

SITE DEVELOPMENT PLANS

FOR

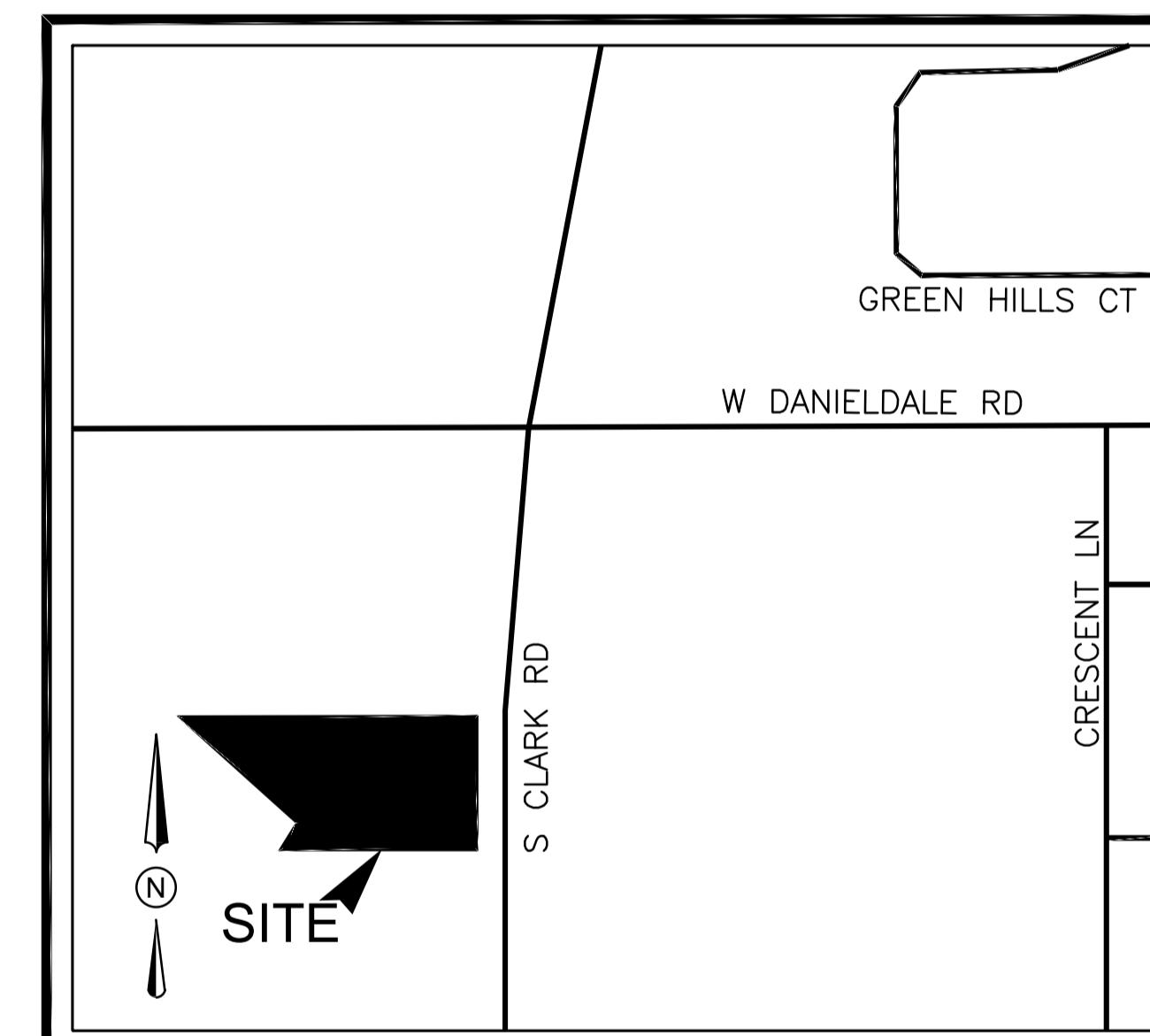
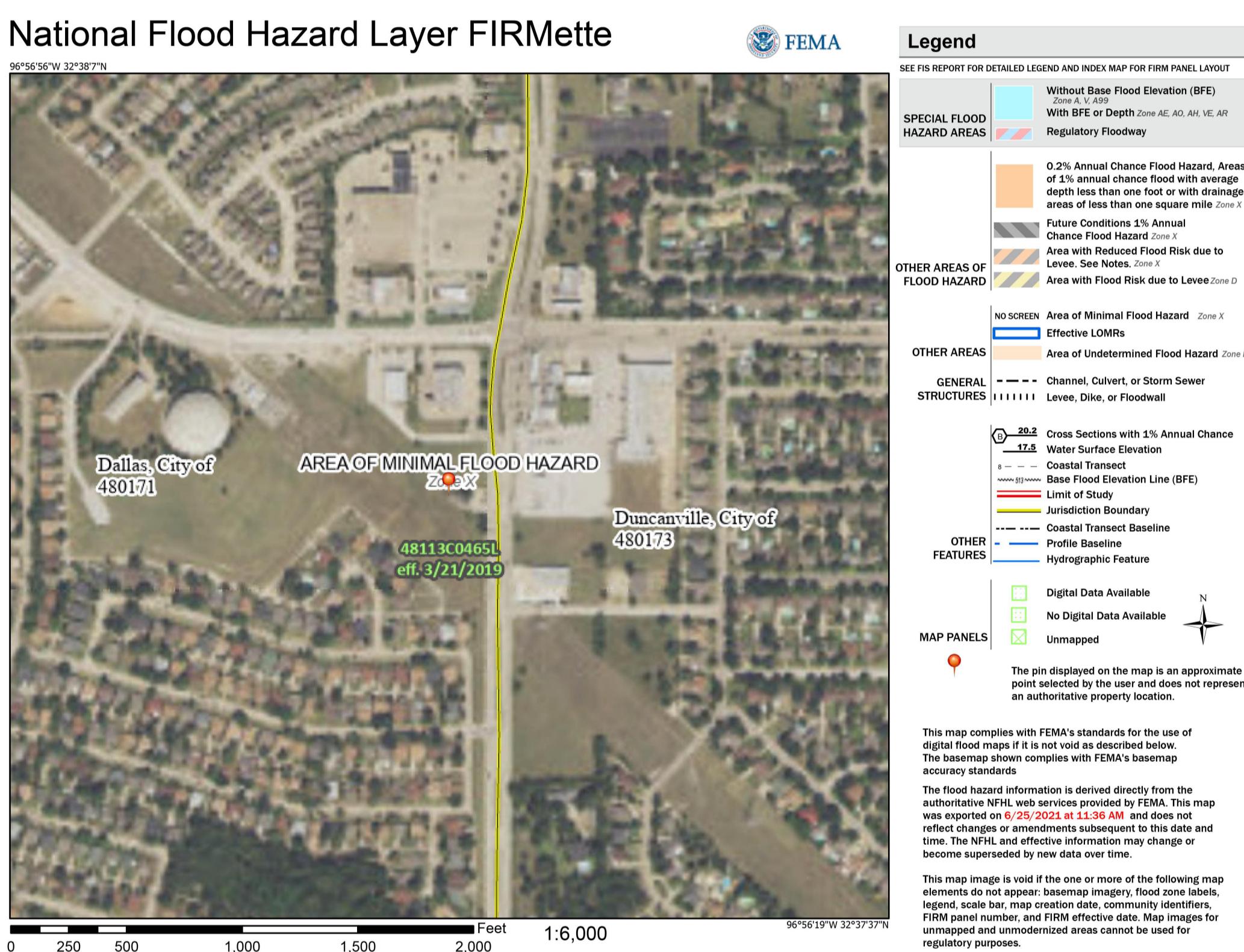
GRAND TRIP

S. CLARK RD & W. DANIELDALE RD
CITY OF DALLAS
DALLAS COUNTY, TEXAS 75137

JAKE MORRIS ADDITION, PHASE 1, BLOCK1, LOT 3

0.79 ACRES

DP21-182



VICINITY MAP

N.T.S.
MAPSCO - 718B-L

PROJECT CONTACT LIST	
ENGINEER TRIANGLE ENGINEERING LLC 1784 McDermott Dr., Ste. 110 Allen, TX 75013 KIEW KAM 469-213-2266	OWNER/DEVELOPER ATIO PRADHAN 1801 Brook View Dr, Carrollton, TX, 75007 682-557-0418
SURVEYOR TEXAS HERITAGE SURVEYING, LLC 10610 METRIC DRIVE, SUITE 124, DALLAS, TX, 75243 GARY E. JOHNSON 214-340-9700	ARCHITECT GOOD SEED CONSULTING GROUP, INC 2560 ROYAL LN SUITS 121 DALLAS, TX, 75229 ROBERT KIM 214-693-2573

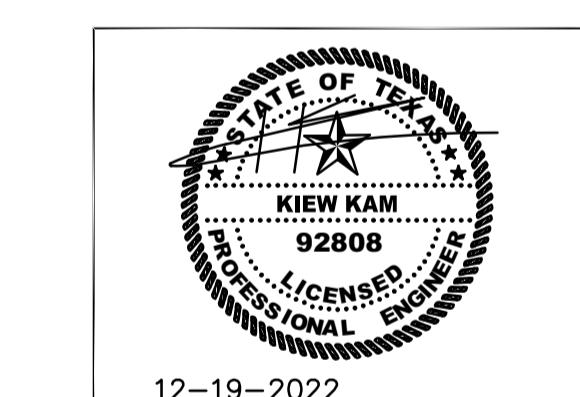
FLOOD PLAIN NOTE

THE SUBJECT PROPERTY LIES WITHIN THE ZONE "X" UNSHADED (DETERMINED TO BE OF THE 0.20% ANNUAL CHANGE FLOODPLAIN) AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP NUMBER 48113C046SL, DATED MARCH 21, 2019 FOR THE DALLAS COUNTY, TEXAS AND INCORPORATED AREAS.

NOTES:
THE PROPERTY OWNER IS LIABLE TO RESTORE/REPLACE ANY DAMAGED CITY APPROVED/CONTROLLED INFRASTRUCTURE IN PUBLIC RIGHT OF WAY.

CONTRACTOR SHALL APPLY FOR ROW PERMIT AT <https://rowmanagement.dallascityhall.com/login.aspx> AND SCHEDULE INSPECTIONS FOR ALL PROPOSED WORK WITHIN CITY RIGHT OF WAY.

SHEET LIST TABLE	
C01	COVER SHEET
C02	PRELIMINARY PLAT
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C05.50	DIMENSION CONTROL DETAILS
C06.01	PAVING PLAN
C06.50	PAVING PLAN DETAILS
C07.01	GRADING PLAN
C08.01	EX. DRAINAGE MAP
C08.02	POST DRAINAGE MAP
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C11.50	EROSION CONTROL DETAILS
C12.01	SIGNAGE AND STRIPING PLAN
C13.01	STREET LIGHT PLAN



F-11525

REVISIONS			
REV NO.	DATE	DESCRIPTION	BY



T: 469.331.8566 | F: 469.359.6709 | E: kpater@triangle-enr.com
W: triangle-enr.com | I: 1784 W. McDermott Drive, Suite 110, Allen, TX 75013

Planning | Civil Engineering | Construction Management

CONSULTING FIRM:	TRIANGLE ENGINEERING LLC	DATE: 08-05-2021
DESIGNED BY:	KIEW KAM	
ENGINEER OF RECORD NAME, P.E.		
PLAT NO.	BLDG. PERMIT NO.	DEV ENGINEERING
S201-670	N/A	TRACKING NOS.
		DP21 -182

COVER SHEET

GRAND TRIP

S. CLARK RD & W. DANIELDALE RD

DEVELOPMENT SERVICES

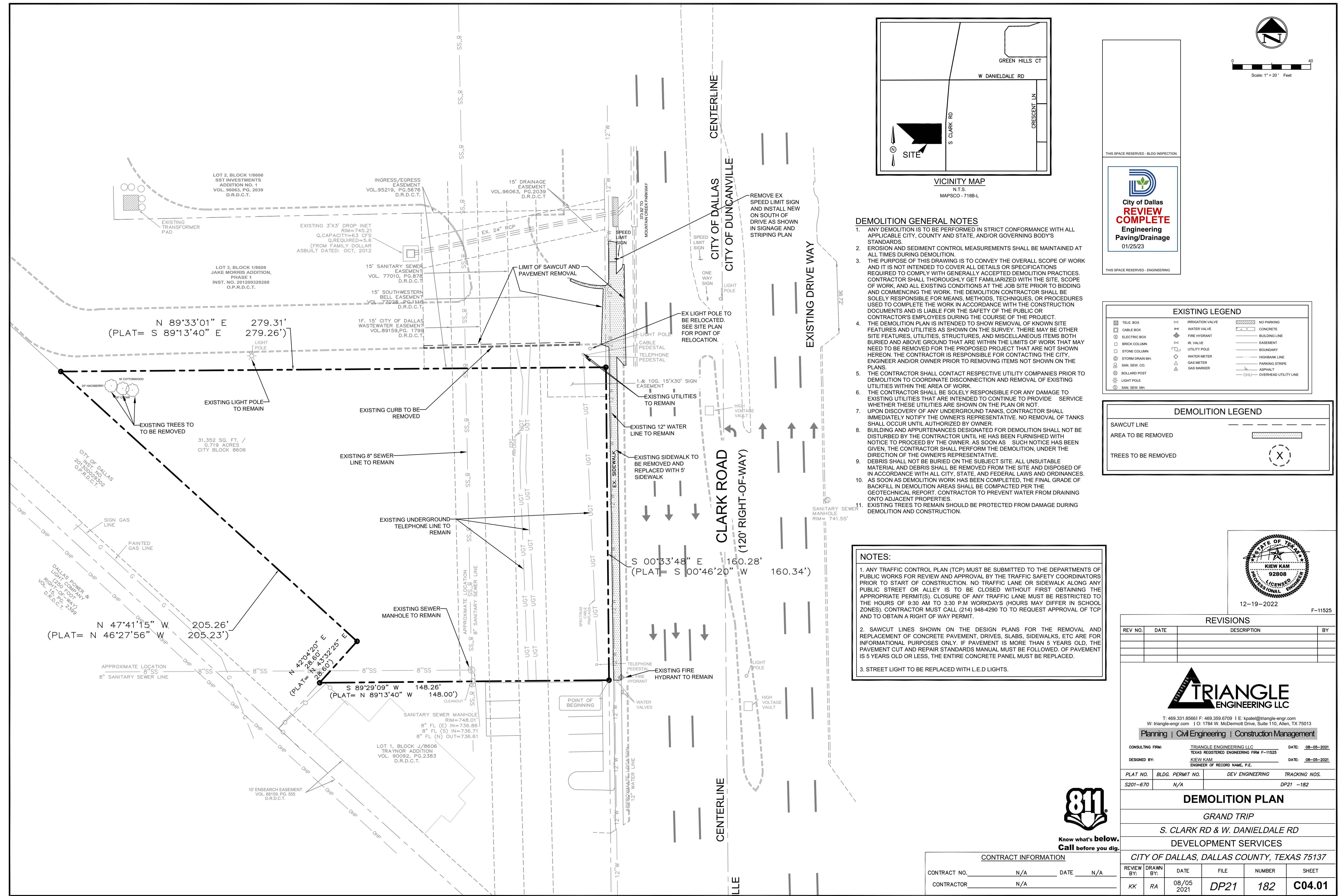
CITY OF DALLAS, DALLAS COUNTY, TEXAS 75137

REVIEW BY: DRAWN BY: DATE: FILE: NUMBER: SHEET

KK RA 08/05 2021 DP21 182 C01

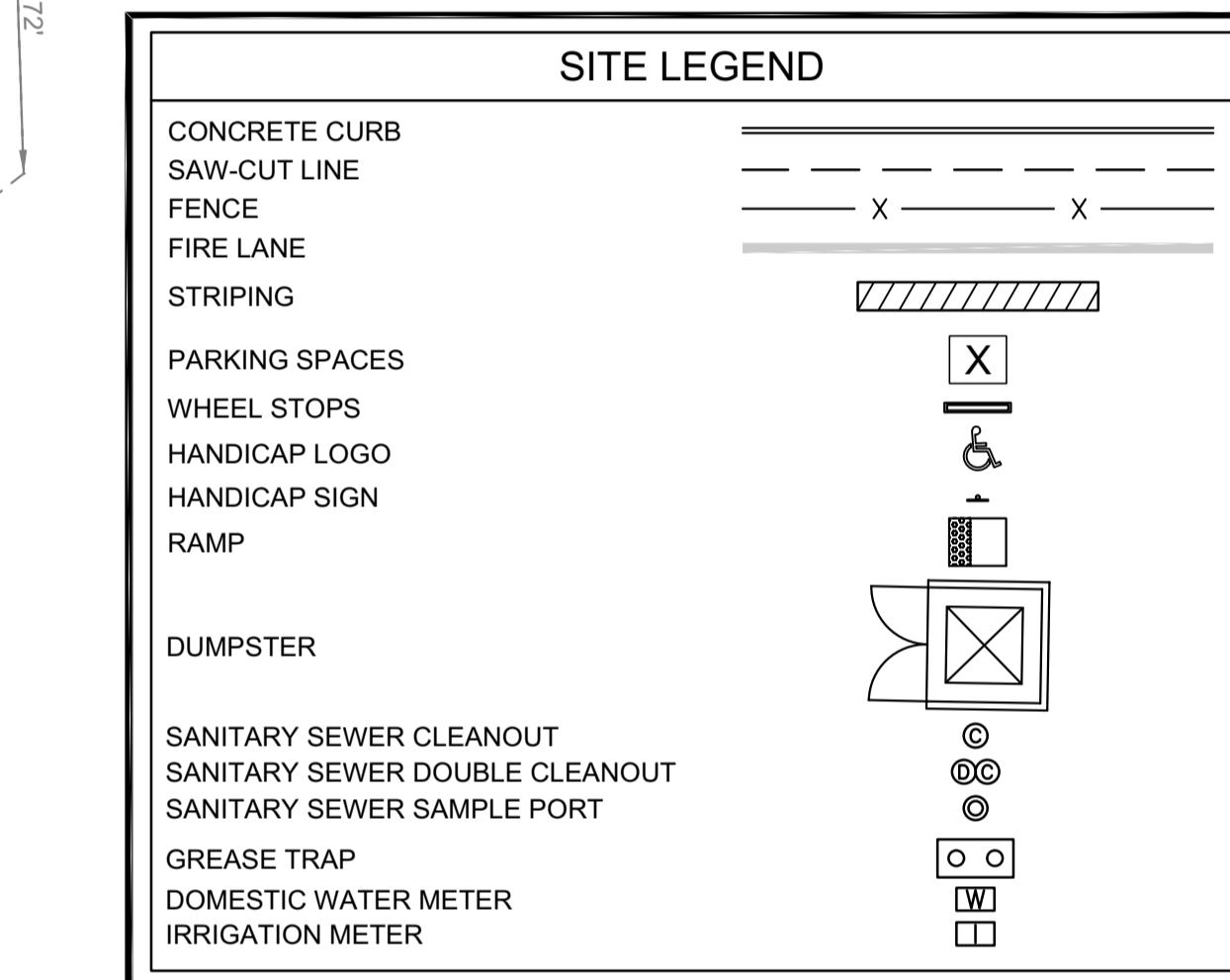
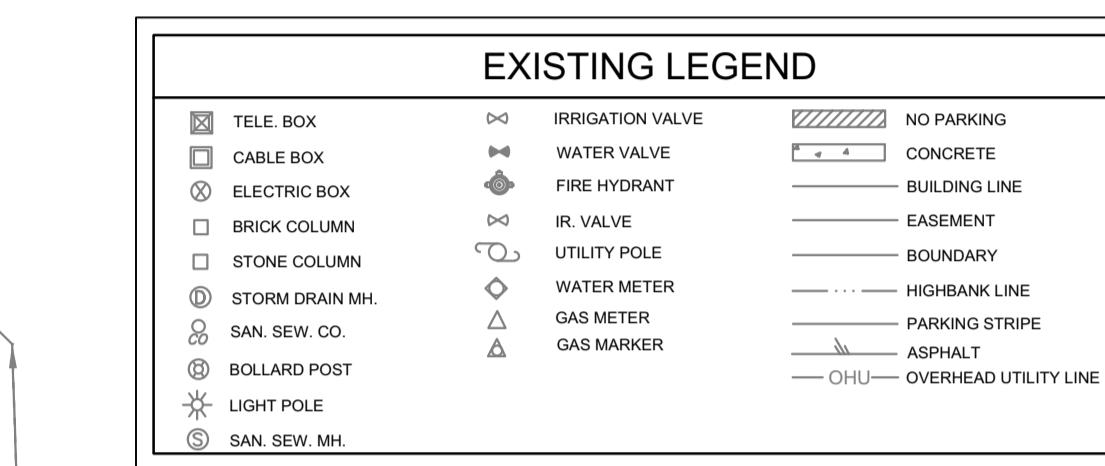
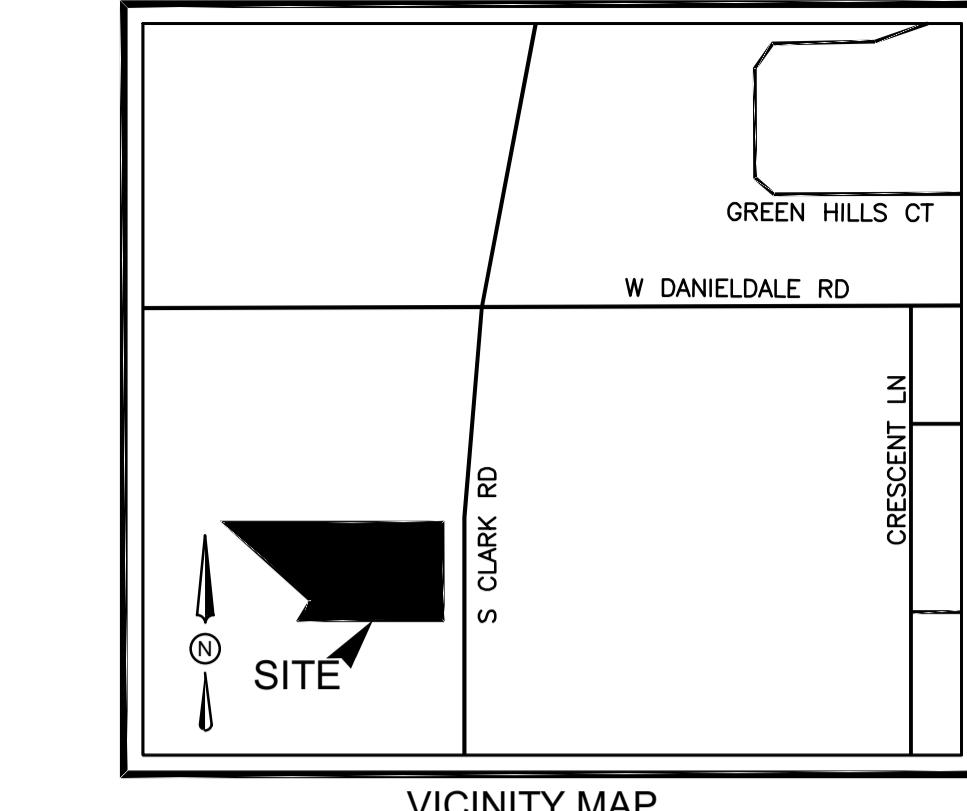
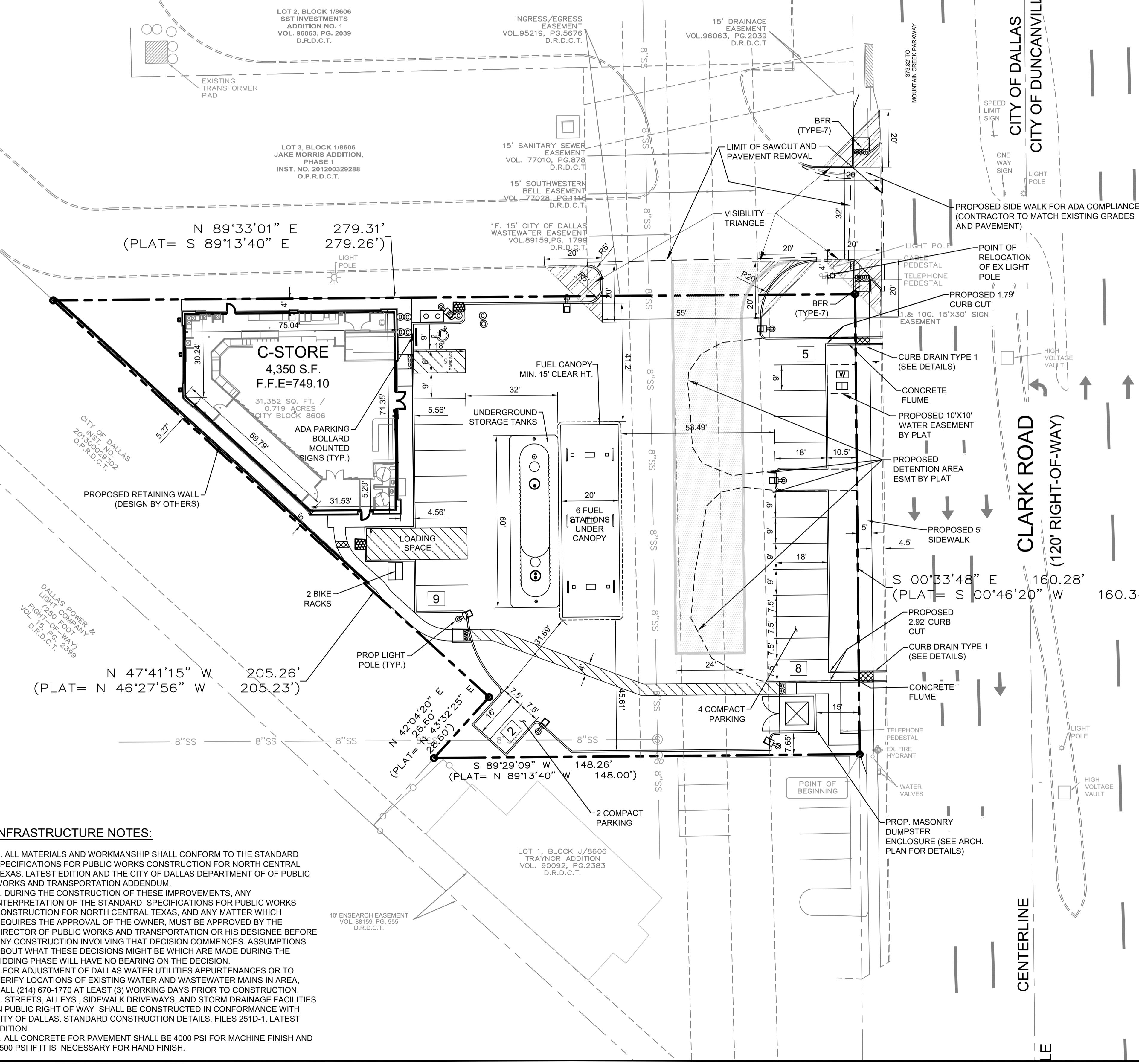


Know what's below.
Call before you dig.



NOTES:

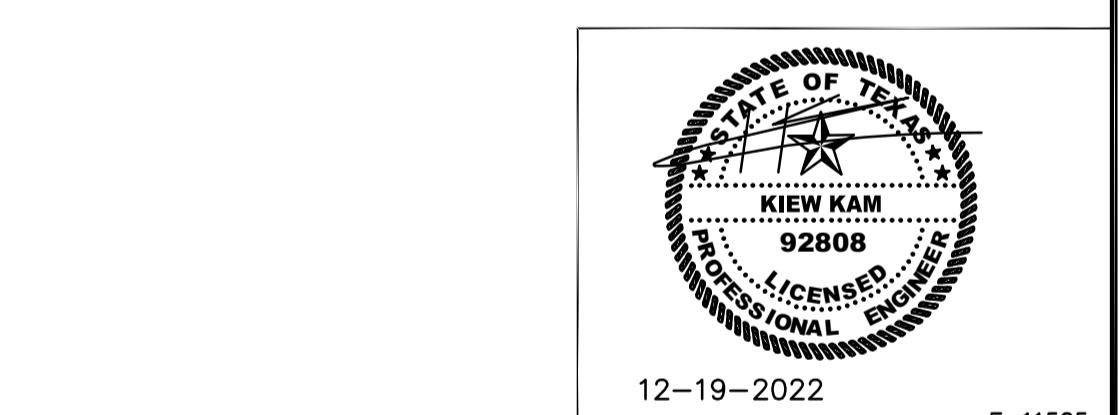
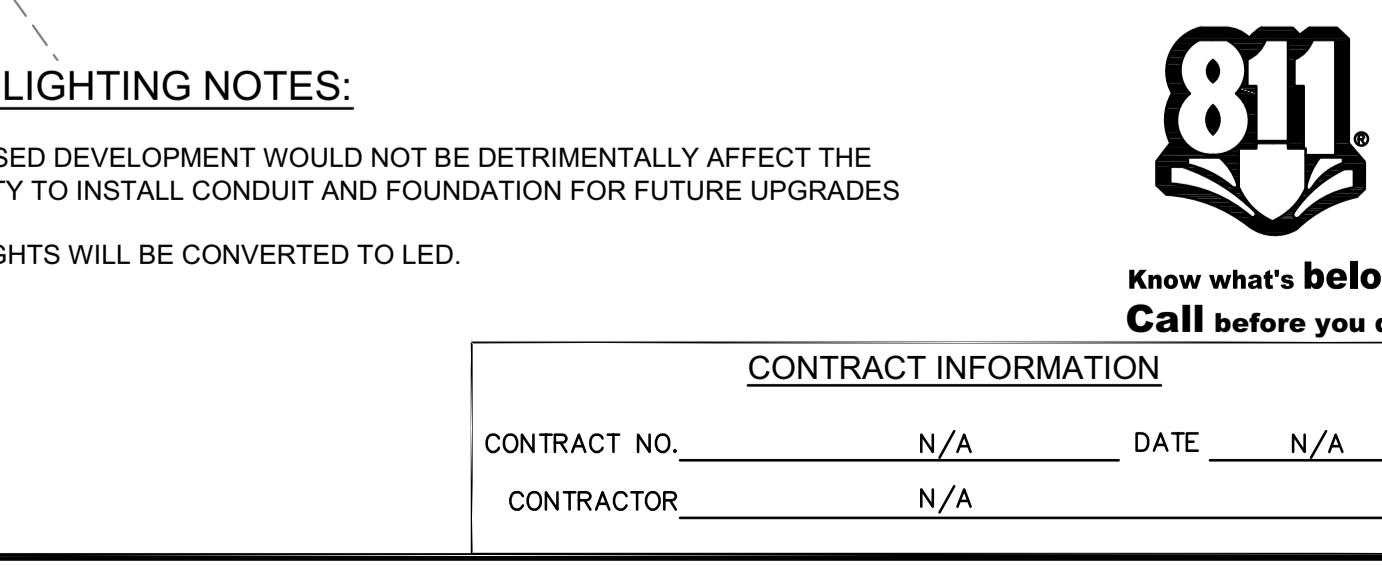
1. ANY TRAFFIC CONTROL PLAN (TCP) MUST BE SUBMITTED TO THE DEPARTMENTS OF PUBLIC WORKS FOR REVIEW AND APPROVAL BY THE TRAFFIC SAFETY COORDINATORS PRIOR TO START OF CONSTRUCTION. NO TRAFFIC LANE OR SIDEWALK ALONG ANY PUBLIC STREET OR ALLEY IS TO BE CLOSED WITHOUT FIRST OBTAINING THE APPROPRIATE PERMIT(S). CLOSURE OF ANY TRAFFIC LANE MUST BE RESTRICTED TO THE HOURS OF 9:30 AM TO 3:30 P.M. WORKDAYS (HOURS MAY DIFFER IN SCHOOL ZONES). CONTRACTOR MUST CALL (214) 948-4290 TO REQUEST APPROVAL OF TCP AND TO OBTAIN A RIGHT OF WAY PERMIT.
2. SAWCUT LINES SHOWN ON THE DESIGN PLANS FOR THE REMOVAL AND REPLACEMENT OF CONCRETE PAVEMENT, DRIVES, SLABS, SIDEWALKS, ETC ARE FOR INFORMATIONAL PURPOSES ONLY. IF PAVEMENT IS MORE THAN 5 YEARS OLD, THE PAVEMENT CUT AND REPAIR STANDARDS MANUAL MUST BE FOLLOWED. IF PAVEMENT IS 5 YEARS OLD OR LESS, THE ENTIRE CONCRETE PANEL MUST BE REPLACED.
3. STREET LIGHT TO BE REPLACED WITH LED LIGHTS.



SITE DATA SUMMARY TABLE

SITE ACREAGE:	0.79 ACRES (31,352 S.F.)
ZONING:	CR - COMMUNITY RETAIL
PROPOSED USE:	GAS STATION
BUILDING AREA:	4,350 S.F.
NUMBER OF STORIES:	1
BUILDING HEIGHT:	N/a
BUILDING COVERAGE:	13.36
FLOOR AREA RATIO:	0.13
IMPERVIOUS AREA:	26,013 S.F. (82.97%)
PERVIOUS/LANDSCAPE AREA:	5,338.29 S.F. (17.02%)
PARKING REQUIRED:	24 SPACES
HANDICAP PARKING REQUIRED:	1 SPACES (1 VAN ACCESSIBLE)
HANDICAP PARKING PROVIDED:	1 SPACES (1 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED:	24 SPACES (WITH 6 COMPACT PARKING)

- SITE GENERAL NOTES**
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OR LOCAL JURISDICTION STANDARDS.
 - THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM AS-BUILTS, UTILITY PLANS OR SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
 - WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS WITH UTILITIES.
 - ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, CONSTRUCTION SAFETY AND HEALTH REGULATIONS AND ANY AMENDMENTS THERETO.
 - THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
 - ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING.
 - THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THOSE INDICATED ON THE PLANS.
 - ALL CURB RADIUS TO BE 10' OR 2' UNLESS OTHERWISE NOTED ON THE SITE PLAN.



REVIEWS

REV. NO.	DATE	DESCRIPTION	BY

TRIANGLE ENGINEERING LLC

T: 469.331.8566 | F: 469.359.6709 | E: kpater@triangle-enr.com
W: triangle-enr.com | I: 1784 W. McDermott Drive, Suite 110, Allen, TX 75013

Planning | Civil Engineering | Construction Management

CONSULTING FIRM:	TRIANGLE ENGINEERING LLC	DATE:	08-05-2021
DESIGNED BY:	KIEW KAM	ENGINEER OF RECORD NAME, P.E.	08-05-2021
PLAT NO.	BLDG. PERMIT NO.	DEV ENGINEERING	TRACKING NOS.
S201-670	N/A	DP21	182

DIMENTION CONTROL PLAN

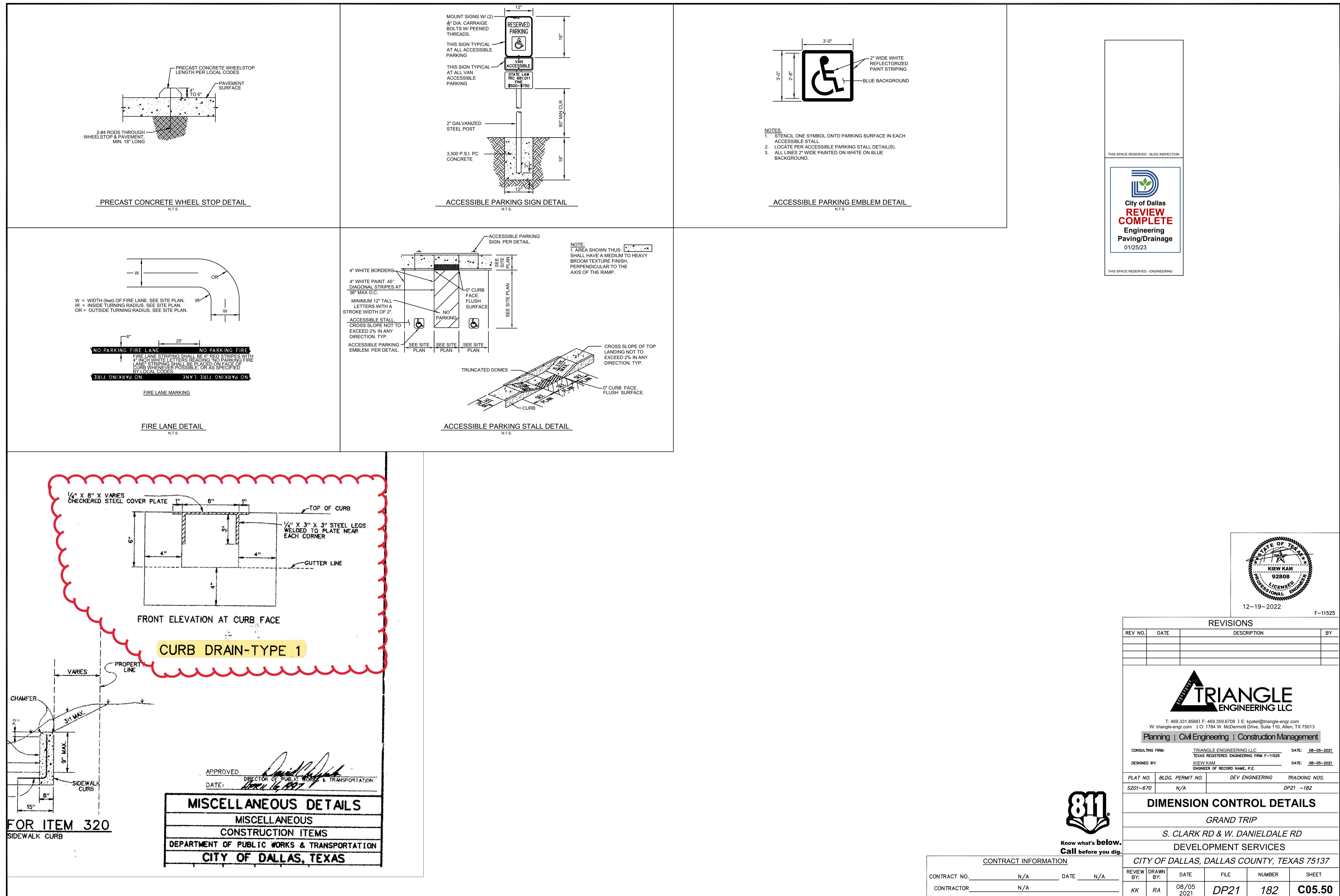
GRAND TRIP

S. CLARK RD & W. DANIELDALE RD

DEVELOPMENT SERVICES

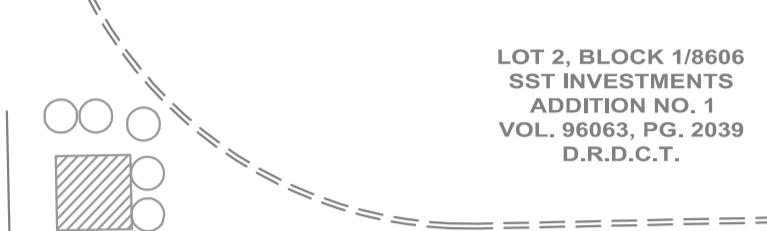
CITY OF DALLAS, DALLAS COUNTY, TEXAS 75137

REVIEW BY:	DRAWN BY:	DATE:	FILE:	NUMBER:	sheet
KK RA	08/05 2021	DP21	182	C05.01	



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3. STREET LIGHT TO BE REPLACED WITH L.E.D LIGHTS.



LOT 3, BLOCK 1/8606
JAKE MORRIS ADDITION,
PHASE 1
INST. NO. 1200329288
O.P.R.D.C.T.

N 89°33'01" E 279.31'
(PLAT= S 89°13'40" E 279.26')

C-STORE
4,350 S.F.
F.F.E=749.10

CITY OF DALLAS
INST. NO. 1200329288
O.P.R.D.C.T.

DALLAS POWER &
LIGHT COMPANY
RIGHTS OF WAY
VOL. 15-2002-2302

N 47°41'15" W
(PLAT= N 46°27'56" W
205.26' 205.23')

10' ENSEARCH EASEMENT
VOL. 88159, PG. 555
D.R.D.C.T.

LOT 1, BLOCK J/8606
TRAYNOR ADDITION
VOL. 90092, PG. 2383
D.R.D.C.T.

LOT 2, BLOCK 1/8606
SST INVESTMENTS
ADDITION NO. 1
VOL. 96063, PG. 2039
D.R.D.C.T.

15' SANITARY SEWER
EASEMENT
VOL. 77010, PG. 878
D.R.D.C.T.

15' SOUTHWESTERN
BELL EASEMENT
VOL. 79281, PG. 1149
D.R.D.C.T.

1F, 15' CITY OF DALLAS
WASTEWATER EASEMENT
VOL. 89159, PG. 1799
D.R.D.C.T.

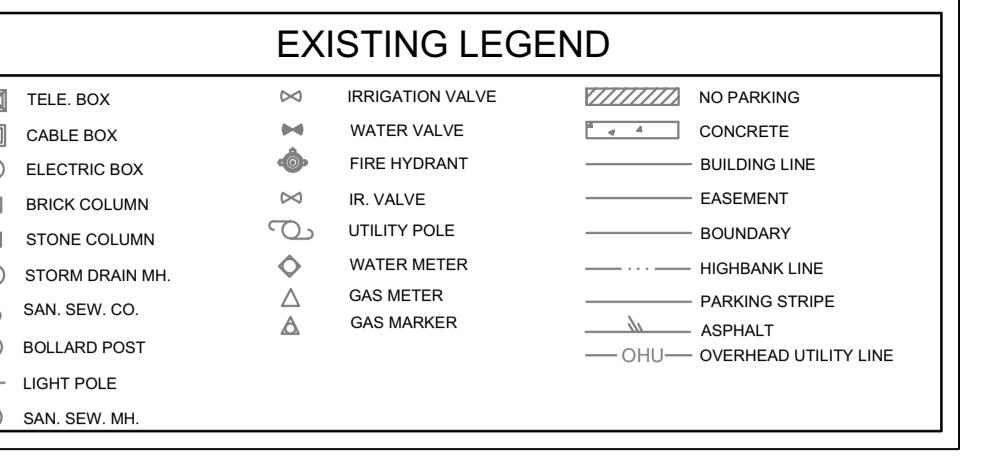
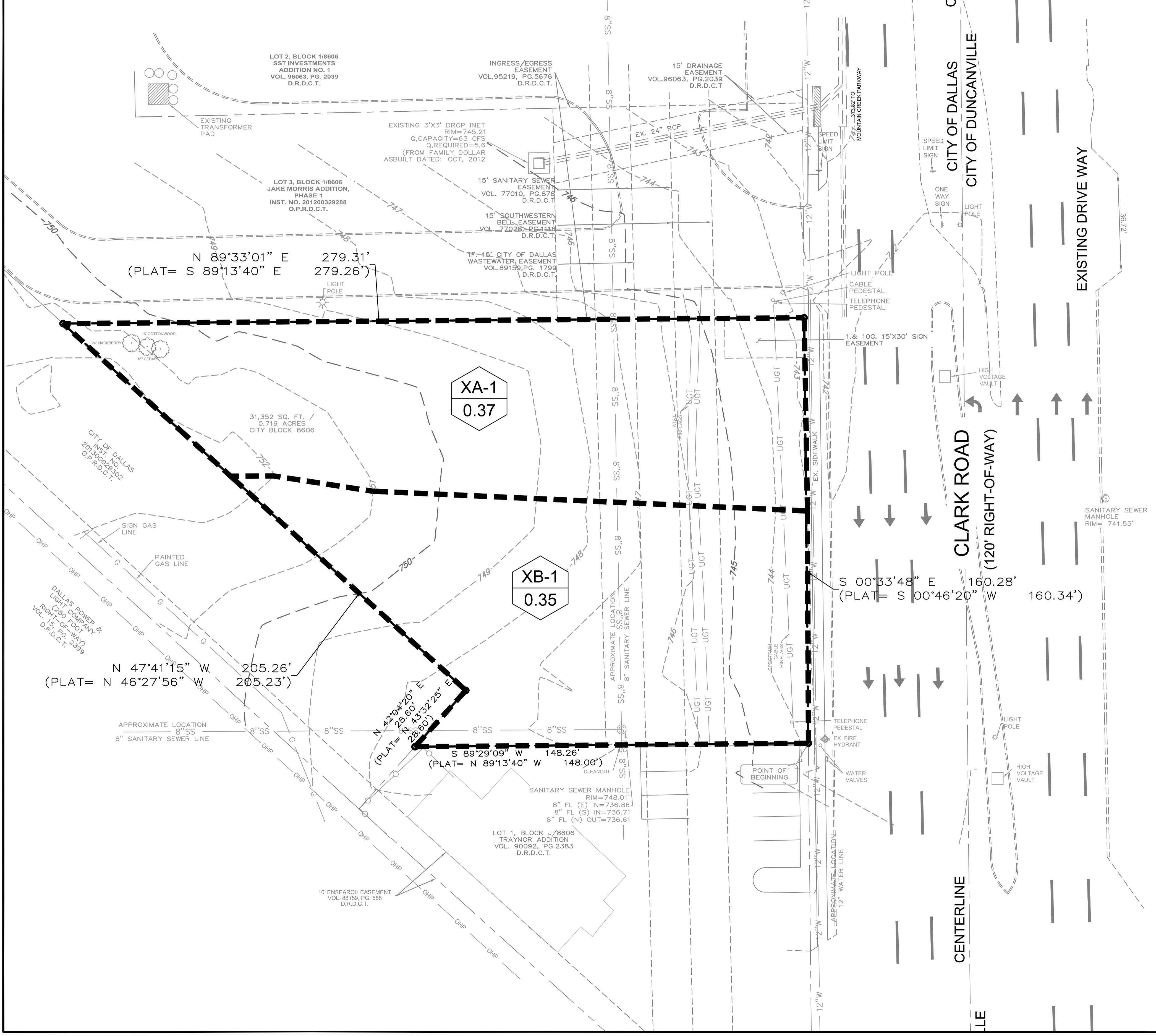
15' DRAINAGE
EASEMENT
VOL. 96063, PG. 2039
D.R.D.C.T.

15' INGRESS/EGRESS
EASEMENT
VOL. 95219, PG. 2039
D.R.D.C.T.

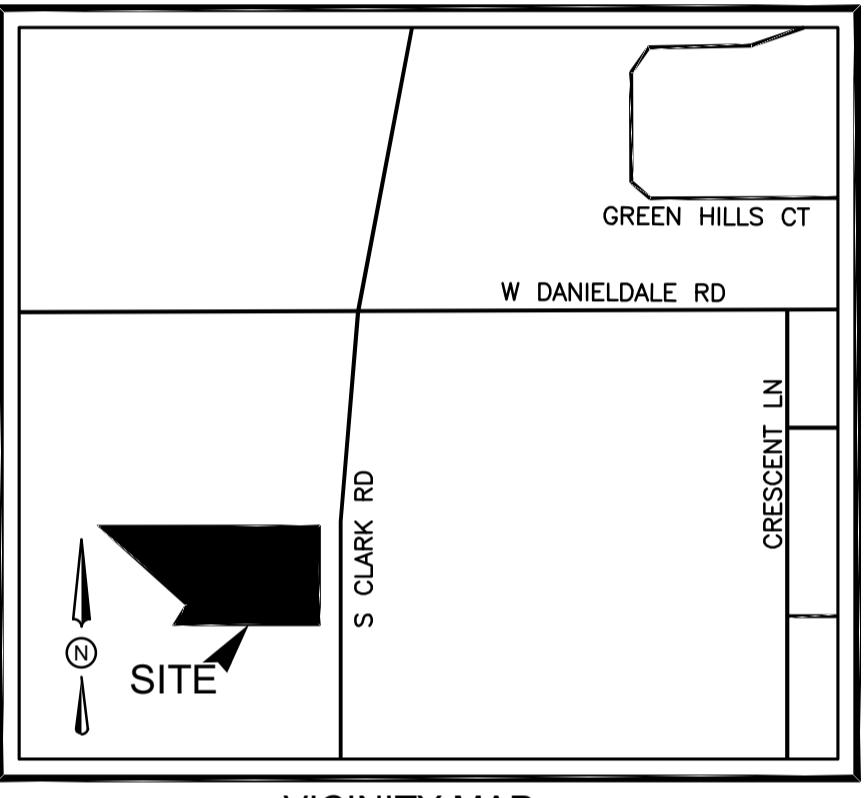
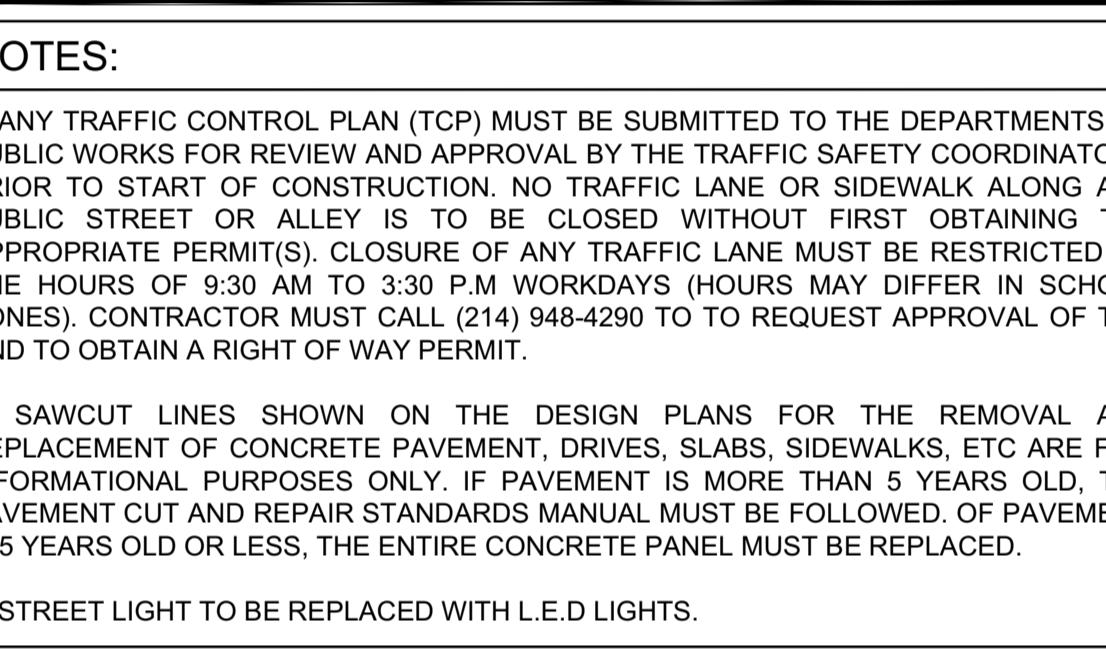
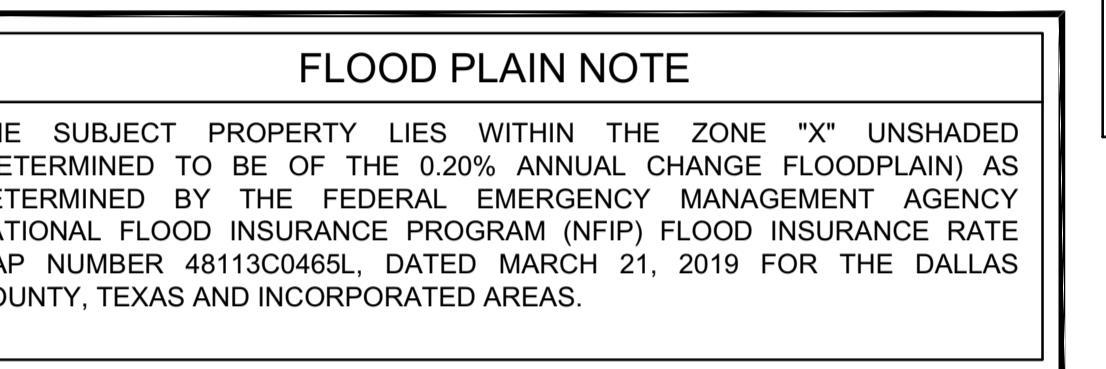
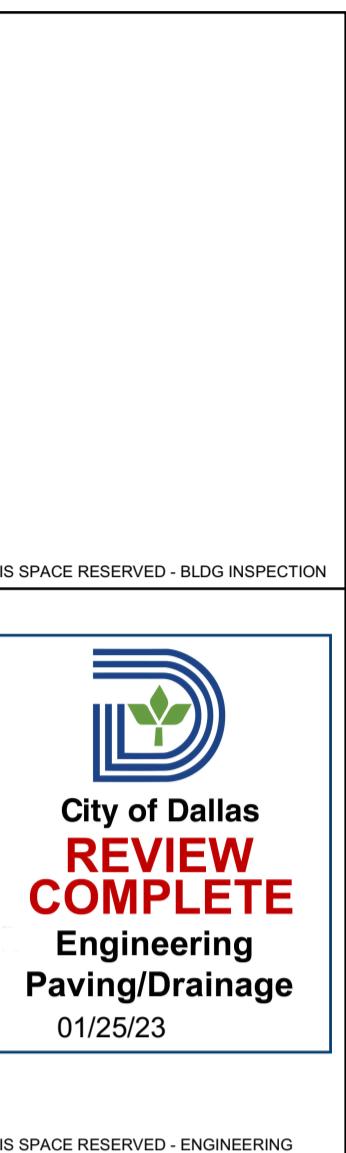
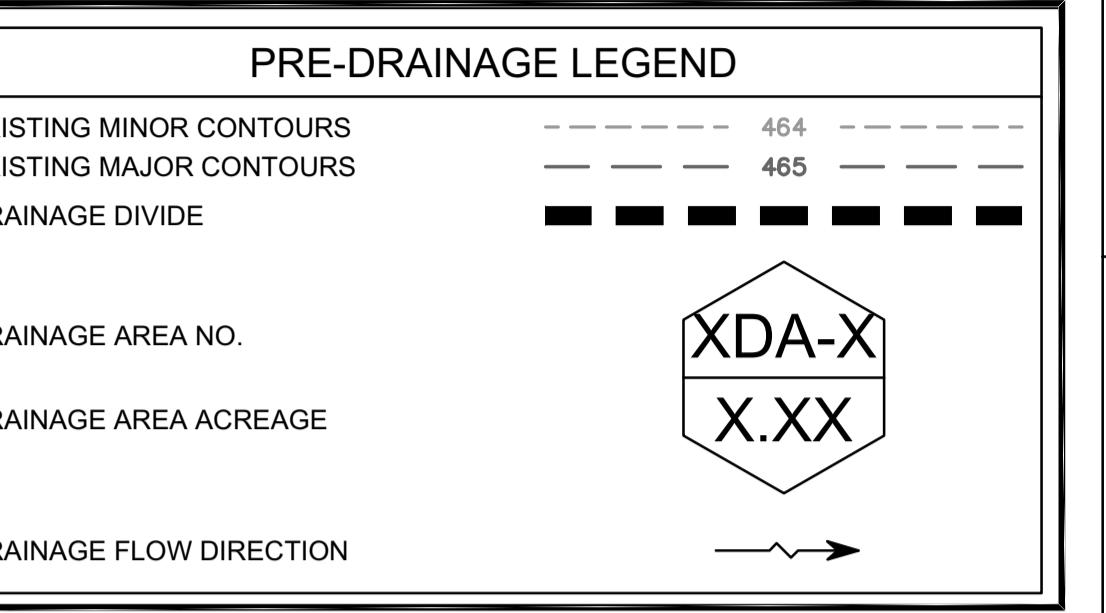
15' DRIVEWAY
EASEMENT
VOL. 96063, PG.

POST DRAINAGE																			
BASIN ID	OVERALL AREA (ac)	Tc (min)	2-YR STORM			10-YR STORM			50-YR STORM			100-YR STORM			REMARKS				
			K	C	I (in/hr) Q (cfs)	K	C	I (in/hr) Q (cfs)	K	C	I (in/hr) Q (cfs)	K	C	I (in/hr) Q (cfs)					
XA-1	0.37	10.00	1.00	0.83	5.04	1.55	1.00	0.83	6.49	1.99	1.00	0.83	8.16	2.51	1.00	0.83	8.88	2.73	SHEET FLOW TOWARDS CLARK ROAD AND FURTHER SHEET FLOW NORTH OF THE PROPERTY ALONG CLARK ROAD TOWARDS
XB-1	0.35	10.00	1.00	0.90	5.04	1.59	1.00	0.90	6.49	2.04	1.00	0.90	8.16	2.57	1.00	0.90	8.88	2.80	SHEET FLOW TOWARDS CLARK ROAD AND FURTHER SHEET FLOW SOUTH OF THE PROPERTY ALONG CLARK ROAD TOWARDS
SUM TOTAL	0.72				3.14				4.04				5.08				5.52		

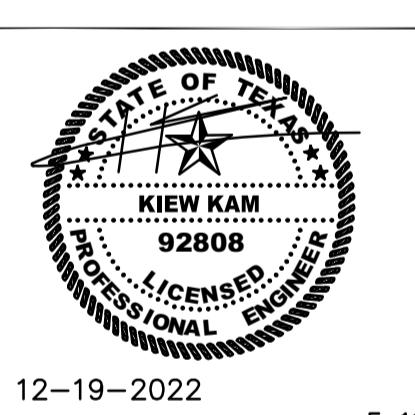
EXISTING DRAINAGE AREA IS REFERENCED FROM COUNTY OF DALLAS DEPARTMENT OF PUBLIC WORKS PROJECT NO.47 101 CLARK ROAD FROM DANIELDALE ROAD TO COUCH LANE SHEET NO 28
OF 87 DATED-08-14-03



Scale: 1" = 20' Feet



VICINITY MAP
N.T.S.
MAPSCO - 7188-L



REV NO.	DATE	DESCRIPTION	BY



T: 469.331.8566 | F: 469.359.6709 | E: kpatel@triangle-engr.com
W: triangle-engr.com | I: 1784 W. McDermott Drive, Suite 110, Allen, TX 75013

Planning | Civil Engineering | Construction Management

CONSULTING FIRM: TRIANGLE ENGINEERING LLC
DESIGNED BY: KIEW KAM
ENGINEER OF RECORD NAME, P.E.

PLAT NO. BLDG. PERMIT NO. DEV ENGINEERING TRACKING NOS.
S201-670 N/A DP21 -182

PRE-DRAINAGE PLAN

GRAND TRIP

S. CLARK RD & W. DANIELDALE RD

DEVELOPMENT SERVICES

CITY OF DALLAS, DALLAS COUNTY, TEXAS 75137

REVIEW BY:	DRAWN BY:	DATE:	FILE:	NUMBER:	sheet
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KK	RA	08/05 2021	DP21	182	C08.01
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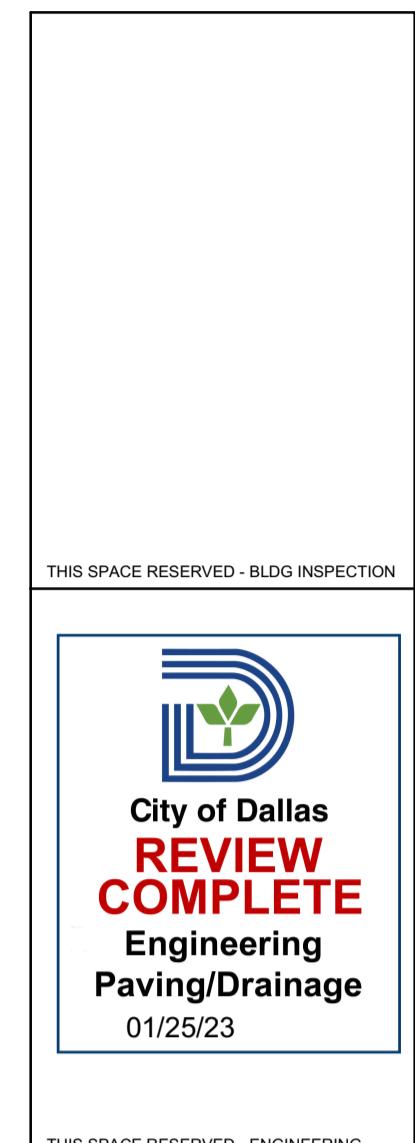
Know what's below.
Call before you dig.

CONTRACT INFORMATION			
CONTRACT NO.	N/A	DATE	N/A
CONTRACTOR	N/A		

DETENTION CALCULATIONS FOR A-1 2 YEAR STORM							
ALLOWABLE RUNOFF FROM SITE=		1.55	CFS				
BYPASS FLOW		0.09	CFS				
TOTAL SITE AREA:		0.31	ACRES				
BYPASS AREA		0.02	ACRES				
ALLOWABLE RELEASE FROM STORAGE AREA:		1.46	CFS				
AREA FLOW TO THE DETENTION :		0.31	ACRES				
STORM DURATION DATA & DETENTION POND SYSTEM CALCULATION :							
TIME	C*CF	I-2	TOTAL AREA	Q	INFLOW	OUTFLOW	STORAGE
(Min)	PROP (2-Year)	(Acres)	(CFS)	(CF)	(CF)	(CF)	
10	1.00	4.73	0.31	1.466	879.78	876.00	3.78
15	1.00	3.94	0.31	1.221	1,099.26	1,095.00	4.26
30	1.00	2.74	0.31	0.849	1,528.92	1,752.00	-223.08
60	1.00	1.79	0.31	0.555	1,997.64	3,066.00	-1,068.36
REQUIRED STORAGE VOLUME = INFLOW - OUTFLOW							
INFLOW = STORM DURATION X RESPECTIVE PEAK DISCHARGE X 60 SEC./MIN.							
OUTFLOW = HALF OF THE RESPECTIVE INFLOW DURATION X CONTROL RELEASE DISCHARGE X 60 SEC./MIN.							
2 YEAR STORM EVENT @ 15 MIN.							
INFLOW =				1,099.26			
OUTFLOW =				1,095.00			
REQUIRED DETENTION SYSTEM STORAGE CAPACITY = INFLOW - OUTFLOW							
PROPOSED DETENTION STORAGE VOLUME = CF				4.3			
515.0							

DETENTION CALCULATIONS FOR A-1 10 YEAR STORM							
ALLOWABLE RUNOFF FROM SITE=		1.99	CFS				
BYPASS FLOW		0.12	CFS				
TOTAL SITE AREA:		0.31	ACRES				
BYPASS AREA		0.02	ACRES				
ALLOWABLE RELEASE FROM STORAGE AREA:		1.87	CFS				
AREA FLOW TO THE DETENTION :		0.31	ACRES				
STORM DURATION DATA & DETENTION POND SYSTEM CALCULATION :							
TIME	C*CF	I-10	TOTAL AREA	Q	INFLOW	OUTFLOW	STORAGE
(Min)	PROP (10-Year)	(Acres)	(CFS)	(CF)	(CF)	(CF)	
10	1.00	6.67	0.31	2.068	1,240.62	1,122.00	118.62
15	1.00	5.62	0.31	1.742	1,567.98	1,402.50	165.48
30	1.00	3.90	0.31	1.209	2,176.20	2,244.00	-67.80
60	1.00	2.55	0.31	0.791	2,845.80	3,927.00	-1,081.20
REQUIRED STORAGE VOLUME = INFLOW - OUTFLOW							
INFLOW = STORM DURATION X RESPECTIVE PEAK DISCHARGE X 60 SEC./MIN.							
OUTFLOW = HALF OF THE RESPECTIVE INFLOW DURATION X CONTROL RELEASE DISCHARGE X 60 SEC./MIN.							
10 YEAR STORM EVENT @ 15 MIN.							
INFLOW =				1,567.98			
OUTFLOW =				1,402.50			
REQUIRED DETENTION SYSTEM STORAGE CAPACITY = INFLOW - OUTFLOW							
PROPOSED DETENTION STORAGE VOLUME = CF				165.5			
515.0							

DETENTION CALCULATIONS FOR A-1 50 YEAR STORM							
ALLOWABLE RUNOFF FROM SITE=		2.51	CFS				
BYPASS FLOW		0.16	CFS				
TOTAL SITE AREA:		0.31	ACRES				
BYPASS AREA		0.02	ACRES				
ALLOWABLE RELEASE FROM STORAGE AREA:		2.35	CFS				
AREA FLOW TO THE DETENTION :		0.31	ACRES				
STORM DURATION DATA & DETENTION POND SYSTEM CALCULATION :							
TIME	C*CF	I50	TOTAL AREA	Q	INFLOW	OUTFLOW	STORAGE
(Min)	PROP (50-Year)	(Acres)	(CFS)	(CF)	(CF)	(CF)	
10	1.00	9.01	0.31	2.793	1,675.86	1,410.00	265.86
15	1.00	7.43	0.31	2.303	2,072.97	1,762.50	310.47
30	1.00	5.14	0.31	1.593	2,868.12	2,820.00	48.12
60	1.00	3.38	0.31	1.048	3,772.08	4,935.00	-1,162.92
REQUIRED STORAGE VOLUME = INFLOW - OUTFLOW							
INFLOW = STORM DURATION X RESPECTIVE PEAK DISCHARGE X 60 SEC./MIN.							
OUTFLOW = HALF OF THE RESPECTIVE INFLOW DURATION X CONTROL RELEASE DISCHARGE X 60 SEC./MIN.							
50 YEAR STORM EVENT @ 15 MIN.							
INFLOW =				2,072.97			
OUTFLOW =				1,762.50			
REQUIRED DETENTION SYSTEM STORAGE CAPACITY = INFLOW - OUTFLOW							
PROPOSED DETENTION STORAGE VOLUME = CF				310.5			
515.0							



DETENTION CALCULATIONS FOR A-1 100 YEAR STORM							
ALLOWABLE RUNOFF FROM SITE=		2.73	CFS				
BYPASS FLOW		0.20	CFS				
TOTAL SITE AREA:		0.31	ACRES				
BYPASS AREA		0.02	ACRES				
ALLOWABLE RELEASE FROM STORAGE AREA:		2.53	CFS				
AREA FLOW TO THE DETENTION :		0.31	ACRES				
STORM DURATION DATA & DETENTION POND SYSTEM CALCULATION :							
TIME	C*CF	I100	TOTAL AREA	Q	INFLOW	OUTFLOW	STORAGE
(Min)	PROP (100-Year)	(Acres)	(CFS)	(CF)	(CF)	(CF)	
10	1.00	9.97	0.31	3.091	1,854.42	1,518.00	336.42
15	1.00	8.22	0.31	2.548	2,293.38	1,897.50	395.88
30	1.00	5.68	0.31	1.761	3,169.44	3,036.00	133.44
60	1.00	3.75	0.31	1.163	4,185.00	5,313.00	-1,128.00
120	1.00	2.42	0.31	0.750	5,401.44	9,867.00	-4,465.56
180	1.00	1.86	0.31	0.577	6,227.28	14,421.00	-8,193.72
REQUIRED STORAGE VOLUME = INFLOW - OUTFLOW							
INFLOW = STORM DURATION X RESPECTIVE PEAK DISCHARGE X 60 SEC./MIN.							
OUTFLOW = HALF OF THE RESPECTIVE INFLOW DURATION X CONTROL RELEASE DISCHARGE X 60 SEC./MIN.							
100 YEAR STORM EVENT @ 15 MIN.							
INFLOW =				2,293.38			
OUTFLOW =				1,897.50			
REQUIRED DETENTION SYSTEM STORAGE CAPACITY = INFLOW - OUTFLOW							
PROPOSED DETENTION STORAGE VOLUME = CF				395.88			
515.0							

DETENTION CALCULATIONS FOR B-1 50 YEAR STORM							

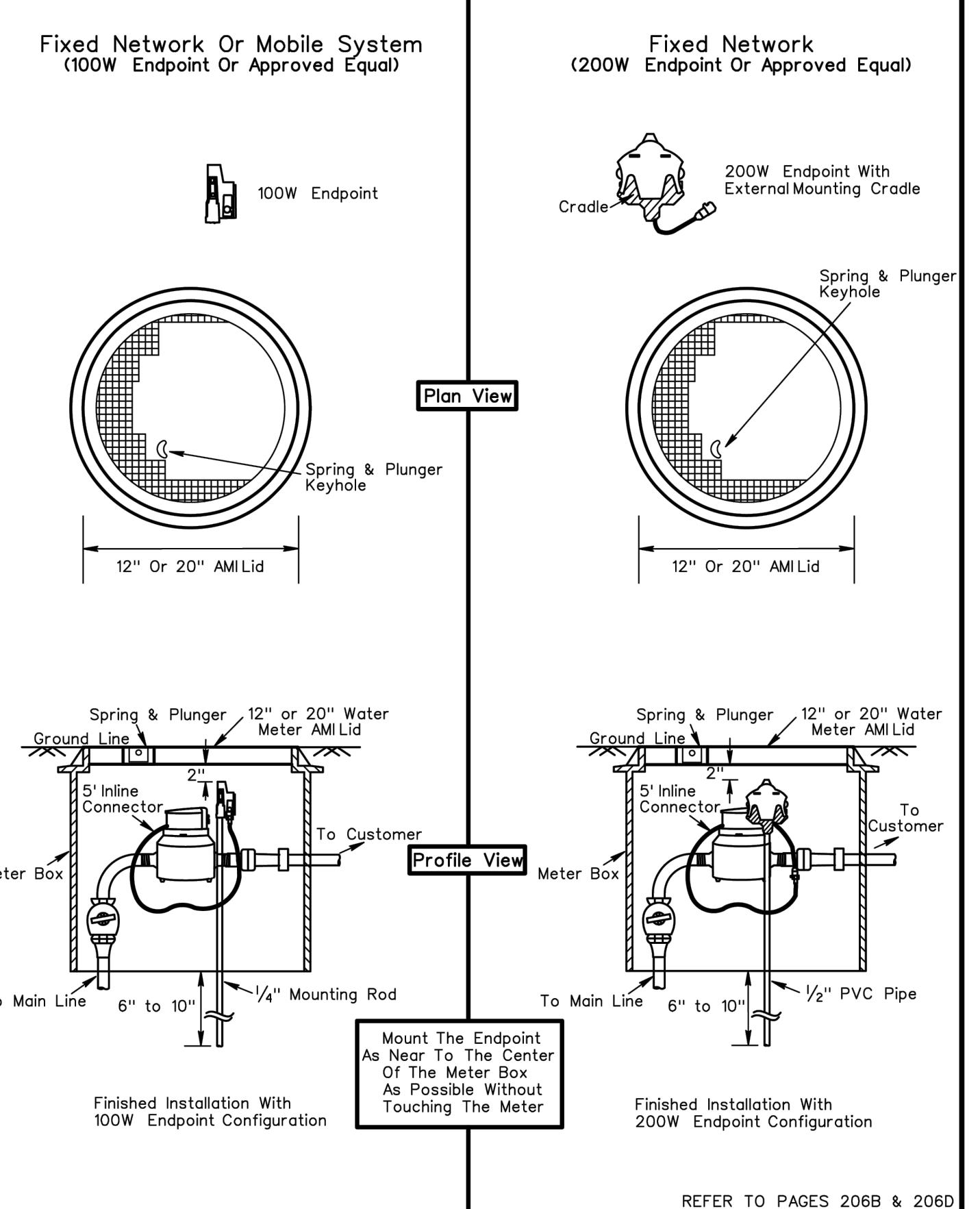
Installation For Advanced Metering Infrastructure (AMI) Meter

- The Contractor Shall Not Remove, Damage, Or Otherwise Disturb The AMI Meter Endpoint Components Except By Direction Of The Meter Reading Operation (MRO) Technician. The Installer Shall Be Liable For The Replacement Cost Of Any Lost Or Damaged AMI Components.
 - For Meters 2" Or Smaller:
The Contractor Shall Install A New Meter Box With A New Meter AMI Lid For Water Meters 2" And Smaller In Existing And Proposed AMI Areas With The Following Configuration As Applicable:
-For $\frac{5}{8}$ " to 1" Meters: 12" Water Meter AMI Lid As Per the Approved Material List.
-For 1 $\frac{1}{2}$ " to 2" Meters: 20" Water Meter AMI Lid As Per the Approved Material List.
The Contractor Shall Also Return The Existing AMI Lids From Existing AMI Area TO DWU MRO For All Meters 2" And Smaller.
 - For Meters 3" Or Larger:
The Contractor Shall Either Connect To The Existing Meter Vault Or Construct A New Meter Vault As Specified On The Plans.
 - All Meters In The Existing And Proposed AMI Area Shall Be AMI Ready Meters As Furnished By DWU. A Non AMI Ready Meter Shall Be Replaced With An AMI Ready Meter By DWU.
4. The Contractor Shall Contact DWU MRO Five (5) Working Days In Advance At 214-670-5537 And By Email At DWUMRO@dallascityhall.com Before Any Removal, Disconnection, Reconection, Or Installation Of AMI Endpoint Components.

REFER TO PAGES 206C & 206D

**Installation Requirements
For AMI Meter**

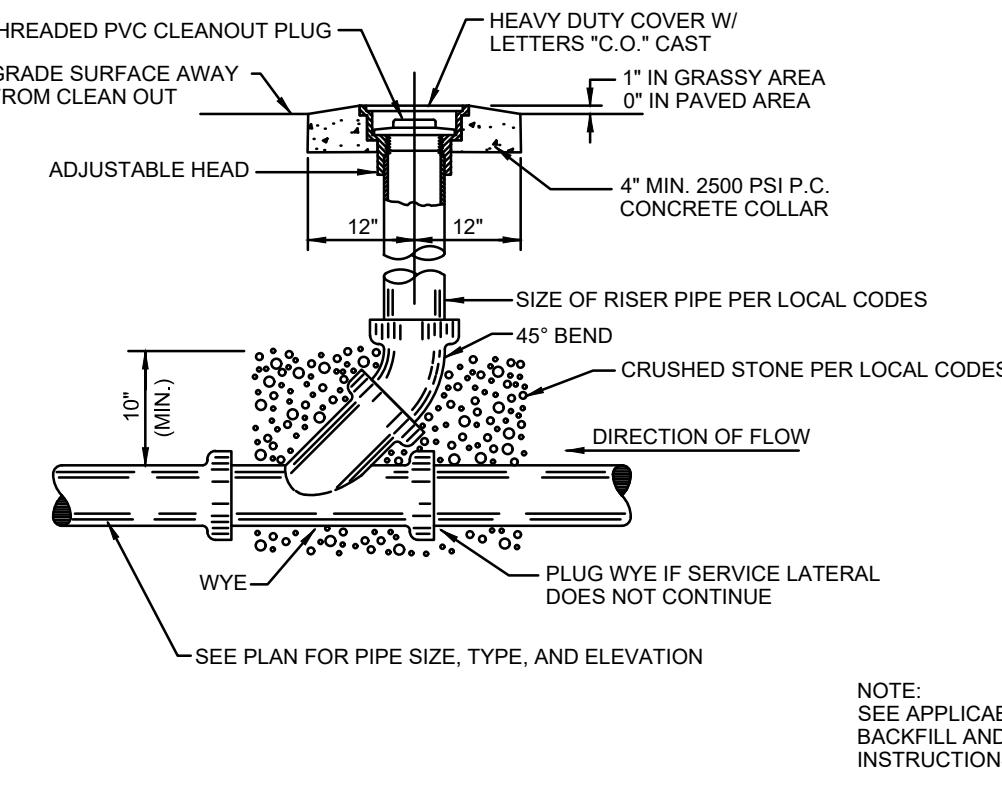
DWU 206B
DATE MAY 2012



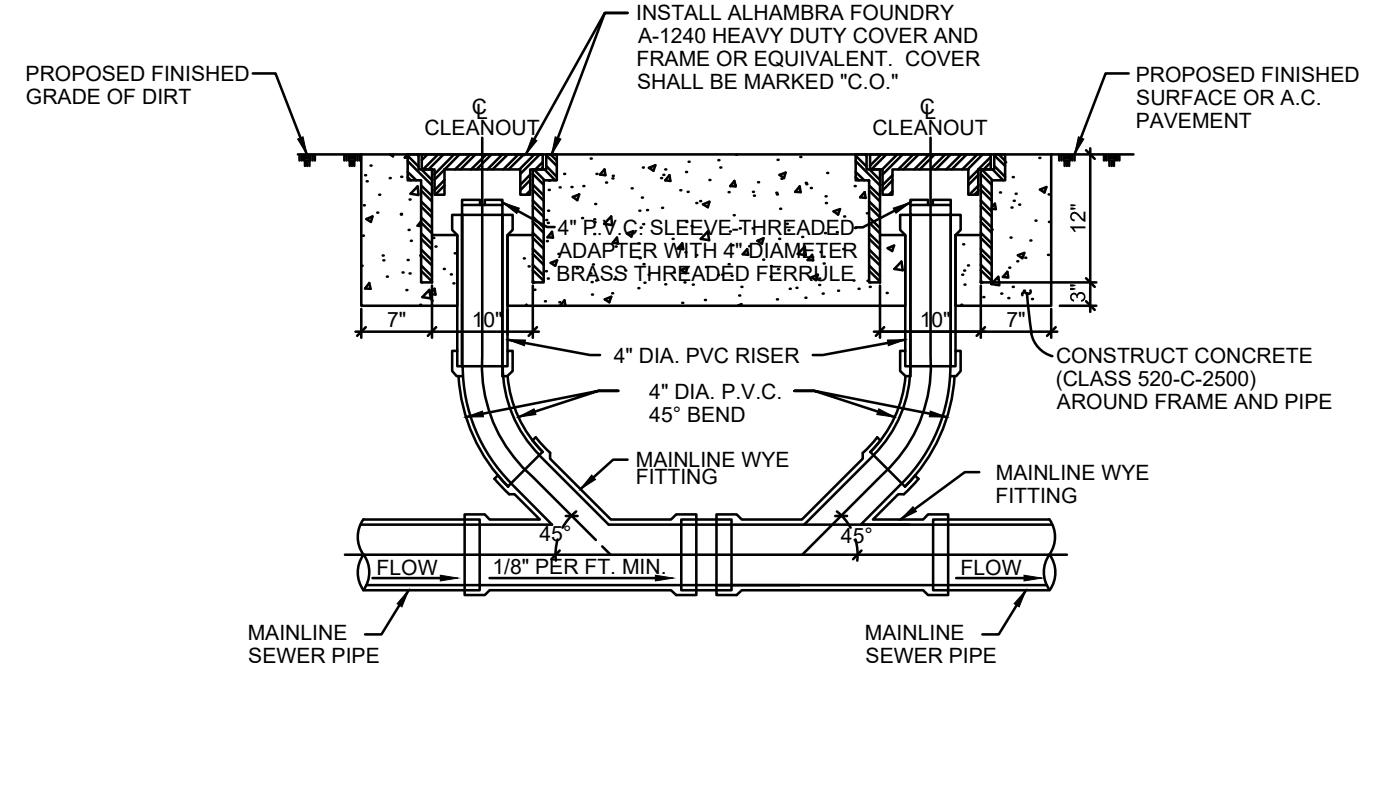
**AMI Meter Installation Details
For 2" Or Smaller Meters**

DWU 206C
DATE MAY 2012

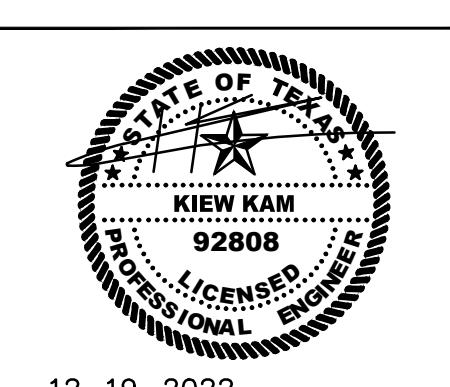
THIS SPACE RESERVED - BLDG INSPECTION
THIS SPACE RESERVED - ENGINEERING



SANITARY SEWER CLEAN-OUT
N.T.S.



SANITARY SEWER DOUBLE CLEAN-OUT
N.T.S.



12-19-2022

F-11525

REVISIONS

REV NO.	DATE	DESCRIPTION	BY



T: 469.331.8566 F: 469.359.6709 E: kpatel@triangle-enr.com
W: triangle-enr.com I/O: 1784 W. McDermott Drive, Suite 110, Allen, TX 75013

Planning | Civil Engineering | Construction Management

CONSULTING FIRM: TRIANGLE ENGINEERING LLC DATE: 08-05-2021
DESIGNED BY: KIEW KAM ENGINEER OF RECORD NAME, P.E.

PLAT NO. BLDG. PERMIT NO. SDC ENGINEERING TRACKING NOS.
S201-670 N/A N/A N/A

WATER AND WASTEWATER DETAILS

GRAND TRIP

S. CLARK RD & W. DANIELDALE RD

SUSTAINABLE DEVELOPMENT & CONSTRUCTION

CITY OF DALLAS, DALLAS COUNTY, TEXAS 75137



Know what's below.
Call before you dig.

CONTRACT INFORMATION

CONTRACT NO. PERMIT ONLY DATE N/A

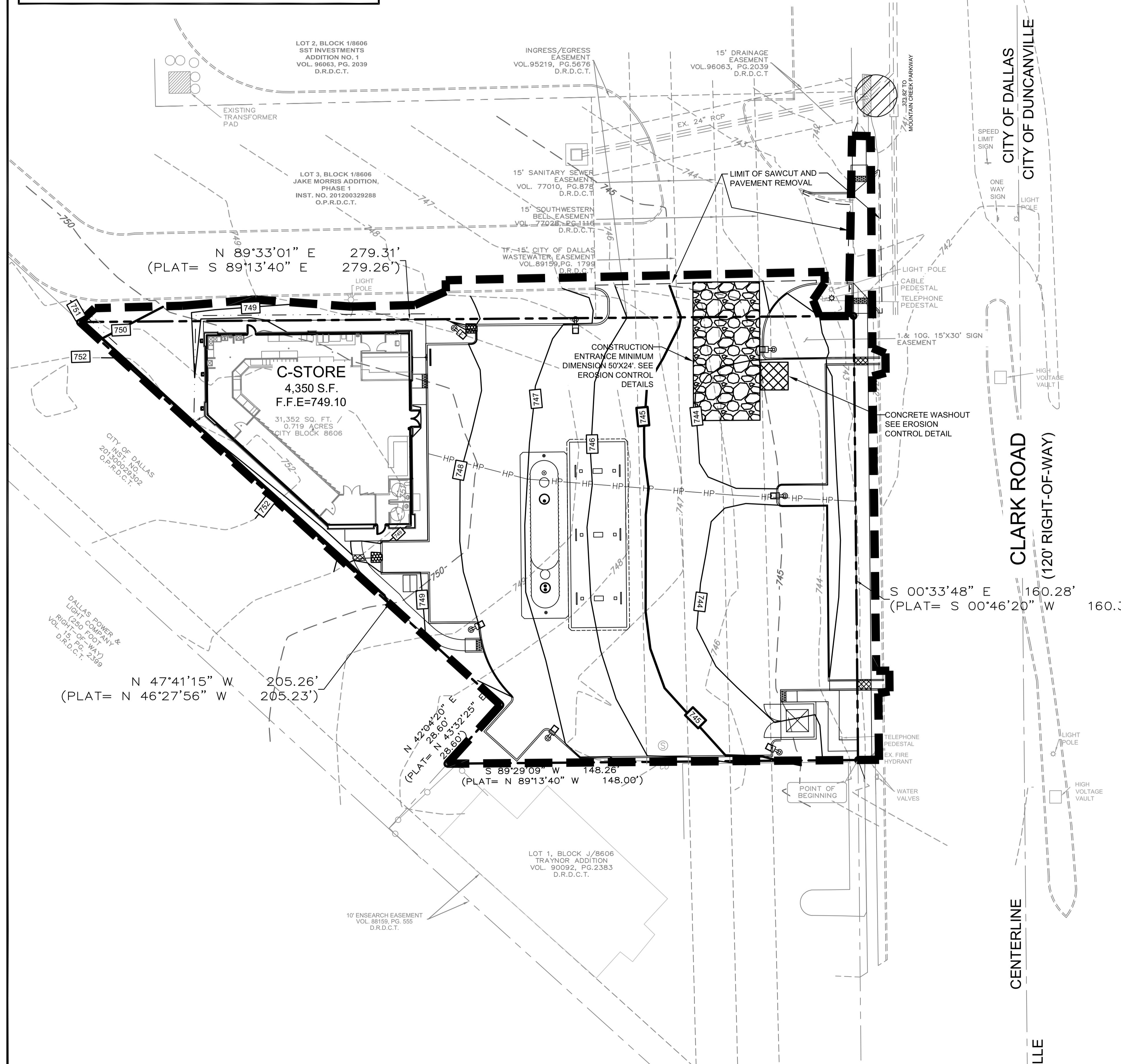
CONTRACTOR N/A

REVIEW BY: DRAWN BY: DATE FILE NUMBER SHEET

KK RA 08/05 2021 DP21 182 C10.50

NOTES:

1. ANY TRAFFIC CONTROL PLAN (TCP) MUST BE SUBMITTED TO THE DEPARTMENTS OF PUBLIC WORKS FOR REVIEW AND APPROVAL BY THE TRAFFIC SAFETY COORDINATORS PRIOR TO START OF CONSTRUCTION. NO TRAFFIC LANE OR SIDEWALK ALONG ANY PUBLIC STREET OR ALLEY IS TO BE CLOSED WITHOUT FIRST OBTAINING THE APPROPRIATE PERMIT(S). CLOSURE OF ANY TRAFFIC LANE MUST BE RESTRICTED TO THE HOURS OF 9:30 AM TO 3:30 P.M. WORKDAYS (HOURS MAY DIFFER IN SCHOOL ZONES). CONTRACTOR MUST CALL (214) 948-4290 TO REQUEST APPROVAL OF TCP AND TO OBTAIN A RIGHT OF WAY PERMIT.
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3. STREET LIGHT TO BE REPLACED WITH LED LIGHTS.



EXISTING LEGEND	
TELE BOX	IRRIGATION VALVE
CABLE BOX	NO PARKING
ELECTRIC BOX	CONCRETE
BRICK COLUMN	BUILDING LINE
STONE COLUMN	EASEMENT
STORM GRAN MH.	BOUNDARY
SAN. SEW. CO.	HIGHBANK LINE
BOLLARD POST	PARKING STRIPE
LIGHT POLE	ASPHALT
SAN. SEW. MH.	OVERHEAD UTILITY LINE

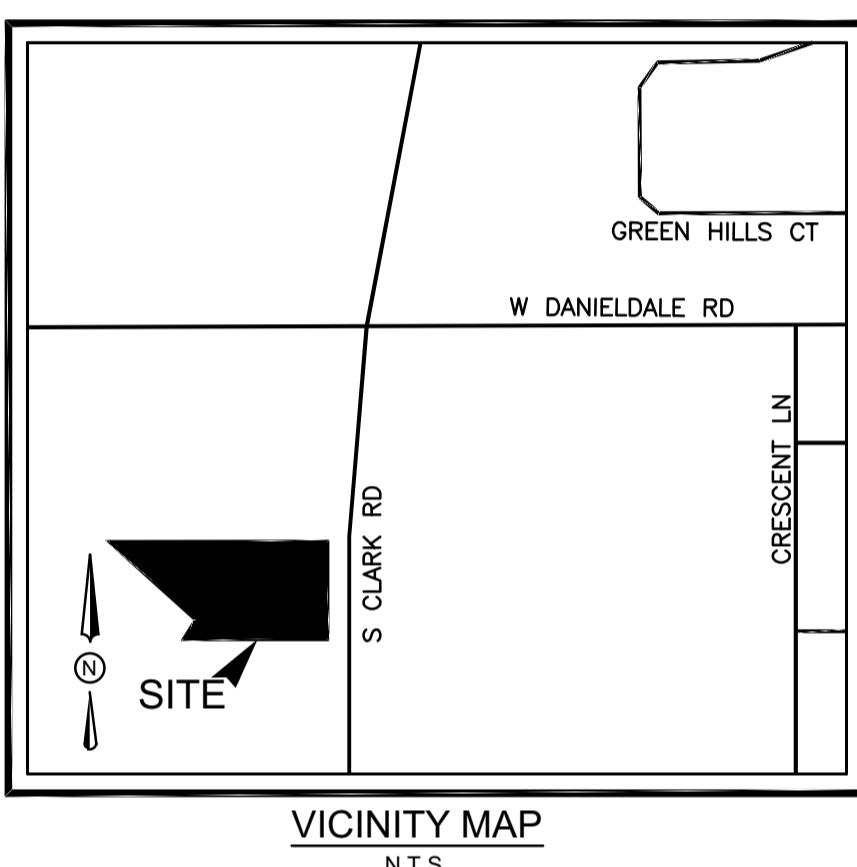
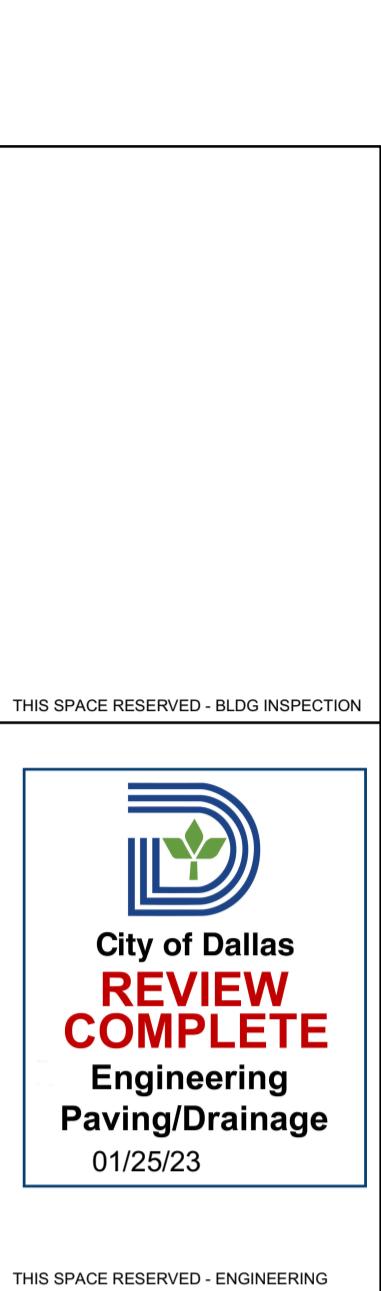
EROSION CONTROL LEGEND	
TEMPORARY CONSTRUCTION ENTRANCE	RUSKUS
TEMPORARY CONCRETE WASHOUT AREA	XX
RIP RAP	XXXXXX
TEMPORARY SILT FENCE	SF
TEMPORARY COMPOST FILTER SOCK	FS
HIGH POINT	HP
LIMITS OF DISTURBANCE	HP
TEMPORARY INLET PROTECTION	HP
ROCK BERM	HP

EROSION & SEDIMENT CONTROLS	
SOIL STABILIZATION PRACTICES:	
SELECT T = TEMPORARY OR P = PERMANENT	
(AS APPLICABLE)	
MULCHING (HAY OR STRAW)	
BUFFER ZONES	
P PLANTING	
T SEEDING	
P SODDING	
PRESERVATION OF NATURAL RESOURCES	
FLEXIBLE CHANNEL LINER	
RIGID CHANNEL LINER	
SOIL RETENTION BLANKET	
COMPOST MANUFACTURED TOPSOIL	
EROSION CONTROL BLANKET	

EROSION CONTROL SUMMARY	
PROJECT DESCRIPTION:	SITE GRADING, CONSTRUCTION OF PARKING LOT, UNDERGROUND AND ABOVE GROUND UTILITIES & CONSTRUCTION OF PROPOSED BUILDING.
SEQUENCE OF ACTIVITIES:	THE CONTRACTOR WILL SCHEDULE THE PROJECT IN A SERIES OF PHASES. IN GENERAL, THE SEQUENCE OF THESE PHASES WILL CONSIST OF:
	1. INSTALL EROSION CONTROL BMP'S. 2. BEGIN EARTHWORK. 3. INSTALL WET AND DRY UTILITIES. 4. INSTALL STORM SEWER LINES AND INLETS. 5. BEGIN SITE GRADING. 6. INSTALL CURBS, DRIVEWAY AND PARKING LOT. 7. POUR BUILDING FOUNDATION PAD. 8. BEGIN VERTICAL BUILDING CONSTRUCTION. 9. INSTALL TREES, SHRUBS, ETC. AND RESTORE ALL DISTURBED VEGETATION. 10. REMOVAL OF EXISTING EROSION CONTROL BMP'S & INSTALLATION OF PERMANENT EROSION CONTROL BMP'S.
SOIL DISTURBING ACTIVITIES:	SOIL DISTURBING ACTIVITIES WILL INCLUDE CLEARING & GRUBBING, GRADING, TRENCHING IN PREPARATION FOR INSTALLING UTILITIES, BUILDING PAD, PARKING LOT, EROSION & SEDIMENTATION CONTROLS AND TOPSOIL WORK FOR FINAL PLANTING AND SEEDING.
TOTAL PROJECT AREA:	0.79 ACRES
TOTAL DISTURBED AREA:	0.82 ACRES

EROSION CONTROL GENERAL NOTES	
1.	EVERY SOIL DISTURBING ACTIVITY SHALL HAVE AN ACCOMPANYING EROSION CONTROL PLAN.
2.	THE STORM WATER POLLUTION PREVENTION PLAN (SWP) SHALL BE READILY AVAILABLE FOR REVIEW BY FEDERAL, STATE, OR LOCAL OFFICIALS.
3.	NO SOIL DISTURBING ACTIVITIES WILL OCCUR PRIOR TO THE SWP3 AND ASSOCIATED BEST MANAGEMENT PRACTICES (BMP) BEING FULLY IMPLEMENTED AND THEN MONITORED.
4.	THE CONTRACTOR SHALL COMPLY WITH THE CITY'S STORM WATER ORDINANCE, THE TPDES GENERAL CONSTRUCTION PERMIT TXR150000 AND ANY OTHER STATE AND/OR LOCAL REGULATIONS.
5.	THE SITE SHALL BE INSPECTED BY THE CONTRACTOR OR HIS REPRESENTATIVE WEEKLY, AND AFTER ANY MAJOR STORM, ADJUSTMENTS/REPAIRS TO THE EROSION CONTROL MEASURES SHOULD BE MADE AS NEEDED.
6.	CONTRACTOR SHALL VEGETATE ALL DISTURBED AREAS IMMEDIATELY UPON COMPLETION OF GRADING ACTIVITIES. FINAL ACCEPTANCE OF A SITE SHALL BE CONTINGENT UPON VEGETATION BEING ESTABLISHED IN ALL DISTURBED AREAS.
7.	ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT EROSION. IN THE EVENT THAT SIGNIFICANT EROSION OCCURS AS A RESULT OF CONSTRUCTION THE CONTRACTOR SHALL RESTORE THE ERODED AREA TO ORIGINAL CONDITION OR BETTER.
8.	TEMPORARY STONE STABILIZED CONSTRUCTION ENTRANCE SHALL HAVE THE FOLLOWING MINIMUM DIMENSIONS: 24' WIDE X 50' LONG X 6" DEEP. (3"-5" COURSE AGGREGATE). PLACE FILTER FABRIC UNDER STONE.
9.	THE CONCRETE WASHOUT AREA IS TO BE USED AS A VEHICLE WASH DOWN AREA FOR DEBRIS AND SOIL REMOVAL PRIOR TO EXITING THE SITE.

CONTRACT INFORMATION	
CONTRACT NO.	N/A
CONTRACTOR	N/A



REVISEMENTS			
REV NO.	DATE	DESCRIPTION	BY



T: 469.331.8566 | F: 469.359.6709 | E: kptate@triangle-enr.com
W: triangle-enr.com | I/O: 1784 W. McDermott Drive, Suite 110, Allen, TX 75013

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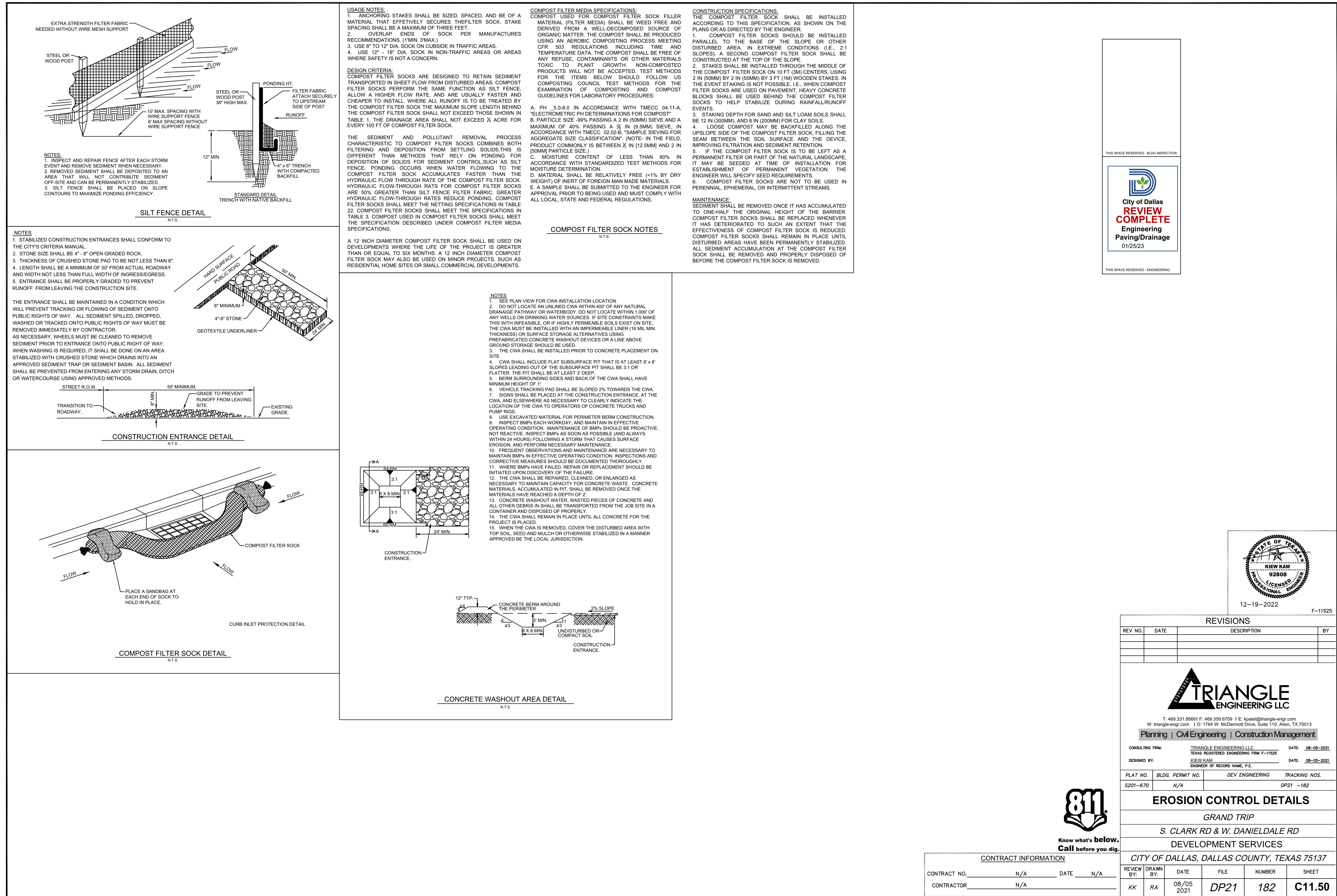
CONSULTING FIRM: TRIANGLE ENGINEERING LLC DATE: 08-05-2021
DESIGNED BY: KIEW KAM TEXAS REGISTERED ENGINEERING FIRM F-11525
ENGINEER OF RECORD NAME, P.E. DATE: 08-05-2021

PLAT NO. BLDG. PERMIT NO. DEV ENGINEERING TRACKING NOS.
S201-670 N/A DP21 - 182

EROSION CONTROL PLAN					
GRAND TRIP					
S. CLARK RD & W. DANIELDALE RD					
DEVELOPMENT SERVICES					
CITY OF DALLAS, DALLAS COUNTY, TEXAS 75137					
REVIEW BY:	DRAWN BY:	DATE:	FILE:	NUMBER:	HEET:
KK RA	08/05/2021	DP21	182	C11.01	

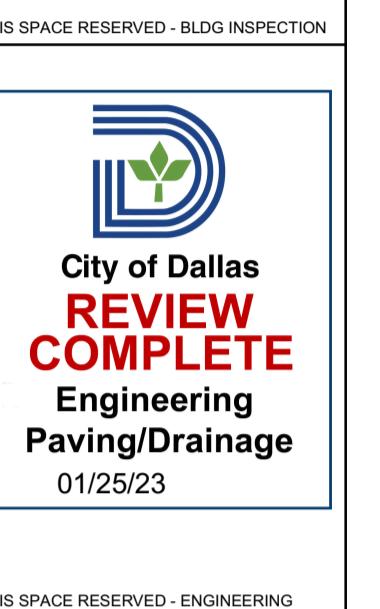
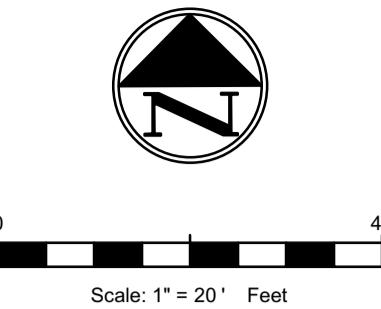
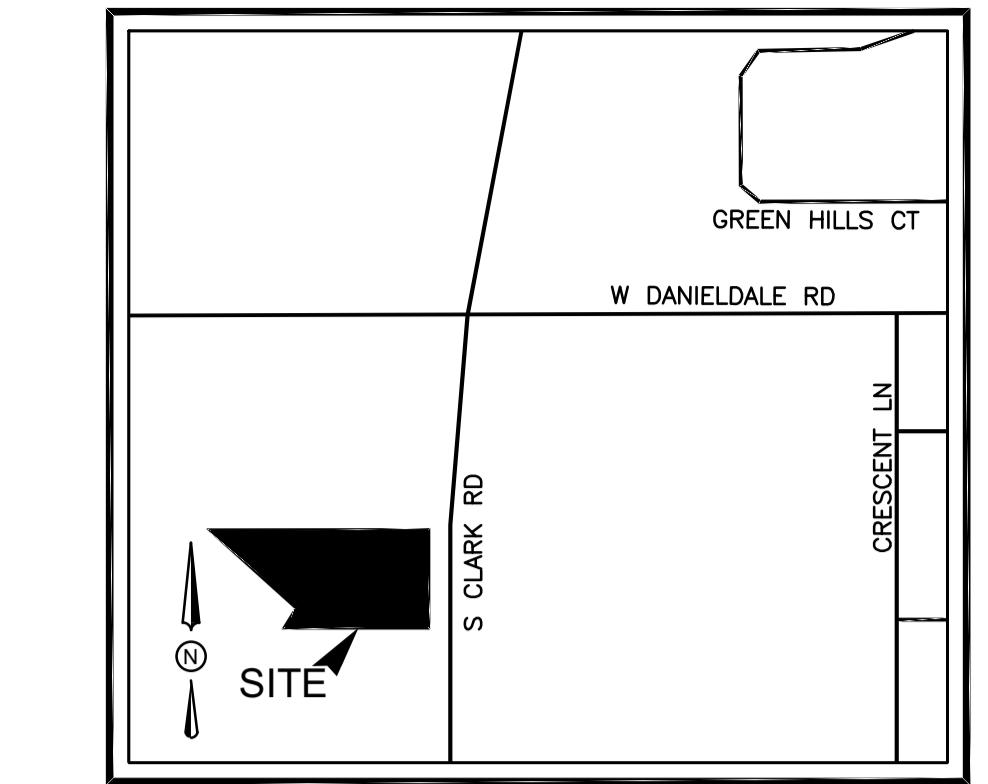
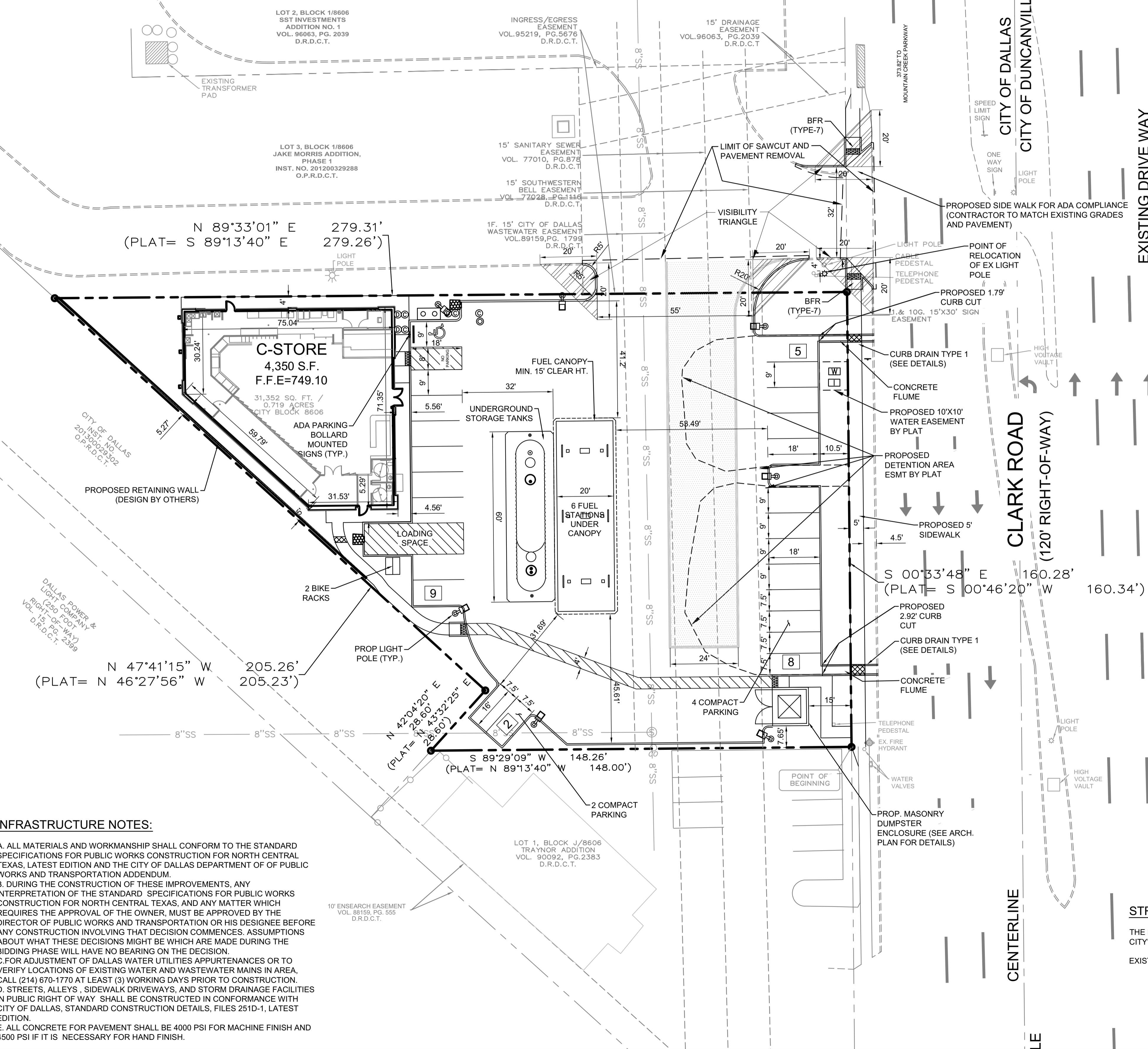


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NOTES:

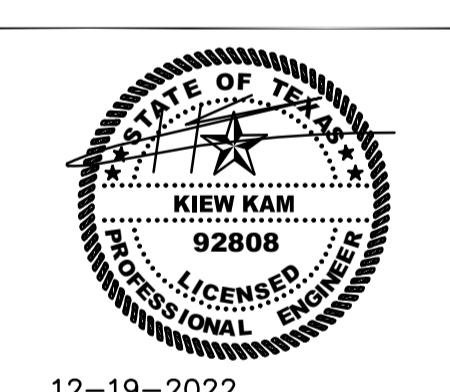
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EXISTING LEGEND	
TELE BOX	IRRIGATION VALVE
CABLE BOX	WATER VALVE
ELECTRIC BOX	FIRE HYDRANT
BRICK COLUMN	IR. VALVE
STONE COLUMN	UTILITY POLE
STORM DRAIN MH.	WATER METER
SAN. SEW. CO.	GAS METER
SAN. SEW. MH.	GAS MARKER
LIGHT POLE	OHU
SAN. SEW. MH.	OVERHEAD UTILITY LINE

SITE LEGEND	
CONCRETE CURB	SAW-CUT LINE
SAW-CUT LINE	FENCE
FENCE	FIREFLAME
FIREFLAME	STRIPING
STRIPING	PARKING SPACES
PARKING SPACES	WHEEL STOPS
WHEEL STOPS	HANDICAP LOGO
HANDICAP LOGO	HANDICAP SIGN
HANDICAP SIGN	RAMP
RAMP	DUMPSTER
DUMPSTER	SANITARY SEWER CLEANOUT
SANITARY SEWER CLEANOUT	SANITARY SEWER DOUBLE CLEANOUT
SANITARY SEWER DOUBLE CLEANOUT	SANITARY SEWER SAMPLE PORT
SANITARY SEWER SAMPLE PORT	GREASE TRAP
GREASE TRAP	DOMESTIC WATER METER
DOMESTIC WATER METER	IRRIGATION METER

SITE DATA SUMMARY TABLE	
SITE ACREAGE:	0.79 ACRES (31,352 S.F.)
ZONING:	CR - COMMUNITY RETAIL
PROPOSED USE:	GAS STATION
BUILDING AREA:	4,350 S.F.
NUMBER OF STORIES:	1
BUILDING HEIGHT:	N/a
BUILDING COVERAGE:	13.36
FLOOR AREA RATIO:	0.13
IMPERVIOUS AREA:	26,013 S.F. (82.97%)
PERVIOUS/LANDSCAPE AREA:	5,338.29 S.F. (17.02%)
PARKING REQUIRED:	24 SPACES
HANDICAP PARKING REQUIRED:	1 SPACES (1 VAN ACCESSIBLE)
HANDICAP PARKING PROVIDED:	1 SPACES (1 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED:	24 SPACES (WITH 6 COMPACT PARKING)



REVISIONS			
REV. NO.	DATE	DESCRIPTION	BY



T: 469.331.8566 | F: 469.359.6709 | E: kpatel@triangle-engr.com
W: triangle-engr.com | I: 1784 W. McDermott Drive, Suite 110, Allen, TX 75013

Planning | Civil Engineering | Construction Management

CONSULTING FIRM: TRIANGLE ENGINEERING LLC DATE: 08-05-2021
DESIGNED BY: KIEW KAM ENGINEER OF RECORD NAME, P.E.
PLAT NO. BLDG. PERMIT NO. DEV ENGINEERING TRACKING NOS.
S201-670 N/A DP21 -182

STREET LIGHT PLAN

GRAND TRIP

S. CLARK RD & W. DANIELDALE RD

DEVELOPMENT SERVICES

CITY OF DALLAS, DALLAS COUNTY, TEXAS 75137

REVIEW BY: DRAWN BY: DATE: FILE: NUMBER: SHEET

KK RA 08/05 2021 DP21 182 C13.01



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CONTRACT INFORMATION

CONTRACT NO. N/A DATE N/A

CONTRACTOR N/A