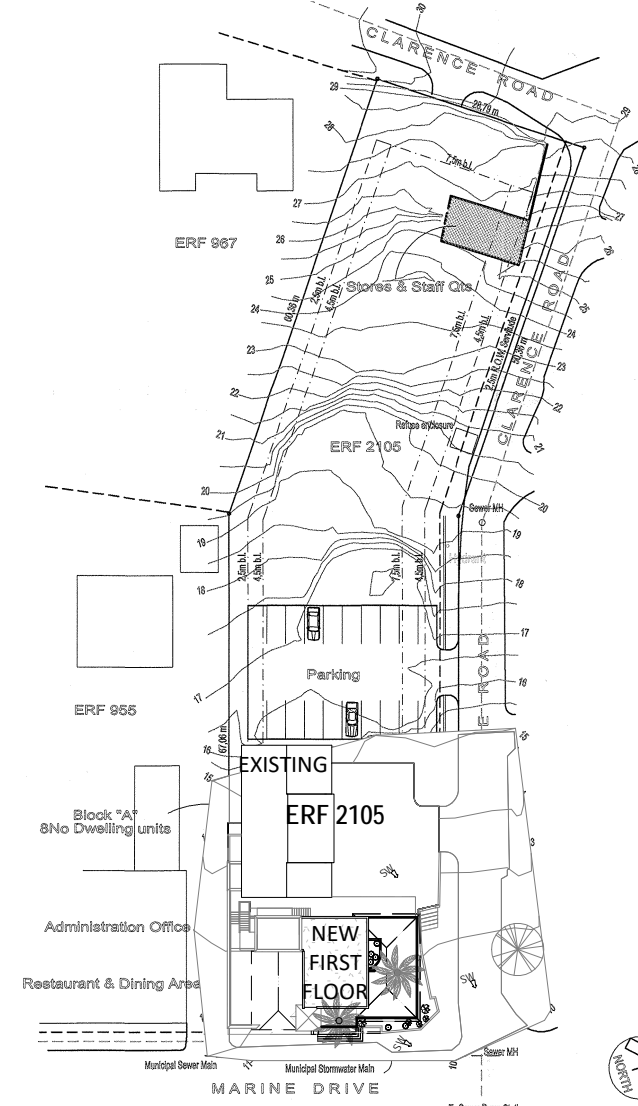


ROOF PLAN
1 : 50

AREA SCHEDULE

SITE AREA	3638sqm	EXISTING	NEW	TOTAL
RESTAURANT				
EXISTING RESTAURANT (BUILDING)		196sqm		
EXISTING TENTED AREA		174sqm		
NEW 1ST FLOOR AREA			109sqm	
TOTAL RESTAURANT		370sqm	109sqm	479sqm
EXISTING FLATS AND STORES		406sqm		
EXISTING STORE AND STAFF QUARTERS		95sqm		
TOTAL FAR AREA ON SITE		871sqm	109sqm	980sqm
FAR (PERMISSIBLE 0.75)				0.27
COVERAGE (370+95+220) / 3638 (PERMISSIBLE 50%)				18%



SITE PLAN
1 : 1000

GENERAL

- DIMENSIONS TO BE USED IN PREFERENCE TO SCALING.
- ALL LEVELS & DIMENSIONS TO BE CHECKED PRIOR TO WORK BEING PUT IN HAND. DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.
- ALL LEVELS SHOWN ARE STRUCTURAL LEVELS, UNLESS OTHERWISE STATED.
- ALL STRUCTURAL WORK IS TO BE DESIGNED AND SPECIFIED BY THE APPOINTED ENGINEER.
- COPYRIGHT OF THIS DRAWING IS ALWAYS TO REMAIN WITH ALSFINE AND ANGUS ARCHITECTS
- THE CONTRACTOR IS TO CHECK ALL SCHEDULES & DRAWINGS BEFORE PLACING ORDERS.
- ALL BUILDING WORK & BUILDING REQUIREMENTS ARE TO BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL BUILDING REGULATIONS & BUILDING STANDARDS. ACT No. 103 OF 1977.
- ALL PARTITIONING TO HAVE ADEQUATE FIRE RATING & RODENT PROOFING.
- LIGHTING AND VENTILATION TO COMPLY WITH PART 'O' OF THE NATIONAL BUILDING REGULATIONS.
- ALL BALUSTRADING TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS (IE. 1000mm HIGH & BALUSTERS AT MAX. 100mm C/C.)
- ON PROJECTS WHERE NO SITE SUPERVISION IS BEING PROVIDED, ANY DISCREPANCIES OR SHORTCOMINGS CONTAINED IN THESE DRAWINGS WILL NOT BE THE RESPONSIBILITY OF ALSFINE AND ANGUS ARCHITECTS

DRAINAGE RETICULATION

- ALL PLUMBING TO BE IN ACCORDANCE WITH N.B.R.
- ALL DRAINAGE RUNS TO BE ACCESSIBLE ALONG THEIR ENTIRE LENGTH.
- V.P.'S TO BE CARRIED UP TO 2m ABOVE ANY WINDOW OR DOOR OPENING IN THE BUILDING OR ANY OTHER BUILDING WITHIN A DISTANCE OF 6m.
- INSPECTION EYES (I.E.'S) TO BE PROVIDED AT ALL BENDS & JUNCTIONS OF SOIL & WASTE PIPES.
- RODDING EYES (R.E.'S) TO BE PROVIDED AT HEADS OF DRAINS & AT A MAXIMUM 25m SPACING ALONG RUNS OF DRAINS.
- MARKED COVERS TO BE PROVIDED AT GROUND LEVEL FOR ALL I.E.'S.
- RESEAL TRAPS TO BE FITTED TO ALL WASTE FITTINGS.
- SOIL DRAINS UNDER BUILDINGS TO BE PROTECTED FROM ALL VERTICAL SETTLEMENT LOADS WITH R.E.'S AS CLOSE AS POSSIBLE TO THE BUILDING AT BOTH ENDS.
- WASTE WATER PIPES HAVING A VERTICAL DROP EXCEEDING 1200mm TO THE MAIN DRAIN TO BE ANTI-SYPHONED.
- ALL BRANCH DRAINS EXCEEDING 6m IN LENGTH TO BE VENTED.
- ALL MATERIALS USED ARE TO BE IN ACCORDANCE WITH THE MANUFACTURERS TECHNICAL SPECIFICATIONS.
- WASTE WATER PIPES TO BE MIN 500
- DRAINPIES TO BE MIN 1000

FIRE RETICULATION

- ALL BUILDING TO BE IN ACCORDANCE WITH PART 'T' OF THE NATIONAL BUILDING REGULATIONS FOR THE RELEVANT CLASS OF OCCUPANCY.

OWNER'S

ENGINEER'S

REVISIONS

No	DATE	DESCRIPTION



CLIENT THE CRAYFISH INN

PROJECT CRAYFISH INN RESTAURANT ADDITION AND ALTERATION

STAND NO STAND 2105 RAMSGATE

DRAWING SITE PLAN & ROOF PLAN

DESIGNED S RAUBENHEIMER

DRAWN S RAUBENHEIMER

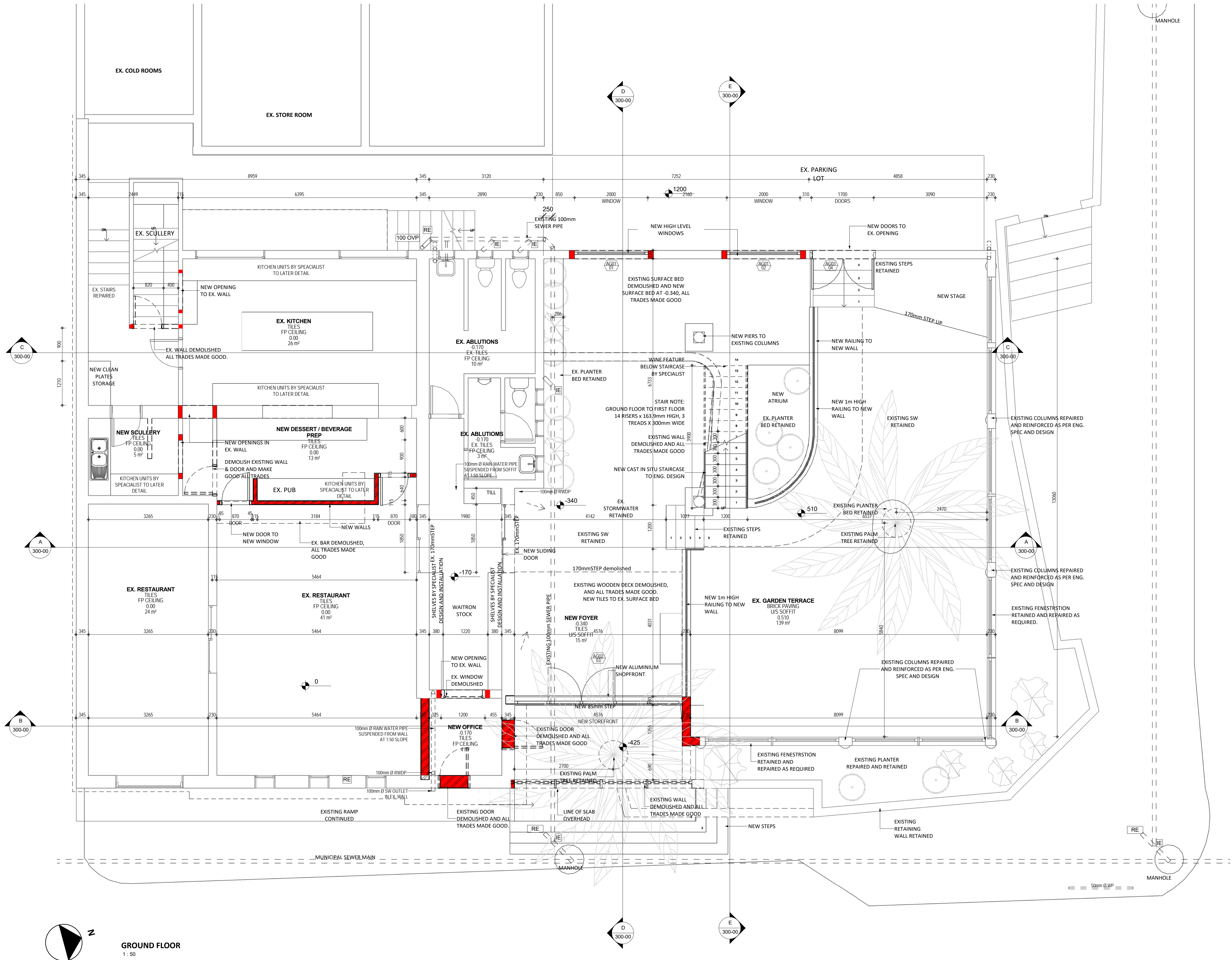
DATE 04/12/2016

SCALE As indicated

PROJECT NO: DWG NO: REV:

1601

100-00



GENERAL

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- SOIL DRAINS UNDER BUILDINGS TO BE PROTECTED FROM ALL VERTICAL SETTLEMENT LOADS WITH R.E.'S AS CLOSE AS POSSIBLE TO THE BUILDING AT BOTH ENDS.
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- ALL MATERIALS USED ARE TO BE IN ACCORDANCE WITH THE MANUFACTURERS TECHNICAL SPECIFICATIONS.
- WASTE WATER PIPES TO BE MIN 500
- DRAINPIPS TO BE MIN 1000

FIRE RETICULATION

- ALL BUILDING TO BE IN ACCORDANCE WITH PART 'T' OF THE NATIONAL BUILDING REGULATIONS FOR THE RELEVANT CLASS OF OCCUPANCY.

OWNER'S

ENGINEER'S

REVISIONS

No	DATE	DESCRIPTION

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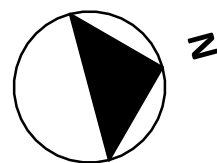
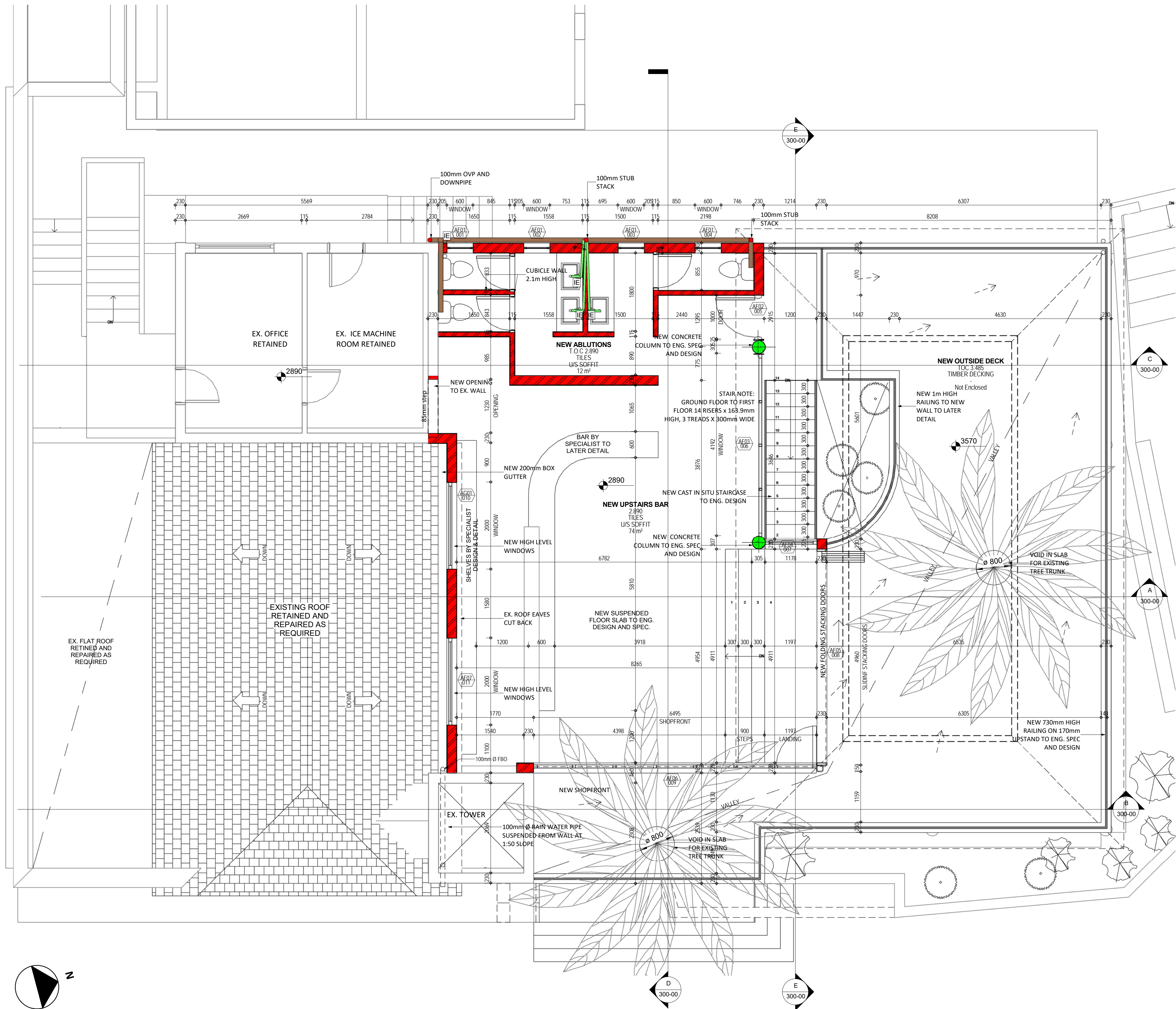


CLIENT THE CRAYFISH INN
PROJECT CRAYFISH INN RESTAURANT ADDITION AND ALTERATION
STAND NO STAND 2105 RAMSGATE

DRAWING GROUND FLOOR PLAN

DESIGNED S RAUBENHEIMER
DRAWN S RAUBENHEIMER
DATE 04/12/2016
SCALE As indicated

PROJECT NO: 1601
DWG NO: 200-00
REV:



1ST FLOOR PLAN
1:50

GENERAL

1. DIMENSIONS TO BE USED IN PREFERENCE TO SCALING.
2. ALL LEVELS & DIMENSIONS TO BE CHECKED PRIOR TO WORK BEING PUT IN HAND. DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.
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FIRE RETICULATION

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OWNER'S

ENGINEER'S

REVISIONS

No	DATE	DESCRIPTION
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CLIENT THE CRAYFISH INN

PROJECT CRAYFISH INN RESTAURANT
ADDITION AND ALTERATION

STAND NO STAND 2105 RAMSGATE

DRAWING

FIRST FLOOR PLAN

DESIGNED S RAUBENHEIMER

DRAWN S RAUBENHEIMER

DATE 04/12/2016

SCALE As indicated

PROJECT NO: DWG NO: REV:

1601

201-00

GENERAL

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13. DRAINPIES TO BE MIN 1000

FIRE RETICULATION

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OWNER'S

ENGINEER'S

REVISIONS

No DATE DESCRIPTION

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CLIENT THE CRAYFISH INN

PROJECT CRAYFISH INN RESTAURANT
ADDITION AND ALTERATION

STAND NO STAND 2105 RAMSGATE

DRAWING SECTION

DESIGNED S RAUBENHEIMER

DRAWN S RAUBENHEIMER

DATE 04/12/2016

SCALE As indicated

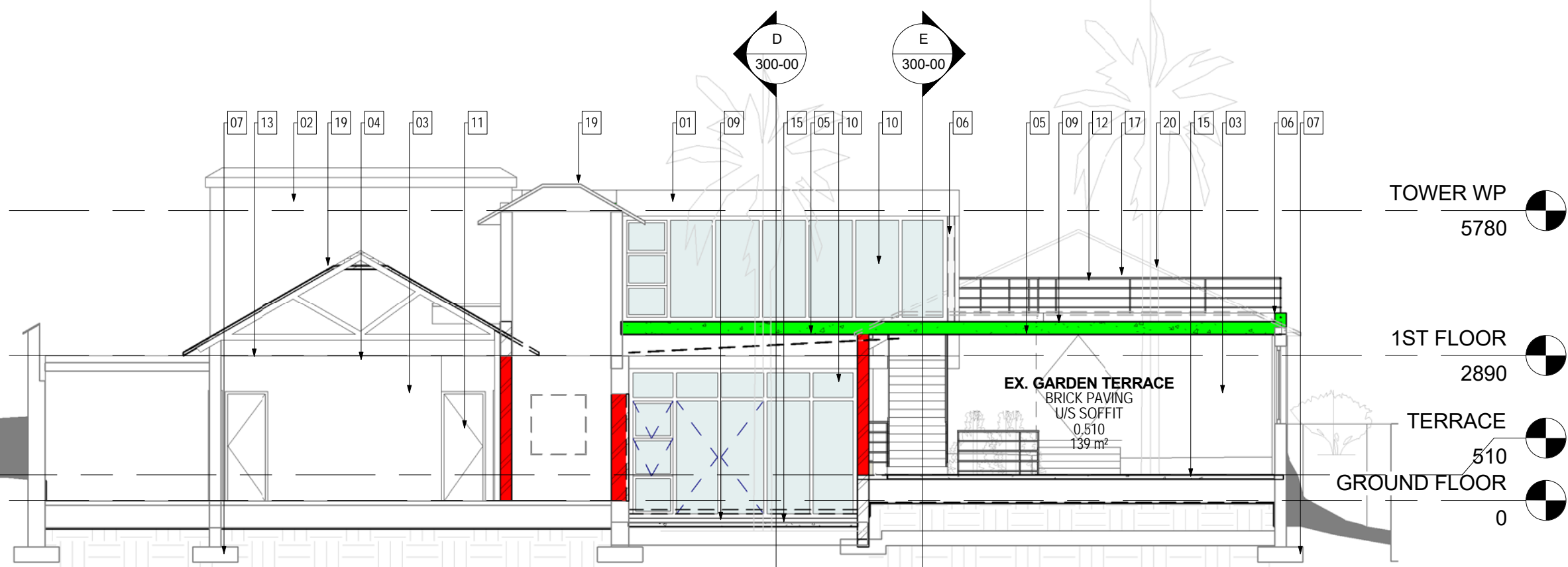
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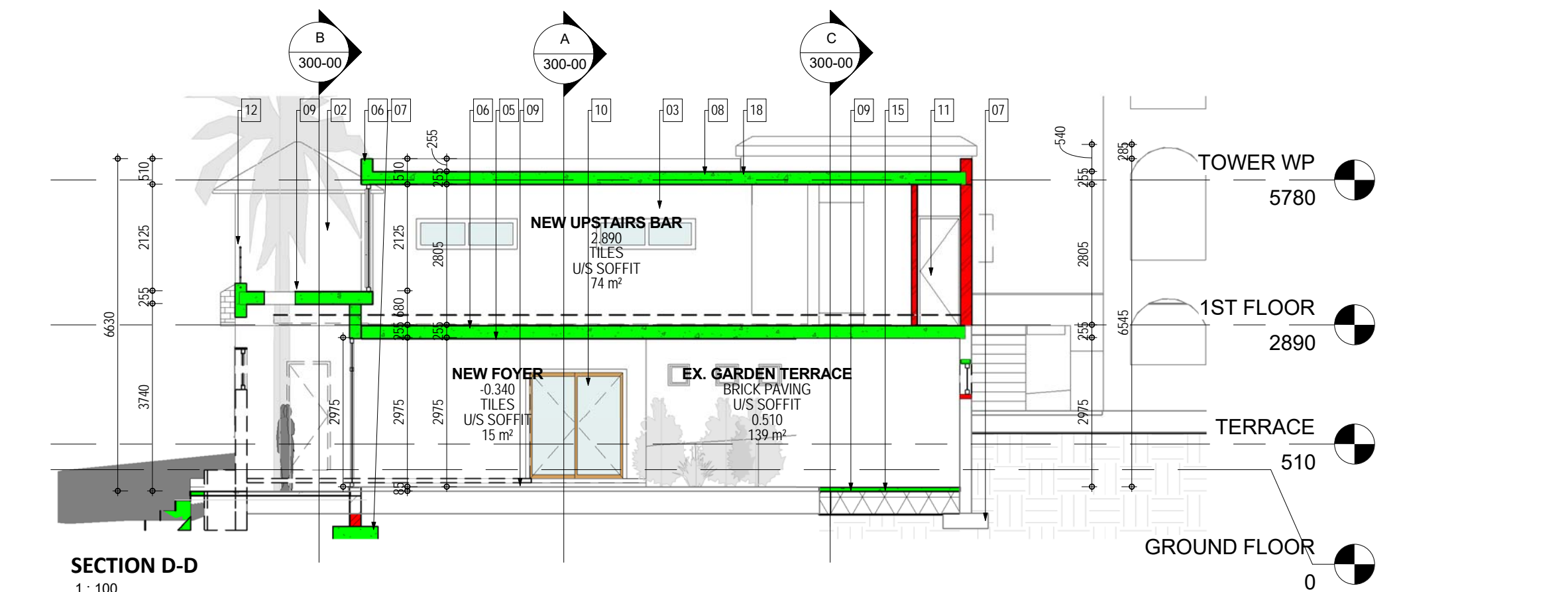
SECTION A-A

1:50



SECTION B-B

1:100



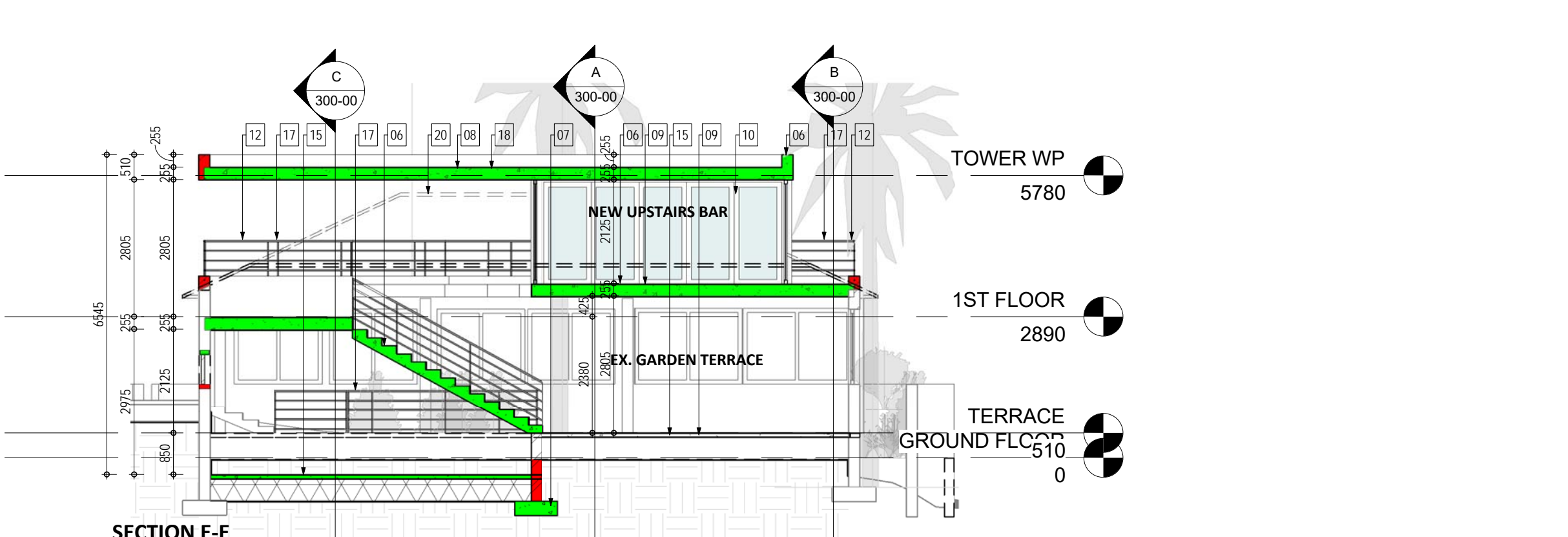
SECTION D-D

1:100

1. **EXTERNAL WALL FINISH**
 - 2 COATS OF PLASTER AND PAINT
2. **EXISTING EXTERNAL WALL FINISH**
 - EX. PLASTER AND PAINT REPAIRED AS REQUIRED TO MATCH EXISTING.
3. **INTERNAL WALL FINISH**
 - 2 COATS OF PLASTER AND PAINT
4. **CEILING**
 - EX. CEILING REPAIRED AS REQUIRED AND REPAINTED TO CLIENT SPEC.
5. **U/S SOFFIT**
 - PLASTERED AND 2 COATS PAINT TO CLIENT SPEC.
6. **ALL STRUCTURE (FOUNDATIONS, SLABS & BEAMS)**
 - TO ENGINEER'S DESIGN AND DETAIL
7. **FOUNDATION**
 - SPECIALIST FOUNDATIONS TO ENGINEER'S DESIGN AND DETAIL
 - SUPPLY
 - EXISTING FOUNDATION CHECKED AND REINFORCED TO ENGINEER'S DESIGN AND DETAIL.
8. **APPROVED WATERPROOFING**
 - WITH NO BREAKS OR TEARS LAPPED AND SEALED TO BREEZE GRADING @ MIN 1:100 FALL TO OVERFLOW
 - TO CARRY A 10YEAR MANUFACTURER'S GUARANTEE
9. **FLOOR FINISH**
 - TO FINISHING SCHEDULE ON SUFFICIENT SCREED WHERE REQUIRED
10. **POWDER COATED ALUMINIUM**
 - WINDOWS AND DOORS TO SCHEDULES
 - EXISTING WINDOWS REPAIRED, SERVICED AND REPLACED AS REQUIRED.
11. **DOORS**
 - AS PER SCHEDULE
 - INTERNAL DOORS TO BE SUPAWOOD. PRIMED & PAINTED
 - EXTERNAL DOORS TO BE SOLID HARDWOOD TO LATER SPEC.
12. **BALUSTRADING**
 - TO BE IN ACCORDANCE WITH NATIONAL BUILDING REGULATIONS (I.E. 1000mm HIGH WITH OPENING APERTURE <100mm Ø)
13. **CORNICES**
 - SHADOWLINE OR SIMILAR APPROVED TO LATER DETAIL
14. **KITCHEN AND BAR UNITS**
 - BUILT-IN CUPBOARDS & JOINERY BY SPECIALIST
15. **SURFACE BED**
 - TO ENGINEER'S DESIGN & SPECIFICATION
 - SOIL TO BE POISONED
 - SURFACE BED TO HAVE MIN 50mm LAYER OF INSULATION AND
16. **JOINERY WORK**
 - ALL BUILT-IN CUPBOARDS, VANITY UNITS AND FITTINGS TO SPECIALIST DESIGN AND INSTALLATION
17. **HANDRAIL**
 - TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS (IE. 1000mm HIGH)
18. **FLAT ROOF COVERING**
 - WATERPROOFING TO BE COVERED WITH A LAYER OF MIN 80mm CRUSHED STONE WITH A MIN Ø19mm IN BROWN OR DARK GRAY COLOUR.
19. **EXISTING ROOF**
 - EXISTING ROOF TRUSSES AND TILES TO BE INSPECTED AND REPAIRED AS REQUIRED.
20. **EXISTING TENSILE ROOF**
 - EXISTING TENSILE ROOF STRUTURE AND COVERING TO BE DEMOLISHED AND ALL TRADES MADE GOOD.
21. **EMERGENCY OVERFLOW OUTLET**
 - TO LATER DETAIL WITH METAL PLATE AND CUT PIPE
22. **ACRYLIC WATERPROOFING ON ALL PARAPETS**

SECTION C-C

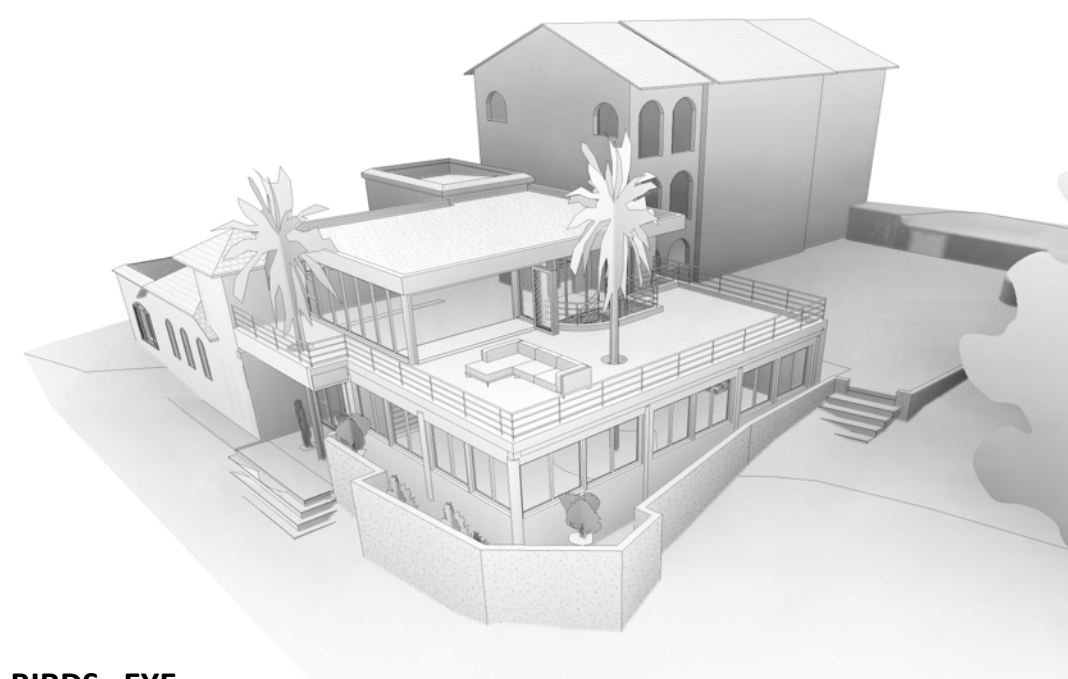
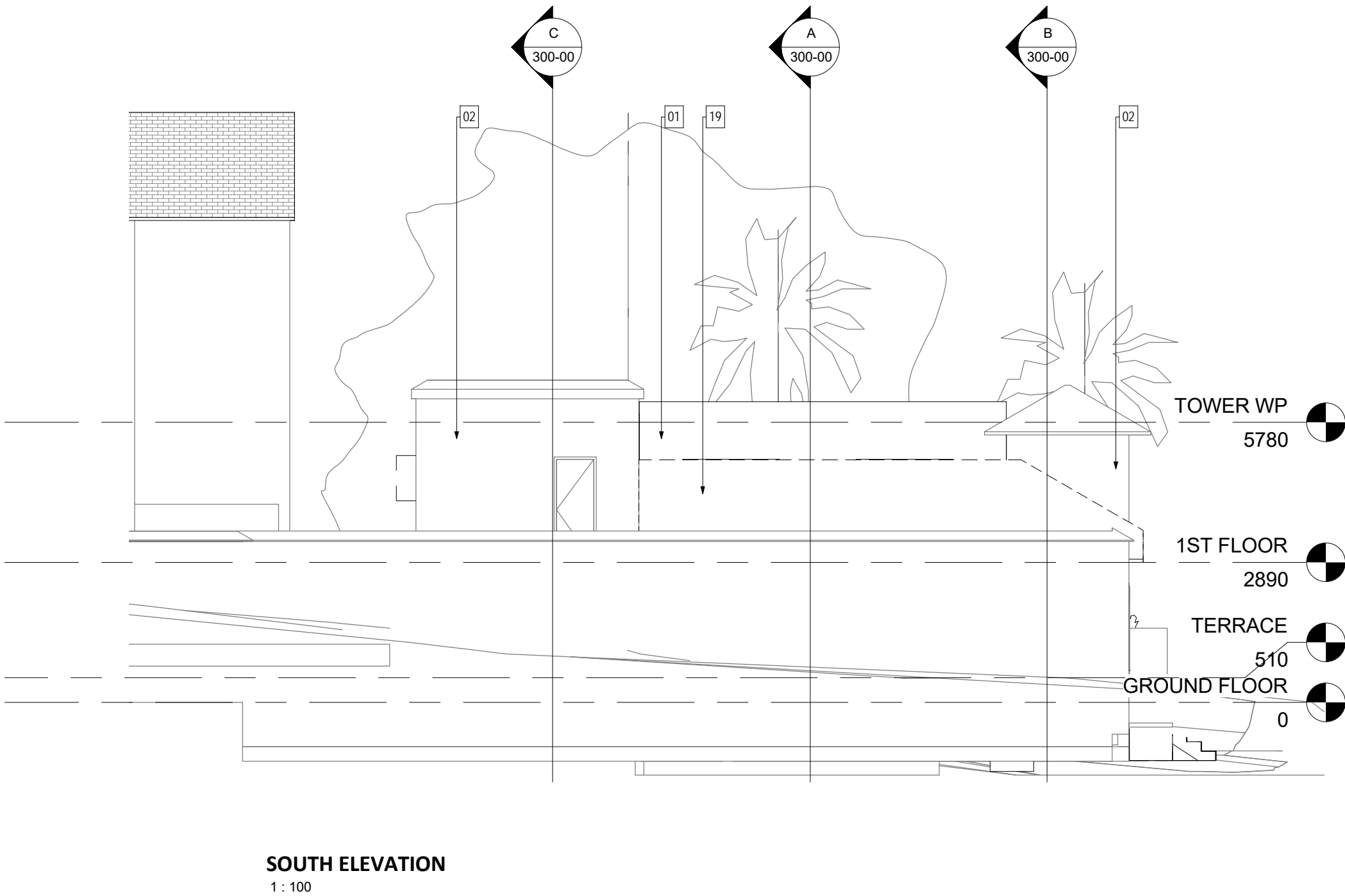
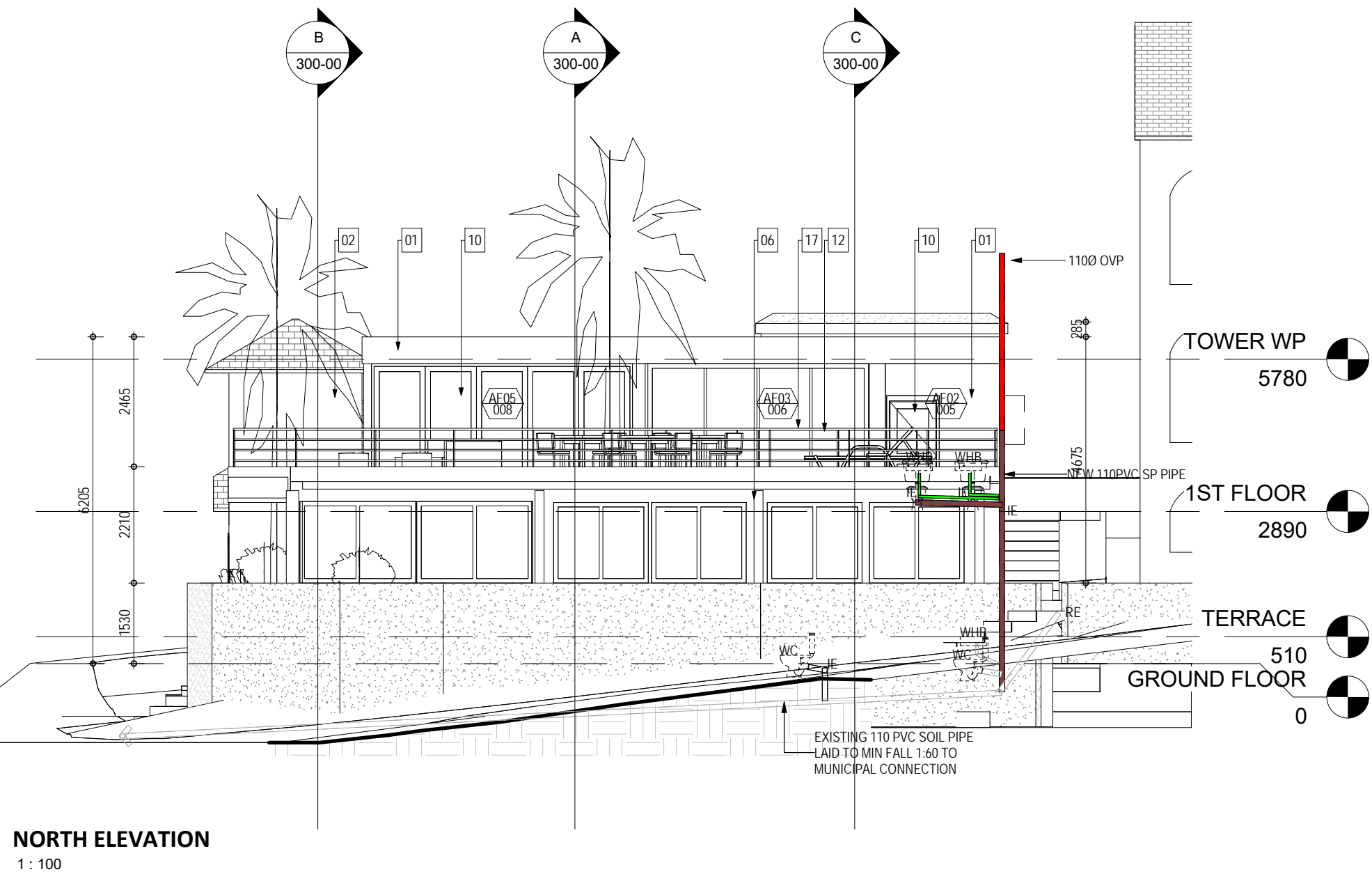
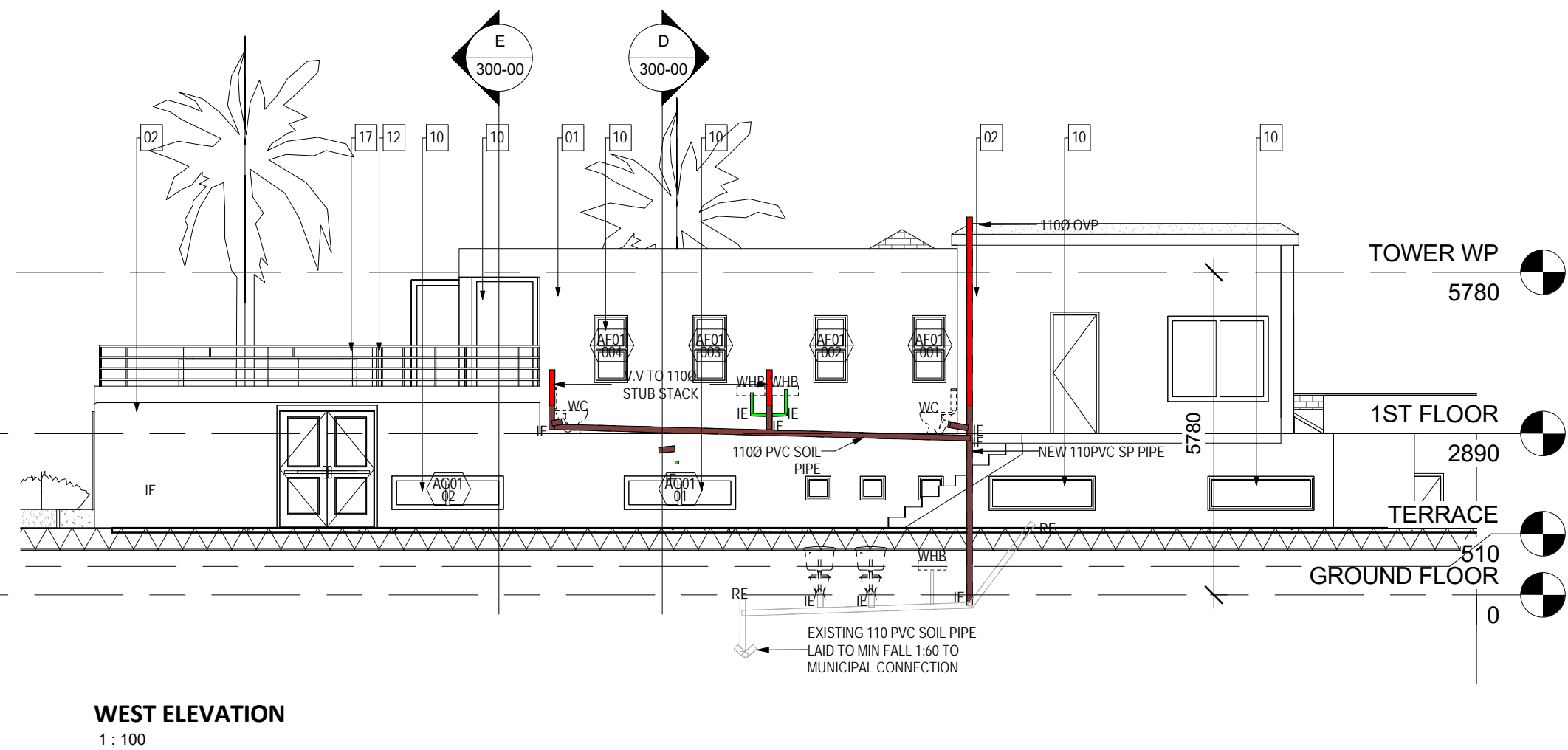
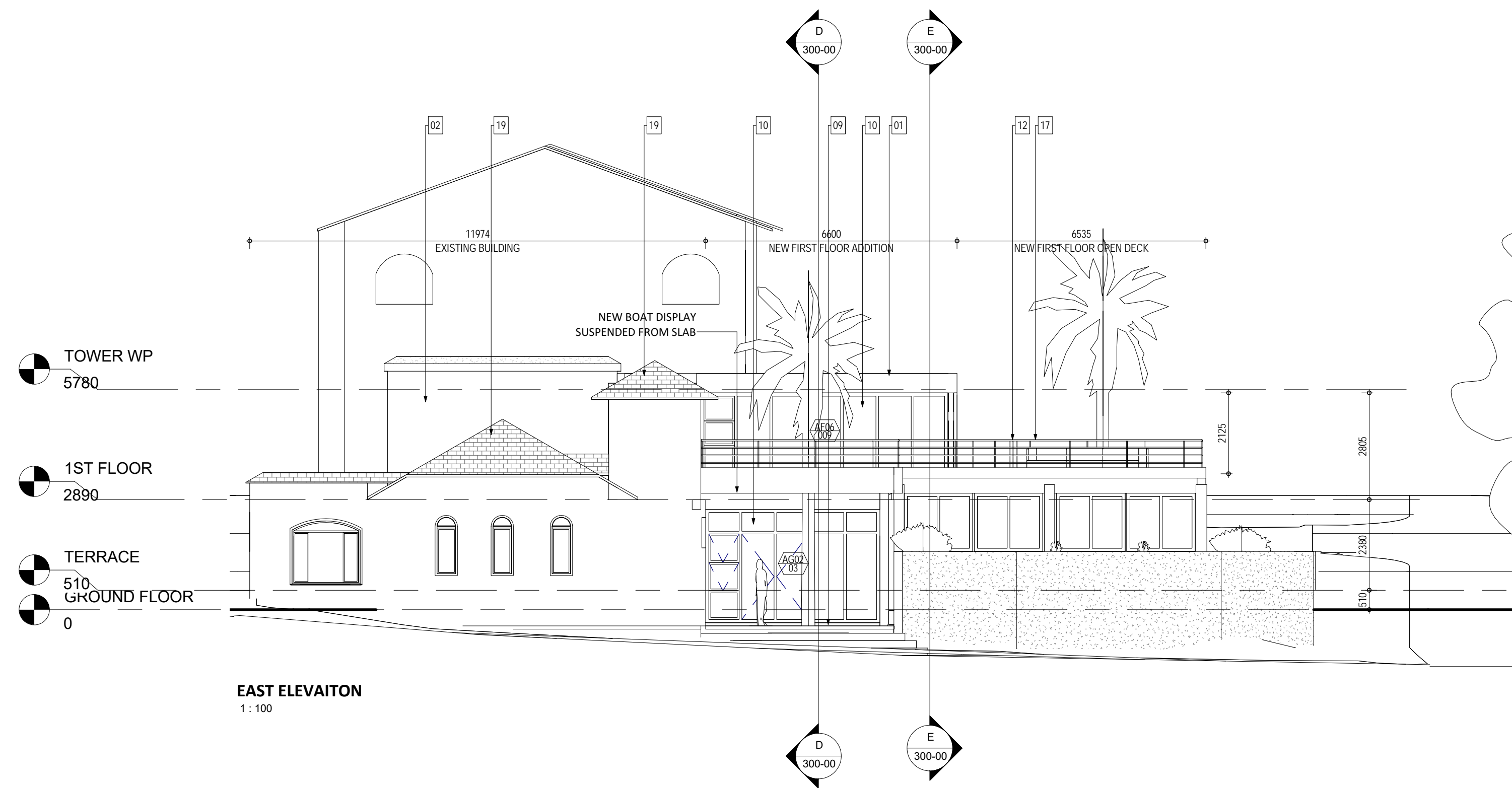
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SECTION E-E

1:100

1. **EXTERNAL WALL FINISH**
 - 2 COATS OF PLASTER AND PAINT
2. **EXISTING EXTERNAL WALL FINISH**
 - EX. PLASTER AND PAINT REPAIRED AS REQUIRED TO MATCH EXISTING.
3. **INTERNAL WALL FINISH**
 - 2 COATS OF PLASTER AND PAINT
4. **CEILING**
 - EX. CEILING REPAIRED AS REQUIRED AND REPAINTED TO CLIENT SPEC.
5. **U/S SOFFIT**
 - PLASTERED AND 2 COATS PAINT TO CLIENT SPEC.
6. **ALL STRUCTURE (FOUNDATIONS, SLABS & BEAMS)**
 - TO ENGINEER'S DESIGN AND DETAIL
7. **FOUNDATION**
 - SPECIALIST FOUNDATIONS TO ENGINEER'S DESIGN AND DETAIL
 - SUPPLY
 - EXISTING FOUNDATION CHECKED AND REINFORCED TO ENGINEER'S DESIGN AND DETAIL.
8. **APPROVED WATERPROOFING**
 - WITH NO BREAKS OR TEARS LAPPED AND SEALED TO BREEZE GRADING @ MIN 1:100 FALL TO OVERFLOW
 - TO CARRY A 10YEAR MANUFACTURER'S GUARANTEE
9. **FLOOR FINISH**
 - TO FINISHING SCHEDULE ON SUFFICIENT SCREED WHERE REQUIRED
10. **POWDER COATED ALUMINIUM**
 - WINDOWS AND DOORS TO SCHEDULES
 - EXISTING WINDOWS REPAIRED, SERVICED AND REPLACED AS REQUIRED.
11. **DOORS**
 - AS PER SCHEDULE
 - INTERNAL DOORS TO BE SUPAWOOD. PRIMED & PAINTED
 - EXTERNAL DOORS TO BE SOLID HARDWOOD TO LATER SPEC.
12. **BALUSTRADING**
 - TO BE IN ACCORDANCE WITH NATIONAL BUILDING REGULATIONS (I.E. 1000mm HIGH WITH OPENING APERTURE <100mm Ø)
13. **CORNICES**
 - SHADOWLINE OR SIMILAR APPROVED TO LATER DETAIL
14. **KITCHEN AND BAR UNITS**
 - BUILT-IN CUPBOARDS & JOINERY BY SPECIALIST
15. **SURFACE BED**
 - TO ENGINEER'S DESIGN & SPECIFICATION
 - SOIL TO BE POISONED
 - SURFACE BED TO HAVE MIN 50mm LAYER OF INSULATION AND
16. **JOINERY WORK**
 - ALL BUILT-IN CUPBOARDS, VANITY UNITS AND FITTINGS TO SPECIALIST DESIGN AND INSTALLATION
17. **HANDRAIL**
 - TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS (IE. 1000mm HIGH)
18. **FLAT ROOF COVERING**
 - WATERPROOFING TO BE COVERED WITH A LAYER OF MIN 80mm CRUSHED STONE WITH A MIN Ø19mm IN BROWN OR DARK GRAY COLOUR.
19. **EXISTING ROOF**
 - EXISTING ROOF TRUSSES AND TILES TO BE INSPECTED AND REPAIRED AS REQUIRED.
20. **EXISTING TENSILE ROOF**
 - EXISTING TENSILE ROOF STRUTURE AND COVERING TO BE DEMOLISHED AND ALL TRADES MADE GOOD.
21. **EMERGENCY OVERFLOW OUTLET**
 - TO LATER DETAIL WITH METAL PLATE AND CUT PIPE
22. **ACRYLIC WATERPROOFING ON ALL PARAPETS**



- EXTERNAL WALL FINISH
 - 2 COATS OF PLASTER AND PAINT
- EXISTING EXTERNAL WALL FINISH:
 - EX. PLASTER AND PAINT REPAIRED AS REQUIRED TO MATCH EXISTING.
- INTERNAL WALL FINISH
 - 2 COATS OF PLASTER AND PAINT
- CEILING
 - EX. CEILING REPAIRED AS REQUIRED AND REPAINTED TO CLIENT SPEC.
- U/S SOFFIT
 - PLASTERED AND 2 COATS PAINT TO CLIENT SPEC.
- ALL STRUCTURE (FOUNDATIONS, SLABS & BEAMS)
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- FOUNDATION
 - SPECIALIST FOUNDATIONS TO ENGINEER'S DESIGN AND SUPPLY
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- APPROVED WATERPROOFING
 - WITH NO BREAKS OR TEARS LAPPED AND SEALED TO BREEZE GRADING @ MIN 1:100 FALL TO OVERFLOW
 - TO CARRY A 10YEAR MANUFACTURER'S GUARANTEE

- FLOOR FINISH
 - TO FINISHING SCHEDULE ON SUFFICIENT SCREED WHERE REQUIRED
- POWDER COATED ALUMINIUM
 - WINDOWS AND DOORS TO SCHEDULES
 - EXISTING WINDOWS REPAIRED, SERVICED AND REPLACED AS REQUIRED.
- DOORS
 - AS PER SCHEDULE
 - INTERNAL DOORS TO BE SUPAWOOD, PRIMED & PAINTED
 - EXTERNAL DOORS TO BE SOLID HARDWOOD TO LATER SPEC.
- BALUSTRADING
 - TO BE IN ACCORDANCE WITH NATIONAL BUILDING REGULATIONS (I.E. 1000mm HIGH WITH OPENING APERTURE <100mmØ)
- CORNICES
 - SHADOWLINE OR SIMILAR APPROVED TO LATER DETAIL
- KITCHEN AND BAR UNITS
 - BUILT-IN CUPBOARDS & JOINERY BY SPECIALIST

- SURFACE BED
 - TO ENGINEER'S DESIGN & SPECIFICATION
 - SOIL TO BE POISONED
 - SURFACE BED TO HAVE MIN 50mm LAYER OF INSULATION AND
- JOINERY WORK
 - ALL BUILT-IN CUPBOARDS, VANITY UNITS AND FITTINGS TO SPECIALIST DESIGN AND INSTALLATION
- HANDRAIL
 - TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS (I.E. 1000mm HIGH)
- FLAT ROOF COVERING
 - WATERPROOFING TO BE COVERED WITH A LAYER OF MIN 80mm CRUSHED STONE WITH A MIN Ø19mm IN BROWN OR DARK GRAY COLOUR.
- EXISTING ROOF
 - EXISTING ROOF TRUSSES AND TILES TO BE INSPECTED AND REPAIRED AS REQUIRED.

- EXISTING TENSILE ROOF
 - EXISTING TENSILE ROOF STRUTURE AND COVERING TO BE DEMOLISHED AND ALL TRADES MADE GOOD.
- EMERGENCY OVERFLOW OUTLET
 - TO LATER DETAIL WITH METAL PLATE AND CUT PIPE
- ACRYLIC WATERPROOFING ON ALL PARAPETS

GENERAL

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- ALL PARTITIONING TO HAVE ADEQUATE FIRE RATING & RODENT PROOFING.
- LIGHTING AND VENTILATION TO COMPLY WITH PART 'O' OF THE NATIONAL BUILDING REGULATIONS.
- ALL BALUSTRADING TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS (I.E. 1000mm HIGH & BALUSTERS AT MAX. 100mm C/C.)
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DRAINAGE RETICULATION

- ALL PLUMBING TO BE IN ACCORDANCE WITH N.B.R.
- ALL DRAINAGE RUNS TO BE ACCESSIBLE ALONG THEIR ENTIRE LENGTH.
- V.P.'S TO BE CARRIED UP TO 2m ABOVE ANY WINDOW OR DOOR OPENING IN THE BUILDING OR ANY OTHER BUILDING WITHIN A DISTANCE OF 6m.
- INSPECTION EYES (I.E.'S) TO BE PROVIDED AT ALL BENDS & JUNCTIONS OF SOIL & WASTE PIPES.
- RODDING EYES (R.E.'S) TO BE PROVIDED AT HEADS OF DRAINS & AT A MAXIMUM 25m SPACING ALONG RUNS OF DRAINS.
- MARKED COVERS TO BE PROVIDED AT GROUND LEVEL FOR ALL I.E.'S.
- RESEAL TRAPS TO BE FITTED TO ALL WASTE FITTINGS.
- SOIL DRAINS UNDER BUILDINGS TO BE PROTECTED FROM ALL VERTICAL SETTLEMENT LOADS WITH R.E.'S AS CLOSE AS POSSIBLE TO THE BUILDING AT BOTH ENDS.
- WASTE WATER PIPES HAVING A VERTICAL DROP EXCEEDING 1200mm TO THE MAIN DRAIN TO BE ANTI-SYPHONED.
- ALL BRANCH DRAINS EXCEEDING 6m IN LENGTH TO BE VENTED.
- ALL MATERIALS USED ARE TO BE IN ACCORDANCE WITH THE MANUFACTURERS TECHNICAL SPECIFICATIONS.
- WASTE WATER PIPES TO BE MIN 50Ø
- DRAINPIPS TO BE MIN 100Ø

FIRE RETICULATION

- ALL BUILDING TO BE IN ACCORDANCE WITH PART 'T' OF THE NATIONAL BUILDING REGULATIONS FOR THE RELEVANT CLASS OF OCCUPANCY.

OWNER'S

ENGINEER'S

REVISIONS

No	DATE	DESCRIPTION
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CLIENT THE CRAYFISH INN

PROJECT CRAYFISH INN RESTAURANT
ADDITION AND ALTERATION

STAND NO STAND 2105 RAMSGATE

DRAWING ELEVATIONS

DESIGNED S RAUBENHEIMER
DRAWN S RAUBENHEIMER
DATE 04/12/2016
SCALE As indicated

PROJECT NO: 1601 DWG NO: 400-00 REV:

[illegible]

WINDOW SCHEDULE	NO.	POSITION
FIRST STOREY	010	NEW BAR
	011	NEW BAR
ALUMINIUM		
WINDOW TYPE	AF01	
GLAZING	AS PER SANS 204 CALCULATIONS, IN ACCORDANCE WITH SABS 0400	
QUANTITY REQUIRED	2 OFF	
FRAME TYPE	50mm PURPOSE MADE ALUMINIUM FRAME (2 TOP HUNG OUTWARD OPENING WINDOWS)	
FRAME FINISH	CHARCOAL POWDER COATED ALUMINIUM U CHANNEL	
IRON/MONGERY	TO CLIENTS APPROVAL	

1 : 50

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5. COPYRIGHT OF THIS DRAWING IS ALWAYS TO REMAIN WITH ALSFINE AND ANGUS ARCHITECTS
6. THE CONTRACTOR IS TO GET ALL SCHEDULES & DRAWINGS BEFORE BEGINNING WORKS.
7. ALL BUILDING WORK & BUILDING REQUIREMENTS ARE TO BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL BUILDING REGULATIONS & BUILDING STANDARDS. ACT No. 103 OF 1977.
8. ALL MATERIALS HAVE TO HAVE ADEQUATE FIRE RATING & A SOUND PROOFING.
9. LIGHTING AND VENTILATION TO COMPLY WITH PART 'O' OF THE NATIONAL BUILDING REGULATIONS.
10. ALL BALUSTRADE TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS (IE. 1000mm HIGH & BALUSTERS AT MAX. 100mm C/C).
11. THE CONTRACTOR IS TO GET AN INSPECTION IS BEING PROVIDED, ANY DISCREPANCIES OR SHORTCOMINGS CONTAINED IN THESE DRAWINGS WILL NOT BE THE RESPONSIBILITY OF ALSFINE AND ANGUS ARCHITECTS

1. ALL PLUMBING TO BE IN ACCORDANCE WITH N.B.R.
2. ALL DRAINAGE RUNS TO BE ACCESSIBLE ALONG THEIR ENTIRE LENGTH.
3. P & S TO BE CARRIED UP TO 2m above ANY WINDOW OR DOOR OPENING IN THE BUILDING OR ANY OTHER BUILDING WITHIN A DISTANCE OF 6m.
4. INSPECTION EYES (I.E.'S) TO BE PROVIDED AT ALL BENDS & JUNCTIONS OF 25" WASTE PIPES.
5. RISING EYES (R.E.'S) TO BE PROVIDED AT HEADS OF DRAINS & AT A MAXIMUM 50m SPACING ALONG RUNS OF DRAINS.
6. MARKED COVERS TO BE PROVIDED AT GROUND LEVEL FOR ALL I.E.'S.
7. ALL TRAPS TO BE FITTED TO ALL WASTE FITTINGS.
8. SOIL DRAINS UNDER BUILDINGS TO BE PROTECTED FROM ALL VERTICAL SETTLEMENT LOADS WITH R.E.'S AS CLOSE AS POSSIBLE TO THE BUILDING AT BOTH ENDS.
9. WASTE WATER PIPES HAVING A VERTICAL DROP EXCEEDING 1200mm TO THE MAIN DRAIN TO BE ANTI-SYPHONED.
10. ALL BRANCH DRAINS EXCEEDING 6m IN LENGTH TO BE VENTED.
11. ALL MATERIALS USED ARE TO BE IN ACCORDANCE WITH THE MANUFACTURERS TECHNICAL SPECIFICATIONS.
12. WASTE WATER PIPES TO BE MIN 50
13. DRAINPIPIES TO BE MIN 100/

1. ALL BUILDING TO BE IN ACCORDANCE WITH PART "T" OF THE NATIONAL BUILDING REGULATIONS FOR THE RELEVANT CLASS OF OCCUPANCY.

OWNER'S

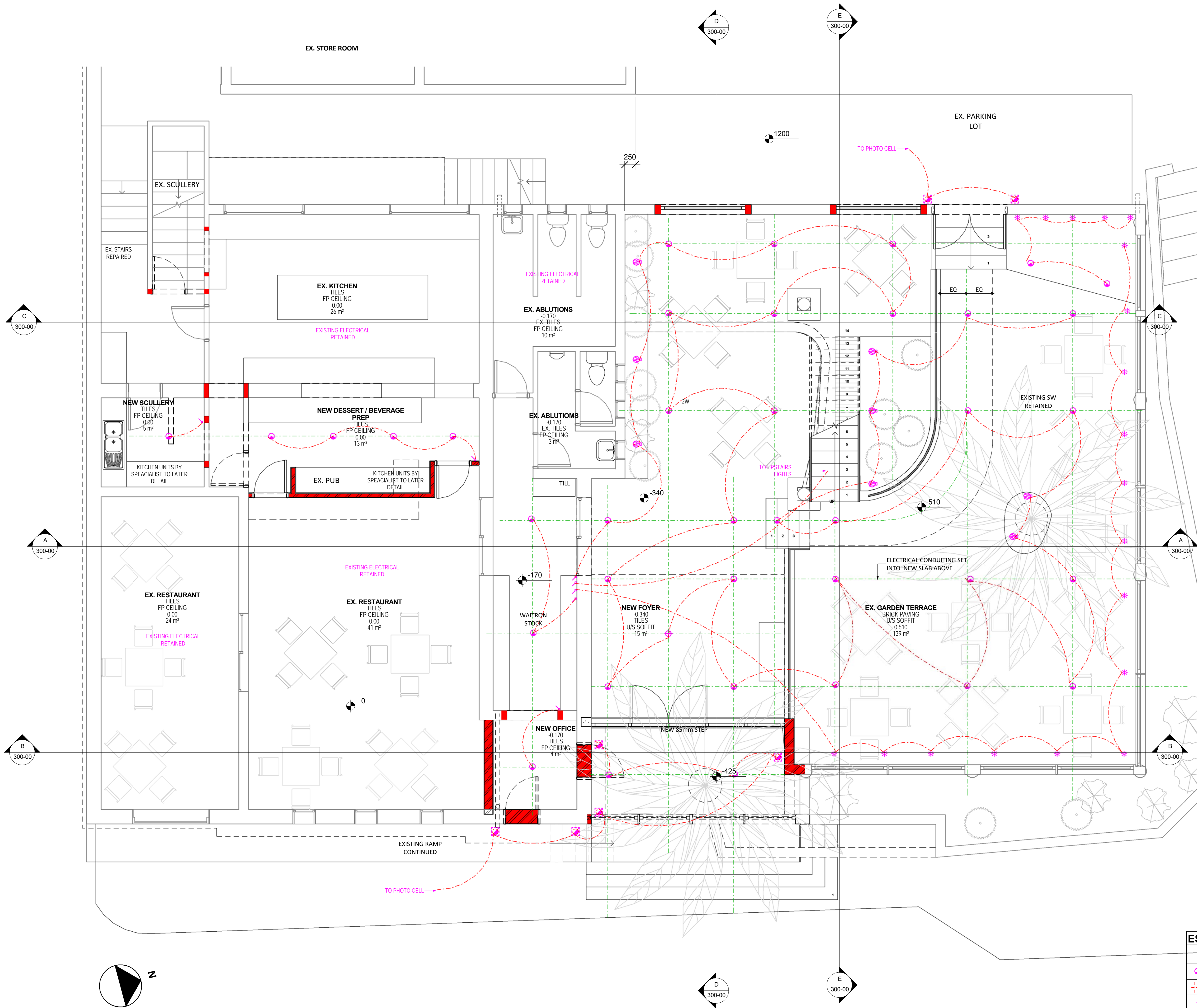
ENGINEER'S

REVISIONS		
No	DATE	DESCRIPTION



CLIENT	THE CRAYFISH INN
PROJECT	CRAYFISH INN RESTAURANT ADDITION AND ALTERATION
STAND NO	STAND 2105 RAMSGATE
DRAWING	ALUMINIUM SCHEDULE
DESIGNED	S RAUBENHEIMER
DRAWN	S RAUBENHEIMER
DATE	04/12/16
SCALE	As indicated

PROJECT NO: 1601 DWG NO: 500-00 REV:



GROUND FLOOR ELECTRICAL PLAN
1:50

ELECTRICAL LEGEND	
	DOUBLE 15AMP SOCKET
	SINGLE 15AMP SOCKET
	DOUBLE 15AMP WATERPROOF SOCKET
	DOUBLE 15AMP SOCKET FLOOR PLUG
	SWITCH
	DIMMER SWITCH
	TWO WAY SWITCH
	THREE WAY SWITCH
	TELEPHONE
	TELEVISION
	INTERCOM
	EXTRACTOR
	STOVE ISOLATOR
	DISTRIBUTION BOARD
	DOWNLIGHTER (SWWEL)
	LOW VOLTAGE DOWNLIGHTER (FIXED)
	FOOT LIGHT
	WALL MOUNTED LIGHT FITTING
	CEILING MOUNTED LIGHT FITTING
	CHANDELIER LIGHT FITTING
	GARDEN SPIKED FITTING
	WALL MOUNTED UPLIGHTER
	FLUORESCENT LIGHT FITTING
	DOOR BELL
	BELL CHIME
	GEYSER
	THERMOSTAT FOR UNDER TILE / UNDER CARPET
	ALARM KEY POINT
	ALARM CONTROL BOX
	GARAGE DOOR MOTOR WITH LIGHT FITTING
	AUDIO UNIT
	SPEAKER POINTS
	BURIED FLOODLIGHT
	CONTACT AT DOOR LINTOL
	PASSIVE INFRARED
	PANIC BUTTON
	WALL MOUNTED SECURITY LIGHT
	VOLUME CONTROL
	AIR-CONDITIONING
	HEATED TOWEL RAIL
	SHAVR PLUG POINT
	DATA POINT / INTERNET CONNECTION
	BURIED UPLIGHT
	FLOOD LIGHTS
	WATER PROOF LIGHT IN WATER FEATURE
	FLOOR LIGHTS
	STAR LIGHTS
	HEATING CONTROLLER BOX

ESTIMATE ENERGY CONSUMPTION		
LEGEND/ TYPE		QUANTITY
LED DOWNLIGHT - 5 WATT		171
CFL WALL LIGHT FITTING - 9 WATT		11
CFL CEILING FITTING (Chandelier) - 9 WATT		9
FLUORESCENT LED LIGHT FITTING - 9 WATT		3
GARAGE DOOR MOTOR LIGHT FITTING - 9 WATT		3
WALL MOUNTED UPLIGHTER - 5 WATT		5
GARDEN SPIKED FITTING - 5 WATT		16
STAR LIGHTS - 3 WATT		43
FLOOD LIGHTS - 20 WATT		7
FOOT LIGHTS - 5 WATT		6

- GENERAL
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- DRAINAGE RETICULATION
- ALL PLUMBING TO BE IN ACCORDANCE WITH N.B.R.
 - ALL DRAINAGE RUNS TO BE ACCESSIBLE ALONG THEIR ENTIRE LENGTH.
 - V.P.'S TO BE CARRIED UP TO 2m ABOVE ANY WINDOW OR DOOR OPENING IN THE BUILDING OR ANY OTHER BUILDING WITHIN A DISTANCE OF 6m.
 - INSPECTION EYES (I.E.'S) TO BE PROVIDED AT ALL BENDS & JUNCTIONS OF SOIL & WASTE PIPES.
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 - WASTE WATER PIPES HAVING A VERTICAL DROP EXCEEDING 1200mm TO THE MAIN DRAIN TO BE ANTI-SYPHONED.
 - ALL BRANCH DRAINS EXCEEDING 6m IN LENGTH TO BE VENTED.
 - ALL MATERIALS USED ARE TO BE IN ACCORDANCE WITH THE MANUFACTURERS TECHNICAL SPECIFICATIONS.
 - WASTE WATER PIPES TO BE MIN 500
 - DRAINPIES TO BE MIN 1000

- FIRE RETICULATION
- ALL BUILDING TO BE IN ACCORDANCE WITH PART 'T' OF THE NATIONAL BUILDING REGULATIONS FOR THE RELEVANT CLASS OF OCCUPANCY.

OWNER'S

ENGINEER'S

REVISIONS

No	DATE	DESCRIPTION

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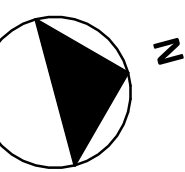
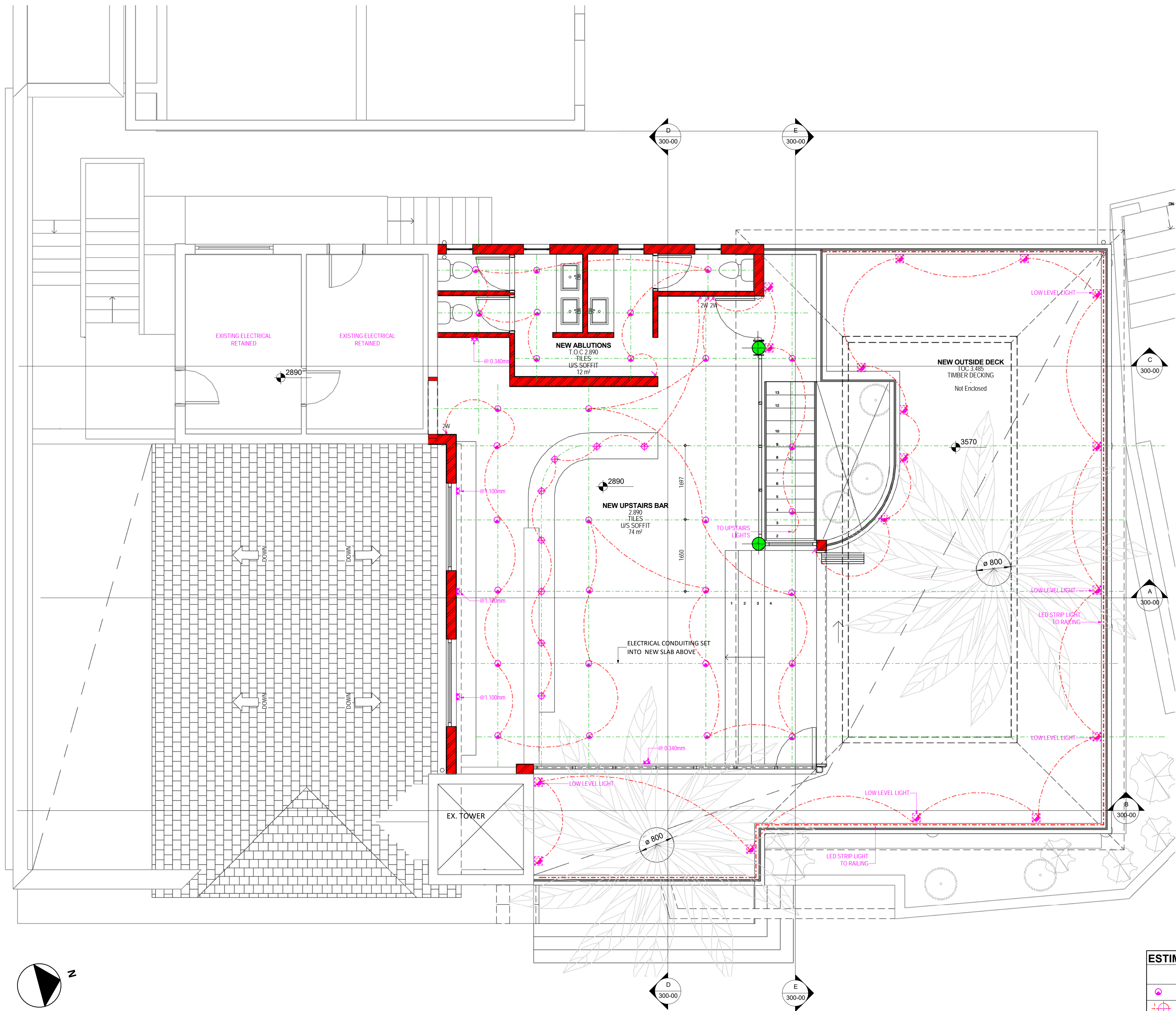
URBANDweller's
Design Studios

CLIENT	THE CRAYFISH INN
PROJECT	CRAYFISH INN RESTAURANT ADDITION AND ALTERATION
STAND NO	STAND 2105 RAMSGATE

DRAWING
ELECTRICAL GROUND FLOOR PLAN

DESIGNED	S RAUBENHEIMER
DRAWN	S RAUBENHEIMER
DATE	04/12/16
SCALE	As indicated

PROJECT NO:	DWG NO:	REV:
1601	700-00	



1ST FLOOR ELECTRICAL PLAN
1 : 50

ELECTRICAL LEGEND	
	DOUBLE 15AMP SOCKET
	SINGLE 15AMP SOCKET
	DOUBLE 15AMP WATERPROOF SOCKET
	DOUBLE 15AMP SOCKET FLOOR PLUG
	SWITCH
	DIMMER SWITCH
	TWO WAY SWITCH
	THREE WAY SWITCH
	TELEPHONE
	TELEVISION
	INTERCOM
	EXTRACTOR
	STOVE ISOLATOR
	DISTRIBUTION BOARD
	DOWNLIGHTER (SWIVEL)
	LOW VOLTAGE DOWNLIGHTER (FIXED)
	FOOT LIGHT
	WALL MOUNTED LIGHT FITTING
	CEILING MOUNTED LIGHT FITTING
	CHANDELIER LIGHT FITTING
	GARDEN SPIKED FITTING
	WALL MOUNTED UPLIGHTER
	FLUORESCENT LIGHT FITTING
	DOOR BELL
	BELL CHIME
	GEYSER
	THERMOSTAT FOR UNDER TILE / UNDER CARPET
	ALARM KEY POINT
	ALARM CONTROL BOX
	GARAGE DOOR MOTOR WITH LIGHT FITTING
	AUDIO UNIT
	SPEAKER POINTS
	BURIED FLOODLIGHT
	CONTACT AT DOOR LINTOL
	PASSIVE INFRARED
	PANIC BUTTON
	WALL MOUNTED SECURITY LIGHT
	VOLUME CONTROL
	AIR CONDITIONING
	HEATED TOWEL RAIL
	SHAVER PLUG POINT
	DATA POINT / INTERNET CONNECTION
	BURIED UPLIGHT
	FLOOD LIGHTS
	WATER PROOF LIGHT IN WATER FEATURE
	FLOOR LIGHTS
	STAR LIGHTS
	HEATING CONTROLLER BOX

ESTIMATE ENERGY CONSUMPTION		
LEGEND/ TYPE		QUANTITY
	LED DOWNLIGHT - 5 WATT	171
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	STAR LIGHTS - 3 WATT	43
	FLOOD LIGHTS - 20 WATT	7
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GENERAL

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OWNER'S

ENGINEER'S

REVISIONS

No	DATE	DESCRIPTION



CLIENT THE CRAYFISH INN

PROJECT CRAYFISH INN RESTAURANT ADDITION AND ALTERATION
STAND NO STAND 2105 RAMSGATE

DRAWING ELECTRICAL FIRST FLOOR

DESIGNED S RAUBENHEIMER
DRAWN S RAUBENHEIMER
DATE 04/12/16
SCALE As indicated

PROJECT NO: 1601
DWG NO: 701-00
REV: