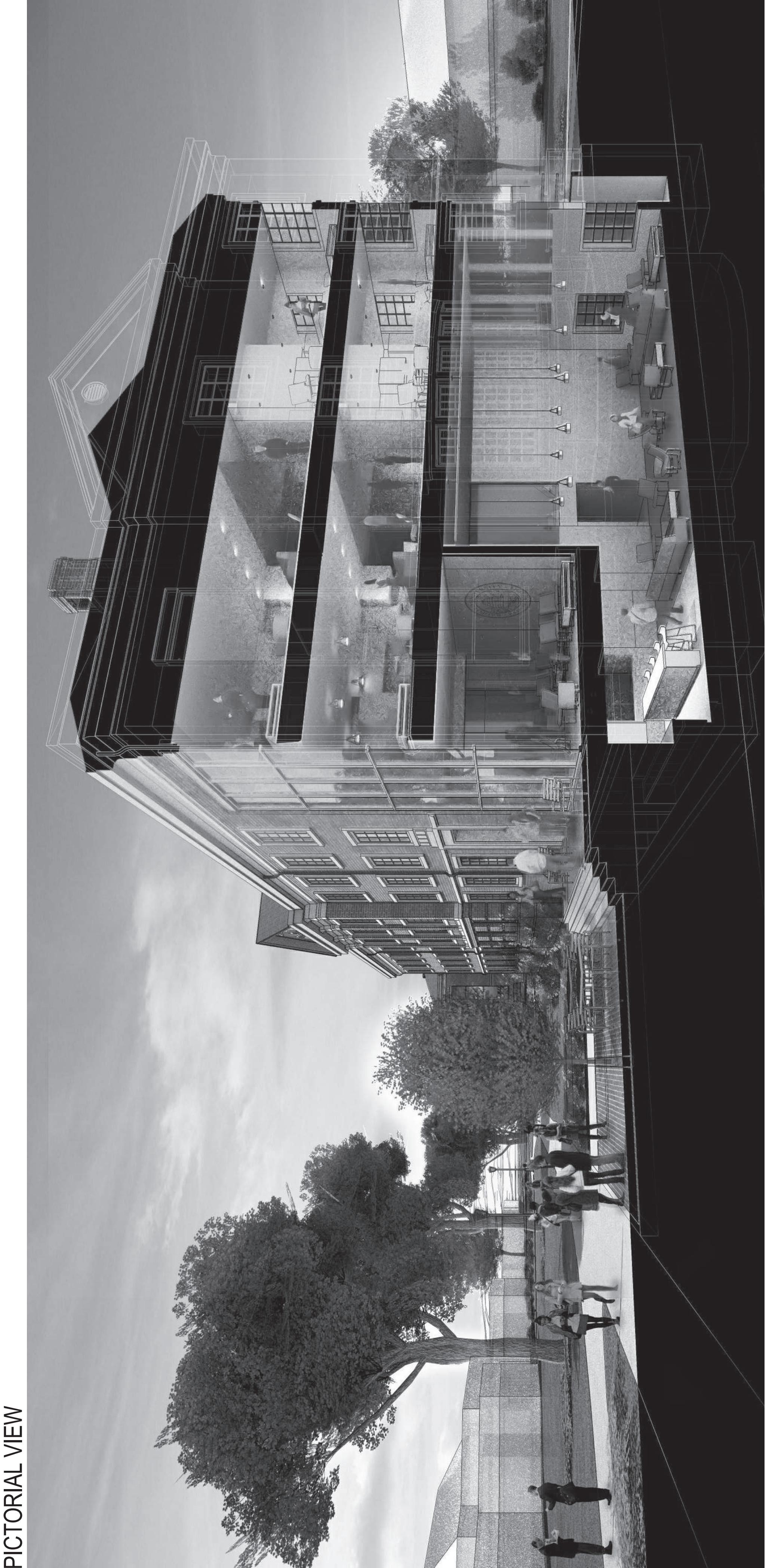
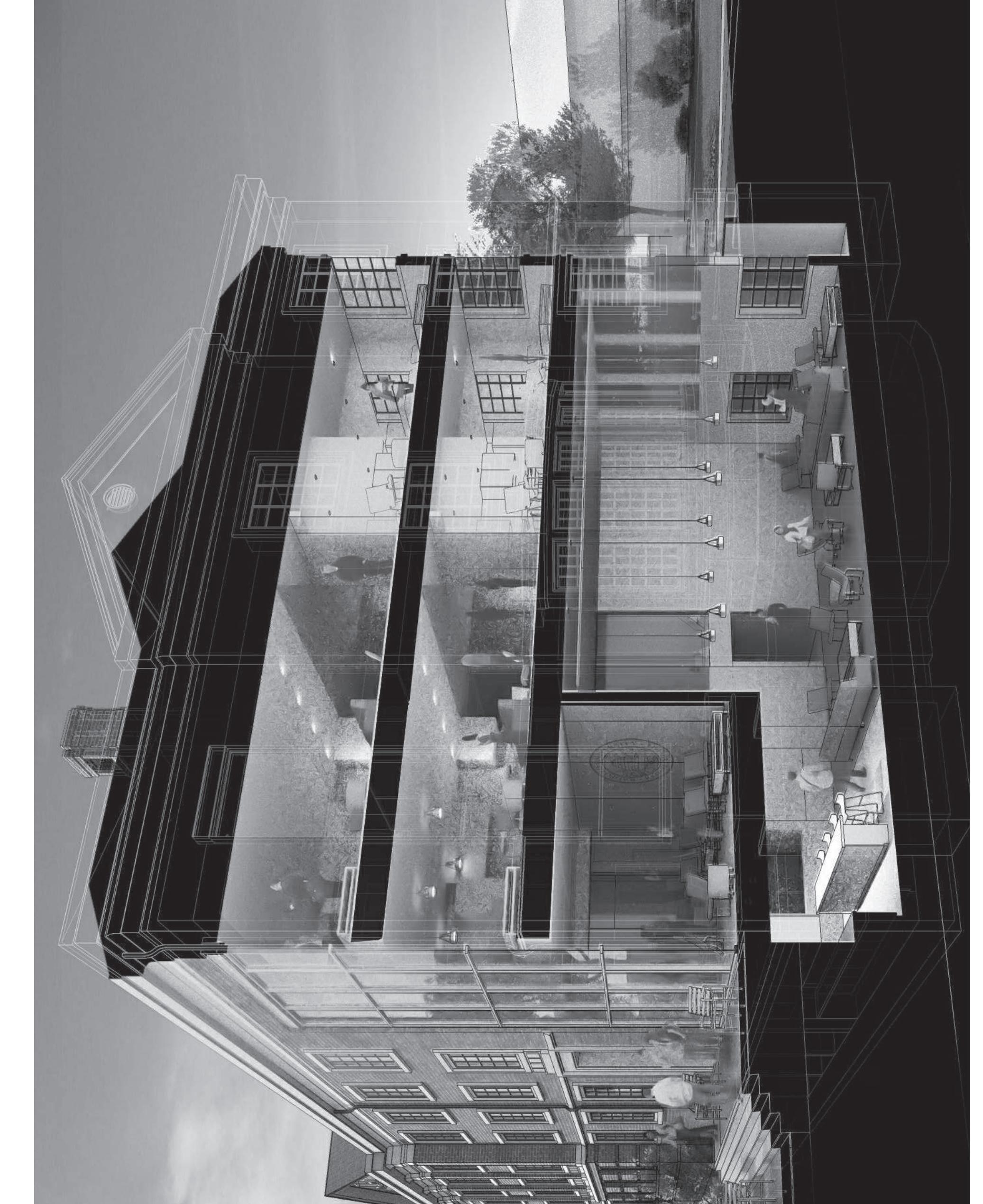


**RADFORD UNIVERSITY
RENOVATION OF THREE RESIDENCE HALLS
POCAHONTAS, BOLLING, DRAPER HALLS
PC #217-17565-000**



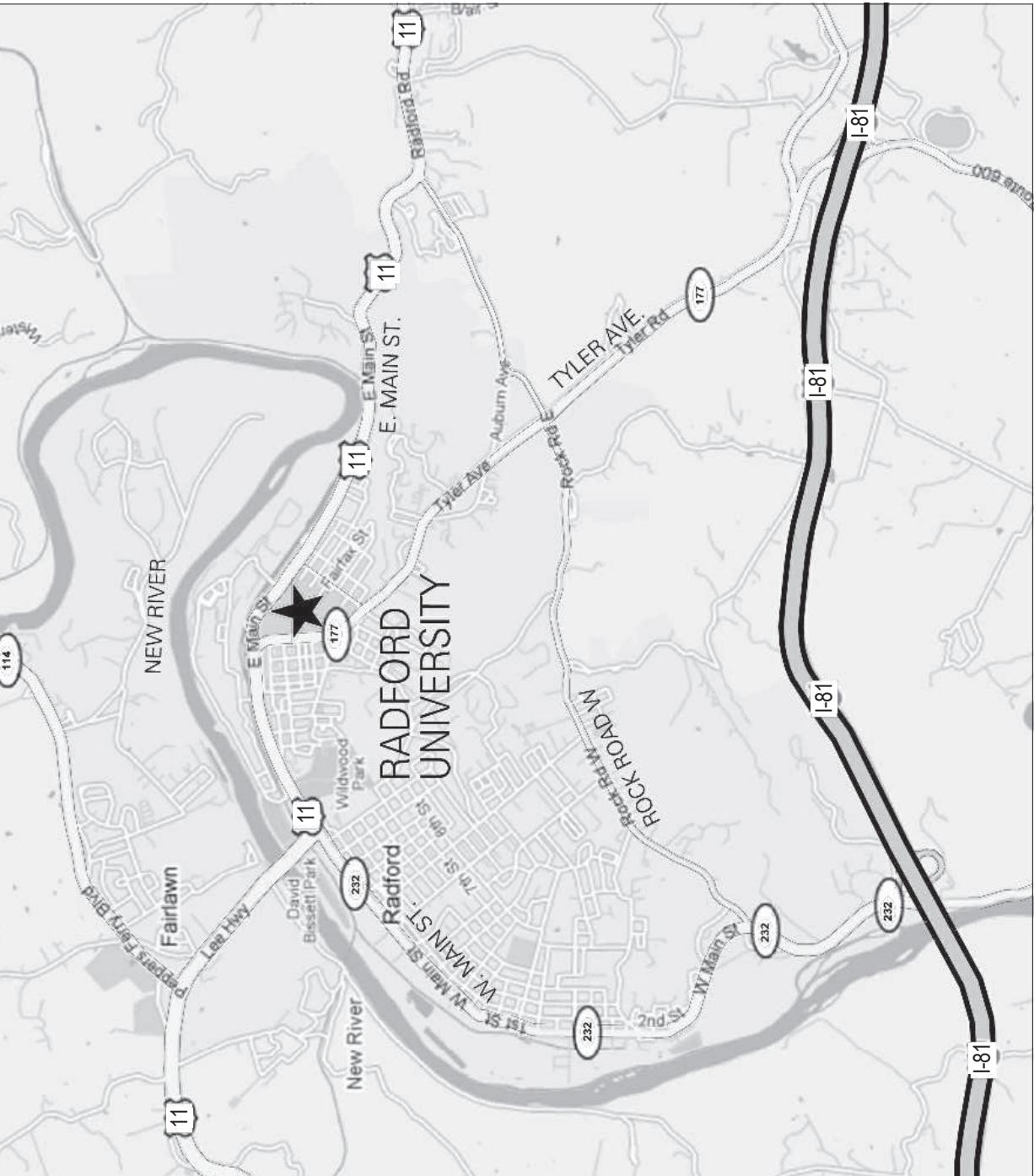
PICTORIAL VIEW

THE JOURNAL OF CLIMATE

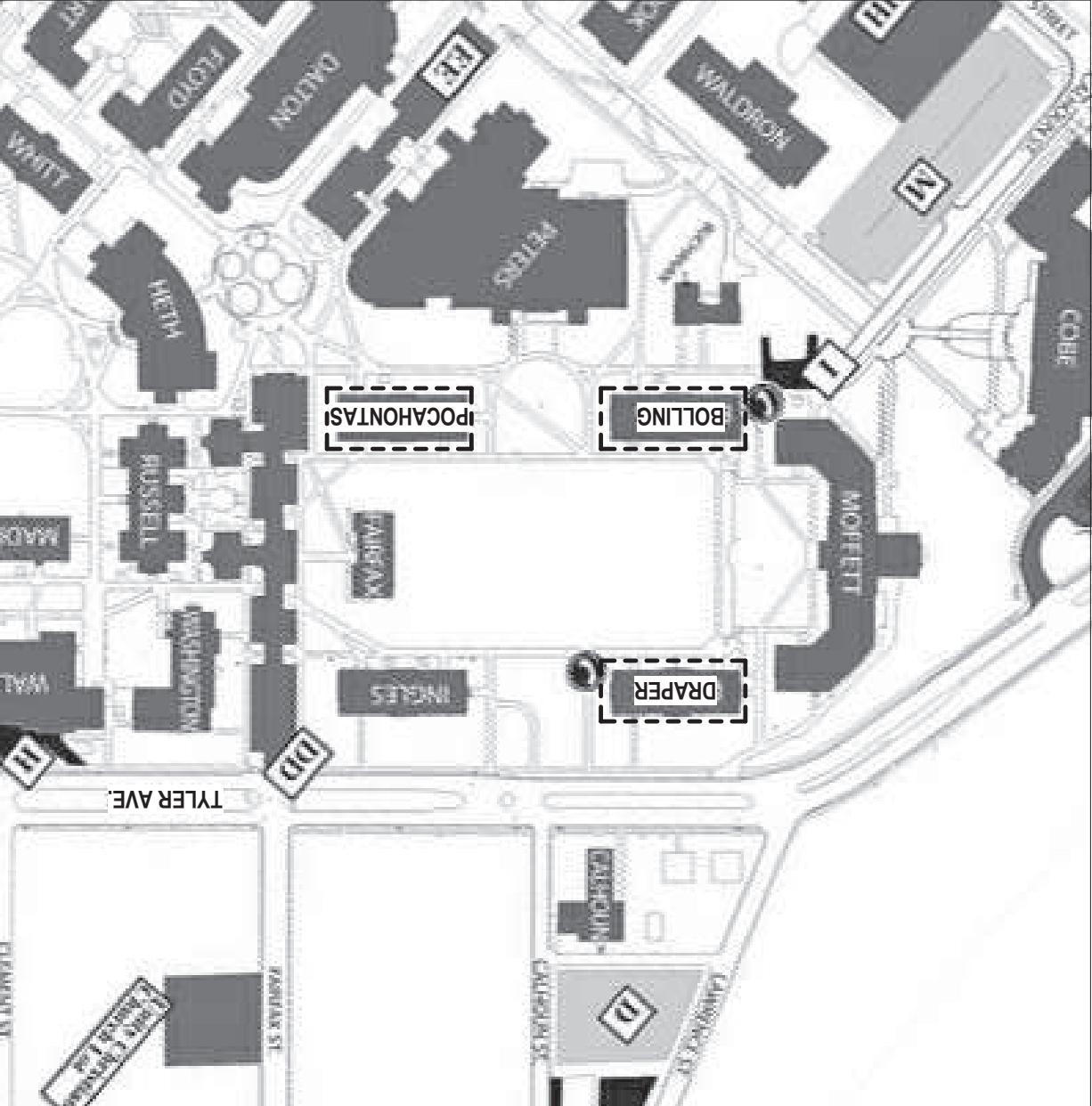


Note: Asbestos containing materials shall not be used on the project.	Asbestos Disclosure Statement An Asbestos inspection was performed and ACM is suspected as noted in specifications. The asbestos inspection report is included as an appendix project specifications. Asbestos-containing building material shall not be disturbed in this work except where specifically indicated and required. Where such actions are required, the contractor shall have the ACM removed by licensed asbestos contractor using approved procedures as specified. That is to remain and the new non asbestos-containing material shall be installed accordingly. The asbestos abatement contractor shall mark up the record drawings resulting from its work to include areas where asbestos was abated, areas where asbestos was encapsulated, and areas where ACM exist but left in place. The General Contractor shall review and certify the locations ACM was abated, areas where ACM was encapsulated and areas where was left in place as marked on the record drawings and will provide the drawings to the Architect.	Lead Materials Disclosure An inspection to identify lead containing or coated building components has been conducted and can be found in the project contract. ²⁰² This contract
---	---	---

LOCATION MAP

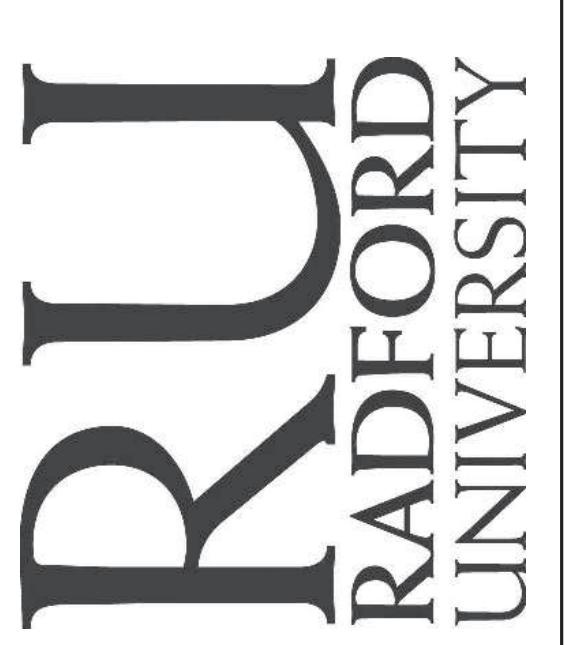


CAMPUS MAP



DRAWING LIST

ITEM	TITLE SHEET
DEMOLITION	
D101	BASEMENT & FIRST FLOOR DEMOLITION PLAN
D102	SECOND & THIRD FLOOR DEMOLITION PLAN
D103	ATTIC & ROOF DEMOLITION PLAN
ARCHITECTURE	
A001	ARCHITECTURAL GENERAL NOTES, ABBREVIATIONS & PARTITION TYPES
A010D	ARCHITECTURAL SITE PLAN AND DETAILS - DRAPER
A101	BASEMENT & FIRST FLOOR PLAN
A102	SECOND & THIRD FLOOR PLAN
A103	ATTIC & ROOF PLAN
A201	EXTERIOR ELEVATIONS
A210	BUILDING SECTIONS
A400	WALL SECTIONS, ROOF & EXTERIOR DETAILS
A500	DOOR SCHEDULE, DOOR & WINDOW TYPES
A511	DOOR DETAILS
A600	TOILET ACCESSORIES / ENLARGED PLANS & ELEVATIONS
A601	ENLARGED TOILET PLANS & ELEVATIONS
A602	BATHROOM DETAILS
A610	ENLARGED STAIR PLANS & DTLS
A612	STAIR AND ELEVATOR PLANS AND SECTIONS
A701	INTERIOR ELEVATIONS
A720	INTERIOR DETAILS
A751	CASEWORK PLANS, SECTIONS, & ELEVATIONS
A760	MILLWORK AND CASEWORK DETAILS
A761	MILLWORK DETAILS
A800	FINISH SCHEDULE & DETAILS
A810	BASEMENT & FIRST FLOOR FURNITURE PLANS - NOT IN CONTRACT
A811	SECOND & THIRD FLOOR FURNITURE PLANS - NOT IN CONTRACT
A901	BASEMENT & FIRST FLOOR REFLECTED CEILING PLAN
A902	SECOND & THIRD FLOOR REFLECTED CEILING PLAN
A903	ATTIC REFLECTED CEILING PLAN
A950	CEILING DETAILS
STRUCTURAL	
S100	GENERAL STRUCTURAL NOTES
S101	FOUNDATION AND FIRST FLOOR FRAMING PLANS
S102	SECOND AND THIRD FLOOR FRAMING PLANS
S103	ATTIC FLOOR AND ROOF FRAMING PLANS
S200	FOUNDATION SECTIONS
S300	FRAMING SECTIONS
S301	FRAMING SECTIONS
S302	FRAMING SECTIONS
MECHANICAL	
M001	HVAC LEGEND AND NOTES
M002	HVAC EQUIPMENT NOTES
M101	BASEMENT AND FIRST FLOOR DUCTWORK
M102	SECOND AND THIRD FLOOR DUCTWORK PLANS
M103	ATTIC FLOOR PLANS - DUCTWORK AND HVAC PIPING
M201	BASEMENT AND FIRST FLOOR PLANS - HVAC PIPING
M202	SECOND AND THIRD FLOOR PLANS - HVAC PIPING
M301	HVAC - PARTIAL FLOOR PLAN
M302	HVAC - SECTION VIEWS
M401	HVAC DETAILS
M402	HVAC PIPING SCHEMATIC FLOW DIAGRAM
M501	HVAC CONTROL DIAGRAMS
M601	CONTROL POINTS LIST
M602	SEQUENCES OF OPERATION
M603	ELECTRICAL DEMOLITION
ED101	BASEMENT AND FIRST FLOOR ELECTRICAL DEMOLITION PLANS
ED102	SECOND, THIRD, AND ATTIC FLOOR ELECTRICAL DEMOLITION PLANS
ELECTRICAL	
E001	ELECTRICAL LEGEND, ABBREVIATIONS, NOTES, AND LIGHTING FIXTURE SPECIFICATIONS
E002	ELECTRICAL LIGHTING FIXTURE SPECIFICATIONS
E003	ELECTRICAL LIGHTING FIXTURE SPECIFICATIONS
E004	ELECTRICAL SITE PLAN - DRAPER
E101	BASEMENT AND FIRST FLOOR LIGHTING PLANS
E102	SECOND, THIRD, AND ATTIC FLOOR LIGHTING PLANS
E201	BASEMENT AND FIRST FLOOR POWER PLANS
E202	SECOND, THIRD, AND ATTIC FLOOR POWER PLANS
E203	LIGHTNING PROTECTION PLAN
E301	BASEMENT AND FIRST FLOOR FIRE ALARM AND TELECOMMUNICATION
E302	SECOND, THIRD, AND ATTIC FLOOR FIRE ALARM AND TELECOMMUNICATION
E400	TYPICAL FLOOR PLANS - BEDROOMS - ELECTRICAL
E401	ENLARGED ELECTRICAL PLANS
E402	ELECTRICAL DETAIL AND DIAGRAMS
E501	PANELBOARD SCHEDULES
E502	PANELBOARD SCHEDULES
E503	PANELBOARD SCHEDULES
E504	PANELBOARD SCHEDULES



RENOVATION OF THREE RESIDENCE HALLS DRAPER HALL

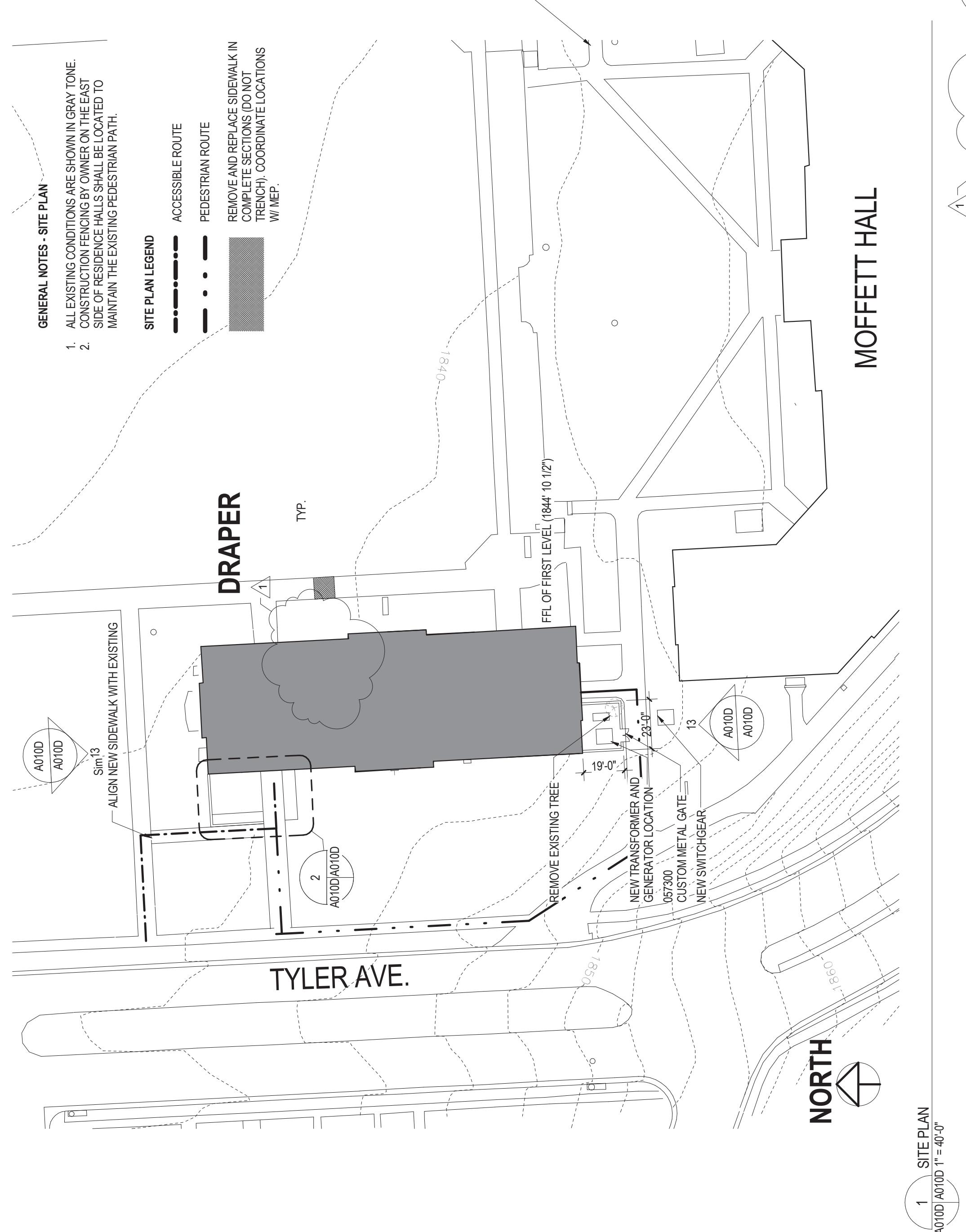
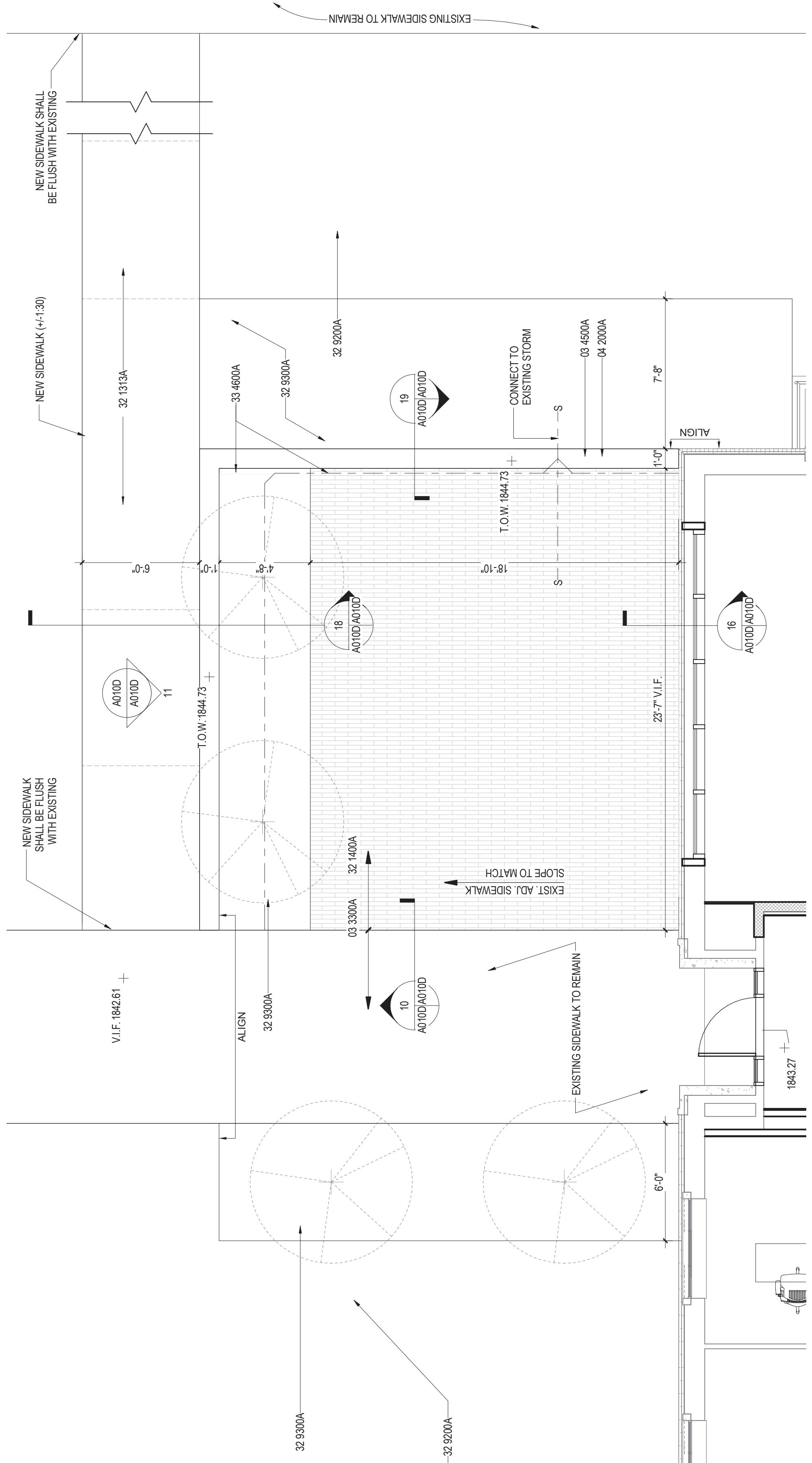
VMDO ARCHITECTS

200 E MARKET STREET
CHARLOTTESVILLE, VA 22902
P 434.296.5684 F 434.296.4496
www.vmdo.com

ILW / ALM

ISSUES AND REVISIONS	
NO.	SUBMITTAL
	BID DOCUMENTS
1	Addendum 1
2	Addendum 2
3	Addendum 3
	CONSTRUCTION SET

TOOL



1 SITE PLAN
A.U.D. 10' 0" 1' = 40'-0"

2020

05/19/14

05/31/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

06/19/14

RU

RADFORD UNIVERSITY

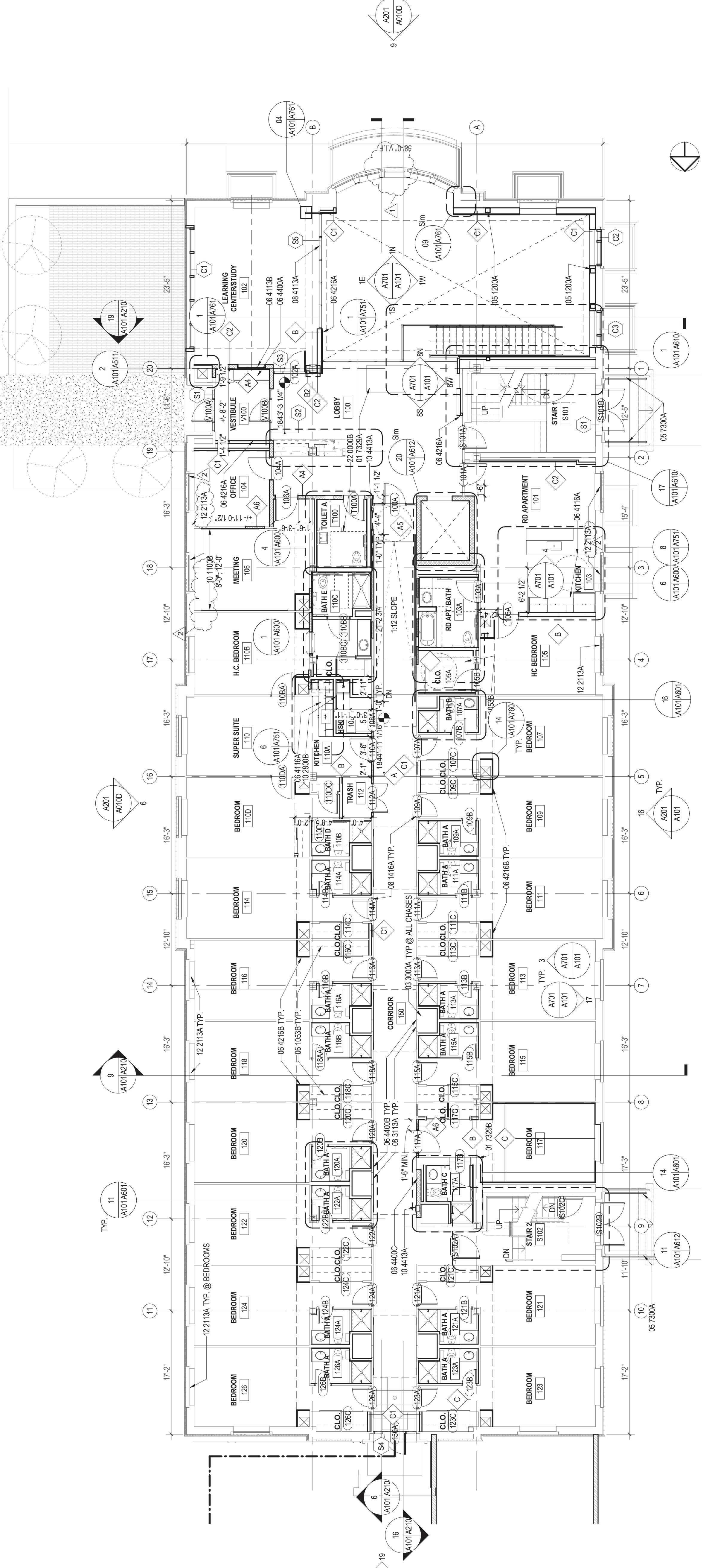
RENOVATION OF THREE RESIDENCE HALLS DRAPER HALL

217-17565-002

1115

KEYNOTE LEGEND

- LOCATE FLOOR OPENINGS FOR DOORS & FEED FROM INSIDE FACE OF INTERSECTING WALL UNLESS OTHERWISE NOTED.
- REFER TO FIRE PROTECTION PLANS FOR ADDITIONAL RATED CONSTRUCTION INFORMATION.
- ALL DIMENSIONS ARE TO INSIDE FACE OF WALL, MASONRY OPENING, AND TO OUTSIDE EDGE OF STUDS. DIMENSIONS REFER TO CENTER OF STUDS. ALL LOCATIONS REquiring ACCESS PANELS SHALL MAINTAIN IN TERRACING.
- PROVIDE WOOD BLOCKING OR 18 GAUGE METAL STRAPPING BEHIND GIB WHERE REQUIRED TO SUPPORT FIXTURES OR EQUIPMENT KNOWN TO INFLUENCE THE CONTRACTOR OR BY OTHERS FOR EQUIPMENT KNOWN TO INFLUENCE THE CONTRACTOR OR BY OTHERS.
- ITEMS ARE TO BE COVERED WITHIN WALL OR CEILING GROUT LINE.
- CEILINGS ARE TO BE FLUSH.



2 FIRST FLOOR PLAN
4201 A101 18'-10"

MLW / ARS
DEM / MBW

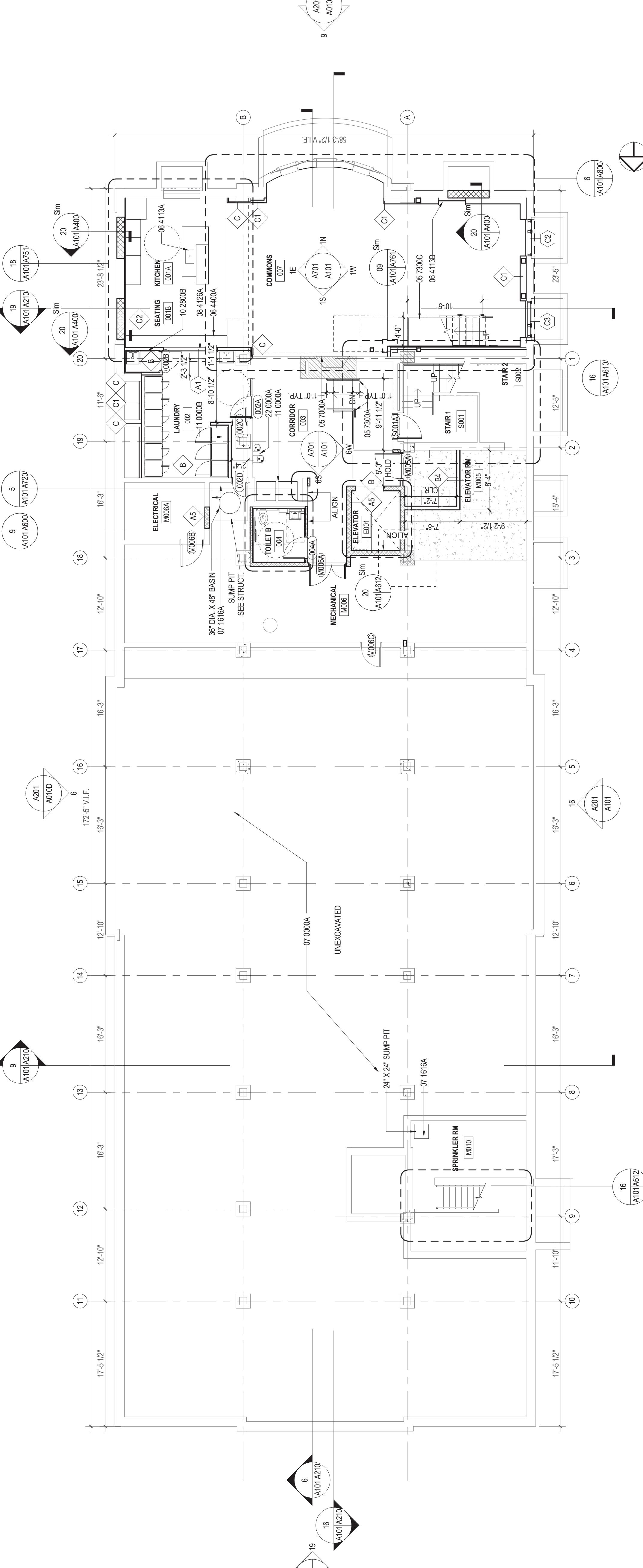
Checked By _____
Drawn By _____

GRAPHIC SCALE - 1'32" = 1'-0"
0 32'-0" 64'-0" 96'-0"
0 32'-0" 64'-0" 96'-0"

NOTES:
1. Adobes containing materials shall not be used on the project.
2. Adobes Disclosure Statement
An Adobes inspection was performed and ACM is suspended as noted in the specifications. The Adobes inspection report is included as an appendice to the project documents. All Adobes products containing lime or gypsum shall be removed by the contractor shall leave the ACM removed by the ACM removed by the licensed asbestos contractor using approved procedures as specified. The ACM shall be removed and new non-asbestos-containing material shall be installed accordingly. The asbestos abatement contract shall work up the entire building. All areas where asbestos was identified and removed by ACM shall be re-inspected and tested when ACM has been abated. Areas where asbestos was not identified and removed by ACM shall be re-inspected and tested when ACM has been abated. General Contractor shall review and certify if factors were ACM was abated, areas where ACM was encapsulated and areas where ACM was in place as marked on the record drawings and will provide the drawings to the Architect.
3. Lead Material Disclosure
An inspection to identify lead-containing or coated building components has been conducted and may not be definitive. It is the contractor's responsibility to comply with all Virginia and federal OSHA regulations as they pertain to employee exposure to lead-based paint and lead-coated building components shall be referred to the architect.

4. Modifications to the bid documents that were issued by addenda have been incorporated into these drawings to the originally issued Contract. In the event of discrepancies between the originally issued addenda and changes depicted on these drawings, the originally issued addenda shall take precedence.

BASEMENT & FIRST FLOOR PLAN



1 BASEMENT FLOOR PLAN
4201 A101 18'-10"

FLOOR PLAN LEGEND
— EXISTING ELEMENTS TO REMAIN
— NEW WORK

RU

RADFORD
UNIVERSITY

**RENOVATION OF THREE
RESIDENCE HALLS
DRAPER HALL**

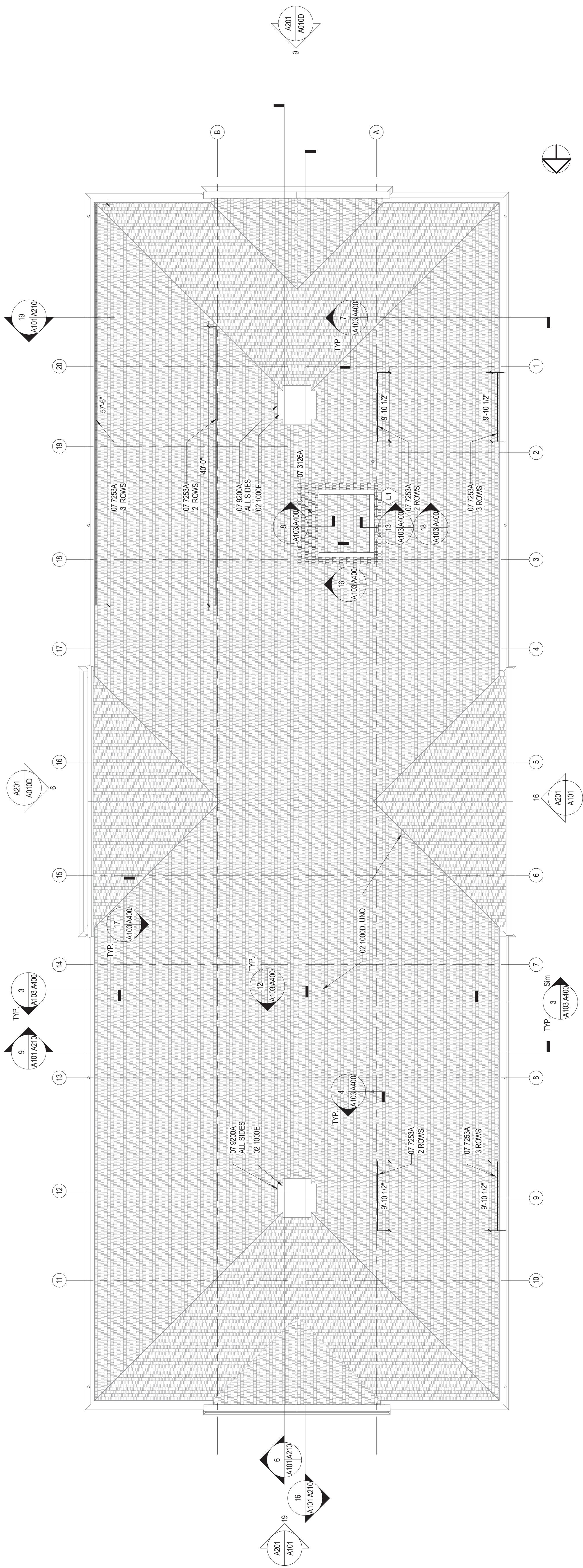
RADFORD UNIVERSITY

RADFORD, VIRGINIA
Project Code 217-17565-002
VMDO Project Number 1115

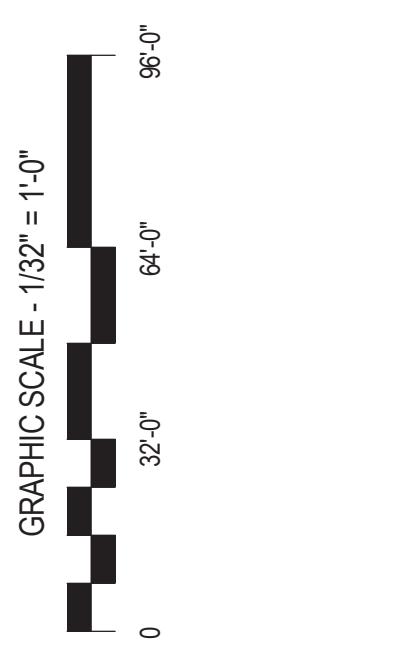
- FLOOR PLAN GENERAL NOTES
- LOCATE COUGHS OPENINGS FOR DOORS & FEED ON INSIDE FACE OF INTERSECTING WALL UNLESS OTHERWISE NOTED.
 - REFER TO FIRE PROTECTION PLANS FOR ADDITIONAL RATED DIMENSIONS.
 - ALL DIMENSIONS ARE TO INSIDE FACE OF WALL, MASONRY OPENING, AND TO OUTSIDE EDGE OF DOOR OR WINDOW FRAMES TO REACH ACCESS POINTS AT ALL LOCATIONS.
 - PROVIDE WOOD BLOCKING OR 18 GAUGE METAL STRAPPING BEHIND GIB WHERE REQUIRED TO SUPPORT FIXTURES OR EQUIPMENT PROVIDED IN THE CONTRACT OR BY OTHER FIRM'S EQUIPMENT.
 - ITEMS ARE TO BE CONCEALED WITHIN WALL OR CEILING GAVY, INC.

KEYNOTE LEGEND

EXISTING SLATE ROOF TO REMAIN
EXISTING CHIMNEY TO REMAIN
UNIT MASONRY - BRICK
SLATE SHINGLES
JOLT GUARDS
HYDRAULIC ELEVATORS

MLW / ARS
DEM / MBWChecked By
Drawn By

Note: Modifications to the bid documents that were issued by architect have been incorporated into these drawings for the convenience of the Contractor. In the event of discrepancies between the originally issued drawings and changes depicted on these drawings, the originally issued drawings shall take precedence.



ISSUES AND REVISIONS	NO. SUBMITTAL	DATE
BID DOCUMENTS	1	05.19.14
Appendum 1	2	06.19.14
Appendum 2	3	06.24.14
Appendum 3	4	06.25.14
CONSTRUCTION SET	5	05.01.15

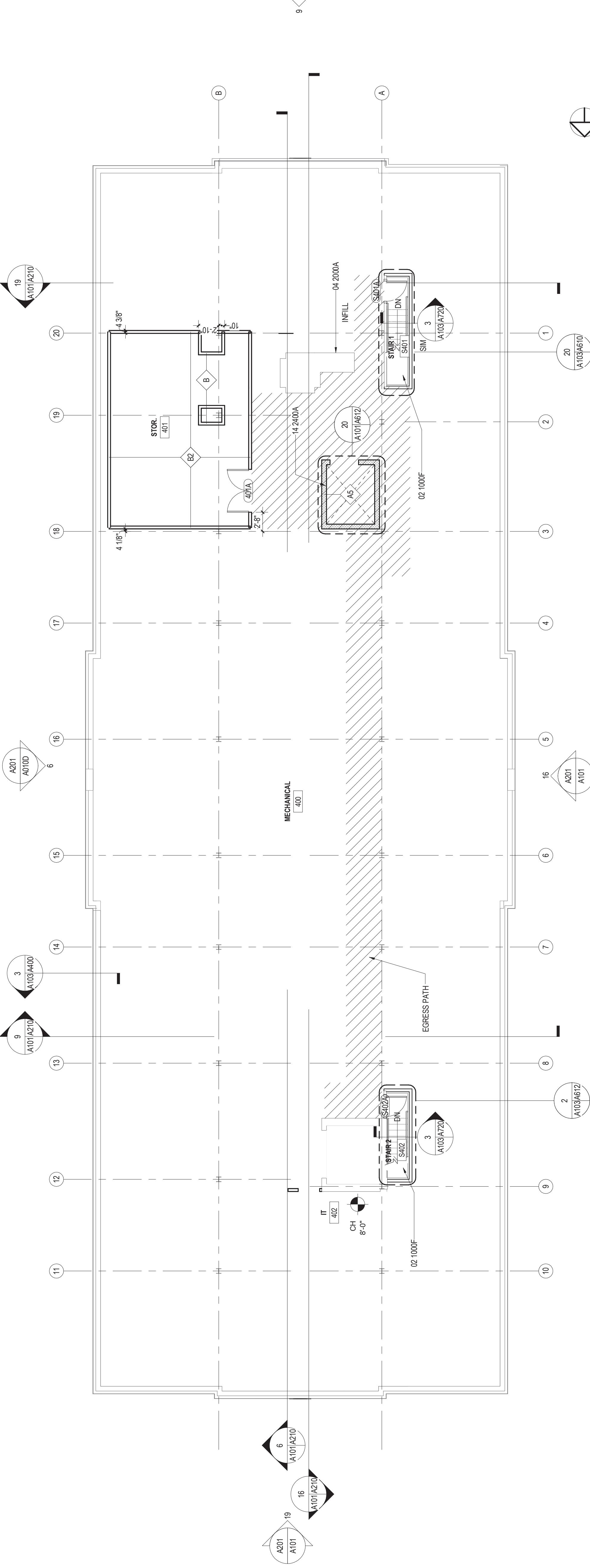
Note: Allbestos containing insulation shall not be used on the project. Allbestos inspection report is included as an appendix to the specifications. An asbestos-containing building material shall not be installed in the project. An asbestos-containing contractor using garnetized procedures shall have the ACM removed by a licensed asbestos contractor using garnetized procedures specified. The asbestos abatement contractor shall mark up the record drawings resulting from its work to include areas where asbestos was located, areas where ACM was encapsulated and areas where ACM was sealed. These General Contractor shall inform and clearly indicate areas where ACM was sealed, areas where ACM was encapsulated and areas where ACM was left in place as marked on the record drawings and we provide the drawings to be checked.

Last Updated: December 2014
An inspection of detailed lead憧憬ing or coated building components has been conducted and may not be all inclusive. It is the contractor's responsibility to comply with all Virginia state and local OSHA regulations as they relate to employee exposures to lead. All lead and asbestos containing components shall be recycled to the extent possible.

FLOOR PLAN LEGEND

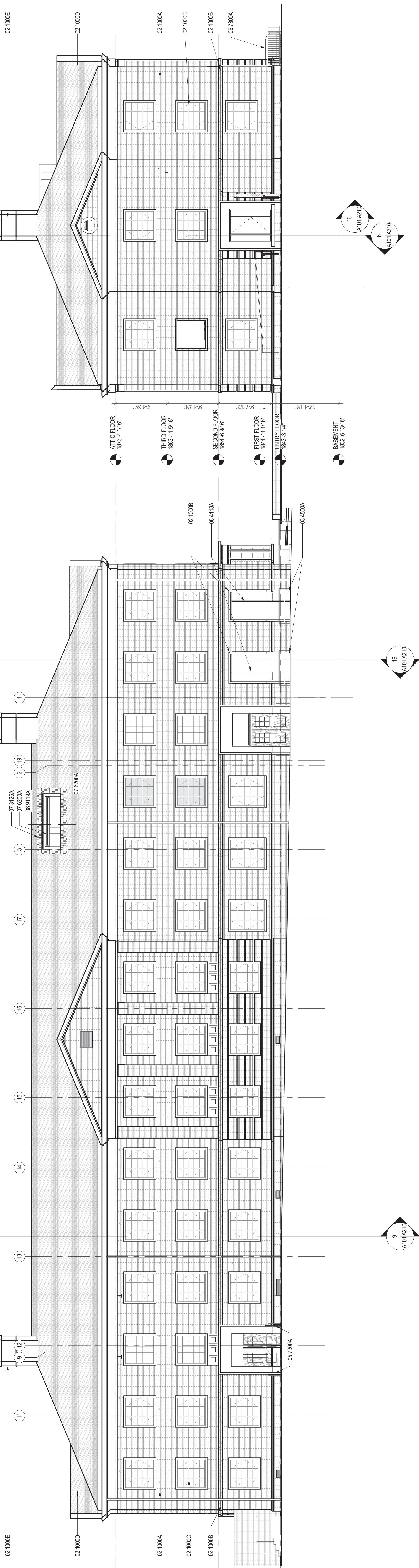
ACCESSIBLE ROUTE
EXISTING ELEMENTS TO REMAIN
NEW WORK

2 ROOF PLAN
A201/A102 18'-10"



1 ATTIC FLOOR PLAN
A201/A102 18'-10"

EXTERIOR ELEVATIONS



6 EAST ELEVATION - POCOHONTAS
A010/A201 18" = 1'-0"

9 NORTH ELEVATION - POCOHONTAS
A010/A201 18" = 1'-0"

19 SOUTH ELEVATION - DRAPER
A010/A201 18" = 1'-0"

19 WEST ELEVATION - POCOHONTAS
A010/A201 18" = 1'-0"

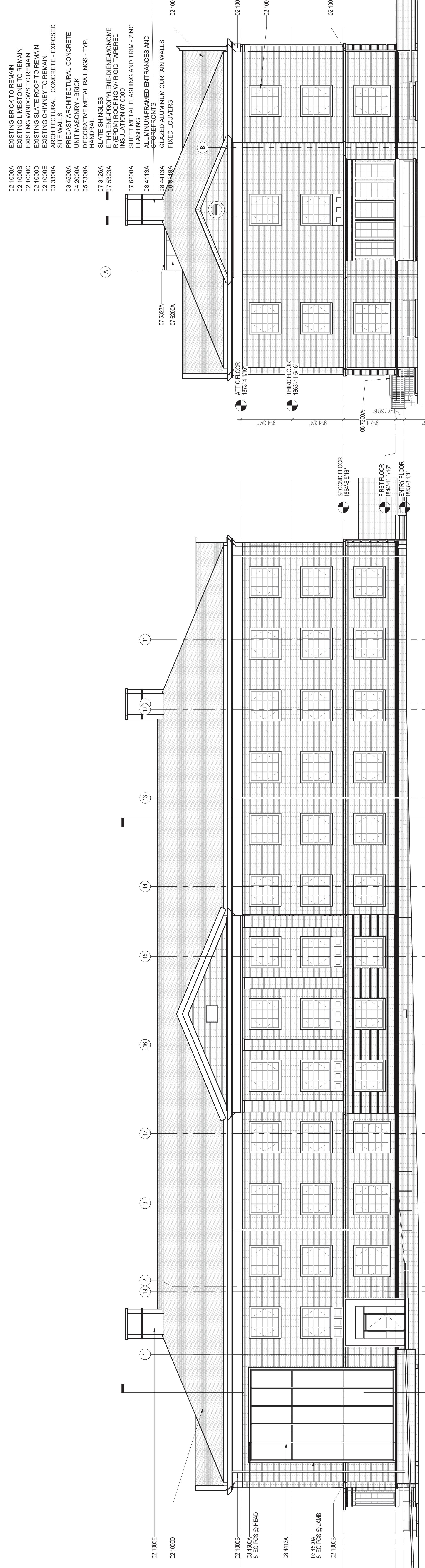
RU

RADFORD UNIVERSITY

VMDO ARCHITECTS
200 E. MARKET STREET, 22020
P: 540.265.5841 F: 540.265.4455
www.vmdo.com

ELEVATION BUILDING SECTION GENERAL NOTES
1. ONE HALF OF DRAWING SHALL APPLY TO BOTH HALVES OF DRAWINGS.
2. PROVIDE HIGH PERFORMANCE COATINGS A FULL EXTERIOR FERROUS METALS (STRUCTURAL AND DECORATIVE).
3. INTERIOR WOODEN BUILDING SECTIONS ARE TYPICALLY PAINTED FOR ADDITIONAL INFORMATION.
4. FOOTINGS AND FOUNDATIONS ARE SHOWN FOR ILLUSTRATION ONLY.
5. ALL DOWNSPOUTS ARE EXISTING TO REMAIN UNCHANGED.
6. CULLING AND CORRUGATED CROWNWALL SCOPE OF E.P. AND
7. PROVIDE CAST IRON BOUTONS AT GRADE UNCHANGED.
8. REFER TO FIRE PROTECTION SHEETS FOR FIRE RATED ASSEMBLIES.

KEYNOTE LEGEND



RENOVATION OF THREE
RESIDENCE HALLS
DRAPER HALL

Checked By
MLW / ARS
DEM / MBW
Drawn By

Note: Modifications to the bid documents that were issued by addenda have been incorporated into these drawings for the convenience of the Contractor. In the event of discrepancies between the original issued addenda and changes depicted on these drawings, the originally issued addenda shall take precedence.

Project Code
217-17565-002
11108

Project Number
217-17565-002
11108

Project Number
217-17565-002
11108

RU

RADFORD UNIVERSITY

RENOVATION OF THREE RESIDENCE HALLS DRAPER HALL

RADFORD, VIRGINIA

Project Code 217-17565-002
1115Checked By
MLW / ARS
DEM / MBWDrawn By
MLW / ARS
DEM / MBW

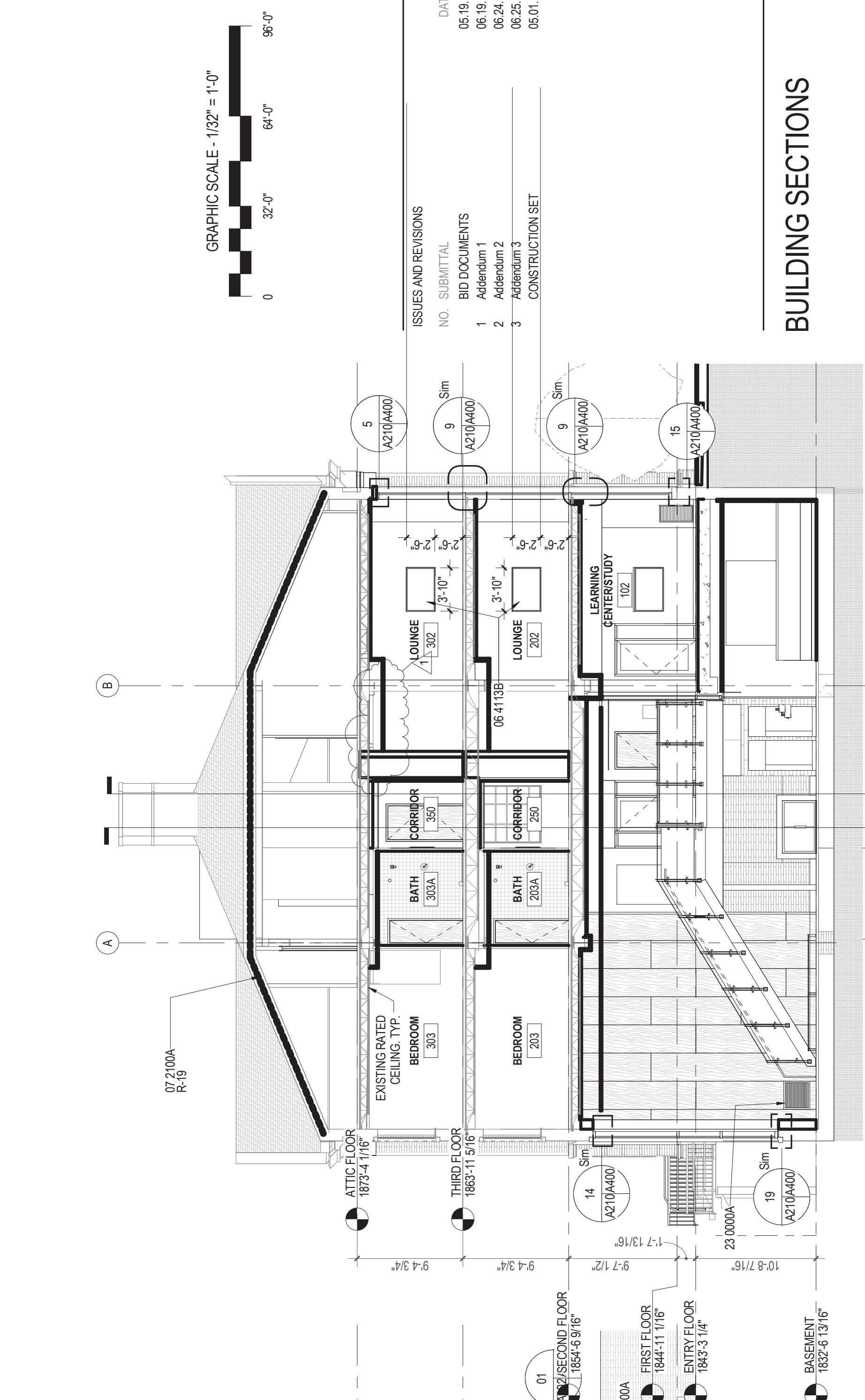
Note: Modifications to the bid documents that were issued by addenda have been incorporated into these drawings for the convenience of the Contractor. In the event of discrepancies between the originally issued addenda and changes depicted on these drawings, the originally issued addenda shall take precedence.

KEYNOTE LEGEND

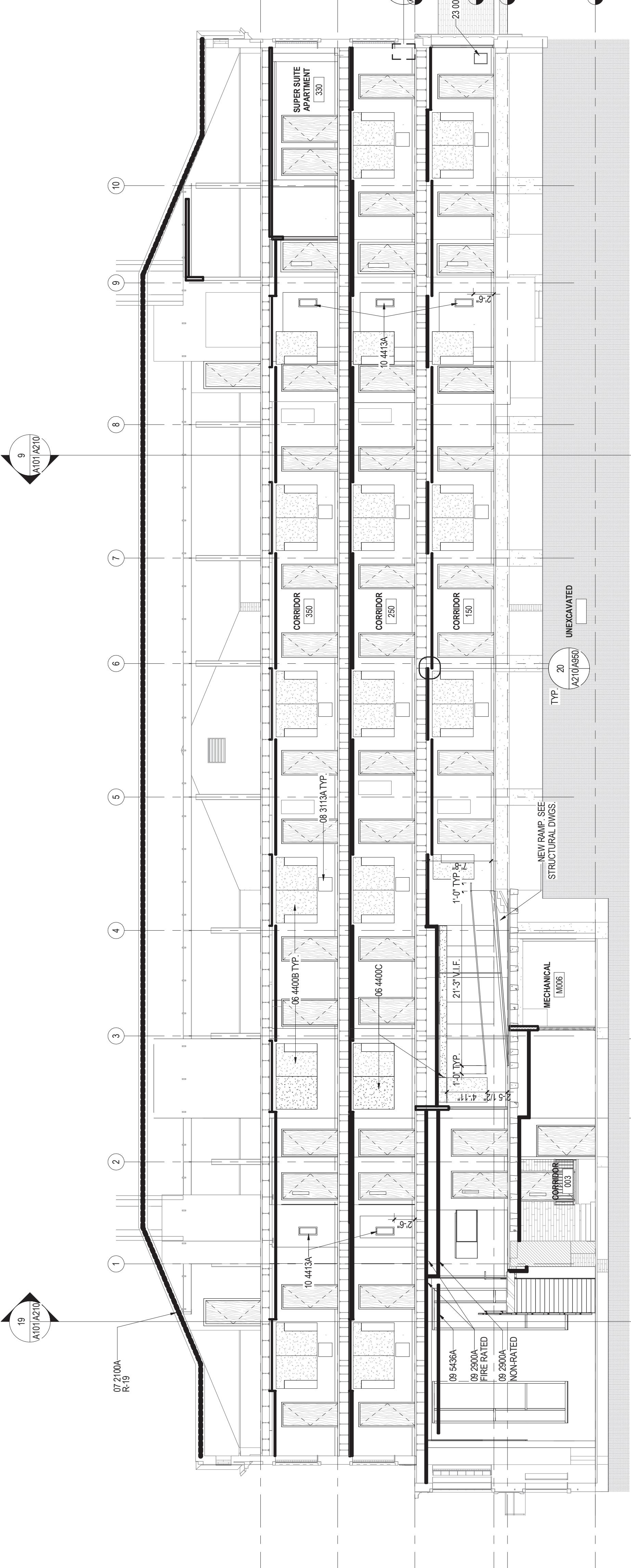
- 1. EXISTING BRICK TO REMAIN
- 2. STRUCTURAL STEEL FRAMING
- 3. DECORATIVE METAL RAILINGS - TYP.
- 4. HANDRAIL
- 5. INTERIOR ARCHITECTURAL
- 6. WOODWORK - TELEVISION
- 7. ORNAMENTAL WOODWORK
- 8. CORRIDOR MESSAGE BOARD
- 9. ACCESS DOORS AND FRAMES
- 10. CEILING TRANSITION EDGE TRIM
- 11. SUSPENDED DECORATIVE CABINETS
- 12. FIRE EXTINGUISHER CABINET
- 13. MECHANICAL UNIT SEE
- 14. ELECTRICAL EQUIPMENT SEE
- 15. ELECTRICAL DRAWINGS
- 16. PROVIDE CAST IRON DOOTS AT ALL DOWNSPOUTS FOR FREE PROTECTION SHEETS FOR FREE RATED ASSEMBLIES.



9 M. TRANSVERSE SECTION, NORTH
A101/A210 18'-0" = 1'-0"



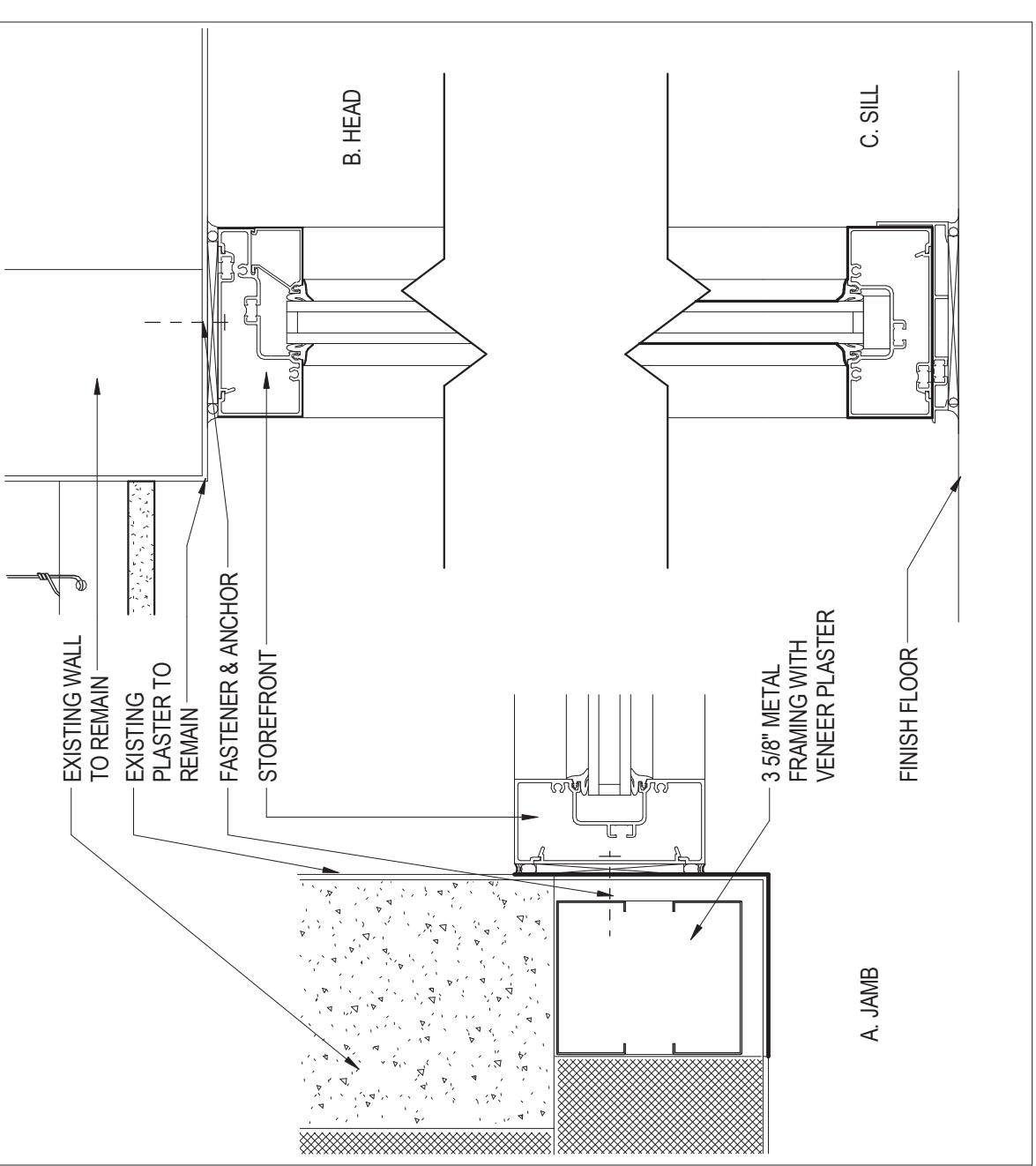
19 M. TRANSVERSE SECTION, SOUTH
A101/A210 18'-0" = 1'-0"



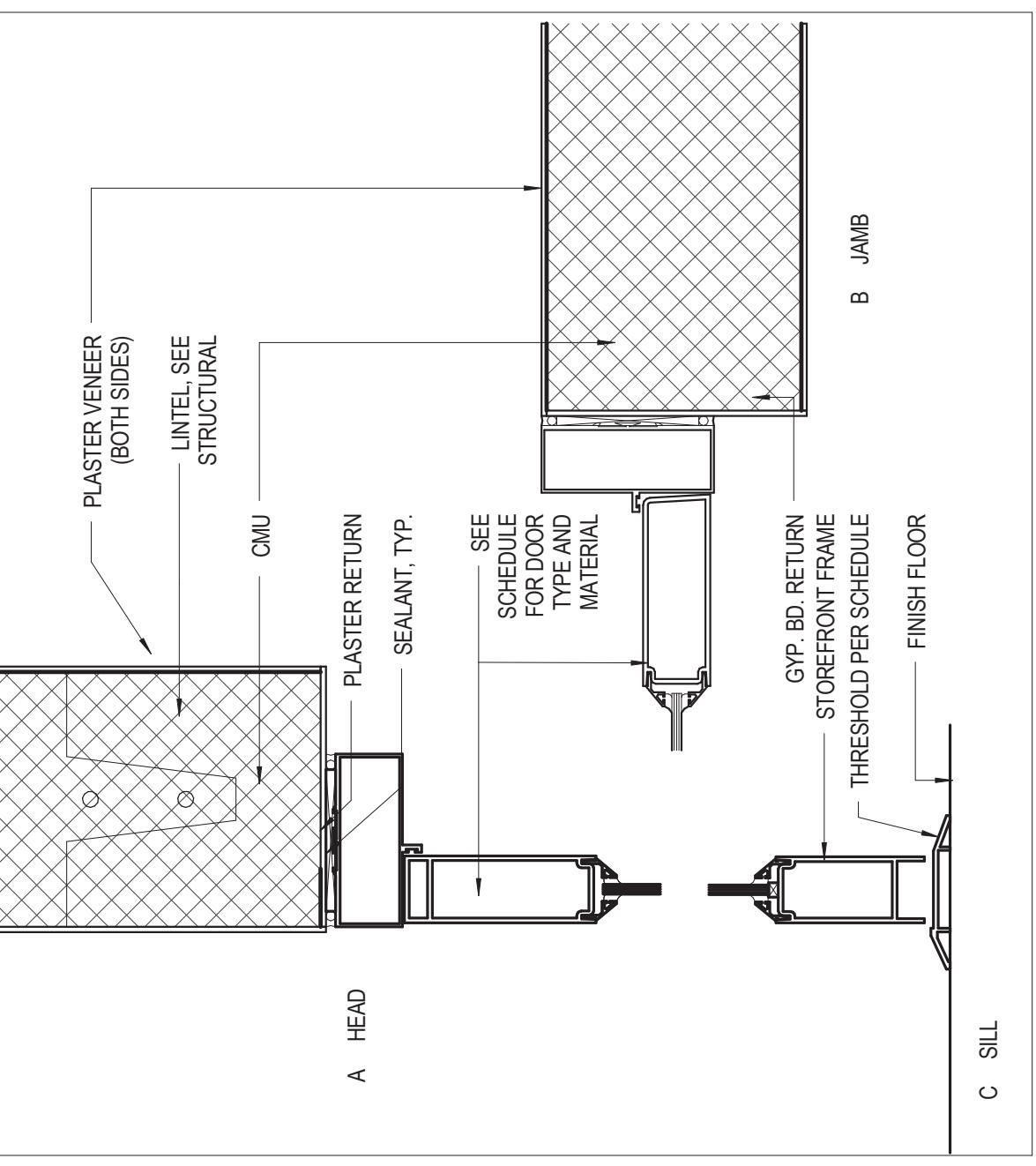
16 M. LONGITUDINAL SECTION, WEST
A101/A210 18'-0" = 1'-0"

RENOVATION OF THREE
RESIDENCE HALLS
DRAPER HALL

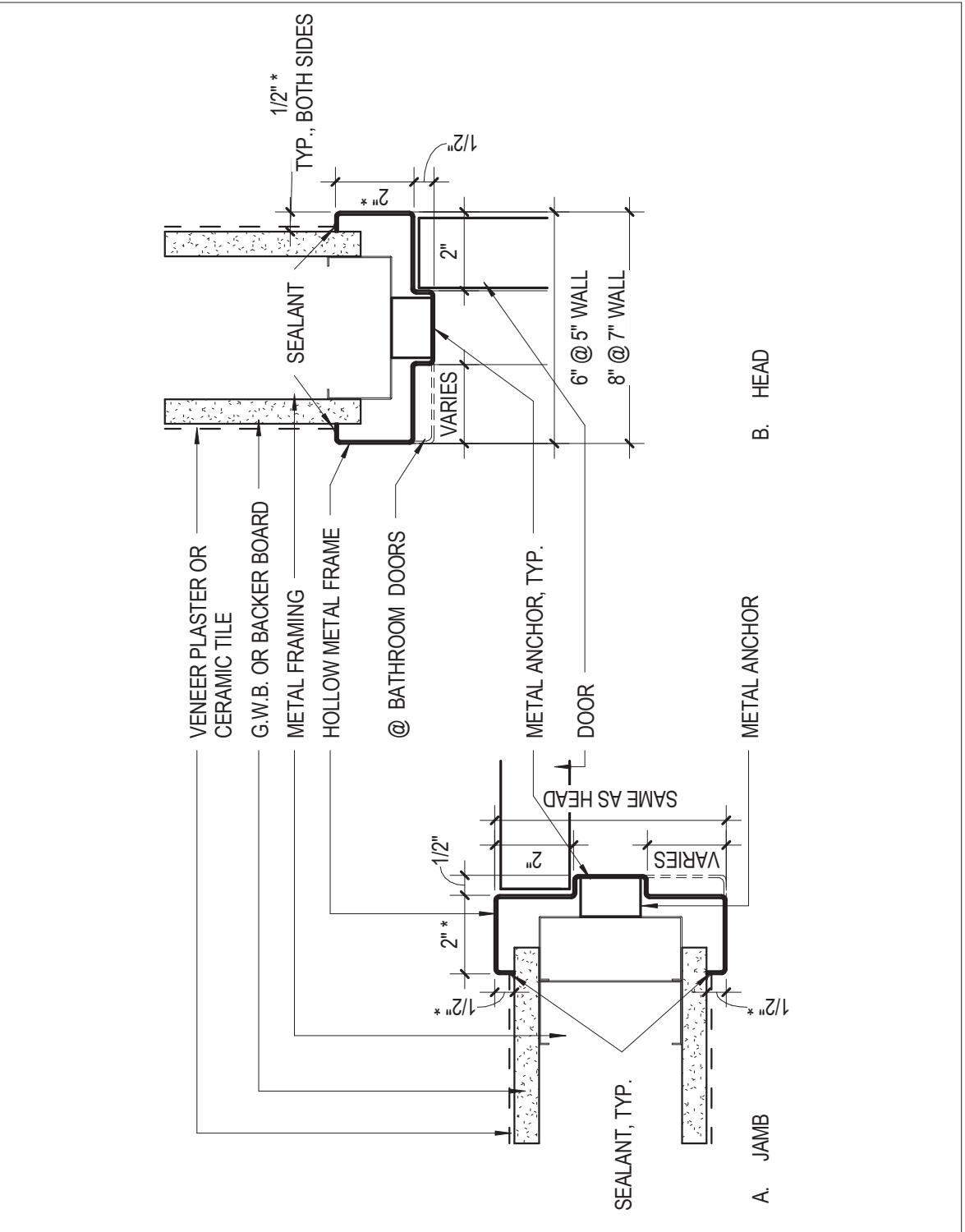
RADFORD UNIVERSITY
RADFORD, VIRGINIA
Project Code 217-17565-002
VMDO Project Number 1115



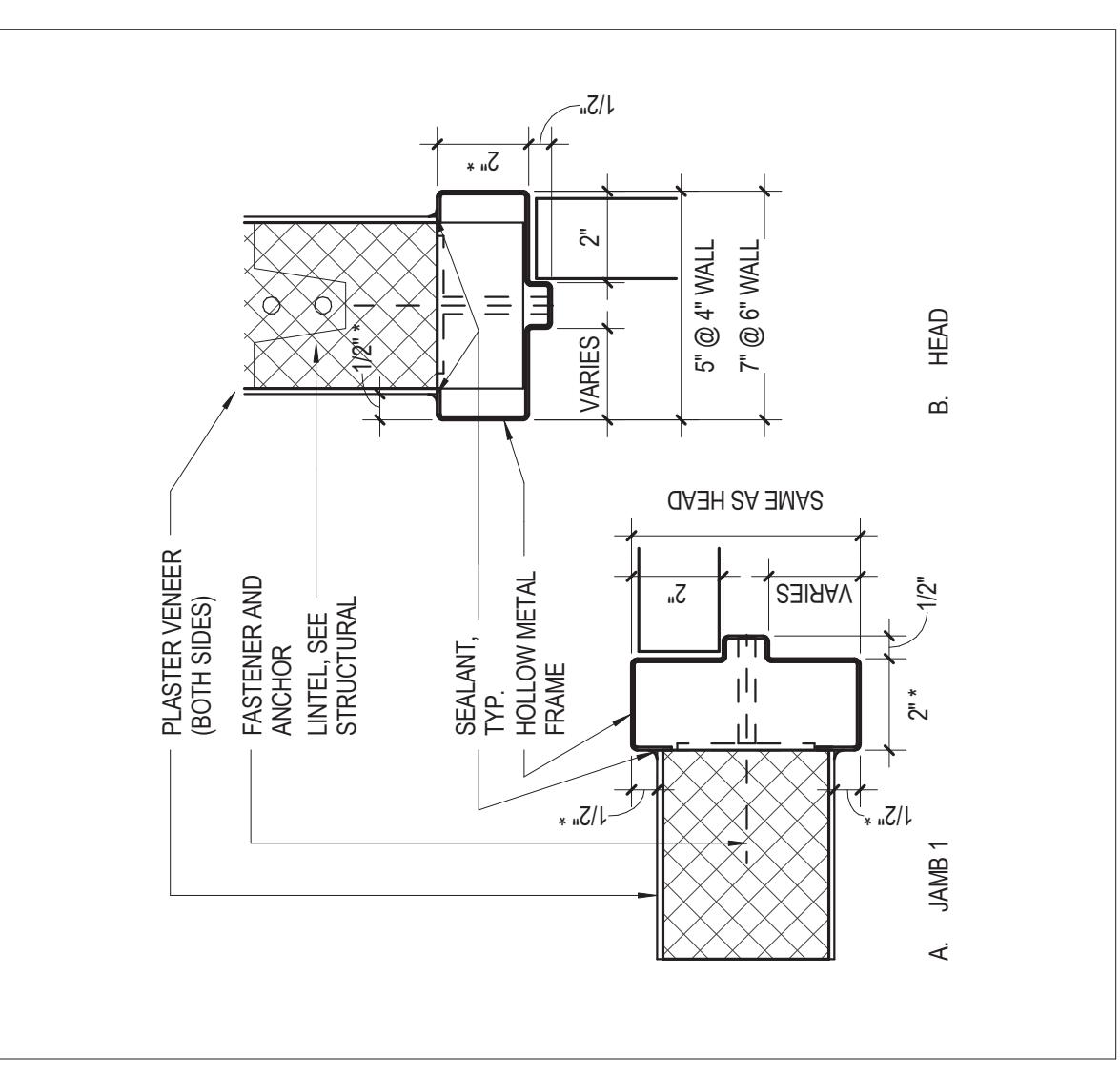
5 HEAD & SILL @ SF TRANSOM
A511 3 = 1'-0"



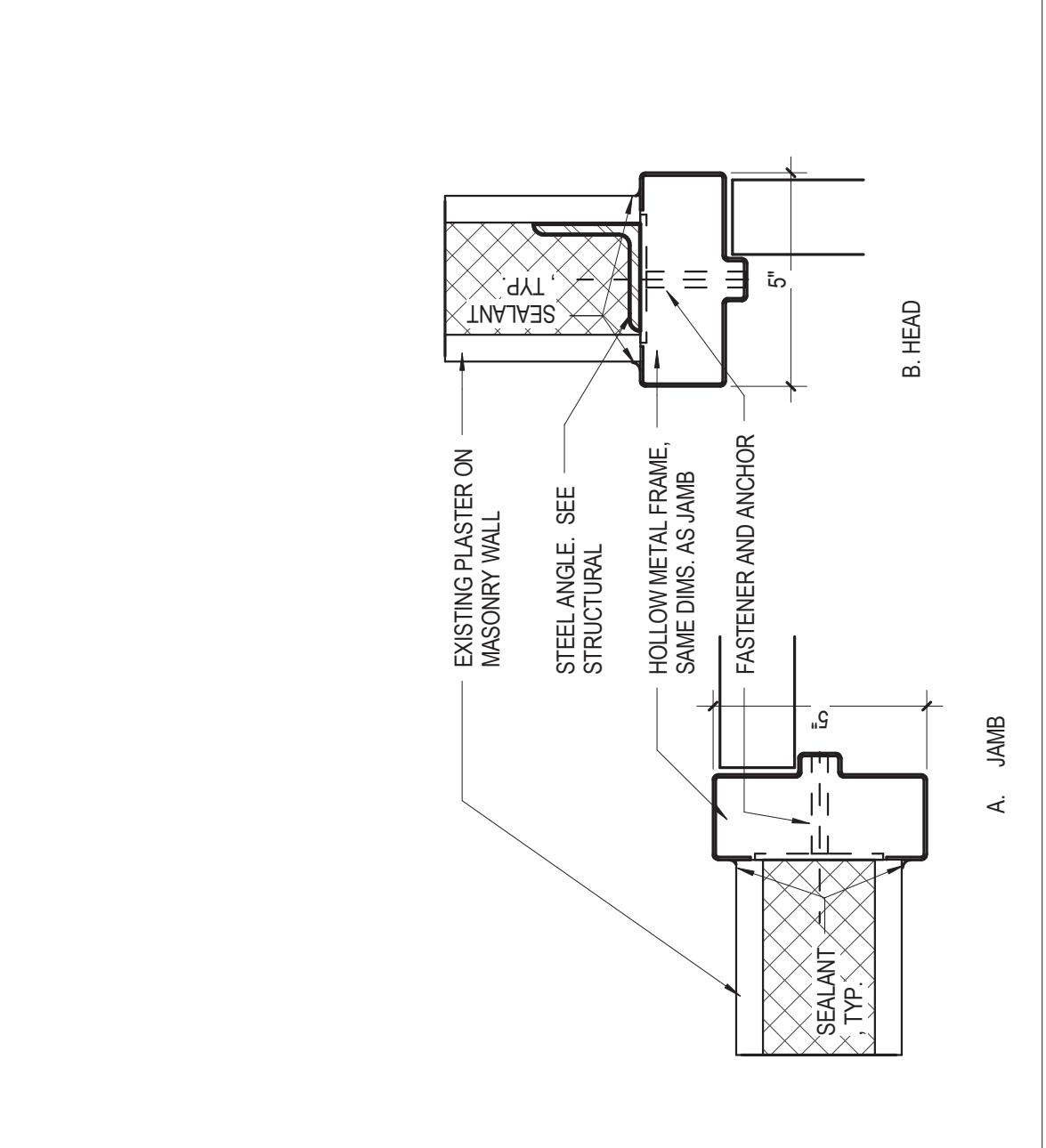
4 SF HEAD & JAMB @ 6 CMU
A511 3 = 1'-0"



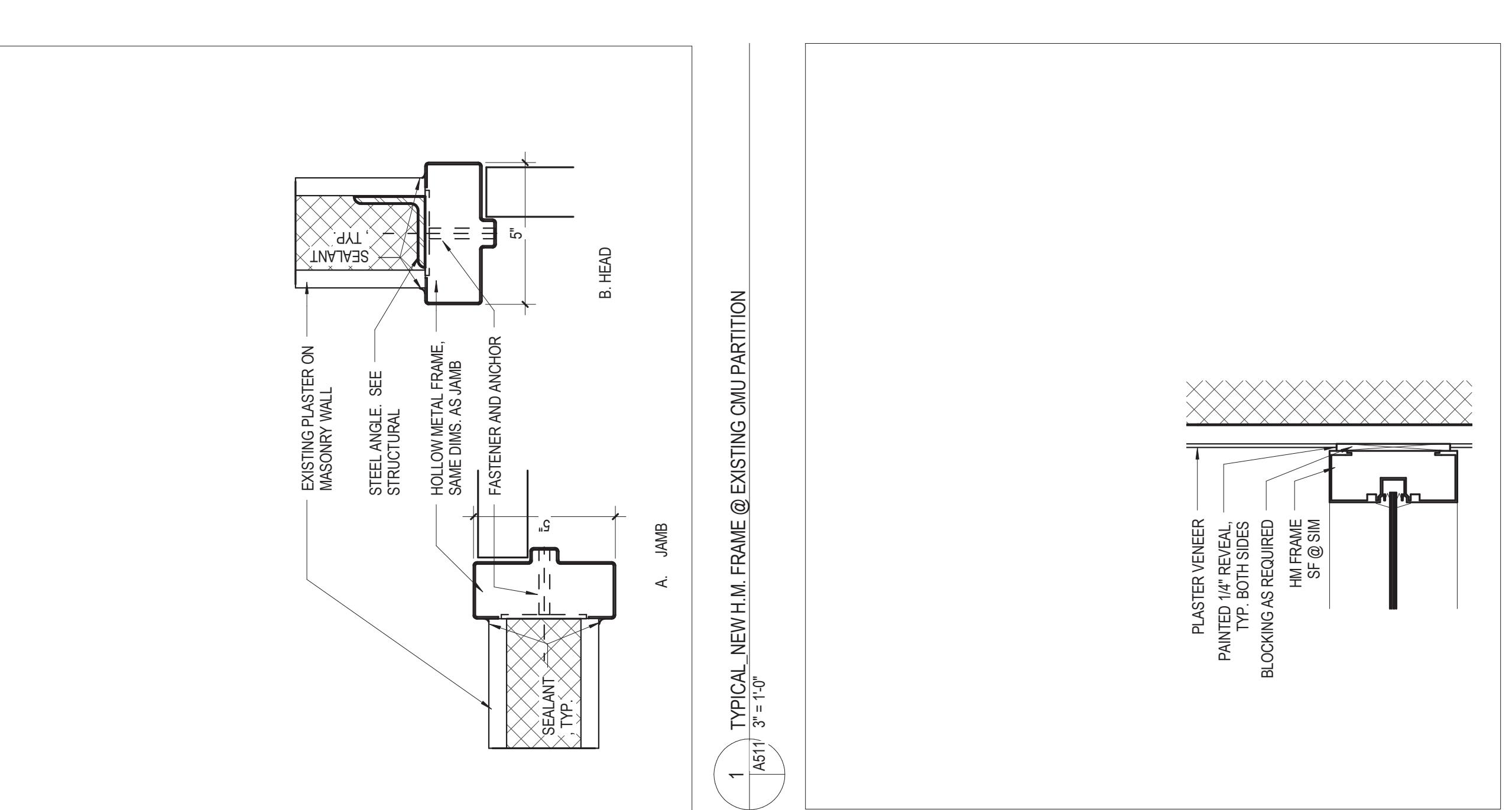
3 TYPICAL BATHROOM DOOR
A511 3 = 1'-0"



2 TYPICAL NEW H.M. FRAME @ NEW CMU PARTITION
A511 3 = 1'-0"



1 TYPICAL NEW H.M. FRAME @ EXISTING CMU PARTITION
A511 3 = 1'-0"



6 DETAIL @ MIN JAMB
W028 A511 3 = 1'-0"

Checked By ARS
Drawn By MBW

Note: Modifications to the bid documents that were issued by addenda have been incorporated into these drawings for the convenience of the Contractor. In the event of discrepancies between the originally issued addenda and changes reflected on these drawings, the originally issued addenda shall take precedence.



ISSUES AND REVISIONS	
NO. SUBMITTAL	DATE
BID DOCUMENTS	05.19.14
1 Adendum 1	06.19.14
2 Adendum 2	06.24.14
3 Adendum 3	06.25.14
CONSTRUCTION SET	05.01.15

RENOVATION OF THREE
RESIDENCE HALLS
DRAPER HALL

RADFORD UNIVERSITY

Project Code 217-17565-002
VMDO Project Number 1115

MLW / ARS
DEM / MBW

Note: Modifications to the bid documents that were issued by addenda have been incorporated into these drawings for the convenience of the Contractor. In the event of discrepancies between the originally issued addenda and changes depicted on these drawings, the originally issued addenda shall take precedence.

KEYNOTE LEGEND

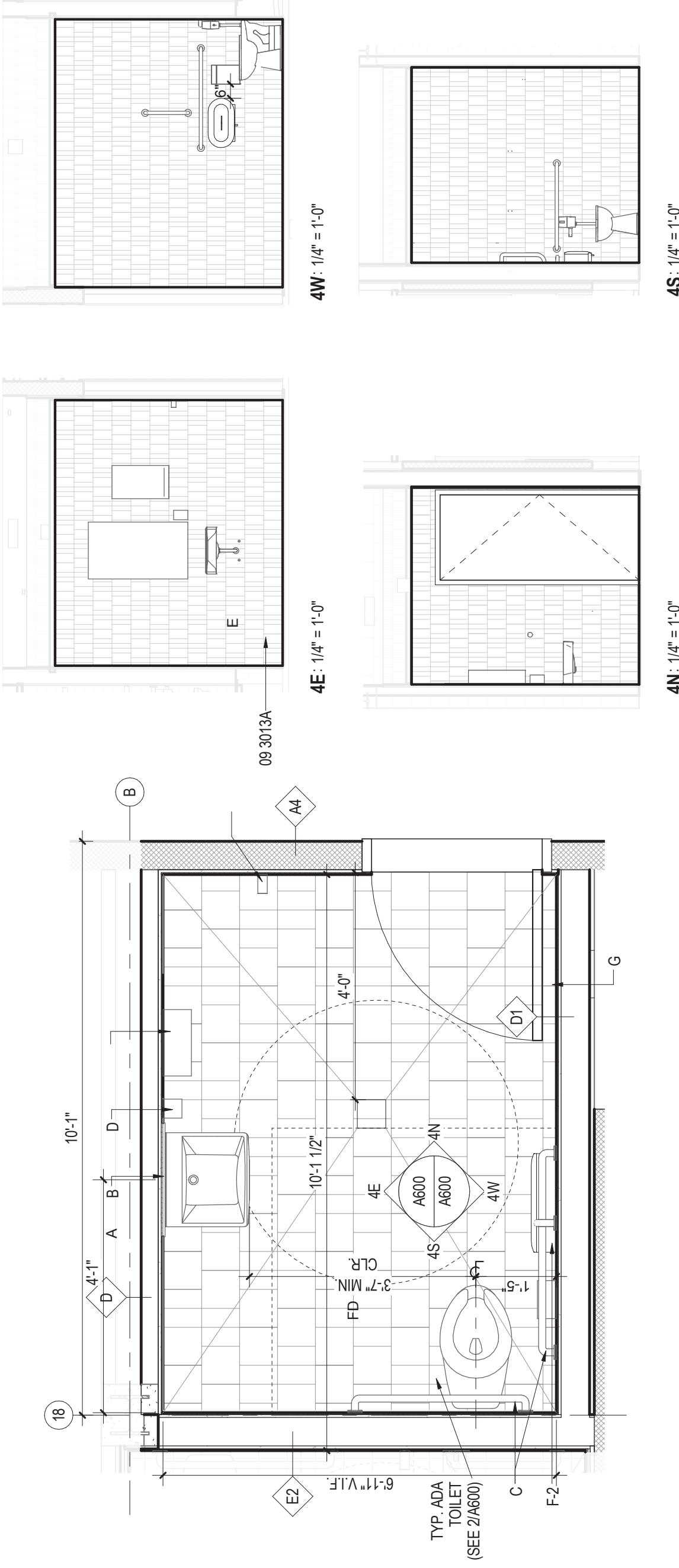
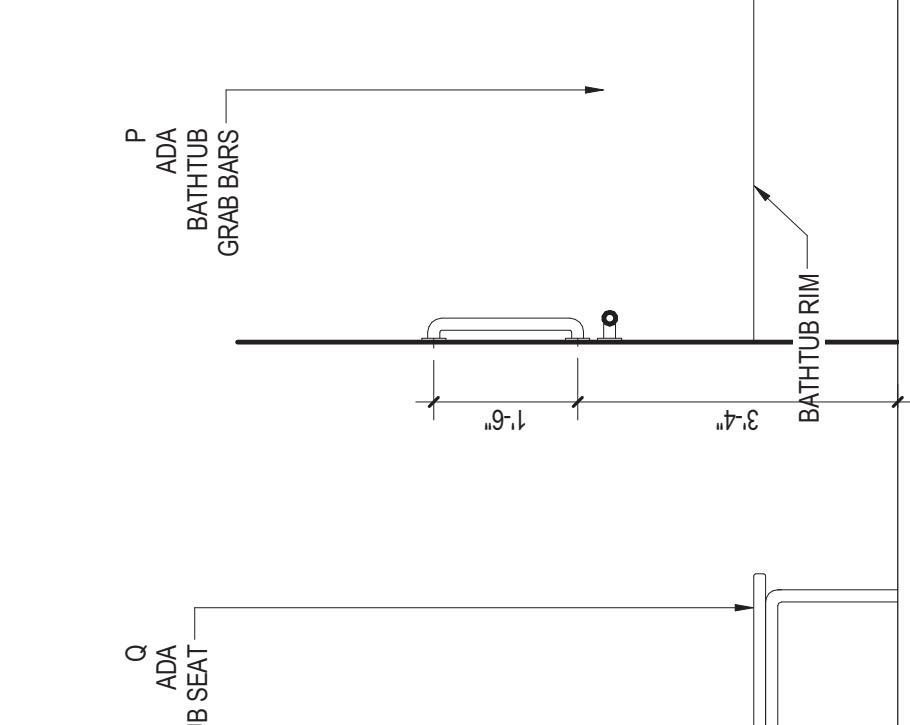
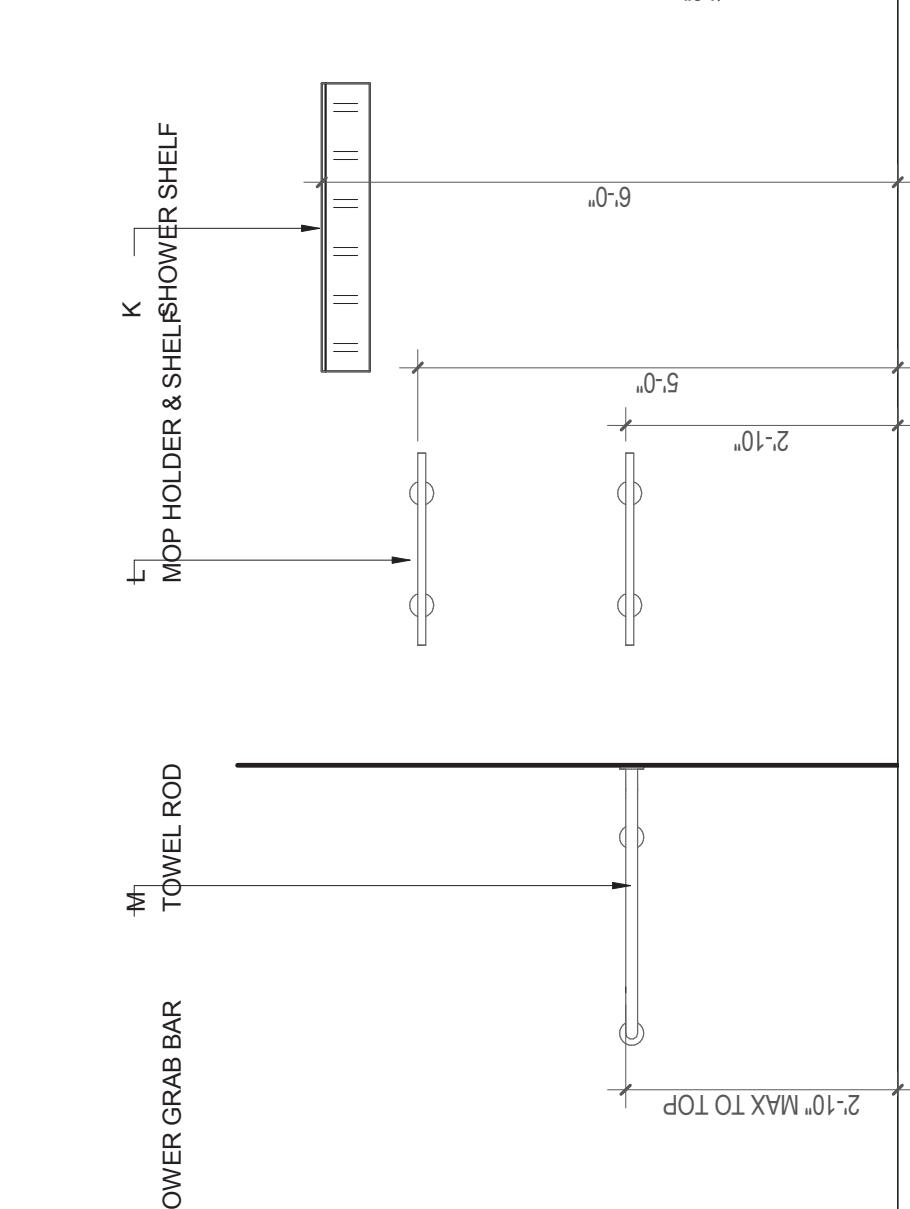
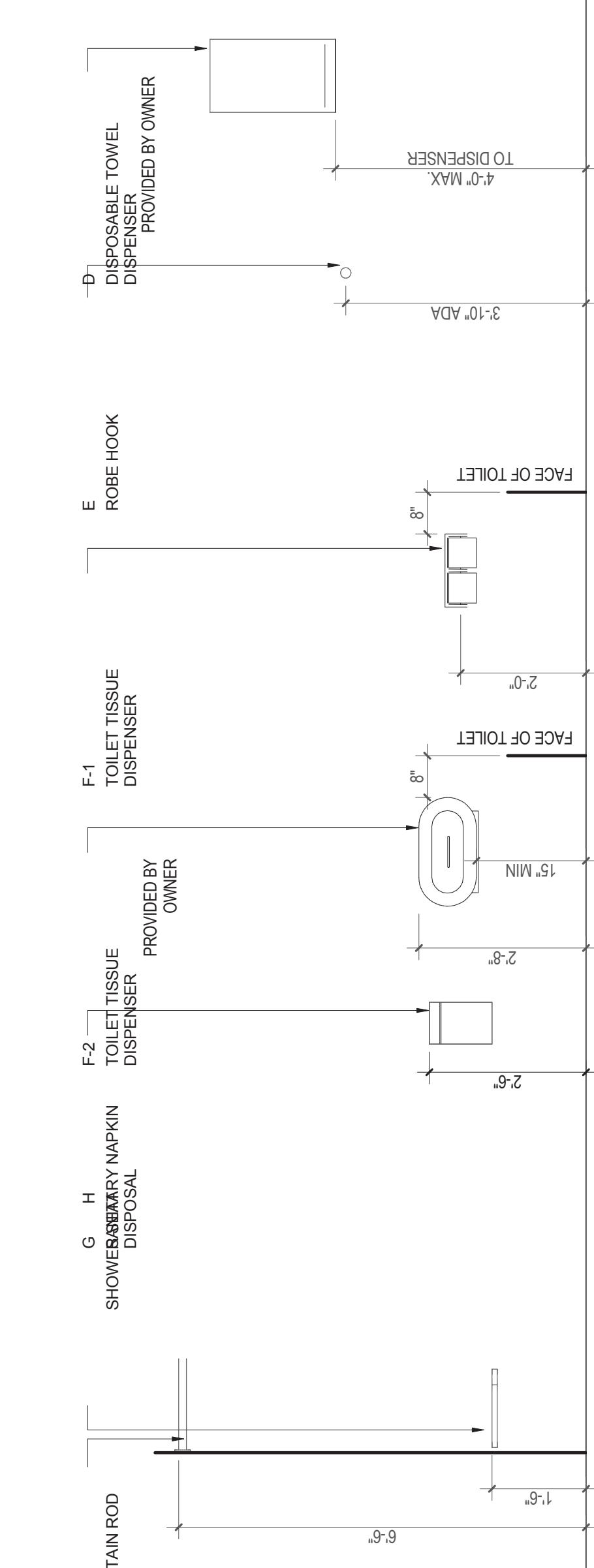
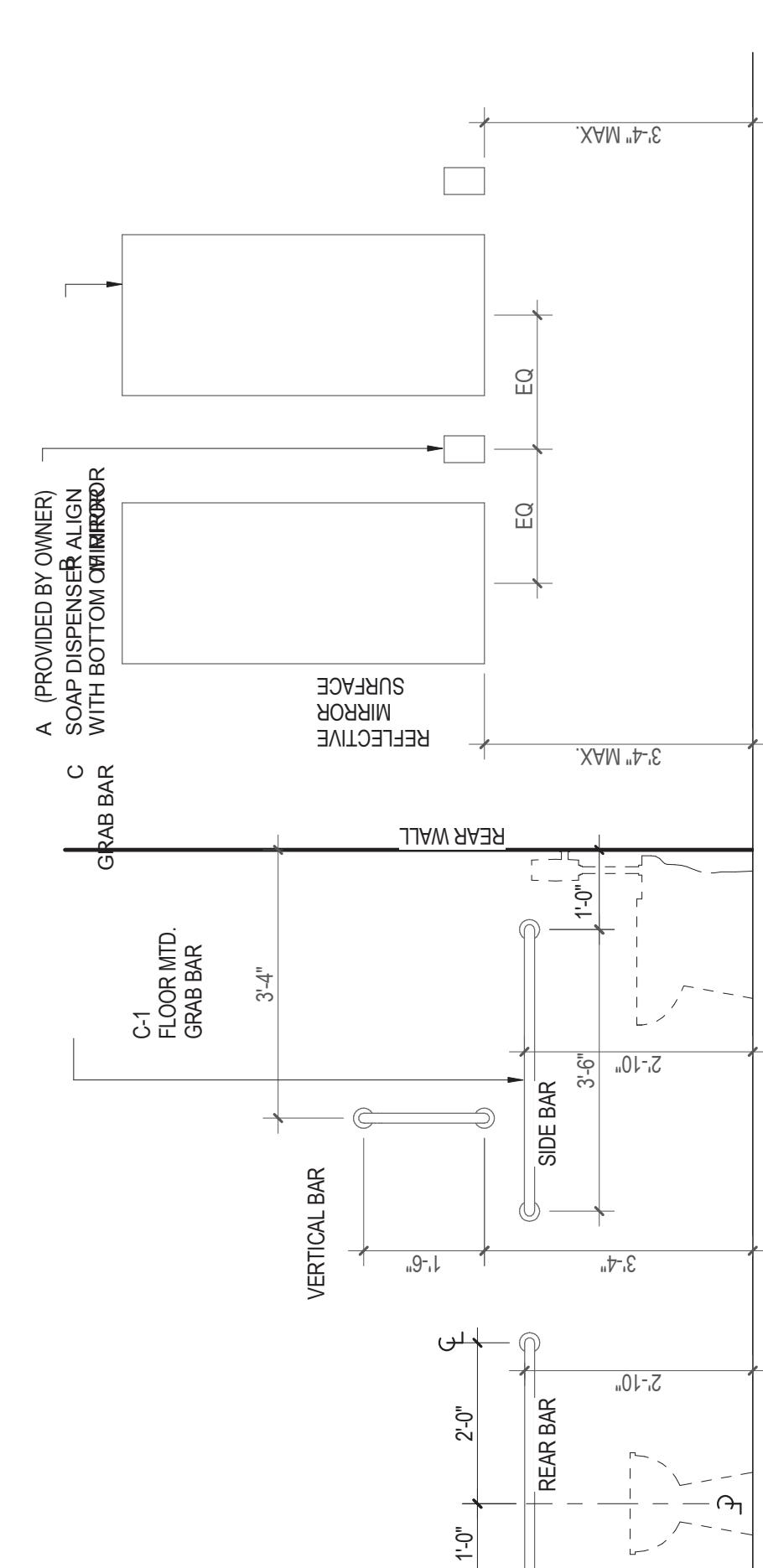
06 6113B CULTURED MARBLE FABRICATIONS -
CONVERTER TOP, W/ INTEGRATED SINK AND
STL. BRACKETS
06 6113C INTEGRATED MARBLE FABRICATIONS -
SHOWER WALL SURROUND & PANS
08 8300A MIRRORS
09 3015A CERAMIC TILING



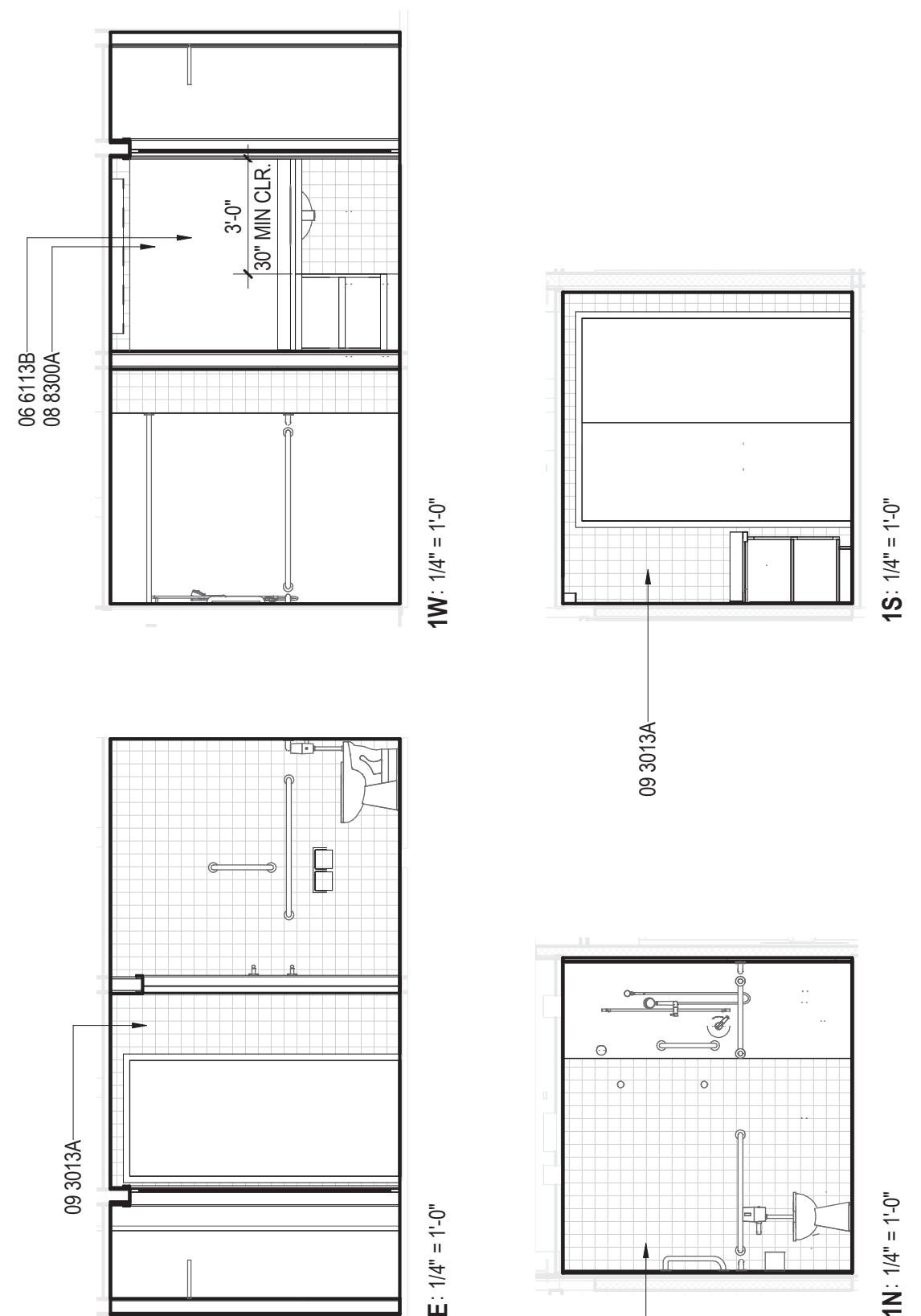
GRAPHIC SCALE - 132" = 1'-0"

ISSUES AND REVISIONS
NO. SUBMITTAL DATE
1 BID DOCUMENTS 05.19.14
1 Addendum 1 06.19.14
2 Addendum 2 06.24.14
3 Addendum 3 06.25.14
CONSTRUCTION SET 05.01.15

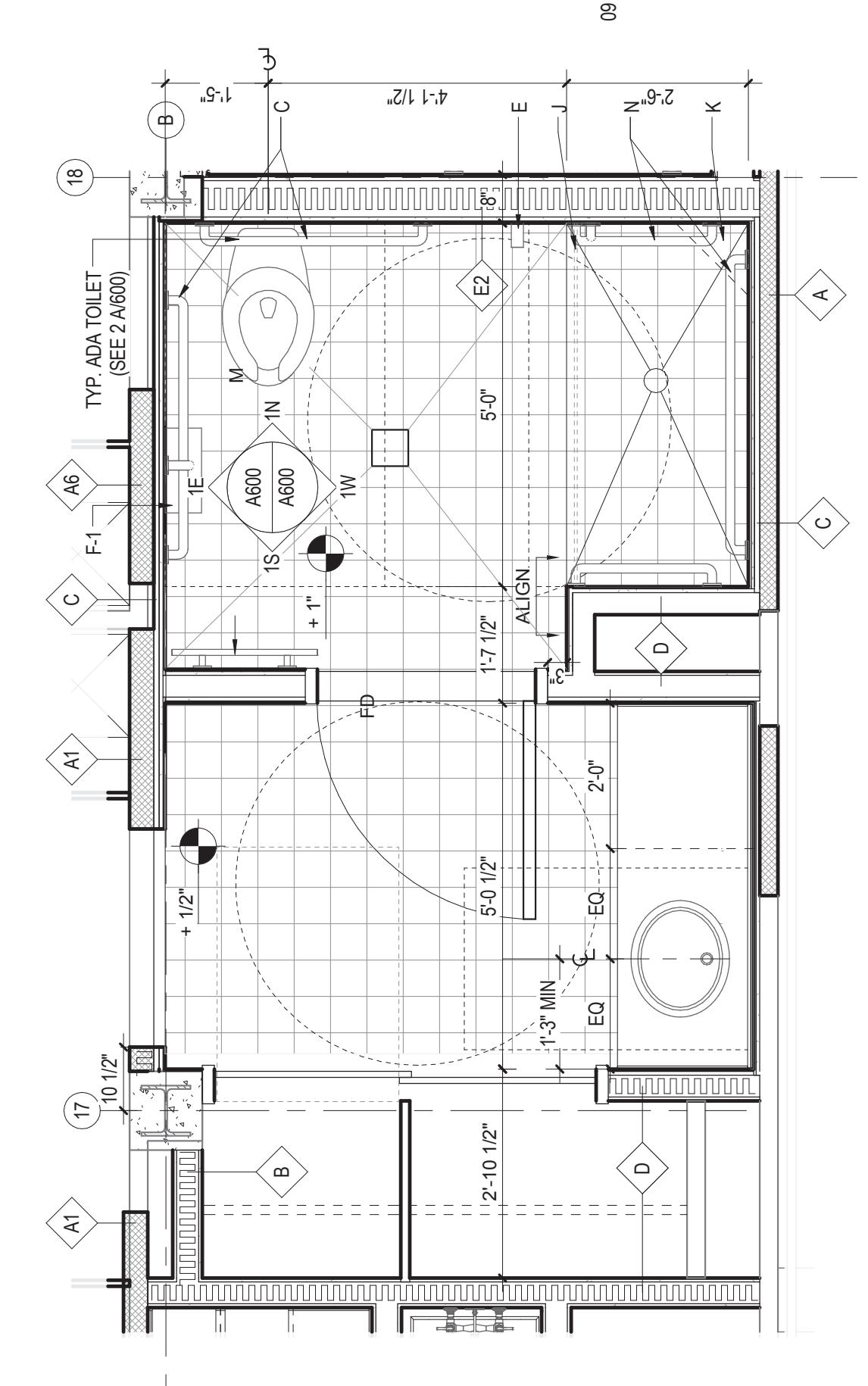
TOILET ACCESSORIES/
ENLARGED PLANS &
ELEVATIONS



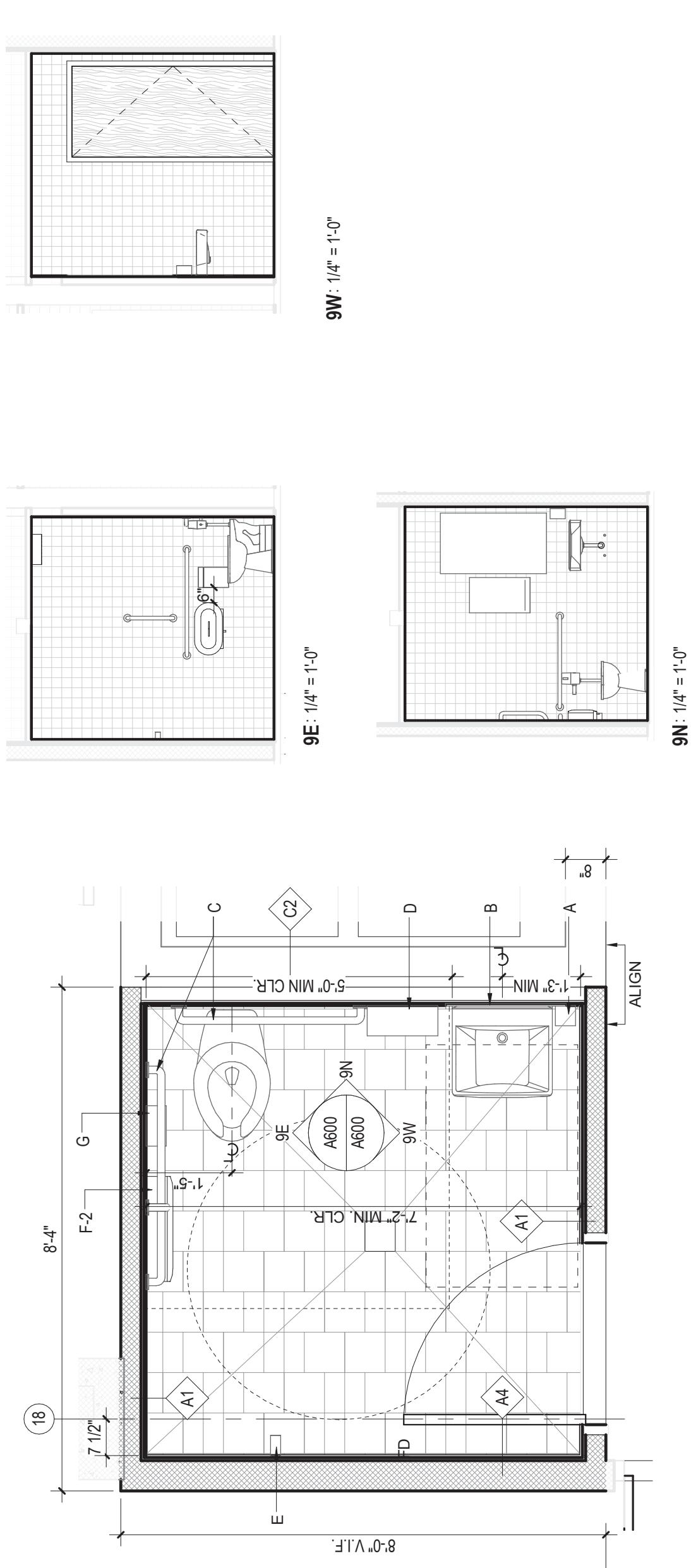
4 ENLARGED PLAN UNISEX TOILET A
A101/A600 1/2" = 1'-0"



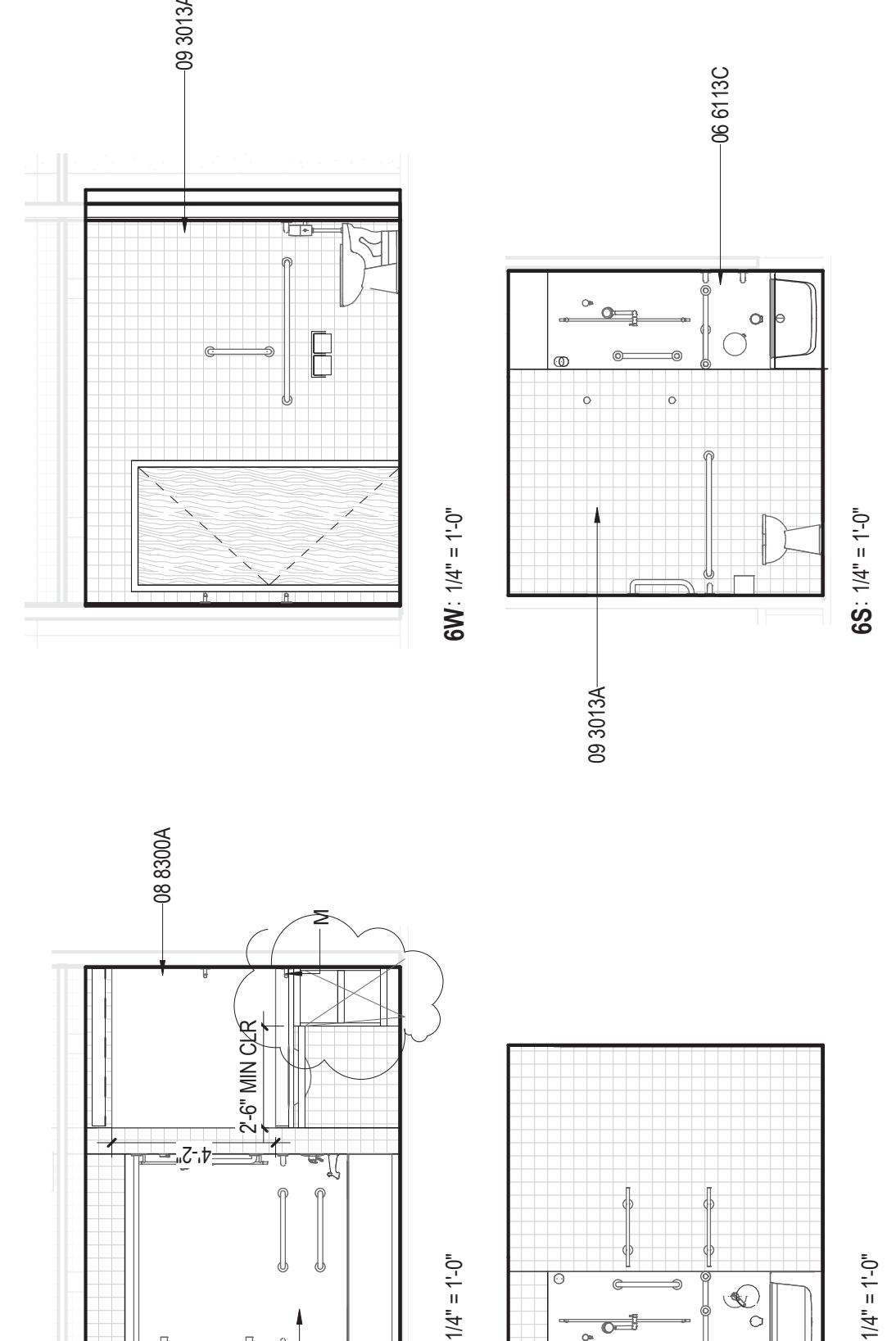
5 ENLARGED PLAN ADA TOILET A
A101/A600 1/2" = 1'-0"



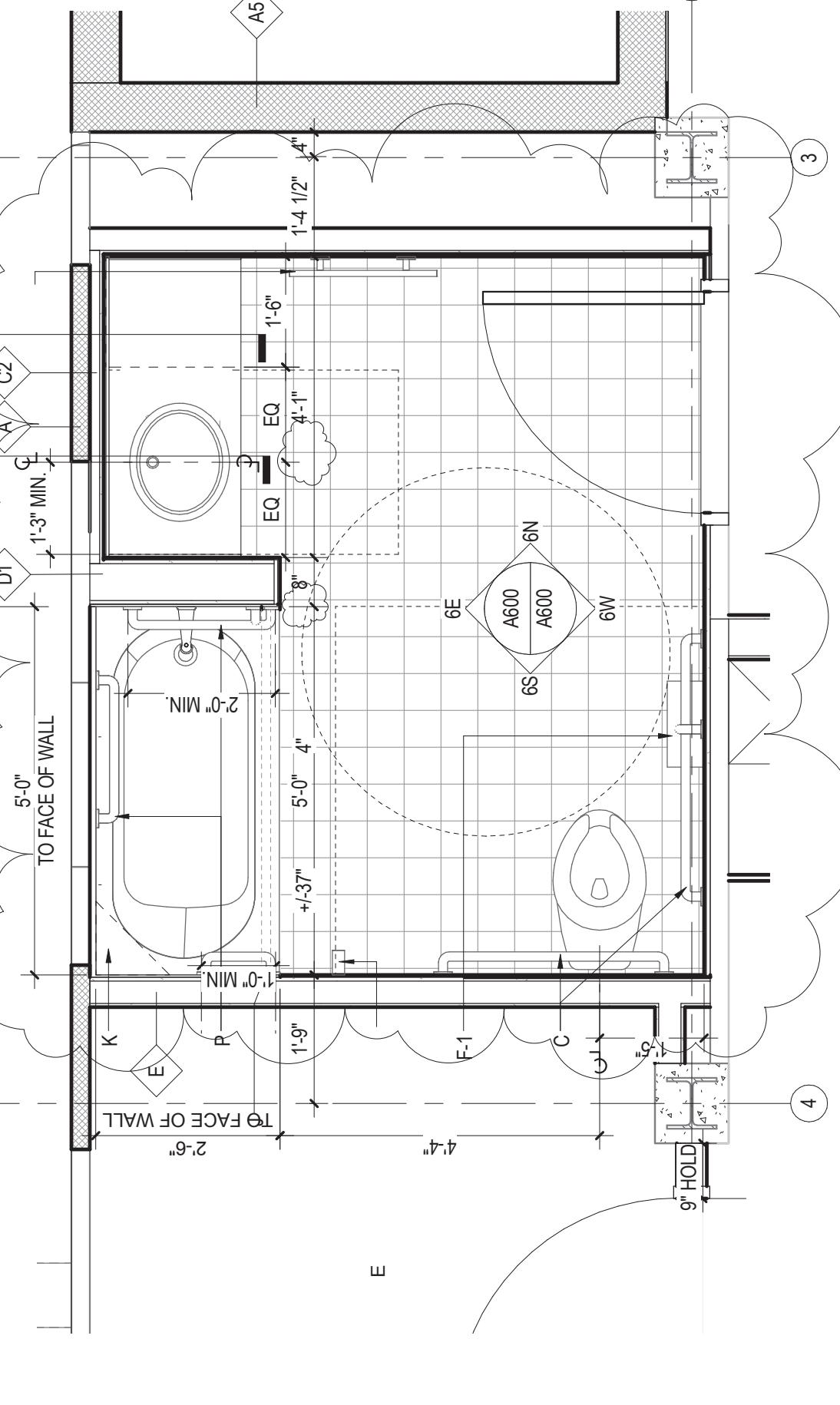
6 ENLARGED PLAN RD BATH
A101/A600 1/2" = 1'-0"



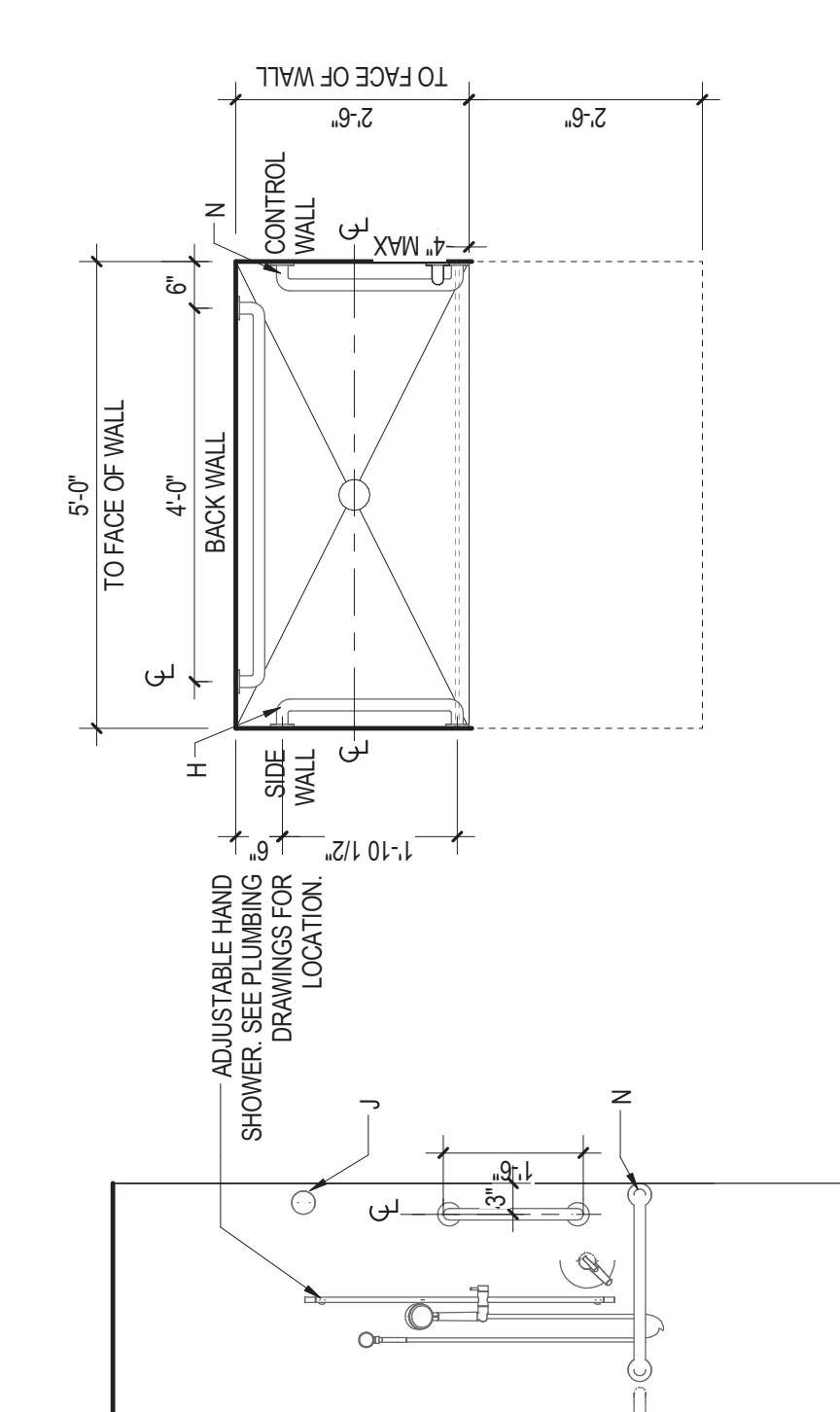
7 ENLARGED PLAN UNISEX TOILET B
A101/A600 1/2" = 1'-0"



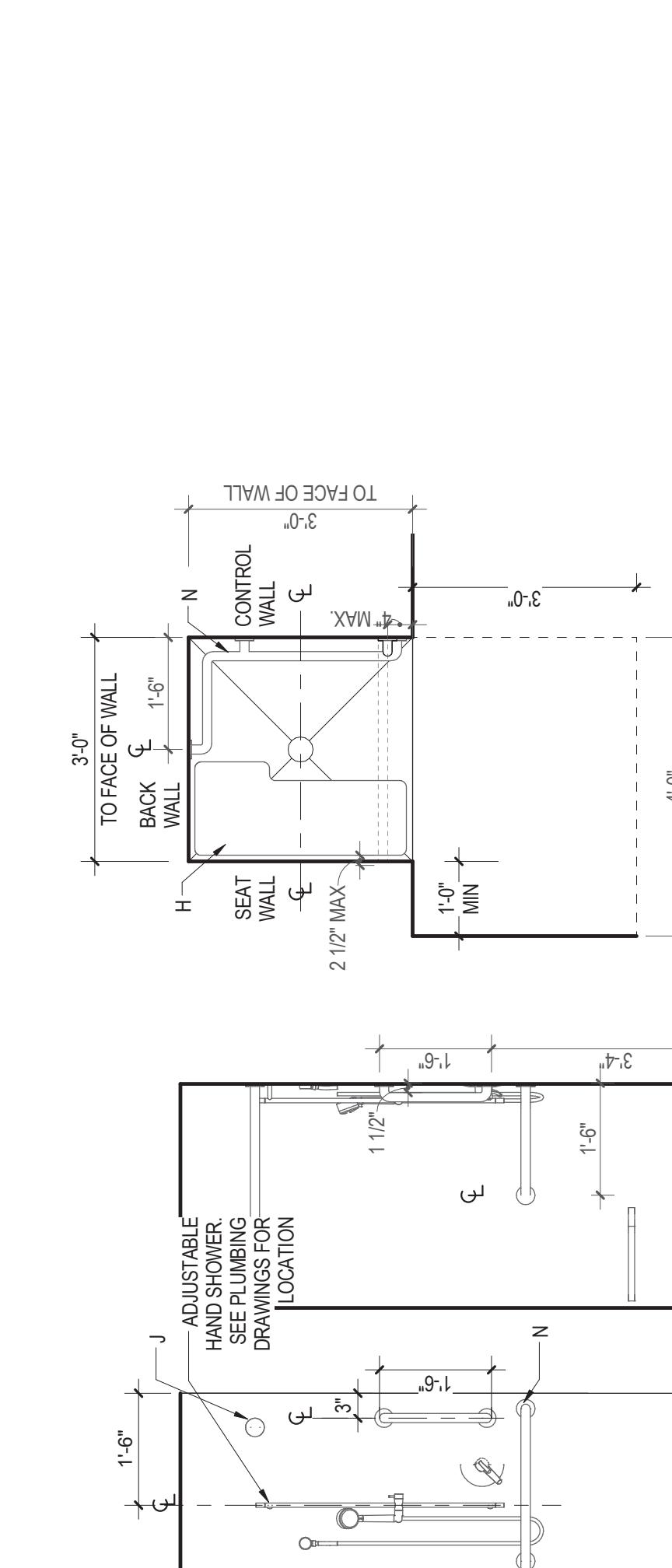
8 ENLARGED PLAN ADA TOILET B
A101/A600 1/2" = 1'-0"



9 ENLARGED PLAN RD BATH
A101/A600 1/2" = 1'-0"



13 TYPICAL 30'X60' ACCESSIBLE SHOWER
A600 1/2" = 1'-0"



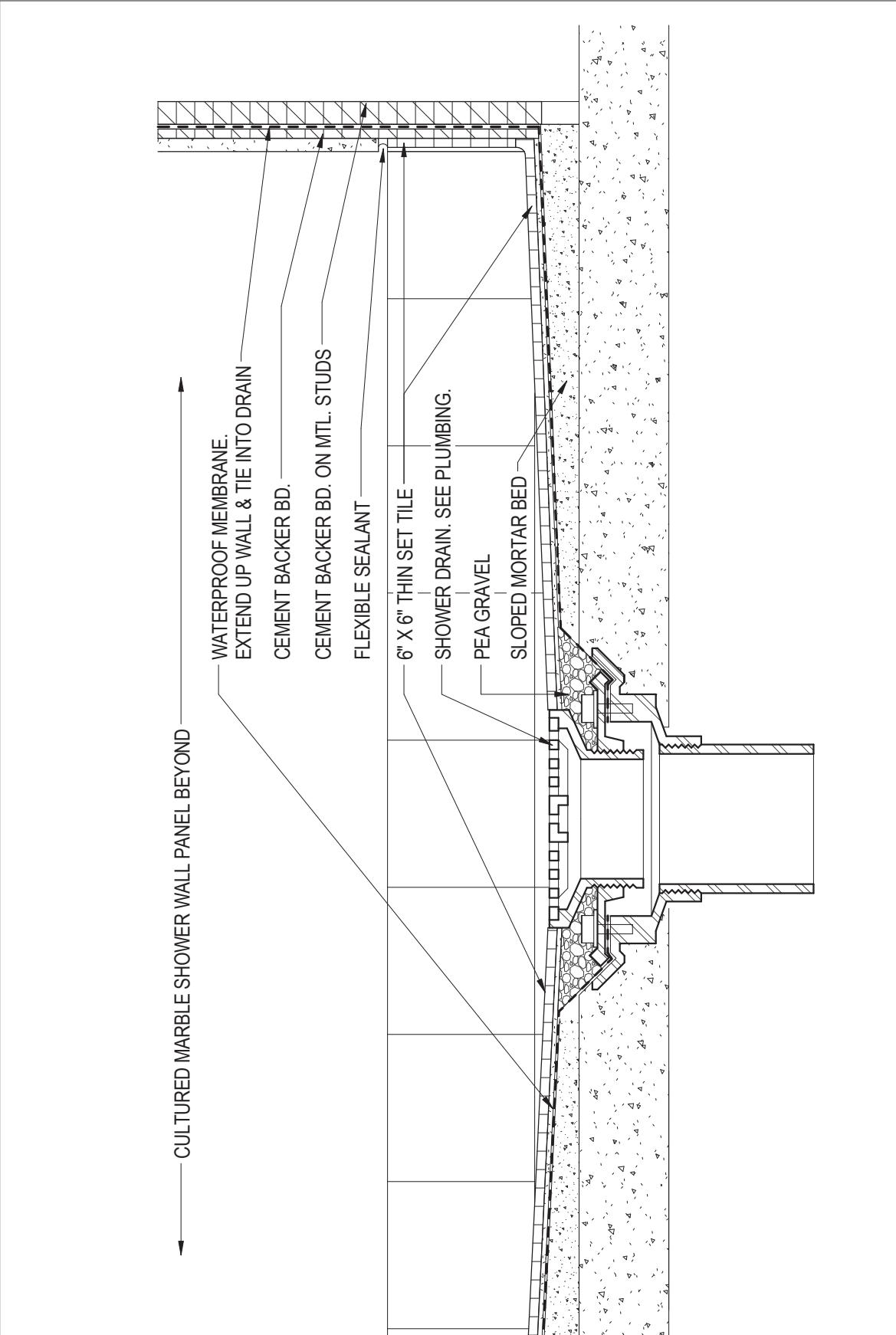
11 TYPICAL 36'X36' ACCESSIBLE SHOWER
A600 1/2" = 1'-0"

RU

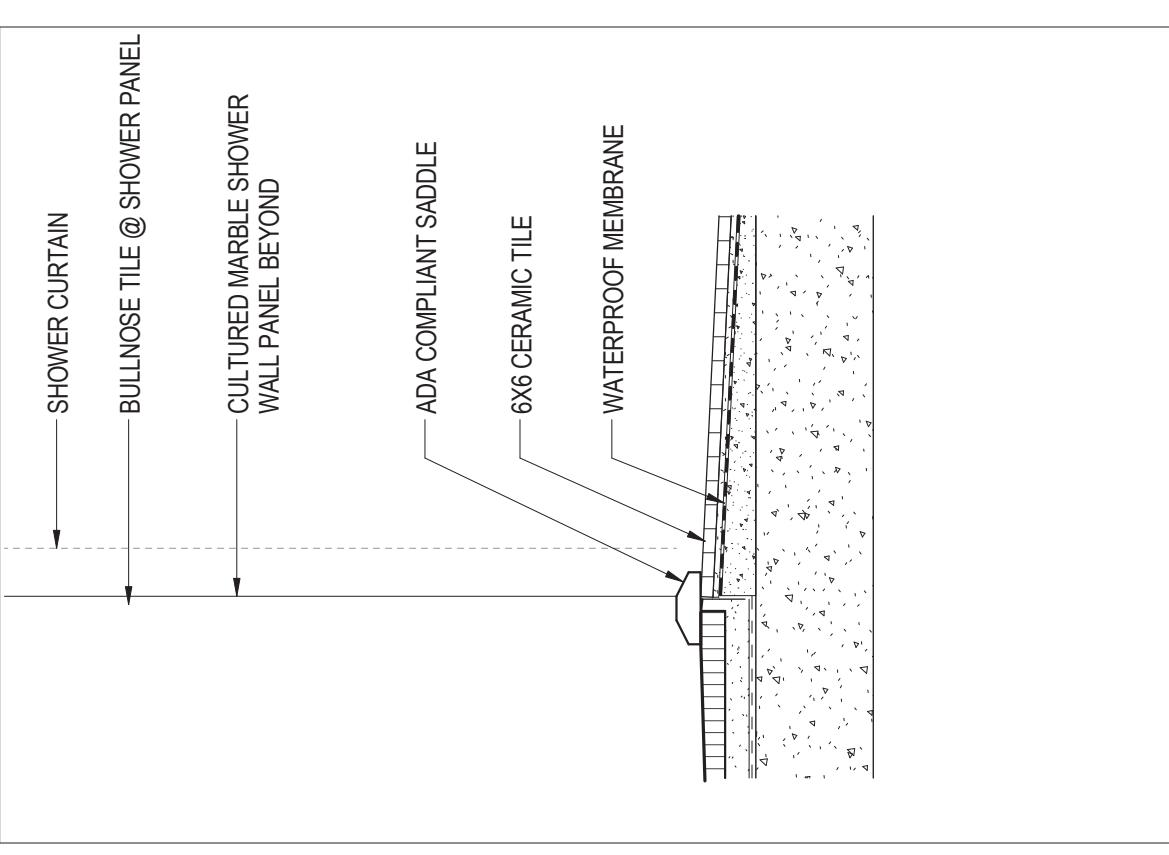
RADFORD
UNIVERSITY

RENOVATION OF THREE
RESIDENCE HALLS
DRAPER HALL

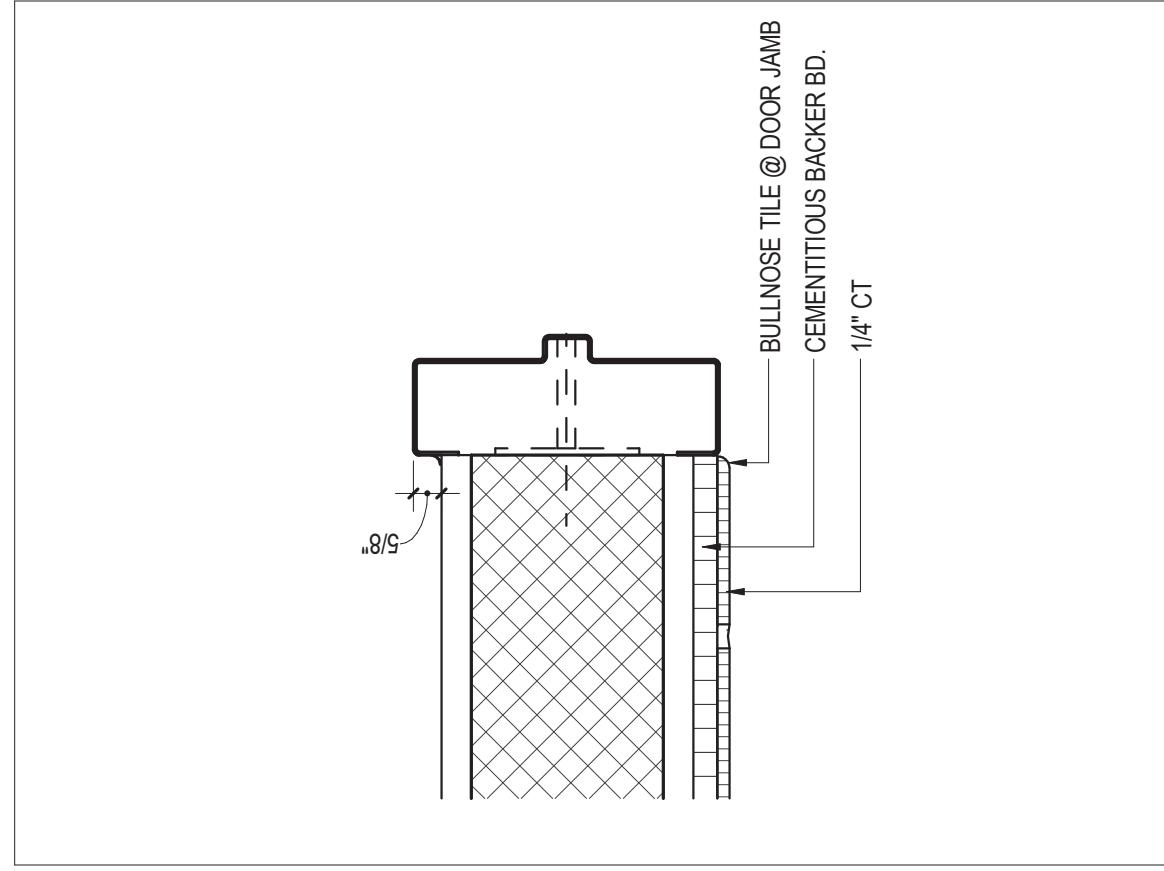
RADFORD UNIVERSITY
RADFORD, VIRGINIA
Project Code 217-17565-002
VMDO Project Number 1115



4 ACCESSIBLE SHOWER PAN TRANSITION
A602 3'-10"



5 ACCESSIBLE SHOWER PAN DETAIL
A602 3'-10"



9 TYP2 DETAIL @ BATHROOM DOOR JAMB
A602 3'-10"

MLW / ARS
DEM / MBW

Note: Modifications to the bid documents that were issued by addenda have been incorporated into these drawings for the convenience of the Contractor. In the event of discrepancies between the originally issued addenda and changes depicted on these drawings, the originally issued addenda shall take precedence.

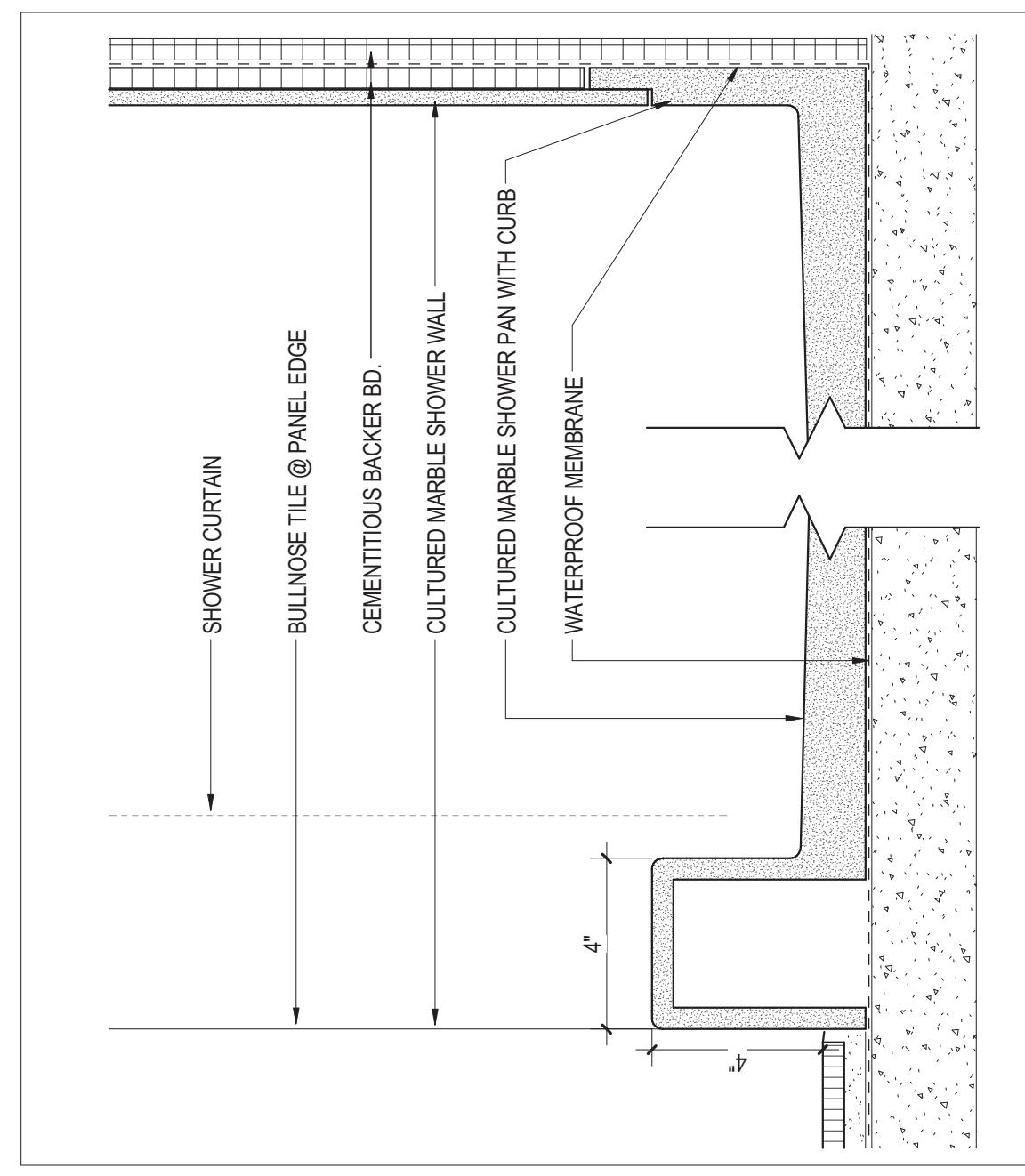
GRAPHIC SCALE - 1/32" = 1'-0"
0 32'-0" 64'-0" 96'-0"

Checked By
Drawn By

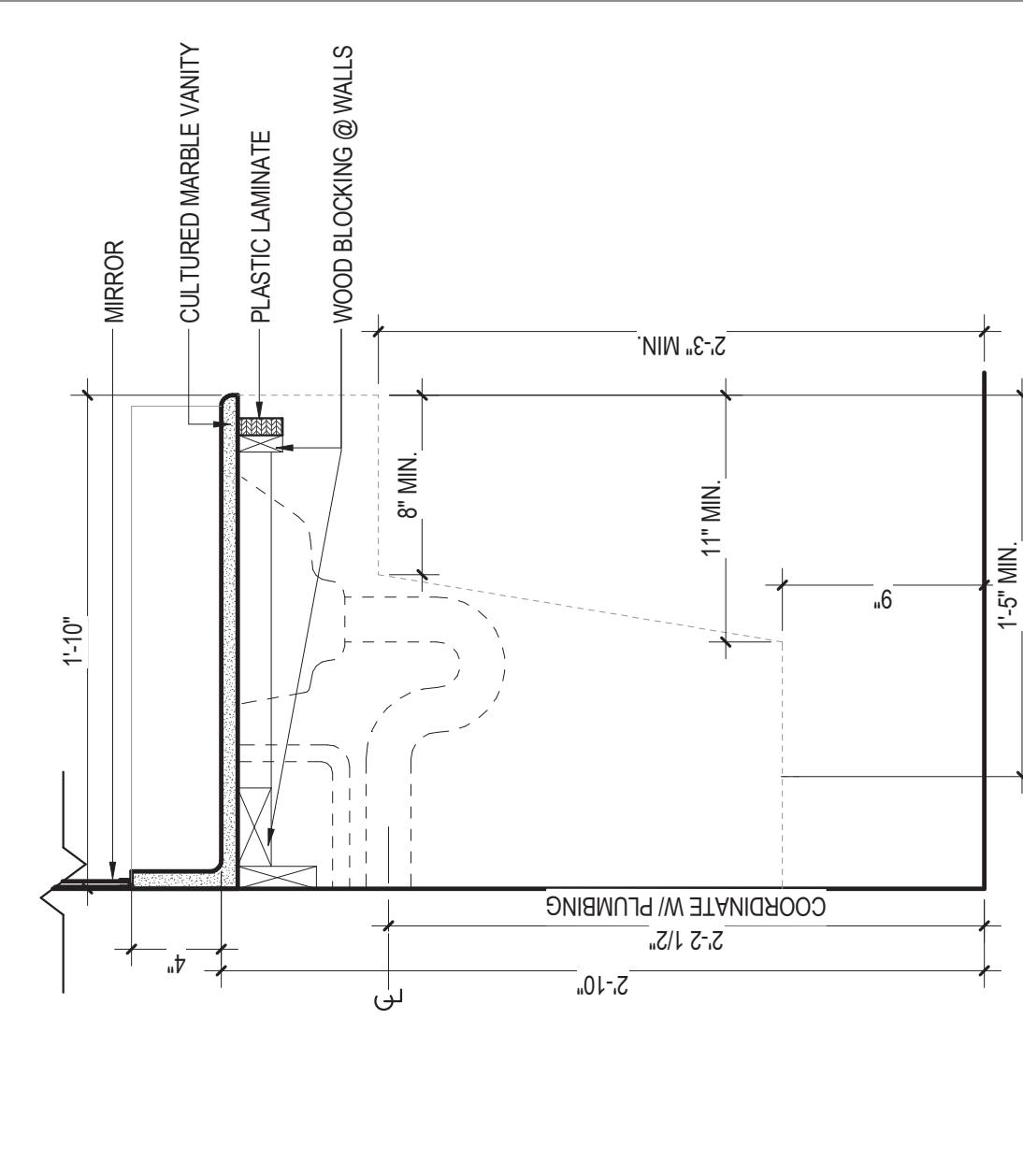
ISSUES AND REVISIONS
NO. SUBMITTAL
BID DOCUMENTS
CONSTRUCTION SET

DATE
05.19.14
05.31.15

BATHROOM DETAILS

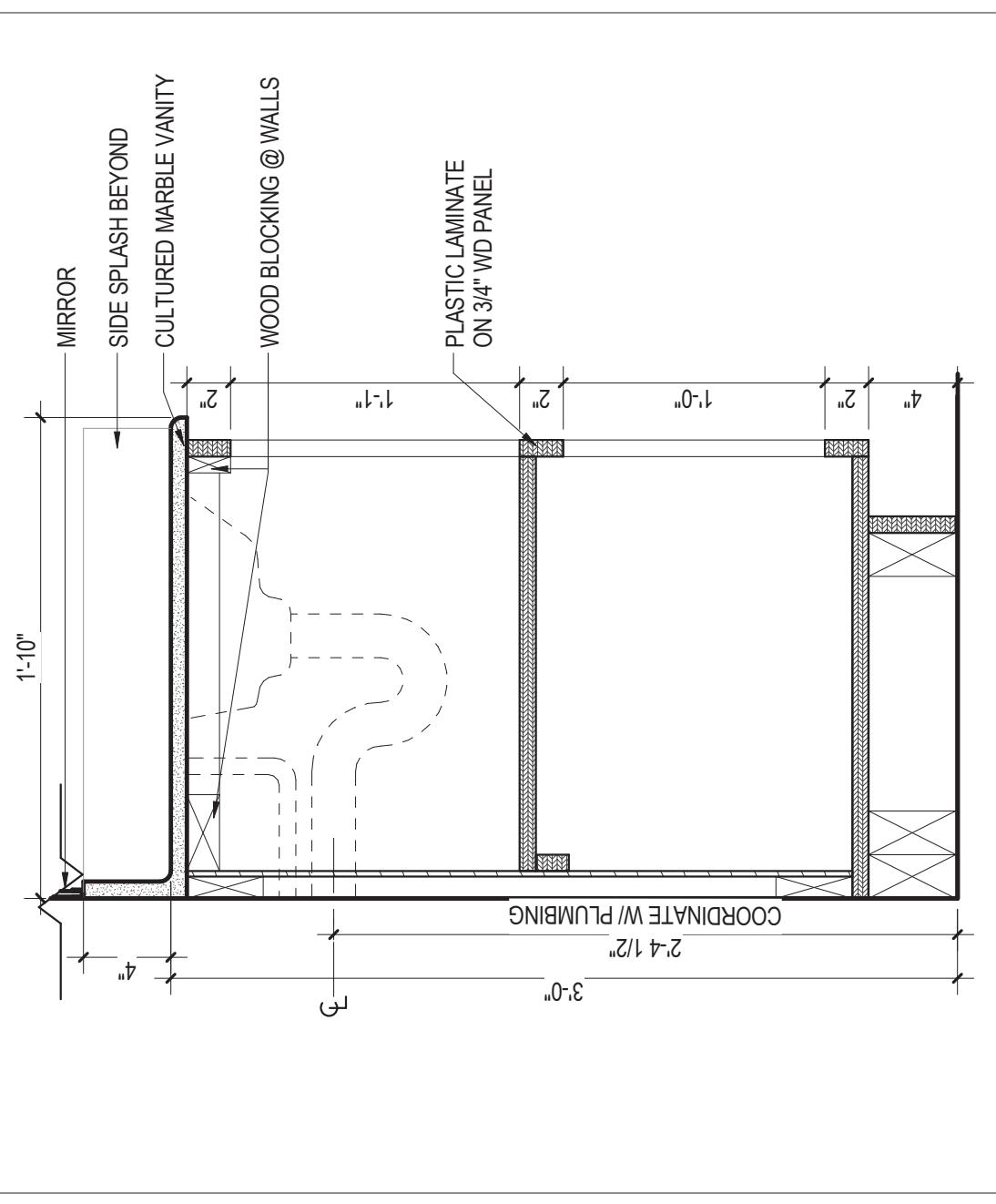


14 TYP SHOWER PAN DETAIL
A601/A602 3'-10"



15 DETAIL @ NEW TILE ON EXISTING BATHROOM WALL
A601/A602 3'-10"

TYP HC BATHROOM VANITY DETAIL
A600/A602 11/2' x 10'



16 TYP HC BATHROOM VANITY DETAIL
A600/A602 11/2' x 10"

TYP BATROOM VANITY DETAIL
A600/A602 11/2' x 10'

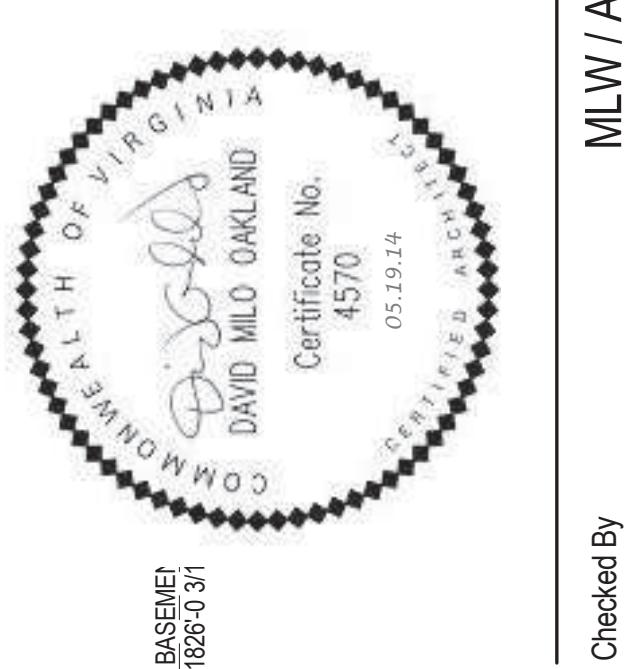
RU

RADFORD UNIVERSITY

RENOVATION OF THREE RESIDENCE HALLS DRAPER HALL

RADFORD UNIVERSITY
RADFORD, VIRGINIA

Project Code 217-17565-000
VMDO Project Number 1115



Note: Modifications to the bid documents that were issued by addenda have been incorporated into these drawings as the convenience of the Contractor. In the event of discrepancies between the originally issued addenda and changes made to these drawings, the originally issued addenda shall take precedence.

KEYNOTE LEGEND

EXISTING STAIRS TO REMAIN
DECORATIVE METAL RAILINGS - TYP.
HANDRAIL
DECORATIVE METAL RAILINGS - EGRESS
INTERIOR ARCHITECTURAL WOODWORK -
FIRE PROTECTION SYSTEM, SEE SP
MECHANICAL UNIT, SEE MECHANICAL
DRAWINGS.



GRAPHIC SCALE - 132" = 1'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

0 32'-0" 64'-0" 96'-0"

RU

RADFORD UNIVERSITY

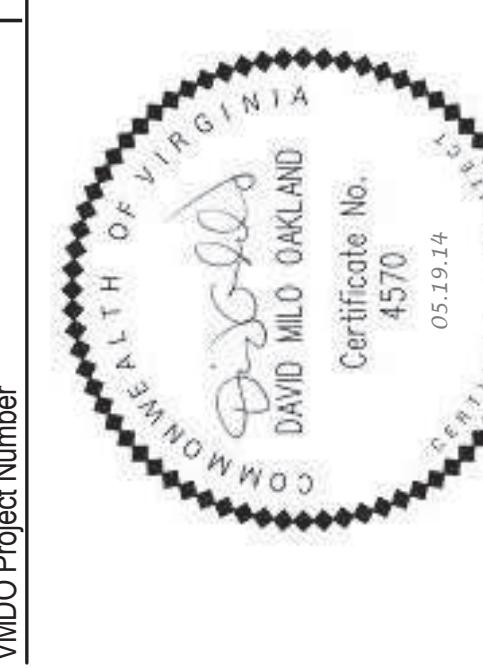
VMDO ARCHITECTS

200 E. MARKET STREET
OCEAN CITY, MD 21844
PH: 434-265-5584 FAX: 434-265-4465
www.vmdo.com

RENOVATION OF THREE RESIDENCE HALLS DRAPER HALL

RADFORD UNIVERSITY
RADFORD, VIRGINIA

Project Code 217-17565-000



Project Number 1115

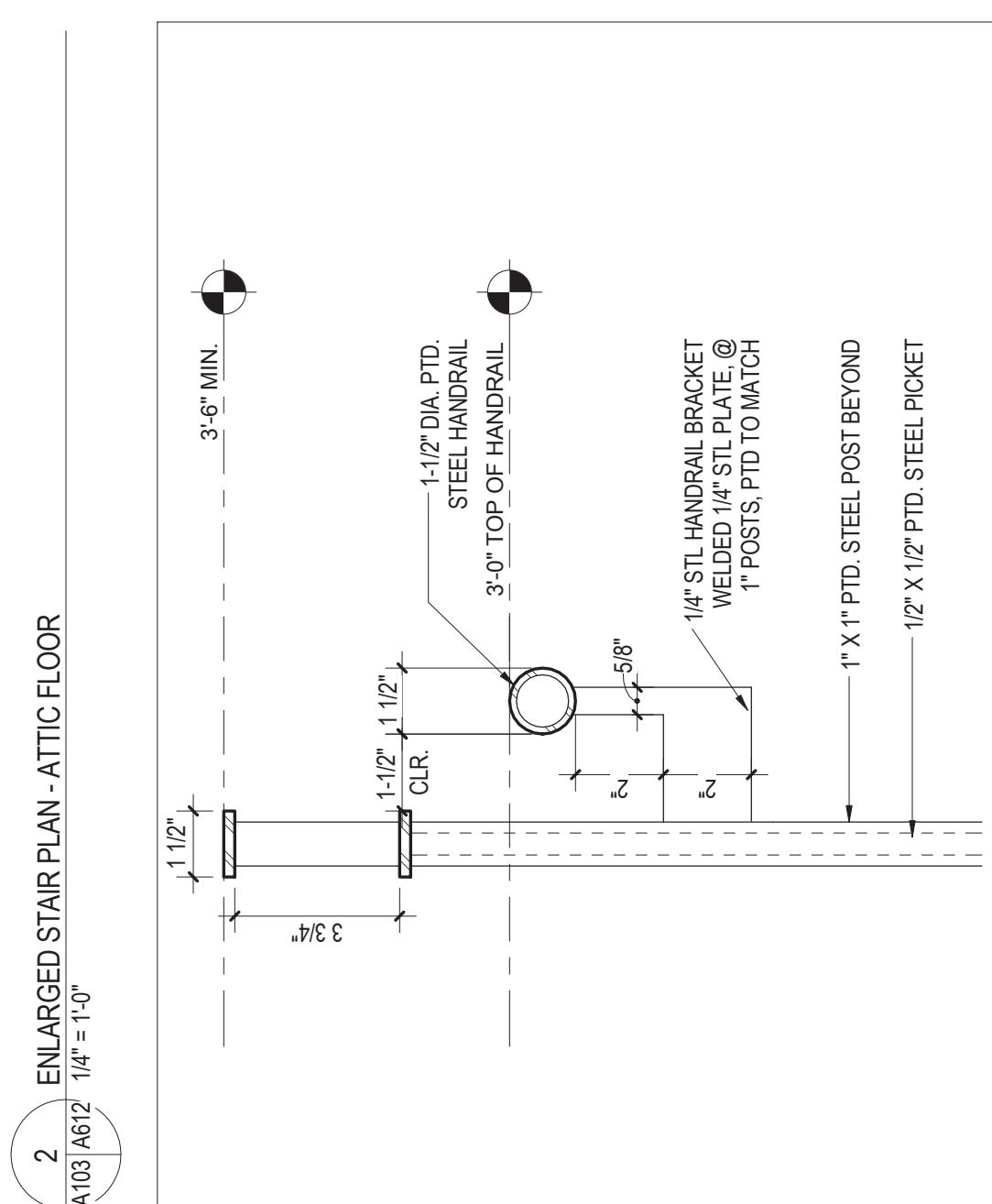
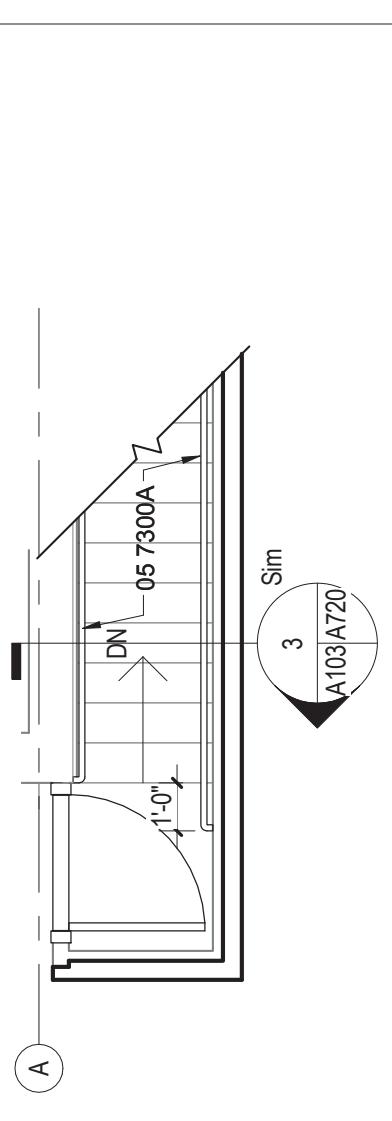
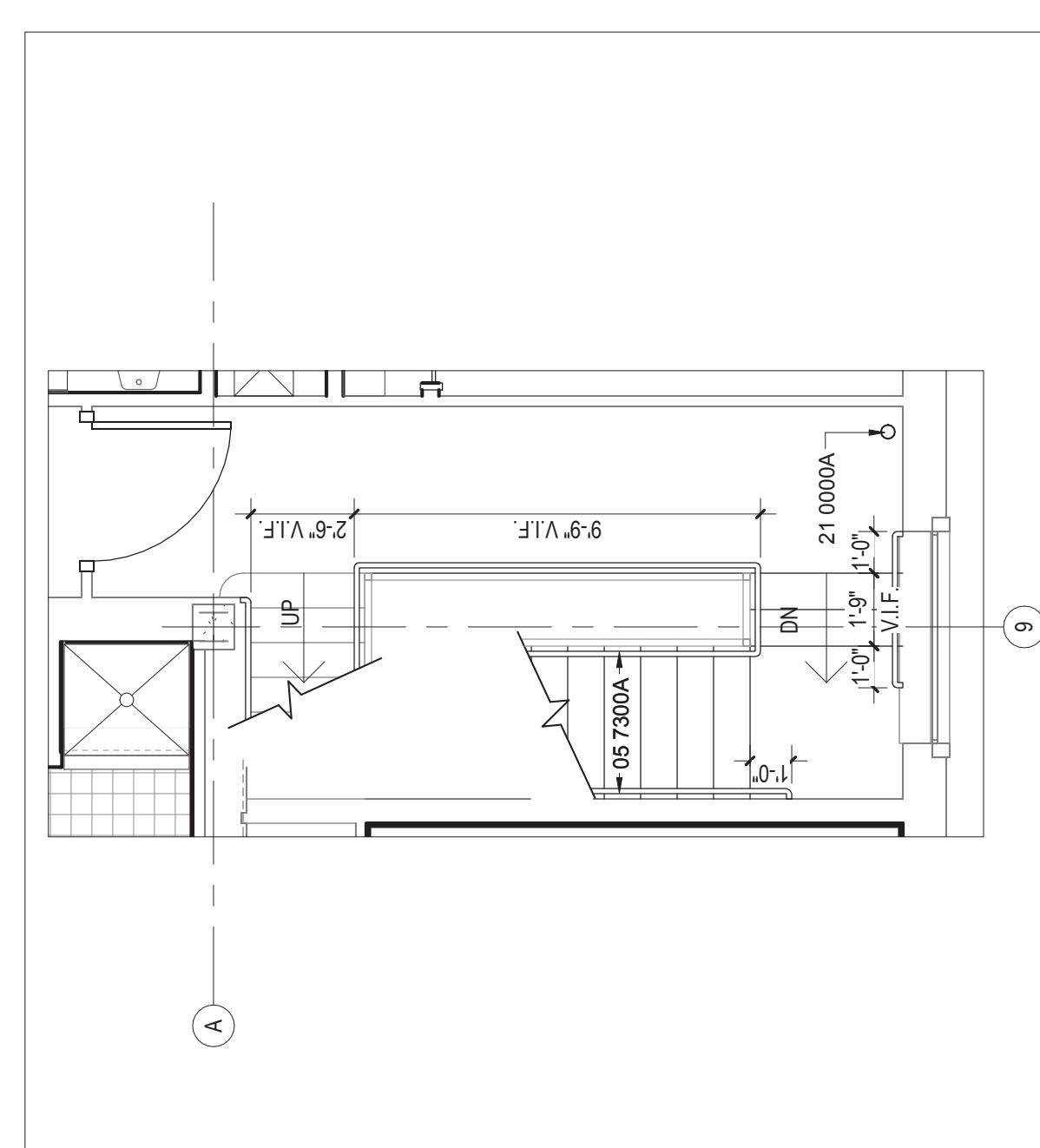
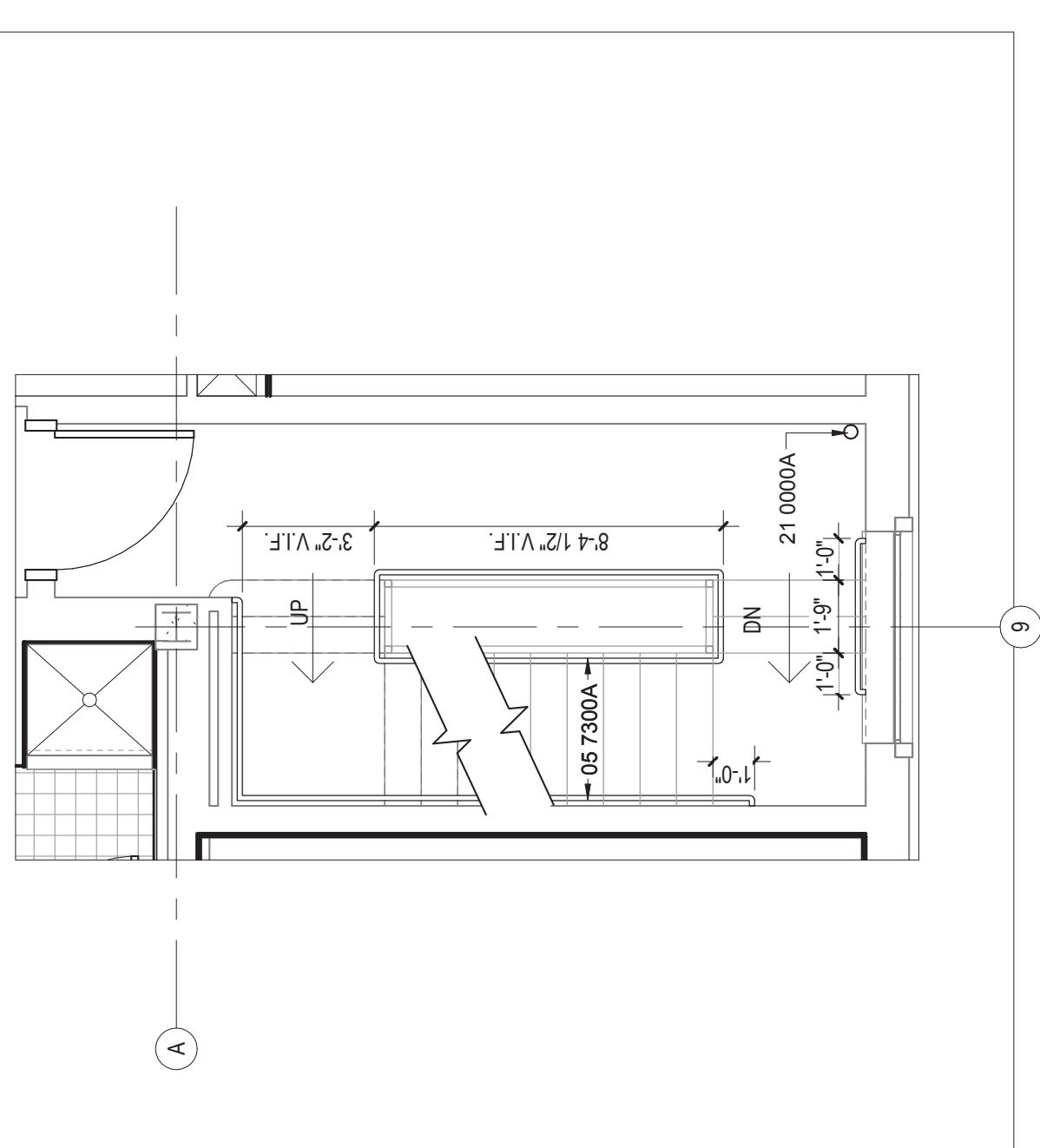
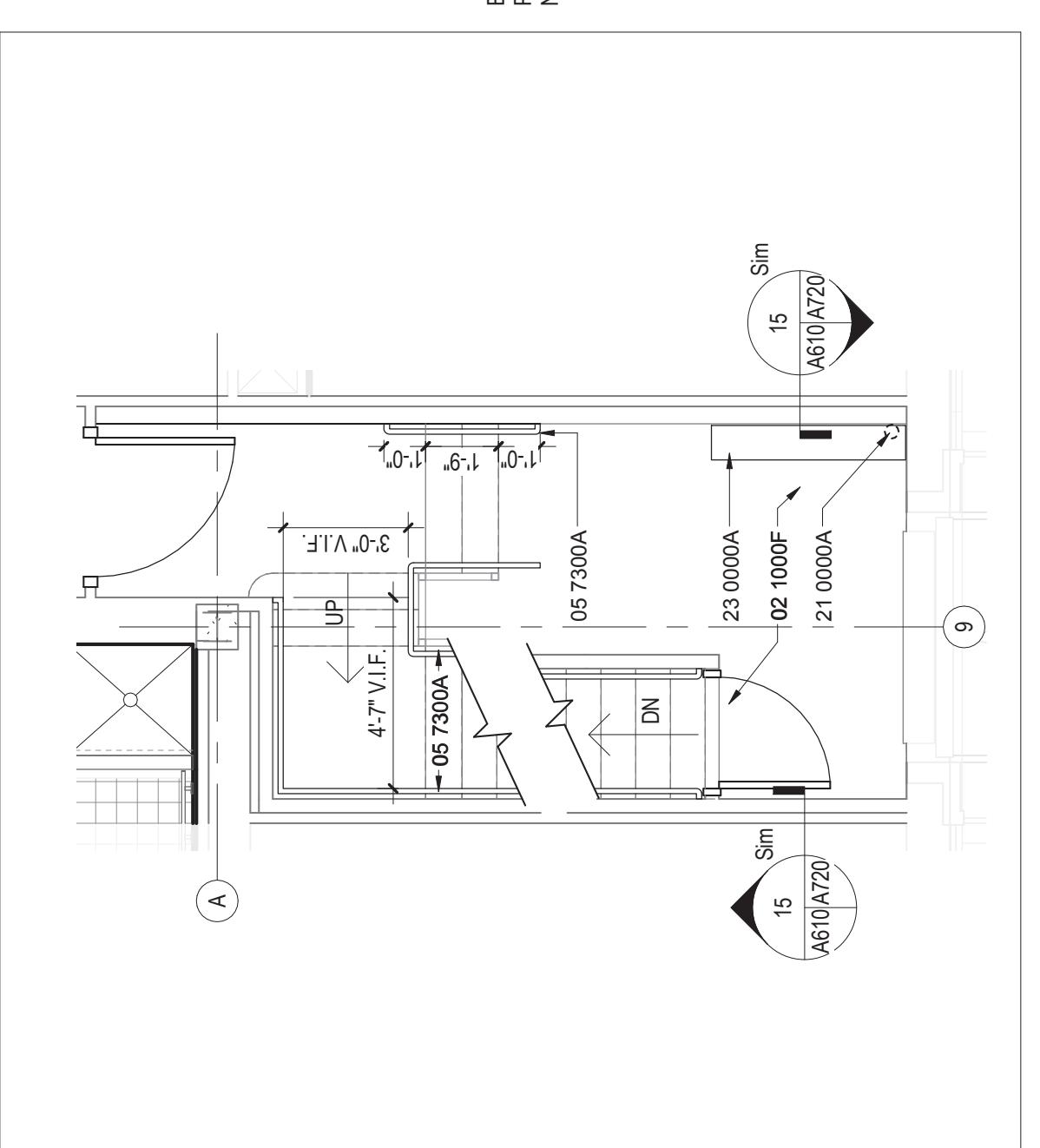
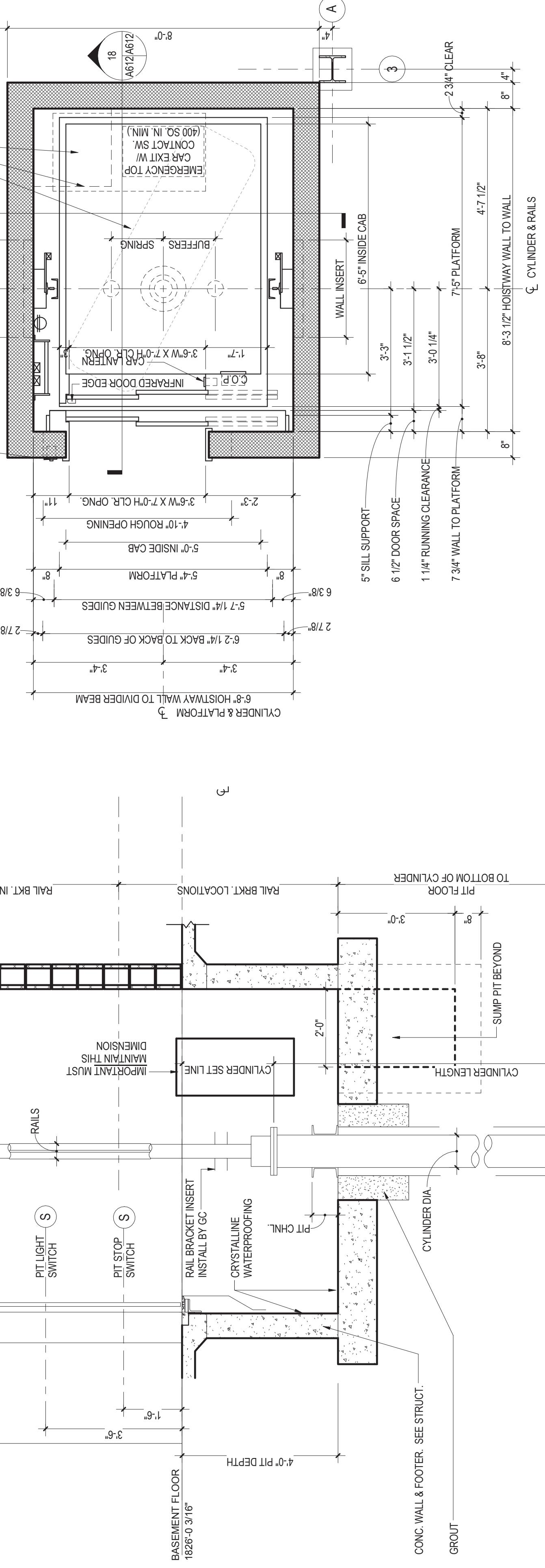
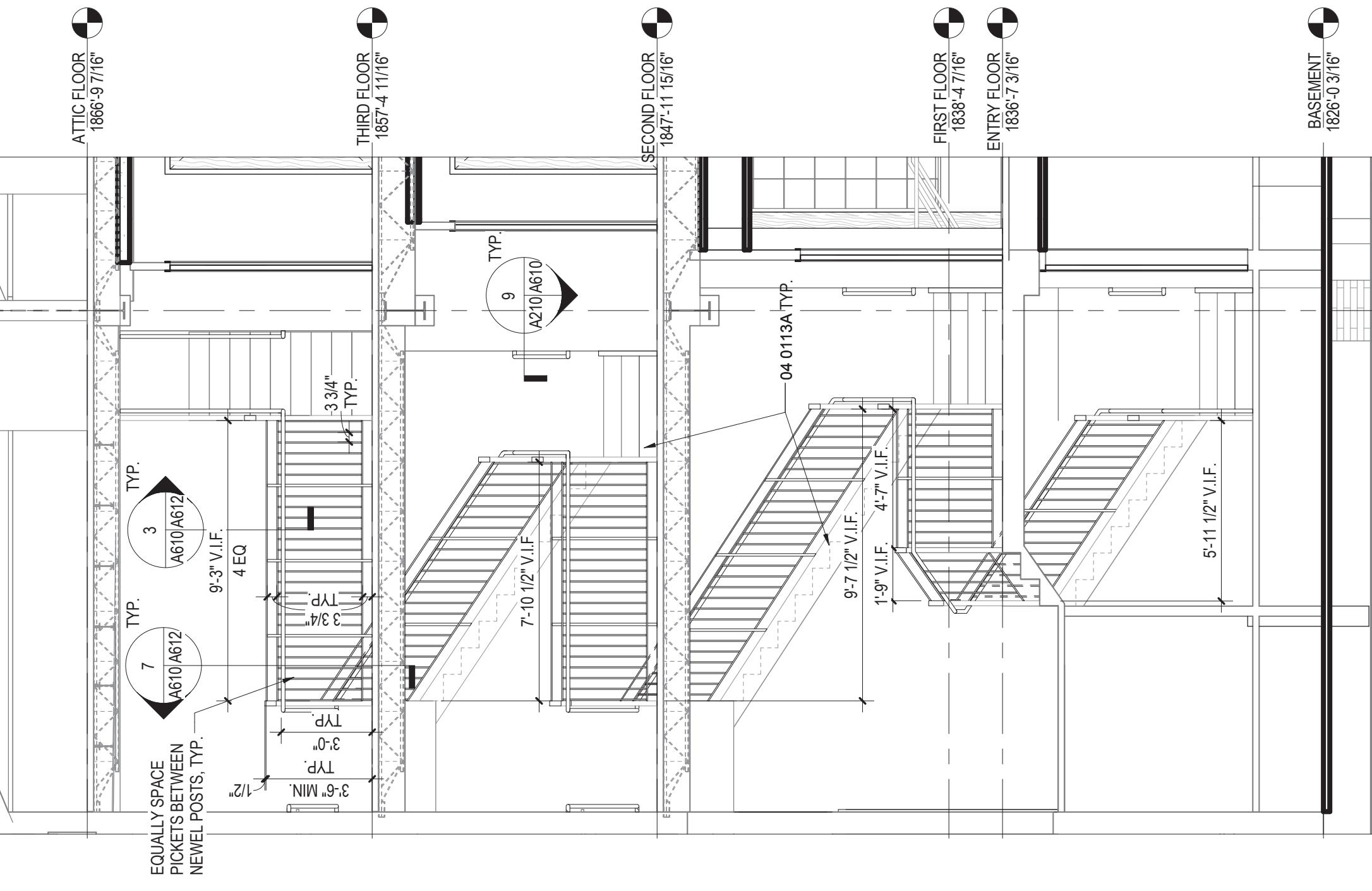
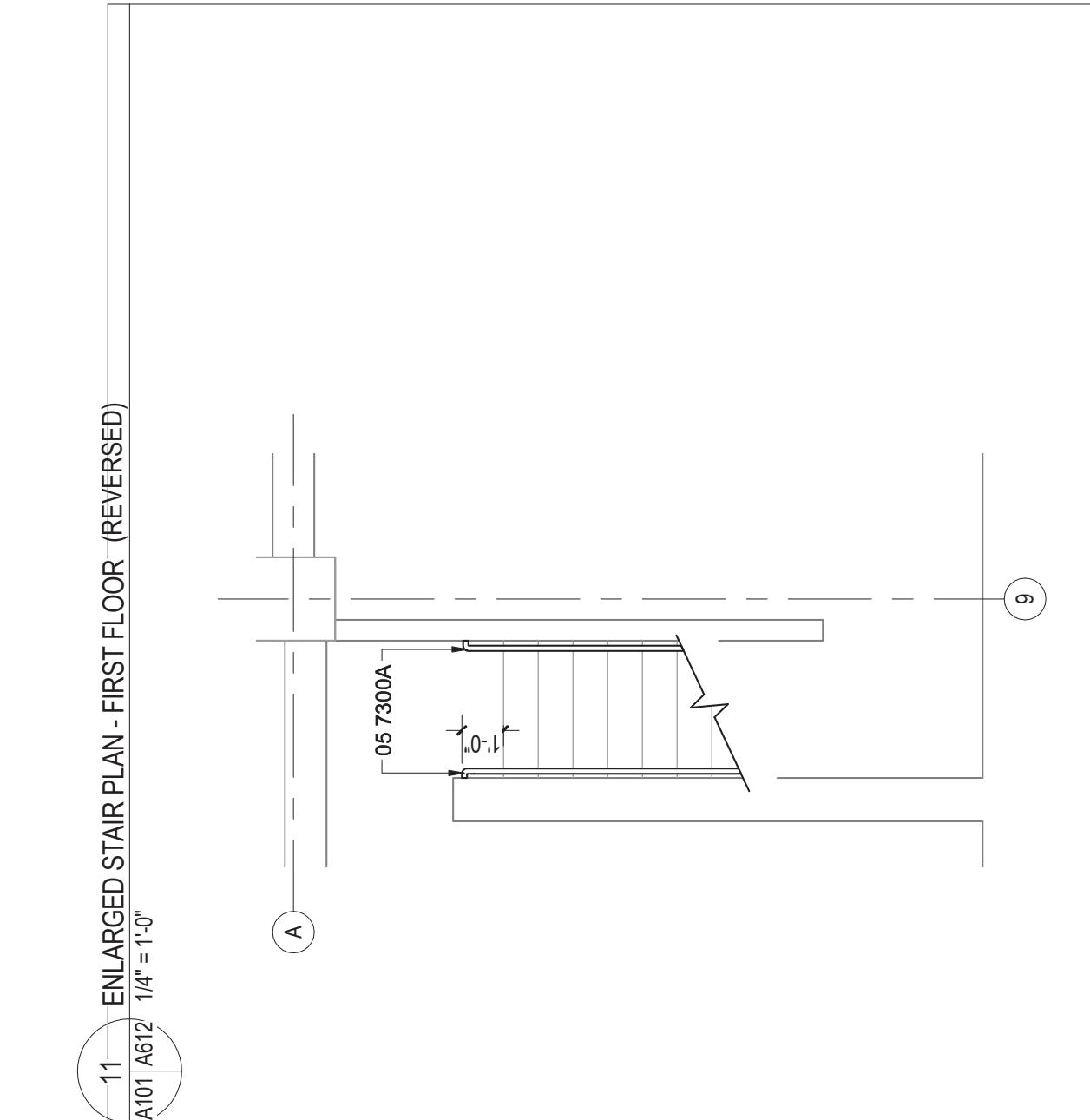
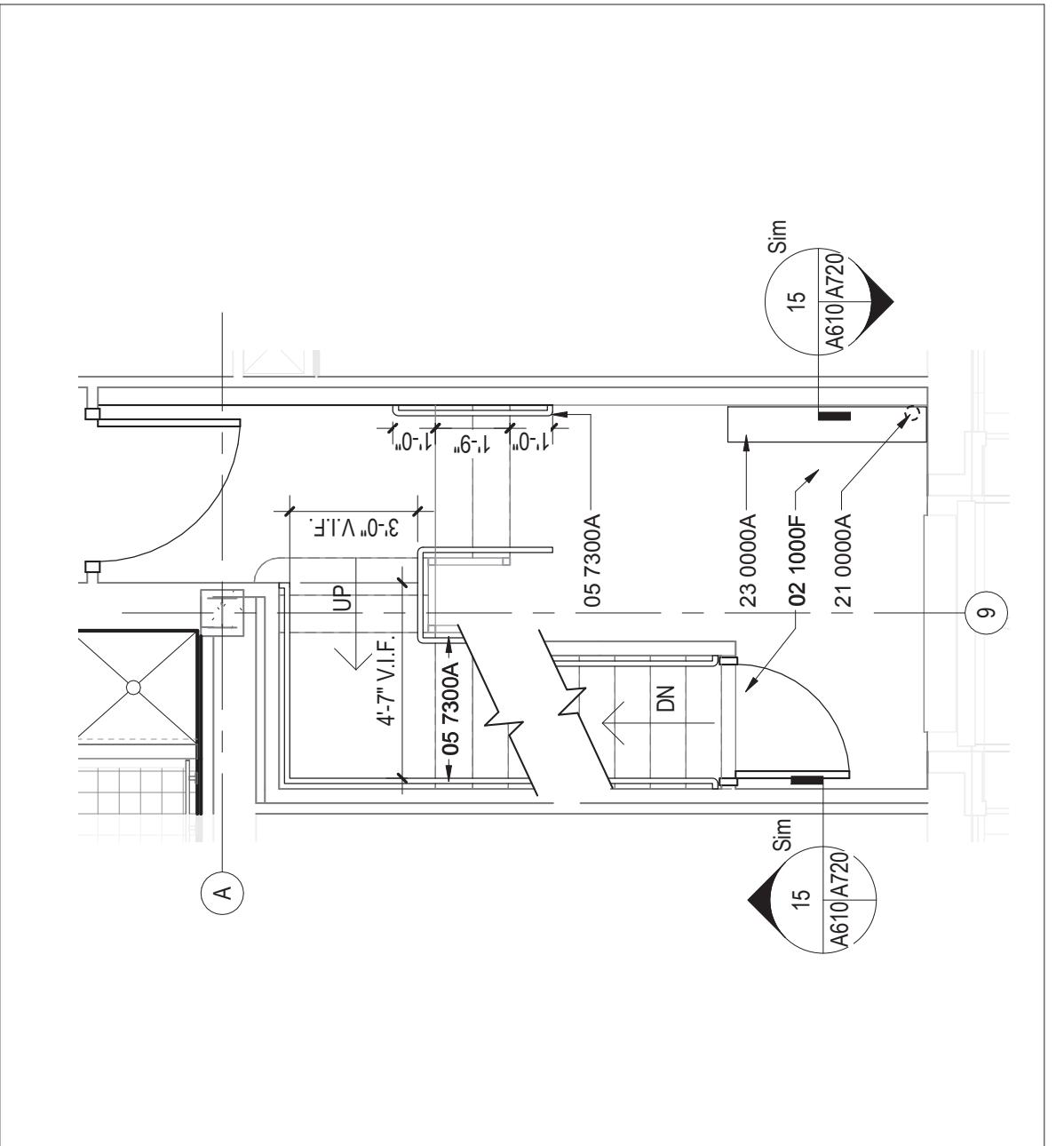
Checked By MBW

Note: Modifications to the bid documents that were issued by addenda have been incorporated into these drawings as the convenience of the Contractor. In the event of discrepancies between the originally issued addenda and changes made to these drawings, the originally issued addenda shall take precedence.

GRAPHIC SCALE - 132" = 1'-0"
0 32'-0" 64'-0" 96'-0"

STAIR AND ELEVATOR PLANS AND SECTIONS

KEYNOTE LEGEND
EXISTING STAIRS TO REMAIN
STONE TREADS AND FLOORING - CLEAN
CLEANERS THAT ARE ABRASIVE OR CONTAIN
ACIDS
DECORATIVE METAL RAILINGS - 1 1/2" HANDBR
FIRE PROTECTION SYSTEM SEE SP SHEETS
MECHANICAL UNIT SEE MECHANICAL DRAWINGS

2 ENLARGED STAIR PLAN - ATTIC FLOOR
A610/A612 1/4" = 1'-0"1 ENLARGED STAIR PLAN - THIRD FLOOR (REVERSED)
A610/A612 1/4" = 1'-0"6 ENLARGED STAIR PLAN - SECOND FLOOR (REVERSED)
A610/A612 1/4" = 1'-0"11 ENLARGED STAIR PLAN - FIRST FLOOR (REVERSED)
A610/A612 1/4" = 1'-0"20 ENLARGED ELEVATOR PLAN
A610/A612 1/4" = 1'-0"17 STAR SECTION - EXISTING STAIR (REVERSED)
A610/A612 1/4" = 1'-0"16 ENLARGED STAIR PLAN - BASEMENT (REVERSED)
A610/A612 1/4" = 1'-0"

RADFORD UNIVERSITY

VMDO ARCHITECTS

200 E MARKET STREET
CHARLOTTESVILLE, VA 22902
P 434.296.5684 F 434.296.4496
www.vmdo.com

KEYNOTE LEGEND

2 1000A	EXISTING BRICK TO REMAIN
2 1000C	EXISTING WINDOWS TO REMAIN
2 1000G	EXISTING WOOD TRIM TO REMAIN
2 1000H	EXISTING STONE BASE TO REMAIN
2 1000J	EXISTING HANDRAIL TO REMAIN
5 1200A	STRUCTURAL STEEL FRAMING
5 7000A	DECORATIVE METAL - FIREPLACE DOO
5 7100A	DECORATIVE METAL STAIRS
5 7300A	DECORATIVE METAL RAILINGS - TYP.H
5 7300C	DECORATIVE METAL RAILINGS - CANE I
5 7313A	GLAZED DECORATIVE METAL RAILINGS
5 7313B	GLAZED DECORATIVE METAL RAILINGS STOP
6 4113A	INTERIOR ARCHITECTURAL WOODWORK VENEER CABINETS
6 4113B	INTERIOR ARCHITECTURAL WOODWORK TELEVISION SURROUND
6 4216A	FLUSH WOOD PANELING - STAINED MA
6 4400A	ORNAMENTAL WOODWORK - WD.
6 4400B	BENCH/BANQUETTE ORNAMENTAL WOODWORK - BEDROOM BOARD
6 4400C	ORNAMENTAL WOODWORK - CORRIDO MESSAGE BOARD
8 3113A	ACCESS DOORS AND FRAMES
8 4113A	ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS
8 4126A	ALL-GLASS STOREFRONTS
8 4413A	GLAZED ALUMINUM CURTAIN WALLS
9 2613A	GYPSUM VENEER PLASTERING
9 2900A	GYPSUM BOARD
9 5436A	SUSPENDED DECORATIVE GRIDS
9 6413A	WOOD FLOORING - BAMBOO
9 6413B	WOOD BASE - BAMBOO
1 0000A	EQUIPMENT - VENDING MACHINES (NIC)
2 3661A	SIMULATED STONE COUNTERTOPS - Q AGGLOMERATE
2 0000A	PLUMBING FIXTURE. SEE PLUMBING DR
3 0000A	MECHANICAL UNIT. SEE MECHANICAL D
6 0000A	ELECTRICAL EQUIPMENT. SEE ELECTR DRAWINGS.
6 5000A	LIGHTING. SEE ELECTRICAL DRAWING

Project Code 217-17565-002
VMMDO Project Number 1115

RENOVATION OF THREE RESIDENCE HALLS DRAPER HALL

2 1000A	EXISTING BRICK TO REMAIN
2 1000C	EXISTING WINDOWS TO REMAIN
2 1000G	EXISTING WOOD TRIM TO REMAIN
2 1000H	EXISTING STONE BASE TO REMAIN
2 1000J	EXISTING HANDRAIL TO REMAIN
5 1200A	STRUCTURAL STEEL FRAMING
5 7000A	DECORATIVE METAL - FIREPLACE DOO
5 7100A	DECORATIVE METAL STAIRS
5 7300A	DECORATIVE METAL RAILINGS - TYP. H
5 7300C	DECORATIVE METAL RAILINGS - CANE I
5 7313A	GLAZED DECORATIVE METAL RAILINGS
5 7313B	GLAZED DECORATIVE METAL RAILINGS
5 7313B	STOP
6 4113A	INTERIOR ARCHITECTURAL WOODWORK VENeer CABINETS
6 4113B	INTERIOR ARCHITECTURAL WOODWORK TELEVISION SURROUND
6 4216A	FLUSH WOOD PANELING - STAINED MA
6 4400A	ORNAMENTAL WOODWORK - WD. BENCH/BANQUETTE
6 4400B	ORNAMENTAL WOODWORK - BEDROOM BOARD
6 4400C	ORNAMENTAL WOODWORK - CORRIDO MESSAGE BOARD
8 3113A	ACCESS DOORS AND FRAMES
8 4113A	ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS
8 4126A	ALL-GLASS STOREFRONTS
8 4413A	GLAZED ALUMINUM CURTAIN WALLS
9 2613A	GYPSUM VENEER PLASTERING
9 2900A	GYPSUM BOARD
9 5436A	SUSPENDED DECORATIVE GRIDS
9 6413A	WOOD FLOORING - BAMBOO
9 6413B	WOOD BASE - BAMBOO
1 0000A	EQUIPMENT - VENDING MACHINES (NIC
2 3661A	SIMULATED STONE COUNTERTOPS - Q AGGLOMERATE
2 0000A	PLUMBING FIXTURE. SEE PLUMBING DI
3 0000A	MECHANICAL UNIT. SEE MECHANICAL D
6 0000A	ELECTRICAL EQUIPMENT. SEE ELECTR DRAWINGS.
6 5000A	LIGHTING. SEE ELECTRICAL DRAWINGS.

RADFORD UNIVERSITY
RADFORD, VIRGINIA

CY / MBW

Note: Modifications to the bid documents that were issued by addenda have been incorporated into these drawings for the convenience of the Contractor. In the event of discrepancies between the originally issued addenda and those contained on these drawings, the original addenda issued

A graphic scale bar consisting of a series of alternating black and white squares. The total length of the bar is labeled as 1' - 0". This length is subdivided into 32 equal segments, indicated by the pattern of squares.

ISSUES AND REVISIONS		NO.	SUBMITTAL	BID DOCUMENTS	DATE
1				Addendum 1	05.19.14
2				Addendum 2	06.19.14
3				Addendum 3	06.24.14
				CONSTRUCTION SET	06.25.14
					05.01.15

INTERIOR ELEVATIONS

The diagram shows a vertical rectangular panel divided into four quadrants by a central crosshair. The top-left quadrant contains the text 'CUSTOM MESSAGE BOARD, 1 PER 2 ROOMS TYPICAL'. The bottom-left quadrant contains the reference '08 3113A'. The right side of the panel has three horizontal dimensions: '1'-8"', '1'-8"', and '1'-8"'. The bottom edge of the panel features a decorative scalloped pattern. To the right of the panel is a callout bubble containing the number '4' and the reference 'A701/A720'. Below the panel is another callout bubble containing the number '20' and the reference 'A210/A701'. A note at the bottom right states '1/2" = 1'-0".

20 BEDROOM MESSAGE BOARD
A210 A701 1/2" = 1'-0"

This architectural drawing illustrates exterior wall construction details, specifically focusing on plaster application and window treatments.

Plaster Application:

- A callout indicates "NEW PLASTER BASE BD. 09 2613A ENTIRE WALL" applied to the vertical surfaces of the wall.
- Callouts labeled "09 2613A" point to the base of the wall and the vertical sections above the windows.
- Callouts labeled "02 1000C" point to the horizontal sections of the wall below the windows.

Window Details:

- Windows are shown with multiple panes. The top row has four panes, and the bottom row has three panes per window.
- Callouts labeled "02 7313B" point to the top and middle sections of the windows.
- Callouts labeled "05 7313B" point to the bottom section of the windows.

Exterior Wall Components:

- The wall features a wavy patterned surface.
- Callouts labeled "06 4216A" point to the top horizontal section of the wall.
- Callouts labeled "06 4113B" point to the rightmost vertical section of the wall.
- Callouts labeled "06 4113B" also point to the top horizontal section of the wall.
- Callouts labeled "06 4113B" point to the rightmost vertical section of the wall.

Annotations:

- "ALIGN" is indicated near the top right corner of the wall area.
- Dimensions include "2'-6" TYP.", "2'-6\"", "3'-0 1/8\"", "3'-0\"", "3'-0\"", and "3'-0\"".
- Callouts labeled "02 A701/A761", "07 A701/A761", and "15 A701/A761" are associated with specific wall sections.

This architectural floor plan illustrates the layout of three rooms (16, 17, and 18) and their connections. Room 16 is located at the bottom, featuring a central rectangular opening and two doors labeled 'Sim' and 'A701/A761'. Room 17 is positioned above Room 16, containing a large rectangular opening and a door labeled 'A701/A760'. Room 18 is situated above Room 17, also featuring a large rectangular opening. The plan includes various door symbols and labels such as 'ALIGN', 'Sim', and 'EXIT'. Specific dimensions are indicated for the rooms and openings, including 2'-0", 5'-0", 4'-5 1/2", 11'-0", 10'-0", 6'-0", 3'-3", and 23' 0000A. Callout circles highlight specific areas: circle 5 points to the top of the door frame in Room 16; circle 16 points to the door frame in Room 16; and circle 17 points to the door frame in Room 17.

8E LOBBY, E1
A610 A701 1/4" = 1'-0"

8W LOBBY, W1
A101 A701 1/4" = 1'-0"

EXTEND RATED BULKHEAD ABOVE FCU

RATED BULKHEAD BEHIND BAMBOO

1 FIREPLACE DOOR
A701 1/2" = 1'-0"

STL. PERF.
STL. PLATE FF
STL. PLATE W
2" X 2" X 1/8" S
DOOR STOP

09 2900A, FIRE RATED

09 2900A, NON-RATED

09 5436A

02 A701/A761

07 A701/A761

17 A701/A761

3'-10" 2'-0"

Sim

12

06 413B

09 6413A

3'-0" V.I.F.

4'-8" V.I.F.

EQ EQ

14 A701/A950

9 A701/A950

7'-0"

7'-2"

14 A701/A950

3 A701/A701 1/4" = 1'-0"

TYP. BEDROOM ELEVATION - SECOND FLOOR

This architectural floor plan diagram illustrates a building section with various rooms and structural details. The plan includes the following key features and dimensions:

- Rooms and Areas:** COMMONS, S; COMMONS, E.
- Dimensions:** 2'-6" height markers, 1'-0" width markers, and 1/4" = 1'-0" scale.
- Structural and Equipment Labels:** Sim, A701A761, A210A950, A701A720, A701A761, A610A800, A101A701, A210A400, S5, ALIGN, 06 4216A, 09 5436A, 06 4216A, 09 5436A, 08 4113A, 05 7313B, 05 7100A, 23 0000A, 05 7300C, 18, 19, 20, 16, 10, 05, 14, 1E, 1S.

This architectural floor plan illustrates a building layout with several rooms and associated identifiers:

- Room 09 2613:** Located at the top left, featuring a window and a door. A callout arrow points to the right edge of the room.
- Room 08 4413A:** Located below Room 09 2613, featuring a window and a door. A callout arrow points to the left edge of the room.
- Room 19:** Located in the bottom center, featuring a window and a door. A callout arrow points to the right edge of the room.
- Room 16:** Located in the middle right, featuring a window and a door. A callout arrow points to the left edge of the room.
- Room 09 6413B:** Located at the bottom right, featuring a window and a door. A callout arrow points to the left edge of the room.

The image contains two architectural drawings. The top drawing is a cross-section labeled 'A101 A701' with a scale of '1/4" = 1'-0". It shows a vertical wall section with a horizontal line at '7'-8 1/2"' from the bottom. A callout arrow points to a larger view of the wall section, which includes a rectangular opening and a wavy patterned area above it. The bottom drawing is a floor plan labeled 'A101 A701' with a scale of '1/4" = 1'-0". It features several rectangular rooms and a central area with a double circle symbol. Callout arrows point from specific areas of the floor plan to detailed cross-sections. One cross-section on the left is labeled '09 2900A FIRE RAISED' and shows a thick vertical wall with a horizontal line at '9'-2 1/2"' from the bottom. Another cross-section on the right shows a vertical wall with a horizontal line at '9'-2 1/2"' from the bottom. Labels '02 1000J', '05 7300A', '02 1000H', and '02 1000A' are positioned below their respective callouts.

8S LOBBY, S1
A101 A701 1/4" = 1'-0"
REINSTALL BUILDING PLAQUE

6W BASEMENT, W
A101 A701 1/4" = 1'-0"

8N LOBBY, N1
A101 A701 1/4" = 1'-0"

6S BASEMENT, S
A101 A701 1/4" = 1'-0"

16 LOUNGE MESSAGE BOARD
A210 A701 1/4" = 1'-0"

17 TYP. BEDROOM ELEVATIONS
A101 A701 1/4" = 1'-0"

Detailed description: The figure contains six architectural drawings. Top left: 8S LOBBY, S1, a plan view with a circular callout for 'REINSTALL BUILDING PLAQUE'. Top right: 8N LOBBY, N1, an elevation view of a wall section. Bottom left: 6W BASEMENT, W, a plan view showing a staircase and various rooms. Bottom center: 6S BASEMENT, S, a plan view of a room with a central support column. Bottom right: 16 LOUNGE MESSAGE BOARD, a plan view of a room with a large central opening. Right side: 17 TYP. BEDROOM ELEVATIONS, an elevation view of a room with multiple windows.

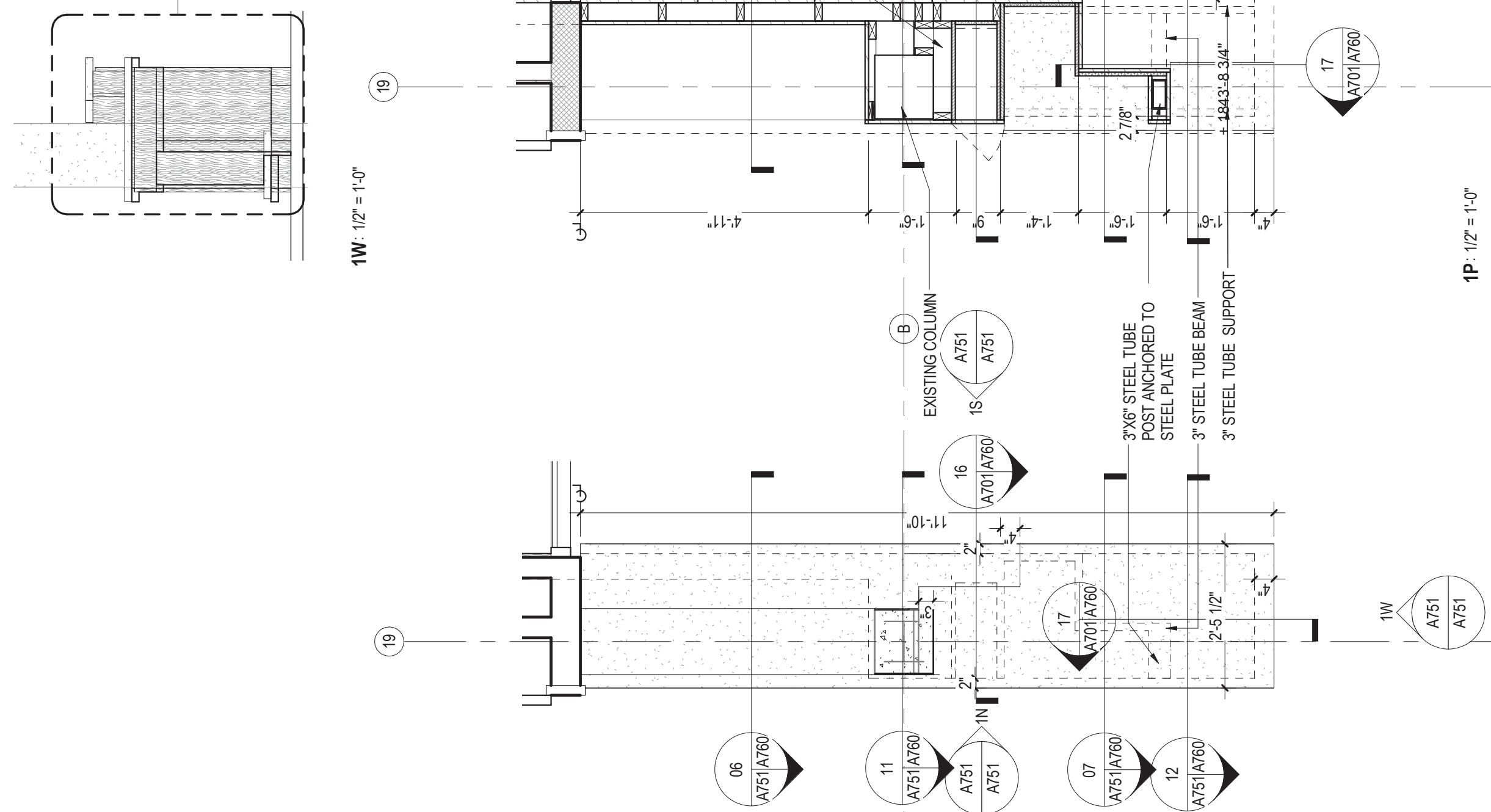
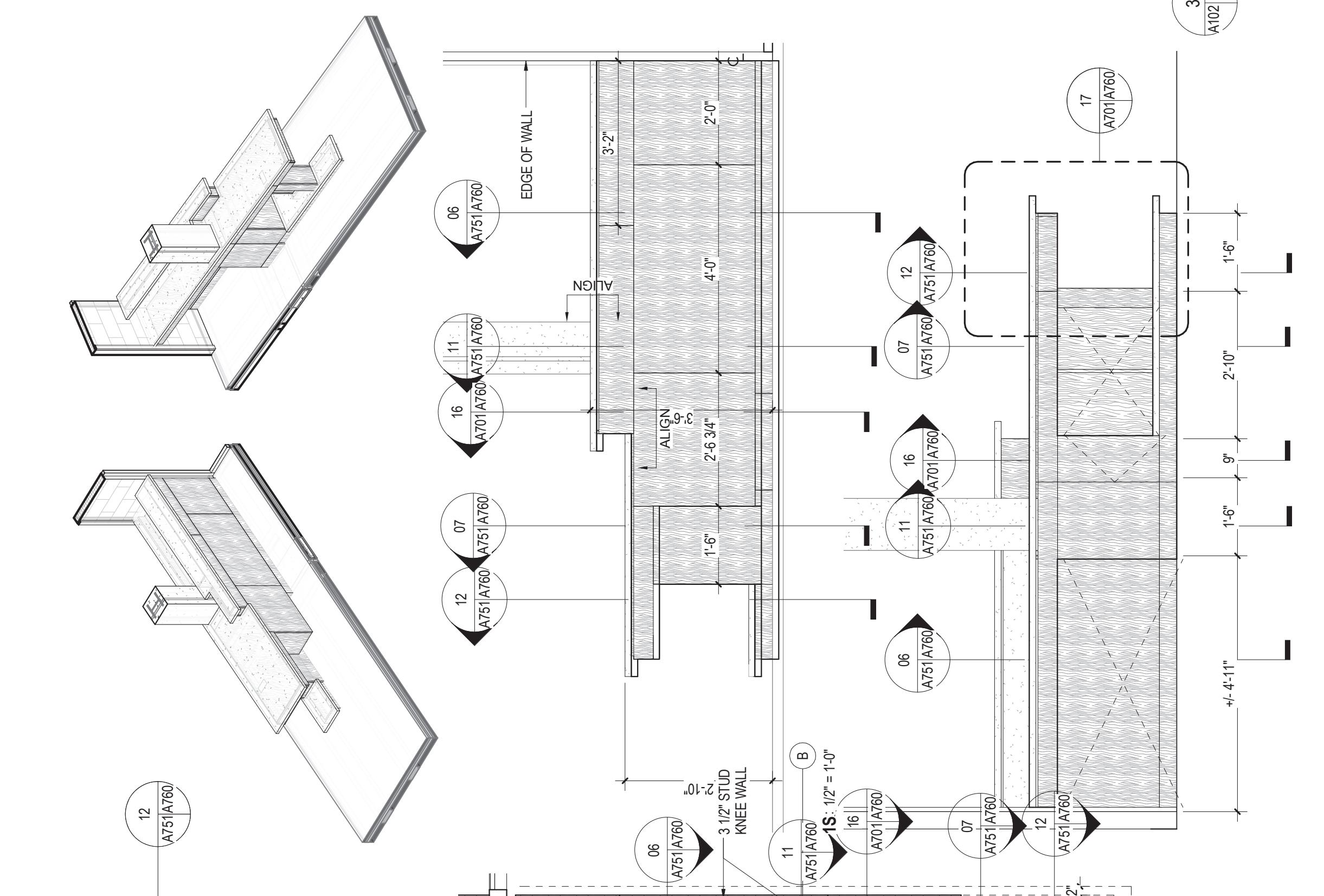
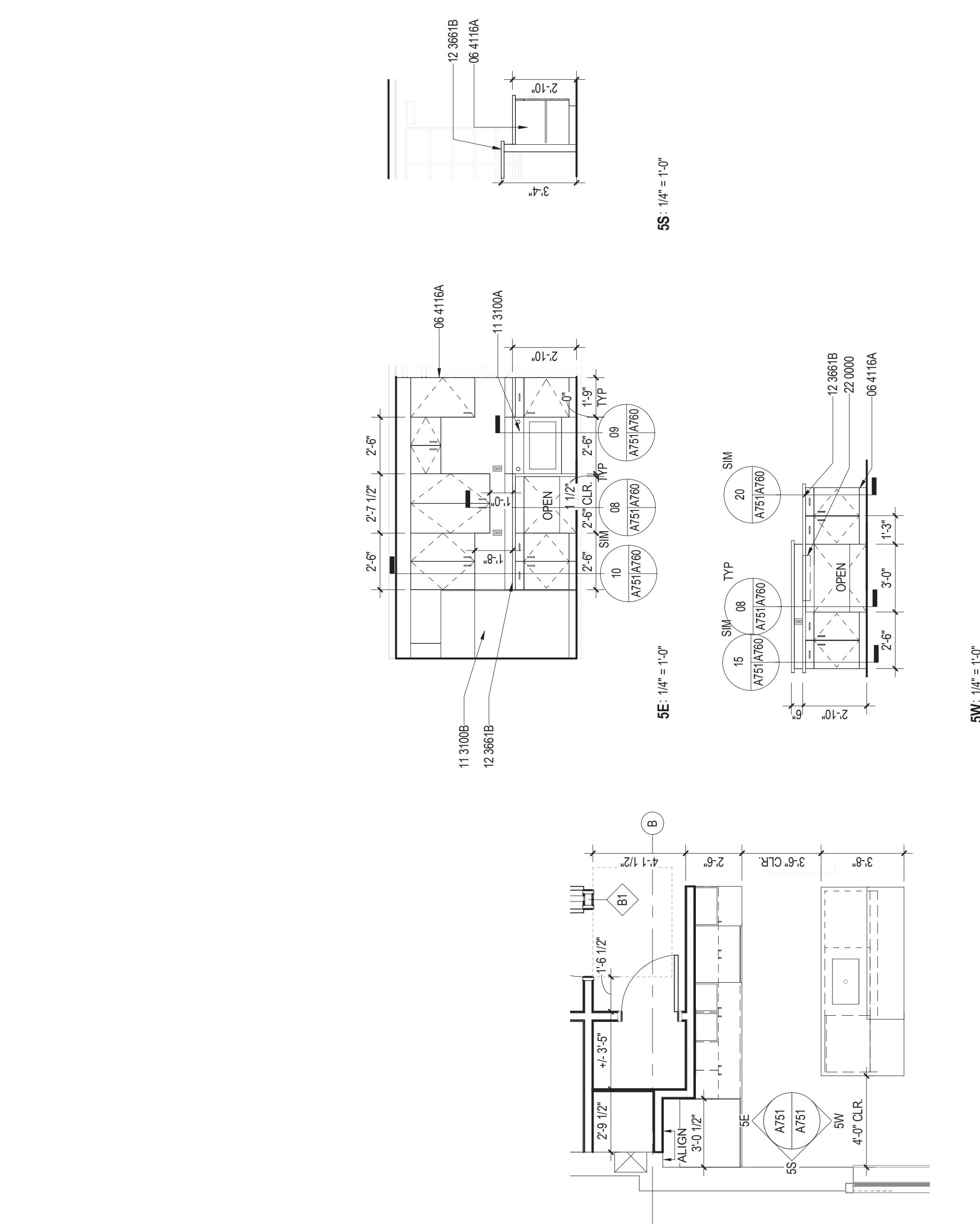
RU

RADFORD UNIVERSITY

RENOVATION OF THREE RESIDENCE HALLS DRAPER HALL

RADFORD UNIVERSITY
RADFORD, VIRGINIA
Project Code 217-17565-002
VMDO Project Number 1115

KEYNOTE LEGEND
INTERIOR ARCHITECTURAL WOODWORK -
PLASTIC LAMINATE FACED
ARCHITECTURAL CABINETS
FLUSHWOOD PANELING - STAINED
MAPLE
ORNAMENTAL WOODWORK - WD.
BEECHANIQUE
ORNAMENTAL WOODWORK - CORRIDOR
ORNAMENTAL WOODWORK - COUNTERTOPS -
QUARTZITE STONE COUNTERTOPS -
SOLID SURFACE COUNTERTOPS -
SOLID SURFACE
RESIDENTIAL APPLIANCES -
HOD
REFRIGERATOR (INC)
RESIDENTIAL APPLIANCES -
DISHWASHER (INC)
SIMULATED STONE COUNTERTOPS -
SOLID SURFACE
PUMPKIN
PLUMBING



Checked By MLW / ARS
Drawn By DEM / MBW

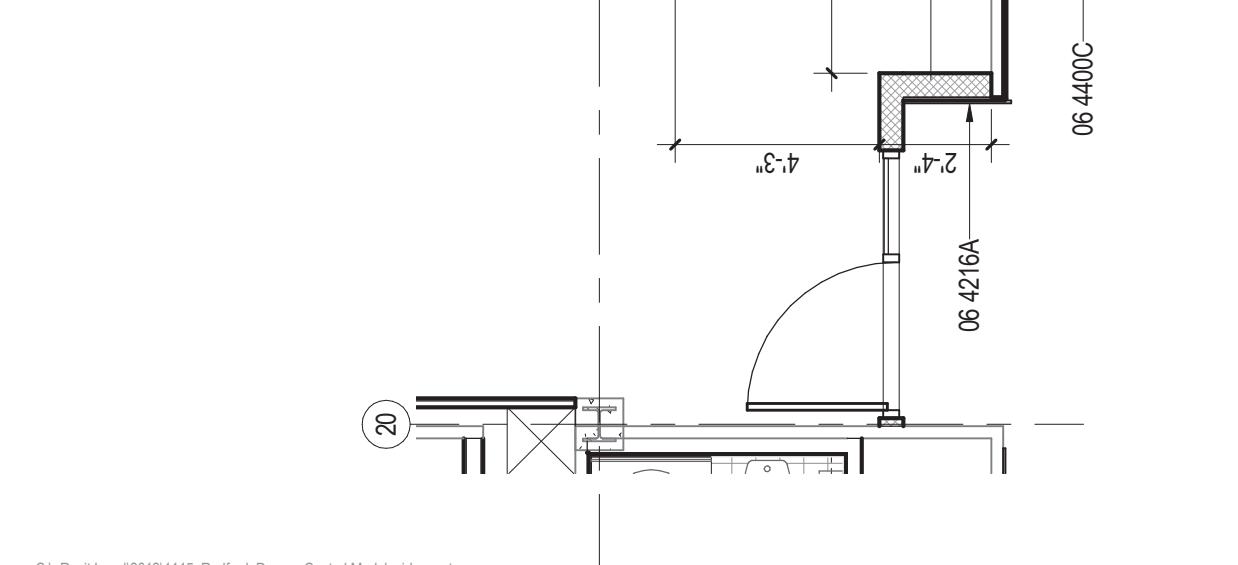
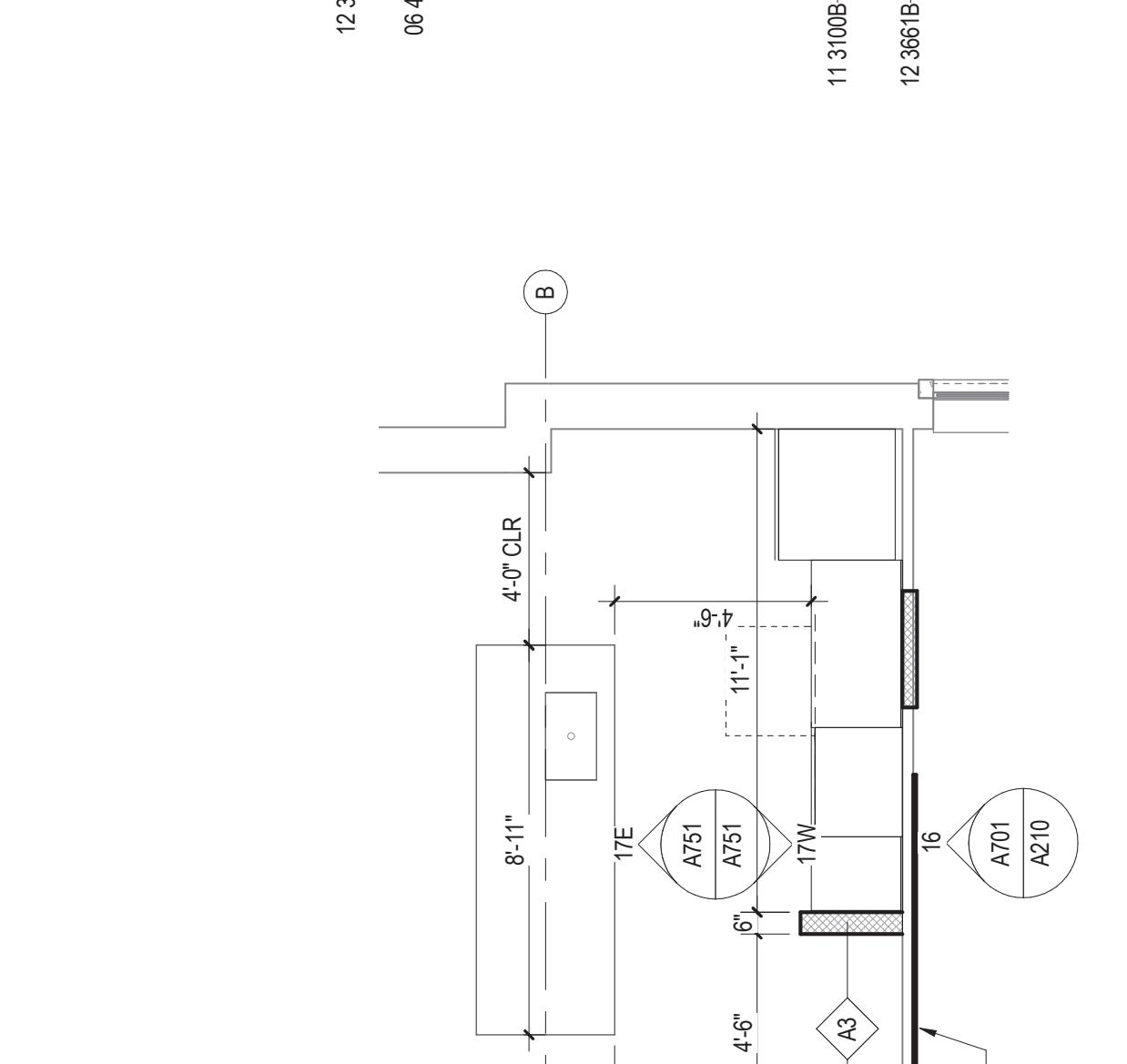
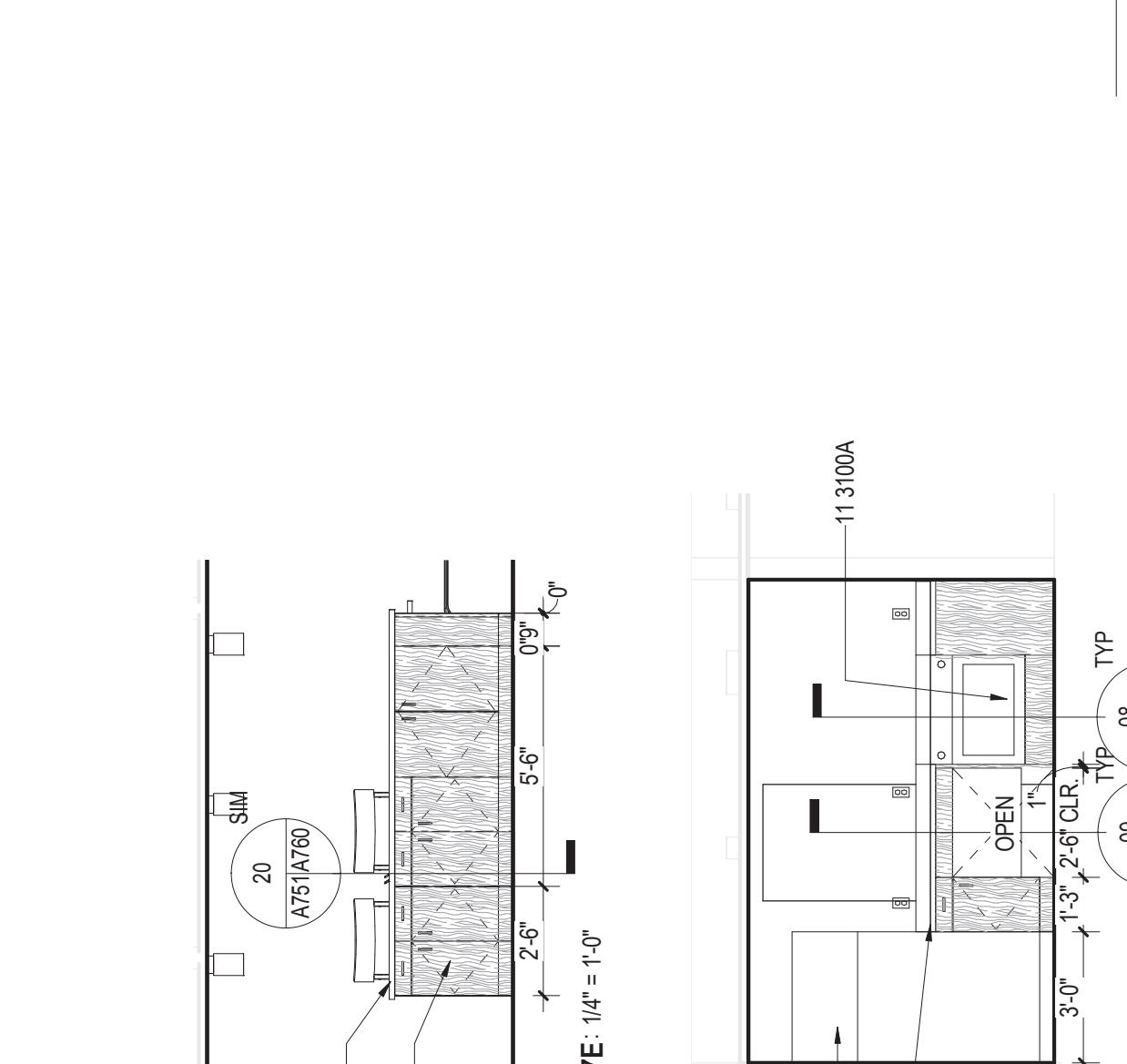
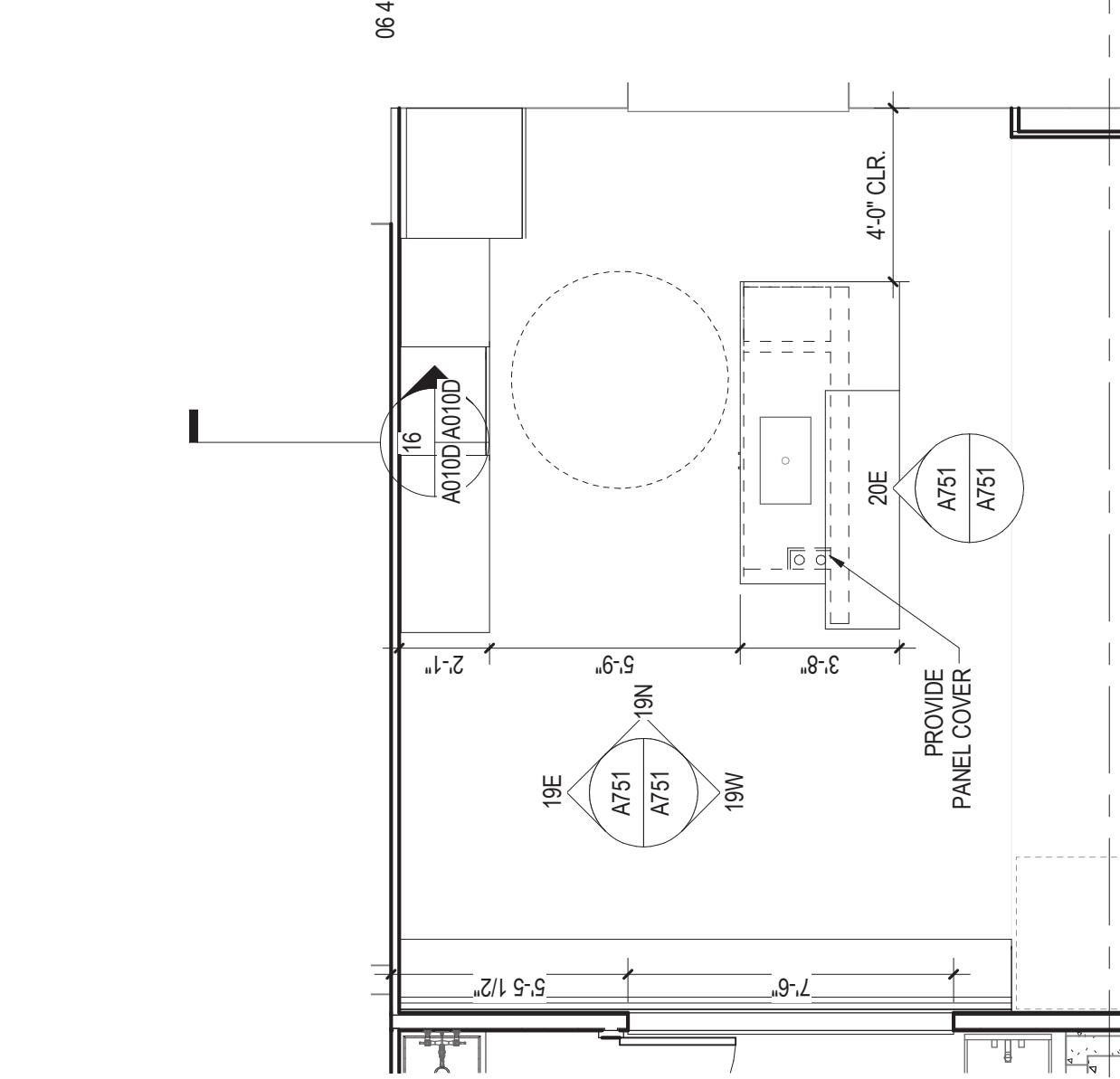
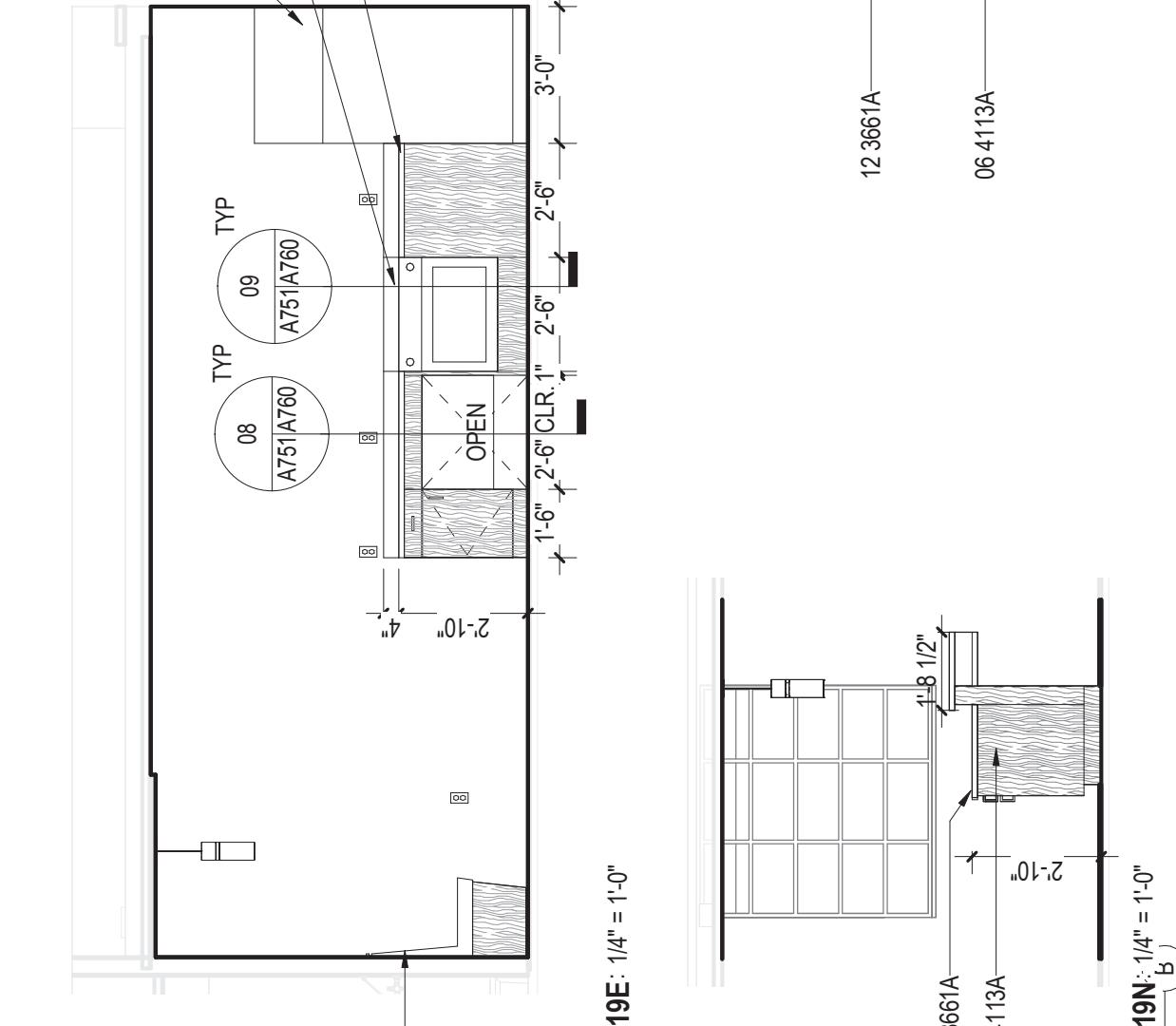
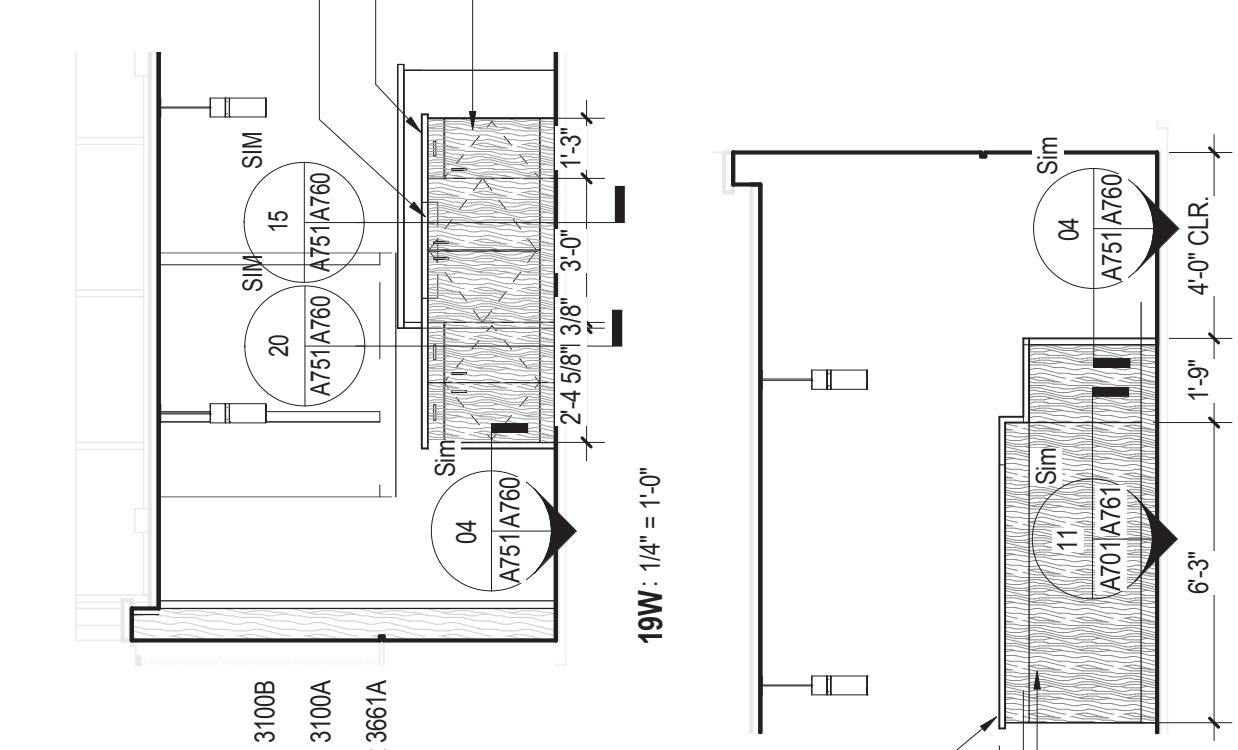
Note: Modifications to the bid documents that were issued by addenda have been incorporated into these drawings to the convenience of the Contractor. In the event of discrepancies between the originally issued addenda and changes depicted on these drawings, the originally issued addenda shall take precedence.

GRAPHIC SCALE - 1/32" = 1'-0"

0 32'-0" 64'-0"
0 32'-0" 64'-0"

ISSUES AND REVISIONS
NO. SUBMITTAL DATE
BID DOCUMENTS 05.19.14
1 Addendum 1 06.19.14
2 Addendum 2 06.24.14
3 Addendum 3 06.25.14
CONSTRUCTION SET 05.01.15

CASEWORK PLANS, SECTIONS, & ELEVATIONS



18 ENLARGED PLAN 00 BSMT KITCHEN
A01/A751 1/4" = 1'-0"

16 ENLARGED PLAN 01 TYP LOUNGE KITCHEN
A01/A751 1/4" = 1'-0"

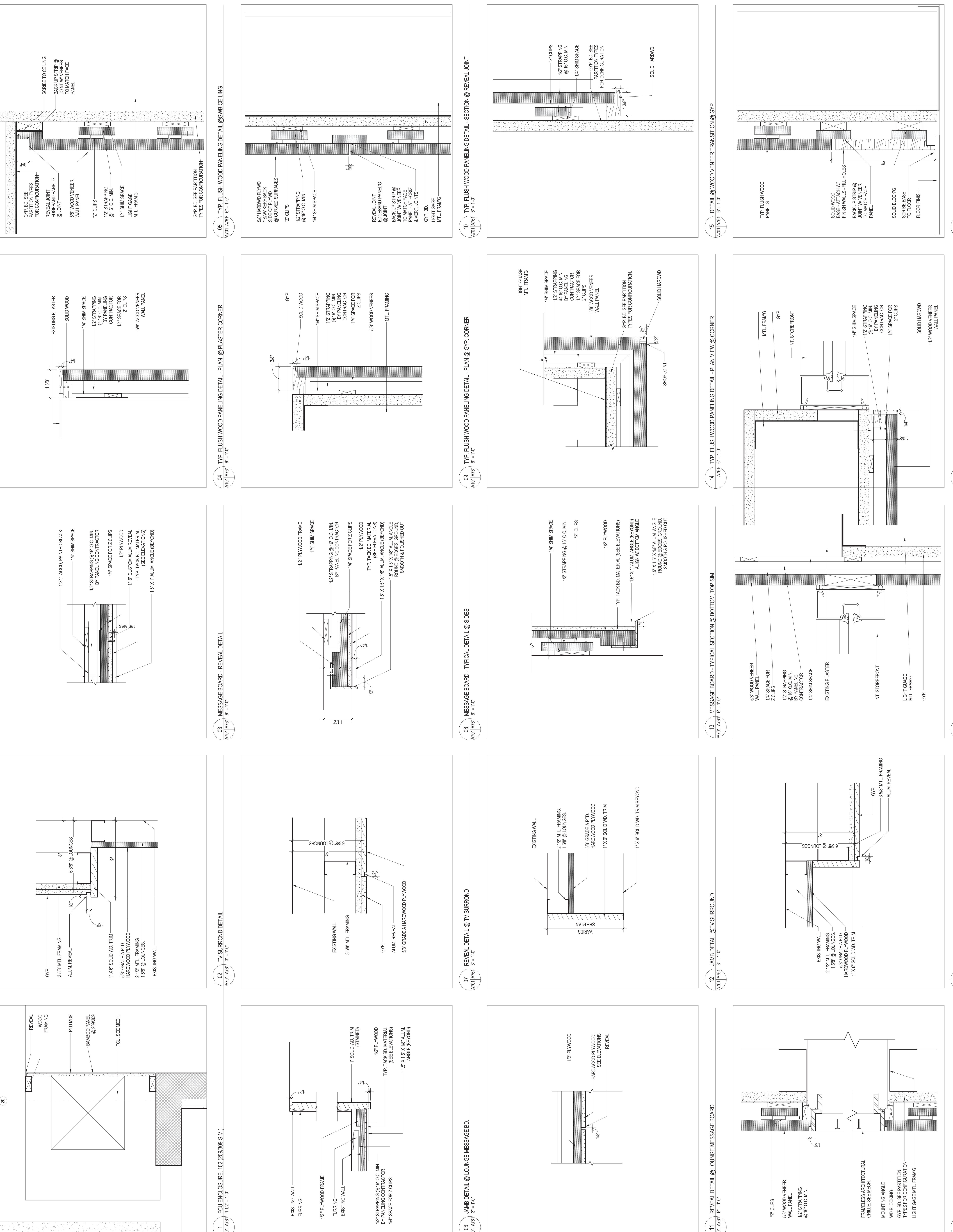
05/25/2015 11:58:09 PM

RU

RADFORD UNIVERSITY

RENOVATION OF THREE RESIDENCE HALLS DRAPER HALL

RADFORD UNIVERSITY
RADFORD, VIRGINIA
Project Code 217-17565-002
VMDO Project Number 1115



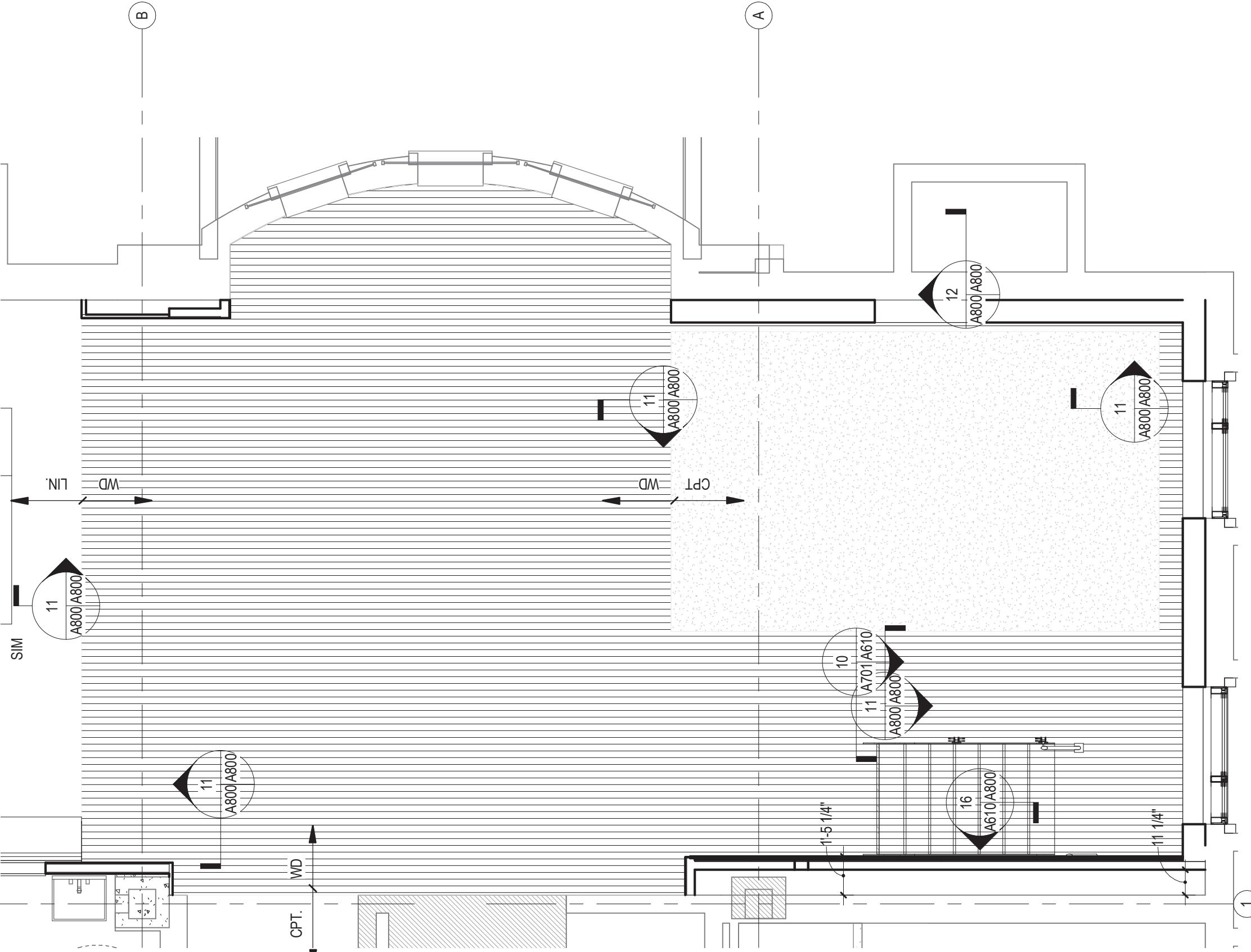
RU

RADFORD
UNIVERSITY

**RENOVATION OF THREE
RESIDENCE HALLS
DRAPER HALL**

FINISH SCHEDULE		FLOOR FINISH	BASE MATERIAL	WALL FINISH	CEILING FINISH	NOTES	KEY	ITEM
ROOM NUMBER	ROOM NAME							
ALL BEDROOMS/CLOSETS UNO.	VCT-1	RB-1	PTR/PS-1	PT	PS ENTIRE WALL SURFACE		EVR	EXISTING TO REMAIN
ALL BATHROOMS UNO.	CT-1	CT-2	PT	PT				
ALL APART BEDROOMS	CPT	RB-4	PT	PT				
ALL KITCHENS	LN-1	RB-3	PT	PT				
ALL HOUSEKEEPING	CT-5	CT-6	PT	PT				
ALL TRASH ROOMS	CT-6	CT-6	PT	PT				
ALL LOUNGES	CPT	RB-2	PT	PT				
ALL CORRIDORS	CPT	RB-5	PTR/PS-2	PT	PS ENTIRE WALL SURFACE			
STAIR 1 - ALL LANDINGS, UNO	VCT-2	EVR	PT	PT	EXISTING STONE TREADS; CT			
STAIR 2 - ALL LANDINGS, UNO	VCT-2	EVR	PT	PT	ENTR LANDING TO REMAIN			
B002 LAUNDRY	LN-2	RB-1	PT	PT				
B003 CORRIDOR	CPT	EVR	PT	PT				
B007 COMMONS	WD	WD	GVP/GVP	PT	GVP SEE INT ELEV		CT	CERAMIC TILE
STAR	RF	WD	PTR/GVP	PT			WD	WOOD BASE (BAMBOO)
M005 ELEVATOR RM	SC	PT	PT	PT			RB	RESILIENT BASE (RUBBER)
M006 MECHANICAL	SC	PT	PT	PT				
M008 ELECTRICAL	SC	PT	PT	PT				
M010 SPRINKLER ROOM	SC	PT	PT	PT				
T004 TOILET	CT-3	CT-4	PT	PT				
E001 ELEVATOR CAB	RF	PT	DIV 14	PT	SEE ELEVATOR SPEC		PS-1	PAINT
V100 VESTIBULE	CPT	WD	PT	PT	(SEE INT ELEV.)		PS-2	PRIMER-SURFACER, SMOOTH FINISH
100 LOBBY	WD	WD	PTR/GVP	PT	GVP SEE INT ELEV		GVP	GVP VENEER PLASTERING
102 LEARNING CENTER	WD	WD	PT	PT				
104 OFFICE	CPT	RB-5	PT	PT				
106 MEETING	CPT	RB-5	PT	PT				
T100 TOILET	CT-3	CT-4	CT-4	PT				
400 MECHANICAL	EVR	EVR	PT	PT				
401 STORAGE	SC	RB-1	PT	PT				
402 IT	SC	RB-1	PT	PT				

NOTES:
1 FOR BIDDING PURPOSES, ASSUME 12 PAINT COLORS.
2 FOR CEILING AND SYSTEMS ABOVE COMMONS FLAT BLACK TWO FEET FROM PERIMETER OF WOOD SLAT CEILING.



6 ENLARGED PLAN - FINISH DETAILS
A001/A800 14'-0" x 10'-0"

Checked By
MLW / ARS
Drawn By
DEM / MBW

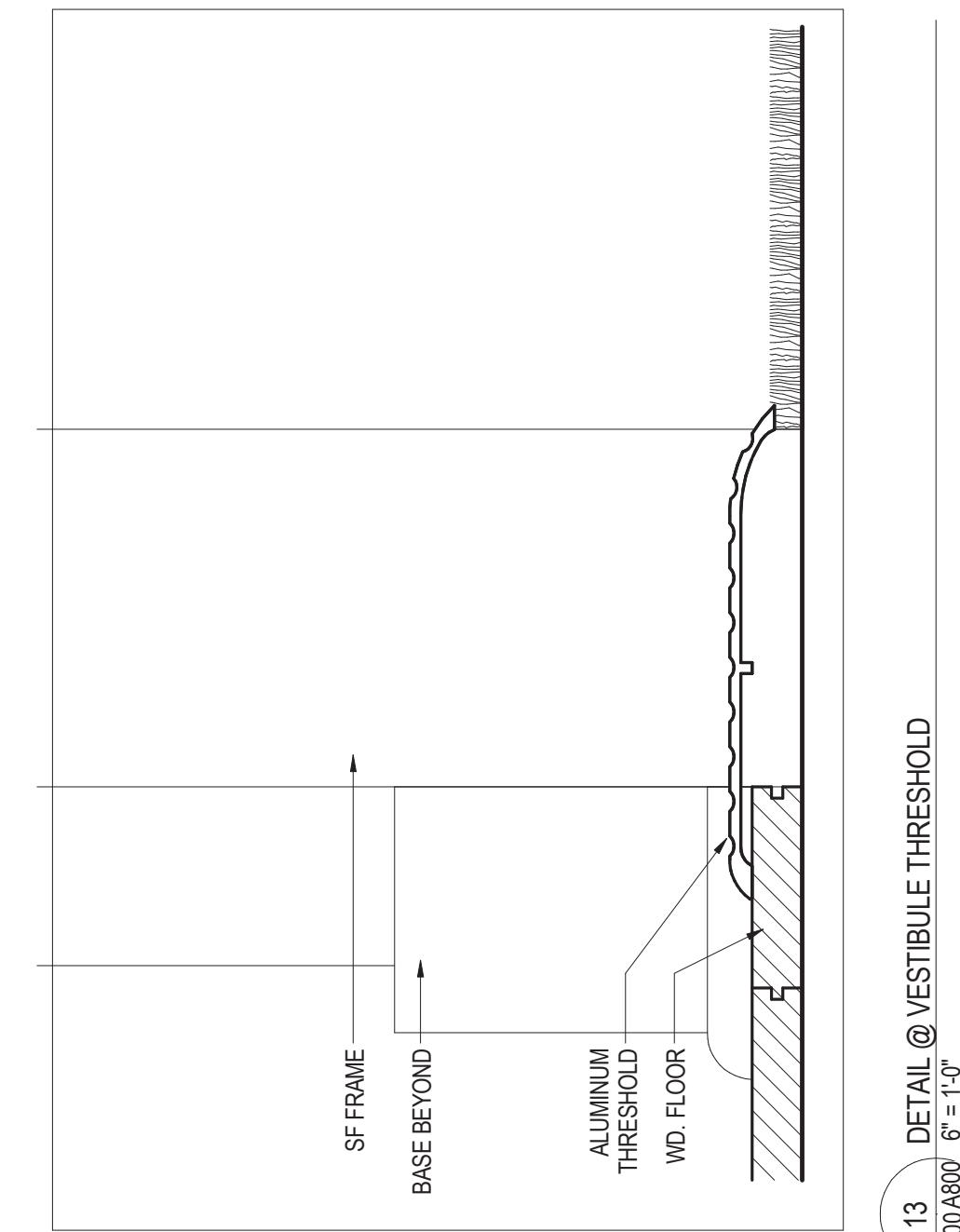
Note: Modifications to the original drawings issued by addenda have been incorporated into these drawings for the convenience of the Contractor. In the event of discrepancies between the originally issued addenda and changes depicted on these drawings, the originally issued addenda shall take precedence.

Project Code
217-17565-002
VMDO Project Number
1115

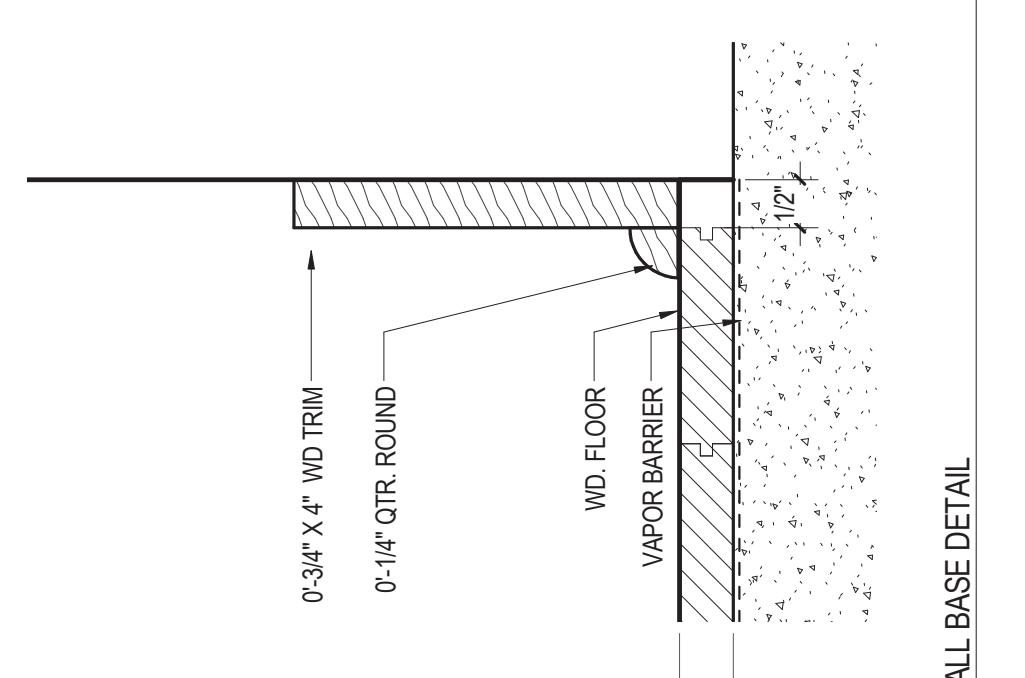


ISSUES AND REVISIONS
NO. SUBMITTAL
BID DOCUMENTS
1 Addendum 1
2 Addendum 2
3 Addendum 3
CONSTRUCTION SET
DATE
05.19.14
06.19.14
06.24.14
06.25.14
05.01.15

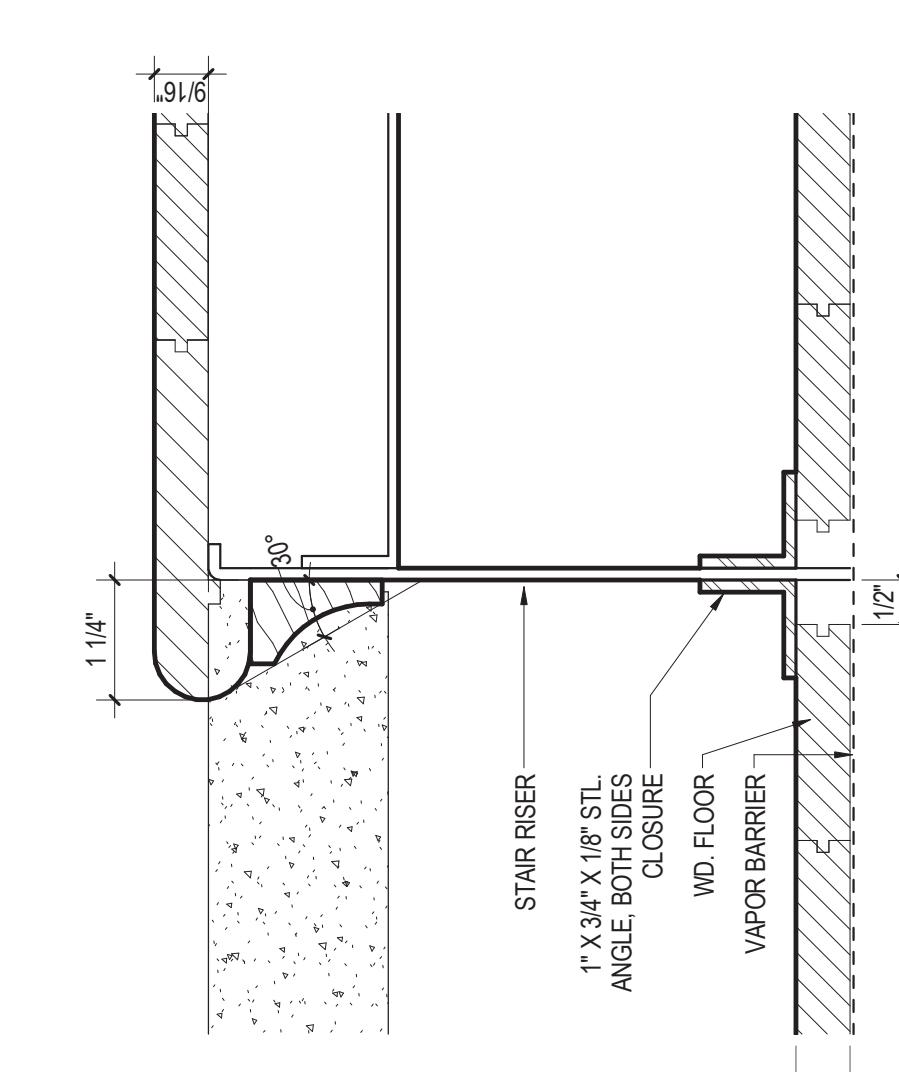
**FINISH SCHEDULE &
DETAILS**



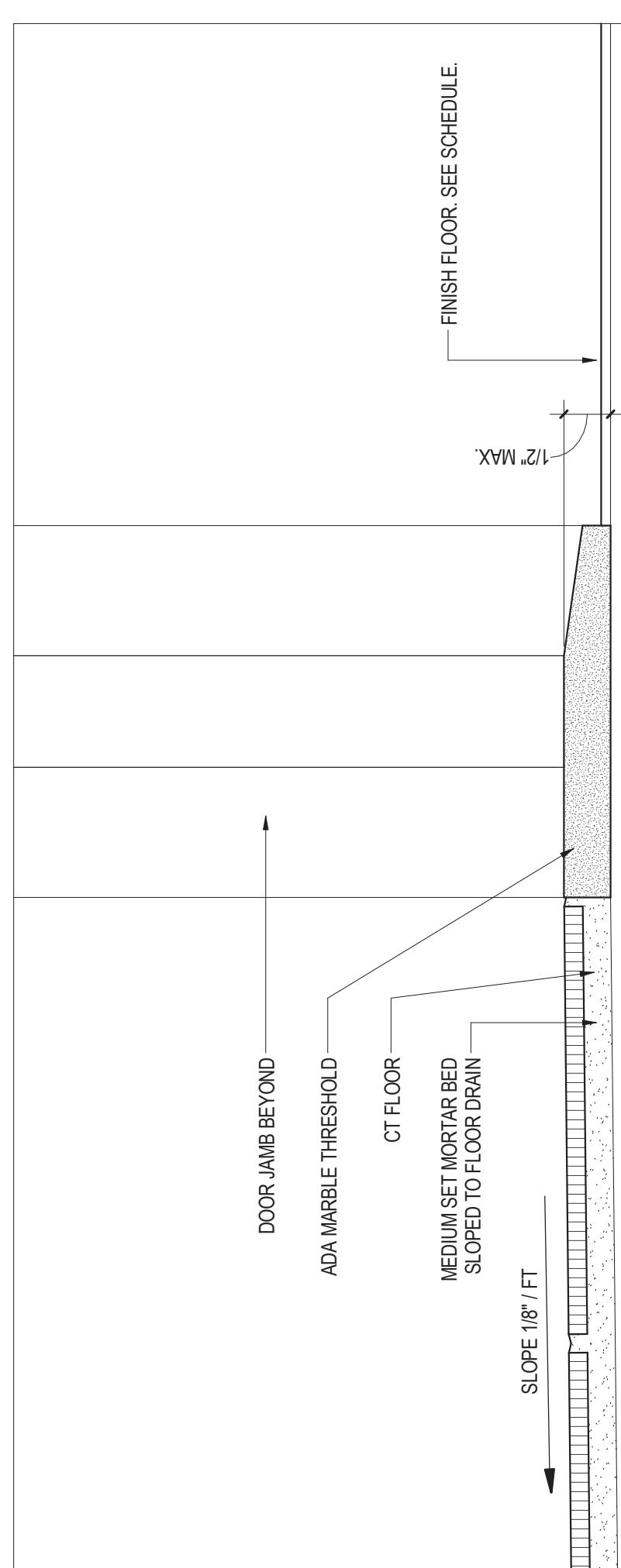
13 DETAIL @ VESTIBULE THRESHOLD
A001/A800 6" = 1'-0"



12 DETAIL @ WALL BASE DETAIL
A001/A800 6" = 1'-0"



16 DETAIL @ STAR LANDING
A001/A800 6" = 1'-0"



17 DETAIL @ DOOR JAMB BEYOND
A001/A800 6" = 1'-0"

RU

RADFORD
UNIVERSITY

RENOVATION OF THREE
RESIDENCE HALLS
DRAPER HALL

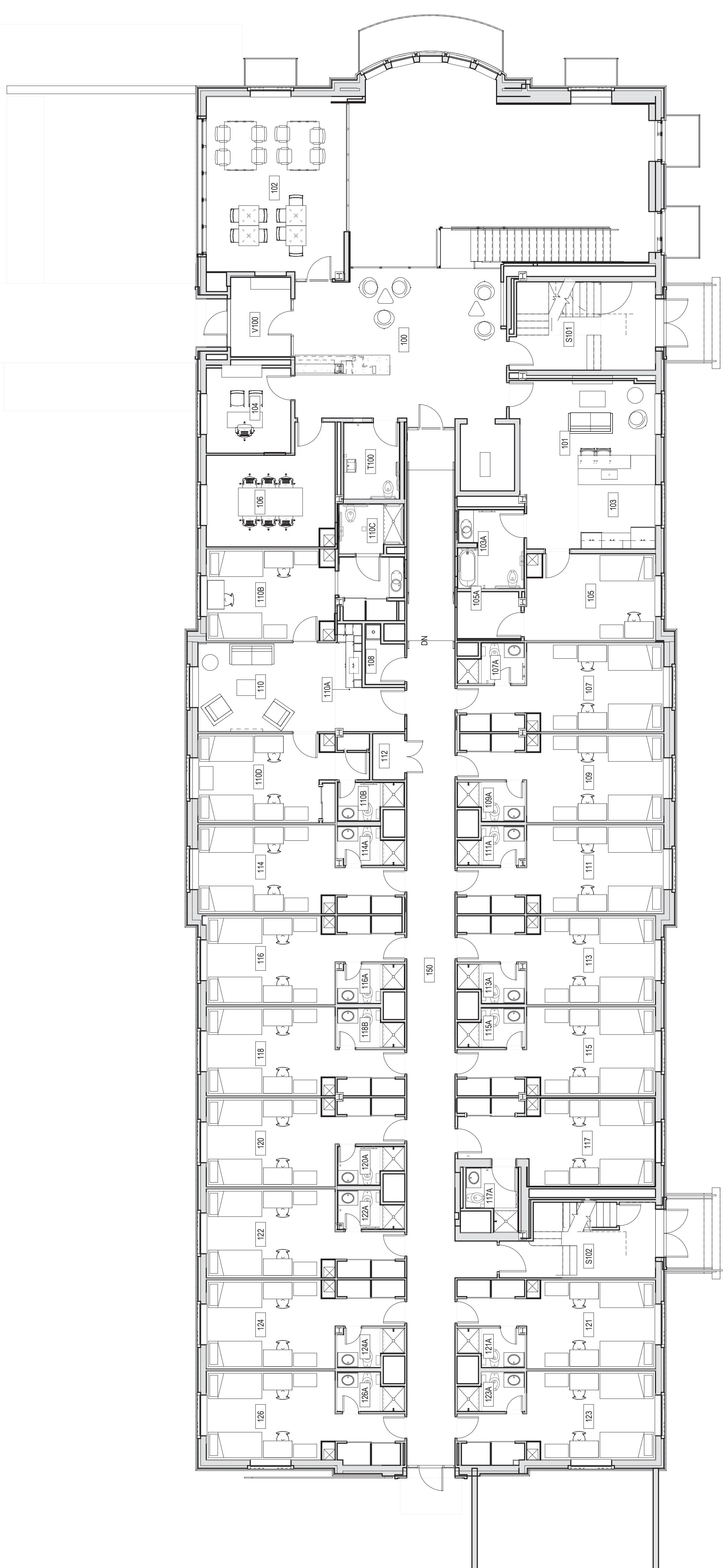
RADFORD UNIVERSITY
RADFORD, VIRGINIA
Project Code 217-17565-002
VMDO Project Number 1115

Checked By
MLW / ARS
Drawn By
DEM / MBW

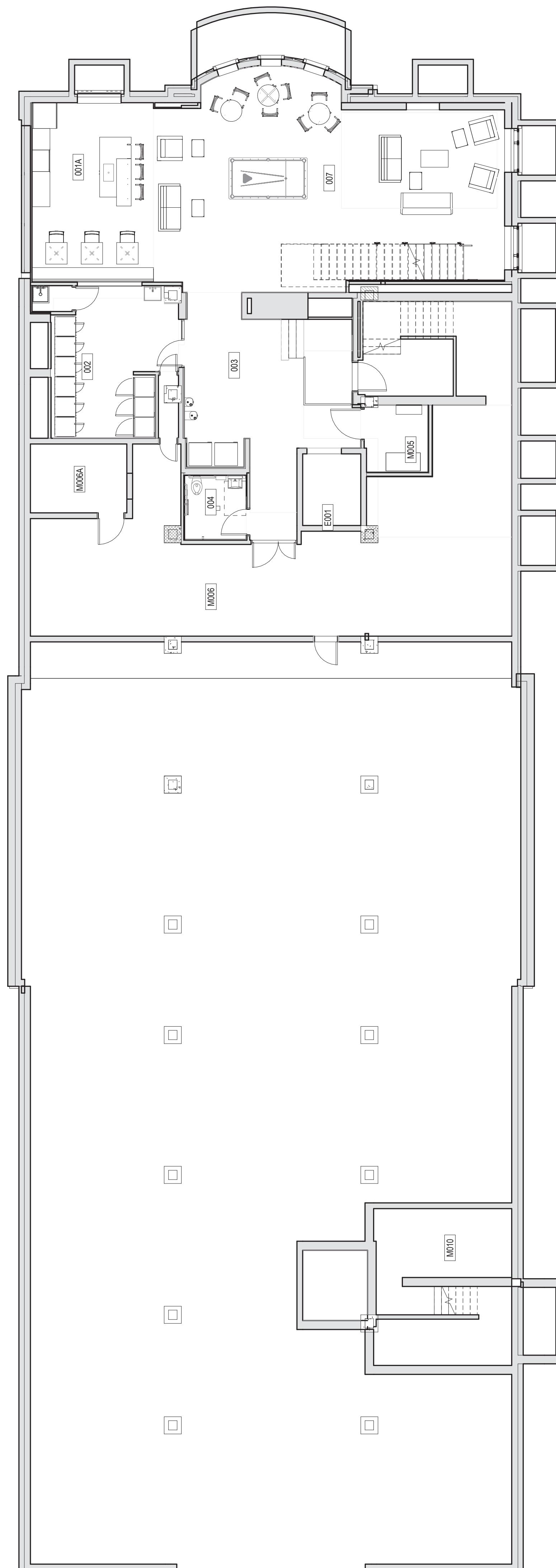
Note: Modifications to the ~~original drawings~~ issued by architect have been incorporated into these drawings for the convenience of the Contractor. In the event of discrepancies between the originally issued drawings and changes reflected on these drawings, the originally issued drawings shall take precedence.

GRAPHIC SCALE: 1'32" = 1'-0"
0 32'-0" 64'-0" 96'-0"

ISSUES AND REVISIONS
NO. SUBMITTAL DATE
BID DOCUMENTS
1 Addendum 1 06.19.14
2 Addendum 2 06.24.14
3 Addendum 3 06.25.14
CONSTRUCTION SET 05.01.15

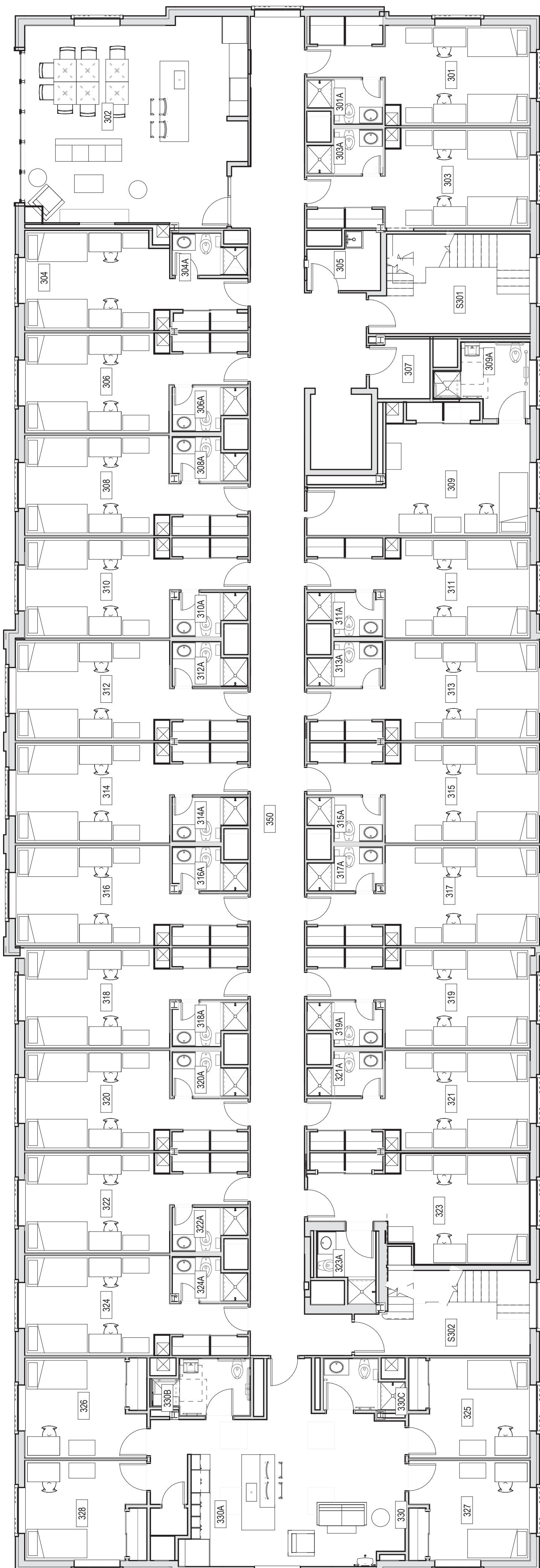


2 FIRST FLOOR PLAN
A201/A202 18" = 1'-0"



1 BASEMENT FLOOR PLAN
A201/A202 18" = 1'-0"

BASEMENT & FIRST
FLOOR FURNITURE
PLANS - NOT IN
CONTRACT



2 THIRD FLOOR PLAN
A201 A811 1/8" = 1'-0"

2) THIRD FLOOR PLAN

MLW / ARS
DEM / MRW

M
DE

Note: Modifications to the ~~Exhibit C~~^{Contract} ~~will~~ ~~not~~ ~~be~~ ~~issued~~ by addenda have been incorporated into these drawings for the convenience of the Contractor. In the event of discrepancies between the originally issued addenda and the drawings, the drawings shall govern.

ISSUES AND REVISIONS		NO.	SUBMITTAL	BID DOCUMENTS	DATE
		1		Addendum 1	05.19.14
		2		Addendum 2	06.19.14
		3		Addendum 3	06.24.14
					06.25.14

**SECOND & THIRD FLOOR
FURNITURE PLANS - NOT
IN CONTRACT**

SECOND FLOOR PLAN

A811

RU

RADFORD UNIVERSITY

RENOVATION OF THREE RESIDENCE HALLS DRAPER HALL

RADFORD UNIVERSITY
RADFORD, VIRGINIA
Project Code 217-17565-002
VMDO Project Number 1115

Checked By
MLW / ARS
Drawn By
DEM / MBW

Note: Modifications to the bid documents that were issued by addenda have been incorporated into these drawings for the convenience of the Contractor. In the event of discrepancies between the originally issued addenda and changes depicted on these drawings, the originally issued addenda shall take precedence.

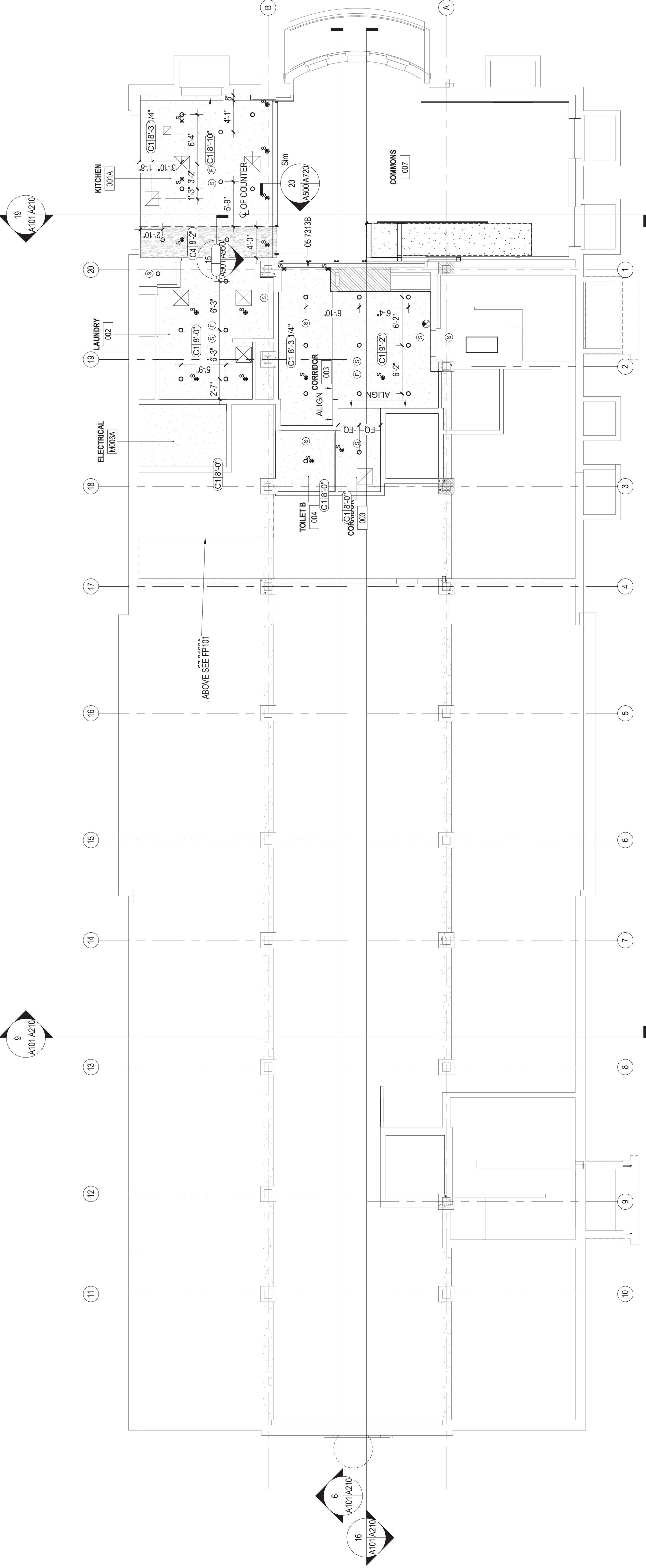
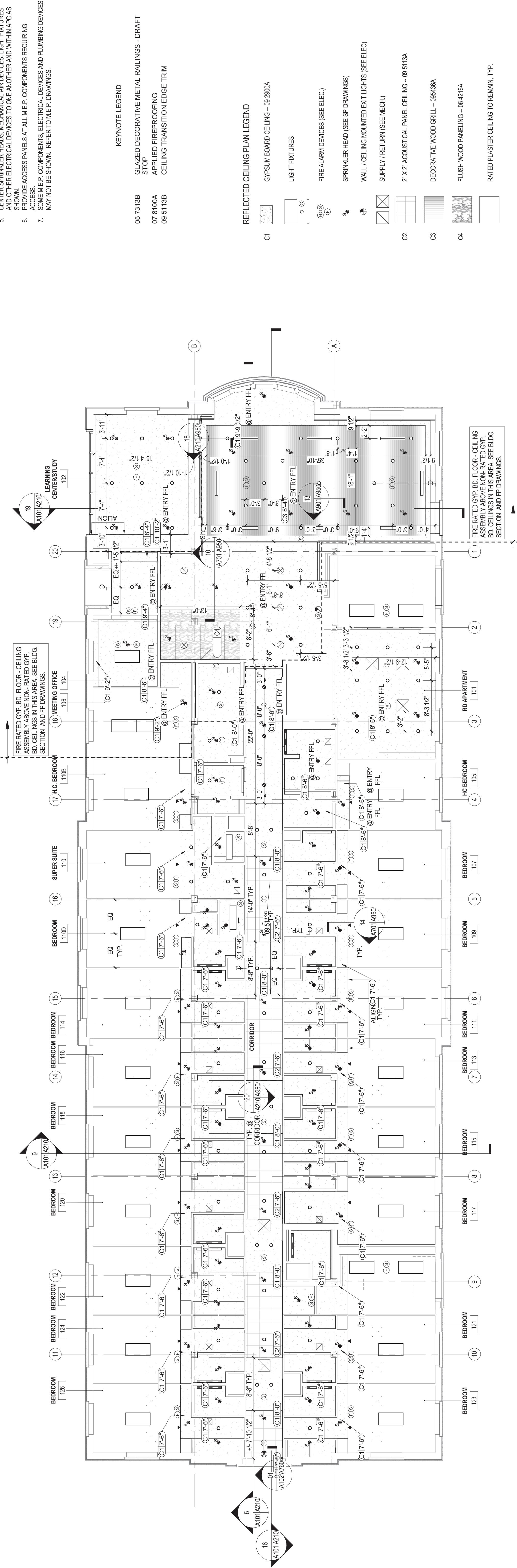
KEYNOTE LEGEND
05731B GLAZED DECORATIVE METAL RAILINGS - DRAFT
078100A STOP APPLIED FIREPROOFING
09513B CEILING TRANSITION EDGE TRIM

GRAPHIC SCALE: 1'32" = 1'-0"
0 32'-0" 64'-0" 96'-0"

ISSUES AND REVISIONS
NO. SUBMITTAL DATE
1 BID DOCUMENTS 06.19.14
1 Addendum 1
2 Addendum 2
3 Addendum 3
CONSTRUCTION SET 06.24.14
06.25.14
05.01.15

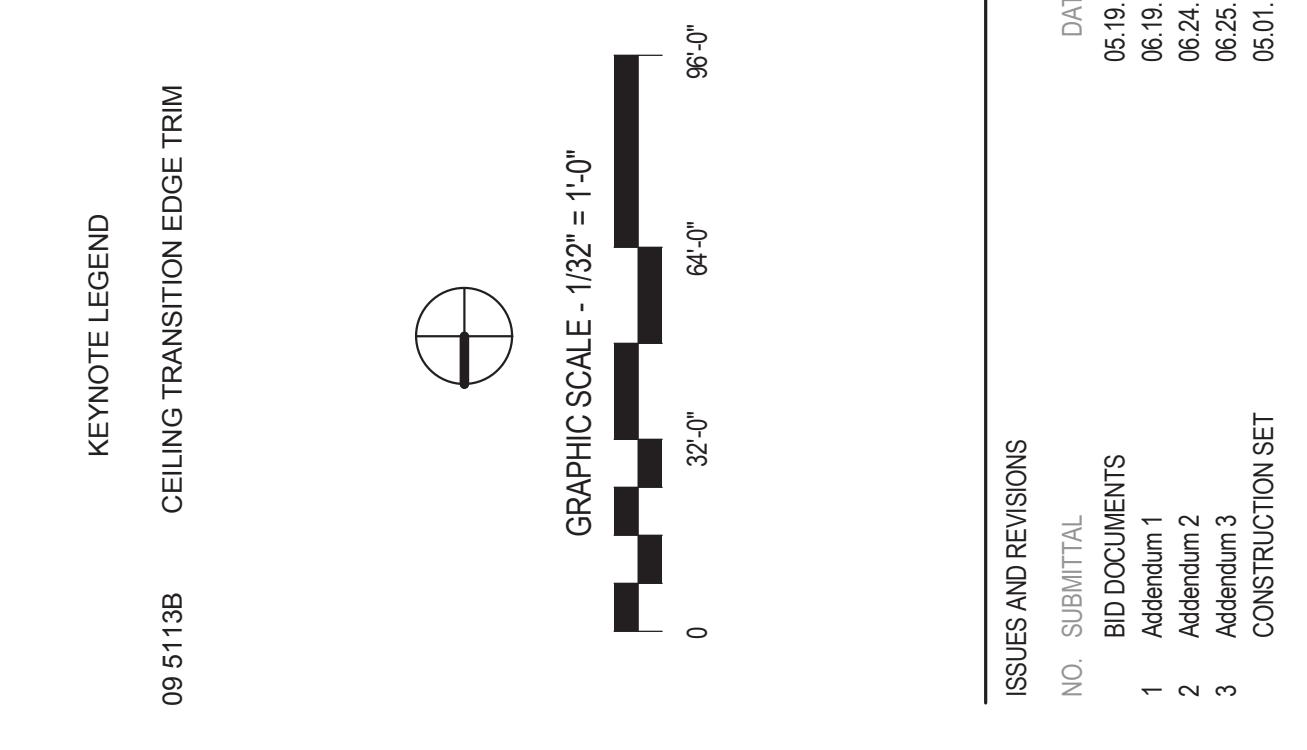
BASEMENT & FIRST FLOOR REFLECTED CEILING PLAN

NOTE:
IN AREAS WHERE CEILINGS HAVE BEEN DEMOLISHED, CEILINGS SHALL BE REPAVED IN ORDER TO PROVIDE A CONTINUOUS FIRE-RATED FLUORCEILING ASSEMBLY PER FF DRAWINGS. A SECOND NONRATED FINISH CEILING WILL BE INSTALLED BELOW FIRE RATED FLUORCEILING ASSEMBLY WHERE INDICATED.



**SECOND & THIRD FLOOR
REFLECTED CEILING
PLAN**

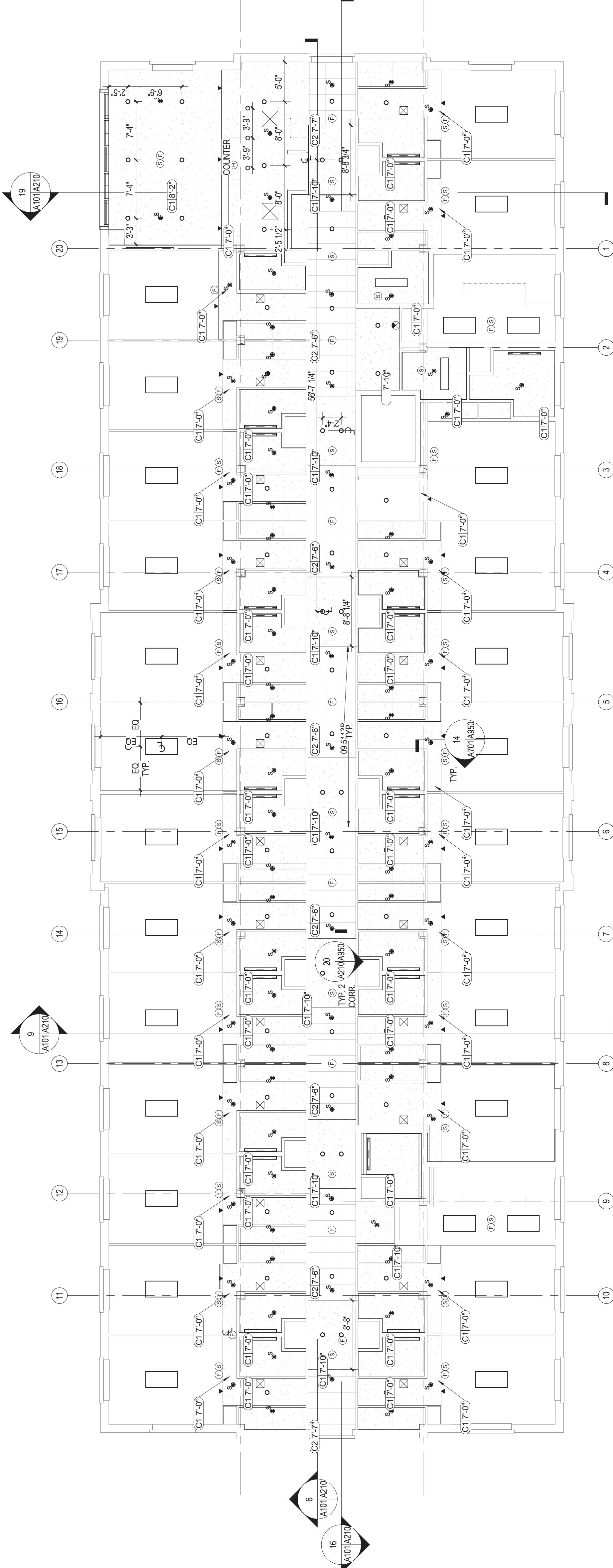
NOTE:
IN AREAS WHERE CEILINGS HAVE BEEN DEMOLISHED CEILINGS SHALL BE REPAVED IN
ORDER TO PROVIDE A CONTINUOUS REFLECTED CEILING ASSEMBLY PER FP
DRAWINGS. A SECOND INTEGRATED FINISH CEILING WILL BE INSTALLED BELOW FIRE
RATED FLOOR/CEILING ASSEMBLY, WHERE INDICATED.



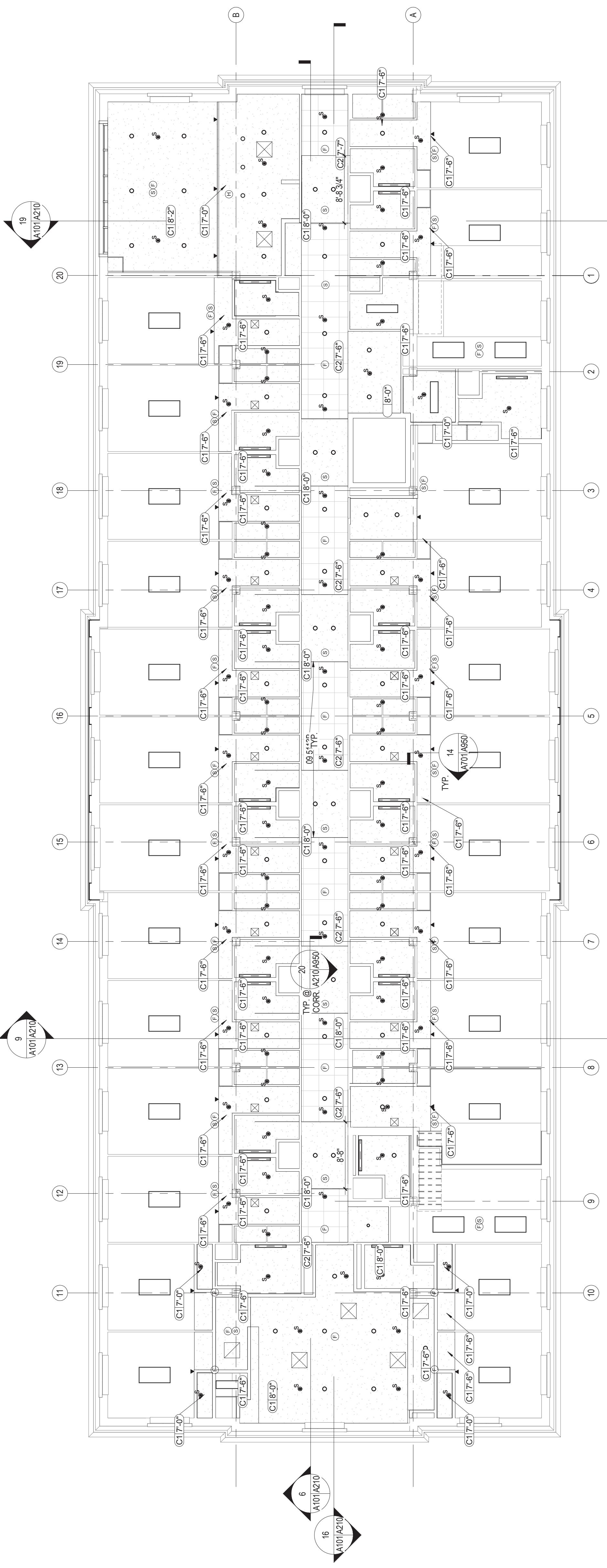
Checked By: MLW / ARS
Drawn By: DEM / MBW

Note: Modifications to the bid documents that were issued by addenda have been incorporated into these drawings for the convenience of the Contractor. In the event of discrepancies between the originally issued addenda and changes depicted on these drawings, the originally issued addenda shall take precedence.

Project Code: 217-17565-002
VMDO Project Number: 1115

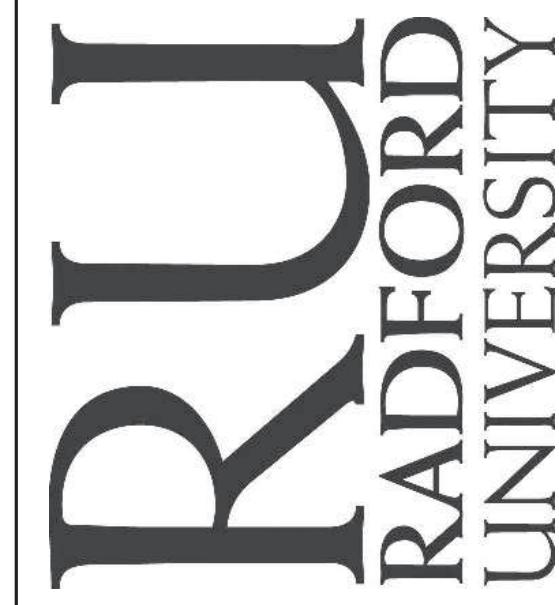


2 Third Floor
A201/A50 18'-1"-0"



REFLECTED CEILING PLAN GENERAL NOTES

1. CEILING HEIGHTS ARE MEASURED FROM FINISHED FLOOR.
2. LOCER OR ACCESSED BY STAFF, STUDENTS, AND FACULTY CONSULT ARCHITECT SEE ELECTRICAL FOR SPECIFIC LIGHT FIXTURE TYPE.
3. PANTALLA STRUCTURE AND INFRASTRUCTURE COMPONENTS AND SOURCE LINES ARE NOT TO BE CONSIDERED ANVIAL OR CEILING CAVITIES.
4. ALL SPERRED PIPING TO CONDUCT CONFLUENTS CENTER SPRINKLER HEADS, MECHANICAL AIR DEVICES, LIGHT FIXTURES AND OTHER ELECTRICAL DEVICES TO ONE ANOTHER AND WITH PC AS BACKUP ACCESS PANELS AT ALL M/E/P COMPONENTS REQUIRING ACCESS. SOME M/E/P COMPONENTS, ELECTRICAL DEVICES AND PLUMBING DEVICES MAY NOT BE SHOWN. REFER TO M/E/P DRAWINGS.
5. CONSULT WITH ARCHITECT ON CONFLUENTS.
6. BOD ACCESS PANELS AT ALL M/E/P COMPONENTS REQUIRING ACCESS.
7. SOME M/E/P COMPONENTS, ELECTRICAL DEVICES AND PLUMBING DEVICES MAY NOT BE SHOWN. REFER TO M/E/P DRAWINGS.



RENOVATION OF THREE
RESIDENCE HALLS
DRAPER HALL

RADFORD UNIVERSITY
RADFORD, VIRGINIA

Project Code 217-17565-002
VMDO Project Number 1115

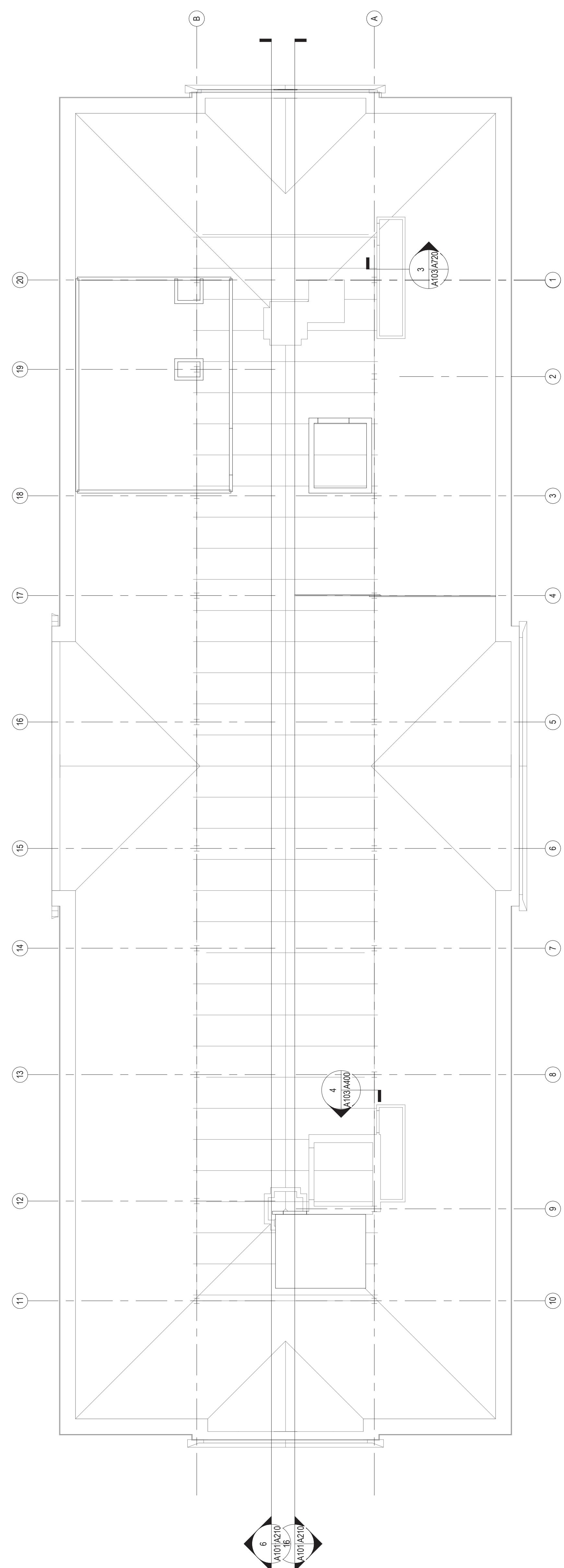
Checked By ARS
Drawn By ARS

Note: Modifications to the bid documents that were issued by architect have been incorporated into these drawings for the convenience of the Contractor. In the event of discrepancies between the originally issued addenda and changes depicted on these drawings, the originally issued addenda shall take precedence.



GRAPHIC SCALE: 1/32" = 1'-0"
0 32'-0" 64'-0" 96'-0"

ISSUES AND REVISIONS
NO. SUBMITTAL DATE



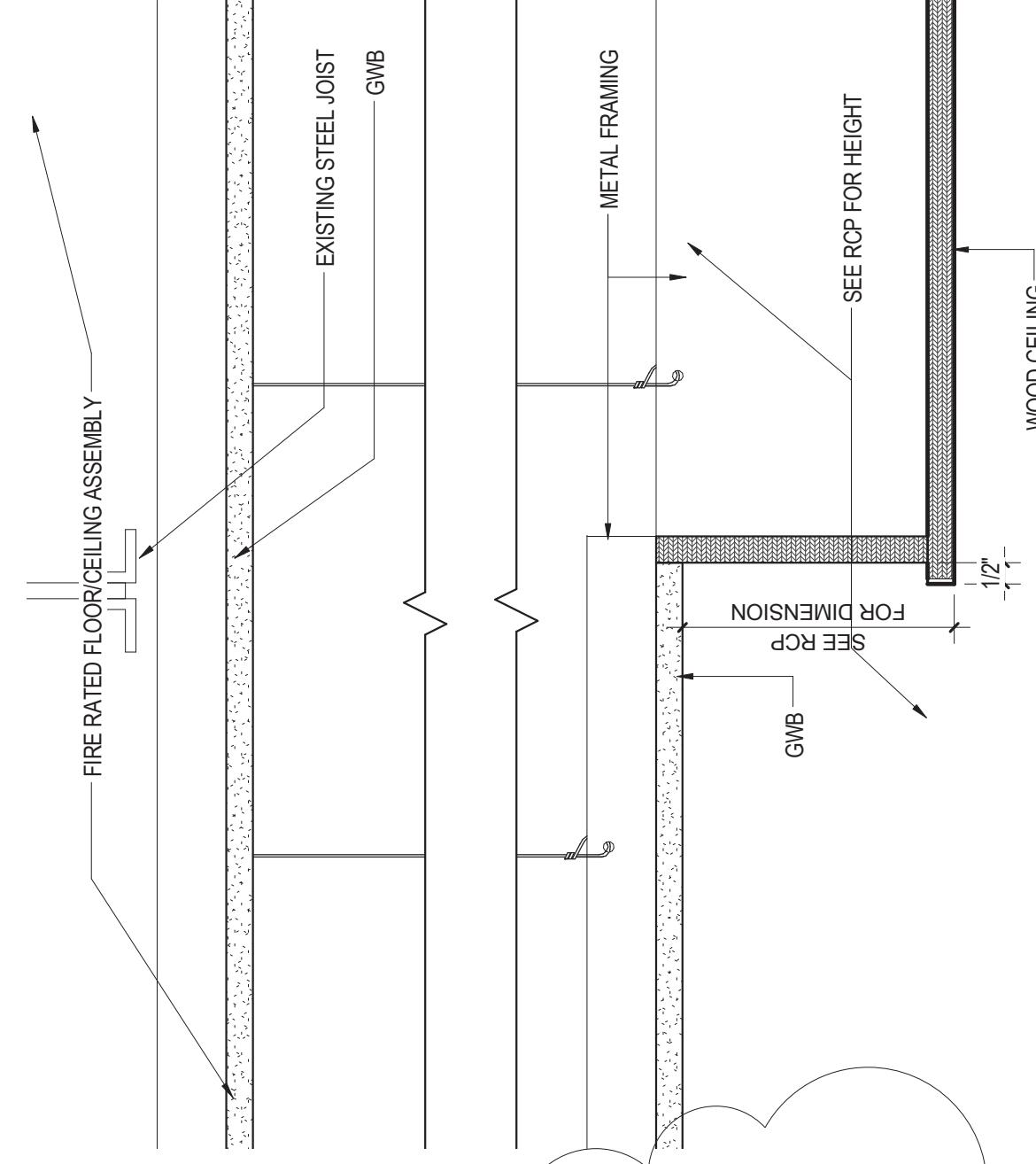
RU

RADFORD UNIVERSITY

RENOVATION OF THREE RESIDENCE HALLS DRAPER HALL

RADFORD UNIVERSITY
RADFORD, VIRGINIA
Project Code 217-17565-002
VMDO Project Number 1115

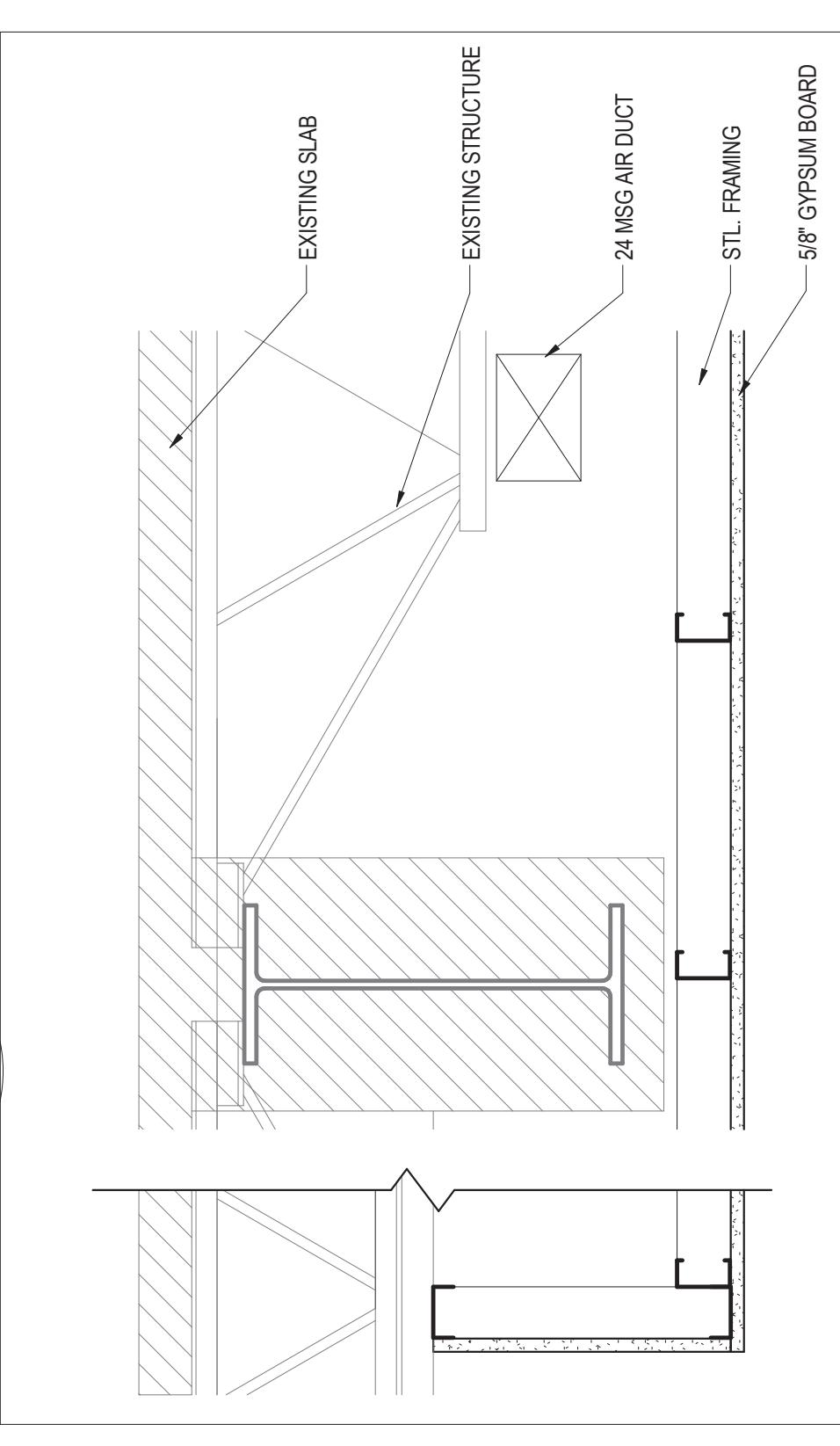
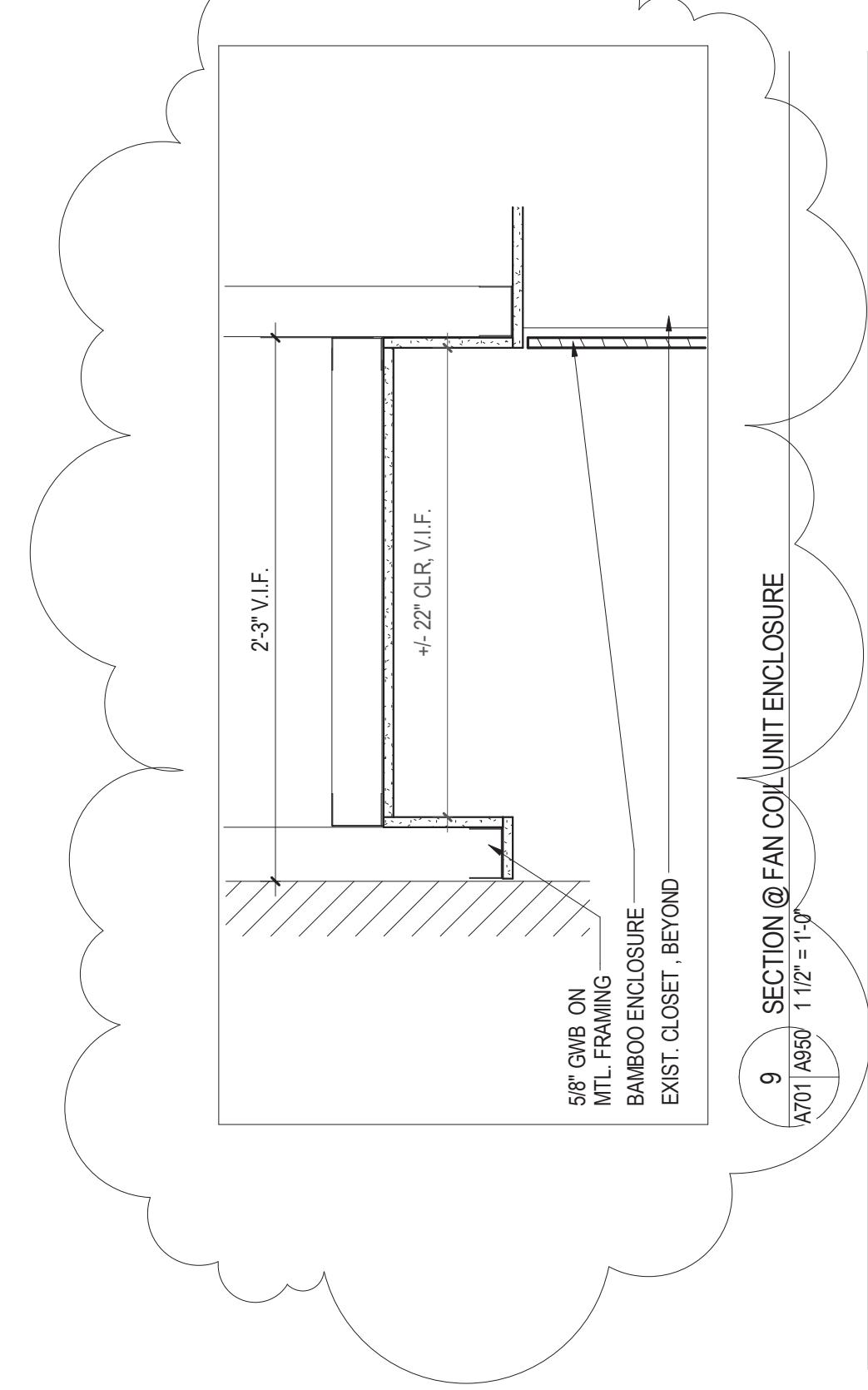
KEYNOTE LEGEND
09 5113B CEILING TRANSITION EDGE TRIM



MLWARS
MBW

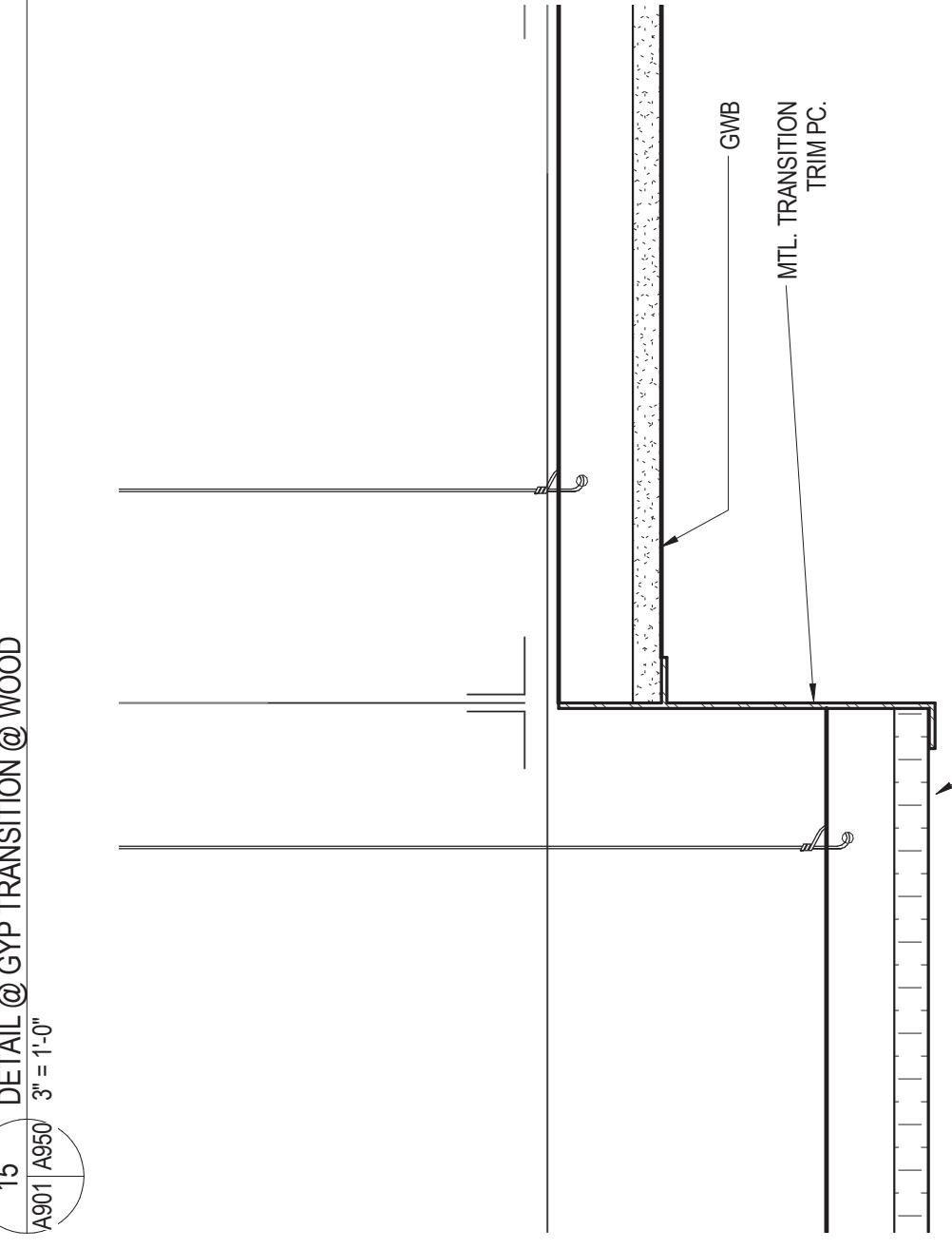
Checked By
Drawn By
Note: Modifications to the bid documents that were issued by addenda have been incorporated into these drawings for the convenience of the Contractor. In the event of discrepancies between the originally issued addenda and changes depicted on these drawings, the originally issued addenda shall take precedence.

GRAPHIC SCALE: 1/32" = 1'-0"
0 32'-0" 64'-0" 96'-0"

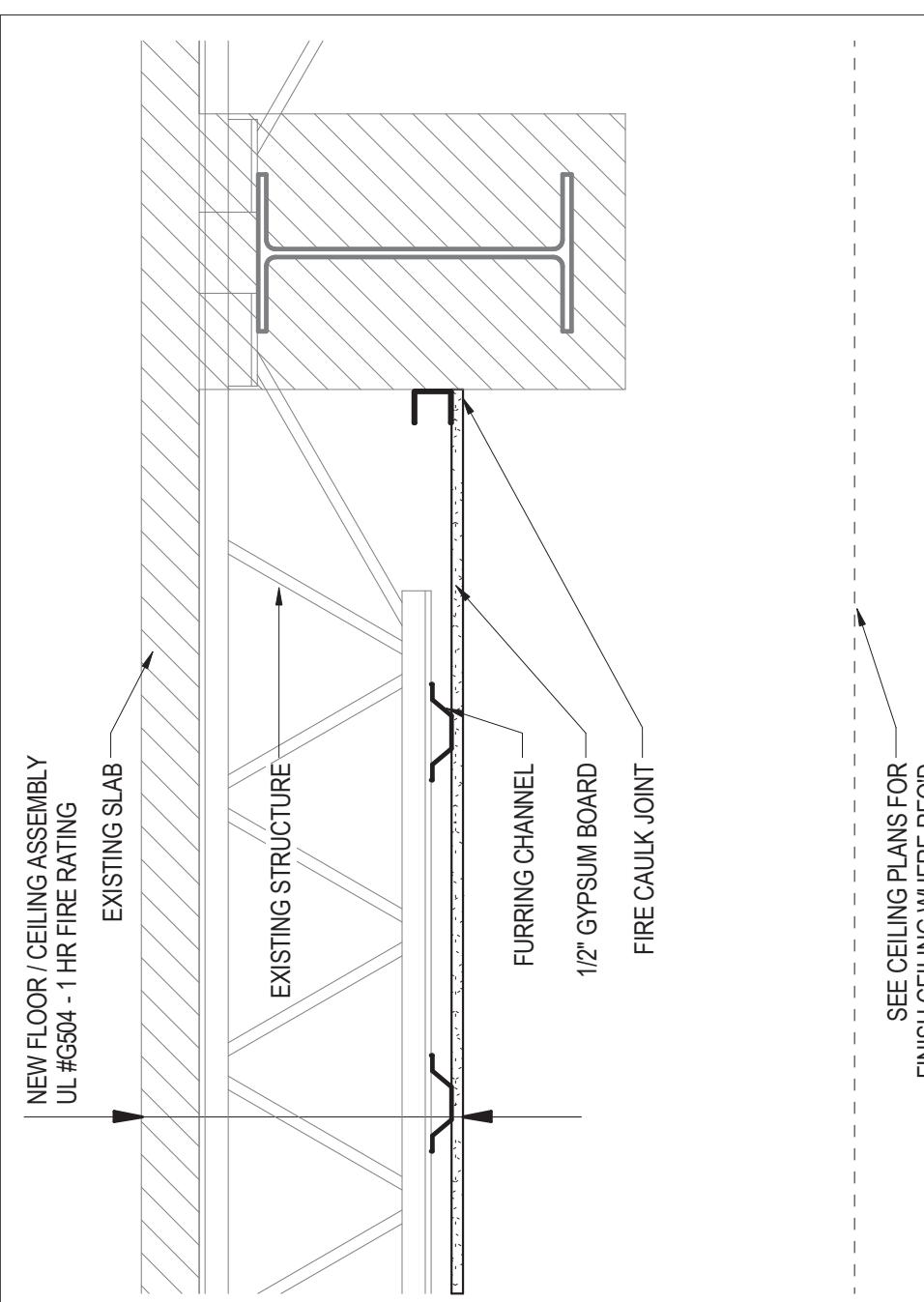


ISSUES AND REVISIONS
NO. SUBMITTAL DATE
1 BID DOCUMENTS 05.19.14
Addendum 1 06.19.14
Addendum 2 06.24.14
Addendum 3 06.25.14
CONSTRUCTION SET 05.01.15

CEILING DETAILS

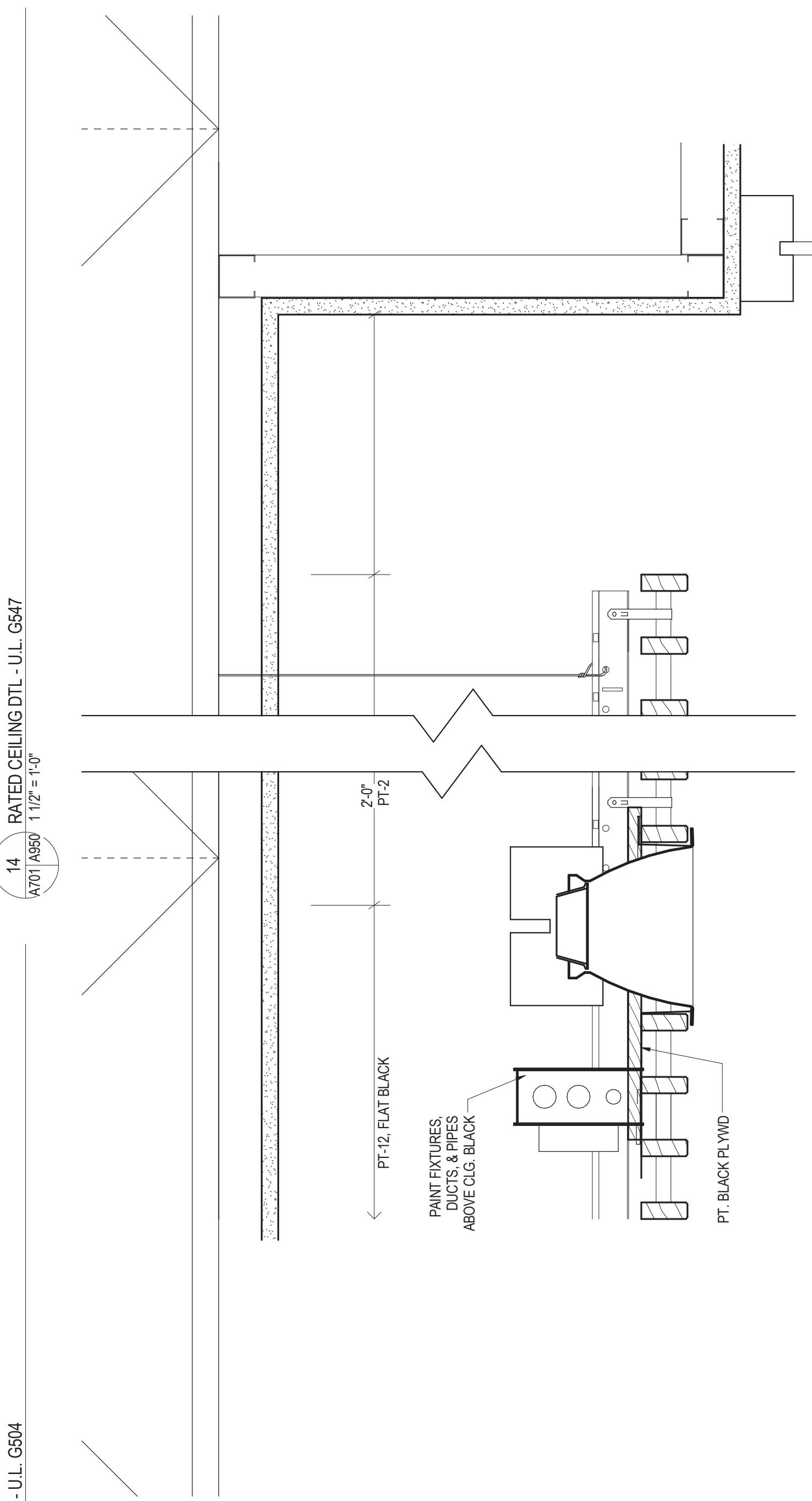


DETAIL @ GYP TRANSITION TO APC IN CORRIDORS, TYP.
A210 A580 3 = 1'-0"

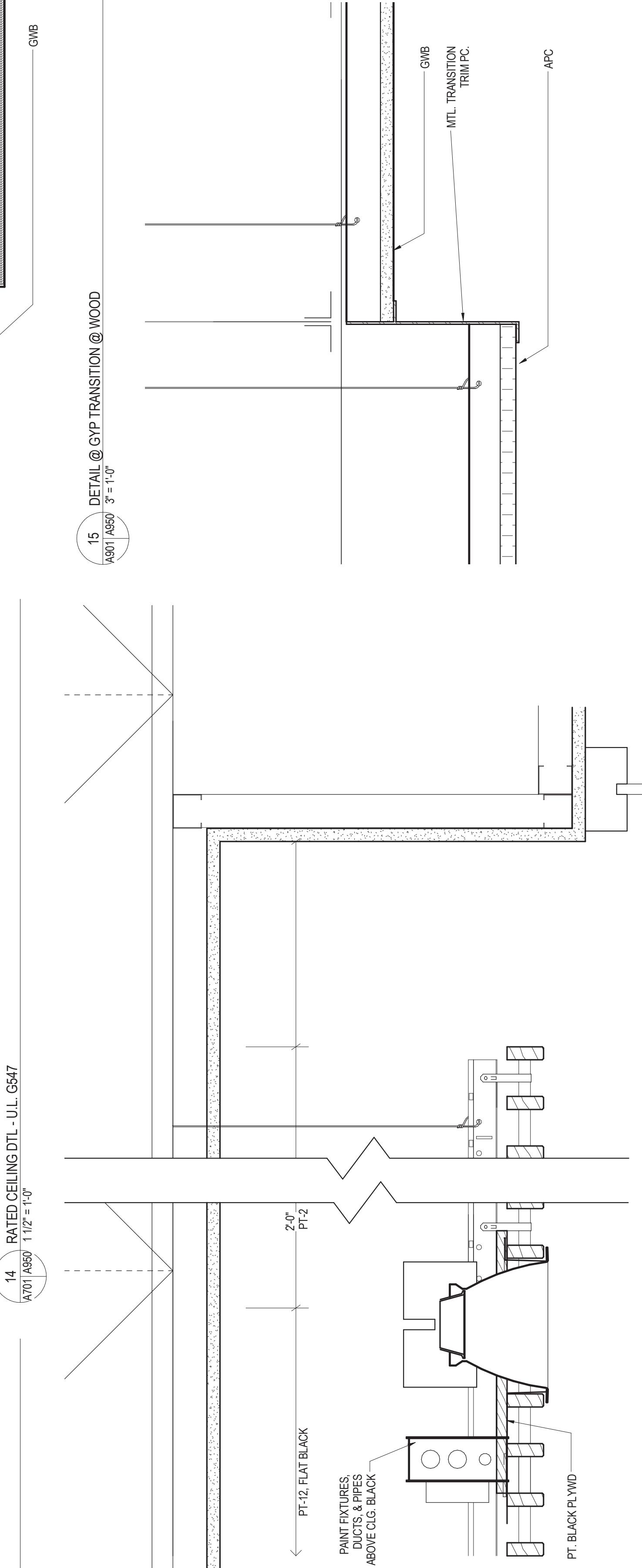


13 A580 A580 11/2" = 1'-0"
RATED CEILING - ULL GS47

15 A580 A580 3 = 1'-0"
DETAIL @ GYP TRANSITION @ WOOD



DETAIL @ RULON CEILING
A210 A580 3 = 1'-0"



DETAIL @ GYP TRANSITION TO APC IN CORRIDORS, TYP.
A210 A580 3 = 1'-0"