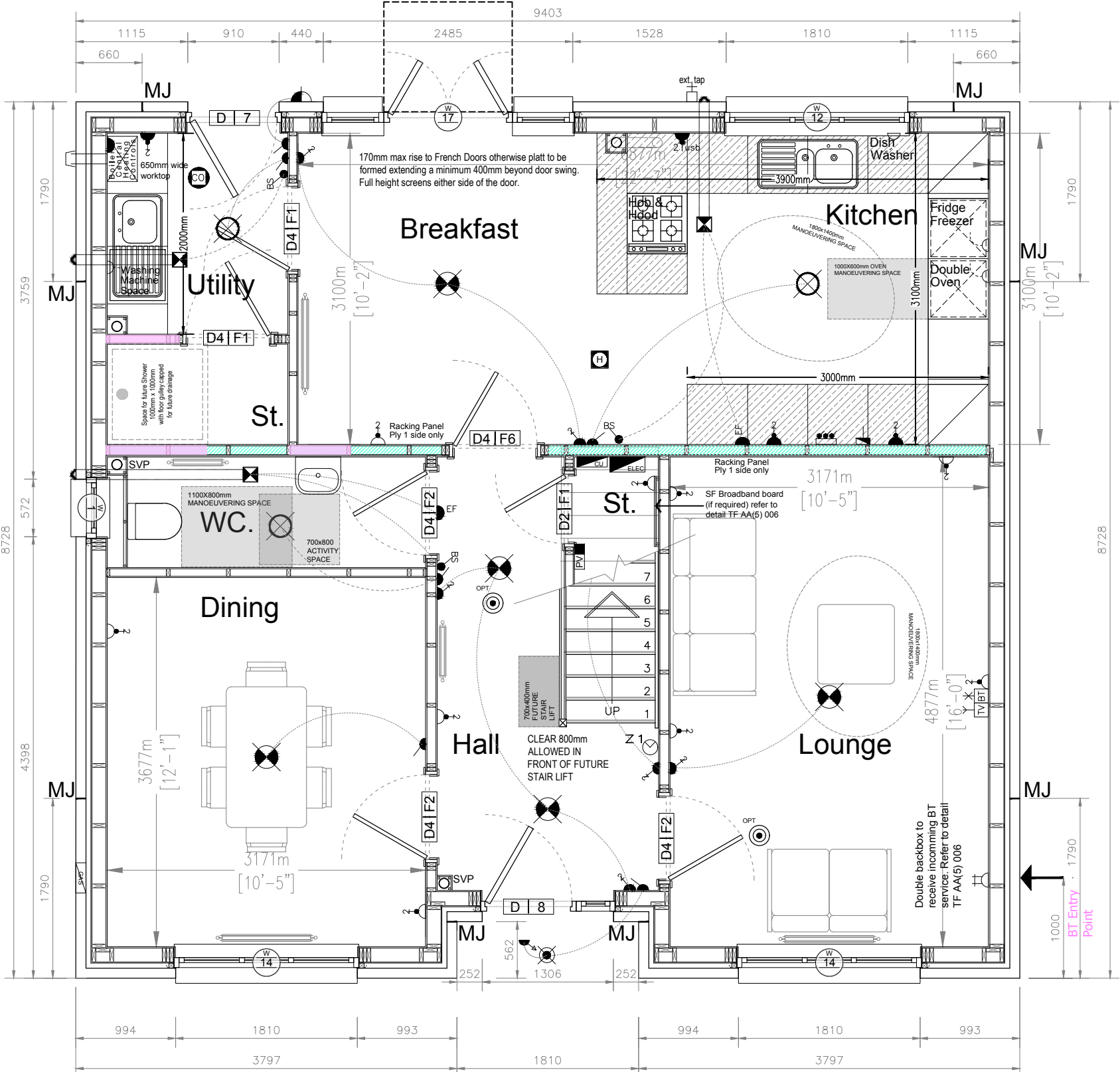
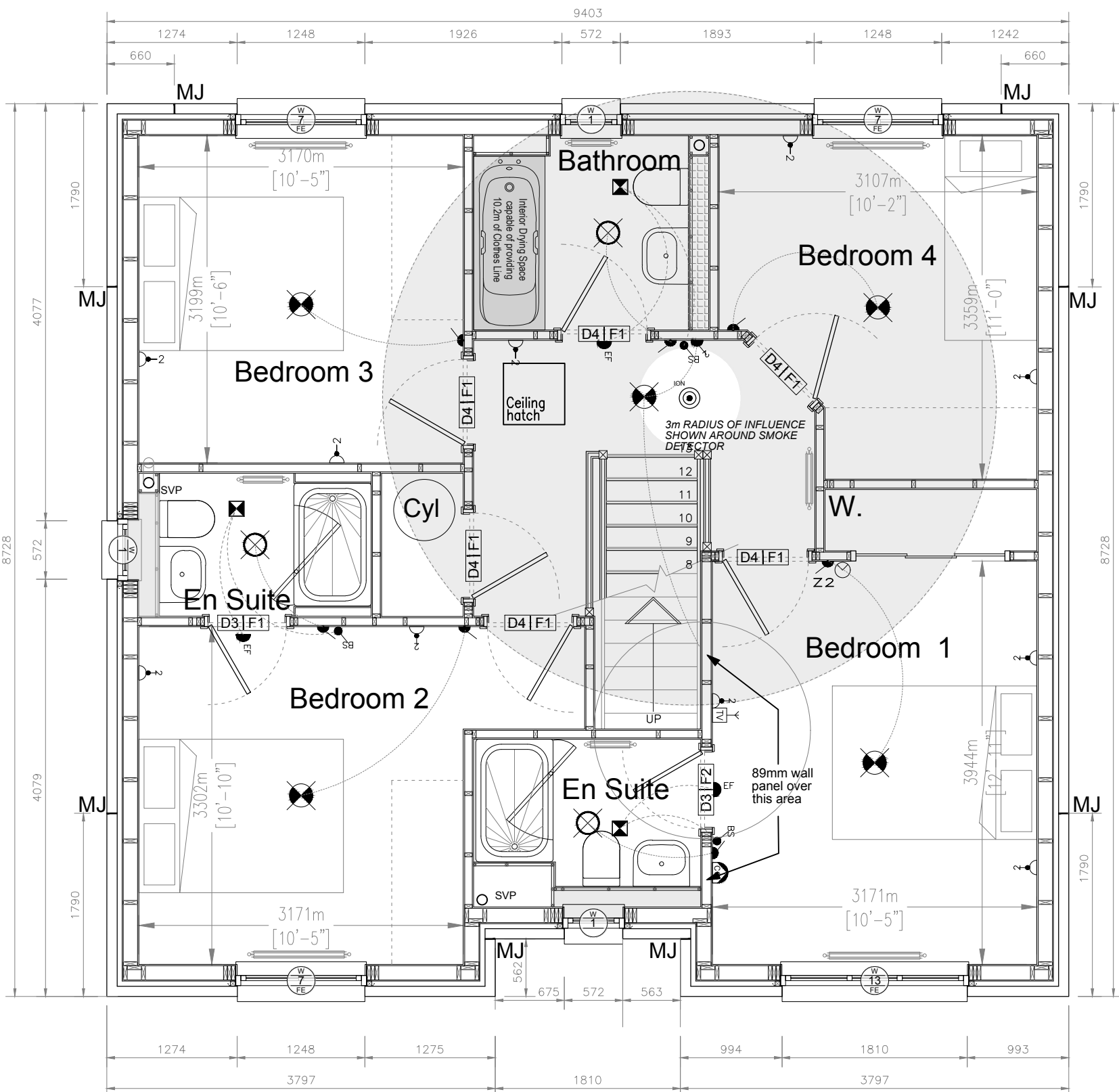


Underbuilding Layout 1:50



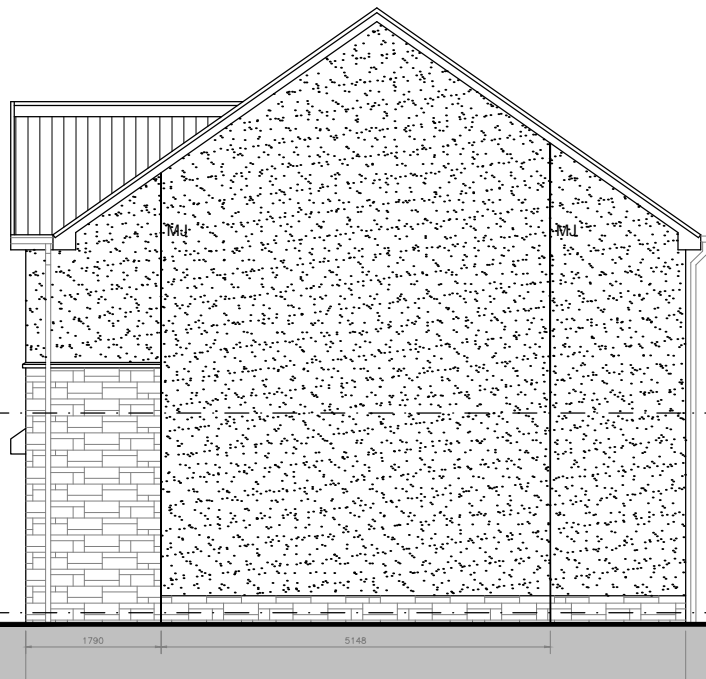
Ground Floor Layout 1:50



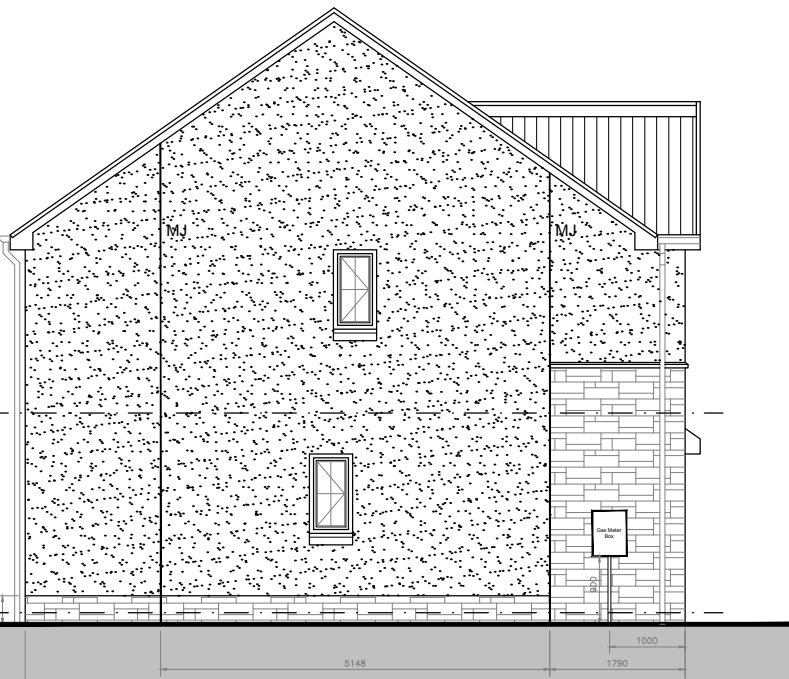
First Floor Layout 1:50



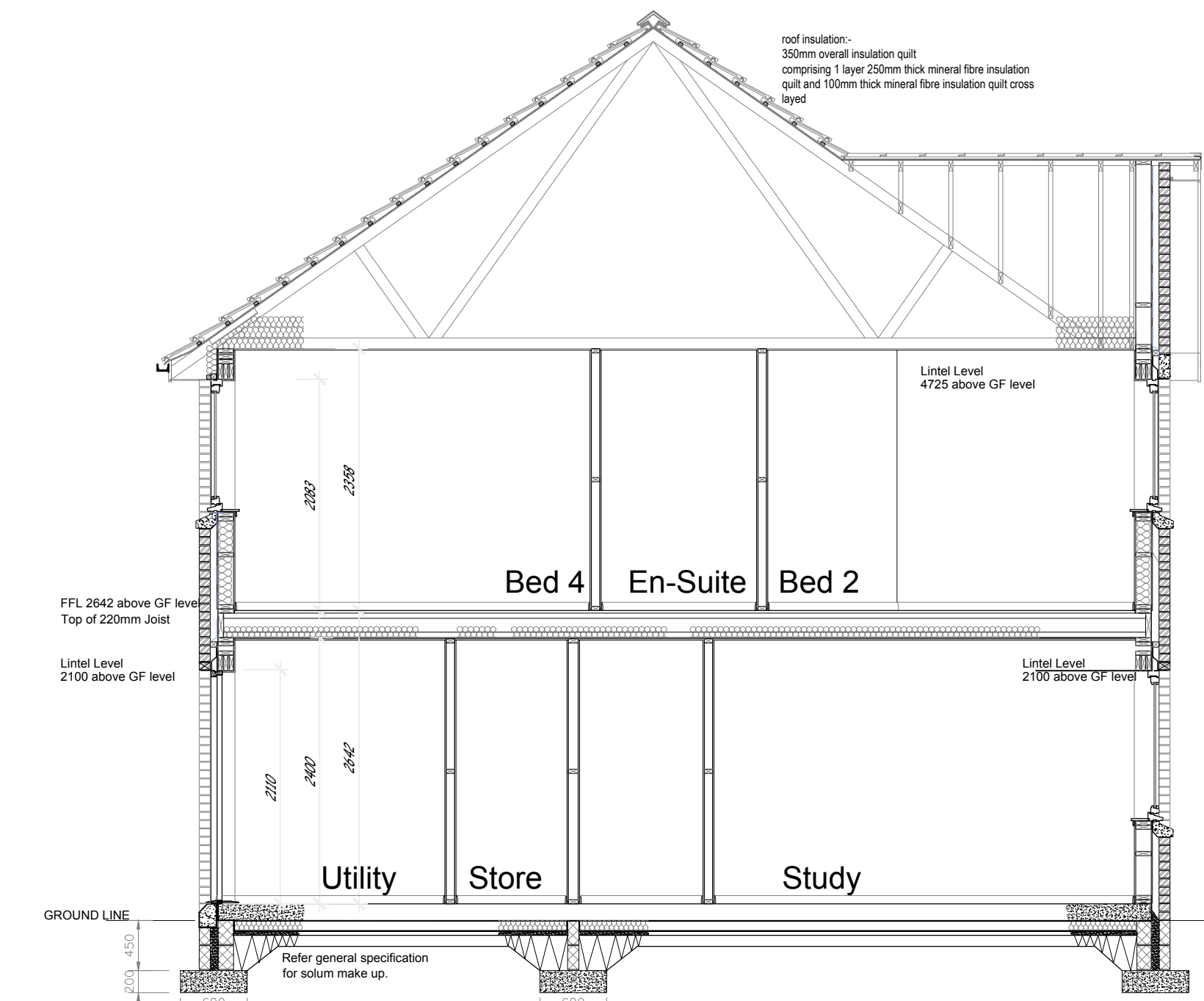
Rear Elevation 1:100



Side Elevation 1:100



Side Elevation 1:100



Section 1:50



Front Elevation 1:50

- GENERAL NOTES**
- All works to be in accordance with current Building [Scotland] Regulations.
- No dimensions are to be scaled from this or any associated drawing.
  - The dwelling has been designed and will be built following the guidance in the Accredited Construction Details (Scotland).
  - No H.A.C. to be used in the works.
  - All works are to be carried out in a 'trade' like manner and in accordance with all current British Standards and Code of Practice.
  - Carpeting timber to be treated with pressure impregnated preservative Suprotect STC in accordance with BS EN 84:2011.
  - All structural timber shall be in accordance with BS EN 1995-1-1:2004 + A2:2014.
  - Materials and workmanship not otherwise specified shall be in accordance with the current British Standards, Code of Practice and NHBC guidelines including all amendments to date.
  - Minimum distance of 1m from dwellings to boundaries.
  - A minimum of 1800mm Headroom to be provided over activity spaces and Showers.
  - Access and facilities to dwellings - To comply with current Building [Scotland] Regulations and Scottish Building Standards Part 4.2. All new access doors within accessible storey will have a minimum clear opening width of not less than 800mm as detailed in Part 4.2.6 when the Accessible entrance to have low threshold in accordance with Part 4.1.8.4.1.9.
  - Collision with projections - All parts of the building and access paths to comply with current Building [Scotland] Regulations & Part 4.8.1 of the Scottish Building Standards.
  - Collision with Glazing - All glazing to comply with current Building [Scotland] Regulations and to comply with BS 6262: Part 4: 2005.
  - All electrical installations are to be carried out in accordance with the current I.E.E. (17th Edition) Regulations. Including all necessary earthing and bonding and earthing. All electrical works to be carried out in accordance with BS 7671 (2008), as amended.
  - 100 percent of lighting points to be fitted with low energy bulbs.
  - Automatic (PIR) illumination to be provided in all accessible entrances. Max. 100 watts per fitting in accordance with BS 5489:2013.
  - All Drainage to be carried out and tested to the entire satisfaction of the local authority. Building Control Department and in compliance with current Building [Scotland] Regulations & to comply with part 3 & 3.8.1.7 of the Scottish Building Standards.
  - Roofing: Rainwater gutters and down pipes to BS EN 12056-3:2000.
  - Surface water drainage system to be tested in accordance with BS EN 12056-2:2000.
  - Sanitary pipe work to comply with BS EN 12056-1:2000.
  - Drainage system to comply with BS EN 12056-1:2000, BS EN 752-3:1997 (amendment 2) BS EN 752-4:1998 and BS EN 1610:1998 and ventilated in accordance with BS EN 12056-2:2000.
  - Waste water drainage system under and around the building to be tested in accordance with BS EN 1610:1998.
  - Sanitary pipework tested in accordance with BS EN 12056-2:2000.
  - Air admittance valves to be installed in accordance with BS EN 12056-2:2000 (Where required an air inlet grille to be provided on stack housing).
  - Dual flush WCs will have an average flush volume of not more than 4.5 litres.
  - Plumbing: Single flush WCs will have a flush volume of not more than 4.5 litres. Taps serving wash or hand rinse basins will have a flow rate of not more than 6 litres/min. Anti-Scald valve to be fitted to both taps, limiting water temperature to 48°C.
  - Intermittent condensation: All walls, roofs and floors to comply with Part 3.15.10.1.3 of the Scottish Building Standards and comply with current Building [Scotland] Regulations and Appendix D and Clauses 8.1 to 8.3.5.2 of BS 5250:2011 + A1:2016. Eaves ventilation provided at the equivalent to a continuous 10mm gap. Where roof pitch exceeds 35° or the span exceeds 10m, ridge ventilation to be provided equivalent to a continuous 5mm gap. All lean to roofs with accommodation below to be provided with automatic ventilation equivalent to a continuous 5mm gap where roof pitch main house wall. Where Tilt Vents are used, Number of vents required to be confirmed by roofing contractor.
  - Ventilation: All window trickle ventilators to provide not less than:
    - 2500mm² to Apartments
    - If trickle ventilation is ducted the above amounts should be doubled.
    - Trickle ventilators to be positioned minimum 1750mm above floor level. In Wet areas fitted with a dMEV. Trickle ventilators are not required. The door to the wet room should be 'undercut' by 20mm. This air space should be clear of the actual or notional floor covering. Ventilation via an underfloor door to provide the required background ventilation to the area that the wet room is accessed from, e.g. an en-suite off a bedroom.
  - All Mechanical Ventilation to comply with current Building [Scotland] Regulations, Part 3.14.11 of the Scottish Building Standards, and the C.I.B.S.E. Regulations 1986.
  - Where the infiltration rate is not less than 3m³/hr/m² @ 50 Pa, Decentralised Mechanical Exhaust Ventilation (dMEV) units should be installed in rooms where there is likely to be high humidity such as Kitchens, Bathrooms and Showers. Rooms should be designed, installed and commissioned to provide minimum continuous extraction rates in accordance with the following:
    - Kitchen 6 litres/sec with 13 litres/sec boost
    - Utility room 4 litres/sec with 8 litres/sec boost
    - Bathroom 4 litres/sec with 8 litres/sec boost
    - Toilet 3 litres/sec with 6 litres/sec boost

Future Shower Provision 1:50

| LOMOND                                   |   |   |   |
|--|---|---|---|
| 4 BEDROOM                                | DETACHED  | 140   | 1502                                    |
| <b>ELECTRICAL LEGEND</b>                 |   |   |   |
| LOW ENERGY CEILING MOUNTED PENDANT LIGHT | LOW ENERGY CEILING SHROUDED LIGHT FITTING       | WALL MOUNTED BULKHEAD                         | EMERGENCY BULKHEAD                      |
| ENTRANCE LIGHTING                        | PIR SENSOR PHOTO CELL                           | 12 AMP COOKER SWITCH                          | 16 AMP FUSED SPUR                       |
| HIGH LEVEL SPUR FOR COOKER HOOD          | HIGH LEVEL SPUR FOR dMEV EXTRACT FAN            | 16 AMP LOW LEVEL SINGLE GANG SOCKET           | 16 AMP LOW LEVEL DOUBLE GANG SOCKET     |
| 16 AMP FUSED SPUR WITH REMOTE SWITCH     | 16 AMP HIGH LEVEL DOUBLE GANG SOCKET            | SHOWER POINT                                  | T.V. POINT                              |
| B.T. POINT                               | INCOMING B.T. DOUBLE BACK BOX                   | REMOTE WALL MOUNTED LIGHT SWITCH              | P.V. INVERTER PANEL                     |
| ELECTRIC METER & CONSUMER UNIT           | GAS METER                                       | dMEV CONTINUOUS EXTRACT FAN DUCTED EXTERNALLY | COOKER HOOD FAN RECIRCULATION TYPE ONLY |
| BOOSTER SWITCH FOR dMEV EXTRACT FAN      | CENTRAL HEATING THERMO CONTROLS                 | OPTICAL SMOKE DETECTOR                        | HEAT DETECTOR                           |
| CARBON MONOXIDE DETECTOR                 | CARBON DIOXIDE DETECTOR FIXED AT HEIGHT OF 1.5M |   |   |

| STANDARD 2.11.1   | FIRE DETECTION AND FIRE ALARM SYSTEMS  |
|---|--|
| TYPE  | RECOMMENDED LOCATION   |
| OPTICAL SMOKE ALARM to BS EN 14604: 2005                              | PRINCIPAL HABITABLE ROOM - LOUNGE OR OPEN PLAN AREA - HALLWAYS AND STAIRWELLS ADJACENT TO KITCHENS |
| IONISATION SMOKE ALARM to BS EN 14604: 2005                           | HALLWAYS AND STAIRWELLS ADJACENT TO BATHROOMS OR SHOWER ROOMS                                      |
| MULTI SENSOR ALARM to BS 5838: Part 6: 2004                           | UPPER AND LOWER HALLWAYS WITHIN 3 METRES OF BEDROOM DOORS  |
| HEAT ALARM to BS 5446: Part 2: 2003                                   | KITCHEN  |
| STANDARD 3.14.2   | VENTILATION AWARENESS IN DWELLINGS   |
| TYPE  | RECOMMENDED LOCATION   |
| CO2 MONITORING EQUIPMENT to EUROPEAN DIRECTIVE 2006/9/EC - EN 50281-1 | PRINCIPAL BEDROOM  |
| STANDARD 3.20.20  | CARBON MONOXIDE DETECTION  |
| CO DETECTION SYSTEM to BS EN 50291: 1:2010                            | EVERY SPACE CONTAINING A FIXED COMBUSTION APPLIANCE - BOILER INCLUDING EXTENDED FLUES              |

Ground Floor Habitable Compartment Partitions (GROUND FLOOR HALL TO APARTMENT)

- 12.5mm Wallboard 10 to either side of 75mm timber stud.
- 25mm Super glass Multi-Purpose Acoustic Mat within wall min density of 10kg/m³

Standard Upper Floor Internal Partitions (1<sup>st</sup> FLOOR HALL TO APARTMENT & APARTMENT TO APARTMENT)

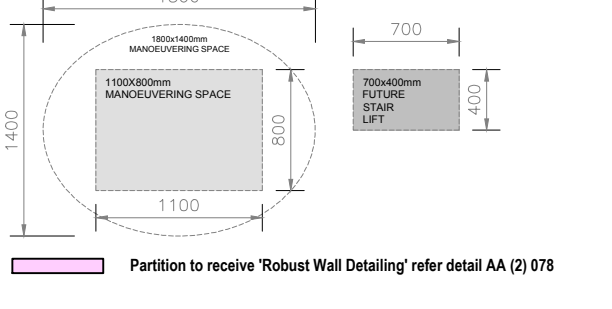
- 12.5mm Wallboard 10 to either side of 75mm timber stud.
- 25mm Super glass Multi-Purpose Acoustic Mat within wall min density of 10kg/m³

Bathroom Ensuite Internal Partitions (APARTMENT TO BATHROOM)

- 12.5mm MT Sound Block to Bathroom side of 75mm timber stud and 12.5mm Wallboard 10 to other side.
- 25mm Super glass Multi-Purpose Acoustic Mat within wall min density of 10kg/m³

Ground Floor Ceiling

- 20mm Chopped Fibre facing min 15kg/m²
- 220mm Engineered timber Joist max 600mm c/c
- 100mm Super glass Multi-Roll within floor space
- 15mm Felted board on 15mm Resilient Bars @ max 400mm c/c



| AMENDMENTS: |        |   |
|-------------|--------|---|
| M           | Date   | Description:  |
| M           | Oct'18 | Pop-up positions reviewed against current kitchen designs. Heating programmers repositioned to correspond with current heating layouts. CO2 detector position reviewed, fixing height noted on electrical legend. |
| L           | Aug'18 | En-Suite 1 window moved, elevations to suit.  |
| K           | May'18 | Boiler condensate run added to underbuilding, 650mm workshop shown in utility.  |
| J           | Feb'18 | Bed 1/Star wall now 89mm stud, en-suite door to suit.   |
| H           | Jan'18 | Rear external light shown.  |
| H           | Dec'17 | General Notes amended: External tap shown. Door from a D2 to a D3 to the ensuite.   |
| Issue:      | Date:  | Description:  |

**Bellway**

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Project:

**STANDARD HOUSE TYPES (2015 BUILDING REGULATIONS)**

**TIMBER KIT - ENHANCED SPEC.**

|                              |         |
|------------------------------|---------|
| Drawing:                     |         |
| <b>LOMOND</b>                |         |
| <b>4 BED DETACHED</b>        |         |
| <b>1502 SQ. FT.</b>          |         |
| Scale:                       | Date:   |
| 1:50 / 1:100                 | JAN '17 |
| Drawing No.                  | Rev.    |
| LOMOND (2015) (EN) T-KIT-001 | M       |