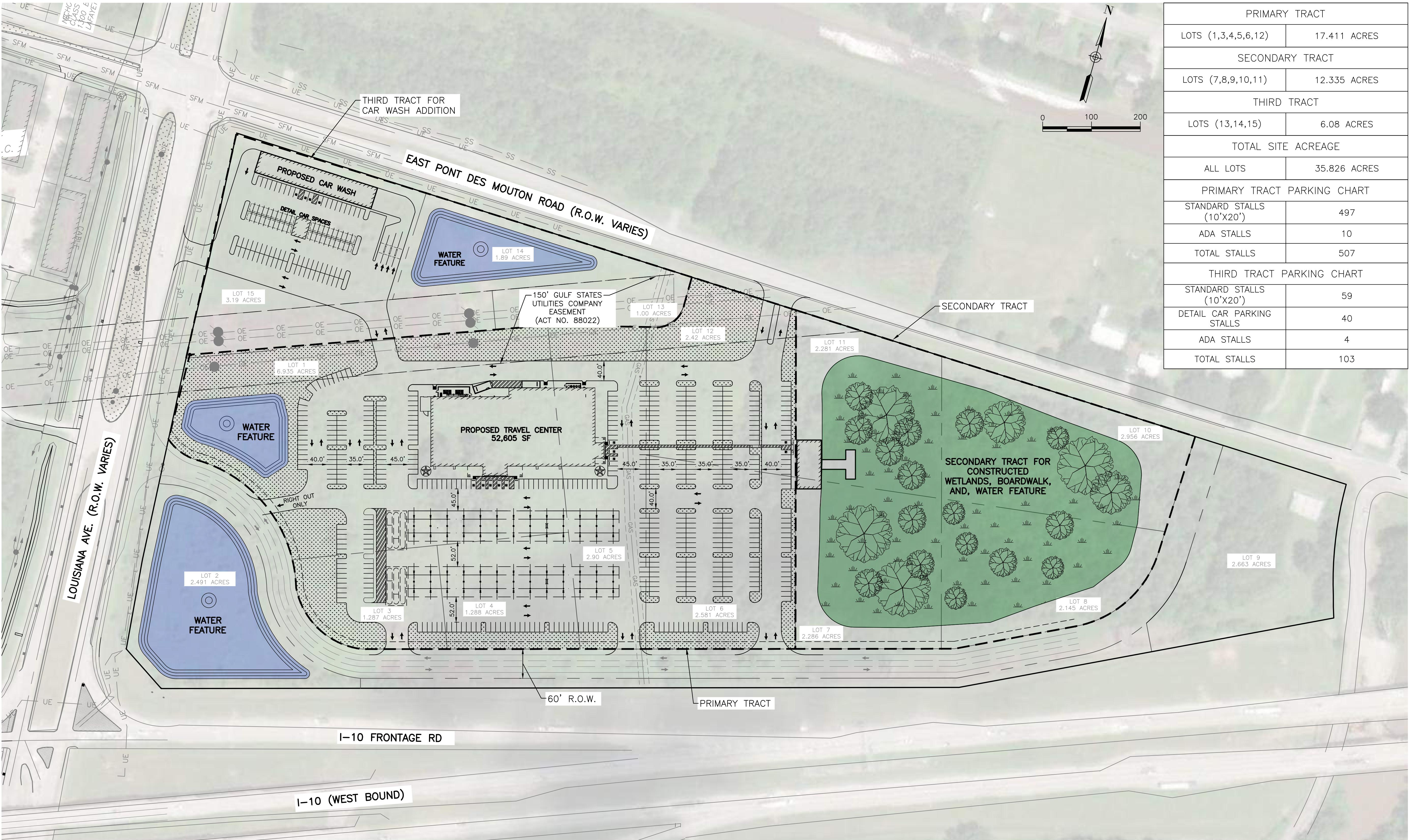


**SITE PLAN
(OPTION 1)**

SCHEMATIC LAYOUT FOR:
PROPOSED TRAVEL CENTER
LOUISIANA AVE
LAFAYETTE, LOUISIANA

NO. DATE BY
REVISION DESCRIPTION

PRIMARY TRACT	
LOTS (1,3,4,5,6,12)	17.411 ACRES
SECONDARY TRACT	
LOTS (7,8,9,10,11)	12.335 ACRES
THIRD TRACT	
LOTS (13,14,15)	6.08 ACRES
TOTAL SITE ACREAGE	
ALL LOTS	35.826 ACRES
PRIMARY TRACT PARKING CHART	
STANDARD STALLS (10'X20')	497
ADA STALLS	10
TOTAL STALLS	507
THIRD TRACT PARKING CHART	
STANDARD STALLS (10'X20')	59
DETAIL CAR PARKING STALLS	40
ADA STALLS	4
TOTAL STALLS	103



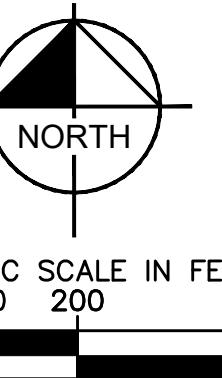
SCHEMATIC
FOR INFORMATIONAL PURPOSES ONLY

NOT TO BE USED FOR CONSTRUCTION BIDDING, RECORDATION, CONVEYANCE, SALES OR AS THE BASIS FOR ISSUANCE OF PERMITS.
ENGINEER: JAMES J. RICKS, P.E.
LICENSE NUMBER: 3227

JOB # XXX
ENGINEER: JJR
DRAWN BY: BSB
DATE: JUNE 2021

SHEET

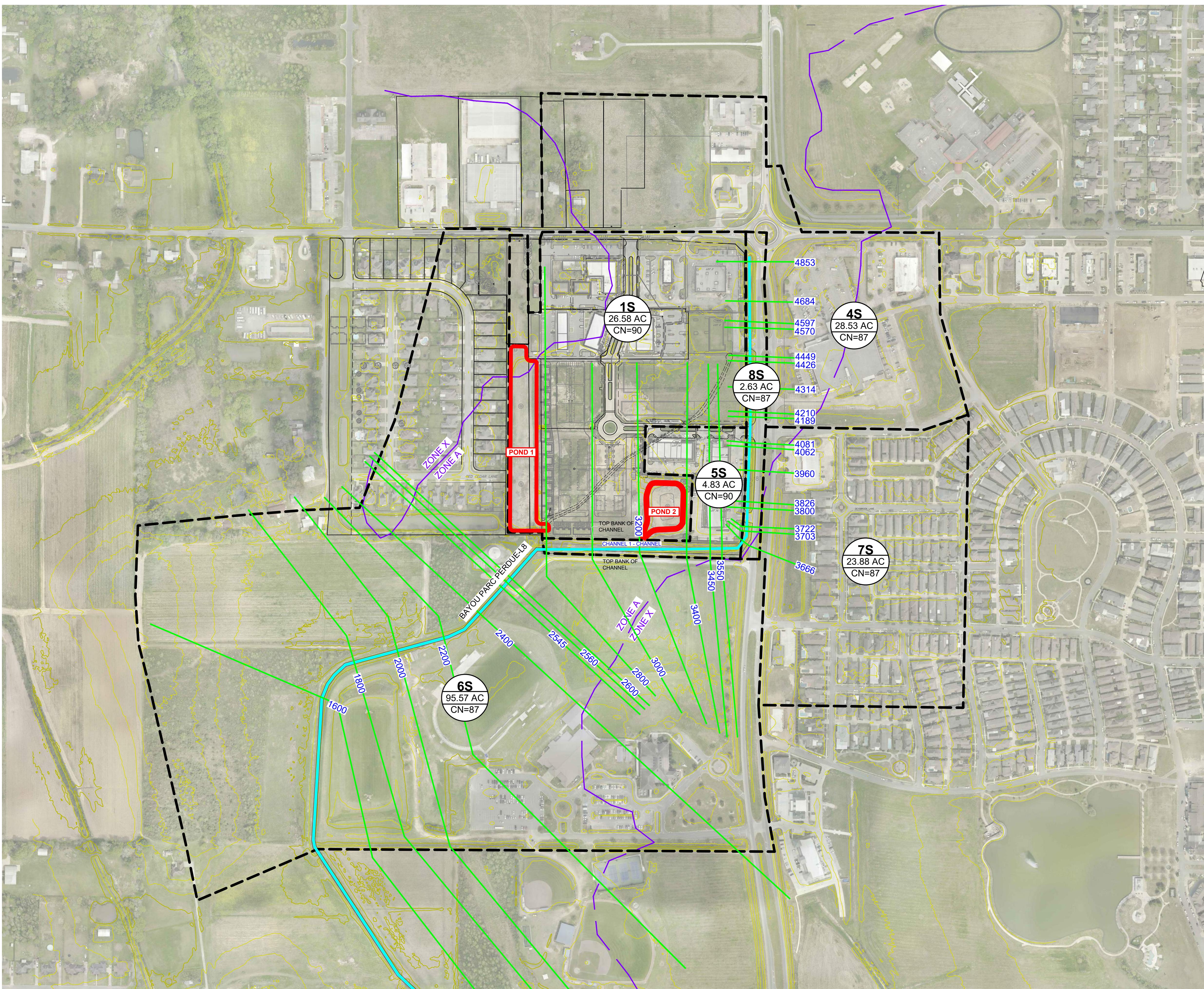
1



GRAPHIC SCALE IN FEET
0 100 200 400

LEGEND

- COULEE CROSS SECTION
- PROPOSED POND CONTOUR
- COULEE CENTERLINE
- FEMA FLOODZONE

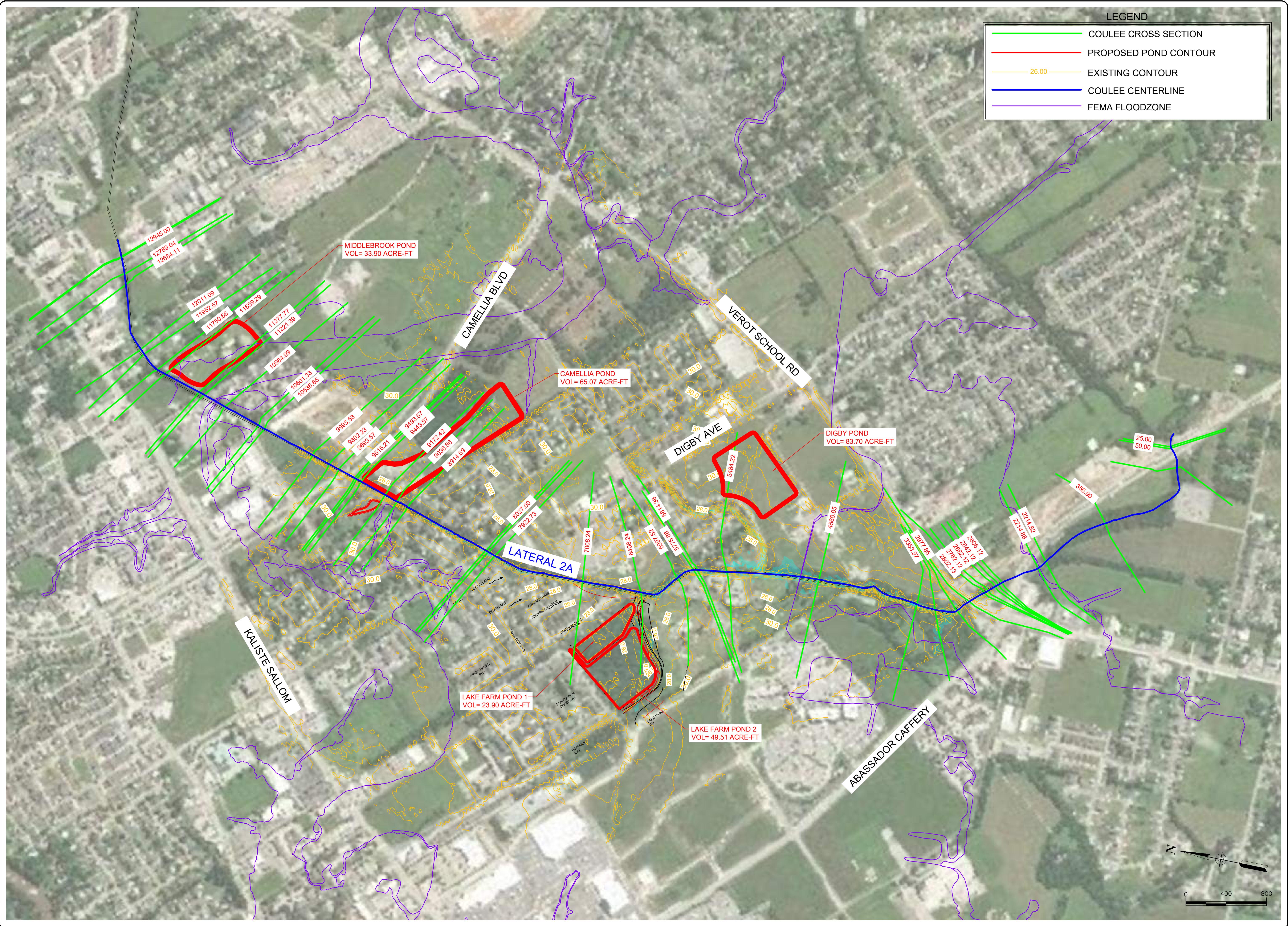


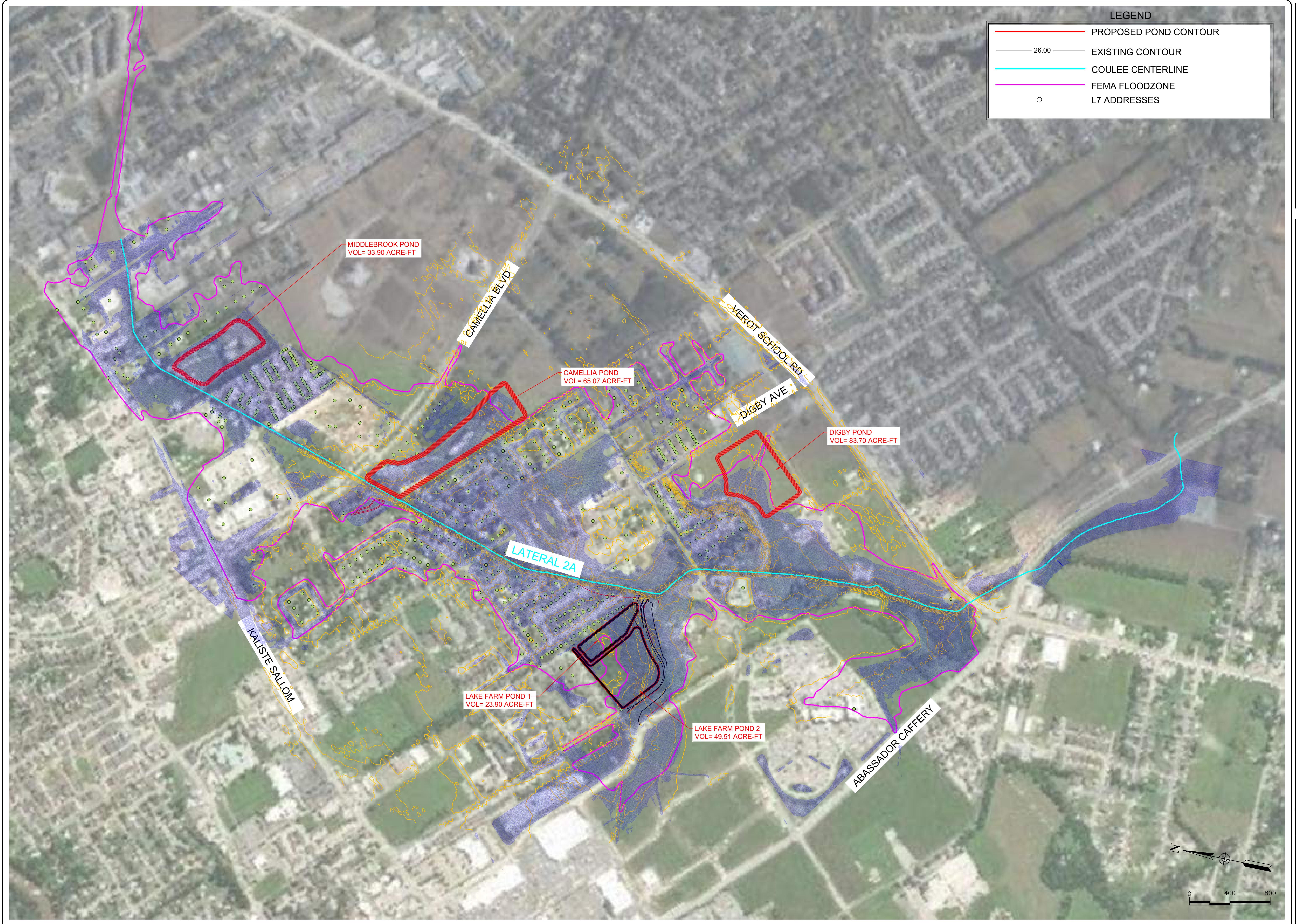
PLANS FOR:
METARIE CENTER
FLOOD STUDY EXTENSION
1700 BLK CHEMIN METARIE
LAFAYETTE, LOUISIANA 70592

NO.	DATE	REVISION DESCRIPTION	BY
PRELIMINARY			
NOT TO BE USED FOR CONSTRUCTION, BIDDING, CONTRACTING, PURCHASE, SALE OR AS THE BASIS FOR ISSUANCE OF PERMIT. ENGINEER IN CHARGE: KMB LICENSE NUMBER: 3222			
JOB #	SE 23-500		
ENGINEER:	JJR		
DRAWN BY:	KMB		
DATE:	MAY 2023		
HEC-RAS			



345 DOUCET ROAD, SUITE 102 | LAFAYETTE, LA 337.988.7768 | WWW.SEEENGINEERS.COM





HEC-RAS MODEL WITH PONDS

PLANS FOR:
LATERAL 7
LAFAYETTE, LOUISIANA

REVISION DESCRIPTION	BY

PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION, BIDDING, OR CONTRACTING, SALES OR AS THE BASIS FOR ISSUANCE OF PERMIT.

ENGINEER: JAMES J. RICKS, P.E.

LICENSE NUMBER: 32227

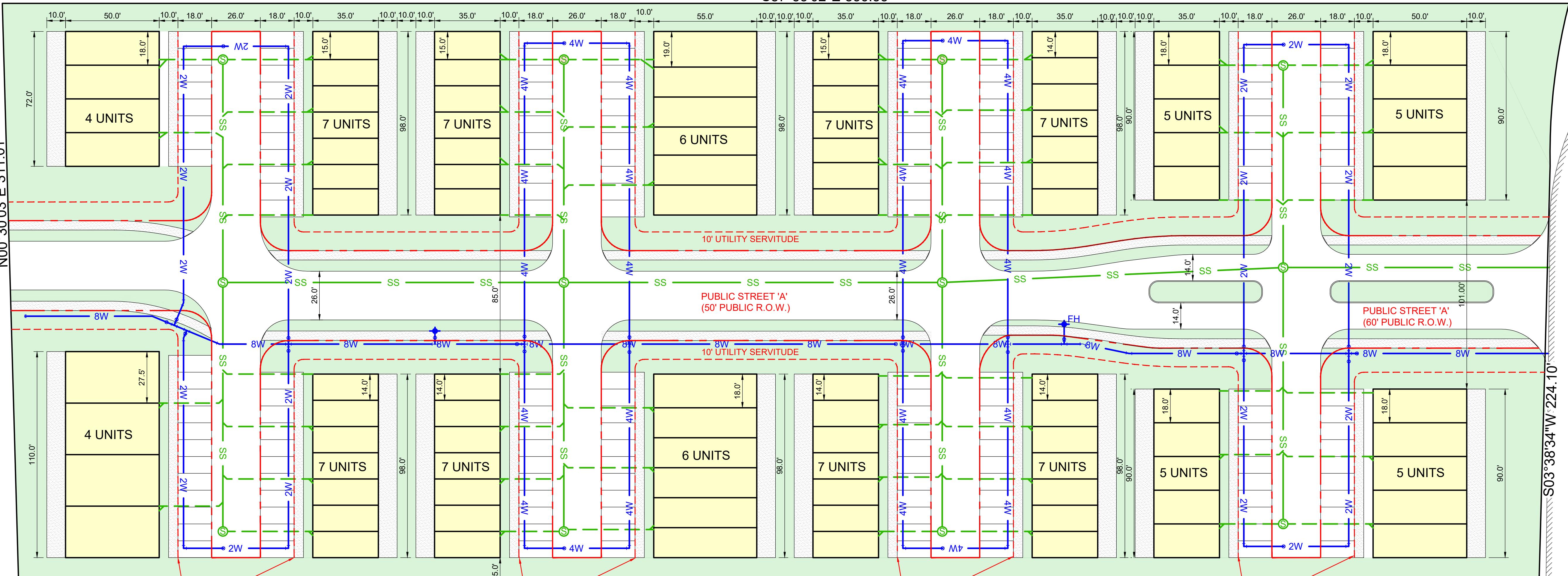
JOB # 20-691
ENGINEER: JJR
DRAWN BY: LPP
DATE: JANUARY 2023

SHEET HEC-RAS

300 BLK RIDGE ROAD
SEC 17 T10S R4E
±19.00 ACRES

C

REEVIEW DEVELOPMENT



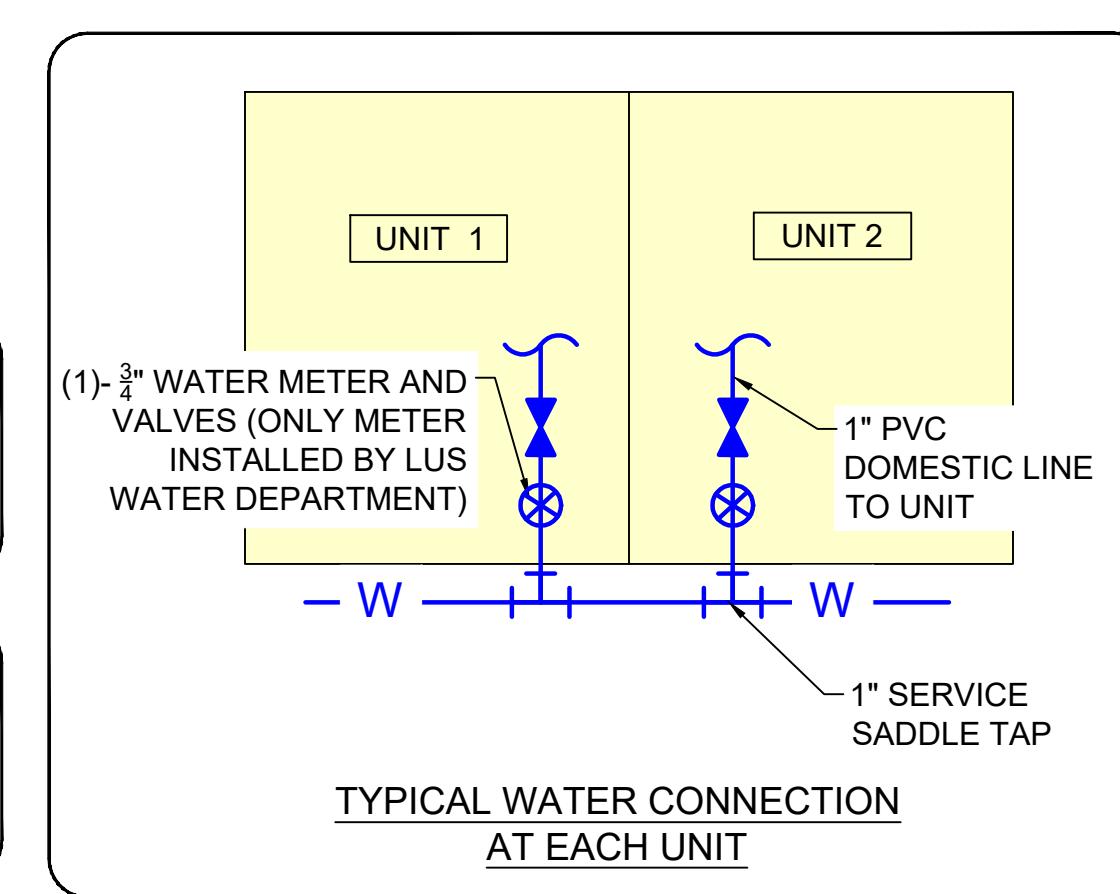
ENGINEER: JAMES J. RICKS, P.E.
LICENSE NUMBER: 32227

REFERENCE PLAT:

BOUNDARY LIMITS ARE APPROXIMATED FROM PLAT OF SURVEY FOR PROPOSED EXTENSION FOR CITY OF LAFAYETTE, LA. CORPORATE LIMITS LOCATED IN SECTION 17, T10S-R4E. RECORDING NO. 2009-45579.

THIS IS A PRELIMINARY CONCEPTUAL PLAN AND HAS BEEN PRODUCED WITHOUT THE BENEFIT OF A SURVEY. THIS IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED.

**±5.959 ACRES
(96 UNITS)**

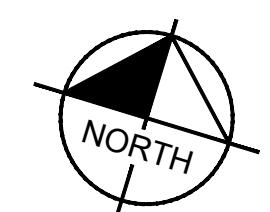


CREEKVIEW SANITARY SEWER - PUBLIC				
ITEM #	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE
SS1	MOBILIZATION	LS	1	\$ 4,000.00
SS2	8"X8" TAPPING SLEEVE, VALVE & BOX	EA	1	\$ 7,200.00
SS4	8" VALVE AND BOX	EA	5	\$ 1,775.00
SS5	6" VALVE AND BOX	EA	2	\$ 1,250.00
SS6	4" VALVE AND BOX	EA	12	\$ 1,225.00
SS7	2" VALVE AND BOX	EA	12	\$ 1,000.00
W8	FIRE HYDRANT ASSEMBLY	EA	2	\$ 4,150.00
W9	8" PVC WATER MAIN	LF	825	\$ 45.20
W10	4" PVC WATER MAIN	LF	1,305	\$ 18.00
W11	2" PVC WATER MAIN	LF	1,295	\$ 12.00
W12	1" PVC DOMESTIC SERVICE LINE	LF	1,250	\$ 9.00
W13	1" SERVICE SADDLE TAP	EA	96	\$ 750.00
W14	WATER FITTINGS	TON	0.75	\$ 20,000.00
W15	TESTING & CHLORINATION OF WATER	LS	1	\$ 1,500.00
10% CONTINGENCY				
\$ 239,047.05				
TOTAL OPCC WATER/ SEWER = \$496,056				
TOTAL OPCC WATER/ SEWER = \$257,009.50				

CREEKVIEW WATER - PUBLIC				
ITEM #	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE
W1	MOBILIZATION	LS	1	\$ 4,000.00
W2	8"X8" TAPPING SLEEVE, VALVE & BOX	EA	1	\$ 7,200.00
W4	8" VALVE AND BOX	EA	5	\$ 1,775.00
W5	6" VALVE AND BOX	EA	2	\$ 1,250.00
W6	4" VALVE AND BOX	EA	12	\$ 1,225.00
W7	2" VALVE AND BOX	EA	12	\$ 1,000.00
W8	FIRE HYDRANT ASSEMBLY	EA	2	\$ 4,150.00
W9	8" PVC WATER MAIN	LF	825	\$ 45.20
W10	4" PVC WATER MAIN	LF	1,305	\$ 18.00
W11	2" PVC WATER MAIN	LF	1,295	\$ 12.00
W12	1" PVC DOMESTIC SERVICE LINE	LF	1,250	\$ 9.00
W13	1" SERVICE SADDLE TAP	EA	96	\$ 750.00
W14	WATER FITTINGS	TON	0.75	\$ 20,000.00
W15	TESTING & CHLORINATION OF WATER	LS	1	\$ 1,500.00
10% CONTINGENCY				
\$ 21,731.55				
\$ 233,645.00				
TOTAL OPCC WATER/ SEWER = \$496,056				
TOTAL OPCC WATER/ SEWER = \$257,009.50				

LEGEND

- PROPOSED LANDSCAPE
- PROPOSED TOWNHOMES
- PRIVATE 6" SANITARY SEWER
- PUBLIC 8" SANITARY SEWER
- PUBLIC 2" WATER MAIN
- PUBLIC 4" WATER MAIN
- PUBLIC 8" WATER MAIN
- PUBLIC R.O.W. LINE
- PUBLIC UTILITY SERVITUDE



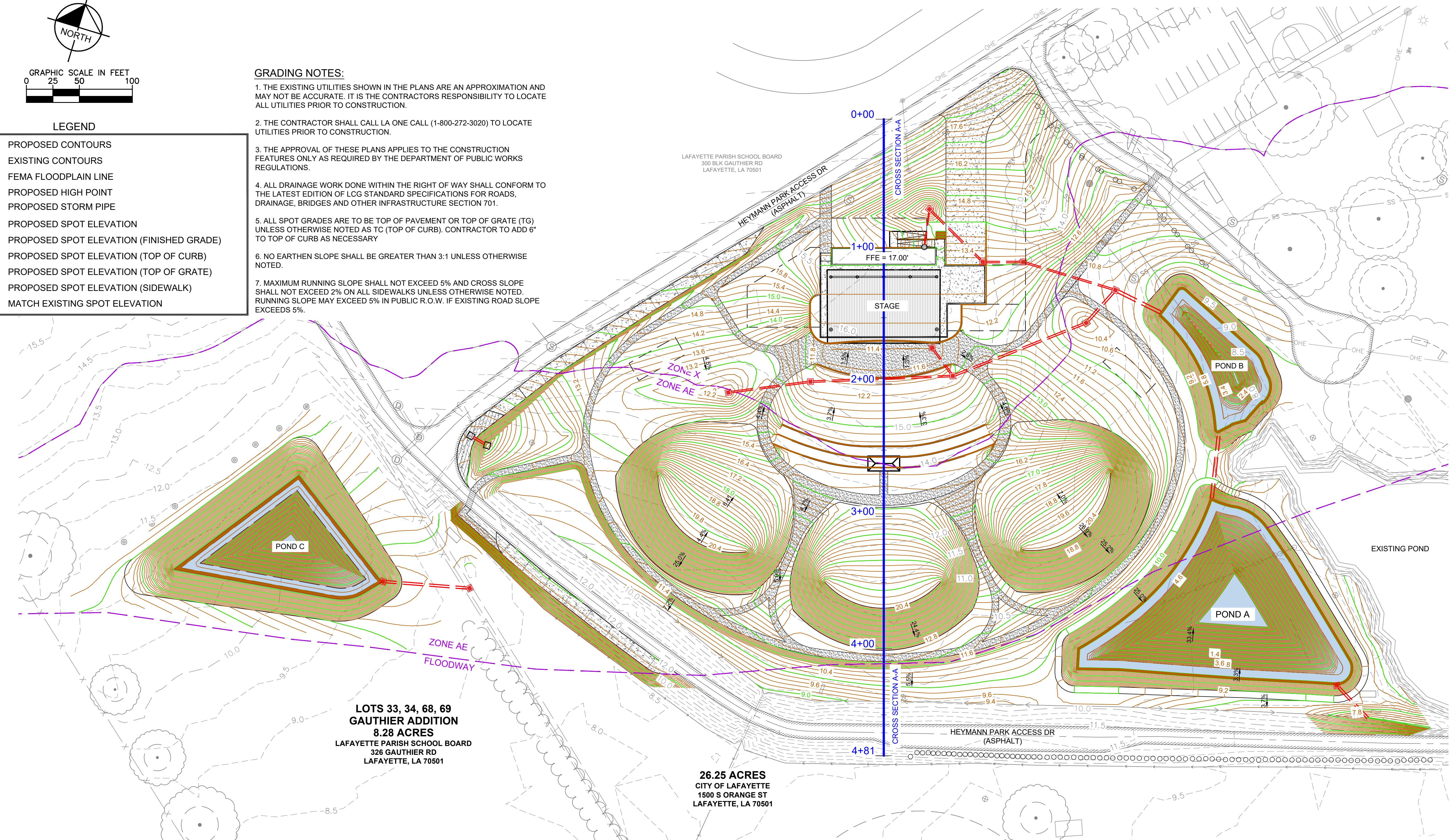
GRAPHIC SCALE IN FEET
0 25 50 100

LEGEND

	PROPOSED CONTOURS
	EXISTING CONTOURS
	FEMA FLOODPLAIN LINE
	PROPOSED HIGH POINT
	PROPOSED STORM PIPE
30.00	PROPOSED SPOT ELEVATION
30.00FG	PROPOSED SPOT ELEVATION (FINISHED GRADE)
30.00TC	PROPOSED SPOT ELEVATION (TOP OF CURB)
30.00TG	PROPOSED SPOT ELEVATION (TOP OF GRATE)
30.00SW	PROPOSED SPOT ELEVATION (SIDEWALK)
30.00ME	MATCH EXISTING SPOT ELEVATION

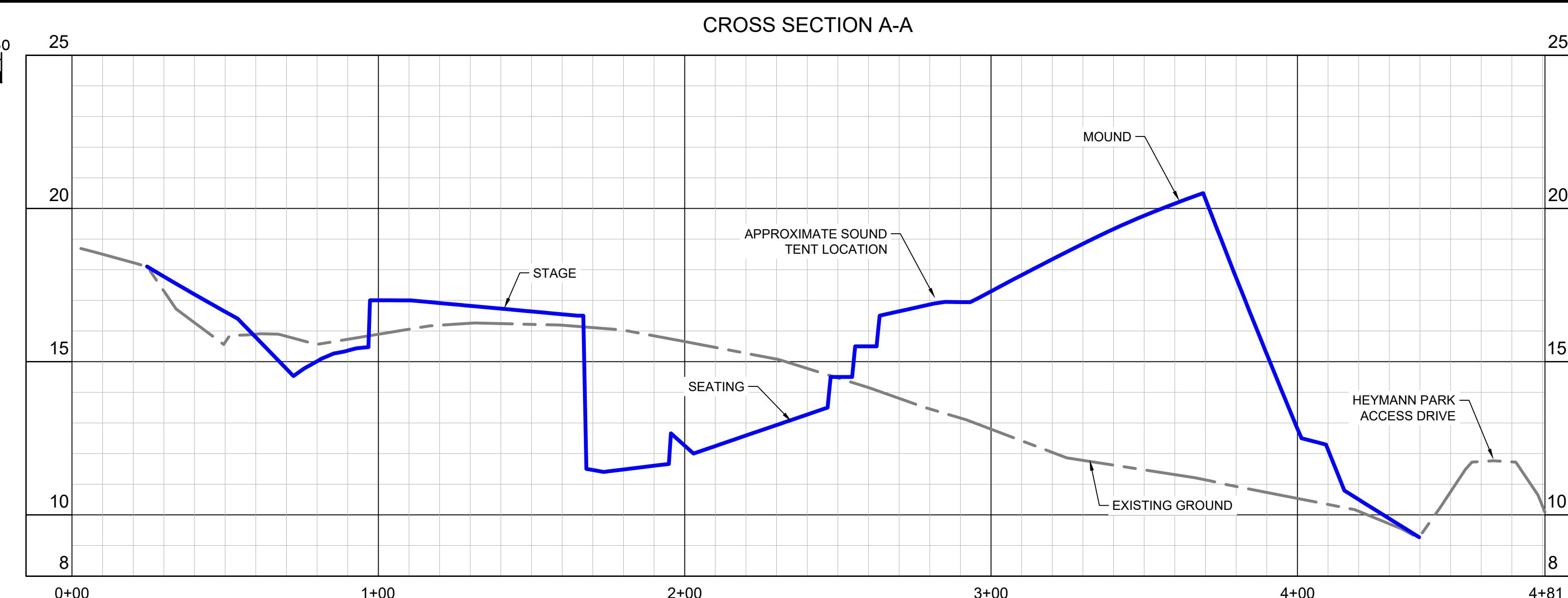
GRADING NOTES:

- THE EXISTING UTILITIES SHOWN IN THE PLANS ARE AN APPROXIMATION AND MAY NOT BE ACCURATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CALL LA ONE CALL (1-800-272-3020) TO LOCATE UTILITIES PRIOR TO CONSTRUCTION.
- THE APPROVAL OF THESE PLANS APPLIES TO THE CONSTRUCTION FEATURES ONLY AS REQUIRED BY THE DEPARTMENT OF PUBLIC WORKS REGULATIONS.
- ALL DRAINAGE WORK DONE WITHIN THE RIGHT OF WAY SHALL CONFORM TO THE LATEST EDITION OF LCG STANDARD SPECIFICATIONS FOR ROADS, DRAINAGE, BRIDGES AND OTHER INFRASTRUCTURE SECTION 701.
- ALL SPOT GRADES ARE TO BE TOP OF PAVEMENT OR TOP OF GRATE (TG) UNLESS OTHERWISE NOTED AS TC (TOP OF CURB). CONTRACTOR TO ADD 6" TO TOP OF CURB AS NECESSARY.
- NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1 UNLESS OTHERWISE NOTED.
- MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS UNLESS OTHERWISE NOTED. RUNNING SLOPE MAY EXCEED 5% IN PUBLIC R.O.W. IF EXISTING ROAD SLOPE EXCEEDS 5%.



GRAPHIC SCALE IN FEET
0 15 30 60

1H = 10V



FLOODPLAIN MITIGATION HEYMANN PARK, LAFAYETTE, LA 70501

A. GENERAL INFORMATION AND DESIGN CRITERIA

THE ABOVE REFERENCED PROJECT IS LOCATED WITHIN THE LIMITS OF THE FLOODPLAIN. ACCORDING TO DEVELOPMENT REGULATIONS, THE PROJECT SITE MUST BE PROPERLY MITIGATED AS TO NOT ADVERSELY IMPACT THE BASE FLOOD ELEVATION (BFE) AS SET BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) HAS BEEN DETERMINED TO BE ELEVATION 34.2'. THE BFE WAS DETERMINED FROM THE FINAL DRAINAGE SUMMARY REPORT FOR VILLE DE COTE GELEE PREPARED BY: PAUL L. Miers ENGINEERING, LLC DATED AUGUST 16, 2014.

TO PROPERLY MITIGATE THE PROPOSED SITE, THE EXISTING SITE ELEVATIONS MUST BE COMPARED TO THE BFE IN THE AREAS OF DEVELOPMENT AND DISTURBANCE. THE CALCULATED FLOOD STORAGE VOLUME MUST BE MAINTAINED OR INCREASED IN THE DESIGN OF THE PROPOSED SITE PLAN. THE EXISTING SITE ELEVATIONS WERE TAKEN FROM THE TOPOGRAPHIC SURVEY PROVIDED BY THE CLIENT.

B. DESIGN COMPUTATIONS AND METHODOLOGY

THE ELEVATIONS OF THE PROPOSED SITE PLAN HAVE BEEN ANALYZED IN THE AREAS OF DISTURBANCE AND COMPARED TO THE EXISTING SURFACE.

THE RESULTS ARE AS FOLLOWS:
THE CUMULATIVE EXISTING STORAGE VOLUME BELOW THE FLOODPLAIN IS 24,865 CUBIC YARDS IN THE AREA OF DEVELOPMENT AND ANALYSIS.
THE CUMULATIVE PROPOSED STORAGE VOLUME BELOW THE FLOODPLAIN IS 24,932 CUBIC YARDS IN THE AREA OF DEVELOPMENT AND ANALYSIS.

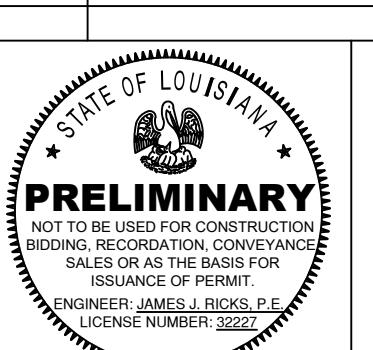


KEYNOTE EXPLANATION

KEY PLAN

Schematic Design - Not for Construction

No.	Description	Date



HEYMANN PARK AMPHITHEATER (PHASE 1)

OVERALL GRADING AND DRAINAGE PLAN

Copyright 2023 ACSW
ACSW Project number 22033

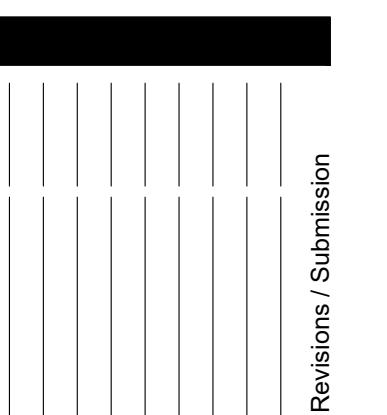
Date 6/16/2023

Drawn by CML

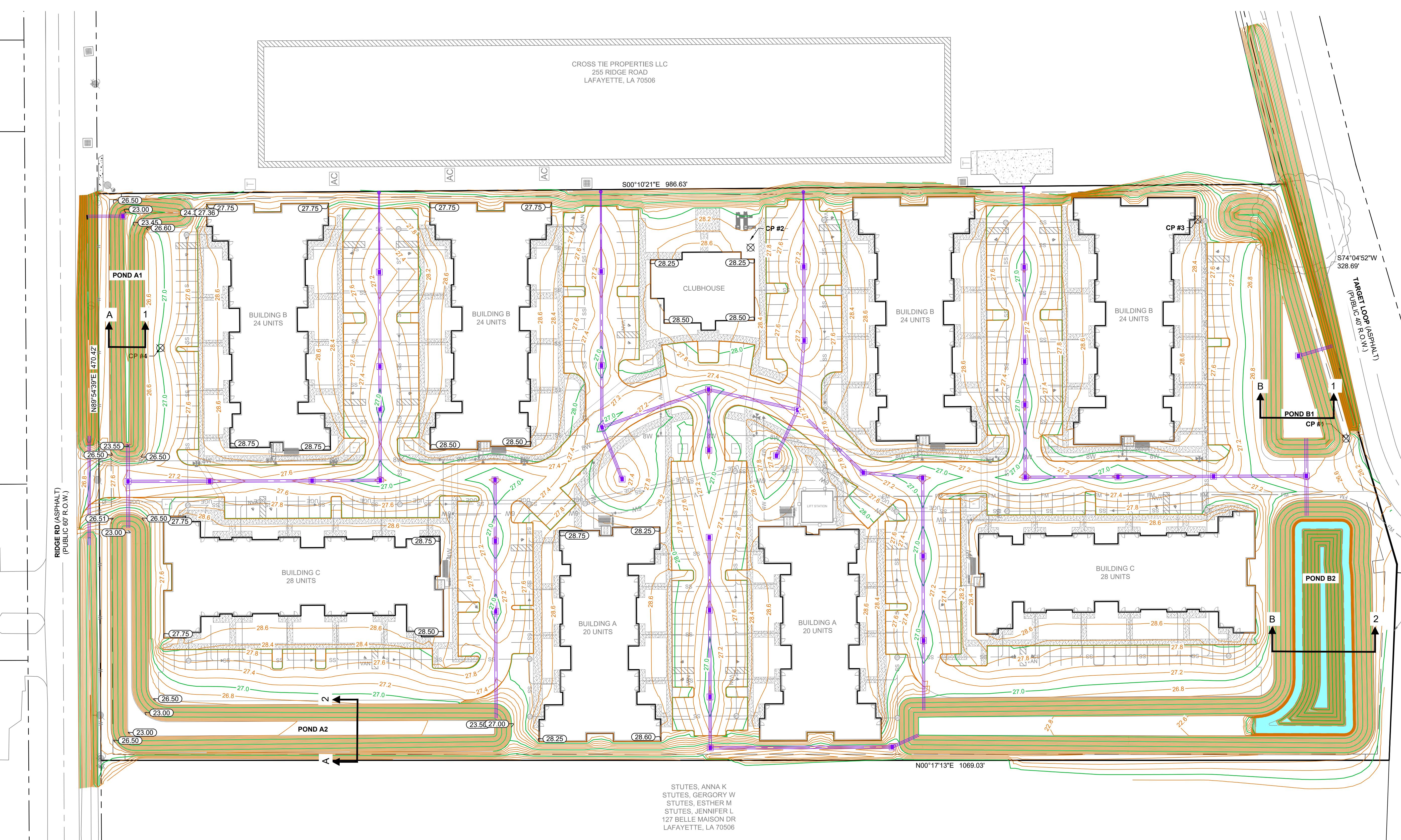
Checked by JJR

C5.0

Scale



Revisions/Submission



LEGEND	
30	PROPOSED CONTOURS
30	EXISTING CONTOURS
—	PROPOSED SWALE
—	PROPOSED HIGH POINT
—	PROPOSED STORM PIPE
30.00	PROPOSED SPOT ELEVATION
30.00FG	PROPOSED SPOT ELEVATION (FINISHED GRADE)
30.00TC	PROPOSED SPOT ELEVATION (TOP OF CURB)
30.00TG	PROPOSED SPOT ELEVATION (TOP OF GRATE)
30.00SW	PROPOSED SPOT ELEVATION (SIDEWALK)
30.00ME	MATCH EXISTING SPOT ELEVATION

GRADING NOTES:

- THE EXISTING UTILITIES SHOWN IN THE PLANS ARE AN APPROXIMATION AND MAY NOT BE ACCURATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CALL LA ONE CALL (1-800-272-3020) TO LOCATE UTILITIES PRIOR TO CONSTRUCTION.
- THE APPROVAL OF THESE PLANS APPLIES TO THE CONSTRUCTION FEATURES ONLY AS REQUIRED BY THE DEPARTMENT OF PUBLIC WORKS REGULATIONS.
- ALL DRAINAGE WORK DONE WITHIN THE RIGHT OF WAY SHALL CONFORM TO THE LATEST EDITION OF LCG STANDARD SPECIFICATIONS FOR ROADS, DRAINAGE, BRIDGES AND OTHER INFRASTRUCTURE SECTION 701.
- ALL SPOT GRADES ARE TO BE TOP OF PAVEMENT OR TOP OF GRATE (TG) UNLESS OTHERWISE NOTED AS TC (TOP OF CURB). CONTRACTOR TO ADD 6" TO TOP OF CURB AS NECESSARY.
- NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1 UNLESS OTHERWISE NOTED.
- MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS UNLESS OTHERWISE NOTED. RUNNING SLOPE MAY EXCEED 5% IN PUBLIC R.O.W. IF EXISTING ROAD SLOPE EXCEEDS 5%.

SITE GRADING - IBC REQUIREMENT (SEC. 1804)

- THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5-PERCENT SLOPE) FOR A MINIMUM DISTANCE OF 10-FEET MEASURE PERPENDICULAR TO THE FACE OF THE WALL.
- IF PHYSICAL OBSTRUCTION OR LOT LINES PROHIBIT 10-FEET OF HORIZONTAL DISTANCE, A 5-PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2 PERCENT WHERE LOCATED WITHIN 10-FEET OF THE BUILDING FOUNDATION.
- IMPERVIOUS SURFACES WITHIN 10-FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2-PERCENT AWAY FROM THE BUILDING.
- WHERE THIS PLAN DOES NOT COMPLY WITH THE ABOVE REQUIREMENTS, IT IS UNDERSTOOD THAT THE BUILDING OFFICIALS APPROVAL OF THIS PLAN WILL BE CONSIDERED AN APPROVED ALTERNATE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION.

POND AND GRADING NOTES:

- POND SHALL HOLD WATER AT MINIMUM DEPTH OF 18 INCHES. IF POND HAS A DEPTH OF GREATER THAN 4 FEET, A SAFETY SHELF SHALL BE REQUIRED. THE SAFETY SHELF SHALL BE AT A 2' WATER DEPTH AND SHALL HAVE A MINIMUM WIDTH OF SIX (6) FEET.

2. EXCAVATION, EMBANKMENT, AND GRADING WORK SHALL BE MEASURED BY LUMP SUM. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE CORRECT QUANTITIES OF EARTHWORK REQUIRED TO COMPLETE THIS ITEM. NO ADJUSTMENT IN CONTRACT PRICE SHALL BE MADE. THE ESTIMATED QUANTITY SHALL BE DERIVED BY COMPUTATIONS OF THE VOLUME BETWEEN THE EXISTING TOPOGRAPHIC SURFACE AND PROPOSED FINAL GRADE PROVIDED IN PROJECT PLANS. ALL EXCAVATION AND EMBANKMENT WORK SHALL BE IN ACCORDANCE WITH SECTION 203 OF THE 2016 LAFAYETTE CONSOLIDATED GOVERNMENT ROADS AND BRIDGES STANDARD SPECIFICATIONS.

- NO EARTHEN SLOPE SHALL BE GREATER THAN 3H:1V. OVER EXCAVATION OF POND SHALL NOT BE GREATER THAN 3H:1V UNLESS OTHERWISE NOTED AND APPROVED BY ENGINEER.

4. ALL DIMENSIONS SHOWN ON CONTRACT DRAWINGS ARE DESIGN DIMENSIONS AND SHALL BE FOLLOWED TO THE NEAREST PRACTICAL LIMITS IN THE FIELD OR AS DETERMINED BY THE ENGINEER IF TOLERANCES ARE NOT OTHERWISE NOTED.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OFF-SITE DISPOSAL OF THE EXCAVATED MATERIAL AND OFF-SITE FILL MATERIAL REQUIRED.

6. FOR PONDS INTENDED TO HOLD WATER INDEFINITELY: THE POND WATER LEVEL SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTIONS SO THAT IT REMAINS FULL TO ITS WATER LEVEL DESIGN.

TOPOGRAPHY NOTE:
ALL TOPOGRAPHIC SURVEY INFORMATION IS BASED ON NAD83 STATE PLAN COORDINATE SYSTEM WITH VERTICAL DATUM OF NAV88 (GEODID2B).

FLOODPLAIN NOTE:
THIS PROPERTY IS SITUATED IN ZONE X DEPICTING AREA OF MINIMAL FLOOD HAZARD AS PER FLOOD INSURANCE RATE MAP (FIRM) 2205SC0165J EFFECTIVE DATE DECEMBER 21, 2018

REFERENCE NOTE:
** BOUNDARY LIMITS ARE APPROXIMATED FROM PLAT SHOWING PROPERTY OF AGNES STUTES ET AL PREPARED BY M. DUBROCK ASSOCIATES, INC. DATED DECEMBER 27, 1982 AND RECORDED UNDER ACT NO. 1952-36979.

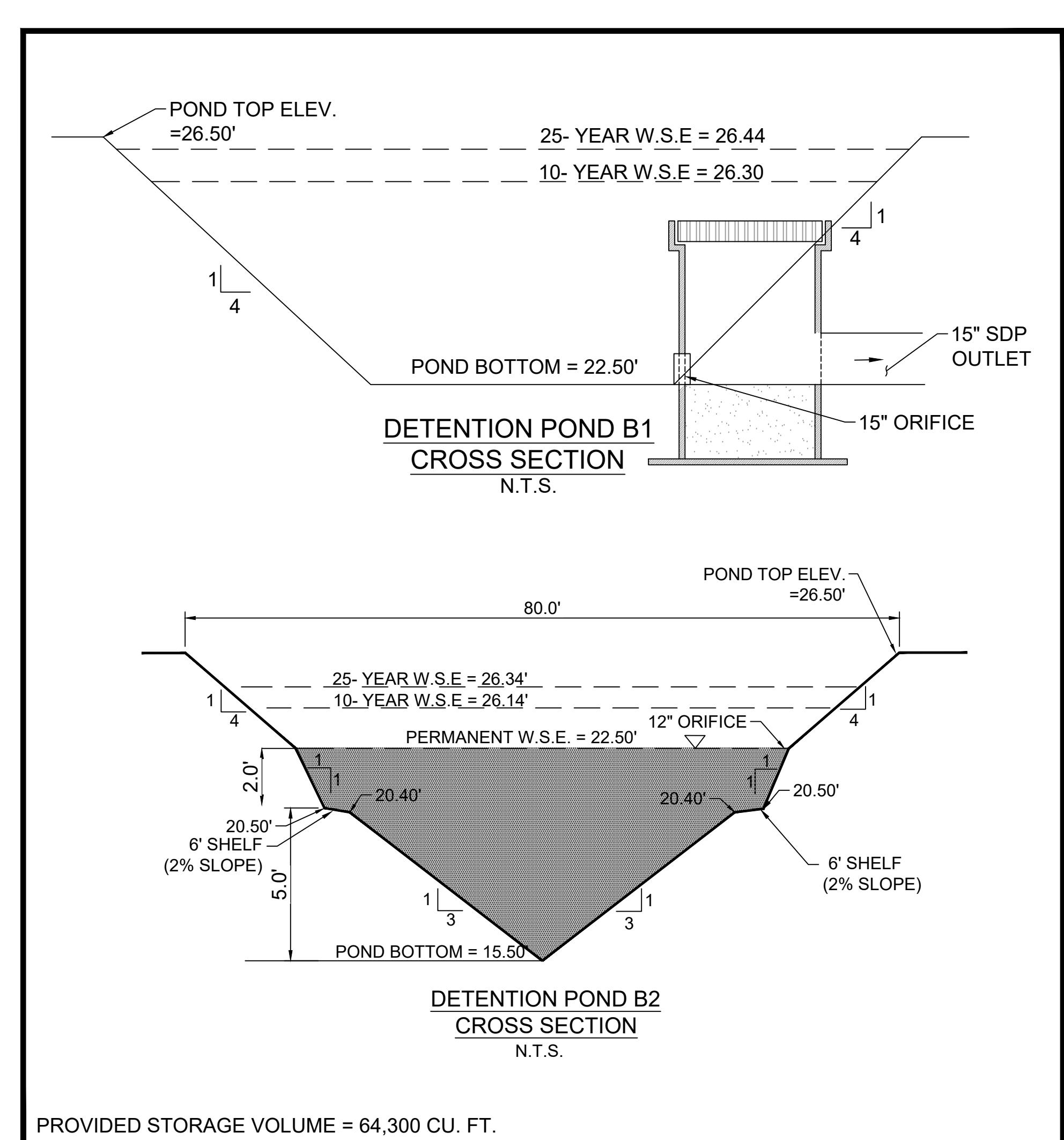
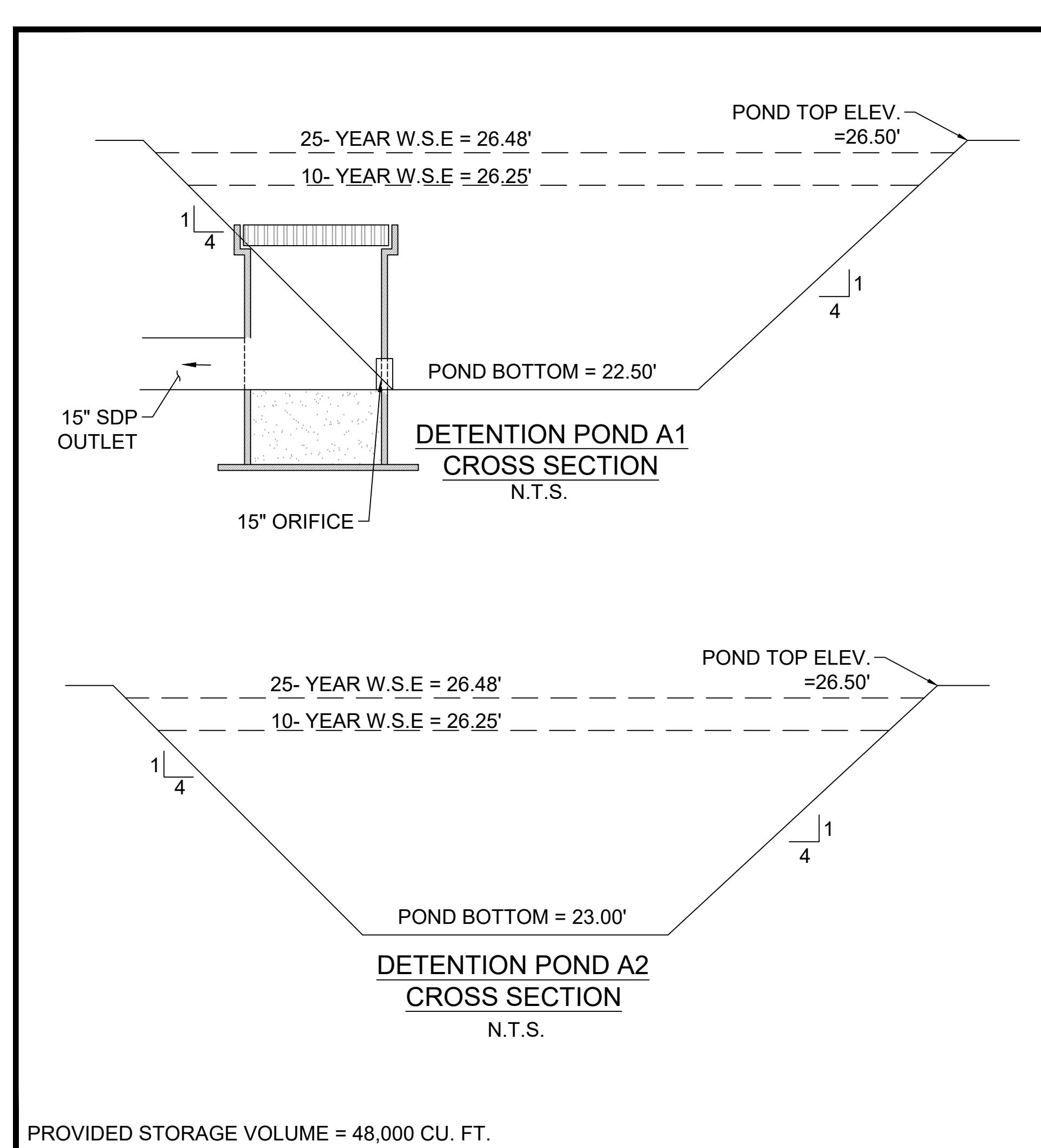


Design Development Set
Target Loop / Ridge Road
Lafayette, Louisiana
July 26, 2023

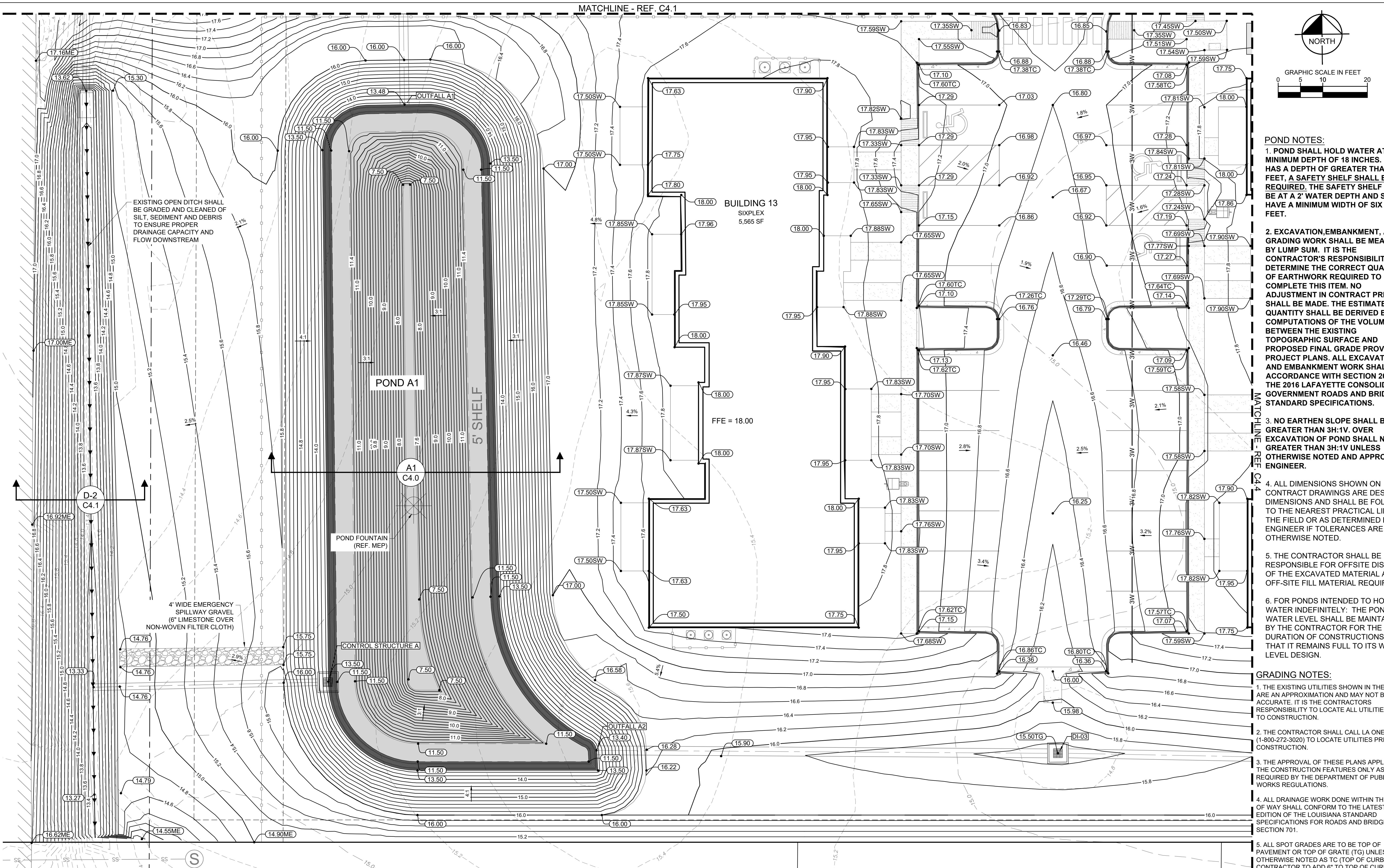
Project Number: 22076
Date: 07-26-2023
Project Architect: GBS

GRADING PLAN

C4.0



RNDC Benoit Townhomes Big Lake Road, Lake Charles, LA 70605



TOPOGRAPHY NOTE:
 SURVEY CONDUCTED BY MORRISON SURVEYING, INC. ALL TOPOGRAPHIC SURVEY INFORMATION IS BASED ON NAD83 STATE PLAN COORDINATE SYSTEM WITH VERTICAL DATUM OF NAV88 (GEOID18) BOTH PER O.P.S. SOLUTION AT MSI NETWORK.

REFERENCE NOTE:
 ** BOUNDARY LIMITS ARE APPROXIMATED FROM PRELIMINARY BOUNDARY SURVEY FOR BENOIT TOWNHOMES LLC LOT 7 OF TRACT A PREPARED BY MORRISON SURVEYING, INC. DATED JULY 10, 2023.

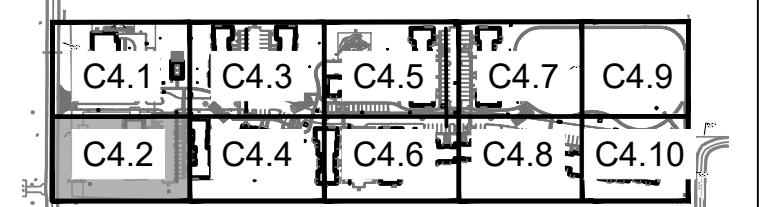
CONTROL POINT

CP #1 (TBM IN PP) ELEVATION = 18.45'

NORTHING: 610676.91'; EASTING: 2664731.28'

CP #2 ELEVATION = 16.37'

NORTHING: 610723.04'; EASTING: 2664792.41'



KEY MAP:
SCALE 1:400

SITE GRADING - IBC REQUIREMENT (SEC. 1804)

- THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5-PERCENT SLOPE) FOR A MINIMUM DISTANCE OF 10 FEET MEASURE PERPENDICULAR TO THE FACE OF THE WALL.
- IF PHYSICAL OBSTRUCTION OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5-PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2 PERCENT WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION.
- IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2-PERCENT AWAY FROM THE BUILDING.
- WHERE THIS PLAN DOES NOT COMPLY WITH THE ABOVE REQUIREMENTS, IT IS UNDERSTOOD THAT THE BUILDING OFFICIALS APPROVAL OF THIS PLAN WILL BE CONSIDERED AN APPROVED ALTERNATE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION.

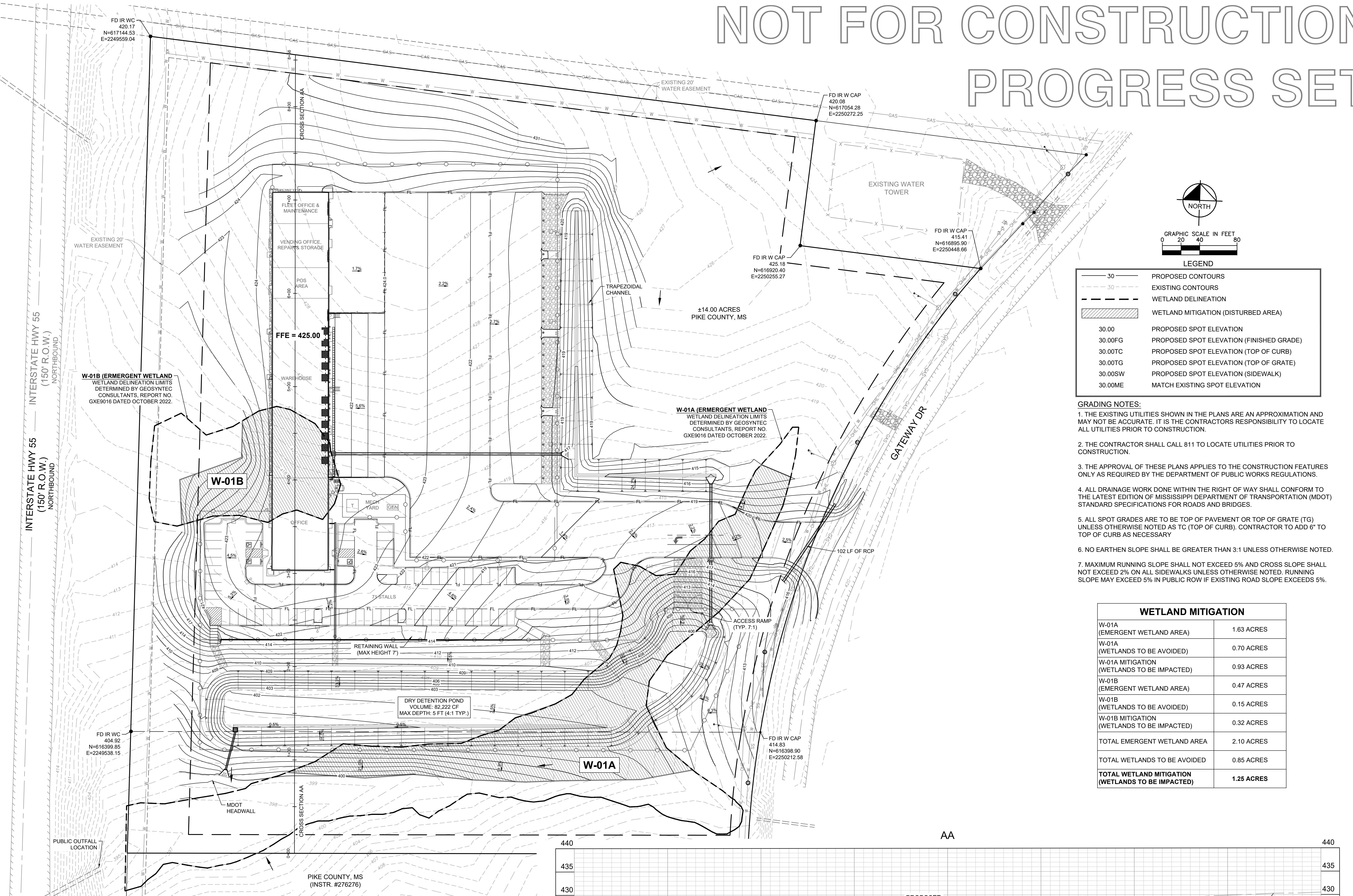
LEGEND

30	PROPOSED CONTOURS
30	EXISTING CONTOURS
HP	PROPOSED SWALE
30.00	PROPOSED HIGH POINT
30.00TC	PROPOSED STORM PIPE
30.00TG	PROPOSED SPOT ELEVATION
30.00TG	PROPOSED SPOT ELEVATION (TOP OF CURB)
30.00TG	PROPOSED SPOT ELEVATION (TOP OF GRATE)
30.00SW	PROPOSED SPOT ELEVATION (SIDEWALK)
30.00ME	MATCH EXISTING SPOT ELEVATION



NOT FOR CONSTRUCTION

PROGRESS SET



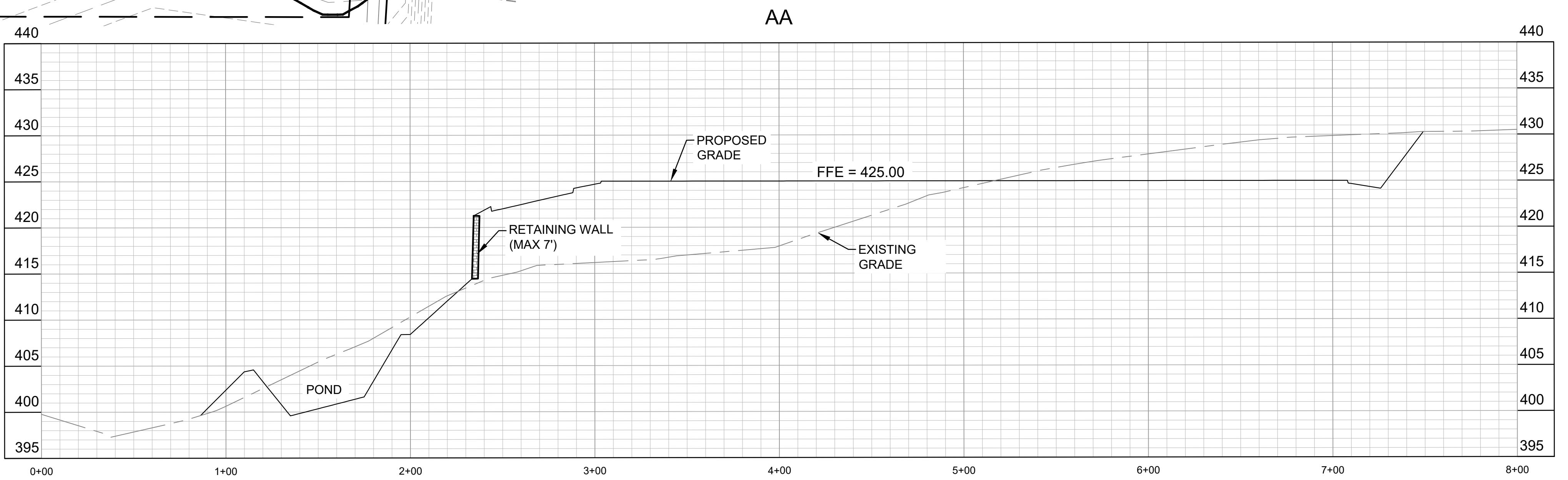
LEGEND	
30	PROPOSED CONTOURS
30	EXISTING CONTOURS
- - -	WETLAND DELINEATION
██████	WETLAND MITIGATION (DISTURBED AREA)
30.00	PROPOSED SPOT ELEVATION
30.00FG	PROPOSED SPOT ELEVATION (FINISHED GRADE)
30.00TC	PROPOSED SPOT ELEVATION (TOP OF CURB)
30.00TG	PROPOSED SPOT ELEVATION (TOP OF GRATE)
30.00SW	PROPOSED SPOT ELEVATION (SIDEWALK)
30.00ME	MATCH EXISTING SPOT ELEVATION

GRADING NOTES:

- THE EXISTING UTILITIES SHOWN IN THE PLANS ARE AN APPROXIMATION AND MAY NOT BE ACCURATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CALL 811 TO LOCATE UTILITIES PRIOR TO CONSTRUCTION.
- THE APPROVAL OF THESE PLANS APPLIES TO THE CONSTRUCTION FEATURES ONLY AS REQUIRED BY THE DEPARTMENT OF PUBLIC WORKS REGULATIONS.
- ALL DRAINAGE WORK DONE WITHIN THE RIGHT OF WAY SHALL CONFORM TO THE LATEST EDITION OF MISSISSIPPI DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES.
- ALL SPOT GRADES ARE TO BE TOP OF PAVEMENT OR TOP OF GRATE (TG) UNLESS OTHERWISE NOTED AS TC (TOP OF CURB). CONTRACTOR TO ADD 6" TO TOP OF CURB AS NECESSARY.
- NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1 UNLESS OTHERWISE NOTED.
- MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS UNLESS OTHERWISE NOTED. RUNNING SLOPE MAY EXCEED 5% IN PUBLIC ROW IF EXISTING ROAD SLOPE EXCEEDS 5%.

WETLAND MITIGATION

W-01A (EMERGENT WETLAND AREA)	1.63 ACRES
W-01A (WETLANDS TO BE AVOIDED)	0.70 ACRES
W-01A MITIGATION (WETLANDS TO BE IMPACTED)	0.93 ACRES
W-01B (EMERGENT WETLAND AREA)	0.47 ACRES
W-01B (WETLANDS TO BE AVOIDED)	0.15 ACRES
W-01B MITIGATION (WETLANDS TO BE IMPACTED)	0.32 ACRES
TOTAL EMERGENT WETLAND AREA	2.10 ACRES
TOTAL WETLANDS TO BE AVOIDED	0.85 ACRES
TOTAL WETLAND MITIGATION (WETLANDS TO BE IMPACTED)	1.25 ACRES



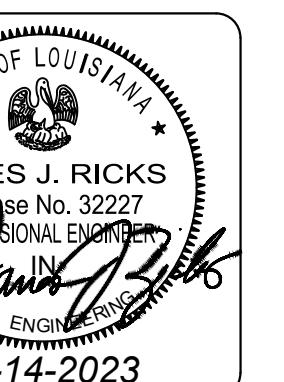
DG Design Group
DG ARCHITECTURAL AND ENGINEERING FACILITY SOLUTIONS, PLLC
1075 WINDWARD RIDGE PKWY, STE 100, ALPHARETTA, GA 30005
PHONE: (770) 661-4520 FAX: (770) 661-4521

REVISION	BY	DATE	△△

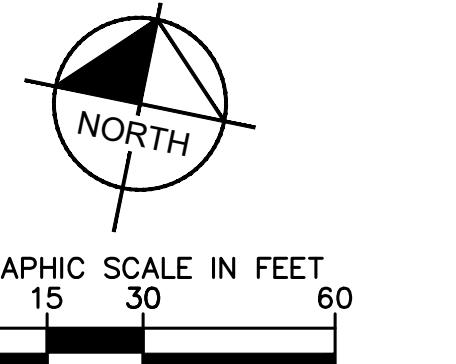
PRELIMINARY GRADING PLAN

CONFIDENTIAL	NEW MCCOMB SALES CENTER	PROJECT MCCOMB, MS	DRAWING TITLE
CLIENT MCCOMB, MS	PROJECT MCCOMB, MS	DRAWING	29317
<p>Ryan C. Dunleavy, Professional Engineer STATE OF MISSISSIPPI PRELIMINARY</p> <p>PROJECT NO. 22-690 DATE: AUGUST 2022 SCALE: -- DRAWN BY BSB DRAWING NO. 29317</p>			

SOUTHEAST
ENGINEERS
4880 BLUEBONNET BOULEVARD SUITE A
BATON ROUGE, LOUISIANA 70809



FOR PERMITTING PURPOSES ONLY



LEGEND

—	PROPOSED CONTOURS
- - -	EXISTING CONTOURS
— — —	PROPOSED SWALE
— — —	PROPOSED HIGH POINT
— — —	PROPOSED STORM PIPE
30.00	PROPOSED SPOT ELEVATION
30.00FG	PROPOSED SPOT ELEVATION (FINISHED GRADE)
30.00TC	PROPOSED SPOT ELEVATION (TOP OF CURB)
30.00TG	PROPOSED SPOT ELEVATION (TOP OF GRATE)
30.00SW	PROPOSED SPOT ELEVATION (SIDEWALK)
30.00ME	MATCH EXISTING SPOT ELEVATION

LA 167 (I-49) (ASPHALT)
NW EVANGELINE THRUWAY
(300 PUBLIC R.O.W.)

GRADING NOTES:

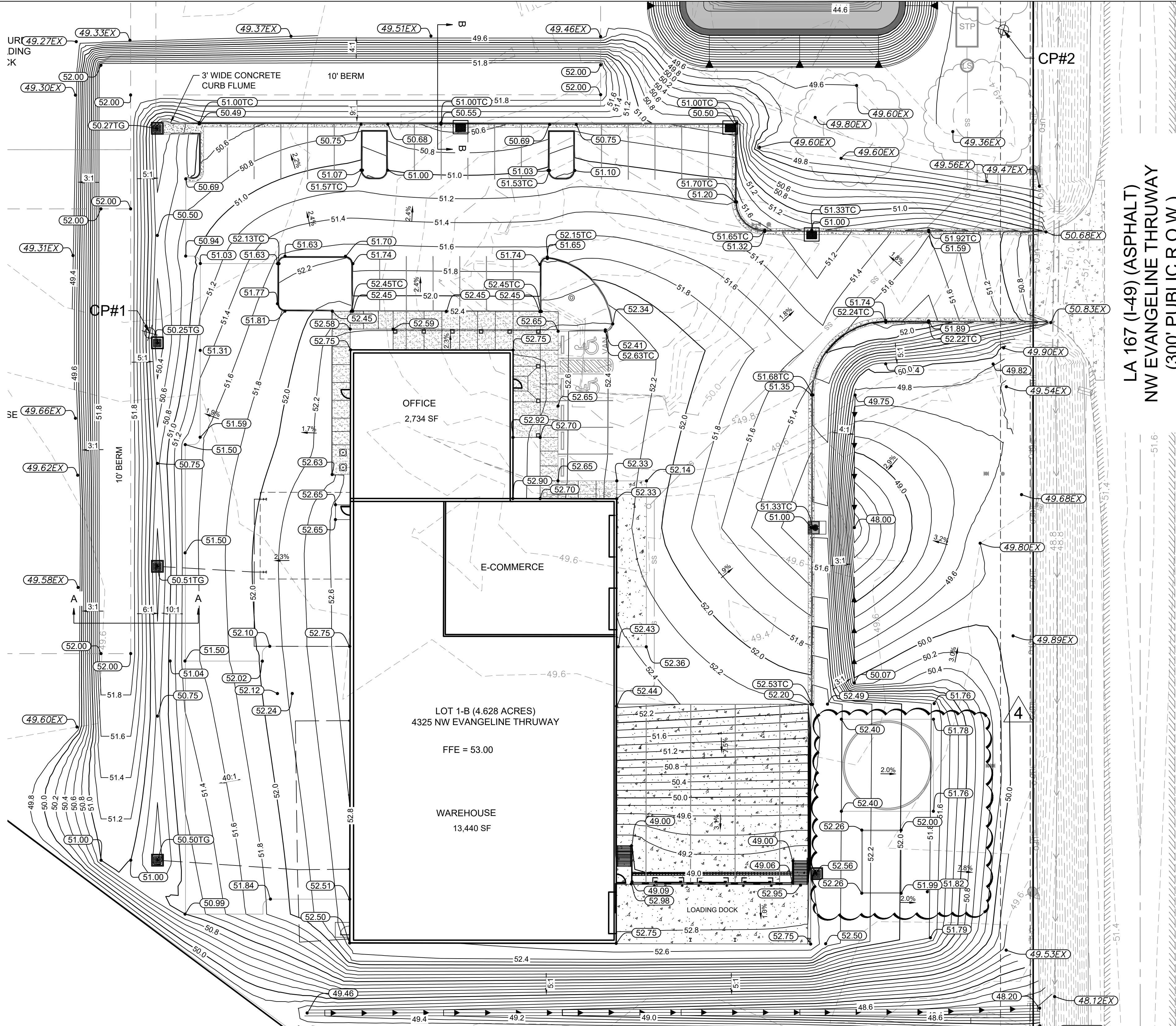
1. THE EXISTING UTILITIES SHOWN IN THE PLANS ARE AN APPROXIMATION AND MAY NOT BE ACCURATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL CALL LA ONE CALL (1-800-272-3020) TO LOCATE UTILITIES PRIOR TO CONSTRUCTION.
3. THE APPROVAL OF THESE PLANS APPLIES TO THE CONSTRUCTION FEATURES ONLY AS REQUIRED BY THE DEPARTMENT OF PUBLIC WORKS REGULATIONS.
4. ALL DRAINAGE WORK DONE WITHIN THE RIGHT OF WAY SHALL CONFORM TO THE LATEST EDITION OF LCG STANDARD SPECIFICATIONS FOR ROADS, DRAINAGE, BRIDGES AND OTHER INFRASTRUCTURE SECTION 701.
5. ALL SPOT GRADES ARE TO BE TOP OF PAVEMENT OR TOP OF GRATE (TG) UNLESS OTHERWISE NOTED AS TC (TOP OF CURB). CONTRACTOR TO ADD 6" TO TOP OF CURB AS NECESSARY.
6. NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1 UNLESS OTHERWISE NOTED.
7. MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS UNLESS OTHERWISE NOTED. RUNNING SLOPE MAY EXCEED 5% IN PUBLIC R.O.W. IF EXISTING ROAD SLOPE EXCEEDS 5%.

STORM NOTES

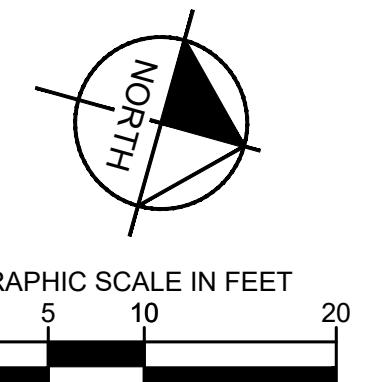
1. ALL ACCEPTABLE MATERIAL FOR PRIVATE STORM DRAIN PIPE LABELED "SDP" IS DEFINED IN SECTION 701.02 OF THE 2016 LAFAYETTE CONSOLIDATED GOVERNMENT STANDARD SPECIFICATIONS FOR ROADS, DRAINAGE BRIDGES, AND OTHER INFRASTRUCTURE.
2. ALL DIMENSIONS ARE TO THE CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR ROAD DRAIN DETAILS.
4. CONTRACTOR TO FIELD VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTACT ENGINEER IF FIELD CONDITIONS CARY.

SITE GRADING - IBC REQUIREMENT (SEC. 1804)

- THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5-PERCENT SLOPE) FOR A MINIMUM DISTANCE OF 10-FEET MEASURE PERPENDICULAR TO THE FACE OF THE WALL.
- IF PHYSICAL OBSTRUCTION OR LOT LINES PROHIBIT 10-FEET OF HORIZONTAL DISTANCE, A 5-PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2 PERCENT WHERE LOCATED WITHIN 10-FEET OF THE BUILDING FOUNDATION.
- IMPERVIOUS SURFACES WITHIN 10-FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2-PERCENT AWAY FROM THE BUILDING.
- WHERE THIS PLAN DOES NOT COMPLY WITH THE ABOVE REQUIREMENTS, IT IS UNDERSTOOD THAT THE BUILDING OFFICIALS APPROVAL OF THIS PLAN WILL BE CONSIDERED AN APPROVED ALTERNATE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION.

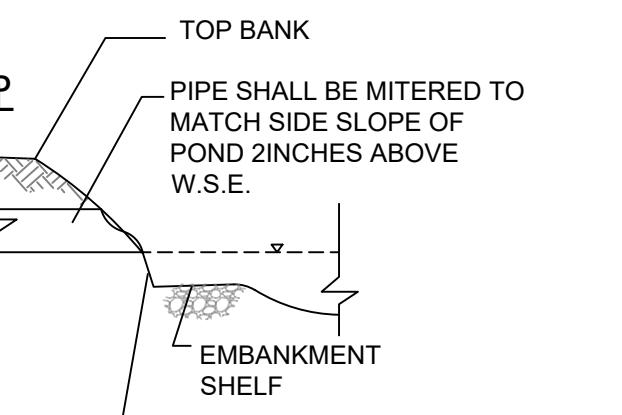
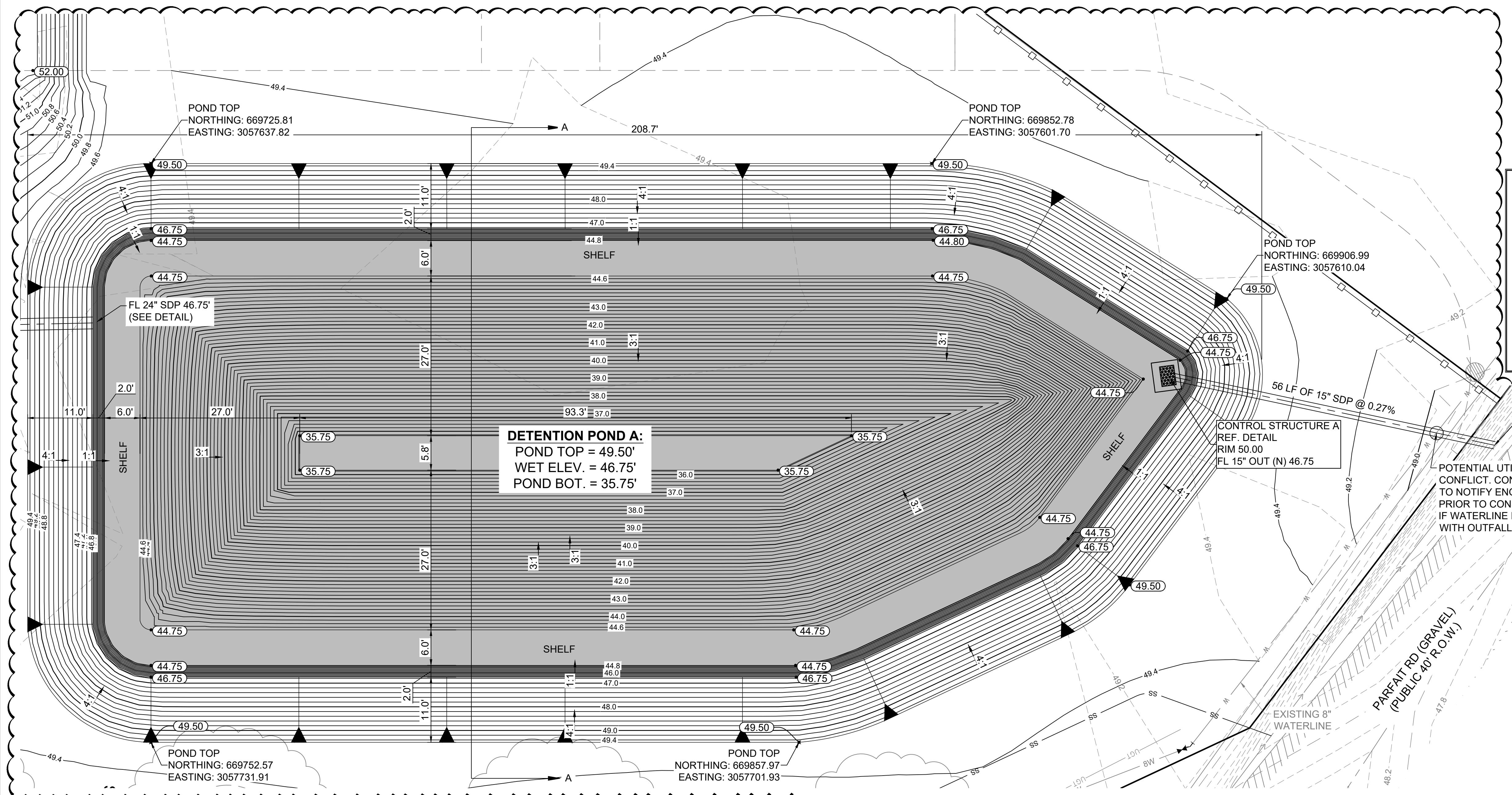


FOR PERMITTING PURPOSES ONLY



LEGEND

30	PROPOSED CONTOURS
30	EXISTING CONTOURS
- - -	PROPOSED SWALE
HP	PROPOSED HIGH POINT
— — —	PROPOSED STORM PIPE
30.00	PROPOSED SPOT ELEVATION
30.00FG	PROPOSED SPOT ELEVATION (FINISHED GRADE)
30.00TC	PROPOSED SPOT ELEVATION (TOP OF CURB)
30.00TG	PROPOSED SPOT ELEVATION (TOP OF GRATE)
30.00SW	PROPOSED SPOT ELEVATION (SIDEWALK)
30.00ME	MATCH EXISTING SPOT ELEVATION



POND INLET PIPE
CONNECTION SECTION
N.T.S.

POND AND GRADING NOTES:

1. POND SHALL HOLD WATER AT MINIMUM DEPTH OF 18 INCHES. IF POND HAS A DEPTH OF GREATER THAN 4 FEET, A SAFETY SHELF SHALL BE REQUIRED. THE SAFETY SHELF SHALL BE AT A 2' WATER DEPTH AND SHALL HAVE A MINIMUM WIDTH OF SIX (6) FEET.

2. EXCAVATION, EMBANKMENT, AND GRADING WORK SHALL BE MEASURED BY LUMP SUM. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE CORRECT QUANTITIES OF EARTHWORK REQUIRED TO COMPLETE THIS ITEM. NO ADJUSTMENT IN CONTRACT PRICE SHALL BE MADE. THE ESTIMATED QUANTITY SHALL BE DERIVED BY COMPUTATIONS OF THE VOLUME BETWEEN THE EXISTING TOPOGRAPHIC SURFACE AND PROPOSED FINAL GRADE PROVIDED IN PROJECT PLANS. ALL EXCAVATION AND EMBANKMENT WORK SHALL BE IN ACCORDANCE WITH SECTION 203 OF THE 2016 LAFAYETTE CONSOLIDATED GOVERNMENT ROADS AND BRIDGES STANDARD SPECIFICATIONS.

3. NO EARTHEN SLOPE SHALL BE GREATER THAN 3H:1V. OVER EXCAVATION OF POND SHALL NOT BE GREATER THAN 3H:1V UNLESS OTHERWISE NOTED AND APPROVED BY ENGINEER.
4. ALL DIMENSIONS SHOWN ON CONTRACT DRAWINGS ARE DESIGN DIMENSIONS AND SHALL BE FOLLOWED TO THE NEAREST PRACTICAL LIMITS IN THE FIELD OR AS DETERMINED BY THE ENGINEER IF TOLERANCES ARE NOT OTHERWISE NOTED.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OFFSITE DISPOSAL OF THE EXCAVATED MATERIAL AND OFF-SITE FILL MATERIAL REQUIRED.

6. FOR PONDS INTENDED TO HOLD WATER INDEFINITELY: THE POND WATER LEVEL SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTIONS SO THAT IT REMAINS FULL TO ITS WATER LEVEL DESIGN.

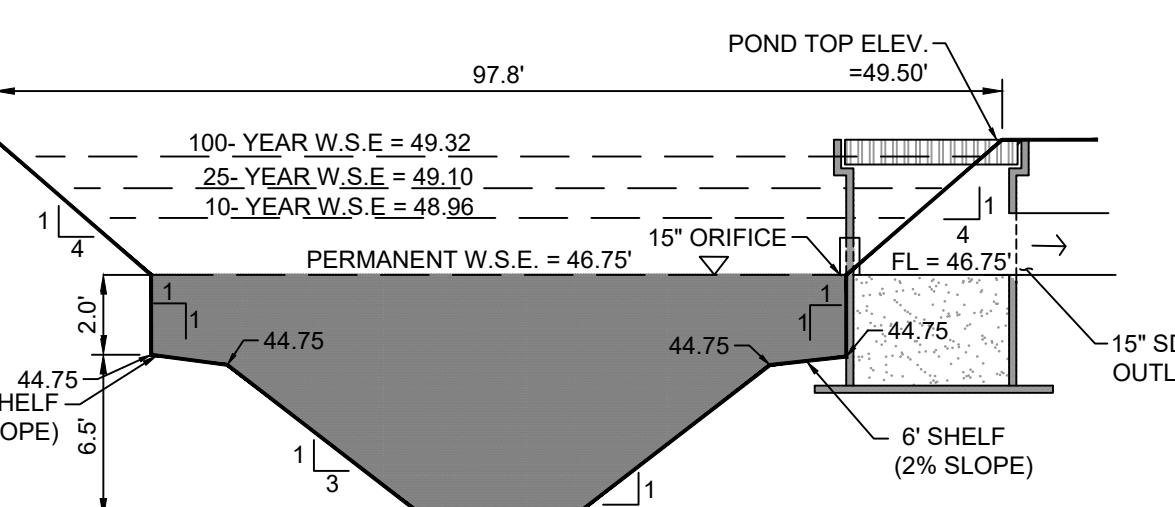
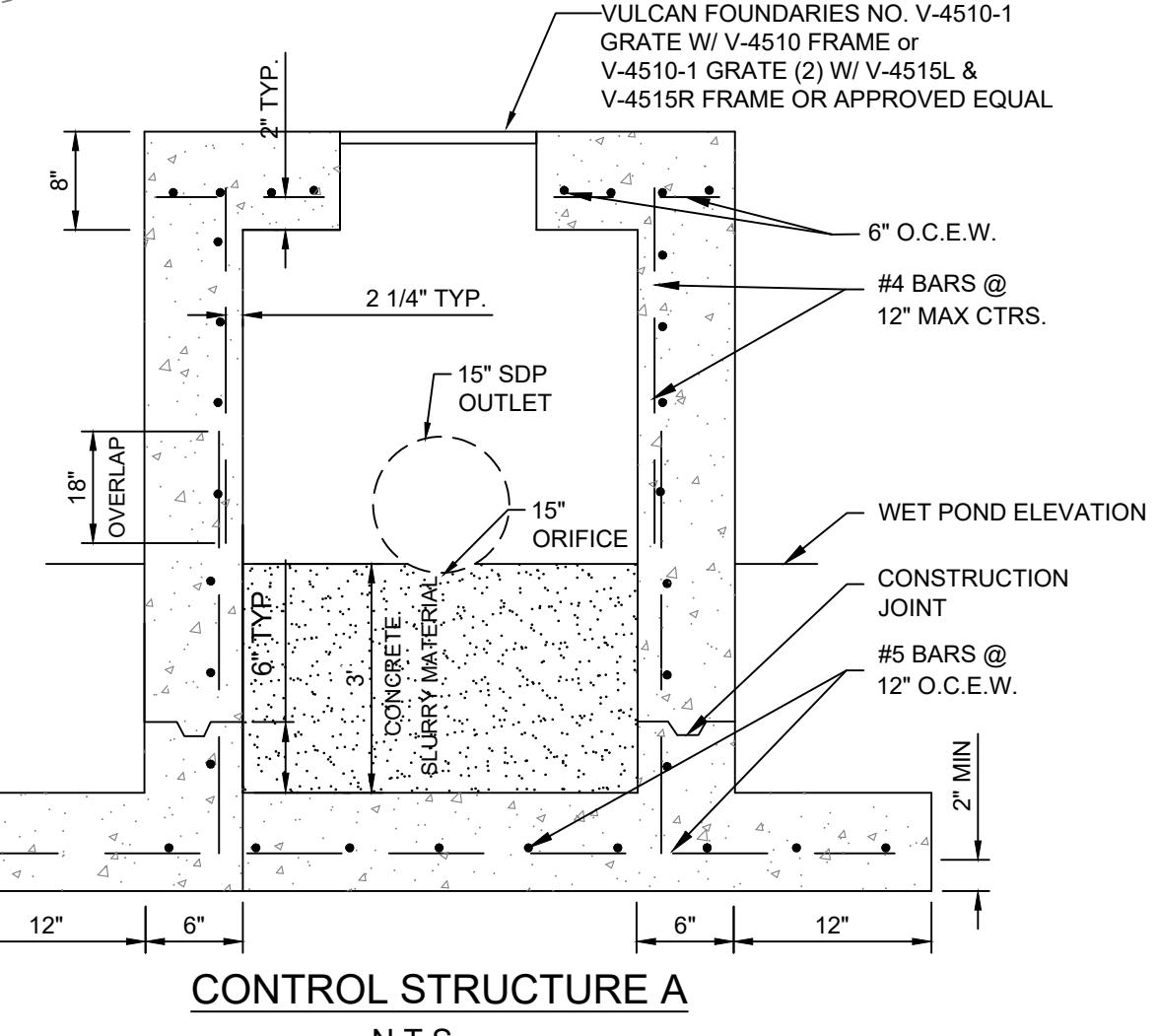
SLOPE STABILITY & REVETMENT NOTE

1. THE FINISHED SLOPES OF THE PONDS SHOULD BE LIMITED TO 3 HORIZONTAL TO 1 VERTICAL (3H:1V) OR FLATTER. THE FINISHED SLOPES OF THE DRY DETENTION AREA (UPPER 2.75 FT) SHALL BE LIMITED TO 4 HORIZONTAL TO 1 VERTICAL (4H:1V). A SMALL PART OF THE SLOPES NEAR THE WATER'S EDGE ARE PLANNED TO BE 1H:1V, FOLLOWED BY A FLAT, 6 FOOT WIDE SHELF, PRESUMABLY TO HELP LIMIT VEGETATIVE GROWTH IN THE SHALLOW EDGE WATERS OF THE PONDS. SOME SLOUGHING OF THE STEEPER SLOPE MIGHT BE EXPECTED, ESPECIALLY IF THE WATER LEVEL DROPS BELOW THE TOP OF THE SLOPE, RESULTING IN A "RAPID DRAWDOWN" TYPE OF SITUATION. THIS CAN PROBABLY BE ALLEVIATED BY ROUTINE MAINTENANCE, IF NECESSARY.
2. THE SLOPES OF THE COMPLETED DETENTION PONDS SHOULD BE PROTECTED FROM EROSION AND PEST INVASION. SUITABLE VEGETATION (E.G., HYDROSEEDING) IS EXPECTED TO BE SUFFICIENT, PROVIDED IT IS ESTABLISHED AND MAINTAINED WHILE THE SLOPES ARE IN GOOD CONDITION. ALTHOUGH THE FINAL DETERMINATION IS LEFT TO THE PROJECT DESIGNER, IN CRITICAL AREAS, OR WHERE WATER FLOW MIGHT OCCUR, REVETMENT (OR ARMOUR, E.G., CONCRETE MATTRESSES) MIGHT BE CONSIDERED FOR ADDITIONAL PROTECTION. REGULAR INSPECTION SHOULD BE PERFORMED PERIODICALLY TO ENSURE THE INTEGRITY OF THE SLOPES.

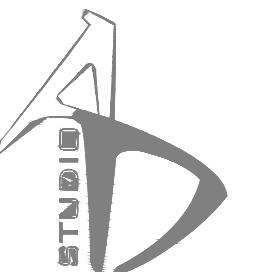
POND STAGE STORAGE

STAGE (FT)	ELEVATION (FT)	POND ONLY STORAGE VOLUME
0.00	46.75	0.00
0.75	47.50	9,995 CF
1.25	48.00	17,242 CF
1.75	48.50	24,990 CF
2.25	49.00	33,252 CF
2.75	49.50	42,085 CF

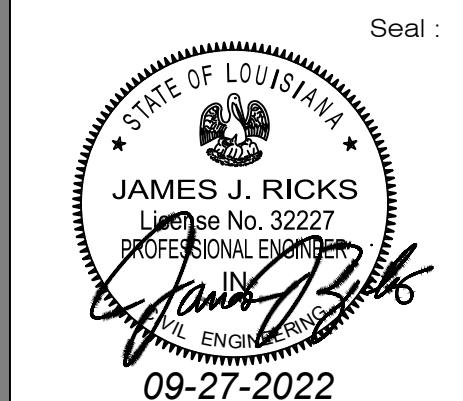
CAUTION
EXISTING UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY ISSUES.



ALL CONSTRUCTION OF PROPOSED UTILITIES SHALL CONFORM TO LAFAYETTE UTILITIES SYSTEM DEVELOPMENT GUIDELINES.
2016 LAFAYETTE CONSOLIDATED GOVERNMENT ROAD AND BRIDGES STANDARD SPECIFICATIONS SHALL GOVERN FOR ALL CONSTRUCTION.



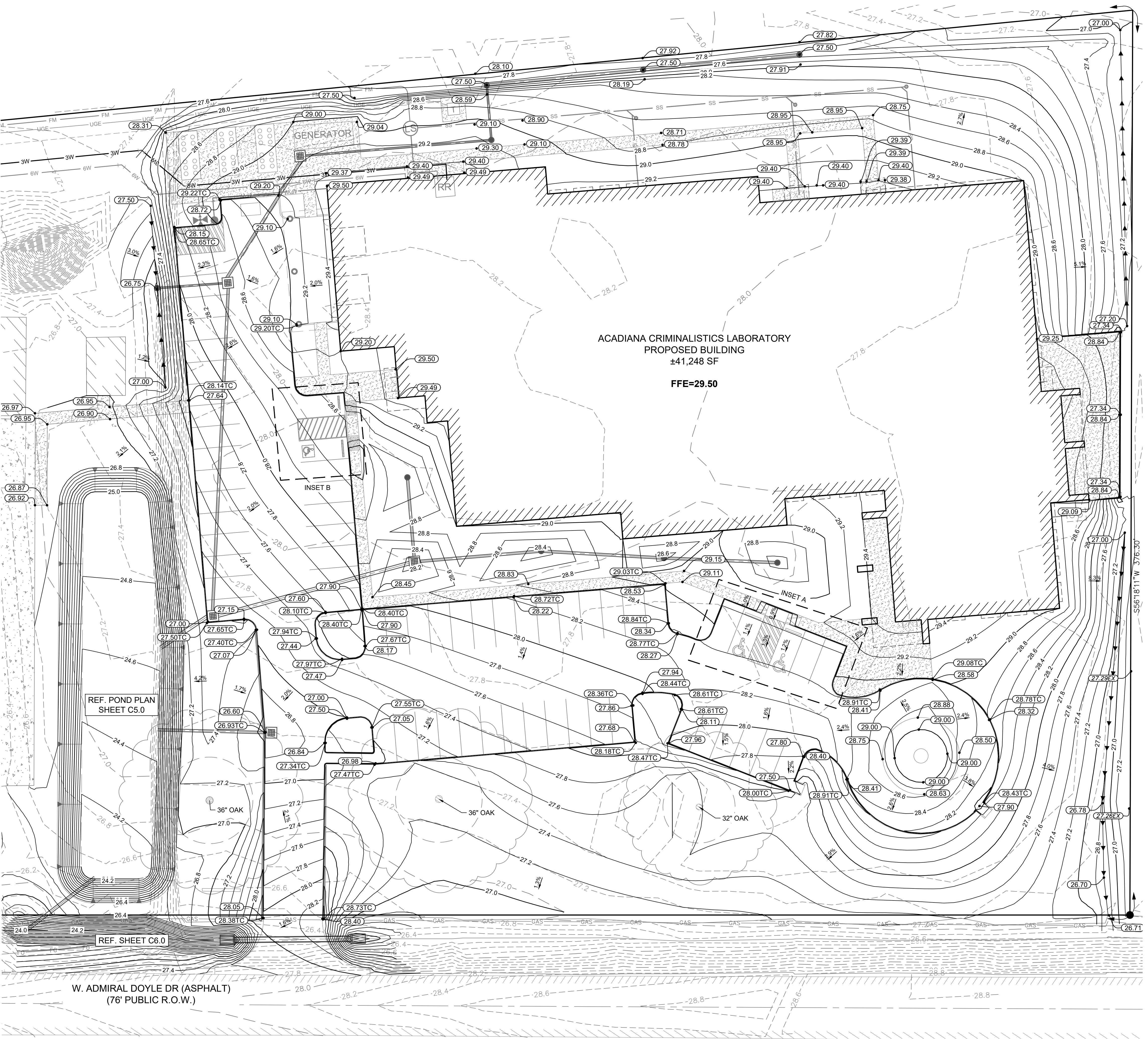
ARCHITECTS'
DESIGN STUDIO
1444 WEST MAIN STREET
NEW IBERIA LA 70560
P 337.364.0562 F 337.364.0066



Contract Document Disclaimer:

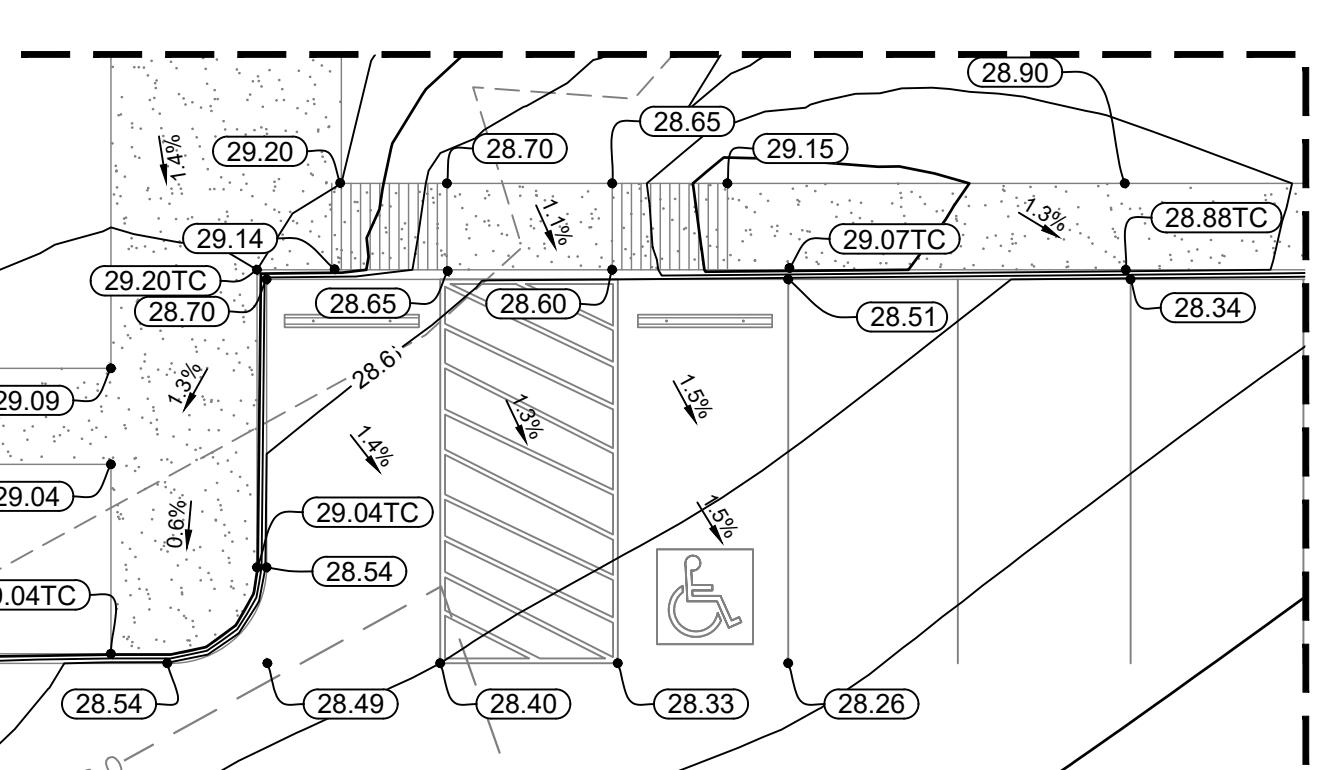
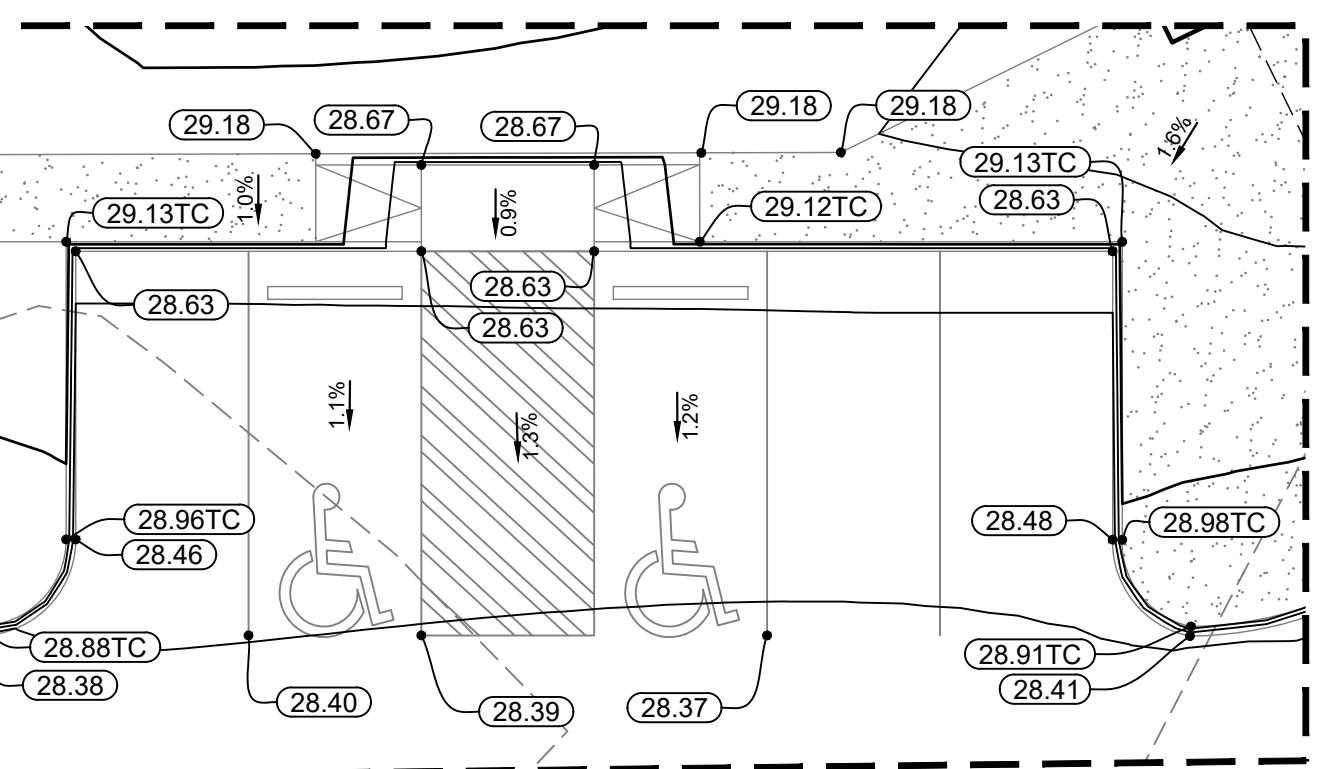
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GRADING NOTES:

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No. Date: Remarks:

Drawn By: CML
Checked By: JJR
Project No.: 2023-434
Date of Issue: 09/27/2023

Sheet Title: GRADING PLAN

Issue for Construction

Sheet Number:

C4.0

BENCHMARK POINTS
BM #200 ELEVATION = 29.58' NORTHING: 565311.22', EASTING: 3108846.55'

SURVEY NOTE:
SURVEY CONDUCTED BY RJ FUSELIER & ASSOCIATES. ALL TOPOGRAPHIC HORIZONTAL DATUM IS BASED ON THE LOUISIANA STATE PLANE COORDINATE SYSTEM OF NAD 1983 (2011), SOUTH ZONE & VERTICAL DATUM IS BASED ON THE NAVD 1988 AND REFERENCED TO THE GEODIS 18.

REFERENCE PLAT:
BOUNDARY LIMITS ARE APPROXIMATED FROM MAP OF SURVEY SHOWING TRACT C, BEING 4.748 ACRES PREPARED BY RJ FUSELIER & ASSOCIATES DATED FEBRUARY 2, 2022. THIS DRAWING SHALL NOT BE USED AS A BOUNDARY SURVEY.

FLOOD ZONE NOTE:
ACCORDING TO THE FEMA FIRM MAP, DATED DECEMBER 2, 2011, MAP PANEL NO. 22045C0025E, THIS PROPERTY IS IN FLOOD ZONE "X", WHICH AREAS ARE DETERMINED TO BE OUTSIDE THE 100 YEAR FLOODPLAIN.

TREE NOTE:
EXISTING TREE LOCATIONS AND SIZES ARE APPROXIMATE. SOUTHEAST ENGINEERS ASSUMES NO RESPONSIBILITY FOR EXISTING TREE SPECIES AND CRITICAL ROOT ZONES ON THIS SURVEY. ALL CRITICAL ROOT ZONES MUST BE DETERMINED BY A PROFESSIONAL ARBORIST.

MASTER PLAN

PHASE 1 (ROYAL BLUE)

JEFFERSON & LEE DETENTION
(UNDER CONSTRUCTION)

PHASE 2 (PURPLE)

450,000 CF OF STORAGE REQUIRED

1. FIRST BAPTIST PARKING LOT UNDERGROUND DETENTION (106 BARRY ST)
2. RE-ROUTE STORM ALONG BARRY ST TO DETENTION (480 LF OF PROPOSED 48" RCP)
3. JOHNSTON'S BOUCANIÈRE FUTURE PARKING LOT UNDERGROUND DETENTION (1111 ST JOHN ST)

PHASE 3 (CYAN BLUE)

615,000 CF OF STORAGE REQUIRED

1. EXISTING LAFAYETTE CITY COURT INTO PROPOSED APARTMENT COMPLEX WITH PARKING GARAGE AND UNDERGROUND DETENTION (105 E CONVENT ST)
2. EXISTING BUILDING INTO PROPOSED UNDERGROUND DETENTION AND COURTYARD (1001 JEFFERSON ST)
3. RE-ROUTE JEFFERSON STORM INTO COURTYARD DETENTION

PHASE 4 (ORANGE)

162,000 CF OF STORAGE REQUIRED

LOCATION OPTIONS:

1. DEMAR STAFFING PARKING LOT (606 LEE AVE) (APPROX. 3,750 SF)
2. PAT'S DOWNTOWN PARKING LOT (107 E MAIN ST) (APPROX. 2,000 SF)
3. CHASE TOWER PERMIT PARKING LOT (618 JEFFERSON ST) (APPROX. 17,500 SF)

PHASE 5 (GREEN)

220,000 CF OF STORAGE REQUIRED

LOCATION OPTIONS:

1. PARKING LOT BETWEEN SHANK DENTAL CARE & TALECRIS PLASMA (122 JACKSON ST - CONNECTS TO BOTH JACKSON AND E MAIN) (APPROX. 9,000 SF)
2. OLD DON'S SEAFOOD PARKING LOT (109 JACKSON ST) (APPROX. 15,000 SF)
3. FIRST UNITED METHODIST CHURCH GRAVEL LOT OR PARKING LOT (311 E MAIN ST - APPROX. 7,000 SF) (703 LEE AVE - 25,000 SF)

PHASE 6 (RED)

325,000 CF OF STORAGE REQUIRED

LOCATION OPTIONS:

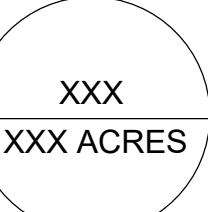
1. FUTURE APARTMENT COMPLEX PARKING LOT (413 E VERMILLION ST) (APPROX. 5,000 SF)
2. EMPTY GRASS LOT ON CORNER OF JOHNSTON AND CLINTON (406 JOHNSTON ST) (APPROX. 7,000 SF)

PHASE 7 (YELLOW)

345,000 CF OF STORAGE REQUIRED

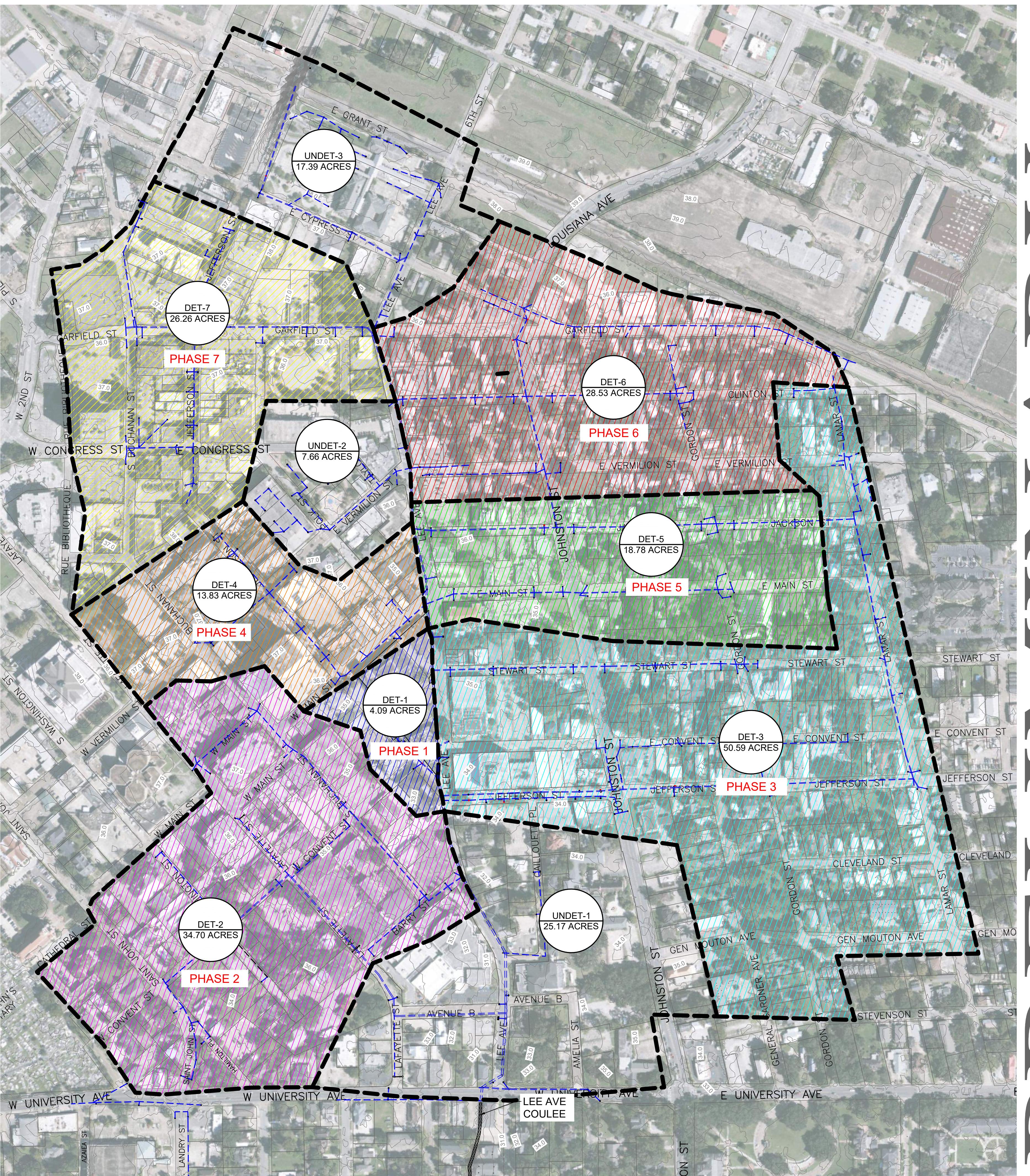
LOCATION OPTIONS:

1. PARKING LOT BEHIND DWYER'S (207 GARFIELD ST) (APPROX. 20,000 SF)
2. EMPTY GRASS LOT ON CORNER OF LEE AND E CYPRESS (APPROX. 4,500 SF)
3. LEE AVE GRAVEL/GRASS LOT (316 LEE AVE) (APPROX. 6,000 SF)



DRAINAGE NAME
DRAINAGE BASIN

0 200 400



PRELIMINARY DRAFT

SOUTHEAST ENGINEERS, LLC
345 DOUET STE 233
LAFAVETTE, LA 70503
337.988.7768 | WWW.SEENGINEERS.COM

MASTER PLAN

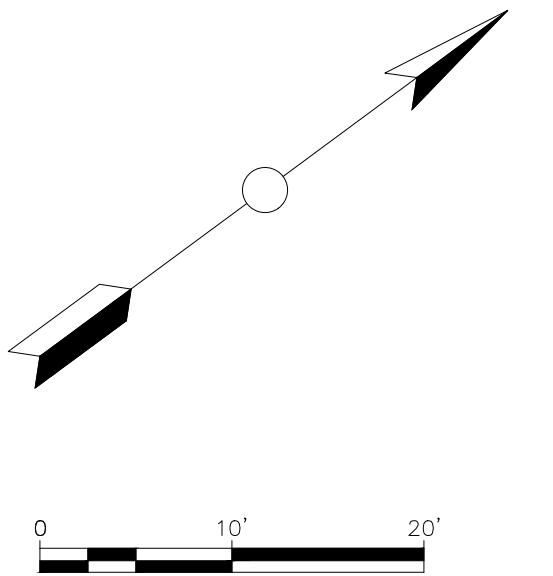
PLANS FOR:
DOWNTOWN
LAFAYETTE
LA, LOUISIANA

NO.	DATE	REVISION DESCRIPTION

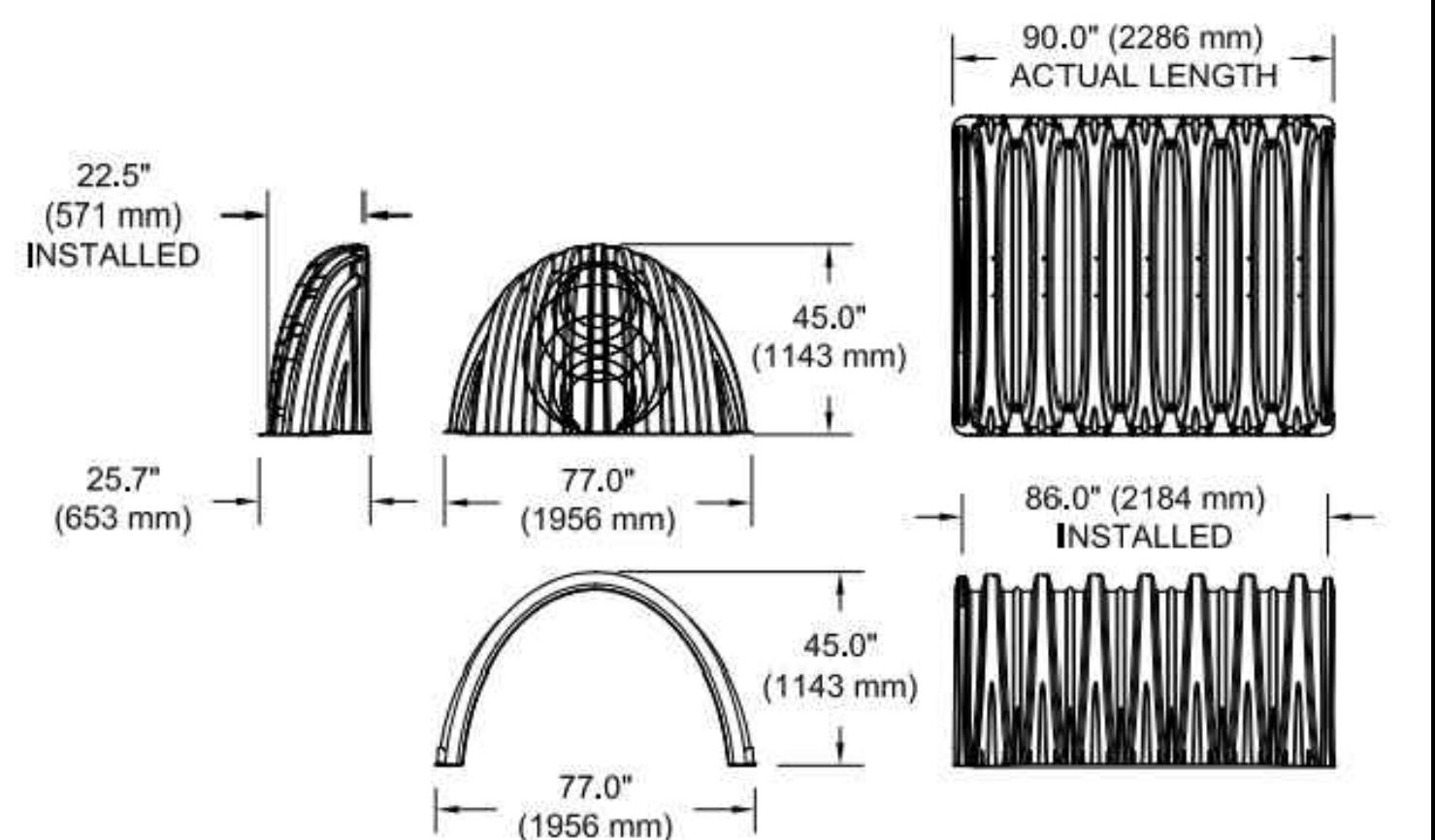
PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION
BIDDING, RECORDATION, CONVEYANCE
SALES OR AS THE BASIS FOR
ISSUANCE OF PERMIT.

ENGINEER: JAMES J. RICKS, P.E.
LICENSE NUMBER: 32227

JOB # 21-713
ENGINEER: JJR
DRAWN BY: BSB
DATE: MAY 2022
SHEET 1



VOLUME TABLE		
LAYER	CHAMBERS	TOP LAYER
TOP (MC-3500)	54	9,450 CF
BOTTOM (MC-3500)	48	8,400 CF
TOTAL	94	17,850 CF
INSTALLATION		
PRICE	\$7/CF	\$124,950



UNDERGROUND
DETENTION
(735 JEFFERSON ST)

PLANS FOR:
DOWNTOWN
LAFAYETTE
LAFAYETTE, LOUISIANA

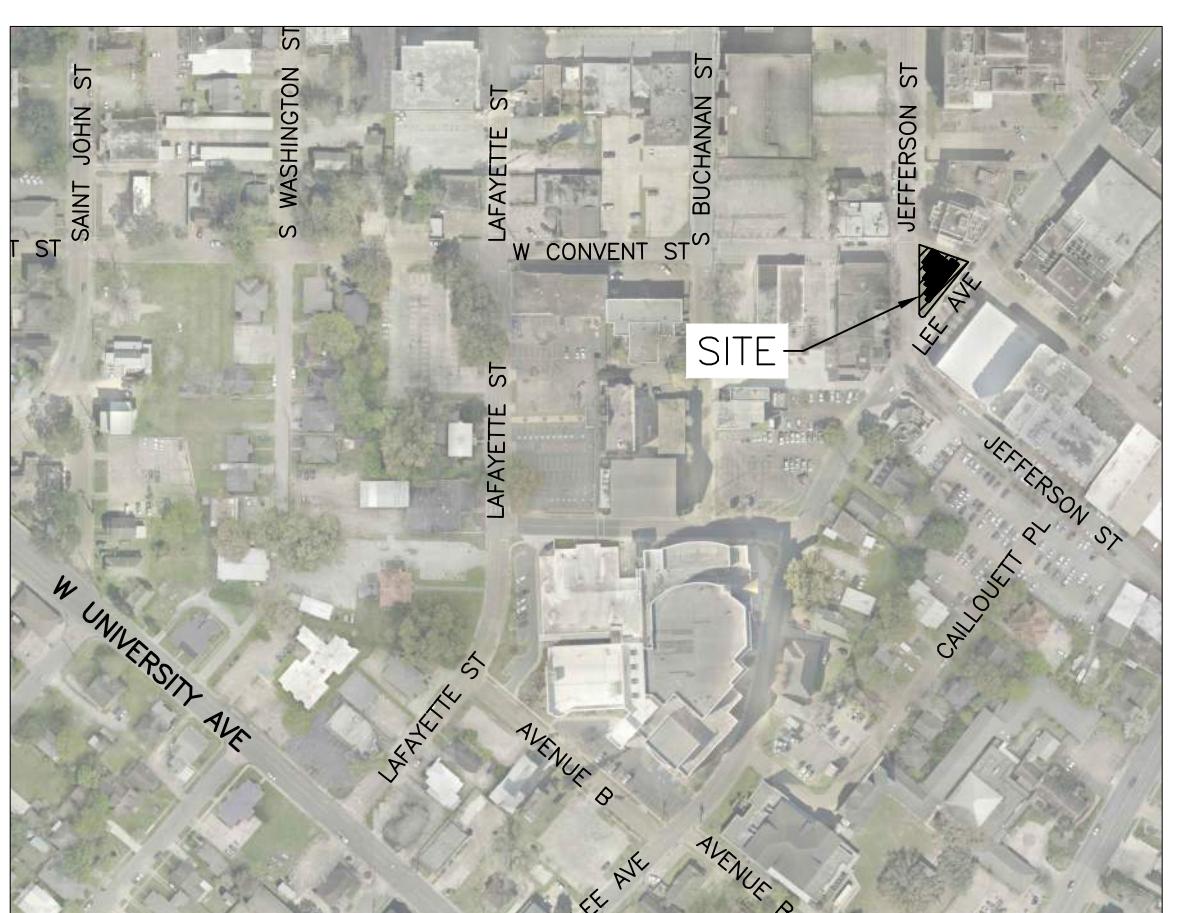
NO.	DATE	REVISION DESCRIPTION	BY

PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION
BIDDING, RECORDATION, CONVEYANCE,
OR AS A BASIS FOR
ISSUANCE OF PERMIT.

ENGINEER: JAMES J. RICKS, P.E.

LICENSE NUMBER: 32227

JOB #	21-713
ENGINEER:	JJR
DRAWN BY:	LPP
DATE:	JUNE 2021
SHEET	1



VICINITY MAP
SCALE 1:300

SCHEMATIC

FOR INFORMATIONAL PURPOSES ONLY



DETENTION TABLE	
TOTAL DETENTION AREA	10,800 SF (90'X120')
TOTAL DETENTION DEPTH	20'
TOTAL DETENTION VOLUME	216,000 CU-FT
(TYP.) BAY SIZE	30'X30'
NUMBER OF TYP. BAYS	12
ELEVATIONS	
FINISHED GRADE	33.00'
TOP OF SYSTEM	32.50'
OUTFALL PIPE	25.20'
BOTTOM OF SYSTEM	13.00'
WATER TABLE (EXCLUDES FLOW FROM LEE)	
5-YR W.S.E. (TW=28.0')	29.44 (177,509 CF)
10-YR W.S.E. (TW=28.0')	30.53 (189,285 CF)
25-YR W.S.E. (TW=28.0')	32.14 (206,653 CF)
WATER TABLE (EXCLUDES FLOW FROM LEE)	
5-YR W.S.E. (TW=30.0')	30.65 (190,568 CF)
10-YR W.S.E. (TW=30.0')	31.69 (201,856 CF)
25-YR W.S.E. (TW=30.0')	N/A

1001 JEFFERSON ST
UNDERGROUND DETENTION
AND COURTYARD

PLANS FOR:
DOWNTOWN
LAFAYETTE
LAFAYETTE, LOUISIANA

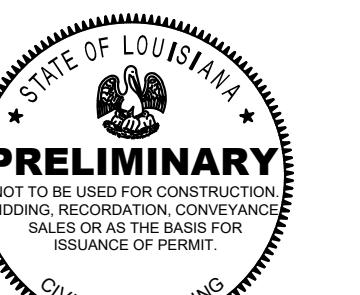
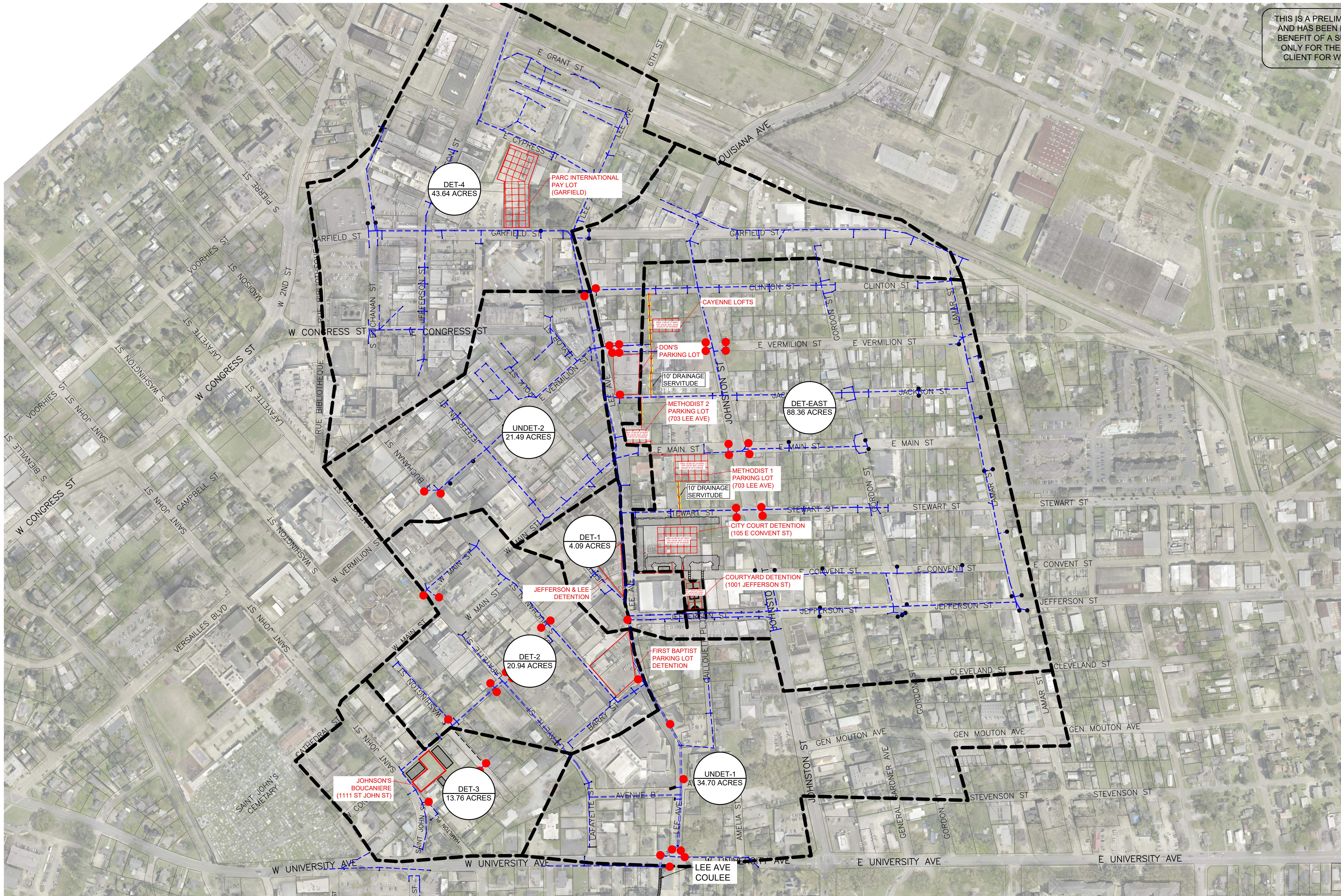
NO.	DATE	REVISION DESCRIPTION	BY

PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION
BIDDING, RECORDATION, CONVEYANCE,
SALES, OR OTHER PURPOSES
OR ISSUANCE OF PERMIT.
ENGINEER: JAMES J. RICKS, P.E.
LICENSE NUMBER: 32222

JOB # 21-713
ENGINEER: JJR
DRAWN BY: BSB
DATE: NOVEMBER 2021
SHEET LAYOUT 1

SCHEMATIC
FOR INFORMATIONAL PURPOSES ONLY

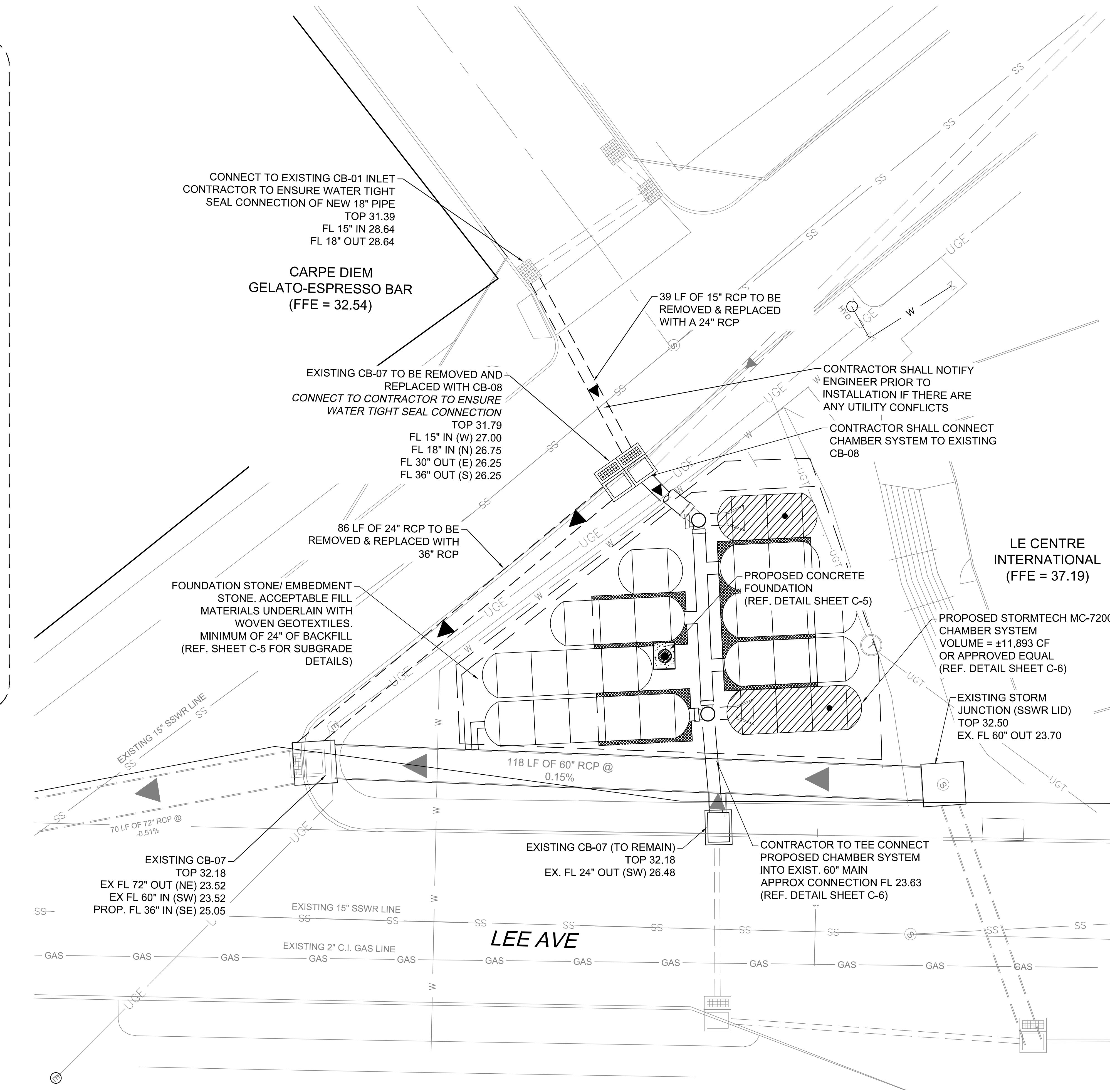
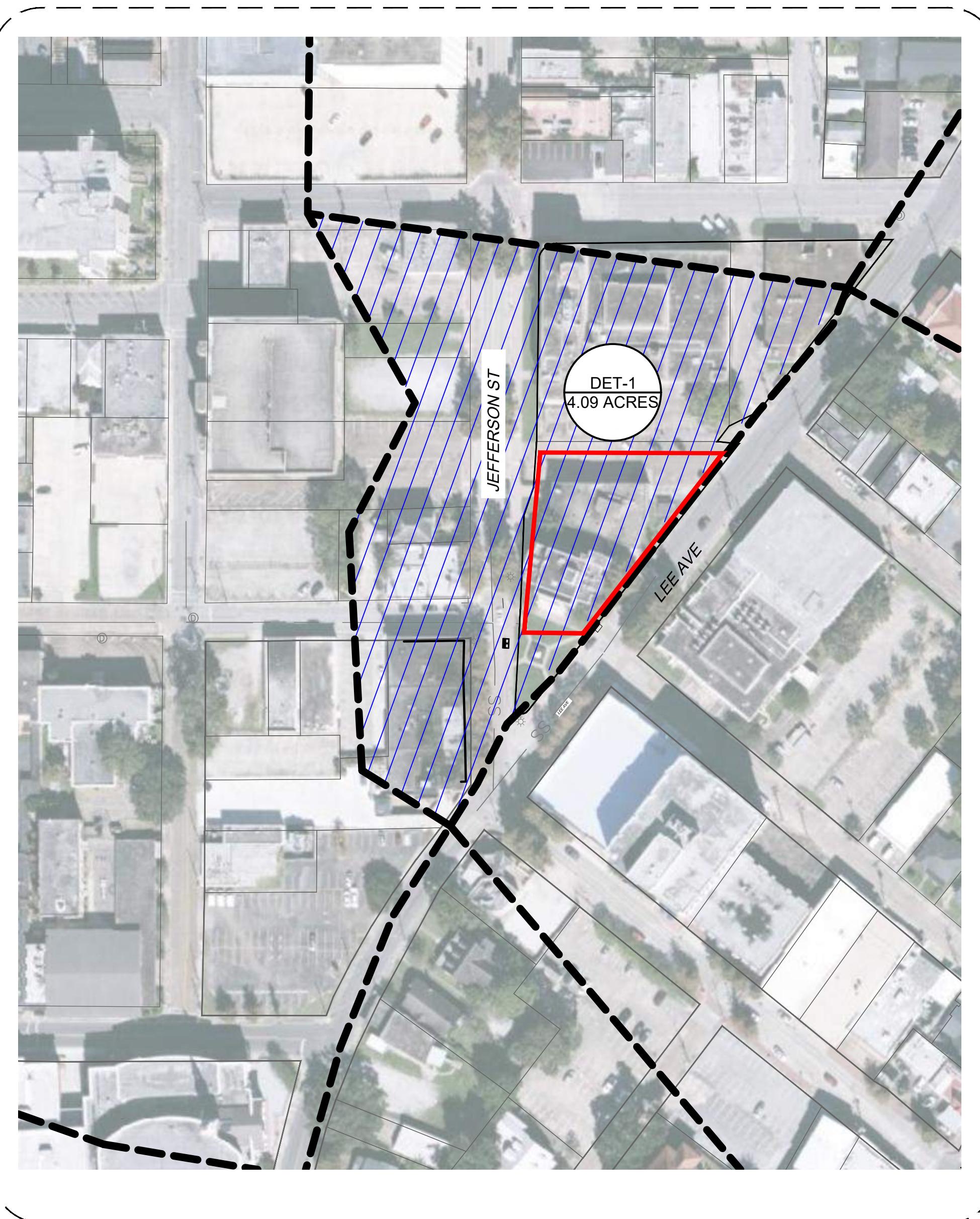
THIS IS A PRELIMINARY CONCEPTUAL PLAN
AND HAS BEEN PRODUCED WITHOUT THE
BENEFIT OF A SURVEY. THIS IS INTENDED
ONLY FOR THE SPECIFIC PURPOSE AND
CLIENT FOR WHICH IT WAS PREPARED.



ENGINEER: JAMES J. RICKS, P.E.
LICENSE NUMBER: 32227

PHASE 1

JEFFERSON & LEE UNDERGROUND DETENTION

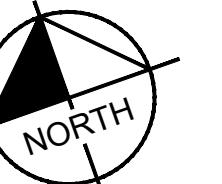
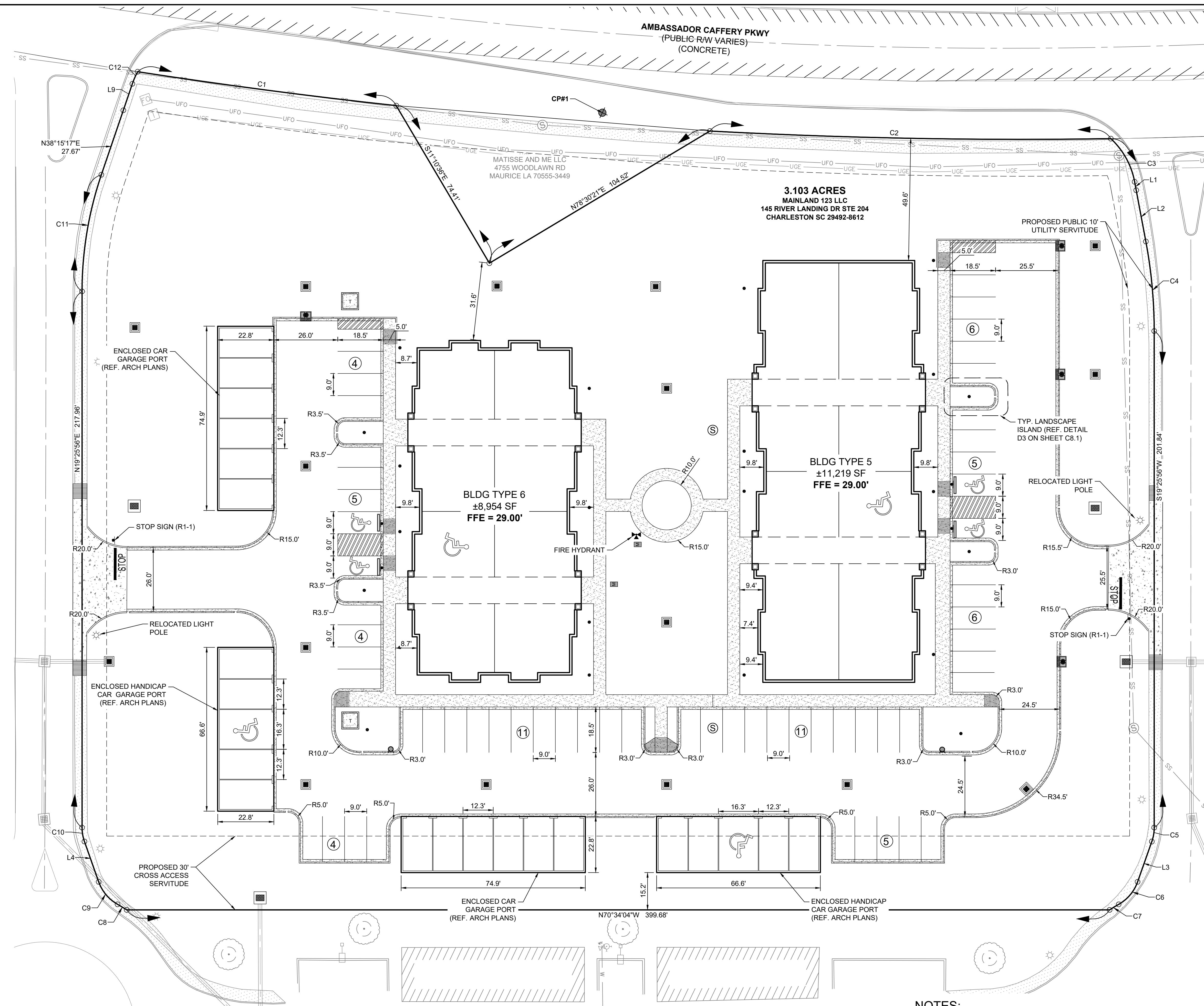


PHASE 1

PLANS FOR:
DOWNTOWN
LAFAYETTE
LA

2

SITE PLAN



GRAPHIC SCALE IN FEET
0 10 20 40
SCALE: 1:120

LEGEND

	PROPERTY BOUNDARY AS RECORDED PER PLAT
	PROPOSED PROPERTY BOUNDARY
	PROPOSED SETBACK OR SERVITUDE
	PROPOSED SIDEWALK
	CURB RAMP
	PROPOSED DRAIN INLET
	FIRE DEPARTMENT CONNECTION (FDC)
	SANITARY SEWER MANHOLE

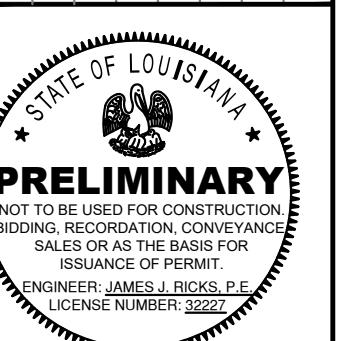
SITE DATA TABLE

SITE ACREAGE	3.103 ACRES (135,167SF)
ADDRESS	5530 AMBASSADOR CAFFERY PKWY
BUILDING DATA	
BUILDING SQUARE FOOTAGE (TYPE 5)	1st - 11,219 SF 2nd - 11,219 SF 3rd - 11,219 SF
BUILDING HEIGHT (TYPE 5)	3 STORIES
NUMBER OF UNITS (TYPE 5)	12 - 3 BEDROOM UNITS 12 - 1 BEDROOM UNITS
BUILDING SQUARE FOOTAGE (TYPE 6)	1st - 8,954 SF 2nd - 8,954 SF 3rd - 8,954 SF
BUILDING HEIGHT (TYPE 6)	3 STORIES
NUMBER OF UNITS (TYPE 6)	(24) - 1 BEDROOM UNITS
GARAGE PARKING DATA	
STANDARD GARAGE STALLS	20 SPACES
ADA GARAGE STALLS	2 SPACES
TOTAL GARAGE STALLS	22 SPACES
PARKING DATA	
STANDARD PARKING STALLS	57 SPACES
ADA PARKING STALLS	4 SPACES
TOTAL PARKING STALLS	61 SPACES

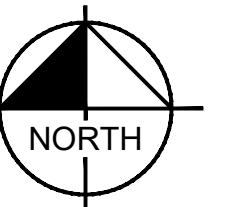
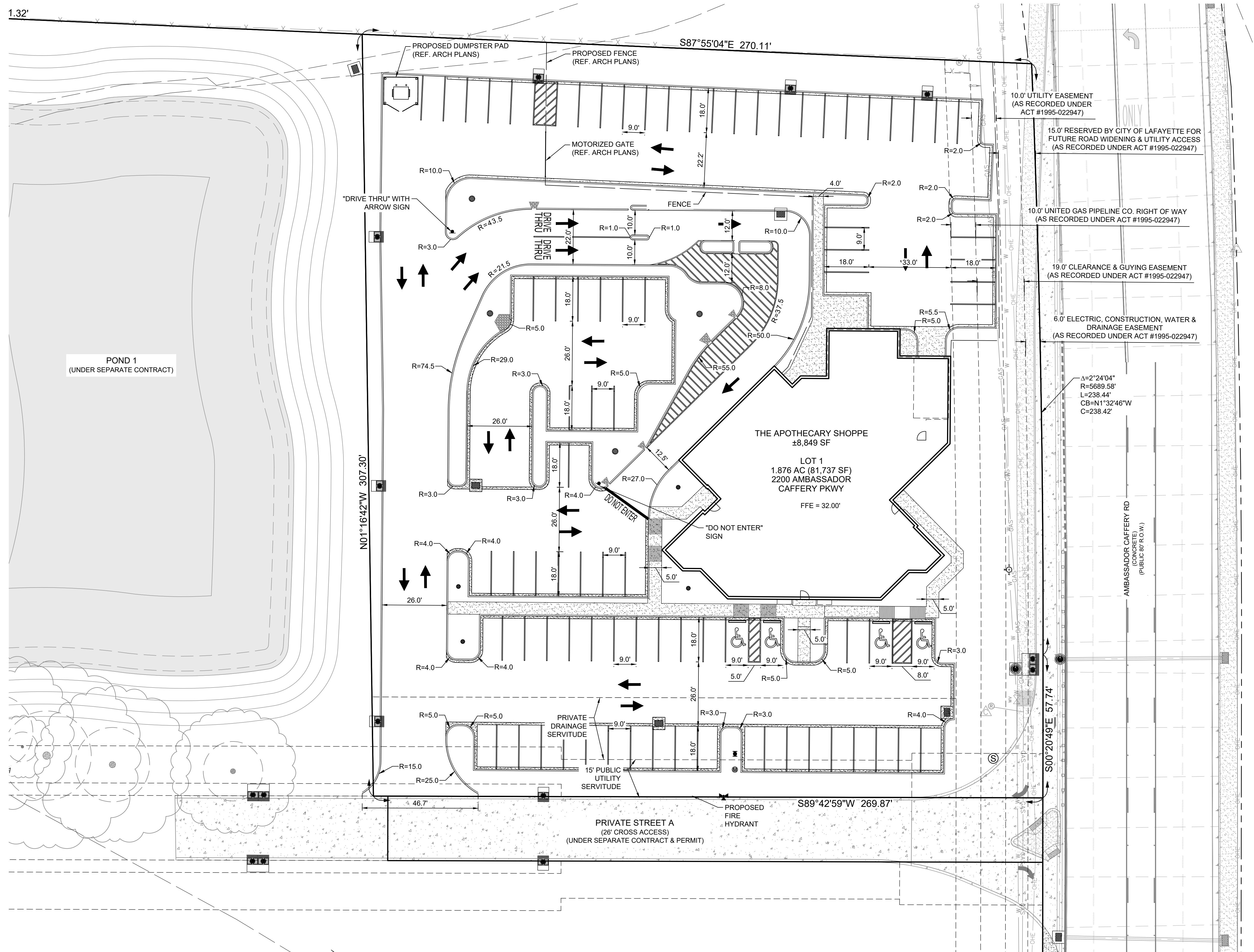
LINE AND CURVE TABLE SHOWN BELOW FOR APPROXIMATE BOUNDARY LIMITS

CURVE TABLE						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	2356.83'	106.05'	S63°05'48"E	106.04'	2°34'41"	53.04'
C2	2356.83'	163.08'	S69°28'46"E	163.05'	3°57'53"	81.57'
C3	32.00'	20.38'	S3°27'58"E	20.03'	36°28'55"	10.55'
C4	197.00'	36.64'	S14°06'13"W	36.59'	10°39'26"	18.37'
C5	17.00'	5.77'	S29°09'29"W	5.74'	19°27'07"	2.91'
C6	17.00'	12.21'	S59°27'45"W	11.95'	41°09'25"	6.38'
C7	60.00'	4.33'	S77°58'31"W	4.33'	4°07'54"	2.16'
C8	60.00'	4.34'	N39°06'09"W	4.34'	4°08'55"	2.17'
C9	17.00'	12.21'	N20°35'54"W	11.95'	41°09'25"	6.38'
C10	17.00'	5.77'	N9°42'22"E	5.74'	19°27'07"	2.91'
C11	147.00'	48.29'	N28°50'36"E	48.07'	18°49'21"	24.37'

LINE TABLE		
LINE	LENGTH	BEARING
L1	3.49	S08°46'30"W
L2	21.19	S08°46'30"W
L3	17.38	S38°53'02"W
L4	17.38	N00°01'11"W



SOUTHEAST JOB # 23-873
ENGINEER: JJR
DRAWN BY: CML
DATE: JANUARY 2024
SHEET: C2.0



GRAPHIC SCALE IN FEET
0 10 20 40

LEGEND

PROPERTY BOUNDARY AS RECORDED PER PLAT
PROPOSED PROPERTY BOUNDARY
PROPOSED SETBACK OR SERVITUDE
PROPOSED SIDEWALK
CURB RAMP
PROPOSED DRAIN INLET
PROPOSED CURB INLET
(S) SANITARY SEWER MANHOLE

NOTES:

1. BUILDING MECHANICAL EQUIPMENT, AND SIGNS ARE SHOWN HERON FOR REFERENCE ONLY. REFER CONSTRUCTION PLANS OF THOSE ITEMS FOR LOCATIONS AND DIMENSIONS.
2. REFER TO ARCHITECTURAL CONSTRUCTION DRAWINGS FOR EXACT BUILDING DIMENSIONS.
3. PARKING MARKING TO BE 4" SOLID PAINTED STRIPE (TYP.)
4. ALL DIMENSIONS ARE TO BE MEASURED TO FACE OF CURB.

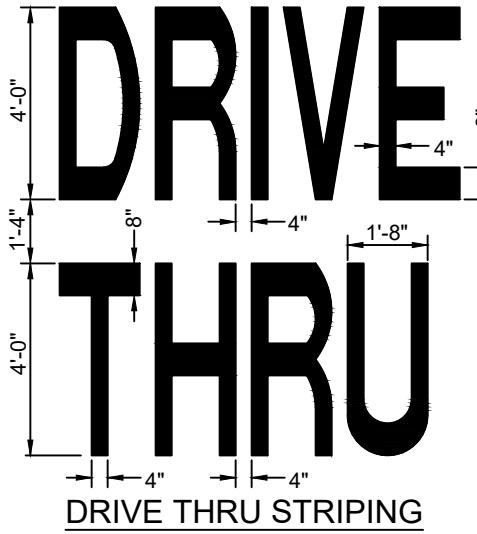
SITE DATA TABLE	
SITE ACREAGE	1.876 AC (81,737 SF)
ADDRESS	2200 AMBASSADOR CAFFERY PKWY LAFAYETTE, LA 70506
BUILDING DATA	
BUILDING SQUARE FOOTAGE	±8,849 SF
BUILDING HEIGHT	1 STORIES
PARKING DATA	
STANDARD PARKING STALLS	87 SPACES
ADA PARKING STALLS	4 SPACES
TOTAL PARKING STALLS	91 SPACES



"DO NOT ENTER" SIGN
N.T.S.



NOTES:
1. CONTRACTOR SHALL USE WHITE REFLECTIVE
PAINT ON ASPHALT &
YELLOW REFLECTIVE
PAINT ON CONCRETE.



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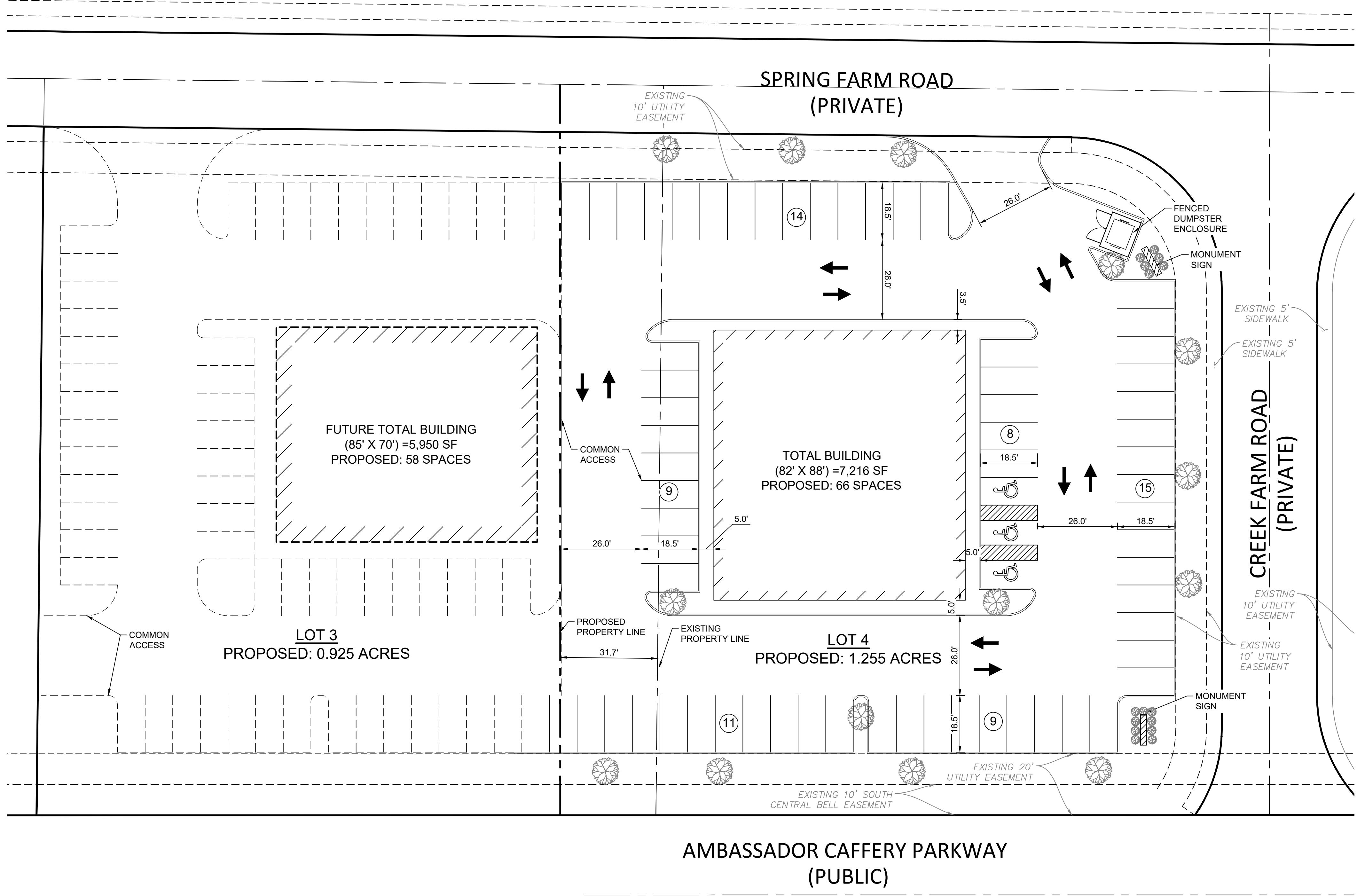
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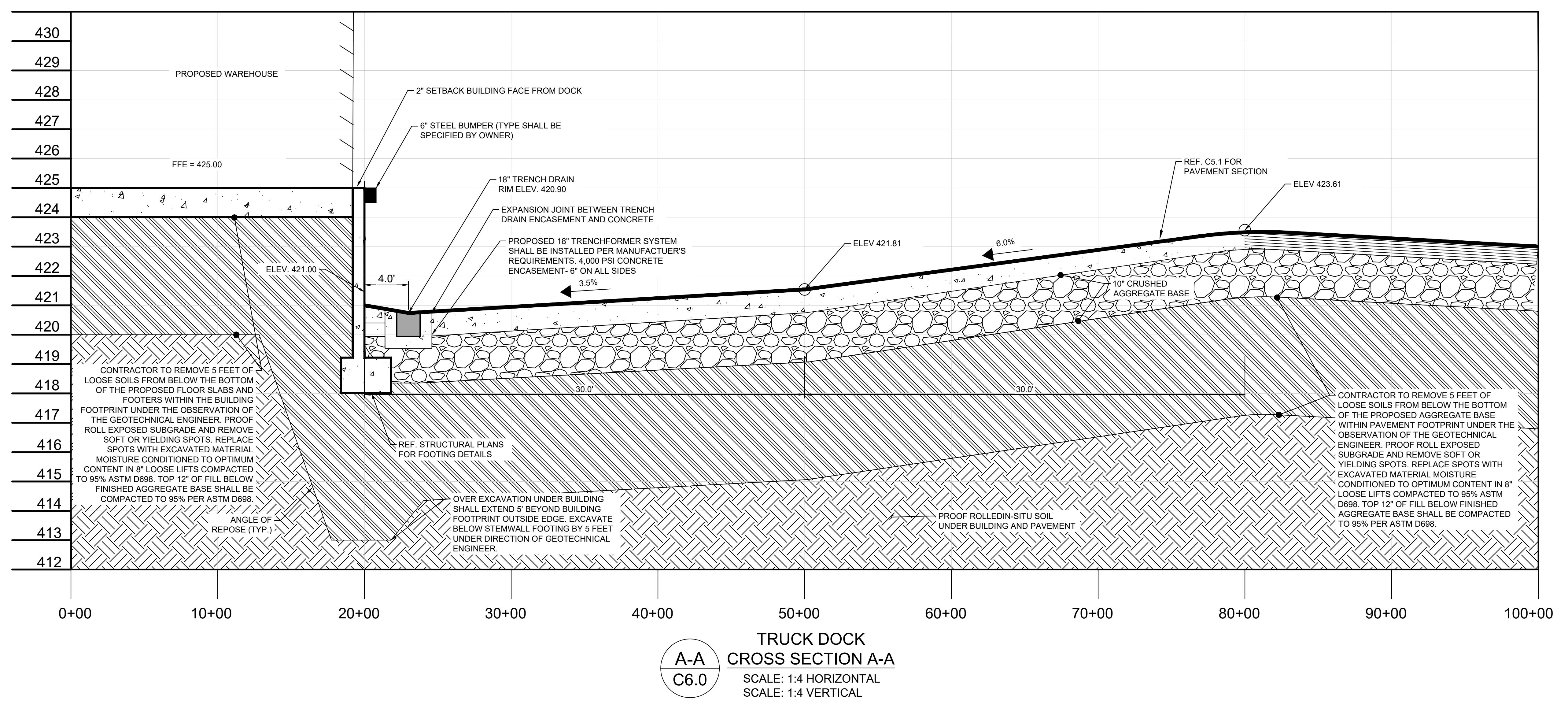
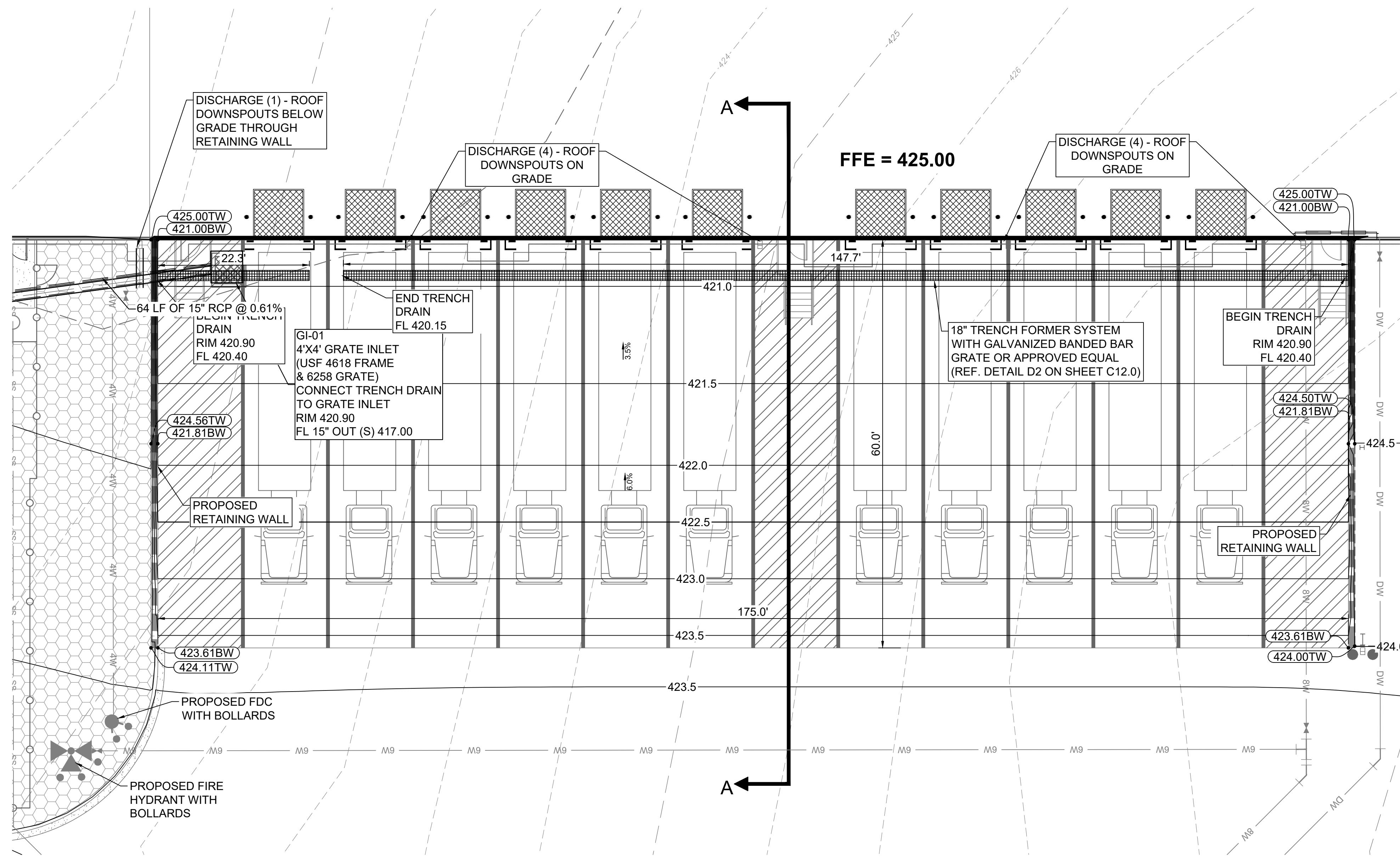
CAUTION

EXISTING UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR
DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL
UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE
RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO
DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL
NOTIFY THE ENGINEER OF ANY ISSUES.

SOUTHEAST JOB # 24-001
ENGINEER: JJR
DRAWN BY: CML
DATE: FEBRUARY 2024
SHEET: C2.0

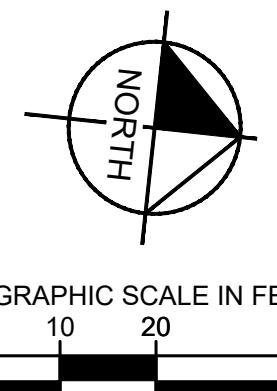
PRELIMINARY





CLIENT	COCA-COLA BOTTLING CO. UNITED, INC. MCCOMB, MS	PROJECT	NEW MCCOMB SALES CENTER MCCOMB, MS	DRAWING	LOADING DOCK PLAN (SECTION A-A)
R. LEE C. DONLEY LICENSED PROFESSIONAL ENGINEER 01/15/2024 29317 STATE OF MISSISSIPPI					
DATE PLOTTED:	01/15/2024	SCALE:	1:4	DRAWN BY:	BSB
PROJECT NO.	22-690	DATE:	01-15-2024	DRAWING NO.	
SCALE:	-	DRAWN BY:	BSB		
DATE PLOTTED:	01/15/2024	SCALE:	-	DRAWN BY:	BSB
PROJECT NO.	22-690	DATE:	01-15-2024	DRAWING NO.	
DATE PLOTTED:	01/15/2024	SCALE:	-	DRAWN BY:	BSB
PROJECT NO.	22-690	DATE:	01-15-2024	DRAWING NO.	

UTILITY PLAN & PROFILE (1 OF 2)



GRAPHIC SCALE IN FEET

0 10 20 30 40

SEWER NOTES:

1. ALL SANITARY SEWER, INCLUDING MAIN LINES AND SERVICE LINES, SHALL HAVE TRACER WIRE INSTALLED. THW 14 INSULATED COPPER WIRE SHALL BE PLACED ON THE BOTTOM AND IN THE CENTER OF ALL PIPE FOR ITS ENTIRE LENGTH, INCLUDING CROSSINGS. THIS WIRE SHALL BE CONNECTED TO ALL FIXTURES AND APPURTENANCES IN THE PIPELINE. WIRE CONNECTIONS SHALL BE INSTALLED SO AS TO ASSURE CONTINUOUS FLOW OF INSTRUMENT CURRENT.

2. FOR DUCTILE IRON ENCASED SEWER PIPES, THE DUCTILE IRON SLEEVE FOR THE SEWER LINE SHALL HAVE SUFFICIENT INSIDE DIAMETER TO INCLUDE REQUIRED CASING SPACERS TO KEEP THE PIPE CENTERED.

3. A CONFLICT BOX SHALL BE REQUIRED IF THE PROPOSED GRAVITY SEWER PIPE HAS LESS THAN ONE (1) FOOT CLEARANCE FROM A STORM DRAIN PIPE CROSSING.

4. RECORD DRAWINGS SHALL BE PROVIDED TO THE CITY UPON COMPLETION OF CONSTRUCTION AND CAMERA INSPECTIONS OF ALL SEWER LINES.

5. THE TOPS OF ALL MANHOLES, FRAMES & COVERS SHALL HAVE A WATER TIGHT SEAL CONNECTION.

6. THE TOPS OF ALL MANHOLES SHALL BE AT OR ABOVE GRADE AT THE COMPLETION OF INSTALLATION. THE MANHOLE SHALL TIE INTO EXISTING TOPOGRAPHY VIA GRADING FILL TO FINISHED GRADE ON PLANS. (GRADES TO BE FIELD VERIFIED.)

7. ALL MANHOLES SHALL HAVE A 4' INNER DIA. (PER CITY OF YOUNGSVILLE STANDARDS).

8. BACKFILL SHALL BE COMPAKTED TO 95% OF MAXIMUM DENSITY BY STANDARD PROCTOR.



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