

# BENUS ANDERSON RESIDENCE

BURR OAKS, LOT 04  
WEST LAKELAND, MN



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PROJECT	ISSUE
Benus Anderson Residence Burr Oaks, Lot 4 West Lakeland, MN	9/24/2020
DESCRIPTION	RE-ISSUE
Title	11/5/2020 9:22:23 AM

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DRAWN BY	PROJECT
GM	Benus Anderson Residence Burr Oaks, Lot 4 West Lakeland, MN
DESCRIPTION	PROJECT #
Title	HEN - Benus Anderson - CDRev - GM

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GM	Benus Anderson Residence Burr Oaks, Lot 4 West Lakeland, MN
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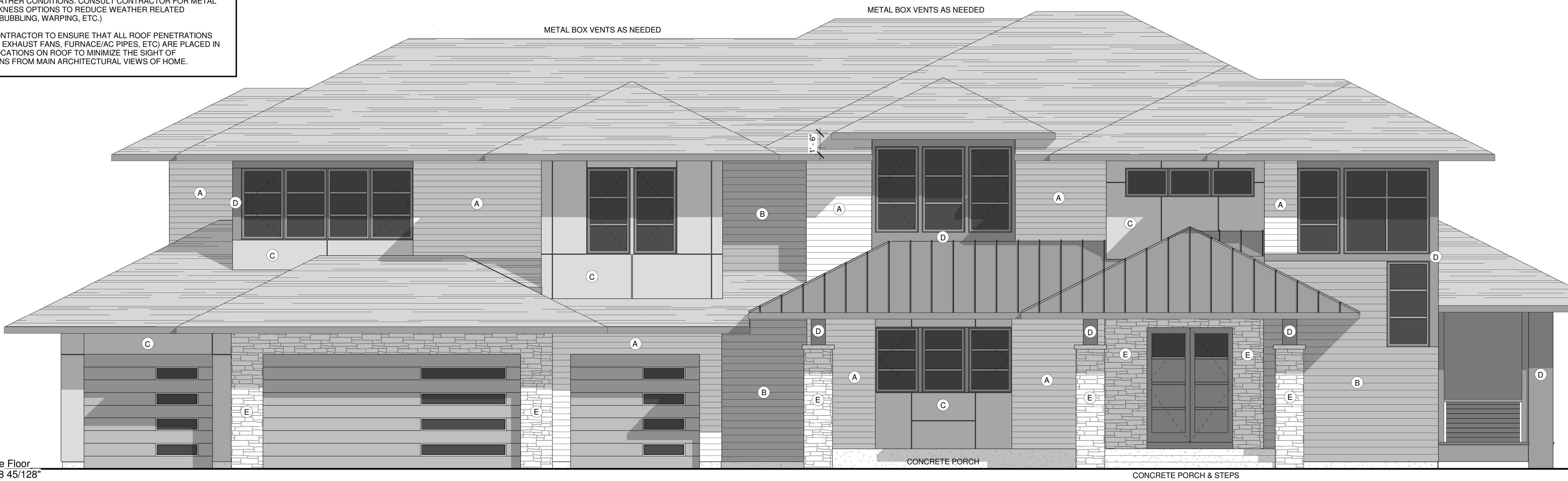
## ELEVATION NOTES:

SEE "TYPICAL EXTERIOR MATERIALS" FOR ALL CLADDING SHOWN

SEE FINAL PAGE FOR SQUARE FOOTAGE CALCULATIONS

METAL FASICAS AND ROOFS HAVE THE TENDENCY TO OIL CAN UNDER CERTAIN WEATHER CONDITIONS. CONSULT CONTRACTOR FOR METAL GAUGE/THICKNESS OPTIONS TO REDUCE WEATHER RELATED CONCERN (BUBBLING, WARPING, ETC.)

GENERAL CONTRACTOR TO ENSURE THAT ALL ROOF PENETRATIONS (VENT PIPES, EXHAUST FANS, FURNACE/AC PIPES, ETC) ARE PLACED IN OBSCURE LOCATIONS ON ROOF TO MINIMIZE THE SIGHT OF PENETRATIONS FROM MAIN ARCHITECTURAL VIEWS OF HOME.



## 1 FRONT ELEVATION

1/4" = 1'-0"

### TYPICAL EXTERIOR MATERIALS

ASPHALT SHINGLES W/  
NATURAL SHADOW  
ARCHITECTURAL GRADE

METAL BOX VENTS AS  
NEEDED PER ELEVATION

STANDING SEAM METAL  
ROOF PER ELEVATION

5" EXPOSURE HARDIE LAP  
SIDING w/ 199 SERIES

METAL CORNERS PER  
ELEVATION

6" WESTERN RED CLEAR  
CEDAR SHIPLAP SIDING w/  
MITERED CORNERS PER  
ELEVATION

HARDIE PANEL SMOOTH w/  
1/2" REVEAL PER  
ELEVATION

HARDIE PANEL SMOOTH  
PER ELEVATION

2" STONE VENEER PER  
ELEVATION

INSTALL KICK OUT  
FLASHING & TWO  
MEMBRANE TAR PAPER  
BACKING IN ALL STONE  
AREAS

6" METAL FASCIA PER  
ELEVATION

ALUMINUM VENTED  
SOFFITS PER ELEVATION

EXTERIOR WINDOW COLOR  
TO BE BLACK PER  
ELEVATION

HOUSE WRAP AND/TAR  
PAPER IN PROPER FORM  
ON ENTIRE EXTERIOR



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ISSUE  
9/24/2020  
PROJECT#  
Benus Anderson Residence  
Bur Oak, Lot 4  
West Lakeland, MN

RE-ISSUE  
11/5/2020 9:22:35  
AM

DRAWN BY  
GM  
DESCRIPTION  
Front & Rear Elevations

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## ELEVATION NOTES:

SEE "TYPICAL EXTERIOR MATERIALS" FOR ALL CLADDING SHOWN

SEE FINAL PAGE FOR SQUARE FOOTAGE CALCULATIONS

METAL FASICAS AND ROOFS HAVE THE TENDENCY TO OIL CAN UNDER CERTAIN WEATHER CONDITIONS. CONSULT CONTRACTOR FOR METAL GAUGE/THICKNESS OPTIONS TO REDUCE WEATHER RELATED CONCERN (BUBBLING, WARPING, ETC.)

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## 1 LEFT ELEVATION

1/4" = 1'-0"



## 2 RIGHT ELEVATION

1/4" = 1'-0"

### TYPICAL EXTERIOR MATERIALS

ASPHALT SHINGLES W/ NATURAL SHADOW ARCHITECTURAL GRADE

METAL BOX VENTS AS NEEDED PER ELEVATION

STANDING SEAM METAL ROOF PER ELEVATION

5" EXPOSURE HARDIE LAP SIDING w/ 199 SERIES METAL CORNERS PER ELEVATION

6" WESTERN RED CLEAR CEDAR SHIPLAP SIDING w/ MITERED CORNERS PER ELEVATION

HARDIE PANEL SMOOTH w/ 1/2" REVEAL PER ELEVATION

HARDIE PANEL SMOOTH PER ELEVATION

2" STONE VENEER PER ELEVATION

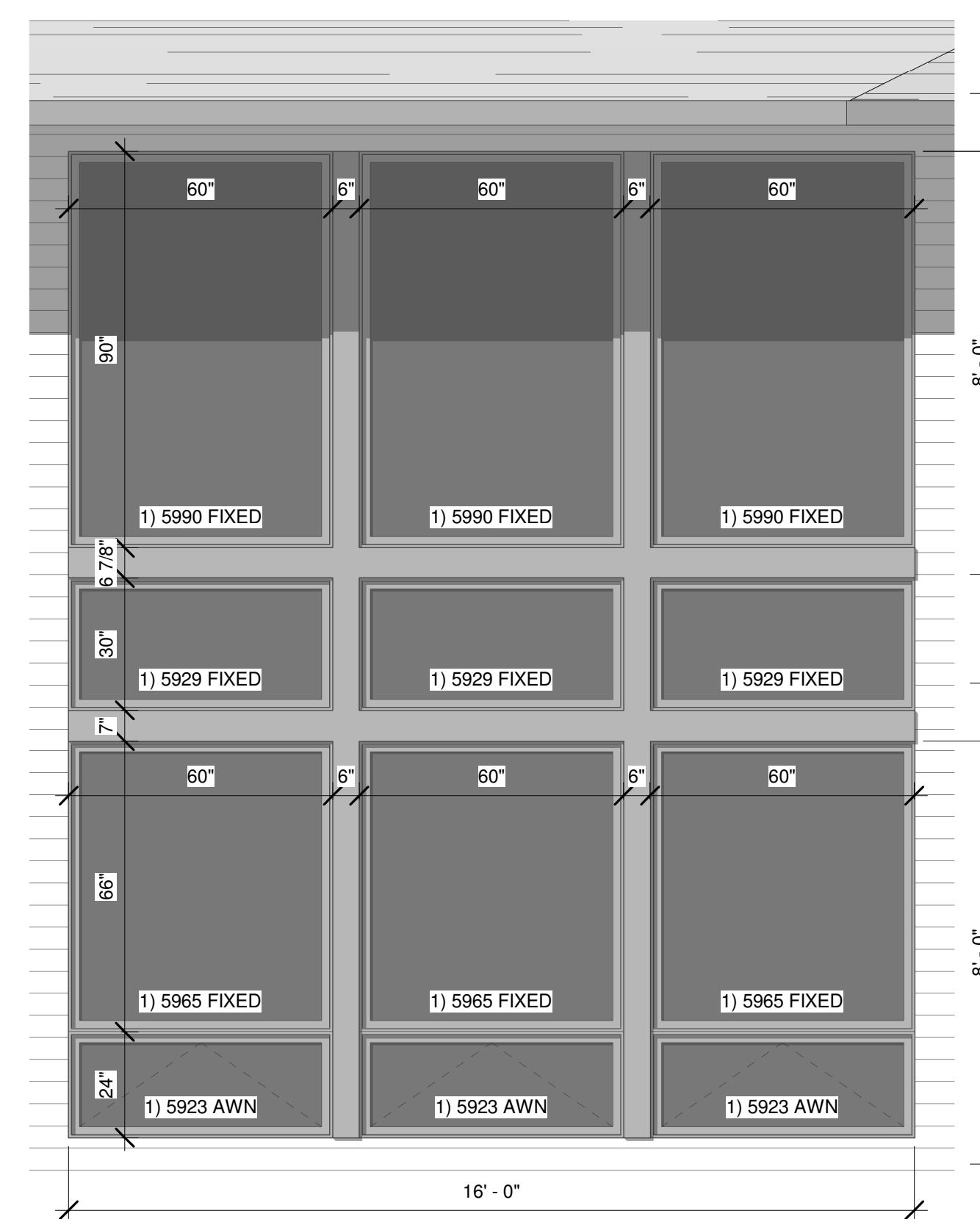
INSTALL KICK OUT FLASHING & TWO MEMBRANE TAR PAPER BACKING IN ALL STONE AREAS

6" METAL FASICA PER ELEVATION

ALUMINUM VENTED SOFFITS PER ELEVATION

EXTERIOR WINDOW COLOR TO BE BLACK PER ELEVATION

HOUSE WRAP AND/TAR PAPER IN PROPER FORM ON ENTIRE EXTERIOR

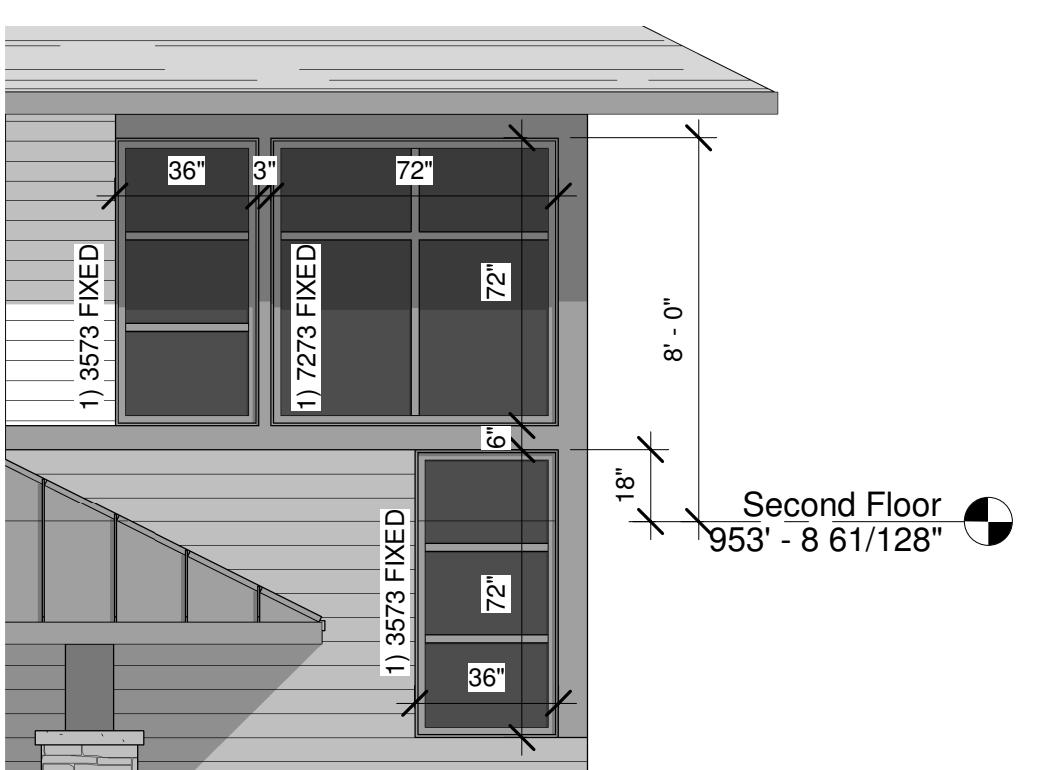


**WINDOW / DOOR SIZE DISCLAIMER:**  
DIMENSIONS SHOWN ARE NOT IN COMPLIANCE WITH FRAME / OPENING SIZES FROM WINDOW MFG. AND ARE FOR ILLUSTRATIVE PURPOSES ONLY. BEFORE FRAMING, CONTRACTOR SHOULD CONSULT WITH WINDOW MFG. FOR FINAL SHOP DRAWINGS AND UNIT SIZES.

**NOTE:**  
DETAIL CALLS OUT PELLA ARCHITECT SERIES TAGS (IN INCHES)

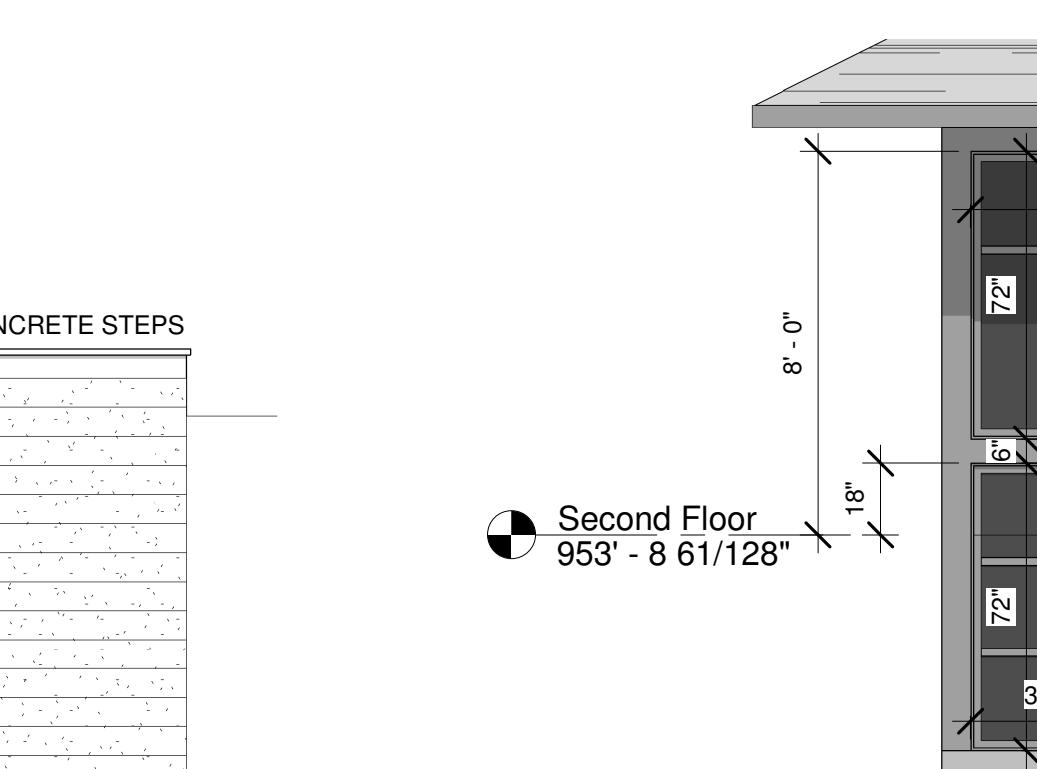
## 3 WINDOW DETAIL - GREAT RM

3/8" = 1'-0"



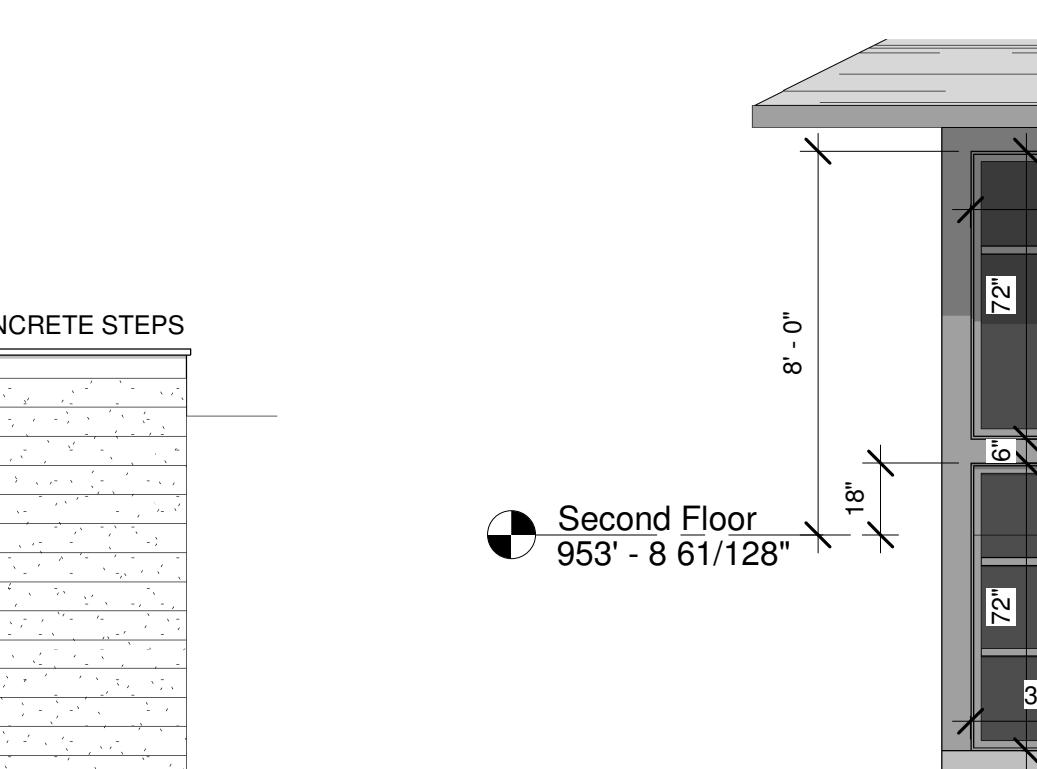
## 4 WINDOW DETAIL - STAIRS (FRONT)

1/4" = 1'-0"



## 5 WINDOW DETAIL - STAIRS (RIGHT)

1/4" = 1'-0"



### STONE ATTACHMENT

1. VERIFY COMPLIANCE WITH INSPECTOR WHEN PAPER IS COMPLETE IN ONE WINDOW AREA.

2. WEATHER RESISTIVE BARRIERS: INCLUDE 2 LAYERS OF GRADE D PAPER WITH WEATHER RESISTIVE BARRIERS OVER WOOD BASED SHEATHING. 15 OR 15 # IS NOT GRADE D PAPER. LAP VERTICAL JOINTS IN PAPER AT LEAST 2 INCHES.

3. EXTERIOR OPENINGS FLASHED: FLASH ALL EXTERIOR OPENINGS. THE NAILING FLANGE ON WINDOWS WILL NOT BE ACCEPTED FOR FLASHING UNLESS THE MANUFACTURERS INSULATION INSTRUCTIONS ARE PROVIDED ON SITE STATING THE FLANGE IS ACCEPTABLE AS FLASHING.

4. WINDOW FLANGES: INSTALL PAPER ON BOTTOM AND SIDES OF WINDOW BEFORE INSTALLING. WINDOW PAPER LOCATED ON TOP OF WINDOW WILL GO OVER THE WINDOW FLASHING. INSTALL A SECOND LAYER OF PAPER OVER SIDE WINDOW FLANGES.

5. WINDOW OPENINGS: WATERPROOF WINDOW OPENINGS WITH CAULK, TAPE, OR LIKE MATERIAL. ALL OTHER OPENINGS MUST BE WATERPROOFED WITH CAULK, TAPE, OR LIKE MATERIAL.

6. PAPER ENTIRE WALL: BUILDING PAPER MUST BE INSTALLED ON ALL EXTERIOR WALLS INCLUDING WITHIN THE SOFFIT. INSTALL PAPER IN SHINGLE FASHION TO ENSURE PROPER WATER DRAINAGE.

7. FLASHING: AT ALL WALL/ROOF INTERSECTIONS WHERE ROOF LINE DOES NOT EXTEND PAST WALL, KICKOUT FLASHING IS REQUIRED. ALL OTHER OPENINGS MUST BE FLASHED TO ENSURE PROPER WATERPROOFING.

8. WEEP SCREED: PROVIDE A CORROSION RESISTANT WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2" AT OR BELOW THE FOUNDATION PLATE. TO ENSURE TRAPPED WATER HAS PROPER DRAINAGE AND MUST BE PLACED A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE CONCRETE. PLACE SCREED SOLENEE JUST BELOW PLATE LINE. IF PAPER HAS BEEN INSTALLED ON FOUNDATION, EXTEND WEEP SCREED ONTO FOUNDATION. ALL STONE MUST NOT EXTEND BELOW, BUT MUST COVER, ALL LATH AND PAPER.

DAVID CHARLEZ DESIGNS DOES NOT ACCEPT ANY RESPONSIBILITY FOR STONE INSTALLATION OR WATERPROOFING TECHNIQUES. REFER TO MANUFACTURER AND INSTALLERS FOR PREFERRED INSTALLATION METHODS WHICH WILL DIFFER FROM WHAT IS SHOWN.

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**ISSUE** 9/24/2020  
**RE-ISSUE** 11/5/2020 9:22:45 AM  
**PROJECT** Benus Anderson Residence  
Bur Oaks, Lot 4  
West Lakeland, MN  
**PROJECT #** HEN - Benus Anderson - CDRev1 - GM

**DRAWN BY** GM  
**DESCRIPTION** Left & Right Elevations

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## ROOF PLAN NOTES:

ENGINEERED ROOF TRUSSES PER MFG. SPEC. MANUFACTURE WILL PROVIDE ALL ENGINEERING DRAWING AND SPECIFICS

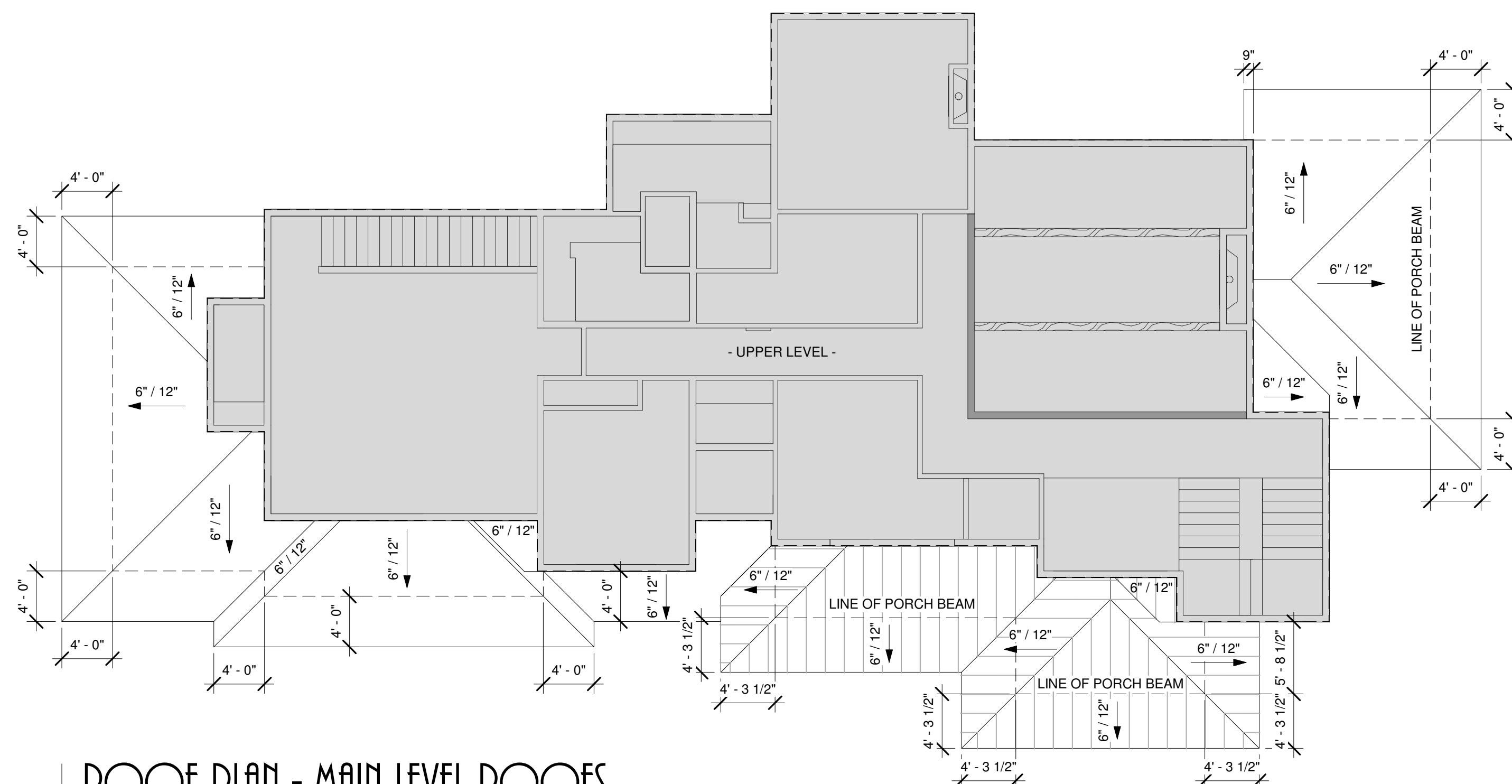
OVERHANG DIMENSIONS ARE TO FACE OF FRAMING

ICE AND WATER ALL ADJOINING ROOFS

TRUSS MANUFACTURER TO VERIFY ALL ENERGY HEELS SHOWN TO ENSURE FINAL EAVE FRAMING DOES NOT CONFLICT WITH FINISHED EXTERIOR WINDOW TRIM AS SHOWN ON ELEVATIONS.

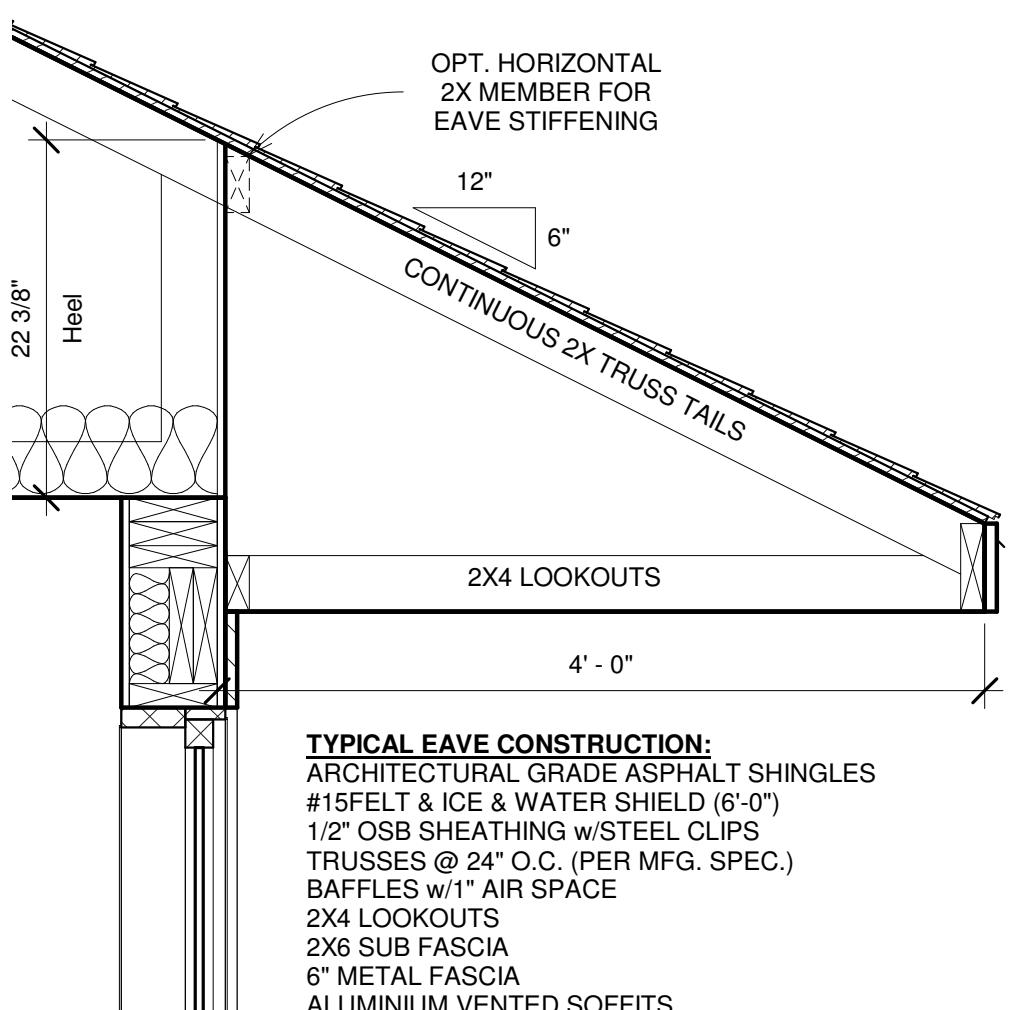
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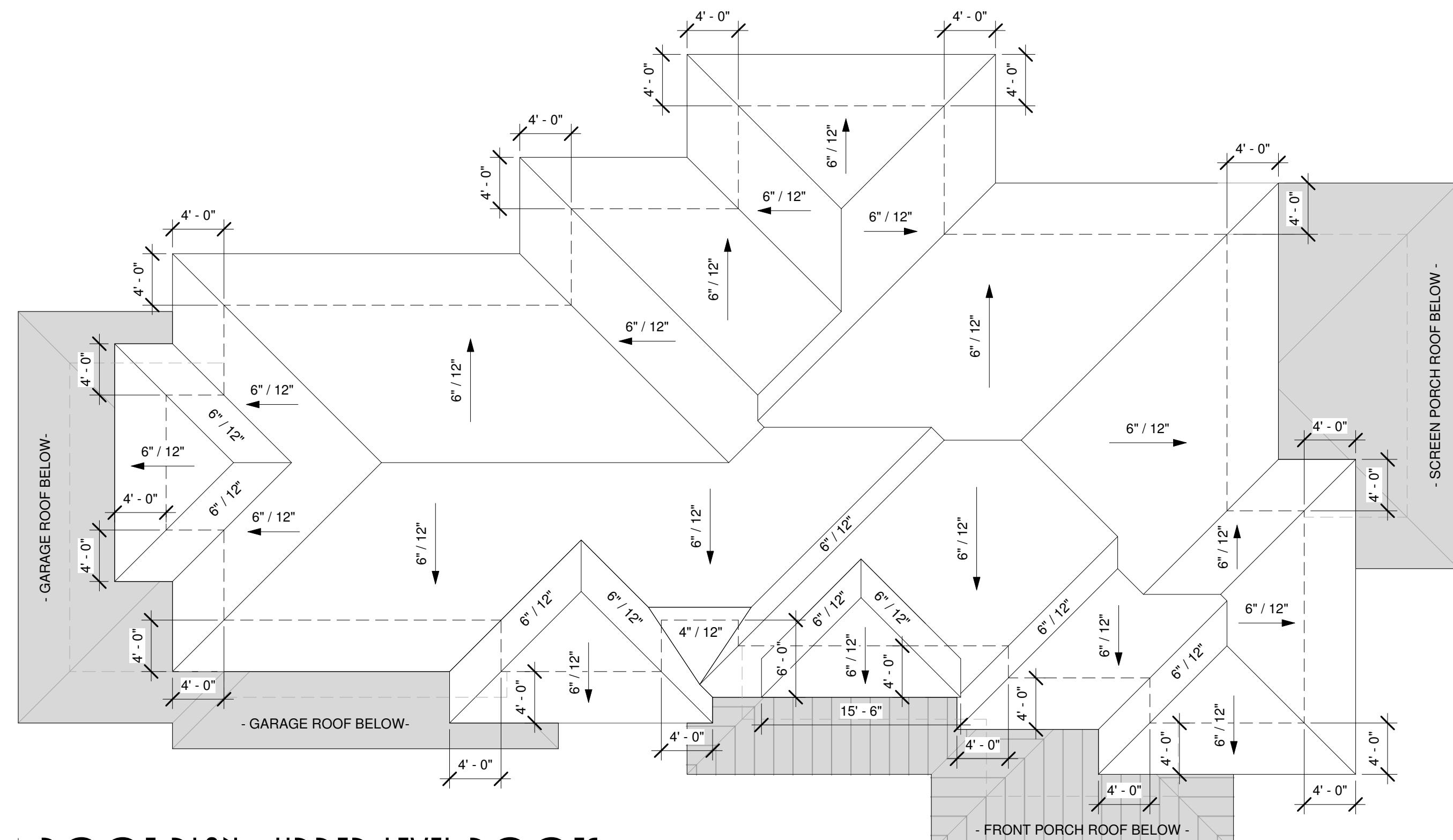
1 ROOF PLAN - MAIN LEVEL ROOFS

1/8" = 1'-0"



4 DETAIL - TYPICAL EAVE

1" = 1'-0"



2 ROOF PLAN - UPPER LEVEL ROOFS

1/8" = 1'-0"

## ROOF, CEILING & EAVE CONSTRUCTION:

ARCHITECTURAL GRADE ASPHALT SHINGLES

#15 FELT & ICE & WATER SHIELD (6'-0")

1/2" OSB SHEATHING w/STEEL CLIPS

TRUSSES @ 24" O.C. (PER MFG. SPEC.)

BAFFLES w/1" AIR SPACE

2X4 LOOKOUTS

2X6 SUB FASCIA

6" METAL FASCIA

ALUMINUM VENTED SOFFITS

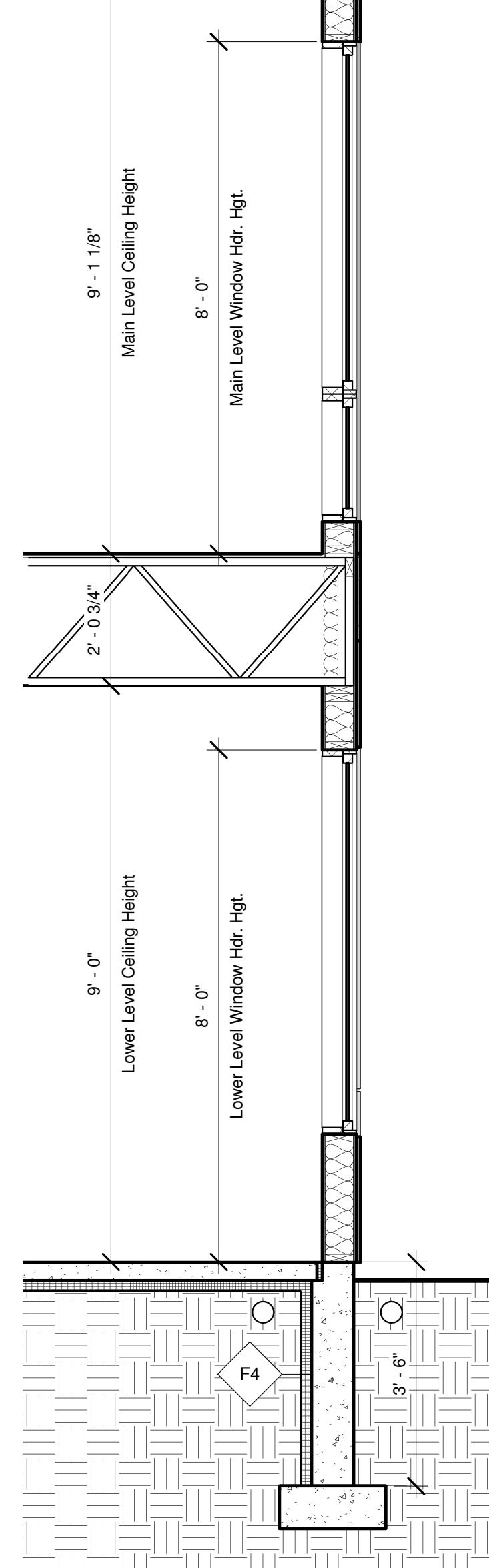
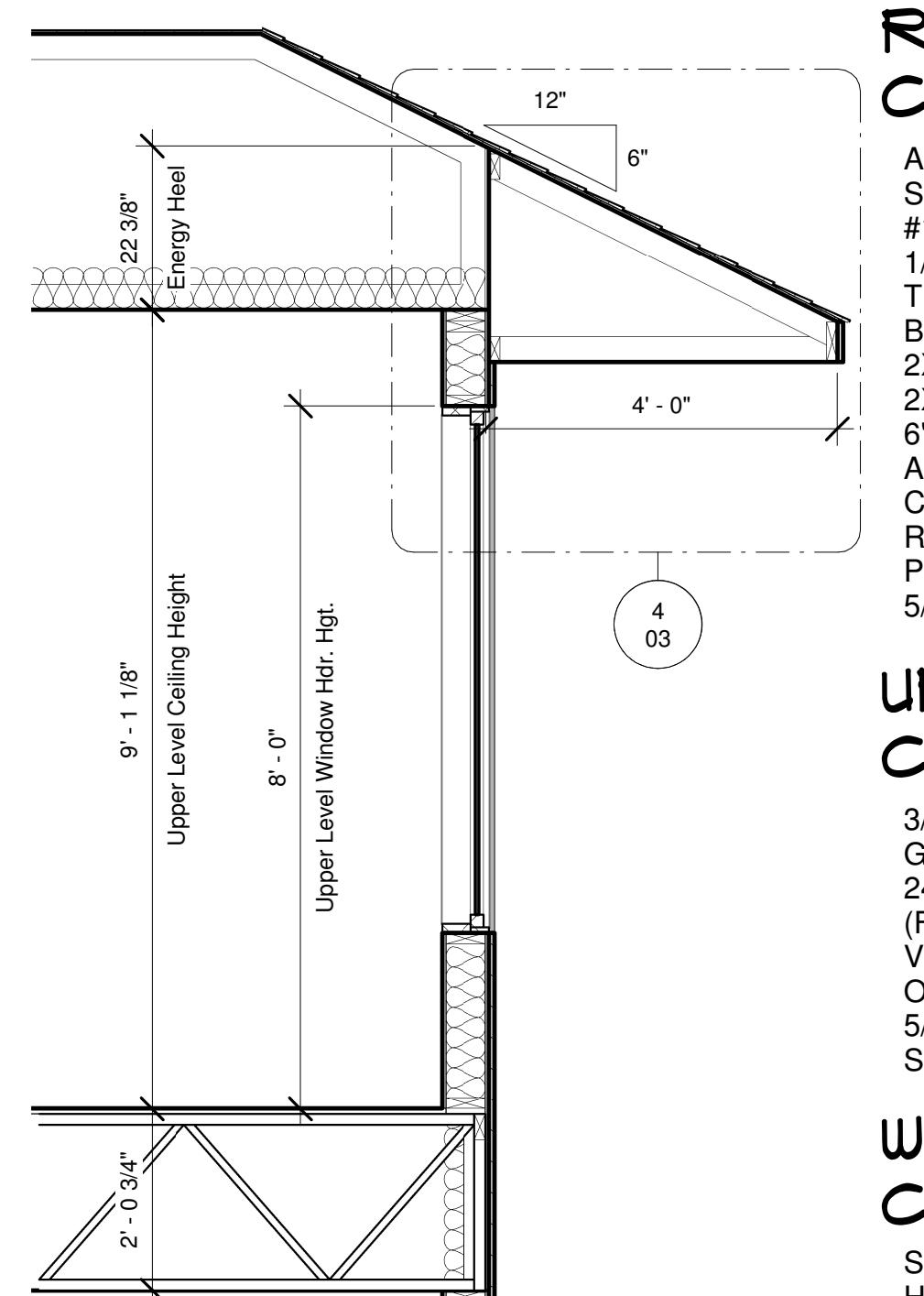
COMPOSITE FRIEZE BOARDS

R-50 BLOWN INSULATION

POLY VAPOR BARRIER

5/8" GYP. BRD. CEILING

SPRAY INSULATE RIMS (R-21)



3 SECTION - TYPICAL WALL

1/2" = 1'-0"

## UPPER LEVEL CONSTRUCTION:

3/4" ADVANTEC SUBFLOOR GLUED & SCREWED

24" FLOOR TRUSSES @ 19.2" O.C.

(FLOOR SYSTEM DESIGNER TO VERIFY SIZE & SPACING BASED ON SPANS)

5/8" GYP. BRD. ON CEILING

SPRAY INSULATE RIMS (R-21)

## WALL CONSTRUCTION:

SIDING PER ELEVATION

HOUSE WRAP (WRAP

WINDOWS PER MFG. SPEC.)

1/2" OSB SHEATHING

2X6 STUDS @16" O.C.

DBL. TOP PLATE

R-21 WALL INSULATION

4 MIL POLY VAPOR BARRIER

1/2" GYP. BRD.

2X6 SOLE PLATE

ALL DETAILS TO CONFORM W/

ENERGY CODE

## MAIN LEVEL CONSTRUCTION:

3/4" ADVANTEC SUBFLOOR GLUED & SCREWED

24" FLOOR TRUSSES @ 19.2" O.C.

(FLOOR SYSTEM DESIGNER TO VERIFY SIZE & SPACING BASED ON SPANS)

FLASHING UNDER SILLS & STOOPS

TREATED 2X6 SILL PLATE w/ SEALER

1/2" ANCHOR BOLTS @ 6' O.C. & 1' FROM CORNERS

5/8" GYP. BRD. ON CEILING

SPRAY INSULATE RIMS (R-21)

## FOUNDATION WALL & BASEMENT SLAB CONSTRUCTION:

WATERPROOFING

EXTERIOR THERMAL WALL:

2" RIGID INSULATION (R-10) APPLIED TO EXTERIOR, PROVIDE FLASHING TO COVER EXPOSED INSULATION  
POURED CONC. WALL PER PLAN  
REINFORCE WALLS PER CODE AND ENGINEER'S SPECIFICATIONS  
20" X 8" CONTINUOUS CONC. FOOTING  
UNLESS OTHERWISE NOTED  
4" CONC. SLAB

VAPOR/MOISTURE BARRIER PER IRC SECTION 506 EXTENDING UP THE WALL AND SEALED TO FOUNDATION WALL  
4" SAND/AGGREGATE FILL  
OPT. IN-FLOOR HEAT PER PLAN  
OPT. 2" RIGID INSULATION UNDER SLAB

INTERIOR THERMAL WALL:

1" RIGID INSULATION (R-5)  
2x4 STUDS @ 16" O.C.  
2x4 TRD. PLATE  
1/2" GYP BD.

INTERIOR & EXTERIOR 4" DIA. PERFORATED DRAIN  
TILE PIPED TO SUMP BASKET

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HENDEL

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DRAWN BY	PROJECT	ISSUE
GM	Benus Anderson Residence Burr Oaks, Lot 4 West Lakeland, MN	9/24/2020
	PROJECT #	RE-ISSUE
	HEN - Benus Anderson - CDRev - GM	11/5/2020 9:22:49 AM

DESCRIPTION
Roof Plan

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03

## FOUNDATION PLAN NOTES:

DIMENSIONS ARE FROM FACE OF CONCRETE TO FACE OF CONCRETE  
ALL WALLS SHOWN ARE POURED CONCRETE. ALL WALLS, FOOTINGS, AND PADS TO HAVE REBAR AS SPECIFIED BY CODE AND A LICENSED STRUCTURAL ENGINEER.  
GRAYED OUT FOUNDATION WALLS ARE PULLED INTO HOUSE 1-1/2" W/ A CANTILEVERED 2X6 SILL PLATE

### FOUNDATION WALLS DISCLOSURE:

FOUNDATION WALL HEIGHTS ARE SUBJECT TO CHANGE DUE TO GRADE AND SITE CONDITIONS.

ALL FOUNDATION WALL HEIGHTS MUST BE VERIFIED ON SITE BY THE CONTRACTOR AND SITE SURVEYOR PRIOR TO CONSTRUCTION.

FOUNDATION CONTRACTOR WILL STEP FOUNDATION WALLS AS NECESSARY TO MAINTAIN PROPER FROST PROTECTION (42" BELOW GRADE) IN ACCORDANCE TO CURRENT MINNESOTA CODE, REGULATIONS, AND ZONING.

### FOUNDATION WALL LEGEND:

F1 9'-6" x 8" POURED CONCRETE WALL ON 20" x 8" POURED CONCRETE FOOTING. REBAR PER CODE. - FRONT PORCH WALL

F2 3'-6" x 8" POURED CONCRETE WALL w/ 2" INTERIOR LEDGE (SLAB) ON 20" x 8" POURED CONCRETE FOOTING. REBAR PER CODE. - GARAGE WALL

F3 3'-6" x 10" POURED CONCRETE WALL w/ 2" EXTERIOR LEDGE (STONE) AND 2" INTERIOR LEDGE (SLAB) ON 20" x 8" POURED CONCRETE FOOTING. REBAR PER CODE. - GARAGE WALL

F4 3'-6" x 8" POURED CONCRETE WALL w/ 2" INTERIOR LEDGE (1" SLAB, 1" INSULATION) ON 20" x 8" POURED CONCRETE FOOTING. REBAR PER CODE. - WALKOUT WALL

F5 7'-0" x 8" POURED CONCRETE WALL PULLED IN 1-1/2" (APPLY 2" CERTISTUDS IN AREAS w/ SLOPING GRADE FOR FLUSH SIDING APPLICATION) ON 20" x 8" POURED CONCRETE FOOTING. REBAR PER CODE. - LOOKOUT WALL

F6 10'-0" x 10" POURED CONCRETE WALL PULLED INTO HOUSE 1-1/2" (APPLY 2" CERTISTUDS IN AREAS w/ SLOPING GRADE FOR FLUSH SIDING APPLICATION) ON 20" x 8" POURED CONCRETE FOOTING. REBAR PER CODE. - MAIN FOUNDATION WALL

F7 10'-0" x 10" POURED CONCRETE WALL w/ 2" EXTERIOR LEDGE (SLAB) ON 20" x 8" POURED CONCRETE FOOTING. REBAR PER CODE. - GARAGE/HOUSE COMMON WALL

F8 10'-0" x 10" POURED CONCRETE WALL w/ 4" EXTERIOR LEDGE (2" SLAB, 2" INSULATION) ON 20" x 8" POURED CONCRETE FOOTING. REBAR PER CODE. - FRONT PORCH / PATIO WALL

F9 13'-6" x 12" POURED CONCRETE WALL w/ 2" EXTERIOR LEDGE (STONE) ON 24" x 8" POURED CONCRETE FOOTING. REBAR PER CODE. - REAR PATIO WALL

F10 SLOPING HGT. w/ STAIRS x 14" POURED CONCRETE WALL w/ 2" EXTERIOR LEDGES (2" STONE) ON 24" x 8" POURED CONCRETE FOOTING. REBAR PER CODE. - REAR PATIO WALL

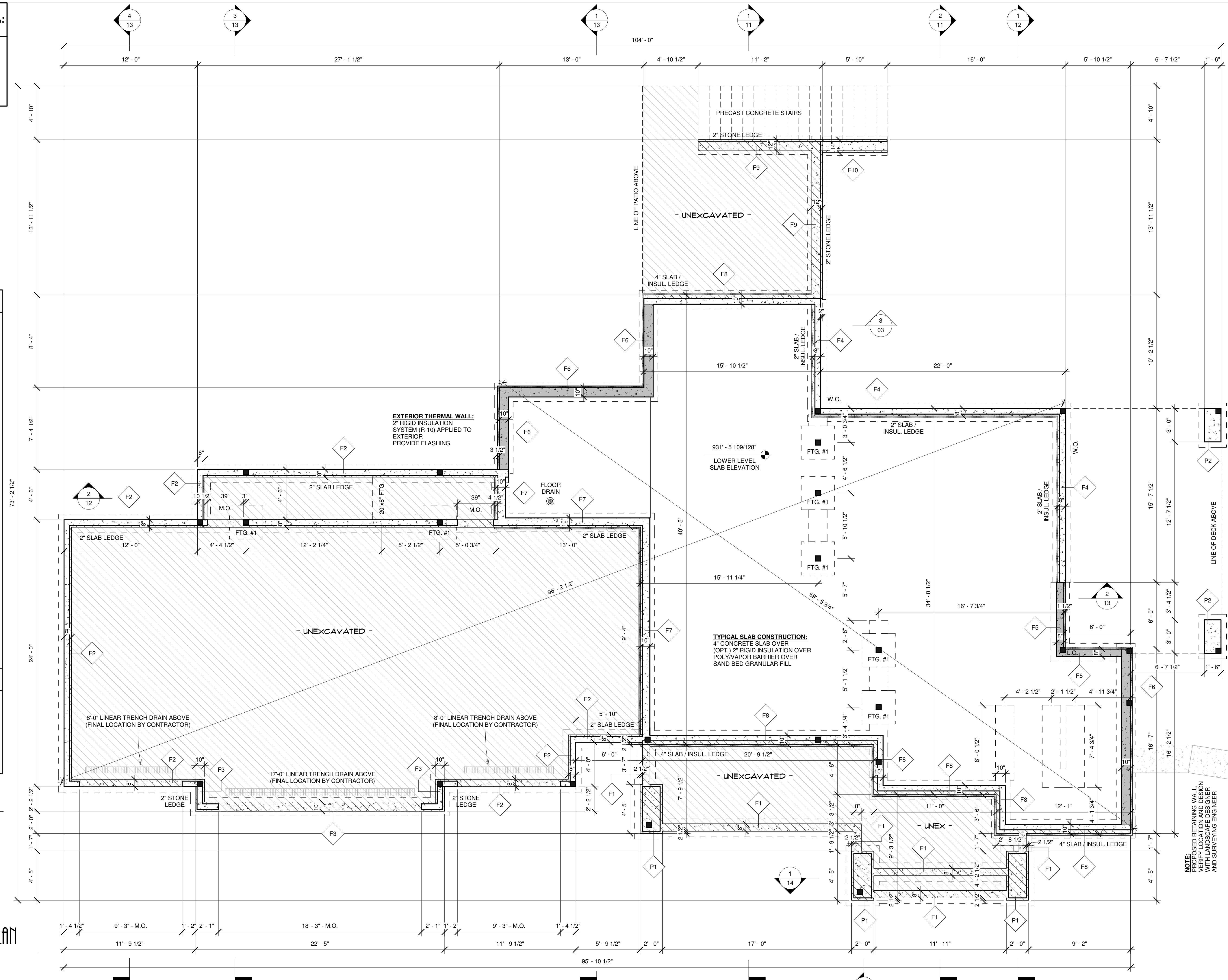
### FOUNDATION PIER LEGEND:

P1 24"x53"x120" POURED CONCRETE PIER w/ 2-1/2" STONE/SLAB LEDGE ON 36"x65"x12" POURED CONCRETE FOOTING REBAR PER CODE. - FRONT PORCH

P2 18"x36"x42" POURED CONCRETE PIER ON 30"x48"x12" POURED CONCRETE FOOTING REBAR PER CODE. - SCREEN PORCH

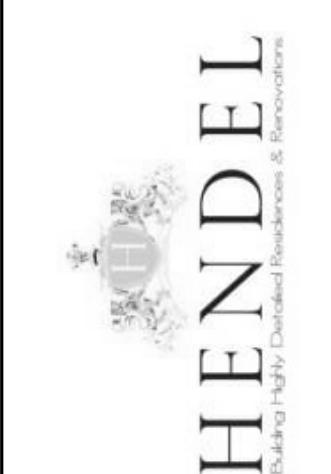
## FOUNDATION WALL LEGEND

1/4" = 1'-0"



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PROJECT  
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Burr Oaks, Lot 4  
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PROJECT #  
HEN - Benus Anderson -  
CDRev - GM

DRAWN BY  
GM  
DESCRIPTION  
Foundation Plan

a

04

## LOWER LEVEL NOTES:

DIMENSIONS ARE FROM FACE OF CONCRETE & FACE OF FRAMING TO CENTER OF STUD.

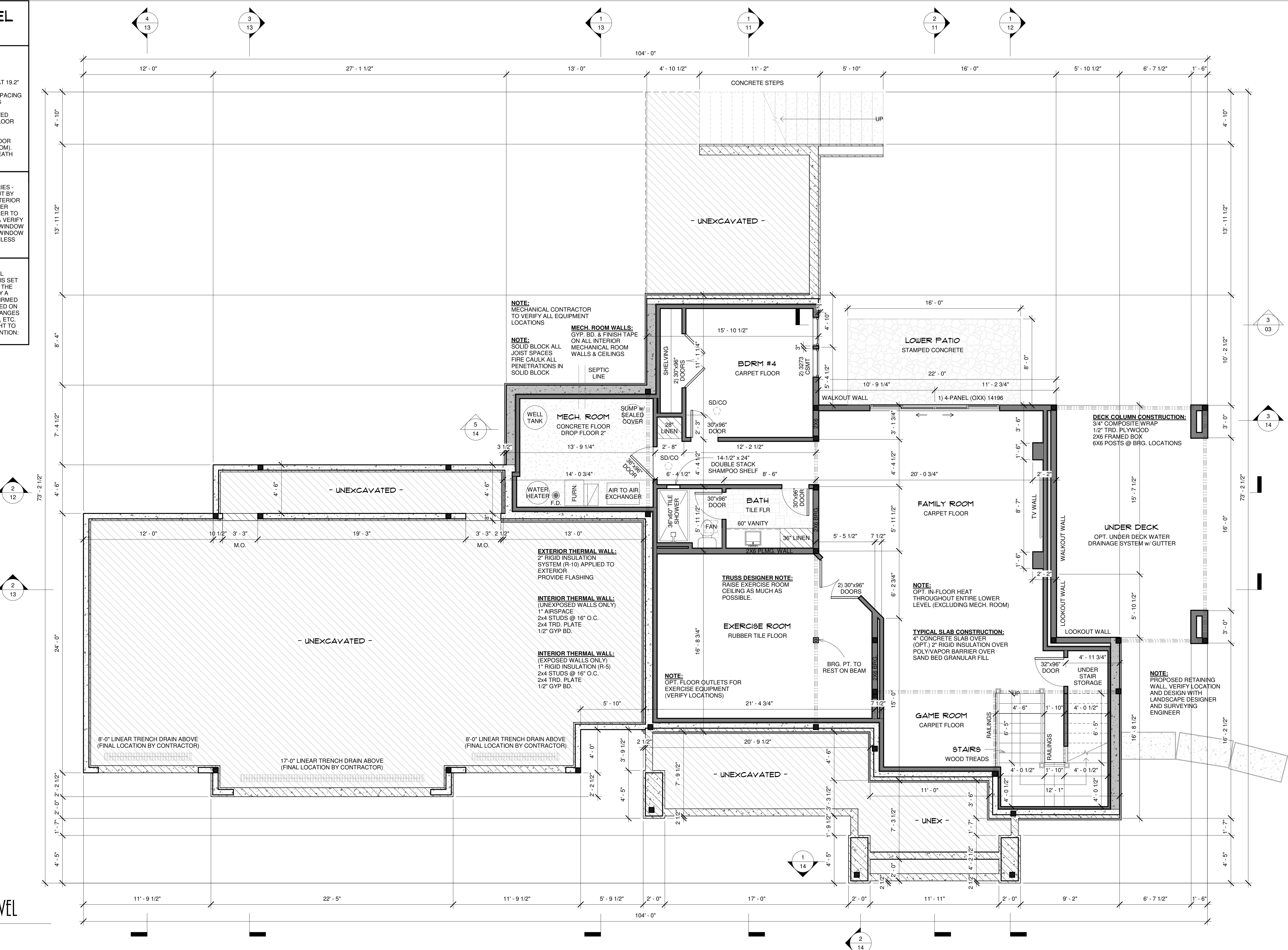
FLOOR TRUSSES ARE CALLED OUT AT 19.2" O.C.  
FLOOR SYSTEM DESIGNER VERIFY SPACING AND ADJUST AS ALLOWED BY SPANS

CEILING HEIGHT @ 9'-0" UNLESS NOTED  
SET WINDOW HDRS @ 8'-0" FROM FLOOR UNLESS NOTED

OPTIONAL WIRSBØ HYDRONIC IN-FLOOR HEAT (EXCLUDING, MECHANICAL ROOM). PROVIDE 2'-4" INSULATION UNDERNEATH SLAB.

**WINDOW NOTE:**  
PELLA WINDOWS (ARCHITECT SERIES - CONTEMPORARY) ARE CALLED OUT BY WINDOW FRAME SIZE IN INCHES. EXTERIOR WINDOW COLOR TO BE BLACK PER ELEVATION. WINDOW MANUFACTURER TO SPECIFY CLOSEST MATCHING SIZES & VERIFY EGRESS COMPLIANCE AND PROVIDE WINDOW SCHEDULE WITH ROUGH OPENINGS. WINDOW & DOOR HEADERS TO BE 2x2x10 UNLESS NOTED (PER MFG. SPECS.)

**STRUCTURAL NOTE:**  
BEAM SIZES & ALL STRUCTURAL CONSIDERATIONS SPECIFIED ON THIS SET OF PLANS MUST BE REVIEWED BY THE FLOOR SYSTEM DESIGNER OR BY A STRUCTURAL ENGINEER AND CONFIRMED TO BE STRUCTURALLY SOUND, BASED ON THAT REVIEW IF THERE ARE ANY CHANGES OR ADDED BEAM SIZES, LOCATION, ETC. THESE CHANGES MUST BE BROUGHT TO THE GENERAL CONTRACTOR'S ATTENTION:



1 LOWER LEVEL

1/4" = 1'-0"

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Burr Oaks, Lot 4  
West Lakeland, MN  
PROJECT #  
HEN - Benus Anderson -  
CDRev1 - GM

DRAWN BY  
GM  
DESCRIPTION  
Lower Level

a

05

## STRUCTURAL NOTES:

NOT AN OFFICIAL STRUCTURAL PLAN. ALL BEAMS, HEADERS, AND GIRDER TRUSSES SHOWN MUST BE SPECIFIED AND DETERMINED BY A LICENSED STRUCTURAL ENGINEER. REFER TO STRUCTURAL DOCUMENTS PROVIDED BY ENGINEER FOR FINAL LOCATIONS, SIZES, AND SPECS.

ROOF/FLOOR GIRDER TRUSSES SHOWN ARE ASSUMED LOCATIONS. NOT ALL NECESSARY GIRDER TRUSSES MAY BE SHOWN. TRUSS MANUFACTURER TO DETERMINE FINAL LOCATIONS OF GIRDER TRUSSES.

SIZE BEAMS/HEADERS TO ALLOW FOR HVAC RUNS THROUGHOUT ENTIRETY OF HOME.

GRAYED OUT FRAMED WALLS ARE 2X6 BEARING WALLS UNLESS NOTED

FLOOR TRUSSES ARE CALLED OUT AT 19.2" O.C.  
FLOOR SYSTEM DESIGNER TO VERIFY SPACING AND ADJUST AS ALLOWED BY SPANS

CEILING HEIGHT @ 9' 0" UNLESS NOTED  
SET WINDOW HEADERS @ 8'-0" FROM FLOOR UNLESS NOTED

## 1 LOWER LEVEL STRUCTURAL

1/4" = 1'-0"

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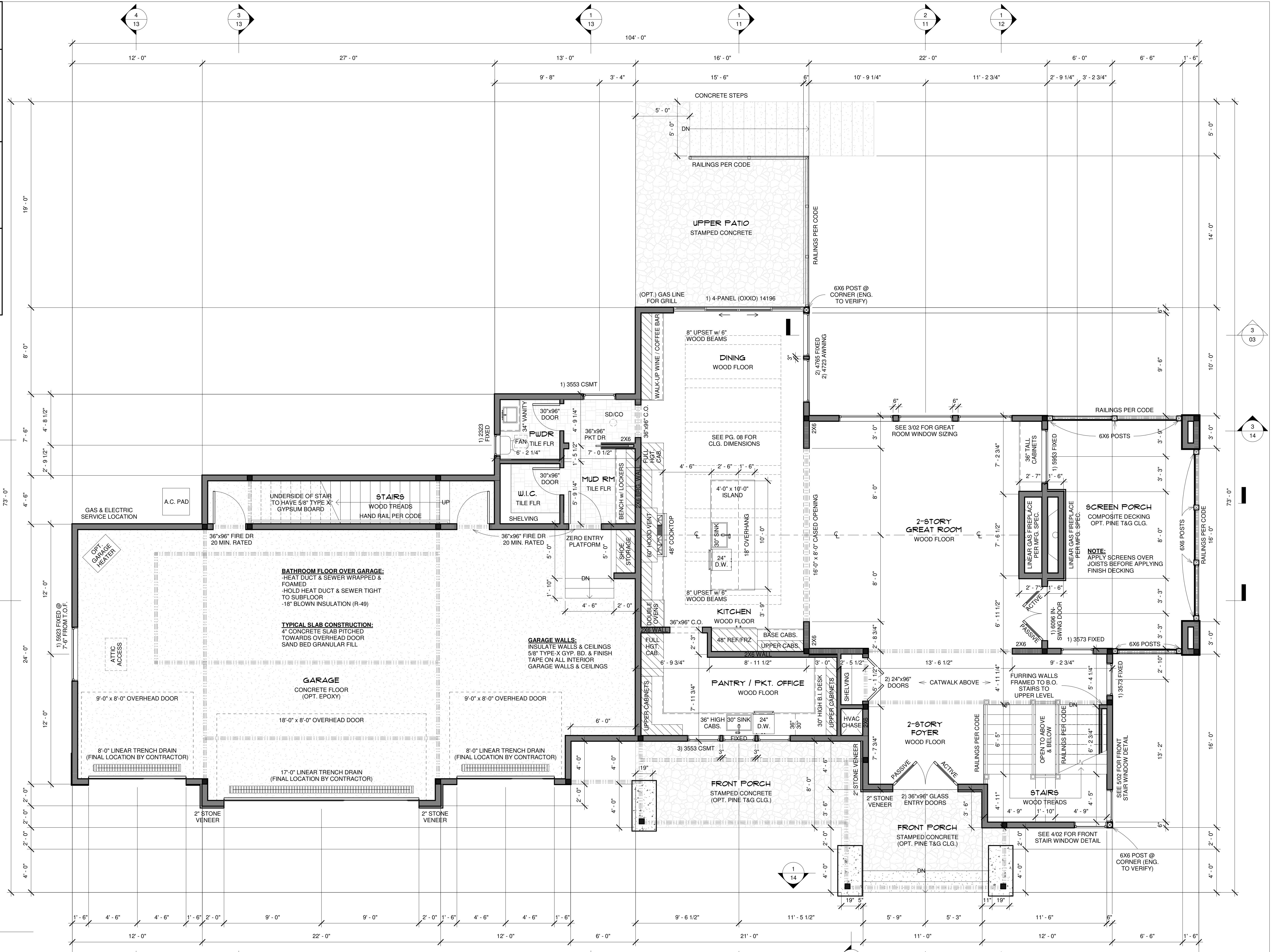
ww

## MAIN LEVEL NOTES:

DIMENSIONS ARE FROM FACE OF STUD TO CENTER OF STUD  
FLOOR TRUSSES ARE CALLED OUT AT 19.2" O.C.  
FLOOR SYSTEM DESIGNER VERIFY SPACING AND ADJUST AS ALLOWED BY SPANS  
CEILING HEIGHT @ 9'-1 1/8" UNLESS NOTED  
SET WINDOW HDRS @ 8'-0" FROM FLOOR UNLESS NOTED

**WINDOW NOTE:**  
PELLA WINDOWS (ARCHITECT SERIES - CONTEMPORARY) ARE CALLED OUT BY WINDOW FRAME SIZE & INCHES EXTERIOR WIDTH ADD 1/2" TO ELEVATION  
ELEVATION WINDOW MANUFACTURER TO SPECIFY CLOSEST MATCHING SIZES & VERIFY EGRESS COMPLIANCE AND PROVIDE WINDOW SCHEDULE WITH ROUGH OPENINGS. WINDOW & DOOR HEADERS TO BE 2x10 UNLESS NOTED (PER MFG. SPECS.)

**STRUCTURAL NOTE:**  
BEAM SIZES & ALL STRUCTURAL CONSIDERATIONS SPECIFIED ON THIS SET OF PLANS MUST BE REVIEWED BY THE FLOOR SYSTEM DESIGNER OR BY A STRUCTURAL ENGINEER AND CONFIRMED TO BE STAYED UP TO DATE, BASED ON THAT REVIEW IF THERE ARE ANY CHANGES OR ADDED BEAM SIZES, LOCATION, ETC. THESE CHANGES MUST BE BROUGHT TO THE GENERAL CONTRACTORS ATTENTION:



MAIN LEVEL  
GM

a

ISSUE 9/24/2020  
RE-ISSUE 11/5/2020 9:22:55 AM

PROJECT Benus Anderson Residence  
DESCRIPTION Main Level

18476 KENRICK AVE SUITE 202  
LAKEVILLE, MN 55044  
TEL: 952-428-8200  
EM: Dave@DavidCharlesDesigns.com

HENDEL  
Hendel Homes  
15250 Wayzata Blvd.  
Wayzata, MN 55391

DAVID  
CHARLES  
DESIGNS

07

## STRUCTURAL NOTES:

NOT AN OFFICIAL STRUCTURAL PLAN. ALL BEAMS, HEADERS, AND GIRDER TRUSSES SHOWN MUST BE SPECIFIED AND DETERMINED BY A LICENSED STRUCTURAL ENGINEER. REFER TO STRUCTURAL DOCUMENTS PROVIDED BY ENGINEER FOR FINAL LOCATIONS, SIZES, AND SPECS.

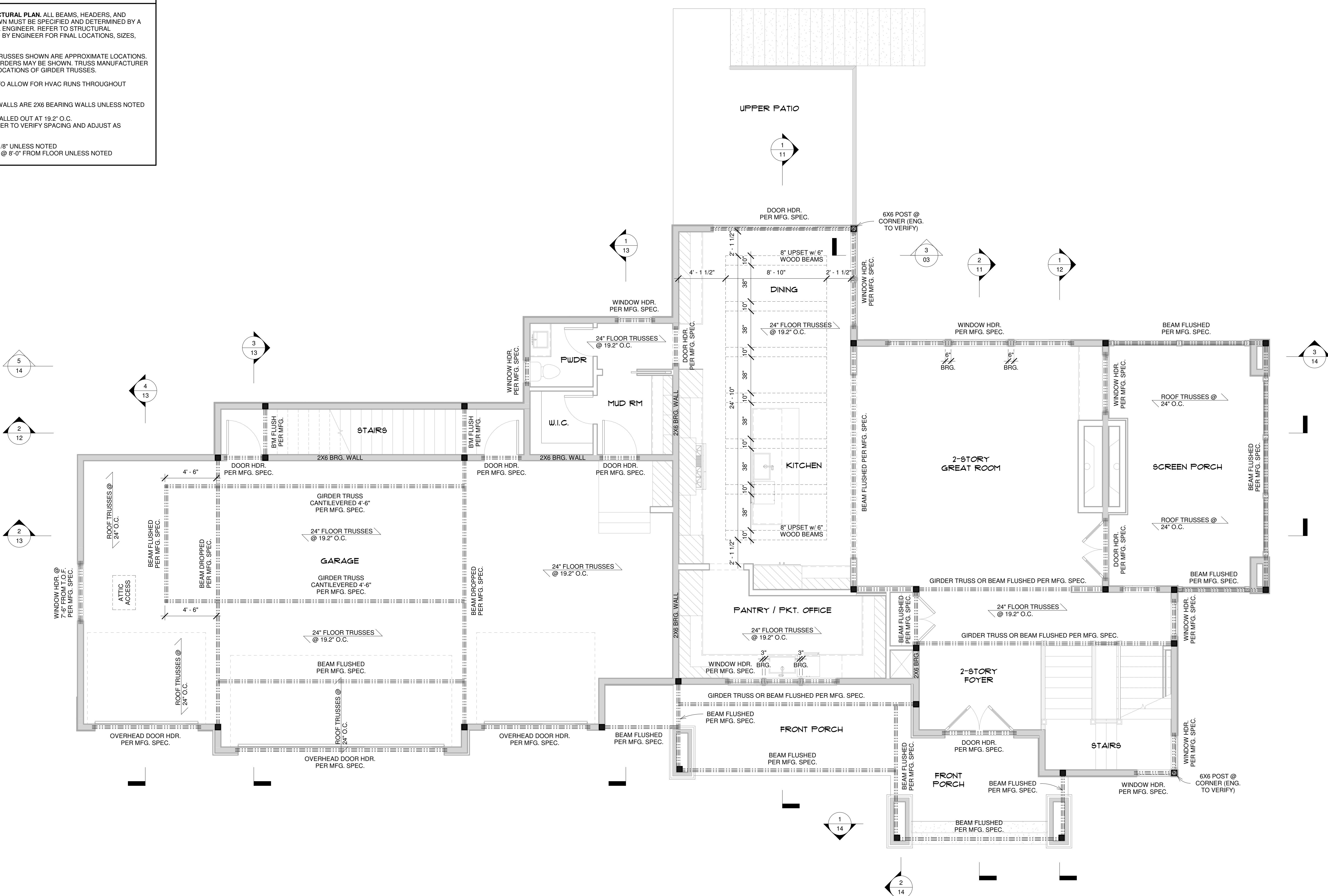
ROOF/FLOOR GIRDER TRUSSES SHOWN ARE APPROXIMATE LOCATIONS. NOT ALL NECESSARY GIRDER MAY BE SHOWN. TRUSS MANUFACTURER TO DETERMINE FINAL LOCATIONS OF GIRDER TRUSSES.

SIZE BEAMS/HEADERS TO ALLOW FOR HVAC RUNS THROUGHOUT ENTIRETY OF HOME.

GRAYED OUT FRAMED WALLS ARE 2X6 BEARING WALLS UNLESS NOTED

FLOOR TRUSSES ARE CALLED OUT AT 19.2" O.C.  
FLOOR SYSTEM DESIGNER TO VERIFY SPACING AND ADJUST AS ALLOWED BY SPANS

CEILING HEIGHT @ 9'-1 1/8" UNLESS NOTED  
SET WINDOW HEADERS @ 8'-0" FROM FLOOR UNLESS NOTED



## MAIN LEVEL STRUCTURAL

1/4" = 1'-0"

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DAVID CHARLES DESIGNS  
HENDEL  
HENDEL  
David Charles Designs, LLC. | Residential & Commercial

BUILDER	ISSUE	RE-ISSUE
Hendel Homes	9/24/2020	11/5/2020 9:22:56 AM
15250 Wayzata Blvd.		
Wayzata, MN 55391		

PROJECT	PROJECT #
Benus Anderson Residence	HEN - Benus Anderson - CDRev - GM
Burr Oaks, Lot 4	
West Lakeland, MN	

DRAWN BY	DESCRIPTION
GM	Main Level Structural

a  
08

## UPPER LEVEL NOTES:

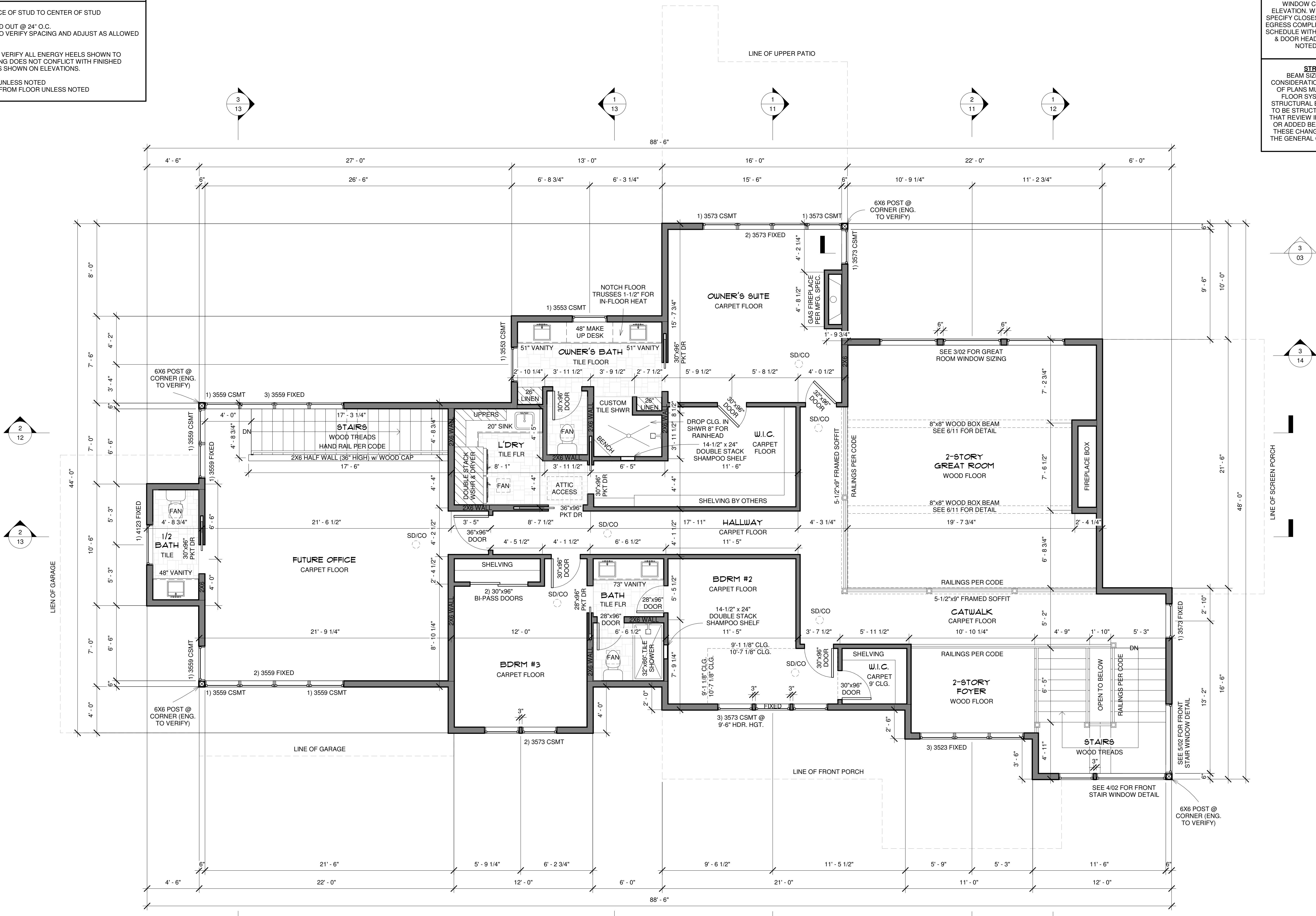
DIMENSIONS ARE FROM FACE OF STUD TO CENTER OF STUD

ROOF TRUSSES ARE CALLED OUT @ 24" O.C.

ROOF SYSTEM DESIGNER TO VERIFY SPACING AND ADJUST AS ALLOWED BY SPANS

TRUSS MANUFACTURER TO VERIFY ALL ENERGY HEELS SHOWN TO ENSURE FINAL EAVE FRAMING DOES NOT CONFLICT WITH FINISHED EXTERIOR WINDOW TRIM AS SHOWN ON ELEVATIONS.

CEILING HEIGHT @ 9'-1 1/8" UNLESS NOTED  
SET WINDOW HDRS @ 8'-0" FROM FLOOR UNLESS NOTED



# 1 | UPPER LEVEL

$$1/4" = 1'-0"$$

**WINDOW NOTE:**  
A WINDOWS (ARCHITECT SERIES - TEMPORARY) ARE CALLED OUT BY DW FRAME SIZE IN INCHES. EXTERIOR NDOOR COLOR TO BE BLACK PER ATION. WINDOW MANUFACTURER TO Y CLOSEST MATCHING SIZES & VERIFY S COMPLIANCE AND PROVIDE WINDOW ULE WITH ROUGH OPENINGS. WINDOW OR HEADERS TO BE 2)2x10 UNLESS NOTED (PER MFG. SPECS.)

**STRUCTURAL NOTE:**  
BEAM SIZES & ALL STRUCTURAL  
CONSIDERATIONS SPECIFIED ON THIS SET  
OF PLANS MUST BE REVIEWED BY THE  
DOOR SYSTEM DESIGNER OR BY A  
STRUCTURAL ENGINEER AND CONFIRMED  
STRUCTURALLY SOUND. BASED ON  
REVIEW IF THERE ARE ANY CHANGES  
ADDED BEAM SIZES, LOCATION , ETC.  
THE CHANGES MUST BE BROUGHT TO  
GENERAL CONTRACTORS ATTENTION:

# D A V I D C H A R L F Z D E S I G N S

D A V I D C H A R L E Z D E S I G N S  
18476 KENRICK AVE SUITE 202  
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# HENDER



Building Highly Desired Residences & Businesses.

Hendel Homes  
15250 Wayzata Blvd.  
Wayzata, MN 55391

PROJECT #	IEN - Benus Anderson - DRev1 - GM
RE-ISSUE	11/5/2020 9:22:57 AM
DATE ISSUED	9.24.2020
Benus   Anderson Residence Bur Oak, Lot 4 West Lakeland, MN	

**DESCRIPTION**      **Inner level**

a

09

## STRUCTURAL NOTES:

NOT AN OFFICIAL STRUCTURAL PLAN. ALL BEAMS, HEADERS, AND GIRDER TRUSSES SHOWN MUST BE SPECIFIED AND DETERMINED BY A LICENSED STRUCTURAL ENGINEER. REFER TO STRUCTURAL DOCUMENTS PROVIDED BY ENGINEER FOR FINAL LOCATIONS, SIZES, AND SPECS.

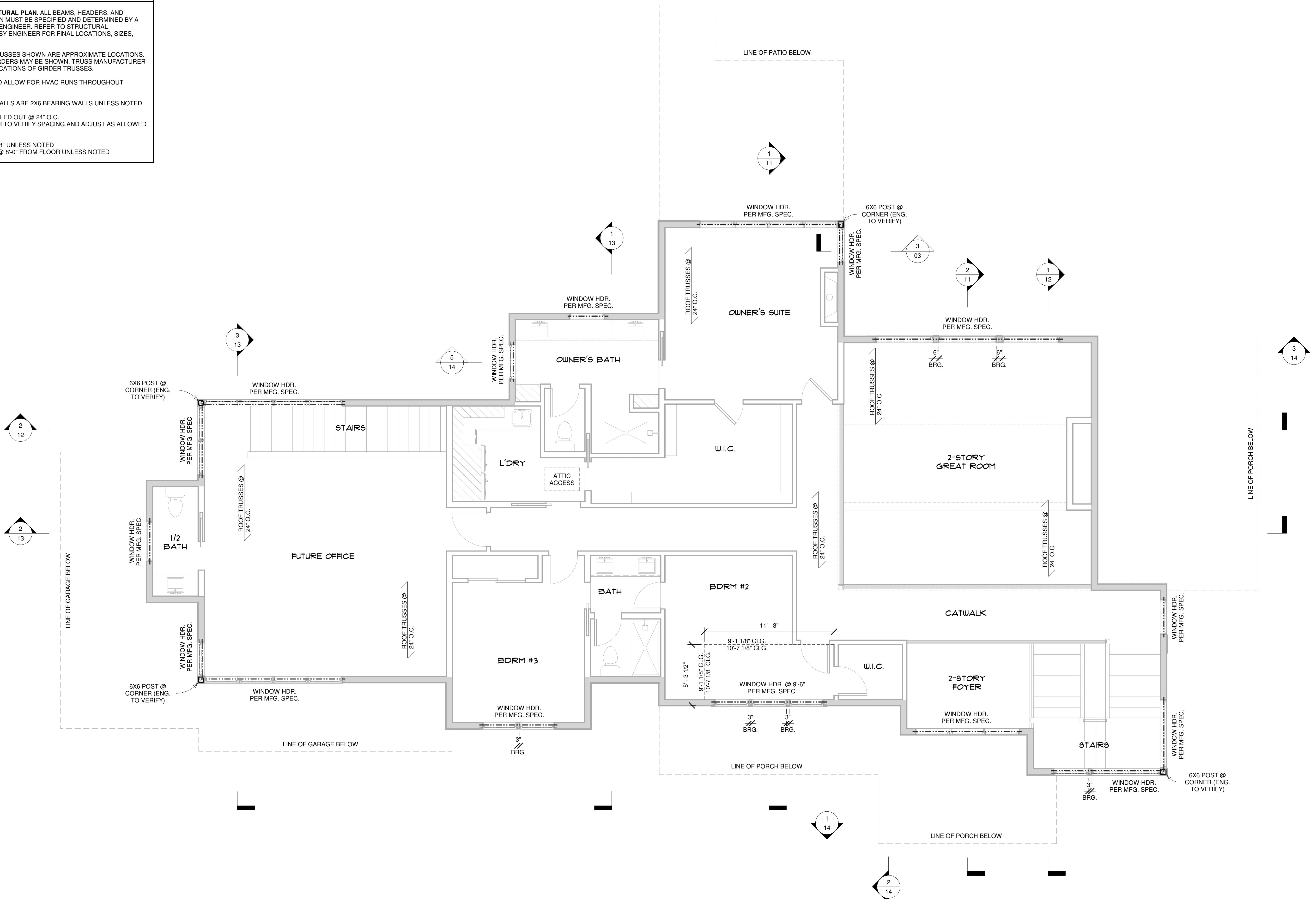
ROOF/FLOOR GIRDER TRUSSES SHOWN ARE APPROXIMATE LOCATIONS. NOT ALL NECESSARY GIRDER MAY BE SHOWN. TRUSS MANUFACTURER TO DETERMINE FINAL LOCATIONS OF GIRDER TRUSSES.

SIZE BEAMS/HEADERS TO ALLOW FOR HVAC RUNS THROUGHOUT ENTIRETY OF HOME.

GRAYED OUT FRAMED WALLS ARE 2X6 BEARING WALLS UNLESS NOTED

ROOF TRUSSES ARE CALLED OUT @ 24" O.C.  
ROOF SYSTEM DESIGNER TO VERIFY SPACING AND ADJUST AS ALLOWED BY SPANS

CEILING HEIGHT @ 8'-1 1/8" UNLESS NOTED  
SET WINDOW HEADERS @ 8'-0" FROM FLOOR UNLESS NOTED



1 | UPPER LEVEL STRUCTURAL

1/4" = 1'-0"

DAVID CHARLES DESIGNS

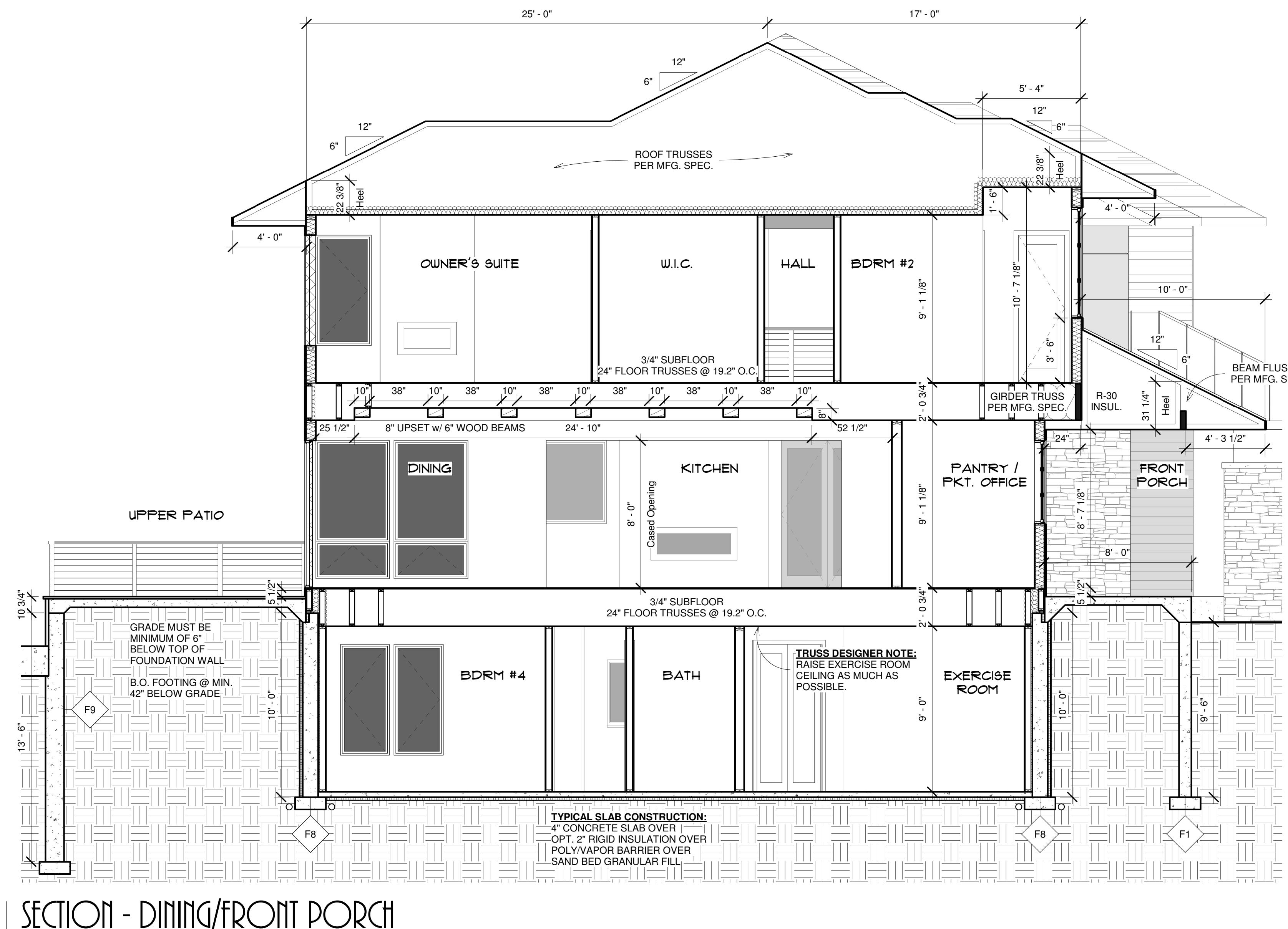
18476 KENRICK AVE SUITE 202  
LAKEVILLE, MN 55044  
TEL: 952-428-8200  
EM: Dave@DavidCharlesDesigns.com

DAVID CHARLES DESIGNS  
HENDEL

HENDEL  
15250 Wayzata Blvd.  
Wayzata, MN 55391

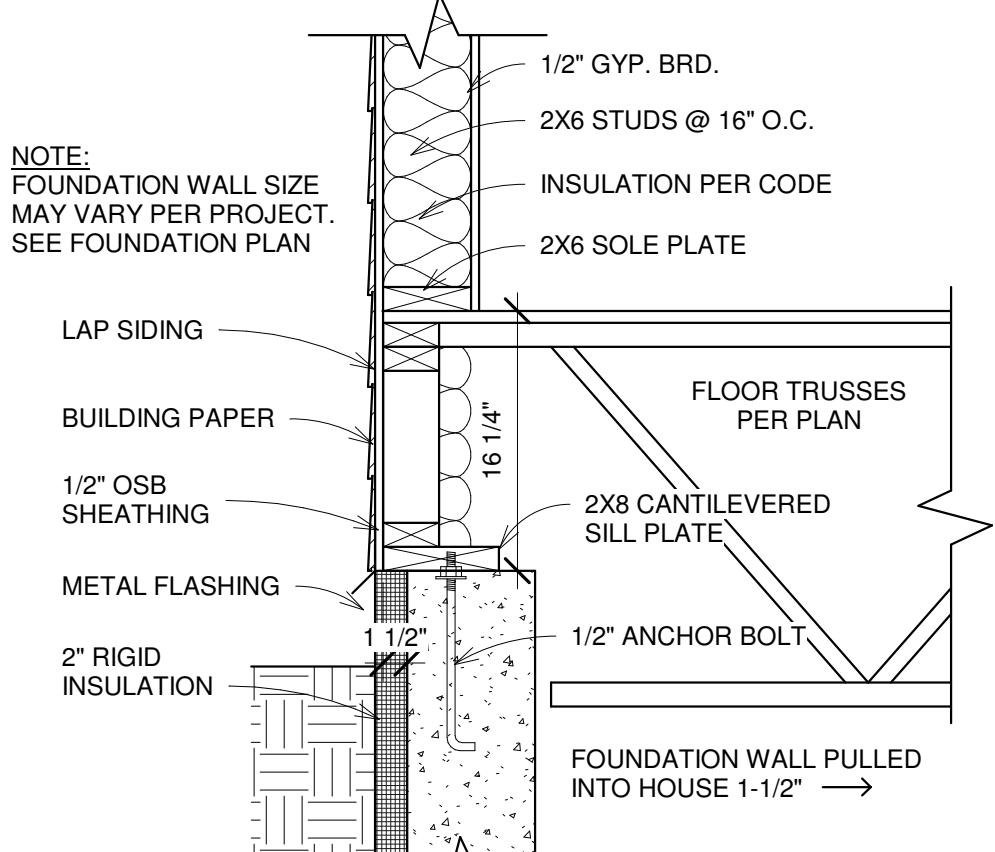
DRAWN BY	PROJECT	ISSUE
GM	Benus Anderson Residence Burr Oaks, Lot 4 West Lakeland, MN	9/24/2020
DESCRIPTION	PROJECT # HEN - Benus Anderson - CDRev - GM	RE-ISSUE 11/5/2020 9:22:58 AM

a  
Upper Level Structural



**2X8 CANTILEVERED SILL PLATE**

NOTE: ALL APPLICABLE AREAS ON THIS PLAN TO BE BUILT ACCORDING TO THIS DETAIL. FOR AREAS THAT DO NOT APPLY TO THIS DETAIL, REFERENCE ANOTHER DETAIL PROVIDED ON PLANS OR CONSULT WITH GENERAL CONTRACTOR FOR PREFERRED CONSTRUCTION METHODS. ALL DETAILS TO BE VERIFIED AND CONFIRMED WITH GENERAL CONTRACTOR.



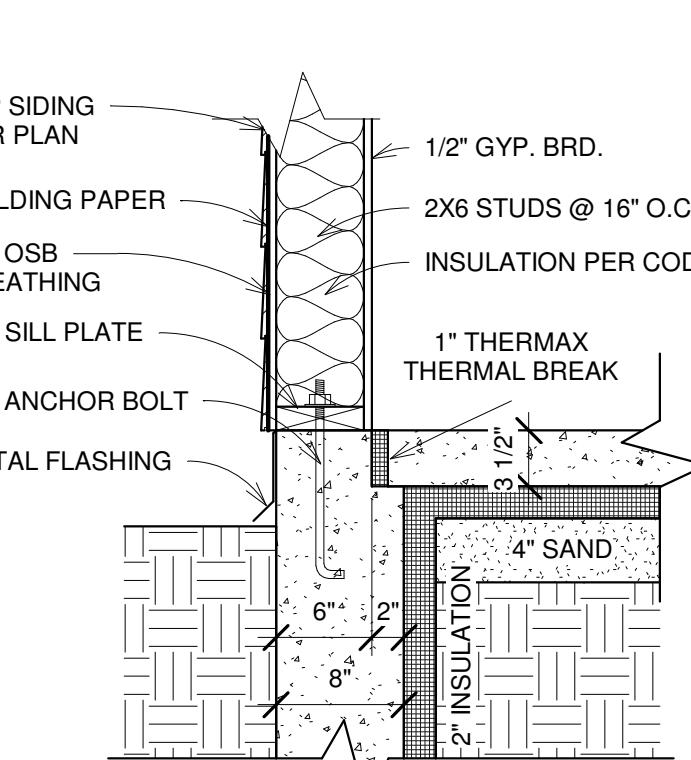
NOTE:  
DRAWINGS HAVE NOT BEEN DRAWN OR APPROVED BY A STRUCTURAL ENGINEER. SUBJECT TO CHANGE. ALL ITEMS SHOWN MUST BE VERIFIED WITH STRUCTURAL ENGINEER FOR SAFETY AND CODE COMPLIANCE BEFORE, DURING, AND AFTER CONSTRUCTION. DAVID CHARLEZ DESIGNS DOES NOT ACCEPT ANY RESPONSIBILITY FOR ANY STRUCTURAL MEMBERS NOT PROPERLY ENGINEERED AS REQUIRED FOR STRUCTURE.

**FLOOR DETAIL - 2X8 SILL PLATE**

1" = 1'-0"

**8" WALKOUT WALL**

NOTE: ALL APPLICABLE AREAS ON THIS PLAN TO BE BUILT ACCORDING TO THIS DETAIL. FOR AREAS THAT DO NOT APPLY TO THIS DETAIL, REFERENCE ANOTHER DETAIL PROVIDED ON PLANS OR CONSULT WITH GENERAL CONTRACTOR FOR PREFERRED CONSTRUCTION METHODS. ALL DETAILS TO BE VERIFIED AND CONFIRMED WITH GENERAL CONTRACTOR.



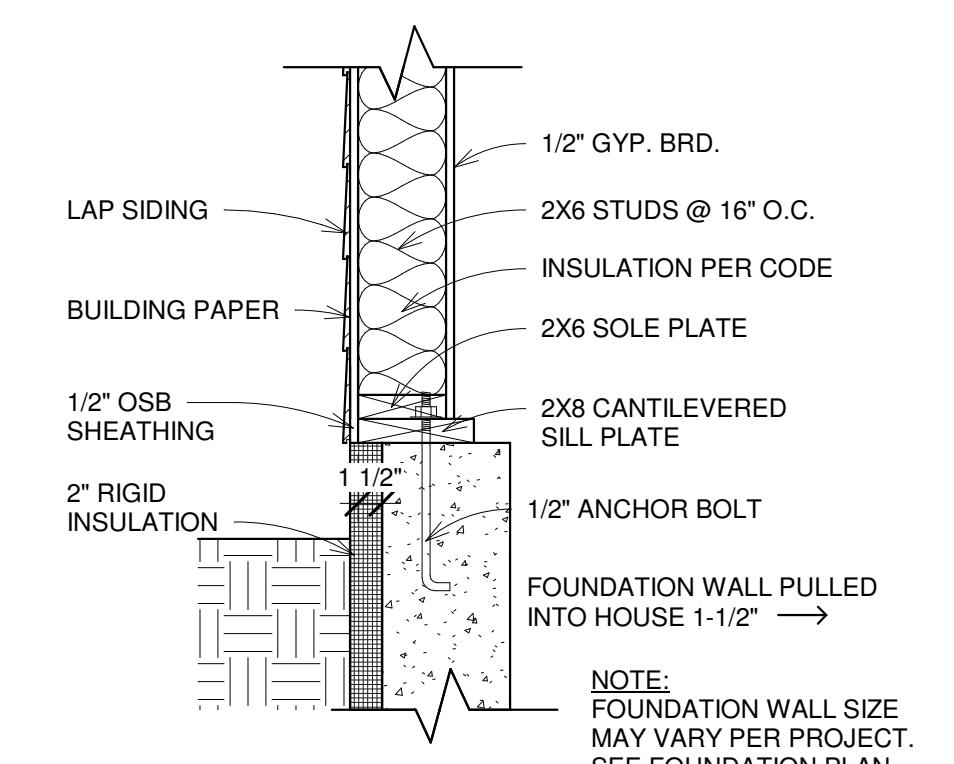
NOTE:  
DRAWINGS HAVE NOT BEEN DRAWN OR APPROVED BY A STRUCTURAL ENGINEER. SUBJECT TO CHANGE. ALL ITEMS SHOWN MUST BE VERIFIED WITH STRUCTURAL ENGINEER FOR SAFETY AND CODE COMPLIANCE BEFORE, DURING, AND AFTER CONSTRUCTION. DAVID CHARLEZ DESIGNS DOES NOT ACCEPT ANY RESPONSIBILITY FOR ANY STRUCTURAL MEMBERS NOT PROPERLY ENGINEERED AS REQUIRED FOR STRUCTURE.

**FLOOR DETAIL - 8" WALKOUT WALL**

1" = 1'-0"

**2X8 SILL PLATE LOOKOUT WALL**

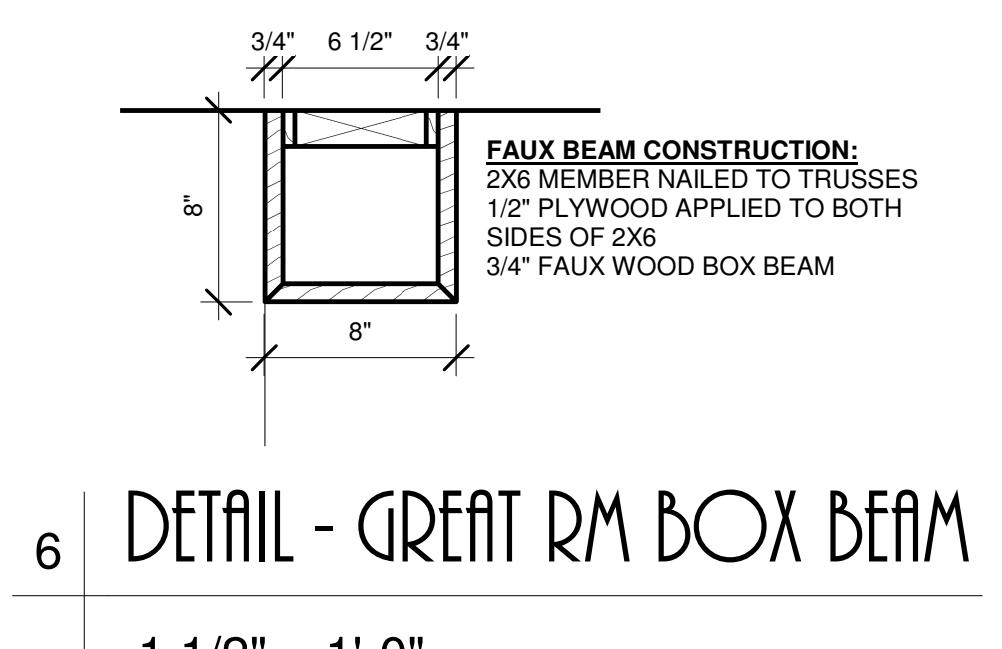
NOTE: ALL APPLICABLE AREAS ON THIS PLAN TO BE BUILT ACCORDING TO THIS DETAIL. FOR AREAS THAT DO NOT APPLY TO THIS DETAIL, REFERENCE ANOTHER DETAIL PROVIDED ON PLANS OR CONSULT WITH GENERAL CONTRACTOR FOR PREFERRED CONSTRUCTION METHODS. ALL DETAILS TO BE VERIFIED AND CONFIRMED WITH GENERAL CONTRACTOR.



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**FLOOR DETAIL - 2X8 SILL PLATE LOOKOUT WALL**

1" = 1'-0"



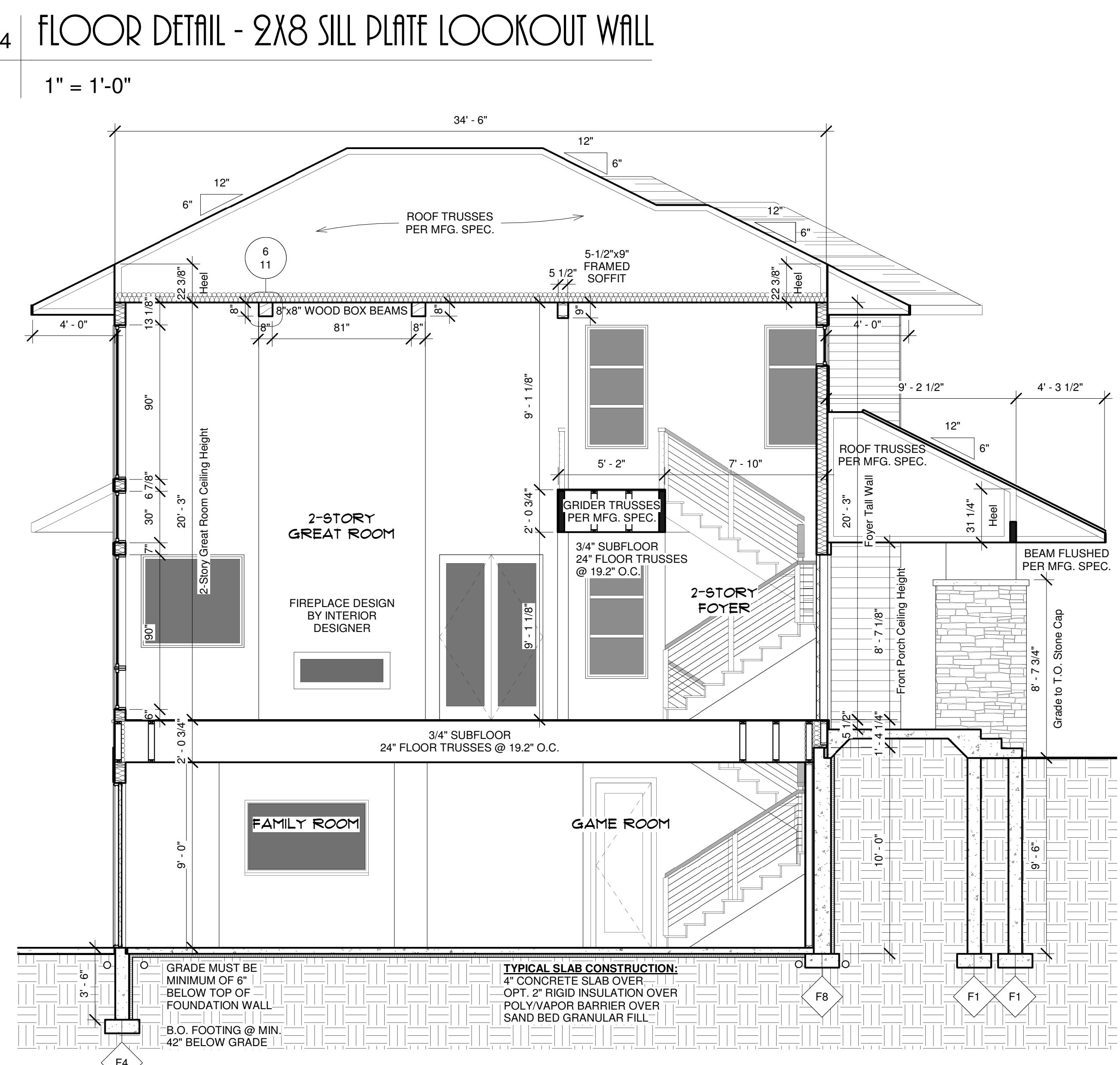
**DETAIL - GREAT RM BOX BEAM**

1 1/2" = 1'-0"

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DRAWN BY	PROJECT	ISSUE
GM	Benus Anderson Residence Burr Oaks, Lot 4 West Lakeland, MN	9/24/2020
Cross Sections	PROJECT # HEN - Benus Anderson - CDRev - GM	RE-ISSUE 11/5/2020 9:23:02 AM

a  
11



HENDEL  
HENDEL  
Detailed Drawings & Specifications

BUILDER  
Hendel Homes  
15250 Wayzata Blvd.  
Wayzata, MN 55391

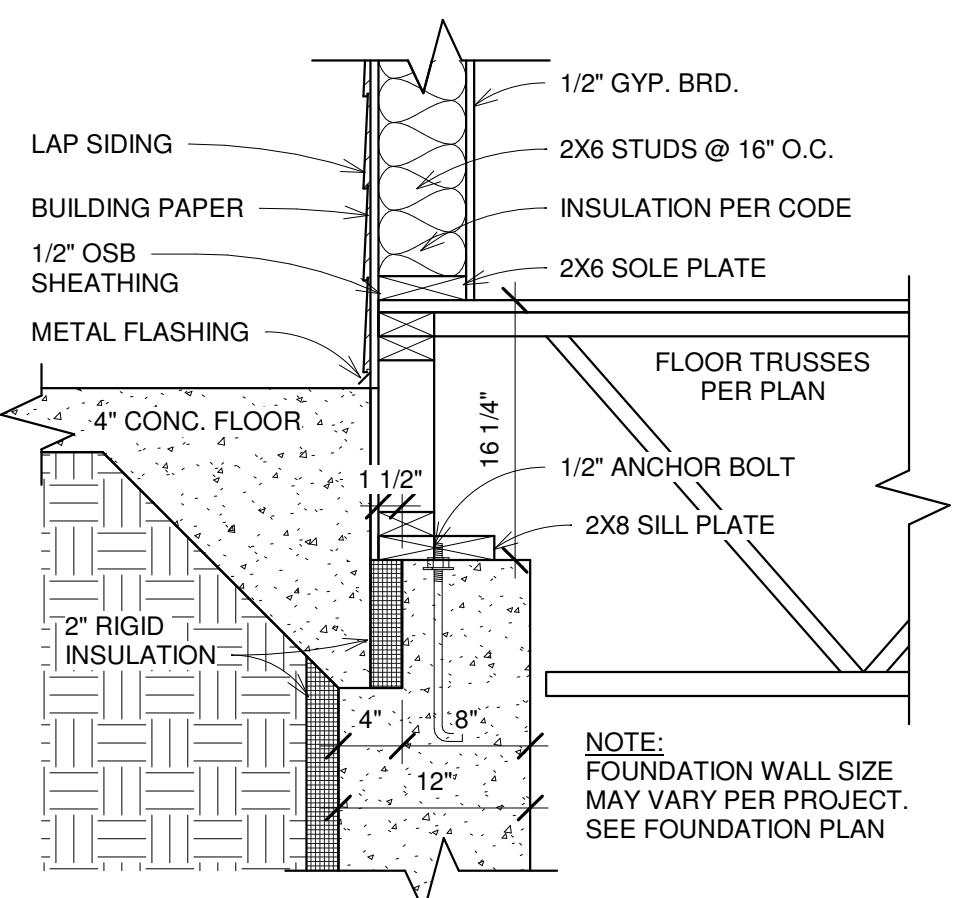
RE-ISSUE  
11/5/2020 9:23:08  
AM

DRAWN BY  
GM  
DESCRIPTION  
Cross Sections

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12

## PORCH/PATIO SLAB

SPECIAL FOUNDATION: ALL NON-STRUCTURAL EXTERIOR FOUNDATION WALLS NOT MORE THAN 2 STORIES HIGH WITH A GABLE ROOF (HIP ROOFS EXEMPT) ARE PULLED INTO THE HOUSE 1-1/2"

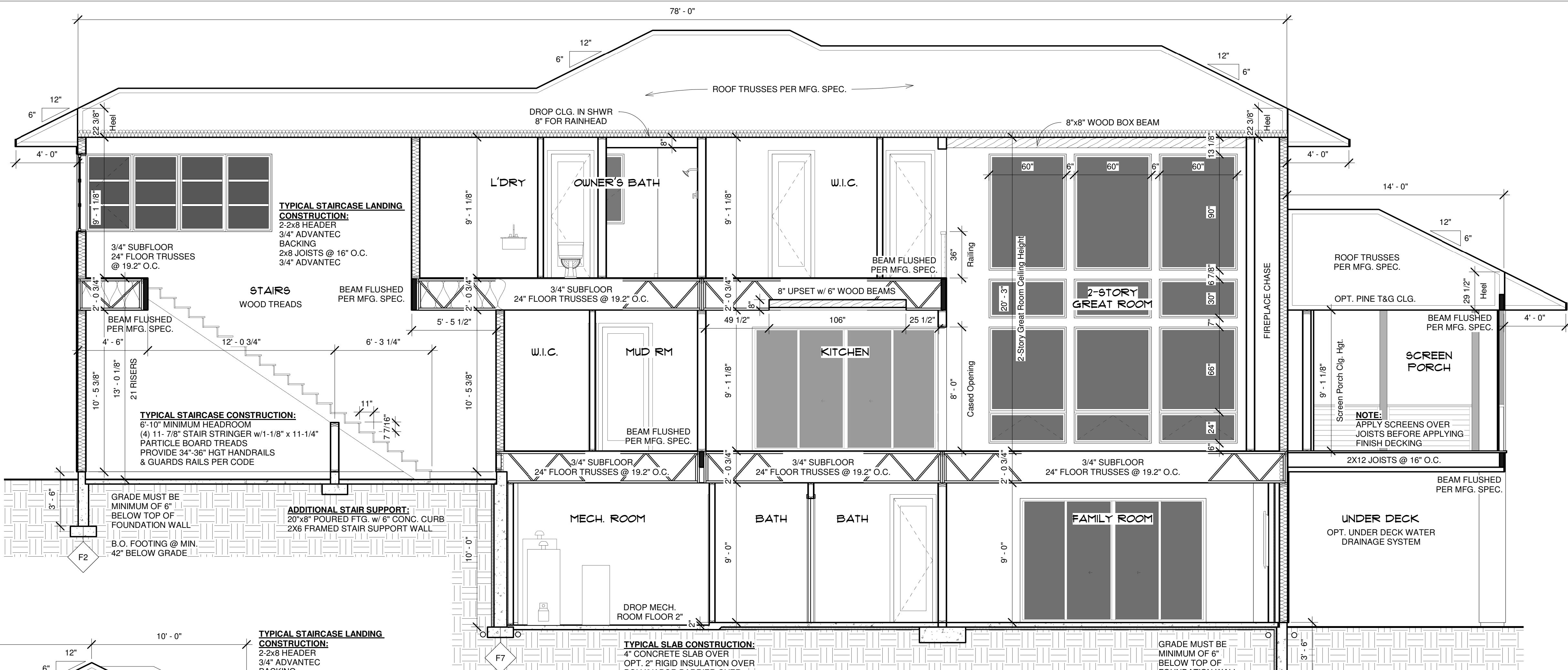


NOTE:

DRAWINGS HAVE NOT BEEN DRAWN OR APPROVED BY A STRUCTURAL ENGINEER. SUBJECT TO CHANGE, ALL FOUNDATION WALLS (STRUCTURAL AND NON-STRUCTURAL) MUST BE VERIFIED WITH STRUCTURAL ENGINEER FOR SAFETY AND CODE COMPLIANCE BEFORE, DURING, AND AFTER CONSTRUCTION. DAVID CHARLEZ DESIGNS DOES NOT ACCEPT ANY RESPONSIBILITY FOR FOUNDATION WALLS NOT PROPERLY ENGINEERED AS REQUIRED FOR STRUCTURE.

## FLOOR DETAIL - PORCH/PATIO SLAB

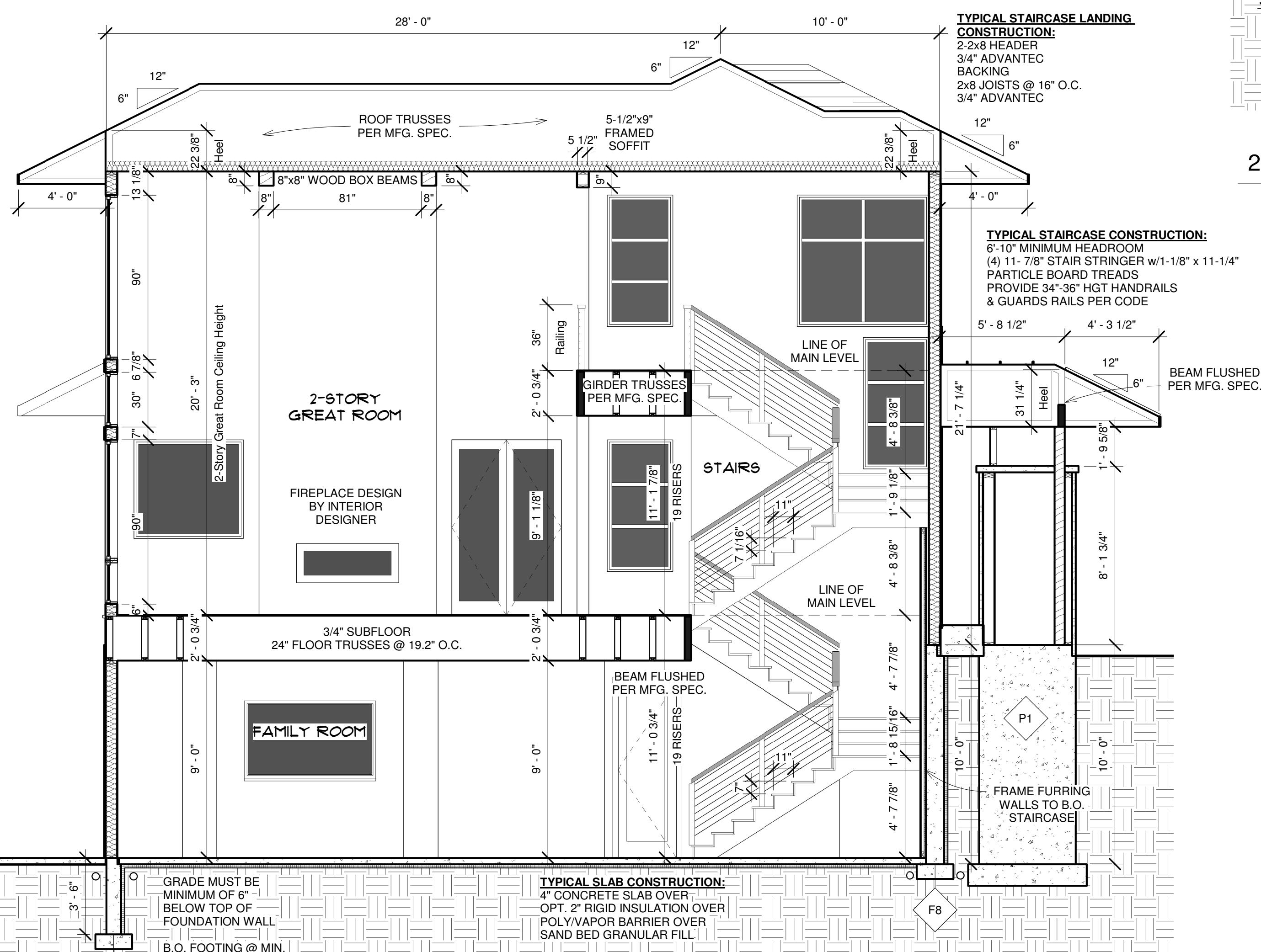
1" = 1'-0"



5

## SECTION - REAR STAIRS/SCREEN PORCH

1/4" = 1'-0"

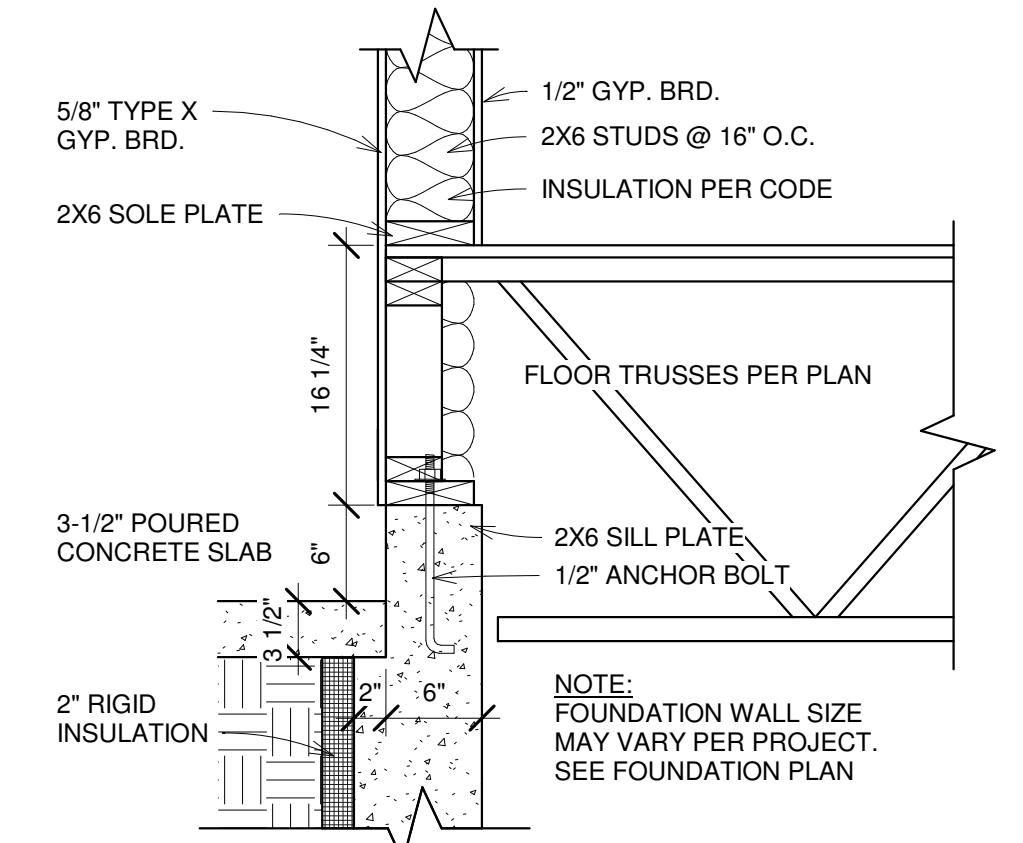


## SECTION - GREAT ROOM/STAIRCASE

1/4" = 1'-0"

## GARAGE COMMON WALL

NOTE: ALL APPLICABLE AREAS ON THIS PLAN TO BE BUILT ACCORDING TO THIS DETAIL. FOR AREAS THAT DO NOT APPLY TO THIS DETAIL, REFERENCE ANOTHER DETAIL PROVIDED ON PLANS OR CONSULT WITH GENERAL CONTRACTOR FOR PREFERRED CONSTRUCTION METHODS. ALL DETAILS TO BE VERIFIED AND CONFIRMED WITH GENERAL CONTRACTOR.



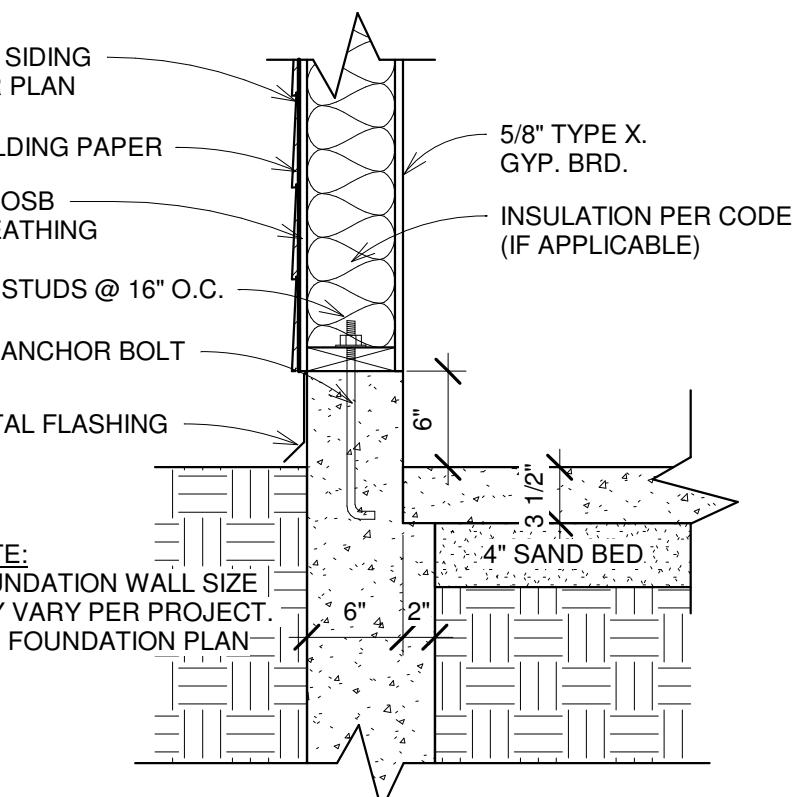
NOTE:  
DRAWINGS HAVE NOT BEEN DRAWN OR APPROVED BY A STRUCTURAL ENGINEER. SUBJECT TO CHANGE, ALL ITEMS SHOWN MUST BE VERIFIED WITH STRUCTURAL ENGINEER FOR SAFETY AND CODE COMPLIANCE BEFORE, DURING, AND AFTER CONSTRUCTION. DAVID CHARLEZ DESIGNS DOES NOT ACCEPT ANY RESPONSIBILITY FOR ANY STRUCTURAL MEMBERS NOT PROPERLY ENGINEERED AS REQUIRED FOR STRUCTURE.

## FLOOR DETAIL - GARAGE COMMON WALL

1" = 1'-0"

## GARAGE SLAB CONSTRUCTION

NOTE: ALL APPLICABLE AREAS ON THIS PLAN TO BE BUILT ACCORDING TO THIS DETAIL. FOR AREAS THAT DO NOT APPLY TO THIS DETAIL, REFERENCE ANOTHER DETAIL PROVIDED ON PLANS OR CONSULT WITH GENERAL CONTRACTOR FOR PREFERRED CONSTRUCTION METHODS. ALL DETAILS TO BE VERIFIED AND CONFIRMED WITH GENERAL CONTRACTOR.



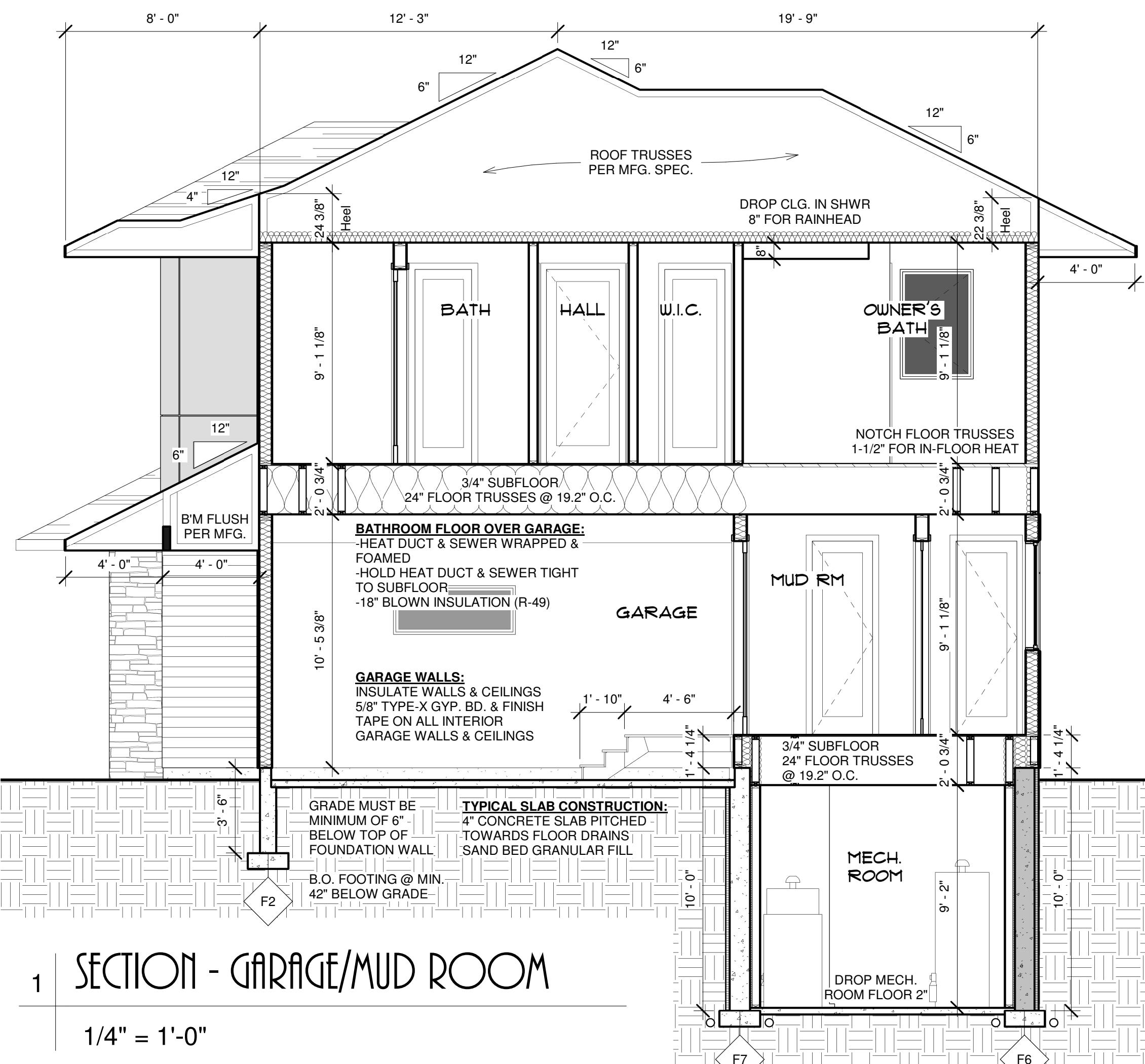
NOTE:  
DRAWINGS HAVE NOT BEEN DRAWN OR APPROVED BY A STRUCTURAL ENGINEER. SUBJECT TO CHANGE, ALL ITEMS SHOWN MUST BE VERIFIED WITH STRUCTURAL ENGINEER FOR SAFETY AND CODE COMPLIANCE BEFORE, DURING, AND AFTER CONSTRUCTION. DAVID CHARLEZ DESIGNS DOES NOT ACCEPT ANY RESPONSIBILITY FOR ANY STRUCTURAL MEMBERS NOT PROPERLY ENGINEERED AS REQUIRED FOR STRUCTURE.

## FLOOR DETAIL - GARAGE SLAB

1" = 1'-0"

## 2 | SECTION - GARAGE/SCREEN PORCH

1/4" = 1'-0



# 1 | SECTION - GARAGE/MUD ROOM

**1/4" = 1'-0"**

### 3 | SECTION - GARAGE 1

1/4" = 1'-0"

# SECTION - GARAGE 2

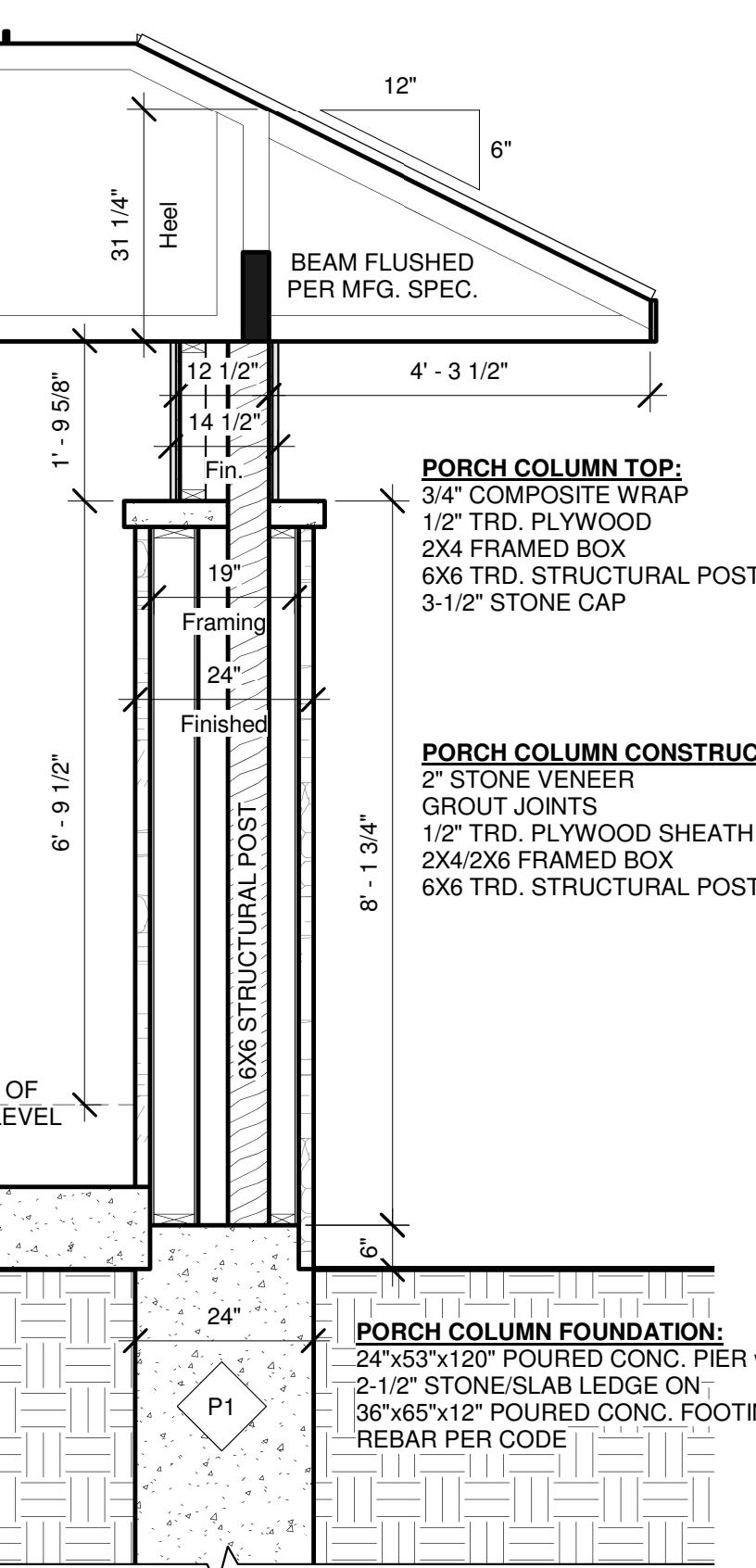
1/4" - 1'-0"

<b>DRAWN BY</b>	<b>PROJECT</b> Benus   Anderson Residence Burr Oaks, Lot 4 West Lakeland, MN	<b>ISSUE</b> 9.24.2020	<b>BUILDER</b> Hendel 15250 V Wayzata
<b>DESCRIPTION</b>	<b>PROJECT #</b> HEN - Benus Anderson - CDRev1 - GM	<b>RE-ISSUE</b> 11/5/2020 9:23:14 AM	

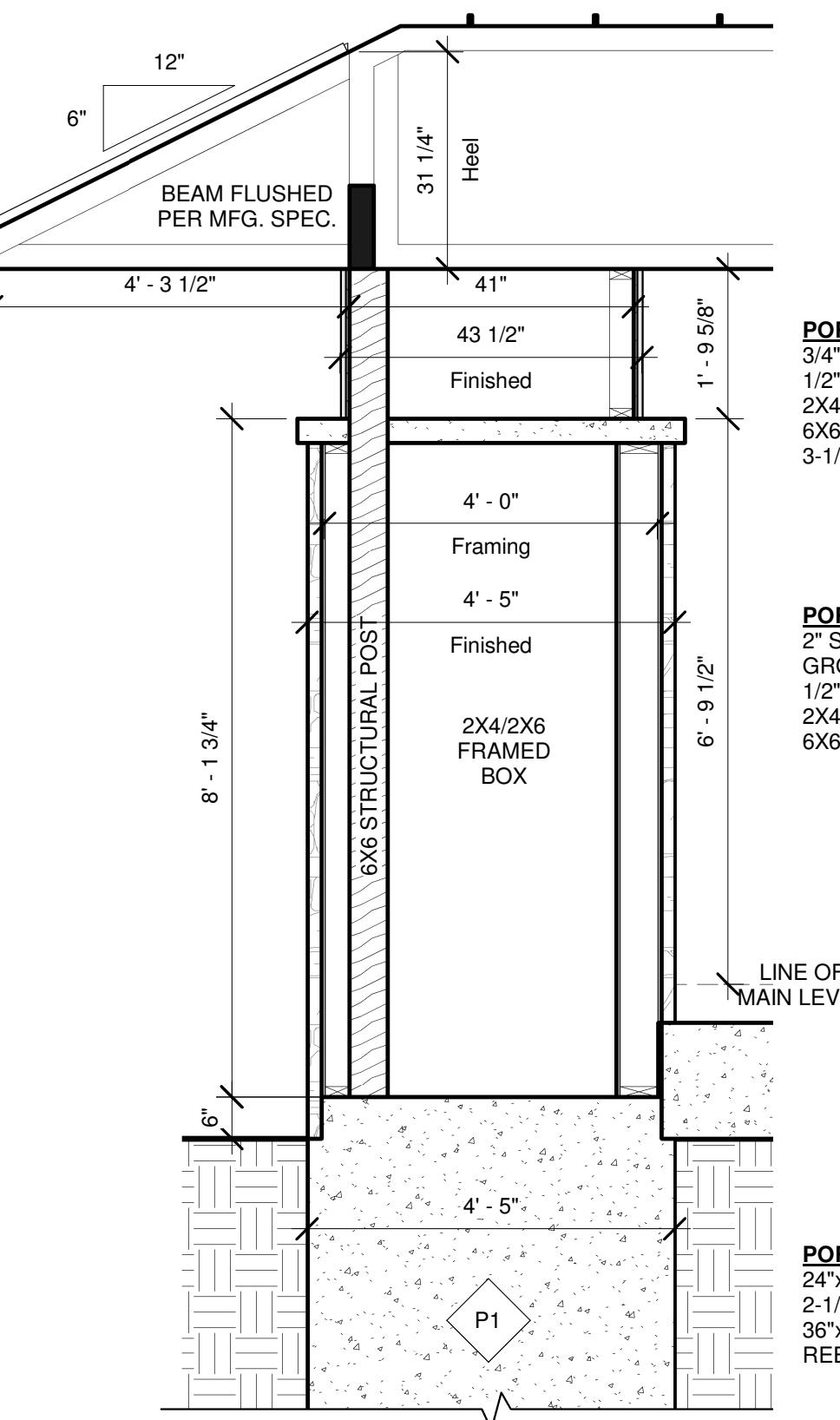
## GENERAL NOTES

### ABBREVIATIONS LIST

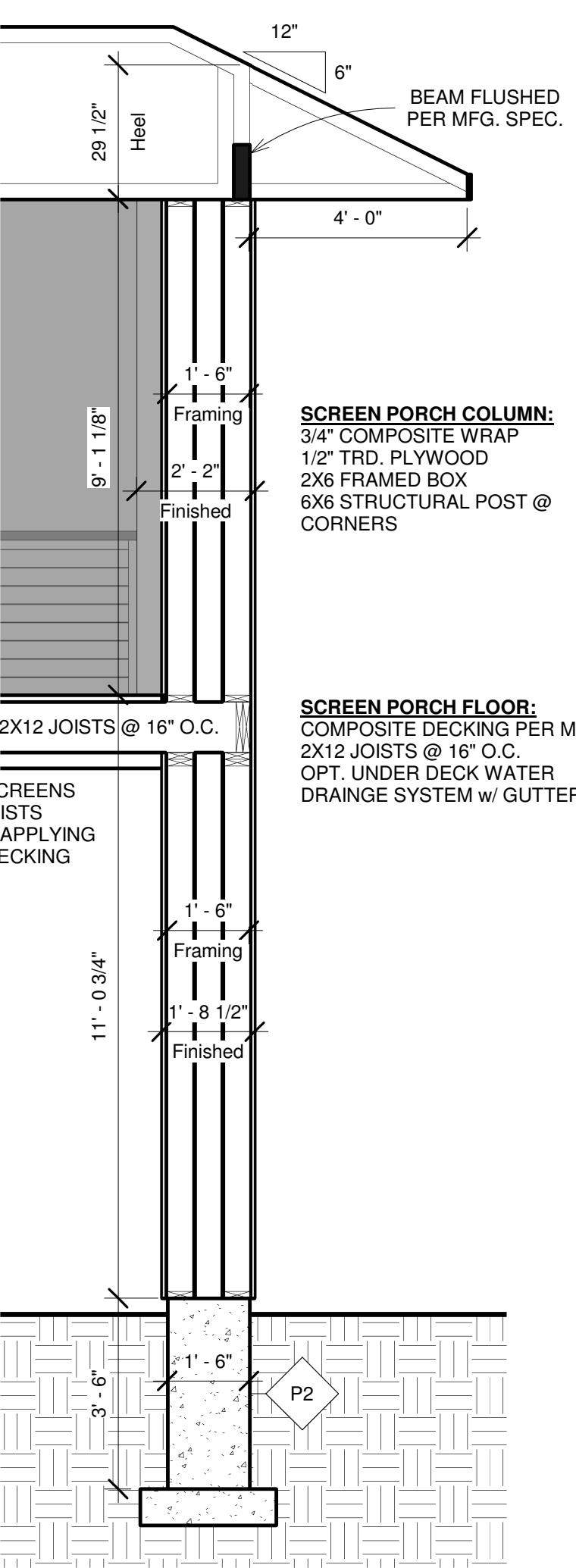
A.C.	= AIR CONDITIONING
A.F.F.	= AT FINISHED FLOOR
B.C.B.	= BOTTOM CHORD BEARING
B.D.	= BOARD
B.DRM.	= BEDROOM
B.I.	= BUILT IN
B.M.	= BEAM
B.O.	= BOTTOM OF
B.R.G.	= BEARING
C.A.B.S.	= CABINETS
C.A.N.T.	= CANTILEVER
C.L.G.	= CEILING
C.L.	= CENTER LINE
C.O.	= CASED OPENING
CONC.	= CONCRETE
CONT.	= CONTINUOUS
C.P.T.	= CARPET
C.S.M.T.	= CASMENT
D.B.L.	= CUBBY
D.H.	= DOUBLE HUNG
D.I.A.	= DIAMETER
D.N.	= DOWN
D.O.	= DRYWALL OPENING
D.R.	= DOOR
D.W.	= DISHWASHER
E.H.	= ENERGY HEEL
ELEC.	= ELECTRIC
ELEV.	= ELEVATOR
ENG.	= ENGINEER
EXT.	= EXTERIOR
EXST.	= EXISTING
F.D.	= FLOOR DRAIN
FIN.	= FINISHED
F.L.R.	= FLOOR
F.N.D.	= FOUNDATION
F/P.	= FIREPLACE
F.R.M.G.	= FRAMING
F.R.Z.	= FREEZER
F.T.G.	= FOOTING
FURN.	= FURNITURE
FUT.	= FUTURE
F.X.D.	= FIXED
G.C.	= GINGER
G.L.D.	= GINGER THRUSS
G.Y.P.	= GYPSUM
G.Y.P. BD.	= GYPSUM BOARD
H.D.R.	= HEADER
H.G.T.	= HEIGHT
I.F.H.	= IN FLOOR HEAT
INSUL.	= INSULATION
INT.	= INTERIOR
L.D.G.	= LANDING
LIN.	= LINEN
L.K.R.S.	= LOCKERS
L.L.	= LOWER LEVEL
L.O.	= LOOKOUT
L.V.T.	= LUXURY VINYL TILE
M.A.X.	= MAXIMUM
M.E.C.H.	= MECHANICAL
M.F.G.	= MANUFACTURE(R)
M.I.N.	= MINIMUM
M.L.	= MAIN LEVEL
M.O.	= MASONRY OPENING
O.C.	= ON CENTER
OFF.	= OPENING
OPNG	= OPTIONAL
P.CONC.	= POLISHED CONCRETE
PERM.	= PERIMETER
PKT.	= POCKET
P.L.M.G.	= PLUMBING
P.W.D.	= POWDER
REF.	= REFRIGERATOR
R.M.	= ROOM
R.&S.	= ROD & SHELF
S.D.L.	= SIMULATED DIVIDED LITE
SD/CO	= SMOKE DETECTOR
S.I.T.	= SMOKE / CARBON MONOXIDE DETECTOR
S.H.L.V.G.	= SINGLE HUNG
S.H.L.V.S.	= SHELVE(S)
S.L.D.	= SLIDER
SNK	= SINK
SPEC.	= SPECIFICATIONS
STL.	= STEEL
STRG.	= STORAGE
STRUC.	= STRUCTURAL
SQ. FTG.	= SQUARE FOOTAGE
T.B.D.	= TO BE DETERMINED
T.C.B.	= TOP CHORD BEARING
T&G	= TONGUE AND GROOVE
T.O.	= TOWER
T.D.D.	= TREATED
T.R.S.M.	= TRANSOM
T.V.P.	= TYPICAL
U.L.	= UPPER LEVEL
UNFIN.	= UNFINISHED
V.T.Y.	= VANITY
W'D.	= WOOD
WDW	= WINDOW
W.I.C.	= WALK IN CLOSET
W.O.	= WALKOUT
WSHR.	= WASHER



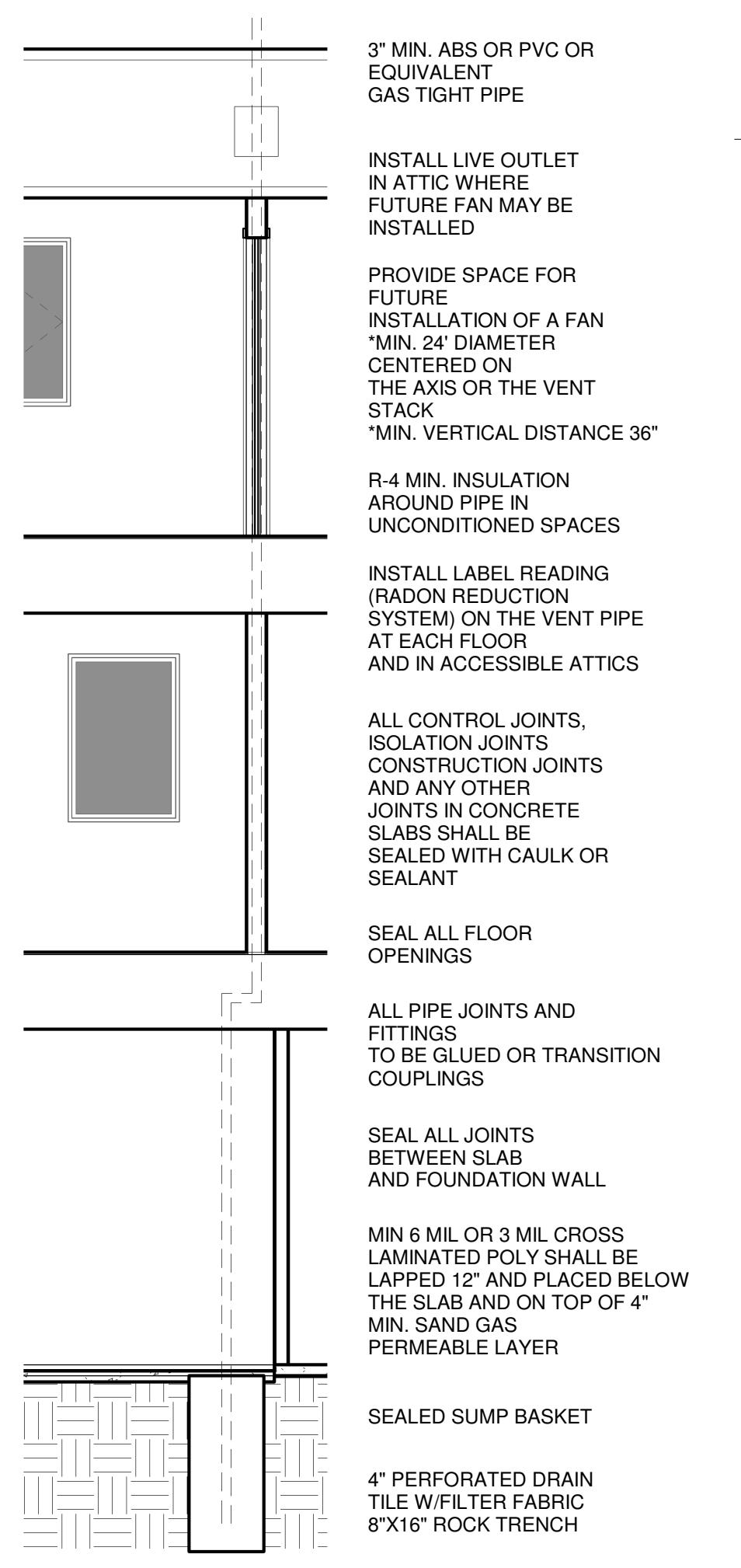
1 SECTION - PORCH COLUMN (SHORT)  
1/2" = 1'-0"



2 SECTION - PORCH COLUMN (LONG)  
1/2" = 1'-0"



3 SECTION - SCREEN PORCH COLUMN  
3/8" = 1'-0"



4 DETAIL - 2X6 POCKET DOOR FRAMING  
1" = 1'-0"



5 DETAIL - PASSIVE RADON SYSTEM  
1/4" = 1'-0"

DAVID CHARLES DESIGNS

18476 KENRICK AVE SUITE 202  
LAKE MN 55044  
TEL: 952-428-8200  
EM: Dave@DavidCharlesDesigns.com

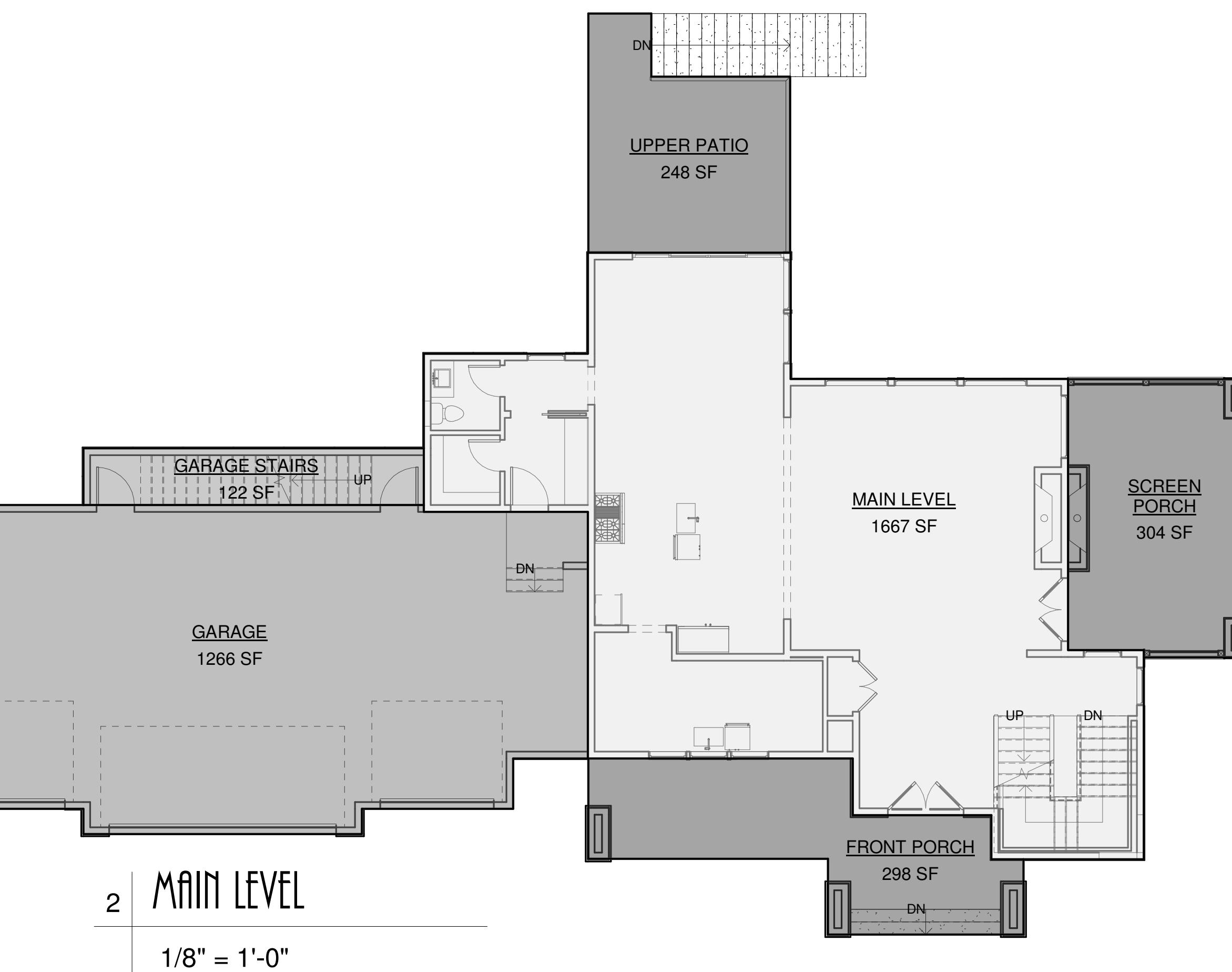
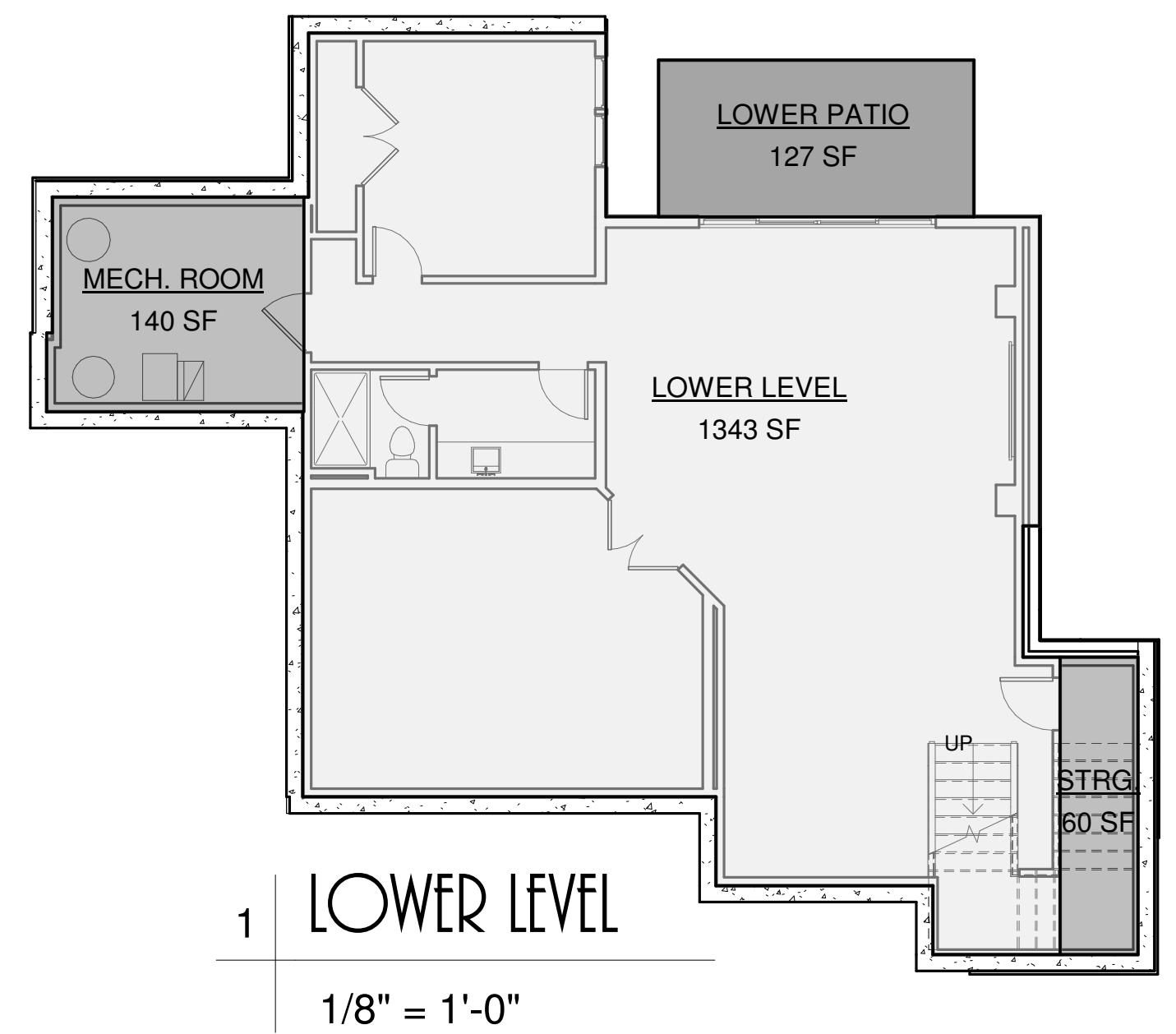


HENDRELL  
HENDRELL  
HENDRELL  
HENDRELL  
HENDRELL

PROJECT	Benus Anderson Residence Bur Oak, Lot 4 West Lakeland, MN
RE-ISSUE	11/5/2020 9:23:18 AM

DRAWN BY	GM
DESCRIPTION	Cross Sections





## SQ. FTG. CALCULATIONS

### LOWER LEVEL:

1343 SQ. FT. LOWER LEVEL  
 140 SQ. FT. MECH. ROOM  
 127 SQ. FT. LOWER PATIO  
 60 SQ. FT. UNDER STAIR STRG.

### MAIN LEVEL:

1667 SQ. FT. MAIN LEVEL  
 1266 SQ. FT. GARAGE  
 304 SQ. FT. SCREEN PORCH  
 298 SQ. FT. FRONT PORCH  
 248 SQ. FT. UPPER PATIO  
 122 SQ. FT. GARAGE STAIRS

### UPPER LEVEL:

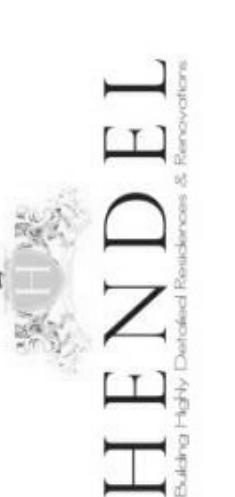
1453 SQ. FT. UPPER LEVEL  
 577 SQ. FT. FUTURE OFFICE

### FINISHED TOTAL:

4463 SQ. FT. FINISHED TOTAL (w/o FUT. OFFICE)  
 5040 SQ. FT. FINISHED (w/ FUT. OFFICE)

DAVID  
CHARLES  
DESIGNS

DAVID CHARLES DESIGNS  
18476 KENRICK AVE SUITE 202  
LAKEVILLE, MN 55044  
TEL: 952-428-8200  
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DAVID CHARLES DESIGNS

DAVID CHARLES DESIGNS

HENDEL HOMES  
15250 Wayzata Blvd.  
Wayzata, MN 55391

BUILDER	ISSUE	RE-ISSUE
Hendel Homes	9/24/2020	11/5/2020 9:23:19 AM
15250 Wayzata Blvd.		
Wayzata, MN 55391		

PROJECT	ISSUE	RE-ISSUE
Benus Anderson Residence Burr Oaks, Lot 4 West Lakeland, MN	9/24/2020	11/5/2020 9:23:19 AM
PROJECT #		
HEN - Benus Anderson - CDRev - GM		

DRAWN BY	PROJECT	ISSUE	RE-ISSUE
GM	Benus Anderson Residence Burr Oaks, Lot 4 West Lakeland, MN	9/24/2020	11/5/2020 9:23:19 AM
DESCRIPTION	PROJECT #		
Square Footage Calculations	HEN - Benus Anderson - CDRev - GM		

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