



# VALOR RESIDENTIAL

A Luxury Experience

ABN: 88 603 644 133 ACN: 603 644 113 LIC: 302796C

**WORKS:** PROPOSED ALTERATIONS & ADDITIONS to EXISTING DWELLING

**CLIENT:** AARON TURNER & DANNIELLE STONE

**ADDRESS:** 27 PRINCE EDWARD STREET

## **COUNCIL: HUNTERS HILL COUNCIL**



# INDICATIVE

DWG No.	AYOUT NAME	ISSUE
00.01	COVER SHEET	C03
00.02	CONTOUR SURVEY	C03
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00.04	DEMOLITION PLAN	C03
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## **CONSTRUCTION CERTIFICATE**



ABN 88 603 644 133 | ACN 603 644 113 | LIC. 302796C  
**ADDRESS:** UNIT 5, 4 MONEY CLOSE ROUSE HILL NSW 2756 AUSTRALIA  
P +02 4577 6758 | E info@timberworx.com.au | W timberworx.com.au

**General Notes**  
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the building designer. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey





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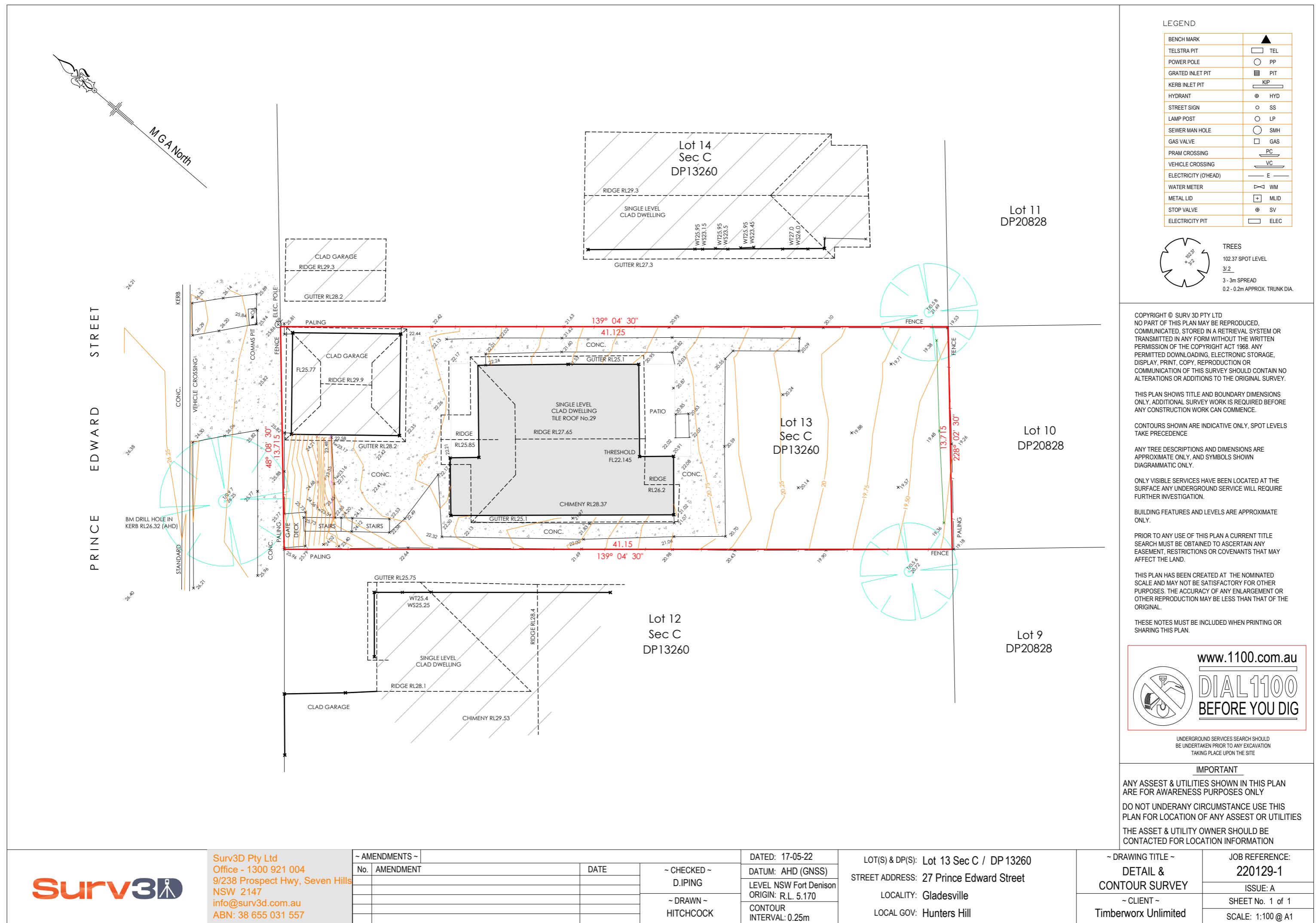
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client  
**AARON & DANNI TURNER**  
project  
**PROPOSED ALTERATIONS & ADDITIONS to**  
**EXISTING DWELLING**  
site address  
**27 PRINCE EDWARD STREET, GLADESVILLE, NSW 2111**

C03	16/12/2024	AMENDMENTS
C02	09/12/2024	AMENDMENTS
C01	25/07/2024	CONSTRUCTION IS
rev	date	revision notes

drawing  
**COVER SHEET**

Project Number:  
J2111



## DA REQUIREMENTS

SITE AREA 564.14m<sup>2</sup>  
LAND ZONING: R2  
MAX HEIGHT OF BUILDING: 8.5m  
MAXIMUM GFA: 291.035m<sup>2</sup>  
PROPOSED GFA: 203.70m<sup>2</sup>  
LANDSCAPING

MINIMUM PERMISSIBLE LANDSCAPE: (minimum dimension 1500m) : 50% or  
MINIMUM LANDSCAPE AREA: 282.07m<sup>2</sup>  
PROPOSED LANDSCAPE 290.56m<sup>2</sup>  
CUT & FILL MAXIMUM: 600mm  
PRIVATE OPEN SPACE: 24m<sup>2</sup>

## ADJOINING PROPERTIES SETBACKS

NO 25 PRINCE EDWARD ST: 19,010mm  
NO 31 PRINCE EDWARD ST: 5,810mm  
REQUIRED SETBACKS  
REQUIRED FRONT SETBACK: 12,410mm  
FRONT SETBACK: N/A  
REQUIRED REAR SETBACK GF: 8,000mm  
REAR SETBACK GF: 13,395mm  
REQUIRED REAR SETBACK FF: 8,000mm  
REAR SETBACK FF: 20,665mm  
REQUIRED SIDE SETBACK GF: 1,500mm  
SIDE SETBACK RH GF: 1,240mm  
SIDE SETBACK LH GF: 1,360mm  
REQUIRED SIDE SETBACK FF: 1,500mm  
SIDE SETBACK RH FF: 2,200mm  
SIDE SETBACK LH FF: 1,900mm

## BOUNDARIES

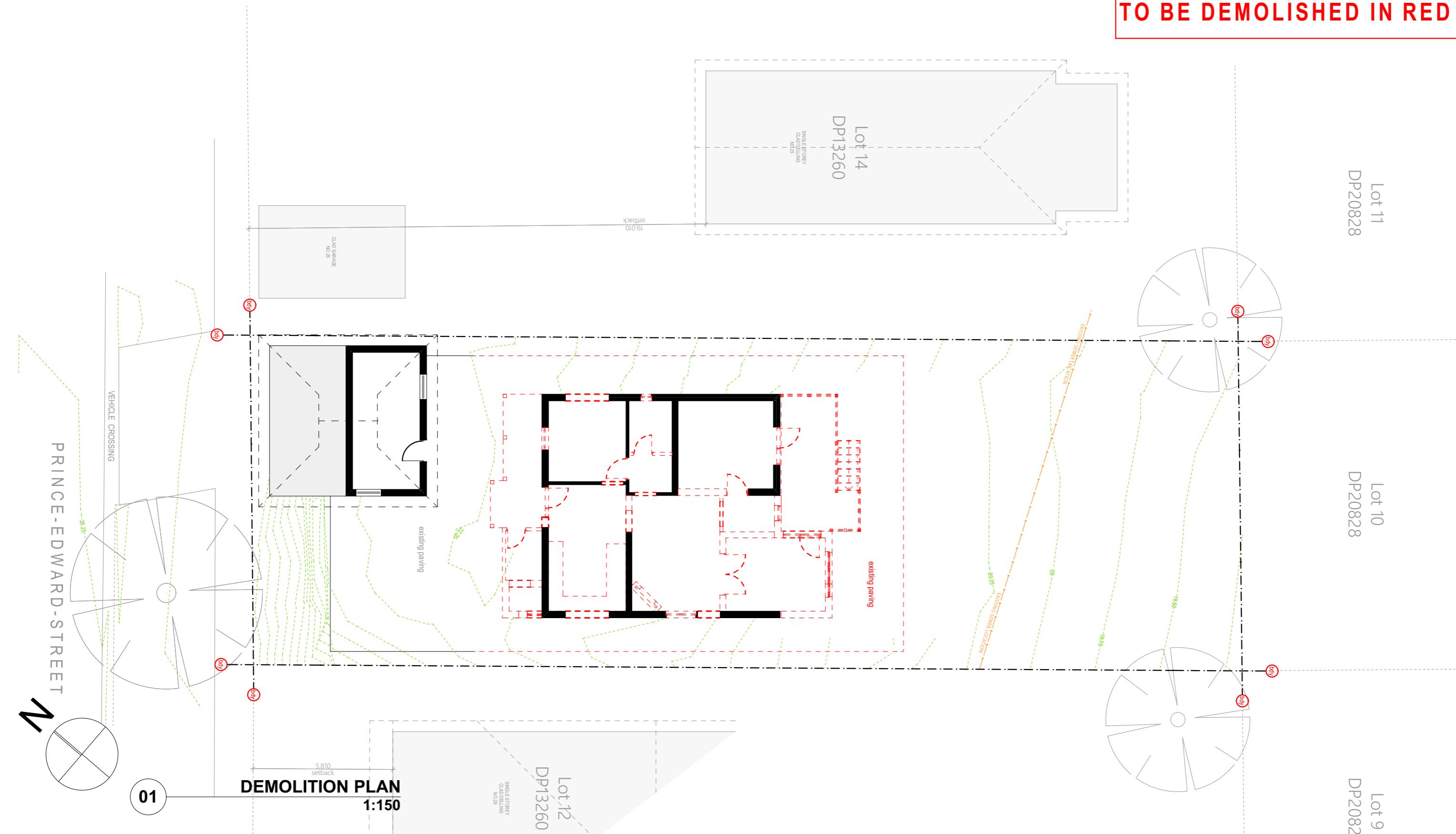
FRONT BOUNDARY WIDTH: 13,715mm  
LH SIDE BOUNDARY LENGTH: 41,125mm  
RH SIDE BOUNDARY LENGTH: 41,150mm  
REAR BOUNDARY WIDTH: 13,715mm

## GROSS FLOOR AREA OF BUILDING FOR DA

GROUND FLOOR: 143.79m<sup>2</sup>  
EXCLUDING VERANDAH, PORCH, BALCONY, STAIR VOIDS  
INCLUDING 17m<sup>2</sup> OF GARAGE, OUT BUILDINGS AND ANY  
ENCLOSED SPACE WITH WALLS OVER 1.4m  
FIRST FLOOR: 59.91m<sup>2</sup>  
EXCLUDING VOID  
TOTAL GFA: 203.70m<sup>2</sup>

# NOTE

## MOLISHED IN RED



# CONSTRUCTION CERTIFICATE



discrepancies or omissions to the building designer. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey



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project  
PROPOSED ALTERATIONS & ADDITIONS to  
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site address

C03	16/12/2024	AMENDMENTS
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C01	25/07/2024	CONSTRUCTION ISS
rev	date	revision notes

drawing  
**DEMOLITION PLAN**

Project Number:  
J2111

ALL DIMENSIONS ARE FRAME DIMENSIONS  
NOTE: 90mm TIMBER STUD INTERNAL FRAMES

BASIX CERTIFICATE

SITE & ENGINEERING INFORMATION

Wind Classification: N2  
Site Classification: P  
Climate Zone: 1

BUILDING INFORMATION

Frames and Trusses: Timber  
Roof Pitch: 20° & 25°  
Electricity Supply: 3-Phase  
Gas Supply: N/A  
Roof Material: Colorbond  
Roof Colour: Dark  
Wall Material: Cladding  
Wall Colour: Light  
Showerheads: 3 Star  
Taps: 3 Star  
Rainwater: N/A  
Swimming Pool: N/A

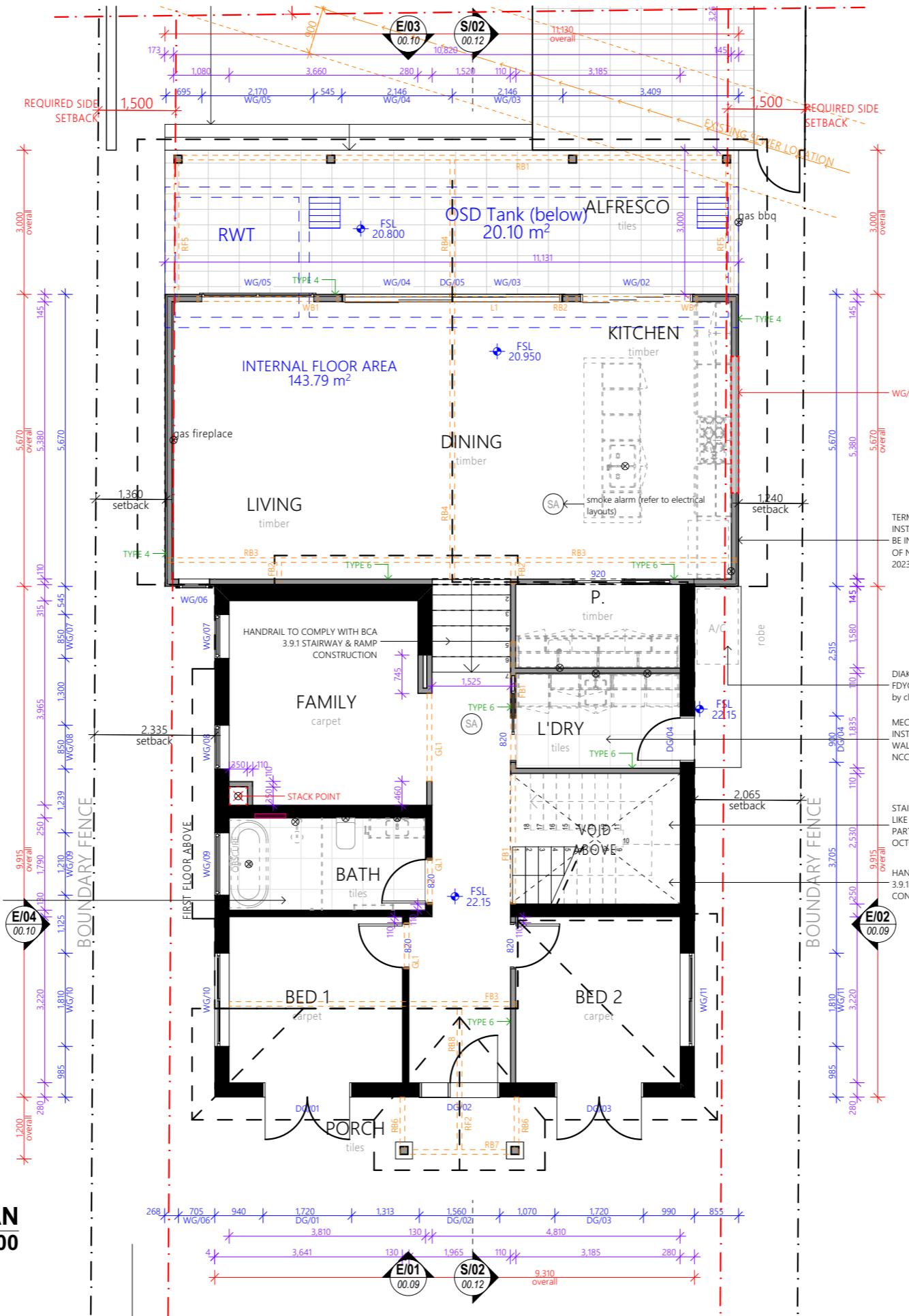
INSULATION

Insulation to be installed in accordance with N.C.C and relevant Australian Standards

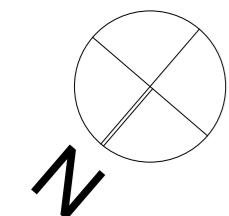
Minimum 60mm Foil Faced Blanket under roofing. Ceiling R6.0 Batts

Exterior walls R1.3 Batts (excluding Garage). Wall wrap to entire house

Interior walls R2.2 Batts (including Garage). R2.0 wall insulation to internal walls of Bathroom and Laundry



GROUND FLOOR PLAN  
1:100



General Notes  
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C02  
C01  
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25/07/2024  
date  
AMENDMENTS  
CONSTRUCTION ISSUE  
revision notes

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KS  
by  
stage  
CC  
drawn  
KS  
checked  
KS  
scale @ A3  
1:100

drawing  
GROUND FLOOR PLAN

Project Number:  
J2111

- GENERAL NOTES**
- ALL DIMENSIONS AND FLOOR AREA ARE TO BE VERIFIED BY BUILDER.
  - LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
  - WRITTEN DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
  - ALL BOUNDARY CLEARANCES MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
  - WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
  - STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3 - 1990.
  - ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORKS.
  - LOCATION OF SERVICES ARE APPROXIMATE ONLY, AND SUBJECT TO SITE CONDITION AS DETERMINED BY BUILDER.
  - ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORKS.
  - ALL CONSTRUCTION TO CONFORM TO NCC AUSTRALIAN STANDARDS.

(SA) SMOKE ALARM  
(EF) EXHAUST FAN  
(LOH) LIFT OF HINGES

**AUSTRALIAN STANDARDS & BCA**  
ALL WORKS TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS, THE BUILDING CODE OF AUSTRALIA & OTHER RELEVANT STATUTORY & LOCAL REGULATION CODES & MANUFACTURER'S RECOMMENDATIONS & INSTRUCTIONS.  
1. POOL FENCING / GATE TO COMPLY WITH AUSTRALIAN STANDARDS AS 1926.1-2012

**ADDITIONAL NOTES**  
1. REFER SCHEDULE OF MATERIALS & COLOURS FOR FURTHER DETAIL.  
2. EXPANSION JOINTS TO BE PROVIDED AS PER BCA / AUSTRALIAN STANDARDS.

**INTERNAL DOORS**  
GROUND FLOOR: 2,340mm H  
FIRST FLOOR: 2,340mm H  
FLUSH TRANSITION TO FLOOR FINISHES  
INTERNAL ROBE DOORS: 2,340mm H

**EXTERNAL COLOUR**  
ROOF DARK  
EXTERNAL WALL LIGHT  
**FUTURE FLOOR COVERING**  
GROUND FLOOR FIRST FLOOR  
ENTRY TIMBER STAIRS TIMBER  
MUD N/A BEDS CARPET  
KITCHEN TIMBER HALL CARPET  
LIVING TIMBER  
MEDIA N/A  
BEDROOM CARPET

drawing # 00.05  
revision C03  
lot no. | D.P. no. | dwelling type  
Lot 13 | D.P. 13260



## BASIX CERTIFICATE

### SITE & ENGINEERING INFORMATION

Wind Classification: N2  
Site Classification: P  
Climate Zone: 1

### BUILDING INFORMATION

Frames and Trusses: Timber  
Roof Pitch: 20° & 25°  
Electricity Supply: 3-Phase  
Gas Supply: N/A  
Roof Material: Colorbond  
Roof Colour: Dark  
Wall Material: Cladding  
Wall Colour: Light  
Showerheads: 3 Star  
Taps: 3 Star  
Rainwater: N/A  
Swimming Pool: N/A

### INSULATION

Insulation to be installed in accordance with N.C.C and relevant Australian Standards

Minimum 60mm Foil Faced Blanket under roofing. Ceiling R6.0 Batts

Exterior walls R1.3 Batts (excluding Garage). Wall wrap to entire house

Interior walls R2.2 Batts (including Garage). R2.0 wall insulation to internal walls of Bathroom and Laundry

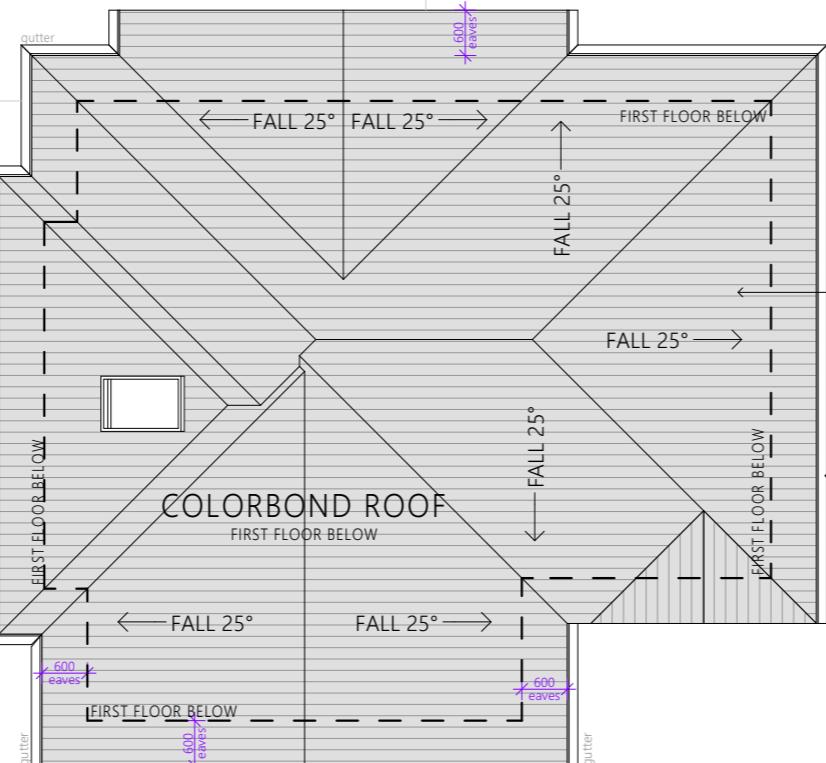
SELECTED METAL ROOF AT 20° PITCH. FINISH AS PER DESIGN SELECTIONS. CORRUGATED SHEET ROOFING PROFILE

SELECTED COLORBOND FASCIA & GUTTER

FALL 20°

COLORBOND ROOF  
GROUND FLOOR BELOW

FALL 20°



SELECTED COLORBOND METAL ROOF AT 25° PITCH. FINISH AS PER DESIGN SELECTIONS. CORRUGATED SHEET ROOFING PROFILE

SELECTED COLORBOND FASCIA & GUTTER

FALL 25°

FALL 25°

FALL 25°

FALL 25°

FALL 25°

ELEVATION

### ROOF & GUTTERS

- ALL ROOF CLADDING IS TO BE IN ACCORDANCE WITH AS1562.1
- ALL BOX GUTTERS WILL COMPLY WITH PART 3.5.2 OF BUILDING CODE OF AUSTRALIA (BCA).
- GUTTERS & DOWNPipes ARE TO BE IN ACCORDANCE WITH CLAUSE 3.5.2 OF BCA & AS 3500 WITH ALL DOWNPipes BEING MINIMUM SIZE OF EITHER 100 X 75 OR 100DIA & ALL BOX GUTTERING WILL BE MINIMUM 400 X 200D.

### GENERAL NOTES

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5. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
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7. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORKS.
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10. ALL CONSTRUCTION TO CONFORM TO NCC AUSTRALIAN STANDARDS.

(SA) SMOKE ALARM  
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### AUSTRALIAN STANDARDS & BCA

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1. POOL FENCING / GATE TO COMPLY WITH AUSTRALIAN STANDARDS AS 1926.1-2012

1. REFER SCHEDULE OF MATERIALS & COLOURS FOR FURTHER DETAIL.
2. EXPANSION JOINTS TO BE PROVIDED AS PER BCA / AUSTRALIAN STANDARDS.

### INTERNAL DOORS

GROUND FLOOR: 2,340mm H  
FIRST FLOOR: 2,340mm H  
FLUSH TRANSITION TO FLOOR FINISHES  
INTERNAL ROBE DOORS: 2,340mm H

EXTERNAL COLOUR  
ROOF DARK  
EXTERNAL WALL LIGHT

FUTURE FLOOR COVERING	
GROUND FLOOR	FIRST FLOOR
ENTRY TIMBER	STAIRS TIMBER
MUD N/A	BEDS CARPET
KITCHEN TIMBER	HALL CARPET
LIVING TIMBER	
MEDIA N/A	
BEDROOM CARPET	

**01**  
**ROOF PLAN**  
1:100

SELECTED COLORBOND METAL ROOF AT 26° PITCH. FINISH AS PER DESIGN SELECTIONS. CORRUGATED SHEET ROOFING PROFILE



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New South Wales

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27 PRINCE EDWARD STREET, GLADESVILLE, NSW 2111

C03 16/12/2024 AMENDMENTS  
C02 09/12/2024 AMENDMENTS  
C01 25/07/2024 CONSTRUCTION ISSUE  
rev date revision notes  
KS KS by

0 1 2 3 metres 4  
stage drawn checked scale @ A3  
CC KS KS 1:100

drawing  
**ROOF PLAN**

lot no. | D.P. no. | dwelling type  
Lot 13 | D.P. 13260

Project Number:  
J2111

drawing #  
00.07  
revision  
C03

**CONSTRUCTION CERTIFICATE**



**VALOR**  
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rev date revision notes  
KS KS by

0 1 2 3 metres 4  
stage drawn checked scale @ A3  
CC KS KS 1:100

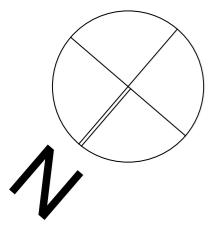
drawing  
**ROOF PLAN**

lot no. | D.P. no. | dwelling type  
Lot 13 | D.P. 13260

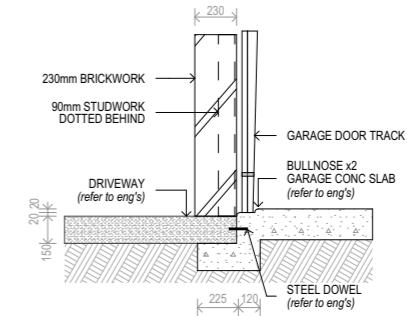
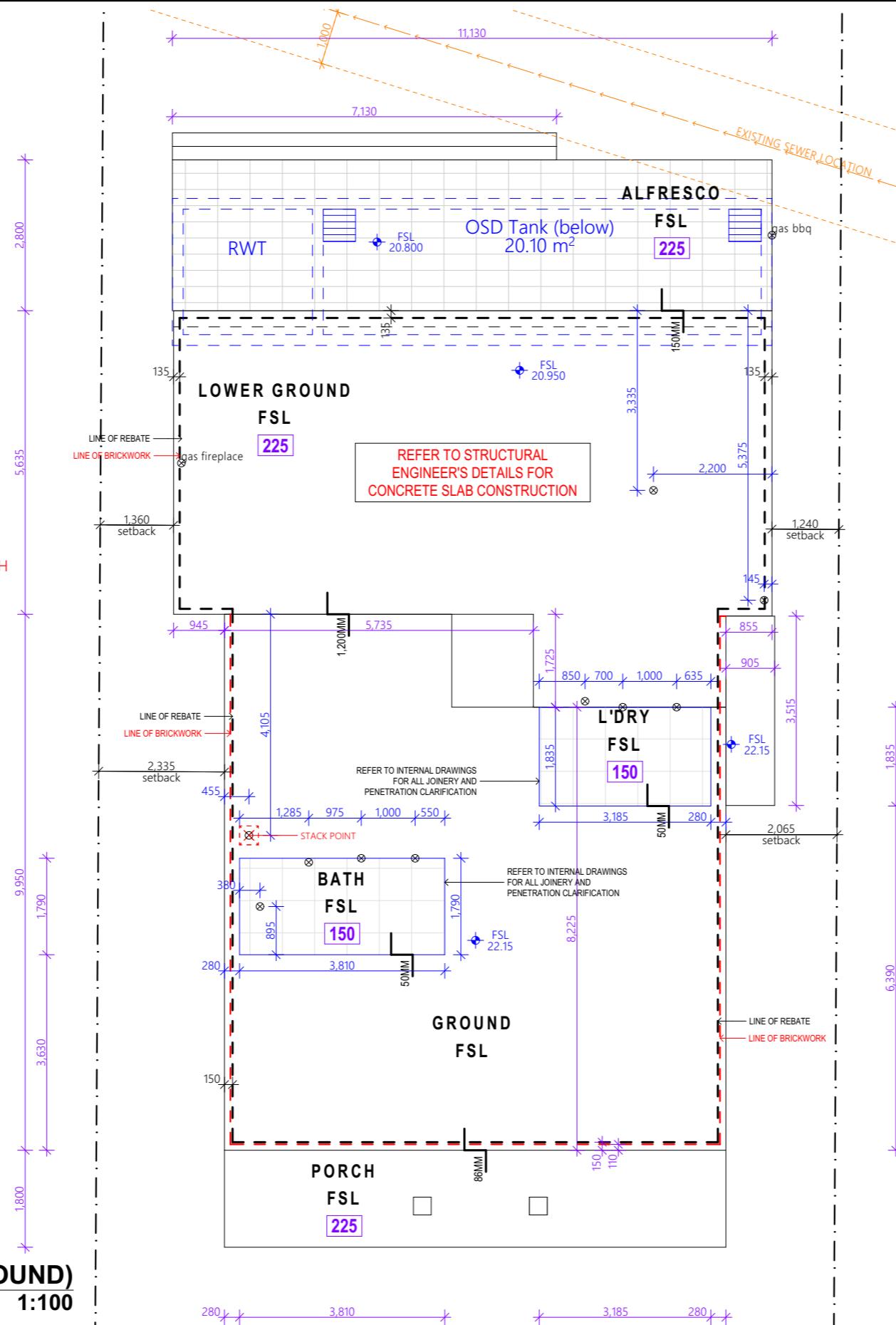
Project Number:  
J2111

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00.07  
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C03

LEGEND:	
WASTE POINT IN STUD WALLS	
FLOOR WASTE POINTS	
STACK POINTS	
GAS OUTLET	
EXTERNAL TAP	
WAFFLE POD SIZE	150



## 01 CONCRETE SETOUT (GROUND) 1:100



**GENERAL NOTES**

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(SA) SMOKE ALARM  
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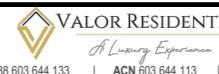
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**ADDITIONAL NOTES**

- REFER SCHEDULE OF MATERIALS & COLOURS FOR FURTHER DETAIL.
- EXPANSION JOINTS TO BE PROVIDED AS PER BCA / AUSTRALIAN STANDARDS.

- NOTE:
- ALL STRUCTURAL ENGINEERING DOCUMENTATION TO BE REFERRED WITH  
STRUCTURAL ENGINEERING DRAWINGS & DETAILS
  - ALL BATHROOM/TILED SURFACES TO BE DETERMINED BY SITE  
SUPERVISOR/TILER FOR DRAINAGE FALL

## CONSTRUCTION CERTIFICATE



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site address  
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C03  
C02  
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16/12/2024  
09/12/2024  
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AMENDMENTS  
CONSTRUCTION ISSUE  
revision notes

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3 metres 4  
stage  
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scale @ A3  
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drawing  
SLAB SETOUT PLAN

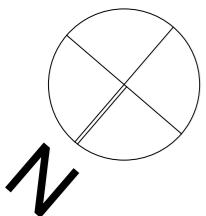
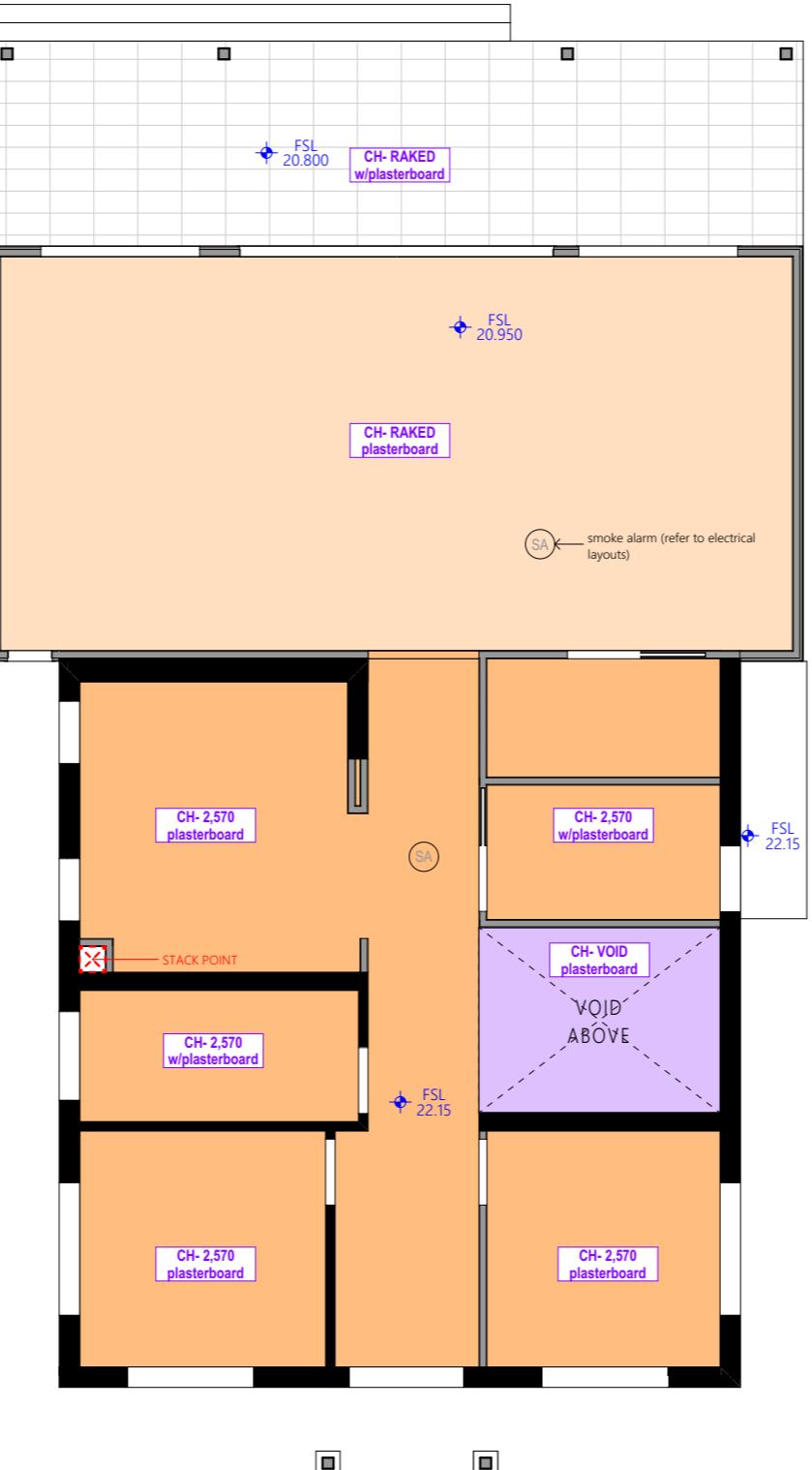
lot no. | D.P. no. | dwelling type  
Lot 13 | D.P. 13260

Project Number:

J2111

drawing #  
00.08  
revision  
C03

**NOTE:**  
LAYOUTS SHOULD BE READ IN CONJUNCTION TO ELECTRICAL LAYOUTS & AC MARK-UP FOR MORE DETAILS. RCP LAYOUTS ARE ONLY INDICATIVE



**01 GROUND FLOOR (RCP)**  
1:100



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*A Luxury Experience*

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CC KS KS 1:100

drawing  
**GROUND FLOOR PLAN RCP**

Project Number:  
J2111

lot no. | D.P. no. | dwelling type  
Lot 13 | D.P. 13260

drawing # revision  
00.09 C03

**RCP NOTES:**

- TO CAVITY SLIDERS RETURN PLASTERBOARD CEILING 100mm UP INTO CEILING VOID TO FORM SLOT. REFER TO INTERIOR ARCHITECT'S DETAIL
- TO AREAS OVER JOINERY ITEMS, ALLOW TO INSTALL PLASTERBOARD CEILING COMPLETE
- TO WALL AND CEILING INTERSECT PROVIDE TRIM TO CEILING
- REFER TO ELECTRICAL'S FOR LIGHT FITTINGS/SPEAKER/INTERCOM LOCATIONS TO INSTALL

**LEGEND:**

- 2,400mm HIGH FINISHED CEILING LEVEL (HEIGHT ABOVE FFL)
- 2,570mm HIGH FINISHED CEILING LEVEL (HEIGHT ABOVE FFL)
- RAKED HIGH FINISHED CEILING LEVEL (HEIGHT ABOVE FFL)
- VOID HIGH FINISHED CEILING LEVEL (HEIGHT ABOVE FFL)
- XXXX UNDER SLAB LEVEL (TO AHD)  
FINISHED CEILING LEVEL (TO AHD)

**GENERAL NOTES**

- ALL DIMENSIONS AND FLOOR AREA ARE TO BE VERIFIED BY BUILDER.
- LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
- WRITTEN DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
- ALL BOUNDARY CLEARANCES MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
- WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
- STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3 - 1990.
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- ALL CONSTRUCTION TO CONFORM TO NCC AUSTRALIAN STANDARDS.

**SA** SMOKE ALARM  
**EF** EXHAUST FAN  
**LH** LIFT OF HINGES

**AUSTRALIAN STANDARDS & BCA**  
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1. POOL FENCING / GATE TO COMPLY WITH AUSTRALIAN STANDARDS AS 1926.1-2012

**ADDITIONAL NOTES**

- REFER SCHEDULE OF MATERIALS & COLOURS FOR FURTHER DETAIL.
- EXPANSION JOINTS TO BE PROVIDED AS PER BCA / AUSTRALIAN STANDARDS.

**CONSTRUCTION CERTIFICATE**

NOTE:  
LAYOUTS SHOULD BE READ IN CONJUNCTION TO ELECTRICAL LAYOUTS &  
AC MARK-UP FOR MORE DETAILS. RCP LAYOUTS ARE ONLY INDICATIVE

**RCP NOTES:**

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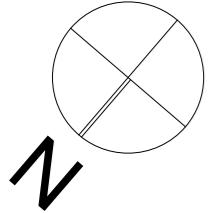
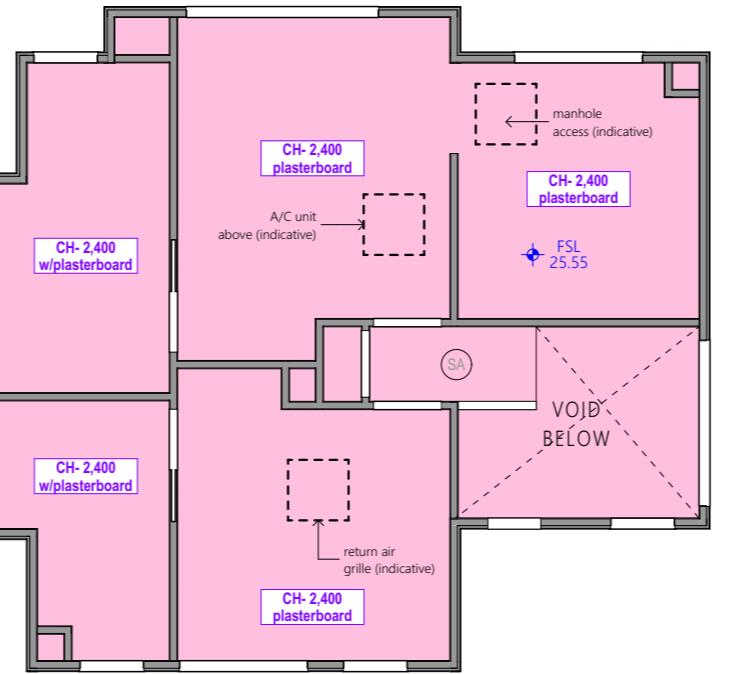
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01

FIRST FLOOR (RCP)  
1:100

## CONSTRUCTION CERTIFICATE



ABN 88 603 644 133 | ACN 603 644 113 | LIC. 302796C |  
ADDRESS: UNIT 5, 4 MONEY CLOSE ROUSE HILL NSW 2756 AUSTRALIA  
P +02 4577 6758 | E info@timberworx.com.au | W timberworx.com.au

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New South Wales

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client  
AARON & DANNI TURNER  
project  
PROPOSED ALTERATIONS & ADDITIONS to  
EXISTING DWELLING  
site address  
27 PRINCE EDWARD STREET, GLADESVILLE, NSW 2111

C03  
C02  
C01  
rev  
16/12/2024  
09/12/2024  
25/07/2024  
date  
AMENDMENTS  
AMENDMENTS  
CONSTRUCTION ISSUE  
revision notes

KS  
KS  
KS  
by

stage  
0  
1  
2  
3 metres 4  
drawn  
CC  
KS  
KS  
checked  
KS  
scale @ A3  
1:100

drawing  
FIRST FLOOR PLAN RCP

lot no. | D.P. no. | dwelling type  
Lot 13 | D.P. 13260

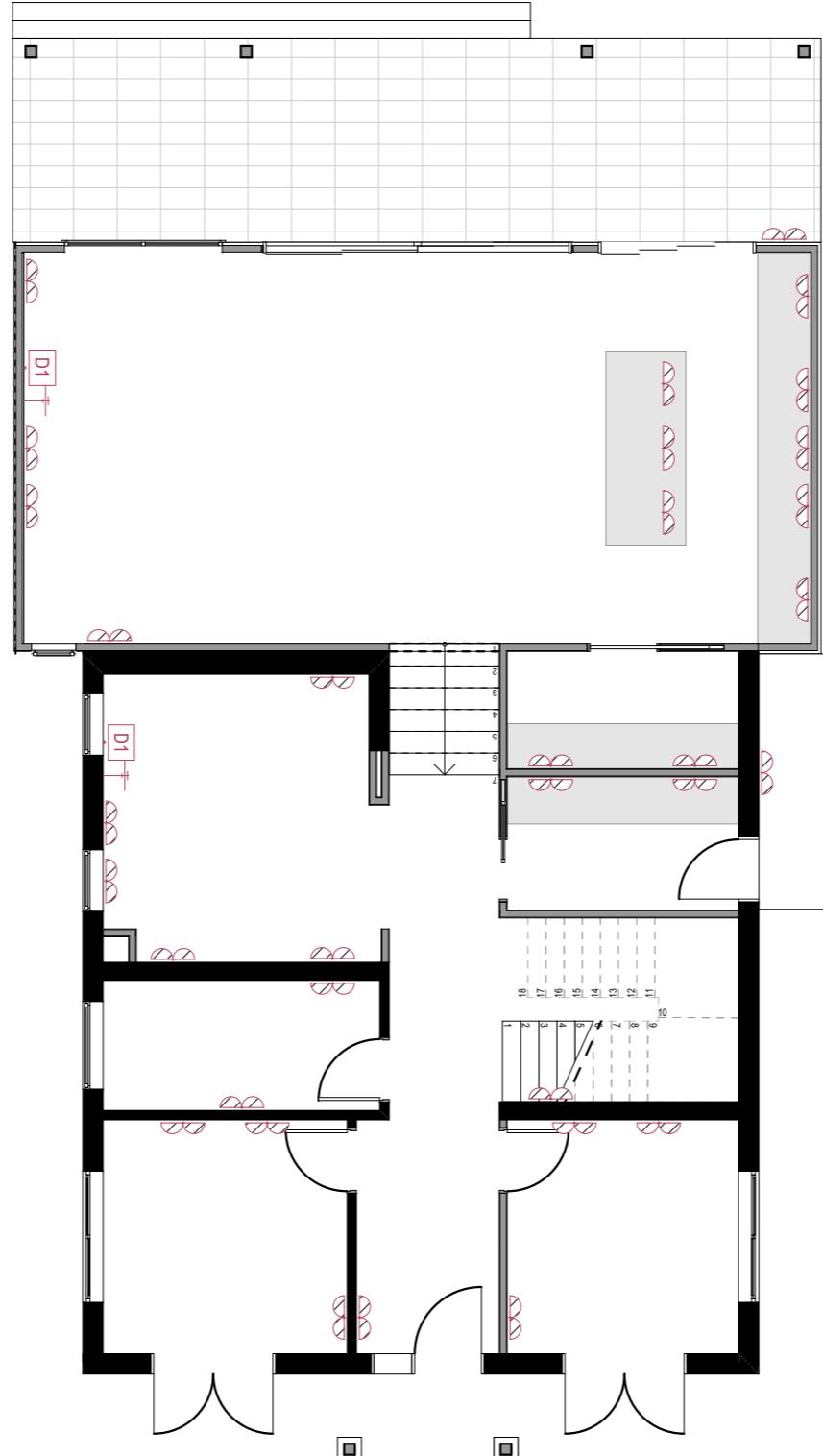
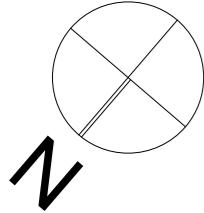
Project Number:  
J2111

drawing #  
00.10  
revision  
C03

## ELECTRICAL SCHEDULE

Ground Floor			
DATA & SECURITY	DATA-1	D1	2
DATA & SECURITY	DIGITAL READY ANTENNA	T	2
POWER	GPO DOUBLE	22	33
First Floor			
POWER	GPO DOUBLE	22	17

01 ELECTRICAL PLAN (GF)  
1:100



NOTE:  
POWERPOINT HEIGHTS TO BE DISCUSSED AND  
WALKTHROUGH ON SITE WITH ELECTRICIAN AND SITE  
SUPERVISOR

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client  
AARON & DANNI TURNER  
project  
PROPOSED ALTERATIONS & ADDITIONS to  
EXISTING DWELLING  
site address  
27 PRINCE EDWARD STREET, GLADESVILLE, NSW 2111

C03 16/12/2024 AMENDMENTS  
C02 09/12/2024 AMENDMENTS  
C01 25/07/2024 CONSTRUCTION ISSUE  
rev date revision notes  
KS KS KS by

0 1 2 3 metres 4  
stage drawn checked scale @ A3  
CC KS KS 1:100

drawing  
**GROUND FLOOR ELECTRICAL PLANS**

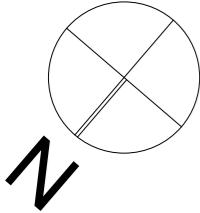
lot no. | D.P. no. | dwelling type  
Lot 13 | D.P. 13260

Project Number:  
J2111

drawing # revision  
00.11 C03

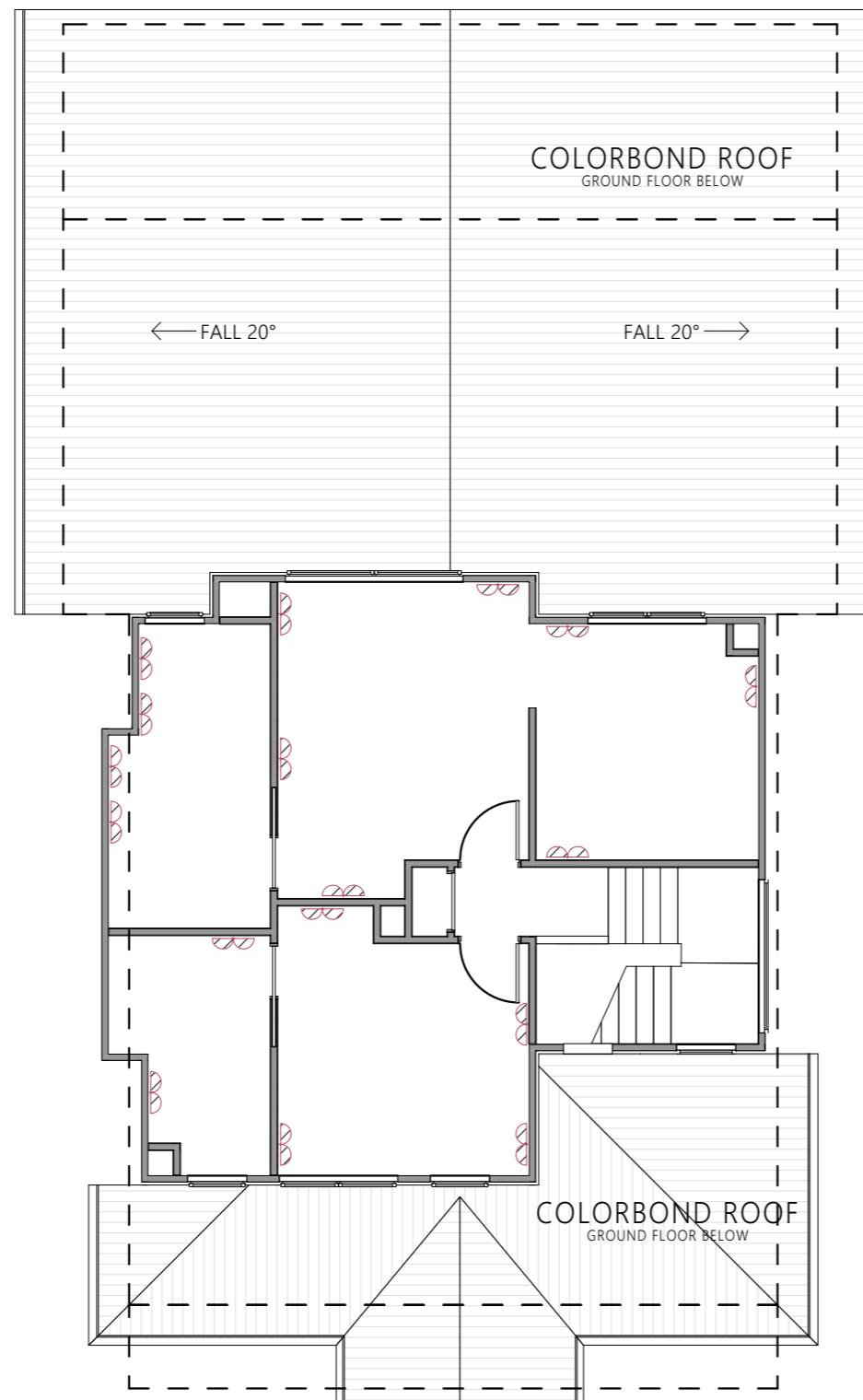
## ELECTRICAL SCHEDULE

Ground Floor			
DATA & SECURITY	DATA-1	D1	2
DATA & SECURITY	DIGITAL READY ANTENNA	T	2
POWER	GPO DOUBLE	220	33
First Floor			
POWER	GPO DOUBLE	220	17



01 ELECTRICAL PLAN (FF)  
1:100

NOTE:  
POWERPOINT HEIGHTS TO BE DISCUSSED AND  
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0 1 2 3 metres 4  
stage drawn checked scale @ A3  
CC KS KS 1:100

drawing  
**FIRST FLOOR ELECTRICAL  
PLANS**

lot no. | D.P. no. | dwelling type  
Lot 13 | D.P. 13260

Project Number:

J2111

drawing # revision  
00.12 C03

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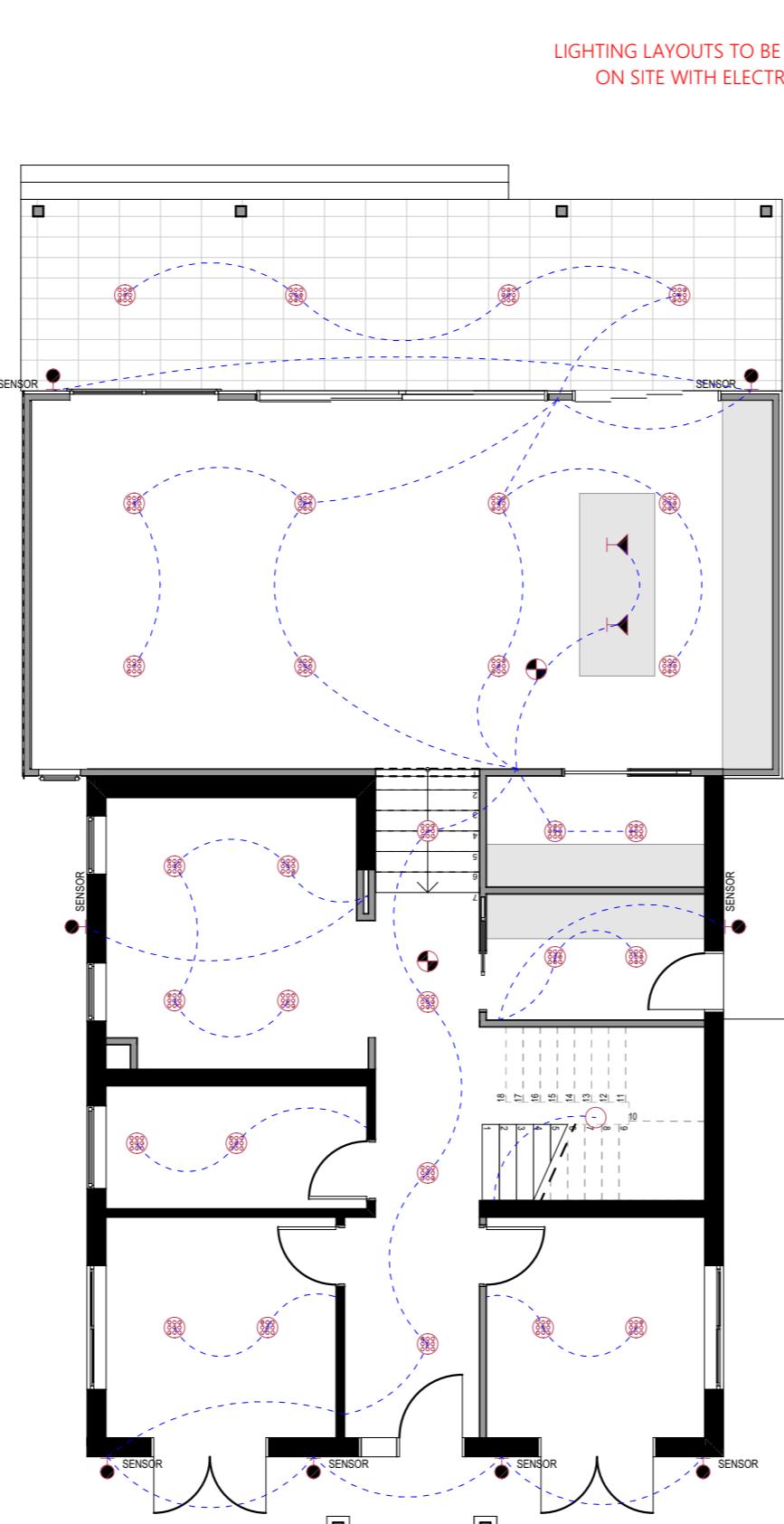
**CONSTRUCTION CERTIFICATE**

## LIGHTING SCHEDULE

Ground Floor			
LIGHTING	WALL LIGHT @ HEIGHT NOMINATED A.F.L.	8	
LIGHTING	PENDANT LIGHT	2	
LIGHTING	DOWN LIGHT	30	
LIGHTING	SMOKE ALARM	2	

First Floor			
LIGHTING	PENDANT LIGHT	1	
LIGHTING	DOWN LIGHT -LED	15	
LIGHTING	SMOKE ALARM	1	



NOTE:  
LIGHTING LAYOUTS TO BE DISCUSSED AND WALKTHROUGH  
ON SITE WITH ELECTRICIAN AND SITE SUPERVISOR

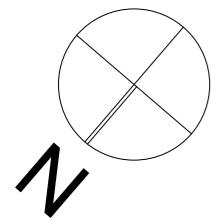
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**LIGHTING PLAN (GF)**  
1:100



01

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rev date revision notes  
KS by

0 1 2 3 metres 4  
stage drawn checked scale @ A3  
CC KS KS 1:100

drawing  
GROUND FLOOR LIGHTING  
PLANS

lot no. | D.P. no. | dwelling type  
Lot 13 | D.P. 13260

Project Number: J2111  
drawing # 00.13  
revision C03

## LIGHTING SCHEDULE

Ground Floor			
LIGHTING	WALL LIGHT @ HEIGHT NOMINATED A.F.L.	8	
LIGHTING	PENDANT LIGHT	2	
LIGHTING	DOWN LIGHT	30	
LIGHTING	SMOKE ALARM	2	

First Floor			
LIGHTING	PENDANT LIGHT	1	
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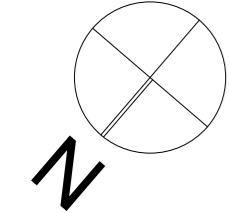
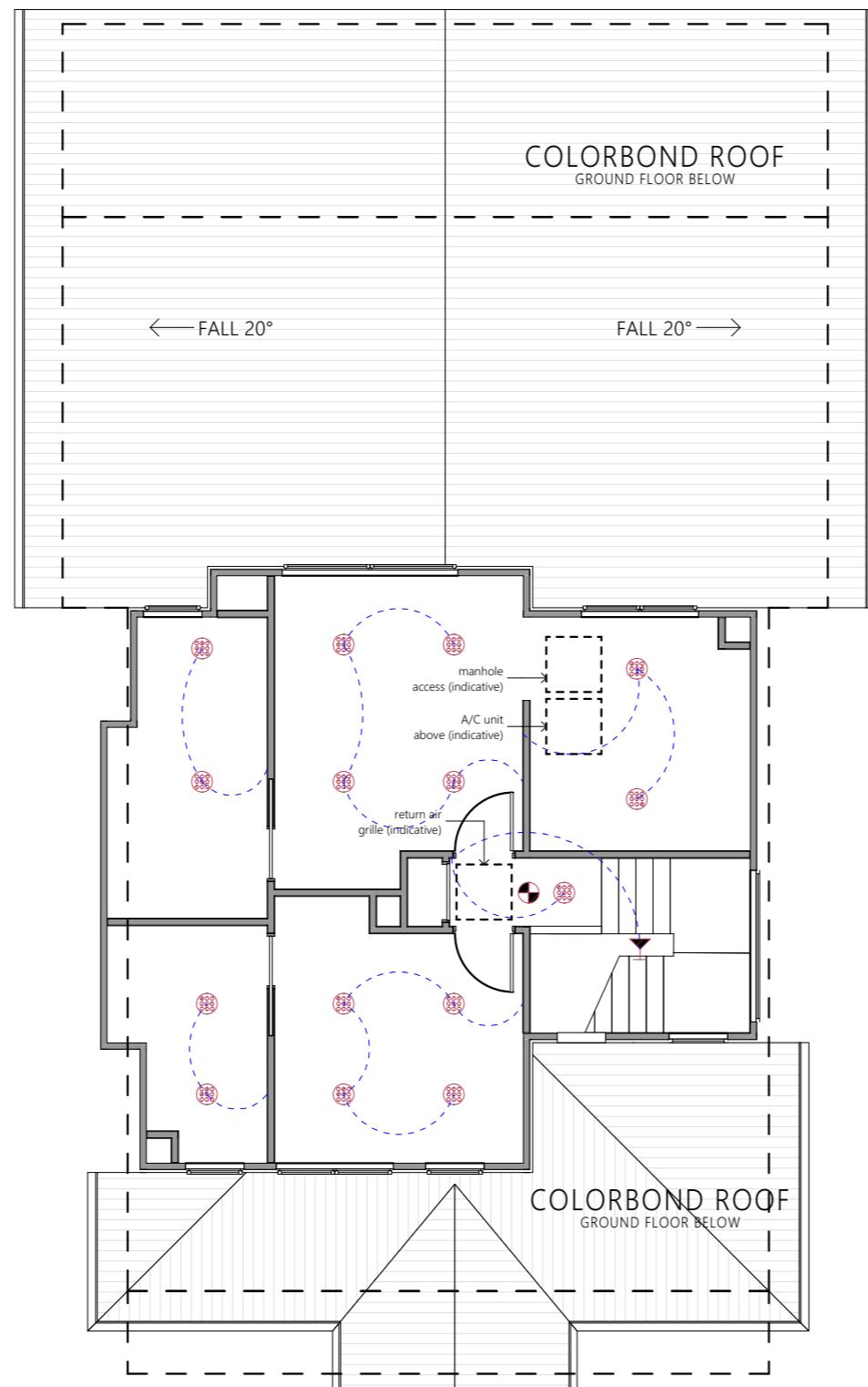
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**LIGHTING PLAN (FF)**  
1:100



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rev date revision notes  
KS by

0 1 2 3 metres 4  
stage drawn checked scale @ A3  
CC KS KS 1:100

**CONSTRUCTION CERTIFICATE**  
Project Number: J2111  
**FIRST FLOOR LIGHTING PLANS**  
drawing # 00.14 revision C03  
lot no. | D.P. no. | dwelling type  
Lot 13 | D.P. 13260

## LEGEND

CB	COLOURBOND
TR	TILED ROOF
FB	FACEBRICK
VC	VERTICAL CLADDING
DW	DECOWOOD
RB	RENDERED BRICK
MC	MATRIX CLADDING
SK	SKYLIGHT
DP	DOWNPipe
NRG	NRG BOARD RENDER OVER
FS	FEATURE STONE CLADDING

NOTE:  
SELECTIONS FOR FLOORING & EXTERNAL COLOURS NOT  
YET FINALISED



## BASIX CERTIFICATE

## SITE &amp; ENGINEERING INFORMATION

Wind Classification: N2  
Site Classification: P  
Climate Zone: 1

## BUILDING INFORMATION

Frames and Trusses: Timber  
Roof Pitch: 20° & 25°  
Electricity Supply: 3-Phase  
Gas Supply: N/A  
Roof Material: Colorbond  
Roof Colour: Dark  
Wall Material: Cladding  
Wall Colour: Light  
Showerheads: 3 Star  
Taps: 3 Star  
Rainwater: N/A  
Swimming Pool: N/A

## INSULATION

Insulation to be installed in accordance with N.C.C and relevant Australian Standards

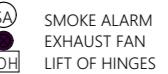
Minimum 60mm Foil Faced Blanket under roofing. Ceiling R6.0 Batts

Exterior walls R1.3 Batts (excluding Garage). Wall wrap to entire house

Interior walls R2.2 Batts (including Garage). R2.0 wall insulation to internal walls of Bathroom and Laundry

## GENERAL NOTES

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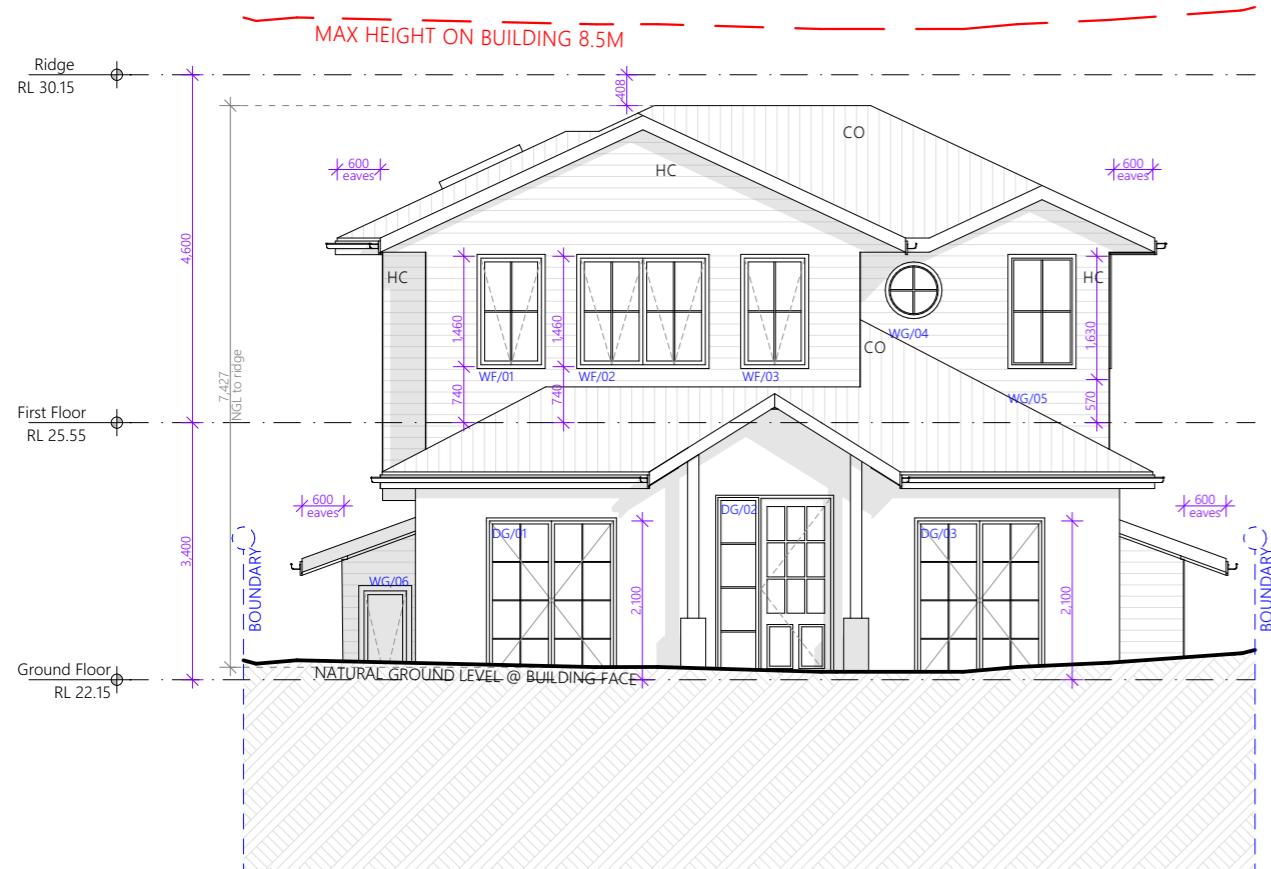
## AUSTRALIAN STANDARDS &amp; BCA

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- POOL FENCING / GATE TO COMPLY WITH AUSTRALIAN STANDARDS AS 1926.1-2012

## ADDITIONAL NOTES

- REFER SCHEDULE OF MATERIALS & COLOURS FOR FURTHER DETAIL.
- EXPANSION JOINTS TO BE PROVIDED AS PER BCA / AUSTRALIAN STANDARDS.



ELEVATION 01  
1:100

01

CONSTRUCTION CERTIFICATE



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P +02 4577 6758 | E info@timberworx.com.au | W timberworx.com.au

General Notes  
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client  
AARON & DANNI TURNER  
project  
PROPOSED ALTERATIONS & ADDITIONS to  
EXISTING DWELLING  
site address  
27 PRINCE EDWARD STREET, GLADESVILLE, NSW 2111

C03 16/12/2024 AMENDMENTS  
C02 09/12/2024 AMENDMENTS  
C01 25/07/2024 CONSTRUCTION ISSUE  
rev date revision notes  
KS KS KS by

0 1 2 3 metres 4  
stage drawn checked scale @ A3  
CC KS KS 1:100

drawing  
ELEVATIONS 01  
lot no. | D.P. no. | dwelling type  
Lot 13 | D.P. 13260

Project Number: J2111  
drawing # 00.15  
revision C03

## LEGEND

CB	COLOURBOND
TR	TILED ROOF
FB	FACEBRICK
VC	VERTICAL CLADDING
DW	DECO WOOD
RB	RENDERED BRICK
MC	MATRIX CLADDING
SK	SKYLIGHT
DP	DOWNPipe
NRG	NRG BOARD RENDER OVER
FS	FEATURE STONE CLADDING

NOTE:  
SELECTIONS FOR FLOORING & EXTERNAL COLOURS NOT  
YET FINALISED



## BASIX CERTIFICATE

## SITE &amp; ENGINEERING INFORMATION

Wind Classification: N2  
Site Classification: P  
Climate Zone: 1

## BUILDING INFORMATION

Frames and Trusses: Timber  
Roof Pitch: 20° & 25°  
Electricity Supply: 3-Phase  
Gas Supply: N/A  
Roof Material: Colorbond  
Roof Colour: Dark  
Wall Material: Cladding  
Wall Colour: Light  
Showerheads: 3 Star  
Taps: 3 Star  
Rainwater: N/A  
Swimming Pool: N/A

## INSULATION

Insulation to be installed in accordance with N.C.C and relevant Australian Standards

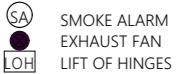
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Exterior walls R1.3 Batts (excluding Garage). Wall wrap to entire house

Interior walls R2.2 Batts (including Garage). R2.0 wall insulation to internal walls of Bathroom and Laundry

## GENERAL NOTES

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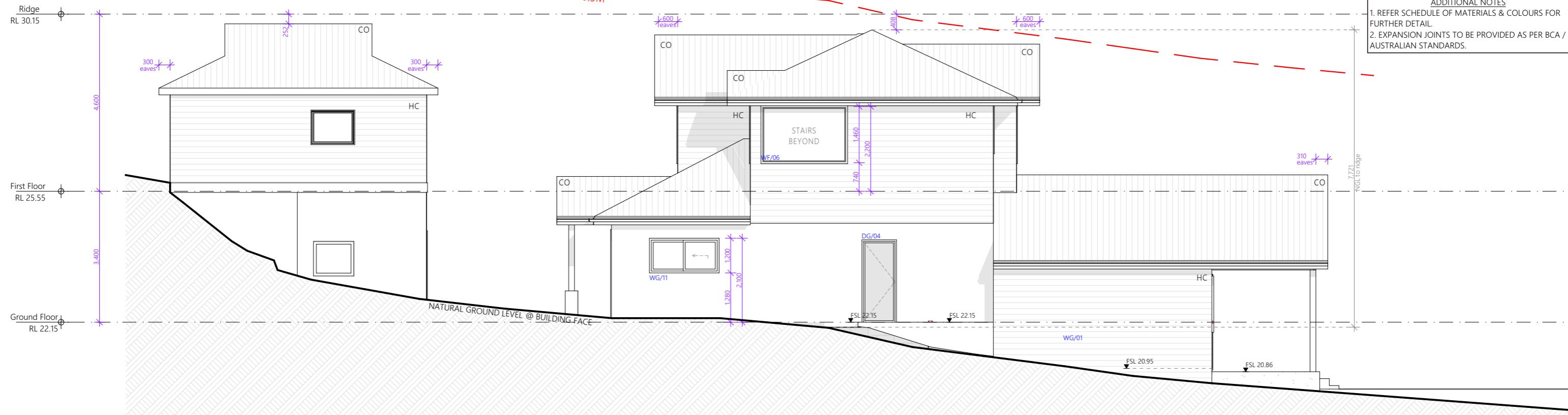
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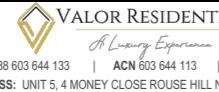
- POOL FENCING / GATE TO COMPLY WITH AUSTRALIAN STANDARDS AS 1926.1-2012

## ADDITIONAL NOTES

- REFER SCHEDULE OF MATERIALS & COLOURS FOR FURTHER DETAIL.
- EXPANSION JOINTS TO BE PROVIDED AS PER BCA / AUSTRALIAN STANDARDS.



ELEVATION 02  
1:100



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client  
AARON & DANNI TURNER  
project  
PROPOSED ALTERATIONS & ADDITIONS to  
EXISTING DWELLING  
site address  
27 PRINCE EDWARD STREET, GLADESVILLE, NSW 2111

C03 16/12/2024 AMENDMENTS  
C02 09/12/2024 AMENDMENTS  
C01 25/07/2024 CONSTRUCTION ISSUE  
rev date revision notes  
KS KS by

0 1 2 3 metres 4  
stage drawn checked scale @ A3  
CC KS KS 1:100

drawing  
ELEVATIONS 02  
lot no. | D.P. no. | dwelling type  
Lot 13 | D.P. 13260  
drawing # 00.16  
revision C03

CONSTRUCTION CERTIFICATE

Project Number:  
J2111

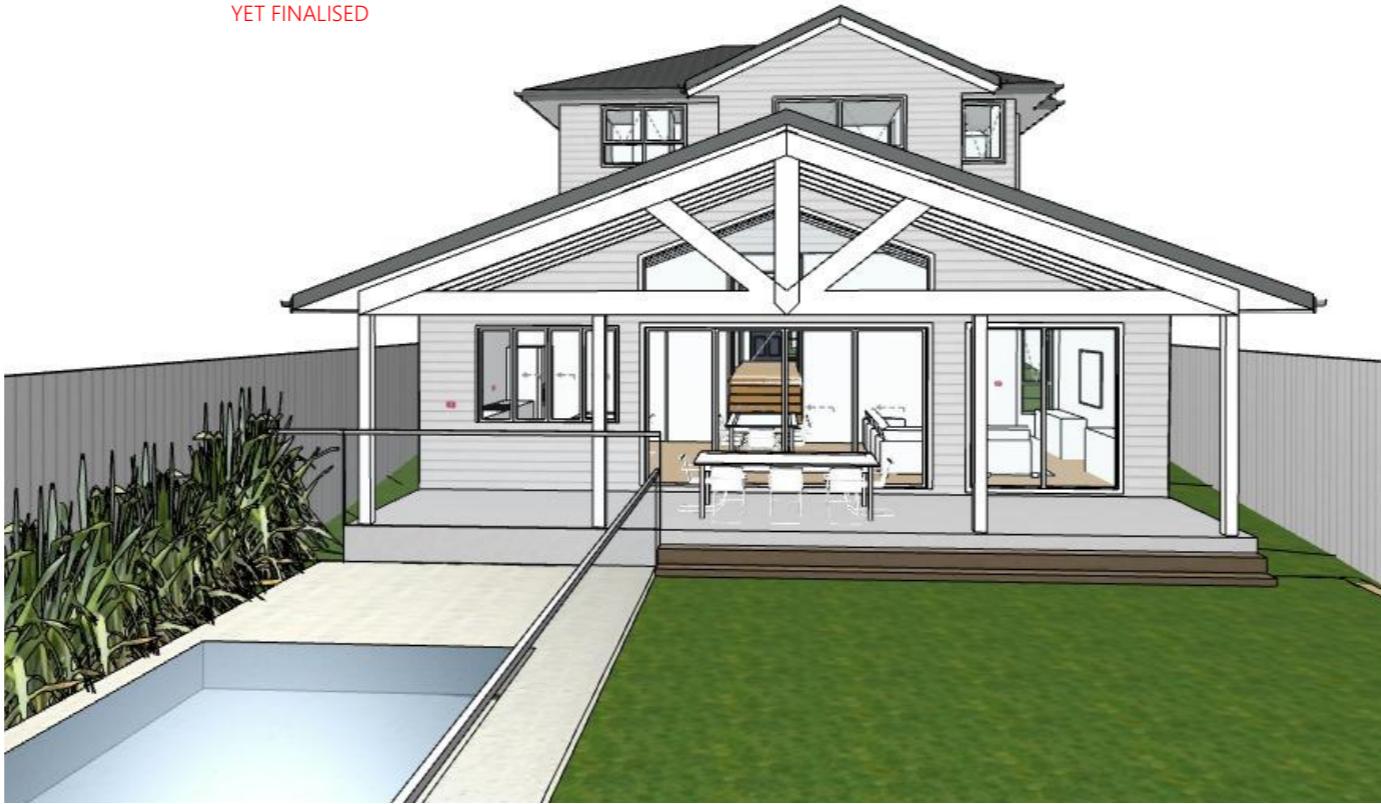
revision

C03

## LEGEND

CB	COLOURBOND
TR	TILED ROOF
FB	FACEBRICK
VC	VERTICAL CLADDING
DW	DECOWOOD
RB	RENDERED BRICK
MC	MATRIX CLADDING
SK	SKYLIGHT
DP	DOWNPipe
NRG	NRG BOARD RENDER OVER
FS	FEATURE STONE CLADDING

NOTE:  
SELECTIONS FOR FLOORING & EXTERNAL COLOURS NOT  
YET FINALISED



## BASIX CERTIFICATE

## SITE &amp; ENGINEERING INFORMATION

Wind Classification: N2  
Site Classification: P  
Climate Zone: 1

## BUILDING INFORMATION

Frames and Trusses: Timber  
Roof Pitch: 20° & 25°  
Electricity Supply: 3-Phase  
Gas Supply: N/A  
Roof Material: Colorbond  
Roof Colour: Dark  
Wall Material: Cladding  
Wall Colour: Light  
Showerheads: 3 Star  
Taps: 3 Star  
Rainwater: N/A  
Swimming Pool: N/A

## INSULATION

Insulation to be installed in accordance with N.C.C and relevant Australian Standards

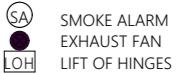
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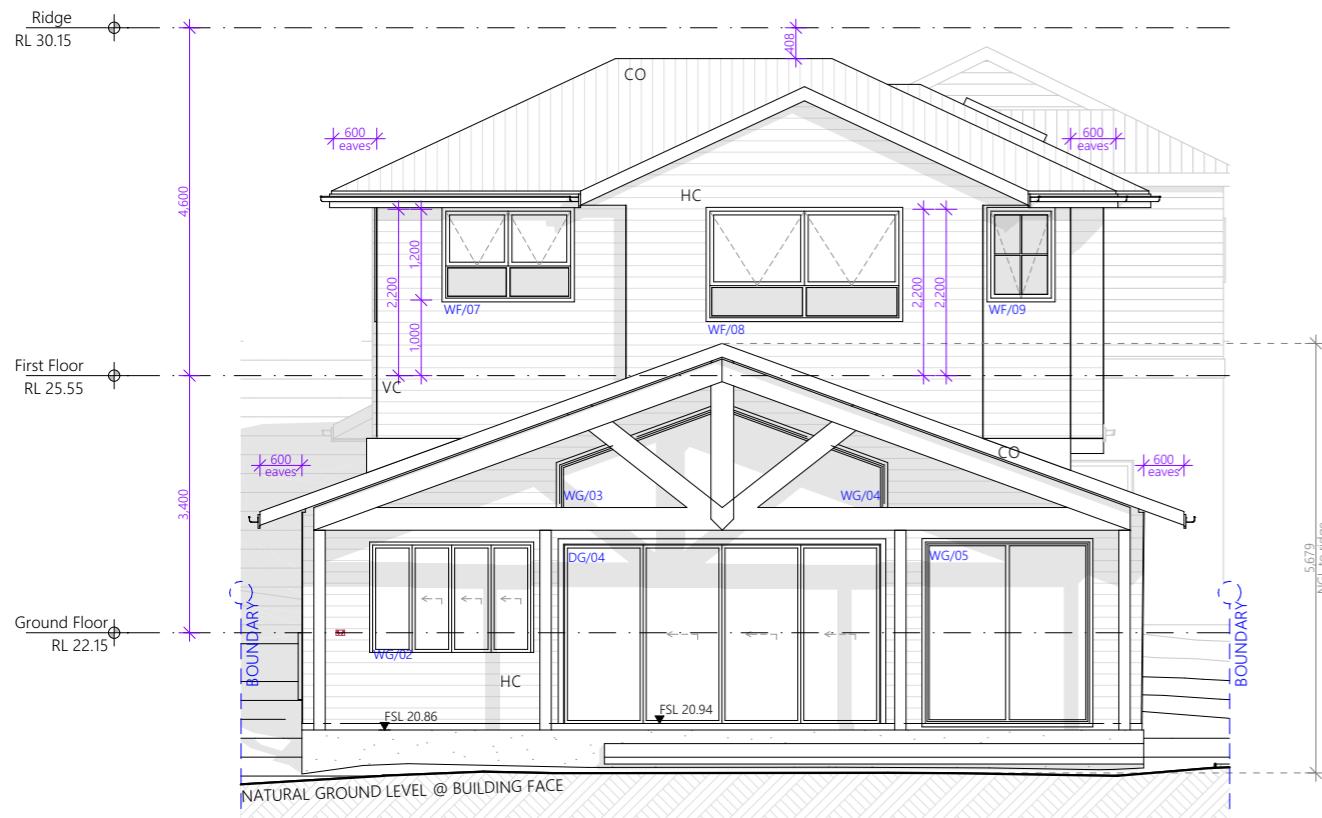
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1. POOL FENCING / GATE TO COMPLY WITH AUSTRALIAN STANDARDS AS 1926.1-2012

## ADDITIONAL NOTES

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- EXPANSION JOINTS TO BE PROVIDED AS PER BCA / AUSTRALIAN STANDARDS.



ELEVATION 03  
1:100



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General Notes  
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client  
AARON & DANNI TURNER  
project  
PROPOSED ALTERATIONS & ADDITIONS to  
EXISTING DWELLING  
site address  
27 PRINCE EDWARD STREET, GLADESVILLE, NSW 2111

C03 16/12/2024 AMENDMENTS  
C02 09/12/2024 AMENDMENTS  
C01 25/07/2024 CONSTRUCTION ISSUE  
rev date revision notes  
KS KS by

0 1 2 3 metres 4  
stage drawn checked scale @ A3  
CC KS KS 1:100

drawing  
ELEVATIONS 03

lot no. | D.P. no. | dwelling type  
Lot 13 | D.P. 13260

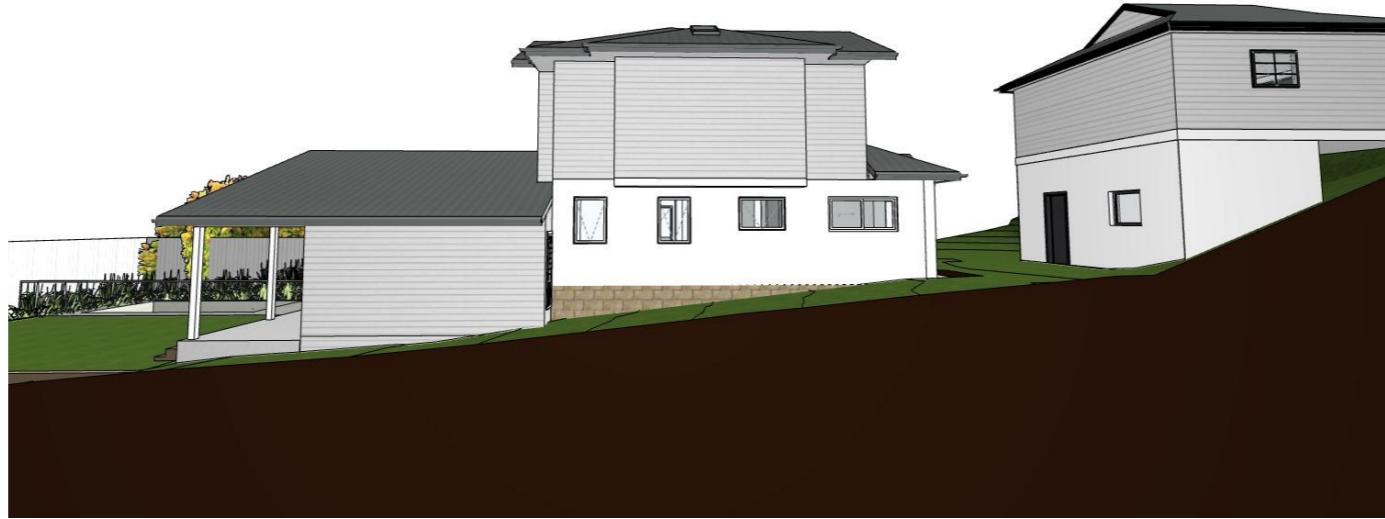
Project Number: J2111  
drawing # 00.17  
revision C03

CONSTRUCTION CERTIFICATE

## LEGEND

CB	COLOURBOND
TR	TILED ROOF
FB	FACEBRICK
VC	VERTICAL CLADDING
DW	DECO WOOD
RB	RENDERED BRICK
MC	MATRIX CLADDING
SK	SKYLIGHT
DP	DOWNPipe
NRG	NRG BOARD RENDER OVER
FS	FEATURE STONE CLADDING

NOTE:  
SELECTIONS FOR FLOORING & EXTERNAL COLOURS NOT  
YET FINALISED



## BASIX CERTIFICATE

## SITE &amp; ENGINEERING INFORMATION

Wind Classification: N2  
Site Classification: P  
Climate Zone: 1

## BUILDING INFORMATION

Frames and Trusses: Timber  
Roof Pitch: 20° & 25°  
Electricity Supply: 3-Phase  
Gas Supply: N/A  
Roof Material: Colorbond  
Roof Colour: Dark  
Wall Material: Cladding  
Wall Colour: Light  
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Taps: 3 Star  
Rainwater: N/A  
Swimming Pool: N/A

## INSULATION

Insulation to be installed in accordance with N.C.C and relevant Australian Standards

Minimum 60mm Foil Faced Blanket under roofing. Ceiling R6.0 Batts

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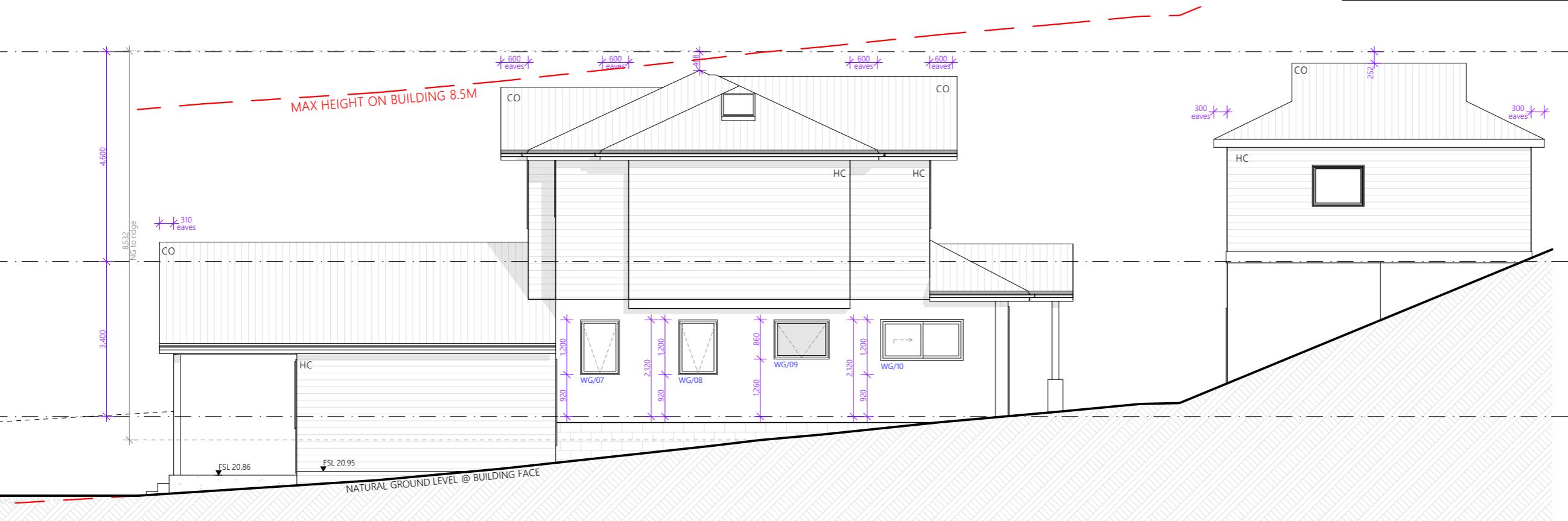
(SA) SMOKE ALARM  
(EX) EXHAUST FAN  
(LOH) LIFT OF HINGES

## AUSTRALIAN STANDARDS &amp; BCA

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## ADDITIONAL NOTES

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ELEVATION 04  
1:100

04

CONSTRUCTION CERTIFICATE

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Master  
Builders  
Association  
New South Wales

General Notes  
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client  
AARON & DANNI TURNER  
project  
PROPOSED ALTERATIONS & ADDITIONS to  
EXISTING DWELLING  
site address  
27 PRINCE EDWARD STREET, GLADESVILLE, NSW 2111

C03 16/12/2024 AMENDMENTS  
C02 09/12/2024 AMENDMENTS  
C01 25/07/2024 CONSTRUCTION ISSUE  
rev date  
KS  
KS  
KS  
by

0 1 2 3 metres 4  
stage drawn checked scale @ A3  
CC KS KS 1:100

drawing  
ELEVATIONS 04

lot no. | D.P. no. | dwelling type  
Lot 13 | D.P. 13260

Project Number:

J2111

drawing #  
00.18

revision  
C03



## CONSTRUCTION CERTIFICATE



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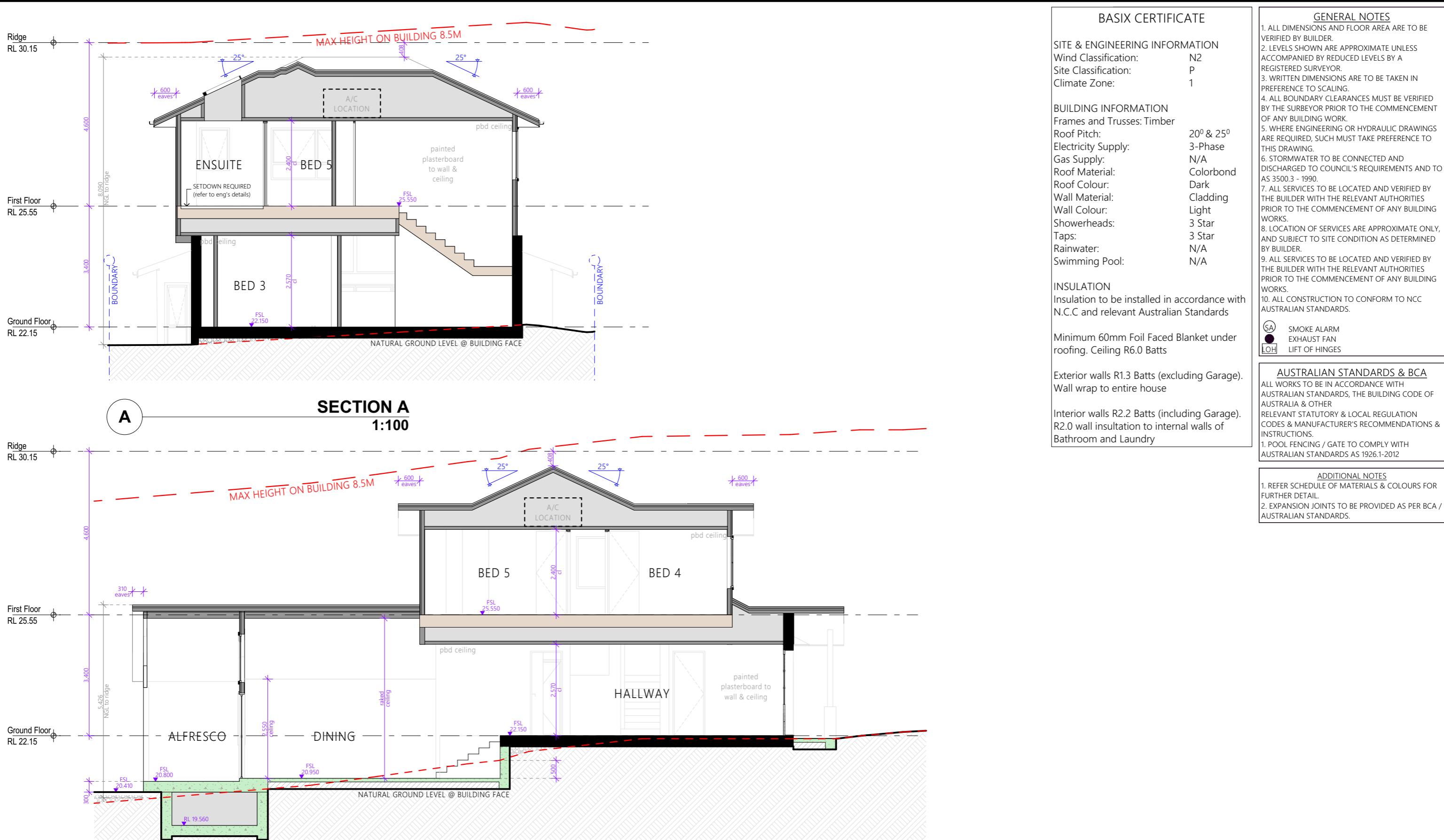
C03 16/12/2024 AMENDMENTS  
C02 09/12/2024 AMENDMENTS  
C01 25/07/2024 CONSTRUCTION ISSUE  
rev date revision notes  
KS KS by

0 1 2 3 metres 4  
stage drawn checked scale @ A3  
CC KS KS

drawing  
**3D PERSPECTIVE**

lot no. | D.P. no. | dwelling type  
Lot 13 | D.P. 13260

Project Number:  
J2111  
drawing #  
00.19  
revision  
C03



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rev date revision notes  
KS KS KS by

0 1 2 3 metres 4  
stage drawn checked scale @ A3  
CC KS KS 1:100

CONSTRUCTION CERTIFICATE

Project Number:  
J2111

drawing  
SECTIONS A & B

lot no. | D.P. no. | dwelling type  
Lot 13 | D.P. 13260  
drawing # 00.20  
revision C03

## EXTERNAL DOOR - GROUND

ID	STOREY	VIEW FROM OUTSIDE	(H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING	(W) FRAME WIDTH - REVEAL NOT INCLUDED
DG/01	Ground Floor		2,100	1,640
DG/02	Ground Floor		2,400	920
DG/03	Ground Floor		2,100	1,640
DG/04	Ground Floor		2,100	820
DG/05	Ground Floor		2,400	4,248

NOTE:  
LowE COMFORTPLUS GLAZING IF NOMINATED

NOTE:  
ALL NOMINATED SIZES ARE TO BRICK OPENINGS

ALL DOORS & WINDOWS TO BE VIEWED FROM OUTSIDE  
NOTE:  

- ALL WINDOW OPENINGS IN BEDROOMS WHERE THE LEVEL BELOW IS MORE THAN 2M TO BE RESTRICTED TO COMPLY WITH N.C.C cl 3.9.2.5
- CHECK ALL DIMENSIONS AND MEASURE BUILT OPENINGS ON SITE PRIOR TO MANUFACTURE.
- ALL CASEMENT WINDOWS TO BE FITTED WITH FRICTION STAYS.
- ALL SLIDING & AWNING FRAMED WINDOWS TO HAVE INSECT SCREENS SUPPLIED AND FITTED.
- ALL HANDLES AND LOCKS TO BE DELETED TO ALLOW FOR FUTURE SELECTION.
- FS DENOTES FIXED GLAZED SASH.
- ALL GLASS TO COMPLY WITH AS 1288. AS MINIMUM BUT FOR ALL NEW WINDOWS ALLOW AS MINIMUM, FOR 6.3MM LAMINATED GLASS FOR ACOUSTIC PURPOSES.
- ALL GLASS TO BE CLEAR GLASS UNLESS NOTED.
- ALL OBSCURE GLASS WILL BE NOTED.
- WINDOWS WITH COMFORT PLUS CLEAR GLASS LABELED.
- FOR ALL OTHER GLASS REQUIREMENTS, REFER TO THE BASIX CERTIFICATE.

## CONSTRUCTION CERTIFICATE



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CC KS KS

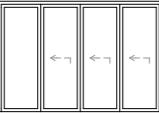
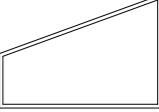
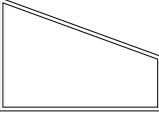
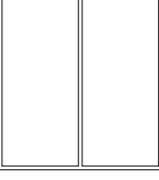
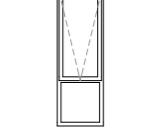
drawing  
EXTERNAL DOOR SCHEDULE

Project Number:  
J2111

lot no. | D.P. no. | dwelling type  
Lot 13 | D.P. 13260

drawing #  
00.21  
revision  
C03

## WINDOWS - GROUND FLOOR

ID	STOREY	VIEW FROM OUTSIDE	(H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING	(W) FRAME WIDTH - REVEAL NOT INCLUDED
W/01 REMOVED				
WG/02	Ground Floor		1,460	2,170
WG/03	Ground Floor		1,500	2,146
WG/04	Ground Floor		1,500	2,146
WG/05	Ground Floor		2,400	2,170
WG/06	Ground Floor		1,800	610

## WINDOWS - GROUND FLOOR

ID	STOREY	VIEW FROM OUTSIDE	(H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING	(W) FRAME WIDTH - REVEAL NOT INCLUDED
WG/07	Ground Floor		1,200	850
WG/08	Ground Floor		1,200	850
WG/09	Ground Floor		860	1,210
WG/10	Ground Floor		900	1,810
WG/11	Ground Floor		900	1,810

NOTE:  
LowE COMFORTPLUS GLAZING IF NOMINATED

NOTE:  
ALL NOMINATED SIZES ARE TO BRICK OPENINGS

ALL DOORS & WINDOWS TO BE VIEWED FROM OUTSIDE  
NOTE:  

- ALL WINDOW OPENINGS IN BEDROOMS WHERE THE LEVEL BELOW IS MORE THAN 2M TO BE RESTRICTED TO COMPLY WITH N.C.C cl 3.9.2.5
- CHECK ALL DIMENSIONS AND MEASURE BUILT OPENINGS ON SITE PRIOR TO MANUFACTURE.
- ALL CASEMENT WINDOWS TO BE FITTED WITH FRICTION STAYS.
- ALL SLIDING & AWNING FRAMED WINDOWS TO HAVE INSECT SCREENS SUPPLIED AND FITTED.
- ALL HANDLES AND LOCKS TO BE DELETED TO ALLOW FOR FUTURE SELECTION.
- FS DENOTES FIXED GLAZED SASH.
- ALL GLASS TO COMPLY WITH AS 1288. AS MINIMUM BUT FOR ALL NEW WINDOWS ALLOW AS MINIMUM, FOR 6.3MM LAMINATED GLASS FOR ACOUSTIC PURPOSES.
- ALL GLASS TO BE CLEAR GLASS UNLESS NOTED.
- ALL OBSCURE GLASS WILL BE NOTED.
- WINDOWS WITH COMFORT PLUS CLEAR GLASS LABELED.
- FOR ALL OTHER GLASS REQUIREMENTS, REFER TO THE BASIX CERTIFICATE.

## CONSTRUCTION CERTIFICATE



VALOR RESIDENTIAL  
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ABN 88 603 644 133 | ACN 603 644 113 | LIC. 302796C |  
ADDRESS: UNIT 5, 4 MONEY CLOSE ROUSE HILL NSW 2756 AUSTRALIA  
P +02 4577 6758 | E info@timberworx.com.au | W timberworx.com.au

General Notes  
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New South Wales

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client  
AARON & DANNI TURNER  
project  
PROPOSED ALTERATIONS & ADDITIONS to  
EXISTING DWELLING  
site address  
27 PRINCE EDWARD STREET, GLADESVILLE, NSW 2111

C03  
C02  
C01  
rev  
16/12/2024  
09/12/2024  
25/07/2024  
date  
AMENDMENTS  
AMENDMENTS  
CONSTRUCTION ISSUE  
revision notes

KS  
KS  
KS  
KS  
by

0 1 2 3 metres 4  
stage drawn checked scale @ A3  
CC KS KS

drawing  
WINDOW SCHEDULE -  
GROUND FLOOR

lot no. | D.P. no. | dwelling type  
Lot 13 | D.P. 13260

Project Number:  
J2111

drawing #  
00.22  
revision  
C03

## WINDOWS - FIRST FLOOR

ID	STOREY	VIEW FROM OUTSIDE	(H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING	(W) FRAME WIDTH - REVEAL NOT INCLUDED
WF/01	First Floor		1,460	850
WF/02	First Floor		1,460	1,700
WF/03	First Floor		1,460	850
WF/03	First Floor		1,460	850
WF/04	First Floor		700	700
WF/06	First Floor		1,460	2,200

ID	STOREY	VIEW FROM OUTSIDE	(H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING	(W) FRAME WIDTH - REVEAL NOT INCLUDED
WF/07	First Floor		1,200	1,700
WF/08	First Floor		1,460	2,550
WF/09	First Floor		1,200	850

NOTE:  
PROTECTION OF OPENABLE WINDOWS ON FIRST FLOOR IN ACCORDANCE WITH BCA 3.9.2.6

NOTE:  
LowE COMFORTPLUS GLAZING IF NOMINATED

NOTE:  
ALL NOMINATED SIZES ARE TO BRICK OPENINGS

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NOTE:  

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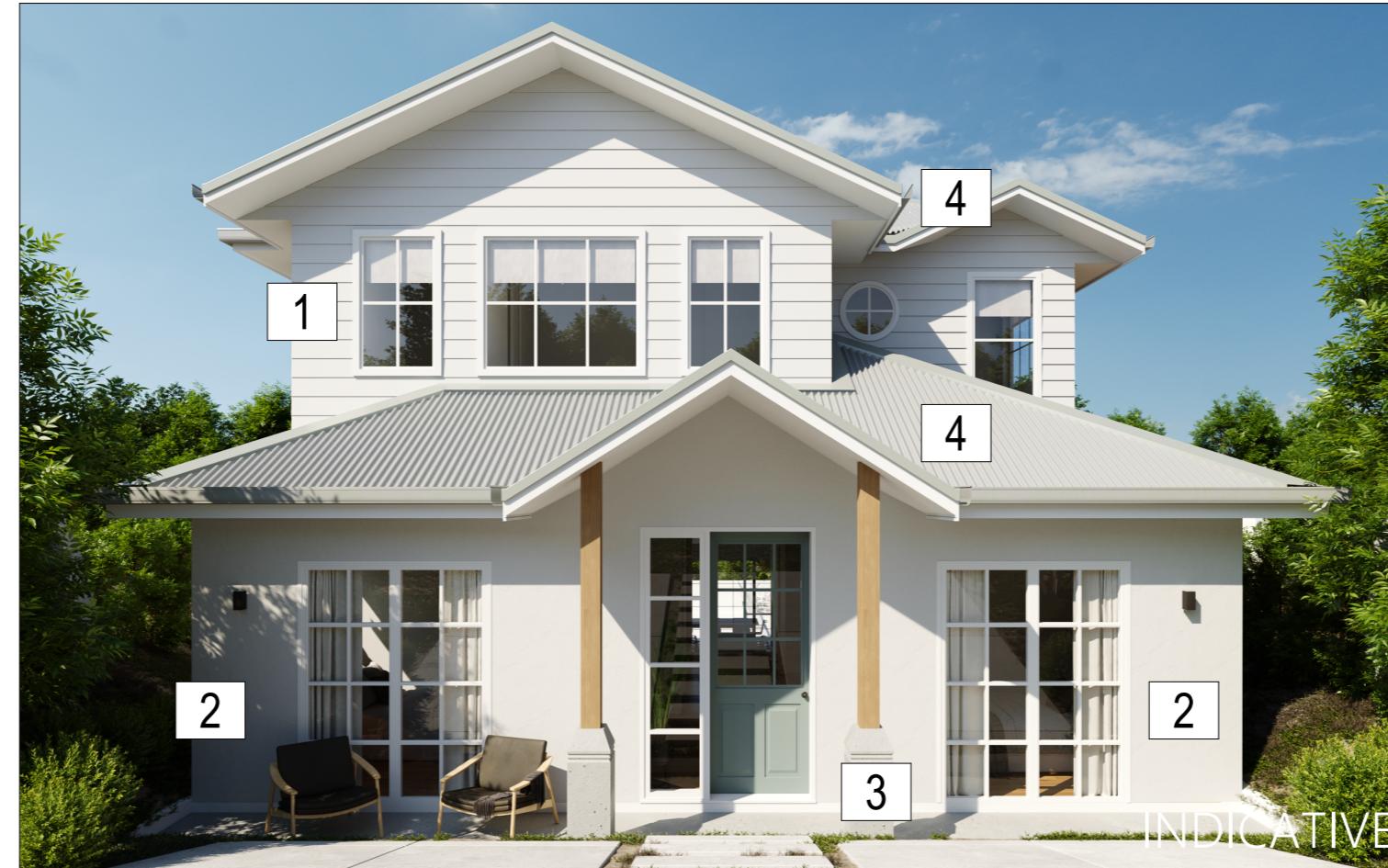
client  
AARON & DANNI TURNER  
project  
PROPOSED ALTERATIONS & ADDITIONS to  
EXISTING DWELLING  
site address  
27 PRINCE EDWARD STREET, GLADESVILLE, NSW 2111

C03  
C02  
C01  
rev  
16/12/2024  
09/12/2024  
25/07/2024  
date  
AMENDMENTS  
AMENDMENTS  
CONSTRUCTION ISSUE  
revision notes

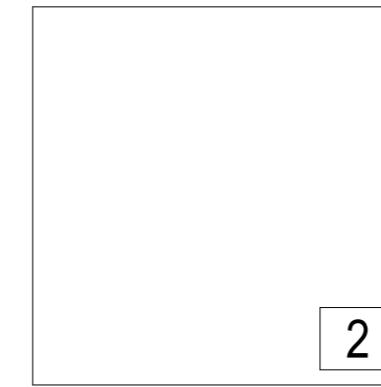
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scale @ A3  
CC  
KS  
KS

drawing  
WINDOW SCHEDULE - FIRST  
FLOOR

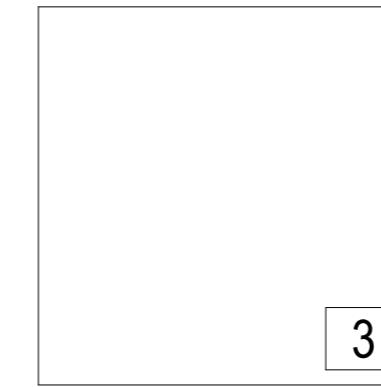
Project Number: J2111  
drawing # 00.23  
revision C03  
lot no. | D.P. no. | dwelling type  
Lot 13 | D.P. 13260



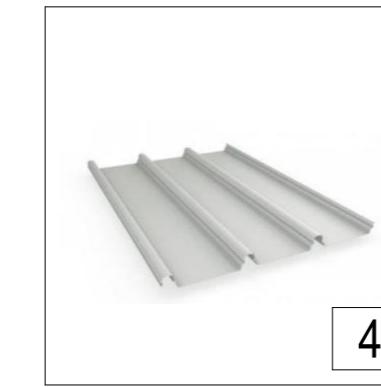
WEATHERBOARD  
CLADDING - White / Light  
Grey



CONCRETE RENDER - To  
Match Existing (White /  
Light Grey)



DULUX PAINT - White /  
Light Grey)



COLORBOND ROOF  
SHEETING - Light Grey

## CONSTRUCTION CERTIFICATE

# BASIX® Certificate

Building Sustainability Index www.basix.nsw.gov.au

## Alterations and Additions

Certificate number: A1730491

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Friday, 15 December 2023  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	VAL001
Street address	27 PRINCE EDWARD Street GLADESVILLE 2111
Local Government Area	Hunters Hill Municipal Council
Plan type and number	Deposited Plan DP13260
Lot number	13
Section number	C
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).
Number of bedrooms after alterations or additions	4
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	BH Homes Pty Ltd
ABN (if applicable):	64 137 428 767

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BASIX Certificate number: A1730491

page 2/9

BASIX Certificate number: A1730491

page 3/9

Fixtures and systems			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Hot water</b>					
The applicant must install the following hot water system in the development: electric storage plus photovoltaic system.			✓	✓	✓
The applicant must install a photovoltaic system with a capacity to generate at least 2.6 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.			✓	✓	✓
<b>Lighting</b>					
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.				✓	✓
<b>Fixtures</b>					
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.				✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.				✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.				✓	

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Glazing requirements		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Windows and glazed doors</b>				
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.				
	✓	✓	✓	
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toed-in air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFCR) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓	✓
For projections described in millimetres, the leading edge of each eave, veranda, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓	
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the overshadowing column in the table below.	✓	✓	✓	✓

BASIX Certificate number: A1730491

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BASIX Certificate number: A1730491

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Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Windows and glazed doors glazing requirements</b>								
Window/door number	Orientation	Area of glass including frame (m <sup>2</sup> )	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type		
DG01	NW	3.4	0	0	eave/ verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
DG02	NW	3.84	0	0	eave/ verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
DG03	NW	3.4	0	0	eave/ verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
WG01	SW	0.58	0	0	none	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
WG02	SW	1.59	0	0	none	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		

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Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Windows and glazed doors glazing requirements</b>								
The following table specifies the glazing requirements for windows and glazed doors. The table includes orientation, area of glass including frame, overshadowing height, overshadowing distance, shading device, and frame and glass type.								
Window/door number	Orientation	Area of glass including frame (m <sup>2</sup> )	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type		
WG08	NE	1	9	7	none	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
WG09	NE	1	0	0	eave/ verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
WG10	NE	1.04	0	0	eave/ verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
WF01	NW	1.24	0	0	eave/ verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
WF02	NW	3	0	0	eave/ verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		

BASIX Certificate number: A1730491

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Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Windows and glazed doors glazing requirements</b>								
Window/door number	Orientation	Area of glass including frame (m <sup>2</sup> )	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type		
WF03	NW	1.24	0	0	eave/ verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
WF04	NW	0.4	0	0	eave/ verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
WF05	NW	1.39	0	0	eave/ verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
WF06	SW	3.18	0	0	eave/ verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
WF07	NW	4.11	0	0	eave/ verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
WF08	NW	4.11	0	0	eave/ verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		

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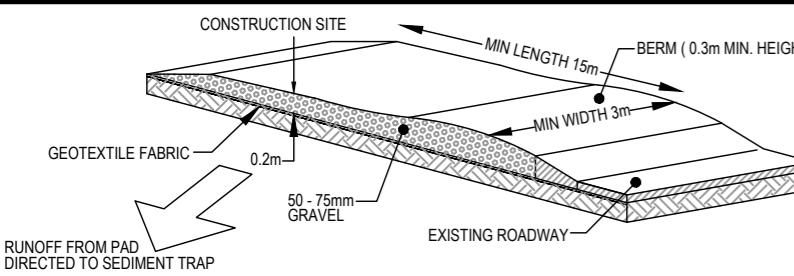
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BASIX Certificate number: A1730491

page 8/9

Legend					
In these commitments, "applicant" means the person carrying out the development.					
Commitments identified with a <b>✓</b> in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).					
Commitments identified with a <b>✓</b> in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.					

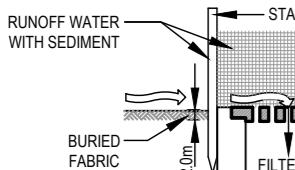


## STABILIZED SITE ACCESS

NTS

**CONSTRUCTION NOTES:**

1. STRIP THE TOPSOIL, LEVEL THE SITE AND COMPACT THE SUBGRADE
2. COVER THE AREA WITH NEEDLE-PUNCHED GEOTEXTILE
3. CONSTRUCT A 200mm THICK PAD OVER THE GEOTEXTILE USING ROAD BASED OR 30mm AGGREGATE
4. ENSURE THE STRUCTURE IS AT LEAST 15m LONG OR TO BUILD ALIGNMENT AND AT LEAST 3 METRES WIDE.
5. WHERE A SEDIMENT FENCE JOINS ONTO THE STABILIZED ACCESS, CONSTRUCT A HUMP IN THE STABILIZED ACCESS TO DIVERT WATER TO THE SEDIMENT FENCE.

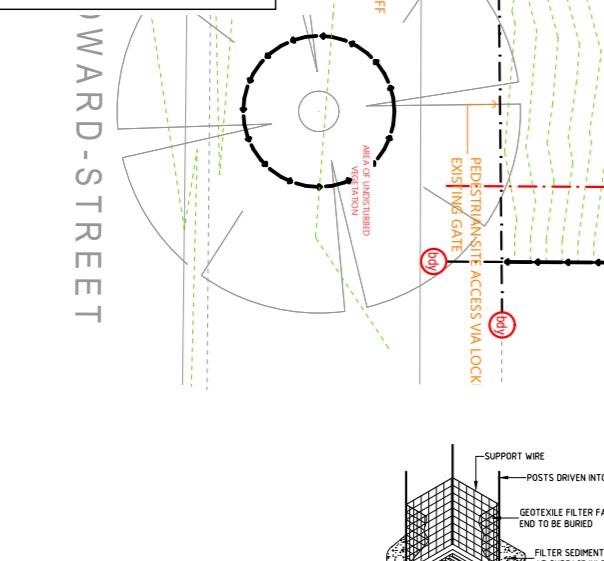


## SEDIMENT BARRIER AROUND PIT

NTS

**CONSTRUCTION NOTES:**

1. FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE OR STRAW BALES.
2. FOLLOW STRAW FILTER AND SEDIMENT FENCE FOR INSTALLATION PROCEDURES FOR THE STRAW BALES OR GEOFABRIC. REDUCE THE PICKET SPACING TO 1 METRE CENTRES.
3. IN WATERWAYS, ARTIFICIAL SAG POINTS CAN BE CREATED WITH SANDBAGS OR EARTH BANKS AS SHOWN IN THE DRAWING.
4. DO NOT COVER THE INLET WITH GEOTEXTILE UNLESS THE DESIGN IS ADEQUATE TO ALLOW FOR ALL WATERS TO BYPASS IT.



TYPICAL SEDIMENT TRAP  
AT SURFACE INLET PIT

NOTES:  
THE USE OF FILTER ROLLS AROUND DRAINAGE STRUCTURES WITHIN THE PUBLIC ROAD MUST INCLUDE THE USE OF BARRIERS AS INDICATED IN COUNCIL'S ENVIRONMENTAL SITE MANAGEMENT D.C.P.

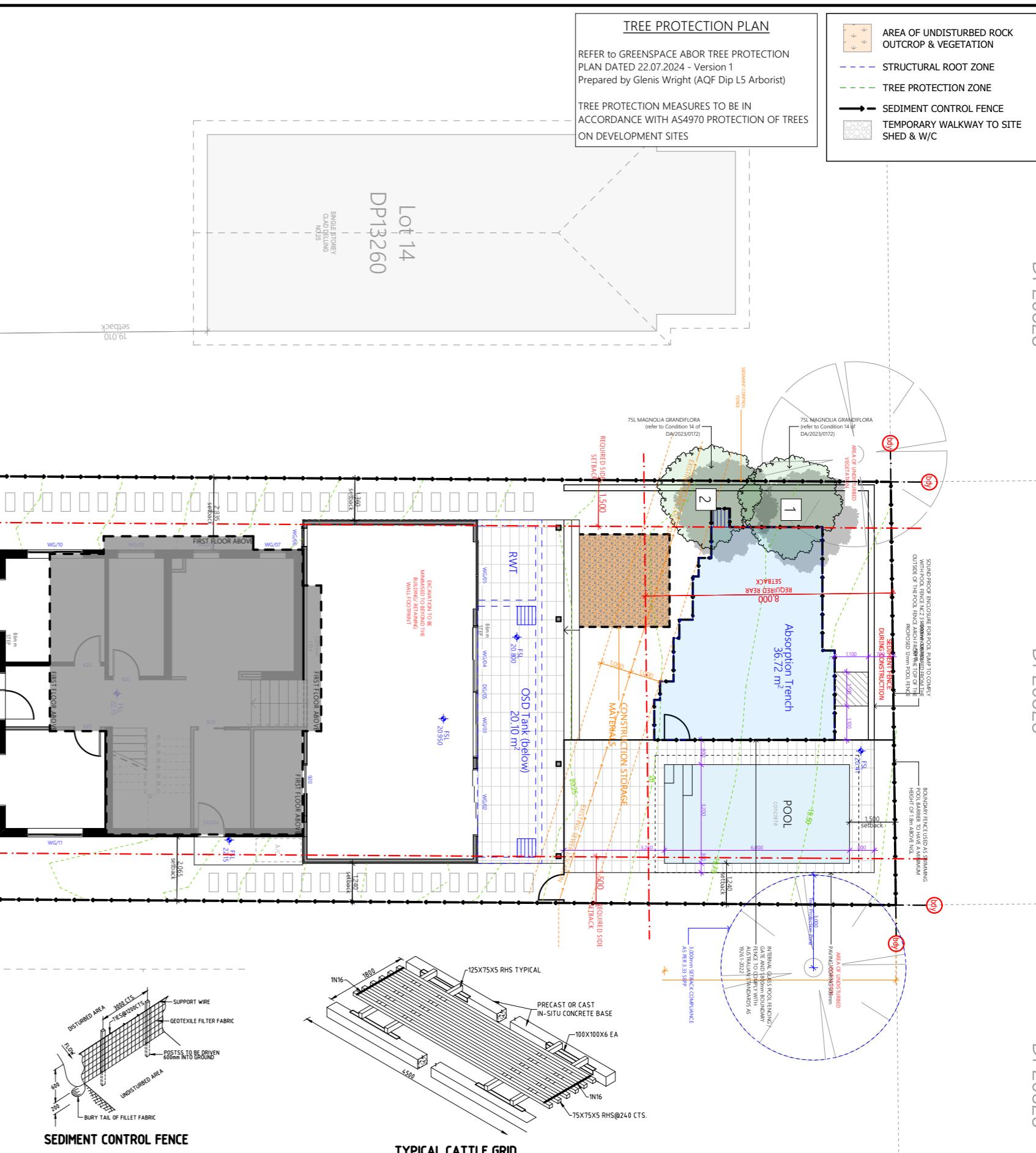


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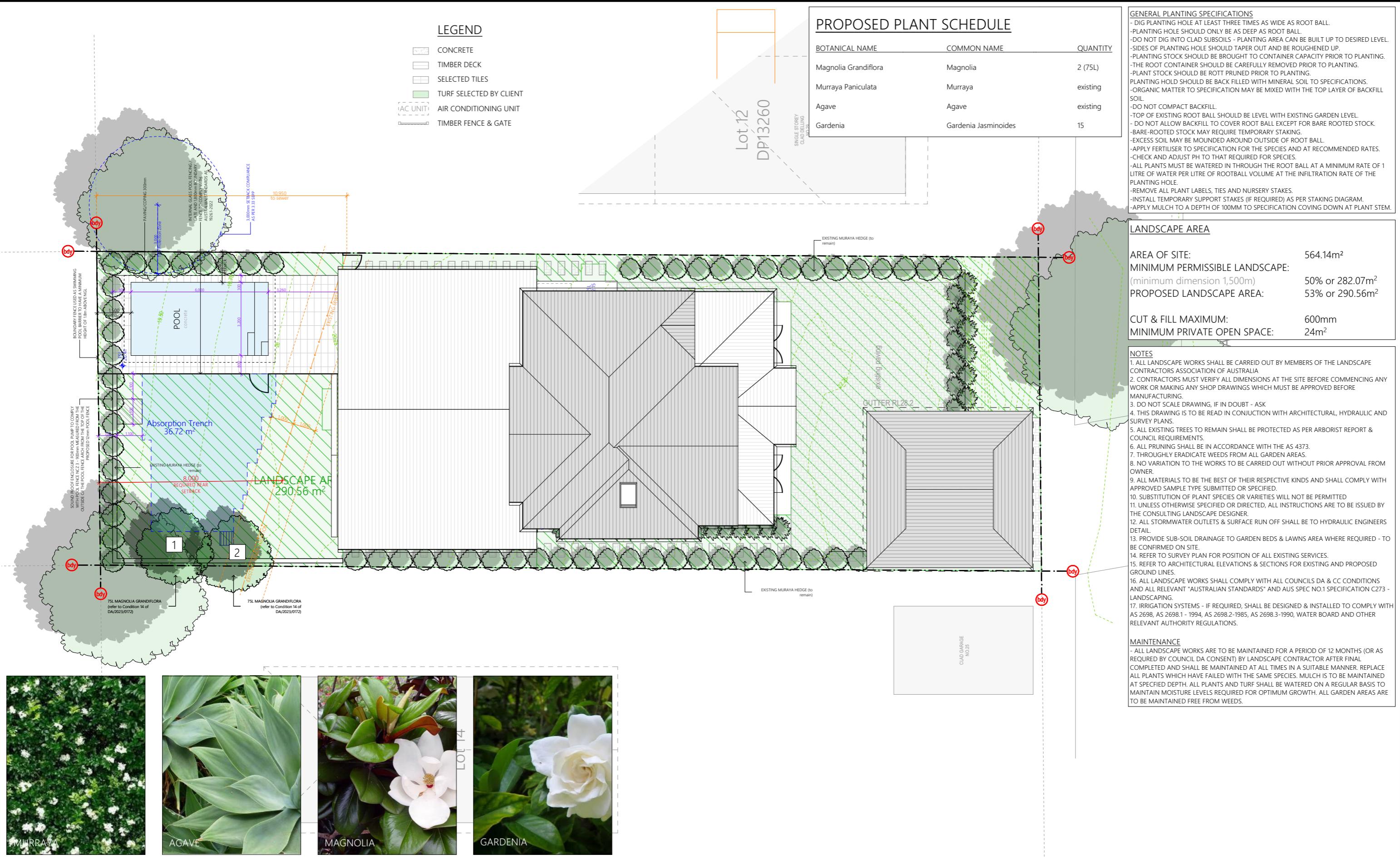
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## CONSTRUCTION CERTIFICATE

Project Number:  
J2111

VALOR RESIDENTIAL	Master Builders Association New South Wales	client AARON & DANNI TURNER project PROPOSED ALTERATIONS & ADDITIONS to EXISTING DWELLING site address 27 PRINCE EDWARD STREET, GLADESVILLE, NSW 2111	C03 C02 C01 rev	16/12/2024 09/12/2024 25/07/2024	AMENDMENTS AMENDMENTS CONSTRUCTION ISSUE revision notes	KS KS KS by	0 1 2 3 metres 4	stage CC	drawn KS	checked KS	scale @ A3 1:150	drawing no. Lot 13	D.P. no. D.P. 13260	drawing type dwelling type shed & w/c
												drawing # 00.26	revision C03	



## CONSTRUCTION CERTIFICATE



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client  
AARON & DANNI TURNER  
project  
PROPOSED ALTERATIONS & ADDITIONS to  
EXISTING DWELLING  
site address  
27 PRINCE EDWARD STREET, GLADESVILLE, NSW 2111

C03  
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AMENDMENTS  
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drawing  
LANDSCAPE CONCEPT PLAN

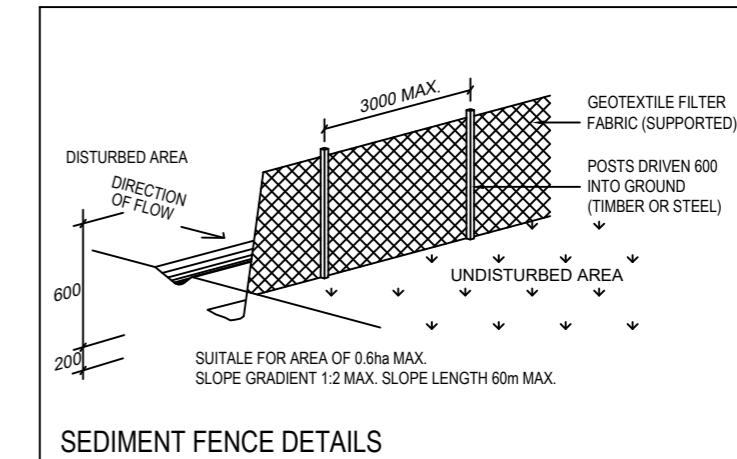
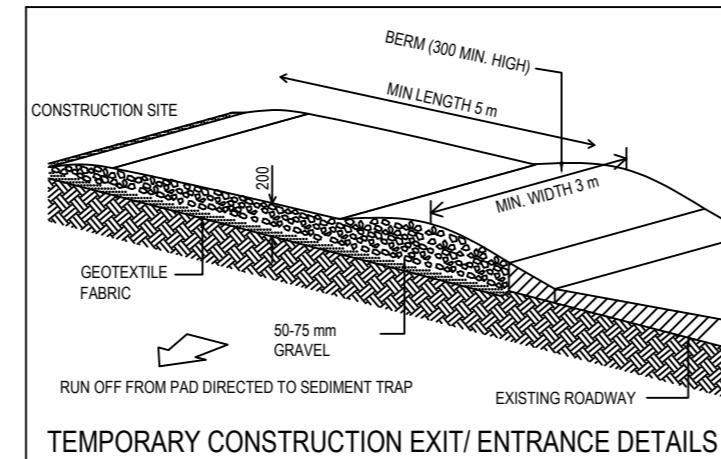
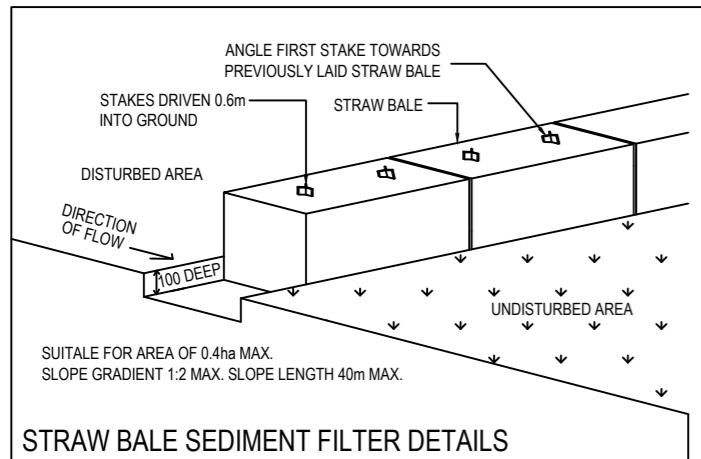
Project Number:  
J2111

lot no. | D.P. no. | dwelling type  
Lot 13 | D.P. 13260

drawing #  
00.27  
revision  
C03

## NOTES

1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER
2. MINIMISE DISTURBED AREA
3. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATH
4. DRAINAGE IS TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE
5. ROADS AND FOOTPATH TO BE SWEEP DAILY
6. KERB SIDE INLET TO BE PROTECTED WITH FABRIC FILLED WITH GRAVEL
7. NON-COMPLIANCE MAY INCUR PENALTY



## CONSTRUCTION CERTIFICATE



ABN 88 603 644 133 | ACN 603 644 113 | LIC. 302796C |  
ADDRESS: UNIT 5, 4 MONEY CLOSE ROUSE HILL NSW 2756 AUSTRALIA  
P +02 4577 6758 | E info@timberworx.com.au | W timberworx.com.au

General Notes  
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the building designer. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey.



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client  
AARON & DANNI TURNER  
project  
PROPOSED ALTERATIONS & ADDITIONS to  
EXISTING DWELLING  
site address  
27 PRINCE EDWARD STREET, GLADESVILLE, NSW 2111

C03 16/12/2024 AMENDMENTS  
C02 09/12/2024 AMENDMENTS  
C01 25/07/2024 CONSTRUCTION ISSUE  
rev date revision notes  
KS KS by  
stage drawn checked scale @ A3

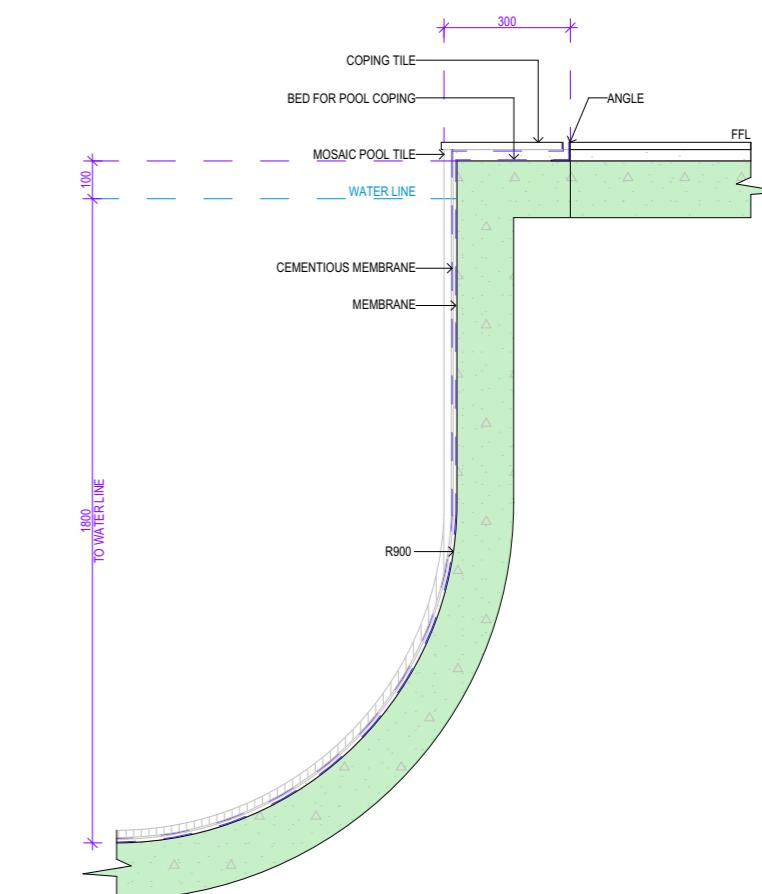
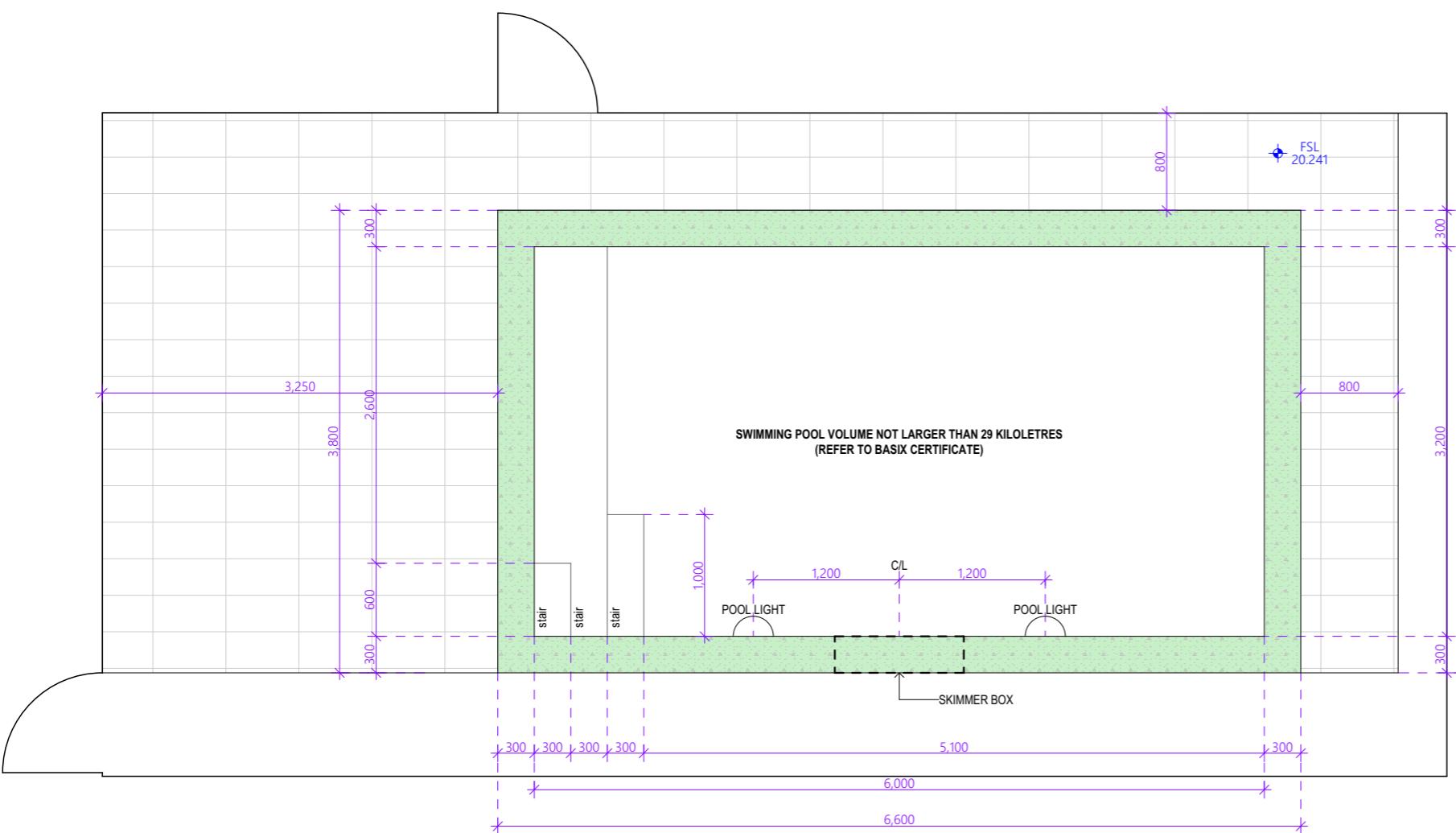
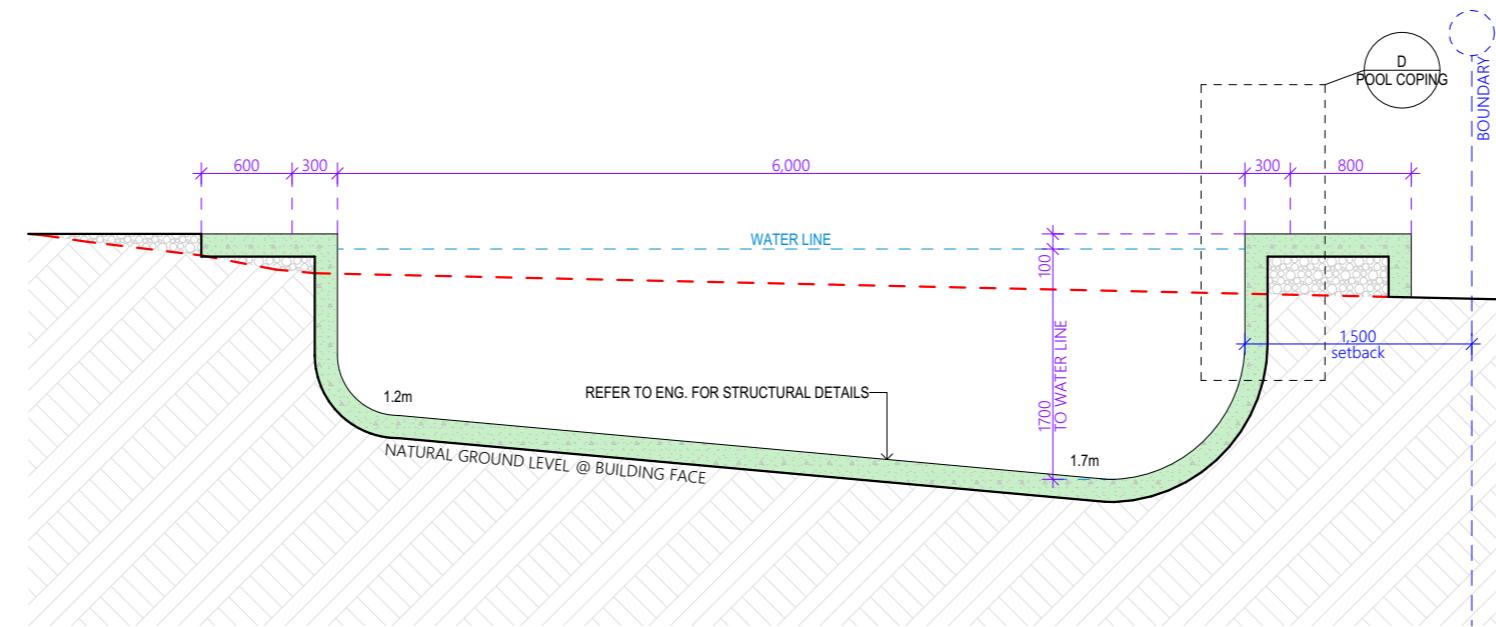
0 1 2 3 metres 4  
stage drawn checked scale @ A3  
CC KS KS

drawing  
**SEDIMENT CONTROL PLAN**

Project Number:  
J2111

lot no. | D.P. no. | dwelling type  
Lot 13 | D.P. 13260

drawing #  
00.28  
revision  
C03



## CONSTRUCTION CERTIFICATE