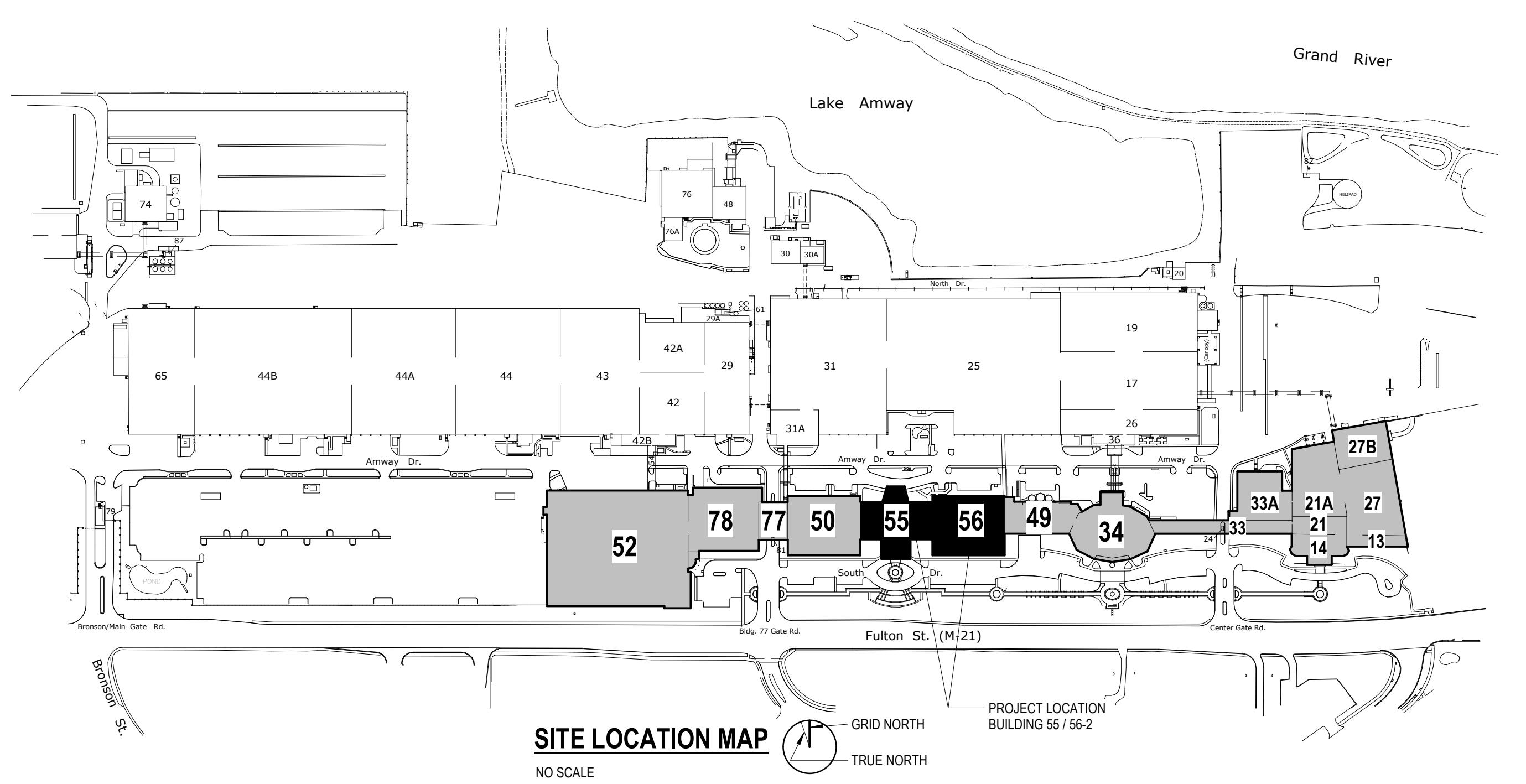
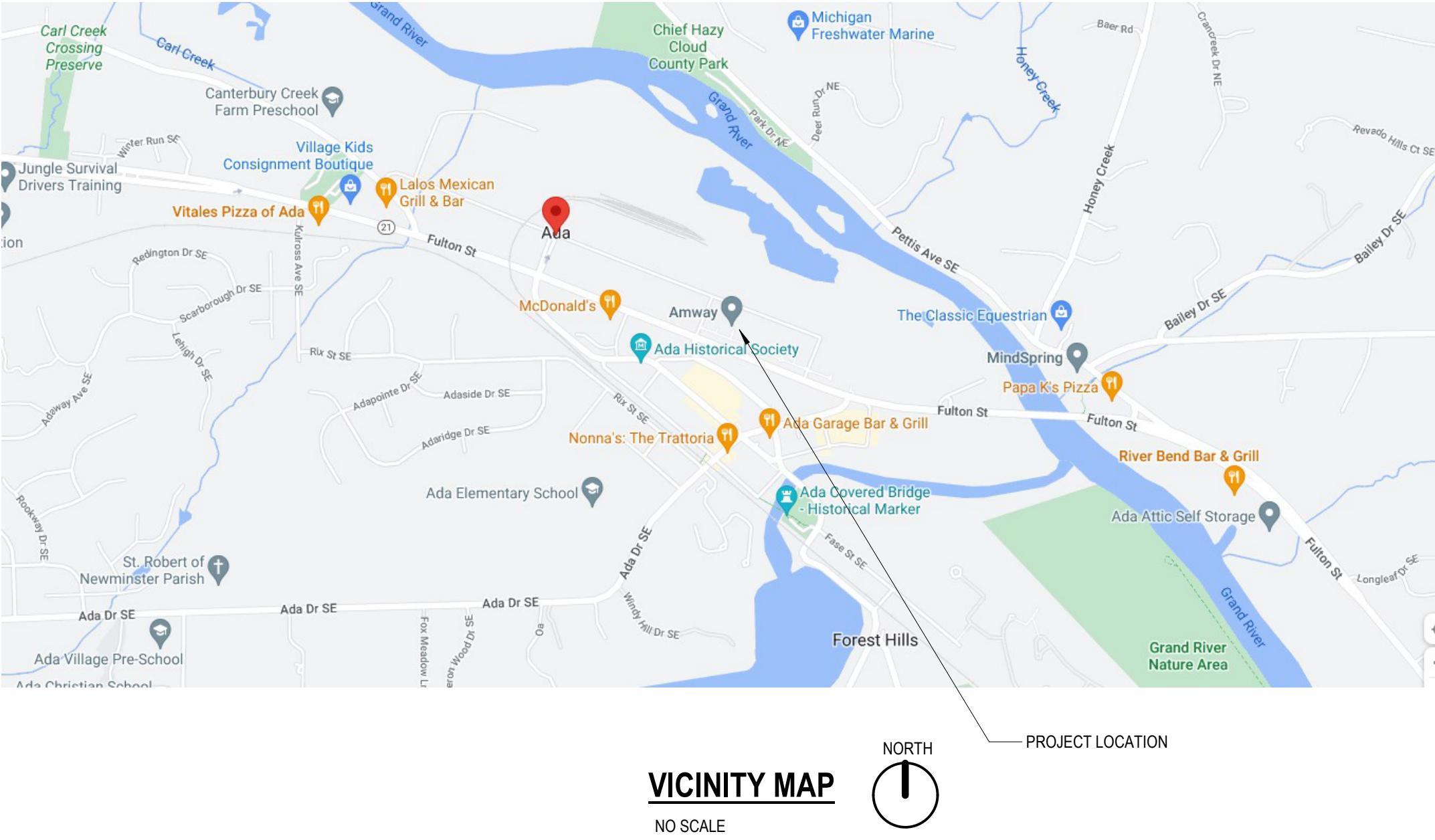


AMWAY CORPORATION

BLDG. 55 / 56-2 RENOVATION

7575 EAST FULTON, ADA MICHIGAN 49355



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ES01	ELECTRICAL ONE-LINE DIAGRAM - BUILDING 55 DEMO
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AMWAY CORPORATION
BLDG. 55 / 56-2 RENOVATION

COA ARCHITECT

COA ENGINEER

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ISSUANCE

10/21/2022

BID PACKAGE 1

BDS-AQD-PERMIT

PROJECT NUMBER
6196056
PROJECT MANAGER
K. BRANDSEN
PROFESSIONAL
D. MOLENAR
DRAWN BY
J. CRIPPS
CHECKED BY

TITLE DRAWING
TD001

progressive | aep

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300 South Tyrone St., Suite 500, Charlotte, NC 28202 | 704.731.8050 www.progressiveae.com

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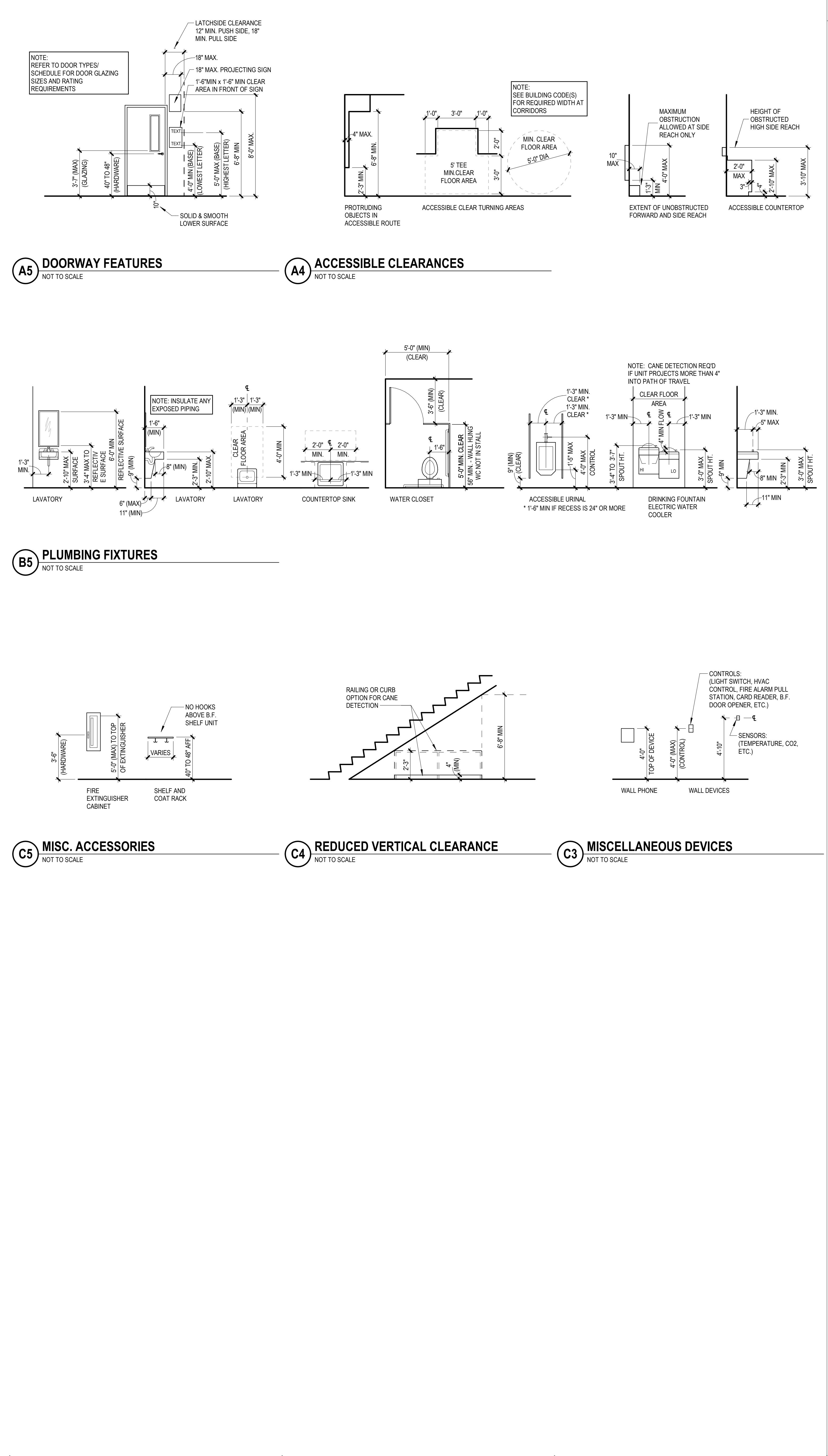
ISSUANCE

10/21/2022

BID PACKAGE

B03-AQ/P PERMIT

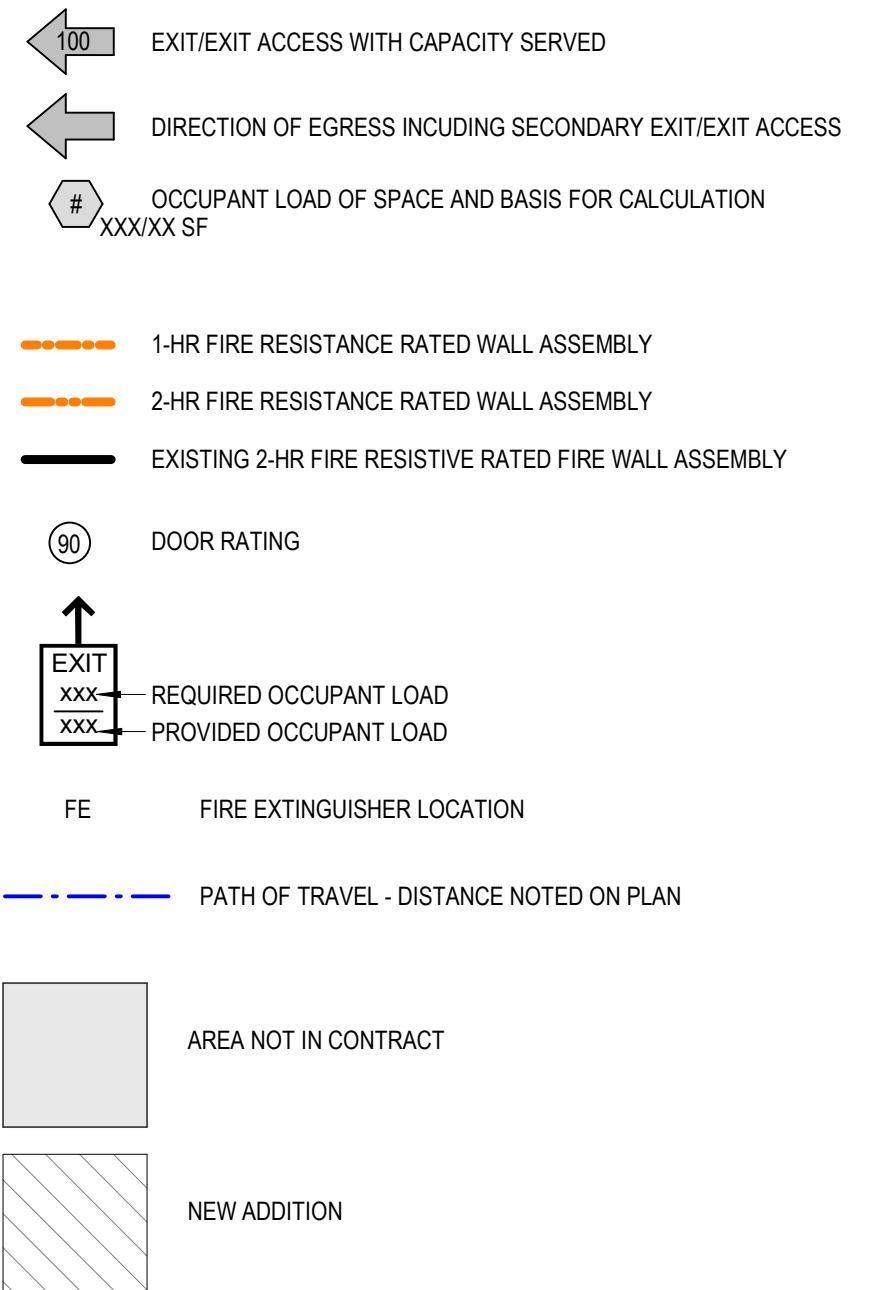
PROGRESSIVE AE GENERAL SYMBOLS		PROGRESSIVE AE GENERAL ABBREVIATIONS	
DRAWING TITLES		DRAWING TITLES	
PLAN TITLE		PLAN NORTH 18" = 1'-0"	
DRAWING TITLE		DRAWING SCALE	
PLAN CALLOUT / SECTION / ELEVATION TITLE		DRAWING NUMBER A5 18" = 1'-0"	
DRAWING TITLE		DRAWING SCALE	
REVISION SYMBOLS		REVISION NUMBER #	
LOCATION SYMBOLS		ACTIVE REVISION NUMBER #	
BUILDING SECTION		CLODED AREA OF REVISION	
DIRECTION OF SECTION		OC	
DRAWING NUMBER	A#	OC CENTERED	
SHEET NUMBER	A##	OD	
WALL SECTION		OUTER DIAMETER	
DIRECTION OF SECTION	A#	OF	
DRAWING NUMBER	A#	OWNER FURNISHED, CONTRACTOR INSTALLED	
SHEET NUMBER	A##	OFICI	
DETAIL SECTION		OWNER FURNISHED, OWNER INSTALLED	
DRAWING NUMBER	A#	OFIOI	
SHEET NUMBER	A##	OH	
EXTERIOR ELEVATION		OVERHEAD DOOR	
DIRECTION OF ELEVATION	A#	OPP	
SHEET NUMBER	A##	OPPOSITE	
INTERIOR ELEVATION		ORD	
DIRECTION OF ELEVATION	A#	OVER-Low ROOF DRAIN	
SHEET NUMBER	A##		
CALLOUT REFERENCE			
DRAWING NUMBER	A#		
SHEET NUMBER	A##		
DRAWING EXTENTS			
3D VIEW REFERENCE			
MATCHLINE	SEE A# / A##		
DRAWING NUMBER			
DATUM SYMBOLS			
NEW COLUMN GRID	#		
EXISTING COLUMN GRID	#		
TAGS			
ROOM TAG			
DOOR TAG	C#1		
FURNITURE	MARK		
BESTROOM ACCESSORY TAG	MARK		
WINDOW TAG	MARK		
CEILING TAG	MARK		
NOTE	NOTE (AS REQUIRED)		
HEIGHT AFF	8'-0"		
SYMBOLS			
BREAK LINE			
ID	INSIDE DIAMETER		
IMP	INSULATED METAL PANEL		
IN, "	INCH		
INS	INSULATE, INSULATION		
INT	INTERIOR		
J-BOX	JUNCTION BOX		
LAV	LAVATORY		
LEED	LEADERSHIP IN ENERGY AND ENVIRONMENTAL DESIGN		
LH	LEFT HAND, LEFT HANDED		
LT	LITE, LIGHT		
LVL	LAMINATED VENEER LUMER		
LVT	LUXURY VINYL TILE		



CODE SUMMARY

- A. APPLICABLE CODES:
 1. BUILDING CODES:
 A. MICHIGAN BUILDING CODE (MBC) 2015
 B. NATIONAL UNIFORM ENERGY CODE 2015
 C. MICHIGAN BARRIER FREE DESIGN LAW P.A. 1 OF 1966 AND 2009 ICC/ANSI A117.1
 2. MECHANICAL CODES:
 A. MICHIGAN MECHANICAL CODE 2015
 B. NATIONAL PLUMBING CODE (MPC) 2015
 3. ELECTRICAL CODE:
 A. MICHIGAN ELECTRICAL CODE 2017 MICHIGAN ELECTRICAL CODE PART 8 INCORPORATING NATIONAL ELECTRICAL CODE 2017
 B. EXISTING CONSTRUCTION DATA:
 1. USE - OFFICE BUILDING USE GROUP I (MBC 304.1)
 2. CONSTRUCTION TYPE II-B (MBC 602.2) WITH TYPE IV - HT (MBC 602.4)
 C. FIRE PROTECTION FEATURES:
 A. FACILITY IS SPRINKLERED (MBC 903.3.1)
 B. EXTINGUISHERS REQUIRED (MBC 906.1, NO. 1)
 C. EXISTING FIRE ALARM PROVIDED
 D. BUILDING HEIGHT:
 A. ALLOWABLE HEIGHT: 75 FEET (MBC 504.3, T-504.3)
 B. ACTUAL: 2 STORIES, 35 FEET (BLDG 55)
 C. ACTUAL: 2 STORIES, 35 FEET (BLDG 56)
 E. BUILDING AREA:
 A. ALLOWABLE: 9,200 SF (MBC 506.2)
 B. NO FRONTRAGE INCREASED (MBC 506.2)
 C. PROPOSED BLDG 55: 24,130 SF
 D. PROPOSED BLDG 56: 28,035 SF (+3,905 SF)
 F. MIN. TYPE II-B & IV (HEAVY TIMBER) CONSTRUCTION REQUIREMENTS (MBC T-601, UNO):
 1. EXTERIOR STRUCTURE WALLS: 4-HR HT (II-B & IV)
 2. EXTERIOR BEARING WALLS: 2-HR HT
 3. INTERIOR BEARING WALLS: 1-HR (IV)
 4. EXTERIOR NON-BEARING WALLS: 0-HR (IV)
 5. INTERIOR NON-BEARING WALLS: 0-HR (IV)
 6. ROOF CONSTRUCTION: 0-HR HT
 7. ROOF ROOF CONSTRUCTION: 0-HR HT
 8. WOOD ROOF DECK: MBC 602.4.7
 G. ADDITIONAL CONSTRUCTION REQUIREMENTS:
 1. EXISTING CORRIDORS: 1-HR (MBC 1023.2)
 2. EXIT ENCLOSURE OPENINGS: 1-HR (MBC T-716.5)
 3. OTHER SHAFT ENCLOSURES: 1-HR (MBC T-713.4)
 4. ELEC. RM. W/112.5 KVA TRANSFORMER: 1-HR (NEC 450.21.B)
 H. OCCUPANT LOAD FOR EGRESS PURPOSES (MBC T-1004.1):
 1. BUSINESS: 100 OCCUPANTS
 2. NEW CONFERENCE ROOMS: 50 OCCUPANTS EACH
 I. MEANS OF EGRESS REQUIREMENTS:
 1. MAX TRAVEL DISTANCE: 300 FT, (MBC T-1017.2)
 2. MAX DEAD END CORRIDOR: 100 FT, (MBC T-1006.2.1)
 3. EGRESS WIDTH (PER OCCUPANT):
 A. STAIR: 0.3' (MBC 1005.3.1)
 B. OTHER COMPONENTS - DOORS: 0.2' (MBC 1005.3.2)
 4. MIN. CORRIDOR WIDTH: 44" (MBC T-1020.2)
 5. MAX DEAD END CORRIDOR: 30 FT, (MBC 1020.4, EX.2)
 6. REMOTENESS OF EXIT: 1/3 DIAGONAL (MBC 1007.1.1, EX.2)
 7. ACCESSIBILITY: 10% ACCESS STAIRWAYS PERMITTED (MBC T-1019.3 NO. 1 OR NO. 4)
 G. ACCESSIBILITY (MBC 410.3):
 1. SCOPE OF ALTERATION SHALL NOT REDUCE THE ACCESSIBILITY OF THE EXISTING FACILITY (MRCEB 410.3)
 2. ALL WORK ALTERED AREAS SHALL MEET STATE ACCESSIBILITY REQUIREMENTS
 3. MAXIMUM AMOUNT OF FEASIBLE (MRCEB 410.6)
 I. ALTERATION OF AREAS CONTAINING PRIMARY FUNCTION:
 A. ACCESSIBLE ROUTE TO PRIMARY FUNCTION SHALL BE PROVIDED
 B. ACCESSIBLE ROUTE FROM PRIMARY FUNCTION TO TOILET FACILITIES AND OTHER ACCESSIBLE AREAS SHALL BE PROVIDED
 H. PLUMBING FIXTURE REQUIREMENTS (MBC T-403.1):
 1. INCREASE IN FLOOR OCCUPANCY LOAD < 20% - EXISTING FIXTURES TO REMAIN (MRCEB 810.1)

CODE LEGEND



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ISSUANCE
10/21/2022 BID PACKAGE 1
BDS-AQD-PERMIT

CODE
COMPLIANCE
PLANS - CORE &
SHELL

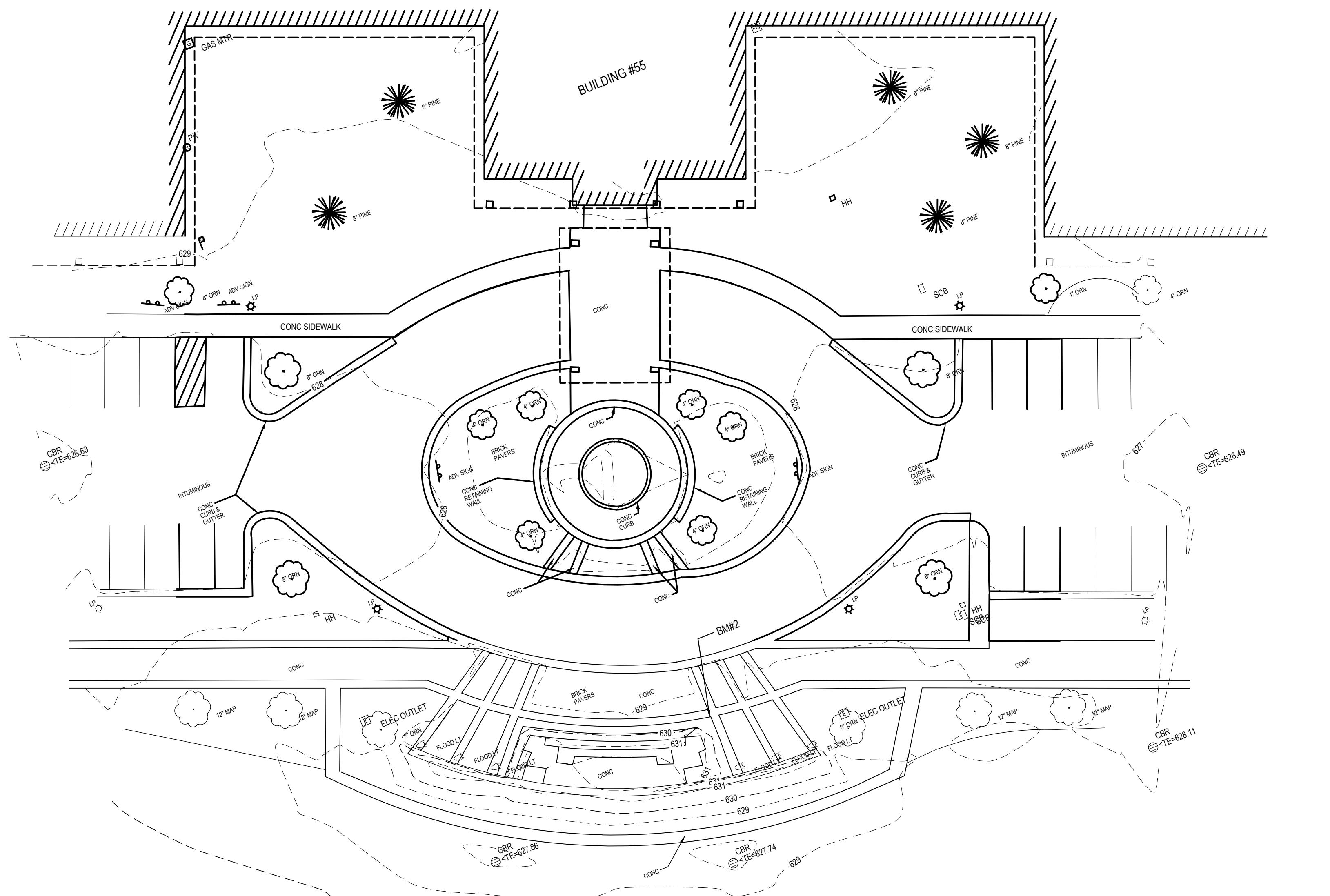
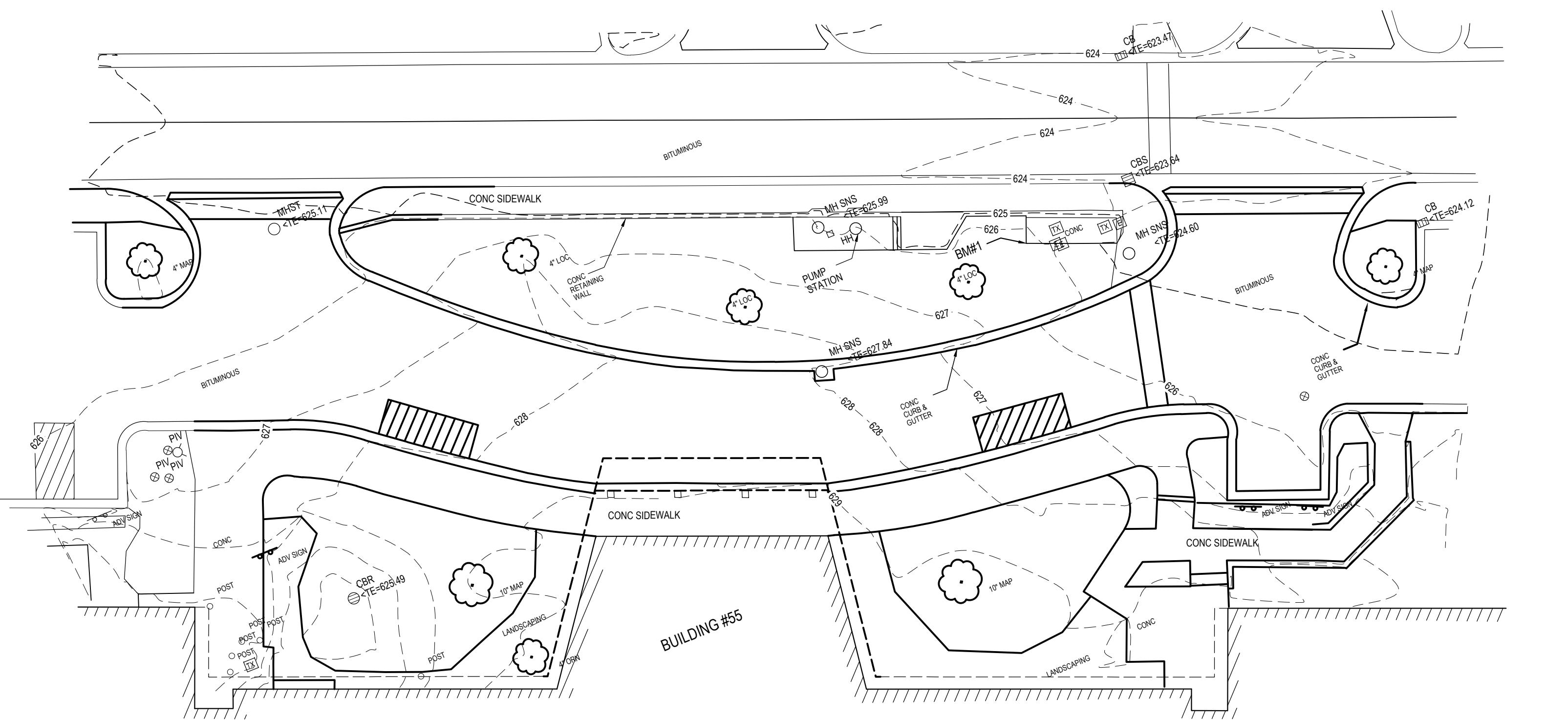
G101

FIRST FLOOR CODE COMPLIANCE PLAN -
CORE & SHELL

E2 1/16" = 1'-0" A201

SECOND FLOOR CODE COMPLIANCE PLAN -
CORE & SHELL

B2 1/16" = 1'-0" A201



KEY LEGEND

VEY NOTES

- EXISTING UTILITIES ARE LOCATED TO THE BEST OF OUR KNOWLEDGE. THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING EXISTING UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN EXISTING UTILITY SERVICES AT ALL TIMES.

SERVICE PROVIDED IS A TOPOGRAPHIC SURVEY, NOT A BOUNDARY SURVEY. PROPERTY LINES ARE SHOWN IN APPROXIMATE LOCATION

BENCHMARKS:

- ELEVATION = 628.39
OF SW CORNER OF CONCRETE PAD TO PUMP STATION ACROSS FROM
BUILDING #25.

ELEVATION = 630.63
OF NE CORNER OF CONCRETE WALL TO FREEDOM BLOCK SOUTH OF
BUILDING #25.

/EV

08/31/2022

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SUANCE

TOPOGRAPHIC SURVEY PLAN

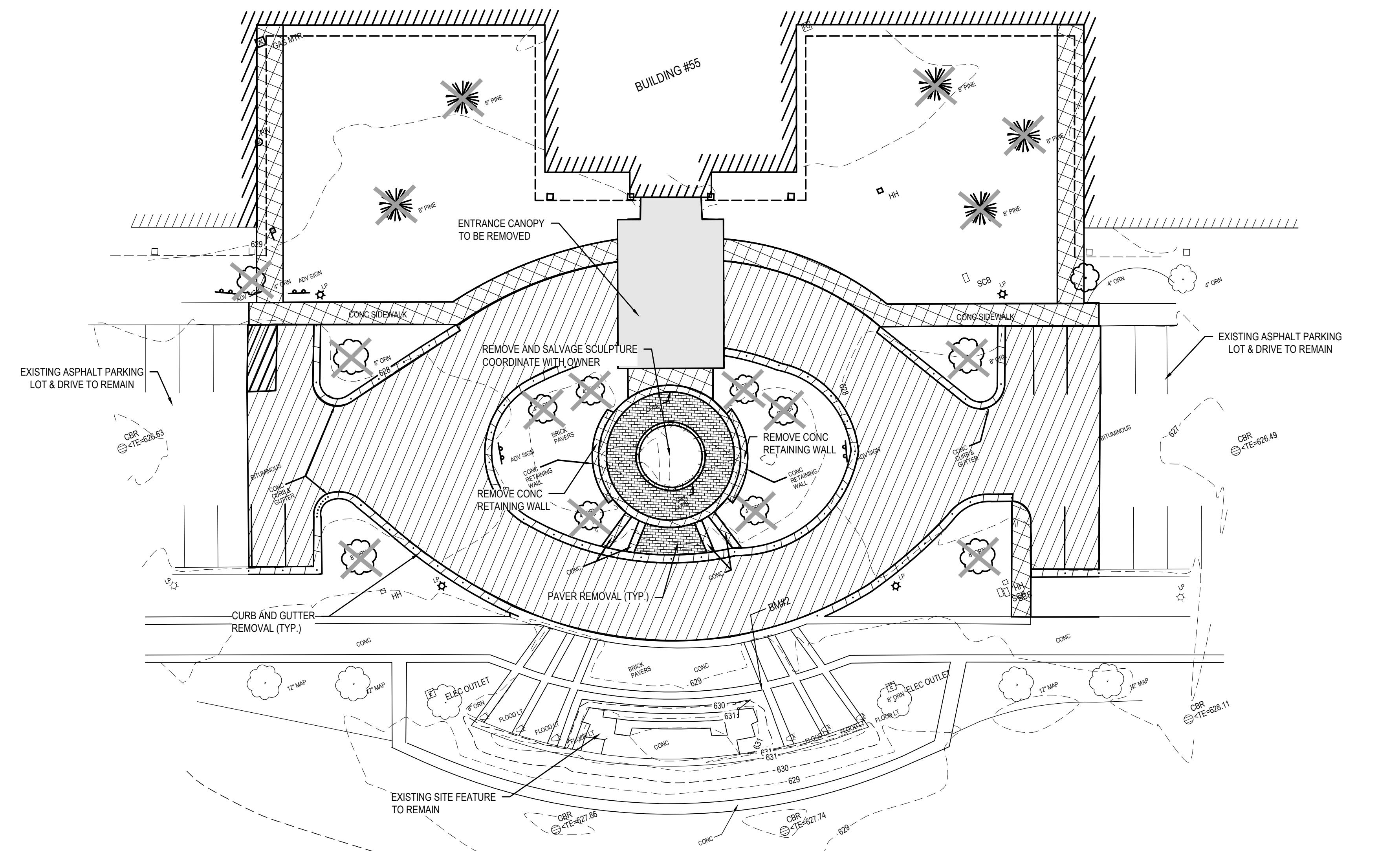
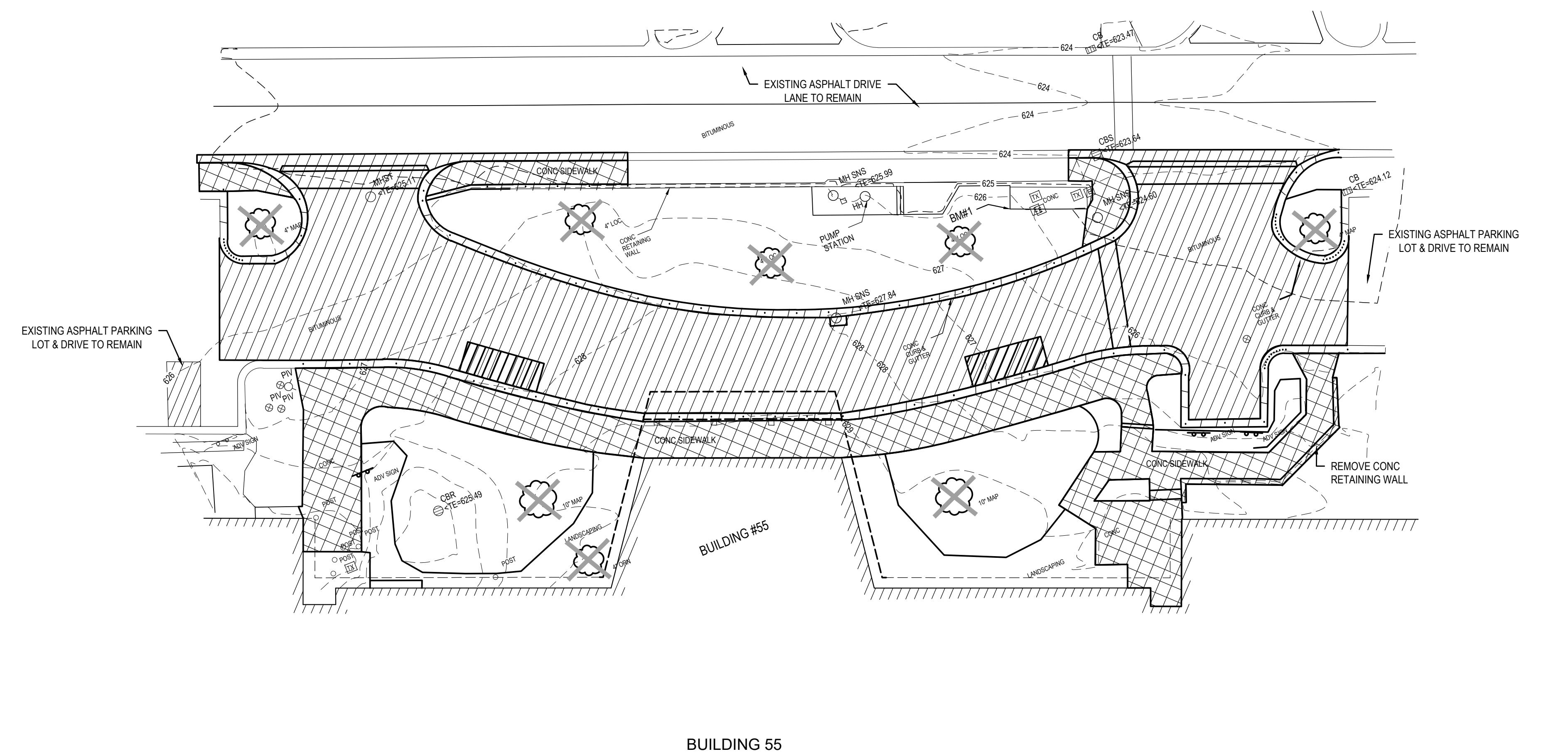
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND BECOMING FAMILIAR WITH THE DEMOLITION AND CLEARING REQUIREMENTS.
- NO REMOVAL, DEMOLITION, CLEARING OR TOPSOIL REMOVAL SHALL OCCUR ON SITE UNTIL THE SESC AND STORMWATER PERMITS HAVE BEEN ISSUED AND THE CONTRACTOR HAS VERIFIED AND STAKED THE LIMITS OF REMOVAL IN THE FIELD. NOTIFY SITE CONSULTANT OF THE START OF CONSTRUCTION AND DATE WHEN THE LIMITS LINE WILL BE ESTABLISHED FOR REVIEW AND APPROVAL.
- ALL MATERIALS NOTED TO BE SALVAGED SHALL BE TURNED OVER TO THE OWNER OR REINSTALLED ON SITE AS NOTED.
- NO BURNING OR BURYING OF CLEARED OR DEMOLITION MATERIAL SHALL BE ALLOWED ON SITE.
- REMOVE ALL STRUCTURES, FOUNDATIONS, BITUMINOUS PAVEMENT, CONCRETE SIDEWALK STEPS AND OTHER EXISTING SITE FEATURES AS INDICATED ON THE DRAWINGS. ALSO, REMOVE ALL DEBRIS FROM WITHIN CONSTRUCTION LIMITS ON SITE. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND, UNLESS OTHERWISE NOTED, DISPOSED OF IN A MANNER ACCEPTABLE TO LOCAL JURISDICTION HAVING AUTHORITY.
- THE CONTRACTOR SHALL BE LICENSED BY THE STATE OF MICHIGAN FOR DEMOLITION REMOVAL AND HAULING OF MATERIALS.
- THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS AND FEES FOR THIS WORK.
- EXISTING UTILITIES ARE LOCATED TO THE BEST OF OUR KNOWLEDGE. THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING EXISTING UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN EXISTING UTILITY SERVICES AT ALL TIMES.
- ALL EXCESS OR UNSUITABLE TOPSOIL OR SUBSOIL TO BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED OFFSITE.
- PROTECT EXISTING TREES UNLESS OTHERWISE NOTED. NO PARKING OR STORAGE OF MATERIALS WITHIN TREE ROOT ZONE. PLACE TREE PROTECTION FENCE WHERE SHOWN ON PLAN.
- TREE PROTECTION FENCE - ORANGE SAFETY FENCE AROUND TREES SUPPORTED BY STEEL T-BAR FENCE POSTS. ZIP TIE FABRIC TO POSTS. INSTALL PRIOR TO ANY CONSTRUCTION ACTIVITY AND MAINTAIN DURING ENTIRE CONSTRUCTION PERIOD.
- CONTRACTOR TO CALL 811 AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES.
- CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS DISTURBED BY CONSTRUCTION.
- ANY AREA DISTURBED BY CONSTRUCTION TO BE RESTORED TO CONDITION EQUAL TO OR BETTER THAN BEFORE CONSTRUCTION BEGAN. PATCH PAVEMENT IN-KIND IF REQUIRED.
- SAWCUT FULL DEPTH ALL EDGES OF PAVEMENT TO BE REMOVED.
- ALL GROUND AREAS DISTURBED BY CONSTRUCTION TO BE TOPSOILED AND SEDED PER THE SITE LANDSCAPE PLAN UNLESS SHOWN OTHERWISE ON PLANS.

SOLUTION LEGEND

	BITUMINOUS PAVEMENT REMOVAL
	CONCRETE REMOVAL
	PAVER REMOVAL
	BUILDINGS
	TREE REMOVAL
X	REMOVE ITEM
· / / · / ·	REMOVE CURB AND GUTTER
· X X · X X ·	REMOVE UTILITY LINE
EMS IN BOLD TO BE REMOVED UNLESS OTHERWISE NOTED.	

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JURISDICTION
10/21/2022 BID PACKAGE 1
BIDS AND PERMIT



SITE DEMOLITION PLAN

<p>E8 PERMANENT SEEDING SPECIFICATIONS</p> <p>When</p> <ul style="list-style-type: none"> To finalize stabilization of temporary seeding areas or when an area needs permanent stabilization following completion of construction. Also used when vegetative establishment can correct existing soil erosion or sedimentation problem. Within 5 days of final grade. <p>Why</p> <ul style="list-style-type: none"> To stabilize soil and prevent or reduce soil erosion/sedimentation problems from developing. <p>Where</p> <ul style="list-style-type: none"> Used on construction and earth change sites which require permanent vegetative stabilization. <p>How</p> <ol style="list-style-type: none"> Review SES plan and construction phasing to identify areas in need of permanent vegetative stabilization. Select perennial grass and ground cover for permanent cover. Seed mixes vary. However, they should contain native species. Seed mixes should be selected through consultation with a certified seed provider and with consideration of soil type, light, moisture, use applications, and native species content. Soil tests should be performed to determine the nutrient and pH levels of the soil. The pH may need to be adjusted to between 6.5 and 7.0. Prepare a 3-5" deep seedbed, with the top 3-4" consisting of topsoil. Slopes steeper than 1:3 should be roughened. Apply seed as soon as possible after seedbed preparation. Seed may be broadcast by hand, hydroseeding, or by using mechanical drills. Mulch immediately after seeding. Dormant seed mixes are for use after the growing season, using seed that lies dormant in the winter and begins growing as soon as site conditions become favorable. <p>STANDARD SYMBOL</p> <p>MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET</p>	<p>E8 PERMANENT SEEDING SPECIFICATIONS</p> <p>How (cont.)</p> <ol style="list-style-type: none"> Protect seeded areas from pedestrian or vehicular traffic. Divert concentrated flows away from the seeded area until vegetation is established. <p>Maintenance</p> <ul style="list-style-type: none"> Inspect weekly and within 24 hours following each rain event in the first few months following installation to be sure seed has germinated and permanent vegetative cover is being established. Add supplemental seed as necessary. <p>Limitations</p> <ul style="list-style-type: none"> Seeds need adequate time to establish. May not be appropriate in areas with frequent traffic. Seeded areas may require irrigation during dry periods. Seeding success is site specific, consider mulching or sodding when necessary. <p>Planting Zones:</p> <table border="1"> <thead> <tr> <th></th> <th>Lower Peninsula (South of I-290) Zone 1</th> <th>Lower Peninsula (North of I-290) Zone 2</th> <th>Upper Peninsula Zone 3</th> </tr> </thead> <tbody> <tr> <td>Seeding Window Permanent Seeding</td> <td>4/15 - 10/10</td> <td>5/1 - 10/1</td> <td>5/1 - 9/20</td> </tr> <tr> <td>Seeding Window Dormant Seeding*</td> <td>11/15 - Freeze</td> <td>11/01 - Freeze</td> <td>11/01 - Freeze</td> </tr> </tbody> </table> <p>Source: Adopted from MDOT Interim 2003 Standard Specifications for Construction</p> <p>Zone 1 Lower Peninsula (South of U.S. 10)</p> <table border="1"> <thead> <tr> <th></th> <th>Zone 1 Lower Peninsula (South of U.S. 10)</th> <th>Zone 2 Lower Peninsula (North of U.S. 10)</th> <th>Zone 3 Upper Peninsula</th> </tr> </thead> <tbody> <tr> <td>Seeding Dates (with Irrigation or Mulch)</td> <td>4/1 - 8/1</td> <td>5/1 - 9/20</td> <td>5/1 - 9/10</td> </tr> <tr> <td>Seeding Dates (w/o Irrigation or Mulch)</td> <td>4/1 - 5/20</td> <td>5/1 - 6/10</td> <td>5/1 - 6/15</td> </tr> <tr> <td>Dormant Seeding Dates</td> <td>8/10 - 10/1</td> <td>8/1 - 9/20</td> <td>8/1 - 9/20</td> </tr> </tbody> </table> <p>Zone 2 Lower Peninsula (North of U.S. 10)</p> <table border="1"> <thead> <tr> <th></th> <th>Zone 1 Lower Peninsula (South of U.S. 10)</th> <th>Zone 2 Lower Peninsula (North of U.S. 10)</th> <th>Zone 3 Upper Peninsula</th> </tr> </thead> <tbody> <tr> <td>Seeding Dates (with Irrigation or Mulch)</td> <td>4/1 - 8/1</td> <td>5/1 - 9/20</td> <td>5/1 - 9/10</td> </tr> <tr> <td>Seeding Dates (w/o Irrigation or Mulch)</td> <td>4/1 - 5/20</td> <td>5/1 - 6/10</td> <td>5/1 - 6/15</td> </tr> <tr> <td>Dormant Seeding Dates</td> <td>8/10 - 10/1</td> <td>8/1 - 9/20</td> <td>8/1 - 9/20</td> </tr> </tbody> </table> <p>Zone 3 Upper Peninsula</p> <table border="1"> <thead> <tr> <th></th> <th>Zone 1 Lower Peninsula (South of U.S. 10)</th> <th>Zone 2 Lower Peninsula (North of U.S. 10)</th> <th>Zone 3 Upper Peninsula</th> </tr> </thead> <tbody> <tr> <td>Seeding Dates (with Irrigation or Mulch)</td> <td>4/1 - 8/1</td> <td>5/1 - 9/20</td> <td>5/1 - 9/10</td> </tr> <tr> <td>Seeding Dates (w/o Irrigation or Mulch)</td> <td>4/1 - 5/20</td> <td>5/1 - 6/10</td> <td>5/1 - 6/15</td> </tr> <tr> <td>Dormant Seeding Dates</td> <td>8/10 - 10/1</td> <td>8/1 - 9/20</td> <td>8/1 - 9/20</td> </tr> </tbody> </table> <p>Source: Adopted from USDA NRCS Technical Guide #342 (1999)</p> <p>*Dormant seeding is for use in the late fall after the soil temperature remains consistently below 50°F, prior to the ground freezing. This practice is appropriate if construction on a site is completed in the fall but the seed was not planted prior to recommended seeding dates. No seed germination will take place until spring. 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Do not use in areas with concentrated flows. Chance of failure increases if fence is installed incorrectly or if sediment accumulation is not removed. <p>S53 STABILIZED CONSTRUCTION ACCESS SPECIFICATIONS</p> <p>Plan View</p> <p>Profile</p> <p>NOTES:</p> <ol style="list-style-type: none"> Establish stabilized construction entrance prior to the initiation of site construction activities. Care should be taken to prevent material movement into adjacent wetlands/waterbodies. Care should be taken to maintain existing roadside drainage via culvert installation, with sediment sump placed downflow of culvert. <p>STANDARD SYMBOL</p> <p>MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET</p>	<p>S53 STABILIZED CONSTRUCTION ACCESS SPECIFICATIONS</p> <p>When</p> <ul style="list-style-type: none"> Construction traffic is expected to leave a construction site. Stabilization of interior construction roads is desired. <p>Why</p> <ul style="list-style-type: none"> To minimize tracking of sediment onto public roadways and to minimize disturbance of vegetation. <p>Where</p> <ul style="list-style-type: none"> Stabilized construction entrances shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must be routed over the rock ingress/egress corridor. <p>How</p> <ol style="list-style-type: none"> Stabilized construction access road should be established at the onset of the construction activities and maintained in place for the duration of the construction project. Installation of this practice should be the responsibility of the site clearing or excavating contractor. Access location should be cleared of woody vegetation. Non-woven geotextile fabric shall be placed over the existing ground prior to placing stone. Access size should be a minimum of 50'. (30' for single residence lot). Access width should be 12' minimum, flared at the existing road to provide a turning radius. Crushed aggregate (2" to 3"), or reclaimed or recycled concrete equivalent, shall be placed at least 8" deep over the length and width of the ingress/egress corridor. <p>Maintenance</p> <ul style="list-style-type: none"> Periodic inspection and needed maintenance shall be provided after each rain event. Stabilized entrances shall be repaired and rock added as necessary. <p>STANDARD SYMBOL</p> <p>MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET</p>	<p>S51 SILT FENCE</p> <p>S51 SILT FENCE SPECIFICATIONS</p> <p>When</p> <ul style="list-style-type: none"> A temporary measure for preventing sediment movement. Used to prevent sediment suspended in runoff from leaving an earth change area. Use adjacent to critical areas, wetlands, base of slopes, and watercourses. <p>Where</p> <ul style="list-style-type: none"> Install parallel to a contour. The silt fence should be made of woven geotextile fabric. Silt fence should accommodate no more than 1/2 to 1 acre of drainage per 100' of fence and on slopes less than 1:2 (v:h). <p>How</p> <ol style="list-style-type: none"> Dig a 6" trench along the area where the fence is to be installed. Backfill the trench with soil and compact the soil on both sides. Create a small ridge on the up-slope side of the fence. Install wooden stakes 6 - 10' apart and drive into the ground a minimum of 12". Staple the geotextile fabric to the wooden stakes. Join sections of silt fence by wrapping ends together (See drawing). <p>Maintenance</p> <ul style="list-style-type: none"> Inspect frequently and immediately after each storm event. Check several times during prolonged storm events. If necessary, repair immediately. If the sediment has reached 1/3 the height of the fence, the soil should be removed and disposed of in a stable upland site. The fence should be re-installed if water is seeping underneath it or if the fence has become ineffective. Silt fence should be removed once vegetation is established and up-slope area has stabilized. <p>STANDARD SYMBOL</p> <p>MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET</p>	<p>S58 INLET PROTECTION – FABRIC DROP SPECIFICATIONS</p> <p>Isometric View</p> <p>Installation Detail</p> <p>STANDARD SYMBOL</p> <p>MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET</p>	<p>When</p> <ul style="list-style-type: none"> When sediment laden stormwater requires treatment before entering a stormwater drainage system. To prevent sediment from entering stormwater systems. Use in or at stormwater inlets, especially at construction sites or in streets. <p>Why</p> <ul style="list-style-type: none"> Can only accommodate small flow quantities. Requires frequent maintenance. Ponding may occur around storm drains if filter is clogged. <p>How</p> <ol style="list-style-type: none"> A filter fabric bag is hung inside the inlet, beneath the grate. Replace grate, which will hold bag in place. Anchor filter bag with 1" rebar for removal from inlet. Flaps of bag that extend beyond the bag can be buried in soil in earth areas. <p>Maintenance</p> <ul style="list-style-type: none"> Drop inlet filters should be inspected routinely and after each major rain event. Damaged filter bags should be replaced. Clean and/or replace filter bag when 1/2 full. Replace clogged fabric immediately. If needed, initiate repairs immediately upon inspection. Remove entire protective mechanism when upgradient areas are stabilized and streets have been swept. <p>Limitations</p> <ul style="list-style-type: none"> Can only accommodate small flow quantities. Requires frequent maintenance. 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SPECIAL INSPECTION TASKS PRIOR TO WELDING				
REQUIRED IF CHECKED	INSPECTION TASK	PERFORM TASKS FOR EACH WELDED JOINT OR MEMBER	OBSERVE ITEMS ON RANDOM BASIS. OPERATIONS NEED NOT BE DELAYED PENDING INSPECTIONS	REMARKS
<input checked="" type="checkbox"/>	WELDING PROCEDURE SPECIFICATIONS (WPSs) AVAILABLE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	MANUFACTURER CERTIFICATIONS FOR WELDING CONSUMABLES AVAILABLE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	MATERIAL IDENTIFICATION SYSTEM	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	FIT-UP OF GROOVE WELDS (INCLUDING JOINT GEOMETRY)			
<input checked="" type="checkbox"/>	• JOINT PREPARATION			
	• DIMENSIONS (ALIGNMENT, ROOT OPENING, ROOT FACE, BEVEL)			
	• CLEANLINESS (CONDITION OF STEEL SURFACES)			
	• TACKING (TACK WELD QUALITY AND LOCATION)			
	• BACKING TYPE AND FIT (IF APPLICABLE)			
<input checked="" type="checkbox"/>	CONFIGURATION AND FINISH OF ACCESS HOLES	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	FIT-UP OF FILLET WELDS			
<input checked="" type="checkbox"/>	• DIMENSIONS (ALIGNMENT, GAPS AT ROOT)			
	• CLEANLINESS (CONDITION OF STEEL SURFACES)			
	• TACKING (TACK WELD QUALITY AND LOCATION)			

SPECIAL INSPECTION TASKS DURING WELDING				
REQUIRED IF CHECKED	INSPECTION TASK	PERFORM TASKS FOR EACH WELDED JOINT OR MEMBER	OBSERVE ITEMS ON RANDOM BASIS. OPERATIONS NEED NOT BE DELAYED PENDING INSPECTIONS	REMARKS
<input checked="" type="checkbox"/>	USE OF QUALIFIED WELDERS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	CONTROL AND HANDLING OF WELDING CONSUMABLES			
<input checked="" type="checkbox"/>	• PACKAGING	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/>	• EXPOSURE CONTROL	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/>	NO WELDING OVER CRACKED TACK WELDS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/>	ENVIRONMENTAL CONDITIONS			
	• WIND SPEED WITHIN LIMITS			
	• PRECIPITATION AND TEMPERATURE			
	WPS FOLLOWED			
	• SETTINGS ON WELDING EQUIPMENT			
	• TRAVEL SPEED			
<input checked="" type="checkbox"/>	• SELECTED WELDING MATERIALS			
	• FILLER METAL SIZE/FEED RATE			
	• PREHEAT APPLIED			
	• INTERPASS TEMPERATURE MAINTAINED (MIN/MAX)			
	• PROPER POSITION (C, V, H, OH)			
<input checked="" type="checkbox"/>	WELDING TECHNIQUES			
	• INTERPAS AND FINAL CLEANING			
	• EACH PASS WITHIN PROFILE LIMITATIONS			
	• EACH PASS MEETS QUALITY REQUIREMENTS			

SPECIAL INSPECTION TASKS AFTER WELDING				
REQUIRED IF CHECKED	INSPECTION TASK	PERFORM TASKS FOR EACH WELDED JOINT OR MEMBER	OBSERVE ITEMS ON RANDOM BASIS. OPERATIONS NEED NOT BE DELAYED PENDING INSPECTIONS	REMARKS
<input checked="" type="checkbox"/>	WELDS CLEANED	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/>	SIZE, LENGTH AND LOCATION OF WELDS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	WELDS MEET VISUAL ACCEPTANCE CRITERIA			
	• CRACK PROHIBITION			
	• WELD/BASE-METAL FUSION			
<input checked="" type="checkbox"/>	• CRATER CROSS SECTION			
	• WELD PROFILES			
	• THICKNESS			
	• UNDERCUT			
	• POROSITY			
<input checked="" type="checkbox"/>	ARCH STRIKES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	k-AREA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	BACKING REMOVED AND WELD TABS REMOVED (IF REQUIRED)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	REPAIR ACTIVITIES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	DOCUMENT ACCEPTANCE OR REJECTION OF WELDED JOINT OR MEMBER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

SPECIAL INSPECTION TASKS PRIOR TO BOLTING				
REQUIRED IF CHECKED	INSPECTION TASK	PERFORM TASKS FOR EACH BOLTED JOINT OR MEMBER	OBSERVE ITEMS ON RANDOM BASIS. OPERATIONS NEED NOT BE DELAYED PENDING INSPECTIONS	REMARKS
<input checked="" type="checkbox"/>	MANUFACTURER'S CERTIFICATIONS AVAILABLE FOR FASTENER MATERIALS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	FASTENERS MARKED IN ACCORDANCE WITH ASTM REQUIREMENTS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/>	PROPER FASTENERS SELECTED FOR THE JOINT DETAIL (GRADE, TYPE, BOLT LENGTH & THREADS ARE TO BE EXCLUDED FROM SHEAR PLANE)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/>	PROPER BOLTING PROCEDURE SELECTED FOR JOINT DETAIL	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/>	CONNECTING ELEMENTS INCLUDING THE APPROPRIATE FAYING SURFACE CONDITION AND HOLE PREPARATION, IF SPECIFIED, MEET APPLICABLE REQUIREMENTS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/>	PRE-INSTALLATION VERIFICATION TESTING BY INSTALLATION PERSONNEL OBSERVED AND DOCUMENTED FOR FASTENER ASSEMBLIES AND METHODS USED	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/>	PROPER STORAGE PROVIDED FOR BOLTS, NUTS, WASHERS AND OTHER FASTENER COMPONENTS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

SPECIAL INSPECTION TASKS DURING BOLTING				
REQUIRED IF CHECKED	INSPECTION TASK	PERFORM TASKS FOR EACH BOLTED JOINT OR MEMBER	OBSERVE ITEMS ON RANDOM BASIS. OPERATIONS NEED NOT BE DELAYED PENDING INSPECTIONS	REMARKS
<input checked="" type="checkbox"/>	FASTENER ASSEMBLIES OF SUITABLE CONDITION, PLACED IN ALL HOLES AND WASHERS (IF REQUIRED) ARE POSITIONED AS REQUIRED	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/>	JOINT BROUGHT TO THE SNUG-TIGHT CONDITION PRIOR TO THE PRETENSIONING OPERATION	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/>	FASTENER COMPONENT NOT TURNED BY THE WRENCH PREVENTED FROM ROTATING	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/>	FASTENERS ARE PRETENSION IN ACCORDANCE WITH THE RSCC SPECIFICATION, PROGRESSING SYSTEMATICALLY FROM THE MOST RIGID POINT TOWARD THE FREE EDGES	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

SPECIAL INSPECTION TASKS AFTER BOLTING				
REQUIRED IF CHECKED	INSPECTION TASK	PERFORM TASKS FOR EACH BOLTED JOINT OR MEMBER	OBSERVE ITEMS ON RANDOM BASIS. OPERATIONS NEED NOT BE DELAYED PENDING INSPECTIONS	REMARKS
<input checked="" type="checkbox"/>	DOCUMENT ACCEPTANCE OR REJECTION OF BOLTED CONNECTIONS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

SPECIAL INSPECTION OF STEEL ELEMENTS OF COMPOSITE CONSTRUCTION PRIOR TO CONCRETE PLACEMENT				
REQUIRED IF CHECKED	INSPECTION TASK	PERFORM TASKS FOR EACH WELDED JOINT OR MEMBER	OBSERVE ITEMS ON RANDOM BASIS. OPERATIONS NEED NOT BE DELAYED PENDING INSPECTIONS	REMARKS
<input checked="" type="checkbox"/>	PLACEMENT AND INSTALLATION OF STEEL DECK	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	PLACEMENT AND INSTALLATION OF STEEL HEADED STUD ANCHORS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	DOCUMENT ACCEPTANCE OR REJECTION OF STEEL ELEMENTS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

REQUIRED SPECIAL INSPECTIONS OF OPEN-WEB STEEL JOISTS AND JOIST GIRDER				
REQUIRED IF CHECKED	INSPECTION TASK	CONTINUOUS SPECIAL INSPECTION	PERIODIC SPECIAL INSPECTION	REMARKS
<input checked="" type="checkbox"/>	INSTALLATION OF OPEN-WEB STEEL JOISTS AND JOIST GIRDER			
	a. END CONNECTIONS - WELDING OR BOLTED	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/>	b. BRIDGING - HORIZONTAL OR DIAGONAL	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/>	STANDARD BRIDGING	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/>	BRIDGING THAT DIFFERS FROM THE SJI SPECIFICATIONS LISTED IN SECTION 22071	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

REQUIRED SPECIAL INSPECTIONS AND TESTS OF CONCRETE CONSTRUCTION				
REQUIRED IF CHECKED	INSPECTION TASK	CONTINUOUS SPECIAL INSPECTION	PERIODIC SPECIAL INSPECTION	REMARKS
<input checked="" type="checkbox"/>				



ANWY CORPORATION
BLDG. 55 / 56-2 RENOVATION

COA ARCHITECT COA ENGINEER

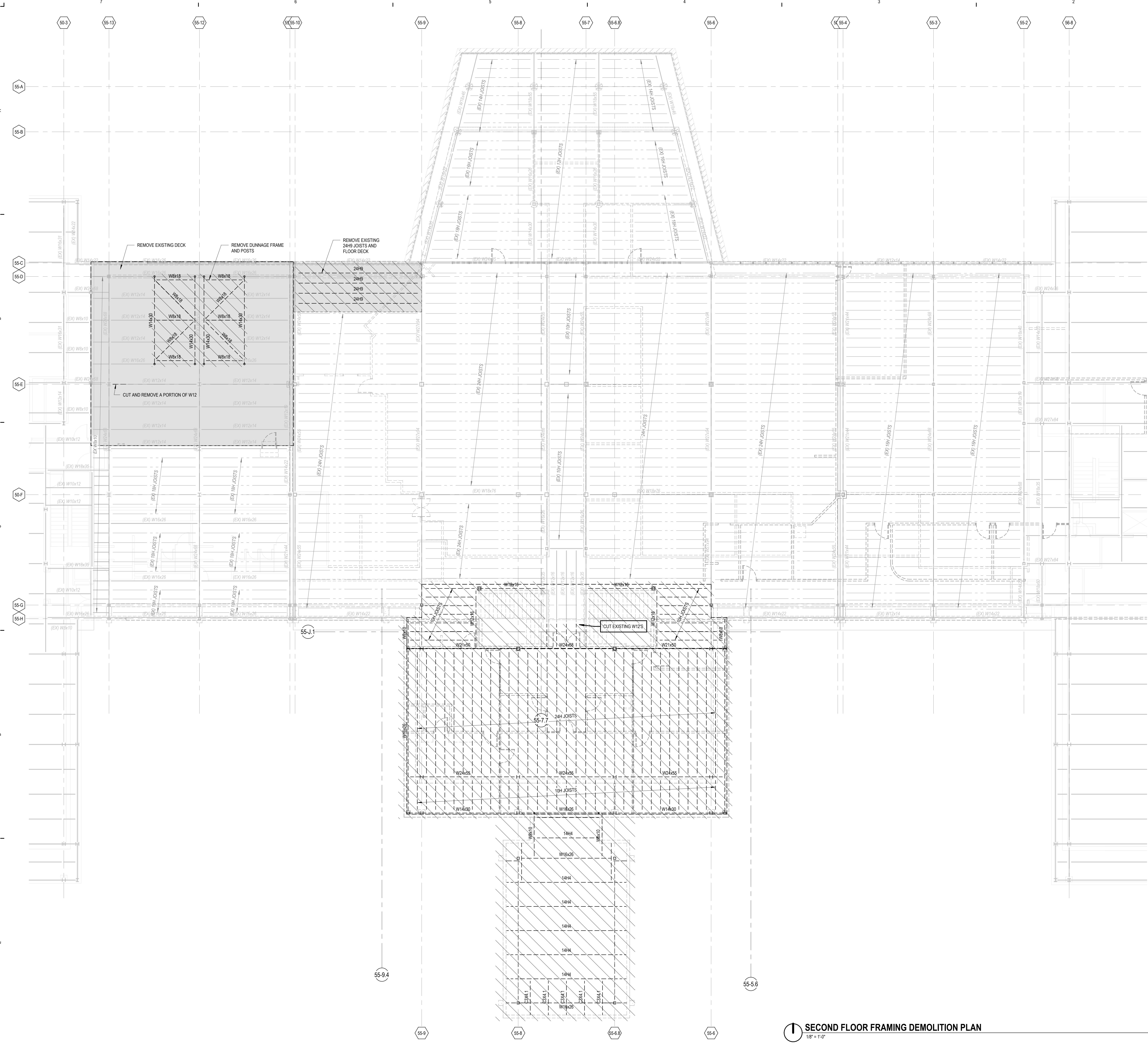
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ISSUANCE

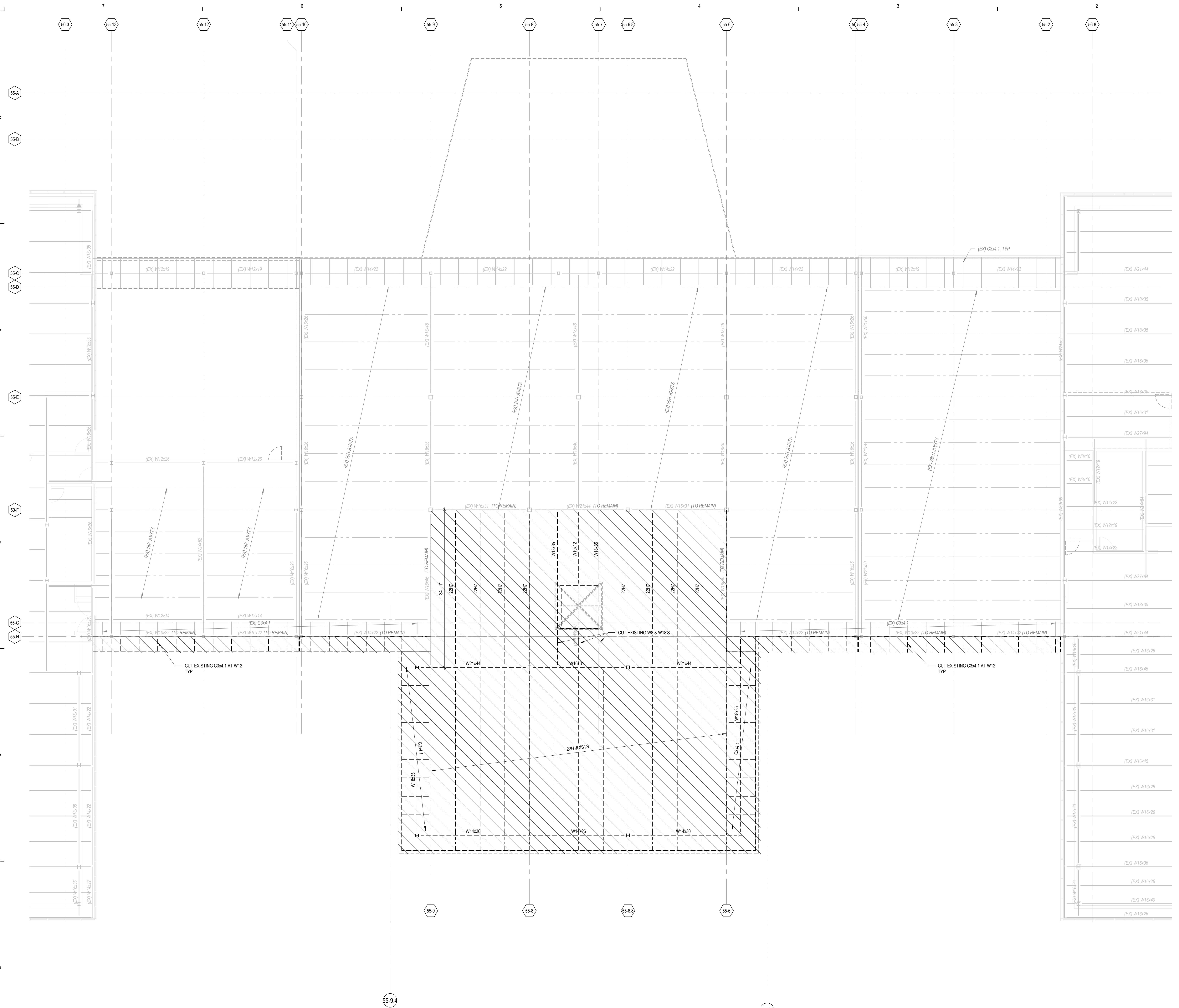
10/21/2022

BID PACKAGE 1

BIDS AND PERMIT

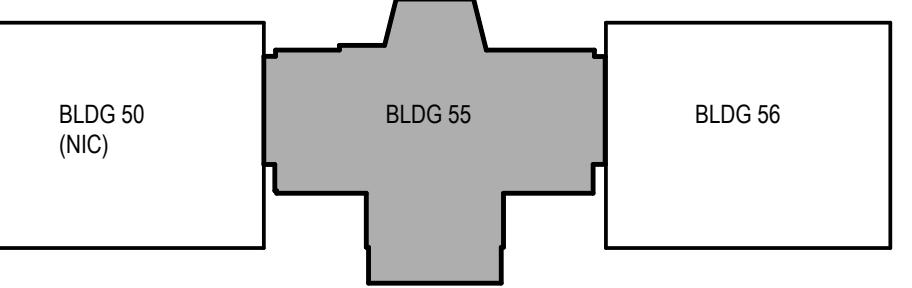


KEYNOTE LEGEND	
NOTE	
1	REMOVE EXISTING ROOF DECK, AND REPLACE WITH NEW FLOOR DECK PER SCHEDULE QUANTITY AFTER BEAM DESIGNATION INDICATED NUMBER OF 3/4" X 3" LONG SHEAR CONNECTORS (HEADED STUDS) TO BE WELDED THROUGH NEW DECK ON TOP OF EXIST W-BEAM EQUALLY SPACED
2	ROOF FRAMING DETAIL A44SS01
3	FALL PROTECTION SYSTEM STANCHION, SEE SPECIFICATIONS FOR REQUIREMENTS. SEE DETAIL B75S01 FOR STRUCTURE ATTACHMENT INFORMATION / DETAILS.
4	ROOF GROUT OPENING TO BE CORE-DRILLED THROUGH NLT DECKING, CORE DIAMETER TO BE 1" LARGER THAN PIPE OD MAX.



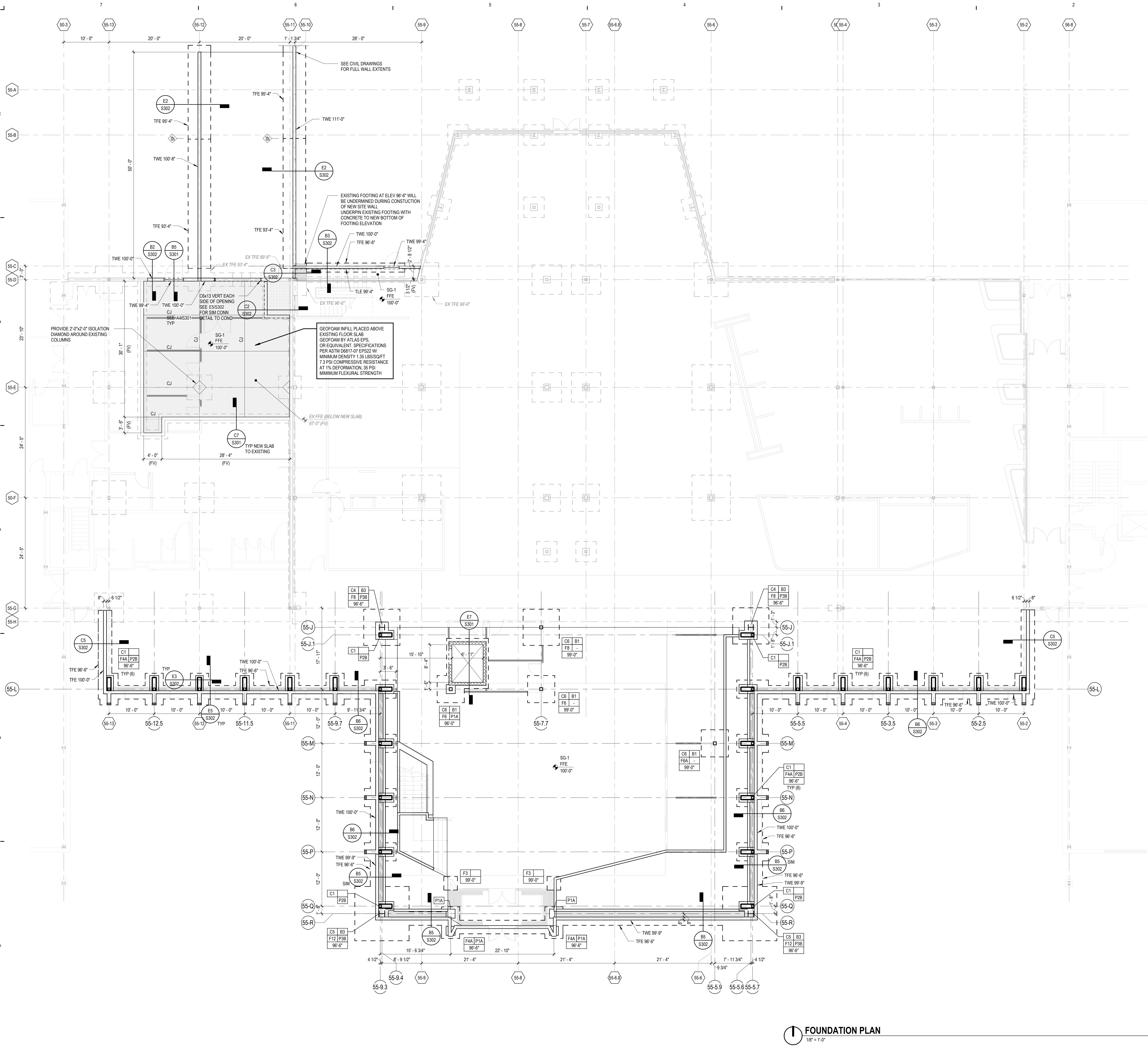
ROOF FRAMING DEMOLITION PLAN
1'8" = 1'-0"

KEY PLAN



10/31/2022 2:06:29 PM Autodesk Docs://61966056 - Amway Building 55 Renovation/61966056-AMWAY-BLDG55-STR.rvt
22
S101
FOUNDATION PLAN

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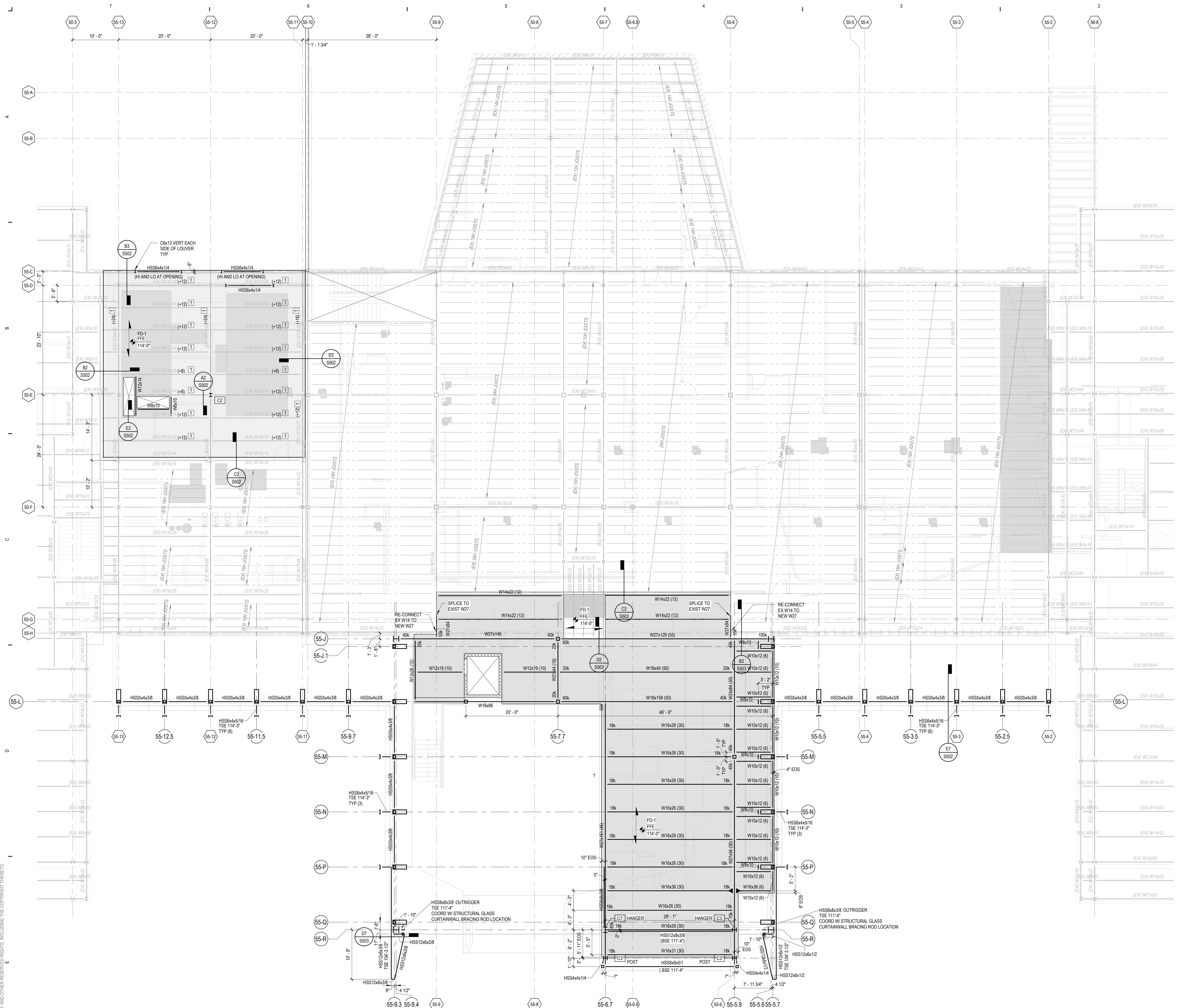
ISSUANCE

PROJECT NUMBER
61966056
PROJECT MANAGER
K. BRANDSEN
PROFESSIONAL
G.REED
DRAWN BY
M.KOLL
CHECKED BY
C.MASACEK

FOUNDATION PLAN

S101

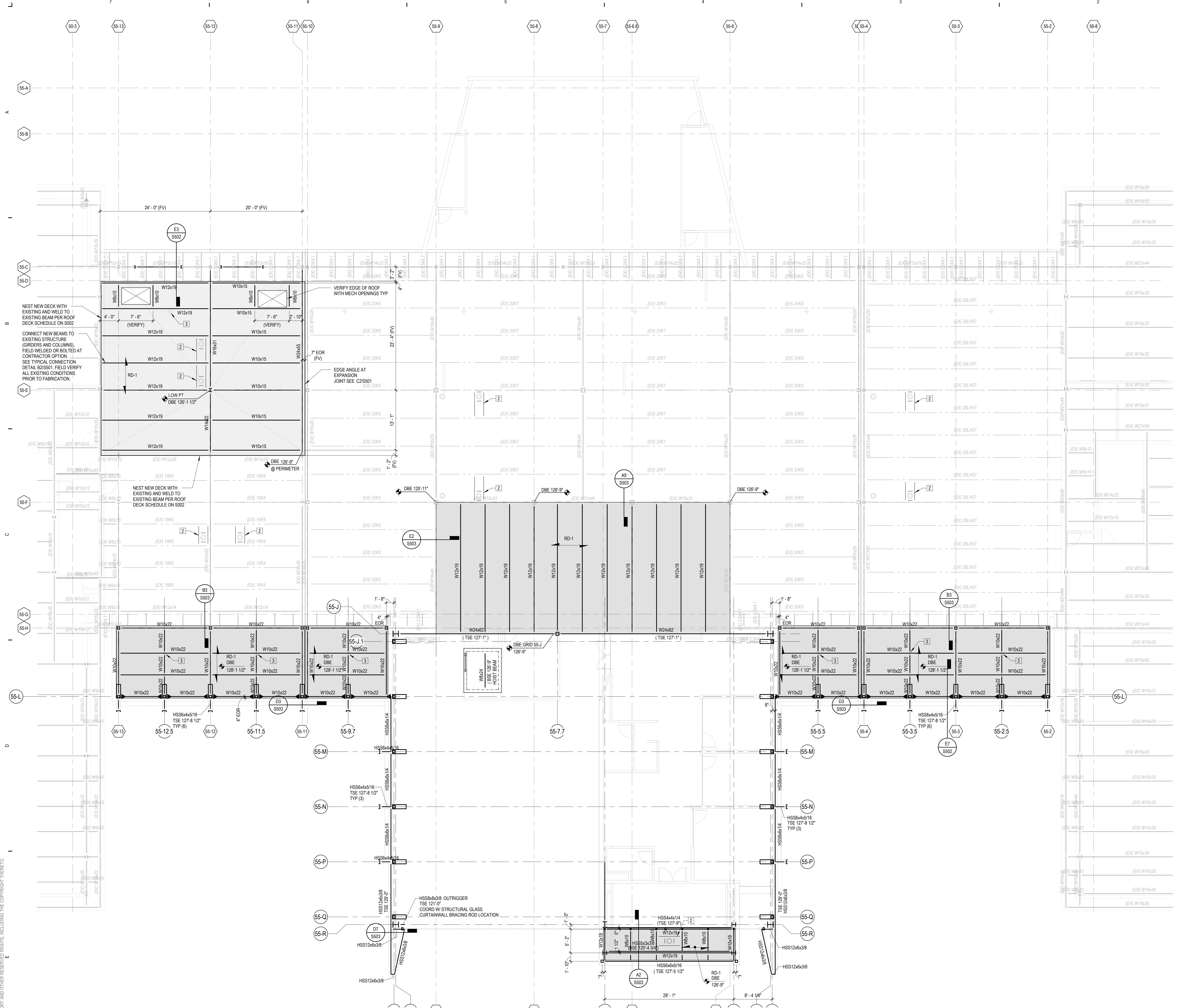
#	KEYNOTE LEGEND
NOTE	
1	REMOVE EXISTING ROOF DECK, AND REPLACE WITH NEW FLOOR DECK PER SCHEDULE QUANTITY AFTER BEAM DESIGNATION INDICATED NUMBER OF 3/4" X 3" LONG SHEAR CONNECTORS (HEADED STUDS) TO BE WELDED THROUGH NEW DECK ON TOP OF EXIST W-BEAM EQUALLY SPACED.
2	ROOF GROUT OPENING DETAIL A44SS01.
3	FALL PROTECTION SYSTEM STANCHION, SEE SPECIFICATIONS FOR REQUIREMENTS. SEE DETAIL B75SS01 FOR STRUCTURE ATTACHMENT INFORMATION & DETAILS.
4	ROOF GROUT OPENING TO BE CORE-DRILLED THROUGH NLT DECKING, CORE DIAMETER TO BE 1" LARGER THAN PIPE OD MAX.



AMWAY CORPORATION
BLDG. 55 / 56-2 RENOVATION

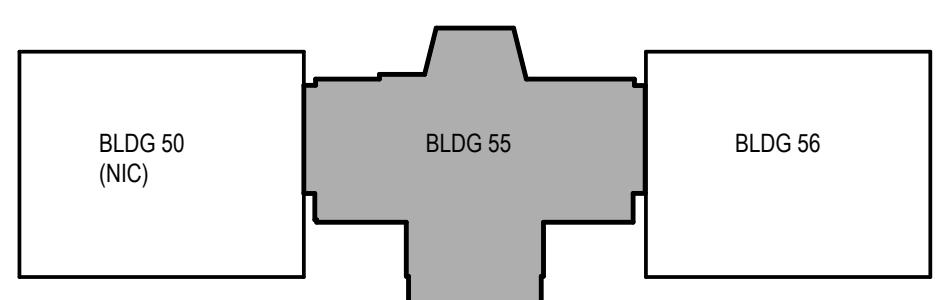
PROJECT NUMBER
61966056
PROJECT MANAGER
K. BRANDSEN
PROFESSIONAL
G. REED
DRAWN BY
M. KOLL
CHECKED BY
C. MASACK

ROOF FRAMING
PLAN
S103



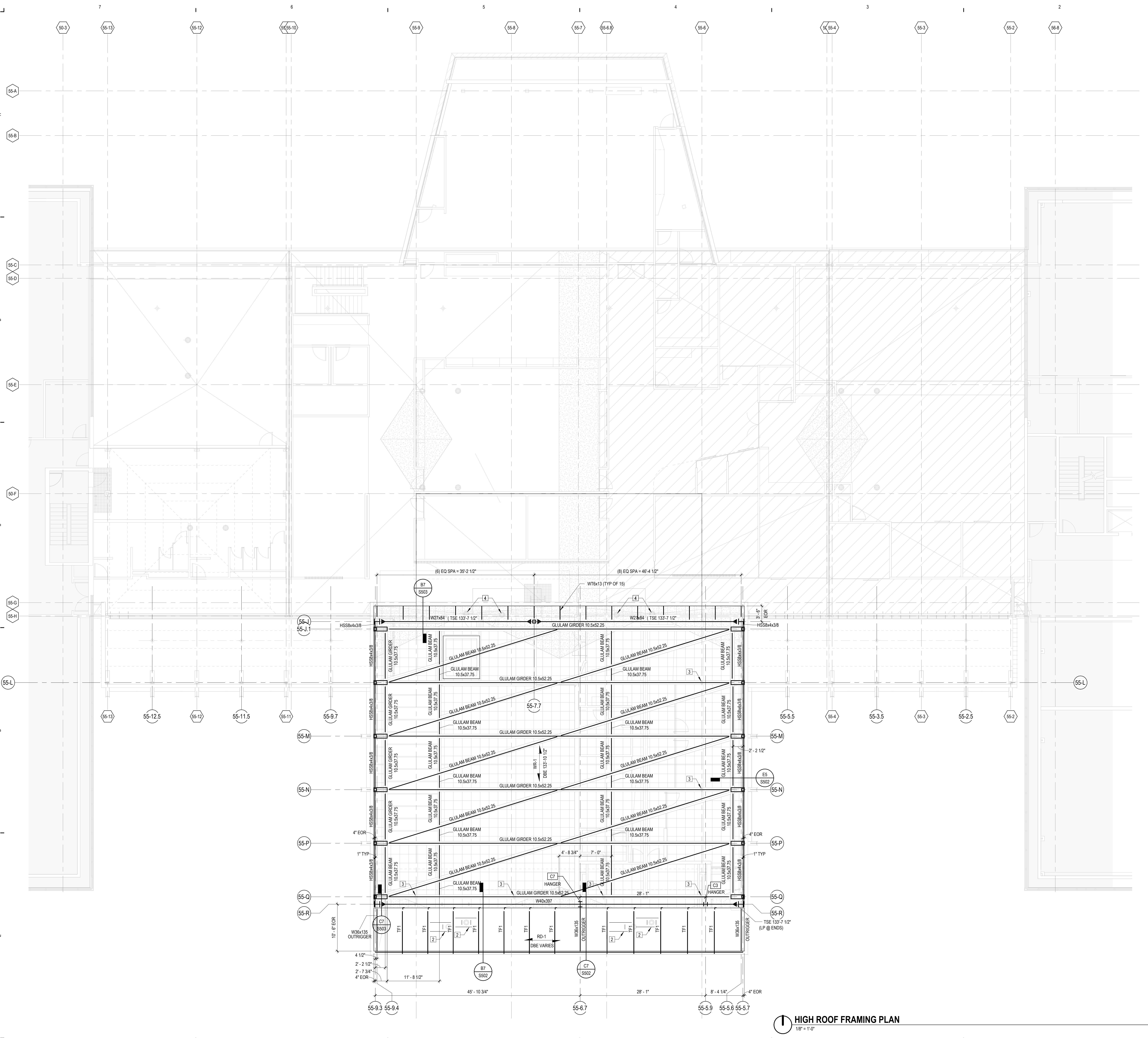
#	KEYNOTE LEGEND
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2	ROOF GUTTER TRIM, SEE DETAIL A4/S001.
3	FALL PROTECTION SYSTEM STANCHION, SEE SPECIFICATIONS FOR REQUIREMENTS. SEE DETAIL B7/S001 FOR STRUCTURE ATTACHMENT INFORMATION / DETAILS.
4	ROOF GROUT OPENING TO BE CORE-DRILLED THROUGH NLT DECKING, CORE DIAMETER TO BE 1" LARGER THAN PIPE OD MAX.

KEY PLAN



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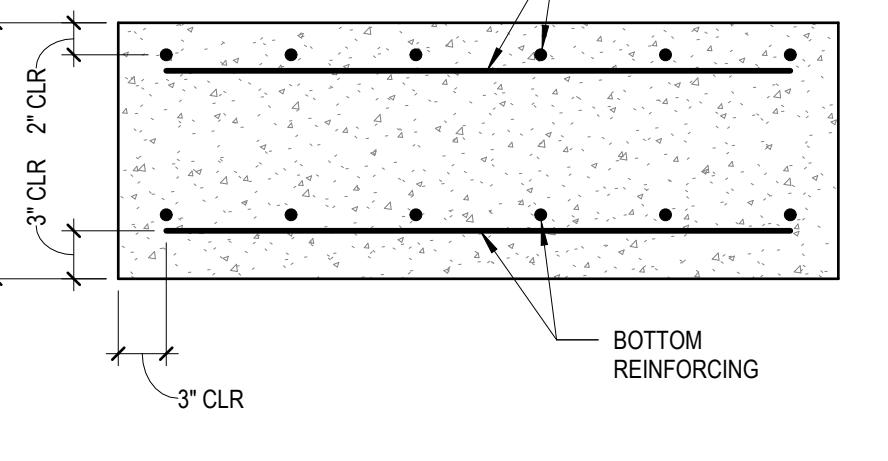
ISSUANCE
10/21/2022 BID PACKAGE 1
BIDS AND PERMIT

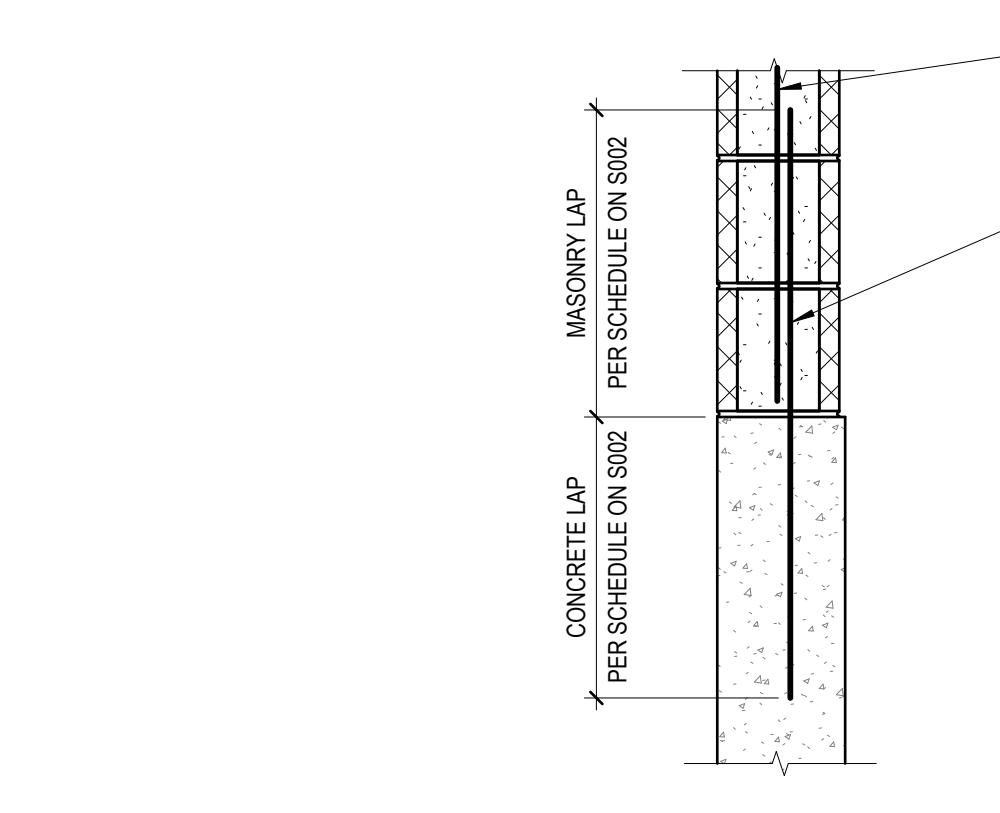


#	NOTE
1	REMOVE EXISTING ROOF DECK, AND REPLACE WITH NEW FLOOR DECK PER SCHEDULE. QUANTITY AFTER BEAM DESIGNATION INDICATED NUMBER OF 3/4"Ø X 3" LONG SHEAR CONNECTORS (HEADED STUDS) TO BE WELDED THROUGH NEW DECK ON TOP OF EXIST W-BEAM EQUALLY SPACED.
2	ROOF DRAIN FRAME. SEE DETAIL A4/S501.
3	FALL PROTECTION SYSTEM STANCHION, SEE SPECIFICATIONS FOR REQUIREMENTS. SEE DETAIL B7/S501 FOR STRUCTURE ATTACHMENT INFORMATION / DETAILS.
4	ROOD DRAIN OPENING TO BE CORE-DRILLED THROUGH NLT DECKING, CORE DIAMETER TO BE 1" LARGER THAN PIPE OD MAX.



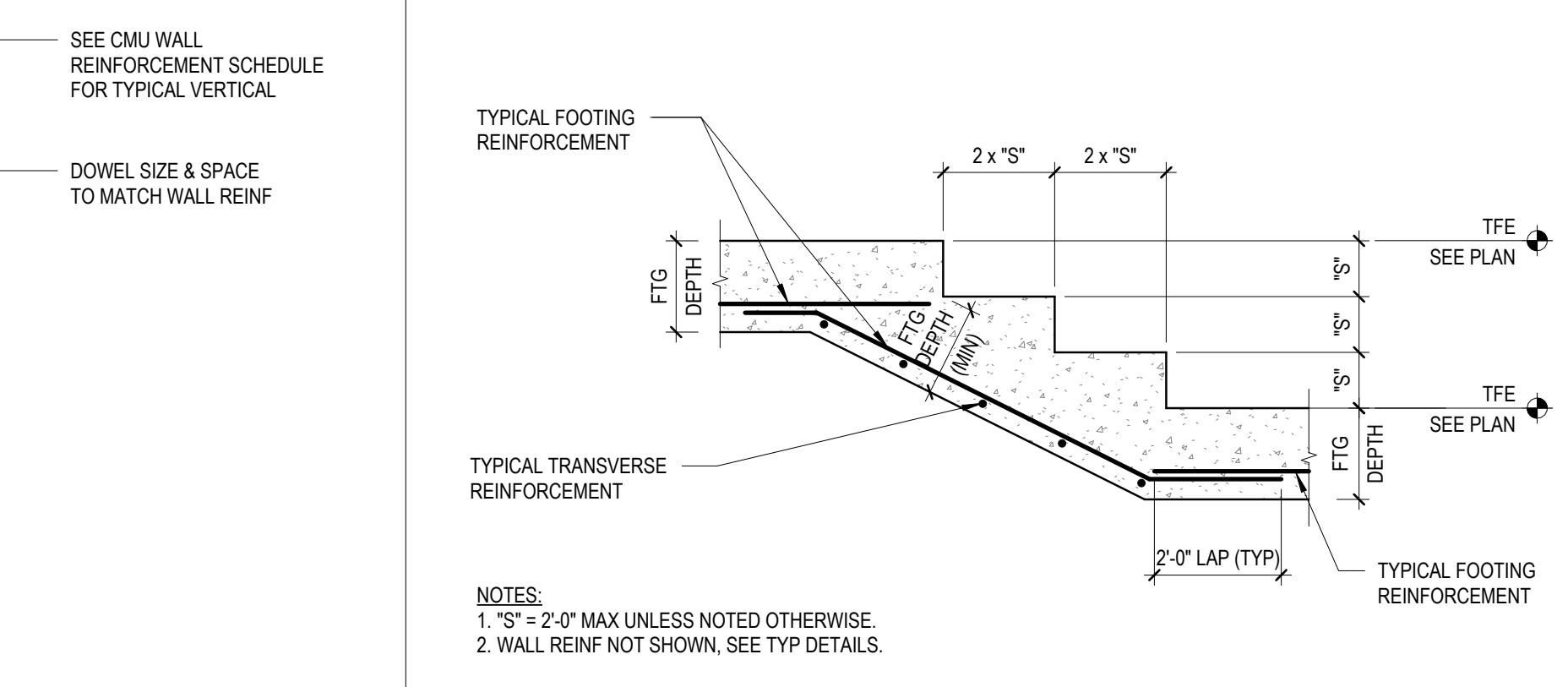
KEY PLAN

FOOTING SCHEDULE					
MARK	WIDTH	LENGTH	DEPTH	REINFORCING	COMMENTS
F3	3'-0"	3'-0"	1'-0"	(4) #6 EW BOT	
F4A	4'-0"	7'-0"	1'-0"	(6) #6 EW BOT	
F5	5'-0"	5'-0"	1'-0"	(6) #6 EW BOT	
F6	6'-0"	6'-0"	1'-0"	(7) #6 EW BOT	
F6A	6'-0"	6'-0"	1'-0"	(8) #6 EW BOT	
F7	7'-0"	7'-0"	1'-0"	(8) #6 EW BOT	
F8	8'-0"	8'-0"	1'-0"	(8) #6 EW BOT	
FOOTING NOTES:					
1. CENTER FOOTING ABOUT COLUMN ABOVE UNLESS NOTED OTHERWISE.					
TYPICAL FOOTING DETAIL:					
					



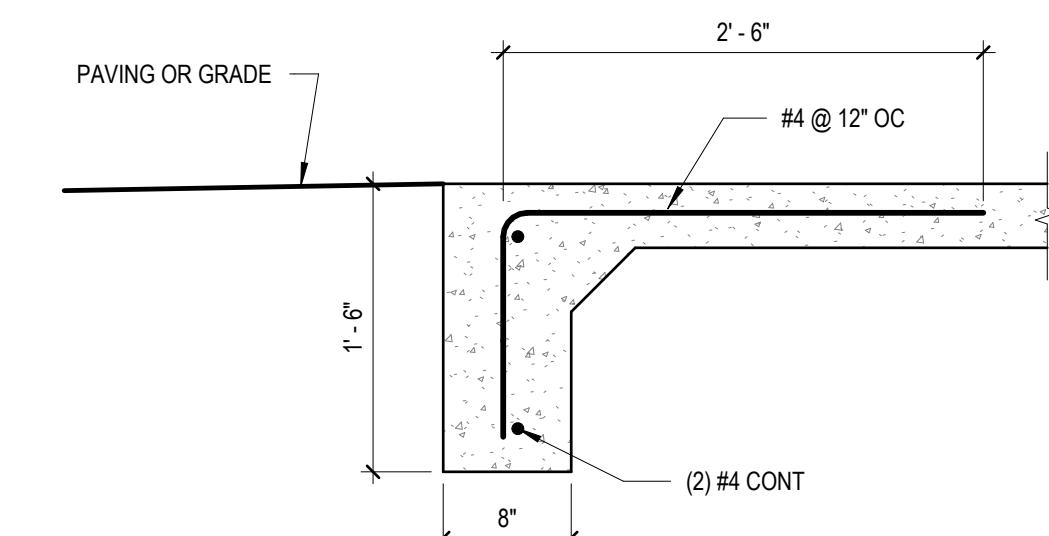
**TYPICAL CMU WALL DOWEL
INTO FOUNDATION WALL**

A7
NOT TO SCALE



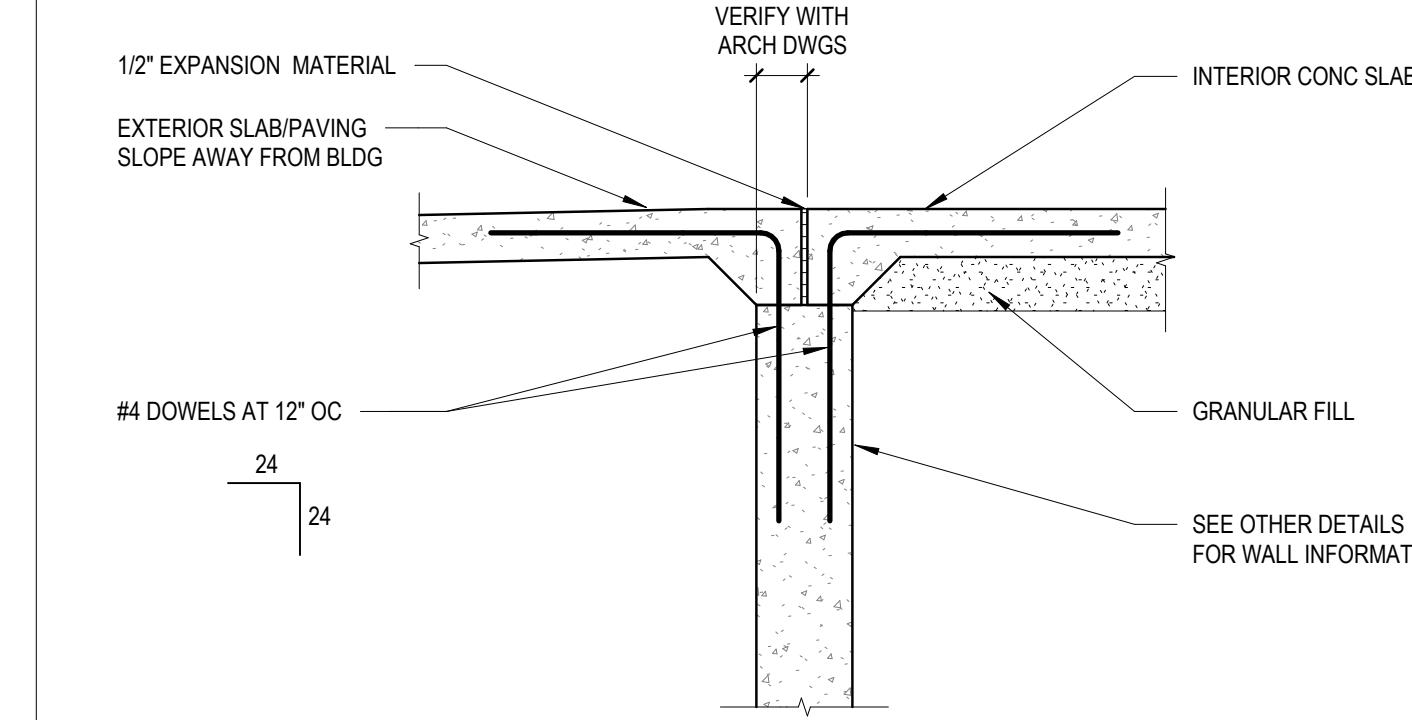
A5 TYPICAL STEPPED FOOTING

NOT TO SCALE



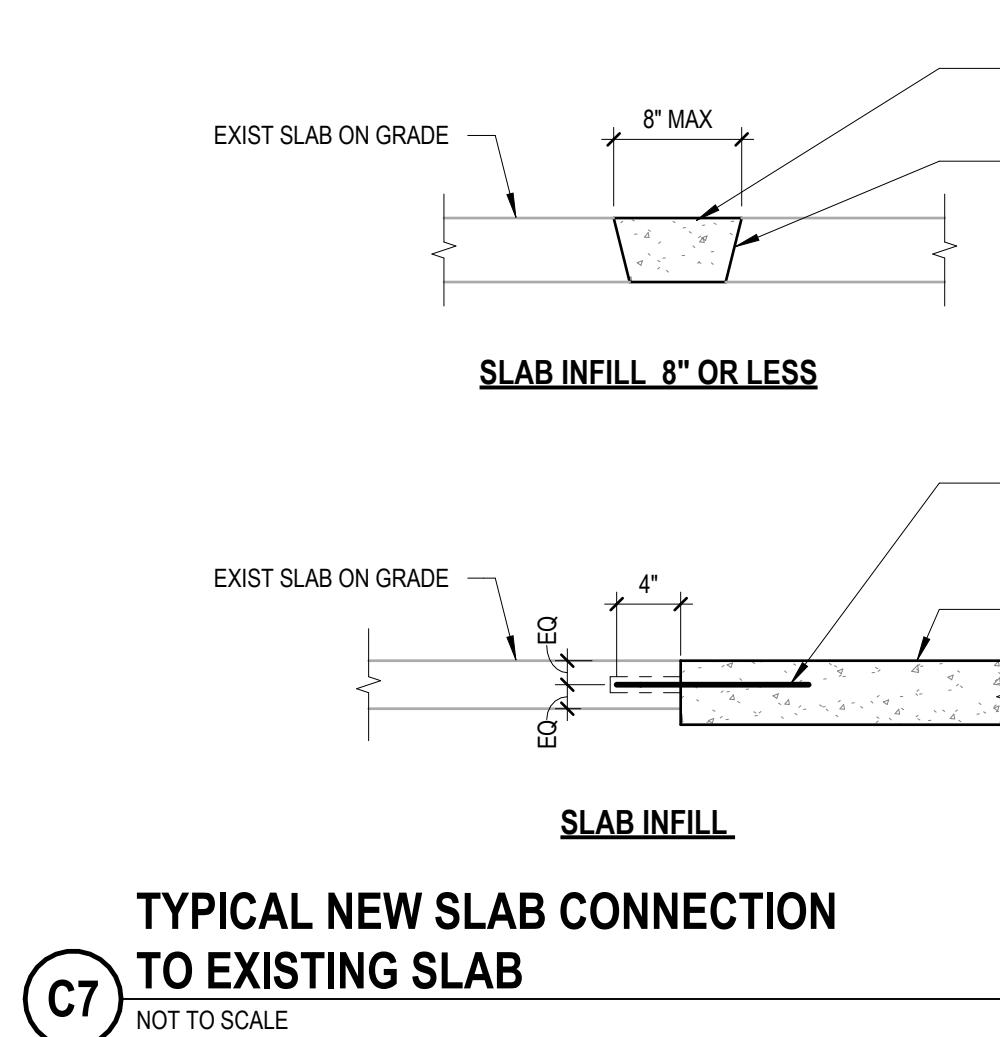
B7 TYPICAL STOOP/TURNED DOWN

NOT TO SCALE



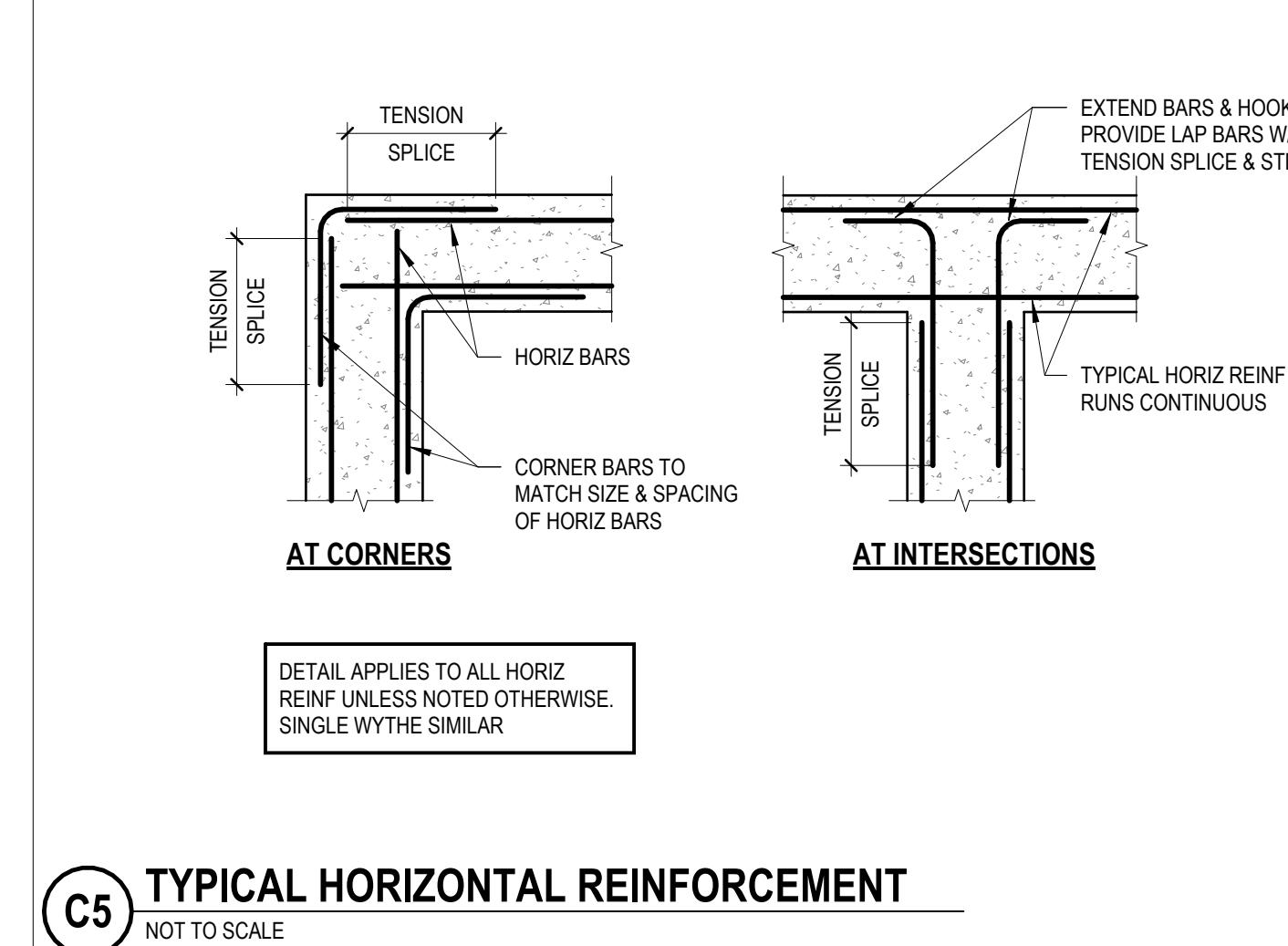
B5 TYPICAL THRESHOLD

NOT TO SCALE



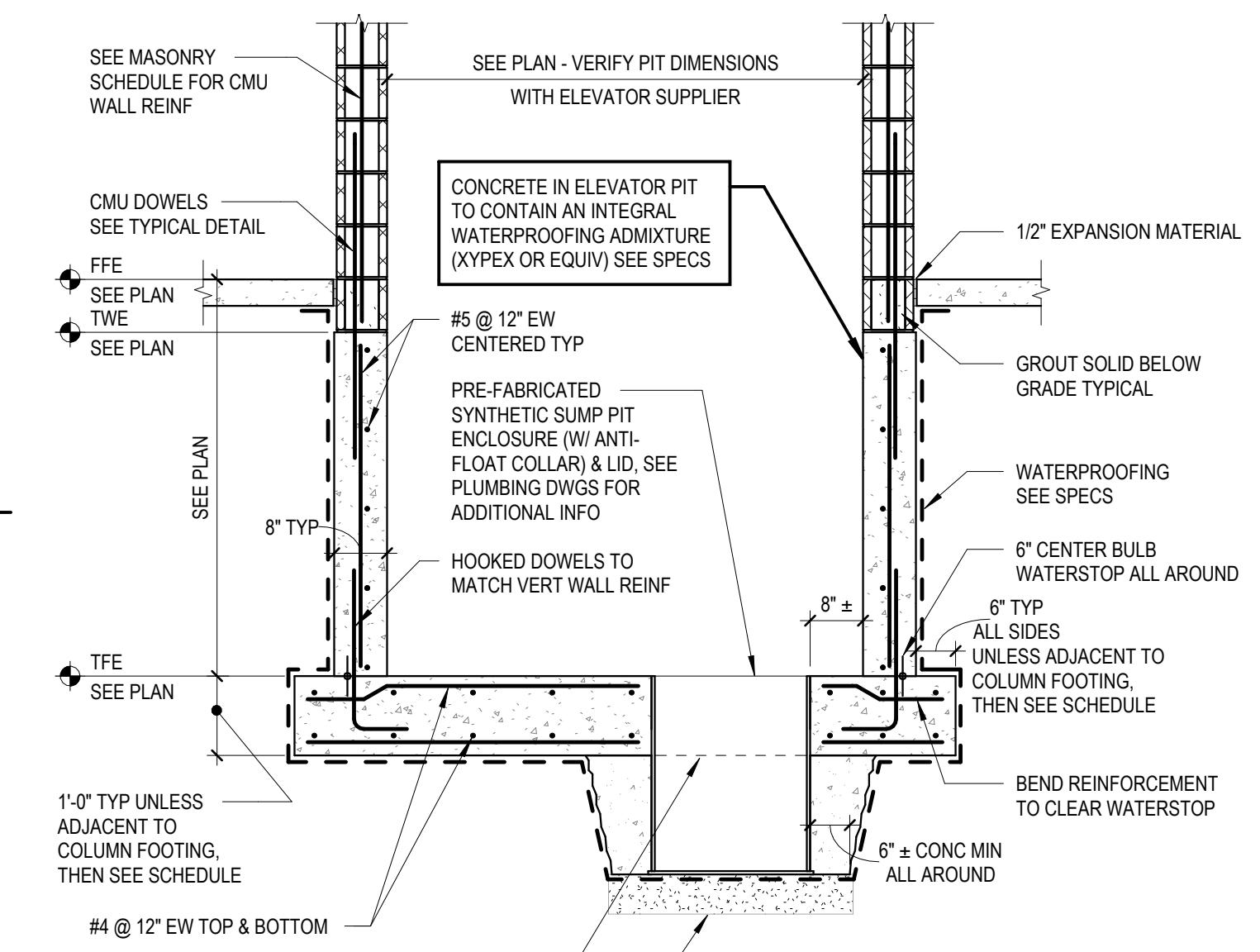
**TYPICAL NEW SLAB CONNECTION
TO EXISTING SLAB**

C7
NOT TO SCALE



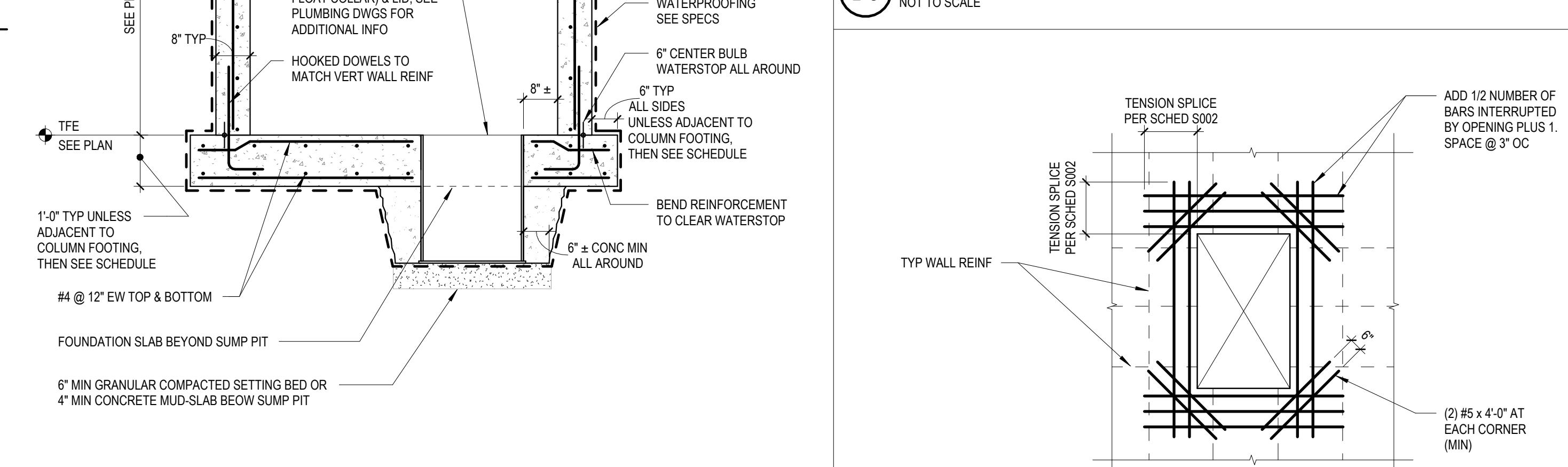
C5 TYPICAL HORIZONTAL REINFORCEMENT

NOT TO SCALE



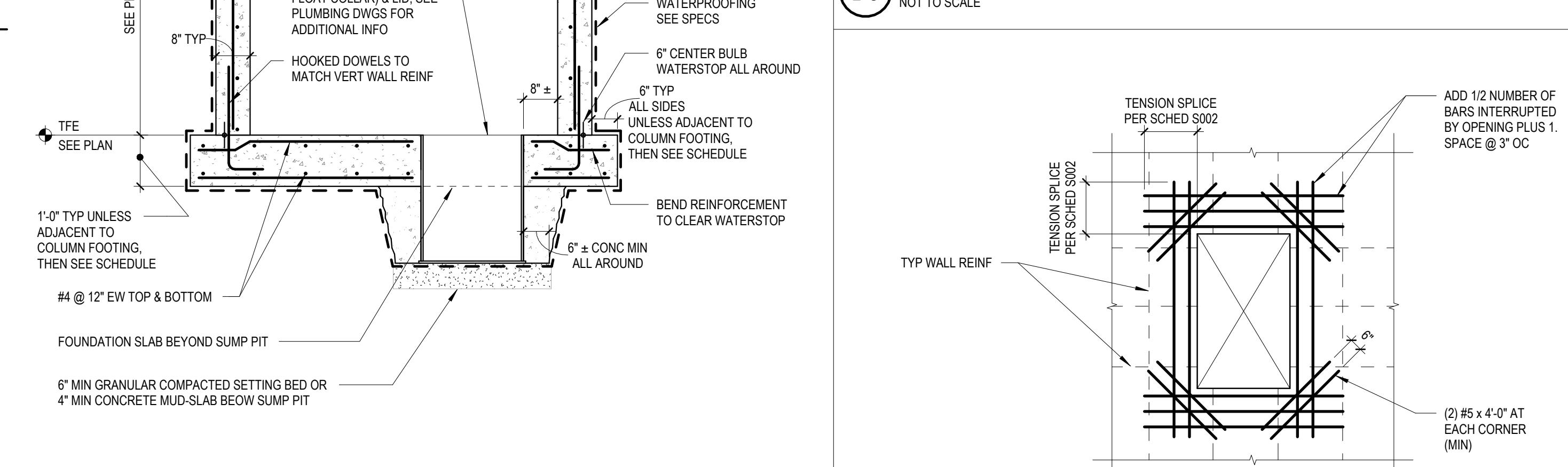
**D5 TYPICAL VERTICAL WALL CONSTRUCTION
AND CONTROL JOINTS**

NOT TO SCALE



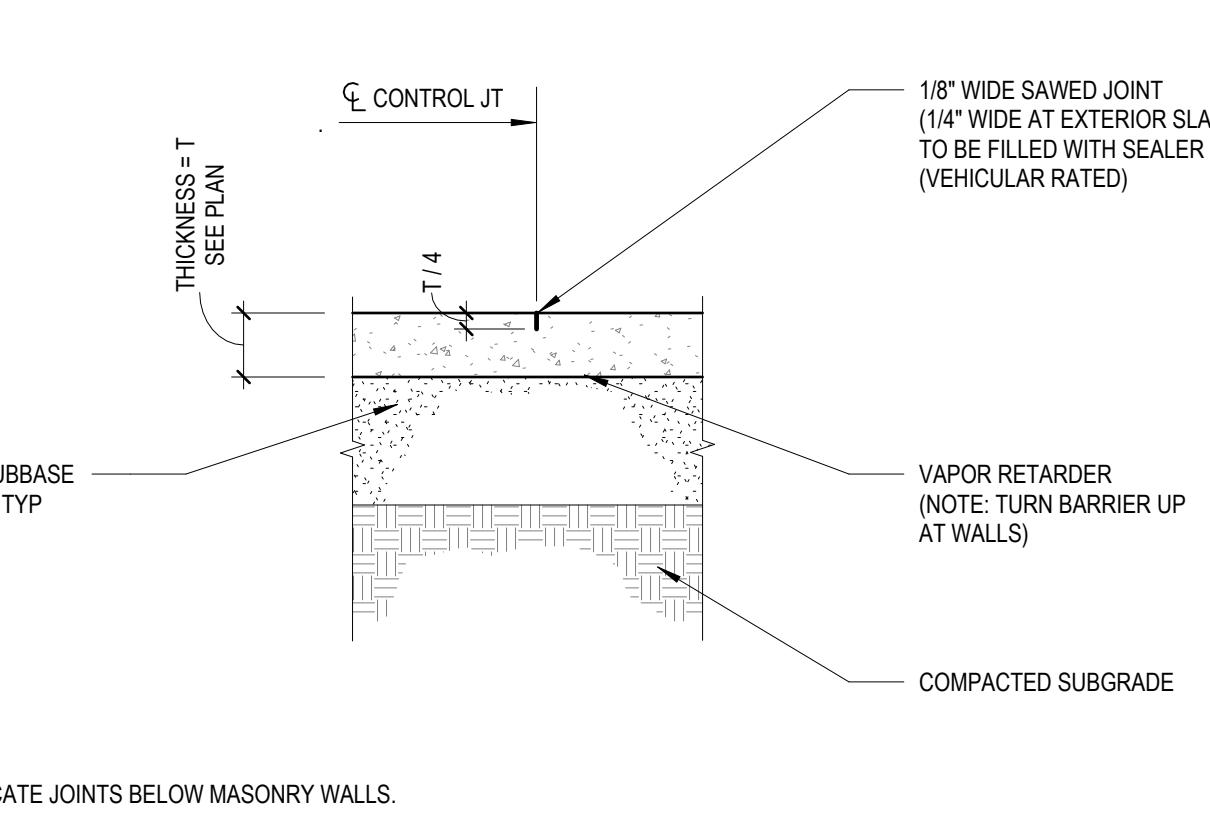
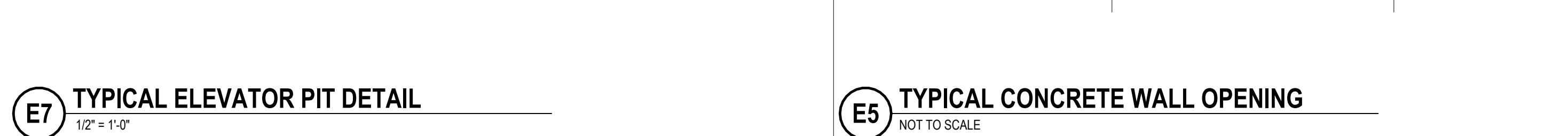
E7 TYPICAL ELEVATOR PIT DETAIL

1/2" = 1'-0"



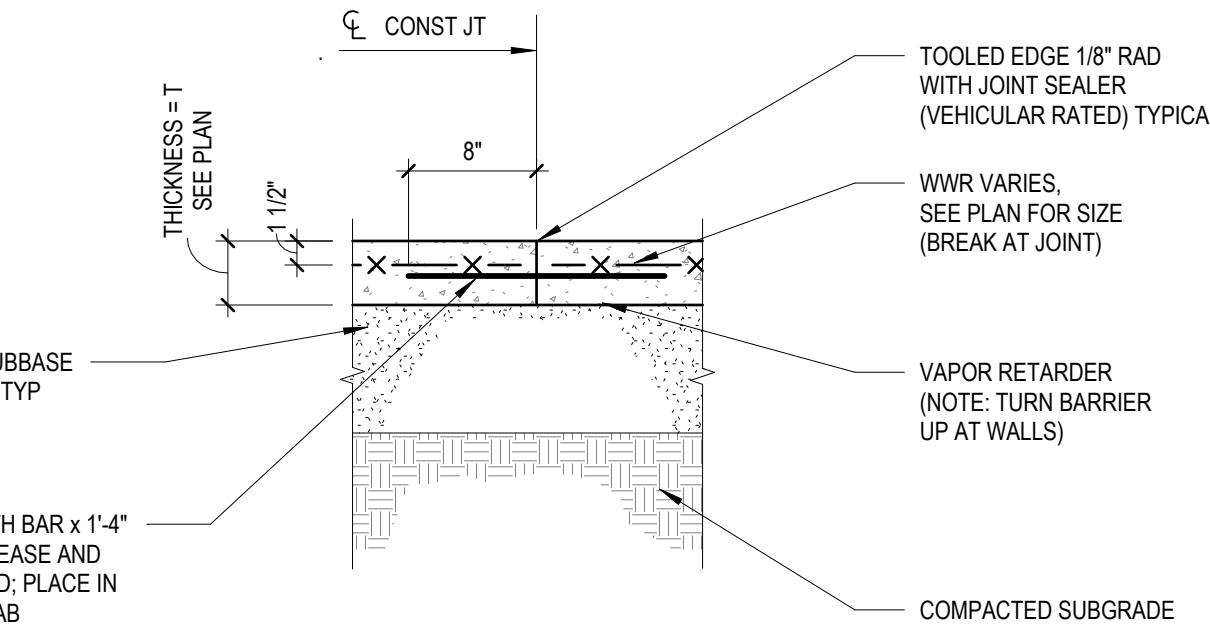
E5 TYPICAL CONCRETE WALL OPENING

NOT TO SCALE



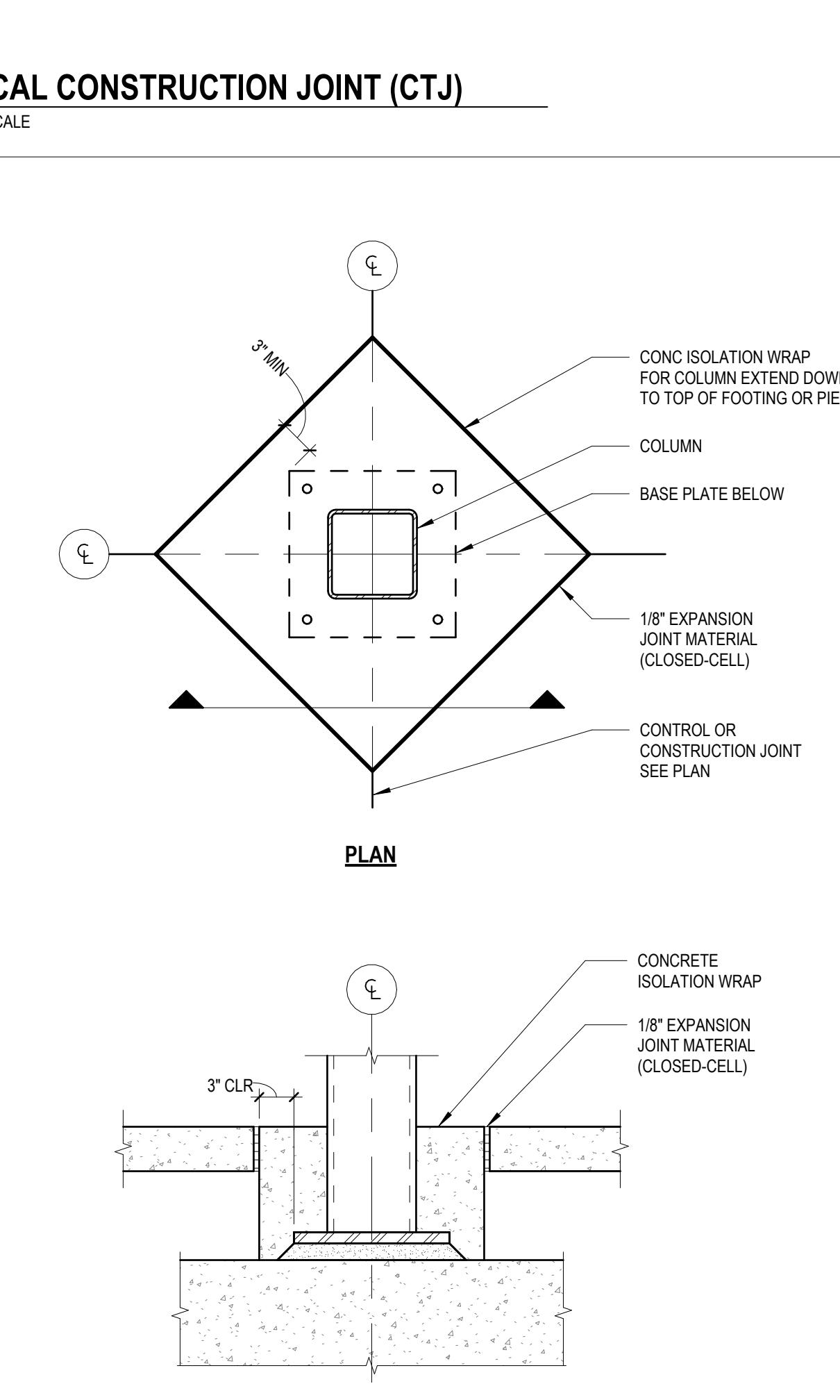
A4 TYPICAL CONTROL JOINT (CJ)

NOT TO SCALE



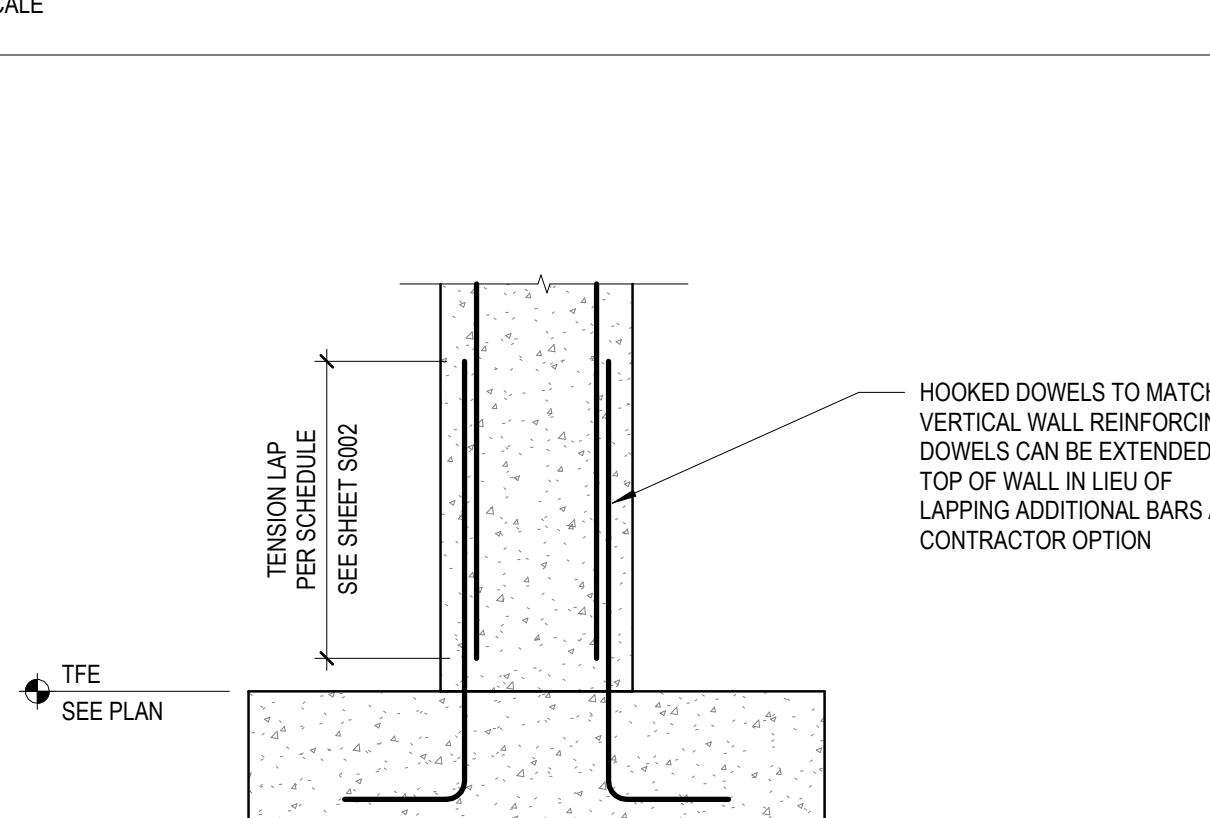
B4 TYPICAL CONSTRUCTION JOINT (CTJ)

NOT TO SCALE



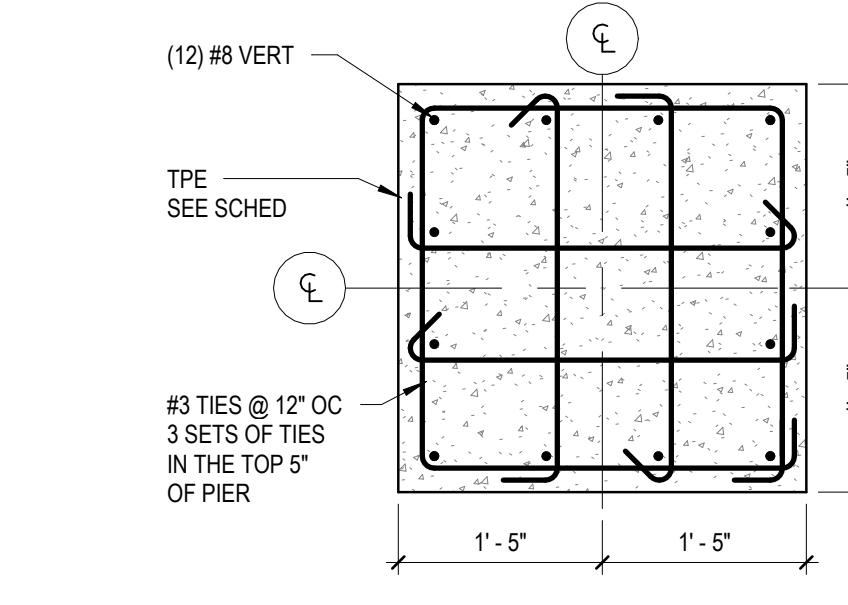
D4 TYPICAL COLUMN ISOLATION

NOT TO SCALE

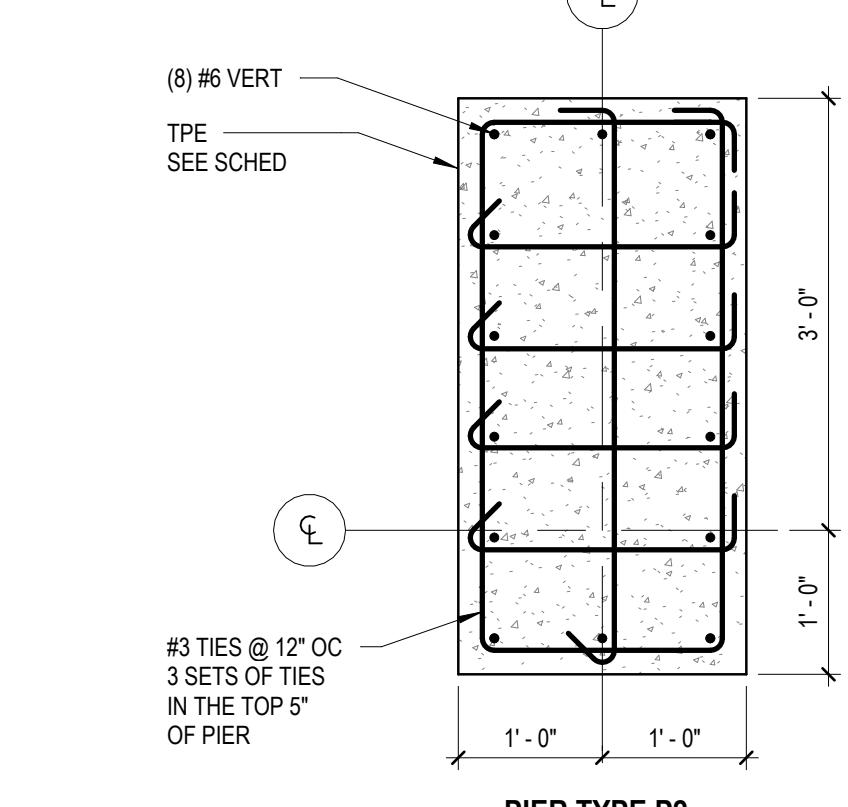


E4 TYPICAL FOUNDATION WALL DOWELS

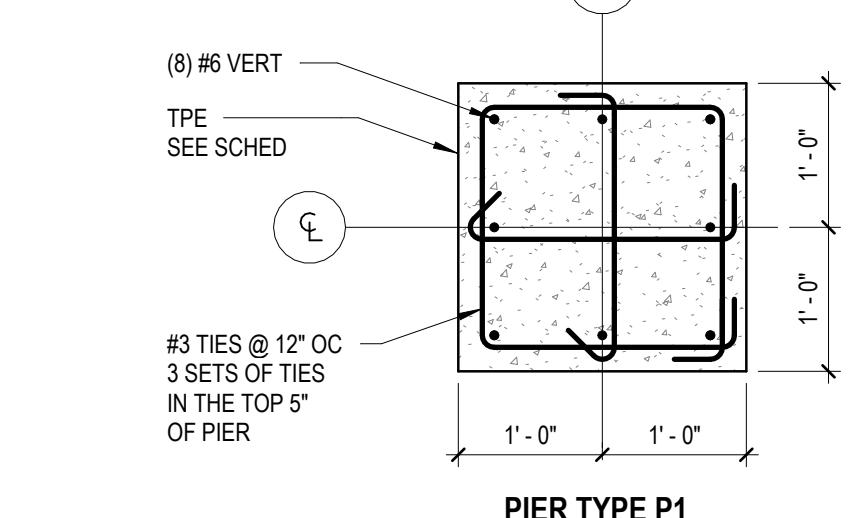
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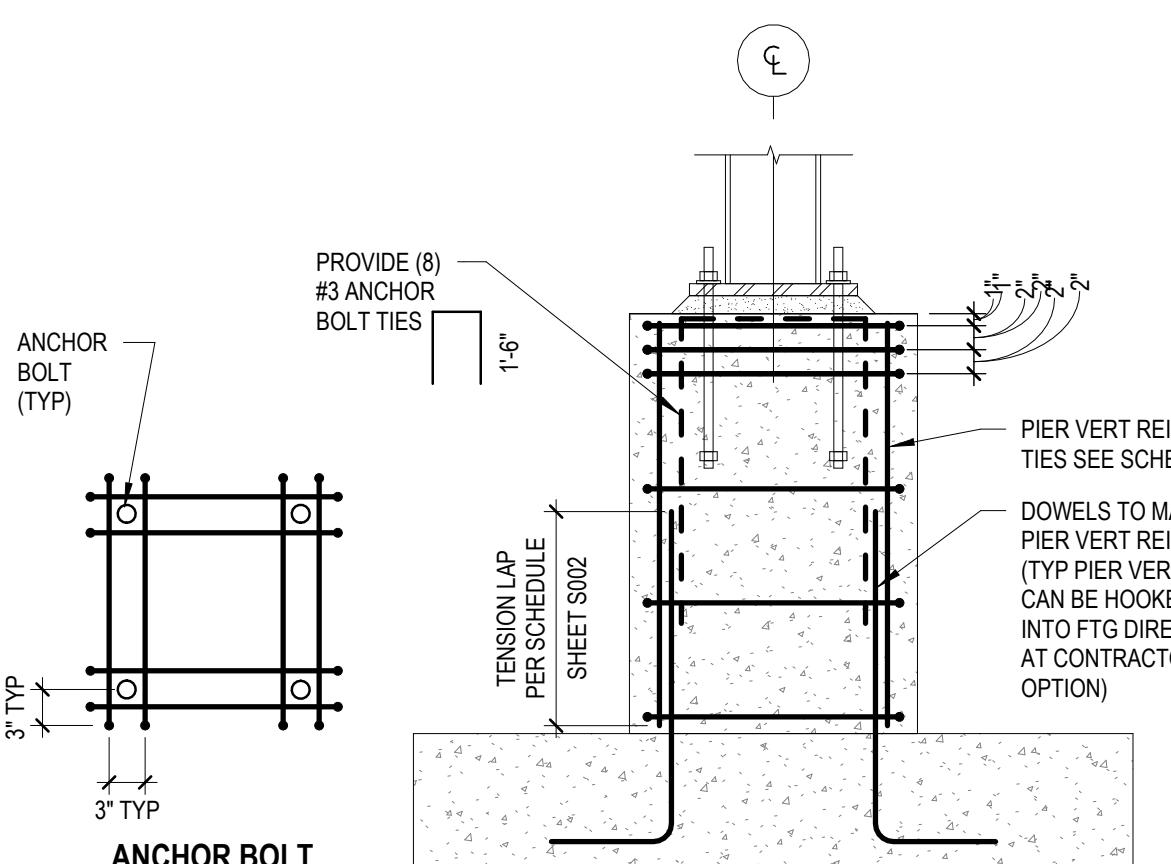
PIER TYPE P3



PIER TYPE P2

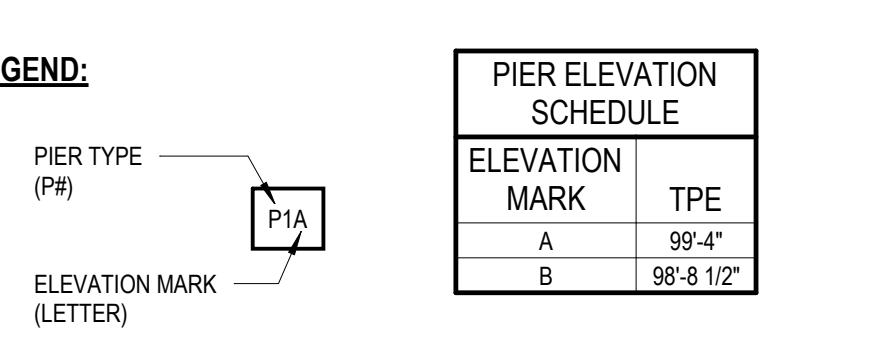
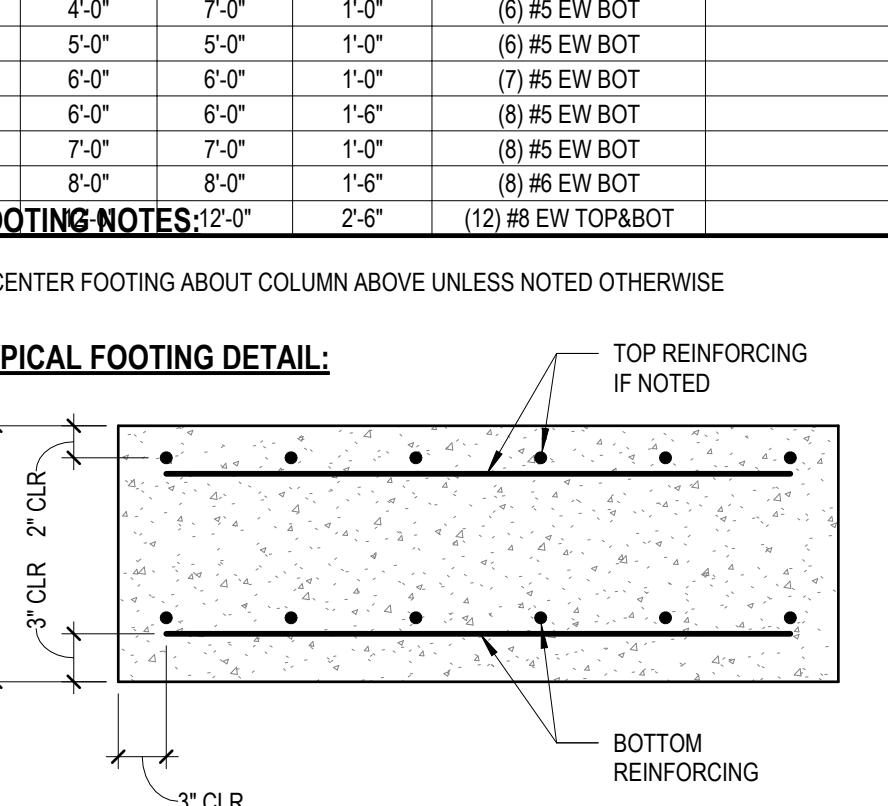


PIER TYPE P1



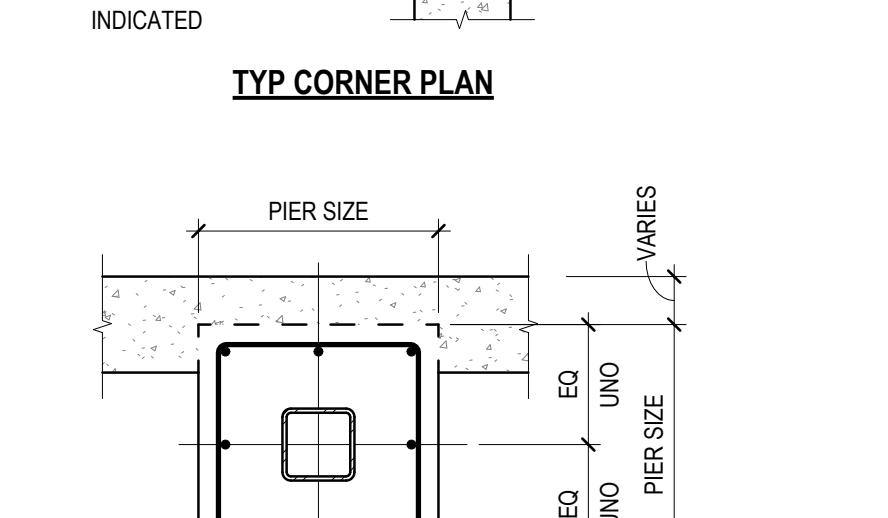
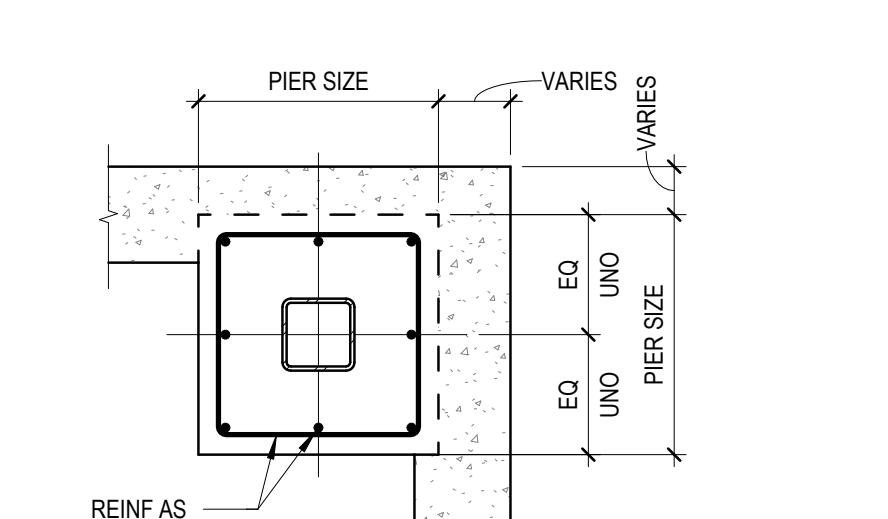
E1 PIER SCHEDULE & TYPICAL PIER DETAILS

NOT TO SCALE



PIER NOTES:
1. SEE ADJACENT PLAN DETAILS FOR PIER REINFORCEMENT FOR EACH TYPE.
2. SEE BELOW FOR TYPICAL PIER DETAILS UNLESS NOTED OTHERWISE.

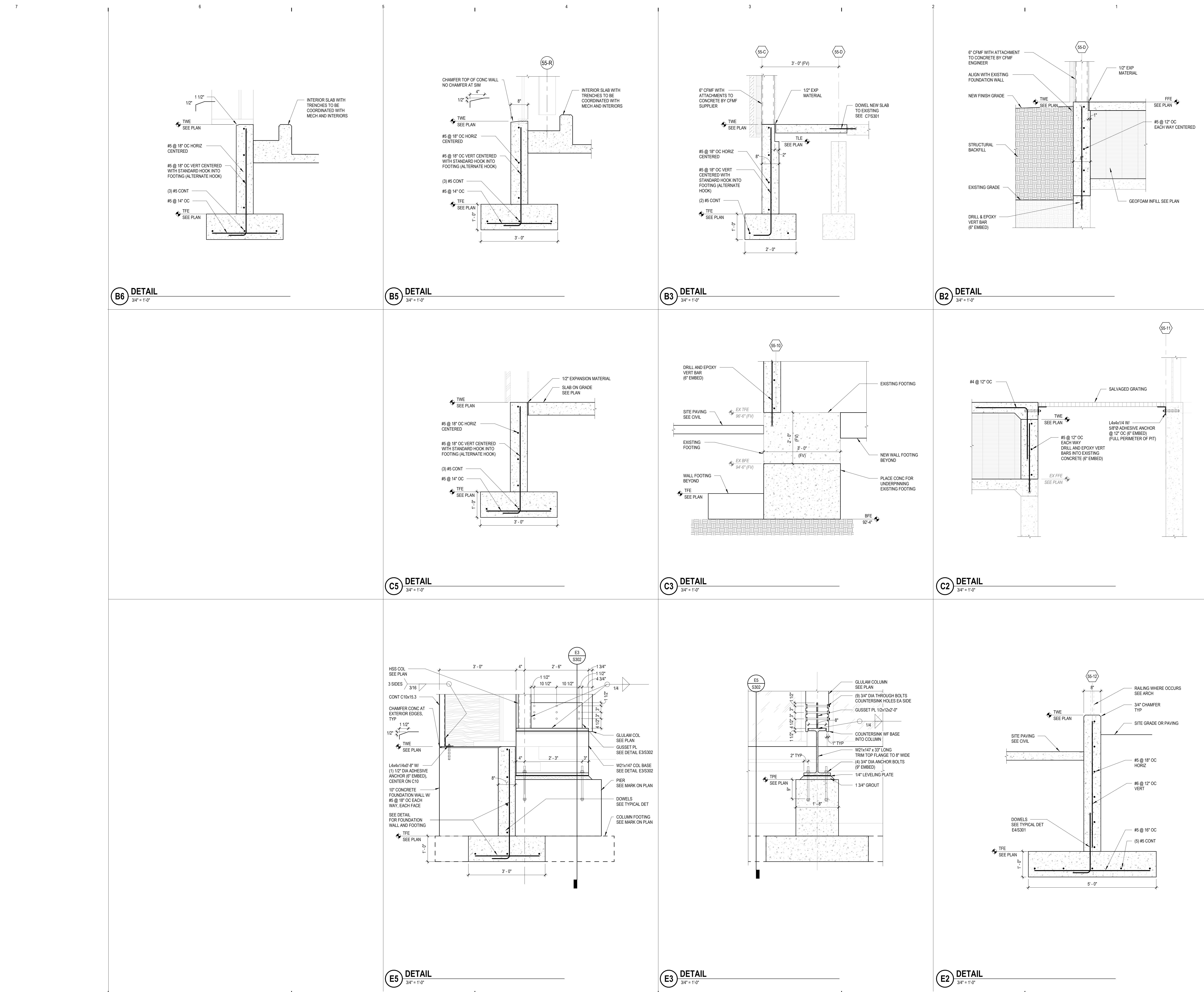
TYPICAL PIER DETAILS:



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ISSUE DATE
10/21/2022 BID PACKAGE 1
BIDS AND PERMIT

PROJECT NUMBER
61966056
PROJECT MANAGER
K. BRANDSEN
PROFESSIONAL
G. REED
DRAWN BY
M. KOLL
CHECKED BY
C. MASACK



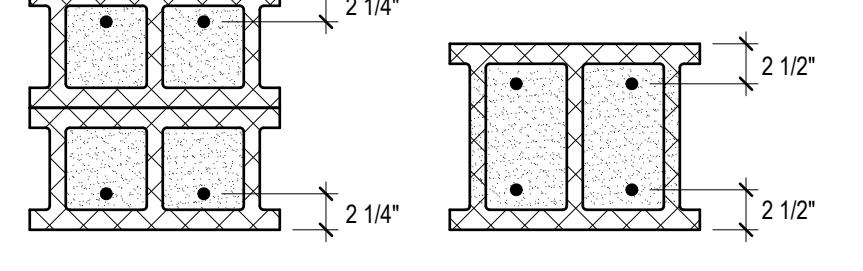
MASONRY WALL REINFORCING SCHEDULE				
WALL TYPE	CMU SIZE	REINFORCING VERTICAL	BOND BEAMS	GROUT SPACING
W1	8"	#5 @ 32" OC	-	32"
W2	12"	(2) #6 @ 16" OC	NOTE A	SOLID NOTE B
W3	12"	#5 @ 16" OC	-	24"
W4	12"	#5 @ 16" OC	-	16"
W5	12"	#5 @ 16" OC	-	16"

TYPICAL SCHEDULE NOTES (APPLY TO ALL WALL TYPES):
 1. REINFORCING DEFINED IN SCHEDULE IS THE MINIMUM REQUIRED. SEE PLANS.
 2. PROVIDE BOND BEAMS REINFORCED WITH (2) #5 CONTINUOUS AT TOP OF ALL CMU WALLS, AT FLOOR & ROOF LEVELS, AND WHERE SHOWN IN DETAILS.
 3. SEE S401 FOR TYPICAL MASONRY DETAILS, ALL OF WHICH APPLY UNLESS NOTED OTHERWISE.

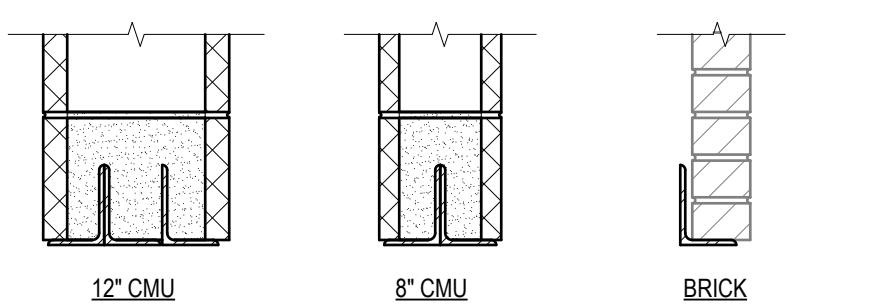
4. SEE ARCHITECTURAL DRAWINGS FOR WALL LOCATIONS NOT DEFINED HEREIN.

OTHER NOTES (APPLY WHERE NOTED):
 A. PROVIDE BOND BEAMS REINFORCED W/ (2) #5 CONTINUOUS AT 8'-0" OC VERTICALLY.

B. ONE VERT BAR EACH FACE - SEE



DOUBLY REINFORCED WALL BAR PLACEMENT DIAGRAM



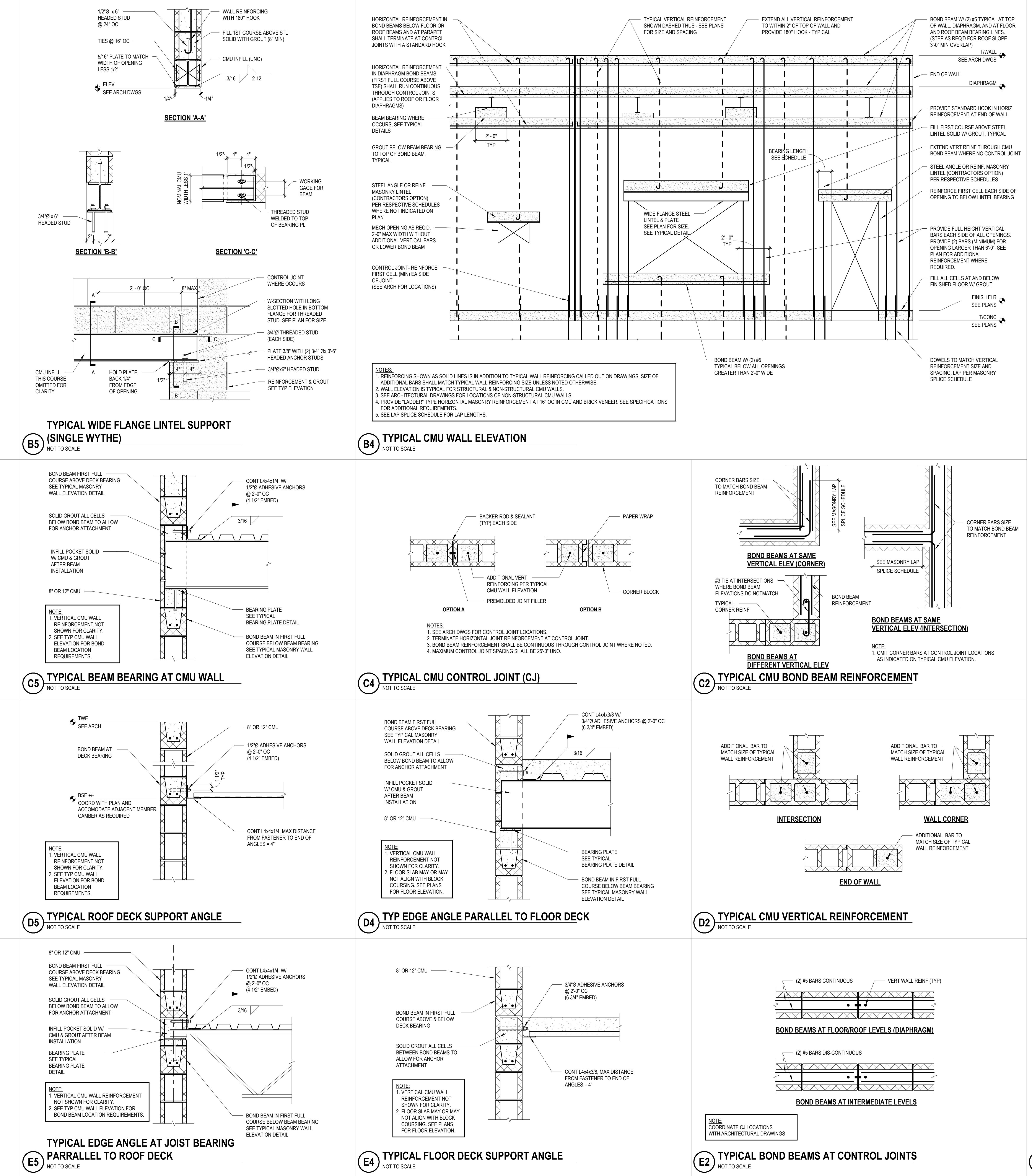
STEEL ANGLE LINTEL SCHEDULE FOR BRICK AND NON-STRUCTURAL CMU		
CLEAR SPAN	LINTEL	BEARING EA END
UP TO 9'	L3 1/2 x 3 1/2 x 5/16	6"
>9' TO 17'	L4 3 1/2 x 5/16 (LLV)	8"
>7' TO 8'	L5 x 3 1/2 x 5/16 (LLV)	8"
>8' TO 9'	L5 x 3 1/2 x 3/8 (LLV)	8"
>9' TO 10'	L6 x 3 1/2 x 3/8 (LLV)	8"
OVER 10'	SEE PLAN	8"

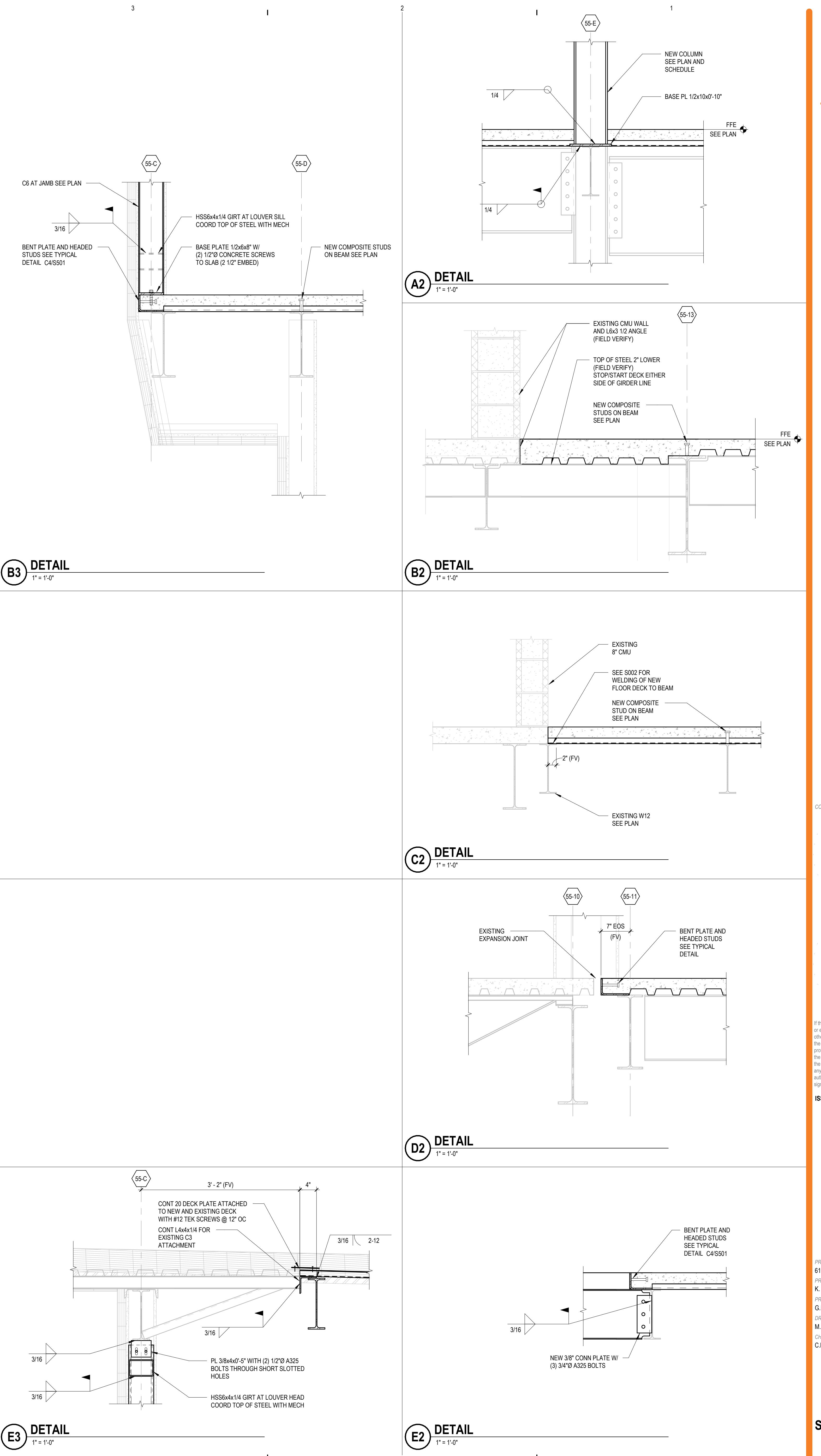
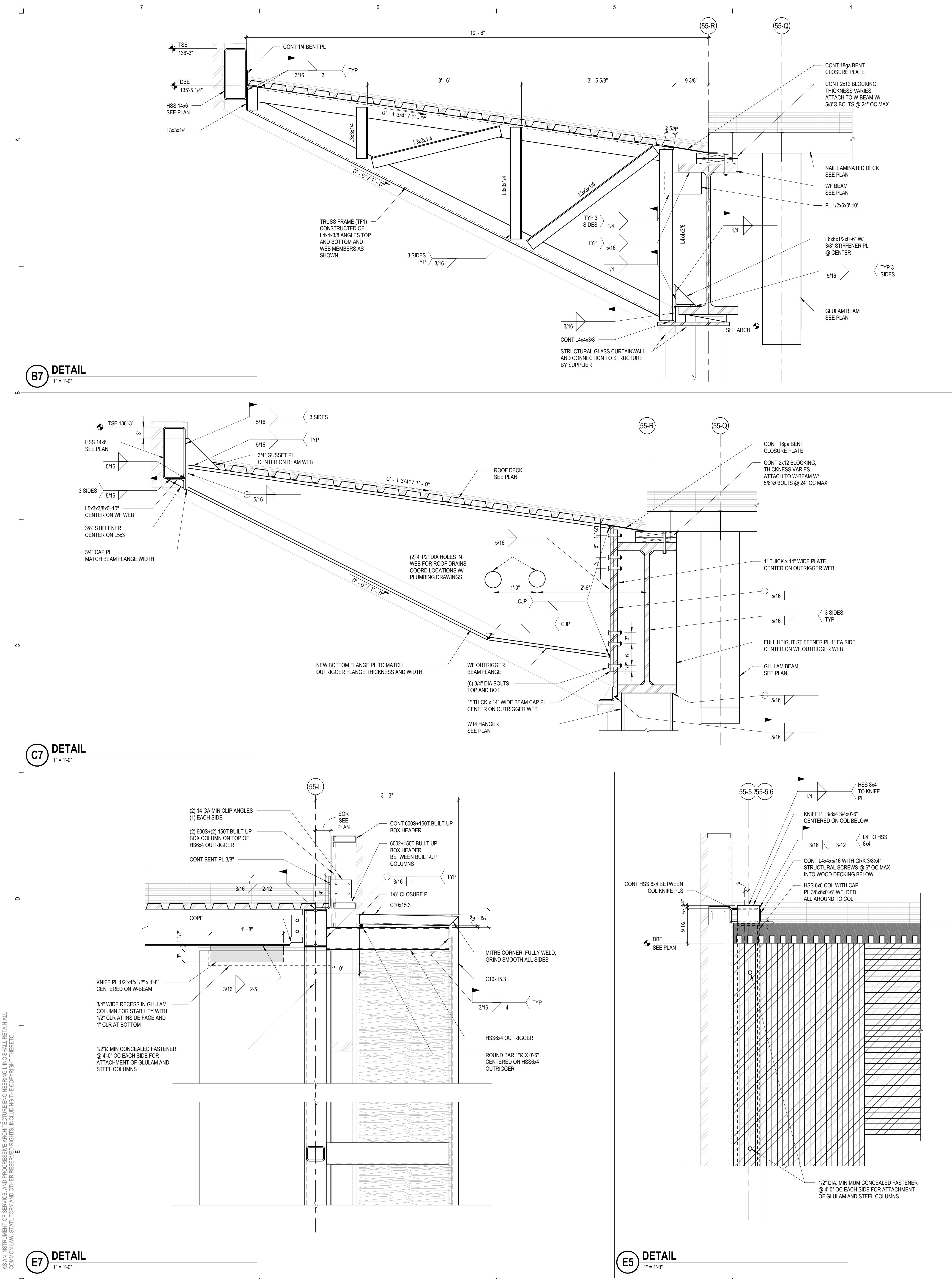
NOTES:
 1. PROVIDE ONE ANGLE FOR EACH 4" OR LESS THICKNESS OF MASONRY
 2. SEE ARCHITECTURAL DRAWINGS FOR OPENING LOCATION AND CLEAR SPAN

MASONRY LAP SPLICE SCHEDULE		
PLACE-MENT	CENTER	EDGE
	8" CMU	12" CMU
#3	18"	18"
#4	24"	24"
#5	30"	30"
#6	38"	57"
#7	-	80"
#8	-	50"

BEARING PLATE SCHEDULE			
MARK	SIZE (PL thick x width x length)	STUDS	REMARKS
(BP1)	PL 1/2" x 6" x 0'-8"	(2) 1/2" x 0'-4"	
(BP2)	PL 1/2" x 7-1/2" x 1'-6"	(2) 1/2" x 0'-6"	
(BP3)	PL 3/8" x 8" x 1'-0"	(2) 1/2" x 0'-4"	


NOTES:
1. ALL BEARING PLATES ARE TYPE "BP1" UNLESS NOTED ON PLAN BELOW BEAM DESIGNATION.
2. VERTICAL CMU WALL REINFORCEMENT NOT SHOWN FOR CLARITY.
3. DECK OR EDGE ANGLE NOT SHOWN FOR CLARITY.
4. SEE TYPICAL WALL ELEVATION FOR BOND BEAM LOCATION REQUIREMENTS.





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ISSUANCE
10/21/2022 BID PACKAGE 1
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DEMOLITION NOTES AND LEGEND

- EXISTING BUILDING CONDITION BASED ON OWNER PROVIDED DRAWINGS AND LIMITED FIELD VERIFICATION. VERIFY EXACT CONDITIONS IN FIELD. SHOULD DISCREPANCIES OCCUR, NOTIFY ARCHITECT FOR CLARIFICATIONS.
- BEGINNING WORK INDICATES THAT THE CONTRACTOR HAS ACCEPTED AND VERIFIED EXISTING CONDITIONS.
- COORDINATE DEMOLITION WITH ALL CONTRACTORS WORKING IN AREAS BEING RENOVATED.
- DURING DEMOLITION, PROTECT ALL ADJACENT CONSTRUCTION TO REMAIN.
- ANY ASBESTOS CONTAINING MATERIALS THAT ARE ENCOUNTERED ARE TO BE REMOVED AND DISPOSED OF PROPERLY.
- REFER TO CIVIL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ITEMS TO BE REMOVED NOT SHOWN HERE.
- COORDINATE THE RETURN AND STORAGE OF ALL ITEMS DESIGNATED AS EXISTING CONSTRUCTION TO REMAIN.
- PROVIDE TEMPORARY SHORING AND/OR STAGING OF THE DEMOLITION WORK.
- COORDINATE CONSTRUCTION BARRIER LOCATIONS. NOISY DEMOLITION / CONSTRUCTION, AND WORK NOTED "INTERMITTENT" WITH OWNER.
- HATCHED AREAS OF EXISTING STRUCTURE ARE NOT INDICATED IN LAYOUTS. REMOVE ALL SOFFITS, DOORS, FLOORING, WINDOWS, WALL SIGNAGE, CEILINGS, EXTERIOR SOFFITS, FIXTURES, MILLWORK, EQUIPMENT, ETC. UNLESS NOTED OTHERWISE. OWNER TO REVIEW SALVAGEABLE ITEMS FOR POTENTIAL RE-USE. SEE NOTE 6.

EXISTING CONSTRUCTION TO REMAIN

EXISTING CONSTRUCTION TO BE REMOVED

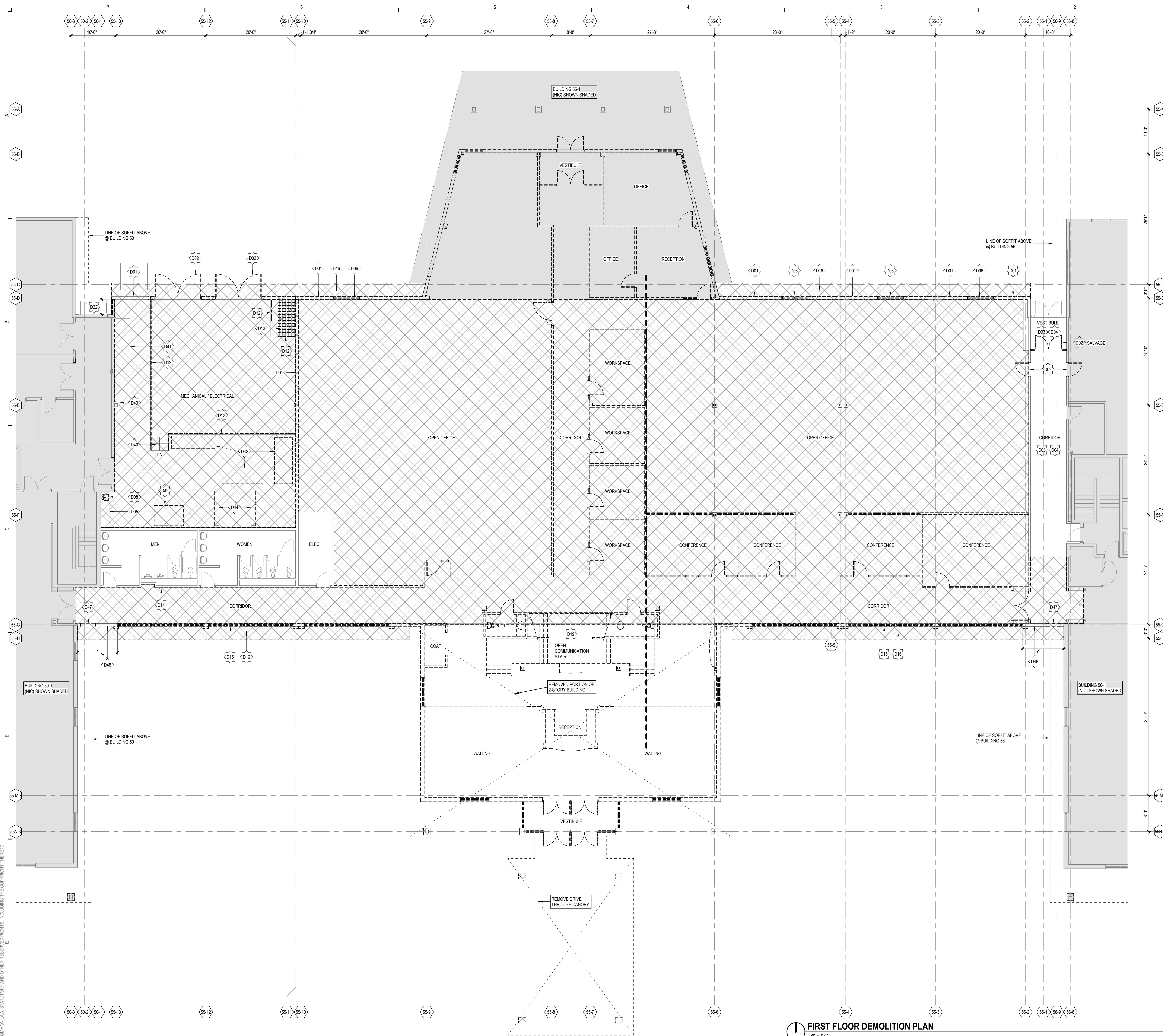
FULL INTERIOR AND EXTERIOR NON-STRUCTURAL DEMOLITION UNLESS NOTED OTHERWISE. (SEE GENERAL NOTE 1 ABOVE)

REMOVE SINGLE PLY MEMBRANE ROOF ASSEMBLY IN ENTIRETY ABOVE ROOF DECK. REMOVE ALL ASSOCIATED WALL FLASHING. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK

AREA NOT IN CONTRACT (NIC)

DEMOLITION PLAN KEYNOTES

NUMBER	NOTE
D01	REMOVE WALL OR PORTION OF WALL AS SHOWN
D02	REMOVE DOOR, FRAME AND HARDWARE
D03	REMOVE CEILING
D04	REMOVE FLOORING
D05	REMOVE CASEWORK
D06	REMOVE WINDOW
D08	REMOVE PLUMBING FIXTURE(S) AS SHOWN
D12	REMOVE STEEL PIPE GUARD RAIL
D13	REMOVE STEEL FLOOR GRATE SALVAGE FOR REUSE
D14	REMOVE EXTERIOR WALL ASSEMBLY INCLUDING DRYWALL, METAL STUD FRAMING, INSULATION, SHEATHING, WINDOWS, EIFS AND STONE VENEER
D16	REMOVE EXTERIOR SOFFIT INCLUDING METAL STUD FRAMING, INSULATION, SHEATHING AND EIFS
D19	REMOVE OPEN STAIR ASSEMBLY IN ENTIRETY
D22	REMOVE EXTERIOR WALL FINISH SYSTEM TO FACE OF METAL STUDS BELOW ELEVATION
D40	CONCRETE STAIR TO REMAIN
D41	CONCRETE HOUSEKEEPING PAD TO REMAIN
D43	REMOVE CONCRETE HOUSEKEEPING PAD. SEE STRUCTURAL.
D44	CMU COLUMN ENCLosURE TO REMAIN
D46	REMOVE PARTIAL HEIGHT CONCRETE SUPPORT WALL
D48	REMOVE PORTION OF WALL TO ACCOMMODATE NEW MAN DOOR
D49	REMOVE EIFS, SHEATHING AND STUD CAVITY INSULATION



DEMOLITION NOTES AND LEGEND

- EXISTING BUILDING CONDITION BASED ON OWNER PROVIDED DRAWINGS AND LIMITED FIELD VERIFICATION. VERIFY EXACT CONDITIONS IN FIELD. SHOULD DISCREPANCIES OCCUR, NOTIFY ARCHITECT FOR CLARIFICATIONS.
- BEGINNING WORK INDICATES THAT THE CONTRACTOR HAS ACCEPTED AND VERIFIED EXISTING CONDITIONS.
- COORDINATE DEMOLITION WITH ALL CONTRACTORS WORKING IN AREAS BEING RENOVATED.
- DURING DEMOLITION, PROTECT ALL ADJACENT CONSTRUCTION TO REMAIN.
- ANY ASBESTOS CONTAINING MATERIALS THAT ARE ENCOUNTERED ARE TO BE REMOVED AND OWNERSHIP TRANSFERRED TO OWNER.
- REFER TO CIVIL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ITEMS TO BE REMOVED NOT SHOWN HERE.
- COORDINATE THE RETURN AND STORAGE OF ALL ITEMS DESIGNATED AS EXISTING CONSTRUCTION TO REMAIN.
- PROVIDE TEMPORARY SHORING AND/OR STAGING OF THE DEMOLITION WORK.
- COORDINATE CONSTRUCTION BARRIER LOCATIONS. NOISY DEMOLITION / CONSTRUCTION, AND WORK NOTED "INTERMITTENT" WITH OWNER.
- HATCHED AREAS OF EXISTING CONSTRUCTION ARE STATED AS BEING LOCATED IN LEVEL 2. REMOVE ALL WALLS, DOORS, FLOORING, WINDOWS, WALL SIGNAGE, CEILINGS, EXTERIOR SOFFITS, FIXTURES, MILLWORK, EQUIPMENT, ETC. UNLESS NOTED OTHERWISE. OWNER TO REVIEW SALVAGEABLE ITEMS FOR POTENTIAL RE-USE. SEE NOTE 6.

EXISTING CONSTRUCTION TO REMAIN

EXISTING CONSTRUCTION TO BE REMOVED

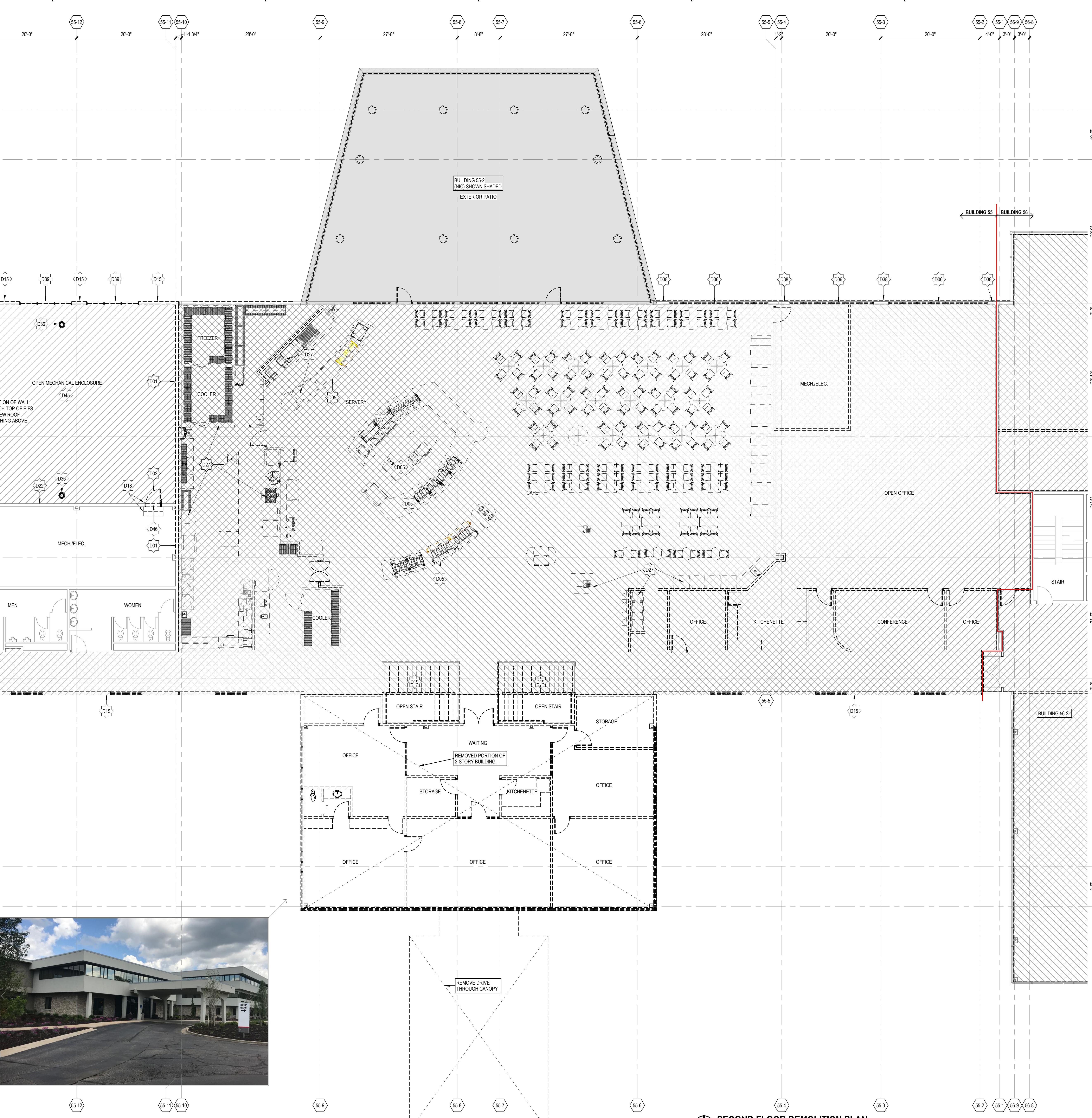
FULL INTERIOR AND EXTERIOR NON-STRUCTURAL DEMOLITION UNLESS NOTED OTHERWISE. (SEE GENERAL NOTE 10 ABOVE)

REMOVE SINGLE PLY MEMBRANE ROOF ASSEMBLY IN ENTIRETY ABOVE ROOF DECK. REMOVE ALL ASSOCIATED WALL FLASHING. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK

AREA NOT IN CONTRACT (NIC)

DEMOLITION PLAN KEYNOTES

NUMBER	NOTE
D01	REMOVE WALL OR PORTION OF WALL AS SHOWN
D02	REMOVE DOOR, FRAME AND HARDWARE
D05	REMOVE CASEWORK
D06	REMOVE WINDOW
D14	REMOVE FIRE EXTINGUISHER CABINET
D15	REMOVE EXTERIOR WALL ASS'Y. ONLY INCLUDING DRYWALL, METAL STUD FRAMING, WALL INSULATION, SHEATHING, WINDOWS, EIFS AND STONE VENEER
D17	REMOVE ROOF ACCESS LADDER
D18	REMOVE METAL STAIR
D19	REMOVE OPEN STAIR ASSEMBLY IN ENTIRETY
D22	REMOVE EXTERIOR WALL FINISH SYSTEM TO FACE OF METAL STUDS BELOW ELEVATION 128"
D27	REMOVE ALL FOOD SERVICE EQUIPMENT
D28	REMOVE ROOF DRAIN
D38	REMOVE EXTERIOR WALL FINISH SYSTEM TO FACE OF GYPSUM BOARD SHEATHING
D39	REMOVE LOUVER
D45	REMOVE SINGLE PLY MEMBRANE ROOF ASSEMBLY IN ENTIRETY ABOVE FINISH ROOF DECK. REMOVE ALL ASSOCIATED WALL FLASHING. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
D46	REMOVE PORTION OF CMU WALL BELOW DOOR OPENING TO 8" BELOW FINISH FLOOR.



DEMOLITION NOTES AND LEGEND

- EXISTING BUILDING CONDITION BASED ON OWNER PROVIDED DRAWINGS AND LIMITED FIELD VERIFICATION. VERIFY EXACT CONDITIONS IN FIELD. SHOULD DISCREPANCIES OCCUR, NOTIFY ARCHITECT FOR CLARIFICATIONS.
- BEGINNING WORK INDICATES THAT THE CONTRACTOR HAS ACCEPTED AND VERIFIED EXISTING CONDITIONS.
- COORDINATE DEMOLITION WITH ALL CONTRACTORS WORKING IN AREAS BEING REVAMPED.
- DURING DEMOLITION, PROTECT ALL ADJACENT CONSTRUCTION TO REMAIN.
- ANY ASBESTOS CONTAINING MATERIALS THAT ARE ENCOUNTERED ARE TO BE REMOVED BY OWNER OR CONTRACTOR.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ITEMS TO BE REMOVED NOT SHOWN HERE.
- COORDINATE THE RETURN AND STORAGE OF ALL ITEMS DESIGNATED AS SALVAGEABLE.
- PROVIDE TEMPORARY SHORING AND/OR STAGING OF THE DEMOLITION WORK.
- COORDINATE CONSTRUCTION BARRIER LOCATIONS, NOISY DEMOLITION / CONSTRUCTION, AND WORK NOTED "INTERMITTENT" WITH OWNER.
- HATCHED AREA(S) OF WALL NON-STRUCTURAL CONSTRUCTION ITEMS AS INDICATED IN LEGEND DO NOT MOVE, REMOVE, OR DESTROY. DOORS, FLOORING, INTERIOR GLAZING, WALL SIGNAGE, CEILINGS, FIXTURES, MILLWORK, EQUIPMENT, ETC. UNLESS NOTED OTHERWISE. OWNER TO REVIEW SALVAGEABLE ITEMS FOR POTENTIAL RE-USE. SEE NOTE 6.

EXISTING CONSTRUCTION TO REMAIN

EXISTING CONSTRUCTION TO BE REMOVED

FULL INTERIOR AND EXTERIOR NON-STRUCTURAL DEMOLITION UNLESS NOTED OTHERWISE. (SEE GENERAL NOTE 10 ABOVE)

AREA NOT IN CONTRACT (NIC)

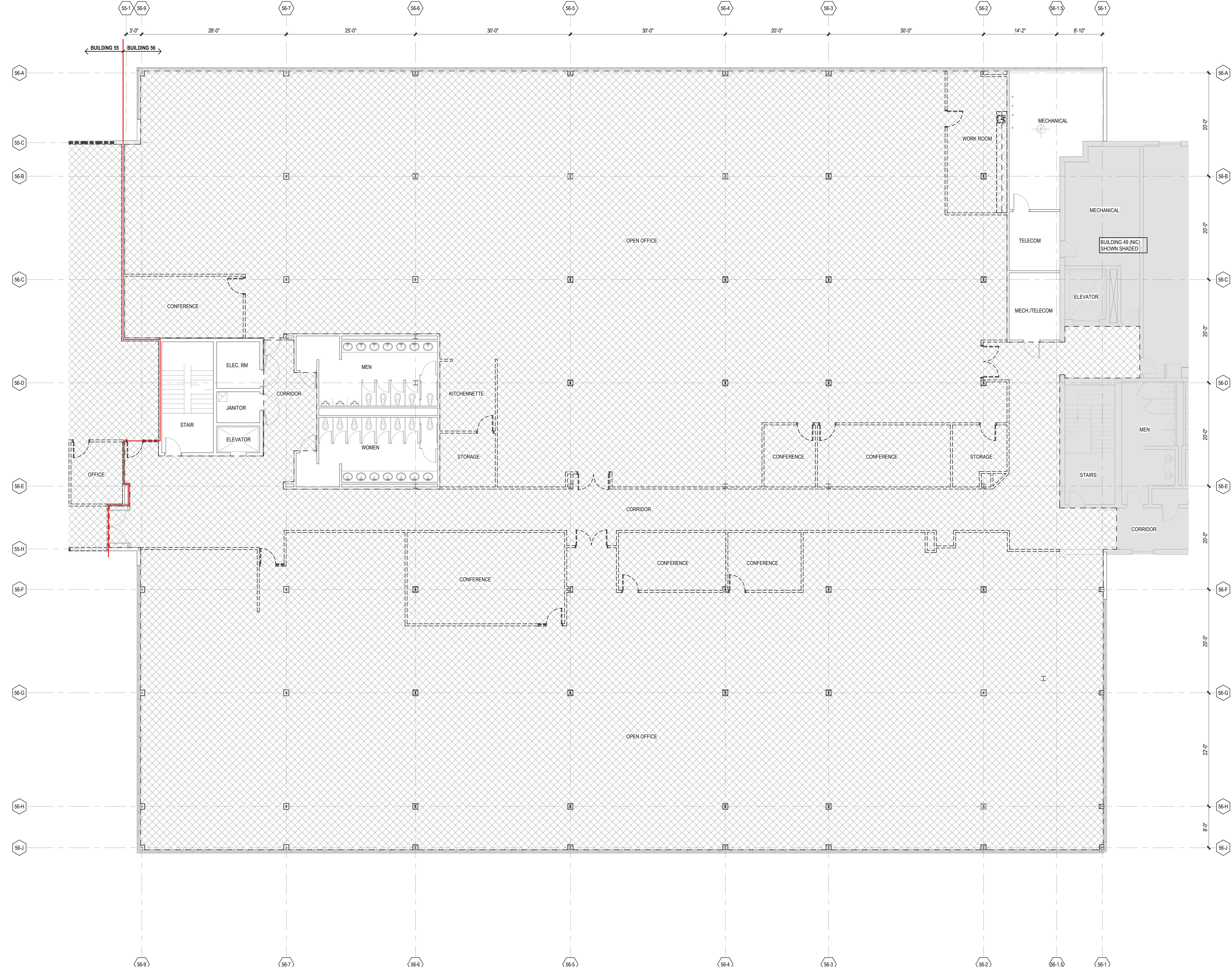
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SECOND FLOOR DEMOLITION PLAN - BUILDING 56-2

1'8" = 1'-0"

DEMOLITION NOTES AND LEGEND

- EXISTING BUILDING CONDITION BASED ON OWNER PROVIDED DRAWINGS AND LIMITED FIELD VERIFICATION. VERIFY EXACT CONDITIONS IN FIELD. SHOULD DISCREPANCIES OCCUR, NOTIFY ARCHITECT FOR CLARIFICATIONS.
- BEGINNING WORK INDICATES THAT THE CONTRACTOR HAS ACCEPTED AND VERIFIED EXISTING CONDITIONS.
- COORDINATE DEMOLITION WITH ALL CONTRACTORS WORKING IN AREAS BEING RENOVATED.
- DURING DEMOLITION, PROTECT ALL ADJACENT CONSTRUCTION TO REMAIN.
- ANY ASBESTOS CONTAINING MATERIALS THAT ARE ENCOUNTERED ARE TO BE REMOVED AND DISPOSED OF ACCORDINGLY.
- REFER TO CIVIL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ITEMS TO BE REMOVED NOT SHOWN HERE.
- COORDINATE THE RETURN AND STORAGE OF ALL ITEMS DESIGNATED AS SALVAGEABLE.
- PROVIDE TEMPORARY SHORING AND/OR STAGING OF THE DEMOLITION WORK.
- COORDINATE CONSTRUCTION BARRIER LOCATIONS. NOisy DEMOLITION / CONSTRUCTION, AND WORK NOTED "INTERMITTENT" WITH OWNER.
- HATCHED AREAS OF ROOF DECK ARE INDICATED AS NON-STRUCTURAL. HATCHED AREAS OF EXTERIOR WALLS, DOORS, FLOORING, WINDOWS, WALL SIGNAGE, CEILINGS, EXTERIOR SOFFITS, FIXTURES, MILLWORK, EQUIPMENT, ETC. UNLESS NOTED OTHERWISE. OWNER TO REVIEW SALVAGEABLE ITEMS FOR POTENTIAL RE-USE. SEE NOTE 6.

EXISTING CONSTRUCTION TO REMAIN

EXISTING CONSTRUCTION TO BE REMOVED

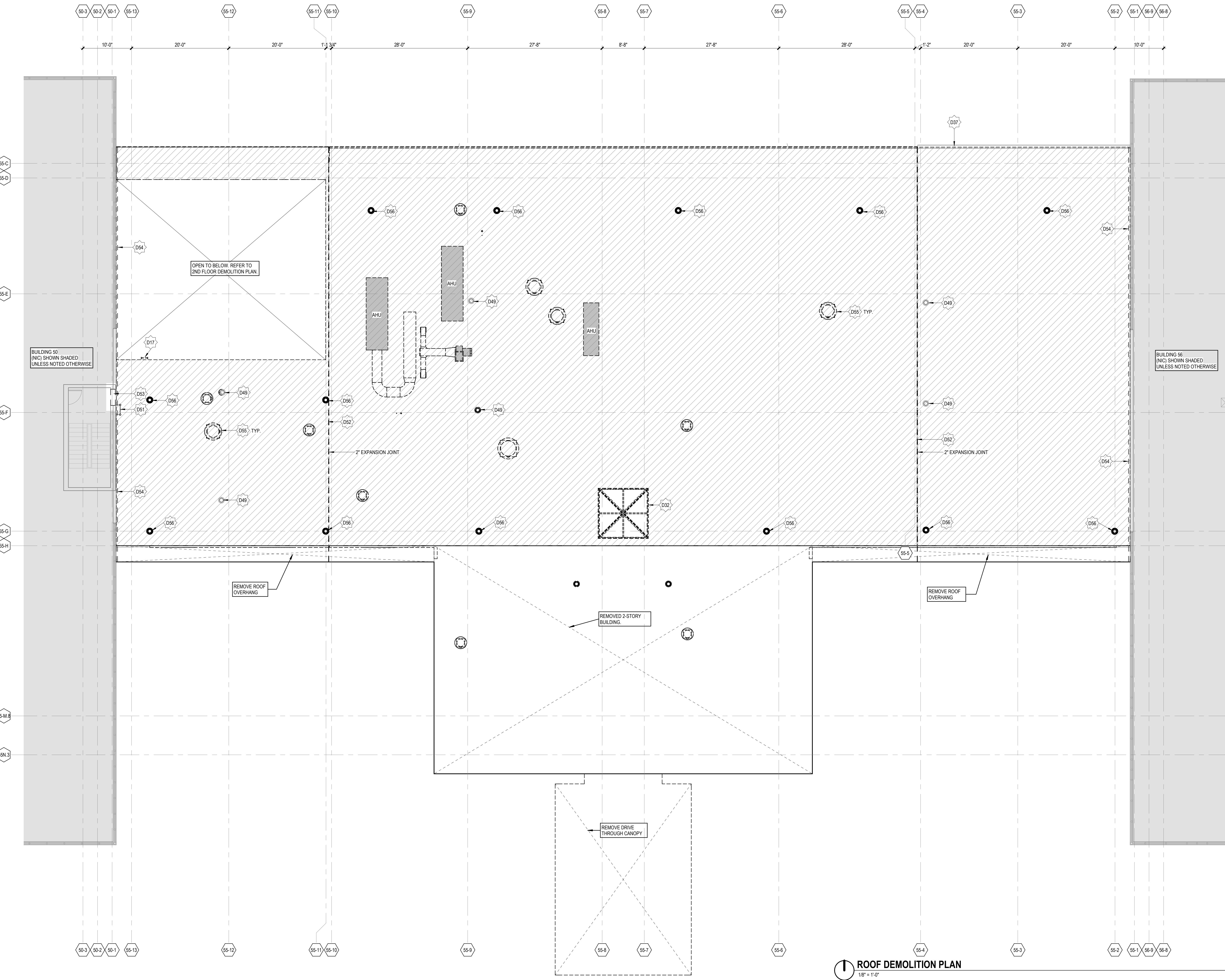
FULL INTERIOR AND EXTERIOR NON-STRUCTURAL DEMOLITION UNLESS NOTED OTHERWISE. (SEE GENERAL NOTE 10 ABOVE)

REMOVE SINGLE PLY MEMBRANE ROOF ASSEMBLY IN ENTIRETY ABOVE ROOF DECK. REMOVE ALL ASSOCIATED WALL FLASHING. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK

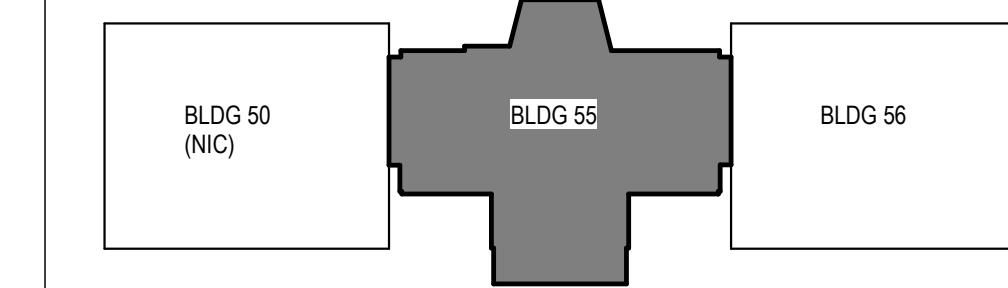
AREA NOT IN CONTRACT (NIC)

DEMOLITION PLAN KEYNOTES

NUMBER	NOTE
D17	REMOVE ROOF ACCESS LADDER
D32	REMOVE SKYLIGHT
D37	REMOVE GRAVEL STOP AND FASCIA
D49	REMOVE ROOF DRAIN
D51	MOVE EXISTING MOUNTED ACCESS RUNG LADDER. OWNER TO RELOCATE AS REQUIRED TO PROVIDE ENOUGH CLEARANCE FOR NEW ROOF ACCESS DOOR.
D52	REMOVE EXPANSION JOINT BATT INSULATION, METAL RETAINER AND ROOF FLASHING. EXISTING WOOD BLOCKING TO REMAIN.
D53	REMOVE PORTION OF EXTERIOR WALL TO ACCEPT NEW ROOF ACCESS DOOR.
D54	REMOVE SELECTED WALL MATERIALS BELOW ELEVATION 128'-0". EIFS TO FACE OF WALL SHEATHING. ROOF MEMBRANE FLASHING. METAL WALL FLASHING.
D55	REFER TO MECHANICAL DRAWINGS FOR MECHANICAL ITEMS TO BE REMOVED V.G.
D56	REMOVE FALL PROTECTION.

ROOF DEMOLITION PLAN
18' = 1'-0"

KEY PLAN



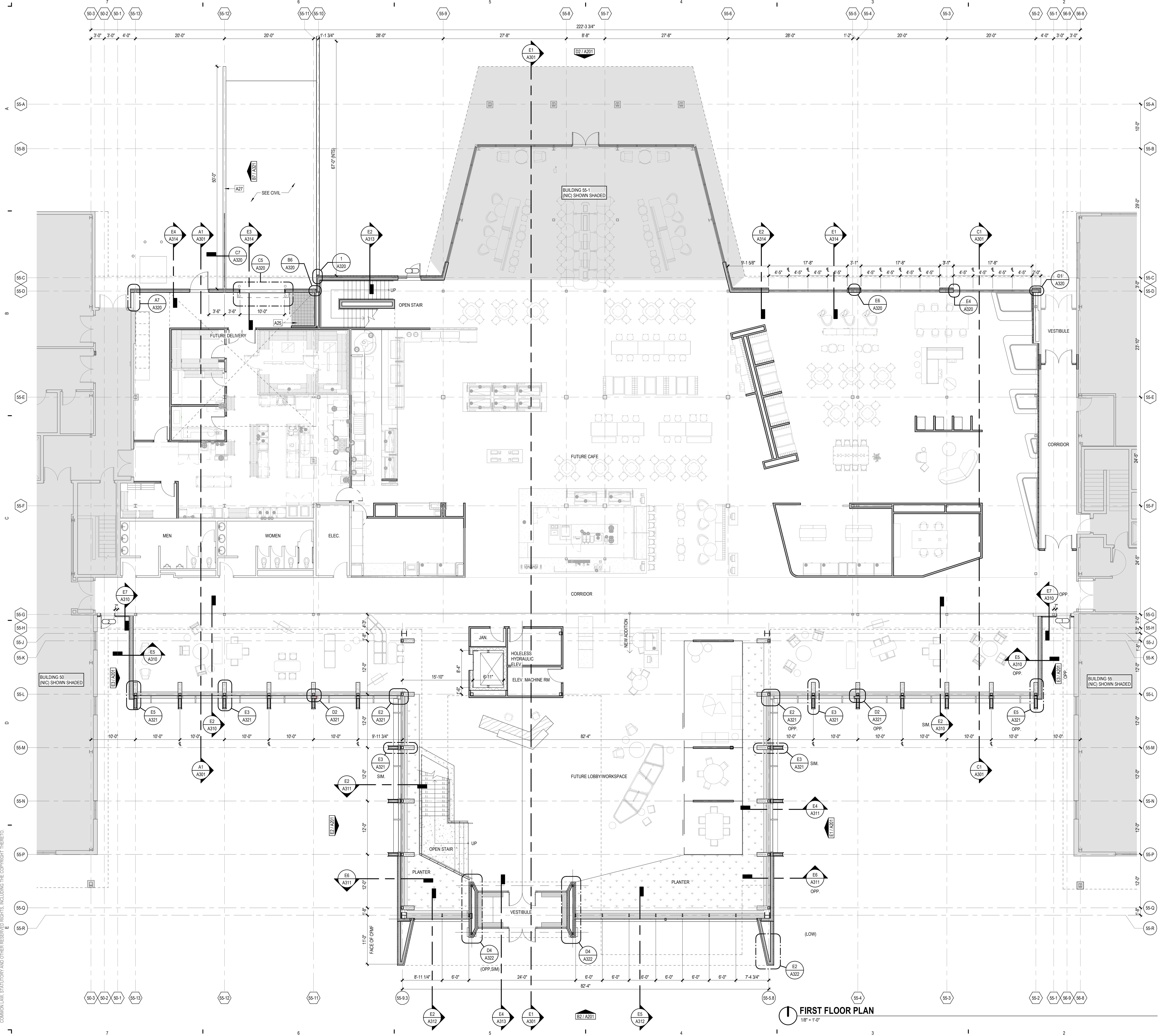
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PROJECT MANAGER
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PROFESSIONAL
D. MOLENAR
DRAWN BY
J. CRIPPS
CHECKED BY

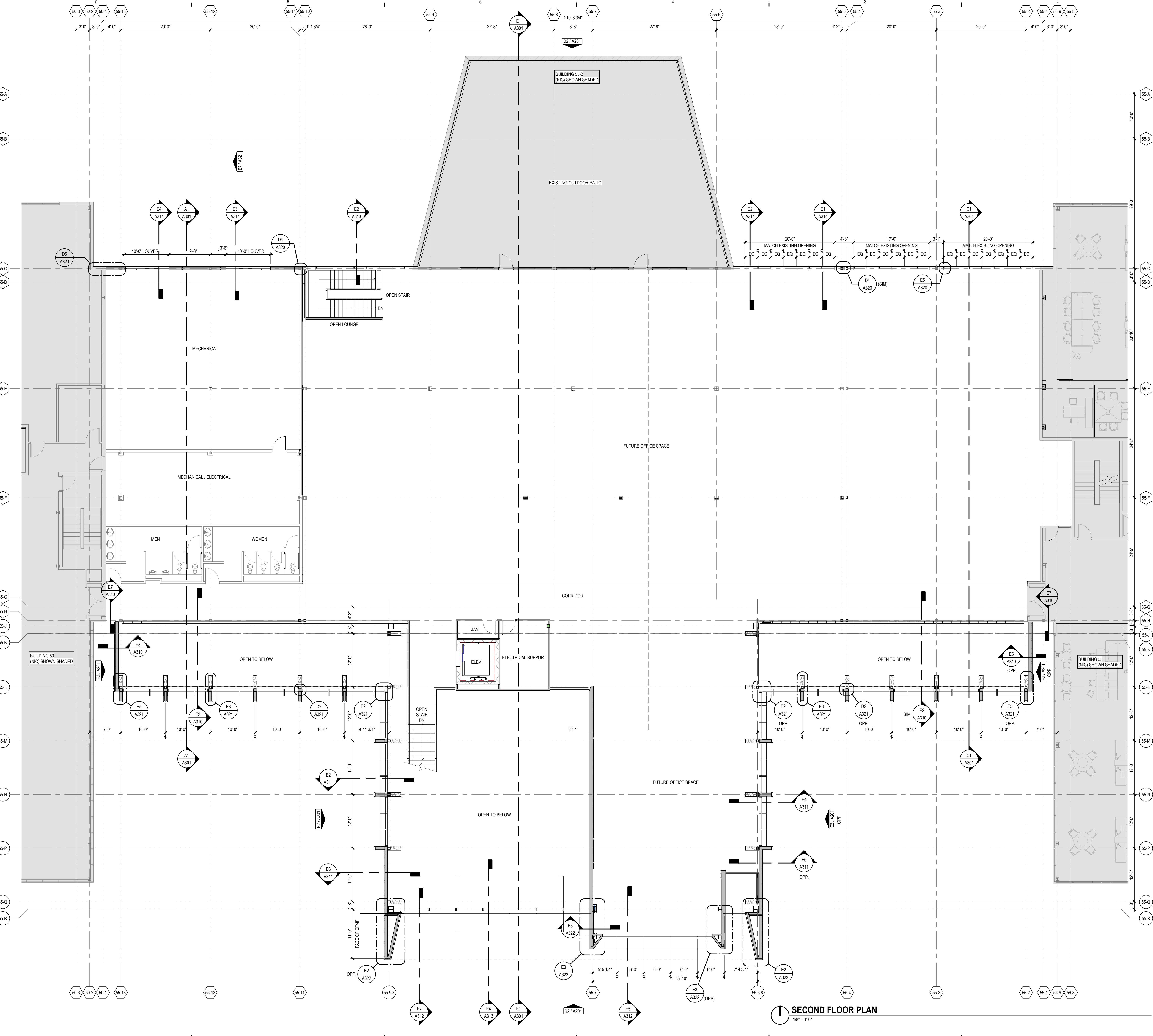
GENERAL NOTES

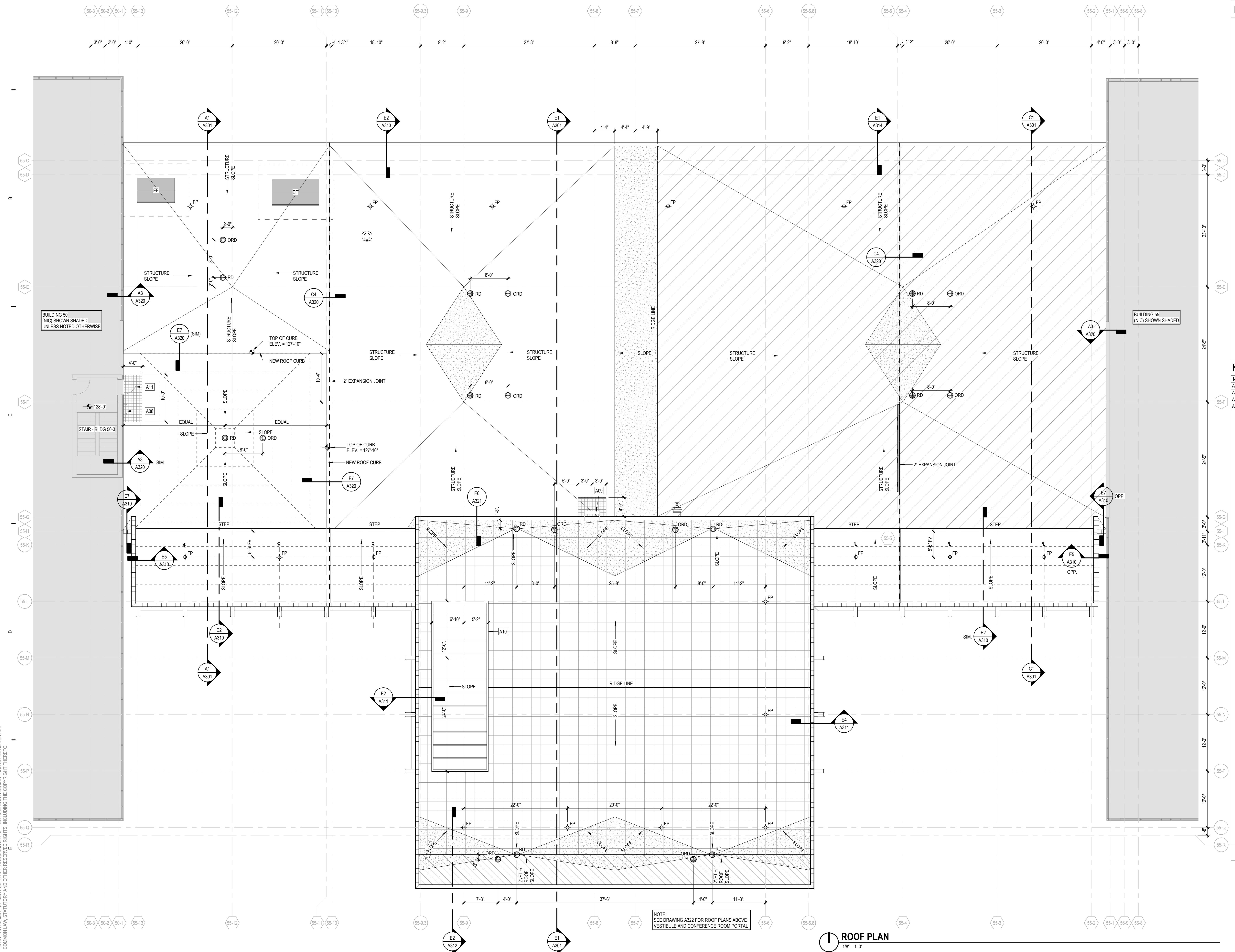
- DO NOT SCALE DRAWINGS.
- FINISH FLOOR ELEVATION: 10'-0".
- EXACT DIMENSIONS AND CONDITIONS BASED ON OWNER PROVIDED DRAWINGS AND LIMITED FIELD VERIFICATION. VERIFY EXACT CONDITIONS IN FIELD. SHOULD DISCREPANCIES OCCUR, NOTIFY ARCHITECT FOR CLARIFICATIONS.
- BEGINNING WORK INDICATES THAT THE CONTRACTOR HAS ACCEPTED AND VERIFIED THE DRAWINGS.
- REFER TO CODE COMPLIANCE DRAWING(S) FOR LOCATIONS OF RATED ASSEMBLIES AND CODE SUMMARY.
- ABBREVIATIONS, TYPICAL MOUNTING DIMENSIONS, AND ANNOTATION STANDARDS ARE SHOWN IN THE APPENDIX DRAWINGS.
- WALL CAMBRINGS ARE TO FACE OF MASONRY, FACE OF CONCRETE, FACE OF STUDS, COLUMN CENTERLINE AS SHOWN OR EXISTING CONSTRUCTION UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE PERPENDICULAR AND PARALLEL, UNLESS NOTED OTHERWISE.
- PATCH ALL DISTURBED SURFACES WITH MATERIALS TO MATCH ADJACENT SURFACE CONSTRUCTION.
- PROVIDE APPROVED SMOKE/FIRESTOPPING ASSEMBLIES AT ALL MECHANICAL AND ELECTRICAL PENETRATIONS THROUGH FIRE RATED AND SMOKE RESISTANT PARTITIONS IDENTIFIED ON CODE COMPLIANCE DRAWINGS.



GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- FINISH FLOOR ELEVATION: 10'-0".
- EXISTS CONDITIONS ARE AS SHOWN. CONDITIONS BASED ON OWNER PROVIDED DRAWINGS AND LIMITED FIELD VERIFICATION. VERIFY EXACT CONDITIONS IN FIELD. SHOULD DISCREPANCIES OCCUR, NOTIFY ARCHITECT FOR CLARIFICATIONS.
- BEGINNING WORK INDICATES THAT THE CONTRACTOR HAS ACCEPTED AND VERIFIED THE CONDITIONS AS SHOWN.
- REFER TO CODE COMPLIANCE DRAWING(S) FOR LOCATIONS OF RATED ASSEMBLIES AND CODE SUMMARY.
- ABBREVIATIONS: TYPICAL MOUNTING DIMENSIONS, AND ANNOTATION USES IN THIS DRAWING ARE AS DEFINED IN THE DRAWING DEFINITION.
- WALL CAMBRINGS ARE TO FACE OF MASONRY, FACE OF CONCRETE, FACE OF STUDS, COLUMN CENTERLINE AS SHOWN OR EXISTING CONSTRUCTION UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE PERPENDICULAR AND PARALLEL, UNLESS NOTED OTHERWISE.
- PATCH ALL DISTURBED SURFACES WITH MATERIALS TO MATCH ADJACENT SURFACE CONSTRUCTION.
- PROVIDE APPROVED SMOKE/FIRESTOPPING ASSEMBLIES AT ALL MECHANICAL AND ELECTRICAL PENETRATIONS THROUGH FIRE RATED AND SMOKE RESISTANT PARTITIONS IDENTIFIED ON CODE COMPLIANCE DRAWINGS.

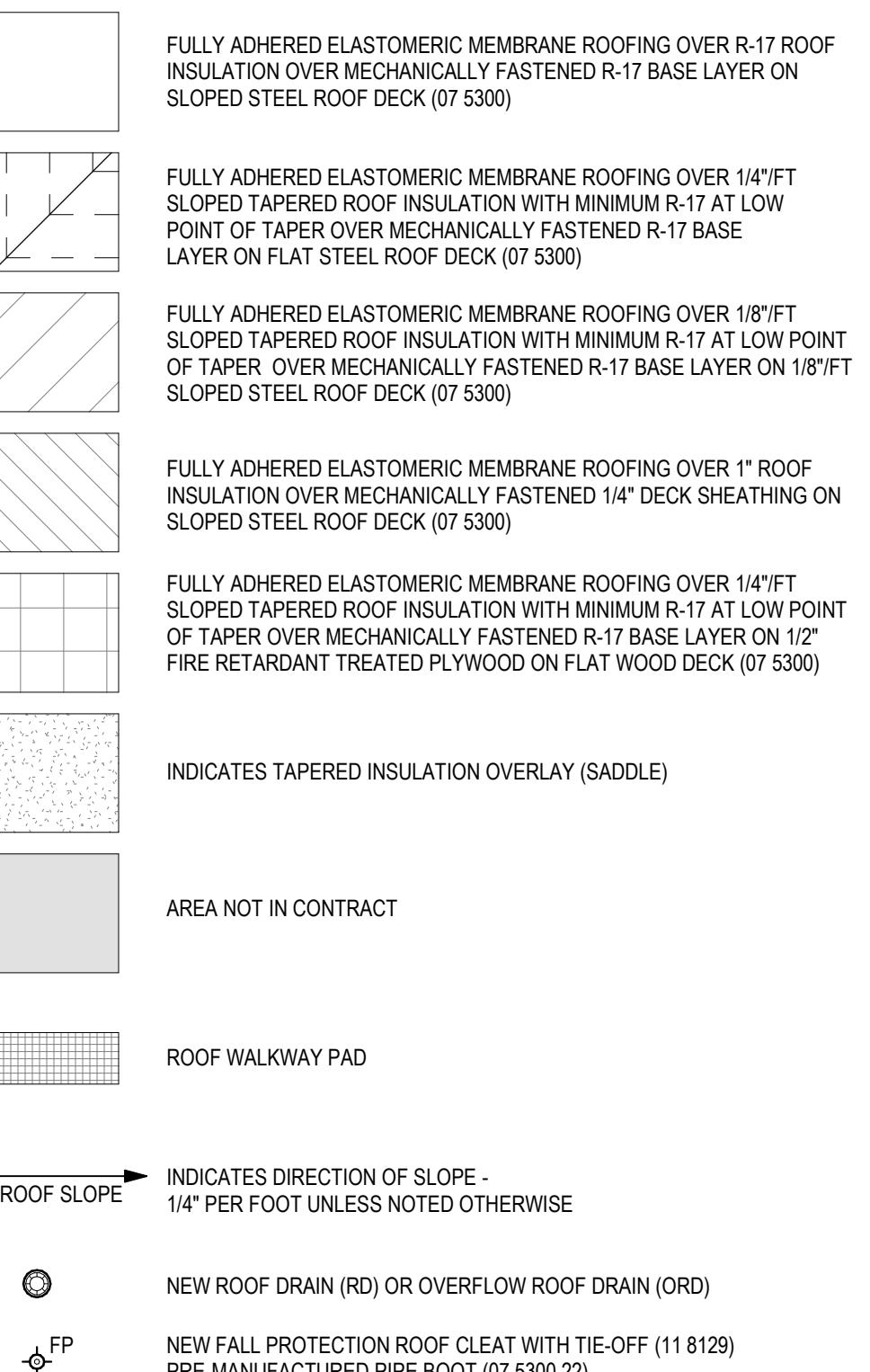




ROOF PLAN GENERAL NOTES

- OOF CONTRACTOR IS RESPONSIBLE FOR ROOF DRAINAGE INCLUDING TAPERED INSULATION LAYOUT. PROVIDE SADDLES AND CRICKETS AT ALL NEW ROOFTOP EQUIPMENT.
ROVIDE WEATHER TIGHT INTEGRITY AT ALL NEW ROOF PENETRATIONS AND NEW EQUIPMENT CURBS PER ROOFING MANUFACTURERS STANDARD DETAILS AND REQUIREMENTS TO MAINTAIN MANUFACTURES ROOF WARRANTY.
LL CONTRACTORS SHALL COORDINATE AND VERIFY ALL ROOF OPENINGS AND PENETRATIONS WITH STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
REFER TO MECHANICAL DRAWINGS FOR SIZE, LOCATIONS AND QUANTITY OF OOF MOUNTED EQUIPMENT, EXHAUST FANS, VENTS, PIPES, ETC.

ROOF LEGEND



EYNOTES

NUMBER	NOTE
3	EXISTING ACCESS LADDER TO ROOF ABOVE.
9	PREFABRICATED WALL MOUNTED VERTICAL ACCESS LADDER
0	PREFABRICATED SINGLE SLOPE SKYLIGHT
I	EXISTING ROOF ACCESS DOOR.

**AMWAY CORPORATION
BLDG. 55 / 56-2 RENOVATION**

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61966056
PROJECT MANAGER
K. BRANDSEN
PROFESSIONAL
D. MOLENAAR
DRAWN BY
J. CRIPPS
CHECKED BY

ROOF PLATE A1

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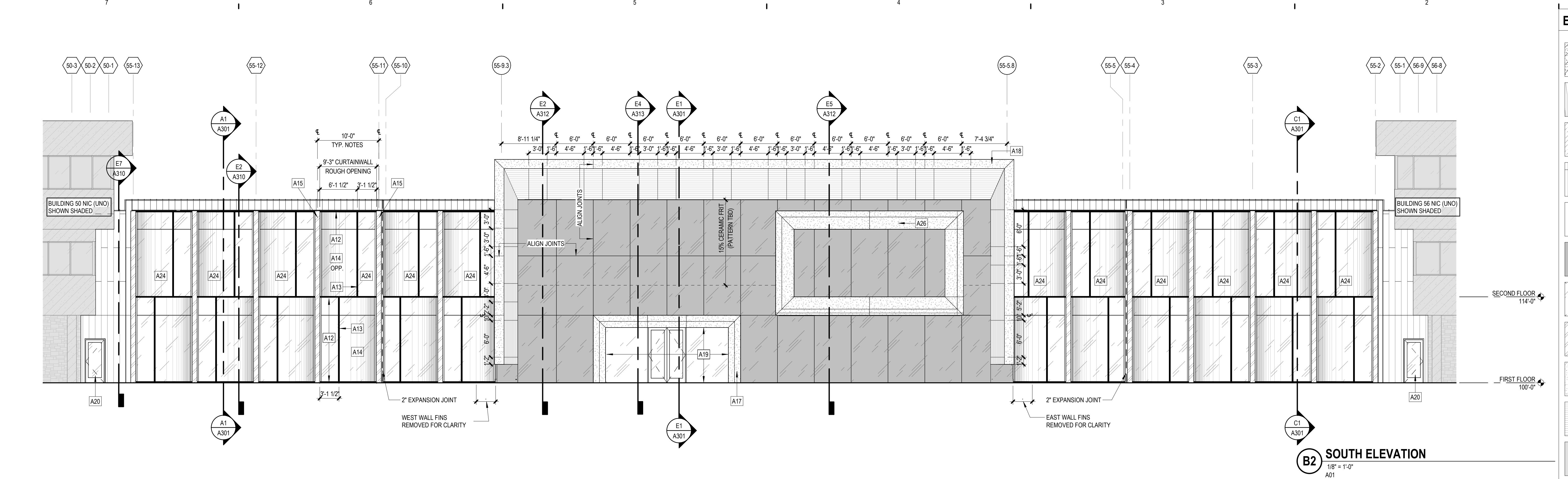
10/21/2022 BID PACKAGE 1
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PROJECT NUMBER
6196056
PROJECT MANAGER
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PROFESSIONAL
D. MOLENAAR
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EXTERIOR
ELEVATIONS
A201

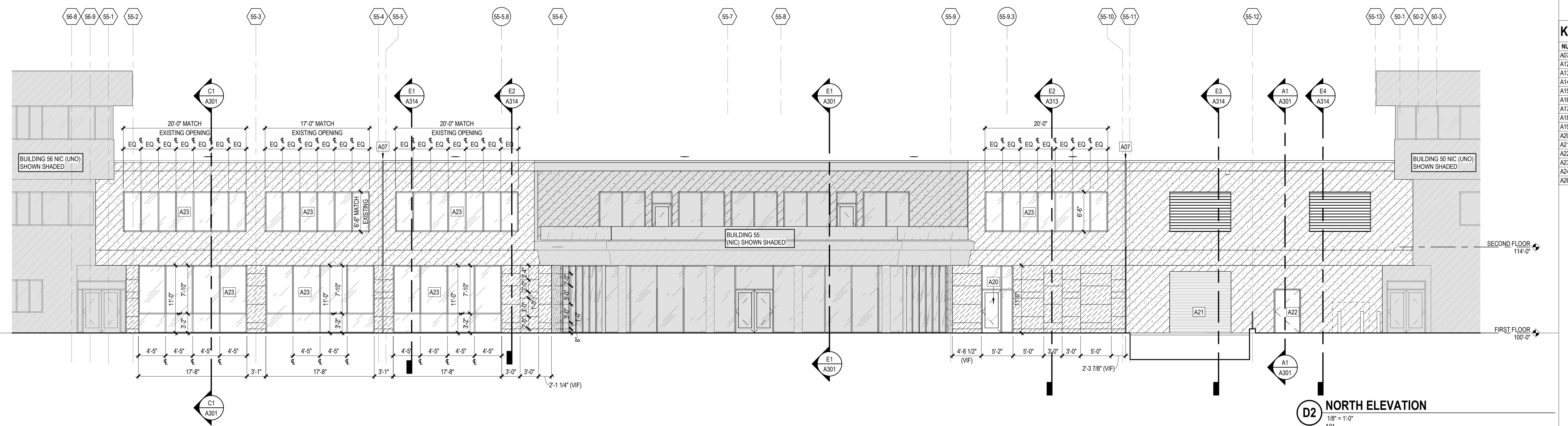
EXTERIOR MATERIALS LEGEND

[Hatched Pattern]	EXTERIOR INSULATED FINISH SYSTEM (EIFS) - REFER TO DETAILS FOR INSULATION THICKNESS
[Wood-grain Pattern]	WOOD-LOOK PANEL
[Hatched Pattern]	STONE VENEER MASONRY
[Hatched Pattern]	METAL PANELS - STANDING SEAM
[Hatched Pattern]	INSULATED GLAZING (IG-1)
[Hatched Pattern]	STRUCTURAL GLASS CURTAIN WALL (08 4426)
[Hatched Pattern]	INSULATED GLAZING (IG-1) WITH SHADOWBOX
[Hatched Pattern]	EXPOSED GALVANIZED STEEL FRAMING - FIELD PAINT (09 9600)
[Hatched Pattern]	METAL COMPOSITE MATERIAL WALL PANEL (MCM) (07 213.23)
[Hatched Pattern]	2 1/2" DIAMETER ALUMINUM PIPE @ 3" O.C. CUSTUM WALL PANEL
[Solid Gray]	AREA NOT IN CONTRACT (UNO)



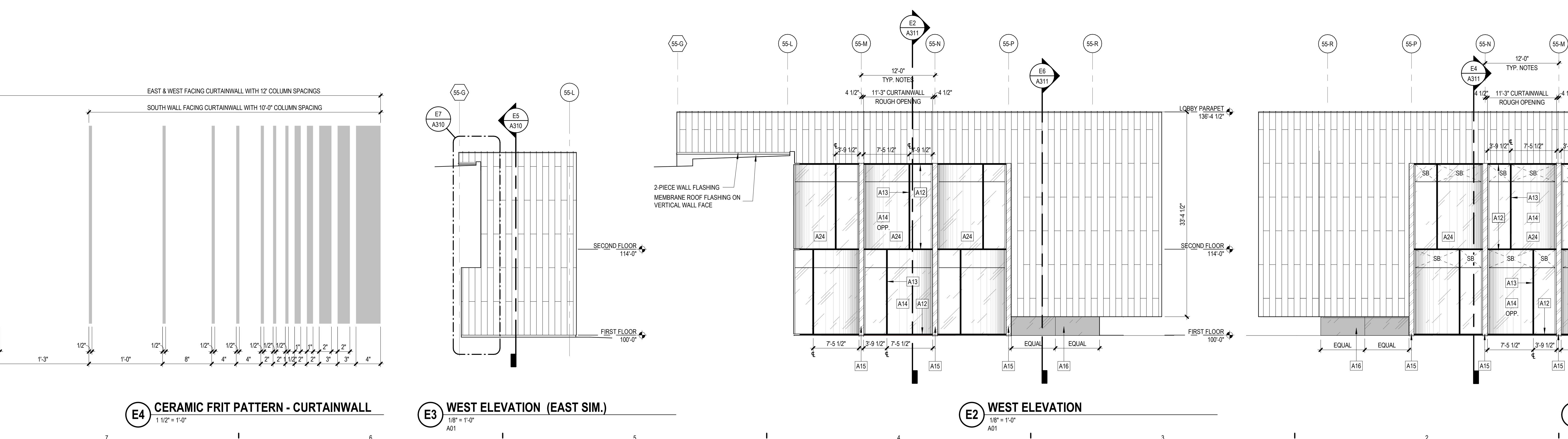
B2 SOUTH ELEVATION

A01



D2 NORTH ELEVATION

A01



E4 CERAMIC FRIT PATTERN - CURTAINWALL

1 1/2" = 1'-0"

E3 WEST ELEVATION (EAST SIM.)

1 1/2" = 1'-0"

A01

E2 WEST ELEVATION

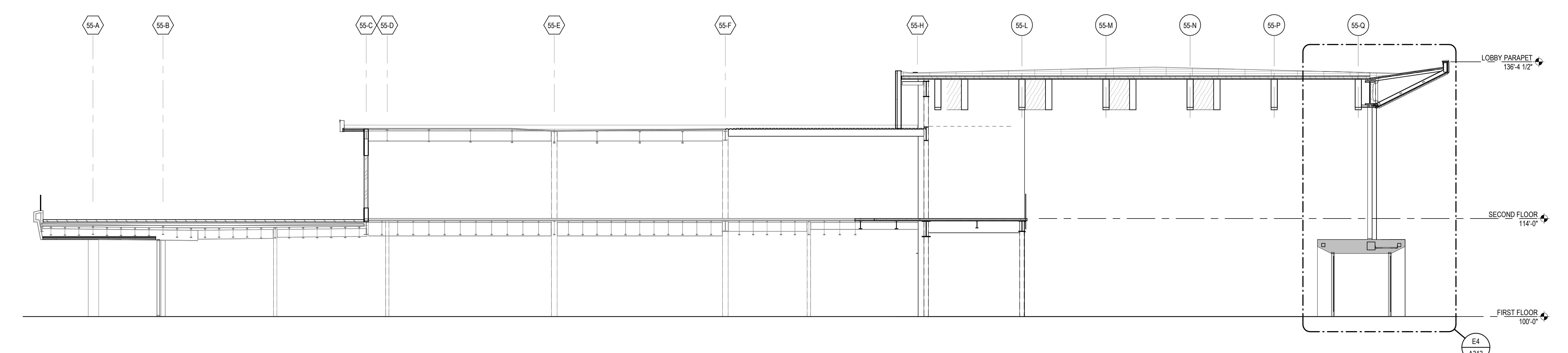
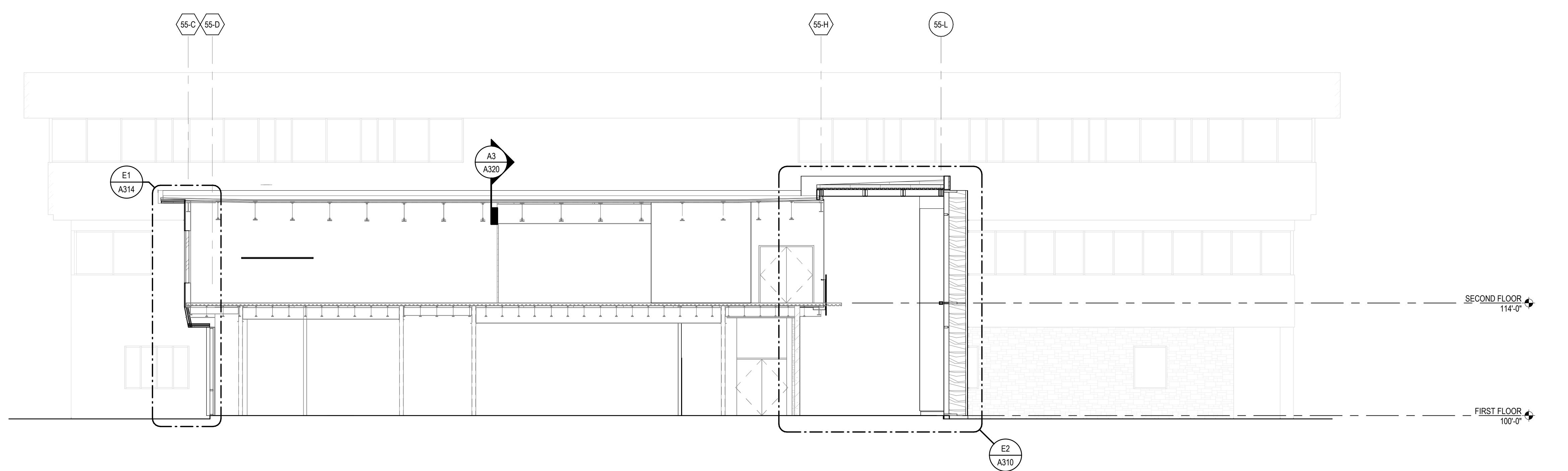
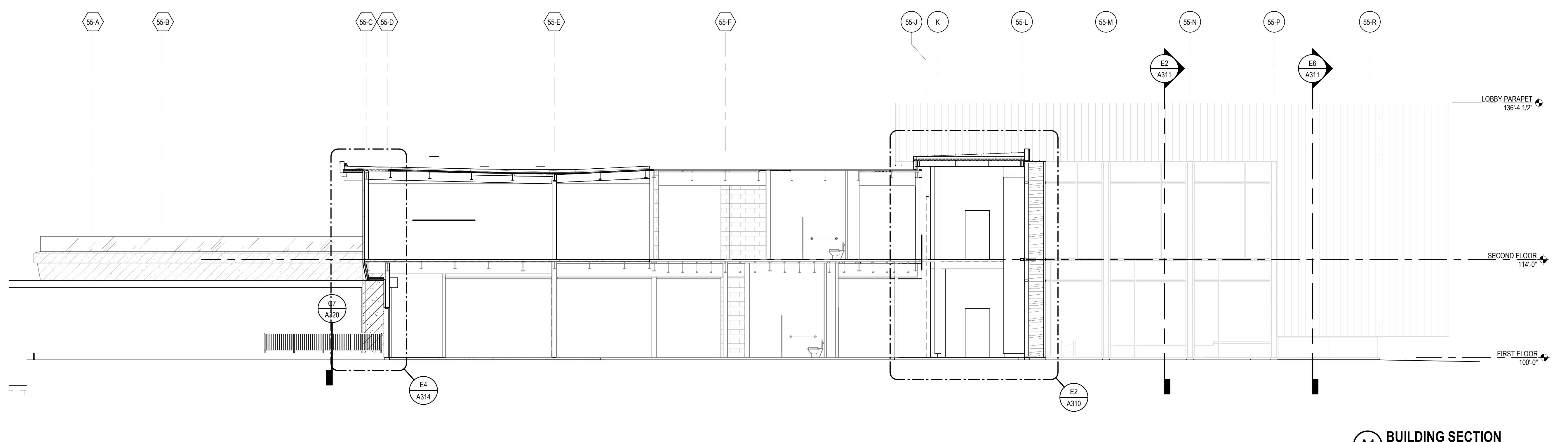
1 1/2" = 1'-0"

A01

E1 EAST ELEVATION

1 1/2" = 1'-0"

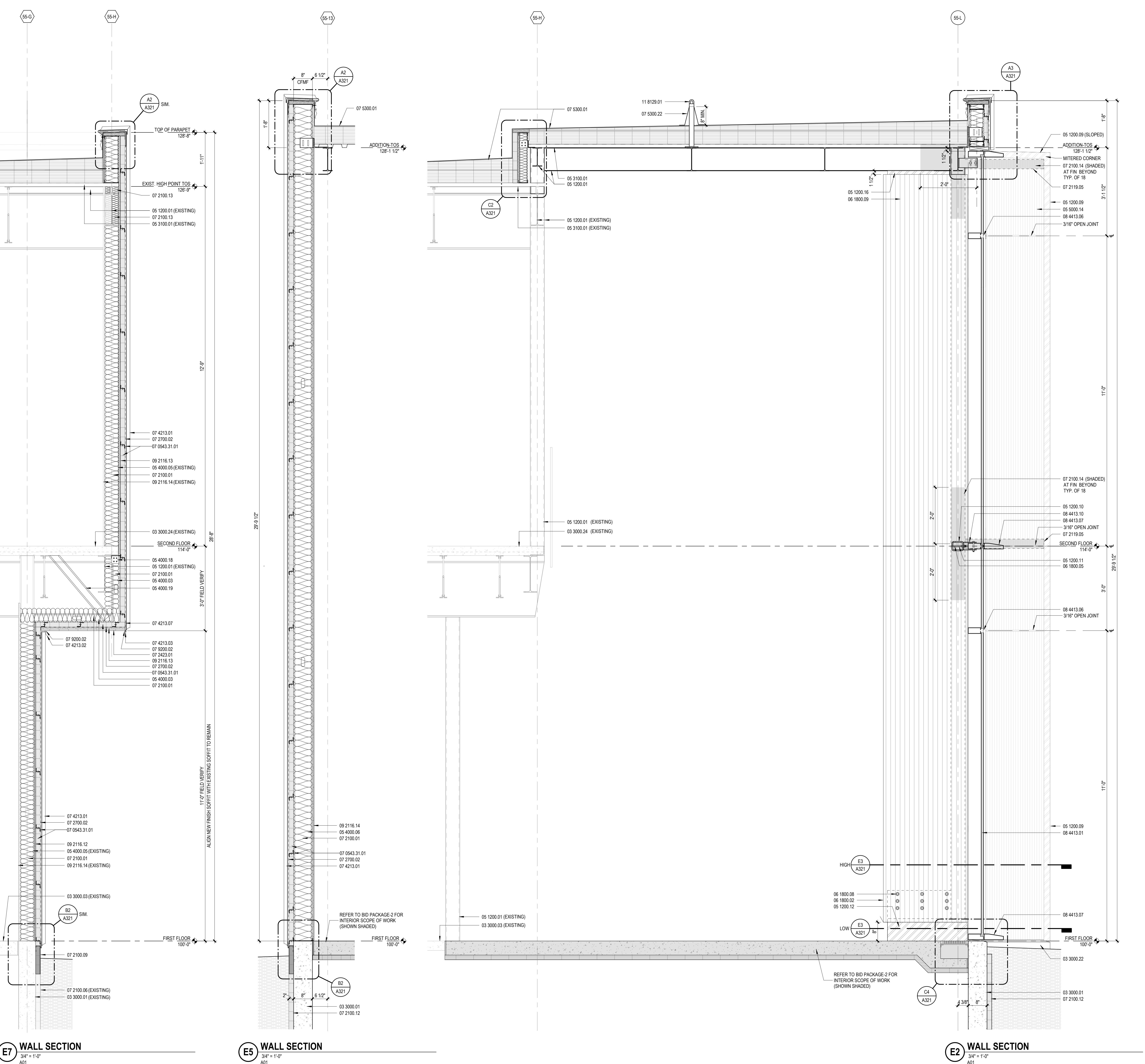
A01



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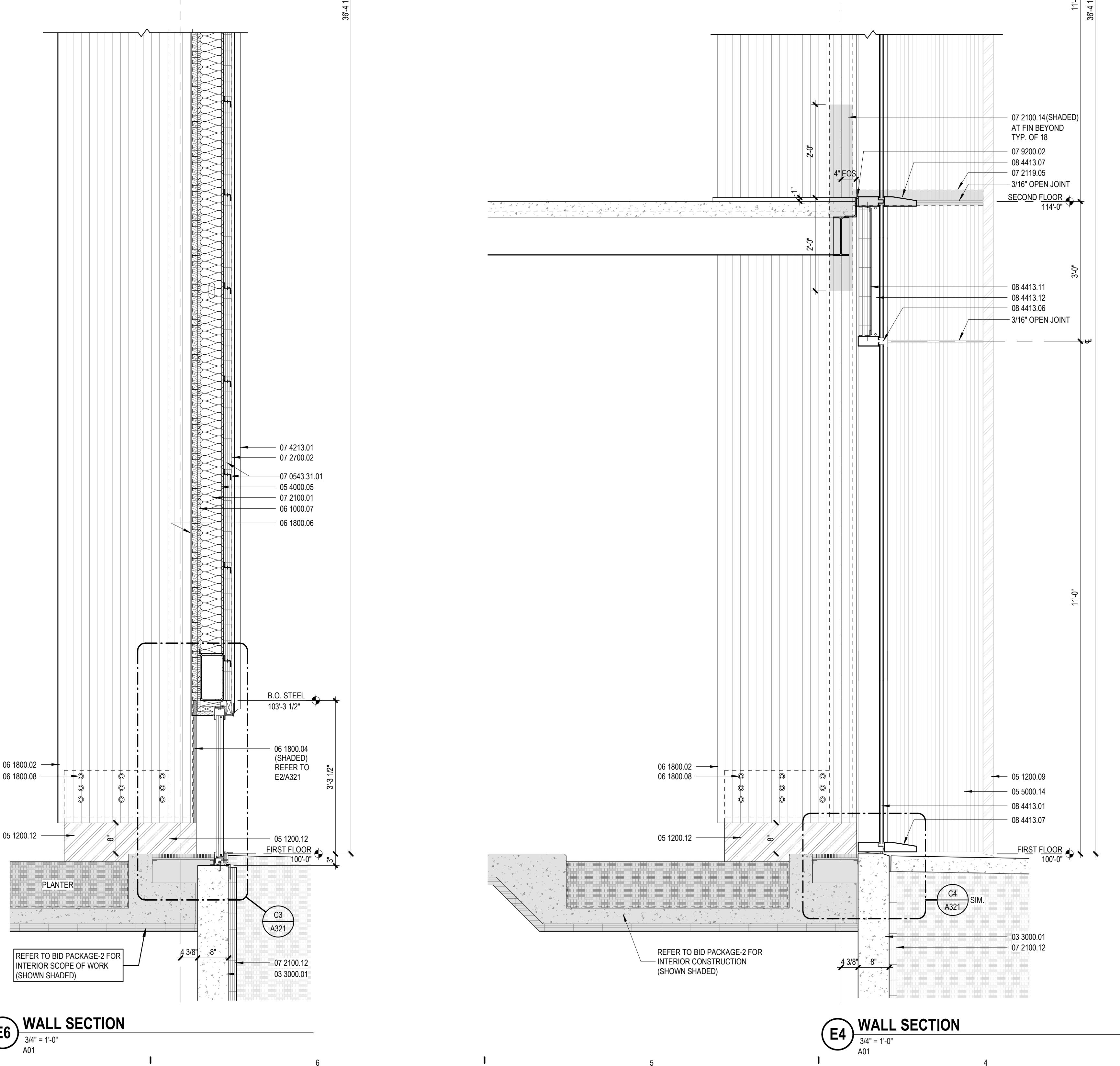
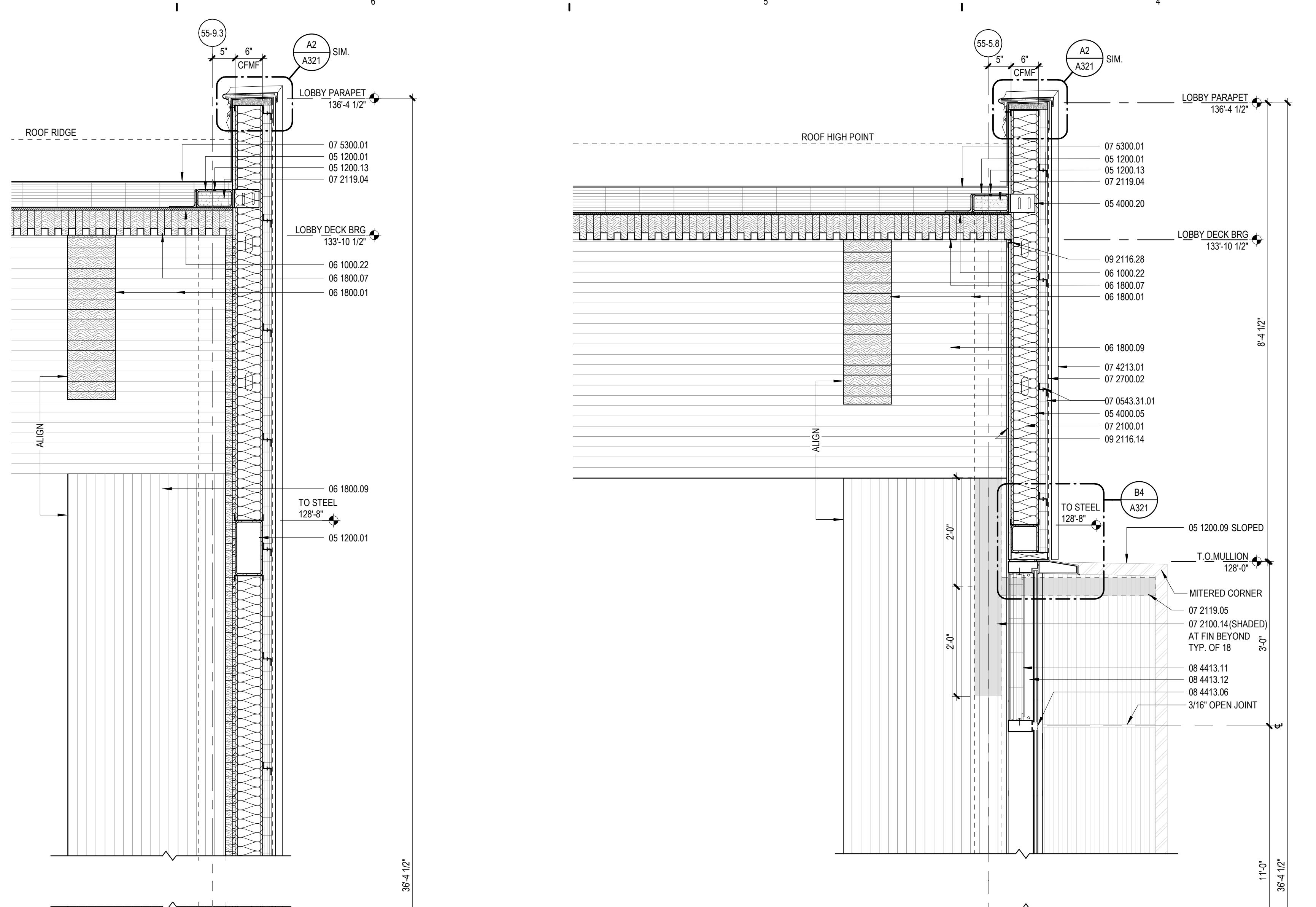
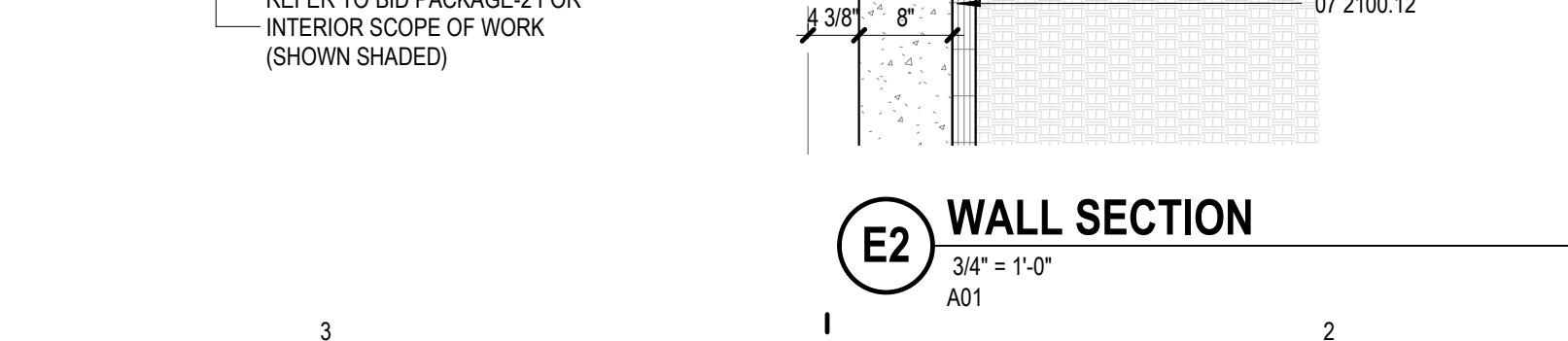
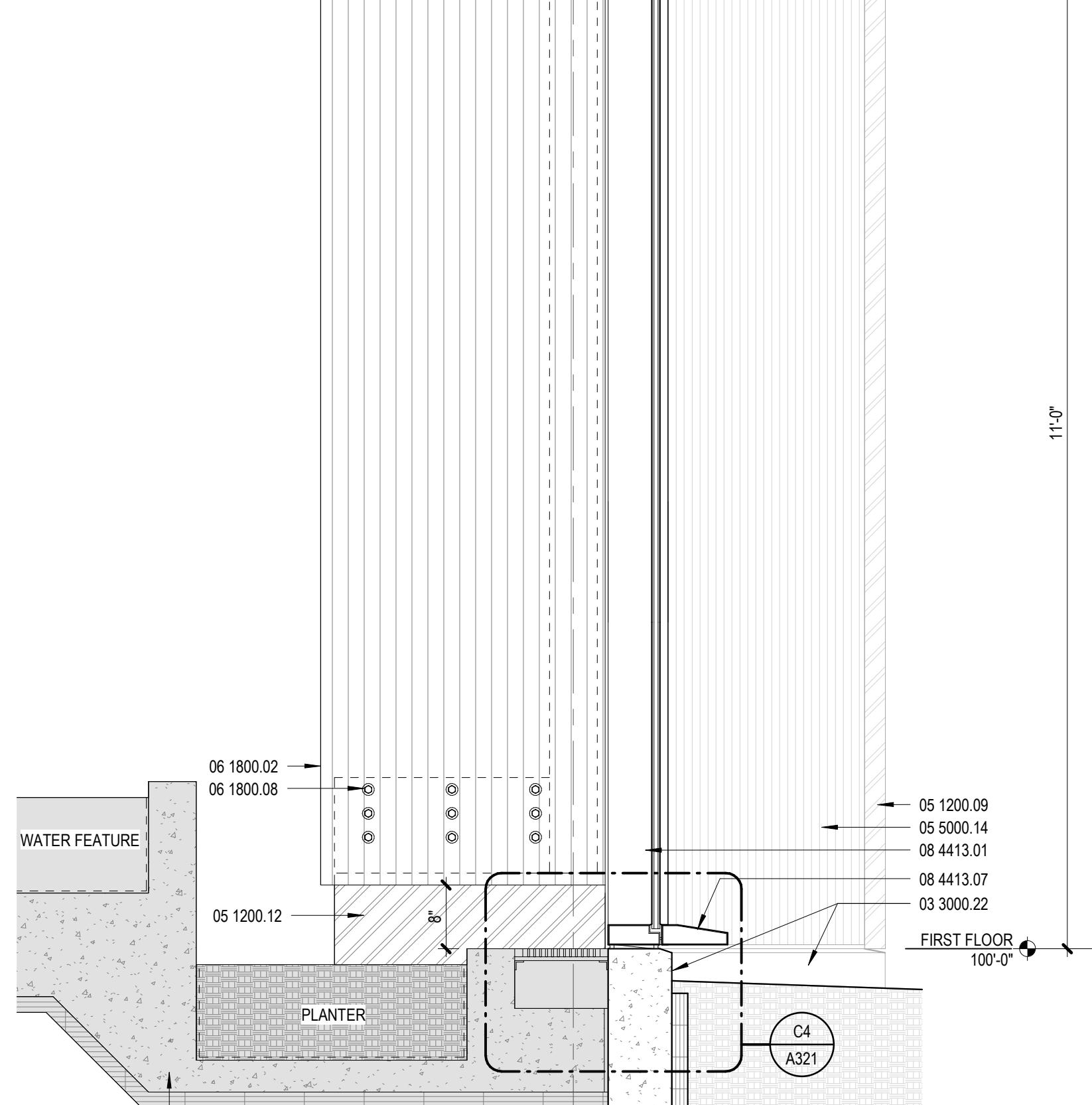
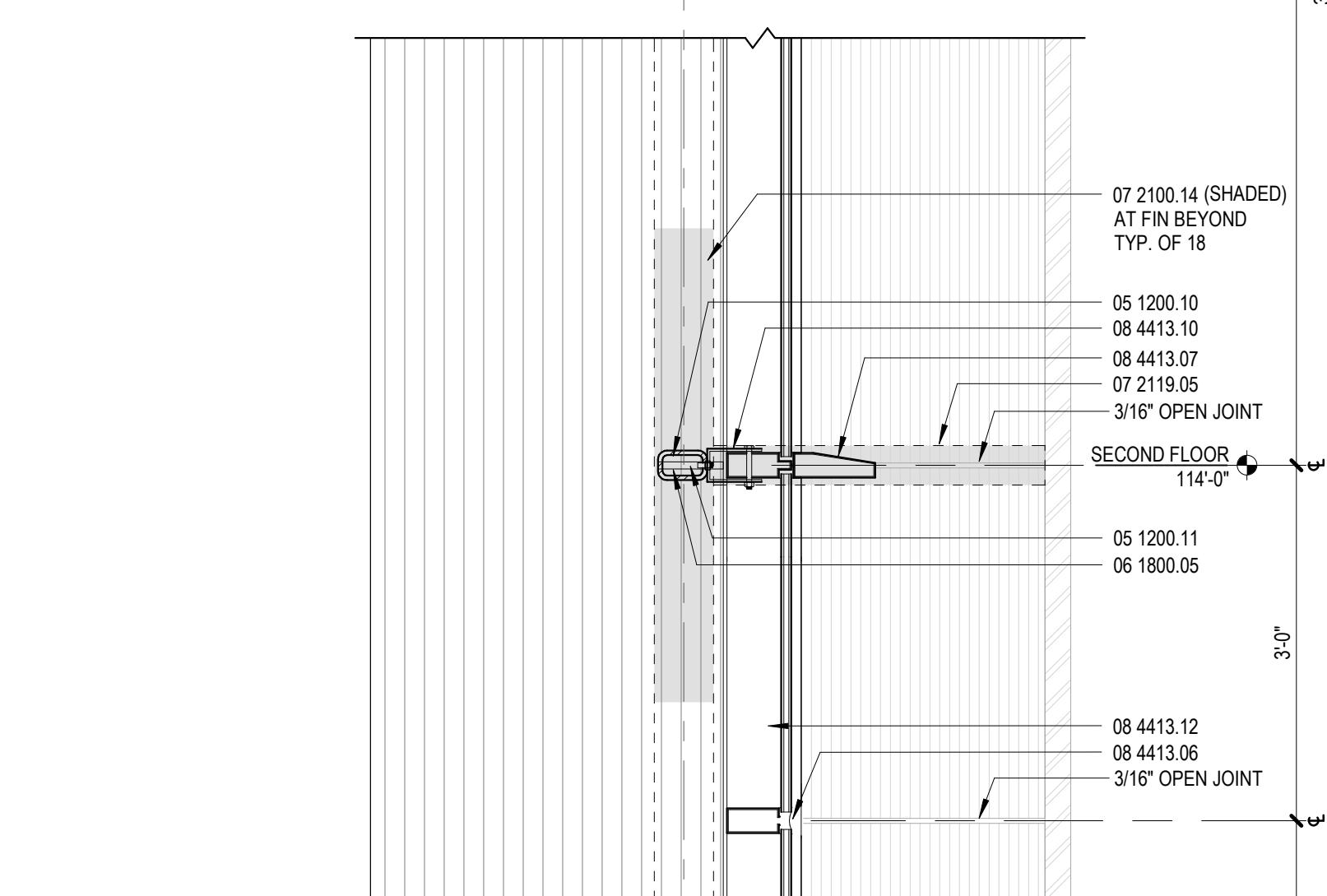
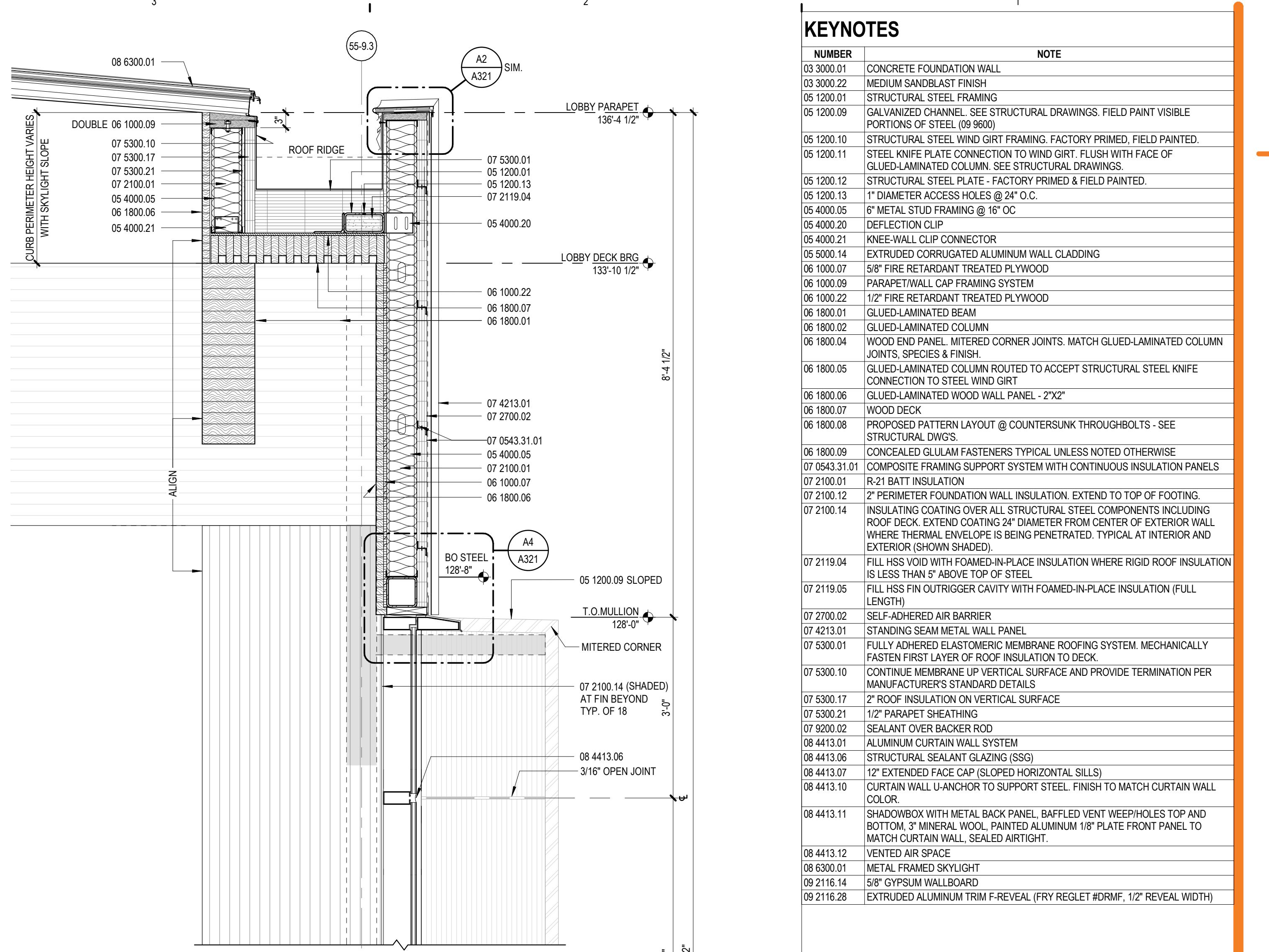
PROJECT NUMBER
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PROJECT MANAGER
K. BRANDSEN
PROFESSIONAL
D. MOLENAAR
DRAWN BY
J. CRIPPS
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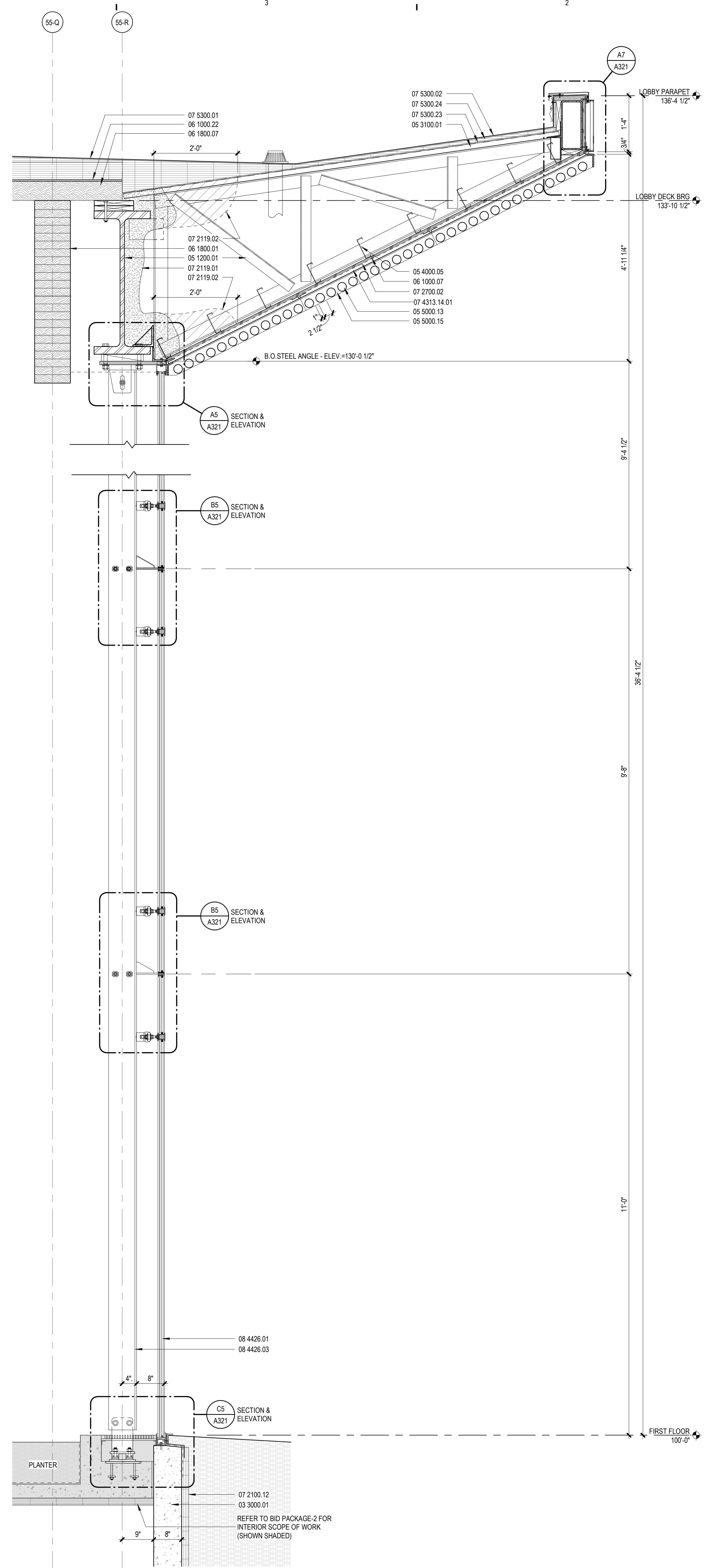
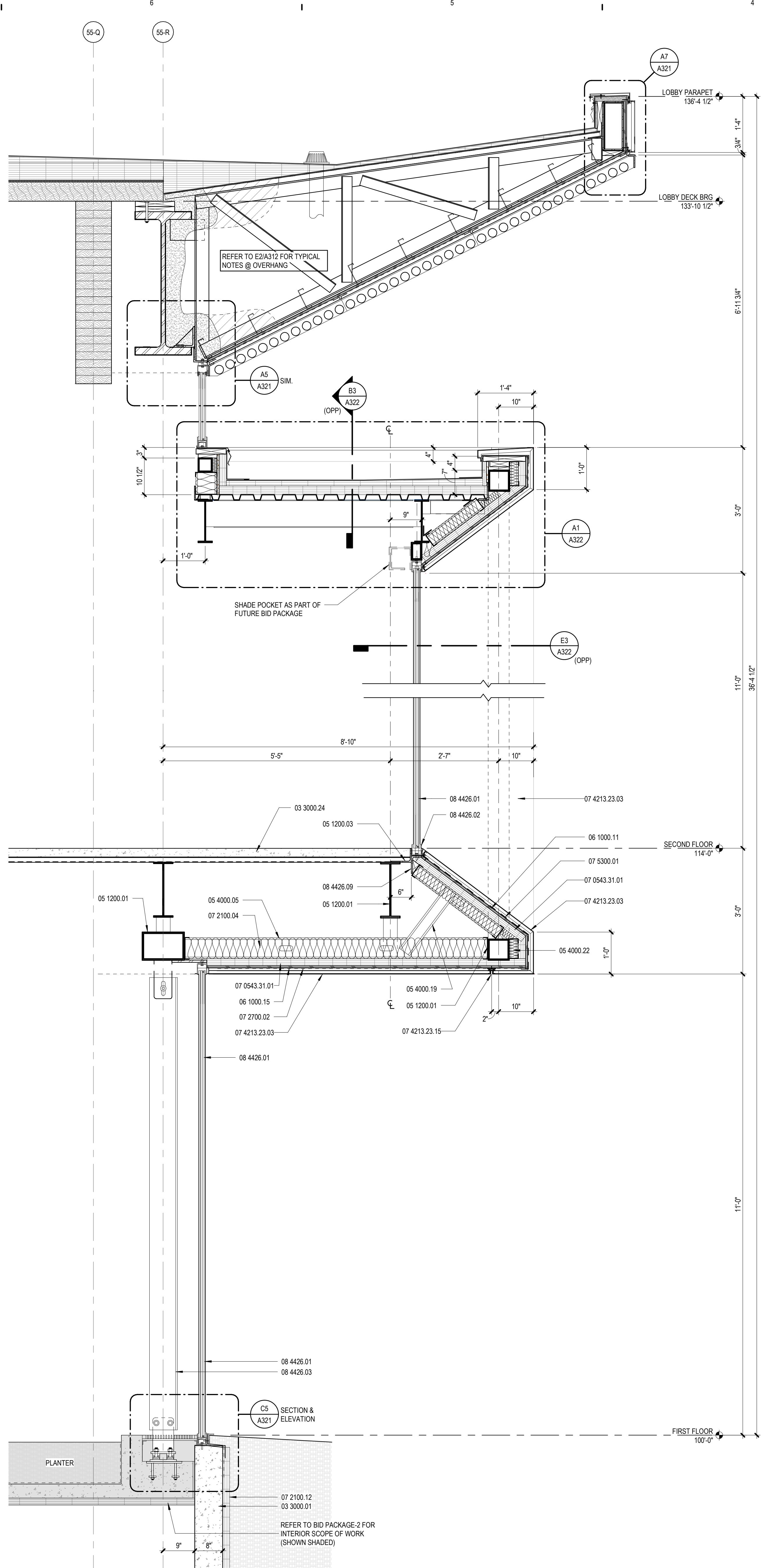
ISSUANCE
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BIDS AND PERMIT

PROJECT NUMBER
61960556
PROJECT MANAGER
K. BRANDSEN
PROFESSIONAL
D. MOLENAAR
DRAWN BY
J. CRIPPS
CHECKED BY



WALL SECTION
E6
3/4" = 1'-0"
A01

7



KEYNOTES	
NUMBER	NOTE
03 3000.01	CONCRETE FOUNDATION WALL
03 3000.24	CONCRETE FLOOR SLAB ON METAL DECK
05 1200.01	STRUCTURAL STEEL FRAMING
05 1200.03	STRUCTURAL STEEL EDGE ANGLE
05 3100.01	STEEL ROOF DECK
05 4000.05	1/2" PERIMETER FRAMING @ 16" OC
05 4000.19	3-5/8" METAL SLOP DIAGONAL BRACING @ 48" MAX.
05 4000.22	MISC CFM FRAMING/BLOCKING
05 5000.13	EXTERIOR DECORATIVE 2 1/2" DIAMETER EXTRUDED ALUMINUM TUBE CLADDING - WOOD GRAIN FINISH
05 5000.15	2X3 1/2" CONTINUOUS EXTRUDED ALUMINUM END ANGLE - BLACK FINISH
06 1000.07	5/8" FIRE RETARDANT TREATED PLYWOOD
06 1000.11	FIRE RETARDANT TREATED ROOF SHEATHING
06 1000.15	FIRE RETARDANT TREATED SOFFIT SHEATHING
06 1000.17	1/2" FIRE RETARDANT TREATED PLYWOOD
06 1800.01	GLULAM/LAMINATED BEAM
06 1800.07	WOOD DECK
07 0543.31.01	COMPOSITE FRAMING SUPPORT SYSTEM WITH CONTINUOUS INSULATION PANELS
07 2100.04	BATT INSULATION TO WIDTH OF STUD SPACE WITH INTEGRAL VAPOR RETARDER
07 2100.07	2" PERIMETER FOUNDATION WALL INSULATION, EXTEND TO TOP OF FOOTING
07 2119.01	FOAMED-IN-PLACE INSULATION (R-21) WITH INTUMESCENT PROTECTIVE COATING AT ALL EXPOSED SURFACES
07 2119.02	FOAMED-IN-PLACE INSULATION (R-21) PROVIDED AT EACH STEEL FRAMED CANOPY STRUCTURAL FRAME, WITH INTUMESCENT PROTECTIVE COATING AT ALL EXPOSED SURFACES
07 2700.02	SELF-ADHERED AIR BARRIER
07 4213.23.03	METAL COMPOSITE MATERIAL WALL PANEL SYSTEM - ALUMINUM PANEL FACE FACTORY PAINTED FINISH
07 4213.23.03	PANEL JOINT
07 5300.01	1/2" DECK SHEATHING
07 5300.23	1" RIGID ROOF INSULATION
08 4426.01	INSULATED, LAMINATED GLASS PANEL
08 4426.02	ANODIZED ALUMINUM GLAZING CHANNEL
08 4426.03	8X3.5" BOX TEE VERTICAL STEEL POST, FACTORY PAINTED
08 4426.09	CONTINUOUS STEEL SUPPORT ANGLE

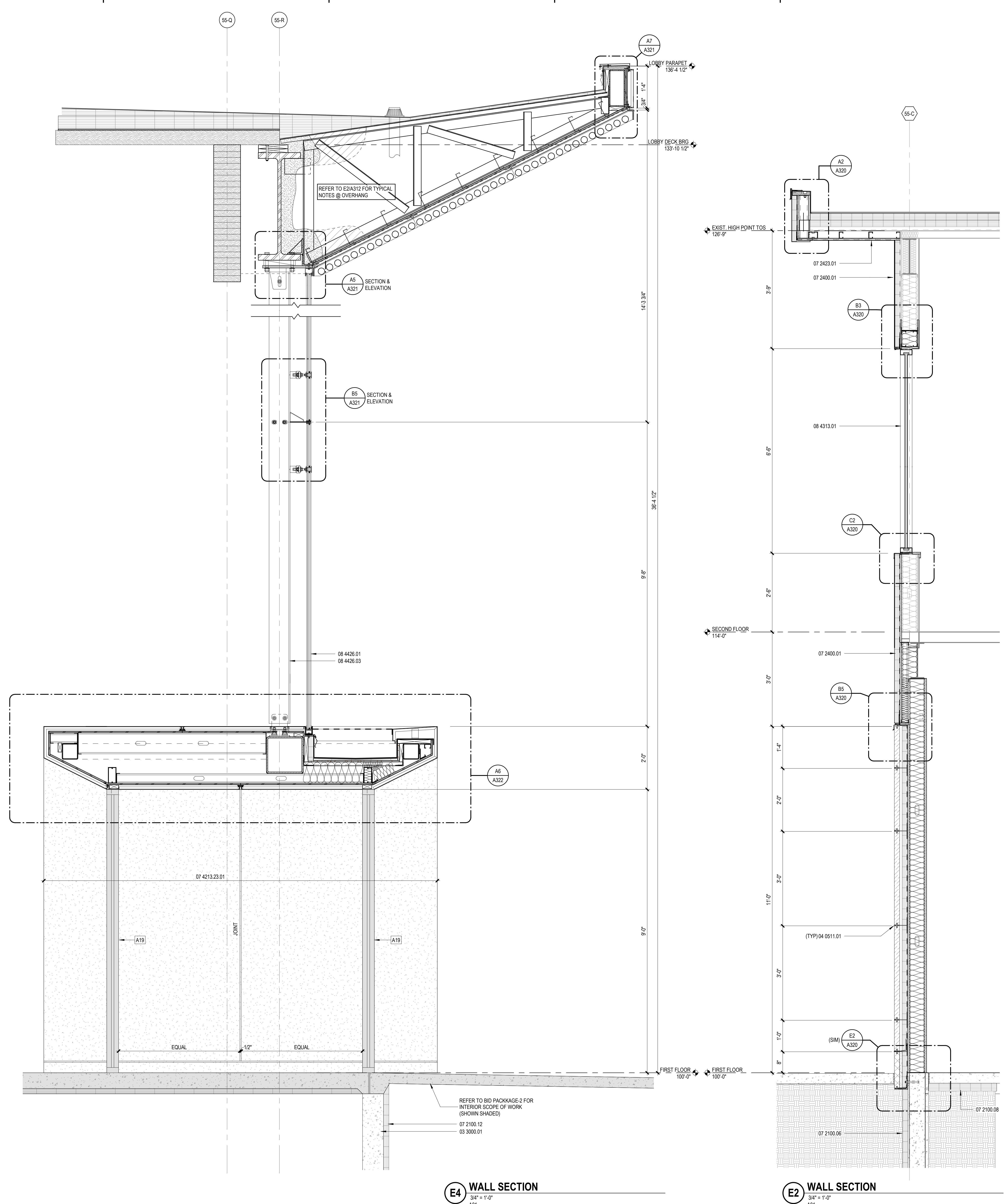
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ISSUANCE

10/21/2022 BID PACKAGE 1
BDS-AQ-PERMIT

PROJECT NUMBER
6196056
PROJECT MANAGER
K. BRANDSEN
PROFESSIONAL
D. MOLENAAR
DRAWN BY
G. FORBES
CHECKED BY
Checker

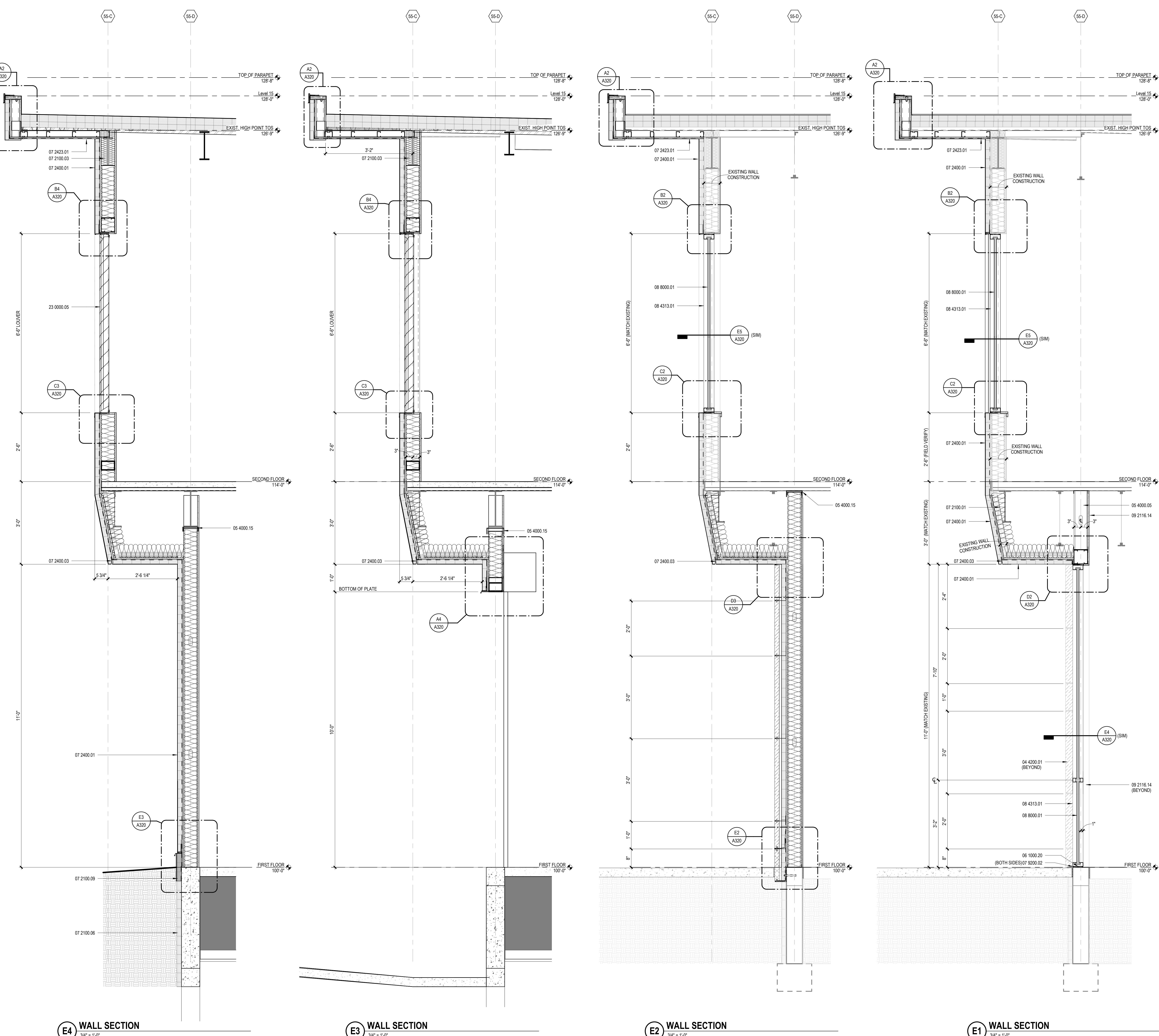
KEYNOTES	
NUMBER	NOTE
03 3000.01	CONCRETE FOUNDATION WALL
04 0511.01	MORTAR
07 2100.06	2' PERIMETER FOUNDATION WALL INSULATION
07 2100.08	3' CONTINUOUS INSULATION
07 2100.12	2' PERIMETER FOUNDATION WALL INSULATION, EXTEND TO TOP OF FOOTING
07 2400.01	DIRECT-APPLIED EXTERIOR FINISH SYSTEM
07 2420.01	DIRECT-APPLIED EXTERIOR FINISH SYSTEM
08 4313.01	ALUMINUM FRAMED STOREFRONT SYSTEM
08 4426.01	INSULATED, LAMINATED GLASS PANEL
08 4426.03	8'X3'5 BOX TEE VERTICAL STEEL POST, FACTORY PAINTED
A19	GLAZED ENTRY DOORS AND SIDELIGHT ASSEMBLY REFER TO BID PACKAGE-2

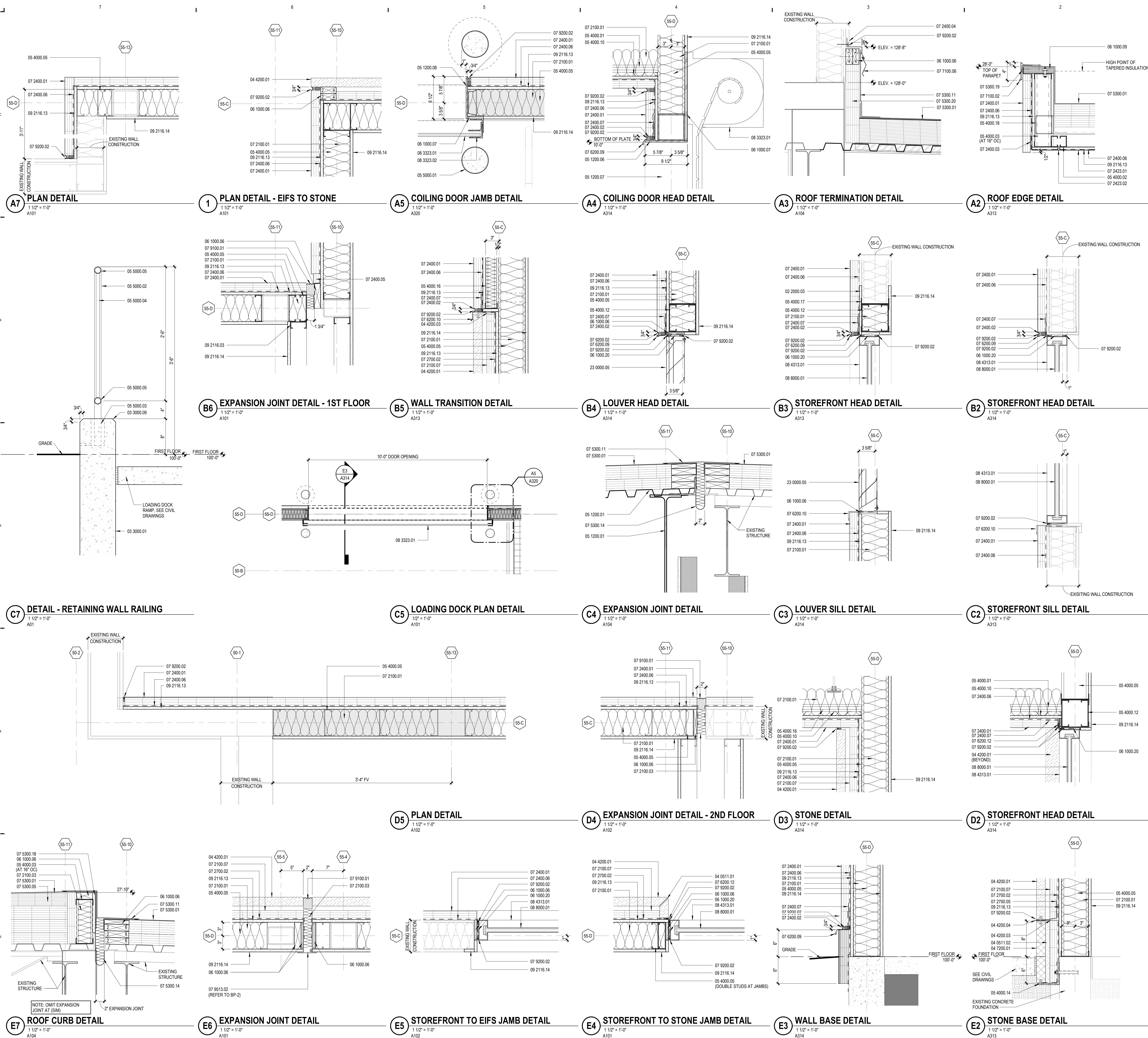
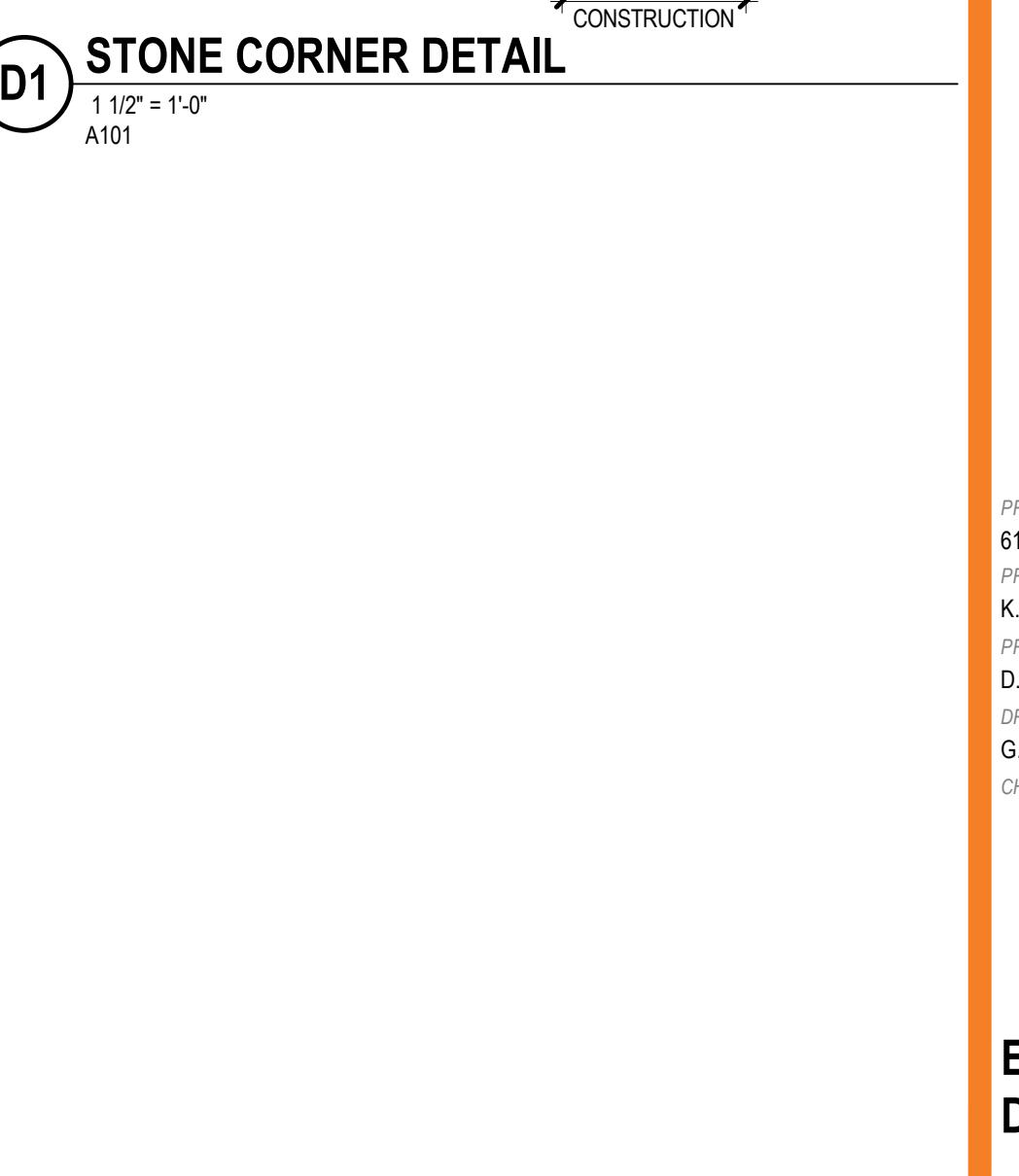
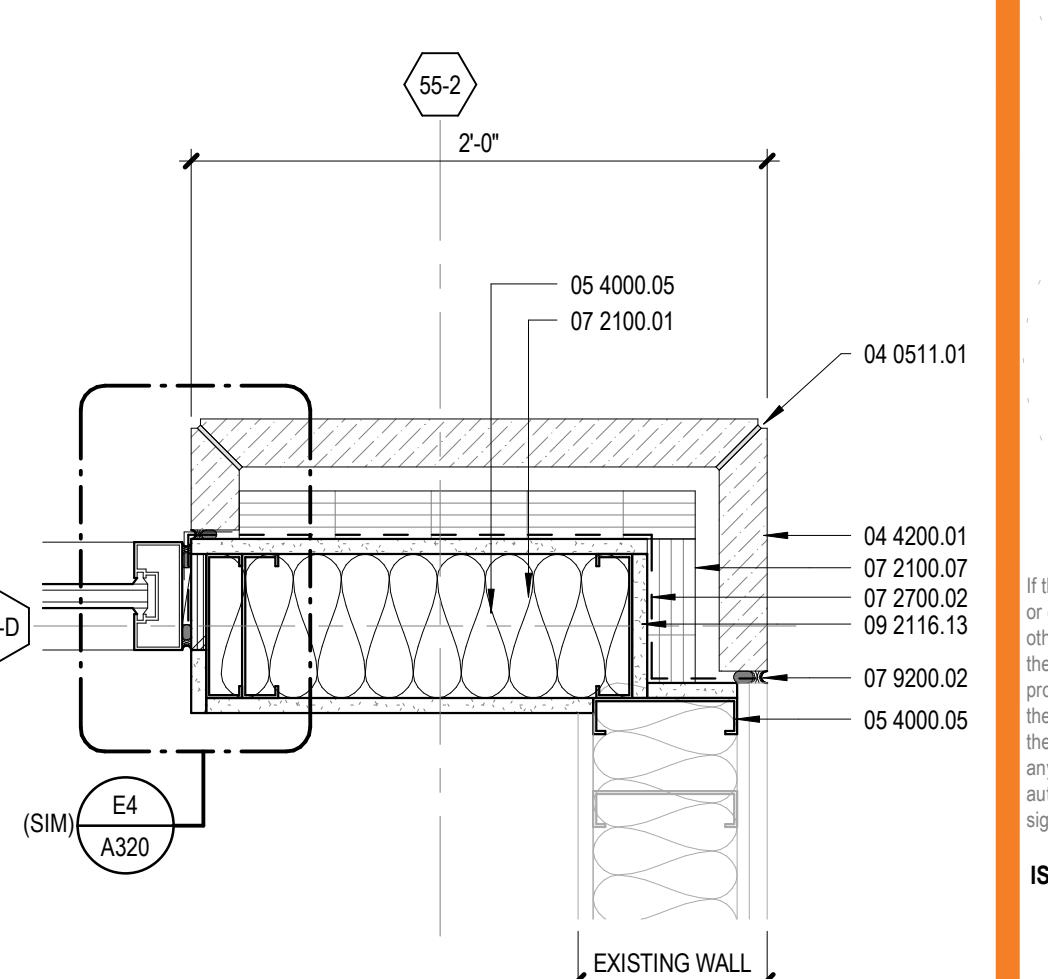
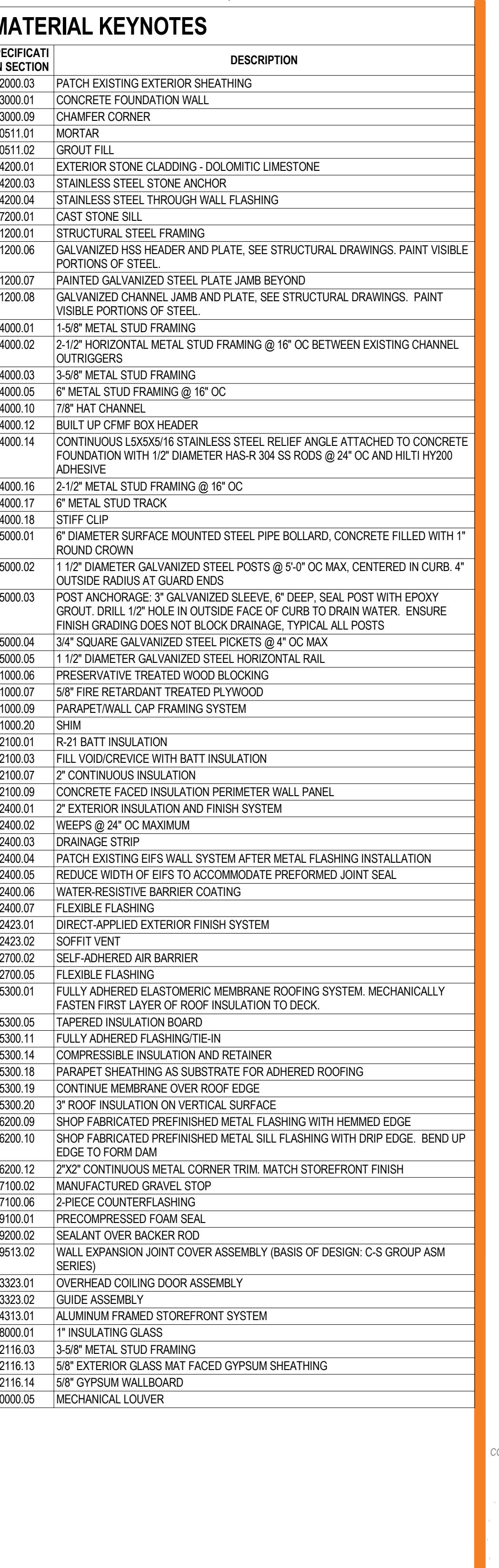


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NUMBER	NOTE
04 4200.01	EXTERIOR STONE CLADDING - DOLOMitic LIMESTONE
05 4000.05	6' METAL STUD FRAMING @ 16" OC
05 4000.15	DEFLECTION TRACK
06 1000.20	SHIM
07 2100.01	R-21 BATT INSULATION
07 2100.08	FILL VOID/GREVICE WITH BATT INSULATION
07 2100.09	P-2 PERIMETER FOUNDATION WALL INSULATION
07 2400.01	CONCRETE FAACED INSULATION PERIMETER WALL PANEL
07 2400.03	Z EXTERIOR INSULATION AND FINISH SYSTEM
07 2400.05	DRAINAGE STRIP
07 2423.01	DIRECT-APPLIED EXTERIOR FINISH SYSTEM
07 9200.02	SEALANT OVER BACKER ROD
08 4313.01	ALUMINUM FRAMED STOREFRONT SYSTEM
08 8000.01	1" INSULATING GLASS
09 2116.14	5/8" GYPSUM WALLBOARD
23 0000.05	MECHANICAL LOUVER



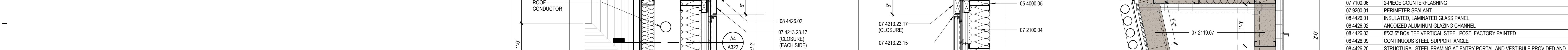
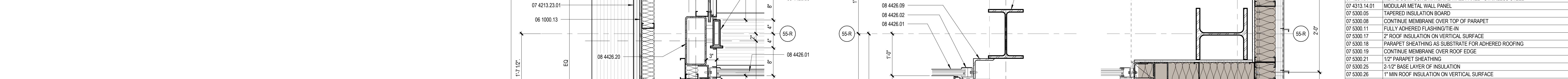
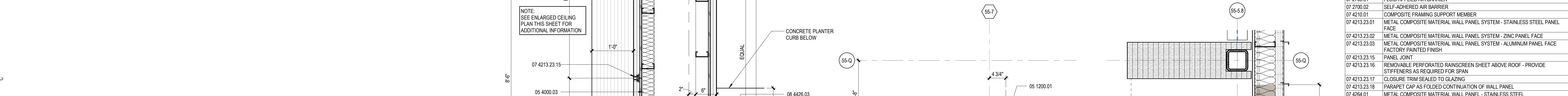
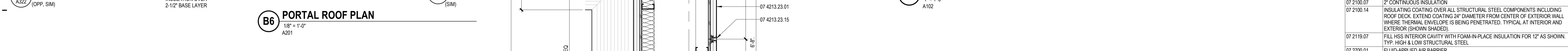
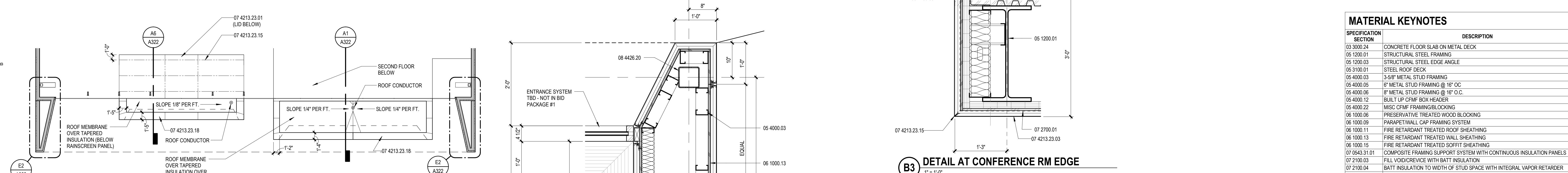
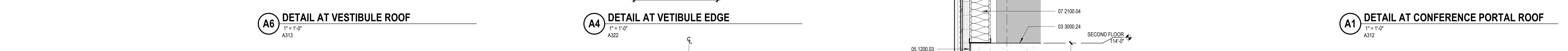
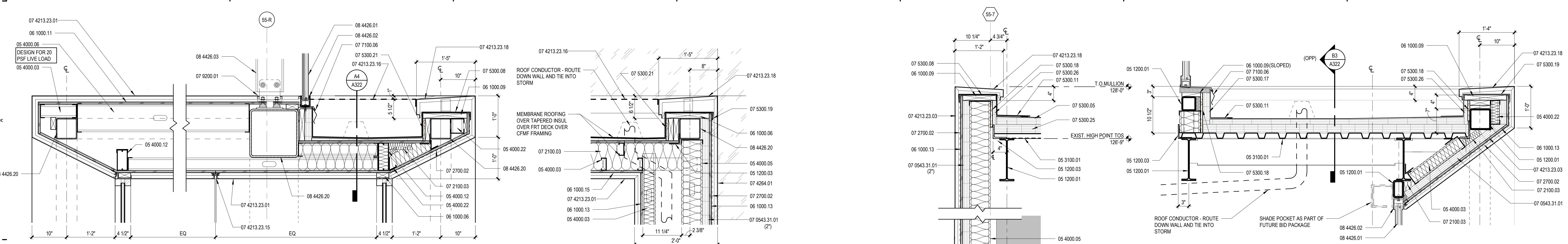


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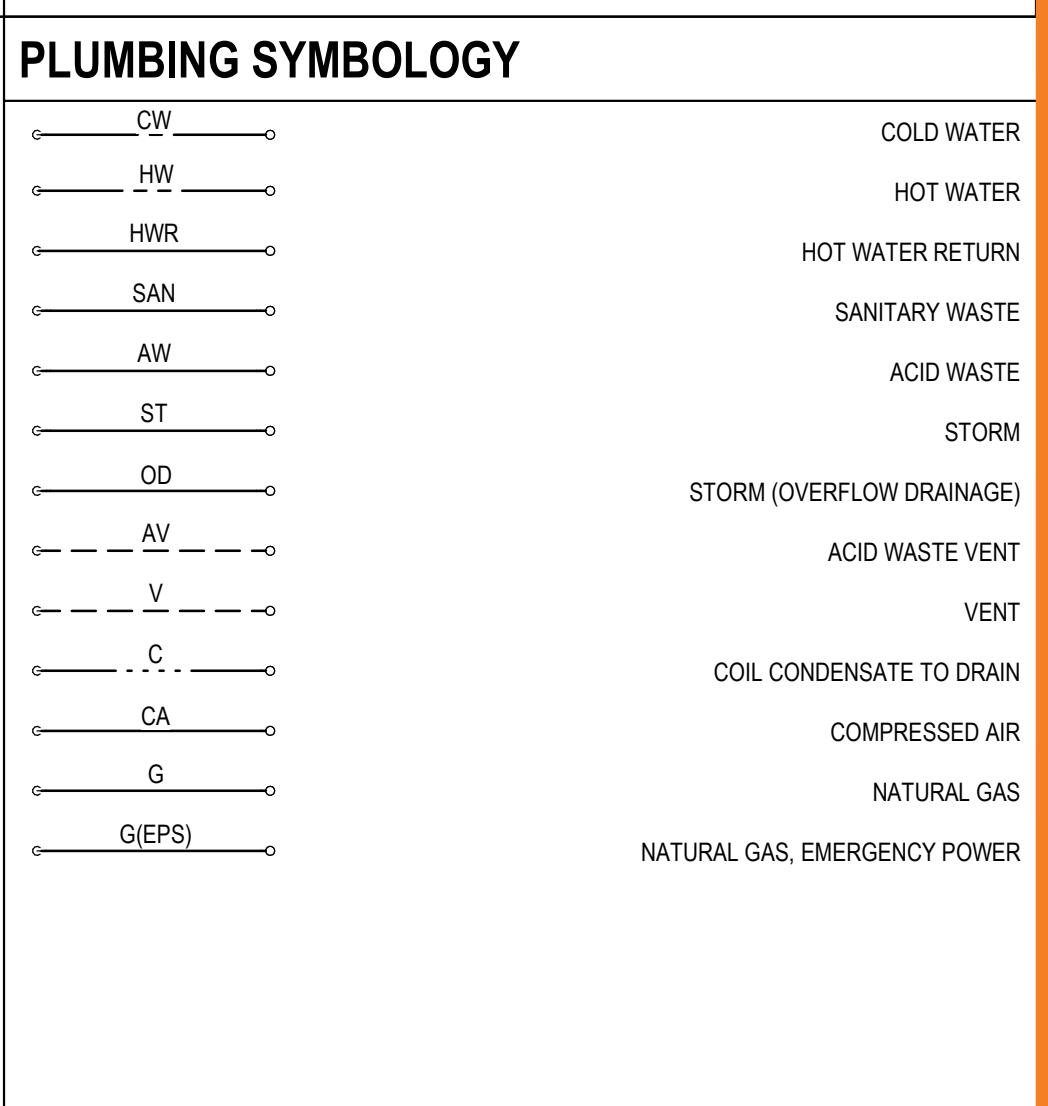
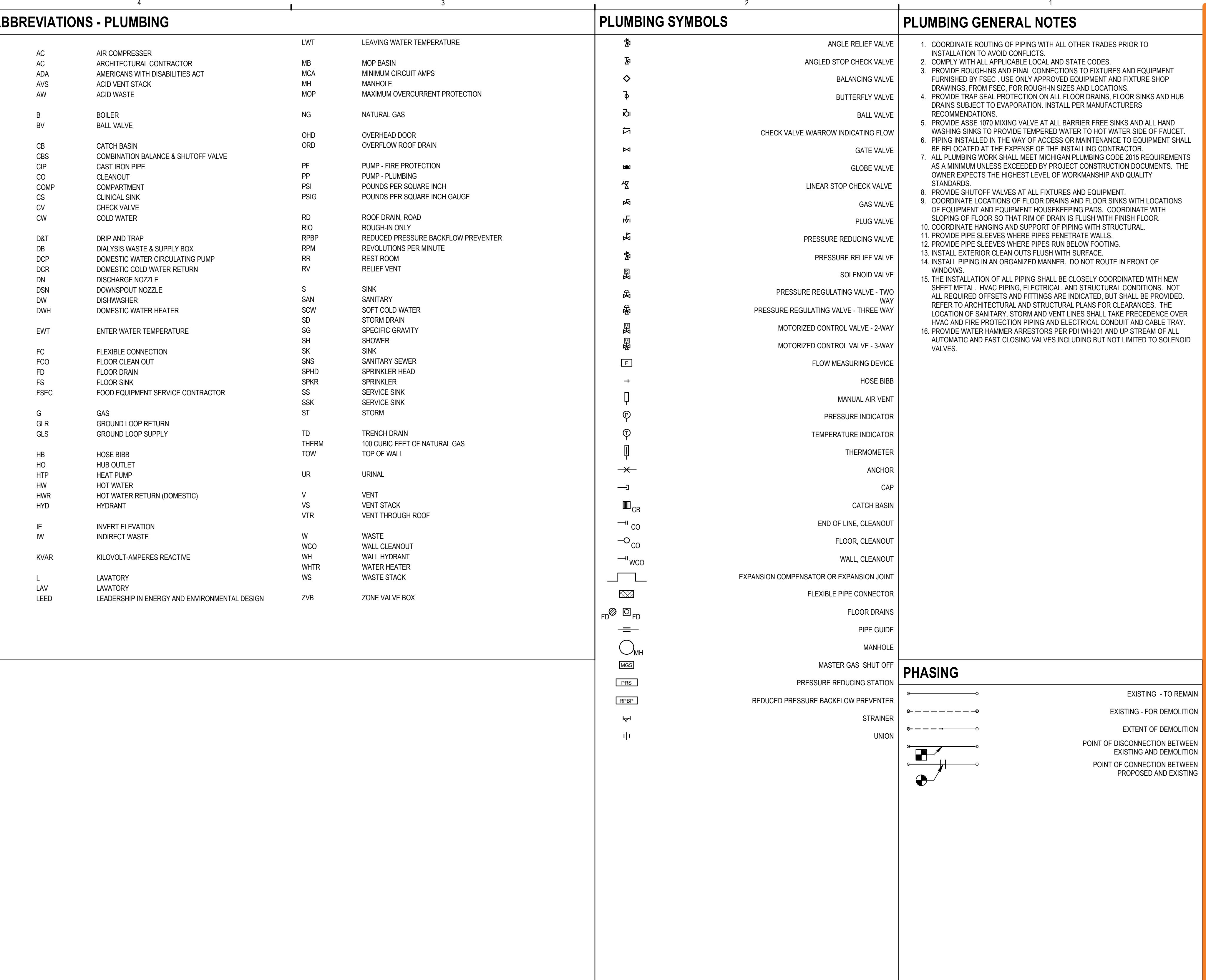
ISSUANCE
10/21/2022 BID PACKAGE T
BDS-AQD-PERMIT

PROJECT NUMBER
6196056
PROJECT MANAGER
K. BRANDSEN
PROFESSIONAL
D. MOLENAAR
DRAWN BY
J. CRIPPS
CHECKED BY

EXTERIOR
DETAILS
A322



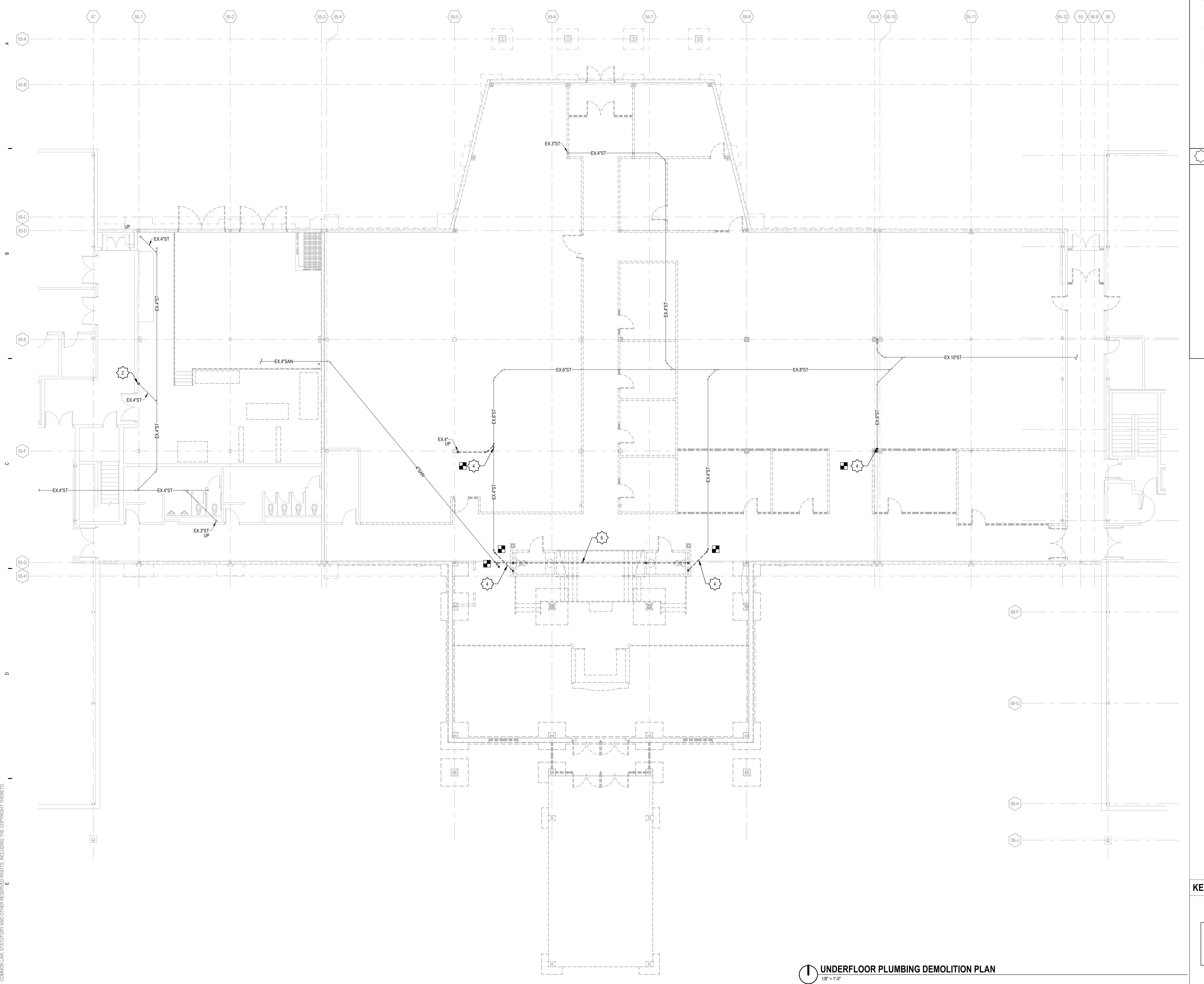
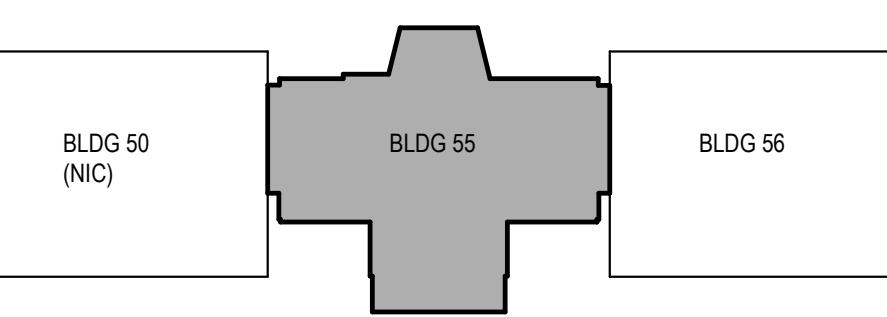
MATERIAL KEYNOTES	
SPECIFICATION SECTION	DESCRIPTION
03 00 00 CONCRETE	CONCRETE FLOOR SLAB ON METAL DECK
05 1200.01 STRUCTURAL STEEL FRAMING	STRUCTURAL STEEL FRAMING
05 1200.03 STRUCTURAL STEEL EDGE ANGLE	STRUCTURAL STEEL EDGE ANGLE
05 3100.01 STEEL ROOF DECK	STEEL ROOF DECK
05 4000.03 3/8" METAL STUD FRAMING	3/8" METAL STUD FRAMING
05 4000.05 6" METAL STUD FRAMING @ 16" OC	6" METAL STUD FRAMING @ 16" OC
05 4000.06 8" METAL STUD FRAMING @ 16" O.C.	8" METAL STUD FRAMING @ 16" O.C.
05 4000.12 BUILT UP CMF BOX HEADER	BUILT UP CMF BOX HEADER
05 4000.22 MISC CMF FRAMING/BLOCKING	MISC CMF FRAMING/BLOCKING
05 1000.09 PARAPET/WALL CAP FRAMING SYSTEM	PRESERVATIVE TREATED WOOD BLOCKING
05 1000.13 PARAPET SHEATHING	PARAPET SHEATHING
05 1200.03 INSULATING COATING OVER ALL STRUCTURAL STEEL COMPONENTS INCLUDING ROOF DECK, EXTERIOR COATING 24" DIAMETER FROM CENTER OF EXTERIOR WALL WHERE ROOF DECK IS BEING PENETRATED. TYPICAL AT INTERIOR AND EXTERIOR (SHOWN SHADED)	INSULATING COATING OVER ALL STRUCTURAL STEEL COMPONENTS INCLUDING ROOF DECK, EXTERIOR COATING 24" DIAMETER FROM CENTER OF EXTERIOR WALL WHERE ROOF DECK IS BEING PENETRATED. TYPICAL AT INTERIOR AND EXTERIOR (SHOWN SHADED)
05 0543.31.01 COMPOSITE FRAMING SUPPORT SYSTEM WITH CONTINUOUS INSULATION PANELS	FILL VOID/CREVICE WITH BATT INSULATION
07 2100.03 BATT INSULATION TO WIDTH OF STUD SPACE WITH INTEGRAL VAPOR RETARDER	BATT INSULATION TO WIDTH OF STUD SPACE WITH INTEGRAL VAPOR RETARDER
07 2100.07 2' CONTINUOUS INSULATION	2' CONTINUOUS INSULATION
07 2100.14 INSULATING COATING OVER ALL STRUCTURAL STEEL COMPONENTS INCLUDING ROOF DECK, EXTERIOR COATING 24" DIAMETER FROM CENTER OF EXTERIOR WALL WHERE ROOF DECK IS BEING PENETRATED. TYPICAL AT INTERIOR AND EXTERIOR (SHOWN SHADED)	INSULATING COATING OVER ALL STRUCTURAL STEEL COMPONENTS INCLUDING ROOF DECK, EXTERIOR COATING 24" DIAMETER FROM CENTER OF EXTERIOR WALL WHERE ROOF DECK IS BEING PENETRATED. TYPICAL AT INTERIOR AND EXTERIOR (SHOWN SHADED)
07 2119.07 FILL HSS INTERIOR CAVITY WITH FOAM-IN-PLACE INSULATION FOR 12" AS SHOWN. TYP HIGH & LOW STRUCTURAL STEEL	FILL HSS INTERIOR CAVITY WITH FOAM-IN-PLACE INSULATION FOR 12" AS SHOWN. TYP HIGH & LOW STRUCTURAL STEEL
07 2700.01 FLUID-APPLIED AIR BARRIER	FLUID-APPLIED AIR BARRIER
07 2700.02 SELF-ADHERED AIR BARRIER	SELF-ADHERED AIR BARRIER
07 4210.01 COMPOSITE FRAMING SUPPORT MEMBER	COMPOSITE FRAMING SUPPORT MEMBER
07 4213.23.01 METAL COMPOSITE MATERIAL WALL PANEL SYSTEM - STAINLESS STEEL PANEL FACE	07 4213.23.01 METAL COMPOSITE MATERIAL WALL PANEL SYSTEM - STAINLESS STEEL PANEL FACE
07 4213.23.02 METAL COMPOSITE MATERIAL WALL PANEL SYSTEM - ZINC PANEL FACE	07 4213.23.02 METAL COMPOSITE MATERIAL WALL PANEL SYSTEM - ZINC PANEL FACE
07 4213.23.03 METAL COMPOSITE MATERIAL WALL PANEL SYSTEM - ALUMINUM PANEL FACE	07 4213.23.03 METAL COMPOSITE MATERIAL WALL PANEL SYSTEM - ALUMINUM PANEL FACE
07 4213.23.11 PANEL JOINT	PANEL JOINT
07 4213.23.17 REMOVABLE PERFORATED RAIN SCREEN SHEET ABOVE ROOF - PROVIDE CLOSURE TRIM AS REQUIRED FOR SPAN	REMOVABLE PERFORATED RAIN SCREEN SHEET ABOVE ROOF - PROVIDE CLOSURE TRIM AS REQUIRED FOR SPAN
07 4213.23.18 PARAPET CAP AS FOLDED CONTINUATION OF WALL PANEL	PARAPET CAP AS FOLDED CONTINUATION OF WALL PANEL
07 4264.01 METAL COMPOSITE MATERIAL WALL PANEL - STAINLESS STEEL	07 4264.01 METAL COMPOSITE MATERIAL WALL PANEL - STAINLESS STEEL
07 4313.14.01 MODULAR METAL WALL PANEL	07 4313.14.01 MODULAR METAL WALL PANEL
07 5300.05 TAPERED INSULATION BOARD	07 5300.05 TAPERED INSULATION BOARD
07 5300.08 CONTINUE MEMBRANE OVER TOP OF PARAPET	07 5300.08 CONTINUE MEMBRANE OVER TOP OF PARAPET
07 5300.11 FULLY ADHERED FLASHING/TIE-IN	07 5300.11 FULLY ADHERED FLASHING/TIE-IN
07 5300.17 2' ROOF INSULATION ON VERTICAL SURFACE	07 5300.17 2' ROOF INSULATION ON VERTICAL SURFACE
07 5300.18 PARAPET SHEATHING AS SUBSTRATE FOR ADHERED ROOFING	07 5300.18 PARAPET SHEATHING AS SUBSTRATE FOR ADHERED ROOFING
07 5300.19 CONTINUE MEMBRANE OVER ROOF EDGE	07 5300.19 CONTINUE MEMBRANE OVER ROOF EDGE
07 5300.25 2-1/2 BASE LAYER OF INSULATION	07 5300.25 2-1/2 BASE LAYER OF INSULATION
07 5300.26 1" MIN ROOF INSULATION ON VERTICAL SURFACE	07 5300.26 1" MIN ROOF INSULATION ON VERTICAL SURFACE
07 7100.06 2-Piece COUNTERFLASHING	07 7100.06 2-Piece COUNTERFLASHING
07 9200.01 PERIMETER SEALANT	07 9200.01 PERIMETER SEALANT
08 4426.01 INSULATED, LAMINATED GLASS PANEL	08 4426.01 INSULATED, LAMINATED GLASS PANEL
08 4426.02 ANODIZED ALUMINUM GLAZING CHANNEL	08 4426.02 ANODIZED ALUMINUM GLAZING CHANNEL
08 4426.03 8'X3' BOX TEE VERTICAL STEEL POST, FACTORY PAINTED	08 4426.03 8'X3' BOX TEE VERTICAL STEEL POST, FACTORY PAINTED
08 4426.09 CONTINUOUS STEEL SUPPORT ANGLE	08 4426.09 CONTINUOUS STEEL SUPPORT ANGLE
08 4426.20 STRUCTURAL STEEL FRAMING AT ENTRY PORTAL AND VESTIBULE PROVIDED AND ENGINEERED BY STRUCTURAL GLASS CURTAINWALL SUPPLIER	08 4426.20 STRUCTURAL STEEL FRAMING AT ENTRY PORTAL AND VESTIBULE PROVIDED AND ENGINEERED BY STRUCTURAL GLASS CURTAINWALL SUPPLIER



PLUMBING DEMOLITION NOTES											
1. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND/OR REGULATORY AGENCIES, CODES AND REGULATIONS FOR NEW WORK.											
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THEIR WORK WITH OTHER TRADES AND WITH THE CONSTRUCTION MANAGER.											
3. VERIFY SITE CONDITIONS IN FIELD BEFORE START OF CONSTRUCTION. NOTIFY ARCHITECT/ENGINEER OF DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS.											
4. COORDINATE ALL WORK WITH APPROPRIATE TRADES.											
5. COORDINATE ALL REQUIRED SHUTDOWN OF SERVICES OR EQUIPMENT WITH OWNER/CONTRACTOR TO MINIMIZE INTERRUPTION OF EXISTING SERVICES. VERIFY ALL SYSTEMS BEFORE STARTING DEMOLITION TO ASSURE OTHER AREAS WILL NOT LOSE SERVICE.											
6. COORDINATE FLOOR/WALL AND ROOF PENETRATIONS ETC. WITH ARCHITECTURAL TRADES. MAKE SURE EIGHT SEAL FOR ALL EXTERIOR WALL AND ROOF PENETRATION AS NECESSARY.											
7. COORDINATE ALL FLOOR CUTTING WITH STRUCTURAL TRADES BEFORE CUTTING. HOLES AND PENETRATIONS IN RATED WALLS SHALL BE PATCHED WITH APPROPRIATE MATERIAL AND RE-RATED IF NEEDED.											
8. COORDINATE ALL PLUMBING CUTTING WITH MECHANICAL TRADES BEFORE CUTTING.											
9. NO ITEMS TO BE ABANDONED IN PLACE.											
10. ALL ITEMS TO BE DEMOLISHED TO BE REMOVED AND REMAINING OPEN SYSTEMS TO BE PATCHED, CAPPED AND SEALED TO PROVIDE A FINISHED SYSTEM.											
11. DEMOLISHED EXISTING LINE SHALL NOT ALLOW TO LEAK INTO MAIN CAP AND PIPING AND AVOID CONNECTION TO ANY FROM THE SURROUNDING AREAS.											
12. ALL SYSTEMS OPENED DURING DEMOLITION SHALL BE CLOSED AND RETURNED TO OPERATION BY END OF SHIFT. NO SYSTEMS ALLOWED TO BE LEFT OPEN WHEN NOT BEING SUPERVISED BY CONTRACTOR RESPONSIBLE FOR THAT TRADE.											

PLMBG & FP DEMOLITION KEYNOTES

1. DISCONNECT AND DEMOLISH EXISTING ROOF DRAIN PIPING RISER AT FIRST FLOOR PENETRATION.
2. DISCONNECT AND DEMOLISH EXISTING ROOF DRAIN PIPING RISER AT FLOOR PENETRATION AND REMOVE FROM THE LOCATION.
3. REMOVE EXISTING ROOF DRAIN AND ALL ASSOCIATED ACCESSORIES.
4. DISCONNECT AND DEMOLISH EXISTING ROOF DRAIN PIPING UP TO POINT OF DISCONNECTION. TO BE RECONNECTED DURING NEW CONSTRUCTION.
5. DEMOLISH EXISTING ROOF DRAIN AND ALL ASSOCIATED ACCESSORIES LOCATED ON FIRE INGRESS MAIN CONDUIT UP TO 6'0" IN NEW CONSTRUCTION.
6. REMOVE EXISTING SANITARY/EVENT PIPING AND ASSOCIATED HANGERS/ACCESSORIES AS INDICATED.
7. REMOVE EXISTING DOMESTIC WATER PIPING AND ASSOCIATED PIPING/ACCESSORIES AS INDICATED.
8. REMOVE EXISTING PLUMBING FIXTURE AND ALL ASSOCIATED PLUMBING PIPING/ACCESSORIES COMPLETELY.
9. PRIOR TO DEMOLITION, CONFIRM WITH OWNER ABOUT SALVAGING OF KITCHEN EQUIPMENT. CAREFULLY REMOVE, STORE AND KEEP SAFE SALVAGED EQUIPMENT. DEMOLISH AND REMOVE ALL EXISTING KITCHEN EQUIPMENT, ASSOCIATED PIPING AND ACCESSORIES COMPLETELY.
10. REMOVE EXISTING FIRE PROTECTION SPRINKLER HEADS AND MAIN PIPING THROUGHOUT ENTIRE SPACE IN PREPARATION FOR FORTHCOMING NEW WORK.

**KEY PLAN**

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ISSUANCE

10/21/2022

BID PACKAGE 1

BOS AND PERMIT

PLUMBING DEMOLITION NOTES

- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND/OR REGULATORY AGENCIES, CODES AND REGULATIONS FOR NEW WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THEIR WORK WITH OTHER TRADES AND WITH THE CONSTRUCTION MANAGER.
- VERIFY ALL CONDITIONS IN FIELD BEFORE START OF CONSTRUCTION. NOTIFY ARCHITECT/ENGINEER OF DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS.
- COORDINATE ALL WORK WITH APPROPRIATE TRADES.
- COORDINATE ALL REQUIRED SHUTDOWN OF SERVICES OR EQUIPMENT WITH OWNER/CONTRACTOR TO MINIMIZE INTERRUPTION OF EXISTING SERVICES. VERIFY ALL SYSTEMS BEFORE STARTING DEMOLITION TO ASSURE OTHER AREAS WILL NOT LOSE SERVICE.
- COORDINATE FLOOR, WALL, AND ROOF PENETRATIONS ETC. WITH ARCHITECTURAL TRADES. MAKE SURE THERE IS A TIGHT SEAL FOR ALL EXTERIOR WALL AND ROOF PENETRATION AS NECESSARY.
- COORDINATE ALL FLOOR CUTTING WITH STRUCTURAL TRADES BEFORE CUTTING.
- HOLES AND PENETRATIONS IN RATED WALLS SHALL BE PATCHED WITH APPROPRIATE STOPOFF MATERIAL FOR RATING REQUIRED.
- NO ITEMS TO BE ABANDONED IN PLACE.
- ALL ITEMS TO BE DEMOLISHED TO BE REMOVED AND REMAINING OPEN SYSTEMS TO BE PATCHED, CAPPED AND SEALED TO PROVIDE A FINISHED SYSTEM.
- DEMOLISHED PLUMBING LINE SHALL NOT ALLOW TO CONTAMINATE CUP AND TRASH AND AVOID CONVENTION TO ANY FROM THE SURROUNDING AREAS.
- ALL SYSTEMS OPENED DURING DEMOLITION SHALL BE CLOSED AND RETURNED TO OPERATION BY END OF SHIFT. NO SYSTEMS ALLOWED TO BE LEFT OPEN WHEN NOT BEING SUPERVISED BY CONTRACTOR RESPONSIBLE FOR THAT TRADE.

PLMBG & FP DEMOLITION KEYNOTES

- DISCONNECT AND DEMOLISH EXISTING ROOF DRAIN PIPING RISER AT FIRST FLOOR PENETRATION.
- DISCONNECT AND DEMOLISH EXISTING ROOF DRAIN PIPING RISER AT FLOOR PENETRATION AND REMOVE FROM THE LOCATION.
- REMOVE EXISTING ROOF DRAIN AND ALL ASSOCIATED ACCESSORIES.
- DISCONNECT AND DEMOLISH EXISTING ROOF DRAIN PIPING UP TO POINT OF DISCONNECTION, TO BE RECONNECTED DURING NEW CONSTRUCTION.
- DEMOLISH EXISTING ROOF DRAIN AND ALL ASSOCIATED ACCESSORIES LOCATED ON FLOOR. INCREASE MAIN CONDUIT DIAMETER TO 6" IN NEW CONSTRUCTION.
- REMOVE EXISTING SANITARY PIPING AND ASSOCIATED HANGERS/ACCESSORIES AS INDICATED.
- REMOVE EXISTING DOMESTIC WATER PIPING AND ASSOCIATED PIPING/ACCESSORIES AS INDICATED.
- REMOVE EXISTING PLUMBER FIXTURE AND ALL ASSOCIATED PLUMBING PIPING/ACCESSORIES COMPLETELY.
- PRIOR TO DEMOLITION, CONFIRM WITH OWNER ABOUT SALVAGING OF KITCHEN EQUIPMENT. CAREFULLY REMOVE, STORE AND KEEP SAFE SALVAGED EQUIPMENT. DEMOLISH AND REMOVE ALL EXISTING KITCHEN EQUIPMENT, ASSOCIATED PIPING AND ACCESSORIES COMPLETELY.
- REMOVE EXISTING FIRE PROTECTION SPRINKLER HEADS AND MAIN PIPING THROUGHOUT ENTIRE SPACE IN PREPARATION FOR FORTHCOMING NEW WORK.

COA ARCHITECT COA ENGINEER

KEY PLAN

FIRST FLOOR PLUMBING AND FIRE PROTECTION DEMO PLAN

1'8" = 1'-0"

PROJECT NUMBER
6196056
PROJECT MANAGER
K. BRANDSEN
PROFESSIONAL
JKK
DRAWN BY
JKK
CHECKED BY
SMB

FIRST FLOOR
PLUMBING AND
FIRE
PROTECTION
DEMO PLAN
PD101

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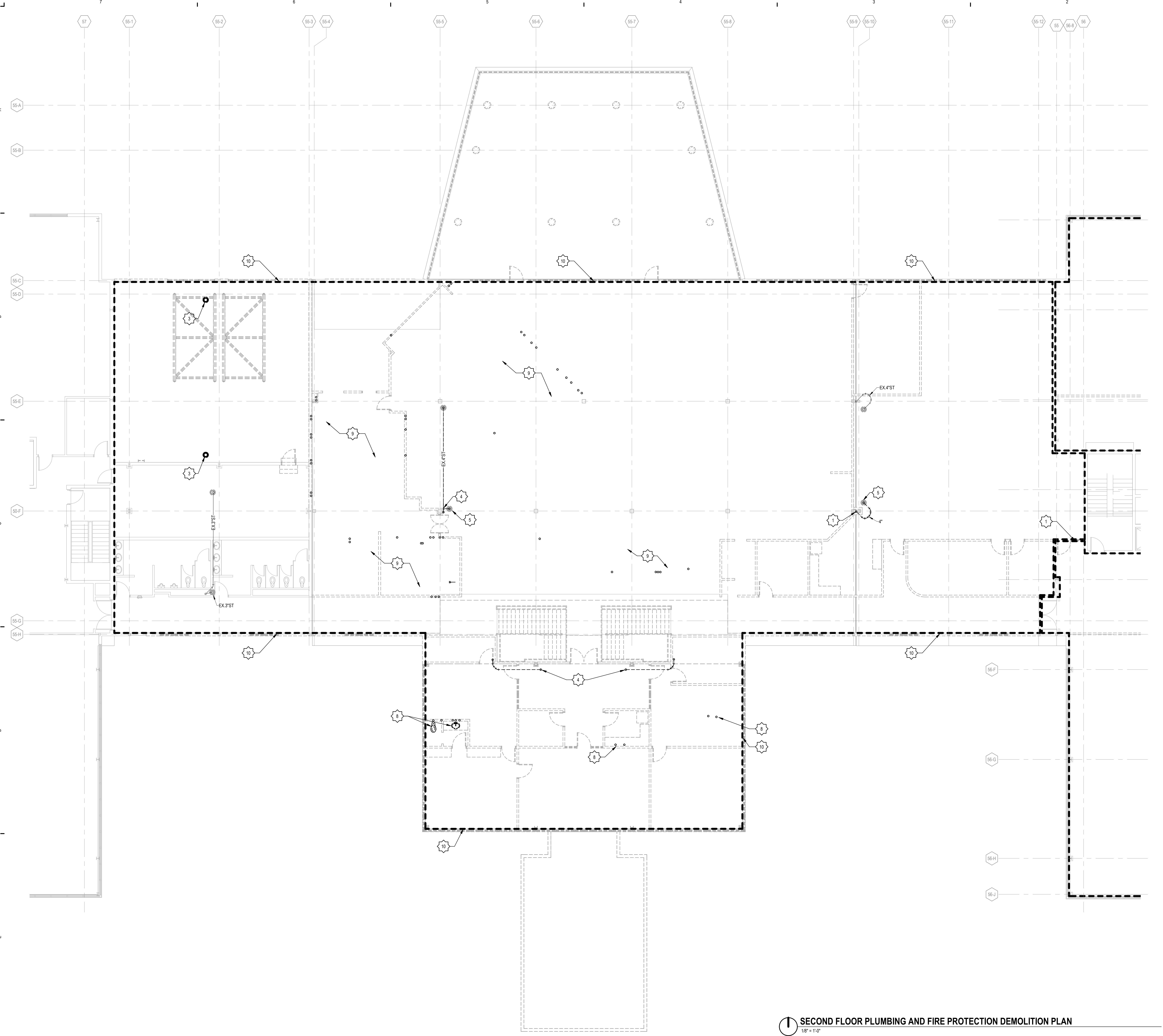
PROJECT NUMBER
6196056
PROJECT MANAGER
K. BRANDSEN
PROFESSIONAL
JDK
DRAWN BY
JDK
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SMB

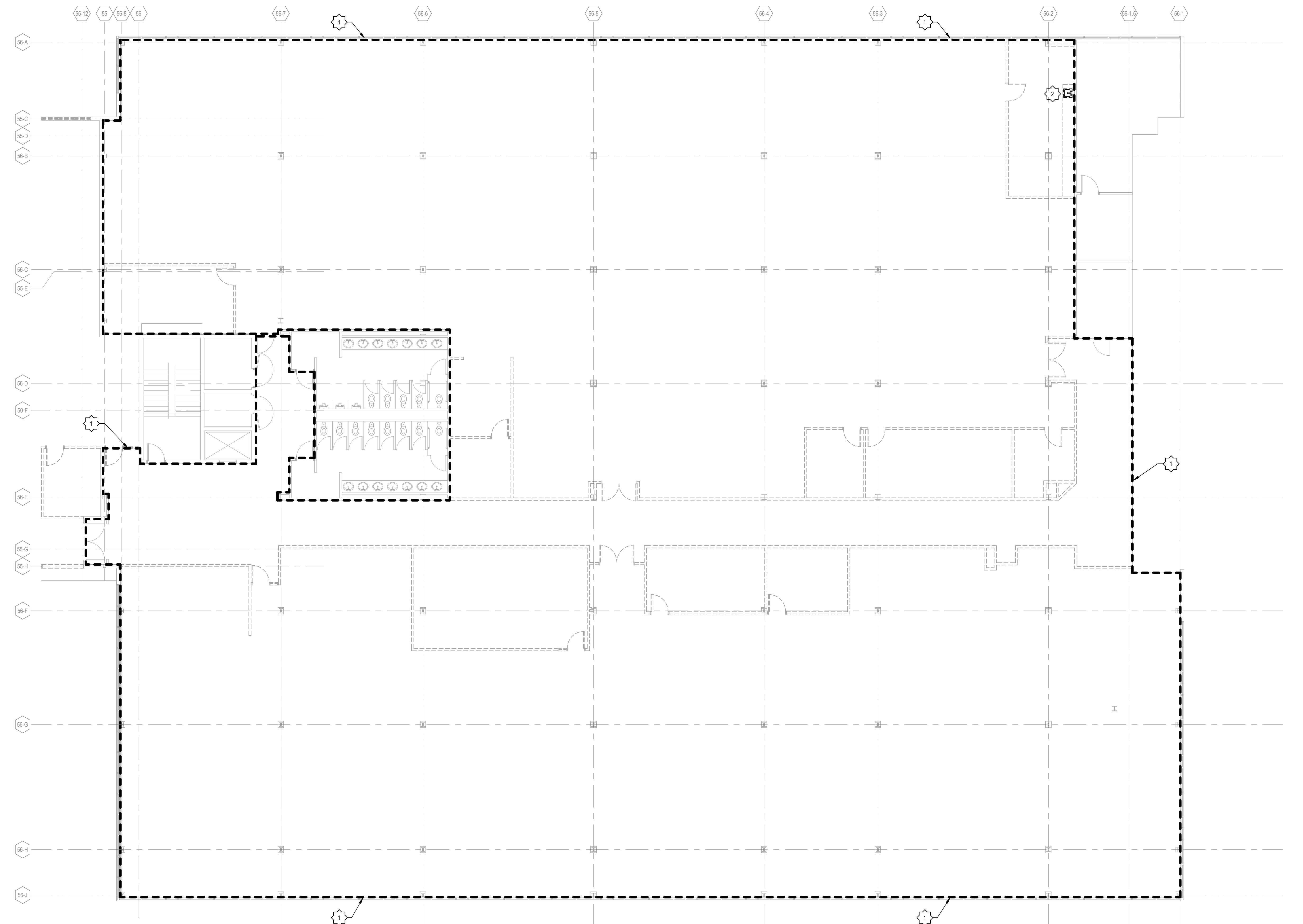
SECOND FLOOR
PLUMBING AND
FIRE
PROTECTION
DEMO PLAN
PD102

PLUMBING DEMOLITION NOTES											
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6. COORDINATE FLOOR, WALL, AND ROOF PENETRATIONS ETC. WITH ARCHITECTURAL TRADES. MAKE SURE ALL GROUT SEALS FOR ALL EXTERIOR WALL AND ROOF PENETRATION AS NECESSARY.											
7. COORDINATE ALL FLOOR CUTTING WITH STRUCTURAL TRADES BEFORE CUTTING.											
8. HOLES AND PENETRATIONS IN RATED WALLS SHALL BE PATCHED WITH APPROPRIATE MATERIAL AND RE-RATED AS REQUIRED.											
9. NO ITEM IS TO BE ABANDONED IN PLACE.											
10. ALL ITEMS TO BE REMOVED AND REMAINING SYSTEMS TO BE PATCHED, CAPPED AND SEALED TO PROVIDE A FINISHED SYSTEM.											
11. DEMOLISHED PLUMBING LINE SHALL NOT ALLOW TO LEAK INTO PLANT CAP AND PLANT DRAIN CONDUIT CONNECTION TO ANY FROM THE SURROUNDING AREAS.											
12. ALL SYSTEMS OPENED DURING DEMOLITION SHALL BE CLOSED AND RETURNED TO OPERATION BY END OF SHIFT. NO SYSTEMS ALLOWED TO BE LEFT OPEN WHEN NOT BEING SUPERVISED BY CONTRACTOR RESPONSIBLE FOR THAT TRADE.											

PLMBG & FP DEMOLITION KEYNOTES

1. DISCONNECT AND DEMOLISH EXISTING ROOF DRAIN PIPING RISER AT FIRST FLOOR PENETRATION.
2. DISCONNECT AND DEMOLISH EXISTING ROOF DRAIN PIPING RISER AT FLOOR PENETRATION AND REMOVE FROM THE LOCATION.
3. REMOVE EXISTING ROOF DRAIN AND ALL ASSOCIATED ACCESSORIES.
4. DISCONNECT AND DEMOLISH EXISTING ROOF DRAIN PIPING UP TO POINT OF DISCONNECTION. TO BE RECONNECTED DURING NEW CONSTRUCTION.
5. DEMOLISH EXISTING ROOF DRAIN AND ALL ASSOCIATED ACCESSORIES LOCATED ON 6. REMOVE EXISTING MAIN CONDUIT PIPING AND ASSOCIATED HANGERS/ACCESSORIES AS INDICATED.
7. REMOVE EXISTING DOMESTIC WATER PIPING AND ASSOCIATED PIPING/ACCESSORIES.
8. REMOVE EXISTING SANITARY PIPING AND ALL ASSOCIATED PLUMBING PIPING/ACCESSORIES COMPLETELY.
9. PRIOR TO DEMOLITION, CONFIRM WITH OWNER ABOUT SALVAGING OF KITCHEN EQUIPMENT. CAREFULLY REMOVE, STORE AND KEEP SAFE SALVAGED EQUIPMENT. DEMOLISH AND REMOVE ALL EXISTING KITCHEN EQUIPMENT, ASSOCIATED PIPING AND ACCESSORIES COMPLETELY.
10. REMOVE EXISTING FIRE PROTECTION SPRINKLER HEADS AND MAIN PIPING THROUGHOUT ENTIRE SPACE IN PREPARATION FOR FORTHCOMING NEW WORK.





PLUMBING DEMOLITION NOTES											
<ol style="list-style-type: none"> 1. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND/OR REGULATORY AGENCIES, CODES AND REGULATIONS FOR NEW WORK. 2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THEIR WORK WITH OTHER TRADES AND WITH THE CONSTRUCTION MANAGER. 3. VERIFY FIELD CONDITIONS IN FIELD BEFORE START OF CONSTRUCTION NOTIFY ARCHITECT/ENGINEER OF DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS. 4. COORDINATE ALL WORK WITH APPROPRIATE TRADES. 5. COORDINATE ALL REQUIRED SHUTDOWN OF SERVICES OR EQUIPMENT WITH CONTRACTOR TO MINIMIZE INTERRUPTION OF EXISTING SERVICES. VERIFY ALL SYSTEMS BEFORE STARTING DEMOLITION TO ASSURE OTHER AREAS WILL NOT LOSE SERVICE. 6. COORDINATE FLOOR, WALL, AND ROOF PENETRATIONS ETC. WITH ARCHITECTURAL TRADES. MAKE SURE EACH IS TIGHT SEAL FOR ALL EXTERIOR WALL AND ROOF PENETRATION AS NECESSARY. 7. COORDINATE ALL FLOOR CUTTING WITH STRUCTURAL TRADES BEFORE CUTTING. 8. HOLES AND PENETRATIONS IN RATED WALLS SHALL BE PATCHED WITH APPROPRIATE MATERIAL FOR RATING REQUIRED. 9. NO ITEM IS TO BE ABANDONED IN PLACE. 10. ALL ITEMS TO BE DEMOLISHED TO BE REMOVED AND REMAINING OPEN SYSTEMS TO BE PATCHED, CAPPED AND SEALED TO PROVIDE A FINISHED SYSTEM. 11. DEMOLISHED PIPING LINE SHALL NOT ALLOW TO REACH MAIN CAP AND PIPING AND DRAIN CONNECTION TO ANY FROM THE SURROUNDING AREAS. 12. ALL SYSTEMS OPENED DURING DEMOLITION SHALL BE CLOSED AND RETURNED TO OPERATION BY END OF SHIFT. NO SYSTEMS ALLOWED TO BE LEFT OPEN WHEN NOT BEING SUPERVISED BY CONTRACTOR RESPONSIBLE FOR THAT TRADE. 											

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ISSUANCE

10/21/2022 BID PACKAGE 1
BDS-AQ/P PERMIT

PROJECT NUMBER
6196056
PROJECT MANAGER
K. BRANDSEN
PROFESSIONAL
JKK
DRAWN BY
JKK
CHECKED BY
SMB

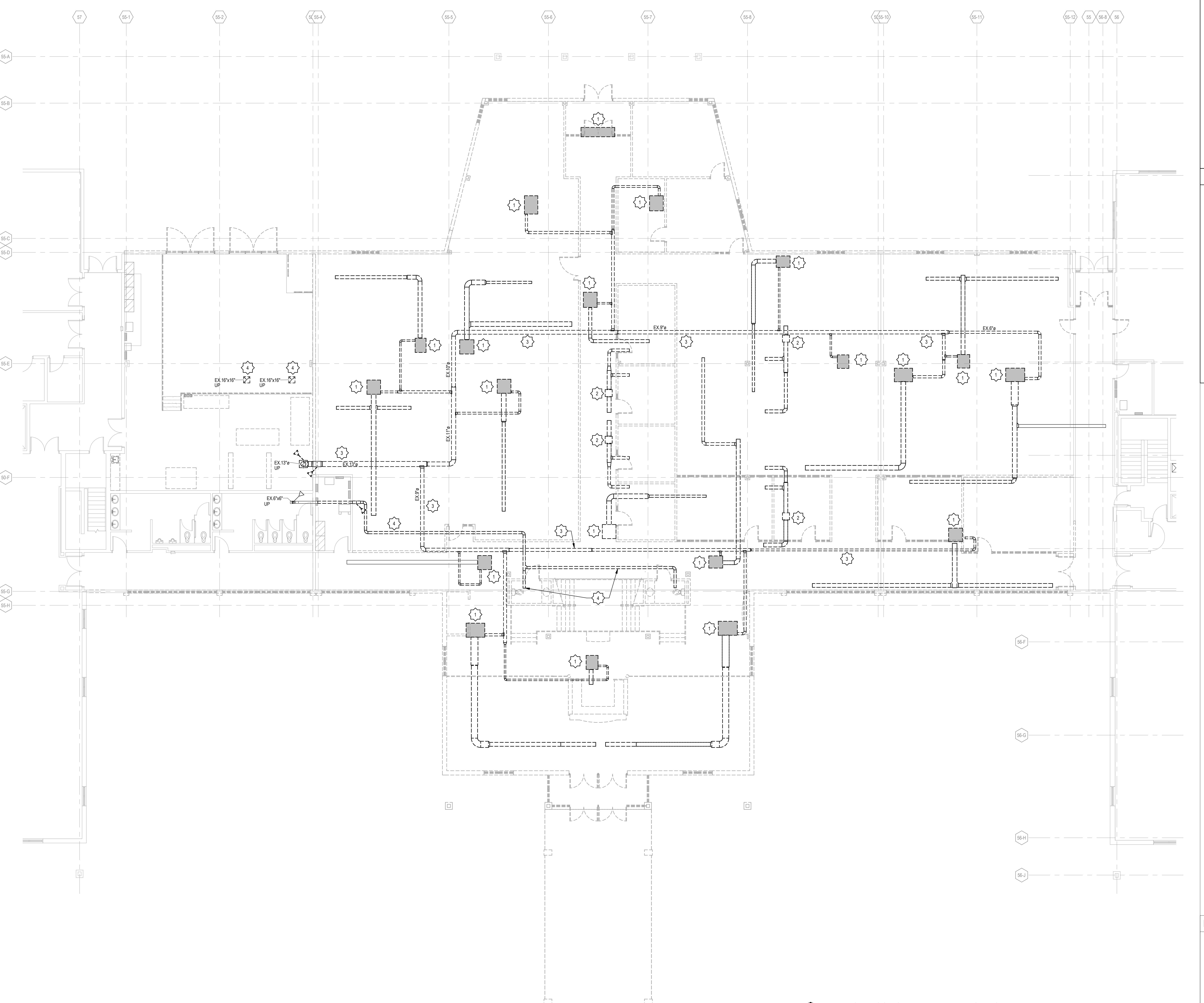
FIRST FLOOR
SHEET METAL
DEMOLITION
PLAN
MHD101

MECHANICAL DEMOLITION NOTES

- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND/OR REGULATORY AGENCIES, CODES AND REGULATIONS FOR NEW WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THEIR WORK WITH OTHER TRADES AND WITH THE CONSTRUCTION MANAGER.
- ALL EXISTING SERVICES, AND MECHANICAL AND KEY NOTES SHALL BE PERFORMED BY QUALIFIED MECHANICAL AND ELECTRICAL CONTRACTORS RESPECTIVELY UNDER DIRECTION OF THE CONSTRUCTION MANAGER. COORDINATE WITH OWNER'S REPRESENTATIVE.
- VERIFY CONDITIONS IN FIELD BEFORE START OF CONSTRUCTION. NOTIFY ARCHITECT/ENGINEER OF DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS.
- COORDINATE ALL WORK WITH APPROPRIATE TRADES.
- COORDINATE ANY REQUIRED SHUTDOWN OF SERVICES OR EQUIPMENT WITH APPROPRIATE TRADES AND PROVIDE TEMPORARY WATER TIGHT SEAL FOR ALL EXTERIOR WALL AND ROOF PENETRATION AS NECESSARY.
- COORDINATE FLOOR, WALL, AND ROOF PENETRATIONS ETC. WITH ARCHITECTURAL TRADES. PROVIDE TEMPORARY WATER TIGHT SEAL FOR ALL EXTERIOR WALL AND ROOF PENETRATION AS NECESSARY.
- HOLDS AND PENETRATIONS IN RATED WALLS SHALL BE PATCHED WITH APPROPRIATE FIRESTOP MATERIALS FOR RATING REQUIRED.

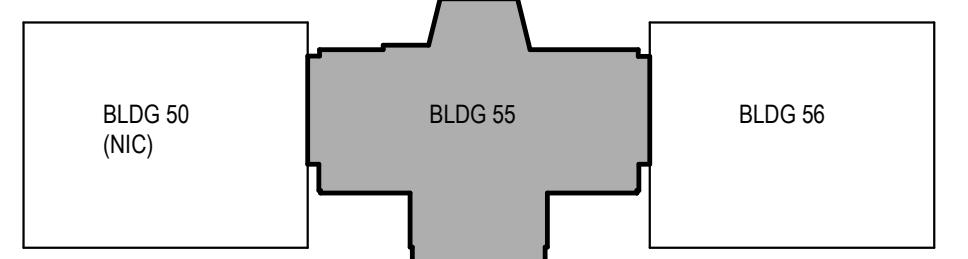
MECHANICAL DEMOLITION KEYNOTES

- REMOVE EXISTING FAN COIL UNIT, ASSOCIATED DUCTWORK, HANGERS, GRILLES/DIFUSERS, CONTROLS AND ACCESSORIES COMPLETELY. (FAN COIL UNIT BRANCH DUCTWORK, GRILLES/DIFUSERS NOT SHOWN)
- REMOVE EXISTING TRANSFER FAN, ASSOCIATED DUCTWORK, HANGERS, GRILLES/DIFUSERS, CONTROLS AND ACCESSORIES COMPLETELY.
- REMOVE EXISTING VENTILATION AIR DUCTWORK, ASSOCIATED HANGERS AND ACCESSORIES COMPLETELY.
- REMOVE EXISTING EXHAUST AIR DUCTWORK, ASSOCIATED HANGERS AND ACCESSORIES COMPLETELY.
- REMOVE EXISTING SUPPLY AIR DUCTWORK, ASSOCIATED HANGERS, BRANCH DUCTS/DIFUSERS (NOT ALL SHOWN) AND ACCESSORIES COMPLETELY.
- REMOVE EXISTING EXHAUST FAN / RELIEF HOOD, ASSOCIATED DUCTWORK, HANGERS, GRILLES/DIFUSERS, CONTROLS AND ACCESSORIES COMPLETELY.
- REMOVE EXISTING AIR HANDLING UNIT, ASSOCIATED DUCTWORK, SUPPORTS, CONTROLS AND ACCESSORIES COMPLETELY.
- CAREFULLY REMOVE AND SALVAGE EXISTING KITCHEN AIR HANDLING EQUIPMENT. KEEP SAFE FOR REUSE IN NEW WORK PHASE.



B55 FIRST FLOOR SHEET METAL DEMOLITION PLAN
18' = 1'-0"

KEY PLAN



MECHANICAL DEMOLITION NOTES

- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND/OR REGULATORY AGENCIES, CODES AND REGULATIONS FOR NEW WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THEIR WORK WITH OTHER TRADES AND WITH THE CONSTRUCTION MANAGER.
- REGULATORY AGENCIES, CODES AND REGULATIONS NOT SHOWN OR KEY NOTES SHALL BE PERFORMED BY QUALIFIED MECHANICAL AND ELECTRICAL CONTRACTORS RESPECTIVELY UNDER DIRECTION OF THE CONSTRUCTION MANAGER. COORDINATE WITH OWNER'S REPRESENTATIVE.
- VERIFY CONDITIONS IN FIELD BEFORE START OF CONSTRUCTION. NOTIFY ARCHITECT/ENGINEER OF DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS.
- COORDINATE ALL WORK WITH APPROPRIATE TRADES.
- COORDINATE ANY REQUIRED SHUTDOWN OF SERVICES OR EQUIPMENT WITH THE CONSTRUCTION MANAGER AND OTHER TRADES PROVIDING CONSTRUCTION SERVICES.
- COORDINATE FLOOR, WALL, AND ROOF PENETRATIONS ETC. WITH ARCHITECTURAL TRADES. PROVIDE TEMPORARY WATER TIGHT SEAL FOR ALL EXTERIOR WALL AND ROOF PENETRATION AS NECESSARY.
- HOLDS AND PENETRATIONS IN RATED WALLS SHALL BE PATCHED WITH APPROPRIATE FIRESTOP MATERIALS FOR RATING REQUIRED.

MECHANICAL DEMOLITION KEYNOTES

- REMOVE EXISTING FAN COIL UNIT, ASSOCIATED DUCTWORK, HANGERS, GRILLES/DIFUSERS, CONTROLS AND ACCESSORIES COMPLETELY. (FAN COIL UNIT BRANCH DUCTWORK, GRILLES/DIFUSERS NOT SHOWN)
- REMOVE EXISTING TRANSFER FAN, ASSOCIATED DUCTWORK, HANGERS, GRILLES/DIFUSERS, CONTROLS AND ACCESSORIES COMPLETELY.
- REMOVE EXISTING VENTILATION AIR DUCTWORK, ASSOCIATED HANGERS AND ACCESSORIES COMPLETELY.
- REMOVE EXISTING EXHAUST AIR DUCTWORK, ASSOCIATED HANGERS AND ACCESSORIES COMPLETELY.
- REMOVE EXISTING SUPPLY AIR DUCTWORK, ASSOCIATED HANGERS, BRANCH DUCTS/DIFUSERS (NOT ALL SHOWN) AND ACCESSORIES COMPLETELY.
- REMOVE EXISTING EXHAUST FAN / RELIEF HOOD, ASSOCIATED DUCTWORK, PIPING, VALVES, CONTROLS AND ACCESSORIES COMPLETELY.
- REMOVE EXISTING AIR HANDLING UNIT, ASSOCIATED DUCTWORK, SUPPORTS, CONTROLS AND ACCESSORIES COMPLETELY.
- CAREFULLY REMOVE AND SALVAGE EXISTING KITCHEN AIR HANDLING EQUIPMENT. KEEP SALVAGE FOR REUSE IN NEW WORK PHASE.

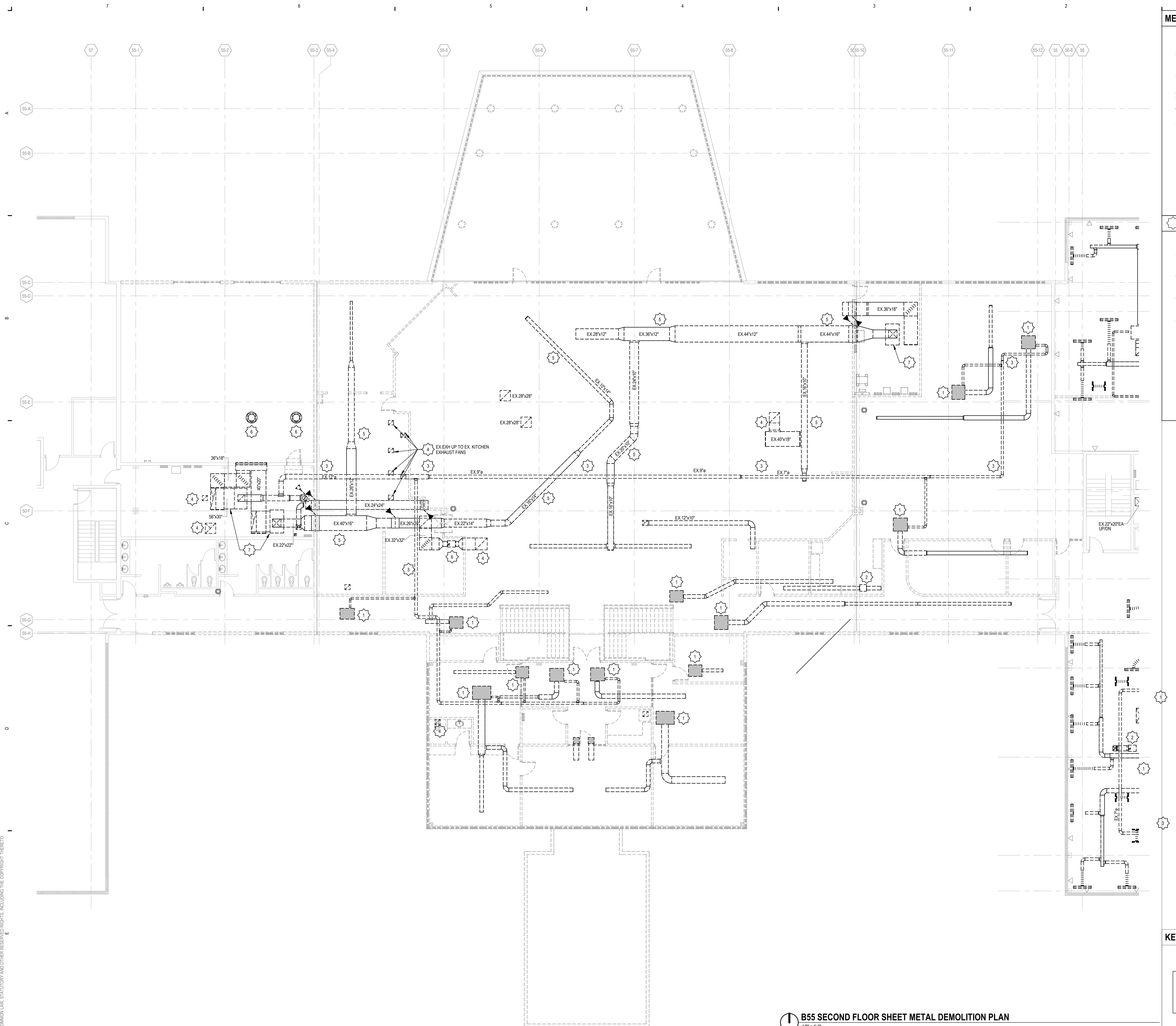
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ISSUANCE

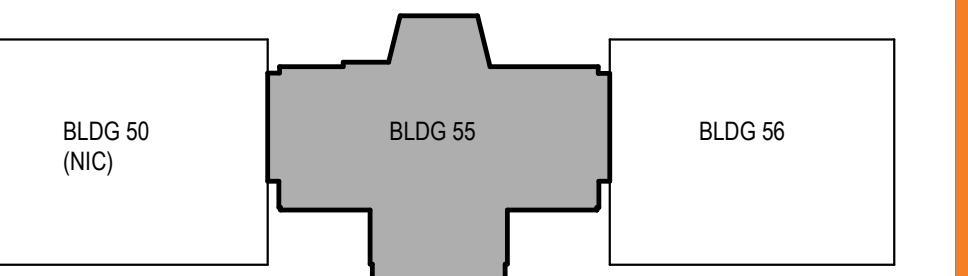
10/21/2022

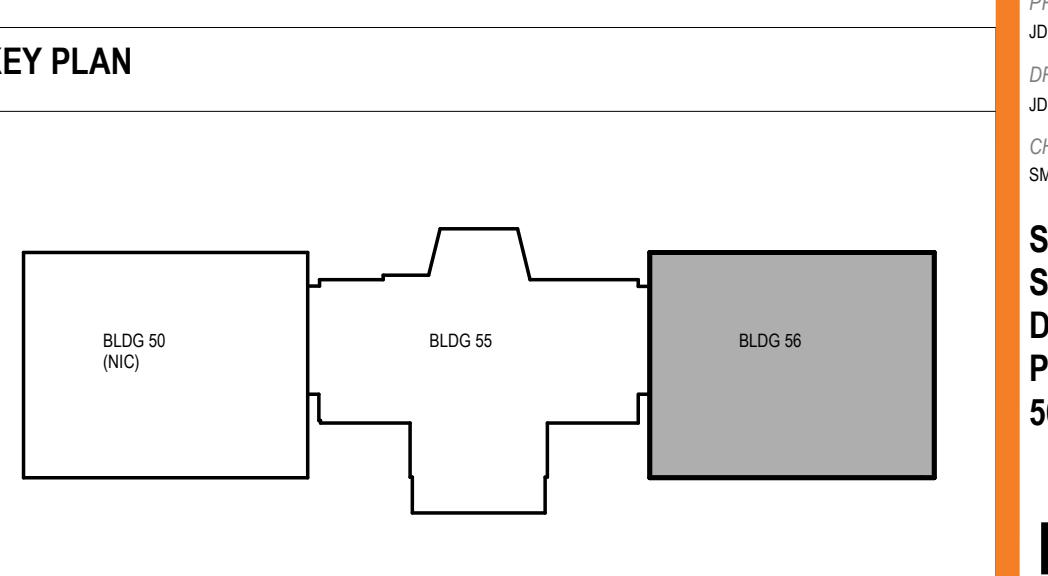
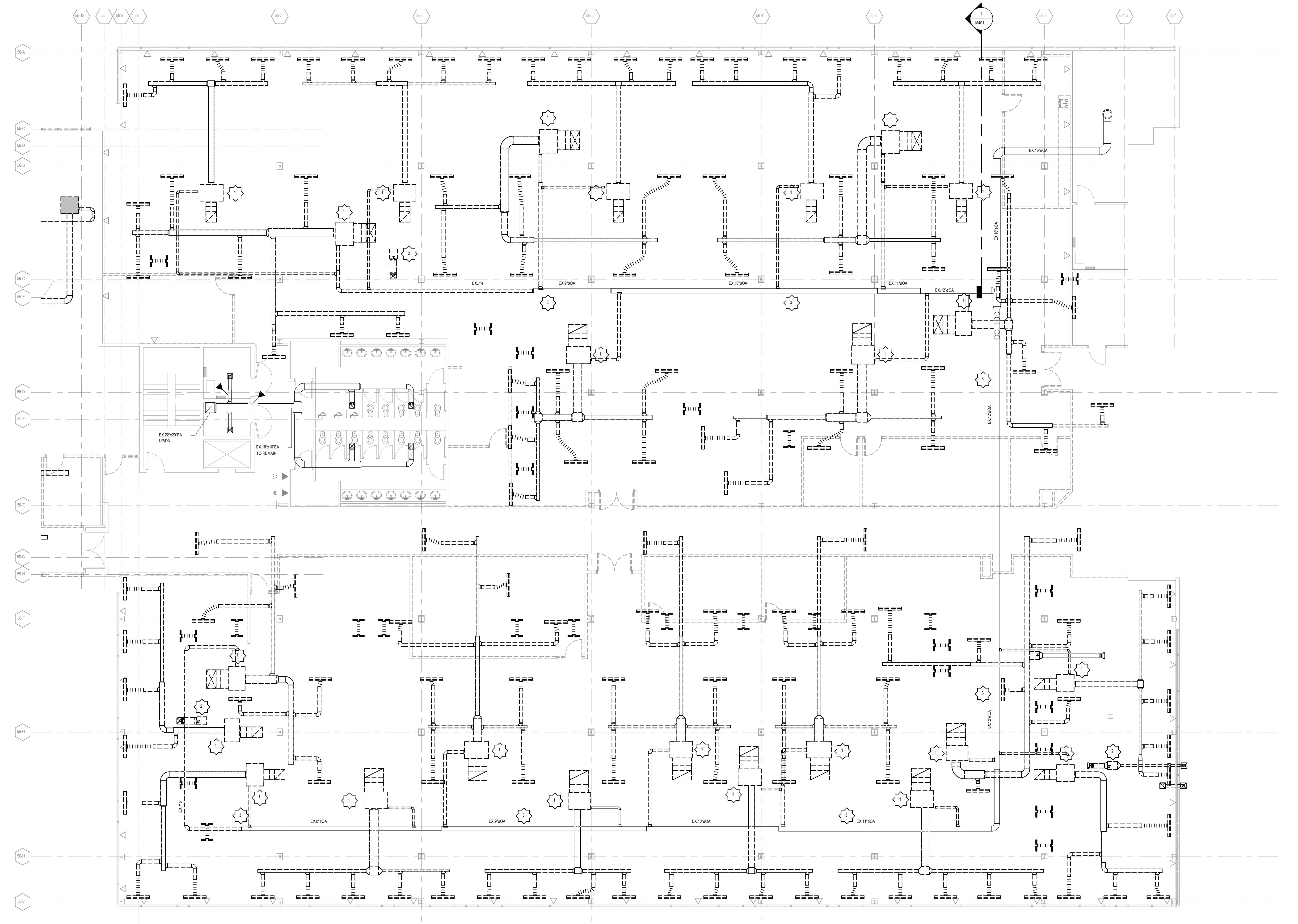
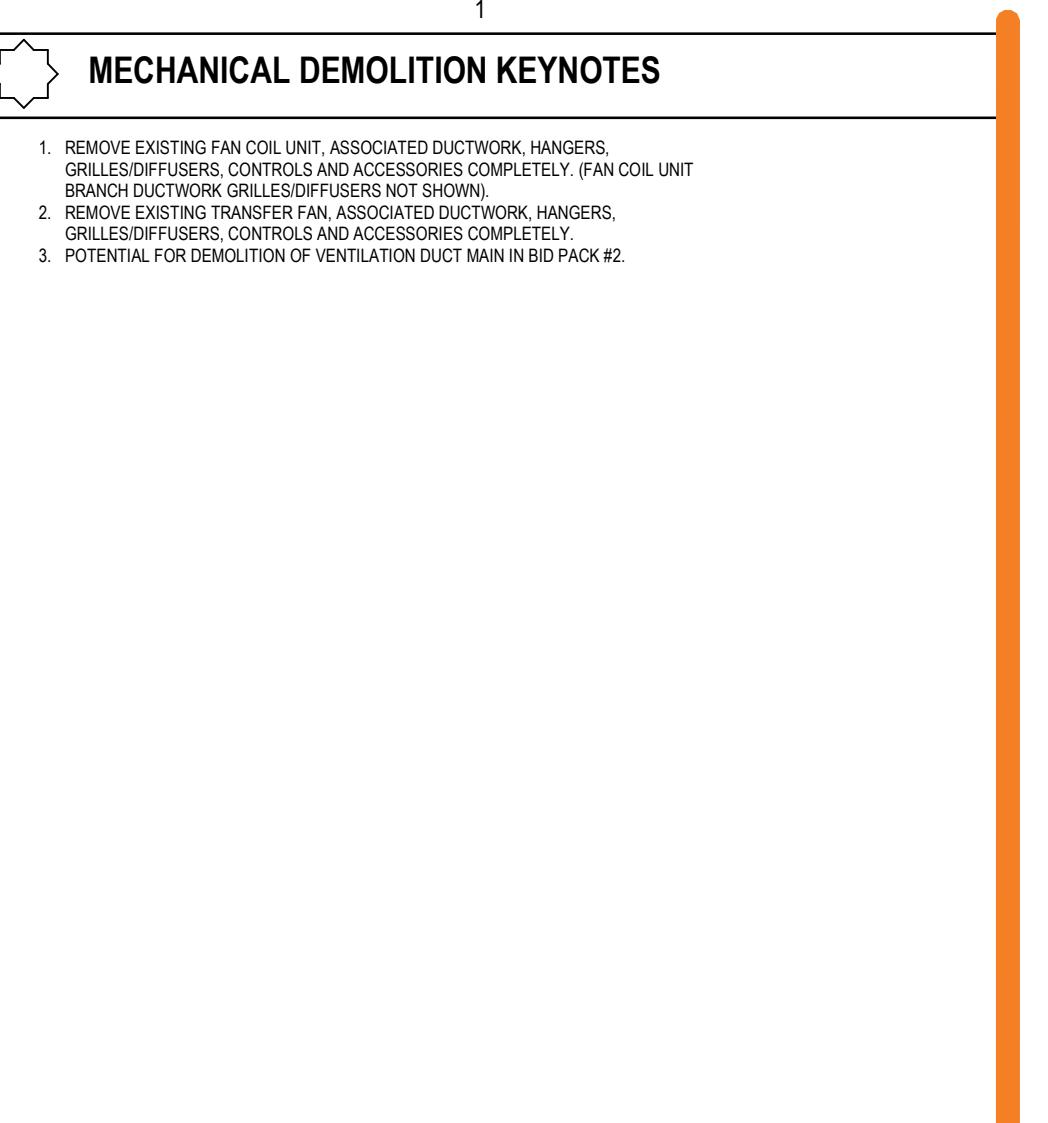
BID PACKAGE 1

BOS-AQ/P PERMIT



KEY PLAN





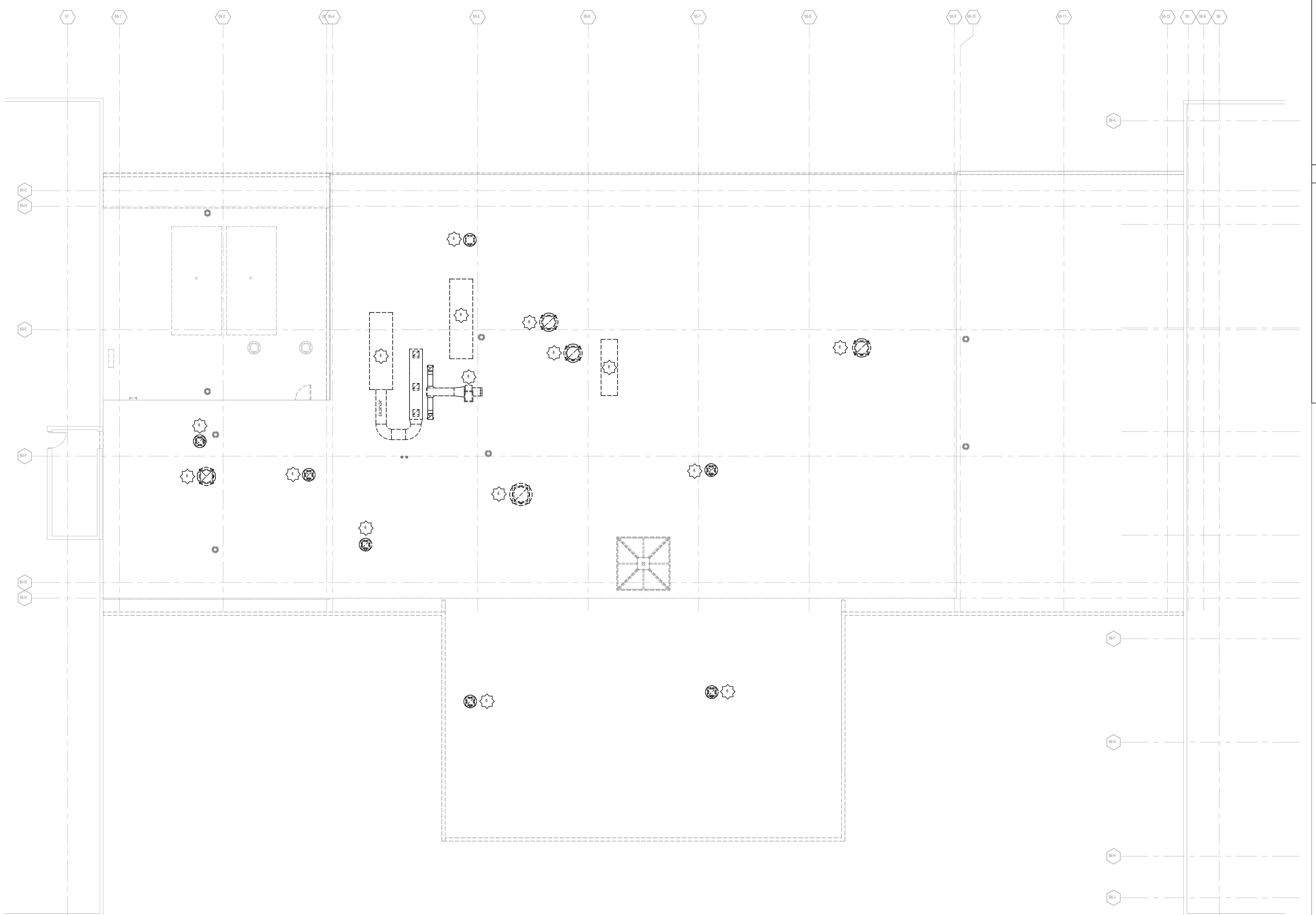
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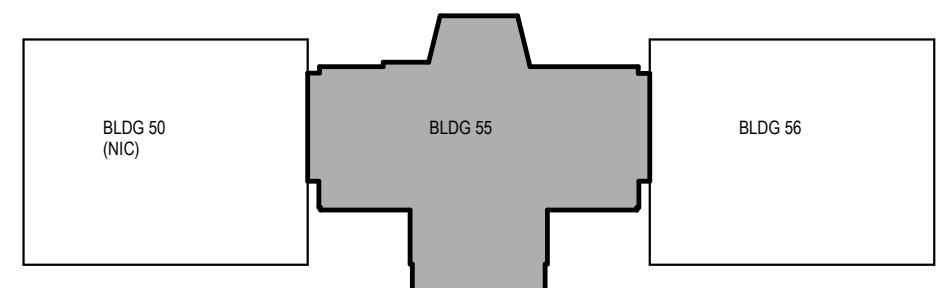
10/21/2022

BID PACKAGE 1

BDS-AQ-PERMIT

B55 ROOF MECHANICAL DEMOLITION PLAN
18' x 12'

KEY PLAN



MECHANICAL DEMOLITION NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND/OR REGULATORY AGENCIES, CODES AND REGULATIONS FOR NEW WORK. COORDINATE WITH OWNERS AND OTHER TRADES ON THE SCOPE OF THEIR WORK WITH OTHER TRADES AND WITH THE CONSTRUCTION MANAGER.
2. WORK IDENTIFIED WITH MECHANICAL AND ELECTRICAL NOTES AND KEY NOTES SHOULD BE PERFORMED IN ACCORDANCE WITH THE DIRECTIONS OF THE CONTRACTOR RESPECTIVELY UNDER DIRECTION OF THE CONSTRUCTION MANAGER.
3. VERIFY ALL CONDITIONS IN FIELD BEFORE START OF CONSTRUCTION NOTIFY APPROPRIATE TRADES OF ANY CHANGES IN DRAWINGS AND ACTUAL FIELD CONDITIONS.
4. COORDINATE ALL WORK WITH APPROPRIATE TRADES.
5. COORDINATE ANY REQUIRED SHUTDOWN OF SERVICES OR EQUIPMENT WITH OWNERS REPRESENTATIVE. MINIMIZE INTERRUPTION OF EXISTING SERVICES.
6. COORDINATE WITH OWNERS AND OTHER TRADES ON THE SCOPE OF EXISTING STRUCTURAL TRADES PROVIDE TEMPORARY WATER TIGHT SEAL FOR ALL EXTERIOR WALL AND ROOF PENETRATION.
7. HOLES AND PENETRATIONS IN EXTERIOR WALLS SHALL BE PATCHED WITH APPROPRIATE FIRESTOP MATERIALS FOR RATING REQUIRED.

MECHANICAL DEMOLITION KEYNOTES

1. REMOVE EXISTING FAN COL UNIT, ASSOCIATED DUCTWORK, HANGERS, GRILLES/DIFUSERS, CONTROLS AND ACCESSORIES COMPLETELY. (FAN COL UNIT SHOWN AS A DASHED LINE)
2. REMOVE EXISTING TRANSFER FAN, ASSOCIATED DUCTWORK, HANGERS, GRILLES/DIFUSERS, CONTROLS AND ACCESSORIES COMPLETELY.
3. REMOVE EXISTING VENTILATION AIR DUCTWORK, ASSOCIATED HANGERS AND ACCESSORIES COMPLETELY.
4. REMOVE EXISTING EXHAUST AIR DUCTWORK, ASSOCIATED HANGERS AND ACCESSORIES COMPLETELY.
5. REMOVE EXISTING AIR DUCTWORK, ASSOCIATED HANGERS, BRANCH DUCTS/DIFFUSERS (NOT ALL SHOWN) AND ACCESSORIES COMPLETELY.
6. REMOVE EXISTING KITCHEN AIR DUCTWORK, ASSOCIATED DUCTWORK, HANGERS, GRILLES/DIFUSERS, CONTROLS AND ACCESSORIES COMPLETELY.
7. REMOVE EXISTING KITCHEN AIR DUCTWORK, ASSOCIATED DUCTWORK, SUPPORTS, CONTROLS AND ACCESSORIES COMPLETELY.
8. CAREFULLY REMOVE AND SALVAGE EXISTING KITCHEN AIR HANDLING EQUIPMENT. KEEP SAFE FOR REUSE IN NEW WORK PHASE.

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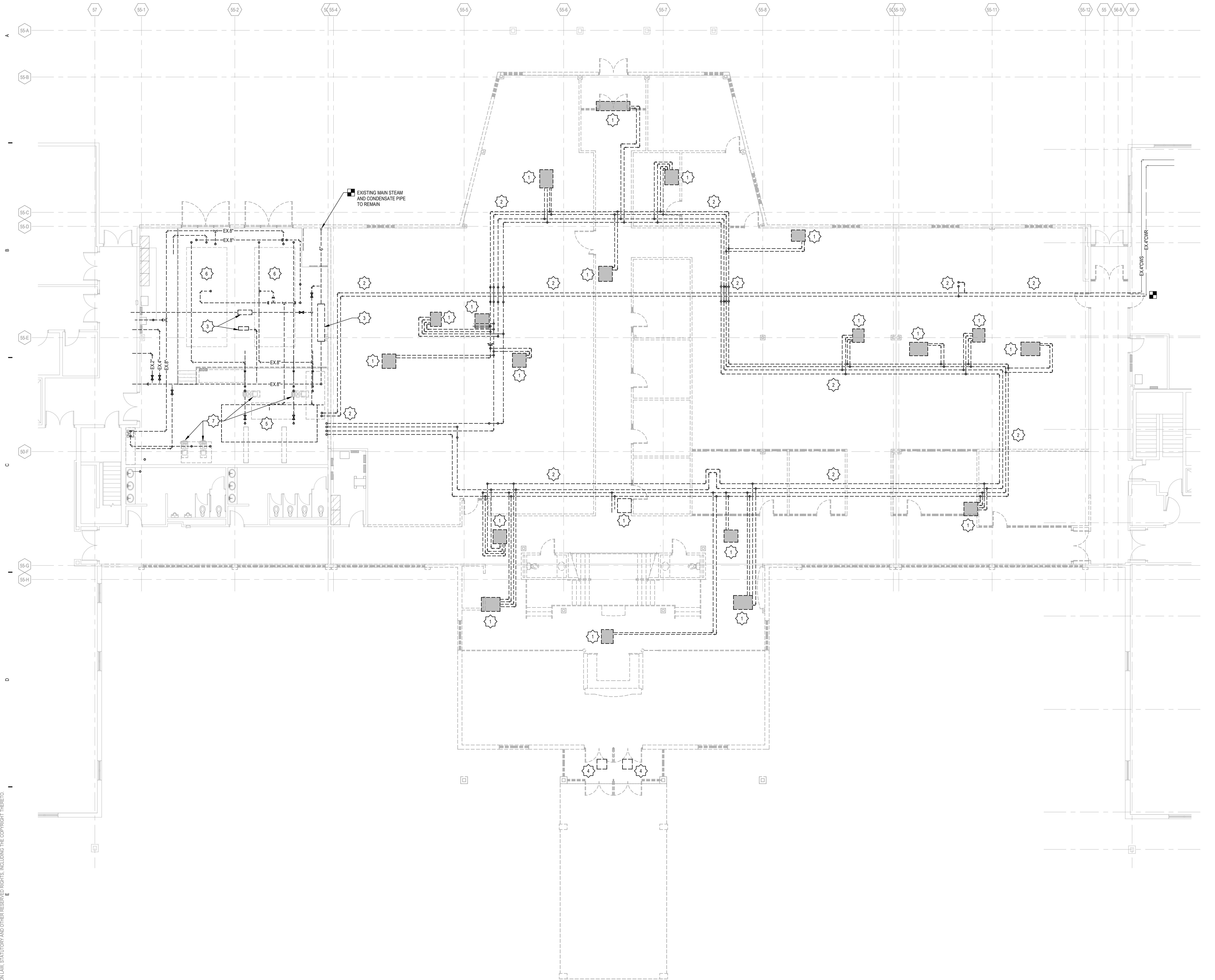
ISSUANCE

10/21/2022

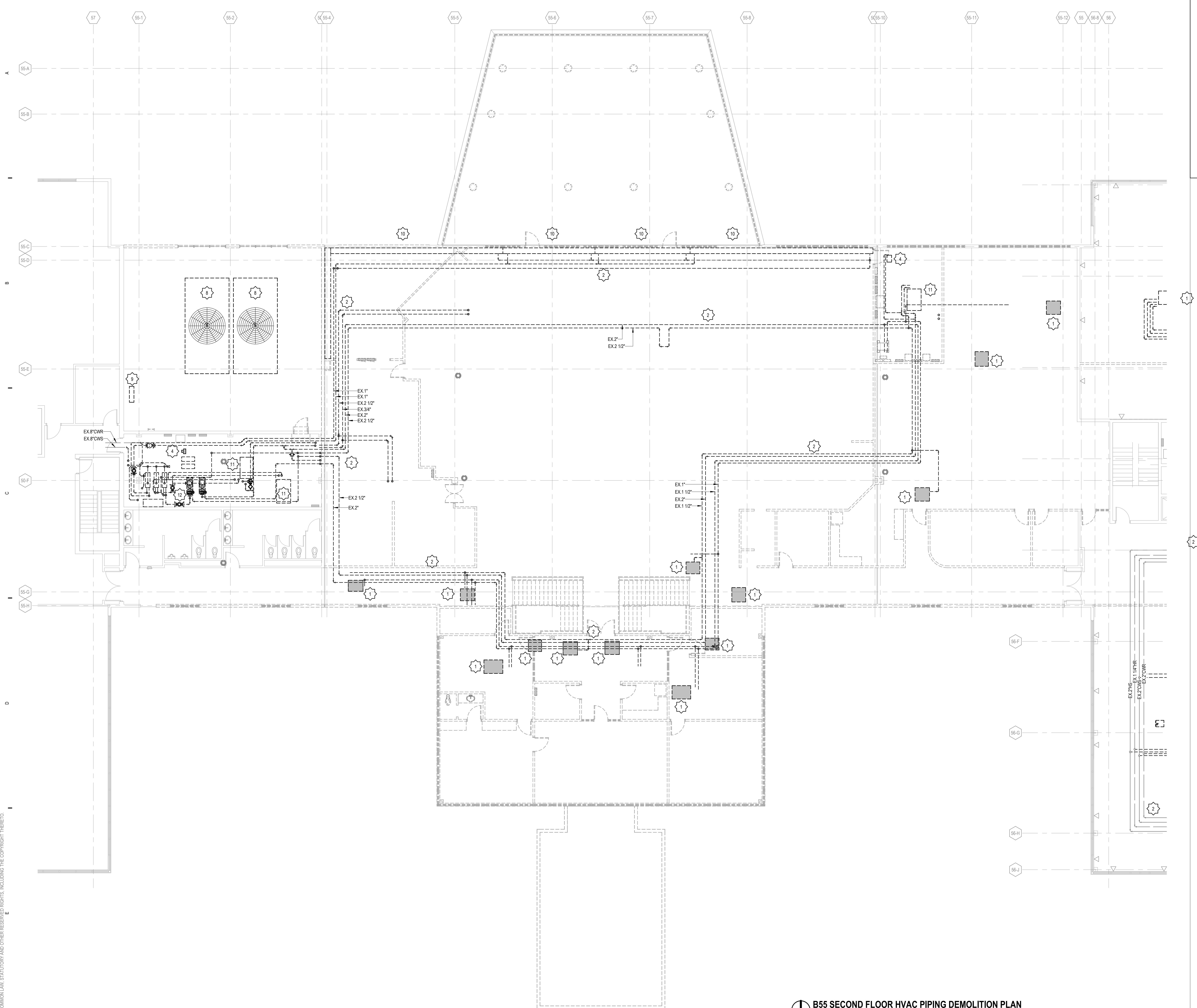
BID PACKAGE 1

BOS-AQ-PERMIT

MECHANICAL DEMOLITION KEYNOTES	
1.	REMOVE EXISTING FAN COIL UNIT, ASSOCIATED PIPING, HANGERS, CONTROLS AND ACCESSORIES COMPLETELY. (NOT ALL FAN COIL UNIT BRANCH PIPING NOT SHOWN)
2.	REMOVE EXISTING HYDRONIC PIPING, ASSOCIATED HANGERS AND ACCESSORIES COMPLETELY.
3.	REMOVE EXISTING STEAM PRESSURE REDUCING VALVE, STATION, ASSOCIATED PIPING, HANGERS, CONTROLS AND ACCESSORIES COMPLETELY.
4.	REMOVE EXISTING UNIT HEATER ASSOCIATED CONTROLS AND ACCESSORIES COMPLETELY.
5.	REMOVE EXISTING CONDENSER WATER TANK, ASSOCIATED PIPING, SUPPORTS, AND ACCESSORIES COMPLETELY.
6.	EXISTING CHILLER REMOVED IN PREVIOUS PROJECT (SHOWN FOR REFERENCE). REMOVE EXISTING PIPING, VALVES, HANGERS, AND ACCESSORIES ASSOCIATED WITH PREVIOUSLY REMOVED CHILLER COMPLETELY.
7.	PREVIOUSLY REMOVED PUMP (NOT SHOWN FOR REFERENCE). REMOVE EXISTING PIPING, VALVES, HANGERS, AND ACCESSORIES ASSOCIATED WITH PREVIOUSLY REMOVED PUMP COMPLETELY.
8.	REMOVE EXISTING COOLING TOWER, ASSOCIATED PIPING, SUPPORTS, CONTROLS AND ACCESSORIES COMPLETELY.
9.	REMOVE EXISTING SPLIT-SYSTEM CONDENSING UNIT, KEEP EQUIPMENT SAFE FOR REUSE IN NEW WORK PHASE.
10.	REMOVE EXISTING RADIANT CEILING PANEL, ASSOCIATED PIPING, CONTROLS, HANGERS AND ACCESSORIES COMPLETELY.
11.	REMOVE EXISTING AIR SEPARATORS, ASSOCIATED PIPING, HEAT EXCHANGERS, AIR SEPARATORS AND OTHER HYDRONIC ACCESSORIES COMPLETELY.
12.	REMOVE EXISTING MECHANICAL ROOM EQUIPMENT INCLUDING PUMPS, HEAT EXCHANGERS, AIR SEPARATORS AND OTHER HYDRONIC ACCESSORIES COMPLETELY.



MECHANICAL DEMOLITION KEYNOTES											
1. REMOVE EXISTING FAN COIL UNIT, ASSOCIATED PIPING, HANGERS, CONTROLS AND ACCESSORIES COMPLETELY. (NOT ALL FAN COIL UNIT BRANCH PIPING NOT SHOWN)	2. REMOVE EXISTING HYDRONIC PIPING, ASSOCIATED HANGERS AND ACCESSORIES COMPLETELY.	3. REMOVE EXISTING STEAM PRESSURE REDUCING VALVE, STATION, ASSOCIATED PIPING, HANGERS, CONTROLS AND ACCESSORIES COMPLETELY.	4. REMOVE EXISTING EXISTING UNIT HEATER ASSOCIATED CONTROLS AND ACCESSORIES COMPLETELY.	5. REMOVE EXISTING CONDENSER WATER TANK, ASSOCIATED PIPING, SUPPORTS, AND ACCESSORIES COMPLETELY.	6. EXISTING CHILLER REMOVED IN PREVIOUS PROJECT (SHOWN FOR REFERENCE)	7. REMOVE EXISTING PIPING, VALVES, HANGERS, AND ACCESSORIES ASSOCIATED WITH PREVIOUSLY REMOVED CHILLER COMPLETELY.	8. REMOVE EXISTING COOLING TOWER, ASSOCIATED PIPING, SUPPORTS, CONTROLS AND ACCESSORIES COMPLETELY.	9. REMOVE EXISTING EXISTING SPLIT-SYSTEM CONDENSING UNIT, KEEP EQUIPMENT SAFE FOR REUSE IN NEW WORK PHASE.	10. REMOVE EXISTING RADIANT CEILING PANEL, ASSOCIATED PIPING, CONTROLS, HANGERS AND ACCESSORIES COMPLETELY.	11. REMOVE EXISTING AIR SEPARATORS, ASSOCIATED PIPING, HANGERS, CONTROLS AND ACCESSORIES COMPLETELY.	12. REMOVE EXISTING MECHANICAL ROOM EQUIPMENT INCLUDING PUMPS, HEAT EXCHANGERS, AIR SEPARATORS AND OTHER HYDRONIC ACCESSORIES COMPLETELY.



B55 SECOND FLOOR HVAC PIPING DEMOLITION PLAN

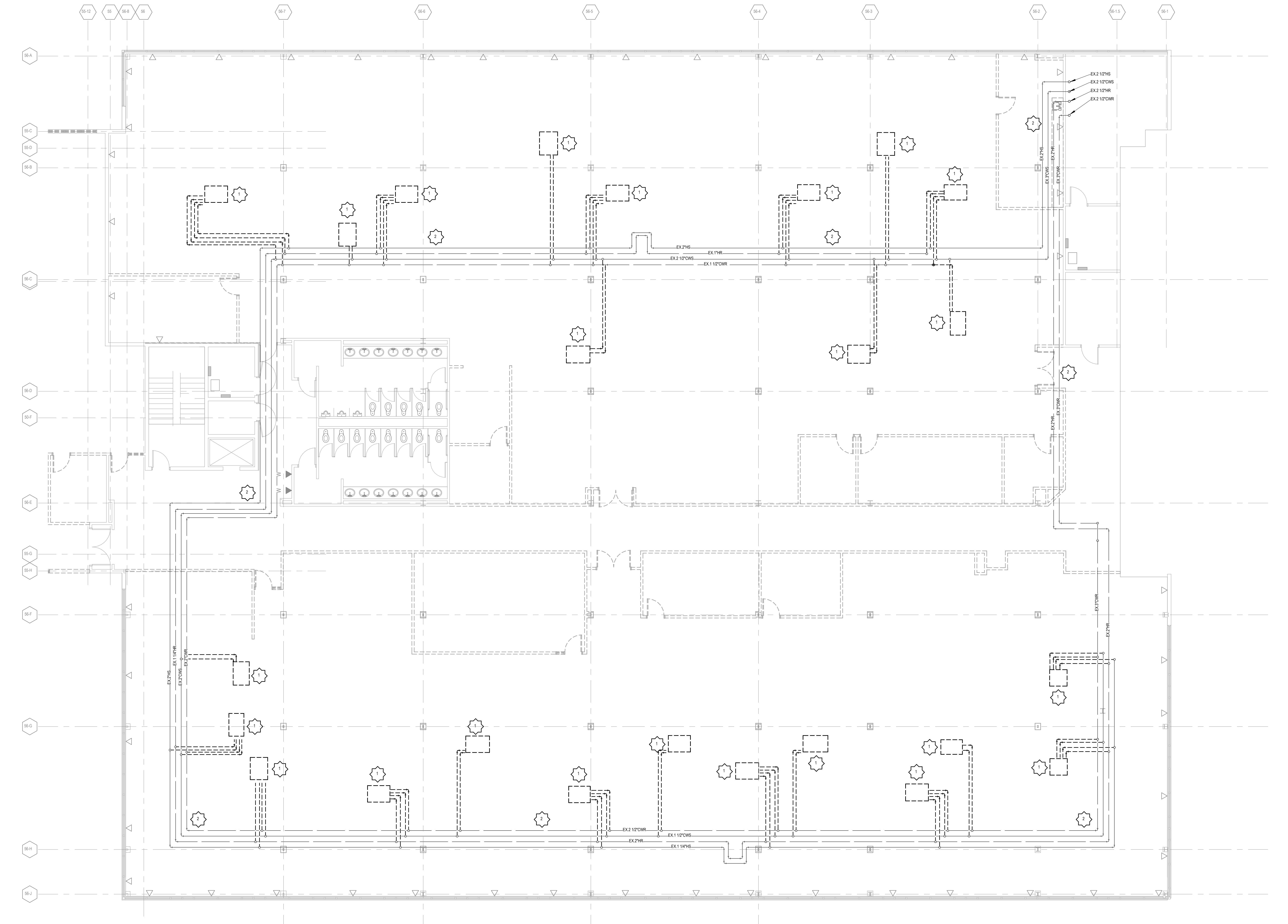
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ISSUANCE

10/21/2022

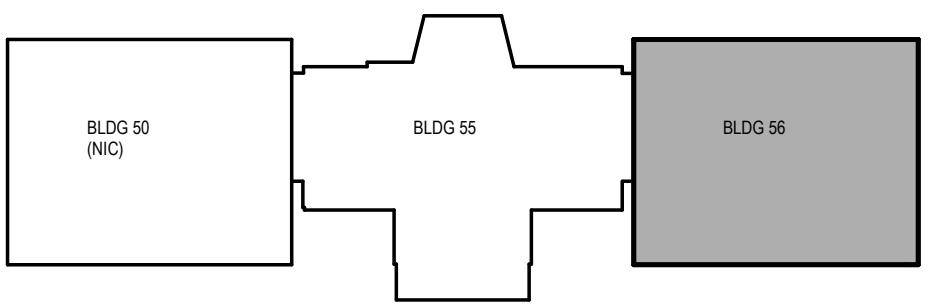
BID PACKAGE 1

BDS-AQ-PERMIT



B56 SECOND FLOOR HVAC PIPING DEMOLITION PLAN
18' x 14'

KEY PLAN



PROJECT NUMBER
01966506
PROJECT MANAGER
K. BRANDSEN
PROFESSIONAL
JDK
DRAWN BY
JDK
CHECKED BY
SMB
SECOND FLOOR
HVAC PIPING
DEMOLITION
PLAN - BUILDING
56-2

MPD103

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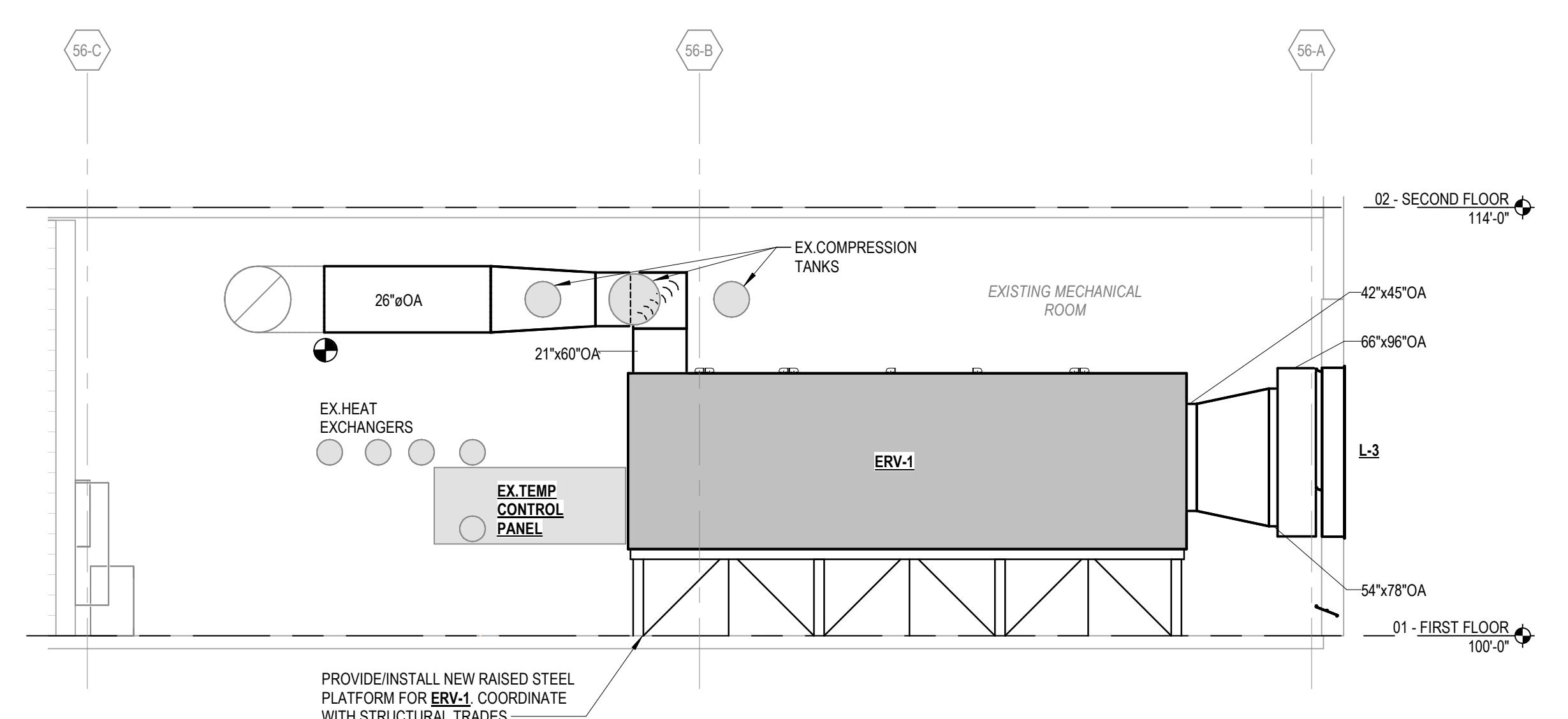
ISSUANCE
10/21/2022 BID PACKAGE 1
BID AND PERMIT

MECHANICAL GENERAL NOTES

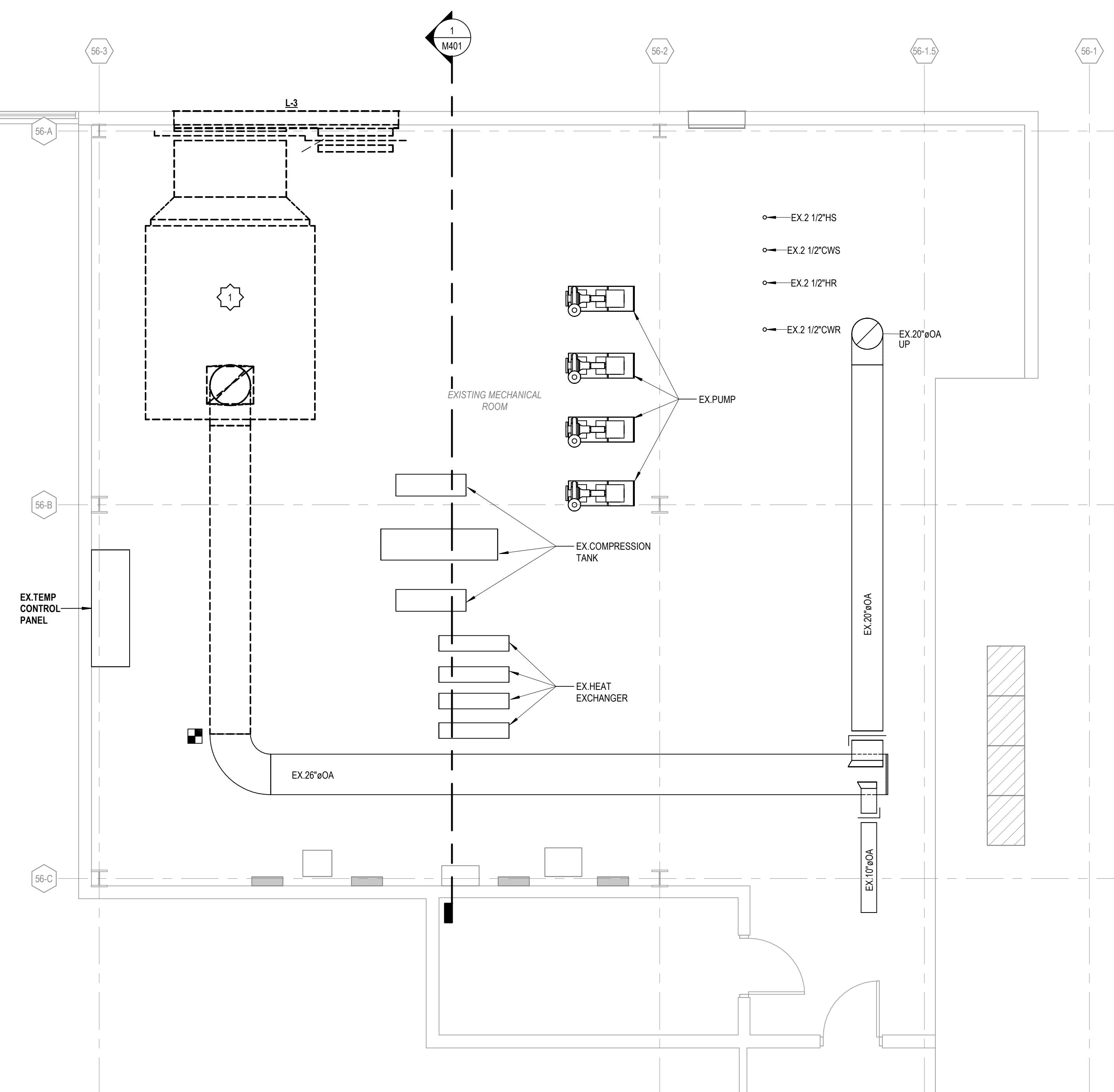
1. NEW EQUIPMENT WITHIN BID PACKAGE #1 INCLUDES ONLY THOSE PIECES OF EQUIPMENT SCHEDULED ON SHEET M601. ALL OTHER EQUIPMENT, PIPING, DUCTWORK, AND ACCESSORIES ARE SHOWN FOR FUTURE REFERENCE ONLY.

MECHANICAL DEMOLITION KEYNOTES

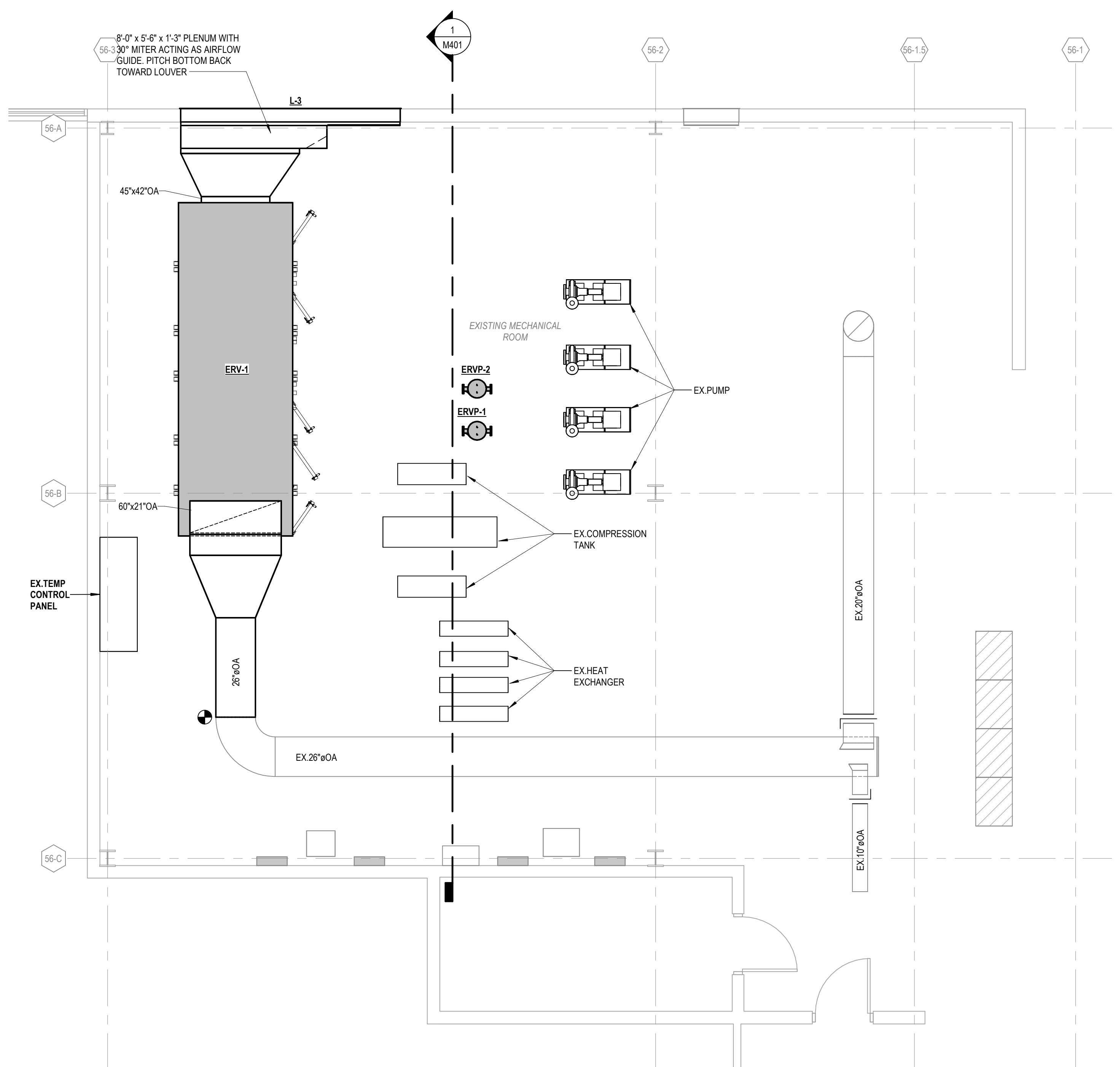
1. REMOVE EXISTING AIR HANDLING UNIT, ASSOCIATED DUCTWORK (AS INDICATED), INTAKE LOUVER, CONTROLS, IMMEDIATE HYDRONIC SPECIALTY VALVES AND ACCESSORIES COMPLETELY.



① BUILDING 56 - ERV-1 N-S MECH SECTION
1/4" = 1'-0"



② BUILDING 56 - FIRST FLOOR MECHANICAL ROOM DEMOLITION PLAN
1/4" = 1'-0"



③ BUILDING 56 - FIRST FLOOR MECHANICAL ROOM EQUIPMENT PLAN
1/4" = 1'-0"

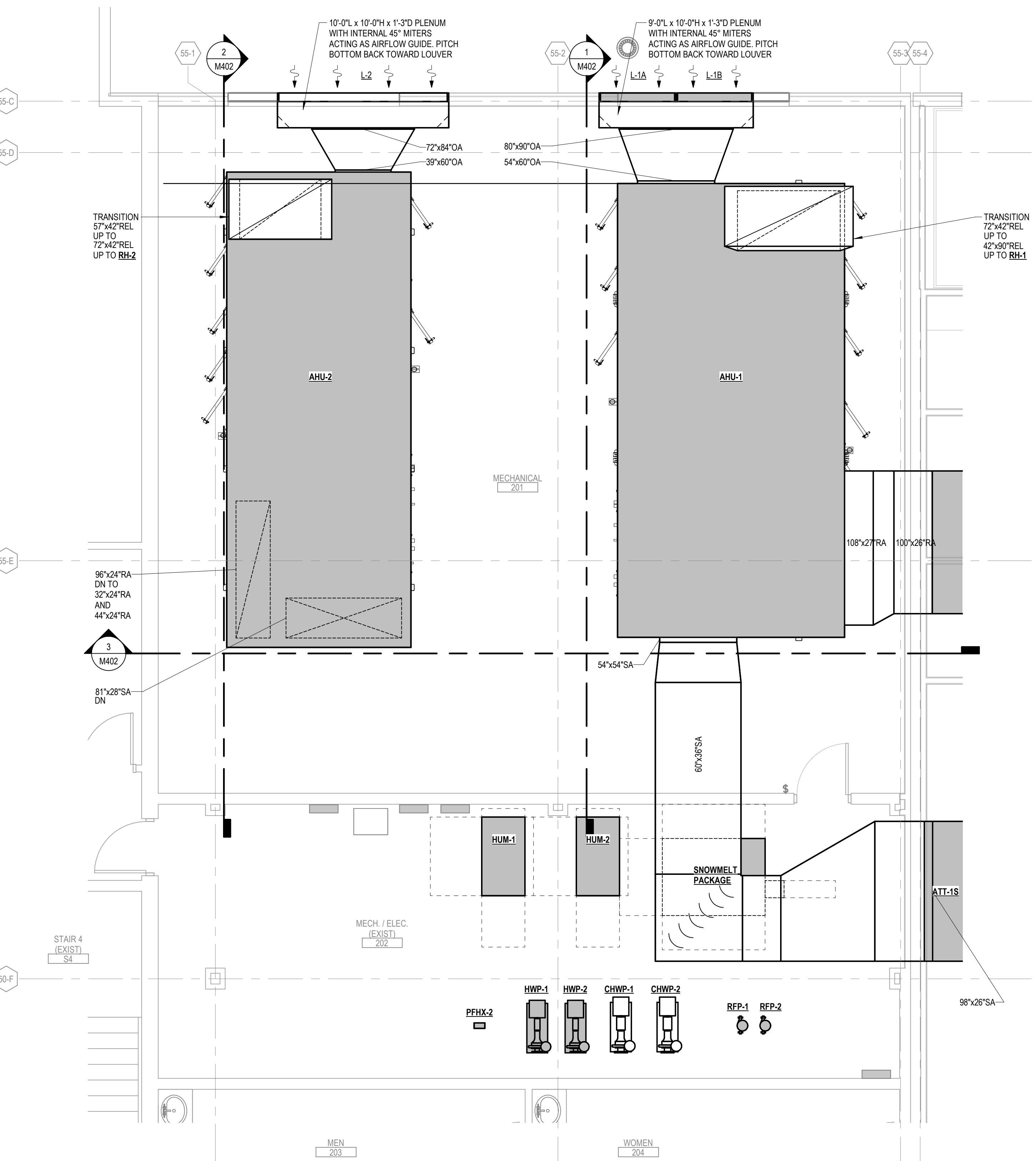
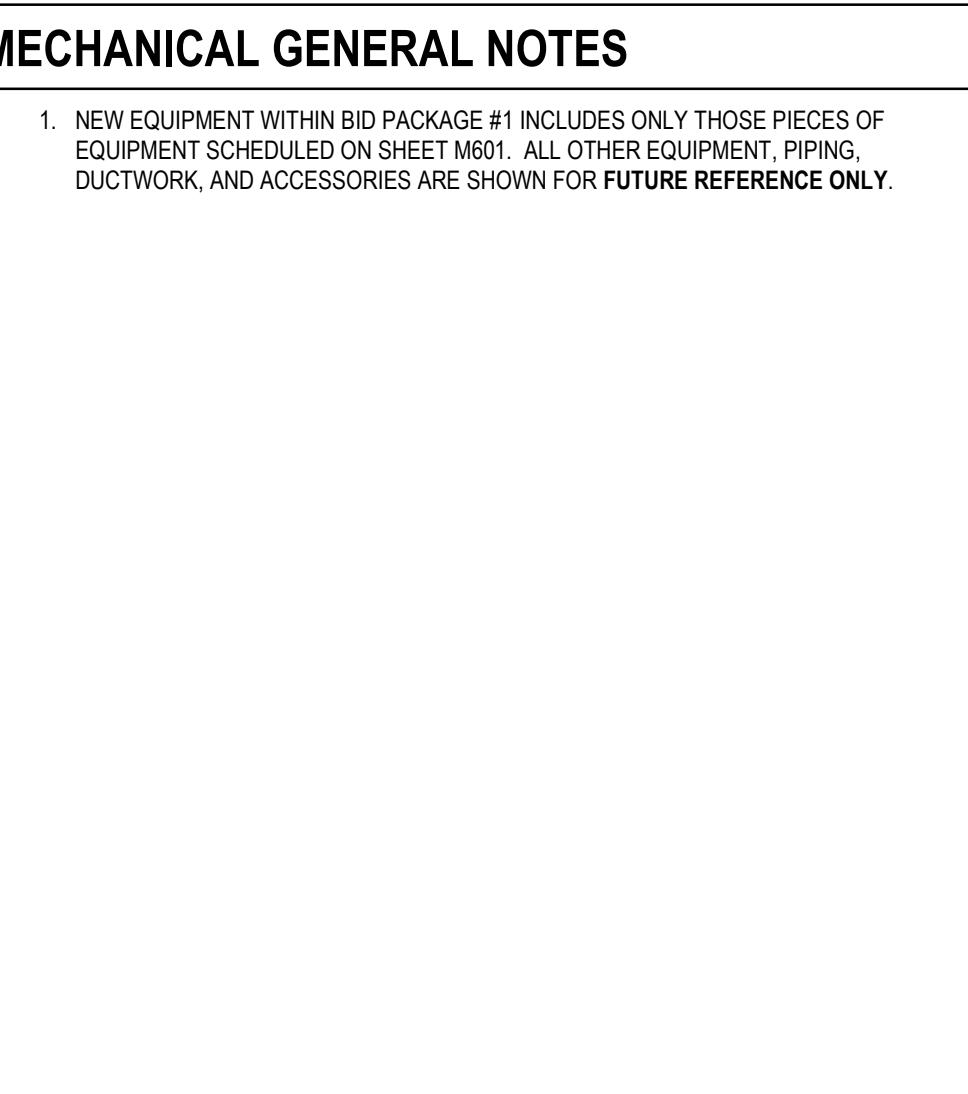
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ISSUANCE

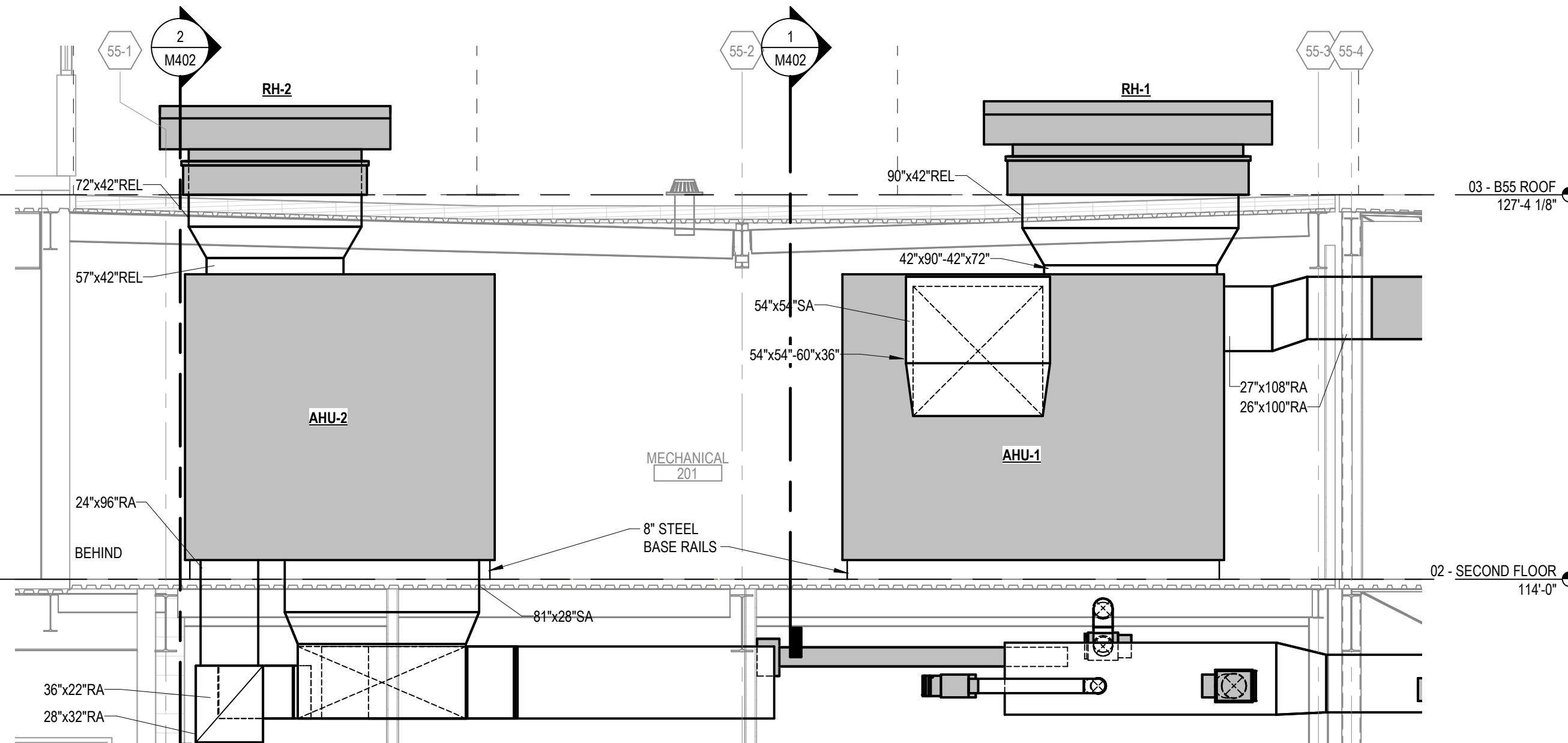
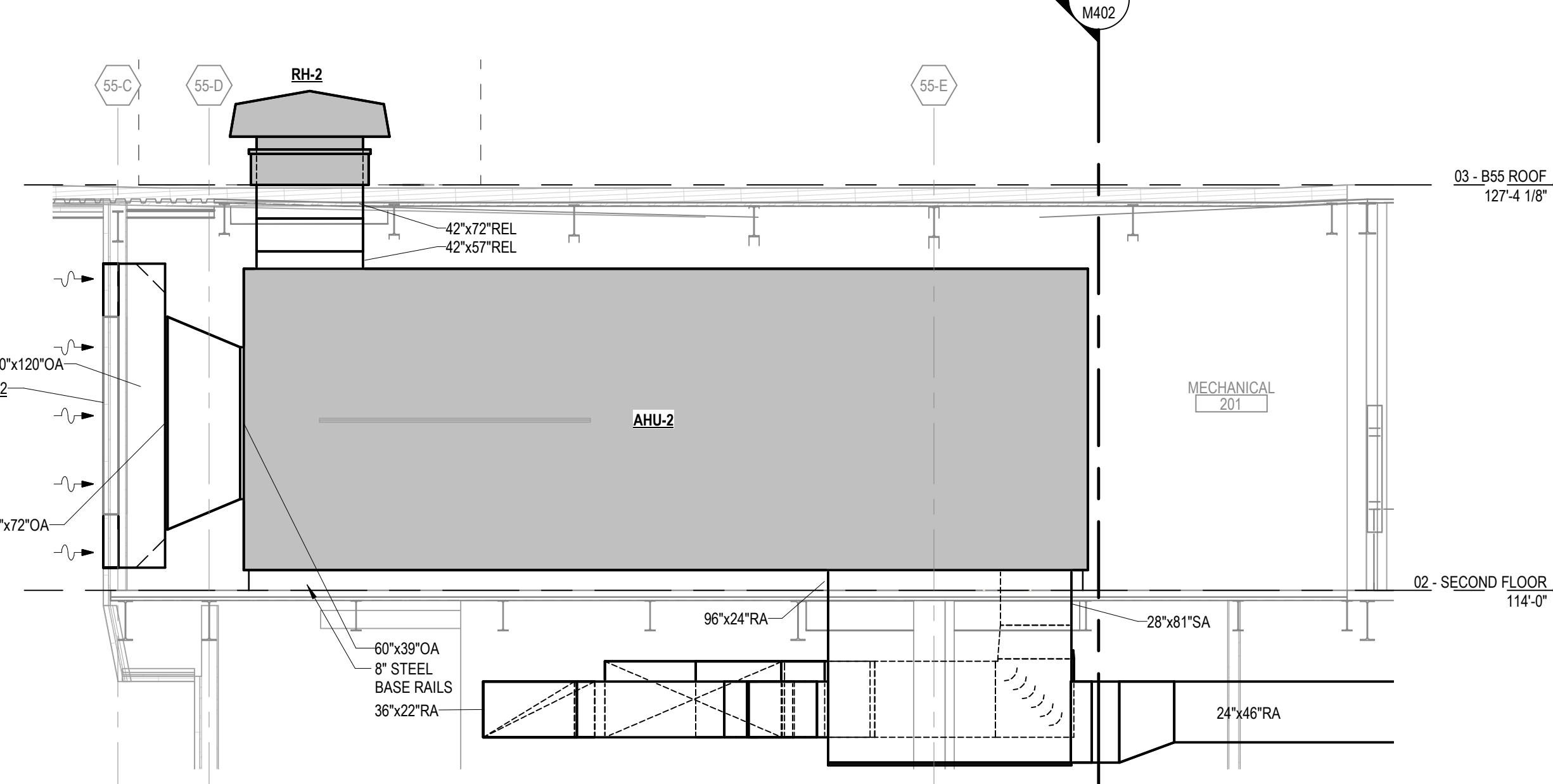
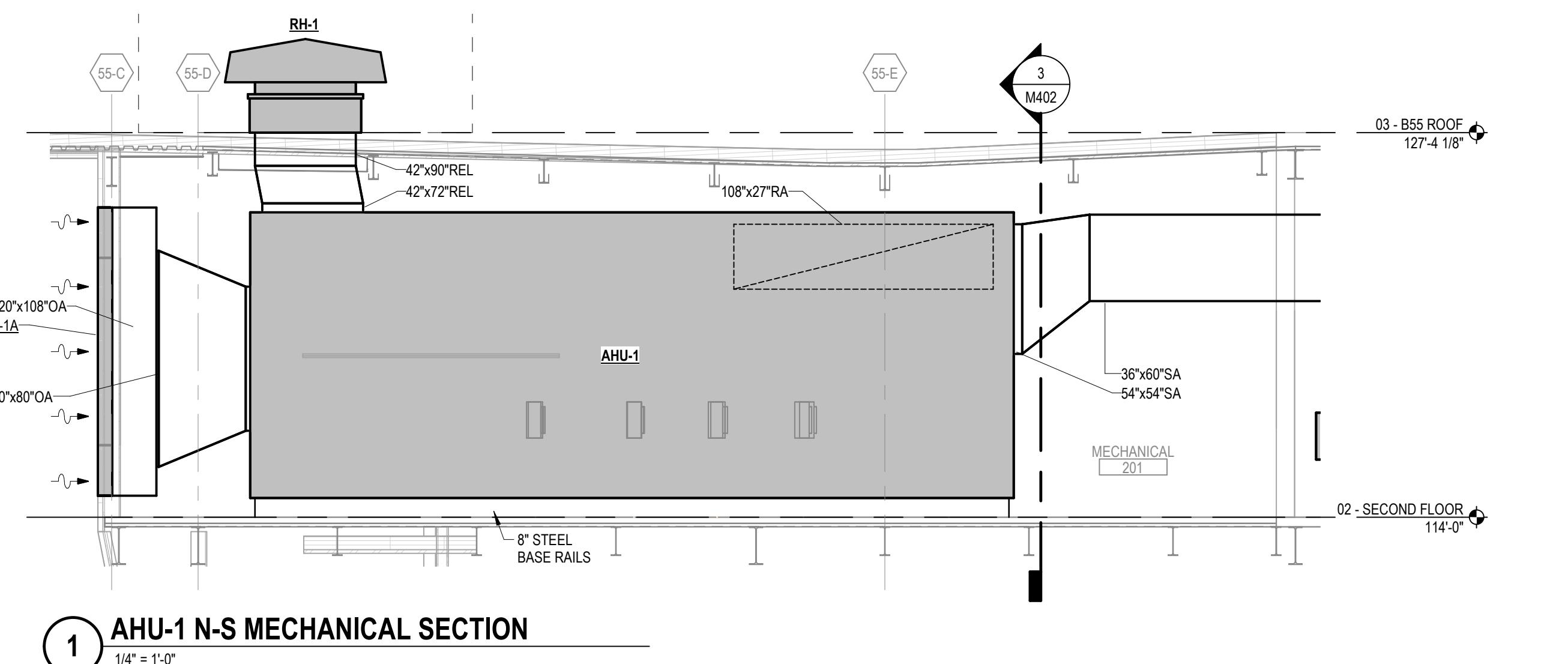
10/21/2022

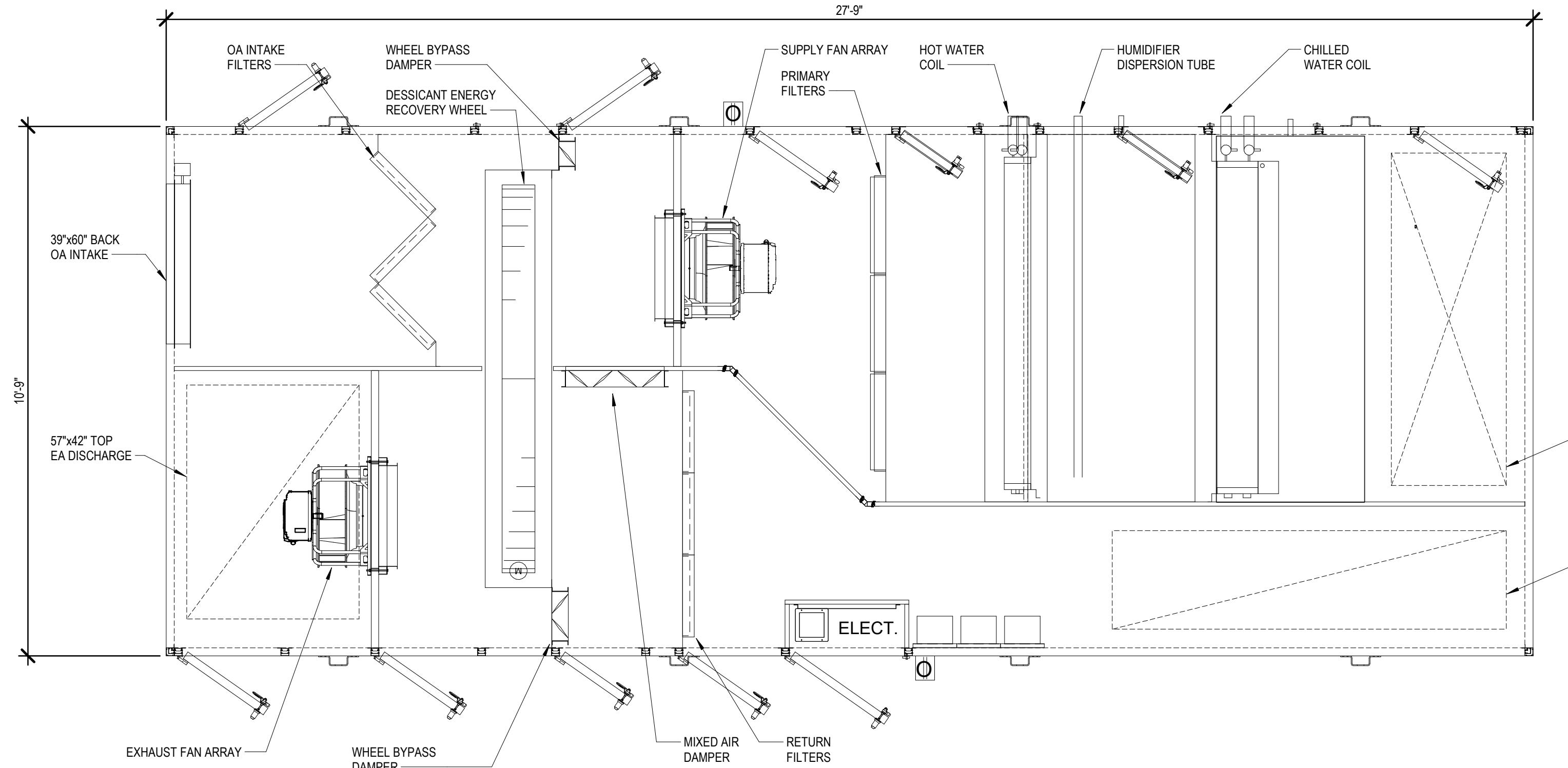
BID PACKAGE T

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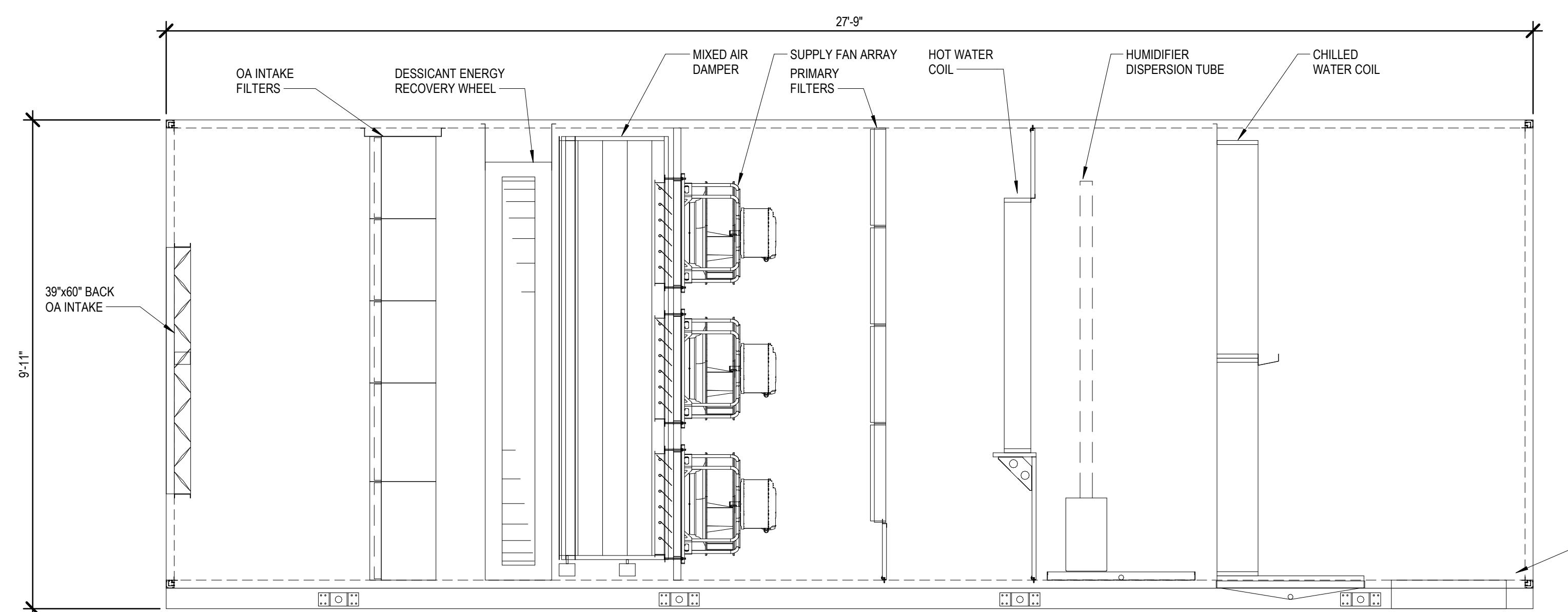


BP1 - SECOND FLOOR MECHANICAL EQUIPMENT PLAN

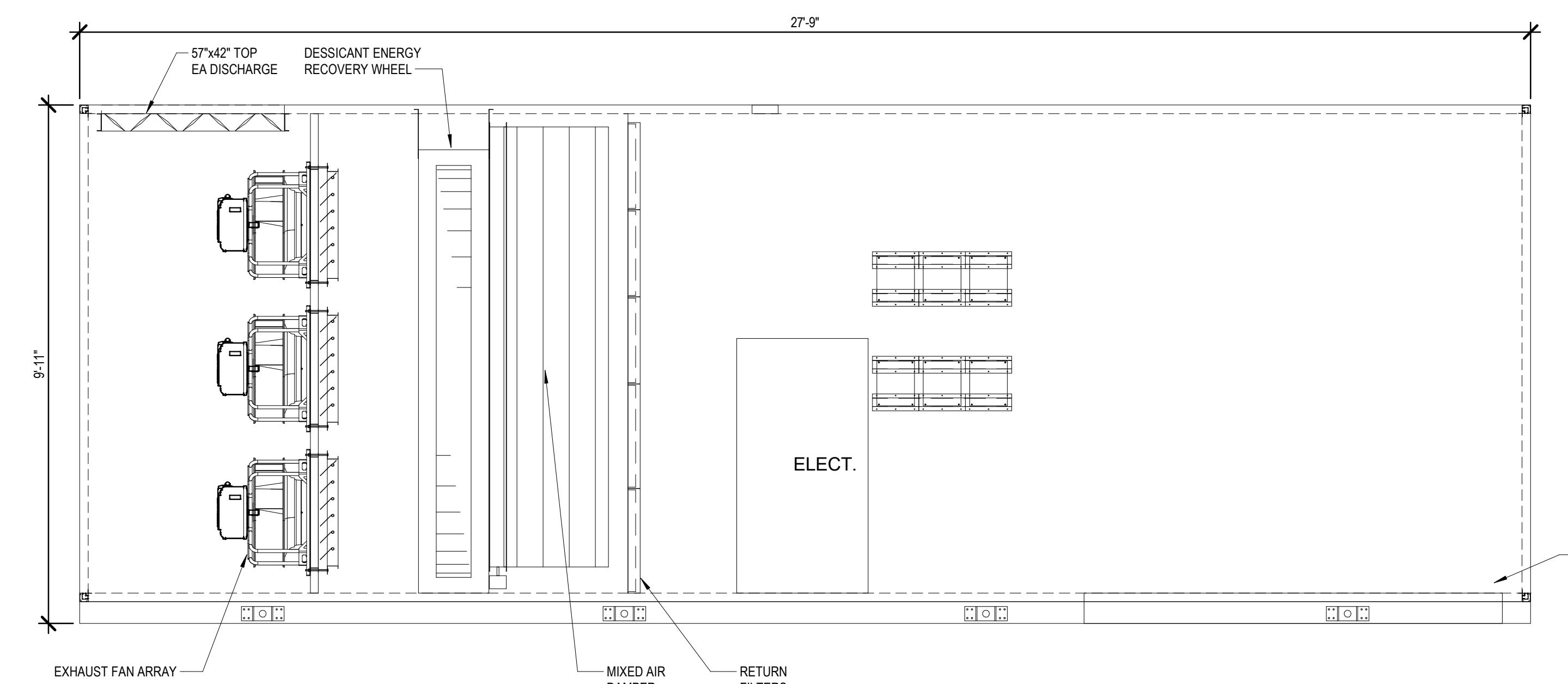




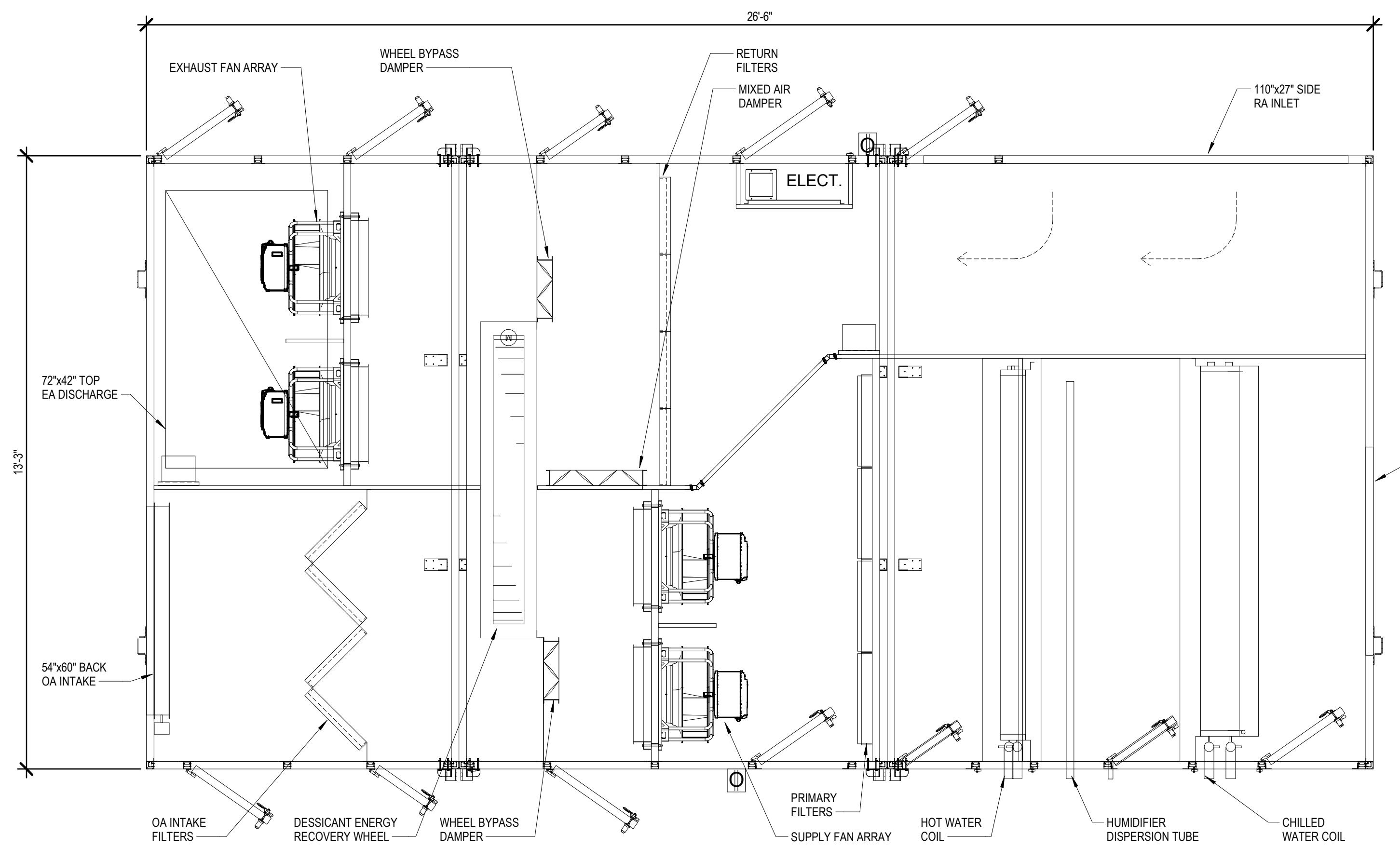
4 AHU-2 COMPONENT DIAGRAM - PLAN



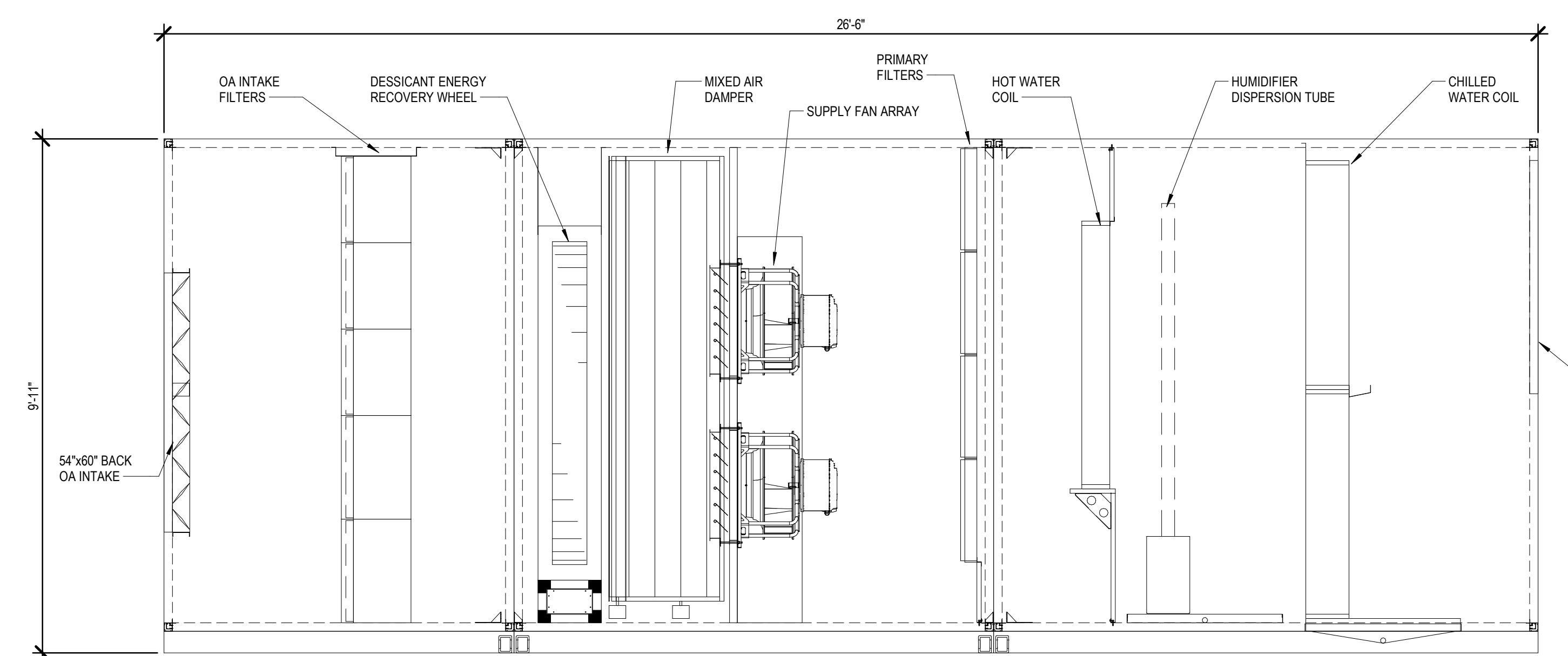
5 AHU-2 COMPONENT DIAGRAM - ELEV 1



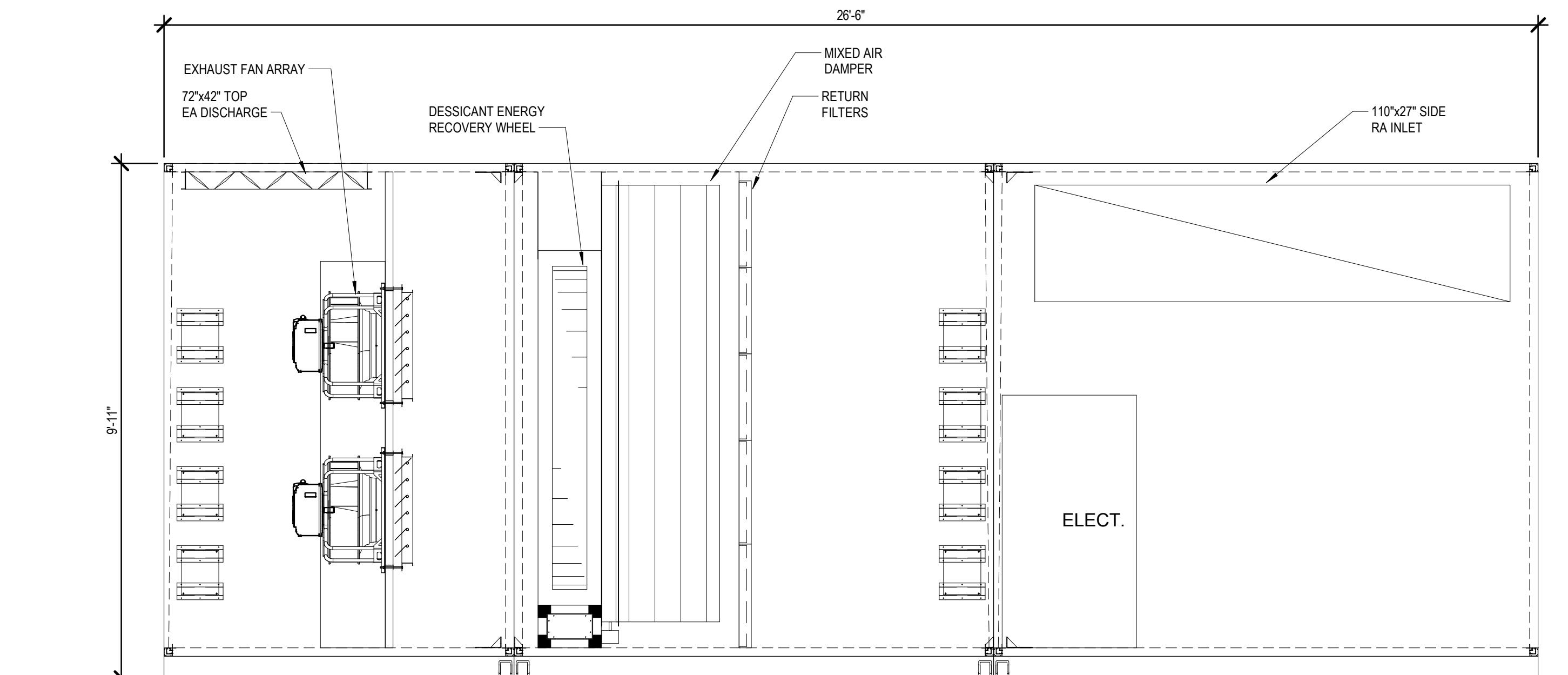
6 AHU-2 COMPONENT DIAGRAM - ELEV 2



1 AHU-1 COMPONENT DIAGRAM - PLAN



2 AHU-1 COMPONENT DIAGRAM - ELEV 1



3 AHU-1 COMPONENT DIAGRAM - ELEV 2

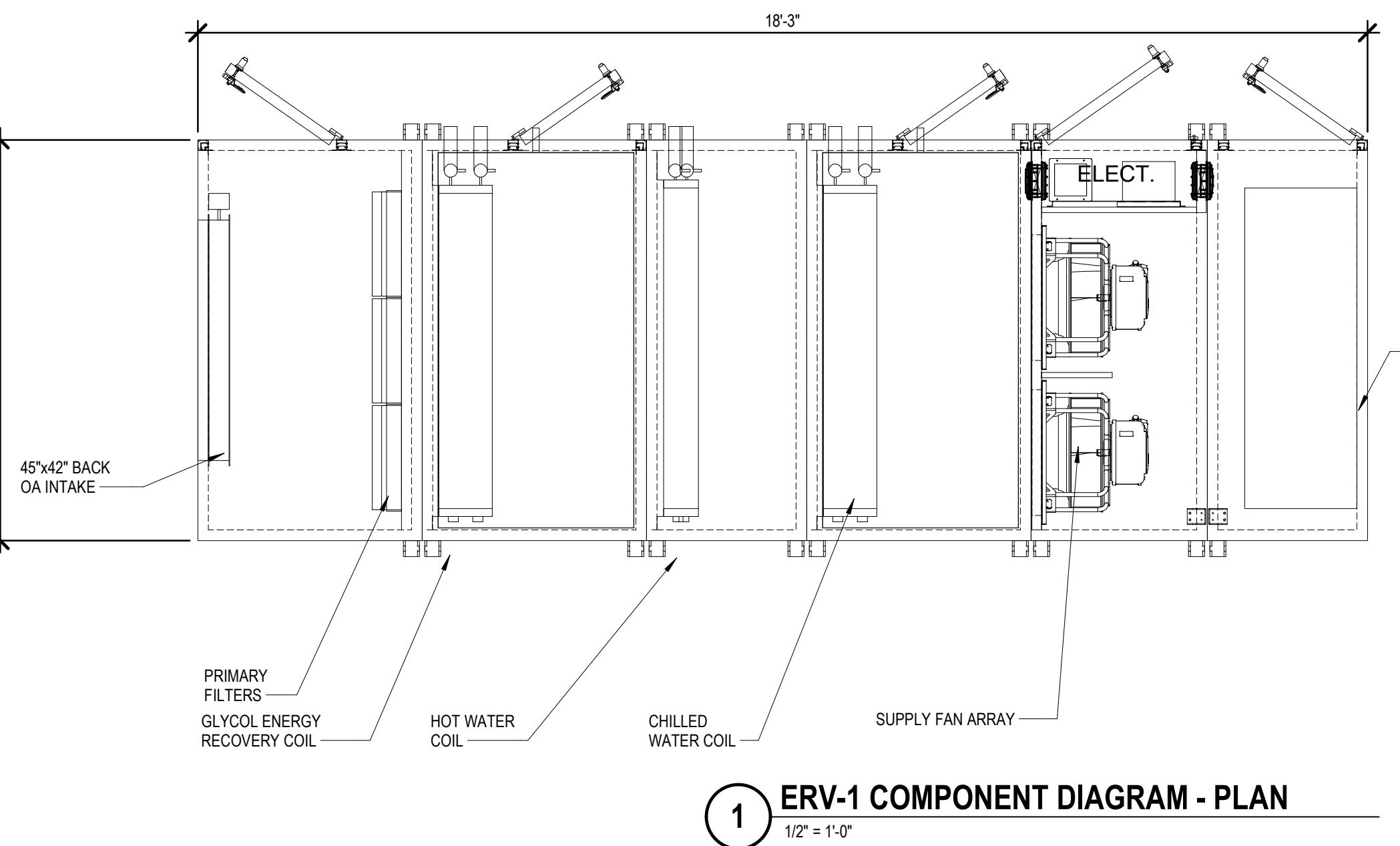
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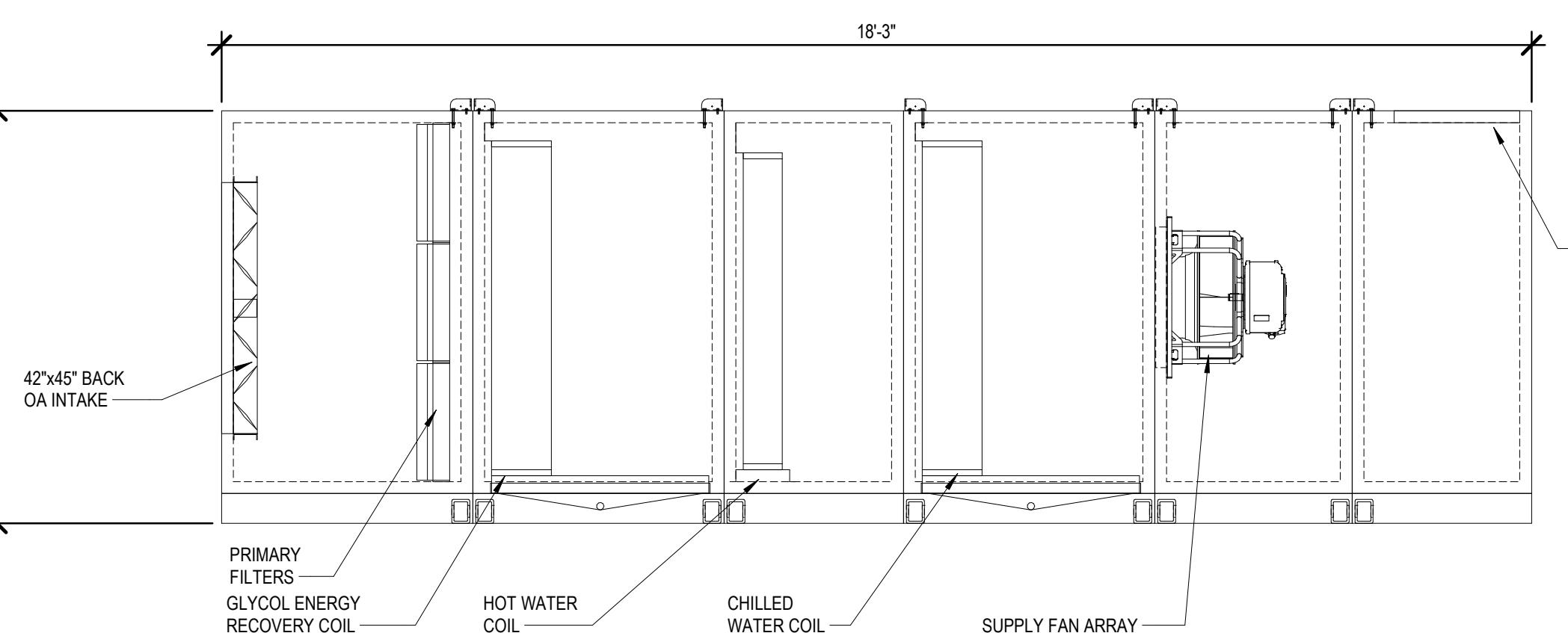
10/21/2022

BID PACKAGE T

BDS-AQD-PERM



① ERV-1 COMPONENT DIAGRAM - PLAN



② ERV-1 COMPONENT DIAGRAM - ELEVATION

DEMOLITION GENERAL NOTES

- A. SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR PHASES OF DEMOLITION AND CONSTRUCTION. COORDINATE WITH GENERAL CONSTRUCTION.
- B. DISCONNECT AND REMOVE ALL ELECTRICAL DEVICES AND LIGHTING FIXTURES IN DEMOLITION AREAS UNLESS NOTED OTHERWISE.
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- D. FURNISH AND INSTALL CONDUIT AND WIRE AS NECESSARY FOR CONTINUITY OF ANY FEEDERS OR BRANCH CIRCUITS ORIGINATING OUTSIDE THE DEMOLITION AREA THAT SERVES ANY ELECTRICAL EQUIPMENT OR DEVICES TO REMAIN AFTER DEMOLITION. MODIFY OR REPLACE AS REQUIRED.
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- G. DISCONNECT AND REMOVE ANY EXISTING ELECTRICAL DEVICES AND BACK BOXES AS NECESSARY WHERE NEW WALL CONSTRUCTION WILL INTERSECT AN EXISTING WALL. FURNISH AND INSTALL CONDUIT AND WIRE AS REQUIRED FOR CONTINUITY OF CIRCUIT(S).
- H. FURNISH AND INSTALL BLANK COVER PLATES OVER ALL EXISTING UNUSED OPENINGS.

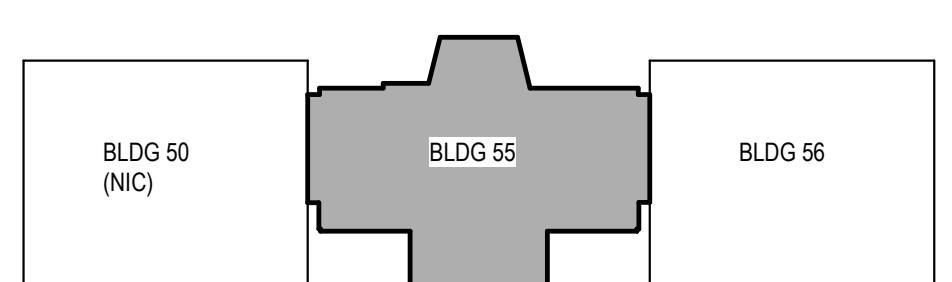
DEMOLITION KEYNOTES

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AND PERMIT

KEY PLAN



FIRST FLOOR DEMOLITION PLAN - BUILDING 55

18'=1'-0"

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ISSUANCE 10/21/2022 BID PACKAGE / BIDS AND PERMIT

PROJECT NUMBER
6196056
PROJECT MANAGER
K. BRANDSEN
PROFESSIONAL
S. PRICE
DRAWING
S. PRICE
DESIGNED BY
D. HERSCHER

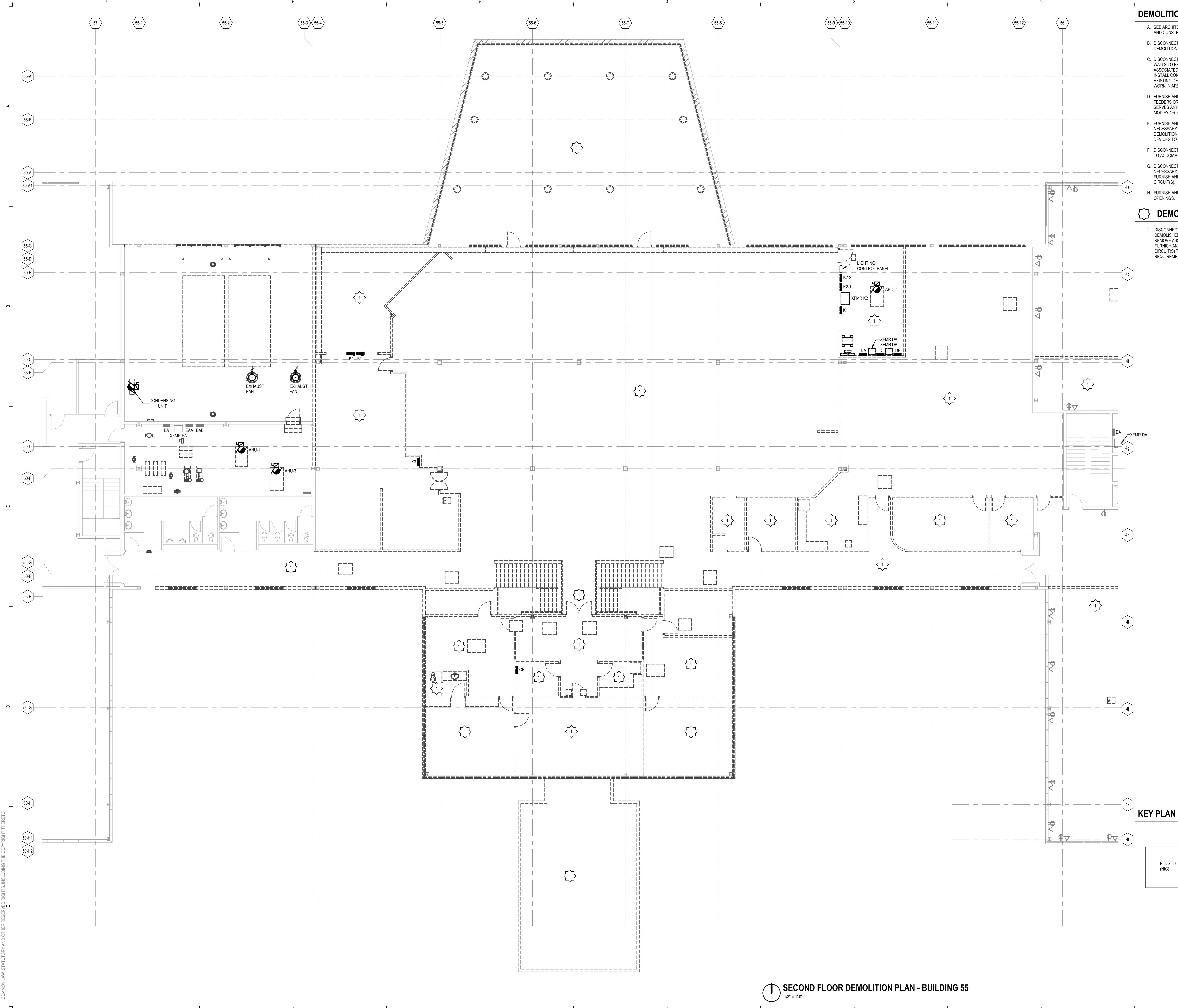
SECOND FLOOR
DEMOLITION
PLAN - BUILDING
55

ED102

DEMOLITION GENERAL NOTES	
A. SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR PHASES OF DEMOLITION AND CONSTRUCTION. COORDINATE WITH GENERAL CONSTRUCTION.	
B. DISCONNECT AND REMOVE ALL ELECTRICAL DEVICES AND LIGHTING FIXTURES IN DEMOLITION AREAS UNLESS NOTED OTHERWISE.	
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H. FURNISH AND INSTALL BLANK COVER PLATES OVER ALL EXISTING UNUSED OPENINGS.	

DEMOLITION KEYNOTES

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SECOND FLOOR DEMOLITION PLAN - BUILDING 55
18' = 1'-0"

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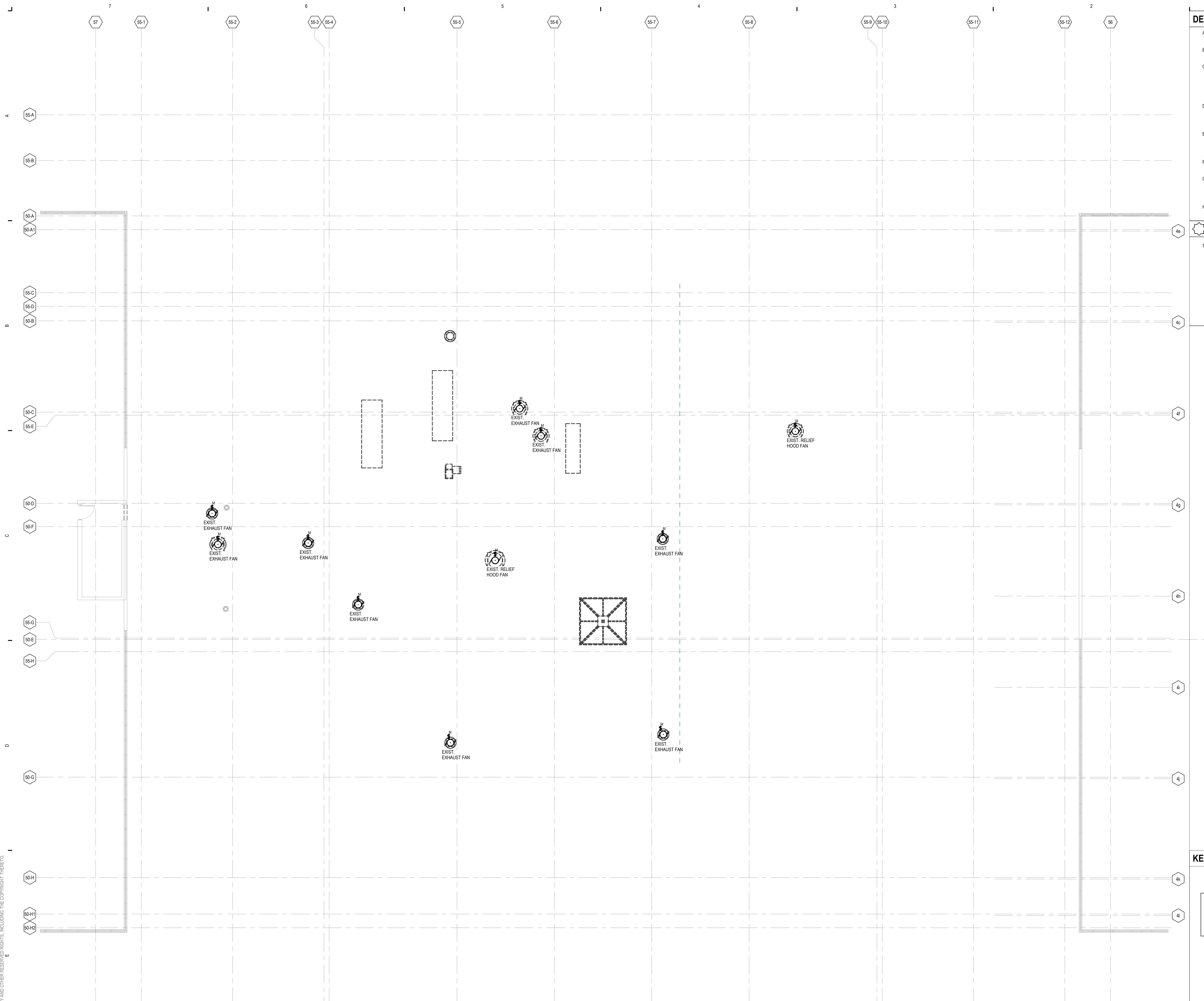
ISSUANCE

10/21/2022 BID PACKAGE / BIDS AND PERMIT

DEMOLITION GENERAL NOTES											
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H. FURNISH AND INSTALL BLANK COVER PLATES OVER ALL EXISTING UNUSED OPENINGS.											

DEMOLITION KEYNOTES

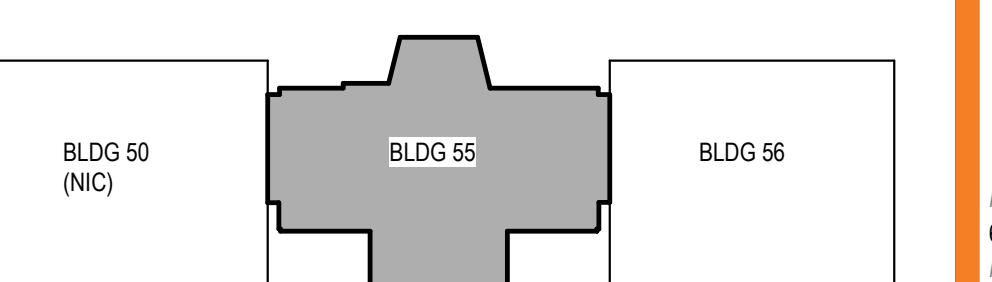
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BLDG. 55 - ROOF DEMOLITION PLAN

1'8" = 1'-0"

KEY PLAN



PROJECT NUMBER
6196056
PROJECT MANAGER
K. BRANDSEN
PROFESSIONAL
S. PRICE
DRAWN BY
S. PRICE
CHECKED BY
D. HERSCHER

ROOF
DEMOLITION
PLAN - BUILDING
55

ED103

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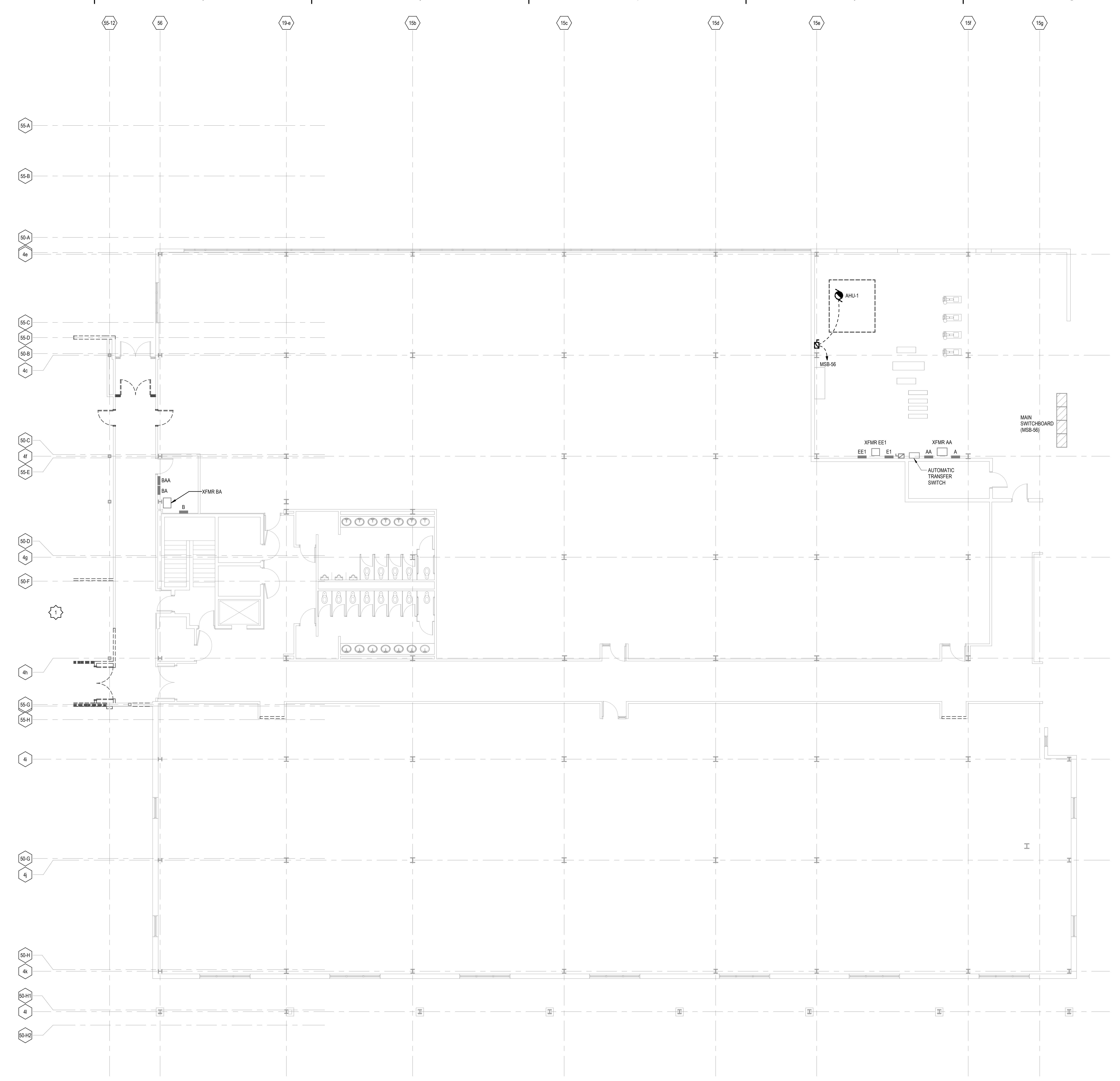
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DEMOLITION GENERAL NOTES							
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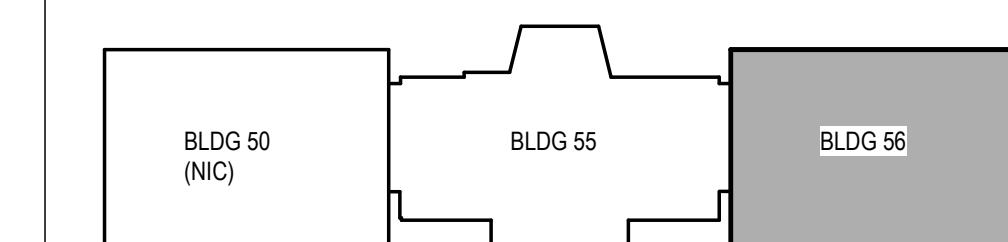
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BLDG. 56 - FIRST FLOOR DEMOLITION PLAN
18' = 1'-0"

KEY PLAN



PROJECT NUMBER
6196056
PROJECT MANAGER
K. BRANDSEN
PROFESSIONAL
S. PRICE
DRAWING
S. PRICE
DESIGNED BY
D. HERSCHER

FIRST FLOOR
DEMOLITION
PLAN - BUILDING
56
ED104

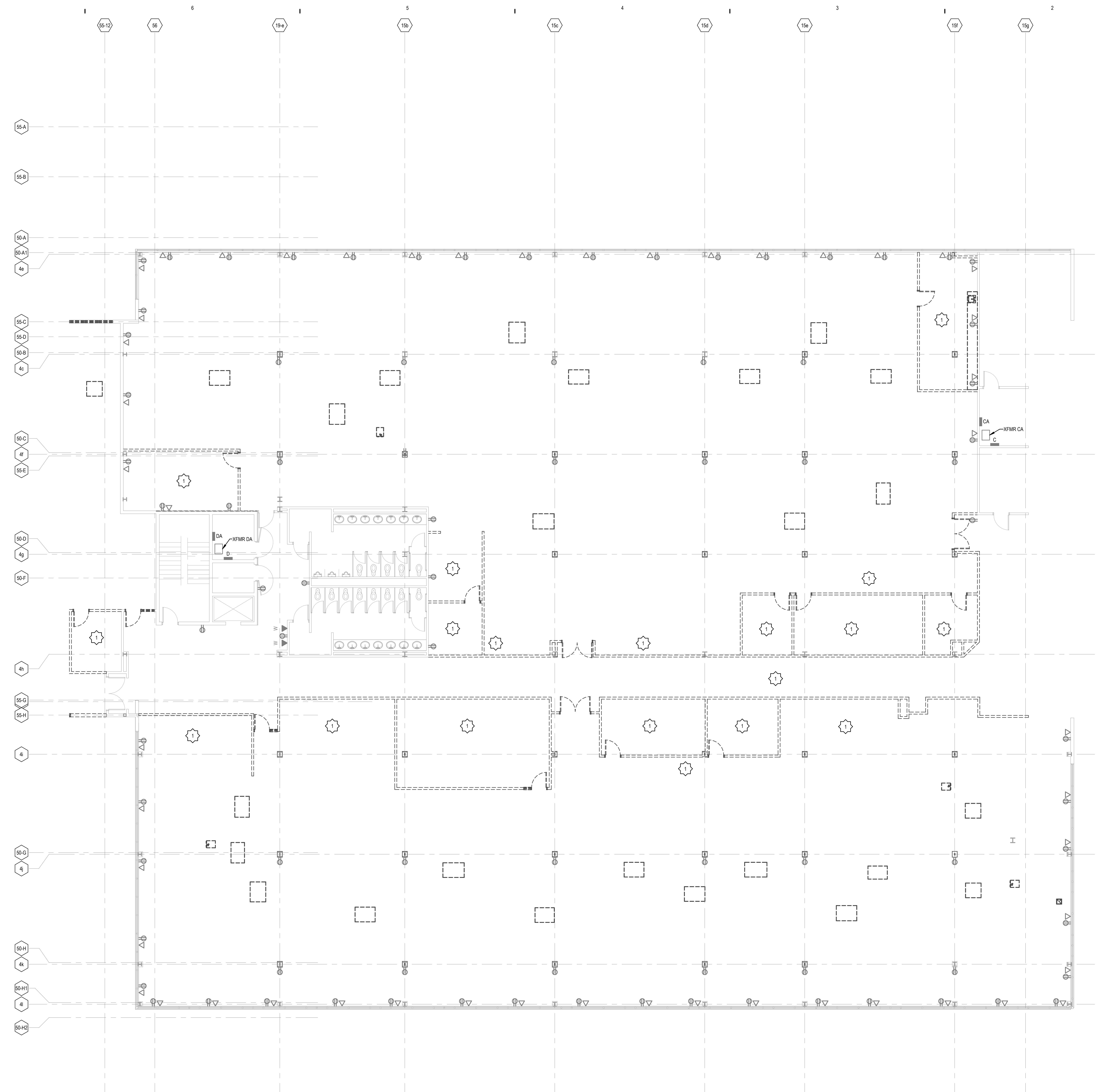
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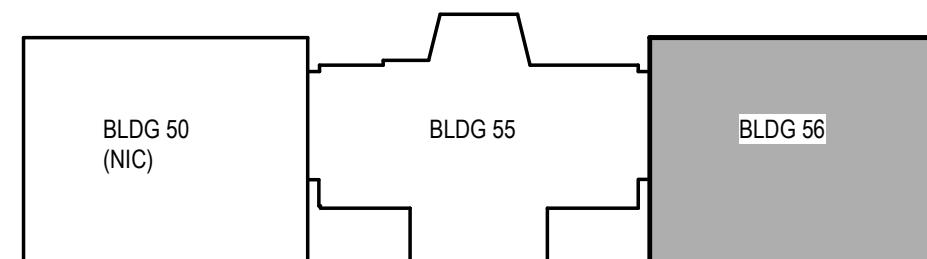
BID PACKAGE / BIDS

AND PERMIT



BLDG. 56 - SECOND FLOOR DEMOLITION PLAN
18" = 1'-0"

KEY PLAN



PROJECT NUMBER
6196056
PROJECT MANAGER
K. BRANDSEN
PROFESSIONAL
S. PRICE
DRAWN BY
S. PRICE
CHECKED BY
D. HERSCHER

SECOND FLOOR
DEMOLITION
PLAN - BUILDING
56

ED105

DEMOLITION GENERAL NOTES

- A. SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR PHASES OF DEMOLITION AND CONSTRUCTION. COORDINATE WITH GENERAL CONSTRUCTION.
- B. DISCONNECT AND REMOVE ALL ELECTRICAL DEVICES AND LIGHTING FIXTURES IN DEMOLITION AREAS UNLESS NOTED OTHERWISE.
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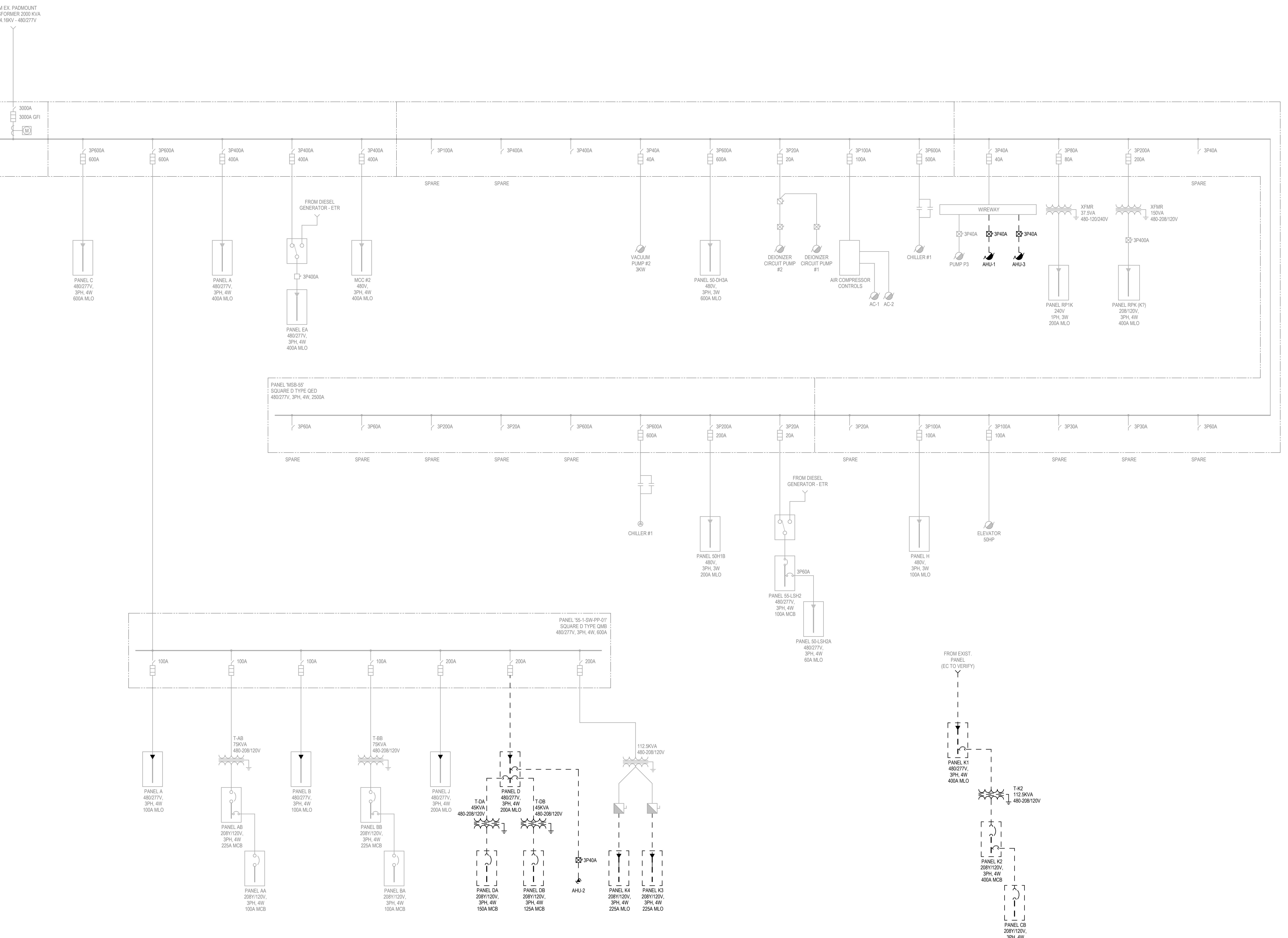
PROJECT NUMBER
6196056
PROJECT MANAGER
K. BRANDSEN
PROFESSIONAL
S. PRICE
SUBMIT BY
S. PRICE
SIGNATURE BY
D. HERSCHE

ELECTRICAL ONE-LINE
DIAGRAM -
BUILDING 55
DEMO

E501

1 ELECTRICAL ONE-LINE DIAGRAM - BUILDING 55 DEMO

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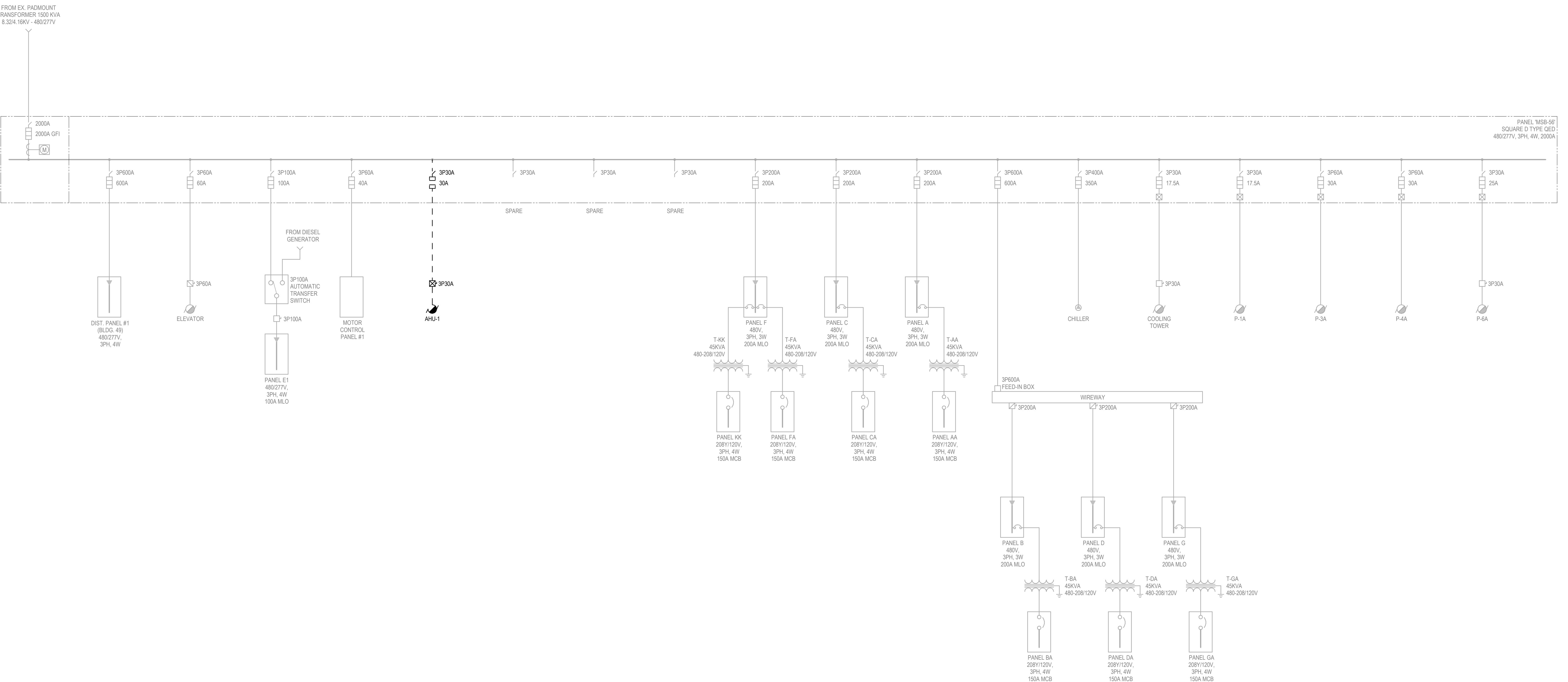
BID PACKAGE / BIDS

AND PERMIT

PROJECT NUMBER
6196056
PROJECT MANAGER
K. BRANDSEN
PROFESSIONAL
S. PRICE
S. PRICE
S. PRICE
D. HERSCHE

ELECTRICAL
ONE-LINE
DIAGRAM -
BUILDING 56
DEMO

E502



1 ELECTRICAL ONE-LINE DIAGRAM - BUILDING 56 DEMO
NOT TO SCALE