

FAIR OAKS RECREATION AND PARK DISTRICT BOARD OF DIRECTORS

ONE THOUSAND FOUR HUNDRED AND THIRTY-FIRST BOARD OF DIRECTORS' REGULAR MEETING

Agenda for April 17, 2024

The April 17, 2024 Regular Meeting of the Board will be conducted both in person and via

Zoom:

<https://us02web.zoom.us/j/87345380207>

Or join by phone: US: +1 669 900 9128 or +1 346 248 7799 or +1 253 215 8782 or +1 301 715 8592

or

+1 312 626 6799 or +1 646 558 8656

Meeting ID: 873 453 80207

FAIR OAKS WATER DISTRICT

10326 FAIR OAKS BLVD.

FAIR OAKS, CA 95628

April 17, 2024

6:00 P.M.

1. CALL TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. AUDIENCE/PUBLIC COMMENT (NON-AGENDA ITEMS)
(Any person may address the Board upon any subject within the jurisdiction of the Fair Oaks Recreation and Park District. Each speaker is limited to a maximum of THREE (3) minutes. Any matter requiring Board action will be referred to staff or committee for a report and action at a subsequent meeting).
5. CONSENT CALENDAR
(All matters listed under Consent Calendar are considered by the Board of Directors to be routine and will be acted upon in a single motion. There will not be separate discussions of these items unless a request is made prior to the time the Board considers a motion to approve).

- 5.I. Accept And File: Enumeration Of Claims (Vendor Activity Report) – March 2024.

Documents:

[5.1 ENUMERATION OF CLAIMS \(VENDOR ACTIVITY REPORT\) - MARCH \(PERIOD 9\).PDF](#)

5.II. Accept And File: Payroll Report – March 2024.

Documents:

[5.2A PAYROLL CONSOLIDATION AND ACTIVITY REPORT - MARCH \(PERIOD 9\).PDF](#)

[5.2B OVERTIME CTO STRAIGHT TIME DETAIL - MARCH \(PERIOD 9\).PDF](#)

5.III. Accept And File: Leave Liability Report – March 2024.

Documents:

[5.3 LEAVE LIABILITY - MARCH 2024.PDF](#)

5.IV. Accept And File: Contingency Fund Reconciliation Report – March 2024.

Documents:

[5.4 CONTINGENCY FUND RECONCILIATION - MARCH \(PERIOD 9\).PDF](#)

5.V. Accept And File: Fund Balance Report – March 2024.

Documents:

[5.5 FUND BALANCE REPORT - MARCH \(PERIOD 9\).PDF](#)

5.VI. Accept And File: Refund Report – March 2024.

Documents:

[5.6 REFUND REPORT - MARCH \(PERIOD 9\).PDF](#)

5.VII. Accept And File: Financial Report – March 2024.

Documents:

[5.7 FINANCIAL REPORT - MARCH \(PERIOD 9\).PDF](#)

5.VIII. Accept And File: Measure J Commitment Report – March 2024.

Documents:

[5.8 MEASURE J COMMITMENT REPORT - MARCH \(PERIOD 9\).PDF](#)

5.IX. Accept And File: Construction Schedule Report – March 2024.

Documents:

[5.9 CONSTRUCTION SCHEDULE REPORT - MARCH 2024.PDF](#)

5.X. Accept And File: Change Orders – March 2024.

Documents:

[5.10 CHANGE ORDER 1.PDF](#)
[5.10 CHANGE ORDER 2.PDF](#)

5.XI. Accept And File: Fulton El-Camino Monthly Report – March 2024.

Documents:

[5.11 FEC REPORT - MARCH.PDF](#)

5.XII. Approval Of The Minutes From The Regular Board Meeting – March 20, 2024.

Documents:

[5.12 03.20.2024 1430 DRAFT.PDF](#)

6. NEW BUSINESS

- 6.I. Monthly Fair Oaks Youth Advisory Board Report.
6.II. Discussion And Possible Action On Approval Of Fiscal Year 2024-2025 Capital Improvement Plan.

Documents:

[6.2 APPROVAL OF FISCAL YEAR 2024-2025 CAPITAL IMPROVEMENT PLAN.PDF](#)

6.III. Discussion And Possible Action On The Allocation Of The \$130,000 Awarded Through The Sacramento County American Rescue Plan Funds (ARPA).

Documents:

[6.3 ALLOCATION OF ARPA FUNDS.PDF](#)

6.IV. Discussion And Possible Action On Adoption Of Resolution In Support Of Application For Congressman Ami Bera Year 2025 Congressionally Directed Spending Requests.

- Resolution No. 041724-01 Approving The Application For Congressman Ami Bera Fiscal Year 2025 Congressionally Directed Spending Requests.

Documents:

[6.4 ADOPTION OF RESOLUTION IN SUPPORT OF BERA APPLICATION.PDF](#)

6.V. Receive And File: 2023 State Controllers Office Local Government Compensation Report.

Documents:

[6.5 2023 STATE CONTROLLERS OFFICE LOCAL GOVERNMENT COMPENSATION REPORT.PDF](#)

6.VI. Discussion And Possible Action On Nomination For California Association Of Recreation And Park Districts Board Of Directors.

Documents:

6.6 NOMINATION FOR CARPD.PDF

7. BOARD/STAFF REPORTS

7.I. Items From The Board Of Directors.

7.II. Items From Staff.

8. ADJOURNMENT

8.I. Adjourn To The Regular Meeting Of May 15, 2024 @ 6:00 P.m.

I, Michael J. Aho, District Administrator of the Fair Oaks Recreation and Park District, do hereby certify that this agenda has been posted at 10326 Fair Oaks Blvd. Fair Oaks, CA 95628 at least 72 hours prior to the meeting of the Board of Directors in accordance with Government Code Section 54950.5, the Ralph M. Brown Act.

If you need a disability related accommodation to participate in these meetings, please contact the District Office at (916) 966-1036 (voice) or (916) 966-9863 (fax).

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To watch the meeting live on Facebook, please visit: https://www.facebook.com/FORPD/live_videos

VENDOR	EXPENSE DESCRIPTION	ACCOUNT DESCRIPTION	AMOUNT
<u>AT&T CORP</u>	ADMIN Office Internet 1/11-2/10	TELEPHONE SVC	\$608.66
	TOTAL		\$608.66
<u>ATLAS DISPOSAL INDUSTRIES LLC</u>	PARKS Pickup @ 9050 Phoenix Park B to 3/1	REF COLL/DISP SVC	\$282.94
	PARKS Pickup @ 9050 Phoenix Park A to 3/1	REF COLL/DISP SVC	\$287.93
	PARKS Pickup @ 8000 Temple Park Rd to 2/6	REF COLL/DISP SVC	\$1,202.56
	TOTAL		\$1,773.43
<u>BARTKIEWICZ KRONICK & SHANAHAN</u>	Admin February legal services	LEGAL SVC	\$715.00
	TOTAL		\$715.00
<u>BLUE KNIGHT SECURITY AND PATROL</u>	Rec 9429.29 McMillan Ctr 12/23 rental	SECURITY SVC	\$175.00
	TOTAL		\$175.00
<u>BUCKMASTER BUSINESS MACHINES INC</u>	Admin toner for office printer	OFFICE SUPPLIES	\$20.00
	TOTAL		\$20.00
<u>CAGWIN & DORWARD</u>	PARKS PRE SCHOOL LANDSCAPE March	AGRI/HORT SVC	\$303.00
	PARKS PFLL SUNSET AVE / ENCLAVE LANDSCAPE March	AGRI/HORT SVC	\$755.00
	PARKS PFLL MADISON AVE FLYWAY LANDSCAPE March	AGRI/HORT SVC	\$235.00
	PARKS LA VISTA SPORTS FIELDS March	AGRI/HORT SVC	\$1,883.00
	PARKS GRLL MADISON PLACE LANDSCAPE March	AGRI/HORT SVC	\$612.00
	PARKS GRLL GUM RANCH PARK LANDSCAPE March	AGRI/HORT SVC	\$1,238.00
	PARKS FOLL VINTAGE WOODS PARK LANDSCAPE March	AGRI/HORT SVC	\$103.00
	PARKS FOLL PHOENIX PARK LANDSCAPE March	AGRI/HORT SVC	\$8,956.00
	PARKS FOLL OLD FAIR OAKS LIBRARY LANDSCAPE March	AGRI/HORT SVC	\$100.00
	PARKS FOLL MONTVIEW PARK LANDSCAPE March	AGRI/HORT SVC	\$1,234.00
	PARKS FOLL MILLER PARK LANDSCAPE March	AGRI/HORT SVC	\$2,088.00
	PARKS FOLL MANANA LANDSCAPE March	AGRI/HORT SVC	\$425.00
	PARKS FOLL LITTLE PHOENIX PARK LANDSCAPE March	AGRI/HORT SVC	\$579.00
	PARKS FOLL JIM STRENG PARK LANSCAPEE March	AGRI/HORT SVC	\$669.00
	PARKS FOLL FAIR OAKS PARK LANDSCAPE March	AGRI/HORT SVC	\$5,221.00
	PARKS FOLL BANNISTER PARK LANDSCAPE March	AGRI/HORT SVC	\$1,406.00
	PARKS ADMIN OFFICE LANDSCAPE March	AGRI/HORT SVC	\$271.00
	TOTAL		\$26,078.00
<u>CALIFORNIA ASSOCIATION FOR PARK & R</u>	FY 24 Q4 workers comp contribution	INS LIABILITY	\$10,628.50
	TOTAL		\$10,628.50
	Rec Teacher Dental APRIL	GROUP INS	\$82.00



VENDOR ACTIVITY REPORT FY 2024
341A FORPD General Fund

March
Period 9

<u>CAPS INSURANCE SERVICES INC</u>	Rec Supervisor Dental APRIL	GROUP INS	\$99.56
	Rec Supervisor Dental APRIL	GROUP INS	\$99.56
	Rec Supervisor Dental APRIL	GROUP INS	\$59.00
	Rec Manager Dental APRIL	GROUP INS	\$184.33
	Rec Inv Fee APRIL	GROUP INS	\$6.00
	Rec Coordinator Dental APRIL	GROUP INS	\$54.10
	Parks Supervisor Dental APRIL	GROUP INS	\$99.56
	Parks Manager Dental APRIL	GROUP INS	\$59.00
	Parks Maint Worker Dental APRIL	GROUP INS	\$54.10
	Parks Maint Worker Dental APRIL	GROUP INS	\$54.10
	Parks Maint Worker Dental APRIL	GROUP INS	\$99.56
	Parks Maint Worker Dental APRIL	GROUP INS	\$99.56
	Parks Inv Fee APRIL	GROUP INS	\$6.00
	Admin Manager Dental APRIL	GROUP INS	\$184.33
	Admin Inv Fee APRIL	GROUP INS	\$4.00
	Admin Assistant II Dental APRIL	GROUP INS	\$99.56
	Admin Administrator Dental APRIL	GROUP INS	\$65.00
	Admin Adjust. Fee APRIL	GROUP INS	-\$3.00
	A&E Manager Dental APRIL	GROUP INS	\$99.56
	A&E Inv Fee APRIL	GROUP INS	\$1.00
TOTAL			\$1,506.88
<u>COUNTY OF SACRAMENTO</u>	PARKS 8308 Mallee Cir to 4/7	SEWAGE DISP SVC	\$2,377.75
	TOTAL		
<u>FAIR OAKS WATER DISTRICT</u>	Parks Tuckerwoo - Mallee XRD to 3/31	WATER	\$159.90
	Parks Irr lot @ Madison/Flyway XRD to 4/30	WATER	\$256.87
	Parks 9050 Sunset Phoenix Pk to 4/30	WATER	\$4,848.28
	Parks 9041 Phoenix ave (Little Ph) to 4/30	WATER	\$245.28
	Parks 8855 Swallow Way to 4/30	WATER	\$86.65
	Parks 4404 Minn. Ave (Montview Park) to 5/31	WATER	\$248.33
	Parks 3820 Bannister Rd to 5/31	WATER	\$341.69
	Parks 11549 FO BLVD/FO Park to 5/31	WATER	\$1,176.82
	TOTAL		

<u>GREATAMERICA FINANCIAL SERVICES COR</u>	ADMIN RICOH usage color to 3/19	RENT/LEASE EQ	\$110.27
	ADMIN RICOH usage color to 2/19	RENT/LEASE EQ	\$88.87
	ADMIN RICOH usage black to 3/19	RENT/LEASE EQ	\$38.58
	ADMIN RICOH usage black to 2/19	RENT/LEASE EQ	\$13.34
	ADMIN RICOH lease pymt to 3/19	RENT/LEASE EQ	\$290.84
	ADMIN RICOH lease pymt to 2/19	RENT/LEASE EQ	\$290.84
	ADMIN RICOH late pymt	RENT/LEASE EQ	\$42.36
	TOTAL		\$875.10
<u>J FIFFICK CORPORATION</u>	ADMIN MS Teams Essentials Feb	DATA PROCESSING SVC	\$8.00
	ADMIN MS Azure Info Protection Premium Feb	DATA PROCESSING SVC	\$2.50
	ADMIN Managed Services & Monitoring Feb	DATA PROCESSING SVC	\$650.00
	ADMIN M S Office OneDrive for Business Plan Feb	DATA PROCESSING SVC	\$5.00
	ADMIN M S Office 365 Phone System-Main Office Feb	DATA PROCESSING SVC	\$16.00
	ADMIN M S Office 365 Business Basic Feb	DATA PROCESSING SVC	\$42.00
	ADMIN M S Office 365 Standard User Licenses Feb	DATA PROCESSING SVC	\$212.50
	ADMIN M S Office 365 : User Licenses E1 Gov Feb	DATA PROCESSING SVC	\$20.00
	ADMIN Cloud Online Backup up to 1TB Feb	DATA PROCESSING SVC	\$120.00
	TOTAL		\$1,076.00
<u>JENNIFER COULTER</u>	A&E drywall carving S1	RECREATIONAL SVC	\$61.20
	TOTAL		\$61.20
<u>JULIA WEDGE</u>	A&E 8510 Jan/Feb classes	RECREATIONAL SVC	\$142.80
	TOTAL		\$142.80
<u>LAURA GAMEZ</u>		RECREATIONAL SVC	\$280.80
	TOTAL		\$280.80
<u>MICHAEL TAYLOR</u>	A&E ukulele strummers	RECREATIONAL SVC	\$81.00
	TOTAL		\$81.00
<u>PACIFIC GAS AND ELECTRIC COMPANY</u>	Parks 8090 Grand Pre-School 1/31-2/29	NAT GAS/LPG/FUEL OIL	\$347.41
	Parks 8020 Temple Park McMillan Ctr. 1/9-2/7	NAT GAS/LPG/FUEL OIL	\$347.03
	Parks 7997 California Club House 1/31-2/29	NAT GAS/LPG/FUEL OIL	\$8.32
	Parks 4200 Temescal Old Library 1/31-2/29	NAT GAS/LPG/FUEL OIL	\$428.72
	Parks 4150 Temescal Dist. Office 1/31-2/29	NAT GAS/LPG/FUEL OIL	\$102.05

	TOTAL		\$1,233.53
<u>PERS</u>	Unfunded accrued liability plan 659 April	RETIREMENT	\$7,154.58
	Rec PEPRA PP2024-04 02/01-02/15	RETIREMENT	\$893.56
	Rec PEPRA PP2024-03 2/16-2/29	RETIREMENT	\$834.67
	Rec CLASSIC PP2024-04 02/01-02/15	RETIREMENT	\$956.73
	Rec CLASSIC PP2024-03 2/16-2/29	RETIREMENT	\$956.73
<u>PERS</u>	Parks PEPRA PP2024-04 02/01-02/15	RETIREMENT	\$1,010.73
	Parks PEPRA PP2024-03 2/16-2/29	RETIREMENT	\$945.13
	Parks CLASSIC PP2024-04 02/01-02/15	RETIREMENT	\$372.22
	Parks CLASSIC PP2024-03 2/16-2/29	RETIREMENT	\$341.23
	Admin PEPRA PP2024-04 02/01-02/15	RETIREMENT	\$1,399.58
	Admin PEPRA PP2024-03 2/16-2/29	RETIREMENT	\$1,384.75
	A&E PEPRA PP2024-04 02/01-02/15	RETIREMENT	\$262.43
	A&E PEPRA PP2024-03 2/16-2/29	RETIREMENT	\$262.43
	TOTAL		\$16,774.77
<u>PERS HEALTH BENEFITS DIV</u>	RET Health April	GROUP INS	\$1,021.41
	REC Health April	GROUP INS	\$24.84
	PARKS Health April	GROUP INS	\$37.26
	ADMIN Health April	GROUP INS	\$18.63
	A&E Health April	GROUP INS	\$6.20
	RET Health April	HEALTH CARE	\$324.79
	RET Health April	HEALTH CARE	\$683.44
	RET Health April	HEALTH CARE	\$448.15
	RET Health April	HEALTH CARE	\$896.30
	RET Health April	HEALTH CARE	\$683.44
	RET Health April	HEALTH CARE	\$12.98
	TOTAL		\$4,157.44
<u>PREMIUM HEATING & AIR CONDITIONING</u>	Parks Old Library AC repair	MECH SYS MAINT SVC	\$650.00
	Parks A/C repair District office	MECH SYS MAINT SVC	\$300.00
	TOTAL		\$950.00
	Rec Supervisor Vision April 24	GROUP INS	\$20.31
	Rec Supervisor Vision April 24	GROUP INS	\$20.16
	Rec Supervisor Life Ins April 24	GROUP INS	\$18.40
	Rec Supervisor Life Ins April 24	GROUP INS	\$15.65
	Rec PS Teacher Vision April 24	GROUP INS	\$32.50

<u>PRINCIPAL LIFE INSURANCE COMPANY</u>	Rec PS Teacher Life Ins April 24	GROUP INS	\$13.43
	Rec Manager Vision April 24	GROUP INS	\$32.50
	Rec Manager Life Ins April 24	GROUP INS	\$18.40
	Rec Coordinator Vision April 24	GROUP INS	\$10.02
	Rec Coordinator Vision April 24	GROUP INS	\$20.16
	Rec Coordinator Life Ins April 24	GROUP INS	\$14.54
	Rec Coordinator Life Ins April 24	GROUP INS	\$12.15
	Parks Supervisor Vision April 24	GROUP INS	\$20.31
	Parks Supervisor Life Ins April 24	GROUP INS	\$15.45
	Parks Manager Vision April 24	GROUP INS	\$20.16
<u>PRINCIPAL LIFE INSURANCE COMPANY</u>	Parks Manager Life Ins April 24	GROUP INS	\$18.40
	Parks Maint Worker Vision April 24	GROUP INS	\$10.02
	Parks Maint Worker Vision April 24	GROUP INS	\$20.16
	Parks Maint Worker Vision April 24	GROUP INS	\$20.31
	Parks Maint Worker Vision April 24	GROUP INS	\$20.31
	Parks Maint Worker Life Ins April 24	GROUP INS	\$13.25
	Parks Maint Worker Life Ins April 24	GROUP INS	\$13.25
	Parks Maint Worker Life Ins April 24	GROUP INS	\$18.40
	Parks Maint Worker Life Ins April 24	GROUP INS	\$13.99
	Admin Manager Vision April 24	GROUP INS	\$32.50
	Admin Manager Life Ins April 24	GROUP INS	\$18.40
	Admin Assistant II Vision April 24	GROUP INS	\$20.16
	Admin Assistant II Life Ins April 24	GROUP INS	\$13.43
	Admin Assistant II Life Ins April 24	GROUP INS	\$12.33
	Admin Administrator Vision April 24	GROUP INS	\$20.16
	Admin Administrator Life Ins April 24	GROUP INS	\$18.40
	Admin Accountant Vlson April 24	GROUP INS	\$20.31
	Admin Accountant Life Ins April 24	GROUP INS	\$17.29
	A&E Manager Vision April 24	GROUP INS	\$10.02
	A&E Manager Life Ins April 24	GROUP INS	\$18.40
TOTAL			\$633.63
<u>ROCKET RESTROOMS & FENCING INC</u>	Rec softball restroom service	SEWAGE DISP SVC	\$387.25
	Rec adult softball restroom service March	SEWAGE DISP SVC	\$387.25
	TOTAL		\$774.50
	Parks backflow svc sunset frontage	PLUMBING MAINT SVC	\$192.00

	Parks backflow svc district office	PLUMBING MAINT SVC	\$192.00
<u>RYAN LEDOUX</u>	Parks backflow svc CH & Mad Pl	PLUMBING MAINT SVC	\$384.00
	TOTAL		\$768.00
	Parks ops all parks seed & fertilizer	AGRI/HORT SUP	\$6,743.60
<u>SIERRA PACIFIC TURF SUPPLY INC</u>	TOTAL		\$6,743.60
	PARKS 9050 Phoenix Little Phoenix 1/18-2/15	ELECTRICITY	\$87.23
	PARKS 9044 Windcove Unit Rear 1/18-2/15	ELECTRICITY	\$40.58
<u>SMUD</u>	PARKS 9039 Sunset 1/18-2/25	ELECTRICITY	\$40.13
	PARKS 9030 Sunset Phoenix Concessions 1/18-2/15	ELECTRICITY	\$209.34
	PARKS 8090 Grand 3603369 PreSch Lights 1/26-2/26	ELECTRICITY	\$23.97
	PARKS 8090 Grand 3603367 PreSchool 1/23-2/23	ELECTRICITY	\$88.31
	PARKS 8000 Temple Park Maint Shop 1/25-2/23	ELECTRICITY	\$362.54
	PARKS 8000 Temple Park FO Park 1/25-2/23	ELECTRICITY	\$63.87
	PARKS 7997 California Clubhouse 1/18-2/15	ELECTRICITY	\$237.38
	PARKS 5600 Tuckeroo 1/19-2/16	ELECTRICITY	\$42.32
	PARKS 5542 Cannes Unit IRR 1/19-2/16	ELECTRICITY	\$24.15
	PARKS 5361 Flyway 1/18-2/15	ELECTRICITY	\$37.32
<u>SMUD</u>	PARKS 4990 Kruitof 1/18-2/15	ELECTRICITY	\$43.39
	PARKS 4735 Kenneth Miller Park 1/25-2/23	ELECTRICITY	\$493.36
	PARKS 4660 Hazel Phoenix Park 1/18-2/15	ELECTRICITY	\$37.63
	PARKS 4447 Minnesota 1/26-2/26	ELECTRICITY	\$42.42
	PARKS 4200 Temescal Old Lib 1/24-2/22	ELECTRICITY	\$924.44
	PARKS 4200 Main 1/25-2/23	ELECTRICITY	\$105.03
	PARKS 4150 Temescal District Office 1/25-2/23	ELECTRICITY	\$146.32
	PARKS 11549 Fair Oaks FO Park Softbl 1/25-2/23	ELECTRICITY	\$591.81
	TOTAL		\$3,641.54
<u>STAPLES CONTRACT AND COMMERCIAL</u>	Admin supplies for Dist Office	OFFICE SUPPLIES	\$86.48
	TOTAL		\$86.48
<u>STATE INDUSTRIAL PRODUCTS</u>	Parks ops janitor supplies	CUSTODIAL SUP	\$279.22
	TOTAL		\$279.22
<u>STATE OF CALIFORNIA</u>	Rec fingerprinting service	OTHER OP EXP SUP	\$32.00
	TOTAL		\$32.00
	Parks uniform service	CUSTODIAL SVC	\$70.82
	Parks uniform service	CUSTODIAL SVC	\$67.44
	Parks uniform service	CUSTODIAL SVC	\$70.82

	Parks uniform service	CUSTODIAL SVC	\$70.82
	Parks uniform service	CUSTODIAL SVC	\$70.82
<u>UNIFIRST CORPORATION</u>	Parks Ops janitor supplies	CUSTODIAL SUP	\$200.17
	Parks Ops janitor supplies	CUSTODIAL SUP	\$96.67
	Parks Ops janitor supplies	CUSTODIAL SUP	\$100.61
	Parks Ops janitor supplies	CUSTODIAL SUP	\$100.61
	Parks Ops janitor supplies	CUSTODIAL SUP	\$100.61
	TOTAL		\$949.39
<u>US BANK NATIONAL ASSOCIATION</u>	Admin CARPD Conference Registration for Mike Aho C	BUS/CONFERENCE EXP	\$312.36
	TOTAL		\$312.36
<u>US BANK NATIONAL ASSOCIATION</u>	Parks Management Training - Return AMAZON MKTP US	ED/TRAINING SUP	-\$217.17
	Parks Management Training - Return AMAZON MKTP US	ED/TRAINING SUP	-\$26.93
	TOTAL		-\$244.10
<u>US BANK NATIONAL ASSOCIATION</u>	RECREATION9646 Sabrina - CPRS Membership Renewal C	MEMBERSHIP DUES	\$150.00
	RECREATION9646 Mary - CPRS Membership Renewal CA P	MEMBERSHIP DUES	\$150.00
	TOTAL		\$300.00
<u>US BANK NATIONAL ASSOCIATION</u>	A&E office supplies STAPLES 00108878	OFFICE SUPPLIES	\$51.73
	TOTAL		\$51.73
<u>US BANK NATIONAL ASSOCIATION</u>	Admin Stamps.com Monthly Fee - Feb STAMPS.COM	POSTAL SVC	\$19.99
	TOTAL		\$19.99
<u>US BANK NATIONAL ASSOCIATION</u>	rec9646.7 Events Misc - Events Promo Stickers STIC	PRINTING SVC	\$84.05
	rec9646.7 Events Misc - Events Promo Items 4IMPRIN	PRINTING SVC	\$924.50
	TOTAL		\$1,008.55
<u>US BANK NATIONAL ASSOCIATION</u>	Parks Preschool Lock Box LOWES	BLDG MAINT SUP/MAT	\$41.57
	Parks Preschool Bridge Maintenance LOWES	BLDG MAINT SUP/MAT	\$95.68
	Parks Preschool Bridge Maintenance LOWES	BLDG MAINT SUP/MAT	\$47.84
	Parks Old Library Repairs - Materials LOWES	BLDG MAINT SUP/MAT	\$129.14
	Parks Old Library Repair LOWES	BLDG MAINT SUP/MAT	\$84.70
	Parks Old Library Repair LOWES	BLDG MAINT SUP/MAT	\$70.39
	Parks Old Library - Light Replacement + Paint LOWE	BLDG MAINT SUP/MAT	\$134.36
	Parks Miller Park - Tennis Net Repair AMERICAN RIV	BLDG MAINT SUP/MAT	\$25.19
	Parks McMillan Center - Air Fresheners LOWES	BLDG MAINT SUP/MAT	\$44.13
	TOTAL		\$673.00

<u>US BANK NATIONAL ASSOCIATION</u>	Parks Phoenix Dog Park Restroom Light Replacement	ELECT MAINT SUP	\$33.57
	Parks Ops - Flash Light Batteries MILLER'S ACE HAR	ELECT MAINT SUP	\$21.54
	Parks Ops - Dispenser Batteries BATTERIES PLUS #03	ELECT MAINT SUP	\$117.92
	Parks Ops - Dispenser Batteries AMERICAN RIVER ACE	ELECT MAINT SUP	\$21.54
	Parks Old Library - Light Replacement LOWES	ELECT MAINT SUP	\$30.13
	Parks Fair Oaks - Outlet Cover LOWES	ELECT MAINT SUP	\$31.23
	TOTAL		\$255.93
<u>US BANK NATIONAL ASSOCIATION</u>	Parks Preschool Parking Repair LOWES	LAND IMP MAINT SUP	\$72.95
	Parks Preschool Parking Repair GRAINGER	LAND IMP MAINT SUP	\$441.26
	Parks Preschool Erosion Control CAPITOL SAND AND G	LAND IMP MAINT SUP	\$497.81
	Parks Preschool Erosion Control CAPITOL SAND AND G	LAND IMP MAINT SUP	\$829.68
	Parks Preschool Erosion Control CAPITOL SAND AND G	LAND IMP MAINT SUP	\$374.97
	Parks Preschool Erosion Control CAPITOL SAND AND G	LAND IMP MAINT SUP	\$663.74
	Parks Preschool Erosion Control - Gravel CAPITOL S	LAND IMP MAINT SUP	\$497.81
<u>US BANK NATIONAL ASSOCIATION</u>	Parks Preschool Erosion Control - 3/4 Crushed Rock	LAND IMP MAINT SUP	\$668.08
	Parks Ops - Field Paint LOWES	LAND IMP MAINT SUP	\$55.87
	Parks Miller Park Erosion Control - Waddle Stakes	LAND IMP MAINT SUP	\$17.13
	Parks Fair Oaks - Softball Maintenance SITEONE LAN	LAND IMP MAINT SUP	\$83.98
	Parks Bannister Park - Parking Lot Repair LOWES	LAND IMP MAINT SUP	\$268.73
	Parks Bannister Park - Parking Lot Repair GRAINGER	LAND IMP MAINT SUP	-\$294.45
	Parks Bannister Park - Parking Lot Repair GRAINGER	LAND IMP MAINT SUP	-\$588.87
	Parks Bannister Park - Parking Lot Repair GRAINGER	LAND IMP MAINT SUP	\$2,239.91
	Parks McMillan Center - Faucet Replacement Return	PLUMBING MAINT SUP	-\$265.01
	Parks McMillan Center - Faucet Replacement FERGUSO	PLUMBING MAINT SUP	\$265.01
	Parks McMillan Center - Faucet Replacement FERGUSO	PLUMBING MAINT SUP	\$85.06
	Parks La Vista Fields - Faucet Replacement FERGUSO	PLUMBING MAINT SUP	\$99.46
	TOTAL		\$6,013.12
<u>US BANK NATIONAL ASSOCIATION</u>	ADMIN Preschool Internet COMCAST CALIFORNIA	TELEPHONE SVC	\$207.63
	ADMIN Parks Office Internet COMCAST CALIFORNIA	TELEPHONE SVC	\$207.63
	TOTAL		\$415.26
<u>US BANK NATIONAL ASSOCIATION</u>	Parks Trailer Battery O'REILLY	AUTO MAINT SUP	\$101.46
	Parks Trailer Battery BATTERIES PLUS #0310	AUTO MAINT SUP	\$129.72
	Parks Trailer Battery BATTERIES PLUS #0310	AUTO MAINT SUP	\$257.83
	Parks Trailer Battery - Return BATTERIES PLUS #031	AUTO MAINT SUP	-\$129.72
	Parks Fleet Winch HARBOR FREIGHT TOOLS 540	AUTO MAINT SUP	\$546.89

	Parks Fleet 1013 - Oil Change O'REILLY	AUTO MAINT SUP	\$24.94
	TOTAL		
<u>US BANK NATIONAL ASSOCIATION</u>	Parks Tools - Nail Gun/Nails/Gloves - Old Library	EXPEND TOOLS	\$82.86
	Parks Tools - Concrete Bit THE HOME DEPOT #0650	EXPEND TOOLS	\$27.23
	Parks Tools - Concrete Bit LOWES	EXPEND TOOLS	\$14.52
	Parks Park Aide Flashlights LOWES	EXPEND TOOLS	\$107.66
	Parks Ops - Litter Cleanup Tools LOWES	EXPEND TOOLS	\$42.63
	Parks Ops - Litter Cleanup Tools HARBOR FREIGHT TO	EXPEND TOOLS	\$66.62
	Parks Chainsaw Replacement Parts CITRUS HEIGHTS MO	EXPEND TOOLS	\$321.99
	TOTAL		
			\$663.51
<u>US BANK NATIONAL ASSOCIATION</u>	ADMIN Cell Phones and Old Library Internet VERIZON	CELLPHONE/PAGER	\$788.60
	TOTAL		
<u>US BANK NATIONAL ASSOCIATION</u>	Parks Parking Lot Stripper - Propane ARCO#82530OHRI	FUEL/LUBRICANTS	\$24.14
	TOTAL		
<u>US BANK NATIONAL ASSOCIATION</u>	Parks Chain Saw Repair Parts MILLER'S ACE HARDWARE	OTHER EQ MAINT SUP	\$8.18
	TOTAL		
<u>US BANK NATIONAL ASSOCIATION</u>	Parks Work Boots - SV SPORTSMANS WAREHOUSE 233	CLOTH/PERSONAL SUP	\$250.00
	Parks OPS - PPE Helmets GRAINGER	CLOTH/PERSONAL SUP	\$631.30
	TOTAL		
	\$881.30		
<u>US BANK NATIONAL ASSOCIATION</u>	Parks Ops - Nitrile Gloves + Tools HARBOR FREIGHT	CUSTODIAL SUP	\$131.13
	Parks La Vista Fields - Cleaning Supplies LOWES	CUSTODIAL SUP	\$56.78
	TOTAL		
			\$187.91
<u>US BANK NATIONAL ASSOCIATION</u>	RECREATION9646.12 Cooking project supplies TARGET	FOOD/CATERING SUP	\$26.93
	TOTAL		
			\$26.93
<u>US BANK NATIONAL ASSOCIATION</u>	Parks Facility First Aid Kits ULINE *SHIP SUPPLIE	MEDICAL SUP	\$211.71
	TOTAL		
			\$211.71
<u>US BANK NATIONAL ASSOCIATION</u>	Parks Preschool Lock Parts MILLER'S ACE HARDWARE	SECURITY SVC	\$20.46
	Parks Preschool Key Copies MINUTEKEY	SECURITY SVC	\$17.24
	TOTAL		
			\$37.70
<u>US BANK NATIONAL ASSOCIATION</u>	Admin Training Software - Feb TRAINUAL.COM	OTHER PROF SVC	\$161.50
	Admin HR Software - Feb BAMBOOHR HRIS	OTHER PROF SVC	\$419.02
	TOTAL		
			\$580.52
<u>US BANK NATIONAL ASSOCIATION</u>	RECREATION9646.13 Brightwheel Renewal - CFO BRIGHT	DATA PROCESSING SVC	\$600.00
	RECREATION9646.12 Brightwheel Renewal - Preschool	DATA PROCESSING SVC	\$600.00
	TOTAL		
			\$1,200.00

<u>US BANK NATIONAL ASSOCIATION</u>	ADMIN Computer Ram- Ace B&H PHOTO 800-606-6969	DATA PROCESSING SUP	\$25.53
	TOTAL		\$25.53
	RECREATION9646.738 supplies WAL-MART #4309	RECREATIONAL SUP	\$25.69
	RECREATION9646.738 supplies WAL-MART #4309	RECREATIONAL SUP	\$6.72
	RECREATION9646.738 supplies WAL-MART #4309	RECREATIONAL SUP	-\$2.48
	RECREATION9646.738 supplies CVS/PHARMACY #09814	RECREATIONAL SUP	\$11.58
	RECREATION9646.738 supplies AMAZON MKTP US*R20B23F	RECREATIONAL SUP	\$6.24
	RECREATION9646.738 supplies AMAZON MKTP US*R09UZ80	RECREATIONAL SUP	\$13.40
	RECREATION9646.738 supplies AMAZON MKTP US	RECREATIONAL SUP	-\$13.40
<u>US BANK NATIONAL ASSOCIATION</u>	RECREATION9646.726 supplies TARGET 00010983	RECREATIONAL SUP	-\$7.98
	RECREATION9646.726 supplies TARGET 00002675	RECREATIONAL SUP	\$7.98
	RECREATION9646.726 supplies MICHAELS STORES 2046	RECREATIONAL SUP	\$5.37
	RECREATION9646.726 supplies DOLLAR TREE	RECREATIONAL SUP	\$10.88
	RECREATION9646.726 supplies CVS/PHARMACY #09814	RECREATIONAL SUP	\$5.79
	RECREATION9646.135 President's Break Camp Supplies	RECREATIONAL SUP	\$35.54
	RECREATION9646.12 Valentine party supplies DOLLAR	RECREATIONAL SUP	\$36.90
	rec9646.75 Easter Egg - Stickers AMAZON MKTP US*R0	RECREATIONAL SUP	\$9.69
	rec9646.75 Easter Egg - Stickers AMAZON MKTP US*R0	RECREATIONAL SUP	\$34.40
<u>US BANK NATIONAL ASSOCIATION</u>	rec9646.75 Easter Egg - prizes and egg stuffers FU	RECREATIONAL SUP	\$406.25
	rec9646.75 Easter Egg - crayons AMAZON MKTP US*R05	RECREATIONAL SUP	\$72.18
	rec9646 Rec - Operational - Mouse Pad AMAZON MKTP	RECREATIONAL SUP	\$10.76
	TOTAL		\$675.51
<u>US BANK NATIONAL ASSOCIATION</u>	rec9646.726 Family Dance Facility Renta SQ *ORANGE	OTHER OP EXP SVC	\$155.00
	TOTAL		\$155.00
<u>US BANK NATIONAL ASSOCIATION</u>	*TOTAL US BANK*		\$15,203.50
<u>WAXIES ENTERPRISES INC</u>	Parks ops janitor supplies	CUSTODIAL SUP	\$466.23
	TOTAL		\$466.23
TOTAL EXPENSES			\$264,029.49

VENDOR	EXPENSE DESCRIPTION	ACCOUNT DESCRIPTION	AMOUNT
<u>BOBO CONSTRUCTION INC</u>	VPPR PGC - VPPR VMAR CCR: Pay App 20 February	STRUCTURES	\$587,298.06
	TOTAL		\$587,298.06
<u>INNOVATIVE CONSTRUCTION SERVICES IN</u>	VPPR proj mgmt services rendered Feb	STRUCTURES	\$13,358.75
	VMAR proj mgmt services rendered Feb	STRUCTURES	\$8,226.25
	CCR proj mgmt services rendered Feb	STRUCTURES	\$1,187.50
	TOTAL		\$22,772.50
<u>MID PACIFIC ENGINEERING INC</u>	VPPR Mileage to 1/31	STRUCTURES	\$43.70
	VPPR Construction Testing to 1/31	STRUCTURES	\$330.00
	TOTAL		\$373.70
<u>US BANK NATIONAL ASSOCIATION</u>	341C VPPR Electricity temp facility SACRAMENTO MUN	STRUCTURES	\$365.80
	TOTAL		\$365.80
TOTAL EXPENSES			\$610,810.06



PAYROLL REPORT
(PAYROLL CONSOLIDATION)
March 2024 FY 23-24 Period 9
Pay Periods PP202405 & PP202406

<u>DEPARTMENT</u>	GL--> Wage Type-->	1110 7221	1110 7201	1121 7237	1124 7204	1110 7213	1143 2146 2162	<u>TOTALS</u>
		Salaried	Hourly	Extra Help	Board	Ins. Allow	Allowances	
<u>ADMINISTRATION</u>		27,808	8,260	-	-	1,614	660	38,343
<u>RECREATION</u>		26,715	8,545	4,943	-	807	80	41,090
<u>MAINTENANCE</u>		7,535	25,031	6,893	-	807	40	40,306
<u>BOARD OF DIRECTORS</u>				300				300
SUB TOTAL		\$ 68,892	\$ 41,836	\$ 13,771	\$ 300	\$ 3,229	\$ 820	\$ 128,848

BENEFITS

<u>PERS (Health)</u>	<u>31,222</u>
- Current Employees #1230	27,165
- Retired #1280	4,058
-Prefunding CERBT/OPEB	
PERS #1210 (Retirement) Active Employees	9,610
Principal (Life & Vision) #1230	637
Capitol Assoc. (Dental) #1230	1,507
EDD (SUI) #1250	200
OASHDI #1220	2,516
CAPRI -Workers Comp.Acct 1240:	
BENEFITS TOTAL	<u>\$ 45,693</u>
GRAND TOTAL	\$ 174,541



PAYROLL ACTIVITY DETAIL REPORT

March 2024 FY 23-24 Period 9

Pay Periods PP202405 & PP202406

General Fund Business Area 341A

Dept	ID	Position	10111000 Regular Pay Hourly 7201	10111000 Regular Pay Salaried 7221	101121000 Extra Help Pay 7237	10112400 Committee Members 7204	10114300 Allowances 2146	10114300 Allowances 2162	10111000 Group Insurance Subsidy 7213	Grand Total
A & E	3004766	Arts & Entertainment Manager	-	6,834	-	-	-	40	-	6,874
A & E	3004286	Arts & Entertainment Associate	-	-	1,935	-	-	40	-	1,975
A & E Total			-	-	1,935	-	-	40	-	-
ADMIN	3001178	District Administrator	-	13,759	-	-	400	100	-	14,259
ADMIN	3000547	Administrative Services Manager	-	8,307	-	-	-	40	-	8,347
ADMIN	3004151	Accountant	-	5,742	-	-	-	40	807	6,589
ADMIN	3000644	Administrative Assistant II	4,204	-	-	-	-	40	807	5,052
ADMIN	3000410	Administrative Assistant II- Tech Support	4,056	-	-	-	-	40	-	4,096
ADMIN Total			8,260	27,808	-	-	-	260	1,614	38,343
BOD	3000103	Board Member	-	-	-	100	-	-	-	100
BOD	3000221	Board Member	-	-	-	-	-	-	-	-
BOD	3001138	Board Member	-	-	-	100	-	-	-	100
BOD	3002177	Board Member	-	-	-	-	-	-	-	-
BOD	3002791	Board Member	-	-	-	100	-	-	-	100
BOD Total			-	-	-	300	-	-	-	300
PARKS	3000548	Parks and Facilities Manager	-	7,535	-	-	-	-	-	7,535
PARKS	3000192	Parks Maintenance Worker	5,699	-	-	-	-	-	-	5,699
PARKS	3001238	Parks Supervisor	4,963	-	-	-	-	-	-	4,963
PARKS	3003204	Parks Maintenance Worker	4,465	-	-	-	-	40	-	4,505
PARKS	3002602	Parks Maintenance Worker	4,252	-	-	-	-	-	-	4,252
PARKS	3003205	Parks Maintenance Worker	4,252	-	-	-	-	-	807	5,059
PARKS	3004328	Park Aide	-	-	992	-	-	-	-	992
PARKS	3004216	Park Aide	-	-	1,024	-	-	-	-	1,024
PARKS	3004820	Park Aide - Reg PT	-	-	2,061	-	-	-	-	2,061
PARKS	3004841	Park Aide	1,400	-	1,400	-	-	-	-	1,400
PARKS	3004278	Park Aide	-	-	1,416	-	-	-	-	1,416
PARKS Total			23,631	7,535	6,893	-	-	40	807	38,906
REC	3000263	Recreation Manager	-	7,911	-	-	-	40	-	7,951
REC	3000271	Recreation Supervisor	-	7,433	-	-	-	-	-	7,433
REC	3004234	Recreation Supervisor	-	5,824	-	-	-	40	-	5,864
REC	3000740	Recreation Supervisor	-	5,547	-	-	-	-	807	6,354
REC	3001065	Preschool Teacher	4,548	-	-	-	-	-	-	4,548
REC	3002002	Preschool Assistant	-	-	2,542	-	-	-	-	2,542
REC	3004823	Recreation Coordinator	3,997	-	-	-	-	-	-	3,997
REC	3004328	Recreation Leader I	-	-	992	-	-	-	-	992
REC	3004014	Recreation Leader I	-	-	160	-	-	-	-	160
REC	3004932	Senior Recreation Leader - Reg PT	-	-	396	-	-	-	-	396
REC	3004749	Senior Recreation Leader	-	-	852	-	-	-	-	852
REC Total			8,545	26,715	4,943	-	-	80	807	39,682
Grand Total			41,836	68,892	13,771	300	400	420	3,229	128,848



PAYROLL REPORT
(OVERTIME / CTO / STRAIGHT TIME DETAIL)
March 2024 - Period 9

General Fund
Business Area 341A

TOTAL OVERTIME PAID FOR February 16th 2024 THRU March 15th 2024: **\$0.00**



PAYROLL REPORT
(OVERTIME / CTO / STRAIGHT TIME DETAIL)
March 2024 - Period 9

General Fund
Business Area 341A

March 2024 - Overtime Straight Time - PAID

TOTAL STRAIGHT TIME PAID FOR February 16th 2024 THRU March 15th 2024: \$0.00



PAYROLL REPORT
(OVERTIME / CTO / STRAIGHT TIME DETAIL)
March 2024 - Period 9

General Fund
Business Area 341A

March 2024 - Overtime Breakdown - CTO

<u>Steven Banks</u>	\$25.31				
Saturday	3/30/2024	6AM-1PM	7.00	CTO	\$265.76
<u>Ian Roberts</u>	\$24.14				
Saturday	3/30/2024	12PM-1:30PM	1.50	CTO	\$54.32
<u>Rick Zurlo</u>	\$26.58				
Saturday	3/30/2024	6AM-1PM	7.00	CTO	\$279.09

\$599.16

(INCLUDED WITHIN LEAVE LIABILITY BALANCES FOR THE MONTH)



LEAVE LIABILITY - March 2024

Vacation

Name	Hourly Rate	Beginning Balance	Hours Accrued	Hours Used	Adjustments*	Ending Balance	Leave Liability Hours	Dollars
Aho, Michael	\$ 79.38	56.27	13.33	0	0.00	69.60	69.60	\$ 5,524.85
Banks, Steven	\$ 25.31	73.26	7.33	0	0.00	80.59	80.59	\$ 2,039.73
Bernardo, Sabrina	\$ 41.54	227.00	13.00	13	0.00	227.00	227.00	\$ 9,429.58
Cedeno Padilla, Kenya	\$ 18.92	14.68	3.67	6.5	0.00	11.85	11.85	\$ 224.20
Davison, Nicholas	\$ 45.64	215.91	13.33	16	0.00	213.24	213.24	\$ 9,732.27
Delos Reyes, Ace	\$ 25.22	29.32	7.33	32	0.00	4.65	4.65	\$ 117.27
Ellis, Matthew	\$ 25.31	39.88	7.59	0	0.00	47.47	47.47	\$ 1,201.47
Fawcett, Jamie	\$ 33.13	12.44	7.33	0	0.00	19.77	19.77	\$ 654.98
King, Davey	\$ 33.60	14.62	7.33	0	0.00	21.95	21.95	\$ 737.52
Koehn, Alisha	\$ 26.44	85.54	13.33	4	0.00	94.87	94.87	\$ 2,508.36
Larkin, Jennifer	\$ 47.93	194.64	13.33	8	0.00	199.97	199.97	\$ 9,584.56
Lucas, Paula	\$ 26.61	83.35	10.00	0	0.00	93.35	93.35	\$ 2,484.04
Martinez, Nathan	\$ 29.54	202.65	13.33	0	0.00	215.98	215.98	\$ 6,380.05
Raj, Shama	\$ 19.86	126.89	3.67	0	0.00	130.56	130.56	\$ 2,592.92
Reyna, Samuel	\$ 33.92	207.42	13.33	0	0.00	220.75	220.75	\$ 7,487.84
Roberts, Ian	\$ 24.14	162.33	10.00	0	0.00	172.33	172.33	\$ 4,160.05
Schuler, Jennifer	\$ 39.43	43.98	7.33	0	0.00	51.31	51.31	\$ 2,023.15
Simmons, Kevin	\$ 18.02	0.00	3.67	0	0.00	3.67	3.67	\$ 66.13
Stoakley, Mary	\$ 32.00	181.53	10.00	8	0.00	183.53	183.53	\$ 5,872.96
Ventura, Sean	\$ 43.47	206.58	13.33	8	0.00	211.91	211.91	\$ 9,211.73
Zamora, Jesse	\$ 16.69	18.35	3.67	6	0.00	16.02	16.02	\$ 133.69
Zurlo, Rick	\$ 26.58	151.88	7.59	16	0.00	143.47	143.47	\$ 3,813.43
TOTALS		2348.52	133.91	117.50	0.00	151.88	2433.84	\$ 85,980.79

*Please reference the FORPD Personnel Policy Manual revised 12-13-2023 & MOU approved 6-19-2021 for guidelines regarding Leave Liability.



LEAVE LIABILITY - March 2024

Sick

Name	Hourly Rate	Beginning Balance	Hours Accrued	Hours Used	Adjustments	Ending Balance	Leave Liability Hours	Dollars
Aho, Michael	\$ 79.38	466.00	8	3.00	0	471.00	320.00	\$ 12,700.80
Banks, Steven	\$ 25.31	85.50	8	0.00	0	93.50	93.50	\$ 1,183.24
Bernardo, Sabrina	\$ 41.54	558.96	8	5.00	0	561.96	320.00	\$ 6,646.40
Cedeno Padilla, Kenya	\$ 18.92	5.50	6	0.00	0	11.50	11.50	\$ 108.79
Davison, Nicholas	\$ 45.64	732.25	8	0.00	0	740.25	320.00	\$ 7,302.40
Delos Reyes, Ace	\$ 25.22	32.00	8	0.00	0	40.00	40.00	\$ 504.40
Ellis, Matthew	\$ 25.31	124.76	8	65.52	0	67.24	67.24	\$ 850.92
Fawcett, Jamie	\$ 33.13	8.00	8	8.00	0	8.00	8.00	\$ 132.52
King, Davey	\$ 33.60	104.00	8	0.00	0	112.00	112.00	\$ 1,881.60
Koehn, Alisha	\$ 26.44	52.05	8	0.00	0	60.05	60.05	\$ 793.86
Larkin, Jennifer	\$ 47.93	431.34	8	8.00	0	431.34	320.00	\$ 7,668.80
Lucas, Paula	\$ 26.61	316.75	8	0.00	0	324.75	324.75	\$ 4,320.80
Martinez, Nathan	\$ 29.54	380.00	8	16.00	0	372.00	320.00	\$ 4,726.40
Raj, Shama	\$ 19.86	158.00	6	19.00	0	145.00	145.00	\$ 1,439.85
Reyna, Samuel	\$ 33.92	9.80	8	17.00	0	0.80	0.80	\$ 13.57
Roberts, Ian	\$ 24.14	235.00	8	0.00	0	243.00	243.00	\$ 2,933.01
Schuler, Jennifer	\$ 39.43	48.00	8	0.00	0	56.00	56.00	\$ 1,104.04
Simmons, Kevin	\$ 18.02	0.00	6	0.00		6.00		
Stoakley, Mary	\$ 32.00	210.50	8	0.00	0	218.50	218.50	\$ 3,496.00
Ventura, Sean	\$ 43.47	338.00	8	8.00	0	338.00	320.00	\$ 6,955.20
Zamora, Jesse	\$ 16.69	24.00	6	0.00	0	30.00	30.00	\$ 250.35
Zurlo, Rick	\$ 26.58	95.00	8	0.00	0	103.00	103.00	\$ 1,368.87
		4415.41	168.00	150		4433.89	3433.34	\$ 66,381.82

Note: Regarding Sick-Leave hours, a Regular Full-Time employee may choose the Sick Leave payout option and utilize a maximum of 320 hours (as identified within the table above) which will be compensated at 50% of the employees current hourly rate of pay. However, upon retirement from the District, a Regular Full-Time employee December choose to utilize their accrued Sick Leave toward CalPERS service credit with no maximum limit. Employees whose Sick Leave hours exceed 320 hours are noted but the hours in excess of 320 not calculated as a liability in the table above. A Regular Part-Time employee will be compensated for a maximum of 160 hours of sick leave at 50% of the employees rate of pay upon termination.



LEAVE LIABILITY - March 2024

Compensated Time Off (CTO)

Name	Hourly Rate	Beginning Balance	Hours Accrued	Hours Used	Adjustments	Ending Balance	Leave Liability Hours	Dollars
Aho, Michael	\$ 79.38	0.00	0.00	0.00	0.00	0.00	0.00	\$ -
Banks, Steven	\$ 25.31	0.25	10.50	0.00	0.00	10.75	10.75	\$ 272.08
Bernardo, Sabrina	\$ 41.54	0.00	0.00	0.00	0.00	0.00	0.00	\$ -
Cedeno Padilla, Kenya	\$ 18.92	0.00	0.00	0.00	0.00	0.00	0.00	\$ -
Davison, Nicholas	\$ 45.64	0.00	0.00	0.00	0.00	0.00	0.00	\$ -
Delos Reyes, Ace	\$ 25.22	0.00	0.00	0.00	0.00	0.00	0.00	\$ -
Ellis, Matthew	\$ 25.31	0.00	0.00	0.00	17.04	17.04	17.04	\$ -
Fawcett, Jamie	\$ 33.13	0.00	0.00	0.00	0.00	0.00	0.00	\$ -
King, Davey	\$ 33.60	0.00	0.00	0.00	0.00	0.00	0.00	\$ -
Koehn, Alisha	\$ 26.44	3.77	0.00	0.00	0.00	3.77	3.77	\$ 99.68
Larkin, Jennifer	\$ 47.93	0.00	0.00	0.00	0.00	0.00	0.00	\$ -
Lucas, Paula	\$ 26.61	0.75	0.00	0.00	0.00	0.75	0.75	\$ -
Martinez, Nathan	\$ 29.54	31.25	0.00	0.00	0.00	31.25	31.25	\$ 923.13
Raj, Shama	\$ 19.86	0.00	0.00	0.00	0.00	0.00	0.00	\$ -
Reyna, Samuel	\$ 33.92	16.25	0.00	0.00	0.00	16.25	16.25	\$ 551.20
Roberts, Ian	\$ 24.14	0.50	2.25	0.00	0.00	2.75	2.75	\$ 66.39
Schuler, Jennifer	\$ 39.43	0.00	0.00	0.00	0.00	0.00	0.00	\$ -
Simmons, Kevin	\$ 18.02	0.00	0.00	0.00	0.00	0.00	0.00	\$ -
Stoakley, Mary	\$ 32.00	0.00	0.00	0.00	0.00	0.00	0.00	\$ -
Ventura, Sean	\$ 43.47	0.00	0.00	0.00	0.00	0.00	0.00	\$ -
Zamora, Jesse	\$ 16.69	0.00	0.00	0.00	0.00	0.00	0.00	\$ -
Zurlo, Rick	\$ 26.58	11.01	10.50	0.00	0.00	21.51	21.51	\$ 571.74
TOTALS		63.78	23	0.00	17.04	104.07	104.07	\$ 2,484.21

*Please reference the FORPD Personnel Policy Manual revised 12-13-2023 & MOU approved 6-19-2021 for guidelines regarding Leave Liability.



LEAVE LIABILITY - March 2024

Management Leave

Name	Hourly Rate	Beginning Balance	Hours Accrued	Hours Used	Adjustments	Ending Balance	Leave Liability Hours	Dollars
Aho, Michael	\$ 79.38	23.68	6.67	0	0	30.35	30.35	\$ 2,409.18
Banks, Steven	\$ 25.31	0	0.00	0	0	0.00	0.00	\$ -
Bernardo, Sabrina	\$ 41.54	57.16	5.34	3.00	0	59.50	59.50	\$ 2,471.63
Cedeno Padilla, Kenya	\$ 18.92	0	0.00	0	0	0.00	0.00	\$ -
Davison, Nicholas	\$ 45.64	52.16	5.34	10	0	47.50	47.50	\$ 2,167.90
Delos Reyes, Ace	\$ 25.22	0	0.00	0	0	0.00	0.00	\$ -
Ellis, Matthew	\$ 25.31	0.00	0.00	0	0	0.00	0.00	\$ -
Fawcett, Jamie	\$ 33.13	2.12	5.34	4	0	3.46	3.46	\$ 114.63
King, Davey	\$ 33.60	18.76	5.34	0	0	24.10	24.10	\$ 809.76
Koehn, Alisha	\$ 26.44	0.00	0.00	0	0	0.00	0.00	\$ -
Larkin, Jennifer	\$ 47.93	27.64	5.34	2.0	0	30.98	30.98	\$ 1,484.87
Lucas, Paula	\$ 26.61	0.00	0.00	0	0	0.00	0.00	\$ -
Martinez, Nathan	\$ 29.54	0	0.00	0	0	0.00	0.00	\$ -
Raj, Shama	\$ 19.86	0	0.00	0	0	0.00	0.00	\$ -
Reyna, Samuel	\$ 33.92	0	0.00	0	0	0.00	0.00	\$ -
Roberts, Ian	\$ 24.14	0	0.00	0	0	0.00	0.00	\$ -
Schuler, Jennifer	\$ 39.43	32.04	5.34	0	0	37.38	37.38	\$ 1,473.89
Simmons, Kevin	\$ 18.02	0.00	0.00	0	0	0.00	0.00	\$ -
Stoakley, Mary	\$ 32.00	18.06	5.34	6	0	17.40	17.40	\$ 556.80
Ventura, Sean	\$ 43.47	20.01	5.34	0	0	25.35	25.35	\$ 1,101.96
Zamora, Jesse	\$ 16.69	0	0.00	0	0	0.00	0.00	\$ -
Zurlo, Rick	\$ 26.58	0	0.00	0	0	0.00	0.00	\$ -
TOTALS		251.63	49.39	25.00		276.02	276.02	\$ 12,590.63

*Please reference the FORPD Personnel Policy Manual revised 12-13-2023 & MOU approved 6-19-2021 for guidelines regarding Leave Liability.



CONTINGENCY FUND RECONCILIATION 2023-2024

MARCH- PERIOD 9

General Fund
Business Area 341A

Beginning Balance on March 1, 2024: \$50,000

TRANSFERS FOR FY 23/24

Resolution #	Transfers To	Division	Purpose	Amount
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Ending Balance March 31, 2024 (period 9): \$50,000

Balance Sheet Item	Begining Balance	Period Debits	Period Credits	Ending Balance
Cash in Treasury	\$ 1,309,121.36	\$ 12,429.66	\$ (253,378.69)	\$ 1,068,172.33
Imprest Cash	\$ 1,000.00	\$ -	\$ -	\$ 1,000.00
Accrued Interest Receivable	\$ -	\$ -	\$ -	\$ -
Due from Other Funds Year End	\$ -	\$ -	\$ -	\$ -
Accounts Receivable Year End	\$ -	\$ -	\$ -	\$ -
Notes & Other Long Receivables	\$ -	\$ -	\$ -	\$ -
Land	\$ 499,633.00	\$ -	\$ -	\$ 499,633.00
Building Structures	\$ 4,335,832.95	\$ -	\$ -	\$ 4,335,832.95
Equipment	\$ 503,537.37	\$ -	\$ -	\$ 503,537.37
AUC	\$ -	\$ -	\$ -	\$ -
Total Assets	\$ 6,649,124.68	\$ 12,429.66	\$ (253,378.69)	\$ 6,408,175.65
Warrants Payable	\$ (67,069.59)	\$ 106,392.19	\$ (67,139.01)	\$ (27,816.41)
Deposit Stale Warrants	\$ (9,464.81)	\$ -	\$ (1,650.00)	\$ (11,114.81)
Claims Payable	\$ (13,811.21)	\$ 216,851.51	\$ (276,696.99)	\$ (73,656.69)
Due to Others	\$ -	\$ -	\$ -	\$ -
PAYROLL_TAXES_N_BENEFITS	\$ 2,225.10	\$ 274,525.04	\$ (275,363.20)	\$ 1,386.94
Deposits from Others	\$ (68,597.98)	\$ -	\$ -	\$ (68,597.98)
Deferred Credits	\$ -	\$ -	\$ -	\$ -
Suspense Clearing	\$ -	\$ -	\$ -	\$ -
Payroll Clearing	\$ -	\$ 181,019.18	\$ (181,019.18)	\$ -
Borrowing Limit	\$ 911,178.70	\$ -	\$ -	\$ 911,178.70
Borrowing Limit Offset	\$ (911,178.70)	\$ -	\$ -	\$ (911,178.70)
Total Liabilities	\$ (156,718.49)	\$ 778,787.92	\$ (801,868.38)	\$ (179,798.95)
Total Deferred Inflows	\$ (164.99)	\$ -	\$ -	\$ (164.99)
Reserve Fund Balance	\$ (515,991.40)	\$ -	\$ -	\$ (515,991.40)
Fund Balance	\$ (1,060,758.73)	\$ -	\$ -	\$ (1,060,758.73)
Investments in GFA	\$ (5,339,003.32)	\$ -	\$ -	\$ (5,339,003.32)
Revenues and Other Financing Sources	\$ (1,575,460.32)	\$ -	\$ -	\$ (1,575,460.32)
Expenditures/Expenses	\$ 2,148,972.57	\$ 265,578.50	\$ (1,549.01)	\$ 2,413,002.06
Estimated Revenue	\$ 3,162,068.00	\$ -	\$ -	\$ 3,162,068.00
Appropriations	\$ (3,312,068.00)	\$ -	\$ -	\$ (3,312,068.00)
Start of System Clearing	\$ -	\$ -	\$ -	\$ -
Total Equity and Other Accounts	\$ (6,492,241.20)	\$ 265,578.50	\$ (1,549.01)	\$ (6,228,211.71)
Total Liabilities & Equity + Other Accts	\$ (6,649,124.68)	\$ 1,044,366.42	\$ (803,417.39)	\$ (6,408,175.65)



FUND BALANCE REPORT
341C MEASURE J GO BONDS CAPITAL PROJECTS FUND

March 2024
Period 9 (75% FY)

Balance Sheet Item	Beginning Balance	Period Debits	Period Credits	Ending Balance
Cash in Treasury	\$3,129,377.66	\$0.00	-\$486,284.93	\$2,643,092.73
Cash with Fiscal Age	\$4,616,497.34	\$0.00	\$0.00	\$4,616,497.34
Accrued Interest Receivable	\$6,655.15	\$0.00	\$0.00	\$6,655.15
Total Assets	\$7,752,530.15	\$0.00	-\$486,284.93	\$7,266,245.22
Warrants Payable	-\$462,772.93	\$485,919.13	-\$23,146.20	\$0.00
Claims Payable	\$0.00	\$23,146.20	-\$610,444.26	-\$587,298.06
Total Liabilities	-\$462,772.93	\$509,065.33	-\$633,590.46	-\$587,298.06
Fund Balance	-\$3,441,300.36	\$0.00	\$0.00	-\$3,441,300.36
Revenues and Other Financing Sources	-\$15,945.00	\$0.00	\$0.00	-\$15,945.00
Expenditures/Expenses	-\$12,232,511.86	\$610,810.06	\$0.00	-\$11,621,701.80
Estimated Revenue	\$23,415,500.00	\$0.00	\$0.00	\$23,415,500.00
Appropriations	-\$15,015,500.00	\$0.00	\$0.00	-\$15,015,500.00
Total Equity and Other Accounts	-\$7,289,757.22	\$610,810.06	\$0.00	-\$6,678,947.16
Total Liabilities & Equity + Other Accts	-\$7,752,530.15	\$1,119,875.39	-\$633,590.46	\$7,266,245.22

Balance Sheet Item	Begining Balance	Period Debits	Period Credits	Ending Balance
Cash in Treasury	\$47,432.10	\$0.00	\$0.00	\$47,432.10
Accrued Interest Receivable	\$0.00	\$0.00	\$0.00	\$0.00
Due from Other Funds Year End	\$0.00	\$0.00	\$0.00	\$0.00
Total Assets	\$47,432.10	\$0.00	\$0.00	\$47,432.10
Warrants Payable	\$0.00	\$0.00	\$0.00	\$0.00
Claims Payable	\$0.00	\$0.00	\$0.00	\$0.00
Due to Others	\$0.00	\$0.00	\$0.00	\$0.00
Borrowing Limit	\$24,012.07	\$0.00	\$0.00	\$24,012.07
Borrowing Limit Offset	-\$24,012.07	\$0.00	\$0.00	-\$24,012.07
Total Liabilities	\$0.00	\$0.00	\$0.00	\$0.00
Reserve Fund Balance	\$0.00	\$0.00	\$0.00	\$0.00
Fund Balance	-\$40,149.79	\$0.00	\$0.00	-\$40,149.79
Revenues and Other Financing Sources	-\$31,802.22	\$0.00	\$0.00	-\$31,802.22
Expenditures/Expenses	\$24,519.91	\$0.00	\$0.00	\$24,519.91
Estimated Revenue	\$56,499.00	\$0.00	\$0.00	\$56,499.00
Appropriations	-\$56,499.00	\$0.00	\$0.00	-\$56,499.00
Total Equity and Other Accounts	-\$47,432.10	\$0.00	\$0.00	-\$47,432.10
Total Liabilities & Equity + Other Accts	-\$47,432.10	\$0.00	\$0.00	-\$47,432.10

Balance Sheet Item	Begining Balance	Period Debits	Period Credits	Ending Balance
Cash in Treasury	\$434,563.54	\$0.00	\$0.00	\$434,563.54
Accrued Interest Receivable	\$0.00	\$0.00	\$0.00	\$0.00
Due from Other Funds Year End	\$0.00	\$0.00	\$0.00	\$0.00
Total Assets	\$434,563.54	\$0.00	\$0.00	\$434,563.54
Sales Tax Due	\$0.00	\$0.00	\$0.00	\$0.00
Warrants Payable	\$0.00	\$0.00	\$0.00	\$0.00
Deposit Stale Warrants	-\$190.94	\$0.00	\$0.00	-\$190.94
Claims Payable	\$0.00	\$0.00	\$0.00	\$0.00
Due to Others	\$0.00	\$0.00	\$0.00	\$0.00
Borrowing Limit	\$248,795.00	\$0.00	\$0.00	\$248,795.00
Borrowing Limit Offset	-\$248,795.00	\$0.00	\$0.00	-\$248,795.00
Total Liabilities	-\$190.94	\$0.00	\$0.00	-\$190.94
Fund Balance	-\$288,844.68	\$0.00	\$0.00	-\$288,844.68
Revenues and Other Financing Sources	-\$348,428.97	\$0.00	\$0.00	-\$348,428.97
Expenditures/Expenses	\$202,901.05	\$0.00	\$0.00	\$202,901.05
Estimated Revenue	\$603,650.00	\$0.00	\$0.00	\$603,650.00
Appropriations	-\$603,650.00	\$0.00	\$0.00	-\$603,650.00
Total Equity and Other Accounts	-\$434,372.60	\$0.00	\$0.00	-\$434,372.60
Total Liabilities & Equity + Other Accts	-\$434,563.54	\$0.00	\$0.00	-\$434,563.54

Balance Sheet Item	Begining Balance	Period Debits	Period Credits	Ending Balance
Cash in Treasury	\$111,232.27	\$0.00	\$0.00	\$111,232.27
Accrued Interest Receivable	\$0.00	\$0.00	\$0.00	\$0.00
Due from Other Funds Year End	\$0.00	\$0.00	\$0.00	\$0.00
Total Assets	\$111,232.27	\$0.00	\$0.00	\$111,232.27
Fund Balance	-\$83,752.33	\$0.00	\$0.00	-\$83,752.33
Revenues and Other Financing Sources	-\$53,433.66	\$0.00	\$0.00	-\$53,433.66
Fund Balance	\$25,953.72	\$0.00	\$0.00	\$25,953.72
Estimated Revenue	\$83,080.00	\$0.00	\$0.00	\$83,080.00
Appropriations	-\$83,080.00	\$0.00	\$0.00	-\$83,080.00
Total Equity and Other Accounts	-\$111,232.27	\$0.00	\$0.00	-\$111,232.27
Total Liabilities & Equity + Other Accts	-\$111,232.27	\$0.00	\$0.00	-\$111,232.27



FUND BALANCE REPORT
341I FAIR OAKS PARK IMPACT FEES

March 2024
Period 9 (75% FY)

Balance Sheet Item	Begining Balance	Period Debits	Period Credits	Ending Balance
Cash in Treasury	\$1,649,432.02	\$17,022.71	\$0.00	\$1,666,454.73
Accrued Interest Receivable	\$0.00	\$0.00	\$0.00	\$0.00
Notes & Other Long Receivables	\$17,694.90	\$0.00	\$0.00	\$17,694.90
Total Assets	\$1,667,126.92	\$17,022.71	\$0.00	\$1,684,149.63
Deposits from Others	-\$1,649,432.02	\$0.00	-\$17,022.71	-\$1,666,454.73
Total Liabilities	-\$1,649,432.02	\$0.00	-\$17,022.71	-\$1,666,454.73
Total Deferred Inflows	-\$17,694.90	\$0.00	\$0.00	-\$17,694.90
Total Liabilities & Equity + Other Accts	-\$1,667,126.92	\$0.00	-\$17,022.71	-\$1,684,149.63

Balance Sheet Item	Begining Balance	Period Debits	Period Credits	Ending Balance
Cash in Treasury	\$369,130.53	\$10.00	\$0.00	\$369,130.53
Accrued Interest Receivable	\$0.00	\$0.00	\$0.00	\$0.00
Due from Other Funds Year End	\$0.00	\$0.00	\$0.00	\$0.00
Total Assets	\$369,130.53	\$0.00	\$0.00	\$369,130.53
Deposit Stale Warrants	-\$40.00	\$0.00	\$0.00	-\$40.00
Claims Payable	\$0.00	\$0.00	\$0.00	\$0.00
Deposits from Others	\$369,090.50	\$0.00	-\$10.00	-\$369,090.53
Deferred Credits	\$0.00	\$0.00	\$0.00	\$0.00
Total Liabilities	-\$369,130.53	\$0.00	-\$10.00	-\$369,130.53
Total Liabilities & Equity + Other Accts	-\$369,130.53	\$0.00	-\$10.00	-\$369,130.53



FAIR OAKS PARKS AND RECREATION DISTRICT
REFUND REPORT

PERIOD 9 - FY 24
MARCH 2024

<u>DATE</u>	<u>PROGRAM</u>	<u>REASON</u>	<u>AMOUNT</u>
3/19/2024	9429.1 - Deposits	Indoor Rental Deposit Refund	\$ 200.00
3/21/2024	9429.32 - Miller BBQ	CANCELLED PURCHASE	\$ 150.00
3/7/2024	9646.135 - CFO President's Break Camp	CANCELLED PURCHASE	\$ 125.00
3/5/2024	9646.14-38920 - Youth Sports - Skyhawks Sports	CANCELLED PURCHASE	\$ 102.00
3/5/2024	9646.14-38920 - Youth Sports - Skyhawks Sports	CANCELLED PURCHASE	\$ 102.00
3/20/2024	9429.32 - Miller BBQ	CANCELLED PURCHASE	\$ 90.00
3/26/2024	9429.32 - Miller BBQ	CANCELLED PURCHASE	\$ 90.00
3/28/2024	9646.13 - CFO Summer Camp	5% Resident Discount - Camp Fair Oaks	\$ 83.20
3/13/2024	9646.14-62436 - Youth Sports - Vision Soccer Training	CANCELLED PURCHASE	\$ 78.00
3/29/2024	9646.14-62436 - Youth Sports - Vision Soccer Training	CANCELLED PURCHASE	\$ 78.00
3/11/2024	8510.1-73199 - A&E - Julia Wedge Schoenwandt	CANCELLED PURCHASE	\$ 71.00
3/15/2024	9429.1 - Deposits	BBQ deposit refund	\$ 50.00
3/20/2024	8410 - Deposits	[CANCELLED PURCHASE: Outdoor Facilit	\$ 50.00
3/21/2024	8410 - Deposits	[CANCELLED PURCHASE: Outdoor Facilit	\$ 50.00
3/25/2024	9429.1 - Deposits	Refund of Rental Deposit 9429.1	\$ 50.00
3/25/2024	9429.1 - Deposits	Refund of Rental Deposit 9429.1	\$ 50.00
3/25/2024	9429.1 - Deposits	Refund of Rental Deposit 9429.1	\$ 50.00
3/25/2024	9429.1 - Deposits	Refund of Rental Deposit 9429.1	\$ 50.00
3/25/2024	9429.1 - Deposits	Refund of Rental Deposit 9429.1	\$ 50.00
3/25/2024	9429.1 - Deposits	Refund of Rental Deposit 9429.1	\$ 50.00
3/25/2024	9429.1 - Deposits	Refund of Rental Deposit 9429.1	\$ 50.00
3/25/2024	9429.1 - Deposits	Refund of Rental Deposit 9429.1	\$ 50.00
3/25/2024	9429.1 - Deposits	Refund of Rental Deposit 9429.1	\$ 50.00
3/25/2024	9429.1 - Deposits	Refund of Rental Deposit 9429.1	\$ 50.00
3/26/2024	8410 - Deposits	CANCELLED PURCHASE	\$ 50.00
3/6/2024	9646.1-29815 - Youth Classes & Programs - Greg Landin	CANCELLED PURCHASE	\$ 38.00
3/6/2024	9646.1-29815 - Youth Classes & Programs - Greg Landin	CANCELLED PURCHASE	\$ 38.00
3/6/2024	9646.1-29815 - Youth Classes & Programs - Greg Landin	CANCELLED PURCHASE	\$ 38.00
3/4/2024	9646.5-58557 - Senior Classes & Programs - Laura Gamez	CANCELLED PURCHASE	\$ 34.20
3/19/2024	9646.5-58557 - Senior Classes & Programs - Laura Gamez	CANCELLED PURCHASE	\$ 31.35
3/29/2024	9646.5-58557 - Senior Classes & Programs - Laura Gamez	CANCELLED PURCHASE	\$ 31.35
3/21/2024	9429.35 - Optional Items (Outdoor)	CANCELLED PURCHASE	\$ 10.00
3/26/2024	9429.35 - Optional Items (Outdoor)	CANCELLED PURCHASE	\$ 10.00
3/26/2024	9429.35 - Optional Items (Outdoor)	CANCELLED PURCHASE	\$ 10.00
TOTAL REFUNDS			\$ 2,010.10

FINANCIAL REPORT FY 2024
341A FORPD GENERAL FUND

March 2024
Period 9 (75% of FY)

Commitment Item	Budget	Actual-GL	Available	Consumed	Comments
10111000 REGULAR EMPLOYEES	\$1,298,920.00	\$998,139.74	\$300,780.26	77%	
10112100 EXTRA HELP	\$257,057.00	\$151,960.76	\$105,096.24	59%	
10112400 COMMITTEE MEMBERS	\$7,000.00	\$4,300.00	\$2,700.00	61%	
10113100 STRAIGHT TIME OT	\$500.00	\$0.00	\$500.00	0%	
10113200 TIME/ONE HALF OT	\$1,000.00	\$0.00	\$1,000.00	0%	
10114300 ALLOWANCES	\$44,448.00	\$7,380.00	\$37,068.00	17%	
10115200 TERMINAL PAY	\$0.00	\$3,633.65	-\$3,633.65	n/a	
10121000 RETIREMENT - EMPLOYER COST	\$199,186.00	\$142,224.73	\$56,961.27	71%	
10122000 OASDHI - EMPLOYER COST	\$26,143.00	\$25,578.39	\$564.61	98%	
					Retiree medical will be xfer'd out
10123000 GROUP INS - EMPLOYER COST	\$341,755.00	\$274,025.25	\$67,729.75	80%	
10124000 WORKER'S COMPENSATION	\$46,600.00	\$21,257.00	\$25,343.00	46%	
10125000 SUI - ALLOCATED COST PACKAGE	\$5,012.00	\$3,910.72	\$1,101.28	78%	
					Incorrect allocation to Group Ins.
10128000 HEALTH CARE - RETIREES	\$46,250.00	\$6,098.20	\$40,151.80	13%	
10 - SALARIES AND EMPLOYEE BENEFITS	\$2,273,871.00	\$1,649,136.94	\$624,734.06	73%	
20200500 ADVERTISING	\$6,480.00	\$962.17	\$5,517.83	15%	
20201500 BLUE PRINT SVC	\$50.00	\$0.00	\$50.00	0%	
20202400 PERIODICAL/SUBSCRIPTIONS	\$250.00	\$0.00	\$250.00	0%	
20202900 BUS/CONFERENCE EXP	\$12,500.00	\$4,508.22	\$7,991.78	36%	
20203500 ED/TRAINING SVC	\$7,145.00	\$2,440.65	\$4,704.35	34%	
20203600 ED/TRAINING SUP	\$900.00	\$130.34	\$769.66	14%	
20203800 EMPLOYEE RECOGNITION	\$3,025.00	\$1,595.94	\$1,429.06	53%	
20203900 EMPLOYEE TRANSPORTATION	\$2,400.00	\$5.25	\$2,394.75	0%	
20205100 INS LIABILITY	\$132,317.00	\$142,473.50	-\$10,156.50	108%	
20206100 MEMBERSHIP DUES	\$14,995.00	\$14,297.50	\$697.50	95%	
20207600 OFFICE SUPPLIES	\$5,480.00	\$4,994.21	\$485.79	91%	
20208100 POSTAL SVC	\$9,950.00	\$471.16	\$9,478.84	5%	
20208500 PRINTING SVC	\$29,025.00	\$18,059.63	\$10,965.37	62%	
20210300 AGRI/HORT SVC	\$372,253.00	\$263,396.62	\$108,856.38	71%	

FINANCIAL REPORT FY 2024
341A FORPD GENERAL FUND
*March 2024
Period 9 (75% of FY)*

20210400 AGRI/HORT SUP	\$20,400.00	\$6,743.60	\$13,656.40	33%
20211100 BLDG MAINT SVC	\$5,000.00	\$0.00	\$5,000.00	0%
20211200 BLDG MAINT SUP/MAT	\$7,000.00	\$6,382.03	\$617.97	91%
20213100 ELECT MAINT SVC	\$1,500.00	\$0.00	\$1,500.00	0%
20213200 ELECT MAINT SUP	\$4,000.00	\$3,332.97	\$667.03	83%
20214100 LAND IMP MAINT SVC	\$1,000.00	\$0.00	\$1,000.00	0%
20214200 LAND IMP MAINT SUP	\$17,100.00	\$18,226.86	-\$1,126.86	107%
20215100 MECH SYS MAINT SVC	\$6,400.00	\$2,315.00	\$4,085.00	36%
20215200 MECH SYS MAINT SUP	\$200.00	\$8.45	\$191.55	4%
20216200 PAINTING SUP	\$2,725.00	\$4,678.30	-\$1,953.30	172%
20216700 PLUMBING MAINT SVC	\$7,000.00	\$8,555.50	-\$1,555.50	122%
20216800 PLUMBING MAINT SUP	\$15,000.00	\$9,161.06	\$5,838.94	61%
20218500 PERMIT CHARGES	\$2,600.00	\$958.84	\$1,641.16	37%
20219100 ELECTRICITY	\$57,000.00	\$36,104.55	\$20,895.45	63%
20219200 NAT GAS/LPG/FUEL OIL	\$8,835.00	\$4,928.15	\$3,906.85	56%
20219300 REF COLL/DISP SVC	\$16,025.00	\$8,208.14	\$7,816.86	51%
20219500 SEWAGE DISP SVC	\$22,566.00	\$16,225.38	\$6,340.62	72%
20219700 TELEPHONE SVC	\$20,969.00	\$12,553.50	\$8,415.50	60%
20219800 WATER	\$107,044.00	\$69,456.97	\$37,587.03	65%
20220500 AUTO MAINT SVC	\$10,000.00	\$12,287.05	-\$2,287.05	123%
20220600 AUTO MAINT SUP	\$4,000.00	\$2,710.08	\$1,289.92	68%
20222600 EXPEND TOOLS	\$5,500.00	\$4,963.06	\$536.94	90%
20222700 CELLPHONE/PAGER	\$11,255.00	\$6,765.47	\$4,489.53	60%
20223600 FUEL/LUBRICANTS	\$20,200.00	\$16,950.80	\$1,929.72	84%
20226100 OFFICE EQ MAINT SVC	\$3,500.00	\$0.00	\$3,500.00	0%
20227500 RENT/LEASE EQ	\$23,800.00	\$11,685.80	\$12,114.20	49%
20229100 OTHER EQ MAINT SVC	\$1,000.00	\$187.75	\$812.25	19%
20229200 OTHER EQ MAINT SUP	\$2,000.00	\$799.31	\$1,200.69	40%
20231400 CLOTH/PERSONAL SUP	\$22,725.00	\$9,943.90	\$12,781.10	44%
20232100 CUSTODIAL SVC	\$8,500.00	\$3,610.98	\$4,889.02	42%
20232200 CUSTODIAL SUP	\$22,000.00	\$19,672.16	\$2,327.84	89%
20233200 FOOD/CATERING SUP	\$18,665.00	\$1,016.75	\$17,648.25	5%
20244400 MEDICAL SUP	\$9,100.00	\$852.89	\$8,247.11	9%
20250200 ACTUARIAL SVC	\$8,000.00	\$1,600.00	\$6,400.00	20%
20250500 ACCOUNTING SVC	\$9,032.00	\$5,611.66	\$3,420.34	62%

FINANCIAL REPORT FY 2024
341A FORPD GENERAL FUND
*March 2024
Period 9 (75% of FY)*

20250700 ASSESSMENT COLL SVC	\$23,859.00	\$11,788.45	\$12,070.55	49%
20252500 ENGINEERING SVC	\$16,000.00	\$9,130.51	\$6,869.49	57%
20253100 LEGAL SVC	\$6,000.00	\$1,881.25	\$4,118.75	31%
20254300 PARKS/RECREATION SVC	\$14,700.00	\$8,153.34	\$6,546.66	55%
20257100 SECURITY SVC	\$62,680.00	\$22,978.06	\$39,701.94	37%
20257200 SHUTTLE BUS	\$4,000.00	\$2,153.84	\$1,846.16	54%
20259100 OTHER PROF SVC	\$13,040.00	\$4,148.38	\$8,891.62	32%
20281100 DATA PROCESSING SVC	\$48,300.00	\$22,769.64	\$25,530.36	47%
20281200 DATA PROCESSING SUP	\$2,700.00	\$3,110.22	-\$410.22	115%
20281900 REGISTRATION SVC	\$32,000.00	\$6,853.11	\$25,146.89	21%
20285100 RECREATIONAL SVC	\$79,461.00	\$39,230.88	\$40,230.12	49%
20285200 RECREATIONAL SUP	\$44,025.00	\$12,006.53	\$32,018.47	27%
20289800 OTHER OP EXP SUP	\$20,000.00	\$16,633.49	\$3,366.51	83%
20289900 OTHER OP EXP SVC	\$16,050.00	\$573.93	\$15,476.07	4%
				FY 23 expenses included
20291300 AUD/CONTROLLER SVC	\$16,000.00	\$19,590.00	-\$3,590.00	122%
20 - SERVICES AND SUPPLIES	\$1,497,226.00	\$940,833.78	\$555,072.74	63%
30345000 TAX/LIC/ASSSESS	\$4,200.00	\$3,204.54	\$995.46	76%
30 - OTHER CHARGES	\$4,200.00	\$3,204.54	\$995.46	76%
42420200 STRUCTURES	\$230,000.00	\$73,201.48	\$156,798.52	32%
42 - BUILDINGS	\$230,000.00	\$73,201.48	\$156,798.52	32%
79790100 CONTINGENCY APPR	\$50,000.00	\$0.00	\$50,000.00	0%
79 - Appropriation for Contingencies	\$50,000.00	\$0.00	\$50,000.00	0%
EXPENDITURE ACCOUNTS	\$4,055,297.00	\$2,666,376.74	\$1,387,600.78	66%
59599100 OPERATING TRANS IN	-\$743,229.00	-\$253,374.68	-\$489,854.32	34%
59 - INTERFUND REIMBRSMNT	-\$743,229.00	-\$253,374.68	-\$489,854.32	34%
REIMBURSEMENT ACCOUNTS	-\$743,229.00	-\$253,374.68	-\$489,854.32	34%
91910100 PROP TAX CUR SEC	-\$2,077,163.00	-\$1,137,235.13	-\$939,927.87	55%
91910200 PROP TAX CUR UNSEC	-\$77,097.00	-\$74,407.25	-\$2,689.75	97%
91910300 PROP TAX CUR SUP	-\$56,777.00	-\$18,169.92	-\$38,607.08	32%
91910400 PROPERTY TAX SECURED DELINQUENT	-\$14,782.00	-\$16,620.77	\$1,838.77	112%
91910500 PROPERTY TAX SUPPLEMENTAL DELINQUENT	-\$2,417.00	-\$5,519.62	\$3,102.62	228%
91910600 PROPERTY TAX UNITARY	-\$26,938.00	-\$15,282.65	-\$11,655.35	57%
91913000 PROP TAX PR UNSEC	-\$1,250.00	-\$478.27	-\$771.73	38%

FINANCIAL REPORT FY 2024
341A FORPD GENERAL FUND
*March 2024
 Period 9 (75% of FY)*

91914000 PROP TAX PENALTIES	-\$350.00	-\$181.97	-\$168.03	52%	
91 - TAXES	-\$2,256,774.00	-\$1,267,895.58	-\$988,878.42	56%	
94941000 INTEREST INCOME	-\$10,000.00	-\$9,648.00	-\$352.00	96%	
94942900 BLDG RENTAL OTHER	-\$77,600.00	-\$35,999.30	-\$41,600.70	46%	Dec-March not posted
94943900 GROUND LEASES-OTHER	-\$93,324.00	-\$40,760.40	-\$52,563.60	44%	Dec-March not posted
94 - REVENUE FROM USE OF MONEY AND PROP	-\$180,924.00	-\$86,407.70	-\$94,516.30	48%	
95952200 HOME PROP TAX REL	-\$16,500.00	-\$7,530.65	-\$8,969.35	46%	
95952900 IN LIEU TAXES-OTHER	-\$30,000.00	\$0.00	-\$30,000.00	0%	
95 - INTERGOVERNMENTAL REVENUES	-\$46,500.00	-\$7,530.65	-\$38,969.35	\$38,969.35	
96964600 RECREATION SVC CHGS	-\$467,870.00	-\$150,324.83	-\$317,545.17	32%	Dec-March not posted
96 - CHARGES FOR SERVICES	-\$467,870.00	-\$150,324.83	-\$317,545.17	32%	
97979000 MISC OTHER	-\$210,000.00	-\$63,301.56	-\$146,698.44	30%	Dec-March not posted
97 - MISCELLANEOUS REVENUE	-\$210,000.00	-\$63,301.56	-\$146,698.44	30%	
REVENUE ACCOUNTS	-\$3,162,068.00	-\$1,575,460.32	-\$1,586,607.68	50%	
Total	\$150,000.00	\$837,541.74	-\$688,861.22		

FINANCIAL REPORT FY 2024
341C CAPITAL PROJECTS

 March 2024
 Period 9 (75% of FY)

Commitment Item	Budget	Actual-GL	Available	Consumed	Comments
20203100 BUSINESS TRAVEL	\$0.00	-\$47.36	\$47.36	-	
20253100 LEGAL SVC	\$10,000.00	\$0.00	\$10,000.00	0%	
20259100 OTHER PROF SVC	\$1,000.00	\$0.00	\$1,000.00	0%	
20281100 DATA PROCESSING SVC	\$0.00	\$0.00	\$0.00	-	
20291300 AUD/CONTROLLER SVC	\$4,500.00	\$0.00	\$4,500.00	0%	
20 - SERVICES AND SUPPLIES	\$15,500.00	-\$47.36	\$15,547.36	0%	
42420200 STRUCTURES	\$15,000,000.00	\$5,838,403.86	\$9,161,596.14	39%	
42 - BUILDINGS	\$15,000,000.00	\$5,838,403.86	\$9,161,596.14	39%	
EXPENDITURE ACCOUNTS	\$15,015,500.00	\$5,838,356.50	\$9,177,143.50	39%	
59599100 OPERATING TRANS IN	\$0.00	-\$17,460,058.30	\$17,460,058.30	-	
59 - INTERFUND REIMBRSMNT	\$0.00	-\$17,460,058.30	\$17,460,058.30	-	
REIMBURSEMENT ACCOUNTS	\$0.00	-\$17,460,058.30	\$17,460,058.30	-	
94941000 INTEREST INCOME		-\$15,945.00	\$15,945.00	-	
94 - REVENUE FROM USE OF MONEY AND PROP		-\$15,945.00	\$15,945.00	-	
96960300 SPECIAL ASSESMENT	\$0.00	\$0.00	\$0.00	-	
96 - CHARGES FOR SERVICES	\$0.00	\$0.00	\$0.00	-	
97979000 MISC OTHER	-\$23,415,500.00	\$0.00	-\$23,415,500.00	0%	
97 - MISCELLANEOUS REVENUE	-\$23,415,500.00	\$0.00	-\$23,415,500.00	0%	
REVENUE ACCOUNTS	-\$23,415,500.00	-\$15,945.00	-\$23,399,555.00	0%	
Total	-\$8,400,000.00	-\$11,637,646.80	\$3,237,646.80		

FINANCIAL REPORT FY 2024
373A FAIR OAKS ASSESSMENT
*March 2024
 Period 9 (75% of FY)*

Commitment Item	Budget	Actual-GL	Available	Consumed	Comments
50598000 OPERATING TRANS OUT	\$603,650.00	\$202,901.05	\$400,748.95	34%	
50 - INTERFUND CHARGES	\$603,650.00	\$202,901.05	\$400,748.95	34%	
EXPENDITURE ACCOUNTS	\$603,650.00	\$202,901.05	\$400,748.95	34%	
94941000 INTEREST INCOME	\$0.00	-\$2,776.00	\$2,776.00	-	
94 - REVENUE FROM USE OF MONEY AND PROP	\$0.00	-\$2,776.00	\$2,776.00	-	
96960300 SPECIAL ASSESMENT	-\$603,650.00	-\$345,652.97	-\$257,997.03	57%	
96 - CHARGES FOR SERVICES	-\$603,650.00	-\$345,652.97	-\$257,997.03	57%	
REVENUE ACCOUNTS	-\$603,650.00	-\$348,428.97	-\$255,221.03	58%	
Total		-\$145,527.92	\$145,527.92		

FINANCIAL REPORT FY 2024
343A PHOENIX FIELD LANDSCAPE

March 2024
 Period 9 (75% of FY)

Commitment Item	Budget	Actual-GL	Available	Consumed	Comments
50598000 OPERATING TRANS OUT	\$56,499.00	\$24,519.91	\$31,979.09	43%	
50 - INTERFUND CHARGES	\$56,499.00	\$24,519.91	\$31,979.09	43%	
EXPENDITURE ACCOUNTS	\$56,499.00	\$24,519.91	\$31,979.09	43%	
94941000 INTEREST INCOME	\$0.00	-\$385.00	\$385.00	-	
94 - REVENUE FROM USE OF MONEY AND PROP	\$0.00	-\$385.00	\$385.00	-	
96960300 SPECIAL ASSESMENT	-\$56,499.00	-\$31,417.22	-\$25,081.78	56%	
96 - CHARGES FOR SERVICES	-\$56,499.00	-\$31,417.22	-\$25,081.78	56%	
REVENUE ACCOUNTS	-\$56,499.00	-\$31,802.22	-\$24,696.78	56%	
Total		-\$7,282.31	\$7,282.31		

Commitment Item	Budget	Actual-GL	Available	Consumed	Comments
50598000 OPERATING TRANS OUT	\$83,080.00	\$25,953.72	\$57,126.28	31%	
50 - INTERFUND CHARGES	\$83,080.00	\$25,953.72	\$57,126.28	31%	
EXPENDITURE ACCOUNTS	\$83,080.00	\$25,953.72	\$57,126.28	31%	
94941000 INTEREST INCOME	\$0.00	-\$802.00	\$802.00	-	
94 - REVENUE FROM USE OF MONEY AND PROP	\$0.00	-\$802.00	\$802.00	-	
96960300 SPECIAL ASSESMENT	-\$83,080.00	-\$52,631.66	-\$30,448.34	63%	
96 - CHARGES FOR SERVICES	-\$83,080.00	-\$52,631.66	-\$30,448.34	63%	
REVENUE ACCOUNTS	-\$83,080.00	-\$53,433.66	-\$29,646.34	64%	
Total		-\$27,479.94	\$27,479.94		

FAIR OAKS RECREATION AND PARK DISTRICT
MEASURE J - COMMITMENT REPORT

FY 24
Period 9

Vendor	Project	Original Amount	Change Orders	Revised Amount	Paid	Balance	Notes
ARC Document Solutions	All Projects	\$ 8,000.00	\$ (8,000.00)		\$ 21,679.28	\$ -	
BOBO Construction	All Projects	\$ 21,750,000.00	\$ -	\$ 21,750,000.00	\$ 14,015,993.97	\$ 7,734,006.03	
ICS	All Projects	\$ 1,100,000.00	\$ -	\$ 1,100,000.00	\$ 778,278.75	\$ 321,721.25	
Verde Design	Jim Streng Park	\$ 70,350.00	\$ 3,000.00	\$ 73,350.00	\$ 73,350.00	\$ -	Paused
Warren Consulting Engineers, Inc.	Jim Streng Park	\$ 5,000.00	\$ 7,300.00	\$ 12,300.00	\$ 11,800.00	\$ -	Paused
Mid Pacific Engineering	Jim Streng Park	\$ 3,850.00	\$ 6,621.00	\$ 10,471.00	\$ 6,838.50	\$ -	Paused
Playcore Wisconsin Inc. DBA Gametime	Jim Streng Park	\$ 147,910.21	\$ 6,842.00	\$ 154,752.21	\$ 154,752.21	\$ -	Paused
Safe 2 Play Playground Safety Inspections	Jim Streng Park	\$ 825.00	\$ -	\$ 825.00	\$ 825.00	\$ -	Paused
Olympic Land Construction	Jim Streng Park	\$ 678,100.00	\$ (19,332.00)	\$ 658,768.00	\$ 658,768.00	\$ -	Paused
Verde Design	Phoenix Park Improvements	\$ 438,250.00	\$ -	\$ 438,250.00	\$ 111,537.37	\$ -	Paused
AECOM	Phoenix Park Improvements	\$ 69,943.00	\$ -	\$ 69,943.00	\$ -	\$ -	Paused
Mid Pacific Engineering	Phoenix Park Improvements	\$ 9,600.00	\$ -	\$ 9,600.00	\$ 7,300.50	\$ -	Paused
PARC Specialty Contractors	Village Park	\$ 134,700.00	\$ -	\$ 134,700.00	\$ 6,735.00	\$ -	closed per ICS
Callander Associates Landscape Architecture (CALA)	Village Park	\$ 572,385.00	\$ 356,998.50	\$ 929,383.50	\$ 824,395.39	\$ 104,988.11	
CTA Engineering & Surveying	Village Park	\$ 20,500.00	\$ 4,448.13	\$ 24,948.13	\$ 24,948.13	\$ -	
Mid Pacific Engineering	Village Park	\$ 9,150.00	\$ 131,575.00	\$ 140,725.00	\$ 122,992.30	\$ 17,732.70	
Entek Consulting Group	Village Park	\$ 3,650.00	\$ 2,520.00	\$ 6,170.00	\$ 6,170.00	\$ -	
LSA Associates	Village Park	\$ 9,405.00	\$ (1,980.00)	\$ 7,425.00	\$ 7,425.50	\$ -	
AECOM	Village Park	\$ 61,853.00	\$ 7,871.20	\$ 69,724.20	\$ 69,724.20	\$ -	
Bennett Engineering	Village Park	\$ 8,000.00	\$ -	\$ 8,000.00	\$ 8,000.00	\$ -	
Interwest Consulting	Village Park	\$ 11,190.00	\$ -	\$ 11,190.00	\$ 5,502.50	\$ -	closed per ICS
Entek Consulting Group	Village Park - Clubhouse	\$ 5,115.00	\$ 26,990.00	\$ 32,105.00	\$ 25,110.00	\$ 6,995.00	
WMB Architects	Village Park - Clubhouse	\$ 180,330.00	\$ 78,626.00	\$ 258,956.00	\$ 199,064.92	\$ 59,891.08	
KMM Services Inc	Village Park - Clubhouse	\$ 10,650.00	\$ 39,940.00	\$ 50,590.00	\$ 50,072.50	\$ 517.50	
WMB Architects	Village Park-Amphitheatre	\$ 534,780.00	\$ 194,018.00	\$ 728,798.00	\$ 627,051.81	\$ 101,746.19	
L&M Fence Rental	Village Park-Amphitheatre	\$ 3,200.00	\$ 1,572.50	\$ 4,772.50	\$ 4,772.50	\$ -	
Total		\$ 25,846,736.21	\$ 839,010.33	\$ 26,685,746.54	\$ 17,823,088.33	\$ 8,347,597.86	

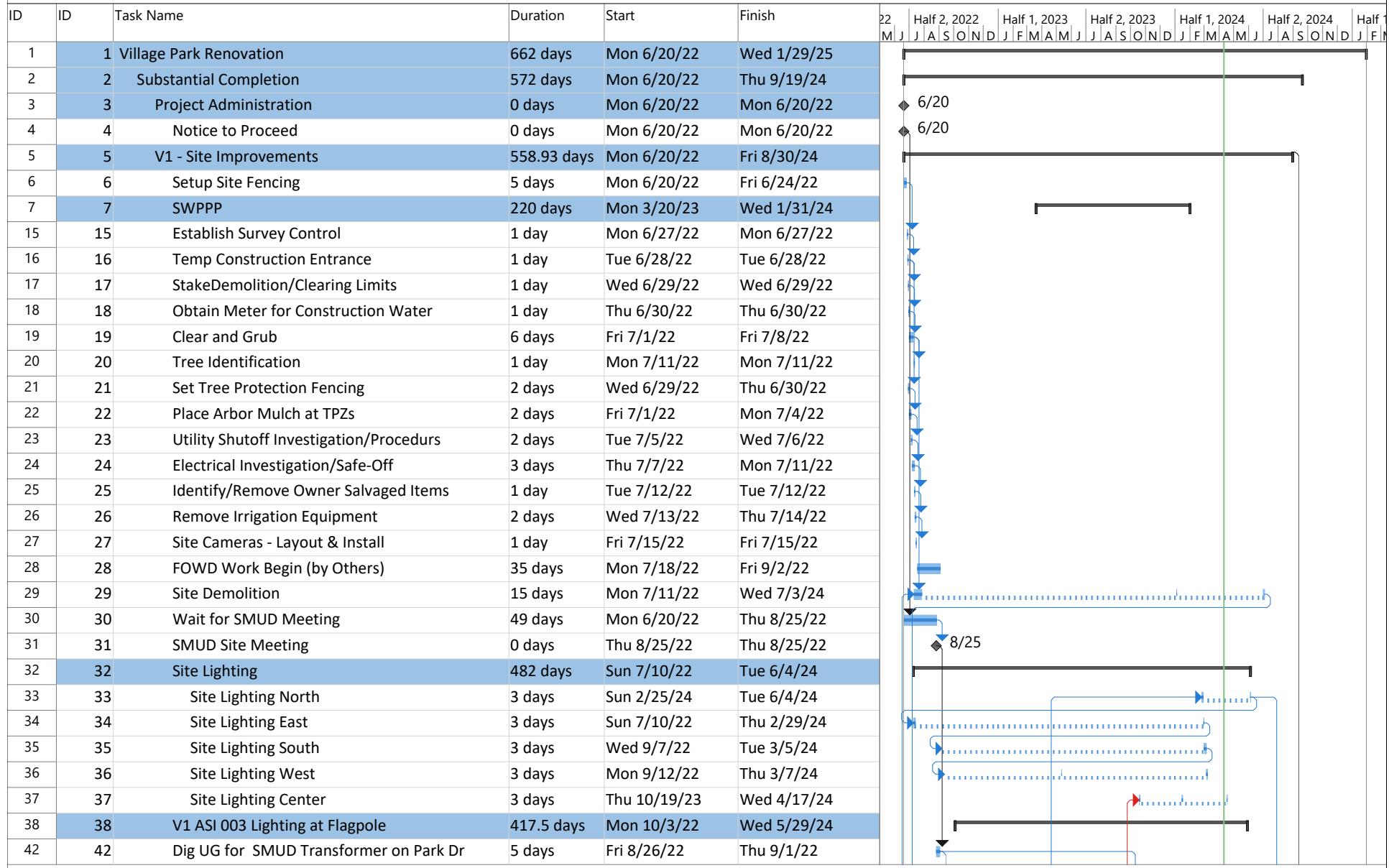


Description	2/21/2024	3/20/2024	4/17/2024	Notes
Substantial Compl Date - V1 (Site - Village & Plaza)	8/25/2024	8/9/2024	9/19/2024	Weather
Substantial Compl Date -V2 (Amphitheater)	10/24/2024	9/5/2024	9/19/2024	Weather
Substantial Compl Date - V3 (Clubhouse)	6/24/2024	6/28/2024	7/25/2024	Weather
Project Substantial Completion Date (SCD)	10/24/2024	9/5/2024	9/19/2024	Weather
Full Project Completion Date (Closeout)	3/5/2024	1/15/2024	1/29/2024	Weather

April 2024 Update

ID	Task Name	Duration	2 M J J A S O N D Half 1, 2022 Half 1, 2023 Half 2, 2023 Half 1, 2024 Half 2, 2024 Half 1 J F M A M J J A S O N D J F
1	Village Park Renovation	662 days	
2	Substantial Completion	572 days	
5	V1 - Site Improvements	558.93 days	
306	V2 - Community Center	545 days	
426	V3 - Clubhouse	532.05 days	
497	Project Closeout	90 days	
498	Project Acceptance	0 days	
499	Punchlist	30 days	
500	Closeout	60 days	

Project: VPR Baseline Schedule Critical Activities	Task	Inactive Task	Critical Split	Progress
	Split	Inactive Milestone	◆	Progress
	Milestone	◆	Inactive Summary	Manual Progress
	Summary	Deadline	⬇	
	Project Summary	Critical		





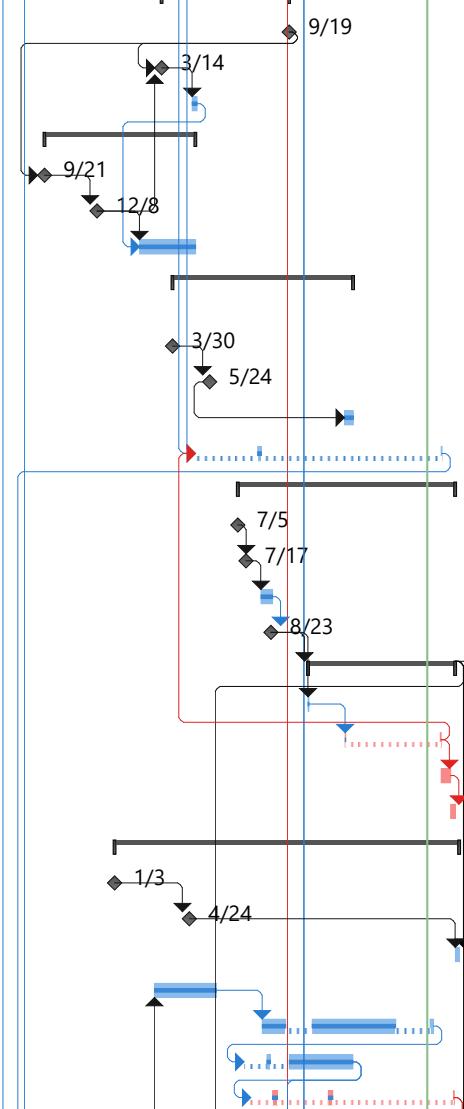
ID	ID	Task Name	Duration	Start	Finish	22 M J	Half 2, 2022 J A S O N D	Half 1, 2023 J F M A M J	Half 2, 2023 J A S O N D	Half 1, 2024 J F M A M J	Half 2, 2024 J A S O N D	Half 1, 2025 J F M A M J	
43	43	Primary Power Fair Oaks N/S	3 days	Fri 9/2/22	Wed 9/7/22								
44	44	ASI SMUD Primary Power	450 days	Thu 9/8/22	Tue 6/18/24								
45	45	ASI 011 SMUD Primary Power (Revised)	83 days	Wed 10/19/22	Wed 2/15/23								
46	46	ASI 011.1 SMUD Primary Power (Revised)	51 days	Thu 2/16/23	Fri 4/28/23								
47	47	ASI 011.2 SMUD Primary Power (Revised)	19 days	Mon 5/1/23	Thu 5/25/23								
48	48	ASI 011.3 SMUD Primary Power (Revised)	52 days	Fri 5/26/23	Wed 8/9/23								
49	49	SMUD Primary Power	450 days	Thu 9/8/22	Tue 6/18/24								
50	50	V1 ASI 011.4	0 days	Wed 8/9/23	Wed 8/9/23								
51	51	PCO 117 Approval (T&M)	15 days	Wed 8/16/23	Wed 9/6/23								
52	52	V1 ASI 011.4 SMUD (T&M)	450 days	Thu 9/8/22	Tue 6/18/24								
53	53	Pothole Exploration (Layout)	1 day	Thu 8/3/23	Thu 8/3/23								
54	54	Conduit Trench/Excavation	1 day	Fri 8/4/23	Fri 8/4/23								
55	55	Conduit Boring	1 day	Mon 8/7/23	Tue 8/8/23								
56	56	V1 ASI 024 Wall & Pad Changes	423 days	Thu 9/8/22	Thu 5/9/24								
57	57	V1 ASI 024	0 days	Tue 11/7/23	Tue 11/7/23								
58	58	SMUD Commitment Drawings	10 days	Tue 11/7/23	Mon 11/20/23								
59	59	PCO Review/Approval (T&M)	0 days	Fri 12/1/23	Fri 12/1/23								
60	60	ASI 024 (PCO#000) T&M	423 days	Thu 9/8/22	Thu 5/9/24								
61	61	Survey	1 day	Thu 9/8/22	Thu 9/8/22								
62	62	Earthwork	10 days	Mon 12/11/23	Thu 5/9/24								
63	63	Concrete	10 days	Mon 3/18/24	Mon 4/1/24								
64	64	Electrical	5 days	Wed 4/10/24	Tue 4/16/24								
65	65	Pull box install	28.5 days	Thu 7/27/23	Tue 9/12/23								
66	66	Transformer Pad	7 days	Mon 4/1/24	Tue 4/9/24								
67	67	SMUD Inspection	157 days	Tue 10/3/23	Thu 5/16/24								
68	68	Inspection #1 - Pull Box	0 days	Tue 10/3/23	Tue 10/3/23								
69	69	Inspection #2 - Pull Box (Site Meeting)	0 days	Mon 11/6/23	Mon 11/6/23								
70	70	Inspection #3 - Wire Pull	0 days	Tue 4/16/24	Tue 4/16/24								
71	71	Inspection #4 - Transformer	0 days	Thu 5/16/24	Thu 5/16/24								
72	72	SMUD By-Pass	75 days	Tue 11/14/23	Tue 3/5/24								
73	73	Utility Excavation/Exploration	7 days	Tue 11/14/23	Wed 11/22/23								
74	74	SMUD Inspection/Asbuilt	0 days	Wed 11/22/23	Wed 11/22/23								



ID	ID	Task Name	Duration	Start	Finish	22 M J	Half 2, 2022 J A S O N D	Half 1, 2023 J F M A M J	Half 2, 2023 J A S O N D	Half 1, 2024 J F M A M J	Half 2, 2024 J A S O N D	Half 1, 2025 J F M A M J	
75	75	SMUD Scheduling (Construction Dev)	67 days	Tue 11/28/23	Tue 3/5/24								
76	76	Pit backfill (SAND)	1 day	Mon 1/8/24	Mon 1/8/24								
77	77	Pit Reopen	1 day	Mon 3/4/24	Mon 3/4/24								
78	78	SMUD Wire Pull/Transformer	1 day	Tue 3/5/24	Tue 3/5/24								
79	79	SMUD Wire Pull	22 days	Wed 4/17/24	Thu 5/16/24								
80	80	4 Week Schedule	20 days	Wed 4/17/24	Tue 5/14/24								
81	81	SMUD Work	2 days	Wed 5/15/24	Thu 5/16/24								
82	82	Transformer Power Switch	22 days	Wed 4/17/24	Thu 5/16/24								
83	83	4 Week Schedule	20 days	Wed 4/17/24	Tue 5/14/24								
84	84	SMUD Work	2 days	Wed 5/15/24	Thu 5/16/24								
85	85	SMUD Primary Power Community Cente	22 days	Fri 5/17/24	Tue 6/18/24								
86	86	4 Week Schedule	20 days	Fri 5/17/24	Fri 6/14/24								
87	87	SMUD Work	2 days	Mon 6/17/24	Tue 6/18/24								
88	88	Install secondary conduits	5 days	Wed 6/19/24	Tue 6/25/24								
89	89	Note 2 Trench for Power Ped	3 days	Thu 11/17/22	Thu 6/27/24								
90	90	Trench for Irrigation Controller Conduits	3 days	Tue 5/30/23	Mon 7/1/24								
91	91	Dig and install cement pull boxes	3 days	Tue 8/1/23	Tue 7/2/24								
92	92	Dig & Install (F) EV UG Vault	1 day	Fri 7/7/23	Tue 7/2/24								
93	93	Trench to PP for GFCI and (F) EV pull box	3 days	Mon 7/3/23	Wed 7/3/24								
94	94	V1 ASI 17 EV Charging Station	306 days	Tue 3/14/23	Tue 5/28/24								
95	95	V1 ASI 017	0 days	Tue 3/14/23	Tue 3/14/23								
96	96	PCO#103 Submittal Review	10 days	Sat 2/10/24	Fri 5/17/24								
97	97	County Approval - CALA Review	136 days	Thu 10/19/23	Fri 5/3/24								
98	98	Perform Scope	6 days	Mon 5/20/24	Tue 5/28/24								
99	99	Relocate SMUD vaults	13 days	Fri 6/9/23	Thu 7/11/24								
100	100	Rove UG Conductors	0 days	Thu 7/14/22	Thu 7/14/22								
101	101	USA/Pothole	5 days	Mon 8/15/22	Fri 8/19/22								
102	102	Survey/Layout @ Band East	179 days	Mon 8/22/22	Thu 5/4/23								
103	103	Rough Grade @ Band East	74 days	Mon 8/15/22	Fri 8/18/23								
104	104	Utilities @ Band East	62 days	Thu 3/16/23	Wed 8/2/23								
105	105	RFI 128 Elevation and Direction Sewerline Changes	16 days	Mon 11/28/22	Mon 12/19/22								
106	106	PCO 52 Elevation and Direction Sewerline Cha	16 days	Mon 11/28/22	Mon 12/19/22								

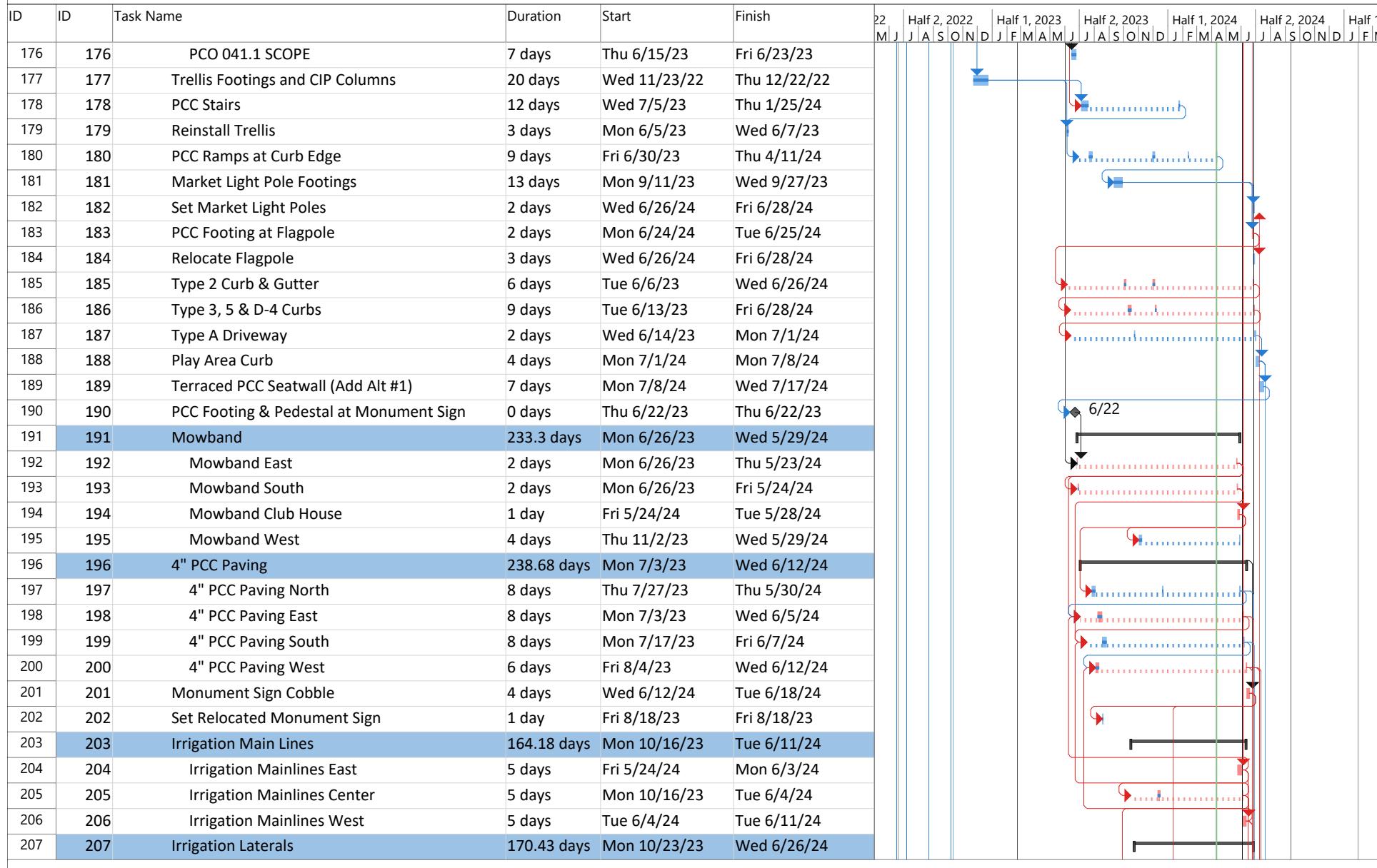


ID	ID	Task Name	Duration	Start	Finish	22 M J	Half 2, 2022 J A S O N D	Half 1, 2023 J F M A M J	Half 2, 2023 J A S O N D	Half 1, 2024 J F M A M J	Half 2, 2024 J A S O N D	Half 1, 2025 J F M A M J
107	107	ASI 005 Utility Changes	5 days	Wed 6/21/23	Tue 6/27/23							
108	108	Hydraway	132 days	Tue 3/14/23	Tue 9/19/23							
109	109	V1 ASI 006 Hydraway	0 days	Tue 9/19/23	Tue 9/19/23							
110	110	PCO 046 (Approved)	0 days	Tue 3/14/23	Tue 3/14/23							
111	111	Work Performed PCO 048	5 days	Fri 4/28/23	Thu 5/4/23							
112	112	ASI 008 Hydraway	156 days	Wed 9/21/22	Tue 5/2/23							
113	113	V1 ASI 008	0 days	Wed 9/21/22	Wed 9/21/22							
114	114	PCO 048 (Approved)	0 days	Thu 12/8/22	Thu 12/8/22							
115	115	Work Performed PCO 048	58 days	Thu 2/9/23	Tue 5/2/23							
116	116	Grading, Fire Service, and Water Meter Changes	187 days	Thu 3/30/23	Fri 12/22/23							
117	117	ASI 018	0 days	Thu 3/30/23	Thu 3/30/23							
118	118	PCO 108 (Approved)	0 days	Wed 5/24/23	Wed 5/24/23							
119	119	PCO 131 (Tie-in to Main)	10 days	Sun 12/10/23	Fri 12/22/23							
120	120	Base @ Band East	5 days	Wed 5/3/23	Thu 5/2/24							
121	121	Bandshell Changes	223.4 days	Wed 7/5/23	Wed 5/22/24							
122	122	ASI 20 (Revised)	0 days	Wed 7/5/23	Wed 7/5/23							
123	123	ASI 20.1 (Revised)	0 days	Mon 7/17/23	Mon 7/17/23							
124	124	RFI#319 - Raised Planter	13 days	Tue 8/8/23	Thu 8/24/23							
125	125	ASI 20.2 Bandshell Changes	0 days	Wed 8/23/23	Wed 8/23/23							
126	126	PCO 130 SCOPE	150.4 days	Tue 10/17/23	Wed 5/22/24							
127	127	Demo (Approval Only)	1 day	Tue 10/17/23	Tue 10/17/23							
128	128	Earthwork (T&M)	2 days	Mon 12/11/23	Wed 5/1/24							
129	129	Concrete (Pending Aproval)	10 days	Wed 5/1/24	Wed 5/15/24							
130	130	Landscaping (Pending Aproval)	5 days	Wed 5/15/24	Wed 5/22/24							
131	131	Fencing, Turf, and Irrigation Changes	353.4 days	Tue 1/3/23	Tue 5/28/24							
132	132	ASI 015	0 days	Tue 1/3/23	Tue 1/3/23							
133	133	PCO 082 (APPROVED)	0 days	Mon 4/24/23	Mon 4/24/23							
134	134	PCO 082 SCOPE	3 days	Wed 5/22/24	Tue 5/28/24							
135	135	Survey/Layout @ West Area	65 days	Fri 3/3/23	Fri 6/2/23							
136	136	Rough Grade @ West Area	111.72 days	Thu 8/10/23	Fri 4/19/24							
137	137	Utilities @ West Area	69 days	Fri 7/14/23	Fri 12/22/23							
138	138	Base @ West Area	10 days	Mon 7/24/23	Mon 5/20/24							





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139	139	V1 ASI 010 Turf and Pilaster	302.5 days	Tue 3/28/23	Thu 6/6/24								
140	140	PCO 034 Turf and Pilaster (Approved)	0 days	Tue 3/28/23	Tue 3/28/23								
141	141	PCO 034 Turf and Pilaster - Scope	12 days	Mon 5/20/24	Thu 6/6/24								
142	142	Retaining Wall Modificationa	332 days	Wed 4/19/23	Fri 8/9/24								
143	143	Retaining Wall Modificationa (Revised)	1 day	Wed 4/19/23	Wed 4/19/23								
144	144	V1 ASI 001.1 Changes (Approved)	1 day	Mon 6/12/23	Mon 6/12/23								
145	145	V1 ASI 001.1 Changes - Scope	10 days	Mon 7/29/24	Fri 8/9/24								
146	146	Courtyard Pavers	15 days	Wed 10/11/23	Fri 7/19/24								
147	147	Survey/Layout @ South Areas	10 days	Sat 8/19/23	Tue 5/21/24								
148	148	Water Leak Structural Repairs	114 days	Fri 4/21/23	Mon 10/2/23								
149	149	Water Leak Plans	1 day	Fri 5/5/23	Fri 5/5/23								
150	150	Water Intrusion T&M - Wall Repairs	59 days	Fri 4/21/23	Fri 7/14/23								
151	151	Water Intrusion T&M - Drain System	30 days	Mon 8/21/23	Mon 10/2/23								
152	152	Rough Grade @ South Areas	8 days	Thu 8/24/23	Wed 5/22/24								
153	153	Low Voltage, Concrete, & Grading	98 days	Tue 6/6/23	Mon 10/23/23								
154	154	ASI 13.1	0 days	Tue 6/6/23	Tue 6/6/23								
155	155	PCO 069.3	6 days	Mon 10/16/23	Mon 10/23/23								
156	156	AT&T Conduit 4"	6 days	Mon 10/16/23	Mon 10/23/23								
157	157	Utilities @ South Areas	0 days	Wed 2/8/23	Wed 2/8/23								
158	158	V1 ASI 013	286 days	Mon 3/13/23	Fri 4/26/24								
164	164	Base @ South Areas	4 days	Thu 6/1/23	Fri 5/24/24								
165	165	Transfer Dirt to Community Center Pad	10 days	Mon 8/15/22	Fri 8/26/22								
166	166	PCC Retaining Wall	28 days	Tue 9/6/22	Thu 10/13/22								
167	167	PCC Footing at CMU Retaining Wall	31 days	Wed 8/31/22	Thu 10/13/22								
168	168	Band East CMU Retaining Walls	20 days	Fri 10/21/22	Thu 11/17/22								
169	169	Backfill CMU Retaining Wall	3 days	Mon 11/21/22	Wed 11/23/22								
170	170	Set Oil Sand Seperator	8 days	Mon 1/30/23	Wed 2/8/23								
171	171	Trash Enclosure CMU	81 days	Wed 4/19/23	Fri 8/11/23								
172	172	PCC Footing at CMU Seatwall/Pilasters	20 days	Fri 10/21/22	Thu 11/17/22								
173	173	ASI 007 Clubhouse Stair Changes	199 days	Tue 9/13/22	Fri 6/23/23								
174	174	ASI 007	0 days	Tue 9/13/22	Tue 9/13/22								
175	175	PCO 041.1 (Approved)	0 days	Sun 3/12/23	Sun 3/12/23								





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208	208	Irrigation Laterals East	5 days	Tue 6/11/24	Tue 6/18/24								
209	209	Irrigation Laterals Center	5 days	Mon 10/23/23	Wed 6/19/24								
210	210	Irrigation Laterals West	5 days	Wed 6/19/24	Wed 6/26/24								
211	211	Restroom Building Submittal Approval	120 days	Fri 8/5/22	Wed 1/25/23								
212	212	Restroom Building Procurement	74 days	Fri 12/2/22	Wed 5/10/23								
213	213	Restroom Building Pad Prep	0 days	Mon 4/10/23	Mon 4/10/23								
214	214	Restroom Building Install Prep	3 days	Thu 4/13/23	Mon 4/17/23								
215	215	Restroom Building Set	1 day	Thu 5/18/23	Thu 5/18/23								
216	216	Restroom Building Tie-in	0 days	Fri 5/12/23	Tue 5/16/23								
217	217	Refinish Bandshell	10 days	Wed 5/22/24	Thu 6/6/24								
218	218	Late Site Improvement start	1 day	Wed 6/26/24	Thu 6/27/24								
219	219	Grass Pave	5 days	Thu 6/27/24	Fri 7/5/24								
220	220	GrassPave East	1 day	Thu 6/27/24	Fri 6/28/24								
221	221	GrassPave Center	2 days	Fri 6/28/24	Tue 7/2/24								
222	222	GrassPave West	2 days	Tue 7/2/24	Fri 7/5/24								
223	223	Planting	15 days	Fri 7/5/24	Fri 7/26/24								
224	224	Planting East	5 days	Fri 7/5/24	Fri 7/12/24								
225	225	Planting Center	5 days	Fri 7/12/24	Fri 7/19/24								
226	226	Planting West	5 days	Fri 7/19/24	Fri 7/26/24								
227	227	Site Furnishings Install	10 days	Thu 6/27/24	Fri 7/12/24								
228	228	Site Furnishings Install (East)	5 days	Thu 6/27/24	Fri 7/5/24								
229	229	Site Furnishings Install (West)	5 days	Fri 7/5/24	Fri 7/12/24								
230	230	Set Precast Benches	172.43 days	Fri 11/10/23	Mon 7/22/24								
231	231	Set Precast Benches (South)	3 days	Fri 7/12/24	Wed 7/17/24								
232	232	Set Precast Benches (West)	3 days	Wed 7/17/24	Mon 7/22/24								
233	233	Procure Precast Slide (Owner) ESD	0 days	Fri 11/10/23	Fri 11/10/23								
234	234	V1 ASI 027 - Playground Site Changes	86.5 days	Mon 1/22/24	Wed 5/22/24								
235	235	ASI Review	5 days	Mon 1/22/24	Fri 1/26/24								
236	236	Pricing (Void)	36.5 days	Mon 1/29/24	Wed 3/20/24								
237	237	Design Changes (ASI Pending)	20 days	Wed 3/20/24	Wed 4/17/24								
238	238	ASI### Pricing (PCO#)	10 days	Wed 4/17/24	Wed 5/1/24								
239	239	Perforem PCO ## Scope	15 days	Wed 5/1/24	Wed 5/22/24								



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240	240	Install Owner Furnished Playground Equipment	10 days	Mon 7/8/24	Mon 7/22/24								
241	241	County Footing Design Review & Approval	0 days	Fri 3/10/23	Fri 3/10/23								
242	242	Shade Structure Install	7 days	Mon 7/22/24	Wed 7/31/24								
243	243	Fencing	15 days	Thu 6/27/24	Fri 7/19/24								
244	244	Fencing Install (East)	7.5 days	Thu 6/27/24	Tue 7/9/24								
245	245	Fencing (West)	7.5 days	Tue 7/9/24	Fri 7/19/24								
246	246	Site Railing	15 days	Thu 6/27/24	Fri 7/19/24								
247	247	Site Railing Install (East)	5 days	Thu 6/27/24	Fri 7/5/24								
248	248	Site Railing Install (Center)	5 days	Fri 7/5/24	Fri 7/12/24								
249	249	Site Railing Install (West)	5 days	Fri 7/12/24	Fri 7/19/24								
250	250	Onsite Paving	3 days	Thu 6/27/24	Tue 7/2/24								
251	251	Onsite Paving (North)	1 day	Thu 6/27/24	Fri 6/28/24								
252	252	Onsite Paving (South)	1 day	Fri 6/28/24	Mon 7/1/24								
253	253	Onsite Paving (Club House)	1 day	Mon 7/1/24	Tue 7/2/24								
254	254	Project Road Paving	5 days	Tue 7/2/24	Wed 7/10/24								
255	255	Striping	176.43 days	Thu 11/2/23	Wed 7/17/24								
256	256	Site Striping Club House	2.5 days	Wed 7/10/24	Fri 7/12/24								
257	257	Site Striping ADA Parking	2.5 days	Fri 7/12/24	Wed 7/17/24								
258	258	AC Design Review	126 days	Thu 11/2/23	Fri 5/3/24								
259	259	Site Meeting with Sac County and Cala	1 day	Thu 11/2/23	Thu 11/2/23								
260	260	Road AC/AB Design Review	125 days	Fri 11/3/23	Fri 5/3/24								
261	261	Add Alt 3 - Roadway Grinding	10 days	Wed 7/10/24	Wed 7/24/24								
262	262	Add Alt 3 - Roadway Prep	5 days	Wed 7/24/24	Wed 7/31/24								
263	263	Add Alt 3 - Roadway Paving	7 days	Wed 7/31/24	Fri 8/9/24								
264	264	Add Alt 3 - Roadway Striping	5 days	Fri 8/9/24	Fri 8/16/24								
265	265	Parking Areas #1	528.93 days	Mon 8/1/22	Fri 8/30/24								
266	266	Demo of Park Ave Parking Stalls	1 day	Mon 8/1/22	Mon 8/1/22								
267	267	Demo of Temescal Parking Stalls	1 day	Tue 8/2/22	Tue 8/2/22								
268	268	FOWD Laydown Area Relocation for Demo	1 day	Thu 8/4/22	Thu 8/4/22								
269	269	Demo of Existing California/Temescal Parking	5 days	Wed 8/3/22	Tue 8/9/22								
270	270	VG at Park Drive Pervious Pavers	5 days	Wed 2/22/23	Tue 2/28/23								
271	271	Park Drive Paver Base Install	0 days	Thu 9/15/22	Thu 9/15/22								



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272	272	Curb at Park Drive Pervious Pavers	5 days	Thu 10/13/22	Wed 10/19/22								
273	273	Park Drive Vehicular Pavers	5 days	Fri 1/6/23	Thu 1/12/23								
274	274	VG at Temescal Pervious Pavers	6 days	Wed 3/1/23	Wed 3/8/23								
275	275	Temescal Paver Base Install	0 days	Thu 9/15/22	Thu 9/15/22								
276	276	Curb at Temescal Pervious Pavers	8 days	Fri 10/14/22	Tue 10/25/22								
277	277	Temescal Vehicular Pavers	6 days	Fri 1/13/23	Tue 3/28/23								
278	278	VG at California Ave Pervious Pavers Lower	6 days	Thu 3/9/23	Thu 3/16/23								
279	279	California Ave Paver Base Install	0 days	Thu 9/15/22	Thu 9/15/22								
280	280	Curb at California Ave Pervious Pavers Lower	8 days	Wed 10/19/22	Fri 10/28/22								
281	281	California Ave Pavers Lower	8 days	Thu 1/12/23	Tue 1/24/23								
282	282	Paver Parking #1 Striping	4 days	Tue 1/24/23	Mon 8/12/24								
283	283	Turn Over Paver Parking #1	58 days	Tue 1/24/23	Fri 8/30/24								
284	284	Parking Areas #2	282.75 days	Mon 1/2/23	Wed 2/14/24								
285	285	Wait Until After Holidays 2022	1 day	Mon 1/2/23	Mon 1/2/23								
286	286	Close Fair Oaks Blvd and California Upper Parl1	1 day	Mon 7/10/23	Mon 7/10/23								
287	287	Demo Fair Oaks Blvd and California Upper Par4	days	Tue 7/11/23	Fri 7/14/23								
288	288	Relocate Fire Hydrant Upper California	0 days	Fri 7/14/23	Fri 7/14/23								
289	289	Excavate for Pavers at Fair Oaks & Upper Calif14	days	Mon 7/17/23	Thu 8/10/23								
290	290	Lighting at Fair Oaks Palm Trees	0 days	Thu 7/20/23	Thu 7/20/23								
291	291	Low Voltage Through Upper California Parking0	days	Wed 7/26/23	Wed 7/26/23								
292	292	Paver Base at Fair Oaks and Upper California	4 days	Mon 8/21/23	Thu 8/24/23								
293	293	Curb at California Ave Pervious Pavers Upper	0 days	Tue 7/25/23	Tue 7/25/23								
294	294	Curb at Fair Oaks Blvd Pervious Pavers	0 days	Tue 7/25/23	Tue 7/25/23								
295	295	V1 ASI 022	62 days	Mon 9/4/23	Fri 12/1/23								
299	299	Curb and Ramp at Fair Oaks and California Int	16 days	Mon 1/22/24	Mon 2/12/24								
300	300	VG at California Ave Pervious Pavers Upper	5 days	Wed 7/19/23	Tue 2/13/24								
301	301	VG at Fair Oaks Blvd Pervious Pavers	5 days	Mon 8/14/23	Wed 2/14/24								
302	302	California Ave Pavers Upper	0 days	Thu 8/24/23	Thu 8/24/23								
303	303	Fair Oaks Blvd Pavers	0 days	Mon 8/28/23	Mon 8/28/23								
304	304	Park Area #2 Striping	0 days	Wed 9/13/23	Wed 9/13/23								
305	305	Parking Areas #2 Turned Over	1 day	Wed 9/13/23	Wed 9/13/23								
306	306	V2 - Community Center	545 days	Wed 7/27/22	Thu 9/19/24								



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307	307	Demo Existing CMU Wall To Meter	1 day	Wed 7/27/22	Wed 7/27/22								
308	308	Investigate Existing Restroom Footing	1 day	Thu 7/28/22	Thu 7/28/22								
309	309	Geotech Evaluation of Existing Restroom Footing	10 days	Fri 7/29/22	Thu 8/11/22								
310	310	Wait for SMUD to Pull Meter from Temp Panel	9 days	Thu 7/28/22	Tue 8/9/22								
311	311	SMUD Pull Meter from Temp Panel	1 day	Wed 8/10/22	Wed 8/10/22								
312	312	Demo Remaining CMU Wall	1 day	Fri 8/12/22	Fri 8/12/22								
313	313	Underpin Existing Restroom Footing	17 days	Wed 8/17/22	Fri 9/9/22								
314	314	Dirt Import	7 days	Thu 9/1/22	Mon 9/12/22								
315	315	Build up Building Pad	14 days	Mon 8/29/22	Fri 9/16/22								
316	316	Certify Building Pad	1 day	Fri 9/16/22	Fri 9/16/22								
317	317	UG Plumbing Layout	2 days	Wed 9/28/22	Thu 9/29/22								
318	318	Plumbing Excavation	6 days	Fri 9/30/22	Fri 10/7/22								
319	319	Plumbing UG Pipe Install	5 days	Fri 10/7/22	Thu 10/13/22								
320	320	Plumbing Test/Inspection	0 days	Wed 10/12/22	Wed 10/12/22								
321	321	Plumbing Backfill/Compaction	0 days	Fri 10/14/22	Fri 10/14/22								
322	322	11/1/22 - .42"	4 days	Tue 11/1/22	Fri 11/4/22								
323	323	11/7, 11/18 - 1.32"	3 days	Mon 11/7/22	Wed 11/9/22								
324	324	12/1, 12/12 - 4.04"	10 days	Thu 12/1/22	Wed 12/14/22								
325	325	12/26, 12/31 - 6.07"	4 days	Tue 12/27/22	Fri 12/30/22								
326	326	1/1/23, 1/20/23 - 6.65"	15 days	Tue 1/3/23	Tue 1/24/23								
327	327	2/03/23 - 2/28/23 - 2.25"	18 days	Fri 2/3/23	Wed 3/1/23								
328	328	3/01/23 - 3/16/23 - 3.09"	12 days	Wed 3/1/23	Thu 3/16/23								
329	329	Underslab Electrical	19 days	Mon 11/21/22	Mon 12/19/22								
330	330	Foundation	11 days	Tue 9/20/22	Fri 11/4/22								
331	331	Footing Rebar Changes	8 days	Wed 10/19/22	Fri 10/28/22								
335	335	Fully Dimensioned Foundation Plan	4 days	Mon 10/24/22	Thu 10/27/22								
336	336	Stem Curbs/Walls	67 days	Tue 11/15/22	Tue 2/21/23								
337	337	Slab-on-Grade	67 days	Fri 2/3/23	Tue 5/9/23								
338	338	RFI 007 - Foundation Changes	64 days	Mon 8/15/22	Fri 11/11/22								
341	341	Steel Erection	0 days	Tue 3/7/23	Tue 3/7/23								
342	342	Frame Walls	0 days	Mon 2/27/23	Mon 2/27/23								
343	343	Shear Walls	0 days	Mon 3/20/23	Mon 3/20/23								



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344	344	Roll Trusses/Joists	0 days	Mon 3/20/23	Mon 3/20/23			3/20					
345	345	Sheet Roof	0 days	Tue 5/2/23	Tue 5/2/23			5/2					
346	346	Door Frame Install	0 days	Tue 5/9/23	Tue 5/9/23			5/9					
347	347	Framing Pick Up	0 days	Tue 5/9/23	Tue 5/9/23			5/9					
348	348	Operable Partition Track Install	3 days	Tue 1/16/24	Thu 1/18/24								
349	349	Install Trench Drain	2 days	Fri 5/19/23	Mon 5/22/23								
350	350	CMU Wall Footing	3 days	Wed 6/12/24	Mon 6/17/24								
351	351	CMU Install	8 days	Mon 6/17/24	Thu 6/27/24								
352	352	Ramp, Curbs & Planter Walls	17 days	Mon 6/17/24	Thu 7/11/24								
353	353	PCC Stairs	4 days	Thu 7/11/24	Wed 7/17/24								
354	354	PCC Paving	8 days	Wed 7/17/24	Mon 7/29/24								
355	355	Railing Install	12 days	Mon 7/29/24	Wed 8/14/24								
356	356	Hangar Door Footing Pour #1	0 days	Mon 10/31/22	Mon 10/31/22								
357	357	Hangar Door Footing Pour #2	70 days	Wed 5/31/23	Thu 9/7/23								
358	358	Hangar Door Install	5 days	Mon 10/16/23	Fri 10/20/23								
359	359	Fire Sprinkler Rough-in	35 days	Wed 5/3/23	Mon 7/10/23								
360	360	Plumbing Top Out	0 days	Mon 4/24/23	Mon 4/24/23								
361	361	Plumbing Top Out Test/Inspection	0 days	Mon 5/8/23	Mon 5/8/23								
362	362	HVAC Layout	2 days	Tue 5/9/23	Wed 5/17/23								
363	363	HVAC Hangars/Supports	7 days	Thu 5/18/23	Wed 1/17/24								
364	364	Rough-in Roof HVAC	7 days	Tue 5/30/23	Tue 1/23/24								
365	365	HVAC Equipment/Duct Install	30 days	Tue 5/9/23	Fri 1/26/24								
366	366	Install power to HVAC units	7 days	Fri 7/21/23	Fri 1/26/24								
367	367	Exterior Weather Barrier and Insulation	84.5 days	Mon 9/25/23	Fri 1/26/24								
368	368	Stone Veneer Install	10 days	Mon 5/6/24	Fri 5/17/24								
369	369	Window Install	10 days	Fri 4/28/23	Fri 11/3/23								
370	370	Stucco	84 days	Wed 9/13/23	Wed 5/15/24								
371	371	Smoke Hatch Install	5 days	Mon 4/29/24	Fri 5/3/24								
372	372	Roofing	81 days	Mon 8/14/23	Wed 5/15/24								
373	373	Building Dried In	0 days	Wed 5/15/24	Wed 5/15/24								
374	374	E 3.1 Rough-In power	66.66 days	Mon 3/27/23	Thu 2/8/24								
375	375	E 3.1 Rough-In Fire Alarm	4 days	Wed 3/29/23	Thu 2/8/24								



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376	376	E 3.1 Rough-In Data/ Security	18 days	Mon 5/15/23	Tue 6/27/23								
377	377	E 3.1 Rough-In Power for door/Wheel Chair Lift/	35 days	Mon 5/22/23	Fri 7/28/23								
378	378	E 3.1 Rough-In 75 KVA & 150 KVA transformers	1 day	Thu 8/31/23	Mon 5/13/24								
379	379	E 3.1 Rough-In Box Office Panel	2 days	Tue 8/29/23	Mon 5/13/24								
380	380	E3.1 Rough-In Panel P1, L, HV	4 days	Mon 12/11/23	Fri 12/15/23								
381	381	E2.1 Rough-In ceiling/lighting	15 days	Wed 3/29/23	Thu 2/1/24								
382	382	ASI## New Seating Area	30 days	Mon 3/11/24	Fri 4/19/24								
383	383	Pricing	10 days	Mon 4/22/24	Fri 5/3/24								
384	384	Perform Scope	20 days	Mon 5/6/24	Mon 6/3/24								
385	385	E2.1 Rough-In Under Seat Lights	4 days	Tue 6/4/24	Fri 6/7/24								
386	386	E2.1 Rough-In ceiling lighting controls	10 days	Mon 7/3/23	Tue 6/11/24								
387	387	E3.2 Rough-In power on Production Rigging	15 days	Tue 7/18/23	Fri 6/14/24								
388	388	Production Rigging/Lighting	15 days	Tue 8/8/23	Mon 6/24/24								
389	389	Inspection Delays (Fire Caulking)	35 days	Fri 12/15/23	Wed 2/7/24								
390	390	Inspection Narrative Approval	0 days	Fri 12/15/23	Fri 12/15/23								
391	391	Fire Caulk Building (T&M)	15 days	Mon 12/18/23	Tue 1/9/24								
392	392	Final County Inspection	19 days	Thu 1/11/24	Wed 2/7/24								
393	393	Hang Drywall	0 days	Wed 1/17/24	Mon 2/26/24								
394	394	Insulation	45 days	Tue 1/16/24	Wed 3/27/24								
395	395	Tape and Finish Drywall	14 days	Tue 2/27/24	Fri 3/15/24								
396	396	Paint	20 days	Mon 3/18/24	Fri 4/12/24								
397	397	FRP	2 days	Mon 4/15/24	Tue 4/16/24								
398	398	Rollup Door Install	7 days	Mon 4/15/24	Tue 4/23/24								
399	399	Amphitheater pull conductors & install trim	22 days	Mon 4/15/24	Tue 5/14/24								
400	400	Amphitheater install sub panels	7 days	Wed 5/15/24	Thu 5/23/24								
401	401	Amphitheater install lighting fixtures	19 days	Fri 5/24/24	Thu 6/20/24								
402	402	Operable Partition Panel Install	5 days	Mon 6/24/24	Fri 6/28/24								
403	403	Stage Floor	10 days	Mon 6/24/24	Tue 7/9/24								
404	404	Paint Stage Floor	5 days	Tue 7/9/24	Tue 7/16/24								
405	405	ACT-1 Install	4 days	Mon 4/15/24	Thu 4/18/24								
406	406	ACT-2 Install	15 days	Fri 4/19/24	Thu 5/9/24								
407	407	Fire Sprinkler Finish	7 days	Fri 5/10/24	Mon 5/20/24								



ID	ID	Task Name	Duration	Start	Finish	22 M J	Half 2, 2022 J A S O N D	Half 1, 2023 J F M A M J	Half 2, 2023 J A S O N D	Half 1, 2024 J F M A M J	Half 2, 2024 J A S O N D	Half 1, 2025 J F M A M J	
408	408	HVAC Set Finish	5 days	Fri 5/10/24	Thu 5/16/24								
409	409	HVAC Commissioning	5 days	Fri 5/24/24	Fri 5/31/24								
410	410	Flooring	15 days	Mon 6/3/24	Fri 6/21/24								
411	411	Casework Install	5 days	Mon 6/24/24	Fri 6/28/24								
412	412	Plumbing Finish	6 days	Mon 6/24/24	Mon 7/1/24								
413	413	Toilet Accessories	5 days	Tue 7/2/24	Tue 7/9/24								
414	414	AP1,AP2 Install	25 days	Mon 6/3/24	Mon 7/8/24								
415	415	WP1 Install	12 days	Tue 7/9/24	Wed 7/24/24								
416	416	Hang Doors	7 days	Thu 7/25/24	Fri 8/2/24								
417	417	Door Hardware Install	10 days	Mon 8/5/24	Fri 8/16/24								
418	418	Signage Install	10 days	Mon 8/5/24	Fri 8/16/24								
419	419	Fire Alarm Install	15 days	Thu 7/25/24	Wed 8/14/24								
420	420	AV System Install	20 days	Thu 7/25/24	Wed 8/21/24								
421	421	Access Control Install	15 days	Mon 8/19/24	Mon 9/9/24								
422	422	FLS Systems Startup/Testing	5 days	Tue 9/10/24	Mon 9/16/24								
423	423	Prepunch	2 days	Tue 9/17/24	Wed 9/18/24								
424	424	Building Occupancy	1 day	Thu 9/19/24	Thu 9/19/24								
425	425	V2 Complete	0 days	Thu 9/19/24	Thu 9/19/24								
426	426	V3 - Clubhouse	532.05 days	Mon 6/20/22	Thu 7/25/24								
427	427	Receive/Review Correct Hazmat Report	26 days	Mon 6/20/22	Mon 7/25/22								
428	428	Demo Exterior Items	5 days	Tue 7/19/22	Mon 7/25/22								
429	429	Abatement	14 days	Tue 7/26/22	Fri 8/12/22								
430	430	Interior Demo	4 days	Mon 8/8/22	Thu 8/11/22								
431	431	PCO 011 Stucco Abatement Review	15 days	Thu 8/11/22	Wed 8/31/22								
432	432	Stucco Abatement	5 days	Thu 9/1/22	Thu 9/8/22								
433	433	Demo Stucco Abated Areas	3 days	Fri 9/9/22	Tue 9/13/22								
434	434	Rough Framing Upper Level Restrooms	6 days	Fri 8/12/22	Fri 8/19/22								
435	435	Plumbing Layout for Sawcut	1 day	Mon 8/22/22	Mon 8/22/22								
436	436	Saw and Demo Lower Level Restrooms	1 day	Tue 8/23/22	Tue 8/23/22								
437	437	Plumbing Excavation	4 days	Wed 8/24/22	Mon 8/29/22								
438	438	Plumbing UG Install	7 days	Tue 8/30/22	Thu 9/8/22								
439	439	Plumbing Backfill/Compaction	4 days	Wed 10/26/22	Mon 10/31/22								

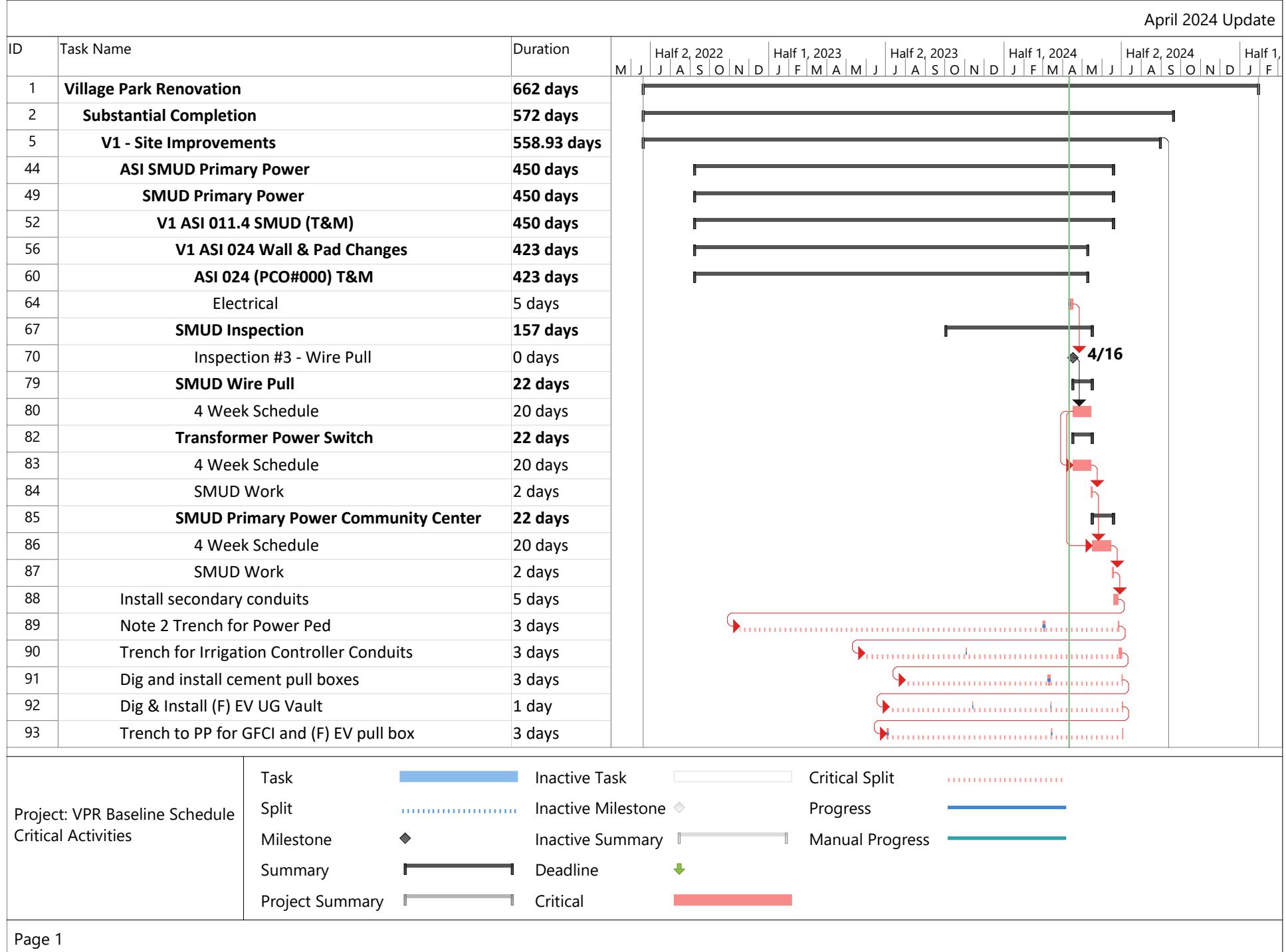


ID	ID	Task Name	Duration	Start	Finish	22 M J	Half 2, 2022 J A S O N D	Half 1, 2023 J F M A M J	Half 2, 2023 J A S O N D	Half 1, 2024 J F M A M J	Half 2, 2024 J A S O N D	Half 1, 2025 J F M A M J	
440	440	Slab Pourback Lower Level Restroom	2 days	Thu 11/3/22	Fri 11/4/22								
441	441	Rough Framing Lower Level	12 days	Mon 11/7/22	Tue 11/22/22								
442	442	Rough Framing Entry and Storage	2 days	Mon 9/26/22	Tue 9/27/22								
443	443	Set Door Frames	16 days	Tue 3/14/23	Tue 4/4/23								
444	444	Fire Sprinkler Rough-In	2 days	Tue 12/13/22	Wed 12/14/22								
445	445	Plumbing Top Out	36 days	Wed 11/2/22	Fri 12/23/22								
446	446	Plumbing Test and Inspection	1 day	Tue 12/6/22	Tue 12/6/22								
447	447	Plumbing Trash Enclosure	2 days	Wed 6/21/23	Thu 6/22/23								
448	448	Clubhouse E0.3 Demo/Investigation	7 days	Mon 8/15/22	Tue 8/23/22								
449	449	Clubhouse E 3.1 Rough-In Power conduits.	10 days	Mon 8/22/22	Tue 4/23/24								
450	450	Clubhouse E3.1 Rough-in conduit & pull conduct	10 days	Wed 3/15/23	Tue 3/12/24								
451	451	Clubhouse E 3.1 Rough-In Data/Security/& Fire /8 days		Mon 3/13/23	Wed 4/17/24								
452	452	Clubhouse E2.1 Rough-In Lighting/ Lighting Cont	15 days	Tue 3/7/23	Thu 4/18/24								
453	453	Clubhouse E2.1 Rough-In HVAC conduits	4 days	Wed 4/5/23	Thu 4/18/24								
454	454	Clubhouse E0.2 Single line	10 days	Wed 3/15/23	Fri 4/19/24								
455	455	HVAC Layout	10 days	Mon 9/26/22	Tue 11/29/22								
456	456	HVAC Hangars/Supports	3 days	Wed 11/30/22	Fri 12/2/22								
457	457	Revise Fence at Utility Yard	0 days	Fri 7/22/22	Fri 7/22/22								
458	458	V3 ASI 01	0 days	Fri 7/22/22	Fri 7/22/22								
459	459	HVAC Unit/Duct/Damper Install	15 days	Thu 9/29/22	Mon 4/22/24								
460	460	Hang Drywall	5 days	Tue 1/23/24	Mon 4/22/24								
461	461	Insulation	2 days	Wed 1/17/24	Fri 1/26/24								
462	462	Tape and Finish Drywall	10 days	Fri 1/26/24	Tue 4/23/24								
463	463	Paint	7 days	Tue 4/23/24	Thu 5/2/24								
464	464	Clubhouse E2.1 Pull conductors install trim	7 days	Thu 5/2/24	Mon 5/13/24								
465	465	Clubhouse E2.1 Pull conductors and install disco	6 days	Thu 5/2/24	Fri 5/10/24								
466	466	CT-1	2 days	Thu 5/2/24	Mon 5/6/24								
467	467	CT-2	20 days	Mon 5/6/24	Tue 6/4/24								
468	468	Fire Sprinkler Finish	5 days	Mon 5/6/24	Mon 5/13/24								
469	469	Clubhouse E2.1 Pull conductors install lights	12 days	Tue 6/4/24	Thu 6/20/24								
470	470	HVAC Finish	2 days	Mon 5/6/24	Wed 5/8/24								
471	471	HVAC Commissioning	3 days	Fri 5/10/24	Wed 5/15/24								

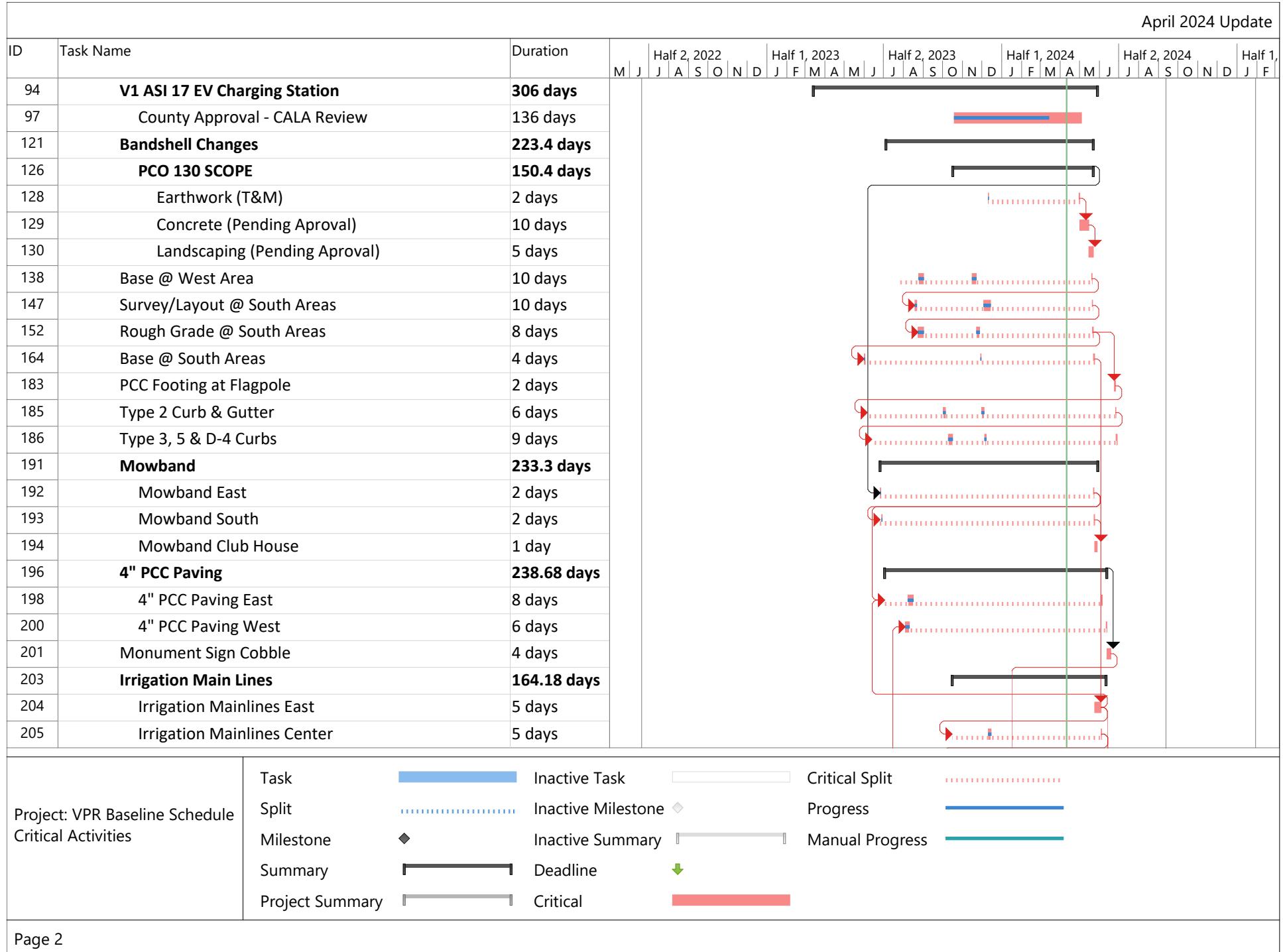


ID	ID	Task Name	Duration	Start	Finish	22 M J	Half 2, 2022 J A S O N D	Half 1, 2023 J F M A M J	Half 2, 2023 J A S O N D	Half 1, 2024 J F M A M J	Half 2, 2024 J A S O N D	Half 1, 2025 J F M A M J	
472	472	Flooring	10 days	Wed 5/15/24	Thu 5/30/24								
473	473	Refinish Hall Flooring	7 days	Tue 6/4/24	Thu 6/13/24								
474	474	SF-1	2 days	Thu 6/13/24	Mon 6/17/24								
475	475	Add Alt Kitchen Equipment	3 days	Thu 5/30/24	Tue 6/4/24								
476	476	Plumbing Kitchen	5 days	Tue 6/4/24	Tue 6/11/24								
477	477	Plumbing Finish	5 days	Tue 6/11/24	Tue 6/18/24								
478	478	Plumbing Clorination	1 day	Tue 6/18/24	Wed 6/19/24								
479	479	Plumbing Finish Inspection	1 day	Wed 6/19/24	Thu 6/20/24								
480	480	Hang Doors	5 days	Thu 6/13/24	Thu 6/20/24								
481	481	Fire Alarm Finish	15 days	Thu 6/20/24	Fri 7/12/24								
482	482	Door Hardware Install	10 days	Thu 6/20/24	Fri 7/5/24								
483	483	Access Control Install	6 days	Fri 7/5/24	Mon 7/15/24								
484	484	FLS Startup and Testing	5 days	Mon 7/15/24	Mon 7/22/24								
485	485	Stair, Ramp & Pilaster Footings	8 days	Mon 2/5/24	Thu 6/20/24								
486	486	CMU Walls	7 days	Tue 5/30/23	Mon 6/24/24								
487	487	CMU Pilasters	3 days	Wed 5/31/23	Wed 6/26/24								
488	488	Steel Erection	15 days	Wed 11/1/23	Mon 7/1/24								
489	489	Stucco Patchback	7 days	Mon 7/1/24	Thu 7/11/24								
490	490	Concrete Ramps	3 days	Thu 2/22/24	Wed 6/26/24								
491	491	Slab-on-Metal Deck	2 days	Thu 3/7/24	Tue 7/2/24								
492	492	Fill at Metal Stairs	2 days	Tue 7/2/24	Fri 7/5/24								
493	493	Entry Stair & Landings (Add Alt #2)	7 days	Fri 7/5/24	Tue 7/16/24								
494	494	Prepunch	2 days	Mon 7/22/24	Wed 7/24/24								
495	495	Building Occupancy	1 day	Wed 7/24/24	Thu 7/25/24								
496	496	V3 Complete	0 days	Thu 7/25/24	Thu 7/25/24								
497	497	Project Closeout	90 days	Thu 9/19/24	Wed 1/29/25								
498	498	Project Acceptance	0 days	Thu 9/19/24	Thu 9/19/24								
499	499	Punchlist	30 days	Fri 9/20/24	Thu 10/31/24								
500	500	Closeout	60 days	Fri 11/1/24	Wed 1/29/25								

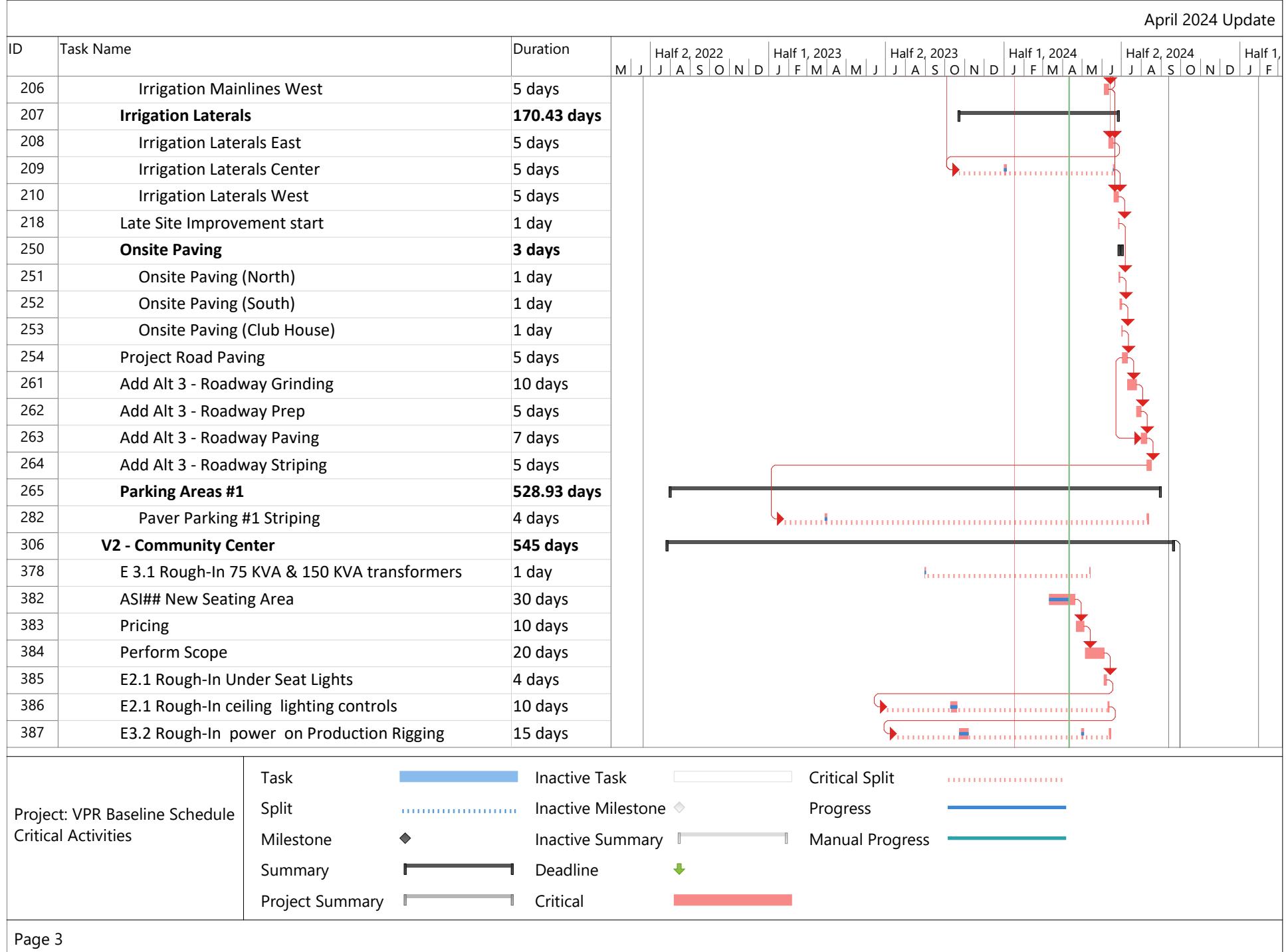
April 2024 Update



April 2024 Update

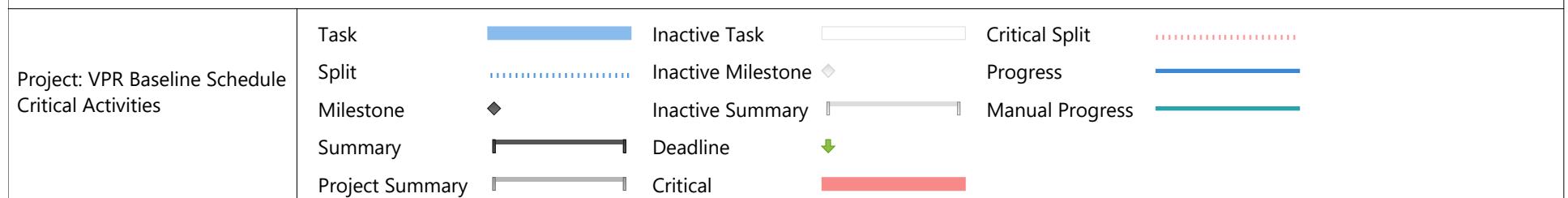


April 2024 Update



April 2024 Update

ID	Task Name	Duration	M	J	Half 2, 2022 J A S O N D	Half 1, 2023 J F M A M J	Half 2, 2023 J A S O N D	Half 1, 2024 J F M A M J	Half 2, 2024 J A S O N D	Half 1, 2025 J F	
396	Paint	20 days									
399	Amphitheater pull conductors & install trim	22 days									
400	Amphitheater install sub panels	7 days									
409	HVAC Commissioning	5 days									
414	AP1,AP2 Install	25 days									
415	WP1 Install	12 days									
416	Hang Doors	7 days									
417	Door Hardware Install	10 days									
421	Access Control Install	15 days									
422	FLS Systems Startup/Testing	5 days									
423	Prepunch	2 days									
424	Building Occupancy	1 day									
425	V2 Complete	0 days									
426	V3 - Clubhouse	532.05 days									
451	Clubhouse E 3.1 Rough-In Data/Security/& Fire Alarm	8 days									
452	Clubhouse E2.1 Rough-In Lighting/ Lighting Control	15 days									
453	Clubhouse E2.1 Rough-In HVAC conduits	4 days									
459	HVAC Unit/Duct/Damper Install	15 days									
485	Stair, Ramp & Pilaster Footings	8 days									
486	CMU Walls	7 days									
497	Project Closeout	90 days									
498	Project Acceptance	0 days									
499	Punchlist	30 days									
500	Closeout	60 days									



ALLOWANCE EXPENDITURE DIRECTIVE FORM

Fair Oaks Recreation & Park District
4150 Temescal Street
Fair Oaks, CA 95628

**ALLOWANCE
EXPENDITURE
DIRECTIVE NO.:**

036 (V3)

ALLOWANCE EXPENDITURE DIRECTIVE

Project: Village Park Renovation

Date: 04/08/24

Bid No.: BP 21-103

The following parties agree to the terms of this Allowance Expenditure Directive ("AED"):

Owner Name, Address, Telephone:

Fair Oaks Recreation & Park District
4150 Temescal Street
Fair Oaks, CA 95628
(916) 966-1036

Contractor Name, Address, Telephone:

Bobo Construction, Inc.
9722 Kent Street
Elk Grove, CA 95624
(916) 383-7777

Reference	Description	Allowance Authorized for Expenditure
PCO 073.3 Requested by: Performed by: Reason: RFI 169	Upper Level Cold Water Pipe Size Owner Contractor Increased Water Piping size to 1 st Floor Flush Valves	\$1,022.00
PCO 162 Requested by: Performed by: Reason: ASI 011	Drinking Fountain Lower Level Owner Contractor ASI 011 called for the provision of Drinking Fountain and extended carrier.	\$6,416.00

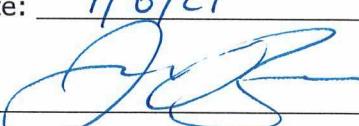
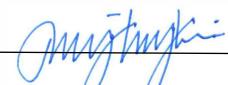
Total Contract Allowance Amount:	\$1,800,000.00
Amount of Previously Approved Allowance Expenditure Directive(s):	\$1,316,642.00
Amount of this Allowance Expenditure Directive:	\$7,438.00

The undersigned Contractor approves the foregoing release of allowance for completion of each specified item, and agrees to furnish all labor, materials and services and perform all work necessary to complete any additional work specified for the consideration stated therein ("Work"). Submission of sums which have no basis in fact or which Contractor knows are false are at the sole risk of Contractor and may be a violation of the False Claims Act set forth under Government Code section 12650, et seq.

This Allowance Expenditure Directive must be signed by an authorized District representative.

It is expressly understood that the authorized allowance expenditure granted herein represent a full accord and satisfaction for any and all cost impacts of the items herein, and Contractor waives any and all further compensation based on the items herein. The value of the extra work or changes expressly includes any and all of the Contractor's costs and expenses, and its subcontractors, both direct and indirect. Any costs, expenses, or damages not included are deemed waived.

Signatures:

DISTRICT: FAIR OAKS RECREATION & PARK DISTRICT Date: <u>4/9/24</u> By: <u>Michael J. Aho</u> <u>Michael J. Aho-District Administrator</u> [Print Name and Title here]	CONTRACTOR: Bobo Construction, Inc. Date: <u>4/8/24</u> By:  <u>Juan Bamarza Pm</u> [Print Name and Title here]
ARCHITECT: WMB WMB Architects: Tim Mattheis Date: <u>April 9, 2024</u> By:  <u>Timothy Mattheis- Architect</u> [Print Name and Title here]	LANDSCAPE ARCHITECT: CALA Melissa Ruth Date: _____ By: _____ [Print Name and Title here]

END OF DOCUMENT



Sol Rivas
1/22/24

PCO #073.3

Bobo Construction Inc.
9722 Kent Street
Elk Grove, California 95624
Phone: (916) 383-7777

Project: 3258 - Village Park Renovations Project
7997 California Ave
Fair Oaks, California 95628

Prime Contract Potential Change Order #073: RFI #169: V3 - Upper Level Cold Water Pipe Size

TO:	Fair Oaks Recreation and Parks District 4150 Temescal Street Fair Oaks, California 95628	FROM:	Bobo Construction, Inc. 9722 Kent Street Suite A Elk Grove, California 95624
PCO NUMBER/REVISION:	073 / 3	CONTRACT:	BP#21-103 - Village Park Prime Contract
REQUEST RECEIVED FROM:		CREATED BY:	Juan Barraza (Bobo Construction, Inc.)
STATUS:	Pending - In Review	CREATED DATE:	12/30/2022
REFERENCE:		PRIME CONTRACT CHANGE ORDER:	None
FIELD CHANGE:	No		
LOCATION:		ACCOUNTING METHOD:	Amount Based
SCHEDULE IMPACT:		PAID IN FULL:	No
EXECUTED:	No	SIGNED CHANGE ORDER RECEIVED DATE:	
		TOTAL AMOUNT:	\$1,022.00

POTENTIAL CHANGE ORDER TITLE: RFI #169: V3 - Upper Level Cold Water Pipe Size

CHANGE REASON: Design Development

POTENTIAL CHANGE ORDER DESCRIPTION: (*The Contract Is Changed As Follows*)
CE #079 - #169: V3 - Upper Level Cold Water Pipe Size

ATTACHMENTS:

#	Budget Code	Description	Amount
1	15-118.S Plumbing.Commitment	RFI 169 Cold Water Pipe sizing	\$973.05
			Subtotal: \$973.05
Bobo Self Perform Markup (15.00% Applies to Owned Equipment, Burden, Materials, Rental Equipment, and Labor.):			\$0.00
Bobo Sub Markup (~ 5.03% Applies to Other, Professional Services, and Commitment.):			\$48.95
			Grand Total: \$1,022.00

Tim Mattheis (WMB Architects Inc)
2000 L Street, Suite 125
Sacramento, California 95811

Fair Oaks Recreation and Parks District
4150 Temescal Street
Fair Oaks, California 95628

Bobo Construction, Inc.
9722 Kent Street Suite A
Elk Grove, California 95624

SIGNATURE DATE SIGNATURE DATE SIGNATURE DATE



Mark III Construction, Inc.
5101 Florin Perkins Road
Sacramento, CA 95826
(916) 381-8080
(916) 386-0363 Fax

CHANGE ORDER REQUEST

To: Bobo Construction
9722 Kent Street
Elk Grove, CA 95624
Travis Nicholas
916-213-8738

COR Date: May 30, 2023
COR #: 017
Job Name: Village Park Renovation
Job Number: 12191

Description: Upper Level CW Pipe Size - V3

We are pleased to offer the following specifications and pricing to perform the following changes:

Per the response from RFI#169, this change order captures the labor and material to upsize the cold water from 1-1/2" to 2" to properly serve all fixtures.

Specific Exclusions:

Standard Contract Exclusions; electrical by others

THE TOTAL AMOUNT TO PROVIDE THIS WORK IS: \$ ~~1,027~~

All material pricing is valid for one week. If you have any questions, please contact me at (916) 381-8080. 973.05

Submitted by: Megan Vinitsky
Title: Project Manager
Phone: 916-768-3638
E-mail: mvinitsky@mark-three.com

CC: Nakao Kraus
nkraus@mark-three.com

Approved by: _____

Date Approved: _____



MATERIAL, LABOR, EQUIPMENT, SUBCONTRACT BREAKOUTS

Job Number: 12191

Job Name: Village Park Renovation

Customer: Bobo Construction

COR Date: May 30, 2023
COR #: 017

All material pricing is valid for one week.

DESCRIPTION	MATERIAL	LABOR			EQUIPMENT			SUBCONTRACTS			
		QTY	UNIT	MATERIAL COST	LABOR RATE	LABOR COST	UNIT COST	COST EXTENDED	QTY	UNIT COST	COST EXTENDED
2" x 1-1/2" x 2" pro press copper tee		1	EA	\$ 78.87	\$ 78.87	1.280	\$ 113.55	\$ 145.34	EA	\$ -	\$ -
2" copper pro press 45		2	EA	\$ 38.89	\$ 77.16	0.550	\$ 113.55	\$ 124.91	EA	\$ -	\$ -
2" copper pro press 90		3	EA	\$ 46.02	\$ 138.06	0.280	\$ 113.55	\$ 95.38	EA	\$ -	\$ -
2" x 1-1/2" x 1-1/2" copper pro press tee		1	EA	\$ 54.17	\$ 54.17	0.69	\$ 113.55	\$ 78.35	EA	\$ -	\$ -
2" type L copper pipe		20	FT	\$ 33.65	\$ 673.00	0.07	\$ 113.55	\$ 158.97	EA	\$ -	\$ -
2" copper sweat mpt		2	EA	\$ 19.83	\$ 39.66	0.25	\$ 113.55	\$ 56.78	EA	\$ -	\$ -
2" nibco threaded lead free ball valve		1	EA	\$ 117.21	\$ 117.21	0.81	\$ 113.55	\$ 91.98	EA	\$ -	\$ -
2" x 2" x 3/4" copper pro press tee		1	EA	\$ 61.92	\$ 61.92	0.31	\$ 113.55	\$ 35.20	EA	\$ -	\$ -
2" x 2" x 1-1/2" copper pro press tee		1	EA	\$ 49.02	\$ 49.02	0.32	\$ 113.55	\$ 36.34	EA	\$ -	\$ -
2" copper pro press coupling		1	EA	\$ 21.90	\$ 21.90	0.32	\$ 113.55	\$ 36.34	EA	\$ -	\$ -
2" copper 2 hole suspension straps		6	EA	\$ 1.22	\$ 7.12	1.00	\$ 113.55	\$ 683.00	EA	\$ -	\$ -
2" clevis hanger		2	EA	\$ 2.34	\$ 4.68	1.00	\$ 113.55	\$ 227.67	EA	\$ -	\$ -
3/8" all thread rod		10	FT	\$ 5.10	\$ 51.00	1.00	\$ 113.55	\$ 113.55	EA	\$ -	\$ -
2" x 1-1/2" x 1-1/2" pro press copper tee		1	EA	\$ (52.17)	\$ (52.17)	-1.21	\$ 113.55	\$ (137.40)	EA	\$ -	\$ -
1-1/2" copper pro press 45		2	EA	\$ (19.57)	\$ (39.14)	-0.24	\$ 113.55	\$ (54.50)	EA	\$ -	\$ -
1-1/2" copper pro press 90		3	EA	\$ (20.21)	\$ (60.63)	-0.24	\$ 113.55	\$ (81.76)	EA	\$ -	\$ -
2" x 1-1/2" x 1-1/2" copper pro press tee		1	EA	\$ (52.17)	\$ (52.17)	-0.27	\$ 113.55	\$ (30.66)	EA	\$ -	\$ -
1-1/2" type L copper pipe		20	EA	\$ (26.36)	\$ (527.40)	-0.07	\$ 113.55	\$ (158.97)	EA	\$ -	\$ -
1-1/2" copper sweat mpt		2	EA	\$ (8.74)	\$ (17.49)	-0.18	\$ 113.55	\$ (40.88)	EA	\$ -	\$ -
1-1/2" nibco threaded lead free ball valve		1	EA	\$ (85.66)	\$ (85.66)	-0.79	\$ 113.55	\$ (89.70)	EA	\$ -	\$ -
1-1/2" x 1-1/2" x 3/4" copper pro press tee		1	EA	\$ (29.27)	\$ (29.27)	-0.27	\$ 113.55	\$ (30.66)	EA	\$ -	\$ -
1-1/2" copper pro press coupling		1	EA	\$ (10.60)	\$ (10.60)	-0.19	\$ 113.55	\$ (21.57)	EA	\$ -	\$ -
1-1/2" copper 2 hole suspension straps		6	EA	\$ (0.85)	\$ (5.10)	-0.90	\$ 113.55	\$ (61.31)	EA	\$ -	\$ -
1-1/2" clevis hanger		2	EA	\$ (1.27)	\$ (2.54)	-0.90	\$ 113.55	\$ (204.39)	EA	\$ -	\$ -
3/8" all thread rod		10	FT	\$ (4.15)	\$ (41.50)	-1.00	\$ 113.55	\$ (113.55)	EA	\$ -	\$ -
SUBTOTAL:				\$ 451.13			\$ 306.59				

Copper Pro Press Tee \$54.17 - \$52.17 = \$2

3/8" All Thread Rod \$51 - \$41.50 = \$9.50

Subtotal Material \$451.13 - \$2 - \$9.50 = \$439.63

ADJUSTMENTS
Material
Labor
SUBTOTAL:

MISC. DIRECT COSTS
Freight/Delivery Charges
SUBTOTAL:

MARKUPS
Overhead
Profit
Other
SUBTOTAL:

%
10.000%
5.000%
SUBTOTAL:

\$ 439.63
\$ 306.49
\$ 746.12

THE TOTAL AMOUNT TO PROVIDE THIS WORK IS:

\$ 746.12 \$ 973.05



RFI #169: V3 - Upper Level Cold Water Pipe Size

Status	Open		
To	Tara Mendoza (WMB Architects Inc)	From	Gage Burget (Bobo Construction, Inc.) 9722 Kent StreetSte. A Elk Grove, California 95624
Date Initiated	Dec 8, 2022	Due Date	Dec 15, 2022
Location	Clubhouse		
Cost Impact	TBD	Schedule Impact	No
Drawing Number	P2.0	Reference	
Linked Drawings	P2.0		
Received From	Alyse Sheffield (Mark III Construction, Inc.)		
Copies To	Juan Barraza (Bobo Construction, Inc.), Gage Burget (Bobo Construction, Inc.), David Fukui (Innovative Construction Services, Inc.), Ed Hight (Innovative Construction Services, Inc.), Rick Hureaux (Innovative Construction Services, Inc.), Tim Mattheis (WMB Architects Inc), Travis Nicholas (Bobo Construction, Inc.), Joel Rehbein (WMB Architects Inc), John Rivera (Innovative Construction Services, Inc.), John Schmitz (Bobo Construction, Inc.), Nick Valentine (Innovative Construction Services, Inc.), Jason Winnie (Bobo Construction, Inc.)		
Urgency	Urgent		

Activity

Question	Question from Gage Burget Bobo Construction, Inc. on Thursday, Dec 8, 2022 at 10:05 AM PST We have received the following from Mark III: Contract drawing 3/P2.0 calls for a new 1-1/2" CW line rise to 1st floor. Per code, this line needs to be up-sized to 2" in order to feed the (4) flush valves on the first floor. Please confirm Mark III can install a 2" CW line from the lower level to the 1st floor in order to meet code requirements.
	Attachments V3-RFI 169 - Upper Level Cold Water Pipe Size.pdf

Awaiting an Official Response

All Replies	Response from Travis Nicholas Bobo Construction, Inc. on Thursday, Dec 15, 2022 at 10:19 AM PST Per RFI 110 the distance of the 2" supply from meter to building will be about 355ft which will likely change these calcs.
	Response from Tara Mendoza WMB Architects Inc on Thursday, Dec 15, 2022 at 09:17 AM PST See attached response from PEOR

Attachments
[RFI #169-1_Upper Level Cold Water Pipe Size - PEOR Response.pdf](#)

Response from Gage Burget Bobo Construction, Inc. on Wednesday, Dec 14, 2022 at 06:16 AM PST Please see the following from Mark III: In speaking with the team, we assumed a pressure range 30-45psi with at least 150ft from the meter to the building. Based on this, 1-1/2" branch line only allows 80 fixture units when we will need 105. Can you advise if our assumptions about the PSI and length from meter to building are correct or not?

Response from Tara Mendoza WMB Architects Inc on Tuesday, Dec 13, 2022 at 07:53 AM PST

See attached for response from PEOR

Attachments

[RFI #169_Upper Level Cold Water Pipe Size - PEOR Response.pdf](#)

Based on a meter distance of 355', a 1-1/2"Ø CW line will serve 21 fixture units. Line serving the second floor restrooms will therefore need to be upsized to 2"Ø, which can serve 116 fixture units.

N. Mast, Nexus Engineering
12-21-2022



BOBO
CONSTRUCTION, INC.

Bobo Construction Inc.
9722 Kent Street
Elk Grove, California 95624
P: (916) 383-7777

Project: 3258 Village Park Renovations Project
7997 California Ave
Fair Oaks, California 95628

RFI #169: V3 - Upper Level Cold Water Pipe Size

Status	Open		
To	Tara Mendoza (WMB Architects Inc)	From	Gage Burget (Bobo Construction, Inc.) 9722 Kent StreetSte. A Elk Grove, California 95624
Date Initiated	Dec 8, 2022	Due Date	Dec 15, 2022
Location	Clubhouse		
Cost Impact	TBD	Schedule Impact	No
Drawing Number	P2.0	Reference	
Linked Drawings			
Received From	Alyse Sheffield (Mark III Construction, Inc.)		
Copies To	Juan Barraza (Bobo Construction, Inc.), Gage Burget (Bobo Construction, Inc.), David Fukui (Innovative Construction Services, Inc.), Ed Hight (Innovative Construction Services, Inc.), Rick Hureaux (Innovative Construction Services, Inc.), Tim Mattheis (WMB Architects Inc), Travis Nicholas (Bobo Construction, Inc.), Joel Rehbein (WMB Architects Inc), John Rivera (Innovative Construction Services, Inc.), John Schmitz (Bobo Construction, Inc.), Nick Valentine (Innovative Construction Services, Inc.), Jason Winnie (Bobo Construction, Inc.)		
Urgency	Urgent		
Activity			
Question	Question from Gage Burget Bobo Construction, Inc. on Thursday, Dec 8, 2022 at 10:05 AM PST We have received the following from Mark III: Contract drawing 3/P2.0 calls for a new 1-1/2" CW line rise to 1st floor. Per code, this line needs to be up-sized to 2" in order to feed the (4) flush valves on the first floor. Please confirm Mark III can install a 2" CW line from the lower level to the 1st floor in order to meet code requirements.		
Attachments	V3-RFI 169 - Upper Level Cold Water Pipe Size.pdf		

Awaiting an Official Response

All Replies	Response from Gage Burget Bobo Construction, Inc. on Wednesday, Dec 14, 2022 at 06:16 AM PST Please see the following from Mark III: In speaking with the team, we assumed a pressure range 30-45psi with at least 150ft from the meter to the building. Based on this, 1-1/2" branch line only allows 80 fixture units when we will need 105. Can you advise if our assumptions about the PSI and length from meter to building are correct or not?
	Response from Tara Mendoza WMB Architects Inc on Tuesday, Dec 13, 2022 at 07:53 AM PST See attached for response from PEOR Attachments RFI #169_Upper Level Cold Water Pipe Size - PEOR Response.pdf

Meter location is within 150' of the building based on coordination with civil engineering. During design, we confirmed with the Fair Oaks Water District that the water pressure in the area is 67 PSI, which was used for the calculations. Based on this, the 1-1/2"ø line is sufficient for the fixtures served on the second floor. The difference between 130' and 150' did not affect the calculation. In general, a larger pipe size is acceptable as it will result in a smaller pressure drop.



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Fair Oaks, California 95628

RFI #169: V3 - Upper Level Cold Water Pipe Size

Status	Open		
To	Tara Mendoza (WMB Architects Inc)	From	Gage Burget (Bobo Construction, Inc.) 9722 Kent Street Ste. A Elk Grove, California 95624
Date Initiated	Dec 8, 2022	Due Date	Dec 15, 2022
Location	Clubhouse		
Cost Impact	TBD	Schedule Impact	No
Drawing Number	P2.0	Reference	
Linked Drawings			
Received From	Alyse Sheffield (Mark III Construction, Inc.)		
Copies To	Juan Barraza (Bobo Construction, Inc.), Gage Burget (Bobo Construction, Inc.), David Fukui (Innovative Construction Services, Inc.), Ed Hight (Innovative Construction Services, Inc.), Rick Hureaux (Innovative Construction Services, Inc.), Tim Mattheis (WMB Architects Inc), Travis Nicholas (Bobo Construction, Inc.), Joel Rehbein (WMB Architects Inc), John Rivera (Innovative Construction Services, Inc.), John Schmitz (Bobo Construction, Inc.), Nick Valentine (Innovative Construction Services, Inc.), Jason Winnie (Bobo Construction, Inc.)		
Urgency	Urgent		
Activity			
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Attachments	V3-RFI 169 - Upper Level Cold Water Pipe Size.pdf		

Awaiting an Official Response

Please reference Sheet P0.0 (dtd 03.26.21) "Domestic Water Sizing Calculation" for maximum fixtures units serving flush valve fixtures. Per this calculation, a 1-1/2"Ø cold water line is sufficient to serve the first floor restroom fixtures. A 2"Ø cold water line is an acceptable alternative. Please clarify which code requirements limit a 1-1/2"Ø to (2) flush valve fixtures.

N. Mast, Nexus Engineering
12-12-2022



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CONSTRUCTION, INC.

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Elk Grove, California 95624
P: (916) 383-7777

Project: 3258 Village Park Renovations Project
7997 California Ave
Fair Oaks, California 95628

RFI #: V3 - Upper Level Cold Water Pipe Size

Status Draft

To Tara Mendoza (WMB Architects Inc) **From** Gage Burget (Bobo Construction, Inc.)
9722 Kent StreetSte. A
Elk Grove, California 95624

Date Initiated **Due Date**

Location Clubhouse

Cost Impact TBD **Schedule Impact** No

Drawing Number P2.0 **Reference**

Linked Drawings

Received From Alyse Sheffield (Mark III Construction, Inc.)

Copies To

Urgency Urgent

Activity

Question Question from Gage Burget Bobo Construction, Inc. on Thursday, Dec 8, 2022 at 10:05 AM PST

We have received the following from Mark III:

Contract drawing 3/P2.0 calls for a new 1-1/2" CW line rise to 1st floor. Per code, this line needs to be up-sized to 2" in order to feed the (4) flush valves on the first floor. Please confirm Mark III can install a 2" CW line from the lower level to the 1st floor in order to meet code requirements.

Attachments

[RFI#020_Upper Level Cold Water Pipe Size - V3.pdf](#)

Awaiting an Official Response



REQUEST FOR INFORMATION

Priority:

Urgent

Expedite

Normal

Job Number: 12191

RFI Number: 020

Trade Impacted: Plumbing

Todays Date: 12/8/2022

Date Response Req: ASAP

TO : Bobo Construction

ATTN: Gage Burget

FROM: Alyse Sheffield

Reference:

SHOP DRAWING REF: N/A CONTRACT DRAWING REF: 3/P2.0

SPECIFICATION REF: _____

SUBJECT:

Upper Level Cold Water Pipe Size - V3

CONDITION:

Contract drawing 3/P2.0 calls for a new 1-1/2" CW line rise to 1st floor. Per code, this line needs to be up-sized to 2" in order to feed the (4) flush valves on the first floor. Please confirm Mark III can install a 2" CW line from the lower level to the 1st floor in order to meet code requirements.

REPLY:

ANSWERED BY: **TIME IMPACT:** **NO**

DATE: **COST IMPACT:** **TBD**



BOBO
CONSTRUCTION, INC.

Bobo Construction Inc.
9722 Kent Street
Elk Grove, California 95624
P: (916) 383-7777

Project: 3258 Village Park Renovations Project
7997 California Ave
Fair Oaks, California 95628

RFI #: V3 - Upper Level Cold Water Pipe Size

Status Draft

To Tara Mendoza (WMB Architects Inc) **From** Gage Burget (Bobo Construction, Inc.)
9722 Kent StreetSte. A
Elk Grove, California 95624

Date Initiated **Due Date**

Location Clubhouse

Cost Impact TBD **Schedule Impact** No

Drawing Number P2.0 **Reference**

Linked Drawings

Received From Alyse Sheffield (Mark III Construction, Inc.)

Copies To

Urgency Urgent

Activity

Question Question from Gage Burget Bobo Construction, Inc. on Thursday, Dec 8, 2022 at 10:05 AM PST

We have received the following from Mark III:

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Attachments

[RFI#020_Upper Level Cold Water Pipe Size - V3.pdf](#)

Awaiting an Official Response



REQUEST FOR INFORMATION

Priority:

Urgent

Expedite

Normal

Job Number: 12191

RFI Number: 020

Trade Impacted: Plumbing

Todays Date: 12/8/2022

Date Response Req: ASAP

TO : Bobo Construction

ATTN: Gage Burget

FROM: Alyse Sheffield

Reference:

SHOP DRAWING REF: N/A CONTRACT DRAWING REF: 3/P2.0

SPECIFICATION REF: _____

SUBJECT:

Upper Level Cold Water Pipe Size - V3

CONDITION:

Contract drawing 3/P2.0 calls for a new 1-1/2" CW line rise to 1st floor. Per code, this line needs to be up-sized to 2" in order to feed the (4) flush valves on the first floor. Please confirm Mark III can install a 2" CW line from the lower level to the 1st floor in order to meet code requirements.

REPLY:

ANSWERED BY:

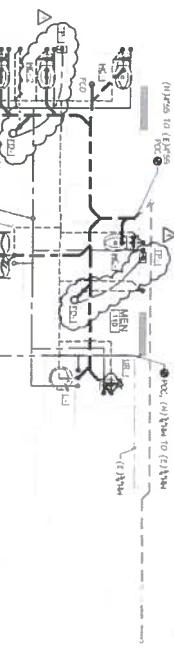
TIME IMPACT: NO

DATE:

COST IMPACT: TBD

**WMB
ARCHITECTS**

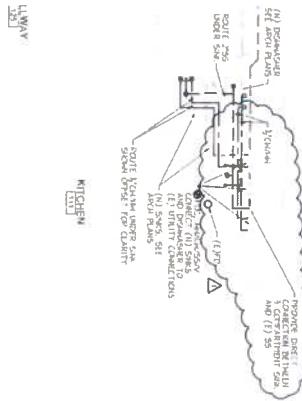
5157 Pacific Avenue
Suite 220
Stockton, CA 95207
209.944.9110
Sacramento, CA 95811
209.944.5711
F 209.944.5711
www.wmbarchitects.com



PLUMBING - MAIN FLOOR PLAN



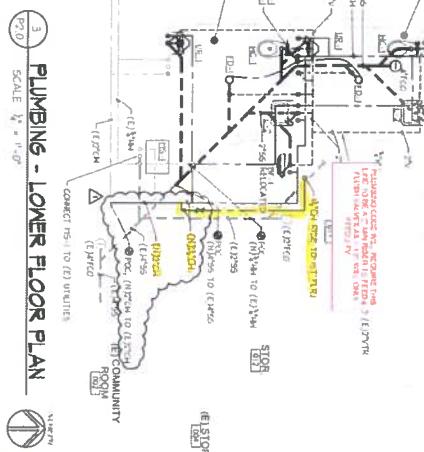
KITCHEN



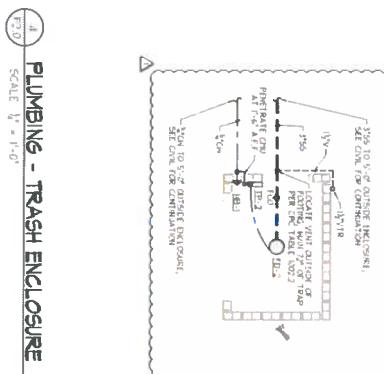
PLUMBING - KITCHEN FLOOR PLAN



KITCHEN



PLUMBING - LOWER FLOOR PLAN



PLUMBING - TRASH ENCLOSURE



REVIEWED
By George Zimmerman at 11:34 AM, April 16, 2011

nexXus

Engineering Services

Architectural Services

Land Surveying Services

Geotechnical Services

Environmental Services

Planning Services

Construction Services

Project Management Services

JOB	045192021 11:42 am
WMB PROJECT	20-013

P2.0



PUBLISH HISTORY

DATE PUBLISHED:
12/23/2010
BY: nEXXUS INC.
1000 N. MARKET ST.
PHILADELPHIA, PA 19103



BOBO
CONSTRUCTION, INC.

Bobo Construction Inc.
9722 Kent Street
Elk Grove, California 95624
P: (916) 383-7777

Project: 3258 Village Park Renovations Project
7997 California Ave
Fair Oaks, California 95628

RFI #169: V3 - Upper Level Cold Water Pipe Size

Status	Open		
To	Tara Mendoza (WMB Architects Inc)	From	Gage Burget (Bobo Construction, Inc.) 9722 Kent Street Ste. A Elk Grove, California 95624
Date Initiated	Dec 8, 2022	Due Date	Dec 15, 2022
Location	Clubhouse		
Cost Impact	TBD	Schedule Impact	No
Drawing Number	P2.0	Reference	
Linked Drawings			
Received From	Alyse Sheffield (Mark III Construction, Inc.)		
Copies To	Juan Barraza (Bobo Construction, Inc.), Gage Burget (Bobo Construction, Inc.), David Fukui (Innovative Construction Services, Inc.), Ed Hight (Innovative Construction Services, Inc.), Rick Hureaux (Innovative Construction Services, Inc.), Tim Mattheis (WMB Architects Inc), Travis Nicholas (Bobo Construction, Inc.), Joel Rehbein (WMB Architects Inc), John Rivera (Innovative Construction Services, Inc.), John Schmitz (Bobo Construction, Inc.), Nick Valentine (Innovative Construction Services, Inc.), Jason Winnie (Bobo Construction, Inc.)		
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Activity			
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Attachments	V3-RFI 169 - Upper Level Cold Water Pipe Size.pdf		

Awaiting an Official Response

Please reference Sheet P0.0 (dtd 03.26.21) "Domestic Water Sizing Calculation" for maximum fixtures units serving flush valve fixtures. Per this calculation, a 1-1/2"Ø cold water line is sufficient to serve the first floor restroom fixtures. A 2"Ø cold water line is an acceptable alternative. Please clarify which code requirements limit a 1-1/2"Ø to (2) flush valve fixtures.

N. Mast, Nexus Engineering
12-12-2022



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Fair Oaks, California 95628

RFI #: V3 - Upper Level Cold Water Pipe Size

Status	Draft				
To	Tara Mendoza (WMB Architects Inc)	From	Gage Burget (Bobo Construction, Inc.) 9722 Kent StreetSte. A Elk Grove, California 95624		
Date Initiated	Due Date				
Location	Clubhouse				
Cost Impact	TBD	Schedule Impact	No		
Drawing Number	P2.0	Reference			
Linked Drawings					
Received From	Alyse Sheffield (Mark III Construction, Inc.)				
Copies To					
Urgency	Urgent				
Activity					
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Attachments	RFI#020_Upper Level Cold Water Pipe Size - V3.pdf				
<i>Awaiting an Official Response</i>					



REQUEST FOR INFORMATION

Priority:

Urgent

Expedite

Normal

Job Number: 12191

RFI Number: 020

Trade Impacted: Plumbing

Todays Date: 12/8/2022

Date Response Req: ASAP

TO : Bobo Construction

ATTN: Gage Burget

FROM: Alyse Sheffield

Reference:

SHOP DRAWING REF: N/A CONTRACT DRAWING REF: 3/P2.0

SPECIFICATION REF: _____

SUBJECT:

Upper Level Cold Water Pipe Size - V3

CONDITION:

Contract drawing 3/P2.0 calls for a new 1-1/2" CW line rise to 1st floor. Per code, this line needs to be up-sized to 2" in order to feed the (4) flush valves on the first floor. Please confirm Mark III can install a 2" CW line from the lower level to the 1st floor in order to meet code requirements.

REPLY:

ANSWERED BY: **TIME IMPACT:** **NO**

DATE: **COST IMPACT:** **TBD**

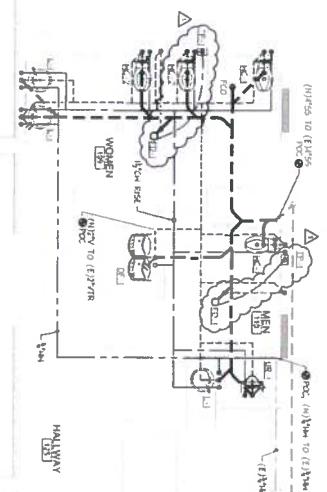


**WMB
ARCHITECTS**

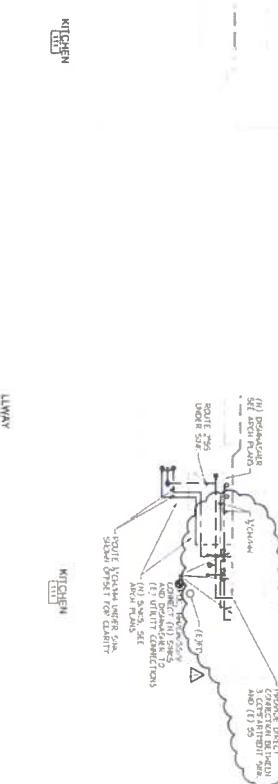
5157 Pacific Avenue
Suite 226
Stockton, CA 95207

20001 Sweet
Suite 125
Sacramento, CA 95811

T 209 944 9110
F 209 944 5711
www.wmbarchitects.com



1 PLUMBING - MAIN FLOOR PLAN
SCALE: $\frac{1}{4}'' = 1'-0''$

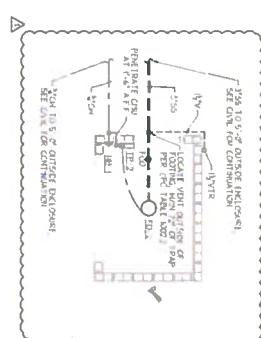


2 PLUMBING - KITCHEN FLOOR PLAN
SCALE: $\frac{1}{4}'' = 1'-0''$

COMMUNITY
CLUBHOUSE
111 S. CALIFORNIA AVE
FIREDALE, CA 95232

PLUMBING
PULL-OUT PLAN

NOT FOR CONSTRUCTION



3 PLUMBING - LOWER FLOOR PLAN
SCALE: $\frac{1}{4}'' = 1'-0''$

4 PLUMBING - TRASH ENCLOSURE
SCALE: $\frac{1}{4}'' = 1'-0''$

REVIEWED
By George Zemelovitz et 111 S. Cal, Apr 18, 2021



JOB
#41652211 142 mm
WMB PROJECT
20-013

P2.0



BOBO
CONSTRUCTION, INC.

Bobo Construction Inc.
9722 Kent Street
Elk Grove, California 95624
P: (916) 383-7777

Project: 3258 Village Park Renovations Project
7997 California Ave
Fair Oaks, California 95628

RFI #: V3 - Upper Level Cold Water Pipe Size

Status Draft

To Tara Mendoza (WMB Architects Inc) **From** Gage Burget (Bobo Construction, Inc.)
9722 Kent StreetSte. A
Elk Grove, California 95624

Date Initiated **Due Date**

Location Clubhouse

Cost Impact TBD **Schedule Impact** No

Drawing Number P2.0 **Reference**

Linked Drawings

Received From Alyse Sheffield (Mark III Construction, Inc.)

Copies To

Urgency Urgent

Activity

Question Question from Gage Burget Bobo Construction, Inc. on Thursday, Dec 8, 2022 at 10:05 AM PST

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Attachments

[RFI#020_Upper Level Cold Water Pipe Size - V3.pdf](#)

Awaiting an Official Response



REQUEST FOR INFORMATION

Priority:

Urgent

Expedite

Normal

Job Number: 12191

RFI Number: 020

Trade Impacted: Plumbing

Todays Date: 12/8/2022

Date Response Req: ASAP

TO : Bobo Construction

ATTN: Gage Burget

FROM: Alyse Sheffield

Reference:

SHOP DRAWING REF: N/A CONTRACT DRAWING REF: 3/P2.0

SPECIFICATION REF: _____

SUBJECT:

Upper Level Cold Water Pipe Size - V3

CONDITION:

Contract drawing 3/P2.0 calls for a new 1-1/2" CW line rise to 1st floor. Per code, this line needs to be up-sized to 2" in order to feed the (4) flush valves on the first floor. Please confirm Mark III can install a 2" CW line from the lower level to the 1st floor in order to meet code requirements.

REPLY:

ANSWERED BY: **TIME IMPACT:** **NO**

DATE: **COST IMPACT:** **TBD**



Sol Rivero
4/5/24

PCO #162

Bobo Construction Inc.
9722 Kent Street
Elk Grove, California 95624
Phone: (916) 383-7777

Project: 3258 - Village Park Renovations Project
7997 California Ave
Fair Oaks, California 95628

Prime Contract Potential Change Order #162: V3 ASI 11 - Lower Lever Drinking Fountain

TO:	Fair Oaks Recreation and Parks District 4150 Temescal Street Fair Oaks, California 95628	FROM:	Bobo Construction, Inc. 9722 Kent Street Suite A Elk Grove, California 95624
PCO NUMBER/REVISION:	162 / 0	CONTRACT:	BP#21-103 - Village Park Prime Contract
REQUEST RECEIVED FROM:		CREATED BY:	Juan Barraza (Bobo Construction, Inc.)
STATUS:	Pending - In Review	CREATED DATE:	1/30/2024
REFERENCE:		PRIME CONTRACT CHANGE ORDER:	None
FIELD CHANGE:	No	ACCOUNTING METHOD:	Amount Based
LOCATION:		PAID IN FULL:	No
SCHEDULE IMPACT:	5 days	SIGNED CHANGE ORDER RECEIVED DATE:	
EXECUTED:	No	TOTAL AMOUNT:	\$6,568.00

POTENTIAL CHANGE ORDER TITLE: V3 ASI 11 - Lower Lever Drinking Fountain

CHANGE REASON: Design Development

POTENTIAL CHANGE ORDER DESCRIPTION: (The Contract Is Changed As Follows)

CE #197 - V3 ASI 11 - Lower Lever Drinking Fountain

Provide a high low drinking fountain to match the previously approved main level hi low drinking fountain

Provide extended carrier wall and wing wall with framed gyp bd soffit above.

Refer also to project accessibility details for drinking fountain installation.

Revised drawings attached. Marked Delta

ATTACHMENTS:

[ASI # V3-11 LOWER LEVEL DRINKING FOUNTAIN.pdf](#)

#	Budget Code	Description	Amount
1	9-259.S Gypsum Wallboard.Commitment	V3 ASI 011	\$638.00
2	16-116.S Electrical.Commitment	V3 ASI 011	\$587.29
3	15-118.S Plumbing.Commitment	V3 ASI 011	\$4,251.00
4	1-15.L General Laborer.Labor	V3 ASI 011	\$711.37
		Subtotal:	\$6,187.66
			\$6042.9
		Bobo Self Perform Markup (15.00% Applies to Labor, Rental Equipment, Materials, Burden, and Owned Equipment.):	\$106.71
		Bobo Sub Markup (5.00% Applies to Commitment, Professional Services, and Other.):	\$273.63
		Grand Total:	\$6,568.00
			\$6416.27



BOBO
CONSTRUCTION, INC.

PCO #162

Tim Mattheis (WMB Architects Inc)
2000 L Street, Suite 125
Sacramento, California 95811

Fair Oaks Recreation and Parks District
4150 Temescal Street
Fair Oaks, California 95628

Bobo Construction, Inc.
9722 Kent Street Suite A
Elk Grove, California 95624

SIGNATURE

DATE

SIGNATURE

DATE

SIGNATURE

DATE

Quote Worksheet
Fair Oaks Village Park

Date: 2-14-24

DCD PC4

CE 197

Company Name: Delta City Drywall

Estimator:

added drywall and finish per the CE

Labor:			
DESCRIPTION	LABOR RATE	HOURS	AMOUNT
			\$0.00
drywall	\$110.00	2	\$220.00
tapers	\$110.00	2	\$220.00
		0	\$0.00
Total Labor Cost/Credit: (designate cost or credit)			\$ 440.00
Materials:			
DESCRIPTION	UNIT COST	NUMBER OF UNITS	AMOUNT
metal stud framing material			
drywall and assundries			\$95.00
Total Material Cost/Credit: (designate cost or credit)			\$95.00
Equipment:			
DESCRIPTION	HOURLY RATE	HOURS	AMOUNT
small tools and equipment			\$20.00
Total Equipment Cost/Credit: (designate cost or credit)			\$ 20.00

Subtotal \$ 555.00

O&P 15 % \$ 83.00

Total Cost/Credit \$ 638.00
(designate cost or credit)

WAGE CHART

Date: March 6, 2024
 School/Project: Fair Oaks Village Park
 General Contractor: Bobo Const. Subc

Prevailing Wage Rate Calculation

Date: March 6, 2024

Fringes Benefits (does not increase for OT rates)

No	Trade / Craft	Group	Basic Hourly Rate	Health & Welfare	Pension	Vacation / Holiday	Other Payments	Subtotal (Fringes)	Training	Subtotal Straight / OT Hourly Rate	FICA	SDI	Workman Comp.	UI	FUTA	Total Burden	Total Hourly Rate	Profit 10%
A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S
1	Drywall Lather		\$12.49	\$11.25	\$3.18	\$0.00	\$26.92	\$8.13	\$90.06	\$6.89	\$1.15	\$5.61	\$5.58	\$0.72	\$19.96	\$110.02	\$18.82	
2	Taper		\$42.50	\$11.40	\$6.41	\$10.79	\$14.94	\$43.54	\$11.10	\$87.14	\$6.67	\$1.12	\$5.43	\$5.40	\$0.70	\$19.31	\$106.45	\$15.87
3			\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
4			\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
5			\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
6			\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	

Notes:

I Insert Contractor's basic hourly rate, health & welfare, pension, vacation/holiday and other payments in columns "D to H", then add training to column "J". Subtotal straight and over time hourly rates will be calculated at column "K" which includes "Fringes Benefits". Please note that ONLY "basic hourly rates" will change for over time and all other "Fringe Benefits" remain the same as straight hourly rates.

II Insert Contractor's workman compensation rate at lower section of columns "N" where shows "0.00%" for each contractor/trade. Total hourly rate including "Fringes Benefits" and all "Burdens" will be calculated at column "R". Since "Burdens" are percentages of the "subtotal straight/OT hourly rates" they will increase for over time rates and will be calculated automatically by the spreadsheet.



R & D Electric, Inc. dba R&D
Electric CSLB#1044712

CHANGE PROPOSAL

04/03/2024

Juan Barraza
Bobo Construction Inc
9722 Kent St
Elk Grove, CA 95624

Re: Change Proposal 1720002-45 for **V3 ASI #011 Basement Drinking Fountain Change**

Project: Village Park Renovation (T)

Village Park

Village Park, 7991 California Ave, Fair Oaks, CA 95628

This Proposal is for the Change referenced above and more particularly defined by the Scope of Work comprised of this Proposal, its Attachments, and other Contract Documents incorporated by reference. Therefore, we propose to change the following:

Labor to reroute electrical to new location per V3 ASI #011.

Price: *\$ 587.29 Five Hundred Eighty Seven Dollars and Twenty Nine Cents*

Time: The duration of the Work to achieve Substantial Completion will be **UNCHANGED**.

Clarification(s): - None.

Expiration: This Proposal shall remain open for 30 calendar day(s).

Please contact me at 916-550-0075 or via e-mail ELarson@rdelectric.net if you have any questions or require additional information.

Regards,

R & D Electric, Inc. dba R&D Electric CSLB#1044712

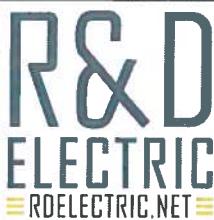
Eric Larson

Project Manager

ACCEPTANCE OF PROPOSAL

The Scope of Work described above supersedes any and all prior communication about this Change.

Customer Signature: _____ Date: _____
Bobo Construction Inc



CHANGE ORDER REQUEST

PROJECT NAME	Fair Oaks Village Park		
LOCATION OF WORK			
CONTRACT NO.		COST PROPOSAL NO.	PCO #045
REQUESTING PARTY	R&D Electric	DATE OF REQUEST	
PROJECT MANAGER	Eric Larson	CONTRACTOR	Bobo Construction Inc
OWNER	City Of Fair Oaks	ENGINEER	

CHANGE REQUEST OVERVIEW

DESCRIPTION OF CHANGE	V3 ASI #011 Basement Drinking Fountain Changes
PROJECT NAME	Fair Oaks Park Site Improvements
LOCATION OF WORK	
CONTRACT NO.	CHANGE ORDER NO.

ITEMIZED BREAKDOWN OF WORK

Electrical JW	4	101.06	\$404.24
Electrical JW - Foreman	1	106.45	\$106.45
Labor Total			\$510.69

EQUIPMENT	NO. OF HRS	RATE	AMOUNT
			\$0.00
			\$0.00
			\$0.00
		Sub Total	\$0.00
Fair Oaks Tax		7.75%	\$0.00

Rental Total **Fair Oaks Tax** **7.75%** **\$0.00**

SUBCONTRACTORS	NO. OF HRS	RATE	AMOUNT
			\$0.00
			\$0.00
			\$0.00
Subcontractor Total			\$0.00

TOTALS			
MATERIAL TOTALS			\$0.00
LABOR TOTALS			\$510.69
EQUIPMENT TOTALS			\$0.00
SUBCONTRACTOR TOTALS			\$0.00
SUBTOTAL			\$510.69
MARK UP (15%)			\$76.60
		GRAND TOTAL	\$587.29
CONTRACTOR SIGNATURE DATE		PROJECT MANAGER SIGNATURE DATE	

S.J.U.S.D.
T & M WAGE CHART

S.J.U.S.D.
T & M WAGE CHART

Date: _____

Project: _____

Prevailing Wage Rate Calculation

Date:

Insert Contractor's basic hourly rate, health & welfare, pension, vacation/holiday and other payments in columns "D" to "H", then add training to column "I". Subtotal straight and overtime hourly rates will be calculated at column "K" which includes "fringes Benefits". Please note that ONLY "basic hourly rates" will change for over time and all other "fringes Benefits" will remain the same.

"Benefits" remain the same as straight hourly rates.

Insert Contractor's workman compensation rate at lower section of columns "N" where shows "0.00%" for each contractor/trade. Total hourly rate including "Fringes Benefits" and all "Burdens" will be calculated at column "R". Since "Burdens" are percentages of the "subtotal straight/OT hourly rates" they will increase for over time rates and will be

calculated automatically by the spreadsheet.



Mark III Construction, Inc.
5101 Florin Perkins Road
Sacramento, CA 95826
(916) 381-8080
(916) 386-0363 Fax

CHANGE ORDER REQUEST

To: Bobo Construction
9722 Kent Street
Elk Grove, CA 95624
Juan Barraza
279-800-1331

COR Date: March 14, 2024
COR #: 028
Job Name: Village Park Renovation
Job Number: 12191

Description: Lower Level Drinking Fountain - V3

We are pleased to offer the following specifications and pricing to perform the following changes:

Per ASI V3-11, instructions to provide a new high low drinking fountain with bottle filler **to match the previously approved main level high low drinking fountain**, please see attach ASI and cut sheets for reference. Scope includes reworking the original plumbing to accomodate the drinking fountain's rough-in and installation. Setting & installation of a high low unit takes considerably more time than a bottle filler, as such additonal labor has been accounted for.

Specific Exclusions:

Standard Contract Exclusions

THE TOTAL AMOUNT TO PROVIDE THIS WORK IS: \$ **\$4106.32 -4,251**

All material pricing is valid for one week. If you have any questions, please contact me at (916) 381-8080.

Submitted by: Nakao Kraus
Title: Assistant Project Manager
Phone: 916-904-2713
E-mail: nkraus@mark-three.com

CC: Jeremy Vickers
HVAC Superintendent
916-379-8362
jvicker@mark-three.com

Approved by: _____

Date Approved: _____



MATERIAL, LABOR, EQUIPMENT, SUBCONTRACT BREAKOUTS

Job Number: 12191

Job Name: Village Park Renovation
Customer: Bobo Construction

COB Date: March 14 2024

COR #: 028

All material pricing is valid for one week.

THE TOTAL AMOUNT TO PROVIDE THIS WORK IS:

~~\$4106.32 - 4,251~~

S.J.U.S.D.

T & M WAGE CHART

Date: 8/12/2022
 School/Project: Village Park Renovation
 General Contractor: Bobo Construction

Prevailing Wage Rate Calculation
 Date: August 12, 2022

No	Trade / Craft	Group	Basic Hourly Rate	Health & Welfare	Pension	Vacation / Holiday	Other Payments	Fringes Benefits (does not increase for OT rates)			Burden (Employer Payments)								
								I	J	K	L	M	N	O	P	Q	R		
1	Sheet Metal	JM	\$50.85	\$15.10	\$24.42	\$2.68	\$7.51	\$100.56	\$1.39	\$101.95	\$7.80	\$1.30	\$0.00	\$6.32	\$0.82	\$16.24	\$118.19	\$11.82	\$130.01
2	Sheet Metal	FM	\$55.94	\$15.10	\$25.42	\$2.95	\$8.18	\$107.59	\$1.39	\$108.98	\$8.34	\$1.39	\$0.00	\$6.76	\$0.87	\$17.36	\$126.34	\$12.63	\$138.97
3	Plumber/Pipefitter	JM	\$59.87	\$12.15	\$13.15	\$3.14	\$8.54	\$96.85	\$1.10	\$97.95	\$7.49	\$1.25	\$0.00	\$6.07	\$0.78	\$15.60	\$113.55	\$11.36	\$124.91
4	Plumber/Pipefitter	FM	\$65.58	\$12.15	\$13.15	\$3.46	\$9.32	\$103.66	\$1.10	\$104.76	\$8.01	\$1.34	\$0.00	\$6.50	\$0.84	\$16.69	\$121.45	\$12.14	\$133.59
5			\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
6			\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	

Notes:

I Insert Contractor's basic hourly rate, health & welfare, pension, vacation/holiday and other payments in columns "D" to "H", then add training to column "J". Subtotal straight and over time hourly rates will be calculated at column "K" which includes "Fringes Benefits". Please note that ONLY "basic hourly rates" will change for over time and all other "fringe Benefits" remain the same as straight hourly rates.

II Insert Contractor's workman compensation rate at lower section of columns "N" where shows "0.00%" for each contractor/trade. Total hourly rate including "Fringes Benefits" and all "Burdens" will be calculated at column "R". Since "Burdens" are percentages of the "subtotal straight/OT hourly rates" they will increase for over time rates and will be calculated automatically by the spreadsheet.



W M B A R C H I T E C T S
Stockton | Sacramento

Architect's Supplemental Instruction

ASI No.:	V3-11	Transmittal Record	Date Sent	Date Due
Project:	V3 – Fair Oaks Clubhouse 20-013	A/E to Contractor	01.29.24	
Contractor:	Bobo	A/E to Owner	01.29.24	
Directed By:	Bobo			
Subject:	Lower Level Drinking Fountain			
Drawing Reference:	A2.2, A9.1			
Spec. Reference:				

Instruction:

Provide a high low drinking fountain to match the previously approved main level hi low drinking fountain

Provide extended carrier wall and wing wall with framed gyp bd soffit above.

Refer also to project accessibility details for drinking fountain installation.

Revised drawings attached. Marked Delta

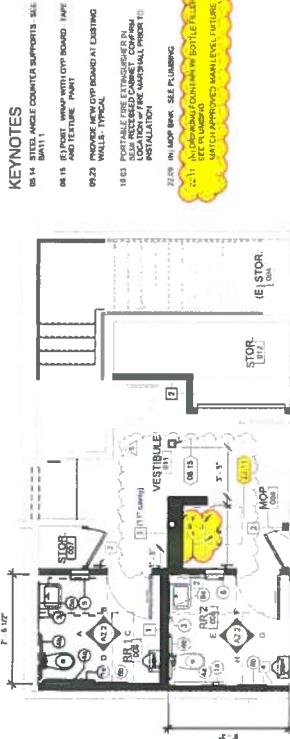
Date: 01.29.24

Signature: 

You are authorized to proceed with this minor change in the work identified in this ASI with the understanding that no change in the contract amount or completion date is required. If the ASI involves a change in the work affecting your contract amount or completion date, secure Owner approval of additional cost/time prior to proceeding.



WMB
ARCHITECTS



5757 Pacific Avenue
Suite 226
Sacramento, CA 95827

2000 L Street
Sacramento, CA 95811

T 209 944-9110
F 209 944-5711
www.wmbarchitects.com

Community Clubhouse
Alterations
1811 Clarendon Ave.
Fair Oaks, CA 95628

ENLARGED RESTROOM
PLANS

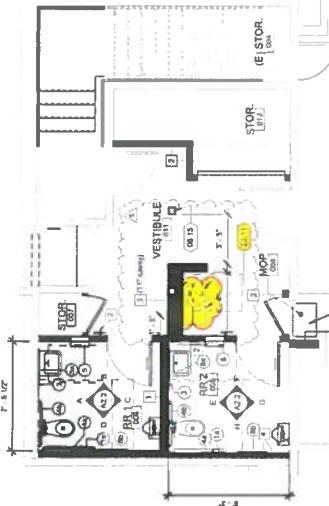
AMMAG
REGISTERED ARCHITECT
STATE OF CALIFORNIA
#014-11111

PUBLISH HISTORY:
DATE / PURPOSE:
12/22/20 PERMIT APPLICATION
1 ADAM CIRCA 14
1 12/22/20 APPROVAL
1 ALV V2 11
1 01/29/24

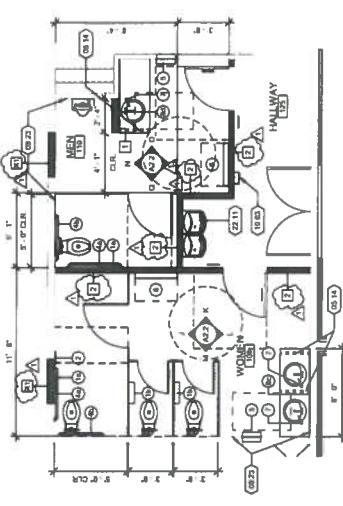
WMB PROJECT
20-013

A2.2

AMMAG
REGISTERED ARCHITECT
STATE OF CALIFORNIA
#014-11111



1 LOWER LEVEL RESTROOMS



2 MAIN LEVEL - RESTROOM

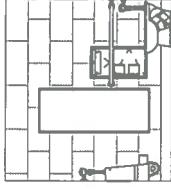
ACCESSORY SCHEDULE

NO.	ITEM	TYPE	MANUFACTURER	MODEL
1a	Recessed B 34" x 34" Ceramic Sconce Ceramic Glaze, Frost Seal Coating and Brushed Nickel Finish	Recessed	Bathrooms by Design Equipment, Inc.	S-3414
1b	Surface Mounted Sconce Satin Nickel and Frost Seal Coating and Brushed Nickel Finish	Surface Mounted	Bathrooms by Design Equipment, Inc.	S-3417
2	Recessed B 34" x 34" Ceramic Sconce Ceramic Glaze, Frost Seal Coating and Brushed Nickel Finish	Recessed	Bathrooms by Design Equipment, Inc.	S-3424
3	Surface Mounted Sconce Satin Nickel and Frost Seal Coating and Brushed Nickel Finish	Surface Mounted	Bathrooms by Design Equipment, Inc.	S-3426
4a	Ceramic Wall Recessed B 34" x 34" Ceramic Sconce Ceramic Glaze, Frost Seal Coating and Brushed Nickel Finish	Recessed	Bathrooms by Design Equipment, Inc.	S-3427
4b	Ceramic Wall Recessed B 34" x 34" Ceramic Sconce Ceramic Glaze, Frost Seal Coating and Brushed Nickel Finish	Recessed	Bathrooms by Design Equipment, Inc.	S-3428
5	Recessed B 34" x 34" Ceramic Sconce Ceramic Glaze, Frost Seal Coating and Brushed Nickel Finish	Recessed	Bathrooms by Design Equipment, Inc.	S-3429
6	Recessed B 34" x 34" Ceramic Sconce Ceramic Glaze, Frost Seal Coating and Brushed Nickel Finish	Recessed	Bathrooms by Design Equipment, Inc.	S-3430
7	String Chandelier Recessed B 34" x 34" Ceramic Sconce Ceramic Glaze, Frost Seal Coating and Brushed Nickel Finish	Recessed	Bathrooms by Design Equipment, Inc.	S-3431
8	String Chandelier Recessed B 34" x 34" Ceramic Sconce Ceramic Glaze, Frost Seal Coating and Brushed Nickel Finish	Recessed	Bathrooms by Design Equipment, Inc.	S-3432
9	String Chandelier Recessed B 34" x 34" Ceramic Sconce Ceramic Glaze, Frost Seal Coating and Brushed Nickel Finish	Recessed	Bathrooms by Design Equipment, Inc.	S-3433
10	String Chandelier Recessed B 34" x 34" Ceramic Sconce Ceramic Glaze, Frost Seal Coating and Brushed Nickel Finish	Recessed	Bathrooms by Design Equipment, Inc.	S-3434

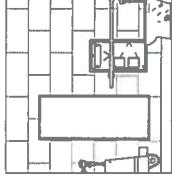
INTERIOR WALL/PARTITION SCHEDULE

NO.	CORE	EXTENT	DETAIL	HEAD	SELL	INSUL.	WALLBOARD
1	1 1/2" x 10" FRAMING IN A WALLBOARD TO STRUCTURE ABOVE	TO CAN	1	CAN	1	R-117	1/2" GYPSUM BOARD
2	1 1/2" x 10" FRAMING IN A WALLBOARD TO STRUCTURE ABOVE	TO CAN	1	CAN	1	R-117	1/2" GYPSUM BOARD
3	2" x 6" FRAMING IN A WALLBOARD TO STRUCTURE ABOVE	TO CAN	1	CAN	1	R-117	1/2" GYPSUM BOARD
4	2" x 6" FRAMING IN A WALLBOARD TO STRUCTURE ABOVE	TO CAN	1	CAN	1	R-117	1/2" GYPSUM BOARD

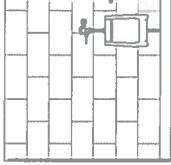
NO.	CORE	EXTENT	DETAIL	HEAD	SELL	INSUL.	WALLBOARD
1	1 1/2" x 10" FRAMING IN A WALLBOARD TO STRUCTURE ABOVE	TO CAN	1	CAN	1	R-117	1/2" GYPSUM BOARD
2	1 1/2" x 10" FRAMING IN A WALLBOARD TO STRUCTURE ABOVE	TO CAN	1	CAN	1	R-117	1/2" GYPSUM BOARD
3	2" x 6" FRAMING IN A WALLBOARD TO STRUCTURE ABOVE	TO CAN	1	CAN	1	R-117	1/2" GYPSUM BOARD
4	2" x 6" FRAMING IN A WALLBOARD TO STRUCTURE ABOVE	TO CAN	1	CAN	1	R-117	1/2" GYPSUM BOARD



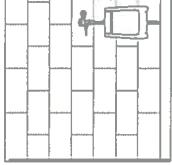
D RR1 - W
SCALE: 3/8" = 1'-0"



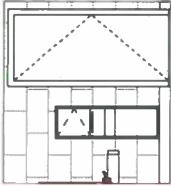
H RR2 - W
SCALE: 3/8" = 1'-0"



C RR1 - S
SCALE: 3/8" = 1'-0"



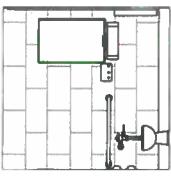
G RR2 - S
SCALE: 3/8" = 1'-0"



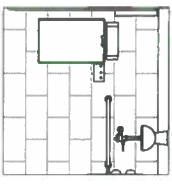
B RR1 - E
SCALE: 3/8" = 1'-0"



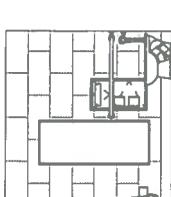
F RR2 - E
SCALE: 3/8" = 1'-0"



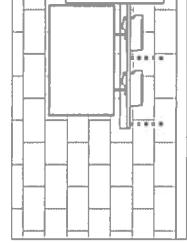
A RR1 - N
SCALE: 3/8" = 1'-0"



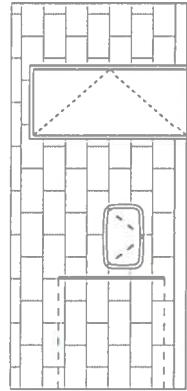
E RR2 - N
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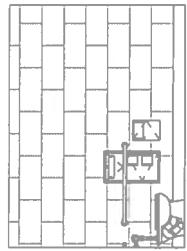
L WOMEN - S
SCALE: 3/8" = 1'-0"



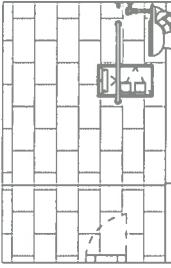
K WOMEN - E
SCALE: 3/8" = 1'-0"



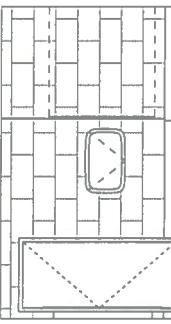
M WOMEN - N
SCALE: 3/8" = 1'-0"



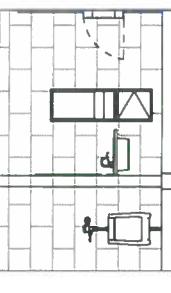
O WOMEN - W
SCALE: 3/8" = 1'-0"



P WOMEN - S
SCALE: 3/8" = 1'-0"



Q WOMEN - E
SCALE: 3/8" = 1'-0"



R WOMEN - N
SCALE: 3/8" = 1'-0"



WMB
ARCHITECTS

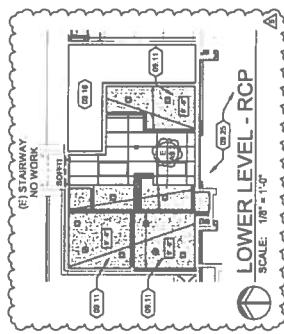
LEGEND

	24" x 48" SUSPENDED BAR GRID OF 1/4" ICE MOLD TILE
	REFLECTED CEILING INCORPORATE WITH AIR GRILLE
	AIR GRILLE: REF. MECHANICAL DEVS.
	AIR GRILLE: REF. ELECTRICAL DEVS.
	GRILLE: REF. ELECTRICAL DEVS.
	Ceiling height above finish floor level.

- KEYNOTES**
- 0914 FRAME IN VENT OPENING FLUSH WITH TILE
 - 0915 PROVIDE IN-MECHANICAL SCAFFOLD TO CEIL PANEL, AT MAIN ROOM CEILING NATURAL FINISH PANEL
 - 0916 NEW COT. RD. AND OLD COT. RD. AT KITCHEN - TEXTURE/PART - SEE THIS DSY FOR PLANNING DETAILS & A COLOR SCHEME
 - 0917 PAINT OVER EXPOSED CEILING GRID AS NEEDED WHERE EXISTING DUCT/REGISTER IS NOT PAINTED
 - 0918 PATCH AND REPAIR CLO TO UNIFORM FINISH AND TEXTURE - PAINT
 - 0919 AGGRESSIVELY PAINT EDGED CEILING & WALL AT AREAS WHERE PAINTER CANNOT REACH
 - 0920 CEILING HEIGHT ABOVE FINISH FLOOR LEVEL
 - 0921 PAINT OVER PAINTED CEILING & WALL AT AREAS WHERE PAINTER CANNOT REACH
 - 0922 CEILING HEIGHT ABOVE FINISH FLOOR LEVEL

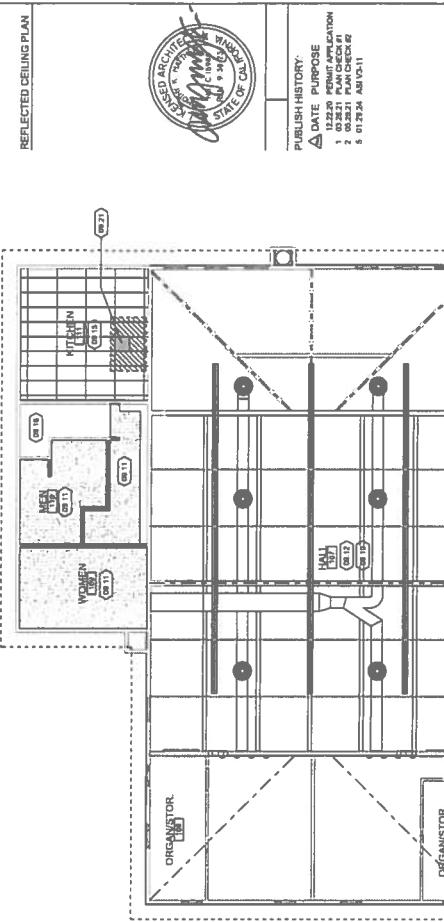
GENERAL NOTES

- Existing mechanical, electrical, plumbing and ductwork are indicated to structure. Refer to channel and electrical drawings below for clarity. Refer to channel and electrical drawings below for clarity. Refer to channel and electrical drawings below for clarity. Refer to channel and electrical drawings below for clarity.



Community Clubhouse
Alterations
700 California Ave.
Folsom, CA 95630
T 209.844.9110
F 209.844.2711
www.wmbarchitects.com

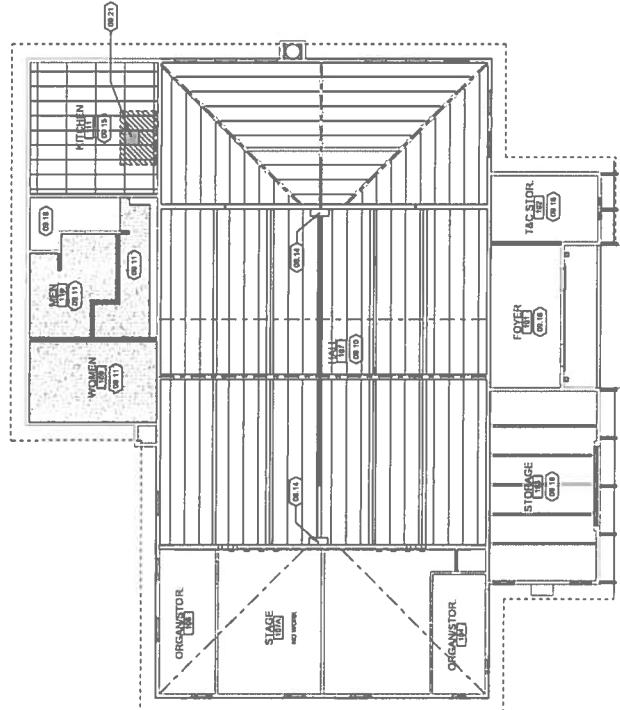
REFLECTED CEILING PLAN



WMB PROJECT:
20-013

MAIN LEVEL - REFLECTED CEILING PLAN (BELOW TRUSSES)
SCALE: 1/8" = 1'-0"

MAIN LEVEL - REFLECTED CEILING PLAN (AT SLOPED ROOF)
SCALE: 1/8" = 1'-0"



A.9.1



REDACTED BY WMB ARCHITECTS

DF-1

1270477 HAWS 1212SF HI-LO WALL MOUNT ADA FILTERED WATER COOLER W/
BOTTLE FILLER
9961 DB 704-1 11/2 CP 17GA P TRAP
748394 BC OCR14X-C 1/2COMPX3/8OD CP STRT S





Haws®

Wall Mount Hi-Lo ADA Filtered Water Cooler with Bottle Filler

model 1212SF

FEATURES & BENEFITS

SMART ENERGY SAVINGS MODE

Energy saving feature allows unit to power off the refrigeration system after 2 hours of non-use and dark ambient light conditions. Unit will automatically start back up next time unit is used or lights are turned back on.

PROGRAMMABLE FEATURES

Program your cooler to be in off mode during planned facility shut downs, change the settings on the digital readout for bright or dim display, adjust sensor range, and review settings and error codes.

VANDAL RESISTANT FEATURES

Exceptional vandal resistance features include a hidden programming button, anti-rotational bubbler head with an optional stainless steel bubbler head, UPC impact tested bowl supports, Torx bit access screws, steel frame, and fasteners hidden from public view.

UNIVERSAL MOUNTING

Specially designed internal configuration allows for mounting over existing competitors rough-ins.

BUBBLER HEAD

Bubbler features a flexible antimicrobial mouth guard to protect against injury and microorganisms. Anti-rotational design prevents unwanted attempts to remove or rotate the head.

ELECTRONIC DISPLAY

Intuitive LED electronic display educates users when the bottle filler is activated, when the water is being filtered and how many plastic bottles have been saved.

FRESH FILTERED WATER

Always fresh, filtered water - 3000-gallon (11,356 L) capacity, Electronic Lifecycle Control filter cartridge will shut off water flow when capacity is reached. To ensure fresh, filtered water, flow will only start again when filter is changed.

BOTTLE FILLER

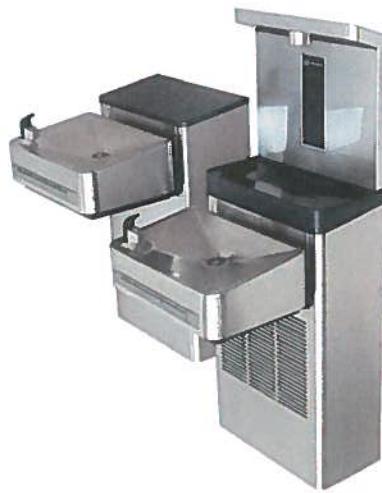
Quick fill sensor-operated bottle filler is accessible to all users, has LED lighting to illuminate the fill area, and an integral basin that drains directly to the waste.

AUTO-PURGE

Bottle filler automatically purges the water line after 24 hours of non-use to prevent the development and growth of Legionella and other harmful bacteria.

BUBBLER DEACTIVATION

A bubbler head deactivation feature is available. This feature gives sites the flexibility to temporarily deactivate and remove the drinking fountain bubbler heads. This feature will have a drinking fountain "dip" switch under the bowl that can be deactivated or reactivated during or after installation. In addition, the unit will include informational signage for users and bubbler hole cover plates to replace where the bubblers were located. This deactivation can be reversed when normal drinking fountain usage is required. The feature provides facilities with the versatility to manage functionality of the unit to meet building and ADA compliance requirements.



SPECIFICATIONS

Model 1212SF indoor wall-mount ADA Hi-Lo stainless steel filtered water cooler and bottle filler shall include an ASHRAE compliant, hermetically sealed R-134a refrigeration system with adjustable thermostat. Unit features a unique, modern Hi-Lo (dual fountain) design with stainless steel outer shell. Energy savings feature powers down refrigeration system after 2 hours of non-use and the lights shut off, and will automatically start again when used. The unit can also be programmed to shut down during planned facility closures, weekends, etc. Digital LED interface keeps user apprised of filter usage, programming and error codes. The 3000-gallon (11,356 L) filter with Electronic Lifecycle Control turns water off when capacity is reached. Flow will begin again when new filter is installed. Bottle filler basin drains directly to the units waste. The system includes electronic front push bar controlled solenoid valves, .45 gpm self-regulating, anti-rotational bubbler heads with flexible antimicrobial mouth guards, bubbler head deactivation feature, bottle filler auto purge every 24 hours, instantaneous tankless water cooler for consistent cool water, and LED illuminated bottle fill area. 115 Volts, 60Hz, rated watts: 350, full load amps: 5. Dimensions: (L x W x H) 18-3/4 x 34-1/16 x 40-3/4".

APPLICATIONS

Great for schools, office buildings, shopping malls, and other indoor environments where there is a demand for a chilled water source. CSA certified to comply with NSF/ANSI 42, 53, 61 and 372, ASME A112.18.1/CSA B125.1, ASME A112.19.3/CSA B45.4, UL 399 and CSA C22.2 No. 120. ADA compliant to ICC A117.1, CSA B651, DOJ's 2010 ADA Standards for Accessible Design when properly installed. ASHRAE 18 compliant chilling capacity. FCC ID: 2AUAN-1200SF and IC: 25959-1200SF. Electric water coolers are not recommended or designed for outdoor applications or enclosed pool areas (chlorine), and failure to heed these conditions may void warranty.

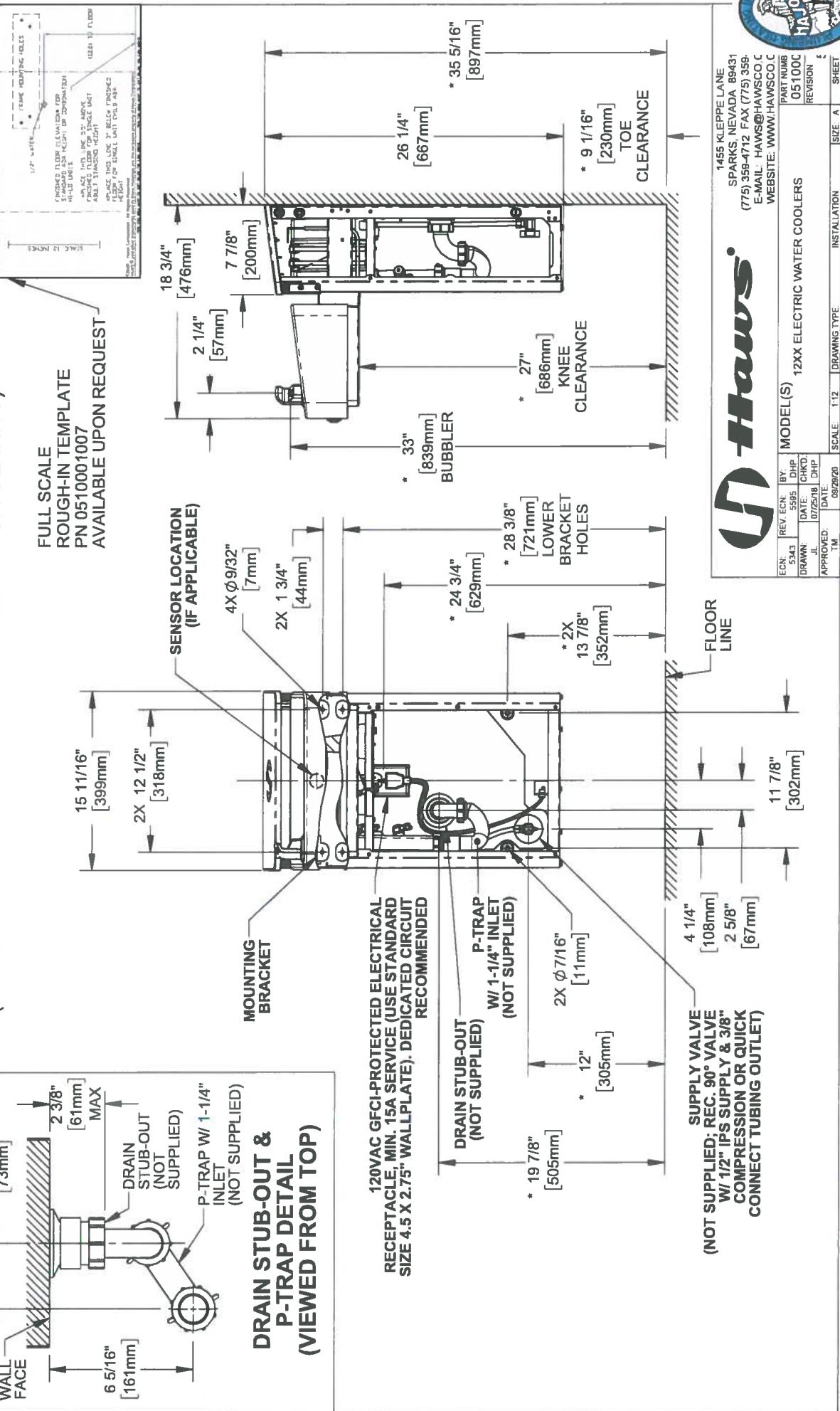


1270177

NOTES:

1. HOLD PLUMBING & ELECTRICAL DIMENSIONS $\pm 1/4"$ (6.4mm). HOLD MOUNTING DIMENSIONS $\pm 1/8"$ [±3.2mm].
2. ADHERING TO PROVIDED INSTALLATION HEIGHT DIMENSIONS WILL ALLOW A SINGLE WATER COOLER (OR THE LOW WATER COOLER IN A HI-LO INSTALLATION) AND THE BOTTLE FILLER (IF APPLICABLE) TO BE INSTALLED AT ADULT ADA HEIGHT. FOR INSTALLATION HEIGHTS OTHER THAN SHOWN, DIMENSIONS MARKED (*) MUST BE ADJUSTED ACCORDINGLY. WHEN INSTALLING THIS UNIT, LOCAL, STATE, OR FEDERAL CODES SHOULD BE ADHERED TO.

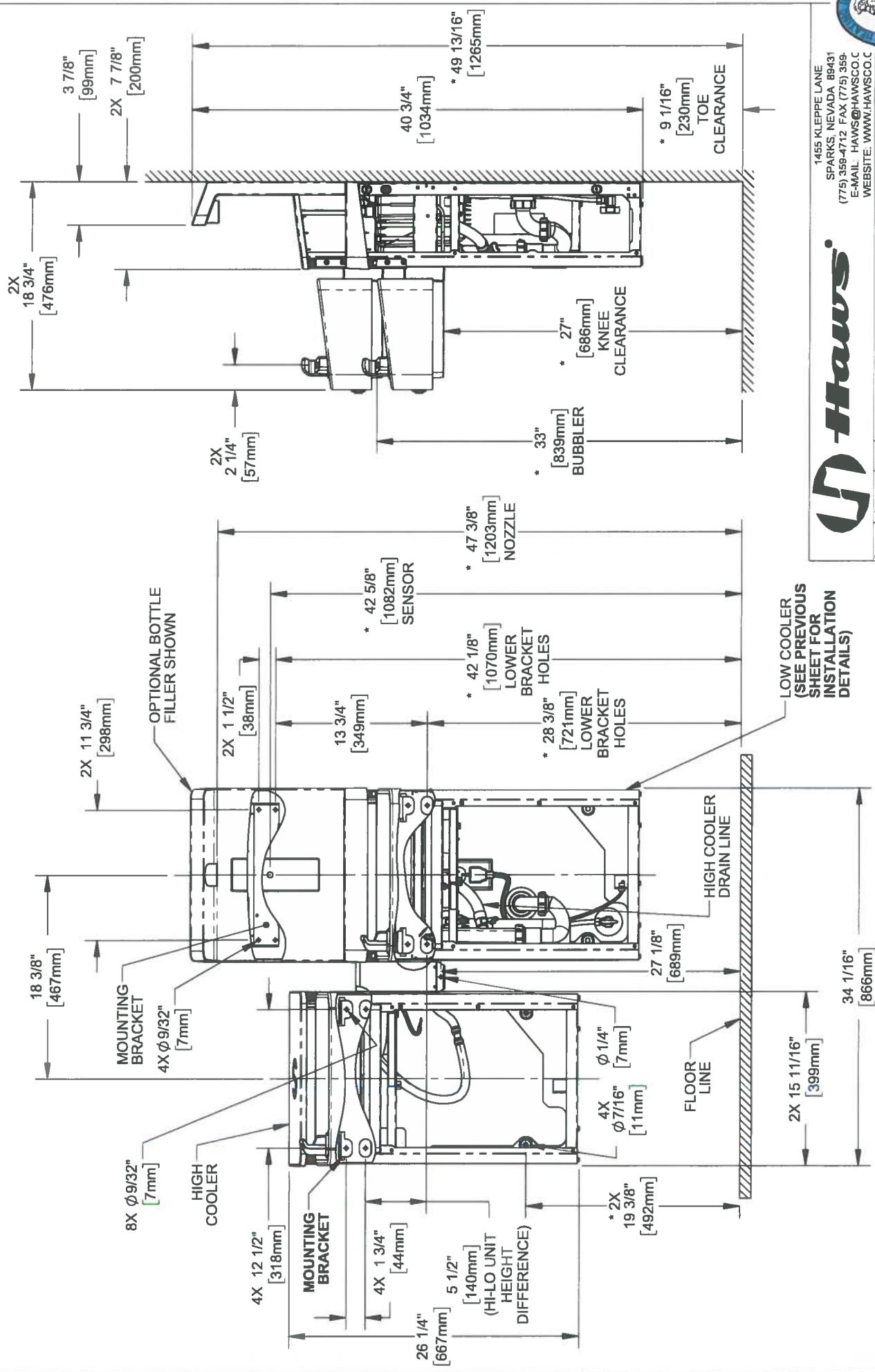
TYPICAL SINGLE (OR LOW) UNIT INSTALLATION (REFRIGERATION COMPONENTS HIDDEN FOR CLARITY)



1455 KLEPP LANE
SPARKS NEVADA 89431
(775) 358-4712 FAX (775) 358-4713
E-MAIL: HAWS@HAWSCO.C
WEBSITE: WWW.HAWSCO.COM

PART NUMB
051000C
REV. E/CN:
595 BY:
DHP CHK'D.
DRAWN DATE:
07/25/18 DHP
APPROVED DATE:
IM 08/29/20
SCALE: 1/12 DRAWING TYPE:
INSTALLATION SIZE: A SHEET: 1

TYPICAL HI-LO UNIT INSTALLATION (REFRIGERATION COMPONENTS HIDDEN FOR CLARITY)

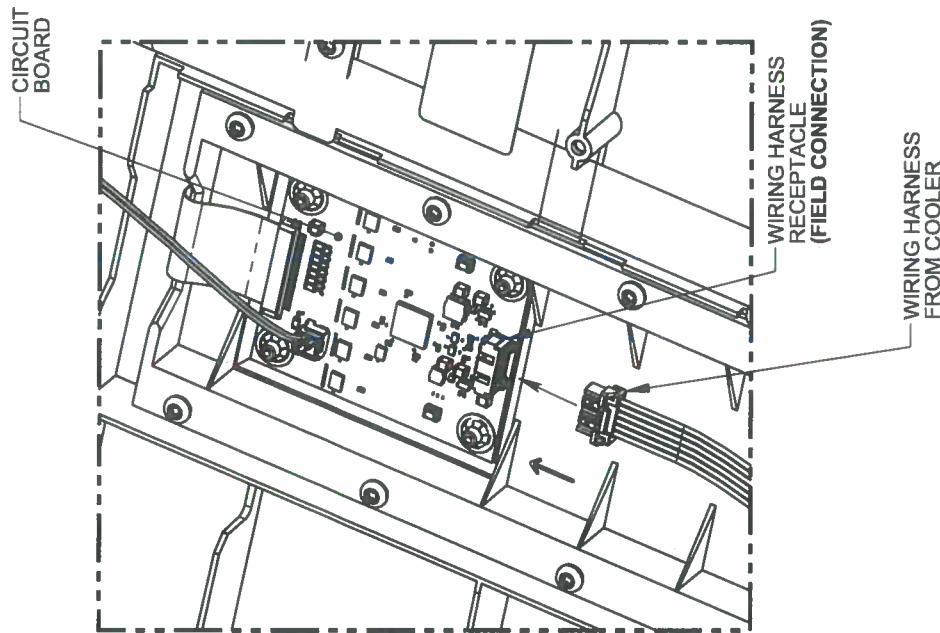


1455 KLEPPER LANE
SPARKS, NEVADA 89431
(775) 359-4712 FAX (775) 359-
E-MAIL: HAWS@HAWSCO.C
WEBSITE: WWW.HAWSCO.C
PART NUMB
05100C
REVISION
E
SHEET

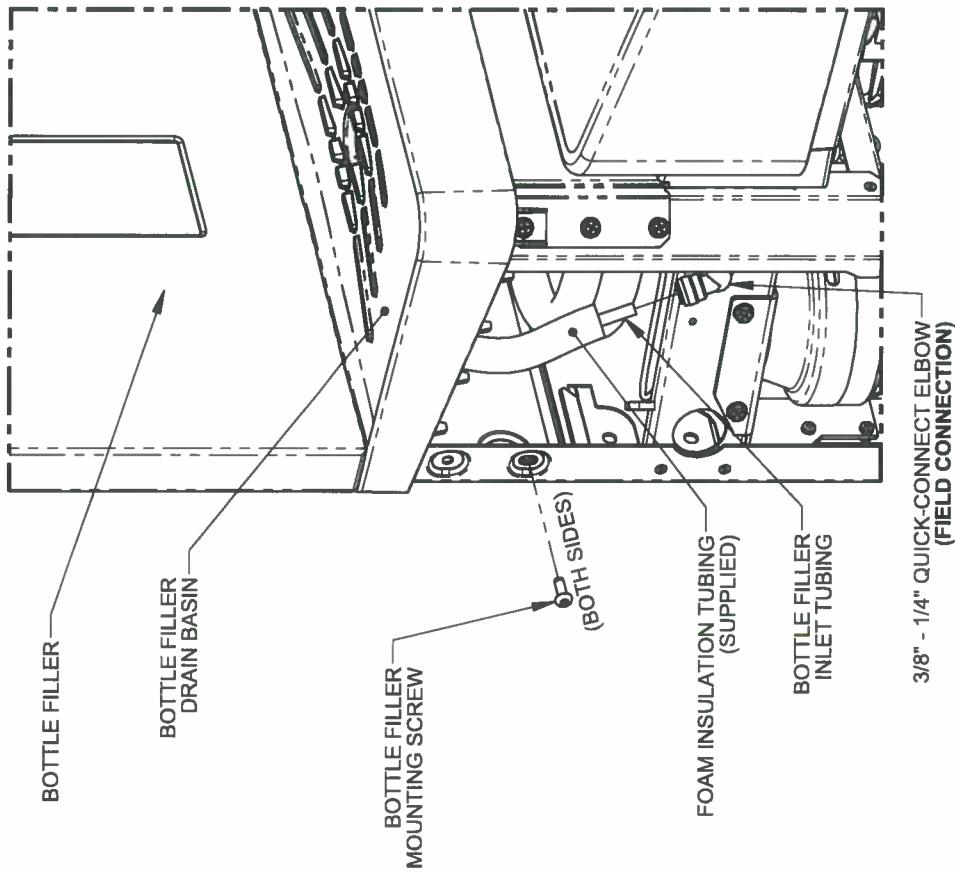
Haws®
ECN: S243 REV: ECN: BY:
SERIES: DHP MODEL(S)
DRAWN: DATE: 07/25/18 CHD.
JL: APPROVED: DATE: 08/26/20 DHP
TM
SCALE: 1/12 DRAWING TYPE:
INSTALLATION SIZE: A SHEET

BOTTLE FILLER INSTALLATION DETAILS

THIS DOCUMENT IS TRUE AND CORRECT AT TIME OF PUBLICATION. CONTINUED PRODUCT IMPROVEMENTS MAKE SPECIFICATIONS AND MEASUREMENTS SUBJECT TO CHANGE WITHOUT NOTICE.



**WIRING HARNESS CONNECTION
(REAR OF BOTTLE FILLER)**



**BOTTLE FILLER MOUNTING &
TUBING CONNECTION**



ECN:	REV. ECN:	BY:	MODEL(S)
5343	5555	D.H.P.	12XX ELECTRIC WATER COOLERS
DRAWN:	DATE:	CHND:	
JL	07/26/18	D.H.P.	
APPROVED:	DATE:		
TM	08/25/20		

1455 KLEPPE LANE
SPARKS, NEVADA 89431
(775) 359-4712 FAX (775) 359-
E-MAIL: HAWS@HAWSCO.C
WEBSITE: WWW.HAWSCO.C

PART NUMB
05100C

REVISION
E

INSTALLATION
SIZE: A

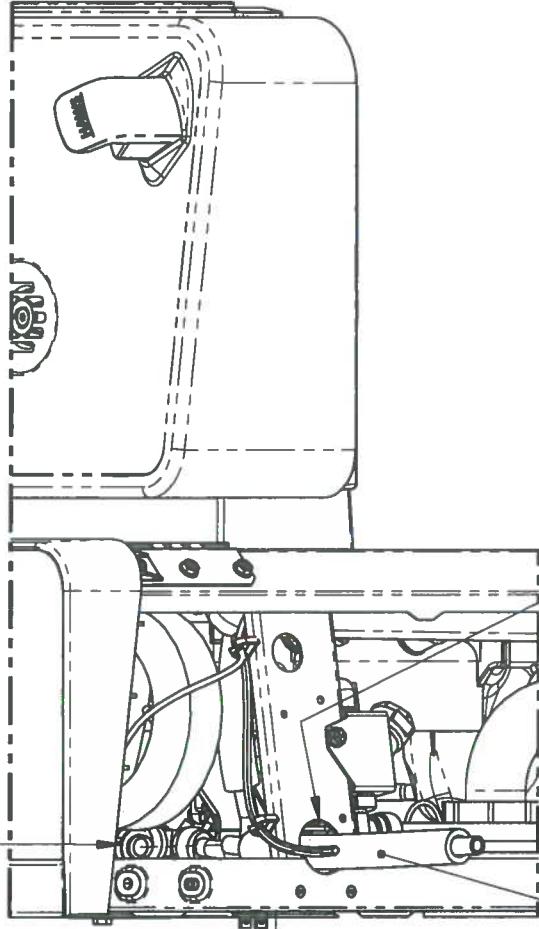
SHEET

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HIGH EWC INSTALLATION DETAILS

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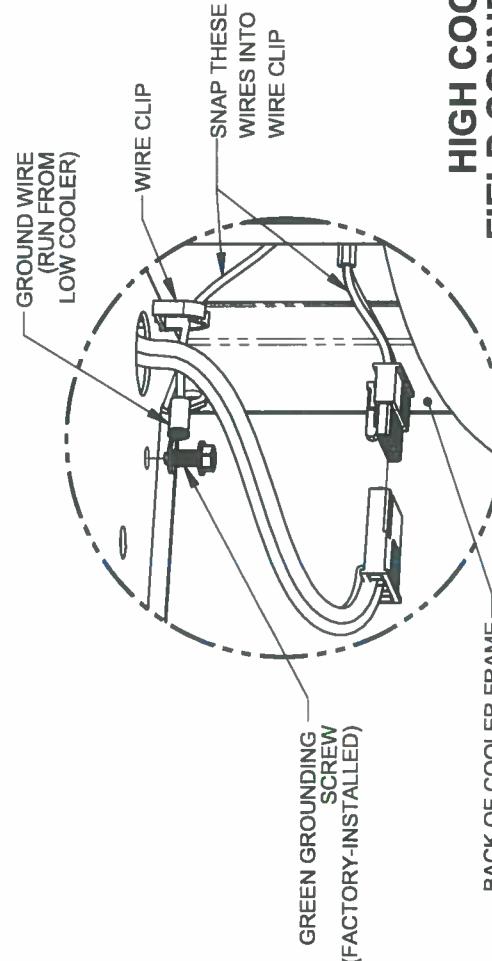
3/8" ELBOW
(FIELD CONNECTION)



ROUTE TUBING
THROUGH CIRCULAR
HOLE IN SHEET METAL

FOAM INSULATION
TUBING & 3/8" TUBING
(SUPPLIED)

HIGH EWC TUBING CONNECTION (ON LOW COOLER)



GROUND WIRE
(RUN FROM
LOW COOLER)

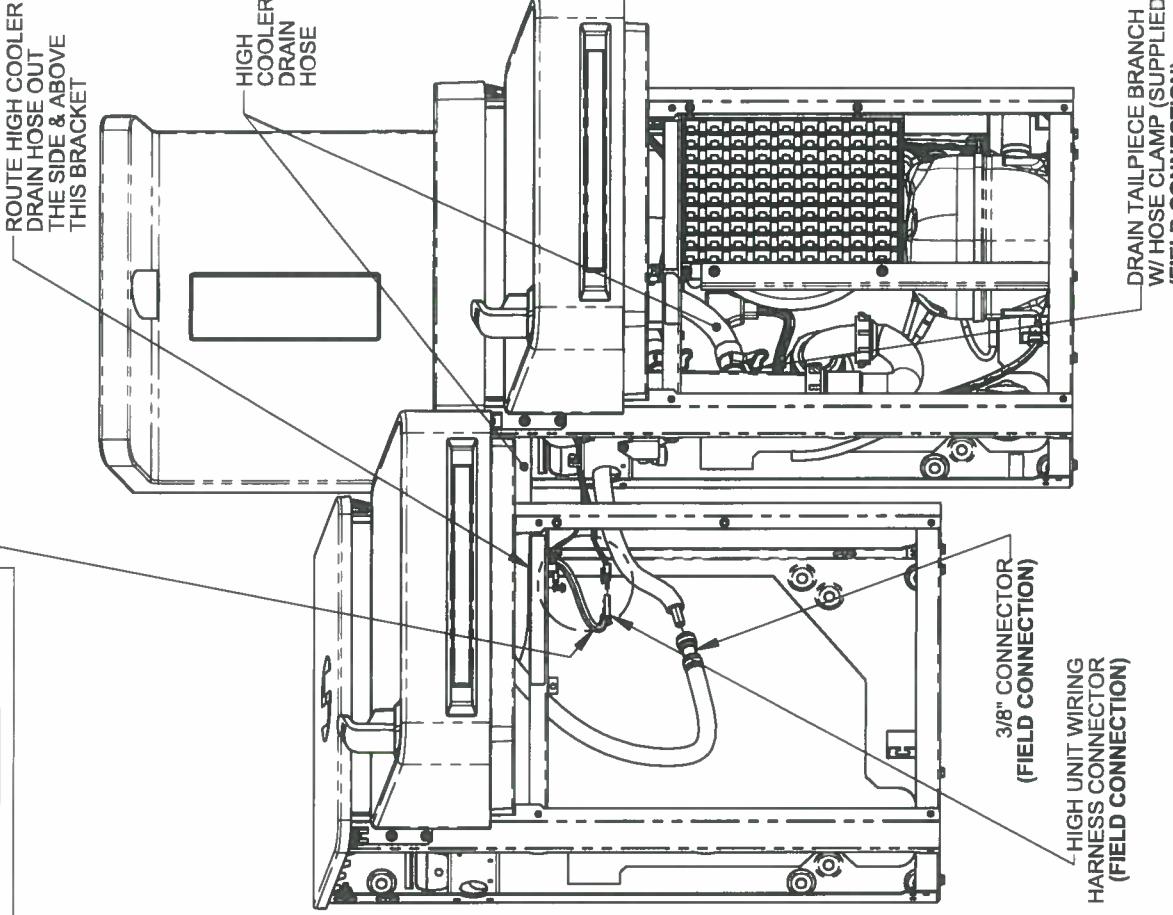
WIRE CLIP

SNAP THESE
WIRES INTO
WIRE CLIP

GREEN GROUNDING
SCREW
(FACTORY-INSTALLED)

BACK OF COOLER FRAME

GREEN GROUND WIRE
TO GROUNDING SCREW
(FIELD CONNECTION)
(SEE DETAIL VIEW BELOW)



ROUTE HIGH COOLER
DRAIN HOSE OUT
THE SIDE & ABOVE
THIS BRACKET

3/8" CONNECTOR
(FIELD CONNECTION)

HIGH UNIT WIRING
HARNESS CONNECTOR
(FIELD CONNECTION)

DRAIN TAILPIECE BRANCH
W/ HOSE CLAMP (SUPPLIED)
(FIELD CONNECTION)



ECN: 5943 REV. ECN: 5943 BY: DHP MODEL (S) 12XX ELECTRIC WATER COOLERS

DRAWN: 07/25/18 APPROVED: 08/28/20 DATE: 07/25/18 CHKO: DHP REVISION: 6

SIZE: A SHEET: 1

PART NUMB: 05100C

WEBSITE: WWW.HAWSCO.C

E-MAIL: HAWS@HAWSCO.C

FAX: (775) 359-4712

PHONE: (775) 359-4712

1455 KLEPPER LANE

SPARKS, NEVADA 89431

HIGH COOLER FIELD CONNECTIONS

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3 RETROFIT TABLE

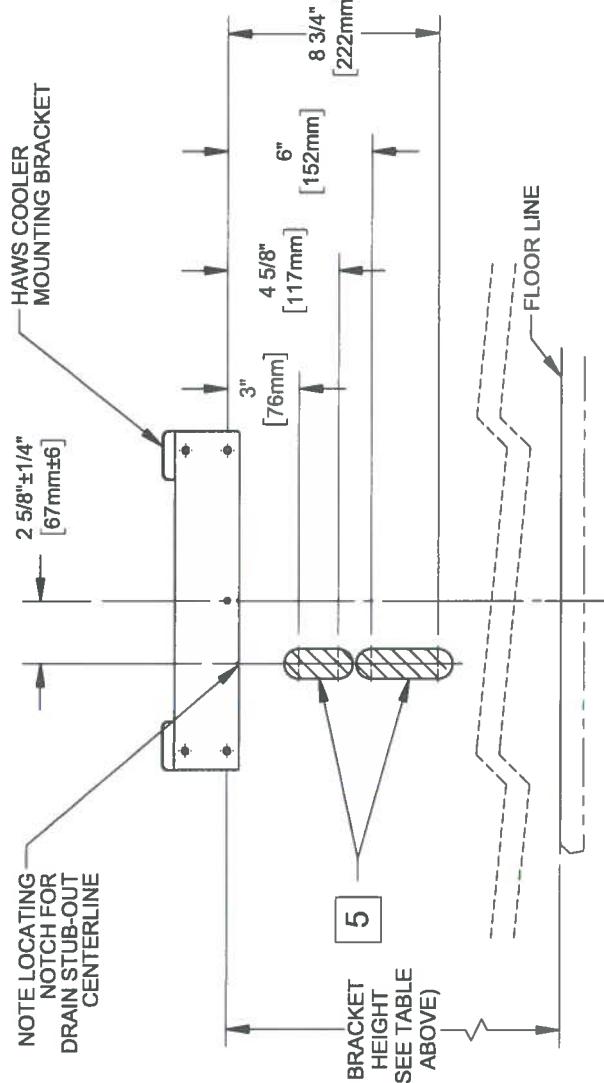
LLVULG 177

RETROFIT INSTALLATION DETAILS

LOW COOLER BRACKET HEIGHT

ADULT STANDING	ADULT ADA	CHILD ADA
33 7/8"	28 3/8"	25 3/8"

NOTE LOCATING NOTCH FOR DRAIN STUB-OUT CENTERLINE



PERMISSIBLE LOCATIONS FOR DRAIN STUB-OUT

NOTES:

- 3** THE 12XX COOLER SERIES IS ABLE TO RETROFIT IN PLACE OF A NUMBER OF COMPETITOR MODELS. SEE RETROFIT TABLE ABOVE FOR PARTIAL LIST OF COOLERS ABLE TO BE REPLACED BY THIS ONE. THE FOLLOWING DISCLAIMERS APPLY:
- THE 12XX COOLER CENTERLINE MAY NOT MATCH THE OLD COOLER'S CENTERLINE, SINCE THE 12XX COOLER DRAIN MUST BE 2 5/8" OFF OF CENTER. THIS MAY AFFECT ADA COMPLIANCE.
 - EXISTING RIGHT-SIDE COOLER MUST BE THE LOW COOLER. DRAIN, WATER, AND ELECTRIC SERVICES MUST BE POSITIONED BEHIND RIGHT-SIDE UNIT.
 - THERE MUST BE WALL BLOCKING OR OTHER STRUCTURAL MATERIAL BEHIND WAHS MOUNTING HOLES.
 - VERIFY THAT DRAIN, ELECTRIC, & WATER SERVICES ARE LOCATED WITHIN BOUNDARIES SPECIFIED ON THIS SHEET AND THE NEXT. SOME RETROFITS MAY REQUIRE THE ELECTRIC OUTLET TO BE MOVED.

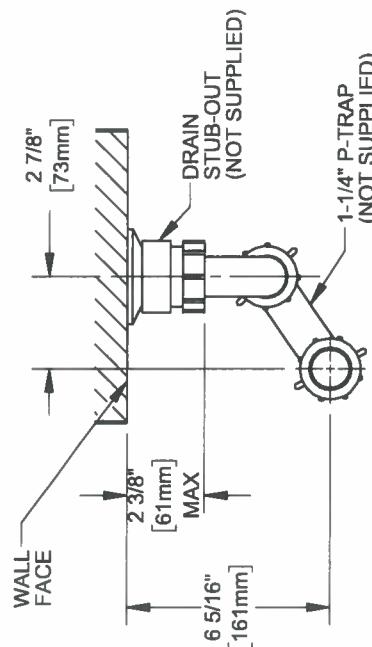
- 4** THE P-TRAP IS NOT SUPPLIED. THE VERTICAL DIMENSIONS GIVEN ARE BASED UPON INSTALLATION USING OF A KEENEY 200W P-TRAP, AND SHOULD THEREFORE BE REGARDED AS REFERENCE-ONLY.

- 5** THE CENTERLINE OF THE DRAIN STUB-OUT MUST BE BETWEEN 3" [76mm] & 4 5/8" [118mm] OR BETWEEN 6" [152mm] & 8 3/4" [229mm] BELOW THE LOWERMOST EWC MOUNTING BRACKET HOLES IN ORDER FOR THE P-TRAP TO AFFIX PROPERLY TO THE DRAIN TAILPIECE.
- DEPENDING ON STUB-OUT HEIGHT, SOME TRIMMING OF THE TAILPIECE WILL BE REQUIRED.
 - MOUNTING THE STUB-OUT IN THE HIGHER RANGE WILL REQUIRE TRIMMING THE TAILPIECE ABOVE THE LOWER DRAIN HOSE BRANCH. IN THIS INSTANCE, THEREFORE, A HI-LO COOLER CANNOT BE INSTALLED.

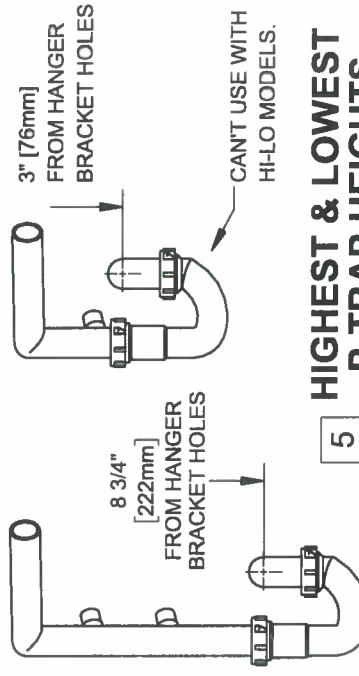
- 6** WHATEVER P-TRAP AND STUB-OUT PLUMBING ARE USED, CARE SHOULD BE TAKEN TO ENSURE THAT THE P-TRAP CAN SEAL TO THE STUB-OUT PROPERLY AND STILL ALIGN TO THE DRAIN TAILPIECE (LOCATED AT THE GIVEN DIMENSIONS).

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6 DRAIN STUB-OUT/P-TRAP DETAIL (VIEWED FROM TOP)



7 DRAIN STUB-OUT/P-TRAP DETAIL (VIEWED FROM TOP)



8 HIGHEST & LOWEST P-TRAP HEIGHTS

ECN:	REV. ECN:	BY:	MODEL(S)	SIZE:
5343	REV. 5565	DRPH	12XX ELECTRIC WATER COOLERS	18
DRAWN:	DATE:	DRPH:	INSTALLATION	1
JL:	07/25/18	CHND:	SCALE:	1:8
APPROVED:	DATE:	DRPH:	DRAWING TYPE:	06/29/20
TM				TM



SPARKS, NEVADA 89431
(775) 359-4121 FAX (775) 359-4121
E-MAIL: HAWS@HAWWSCO.C
WEBSITE: WWW.HAWWSCO.C

PART NUMB
05100C

REVISION
4

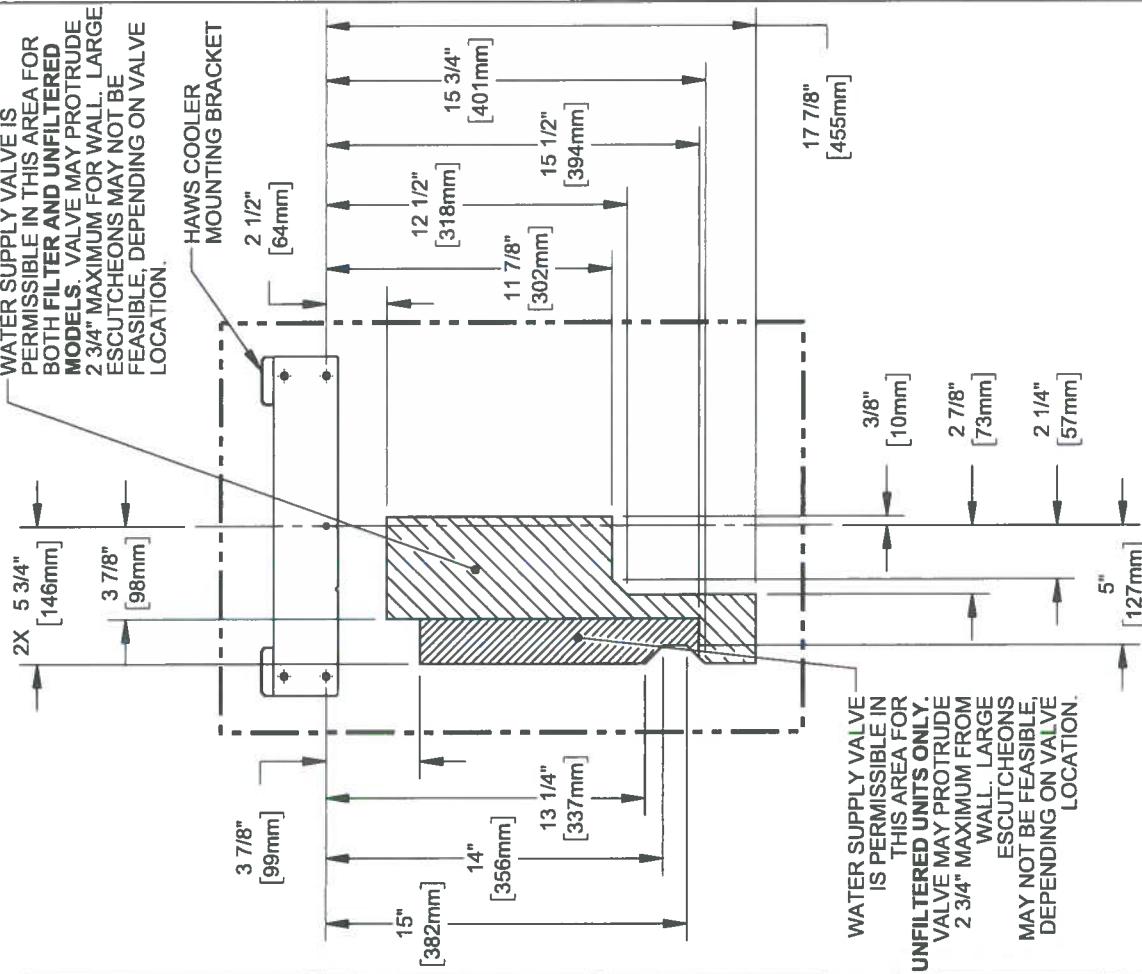
SHEET
A



RETROFIT INSTALLATION DETAILS

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WATER SUPPLY VALVE IS
PERMISSIBLE IN THIS AREA FOR
BOTH FILTER AND UNFILTERED
MODELS. VALVE MAY PROTRUDE
2 3/4" MAXIMUM FOR WALL, LARGE
SCUTCHEONS MAY NOT BE
USABLE, DEPENDING ON VALVE
LOCATION.



**WATER SUPPLY VALVE
IS PERMISSIBLE IN
THIS AREA FOR
UNFILTERED UNITS ONLY.
VALVE MAY PROTRUDE
2 3/4" MAXIMUM FROM
WALL. LARGE
ESCUCHEONS
MAY NOT BE FEASIBLE,
DEPENDING ON VALVE
LOCATION.**

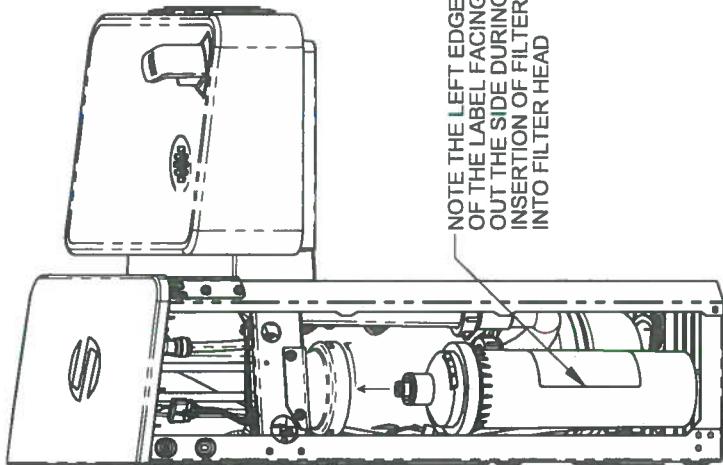
PERMISSIBLE WATER SUPPLY LOCATIONS

PERMISSIBLE ELECTRICAL RECEPTACLE LOCATIONS

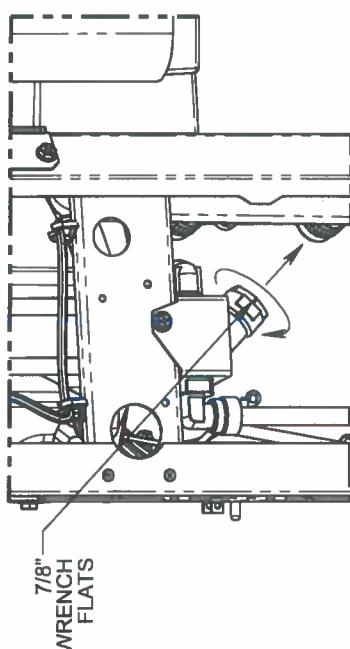




MAINTENANCE



FILTER REPLACEMENT



Haws®		1455 KLEPPE LANE	
		SPARKS, NEVADA 89431	(775) 359-4712 FAX (775) 359-
		E-MAIL: HAWS@HAWSCO.C	WEBSITE: WWW.HAWSCO.C
		PART NUMB	05100C
		REVISION	6
		INSTALLATION	SIZE: A
		DRAWING TYPE:	SHEET
ECN:	REV. ECN:	BY:	MODEL(S)
5343	5343	DRP	12XX ELECTRIC WATER COOLERS
DRAWN:	DATE:	CHKD:	
JL.	07/25/18	DRP	
APPROVED:	DATE:		
TM	08/26/20	SCALE:	1:8

Y-STRAINER CLEANING

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1455 Kleppe Lane, Sparks, Nevada 89431 - 800 766.5612 - www.hawesco.com

WATER COOLER WARRANTY AND LICENSE

EXCEPT AS EXPRESSLY STATED HEREIN, MANUFACTURER HEREBY DISCLAIMS ALL WARRANTIES, WHETHER EXPRESS OR IMPLIED, ARISING BY LAW OR OTHERWISE, INCLUDING WITHOUT LIMITATION, ANY IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE. THIS WARRANTY MAY NOT BE MODIFIED OR EXTENDED WITHOUT THE WRITTEN CONSENT OF HAWS. REMEDIES AND REPLACEMENTS STATED HEREIN ARE EXCLUSIVE. IN NO EVENT SHALL HAWS BE LIABLE FOR ANY SPECIAL, PUNITIVE, CONSEQUENTIAL OR INCIDENTAL DAMAGES TO ANY PERSON INCLUDING BUT NOT LIMITED TO DAMAGES FOR LOSS OF USE OR PROFITS, SUBSTITUTE PRODUCTS OR COSTS, PROPERTY DAMAGE, OR OTHER MONETARY LOSS.

1. TIME BASED WARRANTY FOR AUTHORIZED RESELLERS AND INITIAL PURCHASERS. Haws Corporation ("Haws") warrants that every cooler and bottle filling station will be free from material defects in materials and workmanship under normal use for one (1) year from the date of installation or if earlier, eighteen (18) months from date of shipment from Haws' factory. Haws warrants that the compressor and hermetically sealed refrigeration system, which includes cooling coils and tank assembly, insofar as either is part of the hermetically sealed refrigeration system, will be free from material defects in materials and workmanship under normal use for an additional four (4) years from the end of the initial time period described in the first sentence of this paragraph. (This warranty for years 2 through 5 is pro-rated for the remaining replacement value based on the portion of the warranty period expired). The warranties set forth in this paragraph are collectively referred to herein as the "Limited Warranty". This Limited Warranty applies only to coolers and bottle filling stations purchased by (i) authorized resellers of Haws' products, and (ii) the initial purchaser (first owner) who purchases the product other than for resale.

2. WARRANTY VOID. The products must be installed and operated in accordance with Haws's written instructions included with each unit, or the Limited Warranty will be null and void. The products are designed to operate on 30 - 90 psi flowing inlet pressure. Depending on water temperature and flowing inlet pressure for bi-level water coolers, ADA-compliant bubbler stream heights are not guaranteed when both bubblers are activated simultaneously. Where products are found by Haws to have been subjected to negligence, recklessness, accident, alteration, abuse, carelessness, misuse, misapplications, corrosive type atmospheres, unsuitable environments, faulty installation, or abnormal use, this Limited Warranty will be null and void.

3. RESPONSIBILITIES. The owner is responsible for any repairs or maintenance not covered by this Limited Warranty, including service for issues that not warranted hereunder. The owner must deliver written notice to Haws of any imperfections at the time of installation without delay. Haws' obligations under this Limited Warranty are limited to labor and parts to repair or replace any part which is expressly covered by this Limited Warranty at its factory repair department, when the product is in the United States or Canada. The Limited Warranty applicable to any replacement unit shall not extend beyond the warranty period of the original unit (e.g., if a replacement cooler is installed 8 months after installation of the original cooler, the replacement cooler will be warranted for 4 months from installation.). Haws' duty also includes costs of outbound freight (but not express freight) of the part or parts from the factory repair department, but only if the part or parts, and the purported defect or defects, are covered by this Limited Warranty, in Haws' sole discretion. When the product is located outside the United States and Canada, Haws' obligation under this Limited Warranty includes only providing a replacement for any part expressly covered by this Limited Warranty which is found to be defective by Haws or its agent but does not include any obligation to provide labor or to pay labor costs incurred in connection with the replacement. Haws' duties also include cost of outbound freight (but not express freight) of the part or parts from the factory repair department to (but not beyond) the port in the United States from which the part or parts are shipped to the final destination, but only if the part or parts, and the purported defect or defects, are covered by this Limited Warranty, in Haws' sole discretion. To obtain warranty service, Owner must call the factory. For the nearest Manufacturer factory, call (800) 766-5612.

4. EXCLUSIONS. This Limited Warranty does not include the costs of any labor for normal maintenance including adjustments such as water stream quality, water temperature or energy savings mode. The water system and laminar flow inserts are not covered by this Limited Warranty if Haws determines that they have become inoperative due to liming, sand or similar residue or decomposition. This Limited Warranty is voided if repairs are made by any unauthorized party or the serial number data plate is removed or has been modified from its original state. Normal deterioration of finish caused by ordinary wear and tear, corrosion, or exposure is not covered by this Limited Warranty. Haws is not responsible for any repairs whatsoever to walls on which the coolers and bottle filling stations are installed. If inlet pressure is above 90 psi, a pressure regulator must be installed in the supply line to preserve this Limited Warranty. Any damage caused by connecting the water cooler and bottle filling stations to supply line pressures lower than 30 psi or higher than 90 psi is not covered by this Limited Warranty. If the coolers or water filling stations, as applicable, are altered, modified, or combined with any other machine or devise this Limited Warranty is null and void. **Caution:** alteration or modification of the coolers and/or water filling stations may cause serious flooding and/or hazardous electrical shock or fire.

5. LICENSE. If the water cooler or bottle filling station includes embedded software, the owner and those using the product are granted a limited, restricted, non-exclusive, non-transferable, non-sublicensable license to use such embedded software solely for the operation of the product in owner's business and not for any commercial purpose. Haws retains title to the embedded software and all intellectual property rights therein and in any derivatives thereof. The owner and those using the product shall not remove or alter notices, legends or trademarks contained in the embedded software, nor shall they translate, reverse engineer, decompile or disassemble the embedded software except to the extent applicable law specifically prohibits this restriction. Any use of such embedded software not contemplated herein will void this Limited Warranty. The embedded software is provided "as is" and no warranty is provided by Haws. Haws will provide further information concerning this license upon request sent to the address set forth herein.

Product Details:

- Cooler Model Number: _____
- Serial Number: _____
- Date of Installation: _____
- Location: _____
- Building: _____
- State: _____
- Installed By: _____



Dearborn[®]

Brass

4675 W. 160th St.
Cleveland, Ohio 44135
Ph: (800) 321-9532
Fax: (800) 321-9535
www.dearbornbrass.com

SUBMITTAL SPECIFICATION

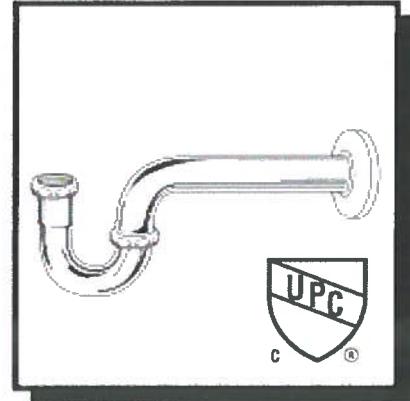
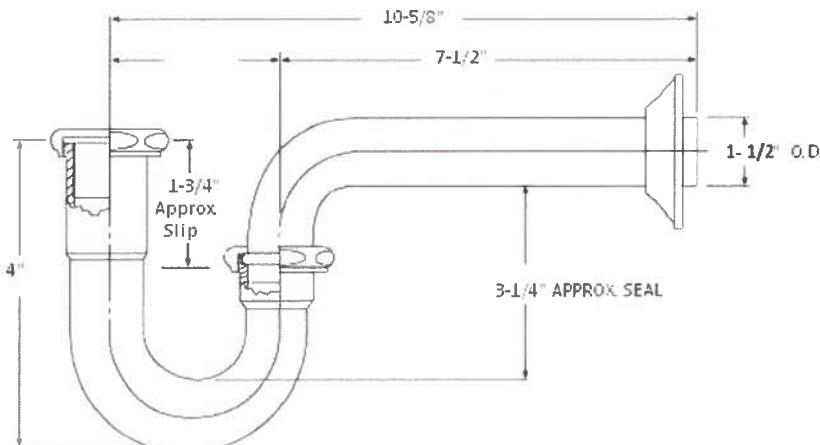
BRASS TUBULAR 1-½" P-TRAP WITHOUT CLEANOUT

Engineering Specification: Dearborn Brass 1-½" Brass Tubular P-Trap without Cleanout are designed for use in tubular drain applications. Available in 17, 20 or Budget Gauge Brass. Options include Brass Nuts, Deep Flange, Longer Wall Tube, Ground Joint and Unfinished Brass.

Job Reference

DESCRIPTION

- Chrome Finished
- 1-½" P-Trap Without Cleanout
 - (1) Metal Flange
 - (1) Quarter Bend
 - (1) J-Bend
 - (2) Rubber Washers
 - (2) Nuts



✓	Product No.	Description	Carton Quantity	Carton Weight (lbs)
	2702-1	1-½" P-Trap - Budget Ga.	25	23
	2702DF-1	1-½" P-Trap - Budget Ga. w/ Deep Flange	25	25
	702-1	1-½" P-Trap - 20 Ga.	25	28
	702BN-1	1-½" P-Trap - 20 Ga. w/Brass Nuts	25	30
	702DF-1	1-½" P-Trap - 20 Ga. w/ Deep Flange	25	29
	702DFBN-1	1-½" P-Trap - 20 Ga. w/ Deep Flange and Brass Nuts	25	31
	702A-1	1-½" P-Trap - 20 Ga. w/ 11.25" Wall Tube	25	35
→	704-1	1-½" P-Trap - 17 Ga.	25	35
	H704-3	1-½" P-Trap - 17 Ga., Unfinished Brass - Display Box	6	8
	704BN-1	1-½" P-Trap - 17 Ga. w/ Brass Nuts	25	36
	704DF-1	1-½" P-Trap - 17 Ga. w/ Deep Flange	25	36
	704DFBN-1	1-½" P-Trap - 17 Ga. w/ Deep Flange and Brass Nuts	25	38
	704A-1	1-½" P-Trap - 17 Ga. w/ 10" Wall Tube	25	39
	704G-1	1-½" P-Trap - 17 Ga. w/ Ground Joint	25	36
	704GBN-1	1-½" P-Trap - 17 Ga. w/ Ground Joint and Brass Nuts	25	37
	704GBN-3	1-½" P-Trap - 17 Ga. w/ Ground Joint and Brass Nuts, Unfinished Brass	25	38
	704GDFBN-1	1-½" P-Trap - 17 Ga. w/ Ground Joint, Deep Flange and Brass Nuts	25	37

Data is subject to manufacturing tolerances.



0061

For Residential and Commercial Applications

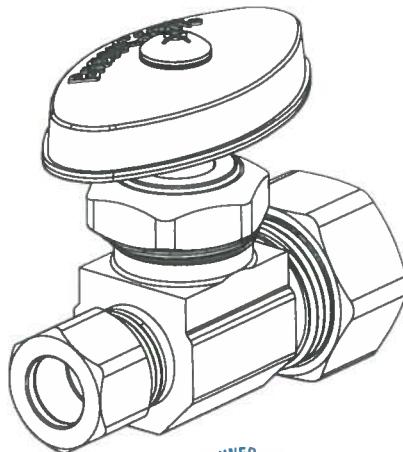
Job Name		Engineer / Architect	
Job Location		Wholesaler	
Submittal Date		Contractor	

OCR11/OCR14/OCR34X Multi-Turn Straight Stop – Compression x Compression

Use: For use in potable water distribution systems in accessible locations only. Not intended for recirculation systems/continuous use of temperatures above 115°F. For those applications, use our KT™ series ball stop.

Design Features:

- **Machined one-piece brass body** provides strength, durability, and long-lasting performance
- **Knurled oval handle** provides a secure grip and smooth on/off operation
- **Easy-to-remove handle** with screw attachment helps protect against accidental stop operation during rough-ins
- **For use with ASTM F876 PEX tubing, in ASTM F877 water distribution systems (parts containing PX and PXX only)**
-



Operating Specifications:

Temperature: 40° - 140° F

Pressure: 125 PSI maximum

STOP MATERIAL SPECIFICATIONS	
Body	Brass, plated
Stem	POM or brass, plated
Bib & Packing Washer	Rubber
Packing Nut	Brass, plated
Handle	Die cast zinc, plated; ABS, plated; or polycarbonate
Handle Screw	Steel, zinc plated
Compression Nut	Brass, plated
Compression Sleeve	Brass
PEX Insert*	Stainless steel

*Where specified

Part Listing:

- OCR11X C 1/4" nom compression x 3/8" OD compression, chrome plated
- OCR11X CBT 1/4" nom compression x 3/8" OD compression, chrome plated, bulk, plain tray
- OCR11X C1 1/4" nom compression x 3/8" OD compression, chrome plated, window box
- OCR11X R 1/4" nom compression x 3/8" OD compression, rough brass
- OCR11X R 1/4" nom compression x 3/8" OD compression, rough brass
- OCR11ZX C 1/4" nom compression x 3/8" OD compression, brass stem, chrome plated
- OCR14X C 1/2" nom compression x 3/8" OD compression, chrome plated
- OCR14X CBT 1/2" nom compression x 3/8" OD compression, chrome plated, bulk, plain tray
- OCR14X C1 1/2" nom compression x 3/8" OD compression, chrome plated, window box
- OCR14X CM 1/2" nom compression x 3/8" OD compression, chrome plated, contractor 5 pack

This specification and all information contained herein is the confidential and exclusive property of Brasscraft Manufacturing Company and shall not be disclosed to others without the written consent of Brasscraft Mfg. Co. This specification must be returned to Brasscraft Mfg. Co. if requested.



OCR11/OCR14/OCR34X Multi-Turn Straight Stop – Compression x Compression

Part Listing (con't):

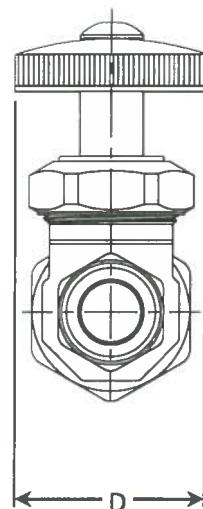
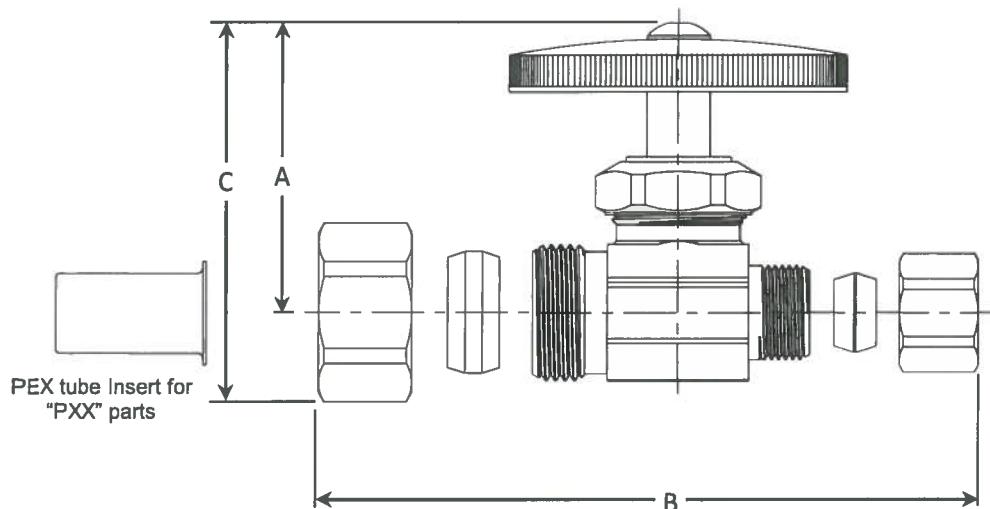
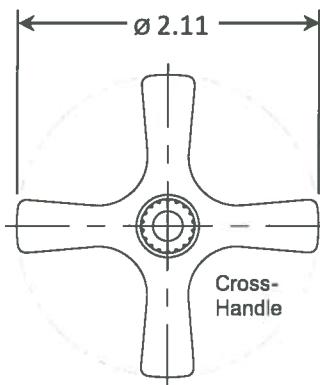
- OCR14X R 1/2" nom compression x 3/8" OD compression, rough brass
- OCR14X RBT 1/2" nom compression x 3/8" OD compression, rough brass, bulk, plain tray
- OCR14X R1 1/2" nom compression x 3/8" OD compression, rough brass, window box
- OCR14X RM 1/2" nom compression x 3/8" OD compression, rough brass, contractor 5 pack
- OCR14ZX C 1/2" nom compression x 3/8" OD compression, brass stem, chrome plated
- OCR14X BZ 1/2" nom compression x 3/8" OD compression, oil rubbed bronze
- OCR14X NP 1/2" nom compression x 3/8" OD compression, polished nickel
- OCR14X NS 1/2" nom compression x 3/8" OD compression, satin nickel
- OCR14X P 1/2" nom compression x 3/8" OD compression, polished
- OCR14L1X CB 1/2" nom compression x 3/8" OD compression, less nut and sleeve, chrome plated, bulk
- OCR14PXX C 1/2" nom compression w/PEX stainless steel insert x 3/8" OD compression, chrome plated
- OCR14PXX CM 1/2" nom compression w/PEX stainless steel insert x 3/8" OD compression, chrome plated, contractor 5 pack
- OCR14TX CB 1/2" nom compression x 3/8" OD compression, chrome plated, plain handle, bulk
- OCR14TX CBT 1/2" nom compression x 3/8" OD compression, chrome plated, plain handle, bulk, plain tray
- OCR34X C 1/2" nom compression x 1/2" OD compression, chrome plated
- OCR34X CBT 1/2" nom compression x 1/2" OD compression, chrome plated, bulk, plain tray
- OCR34X C1 1/2" nom compression x 1/2" OD compression, chrome plated, window box
- OCR34X R 1/2" nom compression x 1/2" OD compression, rough brass
- OCR34X CM 1/2" nom compression x 1/2" OD compression, chrome plated, contractor 5 pack
- OCR34X RM 1/2" nom compression x 1/2" OD compression, rough brass, contractor 5 pack
- OCR3AX C 3/8" nom compression x 1/2" OD compression, chrome plated
- OCR3AX CM 3/8" nom compression x 1/2" OD compression, chrome plated, contractor 5 pack
- XCR14X C 1/2" nom compression x 3/8" OD compression, chrome plated, cross handle
- XCR14X BZ1 1/2" nom compression x 3/8" OD compression, oil rubbed bronze, cross handle, window box
- XCR14X NP1 1/2" nom compression x 3/8" OD compression, polished nickel, cross handle, window box
- XCR14X NS1 1/2" nom compression x 3/8" OD compression, satin nickel, cross handle, window box
- XCR14X P1 1/2" nom compression x 3/8" OD compression, polished, cross handle, window box

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OCR11/OCR14/OCR34X Multi-Turn Straight Stop – Compression x Compression

PART DIMENSIONS (Inches)				
Model	DIM. A	DIM. B	DIM. C	DIM. D
OCR11X	1.80	2.12	2.21	1.14
OCR14X (OCR14PXX)	1.80	2.25	2.33	1.14
OCR14ZX	1.80	2.25	2.33	1.14
OCR34X	1.80	2.30	2.33	1.14
XCR14X	1.80	2.25	2.33	1.14



Listings & Certifications:

- IAPMO listed to ASME A112.18.1 / CSA B125.1
(includes NSF/ANSI372 & NSF61)



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400.27 OCR11/14/34X Multi-Turn Straight Stop - Comp x Comp REV 9.19

BrassCraft®

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PACE SUPPLY CORP
8400 24TH AVE.
SACRAMENTO CA 95826
916-386-8347

Quote#	
Quote Date	
Page#	1

QUOTATION

M3 MEP LLC 193729-00
5101 FLORIN PERKINS RD
SACRAMENTO CA 95826

Expiration Date	04/11/24	Requested By	
FOB	ORIGIN	Prepared By	
Online Quote		Salesperson	
Job Name	VILLAGE PARK		

WE ARE PLEASED TO QUOTE YOU ON THE FOLLOWING MATERIAL



**Quotation
(Reprint)**

**126 HEIECK SACRAMENTO
950 RICHARDS BLVD
SACRAMENTO CA 95811-0333
916-386-0188 Fax 484-200-1907**

QUOTE DATE	QUOTE NUMBER
QUOTED BY: 126 HEIECK SACRAMENTO 950 RICHARDS BLVD SACRAMENTO CA 95811-0333 916-386-0188 Fax 484-200-1907	PAGE NO. 1 of 1

Printed : 10:17:59 26 FEB 2024

QUOTE TO:
**MARK III CONSTRUCTION INC
5101 FLORIN PERKINS RD
SACRAMENTO, CA 95826-4868**

SHIP TO:
**VILLAGE PARK RENOVATION
7997 CALIFORNIA AVENUE
FAIR OAKS, CA 95628**

916-381-8080

QUOTED FOR	CUSTOMER PURCHASE ORDER NUMBER	CUSTOMER RELEASE NUMBER	SALESPERSON	
WRITER	SHIP VIA	TERMS	EXPIRATION DATE	FREIGHT ALLOWED
NAKAO	VILLAGE PARK RENO-	VATIONS	House 126	
Rick Kain	OT OUR TRUCK	2% 10TH PROX NET 25TH	04/10/24	Yes
QUOTE QTY	OUR PART#	DESCRIPTION	NET PRICE	EXT PRICE
1ea	1270477	HAWS 1212SF HI-LO WALL MOUNT ADA FILTERED WATER COOLER W/ BOTTLE FILLER	1728.686/ea	1728.69
1ea	1016561	55100 INCOMING FREIGHT CHARGES TAXES NOT INCLUDED	165.000/ea	165.00

Prices contained in this quote are the prices in effect at the time of quotation, and are subject to change at any time. We are not responsible for inaccurate quantity descriptions. Quantities should be checked against plans and specifications for accuracy. Special order material is non-cancellable. We are not responsible for delays not within our control.

Subtotal	1893.69
Bid Total	1893.69



Change Order: 1107 - 10 / Date: 4/3/2024
Project Number: 3258

Bobo Construction Inc.
9722 Kent Street
Elk Grove, CA
95624, US
(916) 383-7777

Prepared By:
Juan Barraza
(916) 383-7777
jbarraza@boboconstructioninc.com

Project: Village Park Renovations Project

Scope of Work

V3 ASI 11 T&M Bobo Labor

	Quantity	Unit Cost	Total Cost
Foreman Description: Jason Winne	1 hr	\$86.92	\$86.92
Carpenter Description: Edwin Pineda	4 hrs	\$102.09	\$408.36
Labor Description: Keaton Whright	2 hrs	\$74.73	\$149.46
Materials	1 ft	\$66.63	\$66.63
	--	--	\$711.37

Notes

Summary

Subtotal \$711.37

\$711.37

Accepted By

Date

.....

Date: 07/06/2022

School/Project: Village Park Renovation
 General Contractor: Bobo Construction, Inc.

T & M WAGE CHART

Prevailing Wage Rate Calculation

			Fringes Benefits (does not increase for OT rates)										Burden (Employer Payments)							
No	Trade / Craft	Group	Basic Hourly Rates	Health & Welfare	Pension	Vacation / Holiday	Other Payments	Subtotal Fringes	Training	Subtotal Straight/OT Hourly Rate	FICA	SDI	Workman Comp.	UI	FUTA	Total Burden	Total Hourly Rate	Profit	Total Billable Rate	Comments
A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U
1	勞工	3	\$34.80	\$9.30	\$13.36	\$3.05	\$0.28	\$25.99	\$0.50	\$61.29	\$4.69	\$0.78	\$3.68	\$3.80	\$0.49	\$13.44	\$74.73			
2	木匠		\$51.22	\$12.10	\$11.10	\$5.24	\$2.94	\$31.38	\$1.13	\$83.73	\$6.41	\$1.07	\$5.02	\$5.19	\$0.67	\$18.36	\$102.09			
3	工程師		\$60.50	\$5.00	\$2.00	\$3.00	\$0.00	\$10.00	\$0.00	\$70.50	\$5.39	\$0.90	\$4.23	\$4.37	\$0.56	\$15.46	\$85.96			
4	勞工	3	\$44.80	\$9.30	\$13.36	\$3.05	\$0.28	\$25.99	\$0.50	\$71.29	\$5.45	\$0.91	\$4.28	\$4.42	\$0.57	\$15.63	\$86.92			
5	工程師		\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00			
6			\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00			

Notes:

I Insert Contractor's basic hourly rate, health & welfare, pension, vacation/holiday and other payments in columns "D" to "H", then add training to column "J". Subtotal straight and over time hourly rates will be calculated at column "K" which includes "Fringes Benefits". Please note that ONLY "basic hourly rates" will change for over time and all other "Fringe Benefits" remain the same as straight hourly rates.

II Insert Contractor's workman compensation rate at lower section of columns "N" where shows "0.00%" for each contractor/trade. Total hourly rate including "Fringes Benefits" and all "Burden" will be calculated at column "R". Since "Burden" are percentages of the "Subtotal straight/OT hourly rates" they will increase for over time rates and will be calculated automatically by the spreadsheet.

DAILY EXTRA WORK REPORT

Bid Package: #

Report No: _____ of _____

Project: VILLAGE PARK

PCO No:

Contractor: BOPCO CONSTRUCTION

Date work performed: 7-14-24

Superintendent: JOHN SCHMITZ

DSA App #:

Description of Work in Progress: (Include Bldg./Area)

FRAME WALL CLUBHOUSE BASEMENT

FOR WELL DRINKING FOUNTAIN LAYOUT. FRAME IN CEILING

Personnel:

Name	Craft/Classification	Hours	Pay Rate	Total
EDUARDO PINEDA	CARPENTER	4		
KENTON WRIGHT	CABRIO	2		
JASMIN LUMINIE	FOREMAN	1		

Equipment: By Type, Number and Hours (Invoice is mandatory with reconciliation)

Materials: By Type, Units (Invoice is mandatory with reconciliation)

Signature

Date

7-14-24

Check Box if
Final T & M

Acknowledgment

Date

7-14-24

(Inspector, CM, T & M Monitor)

Note: IOR, CM or T&M Monitor must sign on the day that the work is being performed or Contractor will forfeit payment.

Pro Xtra Credit Card



Remit payment and make checks payable to:
HOME DEPOT CREDIT SERVICES
DEPT. 32 - 2153194877
PO BOX 9001030
LOUISVILLE, KY 40290-1030

INVOICE DETAIL

JILL TO:
Acct: 6035 3221 5319 4877
Card: 6035 3221 5166 6959

SHIP TO:
BOBO CONSTRUCTION INC
9722 KENT ST STE A
ELK GROVE, CA 95624-2471

Amount Due:	Trans Date:		Invoice #:
\$84.00	02/13/24		3526470
PO: VILLAGEPARK		Store: 652, RNCH CORDOVA, CA	

PRODUCT	SKU #	QUANTITY	UNIT PRICE	TOTAL PRICE
CA LBR FEE	00009997350002000001	1.0000 EA	\$0.16	\$0.16
2X10-12FT PREMIUM FIR	00006037080000300003	1.0000 EA	\$16.95	\$16.95
2X10-12FT PREMIUM FIR	00006037080000300003	1.0000 EA	\$16.95	\$16.95
CA LBR FEE	00009997350002000001	1.0000 EA	\$0.16	\$0.16
MKE M2 SDS+ 5/32" X 7" CON SCR BIT	00005243740000700008	1.0000 EA	\$9.97	\$9.97
2X10-12FT PREMIUM FIR	00006037080000300003	1.0000 EA	\$16.95	\$16.95
CA LBR FEE	00009997350002000001	1.0000 EA	\$0.16	\$0.16
MILESCRAFT #1400 STEEL SAW GUIDE	10003941800000700005	1.0000 EA	\$15.98	\$15.98

SUBTOTAL	\$77.28	\$61.30
TAX	\$6.72	\$5.33
TOTAL	\$84.00	\$66.63

Architect's Supplemental Instruction

ASI No.:	V3-11	Transmittal Record	Date Sent	Date Due
Project:	V3 – Fair Oaks Clubhouse 20-013	A/E to Contractor	01.29.24	
Contractor:	Bobo	A/E to Owner	01.29.24	
Directed By:	Bobo			
Subject:	Lower Level Drinking Fountain			
Drawing Reference:	A2.2, A9.1			
Spec. Reference:				

Instruction:

Provide a high low drinking fountain to match the previously approved main level hi low drinking fountain

Provide extended carrier wall and wing wall with framed gyp bd soffit above.

Refer also to project accessibility details for drinking fountain installation.

Revised drawings attached. Marked Delta

Date: 01.29.24

Signature: 

You are authorized to proceed with this minor change in the work identified in this ASI with the understanding that no change in the contract amount or completion date is required. If the ASI involves a change in the work affecting your contract amount or completion date, secure Owner approval of additional cost/time prior to proceeding.



WMB
ARCHITECTS

LEGEND

KEYNOTES

- 08 14** FRAME & VENT OPENING LUMINITE FILE

08 15 PROTECTIVE POLYMER COATED METAL SHEET FOR TECTONIC PANELS AT MAIN ROOM CEILING


08 16 STYLIZED CEILINGS & WALLS AT 24' HGT. - TESTIMONE/PART. - 156-851 YOM


08 17 PAINT ALL EXPOSED STRUCTURE, DUCTS, FIRE SPRINKLER LINES & CONDUITS IN WHITE

08 18 REPLACE KITCHEN ACOUSTICAL TILES TO MATCH EXISTING.

08 19 PAINT AND REPAIR TO UNIFORM SURFACE - PAINT


08 21 ADJUST SUSPENDED CEILING GRID AS RECD. WHERE DESTROY DUCT/FILTER SYSTEM


08 22 PATCH CEILING PART (CEILING & WALL) AT RECESS, WHERE NO POWER


LEGEND

LIGHT FIXTURE REF ELECTRICAL DYNCS

LIGHT & FURNITURE - HLF: ELECTRICAL DEVICES.
AIR GRILLE - REF: MECHANICAL DEVICES.

AIR GRILLE REF MECHANICAL DRAWS.

CHRYSLER MOPAR AIRLINE STANDBY MODELS

卷之三

GENERAL NOTES

માનુષની જીવનશરીર

**RELOCATED TO
SOUTHERN CALIFORNIA**

REFLECTED CEILING PLAN

The seal is circular with a decorative border. The outer ring contains the text "STATE OF CALIFORNIA" at the top and "BOARD OF ARCHITECTS, ENGINEERS AND LAND SURVEYORS" at the bottom. In the center is a shield featuring a landscape scene with mountains, water, and trees. A ribbon or scroll surrounds the shield with the words "ARCHITECTURE", "ENGINEERING", and "LAND SURVEYING".

PUBLISH HISTORY	
DATE	PURPOSE
12/22/20	PERMIT APPLICATION
1 03/26/21	PLAN CHECK #1
2 03/24/21	PLAN CHECK #2
5 01/29/24	ASU CHECK #1

www.EasyEngineering.net

18

100

MAIN | EVER BEEN EXPOSED TO AN OWN TRIGGER

MAIN LINE
SCALE: 1/16"

MAIL
SCANE-

MAIN LEVEL - REFLECTED CEILING PLAN (A SLOPED ROOF)

SCALE: 1/8" = 1'-0"

ALLOWANCE EXPENDITURE DIRECTIVE FORM

Fair Oaks Recreation & Park District
4150 Temescal Street
Fair Oaks, CA 95628

**ALLOWANCE
EXPENDITURE
DIRECTIVE NO.:**

037 (V1)

ALLOWANCE EXPENDITURE DIRECTIVE

Project: Village Park Renovation

Date: 04/08/24

Bid No.: BP 21-103

The following parties agree to the terms of this Allowance Expenditure Directive ("AED"):

Owner Name, Address, Telephone:

Fair Oaks Recreation & Park District
4150 Temescal Street
Fair Oaks, CA 95628
(916) 966-1036

Contractor Name, Address, Telephone:

Bobo Construction, Inc.
9722 Kent Street
Elk Grove, CA 95624
(916) 383-7777

Reference	Description	Allowance Authorized for Expenditure
PCO 130A.2 Requested by: Performed by: Reason: ASI 20.2	Bandshell, Stairs, Arts & Crafts Changes Owner Contractor Changes to Bandshell, Stairs, Arts & Crafts Changes	\$38,797.00
PCO 171 Requested by: Performed by: Reason:	Grades at Play Area Owner Contractor Additional Grade Elevations at the Play Area	\$719.00

Total Contract Allowance Amount:	\$1,800,000.00
Amount of Previously Approved Allowance Expenditure Directive(s):	\$1,300,981.00
Amount of this Allowance Expenditure Directive:	\$39,516.00

The undersigned Contractor approves the foregoing release of allowance for completion of each specified item, and agrees to furnish all labor, materials and services and perform all work necessary to complete any additional work specified for the consideration stated therein ("Work"). Submission of sums which have no basis in fact or which Contractor knows are false are at the sole risk of Contractor and may be a violation of the False Claims Act set forth under Government Code section 12650, et seq.

This Allowance Expenditure Directive must be signed by an authorized District representative.

It is expressly understood that the authorized allowance expenditure granted herein represent a full accord and satisfaction for any and all cost impacts of the items herein, and Contractor waives any and all further compensation based on the items herein. The value of the extra work or changes expressly includes any and all of the Contractor's costs and expenses, and its subcontractors, both direct and indirect. Any costs, expenses, or damages not included are deemed waived.

Signatures:

DISTRICT: FAIR OAKS RECREATION & PARK DISTRICT Date: <u>4/11/24</u> By: <u>Michael J. Aho</u> Michael J. Aho-District Administrator [Print Name and Title here]	CONTRACTOR: Bobo Construction, Inc. Date: <u>4/9/24</u> By: <u>Jean Barazza, P.M.</u> [Print Name and Title here]
ARCHITECT: WMB WMB Architects: Tim Mattheis Date: _____ By: _____ [Print Name and Title here]	LANDSCAPE ARCHITECT: CALA Melissa Ruth Date: <u>04/11/24</u> By: <u>Melissa Ruth</u> <u>Melissa Ruth, Principal</u> [Print Name and Title here]

END OF DOCUMENT



Sel Dume
4/5/24

Bobo Construction Inc.
9722 Kent Street
Elk Grove, California 95624
Phone: (916) 383-7777

Project: 3258 - Village Park Renovations Project
7997 California Ave
Fair Oaks, California 95628

Prime Contract Potential Change Order #130.A: V1 ASI 20.2 - Changed to Bandshell, Stairs, and Art & Crafts Building

TO:	Fair Oaks Recreation and Parks District 4150 Temescal Street Fair Oaks, California 95628	FROM:	Bobo Construction, Inc. 9722 Kent Street Suite A Elk Grove, California 95624
PCO NUMBER/REVISION:	130.A / 2	CONTRACT:	BP#21-103 - Village Park Prime Contract
REQUEST RECEIVED FROM:		CREATED BY:	Juan Barraza (Bobo Construction, Inc.)
STATUS:	Pending - In Review	CREATED DATE:	9/19/2023
REFERENCE:		PRIME CONTRACT CHANGE ORDER:	None
FIELD CHANGE:	No	ACCOUNTING METHOD:	Amount Based
LOCATION:		PAID IN FULL:	No
SCHEDULE IMPACT:	12 days	SIGNED CHANGE ORDER RECEIVED DATE:	
EXECUTED:	No	TOTAL AMOUNT:	\$38,797.00

POTENTIAL CHANGE ORDER TITLE: V1 ASI 20.2 - Changed to Bandshell, Stairs, and Art & Crafts Building

CHANGE REASON: Design Development

POTENTIAL CHANGE ORDER DESCRIPTION: (*The Contract Is Changed As Follows*)

CE #161 - V1 ASI 20.2 - Changed to Bandshell, Stairs, and Art & Crafts Building

1. REVISION TO SHEET 3.6 SITE DEMOLITION PLAN:

Remove approximately 1,470 sf of concrete pavement.

2. REVISION TO SHEET 4.3 SITE LAYOUT PLAN:

Revise limit of work on landscape plan.

Add approximately 18 LF of mowband.

Remove approximately 13 LF of mowband.

3. REVISION TO SHEET 4.4 SITE LAYOUT PLAN:

Add cheek wall callout.

Add mowband.

4. REVISION TO SHEET 4.5 SITE LAYOUT PLAN:

Revise concrete steps at bandshell.

Add approximately 65 LF of seat wall.

Add raised planter.

Add planting area.

Add approximately 20 LF of handrail.

5. REVISION TO SHEET 5.3 IRRIGATION PLAN:

Add approximately 5 shrub bubblers and lateral line.

6. REVISION TO SHEET 5.5 IRRIGATION PLAN:

Add approximately 9 shrub bubblers and lateral line.

7. REVISION TO SHEET 6.3 PLANTING PLAN:

Add approximately 4, 5-gallon shrubs and 7 1-gallon shrubs.

8. REVISION TO SHEET 6.5 PLANTING PLAN:

Add approximately 16, 5-gallon shrubs.

Remove approximately 915 sf of turf.

Take off confirmed by Jensen (See attached confirmation)

CALA 915 SF takoff not confirmed

9. REVISION TO SHEET 8.1 CONSTRUCTION DETAIL:

Add modified cheek wall enlargement on detail 3/8.1.



PCO #130.A

10. REVISION TO SHEET 8.3 CONSTRUCTION DETAIL:

Add clarification notes on detail 1/8.3.

11. REVISION TO SHEET C1.3 SITE PLAN:

Linework and hatches were edited between the Arts & Crafts building and the Amphitheater to conform to the Architect and Landscape Architect plans.

12. REVISION TO SHEET C1.4 SITE PLAN:

The risers located at the north east entry to the park were modified. One riser for the top set of stairs was removed.

13. REVISION TO SHEET C1.5 SITE PLAN:

Linework and hatches were edited to show new configuration of ramps, stairs and planters, specifically around the existing bandshell area.

14. REVISION TO SHEET C2.2 GRADING & DRAINAGE PLAN:

Additional existing grades were added along the existing wall on the east side of the Amphitheatre. Minor grade changes near the existing Arts and Crafts Building, including existing grade updates. Minor grade changes behind the trash enclosure sloping down to the playground and new restroom area. Minor grading change to ADA curb in Ramp Detail F. Minor grade changes near the playground and to the risers to accommodate hill slide.

15. REVISION TO SHEET C2.3 GRADING & DRAINAGE PLAN:

Additional existing grades were added along the east side of the Amphitheatre along the project limit (slopes were updated to show the correct EG). Minor grade changes near the existing Arts and Crafts Building, including existing grade updates. A detail was added for the ADA path in the area. A grade break line type was added for clarification. No grade changes to the pedestrian ramps.

16. REVISION TO SHEET C2.4 GRADING & DRAINAGE PLAN:

Minor grade changes to the risers at the north east entry to the park. The top set of stairs no longer needs an additional riser. See RFI for cross section of stairs for further clarification.

17. REVISION TO SHEET C2.5 GRADING & DRAINAGE PLAN:

Grading changes were made to show new configuration of ramps, stairs and planters, specifically around the existing bandshell area. Cross sections of stairs were added.

ATTACHMENTS:

[22-103 Village Park RRM PCO# 23.pdf](#) , [V1_ASI# 20.2.pdf](#)

#	Budget Code	Description	Amount
1	2-203.SVC Survey.Professional Services	V1 ASI 20.2	\$430.00
2	3-213.S Cast-In-Place Concrete.Commitment	V1 ASI 20.2	\$19,704.00
3	2-302.S Earthwork.Commitment	V1 ASI 20.2 (Billed T&M in PCO 130B)	\$0.00
4	5-175.S Structural Metals.Commitment	V1 ASI 20.2	\$5,521.00
5	2-902.S Landscaping.Commitment	V1 ASI 20.2	\$2,614.00
6	2-220.S Site Demolition.Commitment	V1 ASI 20.2	\$8,680.47
			Subtotal: \$36,949.47
Bobo Self Perform Markup (15.00% Applies to Labor, Rental Equipment, Materials, Burden, and Owned Equipment.):			\$0.00
Bobo Sub Markup (5.00% Applies to Commitment, Professional Services, and Other.):			\$1,847.53
			Grand Total: \$38,797.00

Tim Mattheis (WMB Architects Inc)

2000 L Street, Suite 125

Sacramento, California 95811

Fair Oaks Recreation and Parks District

4150 Temescal Street

Fair Oaks, California 95628

Bobo Construction, Inc.

9722 Kent Street Suite A

Elk Grove, California 95624

SIGNATURE

DATE

SIGNATURE

DATE

SIGNATURE

DATE

PCO# 130 - V1 ASI 20.2 Changes to Bandshell, Stairs, and Art & Craft Building

Description: ASI20.2 addresses changes in scope/design to Bandshell ADA pathway, New Concrete Stairs/Handrail, Landscape Modifications, Mowband Adjustments, Stairs Cheek Wall, New Raised Planter, Grade Design Changes, & Design Details

Main Changes:

- 1470 Sf of Demo previously protect in place concrete pavement. (Bandshell)
- 13 LF removal and 18LF Add of mowband realignment (North Community Center Gate Access)
- Cheek wall and mowband at new stairs to protect subgrade (Main/Park)
- Stair Riser change (Main/Park)
- 65LF seatwall for new ADA Ramp in existing rock wall (East Bandshell)
- 20LF handrail for new Bandshell steps (West Bandshell)
- Raised planter (N/W corner Bandshell)
- Grading changes to accommodate ADA requirements and improve design in the following areas: Bandshell, East Amphitheatre, Arts and Crafts Building, Trash Enclosure, Playground, & New Restroom.
 - o East Bandshell – Due to the steep planter area between Bandshell and the new restroom site concrete, new handrail/concrete steps were incorporated for safe public access.
 - o West Bandshell – Existing site concrete ramp/rock retaining wall was not able to integrate with new ADA pathway. New scope included Demo of existing, new ramp design, grade adjustment all around bandshell.
 - o Arts and Carfts building – Grade adjustment were required to transition with existing door openings and surrounding ADA pathways.
 - o Trash Enclosure – Planter area slope between Trash enclosure and new restroom site concrete adjustments to accommodate changes to Bandshell.

RRM
R & R MAHER CONSTRUCTION COMPANY, INC.
147 Camino Oruga
Napa, CA 94558
Phone: 707-552-0330 | Fax: 707-552-4280
CA License Number 508930
DIR# 1000000345
www.maherconcrete.com

CONTRACT CHANGE ORDER PROPOSAL

DATE: Tuesday, April 02, 2024
TO: Bobo Construction, Inc.
9722 Kent Street
Elk Grove, CA 95624

R & R Maher Job No.: 22 – 103
R & R Maher PCO#: 23 – Revised
Owner/Contractor No.:

ATTN: Travis Nicholas / Juan Barraza
JOB: Village Park Renovations
RE: Add Modified Cheek Wall at Stairs (14 LF),
Seatwall (35 LF), Planter Wall (55 LF);
Deduct Stairs (50 LF)

Original Plan Date: 03/02/22 Bid Set
Revision Date: Varies
New Plan or ASI# 20.2-V1
Addendum:

- The above revision has resulted in the following adjustments to the original contract:
- Per your request we will make the following changes:
 - **Excludes:**
 - Other:
- This change will add approximately **6 (SIX)** working day(s) to our schedule.

In accordance with the terms, conditions, and exclusions of contract.

SCOPE OF THIS CHANGE IS LIMITED TO:

AMOUNT:

Item	Description	Quantity	Unit	Unit Cost	Total(+/-)
1	Add Modified Cheek Wall at Stairs (14 LF), Seatwall (35 LF), Planter Wall (55 LF); Deduct Stairs (50 LF)	1	LS	\$ 19,704.00	\$ 19,704.00
Total ADD For RRM PCO #23-R1:					\$ 19,704.00

NOTES & EXCEPTIONS:

Please sign below and return one signed copy to our office or forward your change order.

- Work will not proceed on this revision until acceptance is received.
- We are proceeding/have proceeded and will bill you accordingly.

ACCEPTED BY:

Bobo Construction, Inc.

R & R Maher Construction Co., Inc.

Name: _____

Name: Doug Maher

Doug Maher – Project Manager

Date: _____

Date: April 2, 2024

RRM
R & R MAHER CONSTRUCTION
COMPANY, INC.
CA LICENSE NO. 508930

WWW.MAHERCONCRETE.COM

147 CAMINO ORUGA
NAPA, CA 94558
PHONE: (707) 552-0330
FAX: (707) 552-4280

R & R MAHER Construction Company, Inc.							
FIELD INSTRUCTION ESTIMATE & QUOTE							
ASI# V1-20.2: Add Modified Cheek Wall at Stairs (14 LF), Seatwall (35 LF), & Planter Wall (55 LF); Deduct Stairs (50 LF)							
FAIR OAKS - VILLAGE PARK RENOVATIONS - RRM Job # 22-103 - RRM PCO# 23							
Computed Cost Summary							
A. Materials/Equipment							
	Item	Description	Qty	Unit	Each		
	1	Lumber Material	410	SF	\$ 4.00		
	2	Chamfer	200	LF	\$ 0.40		
	3	Concrete	13	CY	\$ 180.00		
	4	Company Truck (3/4 ton)	40	HR	\$ 30.00		
	5	Fuel Surcharge	40	HR	\$ 15.00		
	6	Concrete Pump	8	HR	\$ 275.00		
	7	Concrete Pump	13	CY	\$ 3.50		
Subtotal				\$ 8,105.50			
Markup				\$ 1,215.83			
Material Subtotal				\$ 9,321.33	\$ 9,321.33		
B. Labor							
	Form, Pour, Finish, Strip, Clean, Sack						
	1	Carpenter Foreman	32.0	HRS	\$ 122.38		
	2	Carpenter Journeyman	32.0	HRS	\$ 115.01		
	3	Mason Foreman	12.0	HRS	\$ 98.03		
	4	Mason Journeyman	12.0	HRS	\$ 89.81		
	5	Laborer Journeyman	16.0	HRS	\$ 79.25		
Subtotal				\$ 11,118.56			
Markup				\$ 1,667.78			
Labor Subtotal				\$ 12,786.34	\$ 12,786.34		
C. Subcontracted Work							
	1	Camblin Steel Service	1.0	LS	\$ 2,949.00		
	2	N/A	1.0	LS	\$ -		
Subtotal				\$ 2,949.00			
Markup				\$ 147.45			
Subcontractor / Labor Subtotal				\$ 3,096.45	\$ 3,096.45		
DEDUCT Stairs In 20.1 Revised Layout				-50 LF	\$ 110.00		
TOTAL				\$ 19,704.12			
4/2/2024							
Doug Maher							
DATE							
R&R Maher Construction Co. Inc.							
RRM # 22-103							
PCO# 23							

Fair Oaks Recreation & Parks
T & M WAGE CHART

Date: AUGUST 3, 2023

School/Project: VILLAGE PARK RENOVATION

General Contractor: BOBO CONSTRUCTION, INC.

Subcontractor: R & R MAHER CONST. CO., INC.

Prevailing Wage Rate Calculation

Date:

No	Trade / Craft	G #	Fringes Benefits (does not increase for OT rates)					Burden (Employer Payments)					Total Hourly Rate	Profit	Total Billable Rate				
			Basic Hourly Rate	Health & Welfare	Pension	Vacation / Holiday	Other Payments	Subtotal (Fringes)	Training	Subtotal / OT Hourly Rate	FICA	SDI	Workman Comp.	UI	FUTA	Total Burden			
A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T
1	CARPENTER FOREMAN	\$66.43	\$12.49	\$11.25	\$3.18	\$6.89	\$33.81	\$0.00	\$100.24	\$7.67	\$1.28	\$6.17	\$6.21	\$0.80	\$22.14	\$122.38	\$18.36	\$140.74	
2	CARPENTER JOURNEYMAN	\$60.39	\$12.49	\$11.25	\$3.18	\$6.89	\$33.81	\$0.00	\$94.20	\$7.21	\$1.21	\$5.80	\$5.84	\$0.75	\$20.81	\$115.01	\$17.25	\$132.26	
3	CEMENT MASON FOREMAN	\$51.58	\$9.12	\$12.11	\$6.65	\$0.83	\$28.71	\$0.00	\$80.29	\$6.14	\$1.03	\$4.95	\$4.98	\$0.64	\$17.74	\$98.03	\$14.70	\$112.73	
4	CEMENT MASON JOURNEYMAN	\$44.85	\$9.12	\$12.11	\$6.65	\$0.83	\$28.71	\$0.00	\$73.56	\$5.63	\$0.94	\$4.53	\$4.56	\$0.59	\$16.25	\$89.81	\$13.47	\$103.28	
5	LABORER FOREMAN	\$39.99	\$10.10	\$9.96	\$3.25	\$5.25	\$28.56	\$0.00	\$68.55	\$5.24	\$0.88	\$4.22	\$4.25	\$0.55	\$15.14	\$83.69	\$12.55	\$96.25	
6	LABORER JOURNEYMAN	\$36.35	\$10.10	\$9.96	\$3.25	\$5.25	\$28.56	\$0.00	\$64.91	\$4.97	\$0.83	\$4.00	\$4.02	\$0.52	\$14.34	\$79.25	\$11.89	\$91.14	
7	OPERATING ENGINEERING FOREMAN	\$66.79	\$13.38	\$10.78	\$5.96	\$2.81	\$32.93	\$0.00	\$99.72	\$7.63	\$1.28	\$6.14	\$6.18	\$0.80	\$22.03	\$121.75	\$18.26	\$140.01	
8	OPERATING ENGINEERING JOURNEYMAN	\$60.72	\$13.38	\$10.78	\$5.96	\$2.81	\$32.93	\$0.00	\$93.65	\$7.16	\$1.20	\$5.77	\$5.81	\$0.75	\$20.69	\$114.34	\$17.15	\$131.49	

Notes:

- I Insert Contractor's basic hourly rate, health & welfare, pension, vacation/holiday and other payments in columns "D" to "H", then add training to column "J". Subtotal straight and over time hourly rates will be calculated at column "K" which includes "Fringes Benefits". Please note that ONLY "basic hourly rates" will change for over time and all other "Fringe Benefits" remain the same as straight hourly rates.
- II Insert Contractor's workman compensation rate at lower section of columns "N" where shows "0.00%" for each contractor/trade. Total hourly rate including "Fringes Benefits" and all "Burdens" will be calculated at column "R". Since "Burdens" are percentages of the "subtotal straight/OT hourly rates" they will increase for over time rates and will be calculated automatically by the spreadsheet.

Martin's Steel Works Inc
7284 Lewis Rd
Vacaville CA 95687-9451



(707) 678-6120

707-678-6120
CONT LIC # 1006101

Change Order Request

COR Number: 006
Date: 7/24/2023
Project Number: 143213
Contract Date: 6/1/2022

To:	Project:
BoBo Construction, Inc 9722 Kent Street Elk Grove CA 95624	Village Park Renovation Village Park Renovation 7997 California Avenue Fair Oaks CA 95628

This Change Order is based on the following:

Fabricate and install approximately 20LF (2) additional rail per ASI #20.1 Site layout plan sheet 4.5

Reason for Change:

Project Original Contract Sum	567,541.00
Total of Previously Approved Change Orders	6,499.00
Contract Amount Prior to this Change Order	574,040.00
Proposed Contract Amount of this Change Order	5,521.00
Proposed Contract Amount Including this Change Order	579,561.00

Accepted By:

Contractor (Company Name)	Owner (Company Name)	Other (Company Name)
By (Signature)	By (Signature)	By (Signature)
Printed Name	Printed Name	Printed Name
Date	Date	Date
Owner's Change Order Number		



03/19/2024

Juan Barraza

Gage Burget

BOBO Construction, Inc.

jbarraza@boboconstruction.com

gburget@boboconstruction.com

Village Park Renovation Project

COR 09R3—Plan Changes as Per ASIs 20, 20.1 & 20.2

Jensen Construction is submitting for your review and approval, a change order request (COR) for the following:

- ASIS 20, 20.1 & 20.2---Various Irrigation, soil work and Planting Changes

TOTAL COST.....\$ 2614.00

Qualifications and Exclusions:

- All qualifications, inclusions, and exclusions provided in our Subcontract for this project apply to this work .

VILLAGE PARK BREAKDOWNS FOR ASIs 20, 20.1 & 20.2	
Labor	\$ 1,000.44
Hours @ \$ 83.37 pre- markup)	12.00
Materials***	\$ 991.38
Equip.*	\$ 200.00
Subs	N/A
Tax	\$ 81.79
	\$ 341.03
Markup (15%)	
TOTAL	\$ 2,614.64

Expense Breakdowns--Installed Costs			
	QTY	Unit Cost	Extended
Add 30 ea 5-gallon Plants	20	\$38.43	\$ 768.60
Add 10 ea. 1-gallon Plants	7	\$14.70	\$ 102.93
Added Soil prep & Import **	1	\$1,346.64	\$ 1,346.64
Added mulch, cy	0.5	\$131.11	\$ 65.56
Irrigation Changes	1	\$330.54	\$ 330.54
		Total	\$ 2,614.26

* Details of Equipment			
	QTY	Unit Cost	Extended
Credit for Loader / Min-ex @ Sod	-1	\$ 25.00	\$ (25.00)
Loader for PA & Raised Planter	1	\$ 225.00	\$ 225.00
		Total	\$ 200.00

3/19/2024

Juan Barraza
 Gage Burget
 BOBO Construction, Inc.
jbarraza@boboconstruction.com
gburget@boboconstruction.com

Village Park Renovation Project

COR 09R3—continued...

Take off confirmed (See attached confirmation)
 CALA 915 SF takoff not confirmed

** Details of Added Soil Prep for Raised Planter			
	QTY	Unit Cost	Extended
Credit for seeded grass, sf	-125	\$ 0.42	\$ (52.50)
Amended Planter Soil, cy	4.5	\$ 150.00	\$ 675.00
labor, hrs.	8.69	\$ 83.37	\$ 724.14
		Total	\$ 1,346.64

*** Material Cost Details			
	QTY	Unit Cost	Extended
5-gallon Plants, ea	20	\$20.00	\$ 400.00
1-gallon plants, ea	7	\$5.75	\$ 40.25
Soils, cy	5	\$87.25	\$ 436.25
Credit for tree bubbler, ea	-1	\$35.00	\$ (35.00)
Credit for irrigation laterals, lf	-10	\$0.988	\$ (9.88)
Add irrigation laterals, lf	20	\$0.988	\$ 19.76
Add shrub bubblers	7	\$20.00	\$ 140.00
		Total	\$ 991.38

If any more info is needed, please let us know.

Regards,

David Kaplow
 Project Manager
 Cell: 415 559-3486
 Cc: Ed Dempsey

From: David Kaplow <David.Kaplow@jensencorp.com>
Sent: Tuesday, March 26, 2024 9:07 AM
To: Juan Barraza; Gage Burget
Cc: Ed Dempsey
Subject: RE: RFI 400? RE: procore notifications

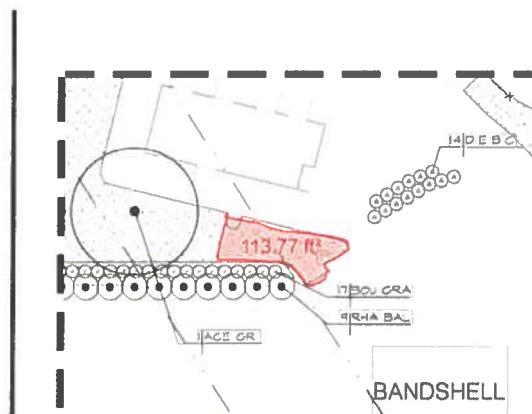
Juan, Before I send in a third revisions, I need to clarify a couple thing:

1. for the lawn that is being reduced, all I see is this +/- 115 sf on sheet 6.1, as marked up in red below

Snippet from Sheet 6.1 V1-ASI 15

Sheets >

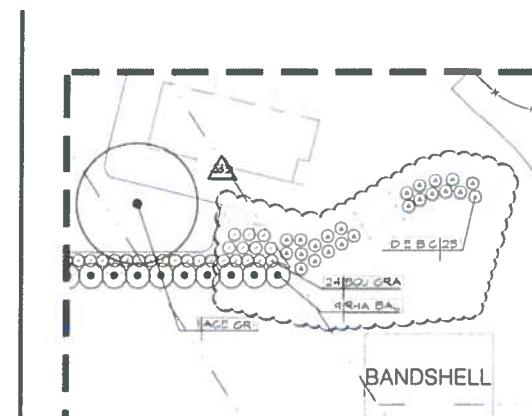
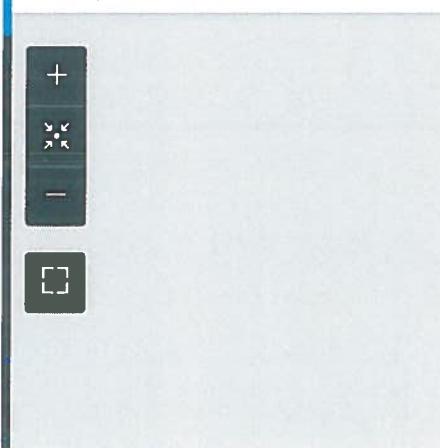
6.5 (V1-ASI 15)



Snippet from Sheet 6.5 ASI 20.2

Sheets >

6.5 (ASI 20.2)



2. Regarding the note that the total materials of \$ 991.38 does not match the number below in the Expense details, The expense details are installed costs, inclusive of all labor, materials, etc.

This is the same format as all other CORs, so there seems to be some disconnect here.

WAGE CHART

Date: 2/16/2023

School/Project: Village Park

General Contractor: BOBO

Subcontractor: Jensen Landscaping--Rates Below

Prevailing Wage Rate Calculation

Date:

No	Trade / Craft	Fringes Benefits (does not increase for OT rates)										Burden (Employer Payments)							Profit	Total Billable Rate	Comments
		G	Basic Hourly Rate	H	Health & Welfare	Pension	Vacation / Holiday	Other Payments	Subtotal (Fringes)	Training	Subtotal Straight / OT Hourly Rate	FICA	SDI	Workman Comp.	UI	FUTA	Total Burden	Total Hourly Rate			
A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	
1	Union Laborer	\$38.00	\$9.60	\$9.46	\$3.05	\$9.28	\$31.39	\$0.50	\$69.89	\$5.35	\$0.89	\$2.35	\$4.33	\$0.56	\$13.48	\$83.37	\$8.34	\$91.71			
2	Union Foreman	\$43.00	\$9.60	\$9.46	\$3.05	\$9.56	\$31.67	\$0.50	\$75.17	\$5.75	\$0.96	\$2.53	\$4.66	\$0.60	\$14.50	\$89.67	\$8.97	\$98.64			
3	Union Operator	\$45.90	\$13.38	\$10.35	\$4.47	\$2.63	\$30.83	\$0.05	\$76.78	\$5.87	\$0.98	\$2.58	\$4.76	\$0.61	\$14.81	\$91.59	\$9.16	\$100.75			
4		\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00				
5		\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00				
6		\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00				

Notes:

- I Insert Contractor's basic hourly rate, health & welfare, pension, vacation/holiday and other payments in columns "D to H", then add training to column "J". Subtotal straight and over time rates will be calculated at column "K" which includes "Fringes Benefits". Please note that ONLY "basic hourly rates" will change for over time and all other "Fringe Benefits" remain the same as straight hourly rates
- II Insert Contractor's workman compensation rate at lower section of columns "N" where shows "0.00%" for each contractor/trade. Total hourly rate including "Fringes Benefits" and all "Burdens" will be calculated at column "R". Since "Burdens" are percentages of the "subtotal straight/OT hourly rates" they will increase for over time rates and will be calculated automatically by the spreadsheet.

Demolition Services & Grading Inc

CSL #1015534 - B, C12 & C1

DIR #1000039367

Dsgi.co

September 13, 2023

Bobo Construction Inc

**RE: Village Park
7997 California Ave
Fair Oaks, CA 95628**

RE: Change Order #21 – RFQ #014 – V1 ASI 20.2 – 1,500 SF of Concrete Demo at Stone walkways on South side of Clubhouse.

Our price includes removal & legal disposal of items within the site & project limits, as specifically detailed herein.

COR #21 Total:

Change order total.....\$8,680.47

1 - Foreman 8 hrs. @\$106.38	\$ 851.04
1 - Laborers 8 hrs. @\$74.65	\$ 597.20
Excavator 1 Day	\$ 900.00
Trucking 8 Hours @\$150	\$1,200.00
Saw cutting 1 Day	\$1,500.00
Mobilization	\$2,500.00
Markup 15%	\$1,132.23

Sincerely,

Sarah Meyer
smeyer@dsgi.co
209.456.9741



DSGI

T & M WAGE CHART

Date: _____

School/Project: _____

General Contractor: _____

Prevailing Wage Rate Calculation

Date:

Fringes Benefits (does not increase for OT rates)										Burden (Employer Payments)										
No	Trade / Craft	Basic Hourly Rate	Health & Welfare	Pension	Vacation / Holiday Payments	Other (Subtotal Fringes)	Training	Subtotal Straight / OT Rate	FICA	SDI	Workman Comp.	UI	FUTA	Total Burden	Total Hourly Rate	Profit	Total Billable Rate	Comments		
A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U
1	Laborer	\$35.00	\$9.60	\$13.86	\$3.05	\$0.30	\$26.81	\$0.50	\$62.31	\$4.77	\$0.80	\$2.42	\$3.86	\$0.50	\$12.34	\$74.65				
2	Operator Foreman	\$55.65	\$10.84	\$11.78	\$5.87	\$3.12	\$31.61	\$1.12	\$88.38	\$6.76	\$1.13	\$3.92	\$5.48	\$0.71	\$18.00	\$106.38				
3	Operator Journeyman	\$52.91	\$10.84	\$11.78	\$5.87	\$3.12	\$31.61	\$1.12	\$85.64	\$6.55	\$1.10	\$3.74	\$5.31	\$0.69	\$17.38	\$103.02				
4		\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00				
5		\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00				
6		\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00				

Notes:

- I Insert Contractor's basic hourly rate, health & welfare, pension, vacation/holiday and other payments in columns "D to H", then add training to column "J". Subtotal straight and over time hourly rates will be calculated at column "K" which includes "Fringes Benefits". Please note that ONLY "basic hourly rates" will change for overtime and all other "Fringe Benefits" remain the same as straight hourly rates.
- II Insert Contractor's workman compensation rate at lower section of columns "N" where shows "0.00%" for each contractor/trade. Total hourly rate including "Fringes Benefits" and all "Burdens" will be calculated at column "R". Since "Burdens" are percentages of the "subtotal straight/OT hourly rates" they will increase for overtime rates and will be calculated automatically by the spreadsheet.



ASI #20.2 - VOLUME 1

VILLAGE PARK RENOVATION PROJECT

August 23, 2023

The following changes, modifications, or additions to the drawings with this ASI are made a part thereof and are subject to all of the requirements thereof as if originally specified.

CHANGES TO THE DRAWINGS

The following revision descriptions shall be included with the Village Park Renovation project, Sheets 3.6, 4.3-4.5, 5.3, 5.5, 6.3, 6.5, 8.1, 8.3, C1.3-C1.5, C2.2-C2.5, dated July 14, 2023.

1. **REVISION TO SHEET 3.6 SITE DEMOLITION PLAN:**
Remove approximately 1,470 sf of concrete pavement.
2. **REVISION TO SHEET 4.3 SITE LAYOUT PLAN:**
Revise limit of work on landscape plan.
Add approximately 18 LF of mowband.
Remove approximately 13 LF of mowband.
3. **REVISION TO SHEET 4.4 SITE LAYOUT PLAN:**
Add cheek wall callout.
Add mowband.
4. **REVISION TO SHEET 4.5 SITE LAYOUT PLAN:**
Revise concrete steps at bandshell.
Add approximately 65 LF of seat wall.
Add raised planter.
Add planting area.
Add approximately 20 LF of handrail.
5. **REVISION TO SHEET 5.3 IRRIGATION PLAN:**
Add approximately 5 shrub bubblers and lateral line.
6. **REVISION TO SHEET 5.5 IRRIGATION PLAN:**
Add approximately 9 shrub bubblers and lateral line.
7. **REVISION TO SHEET 6.3 PLANTING PLAN:**
Add approximately 4, 5-gallon shrubs and 7 1-gallon shrubs.
8. **REVISION TO SHEET 6.5 PLANTING PLAN:**
Add approximately 16, 5-gallon shrubs.
Remove approximately 915 sf of turf.



9. **REVISION TO SHEET 8.1 CONSTRUCTION DETAIL:**
Add modified cheek wall enlargement on detail 3/8.1.

10. **REVISION TO SHEET 8.3 CONSTRUCTION DETAIL:**
Add clarification notes on detail 1/8.3.

11. **REVISION TO SHEET C1.3 SITE PLAN:**
Linework and hatches were edited between the Arts & Crafts building and the Amphitheater to conform to the Architect and Landscape Architect plans.

12. **REVISION TO SHEET C1.4 SITE PLAN:**
The risers located at the north east entry to the park were modified. One riser for the top set of stairs was removed.

13. **REVISION TO SHEET C1.5 SITE PLAN:**
Linework and hatches were edited to show new configuration of ramps, stairs and planters, specifically around the existing bandshell area.

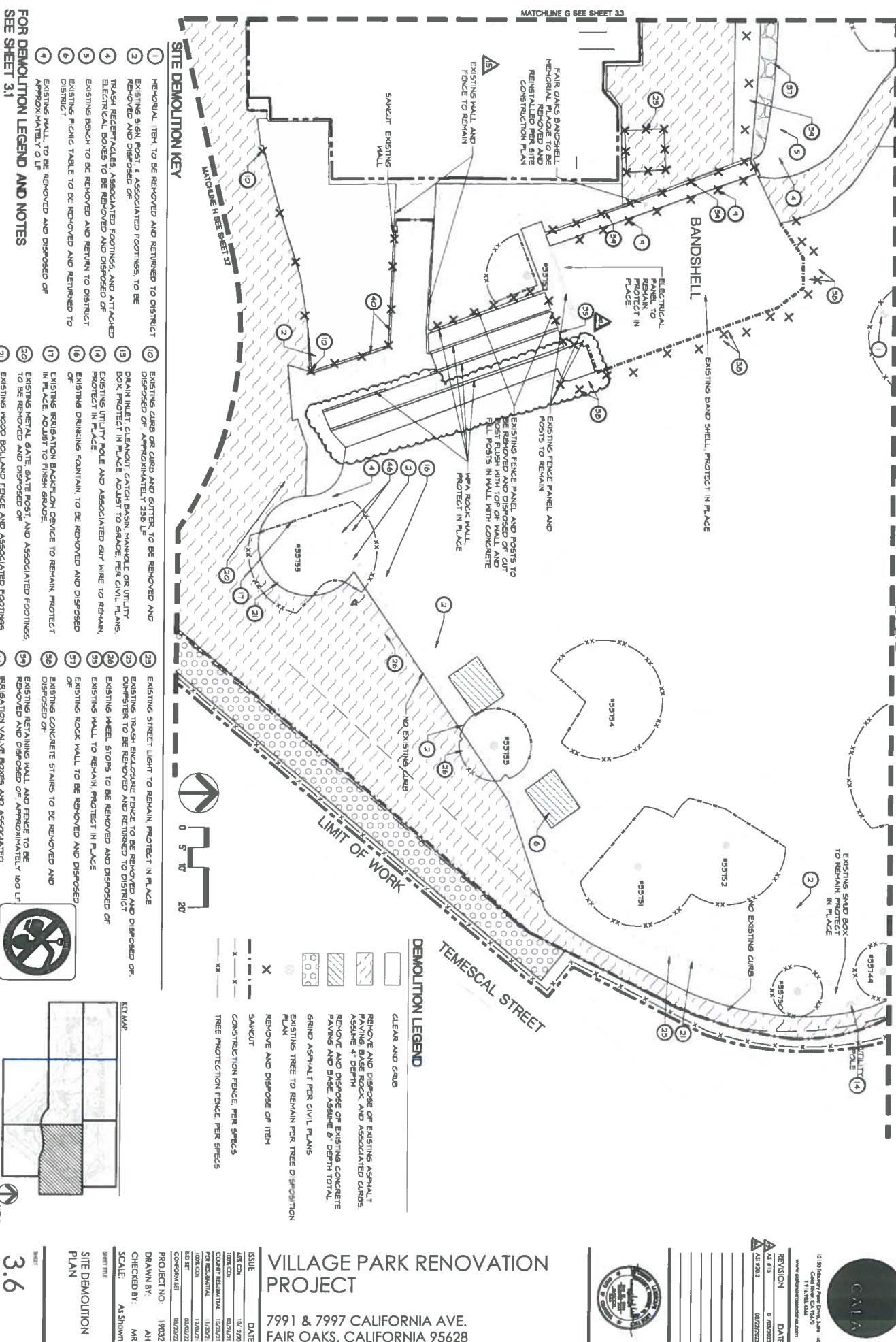
14. **REVISION TO SHEET C2.2 GRADING & DRAINAGE PLAN:**
Additional existing grades were added along the existing wall on the east side of the Amphitheatre. Minor grade changes near the existing Arts and Crafts Building, including existing grade updates. Minor grade changes behind the trash enclosure sloping down to the playground and new restroom area. Minor grading change to ADA curb in Ramp Detail F. Minor grade changes near the playground and to the risers to accommodate hill slide.

15. **REVISION TO SHEET C2.3 GRADING & DRAINAGE PLAN:**
Additional existing grades were added along the east side of the Amphitheatre along the project limit (slopes were updated to show the correct EG). Minor grade changes near the existing Arts and Crafts Building, including existing grade updates. A detail was added for the ADA path in the area. A grade break line type was added for clarification. No grade changes to the pedestrian ramps.

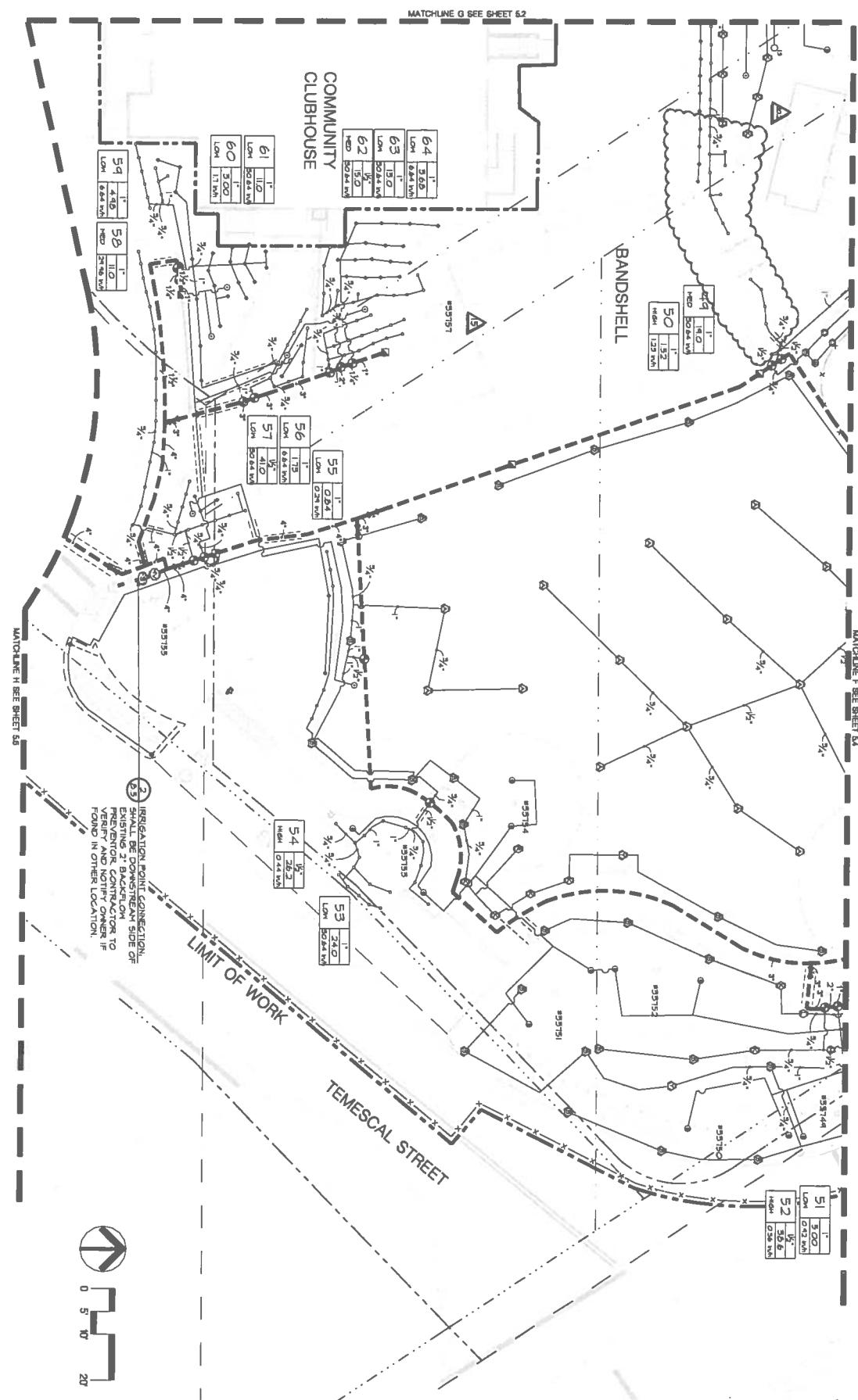
16. **REVISION TO SHEET C2.4 GRADING & DRAINAGE PLAN:**
Minor grade changes to the risers at the north east entry to the park. The top set of stairs no longer needs an additional riser. See RFI for cross section of stairs for further clarification.

17. **REVISION TO SHEET C2.5 GRADING & DRAINAGE PLAN:**
Grading changes were made to show new configuration of ramps, stairs and planters, specifically around the existing bandshell area. Cross sections of stairs were added.

END OF ASI #20.2



**FOR IRRIGATION LEGEND AND NOTES
SEE SHEET 5.0**



VILLAGE PARK RENOVATION PROJECT

7991 & 7997 CALIFORNIA AVE.
FAIR OAKS, CALIFORNIA 95628

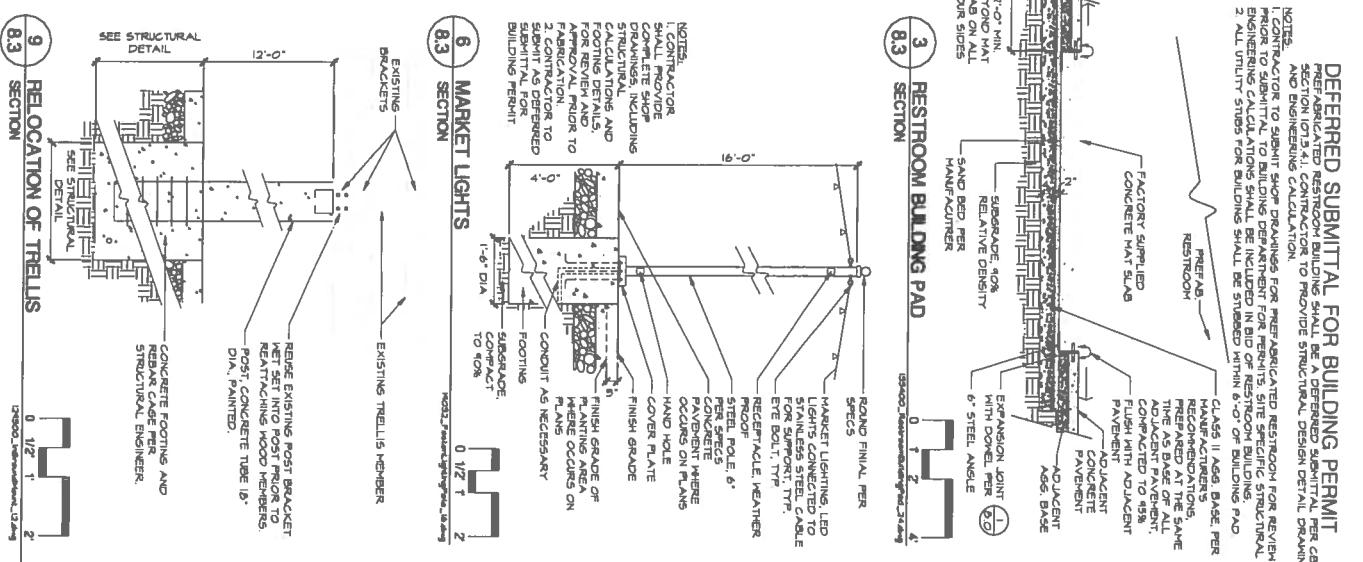
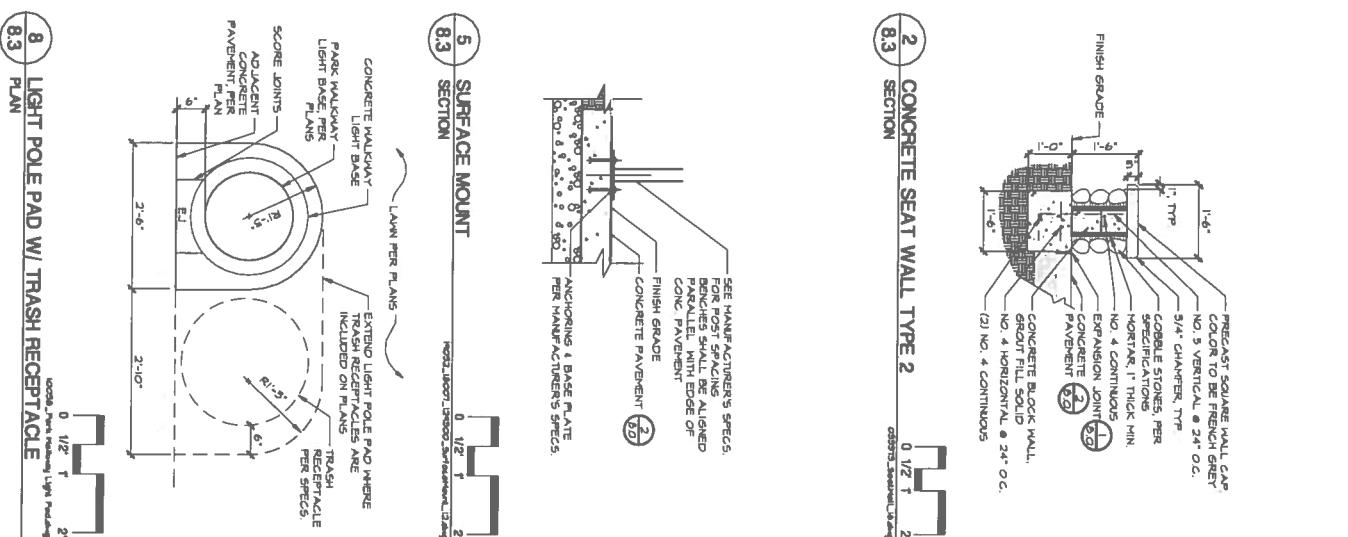
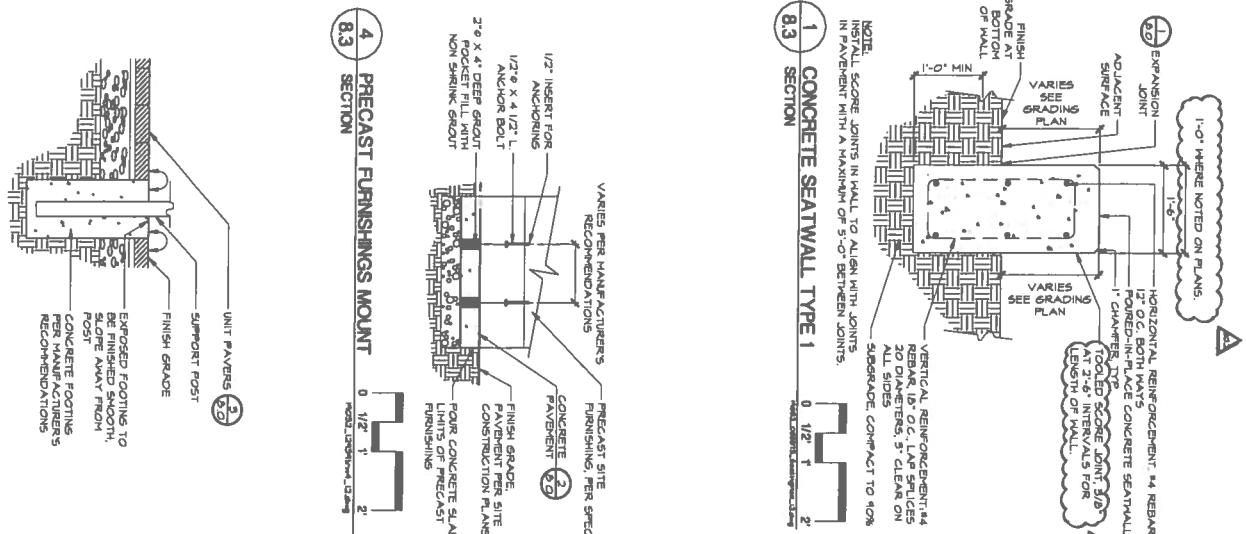
www.uspto.gov/patents

REVISION DATE
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U.S. PATENT AND TRADE MARK OFFICE
WASHINGTON, D.C.



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VILLAGE PARK RENOVATION PROJECT

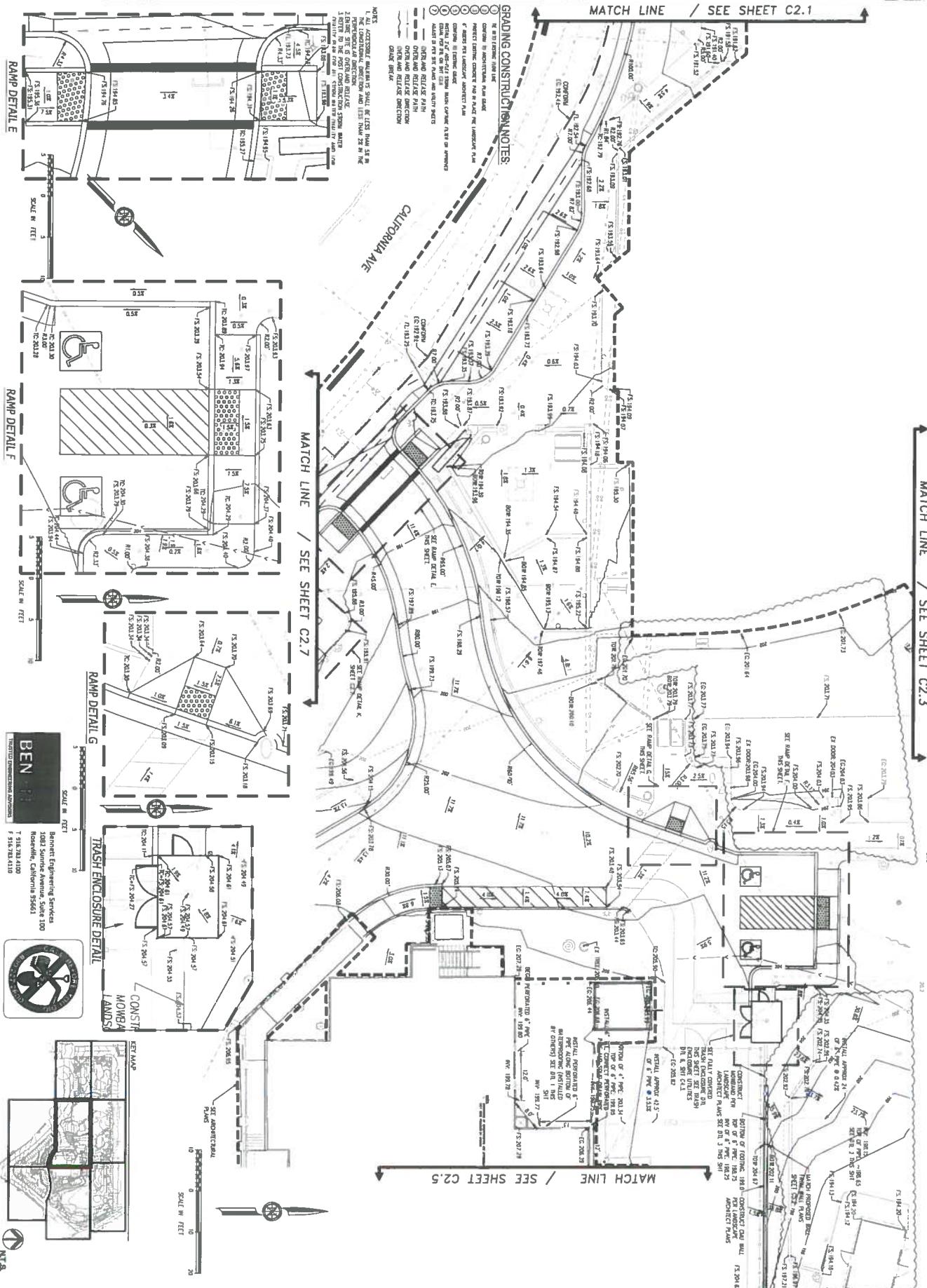
7991 & 7997 CALIFORNIA AVE.
FAIR OAKS, CALIFORNIA 95628



12-50 Tributary Point Dr., Suite
Gold River, CA 95470
T 916 465 4344
www.Critchlowassociates.com

CONSTRUCTION DETAILS

MATCH LINE / SEE SHEET C2.1



TRASH ENCLOSURE DETAIL

TRASH ENCLOSURE

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VILLAGE PARK RENOVATION PROJECT

4238 MAIN STREET
FAIR OAKS, CALIFORNIA 95628

SCALE. As Shown
GRADING AND DRAINAGE
PLAN



1



Joe Rivera
4/1/24

PCO #171

Bobo Construction Inc.
9722 Kent Street
Elk Grove, California 95624
Phone: (916) 383-7777

Project: 3258 - Village Park Renovations Project
7997 California Ave
Fair Oaks, California 95628

Prime Contract Potential Change Order #171: V1 Play Area - Additional Grades

TO:	Fair Oaks Recreation and Parks District 4150 Temescal Street Fair Oaks, California 95628	FROM:	Bobo Construction, Inc. 9722 Kent Street Suite A Elk Grove, California 95624
PCO NUMBER/REVISION:	171 / 0	CONTRACT:	BP#21-103 - Village Park Prime Contract
REQUEST RECEIVED FROM:		CREATED BY:	Juan Barraza (Bobo Construction, Inc.)
STATUS:	Pending - In Review	CREATED DATE:	4/1/2024
REFERENCE:		PRIME CONTRACT CHANGE ORDER:	None
FIELD CHANGE:	No	ACCOUNTING METHOD:	Amount Based
LOCATION:		PAID IN FULL:	No
SCHEDULE IMPACT:	2 days	SIGNED CHANGE ORDER RECEIVED DATE:	
EXECUTED:	No	TOTAL AMOUNT:	\$719.00

POTENTIAL CHANGE ORDER TITLE: V1 Play Area - Additional Grades

CHANGE REASON: Design Development

POTENTIAL CHANGE ORDER DESCRIPTION: (*The Contract Is Changed As Follows*)

CE #211 - V1 Play Area - Additional Grades

Amanda Holtman requested additional grades at Play Area in preparation for ASI#28

ATTACHMENTS:

[Proposed Change Order #15 - Play Area Curb As-Built.pdf](#) , [19409-08 GR-8 GRADING-C2.4-SIPS 2-VerifyGrades Grades in Green.pdf](#) , [19409-08 GR-8 GRADING-C2.5-SIPS 2-GradesinGreen.pdf](#)

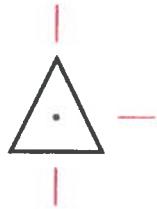
#	Budget Code	Description	Amount
1	2-203.SVC Survey.Professional Services	Playground Grades	\$685.00
			Subtotal: \$685.00
Bobo Self Perform Markup (15.00% Applies to Labor, Rental Equipment, Materials, Burden, and Owned Equipment.):			\$0.00
Bobo Sub Markup (≈ 4.96% Applies to Commitment, Professional Services, and Other.):			\$34.00
			Grand Total: \$719.00

Tim Mattheis (WMB Architects Inc)
2000 L Street, Suite 125
Sacramento, California 95811

Fair Oaks Recreation and Parks District
4150 Temescal Street
Fair Oaks, California 95628

Bobo Construction, Inc.
9722 Kent Street Suite A
Elk Grove, California 95624

SIGNATURE DATE SIGNATURE DATE SIGNATURE DATE



CenterPoint Engineering, Inc.

Civil Engineering & Land Surveying

PROPOSED CHANGE ORDER

CPE PROJECT NUMBER:	DATE:
254500	3/28/2024
<hr/>	
PROJECT NAME:	
Village Park Renovation	
<hr/>	
CONTRACTOR:	PCO NUMBER:
BOBO Construction, Inc.	15
9722 Kent Street	
Elk Grove, CA 95624	

Proposed Change Order Description:

APPROVED BY: _____ **DATE:** _____

From: Amanda Holtman <aholtman@cavalleyno.com>
Sent: Thursday, March 28, 2024 12:11 PM
To: Dave Fukui
Cc: Shawn Sanfilippo; Chelsea Gillis; Melissa Ruth; John Schmitz; Juan Barraza; Jason Winnie; Carlton Allen
Subject: V1 Play Area - Additional Grades
Attachments: 19409-08 GR-8 GRADING-C2.5-SIPS 2-GradesinGreen.pdf; 19409-08 GR-8 GRADING-C2.4-SIPS 2-VerifyGrades Grades in Green.pdf

Team,

I have included two plan sheets highlighting where we would like to verify the built elevation in green. If you could get these elevations over to us quickly that would be greatly appreciated so we can get the ASI #28 out.

Thanks, Amanda

--

Amanda Holtman | Job Captain
12150 Tributary Point Drive, Suite 140 | Gold River, CA 95670
[916.985.4366](tel:916.985.4366) | callanderassociates.com

Please note: I will be out of the office 3/21 - 3/26

Burlingame | Gold River | San Jose



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FULTON EL-CAMINO PARK DISTRICT POLICE DEPARTMENT

James R. Brown, Chief of Police



Monthly activity report for: Fair Oaks Park District, **Reporting Period:** 2024-03-01 to 2024-03-31

Summary of enforcement actions

NTA Issued: 6	Park Hours:	0
	Drugs:	0
	Weapons:	0
	Alcohol:	0
	Animals:	0
	Vehicle Code:	5
	Probation Violation:	0
	Other:	1
Onsite Arrests:	Drugs:	
	Weapons:	
	Assault/Battery:	
	Sex Crimes:	
	Theft:	
	Probation Violation:	

Other:	
Calls For Service:	2
Parking Citations:	24
Warrant Arrests:	0
DUI Arrests:	0
Stolen Vehicles:	0
Warnings Issued:	6

Notice To Appear (NTA)	Date/Time	Violations	Severity	Notes
Bannister Park	No NTA issued during this reporting period			
Fair Oaks Park	2024-03-11 16:00	23222(a) CVC Open container of Alcohol	Inf	
Fair Oaks Park	2024-03-14 15:50	16028(a) CVC No Insurance 4000(a) CVC No current registration	Inf Inf	
Fair Oaks Park	2024-03-21 14:17	9.76.030 SCO Shopping Cart in Park	Inf	
Fair Oaks Park	2024-03-21 13:57	16028(a) CVC No Insurance 4000(a) CVC No current registration	Inf Inf	
Little Phoenix Park	No NTA issued during this reporting period			
Miller Park	2024-03-16 16:00	4000(a)(1) CVC Expired Registration	Inf	Vehicle with no registration in park
Montview Park	No NTA issued during this reporting period			
Off Property	No NTA issued during this reporting period			
Phoenix Park	2024-03-14 15:10	16028(a) CVC No Insurance 4000(a) CVC No current registration	Inf Inf	

Plaza Park	No NTA issued during this reporting period			
Village Park	No NTA issued during this reporting period			
Arrests Made	Date/Time	Violations	Severity	Notes
Bannister Park	No arrests reporting during this period			
Fair Oaks Park	No arrests reporting during this period			
Little Phoenix Park	No arrests reporting during this period			
Miller Park	No arrests reporting during this period			
Montview Park	No arrests reporting during this period			
Off Property	No arrests reporting during this period			
Phoenix Park	No arrests reporting during this period			
Plaza Park	No arrests reporting during this period			
Village Park	No arrests reporting during this period			
Calls For Service	Date/Time	Description	Disposition	Notes
Bannister Park	2024-03-30 21:50	1 vehicle locked inside. one other vehicle parked in permit only area of street. both advised of violations and warned.	Founded	person locked in park after hours
Fair Oaks Park	2024-03-11 15:45	Subject was located in vehicle drinking alcohol, cite issued.	Founded	
Little Phoenix Park	No calls for service during this reporting period			
Miller Park	No calls for service during this reporting period			
Montview Park	No calls for service during this reporting period			
Off Property	No calls for service during this reporting period			
Phoenix Park	No calls for service during this reporting period			
Plaza Park	No calls for service during this reporting period			
Village Park	No calls for service during this reporting period			
Arrest Warrants	Date/Time	Warrant Type	Bail Amount	Notes
Bannister Park	No warrant arrests during this reporting period			
Fair Oaks Park	No warrant arrests during this reporting period			
Little Phoenix Park	No warrant arrests during this reporting period			
Miller Park	No warrant arrests during this reporting period			
Montview Park	No warrant arrests during this reporting period			

Off Property	No warrant arrests during this reporting period	
Phoenix Park	No warrant arrests during this reporting period	
Plaza Park	No warrant arrests during this reporting period	
Village Park	No warrant arrests during this reporting period	
DUI Arrests	Date/Time	
Bannister Park	No DUI arrests during this reporting period	
Fair Oaks Park	No DUI arrests during this reporting period	
Little Phoenix Park	No DUI arrests during this reporting period	
Miller Park	No DUI arrests during this reporting period	
Montview Park	No DUI arrests during this reporting period	
Off Property	No DUI arrests during this reporting period	
Phoenix Park	No DUI arrests during this reporting period	
Plaza Park	No DUI arrests during this reporting period	
Village Park	No DUI arrests during this reporting period	
Warnings	Date/Time	
	Violation	
		Notes
Bannister Park	2024-03-25 15:55	SCO 9.36.061(a)(4) Subject had german shepard off leash on soccer field due to lack of prior contact warning issued.
Bannister Park	2024-03-25 16:04	CVC 4000(a)(1)
Fair Oaks Park	No warnings during this reporting period	
Little Phoenix Park	No warnings during this reporting period	
Miller Park	2024-03-25 16:30	SCO 9.36.061(a)(4) Subject had dog off leash in park due to lack of prior contact warning issued.
Montview Park	No warnings during this reporting period	
Off Property	No warnings during this reporting period	
Phoenix Park	2024-03-21 13:30	SCO 9.36.061(a)(4) Subject had large dog off leash next to dog park, due to lack of prior contact warning issued. (2) warnings issued
Phoenix Park	2024-03-25 16:40	SCO 9.36.061(a)(4) Subject had large black dog off leash in soccer field, due

			to lack of prior contact warning issued. exp reg 10/23
Phoenix Park	2024-03-28 17:02	CVC 4000(a)(1)	
Plaza Park	No warnings during this reporting period		
Village Park	No warnings during this reporting period		
Parking Citations	Date/Time	Violations	
Bannister Park	No Parking citations issued during this reporting period		
Fair Oaks Park	2024-03-28 17:27	4000(a) CVC No current registration	
Fair Oaks Park	2024-03-28 17:22	4000(a) CVC No current registration	
Little Phoenix Park	No Parking citations issued during this reporting period		
Miller Park	2024-03-16 15:30	4000(a) CVC No current registration	
Montview Park	No Parking citations issued during this reporting period		
Off Property	No Parking citations issued during this reporting period		
Phoenix Park	2024-03-10 14:17	4000(a) CVC No current registration	
Phoenix Park	2024-03-10 14:20	4000(a) CVC No current registration	
Phoenix Park	2024-03-14 14:58	4000(a) CVC No current registration	
Phoenix Park	2024-03-25 16:43	4000(a) CVC No current registration	
Phoenix Park	2024-03-25 16:51	4000(a) CVC No current registration 10.24.030(b) SCO Prohibited stopping, standing, parking	
Phoenix Park	2024-03-16 17:10	10.24.030(b) SCO Prohibited stopping, standing, parking	
Phoenix Park	2024-03-16 16:24	22507.8(c)(2) CVC Parking in disabled crosshatch	
Phoenix Park	2024-03-16 16:20	22500.1 CVC Stopping/Parking in posted fire lane	
Phoenix Park	2024-03-16 17:07	10.24.030(b) SCO Prohibited stopping, standing, parking	
Phoenix Park	2024-03-16 17:04	10.24.030(b) SCO Prohibited stopping, standing, parking	
Phoenix Park	2024-03-16 17:04	10.24.030(b) SCO Prohibited stopping, standing, parking	
Phoenix Park	2024-03-16 16:58	9.36.065(d) SCO Failure to park in designated area	
Phoenix Park	2024-03-16 16:51	10.24.030(b) SCO Prohibited stopping, standing, parking	
Phoenix Park	2024-03-16 16:49	10.24.030(b) SCO Prohibited stopping, standing, parking	

Phoenix Park	2024-03-16 16:45	10.24.030(b) SCO Prohibited stopping, standing, parking
Phoenix Park	2024-03-16 16:40	10.24.030(b) SCO Prohibited stopping, standing, parking
Phoenix Park	2024-03-16 16:35	22500.1 CVC Stopping/Parking in posted fire lane
Phoenix Park	2024-03-16 16:29	22500.1 CVC Stopping/Parking in posted fire lane 4000(a) CVC No current registration
Plaza Park	No Parking citations issued during this reporting period	
Village Park	2024-03-16 15:04	4000(a) CVC No current registration
Village Park	2024-03-16 14:58	4000(a) CVC No current registration
Village Park	2024-03-16 14:48	4000(a) CVC No current registration

FAIR OAKS RECREATION AND PARK DISTRICT

ONE THOUSAND FOUR HUNDRED AND THIRTIETH BOARD OF DIRECTORS' REGULAR MEETING

Minutes for March 20, 2024

The one thousand four hundred and thirtieth meeting of the Fair Oaks Recreation and Park District Board of Directors was held on Wednesday, March 20, 2024, at the Fair Oaks Water District Building, 10326 Fair Oaks Blvd, Fair Oaks, CA.

For the Record: Chair Carhart called the regular meeting to order at 6:00 PM.

Board Members Present: Chair Carhart, Vice-Chair Tamagni, Director Irwin, Director O'Farrell

Board Members Absent: Director Mounts,

Staff Present: District Administrator Mike Aho, Administrative Assistant II Ian Roberts, Administrative Services Manager Jennifer Larkin, Arts and Entertainment Manager Jennifer Schuler Parks and Facilities Manager Sean Ventura, Recreation Manager Nick Davison, Recreation Supervisor Mary Stoakley

Members of the Public: 17

PRESENTATIONS:

The Rachel Anne Gray Memorial Scholarship winners were presented to the Board.

PUBLIC COMMENT:

Becky Wood of 8028 Sierra Street, Fair Oaks, spoke to the Board needing better communication to the public about the Village Park renovation project.

DISCUSSION & ACTION #1: Consent Calendar

A motion to approve the consent calendar was made by Director Irwin and seconded by Vice-Chair Tamagni.

AYES: Chair Carhart, Vice-Chair Tamagni, Director Irwin, Director O'Farrell

NOES: None

ABSTAIN: None

ABSENT: Director Mounts

RECUSE: None

DISCUSSION & ACTION #2: Monthly Fair Oaks Youth Advisory Report

FOYAB Chair Navya Alqarwani gave the March report.

FAIR OAKS RECREATION AND PARK DISTRICT

ONE THOUSAND FOUR HUNDRED AND THIRTIETH BOARD OF DIRECTORS' REGULAR MEETING

Minutes for March 20, 2024

DISCUSSION & ACTION #3:

Discussion and Possible Action Regarding a District Response to Sacramento County's Fair Oaks Village Parking Discussion Report of Findings.

A motion to have the Ad-Hoc Parking Committee work with staff on the letter to the County then send to the full Board for final approval was made by Chair Carhart and seconded by Director Irwin.

AYES: Chair Carhart, Vice-Chair Tamagni, Director Irwin, Director O'Farrell

NOES: None

ABSTAIN: None

ABSENT: Director Mounts

RECUSE: None

DISCUSSION & ACTION #4:

Discussion and Possible Action on the Naming of Facilities in Village Park.

A motion to approve the name Fair Oaks Performing Arts Center was made by Director O'Farrell and seconded by Vice-Chair Tamagni.

AYES: Chair Carhart, Vice-Chair Tamagni, Director Irwin, Director O'Farrell

NOES: None

ABSTAIN: None

ABSENT: Director Mounts

RECUSE: None

DISCUSSION & ACTION #5:

Discussion and Possible Action Regarding Approval of Reappointments to the Bond Oversight Committee.

A motion to approve the one-year reappointments of Amy Larsen, Dana Woodworker-Negri, Justin Drake, Kim Sarkovich and Keith Walters to the Bond Oversight Committee was made by Vice-Chair Tamagni and seconded by Vice-Chair Tamagni.

AYES: Chair Carhart, Vice-Chair Tamagni, Director Irwin, Director O'Farrell

NOES: None

ABSTAIN: None

ABSENT: Director Mounts

RECUSE: None

DISCUSSION & ACTION #6:

Discussion and Possible Action Regarding a Cost-Sharing Agreement for Road Work in the Village.

A motion to approve severing the cost-sharing agreement with Sacramento County for road work in the Village was made by Director O'Farrell and seconded by Director Irwin.

AYES: Chair Carhart, Vice-Chair Tamagni, Director Irwin, Director O'Farrell

NOES: None

ABSTAIN: None

ABSENT: Director Mounts

RECUSE: None

FAIR OAKS RECREATION AND PARK DISTRICT

ONE THOUSAND FOUR HUNDRED AND THIRTIETH BOARD OF DIRECTORS' REGULAR MEETING

Minutes for March 20, 2024

DISCUSSION & ACTION #7:

Discussion and Possible Action Regarding Community Clubhouse Window Replacement or Repair.
A motion to approve the Construction Ad-Hoc Committee's recommendations was made by Director Irwin and seconded by Director O'Farrell.

AYES: Chair Carhart, Vice-Chair Tamagni, Director Irwin, Director O'Farrell
NOES: None
ABSTAIN: None
ABSENT: Director Mounts
RECUSE: None

DISCUSSION & ACTION #8:

Receive and File: Sacramento County Annual Investment Policy of the Pooled Investment Fund for Calendar Year 2024.

The Board received and filed the report.

DISCUSSION & ACTION #9:

Discussion and Possible Action Regarding Community Clubhouse Window Replacement or Repair.
A motion to approve the Construction Ad-Hoc Committee's recommendations was made by Director Irwin and seconded by Director O'Farrell.

AYES: Chair Carhart, Vice-Chair Tamagni, Director Irwin, Director O'Farrell
NOES: None
ABSTAIN: None
ABSENT: Director Mounts
RECUSE: None

DISCUSSION & ACTION #10:

Discussion and Possible Action Regarding Adoption of Three Resolutions Directing Preparation of the Engineers Reports for the Fair Oaks Parks Maintenance and Recreation Improvement District, the Phoenix Field Landscape and Lighting Assessment District, and the Gum Ranch Landscape and Lighting Assessment District.

- Resolution No. 032024-01 directing SCI Consulting Group to prepare the annual Engineer's Report for FY 2024-25 for the Parks Maintenance and Recreation Improvement District.
- Resolution No. 032024-02 directing SCI Consulting Group to prepare the annual Engineer's Report for FY 2024-25 for the Phoenix Field Landscape and Lighting Assessment District.
- Resolution No. 032024-03 directing SCI Consulting Group to prepare the annual Engineer's Report for FY 2024-25 for the Gum Ranch Landscape and Lighting Assessment District.

A motion to adopt Resolutions No. 032024-01, 032024-02 and 032024-03 was made by Vice-Chair Tamagni and seconded by Chair Carhart.

AYES: Chair Carhart, Vice-Chair Tamagni, Director Irwin, Director O'Farrell
NOES: None

FAIR OAKS RECREATION AND PARK DISTRICT

ONE THOUSAND FOUR HUNDRED AND THIRTIETH BOARD OF DIRECTORS' REGULAR MEETING

Minutes for March 20, 2024

ABSTAIN: None
ABSENT: Director Mounts
RECUSE: None

DISCUSSION & ACTION #11: *Adjourn to the Regular Meeting of April 17, 2024.*
A motion to adjourn to the regular meeting of April 17, 2024 was made by Director O'Farrell and seconded by Chair Carhart.

AYES: Chair Carhart, Vice-Chair Tamagni, Director Irwin, Director O'Farrell
NOES: None
ABSTAIN: None
ABSENT: Director Mounts
RECUSE: None

Ralph Carhart
Chair, Board of Directors

Michael J. Aho
District Administrator

STAFF REPORT



Meeting Date: April 17, 2024
To: Board of Directors
From: Michael J. Aho, District Administrator
Subject: Request for Approval of Proposed FY24/25 Capital Improvement Plan
Prepared By: Sean Ventura, Parks & Facilities Manager

I. Recommendation

Staff recommends approving the proposed 3-year Capital Improvement Plan as presented.

II. Background

Staff reviews the 3-year Capital Improvement Plan each year in an effort to identify changing goals within the District. The proposed Capital Improvement Projects will reflect only the upcoming fiscal year with the remainder of proposed projects listed for tracking purposes.

Prior to being presented to the full Board of Directors, the 2024/2025 Capital Improvement Plan is brought before the Capital Committee for review, revision and approval. The committee meeting for the currently proposed Capital Improvement Plan was held on April 4th, 2024. Approval of the plan was received from the committee at that time.

Projects proposed for the Capital Improvement Plan are separate to those receiving Measure J funding and will typically not utilize resources from the general obligation bond.

III. Problem / Situation/ Request

It is requested that the proposed fiscal year 2024/2025 Capital Improvement Plan be approved. When proposals are ready to be requested on individual projects from the plan, staff will return to the Board of Directors to seek final approvals.

IV. Financial Analysis

If all proposed projects from the Capital Improvement Plan are commenced during the 2024/2025 fiscal year, the total cost to the District would be \$310,000.

\$150,000 would be utilized from Impact Fees while \$160,000 would be utilized from a combination of In-Lieu Fees and the District's General Fund.

Currently available funds in each of the referenced accounts are as follows:

- Impact Fees - \$1,684,149.63
- In-Lieu Fees - \$369,130.53
- Reserve Fund - \$515,991.40
- Unreserved Fund Balance - \$1,060758.73
- ADA Fund Balance - \$55,450

Respectfully Submitted,

Michael J. Aho
District Administrator

Attachment A – 2024-2025 Proposed Capital Improvement Plan

2024-2025 Capital Budget Worksheet

Proposed Projects by Priority

Staff Ranking	Reason	Project	Projected Cost	Funding Source(s)	Notes
1	Asset Protection	Old Library Roof Replacement & HVAC Replacement & Minor Interior Renovations	\$ 70,000	General Fund / In Lieu	Rough Estimate - waiting on official estimate
2	Operational	District Vehicle	\$ 50,000	General Fund / In Lieu	Necessary to support A&E expansions and maintenance staffing
3	Operational	District Master Plan Update	\$ 150,000	Impact	Update of 2010 Master Plan due in 2020
4	↑ Rev / Additional Services	Tables for Village Facilities	\$ 10,000	General Fund	
5	↑ Rev / Additional Services	Trailer & Barrier Fencing for Events	\$ 30,000	General Fund	

Total \$ 310,000

Remaining Projects Proposed for Future Planning

	Reason	Asset	Projected Cost	Funding Source(s)	Notes
	State Mandate	Recycling Mandate - New Trash Cans	\$ 150,000	General Fund / In Lieu	Future Planning 2025+
	Asset Protection	Chair/Table Replacement - Facilities	\$ 30,000		

<u>Fund Balances (as of 03/24)</u>
Impact Fees: \$1,684,149.63
In-Lieu Fees: \$369,130.53
Reserve Fund: \$515,991.40
Unreserved Fund Balance: \$1,060,758.73
ADA Fund Balance: \$55,450

	Safety	Bannister Park Parking Lot Repairs	\$ 25,000		Pervious surface currently. 2025+. Old estimate - needs realistic revision.
	↑ Operational Efficiency	HVAC Replacements	\$ 75,000		Cost varies depending on the facility. 2025+
	Safety	Miller Park Tennis Court Resurface	\$ 75,000	In Lieu	Future Planning 2025+
	Safety/Asset Age-out	Replace Fair Oaks playground equipment	\$ 350,000		Future Planning 5-year
	Asset Replacement / Age-out	Picnic Tables for other than Fair Oaks Park	\$ 48,000		Future Planning 10-year
	Safety / Asset age-out	Replace Phoenix rear playground	\$ 300,000		Future Planning 5-year, 10-year
	Asset Protection	Fair Oaks Park - Picnic Table Replacements	\$ 30,000	General Fund / In Lieu	Future bulk replacement will be needed. 2025+
	Asset Age-out	Fleet Replacements	\$ 100,000		Cost is assuming two replacements per year. Would need to trigger 4+ times to completely replace fleet
	Asset Age-out	Tractor Replacement	\$ 75,000		
	Additional Services / ADA Accessibility	Dog Park pathways	\$ 75,000		Future planning 5-year, 10-year
	Asset Age-out	Restroom renovations, all public restrooms			Future planning 10-year
	Additional Services / Maintenance Access	Bridges and pathways at Gum Ranch	\$ 265,000	GRLL	Future Planning 10-year. Assumes cost of two bridges. Very rough estimate.

	Safety / Cost Reductions	Lighting Replacement at Miller Tennis Courts	\$ 200,000		Future Planning 5-year. Funding opportunity and buy-in dependent
	Safety / Operational Efficiency / Asset Age-out	Renovate Phoenix MP Fields 1-4	\$ 2,250,000		Future Planning 5-year, 10-year. Phasing Only Feasible Way. Consider \$8/sq. ft.
	Revenue Generation / Asset Protection / Asset age-out	Mac Center Reno / Replacement	\$ 5,000,000		Future Planning, depending on scope estimate may be hugely under-estimated
	Asset Protection	District Office Roof Replacement	\$ 50,000		Future Planning 10-year. Rough estimate
	Asset Age-out	Replace irrigation lines - Phoenix Gardens	\$ 200,000		Requested by gardeners. Staff would advise as well, eventually. Can be put on hold and patched for some time. Rough estimate
	Additional Services	Phoenix Park Central Area Development	\$4,000,000	Grants/Federal Appropriations/Measure J	Public Outreach, Design, and CEQA Completed
	Asset Protection / ADA Access	Paving Miller rear lot	\$ 200,000	ADA Funds / Other	Future Planning 5-year, 10-year. Very rough estimate.
	↑ Rev / Additional Services	Recreation Van (ADA Accessible)	\$ 20,000	Reserves	Increases senior programming & other rec services (increases revenue). 2025+
	Safety	Re-surface PIP Surfacing	\$ 500,000		Insert into plans in staggered fashion to distance aging out of currently new PIP surfacing
	Operational	Maintenance Trailer	\$ 10,000		Future planning 10-year
	Safety / Asset age-out / Revenue Generation	Renovate/Re-build Fair Oaks softball fields	\$ 650,000		Future Planning 5-year, 10-year. Costs of lighting upgrades not included
	Asset Protection / Cost Reductions	Electronic Access Control			For Park entrances, public restrooms, facilities
	Additional Services / Cost reductions	Drop-in restroom at Fair Oaks softball	\$ 150,000		Very rough estimate.

Total \$ 14,828,000

STAFF REPORT



Meeting Date: April 17, 2024

To: Board of Directors

From: Michael J. Aho – District Administrator

Subject: Allocation Request of Funds from the District's Awarded American Rescue Plan Act (ARPA) Funds to Support Future Salary for a Technical and Operational Supervisor Position

I. Recommendation

Designate \$88,500 of the \$130,000 that Fair Oaks Recreation and Park District received from Sacramento County through Supervisor Rich Desmond from the American Rescue Plan Act (ARPA) Funds for wage costs for fiscal year 2024/25 for the Technical and Operational Supervisor role.

II. Background

Sacramento County has been proactive in utilizing the American Rescue Plan Act (ARPA) of 2021 to support local entities affected by the COVID-19 pandemic. The County developed a Beneficiary Questionnaire Form to assist small businesses, nonprofits, and special district organizations in evaluating and quantifying negative economic impacts experienced as a result of the pandemic. Organizations that have faced such impacts would be eligible for financial assistance from the County's State and Local Fiscal Recovery Fund, which aims to provide grants to mitigate financial hardship, including support for payroll and benefits, employee retention costs, and other operating expenses.

Our staff lead, Sean Ventura, recognizing the potential of these funds to help mitigate the loss of revenue experienced during COVID, requested ARPA funds with the intent to support the Fair Oaks Performance Art Center and the facilities funded by Measure J. This request aligns with the County's objective to provide relief to organizations that have been financially impacted by the pandemic, ensuring they can continue to serve the community effectively.

On April 3, 2024 Sacramento County Board Supervisor Rich Desmond met with the FORPD Board Chair Ralph Carhart and District Administrator Mike Aho, where he informed them that he was awarding FORPD \$130,000 in ARPA funds to be used by the District. This generous allocation will significantly aid in the operational costs and sustainability of the Fair Oaks Performance Art Center.

III. Problem /Situation/ Request

The Fair Oaks Performing Art Center, along with the facilities being developed through Measure J funds, are at a pivotal stage where the appointment of a dedicated Technical and Operational Supervisor is crucial for the operational success. We are requesting the authority to set aside \$88,500 to cover a full year's salary, inclusive of benefits, for this position. The role is envisioned to be central to the operation of the Fair Oaks Performance Art Center and associated facilities. The funds requested will be set aside as staff finalize the job duties and description and conducts a comprehensive financial analysis. This analysis will assess the sustainability of the position, taking into account projected program fees, charges, and facility rental income. Furthermore, at a subsequent Board Meeting, staff will present a detailed job description and a fiscal plan to sustain the position in the coming years. By requesting that the funds be placed in reserve, we can proceed with the assurance of having a one-year cushion to work towards sustainability.

We believe that this strategic investment will not only enhance the operational efficiency of our new facilities but also ensure that they are utilized to their full potential, providing cultural enrichment and community engagement opportunities.

Your approval of this request will enable us to move forward with planning the necessary staffing to support the anticipated growth and success of the Fair Oaks Performance Art Center. The Board's approval of this request will not only provide immediate financial relief but also contribute to the long-term sustainability and success of the Fair Oaks Performance Art Center, reinforcing its role as a cornerstone of cultural and community engagement in our region.

This allocation would provide time for staff to create and stabilize a revenue source for the on-going funding of the position. The creation of this role is deemed essential for the efficient operation and management of the new Arts and Entertainment program. This position will play a pivotal role in ensuring seamless execution of productions, events, and performances at the new performing arts center and other related district facilities. The new Technical and Operations Position would provide expertise in technical theater operations, equipment management, facility operations and team leadership, contributing significantly to the overall future success of the program.

IV. Financial Analysis

Fair Oaks Recreation and Park District was awarded \$130,000 from Sacramento County COVID relief funds through the American Rescue Plan Act and is asking that \$88,500 of those funds be allocated for salary for the potential Technical and Operational staff position for one year. At a future Board Meeting Staff will be requesting the authority to create a new position for the Arts and Entertainment Division. The request presented by staff will include an official job title, description, duties and salary and will include a financial analysis of how the position can be sustained financially. If the Board does not agree to create the new position, the \$88,500 will remain in the District's budget for future use.

Respectfully Submitted,

Michael J. Aho
District Administrator



STAFF REPORT

Meeting Date: April 17, 2024

To: Board of Directors

From: Michael J. Aho – District Administrator

Subject: Adoption Of Resolution In Support Of Application
For Congressman Ami Bera Fiscal Year 2025
Congressionally Directed Spending Requests.

I. **Recommendation**

Adopt the Resolution 041724-01 approving the application for assistance in funding for ADA improvements in Village Park from Congressman Ami Bera's Fiscal Year 2025 Congressional Directed spending request (Attachment A).

II. **Background**

- Village/Plaza Park, the Community Clubhouse, and the Veterans Memorial Amphitheater have historically lacked accessibility for people with mobility challenges.
- In October 2018, the voters of Fair Oaks approved Measure J, which aimed to enhance accessibility to FORPD's facilities.
- The Bera Funding, if awarded, will play a crucial role in funding the necessary work to complete the accessibility improvements.

The House Appropriations Committee places significant emphasis on projects that are “shovel ready” or require a one-time infusion of funding to complete. Notably, the voters of Fair Oaks have demonstrated their commitment to this project by passing Measure J. Additionally, during the design phase, active community outreach has further bolstered our efforts. By aligning with these principles, we aim to secure the necessary funding and enhance accessibility in Fair Oaks.

III. **Problem / Situation/ Request**

The procedures established by the Fiscal Year 2025 Appropriations Process recommend that the Applicant certify by resolution the approval of the application before submission of said application. Therefore, we recommend that the Board approve the Resolution, as it is a recommendation for the application process. This endorsement is

necessary before submitting the application to Congressman Bera's office. If funding is secured it will assist us in improving accessibility in Fair Oaks. The economic benefits resulting from these enhancements will positively impact the Fair Oaks area.

IV. Financial Analysis

If funds are awarded from Congressman Bera, the impact of material price increases, labor cost escalations, and project delays will be mitigated. These challenges would have a lesser financial impact on the Measure J budget.

Respectfully Submitted,

Michael J. Aho
District Administrator

Resolution No. 041724-01

**RESOLUTION OF THE BOARD OF DIRECTORS OF THE FAIR OAKS RECREATION
AND PARK DISTRICT APPROVING THE APPLICATION FOR CONGRESSMAN AMI
BERA FISCAL YEAR 2025 CONGRESSIONALLY DIRECTED SPENDING REQUESTS**

WHEREAS, the Fiscal Year 2025 Appropriations Process for Congressman Ami Bera of California has requested submissions of projects for consideration for federal funding from local entities; and

WHEREAS, requirements for projects are to build infrastructure, purchase equipment, initiate pilot programs or help local governments provide essential services; and

WHEREAS, said procedures established by the Fiscal Year 2025 Appropriations Process require the Applicant to certify by resolution the approval of the application before submission of said application; and

WHEREAS, successful Applicants will be able to utilize federal funding immediately upon obligation; and

WHEREAS, The project submitted for consideration will fix a deteriorating and failing road around Plaza Park and create vital Americans with Disabilities Act (ADA) access to Fair Oaks Village, Veteran's Memorial Amphitheater, and the Community Clubhouse. The project will also upgrade the storm water drainage system, landscaping, lighting, and signage in the area and will have a positive local and regional impact;

NOW, THEREFORE, BE IT RESOLVED that the Fair Oaks Recreation and Park District Board of Directors hereby:

APPROVES AND SUPPORTS THE FILING OF AN APPLICATION FOR ADA IMPROVEMENTS TO THE VETERAN'S MEMORIAL AMPHITHEATRE AND AN APPLICATION FOR ADA IMPROVEMENTS THE FAIR OAKS COMMUNITY CLUBHOUSE; AND

1. Certifies that said Applicant has or will have available, prior to commencement of any work on the project included in this application, the sufficient funds to complete the project(s); and
2. Certifies that if the project(s) is awarded, the Applicant has or will have sufficient funds to operate and maintain the project, and
3. Delegates the authority to Michael J. Aho to conduct all negotiations, sign and submit all documents, including, but not limited to applications, agreements, amendments, and payment requests, which may be necessary for the completion of the project(s); and
4. Agrees to comply with all applicable federal, state and local laws, ordinances, rules, regulations and guidelines.

Approved and adopted the 17th of April, 2024.

I, the undersigned, hereby certify that the foregoing Resolution Number 041724-01 was duly adopted by the Fair Oaks Recreation and Park District Board of Directors following a roll call vote:

Ayes:

Noes:

Abstain:

Absent:

(Clerk)

STAFF REPORT



Meeting Date: April 17, 2024

To: Board of Directors

From: Michael J. Aho - District Administrator

Subject: Fair Oaks Recreation and Park District (FORPD)
Submission to the 2023 State Controller's
Government Compensation in California Report

Prepared By: Jennifer Larkin, Administrative Services Manager

I. Recommendation

Receive and file the FORPD submission to the Government Compensation in California (GCC) Report of the California State Controller's Office (SCO) for the 2023 calendar year.

II. Background

The SCO uses its independent authority to guard taxpayer dollars, fight waste and uncover fiscal fraud and abuse. This report is mandated by the order of the State Controller.

In 2010, the SCO created the GCC website to enhance government transparency and provide a single statewide database that is accessible by anyone at any time. At first, the SCO collected government compensation data as a component of the financial transaction reports from cities, counties, and special districts under the authority of Government Code sections 53891 and 53892. In 2015, the Legislature explicitly authorized SCO to collect compensation data. The SCO is required to publish the information on its website under the authority of Government Code section 12463.

The GCC website contains pay and benefit information for positions in cities, counties, special districts, and state government, including California State University (CSU). Other public employers submit pay and benefit

information on a voluntary basis for positions in superior courts, the University of California, community college districts, K-12 education providers, First 5 commissions, and fairs and expositions.

The attached report contains compensation information for all employees who worked for the District in 2023, including wages, retirement contributions and group insurance contributions.

IV. Financial Analysis

There is no financial impact associated with the staff recommendation.

Respectfully Submitted,

Michael J. Aho
District Administrator

Attachment A: 2023 FORPD Submission to the Local Government
Compensation Report of the California Office of the State
Controller

State Controller's Office - Local Government Programs and Services Division

Special Districts - Government Compensation Report - Calendar Year 2023

Preparer Contact Information

Refer to the 2023 GCC Reporting Instructions for more details

Entity Name **Sacramento - Fair Oaks Recreation and Park District**

Human Resources Web Page

www.forpd.org

Employees Hold more than One Position?

No (Enter 'Yes' or 'No')

'Save As' Filename **2023-12273407400.xlsx**

Do the amounts in the Defined Benefit Plan column include payment toward the pension unfunded liability?

No (Enter 'Yes' or 'No')

Preparer Name **Jennifer Larkin**

Phone Number **916-966-1036**

E-mail Address **jlarkin@forpd.org**

Line #	Elected Position Enter 'Y'	Department	Classification	Multiple Positions Footnote	-- Total Wages Subject to Medicare (Box 5 of W-2): --					Applicable Defined Benefit	'----- Employer Contribution: -----'				
					Annual Salary Minimum	Annual Salary Maximum	Annual Regular Pay	Overtime Pay	Lump Sum Pay		Retirement Plan: Employees' Share Paid by Employer	Defined Benefit Plan: Employer's Share	Deferred Compensation /Defined Contribution Plan	Health, Dental, Vision	
47.	Rec		Rec Leader I - PT		16,000	20,420	5,028								
48.	Rec		Rec Leader I - PT		16,000	20,420	1,021								
49.	Rec		Rec Manager		74,386	109,902	89,394				2% @ 55		10,422	31,331	
50.	Rec		Rec Supervisor		66,560	98,339	30,035			11,114	2% @ 62		2,295	15,754	
51.	Rec		Rec Supervisor		66,560	98,339	86,526				2% @ 55		10,039	24,606	
52.	Rec		Rec Supervisor		66,560	98,339	64,705			480	2% @ 55		4,969	21,181	
53.	Rec		Rec Supervisor		66,560	98,339	58,668			9,122	2% @ 62		4,446	1,037	
54.	Rec		Rec Coordinator		45,323	66,955	4,842				2% @ 62		3,152	1,371	
55.	Rec		Senior Rec Leader - Reg PT		27,030	34,485	14,859								
56.	Rec		Senior Rec Leader - Reg PT		27,030	34,485	22,718								
57.	Rec		Senior Rec Leader - Reg PT		27,030	34,485	6,982								
58.	Rec		Senior Rec Leader - Reg PT		27,030	34,485	26,810				2% @ 62		2,031		

STAFF REPORT



Meeting Date: April 17, 2024

To: Board of Directors

From: Michael J. Aho – District Administrator

Subject: Discussion and Possible Action regarding the Submission of a Nomination for the California Association of Recreation and Park Districts (CARPD) Board of Directors

I. Recommendation

Nominate a Board Director who is interested in serving on the CARPD Board of Directors.

II. Background

The California Association of Recreation and Park Districts, CARPD, is a 501c(6), not-for-profit organization representing special recreation and park districts throughout California.

CARPD has been dedicated to improving the quality and efficiency of recreation and park districts. Through two joint powers authorities, CARPD members are eligible for reduced rates on Workers' Compensation Coverage and Liability/Property Damage Insurance; saving local communities thousands of dollars.

The Board of Directors is made up of representatives from CARPD recreation and park districts and tracks legislation and other issues that affect member districts. Each spring, CARPD hosts an annual conference and presents awards to member districts to recognize outstanding programming, facilities, and services to the community.

Involvement in CARPD is accomplished through the active participation of agency board and staff members. CARPD operations and services are supported by a sliding fee structure based upon tax revenue or

assessments, member agency contributions, and revenues generated by various association programs.

The CARPD Board of Directors is the governing body responsible for all policy decisions related to support, education, member services, outreach, and advocacy to recreation and park district within California. The CARPD Board meets 4-5 times per year at the CAPRI office in Roseville and at the annual CARPD conference.

The CARPD board has eleven (11) directors that oversee the operations of the organization and provide direction to the executive director. This year there are five (5) positions up for election: president-elect, chief financial officer, director at large (2) and administrative representative.

Qualification for service on the CARPD Board requires one of the following:

- Board Director of a member agency;
- General Manager or Administrator of a member agency.

III. Problem /Situation/ Request

If a Board Director of FORPD is interested in being on the ballot, the District must send a letter to CARPD along with the attached Resolution No. 041724-02.

IV. Financial Analysis

There is no financial impact to the District.

Respectfully Submitted,

Michael J. Aho,
District Administrator

Attachment A: CARPD Memo
Attachment B: Resolution No. 041724-02



March 19, 2024

TO: CARPD Member Districts
FROM: Matthew Duarte, Executive Director
SUBJECT: Call for Nominations & 2024 Slate of CARPD Board Candidates

Hello CARPD Members! The CARPD Conference is rapidly approaching and with it the annual CARPD General Membership Meeting. As we do every year during that meeting, the CARPD Board of Directors Election is conducted by the membership. This year, the election will take place at approximately 9:00a.m. on May 23, 2024 at the CARPD Conference in the Hyatt Regency in Santa Rosa, California.

In accordance with CARPD Association Bylaws, CARPD is soliciting any qualified candidates interested in serving on the CARPD Board of Directors. Nominees must be individuals affiliated (as Board of Directors, employees or otherwise) with active members in good standing.

Furthermore, pursuant to CARPD Association Bylaws at Article 5, subsection 6, the CARPD Nominations Committee has submitted the following slate of candidates for the open CARPD Board positions:

CARPD 2024 Slate of Board Officers

President – Elect Dean Wetter, Valley-Wide Recreation & Park District

Chief Financial Officer Al McGreehan, Paradise Recreation & Park District

Director at Large **Two Positions to be Elected:**

(Even Year) Dennis Waespi, East Bay Regional Park District
Rick Sloan, Cordova Recreation & Park District

Administrator Rep **One Administrator Position to be Elected:**

(Even Year) Michelle Lacy, Pleasant Hill Recreation & Park District

In addition to the slate identified by the Nominations Committee, Member Districts may also nominate one of its board members for the positions of President-Elect, Secretary, or Director-at-Large, or nominate its General Manager, Assistant General Manager or Chief Administrative Officer, for Administrator Representative, by submitting a letter and a copy of a board resolution supporting such nomination to CARPD prior to the annual meeting.

Any Member District wishing to submit a nomination should submit a letter of nomination (cover letter indicating who is running and for what position) and a copy of its Board Resolution supporting the nomination directly to my attention at mduarte@capri-jpa.org. To be sure a nominee is included on the ballot, the letter and resolution must be received no later than close of business on **Friday, May 10, 2024**.

Finally, any qualified candidate may be nominated from the floor at the election and, if elected, provide the President with a resolution from the member district's board endorsing the nominee to serve on the corporation's Board of Directors not later than sixty (60) days after the annual meeting. The candidate will not commence into office unless and until such time as the resolution is presented to the corporation's Board of Directors.

If you have any questions regarding the election or its procedures, please feel free to contact me at (916) 722-5550. Thank you and hope to see you all at the Conference in Santa Rosa!

Sincerely,



Matthew Duarte
Executive Director

RESOLUTION NO. 041724-02

**A RESOLUTION OF THE BOARD OF DIRECTORS OF
THE FAIR OAKS RECREATION AND PARK DISTRICT**

**AUTHORIZING THE FAIR OAKS RECREATION AND PARK DISTRICT TO BE
PLACED IN NOMINATION FOR A SEAT ON THE CALIFORNIA ASSOCIATION OF
RECREATION AND PARK DISTRICTS (CARPD) BOARD OF DIRECTORS**

WHEREAS, the Fair Oaks Recreation and Park District (the “District”), County of Sacramento, State of California, is a member of the California Association Recreation and Park Districts (CARPD); and

WHEREAS, the California Association Recreation and Park Districts (CARPD) is governed by a Board of Directors, and the Board of Directors of the Fair Oaks Recreation and Park District is desirous of having a representative of its District serve on the Board of Directors of the California Association Recreation and Park Districts (CARPD).

THEREFORE, IT IS HEREBY RESOLVED that the Board of Directors of the Fair Oaks Recreation and Park District does hereby authorize Board Director Name to be placed in nomination for a position on the CARPD Board of Directors.

PASSED AND ADOPTED this 17th day of April, 2024 by the following called vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

RECUSE:

Ralph Carhart, Board Chair
Fair Oaks Recreation and Park District

Michael J. Aho, District Administrator
Fair Oaks Recreation and Park District