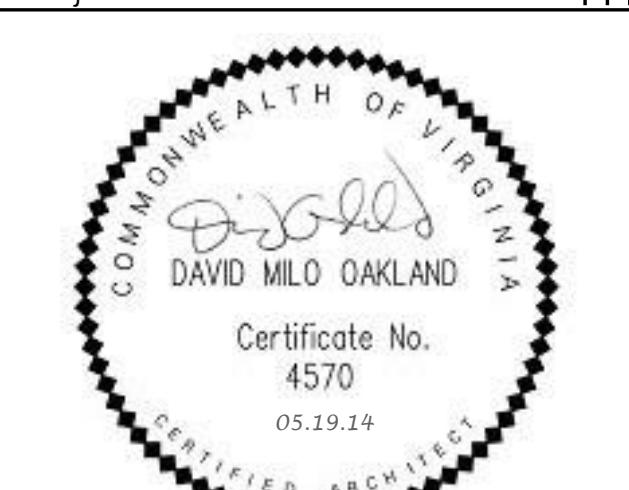




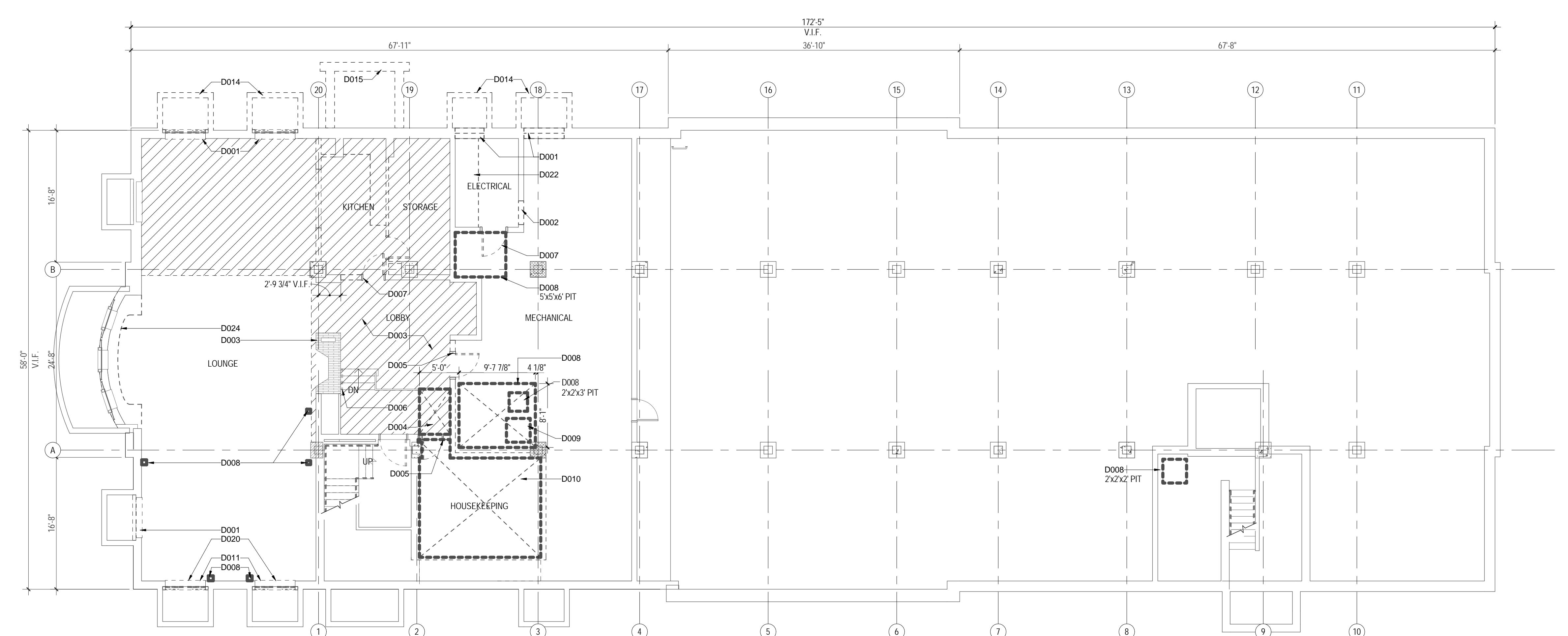
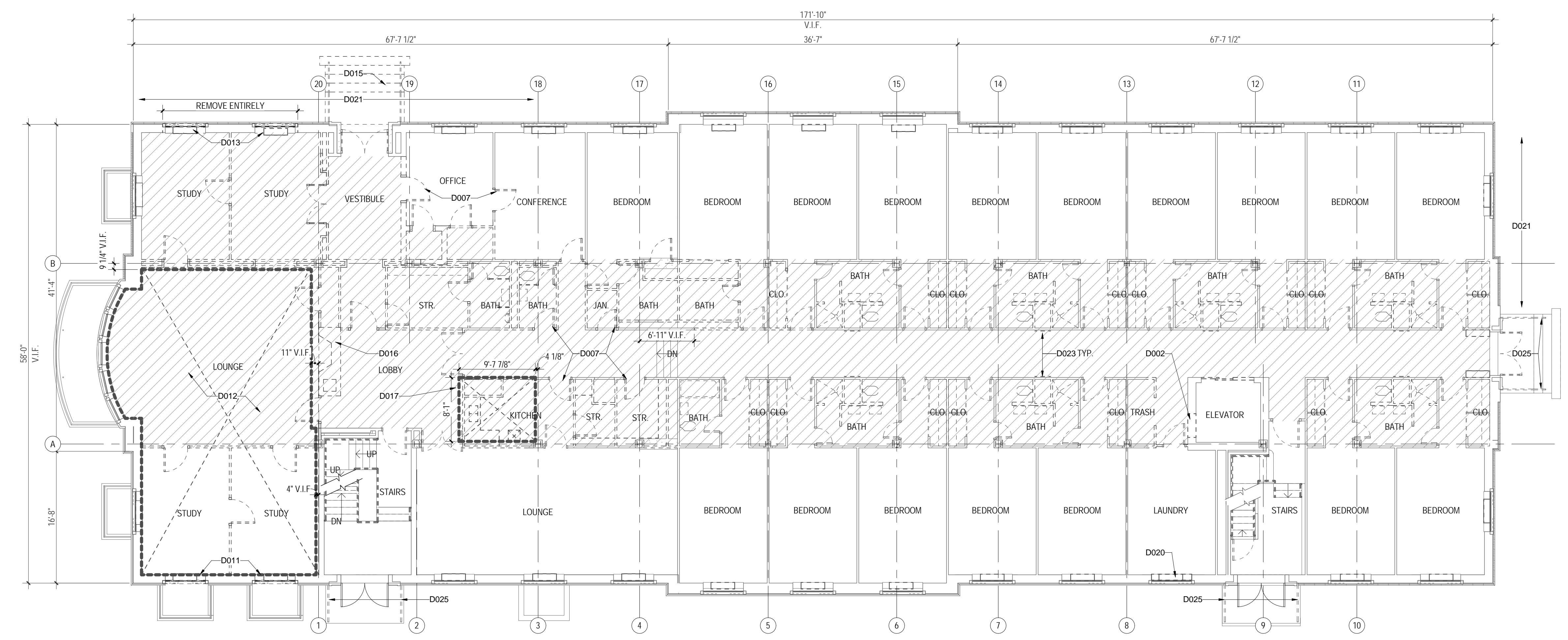
RENOVATION OF THREE RESIDENCE HALLS POCAHONTAS, BOLLING, & DRAPER HALLS

RADFORD UNIVERSITY
RADFORD, VIRGINIA

Project Code
VMDO Project Number
217-17565-000
1115



Checked By
Drawn By
MLW / ARS
DEM / MBW



Note: Asbestos containing materials shall not be used on the project.

Asbestos Disclosure Statement
An asbestos inspection was performed and ACM is suspected as noted in the specifications. An asbestos contractor is engaged as an appraiser to the project specifications. Asbestos containing material is removed by licensed asbestos contractor shall have the ACM removed by a licensed asbestos contractor using approved procedures as specified. The ACM that is to remain and the non asbestos containing material is to be left in place. The asbestos removal contractor shall mark up the record drawings calling for areas to include areas where asbestos was abated, areas where asbestos was encapsulated and areas where ACM exist but were left in place. The General Contractor shall review and certify the locations where ACM was abated, areas where ACM was encapsulated and areas where ACM exist but were left in place as marked on the record drawings and will provide drawings to the Architect.

Lead Materials Disclosure
An inspection to identify lead containing or coated building components has been completed and can be found in the project specifications. This report is provided for the contractor's information and is not to be all inclusive. It is the contractor's responsibility to comply with all Virginia Occupational Safety and Health (VOSH) regulations as they pertain to employee exposures to lead. All lead and lead-coated building components shall be recycled to the extent possible.

DEMOLITION GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS. THESE DEMOLITION PLANS ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE DASHED LINES GENERALLY INDICATE THOSE BUILDING ELEMENTS WHICH MUST BE REMOVED TO COMPLETE THE WORK. CONTRACTOR SHALL REMOVE FINISHES AND COMPONENTS AS REQUIRED. COULD NOT BE REMOVED DURING DEMOLITION. REMOVAL IS SPECIFICALLY MENTIONED HEREIN. REFER TO ARCHITECTURAL, SITE, STRUCTURE, FIRE PROTECTION, SPRINKLER, PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS AND TO THE PROJECT MANUAL FOR A COMPLETE DESCRIPTION OF THE WORK.
- EXTENT OF EXISTING CEILING TO BE REMOVED IS SHOWN ON PLANS. EXISTING CEILINGS ARE TO BE LEFT IN PLACE IF RATED ASSEMBLY, PATCH OR REPAIR HOLES AND DAMAGED AREAS TO MAINTAIN FIRE RATING. SEE FIRE PROTECTION DRAWINGS FOR FURTHER INFORMATION.
- PROTECT EXISTING ITEMS, MATERIALS, AND / OR FINISHES THAT ARE TO REMAIN FROM DAMAGE.
- NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE FROM THAT SHOWN PRIOR TO EXECUTE WORK.
- ALL PARTITIONS SHOWN TO BE DEMOLISHED ARE ASSUMED TO BE CONCRETE MASONRY PARTITIONS WITH PLASTER FINISH. COMPLETELY REMOVE PARTITIONS SHOWN AS DEMOLISHED FROM FLOOR TO STRUCTURE ABOVE. U.N.O. EXISTING CONC. AND PLASTER AROUND COLUMNS SHALL REMAIN AND ARE PART OF THE FIRE RATING.
- REMOVE ALL EXISTING DOORS AND HARDWARE. SALVAGE ALL BATHROOM AND CLOSET DOORS FOR FUTURE REINSTALLATION. PREPARE ALL OTHER EXISTING FRAMES TO RECEIVE NEW DOORS AND HARDWARE. SALVAGED HARDWARE SHALL BE TURNED OVER TO OWNER.
- POTENTIAL EXISTING PENETRANTS HAVE BEEN ABANDONED AND REMOVED. REFER TO THE ROOF PLAN. MECHANICAL, PLUMBING AND STRUCTURAL PLANS.
- PATCH & REPAIR CONCRETE SLAB AND WALLS AS RECD TO RECEIVE NEW FINISH.
- REMOVE EXISTING CEILINGS WHERE INDICATED. REMOVE ALL ASSOCIATED FRAMING & SUSPENSION SYSTEMS INCLUDING WIRES & TIES. REMOVE ALL ABOVE CEILING EQUIPMENT, DEVICES & SUPPORT WIRES THAT ARE NO LONGER IN USE OR FUNCTIONAL.
- MANTAIN EXISTING CONCRETE AROUND COLUMNS AND BEAMS.
- REMOVE ALL WINDOW BLINDS THROUGHOUT.
- PREPARE OPENING IN EXTERIOR WALL TO BE FILLED WITH MATERIAL TO MATCH EXISTING. EXISTING CONCRETE UNIT HAS BEEN REMOVED.
- SCOPE OF DEMOLITION IN BATHROOMS GENERALLY INCLUDES REMOVING CERAMIC TILE FROM FLOORS AND WALLS, INCLUDING WATERPROOFING, DOWN TO THE EXISTING CONC. FLOOR. REMOVE RAISED CONC. SHOWER PAD, PATCH & PREPARE SLAB AND WALL TO RECEIVED NEW WATERPROOFING AND TILE. DEMOLISH PLASTER CEILING AND ALL ASSOCIATED SUPPORTS. COMPLETELY DEMOLISH ALL FIXTURES & ACCESSORIES, EXCEPT FOR PLUMBING CHASES. PREPARE FLOOR OPENING TO RECEIVE INFILL. SEE STRUCTURAL DWGS.
- SCOPE OF DEMOLITION IN BEDROOMS GENERALLY INCLUDES REMOVING ALL MIRRORS, VCT & BASE. PATCH WALL WHERE ITEMS HAVE BEEN REMOVED AS NECESSARY. PREPARE WALL SURFACE TO BE PRIMED/SURFACED. PREPARE FLOOR TO RECEIVE NEW FINISH.
- SCOPE OF DEMOLITION IN BEDROOM CLOSETS GENERALLY INCLUDE REMOVING ALL VCT & BASE, SHELF AND SLIDING DOORS. SALVAGE THE DOORS FOR FUTURE REINSTALLATION. U.N.O. SEE ADD. BID ITEM 1. DEMOLISH THE DOORS AND TRACKS IN POCAHONTAS. PATCH AND PREPARE THE FLOOR TO RECEIVE NEW FINISH. THE EXISTING CONC. FLOOR IS TO BE LEFT IN PLACE.
- SCOPE OF DEMOLITION IN STAIRS GENERALLY INCLUDES REMOVING ALL VCT FROM UPPER LANDINGS AND HANDRAILS AND GUARDRAILS THROUGHOUT. GRIND TOP OF STRINGER TO PREPARE TO RECEIVE NEW GUARDRAIL. NEVEL POSTS, STONE TREADS, CERAMIC TILE AND STONE LANDINGS SHALL REMAIN. BE PROTECTED AND THOROUGHLY CLEANED. PREPARE ALL REMAINING METAL COMPONENTS FOR PAINTING.
- SCOPE OF DEMOLITION IN CORRIDORS GENERALLY INCLUDES REMOVING ALL MISC. MIRRORS, TACKSTRIPS, TACKBOARDS, FIRE EXTINGUISHER CABINETS, ACCESS DOORS, CHURRL, CEILINGS, VCT AND BASE ENTIRELY. PATCH WALL WHERE ITEMS HAVE BEEN REMOVED AS NECESSARY. PREPARE WALL SURFACE TO BE PRIMED/SURFACED. PREPARE FLOOR TO RECEIVE NEW FINISH.
- SCOPE OF DEMOLITION IN KITCHENS GENERALLY INCLUDES REMOVE ALL EQUIPMENT (TYPICALLY REFRIGERATOR, MICROWAVE AND STOVE). DEMOLISH ALL CABINETRY, VCT AND BASE. PREPARE FLOOR TO RECEIVE NEW FINISH.
- SCOPE OF DEMOLITION IN BATHROOMS AND KITCHENS AND PANTRIES GENERALLY INCLUDE DEMOLISH CERAMIC TILE FLOOR & WALL, SHOT, FIXTURES & ACCESSORIES. PREPARE FLOOR TO RECEIVE NEW FINISH. PREPARE WALL SURFACE TO BE PATCHED WHERE ITEMS HAVE BEEN REMOVED.
- SCOPE OF DEMOLITION IN LOUNGES AND STUDIES GENERALLY INCLUDE DEMOLISH ALL MIRRORS, TACKSTRIPS, TACKBOARDS, FIRE EXTINGUISHER CABINETS, ACCESS DOORS, CHURRL, CEILINGS, VCT AND BASE ENTIRELY. PATCH WALL WHERE ITEMS HAVE BEEN REMOVED AS NECESSARY. PREPARE WALL SURFACE TO BE PRIMED/SURFACED. PREPARE FLOOR TO RECEIVE NEW FINISH.
- SCOPE OF DEMOLITION IN VESTIBULE GENERALLY INCLUDES REMOVING CERAMIC TILE FLOOR AND ALL EXISTING WAINSCOTTING, CHAIR RAILS, AND CROWN MOLDING. PREPARE WALL SURFACE FOR PATCHING AND NEW FINISH.
- SCOPE OF DEMOLITION IN EXISTING ELEVATOR INCLUDES COMPLETE DEMOLITION OF ELEVATOR SYSTEM INCLUDING BUT NOT LIMITED TO THE RAHS, JACK CAB, HALL STATIONS, DOORS, FRAMES, SILLS AND GIBSS INFILL PANEL ADJACENT TO DOORS. SALVAGE ELEVATOR CONTROLS FOR OWNER.
- SCOPE OF DEMOLITION IN STORAGE ROOMS GENERALLY INCLUDE REMOVING ALL SHELVES AND DOORS.
- TRENCHING OF BASEMENT SLAB IS REQUIRED IN ORDER TO INSTALL NEW MEP SYSTEMS. SEE MEP DRAWINGS.
- RADFORD UNIVERSITY TO REMOVE AND STORE ALL WIFI DEVICES FOR FUTURE RE-INSTALLATION.

KEYNOTES DEMOLITION

- DEMOLISH WINDOW OR LOUVER. REMOVE & SALVAGE STOOL. PREPARE OPENING FOR INFILL.
- CUT OPENING IN WALL TO RECEIVE NEW DOOR, WINDOW OR LOUVER. SEE DOOR/CODE. FOR DETAILS SEE STRUCT. FOR LINEAR MEASURE.
- ALL WALLS IN THIS AREA ARE EXPOSED BRICK. PROTECT WALLS, STONE BASE AND LANDING IN THIS ROOM AND AROUND TO FACE OF FIREPLACE. U.N.O. SAWCUT WHERE SHOWN ON PLANS. REMOVE ANY REMNANTS OF DEMOLITION OF ABUTTING WALLS. REMOVE STONE BASE FROM FACE OF STONE AND CLEAN THOROUGHLY.
- SAWCUT & REMOVE PORTION OF EXISTING LANDING AND GUARDRAIL AS SHOWN. LANDING IS GENERALLY CONSTRUCTED OF STONE ON CONCRETE SUPPORTED BY BRICK KNEE WALL. SALVAGE ALL STONE AND BRICK FOR FUTURE REUSE.
- SAWCUT & REMOVE PORTION OF BRICK WALL AND STONE BASE. SALVAGE FOR FUTURE REUSE.
- REMOVES WALL MOUNTED HANDRAIL. FILL HOLES IN EXISTING BRICK WALL.
- DEMOLISH EXIST. DOOR FRAME. ENLARGE OPENING WHERE REQUIRED FOR NEW WIDER DOOR AND FRAME. SEE PLAN FOR INFILL LOCATIONS.
- SAWCUT AND REMOVE CONC. SLAB FOR NEW EXCAVATE WHERE NECESSARY. SEE STRUCT. DWGS.
- SAWCUT AND REMOVE CONC. SLAB BETWEEN BASEMENT AND FIRST FLOOR WINDOWS. PREPARE OPENING TO RECEIVE NEW WINDOW.
- EXCAVATE DOWN TO EXIST. FLOOR. REMOVE PORTION OF EXIST. FLOOR. SEE STRUCT. DWGS.
- REMOVE RAISED FLOOR AND SUPPORTING MASONRY KNEE WALLS ENTIRELY.
- DEMOLISH WINDOW. REMOVE & SALVAGE STOOL. SAWCUT AND REMOVE PORTION OF WALL BETWEEN BASEMENT AND FIRST FLOOR WINDOWS. PREPARE OPENING TO RECEIVE NEW WINDOW.
- SAWCUT ALONG FACE OF CONC. BEAM AND REMOVE CAST-IN-PLACE CONCRETE JOISTS. IN THIS AREA REMOVE HIGH POINTS FROM FACE OF CONCRETE BEAM SO NOT TO INTERFERE WITH NEW FRAMING.
- SAWCUT AND REMOVE WALL FROM FAR JAMB TO FAR JAMB (SEE PLAN) AND FROM FIRST FLOOR WATERTABLE UP TO ABOVE HEAD OF WALL. REMOVE EXIST. STEEL CONDUIT AND EXIST. BRICKABLE WINDOW STOOLS AND BRICK ABOVE HEAD OF THIRD FLOOR WINDOW FOR FUTURE REINSTALLATION. TEMPORARILY SHORE EXISTING JOISTS AT ALL FLOOR LEVELS. PREPARE OPENING TO RECEIVE NEW STRUCTURAL LINTELS AND CURTAINWALL SYSTEM.
- DEMOLISH GUARDRAILS AND STEEL GRATING AT AREAWAY. REMOVE AS MUCH OF AREAWAY CONSTRUCTION AS NECESSARY TO COMPLETE THE NEW WORK. MAINTAIN THE AREAWAY DRAINS AND DOWNSPOUT CONNECTIONS IN WORKING ORDER.
- DEMOLISH BRICK AND CONC. STAIR COMPLETELY. REMOVE AS MUCH OF STAIR FOUNDATION AS NECESSARY TO COMPLETE THE NEW STAIR.
- DEMOLISH FIREPLACE AND CHIMNEY FROM FIRST FLOOR LEVEL TO ATTIC LEVEL. PREPARE OPENING FOR INFILL. SEE STRUCTURAL DWGS.
- SAWCUT AND REMOVE CAST-IN-PLACE CONCRETE JOISTS AS REQUIRED FOR CONSTRUCTION OF NEW ELEVATOR SHAFT.
- SAWCUT AND REMOVE CONCRETE SLAB. MODIFY AND REMOVE PORTION OF EXIST. CONCRETE SLAB UNDER STEEL CONDUIT REQUIRED FOR CONSTRUCTION OF NEW ELEVATOR SHAFT. SEE STRUCTURAL DWGS. TEMPORARILY SHORE AFFECTED JOISTS.
- SAWCUT AND REMOVE PORTIONS OF ROOF RAFTERS, SHEATHING AND SLATE ROOF AS REQUIRED FOR NEW ELEVATOR SHAFT. REMOVE AND SALVAGE SLATE SURROUNDING OPENING FOR FUTURE INSTALLATION.
- DEMOLISH EXIST. STONE BASE. REMOVE CONC. STOOL, PATCH AND PREPARE SURFACE FOR NEW SILL.
- REMOVE EXISTING SHRUBS AS REQUIRED FOR NEW WORK.
- REMOVE CONC. HOUSEKEEPING PAD. GRIND FLOOR TO BE LEVEL.
- DEMOLISH EXIST. ACCESS PANELS AT ALL PLUMBING CHASES. SAWCUT WALL BELOW TO CREATE OPENING TO RECEIVE NEW ACCESS PANEL.
- REMOVE EXIST. CONC. WALL COMPLETELY. PATCH WALL & PREPARE TO RECEIVE NEW FINISH.
- REMOVE HANDRAIL ASSEMBLY COMPLETELY. PREPARE EXISTING POST HOLES TO RECEIVE NEW POSTS.

ISSUES AND REVISIONS
NO. SUBMITTAL
5 BID DOCUMENTS
DATE
05.19.14

BASEMENT & FIRST FLOOR DEMOLITION PLAN

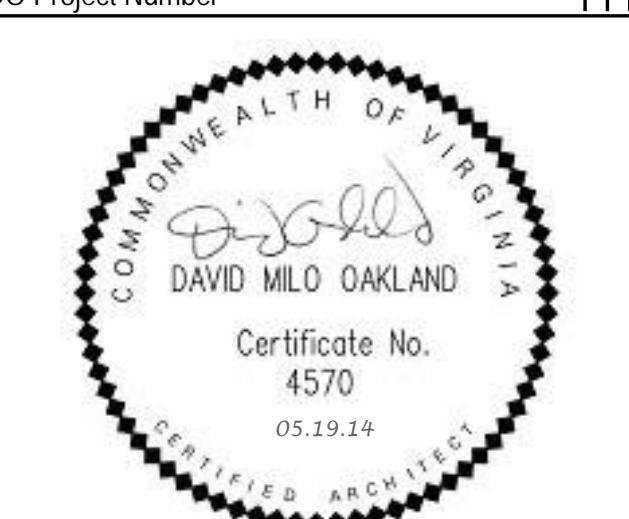
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RENOVATION OF THREE RESIDENCE HALLS POCAHONTAS, BOLLING, & DRAPER HALLS

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DEMOLITION GENERAL NOTES

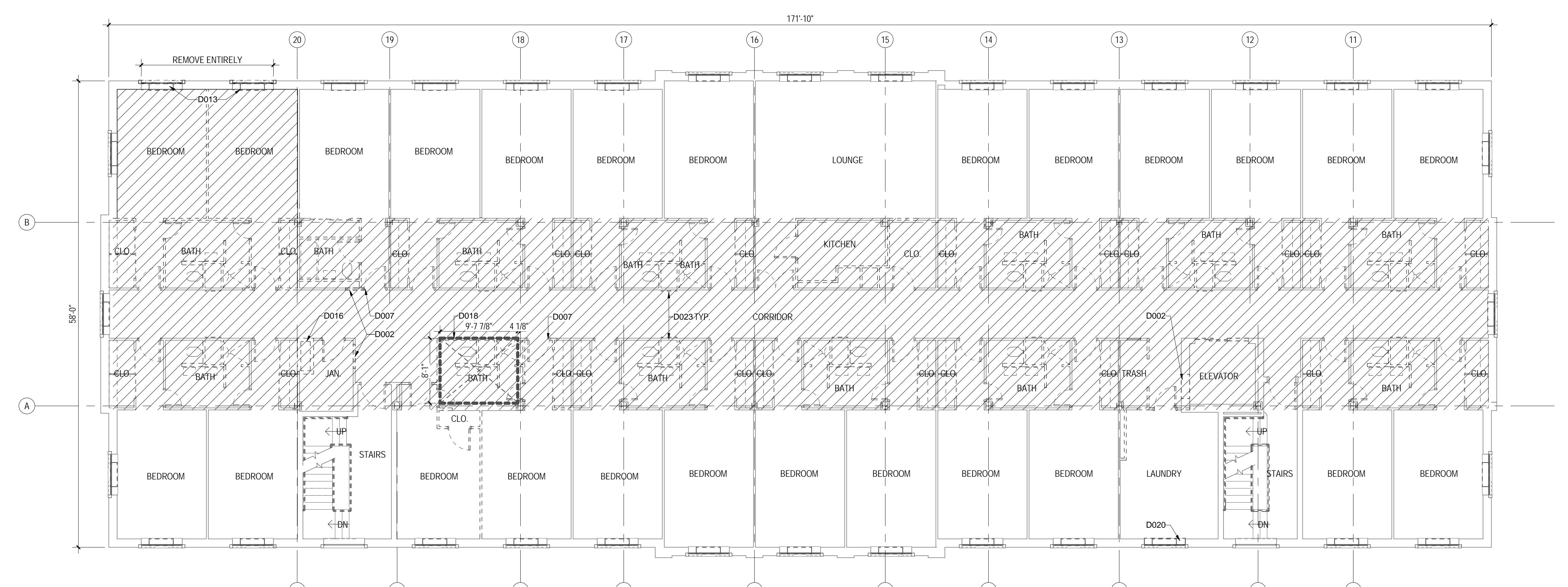
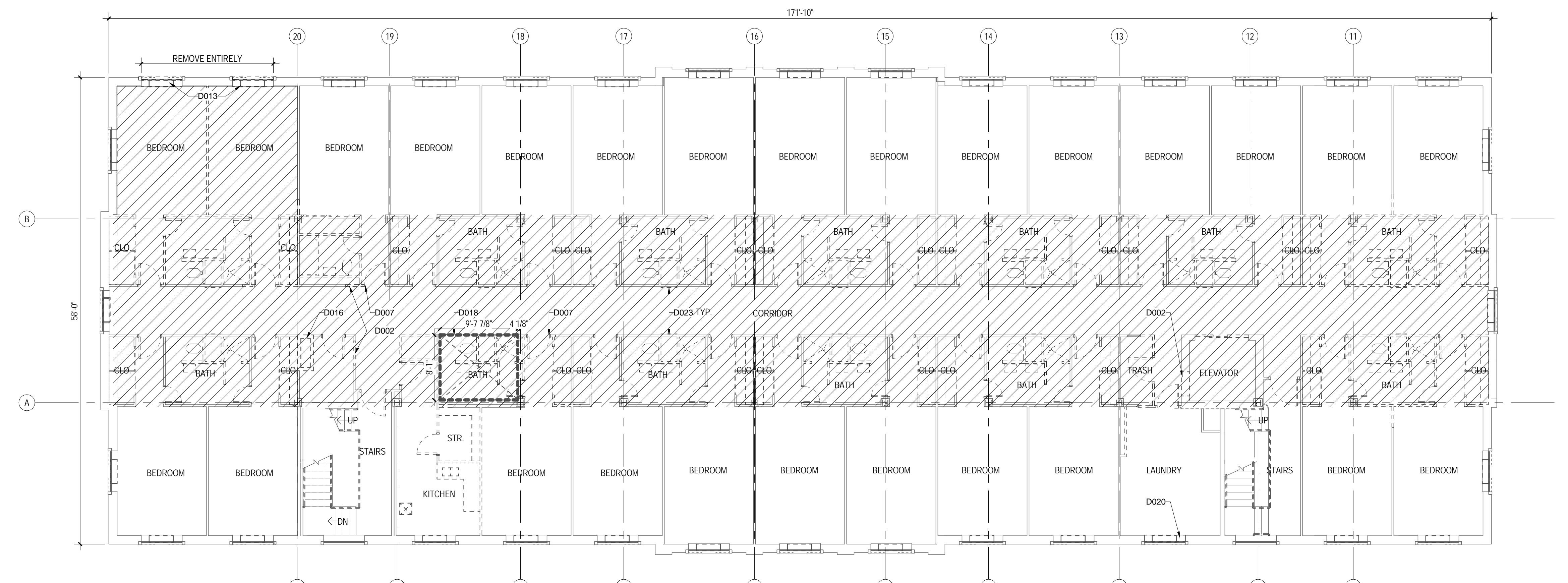
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS. THESE DEMOLITION PLANS ARE PROVIDED FOR THE CONVENIENCE OF CONTRACTOR. THE DASHED LINES GENERATED DURING THE DEMOLITION PROCESS MAY NOT BE USED TO COMPLETE THE WORK. CONTRACTOR SHALL REMOVE FINISHES AND COMPONENTS AS REQUIRED TO COMPLETE THE NEW WORK WHETHER OR NOT SUCH REMOVALS IS SPECIFICALLY NOTED HERE. REFER TO ARCHITECTURAL SITE, STRUCTURAL, FIRE PROTECTION, SPRINKLER, PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS AND TO THE PROJECT MANUAL FOR COMPLETE DESCRIPTION OF THE WORK.
2. EXISTING CEILING IS PART OF THE FIRE RATED ASSEMBLY. PATCH OR REPAIR HOLES AND DAMAGED AREA TO MAINTAIN FIRE RATING. SEE FIRE PROTECTION DRAWINGS FOR FURTHER INFORMATION.
3. PRESERVE EXISTING ITEMS, MATERIALS, AND / OR FINISHES THAT ARE TO REMAIN FROM DEMOLITION.
4. NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE FROM THAT SHOWN PRIOR TO EXECUTING WORK.
5. ALL PARTITIONS SHOWN TO BE DEMOLISHED ARE ASSUMED TO BE CONCRETE DIVIDERS. REMOVE PLASTER FINISH. COMPLETELY REMOVE PARTITIONS SHOWN AS DEMOLISHED FROM FLOOR TO STRUCTURE ABOVE. UNDO EXISTING CONC. AND PLASTER AROUND COLUMNS SHALL REMAIN AND ARE PART OF THE FIRE RATED ASSEMBLY.
6. REMOVE ALL EXISTING DOORS AND HARDWARE. SALVAGE ALL BATHROOM AND CLOSET DOORS FOR REINSTALLATION. PREPARE ALL OTHER EXISTING FRAMES FOR REUSE. NEW DOORS AND HARDWARE. SALVAGED HARDWARE SHALL BE TURNED OVER TO OWNER.
7. PATCH OPENINGS WHERE PENETRANTS HAVE BEEN ABANDONED AND REMOVED. REFER TO THE ROOF PLAN, MECHANICAL, PLUMBING AND STRUCTURAL PLANS.
8. PREPARE ROOF PLAN FOR SLAB REMOVAL TO RECEIVE NEW FINISH.
9. REMOVE EXISTING CEILINGS AS INDICATED. REMOVE ALL ASSOCIATED FRAMING & SUSPENSION SYSTEMS INCLUDING WIRES & TIES. REMOVE ALL ABOVE CEILING EQUIPMENT, DEVICES & SUPPORT WIRES THAT ARE NO LONGER IN USE OR FUNCTIONING.
10. REMOVE ALL EXISTING CONCRETE AROUND COLUMNS AND BEAMS.
11. REMOVE ALL WINDOW BLINDS THROUGHOUT.
12. PREPARE OPENING IN EXTERIOR WALL TO BE FILLED WITH MATERIAL TO MATCH EXISTING CEILING FINISH WHERE MECHANICAL UNIT HAS BEEN REMOVED.
13. SCOPE OF DEMOLITION BATHROOMS GENERALLY INCLUDES REMOVING CERAMIC TILE FROM FLOOR AND WALLS, INCLUDING WATERPROOFING, DOWNSUPPORT, AND TROWEL FINISH. REMOVE ALL EXISTING CEILING, FRAMING, AND SUPPORTS. PREPARE SLAB AND WALL TO RECEIVE NEW WATERPROOFING AND TILE. DEMOLISH PLASTER CEILING AND ALL ASSOCIATED SUPPORTS. COMPLETELY DEMOLISH ALL FIXTURES & ACCESSORIES. DEMOLISH PLUMBING CHASES. PREPARE FLOOR OPENING TO RECEIVE INFILL. SEE STRUCTURAL DWGS.
14. SCOPE OF DEMOLITION IN KITCHENS GENERALLY INCLUDES REMOVING ALL MIRRORS, VCT & BASE. PATCH WALL WHERE ITEMS HAVE BEEN REMOVED AS NECESSARY TO PRIME WALL SURFACE TO BE PRIMED/SURFACED. PREPARE FLOOR TO RECEIVE NEW FINISH.
15. SCOPE OF DEMOLITION IN BEDROOM/LOUNGE GENERALLY INCLUDES REMOVING ALL VCT & BASE. REMOVE DOORS. SALVAGE THE DOORS FOR REINSTALLATION. UNDO SEE ADD BN TO 1 DEMOLISH THE DOORS AND TRACKS IN EXISTING DIVIDER & ROD SHALL REMAIN.
16. SCOPE OF DEMOLITION IN STAIRS GENERALLY INCLUDES REMOVING ALL VCT FROM UPPER LANDINGS, Treads, and Handrails THROUGHOUT. REMOVE TOP OF STRINGER TO PREPARE RECEIVING GUARDRAIL. NEWEL POSTS, STONE TREADS, CERAMIC TILE AND STONE LANDINGS SHALL REMAIN. BE PROTECTED AND THOROUGHLY CLEANED. PREPARE ALL REMAINING METAL COMPONENTS FOR PAINTING.
17. SCOPE OF DEMOLITION IN CORRIDORS GENERALLY INCLUDES REMOVING ALL MISCELLANEOUS TRAPSTRAPS, TACKBOARDS, FIRE EXTINGUISHER CABINETS, ACCESS DOORS, CHAIRRAIL, CEILINGS, VCT AND BASE ENTIRELY. PATCH WALL WHERE ITEMS HAVE BEEN REMOVED AS NECESSARY TO PREPARE WALL SURFACE TO BE PRIMED/SURFACED. PREPARE FLOOR TO RECEIVE NEW FINISH.
18. SCOPE OF DEMOLITION IN GENERAL AREAS INCLUDES: REMOVE ALL FOAM INSULATION, SPECIALLY REFRIGERATED EQUIPMENT AND STOVS. DEMOLISH ALL CABINETRY, VCT AND BASE. PREPARE FLOOR TO RECEIVE NEW FINISH.
19. SCOPE OF DEMOLITION IN JANITOR CLOSETS, TRASH, AND LAUNDRIES GENERALLY INCLUDES DEMOLISHING CERAMIC TILE FLOOR & Wainscot, FIXTURES & ACCESSORIES. PREPARE FLOOR TO RECEIVE NEW FINISH. PREPARE WALL SURFACE TO BE PRIMED/SURFACED. PREPARE FLOOR TO RECEIVE NEW FINISH.
20. SCOPE OF DEMOLITION IN LOUNGES AND STUDIES GENERALLY INCLUDE DEMOLISHING ALL EXISTING WAINSCOTTING, CHAIR RAILS, AND CROWN MOLDING. PREPARE WALL SURFACE FOR PATCHING AND NEW FINISH.
21. SCOPE OF DEMOLITION IN TESTIMONY HALLS GENERALLY INCLUDES REMOVING CERAMIC TILE FLOOR AND EXISTING WALLS, INCLUDING CROWN, TREADS, AND STONE LANDINGS. REMOVE VINYL BASE FROM FACE OF STONE AND CLEAN THOROUGHLY.
22. SCOPE OF DEMOLITION AT EXISTING ELEVATOR INCLUDES COMPLETE DEMOLITION OF ELEVATOR SYSTEM INCLUDING BUT NOT LIMITED TO THE RAILS, JACK, CAB, HALL STATIONS, DOORS, FRAMES, SILLS, AND GAMBSS INFLATABLE PANEL ADJACENT TO DOORS. SALVAGE ALL DOORS FOR REINSTALLATION.
23. SCOPE OF DEMOLITION IN STORAGE ROOMS GENERALLY INCLUDE REMOVING ALL SHELVING.
24. TRENCHING OF BASEMENT SLAB IS REQUIRED IN ORDER TO INSTALL NEW MEP SYSTEMS. SEE MEP DRAWINGS.
25. RADFORD UNIVERSITY TO REMOVE AND STORE ALL WIFI DEVICES FOR FUTURE RE-INSTALLATION.

KEYNOTES DEMOLITION

- 001 DEMOLISH WINDOW OR LOUVER. REMOVE & SALVAGE STOOL. PREPARE OPENING TO RECEIVE INFILL.
- 002 CUT OPENINGS IN WALL TO RECEIVE NEW DOOR, WINDOW OR LOUVER. SEE DOOR SCHED. FOR DETAILS. SEE STRUCT. FOR LINTEL REQUIREMENTS.
- 003 ALL WALLS IN THIS AREA ARE EXPOSED BRICK. PROTECT WALLS, STONE BASE AND LANDINGS IN THIS ROOM AND AROUND TO FACE OF FIREPLACE. UNDO SAUCUT WHERE SHOWN ON PLANS. REMOVE EXISTING STONE LANDINGS. DEMOLISH EXISTING BRICK WALLS. REMOVE VINYL BASE FROM FACE OF STONE AND CLEAN THOROUGHLY.
- 004 SAUCUT & REMOVE PORTION OF EXISTING LANDING AND GUARDRAIL AS SHOWN. LANDINGS IS GENERALLY CONSTRUCTED OF BRICK CONCRETE SUPPORTED BY BRICK KNEE WALL. SALVAGE ALL STONE AND BRICK FOR FUTURE REUSE.
- 005 SAUCUT & REMOVE PORTION OF BRICK WALL AND STONE BASE. SALVAGE FOR FUTURE REUSE.
- 006 REMOVE WALL MOUNTED HANDRAIL. FILL HOLES IN EXISTING BRICK WALL.
- 007 DEMOLISH EXIST. DOOR FRAME. ENLARGED OPENING WHERE REQUIRED FOR NEW WIDER DOOR AND FRAME. SEE PLAN FOR NEW LOCATION.
- 008 SAUCUT AND REMOVE CONG. SLAB FOR NEW WORK. EXCAVATE WHERE NECESSARY. SEE STRUCT. DWGS.
- 009 EXCAVATE DOWN TO EXISTING FOOTER. REMOVE PORTION OF EXISTING FOOTING AND UNDERPIN. SEE STRUCTURAL DWGS.
- 010 REMOVE RAISED FLOOR AND SUPPORTING MASONRY KNEE WALLS ENTIRELY.
- 011 DEMOLISH WINDOW. REMOVE & SALVAGE STOOL. SAUCUT AND REMOVE PORTION OF WALL FROM BASEMENT AND FIRST FLOOR WINDOWS. PREPARE OPENING TO RECEIVE NEW WINDOW.
- 012 SAUCUT ALONG FACE OF CONC. BEAM AND REMOVE CAST-IN-PLACE CONCRETE JOISTS IN THIS AREA. REMOVE HIGH POINTS FROM FACE OF CONCRETE BEAM SO NOT TO INTERFERE WITH NEW FRAMING.
- 013 SAUCUT AND REMOVE WALL FROM FAR JAMB TO FAR JAMB (SEE PLANS) AND FROM FIRST FLOOR TO SPERTELE UP TO ABOVE HEAD OF WINDOW ON THIRD FLOOR. REMOVE AND SALVAGE MARBLE WINDOW STOOLS AND BRICK ABOVE HEAD OF THIRD FLOOR WINDOW FOR FUTURE REINSTALLATION. TEMPORARILY SHORE EXISTING JOISTS AT ALL FLOOR LEVELS. PREPARE OPENING TO RECEIVE NEW STRUCTURAL LINTELS AND CURTAINWALL SYSTEM.
- 014 DEMOLISH GUARDRAILS AND STEEL GRATING AT AREA WAY. REMOVE AS MUCH OF AREA WAY CONSTRUCTION AS NECESSARY TO COMPLETE THE NEW WORK. MAINTAIN THE AREA WAY DRAINS AND INLET/OUTLET CONNECTIONS IN WORKING ORDER.
- 015 DEMOLISH BRICK AND CONC. STAIR COMPLETELY. REMOVE AS MUCH OF STAIR FOUNDATION AS NECESSARY TO COMPLETE THE NEW WORK.
- 016 DEMOLISH FIREPLACE AND CHIMNEY FROM FIRST FLOOR LEVEL TO ATTIC LEVEL. PREPARE OPENING FOR INFILL SEE STRUCTURAL DWGS.
- 017 SAUCUT AND REMOVE CAST-IN-PLACE CONCRETE JOISTS AS REQUIRED FOR CONSTRUCTION OF NEW ELEVATOR SHAFT.
- 018 SAUCUT AND REMOVE CONCRETE SLAB. MODIFY AND REMOVE PORTIONS OF EXISTING STEEL JOISTS AS REQUIRED FOR CONSTRUCTION OF NEW ELEVATOR SHAFT. SEE STRUCTURAL DWGS. TEMPORARILY SHORE AFFECTED JOISTS.
- 019 SAUCUT AND REMOVE PORTION OF ROOF RAFTERS. SHEATHING AND ROOFING AS REQUIRED FOR NEW ELEVATOR SHAFT. REMOVE AND SALVAGE SLATE SURROUNDING OPENING FOR FUTURE INSTALLATION.
- 020 DEMOLISH EXISTING WINDOW STOOL. PATCH AND PREPARE SURFACE FOR NEW SILL.
- 021 REMOVE EXISTING SHRUBS AS REQUIRED FOR NEW WORK LEVELS.
- 022 REMOVE CONC. HOUSEKEEPING PAD. GRIND FLOOR TO BE LEVEL.
- 023 DEMOLISH EXISTING ACCESS PANELS AT ALL PLUMBING CHASES. SAUCUT WALL BELOW TO CREATE OPENING TO RECEIVE NEW ACCESS PANEL.
- 024 REMOVE KNEE WALL COMPLETELY. PATCH WALL & PREPARE TO RECEIVE NEW FINISH.
- 025 REMOVE HANDRAIL ASSEMBLY COMPLETELY. PREPARE EXISTING POST HOLES TO RECEIVE NEW POSTS.

ISSUES AND REVISIONS
NO. SUBMITTAL
5 BID DOCUMENTS
DATE
05.19.14

SECOND & THIRD FLOOR DEMOLITION PLAN



Note: Asbestos containing materials shall not be used on the project.

Asbestos Disclosure Statement
An asbestos inspection was performed and ACM is suspected as noted in the specifications. The asbestos inspection report is provided as an addendum to the project specifications. Asbestos containing building material should be disposed of as required by applicable procedures as specified. The ACM that is to remain and the new non asbestos-containing material shall be lab tested according to the applicable contractor's test method. Materials calling for removal to leave areas where asbestos was abated, areas where ACM was encapsulated, and areas where ACM exist but were left in place. The General Contractor shall review and certify the locations where ACM was abated, areas where ACM was encapsulated and areas where ACM was left in place as marked on the record drawings and will provide drawings to the Architect.

Lead Materials Disclosure
An inspection to identify lead containing or coated building components has been conducted and can be found in the project specifications. This form is provided for the contractor and may not be all inclusive. It is the contractor's responsibility to comply with all Virginia Occupational Safety and Health (VOSA) regulations as they pertain to employee exposures to lead. All lead and lead-coated building components shall be recycled to the extent possible.

DEMOLITION LEGEND

- ITEMS TO BE DEMOLISHED (EXCEPT WHERE NOTES AS OVERHEAD)
- ||||| EXISTING ELEMENTS TO REMAIN
- \\\\\\\\ SCOPE OF PLASTER CEILING DEMOLITION

D102

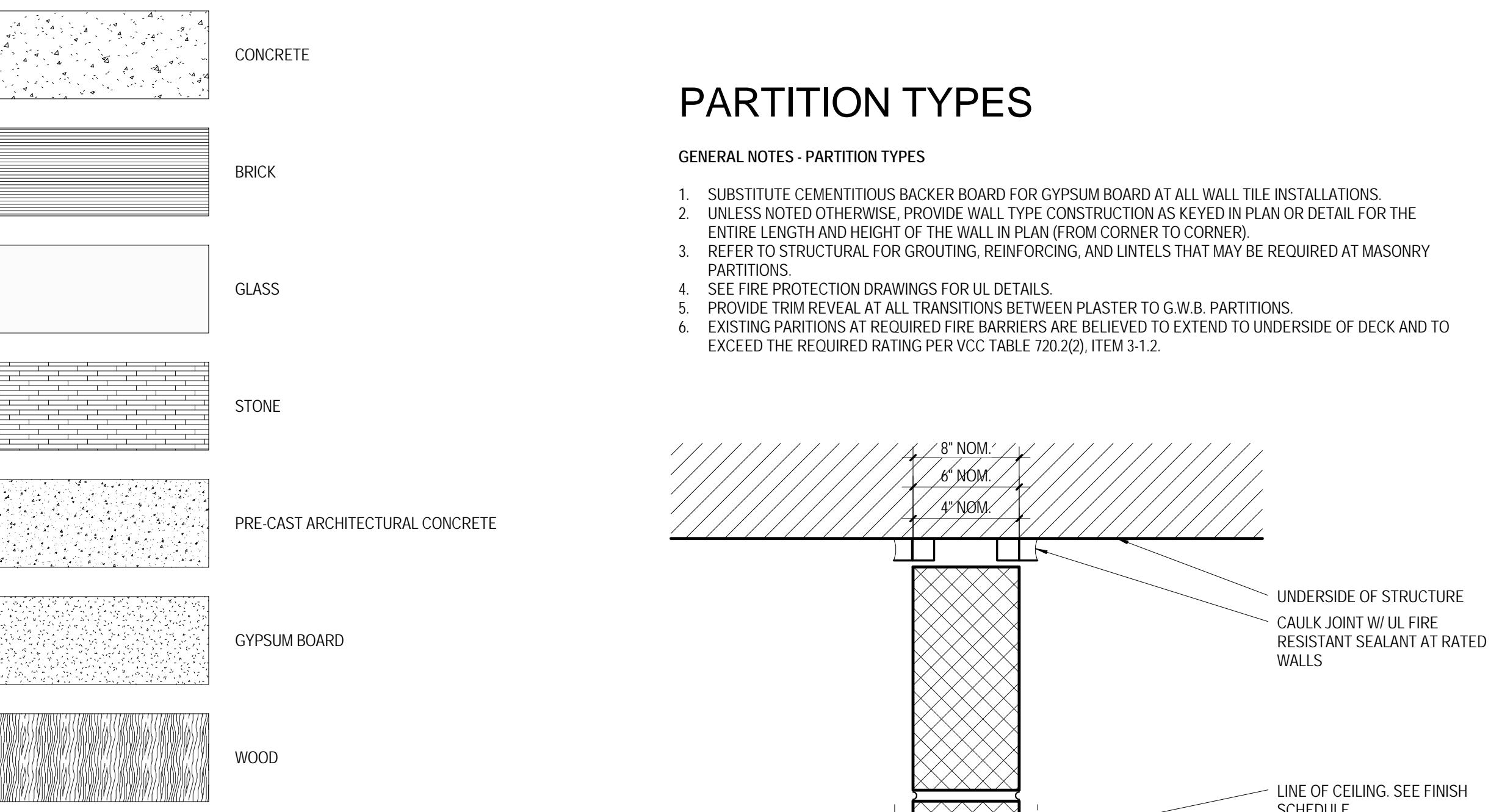
ABBREVIATIONS

| | |
|------------|--|
| A/C | AIR CONDITIONING |
| ABV. | ABOVE |
| ACC. | ACCESSORIES |
| A.P.C. | ACOUSTICAL PANEL CEILING |
| A.C.T. | ACOUSTICAL CEILING TILE |
| A.D. | AREA DRAIN |
| ADJ. | ADJACENT |
| ADJ.T. | ADJUSTABLE |
| A.F.F. | AIR-FOUNDED FLOOR |
| A.H.U. | AIR HANDLING UNIT |
| ALT. | ALTERNATE |
| ALUM. | ALUMINUM |
| ANOD. | ANODIZED |
| A.P. | ARCHITECTURAL |
| A.P.C.C. | PRE-CAST CONCRETE |
| ARCH. | ARCHITECTURAL |
| APPROX. | APPROXIMATELY |
| B.B.T. | BIO-BASED TILE |
| B.C. | BRICK COURSE |
| BET. | BETWEEN |
| BLDG. | BUILDING |
| BLKG. | BLOCKING |
| BM. | BEAM |
| B.O. | BY OWNER |
| BRK. | BRICK |
| BRG. | BEARING |
| BTM. | BOTTOM |
| B.U.R. | BUILT UP ROOF |
| CAB. | CABINET |
| CHKB. | CHALKBOARD |
| CL. | CAST IRON |
| C.I.P. | CASE IN PLACE |
| C.C.L. | CENTER LINE |
| C.F.M.F. | COLD FORMED METAL FRAMING |
| C.J. | CONTROL JOINT |
| CL.G. | CEILING |
| CMU | CONCRETE MASONRY UNIT |
| C.O. | CLEAN OUT |
| COL. | COLUMN |
| CONC. | CONCRETE |
| CONT. | CONTINUOUS |
| COORD. | COORDINATE |
| CPT. | CARPET |
| CRS. | COURSE (MASONRY) |
| C.S. | COUNTERSUNK |
| C.T. | CERAMIC TILE |
| CW. | CURTAINWALL |
| DBL. | DOUBLE |
| D.MU. | DECORATIVE CONCRETE |
| DEM. | DEMOLITION |
| D.F. | DRINKING FOUNTAIN |
| D.I. | DROP INLET |
| DIA. | DIAMETER |
| DIM. | DIMENSION(S) |
| DISP. | DISPENSER |
| D.M.B. | DRY MARKER BOARD |
| DN. | DOWN |
| DR. | DOOR |
| D.S. | DOWNSPOUT |
| D.S.B. | DOWNSPOUT BOOT |
| DTL. | DETAIL |
| DW. | DISHWASHER |
| DWG. | DRAWING |
| EA | EACH |
| E.B. | EXPANSION BOLT |
| E.I.F. | EXTERIOR INSULATION |
| E.J. | FINISH SYSTEM |
| ELECTR. | EXPANSION JOINT |
| ELEV. | ELECTRICAL |
| EMER. | ELEVATION |
| ENCL. | EMERGENCY |
| E.O.P. | ENCLOSURE |
| E.P. | EDGE OF PAVEMENT |
| EPDM | ETHYL PROPYLENE DIENE MONOMER |
| EQ. | EQUAL |
| E.W.C. | ELECTRIC WATER COOLER |
| EX. EXIST. | EXISTING |
| E.T.R. | EXISTING TO REMAIN |
| EXP. | EXPANSION |
| EXP'D. | EXPOSED |
| EXT. | EXTERIOR |
| F.E.C. | FIRE EXTINGUISHER CABINET |
| F.D. | FLOOR DRAIN |
| F.F. | FINISHED FLOOR |
| FIN. | FINISH, FINISHED |
| F.O. -- | FACE OF - |
| F.R. | FLASHING |
| F.P. | FILLER PANEL/FIREPLACE |
| F.R.T.W. | FIRE RETARDANT TREATED WOOD |
| F.S. | FRAME SIZE |
| FT. | FOOT, FEET |
| FTG. | FOOTING |
| 'G | ING (SUFFIX) |
| GALV. | GALVANIZED |
| G.C. | GENERAL CONTRACTOR |
| G.CMU | GENERAL CONCRETE MASONRY UNIT |
| G.F. CMU | GROUND-FACE CMU |
| G.L. | GAS LINE |
| GY. | GYPSUM |
| G.W.B. | GYPSUM WALL BOARD |
| H.C. | HANDICAPPED |
| HDWD. | HARDWOOD |
| HWDR. | hardware |
| H.M. | HOLLOW METAL |
| H.R. | HOLLOW |
| HVAC | HEATING / VENTILATION / AIR CONDITIONING |
| INCL. | INCLUDE(D)ING |
| INFO. | INFORMATION |

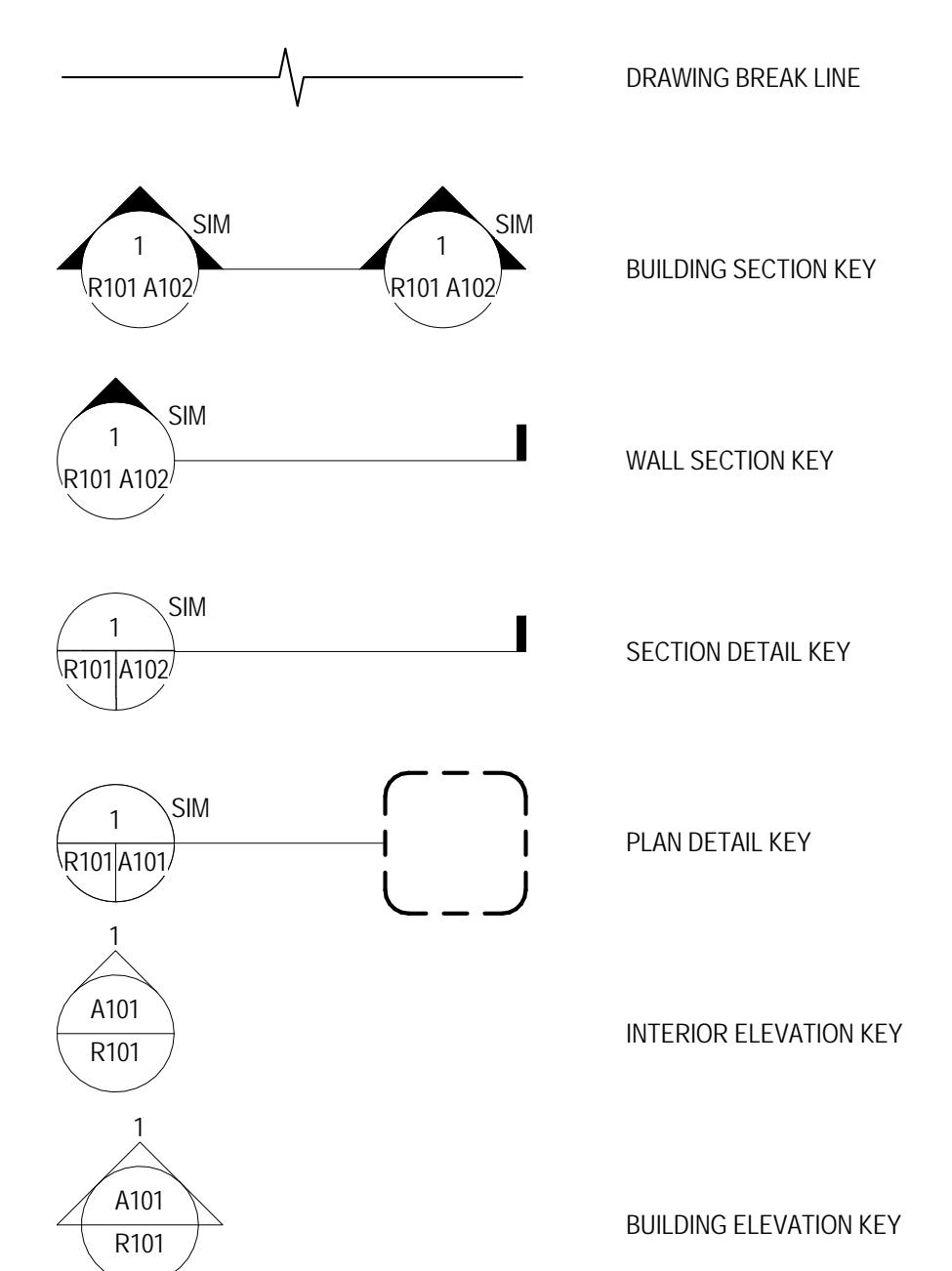
GENERAL NOTES

1. COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
2. VERIFY GRADES/ELEVATIONS SHOWN ON DRAWINGS.
3. CONTRACTOR IS RESPONSIBLE FOR ALL DIMENSIONS AND FOR VERIFICATION OF DIMENSIONS SHOWN ON DRAWINGS. ANY DISCREPANCIES IN DRAWINGS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.
4. DO NOT SCALE DRAWINGS.
5. PROVIDE AND PROVIDE ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT PROVIDED IN THE CONTRACT OR IN OTHERS.
6. REPETITIVE FEATURES MAY BE DRAWN ONLY ONCE AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.

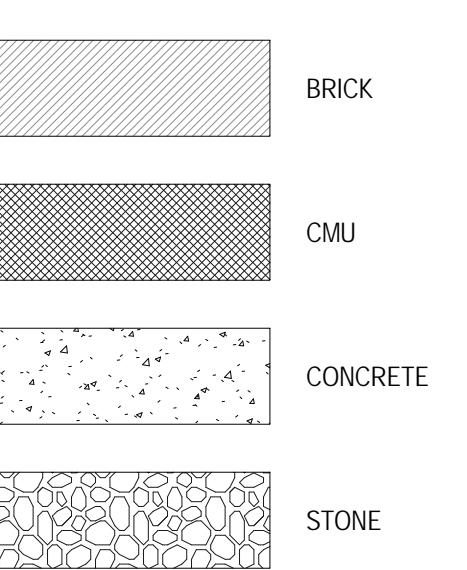
MATERIAL LEGEND - ELEVATION



SYMBOL LEGEND



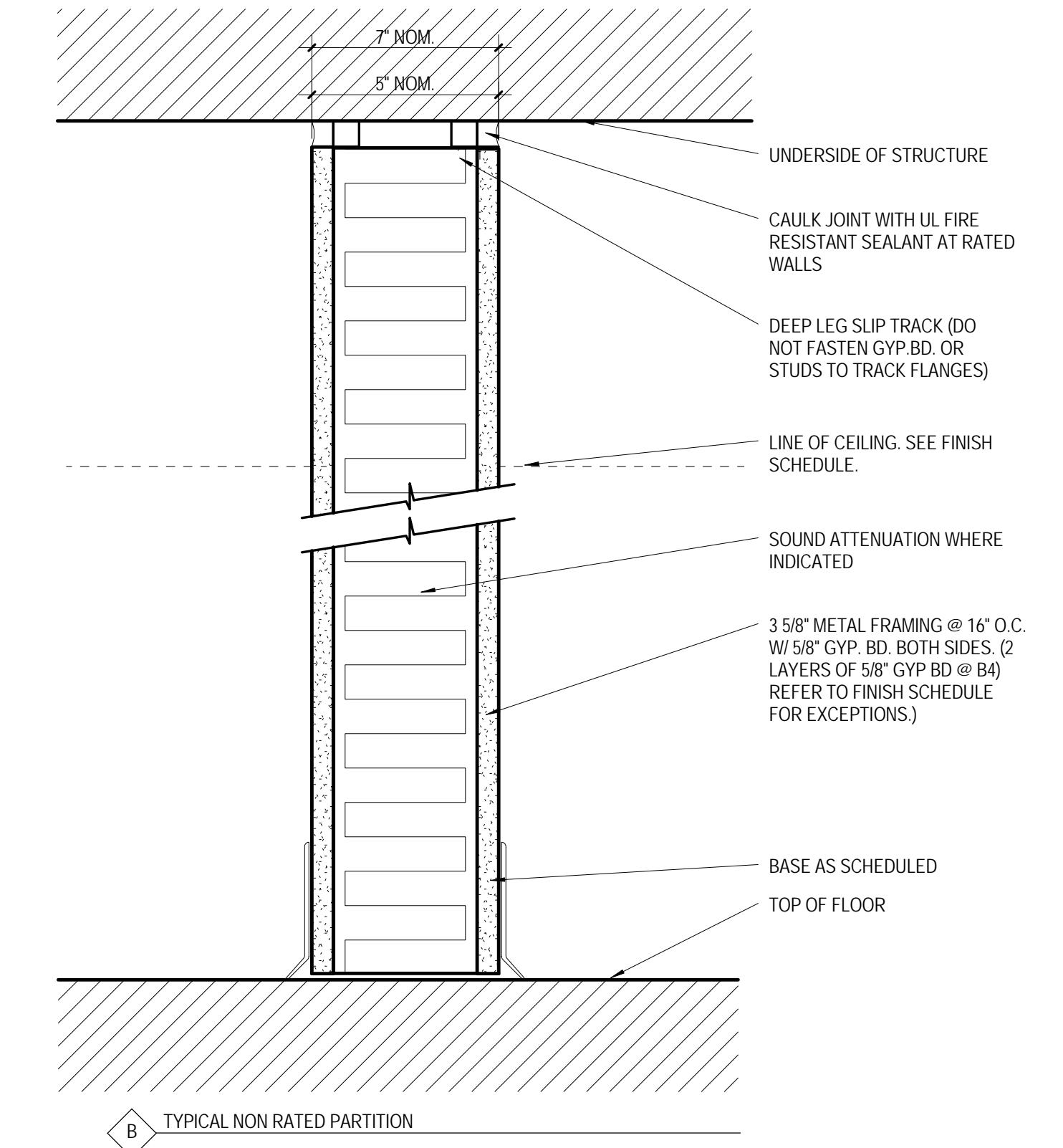
MATERIAL LEGEND - SECTION



PARTITION TYPES

GENERAL NOTES - PARTITION TYPES

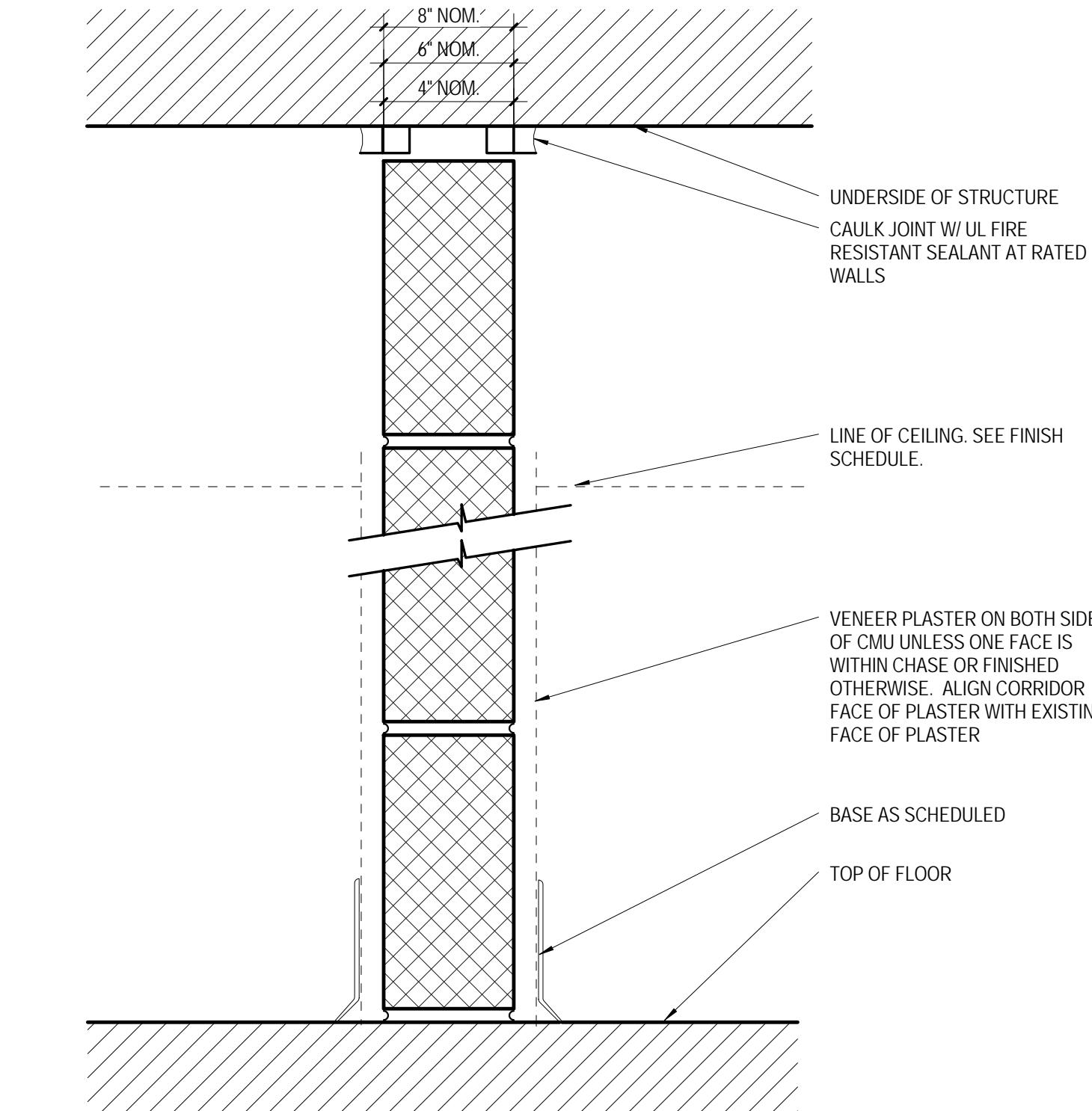
1. SUBSTITUTE CEMENTITIOUS BACKER BOARD FOR GYPSUM BOARD AT ALL WALL TILE INSTALLATIONS.
2. UNLESS NOTED OTHERWISE, PROVIDE WALL TYPE CONSTRUCTION AS KEYED IN PLAN OR DETAIL FOR THE ENTIRE LENGTH AND HEIGHT OF THE WALL PLAN FROM CORNER TO CORNER.
3. REFER TO STRUCTURAL FOR GROUTING, REINFORCING, AND LINTELS THAT MAY BE REQUIRED AT MASONRY PARTITIONS.
4. SEE FIRE PROTECTION DRAWINGS FOR UL DETAILS.
5. PROVIDE TRIM REVEAL AT ALL TRANSITIONS BETWEEN PLASTER TO G.W.B. PARTITIONS.
6. EXISTING PARTITIONS AT REQUIRED FIRE BARRIERS ARE BELIEVED TO EXTEND TO THE UNDERSIDE OF DECK AND TO EXCEED THE REQUIRED RATING PER VCC TABLE 720.2(2), ITEM 3-12.



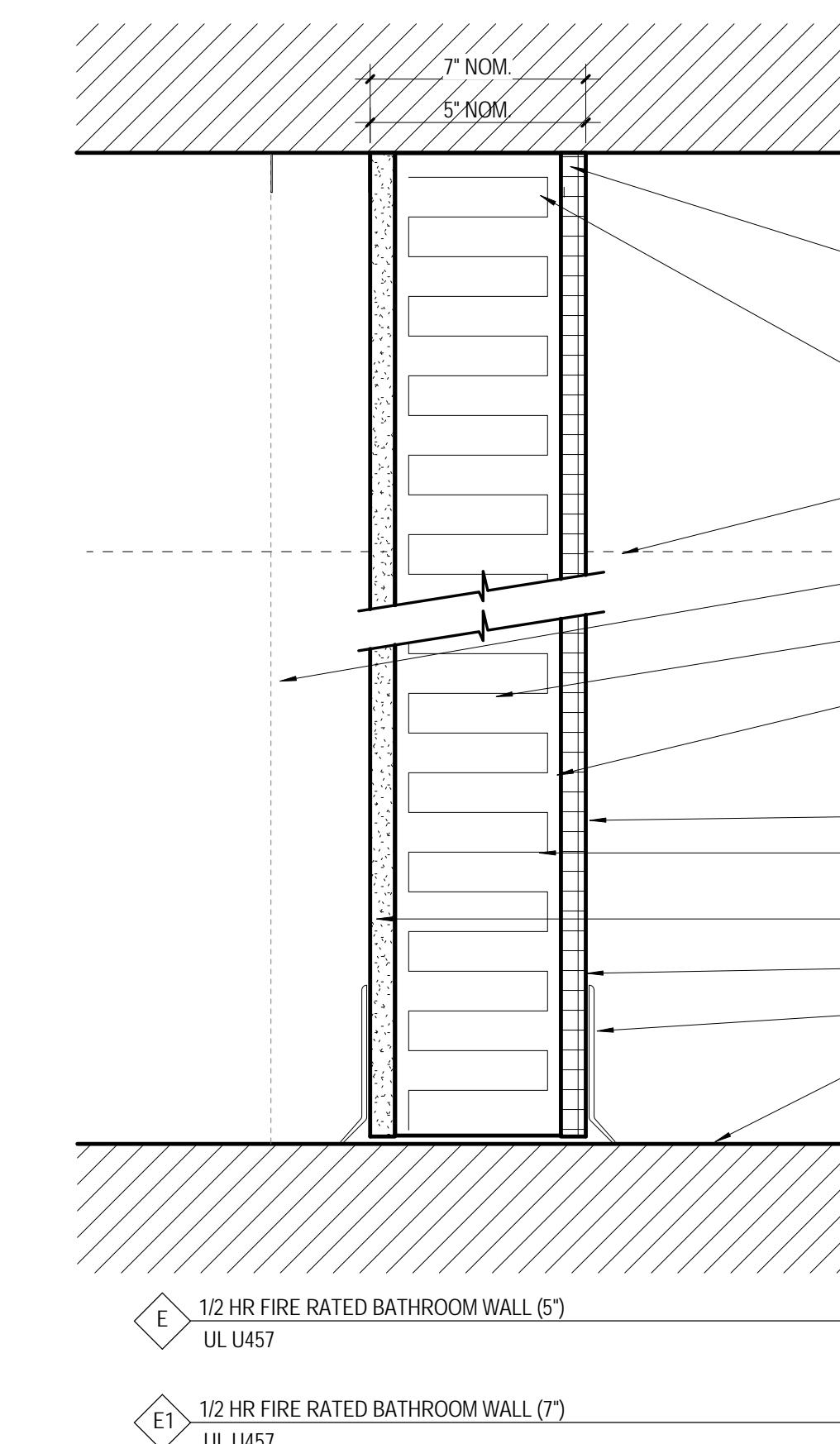
- A** TYPICAL NON RATED PARTITION
A1 1/2 HOUR RATED CORRIDOR WALL (4" SOLID CMU)
A2 1/2 HOUR RATED CORRIDOR WALL (6" CMU)
A3 1 HOUR RATED CORRIDOR WALL (6" CMU)
A4 1/2 HOUR RATED WALL (6" CMU)
A5 2 HR RATED WALL (8" CMU)
A6 1 HR RATED WALL (4" SOLID CMU)

Checked By
Drawn By

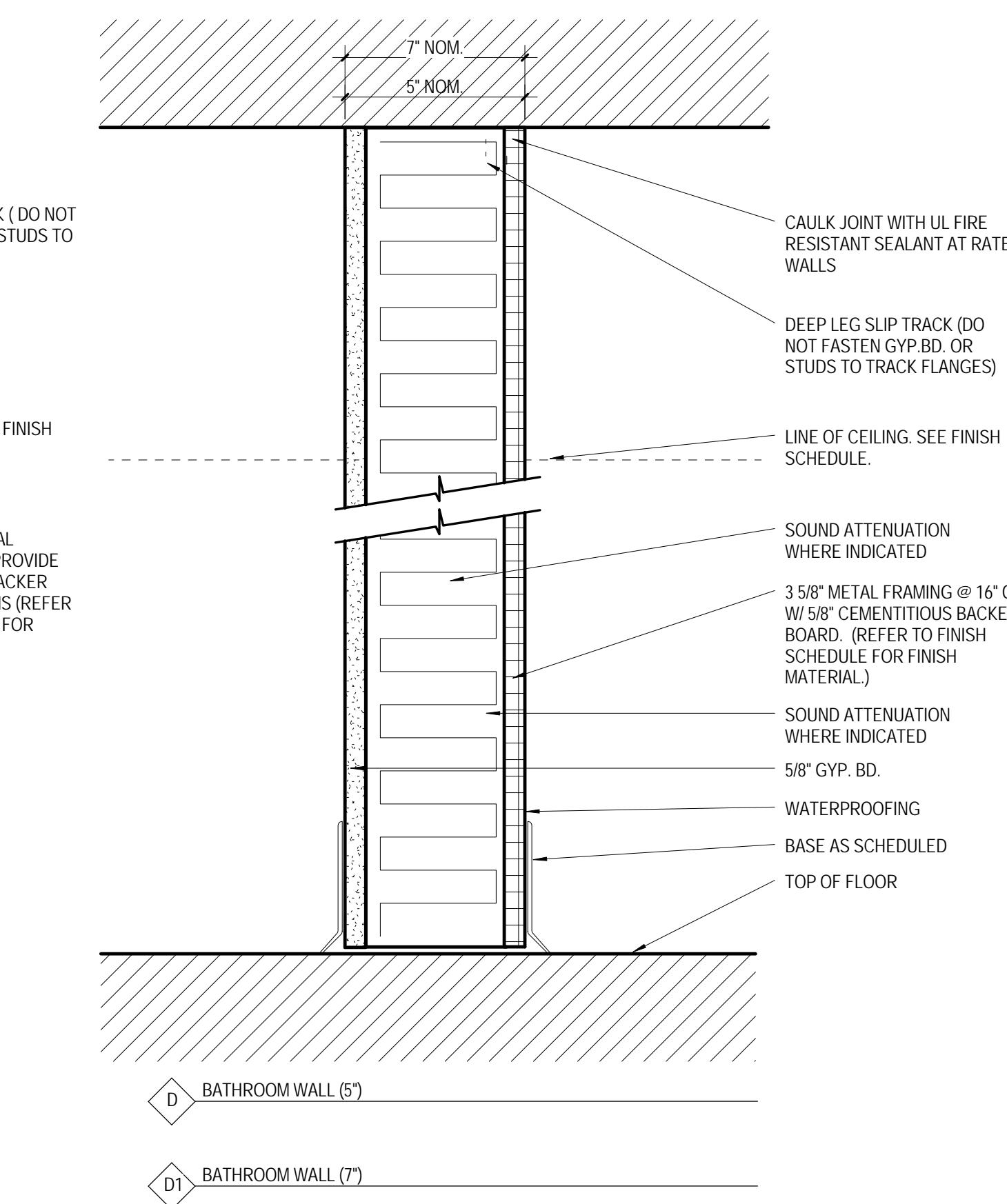
MLW / ARS
DEM / MBW



- A** TYPICAL NON RATED PARTITION
A1 1/2 HOUR RATED CORRIDOR WALL (4" SOLID CMU)
A2 1/2 HOUR RATED CORRIDOR WALL (6" CMU)
A3 1 HOUR RATED CORRIDOR WALL (6" CMU)
A4 1/2 HOUR RATED WALL (6" CMU)
A5 2 HR RATED WALL (8" CMU)
A6 1 HR RATED WALL (4" SOLID CMU)

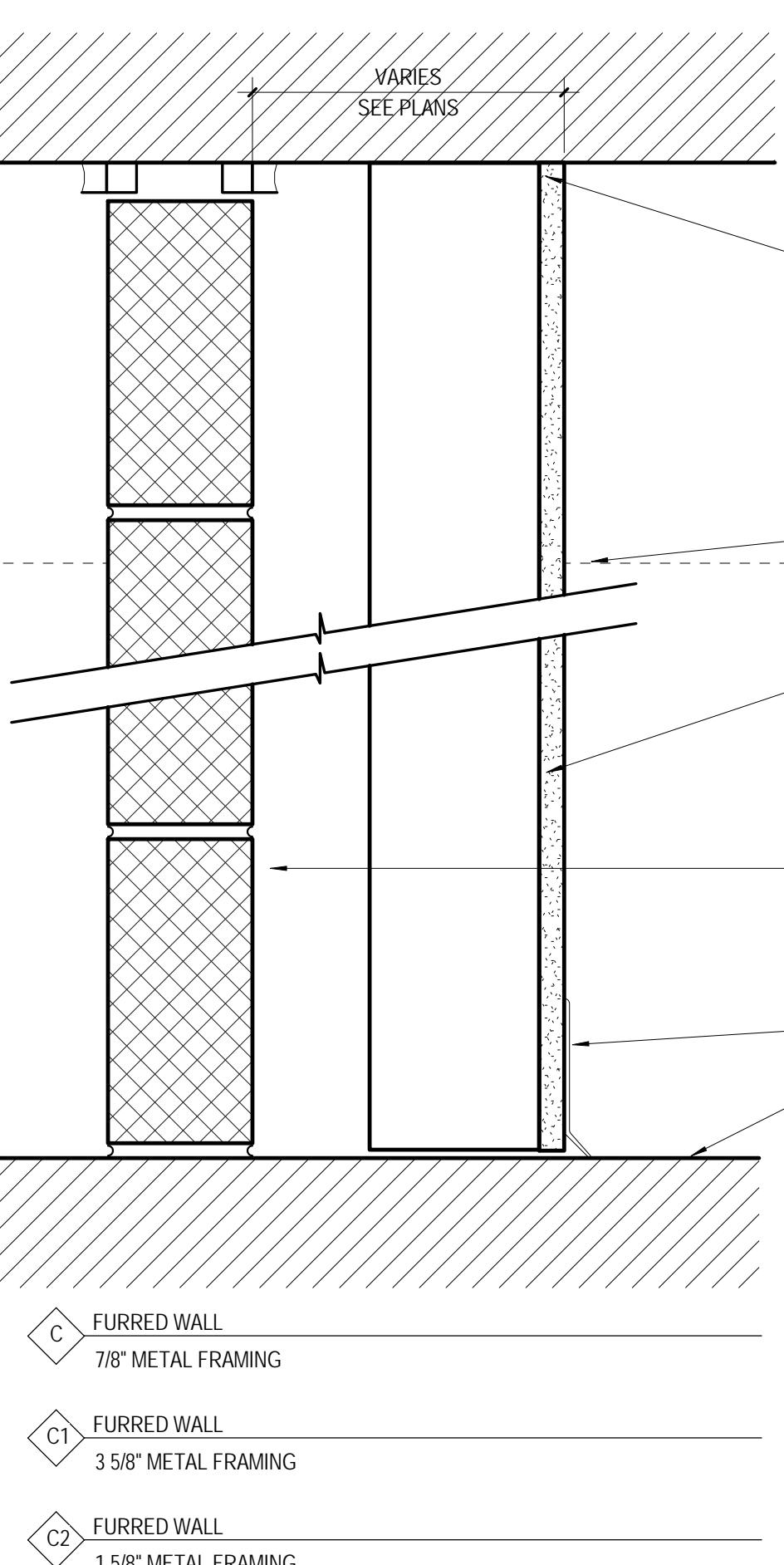
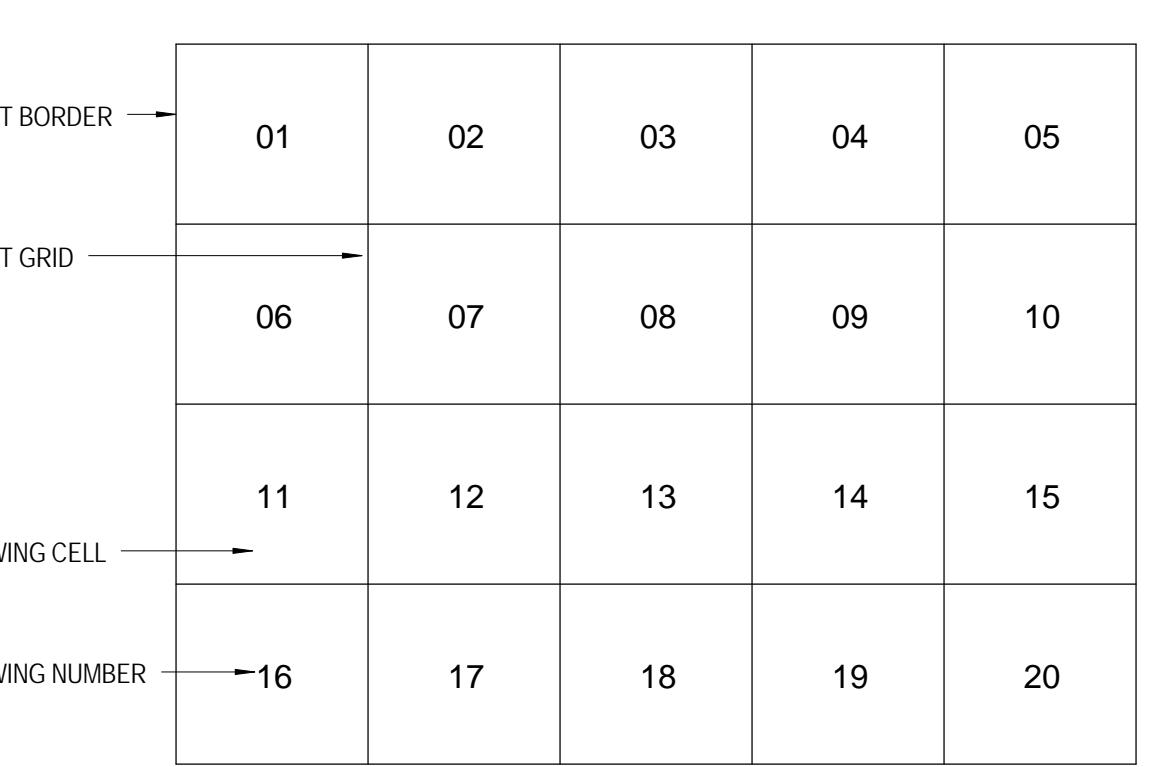


- E** TYPICAL NON RATED PARTITION
E1 1/2 HOUR RATED CORRIDOR WALL (4" SOLID CMU)
E2 1/2 HOUR RATED CORRIDOR WALL (6" CMU)
E3 1 HOUR RATED CORRIDOR WALL (6" CMU)
E4 1/2 HOUR RATED WALL (6" CMU)
E5 2 HR RATED WALL (8" CMU)
E6 1 HR RATED WALL (4" SOLID CMU)

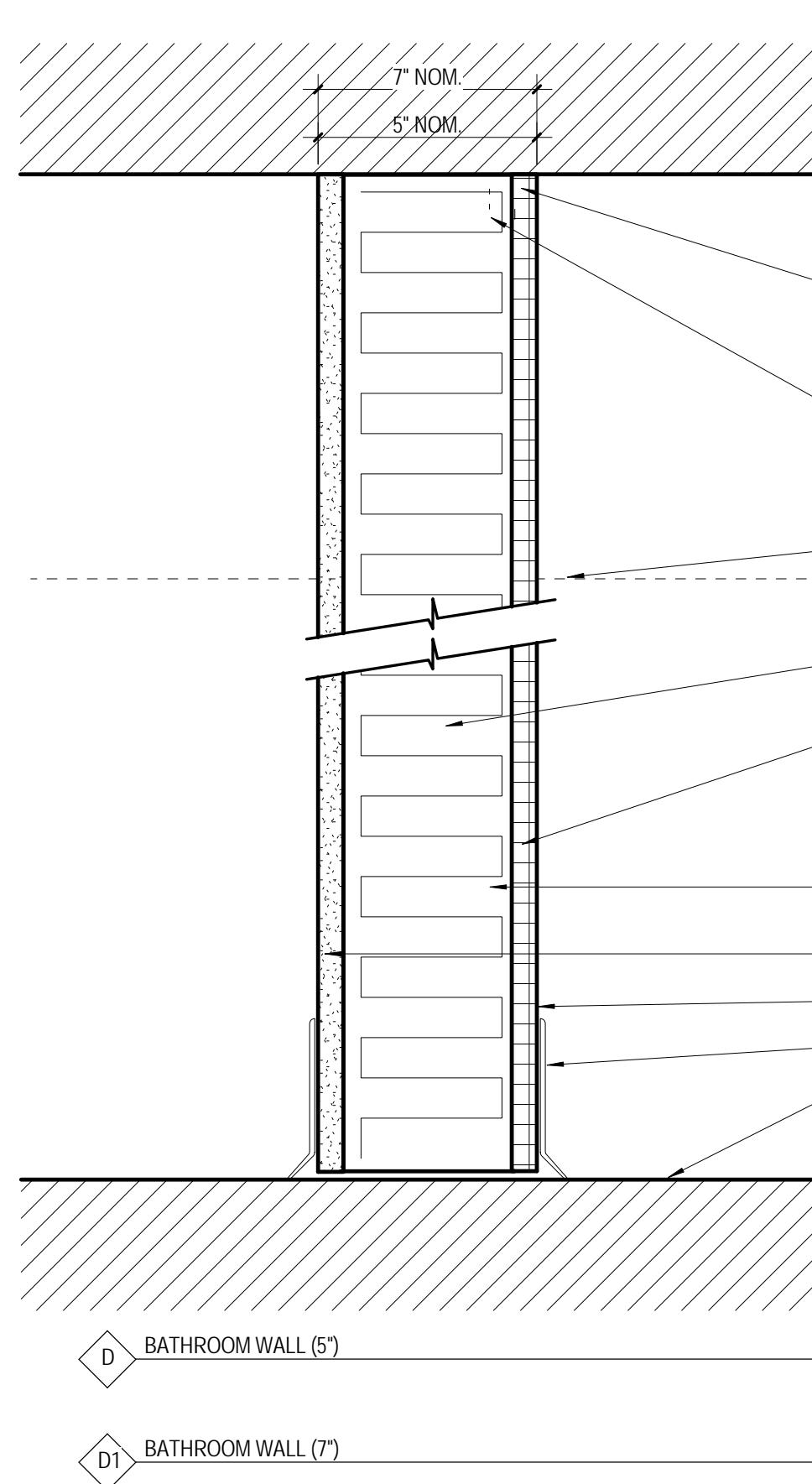


- E** TYPICAL NON RATED PARTITION
E1 1/2 HOUR RATED CORRIDOR WALL (4" SOLID CMU)
E2 1/2 HOUR RATED CORRIDOR WALL (6" CMU)
E3 1 HOUR RATED CORRIDOR WALL (6" CMU)
E4 1/2 HOUR RATED WALL (6" CMU)
E5 2 HR RATED WALL (8" CMU)
E6 1 HR RATED WALL (4" SOLID CMU)

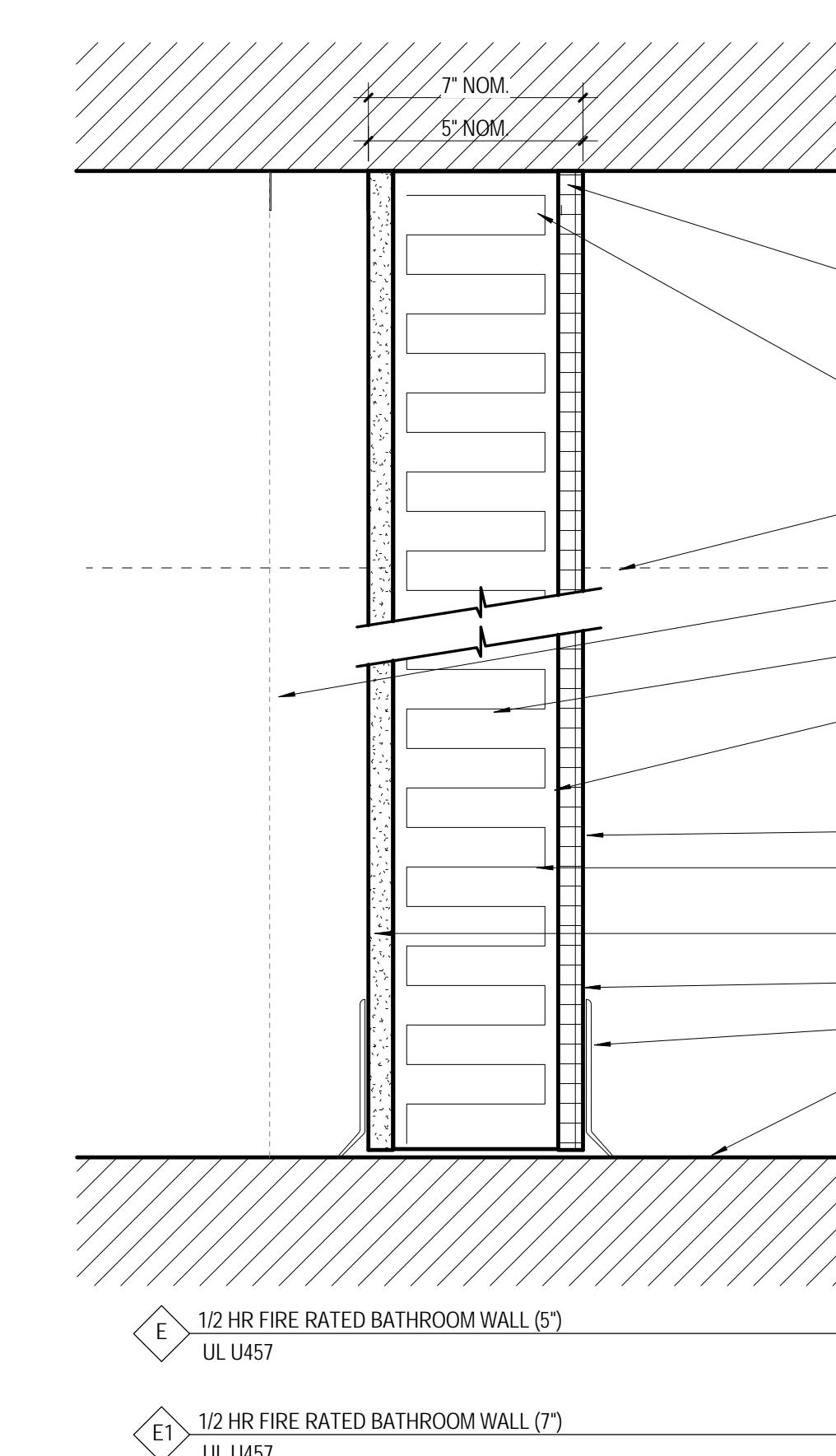
SHEET ORGANIZATION DIAGRAM



- C** FURRED WALL
7/8" METAL FRAMING
C1 FURRED WALL
3 5/8" METAL FRAMING
C2 FURRED WALL
1 5/8" METAL FRAMING



- D** BATHROOM WALL (5")
D1 BATHROOM WALL (7")
D2 BATHROOM WALL (7")



- E** BATHROOM WALL (5")
E1 BATHROOM WALL (7")
E2 BATHROOM WALL (7")

DRAWING NOT FOR CONSTRUCTION

ISSUES AND REVISIONS
NO. SUBMITTAL
5 BID DOCUMENTS
DATE
05.19.14

ARCHITECTURAL
GENERAL NOTES,
ABBREVIATIONS &
PARTITION TYPES

A001

VMDO ARCHITECTS

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RU
RADFORD
UNIVERSITY
RENOVATION OF THREE
RESIDENCE HALLS
POCAHONTAS, BOLLING,
& DRAPER HALLS
RADFORD UNIVERSITY
RADFORD, VIRGINIA
Project Code
VMDO Project Number
217-17565-000
1115





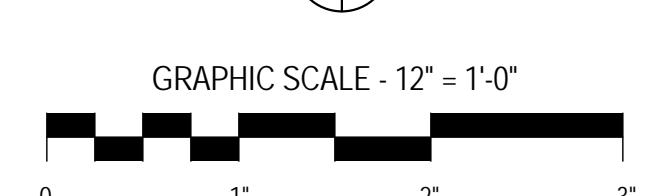
RENOVATION OF THREE
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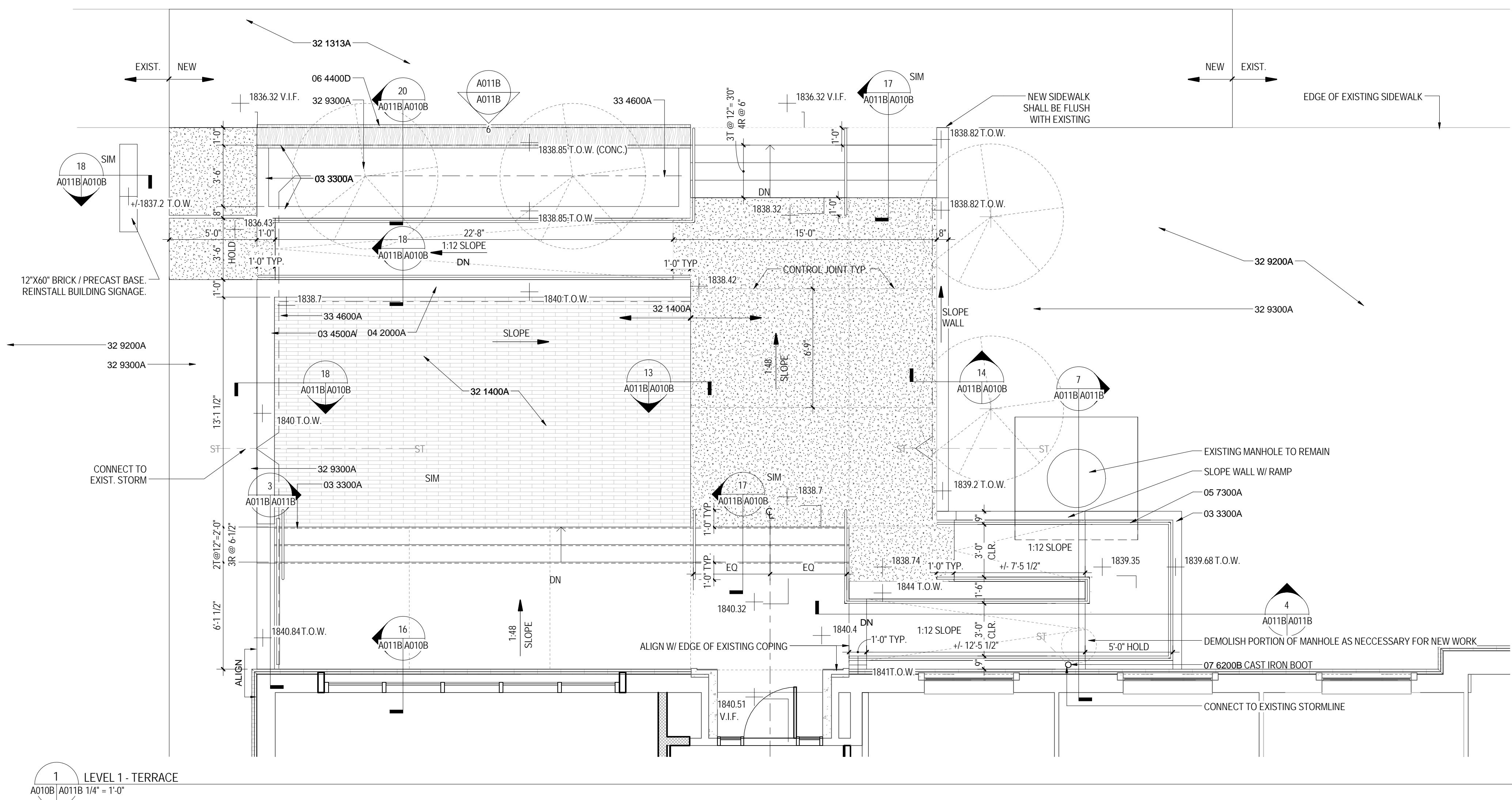


Checked By
Drawn By
MLW
DEM/MBW



ISSUES AND REVISIONS
NO. SUBMITTAL
5 BID DOCUMENTS
DATE
05.19.14

ENLARGED PLANS AND
TERRACE ELEVATIONS -
BOLLING





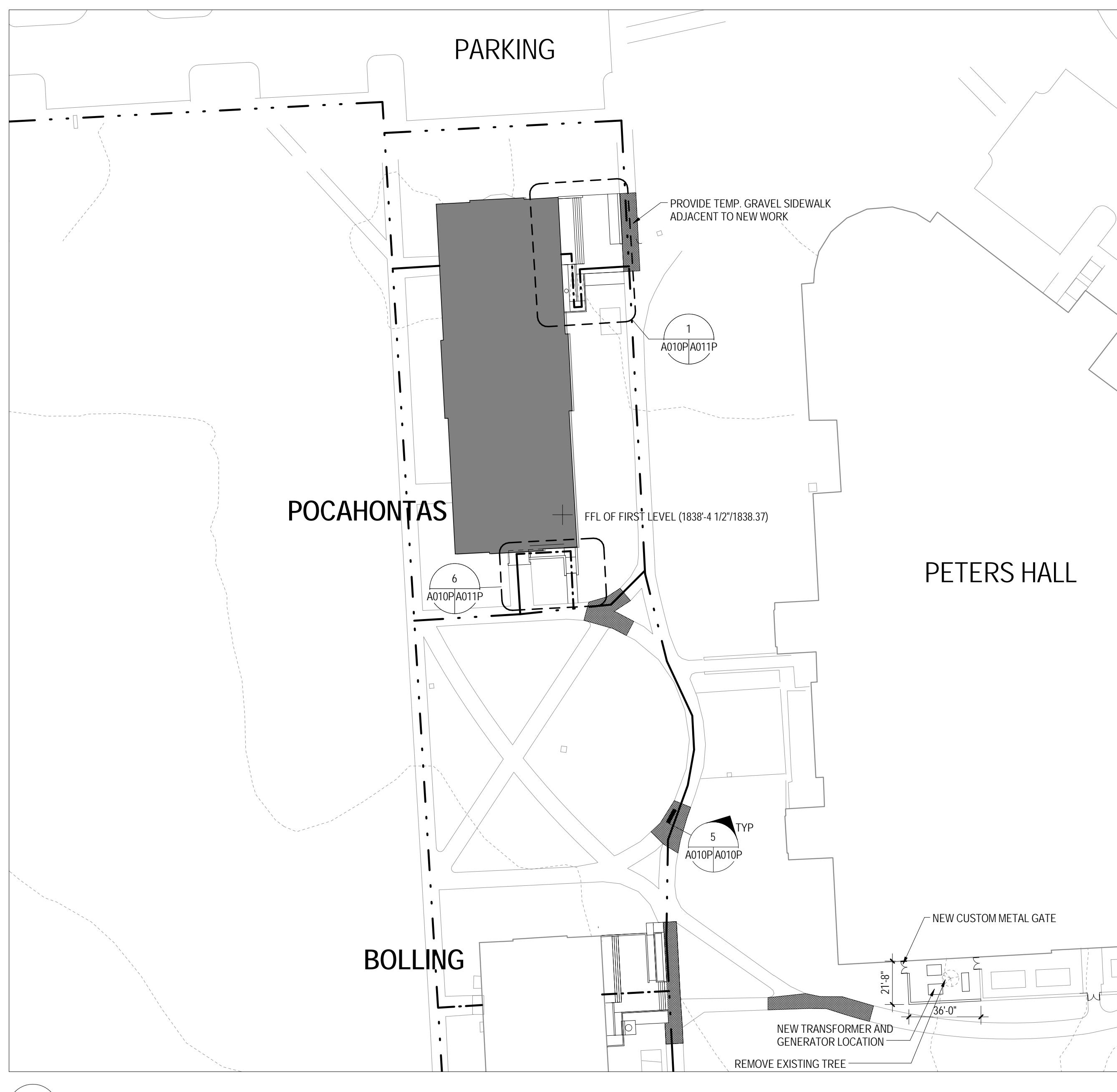
RENOVATION OF THREE RESIDENCE HALLS POCAHONTAS, BOLLING, & DRAPER HALLS

RADFORD UNIVERSITY
RADFORD, VIRGINIA

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217-17565-000
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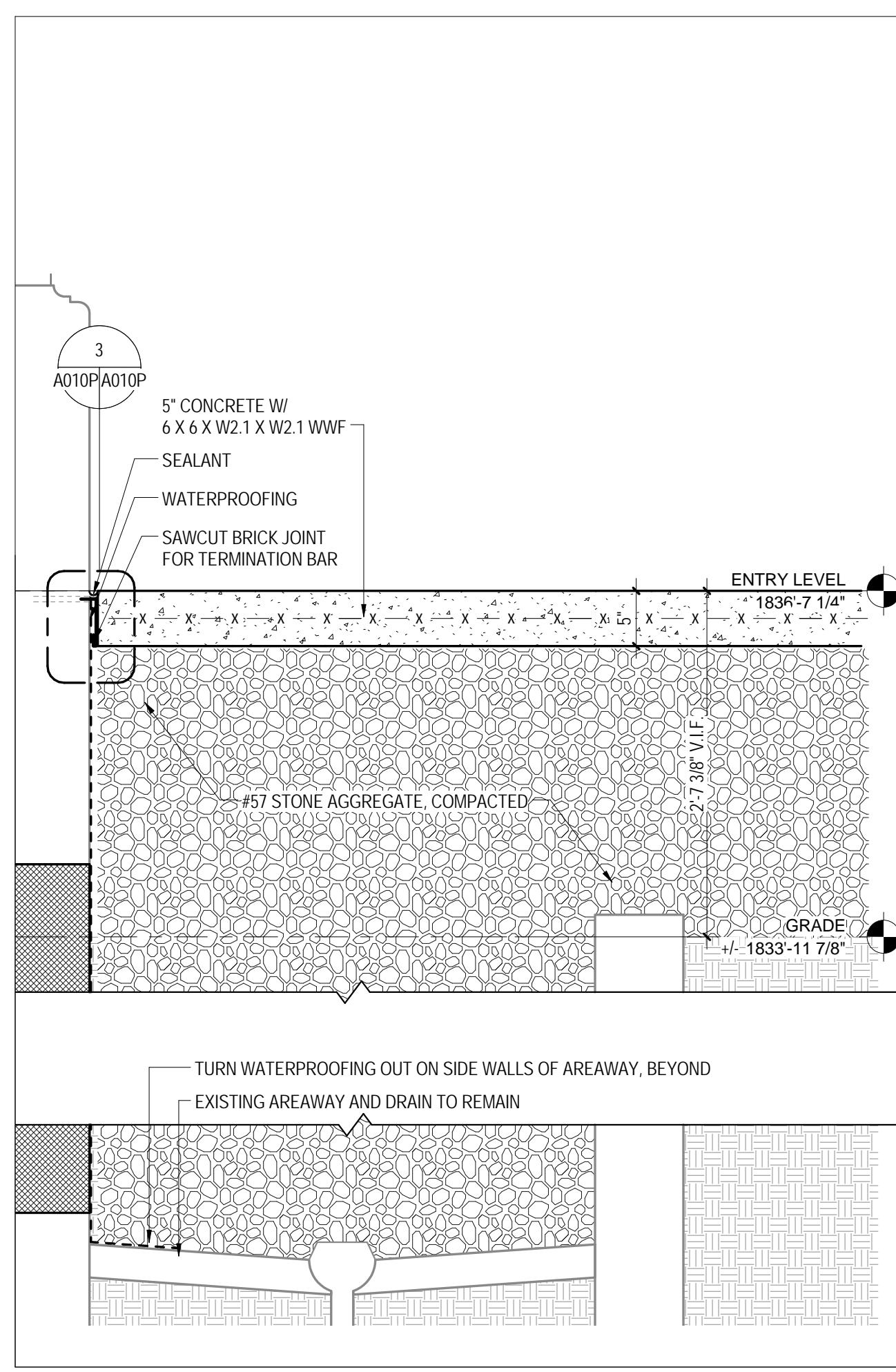
1 SITE PLAN
A011P/A010P 1' = 1'-0"

GENERAL NOTES - SITE PLAN

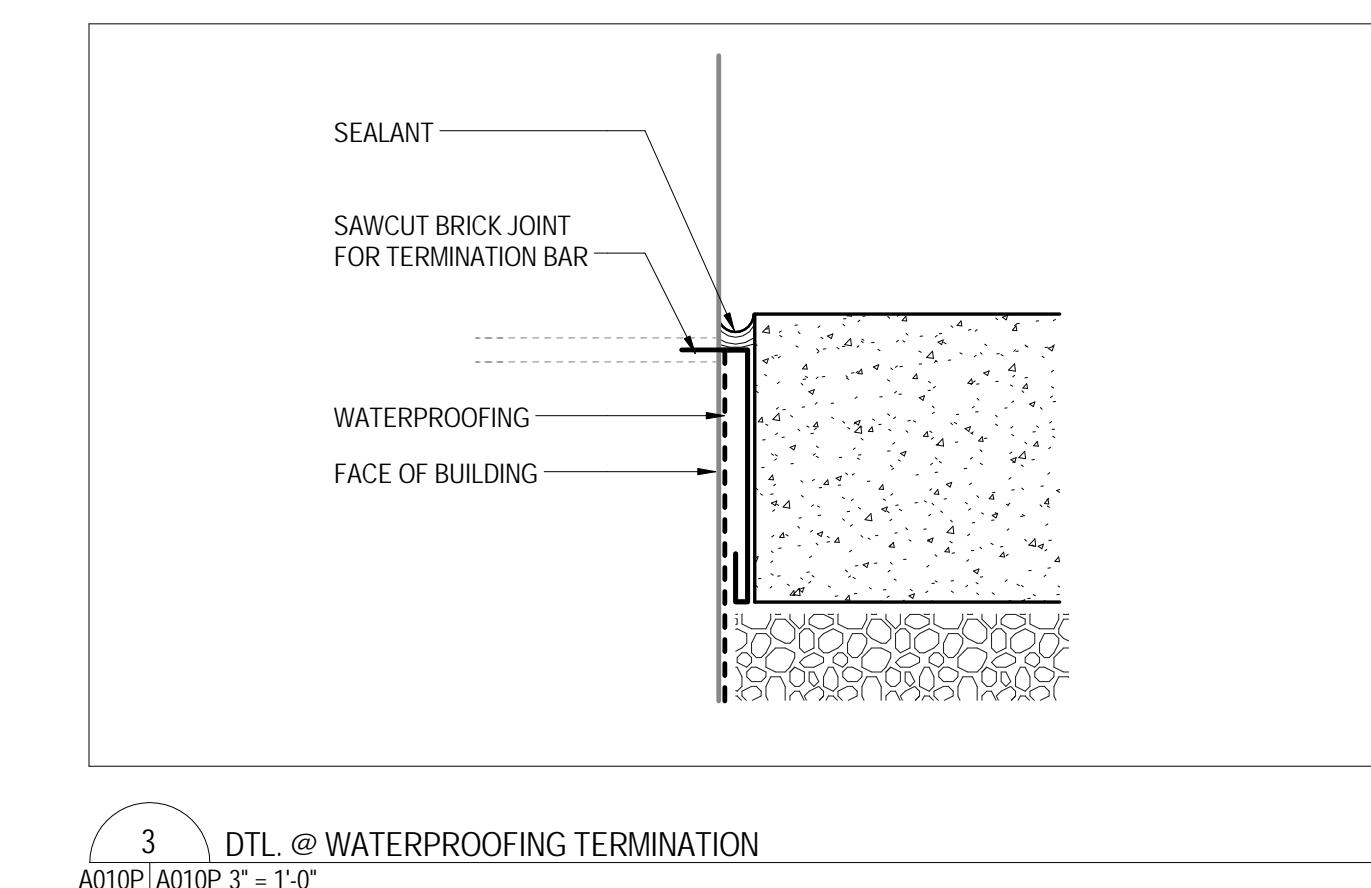
- ALL EXISTING CONDITIONS ARE SHOWN IN GRAY TONE.
- CONSTRUCTION FENCING BY OWNER ON THE EAST SIDE OF RESIDENCE HALLS SHALL BE LOCATED TO MAINTAIN THE EXISTING PEDESTRIAN PATH.
- REMOVE AND SALVAGE BUILDING SIGNAGE FOR FUTURE REINSTALLATION. DEMOLISH BRICK / PRECAST SIGN BASE.

SITE PLAN LEGEND

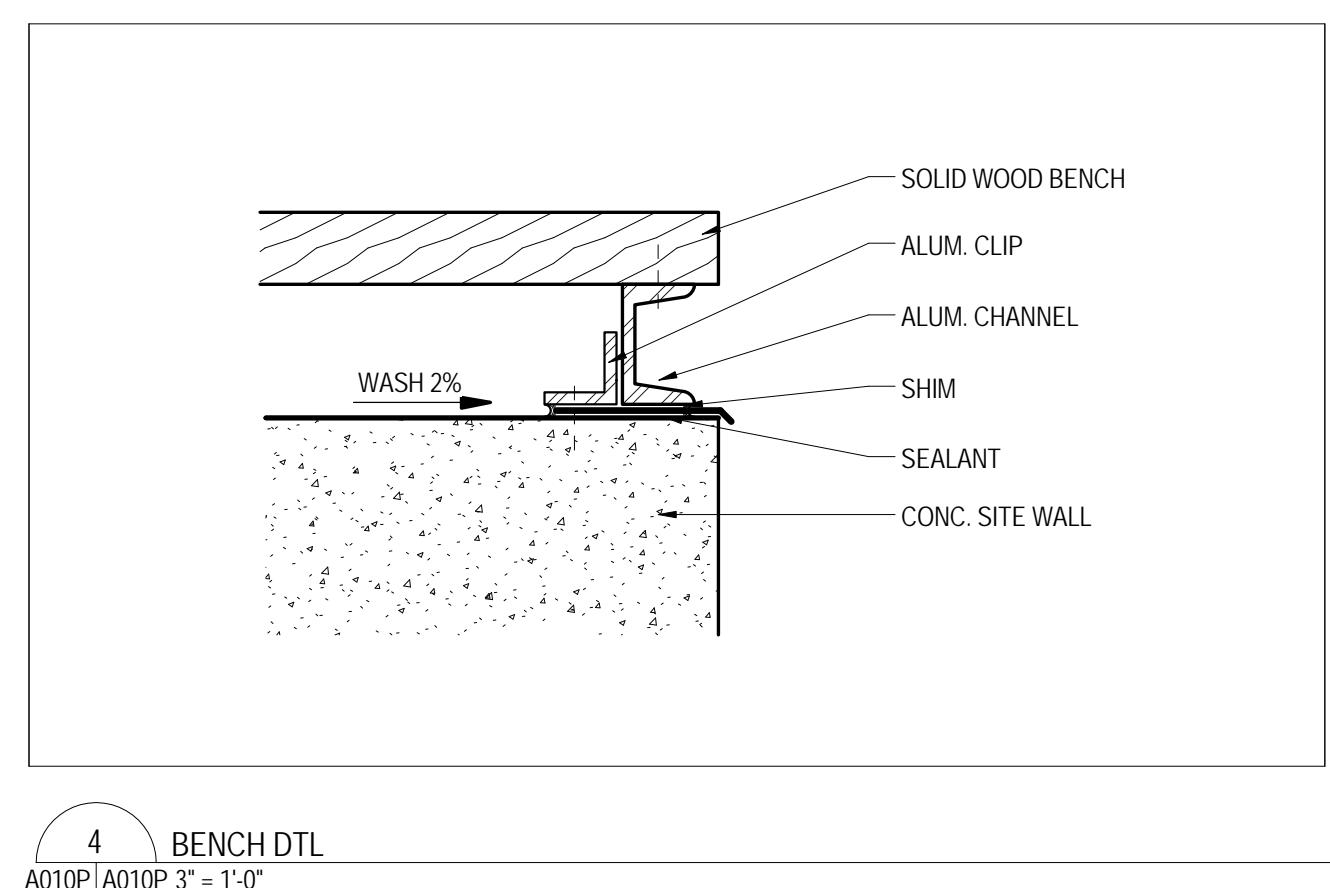
- ACCESSIBLE ROUTE
- PEDESTRIAN ROUTE
- REMOVE AND REPLACE SIDEWALK IN COMPLETE SECTIONS (DO NOT TRENCH). COORDINATE LOCATIONS W/ MEP



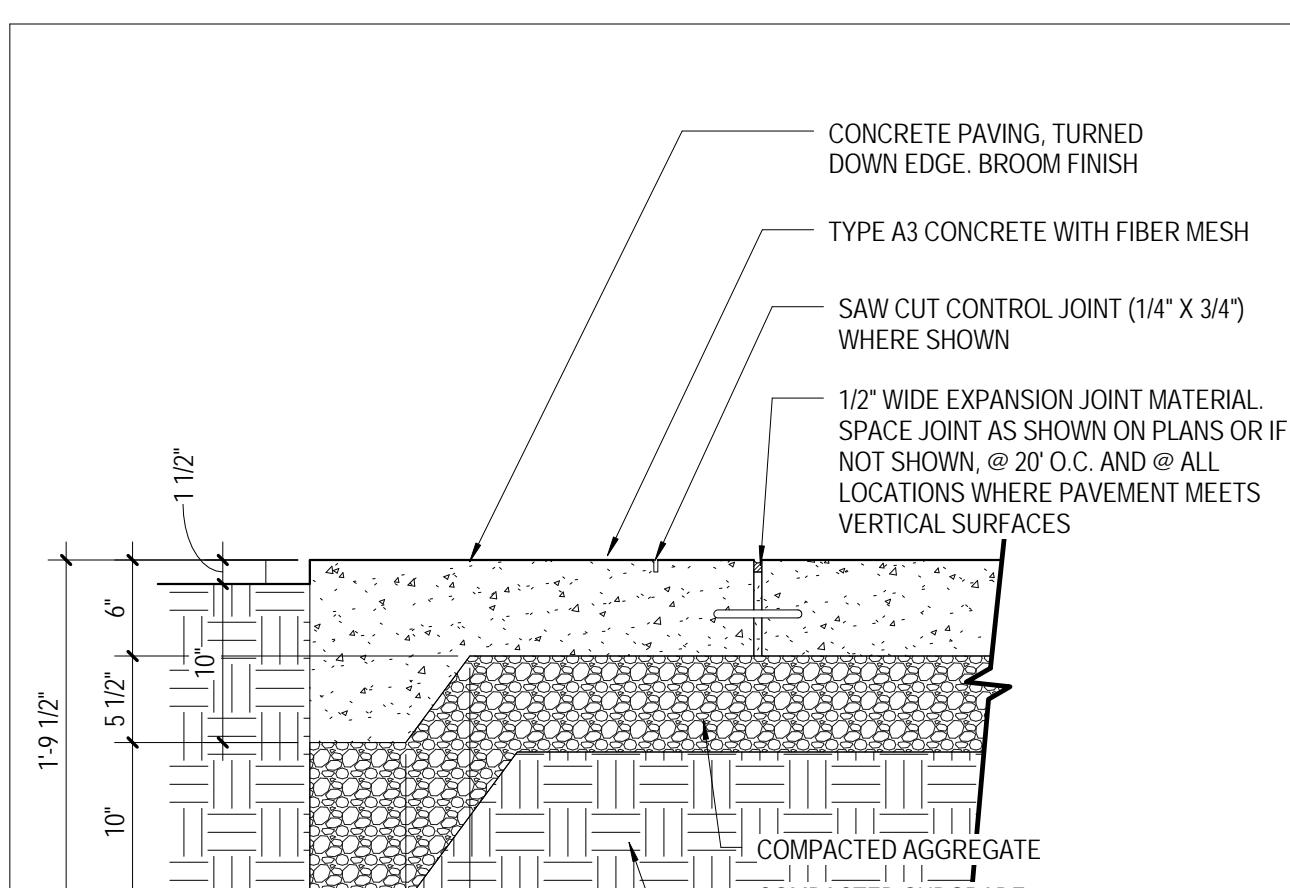
16 Detail 10
A011P/A010P 1' = 1'-0"



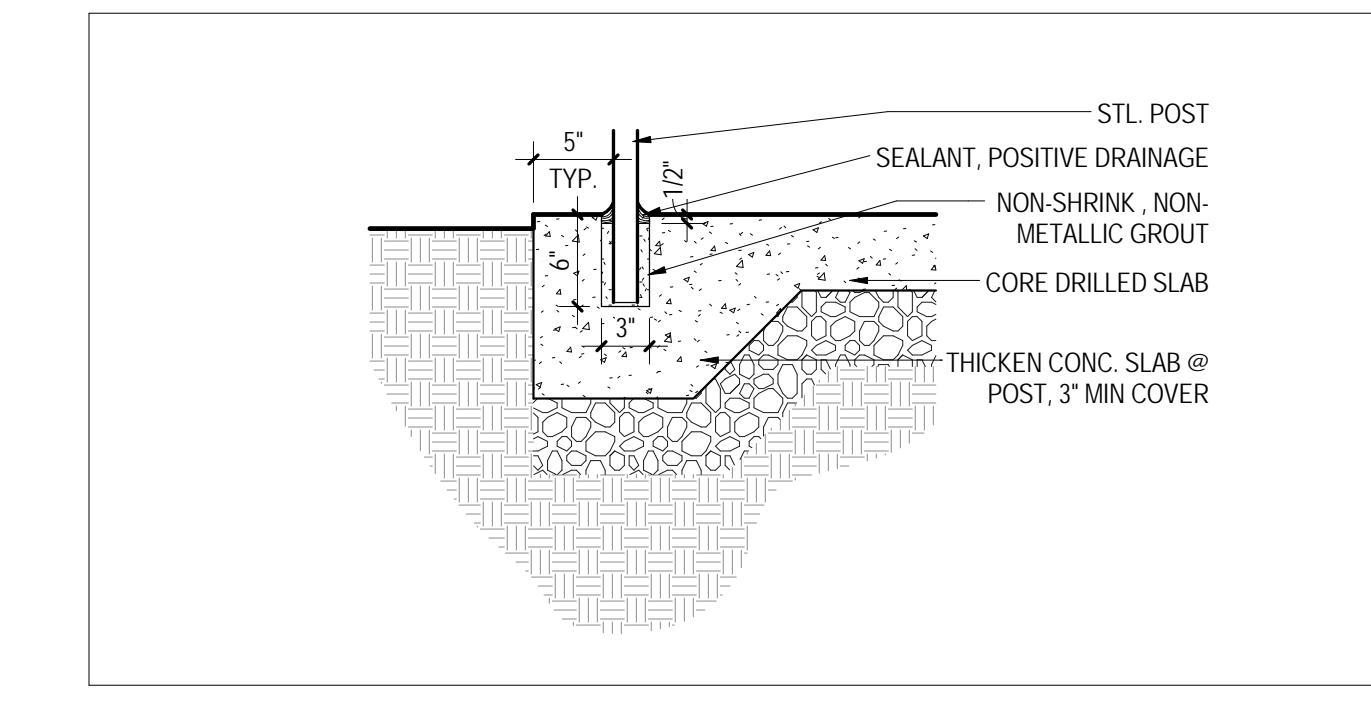
3 DTL. @ WATERPROOFING TERMINATION
A010P/A010P 3' = 1'-0"



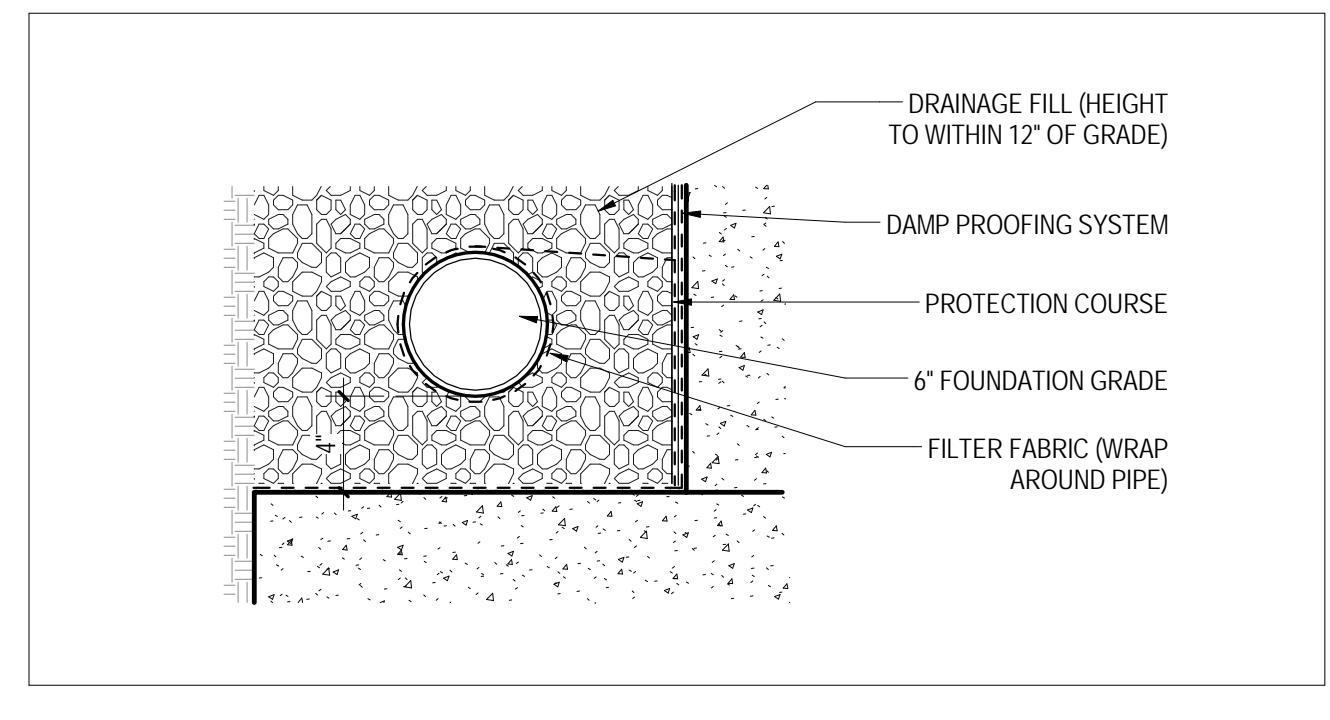
4 BENCH DTL.
A010P/A010P 3' = 1'-0"



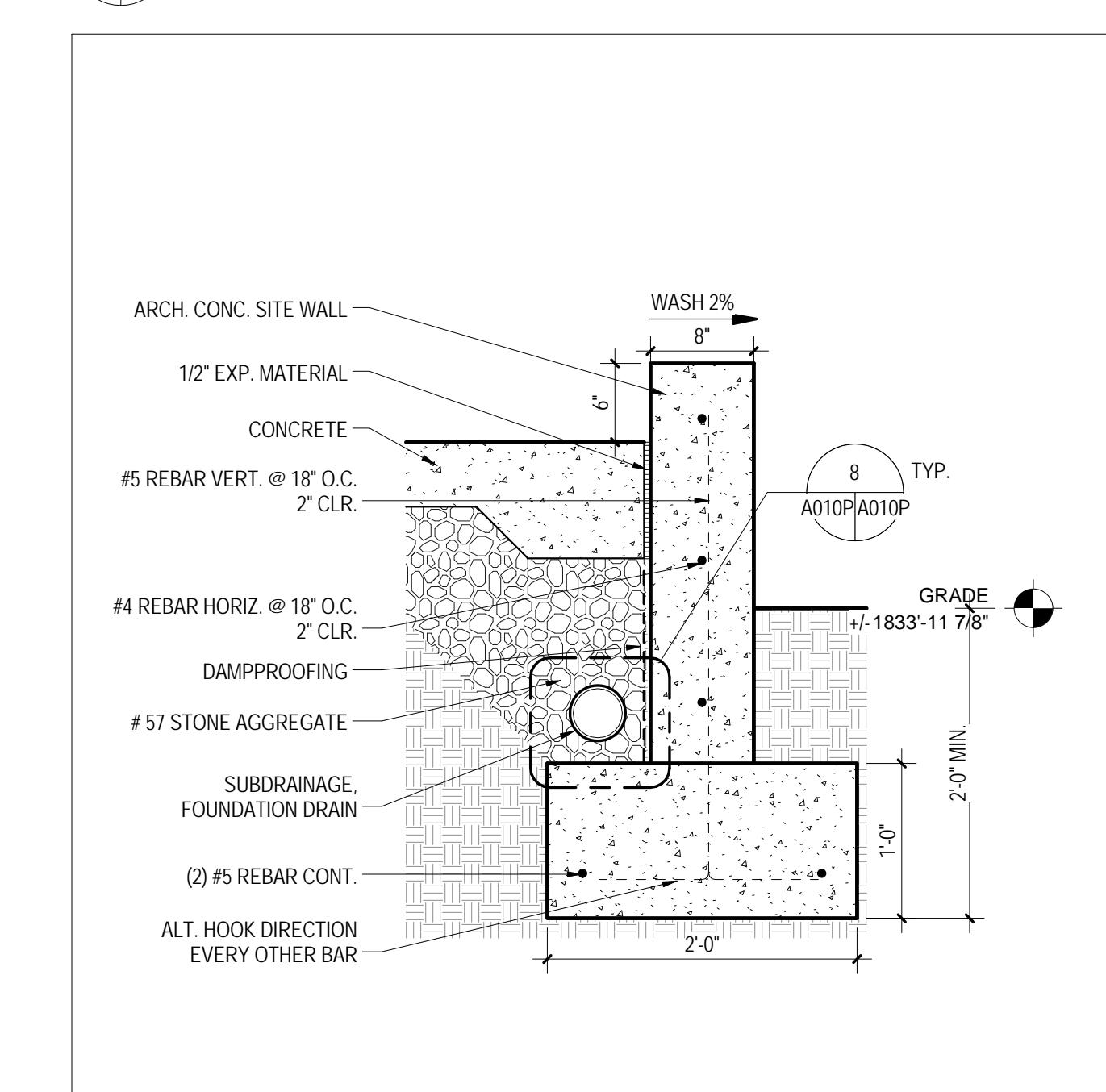
5 TYPICAL PAVING SECTION
A010P/A010P 1' = 1'-0"



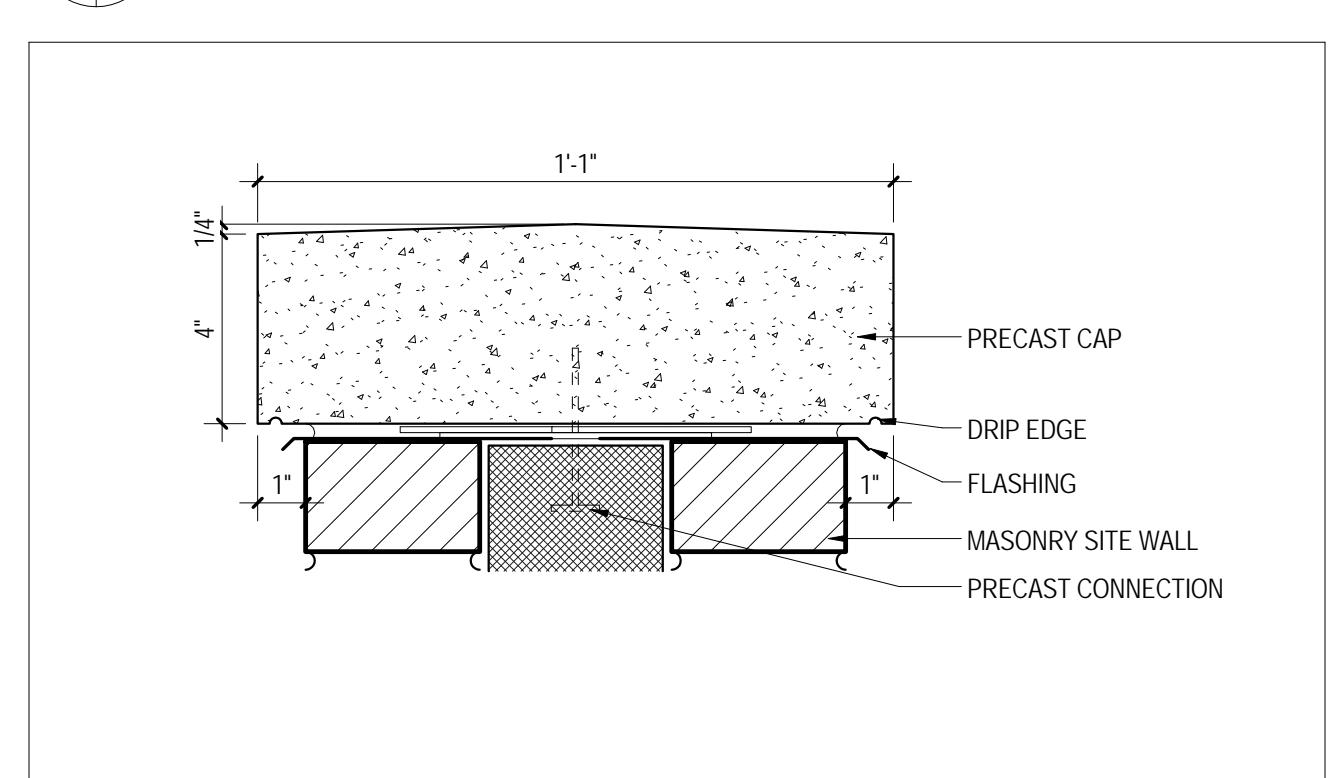
7 TYP. POST MOUNT @ EDGE OF PAVING
A010P 1' = 1'-0"



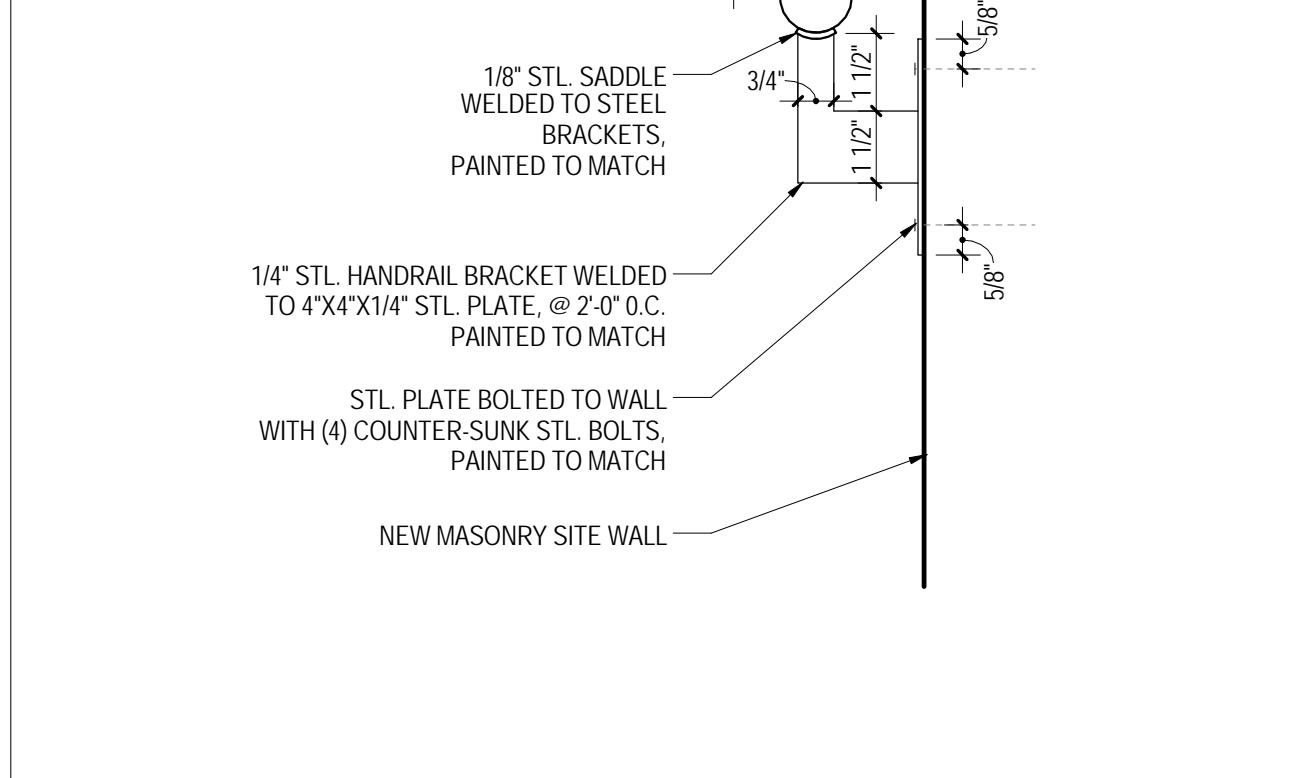
8 FOUNDATION DRAIN
A010P/A010P 1 1/2' = 1'-0"



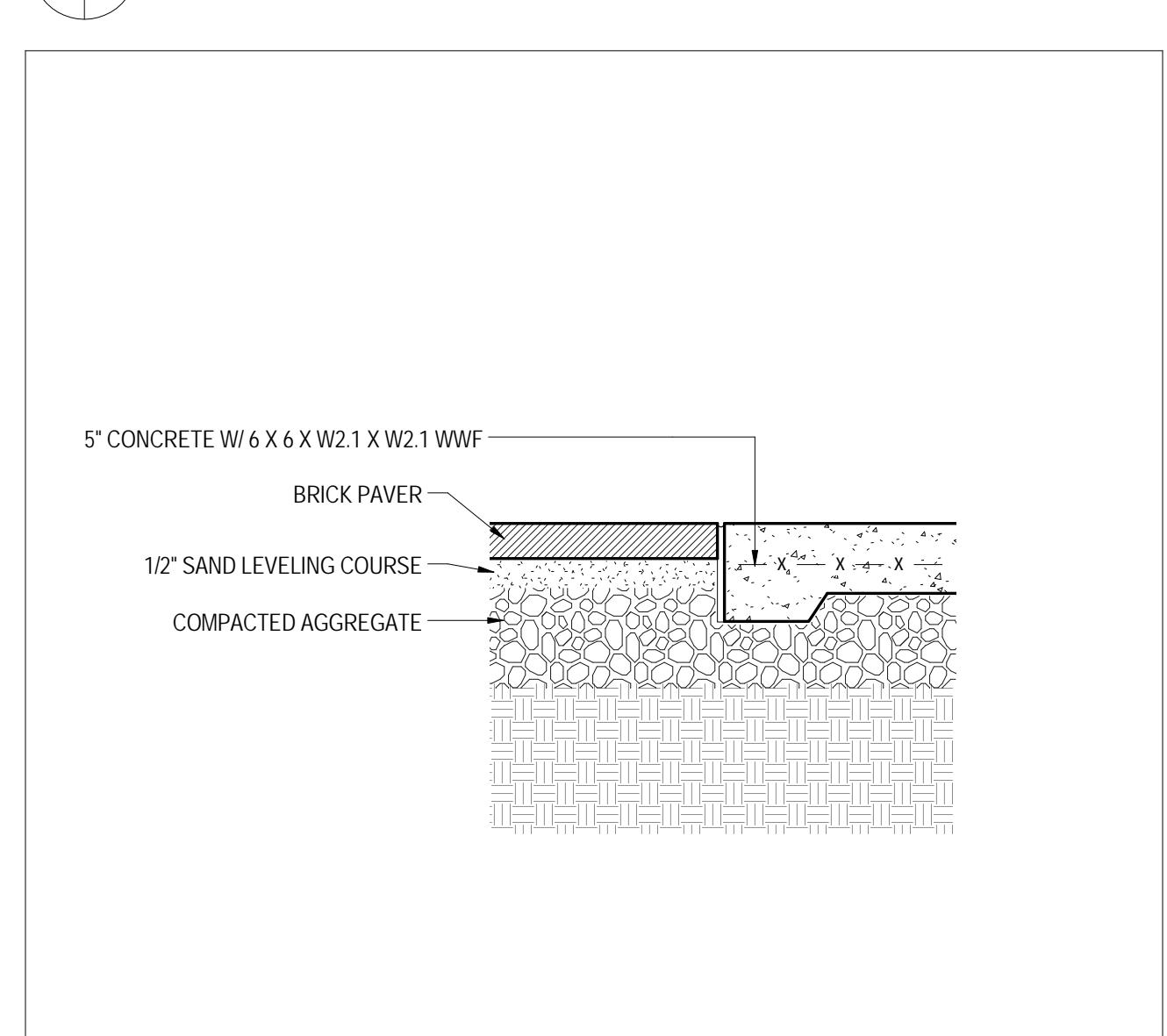
2 CONC. SITE WALL
A011P/A010P 1' = 1'-0"



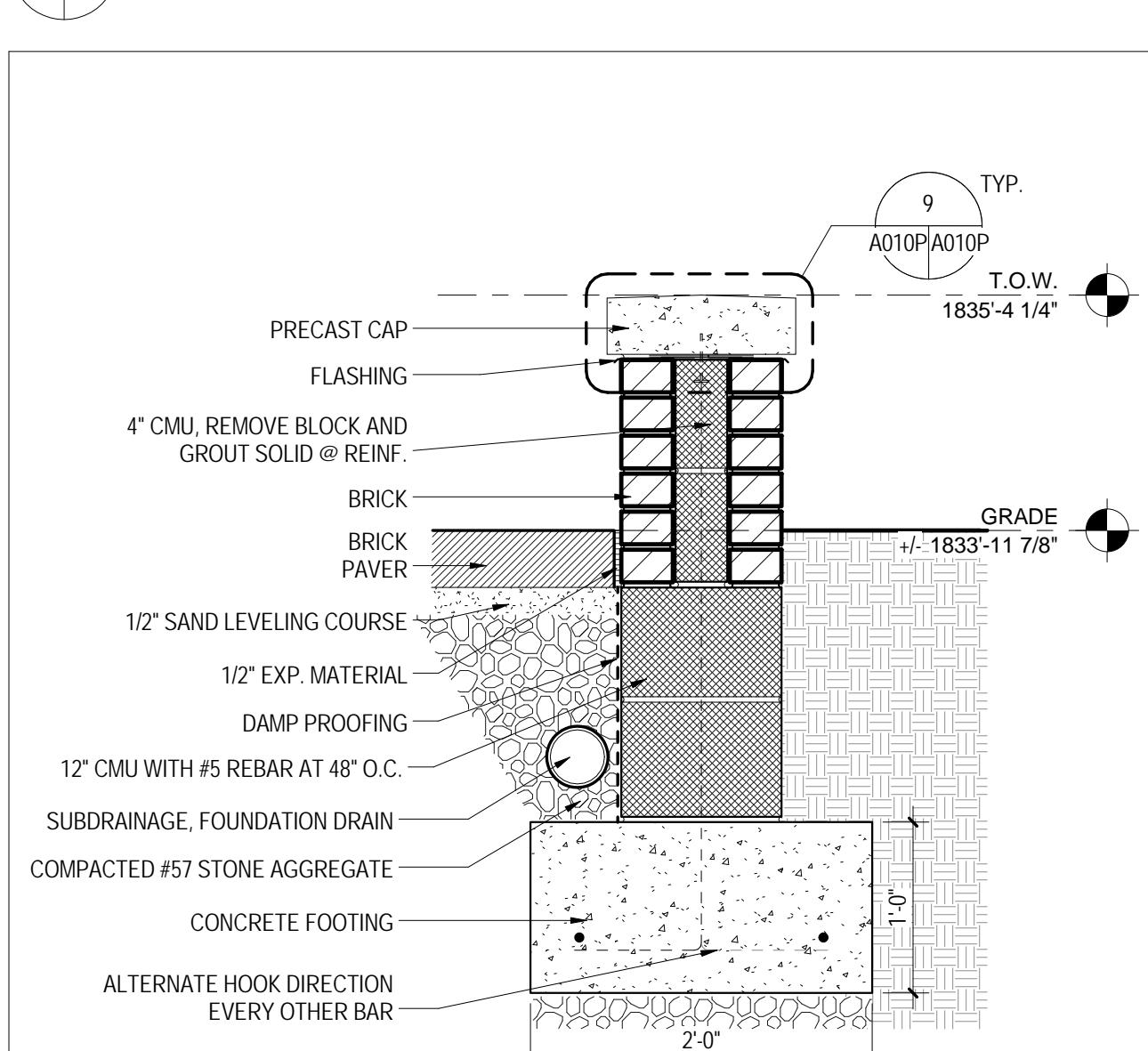
9 TYP. PRECAST CAP DTL
A010P/A010P 3' = 1'-0"



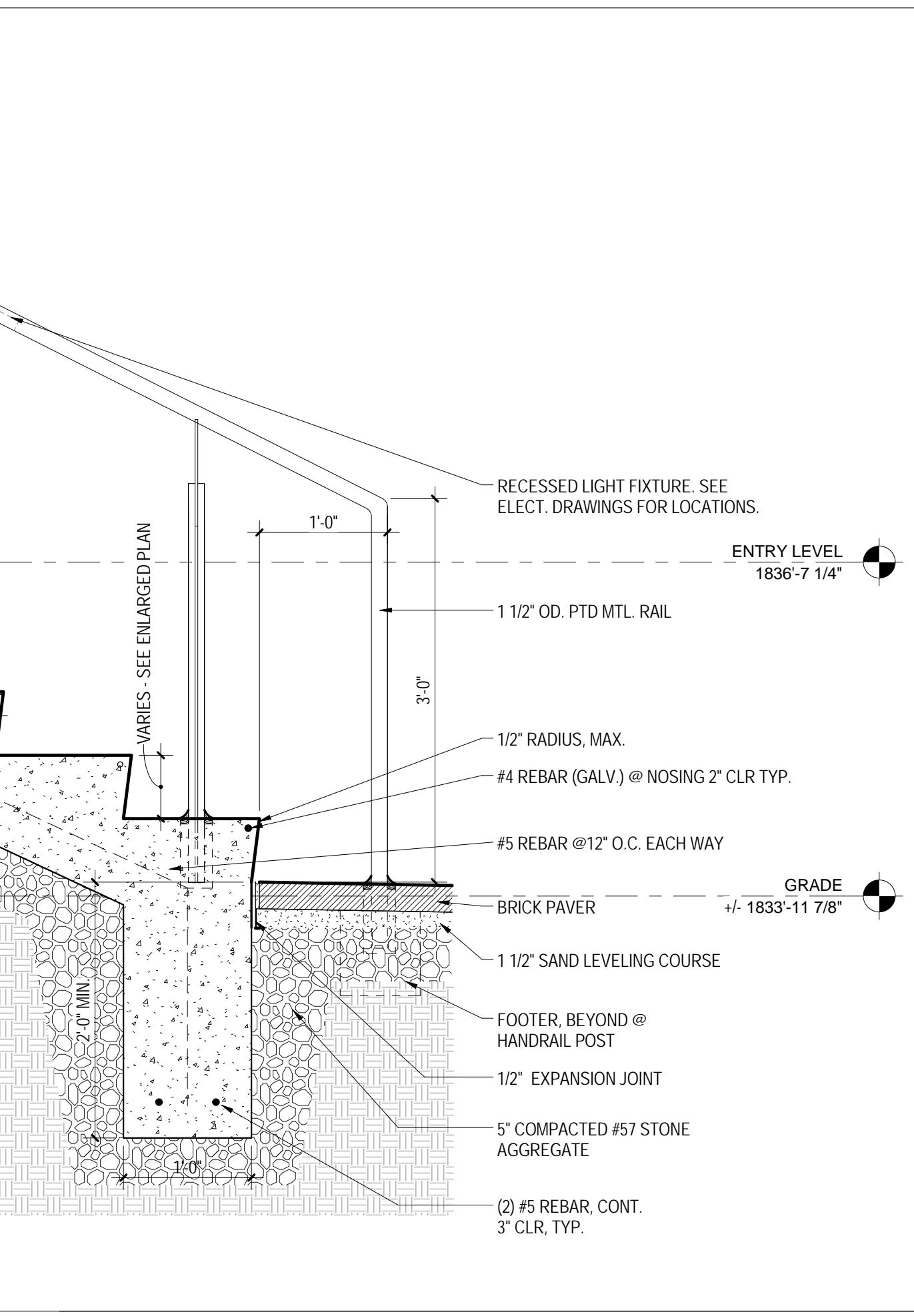
10 EXTERIOR HANDRAIL DETAIL
A011P/A010P 3' = 1'-0"



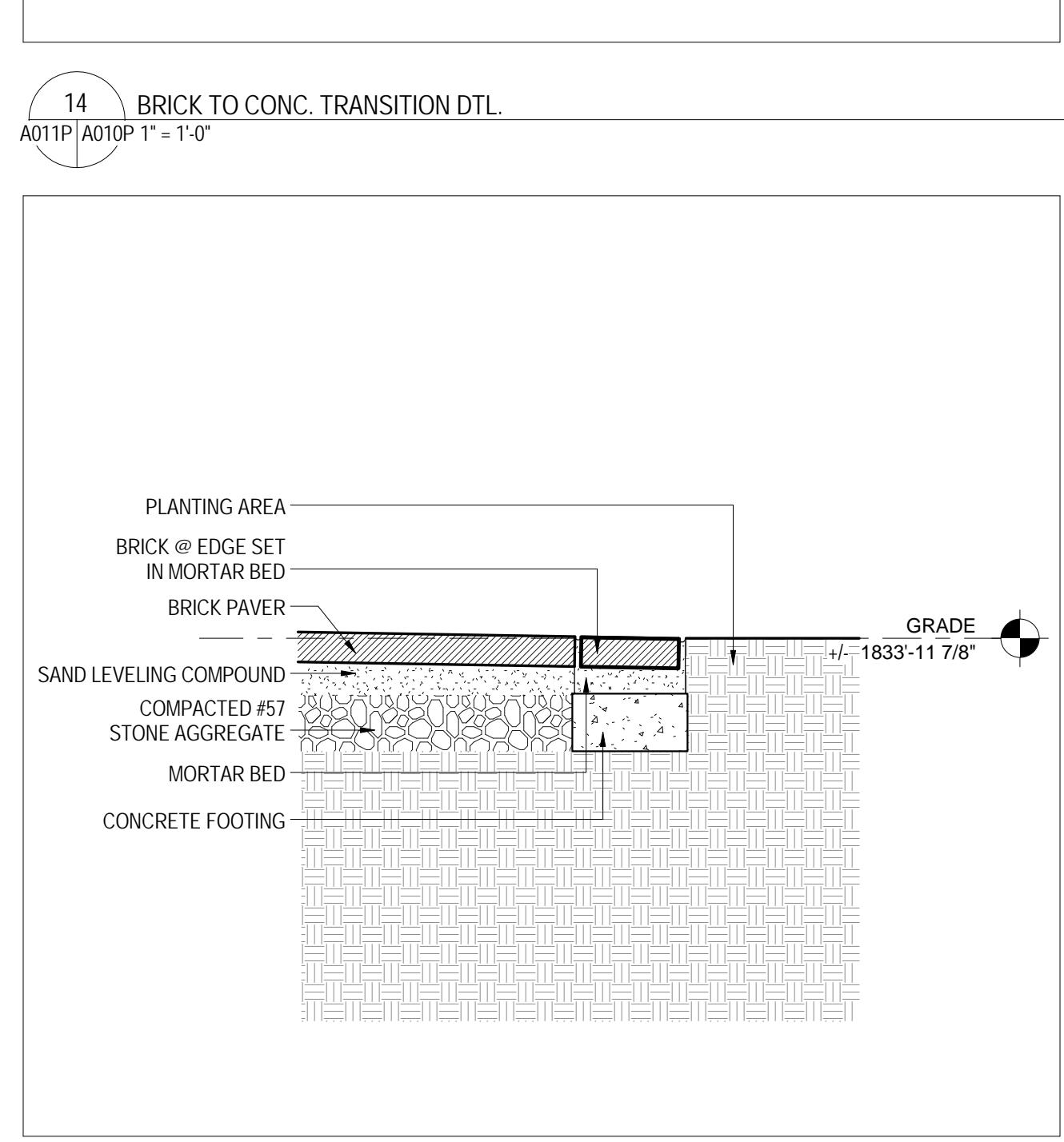
14 BRICK TO CONC. TRANSITION DTL.
A011P/A010P 1' = 1'-0"



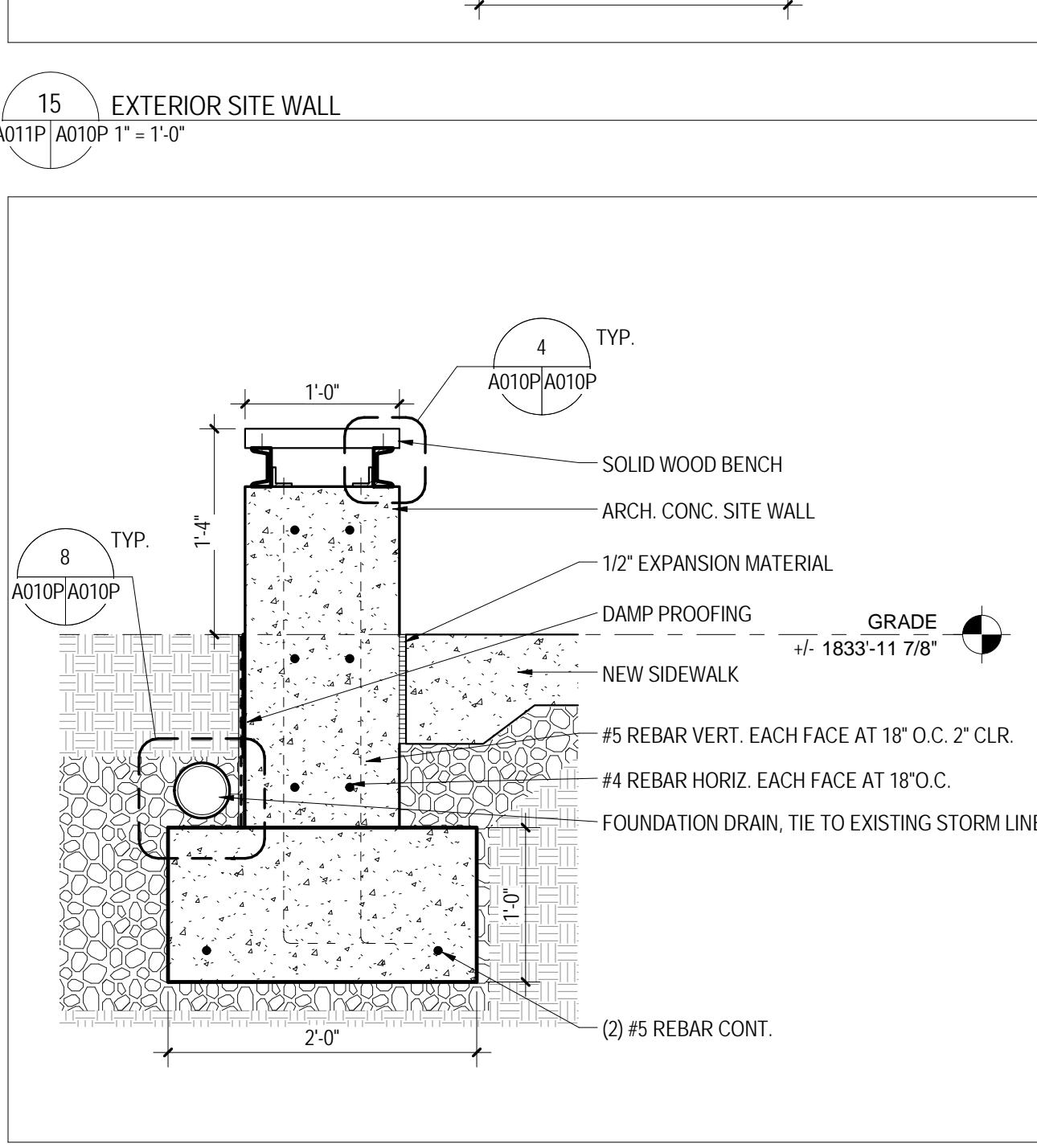
15 EXTERIOR SITE WALL
A011P/A010P 1' = 1'-0"



17 TYP. TERRACE SECTION @ STAIRS
A011P/A010P 1' = 1'-0"



19 BRICK TO PLANTING AREA TRANSITION
A011P/A010P 1' = 1'-0"



20 BENCH DETAIL
A011P/A010P 1' = 1'-0"

ARCHITECTURAL SITE PLAN AND DETAILS - POCAHONTAS

A010P

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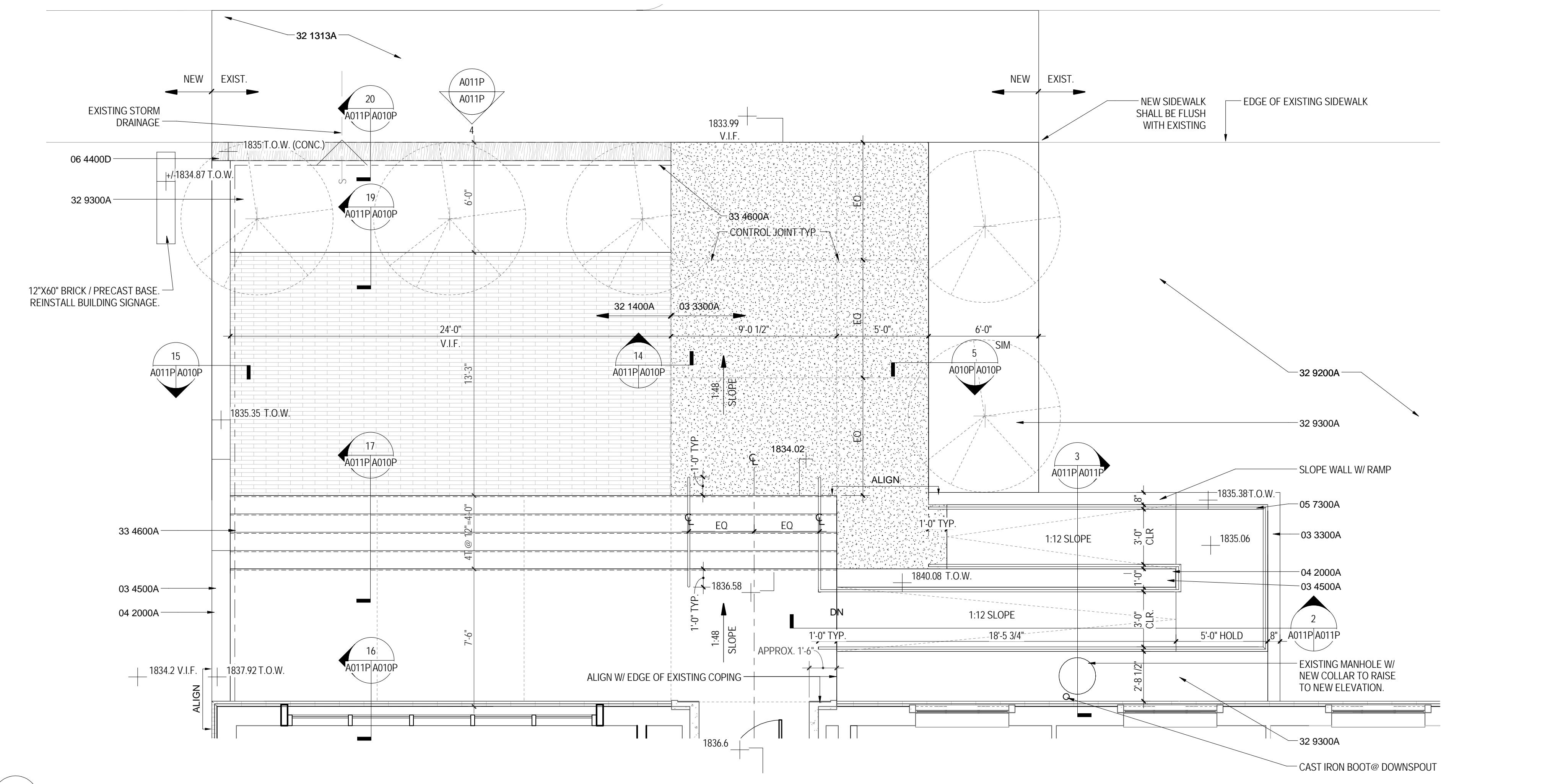
RENOVATION OF THREE
RESIDENCE HALLS
POCAHONTAS, BOLLING,
& DRAPER HALLS

RADFORD UNIVERSITY
RADFORD, VIRGINIA

Project Code
VMDO Project Number
217-17565-000
1115



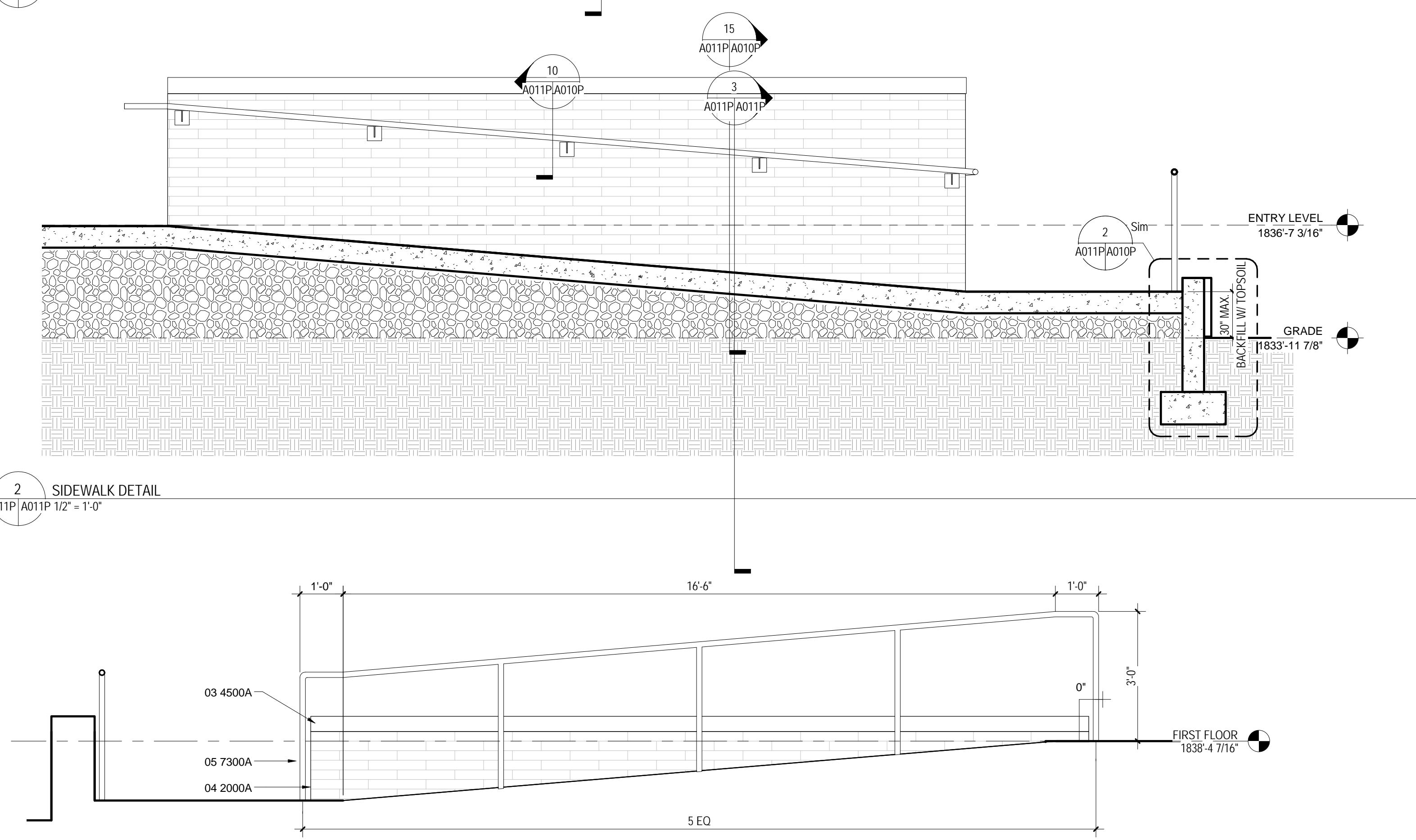
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Drawn By
MLW / ARS
DEM / MBW



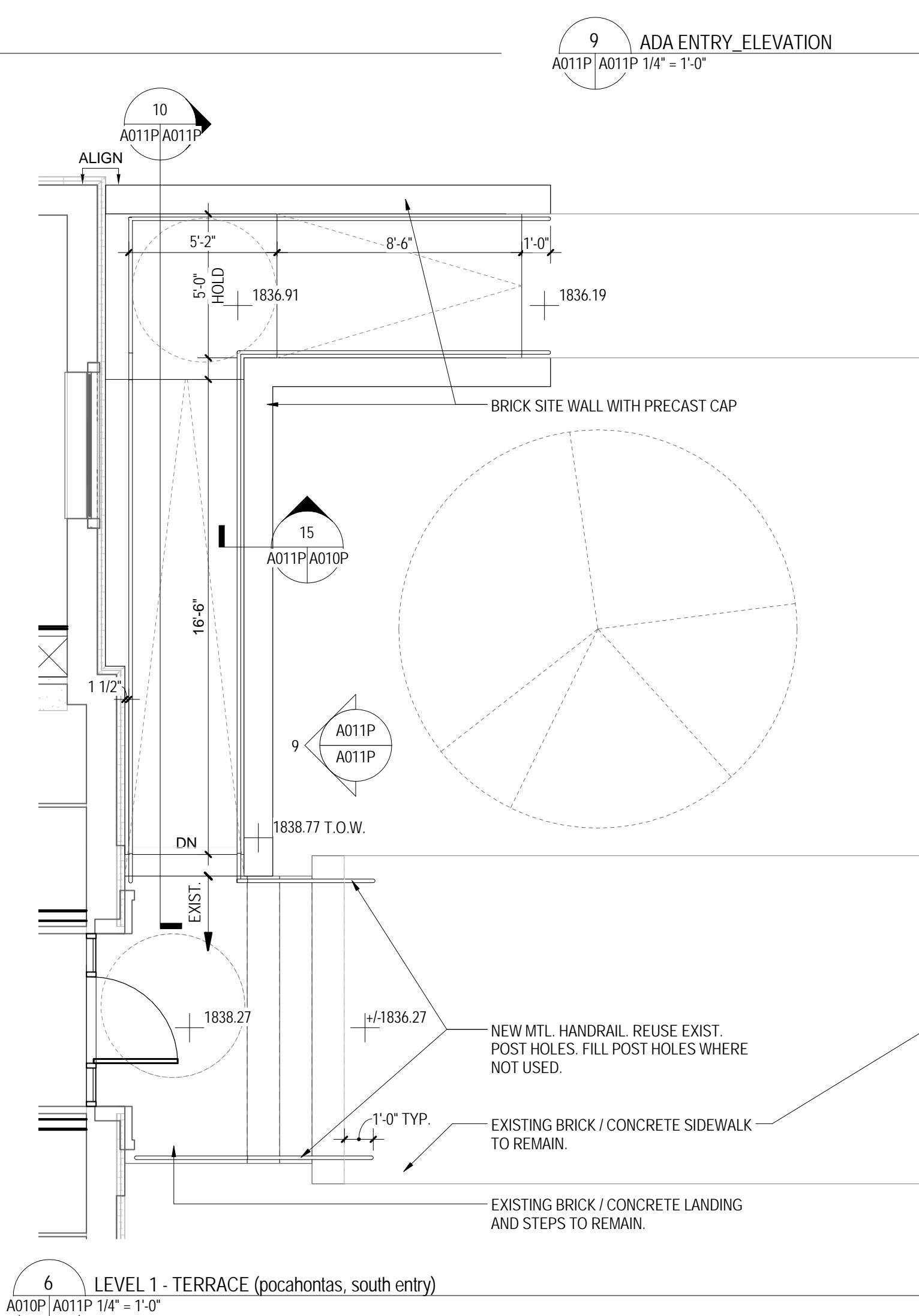
1 LEVEL 1 - TERRACE (pocahontas)
A011P/A011P 1/4" = 1'-0"



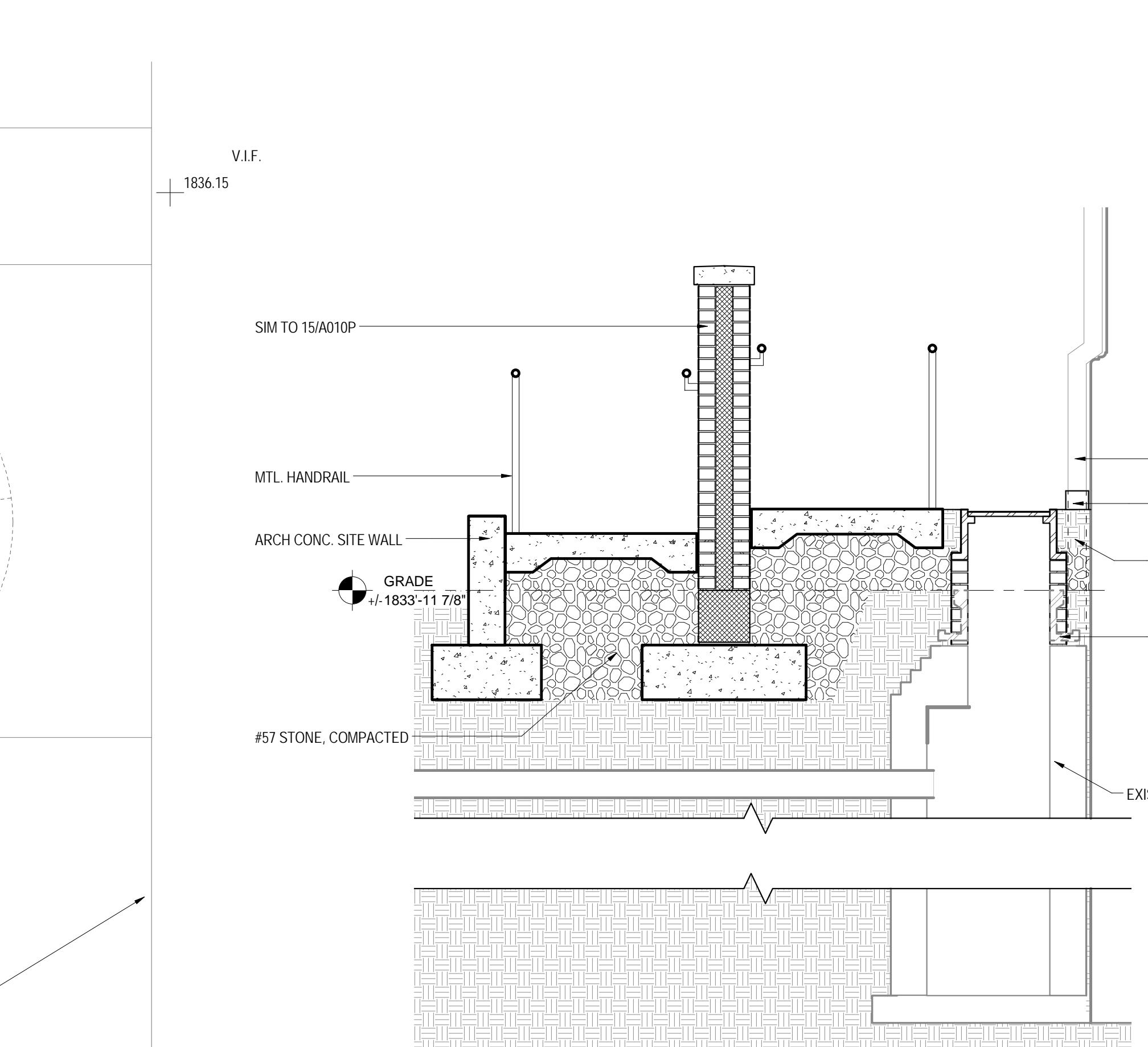
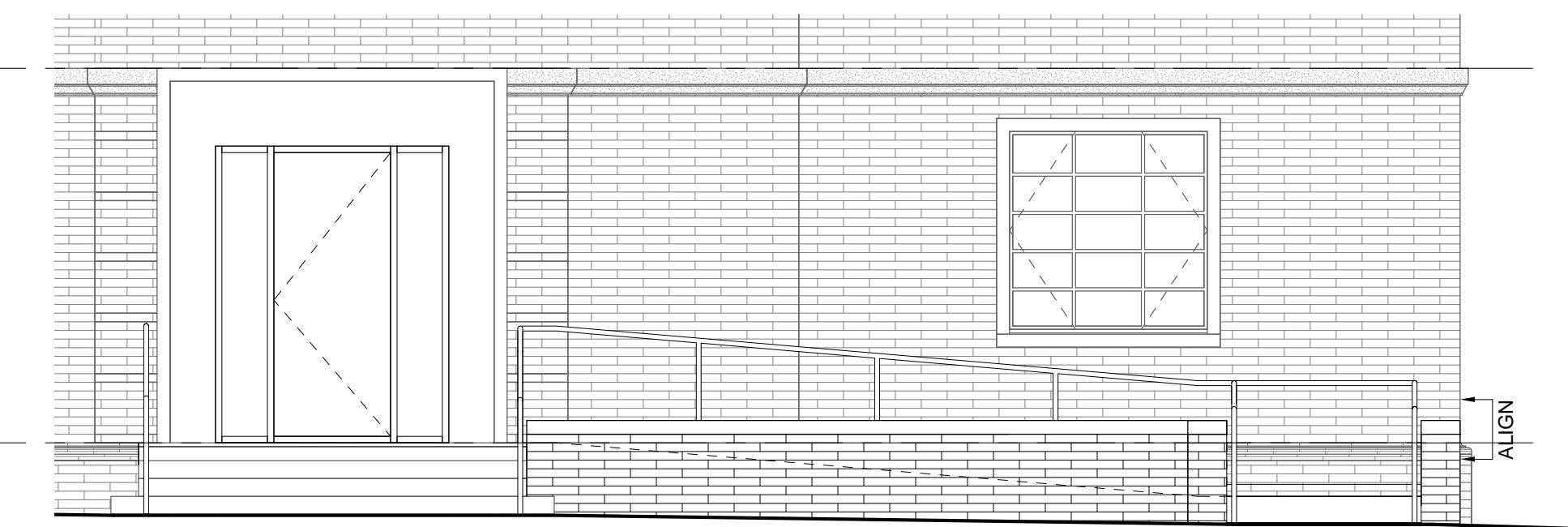
4 TERRACE_POCOHONTAS STAIRS
A011P/A011P 1/4" = 1'-0"



2 SIDEWALK DETAIL
A011P/A011P 1/2" = 1'-0"



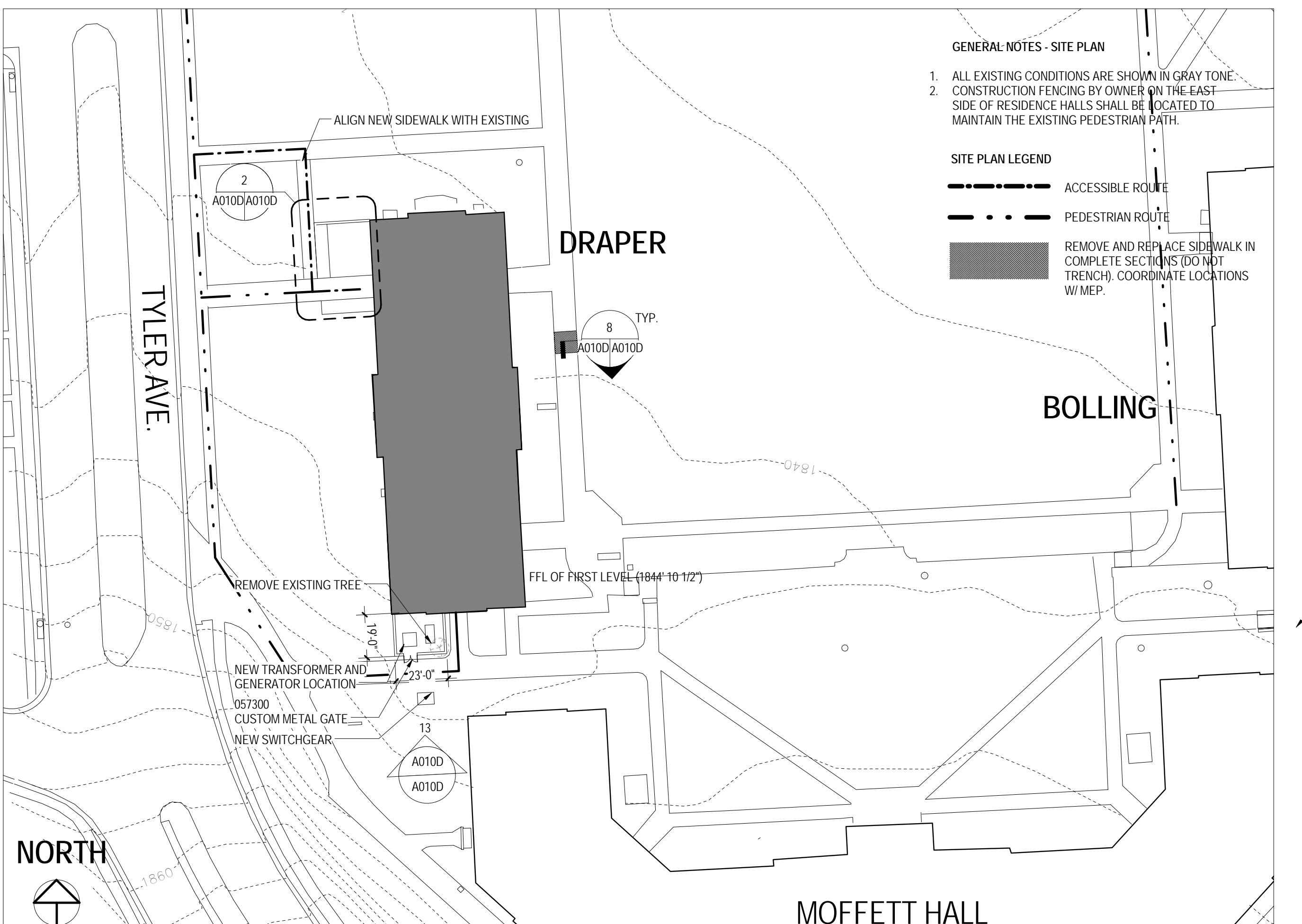
6 LEVEL 1 - TERRACE (pocahontas, south entry)
A011P/A011P 1/4" = 1'-0"



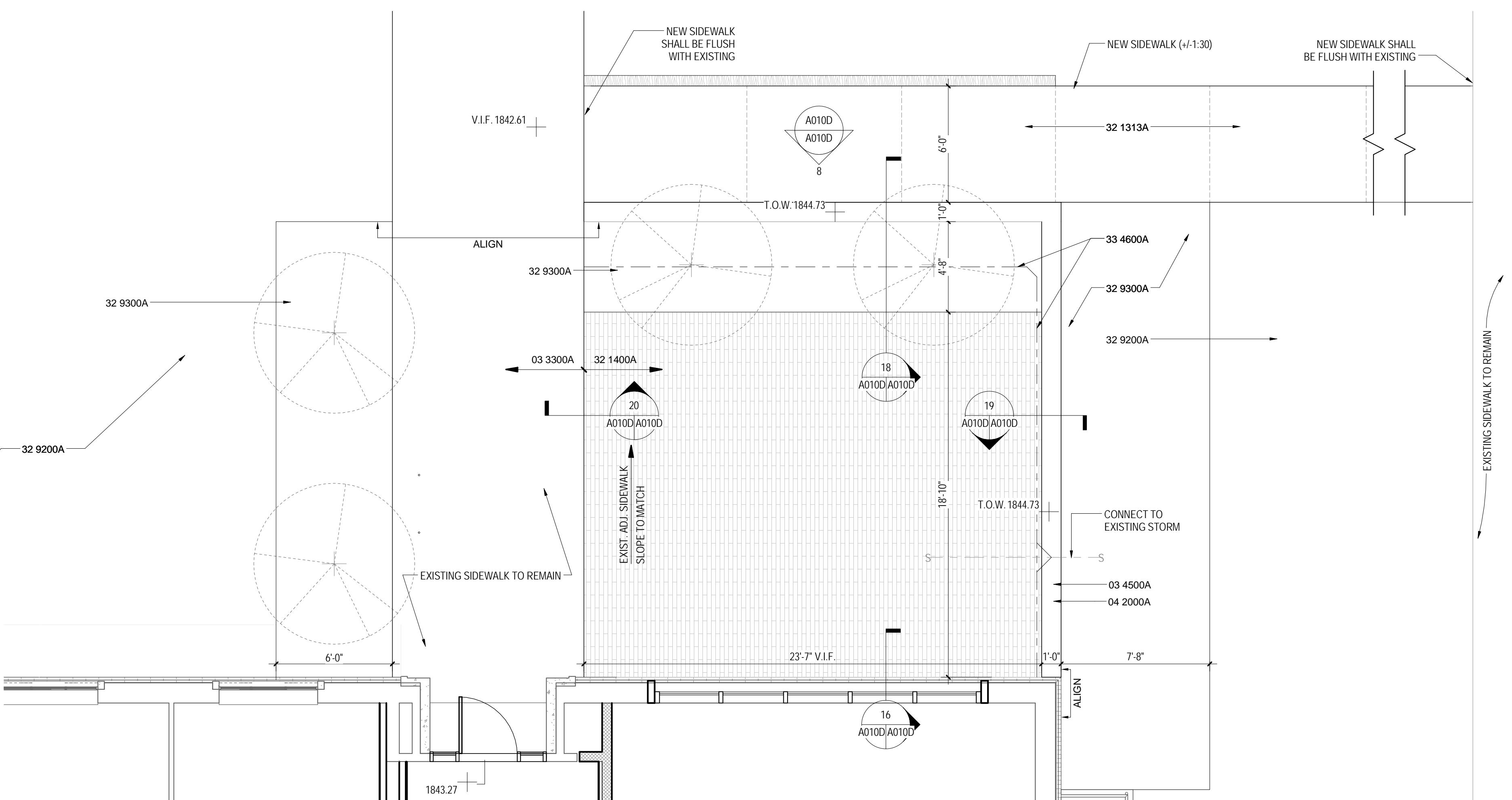
3 DTL @ MANHOLE
A011P/A011P 1/2" = 1'-0"

ENLARGED PLANS AND
TERRACE ELEVATIONS -
POCAHONTAS

A011P



1 SITE PLAN
A010D A010D 1" - 40'-0"



VMDO ARCHITECTS

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ondo.com

The logo consists of the letters R, U, and I stacked vertically in a large serif font. Below them, the words RADFORD and UNIVERSITY are stacked vertically in a smaller, bold, sans-serif font.

RENOVATION OF THREE RESIDENCE HALLS POCAHONTAS, BOLLING, & DRAPER HALLS

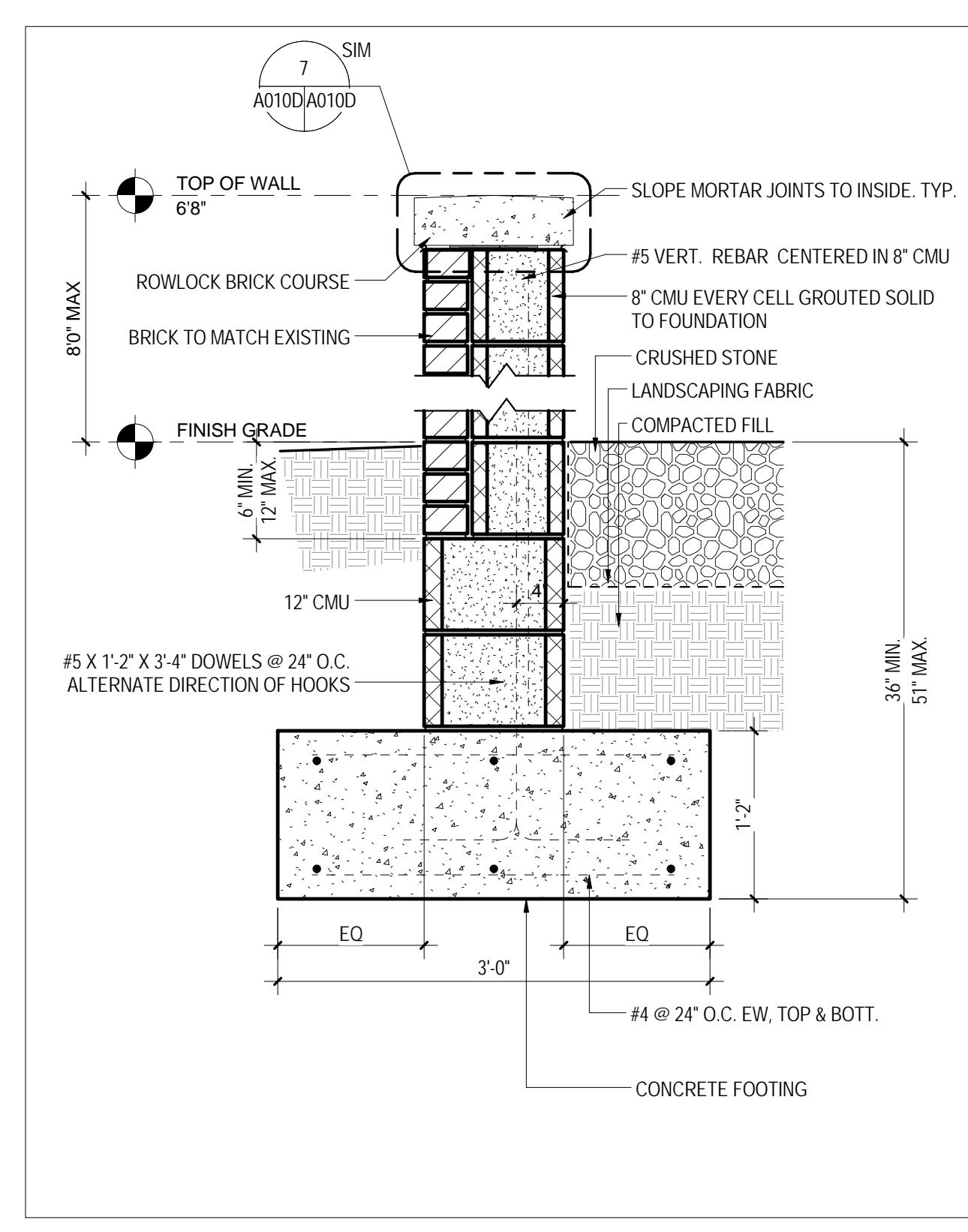
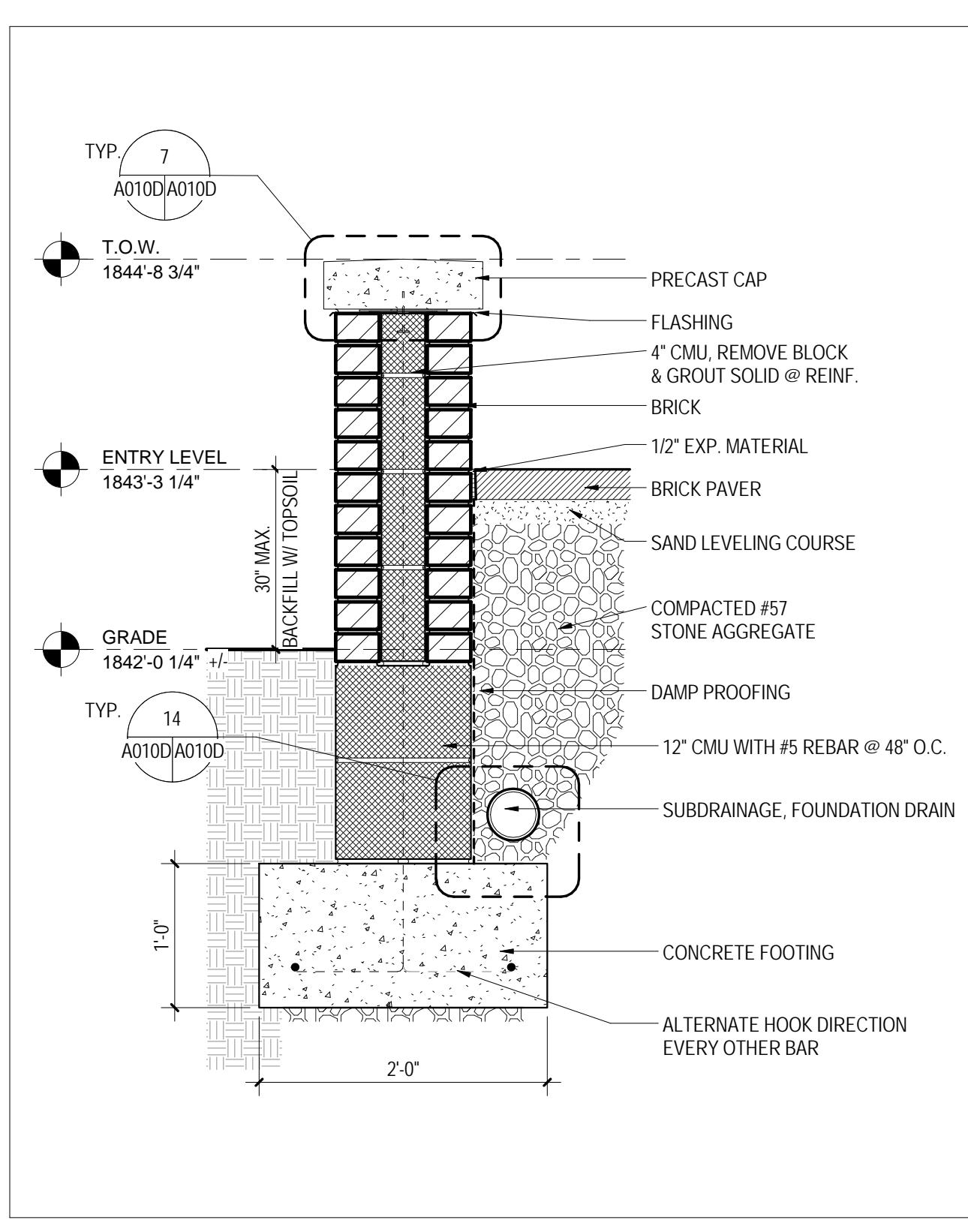
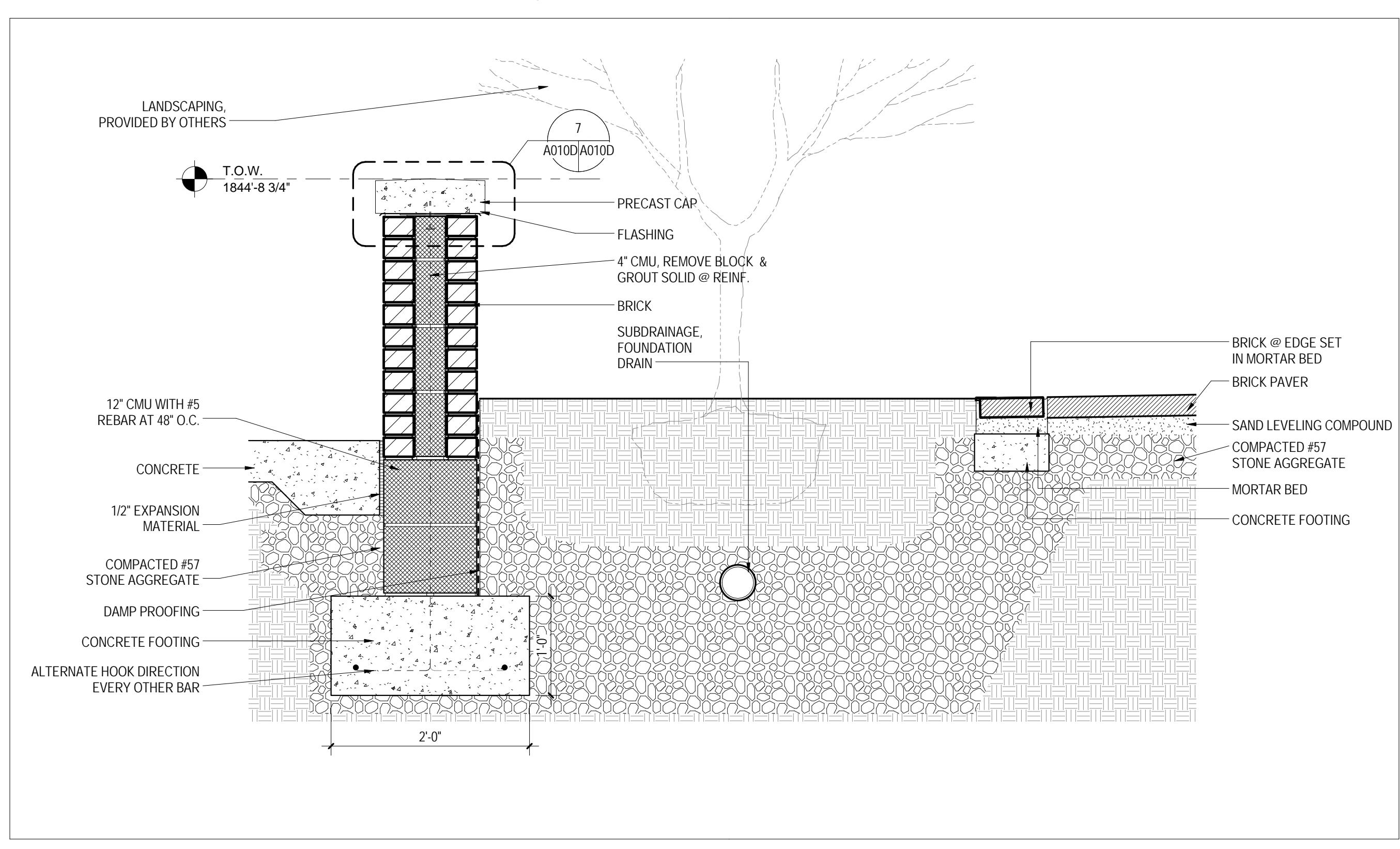
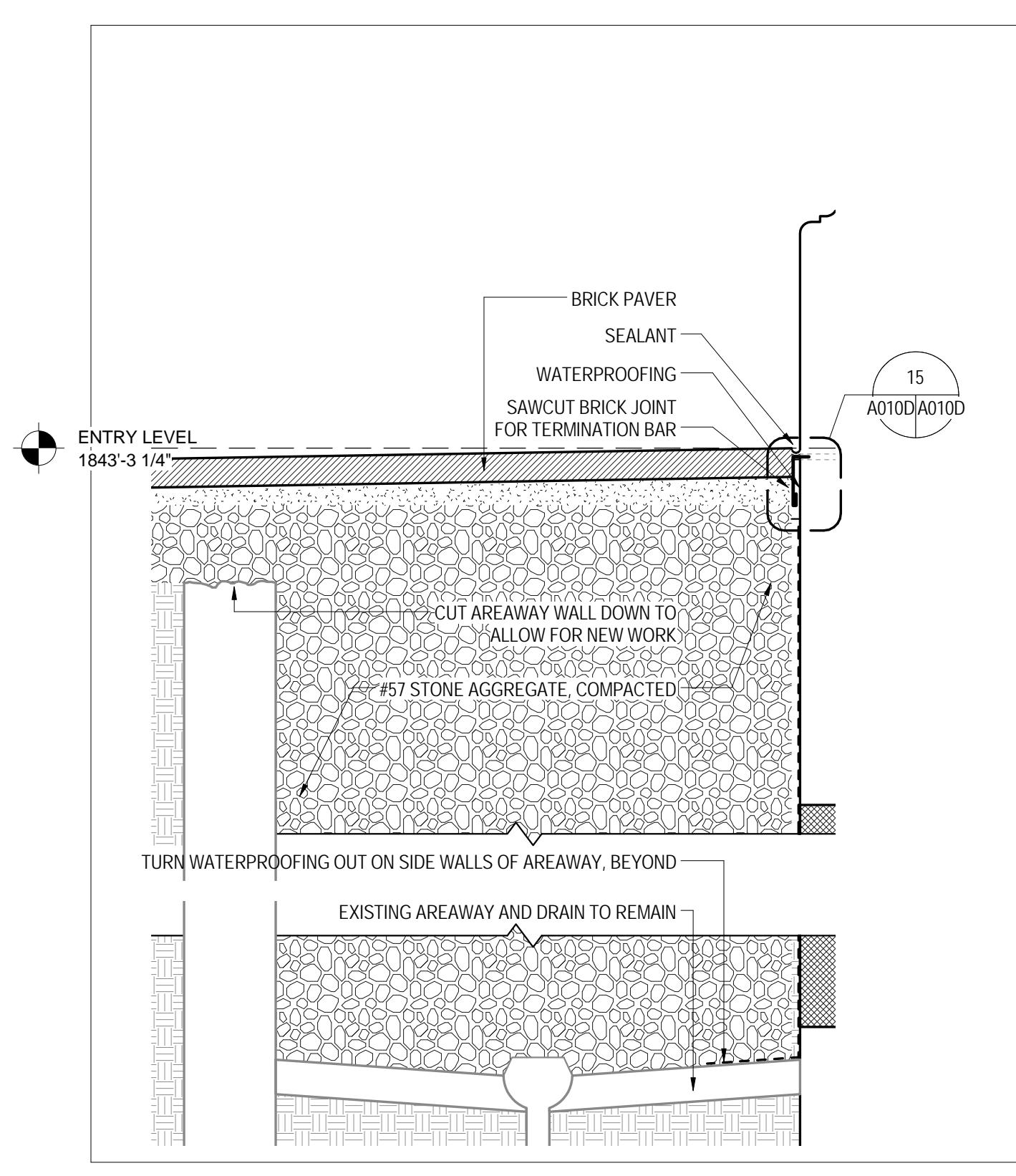
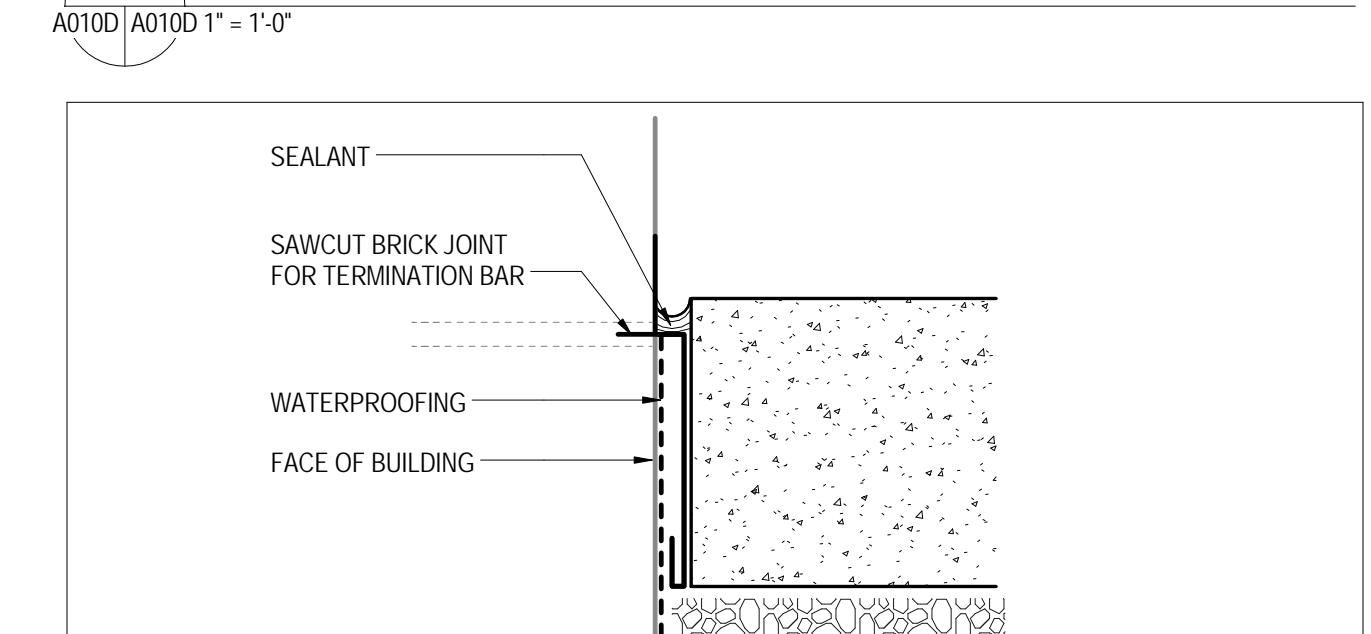
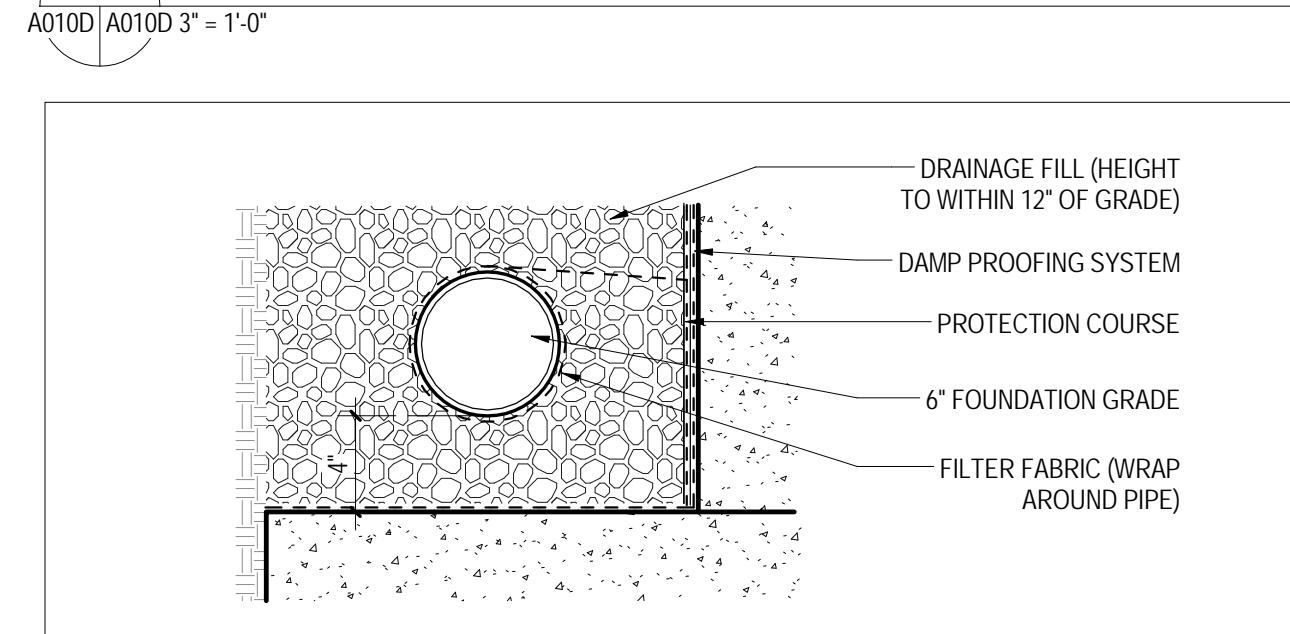
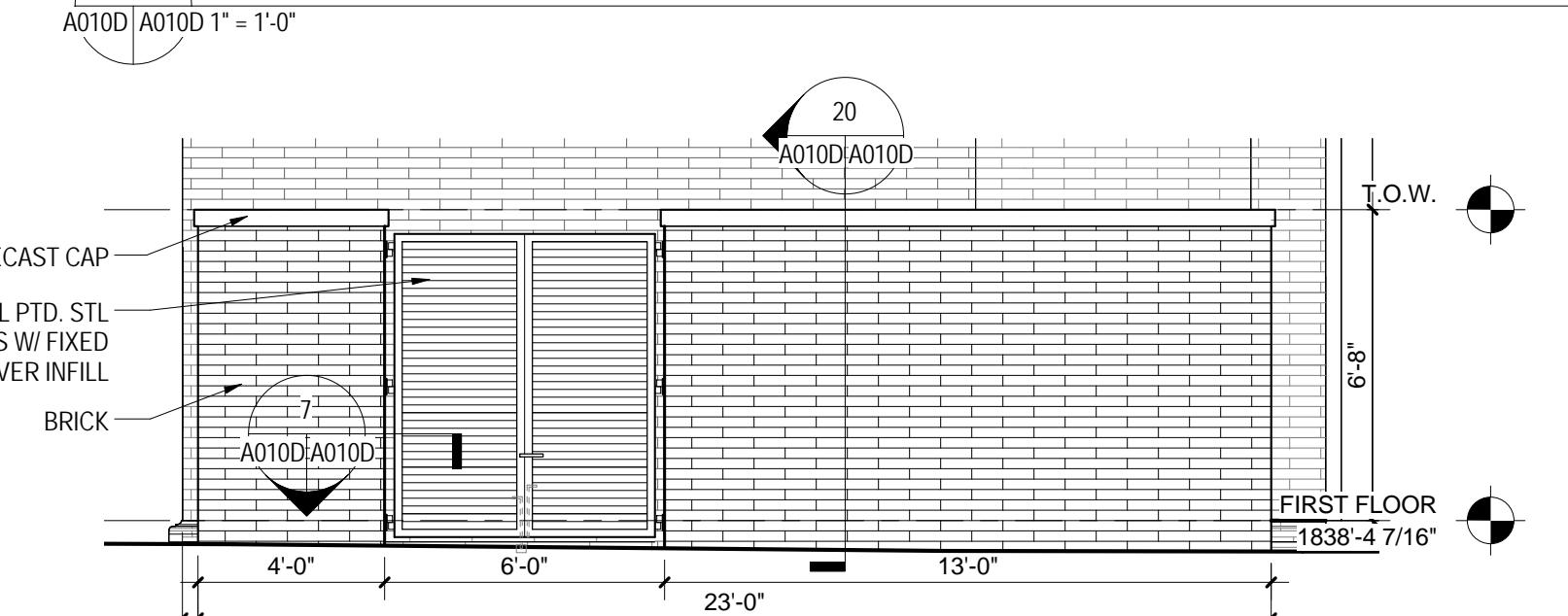
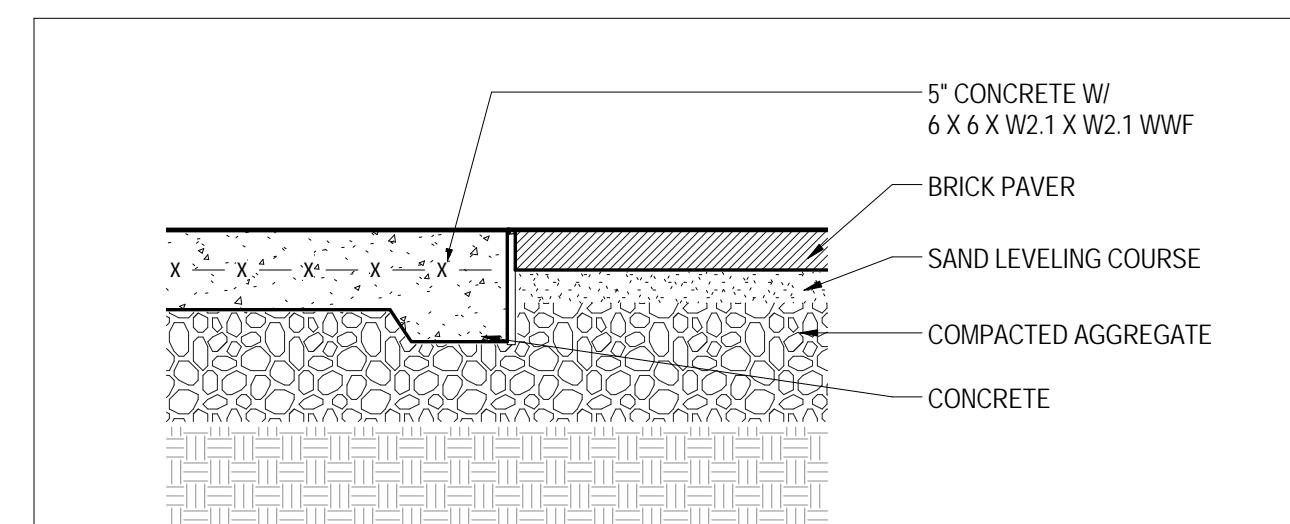
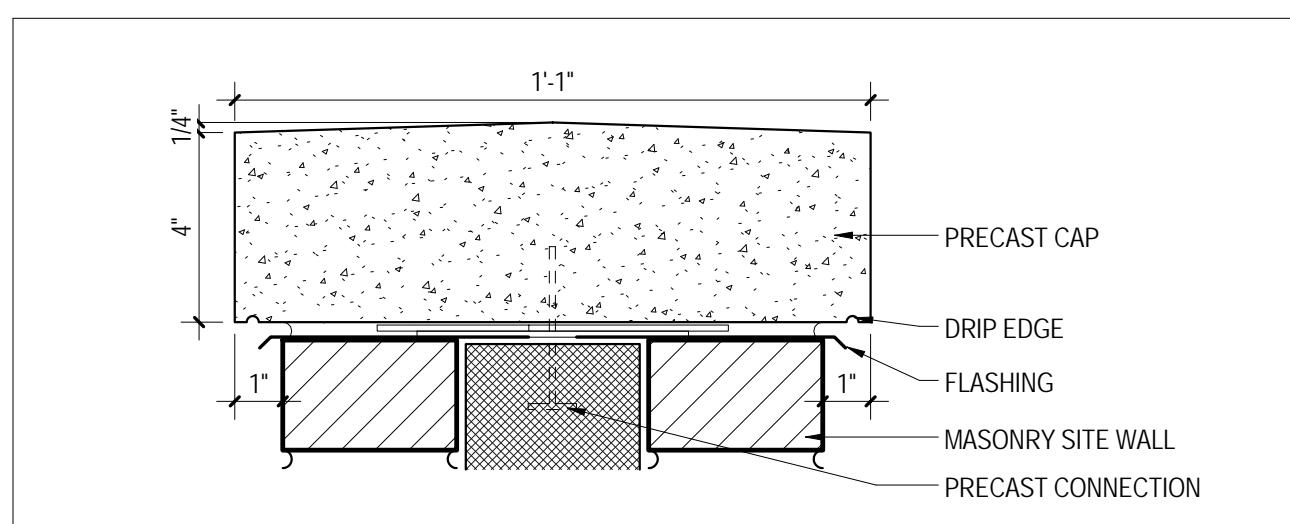
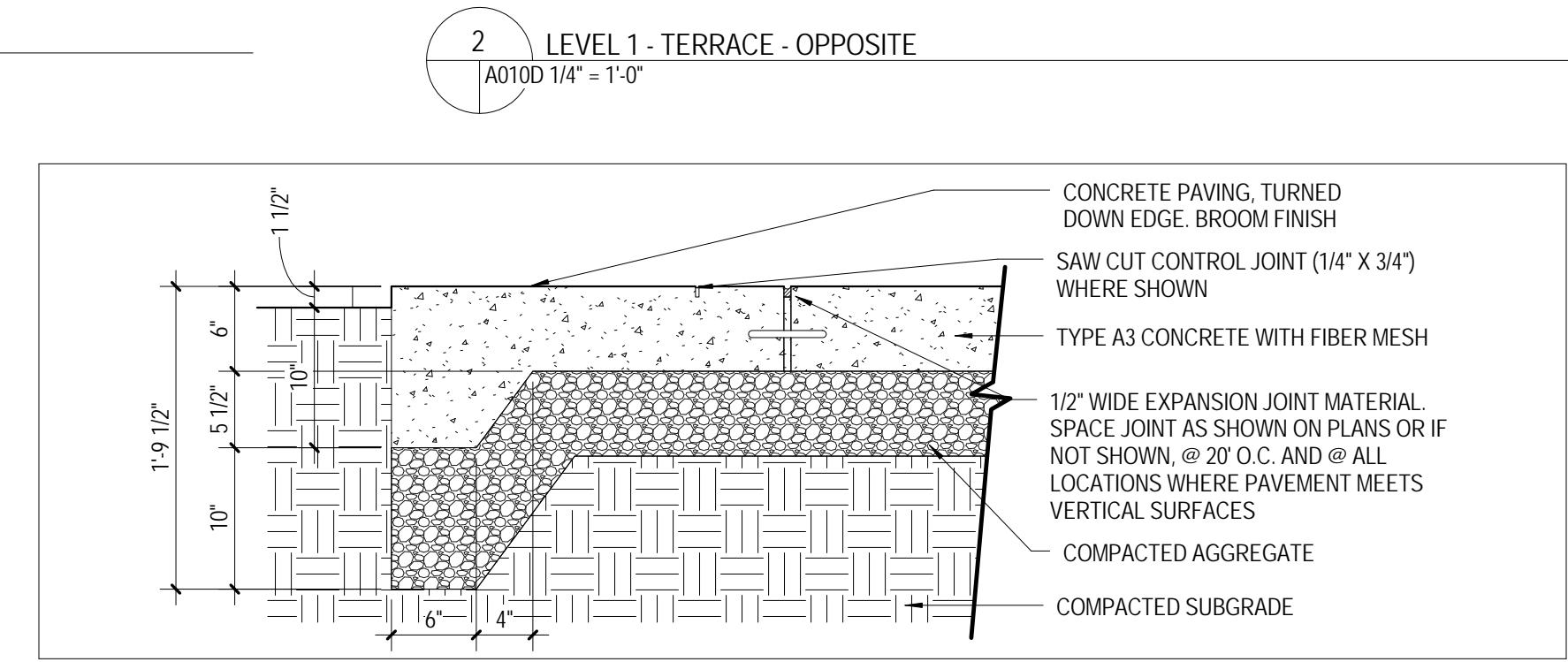
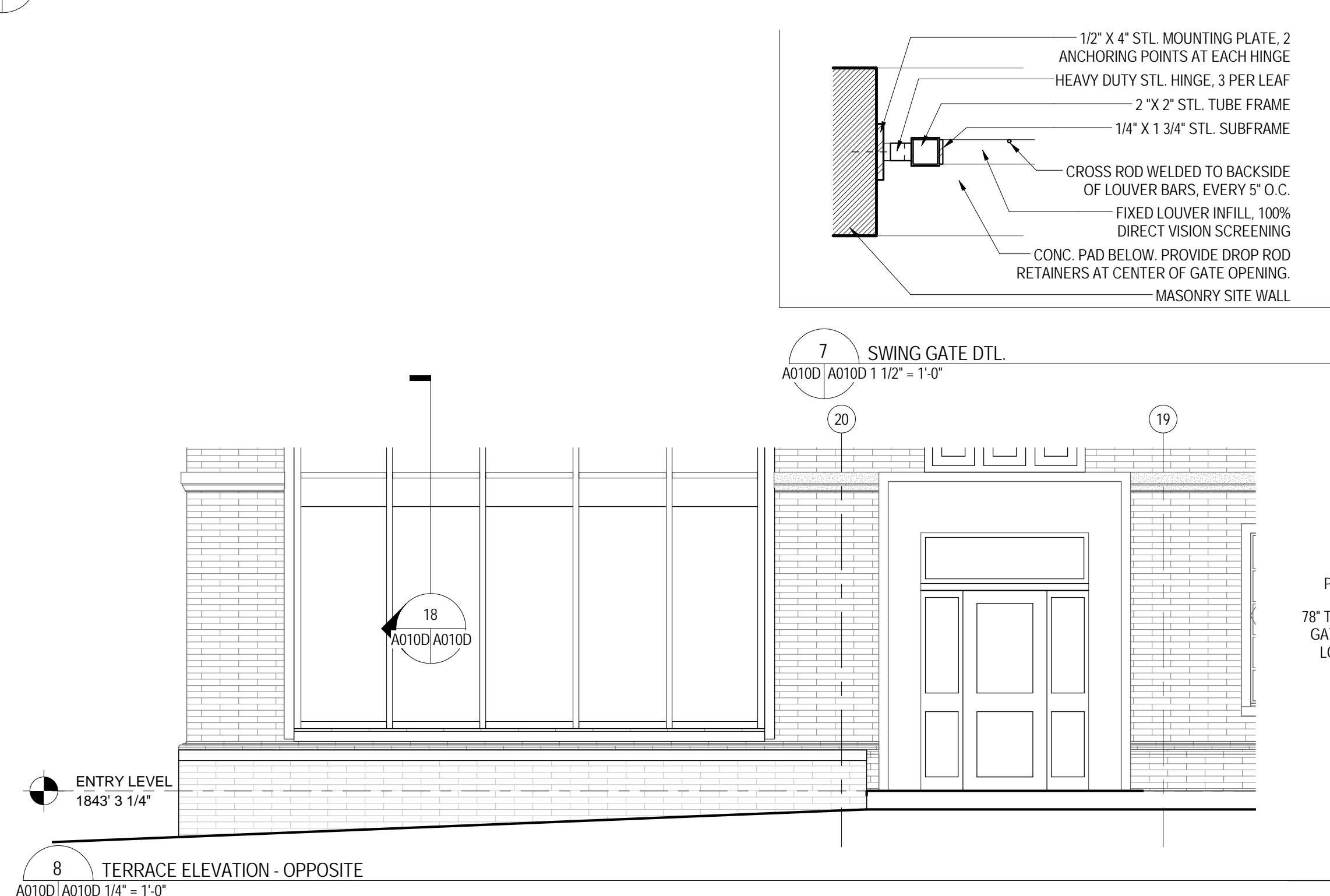
RADFORD UNIVERSITY
RADFORD, VIRGINIA

217-17565-000
1115



Drawn

MLW
MRW



| ISSUES AND REVISIONS | |
|----------------------|---------------|
| NO. | SUBMITTAL |
| 5 | BID DOCUMENTS |

ARCHITECTURAL SITE PLAN AND DETAILS - CARTAPFER

A010D

RADFORD UNIVERSITY

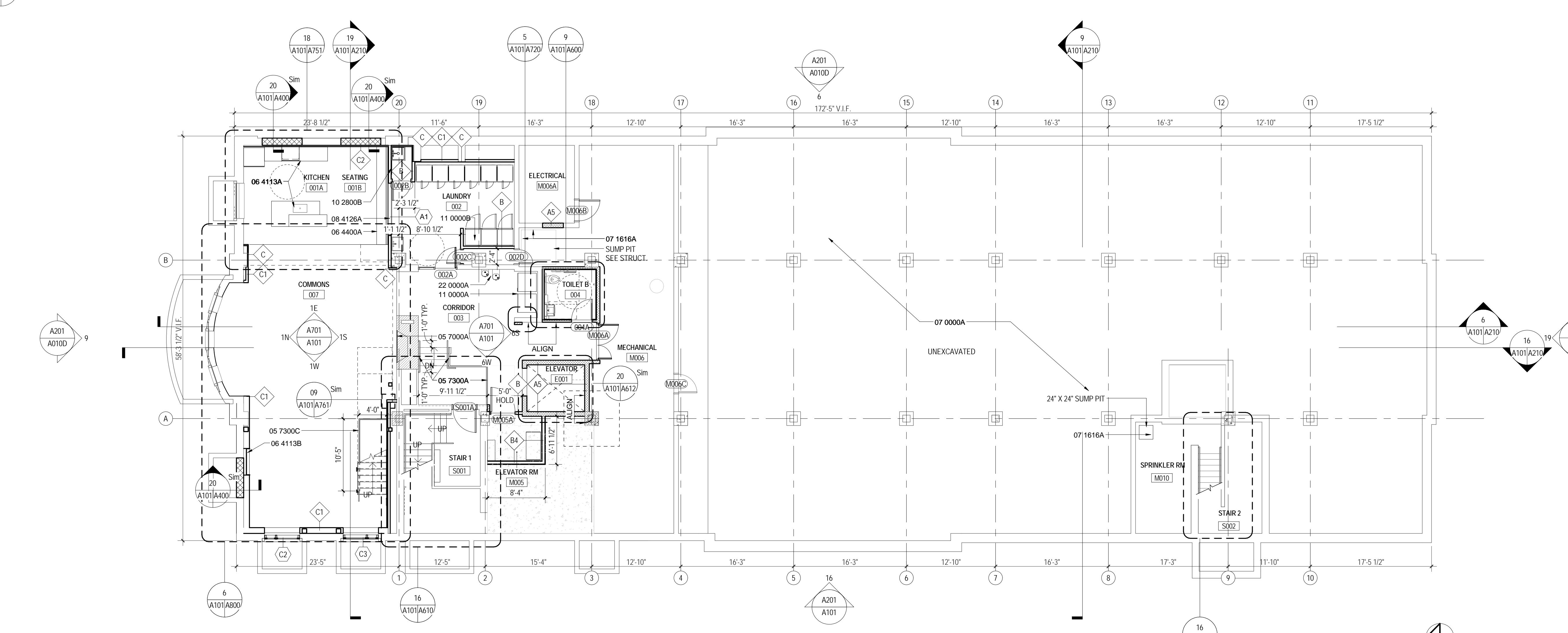
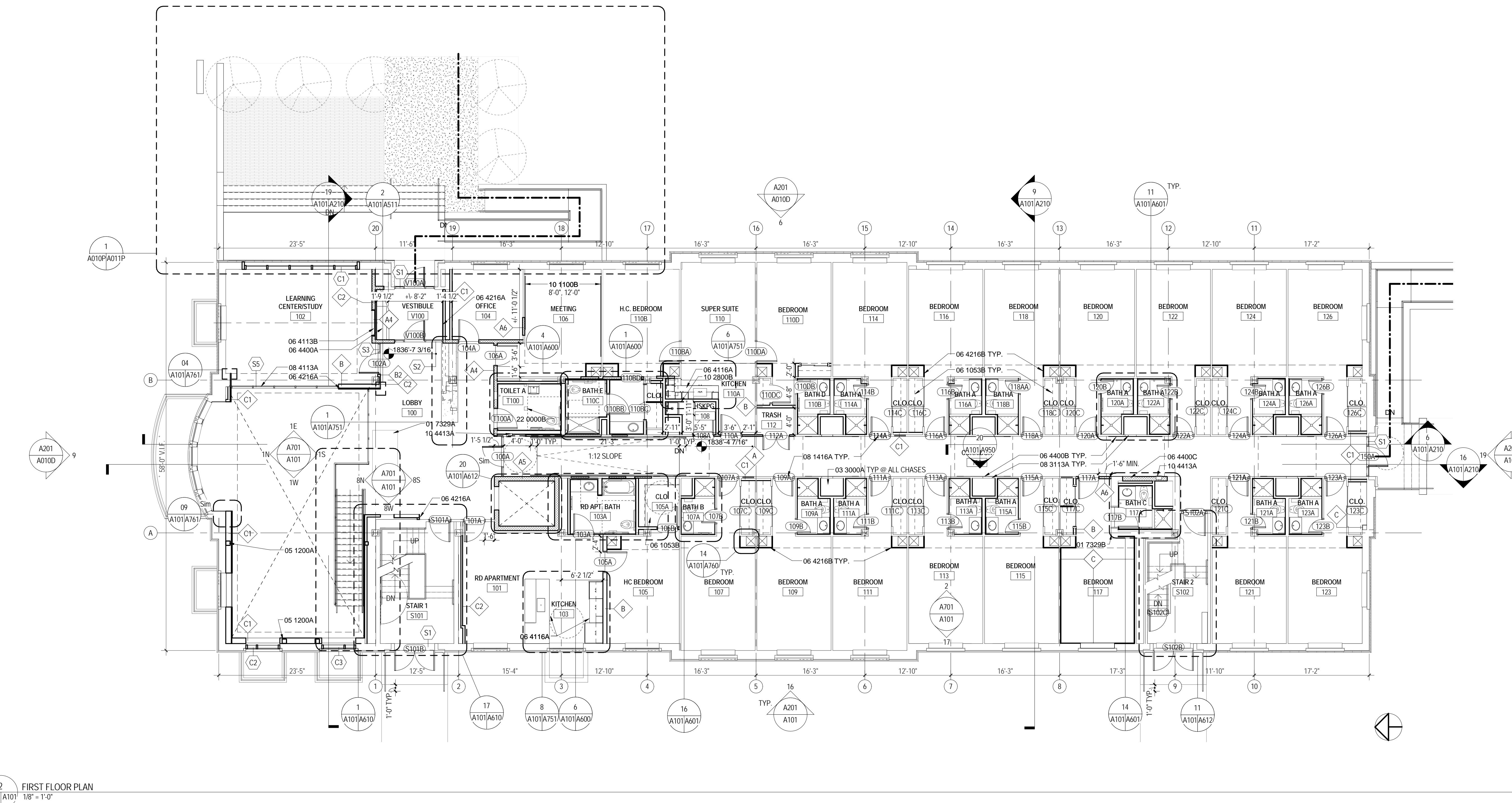
RENOVATION OF THREE RESIDENCE HALLS POCAHONTAS, BOLLING, & DRAPER HALLS

RADFORD UNIVERSITY
RADFORD, VIRGINIA

Project Code
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BASEMENT FLOOR PLAN
A101 A101 1'-0" = 1'-0"

FLOOR PLAN GENERAL NOTES

- LOCATE ROUGH OPENINGS FOR DOORS 4" FROM INSIDE FACE OF INTERSECTING WALL UNLESS OTHERWISE NOTED.
- REFER TO FIRE PROTECTION PLANS FOR ADDITIONAL RATED CONSTRUCTION INFORMATION.
- ALL DIMENSIONS ARE TO FINISH FACE OF WALL, MASONRY OPENING, AND CEILINGS UNLESS OTHERWISE OPENINGS, U.I.O.
- PROVIDE ACCESS PANELS / DOORS IN PARTITIONS AT ALL LOCATIONS REQUIRING ACCESS. PANELS SHALL MAINTAIN FIRE RATING.
- PROVIDE WOOD BLOCKING OR 18 GAUZE METAL STRAPPING BEHIND G.W.B. WHERE REQUIRED TO SUPPORT FIXTURES / EQUIPMENT PROVIDED BY THE CONTRACTOR OR BY OTHERS.
- ALL M.E.P. AND I.T. SYSTEMS ARE TO BE CONCEALED WITHIN WALL OR CEILING CAVITY, J.I.O.

KEYNOTE LEGEND

- 01 7329A INFILL FLOOR RECESS WHERE FIREPLACE AND HEARTH WERE REMOVED SEE STRUCTURAL.
01 7329B GYPSUM PLASTER PATCHING
03 3000A CAST-IN-PLACE CONCRETE
05 1200A STRUCTURAL STEEL FRAMING
05 7000A DECORATIVE METAL - FIREPLACE DOORS
05 7300A DECORATIVE METAL RAILINGS - CANE DETECTION
06 1053B DECORATIVE METAL RAILINGS - HANDRAIL
06 4113A MISCELLANEOUS ROUGH CARPENTRY - CLOTHES ROD
06 4113A INTERIOR ARCHITECTURAL WOODWORK - HDWD.
06 4113B INTERIOR ARCHITECTURAL WOODWORK - TELEVISION SURROUND
06 4116A PLASTIC-LAMINATE-FACED ARCHITECTURAL CABINETS
06 4216A FLUSH WOOD PANELING - STAINED MAPLE
06 4216B FLUSH WOOD PANELING - BAMBOO PLYWOOD
06 4400A ORNAMENTAL WOODWORK - WD.
06 4400B BENCH/BANQUETTE
06 4400C ORNAMENTAL WOODWORK - BEDROOM MESSAGE BOARD
06 4400C ORNAMENTAL WOODWORK - CORRIDOR
07 0000A MESSAGE BOARD
07 1616A VAPOR BARRIER - CONTINUOUS 6 MIL
07 1616A POLYETHYLENE VAPOR BARRIER. 8" MIN.
07 1616A OVERLAP AT SEAMS
07 1616A CRYSTALLINE WATERPROOFING - ELEVATOR AND SUMMITS
08 0416A FLUSH WOOD DOORS
08 3113A ACCESS DOORS AND FRAMES
08 4113A ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS
08 4126A ALL-GLASS STOREFRONTS
10 1100B VISUAL DISPLAY SURFACES - MARKERBOARD
10 2800B TOILET, BATH AND LAUNDRY ACCESSORIES - CUSTODIAL ACCESSORIES
10 4413A FIRE EXTINGUISHER CABINETS
11 0000A EQUIPMENT - VENDING MACHINES (NIC)
11 0000B EQUIPMENT - WASHERS AND DRYERS (NIC)
22 0000A PLUMBING FIXTURE. SEE PLUMBING DRAWINGS.
22 0000B FLOOR DRAIN SEE PLUMBING DRAWINGS.

ISSUES AND REVISIONS
NO. SUBMITTAL
5 BID DOCUMENTS
DATE
05.19.14

GRAPHIC SCALE - 12" = 1'-0"
0 1' 2' 3'

Note: Asbestos containing materials shall not be used on the project.

Asbestos Disclosure Statement
An asbestos inspection was performed and ACM is suspected to be located in the specifications. The asbestos inspection report is included as an appendex to the project specifications. Asbestos containing building material shall not be disturbed in this work except where specifically indicated and required. Where such actions are required, the contractor shall have the ACM removed by a licensed asbestos contractor using approved procedures as specified. The ACM that is to remain and the new non asbestos-containing material shall be labeled according to the applicable asbestos contractor's label up to the point of removal. Areas where asbestos was ablated, areas where ACM was ablated, areas where asbestos was encapsulated, and areas where ACM exist but were left in place. The General Contractor shall review and certify the locations were ACM was ablated, areas where ACM was encapsulated and areas where ACM was left in place as marked on the record drawings and will provide the drawings to the Architect.

Lead Materials Disclosure
An inspection to identify lead containing or coated building components has been conducted and can be found in the project specifications. This report is provided for the contractor's use in bid documents only. It is the contractor's responsibility to comply with all Virginia Occupational Safety and Health (OSHA) regulations as they pertain to employee exposures to lead. All lead and lead-coated building components shall be recycled to the extent possible.

FLOOR PLAN LEGEND

- — — — — ACCESSIBLE ROUTE
- — — — — EXISTING ELEMENTS TO REMAIN
- — — — — NEW WORK

A101

RADFORD UNIVERSITY

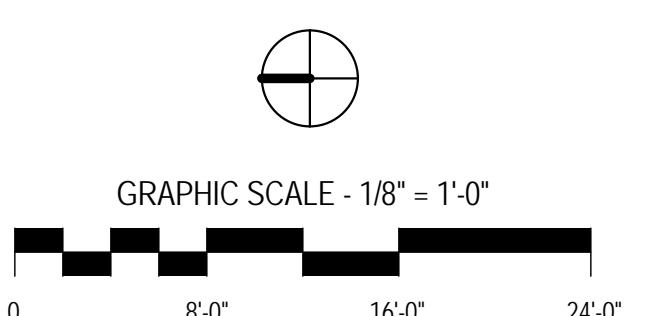
RENOVATION OF THREE
RESIDENCE HALLS
POCAHONTAS, BOLLING,
& DRAPER HALLS

217-17565-000

1115

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SECOND & THIRD FLOOR PLAN

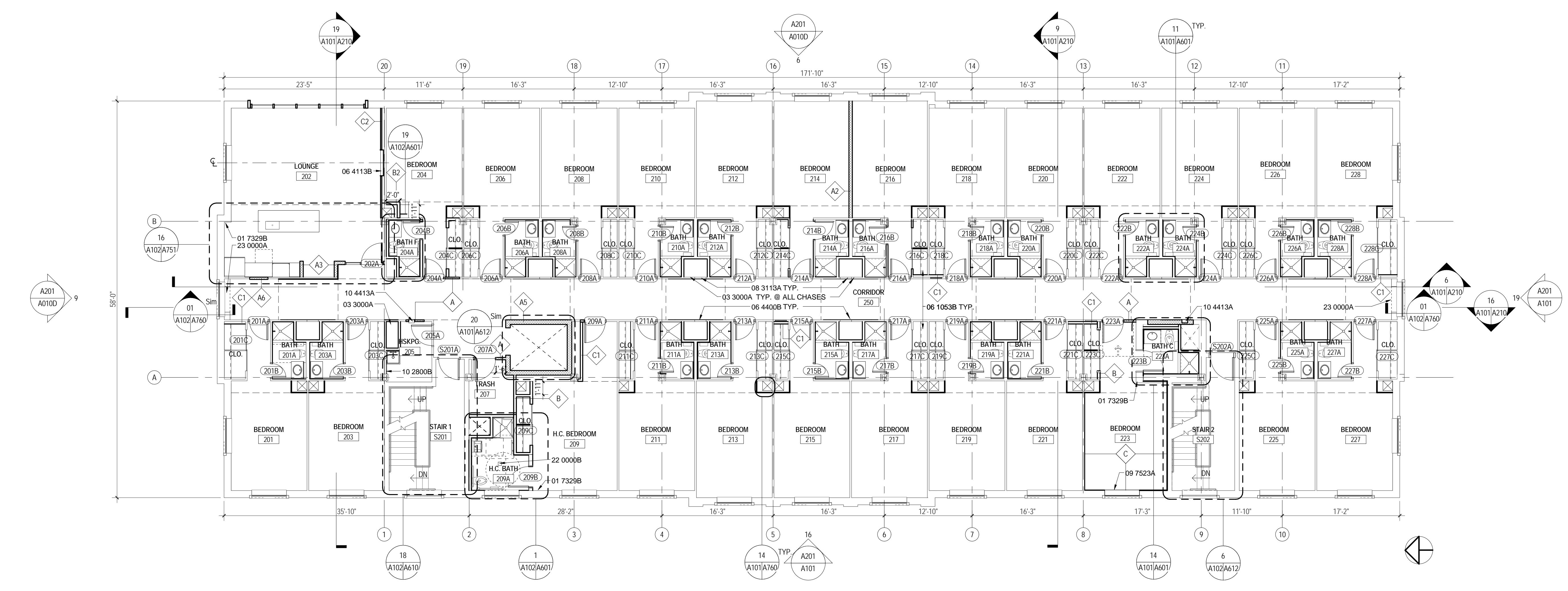
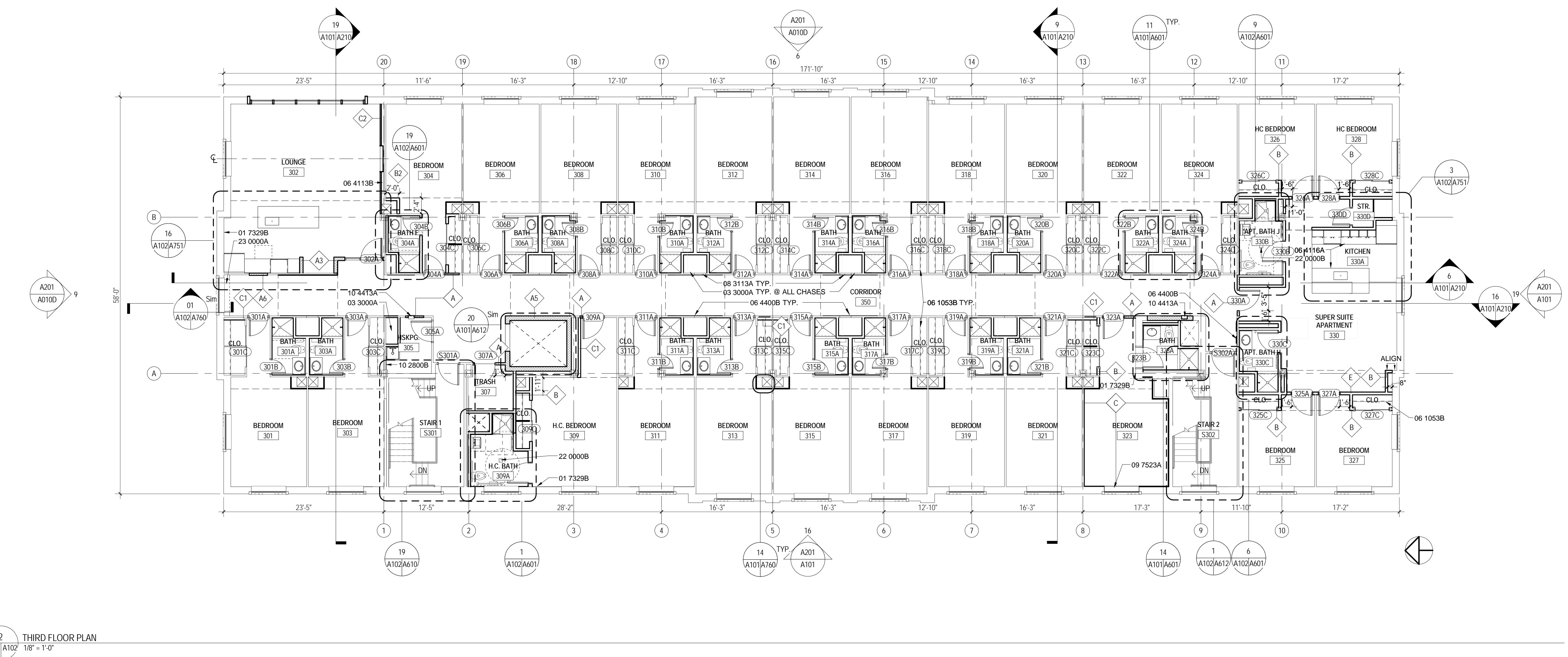
A102

FLOOR PLAN GENERAL NOTES

- LOCATE ROUGH OPENINGS FOR DOORS 4' FROM INSIDE FACE OF INTERSECTING WALL UNLESS OTHERWISE NOTED.
- REFER TO FIRE PROTECTION PLANS FOR ADDITIONAL RATED CONTRACTOR REQUIREMENTS.
- ALL DIMENSIONS ARE TO FINISH FACE OF WALL, MASONRY OPENING, AND OUTSIDE EDGE OF DOOR OPENINGS, U.N.O.
- PROVIDE ACCESS PANELS / DOORS IN PARTITIONS AT ALL LOCATIONS REQUIRING ACCESS. PANELS SHALL MAINTAIN FIRE RATING.
- PROVIDE FIRE BLOCKING OR 18 GAUZE METAL STRAPPING BEHIND G. WHERE PROVIDED BY CONTRACTOR, FEATURES OR EQUIPMENT PROVIDED IN THE CONTRACT OR BY OTHERS.
- ALL M.P. AND I.T. SYSTEMS ARE TO BE CONCEALED WITHIN WALL OR CEILING CAVITY, U.N.O.

KEYNOTE LEGEND

| | |
|----------|---|
| 01 7329B | GYPSUM PLASTER PATCHING |
| 03 3000A | CAST-IN-PLACE CONCRETE |
| 06 1053B | MISCELLANEOUS ROUGH CARPENTRY - CLOTHES ROD |
| 06 4113A | INTERIOR ARCHITECTURAL WOODWORK - TELEVISION SURROUND |
| 06 4116A | PLASTIC-LAMINATE-FACED ACRYLIC SHELL CABINETS |
| 06 4400B | ORNAMENTAL VENEER WORK - BEDROOM MESSAGE BOARD |
| 08 3113A | ACCESS DOORS AND FRAMES |
| 09 7523A | STONE WINDOW STOOLS |
| 10 2800B | TOILET, BATH, AND LAUNDRY ACCESSORIES - CUSTODIAL ACCESSORIES |
| 10 4413A | FIRE EXTINGUISHER CABINETS |
| 22 0000B | FLOOR DRAIN. SEE PLUMBING DRAWINGS. |
| 23 0000A | MECHANICAL UNIT. SEE MECHANICAL DRAWINGS. |



Note: Asbestos containing materials shall not be used on the project.

Asbestos Disclosure Statement
An asbestos inspection was performed and ACM is suspected as noted in the specifications. The asbestos inspection report is included as an append to the project specifications. Asbestos-containing building material shall not be disturbed in this work except where specifically indicated and required. Where such actions are required, the contractor shall mark the ACM resulting by a contractor or asbestos contractor using appropriate procedures and markings. The goal is to remove all new non-asbestos-containing material shall be labeled accordingly. The asbestos abatement contractor shall mark up the record drawings resulting from its work to include areas where asbestos was abated, areas where asbestos was encapsulated, and areas where ACM exist but were left in place. The General Contractor shall review and certify the location of areas abated, areas where ACM was encapsulated and areas where ACM was left in place as marked on the record drawings and will provide the drawings to the Architect.

Lead Materials Disclosure
An inspection to identify lead containing or coated building components has been conducted and can be found in the project specifications. This report is provided for the contractor's use and may not be all inclusive. It is the contractor's responsibility to comply with all Virginia Occupational Safety and Health (VOSH) regulations as they pertain to employee exposures to lead. All lead and lead-coated building components shall be recycled to the extent possible.

FLOOR PLAN LEGEND

- — — — — ACCESSIBLE ROUTE
- — — — — EXISTING ELEMENTS TO REMAIN
- — — — — NEW WORK

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RENOVATION OF THREE
RESIDENCE HALLS
POCAHONTAS, BOLLING,
& DRAPER HALLS

RADFORD UNIVERSITY
RADFORD, VIRGINIA

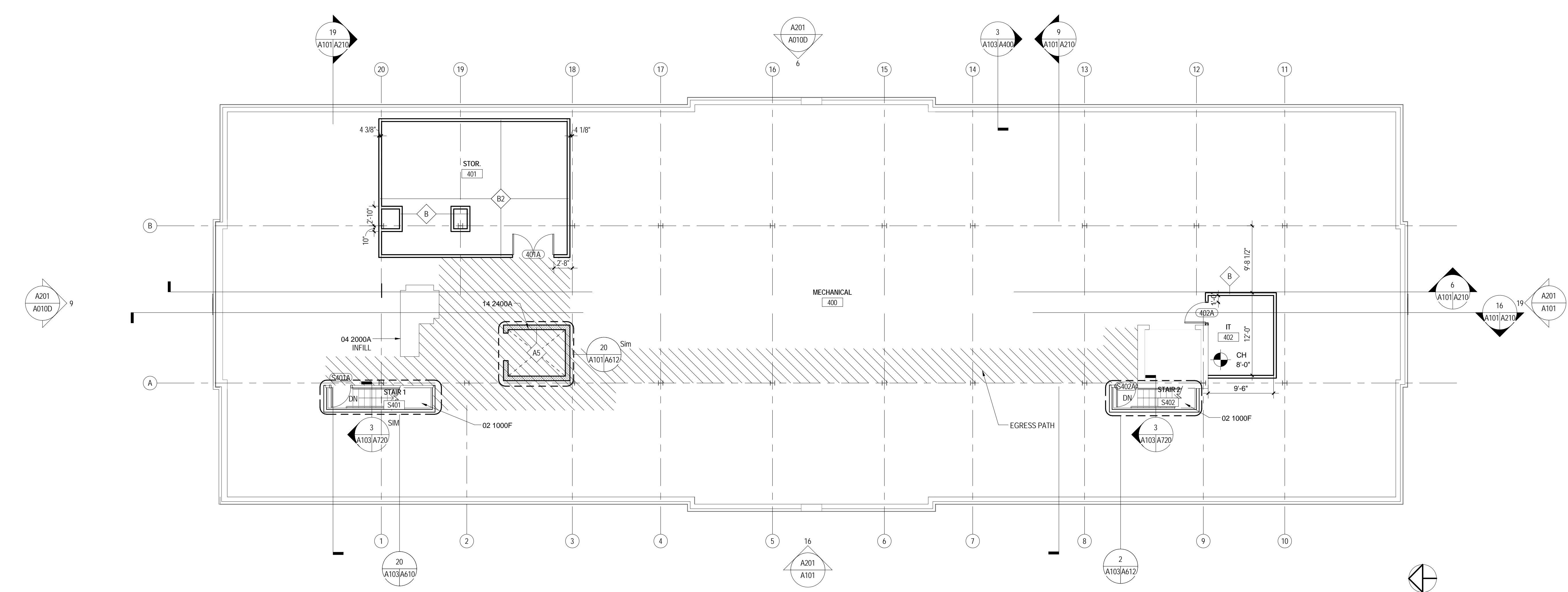
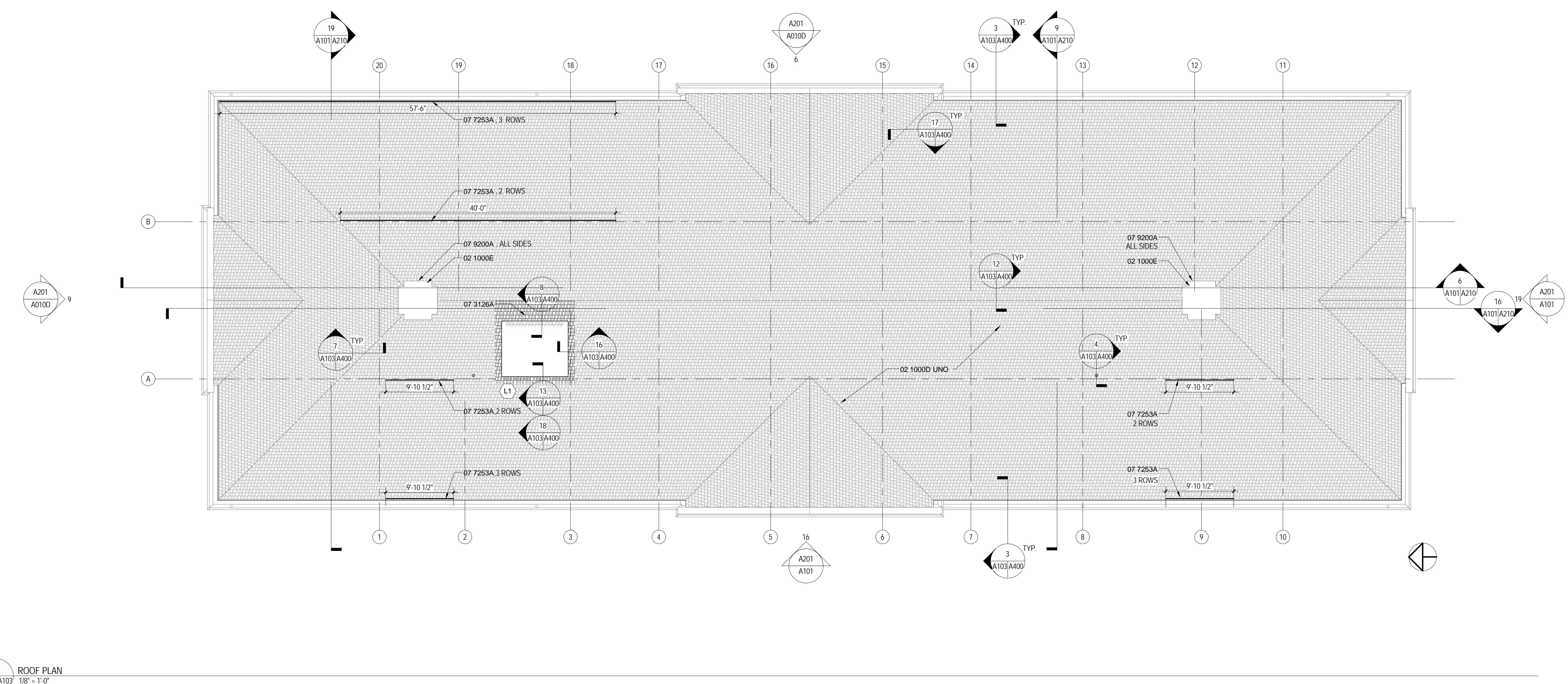
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ATTIC & ROOF PLAN



FLOOR PLAN GENERAL NOTES
1. LOCATE ROUGH OPENINGS FOR DOORS 4' FROM INSIDE FACE OF INTERSECTING WALL UNLESS OTHERWISE NOTED.
2. REFER TO FIRE PROTECTION PLANS FOR ADDITIONAL RATED CONSTRUCTION INFORMATION.
3. ALL DIMENSIONS ARE TO FINISH FACE OF WALL, MASONRY OPENING, AND CENTER LINE OF ROUGH OPENINGS U.I.O.
4. PROVIDE ACCESS PANELS / DOORS IN PARTITIONS AT ALL LOCATIONS REQUIRING ACCESS. PANELS SHALL MAINTAIN FIRE RATING.
5. PROVIDE WOOD BLOCKING OR 18 GAUGE METAL STRAPPING BEHIND G.W.B. WHERE REQUIRED TO SUPPORT FIXTURES OR EQUIPMENT PROVIDED BY THE CONTRACTOR OR BY OTHERS.
6. ALL M.E.P. AND V.V. SYSTEMS ARE TO BE CONCEALED WITHIN WALL OR CEILING CAVITY, I.U.N.

KEYNOTE LEGEND
02 1000D EXISTING SLATE ROOF TO REMAIN
02 1000E EXISTING CHIMNEY TO REMAIN
02 1000F EXISTING STAIRS TO REMAIN
04 2000A UNIT MASONRY - BRICK
07 3126A SLATE SHINGLES
07 7253A SNOW GUARDS
07 9200A JOINT SEALANTS
14 2400A HYDRAULIC ELEVATORS

Note: Asbestos containing materials shall not be used on the project.

Asbestos Disclosure Statement
An Asbestos Inspection was performed and ACM is suspected as noted in the specifications. Asbestos inspection reports are included as an appendage to the project specifications. Asbestos-containing building material shall not be disturbed on this work except where specifically indicated and required. Where such actions are required, the contractor shall have the ACM removed by a licensed asbestos contractor using approved procedures as specified. The ACM that is to remain and the new non asbestos-containing material shall be labeled accordingly. The asbestos abatement contractor shall be responsible for recording its work in areas where asbestos was abated, areas where asbestos was encapsulated, and areas where ACM exist but were left in place. The General Contractor shall review and certify the locations where ACM was abated, areas where ACM was encapsulated and areas where ACM was left in place as marked on the record drawings and will provide the drawings to the Architect.

Lead Materials Disclosure
An inspection to identify lead containing or coated building components has been conducted and can be found in the project specifications. This report is provided for the contractor's use and is not to be included. It is the contractor's responsibility to comply with all Virginia Occupational Safety and Health (VOSA) regulations as they pertain to employee exposures to lead. All lead and lead-coated building components shall be recycled to the extent possible.

FLOOR PLAN LEGEND
— ACCESIBLE ROUTE
— EXISTING ELEMENTS TO REMAIN
— NEW WORK

1 ATTIC FLOOR PLAN
A201/A103 1/8" = 1'-0"

ELEVATION / BUILDING SECTION GENERAL NOTES
 1. ON SYMMETRICAL DRAWINGS, ALL NOTES AND DIMENSIONS SHOWN ON ONE HALF OF DRAWING SHALL APPLY TO BOTH HALVES OF DRAWINGS.
 2. PROVIDE HIGH PERFORMANCE COATINGS AT ALL EXTERIOR FERROUS METALS (STRUCTURAL AND DECORATIVE).
 3. INTEGRAL FLASHING SECTIONS ARE TYPICALLY SIMPLIFIED FOR CLARITY. REFER TO LARGER SCALED INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
 4. FOOTINGS AND FOUNDATIONS ARE SHOWN FOR ILLUSTRATION ONLY. REFER TO STRUCTURAL DRAWINGS FOR EXTENT OF WORK.
 5. ALL DOWNSPOUTS ARE EXISTING TO REMAIN.
 6. RETAIN EXISTING MEP & CIVIL DRAWINGS FOR FULL SCOPE OF M.E.P. AND CIVIL WORK.
 7. PROVIDE CAST IRON BOOTS AT ALL DOWNSPOUTS AT GRADE, U.N.O.

VMDO ARCHITECTS
 200 E MARKET STREET
 CHARLOTTESVILLE, VA 22902
 P 434.296.5684 F 434.296.4496
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RU
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UNIVERSITY

RENOVATION OF THREE
 RESIDENCE HALLS
 POCOHONTAS, BOLLING,
 & DRAPER HALLS

RADFORD UNIVERSITY
 RADFORD, VIRGINIA

Project Code
 VMDO Project Number
 217-17565-000
 1115



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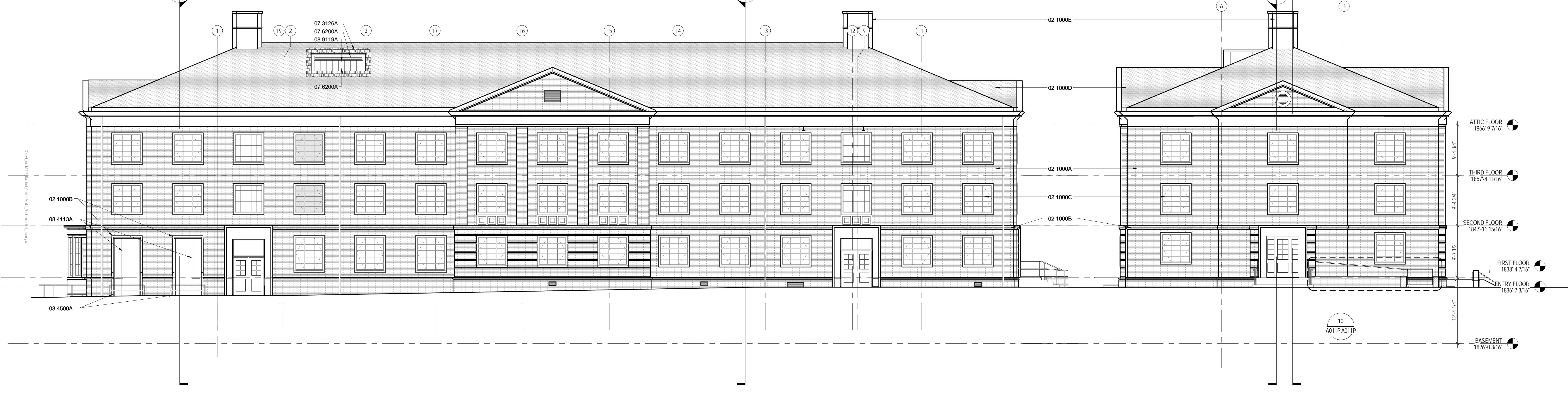
6
A0101/A201
EAST ELEVATION - POCOHONTAS
1/8" = 1'-0"

9
A0100/A201
NORTH ELEVATION - POCOHONTAS
1/8" = 1'-0"

GRAPHIC SCALE - 1/8" = 1'-0"
 0 8'-0" 16'-0" 24'-0"

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 5 BID DOCUMENTS
 DATE
 05.19.14

EXTERIOR ELEVATIONS



16
A101/A201
WEST ELEVATION - POCOHONTAS
1/8" = 1'-0"

19
A101/A201
SOUTH ELEVATION - DRAPER
1/8" = 1'-0"

A201

ELEVATION BUILDING SECTION GENERAL NOTES
 1. ON SYMMETRICAL DRAWINGS, ALL NOTES AND DIMENSIONS SHOWN ON ONE HALF OF DRAWING SHALL APPLY TO BOTH HALVES OF DRAWINGS.
 2. PROVIDE HIGH PERFORMANCE COATINGS AT ALL EXTERIOR FERROUS METALS (STRUCTURAL AND DECORATIVE).
 3. INTERIOR ARCHITECTURAL SECTIONS ARE TYPICALLY SIMPLIFIED FOR DRAWING. REFER TO LARGER SCALED INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
 4. FOOTINGS AND FOUNDATIONS ARE SHOWN FOR ILLUSTRATION ONLY. REFER TO STRUCTURAL DRAWINGS FOR EXTENT OF WORK.
 5. ALL DOWNSPOUTS ARE EXISTING TO REMAIN, UNO.
 6. REFERENCE MEP & CIVIL DRAWINGS FOR FULL SCOPE OF M.E.P. AND CIVIL WORK.
 7. PROVIDE CAST IRON BOOTS AT ALL DOWNSPOUTS AT GRADE, UNO.

VMDO ARCHITECTS

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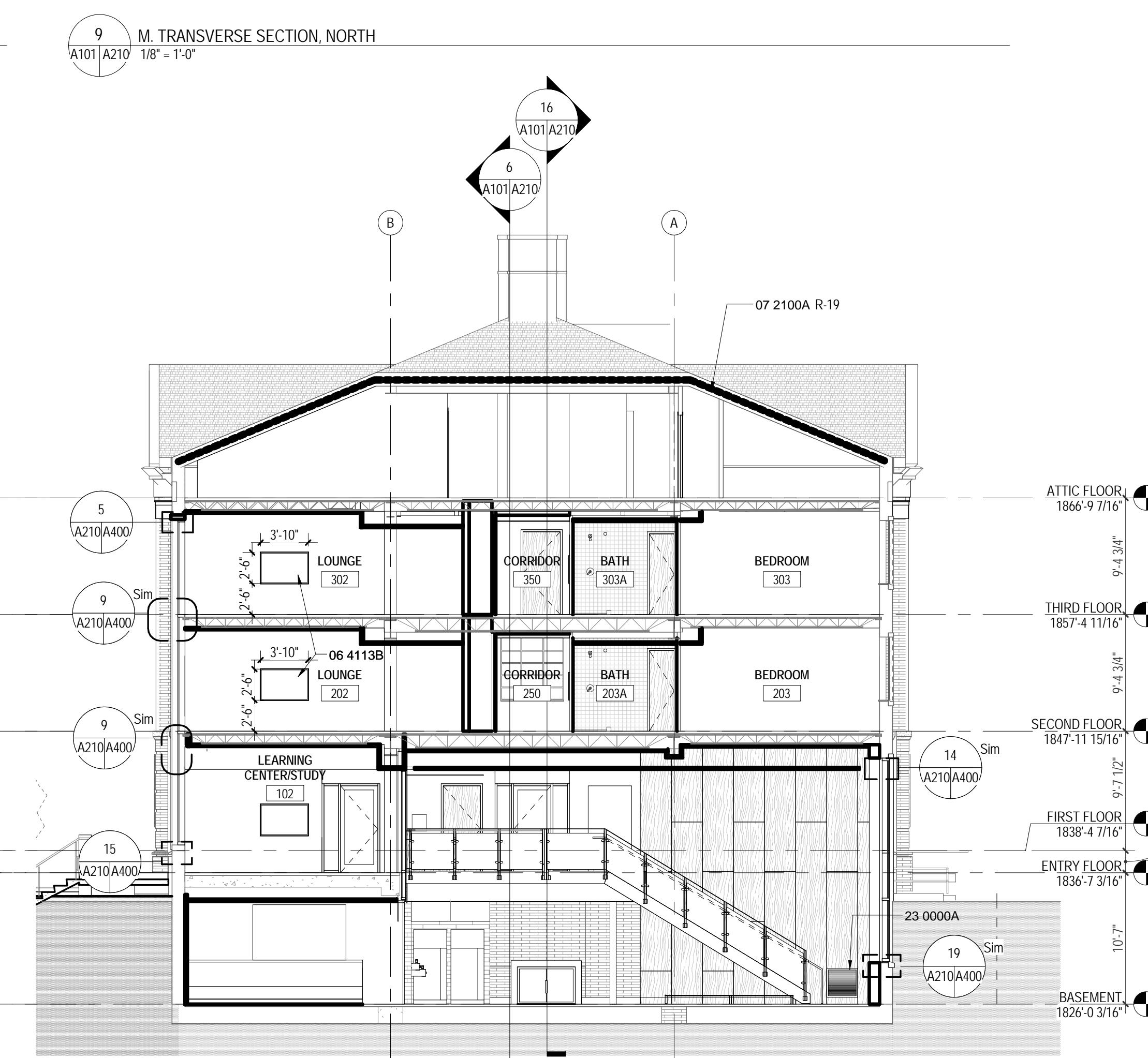
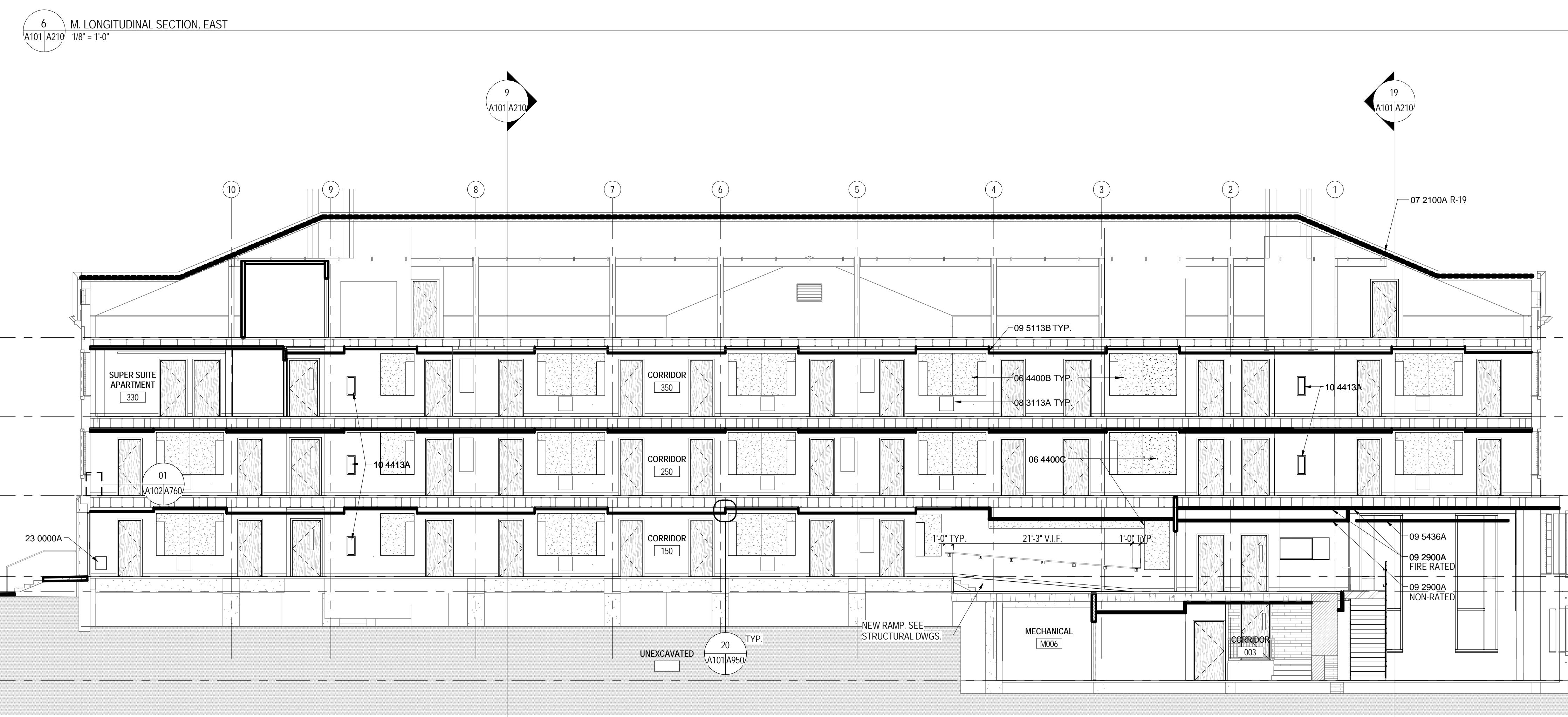
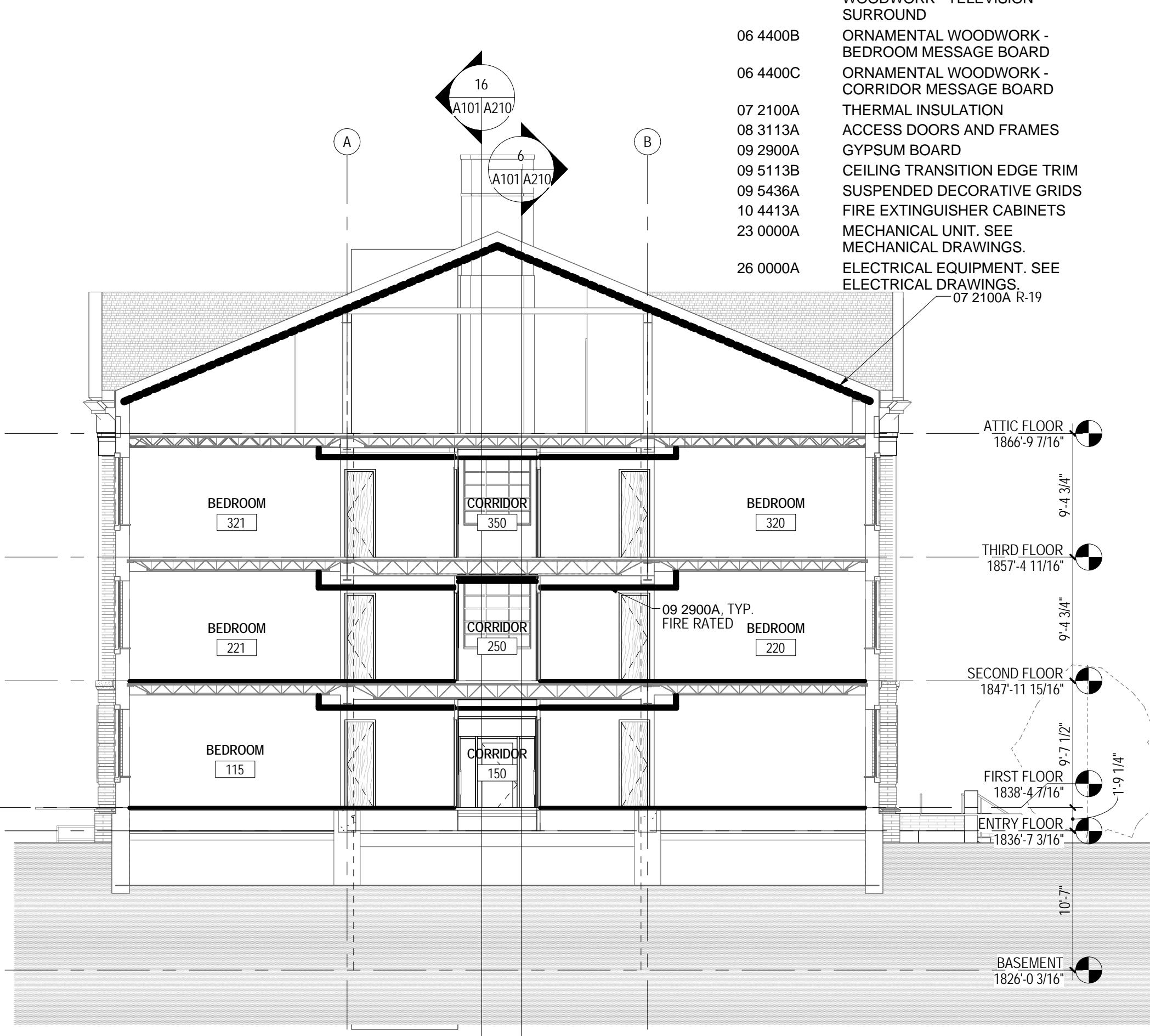
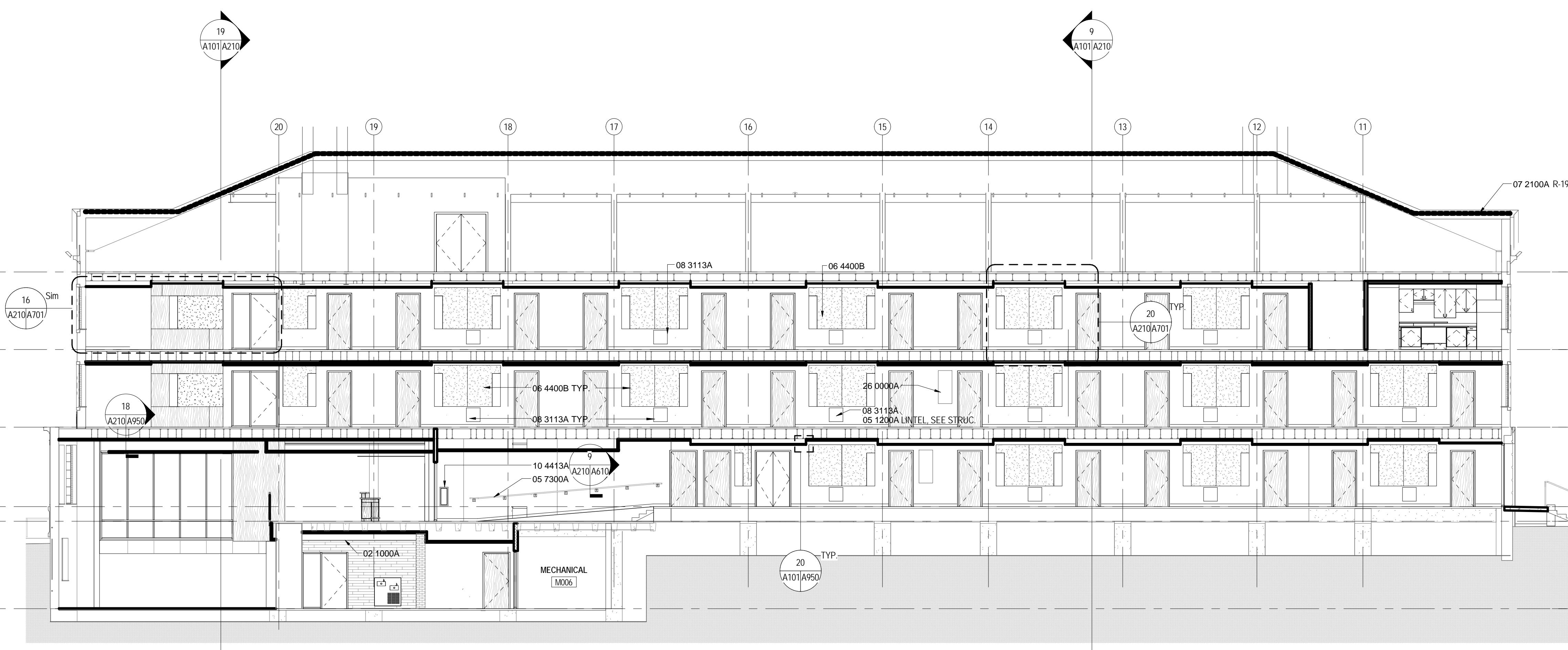
RENOVATION OF THREE
 RESIDENCE HALLS
 POCOHONTAS, BOLLING,
 & DRAPER HALLS

RADFORD UNIVERSITY
 RADFORD, VIRGINIA

Project Code
 VMDO Project Number
 217-17565-000
 1115



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GRAPHIC SCALE - 1/8" = 1'-0"
 0 8'-0" 16'-0" 24'-0"



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BUILDING SECTIONS



A210



RENOVATION OF THREE RESIDENCE HALLS POCAHONTAS, BOLLING, & DRAPER HALLS

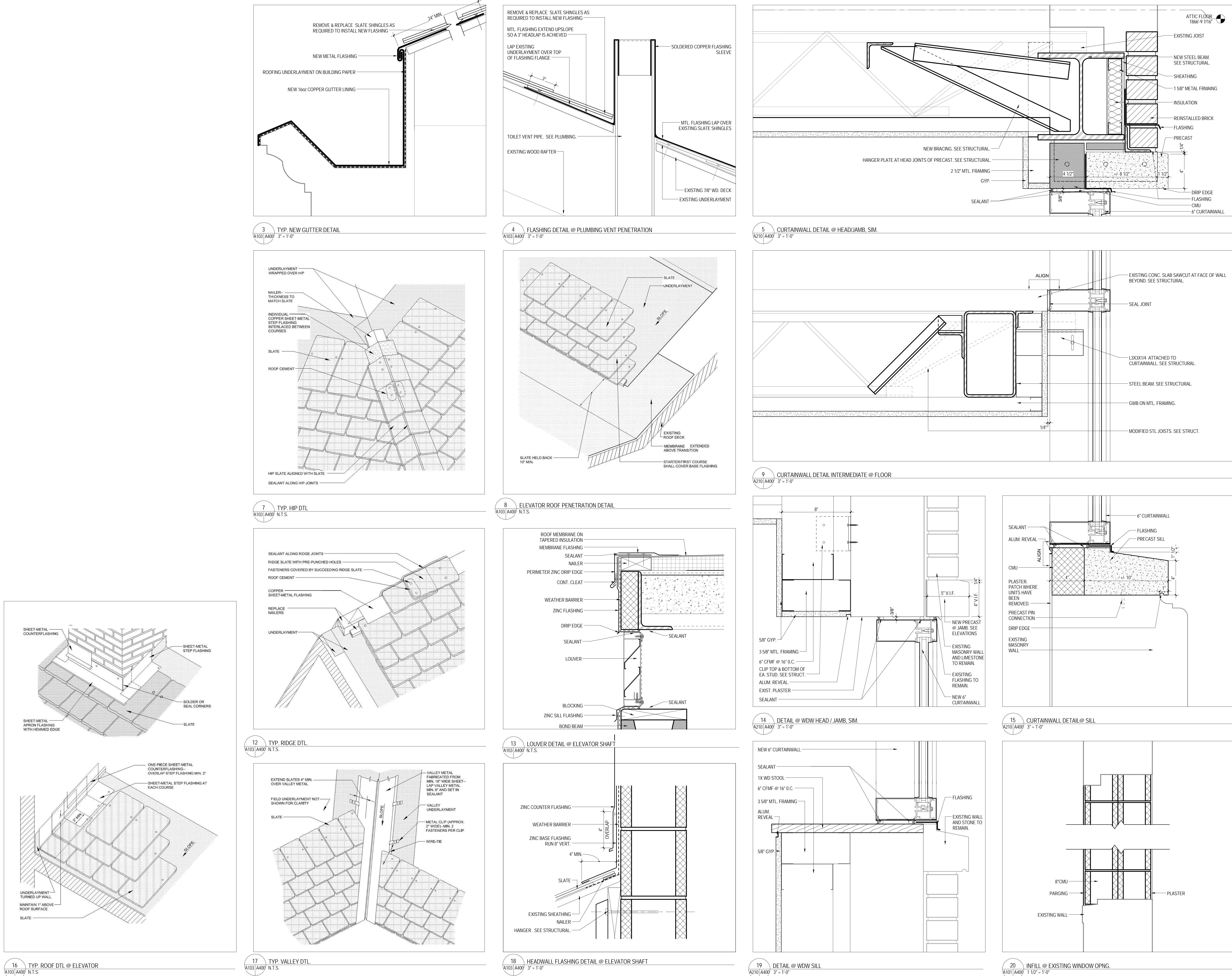
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RADFORD, VIRGINIA

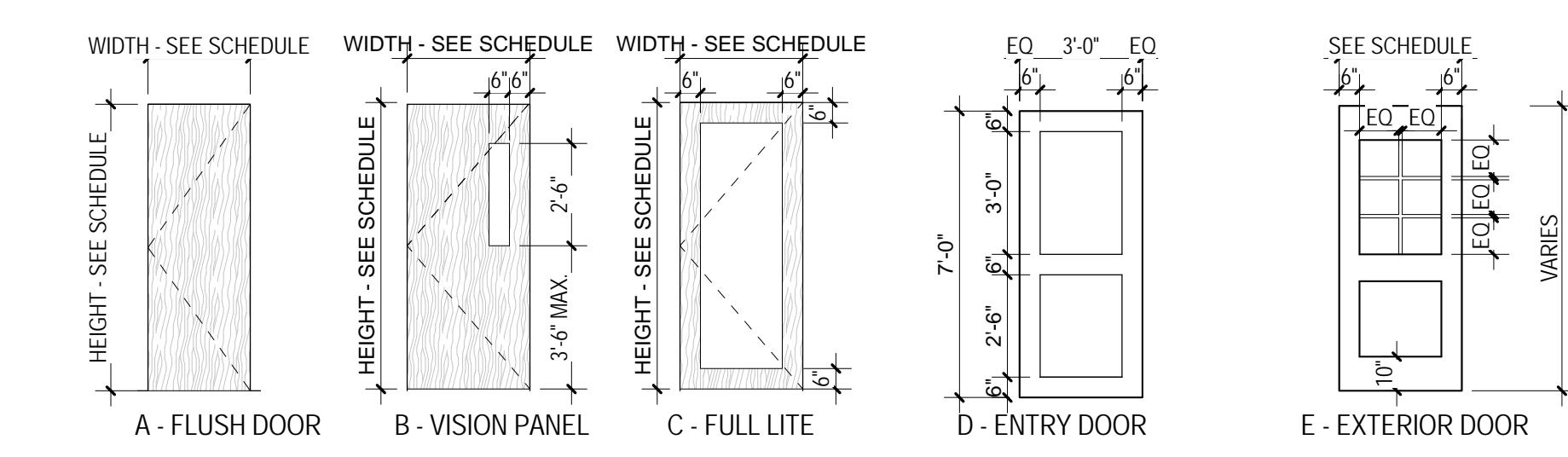
Project Code
VMDO Project Number
217-17565-000
1115



Checked By
Drawn By
MLW/ARS
MBW

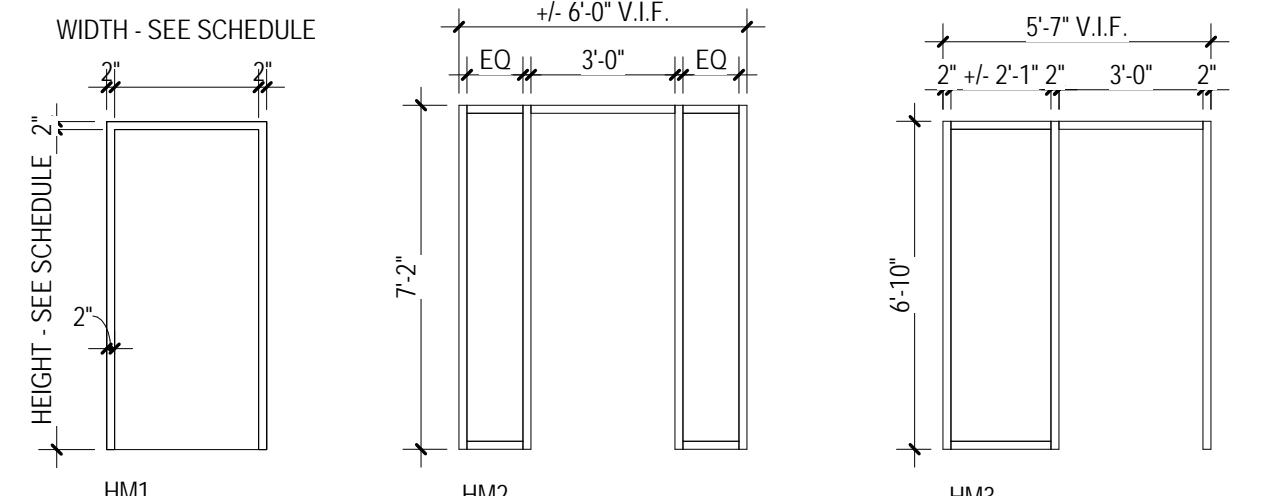
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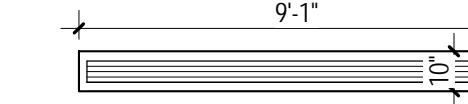
1 DOOR TYPES

A500/A500 1/4" = 1'-0"



6 FRAME TYPES

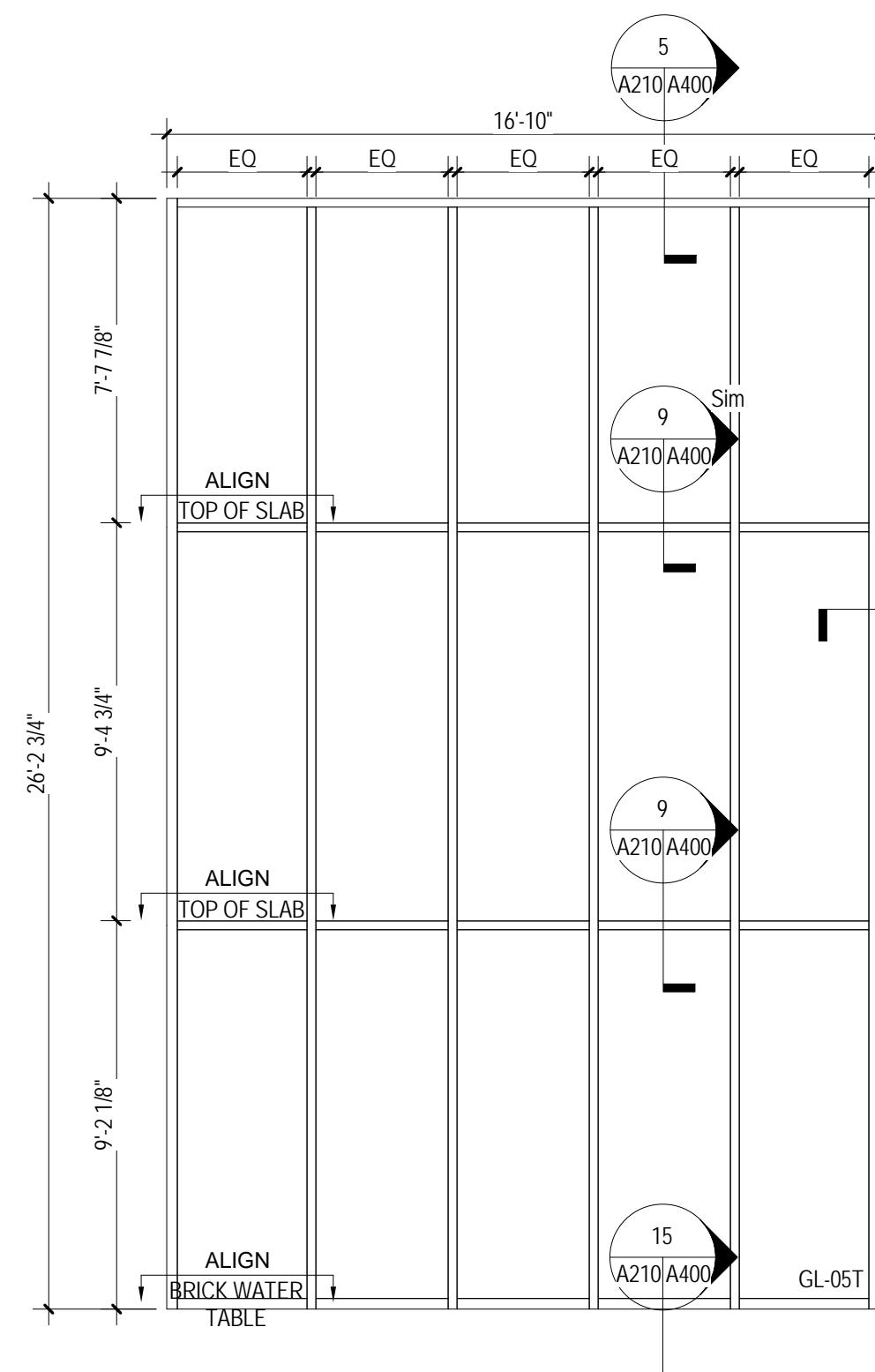
A500/A500 1/4" = 1'-0"



(L1)

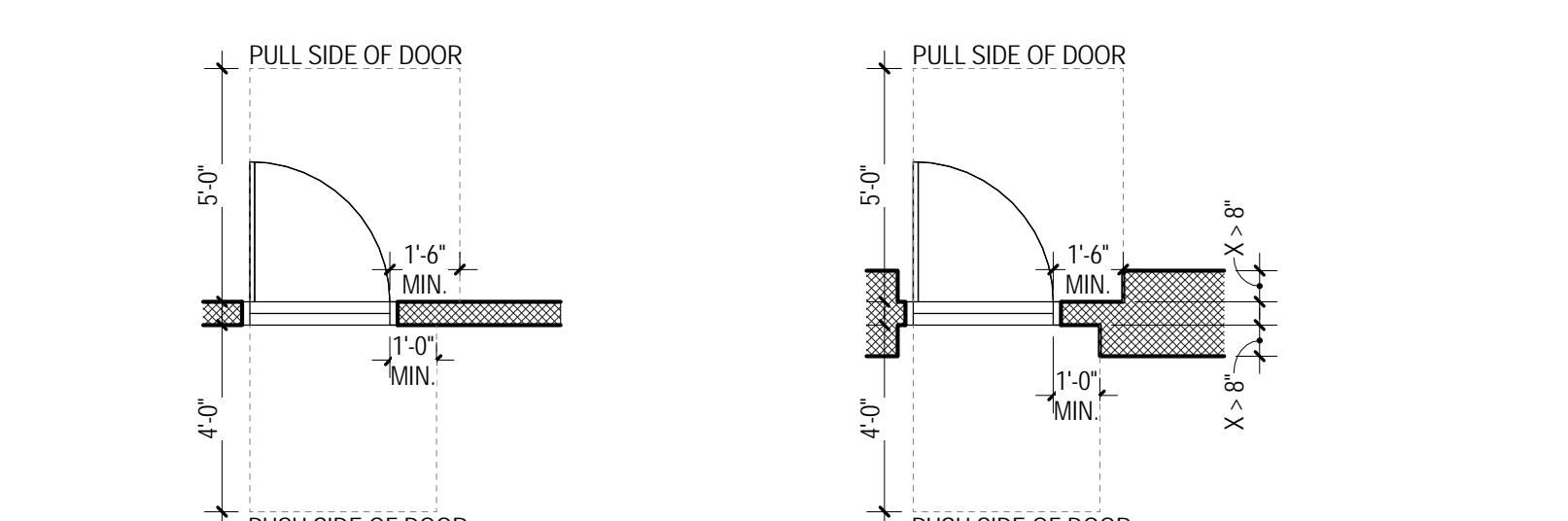
7 LOUVER TYPES AT ELEVATOR

A500/A500 1/4" = 1'-0"



16 CURTAINWALL TYPES

A500/A500 1/4" = 1'-0"



2 TYP. HANDICAP DOOR CLEARANCE

A500/A500 1/4" = 1'-0"

3 TYP. HANDICAP DOOR CLEARANCE @ RECESSED DOOR

A500/A500 1/4" = 1'-0"

ROOM OPENING SCHEDULE

DOOR

FRAME

| DR. # | OPENING WIDTH | OPENING HEIGHT | DOOR TYPE | DOOR MAT. | RATING | FRAME TYPE | HEAD | JAMB | SILL | BROW, HEAD | REMARKS | |
|----------------------------------|-----------------|----------------|-----------|-----------|--------|------------|----------------|----------------|-------------|---------------|---------|-----|
| 002A | 3'-0" | 6'-8" | C | WD | | H.M. | 8/AS11 | 8/AS11 | | 20 | | |
| 002B | 2'-8" | 6'-8" | A | WD | | H.M. | 3/AS11 | 3/AS11 | | 17 | | |
| 002C | 2'-0" | 6'-8" | A | WD | | H.M. | 3/AS11 | 3/AS11 | | 25 | | |
| 002D | 2'-0" | 6'-8" | A | WD | | H.M. | 1/AS11 SIM | 1/AS11 SIM | | 25 | | |
| 0050A | 3'-6" | 7'-0" | A | HM | 1.5 HR | H.M. | 2/AS11 | 2/AS11 | | 21 | | |
| 0060A | 3'-0" X 2'-0" | 7'-0" | A | HM | | H.M. | 2/AS11 | 2/AS11 | | 22 | | |
| 0060B | 3'-0" | 7'-0" | A | HM | | H.M. | 1/AS11 | 1/AS11 | | 23 | | |
| M006C | 2'-6" V.I.F. | 6'-8" V.I.F. | A | HM | | E.T.R. | | | | 24 | | |
| 100A | 3'-0" | 7'-0" | C | WD | 1 HR | H.M. | 2/AS11 | 2/AS11 | 11/AS00 SIM | 15 | | |
| 101A | 3'-0" | 7'-0" | A | WD | 1 HR | H.M. | 2/AS11 | 2/AS11 | 11/AS00 SIM | 07 | 5 | |
| 102A | 3'-0" | 7'-0" | C | WD | | S3 | 3/AS11 | 6/AS11 SIM | | 11 | | |
| 103A, 330C | 3'-0" | 6'-8" | A | WD | | H.M. | 3/AS11 | 3/AS11 | 17/AS00 | | | |
| 104A, 106A | 3'-0" | 7'-0" | C | WD | | H.M. | 2/AS11 | 2/AS11 | 11/AS00 SIM | 12, 13 | | |
| 105A | 3'-0" | 6'-8" | A | WD | | H.M. | 3/AS11 SIM | 3/AS11 SIM | | 08 | | |
| 105B | 3'-0" | 6'-8" | A | WD | | H.M. | 3/AS11 | 3/AS11 | | 16 | | |
| 110B, 330B | 3'-0" | 6'-8" | A | WD | | H.M. | 2/AS11 | 2/AS11 | 17/AS00 | 09 | | |
| 110BD | 3'-0" | 6'-8" | A | WD | | H.M. | 2/AS11 | 2/AS11 | 17/AS00 | CASED OPENING | | |
| 110BA, 110DA | 3'-0" | 6'-8" | A | WD | | H.M. | 2/AS11 | 2/AS11 | | 08 | | |
| 110A, 330A | 3'-0" | 6'-8" | A | WD | 1/3 HR | H.M. | 1/AS11, 2/AS11 | 1/AS11, 2/AS11 | | 07 | 5 | |
| 119BC, 329C, 326C, 327C, 328C | (2) 2'-8" | 6'-8" | A | WD | | H.M. | 3/AS11 | 3/AS11 | | 10 | | |
| 1110C | (2) 2'-0" | 6'-8" | A | WD | | H.M. | 3/AS11 | 3/AS11 | | 16 | | |
| 112A | (2) 2'-0" | 6'-8" | A | WD | 1/3 HR | H.M. | 2/AS11 | 2/AS11 | | 18 | | |
| 117A, 223A, 323A | 3'-0" | 6'-8" | A | WD | 1/3 HR | H.M. | 2/AS11 | 2/AS11 | | 07 | | |
| 117B, 223B, 323B | 3'-0" | 6'-8" | A | WD | | H.M. | 1/AS11 | 1/AS11 | | 08 | | |
| 117C, 223C, 323C | (2) 3'-0" | 6'-8" | A | WD | | H.M. | 3/AS11 | 3/AS11 | | 10 | | |
| INTERIOR STAR DOORS TAG A U.N.O. | 3'-4" V.I.F. | 6'-8" V.I.F. | B | WD | 1.5 HR | E.T.R. | | | 11/AS00 SIM | 8/AS11A | 05 | |
| ALL TYP. BEDROOMS U.N.O. | 2'-8" | 6'-8" | A | WD | 1/3 HR | E.T.R. | | | | 07 | | |
| ALL CLOSETS POCAHONTAS | (2) 2'-6" | 6'-8" | A | WD | | E.T.R. | | | | 10 | | |
| ALL TYP. GUESTS U.N.O. | (2) 3'-0" | 6'-8" | | | | E.T.R. | | | | 10 | 3.4.6 | |
| ALL TYP. BATHROOMS U.N.O. | 2'-0" | 6'-8" | | | | E.T.R. | | | | 08 | 3.4.7 | |
| TYP. TOILET ROOM DOORS | 3'-0" | 7'-0" | A | WD | | H.M. | 4/AS11 | 4/AS11 | 17/AS00 | 14 | | |
| TYP. HS/RG DOORS | 3'-0" | 6'-8" | A | WD | 1/3 HR | H.M. | 1/AS11 | 1/AS11 | | 17 | | |
| 150A | 3'-0" | 7'-6" V.I.F. | E | AMP | | | 64 | 9/AS11 | 9/AS11 | | 04 | 1.2 |
| S101A | 3'-0" V.I.F. | 6'-8" V.I.F. | B | WD | 1.5 HR | E.T.R. | | | | | | |
| S101B | 2'-0" 9' V.I.F. | 7'-0" V.I.F. | E | AMP | | E.T.R. | | | | 03 | 2 | |
| S102A | 2'-0" 9' V.I.F. | 6'-8" V.I.F. | E | AMP | | E.T.R. | | | | 03 | 2 | |
| S102C | 3'-0" V.I.F. | 7'-0" V.I.F. | A | HM | 1.5 HR | E.T.R. | | | | 06 | | |
| V100A | 3'-0" | 7'-0" V.I.F. | D | SF | | | S1 | 5/AS11 | 5/AS11 | | 01 | 1.2 |
| V100B | 3'-0" | 7'-0" | C | WD | | | S2 | 4/AS11 | 4/AS11 | 13/AS00 | 02 | 1 |
| 202A, 302A | 3'-0" | 6'-8" | C | WD | 1 HR | H.M. | 2/AS11 | 2/AS11 | | 26 | | |
| 204A, 304A, 214A, 206A | 2'-8" | 6'-8" | A | WD | 1/3 HR | H.M. | 1/AS11 | 1/AS11 | | 07 | | |
| 204B, 304B, 214B, 216B | (2) 3'-0" | 6'-8" | A | WD | | H.M. | 3/AS11 | 3/AS11 | | 08 | | |
| 204C, 304C, 214C, 216C | (2) 3'-0" | 6'-8" | A | WD | | H.M. | 3/AS11 | 3/AS11 | | 10 | | |
| 207A, 307A | 3'-0" | 6'-8" | A | WD | 1/3 HR | H.M. | 2/AS11 | 2/AS11 | | 17 | | |
| 209A, 309A | 3'-0" | 6'-8" | A | WD | 1/3 HR | H.M. | 1/AS11, 2/AS11 | 1/AS11, 2/AS11 | | 07 | 5 | |
| 209B, 309B | 3'-0" | 6'-8" | A | WD | | H.M. | 3/AS11 | 3/AS11 | 17/AS00 | 08 | | |
| 209C, 309C | (2) 3'-0" | 6'-8" | A | WD | | H.M. | 3/AS11 | 3/AS11 | | 10 | | |
| 330DA | 2'-6" | 6'-8" | A | WD | | H.M. | 2/AS11 | 2/AS11 | | 27 | | |
| 325A, 326A, 327A, 328A | 3'-0" | 6'-8" | A | WD | | H.M. | 3/AS11 | 3/AS11 | | 07 | | |
| 401A | (2) 3'-0" | 7'-0" | A | HM | | H.M. | 3/AS11 | 3/AS11 | | 22 | | |
| 402A | 3'-0" | 7'-0" | A | HM | | H.M. | 3/AS11 | 3/AS11 | | 28 | | |
| S401A, S402A | 2'-10" V.I.F. | 6'-8" V.I.F. | A | HM | 1.5 HR | E.T.R. | | | | 05 | | |
| GRAPHIC SCALE - 1/4" = 1'-0" | 0 | 4'-0" | 8'-0" | 12'-0" | | | | | | | | |



RENOVATION OF THREE RESIDENCE HALLS POCAHONTAS, BOLLING, & DRAPER HALLS

RADFORD UNIVERSITY
RADFORD, VIRGINIA

Project Code
VMDO Project Number
217-17565-000
1115



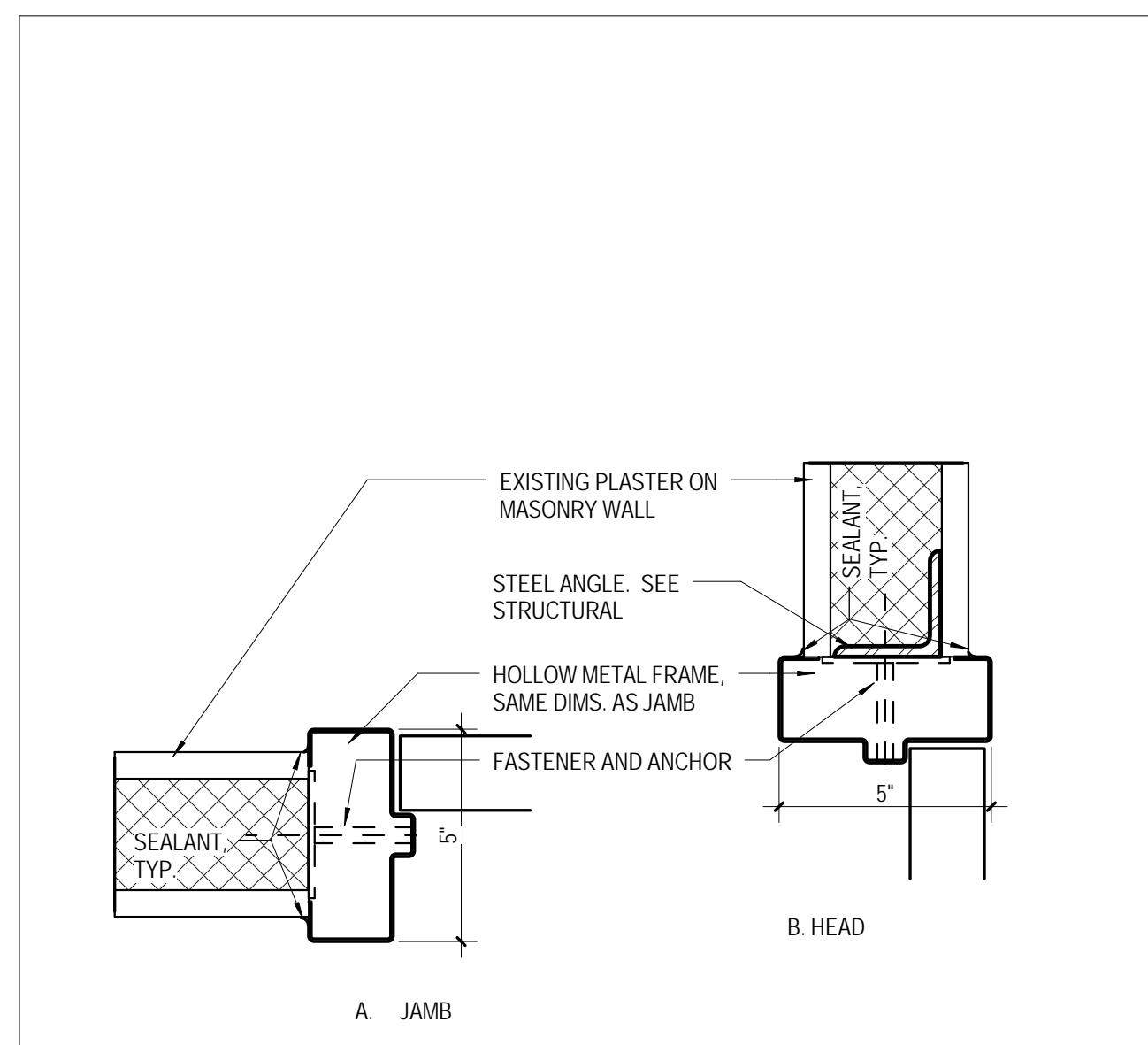
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Drawn By

ARS
MBW

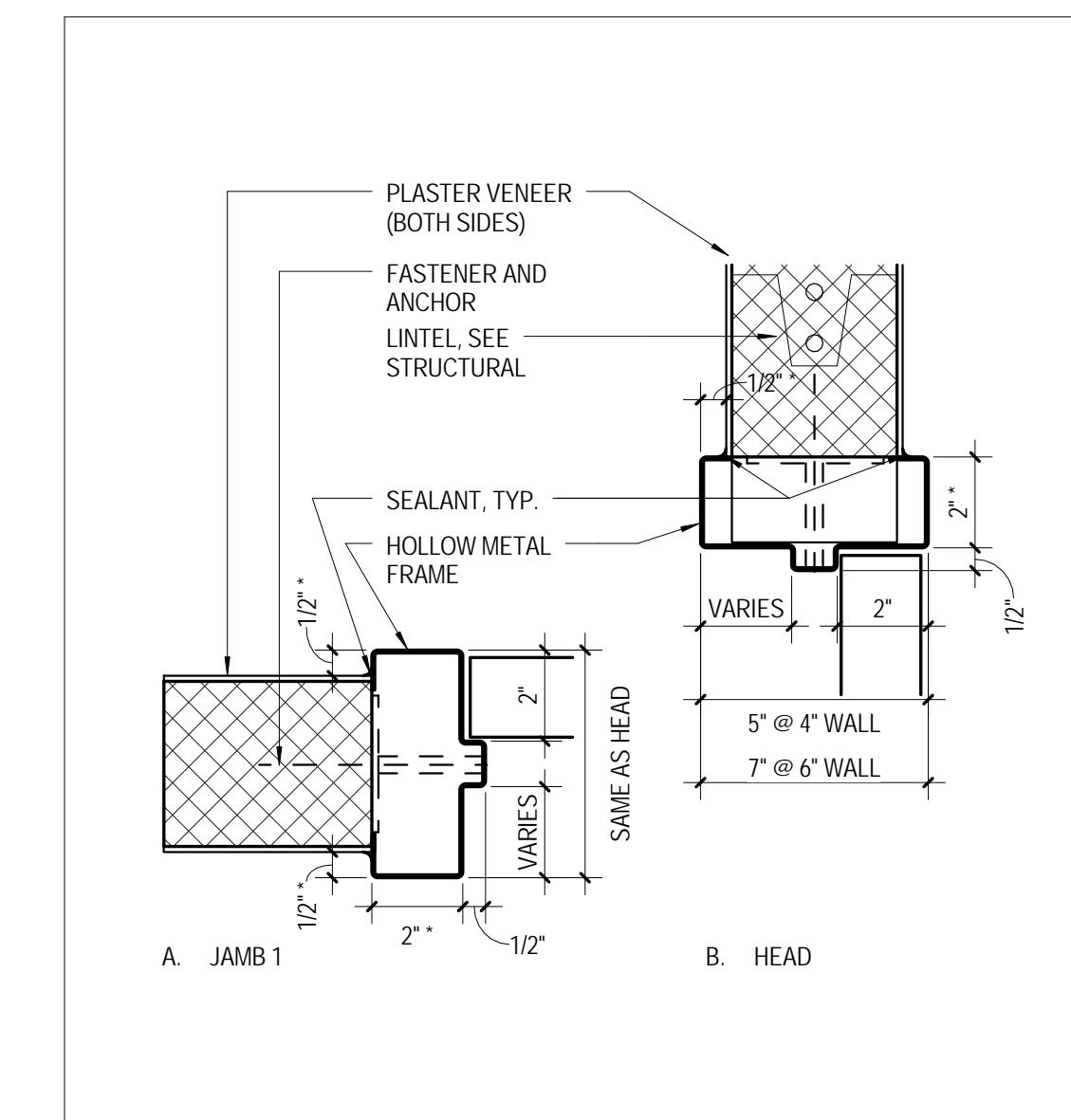
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DOOR DETAILS

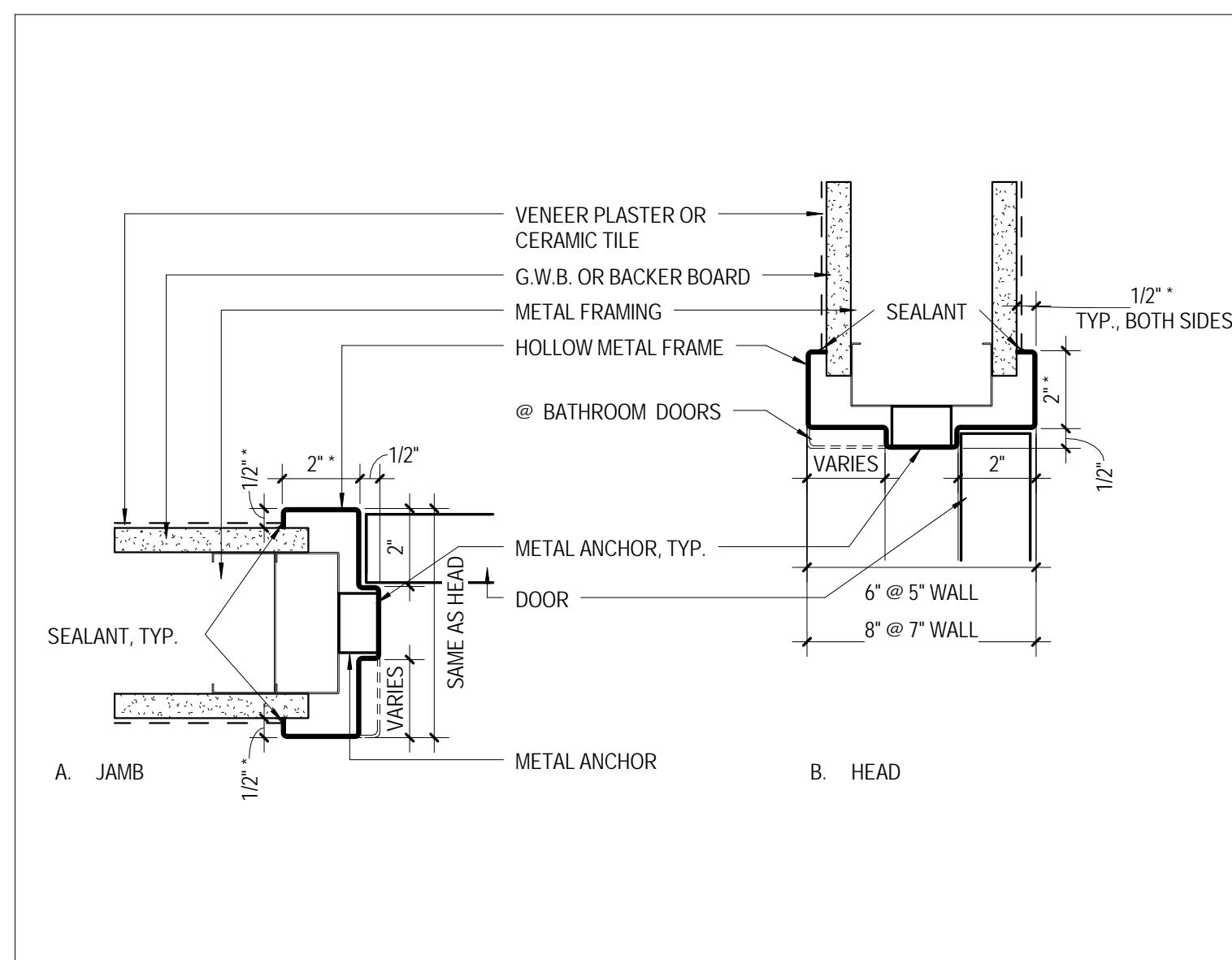
A511



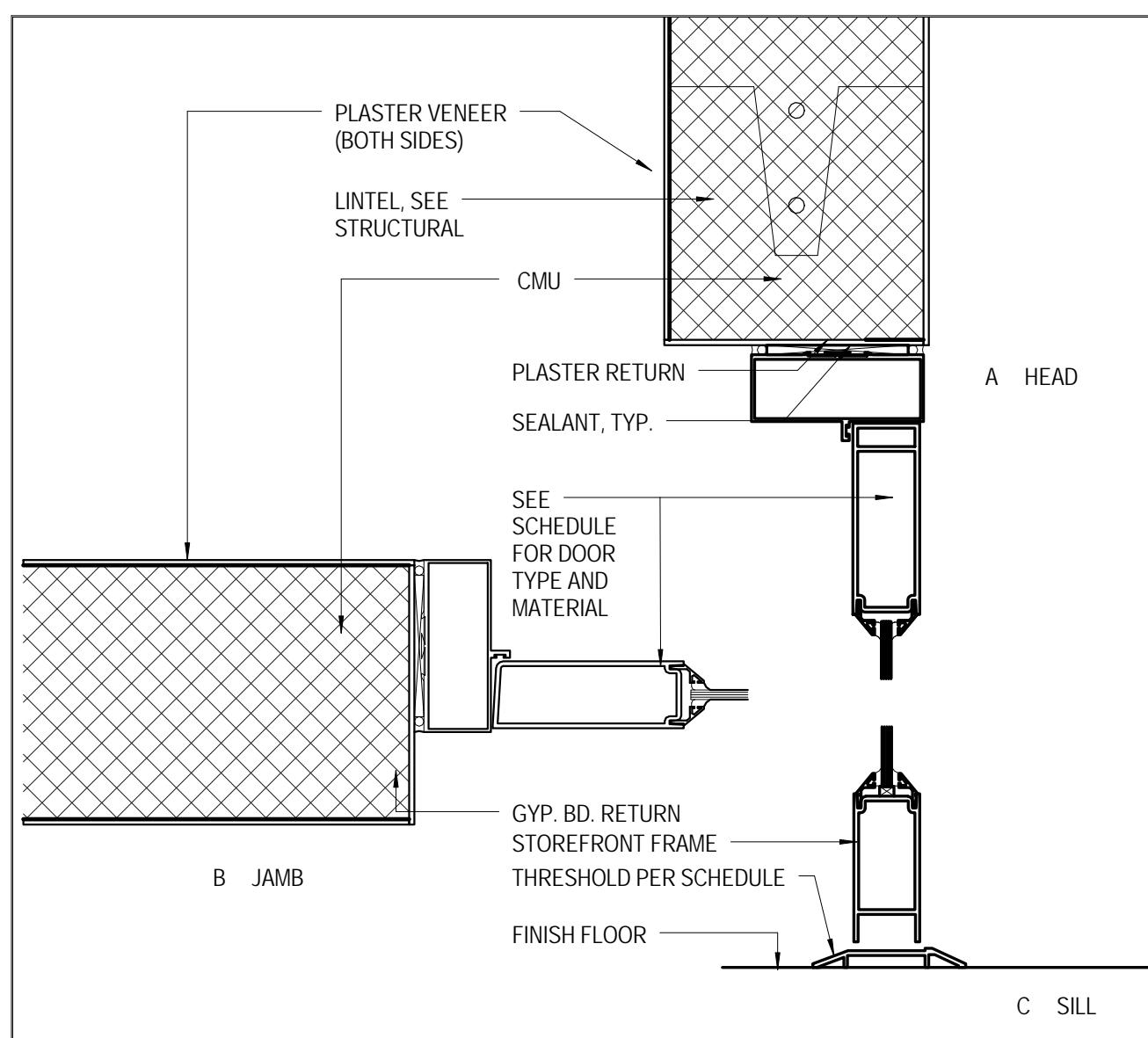
1 TYPICAL NEW H.M. FRAME @ EXISTING CMU PARTITION
A511 3" = 1'-0"



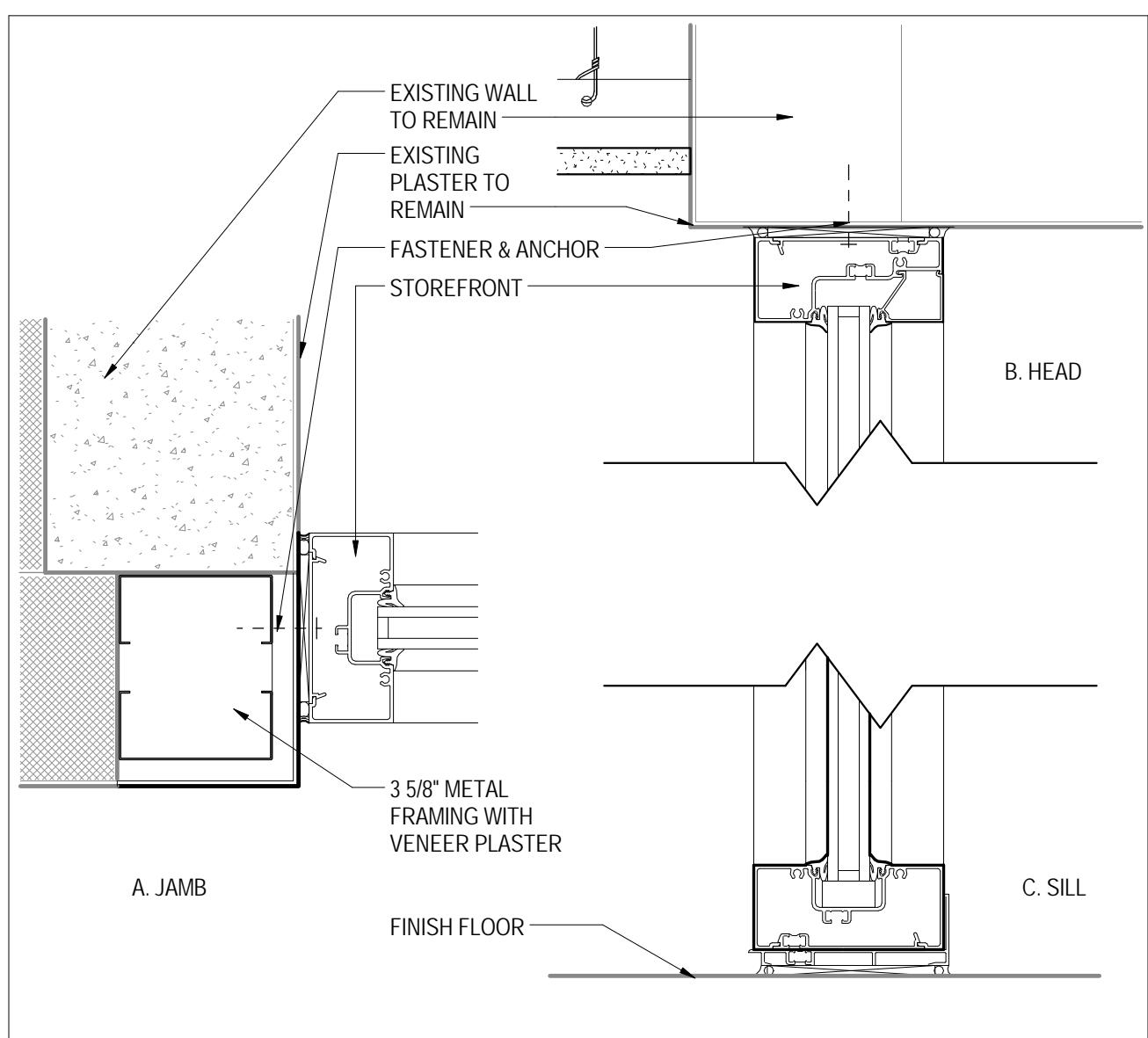
2 TYPICAL NEW H.M. FRAME @ NEW CMU PARTITION
A101 A511 3" = 1'-0"



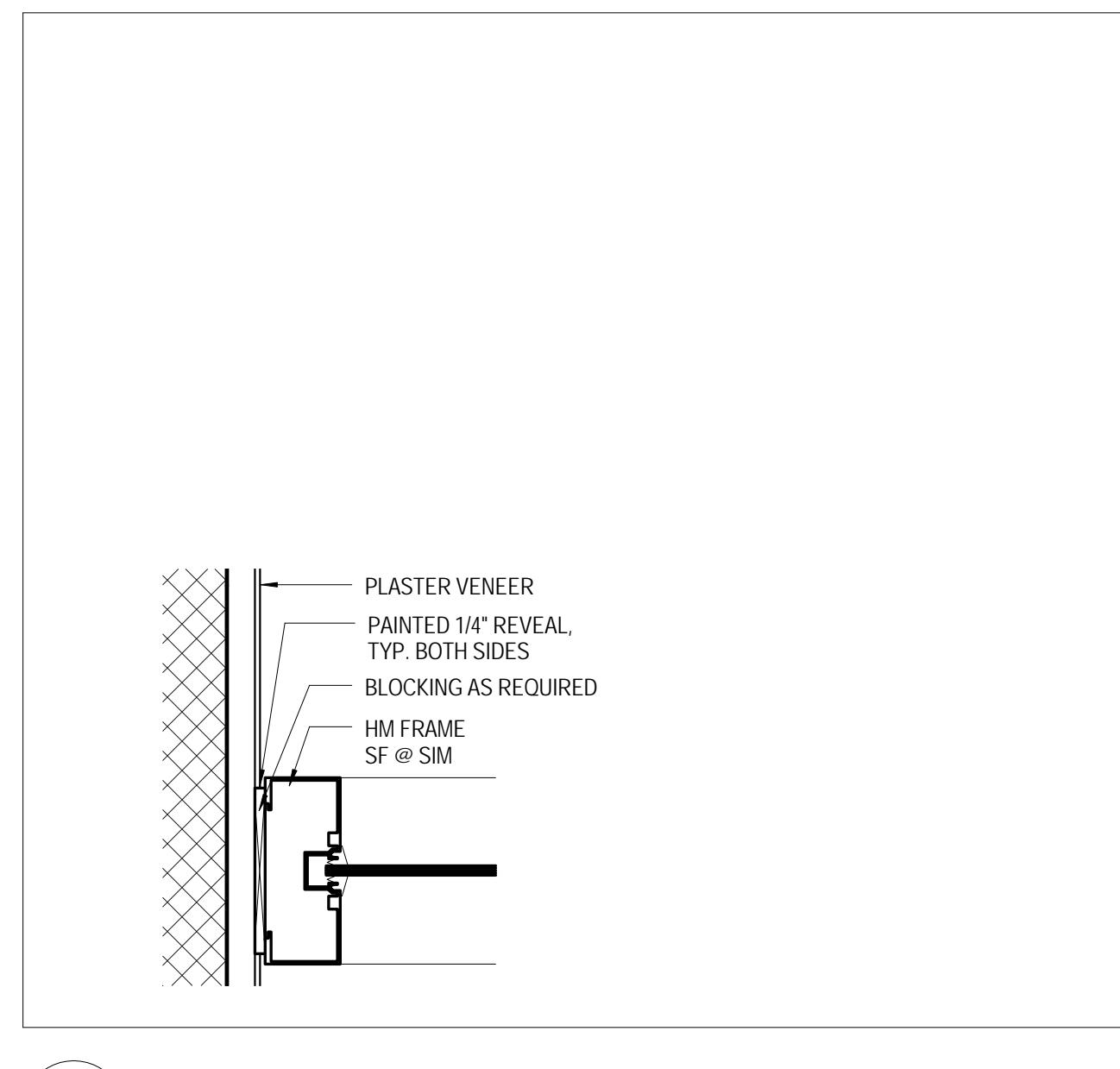
3 TYPICAL H.M. HEAD/JAMB @ GYP. PARTITIONS
A511 3" = 1'-0"



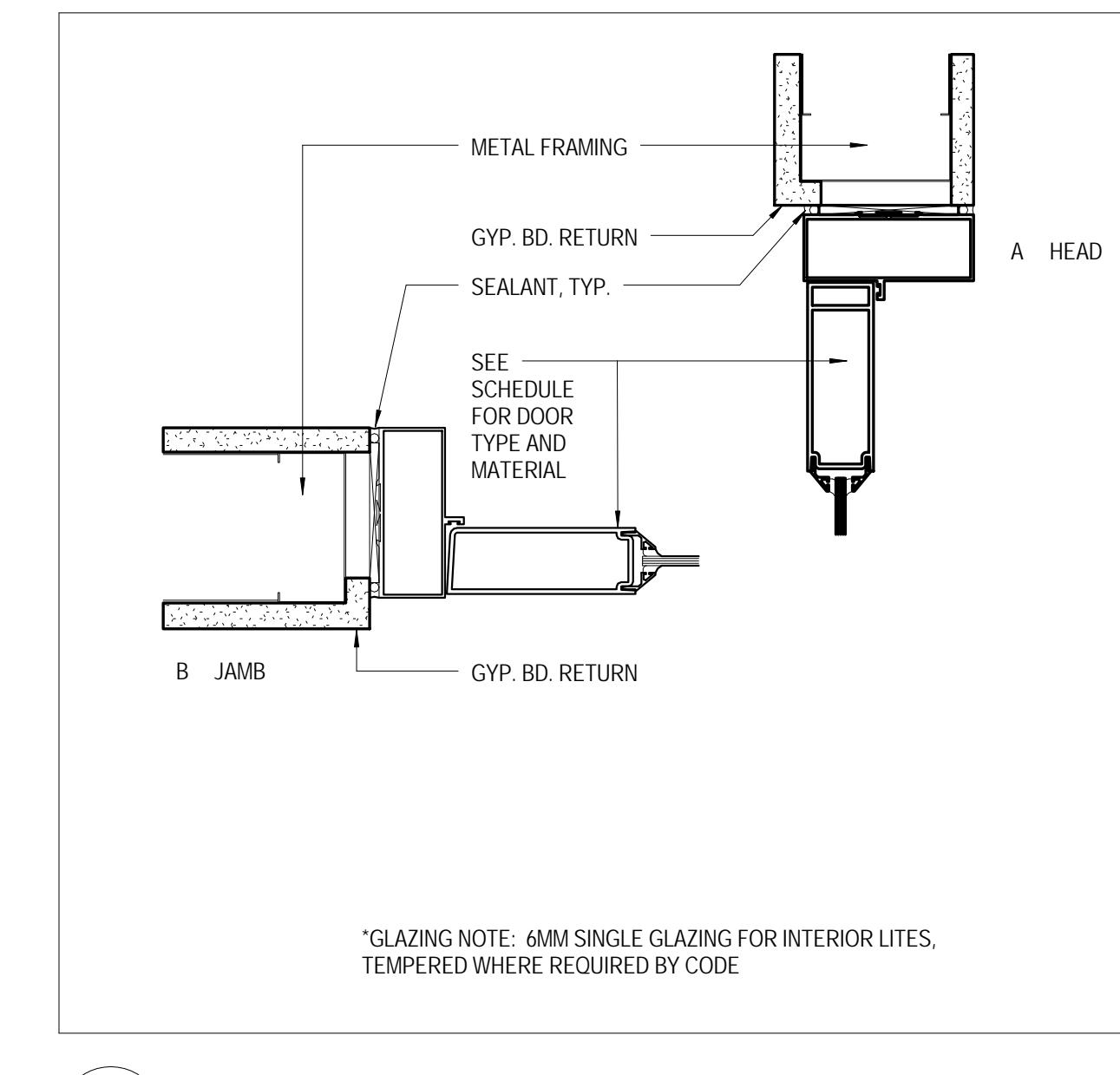
4 SF HEAD & JAMB @ 6" CMU
A511 3" = 1'-0"



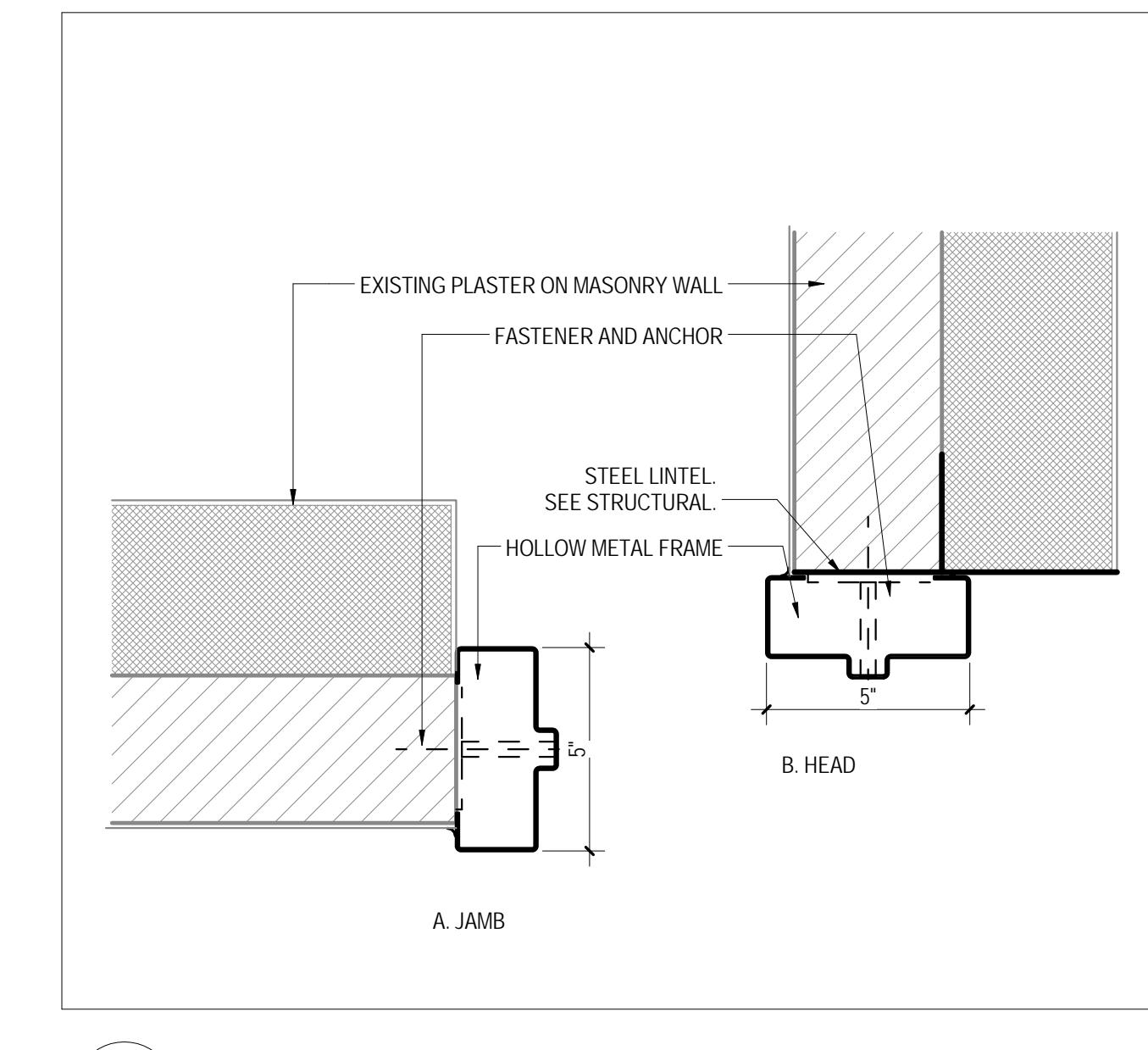
5 HEAD & SILL @ SF TRANSOM
A511 3" = 1'-0"



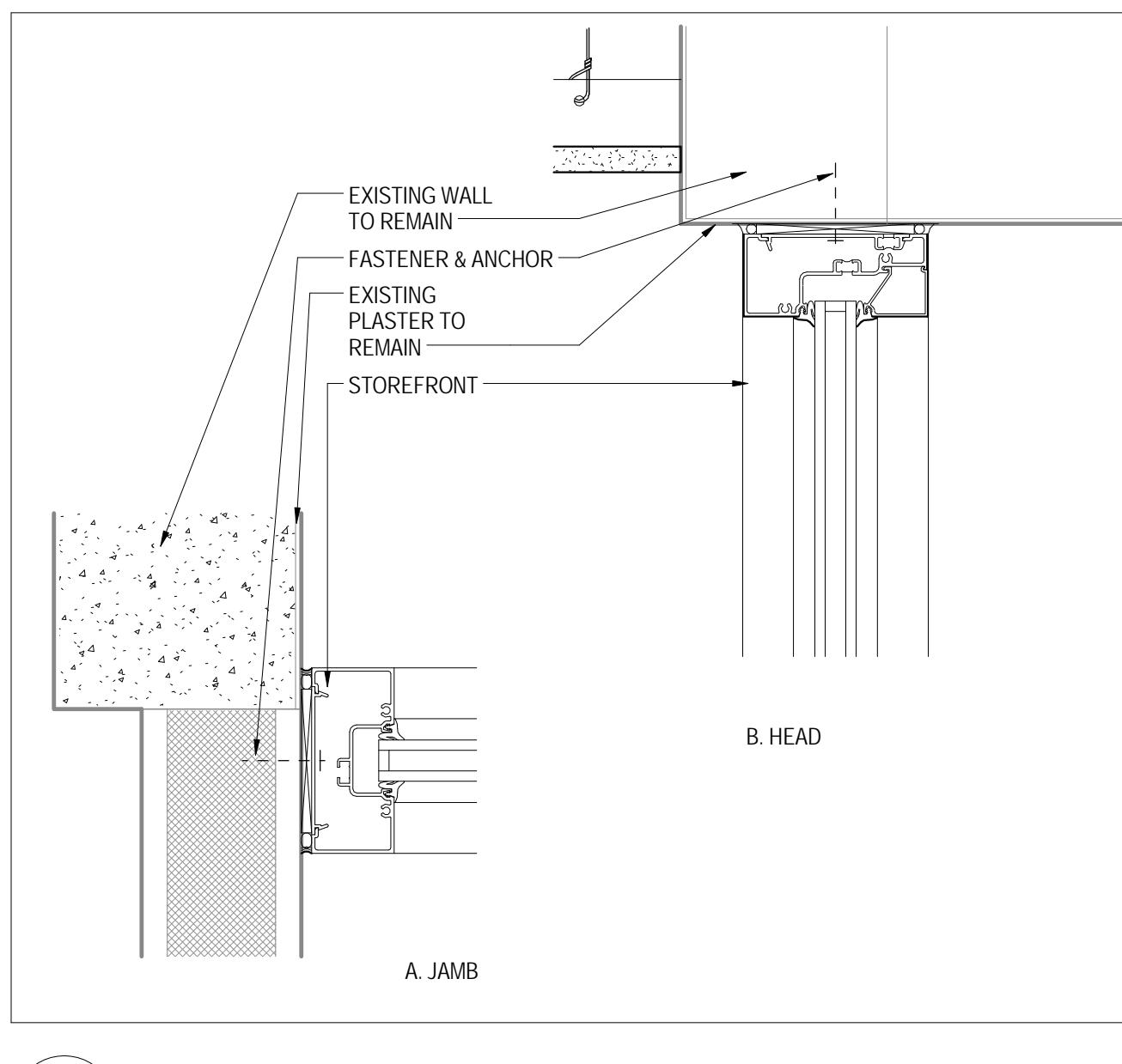
6 DETAIL @ HM JAMB
W026 A511 3" = 1'-0"



7 TYPICAL INTERIOR STOREFRONT DOOR @ GWB WALL
A511 3" = 1'-0"



8 HM HEAD/JAMB @ EXISTING BRICK
A511 3" = 1'-0"



9 HEAD & SILL @ SF TRANSOM
A511 3" = 1'-0"

ISSUES AND REVISIONS
NO. SUBMITTAL
5 BID DOCUMENTS
DATE
05.19.14



RENOVATION OF THREE RESIDENCE HALLS POCAHONTAS, BOLLING, & DRAPER HALLS

RADFORD UNIVERSITY
RADFORD, VIRGINIA

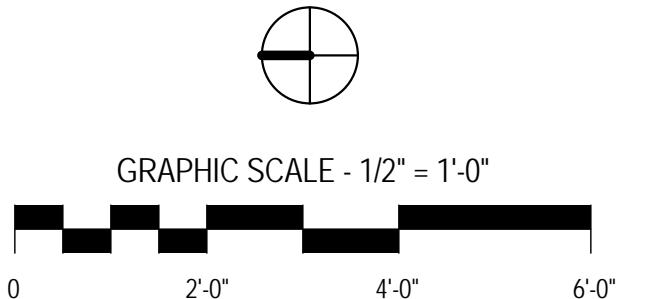
Project Code 217-17565-000
VMDO Project Number 1115



Checked By MLW / ARS
Drawn By DEM / MBW

KEYNOTE LEGEND

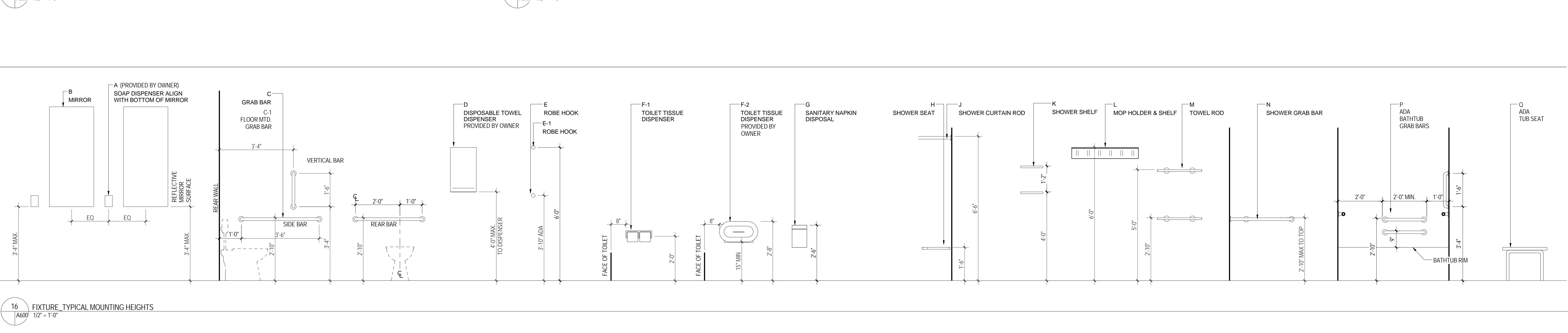
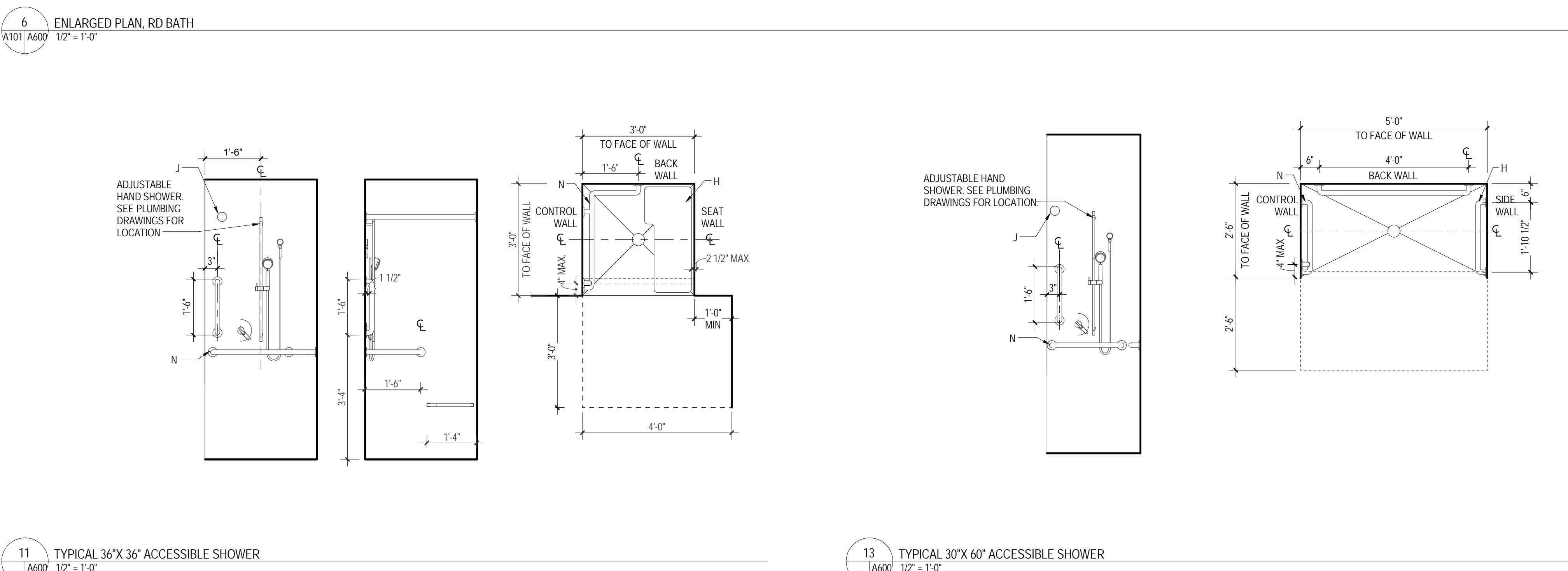
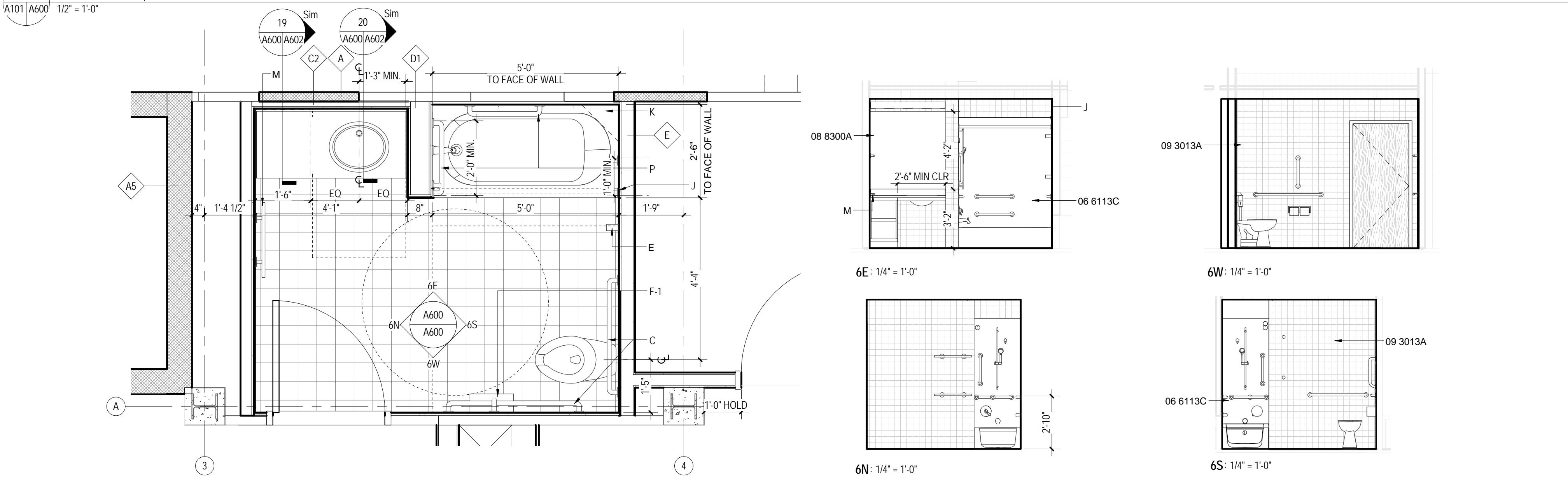
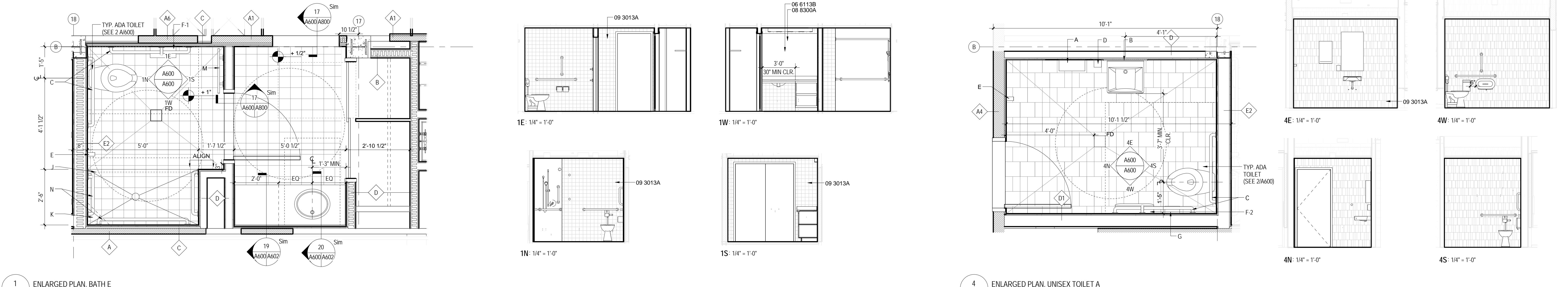
- 06 6113B CULTURED MARBLE FABRICATIONS - COUNTERTOP W/ INTEGRAL SINK AND STL. BRACKETS
- 06 6113C CULTURED MARBLE FABRICATIONS - SHOWER WALL SURROUND & PANS
- 08 8300A MIRRORS
- 09 3013A CERAMIC TILING

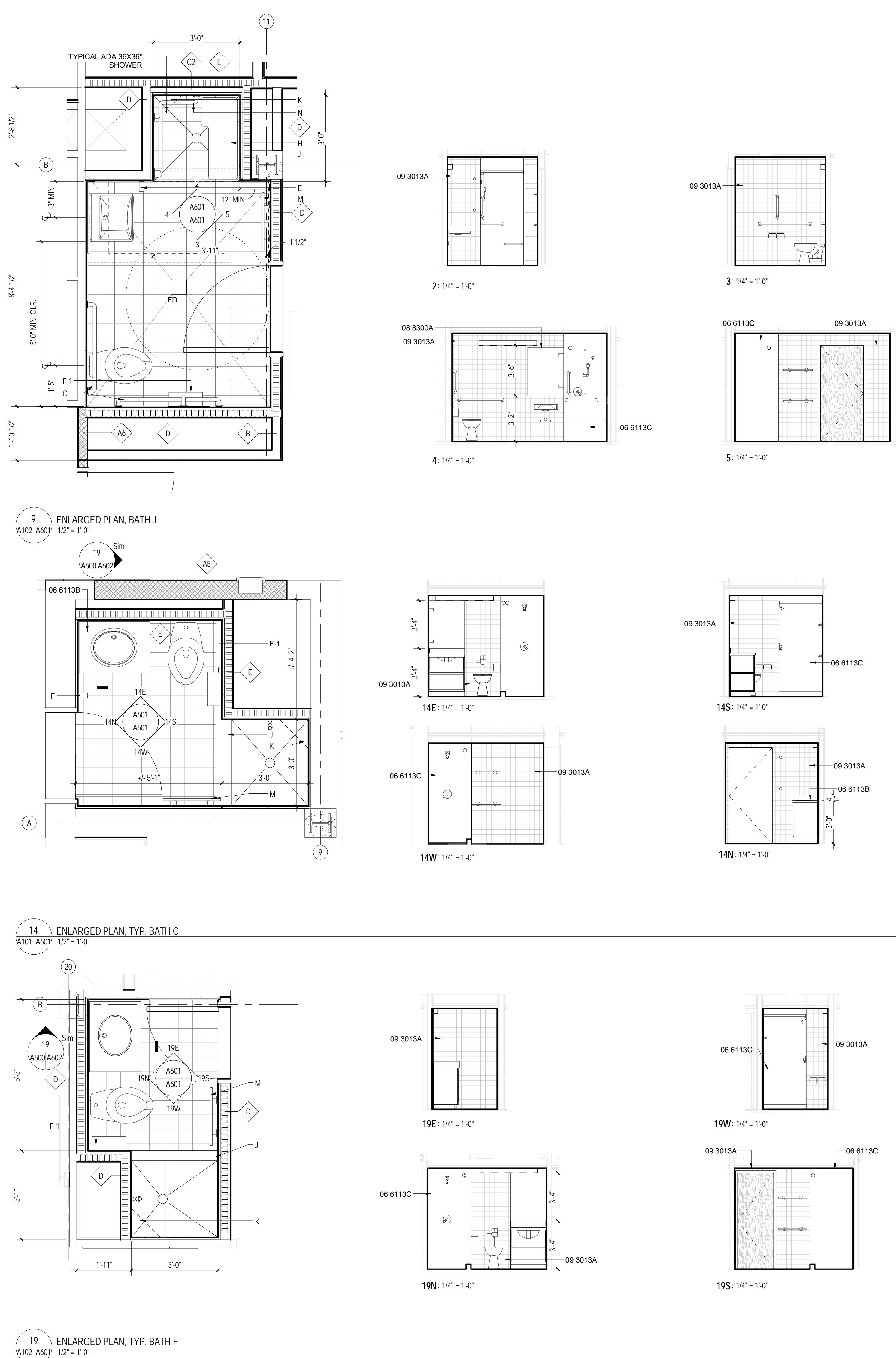
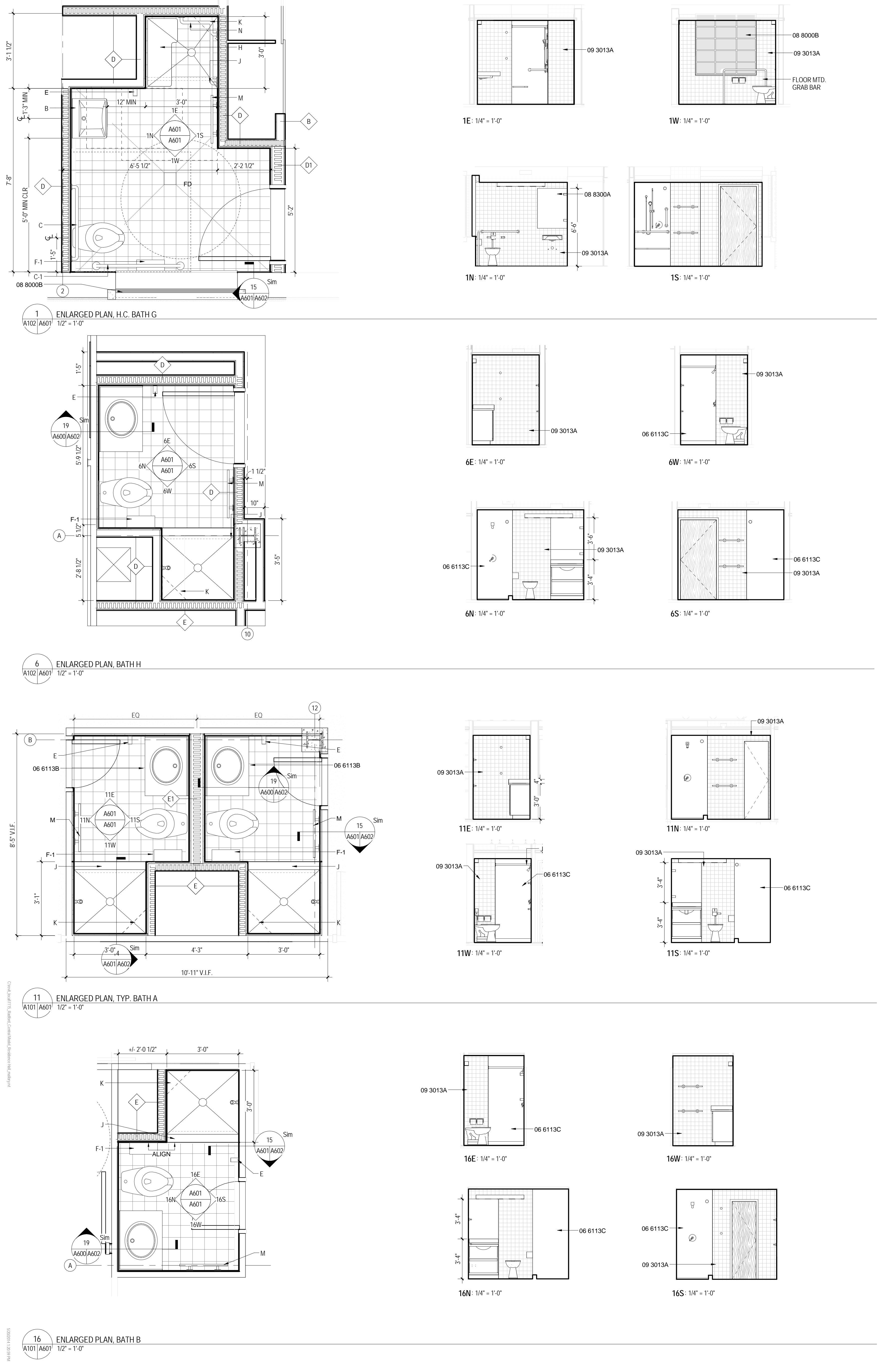


ISSUES AND REVISIONS
NO. SUBMITTAL
5 BID DOCUMENTS
DATE 05.19.14

TOILET ACCESSORIES / ENLARGED PLANS & ELEVATIONS

A600





RENOVATION OF THREE RESIDENCE HALLS POCAHONTAS, BOLLING, & DRAPER HALLS

RADFORD UNIVERSITY
RADFORD, VIRGINIA

217-17565-000
1115

Project Code 217-17565-000
MDO Project Number 1115

Project Code 217-17565-000
MDO Project Number 1115

MLW / ARS
DEM / MBW

Checked By MLW / ARS
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| ISSUES AND REVISIONS | |
|----------------------|----------|
| NO. SUBMITTAL | DATE |
| BID DOCUMENTS | 05.19.14 |

DATE
05.19.14

ENLARGED TOILET PLANS & ELEVATIONS

A601



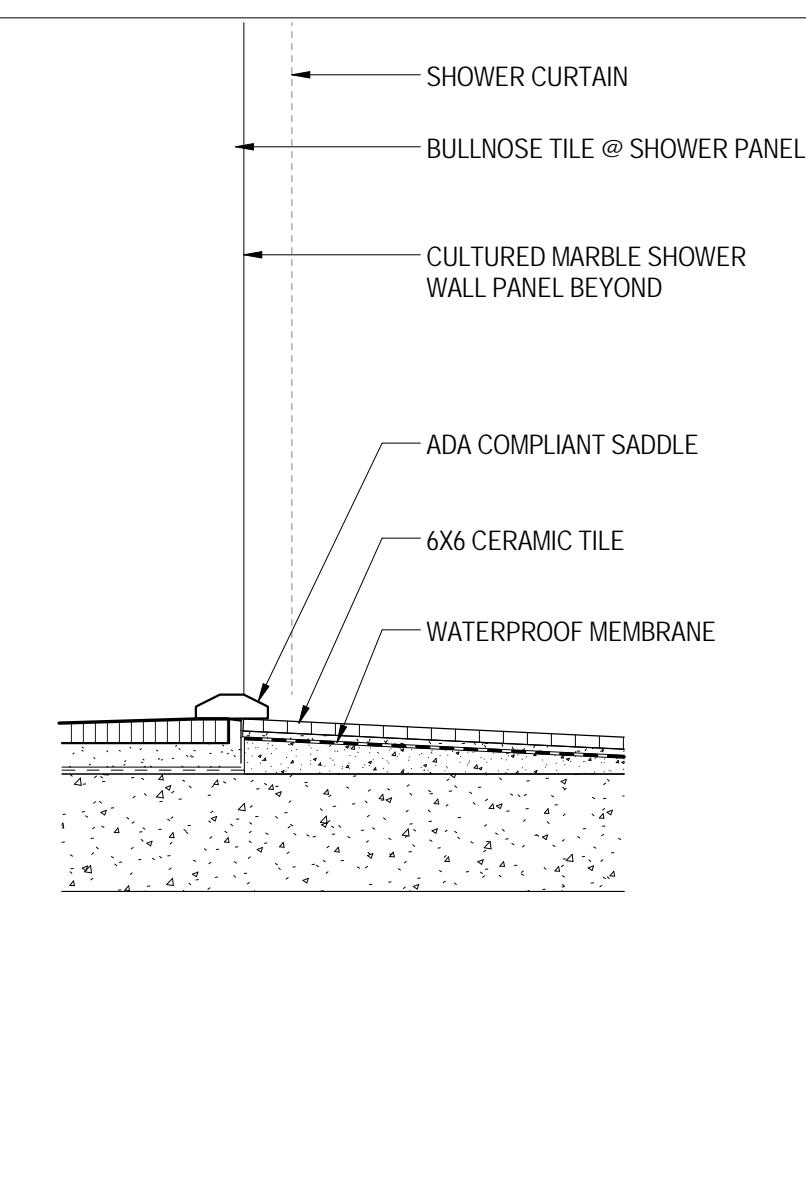
RENOVATION OF THREE
RESIDENCE HALLS
POCAHONTAS, BOLLING,
& DRAPER HALLS

RADFORD UNIVERSITY
RADFORD, VIRGINIA

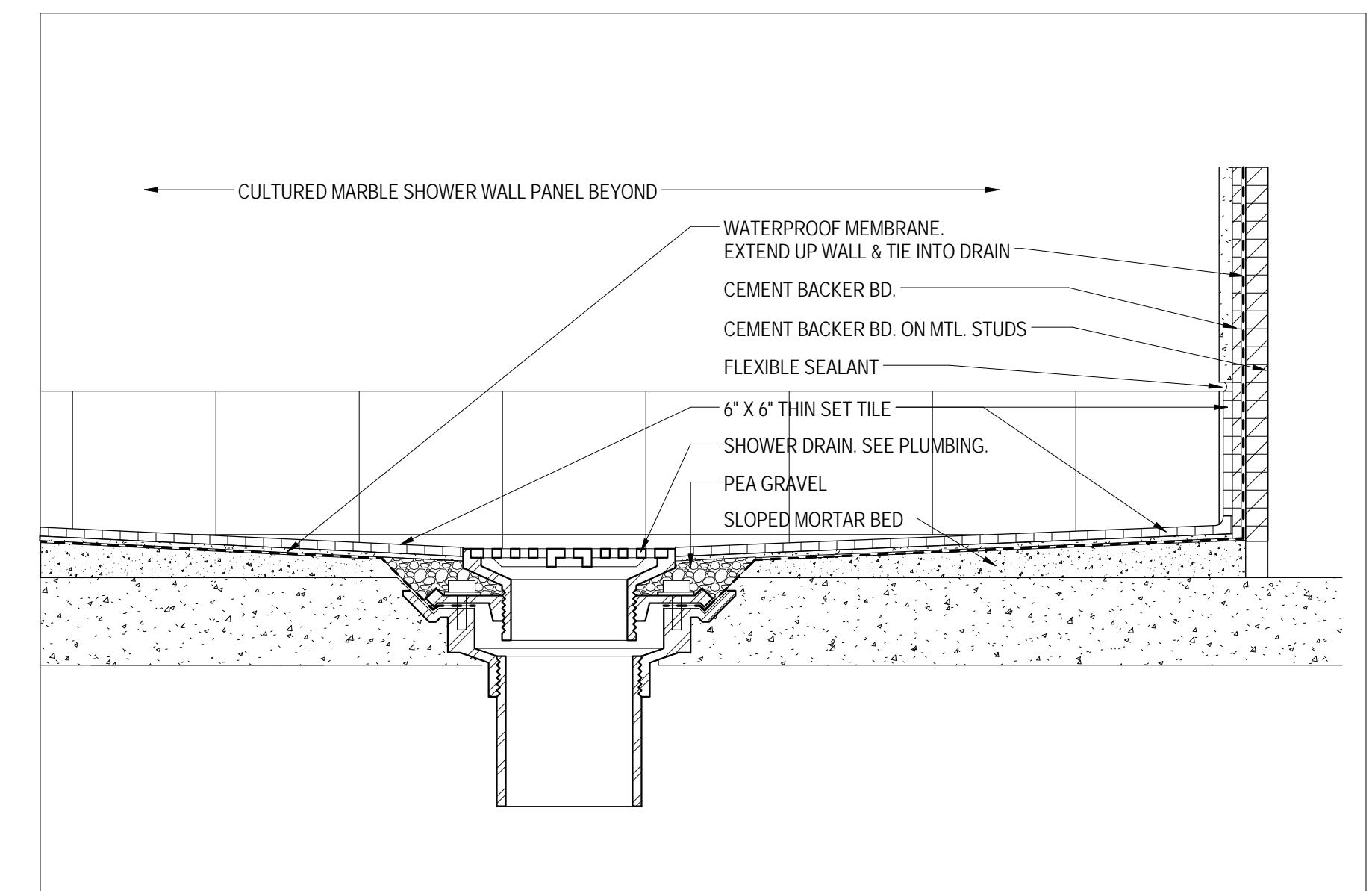
Project Code 217-17565-000
VMDO Project Number 1115



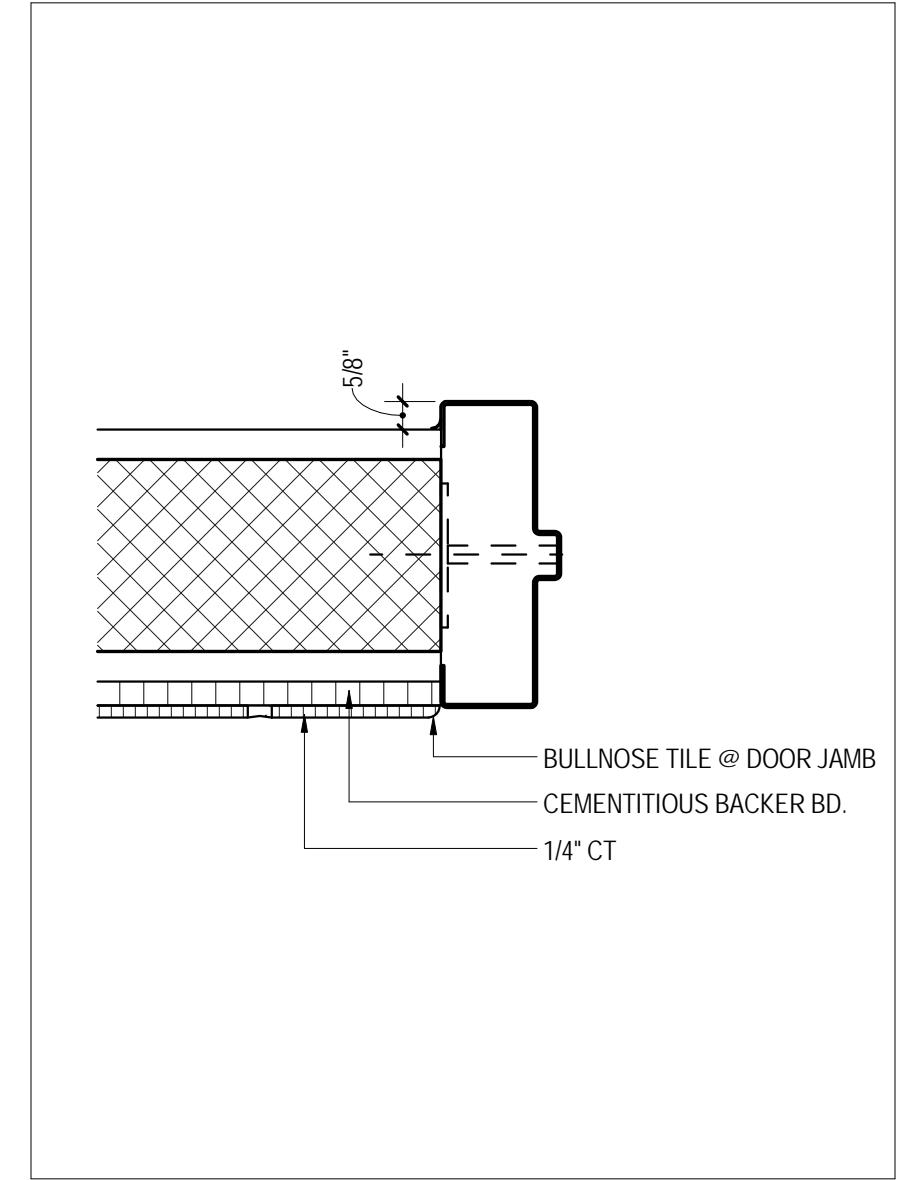
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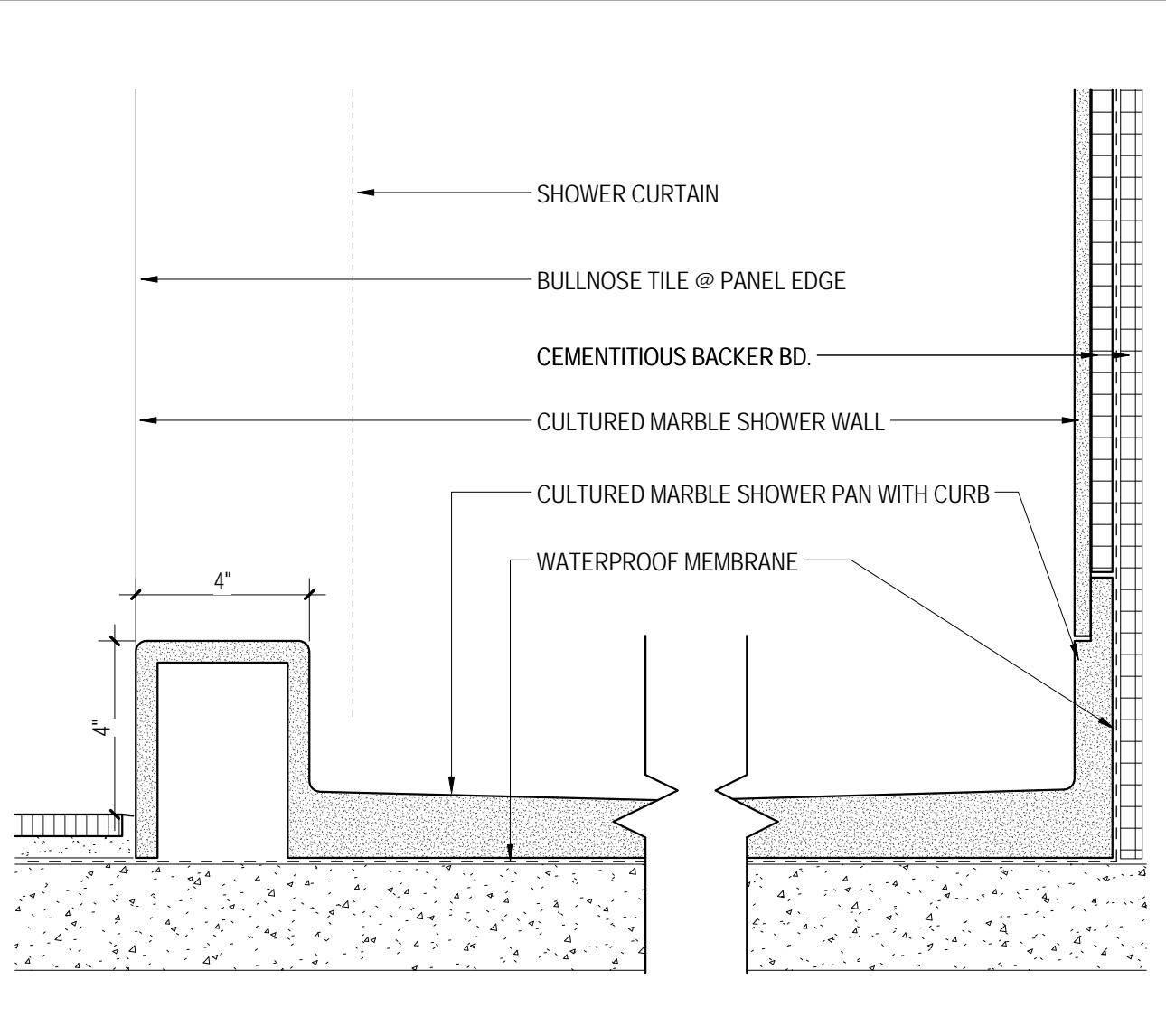
4 ACCESSIBLE SHOWER PAN TRANSITION
A602 3' = 1'-0"



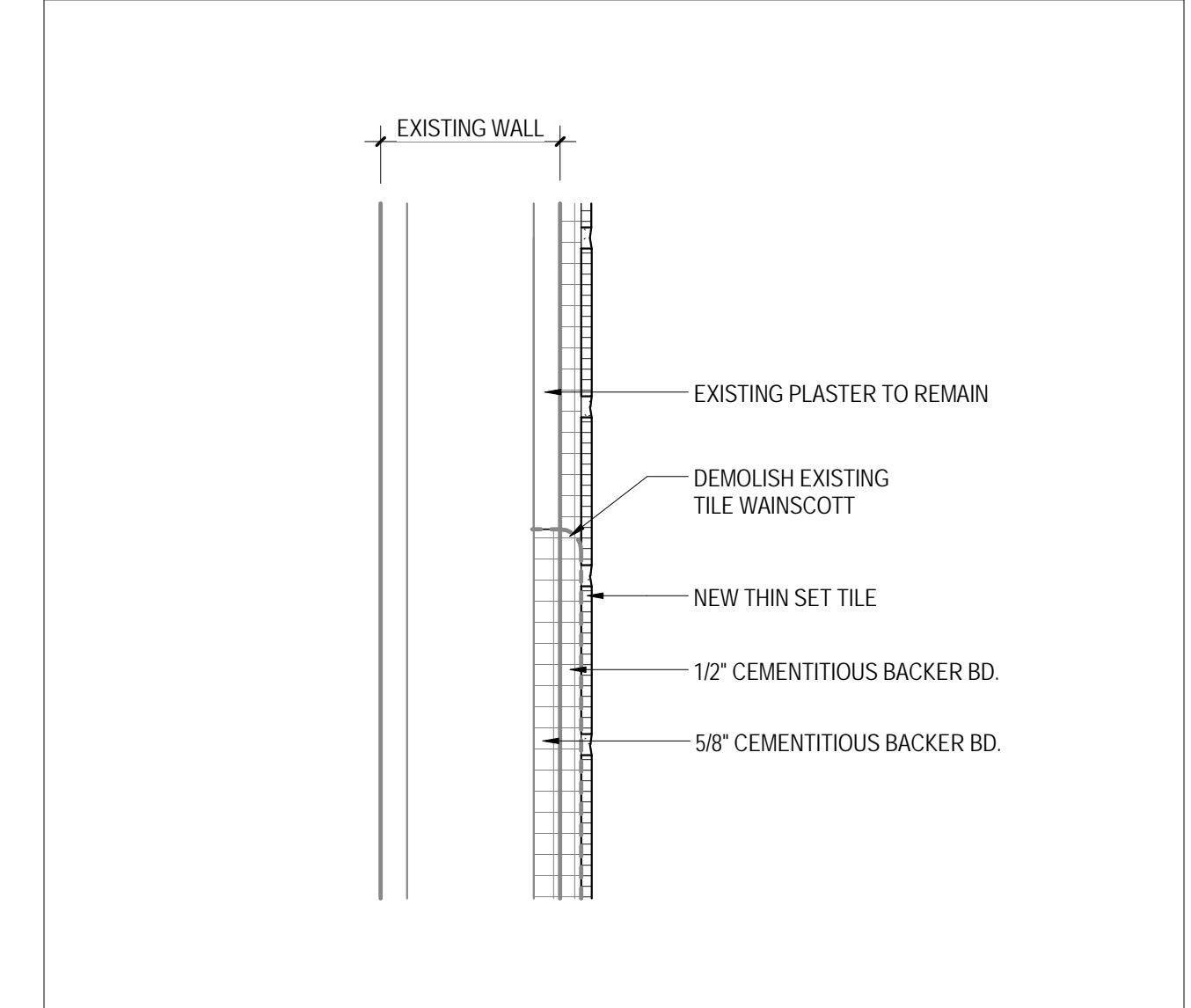
5 ACCESSIBLE SHOWER PAN DETAIL
A602 3' = 1'-0"



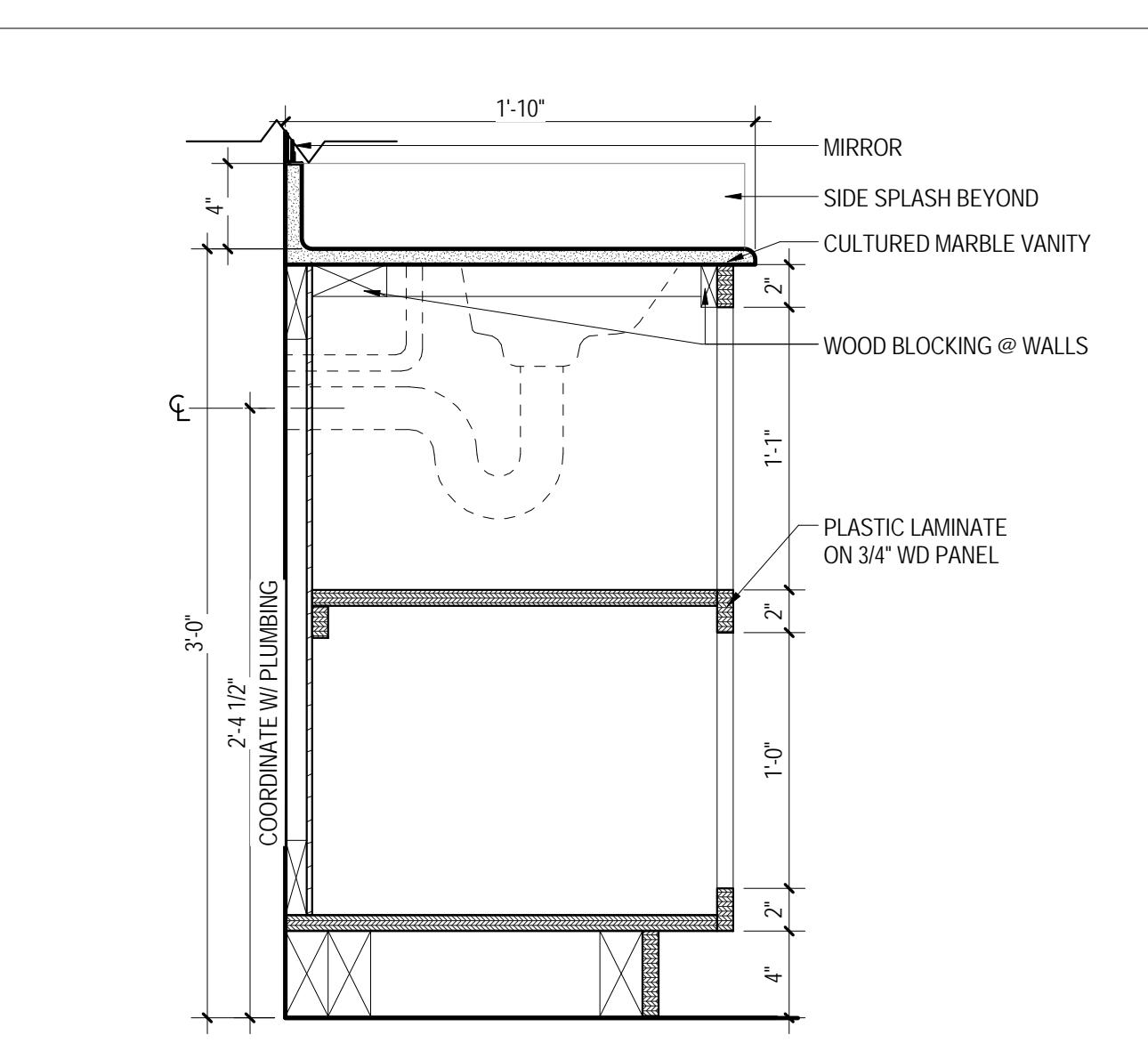
9 TYP. DETAIL @ BATHROOM DOOR JAMB
A602 3' = 1'-0"



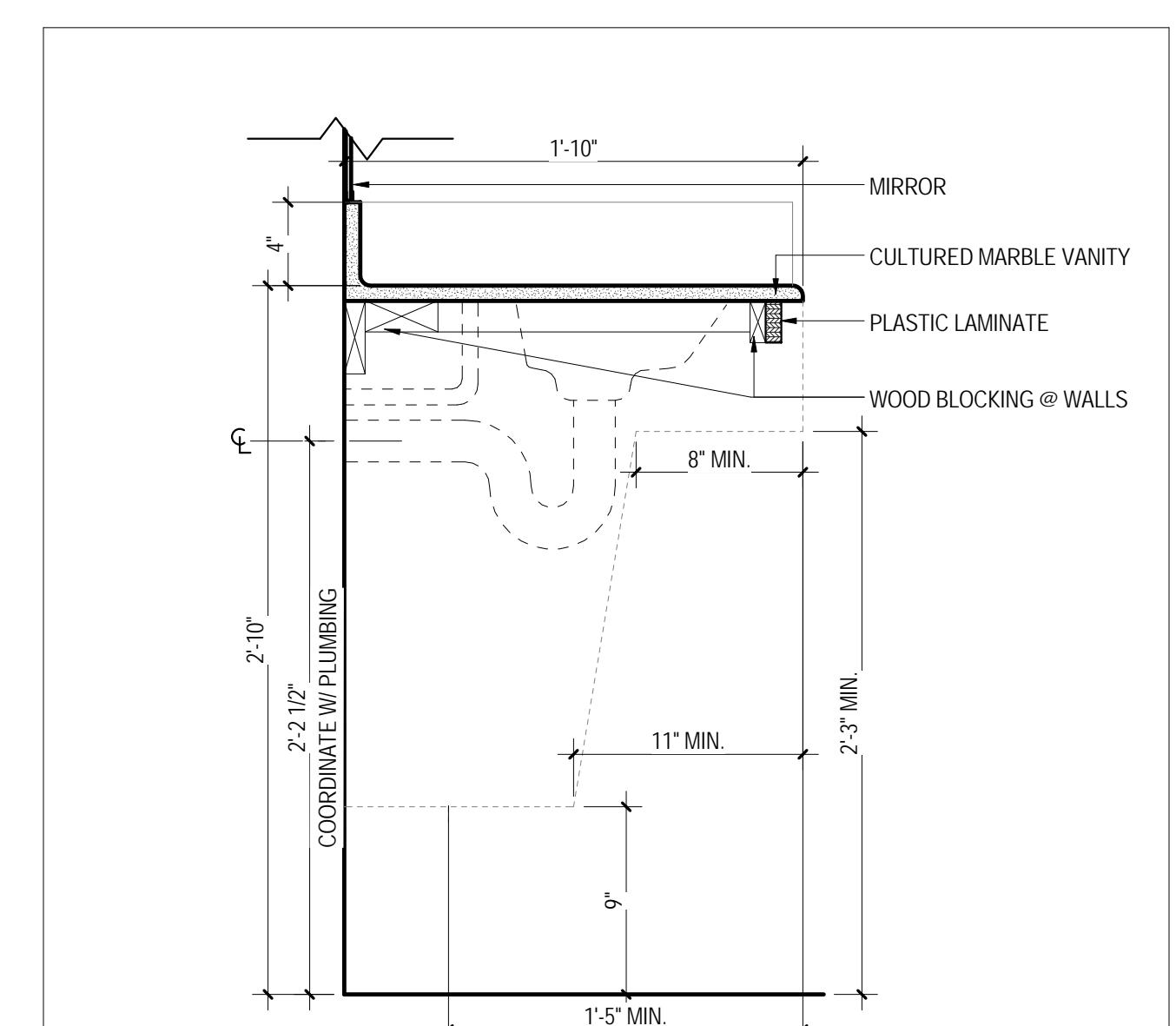
14 TYP. SHOWER PAN DETAIL
A601 | A602 3' = 1'-0"



15 DETAIL @ NEW TILE ON EXISTING BATHROOM WALL
A601 | A602 3' = 1'-0"



19 TYP. BATHROOM VANITY DETAIL
A600 | A602 1 1/2" = 1'-0"



20 TYP. HC BATHROOM VANITY DETAIL
A600 | A602 1 1/2" = 1'-0"

ISSUES AND REVISIONS
NO. SUBMITTAL
5 BID DOCUMENTS
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05.19.14

BATHROOM DETAILS

A602

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RENOVATION OF THREE
RESIDENCE HALLS
POCAHONTAS, BOLLING,
& DRAPER HALLS

RADFORD UNIVERSITY
RADFORD, VIRGINIA

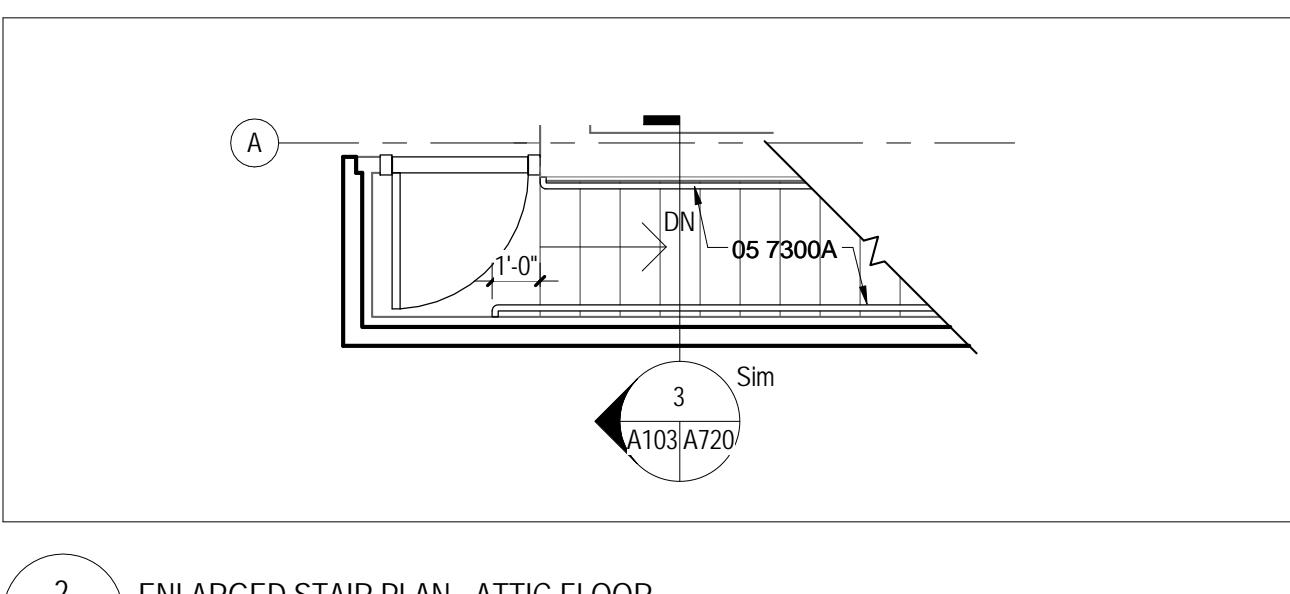
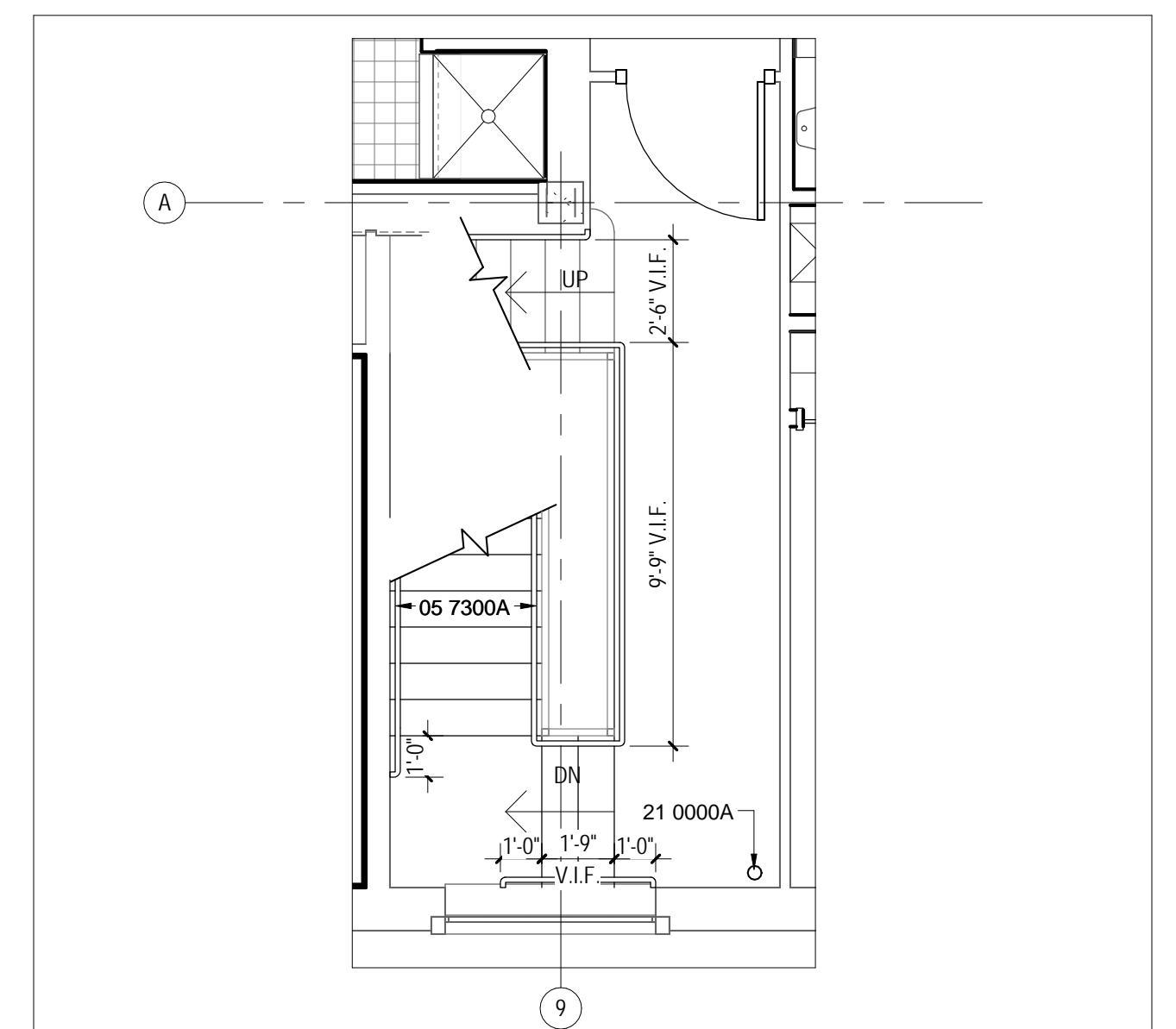
Project Code
VMDO Project Number
217-17565-000
1115



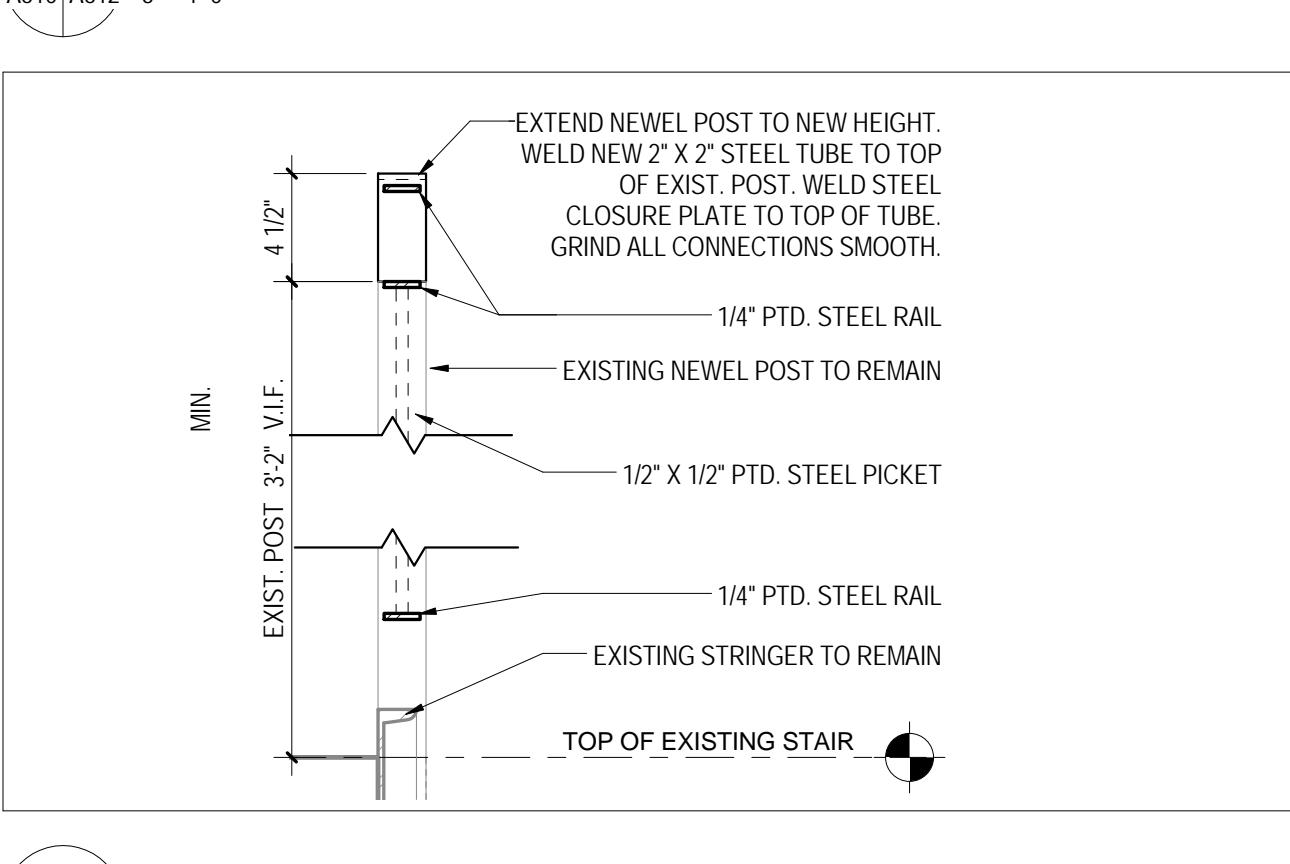
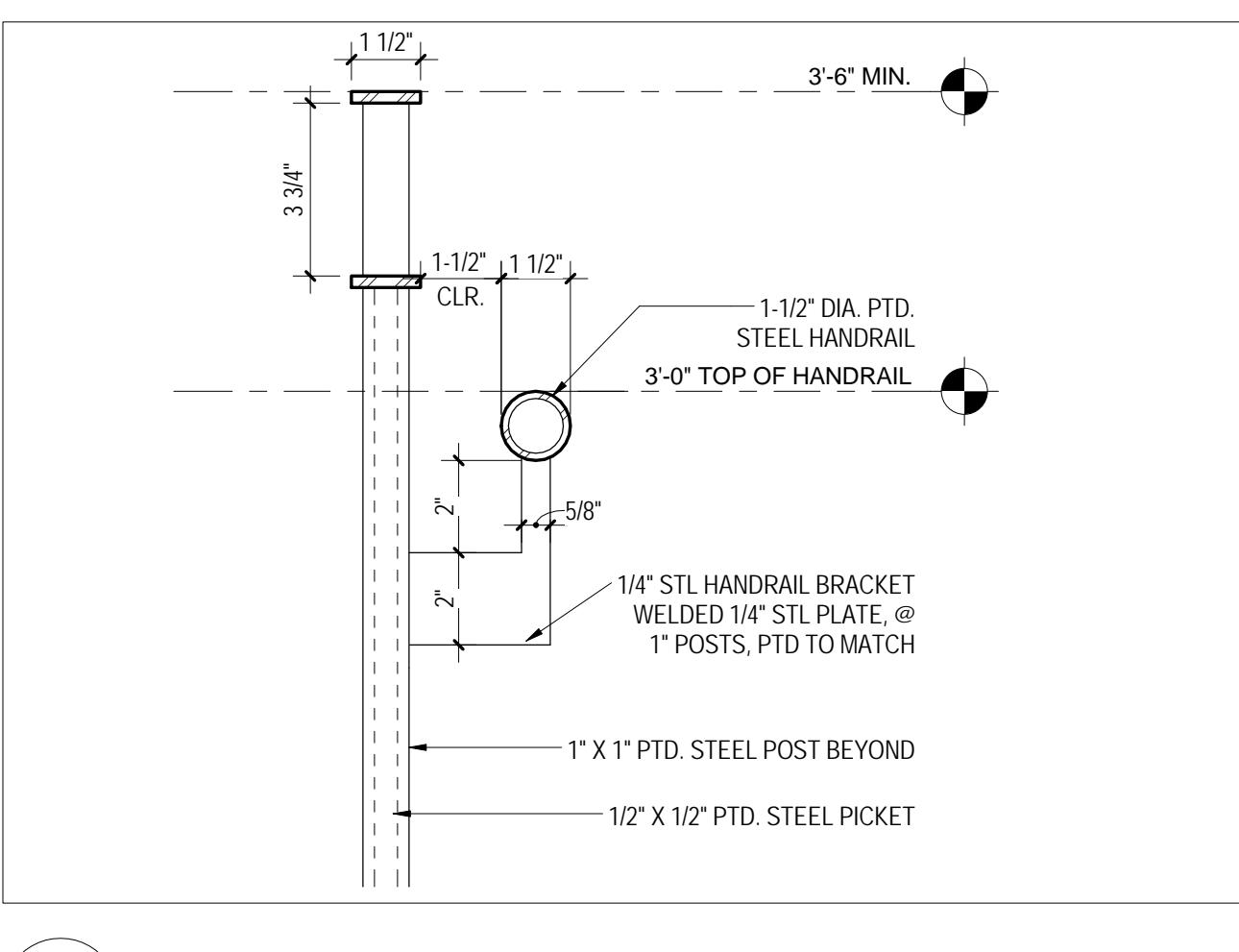
Checked By
Drawn By
MLW/ARS
MBW

ISSUES AND REVISIONS
NO. SUBMITTAL
5 BID DOCUMENTS
DATE
05.19.14

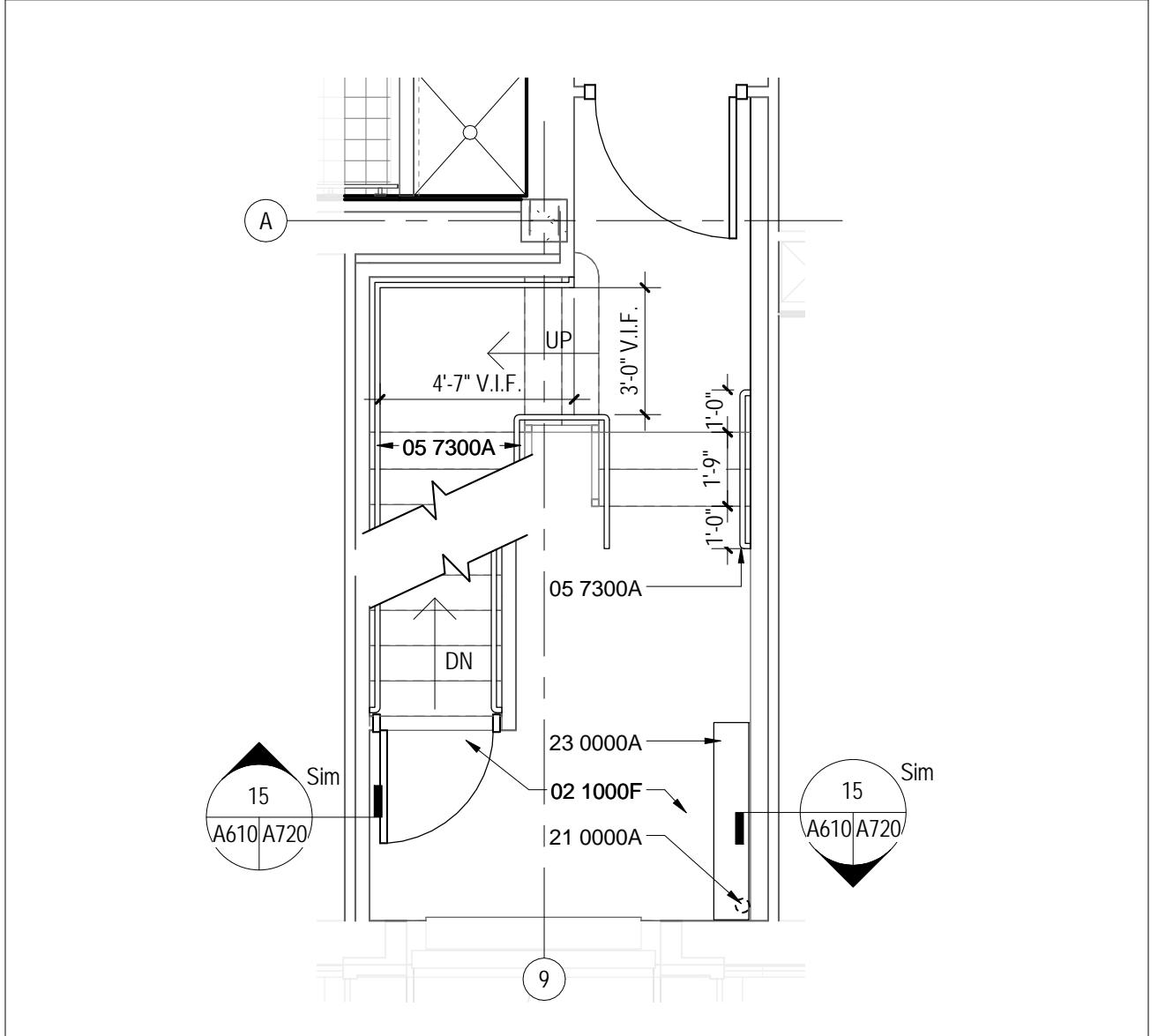
STAIR AND ELEVATOR PLANS AND SECTIONS



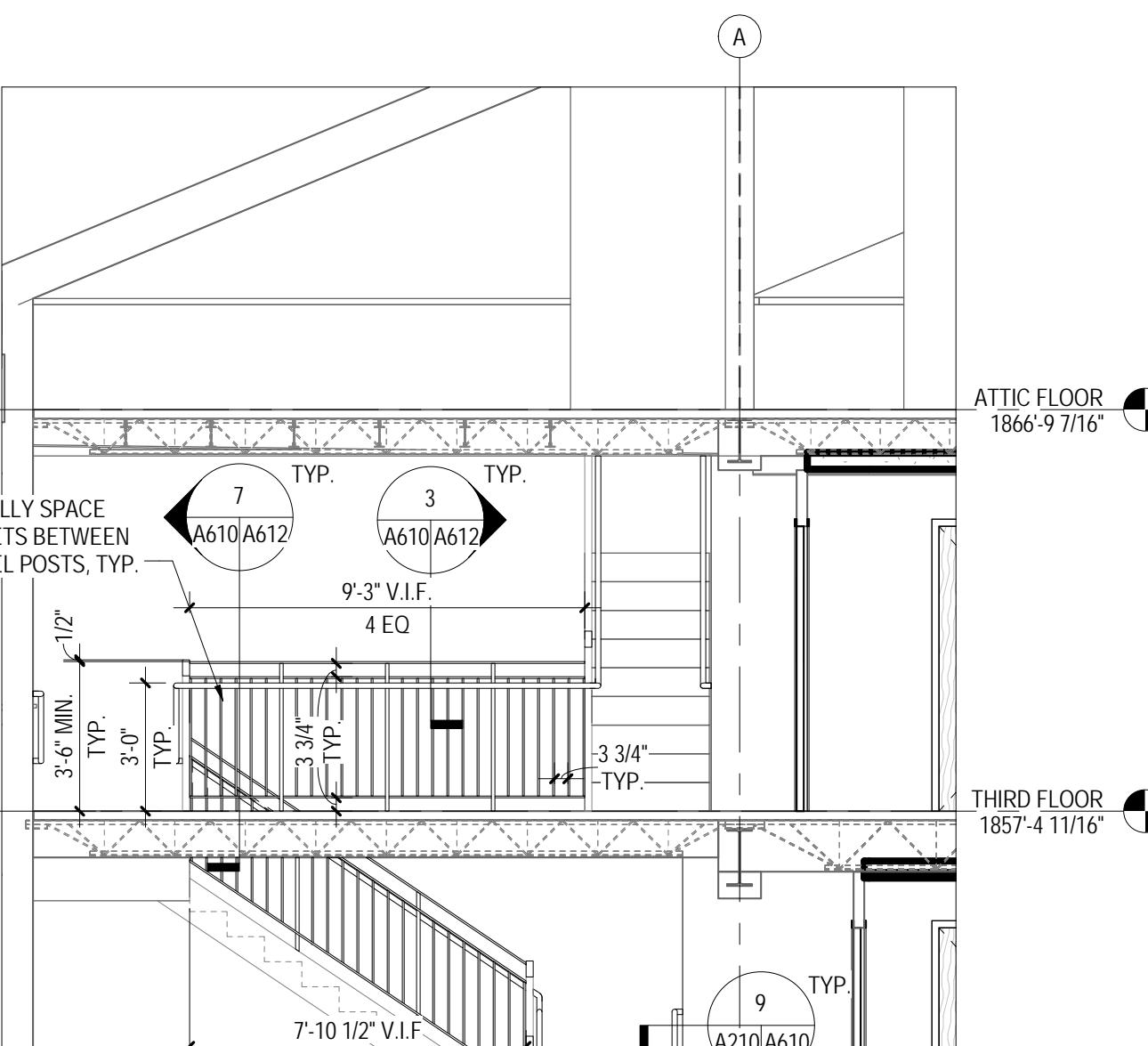
1 ENLARGED STAIR PLAN - THIRD FLOOR
A102/A612 1/4" = 1'-0"



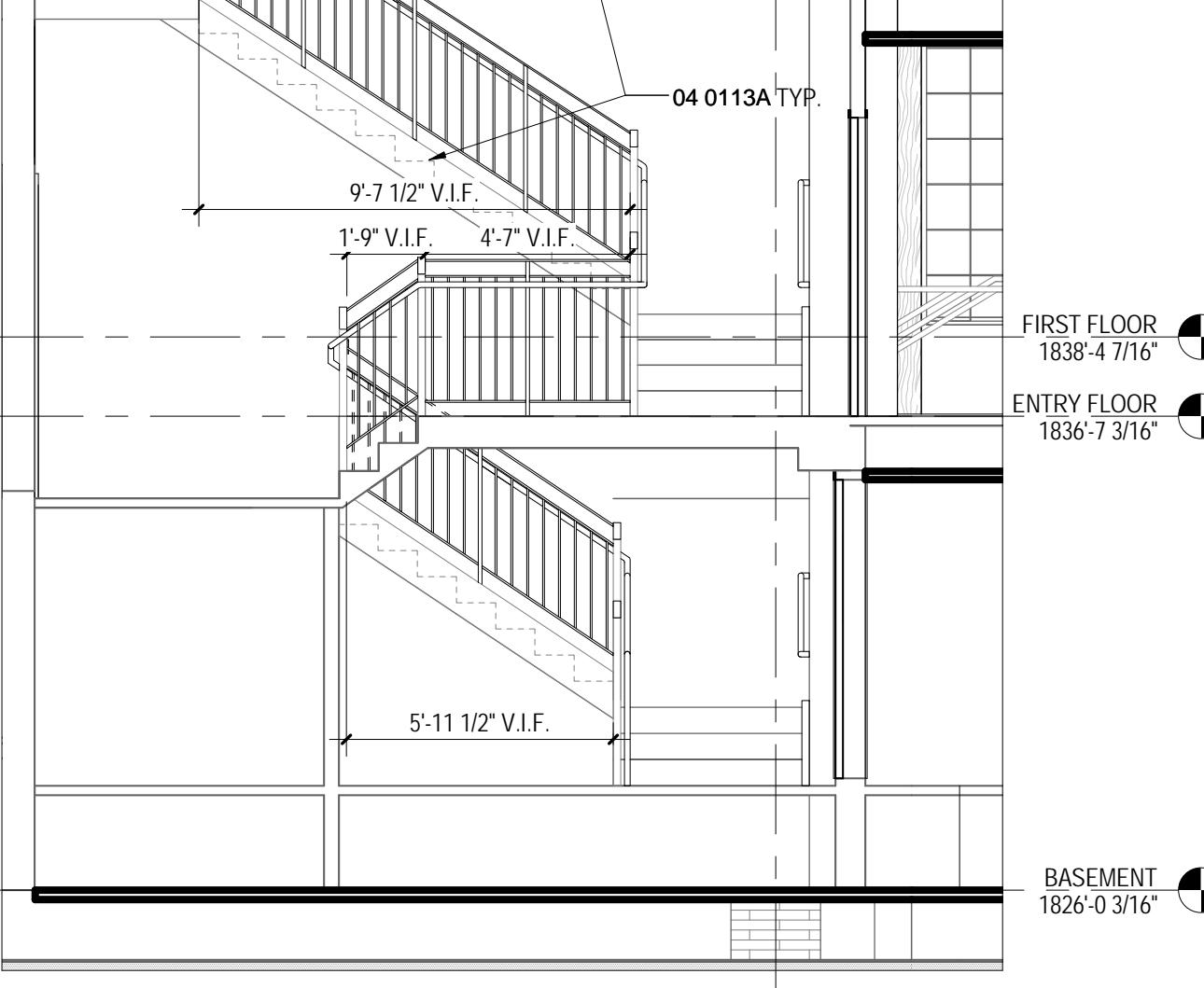
6 ENLARGED STAIR PLAN - SECOND FLOOR
A102/A612 1/4" = 1'-0"



11 ENLARGED STAIR PLAN - FIRST FLOOR
A101/A612 1/4" = 1'-0"

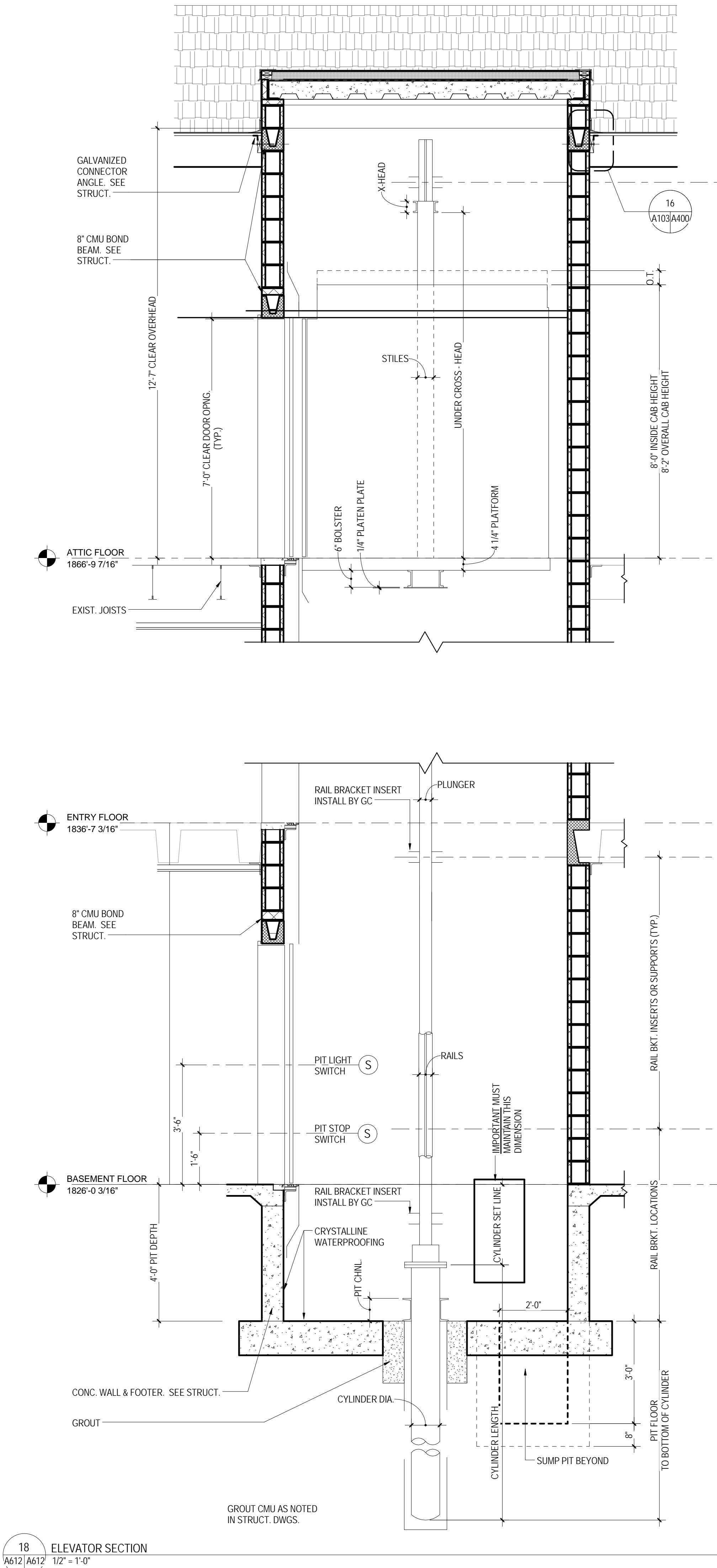


16 ENLARGED STAIR PLAN - BASEMENT
A101/A612 1/4" = 1'-0"

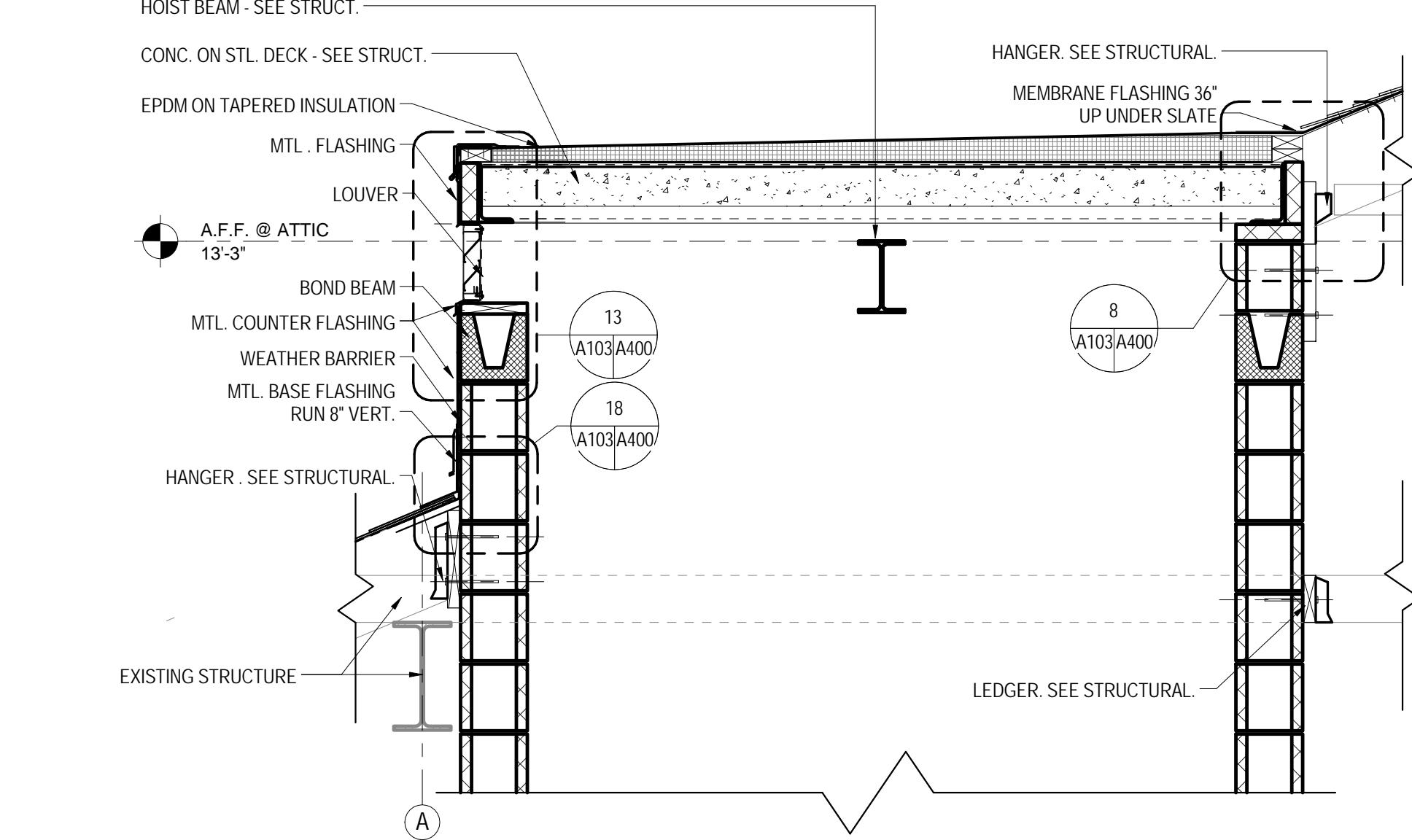


17 STAIR SECTION - EXISTING STAIR
A610/A612 1/4" = 1'-0"

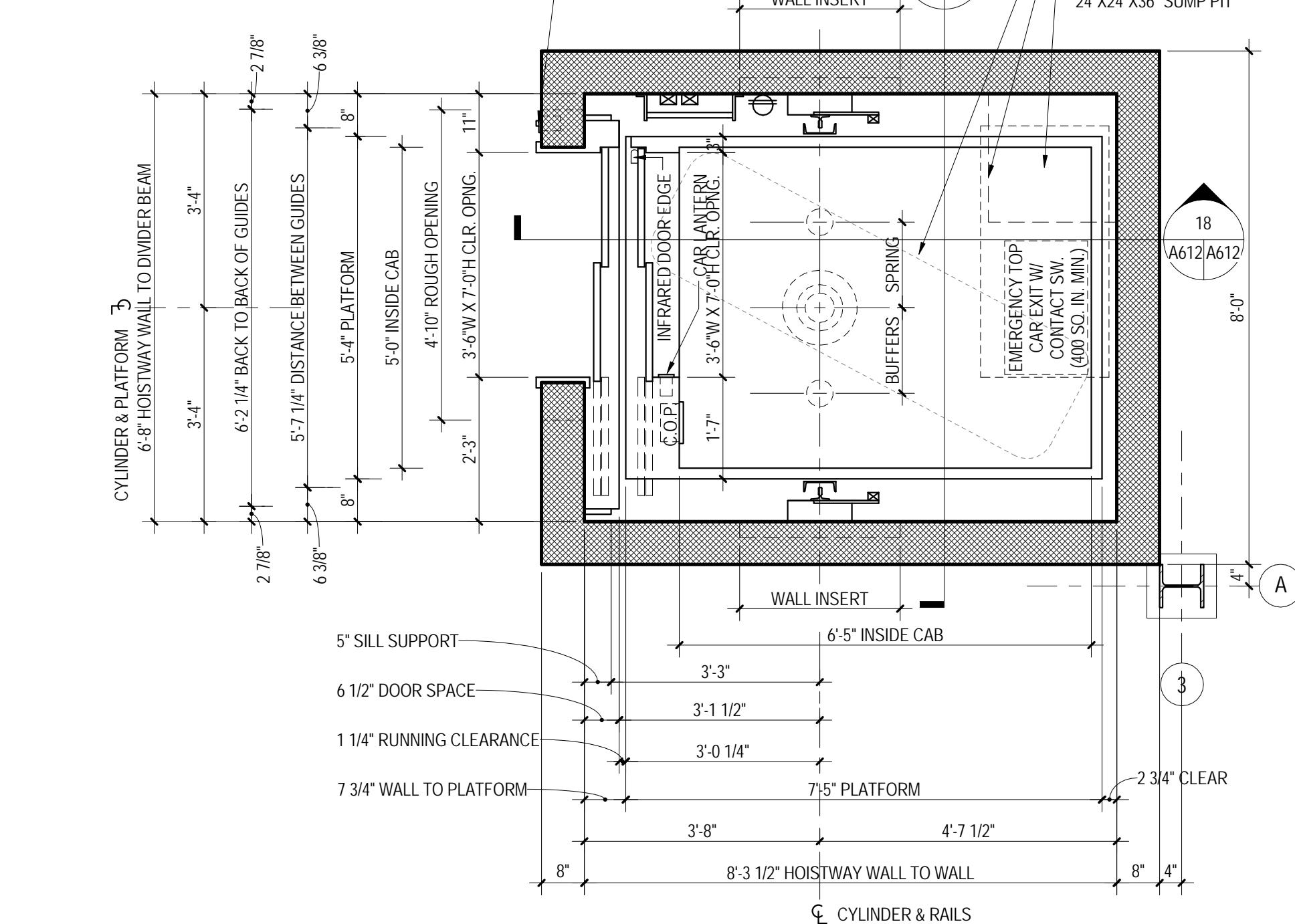
18 ELEVATOR SECTION
A612/A612 1/2" = 1'-0"



15 ELEVATOR ROOF PENETRATION
A612/A612 3/4" = 1'-0"



15 ELEVATOR ROOF PENETRATION
A612/A612 3/4" = 1'-0"



20 ENLARGED ELEVATOR PLAN
A101/A612 1/2" = 1'-0"

RADFORD UNIVERSITY

RENOVATION OF THREE
RESIDENCE HALLS
POCAHONTAS, BOLLING,
& DRAPER HALLS

RADFORD UNIVERSITY
RADFORD, VIRGINIAProject Code 217-17565-000
VMDO Project Number 1115

Checked By MLW / ARS
Drawn By DEM / MBW

GRAPHIC SCALE - 1/4" = 1'-0"
0 4'-0" 8'-0" 12'-0"

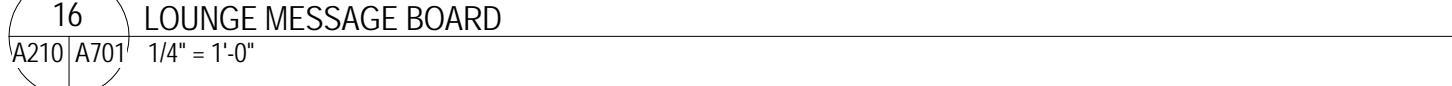
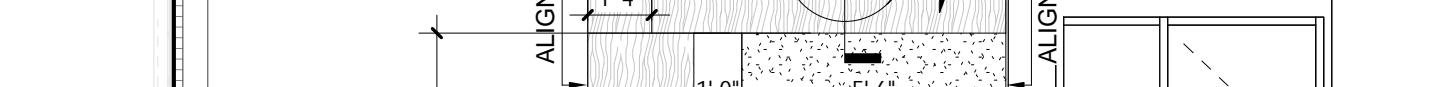
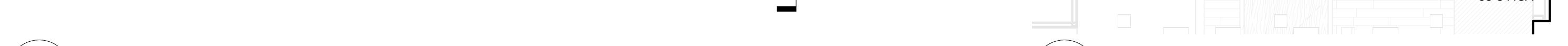
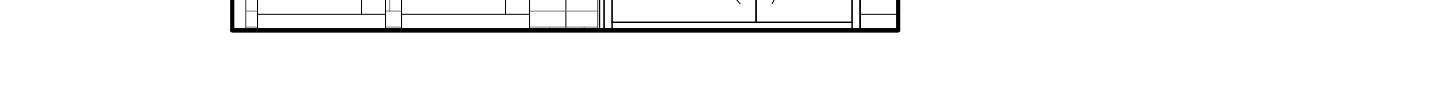
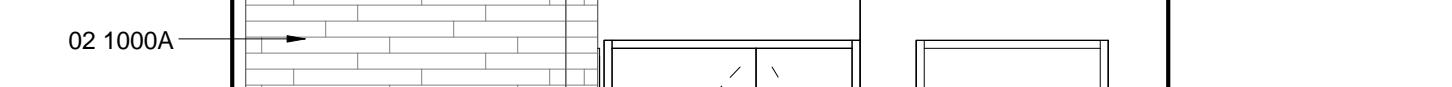
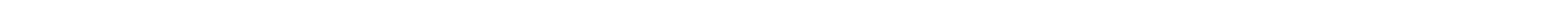
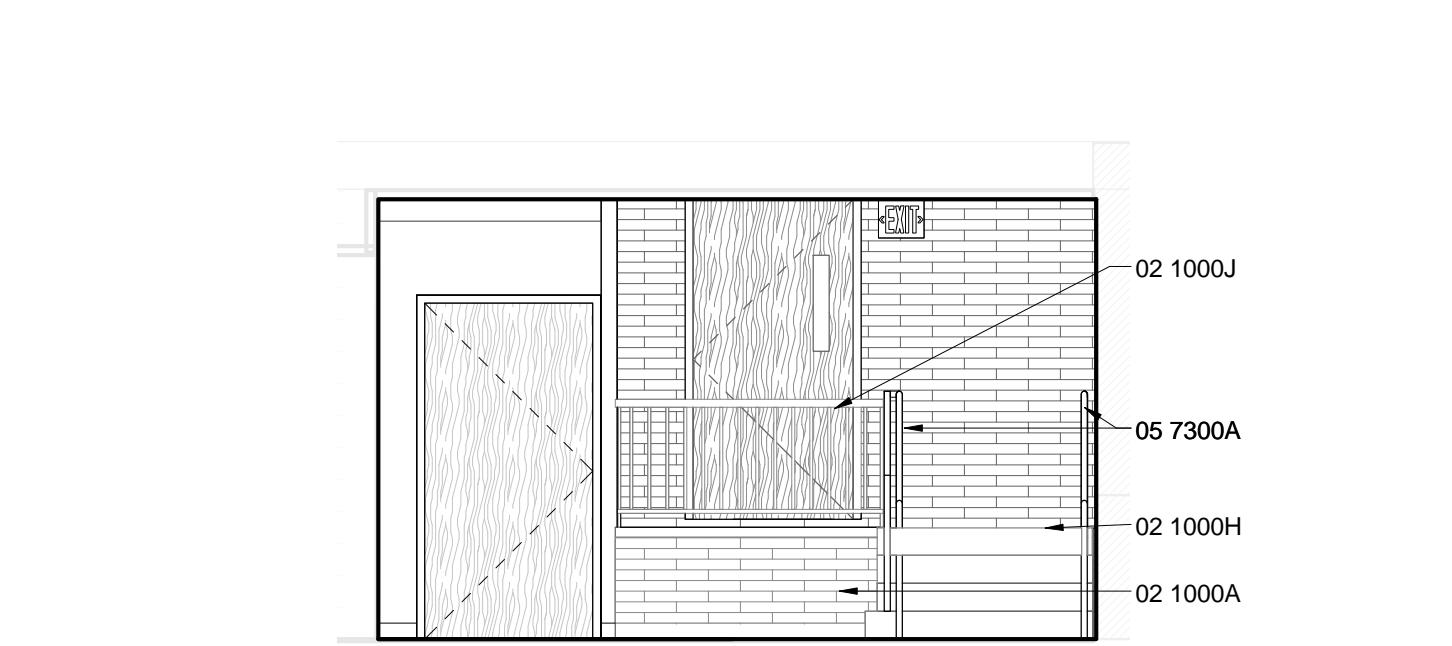
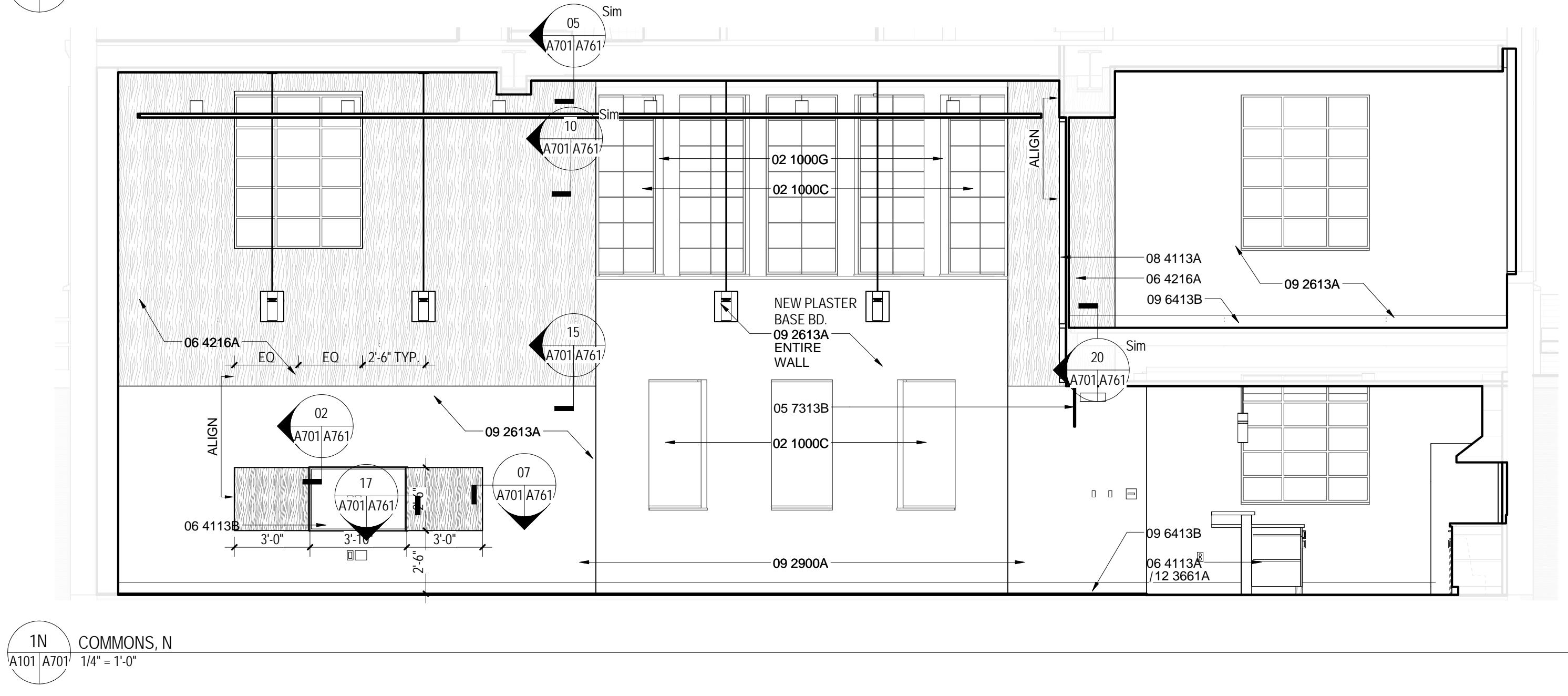
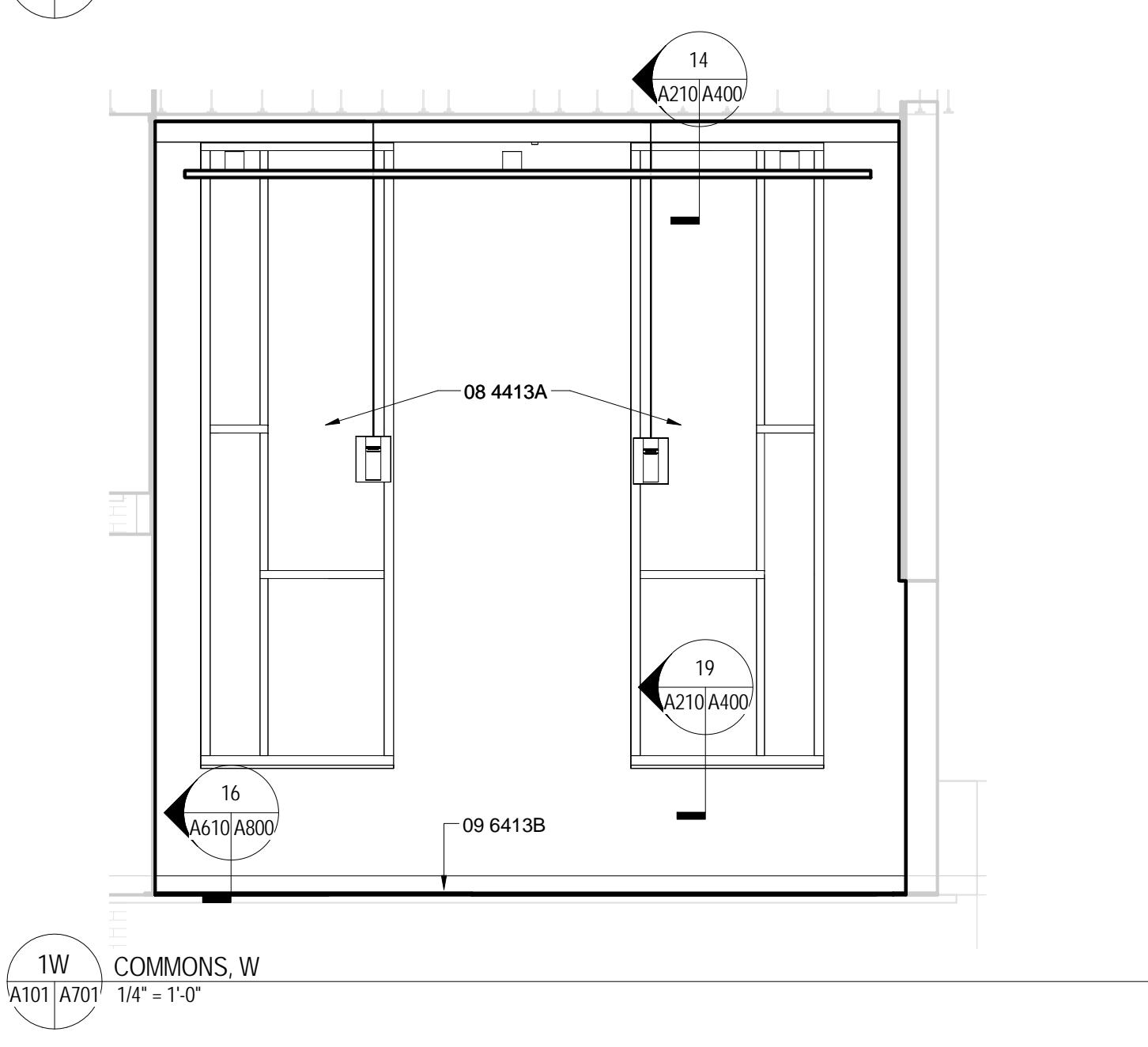
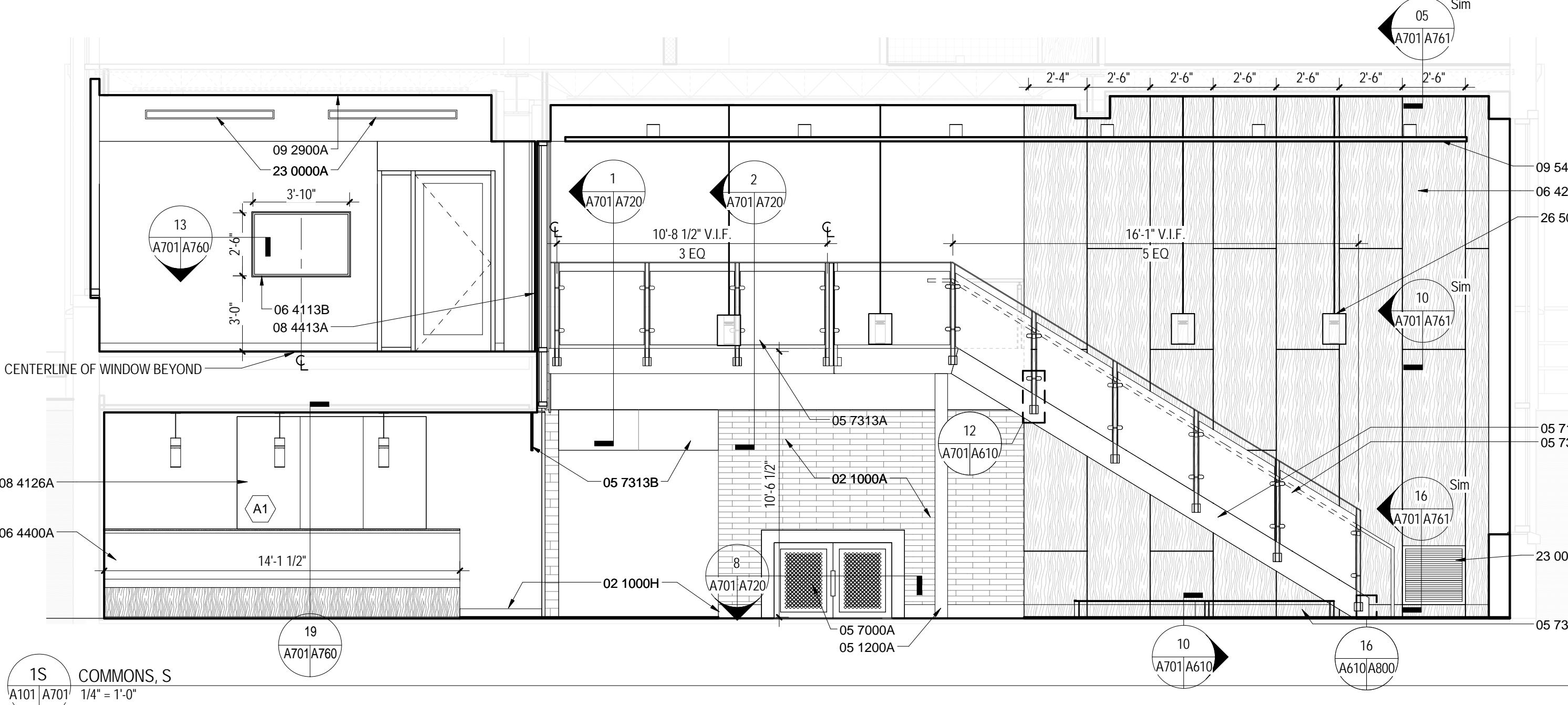
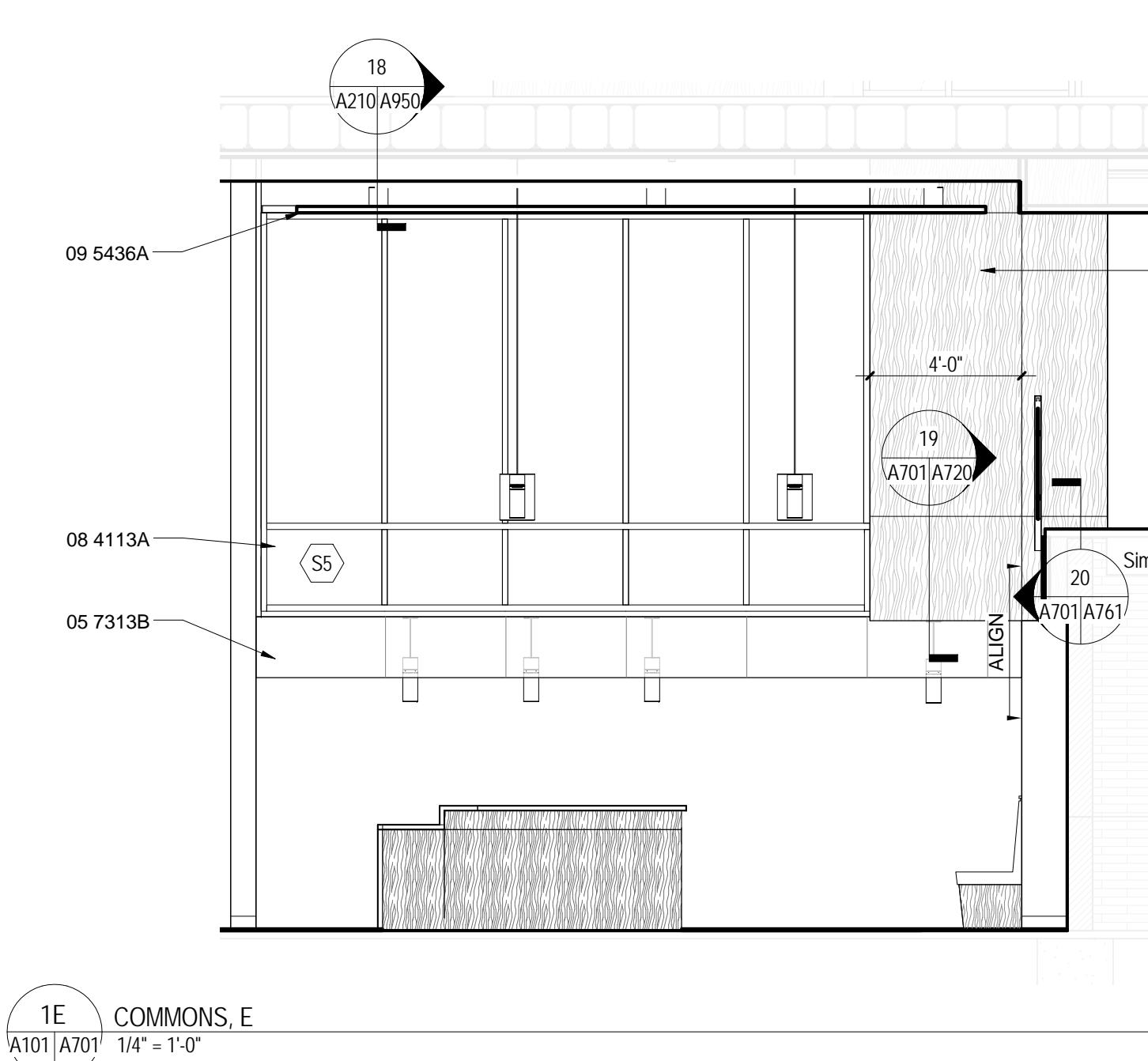
ISSUES AND REVISIONS
NO. SUBMITTAL
5 BID DOCUMENTS
DATE 05.19.14

INTERIOR ELEVATIONS

A701

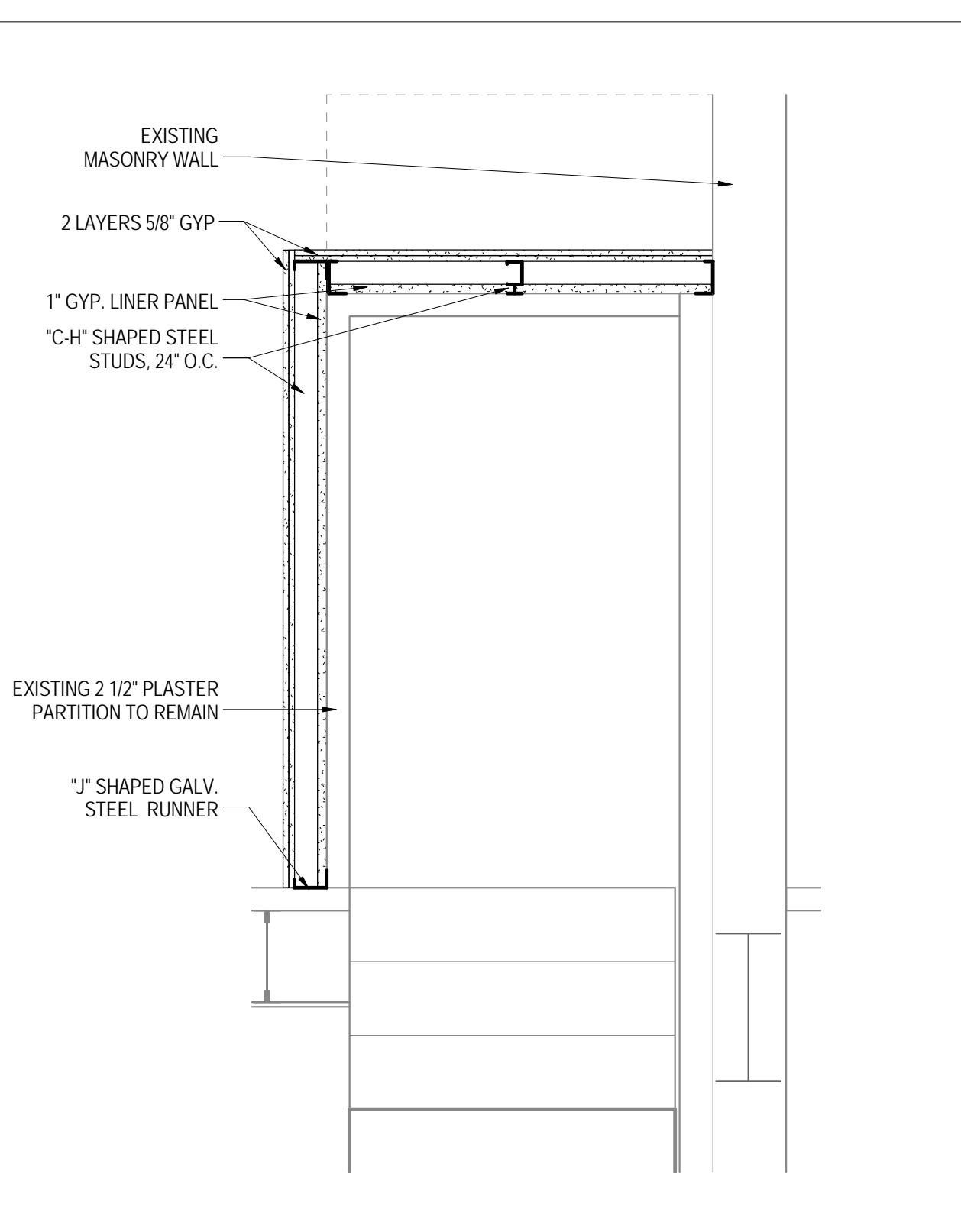
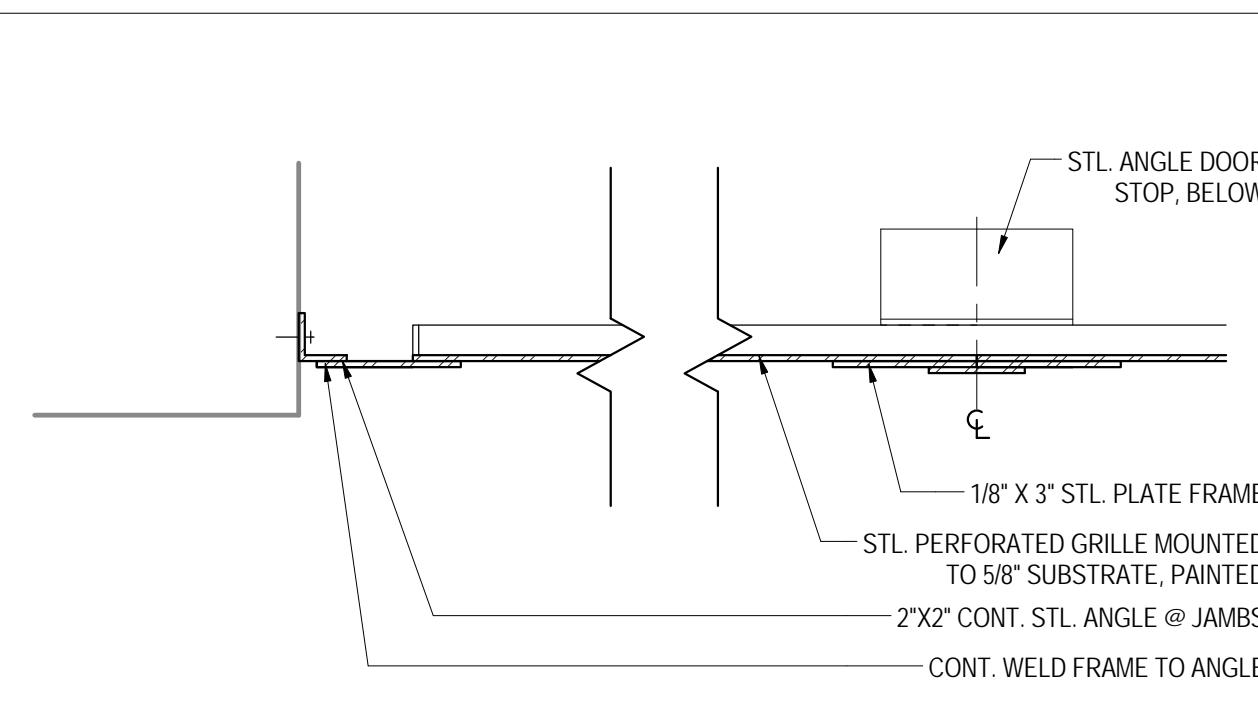
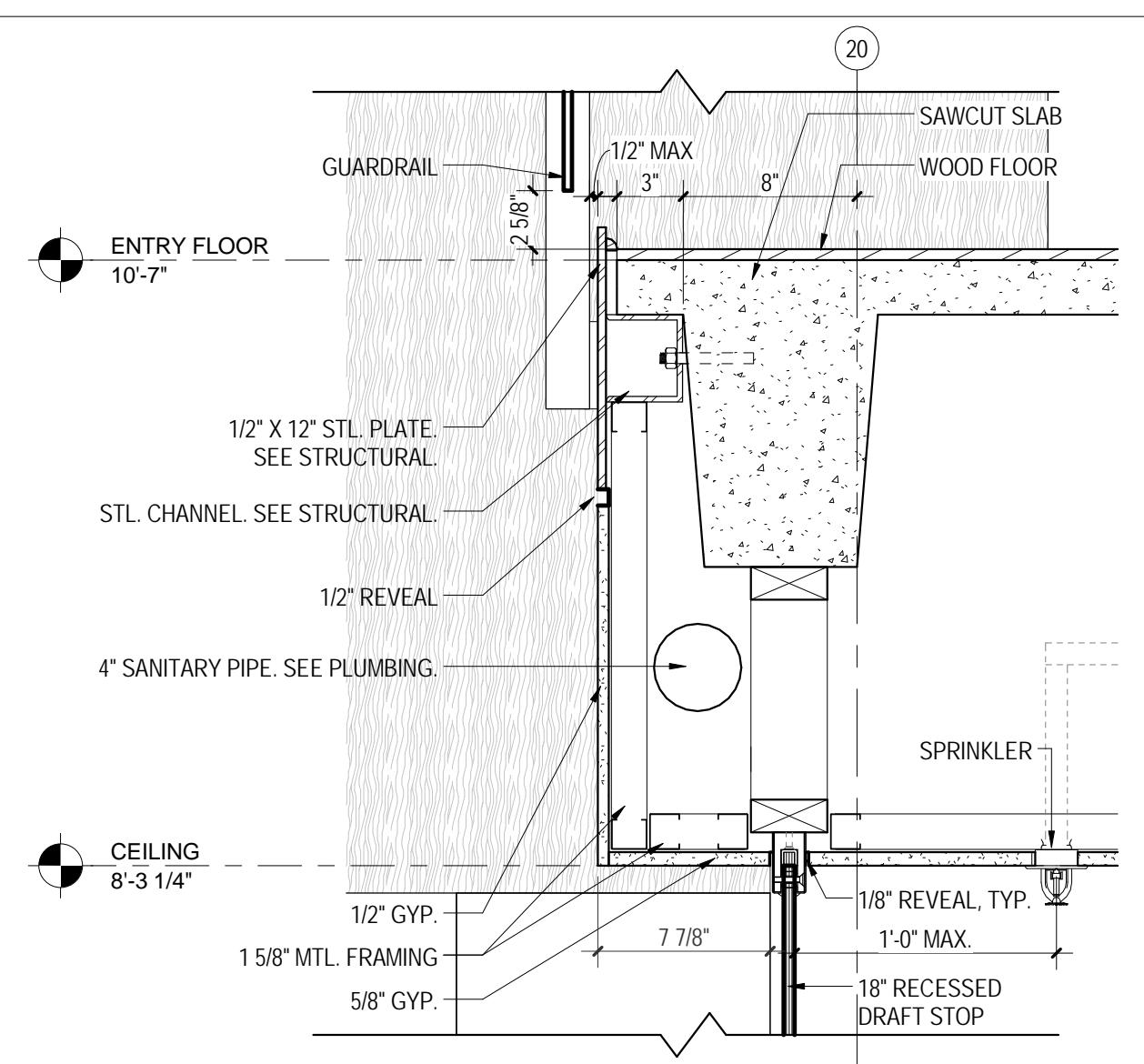
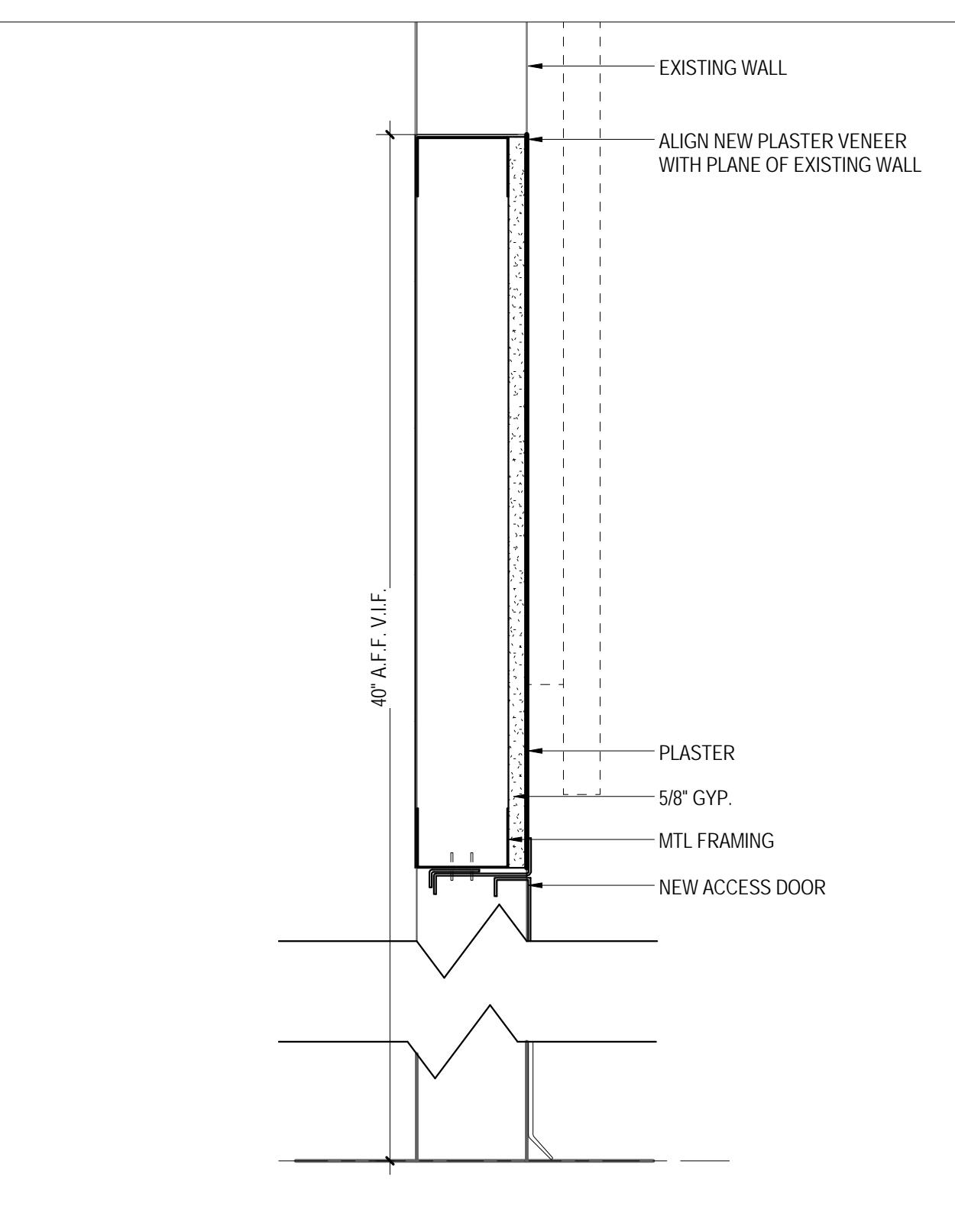
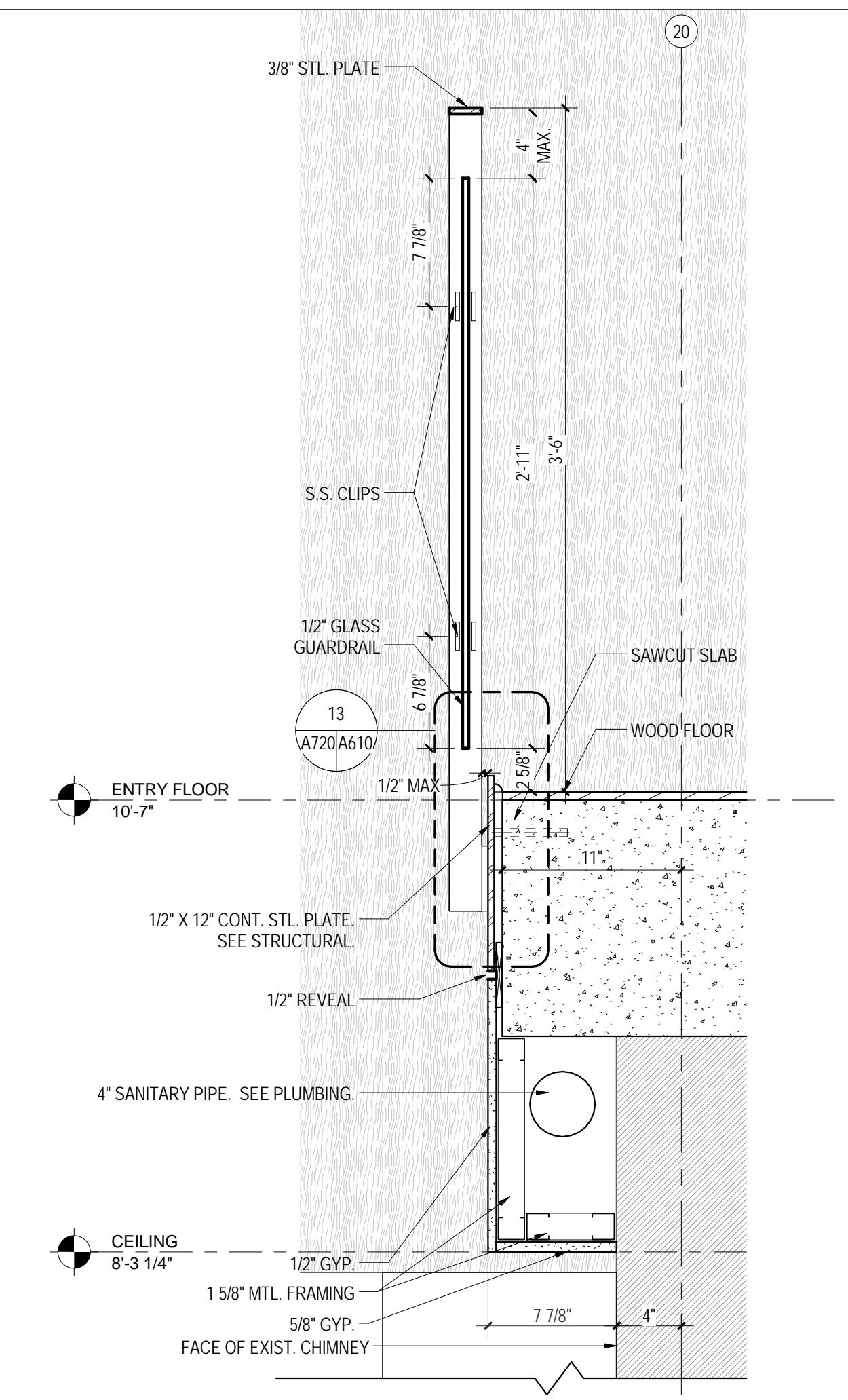
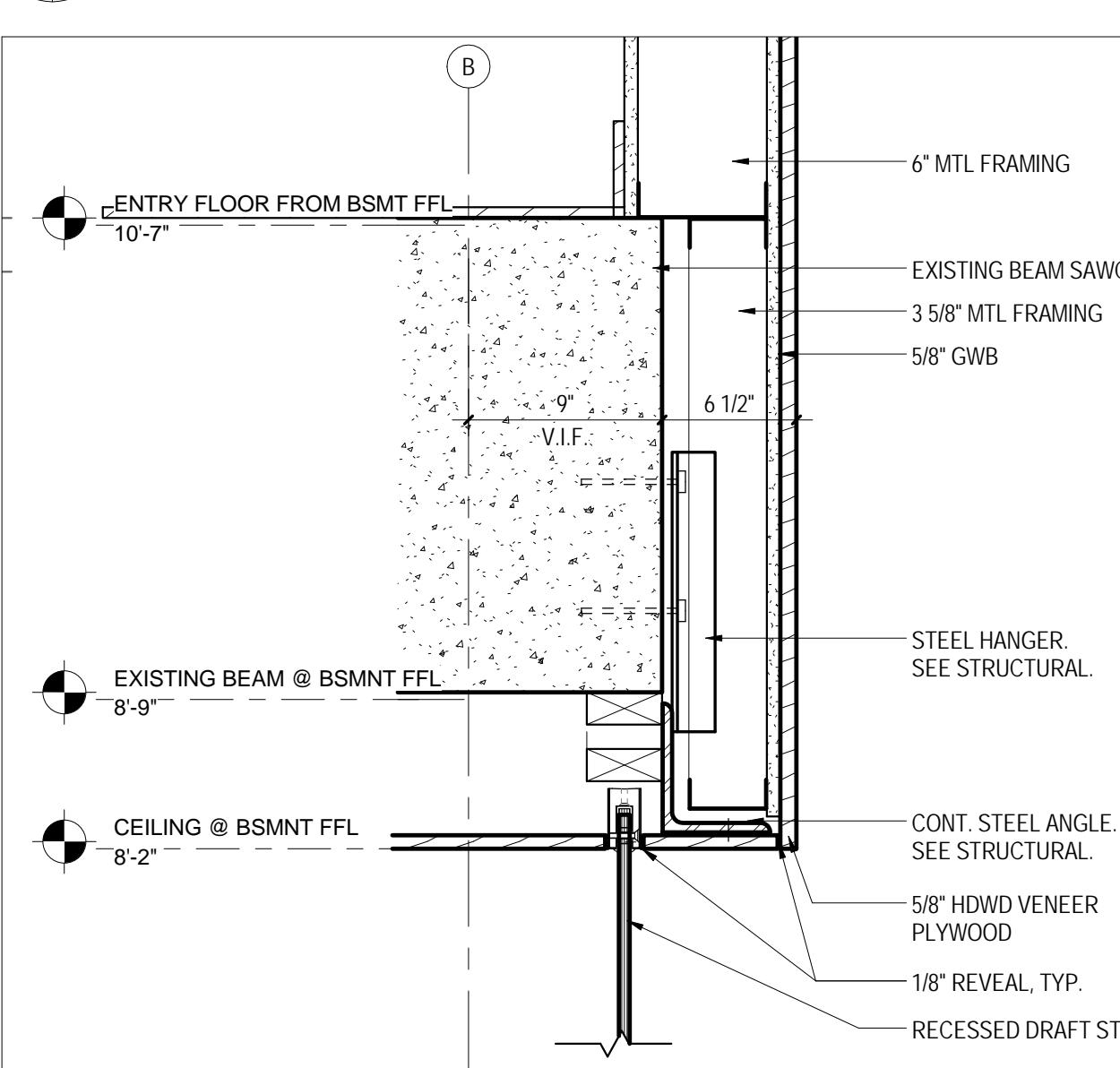
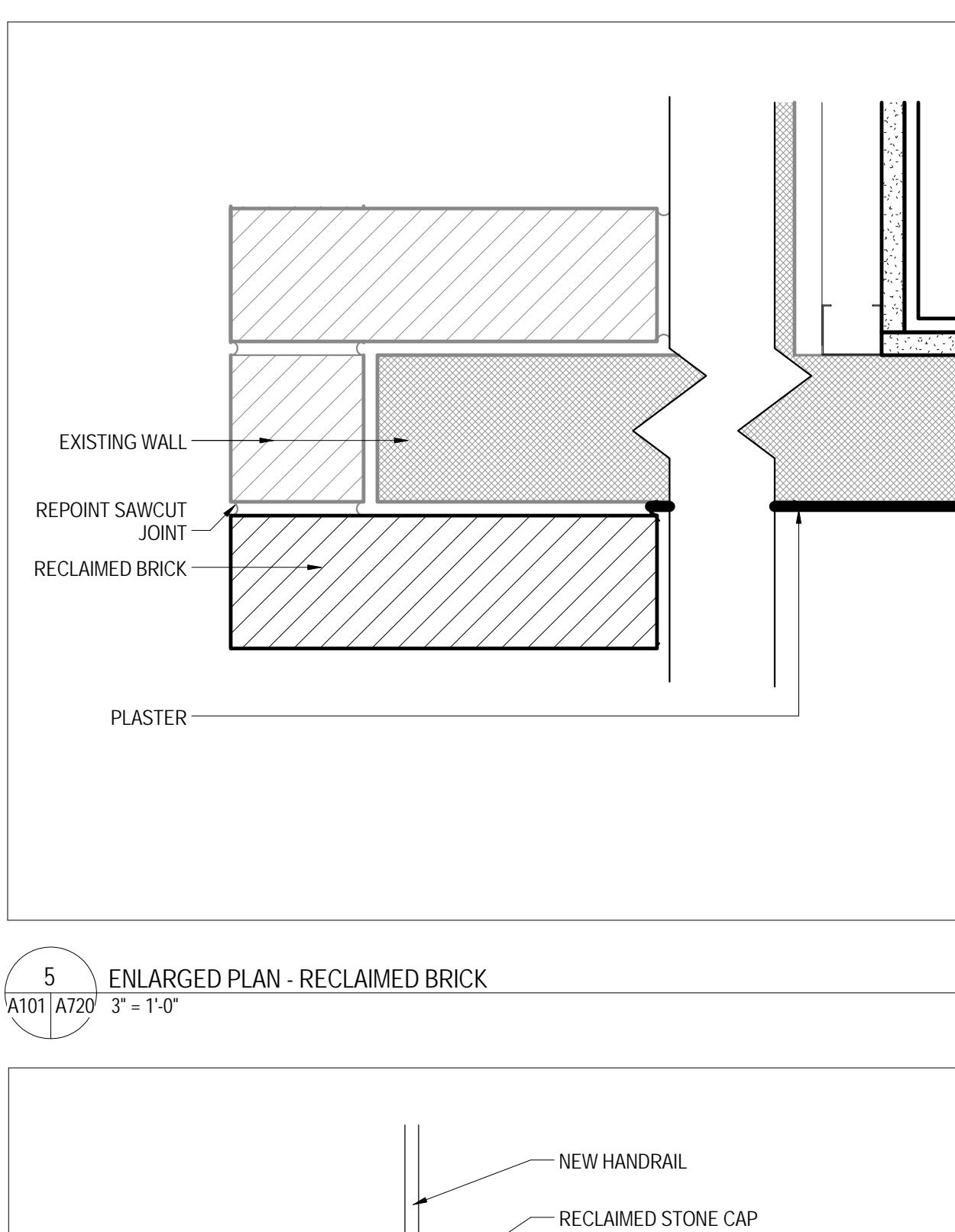
KEYNOTE LEGEND

- 02 1000A EXISTING BRICK TO REMAIN
- EXISTING WINDOWS TO REMAIN
- 02 1000C EXISTING STONE BASE TO REMAIN
- 02 1000H EXISTING HANDRAIL TO REMAIN
- 02 1000J STRUCTURAL STEEL FRAMING
- 05 1200A DECORATIVE METAL - FIREPLACE DOORS
- 05 7100A DECORATIVE METAL STAIRS
- 05 7300A DECORATIVE METAL RAILINGS - TYP. HANDRAIL
- 05 7300B STOP USED
- 05 7300C DECORATIVE METAL RAILINGS - CANE DETECTION
- 05 7313A GLAZED DECORATIVE METAL RAILINGS
- 05 7313B GLAZED DECORATIVE METAL RAILINGS - DRAFT STOP
- 06 4113A INTERIOR ARCHITECTURAL WOODWORK - HDWD.
- 06 4113B VENEER CABINETS
- 06 4216A INTERIOR ARCHITECTURAL WOODWORK - TELEVISION SURROUND
- 06 4216A FLUSH WOOD PANELING - STAINED MAPLE
- 06 4400A BENCH/BANQUETTE
- 06 4400C ORNAMENTAL WOODWORK - BEDROOM MESSAGE BOARD
- 06 4400C ORNAMENTAL WOODWORK - CORRIDOR MESSAGE BOARD
- 08 3113A ACCESS DOORS AND FRAMES
- 08 4113A ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS
- 08 4126A ALL-GLASS STOREFRONTS
- 08 4413A GLAZED ALUMINUM CURTAIN WALLS
- 08 4413A GYPSUM VENEER PLASTERING
- 09 2900A SUSPENDED DECORATIVE GRIDS
- 09 5436A WOOD FLOORING - BAMBOO
- 09 6413A WOOD BASE - BAMBOO
- 11 0000A EQUIPMENT - VENDING MACHINES (NIC)
- 12 3661A SIMULATED STONE COUNTERTOPS - QUARTZ AGGLOMERATE
- 22 0000A PLUMBING FIXTURE. SEE PLUMBING DRAWINGS.
- 23 0000A MECHANICAL UNIT. SEE MECHANICAL DRAWINGS.
- 26 0000A ELECTRICAL EQUIPMENT. SEE ELECTRICAL DRAWINGS.
- 26 5000A LIGHTING. SEE ELECTRICAL DRAWINGS.





RENOVATION OF THREE RESIDENCE HALLS POCAHONTAS, BOLLING, & DRAPER HALLS

RADFORD UNIVERSITY
RADFORD, VIRGINIAProject Code
VMDO Project Number
217-17565-000
1115MLW/ARS
Drawn By
MBW3 ATTIC STAIR DETAIL - U415
A103/A720 3/4" = 1'-0"4 TYP INFILL DETAIL @ EXISTING ACCESS PANEL
A701/A720 3" = 1'-0"8 FIREPLAN DOOR - PLAN DTL
A701/A720 3" = 1'-0"1 SLAB EDGE DETAIL
A701/A720 1 1/2" = 1'-0"5 ENLARGED PLAN - RECLAIMED BRICK
A701/A720 3" = 1'-0"10 LANDING EDGE DETAIL
A701/A720 1 1/2" = 1'-0"2 SLAB EDGE DETAIL
A701/A720 1 1/2" = 1'-0"19 SLAB EDGE DETAIL @ WOOD VENEER
A701/A720 1 1/2" = 1'-0"20 SF FRAME DETAIL @ GYP CEILING
A701/A720 1 1/2" = 1'-0"ISSUES AND REVISIONS
NO. SUBMITTAL
5 BID DOCUMENTS
05.19.14

INTERIOR DETAILS

KEYNOTE LEGEND

| | |
|----------|---|
| 06 4113A | INTERIOR ARCHITECTURAL WOODWORK - HDWD. VENEER CABINETS |
| 06 4116A | PLASTIC-LAMINATE-FACED ARCHITECTURAL CABINETS |
| 06 4216A | FLUSH WOOD PANELING - STAINED MAPLE |
| 06 4400A | ORNAMENTAL WOODWORK - WD. BEVELLED OVALITE |
| 06 4400C | ORNAMENTAL WOODWORK - CORRIDOR MESSAGE BOARD |
| 11 3100A | RESIDENTIAL APPLIANCES - STOVE AND HOOD |
| 11 3100B | RESIDENTIAL APPLIANCES - REFRIGERATOR (NIC) |
| 11 3100C | RESIDENTIAL APPLIANCES - DISHWASHER (NIC) |
| 12 3661A | SIMULATED STONE COUNTERTOPS - QUARTZ AGGLOMERATE |
| 12 3661B | SIMULATED STONE COUNTERTOPS - SOLID SURFACE |
| 22 0000 | 22 - PLUMBING |

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RENOVATION OF THREE RESIDENCE HALLS
POCAHONTAS, BOLLING, & DRAPER HALLS

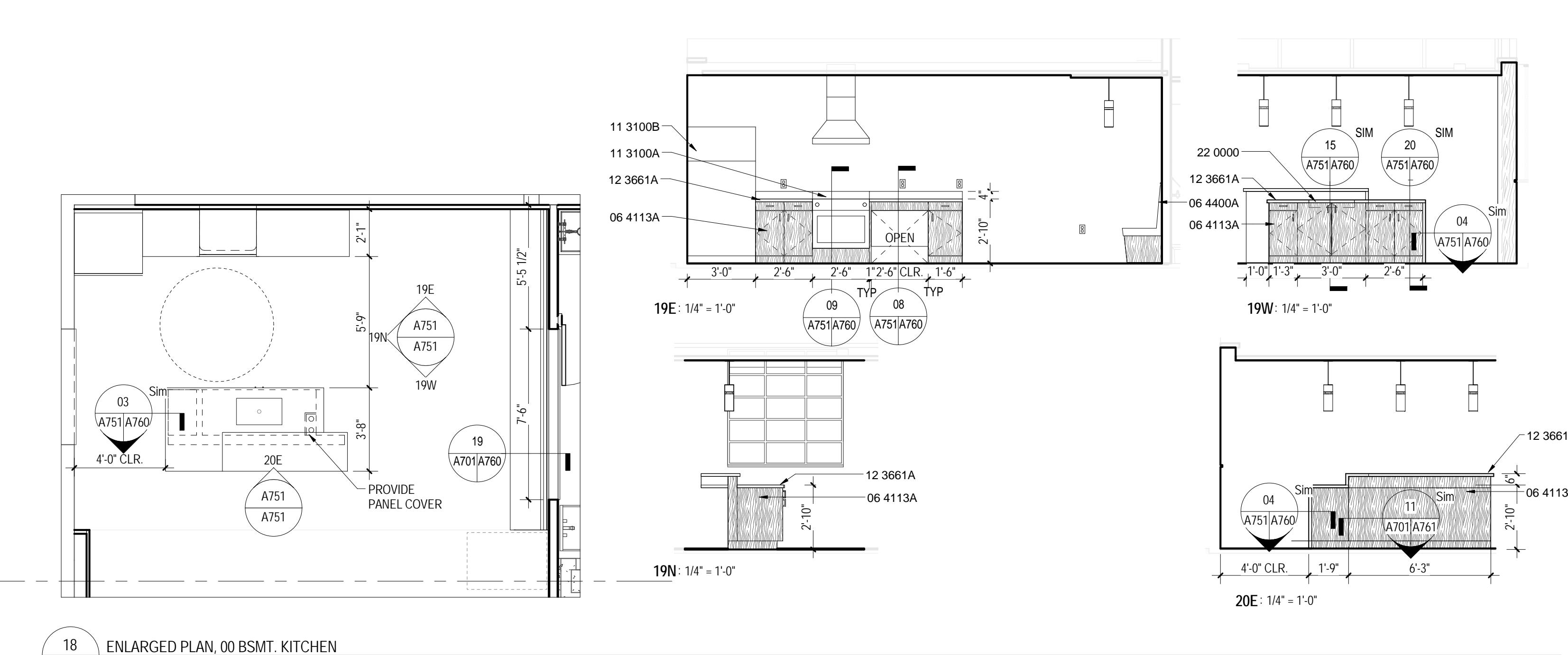
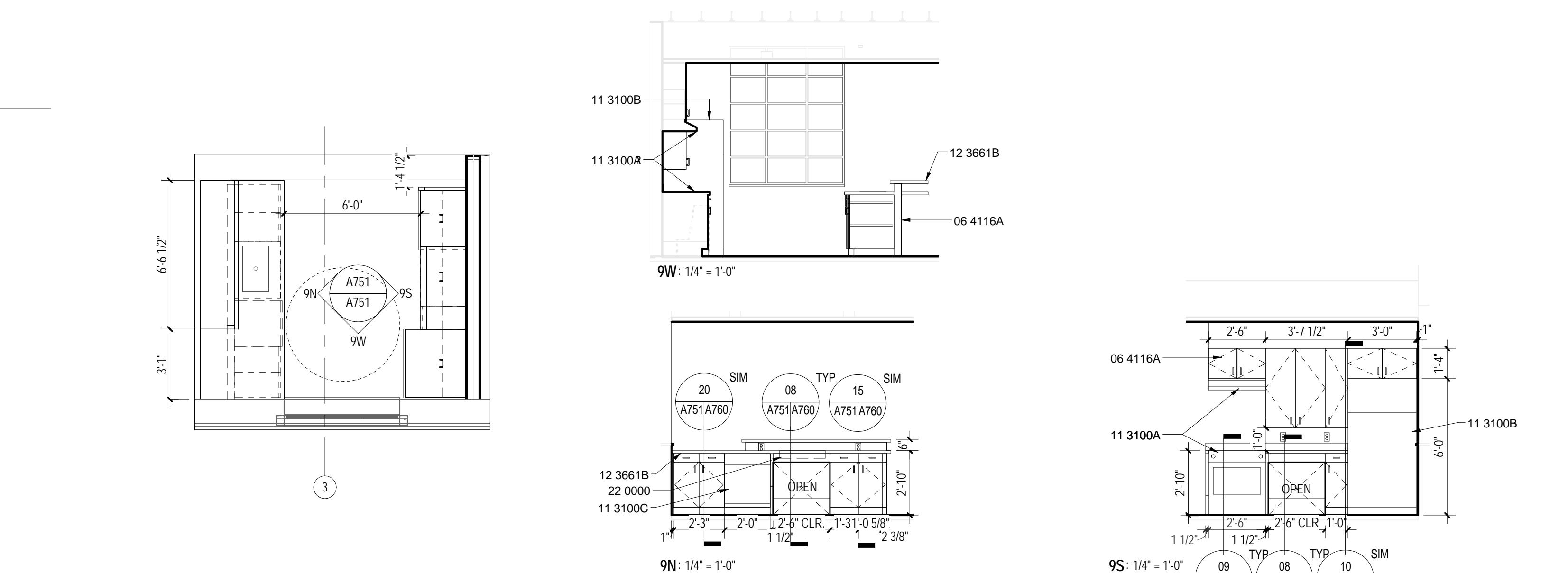
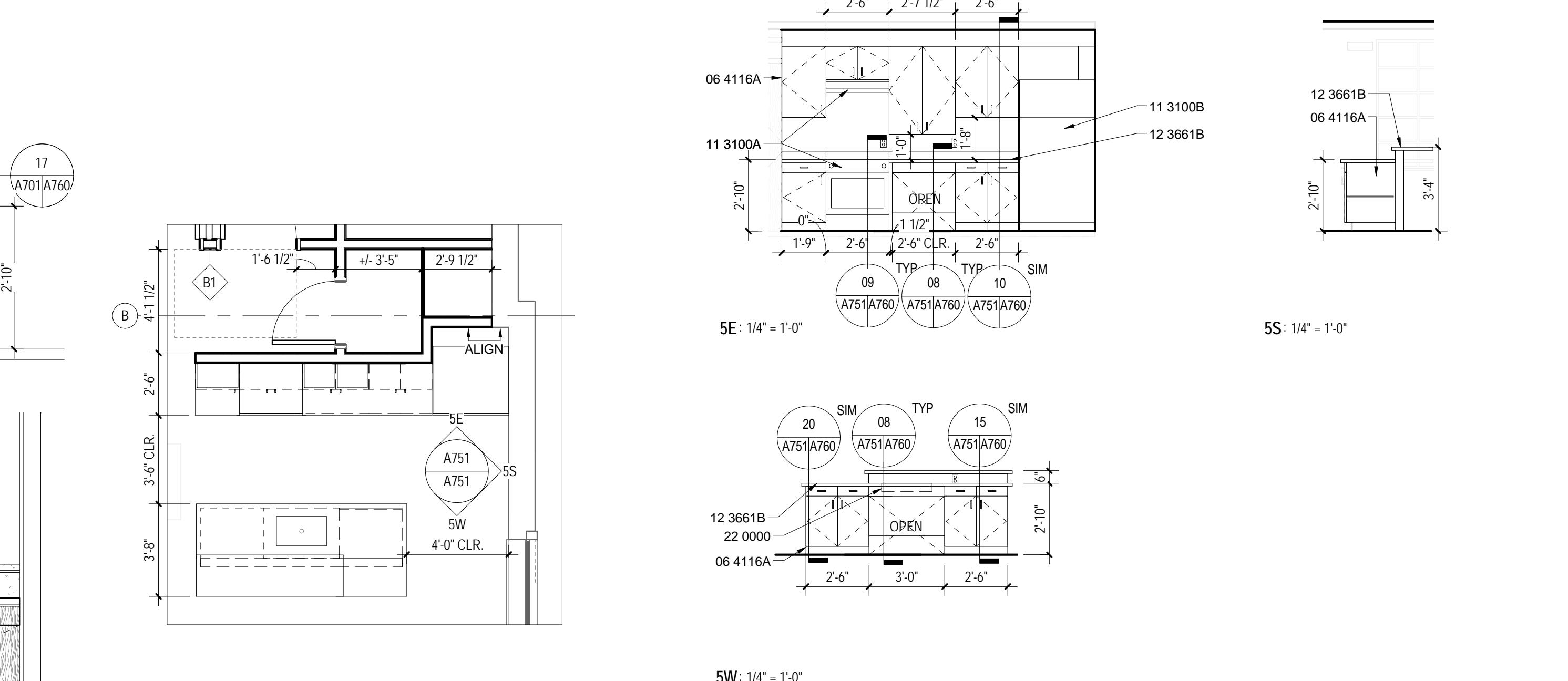
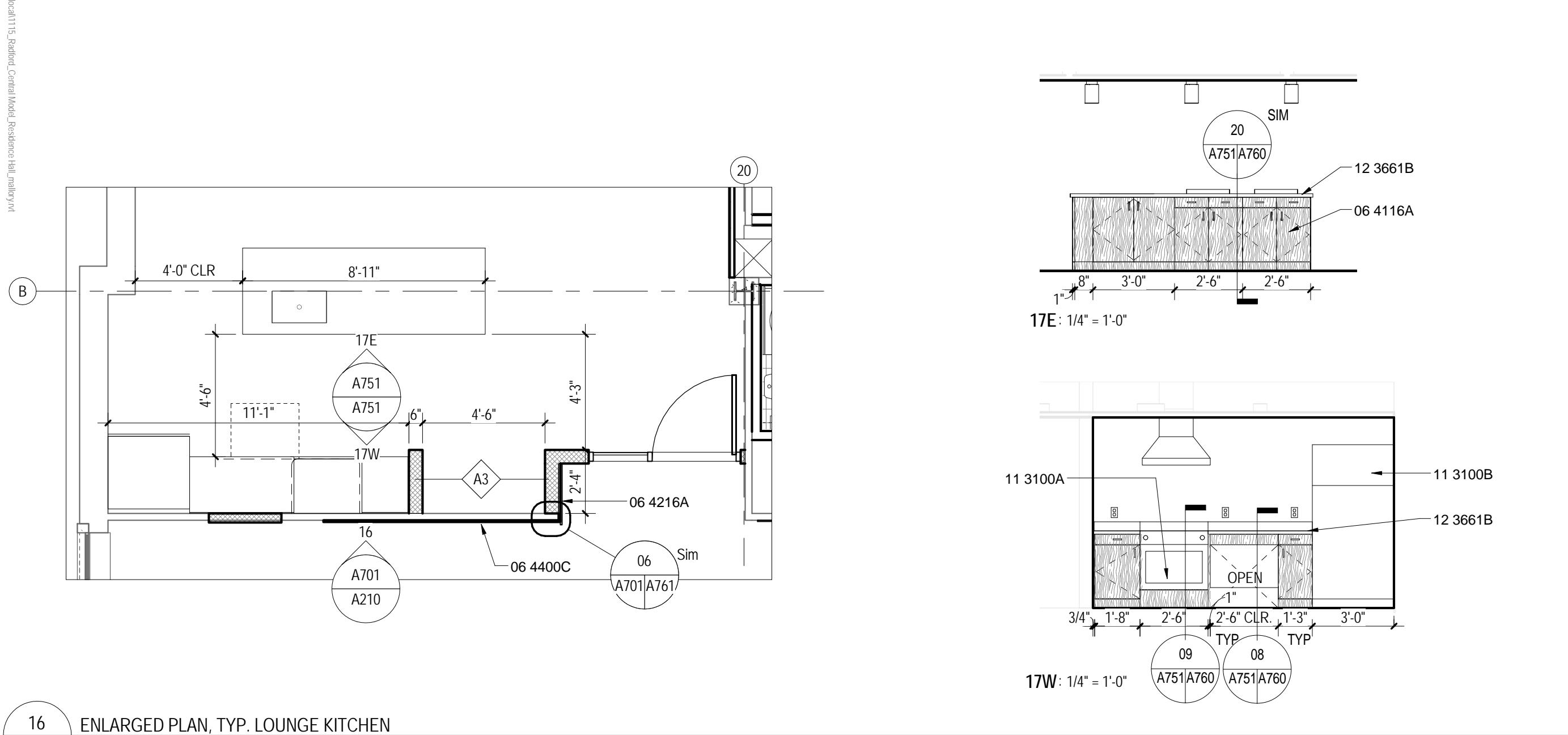
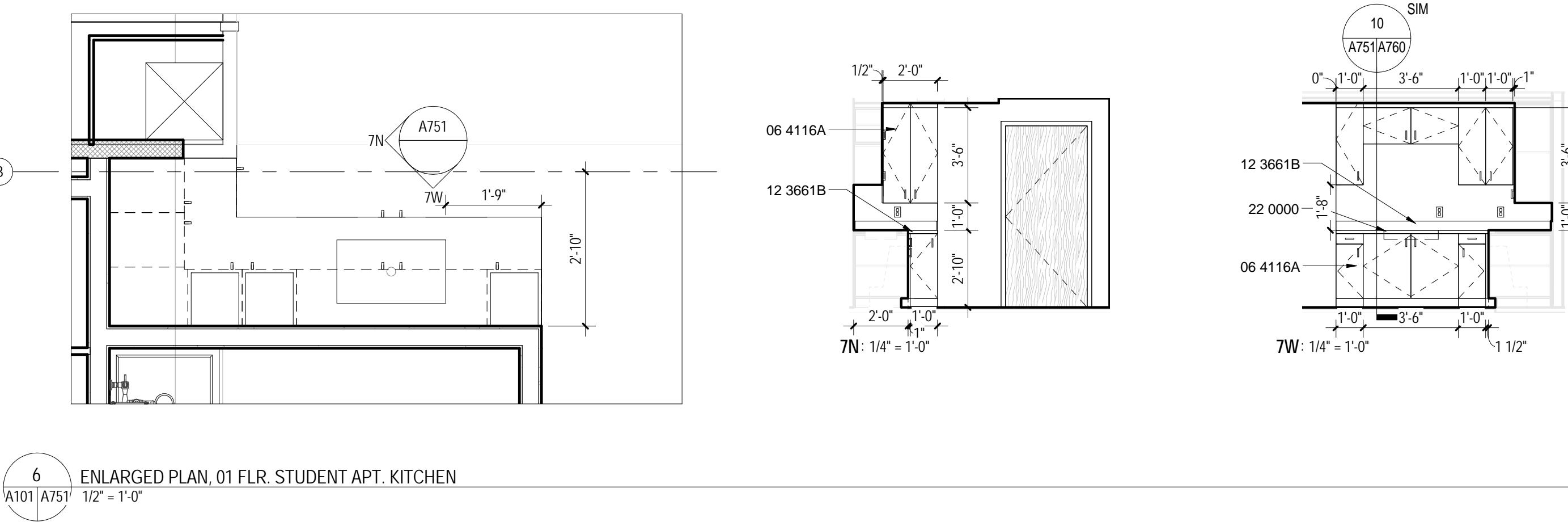
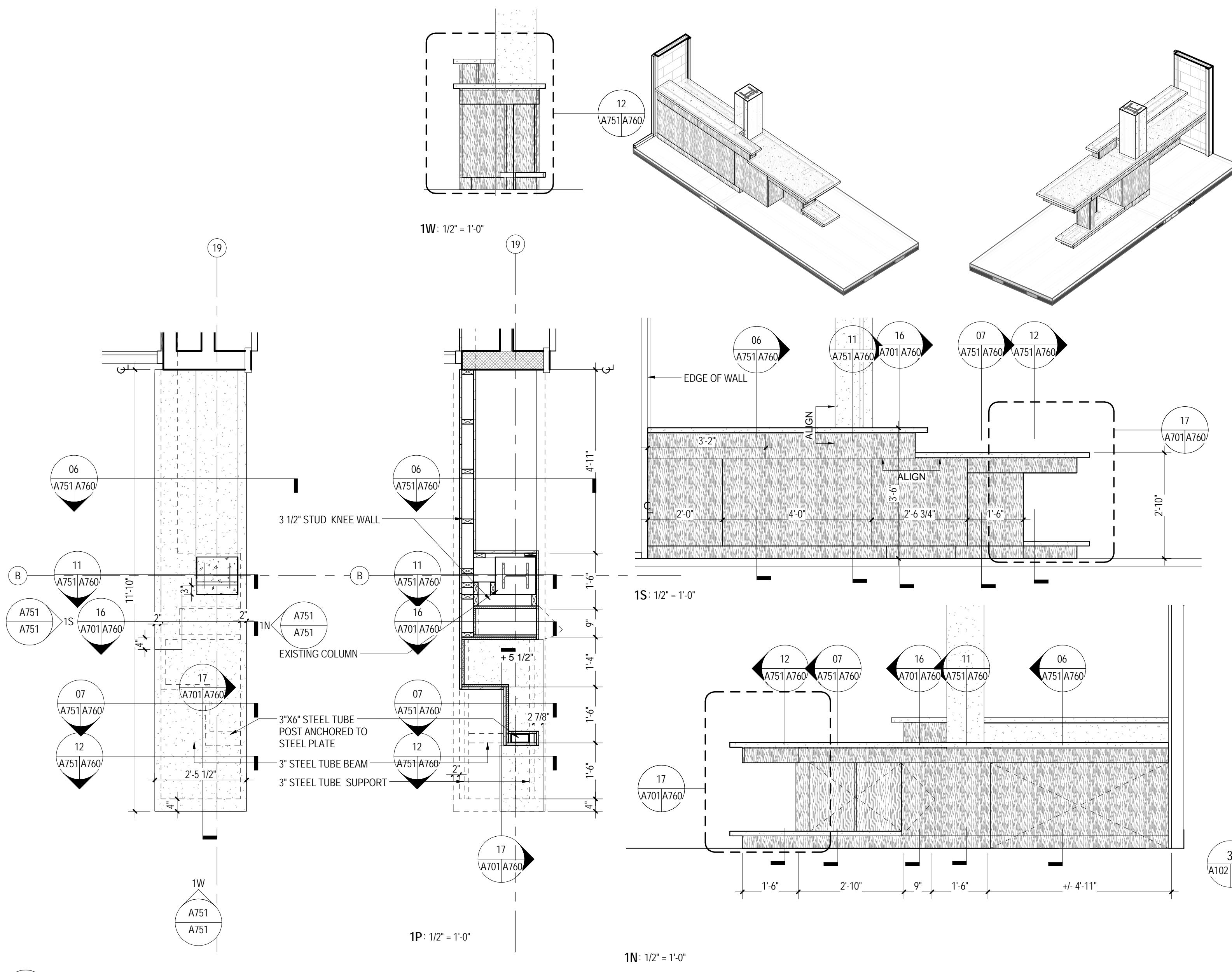
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VMDO Project Number 1115



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5 BID DOCUMENTS
DATE
05.19.14

CASEWORK PLANS,
SECTIONS, &
ELEVATIONS

A751



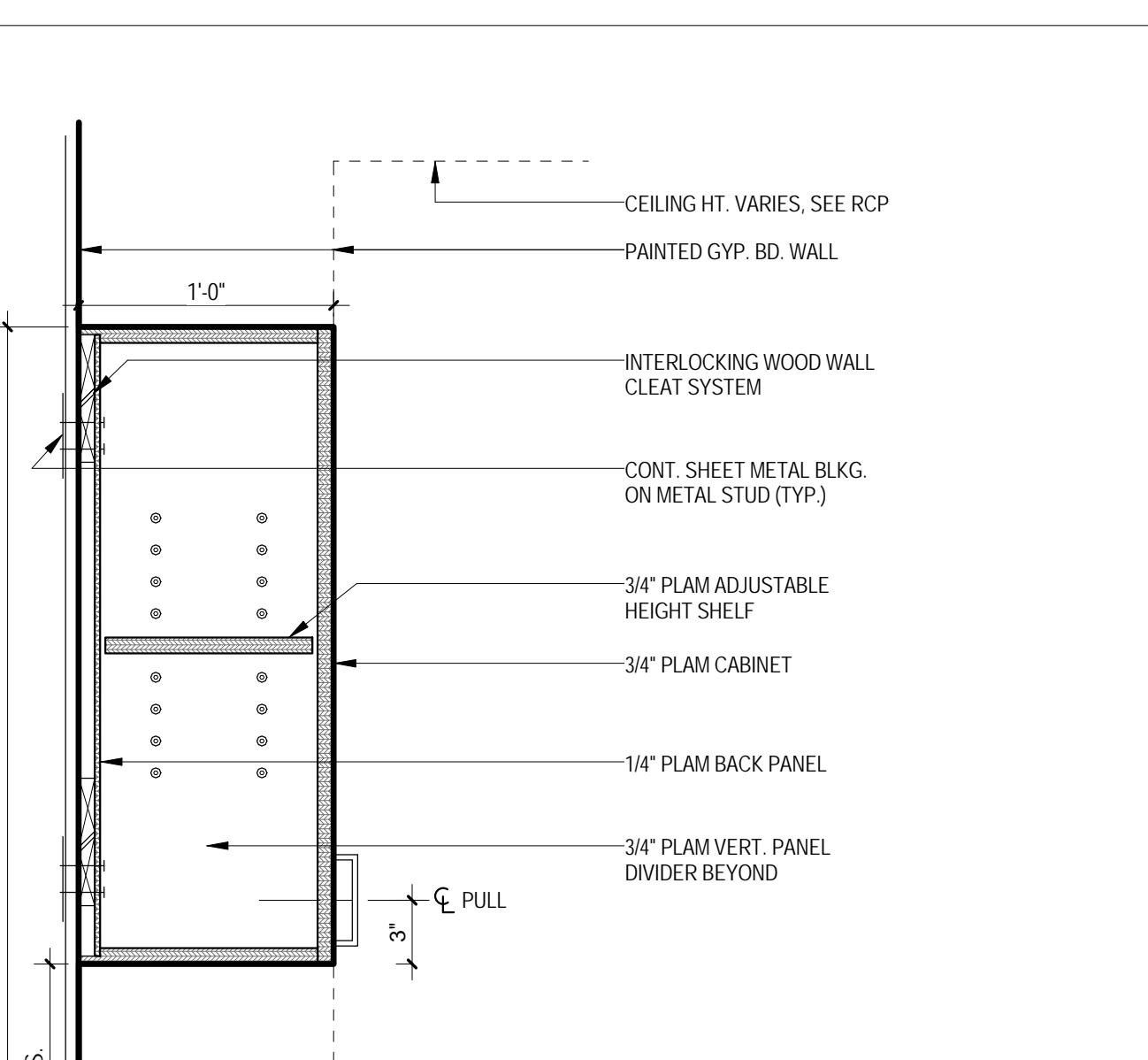
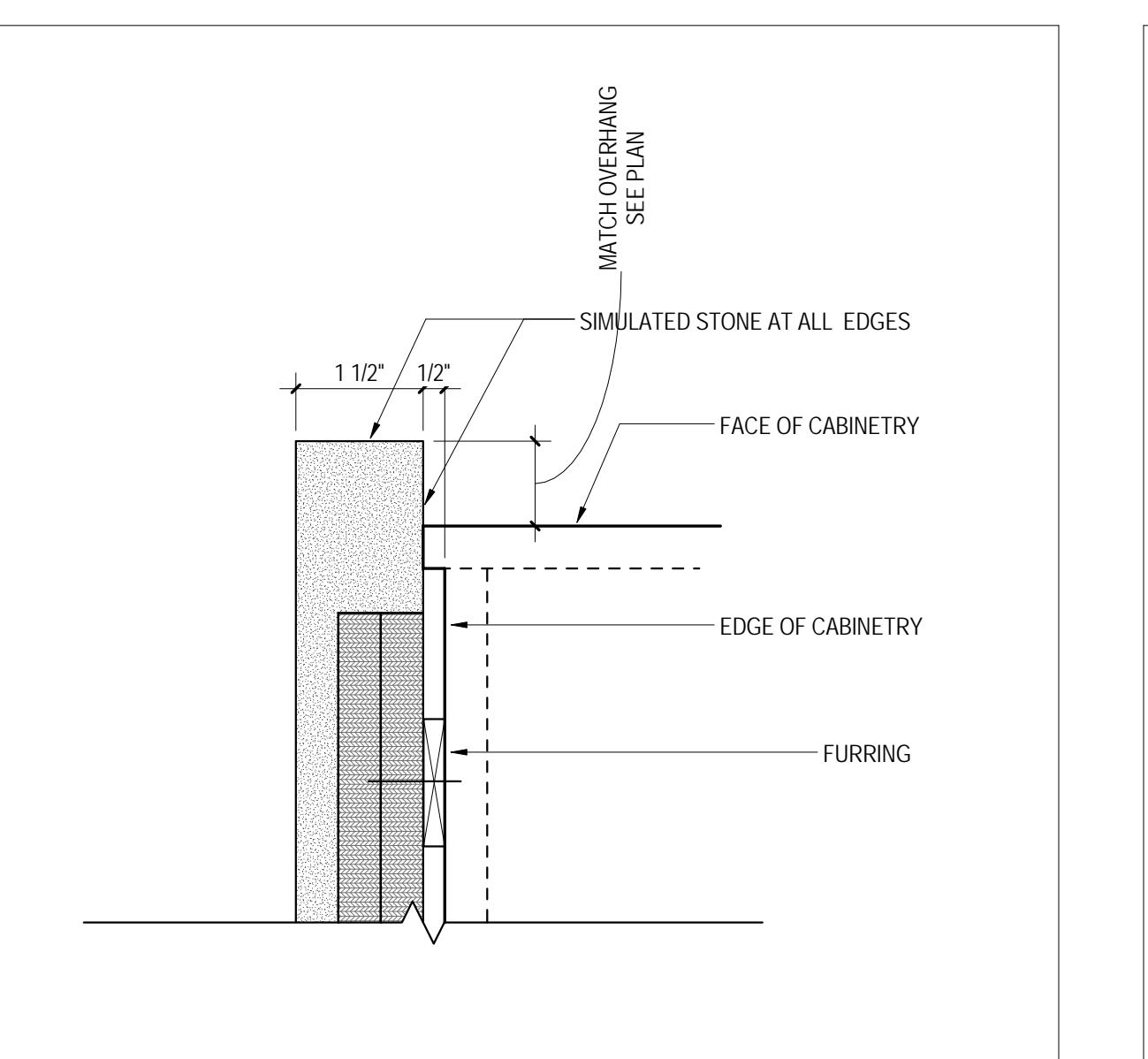
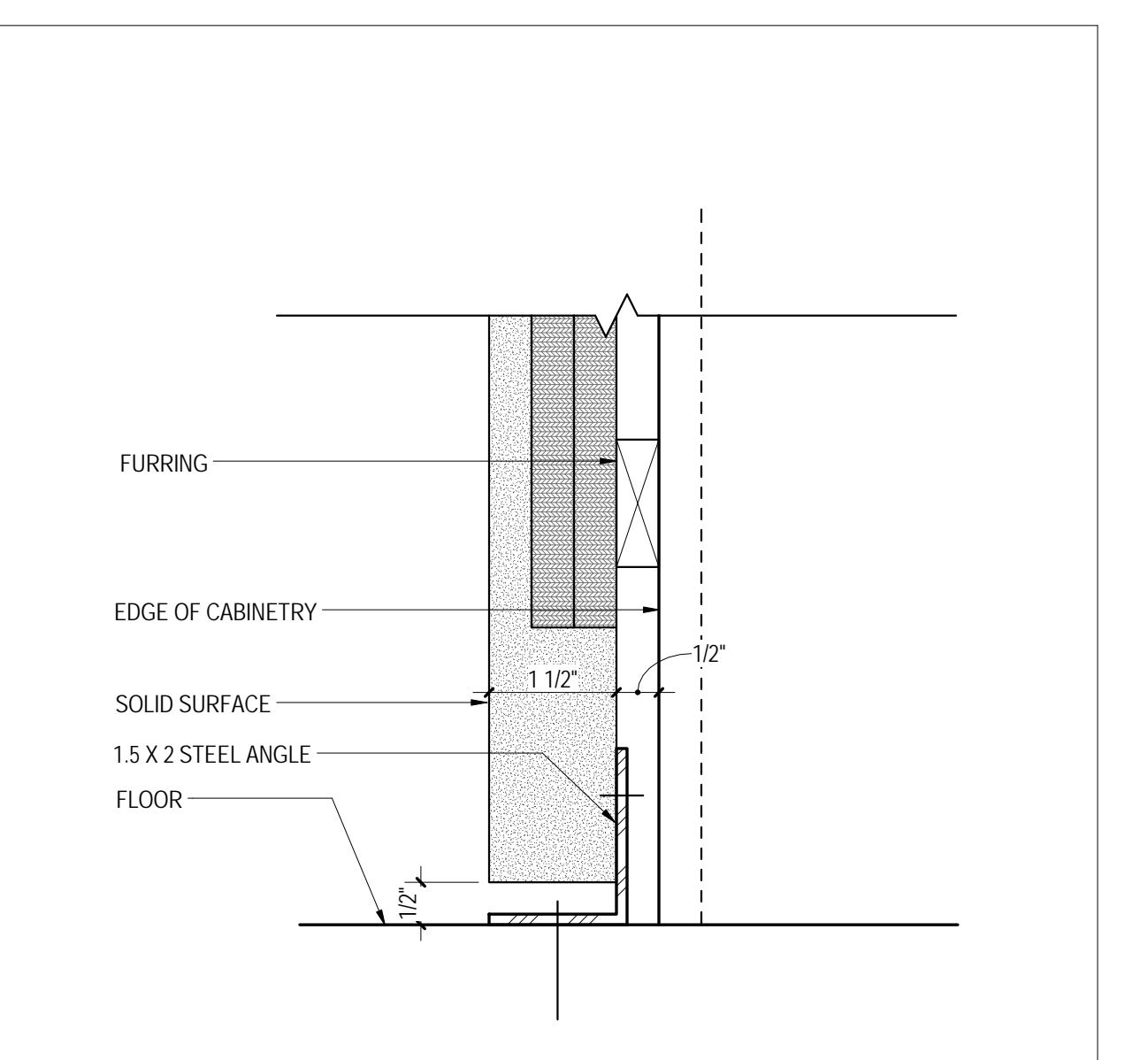
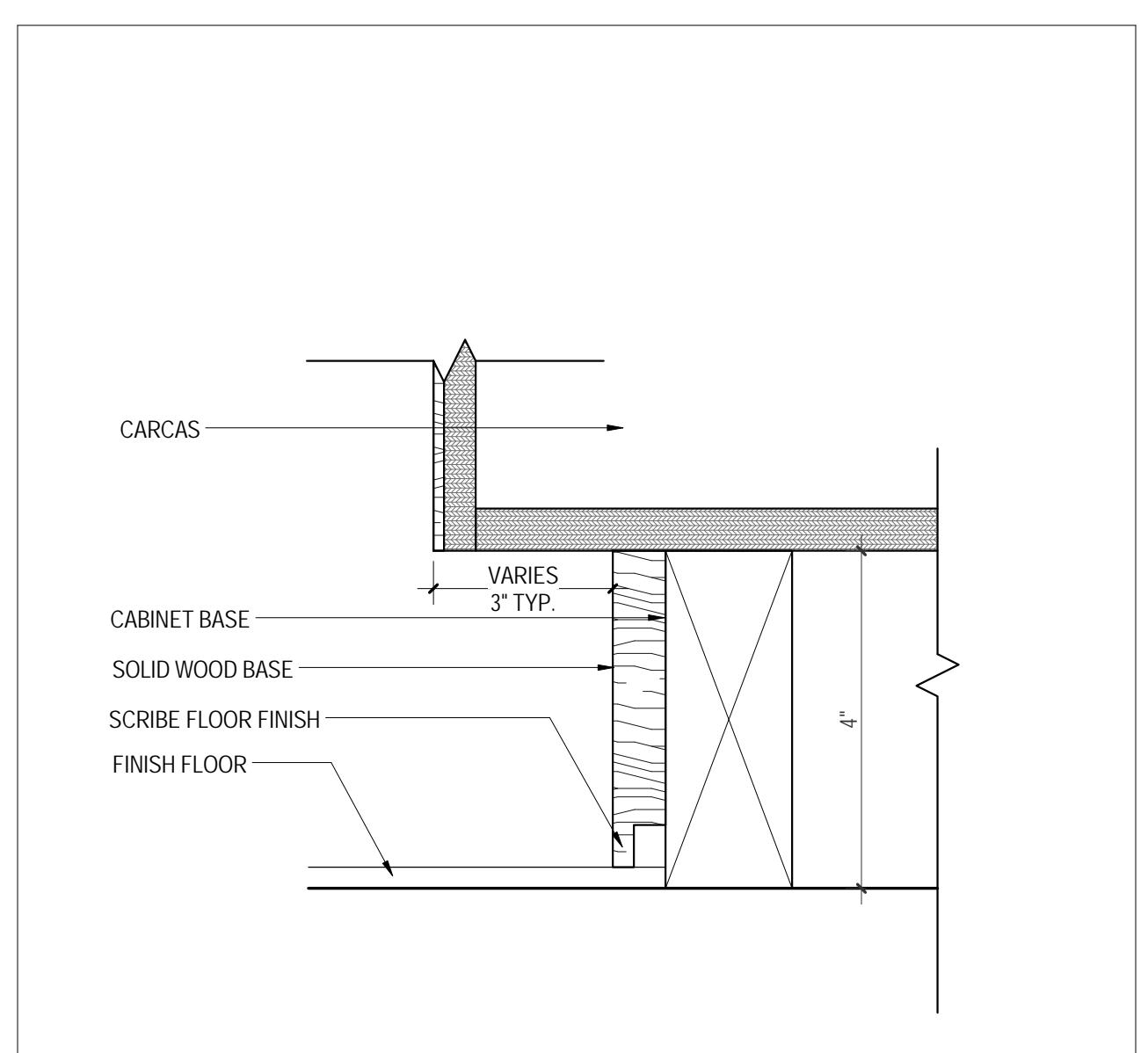
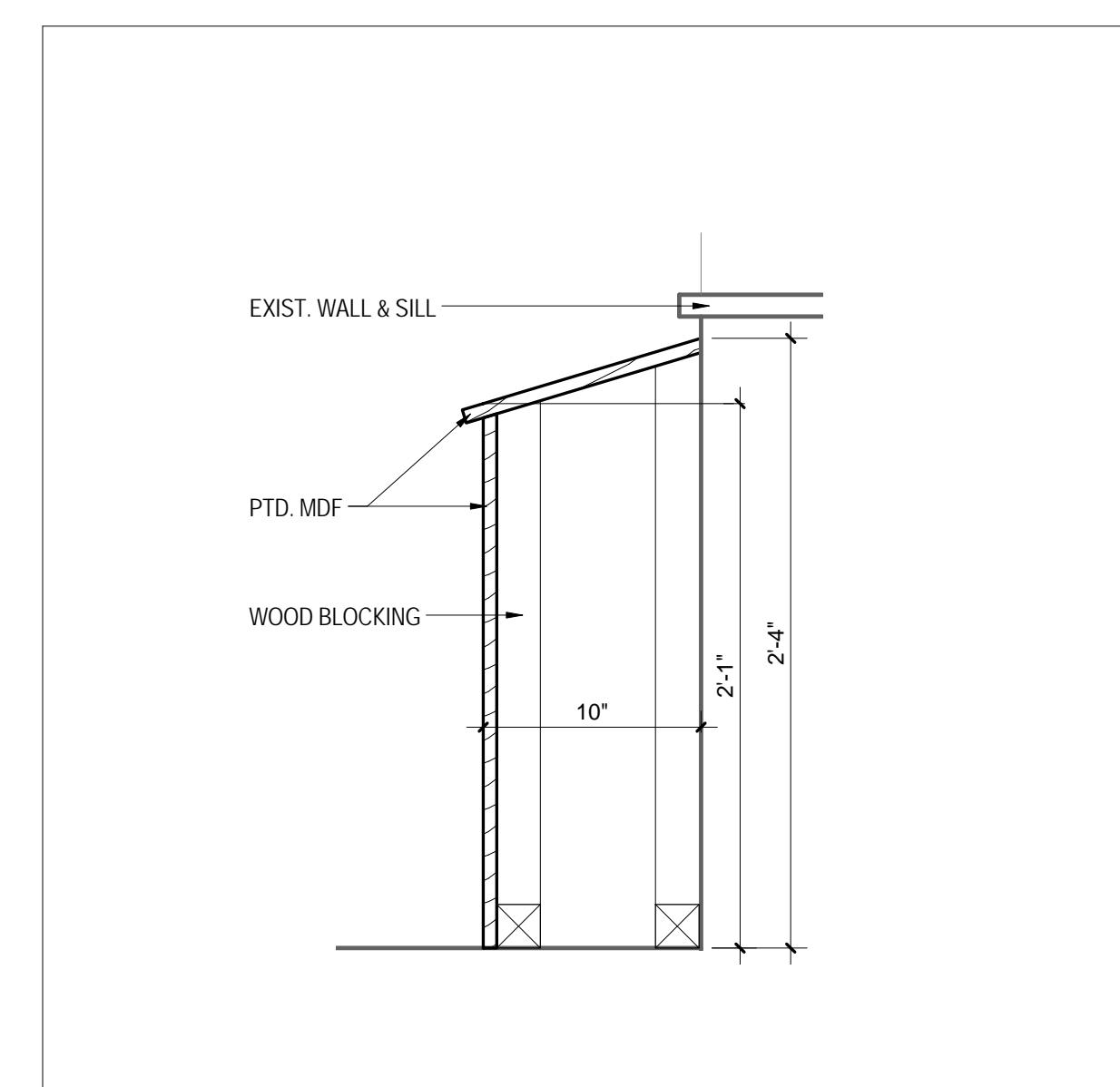
RENOVATION OF THREE RESIDENCE HALLS POCAHONTAS, BOLLING, & DRAPER HALLS

RADFORD UNIVERSITY
RADFORD, VIRGINIA

Project Code
VMDO Project Number
217-17565-000
1115



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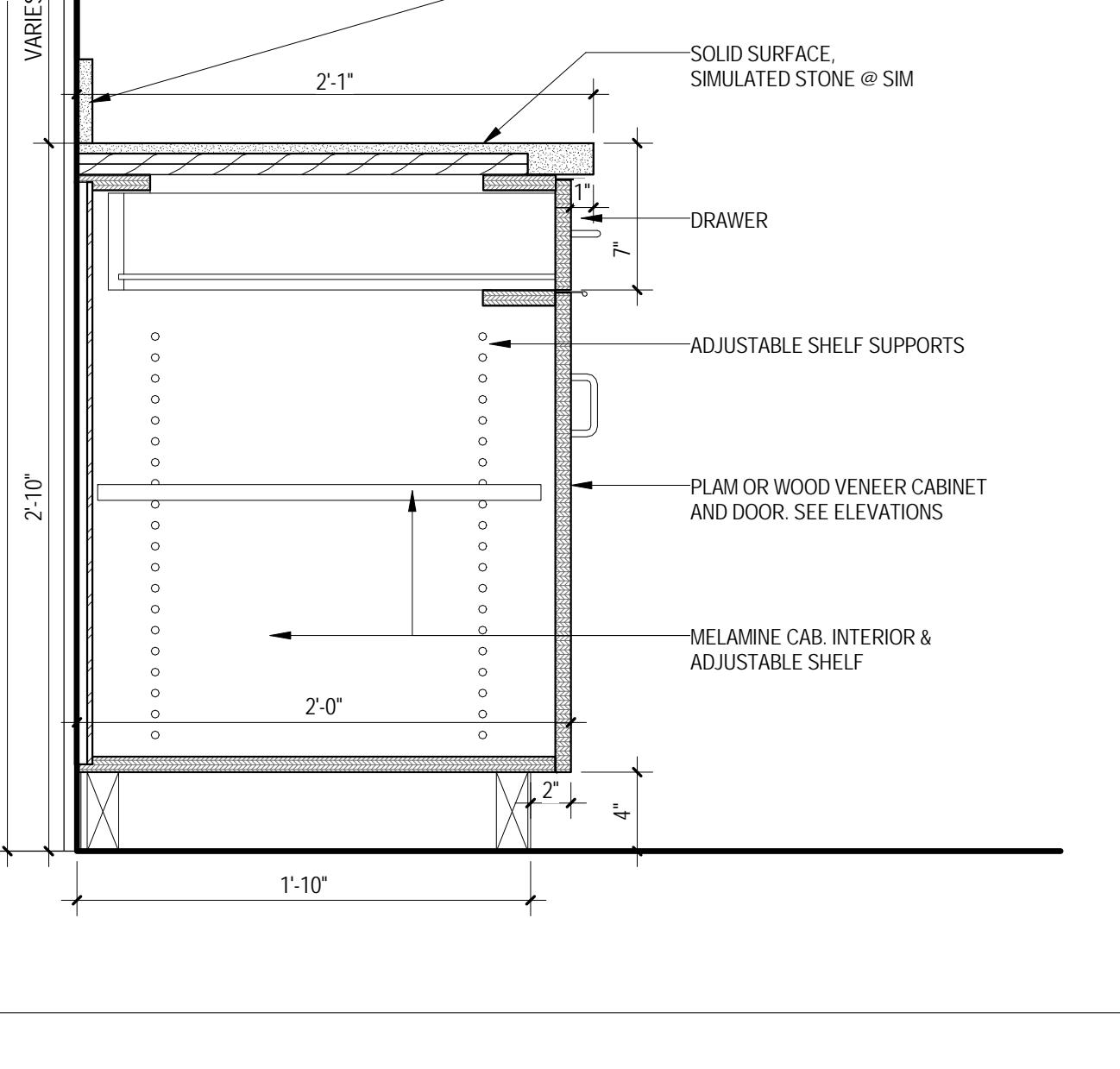
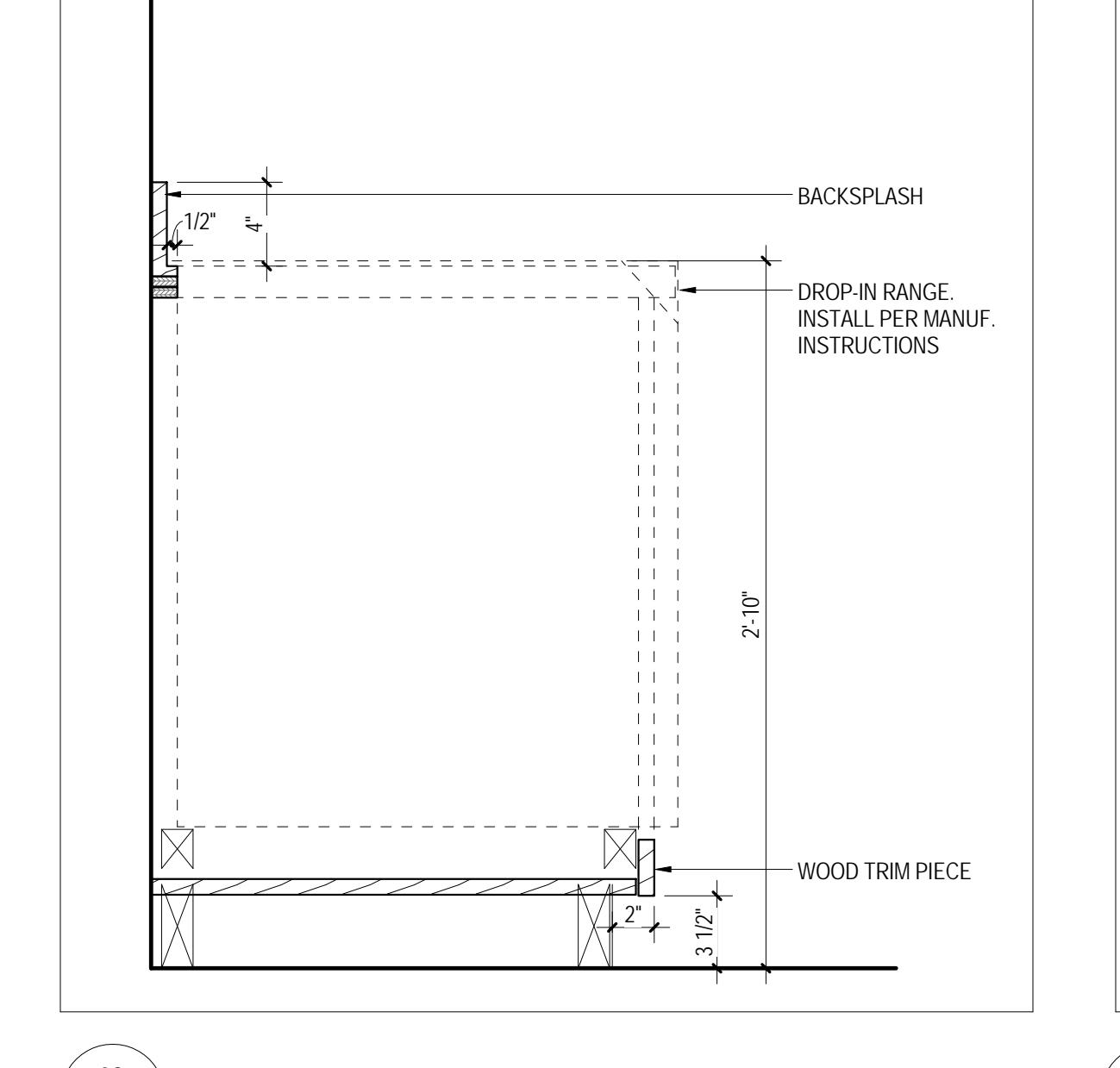
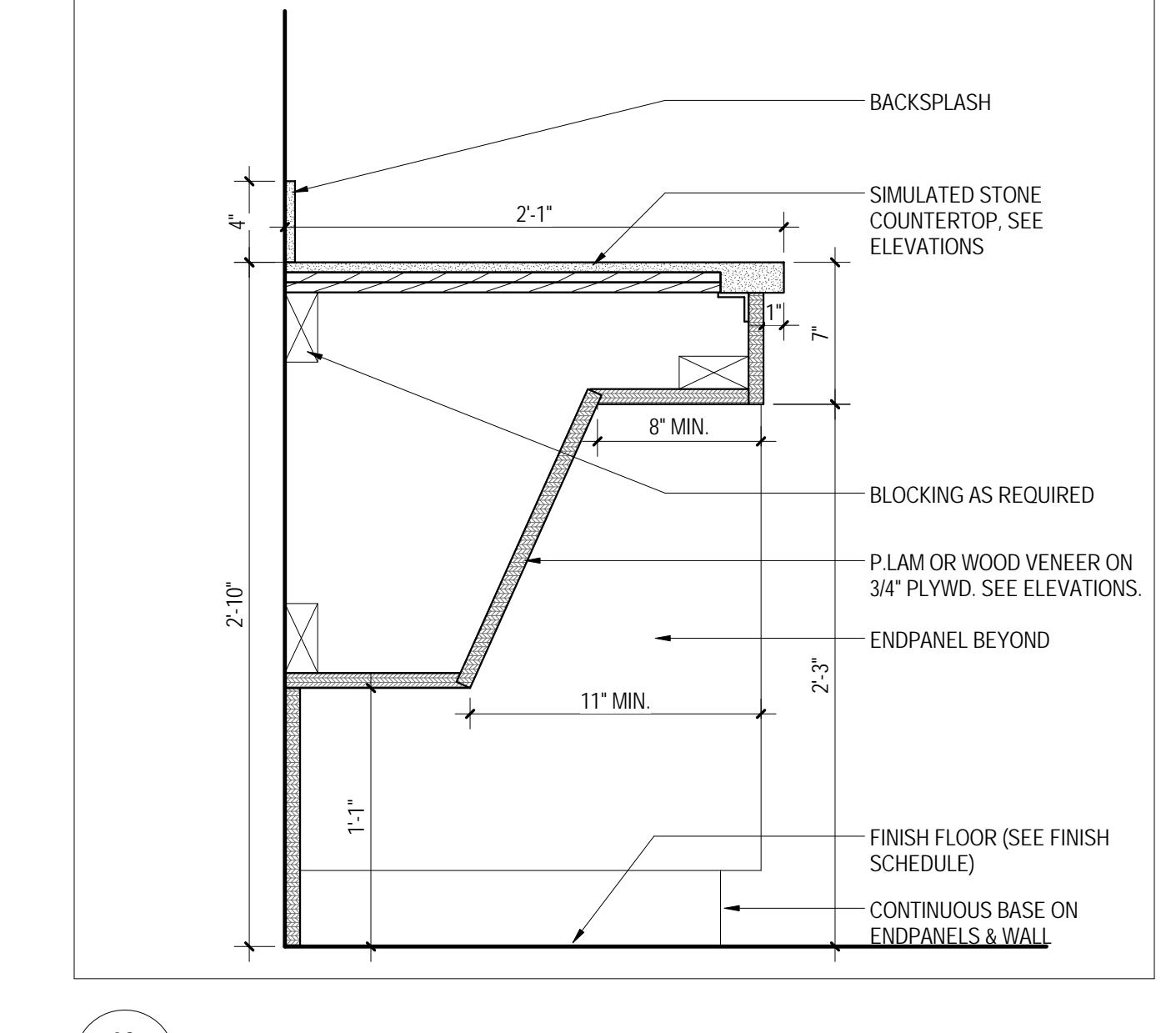
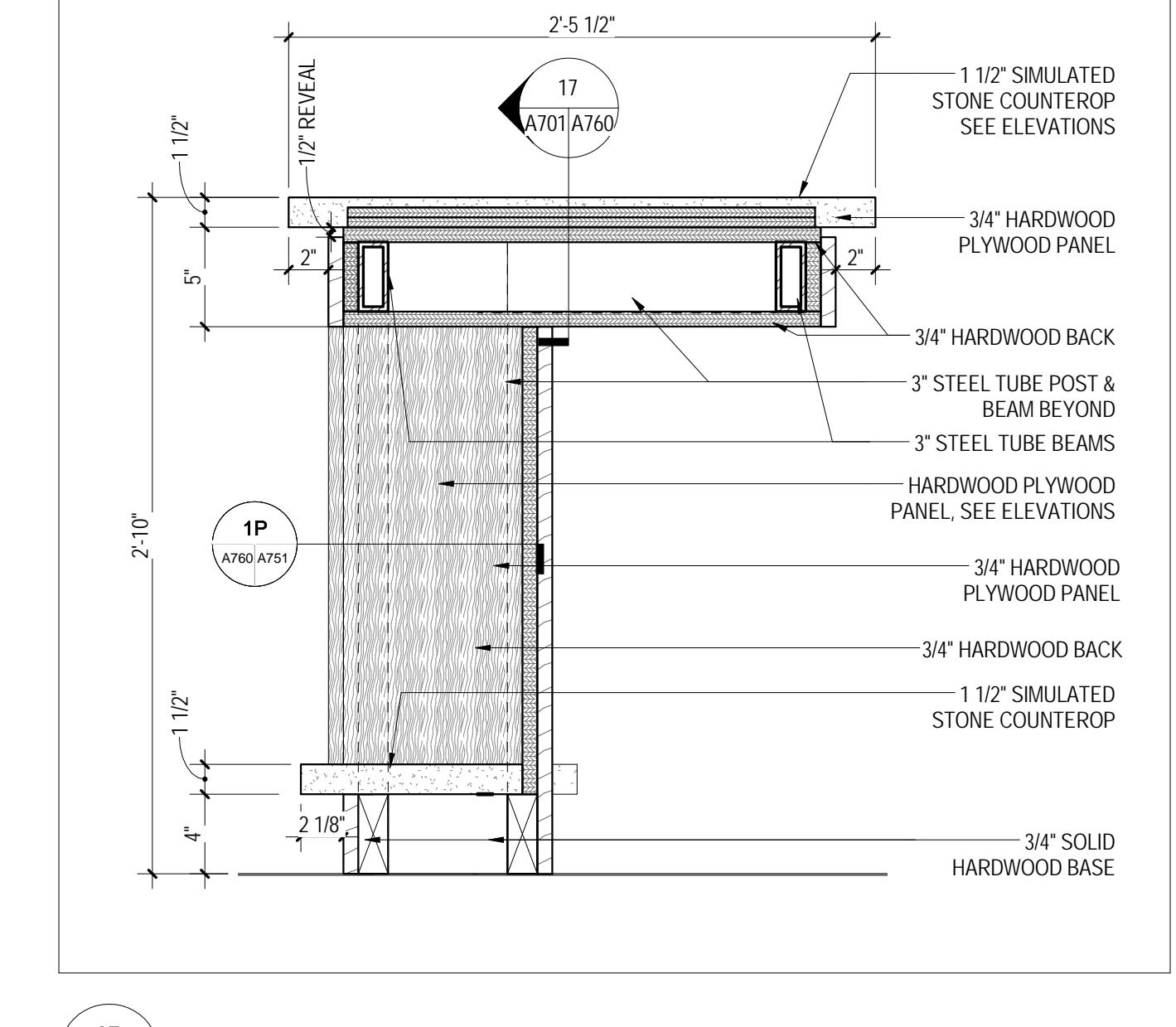
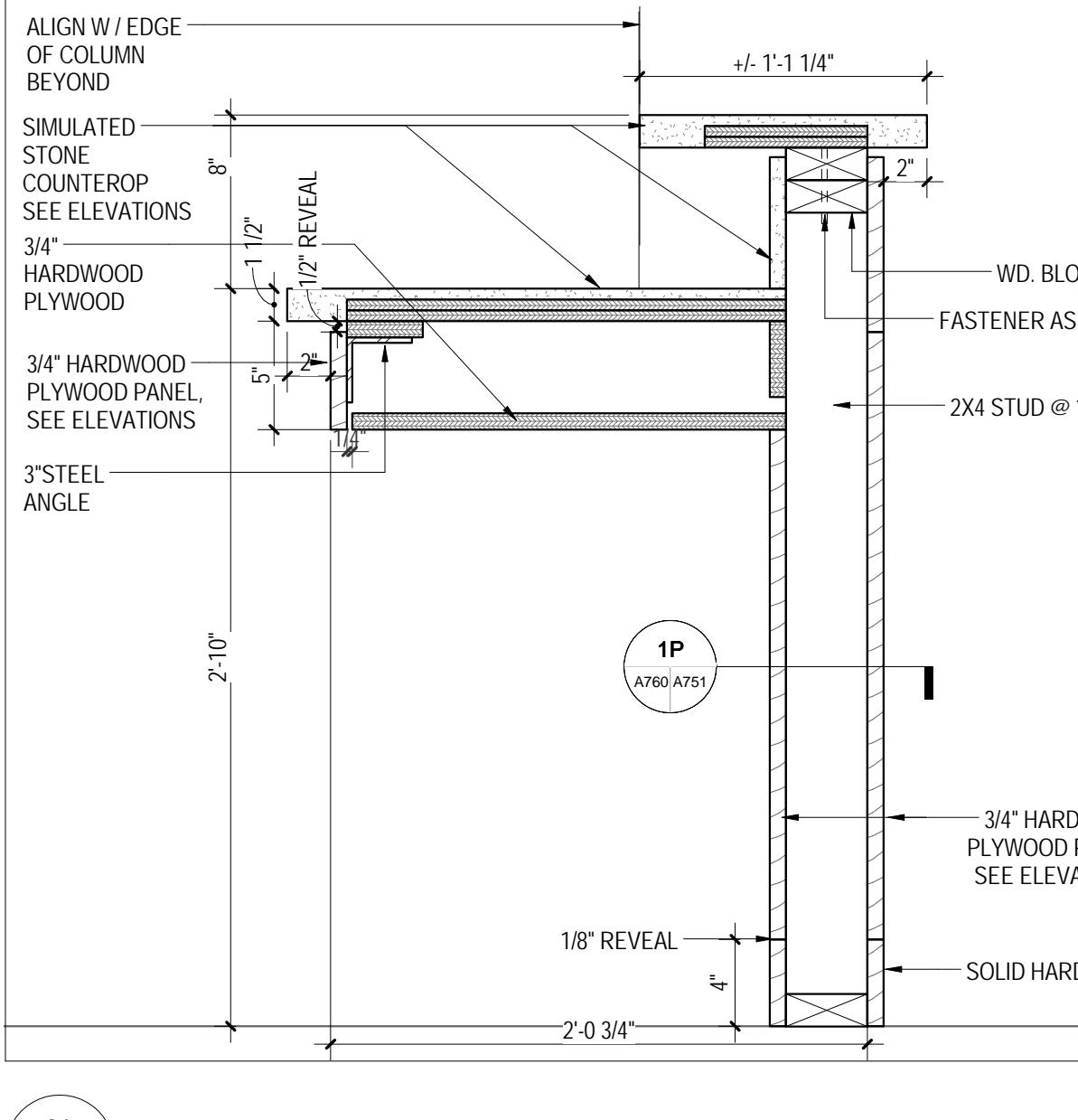


01 VFC ENCLOSURE DTL
A102/A760 1 1/2" = 1'-0"

02 TYP. TOEKICK
A760 6" = 1'-0"

03 TYP. COUNTER TOP @ FLOOR
A751/A760 6" = 1'-0"

04 TYP. CONUNTER TOP @ SIDE OF CASEWORK
A751/A760 6" = 1'-0"



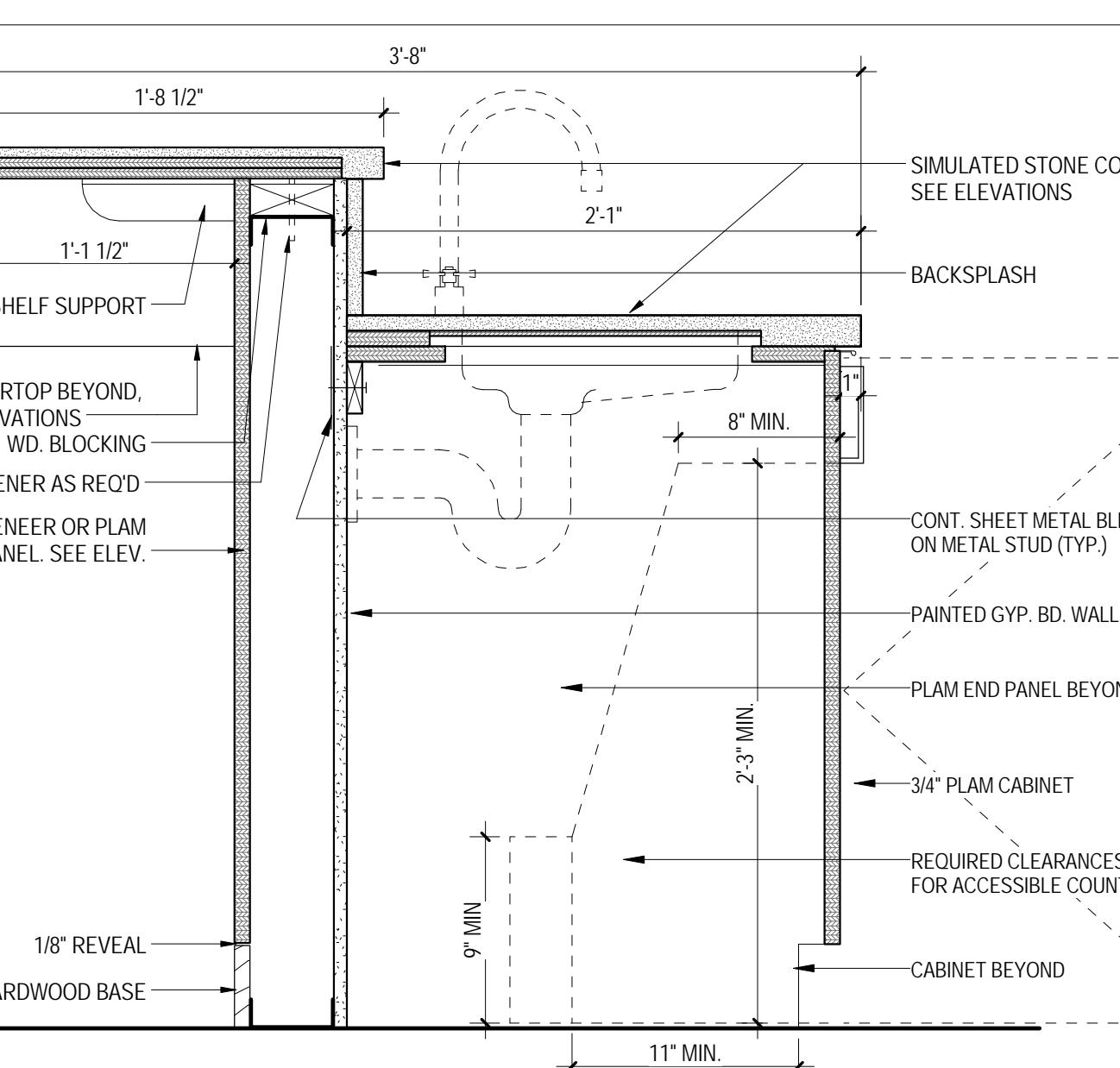
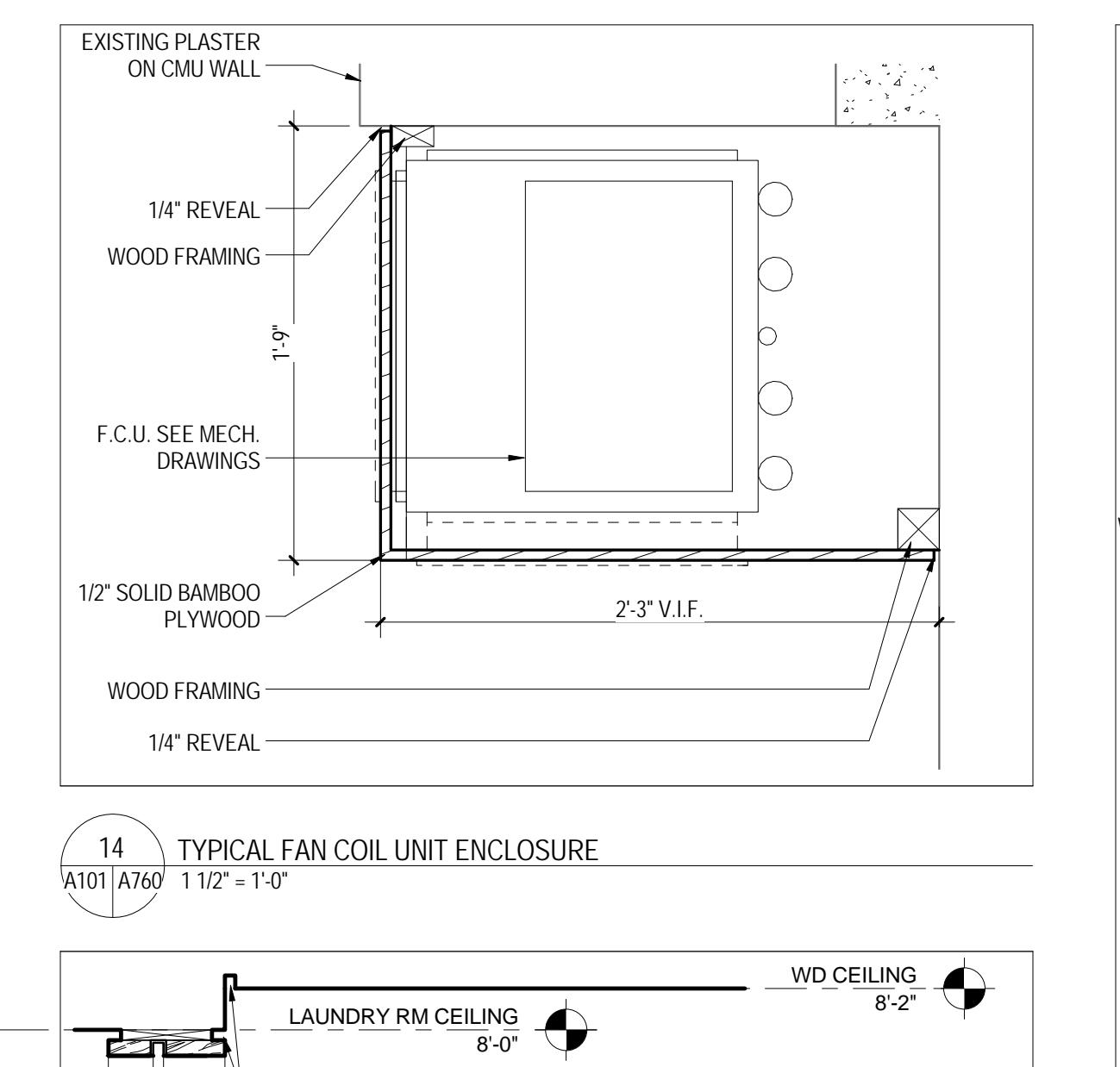
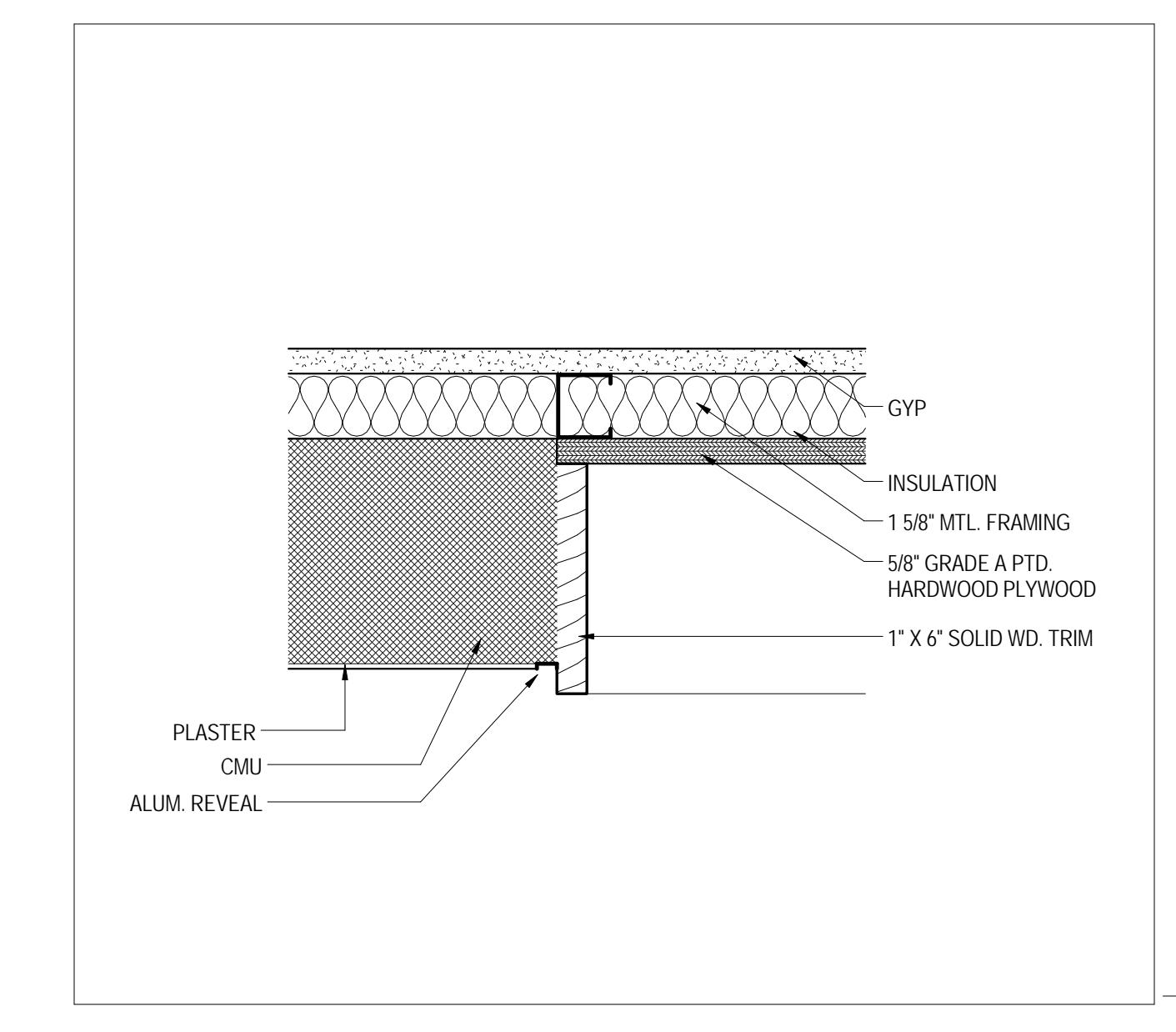
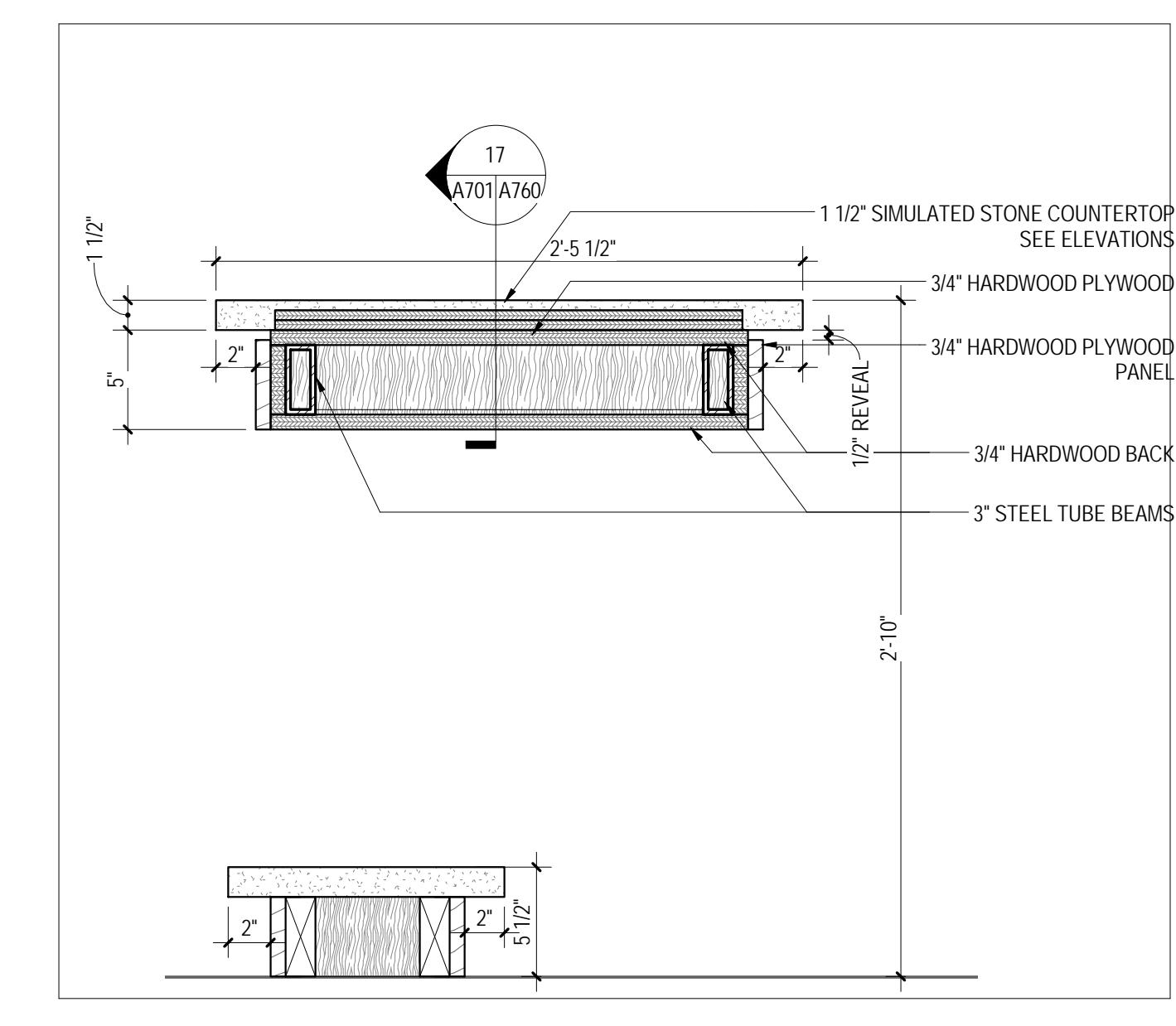
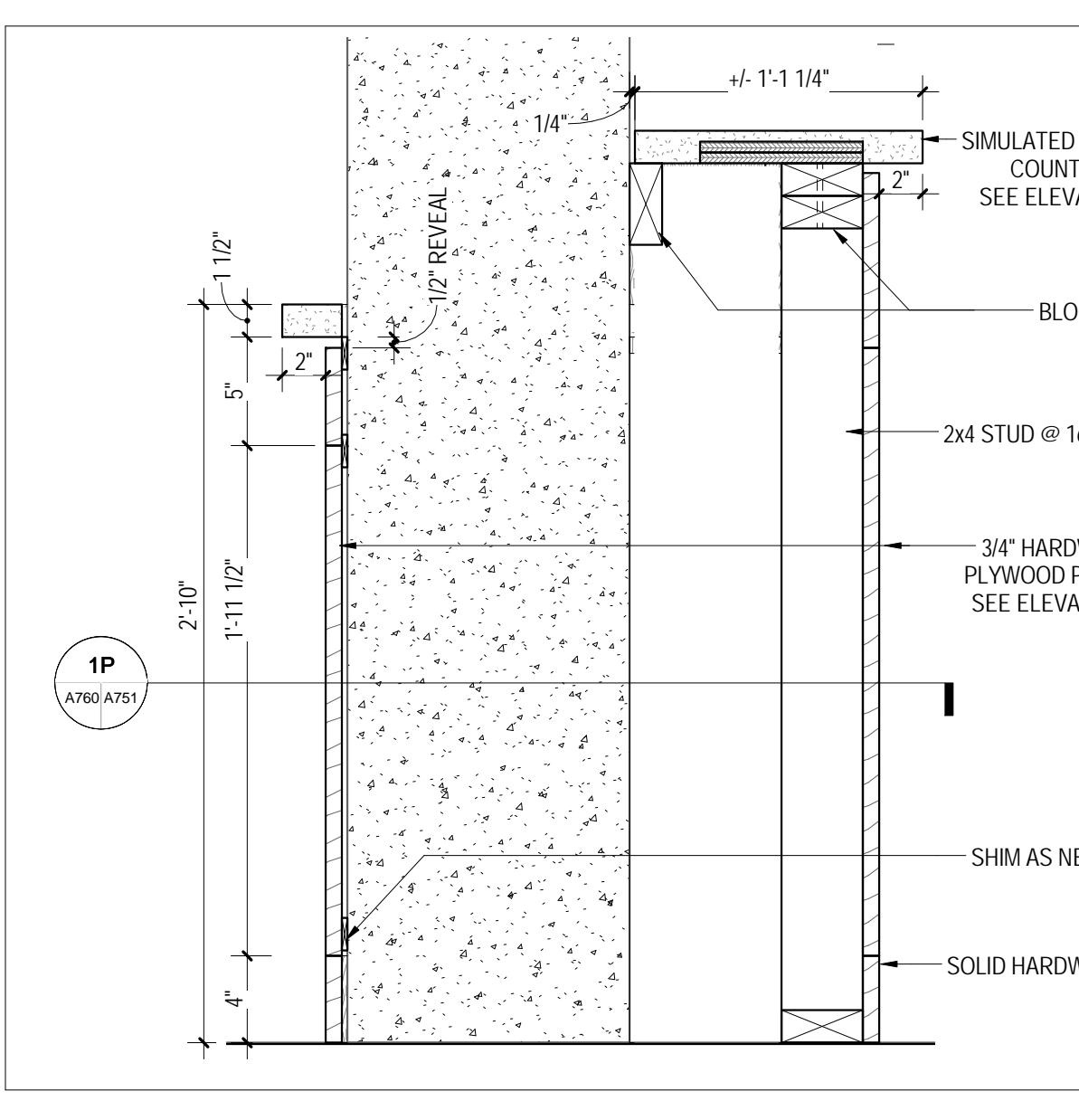
06 CASEWORK DETAIL - LOBBY DESK A
A751/A760 1 1/2" = 1'-0"

07 CASEWORK DETAIL - LOBBY DESK E
A751/A760 1 1/2" = 1'-0"

08 TYP. ACCESSIBLE CABINET
A751/A760 1 1/2" = 1'-0"

09 TYP. DROP-IN STOVE DETAIL
A751/A760 1 1/2" = 1'-0"

10 TYP. ACCESSIBLE CABINETS
A751/A760 1 1/2" = 1'-0"



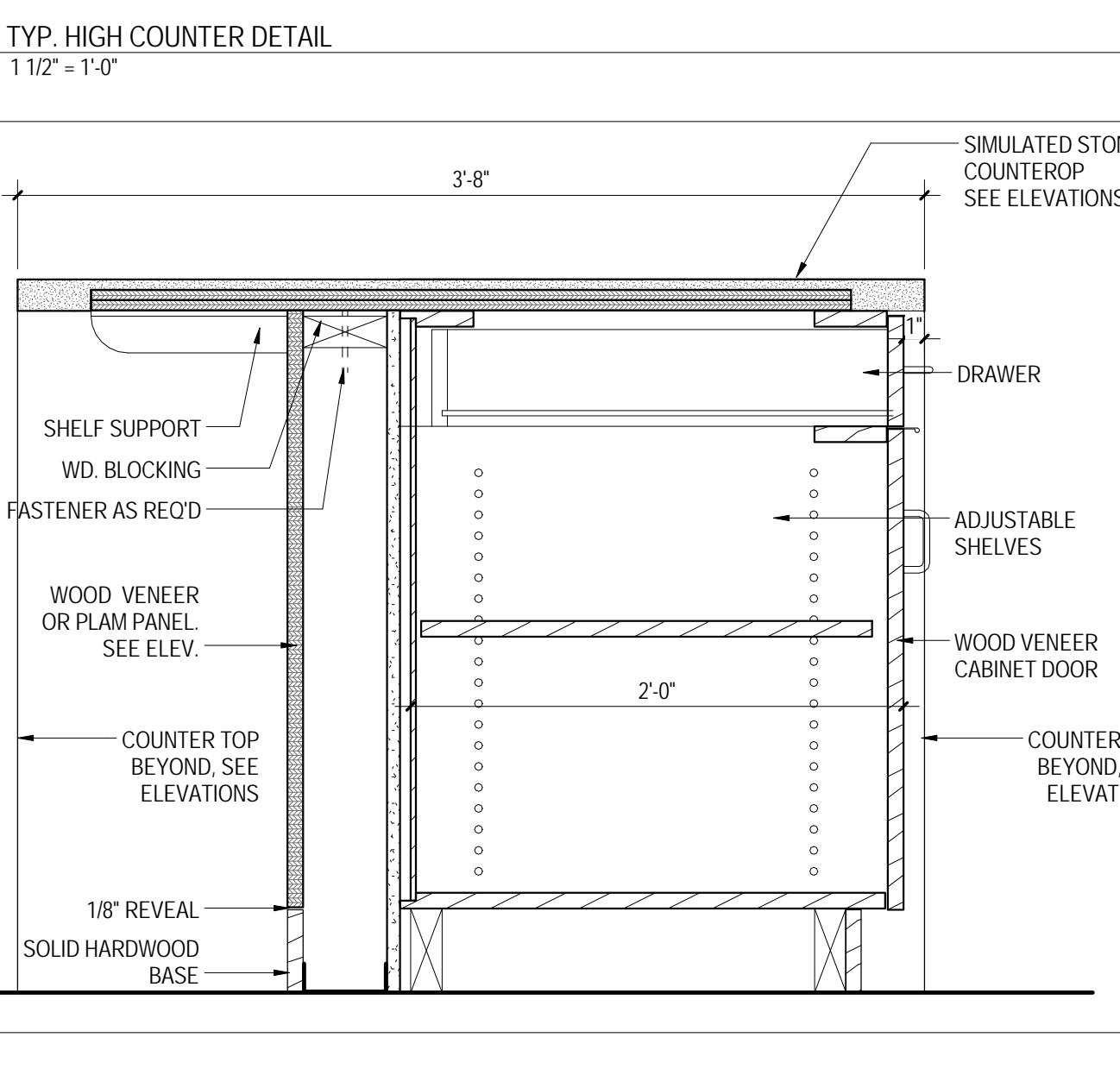
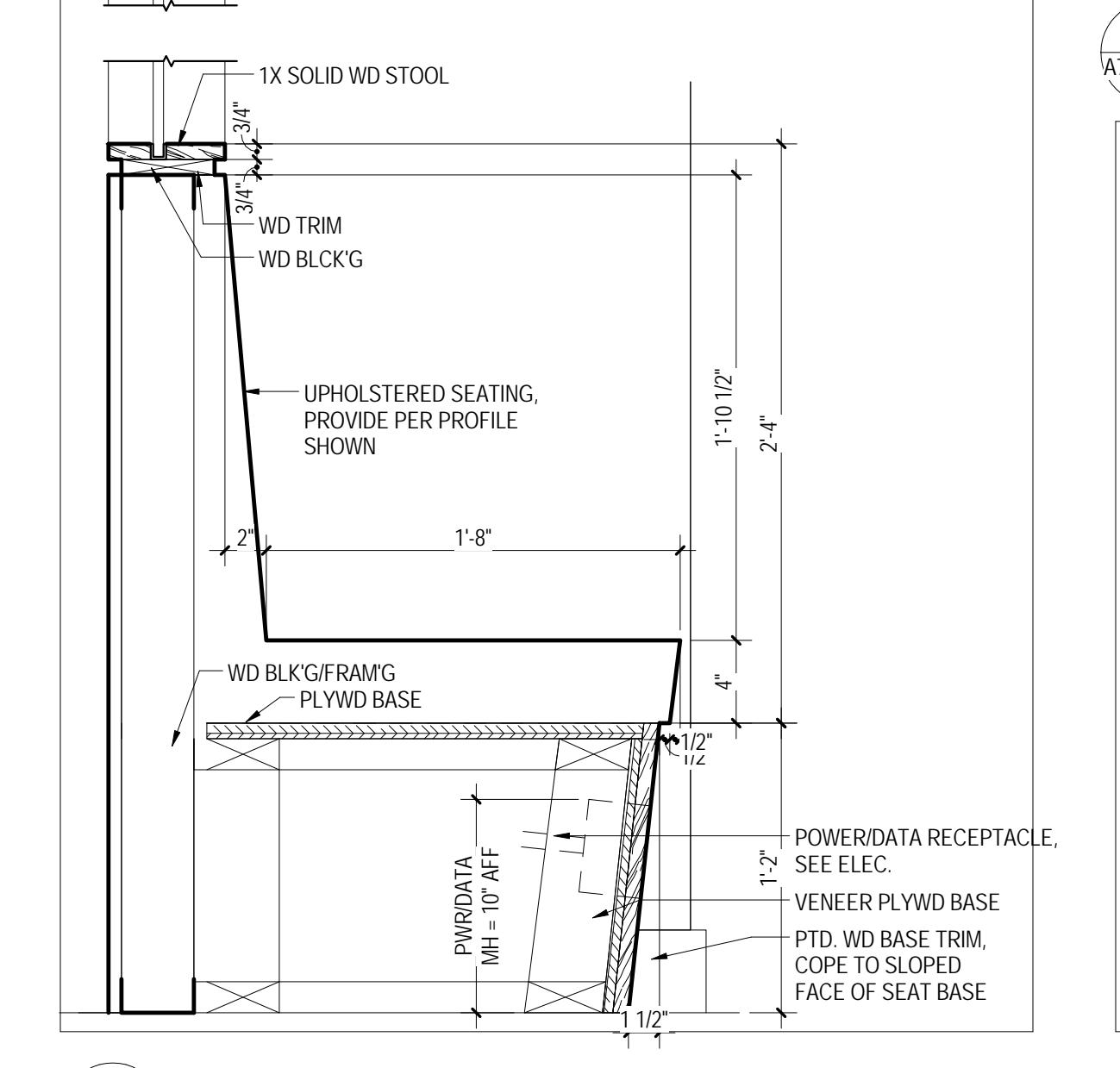
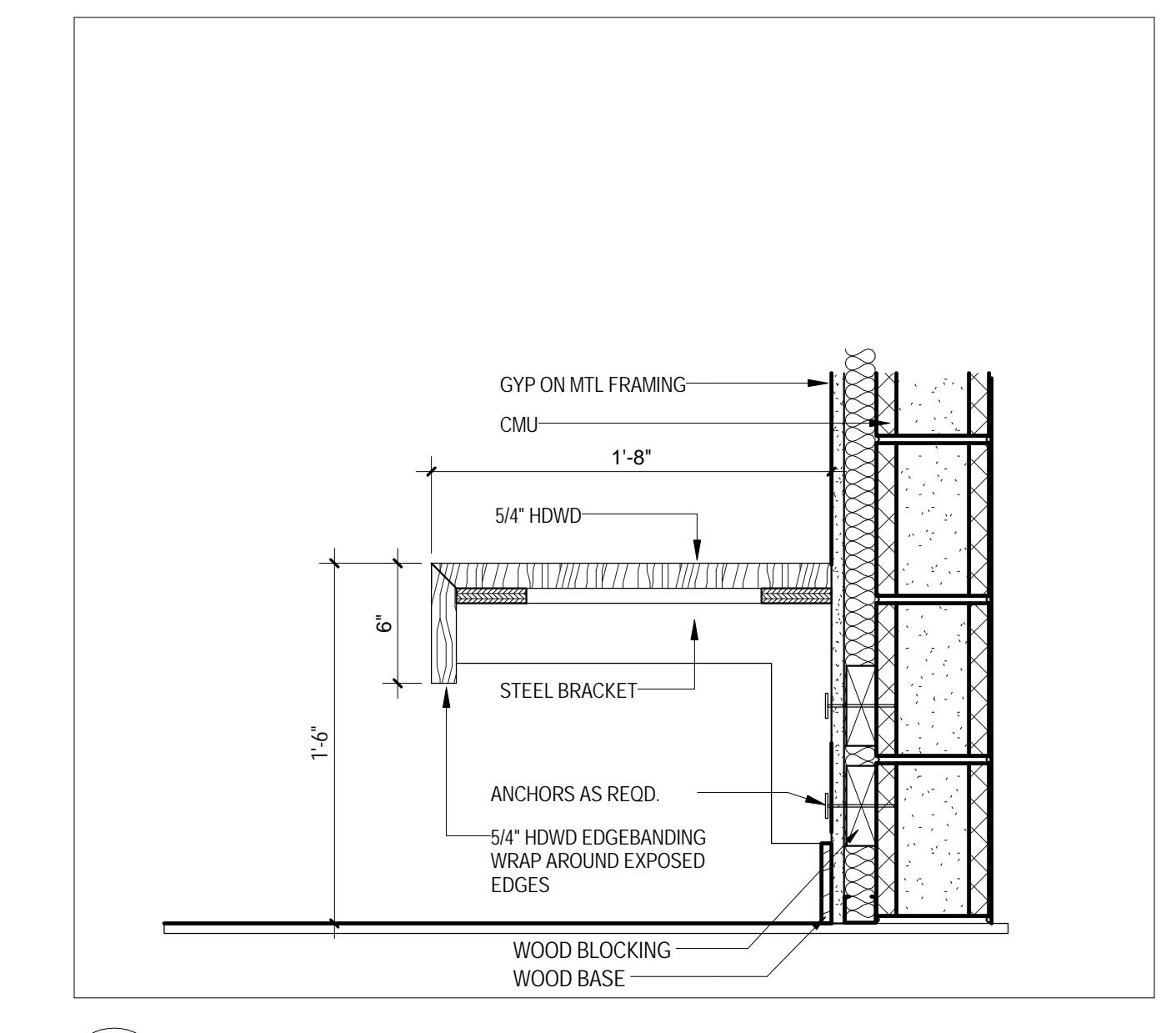
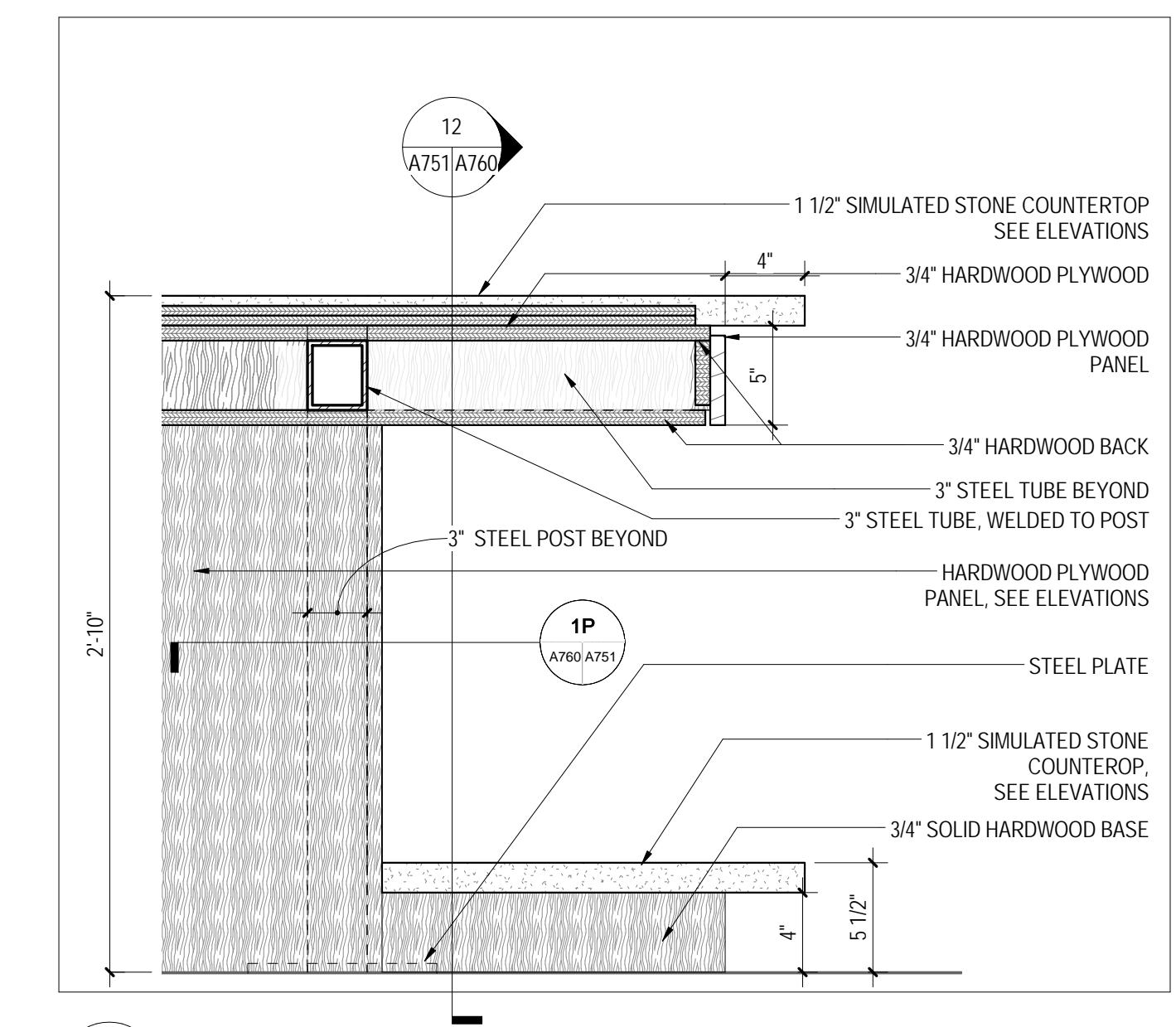
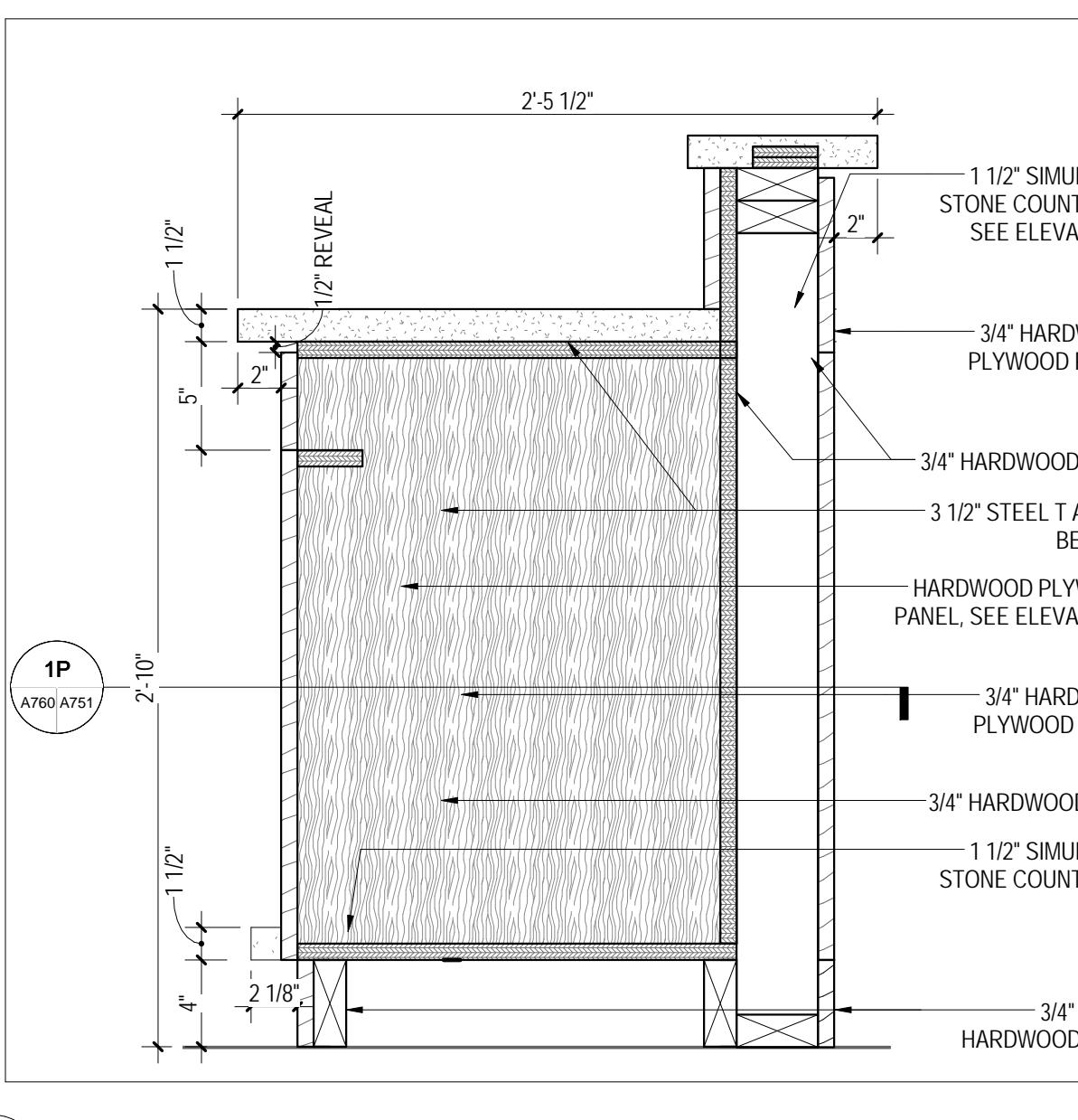
11 CASEWORK DETAIL - LOBBY DESK B
A751/A760 1 1/2" = 1'-0"

12 CASEWORK DETAIL - LOBBY DESK C
A751/A760 1 1/2" = 1'-0"

13 PLAN DETAIL @ MEDIA PANEL @ CMU
A751/A760 3' = 1'-0"

14 TYPICAL FAN COIL UNIT ENCLOSURE
A701/A760 1 1/2" = 1'-0"

15 TYP. HIGH COUNTER DETAIL
A751/A760 1 1/2" = 1'-0"



16 CASEWORK DETAIL - LOBBY DESK D
A701/A760 1 1/2" = 1'-0"

17 CASEWORK DETAIL - LOBBY DESK F
A701/A760 1 1/2" = 1'-0"

18 DETAIL @ ENTRY BENCH
A701/A760 1 1/2" = 1'-0"

19 BENCH DETAIL
A701/A760 1 1/2" = 1'-0"

20 TYP. LOW COUNTER DETAIL
A751/A760 1 1/2" = 1'-0"

MILLWORK AND CASEWORK DETAILS



RENOVATION OF THREE RESIDENCE HALLS POCAHONTAS, BOLLING, & DRAPER HALLS

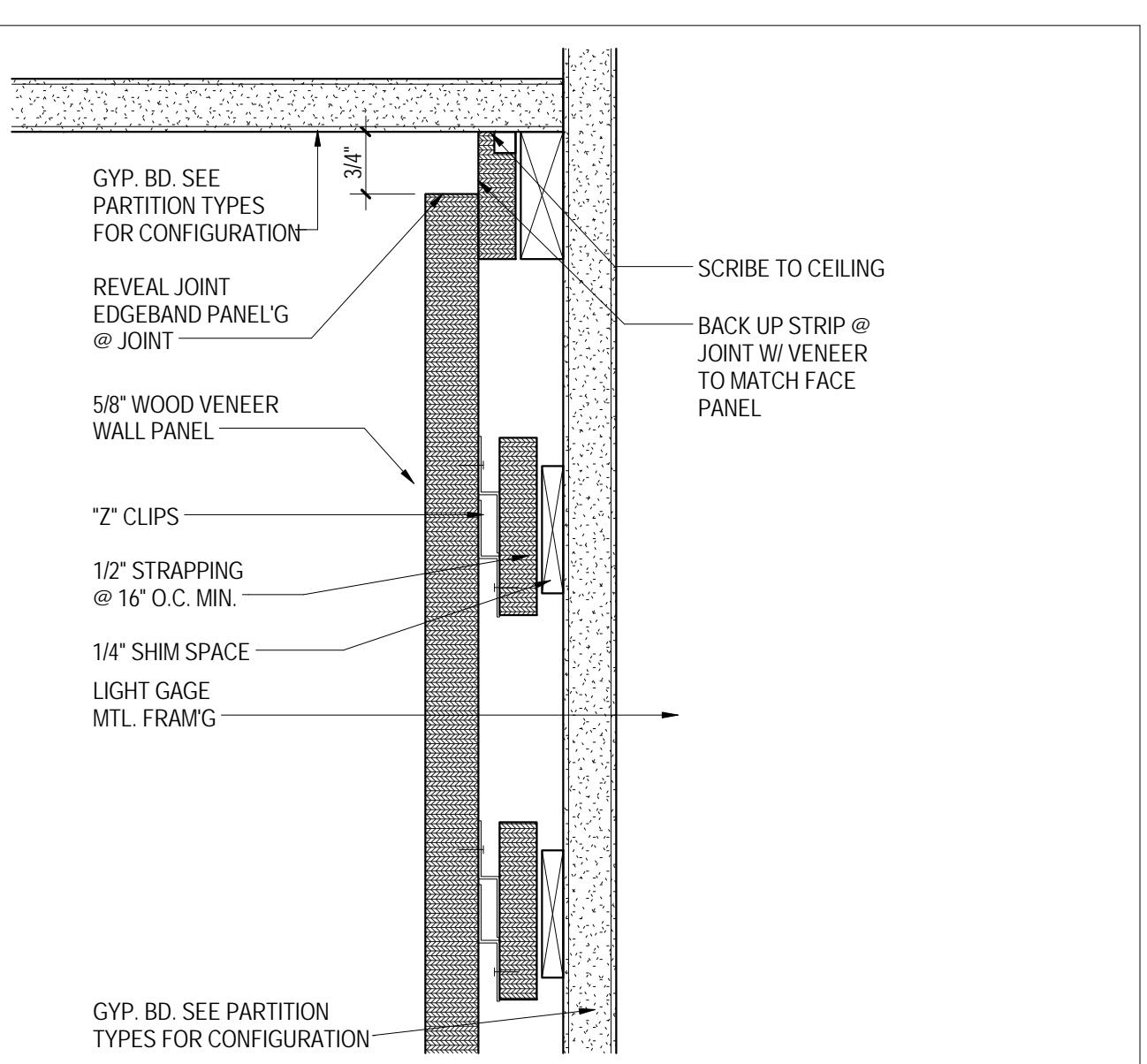
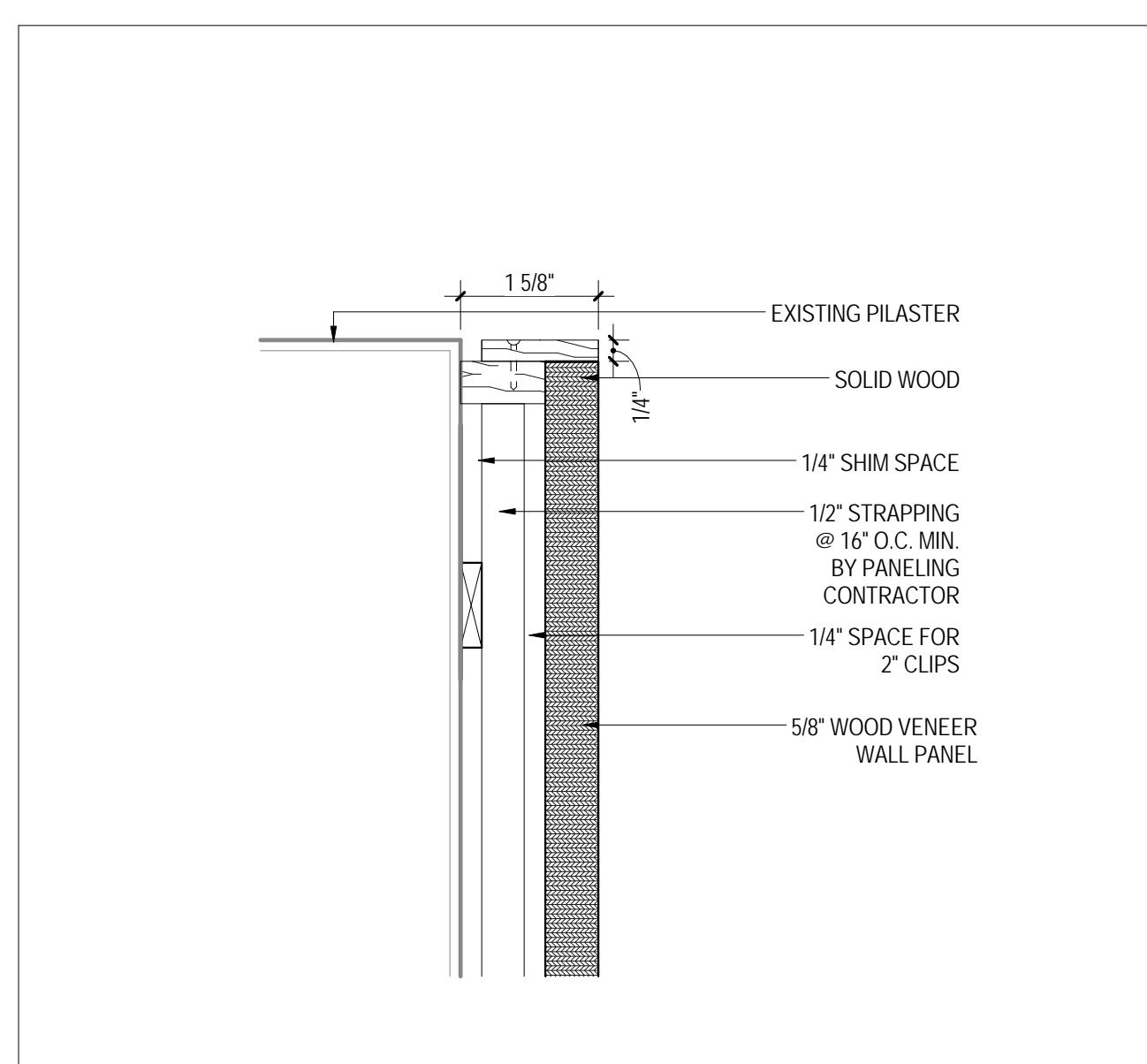
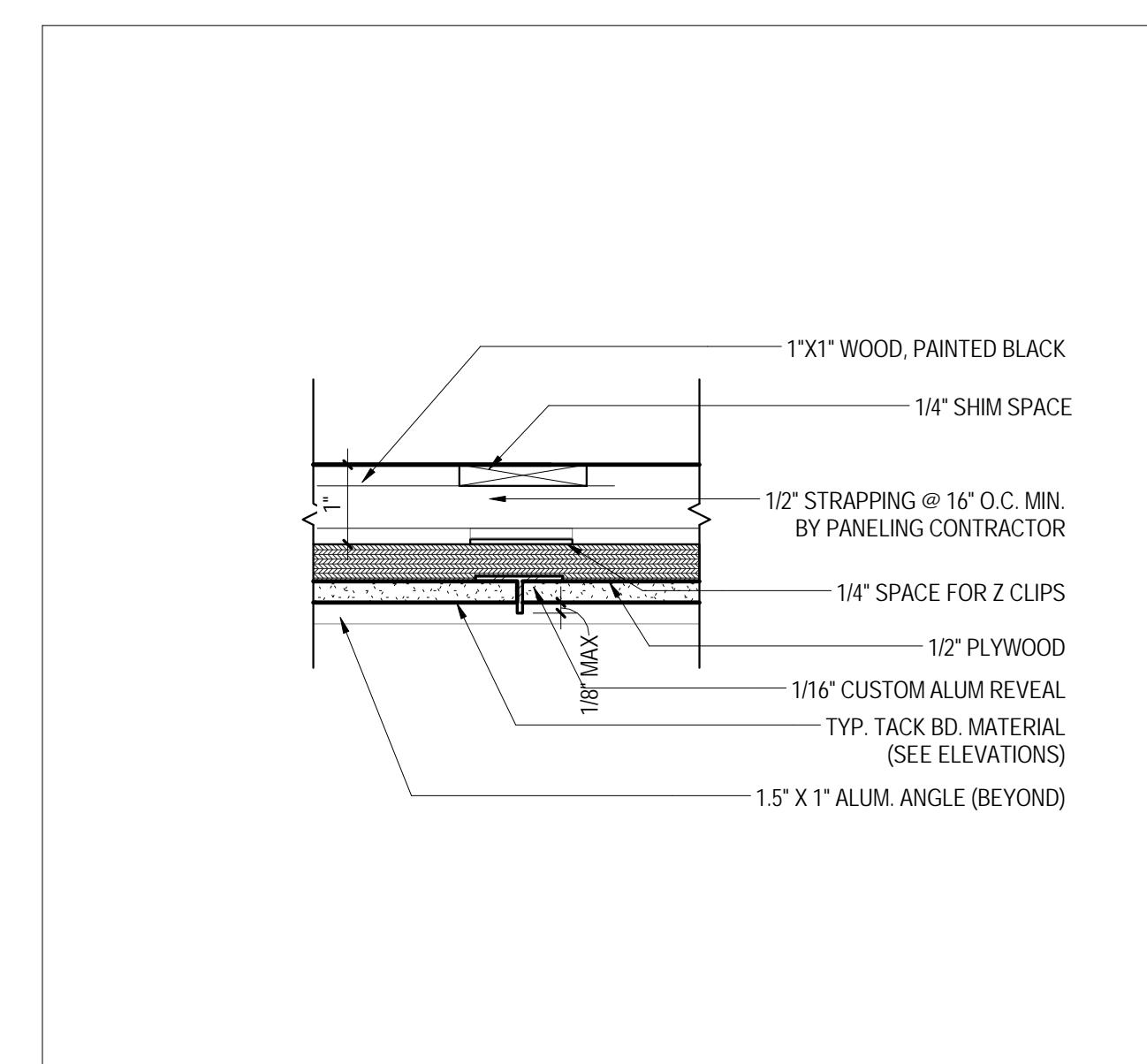
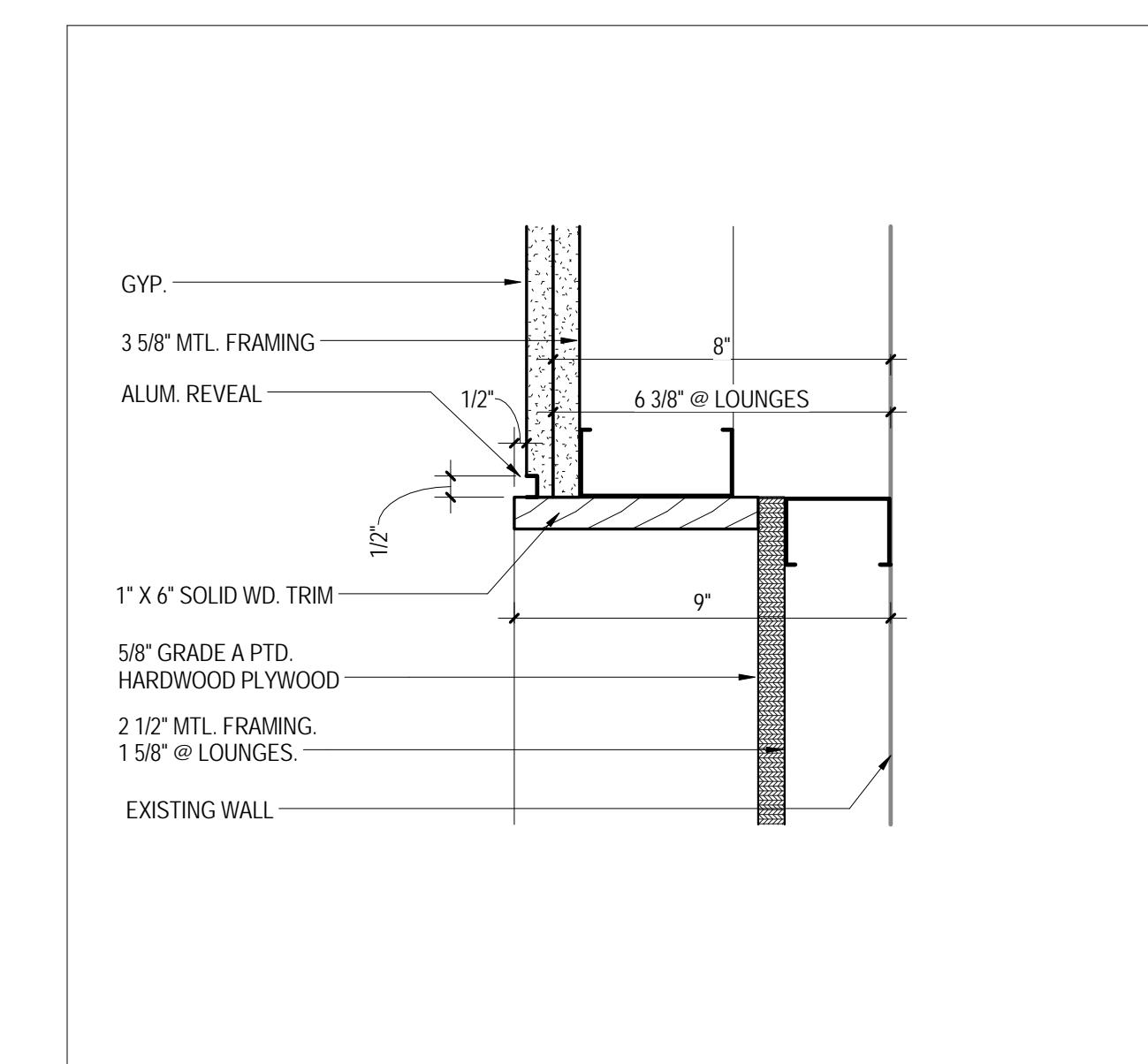
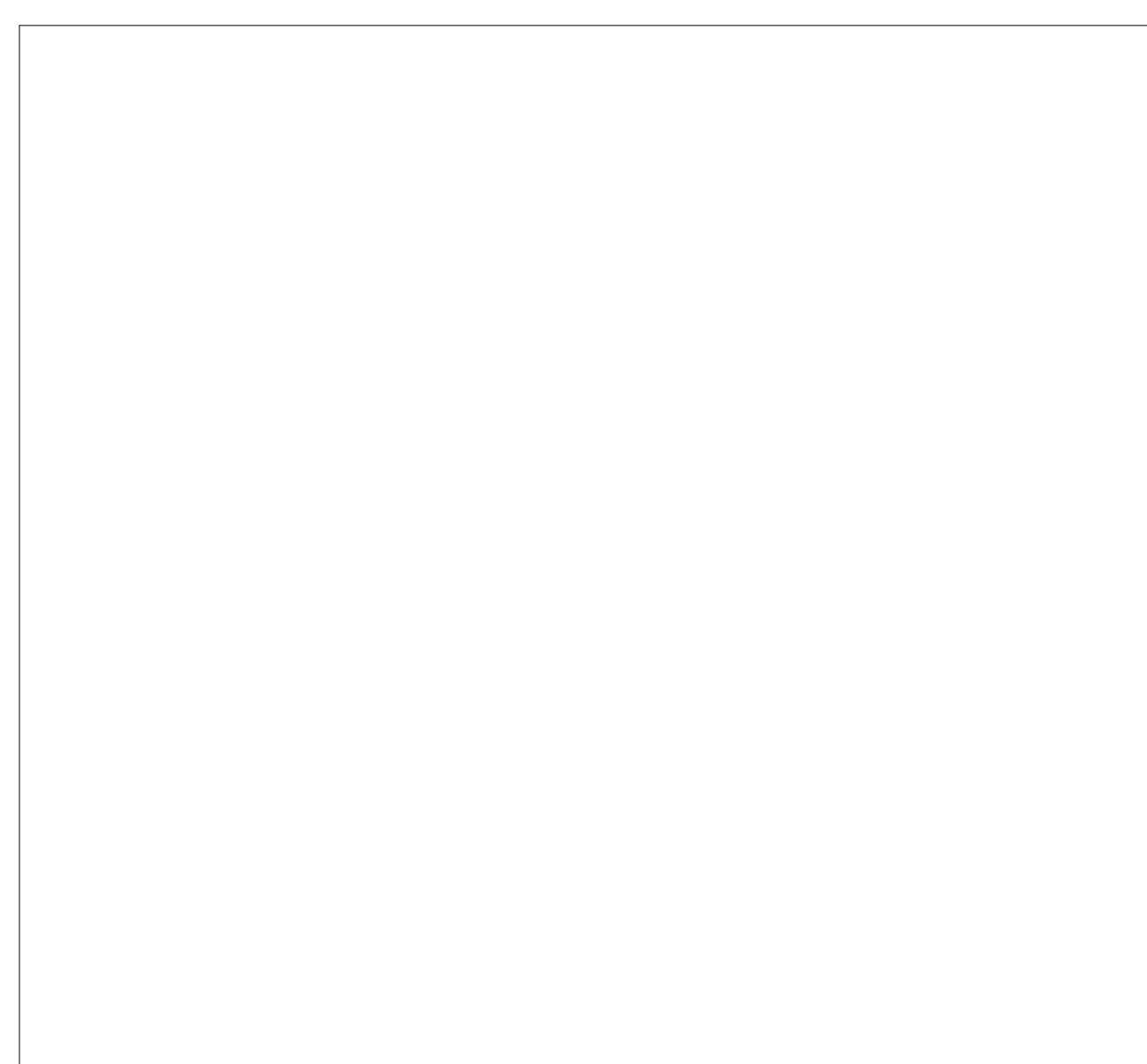
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RADFORD, VIRGINIA

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VMDO Project Number

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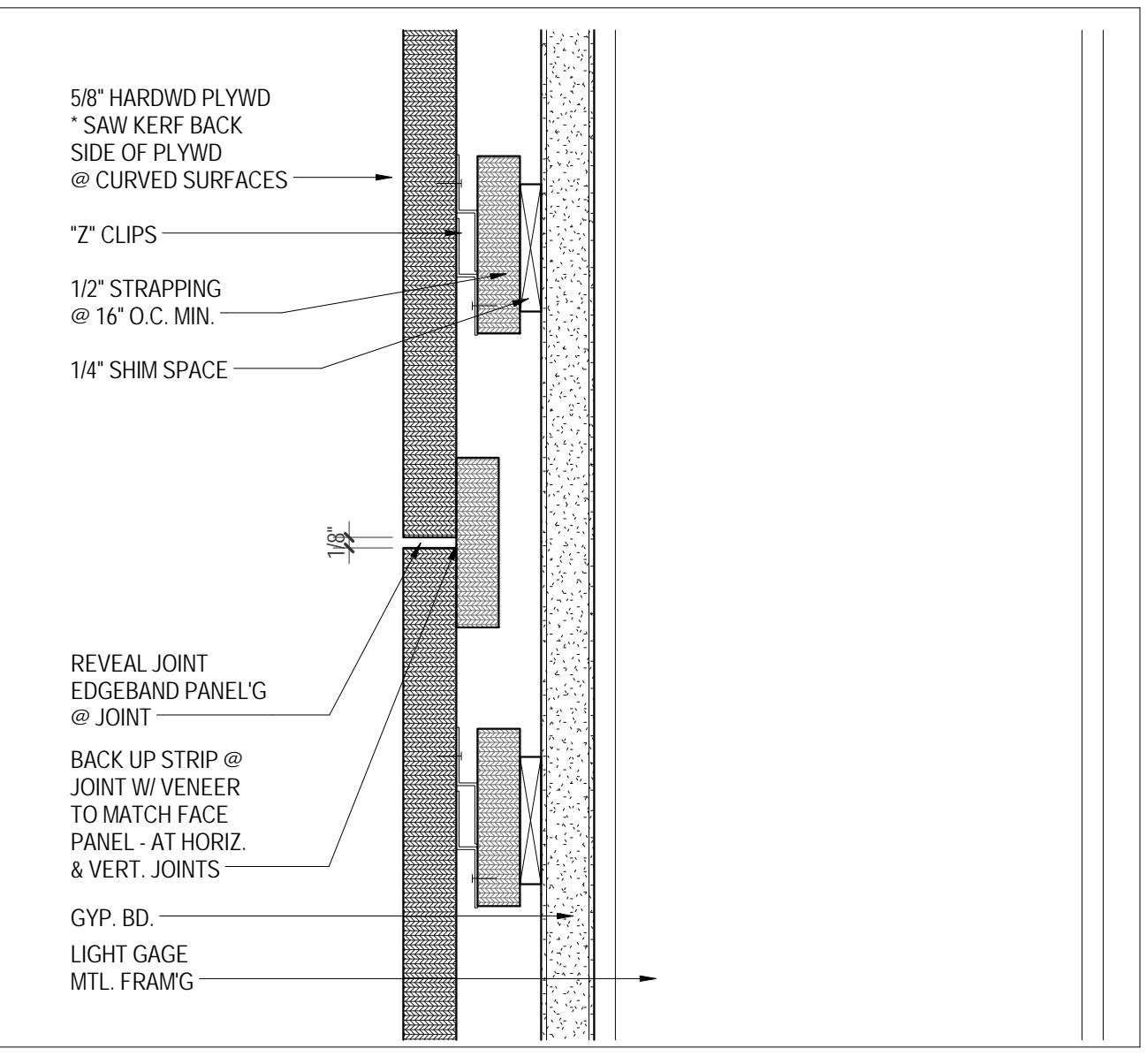
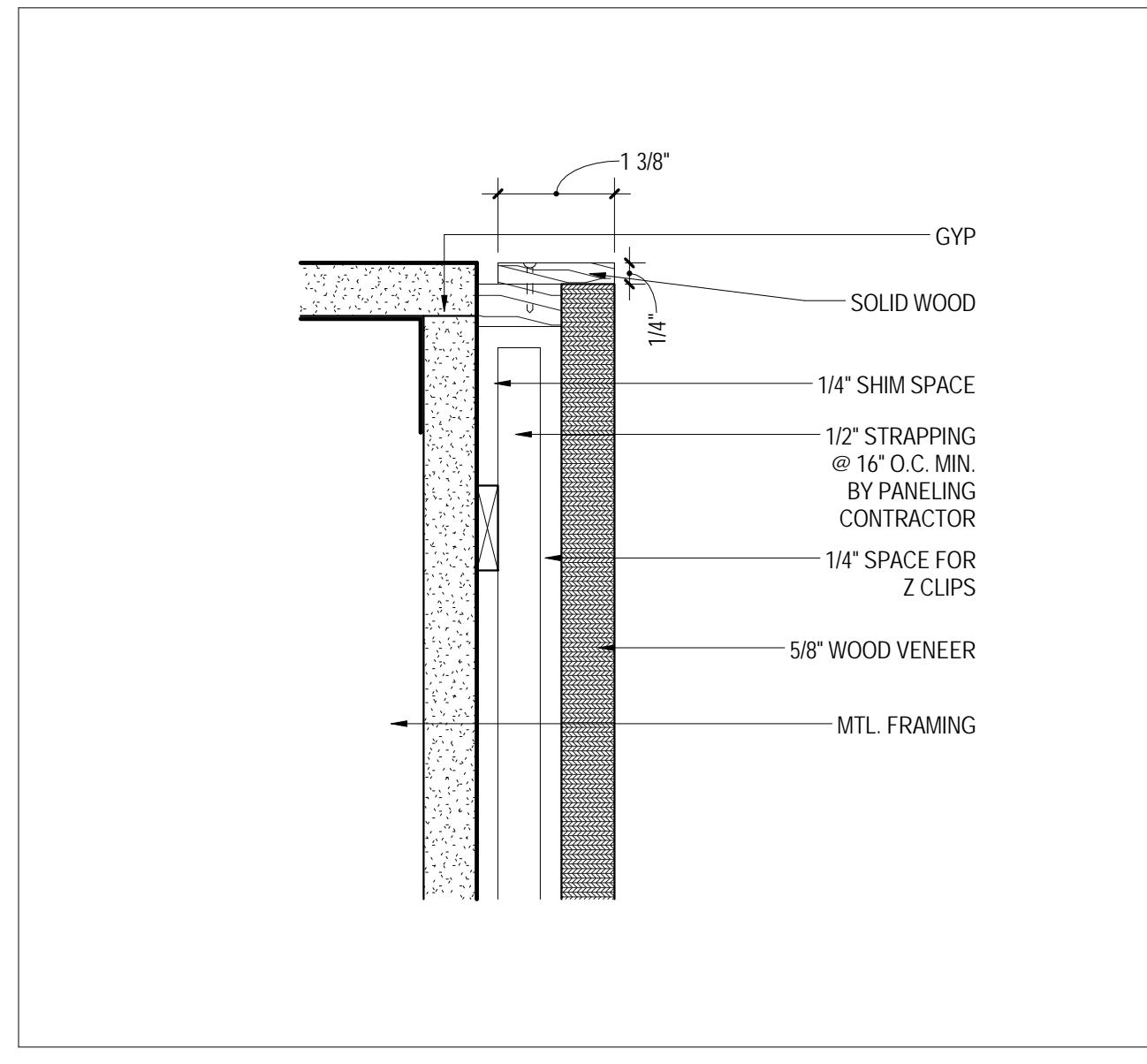
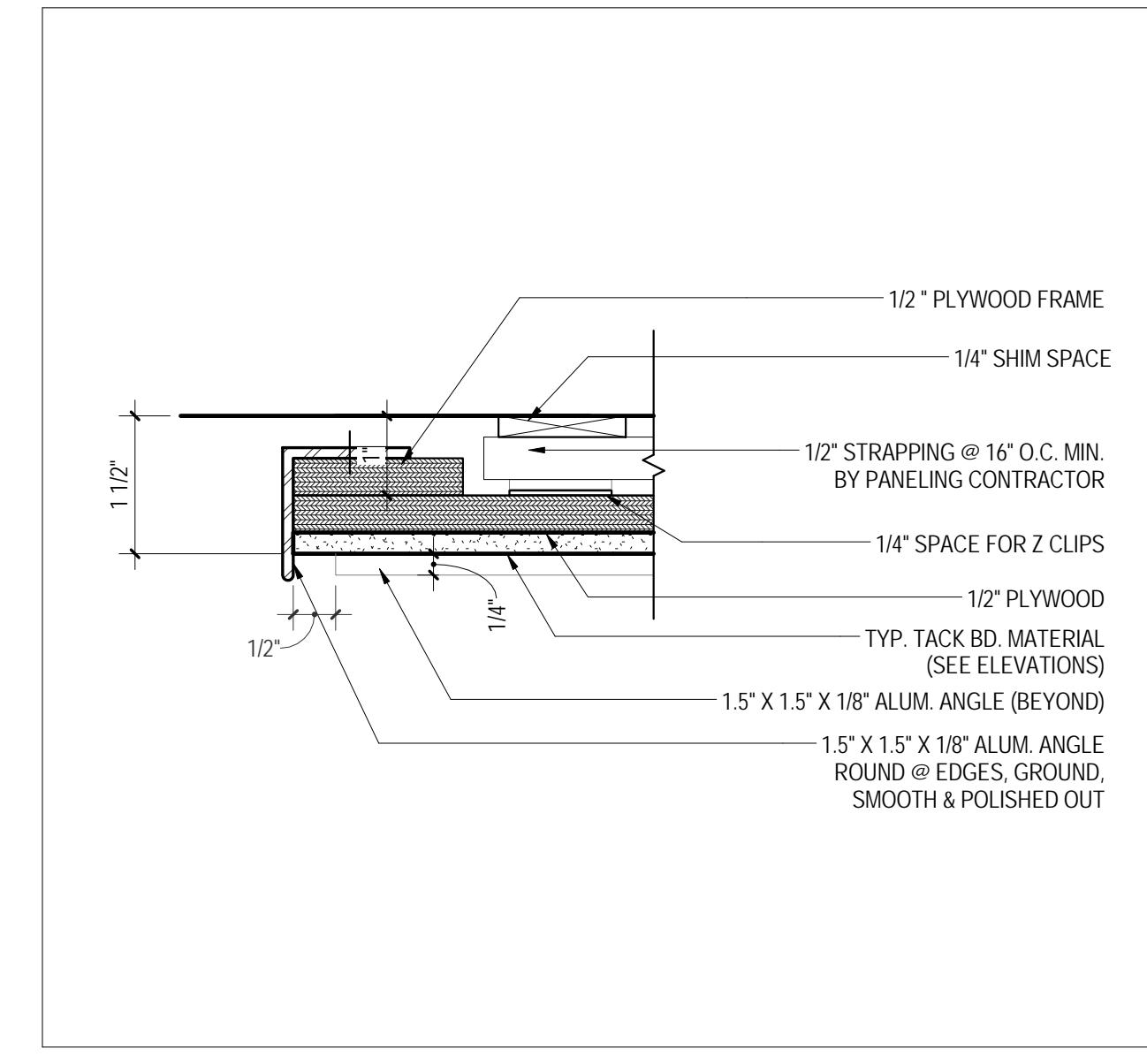
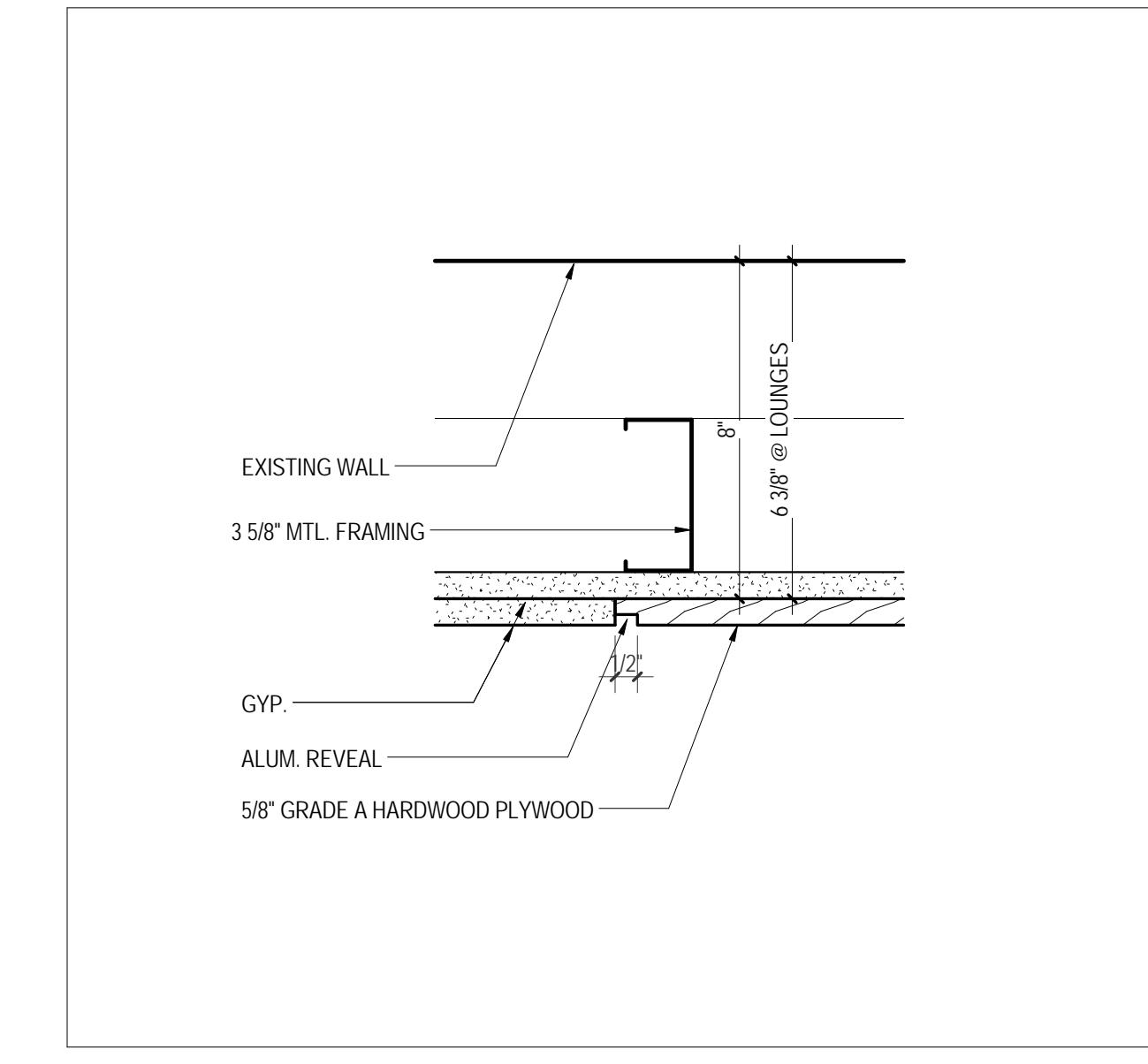
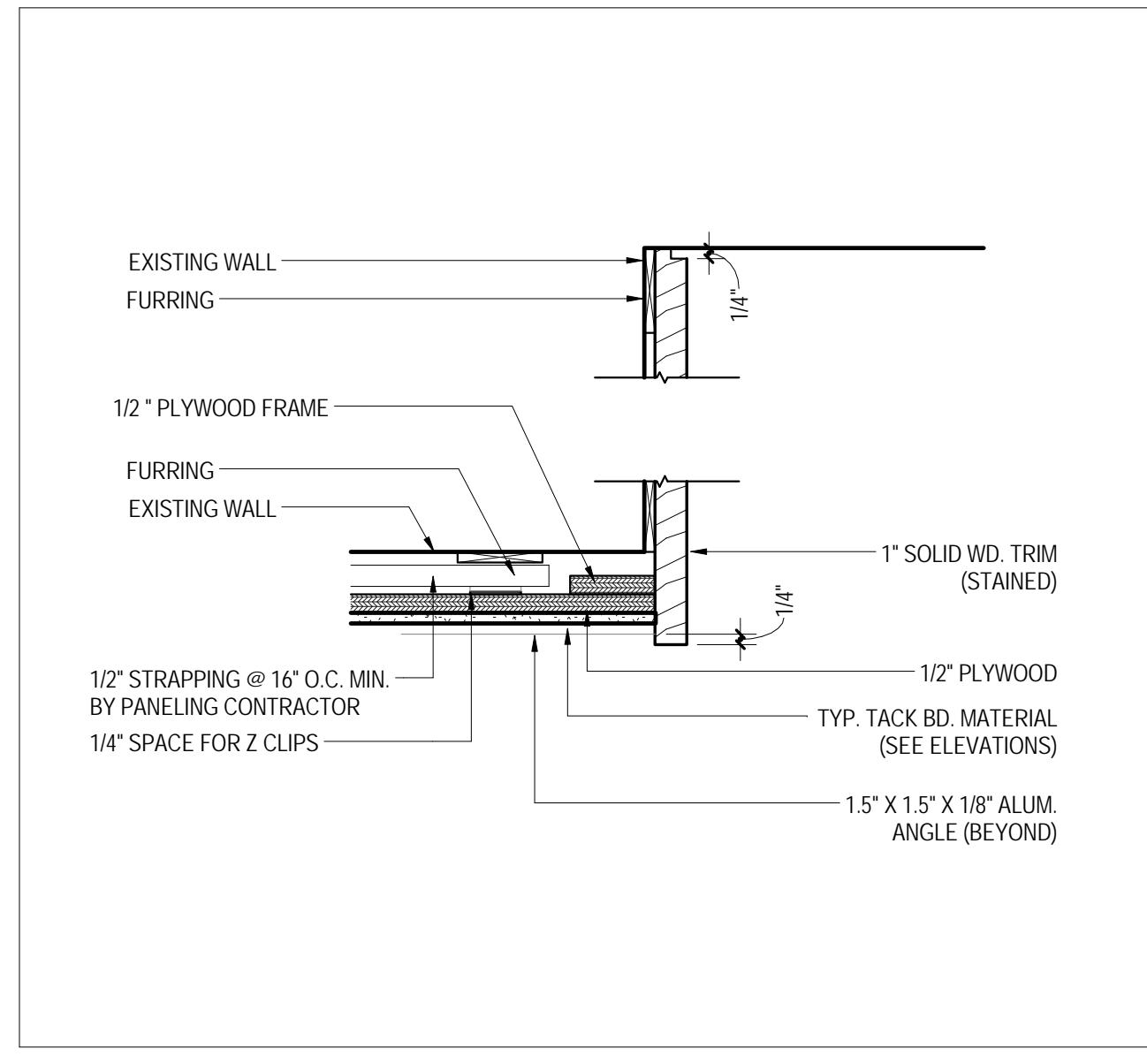


02 TV SURROUND DETAIL
A761 A761 3' = 1'-0"

03 MESSAGE BOARD - REVEAL DETAIL
A761 A761 6' = 1'-0"

04 TYP. FLUSH WOOD PANELING DETAIL - PLAN @ PLASTER CORNER
A761 A761 6' = 1'-0"

05 TYP. FLUSH WOOD PANELING DETAIL @ GWB CEILING
A761 A761 6' = 1'-0"

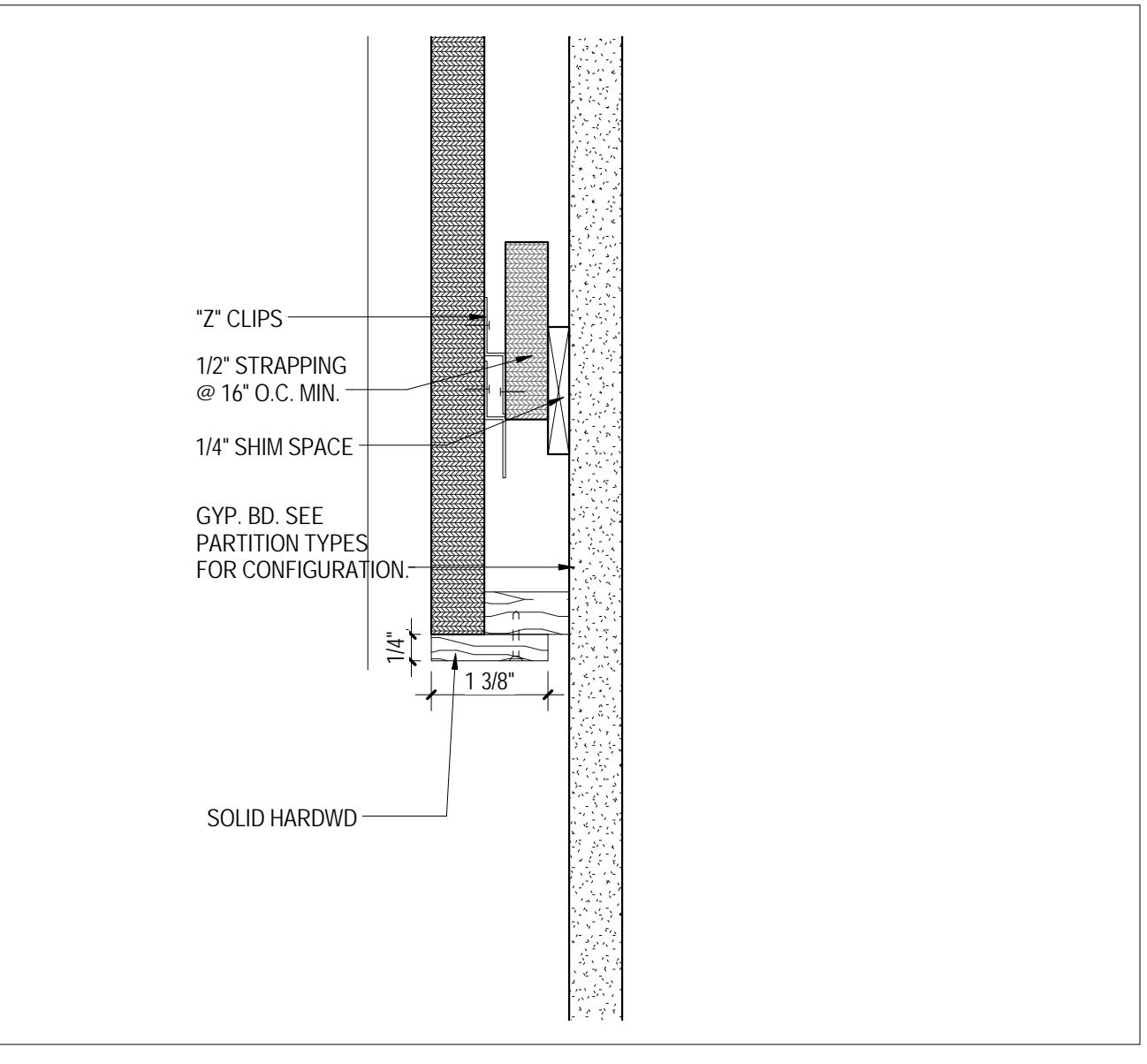
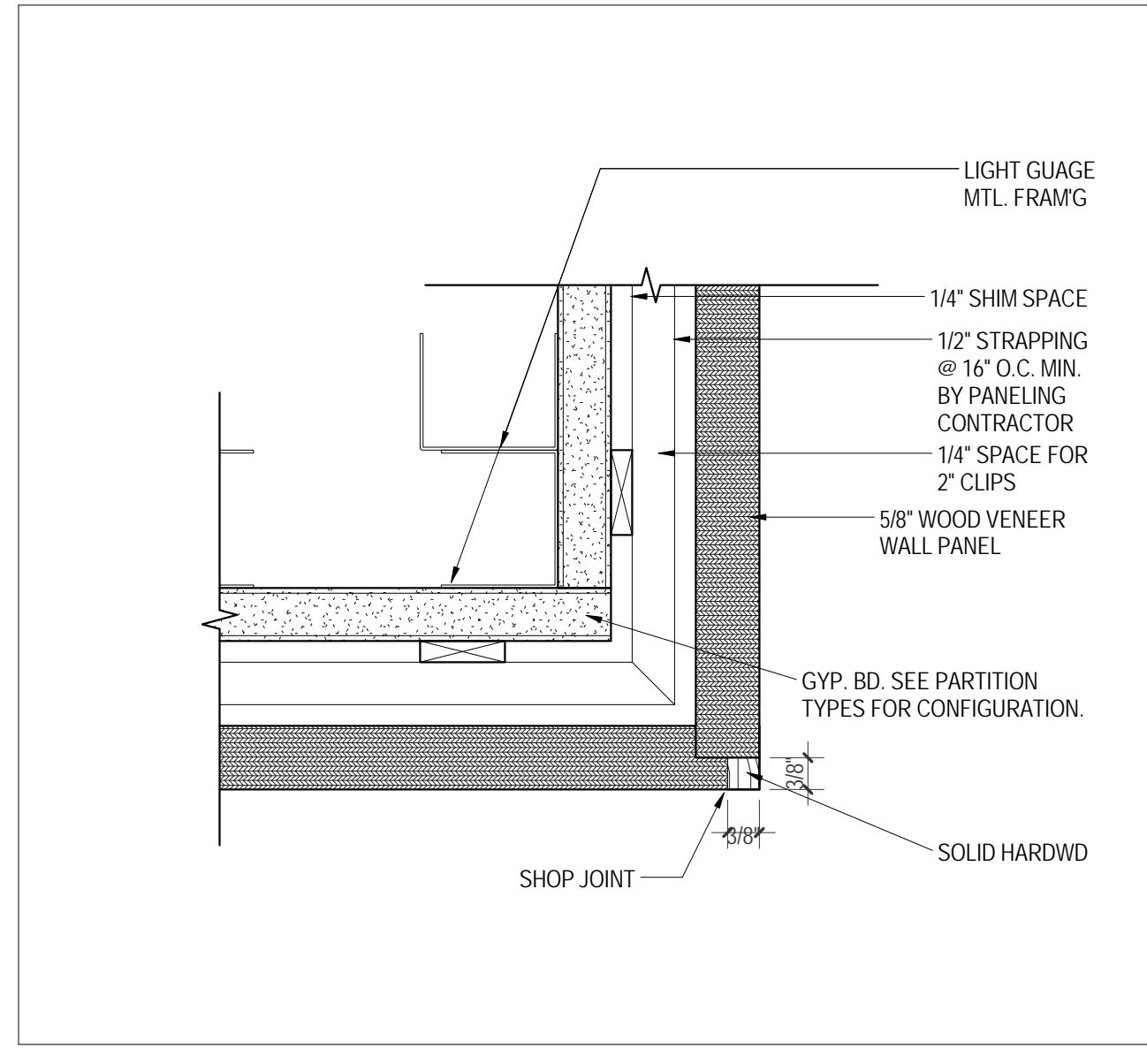
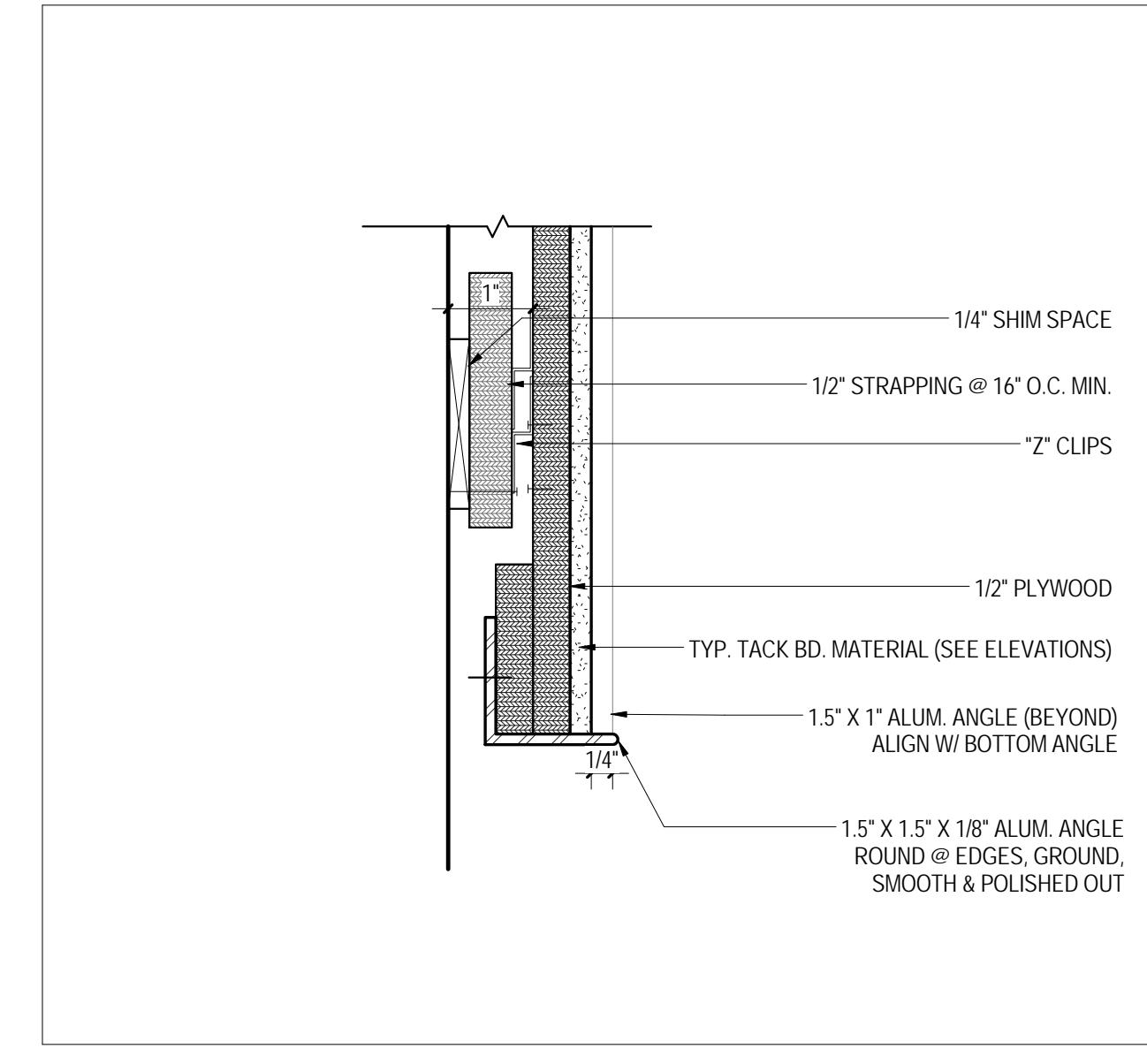
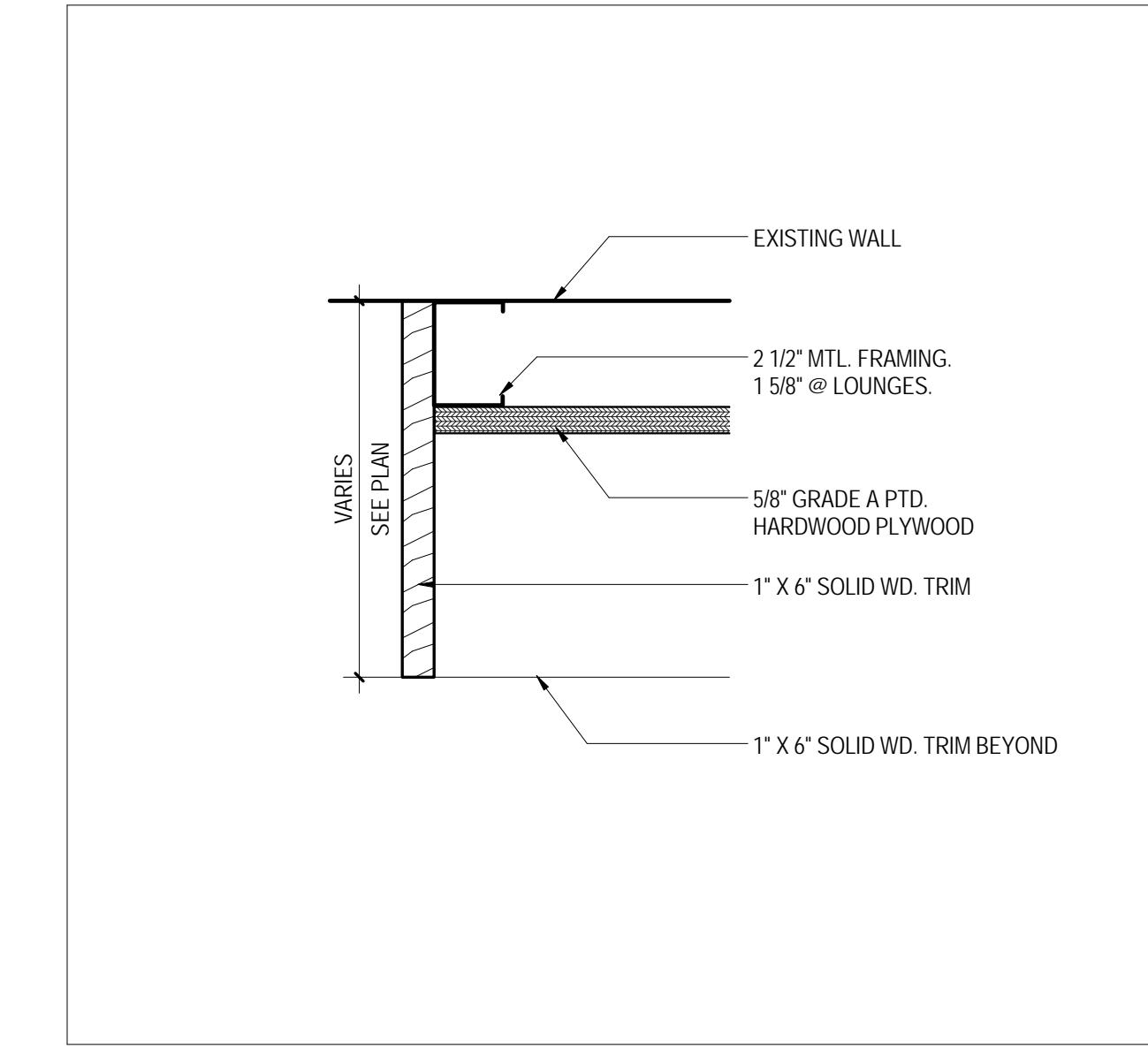
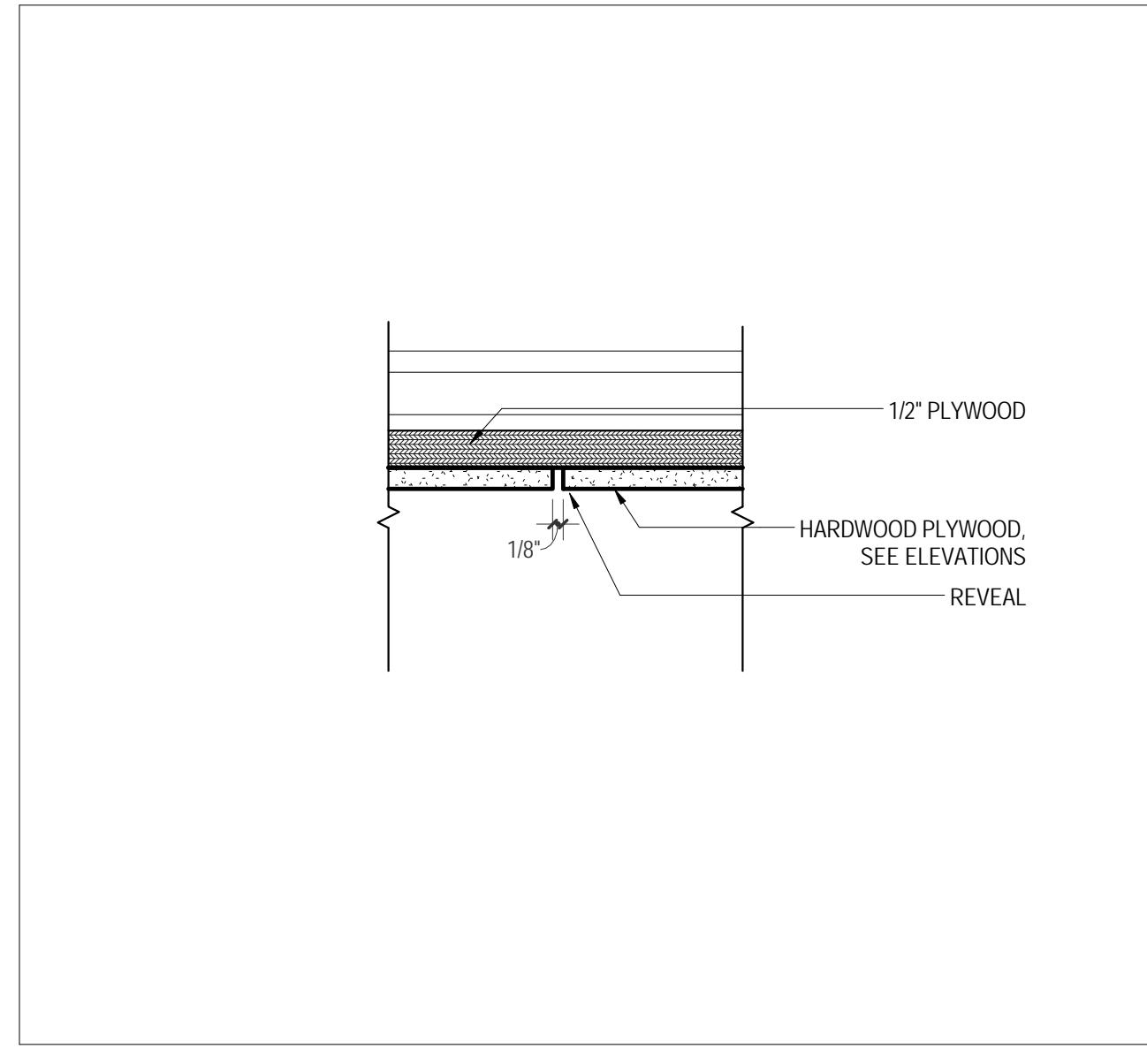


06 JAMB DETAIL @ LOUNGE MESSAGE BD.
A761 A761 3' = 1'-0"

07 REVEAL DETAIL @ TV SURROUND
A761 A761 3' = 1'-0"

08 MESSAGE BOARD - TYPICAL DETAIL @ SIDES
A761 A761 6' = 1'-0"

09 TYP. FLUSH WOOD PANELING DETAIL - PLAN @ GYP. CORNER
A761 A761 6' = 1'-0"



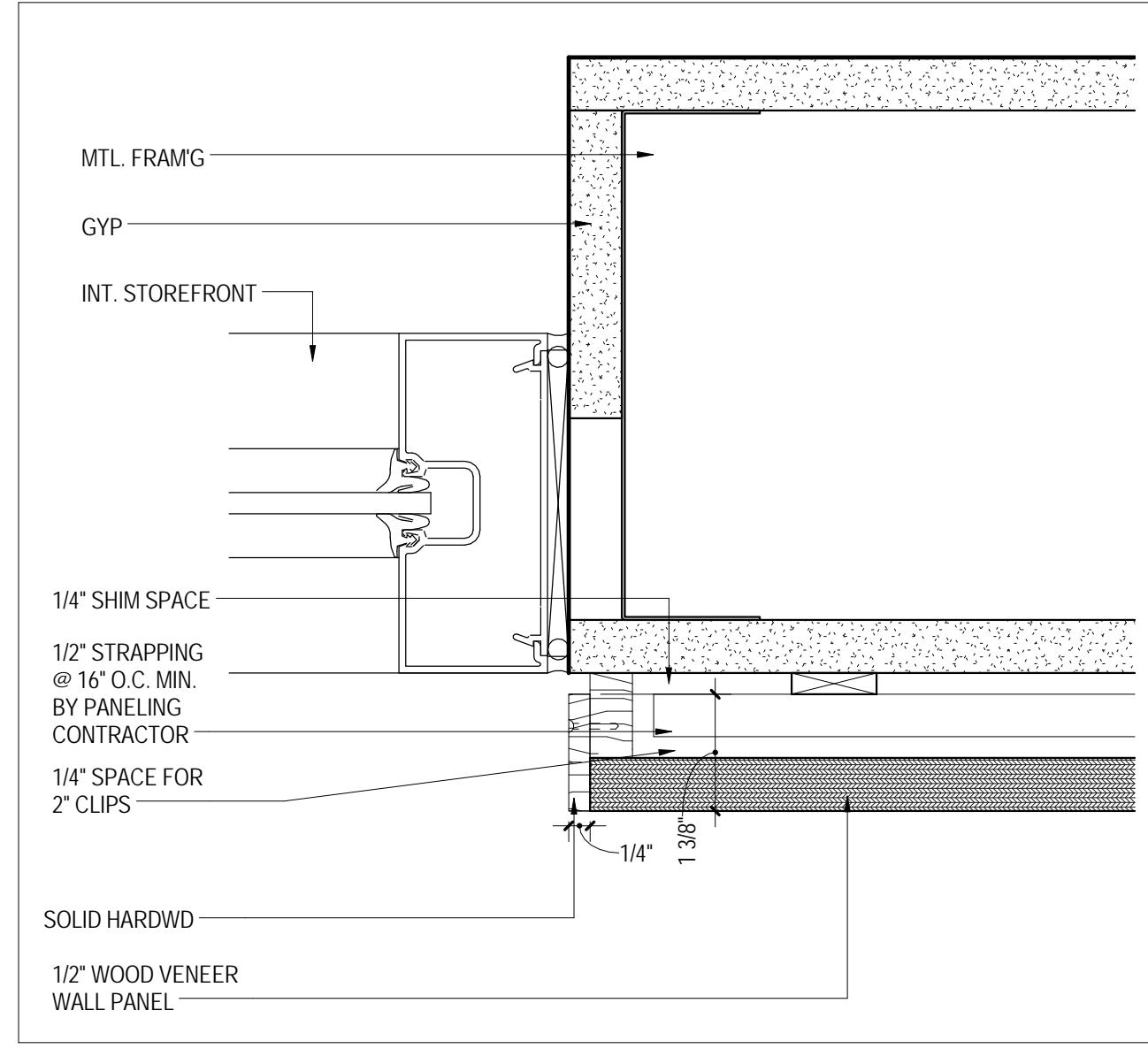
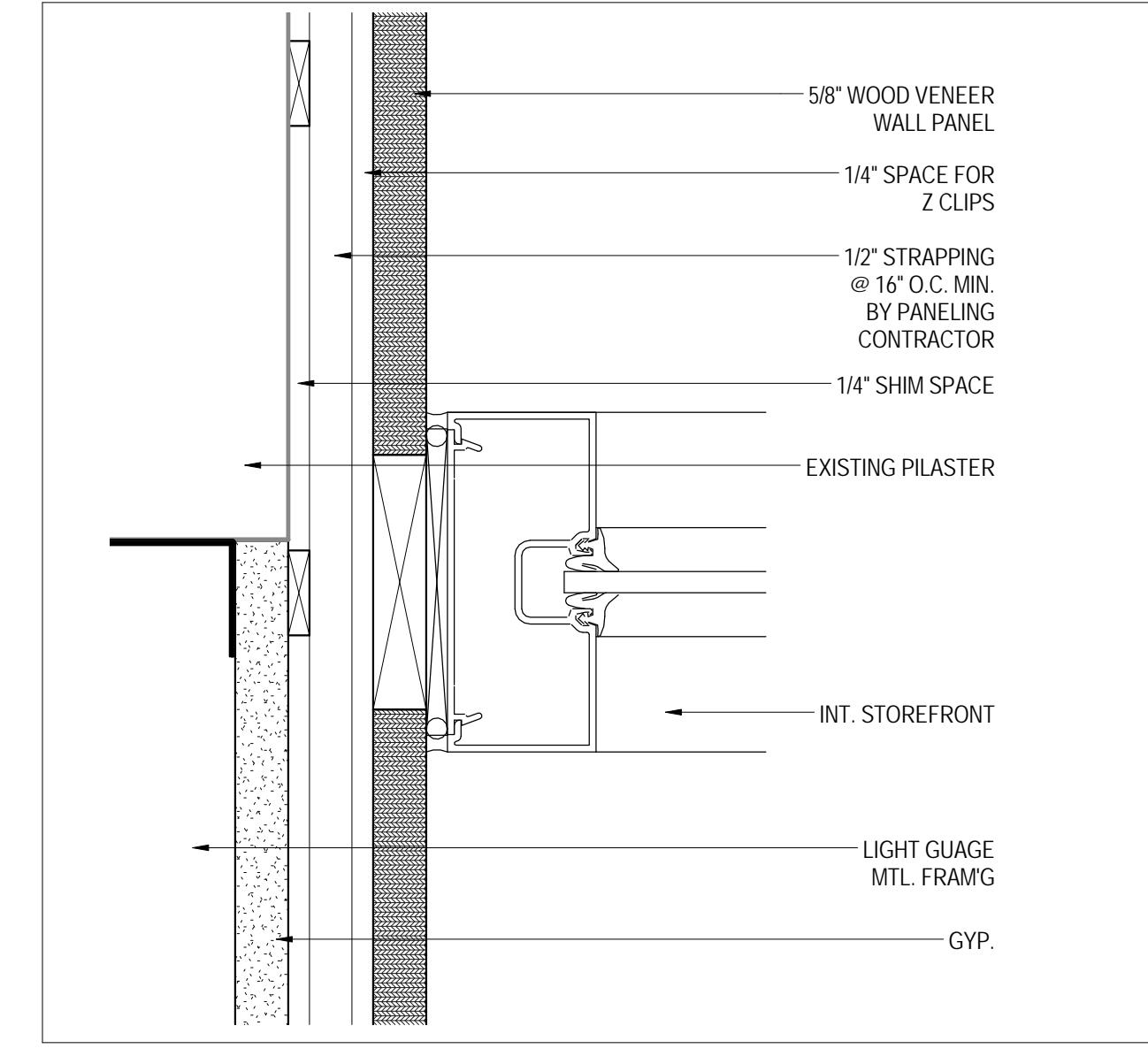
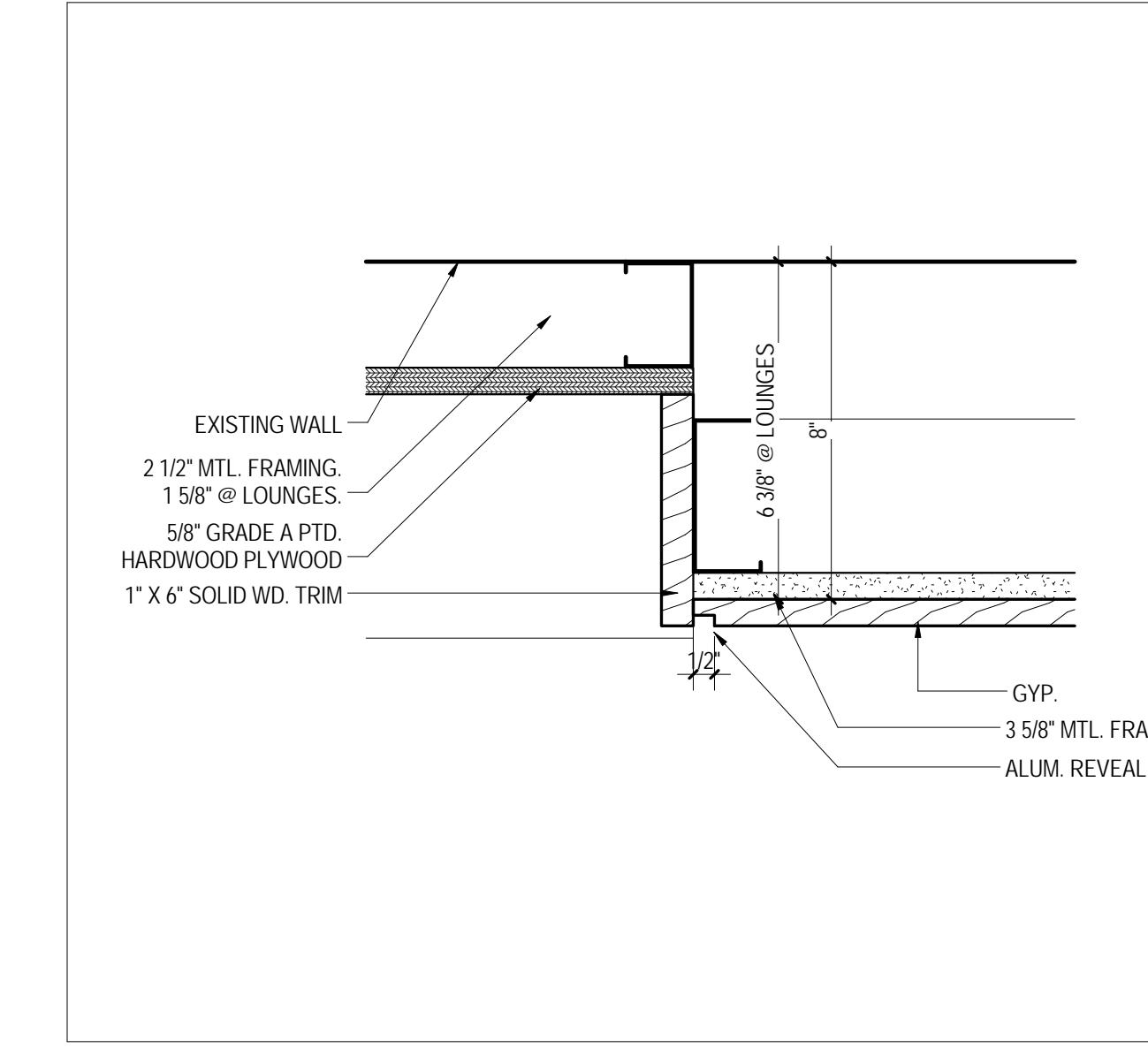
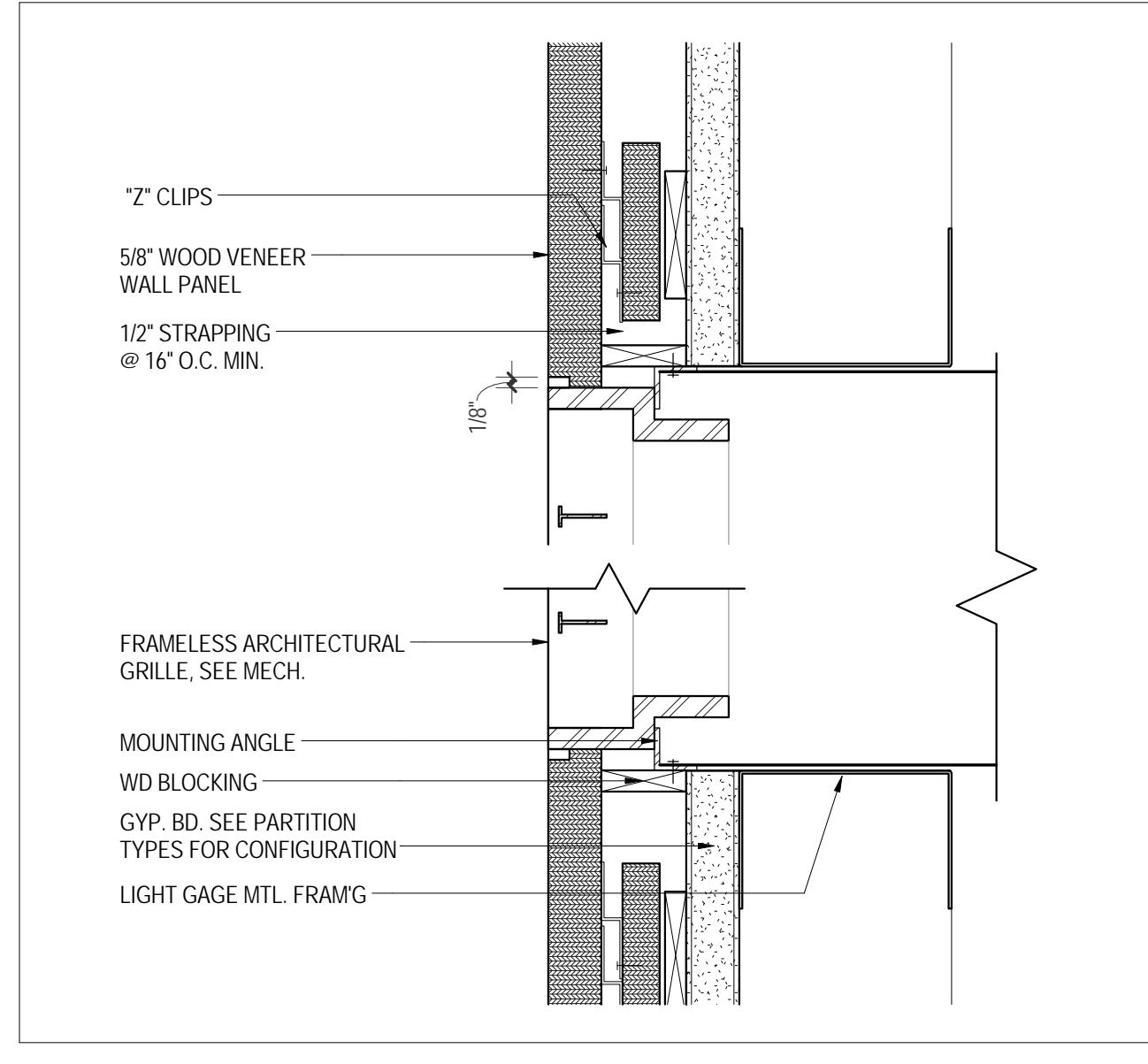
11 REVEAL DETAIL @ LOUNGE MESSAGE BOARD
A761 A761 6' = 1'-0"

12 JAMB DETAIL @ TV SURROUND
A761 A761 3' = 1'-0"

13 MESSAGE BOARD - TYPICAL SECTION @ BOTTOM, TOP SIM.
A761 A761 6' = 1'-0"

14 TYP. FLUSH WOOD PANELING DETAIL - PLAN VIEW @ CORNER
A761 A761 6' = 1'-0"

15 DETAIL @ WOOD VENEER TRANSITION @ GYP.
A761 A761 6' = 1'-0"



16 FLUSH WOOD PANELING DETAIL @ MECH. GRILLE
A761 A761 6' = 1'-0"

17 PLAN DTL @ LOUNGE TV SURROUND
A761 A761 3' = 1'-0"

18 SF JAMB @ WOOD VENEER
A500 A761 3' = 1'-0"

19 SF JAMB @ WOOD VENEER
A500 A761 6' = 1'-0"

20 TYP. FLUSH WOOD PANELING DETAIL - SECTION @ WOOD BASE
A761 A761 6' = 1'-0"

MILLWORK DETAILS

A761



RENOVATION OF THREE
RESIDENCE HALLS
POCAHONTAS, BOLLING,
& DRAPER HALLS

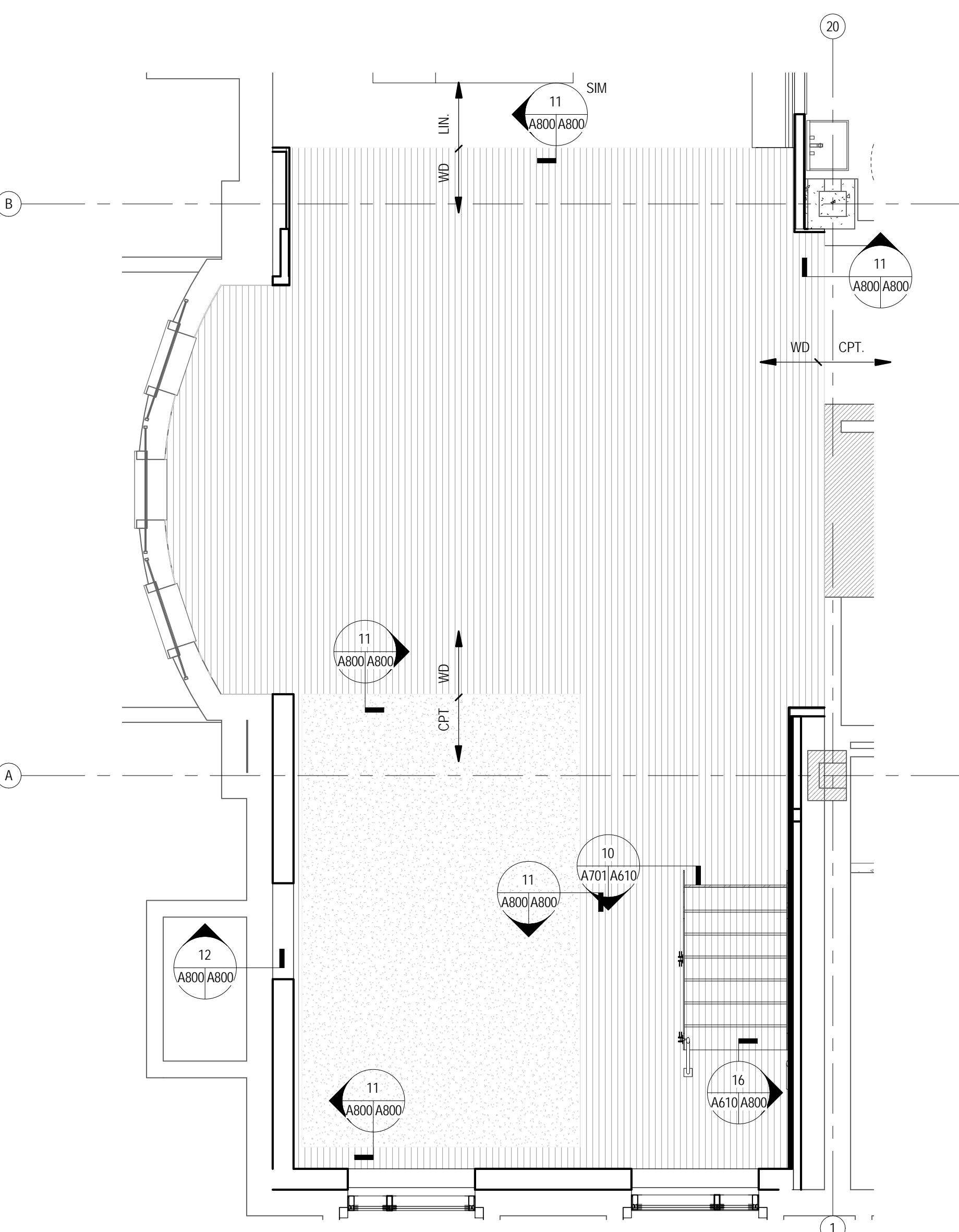
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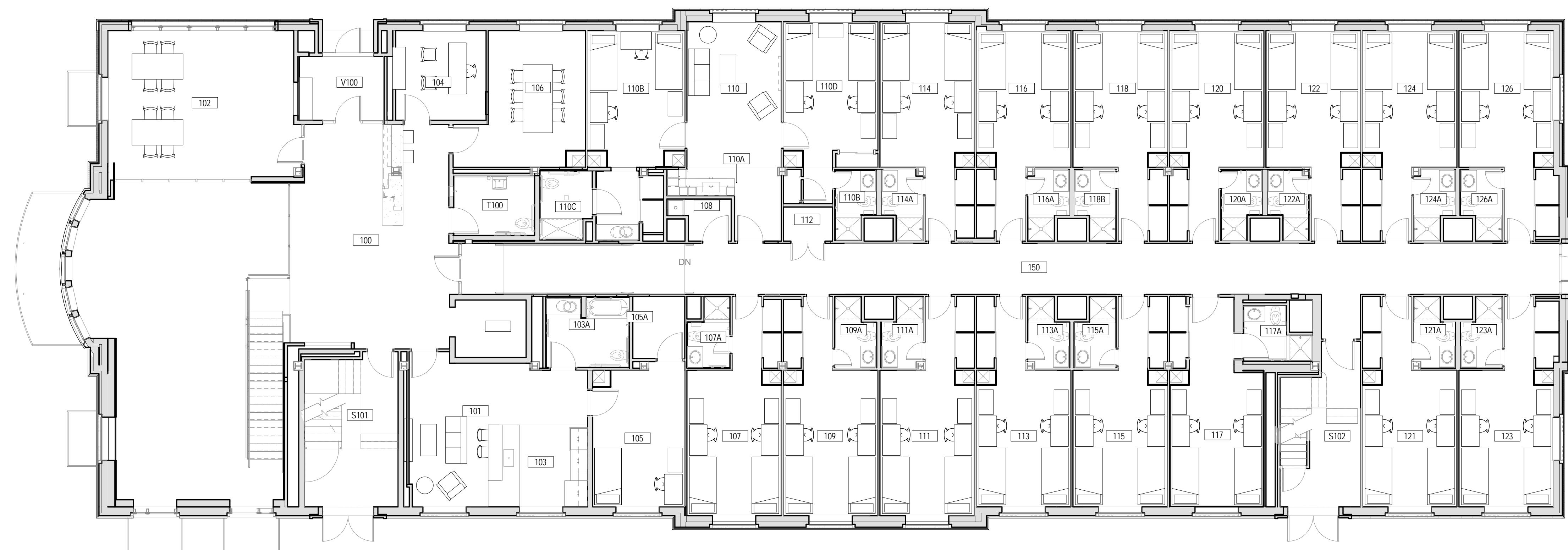
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KEYNOTE LEGEND





2 FIRST FLOOR PLAN
A011P A810 1/8" = 1'-0"

RU
RADFORD
UNIVERSITY

RENOVATION OF THREE
RESIDENCE HALLS
POCAHONTAS, BOLLING,
& DRAPER HALLS

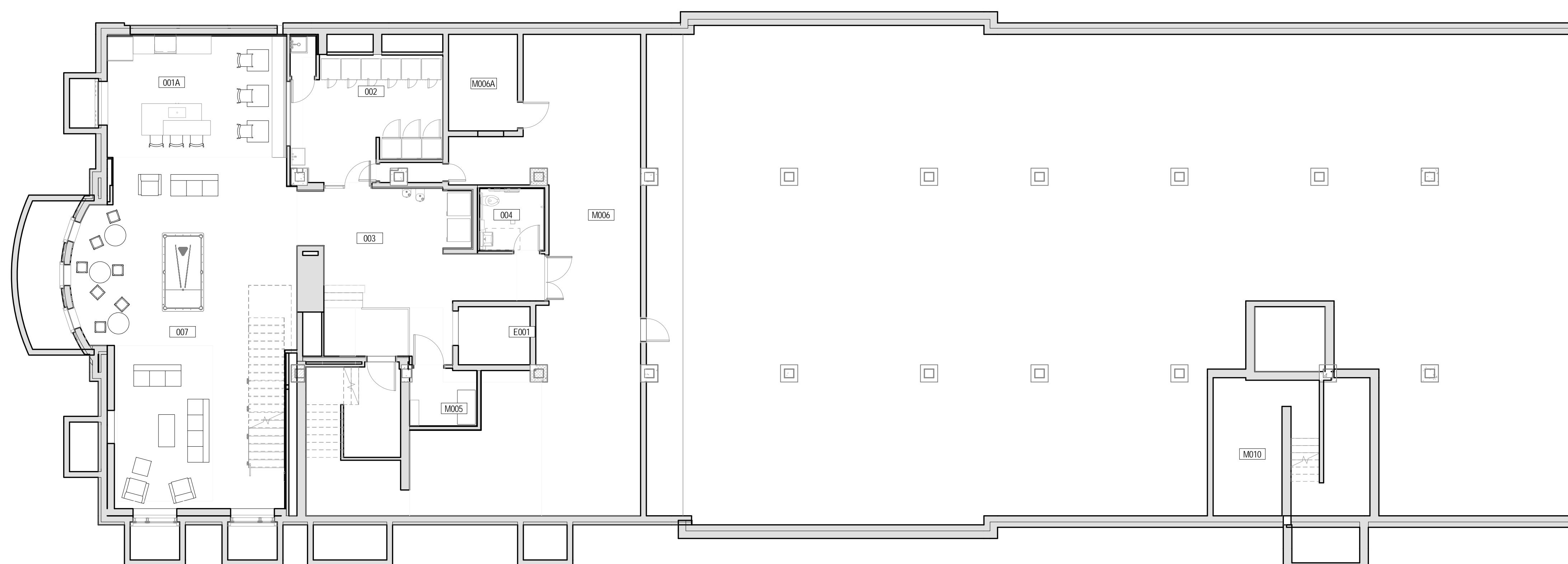
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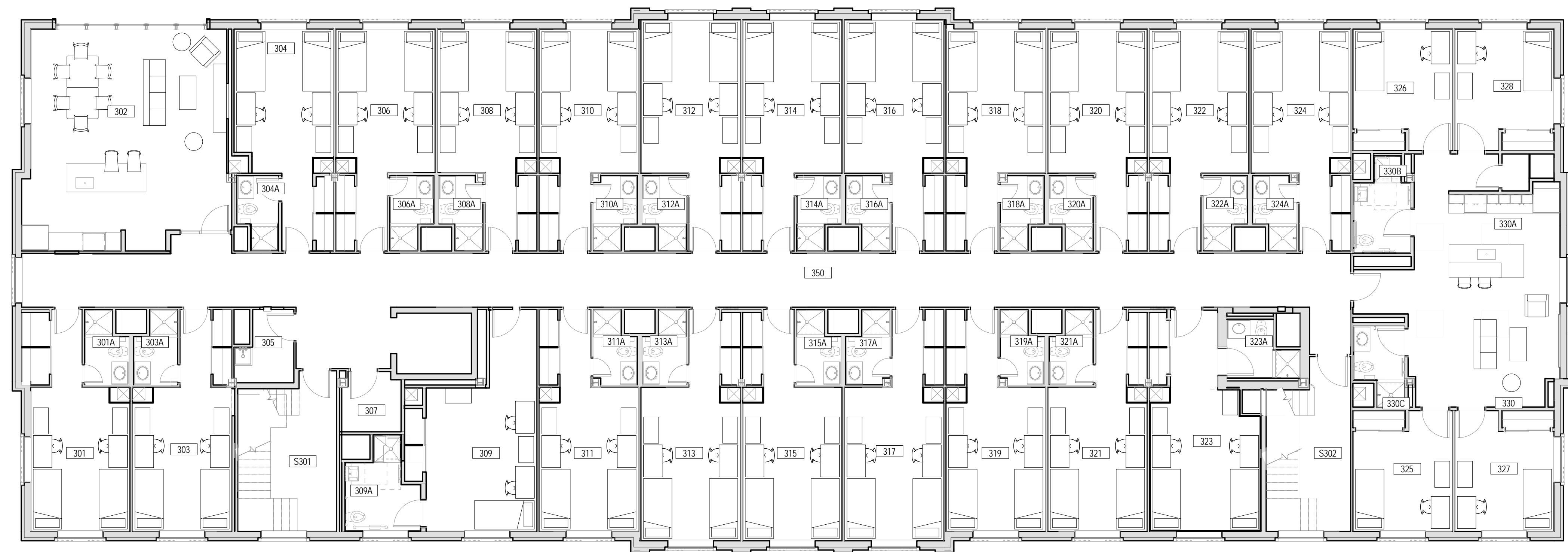


ISSUES AND REVISIONS
NO. SUBMITTAL
5 BID DOCUMENTS
DATE
05.19.14

BASEMENT & FIRST
FLOOR FURNITURE
PLANS - NOT IN
CONTRACT

1 BASEMENT FLOOR PLAN
A201 A810 1/8" = 1'-0"

A810



2 THIRD FLOOR PLAN
A201/A811 1/8" = 1'-0"

RU
RADFORD
UNIVERSITY

RENOVATION OF THREE
RESIDENCE HALLS
POCAHONTAS, BOLLING,
& DRAPER HALLS

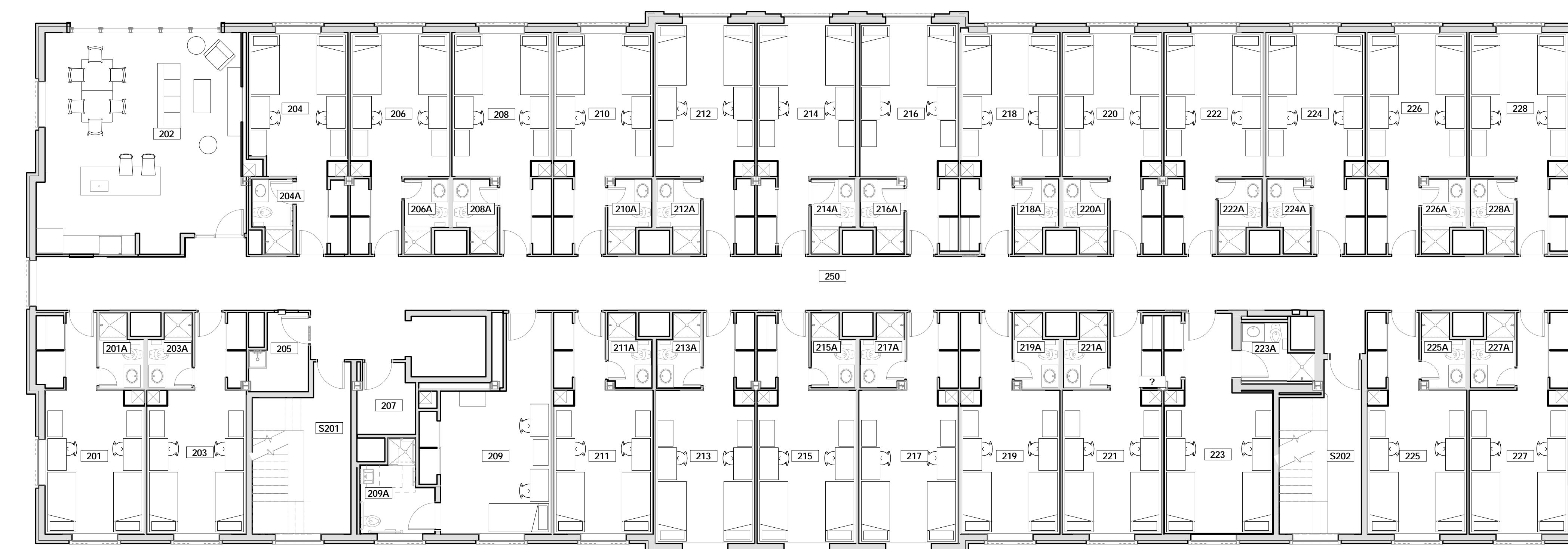
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RADFORD, VIRGINIA

Project Code 217-17565-000
VMDO Project Number 1115



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Drawn By DEM / MBW

KEYNOTE LEGEND



1 SECOND FLOOR PLAN
A011P/A811 1/8" = 1'-0"

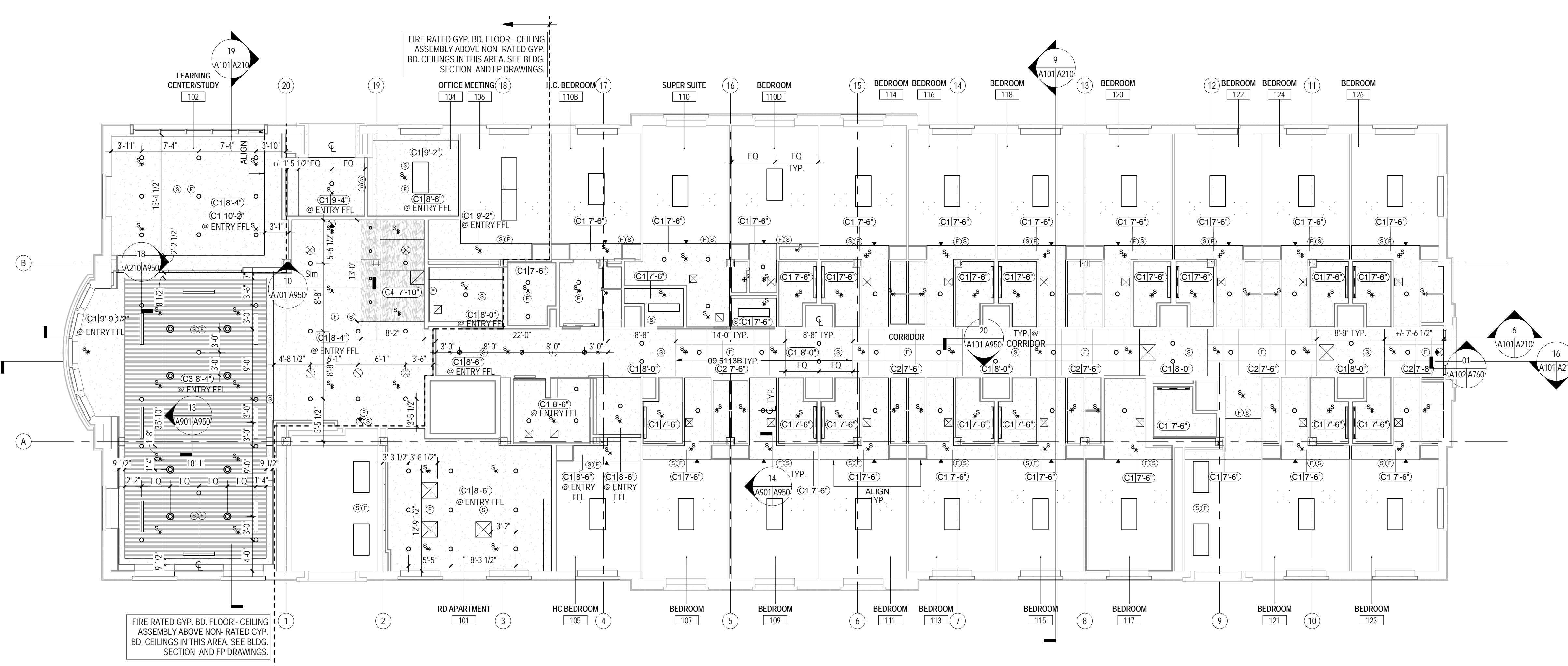
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NO. SUBMITTAL
5 BID DOCUMENTS
DATE
05.19.14

SECOND & THIRD FLOOR
FURNITURE PLANS - NOT
IN CONTRACT

A811

REFLECTED CEILING PLAN GENERAL NOTES

- CEILING HEIGHTS ARE MEASURED FROM FINISHED FLOOR.
- REFER TO REFLECTED CEILING PLANS FOR GRID LAYOUTS AND FIXTURE LOCATIONS & COORDINATE WITH MEP. IN CASE OF CONFLICT, CONSULT ARCHITECT.
- PAINT ARCHITECTURE AND INFRASTRUCTURE COMPONENTS AND SURFACES AT OPEN OR EXPOSED BEAMS.
- ALL SPRINKLER PIPING IS TO BE CONCEALED IN WALL OR CEILING CAVITIES. CONSULT WITH ARCHITECT ON CONFLICTS.
- CENTER SPRINKLER HEADS, MECHANICAL AIR DEVICES, LIGHT FIXTURES AND OTHER ELECTRICAL DEVICES TO ONE ANOTHER AND WITHIN APC AS SHOWN.
- PROVIDE ACCESS PANELS AT ALL M.E.P. COMPONENTS REQUIRING ACCESS.
- SOME M.E.P. COMPONENTS, ELECTRICAL DEVICES AND PLUMBING DEVICES MAY NOT BE SHOWN. REFER TO M.E.P. DRAWINGS.



KEYNOTE LEGEND

| | |
|----------|---|
| 05 7313B | GLAZED DECORATIVE METAL RAILINGS - DRAFT STOP |
| 07 8100A | APPLIED FIREPROOFING |
| 09 5113B | CEILING TRANSITION EDGE TRIM |

RADFORD UNIVERSITY

RENOVATION OF THREE
RESIDENCE HALLS
POCAHONTAS, BOLLING,
& DRAPER HALLS

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RADFORD, VIRGINIA

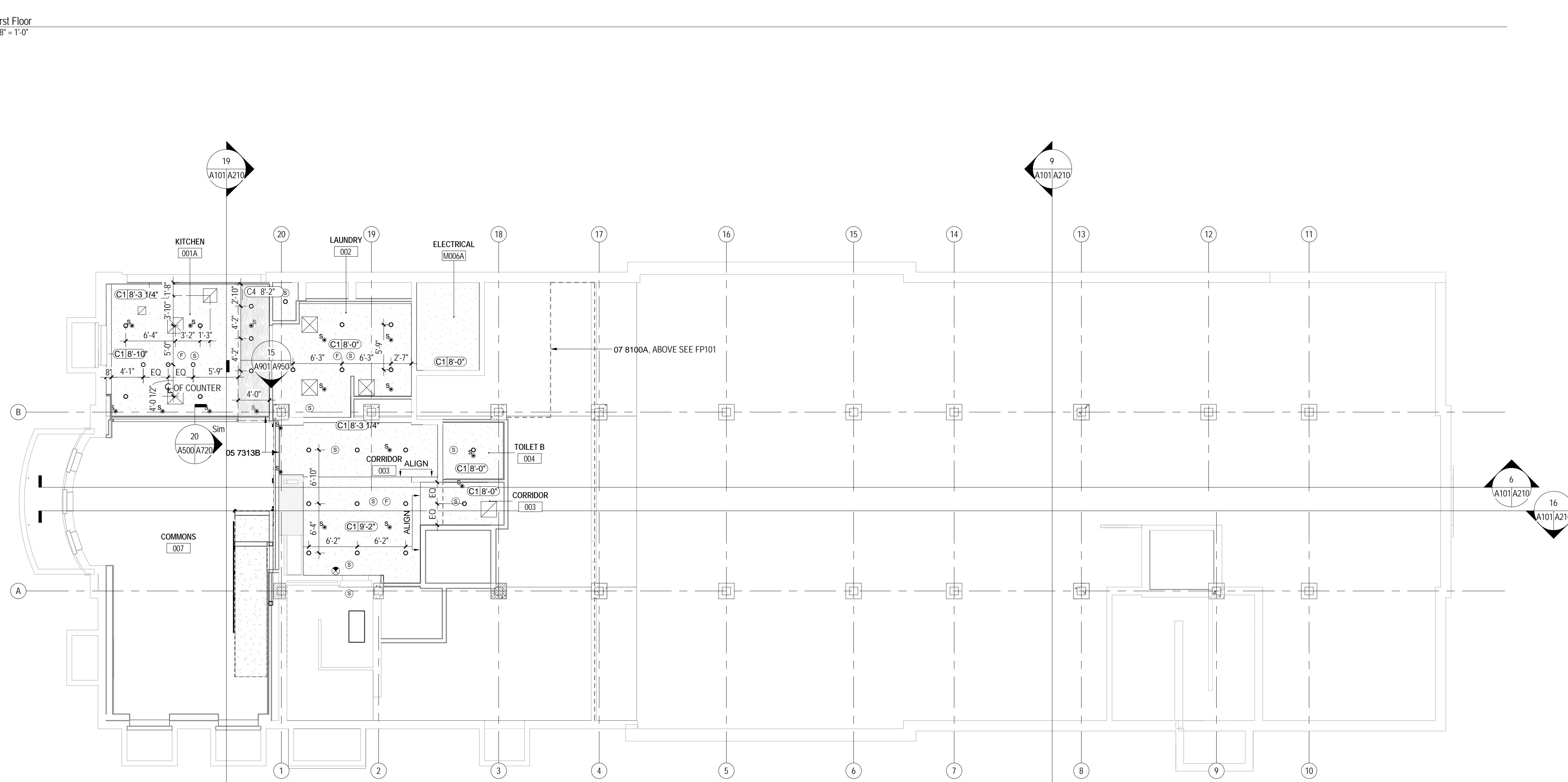
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Drawn by DEM / MBW

KEYNOTE LEGEND

| | |
|----------|---|
| 05 7313B | GLAZED DECORATIVE METAL RAILINGS - DRAFT STOP |
| 07 8100A | APPLIED FIREPROOFING |
| 09 5113B | CEILING TRANSITION EDGE TRIM |



ISSUES AND REVISIONS
NO. SUBMITTAL 5 BID DOCUMENTS
DATE 05.19.14

BASEMENT & FIRST
FLOOR REFLECTED
CEILING PLAN

NOTE:
IN AREAS WHERE CEILINGS HAVE BEEN DEMOLISHED, CEILINGS SHALL BE REPLACED IN ORDER TO PROVIDE A CONTINUOUS FIRE RATED FLOOR/CEILING ASSEMBLY PER FP DRAWINGS. A SECOND (NON-RATED) FINISH CEILING WILL BE INSTALLED BELOW FIRE RATED FLOOR/CEILING ASSEMBLY, WHERE INDICATED.

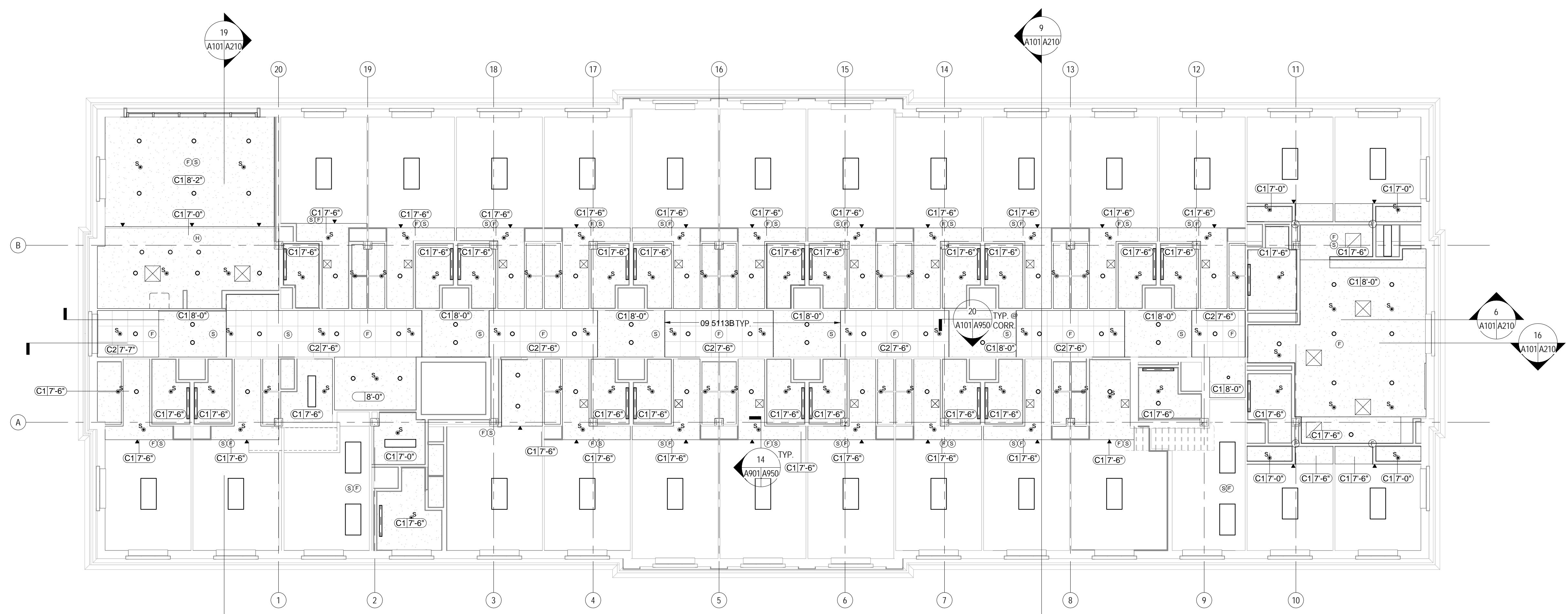
2 Basement
A201/A901 1/8" = 1'-0"

A901

REFLECTED CEILING PLAN GENERAL NOTES

1. CEILING HEIGHTS ARE MEASURED FROM FINISHED FLOOR.
2. REFER TO REFLECTED CEILING PLANS FOR GRID LAYOUTS AND FIXTURE LOCATIONS & COORDINATE WITH MEP. IN CASE OF CONFLICT, CONSULT ARCHITECT. SEE ELECTRICAL FOR SPECIFIC LIGHT FIXTURE TYPE DESIGNATION.
3. PAINT ALL STRUCTURE AND INFRASTRUCTURE COMPONENTS AND SURFACES AT OPEN OR EXPOSED CEILINGS.
4. ALL SPRINKLER PIPING IS TO BE CONCEALED IN WALL OR CEILING CAVITIES. CONSULT WITH ARCHITECT ON CONFLICTS.
5. CENTER SPRINKLER HEADS, MECHANICAL AIR DEVICES, LIGHT FIXTURES AND OTHER ELECTRICAL DEVICES TO ONE ANOTHER AND WITHIN APC AS SHOWN.
6. PROVIDE ACCESS PANELS AT ALL M.E.P. COMPONENTS REQUIRING ACCESS.
7. SOME M.E.P. COMPONENTS, ELECTRICAL DEVICES AND PLUMBING DEVICES MAY NOT BE SHOWN. REFER TO M.E.P. DRAWINGS.

VMDO ARCHITECTS
200 E MARKET STREET
CHARLOTTESVILLE, VA 22902
P 434.296.5684 F 434.296.4496
www.vmdo.com



KEYNOTE LEGEND
09 5113B CEILING TRANSITION EDGE TRIM

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RADFORD
UNIVERSITY

RENOVATION OF THREE
RESIDENCE HALLS
POCAHONTAS, BOLLING,
& DRAPER HALLS

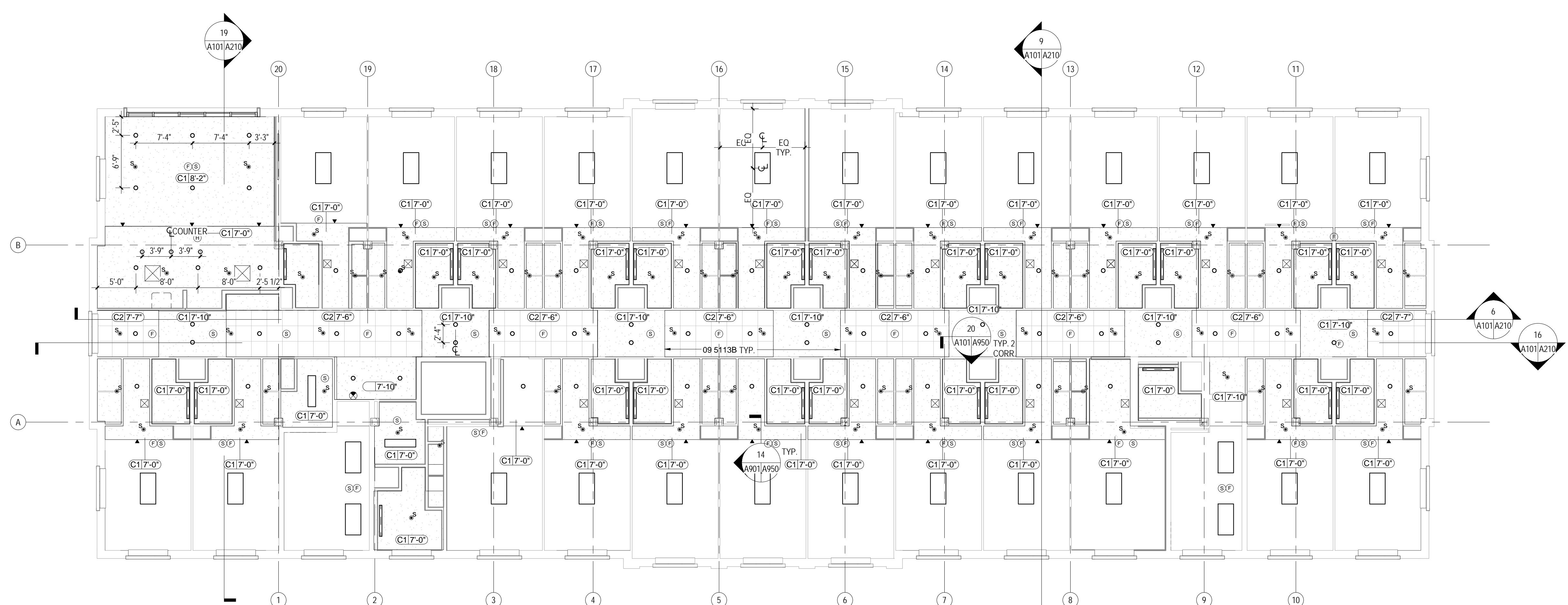
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1115



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MLW / ARS
DEM / MBW

KEYNOTE LEGEND
09 5113B CEILING TRANSITION EDGE TRIM



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NO. SUBMITTAL 5, BID DOCUMENTS
DATE 05.19.14

SECOND & THIRD FLOOR
REFLECTED CEILING
PLAN

NOTE:
IN AREAS WHERE CEILINGS HAVE BEEN DEMOLISHED, CEILINGS SHALL BE REPLACED IN ORDER TO PROVIDE A CONTINUOUS FIRE RATED FLOOR/CEILING ASSEMBLY PER FP DRAWINGS. A SECOND (NON-RATED) FINISH CEILING WILL BE INSTALLED BELOW FIRE RATED FLOOR/CEILING ASSEMBLY, WHERE INDICATED.

A902



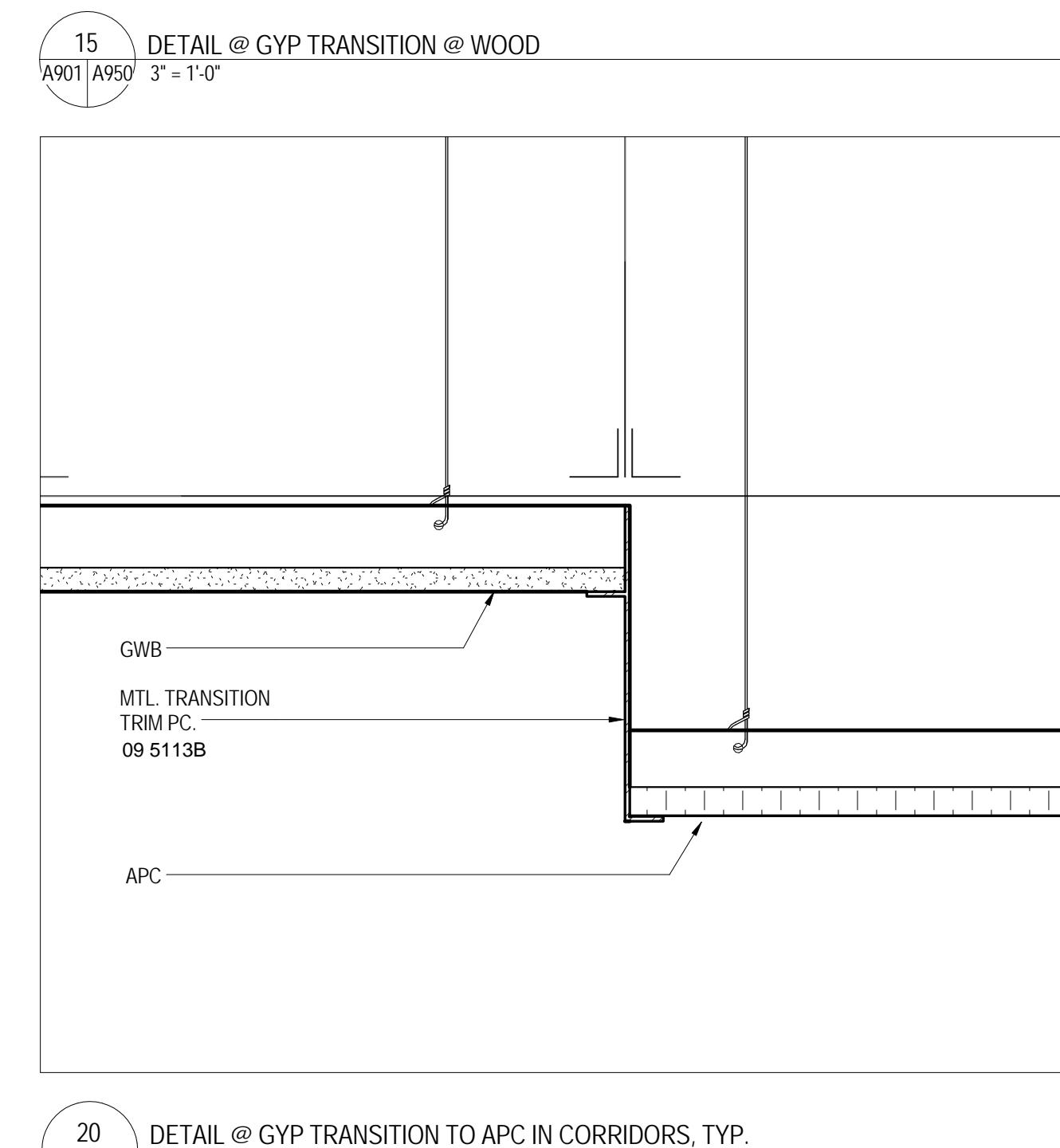
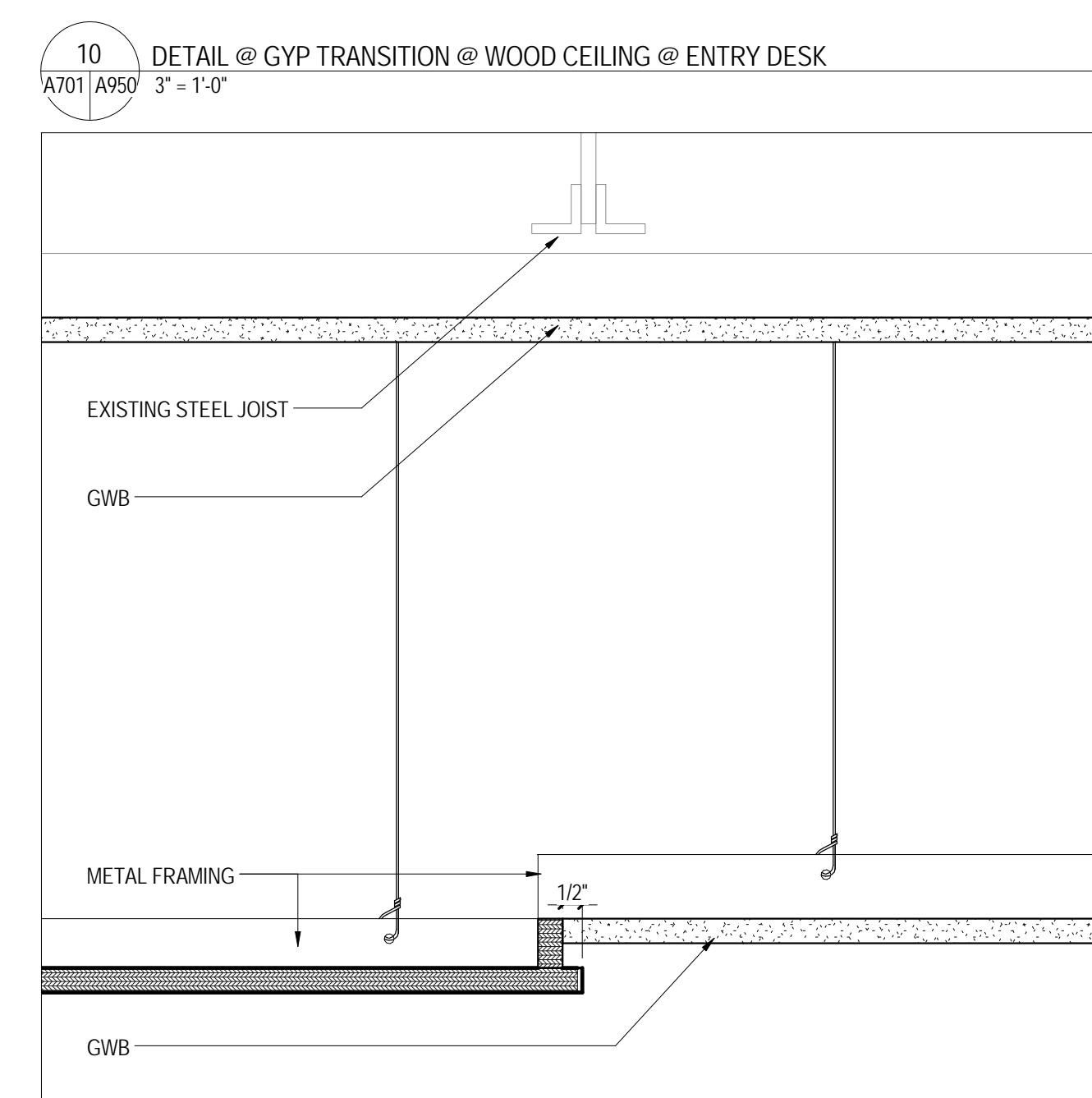
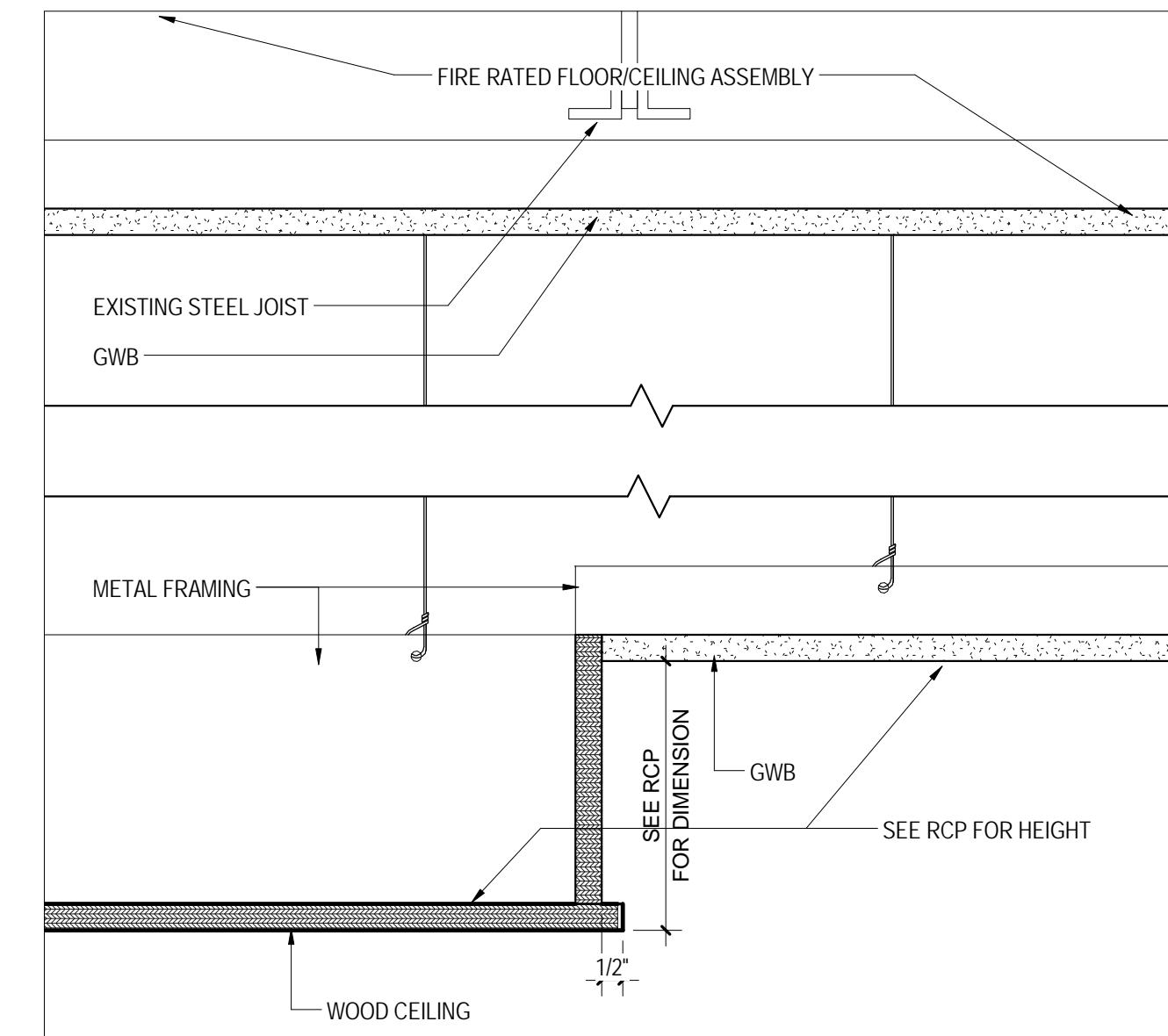
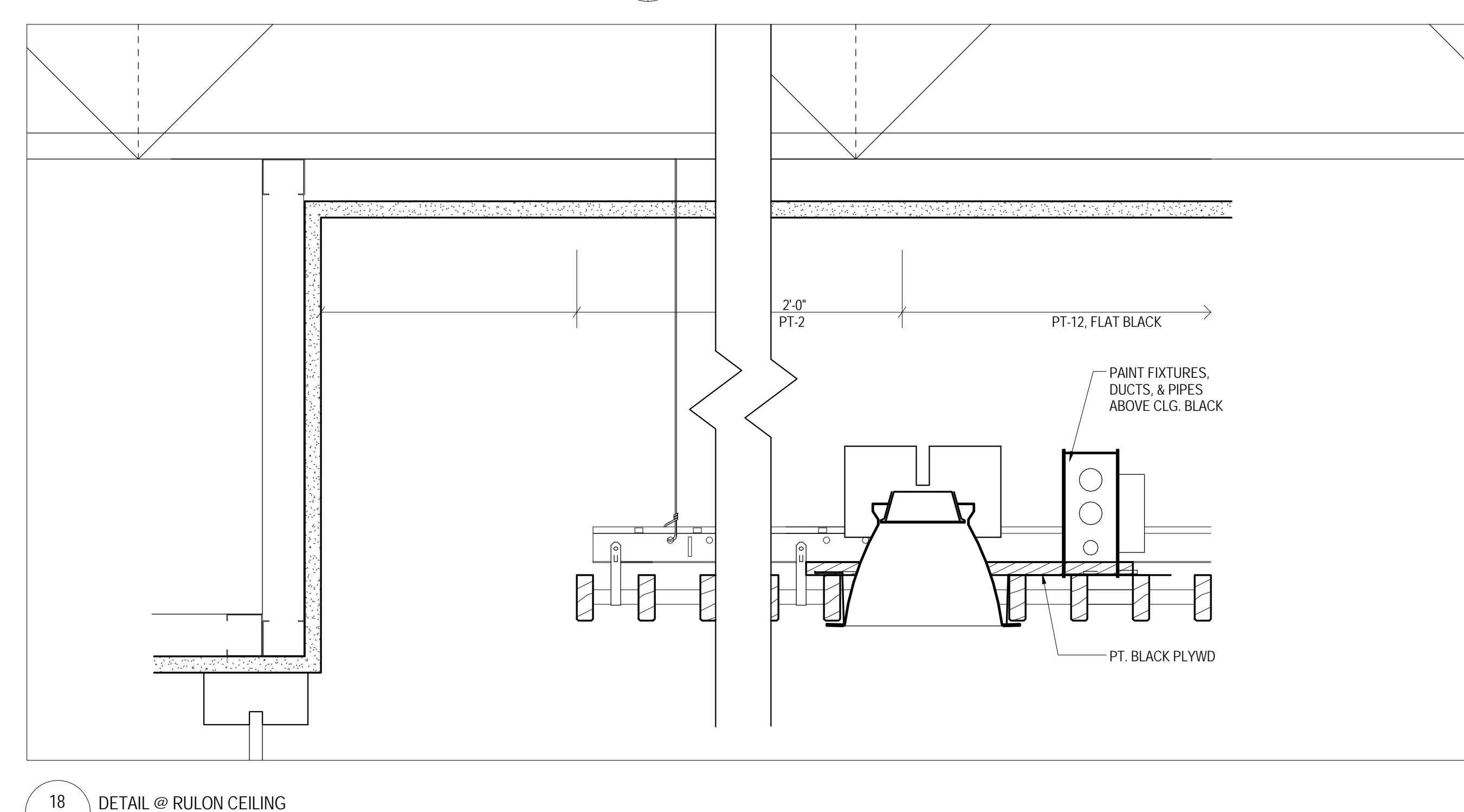
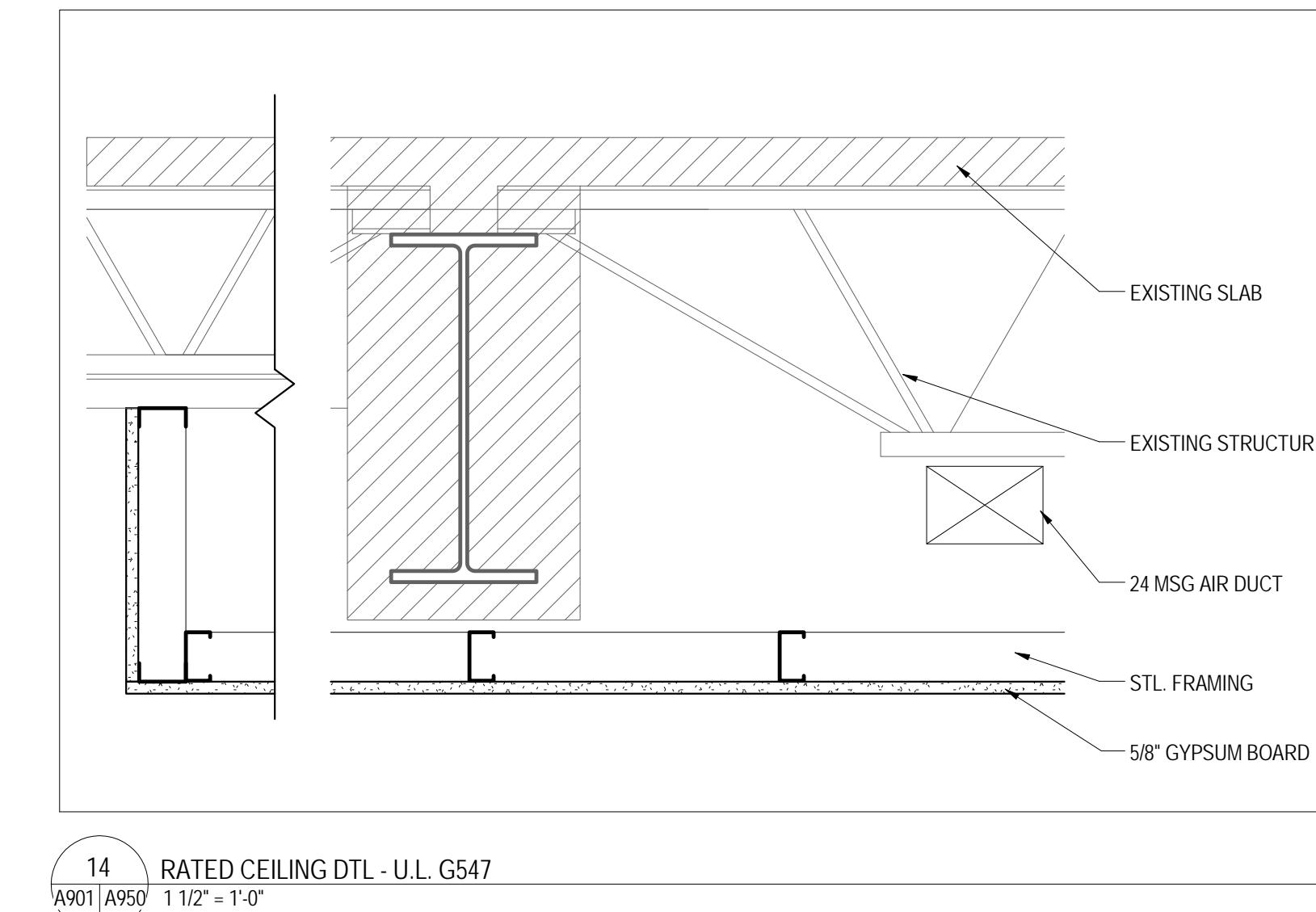
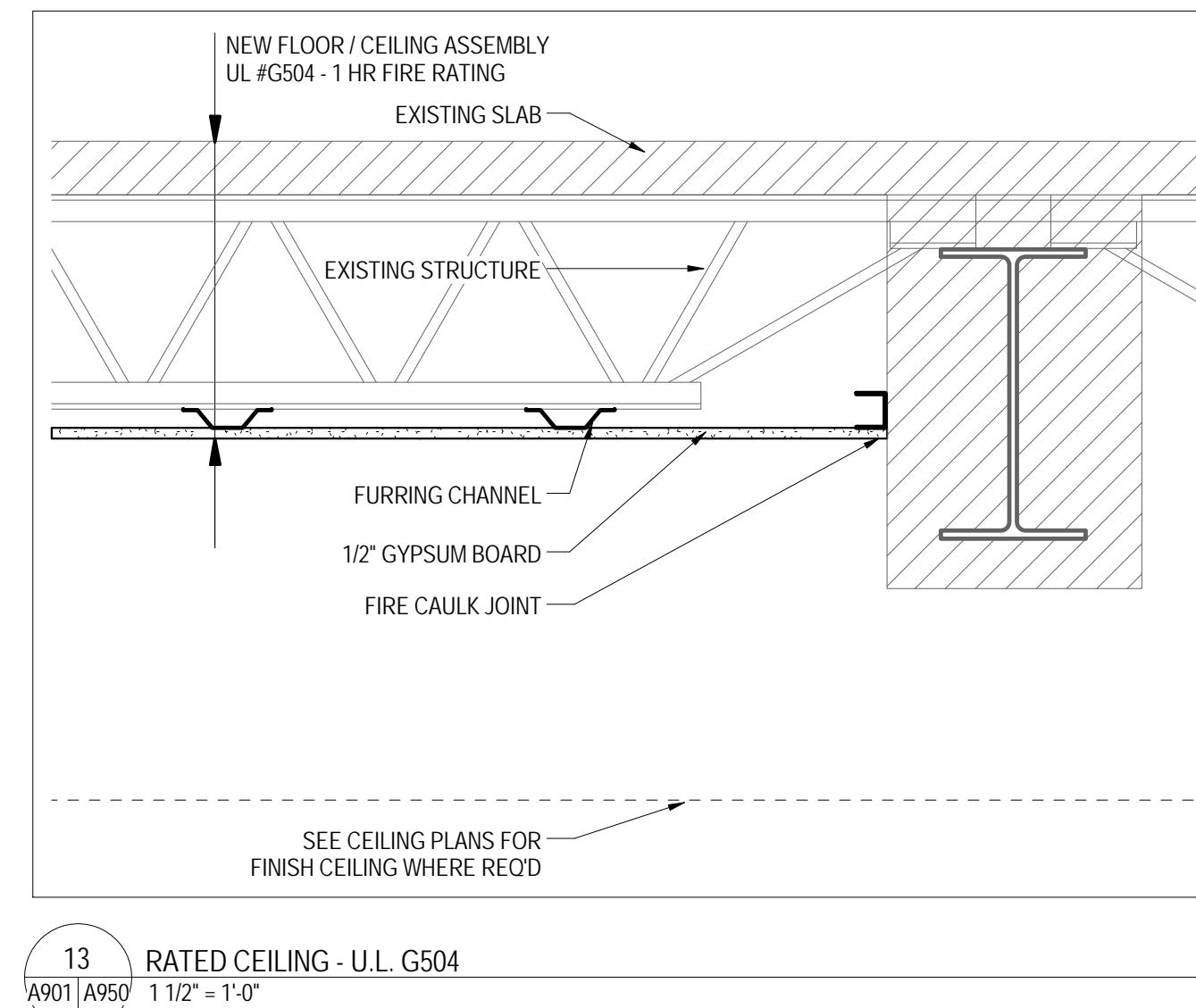
RENOVATION OF THREE
RESIDENCE HALLS
POCAHONTAS, BOLLING,
& DRAPER HALLS

RADFORD UNIVERSITY
RADFORD, VIRGINIA

Project Code 217-17565-000
VMDO Project Number 1115



Checked By MLW/ARS
Drawn By MBW



A950

ISSUES AND REVISIONS
NO. SUBMITTAL 5 BID DOCUMENTS
DATE 05.19.14

CEILING DETAILS