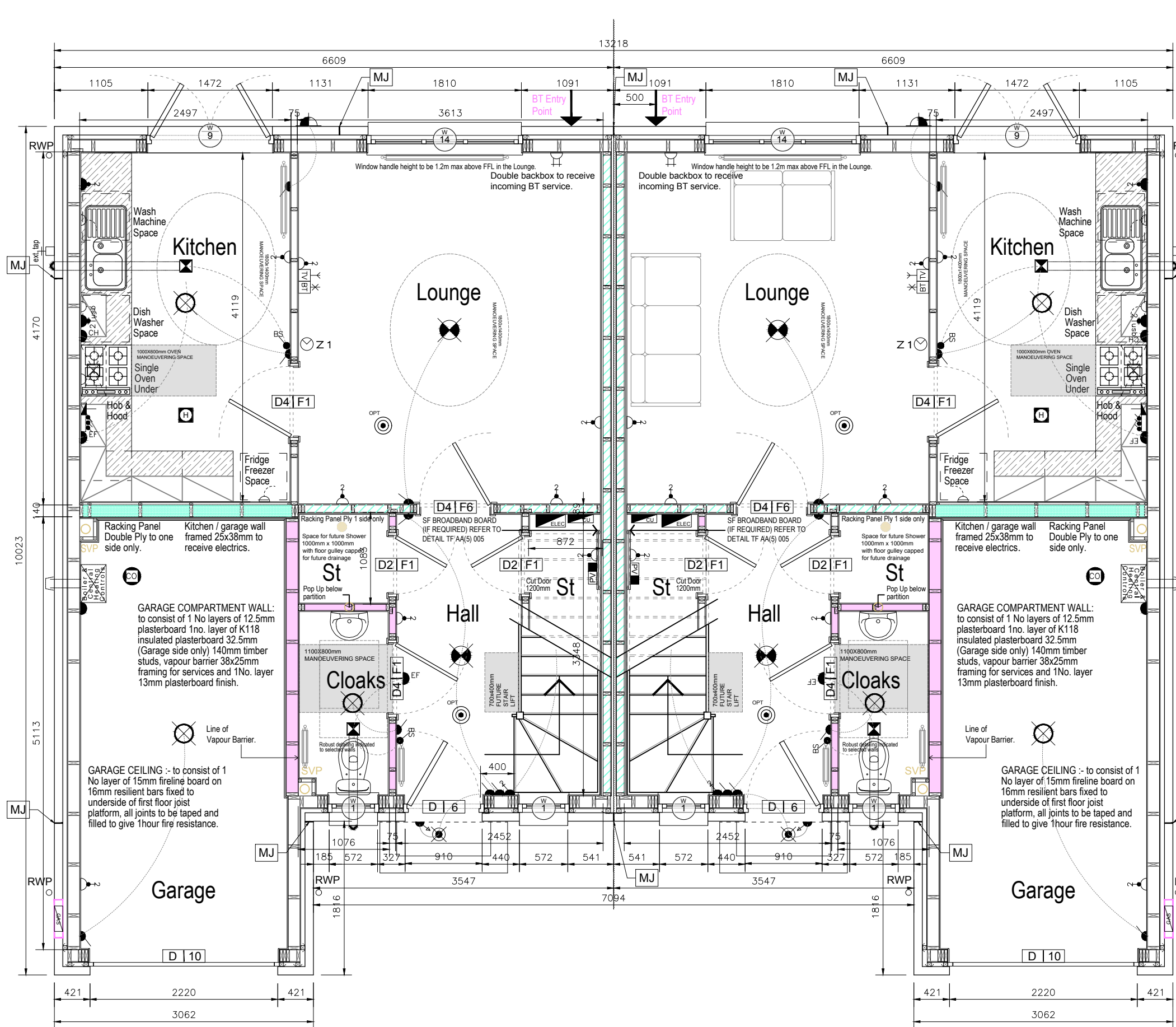
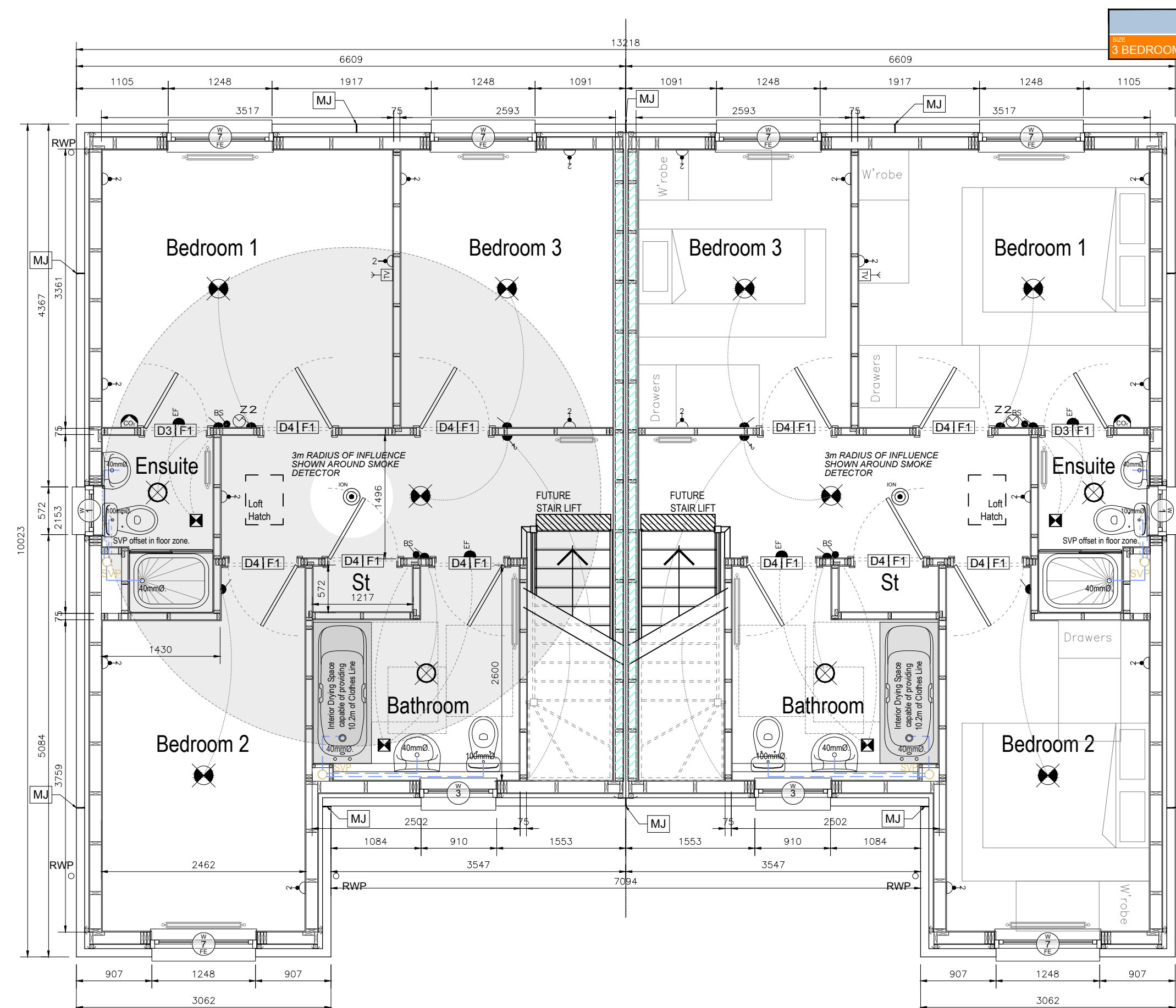


Underbuilding Part Layout 1:50



Ground Floor Layout 1:50

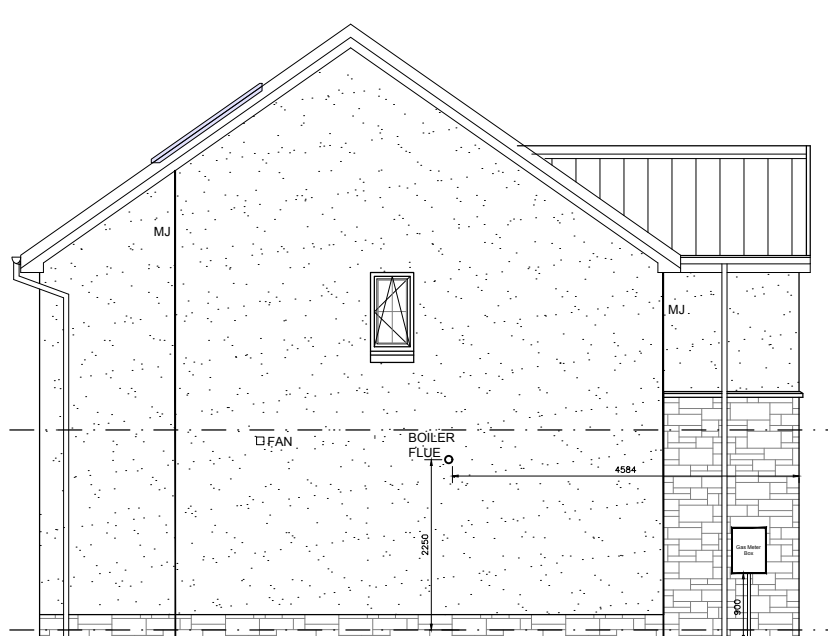


First Floor Layout 1:50

Future Shower Provision 1:50



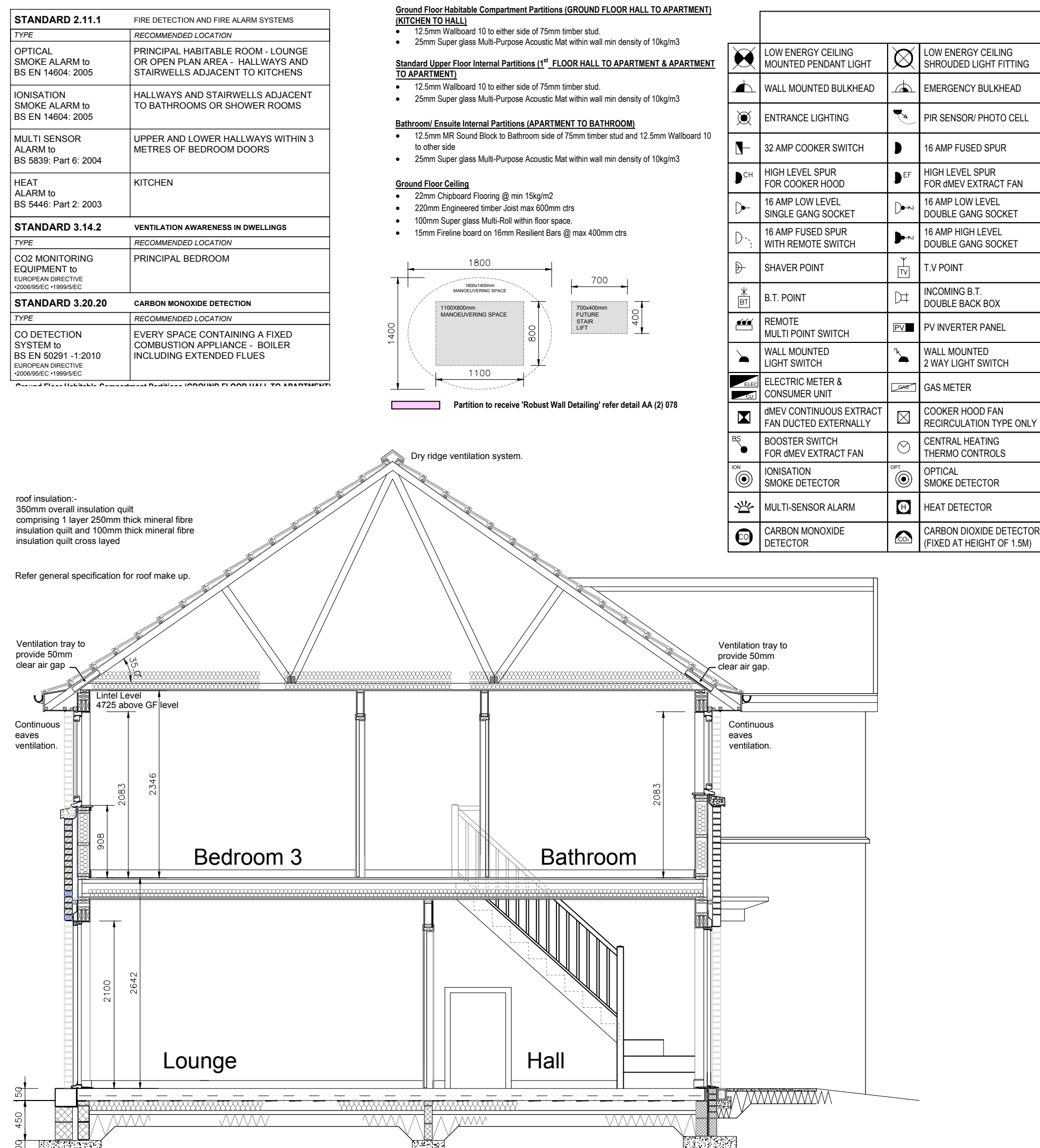
Rear Elevation 1:100



Side Elevation 1:100



Front Elevation 1:50



Section 1:50

GENERAL NOTES

All works to be in accordance with current Building [Scotland] Regulations.

1. No dimensions are to be scaled from this or any associated drawing.

2. The dwelling has been designed and will be built following the guidance in the Accredited Construction Details [Scotland].

3. No H.A.C. to be used in the works.

4. All works are to be carried out in a tradesman like manner and in accordance with all current British Standards, Code of Practice and NHER guidelines including all amendments to date.

5. Minimum distance of 1m from dwellings to boundaries.

6. A minimum of 1800mm Headroom to be provided for the building occupier to encourage optimum efficiency in the conservation of fuel and power.

7. Heating and hot water system will be commissioned and tested prior to handover. Manufacturer's instructions for the operation and maintenance of the system will be provided for the building occupier.

8. The heating system should be designed to be capable of maintaining temperature of 21° C in at least 1 apartment and 19° C elsewhere when the outside temperature is minus 1° C.

9. Fire Detection: Provide 1 No. smoke detector per storey, 1 No. to Principal Room, 1 No. Heat detector to Kitchen all with standby supply complying with BS 5446: Part 2: 2003 of Part 2.11.12.1 of the Scottish Building Standards and complying with the provision of current Building [Scotland] Regulations, see table for type & location.

10. Carbon Monoxide Detection: Detectors to comply with BS EN 50291-1:2010 and be powered by a battery designed to operate for the working life of the detector. The detector will incorporate a warning device to alert users when its working life is about to expire. A CO detector will be fitted in each room. CO detectors will be located either on a ceiling min 300mm away from a wall or window in the room. CO detectors will be located between 1m & 3m from the appliance.

11. Ventilation Awareness: CO2 detector required to the Principal Bedroom. Monitoring equipment for CO2 detection should be main operated and may take the form of a self-contained monitor/detector or a separate monitor and detector head. The monitor should have an easily understood visual indicator and be capable of logging data to allow the occupant to gain information on CO2 levels for at least the preceding 48 hours prior to the detector monitor has an integral alarm this should be capable of being permanently deactivated.

12. Where applicable, all services within garages will be surface mounted to maintain fire separation between garages and main house.

13. All Ground Floor Windows & Doors to have laminated glass to comply with Secure by Design and Technical standards 4.13 (Security).

14. Sanitary pipe work to comply with BS EN 12056-2: 2000.

15. Drainage system to comply with BS EN 12056-1: 2000.

16. BS EN 12623: 1997 (amendment 2) BS EN 12624: 1998 and BS EN 1610:1998 and ventilated in accordance with BS EN 12056-2: 2000.

17. Waste water drainage system under and around the building to be tested in accordance with BS EN 1610: 1998.

18. Air admission valves to be installed in accordance with BS EN 12080: 2002 (Where required an air inlet grille to be provided on each housing).

19. Dual flush WC's will have an average flush volume of not more than 4.5 litres.

20. Plumbing: Single flush WC's will have a flush volume of not more than 4.5 litres. Taps serving wash or hand basin basins will have a flow rate of not more than 0.1 litres/min. Air-Solid valve to be fitted to bath taps, limiting water temperature to 48°C.

21. Interstitial condensation: All walls, roofs and floors to comply with Part 3.15.13.15.3 of the Scottish Building Standards and Appendix D and Clause 8.1 & 9.5.5.2 of BS 5250:2011 + A1:2016. Eave ventilation provided the equivalent to a continuous 10mm gap. Where roof pitch exceeds 35° or the span exceeds 10m ridge ventilation to be provided equivalent to a continuous 5mm gap. All lean roof eaves with accommodation below to be provided with abundant ventilation equivalent to a continuous 5mm gap where roof abuts main house wall. Where Tilt Vents are used, Number of vents required to be confirmed by roofing contractor.

22. Ventilation: All window trickle ventilators to provide not less than: 2500mm² to Apartments.

23. If Trickle ventilation is ducted the above amounts should be doubled. Trickle ventilators to be positioned minimum 1750mm above floor level. To wet areas fitted with a dMEV. Trickle ventilators are not required. The door to the wet room should be "undercut" by 20mm. This air space should be clear of the actual or virtual floor covering. Ventilation via an undercut door to provide the required background ventilation to the area that the wet room is accessed from, e.g. an en-suite off a bedroom.

24. All Mechanical Ventilation to comply with current Building [Scotland] Regulations, Part 6.14.11 of the Scottish Building Standards, and the C.I.S.B.E. Regulations 1996.

25. Where the infiltration rate is not less than 3m³/hr/m² @ 50 Pa, Decentralised Mechanical Exhaust Ventilation (dMEV) units should be installed in rooms where there is likely to be high humidity such as Kitchens, Bathrooms and Shower Rooms. dMEV should be designed, installed and commissioned to provide minimum continuous extraction rates in accordance with the following:

- Kitchen 6 litres/sec with 13 litres/sec boost
- Utility room 4 litres/sec with 8 litres/sec boost
- Bathroom 4 litres/sec with 8 litres/sec boost
- Toilet 3 litres/sec with 6 litres/sec boost

26. Reference should be made to the Domestic Building Standards Compliance Guide for Scotland 2015 Edition to provide guidance on compliance with Building Regulations, namely standards 6.3 to 6.7 as set out in Section 6 (energy) of the 2015 Domestic Technical Handbook.

27. Provide a start guide for clients to all houses as per standard 6.8.2.

28. Noise and Air Tests to be carried out to the satisfaction of the relevant local authority.

AMENDMENTS:

Issue	Date	Description
D	Oct'18	Pop-up positions revised against current kitchen designs. Heating programmers repositioned to correspond with current heating layouts. CO2 detector position reviewed, fixing height noted on electrical legend. BMCC
C	Dec'17	General Notes amended. External tap shown. Door from D2 to a D3 to the ensuite.
B	Aug'17	Front entrance door style revised. usb point added to kitchen, radiator positions updated. General Notes amended as per STAS comments. PV requirements reviewed. Robust detailing clarified.
A	Jan'17	STAS Drawing revised to comply with 2015 Building Regulations. Refer to separate notes.

Issue: Date: Description:

Belway
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Project:

STANDARD HOUSE TYPES
(2015 BUILDING REGULATIONS)
TIMBER KIT - ENHANCED SPEC.

Drawing:

GLENCOE
3 BED SEMI DETACHED
955 SQ. FT.

Scale: 1:50 / 1:100 Date: JAN '17 Drawn: -
Drawing No. GLENCOE (2015) (EN) T-KIT-001 Rev. D