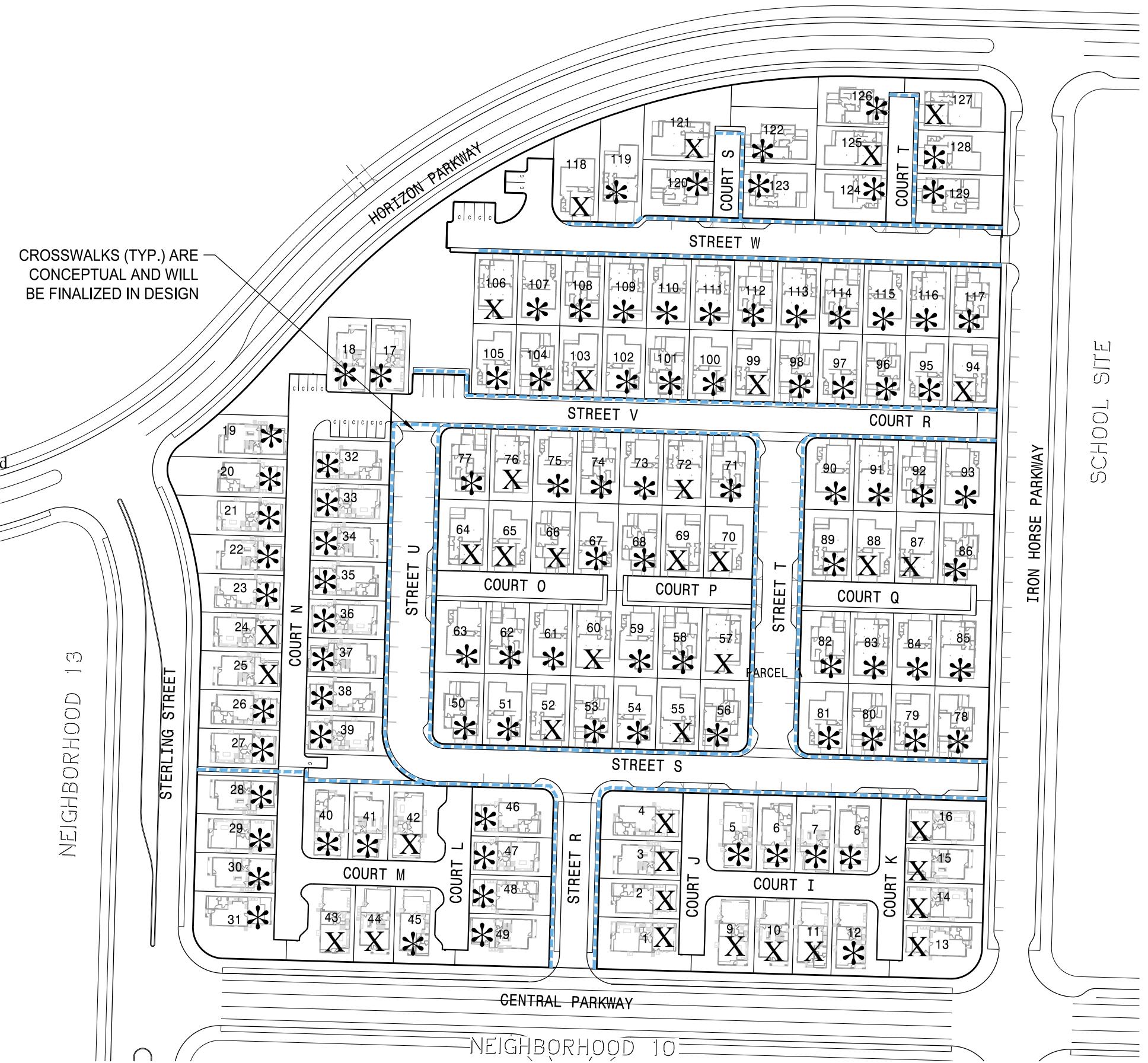
## LEGEND

- \* UDO Compliant - Primary Residence  
Some units require walkway slope gradient to 8.33% max. This designation assumes pedestrian walks to front door entry from public way via the walkway.
- X UDO Compliant/Exception - Primary Residence.  
For units with walkway slope gradient greater than 8.33%, Units are compliant through options 1 & 2 below:
- Schematic Accessible Path of Travel

1. Access to home by parking in garage and entering home through garage door with optional ramp.
2. Access from sidewalk to front door via walkway with a slope gradient greater than 8.33%. Handrails may be required.

### Notes:

1. For all Primary Residences, the home builder shall offer to the home buyer a portable ramp that can be placed at the exterior door to the Primary Unit.
2. House plans, model, and setbacks illustrated here are conceptual and subject to change.



phases 2-3

BOULEVARD

APRIL 11, 2017

C.4.10

## LEGEND

- OPEN SPACE - HOA MAINTAINED  
(INCLUDING BIO-RETENTION/SILVA CELL FACILITIES)
- COURTS & PRIVATE DRIVES - HOA MAINTAINED
- PRIVATE STREETS - HOA MAINTAINED
- PUBLIC STREET PARKWAY - HOA MAINTAINED  
(INCLUDING BIO-RETENTION/SILVA CELL FACILITIES)

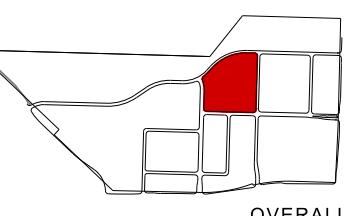
NOTE: ALL FRONT YARDS AND PASEOS TO BE HOA MAINTAINED



phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



OVERALL



MULLHOLLAND & NEWBURY  
MAINTENANCE  
RESPONSIBILITY PLAN  
NEIGHBORHOODS 11, 12 & 18

0 50 100 150 FEET

## LEGEND

-  *Quercus virginiana*  
Southern Live Oak
-  *Ulmus parvifolia*  
Chinese Elm
-  *Celtis sinensis*  
Chinese Hackberry



BOULEVARD phases 2-3



STREET TREES  
NEIGHBORHOOD 11,12&18

0' 50' 100' 200'



APRIL 11, 2017

L 4.2



## LEGEND

6' Height Theme Wall

Low Theme Wall

3' Low Veneer Wall

BOULEVARD phases 2-3

Dublin, California



WALLS AND FENCING  
NEIGHBORHOOD 11,12&18

0' 200' 400' 800'

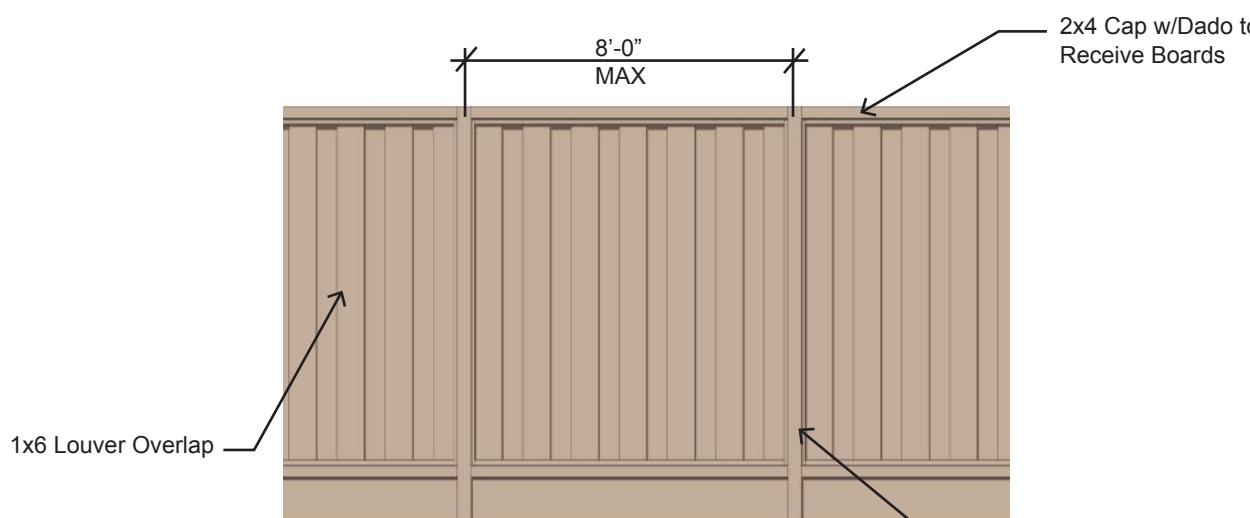
APRIL 11, 2017

L 4 . 3



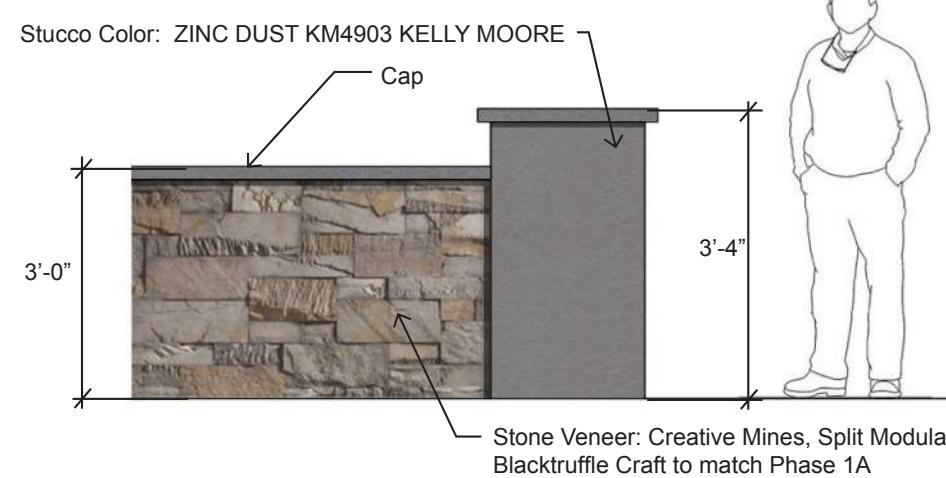
Location: Neighborhoods 11/12/18 where Fencing Faces Street

#### 6'HT HORIZONTAL WOOD FENCE



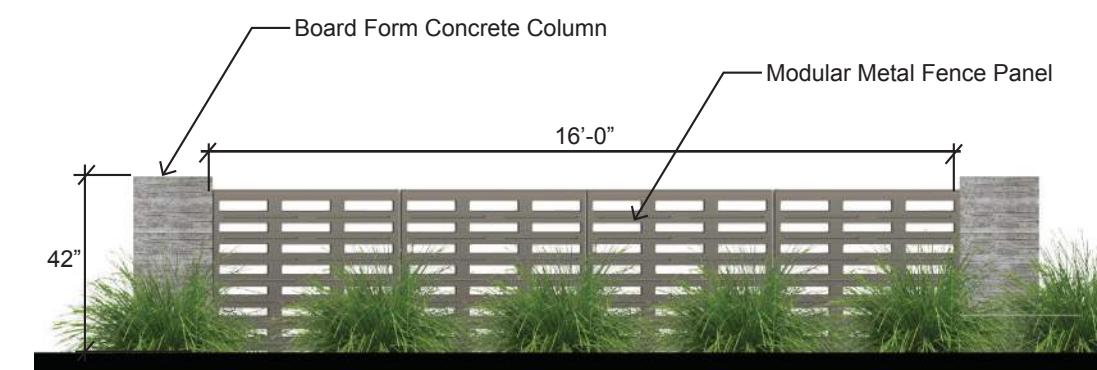
Location: Neighborhoods 11/12/18 Interior Yards where Fencing is not Visible from the Street

#### 6'HT GOOD NEIGHBOR FENCE



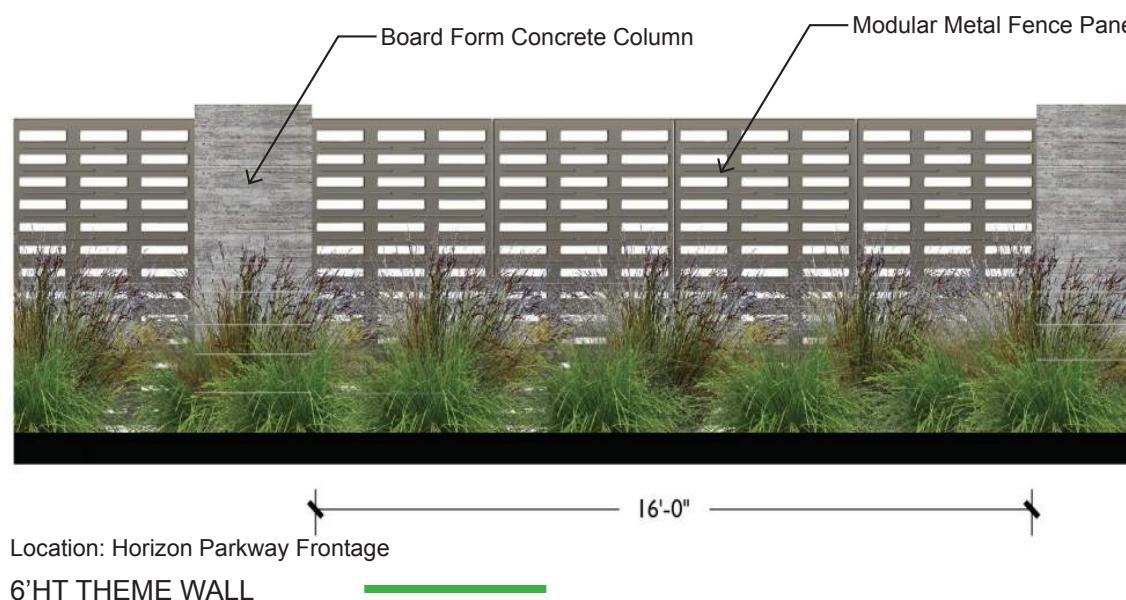
Location: Central Parkway and Iron Horse Parkway Frontage

#### 3' HT LOW VENEER WALL



Location: Horizon Parkway Frontage

#### 42" HT LOW THEME WALL



Location: Horizon Parkway Frontage

#### 6'HT THEME WALL

### BOULEVARD phases 2-3



OVERALL



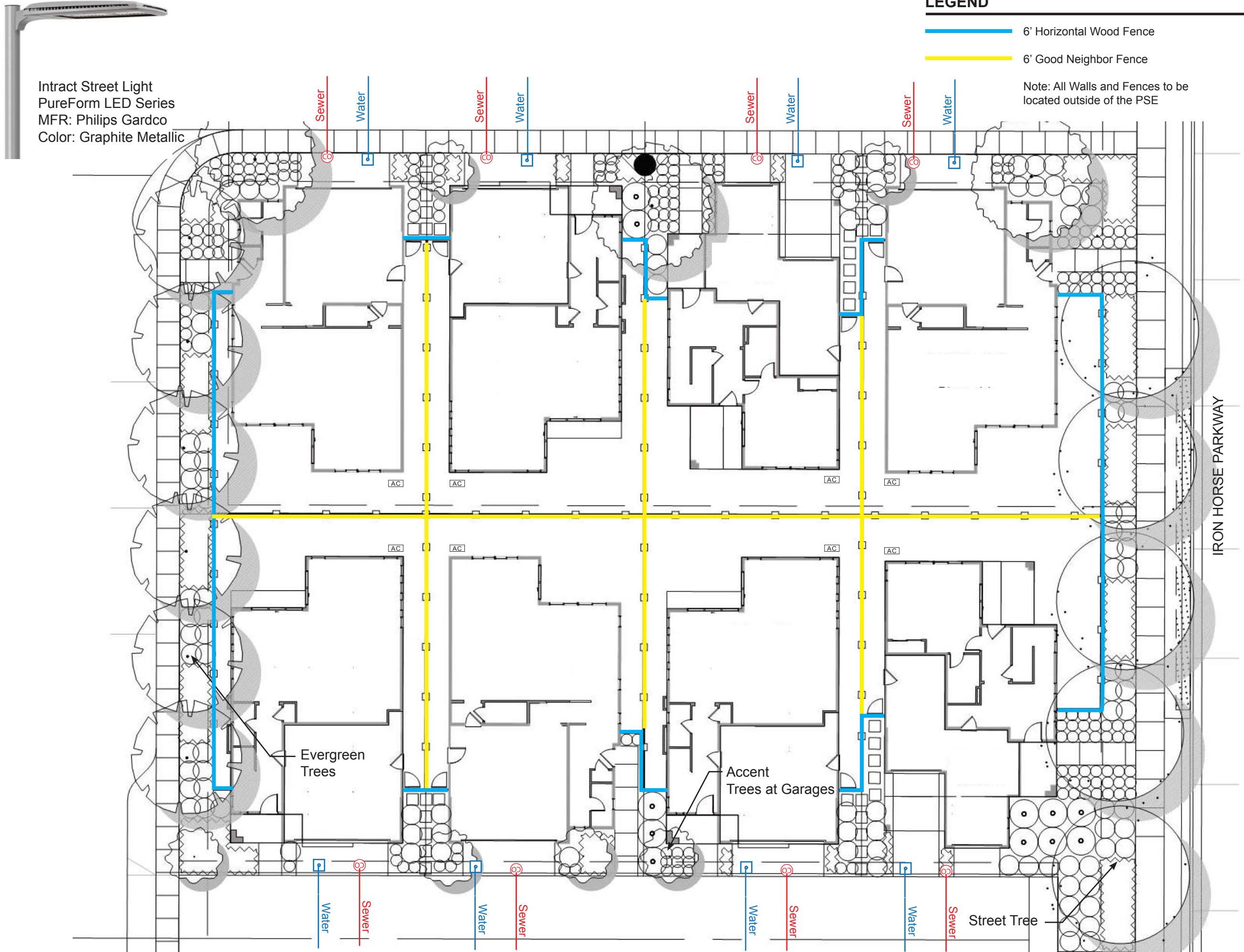
MULLHOLLAND & NEWBURY

WALLS AND FENCING  
NEIGHBORHOOD 11,12&18



APRIL 11, 2017

L 4 . 4



## LEGEND

6' Horizontal Wood Fence

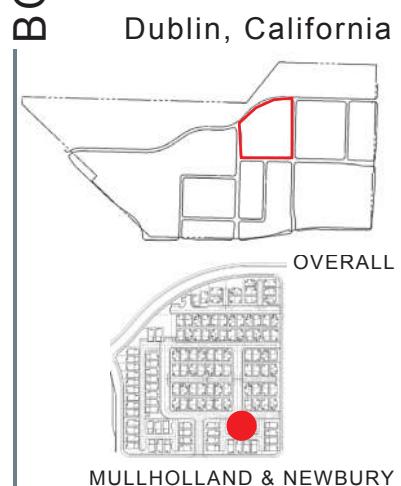
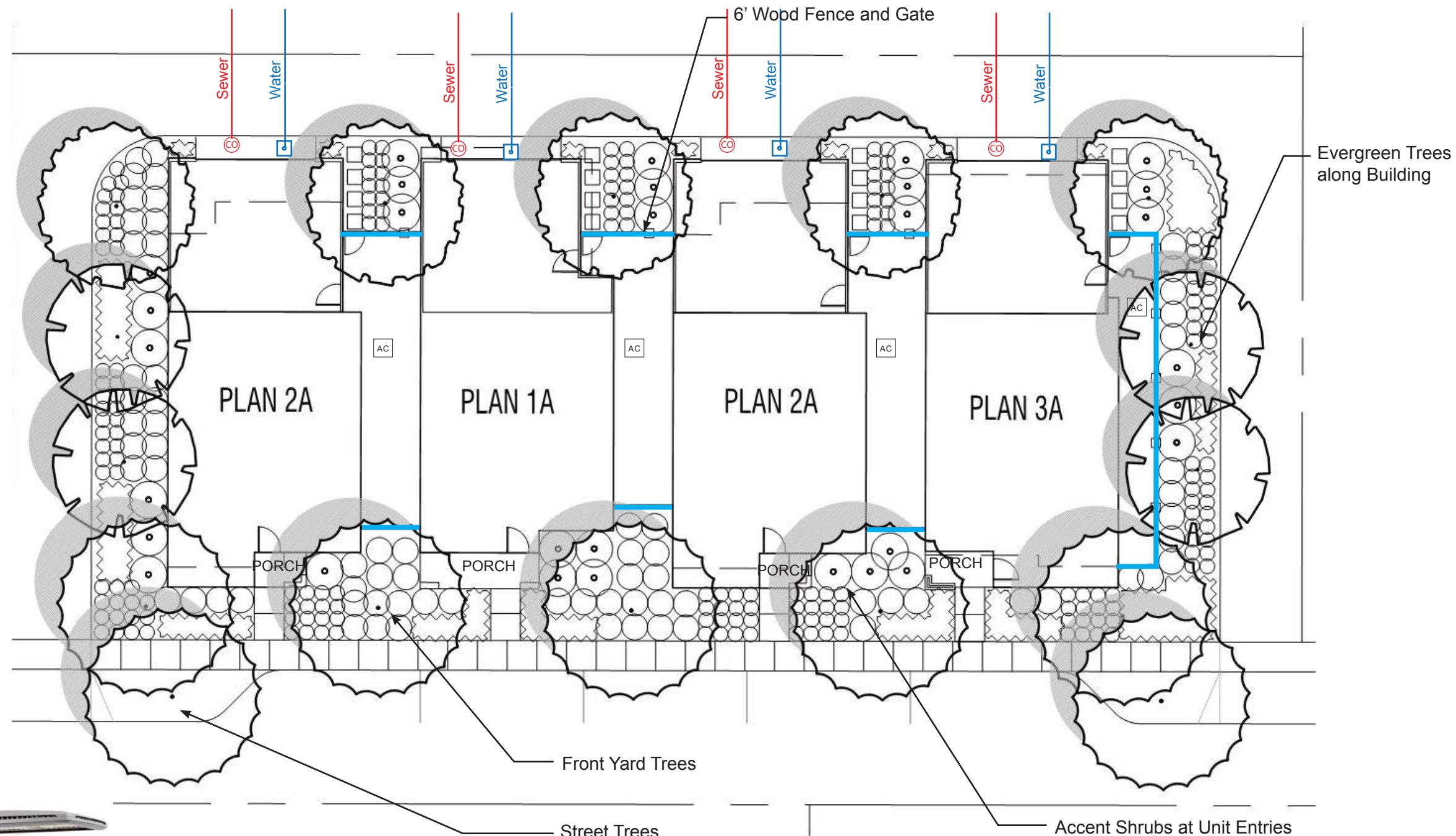
Note: All Walls and Fences to be located outside of the PSE



## BOULEVARD phases 2-3



Intract Street Light  
PureForm LED Series  
MFR: Philips Gardco  
Color: Graphite Metallic



TYPICAL  
NEIGHBORHOOD 12



0' 8' 16' 32'

APRIL 11, 2017

L 4.6

### BOULEVARD phases 2-3



OVERALL



MULLHOLLAND & NEWBURY

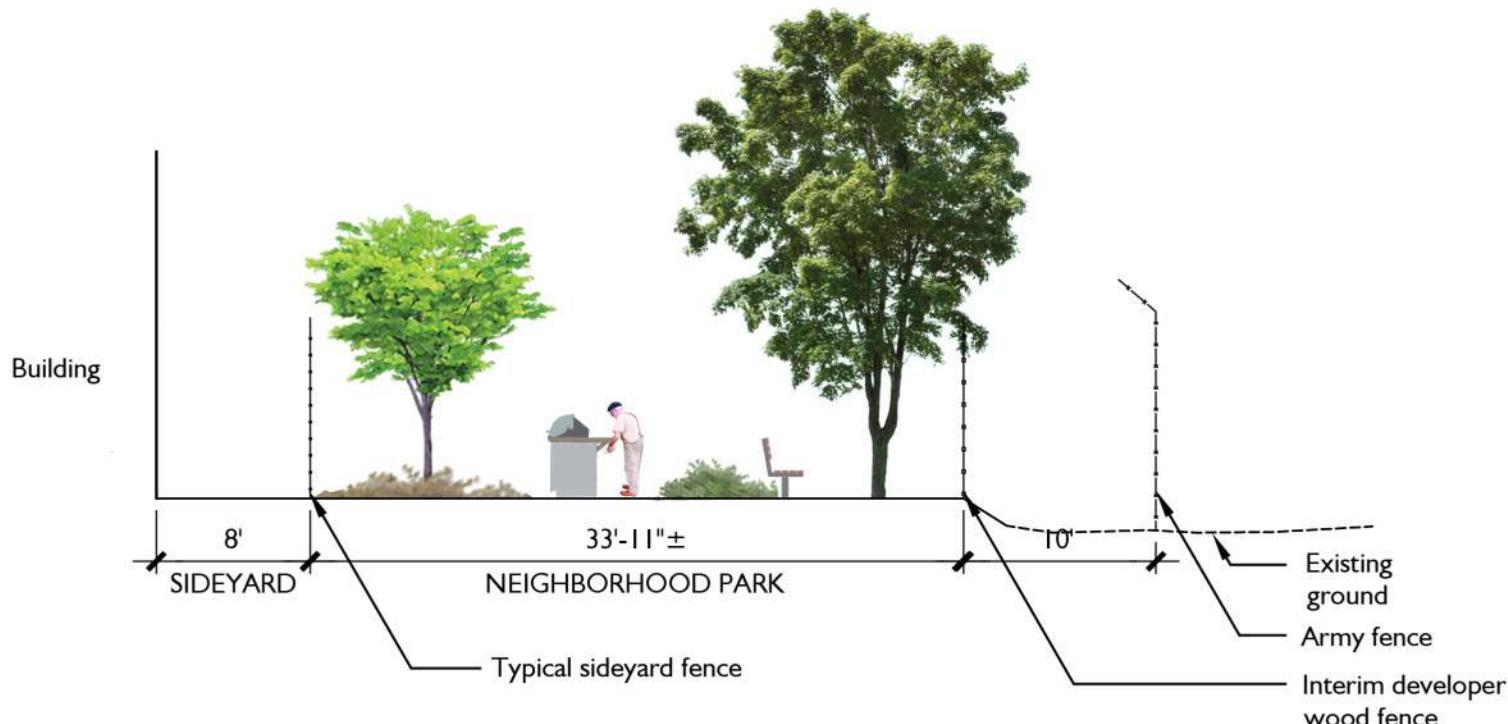
PARK - THE HANGOUT  
NEIGHBORHOOD 11,12&18

0' 10' 20' 40'

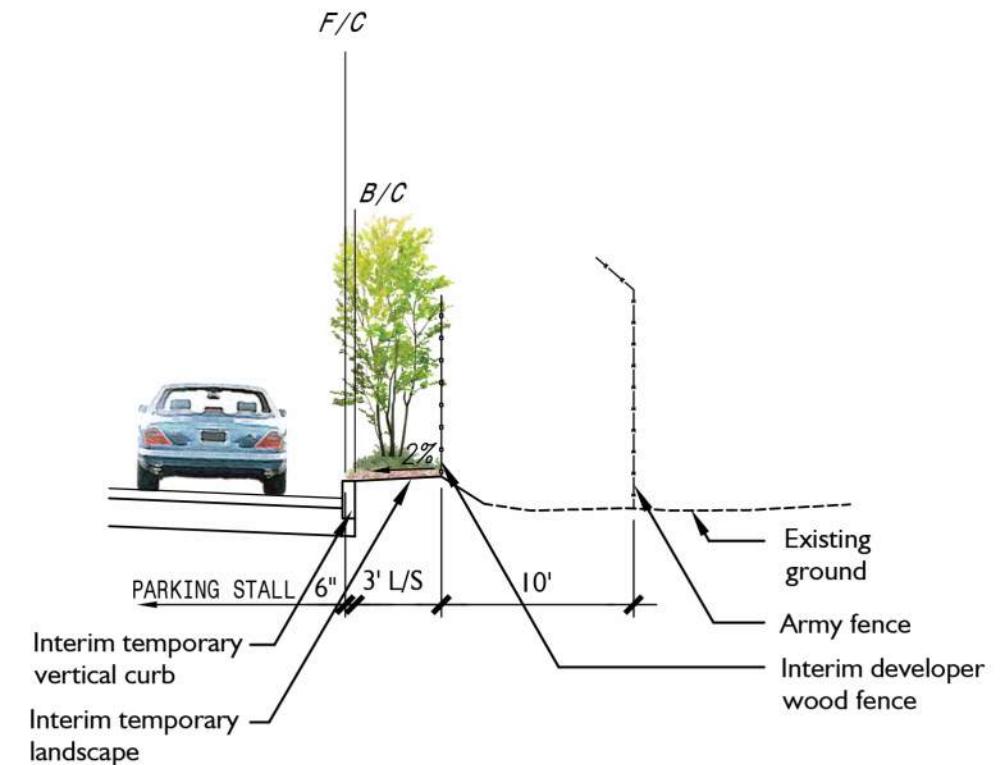
APRIL 11, 2017

L 4.7

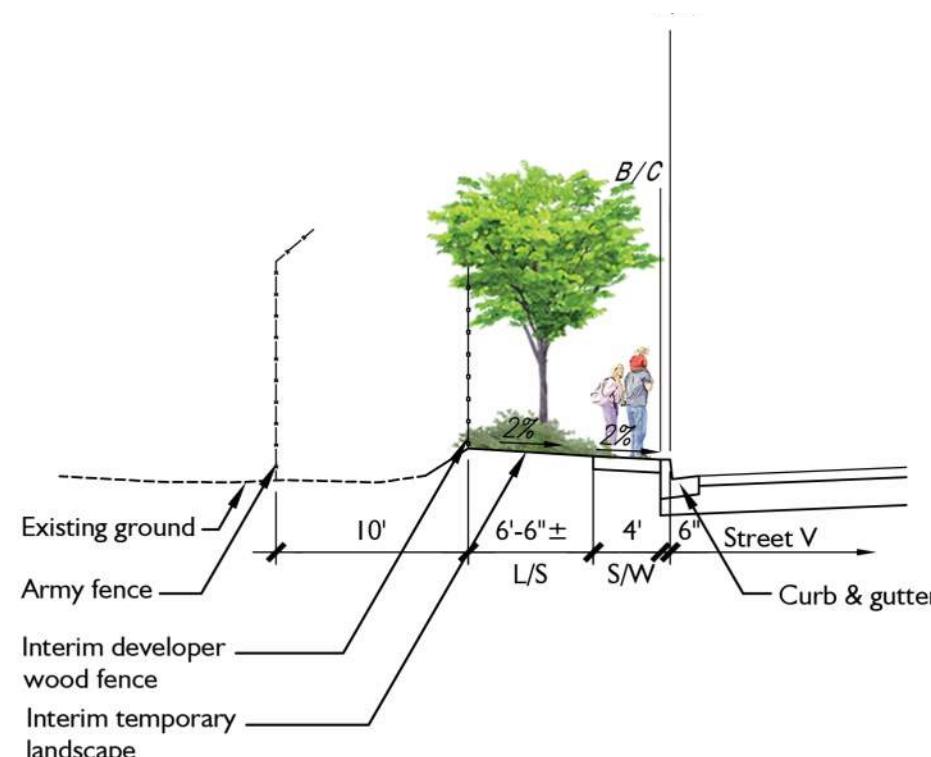




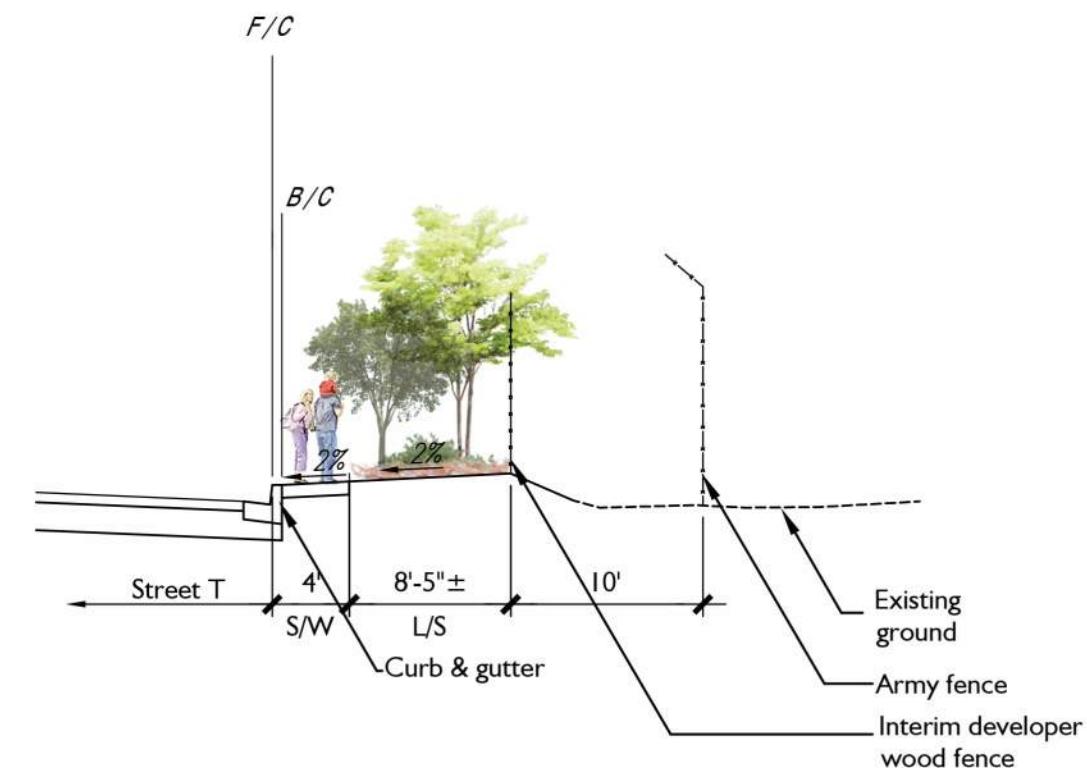
**SECTION A NEIGHBORHOOD PARK**  
NTS



**SECTION B PARKING ADJACENT TO PARK**  
NTS

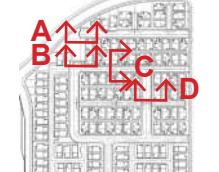


**SECTION C STREET V**  
NTS



**SECTION D STREET T**  
NTS

BOULEVARD phases 2-3



INTERIM SECTIONS  
NEIGHBORHOOD 11,12&18

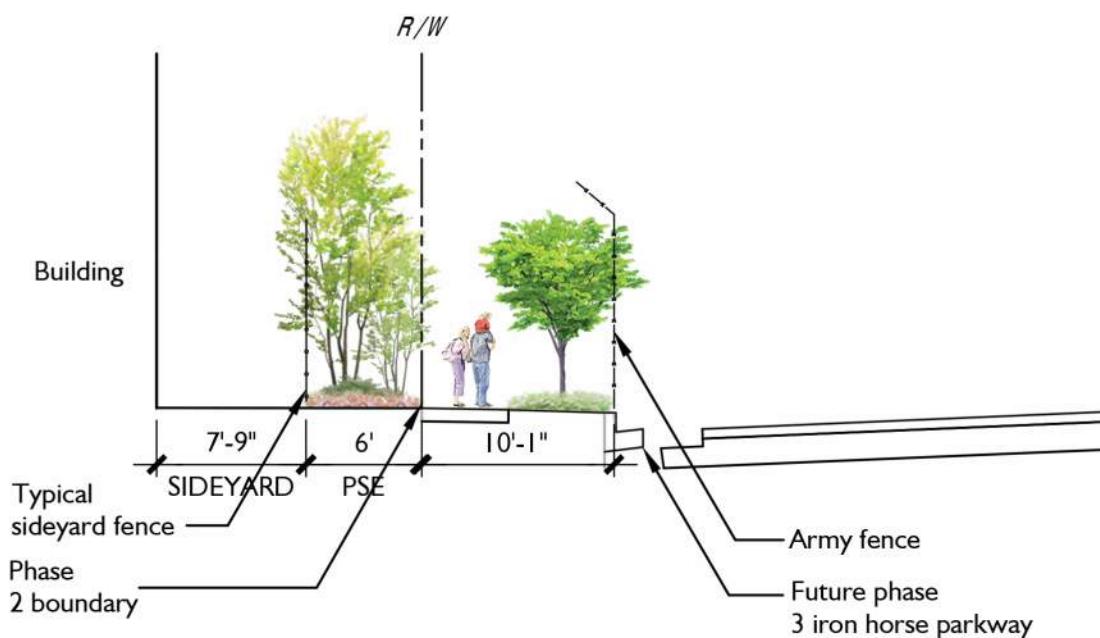
APRIL 11, 2017

L 4.8

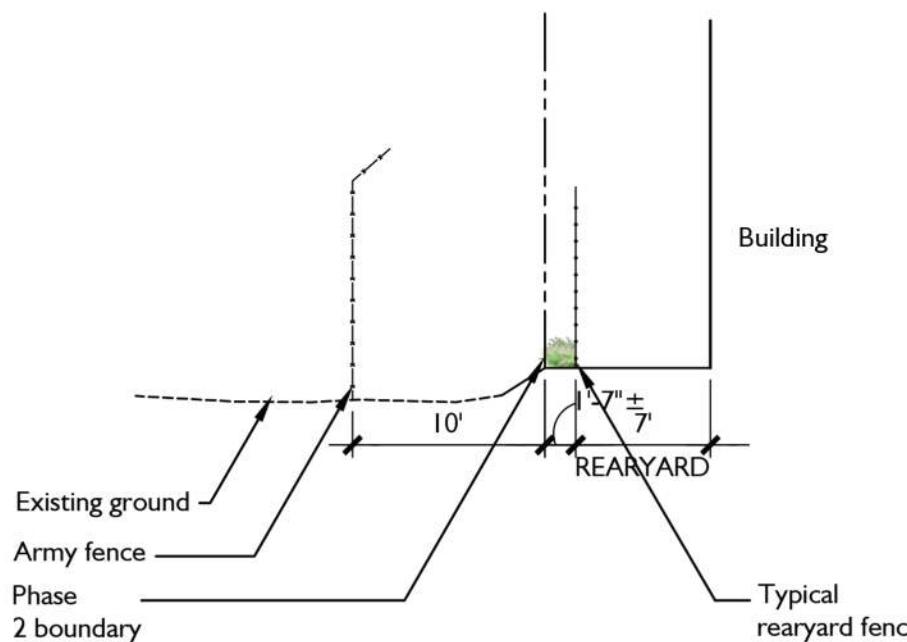
BOULEVARD phases 2-3



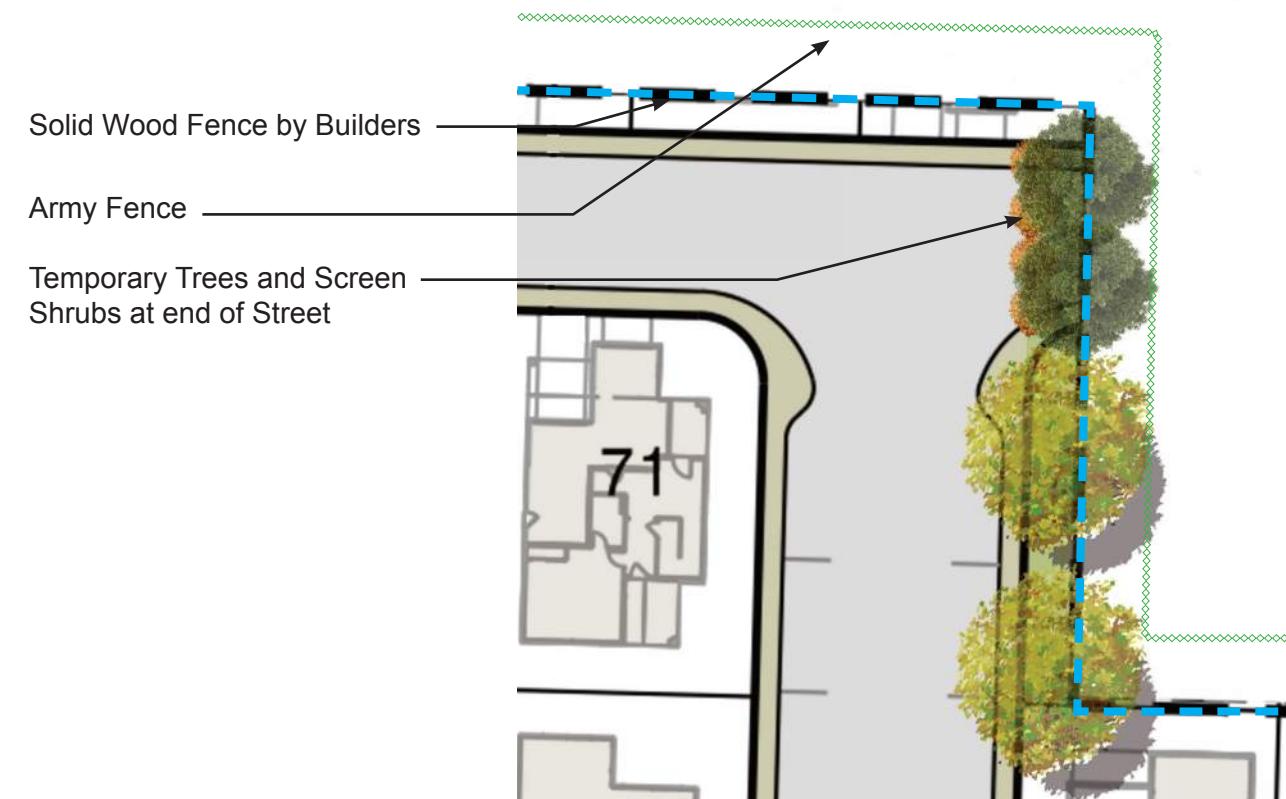
INTERIM CONDITION AT IRON HORSE PARKWAY  
NTS



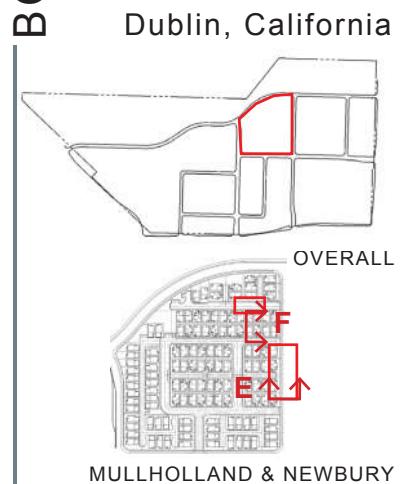
SECTION E IRON HORSE PARKWAY  
NTS



SECTION F REAR YARD  
NTS



INTERIM CONDITION AT V STREET  
NTS

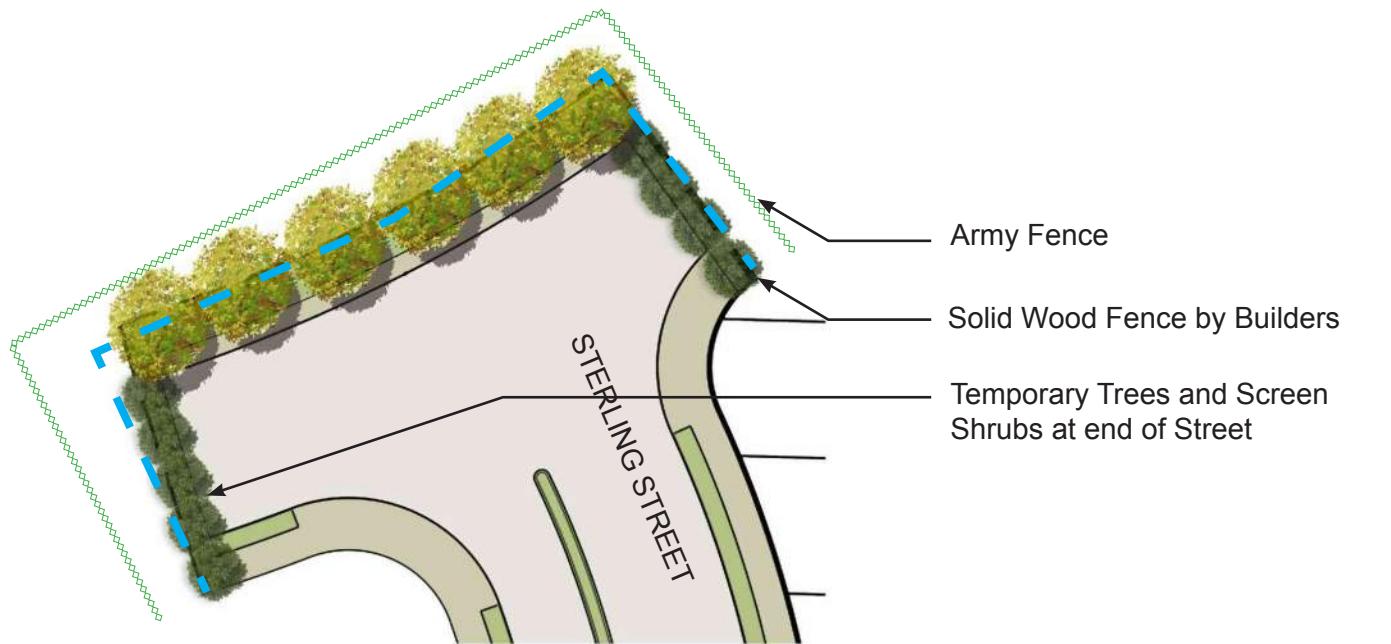


OVERALL  
MULLHOLLAND & NEWBURY

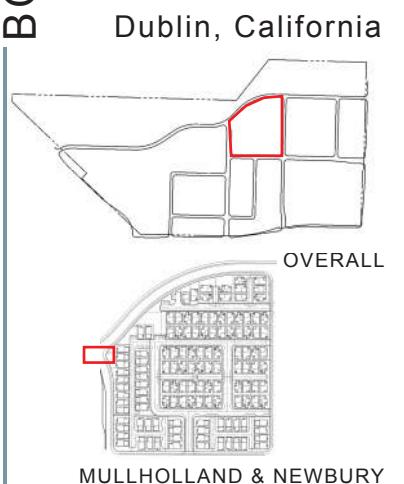


INTERIM SECTIONS  
NEIGHBORHOOD 11,12&18

---

BOULEVARD phases 2-3


**INTERIM CONDITION AT STERLING STREET AND HORIZON PARKWAY**  
NTS



**INTERIM SECTIONS**  
NEIGHBORHOOD 11,12&18

APRIL 11, 2017

**L4.10**



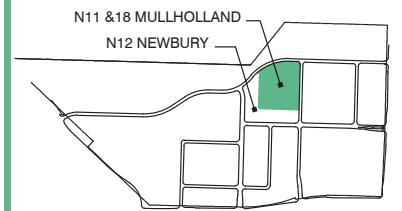
WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N11 & N18  
MULLHOLAND

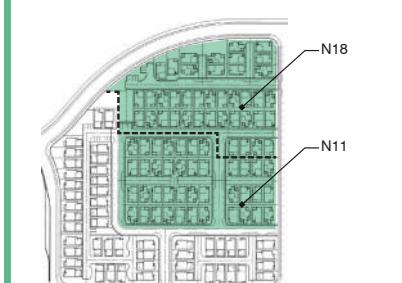
phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



OVERALL



N11 & N18 - MULLHOLAND

STREETSCENE

0 2 4 8 12 FEET

APRIL 11, 2017

A4.11.SS



PLAN 3A  
COLOR SCHEME #6

PLAN 2C  
COLOR SCHEME #2

PLAN 1B  
COLOR SCHEME #1

Optional 3rd Story Deck  
With Upgraded Garage Door



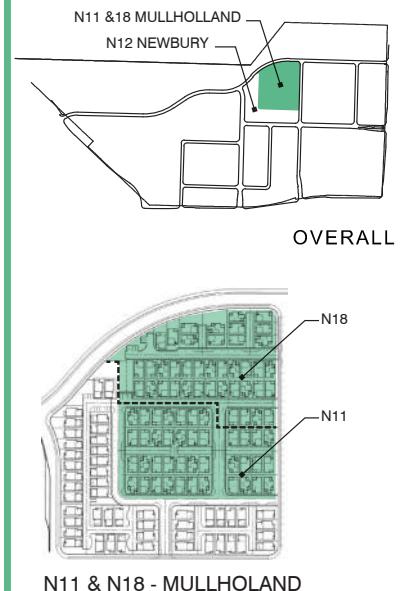
WILLIAM HEZMALHALCH  
A R C H I T E C T S I N C.

N11 & N18  
MULLHOLAND

phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA

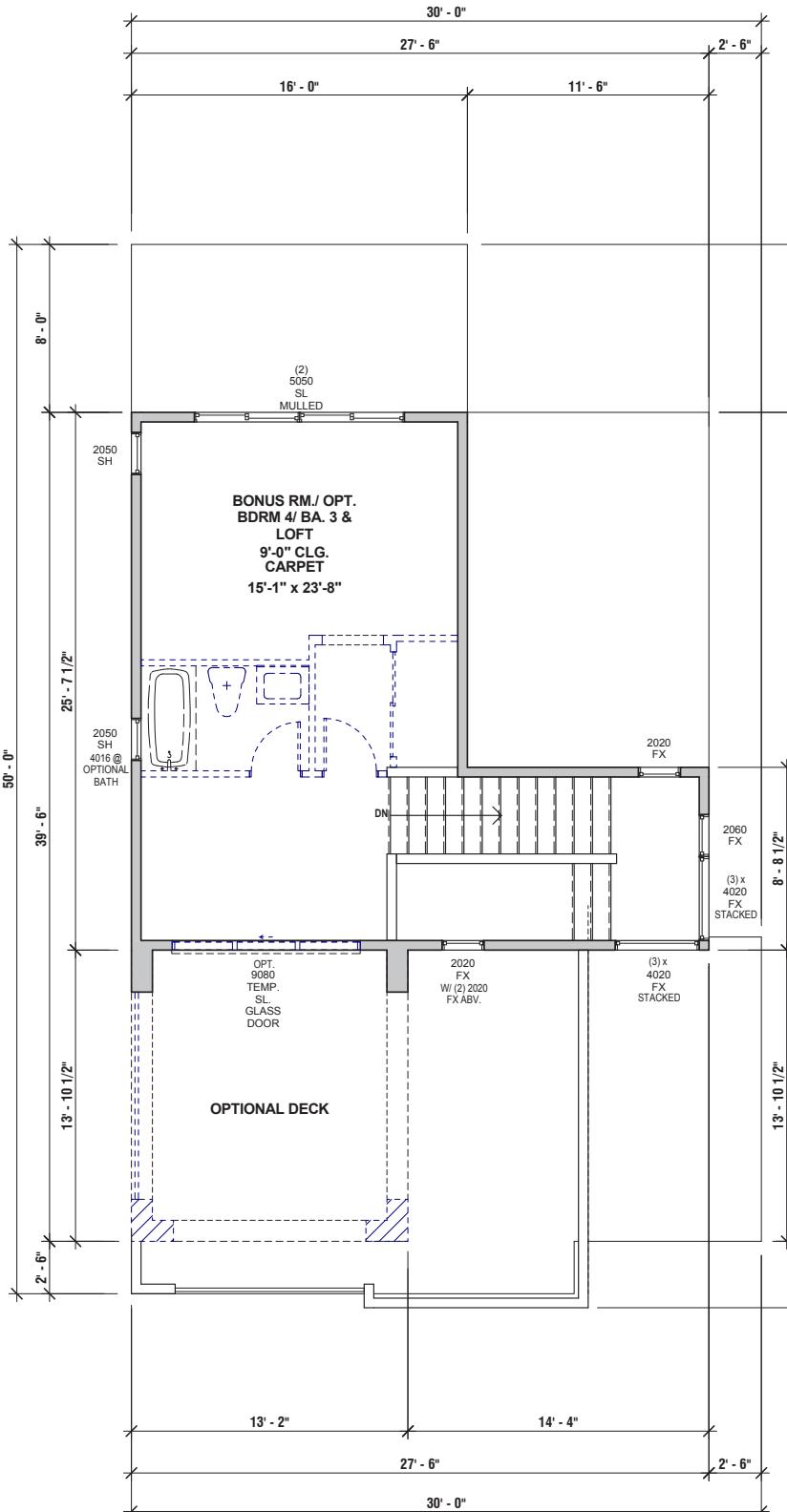


PLAN 1  
FLOOR PLANS

0 2 4 8 12 FEET

APRIL 11, 2017

A4.11.1



THIRD FLOOR | 1/4" = 1'-0" | 3 | 418 SF

OCCUPANCY TYPE:

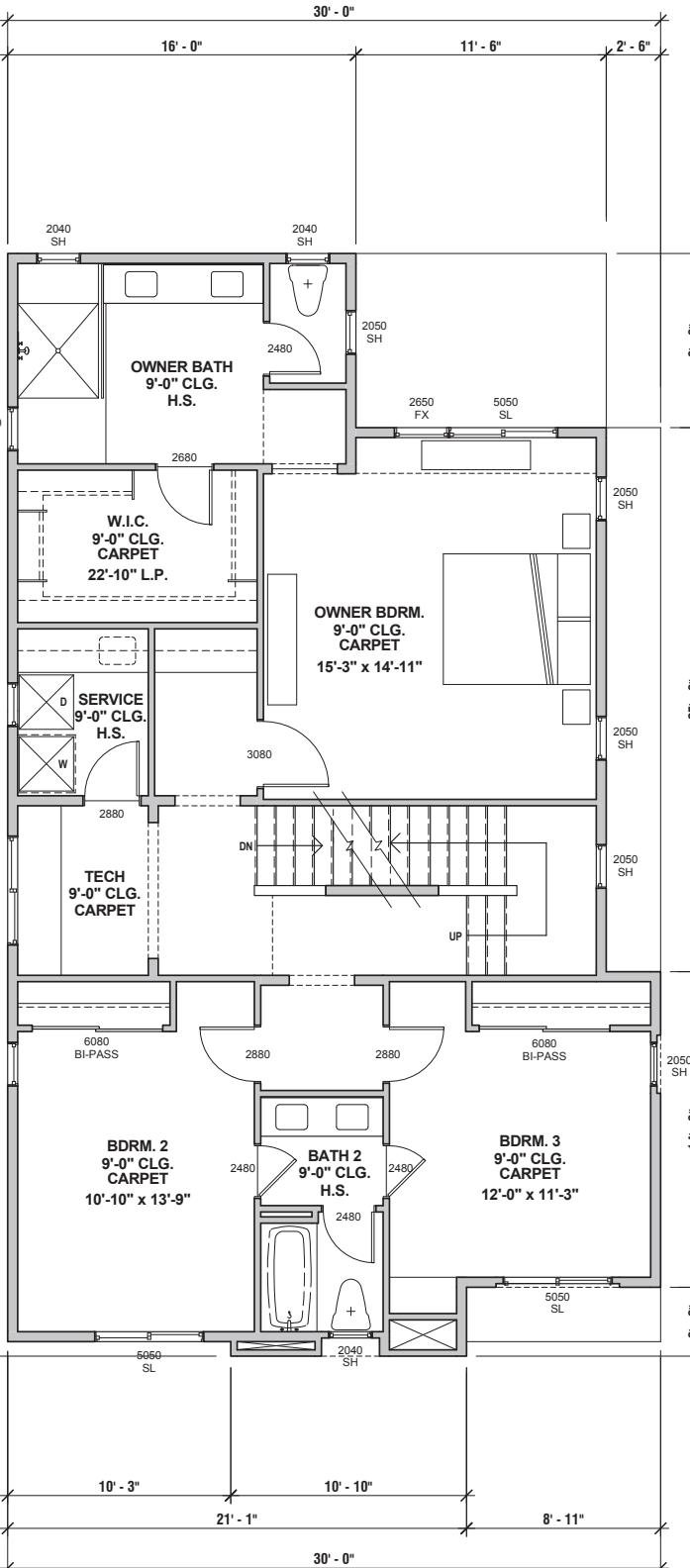
R-3

CONSTRUCTION TYPE:

V-B

FIRE SPRINKLER SYSTEM:

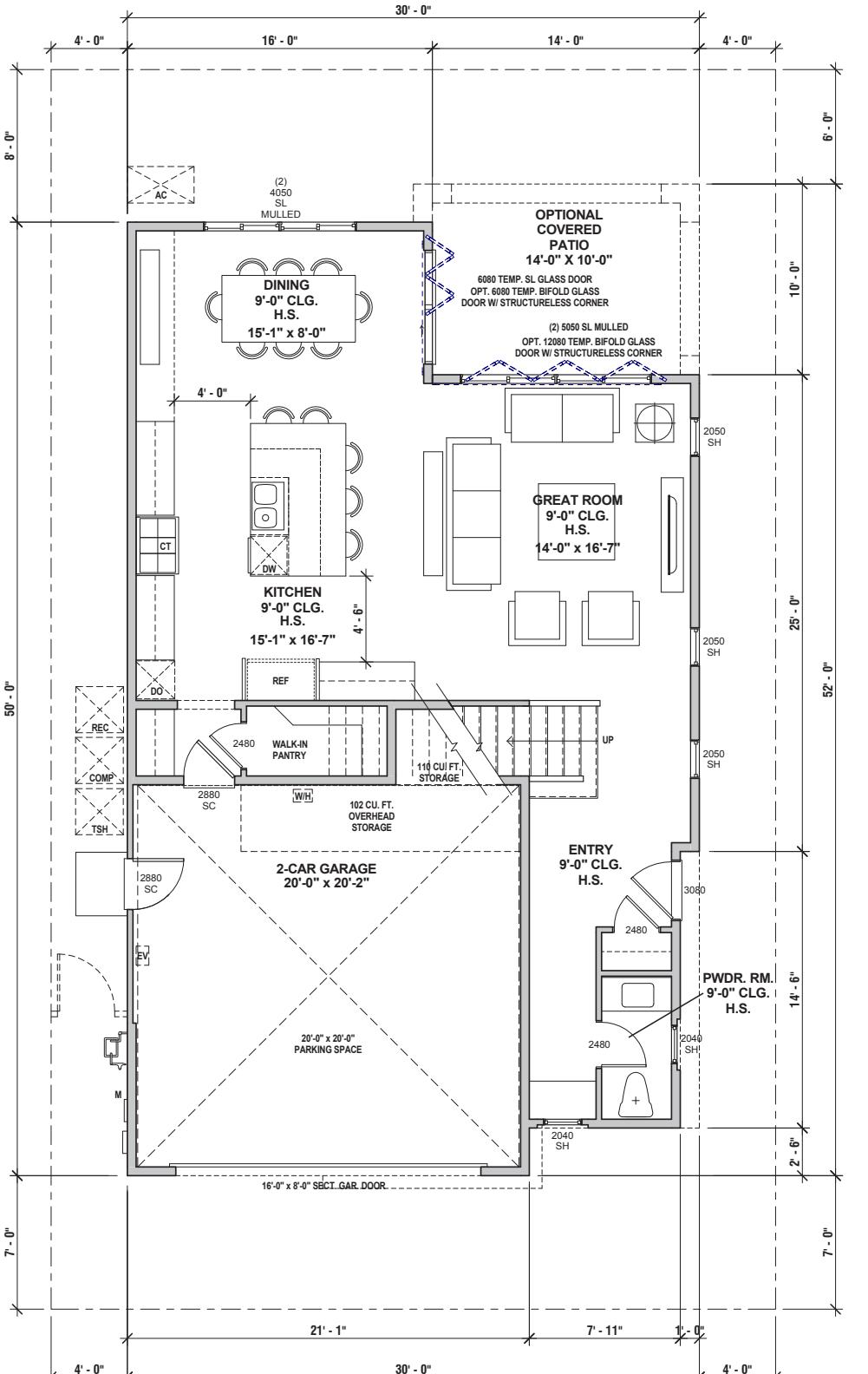
NFPA 13D



SECOND FLOOR | 1/4" = 1'-0" | 2 | 1,300 SF

STORAGE SUMMARY: (200 c.f. Min.)

110 c.f. Garage Under Stairs Storage  
102 c.f. Garage Overhead Storage  
212 c.f. Total Storage



FIRST FLOOR | 1/4" = 1'-0" | 1 | 900 SF

LEGEND

EV	240V, 40A Outlet & Space for EV Charger
W/H	Tankless Water heater
TSH	Trash
REC	Recycle
COMP	Compost
AC	AC Pad
M	Utility Meters
W	Washer
D	Dryer
REF	Refrigerator
CT	Cook-Top
DO	Double-Oven
DW	Dishwasher

PLAN 1 - 2,618 SF  
3 Bedroom, 2 1/2 Bath,  
2-Car Garage, Bonus Room

PLAN 1 (Elevation A)  
Shown

LOT SIZE: 38'-0"/61'-0"



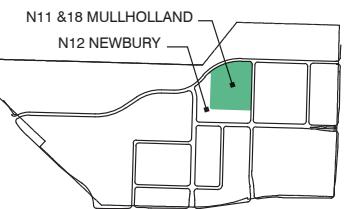
WILLIAM HEZMALHALCH  
A R C H I T E C T S I N C.

N11 & N18  
MULLHOLAND

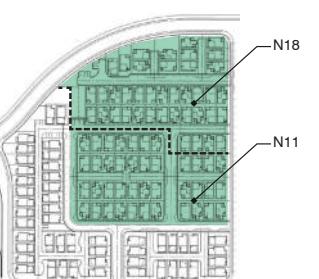
phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



OVERALL



N11 & N18 - MULLHOLAND

PLAN 1  
FLOOR PLAN - UDO

0 2 4 8 12 FEET

#### UNIVERSAL DESIGN KEYNOTES

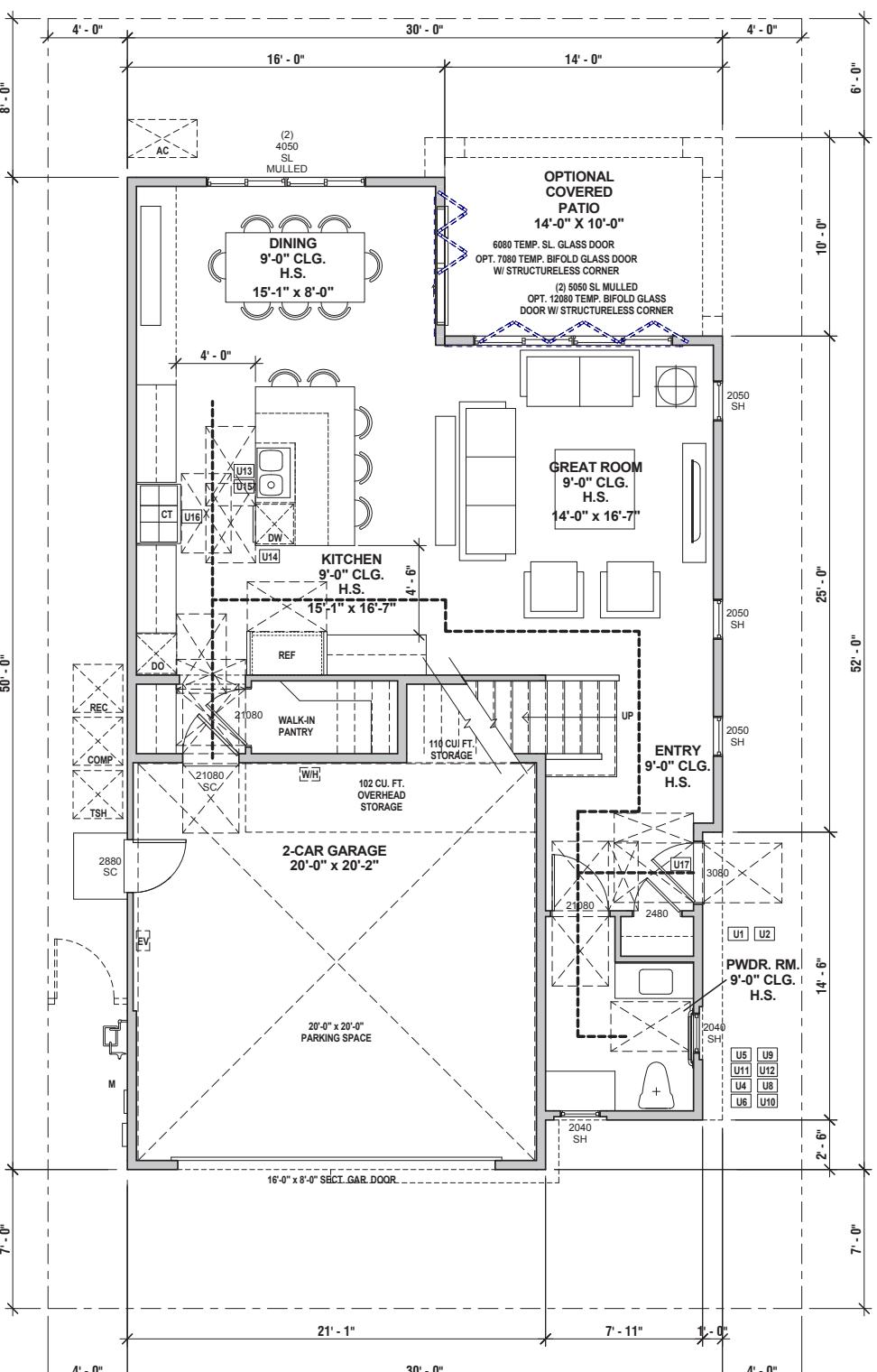
- U1** MANDATORY TO INSTALL: PROVIDE DOORBELL MOUNTED BETWEEN 42" AND 48" FROM FINISHED FLOOR AT ENTRY DOOR.
- U2** MANDATORY TO OFFER: EYEHOLE AT ENTRY DOOR MOUNTED BETWEEN 42" AND 44" FROM FINISHED FLOOR.
- U3** MANDATORY TO OFFER: OPTIONAL REMOVABLE RAMP TO FRONT DOOR CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- U4** MANDATORY TO INSTALL: GRAB BAR REINFORCEMENT FOR WATER CLOSET (TOILET) AND SHOWER OR BATHTUB AT PRIMARY FLOOR POWDER ROOM/BATHROOM CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- U5** MANDATORY TO INSTALL: FAUCETS AND HANDLES NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- U6** MANDATORY TO OFFER: CLEAR SPACE IN THE BATH OR POWDER ROOM CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A, OR OUTSIDE OF THE SWING OF THE DOOR AND EITHER A 48" DIA. CIRCLE, 48" X 60" RECTANGLE OR 60" DIA. CIRCLE AT THE OPTION OF THE PURCHASER/ OWNER.
- U7** MANDATORY TO OFFER: A BATHTUB OR SHOWER MEETING THE REQUIREMENTS OF ANSI A117.1
- U8** MANDATORY TO OFFER: GRAB BARS INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A FOR THE WATER CLOSET (TOILET), SHOWER/BATH, OR LAVATORY, OR ANY COMBINATION THEREOF, AT THE OPTION OF THE PURCHASER/ OWNER.
- U9** MANDATORY TO OFFER: LAVATORY OR SINK INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- U10** MANDATORY TO OFFER: WATER CLOSET (TOILET) INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- U11** MANDATORY TO OFFER: REMOVABLE CABINETS UNDER THE LAVATORY/SINK.
- U12** MANDATORY TO OFFER: WHERE INSTALLED, MIRROR AND TOWEL BARS AT ACCESSIBLE POWERS OR BATHS CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- U13** MANDATORY TO INSTALL: KITCHEN SINK CONTROLS NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- U14** MANDATORY TO OFFER: AT KITCHEN, ONE OR MORE OF THE FOLLOWING AT THE PURCHASER/ OWNER'S OPTION, AT LEAST A 30" X 48" CLEAR SPACE IN FRONT OF THE SINK (COUNTING OPEN ACCESS UNDERNEATH, IF AVAILABLE) OR AT LEAST ONE 18" WIDE BREADBOARD AND/ OR AT LEAST 18" IN COUNTER SPACE AT A 34" HEIGHT OR AND COMBINATION THEREOF, A 30" X 48" CLEAR SPACE IN FRONT OF REFRIGERATOR, DISHWASHER AND ANY OTHER MAJOR KITCHEN APPLIANCE AT THE OPTION OF THE PURCHASER/ OWNER.
- U15** MANDATORY TO OFFER: ADJUSTABLE SINK AND/ OR REMOVABLE UNDER-SINK CABINETS CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- U16** MANDATORY TO OFFER: HOOD FAN CONTROLS AT LIGHT SWITCH LEVEL OR LOWER LEVEL.
- U17** MANDATORY TO OFFER: ACCESSIBLE INTERIOR ROUTE CONSISTENT WITH THE REQUIREMENTS OF ORDINANCE NO. 21-07 CITY OF DUBLIN MUNICIPAL CODE 7.90.070 INTERIOR ROUTES INSTALLED AT THE REQUEST AND COST OF THE PURCHASER/ OWNER.

#### NOTES

REFER TO SHEET GN-1 AND CITY OF DUBLIN ORDINANCE 21-07 FOR A COMPREHENSIVE LIST OF ALL REQUIREMENTS AND REGULATIONS RELATED TO THIS UNIVERSAL DESIGN OPTION.

MANDATORY TO INSTALL:

1. HAND-ACTIVATED DOOR HARDWARE NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
2. ROCKER LIGHT SWITCHES AND CONTROL OR LIGHT SWITCHES AND CONTROLS MEETING THE REQUIREMENTS OF ANSI A117.1 OR THE CBC CHAPTER 11A.
3. THE INSTALLATION OF ALL RECEPTACLES OUTLETS, LIGHTING CONTROLS AND ENVIRONMENTAL CONTROLS THROUGHOUT THE RESIDENTIAL DWELLING UNIT MUST COMPLY WITH THE CBC CHAPTER 11A OR APPLICABLE PROVISIONS OF THE CALIFORNIA ELECTRICAL CODE.



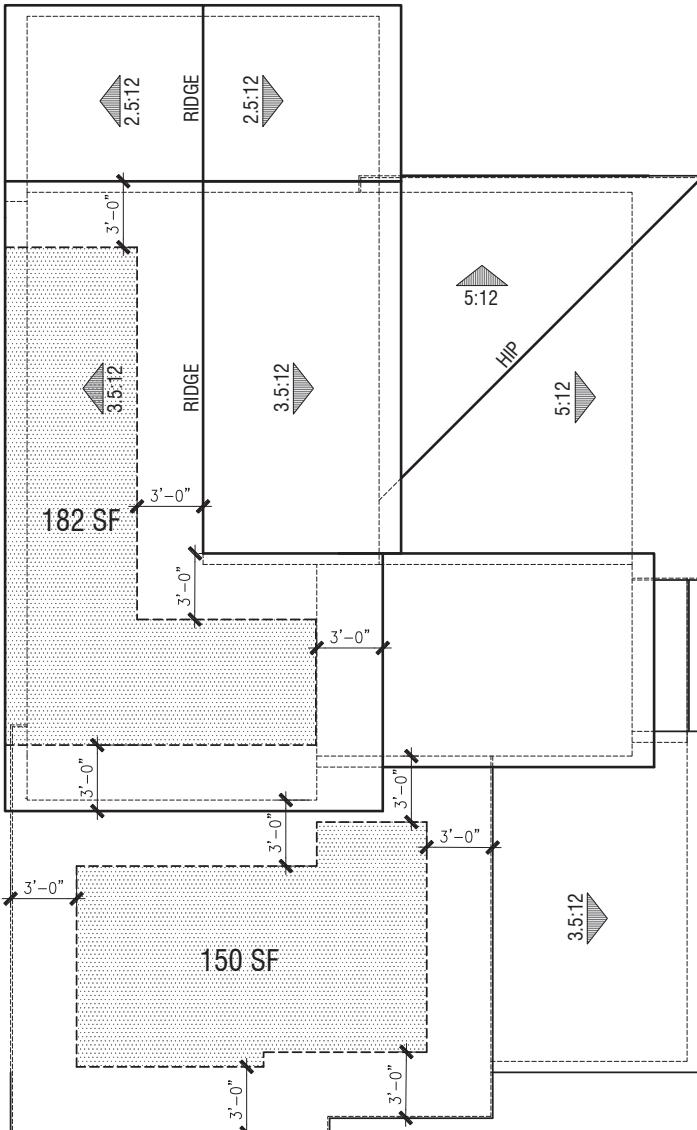
FIRST FLOOR (UNIVERSAL DESIGN)

1

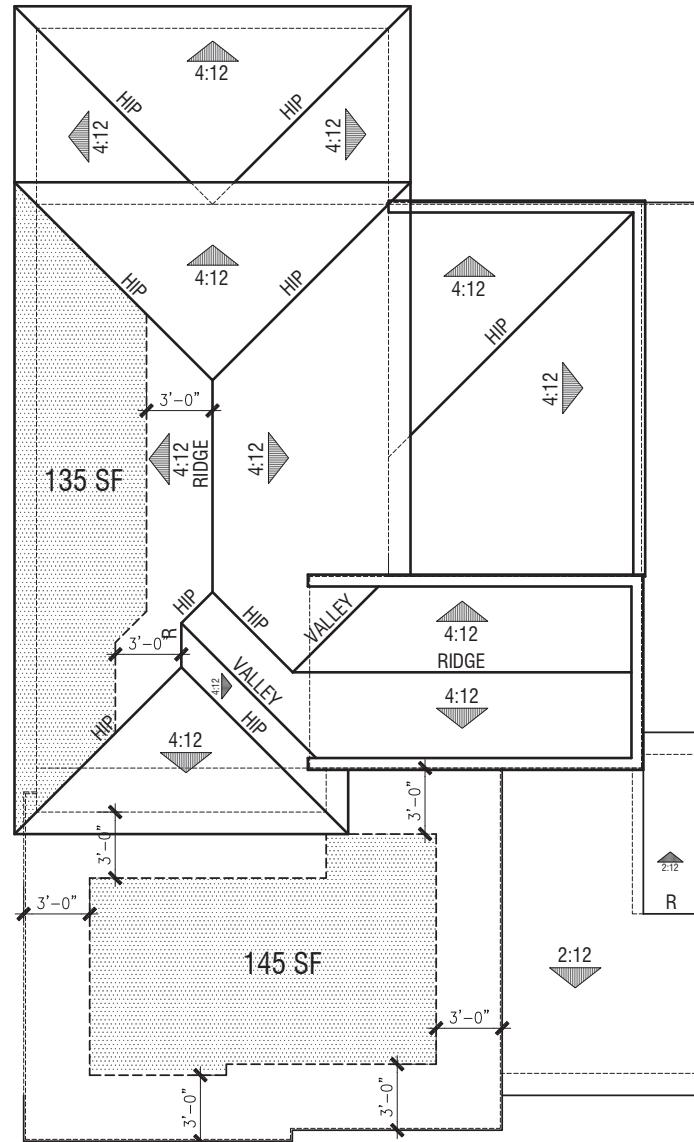
900 SF

APRIL 11, 2017

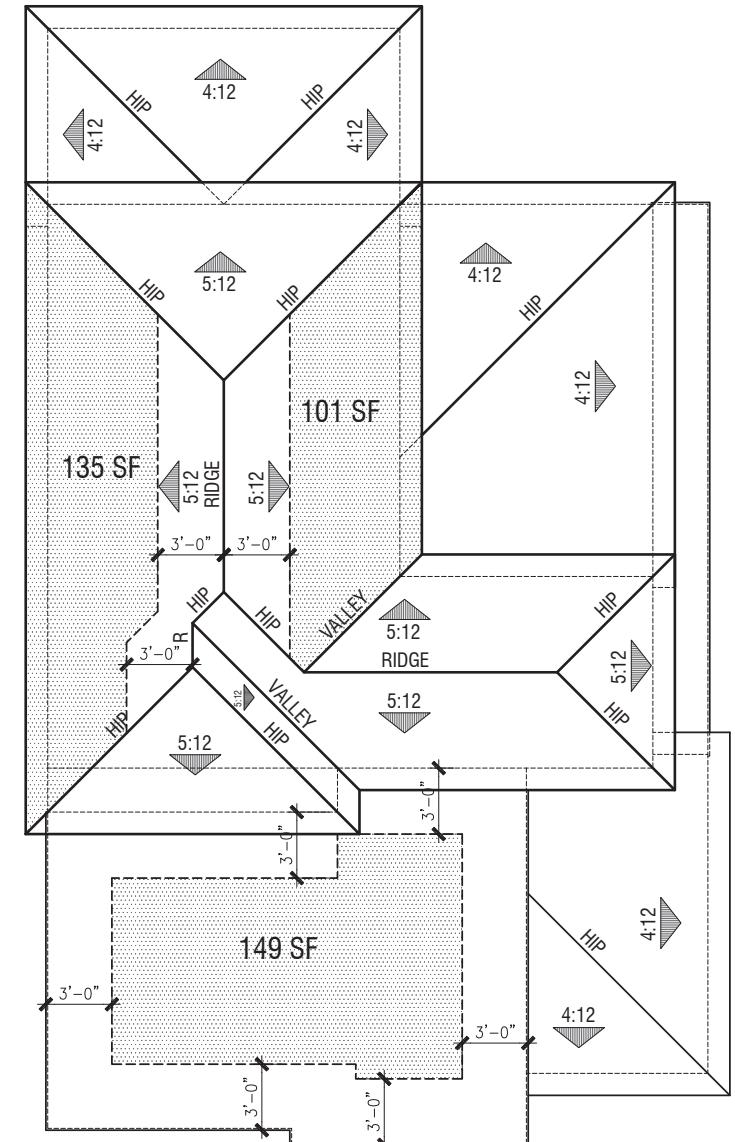
A4.11.2



Roof Plan C

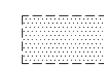


Roof Plan B  
Enhanced



Roof Plan A

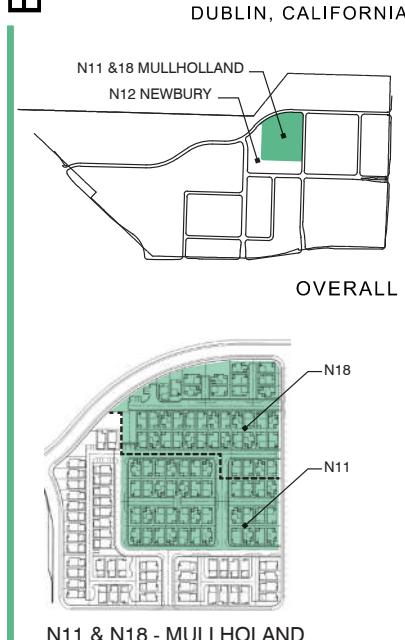
Note: Solar Panel location will be provided based on unit plotting  
Solar Ready Zone to be 250 square feet  
Reference CA Energy Code Sec. 110.10  
Exception 7 to be taken where solar is not possible



Solar Zone

Plan A	385 SF
Plan B	280 SF
Plan C	332 SF

BOULEVARD phases 2-3



PLAN 1  
ROOF PLANS

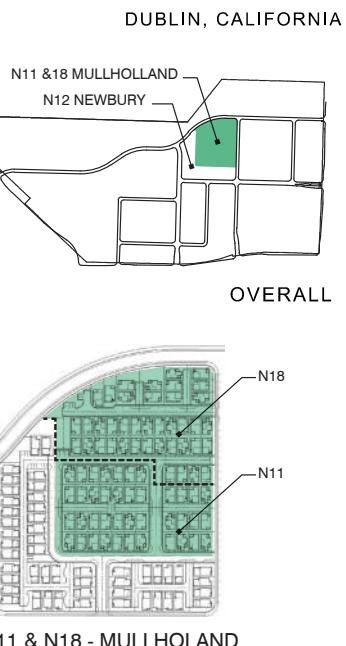
0 2 4 8 12 FEET

APRIL 11, 2017

A4.11.3

phases 2-3

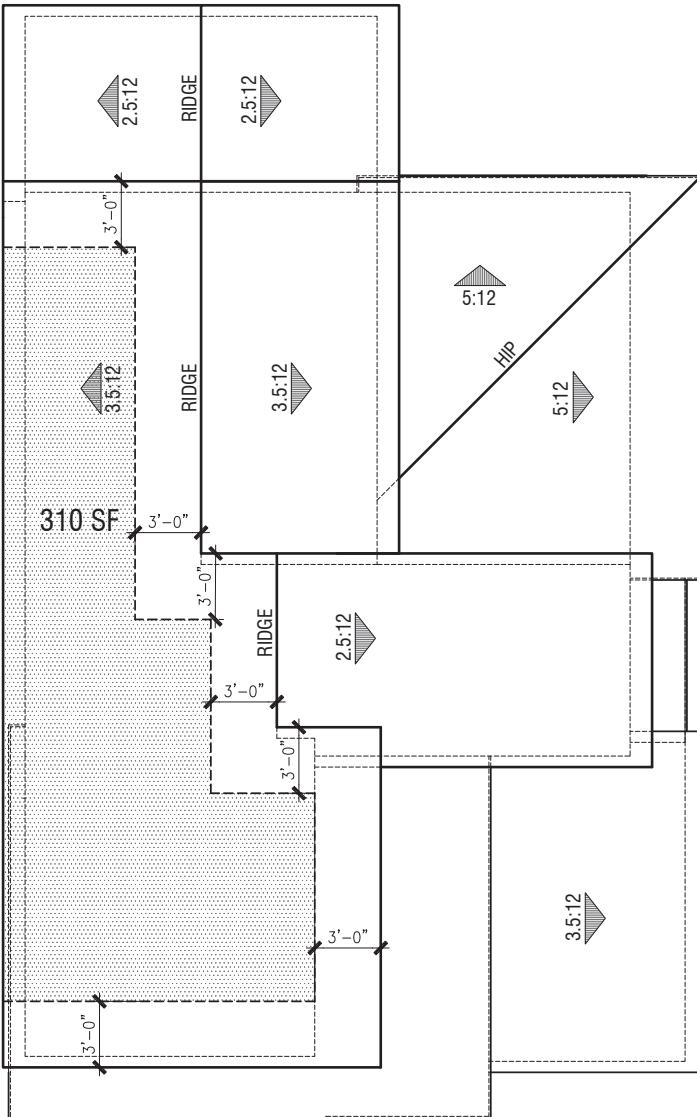
## BOULEVARD



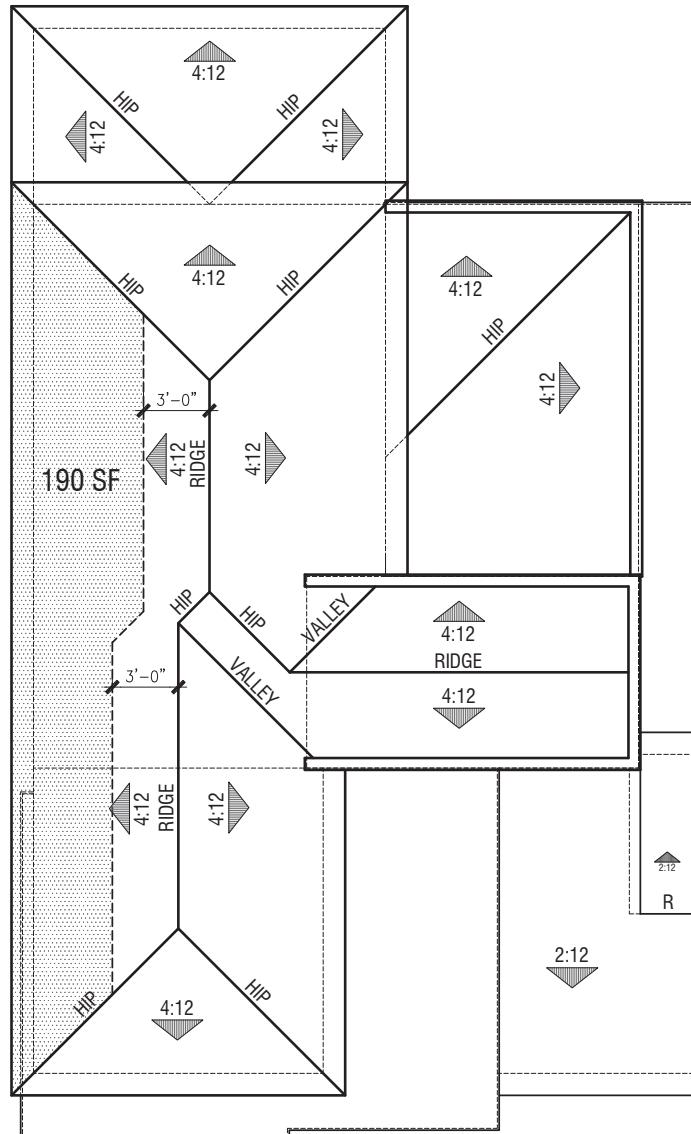
PLAN 1  
DECK OPT. ROOF PLANS

0 2 4 8 12 FEET

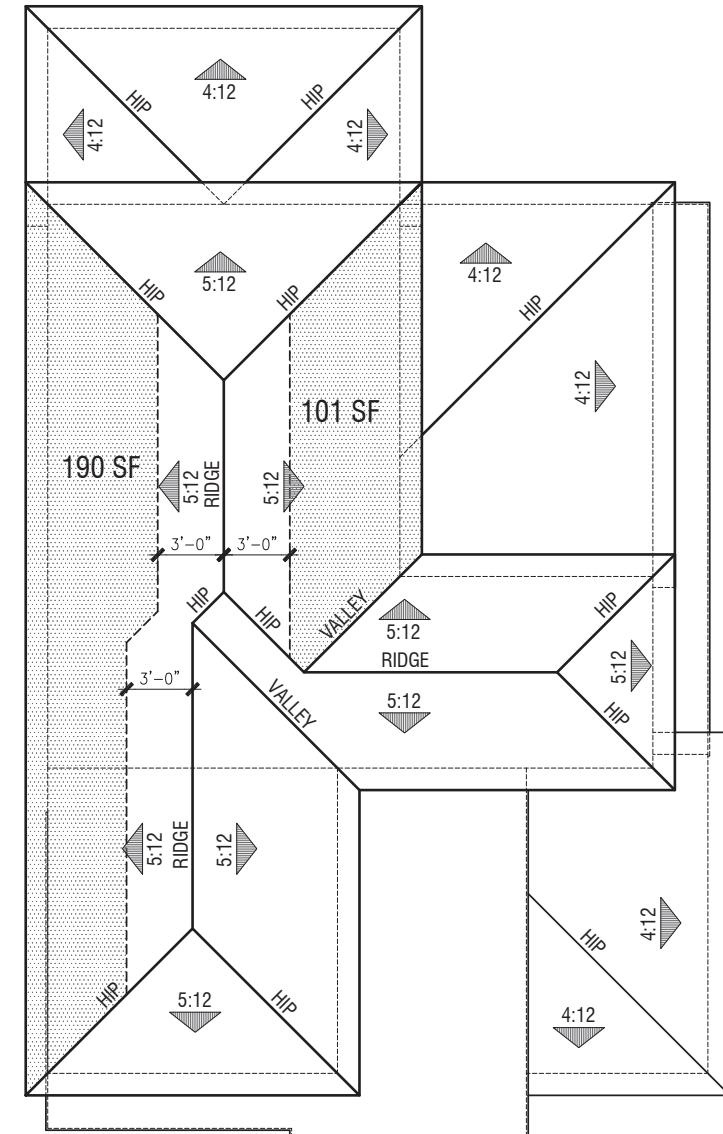
APRIL 11, 2017  
**A4.11.4**



Roof Plan C  
Deck Opt.



Roof Plan B  
Enhanced Deck Opt.



Roof Plan A  
Deck Opt.

Note: Solar Panel location will be provided based on unit plotting  
Solar Ready Zone to be 250 square feet  
Reference CA Energy Code Sec. 110.10  
Exception 7 to be taken where solar is not possible



Solar Zone

Plan A	291 SF
Plan B	190 SF
Plan C	310 SF



WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N11 & N18  
MULLHOLAND

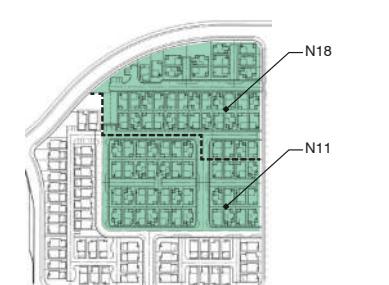
phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



OVERALL



N11 & N18 - MULLHOLAND

PLAN 1  
FRONT ELEVATIONS

0 2 4 8 12 FEET

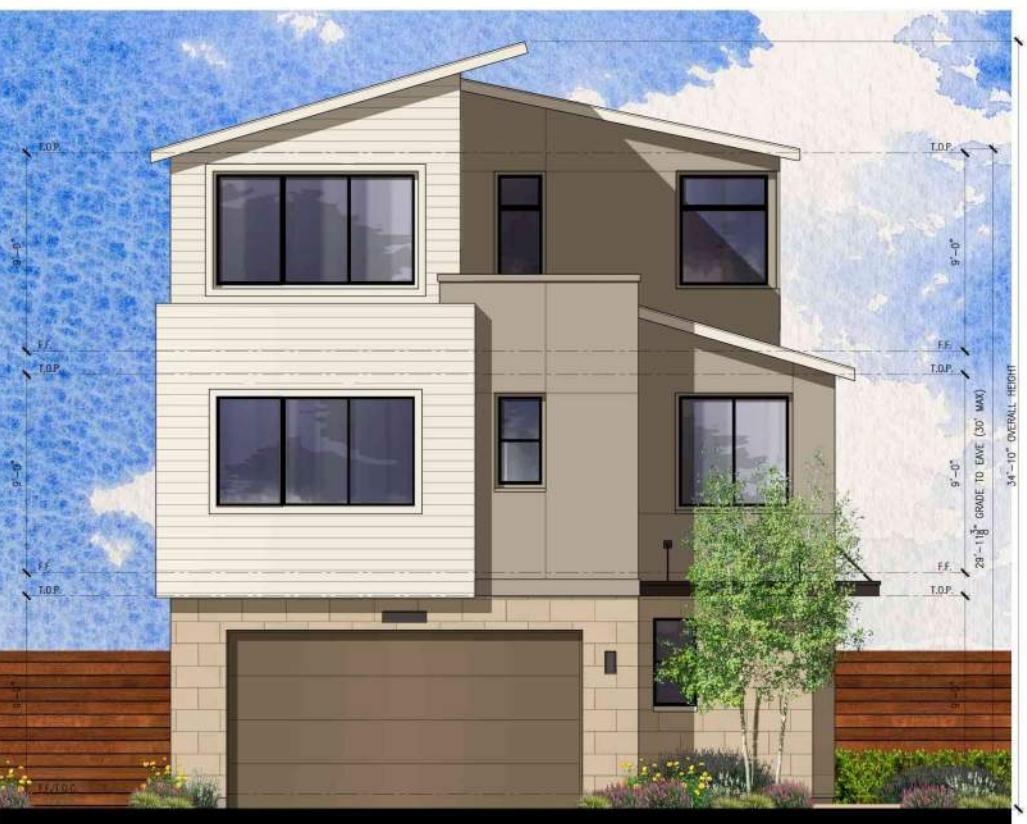
APRIL 11, 2017

A4.11.5



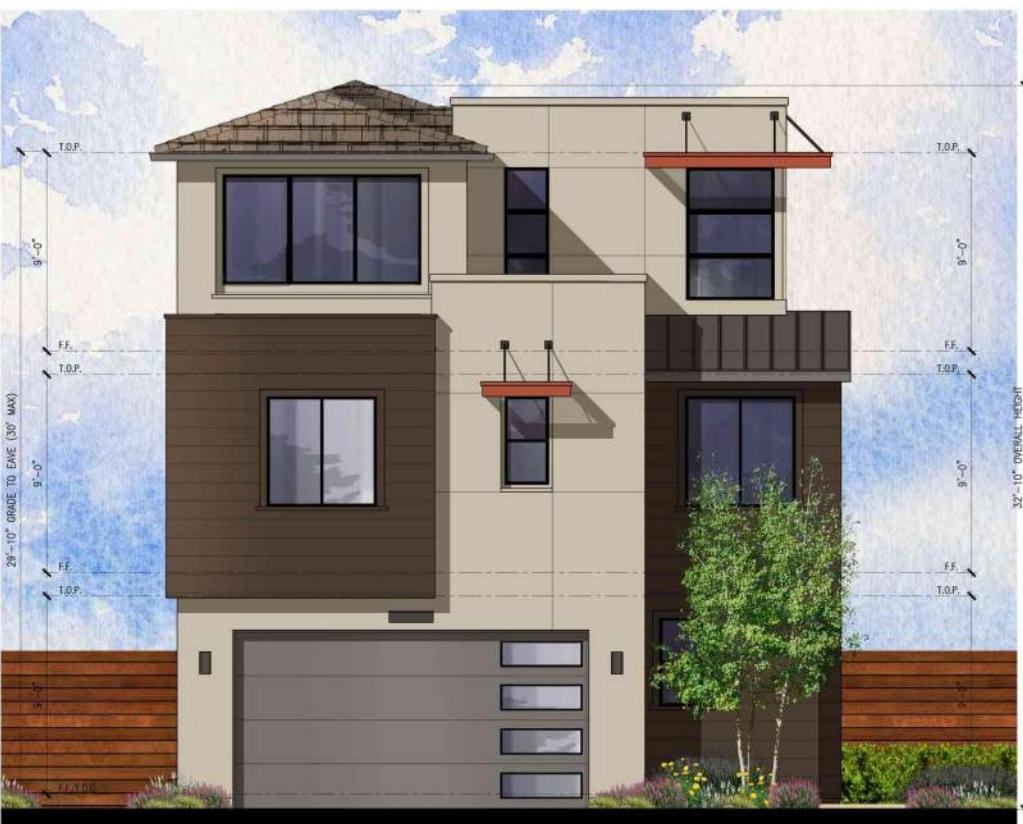
COLOR SCHEME #1

Elevation 1A



COLOR SCHEME #4

Elevation 1C



COLOR SCHEME #3

Elevation 1B



WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N11 & N18  
MULLHOLAND

phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



OVERALL



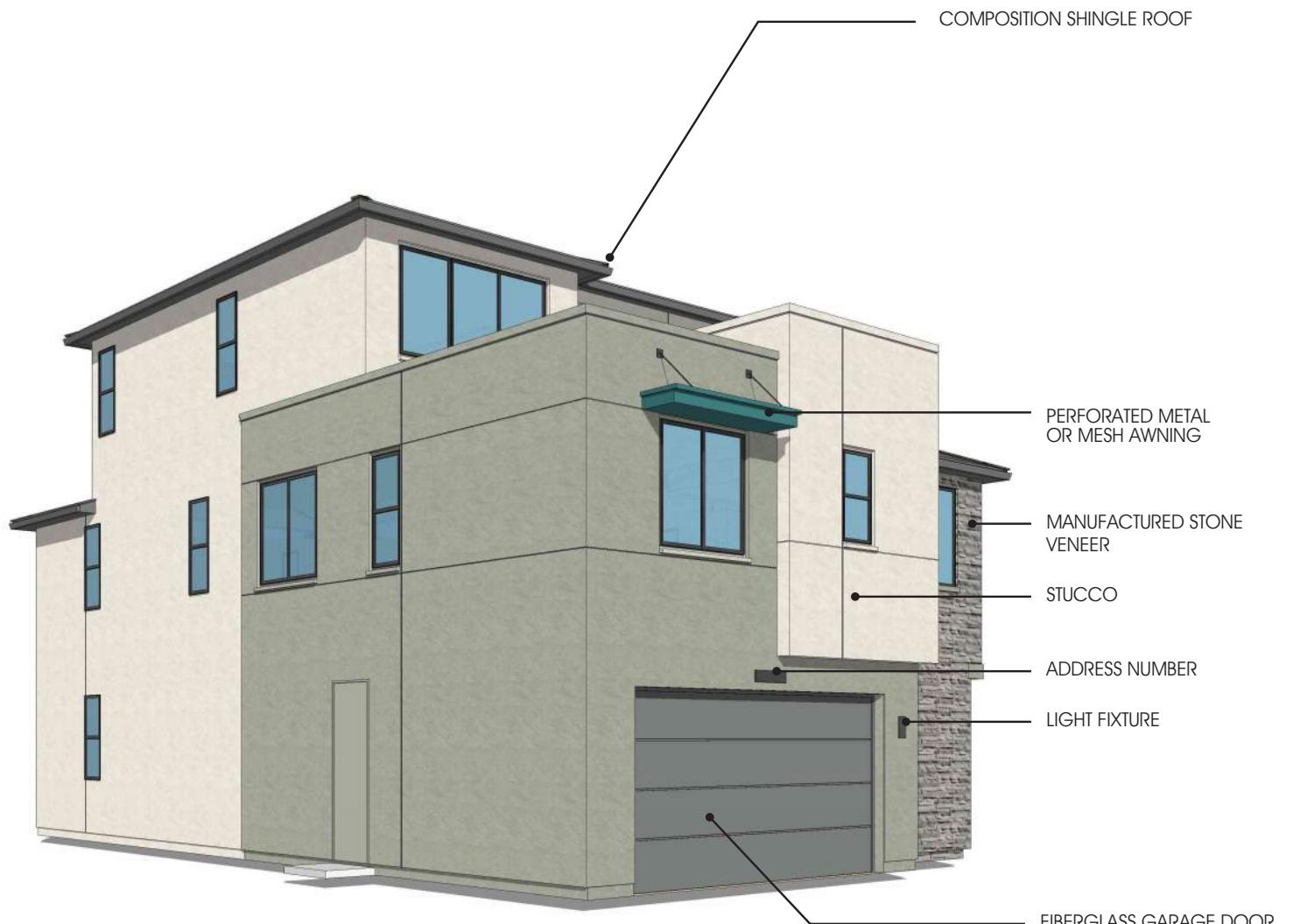
N11 & N18 - MULLHOLAND

PLAN 1  
TYPICAL ISOMETRIC VIEW

0 2 4 8 12 FEET

APRIL 11, 2017

A4.11.6



PLAN 1A  
FRONT LEFT INTERIOR  
COLOR SCHEME #1



PLAN 1A  
FRONT RIGHT CORNER  
COLOR SCHEME #1



WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N11 & N18  
MULLHOLAND

phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA

OVERALL

N11 &18 MULLHOLLAND  
N12 NEWBURY

N11 - MULLHOLAND

PLAN 1 'A'  
EXTERIOR ELEVATIONS

0 2 4 8 12 FEET

APRIL 11, 2017

A4.11.7



Right



Rear



Left



Front

#### 1A - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 1

- 1. COMPOSITION SHINGLE ROOFING
- 2. STUCCO: SAND FINISH W/ REGLET BREAKUPS
- 3. STONE: ELDORADO EUROPEAN LEDGE
- 4. FIBERGLASS FRONT ENTRY DOOR
- 5. FIBERGLASS GARAGE DOOR W/ FACTORY PAINT FINISH
- 6. VINYL WINDOWS W/ FACTORY PAINT FINISH
- 7. EXTERIOR LIGHT
- 8. ADDRESS NUMBERS
- 9. SIDING: 10" EXPOSURE FIBERCEMENT



WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N11 & N18  
MULLHOLAND

phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



PLAN 1 'A'  
WITH OPTIONAL DECK

0 2 4 8 12 FEET

APRIL 11, 2017

A4.11.8



Right



Left



Front

**1A - ELEVATIONS: COLOR SCHEME 1**

1. SHOWN WITH OPTIONAL DECK AND METAL RAILING
2. OPT. FIBERGLASS GARAGE DOOR W/ GLAZING & FACTORY PAINT FINISH
3. SIDING: 10" EXPOSURE FIBERCEMENT

phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA

OVERALL



N11 & N18 - MULLHOLAND  
PLAN 1 'B'  
EXTERIOR ELEVATIONS

0 2 4 8 12 FEET

APRIL 11, 2017

A4.11.9



Right



Rear



Left



Front

**1B - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 3**

- 1. COMPOSITION SHINGLE ROOFING
- 2. STUCCO: SAND FINISH W/ REGLET BREAKUPS
- 3. SIDING: 10" EXPOSURE FIBERCEMENT
- 4. OPT. FIBERGLASS FRONT ENTRY DOOR W/ GLAZING
- 5. OPT. FIBERGLASS GARAGE DOOR W/ GLAZING & FACTORY PAINT FINISH
- 6. VINYL WINDOWS W/ FACTORY PAINT FINISH
- 7. EXTERIOR LIGHT
- 8. ADDRESS NUMBERS
- 9. METAL AWNING



WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N11 & N18  
MULLHOLAND



Right  
Enhanced Elevation

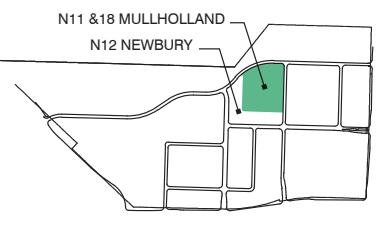


Rear  
Enhanced Elevation

phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



PLAN 1 'B'  
ENHANCED ELEVATIONS

0 2 4 8 12 FEET

APRIL 11, 2017

A4.11.10



WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N11 & N18  
MULLHOLAND

phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



OVERALL



N11 & N18 - MULLHOLAND

PLAN 1 'B'  
WITH OPTIONAL DECK

0 2 4 8 12 FEET

APRIL 11, 2017

A4.11.11



Right



Left



Front

#### 1B - ELEVATIONS: COLOR SCHEME 3

1. SHOWN WITH OPTIONAL DECK AND METAL RAILING



Right



Left



Rear



Front

## 1C - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 4

- |   |   |                    |
|---|---|--------------------|
| 1. COMPOSITION SHINGLE ROOFING            | 5. FIBERGLASS FRONT ENTRY DOOR                    | 9. ADDRESS NUMBERS |
| 2. STUCCO: SAND FINISH W/ REGLET BREAKUPS | 6. FIBERGLASS GARAGE DOOR W/ FACTORY PAINT FINISH | 10. METAL AWNING   |
| 3. SIDING: 6" EXPOSURE FIBERCEMENT        | 7. VINYL WINDOWS W/ FACTORY PAINT FINISH          |                    |
| 4. STONE: ELDORADO ZEN 24 (OR SIMILAR)    | 8. EXTERIOR LIGHT                                 |                    |

phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA

N11 &18 MULLHOLLAND

## OVERALL

N11 & N18 - MULLHOLAND

## PLAN 1 'C' EXTERIOR ELEVATIONS

A horizontal scale bar with tick marks at 0, 2, 4, 8, and 12 feet. The word "FEET" is written in capital letters at the end of the bar.

APRIL 11, 2017

A4.11.12



WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N11 & N18  
MULLHOLAND

phases 2-3

BOULEVARD



Right  
Enhanced Elevation

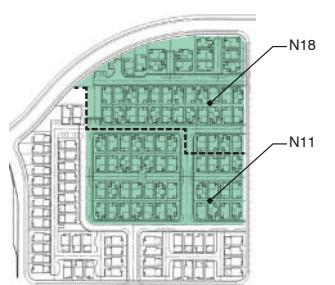


Rear  
Enhanced Elevation

DUBLIN, CALIFORNIA



OVERALL



N11 & N18 - MULLHOLLAND

PLAN 1 'C'  
ENHANCED ELEVATIONS

0 2 4 8 12 FEET

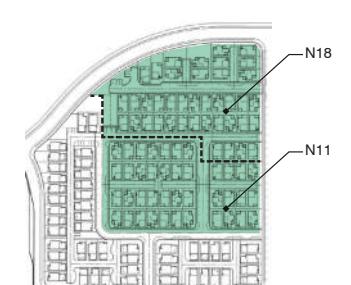
APRIL 11, 2017

A4.11.13

phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



PLAN 1 'C'  
WITH OPTIONAL DECK

0 2 4 8 12 FEET



Right



Left



Front

#### 1C - ELEVATIONS: COLOR SCHEME 4

1. SHOWN WITH OPTIONAL DECK AND METAL RAILING

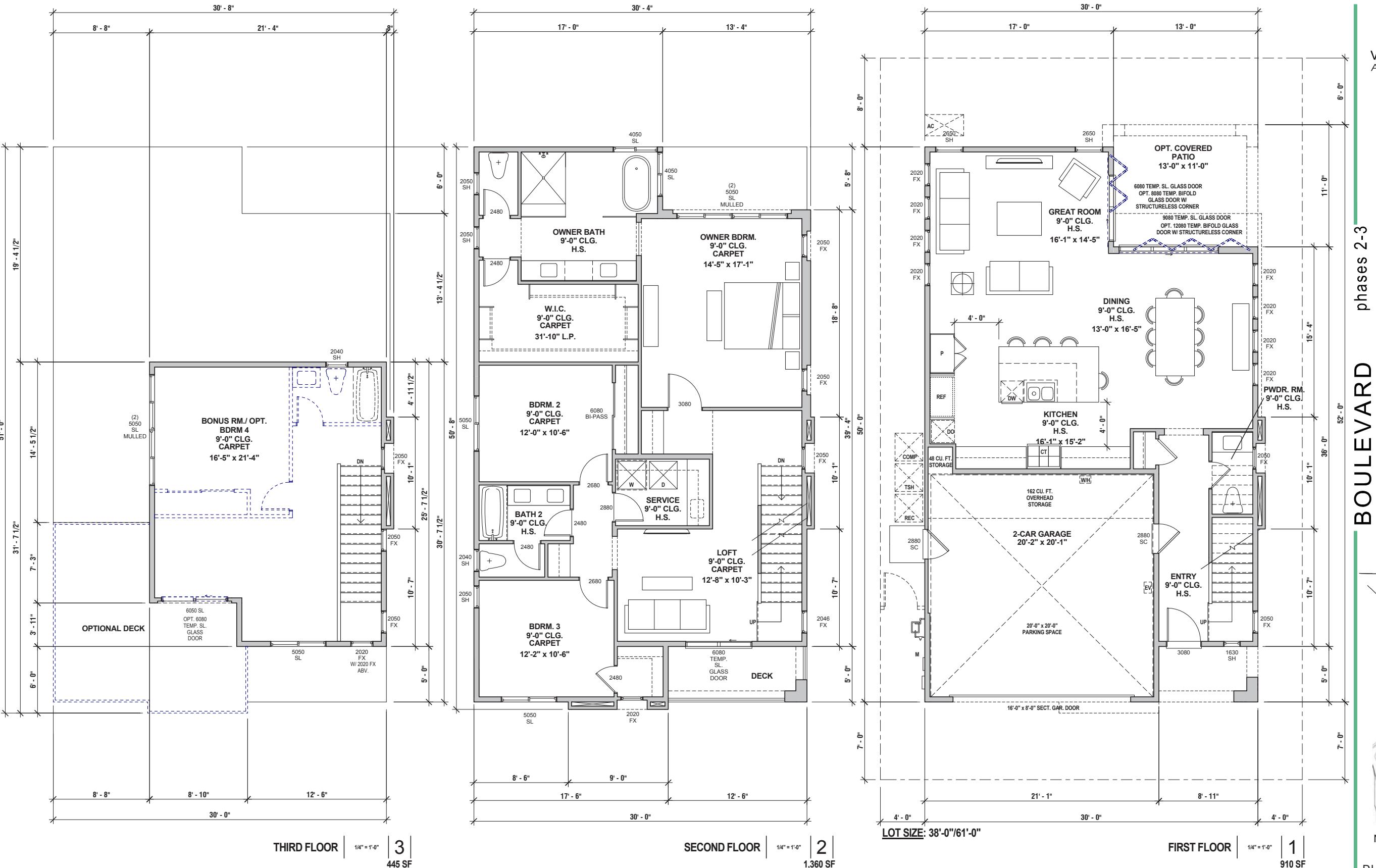
APRIL 11, 2017

A4.11.14



WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N11 & N18  
MULLHOLAND



OCCUPANCY TYPE:

R-3

CONSTRUCTION TYPE:

V-B

FIRE SPRINKLER SYSTEM:

NFPA 13D

STORAGE SUMMARY: (200 c.f. Min.)

48 c.f. Garage Full-Height Storage  
162 c.f. Garage Overhead Storage  
210 c.f. Total Storage

LEGEND

EV	240V, 40A Outlet & Space for EV Charger
D	Dryer
REF	Refrigerator
P	Pantry
DO	Double-Oven
CT	Cook-Top
DW	Dishwasher
AC	AC Pad
M	Utility Meters

PLAN 2 - 2,715 SF  
3 Bedroom, 2.5 Bath,  
2-Car Garage, Bonus Room

PLAN 2 (Elevation A)  
Shown

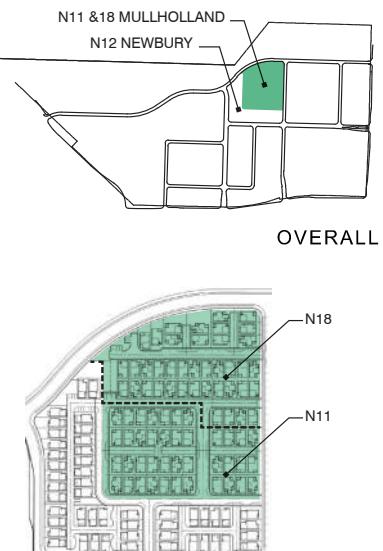
**PLAN 2**  
FLOOR PLANS

0 2 4 8 12 FEET

APRIL 11, 2017

A4.11.15

DUBLIN, CALIFORNIA





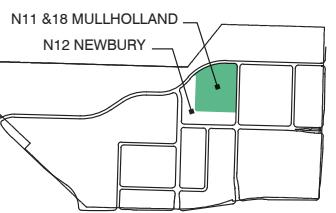
WILLIAM HEZMALHALCH  
A R C H I T E C T S I N C.

N11 & N18  
MULLHOLAND

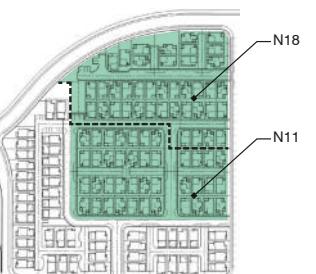
phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



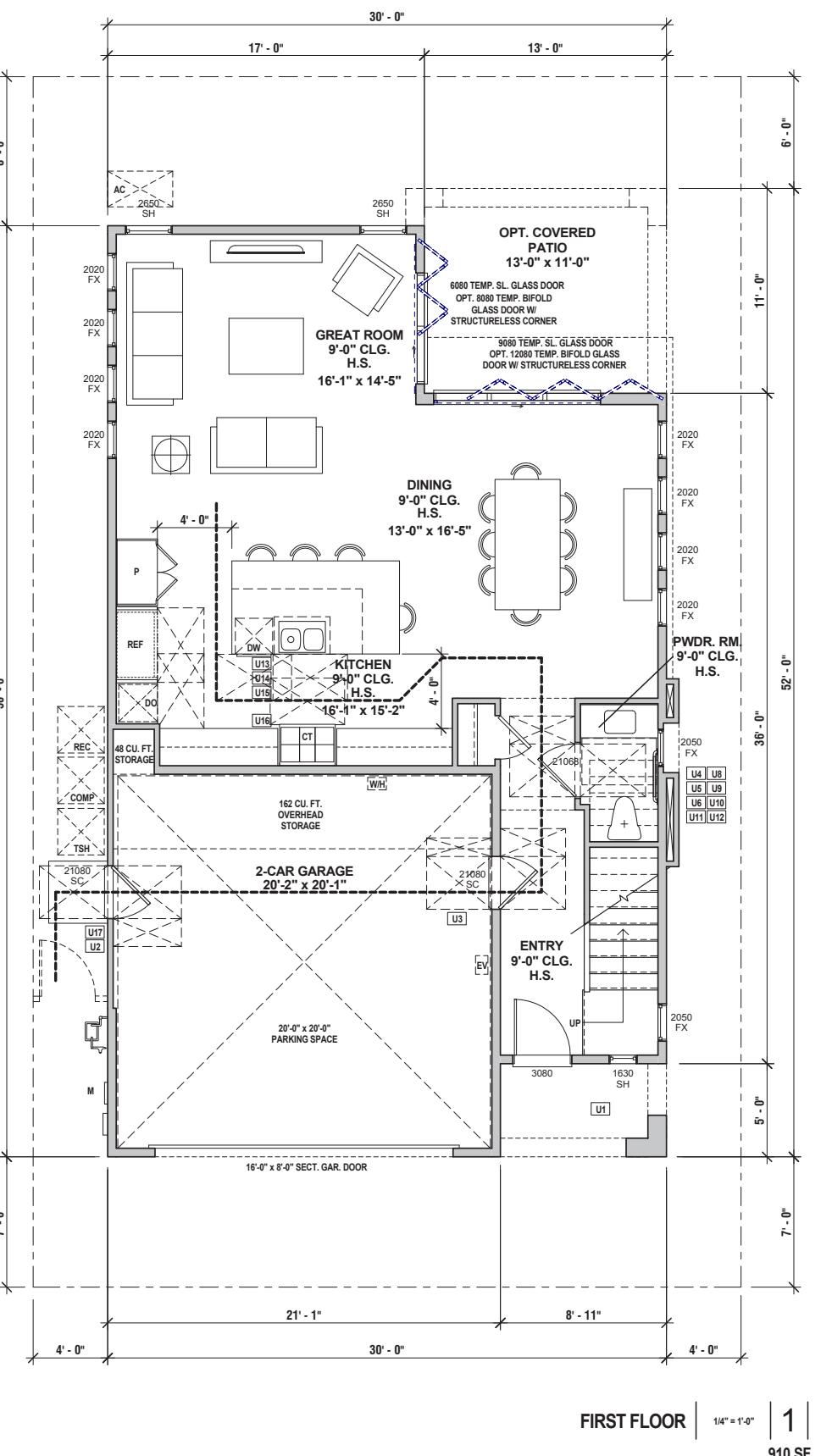
OVERALL

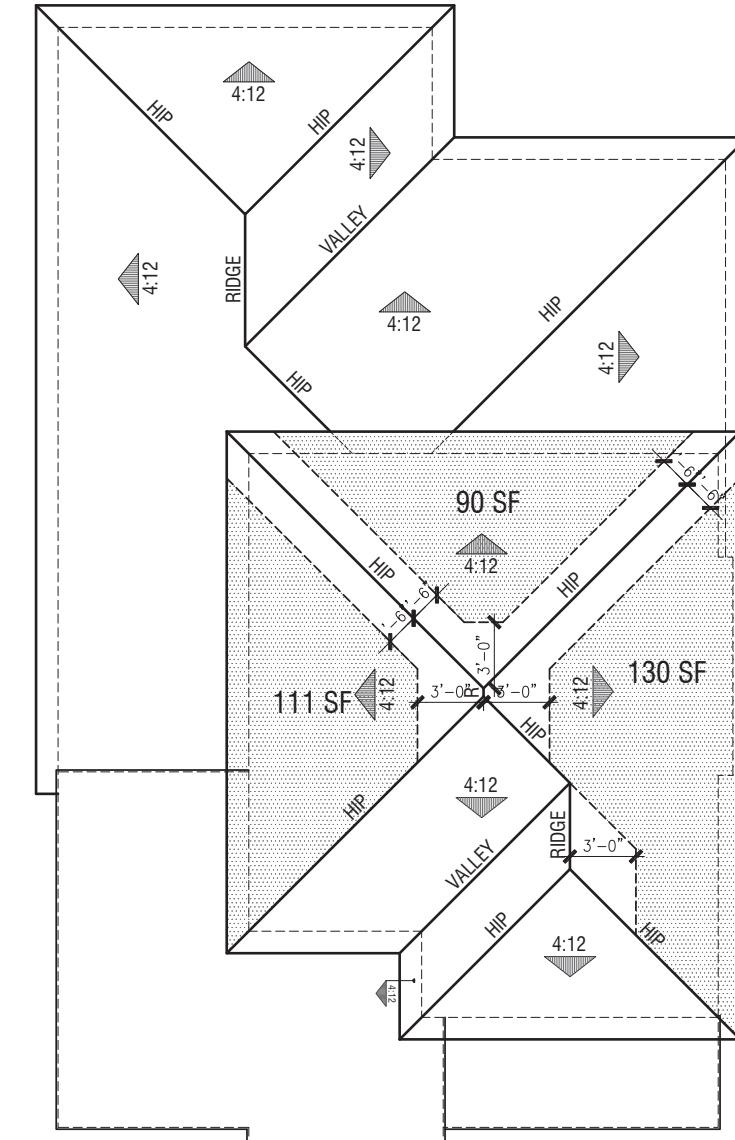
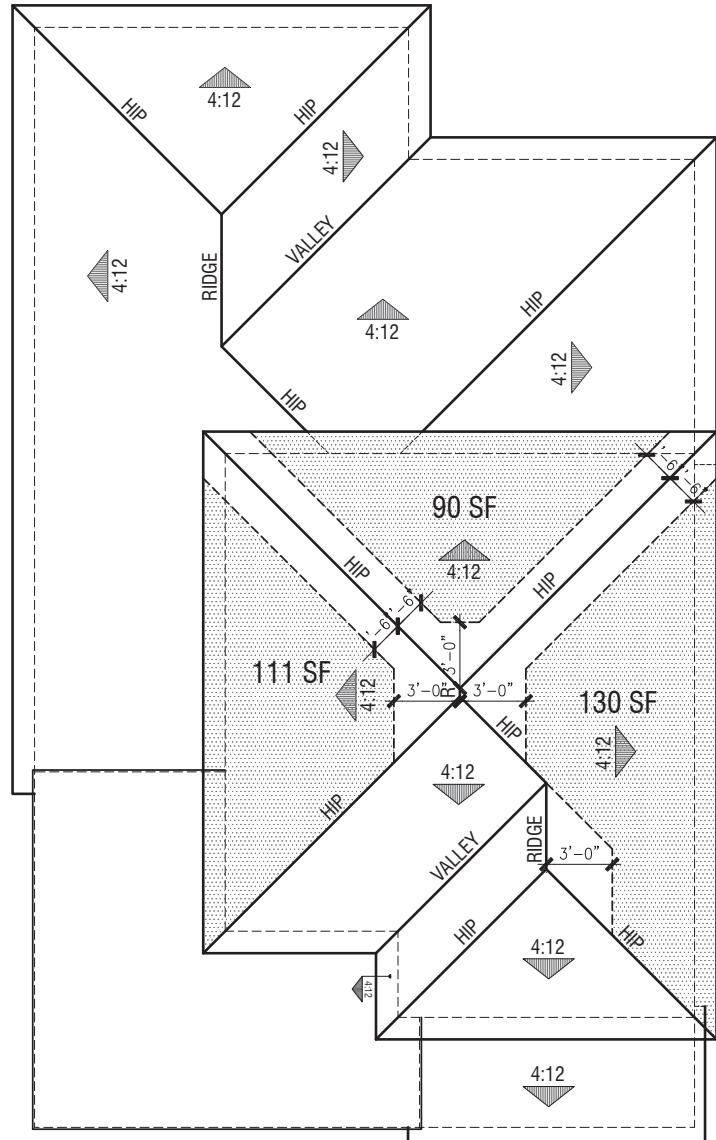
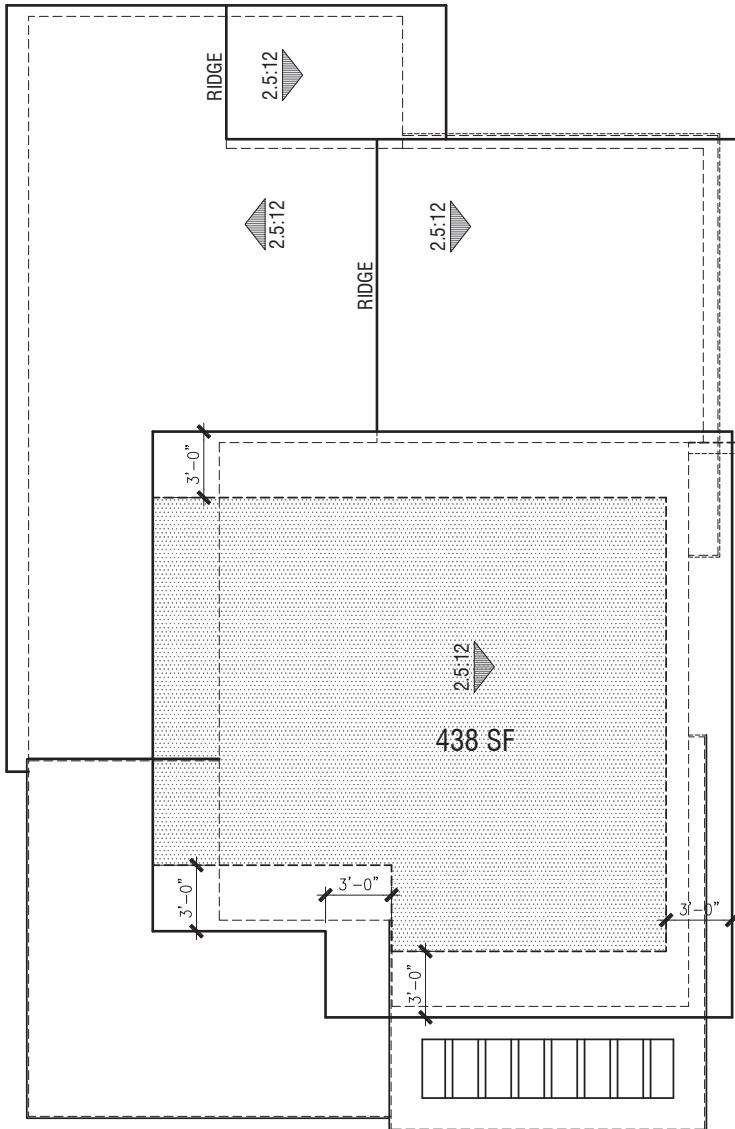


N11 & N18 - MULLHOLAND

PLAN 2  
FLOOR PLAN - UDO

0 2 4 8 12 FEET





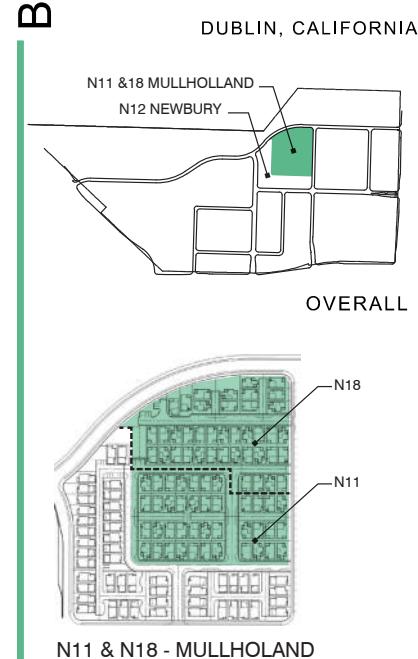
Note: Solar Panel location will be provided based on unit plotting  
 Solar Ready Zone to be 250 square feet  
 Reference CA Energy Code Sec. 110.10  
 Exception 7 to be taken where solar is not possible



Solar Zone

Plan A	331 SF
Plan B	331 SF
Plan C	438 SF

BOULEVARD phases 2-3



PLAN 2  
ROOF PLANS

0 2 4 8 12 FEET

APRIL 11, 2017

A4.11.17

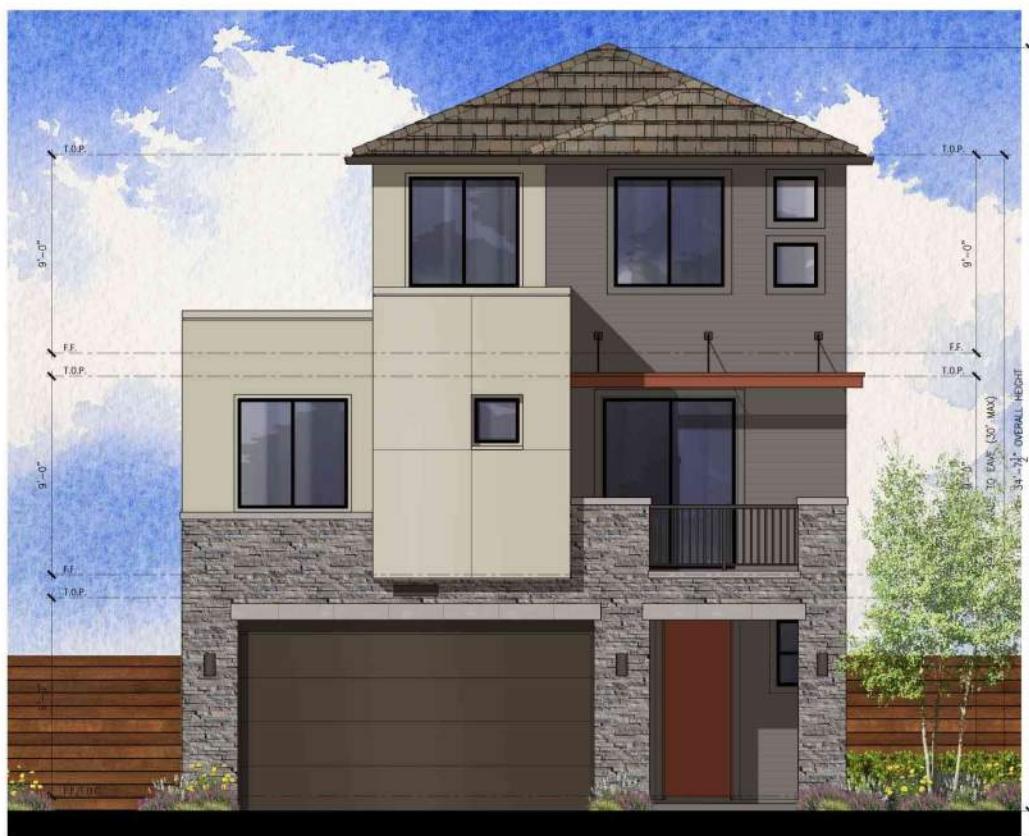


WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N11 & N18  
MULLHOLAND

phases 2-3

BOULEVARD



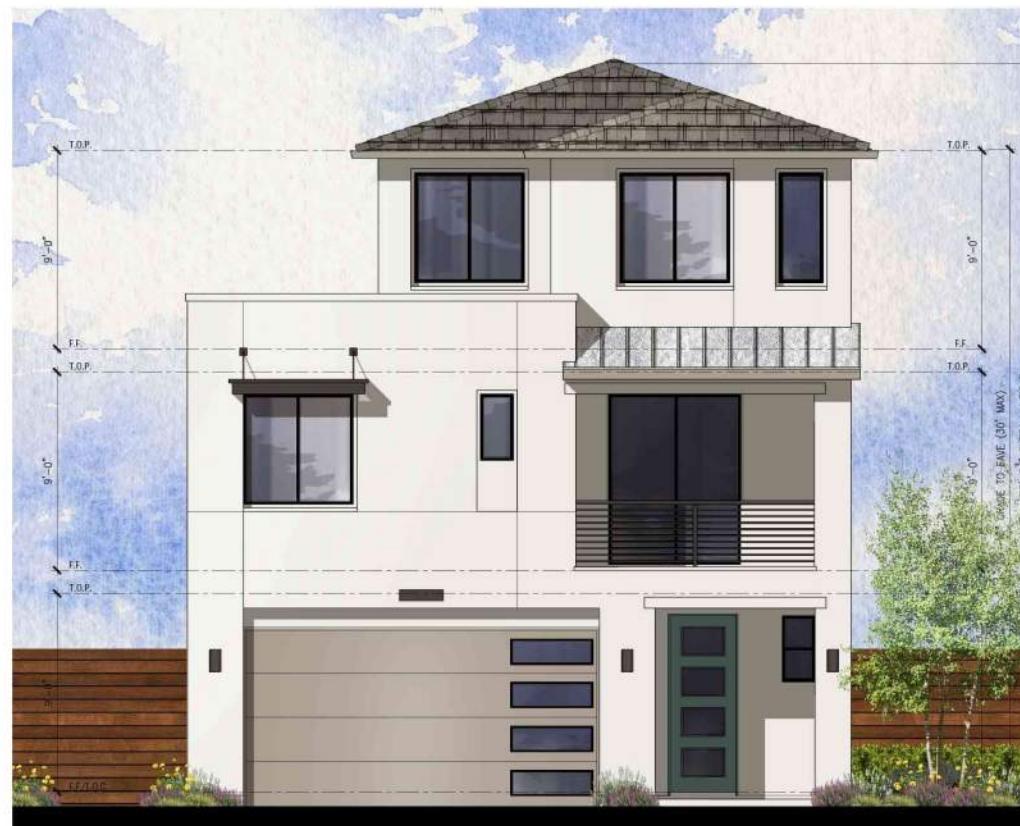
COLOR SCHEME #3

Elevation 2A



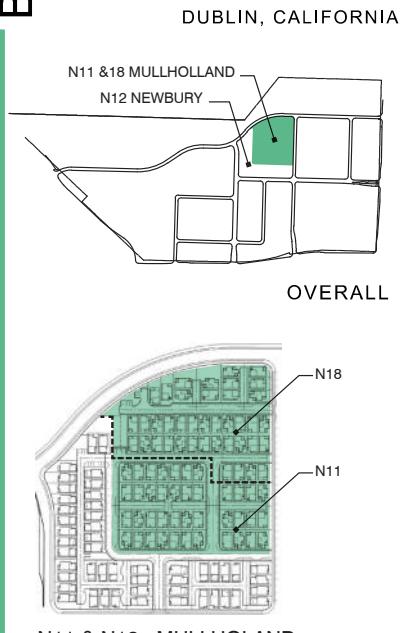
COLOR SCHEME #2

Elevation 2C



COLOR SCHEME #5

Elevation 2B



PLAN 2  
FRONT ELEVATIONS

0 2 4 8 12 FEET

APRIL 11, 2017

A4.11.18



WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N11 & N18  
MULLHOLAND

phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



OVERALL



N11 & N18 - MULLHOLAND

PLAN 2  
TYPICAL ISOMETRIC VIEW

0 2 4 8 12 FEET

APRIL 11, 2017

A4.11.19



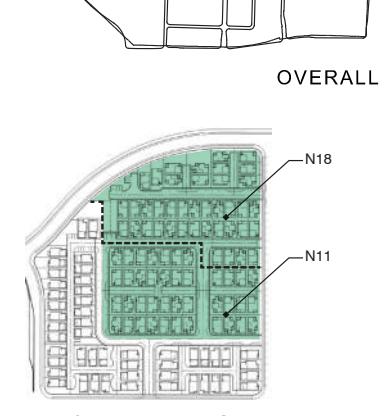
PLAN 2A - WITH OPTIONAL DECK  
FRONT LEFT INTERIOR  
COLOR SCHEME #3

PLAN 2A - WITH OPTIONAL DECK  
FRONT RIGHT CORNER  
COLOR SCHEME #3

phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



PLAN 2 'A'  
EXTERIOR ELEVATIONS

0 2 4 8 12 FEET



Right



Rear



Left



Front

**2A - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 3**

- 1. COMPOSITION SHINGLE ROOFING
- 2. STUCCO: SAND FINISH W/ REGLET BREAKUPS
- 3. SIDING: 4" EXPOSURE FIBERCEMENT
- 4. STONE: ELDORADO EUROPEAN LEDGE
- 5. FIBERGLASS FRONT ENTRY DOOR
- 6. FIBERGLASS GARAGE DOOR W/ FACTORY PAINT FINISH
- 7. VINYL WINDOWS W/ FACTORY PAINT FINISH
- 8. EXTERIOR LIGHT
- 9. ADDRESS NUMBERS
- 10. METAL AWNING
- 11. RAILING: METAL PICKET

APRIL 11, 2017

A4.11.20



WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N11 & N18  
MULLHOLAND



Right  
Enhanced Elevation

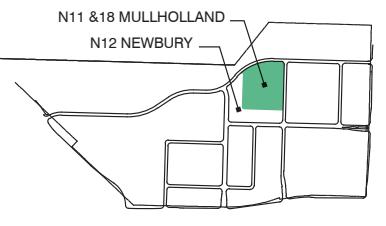


Rear  
Enhanced Elevation

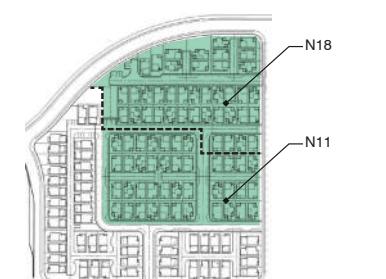
phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



OVERALL



N11 & N18 - MULLHOLLAND

PLAN 2 'A'  
ENHANCED ELEVATIONS

0 2 4 8 12 FEET

APRIL 11, 2017

A4.11.21



WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N11 & N18  
MULLHOLAND

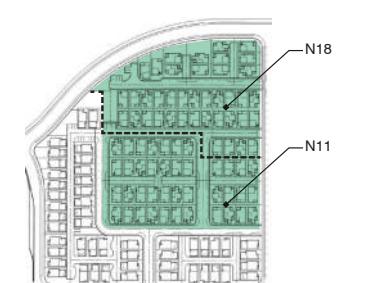
phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



OVERALL



N11 & N18 - MULLHOLAND

PLAN 2 'A'  
WITH OPTIONAL DECK

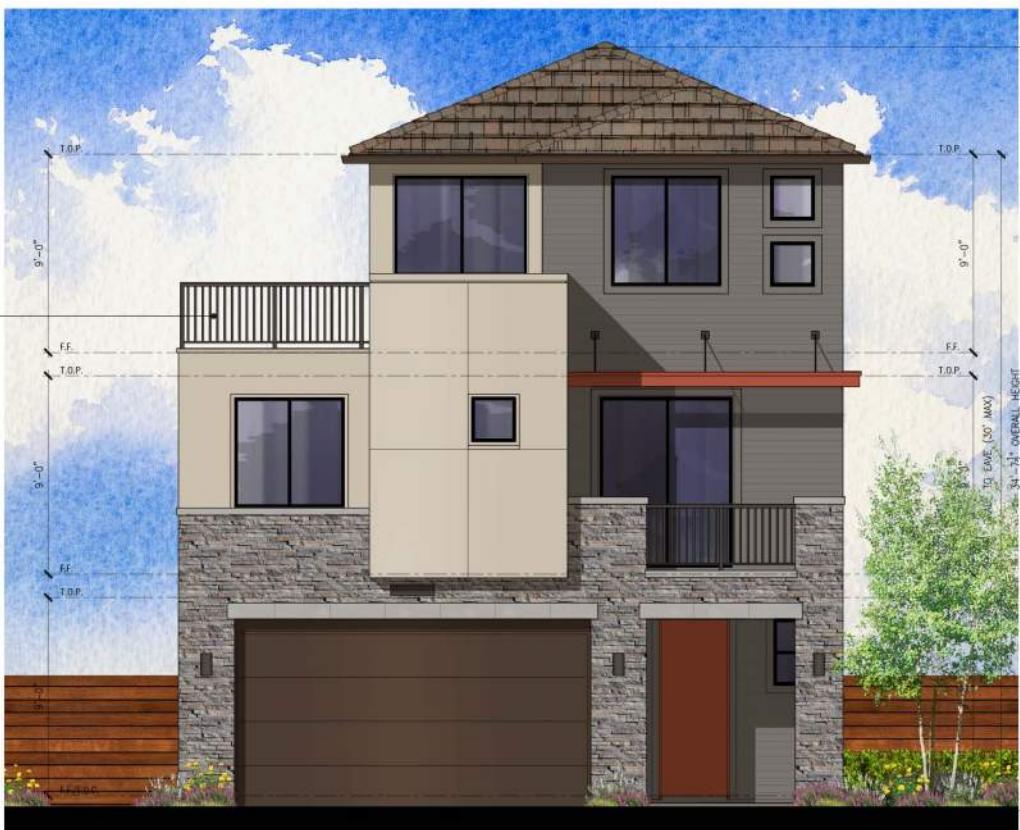
0 2 4 8 12 FEET

APRIL 11, 2017

A4.11.22



Left



Front

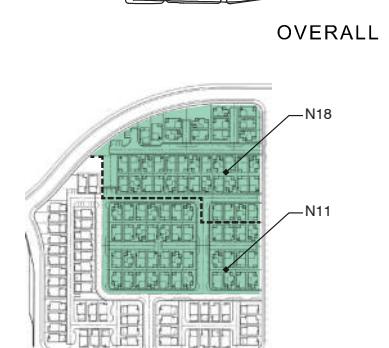
**2A - ELEVATIONS: COLOR SCHEME 3**

1. SHOWN WITH OPTIONAL DECK AND METAL RAILING

phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



PLAN 2 'B'  
EXTERIOR ELEVATIONS

0 2 4 8 12 FEET



Right



Rear



Left



Front

#### 2B - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 5

- 1. COMPOSITION SHINGLE ROOFING
- 2. STUCCO: SAND FINISH W/ REGLET BREAKUPS
- 3. METAL ROOF: CUSTOM BILT METALS
- 4. OPT. FIBERGLASS FRONT ENTRY DOOR W/ GLAZING
- 5. OPT. FIBERGLASS GARAGE DOOR W/ GLAZING & FACTORY PAINT FINISH
- 6. VINYL WINDOWS W/ FACTORY PAINT FINISH
- 7. EXTERIOR LIGHT
- 8. ADDRESS NUMBERS
- 9. METAL AWNING
- 10. RAILING: METAL HORIZONTAL RODS

APRIL 11, 2017

A4.11.23



WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N11 & N18  
MULLHOLAND



Right  
Enhanced Elevation

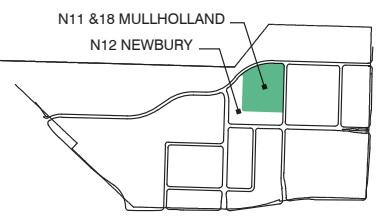


Rear  
Enhanced Elevation

phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



OVERALL



N11 & N18 - MULLHOLAND

PLAN 2 'B'  
ENHANCED ELEVATIONS

0 2 4 8 12 FEET

APRIL 11, 2017

A4.11.24



WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N11 & N18  
MULLHOLAND

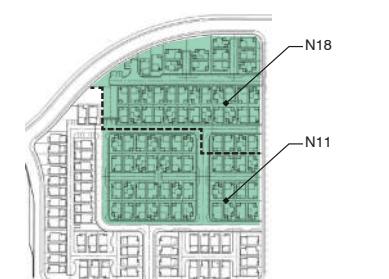
phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



OVERALL



N11 & N18 - MULLHOLAND

PLAN 2 'B'  
WITH OPTIONAL DECK

0 2 4 8 12 FEET



Left



Front

**2B - ELEVATIONS: COLOR SCHEME 3**

1. SHOWN WITH OPTIONAL DECK AND METAL RAILING

APRIL 11, 2017

A4.11.25

phases 2-3

## BOULEVARD

1

DUBLIN, CALIFORNIA



10

4

5

N11 & N18 - MULLHOLAND

OVERALL



PLAN 2 'C'  
EXTERIOR ELEVATIONS

0 2 4 8 12 FEET



Right



Rear



Left



Front

### 2C - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 2

1. COMPOSITION SHINGLE ROOFING
2. STUCCO: SAND FINISH W/ REGLET BREAKUPS
3. SIDING: 6" EXPOSURE FIBERCEMENT
4. STONE: ELDORADO ZEN 24 (OR SIMILAR)
5. FIBERGLASS FRONT ENTRY DOOR
6. FIBERGLASS GARAGE DOOR W/ FACTORY PAINT FINISH
7. VINYL WINDOWS W/ FACTORY PAINT FINISH
8. EXTERIOR LIGHT
9. ADDRESS NUMBERS
10. RAILING: PERFORATED METAL

APRIL 11, 2017

A4.11.26



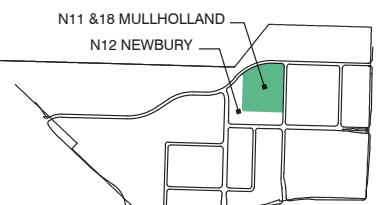
WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N11 & N18  
MULLHOLAND

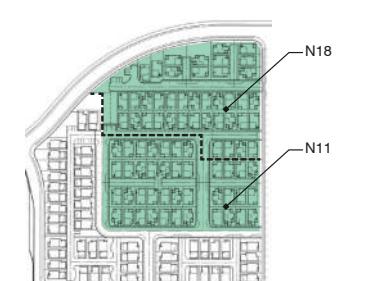
phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



OVERALL



N11 & N18 - MULLHOLAND

PLAN 2 'C'  
WITH OPTIONAL DECK

0 2 4 8 12 FEET



Left



Front

**2C - ELEVATIONS: COLOR SCHEME 2**

1. SHOWN WITH OPTIONAL DECK AND METAL RAILING

APRIL 11, 2017

A4.11.27



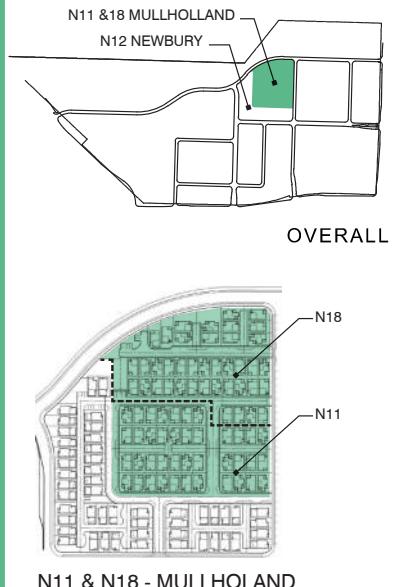
WILLIAM HEZMALHALCH  
A R C H I T E C T S I N C.

N11 & N18  
MULLHOLAND

BOULEVARD phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA

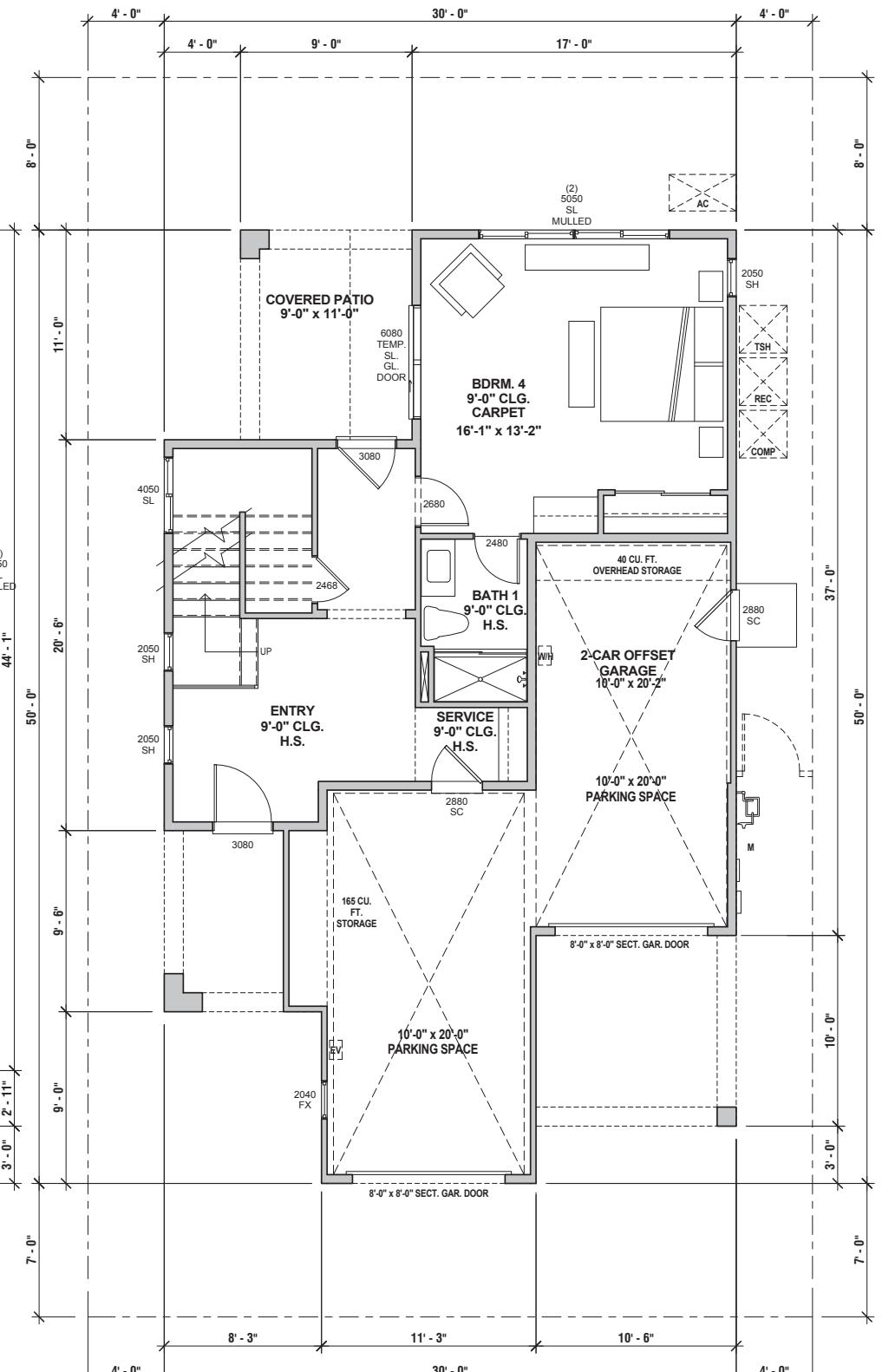
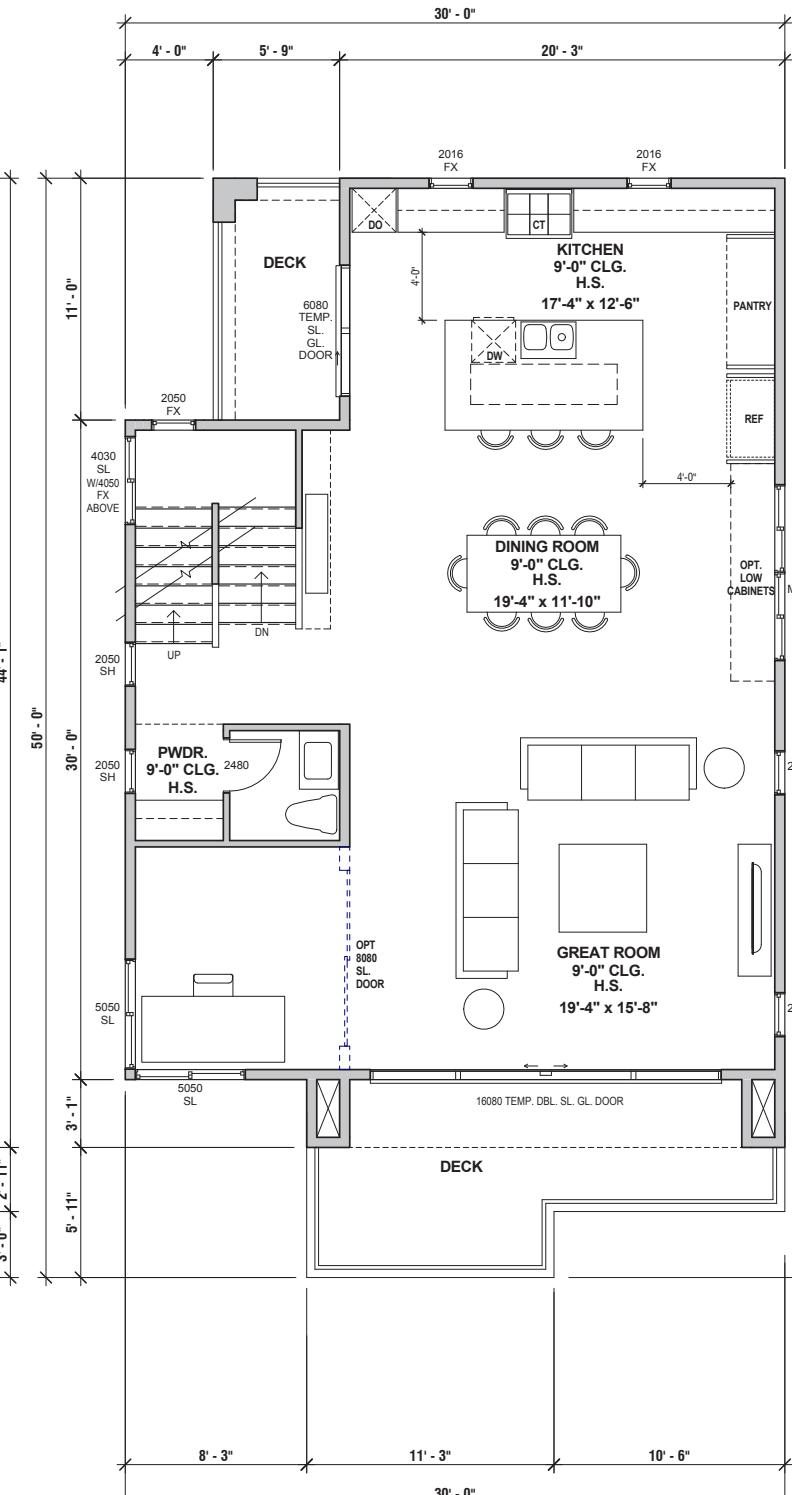
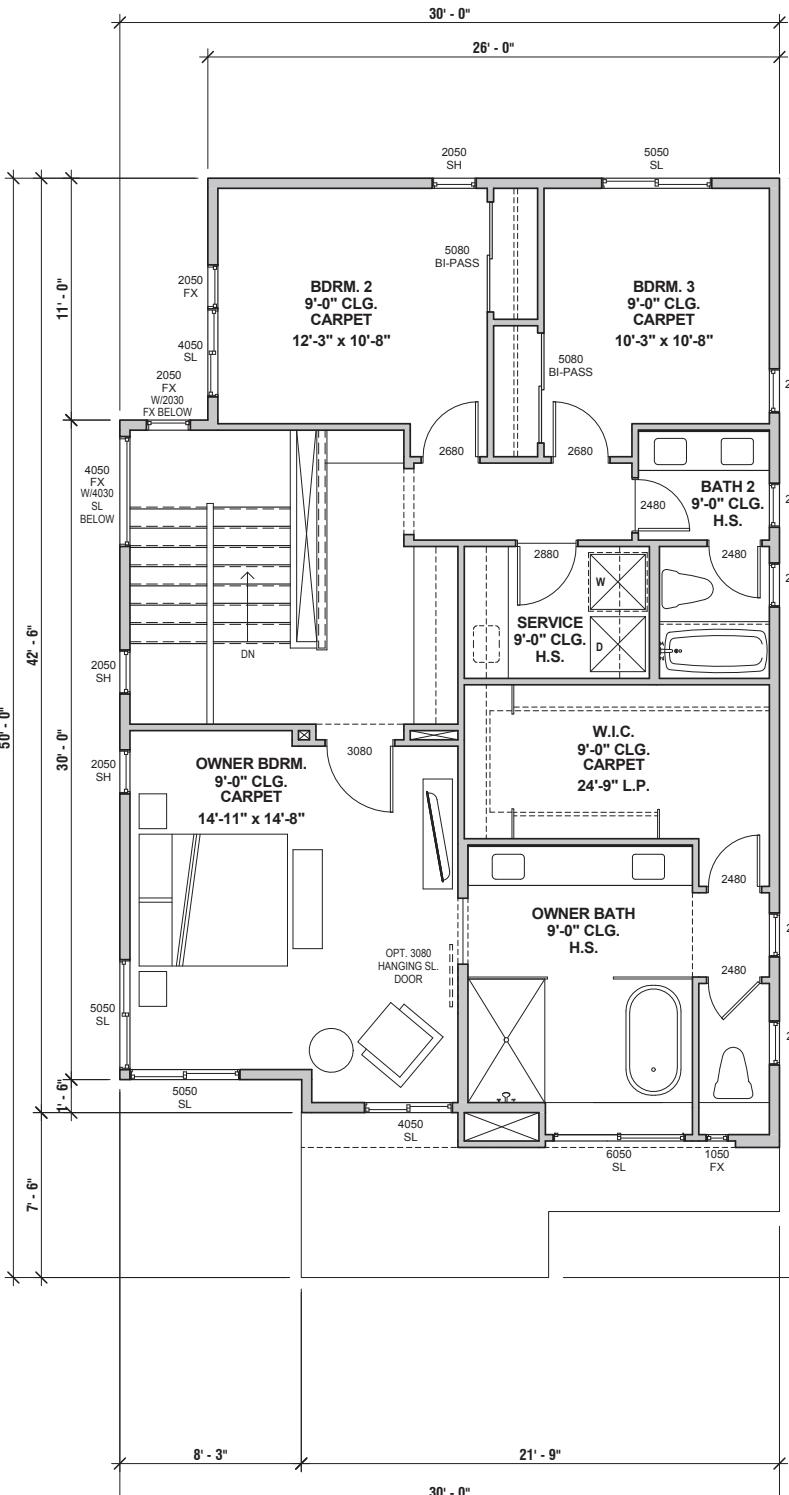


**PLAN 3**  
FLOOR PLANS

0 2 4 8 12 FEET

APRIL 11, 2017

A4.11.28



OCCUPANCY TYPE: R-3

CONSTRUCTION TYPE: V-B

FIRE SPRINKLER SYSTEM: NFPA 13D

**STORAGE SUMMARY:** (200 c.f. Min.)

165 c.f. Garage Full-Height Storage  
40 c.f. Garage Overhead Storage  
205 c.f. Total Storage

**LEGEND**

EV 240V, 40A Outlet & Space for EV Charger

W/H Tankless Water Heater

TSH Trash

REC Recycle

COMP Compost

AC AC Pad

M Utility Meters

W Washer  
D Dryer  
REF Refrigerator  
P Pantry  
DO Double-Oven  
CT Cook-Top  
DW Dishwasher

**PLAN 3** - 2,857 SF  
4 Bedroom, 3.5 Bath,  
Bonus Room  
2-Car Offset Garage

**PLAN 3 (Elevation A)**  
Shown



# WILLIAM HEZMALHALCH ARCHITECTS INC.

N11 & N18  
MULLHOLAND

## UNIVERSAL DESIGN KEYNOTES

- U1** MANDATORY TO INSTALL: PROVIDE DOORBELL MOUNTED BETWEEN 42" AND 48" FROM FINISHED FLOOR AT ENTRY DOOR.
  - U2** MANDATORY TO OFFER: EYEHOLE AT ENTRY DOOR MOUNTED BETWEEN 42" AND 44" FROM FINISHED FLOOR.
  - U3** MANDATORY TO OFFER: OPTIONAL REMOVABLE RAMP AT FRONT DOOR CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
  - U4** MANDATORY TO INSTALL: GRAB BAR REINFORCEMENT FOR WATER CLOSET (TOILET) AND SHOWER OR BATHTUB AT PRIMARY FLOOR POWDER ROOM/ BATHROOM CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
  - U5** MANDATORY TO INSTALL: FAUCETS AND HANDLES NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
  - U6** MANDATORY TO OFFER: CLEAR SPACE IN THE BATH OR POWDER ROOM CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A, OR OUTSIDE OF THE SWING OF THE DOOR AND EITHER A 48" DIA. CIRCLE, 48" X 60" RECTANGLE OR 60" DIA. CIRCLE AT THE OPTION OF THE PURCHASER/ OWNER.
  - U7** MANDATORY TO OFFER: A BATHTUB OR SHOWER MEETING THE REQUIREMENTS OF ANSI A117.1
  - U8** MANDATORY TO OFFER: GRAB BARS INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A FOR THE WATER CLOSET (TOILET), SHOWER/ BATH, OR LAVATORY, OR ANY COMBINATION THEREOF, AT THE OPTION OF THE PURCHASER/ OWNER.
  - U9** MANDATORY TO OFFER: LAVATORY OR SINK INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
  - U10** MANDATORY TO OFFER: WATER CLOSET (TOILET) INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
  - U11** MANDATORY TO OFFER: REMOVABLE CABINETS UNDER THE LAVATORY/ SINK.
  - U12** MANDATORY TO OFFER: WHERE INSTALLED, MIRROR AND TOWEL BARS AT ACCESSIBLE POWDERS OR BATHS CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
  - U13** MANDATORY TO INSTALL: KITCHEN SINK CONTROLS NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
  - U14** MANDATORY TO OFFER: AT KITCHEN, ONE OR MORE OF THE FOLLOWING AT THE PURCHASER/ OWNER'S OPTION, AT LEAST A 30" X 48" CLEAR SPACE IN FRONT OF THE SINK (COUNTING OPEN ACCESS UNDERNEATH, IF AVAILABLE) OR AT LEAST ONE 18" WIDE BREADBOARD AND/ OR AT LEAST 18" IN COUNTER SPACE AT A 34" HEIGHT OR AND COMBINATION THEREOF, A 30" X 48" CLEAR SPACE IN FRONT OF REFRIGERATOR, DISHWASHER AND ANY OTHER MAJOR KITCHEN APPLIANCE AT THE OPTION OF THE PURCHASER/ OWNER.
  - U15** MANDATORY TO OFFER: ADJUSTABLE SINK AND/ OR REMOVABLE UNDER-SINK CABINETS CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
  - U16** MANDATORY TO OFFER: HOOD FAN CONTROLS AT LIGHT SWITCH LEVEL OR LOWER LEVEL.
  - U17** MANDATORY TO OFFER: ACCESSIBLE INTERIOR ROUTE CONSISTENT WITH THE REQUIREMENTS OF ORDINANCE NO. 21-07 CITY OF DUBLIN MUNICIPAL CODE 7.90.070 INTERIOR ROUTES INSTALLED AT THE REQUEST AND COST OF THE PURCHASER/ OWNER.

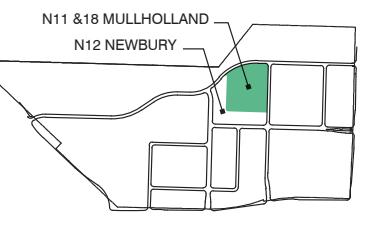
## NOTES

REFER TO SHEET GN-1 AND CITY OF DUBLIN ORDINANCE 21-07 FOR A COMPREHENSIVE LIST OF ALL REQUIREMENTS AND REGULATIONS RELATED TO THIS UNIVERSAL DESIGN OPTION.

#### **MANDATORY TO INSTALL:**

1. HAND-ACTIVATED DOOR HARDWARE NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
  2. ROCKER LIGHT SWITCHES AND CONTROL OR LIGHT SWITCHES AND CONTROLS MEETING THE REQUIREMENTS OF ANSI 117.1 OR THE CBC CHAPTER 11A.
  3. THE INSTALLATION OF ALL RECEPTACLES OUTLETS, LIGHTING CONTROLS AND ENVIRONMENTAL CONTROLS THROUGHOUT THE RESIDENTIAL DWELLING UNIT MUST COMPLY WITH THE CBC CHAPTER 11A OR APPLICABLE PROVISIONS OF THE CALIFORNIA ELECTRICAL CODE.

3



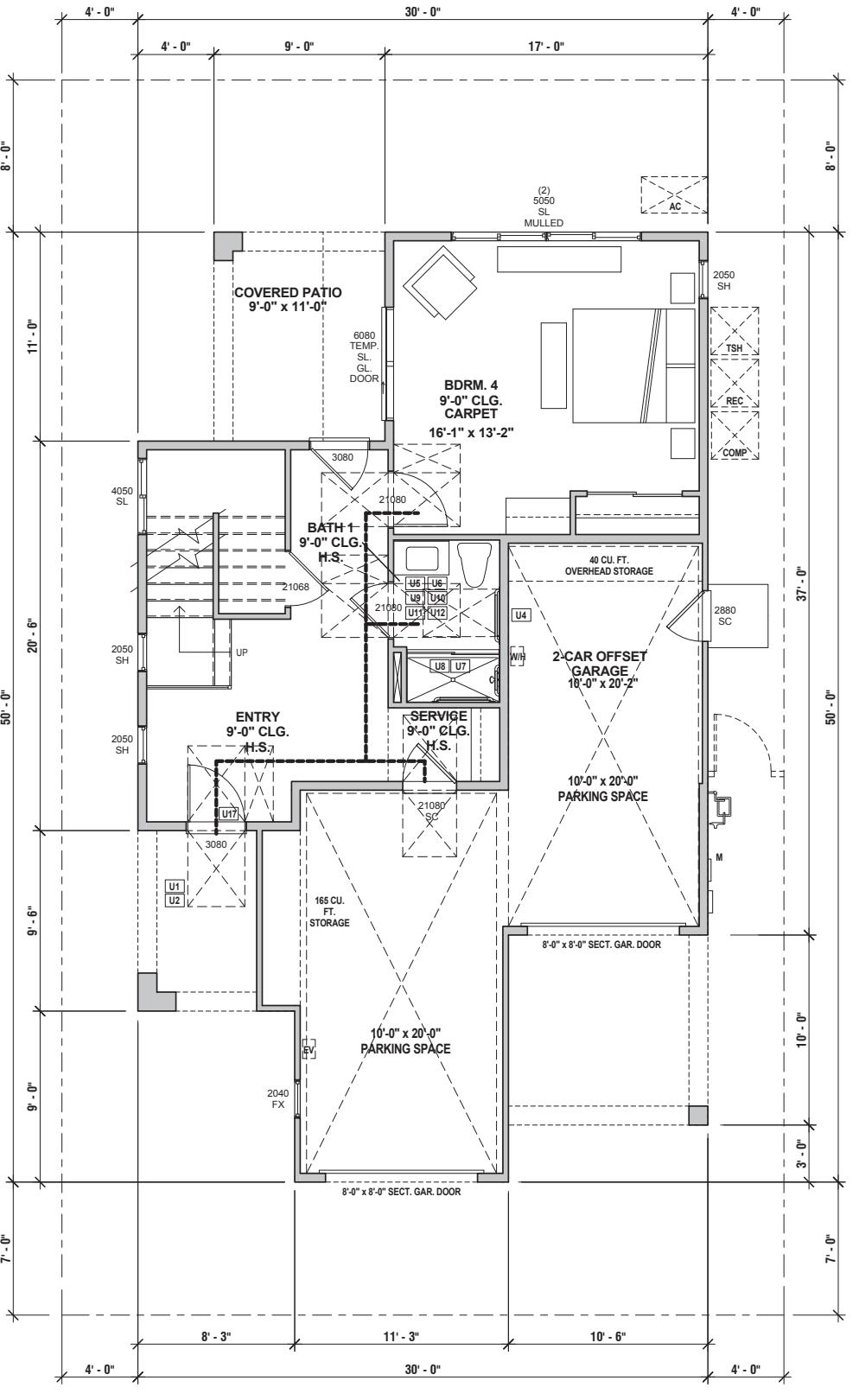
## OVERALL

### PLAN 3



APRIL 11, 2017

A4.11.29



## **1ST FLOOR (UNIVERSAL DESIGN)**

1  
620 SF

phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA

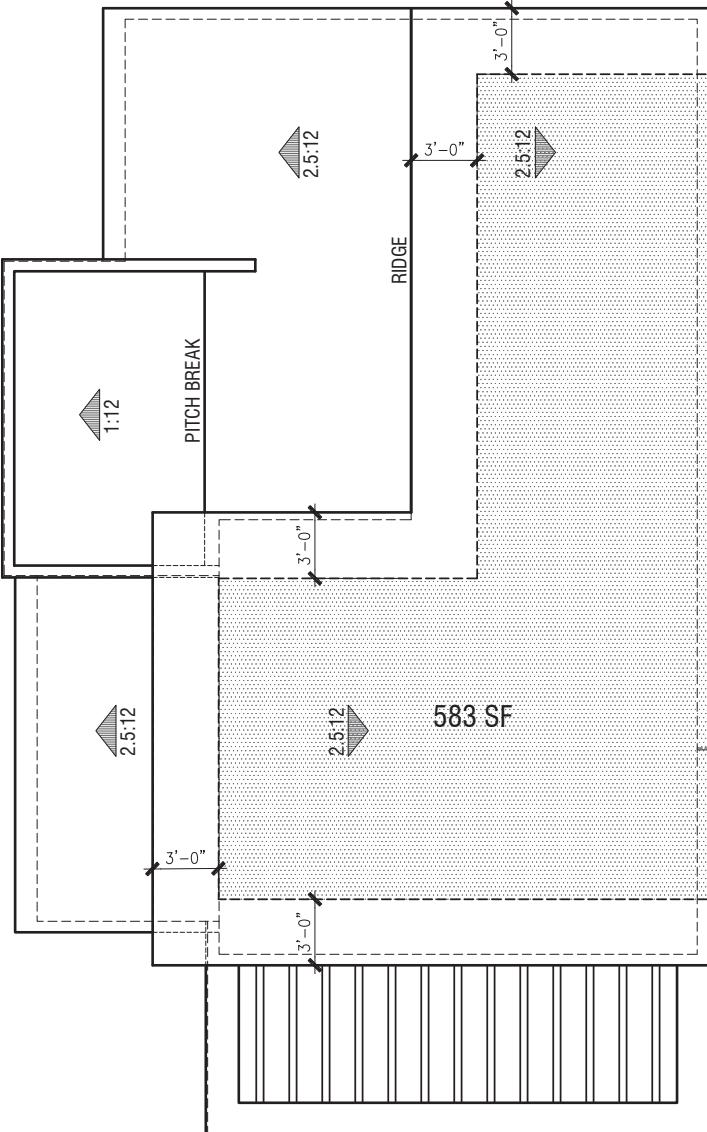


PLAN 3  
ROOF PLANS

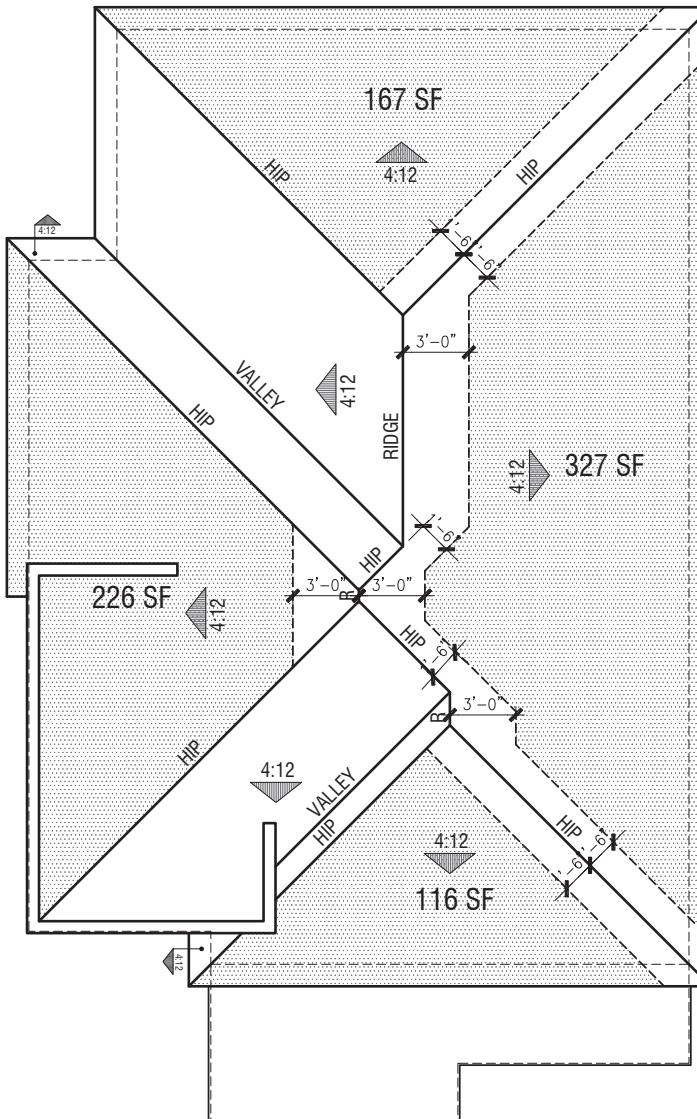
0 2 4 8 12 FEET

APRIL 11, 2017

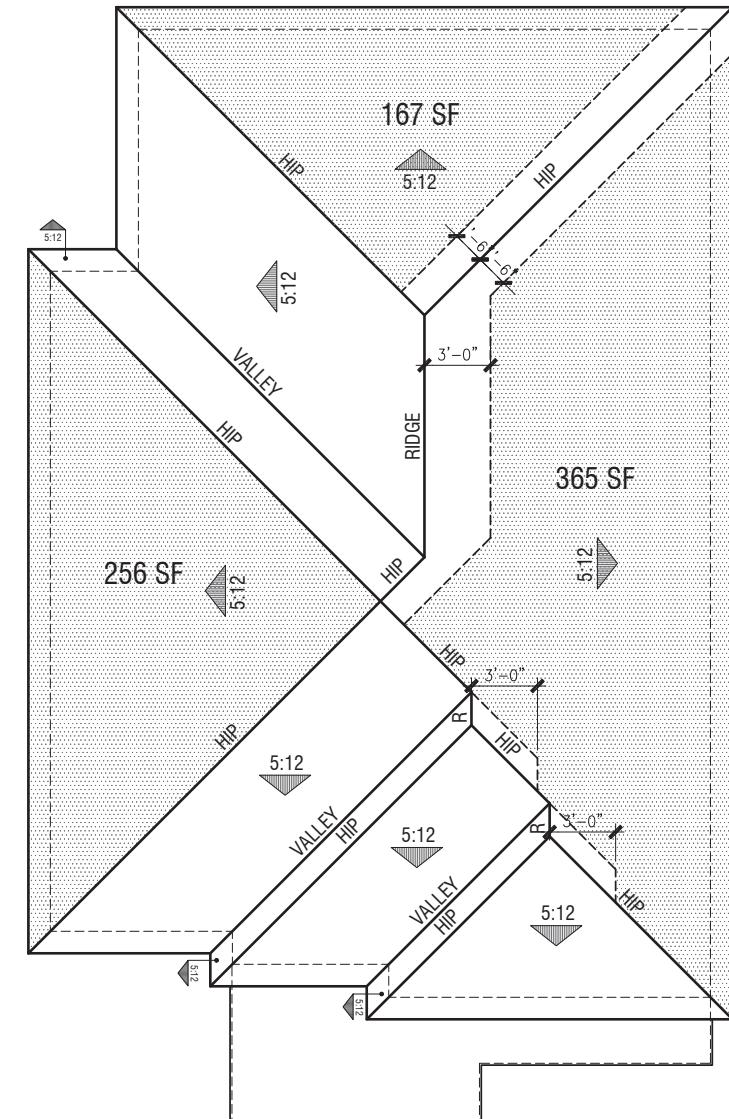
A4.11.30



Roof Plan C

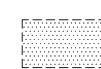


Roof Plan B  
Enhanced



Roof Plan A

Note: Solar Panel location will be provided based on unit plotting  
Solar Ready Zone to be 250 square feet  
Reference CA Energy Code Sec. 110.10  
Exception 7 to be taken where solar is not possible



Solar Zone

Plan A	788 SF
Plan B	836 SF
Plan C	583 SF



WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N11 & N18  
MULLHOLAND

phases 2-3

BOULEVARD



COLOR SCHEME #6

Elevation 3A



COLOR SCHEME #5

Elevation 3C



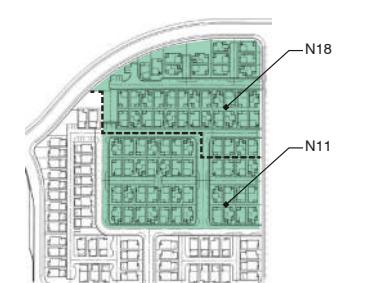
COLOR SCHEME #4

Elevation 3B

DUBLIN, CALIFORNIA



OVERALL



N11 & N18 - MULLHOLAND

PLAN 3  
FRONT ELEVATIONS

0 2 4 8 12 FEET

APRIL 11, 2017

A4.11.31



WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N11 & N18  
MULLHOLAND

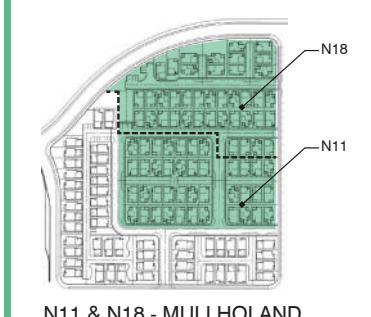
phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



OVERALL



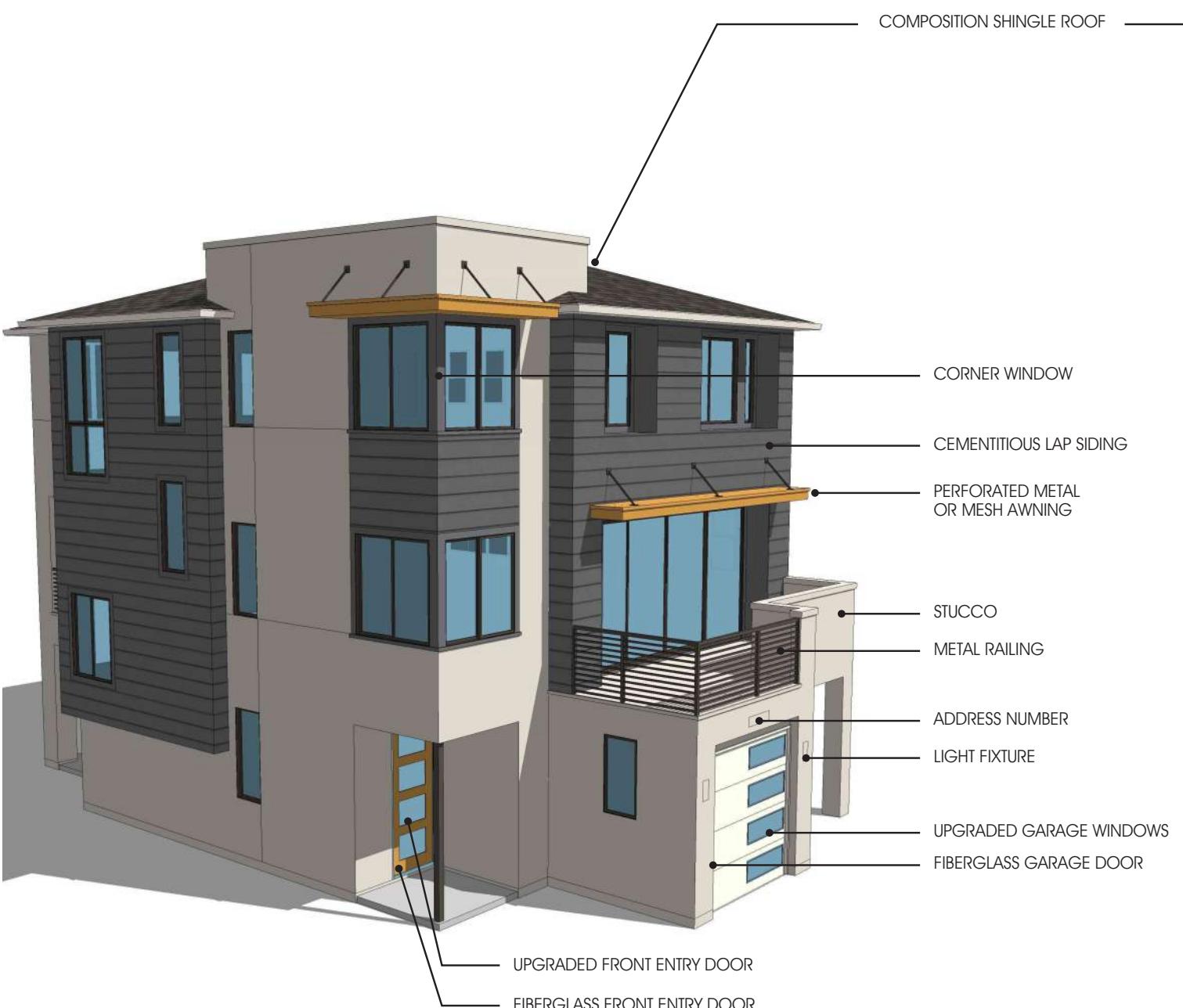
N11 & N18 - MULLHOLAND

PLAN 3  
TYPICAL ISOMETRIC VIEW

0 2 4 8 12 FEET

APRIL 11, 2017

A4.11.32



PLAN 3B - FRONT LEFT CORNER

COLOR SCHEME #6



PLAN 3B - FRONT RIGHT INTERIOR

COLOR SCHEME #6



WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N11 & N18  
MULLHOLAND

phases 2-3

BOULEVARD



Right

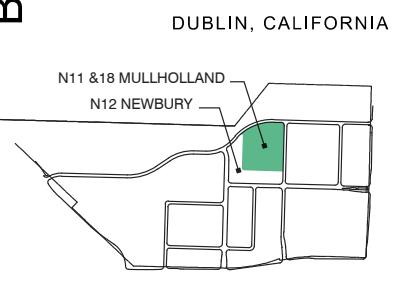


Left

Rear



Front



PLAN 3 'A'  
EXTERIOR ELEVATIONS

0 2 4 8 12 FEET

**3A - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 6**

1. COMPOSITION SHINGLE ROOFING
2. STUCCO: SAND FINISH W/ REGLET BREAKUPS
3. SIDING: 4" EXPOSURE FIBERCEMENT
4. STONE: ELDORADO EUROPEAN LEDGE
5. FIBERGLASS FRONT ENTRY DOOR
6. FIBERGLASS GARAGE DOOR W/ FACTORY PAINT FINISH
7. VINYL WINDOWS W/ FACTORY PAINT FINISH
8. EXTERIOR LIGHT
9. ADDRESS NUMBERS
10. RAILING: METAL PICKET
11. METAL AWNING

APRIL 11, 2017

**A4.11.33**



WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N11 & N18  
MULLHOLAND

phases 2-3

BOULEVARD

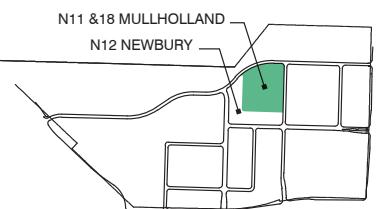


Rear  
Enhanced Elevation

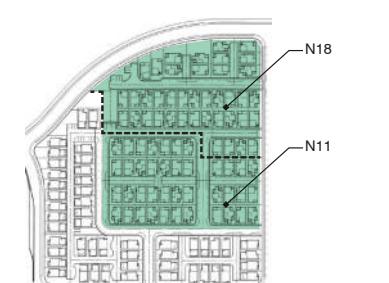


Left  
Enhanced Elevation

DUBLIN, CALIFORNIA



OVERALL



N11 & N18 - MULLHOLAND

PLAN 3 'A'  
ENHANCED ELEVATIONS

0 2 4 8 12 FEET

APRIL 11, 2017

A4.11.34

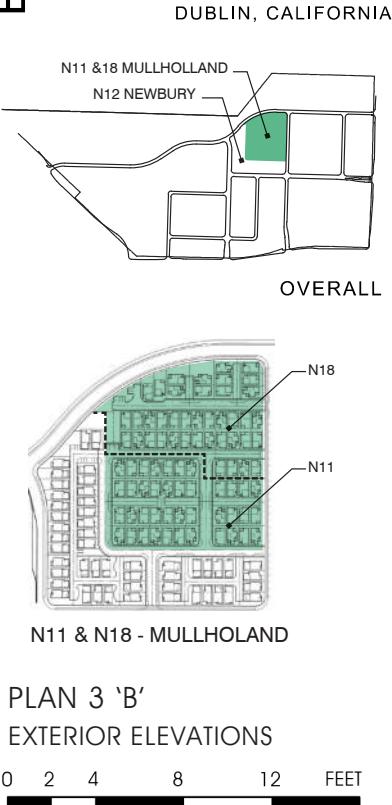


WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N11 & N18  
MULLHOLAND

phases 2-3

BOULEVARD



Right



Left



Front

#### 2C - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 4

1. COMPOSITION SHINGLE ROOFING
2. STUCCO: SAND FINISH W/ REGLET BREAKUPS
3. SIDING: 10" EXPOSURE FIBERCEMENT
4. OPT. FIBERGLASS FRONT ENTRY DOOR W/ GLAZING
5. OPT. FIBERGLASS GARAGE DOOR W/ GLAZING & FACTORY PAINT FINISH
6. VINYL WINDOWS W/ FACTORY PAINT FINISH
7. EXTERIOR LIGHT
8. ADDRESS NUMBERS
9. METAL AWNING
10. RAILING: METAL HORIZONTAL RODS

APRIL 11, 2017

A4.11.35



WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N11 & N18  
MULLHOLAND

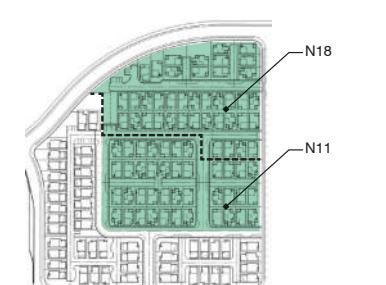
phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



OVERALL



N11 & N18 - MULLHOLAND

PLAN 3 'B'  
ENHANCED ELEVATIONS

0 2 4 8 12 FEET

APRIL 11, 2017

A4.11.36



Left  
Enhanced Elevation



Front  
Enhanced Elevation

phases 2-3

## BOULEVARD



Right



Rear



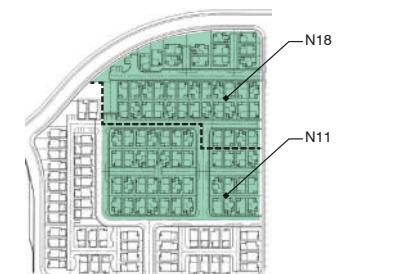
Left



Front



DUBLIN, CALIFORNIA



N11 & N18 - MULLHOLAND

PLAN 3 'C'  
EXTERIOR ELEVATIONS

0 2 4 8 12 FEET

### 3C - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 5

1. COMPOSITION SHINGLE ROOFING
2. STUCCO: SAND FINISH W/ REGLET BREAKUPS
3. SIDING: 6" EXPOSURE FIBERCEMENT
4. STONE: ELDORADO ZEN 24 (OR SIMILAR)
5. FIBERGLASS FRONT ENTRY DOOR
6. FIBERGLASS GARAGE DOOR W/ FACTORY PAINT FINISH
7. VINYL WINDOWS W/ FACTORY PAINT FINISH
8. EXTERIOR LIGHT
9. ADDRESS NUMBERS
10. RAILING: PERFORATED METAL

APRIL 11, 2017

A4.11.37



WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N11 & N18  
MULLHOLAND

phases 2-3

BOULEVARD



Rear  
Enhanced Elevation

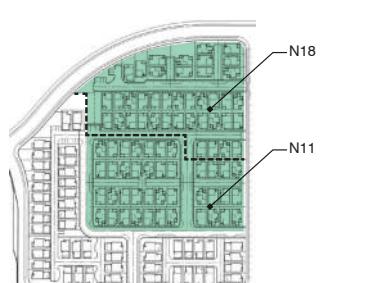


Left  
Enhanced Elevation

DUBLIN, CALIFORNIA



OVERALL



N11 & N18 - MULLHOLAND

PLAN 3 'C'  
ENHANCED ELEVATIONS

0 2 4 8 12 FEET

APRIL 11, 2017

A4.11.38



WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N11 & N18  
MULLHOLAND

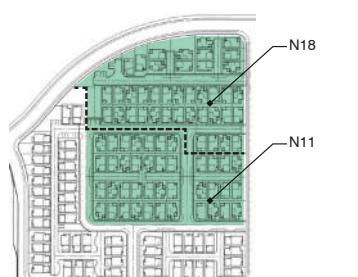
phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



OVERALL



N11 & N18 - MULLHOLAND  
COLOR & MATERIALS  
SCHEME 1 & 2

0 2 4 8 12 FEET

APRIL 11, 2017

A4.11.39

WILLIAM HEZMALHALCH ARCHITECTS INC.

August 2, 2016

BROOKFIELD HOMES  
**MULLHOLAND (N-11 & N-18)**  
Dublin, California

Project #2016035.00

**EXTERIOR COLOR & MATERIALS**

**SCHEME 1 of 6**      **'ALL' Elevations**

COMPOSITION ROOFING	
METAL ROOFING (where applicable)	
MANUFACTURED STONE (where applicable)	
BODY COLOR #1	
BODY COLOR #2	
BODY COLOR #3	
ACCENT COLOR	

For exact color refer to manufacturers' actual samples.  
William Hezmalhalch Architects, Inc. © 2016

2850 Redhill Avenue Suite 200 Santa Ana CA 92705-5543   www.wharchitects.com   5000 Executive Parkway Suite 375 San Ramon CA 94583-4210  
Tel 949 250 0607 Fax 949 250 1529

WILLIAM HEZMALHALCH ARCHITECTS INC.

August 2, 2016

BROOKFIELD HOMES  
**MULLHOLAND (N-11 & N-18)**  
Dublin, California

Project #2016035.00

**EXTERIOR COLOR & MATERIALS**

**SCHEME 2 of 6**      **'ALL' Elevations**

COMPOSITION ROOFING	
METAL ROOFING (where applicable)	
MANUFACTURED STONE (where applicable)	
BODY COLOR #1	
BODY COLOR #2	
BODY COLOR #3	
ACCENT COLOR	

For exact color refer to manufacturers' actual samples.  
William Hezmalhalch Architects, Inc. © 2016

2850 Redhill Avenue Suite 200 Santa Ana CA 92705-5543   www.wharchitects.com   5000 Executive Parkway Suite 375 San Ramon CA 94583-4210  
Tel 949 250 0607 Fax 949 250 1529

WILLIAM HEZMALHALCH ARCHITECTS INC.

August 2, 2016

BROOKFIELD HOMES  
**MULLHOLAND (N-11 & N-18)**  
Dublin, California

Project #2016035

**EXTERIOR COLOR & MATERIALS**

**SCHEME 1 of 6**      **'ALL' ELEVATIONS**

MATERIAL	COLOR	MANUFACTURER	'A' ELEVATION	'B' ELEVATION	'C' ELEVATION
ROOFING: Composition Shingle	WEATHERED WOOD Landmark Series	CERTAINTEED	--	--	--
METAL ROOFING	MUSKET	CUSTOM BILT METALS	--	--	--
VINYL WINDOWS (Factory Finish)	BRONZE	MILGARD (or equal)	--	--	--
MANUFACTURED STONE (Dry Stacked Joints)	(Where applicable)	ELDORADO	SIDEWALK EUROPEAN LEDGE	N/A	80% FOGGY MEADOW LONGITUDE 24 20% NICKEL ZEN 24
MANUFACTURED STONE TRIM	(Where applicable)	ELDORADO	GREY SKY SPLIT EDGE	N/A	N/A
BODY COLOR #1	SW 7013 IVORY LACE	SHERWIN WILLIAMS	STUCCO STUCCO TRIM	STUCCO STUCCO TRIM	FASCIA, LAP SIDING GARAGE DOOR @ 2C & 3C, WOOD TRIM
BODY COLOR #2	SW 2821 DOWNING STONE	SHERWIN WILLIAMS	BASE STUCCO LAP SIDING, WOOD TRIM	FASCIA GARAGE DOOR	STUCCO STUCCO TRIM
BODY COLOR #3	SW 2848 ROYCROFT PEWTER	SHERWIN WILLIAMS	FASCIA GARAGE DOOR	LAP SIDING	STUCCO POP-OUT, GARAGE DOOR @ 1C
ACCENT COLOR	SW 6481 GREEN BAY	SHERWIN WILLIAMS	CANOPY FRONT DOOR	CANOPY FRONT DOOR	CANOPY FRONT DOOR
METAL RAILING	SW 7675 SEALSKIN	SHERWIN WILLIAMS	--	--	--
GARAGE DOOR WEATHER STRIP (Factory Finish)	(Per Elevation)	FEHR BROS. (or equal)	BRONZE	CLAYTONE	WHITE

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Lily Martinez.

2850 Redhill Avenue Suite 200 Santa Ana CA 92705-5543   www.wharchitects.com   5000 Executive Parkway Suite 375 San Ramon CA 94583-4210  
Tel 949 250 0607 Fax 949 250 1529

WILLIAM HEZMALHALCH ARCHITECTS INC.

August 2, 2016

BROOKFIELD HOMES  
**MULLHOLAND (N-11 & N-18)**  
Dublin, California

Project #2016035

**EXTERIOR COLOR & MATERIALS**

**SCHEME 2 of 6**      **'ALL' ELEVATIONS**

MATERIAL	COLOR	MANUFACTURER	'A' ELEVATION	'B' ELEVATION	'C' ELEVATION
ROOFING: Composition Shingle	MOIRE BLACK Landmark Series	CERTAINTEED	--	--	--
METAL ROOFING	MIDNIGHT BRONZE	CUSTOM BILT METALS	--	--	--
VINYL WINDOWS (Factory Finish)	BRONZE	MILGARD (or equal)	--	--	--
MANUFACTURED STONE (Dry Stacked Joints)	(Where applicable)	ELDORADO	COTTONWOOD EUROPEAN LEDGE	N/A	80% SNOWDRIFT LONGITUDE 24 20% SOFT LIGHT ZEN 24
MANUFACTURED STONE TRIM	(Where applicable)	ELDORADO	COASTAL SAND SPLIT EDGE	N/A	N/A
BODY COLOR #1	SW 6070 HERON PLUME	SHERWIN WILLIAMS	STUCCO STUCCO TRIM	STUCCO STUCCO TRIM	FASCIA, LAP SIDING GARAGE DOOR @ 2C & 3C, WOOD TRIM
BODY COLOR #2	SW 7642 PAVESTONE	SHERWIN WILLIAMS	BASE STUCCO LAP SIDING, WOOD TRIM	FASCIA GARAGE DOOR	STUCCO STUCCO TRIM
BODY COLOR #3	SW 7523 BURNISHED BRANDY	SHERWIN WILLIAMS	FASCIA GARAGE DOOR	LAP SIDING	STUCCO POP-OUT, GARAGE DOOR @ 1C
ACCENT COLOR	SW 9142 MOSCOW MIDNIGHT	SHERWIN WILLIAMS	CANOPY FRONT DOOR	CANOPY FRONT DOOR	CANOPY FRONT DOOR
METAL RAILING	SW 7675 SEALSKIN	SHERWIN WILLIAMS	--	--	--
GARAGE DOOR WEATHER STRIP (Factory Finish)	(Per Elevation)	FEHR BROS. (or equal)	DARK OAK	GRAY	WHITE

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Lily Martinez.

2850 Redhill Avenue Suite 200 Santa Ana CA 92705-5543   www.wharchitects.com   5000 Executive Parkway Suite 375 San Ramon CA 94583-4210  
Tel 949 250 0607 Fax 949 250 1529



WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N11 & N18  
MULLHOLAND

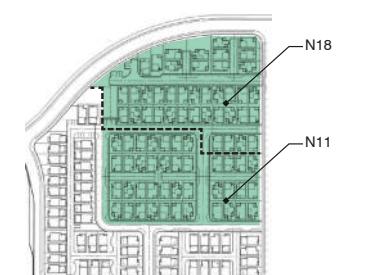
phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



OVERALL



N11 & N18 - MULLHOLAND  
COLOR & MATERIALS  
SCHEME 3 & 4

0 2 4 8 12 FEET

APRIL 11, 2017

A4.11.40

WILLIAM HEZMALHALCH ARCHITECTS INC.

August 2, 2016

BROOKFIELD HOMES  
**MULLHOLAND (N-11 & N-18)**  
Dublin, California

Project #2016035.00

**EXTERIOR COLOR & MATERIALS**

**SCHEME 3 of 6**      **'ALL' Elevations**

COMPOSITION ROOFING	
METAL ROOFING (where applicable)	
MANUFACTURED STONE (where applicable)	
BODY COLOR #1	
BODY COLOR #2	
BODY COLOR #3	
ACCENT COLOR	

For exact color refer to manufacturers' actual samples.  
William Hezmalhalch Architects, Inc. © 2016

2850 Redhill Avenue Suite 200 Santa Ana CA 92705-5543 Tel 949 250 0607 Fax 949 250 1529      www.wharchitects.com      5000 Executive Parkway Suite 375 San Ramon CA 94583-4210 Tel 925 463 1700 Fax 949 250 1529

WILLIAM HEZMALHALCH ARCHITECTS INC.

August 2, 2016

BROOKFIELD HOMES  
**MULLHOLAND (N-11 & N-18)**  
Dublin, California

Project #2016035.00

**EXTERIOR COLOR & MATERIALS**

**SCHEME 4 of 6**      **'ALL' Elevations**

COMPOSITION ROOFING	
METAL ROOFING (where applicable)	
MANUFACTURED STONE (where applicable)	
BODY COLOR #1	
BODY COLOR #2	
BODY COLOR #3	
ACCENT COLOR	

For exact color refer to manufacturers' actual samples.  
William Hezmalhalch Architects, Inc. © 2016

2850 Redhill Avenue Suite 200 Santa Ana CA 92705-5543 Tel 949 250 0607 Fax 949 250 1529      www.wharchitects.com      5000 Executive Parkway Suite 375 San Ramon CA 94583-4210 Tel 925 463 1700 Fax 949 250 1529

WILLIAM HEZMALHALCH ARCHITECTS INC.

August 2, 2016

BROOKFIELD HOMES  
**MULLHOLAND (N-11 & N-18)**  
Dublin, California

Project #2016035

**EXTERIOR COLOR & MATERIALS**

**SCHEME 3 of 6**      **'ALL' ELEVATIONS**

MATERIAL	COLOR	MANUFACTURER	'A' ELEVATION	'B' ELEVATION	'C' ELEVATION
ROOFING: Composition Shingle	HEATHER BLEND Landmark Series	CERTAINTEED	--	--	--
METAL ROOFING	WEATHERED COPPER	CUSTOM BILT METALS	--	--	--
VINYL WINDOWS (Factory Finish)	BRONZE	MILGARD (or equal)	--	--	--
MANUFACTURED STONE (Dry Stacked Joints)	(Where applicable)	ELDORADO	ZINC EUROPEAN LEDGE	N/A	80% SILENT GREY LONGITUDE 24 20% NICKEL ZEN 24
MANUFACTURED STONE TRIM	(Where applicable)	ELDORADO	GREY SKY SPLIT EDGE	N/A	N/A
BODY COLOR #1	SW 7542 NATURAL	SHERWIN WILLIAMS	STUCCO STUCCO TRIM	FASCIA, LAP SIDING GARAGE DOOR, WOOD TRIM	FASCIA, LAP SIDING GARAGE DOOR, WOOD TRIM
BODY COLOR #2	SW 7019 GAUNTLET GRAY	SHERWIN WILLIAMS	BASE STUCCO LAP SIDING, WOOD TRIM	FASCIA GARAGE DOOR	STUCCO STUCCO TRIM
BODY COLOR #3	SW 9183 DARK CLOVE	SHERWIN WILLIAMS	FASCIA GARAGE DOOR	LAP SIDING	STUCCO POP-OUT
ACCENT COLOR	SW 6629 JALAPENO	SHERWIN WILLIAMS	CANOPY FRONT DOOR	CANOPY FRONT DOOR	CANOPY FRONT DOOR
METAL RAILING	SW 7675 SEALSKIN	SHERWIN WILLIAMS	--	--	--
GARAGE DOOR WEATHER STRIP (Factory Finish)	(Per Elevation)	FEHR BROS. (or equal)	BROWN	TERRA BRONZE	ALMOND

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Lily Martinez.

2850 Redhill Avenue Suite 200 Santa Ana CA 92705-5543 Tel 949 250 0607 Fax 949 250 1529      www.wharchitects.com      5000 Executive Parkway Suite 375 San Ramon CA 94583-4210 Tel 925 463 1700 Fax 949 250 1529

WILLIAM HEZMALHALCH ARCHITECTS INC.

August 2, 2016

BROOKFIELD HOMES  
**MULLHOLAND (N-11 & N-18)**  
Dublin, California

Project #2016035

**EXTERIOR COLOR & MATERIALS**

**SCHEME 4 of 6**      **'ALL' ELEVATIONS**

MATERIAL	COLOR	MANUFACTURER	'A' ELEVATION	'B' ELEVATION	'C' ELEVATION
ROOFING: Composition Shingle	HEATHER BLEND Landmark Series	CERTAINTEED	--	--	--
METAL ROOFING	MIDNIGHT BRONZE	CUSTOM BILT METALS	--	--	--
VINYL WINDOWS (Factory Finish)	BRONZE	MILGARD (or equal)	--	--	--
MANUFACTURED STONE (Dry Stacked Joints)	(Where applicable)	ELDORADO	IRON MILL EUROPEAN LEDGE	N/A	80% WILD OAT LONGITUDE 24 20% BURLAP ZEN 24
MANUFACTURED STONE TRIM	(Where applicable)	ELDORADO	GREY SKY SPLIT EDGE	N/A	N/A
BODY COLOR #1	SW 0050 CLASSICAL LIGHT BUFF	SHERWIN WILLIAMS	STUCCO STUCCO TRIM	STUCCO STUCCO TRIM	FASCIA, LAP SIDING GARAGE DOOR, WOOD TRIM
BODY COLOR #2	SW 7639 ETHEREAL MOOD	SHERWIN WILLIAMS	BASE STUCCO LAP SIDING, WOOD TRIM	FASCIA GARAGE DOOR	STUCCO STUCCO TRIM
BODY COLOR #3	SW 6152 SUPERIOR BRONZE	SHERWIN WILLIAMS	FASCIA GARAGE DOOR	LAP SIDING	STUCCO POP-OUT
ACCENT COLOR	SW 6006 BLACK BEAN	SHERWIN WILLIAMS	CANOPY FRONT DOOR	CANOPY FRONT DOOR	CANOPY FRONT DOOR
METAL RAILING	SW 7675 SEALSKIN	SHERWIN WILLIAMS	--	--	--
GARAGE DOOR WEATHER STRIP (Factory Finish)	(Per Elevation)	FEHR BROS. (or equal)	BRONZE	CLAYTONE	ALMOND

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Lily Martinez.

2850 Redhill Avenue Suite 200 Santa Ana CA 92705-5543 Tel 949 250 0607 Fax 949 250 1529      www.wharchitects.com      5000 Executive Parkway Suite 375 San Ramon CA 94583-4210 Tel 925 463 1700 Fax 949 250 1529



WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N11 & N18  
MULLHOLAND

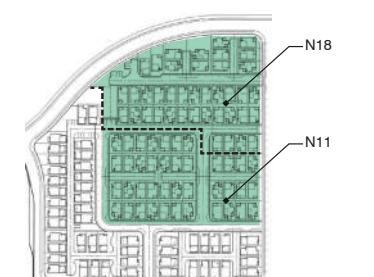
phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



OVERALL



N11 & N18 - MULLHOLAND  
COLOR & MATERIALS  
SCHEME 5 & 6

0 2 4 8 12 FEET

APRIL 11, 2017

A4.11.41

WILLIAM HEZMALHALCH ARCHITECTS INC.

August 2, 2016

BROOKFIELD HOMES  
**MULLHOLAND (N-11 & N-18)**  
Dublin, California

Project #2016035.00

**EXTERIOR COLOR & MATERIALS**

**SCHEME 5 of 6**      **'ALL' Elevations**

COMPOSITION ROOFING	
METAL ROOFING (where applicable)	
MANUFACTURED STONE (where applicable)	
BODY COLOR #1	
BODY COLOR #2	
BODY COLOR #3	
ACCENT COLOR	

For exact color refer to manufacturers' actual samples.  
William Hezmalhalch Architects, Inc. © 2016

2850 Redhill Avenue Suite 200 Santa Ana CA 92705-5543 Tel 949 250 0607 Fax 949 250 1529      www.wharchitects.com      5000 Executive Parkway Suite 375 San Ramon CA 94583-4210 Tel 925 463 1700 Fax 949 250 1529

WILLIAM HEZMALHALCH ARCHITECTS INC.

August 2, 2016

BROOKFIELD HOMES  
**MULLHOLAND (N-11 & N-18)**  
Dublin, California

Project #2016035.00

**EXTERIOR COLOR & MATERIALS**

**SCHEME 6 of 6**      **'ALL' Elevations**

COMPOSITION ROOFING	
METAL ROOFING (where applicable)	
MANUFACTURED STONE (where applicable)	
BODY COLOR #1	
BODY COLOR #2	
BODY COLOR #3	
ACCENT COLOR	

For exact color refer to manufacturers' actual samples.  
William Hezmalhalch Architects, Inc. © 2016

2850 Redhill Avenue Suite 200 Santa Ana CA 92705-5543 Tel 949 250 0607 Fax 949 250 1529      www.wharchitects.com      5000 Executive Parkway Suite 375 San Ramon CA 94583-4210 Tel 925 463 1700 Fax 949 250 1529

WILLIAM HEZMALHALCH ARCHITECTS INC.

August 2, 2016

BROOKFIELD HOMES  
**MULLHOLAND (N-11 & N-18)**  
Dublin, California

Project #2016035

**EXTERIOR COLOR & MATERIALS**

**SCHEME 5 of 6**      **'ALL' ELEVATIONS**

MATERIAL	COLOR	MANUFACTURER	'A' ELEVATION	'B' ELEVATION	'C' ELEVATION
ROOFING: Composition Shingle	WEATHERED WOOD Landmark Series	CERTAINTEED	--	--	--
METAL ROOFING	ZINC GRAY	CUSTOM BILT METALS	--	--	--
VINYL WINDOWS (Factory Finish)	BRONZE	MILGARD (or equal)	--	--	--
MANUFACTURED STONE (Dry Stacked Joints)	(Where applicable)	ELDORADO	GLACIER EUROPEAN LEDGE	N/A	80% WILD OAT LONGITUDE 24 20% BURLAP ZEN 24
MANUFACTURED STONE TRIM	(Where applicable)	ELDORADO	WHITE CLOUD SPLIT EDGE	N/A	N/A
BODY COLOR #1	SW 7005 PURE WHITE	SHERWIN WILLIAMS	STUCCO STUCCO TRIM	STUCCO FASCIA, LAP SIDING GARAGE DOOR, WOOD TRIM	STUCCO TRIM
BODY COLOR #2	SW 0037 MORRIS ROOM GREY	SHERWIN WILLIAMS	BASE STUCCO LAP SIDING, WOOD TRIM	FASCIA GARAGE DOOR	STUCCO TRIM
BODY COLOR #3	SW 2838 POLISHED MAHOGANY	SHERWIN WILLIAMS	FASCIA GARAGE DOOR	LAP SIDING	STUCCO POP-OUT
ACCENT COLOR	SW 0020 PEACOCK PLUME	SHERWIN WILLIAMS	CANOPY FRONT DOOR	CANOPY FRONT DOOR	CANOPY FRONT DOOR
METAL RAILING	SW 7675 SEALSKIN	SHERWIN WILLIAMS	--	--	--
GARAGE DOOR WEATHER STRIP (Factory Finish)	(Per Elevation)	FEHR BROS. (or equal)	BROWN	CLAYTONE	WHITE

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Lily Martinez.

2850 Redhill Avenue Suite 200 Santa Ana CA 92705-5543 Tel 949 250 0607 Fax 949 250 1529      www.wharchitects.com      5000 Executive Parkway Suite 375 San Ramon CA 94583-4210 Tel 925 463 1700 Fax 949 250 1529

WILLIAM HEZMALHALCH ARCHITECTS INC.

August 2, 2016

BROOKFIELD HOMES  
**MULLHOLAND (N-11 & N-18)**  
Dublin, California

Project #2016035

**EXTERIOR COLOR & MATERIALS**

**SCHEME 6 of 6**      **'ALL' ELEVATIONS**

MATERIAL	COLOR	MANUFACTURER	'A' ELEVATION	'B' ELEVATION	'C' ELEVATION
ROOFING: Composition Shingle	MOIRE BLACK Landmark Series	CERTAINTEED	--	--	--
METAL ROOFING	ZINC GREY	CUSTOM BILT METALS	--	--	--
VINYL WINDOWS (Factory Finish)	BRONZE	MILGARD (or equal)	--	--	--
MANUFACTURED STONE (Dry Stacked Joints)	(Where applicable)	ELDORADO	COTTONWOOD EUROPEAN LEDGE	N/A	80% SNOWDRIFT LONGITUDE 24 20% SOFT LIGHT ZEN 24
MANUFACTURED STONE TRIM	(Where applicable)	ELDORADO	GREY SKY SPLIT EDGE	N/A	N/A
BODY COLOR #1	SW 7641 COLONADE GRAY	SHERWIN WILLIAMS	STUCCO STUCCO TRIM	STUCCO TRIM	FASCIA, LAP SIDING GARAGE DOOR, WOOD TRIM
BODY COLOR #2	SW 7042 SHOJI WHITE	SHERWIN WILLIAMS	BASE STUCCO LAP SIDING, WOOD TRIM	FASCIA GARAGE DOOR	STUCCO TRIM
BODY COLOR #3	SW 7674 PEPPERCORN	SHERWIN WILLIAMS	FASCIA GARAGE DOOR	LAP SIDING	STUCCO POP-OUT
ACCENT COLOR	SW 2817 ROOKWOOD AMBER	SHERWIN WILLIAMS	CANOPY FRONT DOOR	CANOPY FRONT DOOR	CANOPY FRONT DOOR
METAL RAILING	SW 7675 SEALSKIN	SHERWIN WILLIAMS	--	--	--
GARAGE DOOR WEATHER STRIP (Factory Finish)	(Per Elevation)	FEHR BROS. (or equal)	TERRA BRONZE	ALMOND	CLAYTONE

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Lily Martinez.

2850 Redhill Avenue Suite 200 Santa Ana CA 92705-5543 Tel 949 250 0607 Fax 949 250 1529      www.wharchitects.com      5000 Executive Parkway Suite 375 San Ramon CA 94583-4210 Tel 925 463 1700 Fax 949 250 1529

phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



STREETSCENE

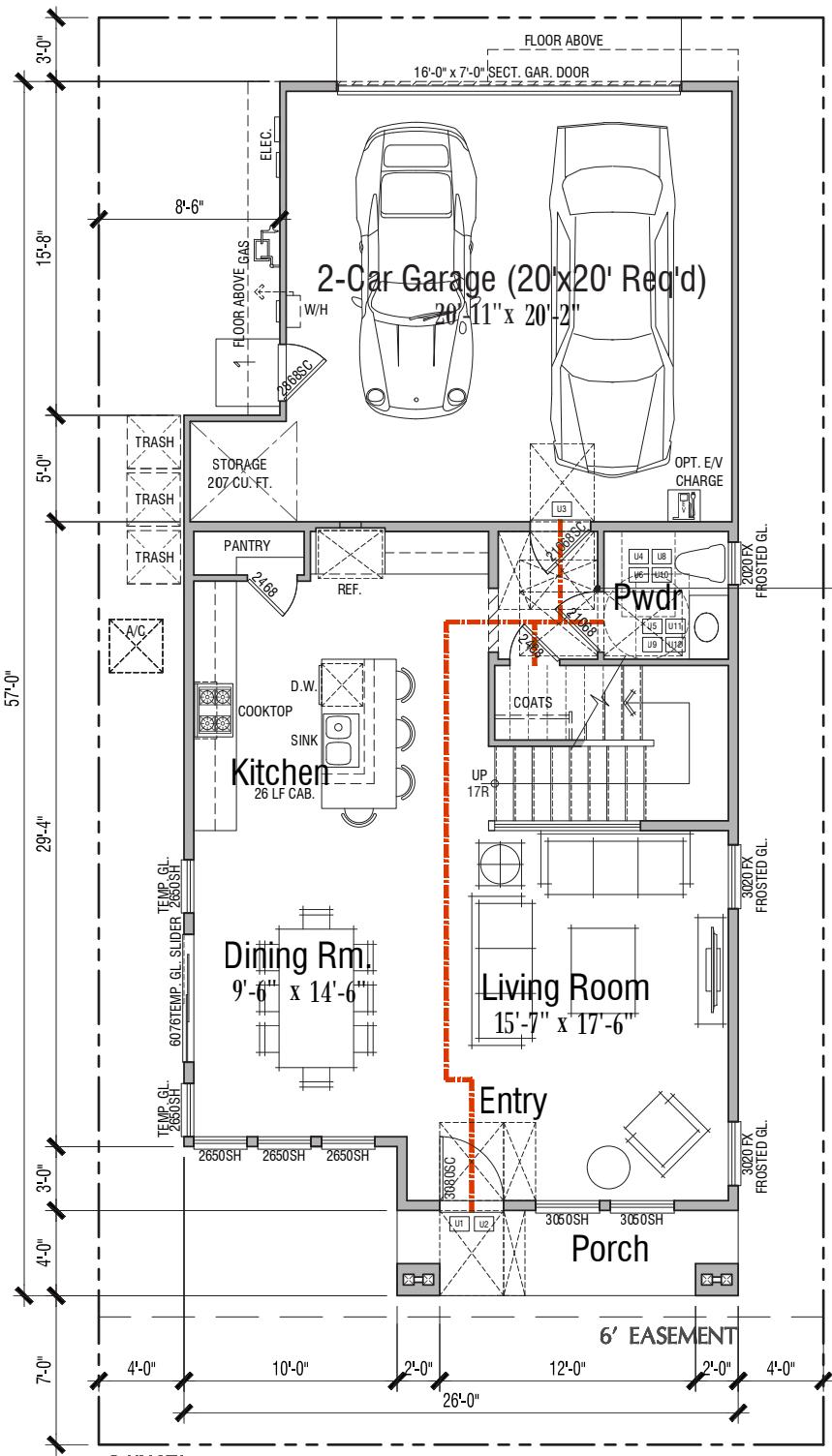


Note: Artist's conception; colors, materials and application may vary.

PLAN 1CR

PLAN 3BR

PLAN 2AR



First Floor  
(Universal Design)  
811 Sqft.

## Plan 1 'A'

Total: 2,588 Sqft.

4 Bedrooms/ 2.5 Baths

Bonus Room/ Opt. Bedroom 5 w/ Opt. Bath 3  
2 Car Garage

Homes have a Reciprocal Side yard Easement.  
Easement occurs at the side where the A/C, Trash,  
Utility are located.

### UNIVERSAL DESIGN KEYNOTES

- [U1] MANDATORY TO INSTALL: PROVIDE DOORBELL MOUNTED BETWEEN 42" AND 48" FROM FINISHED FLOOR AT ENTRY DOOR.
- [U2] MANDATORY TO OFFER: EYEHOLE AT ENTRY DOOR MOUNTED BETWEEN 42" AND 44" FROM FINISHED FLOOR.
- [U3] MANDATORY TO OFFER: OPTIONAL REMOVABLE RAMP TO FRONT DOOR CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U4] MANDATORY TO INSTALL: GRAB BAR REINFORCEMENT FOR WATER CLOSET (TOILET) AND SHOWER OR BATHTUB AT PRIMARY FLOOR POWDER ROOM/ BATHROOM CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U5] MANDATORY TO INSTALL: FAUCETS AND HANDLES NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U6] MANDATORY TO OFFER: CLEAR SPACE IN THE BATH OR POWDER ROOM CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A, OR OUTSIDE OF THE SWING OF THE DOOR AND EITHER A 48" DIA. CIRCLE, 48" X 60" RECTANGLE OR 60" DIA. CIRCLE AT THE OPTION OF THE PURCHASER/ OWNER.
- [U7] MANDATORY TO OFFER: A BATHTUB OR SHOWER MEETING THE REQUIREMENTS OF ANSI A117.1
- [U8] MANDATORY TO OFFER: GRAB BARS INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A FOR THE WATER CLOSET (TOILET), SHOWER/ BATH, OR LAVATORY, OR ANY COMBINATION THEREOF, AT THE OPTION OF THE PURCHASER/ OWNER.
- [U9] MANDATORY TO OFFER: LAVATORY OR SINK INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U10] MANDATORY TO OFFER: WATER CLOSET (TOILET) INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U11] MANDATORY TO OFFER: REMOVABLE CABINETS UNDER THE LAVATORY/ SINK.
- [U12] MANDATORY TO OFFER: WHERE INSTALLED, MIRROR AND TOWEL BARS AT ACCESSIBLE POWERS OR BATHS CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U13] MANDATORY TO INSTALL: KITCHEN SINK CONTROLS NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U14] MANDATORY TO OFFER: AT KITCHEN, ONE OR MORE OF THE FOLLOWING AT THE PURCHASER/ OWNER'S OPTION, AT LEAST A 30" X 48" CLEAR SPACE IN FRONT OF THE SINK (COUNTING OPEN ACCESS UNDERNEATH, IF AVAILABLE) OR AT LEAST ONE 18" WIDE BREADBOARD AND/ OR AT LEAST 18" IN COUNTER SPACE AT A 34" HEIGHT OR AND COMBINATION THEREOF, A 30" X 48" CLEAR SPACE IN FRONT OF REFRIGERATOR, DISHWASHER AND ANY OTHER MAJOR KITCHEN APPLIANCE AT THE OPTION OF THE PURCHASER/ OWNER.
- [U15] MANDATORY TO OFFER: ADJUSTABLE SINK AND/ OR REMOVABLE UNDER-SINK CABINETS CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U16] MANDATORY TO OFFER: HOOD FAN CONTROLS AT LIGHT SWITCH LEVEL OR LOWER LEVEL.
- [U17] MANDATORY TO OFFER: ACCESSIBLE INTERIOR ROUTE CONSISTEN WITH THE REQUIREMENTS OF ORDINANCE NO. 21-07 CITY OF DUBLIN MUNICIPAL CODE 7.90.070 INTERIOR ROUTES INSTALLED AT THE REQUEST AND COST OF THE PURCHASER/ OWNER.

### NOTES

REFER TO SHEET GN-1 AND CITY OF DUBLIN ORDINANCE 21-07 FOR A COMPREHENSIVE LIST OF ALL REQUIREMENTS AND REGULATIONS RELATED TO THIS UNIVERSAL DESIGN OPTION.

#### MANDATORY TO INSTALL:

1. HAND-ACTIVATED DOOR HARDWARE NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
2. ROCKER LIGHT SWITCHES AND CONTROL OR LIGHT SWITCHES AND CONTROLS MEETING THE REQUIREMENTS OF ANSI A117.1 OR THE CBC CHAPTER 11A.
3. THE INSTALLATION OF ALL RECEPTACLES OUTLETS, LIGHTING CONTROLS AND ENVIRONMENTAL CONTROLS THROUGHOUT THE RESIDENTIAL DWELLING UNIT MUST COMPLY WITH THE CBC CHAPTER 11A OR APPLICABLE PROVISIONS OF THE CALIFORNIA ELECTRICAL CODE.



### PLAN 1 'A'

FLOOR PLAN  
(UNIVERSAL DESIGN)

0 2 4 8 12 FEET

APRIL 11, 2017

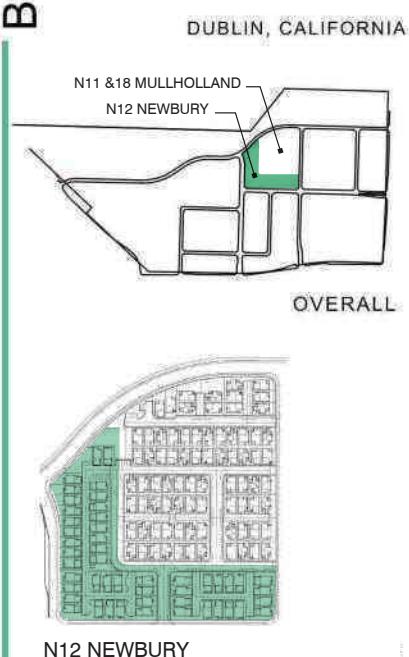
A4.12.1

phases 2-3

BOULEVARD

phases 2-3

BOULEVARD

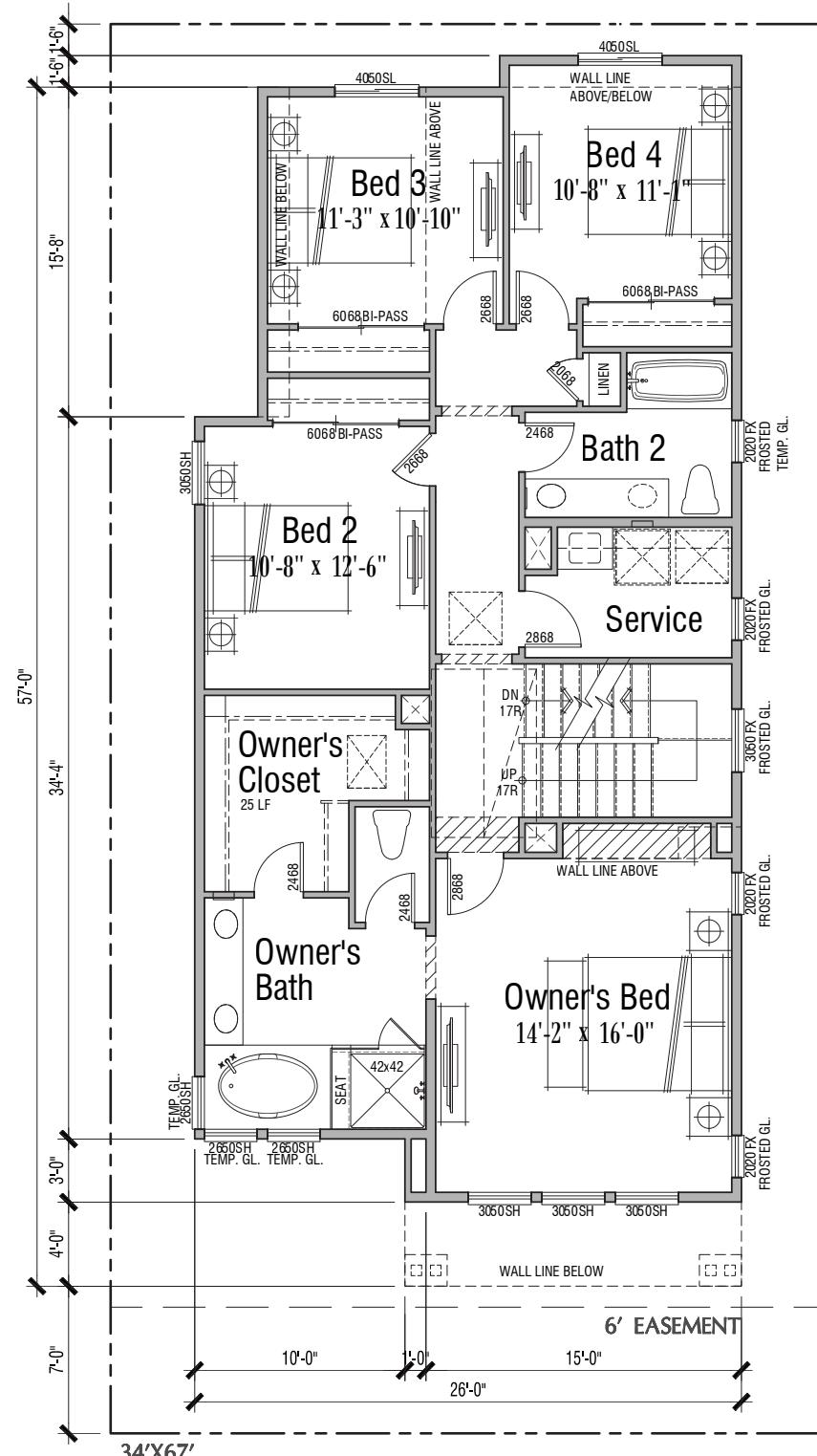
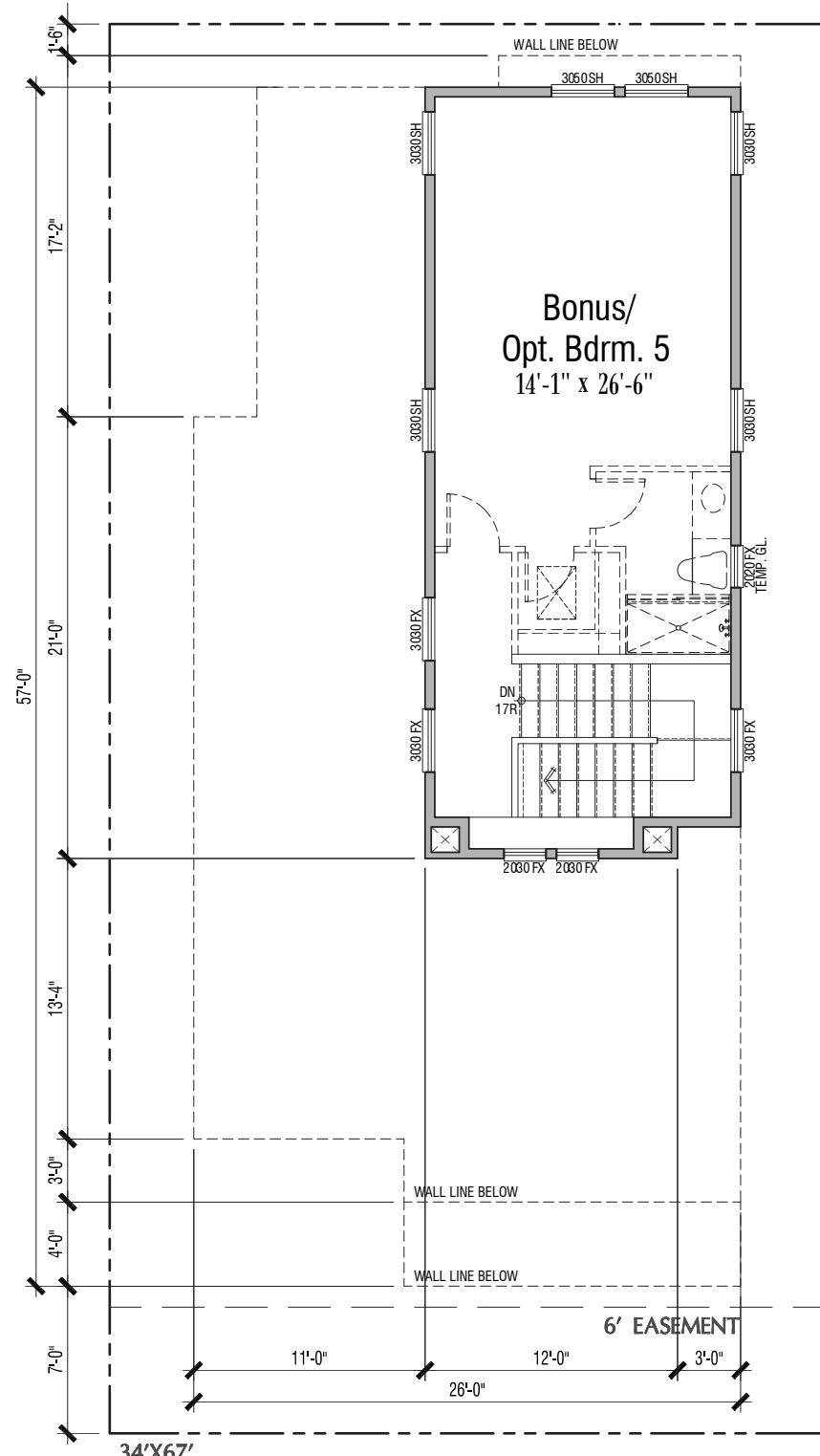


PLAN 1 'A'  
FLOOR PLANS

0 2 4 8 12 FEET

APRIL 11, 2017

A4.12.2

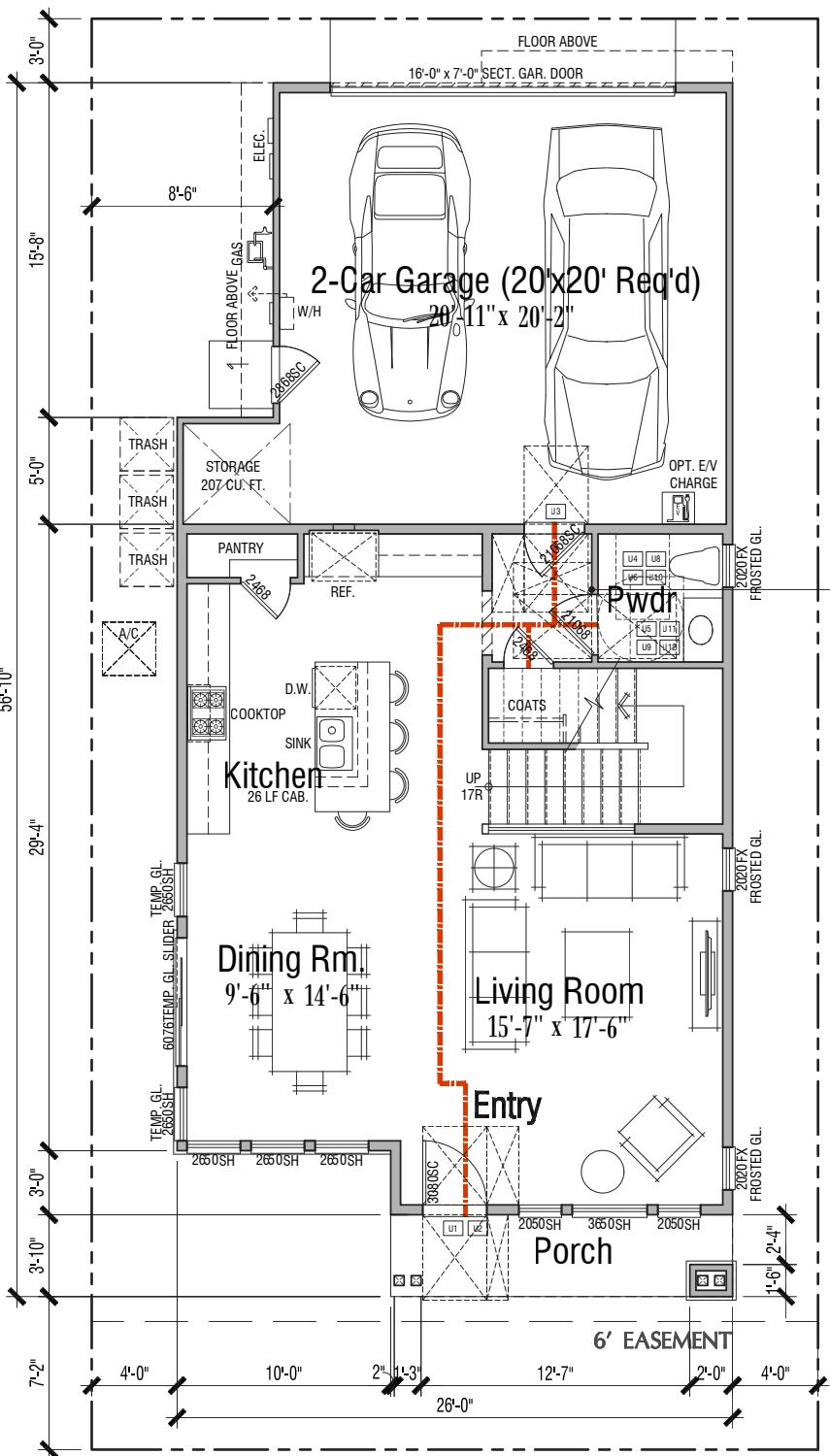


## Plan 1 'A'

Total: 2,588 Sqft.

4 Bedrooms/ 2.5 Baths

Bonus Room/ Opt. Bedroom 5 w/ Opt. Bath 3  
2 Car Garage



## Plan 1 'B'

Total: 2,616 Sqft.

4 Bedrooms/ 2.5 Baths

Bonus Room/ Opt. Bedroom 5 w/ Opt. Bath 3  
2 Car Garage

Homes have a Reciprocal Side yard Easement.  
Easement occurs at the side where the A/C, Trash,  
Utility are located.

### UNIVERSAL DESIGN KEYNOTES

- [U1] MANDATORY TO INSTALL: PROVIDE DOORBELL MOUNTED BETWEEN 42" AND 48" FROM FINISHED FLOOR AT ENTRY DOOR.
- [U2] MANDATORY TO OFFER: EYEHOLE AT ENTRY DOOR MOUNTED BETWEEN 42" AND 44" FROM FINISHED FLOOR.
- [U3] MANDATORY TO OFFER: OPTIONAL REMOVABLE RAMP TO FRONT DOOR CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U4] MANDATORY TO OFFER: OPTIONAL REMOVABLE RAMP AT GARAGE-TO-HOUSE ENTRY DOOR CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U5] MANDATORY TO INSTALL: GRAB BAR REINFORCEMENT FOR WATER CLOSET (TOILET) AND SHOWER OR BATHTUB AT PRIMARY FLOOR POWDER ROOM/ BATHROOM CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U6] MANDATORY TO INSTALL: FAUCETS AND HANDLES NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U7] MANDATORY TO OFFER: CLEAR SPACE IN THE BATH OR POWDER ROOM CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A, OR OUTSIDE OF THE SWING OF THE DOOR AND EITHER A 48" DIA. CIRCLE, 48" X 60" RECTANGLE OR 60" DIA. CIRCLE AT THE OPTION OF THE PURCHASER/ OWNER.
- [U8] MANDATORY TO OFFER: GRAB BARS INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A FOR THE WATER CLOSET (TOILET), SHOWER/ BATH, OR LAVATORY, OR ANY COMBINATION THEREOF, AT THE OPTION OF THE PURCHASER/ OWNER.
- [U9] MANDATORY TO OFFER: LAVATORY OR SINK INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U10] MANDATORY TO OFFER: WATER CLOSET (TOILET) INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U11] MANDATORY TO OFFER: REMOVABLE CABINETS UNDER THE LAVATORY/ SINK.
- [U12] MANDATORY TO OFFER: WHERE INSTALLED, MIRROR AND TOWEL BARS AT ACCESSIBLE POWDERS OR BATHS CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U13] MANDATORY TO INSTALL: KITCHEN SINK CONTROLS NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U14] MANDATORY TO OFFER: AT KITCHEN, ONE OR MORE OF THE FOLLOWING AT THE PURCHASER/ OWNER'S OPTION, AT LEAST A 30" X 48" CLEAR SPACE IN FRONT OF THE SINK (COUNTING OPEN ACCESS UNDERNEATH, IF AVAILABLE) OR AT LEAST ONE 18" WIDE BREADBOARD AND/ OR AT LEAST 18" IN COUNTER SPACE AT A 34" HEIGHT OR AND COMBINATION THEREOF, A 30" X 48" CLEAR SPACE IN FRONT OF REFRIGERATOR, DISHWASHER AND ANY OTHER MAJOR KITCHEN APPLIANCE AT THE OPTION OF THE PURCHASER/ OWNER.
- [U15] MANDATORY TO OFFER: ADJUSTABLE SINK AND/ OR REMOVABLE UNDER-SINK CABINETS CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U16] MANDATORY TO OFFER: HOOD FAN CONTROLS AT LIGHT SWITCH LEVEL OR LOWER LEVEL.
- [U17] MANDATORY TO OFFER: ACCESSIBLE INTERIOR ROUTE CONSISTENT WITH THE REQUIREMENTS OF ORDINANCE NO. 21-07 CITY OF DUBLIN MUNICIPAL CODE 7.90.070 INTERIOR ROUTES INSTALLED AT THE REQUEST AND COST OF THE PURCHASER/ OWNER.

### NOTES

REFER TO SHEET GN-1 AND CITY OF DUBLIN ORDINANCE 21-07 FOR A COMPREHENSIVE LIST OF ALL REQUIREMENTS AND REGULATIONS RELATED TO THIS UNIVERSAL DESIGN OPTION.

#### MANDATORY TO INSTALL:

1. HAND-ACTIVATED DOOR HARDWARE NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
2. ROCKER LIGHT SWITCHES AND CONTROL OR LIGHT SWITCHES AND CONTROLS MEETING THE REQUIREMENTS OF ANSI 117.1 OR THE CBC CHAPTER 11A.
3. THE INSTALLATION OF ALL RECEPTACLES OUTLETS, LIGHTING CONTROLS AND ENVIRONMENTAL CONTROLS THROUGHOUT THE RESIDENTIAL DWELLING UNIT MUST COMPLY WITH THE CBC CHAPTER 11A OR APPLICABLE PROVISIONS OF THE CALIFORNIA ELECTRICAL CODE.

### PLAN 1 'B'

FLOOR PLAN  
(UNIVERSAL DESIGN)

0 2 4 8 12 FEET

APRIL 11, 2017

A4.12.3



phases 2-3

## BOULEVARD



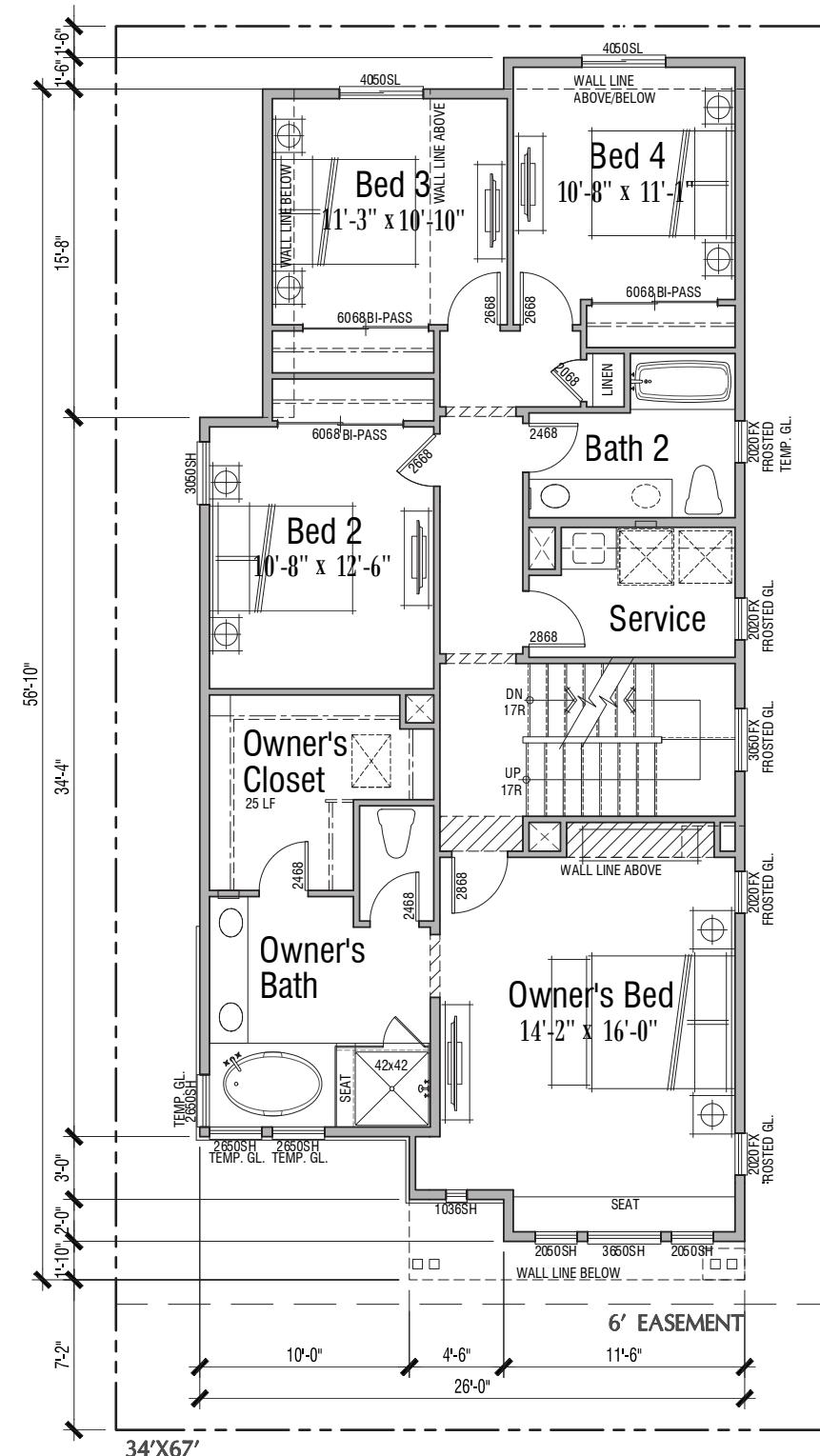
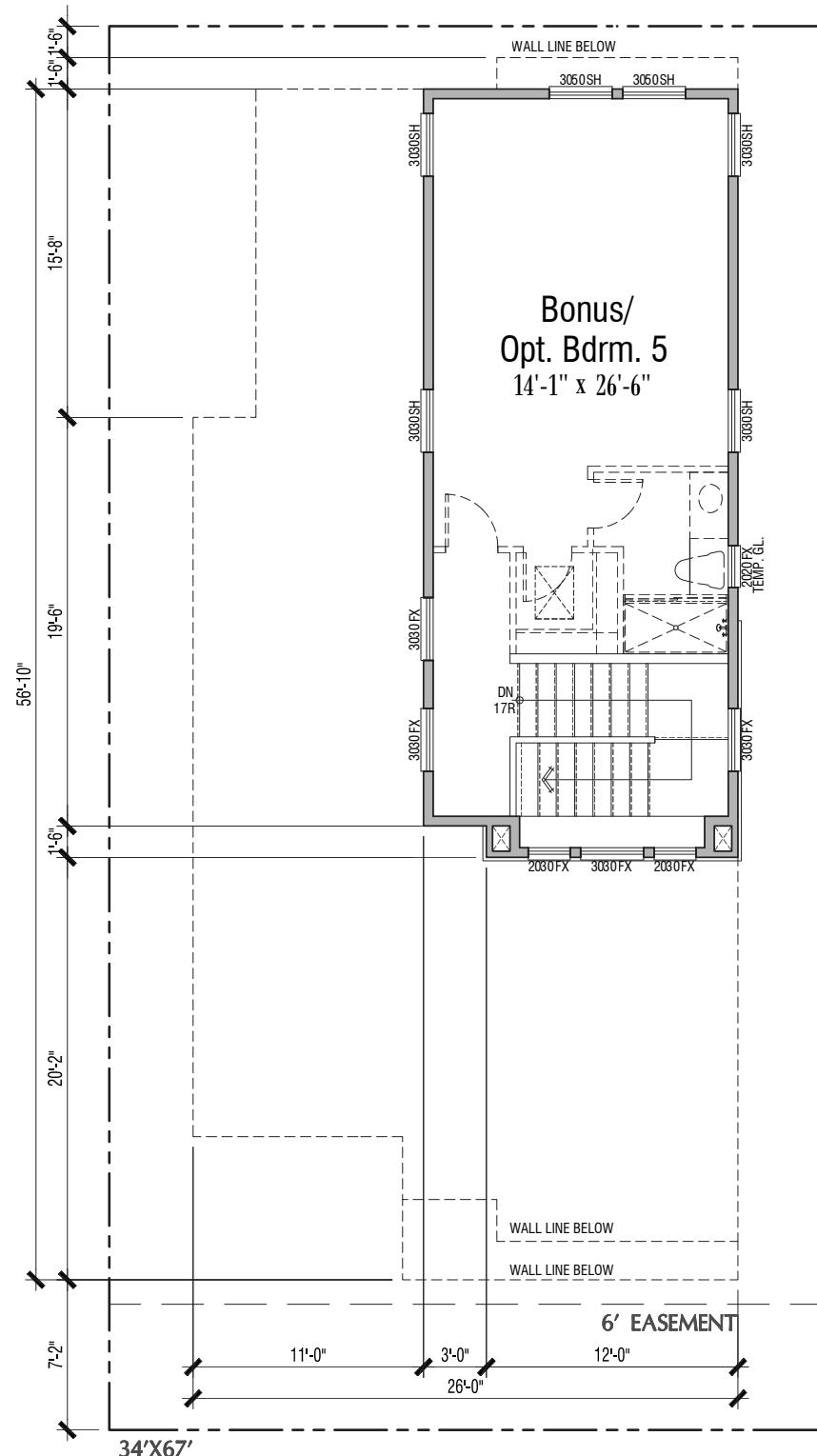
PLAN 1 'B'  
FLOOR PLANS

0 2 4 8 12 FEET



APRIL 11, 2017

A4.12.4

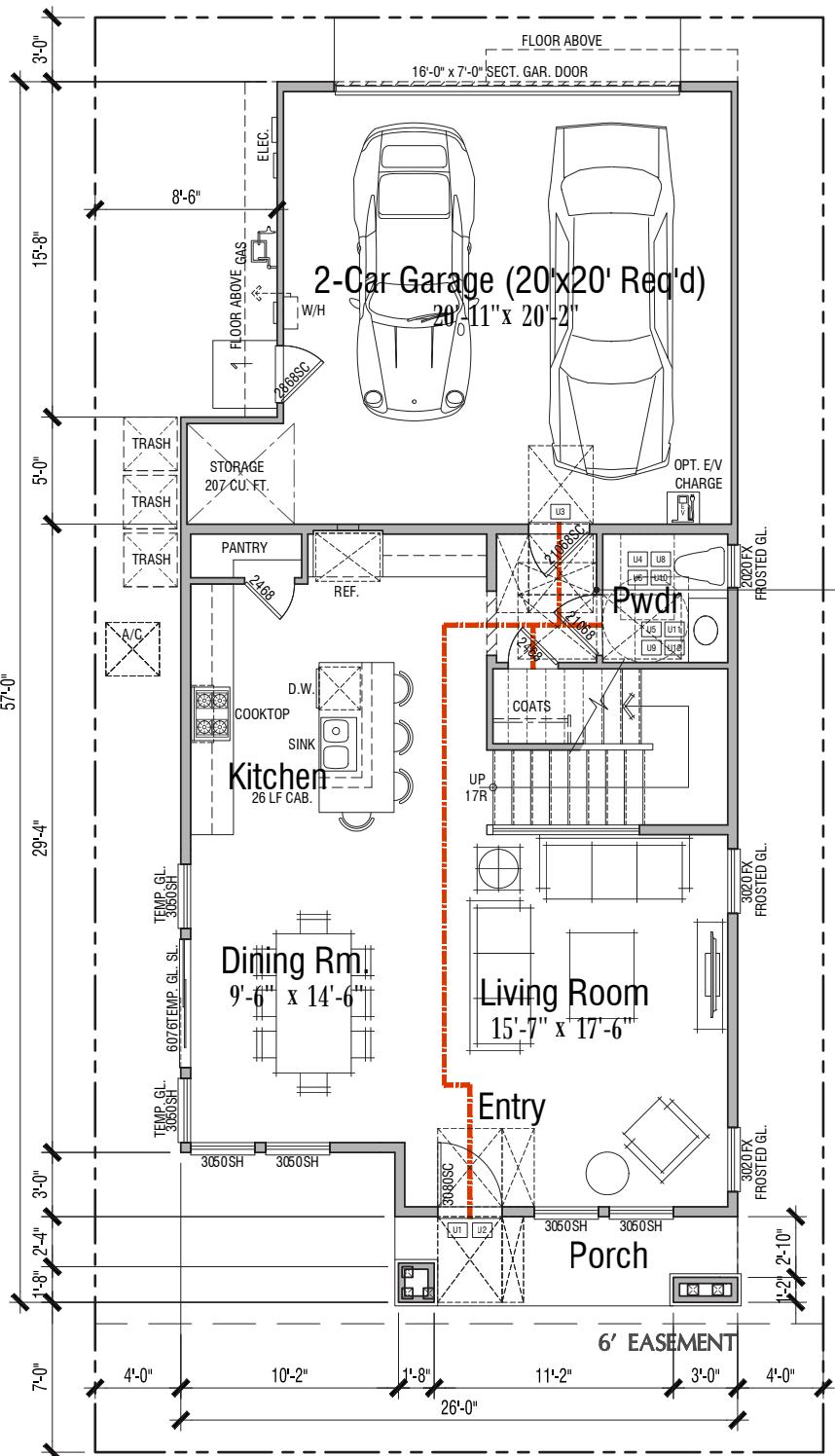


## Plan 1 'B'

Total: 2,616 Sqft.

4 Bedrooms/ 2.5 Baths

Bonus Room/ Opt. Bedroom 5 w/ Opt. Bath 3  
2 Car Garage



First Floor  
(Universal Design)  
811 Sqft.

## Plan 1 'C'

Total: 2,589 Sqft.

4 Bedrooms/ 2.5 Baths

Bonus Room/ Opt. Bedroom 5 w/ Opt. Bath 3  
2 Car Garage

Homes have a Reciprocal Side yard Easement.  
Easement occurs at the side where the A/C, Trash,  
Utility are located.

### UNIVERSAL DESIGN KEYNOTES

- [U1] MANDATORY TO INSTALL: PROVIDE DOORBELL MOUNTED BETWEEN 42" AND 48" FROM FINISHED FLOOR AT ENTRY DOOR.
- [U2] MANDATORY TO OFFER: EYEHOLE AT ENTRY DOOR MOUNTED BETWEEN 42" AND 44" FROM FINISHED FLOOR.
- [U3] MANDATORY TO OFFER: OPTIONAL REMOVABLE RAMP AT GARAGE-TO-HOUSE ENTRY DOOR CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U4] MANDATORY TO INSTALL: GRAB BAR REINFORCEMENT FOR WATER CLOSET (TOILET) AND SHOWER OR BATHTUB AT PRIMARY FLOOR POWDER ROOM/ BATHROOM CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U5] MANDATORY TO INSTALL: FAUCETS AND HANDLES NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U6] MANDATORY TO OFFER: CLEAR SPACE IN THE BATH OR POWDER ROOM CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A, OR OUTSIDE OF THE SWING OF THE DOOR AND EITHER A 48" DIA. CIRCLE, 48" X 60" RECTANGLE OR 60" DIA. CIRCLE AT THE OPTION OF THE PURCHASER/ OWNER.
- [U7] MANDATORY TO OFFER: A BATHTUB OR SHOWER MEETING THE REQUIREMENTS OF ANSI A117.1
- [U8] MANDATORY TO OFFER: GRAB BARS INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A FOR THE WATER CLOSET (TOILET), SHOWER/ BATH, OR LAVATORY, OR ANY COMBINATION THEREOF, AT THE OPTION OF THE PURCHASER/ OWNER.
- [U9] MANDATORY TO OFFER: LAVATORY OR SINK INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U10] MANDATORY TO OFFER: WATER CLOSET (TOILET) INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U11] MANDATORY TO OFFER: REMOVABLE CABINETS UNDER THE LAVATORY/ SINK.
- [U12] MANDATORY TO OFFER: WHERE INSTALLED, MIRROR AND TOWEL BARS AT ACCESSIBLE POWDERS OR BATHS CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U13] MANDATORY TO INSTALL: KITCHEN SINK CONTROLS NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U14] MANDATORY TO OFFER: AT KITCHEN, ONE OR MORE OF THE FOLLOWING AT THE PURCHASER/ OWNER'S OPTION, AT LEAST A 30" X 48" CLEAR SPACE IN FRONT OF THE SINK (COUNTING OPEN ACCESS UNDERNEATH, IF AVAILABLE) OR AT LEAST ONE 18" WIDE BREADBOARD AND/ OR AT LEAST ONE 18" IN COUNTER SPACE AT A 34" HEIGHT OR AND COMBINATION THEREOF, A 30" X 48" CLEAR SPACE IN FRONT OF REFRIGERATOR, DISHWASHER AND ANY OTHER MAJOR KITCHEN APPLIANCE AT THE OPTION OF THE PURCHASER/ OWNER.
- [U15] MANDATORY TO OFFER: ADJUSTABLE SINK AND/ OR REMOVABLE UNDER-SINK CABINETS CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U16] MANDATORY TO OFFER: HOOD FAN CONTROLS AT LIGHT SWITCH LEVEL OR LOWER LEVEL.
- [U17] MANDATORY TO OFFER: ACCESSIBLE INTERIOR ROUTE CONSISTENT WITH THE REQUIREMENTS OF ORDINANCE NO. 21-07 CITY OF DUBLIN MUNICIPAL CODE 7.90.070 INTERIOR ROUTES INSTALLED AT THE REQUEST AND COST OF THE PURCHASER/ OWNER.

### NOTES

REFER TO SHEET GN-1 AND CITY OF DUBLIN ORDINANCE 21-07 FOR A COMPREHENSIVE LIST OF ALL REQUIREMENTS AND REGULATIONS RELATED TO THIS UNIVERSAL DESIGN OPTION.

MANDATORY TO INSTALL:

1. HAND-ACTIVATED DOOR HARDWARE NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
2. ROCKER LIGHT SWITCHES AND CONTROL OR LIGHT SWITCHES AND CONTROLS MEETING THE REQUIREMENTS OF ANSI A117.1 OR THE CBC CHAPTER 11A.
3. THE INSTALLATION OF ALL RECEPTACLES OUTLETS, LIGHTING CONTROLS AND ENVIRONMENTAL CONTROLS THROUGHOUT THE RESIDENTIAL DWELLING UNIT MUST COMPLY WITH THE CBC CHAPTER 11A OR APPLICABLE PROVISIONS OF THE CALIFORNIA ELECTRICAL CODE.



PLAN 1 'C'  
FLOOR PLAN  
(UNIVERSAL DESIGN)

0 2 4 8 12 FEET

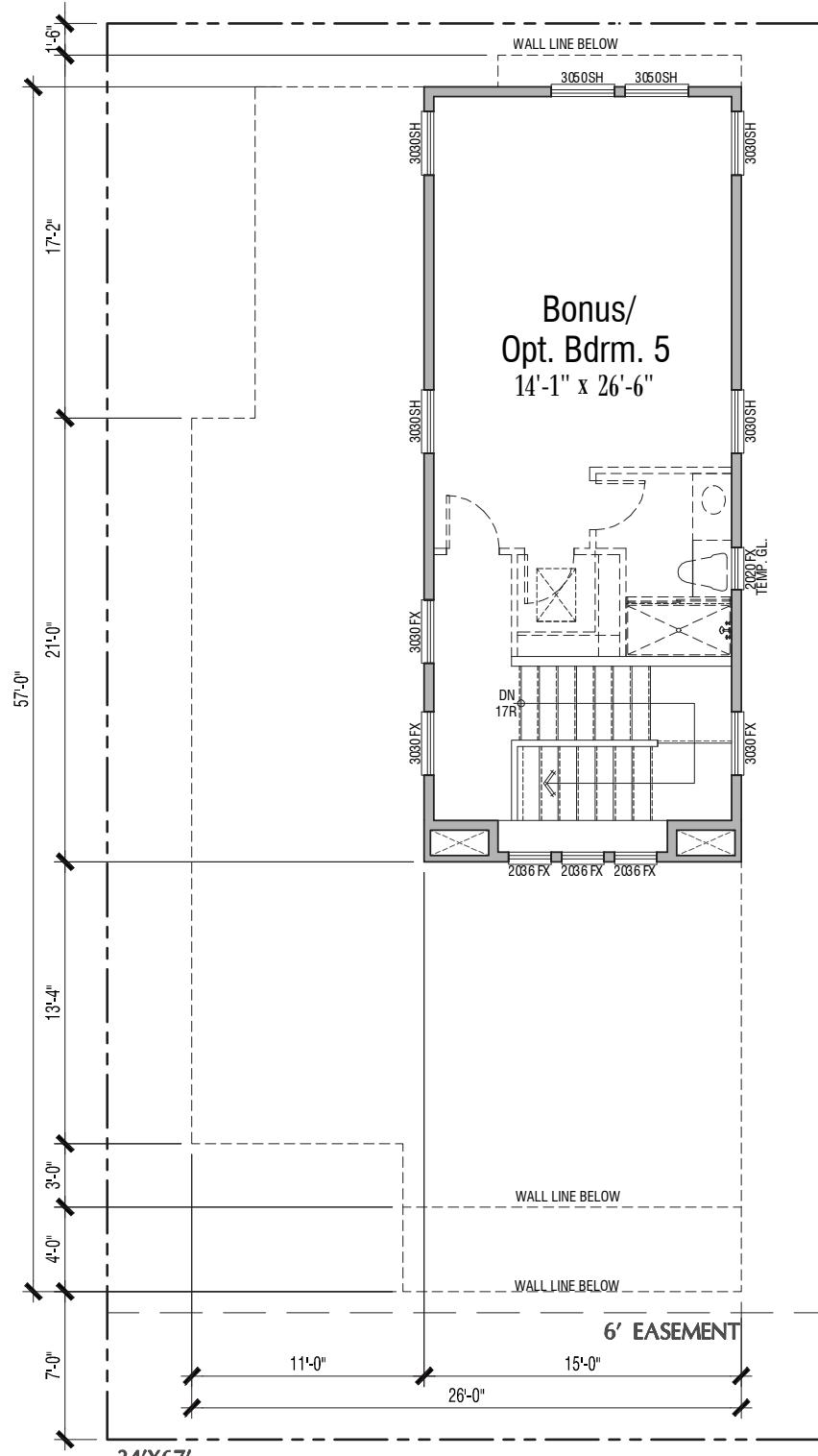
APRIL 11, 2017

A4.12.5

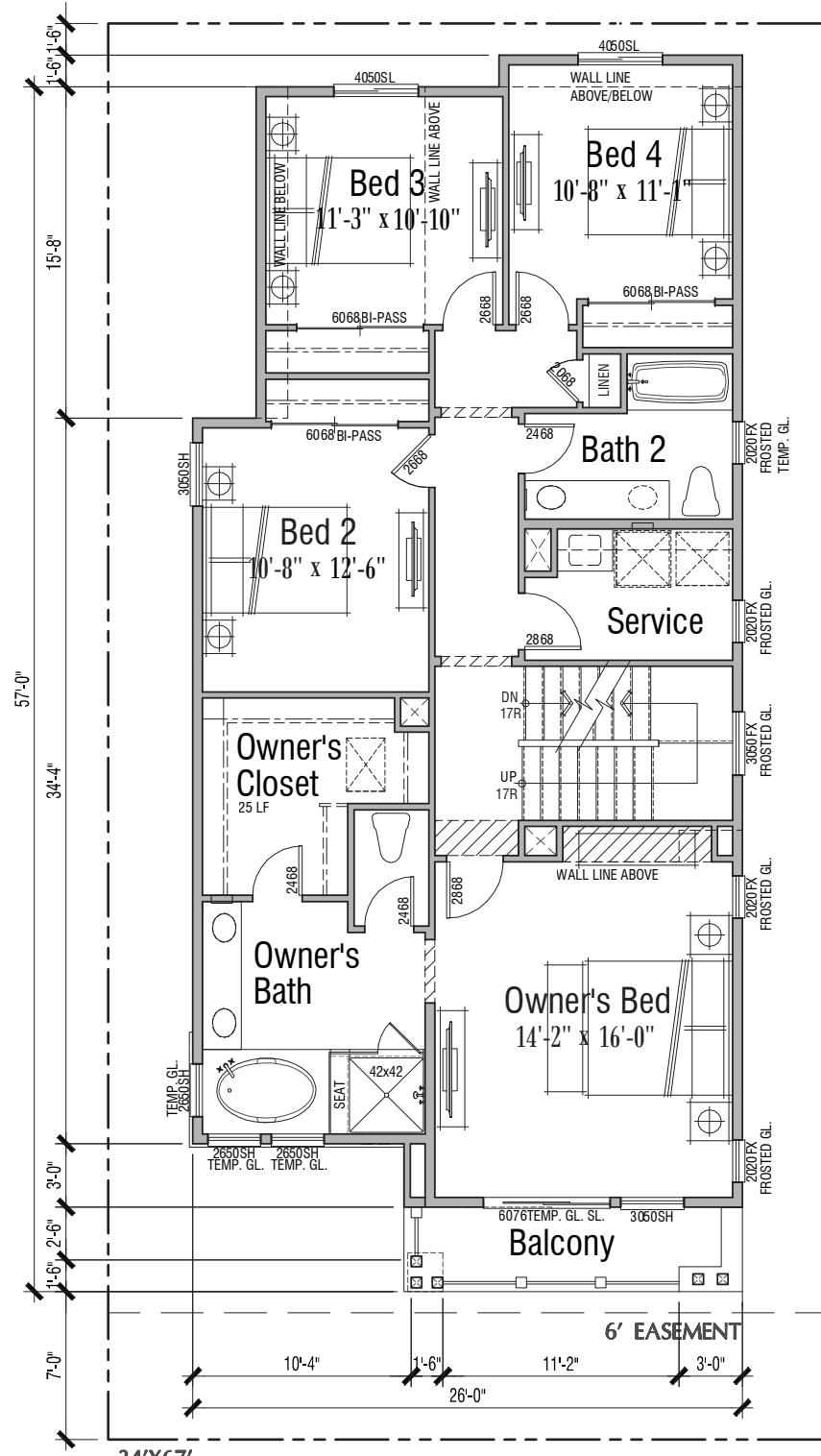


WILLIAM HEZMALHALCH  
ARCHITECTS INC.

## N12 NEWBURY



Third Floor  
463 Sqft.



Second Floor  
1,315 Sqft.

## Plan 1 'C'

Total: 2,589 Sqft.

Total 2,350 Sq.Ft.

Bonus Room/ Opt. Bedroom 5 w/ Opt. Bath 3

2 Car Garage

## **PLAN 1 'C'**

### **FLOOR PLANS**



APRIL 11, 2017

A4.12.6

phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



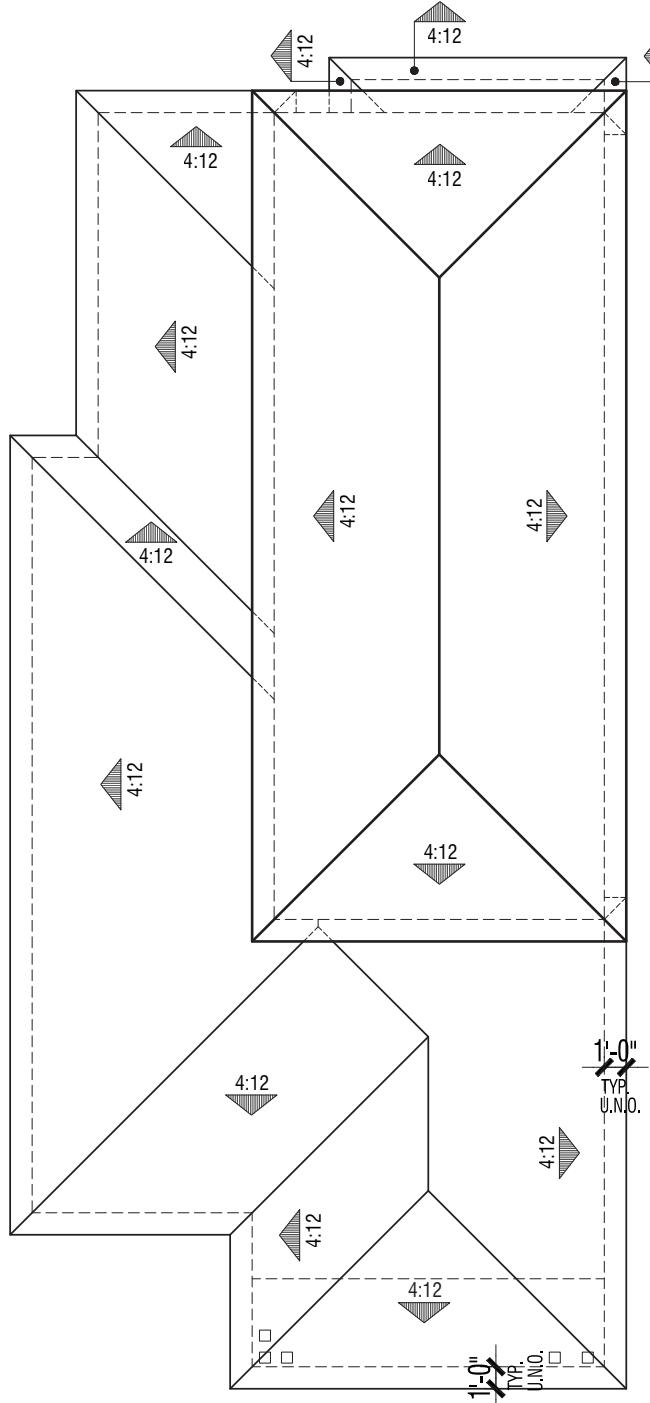
PLAN 1  
ROOF PLANS

0 2 4 8 12 FEET

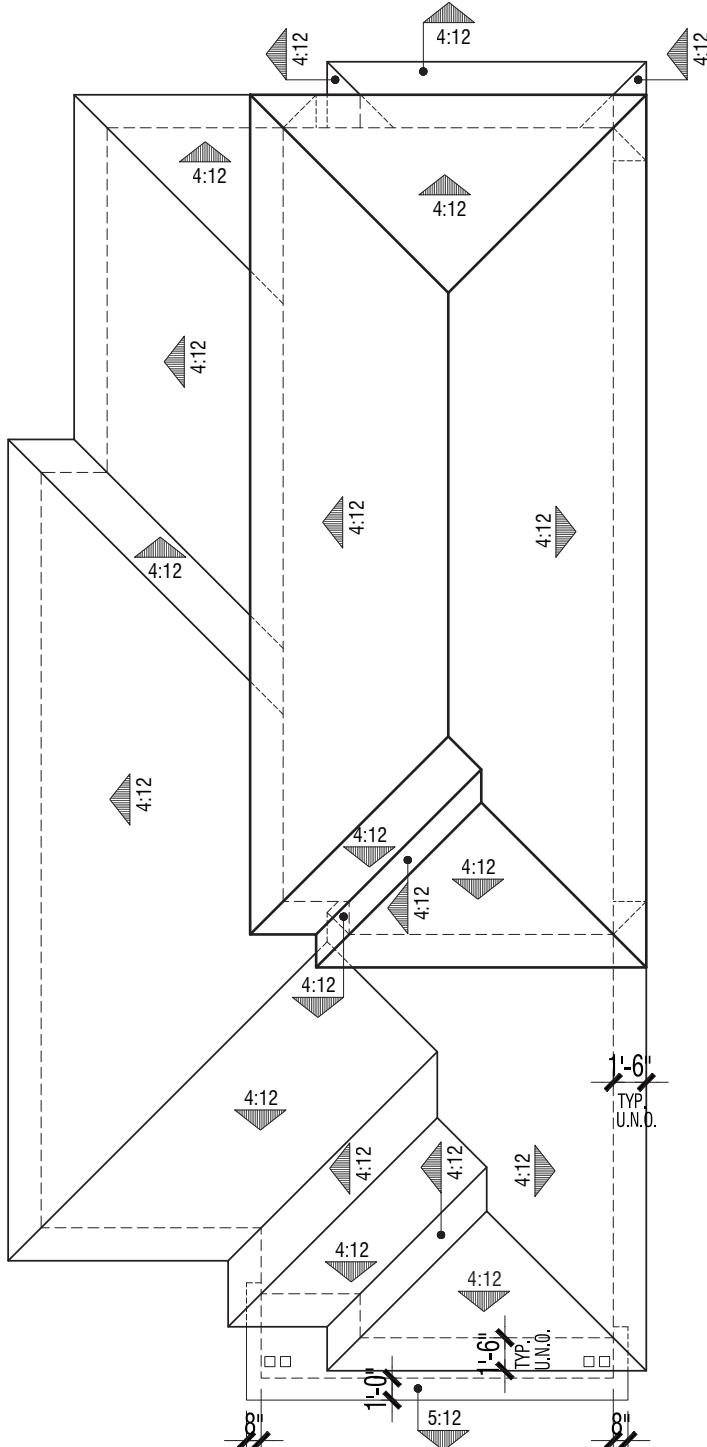


APRIL 11, 2017

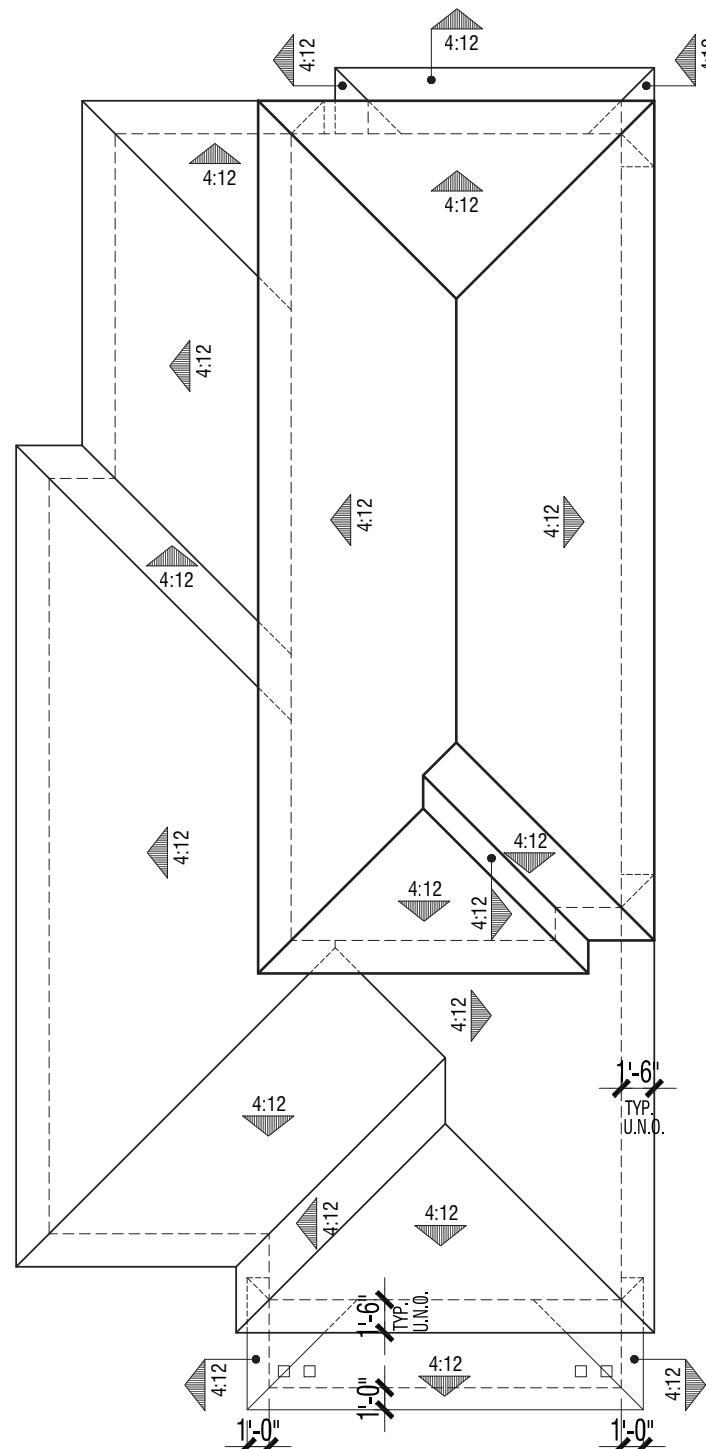
A4.12.7



Roof Plan 'C'



Roof Plan 'B'



Roof Plan 'A'

Note: Per Exception 7 to the California Energy code section 110.10(b)1A, solar zones are not required if all thermostats within the home are capable of receiving and responding to demand response signals and one of the following is provided: 1) "Energy Star" dishwasher, 2) Whole House fan driven by an electronically commutated motor.

Plan 1



Note: Artist's conception; colors, materials and application may vary.

Left



Rear



Right



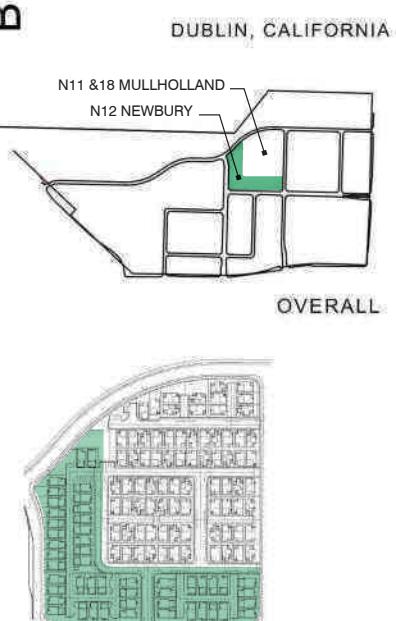
Front

Plan 1 'A'

- A - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 4**
1. ROOF: CONCRETE SLATE TILE ROOF
  2. FASCIA/GUTTER TYPICAL
  3. BODY: STUCCO #1
  4. BODY: STUCCO BODY #2
  5. TRIM: 2X6 STUCCO FOAM TRIM
  6. WINDOWS: VINYL WINDOWS WITH FACTORY PAINT FINISH
  7. FRONT DOOR: ACCENT COLOR, PAINT GRADE
  8. GARAGE DOOR:
  9. ADDRESS PANEL
  10. LIGHT FIXTURE
  11. POST: 6X6 WOOD SMOOTH FINISH
  12. SIDING: HORIZONTAL SIDING

phases 2-3

## BOULEVARD



PLAN 1 'A'  
EXTERIOR ELEVATIONS

0 2 4 8 12 FEET

APRIL 11, 2017

A4.12.8

phases 2-3

BOULEVARD



PLAN 1 'B'  
EXTERIOR ELEVATIONS

0 2 4 8 12 FEET

APRIL 11, 2017

A4.12.9



Note: Artist's conception; colors, materials and application may vary.

Left



Rear



Right



Front

- B - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 5**
1. ROOF: CONCRETE SLATE TILE ROOF / METAL ROOF
  2. FASCIA/GUTTER TYPICAL
  3. BODY: STUCCO
  4. BODY: FIBER CEMENT HORIZONTAL SIDING
  5. TRIM: 2X6 STUCCO OVER FOAM TRIM
  6. VENEER: CONCRETE MASONRY BLOCK OR MANUFACTURED STONE - LEDGECUT
  7. WINDOWS: VINYL WINDOWS WITH FACTORY PAINT FINISH
  8. FRONT DOOR: ACCENT COLOR, PAINT GRADE
  9. GARAGE DOOR
  10. ADDRESS PANEL
  11. LIGHT FIXTURE
  12. POSTS: 6X6 WOOD SMOOTH FINISH

Plan 1 'B'



Note: Artist's conception; colors, materials and application may vary.

Left

Rear



Right



Front

PLAN 1 'C'  
EXTERIOR ELEVATIONS

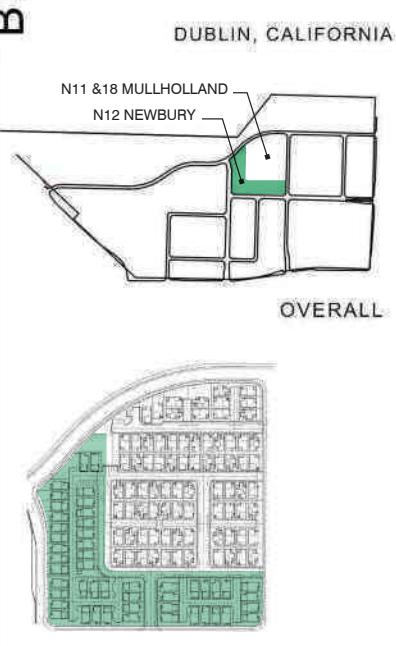
- C - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 1**
1. ROOF: CONCRETE SLATE TILE ROOF
  2. FASCIA/GUTTER TYPICAL
  3. BODY: STUCCO
  4. BODY: FIBER CEMENT HORIZONTAL SIDING
  5. VENEER: CONCRETE MASONRY BLOCK OR MANUFACTURED STONE - CLIFFSTONE
  6. WINDOWS: VINYL WINDOWS WITH FACTORY PAINT FINISH
  7. FRONT DOOR: ACCENT COLOR, PAINT GRADE
  8. GARAGE DOOR: METAL/OR WOOD
  9. RAILING: METAL/OR WOOD
  10. ADDRESS PANEL
  11. LIGHT FIXTURE
  12. POSTS: 6X6 WOOD SMOOTH FINISH

Plan 1 'C'

0 2 4 8 12 FEET

APRIL 11, 2017

A4.12.10



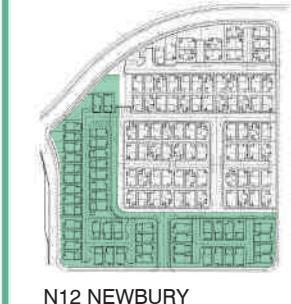
N12 NEWBURY

OVERALL

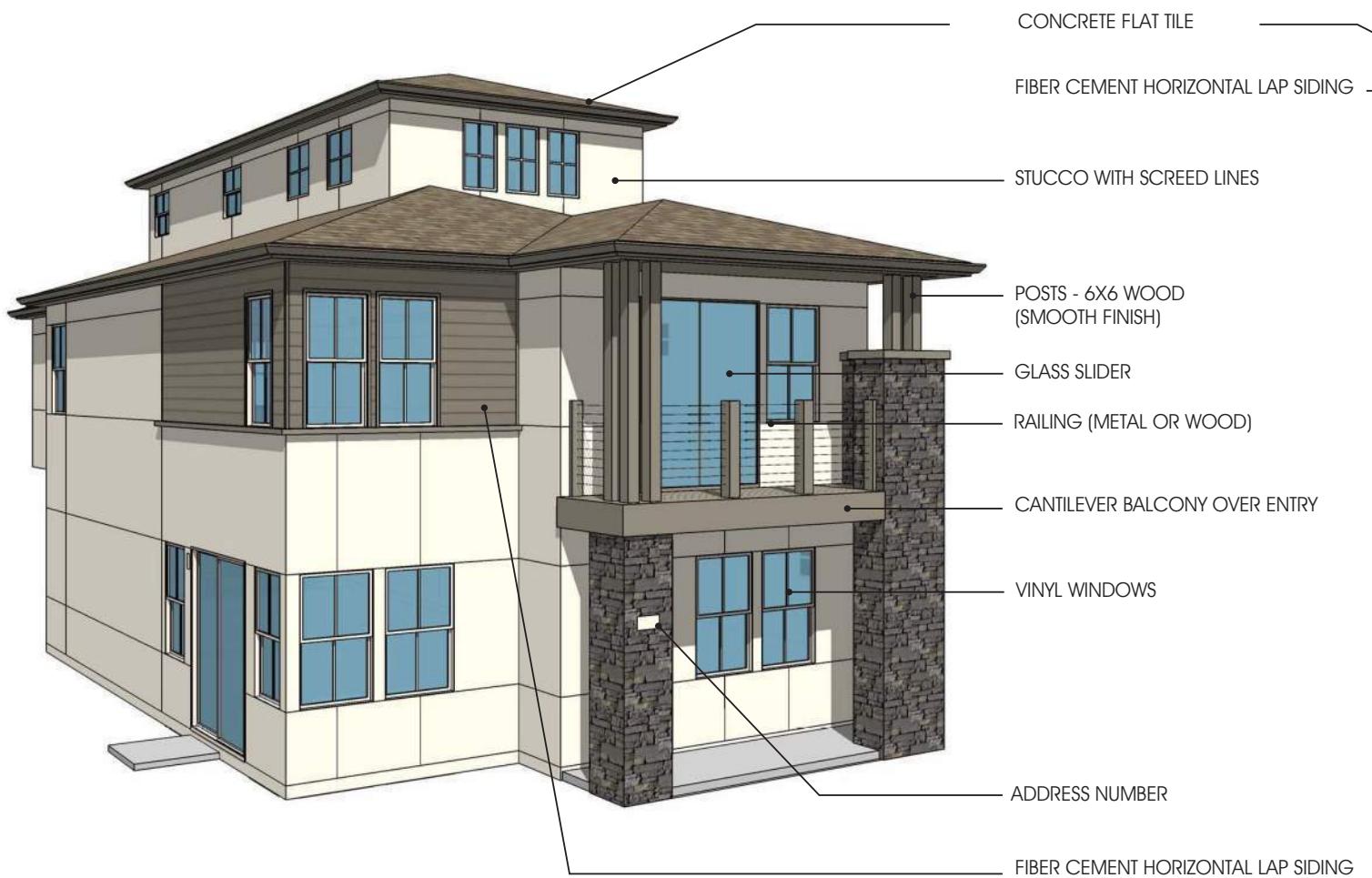


phases 2-3

## BOULEVARD



**PLAN 1 'C'**  
TYPICAL ISOMETRIC VIEW



**PLAN 1C - FRONT LEFT CORNER**  
COLOR SCHEME #1



**PLAN 1C - FRONT RIGHT INTERIOR**  
COLOR SCHEME #1



Note: Artist's conception; colors, materials and application may vary.

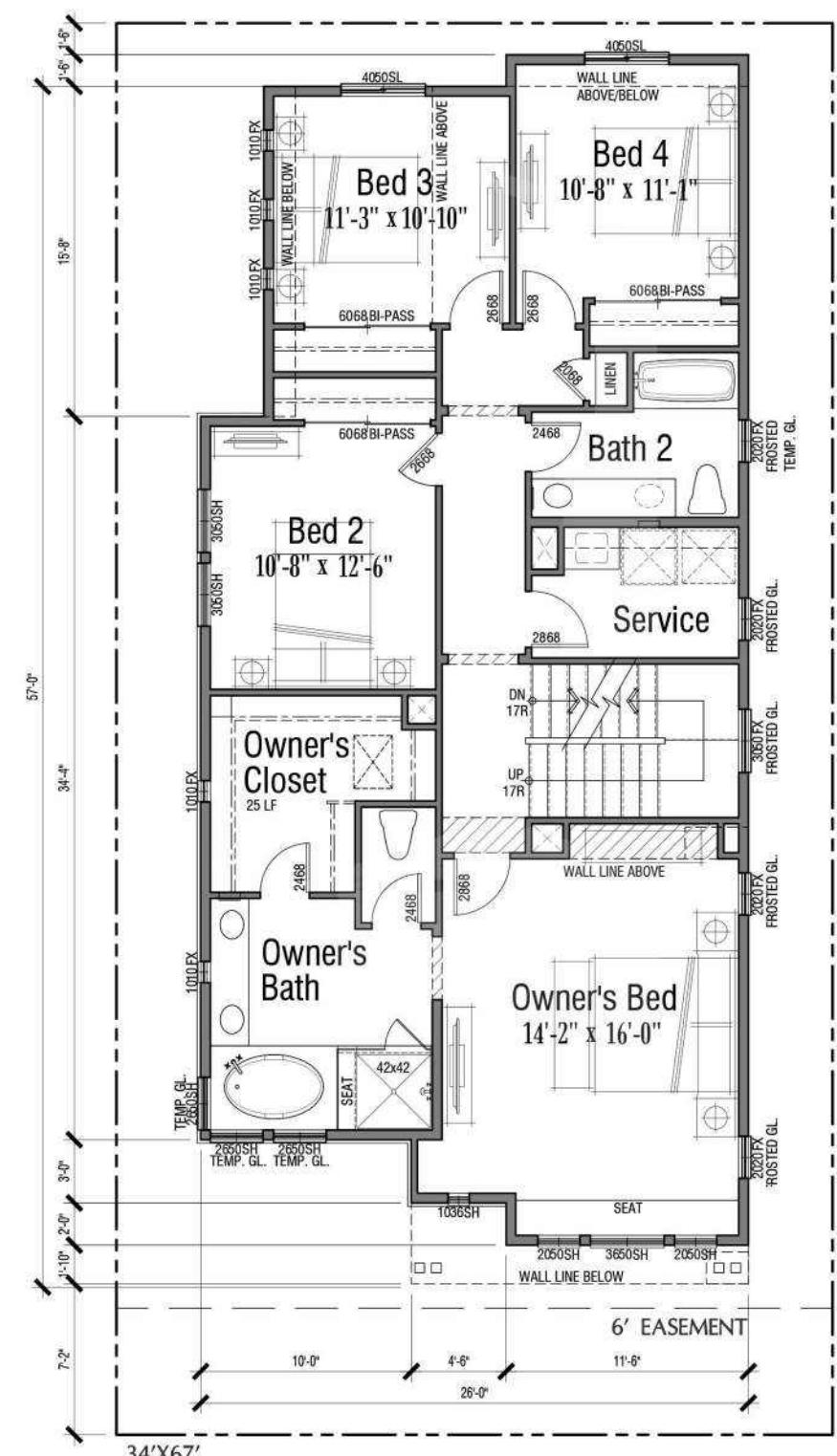
Rear

- B - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 5**
1. ROOF: CONCRETE SLATE TILE ROOF / METAL ROOF
  2. FASCIA/GUTTER TYPICAL
  3. BODY: STUCCO
  4. BODY: FIBER CEMENT HORIZONTAL SIDING
  5. TRIM: 2X6 STUCCO OVER FOAM TRIM
  6. VENEER: CONCRETE MASONRY BLOCK OR MANUFACTURED STONE - LEDGECUT
  7. WINDOWS: VINYL WINDOWS WITH FACTORY PAINT FINISH
  8. FRONT DOOR: ACCENT COLOR, PAINT GRADE
  9. GARAGE DOOR
  10. ADDRESS PANEL
  11. LIGHT FIXTURE
  12. POSTS: 6x6 WOOD SMOOTH FINISH

Refer to sheet A4.12.9  
for Front, and Right  
Elevations.



Left



Second Floor

Refer to sheet A4.12.3  
and A4.12.4 for First  
and Third Floor Plans

PLAN 1 'B'  
EXTERIOR ELEVATIONS

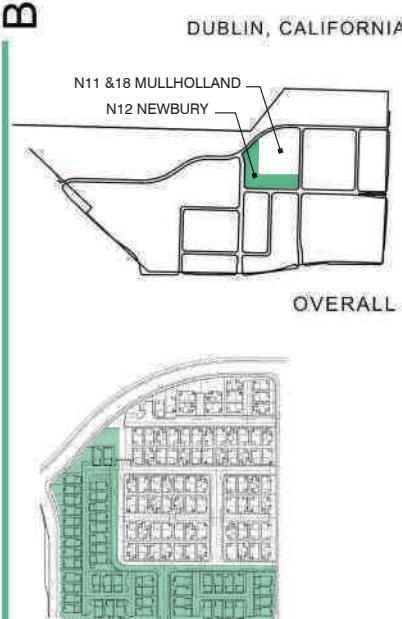
0 2 4 8 12 FEET

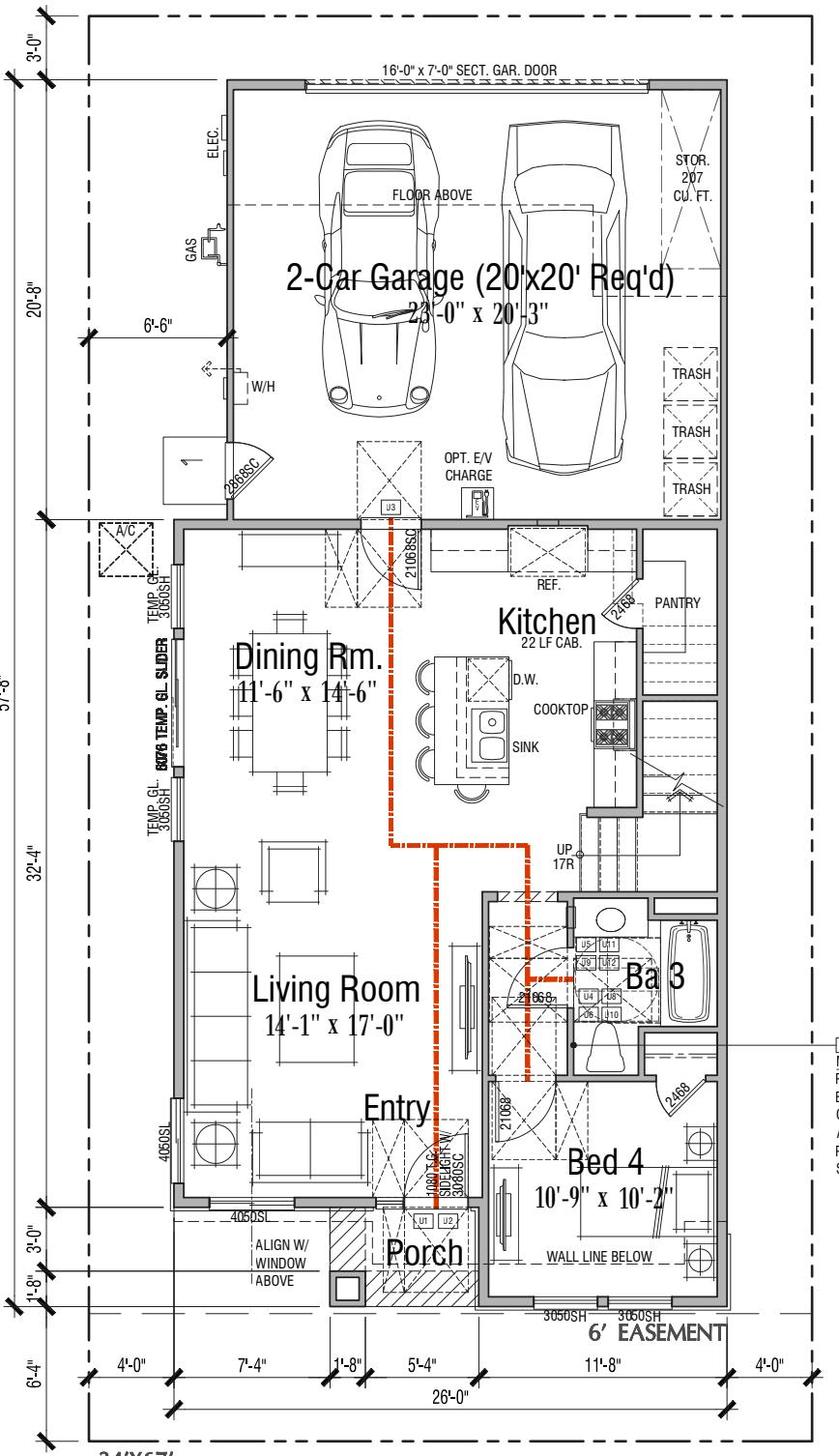


APRIL 11, 2017

A4.12.12

Plan 1 'B' - Enhanced Elevations - Corner Lots 19 and 49





First Floor  
(Universal Design)  
895 Sqft.

## Plan 2 'A'

Total: 2,505 Sqft.

4 Bedrooms/ 3 Baths

Bonus Room/ Opt. Bedroom 5 w/ Opt. Bath 4  
2 Car Garage

Homes have a Reciprocal Side yard Easement.  
Easement occurs at the side where the A/C, Trash,  
Utility are located.

### UNIVERSAL DESIGN KEYNOTES

- [U1] MANDATORY TO INSTALL: PROVIDE DOORBELL MOUNTED BETWEEN 42" AND 48" FROM FINISHED FLOOR AT ENTRY DOOR.
- [U2] MANDATORY TO OFFER: EYEHOLE AT ENTRY DOOR MOUNTED BETWEEN 42" AND 44" FROM FINISHED FLOOR.
- [U3] MANDATORY TO OFFER: OPTIONAL REMOVABLE RAMP TO FRONT DOOR CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U4] MANDATORY TO INSTALL: GRAB BAR REINFORCEMENT FOR WATER CLOSET (TOILET) AND SHOWER OR BATHTUB AT PRIMARY FLOOR POWDER ROOM/ BATHROOM CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U5] MANDATORY TO INSTALL: FAUCETS AND HANDLES NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U6] MANDATORY TO OFFER: CLEAR SPACE IN THE BATH OR POWDER ROOM CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A, OR OUTSIDE OF THE SWING OF THE DOOR AND EITHER A 48" DIA. CIRCLE, 48" X 60" RECTANGLE OR 60" DIA. CIRCLE AT THE OPTION OF THE PURCHASER/ OWNER.
- [U7] MANDATORY TO OFFER: A BATHTUB OR SHOWER MEETING THE REQUIREMENTS OF ANSI A117.1
- [U8] MANDATORY TO OFFER: GRAB BARS INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A FOR THE WATER CLOSET (TOILET), SHOWER/ BATH, OR LAVATORY, OR ANY COMBINATION THEREOF, AT THE OPTION OF THE PURCHASER/ OWNER.
- [U9] MANDATORY TO OFFER: LAVATORY OR SINK INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U10] MANDATORY TO OFFER: WATER CLOSET (TOILET) INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U11] MANDATORY TO OFFER: REMOVABLE CABINETS UNDER THE LAVATORY/ SINK.
- [U12] MANDATORY TO OFFER: WHERE INSTALLED, MIRROR AND TOWEL BARS AT ACCESSIBLE POWERS OR BATHS CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U13] MANDATORY TO INSTALL: KITCHEN SINK CONTROLS NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U14] MANDATORY TO OFFER: AT KITCHEN, ONE OR MORE OF THE FOLLOWING AT THE PURCHASER/ OWNER'S OPTION, AT LEAST A 30" X 48" CLEAR SPACE IN FRONT OF THE SINK (COUNTING OPEN ACCESS UNDERNEATH, IF AVAILABLE) OR AT LEAST ONE 18" WIDE BREADBOARD AND/ OR AT LEAST 18" IN COUNTER SPACE AT A 34" HEIGHT OR AND COMBINATION THEREOF, A 30" X 48" CLEAR SPACE IN FRONT OF REFRIGERATOR, DISHWASHER AND ANY OTHER MAJOR KITCHEN APPLIANCE AT THE OPTION OF THE PURCHASER/ OWNER.
- [U15] MANDATORY TO OFFER: ADJUSTABLE SINK AND/ OR REMOVABLE UNDER-SINK CABINETS CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U16] MANDATORY TO OFFER: HOOD FAN CONTROLS AT LIGHT SWITCH LEVEL OR LOWER LEVEL.
- [U17] MANDATORY TO OFFER: ACCESSIBLE INTERIOR ROUTE CONSISTEN WITH THE REQUIREMENTS OF ORDINANCE NO. 21-07 CITY OF DUBLIN MUNICIPAL CODE 7.90.070 INTERIOR ROUTES INSTALLED AT THE REQUEST AND COST OF THE PURCHASER/ OWNER.

### NOTES

REFER TO SHEET GN-1 AND CITY OF DUBLIN ORDINANCE 21-07 FOR A COMPREHENSIVE LIST OF ALL REQUIREMENTS AND REGULATIONS RELATED TO THIS UNIVERSAL DESIGN OPTION.

MANDATORY TO INSTALL:

1. HAND-ACTIVATED DOOR HARDWARE NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
2. ROCKER LIGHT SWITCHES AND CONTROL OR LIGHT SWITCHES AND CONTROLS MEETING THE REQUIREMENTS OF ANSI A117.1 OR THE CBC CHAPTER 11A.
3. THE INSTALLATION OF ALL RECEPTACLES OUTLETS, LIGHTING CONTROLS AND ENVIRONMENTAL CONTROLS THROUGHOUT THE RESIDENTIAL DWELLING UNIT MUST COMPLY WITH THE CBC CHAPTER 11A OR APPLICABLE PROVISIONS OF THE CALIFORNIA ELECTRICAL CODE.



### PLAN 2 'A'

FLOOR PLAN  
(UNIVERSAL DESIGN)

0 2 4 8 12 FEET



APRIL 11, 2017

A4.12.13

phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



N12 NEWBURY

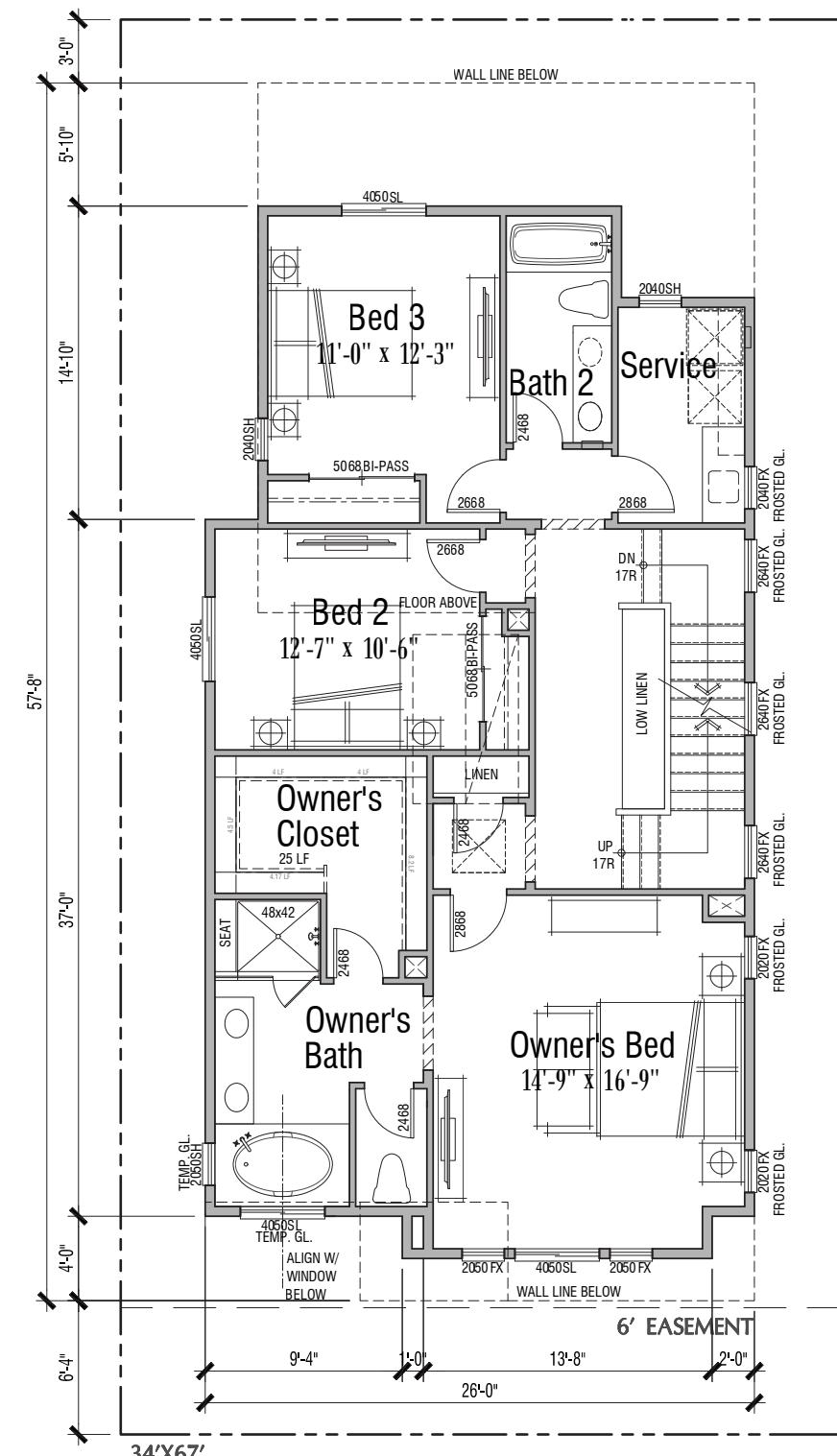
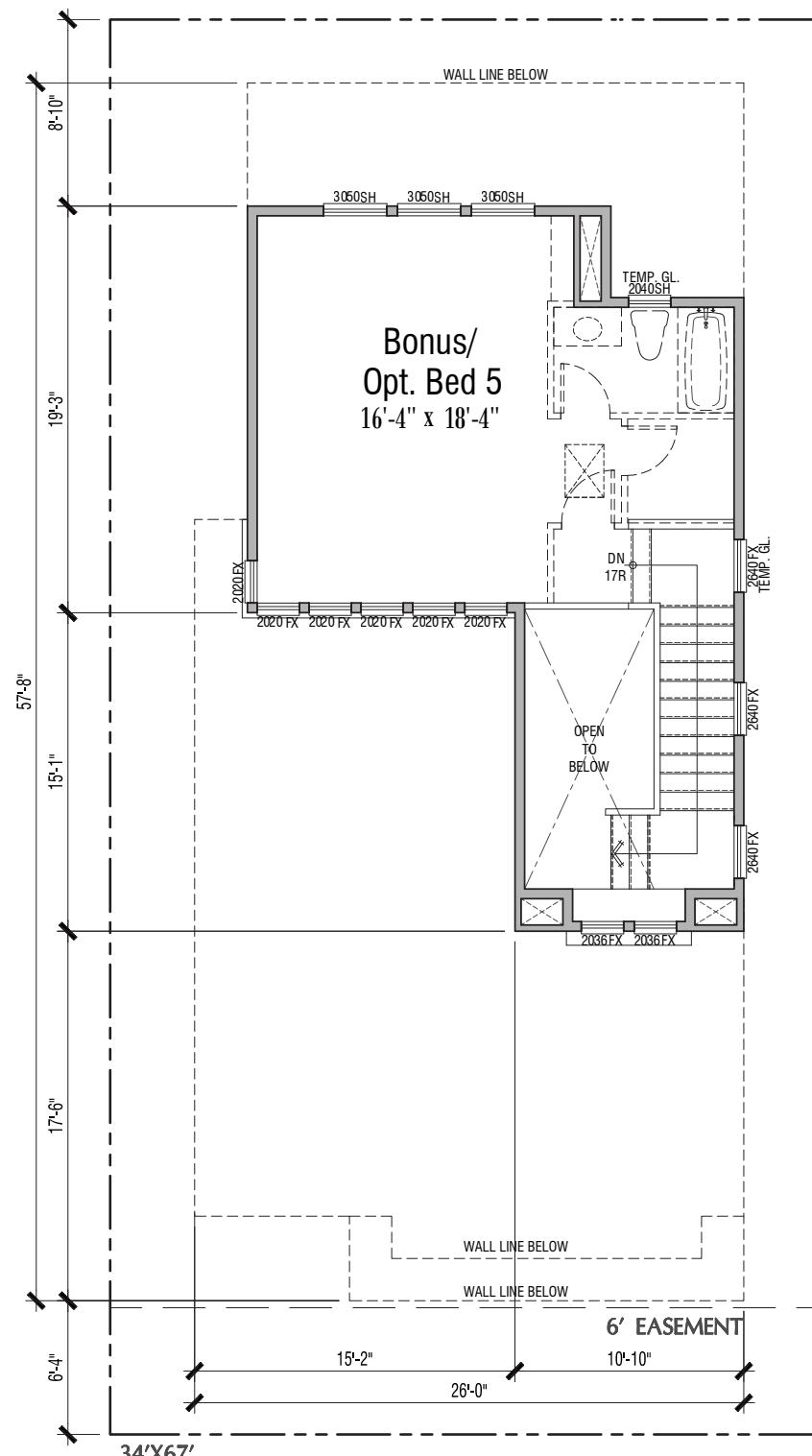
PLAN 2 'A'  
FLOOR PLANS

0 2 4 8 12 FEET



APRIL 11, 2017

A4.12.14

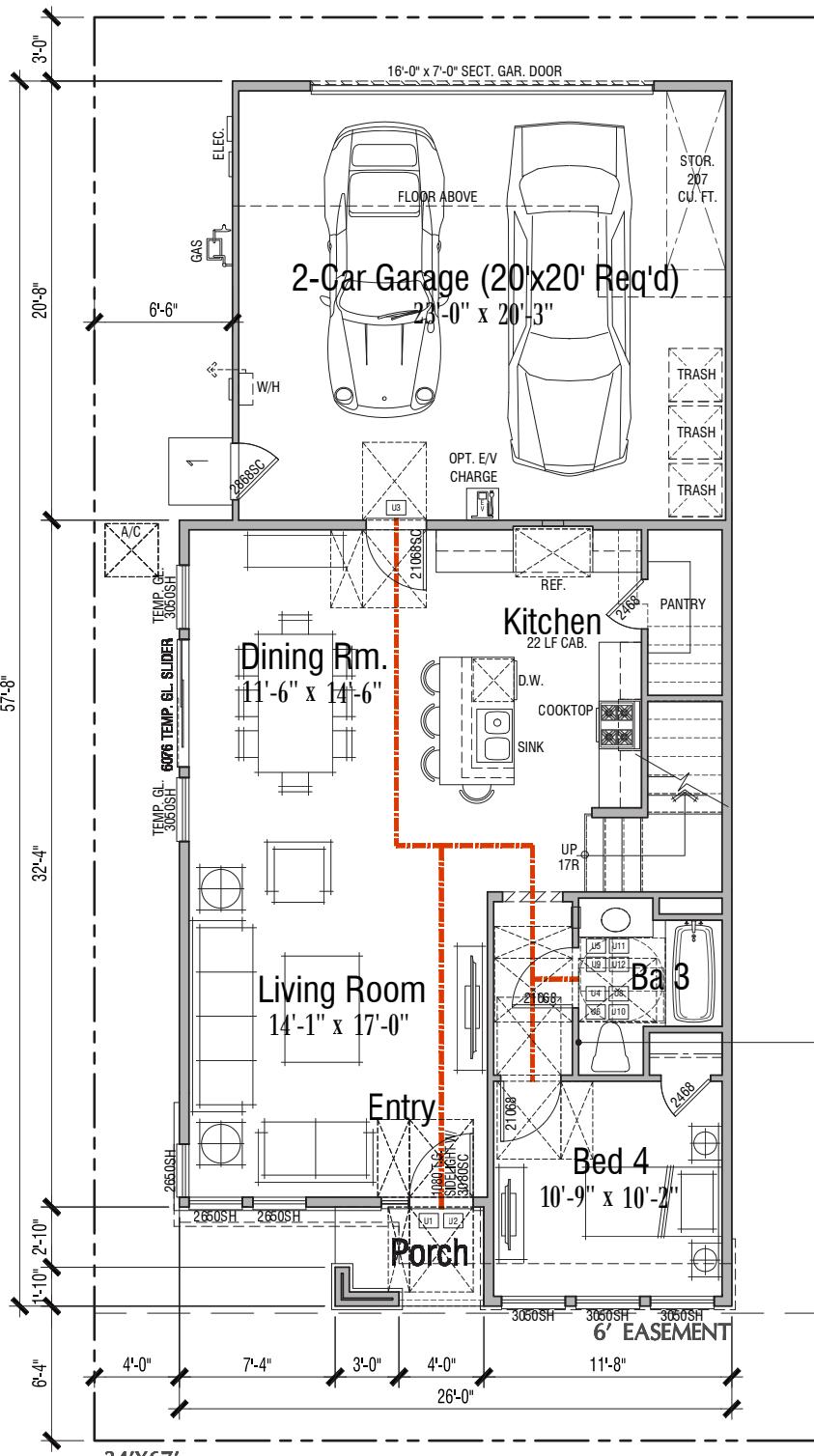


## Plan 2 'A'

Total: 2,505 Sqft.

4 Bedrooms/ 3 Baths

Bonus Room/ Opt. Bedroom 5 w/ Opt. Bath 4  
2 Car Garage



Homes have a Reciprocal Side yard Easement.  
Easement occurs at the side where the A/C, Trash,  
Utility are located.

**Plan 2 'B'**  
Total: 2,509 Sqft.  
4 Bedrooms/ 3 Baths  
Bonus Room/ Opt. Bedroom 5 w/ Opt. Bath 4  
2 Car Garage

#### UNIVERSAL DESIGN KEYNOTES

- [U1] MANDATORY TO INSTALL: PROVIDE DOORBELL MOUNTED BETWEEN 42" AND 48" FROM FINISHED FLOOR AT ENTRY DOOR.
- [U2] MANDATORY TO OFFER: EYEHOLE AT ENTRY DOOR MOUNTED BETWEEN 42" AND 44" FROM FINISHED FLOOR.
- [U3] MANDATORY TO OFFER: OPTIONAL REMOVABLE RAMP AT GARAGE-TO-HOUSE ENTRY DOOR CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U4] MANDATORY TO INSTALL: GRAB BAR REINFORCEMENT FOR WATER CLOSET (TOILET) AND SHOWER OR BATHTUB AT PRIMARY FLOOR POWDER ROOM/ BATHROOM CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U5] MANDATORY TO INSTALL: FAUCETS AND HANDLES NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U6] MANDATORY TO OFFER: CLEAR SPACE IN THE BATH OR POWDER ROOM CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A, OR OUTSIDE OF THE SWING OF THE DOOR AND EITHER A 48" DIA. CIRCLE, 48" X 60" RECTANGLE OR 60" DIA. CIRCLE AT THE OPTION OF THE PURCHASER/ OWNER.
- [U7] MANDATORY TO OFFER: A BATHTUB OR SHOWER MEETING THE REQUIREMENTS OF ANSI A117.1
- [U8] MANDATORY TO OFFER: GRAB BARS INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A FOR THE WATER CLOSET (TOILET), SHOWER/ BATH, OR LAVATORY, OR ANY COMBINATION THEREOF, AT THE OPTION OF THE PURCHASER/ OWNER.
- [U9] MANDATORY TO OFFER: LAVATORY OR SINK INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U10] MANDATORY TO OFFER: WATER CLOSET (TOILET) INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U11] MANDATORY TO OFFER: REMOVABLE CABINETS UNDER THE LAVATORY/ SINK.
- [U12] MANDATORY TO OFFER: WHERE INSTALLED, MIRROR AND TOWEL BARS AT ACCESSIBLE POWERS OR BATHS CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U13] MANDATORY TO INSTALL: KITCHEN SINK CONTROLS NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U14] MANDATORY TO OFFER: AT KITCHEN, ONE OR MORE OF THE FOLLOWING AT THE PURCHASER/ OWNER'S OPTION, AT LEAST A 30" X 48" CLEAR SPACE IN FRONT OF THE SINK (COUNTING OPEN ACCESS UNDERNEATH, IF AVAILABLE) OR AT LEAST ONE 18" WIDE BREADBOARD AND/ OR AT LEAST ONE 18" WIDE COUNTER SPACE AT A 34" HEIGHT OR AND COMBINATION THEREOF, A 30" X 48" CLEAR SPACE IN FRONT OF REFRIGERATOR, DISHWASHER AND ANY OTHER MAJOR KITCHEN APPLIANCE AT THE OPTION OF THE PURCHASER/ OWNER.
- [U15] MANDATORY TO OFFER: ADJUSTABLE SINK AND/ OR REMOVABLE UNDER-SINK CABINETS CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U16] MANDATORY TO OFFER: HOOD FAN CONTROLS AT LIGHT SWITCH LEVEL OR LOWER LEVEL.
- [U17] MANDATORY TO OFFER: ACCESSIBLE INTERIOR ROUTE CONSISTENT WITH THE REQUIREMENTS OF ORDINANCE NO. 21-07 CITY OF DUBLIN MUNICIPAL CODE 7.90.070 INTERIOR ROUTES INSTALLED AT THE REQUEST AND COST OF THE PURCHASER/ OWNER.

#### NOTES

REFER TO SHEET GN-1 AND CITY OF DUBLIN ORDINANCE 21-07 FOR A COMPREHENSIVE LIST OF ALL REQUIREMENTS AND REGULATIONS RELATED TO THIS UNIVERSAL DESIGN OPTION.

MANDATORY TO INSTALL:

1. HAND-ACTIVATED DOOR HARDWARE NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
2. ROCKER LIGHT SWITCHES AND CONTROL OR LIGHT SWITCHES AND CONTROLS MEETING THE REQUIREMENTS OF ANSI A117.1 OR THE CBC CHAPTER 11A.
3. THE INSTALLATION OF ALL RECEPTACLES OUTLETS, LIGHTING CONTROLS AND ENVIRONMENTAL CONTROLS THROUGHOUT THE RESIDENTIAL DWELLING UNIT MUST COMPLY WITH THE CBC CHAPTER 11A OR APPLICABLE PROVISIONS OF THE CALIFORNIA ELECTRICAL CODE.

**N12 NEWBURY**

**PLAN 2 'B'**

**FLOOR PLAN  
(UNIVERSAL DESIGN)**

0 2 4 8 12 FEET

APRIL 11, 2017

**A4.12.15**





WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N12 NEWBURY

phases 2-3

## BOULEVARD

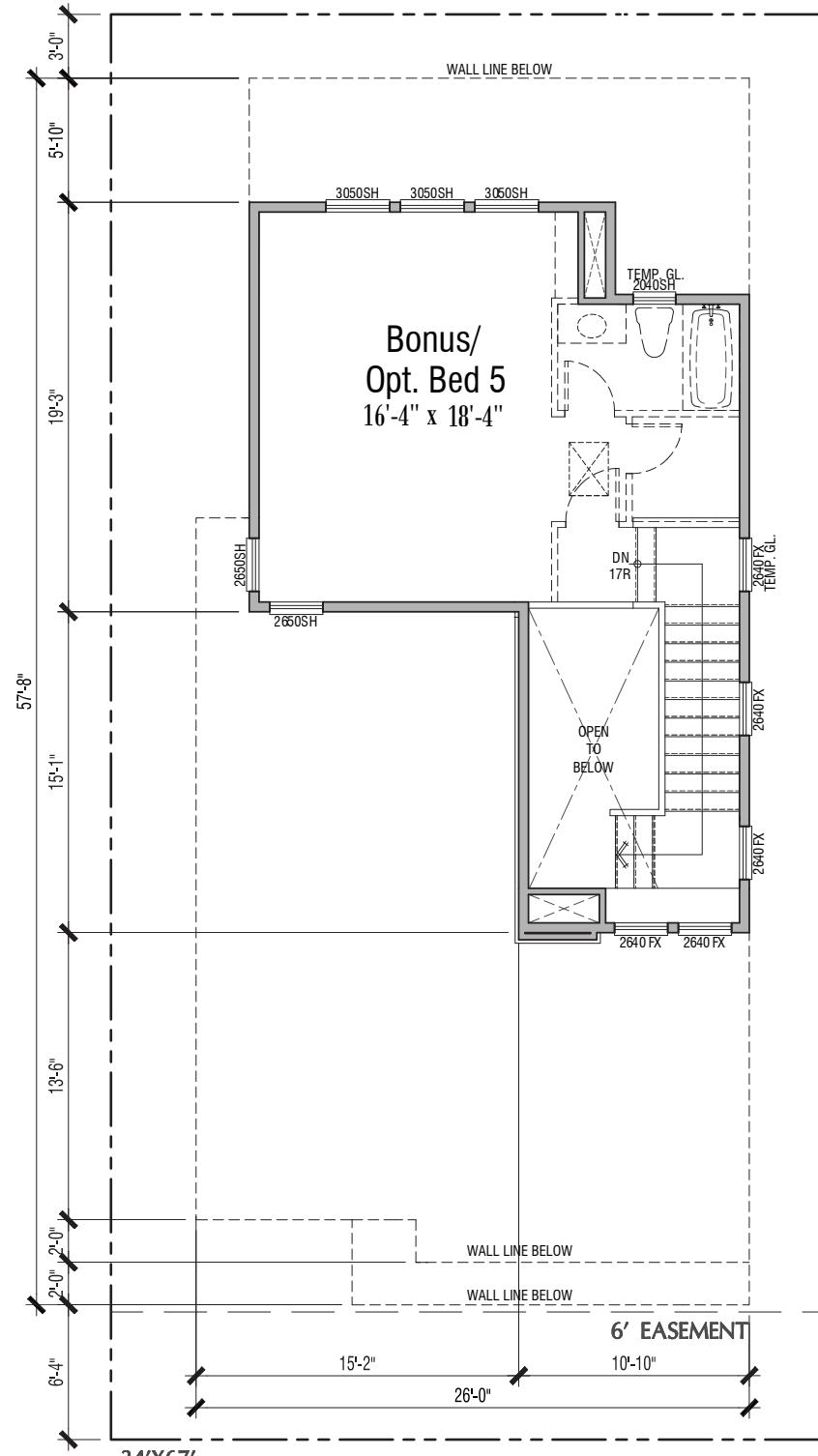
DUBLIN, CALIFORNIA



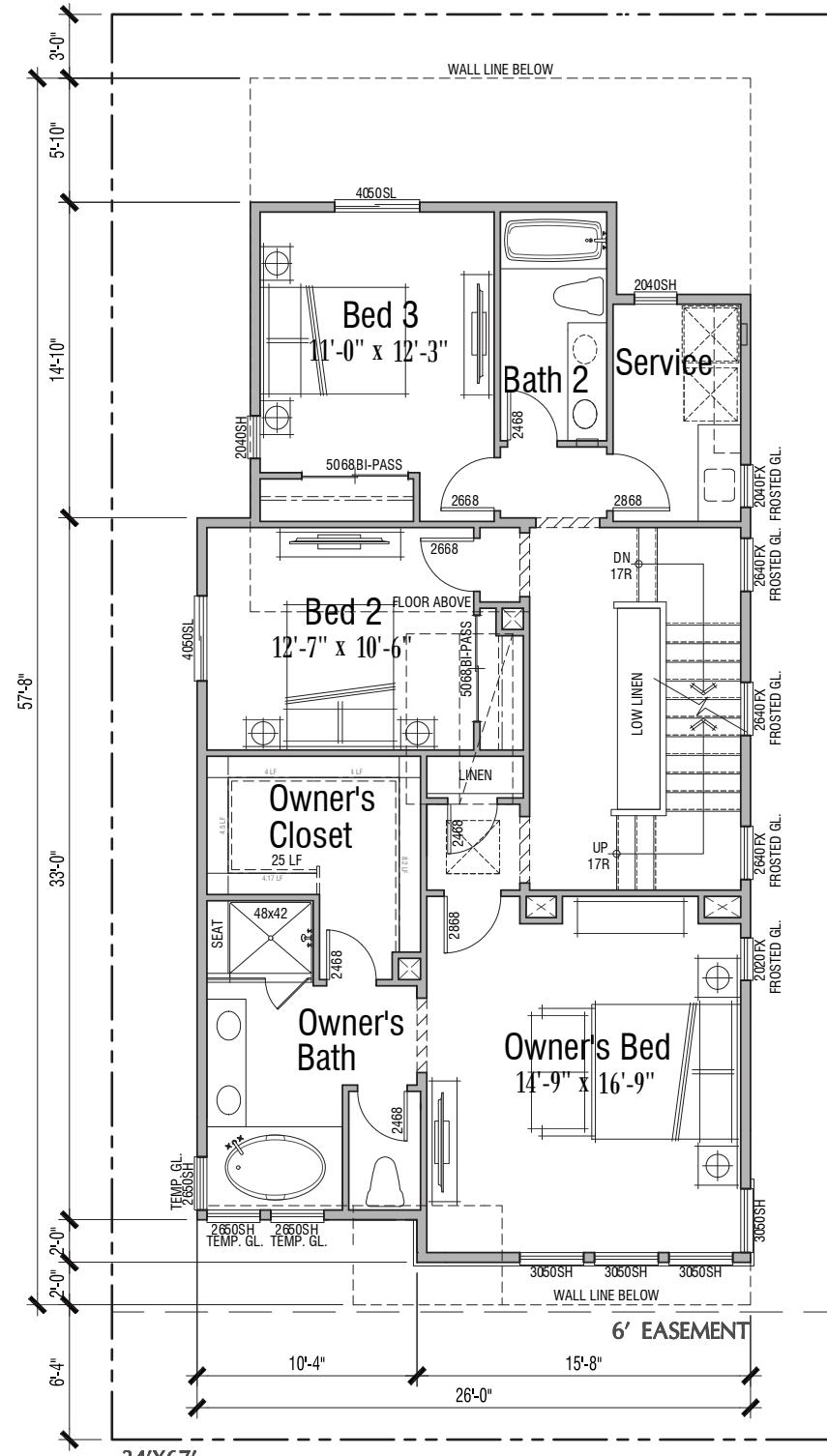
N12 NEWBLIBY

## **PLAN 2 'B' FLOOR PLANS**

0 2 4 8 12 FEET



Third Floor  
403 Sqft.



Second Floor  
1,211 Sqft.

# Plan 2 'B'

Total: 2,509 Sqft.

Total 2,600 Sqft  
4 Bedrooms/ 3 Baths

1 Bedroom/ 3 Bath  
Bonus Room/ Opt. Bedroom 5 w/ Opt. Bath 4  
2 Car Garage

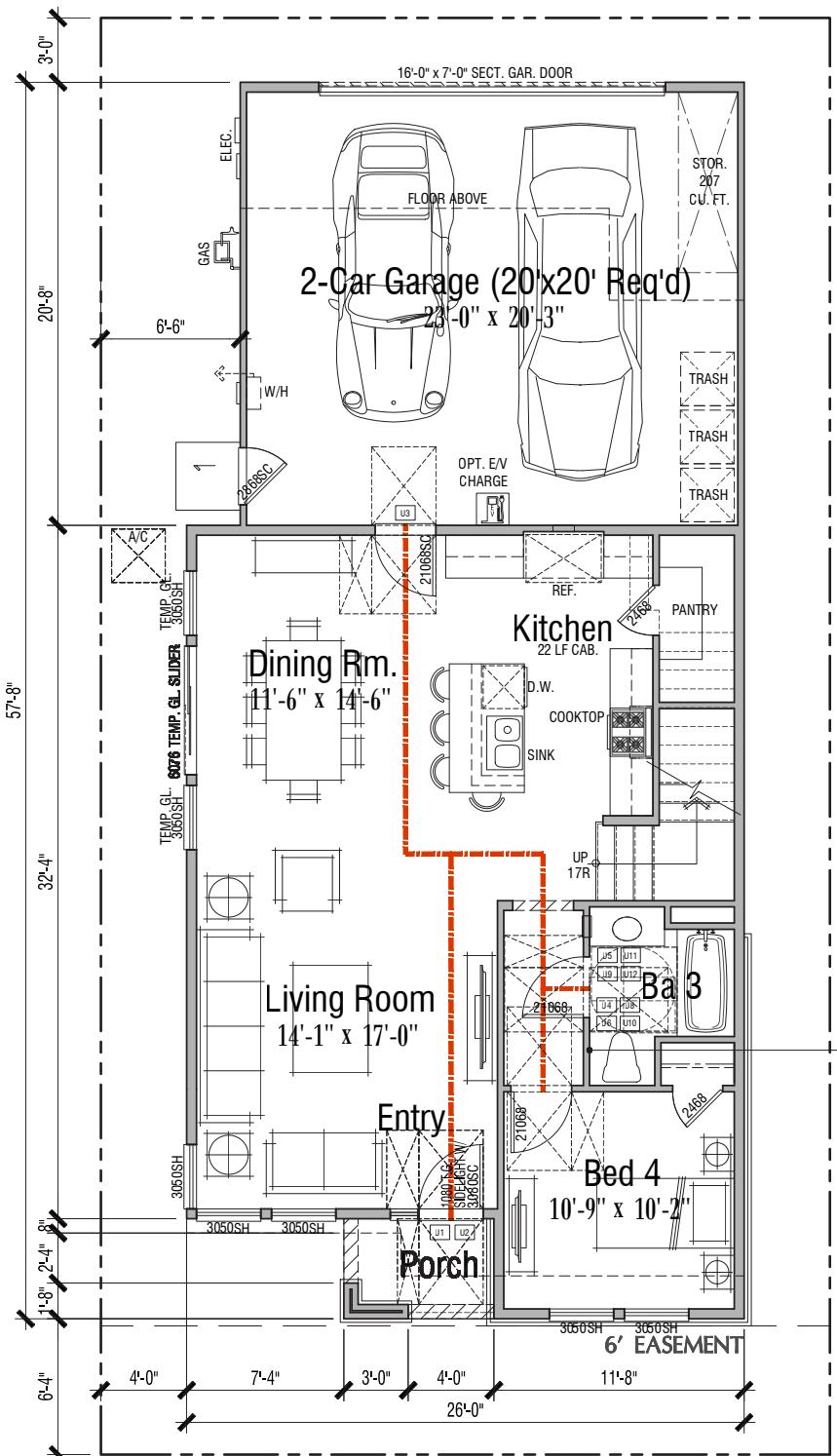
APRIL 11, 2017

A4.12.16



WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N12 NEWBURY



**Plan 2 'C'**

Total: 2,509 Sqft.

4 Bedrooms/ 3 Baths

Bonus Room/ Opt. Bedroom 5 w/ Opt. Bath 4  
2 Car Garage

Homes have a Reciprocal Side yard Easement.  
Easement occurs at the side where the A/C, Trash,  
Utility are located.

#### UNIVERSAL DESIGN KEYNOTES

- [U1] MANDATORY TO INSTALL: PROVIDE DOORBELL MOUNTED BETWEEN 42" AND 48" FROM FINISHED FLOOR AT ENTRY DOOR.
- [U2] MANDATORY TO OFFER: EYEHOLE AT ENTRY DOOR MOUNTED BETWEEN 42" AND 44" FROM FINISHED FLOOR.
- [U3] MANDATORY TO OFFER: OPTIONAL REMOVABLE RAMP TO FRONT DOOR CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U4] MANDATORY TO INSTALL: GRAB BAR REINFORCEMENT FOR WATER CLOSET (TOILET) AND SHOWER OR BATHTUB AT PRIMARY FLOOR POWDER ROOM/ BATHROOM CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U5] MANDATORY TO INSTALL: FAUCETS AND HANDLES NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U6] MANDATORY TO OFFER: CLEAR SPACE IN THE BATH OR POWDER ROOM CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A, OR OUTSIDE OF THE SWING OF THE DOOR AND EITHER A 48" DIA. CIRCLE, 48" X 60" RECTANGLE OR 60" DIA. CIRCLE AT THE OPTION OF THE PURCHASER/ OWNER.
- [U7] MANDATORY TO OFFER: A BATHTUB OR SHOWER MEETING THE REQUIREMENTS OF ANSI A117.1
- [U8] MANDATORY TO OFFER: GRAB BARS INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A FOR THE WATER CLOSET (TOILET), SHOWER/ BATH, OR LAVATORY, OR ANY COMBINATION THEREOF, AT THE OPTION OF THE PURCHASER/ OWNER.
- [U9] MANDATORY TO OFFER: LAVATORY OR SINK INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U10] MANDATORY TO OFFER: WATER CLOSET (TOILET) INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U11] MANDATORY TO OFFER: REMOVABLE CABINETS UNDER THE LAVATORY/ SINK.
- [U12] MANDATORY TO OFFER: WHERE INSTALLED, MIRROR AND TOWEL BARS AT ACCESSIBLE POWERS OR BATHS CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U13] MANDATORY TO INSTALL: KITCHEN SINK CONTROLS NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U14] MANDATORY TO OFFER: AT KITCHEN, ONE OR MORE OF THE FOLLOWING AT THE PURCHASER/ OWNER'S OPTION, AT LEAST A 30" X 48" CLEAR SPACE IN FRONT OF THE SINK (COUNTING OPEN ACCESS UNDERNEATH, IF AVAILABLE) OR AT LEAST ONE 18" WIDE BREADBOARD AND/ OR AT LEAST 18" IN COUNTER SPACE AT A 34" HEIGHT OR AND COMBINATION THEREOF, A 30" X 48" CLEAR SPACE IN FRONT OF REFRIGERATOR, DISHWASHER AND ANY OTHER MAJOR KITCHEN APPLIANCE AT THE OPTION OF THE PURCHASER/ OWNER.
- [U15] MANDATORY TO OFFER: ADJUSTABLE SINK AND/ OR REMOVABLE UNDER-SINK CABINETS CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U16] MANDATORY TO OFFER: HOOD FAN CONTROLS AT LIGHT SWITCH LEVEL OR LOWER LEVEL.
- [U17] MANDATORY TO OFFER: ACCESSIBLE INTERIOR ROUTE CONSISTEN WITH THE REQUIREMENTS OF ORDINANCE NO. 21-07 CITY OF DUBLIN MUNICIPAL CODE 7.90.070 INTERIOR ROUTES INSTALLED AT THE REQUEST AND COST OF THE PURCHASER/ OWNER.

#### NOTES

REFER TO SHEET GN-1 AND CITY OF DUBLIN ORDINANCE 21-07 FOR A COMPREHENSIVE LIST OF ALL REQUIREMENTS AND REGULATIONS RELATED TO THIS UNIVERSAL DESIGN OPTION.

MANDATORY TO INSTALL:

1. HAND-ACTIVATED DOOR HARDWARE NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
2. ROCKER LIGHT SWITCHES AND CONTROL OR LIGHT SWITCHES AND CONTROLS MEETING THE REQUIREMENTS OF ANSI A117.1 OR THE CBC CHAPTER 11A.
3. THE INSTALLATION OF ALL RECEPTACLES OUTLETS, LIGHTING CONTROLS AND ENVIRONMENTAL CONTROLS THROUGHOUT THE RESIDENTIAL DWELLING UNIT MUST COMPLY WITH THE CBC CHAPTER 11A OR APPLICABLE PROVISIONS OF THE CALIFORNIA ELECTRICAL CODE.



#### PLAN 2 'C'

FLOOR PLAN  
(UNIVERSAL DESIGN)

0 2 4 8 12 FEET



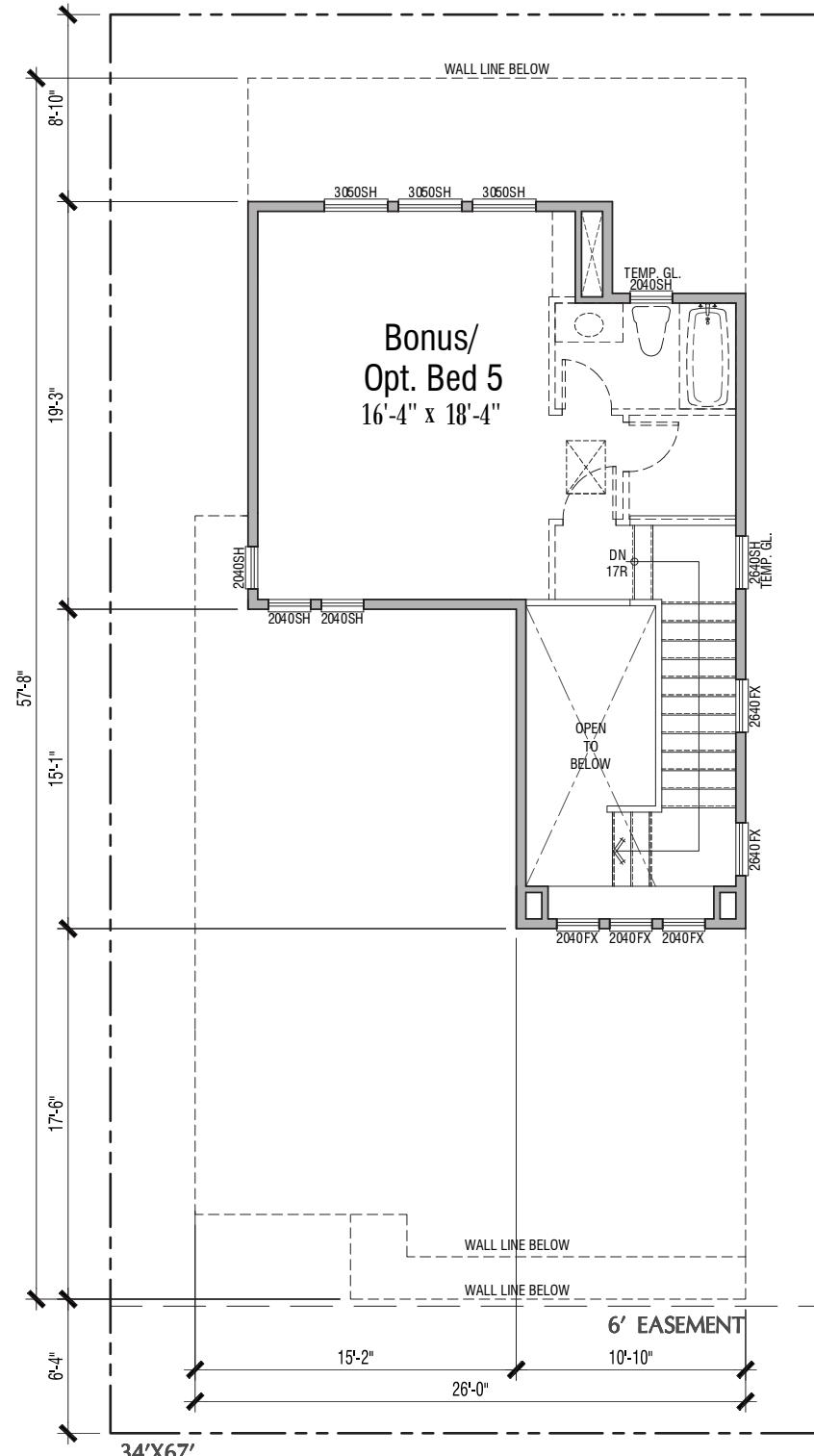
APRIL 11, 2017

A4.12.17

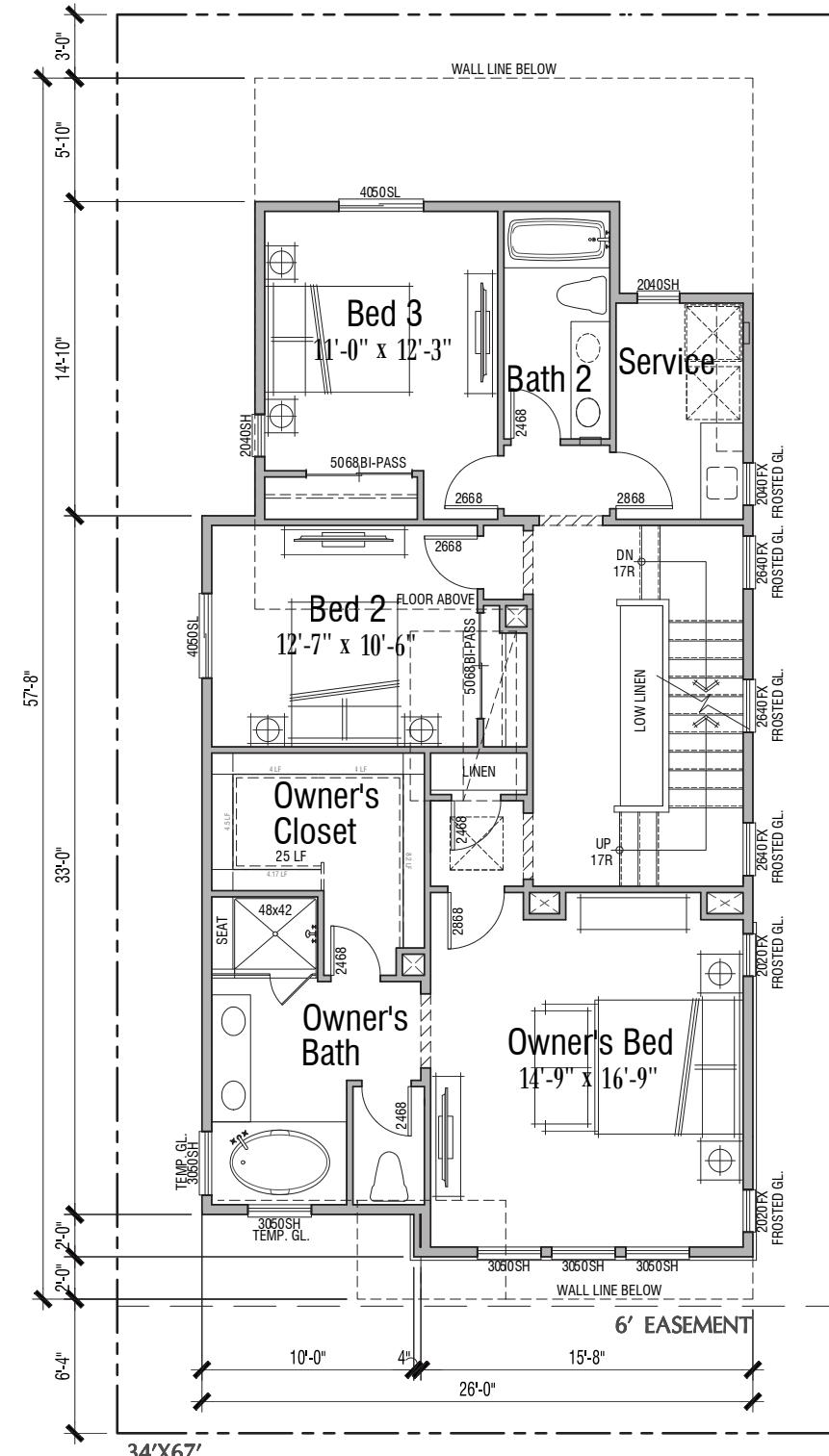


WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N12 NEWBURY



Third Floor  
403 Sqft.



Second Floor  
1,211 Sqft.

Plan 2 'C'

Total: 2,509 Sqft.

Total 2,500 Sq.Ft.

1 Bedroom, 0 Bath  
Bonus Room/ Opt. Bedroom 5 w/ Opt. Bath 4  
2 Car Garage

PLAN 2 'C'  
FLOOR PLANS



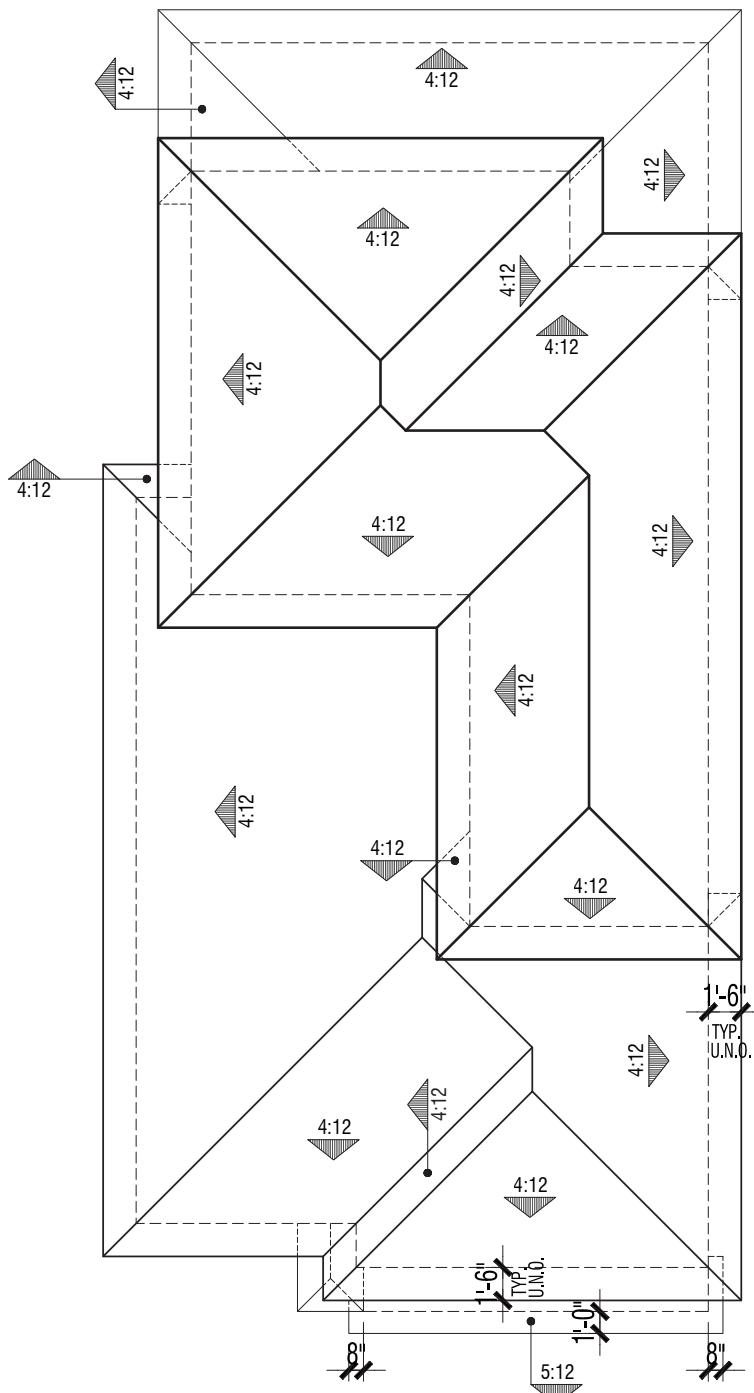
0    2    4                8                12               FEET

© 2010 Pearson Education, Inc., publishing as Pearson Addison Wesley. All rights reserved.

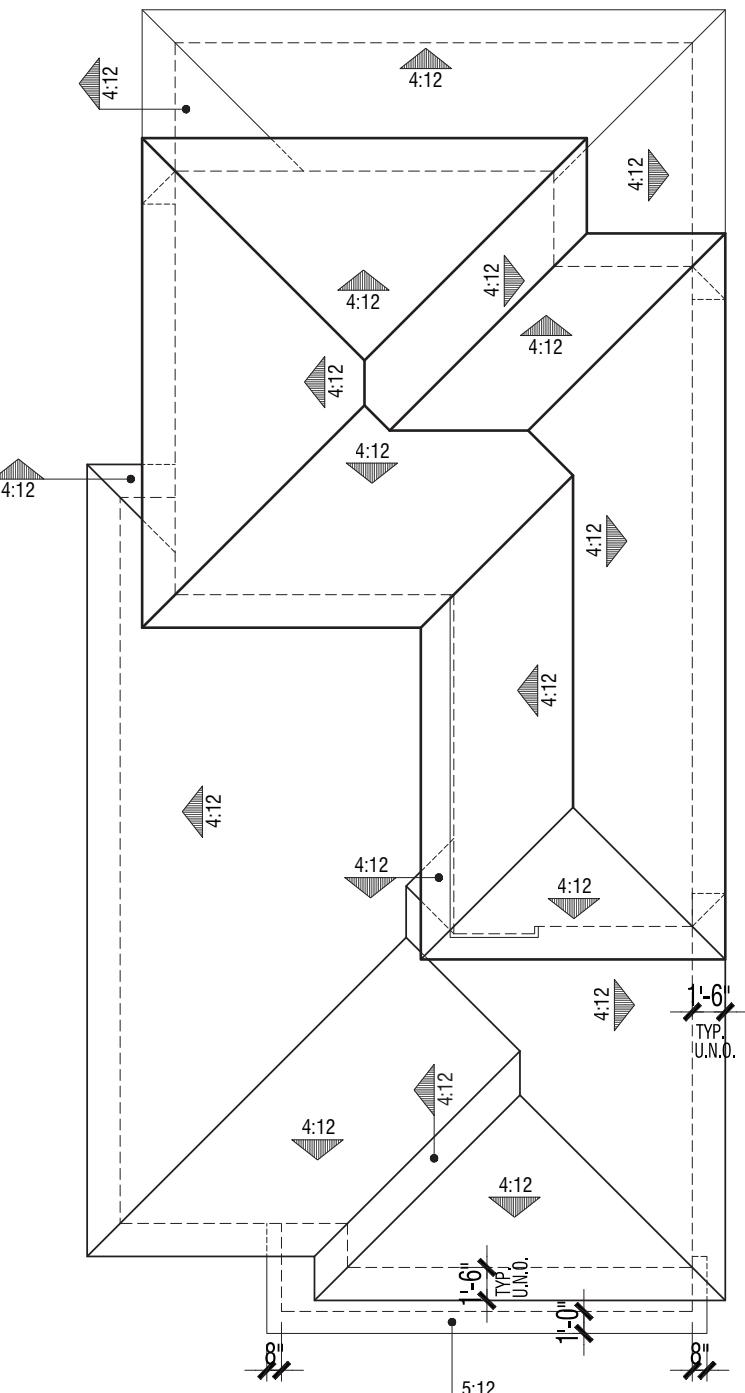
APRIL 11, 2017

APRIL 11, 2017

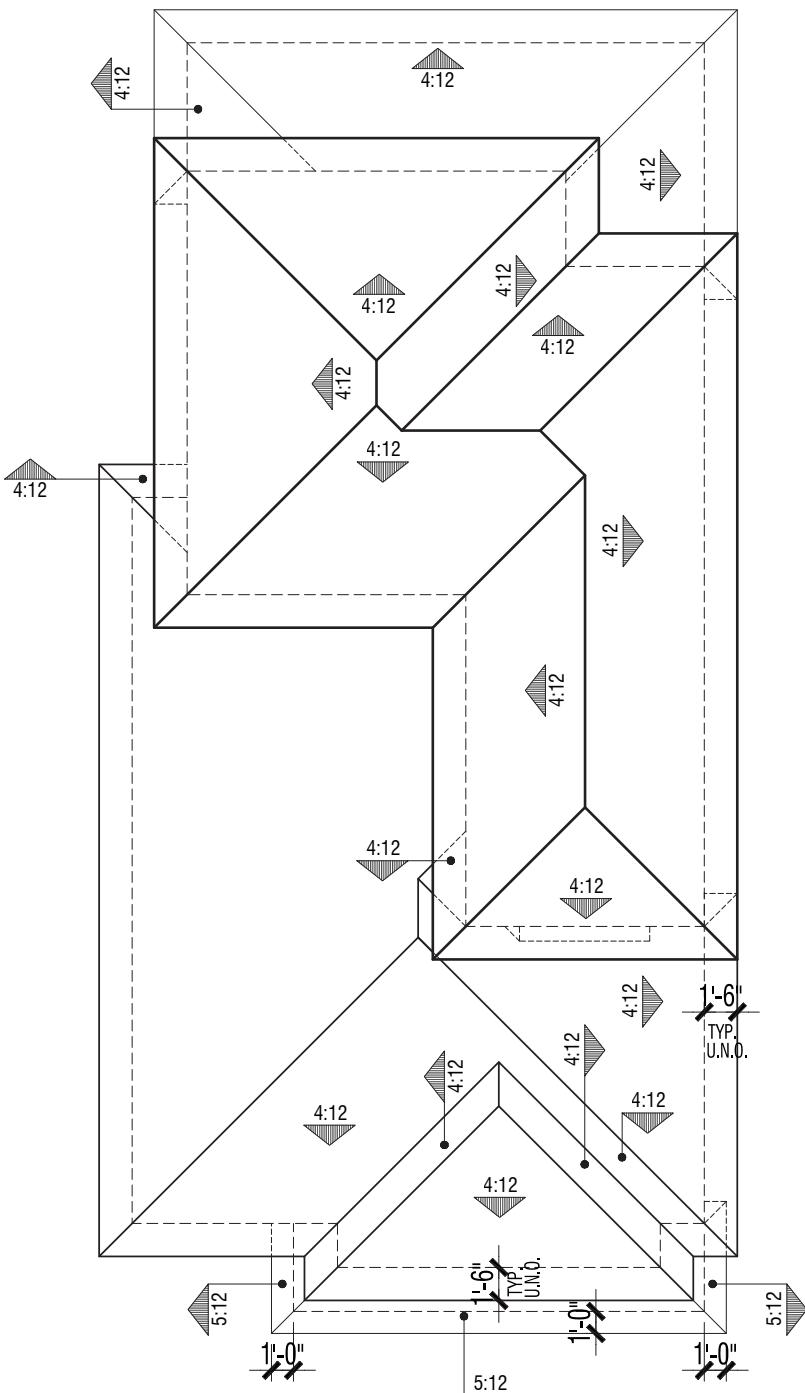
A4.12.18



Roof Plan 'C'



Roof Plan 'B'



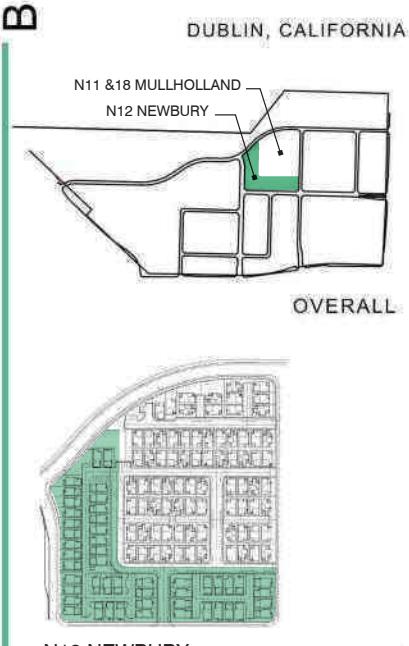
Roof Plan 'A'

Note: Per Exception 7 to the California Energy code section 110.10(b)1A, solar zones are not required if all thermostats within the home are capable of receiving and responding to demand response signals and one of the following is provided: 1) "Energy Star" dishwasher, 2) Whole House fan driven by an electronically commutated motor.

## Plan 2

phases 2-3

BOULEVARD



PLAN 2  
ROOF PLANS

0 2 4 8 12 FEET

APRIL 11, 2017

A4.12.19



Note: Artist's conception; colors, materials and application may vary.

Left



Rear



Right



Front

## Plan 2 'A'

- A - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 3**
1. ROOF: CONCRETE SLATE TILE ROOF
  2. FASCIA/GUTTER TYPICAL
  3. BODY: STUCCO #1
  4. BODY: STUCCO BODY #2
  5. TRIM: 2X6 STUCCO OVER FOAM TRIM
  6. WINDOWS: VINYL WINDOWS WITH FACTORY PAINT FINISH
  7. FRONT DOOR: ACCENT COLOR, PAINT GRADE
  8. GARAGE DOOR:
  9. ADDRESS PANEL
  10. LIGHT FIXTURE
  11. VENEER
  12. METAL AWNING

MANUFACTURED STONE - SIERRA CUT; WITH STONE ACCENT SNAPPED EDGE WAINSCOT SILL

## BOULEVARD

phases 2-3

DUBLIN, CALIFORNIA



PLAN 2 'A'  
EXTERIOR ELEVATIONS

0 2 4 8 12 FEET

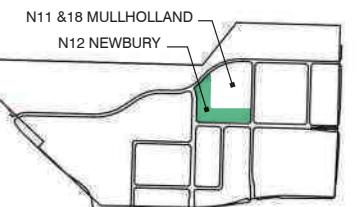
APRIL 11, 2017

A4.12.20

phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA

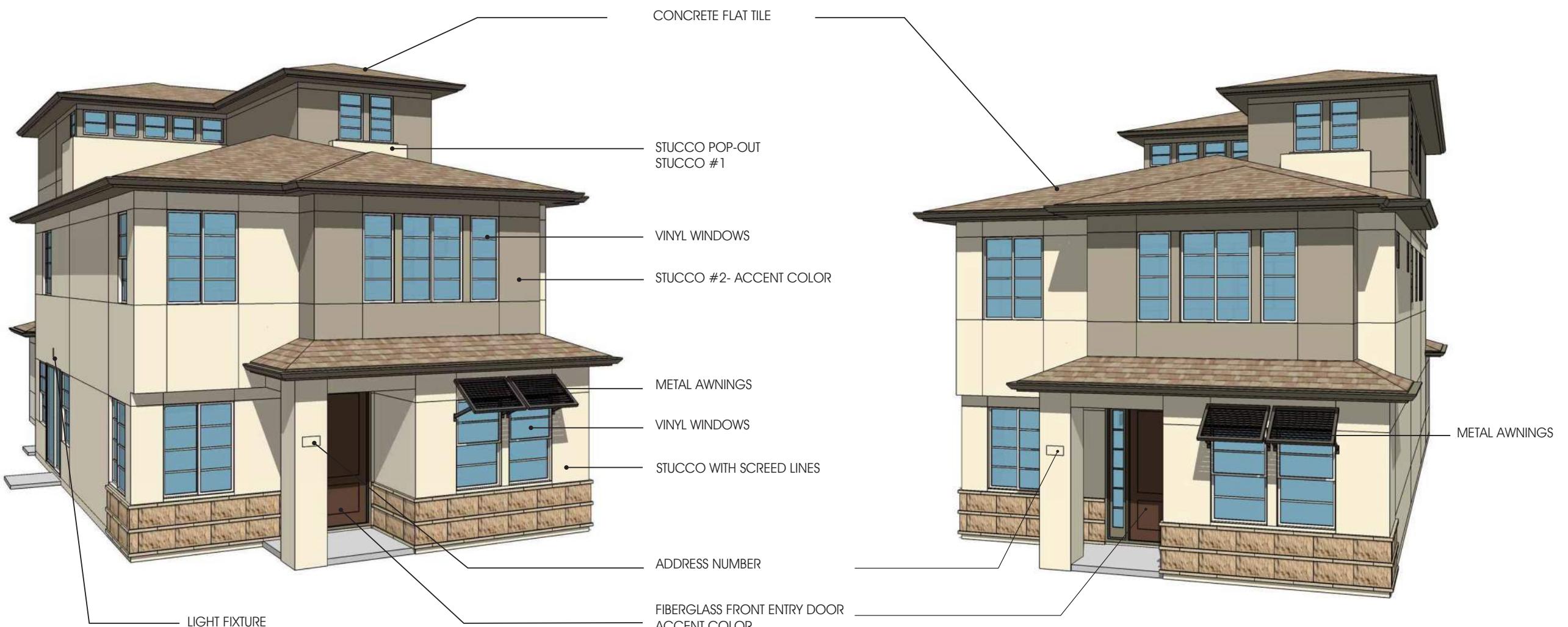


OVERALL



N12 NEWBURY

PLAN 2 'A'  
TYPICAL ISOMETRIC VIEW



PLAN 2A - FRONT LEFT CORNER  
COLOR SCHEME #3

PLAN 2A - FRONT RIGHT INTERIOR  
COLOR SCHEME #3



Note: Artist's conception; colors, materials and application may vary.

Left



Rear



Right



Front

- B - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 2**
1. ROOF: CONCRETE SLATE TILE ROOF
  2. ROOF: METAL ROOF
  3. FASCIA/GUTTER TYPICAL
  4. BODY: STUCCO
  5. BODY: FIBER CEMENT HORIZONTAL SIDING
  6. TRIM: 2X6 STUCCO FOAM TRIM
  7. VENEER: CONCRETE MASONRY BLOCK OR MANUFACTURED STONE - CLIFFSTONE
  8. WINDOWS: VINYL WINDOWS WITH FACTORY PAINT FINISH
  9. FRONT DOOR: ACCENT COLOR, PAINT GRADE
  10. GARAGE DOOR
  11. ADDRESS PANEL
  12. LIGHT FIXTURE

Plan 2 'B'

BOULEVARD

phases 2-3



PLAN 2 'B'  
EXTERIOR ELEVATIONS

0 2 4 8 12 FEET

APRIL 11, 2017

A4.12.22



WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N12 NEWBURY



Note: Artist's conception; colors, materials and application may vary.

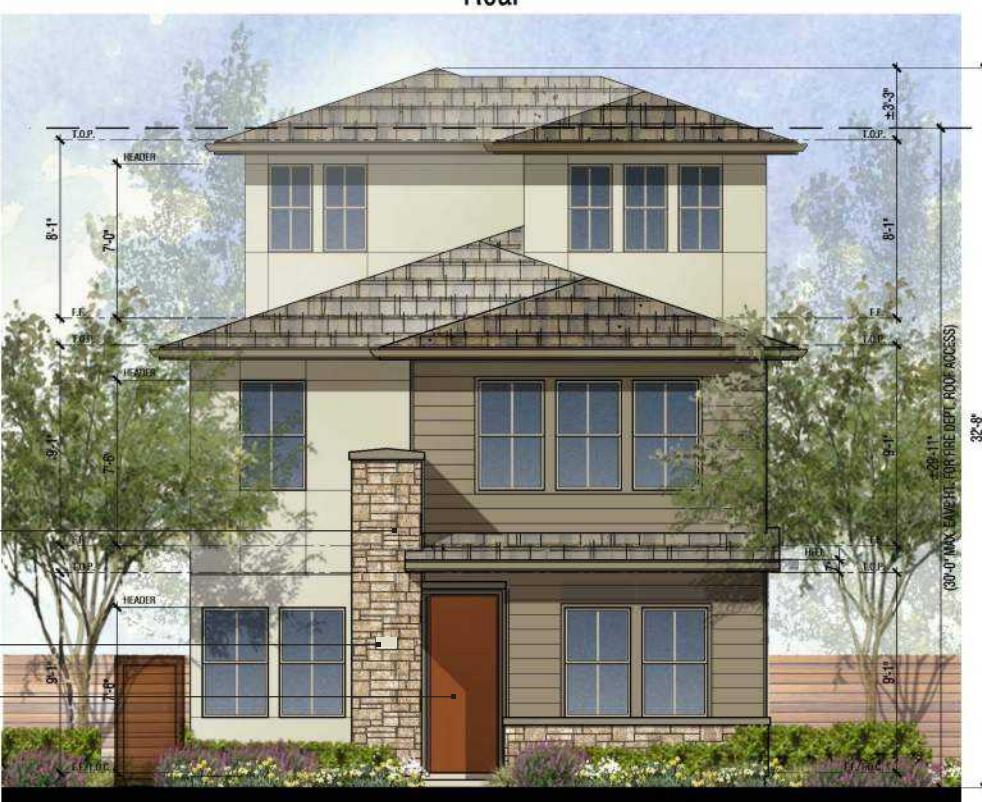
Left



Rear



Right



Front

Plan 2 'C'

- C - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 7**
1. ROOF: CONCRETE SLATE TILE ROOF
  2. FASCIA/GUTTER TYPICAL
  3. BODY: STUCCO
  4. BODY: FIBER CEMENT HORIZONTAL SIDING
  5. TRIM: 2X6 STUCCO FOAM TRIM
  6. VENEER: CONCRETE MASONRY BLOCK OR MANUFACTURED STONE - COASTAL REEF
  7. WINDOWS: VINYL WINDOWS WITH FACTORY PAINT FINISH
  8. FRONT DOOR: ACCENT COLOR, PAINT GRADE
  9. GARAGE DOOR:
  10. ADDRESS PANEL
  11. LIGHT FIXTURE

BOULEVARD

phases 2-3

DUBLIN, CALIFORNIA



PLAN 2 'C'  
EXTERIOR ELEVATIONS



0 2 4 8 12 FEET

APRIL 11, 2017

A4.12.23

phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



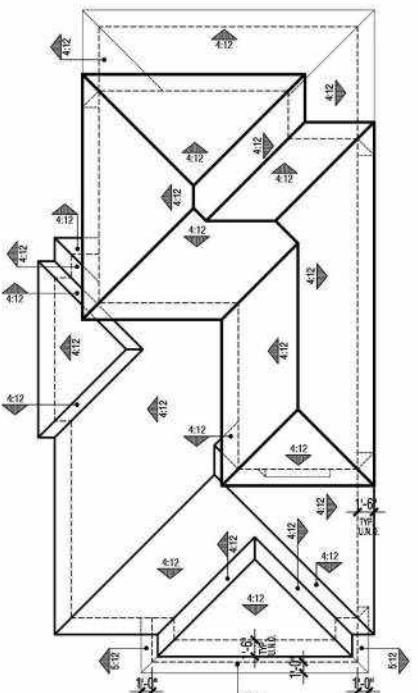
PLAN 2 'A'  
EXTERIOR ELEVATIONS

0 2 4 8 12 FEET



APRIL 11, 2017

A4.12.24



**Roof**

SCALE: 1/8" = 1'-0"



**Partial Rear**

**Partial Front**  
Refer to sheet A4.12.19  
for Right Elevation.

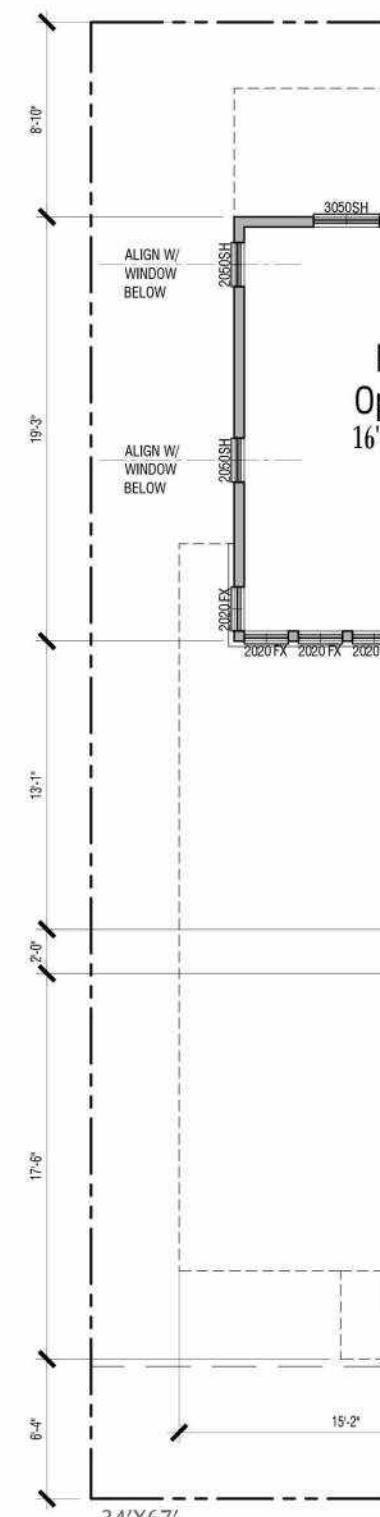


Note: Artist's conception; colors, materials and application may vary.

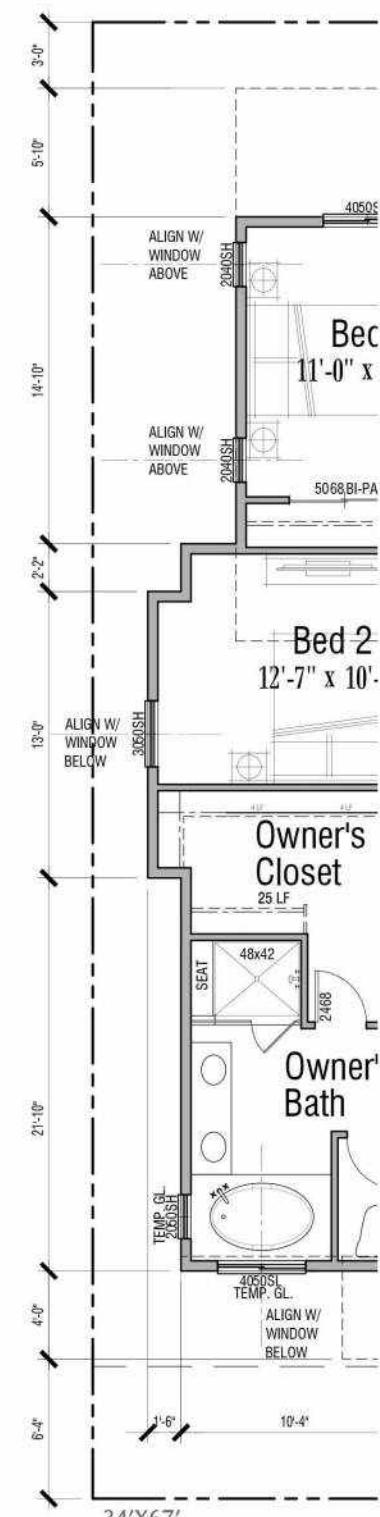
MATERIAL LIST: SEE PAGE A4.12.20

**Left**

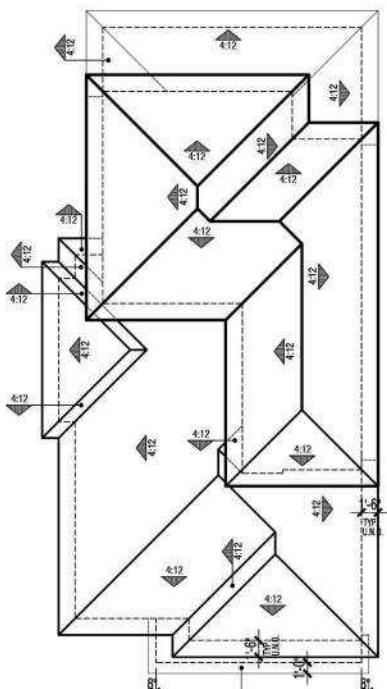
# Plan 2 'A' - Enhanced Elevations - Corner Lot 4



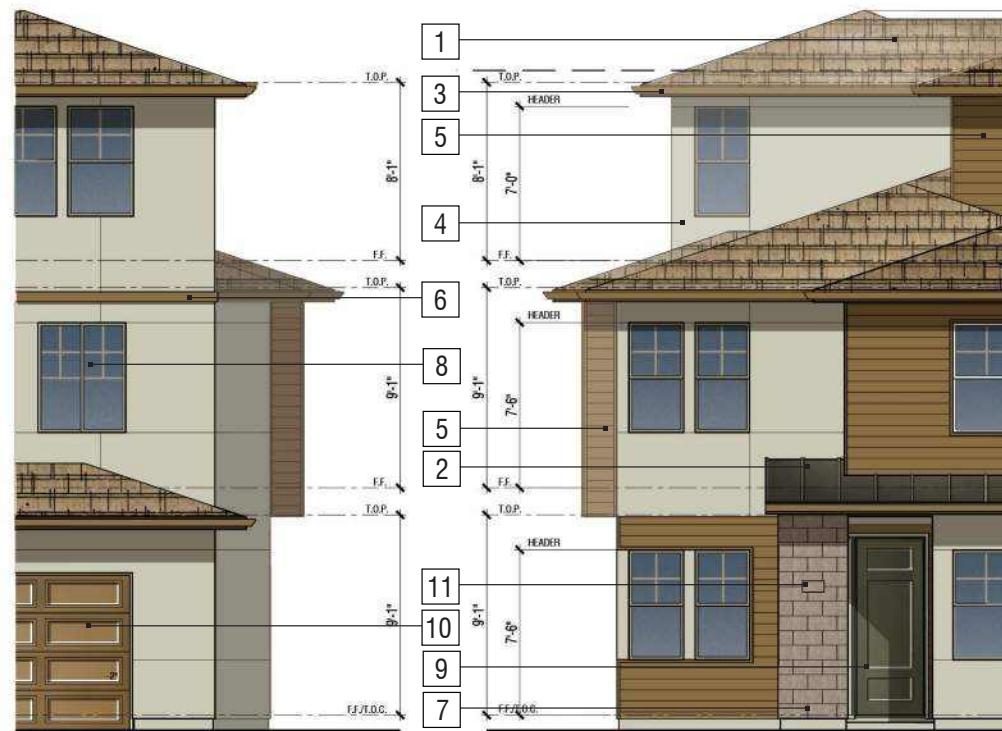
**Partial Third Floor**



**Partial Second Floor**



**Roof**  
SCALE: 1/8" = 1'-0"



**Partial Rear**



**Partial Front**

Refer to sheet  
A4.12.20 for  
Right Elevation.

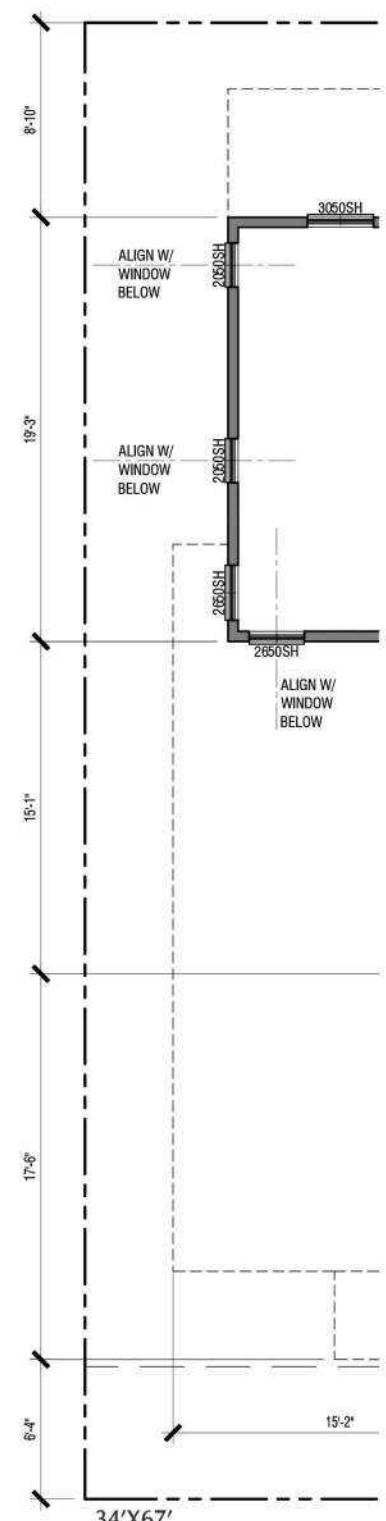


Note: Artist's conception; colors, materials and application may vary.

MATERIAL LIST: SEE PAGE A4.12.22

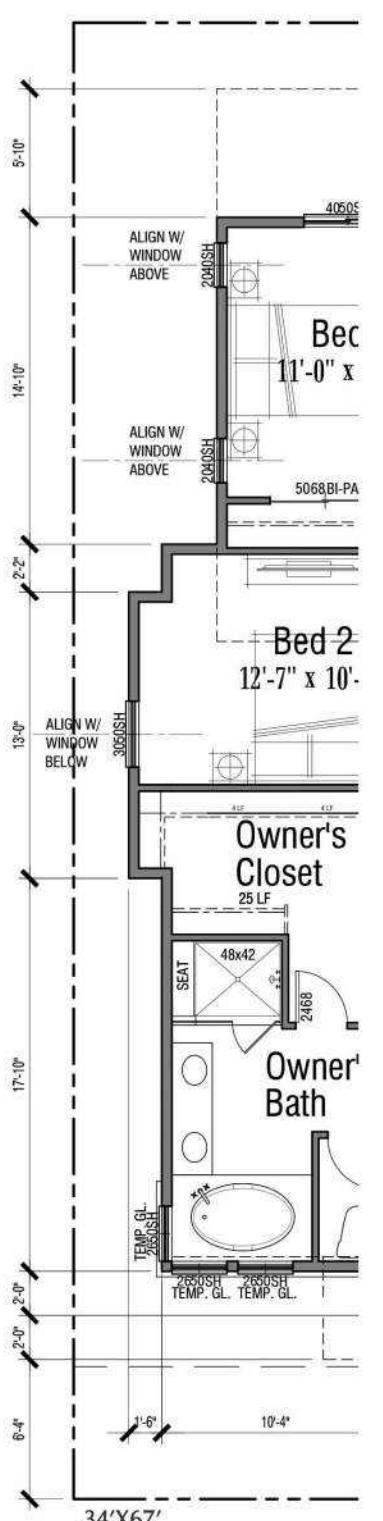
**Left**

## Plan 2 'B' - Enhanced Elevations - Corner Lot 31



Refer to sheet A4.12.14  
for First Floor Plan

**Partial Third Floor**



**Partial Second Floor**

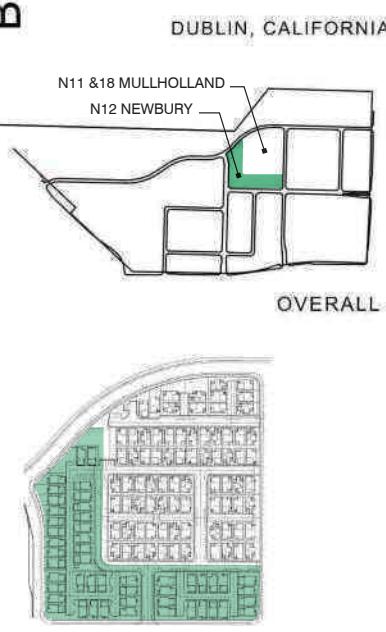
(1,230 sf)  
TOTAL: 2,529 SF

**PLAN 2 'B'**  
EXTERIOR ELEVATIONS

0 2 4 8 12 FEET

APRIL 11, 2017

**A4.12.25**



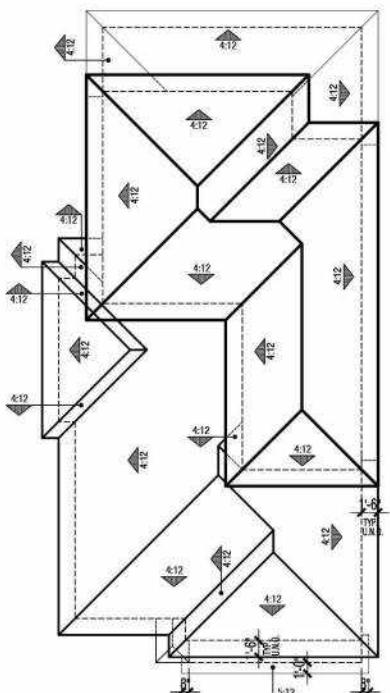
phases 2-3

**BOULEVARD**



WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N12 NEWBURY



**Roof**  
SCALE: 1/8" = 1'-0"



**Partial Rear**

**Partial Front** Refer to sheet  
A4.12.21 for  
Right Elevation.

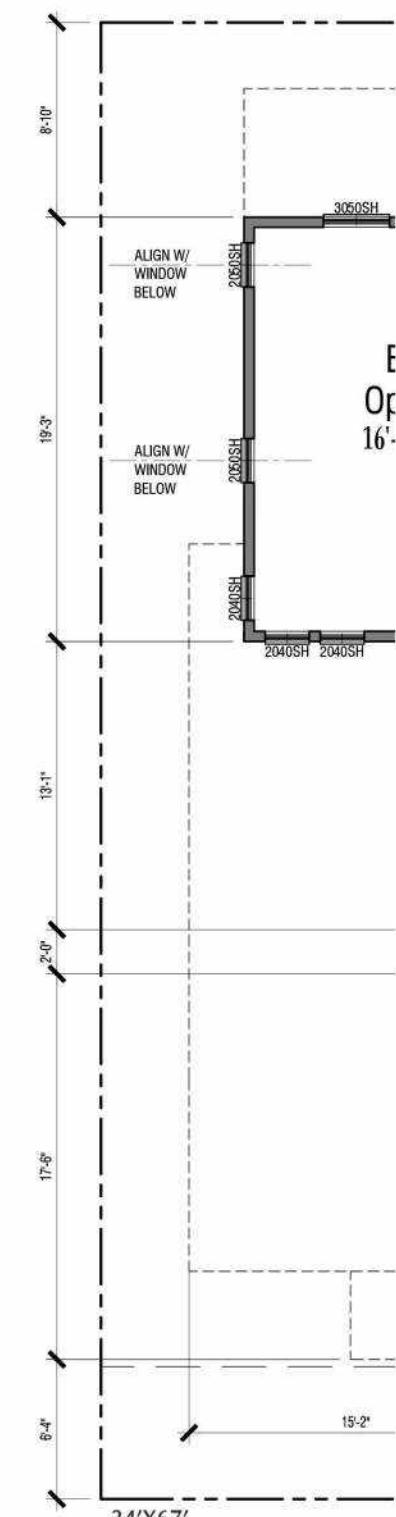


Note: Artist's conception; colors, materials and application may vary.

MATERIAL LIST: SEE PAGE A4.12.23

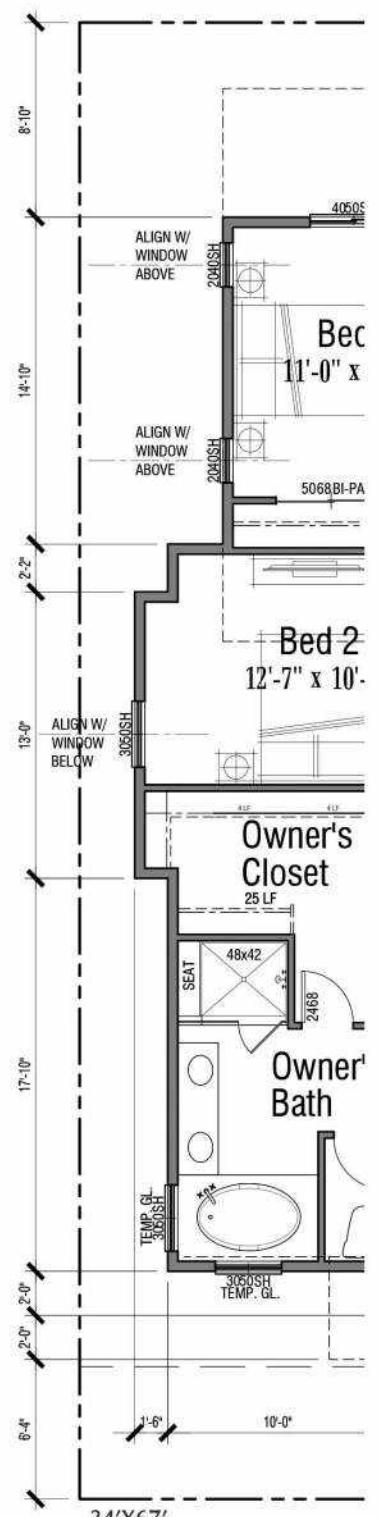
**Left**

## Plan 2 'C' - Enhanced Elevations - Corner Lots 13 and 46



Refer to sheet A4.12.16  
for First Floor Plan

**Partial Third Floor**



**Partial Second Floor**

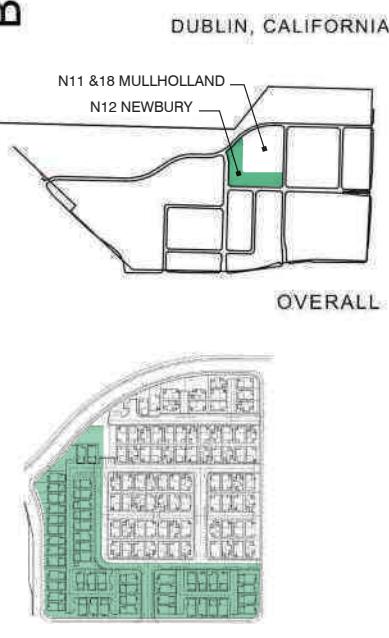
(1,230 sf)  
TOTAL: 2,529 SF

**PLAN 2 'C'**  
EXTERIOR ELEVATIONS

0 2 4 8 12 FEET

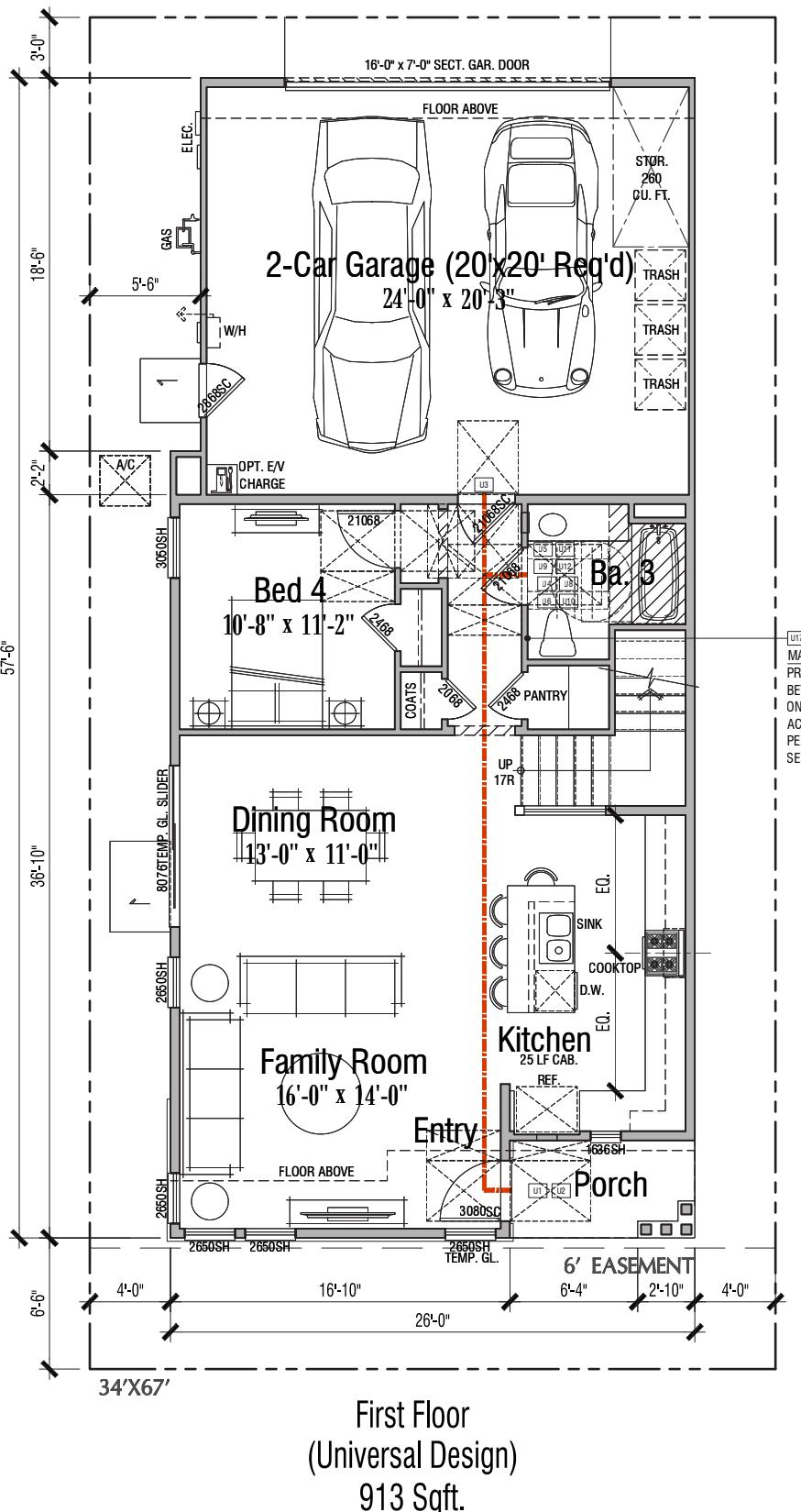
phases 2-3

**BOULEVARD**



APRIL 11, 2017

**A4.12.26**



#### UNIVERSAL DESIGN KEYNOTES

- [U1] MANDATORY TO INSTALL: PROVIDE DOORBELL MOUNTED BETWEEN 42" AND 48" FROM FINISHED FLOOR AT ENTRY DOOR.
- [U2] MANDATORY TO OFFER: EYEHOLE AT ENTRY DOOR MOUNTED BETWEEN 42" AND 44" FROM FINISHED FLOOR.
- [U3] MANDATORY TO OFFER: OPTIONAL REMOVABLE RAMP TO FRONT DOOR CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U4] MANDATORY TO INSTALL: GRAB BAR REINFORCEMENT FOR WATER CLOSET (TOILET) AND SHOWER OR BATHTUB AT PRIMARY FLOOR POWDER ROOM/ BATHROOM CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U5] MANDATORY TO INSTALL: FAUCETS AND HANDLES NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U6] MANDATORY TO OFFER: CLEAR SPACE IN THE BATH OR POWDER ROOM CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A, OR OUTSIDE OF THE SWING OF THE DOOR AND EITHER A 48" DIA. CIRCLE, 48" X 60" RECTANGLE OR 60" DIA. CIRCLE AT THE OPTION OF THE PURCHASER/ OWNER.
- [U7] MANDATORY TO OFFER: A BATHTUB OR SHOWER MEETING THE REQUIREMENTS OF ANSI A117.1
- [U8] MANDATORY TO OFFER: GRAB BARS INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A FOR THE WATER CLOSET (TOILET), SHOWER/ BATH, OR LAVATORY, OR ANY COMBINATION THEREOF, AT THE OPTION OF THE PURCHASER/ OWNER.
- [U9] MANDATORY TO OFFER: LAVATORY OR SINK INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U10] MANDATORY TO OFFER: WATER CLOSET (TOILET) INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U11] MANDATORY TO OFFER: REMOVABLE CABINETS UNDER THE LAVATORY/ SINK.
- [U12] MANDATORY TO OFFER: WHERE INSTALLED, MIRROR AND TOWEL BARS AT ACCESSIBLE POWERS OR BATHS CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U13] MANDATORY TO INSTALL: KITCHEN SINK CONTROLS NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U14] MANDATORY TO OFFER: AT KITCHEN, ONE OR MORE OF THE FOLLOWING AT THE PURCHASER/ OWNER'S OPTION, AT LEAST A 30" X 48" CLEAR SPACE IN FRONT OF THE SINK (COUNTING OPEN ACCESS UNDERNEATH, IF AVAILABLE) OR AT LEAST ONE 18" WIDE BREADBOARD AND/ OR AT LEAST 18" IN COUNTER SPACE AT A 34" HEIGHT OR AND COMBINATION THEREOF, A 30" X 48" CLEAR SPACE IN FRONT OF REFRIGERATOR, DISHWASHER AND ANY OTHER MAJOR KITCHEN APPLIANCE AT THE OPTION OF THE PURCHASER/ OWNER.
- [U15] MANDATORY TO OFFER: ADJUSTABLE SINK AND/ OR REMOVABLE UNDER-SINK CABINETS CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U16] MANDATORY TO OFFER: HOOD FAN CONTROLS AT LIGHT SWITCH LEVEL OR LOWER LEVEL.
- [U17] MANDATORY TO OFFER: ACCESSIBLE INTERIOR ROUTE CONSISTEN WITH THE REQUIREMENTS OF ORDINANCE NO. 21-07 CITY OF DUBLIN MUNICIPAL CODE 7.90.070 INTERIOR ROUTES INSTALLED AT THE REQUEST AND COST OF THE PURCHASER/ OWNER.

#### NOTES

REFER TO SHEET GN-1 AND CITY OF DUBLIN ORDINANCE 21-07 FOR A COMPREHENSIVE LIST OF ALL REQUIREMENTS AND REGULATIONS RELATED TO THIS UNIVERSAL DESIGN OPTION.

#### MANDATORY TO INSTALL:

1. HAND-ACTIVATED DOOR HARDWARE NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
2. ROCKER LIGHT SWITCHES AND CONTROL OR LIGHT SWITCHES AND CONTROLS MEETING THE REQUIREMENTS OF ANSI A117.1 OR THE CBC CHAPTER 11A.
3. THE INSTALLATION OF ALL RECEPTACLES OUTLETS, LIGHTING CONTROLS AND ENVIRONMENTAL CONTROLS THROUGHOUT THE RESIDENTIAL DWELLING UNIT MUST COMPLY WITH THE CBC CHAPTER 11A OR APPLICABLE PROVISIONS OF THE CALIFORNIA ELECTRICAL CODE.

phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



#### PLAN 3 'A'

FLOOR PLAN  
(UNIVERSAL DESIGN)

0 2 4 8 12 FEET



APRIL 11, 2017

A4.12.27

Homes have a Reciprocal Side yard Easement.  
Easement occurs at the side where the A/C, Trash,  
Utility are located.

**Plan 3 'A'**  
Total: 2,832 Sqft.  
4 Bedrooms/ 3 Baths/ Loft  
Bonus Room/ Opt. Bedroom 5 w/ Opt. Bath 4  
2 Car Garage



WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N12 NEWBURY

phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA

N11 & 18 MULLHOLLAND

## OVERALL

N12 NEWBURY

# **PLAN 3 'A'**

## **FLOOR PLANS**

0 2 4 8 12 FEET

[View Details](#) [View Details](#) [View Details](#)

APRIL 11, 2017

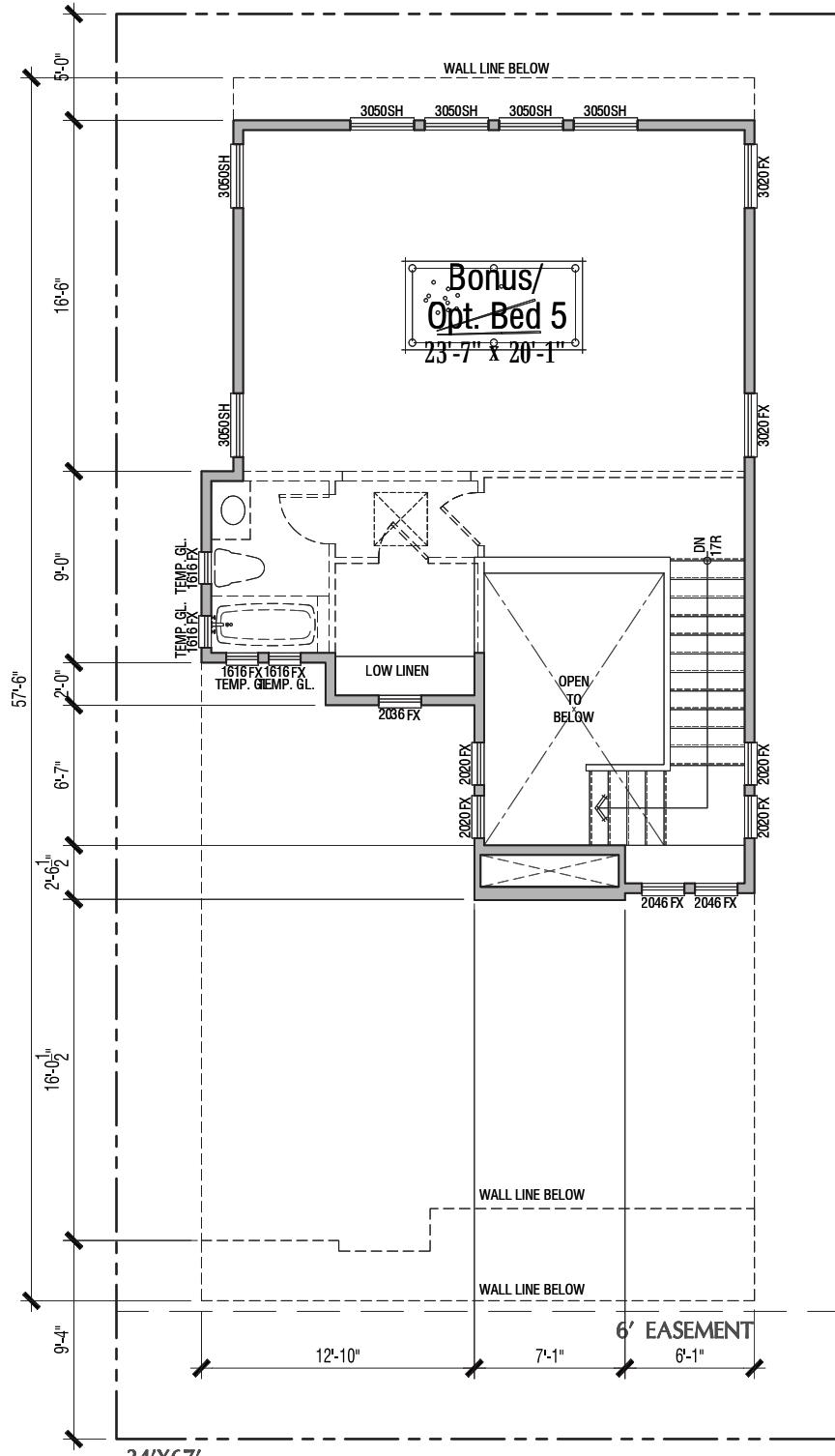
APRIL 11, 2017

A4 12 28

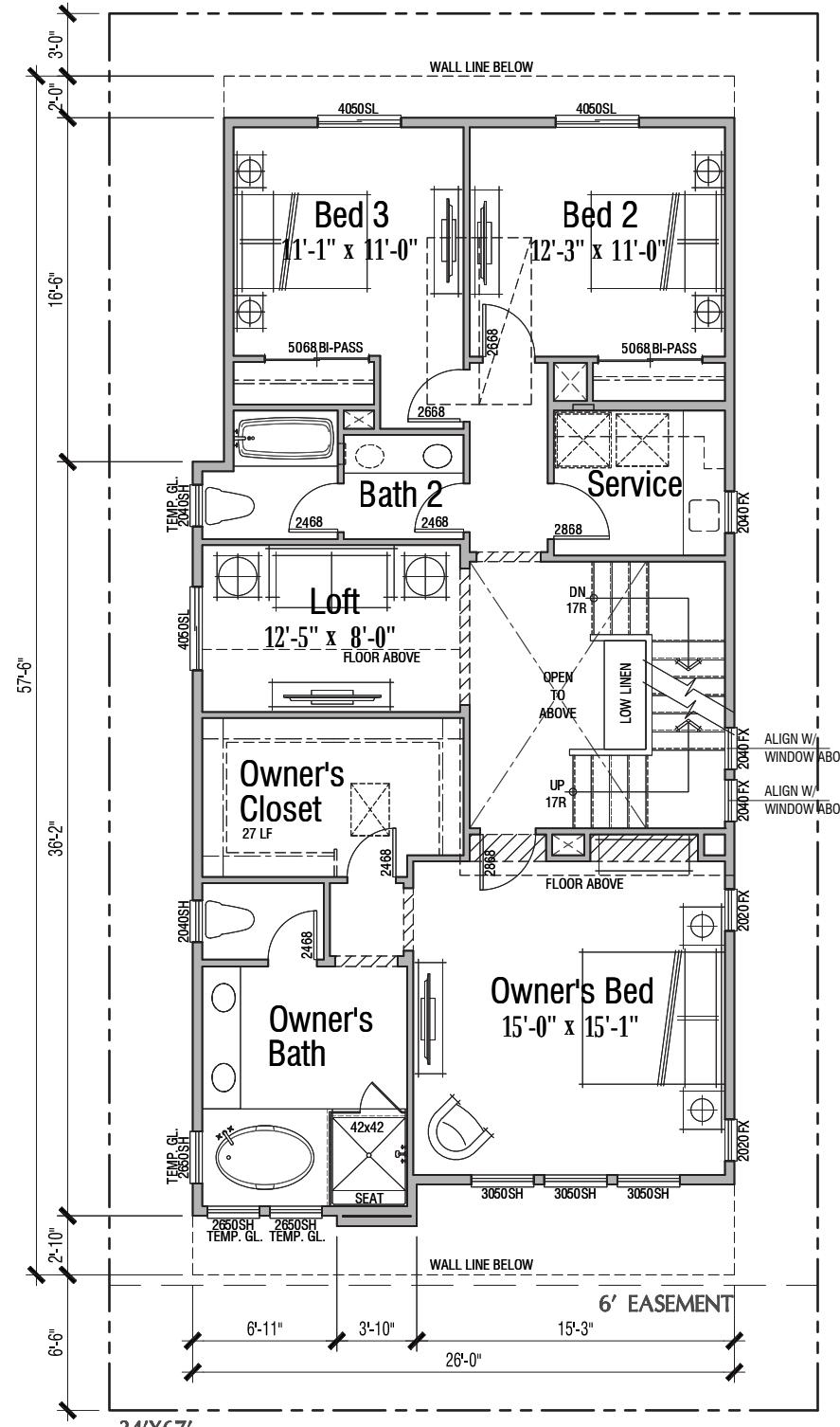
A4.12-20

✓ ✓ ✓ ✓ ✓ ✓ ✓

A4.12.28



Third Floor  
597 Sqft.



Second Floor  
1,322 Sqft.

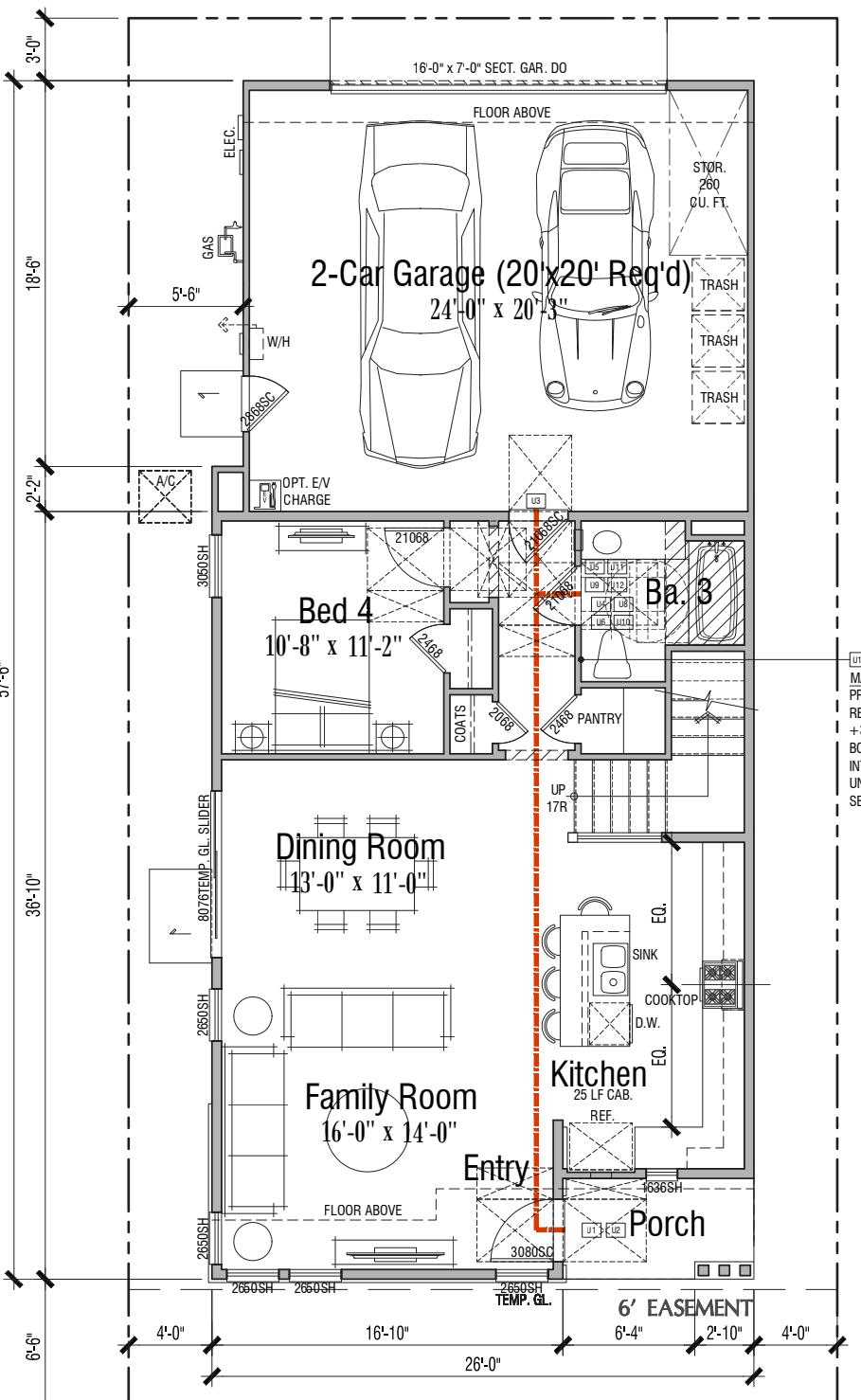
Plan 3 'A'

Total: 2.832 Soft.

Total 2,632 sq.ft.

Bonus Room/ Opt. Bedroom 5 w/ Opt. Bath 4

2 Car Garage



## Plan 3 'B'

Total: 2,818 Sqft.

4 Bedrooms/ 3 Baths/ Loft

Bonus Room/ Opt. Bedroom 5 w/ Opt. Bath 4  
2 Car Garage

Homes have a Reciprocal Side yard Easement.  
Easement occurs at the side where the A/C, Trash,  
Utility are located.

### UNIVERSAL DESIGN KEYNOTES

- [U1] MANDATORY TO INSTALL: PROVIDE DOORBELL MOUNTED BETWEEN 42" AND 48" FROM FINISHED FLOOR AT ENTRY DOOR.
- [U2] MANDATORY TO OFFER: EYEHOLE AT ENTRY DOOR MOUNTED BETWEEN 42" AND 44" FROM FINISHED FLOOR.
- [U3] MANDATORY TO OFFER: OPTIONAL REMOVABLE RAMP TO FRONT DOOR CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U4] MANDATORY TO INSTALL: GRAB BAR REINFORCEMENT FOR WATER CLOSET (TOILET) AND SHOWER OR BATHTUB AT PRIMARY FLOOR POWDER ROOM/ BATHROOM CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U5] MANDATORY TO INSTALL: FAUCETS AND HANDLES NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U6] MANDATORY TO OFFER: CLEAR SPACE IN THE BATH OR POWDER ROOM CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A, OR OUTSIDE OF THE SWING OF THE DOOR AND EITHER A 48" DIA. CIRCLE, 48" X 60" RECTANGLE OR 60" DIA. CIRCLE AT THE OPTION OF THE PURCHASER/ OWNER.
- [U7] MANDATORY TO OFFER: A BATHTUB OR SHOWER MEETING THE REQUIREMENTS OF ANSI A117.1
- [U8] MANDATORY TO OFFER: GRAB BARS INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A FOR THE WATER CLOSET (TOILET), SHOWER/ BATH, OR LAVATORY, OR ANY COMBINATION THEREOF, AT THE OPTION OF THE PURCHASER/ OWNER.
- [U9] MANDATORY TO OFFER: LAVATORY OR SINK INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U10] MANDATORY TO OFFER: WATER CLOSET (TOILET) INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U11] MANDATORY TO OFFER: REMOVABLE CABINETS UNDER THE LAVATORY/ SINK.
- [U12] MANDATORY TO OFFER: WHERE INSTALLED, MIRROR AND TOWEL BARS AT ACCESSIBLE POWERS OR BATHS CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U13] MANDATORY TO INSTALL: KITCHEN SINK CONTROLS NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U14] MANDATORY TO OFFER: AT KITCHEN, ONE OR MORE OF THE FOLLOWING AT THE PURCHASER/ OWNER'S OPTION, AT LEAST A 30" X 48" CLEAR SPACE IN FRONT OF THE SINK (COUNTING OPEN ACCESS UNDERNEATH, IF AVAILABLE) OR AT LEAST ONE 18" WIDE BREADBOARD AND/ OR AT LEAST 18" IN COUNTER SPACE AT A 34" HEIGHT OR AND COMBINATION THEREOF, A 30" X 48" CLEAR SPACE IN FRONT OF REFRIGERATOR, DISHWASHER AND ANY OTHER MAJOR KITCHEN APPLIANCE AT THE OPTION OF THE PURCHASER/ OWNER.
- [U15] MANDATORY TO OFFER: ADJUSTABLE SINK AND/ OR REMOVABLE UNDER-SINK CABINETS CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
- [U16] MANDATORY TO OFFER: HOOD FAN CONTROLS AT LIGHT SWITCH LEVEL OR LOWER LEVEL.
- [U17] MANDATORY TO OFFER: ACCESSIBLE INTERIOR ROUTE CONSISTENT WITH THE REQUIREMENTS OF ORDINANCE NO. 21-07 CITY OF DUBLIN MUNICIPAL CODE 7.90.070 INTERIOR ROUTES INSTALLED AT THE REQUEST AND COST OF THE PURCHASER/ OWNER.

### NOTES

REFER TO SHEET GN-1 AND CITY OF DUBLIN ORDINANCE 21-07 FOR A COMPREHENSIVE LIST OF ALL REQUIREMENTS AND REGULATIONS RELATED TO THIS UNIVERSAL DESIGN OPTION.

MANDATORY TO INSTALL:

1. HAND-ACTIVATED DOOR HARDWARE NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
2. ROCKER LIGHT SWITCHES AND CONTROL OR LIGHT SWITCHES AND CONTROLS MEETING THE REQUIREMENTS OF ANSI A117.1 OR THE CBC CHAPTER 11A.
3. THE INSTALLATION OF ALL RECEPTACLES OUTLETS, LIGHTING CONTROLS AND ENVIRONMENTAL CONTROLS THROUGHOUT THE RESIDENTIAL DWELLING UNIT MUST COMPLY WITH THE CBC CHAPTER 11A OR APPLICABLE PROVISIONS OF THE CALIFORNIA ELECTRICAL CODE.



### PLAN 3 'B'

FLOOR PLAN  
(UNIVERSAL DESIGN)

0 2 4 8 12 FEET

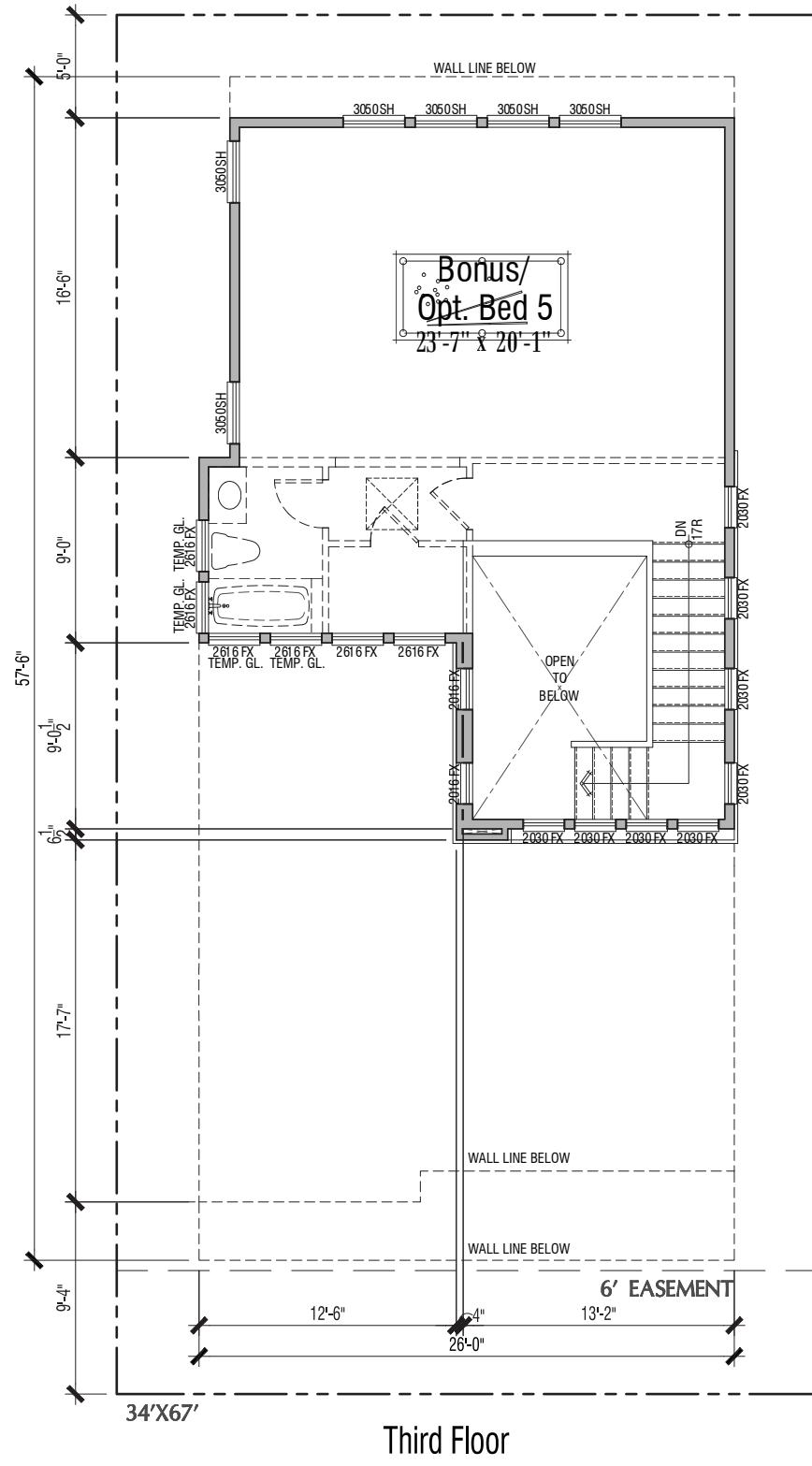


APRIL 11, 2017

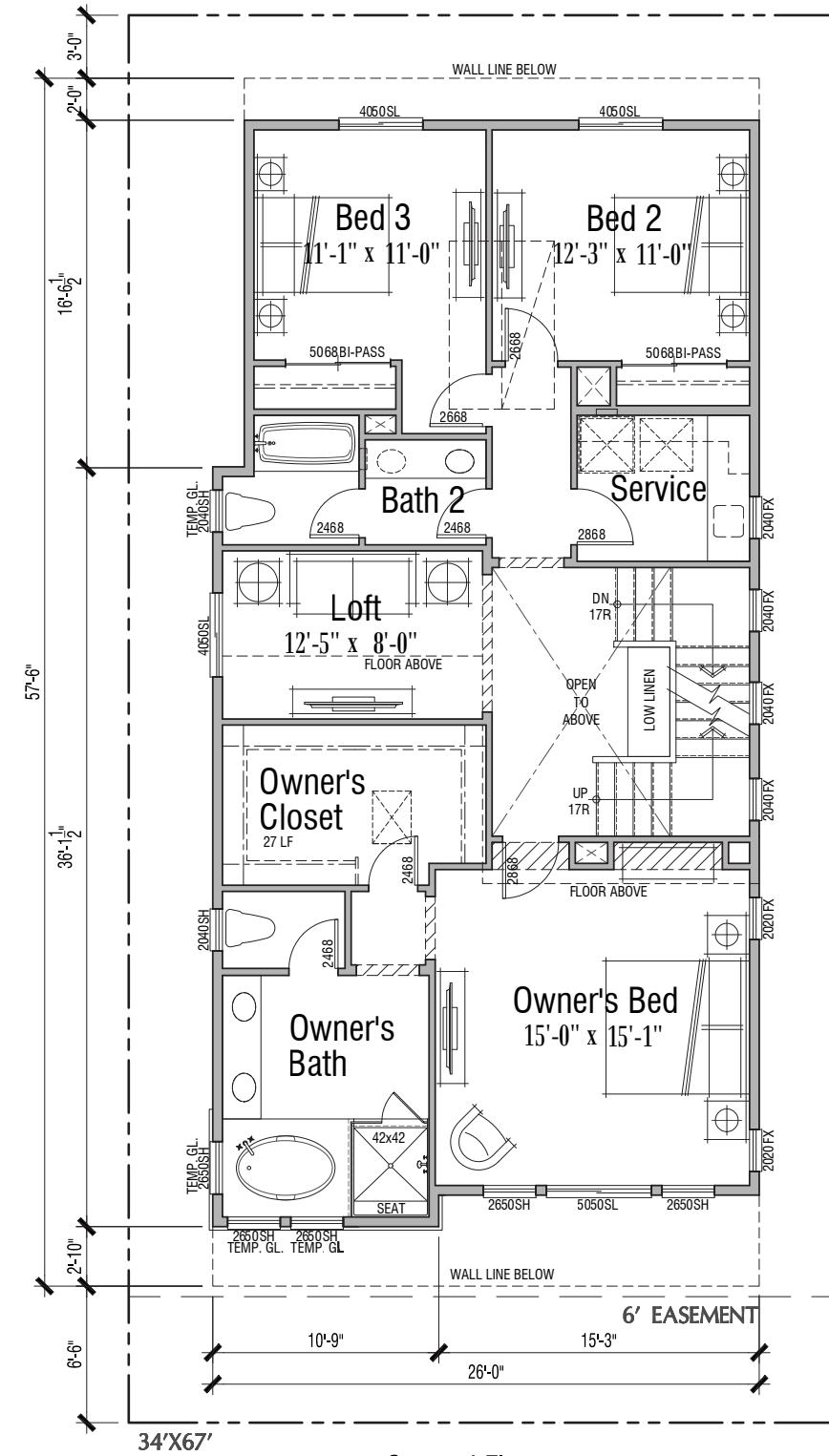
A4.12.29



WILLIAM HEZMALHALCH  
ARCHITECTS INC.  
N12 NEWBURY



Third Floor  
582 Sqft.



Second Floor  
1,322 Sqft.

## Plan 3 'B'

Total: 2,818 Sqft.

4 Bedrooms/ 3 Baths/ Loft

Bonus Room/ Opt. Bedroom 5 w/ Opt. Bath 4  
2 Car Garage

PLAN 3 'B'  
FLOOR PLANS

0    2    4                8                12                FEET

---

[View Details](#) [View Details](#) [View Details](#)

APRIL 11, 2017

4.12.30



N12 NEWBURY

UNIVERSAL DESIGN KEYNOTES

- MANDATORY TO INSTALL: PROVIDE DOORBELL MOUNTED BETWEEN 42" AND 48" FROM FINISHED FLOOR AT ENTRY DOOR.**

**MANDATORY TO OFFER: EYEHOLE AT ENTRY DOOR MOUNTED BETWEEN 42" AND 44" FROM FINISHED FLOOR.**

**MANDATORY TO OFFER: OPTIONAL REMOVABLE RAMP TO FRONT DOOR CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.**

**MANDATORY TO OFFER: OPTIONAL REMOVABLE RAMP AT GARAGE-TO-HOUSE ENTRY DOOR CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.**

**MANDATORY TO INSTALL: GRAB BAR REINFORCEMENT FOR WATER CLOSET (TOILET) AND SHOWER OR BATHTUB AT PRIMARY FLOOR POWDER ROOM/ BATHROOM CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.**

**MANDATORY TO INSTALL: FAUCETS AND HANDLES NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.**

**MANDATORY TO OFFER: CLEAR SPACE IN THE BATH OR POWDER ROOM CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A, OR OUTSIDE OF THE SWING OF THE DOOR AND EITHER A 48" DIA. CIRCLE, 48" X 60" RECTANGLE OR 60" DIA. CIRCLE AT THE OPTION OF THE PURCHASER/ OWNER.**

**MANDATORY TO OFFER: A BATHTUB OR SHOWER MEETING THE REQUIREMENTS OF ANSI A117.1**

**MANDATORY TO OFFER: GRAB BARS INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A FOR THE WATER CLOSET (TOILET), SHOWER/ BATH, OR LAVATORY, OR ANY COMBINATION THEREOF, AT THE OPTION OF THE PURCHASER/ OWNER.**

**MANDATORY TO OFFER: LAVATORY OR SINK INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.**

**MANDATORY TO OFFER: WATER CLOSET (TOILET) INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.**

**MANDATORY TO OFFER: REMOVABLE CABINETS UNDER THE LAVATORY/ SINK.**

**MANDATORY TO OFFER: WHERE INSTALLED, MIRROR AND TOWEL BARS AT ACCESSIBLE POWDERS OR BATHS CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.**

**MANDATORY TO INSTALL: KITCHEN SINK CONTROLS NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.**

**MANDATORY TO OFFER: AT KITCHEN, ONE OR MORE OF THE FOLLOWING AT THE PURCHASER/ OWNER'S OPTION, AT LEAST A 30" X 48" CLEAR SPACE IN FRONT OF THE SINK (COUNTING OPEN ACCESS UNDERNEATH, IF AVAILABLE) OR AT LEAST ONE 18" WIDE BREADBOARD AND/ OR AT LEAST 18" IN COUNTER SPACE AT A 34" HEIGHT OR AND COMBINATION THEREOF, A 30" X 48" CLEAR SPACE IN FRONT OF REFRIGERATOR, DISHWASHER AND ANY OTHER MAJOR KITCHEN APPLIANCE AT THE OPTION OF THE PURCHASER/ OWNER.**

**MANDATORY TO OFFER: ADJUSTABLE SINK AND/ OR REMOVABLE UNDER-SINK CABINETS CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.**

**MANDATORY TO OFFER: HOOD FAN CONTROLS AT LIGHT SWITCH LEVEL OR LOWER LEVEL.**

**MANDATORY TO OFFER: ACCESSIBLE INTERIOR ROUTE CONSISTENT WITH THE REQUIREMENTS OF ORDINANCE NO. 21-07 CITY OF DUBLIN MUNICIPAL CODE 7.90.070 INTERIOR ROUTES INSTALLED IN THE BUILDING ARE TO BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THIS SECTION.**

## NOTES

REFER TO SHEET GN-1 AND CITY OF DUBLIN ORDINANCE 21-07 FOR A COMPREHENSIVE LIST OF ALL REQUIREMENTS AND REGULATIONS RELATED TO THIS UNIVERSAL DESIGN OPTION.

MANDATORY TO INSTALL

1. HAND-ACTIVATED DOOR HARDWARE NOT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND CONSISTENT WITH THE REQUIREMENTS OF CBC CHAPTER 11A.
  2. ROCKER LIGHT SWITCHES AND CONTROL OR LIGHT SWITCHES AND CONTROLS MEETING THE REQUIREMENTS OF ANSI 117.1 OR THE CBC CHAPTER 11A.
  3. THE INSTALLATION OF ALL RECEPTACLES OUTLETS, LIGHTING CONTROLS AND ENVIRONMENTAL CONTROLS THROUGHOUT THE RESIDENTIAL DWELLING UNIT MUST COMPLY WITH THE CBC CHAPTER 11A OR APPLICABLE PROVISIONS OF THE CALIFORNIA ELECTRICAL CODE.

First Floor  
Universal Design)  
913 Soft.

# Plan 3 'C'

Total: 2,818 Sqft.

4 Bedrooms/ 3 Baths/ Loft

Bonus Room/ Opt. Bedroom 5 w/ Opt. Bath 4  
2 Car Garage

Homes have a Reciprocal Side yard Easement.  
Easement occurs at the side where the A/C, Trash,  
Utility are located.

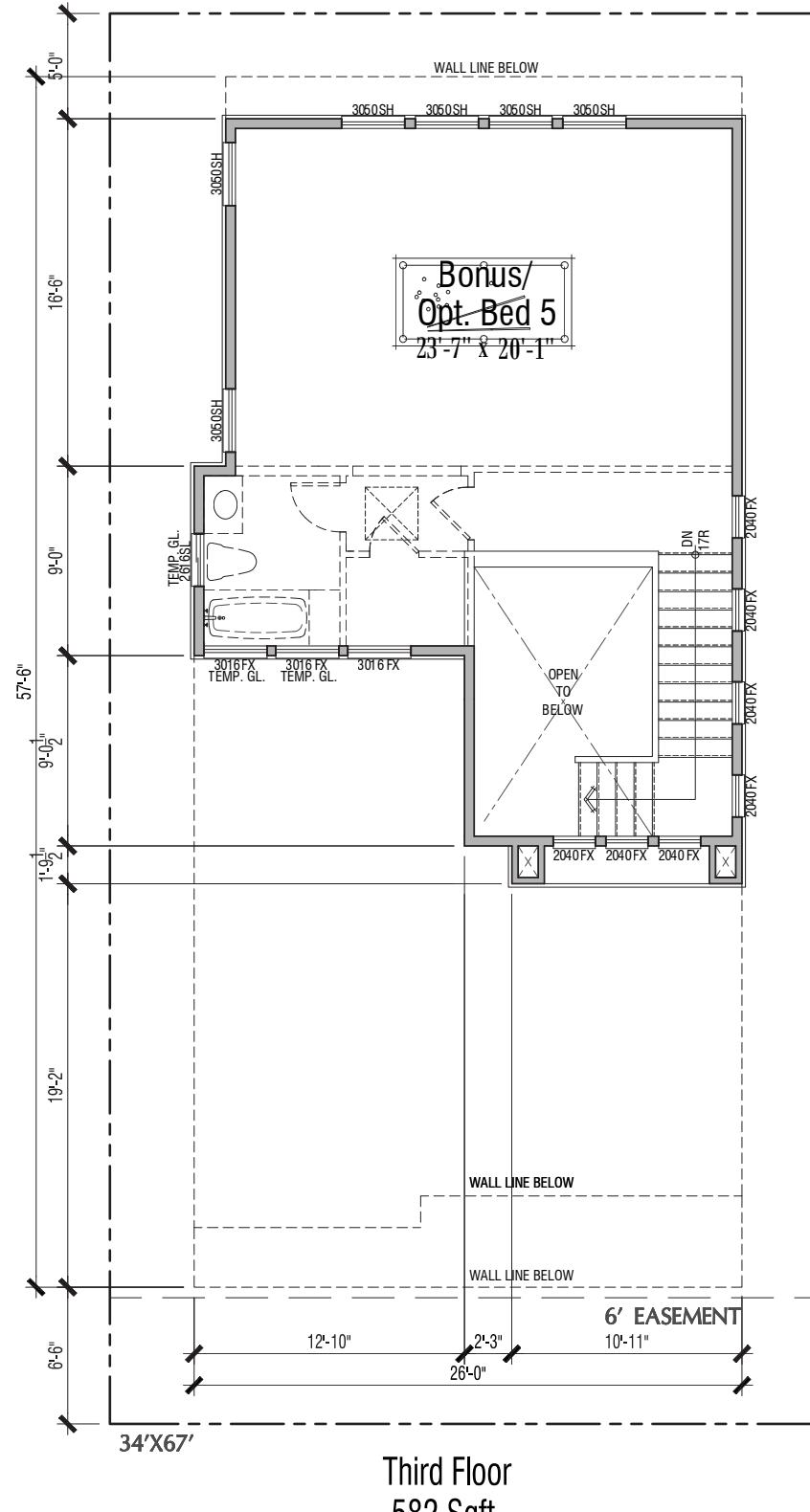
3 'C'

## FLOOR PLAN (UNIVERSAL DESIGN)

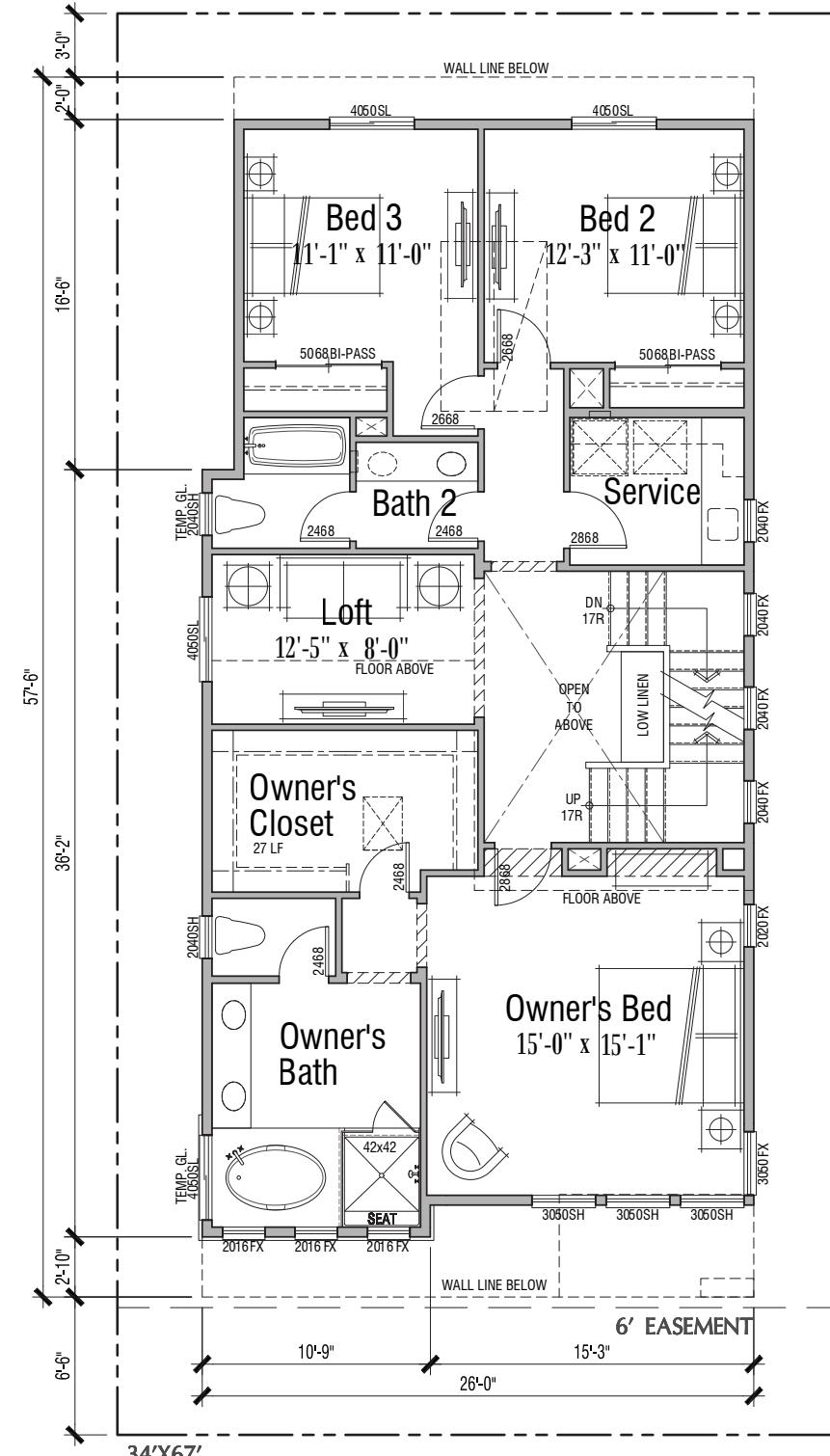
0 2 4 8 12 FEET

APRIL 11, 2017

A4.12.31



Third Floor  
582 Sqft.



Second Floor  
1,322 Sqft.

Plan 3 'C'

Total: 2,818 Sqft.

4 Bedrooms/ 3 Baths/ Loft

Bonus Room/ Opt. Bedroom 5 w/ Opt. Bath 4  
2 Car Garage

PLAN 3 'C'  
FLOOR PLANS



N12 NEWBURY

PLAN 3 'C'  
FLOOR PLANS

PLAN 3 'C'  
FLOOR PLANS

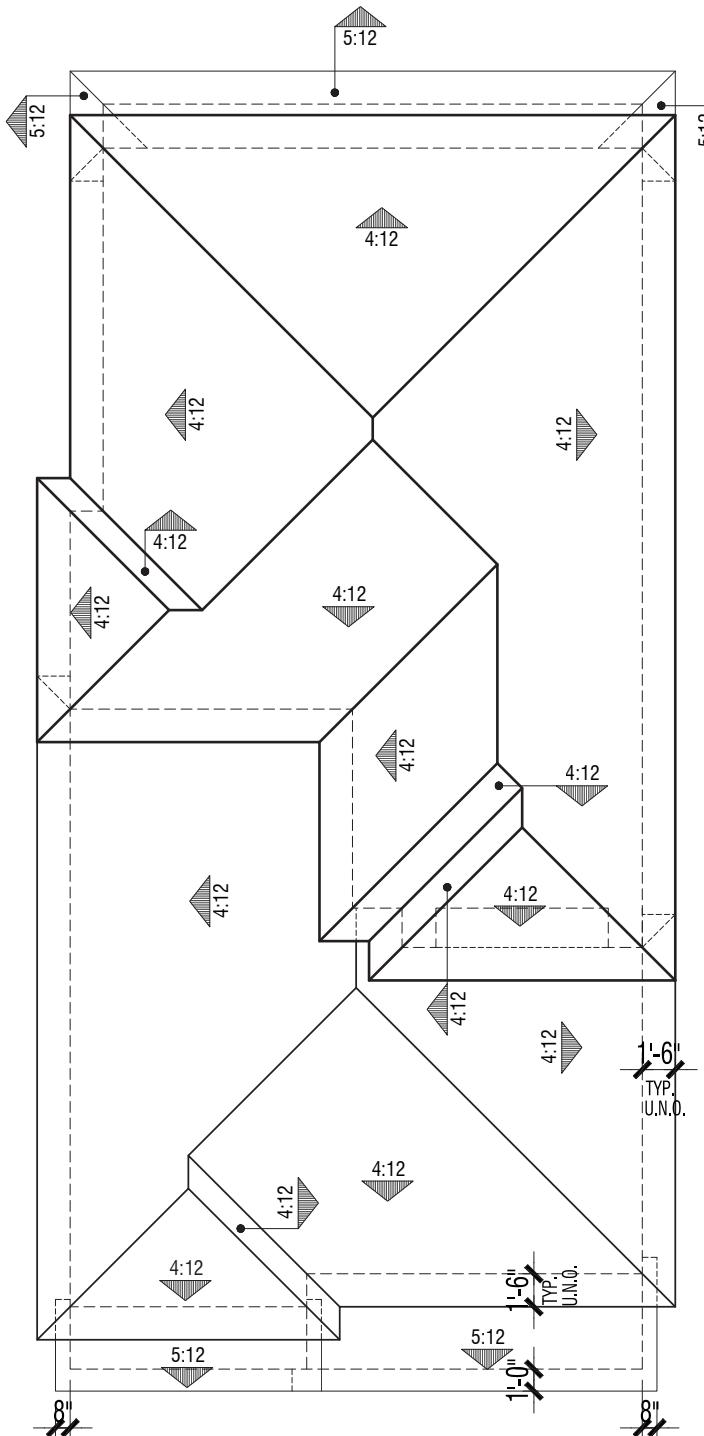
N12 NEWBURY

PLAN 3 'C'  
FLOOR PLANS

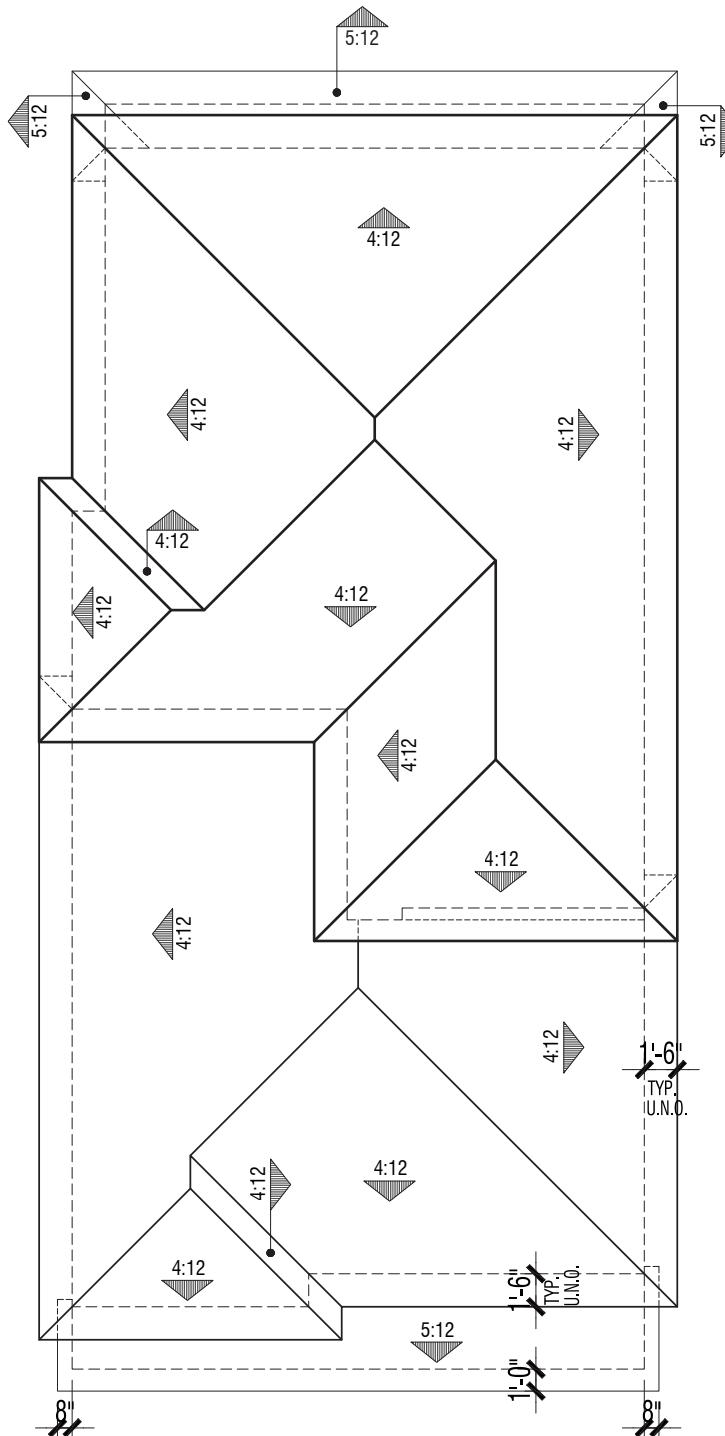
PLAN 3 'C'  
FLOOR PLANS

APRIL 11, 2017

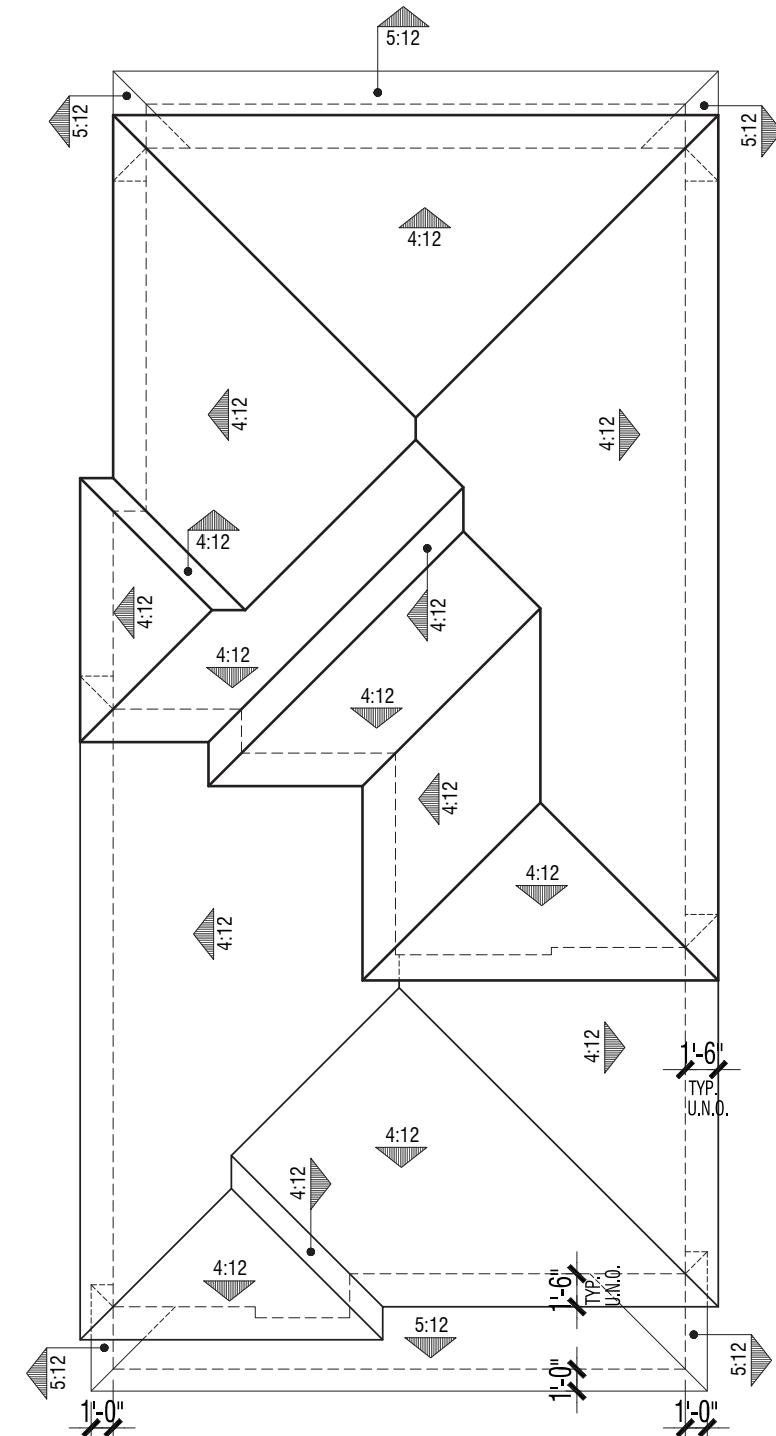
# A4.12.32



Roof Plan 'C'



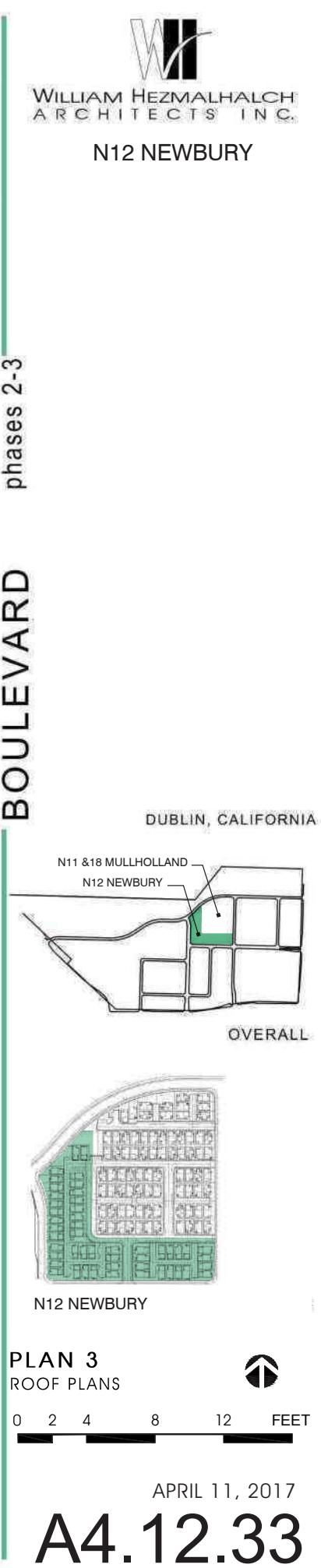
Roof Plan 'B'



Roof Plan 'A'

Note: Per Exception 7 to the California Energy code section 110.10(b)1A, solar zones are not required if all thermostats within the home are capable of receiving and responding to demand response signals and one of the following is provided: 1) "Energy Star" dishwasher, 2) Whole House fan driven by an electronically commutated motor.

## Plan 3



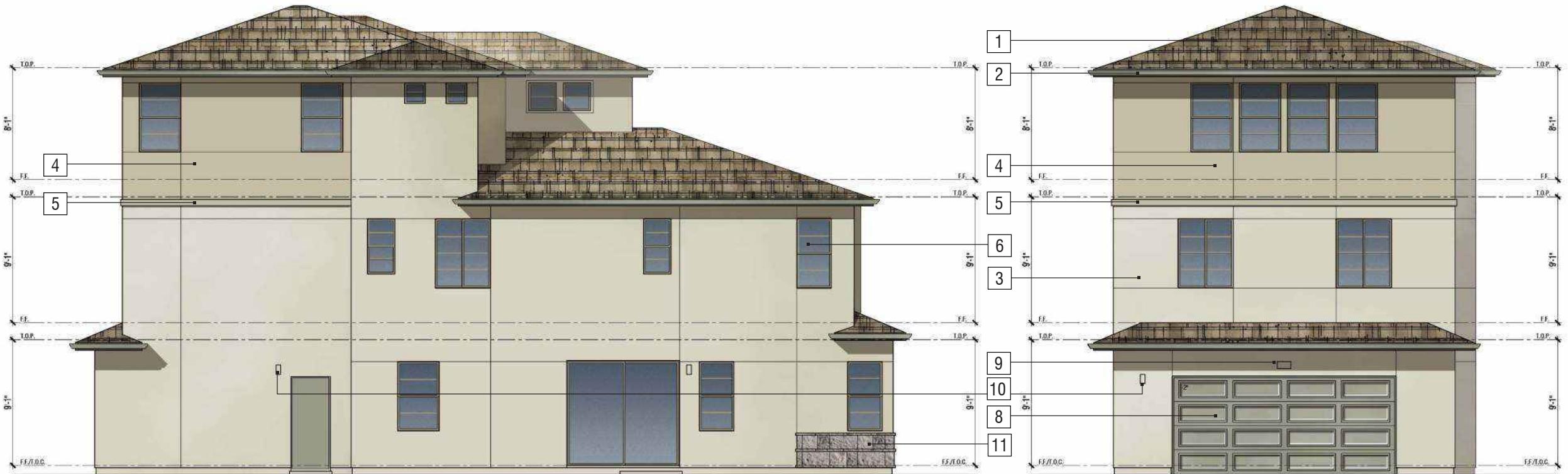


WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N12 NEWBURY

phases 2-3

BOULEVARD



Note: Artist's conception; colors, materials and application may vary.

Left



Right



Front

Plan 3 'A'

- A - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 9**
1. ROOF: CONCRETE SLATE TILE ROOF
  2. FASCIA/GUTTER TYPICAL
  3. BODY: STUCCO #1
  4. BODY: STUCCO BODY #2
  5. TRIM: 2X6 STUCCO OVER FOAM TRIM
  6. WINDOWS: VINYL WINDOWS WITH FACTORY PAINT FINISH
  7. FRONT DOOR: ACCENT COLOR, PAINT GRADE
  8. GARAGE DOOR:
  9. ADDRESS PANEL
  10. LIGHT FIXTURE
  11. VENEER: MANUFACTURED STONE - SIERRA CUT; WITH STONE ACCENT SNAPPED EDGE WAINSCOT SILL
  12. POSTS: 6X6 WOOD SMOOTH FINISH



PLAN 3 'A'  
EXTERIOR ELEVATIONS

0 2 4 8 12 FEET

APRIL 11, 2017

A4.12.34



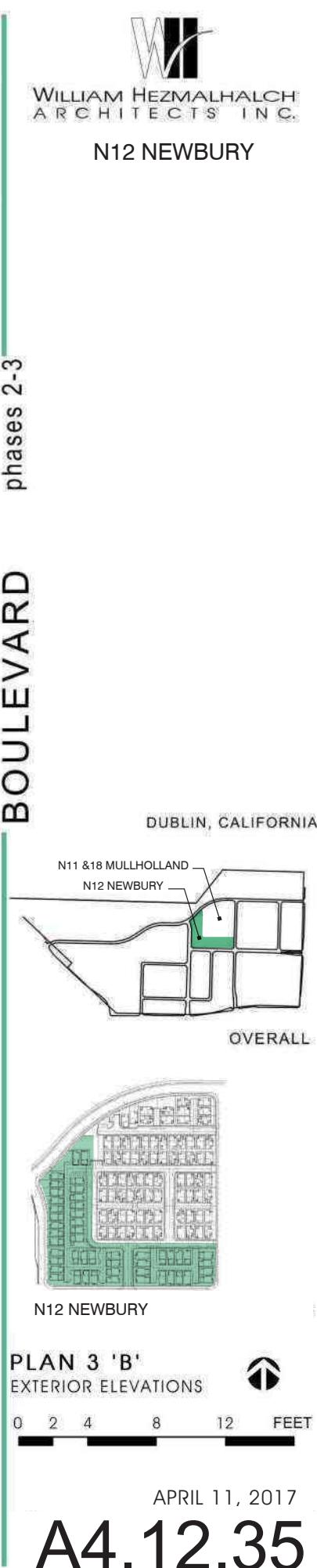
- B - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 6**
1. ROOF: CONCRETE SLATE TILE ROOF / METAL ROOF
  2. FASCIA/GUTTER TYPICAL
  3. BODY: STUCCO
  4. BODY: FIBER CEMENT HORIZONTAL SIDING
  5. TRIM: 2X6 STUCCO FOAM TRIM
  6. VENEER: MANUFACTURED STONE - LEDGECUT OR CONCRETE MASONRY BLOCK
  7. WINDOWS: VINYL WINDOWS WITH FACTORY PAINT FINISH
  8. FRONT DOOR: ACCENT COLOR, PAINT GRADE
  9. GARAGE DOOR:
  10. ADDRESS PANEL
  11. LIGHT FIXTURE
  12. POSTS: 6X6 WOOD SMOOTH FINISH

Right

Plan 3 'B'



Front



phases 2-3

BOULEVARD

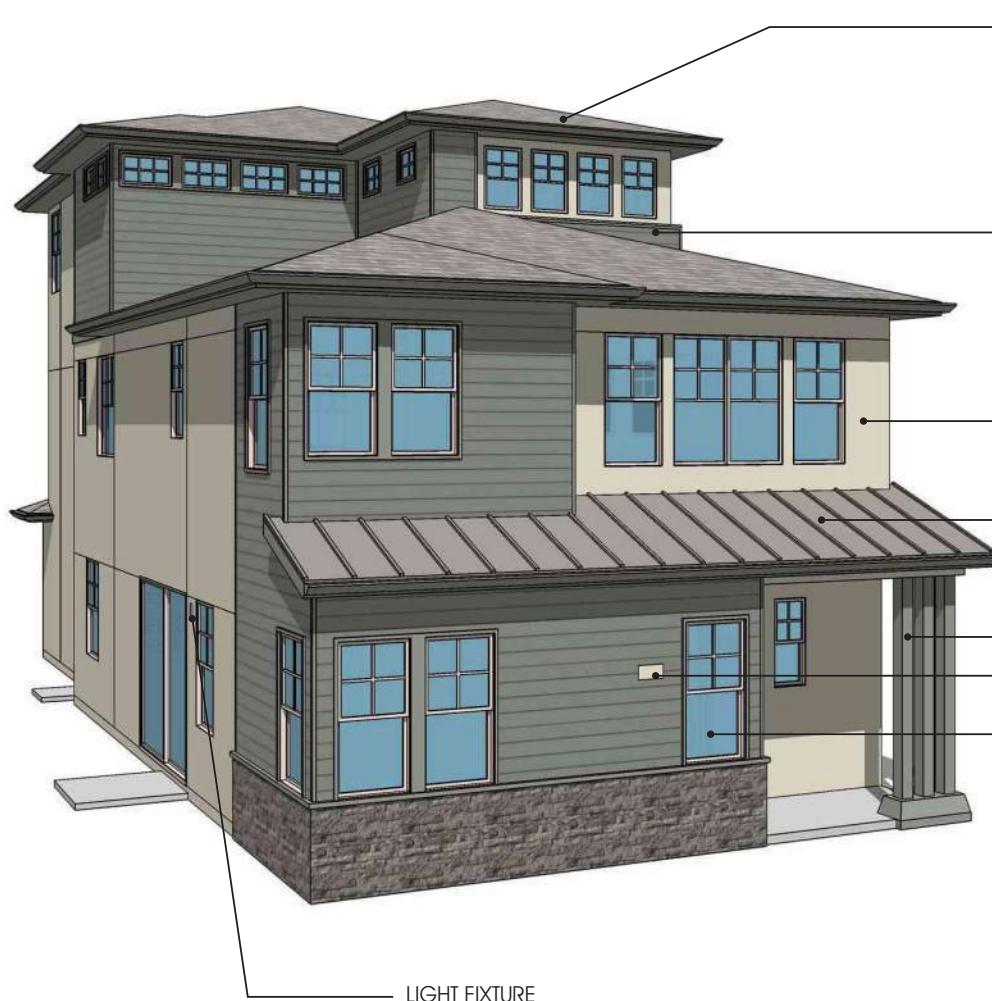
DUBLIN, CALIFORNIA



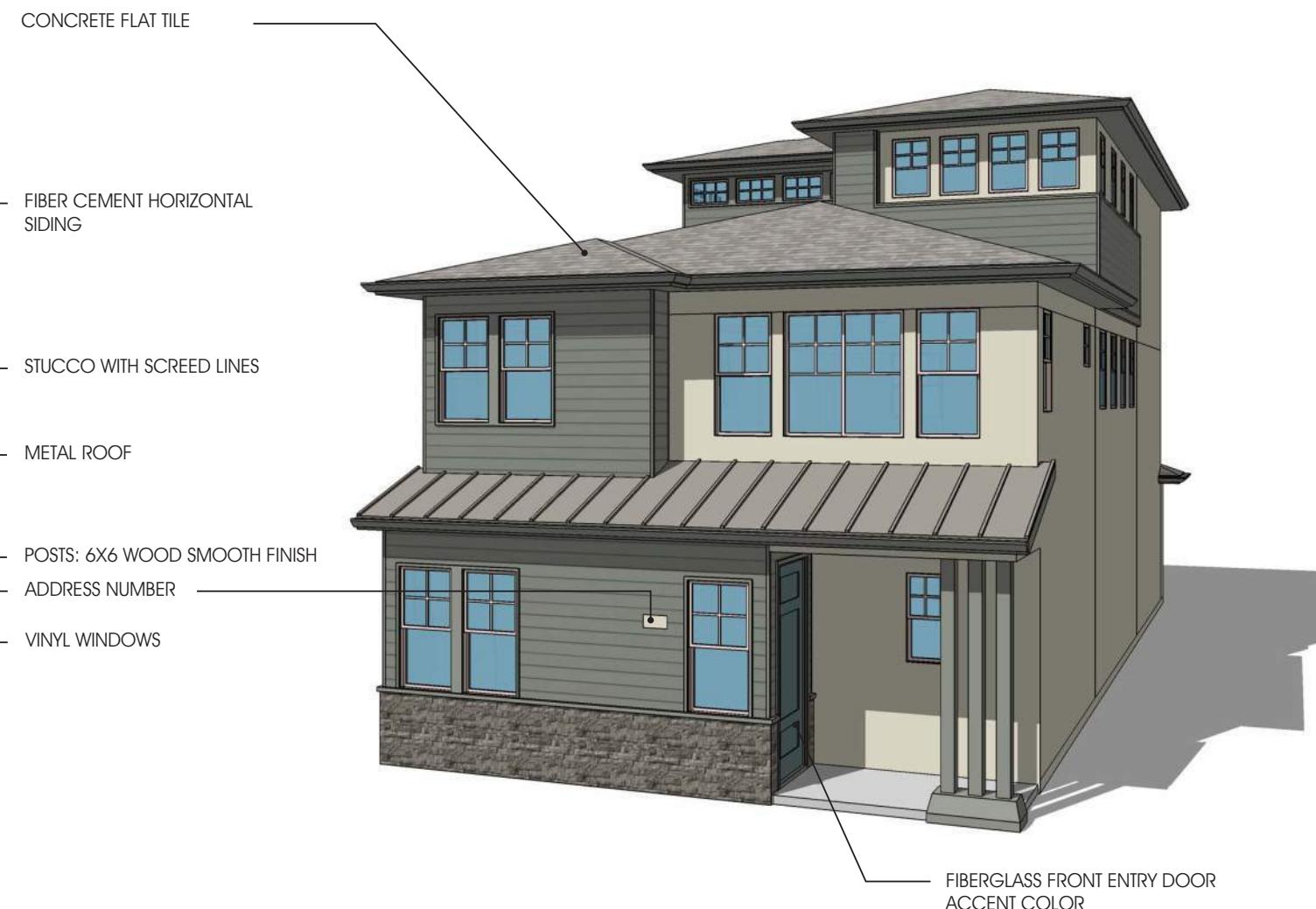
OVERALL



**PLAN 3 'B'**  
 TYPICAL ISOMETRIC VIEW



**PLAN 3B - FRONT LEFT CORNER**  
 COLOR SCHEME #6



**PLAN 3B - FRONT RIGHT INTERIOR**  
 COLOR SCHEME #6



Note: Artist's conception; colors, materials and application may vary.

Left



**C - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 8**

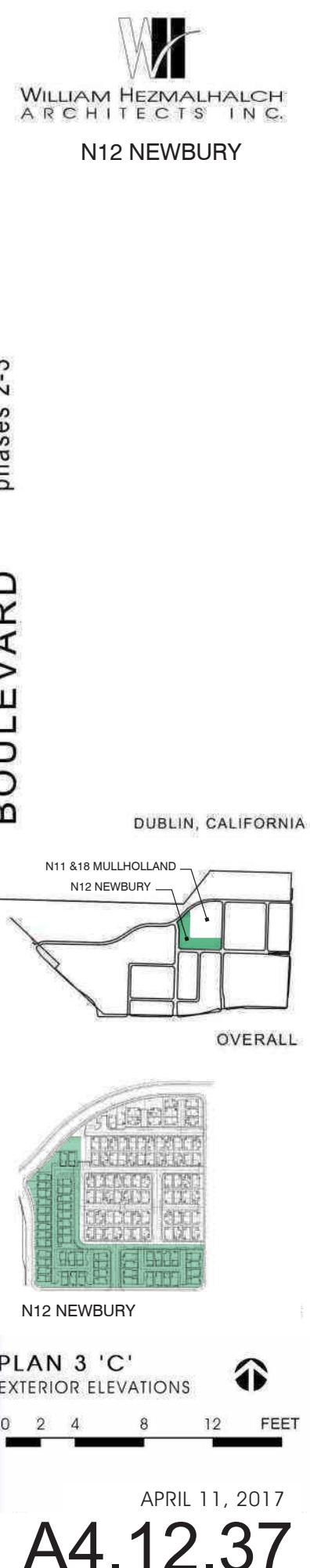
1. ROOF: CONCRETE SLATE TILE ROOF
2. FASCIA/GUTTER TYPICAL
3. BODY: STUCCO
4. BODY: FIBER CEMENT HORIZONTAL SIDING
5. TRIM: 2X6 STUCCO FOAM TRIM
6. VENEER: CONCRETE MASONRY BLOCK OR MANUFACTURED STONE - COASTAL REEF
7. WINDOWS: VINYL WINDOWS WITH FACTORY PAINT FINISH
8. FRONT DOOR: ACCENT COLOR, PAINT GRADE
9. AWNING: METAL
10. GARAGE DOOR:
11. ADDRESS PANEL
12. LIGHT FIXTURE

Right

Plan 3 'C'



Front



- B - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 6**
1. ROOF: CONCRETE SLATE TILE ROOF / METAL ROOF
  2. FASCIA/GUTTER TYPICAL
  3. BODY: STUCCO
  4. BODY: FIBER CEMENT HORIZONTAL SIDING
  5. TRIM: 2X6 STUCCO FOAM TRIM
  6. VENEER: MANUFACTURED STONE - LEDGECUT OR CONCRETE MASONRY BLOCK
  7. WINDOWS: VINYL WINDOWS WITH FACTORY PAINT FINISH ACCENT COLOR, PAINT GRADE
  8. FRONT DOOR:
  9. GARAGE DOOR:
  10. ADDRESS PANEL
  11. LIGHT FIXTURE

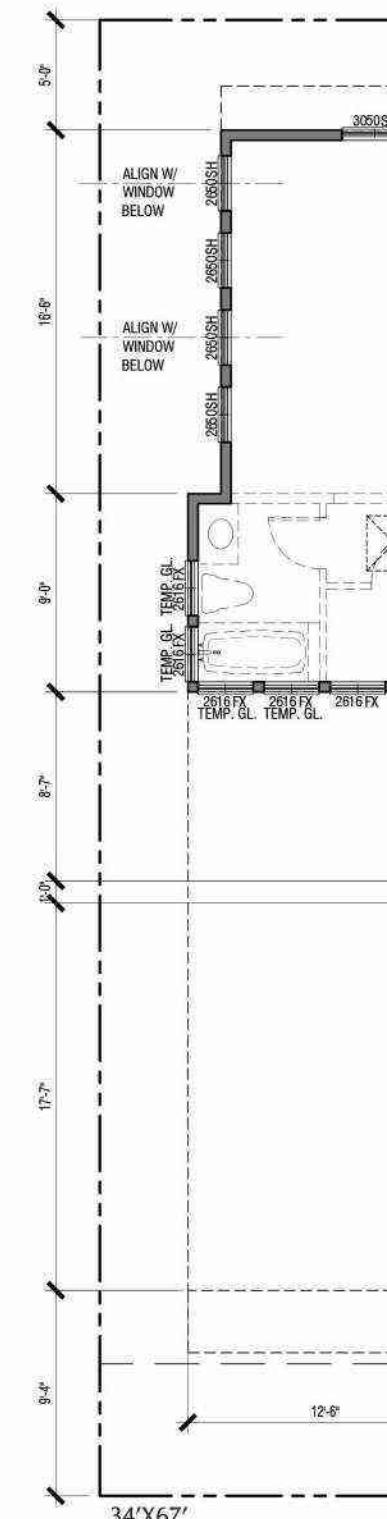


Rear  
Refer to sheet A4.12.33 for  
Front, and Right Elevations.



Note: Artist's conception; colors, materials and application may vary.

Left



Refer to sheet A4.12.27  
for First Floor Plan

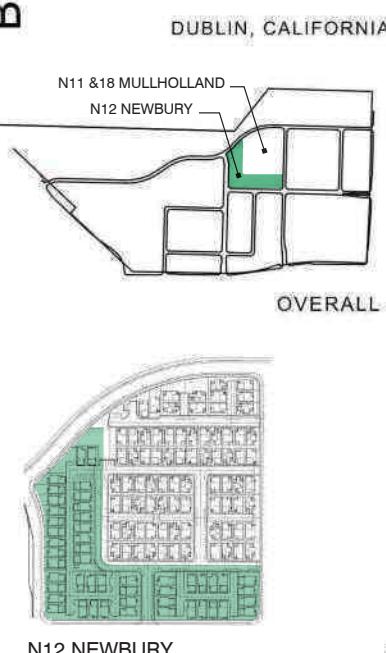
Partial Third Floor



Partial Second Floor

## BOULEVARD

phases 2-3



PLAN 3 'B'  
EXTERIOR ELEVATIONS

0 2 4 8 12 FEET



APRIL 11, 2017

A4.12.38

Plan 3 'B' - Enhanced Elevations - Corner Lot 17



Note: Artist's conception; colors, materials and application may vary.



±29'-11"  
30'-0" MAX. EAVE HT. FOR FIRE DEPT. ROOF ACCESS  
33'-10"  
MURKIN DRILLING LTD.

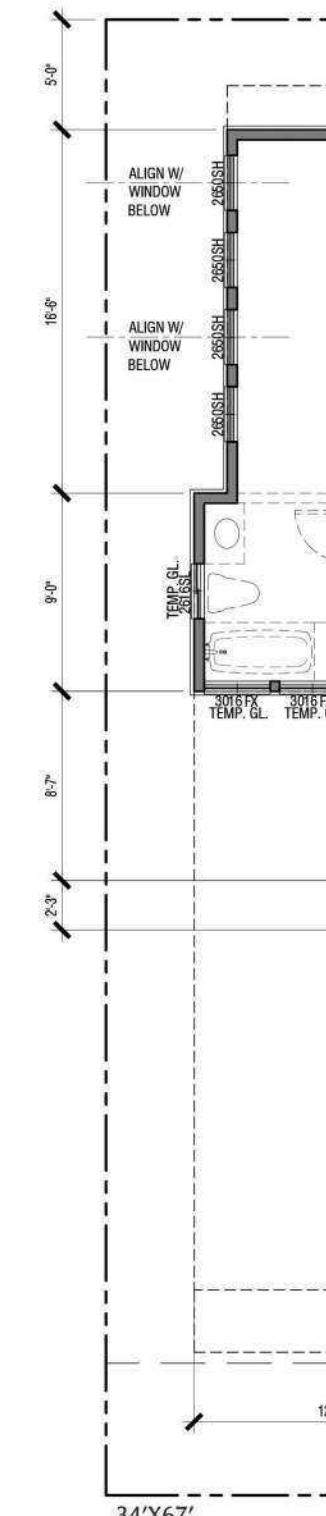
Rear



C - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 8	
1. ROOF:	CONCRETE SLATE TILE ROOF
2. FASCIA/GUTTER TYPICAL	
3. BODY:	STUCCO
4. BODY:	FIBER CEMENT HORIZONTAL SIDING
5. TRIM:	2X6 STUCCO FOAM TRIM
6. VENEER:	CONCRETE MASONRY BLOCK OR MANUFACTURED STONE - COASTAL REEF
7. WINDOWS:	VINYL WINDOWS WITH FACTORY PAINT FINISH
8. FRONT DOOR:	ACCENT COLOR, PAINT GRADE
9. AWNING:	METAL
10. GARAGE DOOR:	
11. ADDRESS PANEL	
12. LIGHT FIXTURE	

Left

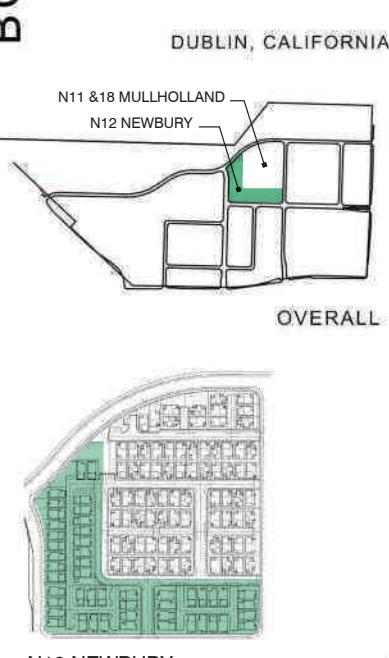
Plan 3 'C' - Enhanced Elevations - Corner Lot 1



Refer to sheet A4.12.29  
for First Floor Plan

### Partial Third Floor

Partial Second Floor



## **PLAN 3 'C'**

### **EXTERIOR ELEVATIONS**

0 2 4 8 12 FEET



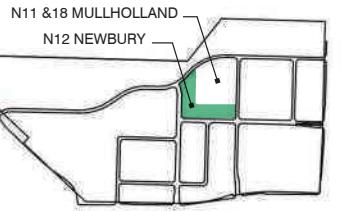
WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N12 NEWBURY

phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



OVERALL



N12 NEWBURY  
COLOR & MATERIALS  
SCHEMES 1-3

APRIL 11, 2017

A4.12.40

February 3, 2017

CALATLANTIC HOMES  
**NEWBURY @ BOULEVARD N-12**  
Dublin, California

Project #2016034

**EXTERIOR COLOR & MATERIALS**

**SCHEME 1 of 9** *Universal Schemes*

ROOFING	
METAL CANOPIES & ROOF	
MANUFACTURED STONE	
MANUFACTURED STONE @ PLANS 2A & 3A	
CONCRETE MASONRY UNIT	
STUCCO COLOR #1	
STUCCO COLOR #2	
SIDING COLOR (applied to): Fascia Trim Garage Door Siding	
ACCENT COLOR (applied to): Front Door	

William Hezmalhalch Architects, Inc. © 2017

2850 Redhill Avenue, Suite 200, Santa Ana, CA 92705-5543 | www.wharchitects.com | 5000 Executive Parkway Suite 375, San Ramon, CA 94583-4210  
Tel 949 250 0607 Fax 949 250 1529

February 3, 2017

CALATLANTIC HOMES  
**NEWBURY @ BOULEVARD N-12**  
Dublin, California

Project #2016034

**EXTERIOR COLOR & MATERIALS**

**SCHEME 2 of 9** *Universal Schemes*

ROOFING	
METAL CANOPIES & ROOF	
MANUFACTURED STONE	
MANUFACTURED STONE @ PLANS 2A & 3A	
CONCRETE MASONRY UNIT	
STUCCO COLOR #1	
STUCCO COLOR #2	
SIDING COLOR (applied to): Fascia Trim Garage Door Siding	
ACCENT COLOR (applied to): Front Door	

William Hezmalhalch Architects, Inc. © 2017

2850 Redhill Avenue, Suite 200, Santa Ana, CA 92705-5543 | www.wharchitects.com | 5000 Executive Parkway Suite 375, San Ramon, CA 94583-4210  
Tel 949 250 0607 Fax 949 250 1529

February 3, 2017

CALATLANTIC HOMES  
**NEWBURY @ BOULEVARD N-12**  
Dublin, California

Project #2016034

**EXTERIOR COLOR & MATERIALS**

**SCHEME 3 of 9** *Universal Schemes*

ROOFING	
METAL CANOPIES & ROOF	
MANUFACTURED STONE	
MANUFACTURED STONE @ PLANS 2A & 3A	
CONCRETE MASONRY UNIT	
STUCCO COLOR #1	
STUCCO COLOR #2	
SIDING COLOR (applied to): Fascia Trim Garage Door Siding	
ACCENT COLOR (applied to): Front Door	

William Hezmalhalch Architects, Inc. © 2017

2850 Redhill Avenue, Suite 200, Santa Ana, CA 92705-5543 | www.wharchitects.com | 5000 Executive Parkway Suite 375, San Ramon, CA 94583-4210  
Tel 949 250 0607 Fax 949 250 1529

November 11, 2016

CALATLANTIC HOMES  
**NEWBURY @ BOULEVARD N-12**  
Dublin, California

Project #2016034.00

**EXTERIOR COLOR & MATERIALS**

**SCHEME 1 of 9** *Universal Schemes*

MATERIAL	COLOR	MANUFACTURER
ROOFING: Concrete Slate Tile	4687 BROWN GRAY (CRRC Cool Roof Rated Product)	EAGLE
VINYL WINDOWS (Factory Finish)	WEST SAND	PLYGEM (or equal)
MANUFACTURED STONE (Dry Stacked Joints)	BANFF SPRINGS CLIFFSTONE	ELDORADO (or equal)
MANUFACTURED STONE @ PLANS 2A & 3A (Dry Stacked Joints)	SIERRACUT24 ZENITH GREY	ELDORADO (or equal)
STONE ACCENT @ PLANS 2A & 3A	GREY SKY (Snapped Edge Wainscot Sill)	ELDORADO (or equal)
CONCRETE MASONRY UNIT	390 - SHOT BLAST	BASALITE (or equal)
STUCCO COLOR #1 (16/20 Sand Finish)	SW 6098 PACER WHITE	SHERWIN WILLIAMS
STUCCO COLOR #2 (16/20 Sand Finish)	SW 7037 BALANCED BEIGE	SHERWIN WILLIAMS
SIDING COLOR (applied to): Siding Eaves Fascia Garage Door Secondary Doors Wood Columns Wood Trim	SW 7046 ANONYMOUS	SHERWIN WILLIAMS
ACCENT COLOR (applied to): Front Door	SW 7624 SLATE TILE	SHERWIN WILLIAMS
METAL CANOPIES & METAL ROOF	SW 7020 BLACK FOX	SHERWIN WILLIAMS
GARAGE DOOR WEATHER STRIP (Factory Finish)	MATCH GARAGE DOOR COLOR	T.B.D.

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Karen Moyer.  
William Hezmalhalch Architects, Inc. © 2017

**REVISIONS:**

REVISION NO.	DATE	DESCRIPTION
1	1/17/17	Additional Eldorado stone & accent specified for plans 2A and 3A only per city comment.

2850 Redhill Avenue, Suite 200, Santa Ana, CA 92705-5543 | www.wharchitects.com | 5000 Executive Parkway Suite 375, San Ramon, CA 94583-4210  
Tel 949 250 0607 Fax 949 250 1529

November 11, 2016

CALATLANTIC HOMES  
**NEWBURY @ BOULEVARD N-12**  
Dublin, California

Project #2016034.00

**EXTERIOR COLOR & MATERIALS**

**SCHEME 2 of 9** *Universal Schemes*

MATERIAL	COLOR	MANUFACTURER
ROOFING: Concrete Slate Tile	4530 WEATHERED ADOBE (CRRC Cool Roof Rated Product)	EAGLE
VINYL WINDOWS (Factory Finish)	WEST CLAY	PLYGEM (or equal)
MANUFACTURED STONE (Dry Stacked Joints)	MESQUITE CLIFFSTONE	ELDORADO (or equal)
MANUFACTURED STONE @ PLANS 2A & 3A (Dry Stacked Joints)	SIERRACUT24 HIDDEN CREEK	ELDORADO (or equal)
STONE ACCENT @ PLANS 2A & 3A	COASTAL SAND (Snapped Edge Wainscot Sill)	ELDORADO (or equal)
CONCRETE MASONRY UNIT	345 - SHOT BLAST	BASALITE (or equal)
STUCCO COLOR #1 (16/20 Sand Finish)	SW 7050 USEFUL GRAY	SHERWIN WILLIAMS
STUCCO COLOR #2 (16/20 Sand Finish)	SW 6108 LATTE	SHERWIN WILLIAMS
SIDING COLOR (applied to): Siding Eaves Fascia Garage Door Secondary Doors Wood Columns Wood Trim	SW 6118 LEATHER BOUND	SHERWIN WILLIAMS
ACCENT COLOR (applied to): Front Door	SW 2846 ROYCROFT BRONZE GREEN	SHERWIN WILLIAMS
METAL CANOPIES & METAL ROOF	SW 7020 BLACK FOX	SHERWIN WILLIAMS
GARAGE DOOR WEATHER STRIP (Factory Finish)	MATCH GARAGE DOOR COLOR	T.B.D.

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Karen Moyer.  
William Hezmalhalch Architects, Inc. © 2017

**REVISIONS:**

REVISION NO.	DATE	DESCRIPTION
1	1/17/17	Additional Eldorado stone & accent specified for plans 2A and 3A only per city comment.

2850 Redhill Avenue, Suite 200, Santa Ana, CA 92705-5543 | www.wharchitects.com | 5000 Executive Parkway Suite 375, San Ramon, CA 94583-4210  
Tel 949 250 0607 Fax 949 250 1529

November 11, 2016

CALATLANTIC HOMES  
**NEWBURY @ BOULEVARD N-12**  
Dublin, California

Project #2016034.00

**EXTERIOR COLOR & MATERIALS**

**SCHEME 3 of 9** *Universal Schemes*

MATERIAL	COLOR	MANUFACTURER
ROOFING: Concrete Slate Tile	SCB 8825 CORONA DEL MAR (CRRC Cool Roof Rated Product)	EAGLE
VINYL WINDOWS (Factory Finish)	WEST SAND	PLYGEM (or equal)
MANUFACTURED STONE (Dry Stacked Joints)	SEASHELL CUT COURSE	ELDORADO (or equal)
MANUFACTURED STONE @ PLANS 2A & 3A (Dry Stacked Joints)	SIERRACUT24 HIDDEN CREEK	ELDORADO (or equal)
STONE ACCENT @ PLANS 2A & 3A	COASTAL SAND (Snapped Edge Wainscot Sill)	ELDORADO (or equal)
CONCRETE MASONRY UNIT	345 - SHOT BLAST	BASALITE (or equal)
STUCCO COLOR #1 (16/20 Sand Finish)	SW 7526 MAISON BLANCHE	SHERWIN WILLIAMS
STUCCO COLOR #2 (16/20 Sand Finish)	SW 7744 ZEUS	SHERWIN WILLIAMS
SIDING COLOR (applied to): Siding Eaves Fascia Garage Door Secondary Doors Wood Columns Wood Trim	SW 6173 COCOON	SHERWIN WILLIAMS
ACCENT COLOR (applied to): Front Door	SW 6069 FRENCH ROAST	SHERWIN WILLIAMS
METAL CANOPIES & METAL ROOF	SW 7020 BLACK FOX	SHERWIN WILLIAMS
GARAGE DOOR WEATHER STRIP (Factory Finish)	MATCH GARAGE DOOR COLOR	T.B.D.

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Karen Moyer.  
William Hezmalhalch Architects, Inc. © 2017

**REVISIONS:**

REVISION NO.	DATE	DESCRIPTION
1	1/17/17	Additional Eldorado stone & accent specified for plans 2A and 3A only per city comment.

2850 Redhill Avenue, Suite 200, Santa Ana, CA 92705-5543 | www.wharchitects.com | 5000 Executive Parkway Suite 375, San Ramon, CA 94583-4210  
Tel 949 250 0607 Fax 949 250 1529



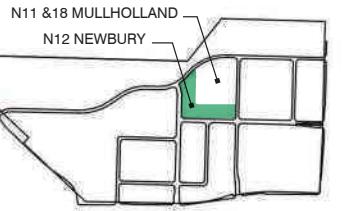
WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N12 NEWBURY

phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



OVERALL



N12 NEWBURY  
COLOR & MATERIALS  
SCHEMES 4 - 6

APRIL 11, 2017

A4.12.41

February 3, 2017

CALATLANTIC HOMES  
**NEWBURY @ BOULEVARD N-12**  
Dublin, California

Project #2016034

**EXTERIOR COLOR & MATERIALS**

**SCHEME 4 of 9** *Universal Schemes*

ROOFING	
METAL CANOPIES & ROOF	
MANUFACTURED STONE	
MANUFACTURED STONE @ PLANS 2A & 3A	
CONCRETE MASONRY UNIT	
STUCCO COLOR #1	
STUCCO COLOR #2	
SIDING COLOR (applied to): Fascia Trim Garage Door Siding	
ACCENT COLOR (applied to): Front Door	

William Hezmalhalch Architects, Inc. © 2017

2850 Redhill Avenue Suite 200 Santa Ana CA 92705-5543 www.wharchitects.com 5000 Executive Parkway Suite 375 San Ramon CA 94583-4210 Tel 925 463 1700 Fax 949 250 1529

February 3, 2017

CALATLANTIC HOMES  
**NEWBURY @ BOULEVARD N-12**  
Dublin, California

Project #2016034

**EXTERIOR COLOR & MATERIALS**

**SCHEME 5 of 9** *Universal Schemes*

ROOFING	
METAL CANOPIES & ROOF	
MANUFACTURED STONE	
MANUFACTURED STONE @ PLANS 2A & 3A	
CONCRETE MASONRY UNIT	
STUCCO COLOR #1	
STUCCO COLOR #2	
SIDING COLOR (applied to): Fascia Trim Garage Door Siding	
ACCENT COLOR (applied to): Front Door	

William Hezmalhalch Architects, Inc. © 2017

2850 Redhill Avenue Suite 200 Santa Ana CA 92705-5543 www.wharchitects.com 5000 Executive Parkway Suite 375 San Ramon CA 94583-4210 Tel 925 463 1700 Fax 949 250 1529

February 3, 2017

CALATLANTIC HOMES  
**NEWBURY @ BOULEVARD N-12**  
Dublin, California

Project #2016034

**EXTERIOR COLOR & MATERIALS**

**SCHEME 6 of 9** *Universal Schemes*

ROOFING	
METAL CANOPIES & ROOF	
MANUFACTURED STONE	
MANUFACTURED STONE @ PLANS 2A & 3A	
CONCRETE MASONRY UNIT	
STUCCO COLOR #1	
STUCCO COLOR #2	
SIDING COLOR (applied to): Fascia Trim Garage Door Siding	
ACCENT COLOR (applied to): Front Door	

William Hezmalhalch Architects, Inc. © 2017

2850 Redhill Avenue Suite 200 Santa Ana CA 92705-5543 www.wharchitects.com 5000 Executive Parkway Suite 375 San Ramon CA 94583-4210 Tel 925 463 1700 Fax 949 250 1529

November 11, 2016

CALATLANTIC HOMES  
**NEWBURY @ BOULEVARD N-12**  
Dublin, California

Project #2016034.00

**EXTERIOR COLOR & MATERIALS**

**SCHEME 4 of 9** *Universal Schemes*

MATERIAL	COLOR	MANUFACTURER
ROOFING: Concrete Slate Tile	4697 SLATE RANGE (CRRC Cool Roof Rated Product)	EAGLE
VINYL WINDOWS (Factory Finish)	WEST CLAY	PLYGEM (or equal)
MANUFACTURED STONE (Dry Stacked Joints)	BANFF SPRINGS CLIFFSTONE	ELDORADO (or equal)
MANUFACTURED STONE @ PLANS 2A & 3A (Dry Stacked Joints)	SIERRACUT24 ZENITH GREY	ELDORADO (or equal)
STONE ACCENT @ PLANS 2A & 3A	GREY SKY (Snapped Edge Wainscot Sill)	ELDORADO (or equal)
CONCRETE MASONRY UNIT	397 - GROUND FACE	BASALITE (or equal)
STUCCO COLOR #1 (16/20 Sand Finish)	SW 7101 FUTON	SHERWIN WILLIAMS
STUCCO COLOR #2 (16/20 Sand Finish)	SW 7541 GRECIAN IVORY	SHERWIN WILLIAMS
SIDING COLOR (applied to): Siding Eaves Fascia Garage Door Secondary Doors Wood Columns Wood Trim	SW 7638 JOGGING PATH	SHERWIN WILLIAMS
ACCENT COLOR (applied to): Front Door	SW 6237 DARK NIGHT	SHERWIN WILLIAMS
METAL CANOPIES & METAL ROOF	SW 7019 GAUNTLET GRAY	SHERWIN WILLIAMS
GARAGE DOOR WEATHER STRIP (Factory Finish)	MATCH GARAGE DOOR COLOR	T.B.D.

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Karen Moyler.

William Hezmalhalch Architects, Inc. © 2017

REVISIONS:  
REVISION NO. DATE DESCRIPTION  
1 1/17/17 Additional Eldorado stone & accent specified for plans 2A and 3A only per city comment.

2850 Redhill Avenue Suite 200 Santa Ana CA 92705-5543 www.wharchitects.com 5000 Executive Parkway Suite 375 San Ramon CA 94583-4210 Tel 925 463 1700 Fax 949 250 1529

November 11, 2016

CALATLANTIC HOMES  
**NEWBURY @ BOULEVARD N-12**  
Dublin, California

Project #2016034.00

**EXTERIOR COLOR & MATERIALS**

**SCHEME 5 of 9** *Universal Schemes*

MATERIAL	COLOR	MANUFACTURER
ROOFING: Concrete Slate Tile	4689 BROWN RANGE (CRRC Cool Roof Rated Product)	EAGLE
VINYL WINDOWS (Factory Finish)	WEST CLAY	PLYGEM (or equal)
MANUFACTURED STONE (Dry Stacked Joints)	SAGE LEDGE CUT 33	ELDORADO (or equal)
MANUFACTURED STONE @ PLANS 2A & 3A (Dry Stacked Joints)	SIERRACUT24 ZENITH GREY	ELDORADO (or equal)
STONE ACCENT @ PLANS 2A & 3A	GREY SKY (Snapped Edge Wainscot Sill)	ELDORADO (or equal)
CONCRETE MASONRY UNIT	136 - GROUND FACE	BASALITE (or equal)
STUCCO COLOR #1 (16/20 Sand Finish)	SW 7016 MINDFUL GRAY	SHERWIN WILLIAMS
STUCCO COLOR #2 (16/20 Sand Finish)	SW 7045 INTELLECTUAL GRAY	SHERWIN WILLIAMS
SIDING COLOR (applied to): Siding Eaves Fascia Garage Door Secondary Doors Wood Columns Wood Trim	SW 9090 CARAIBE	SHERWIN WILLIAMS
ACCENT COLOR (applied to): Front Door	SW 9154 PERLE NOIR	SHERWIN WILLIAMS
METAL CANOPIES & METAL ROOF	SW 7020 BLACK FOX	SHERWIN WILLIAMS
GARAGE DOOR WEATHER STRIP (Factory Finish)	MATCH GARAGE DOOR COLOR	T.B.D.

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Karen Moyler.

William Hezmalhalch Architects, Inc. © 2017

REVISIONS:  
REVISION NO. DATE DESCRIPTION  
1 1/17/17 Additional Eldorado stone & accent specified for plans 2A and 3A only per city comment.

2850 Redhill Avenue Suite 200 Santa Ana CA 92705-5543 www.wharchitects.com 5000 Executive Parkway Suite 375 San Ramon CA 94583-4210 Tel 925 463 1700 Fax 949 250 1529

November 11, 2016

CALATLANTIC HOMES  
**NEWBURY @ BOULEVARD N-12**  
Dublin, California

Project #2016034.00

**EXTERIOR COLOR & MATERIALS**

**SCHEME 6 of 9** *Universal Schemes*

MATERIAL	COLOR	MANUFACTURER
ROOFING: Concrete Slate Tile	4511 FLINTRIDGE (CRRC Cool Roof Rated Product)	EAGLE
VINYL WINDOWS (Factory Finish)	WEST CLAY	PLYGEM (or equal)
MANUFACTURED STONE (Dry Stacked Joints)	SAGE LEDGE CUT 33	ELDORADO (or equal)
MANUFACTURED STONE @ PLANS 2A & 3A (Dry Stacked Joints)	SIERRACUT24 ZENITH GREY	ELDORADO (or equal)
STONE ACCENT @ PLANS 2A & 3A	GREY SKY (Snapped Edge Wainscot Sill)	ELDORADO (or equal)
CONCRETE MASONRY UNIT	320 - SHOT BLAST	BASALITE (or equal)
STUCCO COLOR #1 (16/20 Sand Finish)	SW 6170 TECHNO GRAY	SHERWIN WILLIAMS
STUCCO COLOR #2 (16/20 Sand Finish)	SW 2821 DOWNING STONE	SHERWIN WILLIAMS
SIDING COLOR (applied to): Siding Eaves Fascia Garage Door Secondary Doors Wood Columns Wood Trim	SW 7060 ATTITUDE GRAY	SHERWIN WILLIAMS
ACCENT COLOR (applied to): Front Door	SW 6222 RIVERWAY	SHERWIN WILLIAMS
METAL CANOPIES & METAL ROOF	SW 7019 GAUNTLET GRAY	SHERWIN WILLIAMS
GARAGE DOOR WEATHER STRIP (Factory Finish)	MATCH GARAGE DOOR COLOR	T.B.D.

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Karen Moyler.

William Hezmalhalch Architects, Inc. © 2017

REVISIONS:  
REVISION NO. DATE DESCRIPTION  
1 1/17/17 Additional Eldorado stone & accent specified for plans 2A and 3A only per city comment.

2850 Redhill Avenue Suite 200 Santa Ana CA 92705-5543 www.wharchitects.com 5000 Executive Parkway Suite 375 San Ramon CA 94583-4210 Tel 925 463 1700 Fax 949 250 1529



WILLIAM HEZMALHALCH  
ARCHITECTS INC.

N12 NEWBURY

phases 2-3

BOULEVARD

DUBLIN, CALIFORNIA



COLOR & MATERIALS  
SCHEMES 7 - 9

APRIL 11, 2017

A4.12.42

February 3, 2017

CALATLANTIC HOMES  
**NEWBURY @ BOULEVARD N-12**  
Dublin, California

Project #2016034

**EXTERIOR COLOR & MATERIALS**

**SCHEME 7 of 9** Universal Schemes

ROOFING	
METAL CANOPIES & ROOF	
MANUFACTURED STONE	
MANUFACTURED STONE @ PLANS 2A & 3A	
CONCRETE MASONRY UNIT	
STUCCO COLOR #1	
STUCCO COLOR #2	
SIDING COLOR (applied to): Fascia Trim Garage Door Siding	
ACCENT COLOR (applied to): Front Door	

William Hezmalhalch Architects, Inc. © 2017

2850 Redhill Avenue, Suite 200, Santa Ana, CA 92705-5543 Tel 949 250 0607 Fax 949 250 1529 www.wharchitects.com

5000 Executive Parkway Suite 375, San Ramon, CA 94583-4210 Tel 925 463 1700 Fax 949 250 1529 www.wharchitects.com

February 3, 2017

CALATLANTIC HOMES  
**NEWBURY @ BOULEVARD N-12**  
Dublin, California

Project #2016034

**EXTERIOR COLOR & MATERIALS**

**SCHEME 8 of 9** Universal Schemes

ROOFING	
METAL CANOPIES & ROOF	
MANUFACTURED STONE	
MANUFACTURED STONE @ PLANS 2A & 3A	
CONCRETE MASONRY UNIT	
STUCCO COLOR #1	
STUCCO COLOR #2	
SIDING COLOR (applied to): Fascia Trim Garage Door Siding	
ACCENT COLOR (applied to): Front Door	

William Hezmalhalch Architects, Inc. © 2017

2850 Redhill Avenue, Suite 200, Santa Ana, CA 92705-5543 Tel 949 250 0607 Fax 949 250 1529 www.wharchitects.com

5000 Executive Parkway Suite 375, San Ramon, CA 94583-4210 Tel 925 463 1700 Fax 949 250 1529 www.wharchitects.com

February 3, 2017

CALATLANTIC HOMES  
**NEWBURY @ BOULEVARD N-12**  
Dublin, California

Project #2016034

**EXTERIOR COLOR & MATERIALS**

**SCHEME 9 of 9** Universal Schemes

ROOFING	
METAL CANOPIES & ROOF	
MANUFACTURED STONE	
MANUFACTURED STONE @ PLANS 2A & 3A	
CONCRETE MASONRY UNIT	
STUCCO COLOR #1	
STUCCO COLOR #2	
SIDING COLOR (applied to): Fascia Trim Garage Door Siding	
ACCENT COLOR (applied to): Front Door	

William Hezmalhalch Architects, Inc. © 2017

2850 Redhill Avenue, Suite 200, Santa Ana, CA 92705-5543 Tel 949 250 0607 Fax 949 250 1529 www.wharchitects.com

5000 Executive Parkway Suite 375, San Ramon, CA 94583-4210 Tel 925 463 1700 Fax 949 250 1529 www.wharchitects.com

November 11, 2016

CALATLANTIC HOMES  
**NEWBURY @ BOULEVARD N-12**  
Dublin, California

Project #2016034.00

**EXTERIOR COLOR & MATERIALS**

**SCHEME 7 of 9** Universal Schemes

MATERIAL	COLOR	MANUFACTURER
ROOFING:	4690 PEWTER BRONZE (CRRC Cool Roof Rated Product)	EAGLE
VINYL WINDOWS (Factory Finish)	WEST CLAY	PLYGEM (or equal)
MANUFACTURED STONE (Dry Stacked Joints)	SANIBEL COASTAL REEF	ELDORADO (or equal)
MANUFACTURED STONE @ PLANS 2A & 3A (Dry Stacked Joints)	SIERRACUT24 HIDDEN CREEK	ELDORADO (or equal)
STONE ACCENT @ PLANS 2A & 3A	COASTAL SAND (Snapped Edge Wainscot Sill)	ELDORADO (or equal)
CONCRETE MASONRY UNIT	225 - SHOT BLAST	BASALITE (or equal)
STUCCO COLOR #1 (16/20 Sand Finish)	SW 7637 OYSTER WHITE	SHERWIN WILLIAMS
STUCCO COLOR #2 (16/20 Sand Finish)	SW 7547 SANDBAR	SHERWIN WILLIAMS
SIDING COLOR (applied to): Siding Eaves Fascia Garage Door Secondary Doors Wood Columns Wood Trim	SW 0024 CURIO GRAY	SHERWIN WILLIAMS
ACCENT COLOR (applied to): Front Door	SW 7703 EARTHEN JUG	SHERWIN WILLIAMS
METAL CANOPIES & METAL ROOF	SW 7019 GAUNTLET GRAY	SHERWIN WILLIAMS
GARAGE DOOR WEATHER STRIP (Factory Finish)	MATCH GARAGE DOOR COLOR	T.B.D.

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Karen Moyer.

William Hezmalhalch Architects, Inc. © 2017

REVISIONS:  
REVISION NO. DATE DESCRIPTION  
1 1/17/17 Additional Eldorado stone & accent specified for plans 2A and 3A only per city comment.

2850 Redhill Avenue, Suite 200, Santa Ana, CA 92705-5543 Tel 949 250 0607 Fax 949 250 1529 www.wharchitects.com

5000 Executive Parkway Suite 375, San Ramon, CA 94583-4210 Tel 925 463 1700 Fax 949 250 1529 www.wharchitects.com

November 11, 2016

CALATLANTIC HOMES  
**NEWBURY @ BOULEVARD N-12**  
Dublin, California

Project #2016034.00

**EXTERIOR COLOR & MATERIALS**

**SCHEME 8 of 9** Universal Schemes

MATERIAL	COLOR	MANUFACTURER
ROOFING:	4689 BROWN RANGE (CRRC Cool Roof Rated Product)	EAGLE
VINYL WINDOWS (Factory Finish)	WEST CLAY	PLYGEM (or equal)
MANUFACTURED STONE (Dry Stacked Joints)	SANIBEL COASTAL REEF	ELDORADO (or equal)
MANUFACTURED STONE @ PLANS 2A & 3A (Dry Stacked Joints)	SIERRACUT24 ZENITH GREY	ELDORADO (or equal)
STONE ACCENT @ PLANS 2A & 3A	GREY SKY (Snapped Edge Wainscot Sill)	ELDORADO (or equal)
CONCRETE MASONRY UNIT	375 - SHOT BLAST	BASALITE (or equal)
STUCCO COLOR #1 (16/20 Sand Finish)	SW 6149 RELAXED KHAKI	SHERWIN WILLIAMS
STUCCO COLOR #2 (16/20 Sand Finish)	SW 2827 COLONIAL REVIVAL STONE	SHERWIN WILLIAMS
SIDING COLOR (applied to): Siding Eaves Fascia Garage Door Secondary Doors Wood Columns Wood Trim	SW 0038 LIBRARY PEWTER	SHERWIN WILLIAMS
ACCENT COLOR (applied to): Front Door	SW 2846 ROYCROFT BRONZE GREEN	SHERWIN WILLIAMS
METAL CANOPIES & METAL ROOF	SW 7020 BLACK FOX	SHERWIN WILLIAMS
GARAGE DOOR WEATHER STRIP (Factory Finish)	MATCH GARAGE DOOR COLOR	T.B.D.

REVISIONS:  
REVISION NO. DATE DESCRIPTION  
1 1/17/17 Additional Eldorado stone & accent specified for plans 2A and 3A only per city comment.

2850 Redhill Avenue, Suite 200, Santa Ana, CA 92705-5543 Tel 949 250 0607 Fax 949 250 1529 www.wharchitects.com

5000 Executive Parkway Suite 375, San Ramon, CA 94583-4210 Tel 925 463 1700 Fax 949 250 1529 www.wharchitects.com

November 11, 2016

CALATLANTIC HOMES  
**NEWBURY @ BOULEVARD N-12**  
Dublin, California

Project #2016034.00

**EXTERIOR COLOR & MATERIALS**

**SCHEME 9 of 9** Universal Schemes

MATERIAL	COLOR	MANUFACTURER
ROOFING:	4687 BROWN GRAY (CRRC Cool Roof Rated Product)	EAGLE
VINYL WINDOWS (Factory Finish)	WEST CLAY	PLYGEM (or equal)
MANUFACTURED STONE (Dry Stacked Joints)	BIRCH LEDGE CUT 33	ELDORADO (or equal)
MANUFACTURED STONE @ PLANS 2A & 3A (Dry Stacked Joints)	SIERRACUT24 ZENITH GREY	ELDORADO (or equal)
STONE ACCENT @ PLANS 2A & 3A	GREY SKY (Snapped Edge Wainscot Sill)	ELDORADO (or equal)
CONCRETE MASONRY UNIT	397 - GROUND FACE	BASALITE (or equal)
STUCCO COLOR #1 (16/20 Sand Finish)	SW 9165 GOSSAMER VEIL	SHERWIN WILLIAMS
STUCCO COLOR #2 (16/20 Sand Finish)	SW 7051 ANALYTICAL GRAY	SHERWIN WILLIAMS
SIDING COLOR (applied to): Siding Eaves Fascia Garage Door Secondary Doors Wood Columns Wood Trim	SW 6199 RARE GRAY	SHERWIN WILLIAMS
ACCENT COLOR (applied to): Front Door	SW 7645 THUNDER GRAY	SHERWIN WILLIAMS
METAL CANOPIES & METAL ROOF	SW 7048 URBANE BRONZE	SHERWIN WILLIAMS
GARAGE DOOR WEATHER STRIP (Factory Finish)	MATCH GARAGE DOOR COLOR	T.B.D.

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Karen Moyer.

William Hezmalhalch Architects, Inc. © 2017

REVISIONS:  
REVISION NO. DATE DESCRIPTION  
1 1/17/17 Additional Eldorado stone & accent specified for plans 2A and 3A only per city comment.

2850 Redhill Avenue, Suite 200, Santa Ana, CA 92705-5543 Tel 949 250 0607 Fax 949 250 1529 www.wharchitects.com

5000 Executive Parkway Suite 375, San Ramon, CA 94583-4210 Tel 925 463 1700 Fax 949 250 1529 www.wharchitects.com