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owner / developer

WULF FISH ENTERPRISE LLC
212 Northern Ave, Bays 2-4a, Boston, Massachusetts

PERMIT SET

WULF'S FISH

BOSTON

11/19/15

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A	AREA; AMPERE; ALCOVE; COMP AIR LINE	CARP	CARPENTER	E	EAST; ENAMEL; EXHAUST	N	NORTH
AB	ANCHOR BOLT	CAT	CATALOG	E TO E	END TO END	NA	NOT APPLICABLE
ABV	ABOVE	CAV	CAVITY	EA	EACH	NIC	NOT IN CONTRACT
AC	AIR CONDITIONING	CB	CONCRETE BLOCK; CATCH BASIN	EC	EXPOSED CONSTRUCTION	NOM	NOMINAL
ACC	ACCESS	CBL	CONCRETE BLOCK	EE	EACH END	NTS	NOT TO SCALE
ACF	ARCHITECTURAL CONCRETE FINISH	CCT	CIRCUIT				
ACFL	ACCESS FLOOR	CCW	COUNTER CLOCKWISE	EF	EACH FACE	OD	OUTSIDE DIMENSION
ACL	ACROSS THE LINE	CCTV	CLOSED CIRCUIT TV	EFTS	EXPANDING FOAM TAPE SEALANT	OC	ON CENTER
ACOUST	ACOUSTICAL	CEL	CELLAR	EG	EDGE GRAIN	OH	OPPOSITE HAND
ACPL	ACOUSTICAL PLASTER	CEM	CEMENT	EIFS	EXTERIOR INSULATION & FINISH SYSTEM	OHD	OVERHEAD
ACR	ACRYLIC	CWB	CEMENT WALL BOARD	EJ	EXPANSION JOINT		
ACST	ACOUSTIC	CER	CERAMIC	EL	ELEVATION; ELEVATOR	PC	PREFAB CONCRETE
ACT	ACOUSTICAL CEILING TILE	CF	CUBIC FEET	ELEC	ELECTRIC	PERIM	PERIMETER
AD	AREA DRAIN	CFL	COUNTERFLASHING	ELEV	ELEVATION; ELEVATOR	PERP	PERPENDICULAR
ADA	AMERICANS WITH DISABILITIES ACT	CFM	CUBIC FEET PER MINUTE	EM	EMERGENCY	PL	PLATE
ADAAG	ADA ARCHITECTURAL GUIDELINES	CFM	COLD FORMED METAL FRAMING	EMER	EMERGENCY	PLAS	PLASTIC
ADD	ADDENDUM	CFT	CUBIC FOOT	ENAM	ENAMEL	PLYWD	PLYWOOD
ADDL	ADDITIONAL	CG	CORNER GUARD	ENCL	ENCLOSURE	PNL	PANEL
ADH	ADHESIVE	CH	COAT HOOK	ENG	ENGINEER	PR	PAIR
ADI	ADJUST	CHAM	CHAMFER	ENGR	ENGINEER	PT	POINT
AF	ABOVE FLOOR	CHAN	CHANNEL	ENUF	EXPANDED NEOPRENE JOINT FILLER	PTD	PAINTED
AFF	ABOVE FINISH FLOOR	CI	CAST IRON	PTD	PRESERVATIVE TREATED		
AGG	AGGREGATE	CIP	CAST-IN-PLACE; CAST IRON PIPE	PTD	PAINTED		
AHU	AIR HANDLING UNIT	CIR	CIRCLE; CIRCULAR; CIRCUIT	PTD	PAINTED		
AL	ALUMINUM	CIRC	CIRCUMFERENCE	PTD	PAINTED		
ALM	ALARM	CTG	CLEAR INSULATING TEMPERED GLASS	PTD	PAINTED		
ALT	ALTERNATE	CI	CONTROL JOINT	QTY	QUANTITY		
ALS	ACRYLIC LATEX SEALANT	CK	CAULKING	EQ	EQUAL		
AMP	AMPRE	CKT	CIRCUIT	EQPT	EQUIPMENT		
AMT	AMOUNT	CL	CENTERLINE; CLEARANCE; CLOSET	EQUIP	EQUIPMENT		
ANCH	ANCHORAGE	CLG	CAULKING	EST	ESTIMATE	REFL	REFLECTED
ANN	ANNUNCIATOR	CLNG	CAULKING	EW	EVERY WAY	REQD	REQUIRED
ANOD	ANODIZED	CLL	CONTRACT LIMIT LINE	EWC	ELECTRIC WATER COOLER	RET	RETURN
AP	ACCESS PANEL	CLQ	CLOSET	EVH	ELECTRIC WATER HEATER	REV	REVISION
APPD	APPROVED	CLR	CLEAR	EWH	ELECTRIC WATER HEATER	RH	RIGHT HAND
APROX	APPROXIMATE	CLS	CLOSURE	EX	EXIT; EXPOSED CONSTRUCTION	RM	ROOM
APT	APARTMENT	CMT	CERAMIC MOSAIC TILE	EXC	EXCAVATE	RO	ROUGH OPENING
ARCH	ARCHITECT; ARCHITECTURAL	CMU	CONCRETE MASONRY UNIT	EXCAV	EXCAVATE	RVS	REVERSE
AS	ACOUSTIC SEALANT	CND	CONDITION; CONDUIT	EXG	EXISTING		
AT	ACOUSTIC TILE	CNT	CENTER; CENTER	EXH	EXHAUST	S	SOUTH
ATTEN	ATTENUATION	CO	CASED OPENING; COMPANY; CLEAN OUT	EXIST	EXISTING	SCHED	SCHEDULE
ATM	AUTOMATIC TELLER MACHINE	COD	CLEAN OUT DOOR	EXISTG	EXISTING	SD	STORM DRAIN
AUTH	AUTHORIZED	COEF	COEFFICIENT	EXP	EXPANSION; EXPOSED	SECT	SECTION
AUTO	AUTOMATIC	COL	COLUMN	EXT	EXTERIOR	SHT	SHEET
Avg	AVERAGE	COM	COMMON			SIM	SIMILAR
B/	BOTTOM (OF)	COMB	COMBINATION	FA	FIRE ALARM	SNDPRF	SONDPROOF
BAL	BALANCE	COML	COMMERCIAL	FAB	FABRICATED	SQ	SQUARE
BBD	BULLETIN BOARD	COMP	COMPOSITION; COMPRESSED	FC	FIXTURE CONTRACTOR	SS	STAINLESS STEEL
BC	BOTTOM OF CURB	CON	CONSTRUCTION	FCU	FAN COIL UNIT	ST	STONE STD. STANDARD
BD	BOARD	COND	CONDUT; CONDENSER	FD	FLOOR DRAIN	STL	STEEL
BDY	BOUNDARY	CONN	CONNECTION	FE	FIRE EXTINGUISHER	STORE	STORAGE
BDRM	BEDROOM	CONST	CONSTRUCTION	FF	FINISHED FLOOR	STRUC	STRUCTURE
BE	BAKED ENAMEL	CONT	CONTINUOUS; CONTROL	FIN	FINISH	SUSP	SUSPENDED
BEL	BELOW	COFR	CONTRATOR	FIXT	FIXTURE	SYM	SYMMETRICAL
BETW	BETWEEN	COORD	COORDINATE	FLR	FLOOR	SYS	SYSTEM
BETW	BETWEEN	COV	COVER	FLEX	FLEXIBLE		
BEV	BEVEL	COP	COPPER	FLUOR	FLUORESCENT	T	TREAD
BF	BOARD FT; BACK FACE; BOT FACE	COR	CORNER; CORRIDOR	FO	FACE OF	TBR	TO BE REMOVED
BHD	BULKHEAD	CORR	CORRIDOR; CORRUGATED	FOC	FACE OF CONCRETE	TEL	TELEPHONE
BIT	BITUMINOUS	COV	COVER	FOM	FACE OF FINISH	T&G	TONGUE AND GROOVE
BL	BASELINE; BLDG LINE; BLOCK	CPT	CARPET	FOM	FACE OF MASONRY	THK	THICKNESS
BLDG	BUILDING	CRS	COURSE; COLD ROLLED STEEL	FRT	FIRE RETARDANT TREATED	TO	TOP OF
BLKG	BLOCKING	CRSK	COUNTERSINK	TOC	TOP OF CONCRETE	TOS	TOP OF STEEL
BLR	BOILER	CS	COUNTERSINK; CAST STONE	FT	FOOT PV FIELD VERIFY	TOW	TOP OF WALL
BLT-N	BUILT-IN	CSG	CASING	GA	GAUGE	TV	TELEVISION
BM	BEAM; BENCHMARK	CSK	COUNTERSINK	GALV	GALVANIZED	TYP	TYPICAL
BMT	BUTYL MASTIC TAPE SEALANT	CSMT	CASING	GC	GENERAL CONTRACTOR		
BVN	BULLNOSE	CSNU	CALCIUM SILICATE MASONRY UNIT	UL	UNDERWRITERS LABORATORIES		
BNT	BENT	CT	CERAMIC TILE; CORK TILE	UNFIN	UNFINISHED		
BO	BOTTOM OF	CTD	COATED	UNFIN	UNFINISHED		
BOT	BOTTOM	CTR	CENTER; COUNTER	GR	GRADE		
BP	BASE PLATE; BYPASS	CU FT	CUBIC FOOT	GWB	GYPSUM WALL BOARD		
BPL	BEARING PLATE	CYD	CUBIC YARD	GYP	GYPSUM		
BR	BEDROOM; BRICK; BRASS; BOILER RM	CW	CLOCKWISE	VB	VAPOR BARRIER		
BRDG	BRIDGE; BRIDGING	CY	CUBIC YARD	VCT	VINYL COMPOSITION TILE		
BRG	BEARING	CYL	CYLINDER	VERT	VERTICAL		
BRK	BRICK; BREAK	HC	HANDICAPPED	V	VENT		
BRKT	BRACKET	HD	DEPTH; DROP; DRAIN	W/F	VERIFY IN FIELD		
BRS	BUTYL RUBBER SEALANT; BRASS	DA	DOUBLE ACTING	HDWD	HARDWOOD		
BRZ	BRONZE	DB	DECIBEL	HDWR	HARDWARE		
BS	BOTH SIDES; BACKSET	DBL	DOUBLE	HGT	HEIGHT		
BSMT	BASEMENT	DD	DECK DRAIN; DRIVEWAY DRAIN	HORIZ	HORIZONTAL		
BT	BATHTUB; BOLT	DEG	DEGREE	HP	HIGH POINT		
BTR	BETTER	DEGC	DEGREE CELSIUS	HR	HOUR		
BTUH	BRITISH THERMAL UNITS	DEGF	DEGREE FAHRENHEIT	HVAC	HEATING/VENTILATION/AIR CONDITIONING		
BTWN	BETWEEN	DEM	DEMOLISH	ID	INSIDE DIAMETER		
BUR	BUILT-UP ROOF	DEP	DEPRESSED	INCL	INCLUDED		
BZL	Buzzer	DEPT	DEPARTMENT	INSUL	INSULATION		
BVL	BEVELLED	DET	DETAIL	INT	INTERIOR		
BW	BOTH WAYS	DF	DRINKING FOUNTAIN	X	BY		
BYP	BYPASS	DH	DOUBLE HUNG	JAN	JANITOR		
C	COURSES; CURB; CHANNEL; DEG CELSIUS	DIA	DIAMETER	JT	JOINT		
C/C	CENTER TO CENTER	DIAM	DIAMETER	LAM	LAMINATE		
CAB	CABINET	DIFF	DIFFUSER	LAV	LAVATORY		
CAP	CAPACITY	DIM	DIMENSION	LG	LARGE		
CAR	CARPET	DISL	DISPOSAL	LH	LEFT HAND		
		DISP	DISPENSER	LL	LIVE LOAD		
		DIV	DIVISION	LOC	LENGTH OF CURVE		
		DMT	DEMOVABLE	LP	LOW POINT		
		DN	DOWN	LT	LIGHT		
		DO	DOOR; OPENING; DITTO	LW	LIGHT WEIGHT		
		DP	DAMPPROOFING	MAS	MASONRY		
		DPR	DAMPER	MATL	MATERIAL		
		DR	DOOR; DRAIN; DINING ROOM	MECH	MECHANICAL		
		DS	DRAWNSPOT; DOOR SWITCH	MED	MEDIUM		
		DT	DRAINILE	MEP	MECHANICAL/ELECTRICAL/PLUMBING		
		DTL	DETAIL	MFR	MANUFACTURER		
		DVT	DOVETAIL	MIN	MINIMUM		
		DVL	DOVETAIL	MISC	MISCELLANEOUS		
		DWG	DRAWING	MO	MASONRY OPENING		
		DWGS	DRAWINGS	MOD	MODULE		
		DWL	DOWEL	MRO	MOISTURE RESISTANT DRYWALL		
		DWR	DRAWER	MTD	MONTED		
		MTL		MTL	METAL		

Room name

101

150 SF

SIM

A101

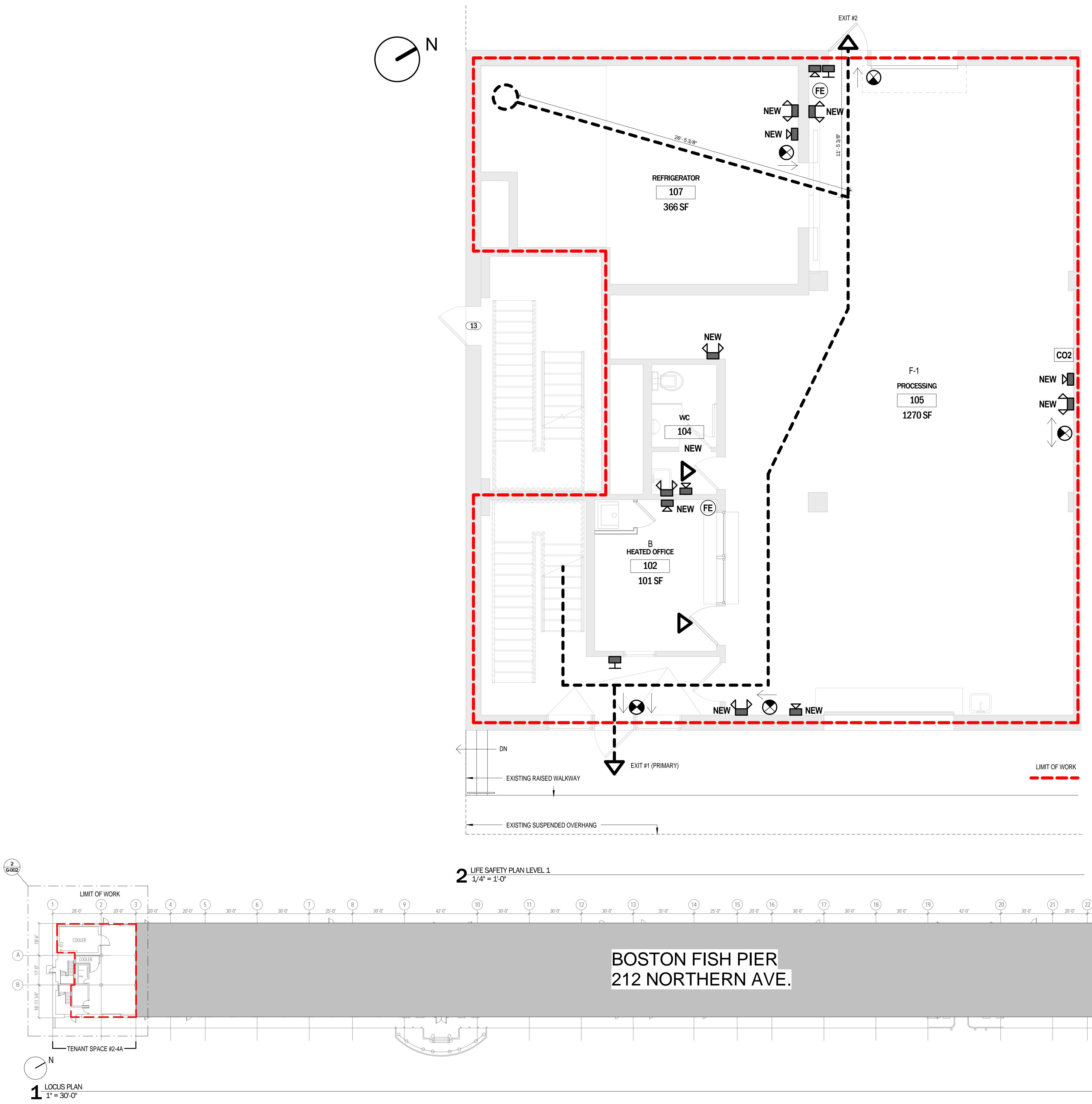
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A101

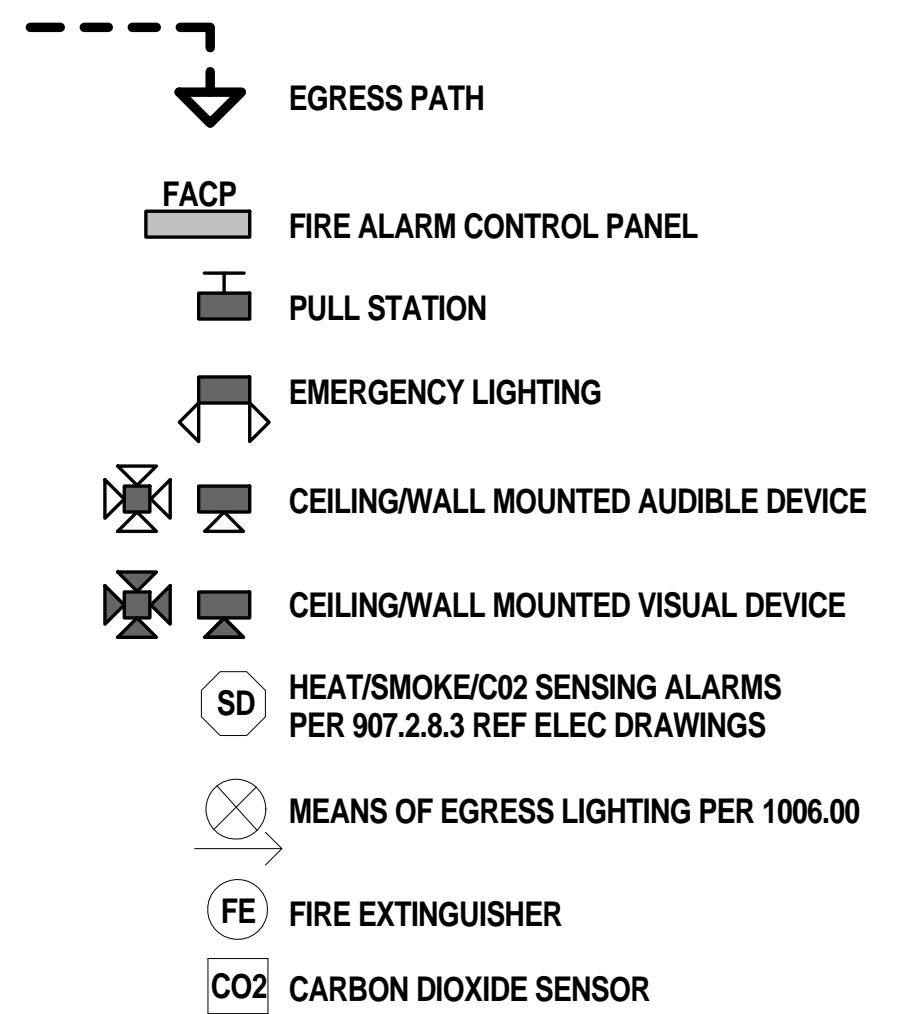


FIRE ALARM GENERAL REQUIREMENTS

- THE FIRE ALARM SYSTEM IS CURRENTLY EXISTING. SEVERAL NEW HORN/STROBE LOCATIONS WILL BE ADDED AS NOTED.
- NEW FIRE EXTINGUISHERS WILL BE SUPPLIED AS NOTED.
- ALL ALARM NOTIFICATION COMPONENTS TO BE CONNECTED TO INDICATOR AND TAMPER SWITCHES.
- ALL ALARM AND NOTIFICATION SYSTEM DRAWINGS TO BE DESIGN BUILD AND SUBMITTED VIA SEPARATE PERMIT. LOCATIONS SHOWN ONLY FOR INFORMATION.

PERMIT SET

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CODE SUMMARY

PROJECT:

212 NORTHERN AVE. BAYS 2-4A, BOSTON FISH PIER, BOSTON, MA

DESCRIPTION:

INTERIOR RENOVATION IN AN EXISTING BUILDING APPROXIMATELY 1,900 SQUARE FEET

APPLICABLE CODES:

**780 CMR - MA AMENDMENTS TO IBC
MASSACHUSETTS ARCHITECTURAL ACCESS BOARD GUIDELINES**

USE GROUP:
E-1 LIGHT INDUSTRIAL

P-1.EIGHT INDUSTRIAL
B: OFFICE

OCCUPANCY:
B: 100 S.F/OCCUPANT GROSS
F-1: 100 S.F/OCCUPANT GROSS

B:100 S.F/OCCUPANT GROSS, 108 S.F NET= 1 STAFF
F-1: 100 S.F/OCCUPANT GROSS, 1792 S.F NET= 18 STAFF

TOTAL: 19 OCCUPANTS @ 100 S.F/PERSON

EGGRESS DOOR WIDTH:
19 MAX. OCCUPANTS x 0.15 = 2.85"
192" PROVIDED

NUMBER OF EXITS FOR OCCUPANT LOAD:
500 OR LESS REQUIRES 2 EXITS

2 PROVIDED

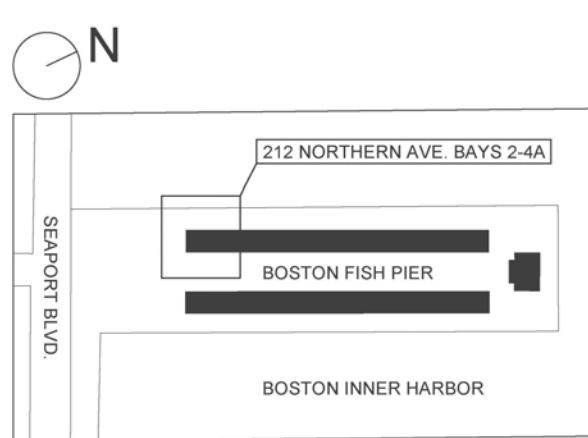
MAX TRAVEL DISTANCE:
AS PER TABLE 1015.1 = (200'-0")
MAX TRAVEL DISTANCE = 37'-5"

FINISHES:
FLAME SPREAD AND SMOKE DEVELOPMENT TEST RESULTS ARE TO BE PROVIDED FOR ALL FINISHES. UPHOLSTERED SEATING AND DRAPERIES ARE SUBJECT TO FIRE PREVENTION REGULATIONS
(F527-CMR, CAL 133 FOR SEATING AND NFPA 701 FOR DRAPERIES)

WULF'S FISH

MASSACHUSETTS

DATE: 11 19 15

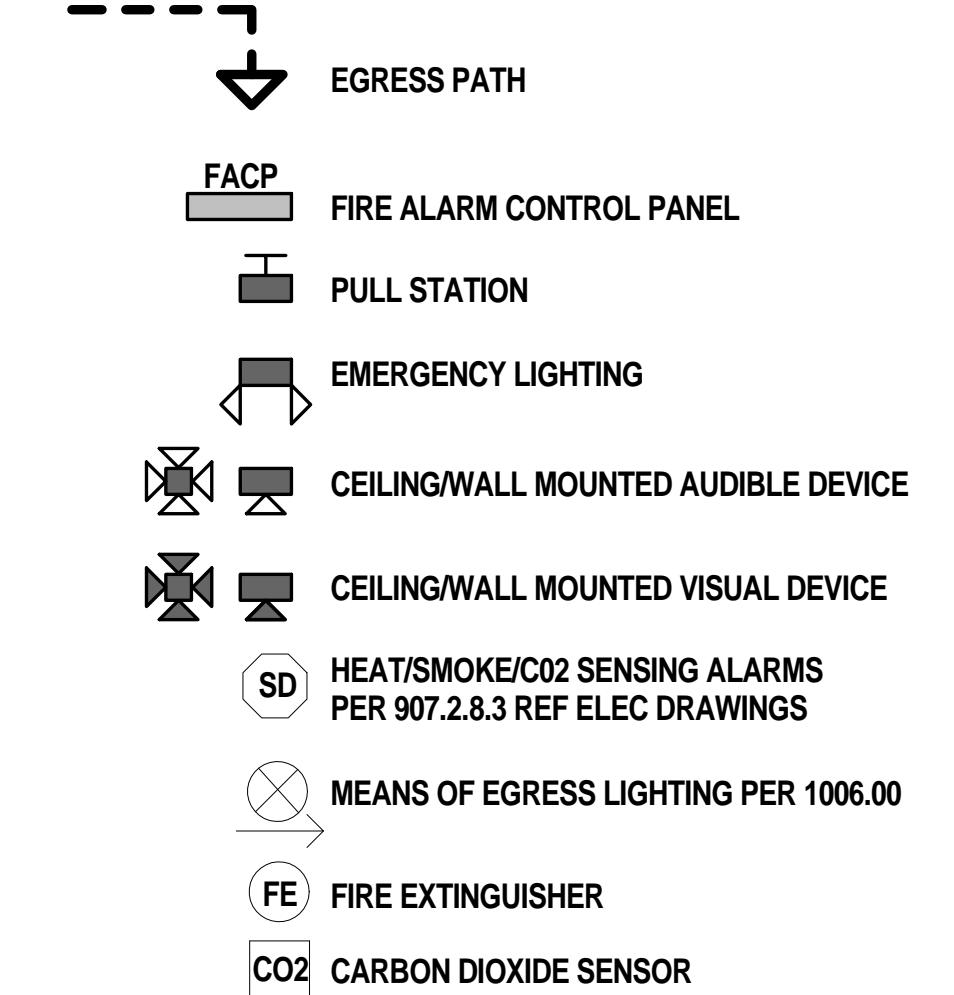
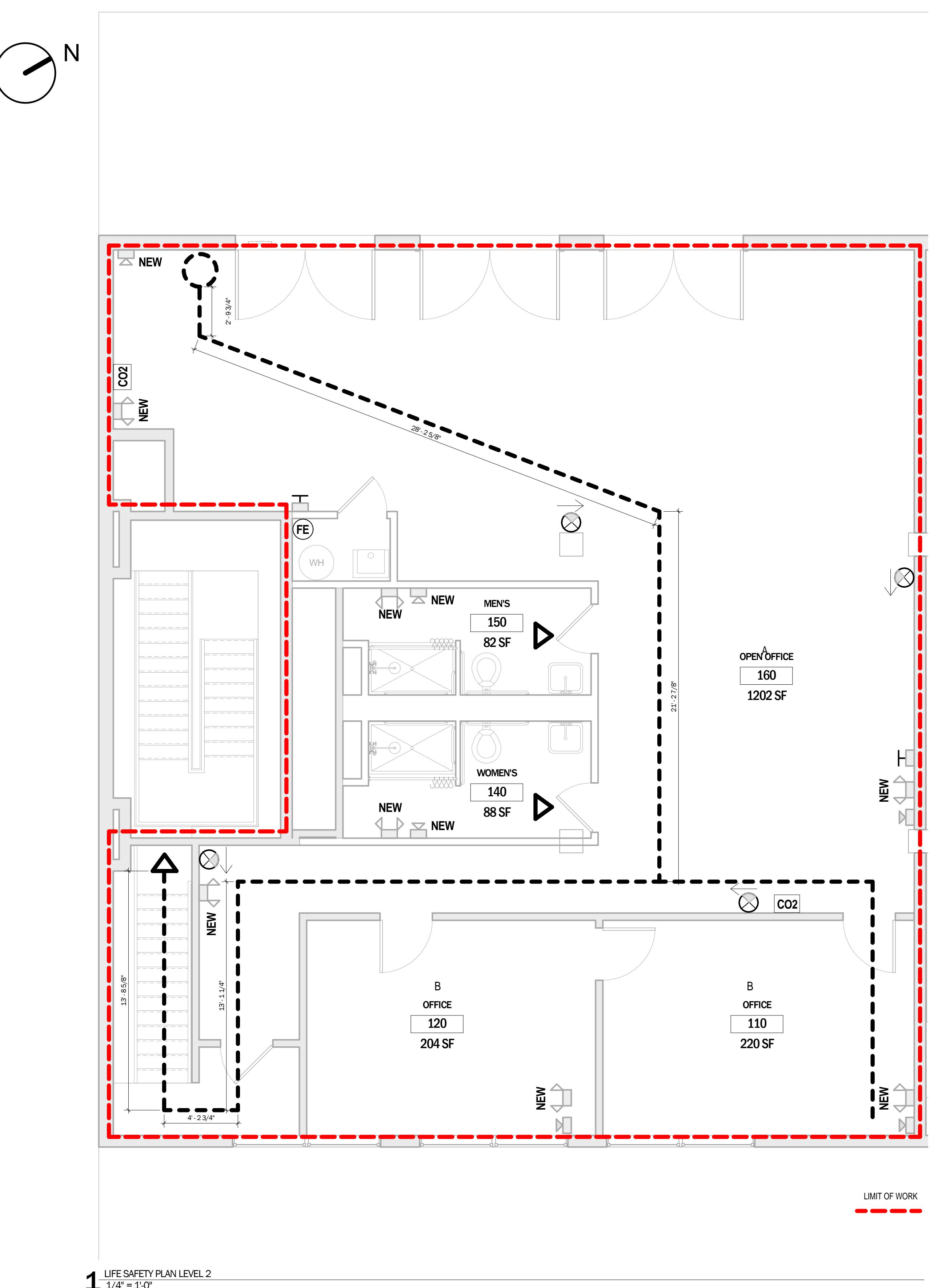


SCALE: As indicated

LIFE SAFETY FIRST FLOOR

G-002

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WULF'S FISH
212 NORTHERN AVE. BAYS 2-4A, BOSTON,
MASSACHUSETTS

CODE SUMMARY

PROJECT:

212 NORTHERN AVE. BAYS 2-4A, BOSTON FISH PIER, BOSTON, MA

DESCRIPTION:

INTERIOR RENOVATION IN AN EXISTING BUILDING APPROXIMATELY 1,900 SQUARE FEET

APPLICABLE CODES:

INTERNATIONAL BUILDING CODE 2009 8TH EDITION
780 CMR - MA AMENDMENTS TO IBC
MASSACHUSETTS ARCHITECTURAL ACCESS BOARD GUIDELINES

USE GROUP:
F-1:LIGHT INDUSTRIAL
B: OFFICE

OCCUPANCY:
B: 100 S.F./OCCUPANT GROSS
F-1: 100 S.F./OCCUPANT GROSS

B:100 S.F./OCCUPANT GROSS, 108 S.F. NET= 1 STAFF
F-1: 100 S.F./OCCUPANT GROSS, 1792 S.F. NET= 18 STAFF

TOTAL: 19 OCCUPANTS @ 100 S.F/PERSON

EGRESS DOOR WIDTH:
19 MAX. OCCUPANTS x 0.15 = 2.85"
19' PROVIDED

NUMBER OF EXITS FOR OCCUPANT LOAD:
500 OR LESS REQUIRES 2 EXITS
2 PROVIDED

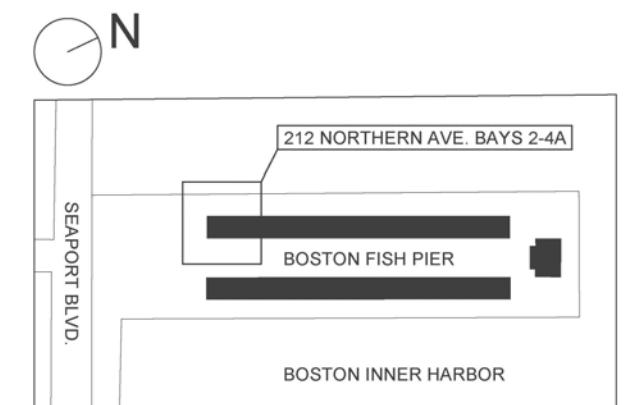
MAX TRAVEL DISTANCE:
AS PER TABLE 1015.1 = (200'-0")
MAX TRAVEL DISTANCE = 72'-6"

FINISHES:
FLAME SPREAD AND SMOKE DEVELOPMENT TEST RESULTS ARE TO BE PROVIDED FOR ALL FINISHES. UPHOLSTERED SEATING AND DRAPERY ARE SUBJECT TO FIRE PREVENTION REGULATIONS (527 CMR, CAL 133 FOR SEATING AND NFPA 701 FOR DRAPERY)

PROJECT: 1501

No.	Description	Date
1	TAA RESUBMISSION	6/19/15

DATE: 11.19.15



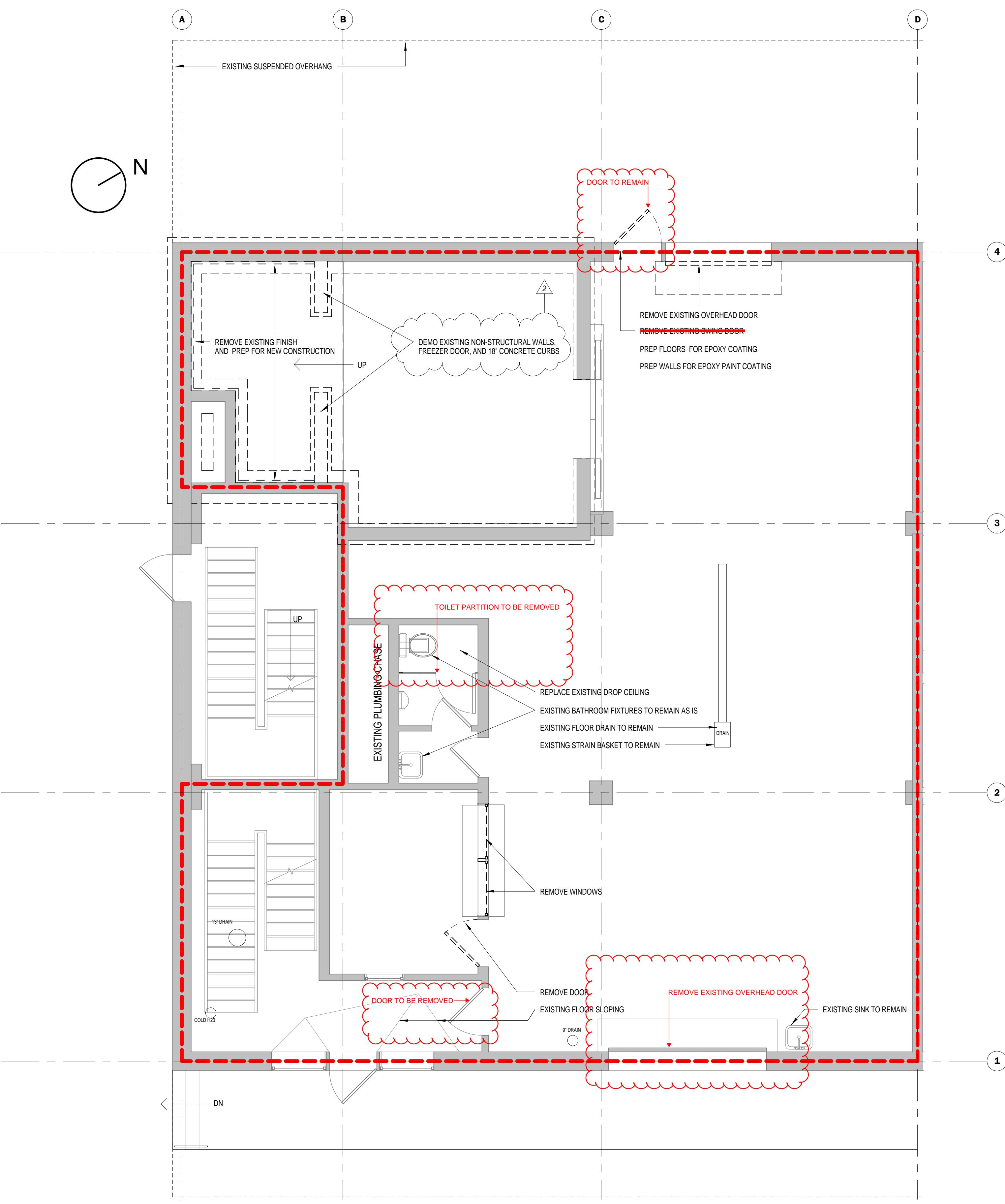
SCALE: As indicated

LIFE SAFETY SECOND FLOOR

G-003

PERMIT SET

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1 LEVEL 1 DEMO PHASE 1
1/4" = 1'-0"

11/19/2015 11:49:33 AM

DEMOLITION GENERAL NOTES

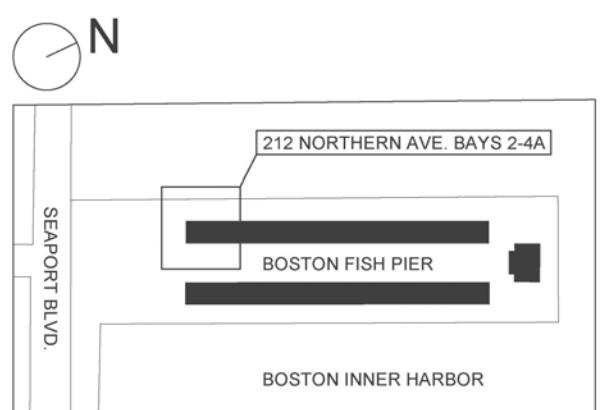
1. THERE SHALL BE A PRE-DEMOLITION CONFERENCE PRIOR TO PROCEEDING WITH THE DEMOLITION WORK ATTENDED BY REPRESENTATIVES OF THE OWNER, THE ARCHITECT, THE CONTRACTOR AND SUBCONTRACTORS PARTICIPATING IN DEMOLITION ACTIVITIES. THE OWNER AND THE CONTRACTOR SHALL COORDINATE THE PARTICIPATION OF HAZARDOUS MATERIAL ABATEMENT SUBCONTRACTORS.
2. THE CONTRACTOR SHALL INSPECT THE SITE PRIOR TO BIDDING AND FAMILIARIZE HIMSELF WITH THE NATURE OF DEMOLITION REQUIRED BY THIS CONTRACT AND THE CONDITIONS AND ENVIRONMENT UNDER WHICH DEMOLITION IS TO BE ACCOMPLISHED.
3. PREPARE FOR AND PROTECT THE SAFETY AND FUNCTION OF ALL EXISTING SERVICES TO REMAIN DURING DEMOLITION AND CONSTRUCTION IN A MANNER ACCEPTABLE TO THE OWNER. PROTECT THE ACTIVE, OCCUPIED AND OPERATIONAL PARTS OF THE FACILITY FROM CONSTRUCTION ACTIVITIES.
4. GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING OPERATIONAL ACCESS TO, AND EGRESS FROM, THE EXISTING OCCUPIED BUILDINGS DURING DEMOLITION AND CONSTRUCTION FOR THOSE AREAS INFLUENCED BY THE PROJECT. COORDINATE ALL FENCING, LIMITS OF WORK, WORKER'S PARKING, ACCESS, EGRESS AND SERVICES WITH OWNER'S REPRESENTATIVE. MAINTAIN EMPLOYEE ENTRANCE AND CIRCULATION AREAS. DO NOT BLOCK REQUIRED EGRESS ROUTES.
5. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND THE OWNER'S SECURITY CONSULTANT TO ENSURE THAT THERE ARE CLEAR AND SECURE BOUNDARIES AT ALL TIMES.
6. MAINTAIN STABLE ENVIRONMENT FOR EXISTING BUILDING TO REMAIN AT ALL TIMES. CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO ENSURE THAT THE TEMPERATURE IN ANY AND ALL PORTIONS OF THE EXISTING BUILDING TO REMAIN STAYS ABOVE 55 DEGREES FAHRENHEIT AT ALL TIMES.
7. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PLANNING, DESIGN, SEQUENCING AND IMPLEMENTATION OF TEMPORARY SHORING AND BRACING AND THE RELATED STRUCTURAL STABILITY OF BOTH NEW AND EXISTING STRUCTURE DURING DEMOLITION AND CONSTRUCTION. TEMPORARY SHORING IS DEEMED CONTRACTOR'S MEANS AND METHODS.
8. NO FRAMING OR STRUCTURAL MEMBERS ARE TO BE MODIFIED, ALTERED OR CUT WITHOUT APPROVAL OF THE ARCHITECT/ENGINEER UNLESS INDICATED ON THE PLANS.
9. CUT OFF, CAP AND MAKE SAFE ALL UNUSED OR ABANDONED-IN-PLACE UTILITIES OR MECHANICAL/PLUMBING/ELECTRICAL INFRASTRUCTURE IN ACCORDANCE WITH SPECIFIED REQUIREMENTS, CODES, AND PUBLIC AGENCY REQUIREMENTS - TO THE POINT OF INCOMING SERVICE.
10. VERIFY ALL EXISTING FIRE ALARM AND SECURITY PROTECTION SYSTEMS WHICH ARE TO BE MAINTAINED OPERATIONAL. HVAC TIE-INS AND SHUTDOWNS SHALL BE COORDINATED WITH THE FACILITY. FIRE ALARM AND/OR SECURITY ALARM SHUT DOWNS SHALL BE COORDINATED.
11. WHERE CONCRETE, MASONRY, OR STONE WORK IS REQUIRED TO BE CUT FOR OPENINGS, CUTTING SHALL BE DONE BY ABRASIVE WHEELS, SAWS OR CORING. NO JACKHAMMERS WILL BE ALLOWED AT THESE AREAS UNLESS APPROVED. AT ENDS OF CUT MASONRY TO REMAIN, REPAIR AND NEATLY SQUARE ENDS WITH TOOTHED-IN MASONRY WORK TO ADDRESS ANY VOIDS OR DAMAGE, AND RETURN TO FULL INTEGRITY, AS NEW. LINTEL POCKETS SHALL BE NEATLY CUT IN AND NEATLY CONFIGURED.
12. WITHIN THE CONTRACT LIMITS, THE ESTABLISHMENT OF THE REQUIREMENTS FOR TESTING, IDENTIFICATION, HANDLING, PROPER DISPOSAL AND MITIGATION OF HAZARDOUS MATERIALS IS BY THE OWNER. AT A MINIMUM, THE CONTRACTOR'S MANAGEMENT OF HAZARDOUS MATERIALS SHALL COMPLY WITH LAWS & REGULATIONS OF PUBLIC AGENCIES WITH JURISDICTION, COMPLY WITH OSHA REQUIREMENTS. THE GENERAL CONTRACTOR SHALL PERFORM ABATEMENT OF HAZARDOUS MATERIALS, INCLUDING BUT NOT LIMITED TO ASBESTOS AND LEAD PAINT, ENCOUNTERED AND DISTURBED ON THE PROJECT IN ACCORDANCE WITH THE OWNER'S SPECIFICATIONS AND TESTING PROGRAM FOR ASSESSMENT/HAZARDOUS MATERIALS. THE CONTRACTOR SHALL PERFORM ABATEMENT ACTIVITIES IN A TIMELY MANNER SO AS TO MAINTAIN ACCEPTABLE SCHEDULE AND PROGRESS OF THE WORK.
13. DIMENSIONS INDICATING THE EXTENT OF MATERIAL TO BE REMOVED AND NOTES REGARDING THE LOCATION, SIZE AND QUANTITY OF PENETRATIONS THROUGH EXISTING MATERIAL, WHERE INDICATED ON THE DEMOLITION DRAWINGS, ARE INCLUDED FOR BASIC SCOPING PURPOSES ONLY. IN ALL CASES CONTRACTOR SHALL CONFIRM AND FULLY COORDINATE WITH THE REQUIREMENTS OF ALL NEW WORK BEFORE PROCEEDING WITH ANY DEMOLITION ACTIVITY.
14. NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH DEMOLITION SHOULD ACTIVITIES IN THE FIELD REVEAL UNEXPECTED CONDITIONS OR IF REQUIRED SCOPE OF DEMOLITION WOULD APPEAR TO CONTRADICT OR CHANGE FUTURE CONSTRUCTION REQUIREMENTS.
15. MAINTAIN A COMPLETE ROOF DRAINAGE SYSTEM AT ALL TIMES. INSTALL TEMPORARY LEADERS AS REQUIRED. CONNECTION OF RAIN LEADERS SHALL BE TO THE STORM WATER DRAINAGE SYSTEM OR AS APPROVED BY GOVERNING REGULATORY AGENCY.
16. PATCH AND REPAIR ANY DAMAGE TO EXISTING SPRAY FIRE PROOFING THAT OCCURS DURING THE COURSE OF DEMOLITION. MAINTAIN ALL EXISTING STRUCTURAL COMPONENTS, INCLUDING THEIR FIRE-RESISTIVE COMPONENTS, AND NOTIFY THE ARCHITECT OF ANY DAMAGE DISCOVERED THROUGH CONSTRUCTION ACTIVITIES.
17. THE CONTRACTOR IS RESPONSIBLE FOR PATCHING/REPAIRING OR FIXING ANY PORTION OF EXISTING WALLS, ROOF, FOUNDATION, ETC... TO MATCH ADJACENT. THESE FIXES WILL OCCUR WHERE ABANDONED SERVICES OR UTILITIES ARE BEING REMOVED FROM THE PROJECT.

WULF'S FISH
212 NORTHERN AVE. BAYS 2-4A, BOSTON,
MASSACHUSETTS

PROJECT: 1501

No.	Description	Date
1	TAA RESUBMISSION	6/19/15
2	BULLETIN #1	11/19/15

DATE: 11.19.15



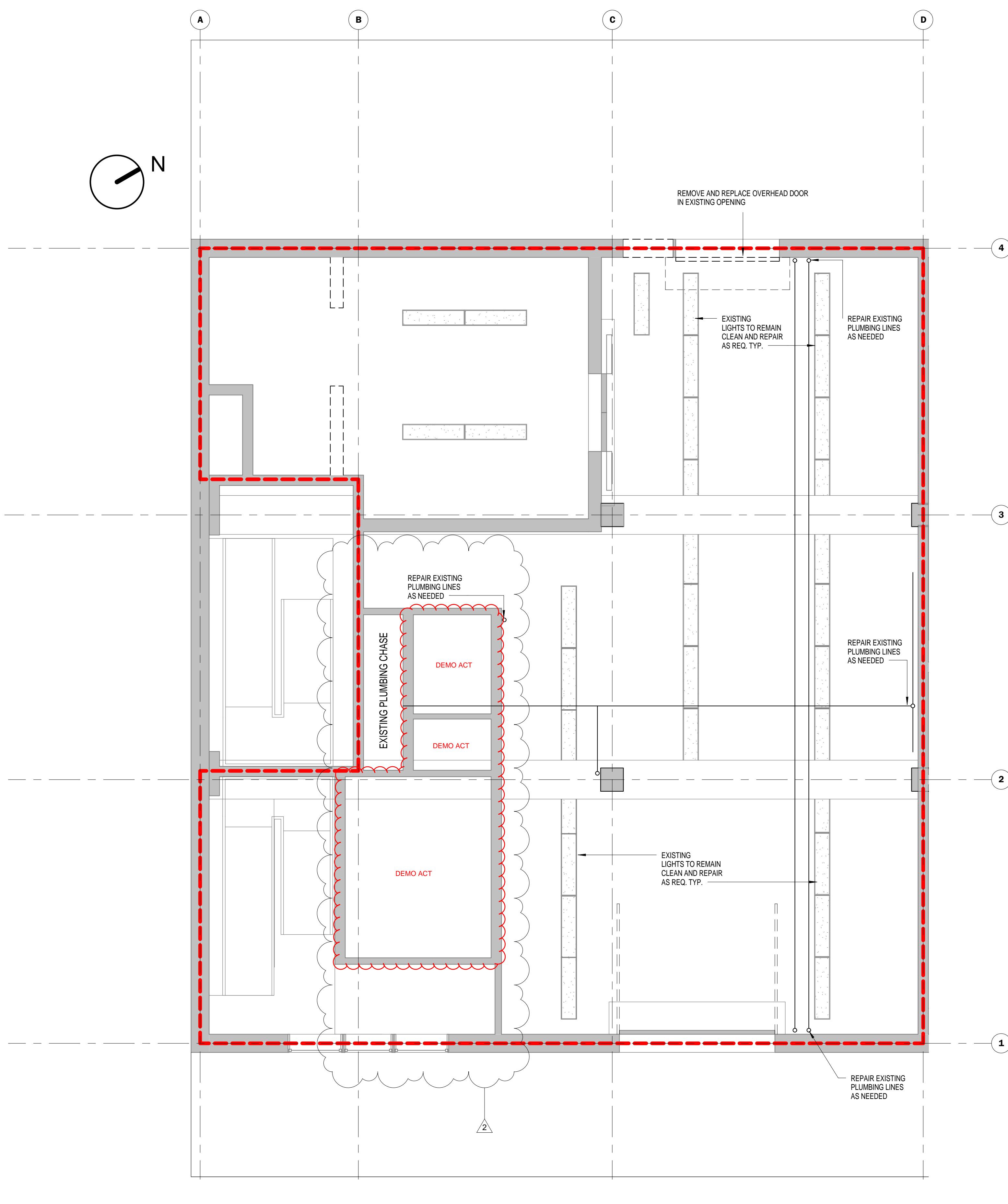
SCALE: 1/4" = 1'-0"

FIRST FLOOR DEMO PLAN

D-101

PERMIT SET

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1 LEVEL 1 DEMO
1/4" = 1'-0"

RCP DEMO GENERAL NOTES:

EXISTING LIGHT FIXTURES TO REMAIN (REFERENCE ELECTRICAL DWGS)
REPAIR ALL EXISTING PLUMBING RUNS AS NEEDED.

DEMOLITION GENERAL NOTES

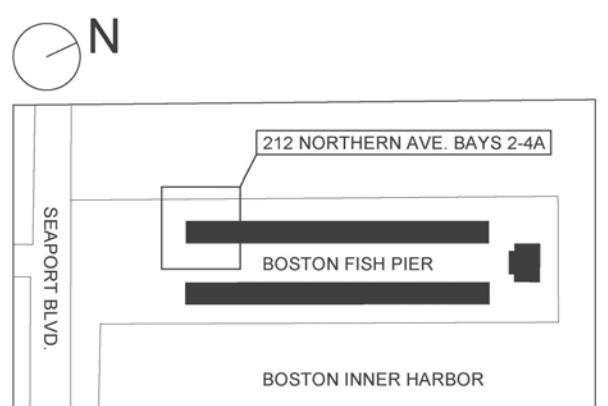
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WULF'S FISH
212 NORTHERN AVE. BAYS 2-4A, BOSTON,
MASSACHUSETTS

PROJECT: 1501

No.	Description	Date
1	TAA RESUBMISSION	6/19/15
2	BULLETIN #1	11/19/15

DATE: 11.19.15

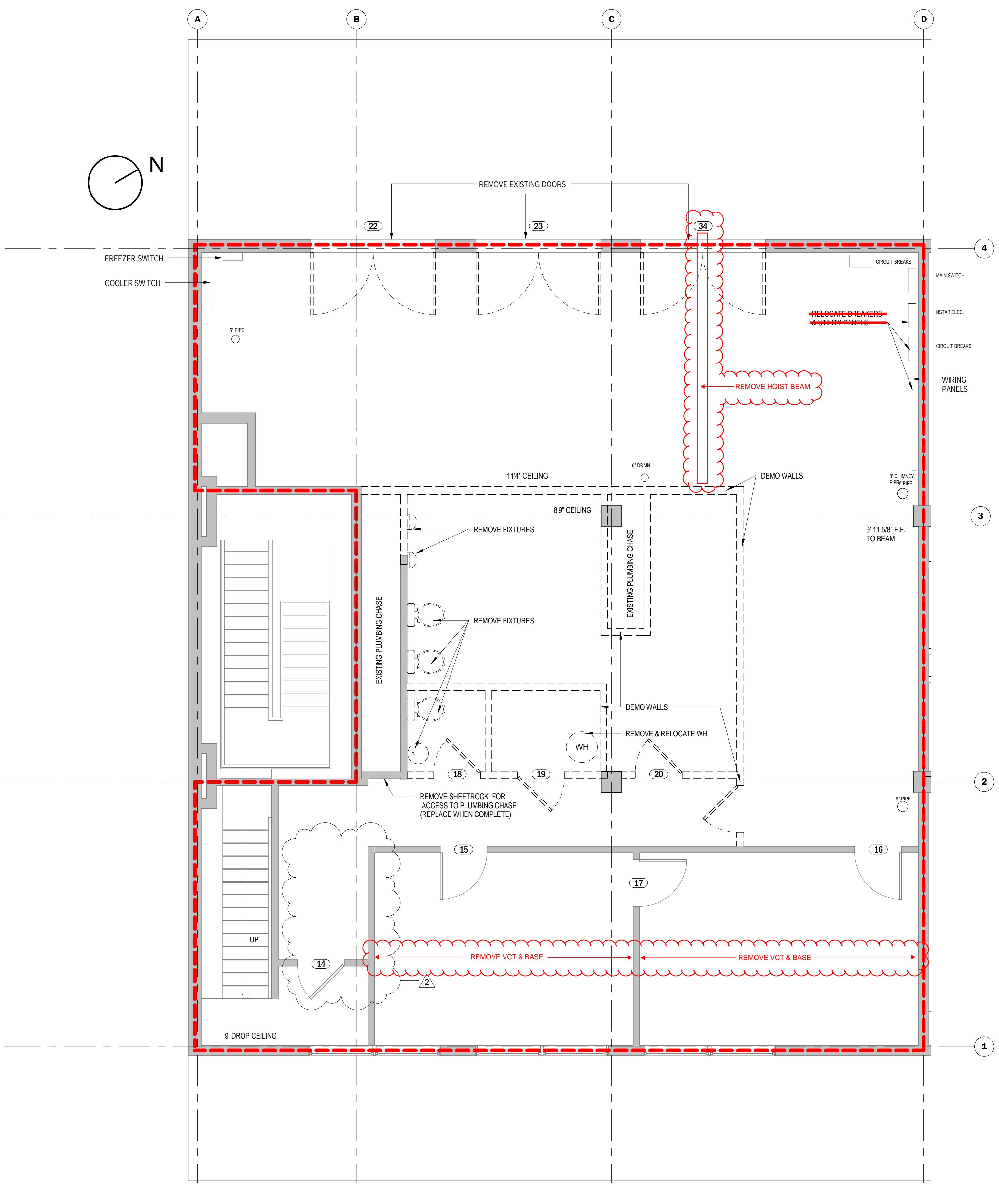


SCALE: 1/4" = 1'-0"

RCP FIRST FLOOR DEMO PLAN

D-102

RODE Architects Inc.
535 Albany Street | 405
Boston, MA 02118
617.422.0090 | T
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1 LEVEL 2
1/4" = 1'-0"

DEMOLITION GENERAL NOTES

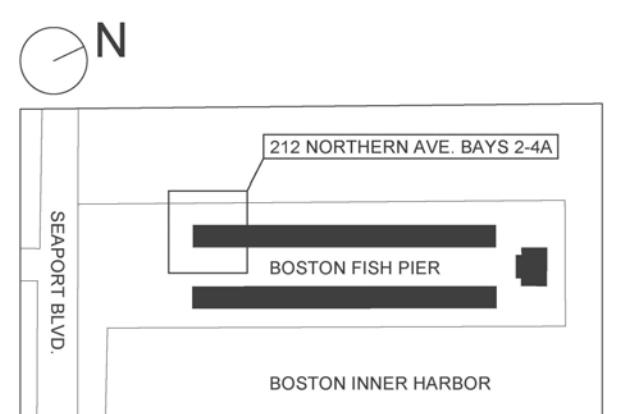
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WULF'S FISH
212 NORTHERN AVE. BAYS 2-4A, BOSTON,
MASSACHUSETTS

PROJECT: 1501

No.	Description	Date
2	BULLETIN #1	11/19/15

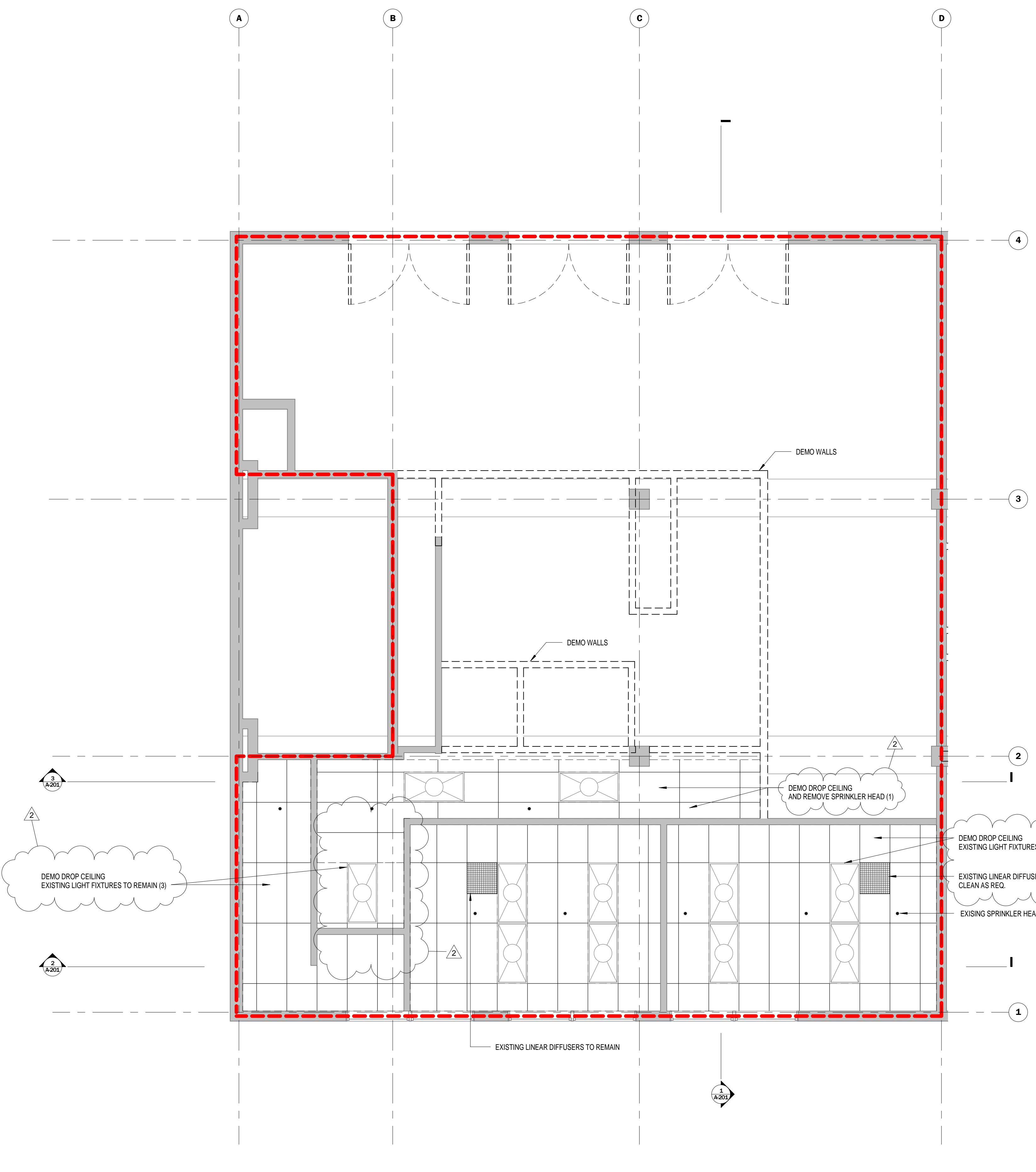
DATE: 11.19.15



SCALE: 1/4" = 1'-0"

**SECOND FLOOR DEMO
PLAN****D-103**

RODE Architects Inc.
535 Albany Street | 405
Boston, MA 02118
617.422.0090 | T
617.422.0094 | F
rodearchitects.com



1 LEVEL 2
1/4" = 1'-0"

DEMOLITION GENERAL NOTES

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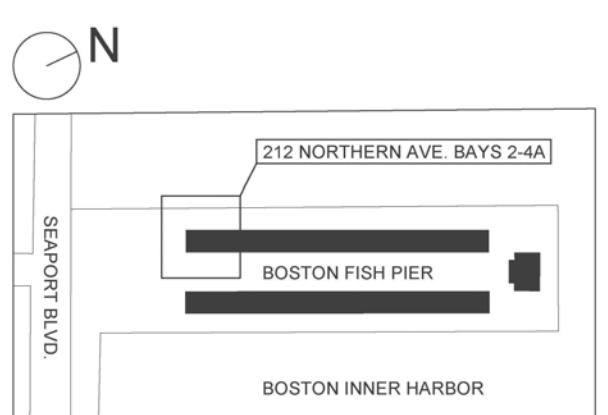
WULF'S FISH

212 NORTHERN AVE. BAYS 2-4A, BOSTON,
MASSACHUSETTS

PROJECT: 1501

No.	Description	Date
2	BULLETIN #1	11/19/15

DATE: 11.19.15



SCALE: 1/4" = 1'-0"

RCP SECOND FLOOR
DEMO PLAN

D-104

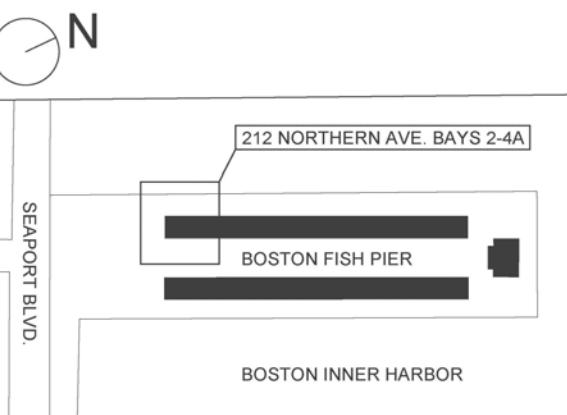
RODE Architects Inc.
35 Albany Street | 405
Boston, MA 02118
17.422.0090 | T
17.422.0094 | F
rodearchitects.com

WULF'S FISH

12 NORTHERN AVE. BAYS 2-4A, BOSTON,
MASSACHUSETTS

PROJECT: 1501

DATE: 11.19.15

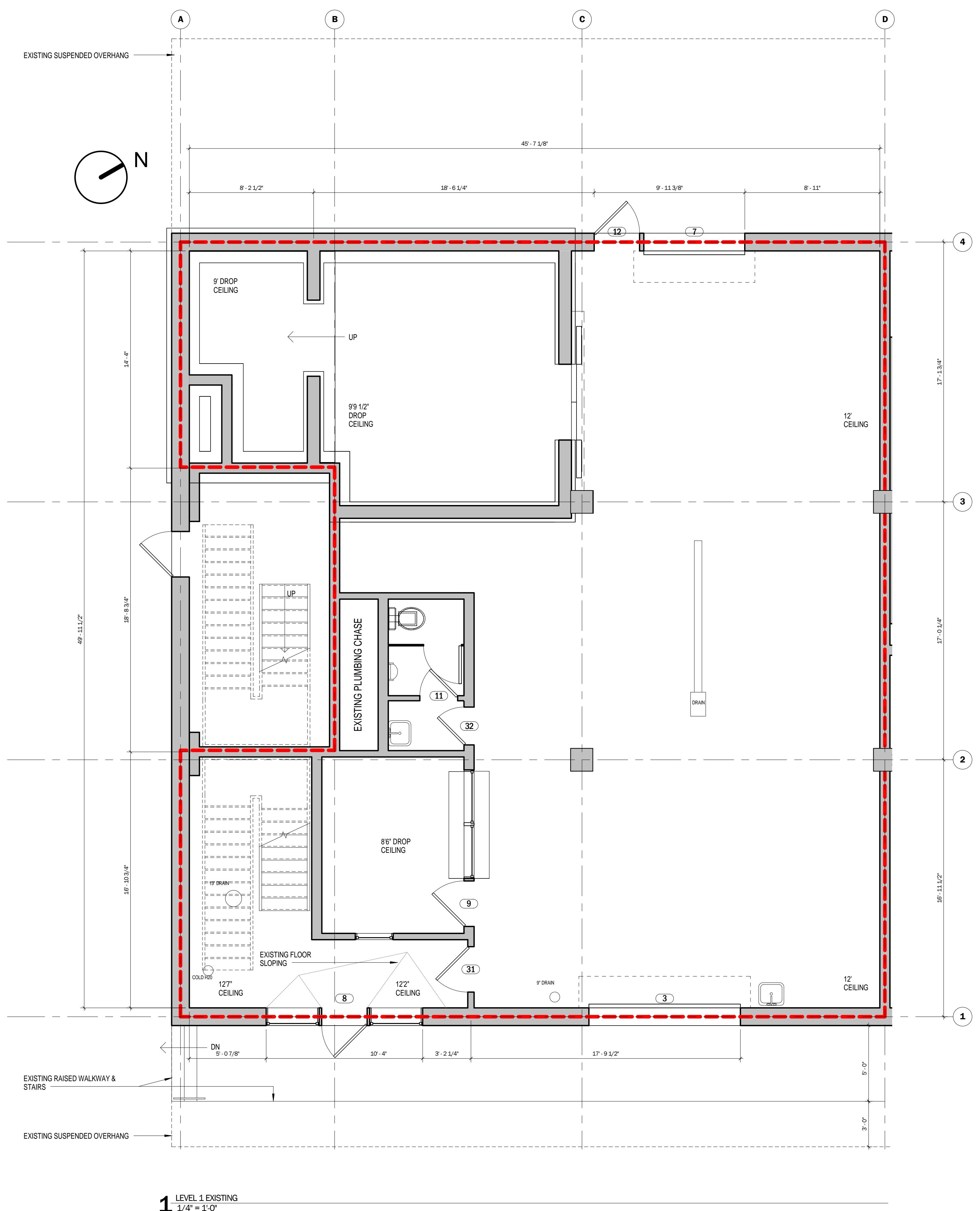


CALE: $\frac{1}{4}$ " = 1'-0"

FIRST FLOOR PLAN

EXISTING

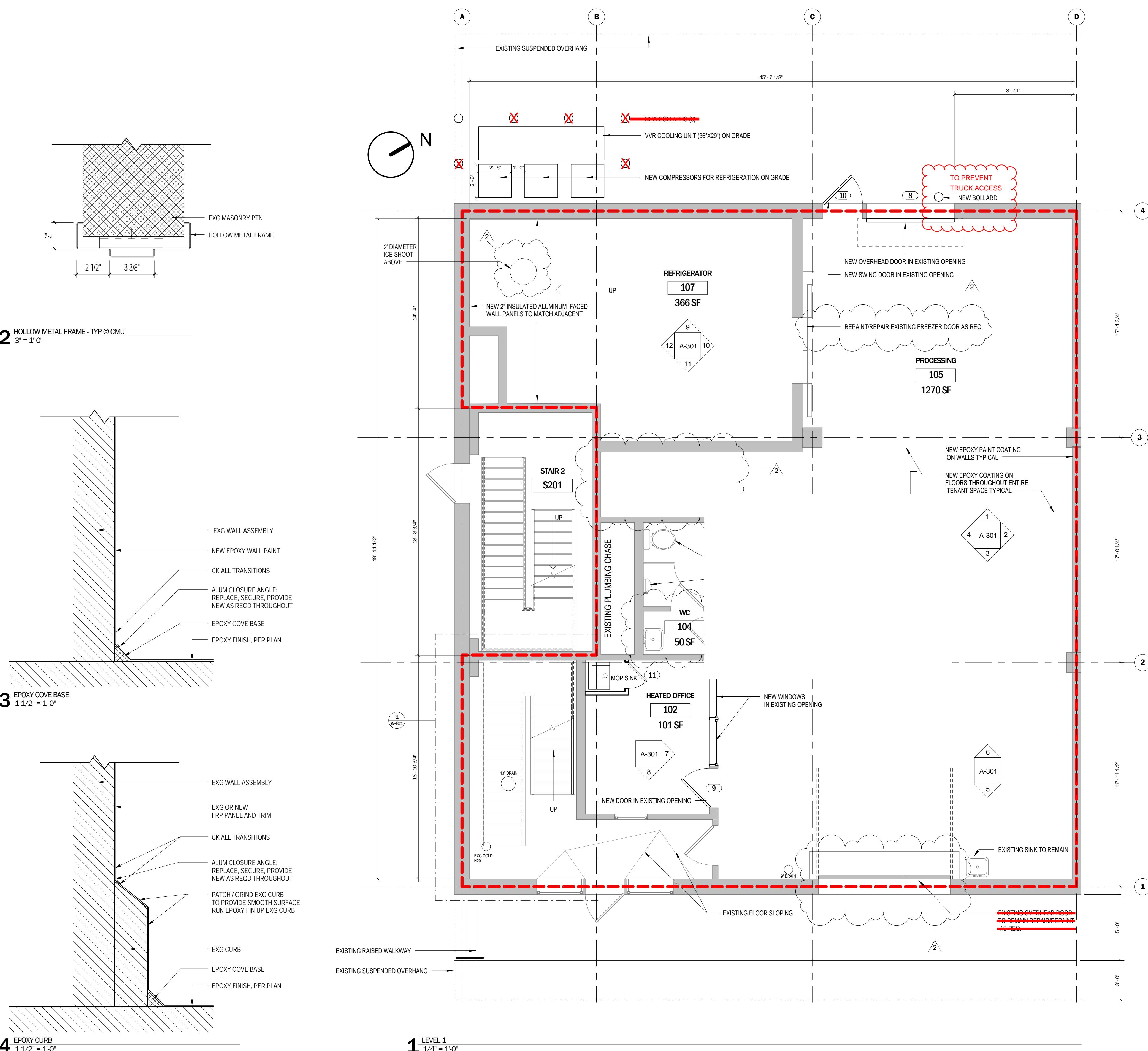
A-101



THIS DRAWING REFLECTS AS-BUILT CONDITIONS AS CERTIFIED BY RODE ARCHITECTS INC. 3/17/2015

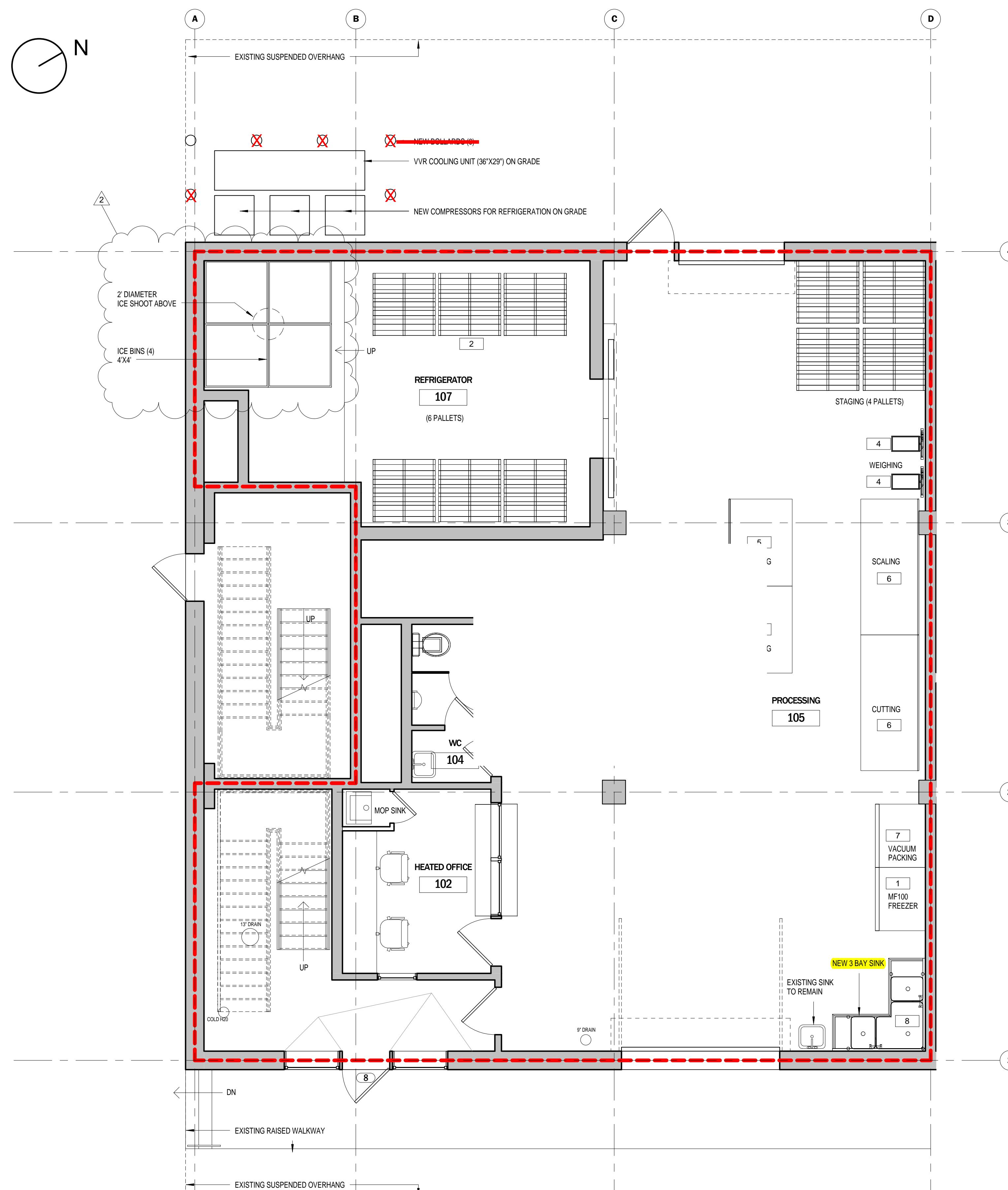
PERMIT SET

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1 LEVEL 1 EQUIPMENT PLAN PHASE 1
1/4" = 1'-0"

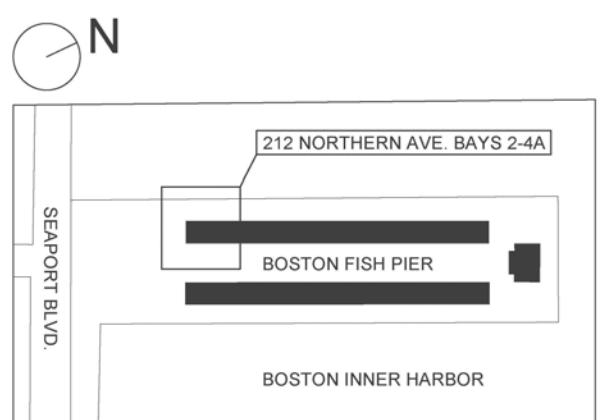
Specialty Equipment Schedule				
Type Mark	Name	Count	Comments	Cost
1	MF 100 FREEZER	1	OWNER PROVIDED	
2	4'X4' PALLET	10	OWNER PROVIDED	
3	HOWE 4000-LR ICE MAKER	1	OWNER PROVIDED	
4	FISH SCALES	2	OWNER PROVIDED	
5	PACKAGING TABLE	2	OWNER PROVIDED	
6	FISH TRAY TABLE	2	OWNER PROVIDED	
7	VACUUM PACKAGING	1	OWNER PROVIDED	
8	3 BAY CORNER SINK	1	GC PROVIDED	
9	OFFICE DESK	1	OWNER PROVIDED	

WULF'S FISH
212 NORTHERN AVE. BAYS 2-4A, BOSTON,
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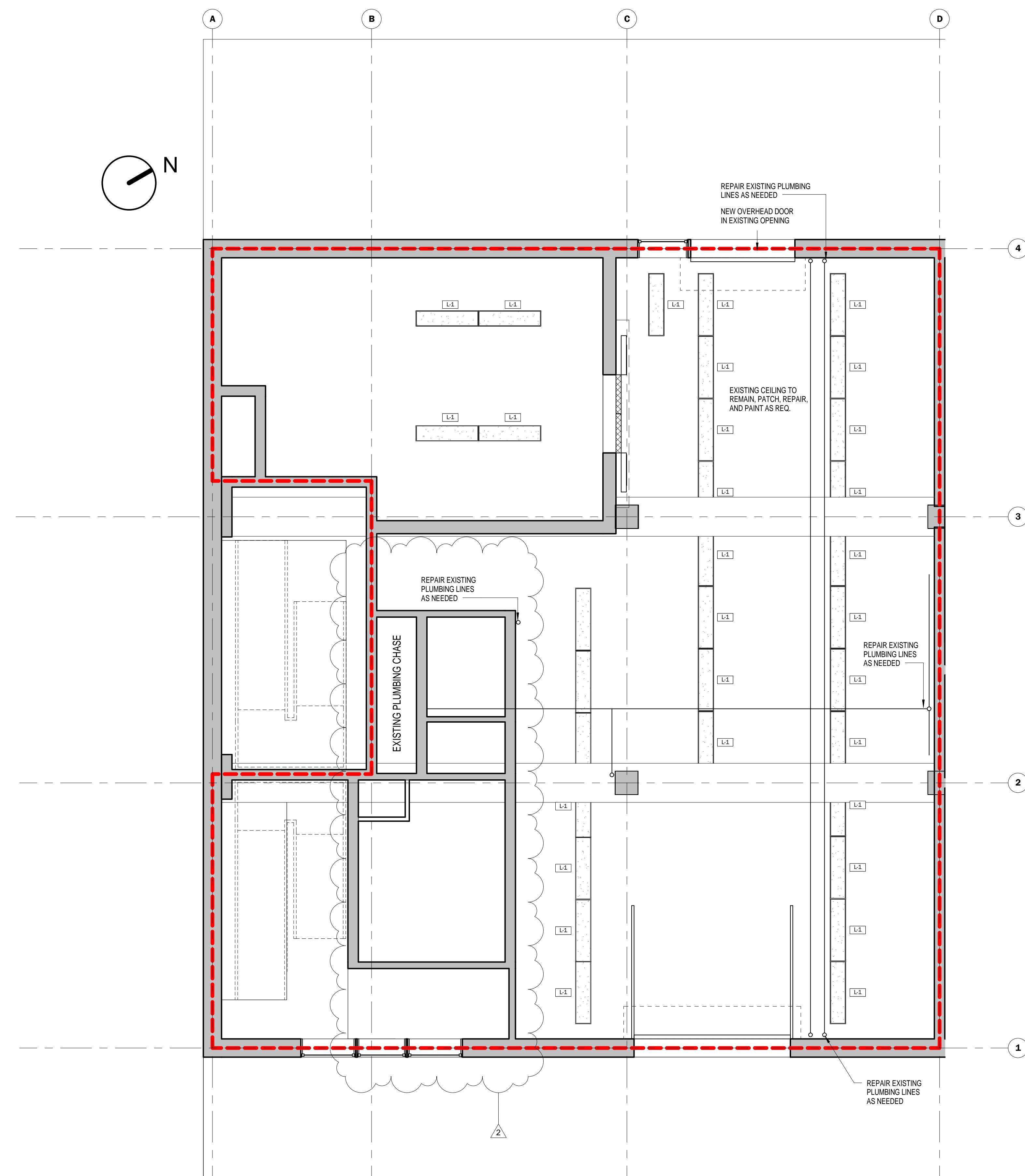
SCALE: 1/4" = 1'-0"

**FIRST FLOOR EQUIPMENT
PLAN**

A-121

PERMIT SET

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535 Albany Street | 405
Boston, MA 02118
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**RCP GENERAL NOTES:**

REPAIR ALL EXISTING PLUMBING RUNS AS NEEDED.
EXISTING CEILING TO REMAIN. PATCH, REPAIR, AND PAINT AS REQ.
EXISTING LIGHT FIXTURES TO REMAIN (REFERENCE ELECTRICAL DWGS)

Lighting Fixture Schedule First Floor			
Count	Type Mark	Description	Comments
32	L-1	EXISTING FIXTURES	REMAIN AS IS. CLEAN/REPAIR AS REQ.

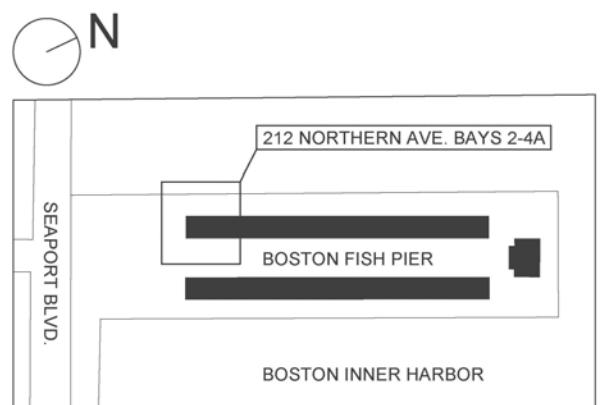
WULF'S FISH

212 NORTHERN AVE. BAYS 2-4A, BOSTON,
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SCALE: 1/4" = 1'-0"

RCP FIRST FLOOR1 LEVEL 1
1/4" = 1'-0"**A-131**

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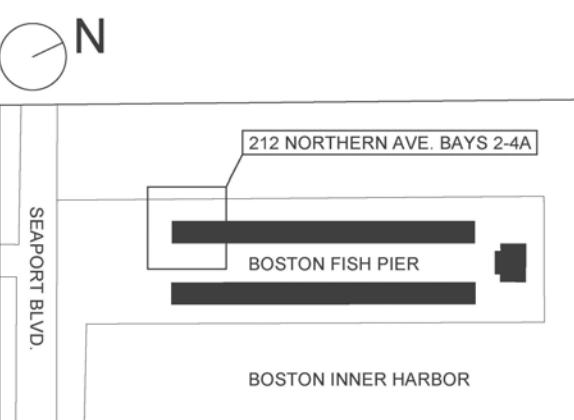
WULF'S FISH

12 NORTHERN AVE. BAYS 2-4A, BOSTON,
MASSACHUSETTS

PROJECT: 1501

D.	Description	Date

DATE: 11.19.15



SCALE: 1/4" = 1'-0"

SECOND FLOOR PLAN

EXISTING



1 LEVEL 2 EXISTING
1/4" = 1'-0"

A-141

PERMIT SET

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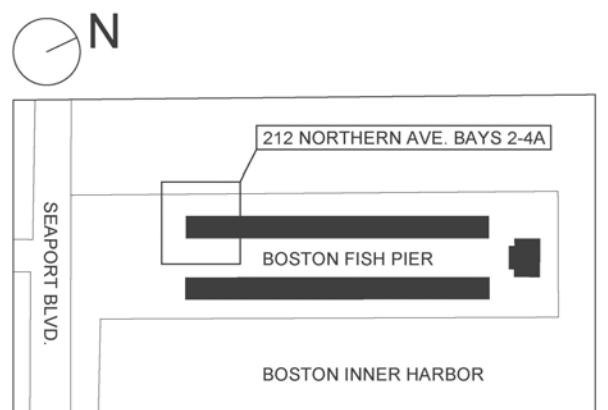
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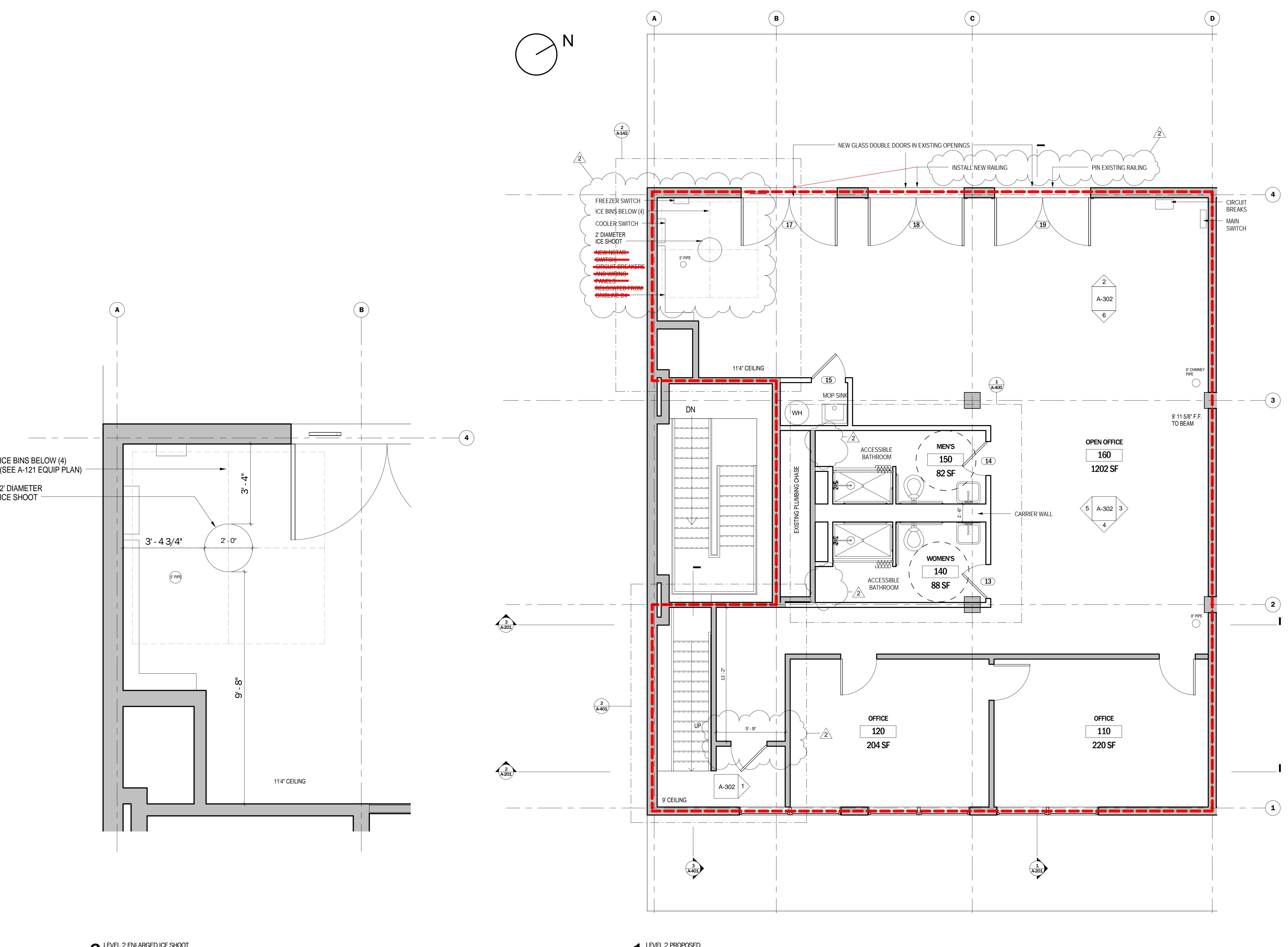
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SCALE: As indicated

PROPOSED SECOND
FLOOR PLAN

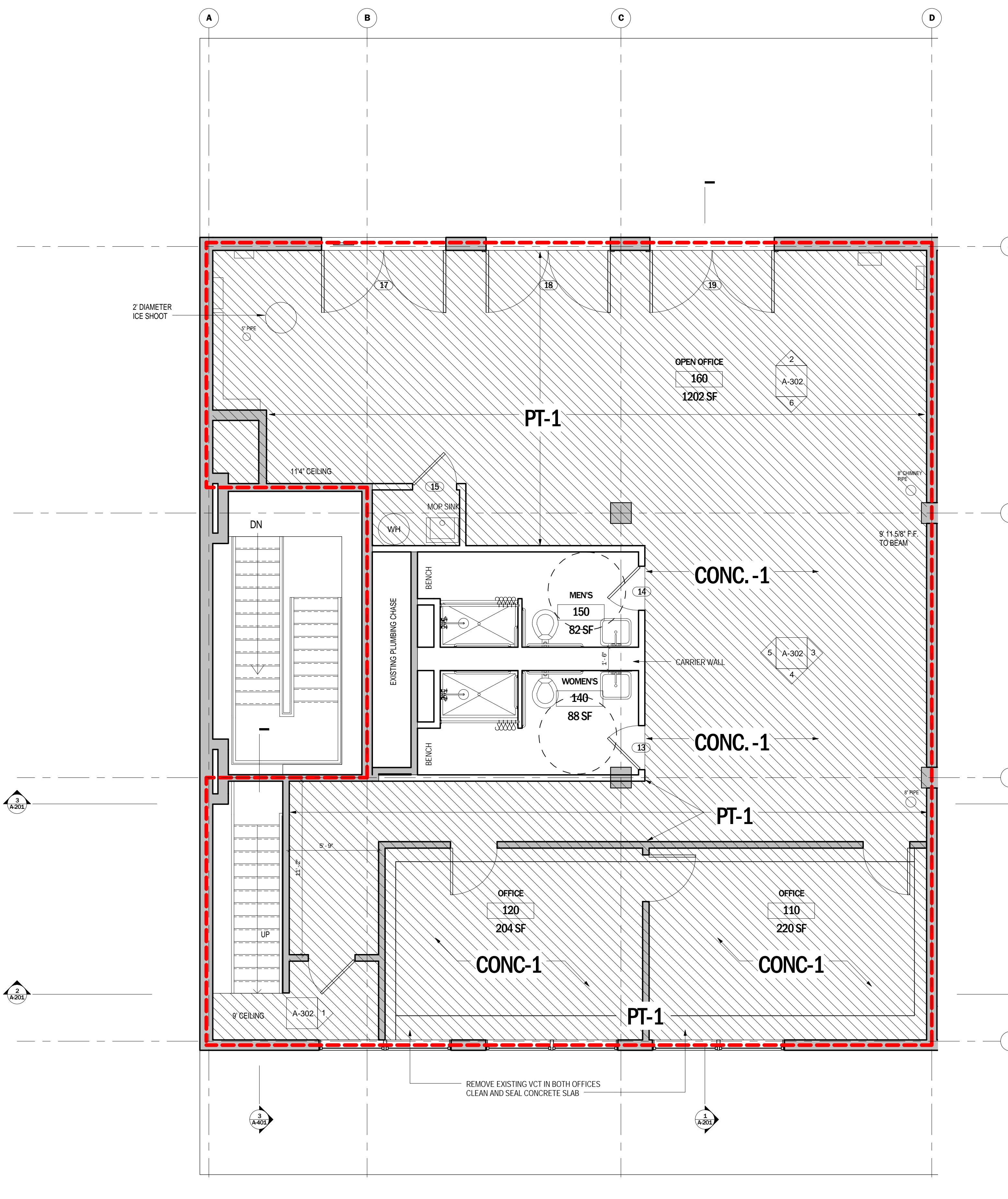
A-142



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Door Schedule Level 2					
Mark	Count	Assembly Description	Width	Height	Comments
13	1	Interior Doors	2' - 10"	7' - 0"	
14	1	Interior Doors	2' - 10"	7' - 0"	
15	1	Interior Doors	2' - 10"	7' - 0"	
17	1	Interior Doors	8' - 0"	7' - 3"	NEW GLASS DOORS IN EXIST. OPENINGS
18	1	Interior Doors	8' - 0"	8' - 10"	NEW GLASS DOORS IN EXIST. OPENING
19	1	Interior Doors	8' - 0"	8' - 10"	NEW GLASS DOORS IN EXIST. OPENING



1 LEVEL 2 FINISH PLAN
1/4" = 1'-0"

NOTE: ALL DOOR FRAMES ARE TO BE WELDED STEEL.
KNOCKDOWN FRAMES ARE NOT ACCEPTABLE

Finish Schedule					
Number	Name	Base Finish	Floor Finish	Wall Finish	Ceiling Finish
120	OFFICE		CONC-1	PT-1	ACT TILE
140	WOMEN'S	B-1 (RUBBER)	CONC-1	REF A-400	ACT TILE
150	MEN'S	B-1 (RUBBER)	CONC-1	REF A-400	ACT TILE
160	OPEN OFFICE		CONC-1	PT-1	EXISTING

WULF'S FISH
212 NORTHERN AVE. BAYS 2-4A, BOSTON,
MASSACHUSETTS

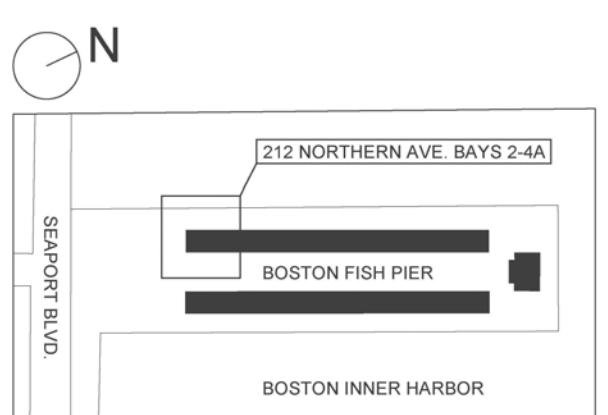
PROJECT: 1501	No. Description Date
	2 BULLETIN #1 11/19/15
DATE: 11.19.15	

GENERAL FINISH NOTES

1. EXISTING CONCRETE FLOOR TO BE CLEANED AND SEALED (CONC-1)
2. ALL WALLS TO BE GYPSUM PAINTED PT-1 UNLESS OTHERWISE NOTED

GENERAL PAINT NOTES

1. BENJAMIN MOORE COLOR
2. ALL WALLS AND CEILINGS TO BE PT-1 UNLESS OTHERWISE NOTED
3. PROVIDE 1 COAT PRIMER AND 2 COATS TOP COAT ALL PAINTED SURFACES.
4. ALL WOOD TRIM SHALL BE SAME COLOR AS ADJACENT WALL IN SEMI-GLOSS FINISH
5. ALL WALLS AND CEILINGS TO BE SCRUBBABLE MATT FINISH
6. PROVIDE MOCK-UP OF PT-2, PT-3, PT-4, IN PLACE FOR ARCHITECT'S APPROVAL. MOCK-UP SHALL BE ON PREPARED WALL, 2' WIDE, FULL HEIGHT, WITH AT LEAST 1' OF PT-1 ON EITHER SIDE. PROPER LIGHTING TO BE PROVIDED FOR VIEWING
7. PAINT GRILLS, WALL DIFFUSERS, ELECTRICAL PANELS, WALL MOUNTED BOXES, ACCESS PANEL WHICH ARE EXPOSED IN
8. FURNISHED SPACES TO MATCH THE SURFACE ON WHICH THEY OCCUR.
9. PAINT SOFFITS P-1 U.N.O.
10. ALL DOORS SHALL BE PAINTED TO MATCH THE WALLS IN WHICH THEY OCCUR. ALL OTHER DOORS, FINISH TBD.



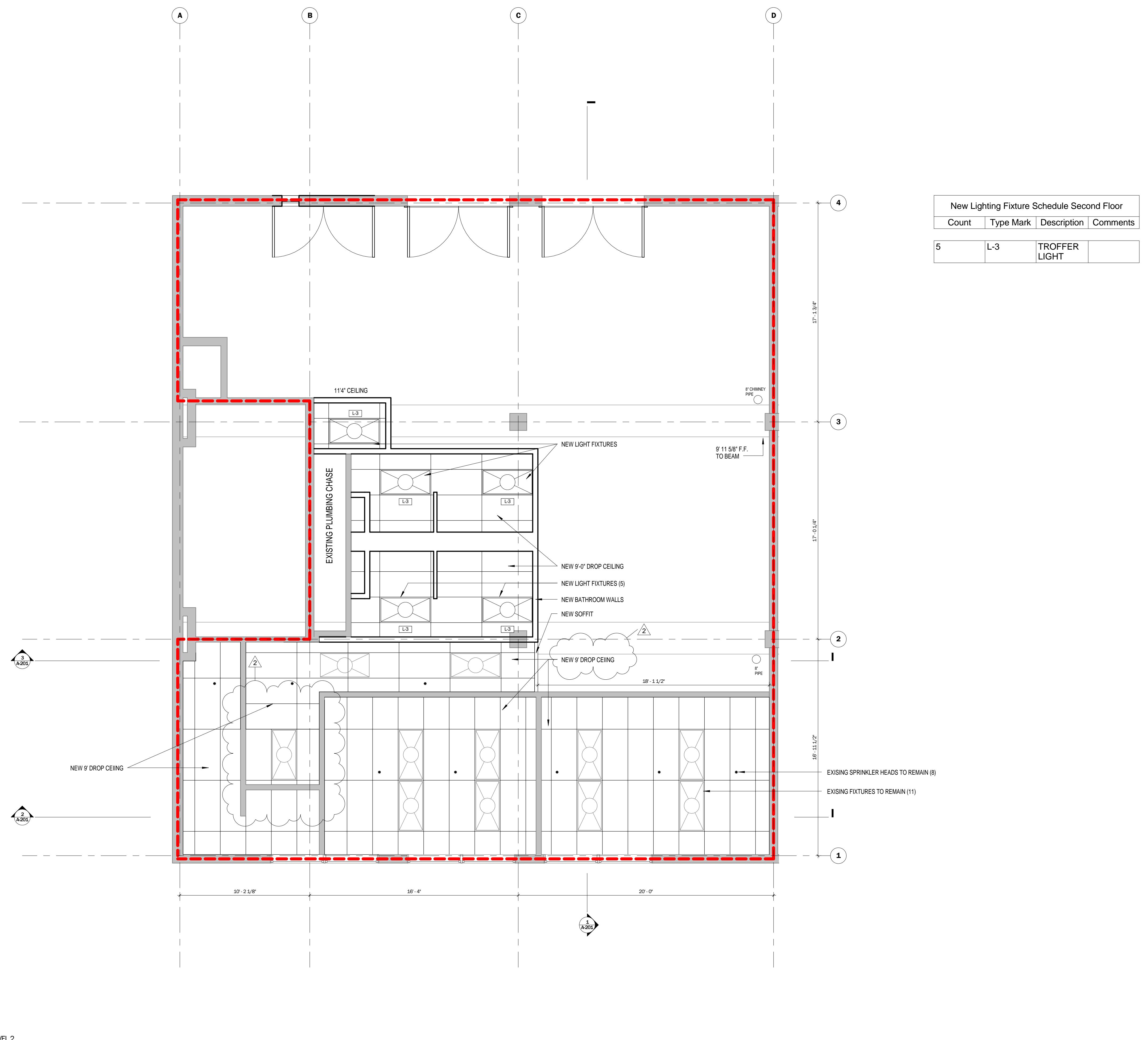
SCALE: As indicated

SECOND FLOOR FINISH PLAN

A-143

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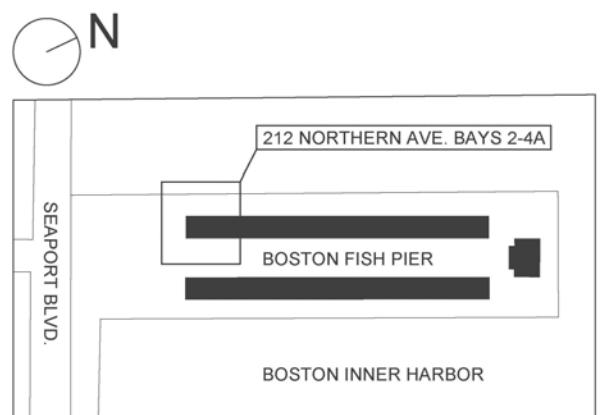
**WULF'S FISH**

212 NORTHERN AVE. BAYS 2-4A, BOSTON,
MASSACHUSETTS

PROJECT: 1501

No.	Description	Date
2	BULLETIN #1	11/19/15

DATE: 11.19.15



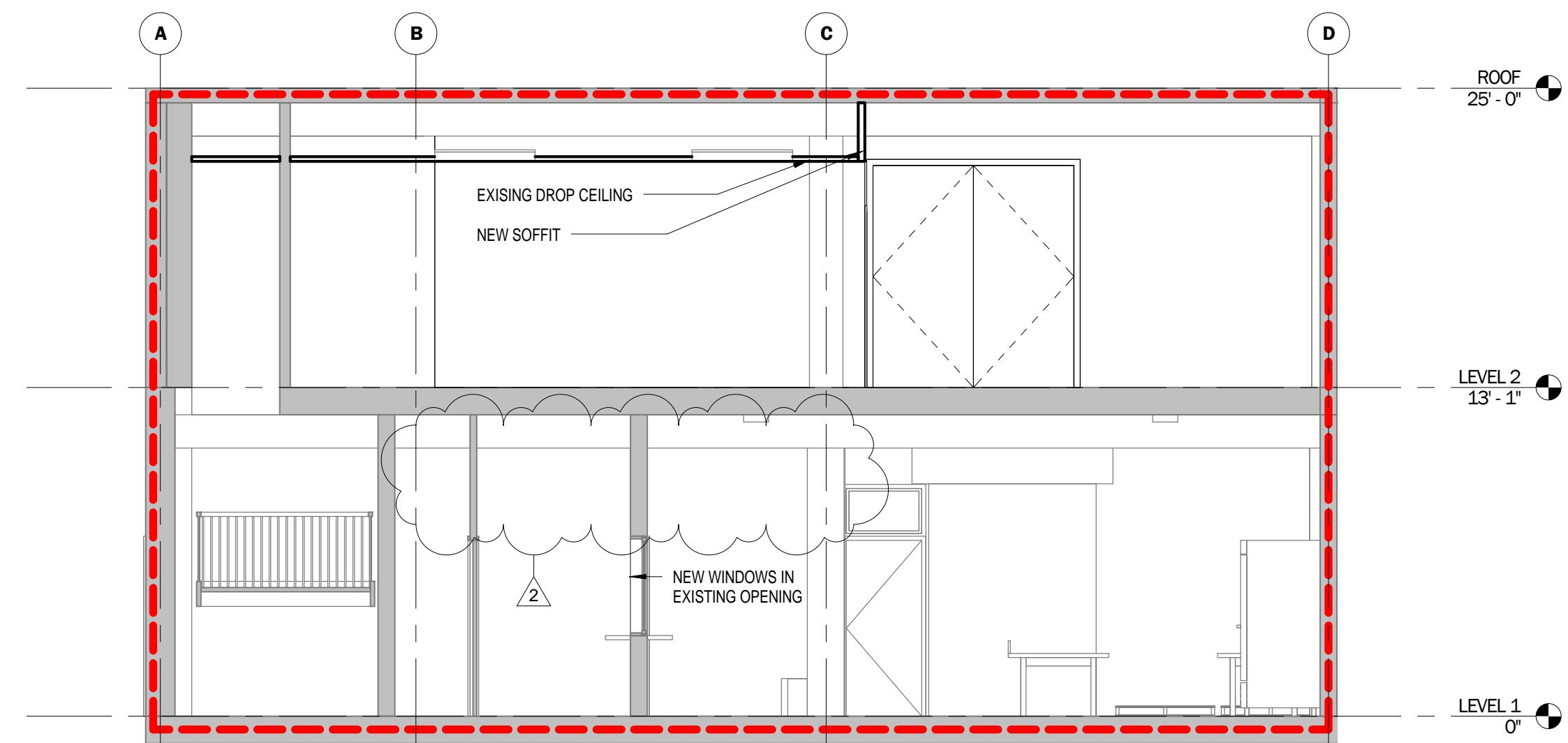
SCALE: 1/4" = 1'-0"

RCP SECOND FLOOR

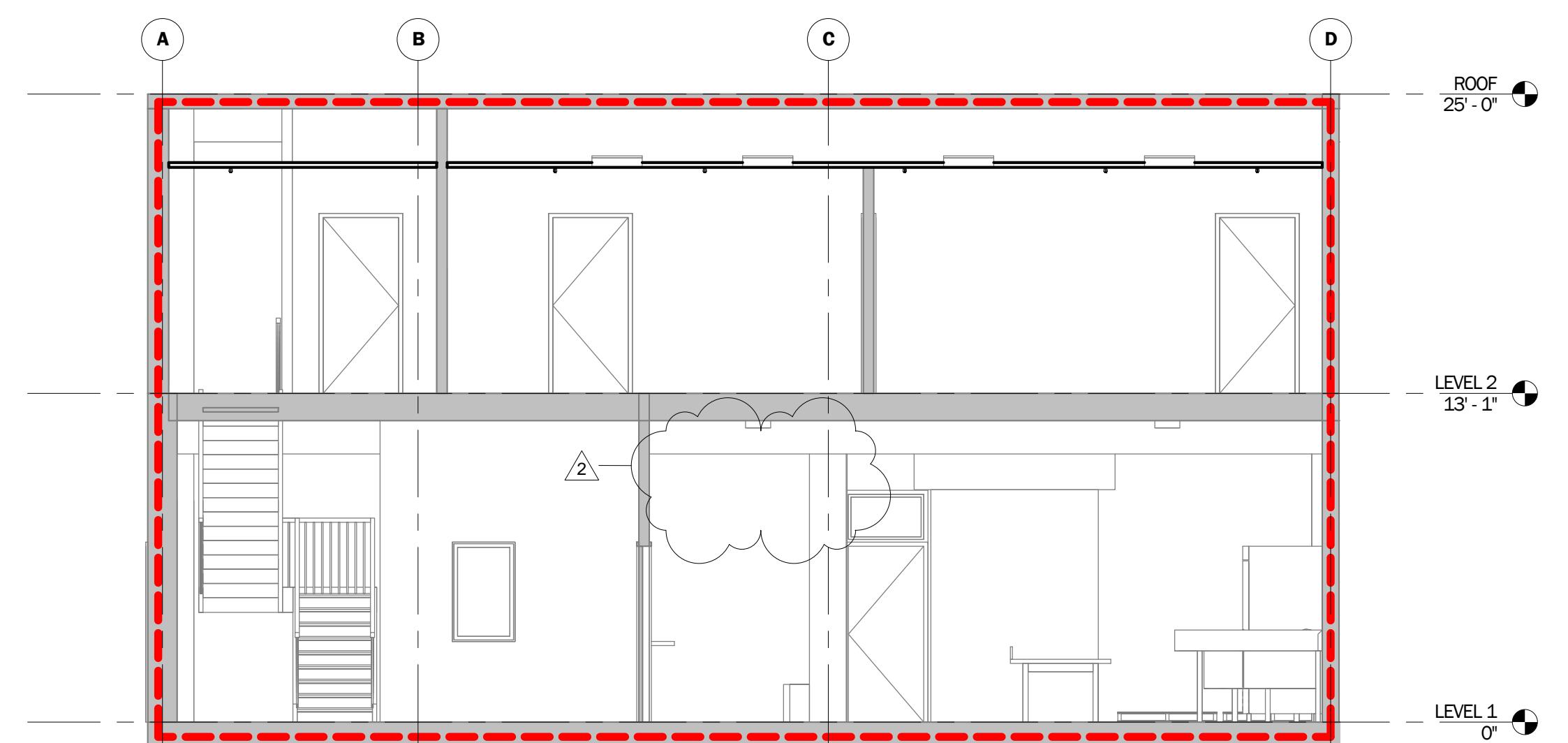
A-144

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3 Section 223
 $3/16'' = 1'-0''$

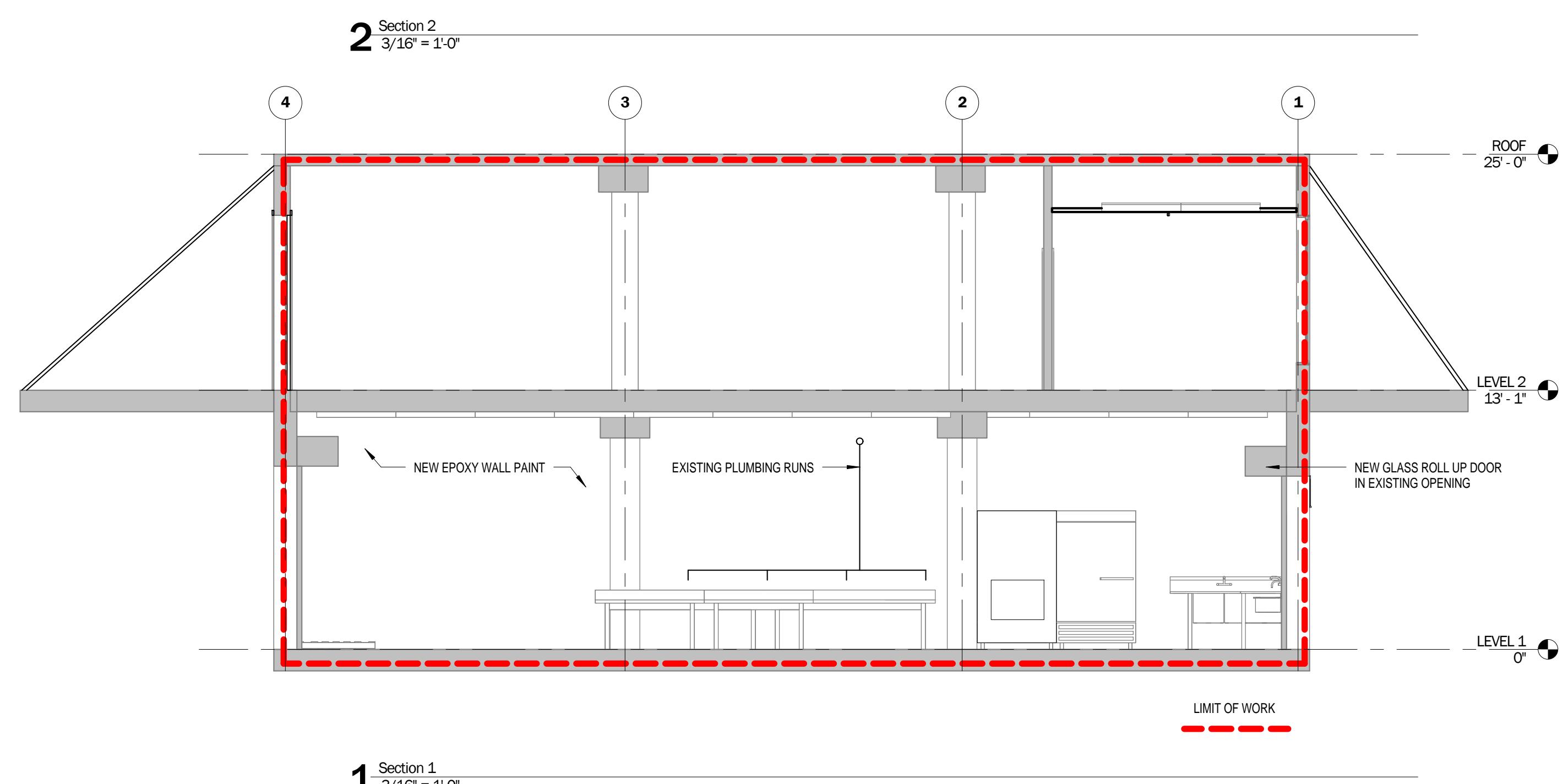


WULF'S FISH
212 NORTHERN AVE. BAYS 2-4A, BOSTON,
MASSACHUSETTS

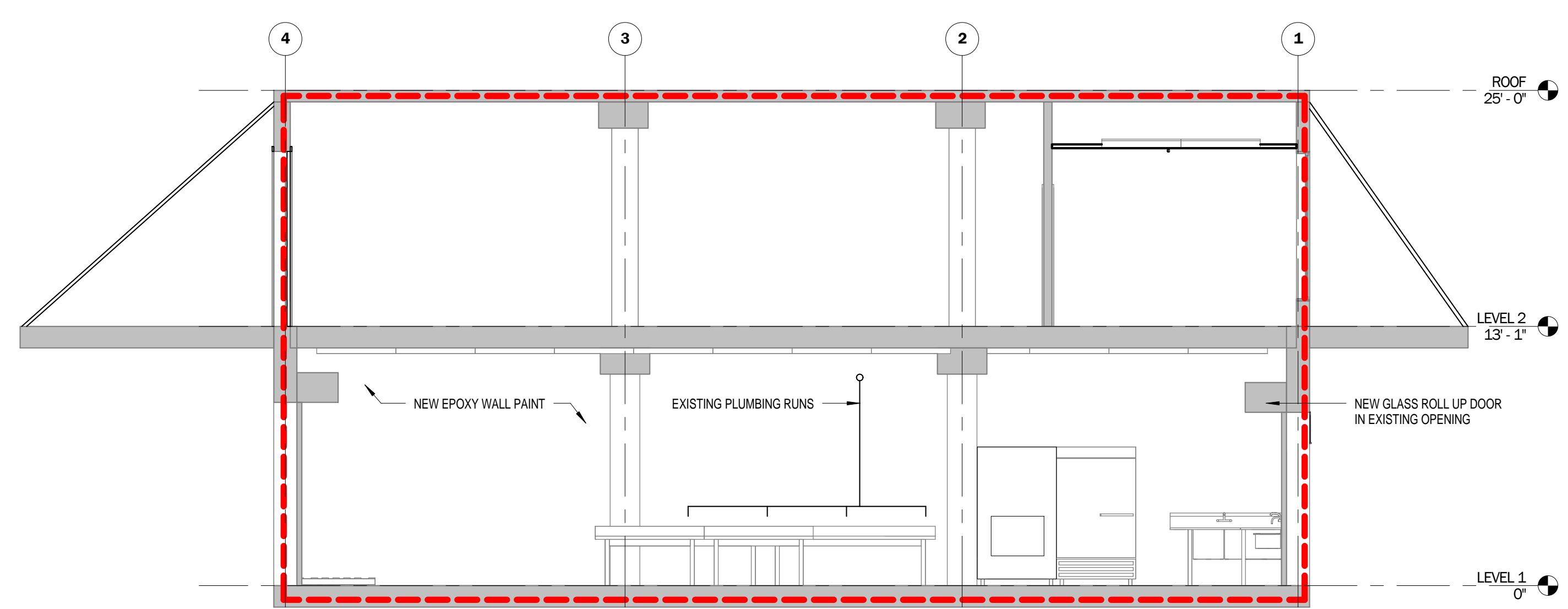
PROJECT: 1501

No.	Description	Date
1	TAA RESUBMISSION	6/19/15
2	BULLETIN #1	11/19/15

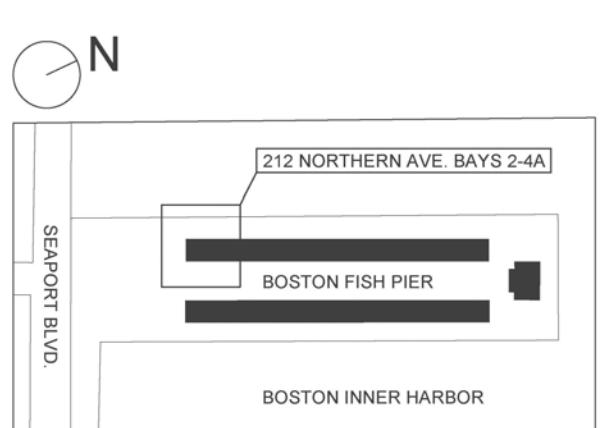
DATE: 11.19.15



2 Section 2
 $3/16'' = 1'-0''$



1 Section 1
 $3/16'' = 1'-0''$

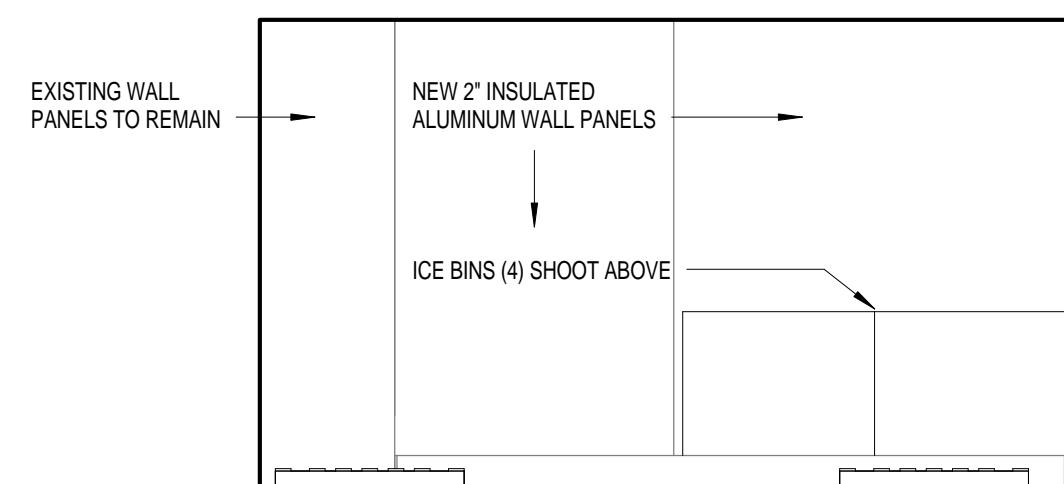


SCALE: $3/16'' = 1'-0''$

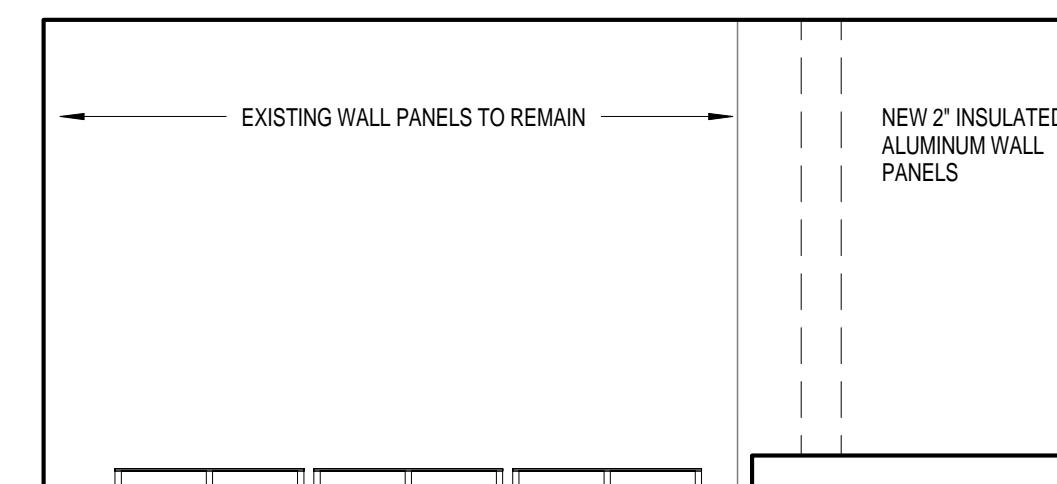
SECTIONS

A-201

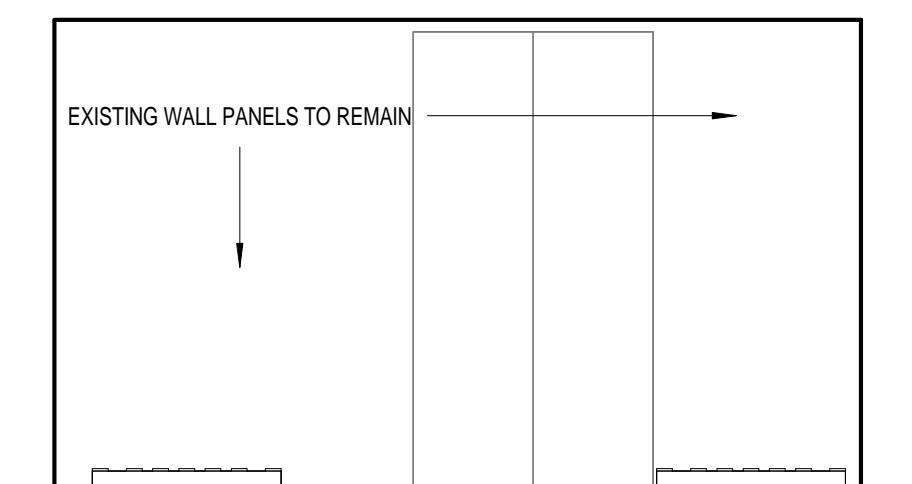
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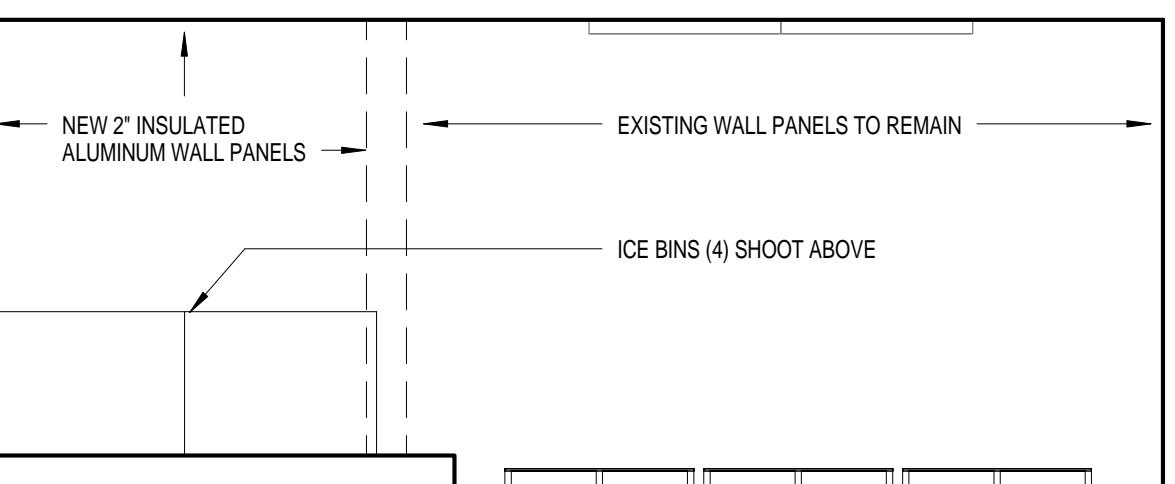
12 ELEVATION FREEZER D
1/4" = 1'-0"



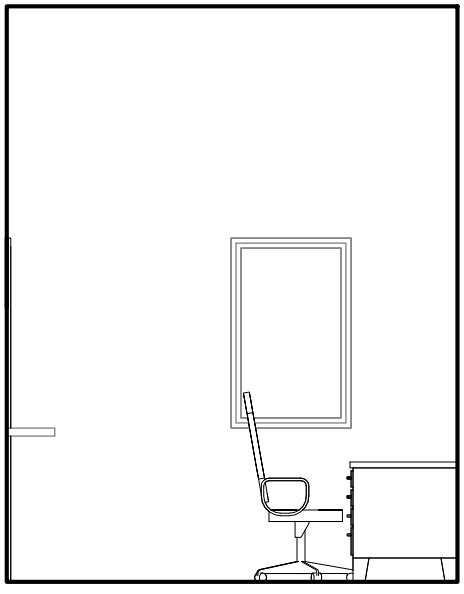
11 ELEVATION FREEZER C
1/4" = 1'-0"



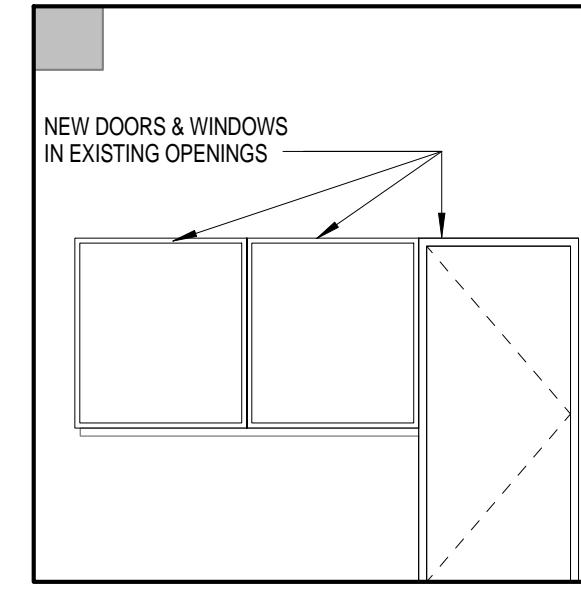
10 ELEVATION FREEZER B 1/4" = 1'-0"



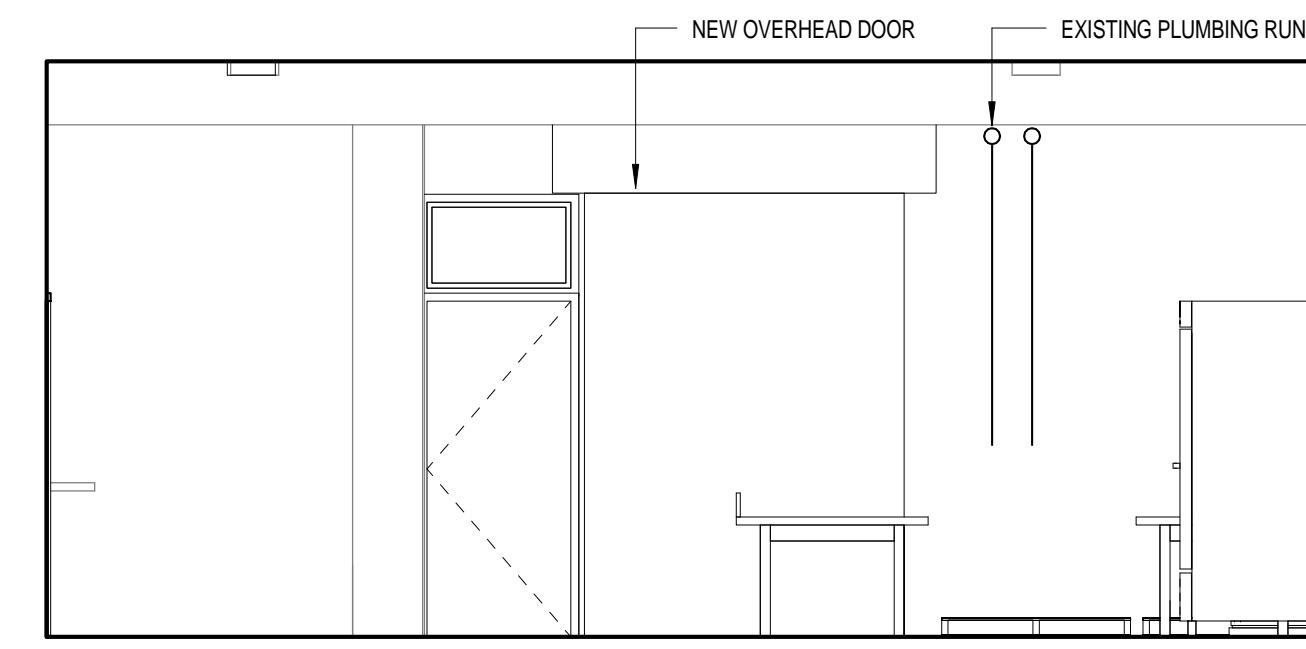
9 ELEVATION FREEZER A
 $\frac{1}{4}'' = 1'-0''$



8 ELEVATION OFFICE B
 $1/4"$ = 1'-0"



7 ELEVATION OFFICE A
1/4" = 1'-0"



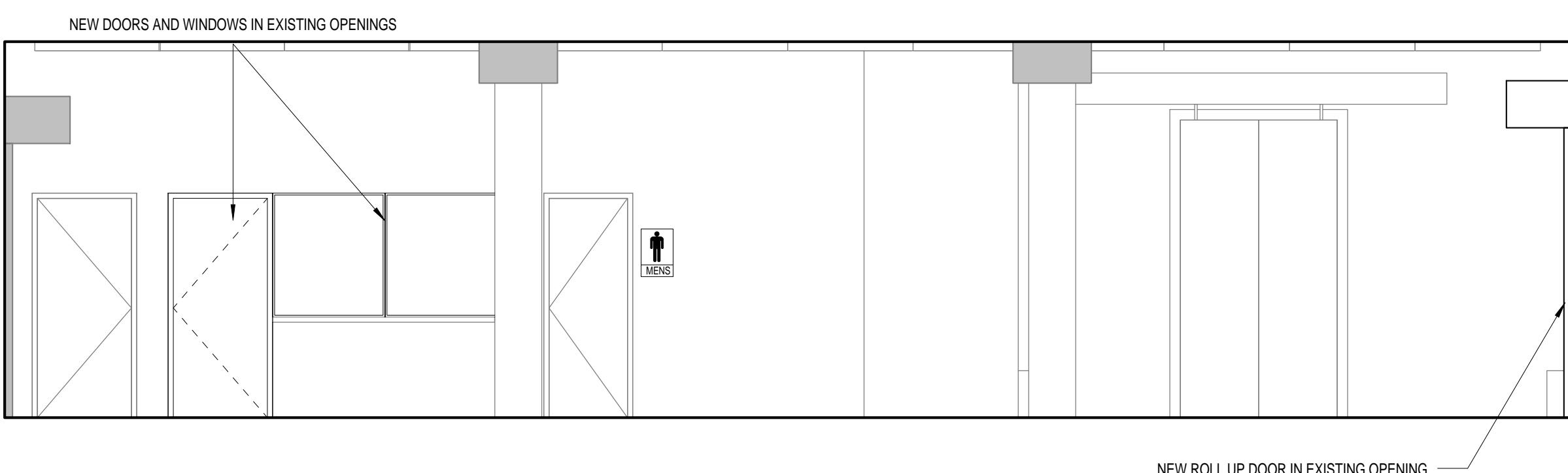
6 ELEVATION ENTRY A

1/4" = 1'-0"



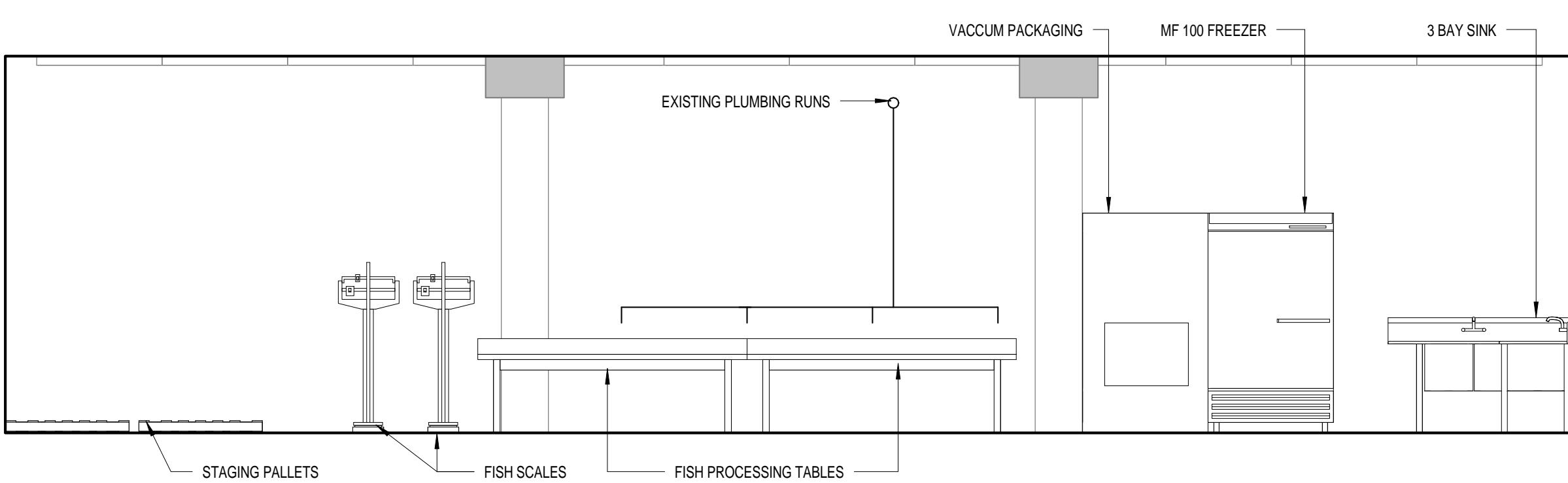
WULF'S FISH

212 NORTHERN AVE. BAYS 2-4A, BOSTON,
MASSACHUSETTS

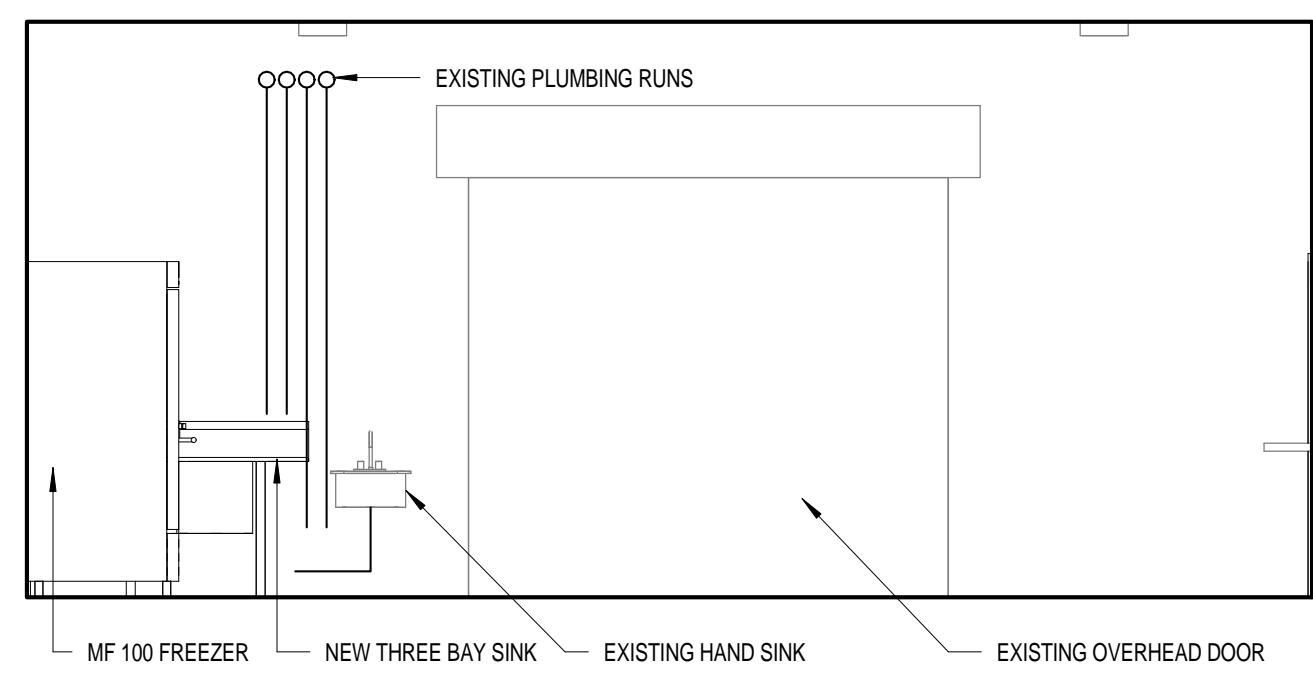


4 ELEVATION PROCESSING D

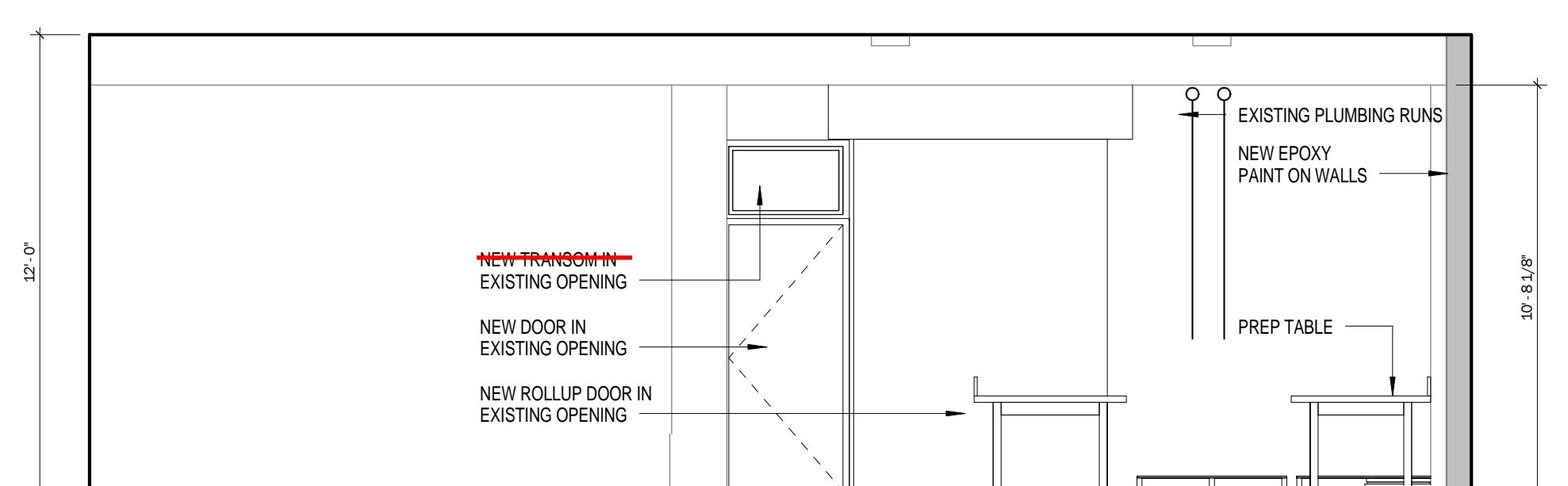
$1/4" = 1' - 0"$



2 ELEVATION PROCESSING B $1/4" = 1' - 0"$



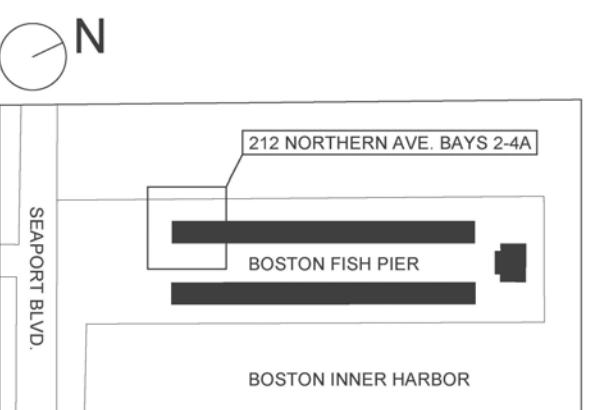
3 ELEVATION PROCESSING C
 $\frac{1}{4}'' = 1'-0''$



1 ELEVATION PROCESSING A

1/4" = 1'-0"

DATE: 11.19.15

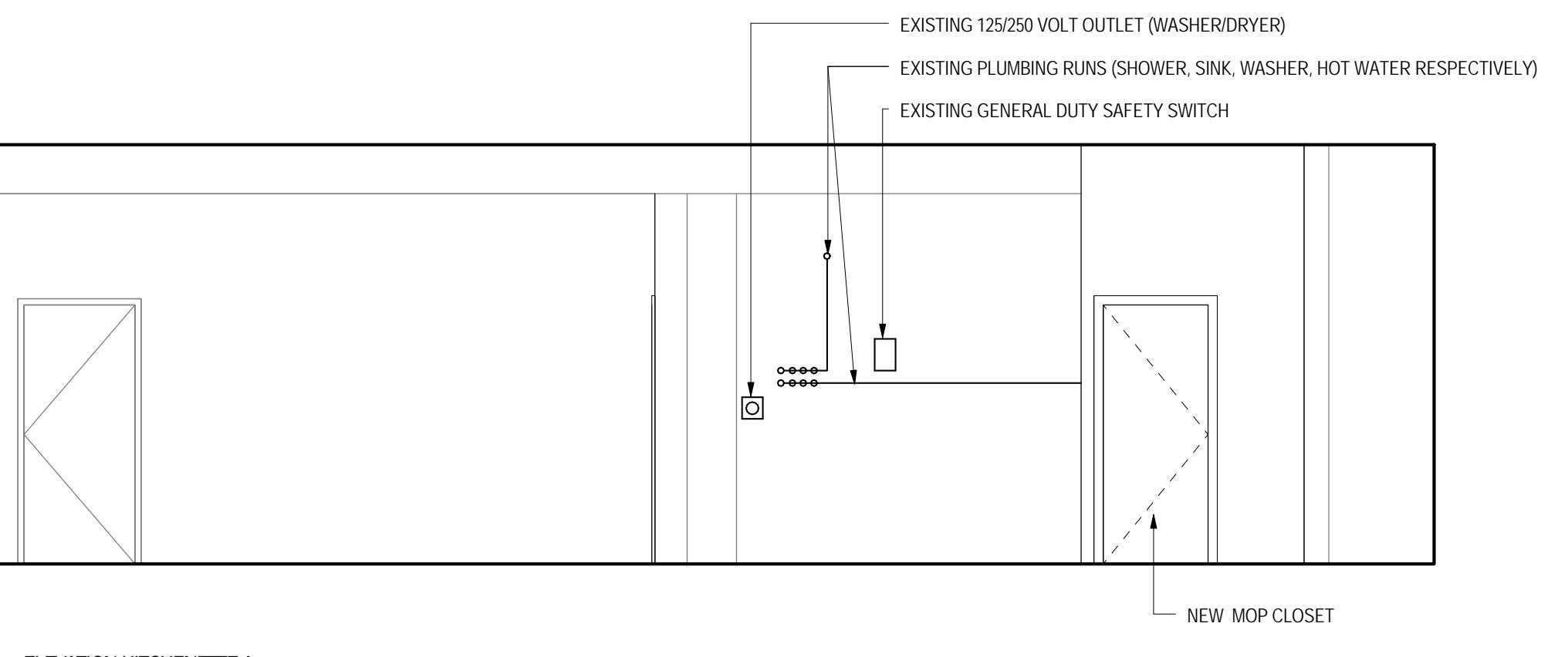


CALE: $\frac{1}{4}$ " = 1'-0"

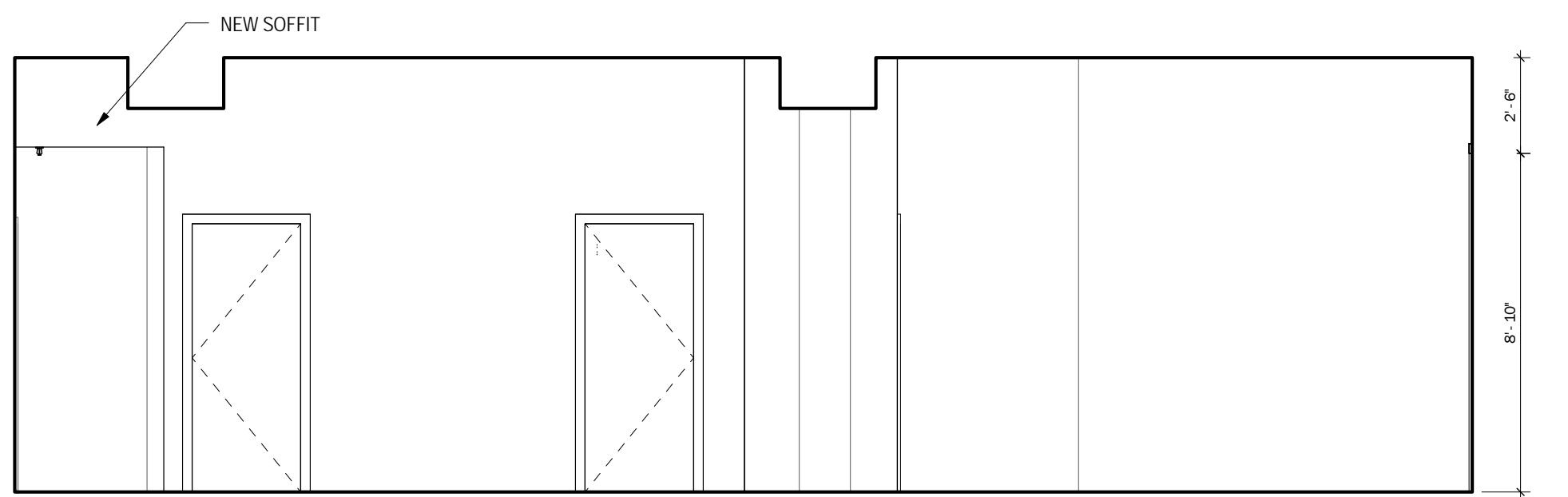
INTERIOR ELEVATIONS

EVEI 1

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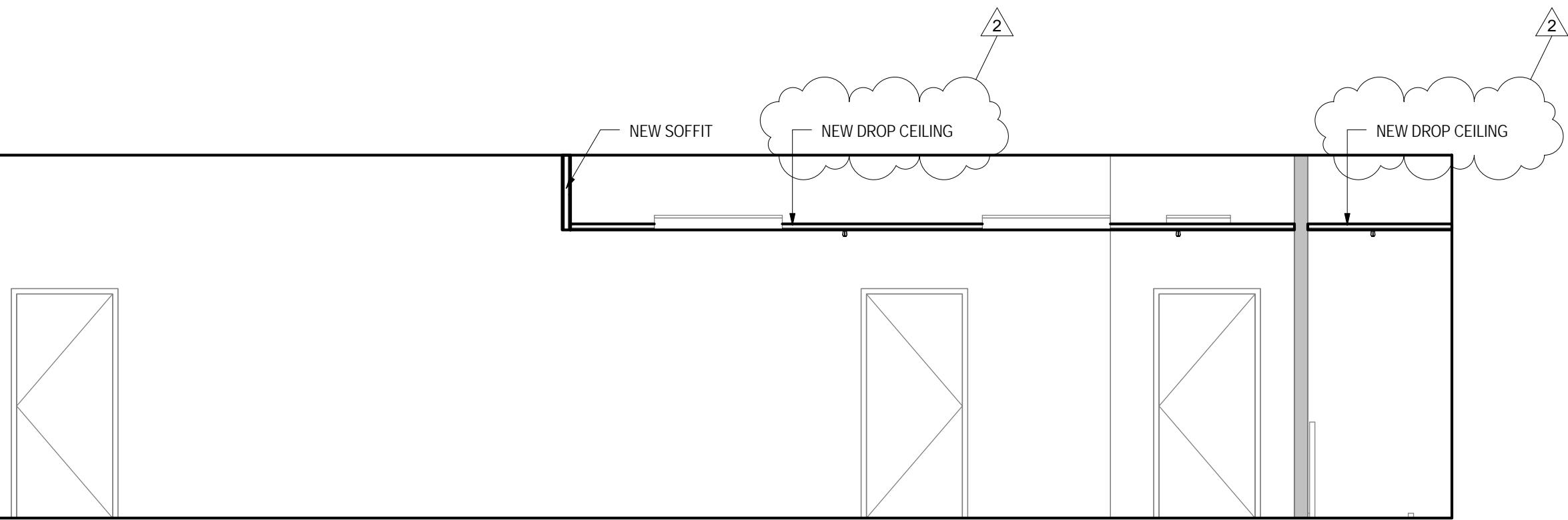


ELEVATION KITCHENETTE A

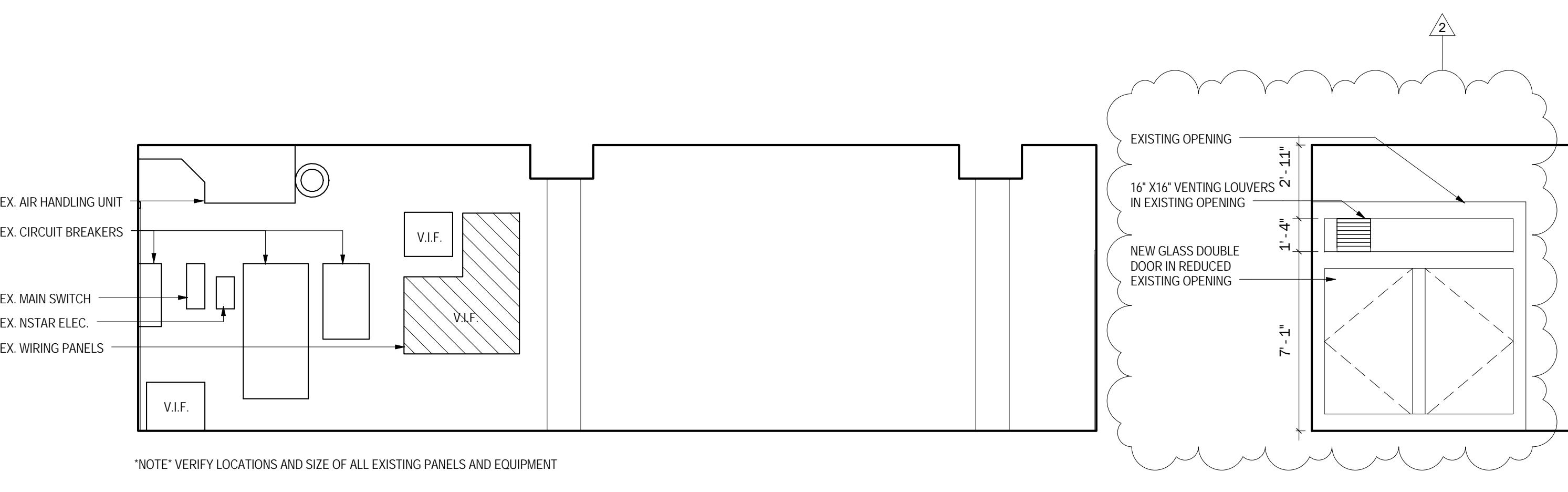


5 ELEVATION OPEN OFFICE D

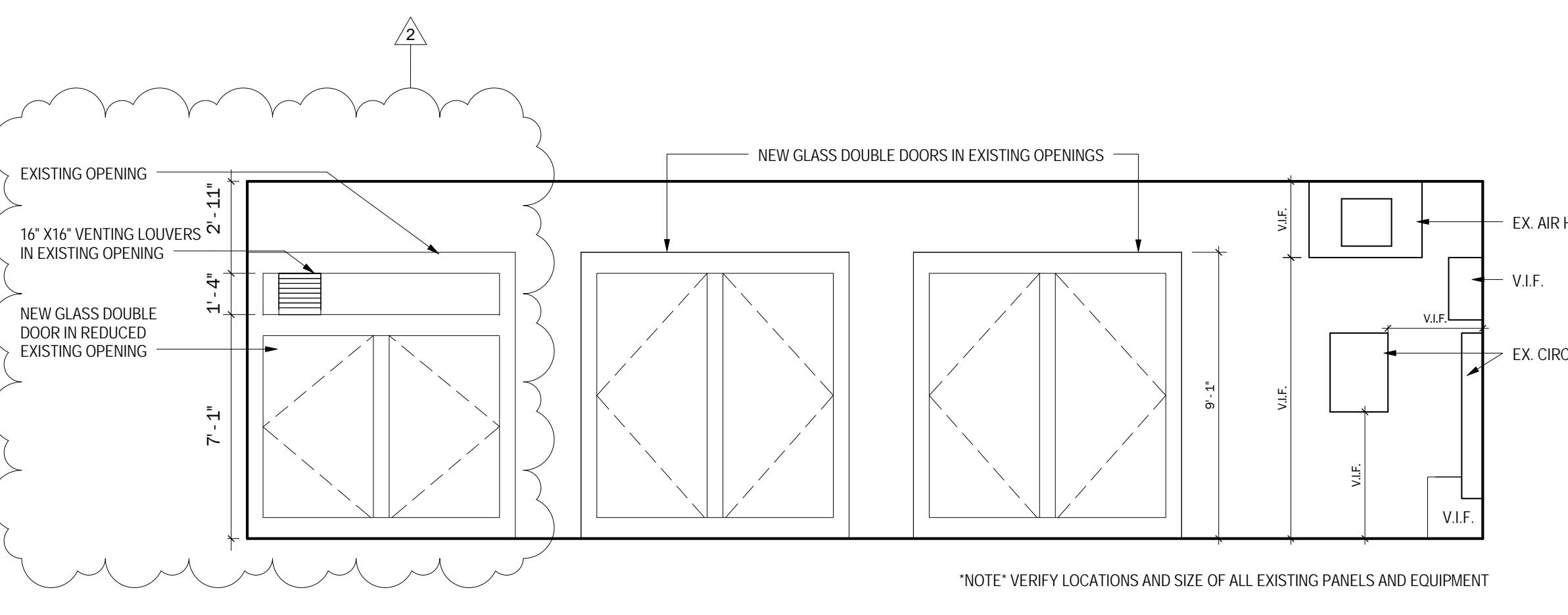
1/4" = 1'-0"



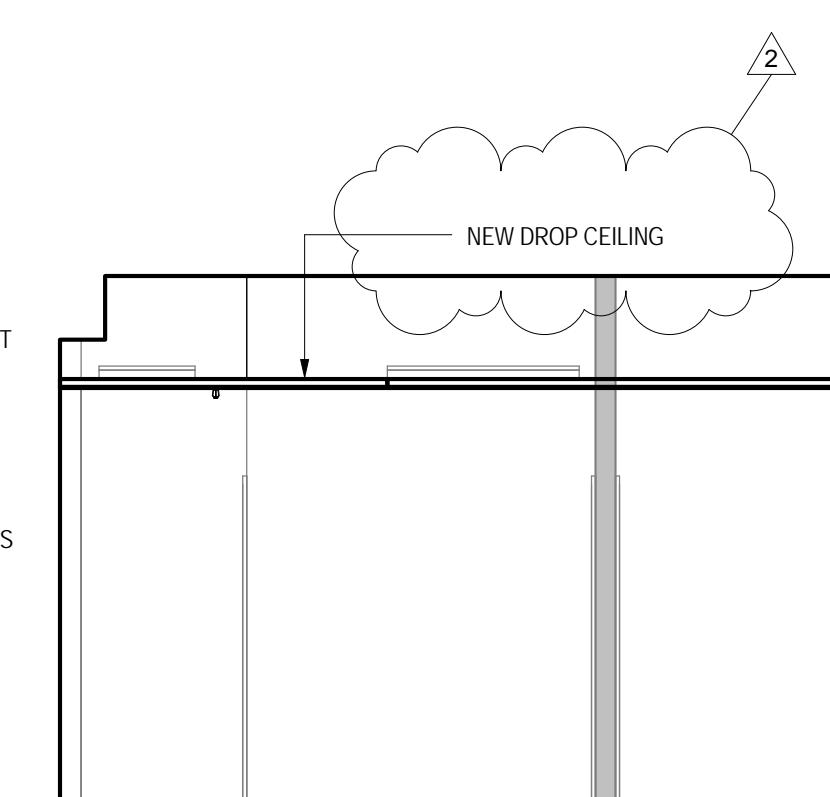
ELEVATION OPEN OFFICE C



NOTE VERIFY LOCATIONS AND SIZE OF ALL EXISTING PANELS AND EQUIPMENT

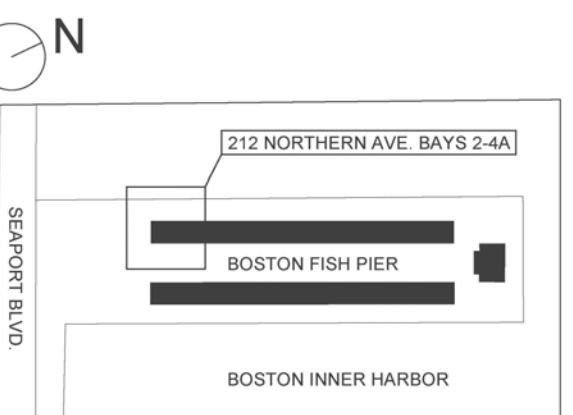


NOTE VERIFY LOCATIONS AND SIZE OF ALL EXISTING PANELS AND EQUIPMENT



1 ELEVATION LOCKERS $1/4"$ = 1'-0"

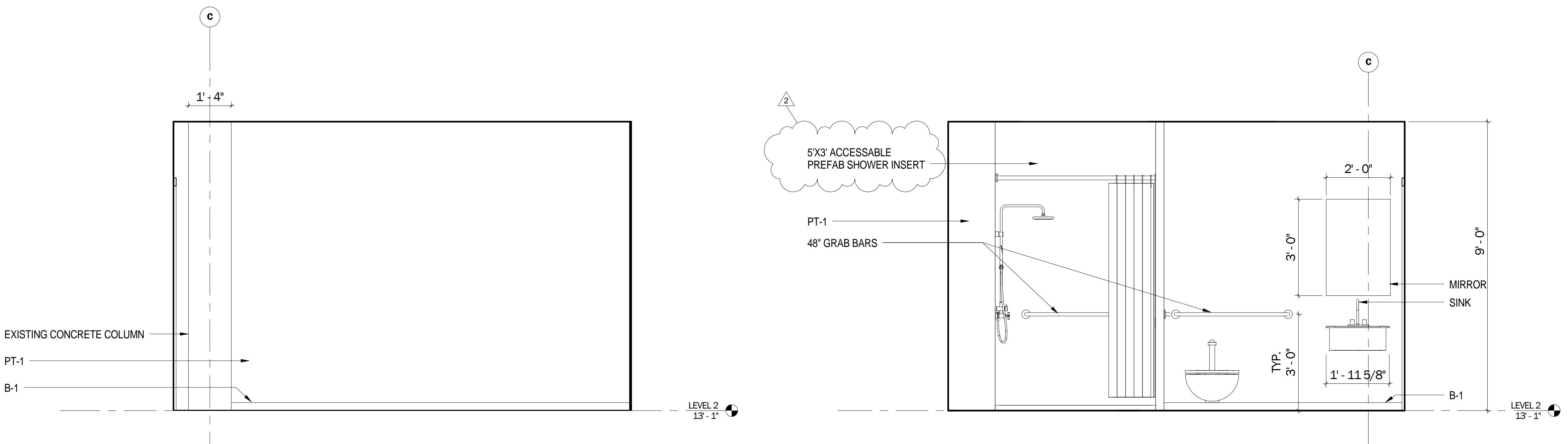
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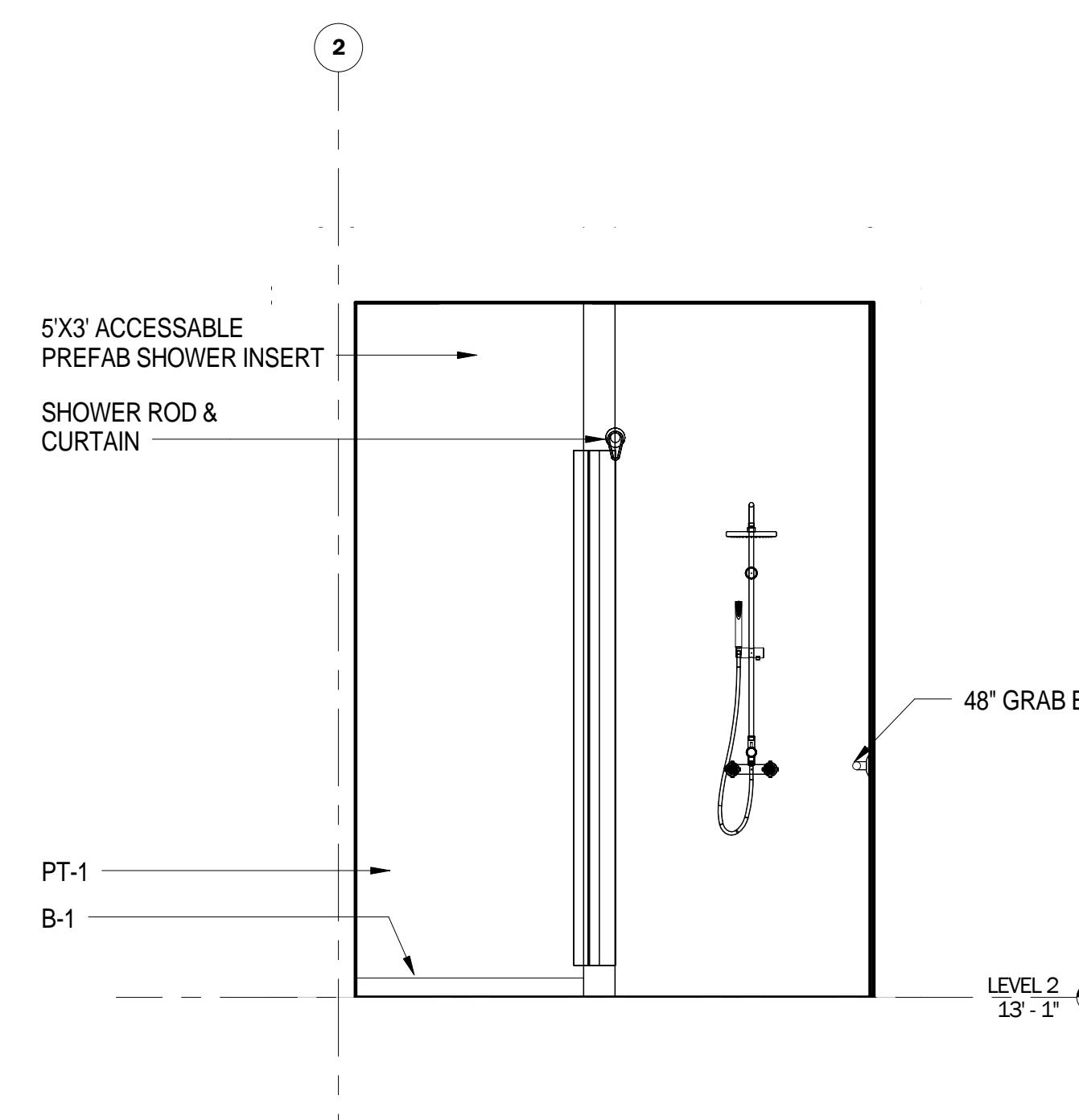
SCALE: 1/4" = 1'-0"

INTERIOR ELEVATIONS LEVEL 2

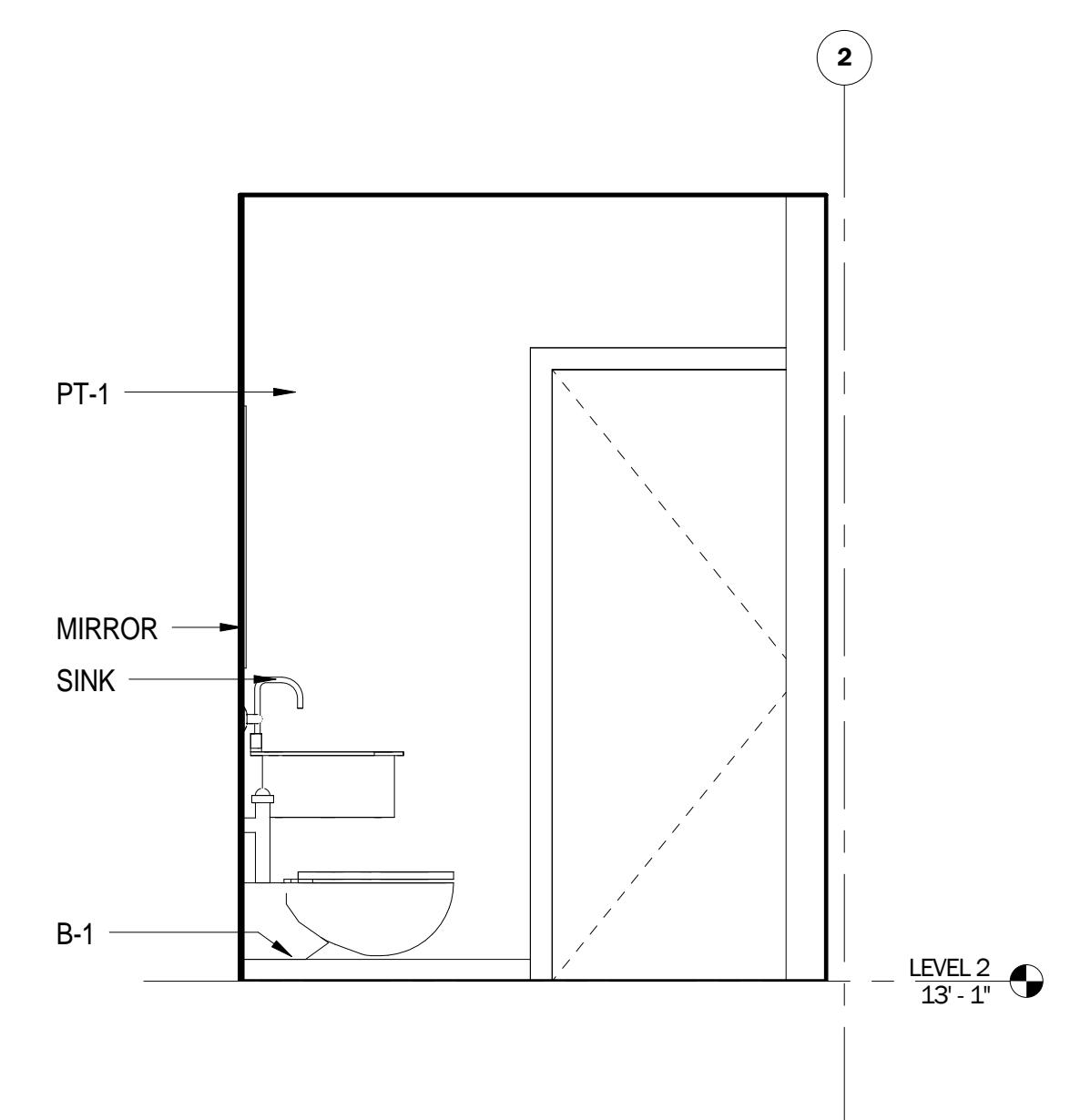
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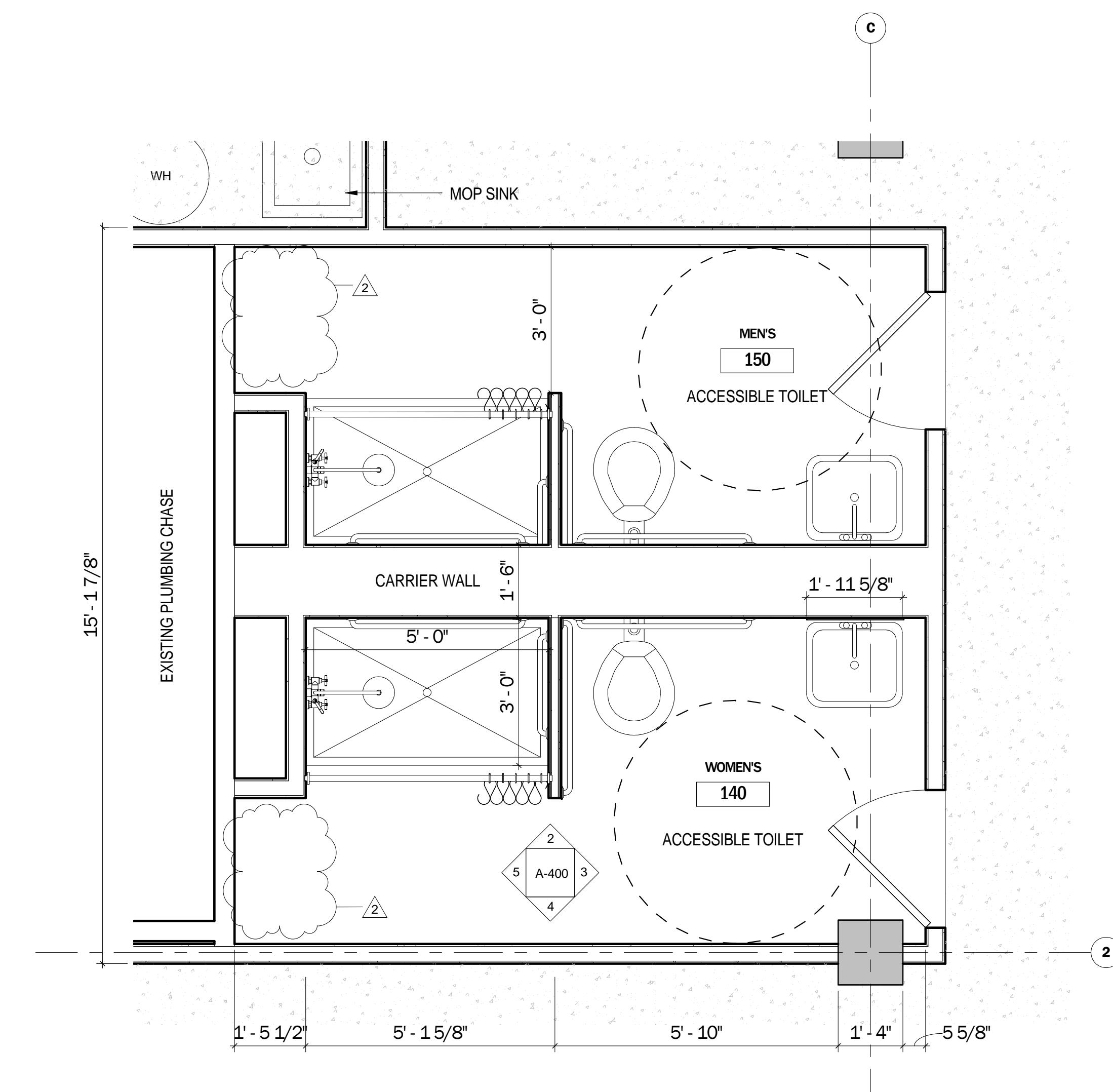
4 ELEVATION LEVEL 2 BATHROOM C



5 ELEVATION LEVEL 2 BATHROOM D



3 ELEVATION LEVEL 2 BATHROOM B

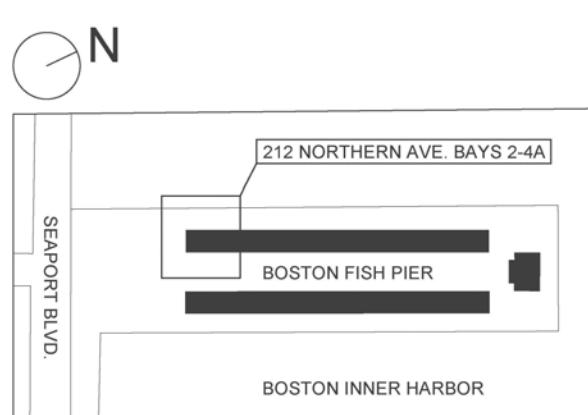


1 LEVEL 2 - ENLARGED BATHROOM PLAN

WULF'S FISH

PROJECT: 1501

DATE: 11.19.15

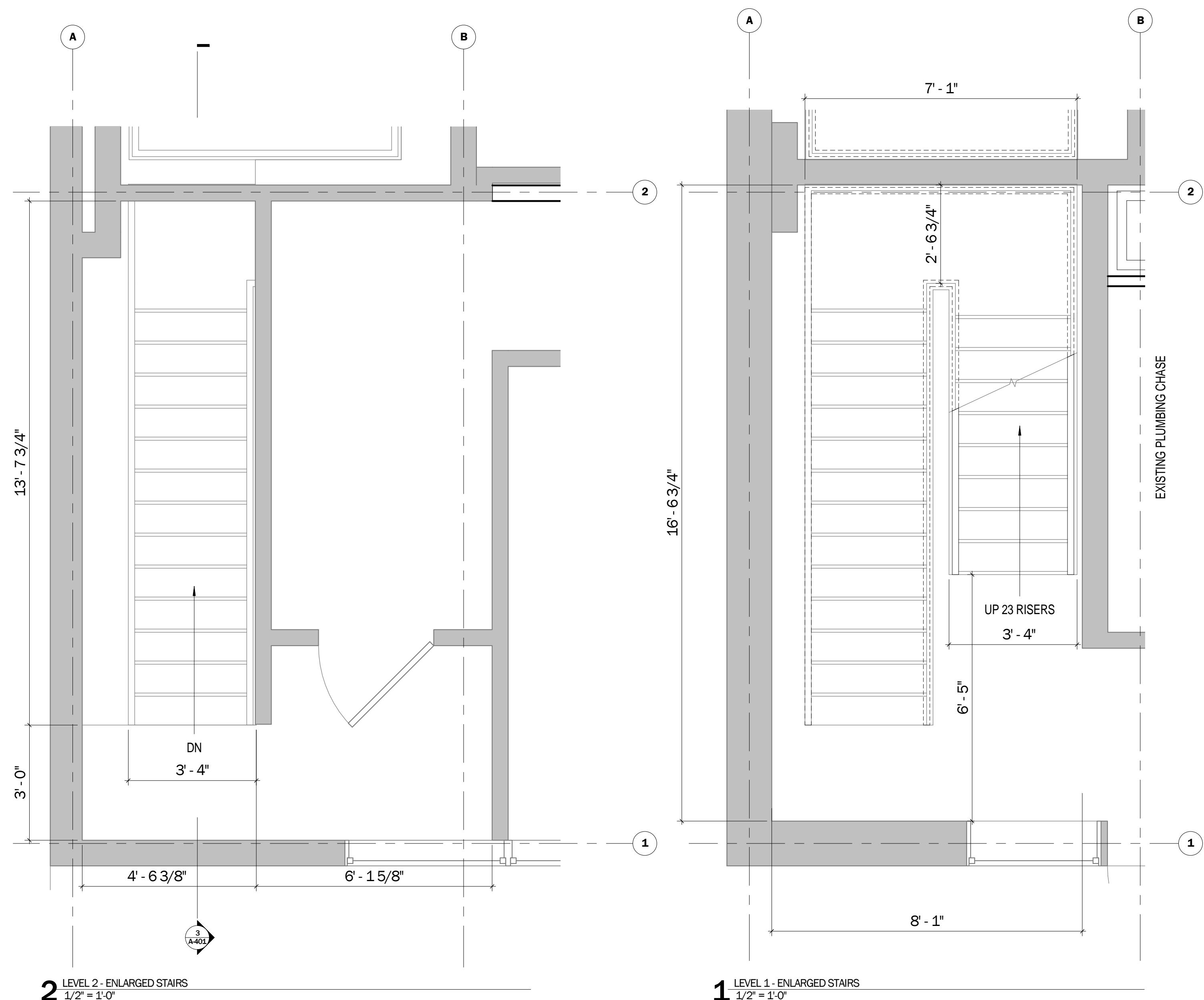
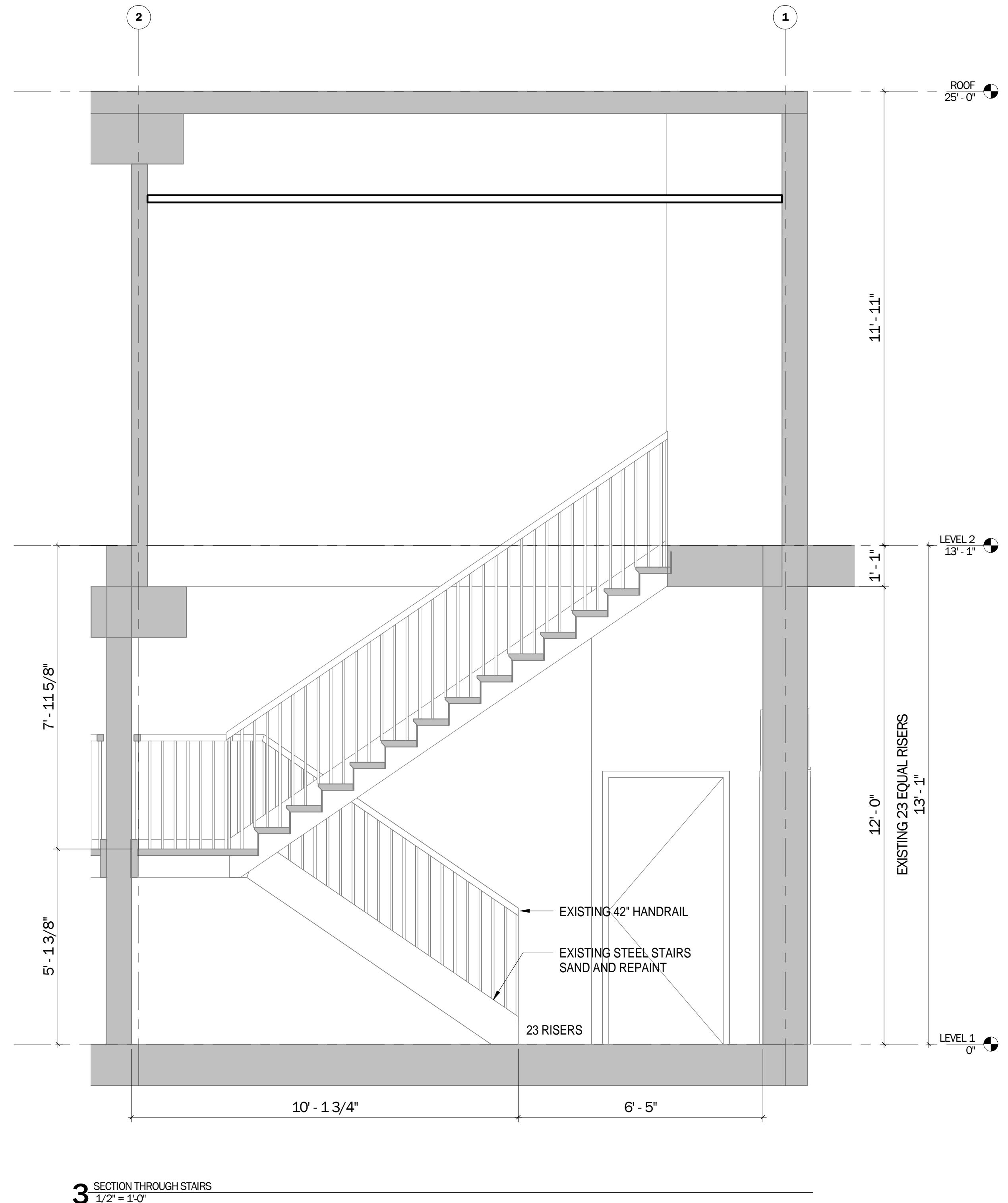


SCALE: $\frac{1}{2}$ " = 1'-0"

ENLARGED BATHROOMS

A-400

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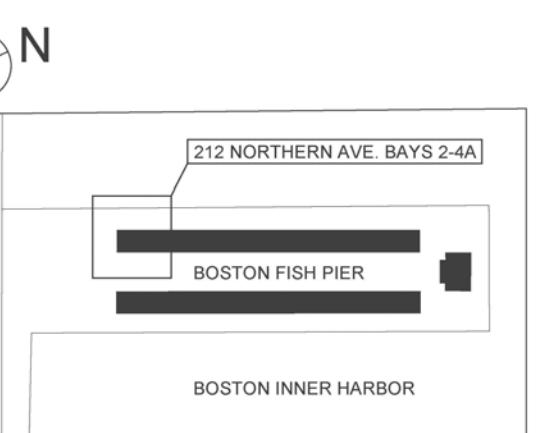


WULF'S FISH
212 NORTHERN AVE. BAYS 2-4A, BOSTON,
MASSACHUSETTS

PROJECT: 1501

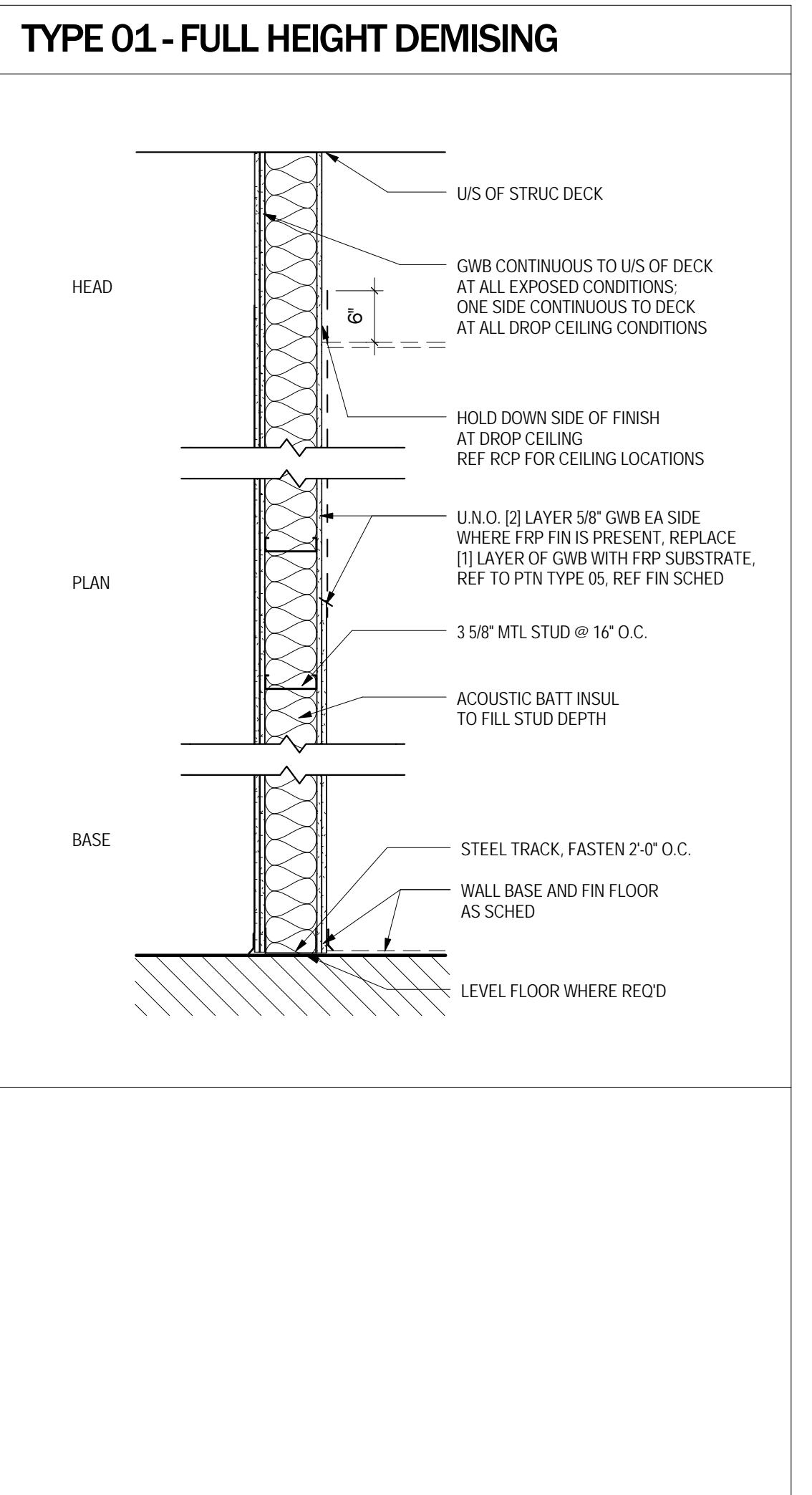
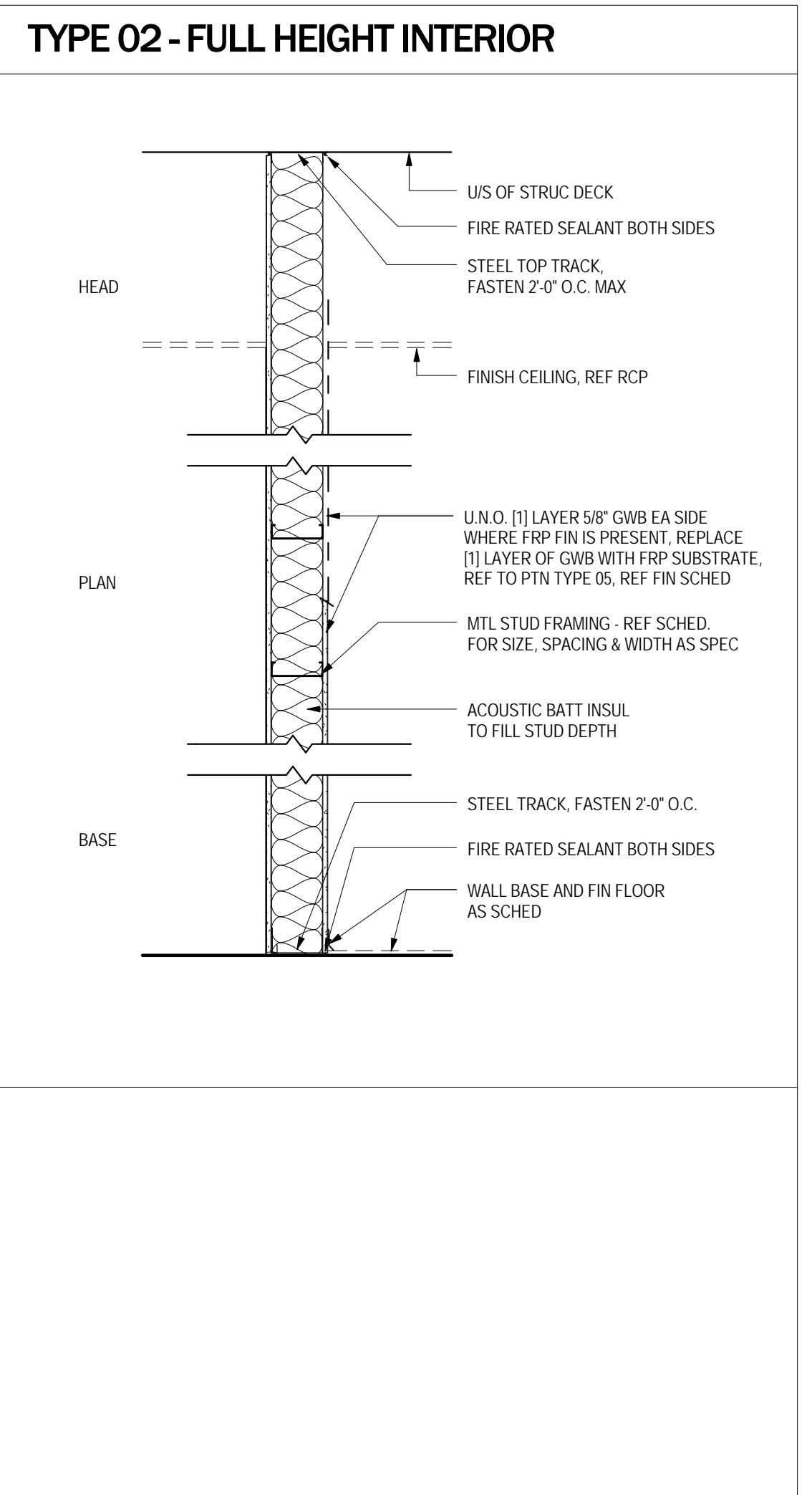
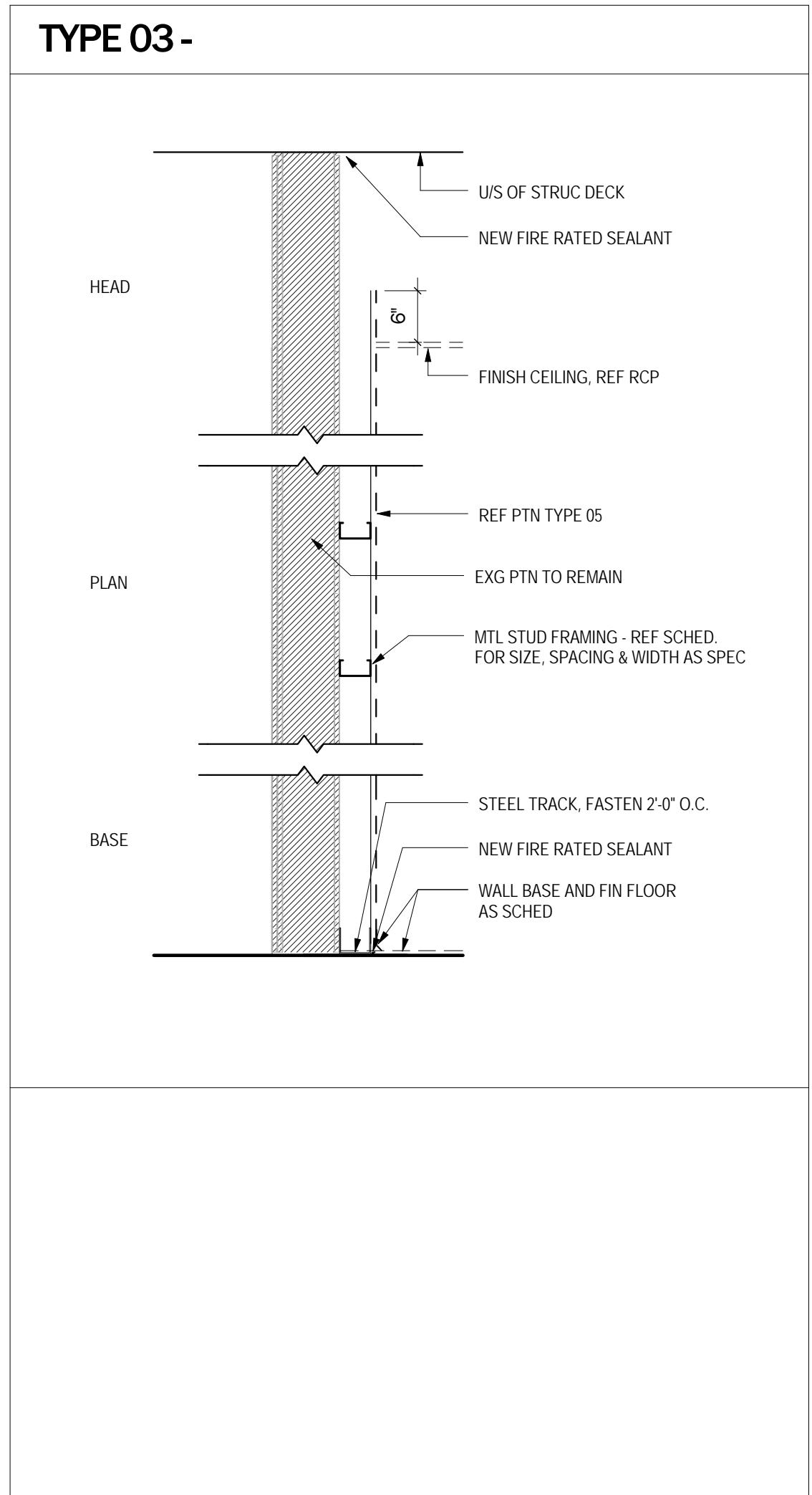
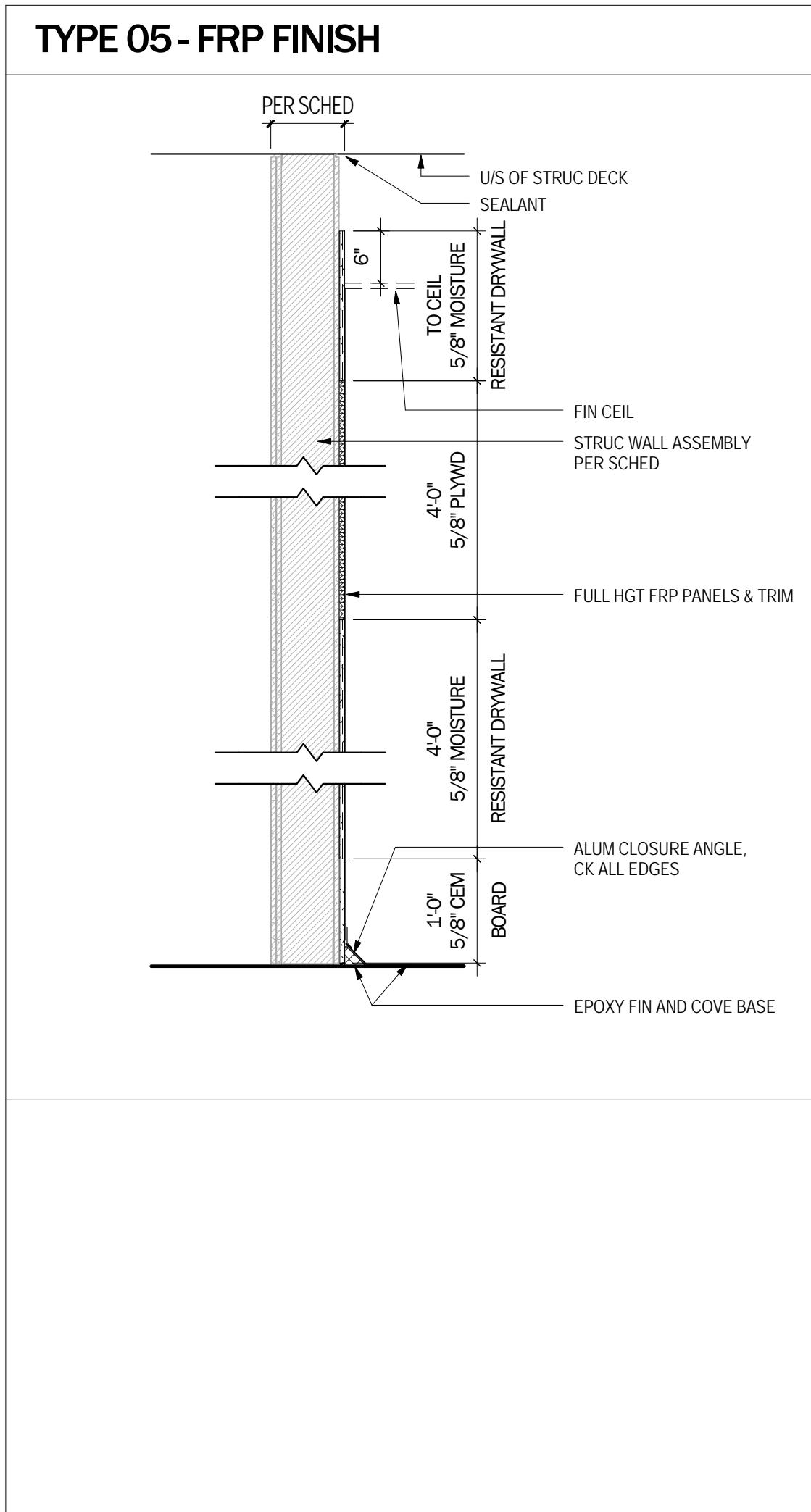
No.	Description	Date

DATE: 11.19.15

SCALE: $\frac{1}{2}'' = 1'-0''$ **ENLARGED VERTICAL CIRCULATION****A-401**

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PARTITION TYPE NOTES		
DRYWALL PARTITIONS SHALL BE CONSTRUCTED AS FOLLOWS UNLESS OTHERWISE NOTED:		
1) FRAMING MEMBERS SHALL BE AS SHOWN ON THE SCHEDULE @16 O.C., EXTENDING FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE. SIZE AND SPACING OF STUDS MAY VARY AS REQUIRED FOR THE HEIGHT OF PARTITIONS AND OTHER SPECIAL CONDITIONS.		
B) THE ABOVE IS A MINIMUM REQUIREMENT. ACTUAL GAUGE, HEIGHT AND SPACING OF METAL STUDS SHALL BE AS DETERMINED TO MEET STRUCTURAL AND SEISMIC LOADS AND ALSO TO LIMIT THE DEFLECTION TO L/360 WITH THE LATERAL LOAD OF 50 PSF. HORIZONTAL FRAMING FOR MOLD & MOISTURE RESISTANT BOARD AT SOFFITS SHALL BE SPACED NO MORE THAN 12' O.C.		
C) PROVIDE 3 1/2" FIBERGLASS OR MINERAL FIBER SOUND ATTENUATION BLANKET INSULATION BETWEEN 3 5/8" METAL STUDS. THICKNESS OF INSULATION SHALL VARY TO SUITE DEPTH OF METAL STUDS ACTUALLY USED, INCLUDING SHAFT WALL STUDS.		
D) ABOVE SUSPENDED CEILINGS PROVIDE 1-LAYER 5/8" THICK, MOLD RESISTANT GYPSUM WALL BOARD ON EACH SIDE OF STUDS UNPAINTED EXTENDING TO SLAB ABOVE. PROVIDE ADDITIONAL LAYERS WHERE INDICATED FOR FIRE RESISTANCE AND SOUND ATTENUATION.		
E) THE BOTTOM EDGE OF WALLBOARD SHALL BE RAISED 1/2" ABOVE THE CONCRETE SLAB IN CORRIDORS, LOBBIES, VESTIBULES AND POTENTIALLY WET AREAS. FILL GAP WITH NON-SHRINK MATERIAL.		
F) ALL EXPOSED GYPSUM BOARD SHALL BE SKIM COATED WITH JOINT COMPOUND OVER THE ENTIRE SURFACE FOR AN ASTM C-840 LEVEL FINISH.		
G) IN POTENTIALLY WET AREAS THE FLOOR TRACK AND BOTTOM PORTION OF STUDS SHALL RECEIVE A PROTECTIVE BITUMINOUS COATING.		
2) REINFORCED ABUSE RESISTANT GYPSUM BOARD SHALL BE REINFORCED WITH FIBERGLASS MESH OR POLYCARBONATE SHEET, MANUFACTURED WITH THE REINFORCING BONDED TO THE BACK OF THE BOARD.		
3) PROVIDE/INSTALL 6" METAL STUD (MIN.) WHERE PLUMBING AND OR MECHANICAL PIPING RUN WITHIN PARTITION.		
4) PROVIDE ACOUSTICAL SEALANT AT THE PERIMETER OF ALL ACOUSTICAL PARTITIONS, RUNNERS, ELECTRICAL OUTLETS, PENETRATIONS AND OPENINGS.		
5) WHERE A RATED PARTITION MEETS/INTERSECTS A NON-RATED PARTITION: THE RATED WALLS MUST BE CONTINUOUS TO MAINTAIN THE RATING.		
6) IN ORDER TO MINIMIZE SOUND TRANSMISSION, ELECTRICAL RECEPTACLES SHALL BE SEPARATED BY ONE STUD (MIN.) BACK TO BACK RECEPTACLES ARE UNACCEPTABLE.		
7) USE DEFLECTION TRACK AS REQUIRED WHERE PARTITION PERFORMANCE CRITERIA MANDATES IT. PLEASE SEE SPECIFICATIONS FOR MORE INFORMATION.		
8) AT ALL WET CONDITIONS THE FACING BOARD SHALL BE 5/8" MOISTURE RESISTANT TILE BACKERBOARD, UNLESS OTHERWISE STATED.		
9) MASONRY EQUIVALENT AT STAIRS, ADD METAL SHEET OR USE IMPACT RESISTANCE GWB.		
10) FIRE-RESISTANCE-RATED & STC-RATED PARTITIONS & STC-RATED SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF THE TESTED ASSEMBLY UNLESS MORE STRINGENT REQUIREMENTS ARE DESIGNATED BY DETAIL.		
11) FIRESTOP SHALL BE USED AT FIRE RATED PARTITIONS. RECESSED BOXES SHALL BE SEALED AND RUNNERS SHALL BE SET IN 2 BEADS OF SEALANT OR AS REQUIRED BY MANUFACTURER.		
12) STC-RATED PARTITION CONSTRUCTION SHALL HAVE ALL PENETRATIONS AND INTERSECTIONS SEALED AIR TIGHT WITH ACOUSTICAL SEALANT.		
13) PROVIDE METAL BACKING PLATES FOR WALL-MOUNTED ACCESSORIES & CONSTRUCTION.		

3 PARTITION TYPES
3/4" = 1'0"

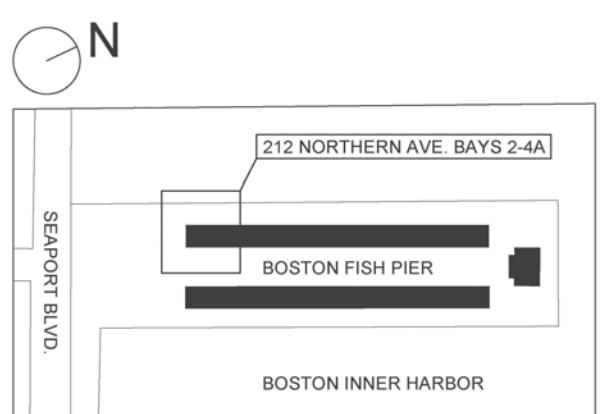
WULF'S FISH

212 NORTHERN AVE. BAYS 2-4A, BOSTON,
MASSACHUSETTS

PROJECT: 1501

No.	Description	Date

DATE: 11.19.15



SCALE: 3/4" = 1'-0"

TYPICAL DETAILS

A-500

GENERAL NOTES & REQUIREMENTS

1. CONDITIONS OF THE CONTRACT AND DIVISION 1, GENERAL REQUIREMENTS APPLY TO WORK OF THIS SECTION. EXAMINE DRAWINGS AND OTHER SPECIFICATIONS FOR REQUIREMENTS THAT AFFECT WORK OF THIS SECTION.
2. PROVIDE ITEMS REFERRED TO IN SINGULAR NUMBER IN CONTRACT DOCUMENTS IN QUANTITIES NECESSARY TO COMPLETE WORK.
3. VISIT SITE AND EXAMINE CONDITIONS UNDER WHICH WORK MUST BE PERFORMED. REPORT ADVERSE CONDITIONS IN WRITING TO ARCHITECT. COMMENCEMENT OF WORK SHALL BE CONSTRUED AS COMPLETE ACCEPTANCE OF EXISTING CONDITIONS INCLUDING PREPARATORY WORK DONE BY OTHERS.
4. PERFORM WORK AND PROVIDE MATERIALS AND EQUIPMENT AS SHOWN ON DRAWINGS. COORDINATE ELECTRICAL WORK WITH WORK OF OTHER SECTIONS & TRADES.
5. GIVE NOTICES, FILE PLANS, OBTAIN PERMITS AND LICENSES, PAY FEES AND BACK CHARGES, AND OBTAIN NECESSARY APPROVALS FROM AUTHORITIES THAT HAVE JURISDICTION.
6. PERFORM WORK AS REQUIRED BY CODES, REGULATIONS AND LAWS OF LOCAL, STATE AND FEDERAL GOVERNMENTS AND OTHER AUTHORITIES WITH LAWFUL JURISDICTION.
7. MATERIAL AND EQUIPMENT SHALL BE UL, FDA, NEMA, ANSI, IEEE, ADA & CBM APPROVED FOR INTENDED SERVICE. MATERIAL AND INSTALLATION SHALL MEET REQUIREMENTS OF NATIONAL AND STATE ELECTRICAL CODE.
8. MAINTAIN RECORD DRAWINGS ON SITE. RECORD SET MUST BE COMPLETE AND CURRENT AND AVAILABLE FOR INSPECTION WHEN REQUISITIONS FOR PAYMENT ARE SUBMITTED.
9. GUARANTEE WORK IN WRITING FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE. REPAIR OR REPLACE DEFECTIVE MATERIALS OR INSTALLATION AT NO COST TO OWNER. CORRECT DAMAGE CAUSED IN MAKING NECESSARY REPAIRS AND REPLACEMENTS UNDER GUARANTEE AT NO COST TO OWNER.
10. SUBMIT GUARANTEE TO ARCHITECT BEFORE FINAL PAYMENT.
11. STATEMENT OF GUARANTEE REQUIREMENTS SHALL NOT BE INTERPRETED TO LIMIT OWNER'S RIGHTS UNDER LAW AND THIS CONTRACT.
12. DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT OF SYSTEMS. PROVIDE INFORMATION AND COMPONENTS SHOWN ON RISER DIAGRAMS BUT NOT SHOWN ON PLANS, AND VICE VERSA, AS IF EXPRESSLY REQUIRED ON BOTH.
13. PANELBOARDS SHALL BE CIRCUIT BREAKER TYPE WITH THERMAL MAGNETIC QUICK MAKE, QUICK BREAK TRIP FREE BOLT-ON MOLDED CASE CIRCUIT BREAKERS. MINIMUM INTERRUPTING CAPACITY SHALL BE 22,000 AMPS SYMMETRICAL AT 240 VOLTS, AND 65,000 AMPS SYMMETRICAL AT 480 VOLTS. ALL BUSSING SHALL BE COPPER.
14. TEMPORARY LIGHT AND POWER SHALL BE PROVIDED ON SITE BY THE THIS CONTRACTOR.
15. ADDRESS QUESTIONS REGARDING DRAWINGS TO ARCHITECT IN WRITING BEFORE AWARD OF CONTRACT. OTHERWISE, ARCHITECT INTERPRETATION OF MEANING AND INTENT OF DRAWINGS SHALL BE FINAL.
16. SUBMIT SHOP DRAWINGS AND PRODUCT DATA WITHIN 30 DAYS AFTER AWARD OF CONTRACT. CHECK, STAMP AND MARK WITH PROJECT NAMES SUBMITTALS BEFORE TRANSMITTING TO ARCHITECT. INDICATE DEVIATIONS FROM CONTRACT DOCUMENTS. SHOP DRAWINGS SHALL BE PROVIDED FOR ALL EQUIPMENT SHOWN ON THE DRAWINGS.
17. DEVIATION FROM CONTRACT DOCUMENTS, OR PROPOSED SUBSTITUTION OF MATERIALS OR EQUIPMENT FOR THOSE SPECIFIED, SHALL BE REQUESTED IN SEPARATE LETTER. WHETHER DEVIATIONS ARE DUE TO FIELD CONDITIONS, STANDARD SHOP PRACTICE, OR OTHER CAUSE.

SCHEDULE OF PANELBOARDS

PANEL TAG	SERVICE	PANEL		MTG	AIC	TOTAL POLES	BRANCH CIRCUIT BREAKERS													
							1-POLE				2-POLE				3-POLE					
		BUSS	MCB				15	20	25	30	40	50	15	20	25	30	40	50	60	200
PP1	120/208V, 3Ø, 4W	250	250	S	22	84	42				4	1			1	1		1		

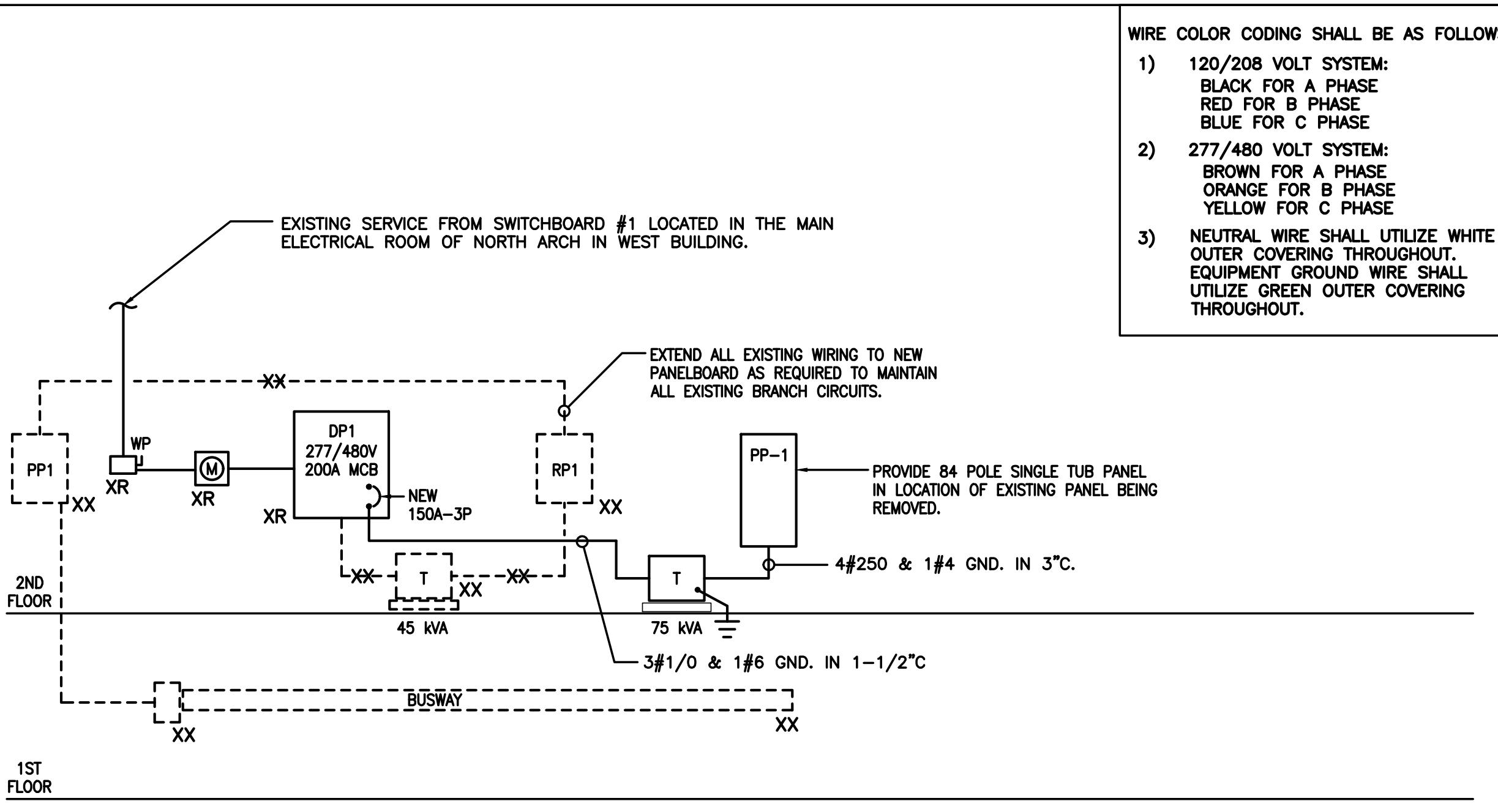
* MATCH EXISTING FOR SWITCHBOARD #1, ASSUME 65K. EC TO CONFIRM IN FIELD.

DEMOLITION KEY TAGS	
XR	EXISTING TO REMAIN
XX	EXISTING TO BE REMOVED
XL	EXISTING TO BE RELOCATED
XC	EXISTING TO BE REPLACED WITH NEW AND RECIRCUITED
XN	EXISTING TO REMAIN AND REPLACED WITH NEW
RE	NEW LOCATION OF EXISTING DEVICE RELOCATED.
XRC	EXISTING TO REMAIN, REPLACED WITH NEW AND TO BE RE-CIRCUITED TO NEW PANELS

EQUIPMENT LEGEND

120/208 VOLT, 3Ø, 4 WIRE PANEL	PP1-1	HOMERUN TO PANEL "PP1", CIRCUIT #1 (VIA 20A-1P C/B'S). MINIMUM #12 CONDUCTORS GROUND CONDUCTOR PER NEC.
277/480 VOLT, 3Ø, 4 WIRE PANEL	PP1-2,4,6	HOMERUN TO PANEL "PP1", CIRCUIT #2,4,6 VIA 60A-3P* CIRCUIT BREAKER.
JUNCTION AND/OR PULL BOX	S = MOTOR RATED TOGGLE TYPE DISCONNECT SWITCH	
~JS	R1	LIGHTING FIXTURE 'R1' INDICATED FIXTURE TYPE. REFER TO LIGHTING FIXTURE SCHEDULE FOR ADDITIONAL INFORMATION.
MOTOR NUMERAL INDICATES HORSEPOWER RATING		
DISCONNECT SWITCH (UNFUSED)	EXIT SIGN WITH BATTERY BACKUP	
DISCONNECT SWITCH (FUSED)	EMERGENCY BATTERY UNIT WITH DUAL HEADS	
TIME CLOCK/SWITCH	FIRE ALARM PULL STATION	
DRY TYPE TRANSFORMER. 480V - 120/208 V	FIRE ALARM HORN STROBE	
DUPLEX RECEPTACLE GFI = GROUND FAULT CIRCUIT INTERRUPTER TYPE WP = GROUND FAULT CIRCUIT INTERRUPTER TYPE & WEATHERPROOF COVER	FIRE ALARM STROBE ONLY	
QUAD RECEPTACLE	MOTORIZED DAMPER	
SPECIAL PURPOSE RECEPTACLE	EXISTING EQUIPMENT FOR INFORMATION ONLY— INDICATED BY SYMBOL WITH LIGHT AND OUT OF FUNCTION LINE TYPE	
CR	EXISTING EQUIPMENT TO BE REMOVED OR REWORKED— INDICATED BY SYMBOL WITH DASHED AND IN FUNCTION LINE TYPE	
	WALL MOUNTED OCCUPANCY SENSOR. PROVIDE SENSORSWITCH MODEL #WSD-PDT	

ELECTRICAL POWER RISER DIAGRAM



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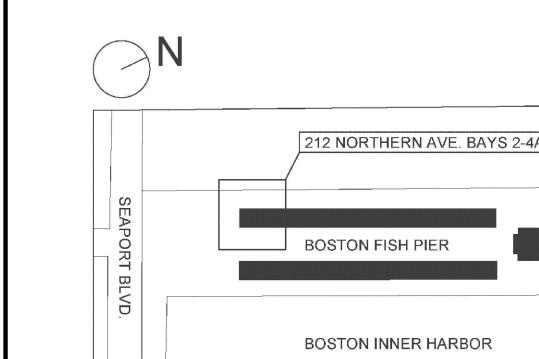
WULF'S FISH

212 NORTHERN AVE. BAYS 2-4A, BOSTON,
MASSACHUSETTS

PROJECT: 1501

No.	Description	Date
1	TAA RESUBMISSION	6/19/15
2	ADDENDUM #1	8/05/15
3	PERMIT SET	8/14/15

DATE: 06.19.15



SCALE: N.T.S.

ELECTRICAL LEGEND, GENERAL NOTES AND RISER DIAGRAM

TYPE	MANUFACTURERS	CATALOG NUMBER	DESCRIPTION	INPUT			REMARKS
				TYPE	WATTS	VOLTS	
R1	FAILSAFE	CFDFA-332A125-UNV-EB81-U	RECESSED 2' X 4' WITH ACRYLIC LENS	T8	96	277	COORDINATE EXACT CEILING TYPE WITH ARCHITECT.
S1	NEWSTAR	NSUN4-4-(2)-32WT8-PC-27-CW	RECESSED 1'X4' WITH WRAPAROUND APPROVED FOR FDA USE	T8	64	277	COORDINATE EXACT CEILING MOUNTING WITH ARCHITECT. SEE NOTE #2
XL	SURELITES	LPX7SDVS1WP	CEILING MOUNTED SINGLE / DOUBLE FACE EDGE LIT RED LED EXIT SIGN WITH EMERGENCY BATTERY BACKUP, ARROWS AS INDICATED ON PLAN	LED	1	277	PROVIDE ARROWS AS INDICATED ON FLOOR PLANS
XL	SURELITES	CC7NCSDWP	WALL MOUNTED EMERGENCY BATTERY UNIT WITH DUAL HEADS.	LED	24	277	
S2	METALUX	SSF-232-UNV-EB81-U-WG-SYMMETRIC REFLECTOR	4'-0" FLUORESCENT STRIP FIXTURE	T8	64	277	

NOTES:

1. EXACT MOUNTING LENGTH AND MOUNTING LOCATION BY ARCHITECT. EXACT COLOR TEMPERATURE BY ARCHITECT. ELECTRICAL CONTRACTOR SHALL PROVIDE ACCESSORIES FOR A COMPLETE INSTALLATION.
2. PROVIDE SEPARATE ITEMIZED ADD ALTERNATE FOR LED FIXTURE TYPE.
3. PROVIDE SEPARATE ITEMIZED ADD ALTERNATE TO REPLACE ALL EXISTING FIXTURES WITH NEW FIXTURES.

E-001

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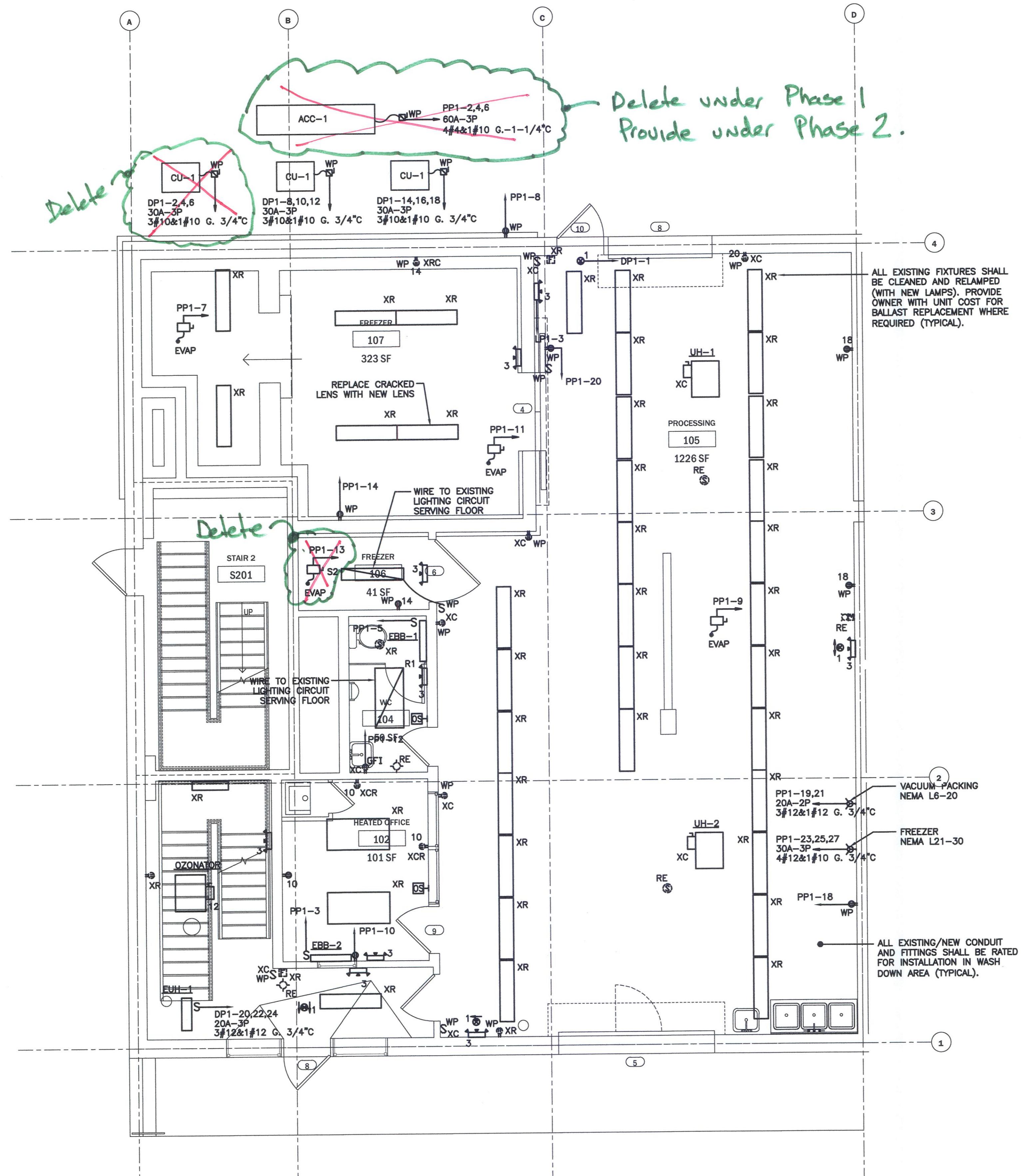
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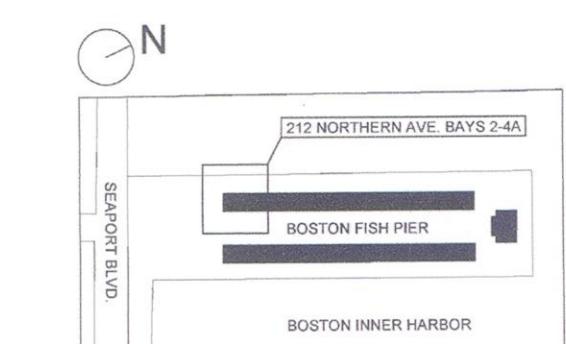


WULF'S FISH
212 NORTHERN AVE. BAYS 2-4A, BOSTON,
MASSACHUSETTS

PROJECT: 1501

No.	Description	Date
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2	ADDENDUM #1	8/05/15
3	PERMIT SET	8/14/15

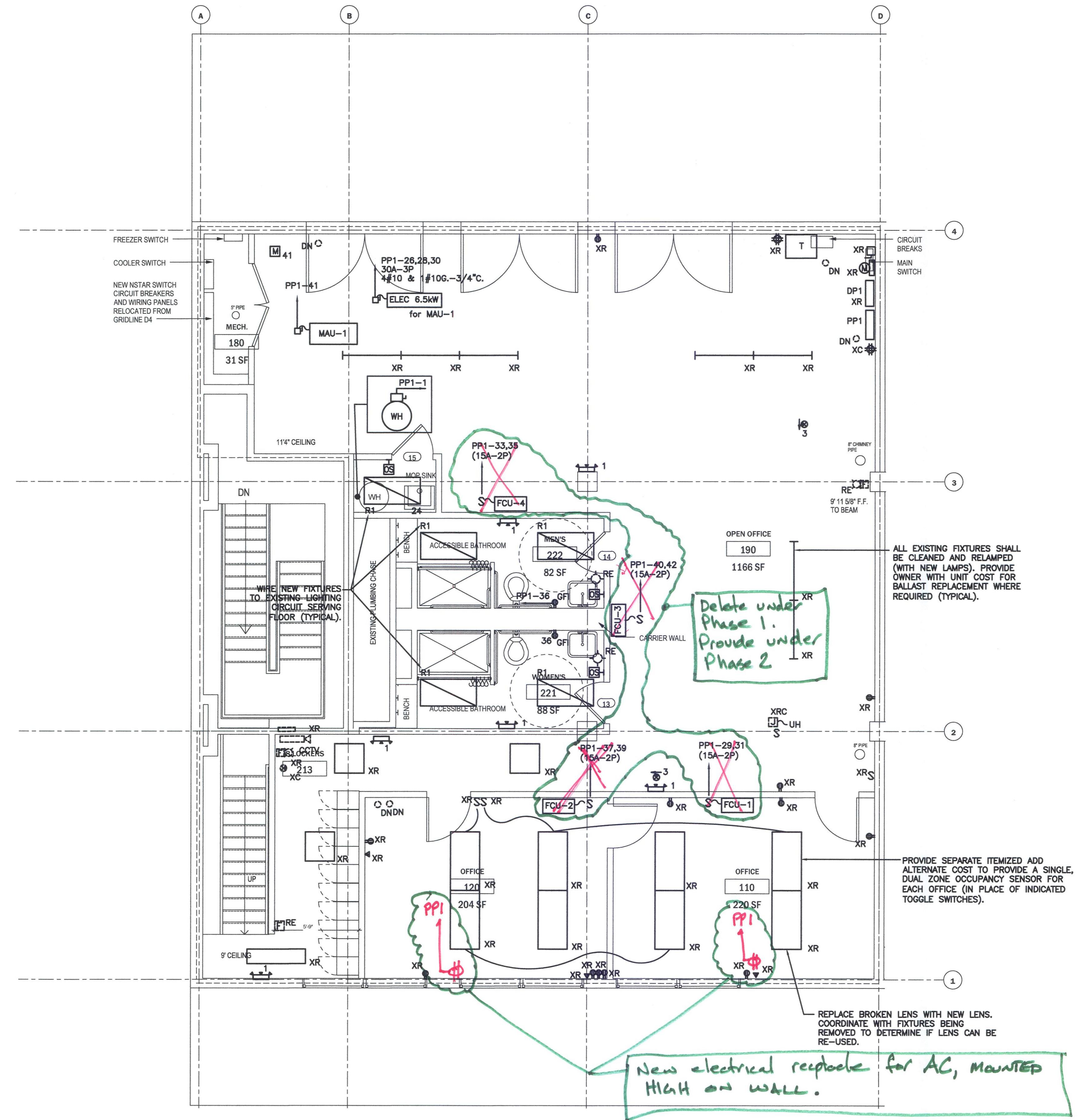
DATE: 06.19.15



SCALE: 1/4"=1'-0"

**ELECTRICAL FIRST
FLOOR PLAN**

E-100



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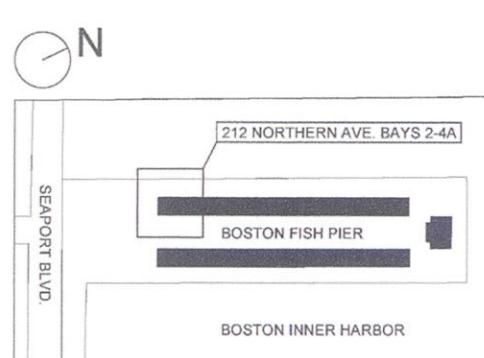


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WULF'S FISH

PROJECT: 1501

DATE: 06.19.15



SCALE: 1/4"=1'-0"

ELECTRICAL SECOND FLOOR NEW PLAN

E-200

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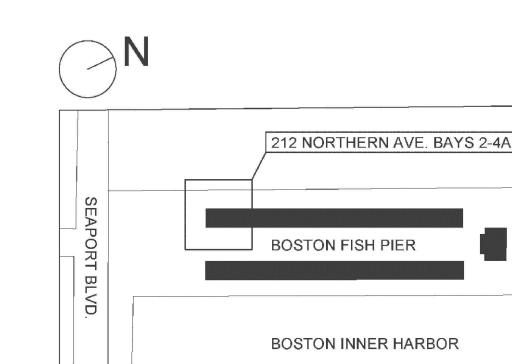
The logo consists of the year "2020" in a large, bold, black serif font. Below it, the word "engineering" is written in a smaller, lowercase, black sans-serif font.

WULF'S FISH

212 NORTHERN AVE. BAYS 2-4A, BOSTON,
MASSACHUSETTS

PROJECT: 1501

DATE: 06.19.15



SCALE: 1/4"=1'

ELECTRICAL FIRST FLOOR DEMOLITION PLAN

ED-100

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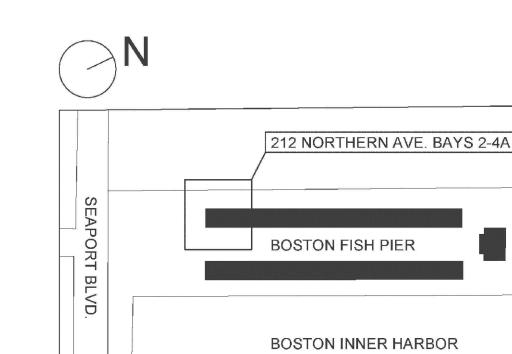
The logo features the year "2020" in a large, bold, black serif font. Below it, the word "engineering" is written in a smaller, lowercase, black sans-serif font.

WULF'S FISH

212 NORTHERN AVE. BAYS 2-4A, BOSTON,
MASSACHUSETTS

PROJECT: 1501

DATE: 06.19.15



SCALE: 1/4" = 1'-0"

ELECTRICAL SECOND FLOOR DEMOLITION PLAN

ED-200

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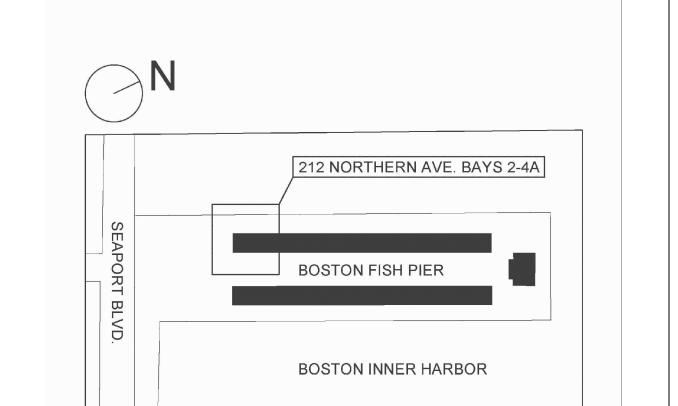
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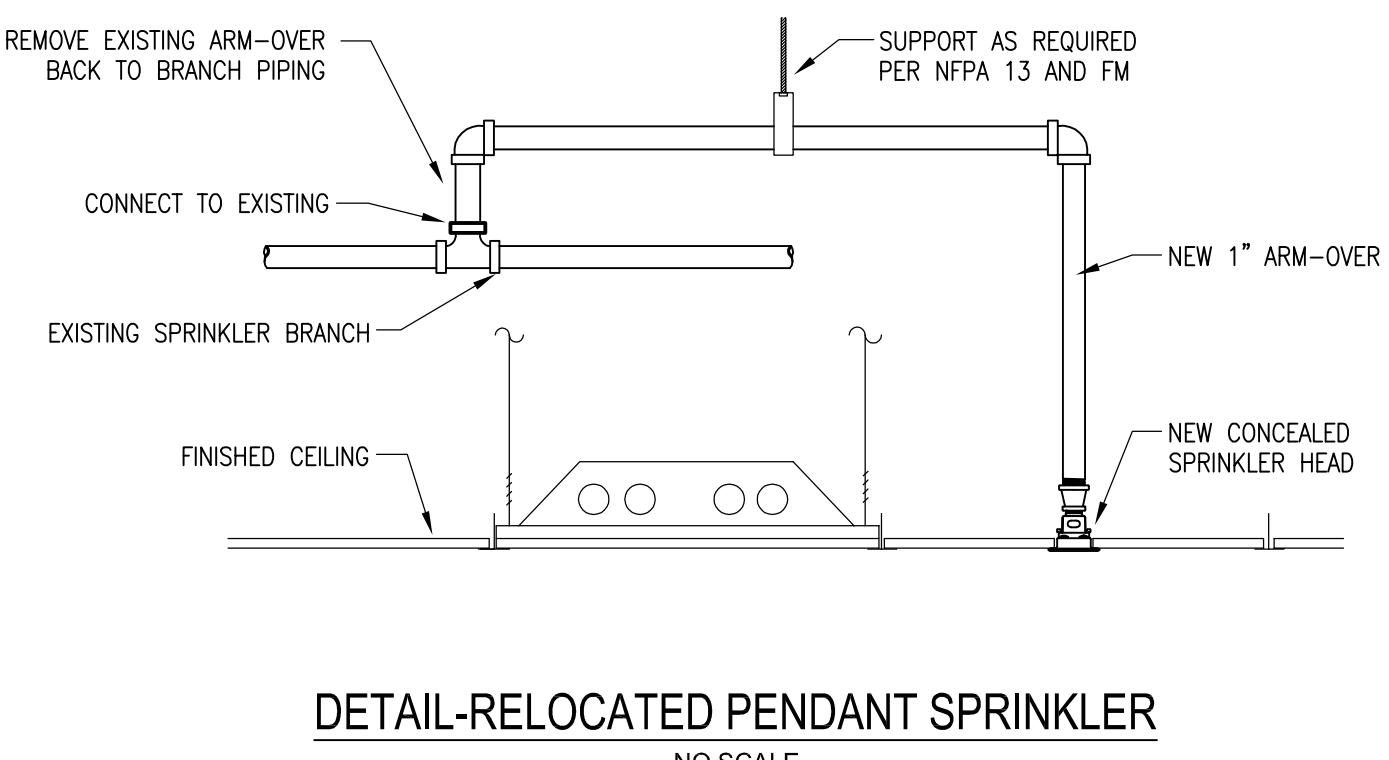


SCALE: As indicated

FIRE PROTECTION SECOND FLOOR PLAN, NOTES, LEGEND AND DETAILS

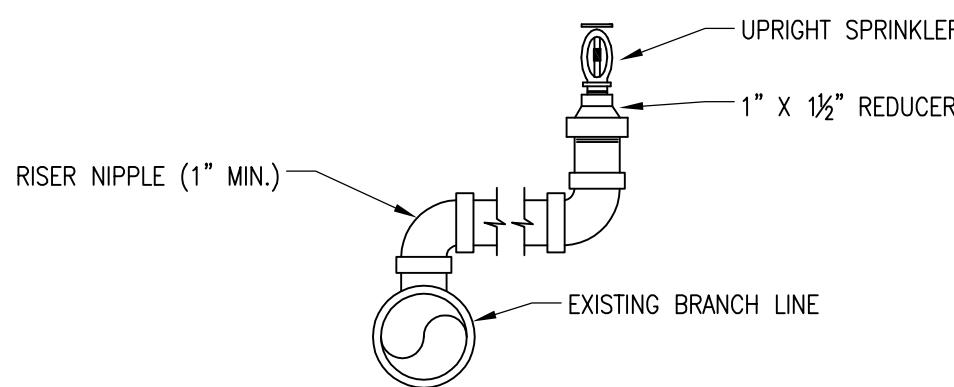
FP-101

SPRINKLER LEGEND	
◎ EXISTING PENDANT HEAD TO REMAIN	
⊗ EXISTING UPRIGHT HEAD TO REMAIN	
◎ _R RELOCATED PENDANT HEAD	
◎ _N NEW PENDANT HEAD, PROVIDE NEW BRANCH PIPING	
⊗ _N NEW UPRIGHT HEAD, PROVIDE NEW BRANCH PIPING	
— EXISTING PIPING (SHOWN LIGHT)	
— NEW PIPING (SHOWN HEAVY)	
● CONNECT TO EXISTING	



DETAIL-RELOCATED PENDANT SPRINKLER

NO SCALE



DETAIL-UPRIGHT SPRINKLER

NO SCALE

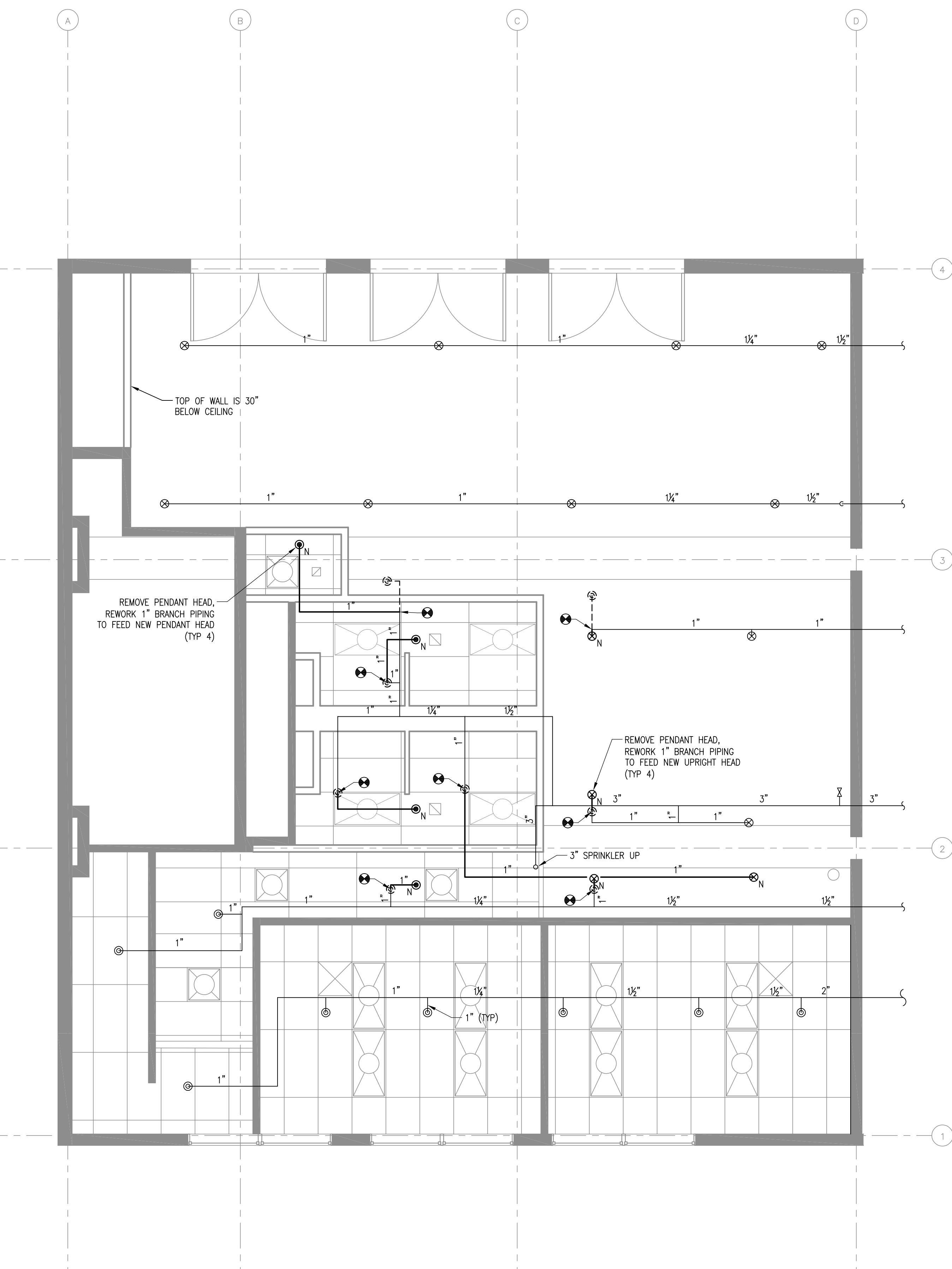
NOTE:
ALL SPRINKLER PIPE SHALL BE SCHEDULE 40 STEEL.
ALL SPRINKLER COMPONENTS, INCLUDING PIPE, HEADS,
HANGERS, ETC. SHALL BE FM APPROVED.

GENERAL SPRINKLER DEMOLITION NOTES	
1.	BIDDER IS ADVISED TO VISIT THE SITE AND ACQUAINT THEMSELVES WITH WORKING CONDITIONS. CONTRACTOR SHALL ACCEPT CONDITIONS AS THEY EXIST ON BID DATE.
2.	DO NOT REMOVE PORTIONS OF SPRINKLER AND PIPING NECESSARY FOR OPERATION OF AREAS NOT BEING RENOVATED.
3.	ANY CEILING, WALL, OR FLOOR (ADDITIONAL TO ARCHITECTURAL SCOPE) REQUIRING REMOVAL FOR DEMOLITION OF SPRINKLER EQUIPMENT (PIPING, HEADS, ETC.) SHALL BE PATCHED AND REPAIRED TO MATCH EXISTING CONDITIONS. COORDINATE WITH ARCHITECTURAL DRAWINGS FOR AREAS TO RECEIVE NEW FINISHES.
4.	ALL ITEMS MARKED "DEMO" SHALL BE REMOVED COMPLETELY; ALL ASSOCIATED ITEMS TO BE DEMOLISHED ARE NOT SHOWN. CONTRACTOR SHALL VERIFY EXTENT OF DEMOLITION IN FIELD. CONTRACTOR SHALL, IN GENERAL, REMOVE ALL SUPPORTS, HANGERS, PIPING, ETC. THAT ARE NO LONGER TO REMAIN IN USE. COORDINATE DEMOLITION WORK WITH NEW SPRINKLER WORK AND EXISTING SYSTEM TO REMAIN.
5.	CONTRACTOR SHALL EXERCISE EXTREME CARE IN DEMOLITION OF EQUIPMENT, PIPING, AND CONTROLS SO AS NOT TO INTERRUPT OTHER SPRINKLER SYSTEM, UTILITIES, COMMUNICATION, AND DATA SYSTEMS. ANY UTILITIES AND WIRING ATTACHED TO PIPING AND EQUIPMENT TO BE DEMOLISHED SHALL BE CAREFULLY DETACHED AND RE-SUPPORTED TO MAINTAIN COMPLETE SYSTEM OPERATION. IF INTERRUPTION OF SYSTEM IS NECESSARY, CONTRACTOR SHALL COORDINATE INTERRUPTION WITH OWNER.
6.	CONTRACTOR SHALL REPAIR ALL DAMAGE TO EXISTING BUILDING, FINISHES, MECHANICAL EQUIPMENT, PIPING, AND SYSTEMS, ETC., CAUSED BY CONTRACTOR DURING DEMOLITION. ALL REPAIRS SHALL BE BY QUALIFIED TRADESMAN AND SHALL BE MADE ACCEPTABLE TO THE ARCHITECT/OWNER.

GENERAL SPRINKLER NOTES	
1.	THIS PROJECT INVOLVES PARTIAL DEMOLITION INSIDE AN EXISTING STRUCTURE. CONTRACTORS, BY SUBMITTING A BID, ARE REQUESTED TO BE COMPLETELY FAMILIAR WITH THE EXISTING CONDITION OF THE BUILDING AS IT INFLUENCES THE WORK DESCRIBED. ABSOLUTELY NO CLAIMS FOR EXTRA COMPENSATION WILL BE CONSIDERED FOR EXISTING CONDITIONS VISIBLE OR REASONABLY INFERRABLE FROM A CAREFUL EXAMINATION OF THE EXISTING BUILDING.
2.	THIS CONTRACTOR SHALL INSPECT THE EXISTING FIELD CONDITIONS AT THE SITE PRIOR TO THE START OF ANY WORK TO DETERMINE WHAT AFFECTS THE EXISTING CONDITIONS WITH RESPECT TO HIS WORK. PROBLEM AREAS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
3.	DRAWINGS ARE DIAGRAMMATIC, THEREFORE DETERMINE EXACT LOCATIONS OF SYSTEMS, COMPONENTS AND PIPING IN THE FIELD. PREPARE SPRINKLER DRAWINGS IN CAD FORMAT.
4.	SHUT DOWNS: A. PROVIDE PROPER NOTICE TO OWNER WHEN MAKING SHUT DOWNS, A MINIMUM OF ONE FULL WEEK. B. PERFORM ANY DUTIES REQUIRED BY OWNER WHEN MAKING SHUT DOWN. C. FILL OUT A SHUT DOWN NOTICE FORM ANSWERING ALL ITEMS REQUESTED SUCH AS TIME AND LOCATION OF SHUTDOWN, SYSTEMS AFFECTED, ETC. WHEN REQUESTING A SHUT DOWN. D. PROVIDE FIRE WATCH AS REQUIRED DURING A SHUT DOWN. E. DURATION OF SHUT DOWN SHALL BE KEPT TO A MINIMUM.
5.	ALL IMPAIRMENTS SHALL FOLLOW THE FM RED TAG PERMIT PROCEDURES.
6.	SPRINKLER CONTRACTOR SHALL ARRANGE FOR A NEW FLOW TEST AND SUBMIT FABRICATION AND HYDRAULIC CALCULATIONS PRIOR TO THE INSTALLATION OF NEW SPRINKLERS AND PIPING. DRAWINGS AND CALCULATIONS SHALL BE STAMPED BY A PROFESSIONAL FIRE PROTECTION ENGINEER REGISTERED IN MASSACHUSETTS.
7.	ALL MODIFICATIONS TO SPRINKLER SYSTEM SHALL BE SUBMITTED FOR APPROVAL BY OWNER'S INSURANCE UNDERWRITER, ARCHITECT, ENGINEER AND LOCAL FIRE DEPARTMENT PRIOR TO INSTALLATION.
8.	ALL SPRINKLER WORK SHALL COMPLY WITH NFPA 13 LATEST EDITION, THE MASSACHUSETTS FIRE CODE AS WELL AS LOCAL FIRE CODES FOR WET SPRINKLER SYSTEMS. ALL SPRINKLER WORK SHALL ALSO BE SUBJECT TO CONTROL OF PUBLIC AUTHORITIES HAVING JURISDICTION. APPLY AND PAY FOR ALL PERMITS.
9.	COORDINATE ALL WORK WITH THE GENERAL CONTRACTOR AND ALL OTHER SUBCONTRACTORS.
10.	ALL FIRE PROTECTION DEVICES, INCLUDING HANGERS, SHALL BE UL LISTED AND FM APPROVED. NEW MATERIALS SHALL MATCH EXISTING. WET SYSTEM PIPING SHALL BE SCHEDULE 40 BLACK STEEL WITH THREADED JOINTS FOR PIPING LESS THAN OR EQUAL TO 2", ROLL GROOVE OR THREADED FOR PIPES 2½" AND LARGER. NEW PENDANT HEADS SHALL BE CONCEALED TYPE WITH WHITE COVERPALTE, ½" ORIFICE, K=5.6, 15SF. NEW UPRIGHT HEADS SHALL BE ½" ORIFICE, K=5.6, 15SF.
11.	ALL WORK UNDER THIS CONTRACTOR SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.
12.	PIPING SYSTEM SHALL BE TESTED BEFORE BEING CONCEALED. ANY LEAKS IN JOINTS OR EVIDENCE OF DEFECTIVE PIPE OR FITTINGS DISCLOSED BY TESTS SHALL BE CORRECTED BY REPLACING DEFECTIVE PARTS WITH NEW JOINTS OR MATERIAL. NO MAKESHIFT REPAIRS SHALL BE PERMITTED.

SPRINKLER SYSTEM DESIGN CRITERIA

AREA DESCRIPTION	NFPA OCCUPANCY CLASSIFICATION	DESIGN DENSITY (GPM/SQ FT)	CALCULATION AREA (SQ FT)	HOSE ALLOWANCE (GPM)	MAX AREA (SQ FT)
OPEN AREA, OFFICE SPACE, CORRIDORS, BATHROOMS	LIGHT HAZARD	0.10	1500	250	225



2 FIRE PROTECTION SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

FP-101

PERMIT SET

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GENERAL NOTES

- CONTRACTOR SHALL CONDUCT A THOROUGH EXAMINATION OF THE PREMISES PRIOR TO SUBMITTING A BID. NO ADDITIONAL COSTS BEYOND THE BID SHALL BE ACCEPTED FOR FIELD CONDITIONS THAT COULD HAVE BEEN DETERMINED BY AN INSPECTION OF THE PREMISES.
- SCOPE OF WORK SHALL INCLUDE ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, RIGGING, ETC. TO PERFORM THE WORK AS INDICATED ON THE DRAWINGS AND HEREIN SPECIFIED FOR A COMPLETE INSTALLATION.
- ALL WORK SHALL COMPLY WITH THE INTERNATIONAL MECHANICAL CODE 2009, THE AUTHORITIES HAVING JURISDICTION, AS WELL AS ANY OTHER PERTINENT STATE AND LOCAL CODES.
- CONTRACTOR SHALL APPLY AND PAY FOR ALL PERMITS.
- THE DRAWINGS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO SHOW THE EXACT LOCATION OF ALL EQUIPMENT, AIR DEVICES, DUCTWORK, OFFSETS, ETC.
- CARE SHALL BE TAKEN DURING THE INSTALLATION OF THE NEW WORK NOT TO DAMAGE OR INTERRUPT THE EXISTING BUILDING SYSTEMS TO REMAIN. DAMAGE TO EXISTING SYSTEMS AND EQUIPMENT CAUSED BY THIS CONTRACTOR DURING THE INSTALLATION OF THIS WORK SHALL BE REPAIRED AND/OR REPLACED AT THIS CONTRACTOR'S EXPENSE TO THE COMPLETE SATISFACTION OF THE BUILDING OWNER.
- COORDINATE ALL WORK WITH THE GENERAL CONTRACTOR AND ALL OTHER SUBCONTRACTORS. COORDINATE SHUTDOWN OF EXISTING SYSTEMS WITH BUILDING OPERATIONS PERSONNEL.
- ALL WORK UNDER THIS CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE OF THE OWNER.
- CONTRACTOR SHALL LOCATE EQUIPMENT SO AS TO AVOID PLACEMENT OVER INACCESSIBLE CEILINGS OR ANY OTHER FIXED PERMANENT OBSTRUCTION SUCH AS FULL HEIGHT WALLS, CABLE TRAYS, CONDUITS AND PIPING TO FACILITATE ACCESS PANEL AND INTERNAL COMPONENT REMOVAL AND REPAIR.
- MANUFACTURER'S NAMES AND MODEL NUMBERS SHOWN ON THE DRAWINGS ARE FOR DESCRIPTIVE PURPOSES AND ARE INTENDED TO SHOW A LEVEL OF PERFORMANCE AS WELL AS QUALITY OF MATERIALS. SUBSTITUTIONS MAY BE SUBMITTED TO THE ENGINEER FOR APPROVAL.
- PERFORM REQUIRED DEMOLITION WORK. CUT, CAP AND SEAL DUCTWORK / PIPING / FLUES AS INDICATED OR REQUIRED. REPAIR ALL DAMAGED INSULATION.
- PROVIDE ALL CONTROLS AND CONTROL WIRING AS REQUIRED FOR COMPLETE AND OPERABLE SYSTEMS.
- ALL SUPPLY AND FRESH AIR DUCTWORK SHALL BE INSULATED. INSULATION SHALL BE 1-1/2" THICK, 0.75 PCF (R=5.0 MIN) WITH ALL PURPOSE (FSK) VAPOR BARRIER JACKET, VAPOR BARRIER TAPE ALL SEAMS. INSTALL INSULATION IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. DON'T USE STAPLES. PROVIDE BOARD INSULATION ON EXPOSED RECTANGULAR DUCTWORK. USE BLANKET INSULATION ON ROUND AND CONCEALED RECTANGULAR. INSULATION SHALL BE KNAUF OR APPROVED EQUIVALENT.
- PROVIDE INSULATED FLEXIBLE DUCT TO DIFFUSERS AND GRILLES. FLEXIBLE DUCT SHALL BE INSULATED, UL-181 CLASS I CONNECTOR. FLEXIBLE DUCT SHALL HAVE FIRE RETARDANT OUTER JACKET AND FACTORY WRAPPED INSULATION BLANKET. FLEXIBLE DUCT SHALL BE FLEXMASTER TYPE 4 INSULATED OR APPROVED EQUAL. FLEXIBLE DUCTWORK SHALL NOT EXCEED FIVE (5) FEET IN LENGTH. SUPPORT FLEXIBLE DUCT FROM STRUCTURE USING 1" INCH WIDE METAL BANDS. FLEXIBLE DUCT SHALL EXTEND STRAIGHT AS POSSIBLE.
- ALL DUCTWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH SMACNA HVAC DUCT CONSTRUCTION STANDARDS. DUCTWORK SHALL BE RATED FOR 2" STATIC PRESSURE. ALL SQUARE AND NON-RADIUS ELBOWS SHALL HAVE TURNING VANES.
- PROVIDE VOLUME DAMPER WITH LOCKING QUADRANT AT ALL TAKEOFFS TO DIFFUSERS OR SUPPLY REGISTERS. DAMPERS SHALL BE AS MANUFACTURED BY RUSKIN MODEL MDR525 OR ACCEPTABLE EQUIVALENT.
- PROVIDE PIPE AND DUCT MARKERS PER INDUSTRY AND LANDLORD STANDARDS.
- Maintain 3'-0" (MIN) CLEARANCE AT ACCESS DOORS OF ELECTRIC EQUIPMENT IN ACCORDANCE WITH NEC REQUIREMENTS.
- ALL EQUIPMENT SHALL BE INSTALLED IN STRICT COMPLIANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
- FURNISH AND INSTALL VRF SYSTEM IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- PROVIDE REFRIGERANT PIPING AS SPECIFIED IN INSTALLATION INSTRUCTIONS FOR THE VRF SYSTEM. REFRIGERANT PIPING SHALL BE INSULATED WITH 1/2" ARMFLEX.
- ALL EQUIPMENT SHALL BE PROTECTED DURING CONSTRUCTION. PRIOR TO STARTUP AND COMMISSIONING, AFTER ALL DUSTY AND DIRTY CONSTRUCTION WORK IS COMPLETED, ALL EQUIPMENT SHALL BE THOROUGHLY CLEANED AND SHALL HAVE ALL NEW FILTERS.
- AFTER COMPLETION OF ALL WORK, AND AT LEAST A WEEK BEFORE OCCUPANCY, PERFORM COMMISSIONING OF THE ENTIRE HVAC SYSTEM(S) IN ACCORDANCE WITH ASHRAE AND NEBB STANDARDS. THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARATION, START-UP AND PROPER OPERATION OF ALL NEW AND EXISTING EQUIPMENT.
- AN INDEPENDENT BALANCING COMPANY (ABC OR NEBB CERTIFIED) SHALL TEST, ADJUST AND BALANCE ALL REQUIRED COMPONENTS OF THE SYSTEMS TO INSURE THAT ALL SYSTEMS WILL FUNCTION PROPERLY. TEST, ADJUST, BALANCE AND RECORD FINAL READINGS OF ALL EQUIPMENT AND DEVICES. FURNISH TO THE ARCHITECT A REPORT WITH THE ITEMIZED, RECORDED DATA (ON ABC OR NEBB STANDARD FORMS) OBTAINED AND CERTIFIED AS FINAL READINGS FOR THE SYSTEMS. INCLUDE BALANCING ALL SUPPLY AND RETURN CONNECTIONS, INCLUDING EXISTING AND NEW.
- AT THE COMPLETION OF THE WORK, FURNISH TO ARCHITECT AND OWNER BALANCE REPORTS, O&M MANUALS, COPIES OF WARRANTIES, A REPRODUCIBLE (AUTOCAD 2007 OR BETTER) DRAWING NOTED AS "AS-BUILT" WITH THE DATE OF COMPLETION, PROJECT TITLE AND CONTRACTOR'S NAME AND ADDRESS. DRAWINGS TO SHOW FINAL ROUTING OF DUCTWORK, PIPING, EQUIPMENT, ETC. DRAWINGS SHALL BE 1/8"=1'-0" SCALE.

LEGEND

—	DUCT OR EQUIPMENT TO REMAIN (SHOWN LIGHT)
- - - - -	DUCT OR EQUIPMENT TO BE DEMOLISHED (SHOWN DASHED)
—	NEW WORK (SHOWN HEAVY)
①	THERMOSTAT OR TEMPERATURE SENSOR
—	VOLUME DAMPER
FD	FIRE DAMPER
MOD	MOTOR-OPERATED DAMPER
SD-1 6X6 125	DIFFUSER/GRILLE TAG TYPE NECK SIZE CFM
□	SUPPLY DIFFUSER
□	RETURN GRILLE
□	RETURN DUCT UP
□	RETURN DUCT DOWN
□	SUPPLY DUCT UP
□	SUPPLY DUCT DOWN
●	CONNECT TO EXISTING
→	DIRECTION OF AIRFLOW (SUPPLY)
←	DIRECTION OF AIRFLOW (EXHAUST)
AMB	AMBIENT TEMPERATURE (FARENHEIT)
CFM	CUBIC FEET PER MINUTE
D&R	DISCONNECT AND REMOVE
DB/WB	DRY BULB / WET BULB
EAT	ENTERING AIR TEMPERATURE (FARENHEIT)
(E)	EXISTING
ETR	EXISTING TO REMAIN
ESP	EXTERNAL STATIC PRESSURE
FLA	FULL LOAD AMPS
FA	FRESH AIR
HP	HORSEPOWER
INWG	INCHES WATER GUAGE
LAT	LEAVING AIR TEMPERATURE (FARENHEIT)
MCA	MINIMUM CIRCUIT AMPACITY
MOCOP	MINIMUM OVER CURRENT PROTECTION
RA	RETURN AIR
SA	SUPPLY AIR
SP	STATIC PRESSURE
VIF	VERIFY IN FIELD
V/PH/HZ	VOLTS / PHASE / HERTZ

CONTROLS NOTES

VRF SYSTEM
PROVIDE A COMPLETE ELECTRIC/ELECTRONIC ATC SYSTEM INCLUDING WIRING OF TEMPERATURE SENSORS AND INTERCONNECTING WIRING FROM FAN COILS TO MAIN UNIT. INCLUDE ALL WIRING AND CONTROL COMPONENTS NECESSARY TO PROVIDE AN OPERATING SYSTEM.

MAKE UP AIR UNIT MAU-1
MAKEUP AIR UNIT MAU-1 SHALL OPERATE CONTINUOUSLY.
INTERLOCK ASSOCIATED MOTOR-OPERATED DAMPER TO OPEN WHEN FAN IS ON, CLOSE WHEN FAN IS OFF.

MAU-1 SHALL BE CONTROLLED BY A DISCHARGE AIR TEMPERATURE SENSOR TO MAINTAIN A CONSTANT DISCHARGE AIR TEMPERATURE (68°F, ADJUSTABLE).

EXISTING EXHAUST FAN RF-1
EXHAUST FAN SHALL RUN CONTINUOUSLY.

GAS FIRED UNIT HEATERS
GAS FIRED UNIT HEATERS SHALL CYCLE TO MAINTAIN SETPOINT AT REMOTE THERMOSTATS.

VRF FAN COIL UNITS

TAG	AREA SERVED	CABINET TYPE	AIRFLOW	CFM	COOLING DATA		HEATING DATA		ELECTRICAL DATA			DESIGN BASED ON	NOTES	
					TOTAL MBH	SENS MBH	EAT(°F DB/WB)	TOTAL MBH	EAT(°F DB)	WATTS	MOCP	V/PH/HZ		
FCU-1	SECOND FLOOR OFFICE 110	WALL MOUNTED	—	—	15	TBD	80/67	17	70	—	15	208/1/60	MITSUBISHI PKFY-P15NBMU-E	1
FCU-2	SECOND FLOOR OFFICE 120	WALL MOUNTED	—	—	18	TBD	80/67	20	70	—	15	208/1/60	MITSUBISHI PKFY-P18NBMU-E	1
FCU-3	SECOND FLOOR OPEN AREA	WALL MOUNTED	—	—	27.1	20.9	80/67	30.9	70	—	15	208/1/60	MITSUBISHI PKFY-P30NKMU-E2	1
FCU-4	SECOND FLOOR OPEN AREA	WALL MOUNTED	—	—	27.1	20.9	80/67	30.9	70	—	15	208/1/60	MITSUBISHI PKFY-P30NKMU-E2	1

NOTES: 1. PROVIDE WITH MANUFACTURER'S CONDENSATE PUMP IF UNIT DOES NOT COME WITH INTEGRAL CONDENSATE LIFT MECHANISM PRE-WIRED TO SAFETY OVERFLOW SWITCH. PIPE CONDENSATE TO MOP SINK, TYPICAL FOR EACH INSIDE UNIT. CONDENSATE PUMP SHALL BE POWERED FROM INDOOR UNIT THAT IT SERVES. PROVIDE WITH SAFETY OVERFLOW SWITCH TO SHUT DOWN AIR CONDITIONING UNIT.

VRF HEAT PUMP AIR-AIR OUTDOOR UNIT

TAG	REFRIG	COOLING DATA		HEATING DATA		ELECTRICAL DATA			PHYSICAL DATA			DESIGN BASED ON	NOTES	
		TOTAL MBH	TEMP RANGE (°F)	TOTAL MBH	TEMP RANGE (°F)	POWER	MCA	MOCP	HEIGHT (IN)	WIDTH (IN)	LENGTH (IN)	WEIGHT (LBS)		
ACC-1	R410A	72	23-109	80	-13-60	208/3/60	53	60	65	36.25	30	486	MITSUBISHI PUHY-HP72TJMU	1-6

NOTES: 1. COOLING BASED ON INDOOR = 75°F/50%RH AND OUTDOOR = 90.1°F DB.
2. HEATING BASED ON INDOOR = 70°F AND OUTDOOR = 0°F.
3. PROVIDE WITH COIL TREATMENT FOR SAL AIR ENVIRONMENT.
4. PROVIDE WITH 2 FOOT HIGH MOUNTING STAND.
5. PROVIDE WITH SEVEN (7) YEAR COMPRESSOR AND FIVE (5) YEAR PARTS WARRANTIES.
6. PROVIDE MANUFACTURER SPACE TEMPERATURE SENSORS AND SYSTEM CONTROLS.

UNIT HEATER SCHEDULE

TAG	AREA SERVED	TYPE	HEATING CAPACITY				FAN DATA		ELECTRICAL		VENTS		DESIGN BASED ON	NOTES		
			TYPE	PRESSURE (INWG)	INPUT (MBH)	OUTPUT (MBH)	STAGES	CFM	HP	POWER	KW	FLA	INTAKE	FLUE		
UH-1	PROCESSING	HORIZONTAL UNIT HEATER	NATURAL GAS	7-14	100	80	1	1140	1/3	120/1/60	—	5.3	—	6" OVAL	REZNOR MODEL B	1, 2, 3
UH-2	PROCESSING	HORIZONTAL UNIT HEATER	NATURAL GAS	7-14	100	80	1	1140	1/3	120/1/60	—	5.3	—	6" OVAL	REZNOR MODEL B	1, 2, 3
EUH-1	ENTRANCE	HORIZONTAL UNIT HEATER	ELECTRIC	—	—	34.1	2	650	1/30	480/3/60	10	12.0	—	—	QMARK MUH-10-4	4

NOTES: 1. UNIT SHALL BE CEILING SUSPENDED HORIZONTAL GRAVITY DRAFT NATURAL GAS BLOWER HEATER.
2. PROVIDE WITH THERMOSTAT AND DISCONNECT. THERMOSTATS IN PROCESSING AREA NEED TO OPERATE AT 38°F SETPOINT (ADJUSTABLE).
3. PROVIDE WITH INTERMITTENT SPARK PILOT.
4. UNIT SHALL BE HORIZONTAL, WALL MOUNTED. PROVIDE WITH MANUFACTURER'S WALL MOUNTING BRACKET AND REMOTE LOW VOLTAGE THERMOSTAT.

ASSEMBLED MAKE-UP AIR UNIT SCHEDULE

TAG	LOCATION	AIRFLOW (CFM)	SUPPLY FAN			ELECTRIC HEAT DATA			FILTERS	NOTES
EXTERNAL STATIC PRESS (

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Replace gas fired
UNIT Heater &
CONTROLS.

WULF'S FISH

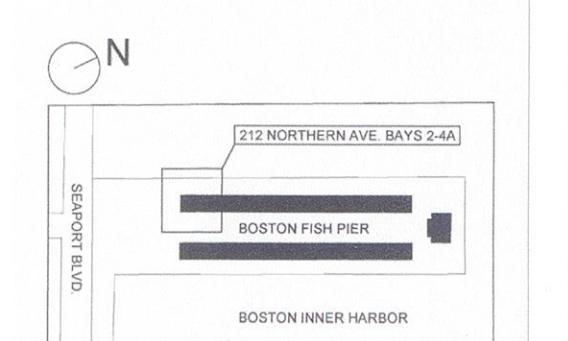
212 NORTHERN AVE, BAYS 2-4A,
BOSTON,
MASSACHUSETTS

PROJECT: 1501

No.	Description	Date
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2	ADDENDUM #1	8/05/15
3	PERMIT SET	8/14/15

DATE: 06.19.15

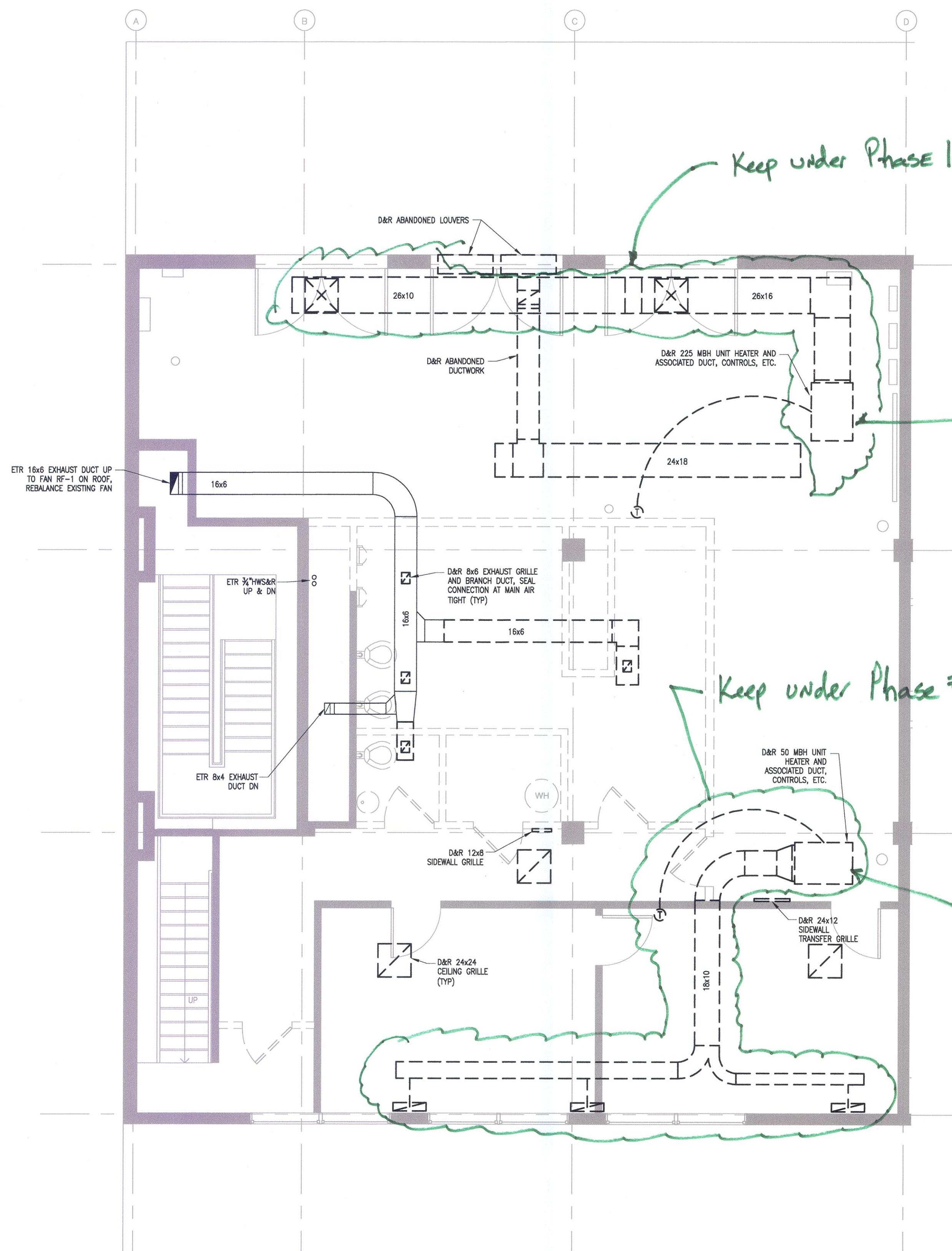
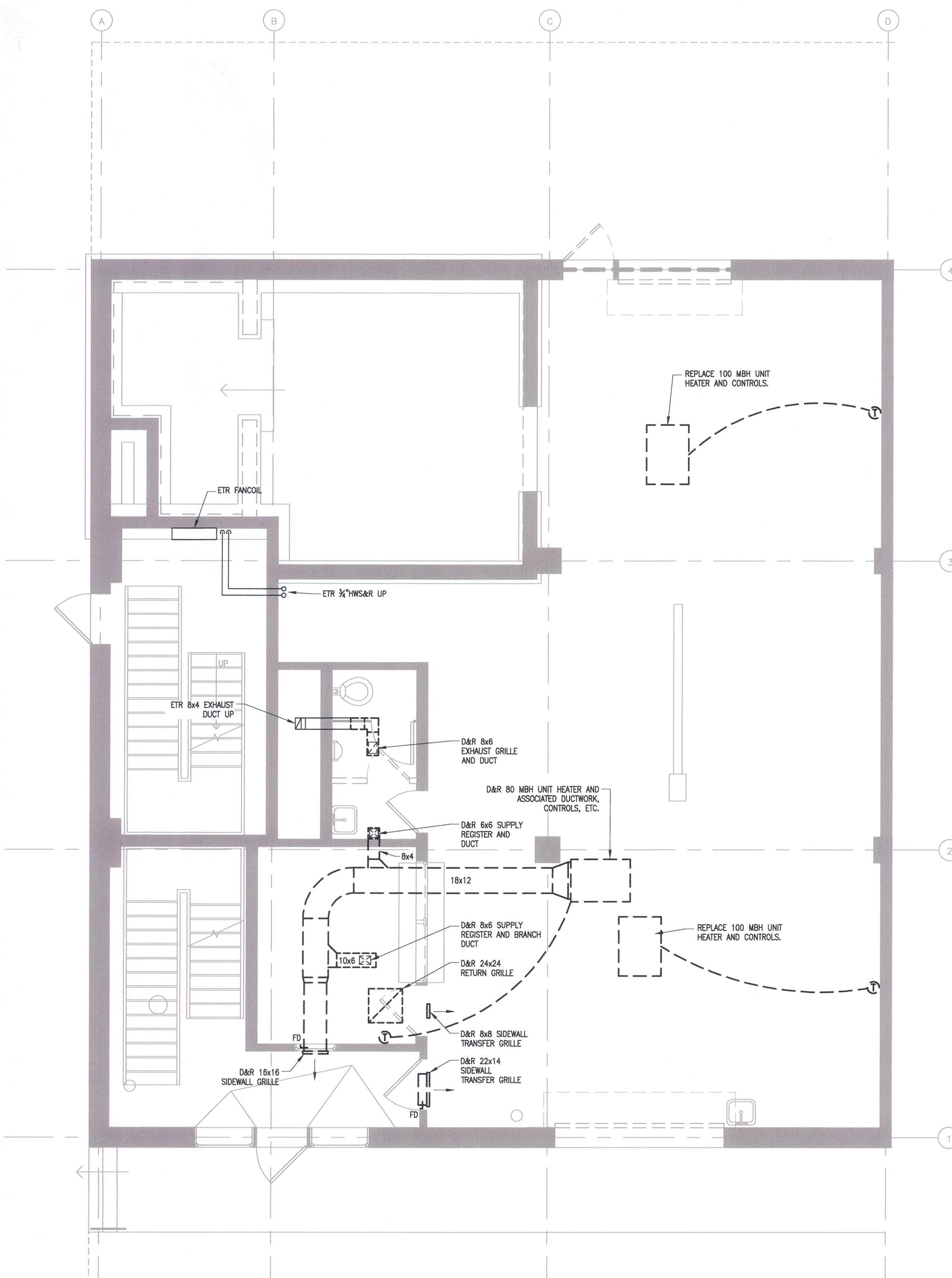
Replace GAS Fired
UNIT Heater &
controls

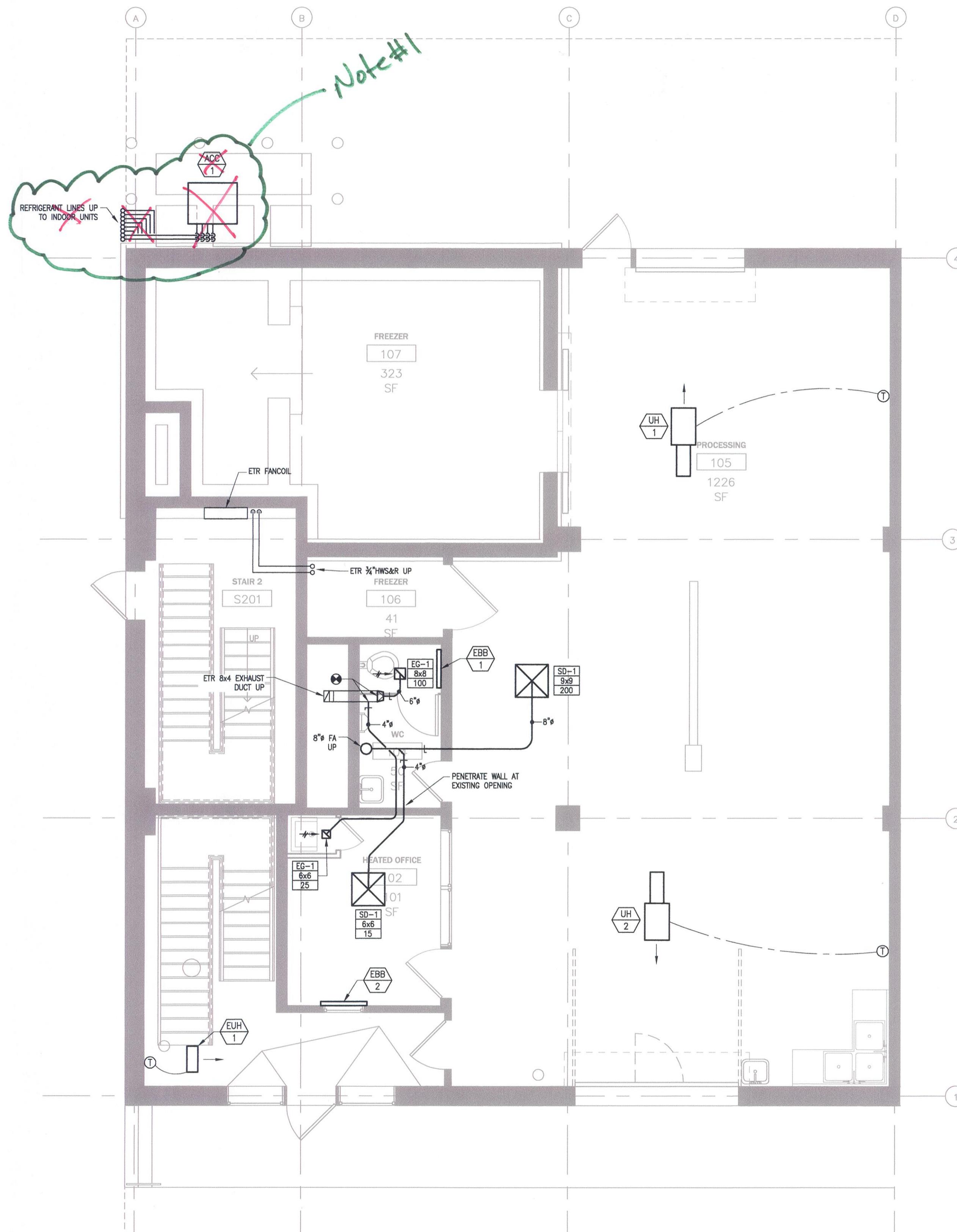


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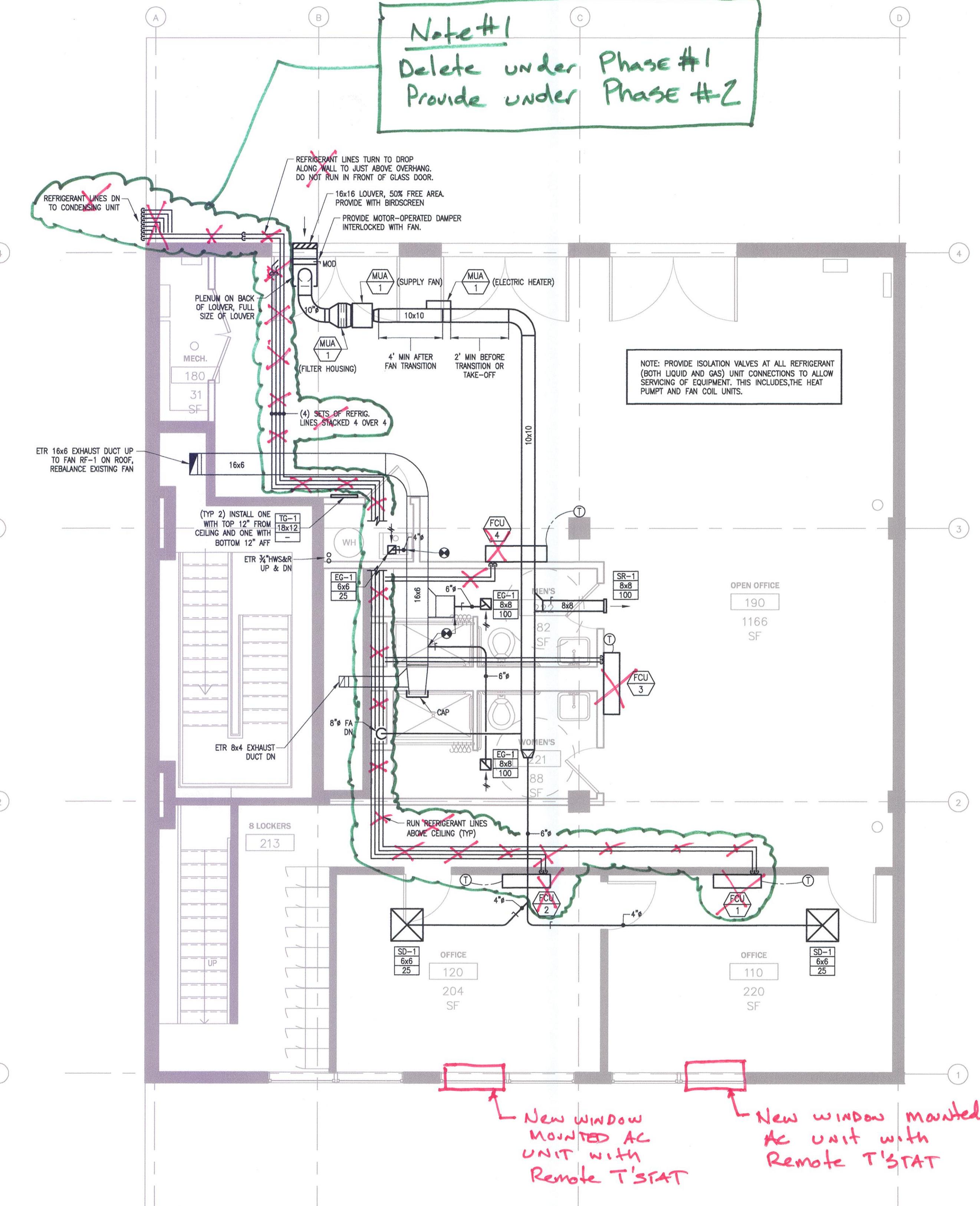
**MECHANICAL FIRST AND
SECOND FLOOR
DEMOLITION PLANS**

MD-101

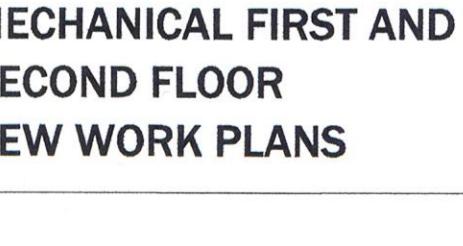




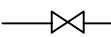
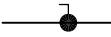
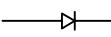
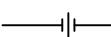
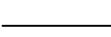
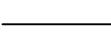
1 MECHANICAL FIRST FLOOR PLAN - NEW WORK
SCALE: 1/4" = 1'-0"



2 MECHANICAL SECOND FLOOR PLAN - NEW WORK
SCALE: 1/4" = 1'-0"

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WULF'S FISH 212 NORTHERN AVE. BAYS 2-4A, BOSTON, MASSACHUSETTS		
PROJECT: 1501		
No.	Description	Date
1	TAA RESUBMISSION	6/19/15
2	ADDENDUM #1	8/05/15
3	PERMIT SET	8/14/15
DATE: 06.19.15		
 <p>212 NORTHERN AVE. BAYS 2-4A BOSTON FISH PIER BOSTON INNER HARBOR</p>		
SCALE: As indicated		
MECHANICAL FIRST AND SECOND FLOOR NEW WORK PLANS		
M-101		

LEGEND

		EXISTING TO REMAIN (SHOWN LIGHT)
		EXISTING TO BE REMOVED (SHOWN DASHED)
		PIPING BELOW SLAB (SHOWN DOUBLE LINED)
	PW	PROCESS WASTE
	S OR W	SANITARY OR WASTE
	V	VENT
	CW	COLD WATER
	HW	HOT WATER SUPPLY
	NPCW	NON-POTABLE COLD WATER
	G	GAS PIPING
	FD	FLOOR DRAIN
		BALL VALVE
		BALL VALVE
		CHECK VALVE
		UNION
		PIPE TURN UP
		PIPE TURN DOWN
		CAP
		DIRECTION OF FLOW
		PIPING CONTINUES
	FCO	FLOOR CLEANOUT
	CTE	CONNECT TO EXISTING
	BFP	BACKFLOW PREVENTER
	CO	CLEAN OUT
	CFH	CUBIC FEET PER HOUR
	D&R	DISCONNECT AND REMOVE
(E)		EXISTING
	ETR	EXISTING TO REMAIN
	FD	FLOOR DRAIN
	HS	HAND SINK
	HB	HOSE BIBB
	LAV	LAVATORY
	SH	SHOWER
	SK	SINK
	SS	SERVICE SINK
	TP	TRAP PRIMER
	VIF	VERIFY IN FIELD
	VTR	VENT THRU ROOF
	WCO	WALL CLEAN OUT
	WC	WATER CLOSET
	WH	WATER HEATER

PLUMBING NOTES

1. CONTRACTOR SHALL CONDUCT A THOROUGH EXAMINATION OF THE PREMISES PRIOR TO SUBMITTING A BID. NO ADDITIONAL COSTS BEYOND THE BID SHALL BE ACCEPTED FOR FIELD CONDITIONS THAT COULD HAVE BEEN DETERMINED BY AN INSPECTION OF THE PREMISES.
 2. SCOPE OF WORK SHALL INCLUDE ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, RIGGING, ETC. TO PERFORM THE WORK AS INDICATED ON THE DRAWINGS AND HEREIN SPECIFIED FOR A COMPLETE INSTALLATION.
 3. ALL WORK SHALL COMPLY WITH THE LATEST ADDITION OF THE MASSACHUSETTS PLUMBING AND GAS CODES, THE AUTHORITY HAVING JURISDICTION, AS WELL AS ANY OTHER PERTINENT STATE AND LOCAL CODES.
 4. CONTRACTOR SHALL APPLY AND PAY FOR ALL PERMITS.
 5. THE DRAWINGS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO SHOW THE EXACT LOCATION OF ALL EQUIPMENT, OFFSETS, ETC.
 6. CARE SHALL BE TAKEN DURING THE INSTALLATION OF THE NEW WORK NOT TO DAMAGE OR INTERRUPT THE EXISTING BUILDING SYSTEMS TO REMAIN. DAMAGE TO EXISTING SYSTEMS AND EQUIPMENT CAUSED BY THIS CONTRACTOR DURING THE INSTALLATION OF THIS WORK SHALL BE REPAIRED AND/OR REPLACED AT THIS CONTRACTOR'S EXPENSE TO THE COMPLETE SATISFACTION OF THE BUILDING OWNER.
 7. COORDINATE ALL WORK WITH THE GENERAL CONTRACTOR AND ALL OTHER SUBCONTRACTORS. COORDINATE SHUTDOWN OF EXISTING SYSTEMS WITH BUILDING OPERATIONS PERSONNEL.
 8. ALL WORK UNDER THIS CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE OF THE OWNER.
 9. THE PLUMBING CONTRACTOR SHALL SUBMIT FOR REVIEW, SHOP DRAWINGS FOR ALL MATERIAL, EQUIPMENT, FIXTURES, PIPE MATERIALS, ASSOCIATED FITTINGS, INSULATION, HANGERS ETC. MANUFACTURER'S NAMES AND MODEL NUMBERS SHOWN ON THE DRAWINGS ARE FOR DESCRIPTIVE PURPOSES AND ARE INTENDED TO SHOW A LEVEL OF PERFORMANCE AS WELL AS QUALITY OF MATERIALS. SUBSTITUTIONS MAY BE SUBMITTED TO THE ENGINEER FOR APPROVAL.
 10. PERFORM REQUIRED DEMOLITION WORK. DISCONNECT AND REMOVE ALL PLUMBING FIXTURES, EQUIPMENT, ASSOCIATED PIPING AND ROUGHING AS INDICATED. CUT, CAP AND SEAL PIPING/FLUES AS INDICATED OR REQUIRED. REPAIR ALL DAMAGED INSULATION.
 11. ALL EQUIPMENT SHALL BE INSTALLED IN STRICT COMPLIANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
 12. ALL PIPING, JOINTS AND FITTINGS SHALL CONFORM TO MASSACHUSETTS STATE PLUMBING CODE. ALL PIPING IS AS EXTENSION OF AN EXISTING SYSTEM AND ALL MATERIALS SHALL MATCH EXISTING. SANITARY, PROCESS WASTE AND VENT PIPING BELOW GRADE SHALL BE HUB AND SPIGOT SERVICE WEIGHT CAST IRON PIPE WITH NEOPRENE COMPRESSION GASKET. SANITARY, WASTE AND VENT PIPING ABOVE GRADE SHALL BE HUBLESS CAST IRON OR TYPE L COPPER. GAS PIPING SHALL BE STANDARD WEIGHT BLACK STEEL WITH THREADED FITTINGS FOR 2" AND SMALLER, WELDED OVER 2". FLUE PIPING SHALL BE TYPE B DOUBLE WALL TO MATCH EXISTING SYSTEMS, SCHEDULE 40 PVC FOR THE NEW POWER VENT WATER HEATER.
 13. PROVIDE ISOLATION BALL VALVES AT EACH FIXTURE CONNECTION AND AT EACH BRANCH TAKE-OFF. VALVES SHALL BE ALL BRONZE, 2 PIECE, FULL PORT, PTFE SEATS, SOLDER END CONNECTIONS, 600 PSIG WOG, APOLLO OR EQUAL.
 14. PROVIDE WATER HAMMER ARRESTERS AT FIXTURES WITH AUTOMATIC SOLENOID OR CYLINDER OPERATED VALVES, AUTOMATIC FLUSH VALVES QUICK-CLOSING VALVES, OR SOLENOID VALVES. PROVIDE PROPER ACCESS TO WATER HAMMER ARRESTERS IN CHASES, UTILIZING A MINIMUM 12" X 12" ACCESS PANEL FURNISHED AND INSTALLED BY THIS CONTRACTOR. WATER HAMMER ARRESTERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND NOT LESS THAN ONE INSTALLED PER CORE PIPING HOT SYSTEM AND CORE PIPING COLD SYSTEM. ARRESTERS SHALL BE EQUAL TO J.R. SMITH HYDROTROL SERIES 5000, ZURN SERIES 1700 OR JOSAM SERIES 75000.
 15. PROVIDE SLEEVES FOR ALL PENETRATIONS. PIPE SLEEVES THROUGH FIRE-RATED CONSTRUCTION SHALL BE SCHEDULE 40 STEEL. SLEEVES THROUGH PARTITIONS AND NON-FIRE-RATED CONSTRUCTION SHALL BE 26 GAUGE GALVANIZED STEEL WITH LOCK LONGITUDINAL SEAMS. FIRE STOP PENETRATION SEALS IN FIRE-RATED CONSTRUCTION SHALL BE CERAMIC FIBRE, MINERAL FIBRE, OR SILICONE FOAM.
 16. COLD AND HOT WATER LINES SHALL BE INSULATED. INSULATION SHALL BE BY OWENS-CORNING, CERTAIN-TEED OR MANVILLE. INSULATION, JACKETS AND ADHESIVES SHALL BE FLAME RETARDANT AND SHALL HAVE ASTM E-84 FIRE HAZARD RATINGS OF 25 FLAME SPREAD, 50 SMOKE DEVELOPED AND 50 FUEL CONTRIBUTED. HOT WATER SUPPLY PIPING SHALL BE INSULATED WITH HEAVY DENSITY FIBERGLASS WITH SELF-SEALING LAP AND ALL SERVICE JACKET. FITTINGS AND VALVES SHALL BE INSULATED WITH TWO LAYERS BLANKET INSULATION WITH PVC COVERS. INSULATION SHALL BE RATED FOR MAXIMUM OPERATING TEMPERATURE OF 450° F. INSULATION THICKNESS SHALL BE 1". COLD WATER PIPING, VALVES AND FITTINGS SHALL BE INSULATED AS SPECIFIED FOR HOT WATER PIPING. IN ADDITION, CONTINUOUS VAPOR BARRIER SHALL BE MAINTAINED.
 17. ALL PIPING SHALL BE LABELED WITH INDUSTRY STANDARD PIPE MARKERS NO MORE THAN 20 FEET APART. LABELS TO SHOW THE DIRECTION OF FLOW.
 18. ALL PIPING SYSTEMS SHALL BE TESTED IN ACCORDANCE WITH THE MASSACHUSETTS STATE PLUMBING CODE BEFORE BEING CONCEALED. ANY LEAKS IN JOINTS OR EVIDENCE OF DEFECTIVE PIPE OR FITTINGS DISCLOSED BY TESTS SHALL BE CORRECTED BY REPLACING DEFECTIVE PARTS WITH NEW JOINTS OR MATERIAL. NO MAKESHIFT REPAIRS EFFECTED BY CAULKING PIPE OR APPLICATION OF PATENTED COMPOUNDS SHALL BE PERMITTED.
 19. ENTIRE INSTALLATION AND ALL WORK AREAS SHALL BE LEFT AS CLEAN AS NEW. CLEAN SYSTEMS THOROUGHLY BEFORE TESTING. FIXTURES, EQUIPMENT, PIPE, VALVES AND FITTINGS SHALL BE FREE OF GREASE, METAL CUTTINGS, DIRT AND OTHER FOREIGN MATERIAL. REPAIR ANY STOPPAGE, DISCOLORATION AND DAMAGE TO PARTS OF BUILDING, FINISH AND FURNISHINGS DUE TO FAILURE TO PROPERLY CLEAN PIPING SYSTEM.
 20. ALL HOT AND COLD POTABLE AND NON-POTABLE WATER PIPING SYSTEMS SHALL BE CHLORINATED IN ACCORDANCE WITH MASSACHUSETTS STATE PLUMBING CODE. WATER PIPING SYSTEMS SHALL BE THOROUGHLY DISINFECTED WITH A SOLUTION CONTAINING NO LESS THAN 50 PARTS PER MILLION OF AVAILABLE CHLORINE. CHLORINATING MATERIALS SHALL BE EITHER LIQUID CHLORINE OR SODIUM HYPOCHLORITE SOLUTION, SHALL BE INTRODUCED INTO THE SYSTEM AND DRAWN TO ALL POINTS IN THE SYSTEM. DISINFECTION SOLUTION SHALL BE ALLOWED TO REMAIN IN SYSTEM FOR 24 HOURS, DURING THIS TIME, VALVES AND FAUCETS SHALL BE OPENED AND CLOSED SEVERAL TIMES. AFTER DISINFECTION, SOLUTION SHALL BE FLUSHED FROM THE SYSTEM WITH CLEAR WATER UNTIL RESIDUAL CHLORINE CONTENT IS NO GREATER THAN 0.2 PARTS PER MILLION.
 21. AT THE COMPLETION OF THE WORK, FURNISH TO ARCHITECT AND OWNER O&M MANUALS, COPIES OF WARRANTIES, A REPRODUCIBLE (AUTOCADD 2007 OR BETTER) DRAWING NOTED AS "AS-BUILT" WITH THE DATE OF COMPLETION, PROJECT TITLE AND CONTRACTOR'S NAME AND ADDRESS. DRAWINGS TO SHOW FINAL ROUTING OF PIPING, EQUIPMENT, ETC. DRAWINGS SHALL BE 1/8"=1'-0" SCALE MINIMUM.

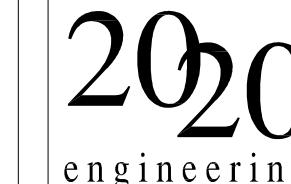
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WULF'S FISH

212 NORTHERN AVE. BAYS 2-4A,
BOSTON,
MASSACHUSETTS

PROJECT: 150

DATE: 06.19.15

PLUMBING FIXTURE SCHEDULE

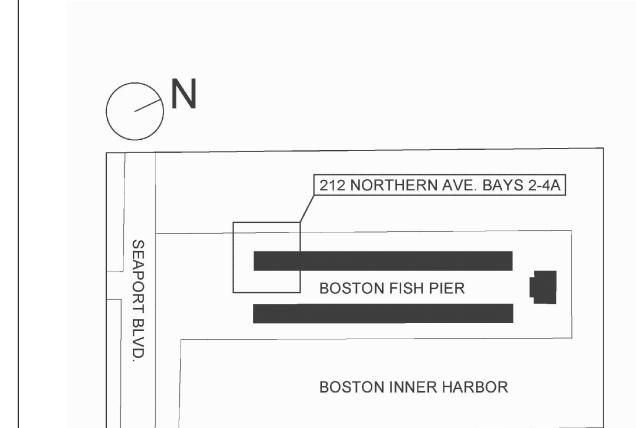
TAG	Fixture	Manufacturer	Model No.	Faucet - Valve	Waste	Vent	CW	HW	Remarks
WC	WATER CLOSET	AMERICAN STANDARD	2257.101	SLOAN ROYAL 111-1.28	4"	2"	1"	-	NOTES 1, 2, 4 
LAV	LAVATORY	AMERICAN STANDARD	0355.012	SYMMONS S-20-2-G	1-1/2"	1-1/2"	1/2"	1/2"	NOTES 1, 3, 4 
SH	ACCESSIBLE SHOWER	AQUATIC	1363BFSCMA	SYMMONS C-96-500-B30-V-X	2"	-	1/2"	1/2"	
SK	3 COMPARTMENT SINK	ADVANCE TABCO	94-K2-24D	(2) FAUCETS, EACH TO BE CHICAGO 510-GC613ALABCP	-	-	1/2"	1/2"	NOTE 6
SS	SERVICE SINK	FIAT	L-1	FIAT A-1	-	-	1/2"	1/2"	PROVIDE WITH WALL HANGER
TP	TRAP PRIMER	PPP, INC.	PR-500	---	-	-	1/2"	-	
WH	WATER HEATER	STATE INDUSTRIES	SHE50 100NE	---	-	-	3/4"	3/4"	NOTE 5

NOTES:

1. FIXTURE TO BE VITREOUS CHINA, WHITE IN COLOR.
2. PROVIDE WHITE PLASTIC SEAT. UNIT TO BE HANDICAP HEIGHT. MAKE ADA COMPLIANT.
3. PROVIDE WITH FAUCET, CHROME-PLATED GRID DRAIN ASSEMBLY, OFFSET TAILPIECE AND SUPPLIES WITH STOPS. INSULATE SUPPLIES AND TRAP. MAKE ADA COMPLIANT.
4. PROVIDE WITH SUITABLE WALL CARRIER AS REQUIRED.
5. WATER HEATER TO BE DIRECT VENT GAS-FIRED 50 GALLON, 100 MBH INPUT, RATED FOR 116 GPH @ 100°F RISE, 120V/60HZ, <5 AMPS ELECTRICAL. PROVIDE WITH MANUFACTURER'S CONDENSATE NEUTRALIZING KIT.
6. PROVIDE SINK WITH FLOOR MOUNTED GREASE INTERCEPTOR EQUAL TO SCHIEF CR-25. 3" INLET/OUTLET. 25 GPM.

SCALE: As indicated

PLUMBING SCHEDULE, NOTES AND LEGEND

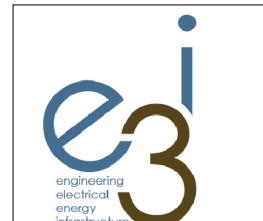


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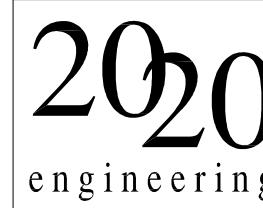
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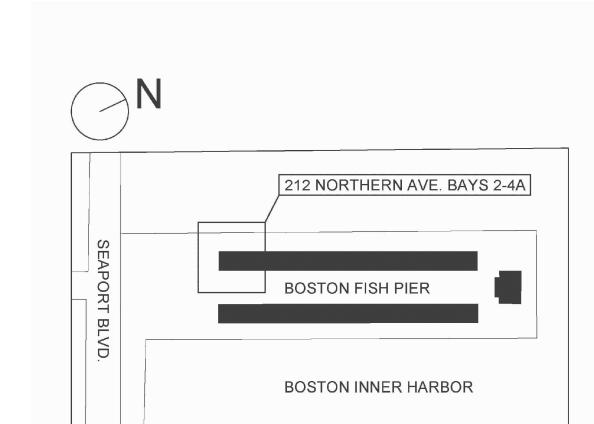
WULF'S FISH

212 NORTHERN AVE. BAYS 2-4A,
BOSTON,
MASSACHUSETTS

PROJECT: 1501

No.	Description	Date
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2	ADDENDUM #1	8/05/13
3	PERMIT SET	8/14/13

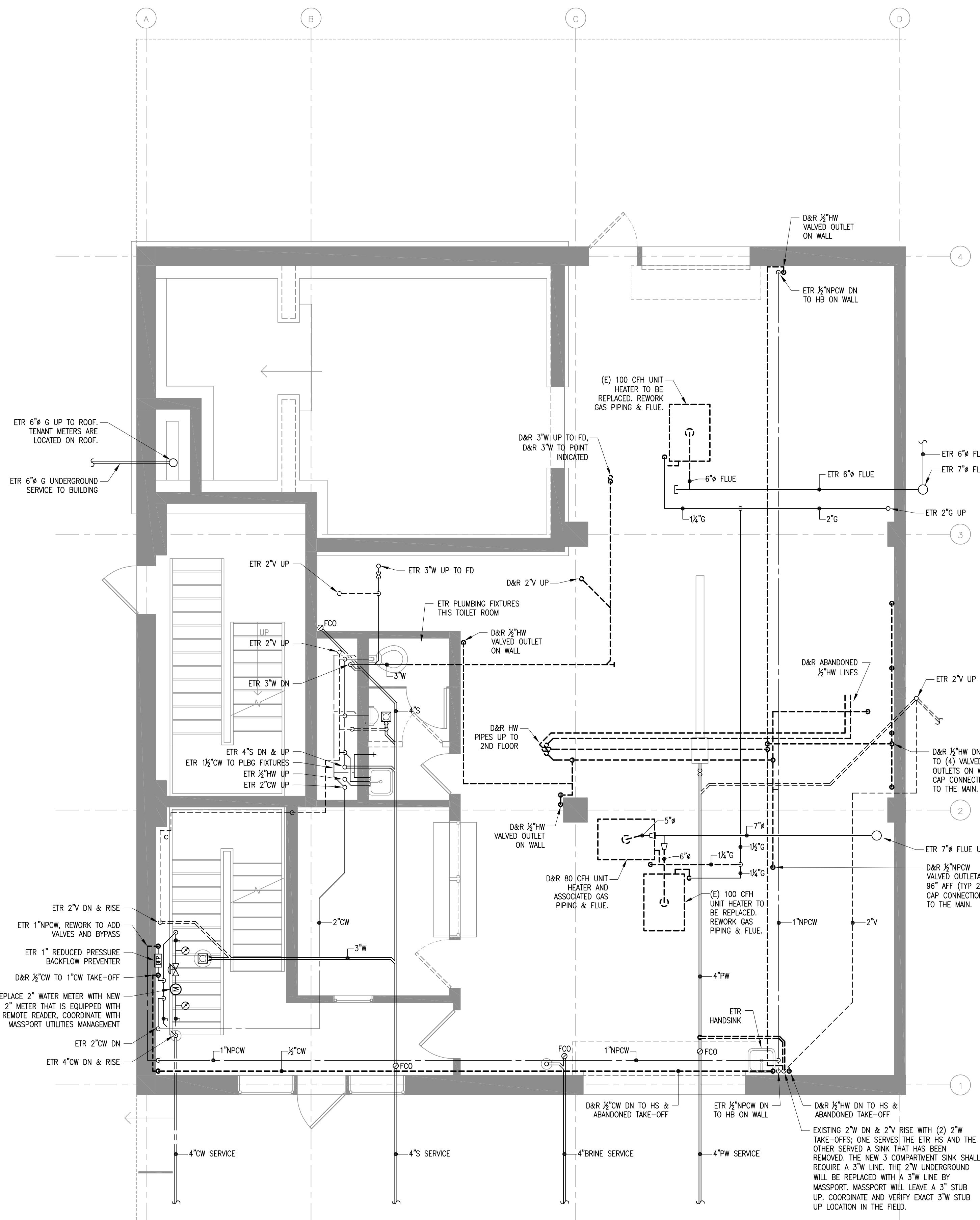
DATE: 06.19.15



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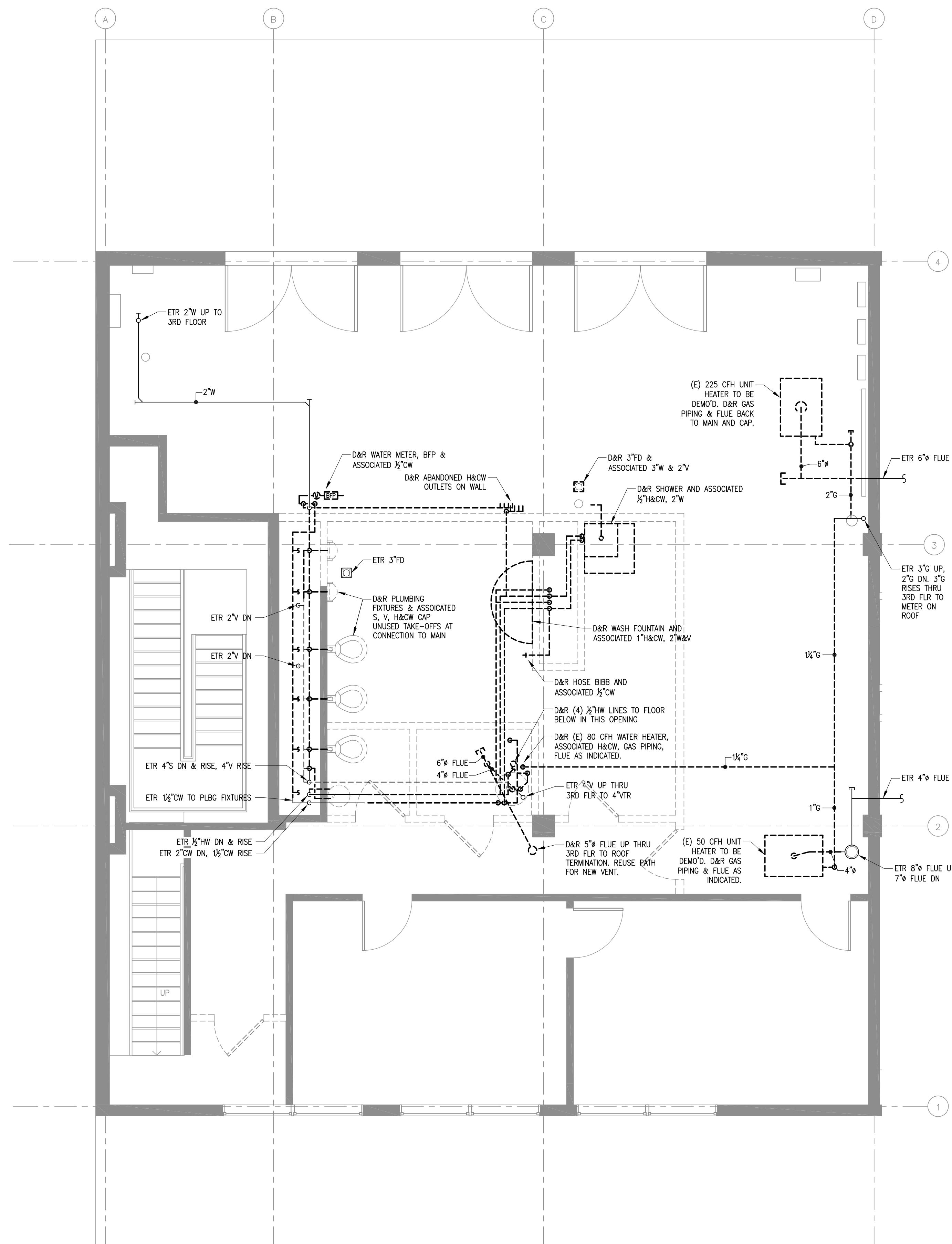
PLUMBING FIRST AND SECOND FLOOR DEMOLITION PLANS

PD-101



1 PLUMBING FIRST FLOOR PLAN - DEMOLITION

SCALE: 1/4" = 1'-0"



PLUMBING SECOND FLOOR PLAN - DEMOLITION

SCALE: 1/4"