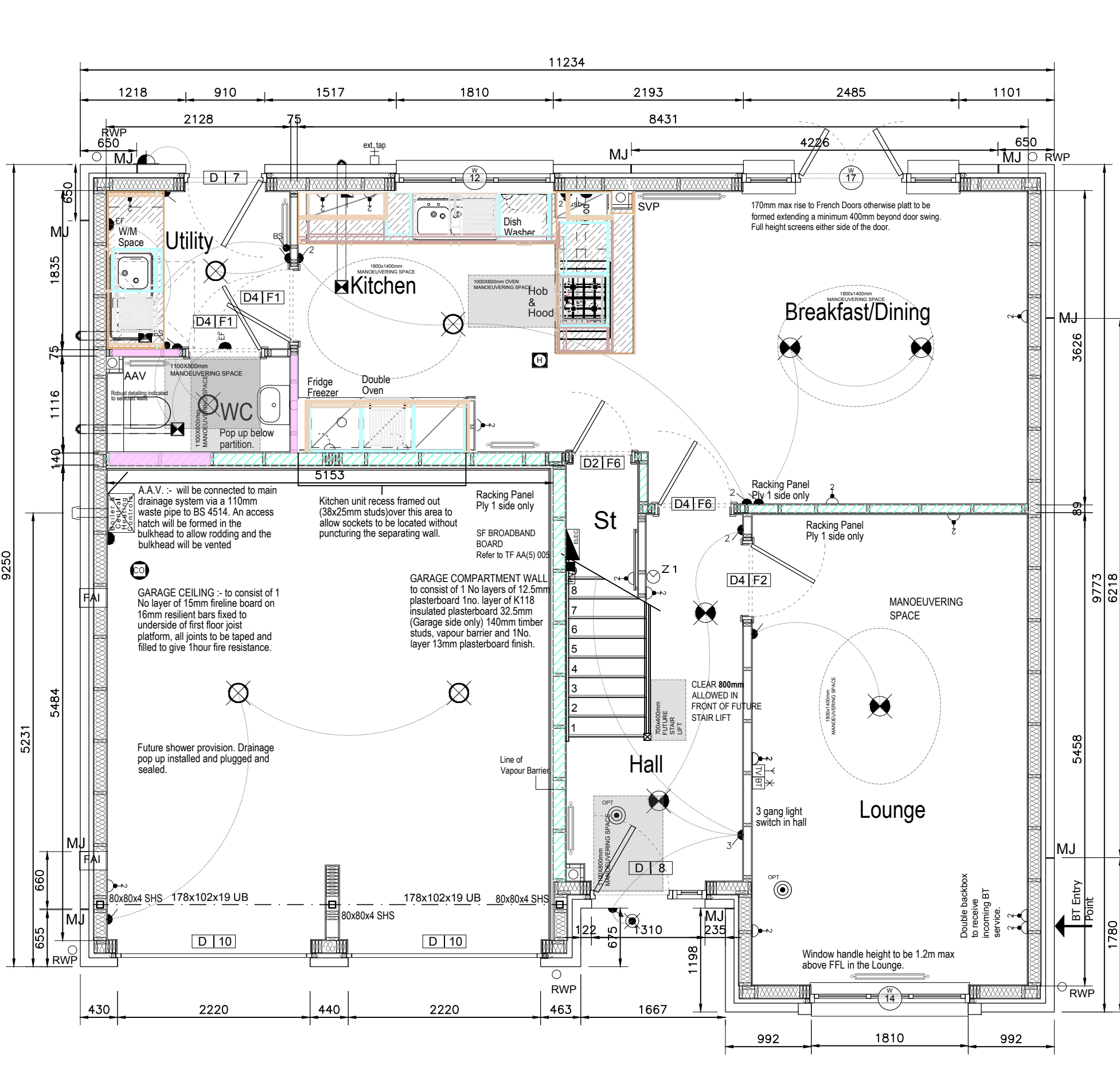
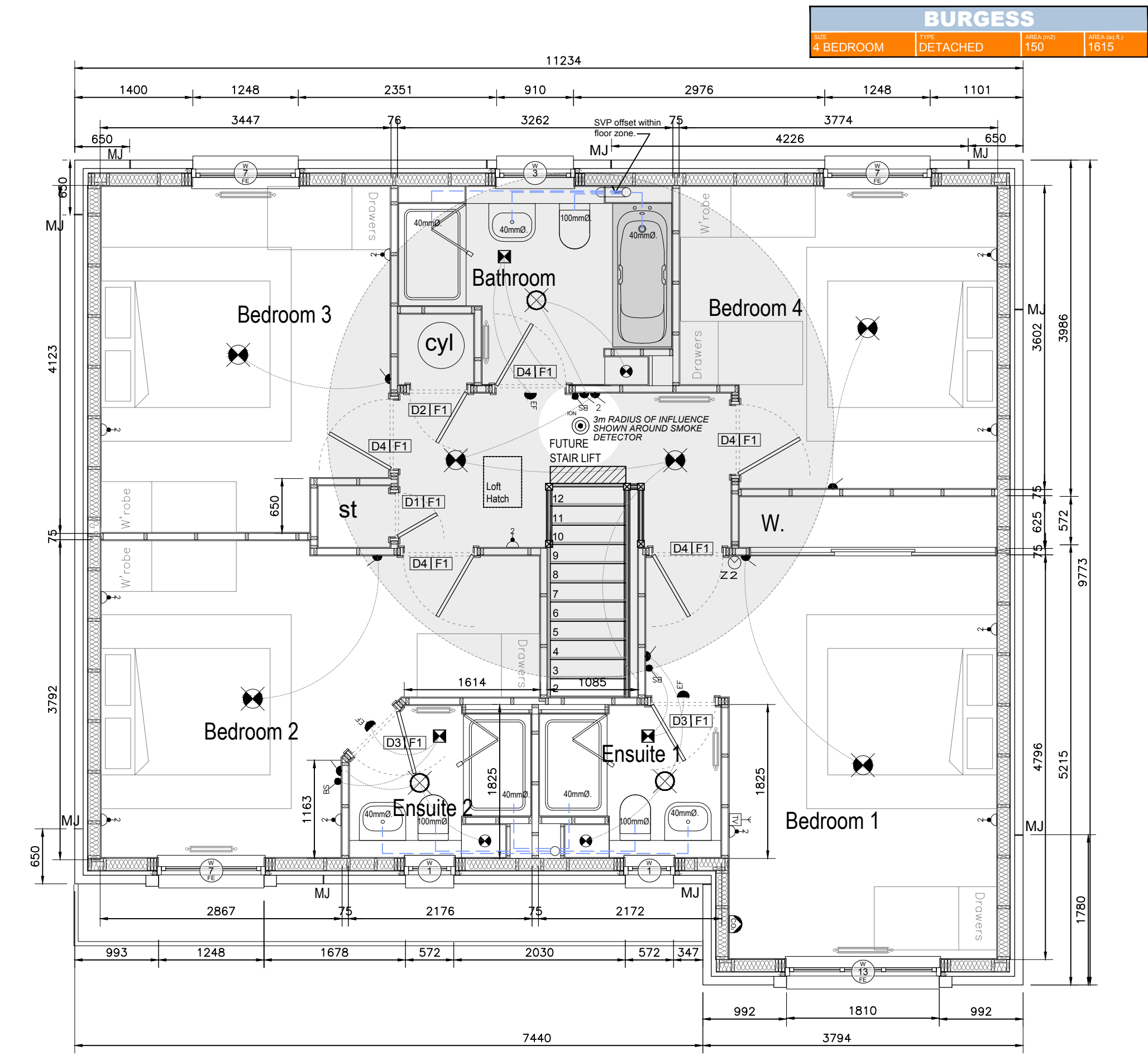


Underbuilding Layout 1:50



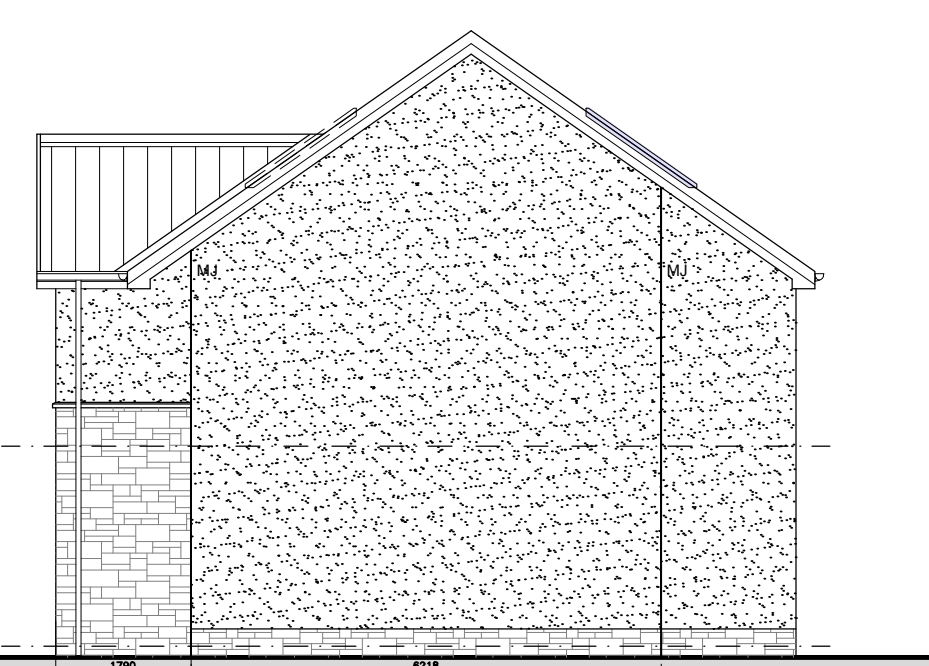
Ground Floor Layout 1:50



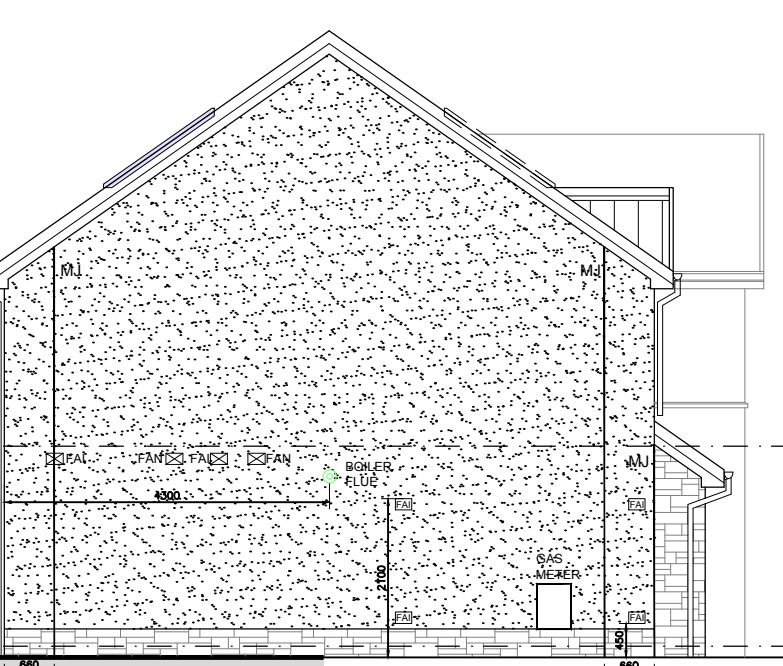
First Floor Layout 1:50



Rear Elevation 1:100



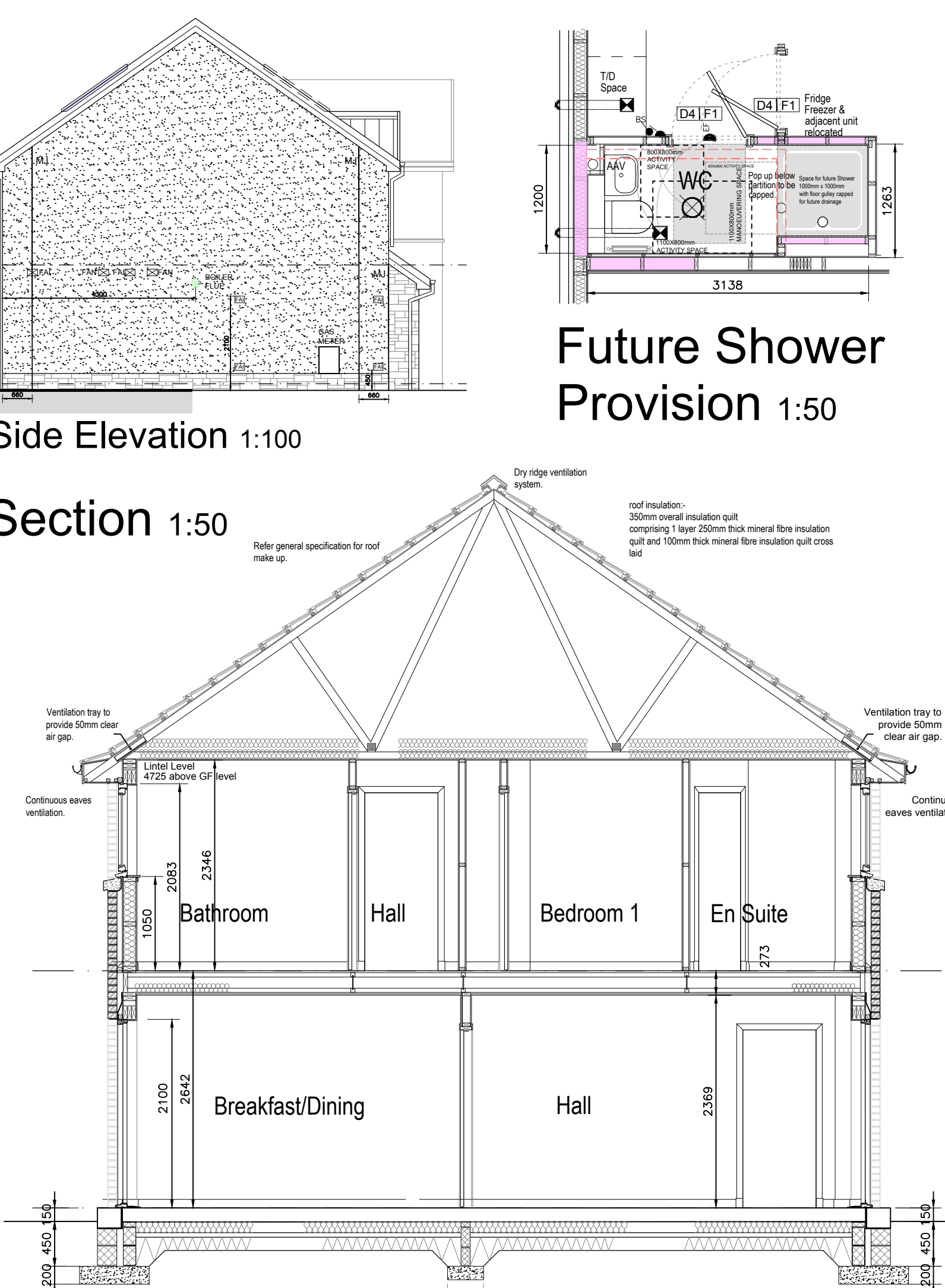
Side Elevation 1:100



Side Elevation 1:100



Front Elevation 1:50



Section 1:50

Future Shower Provision 1:50

ELECTRICAL LEGEND	
LOW ENERGY CEILING MOUNTED PENDANT LIGHT	LOW ENERGY CEILING SHROUDED LIGHT FITTING
WALL MOUNTED BULKHEAD	EMERGENCY BULKHEAD
ENTRANCE LIGHTING	PIR SENSOR PHOTO CELL
32 AMP COOKER SWITCH	16 AMP FUSED SPUR
HIGH LEVEL SPUR FOR COOKER HOOD	HIGH LEVEL SPUR FOR IMEV EXTRACT FAN
16 AMP LOW LEVEL SINGLE GANG SOCKET	16 AMP LOW LEVEL DOUBLE GANG SOCKET
16 AMP FUSED SPUR WITH REMOTE SWITCH	16 AMP HIGH LEVEL DOUBLE GANG SOCKET
SHOWER POINT	T.V. POINT
B.T. POINT	INCOMING B.T. DOUBLE BACK BOX
REMOTE MULTI-POINT SWITCH	P.V. INVERTER PANEL
WALL MOUNTED LIGHT SWITCH	WALL MOUNTED 2 WAY LIGHT SWITCH
ELECTRIC METER & CONSUMER UNIT	GAS METER
IMEV CONTINUOUS EXTRACT FAN DUCTED EXTERNALLY	COOKER HOOD FAN RECIRCULATION TYPE ONLY
BOOSTER SWITCH FOR IMEV EXTRACT FAN	CENTRAL HEATING THERMO CONTROLS
IONISATION SMOKE DETECTOR	OPTICAL SMOKE DETECTOR
MULTI-SENSOR ALARM	HEAT DETECTOR
CARBON MONOXIDE DETECTOR	CARBON DIOXIDE DETECTOR (FIXED AT HEIGHT OF 1.5M)

STANDARD 2.11.1 FIRE DETECTION AND FIRE ALARM SYSTEMS	
TYPE	RECOMMENDED LOCATION
OPTICAL SMOKE ALARM TO BS EN 14604: 2005	PRINCIPAL HABITABLE ROOM - LOUNGE OR OPEN PLAN AREA - HALLWAYS AND STAIRWELLS ADJACENT TO KITCHENS
IONISATION SMOKE ALARM TO BS EN 14604: 2005	HALLWAYS AND STAIRWELLS ADJACENT TO BATHROOMS OR SHOWER ROOMS
MULTI SENSOR ALARM TO BS 5839: Part 2: 2004	UPPER AND LOWER HALLWAYS WITHIN 3 METRES OF BEDROOM DOORS
HEAT ALARM TO BS 5446: Part 2: 2003	KITCHEN
STANDARD 3.14.2 VENTILATION AWARENESS IN DWELLINGS	
TYPE	RECOMMENDED LOCATION
CO2 MONITORING EQUIPMENT TO BS EN 50201-1: 2010	PRINCIPAL BEDROOM
STANDARD 3.20.20 CARBON MONOXIDE DETECTION	
TYPE	RECOMMENDED LOCATION
CO DETECTION SYSTEM TO BS EN 50201-1: 2010	EVERY SPACE CONTAINING A FIXED COMBUSTION APPLIANCE - BOILER INCLUDING EXTENDED FLUES

GENERAL NOTES	
All works to be in accordance with current Building [Scotland] Regulations.	
1. No dimensions are to be taken from this or any associated drawing.	
2. The dwelling has been designed and will be built following the guidance in the Accredited Construction Details (Scotland).	
3. No H.A.C. to be used in the works.	
4. All works are to be carried out in a tradesman like manner and in accordance with all current British Standards and Code of Practice.	
5. Carport/porch to be treated with pressure impregnated preservative 'Supalamin 375' in accordance with BS EN 594:2011.	
6. All structural timber shall be in accordance with BS 1995-1:2004 + A2:2014.	
7. Materials and workmanship not otherwise specified shall be in accordance with the current British Standards, Code of Practice and NHBC guidelines including all amendments to date.	
8. The heating system should be designed to be capable of maintaining temperature of 21° C in at least 1 apartment and 18° C elsewhere, when the outside temperature is minus 1° C.	
9. A minimum of 1800mm Resilient Bars to be provided over activity spaces and Showers.	
10. Access and facilities to dwellings - To comply with current Building [Scotland] Regulations and Scottish Building Standards Part 4.2. All new access doors within accessible storey will have a minimum clear opening width of not less than 800mm as detailed in Part 4.2.2 within the Accessible entrance to have low threshold in accordance with Part 4.1.8.4.1.9.	
11. Collision with projections - All parts of the building and access paths to comply with current Building [Scotland] Regulations & Part 4.8.1 of the Scottish Building Standards.	
12. Collision with Glazing - All glazing to comply with current Building [Scotland] Regulations and to comply with BS 6262: Part 4: 2005.	
13. All Electrical installations are to be carried out in accordance with the current I.E.E. (17th Edition) Regulations, including all necessary earthing, bonding and earthing. All electrical works to be carried out in accordance with BS 7671 (2008) as amended.	
14. 100 percent of lighting points to be fitted with low energy bulbs.	
15. Automatic (PIR) illumination to be provided to all accessible entrances. Max. 100 watts per fitting in accordance with BS 5499:2013.	
16. All Drains to be carried out and tested to the entire satisfaction of the local authority, Building Control Department and in compliance with the current Building [Scotland] Regulations & to comply with part 3.6 & 3.7 of the Scottish Building Standards.	
17. Rainwater gutters and down pipes to BS EN 12056-3:2000.	
18. Surface water drainage system to be tested to BS EN 1610: 1998.	
19. Sanitary pipe work to comply with BS EN 12056-2: 2000.	
20. Drainage system to comply with BS EN 12056-1: 2000.	
21. BS EN 752-3: 1997 (amendment 2) BS EN 752-4: 1998 and BS EN 1610:1998 and ventilated in accordance with BS EN 12056-2: 2000.	
22. Waste water drainage system under and around the building to be tested in accordance with BS EN 1610: 1998.	
23. Sanitary pipework tested in accordance with BS EN 12056-2: 2000.	
24. Air resistance valves to be installed in accordance with BS EN 12056-2: 2000 (Where required an air inlet pipe to be provided at stack heights).	
25. Dual flush WCs will have an average flush volume of not more than 4.5 litres.	
26. Plumbing - Single flush WCs will have a flush volume of not more than 4.5 litres. Taps serving wash or hand rise basins will have a flow rate of not more than 0.1 litres/min. Anti-Splash valve to be fitted to both taps, limiting water temperature to 48°C.	
27. Interstitial condensation: All walls, roofs and floors to comply with Part 3.15.10.1.3.3 of the Scottish Building Standards and comply with current Building [Scotland] Regulations and Appendix D and Clause 5.1 to 5.15.5.2 of BS 5250:2011 + A2:2016. Gable ventilation provided at the equivalent to a continuous 10mm gap. Where roof pitch exceeds 35° or the span exceeds 10m ridge ventilation to be provided equivalent to a continuous 5mm gap. All lean to roofs with accommodation below to be provided with adjacent ventilation equivalent to a continuous 5mm gap where roof slope main house wall. Where Taps Vents are used, Number of vents required to be confirmed by roofing contractor.	
28. Ventilation - All wind trickle ventilators to provide not less than - 2500mm² to Apartments.	
29. Trickle ventilation is ducted the above amounts should be doubled. Trickle ventilators to be positioned minimum 1750mm above floor level. In Wet areas fitted with a dMEV. Trickle ventilators are not required. The door to the wet room should be 'undercut' by 20mm. This air space should be clear of the actual or notional floor covering. Ventilation via an undercut door to provide the required background ventilation to the area that the wet room is accessed from, e.g. an en-suite off a bedroom.	
30. All Mechanical Ventilation to comply with current Building [Scotland] Regulations, Part 1.14.11.11 of the Scottish Building Standards, and the C.I.B.S.E. Regulations 1986.	
31. Where the infiltration rate is not less than 3m³/m²/m at 50 Pa. Decentralised Mechanical Exhaust Ventilation (dMEV) units should be installed in rooms where there is likely to be high humidity such as Kitchens, Bathrooms and Shower Rooms. dMEV should be designed, installed and commissioned to provide minimum continuous extraction rates in accordance with the following:	
• Kitchen 6 litres/sec with 13 litres/sec boost	
• Utility room 4 litres/sec with 8 litres/sec boost	
• Bathroom 4 litres/sec with 8 litres/sec boost	
• Toilet 3 litres/sec with 6 litres/sec boost	
32. Heating - Boiler: Hot Water Cylinder and Heating Controls to be as specified in SAP 2012 calculations. Radiation to have panels and grilles. T.R.V.'s to all rooms except room with thermostat. Heating system to comply with Part 3.17.6 of the Scottish Building Standards. Boilers to come fitted with frost stats. Boiler installation to comply with the requirements of the Gas Appliances (Safety) Regulations 1998 and the Gas Safety (Installations and Use) Regulations 1998. A durable label is to be provided and installed in a location in accordance with Part 3.17.7 of the Scottish Building Standards. The gas appliance is to carry a CE mark in accordance with the Gas Appliances (Safety) Regulations 1998. Condensate from condensing boilers to be plumbed into adjacent house plumbing system at kitchen sink or sink in garage. When the gas appliance is installed within an accessible compartment, cooling air is to be supplied in accordance with BS 5440: Part 2: 2000.	
33. Heating and hot water system will be commissioned and tested prior to handover. Manufacturer's instructions for the operation and maintenance of the system will be provided for the building occupier to encourage optimum efficiency in the conservation of fuel and power.	
34. The heating system should be designed to be capable of maintaining temperature of 21° C in at least 1 apartment and 18° C elsewhere, when the outside temperature is minus 1° C.	
35. Fire Detection - Provides 1 No. smoke detector per storey, 1 No. to Principal Room, 1 No. Heat detector to Kitchen all with standby supply complying with BS 5446: Part 2: 2003 of Part 2.11.12.1.2 of the Scottish Building Standards and complying with and installed with the provision of current Building [Scotland] Regulations, see table for type & location.	
36. Carbon Monoxide Detection - Detectors to comply with BS EN 50201-1:2010 and be powered by a battery designed to operate for the working life of the detector. The detector will incorporate a warning device to alert users when its working life is about to expire. A CO detector shall be fitted in every space containing a fixed combustion appliance (excluding an appliance solely used for cooking) and a detector providing a 2nd bedroom or principal habitable room, where a false passes through that room. CO detectors will be located either on a ceiling min 300mm away from a wall or wall mounted min 150mm above a ceiling and above any door or window in the room. CO detectors will be located between 1m & 3m from the appliance.	
37. Fire Detection - Provides 1 No. smoke detector per storey, 1 No. to Principal Room, 1 No. Heat detector to Kitchen all with standby supply complying with BS 5446: Part 2: 2003 of Part 2.11.12.1.2 of the Scottish Building Standards and complying with and installed with the provision of current Building [Scotland] Regulations, see table for type & location.	
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