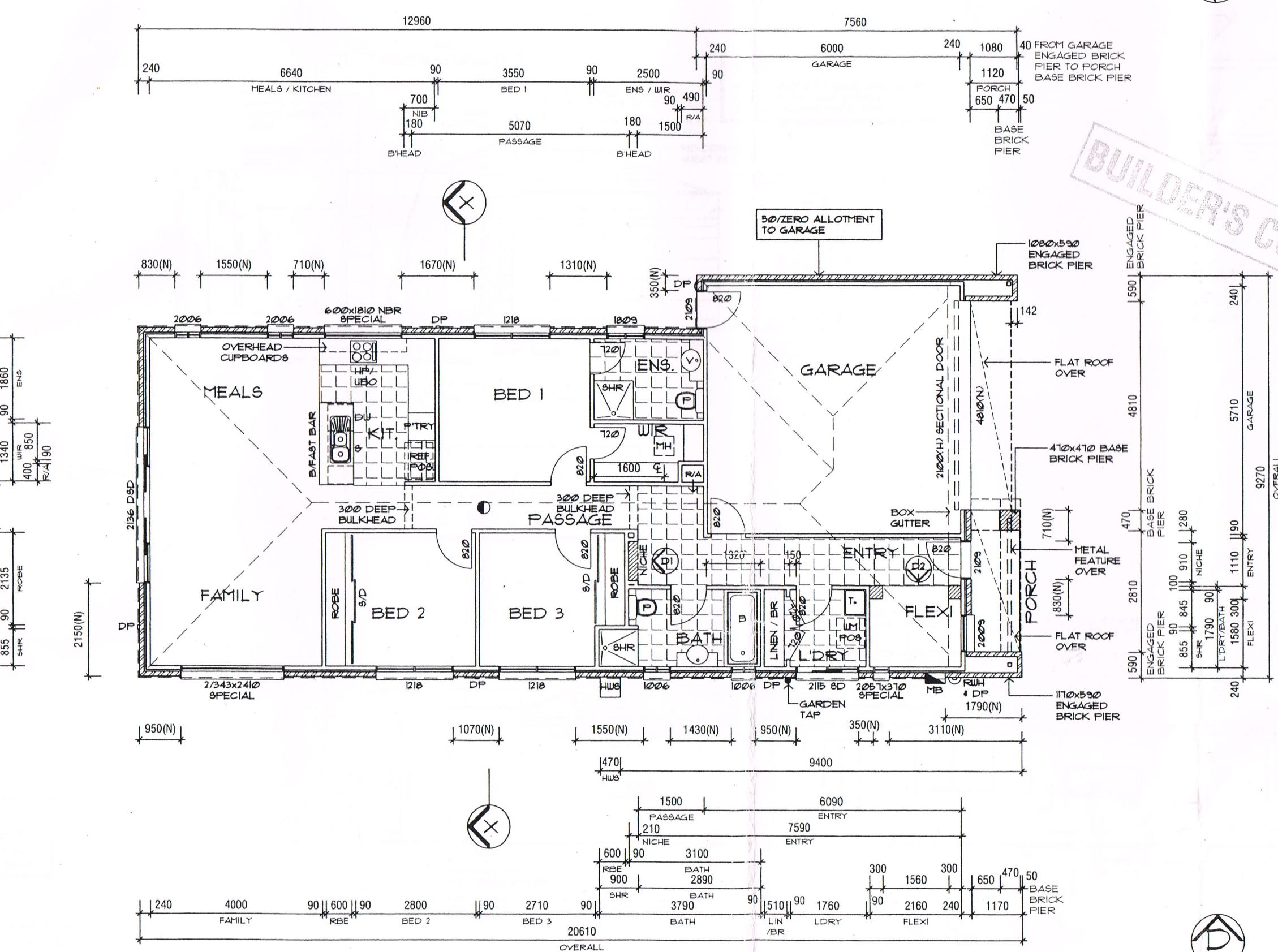


B

A



GENERAL NOTES:

1. DENOTES: SELF CONTAINED SMOKE ALARM COMPLYING WITH AUSTRALIAN STANDARDS. CONNECTED TO CONSUMER MAINS POWER, WITH A 9V BATTERY BACKUP.
2. DOWNPIPE SPACING IS NOT TO EXCEED 12 METRES AVERAGE. DOWNPIPS ARE TO BE INSTALLED WITHIN 12 METRES OF A VALLEY GUTTER WHERE IT IS NOT POSSIBLE TO LOCATE A DOWNPIPE WITHIN 12 METRES OF THE VALLEY GUTTER AN OVERFLOW MUST BE PROVIDED IN THE GUTTER.
3. THE INSTALLATION OF REMOVABLE HINGES TO TOILET DOORS REQUIRED WHERE CLEARANCE FROM DOORWAY TO PAN IS LESS THAN 1200mm.

SYMBOL - C

BUILDER'S COPY

Devine
Homes

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Devine Homes Pty Ltd
ACN 010 798 384
200 FLAT, 11 COVENTRY STREET
8TH FLOOR, MELBOURNE
TELEPHONE: 03 93100, FAX: 03 93100

NATIONAL DESIGN
OFFICE

THIS IS THE PLAN
REFERRED TO IN THE
CONTRACT DATED _____
OWNER _____

DRAWING TITLE

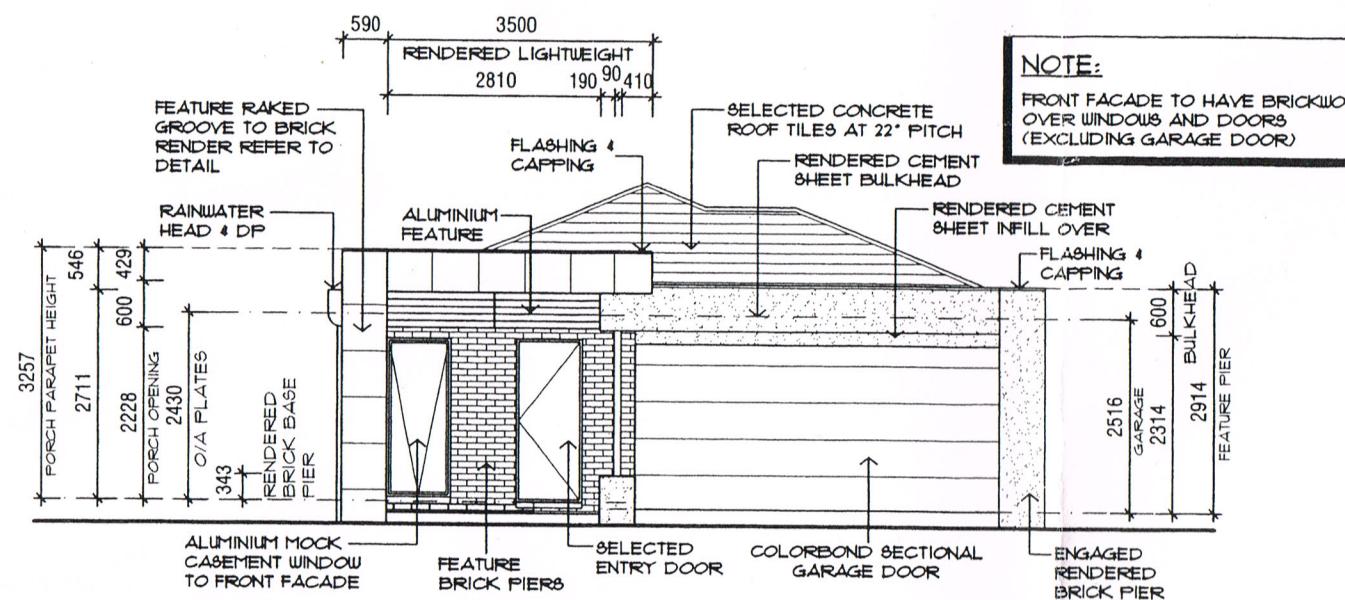
FOR: D. A. & G. V. Taylor
AT: Lot 1181 Young Street,
PAKENHAM

FLOOR PLAN

VIC MODEL: RH COMO 170
SCALE: 1:100
DRAIN: AW
DATE: 22.04.10
JOB No: 211115
MATERIAL: 24.11.03
MAP REF: 311 G4

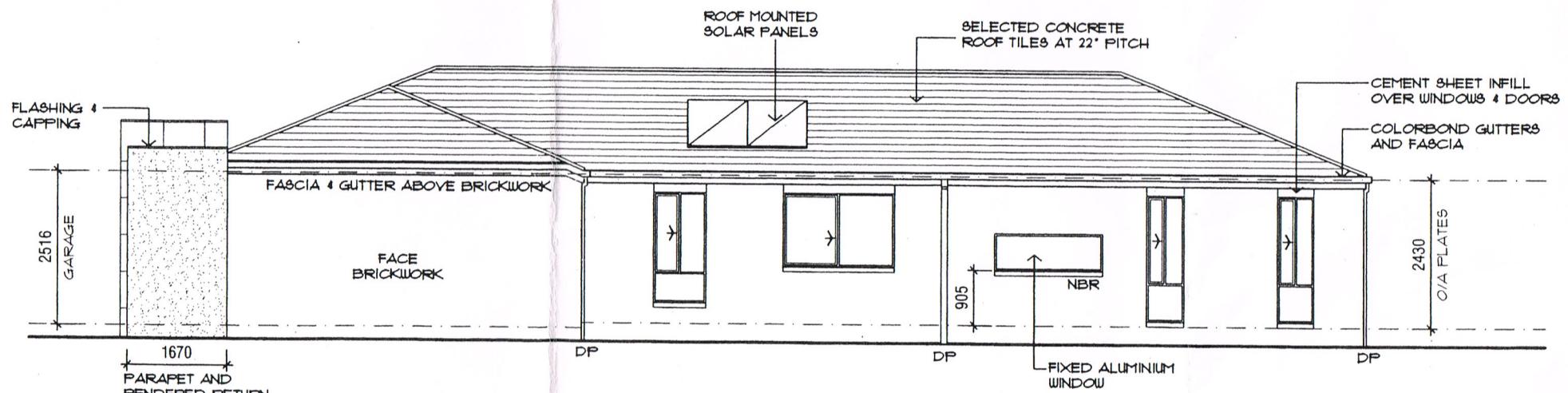
FAÇADE: STUDIO S3
AREA
LIVING: 26.16m²
GARAGE: 37.93m²
PORCH: 4.36m²
OUTDOOR LIVING:

COLLECTION: (WPS)
REVISION:
TOTAL: 169.05m²
SHEET: 01 OF 10



ELEVATION A

NOTE:
REFER TO CONSTRUCTION DETAILS (B11 - B20)



ELEVATION B

Devine[®]
Homes

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Devine Homes Pty Ltd
ACN 010 798 384
5TH FLOOR, 48 COVENTRY STREET
MELBOURNE
TELEPHONE: 03 99 3100, FAX: 03 99 3188

NATIONAL DESIGN
OFFICE

THIS IS THE PLAN REFERRED TO IN THE CONTRACT DATED

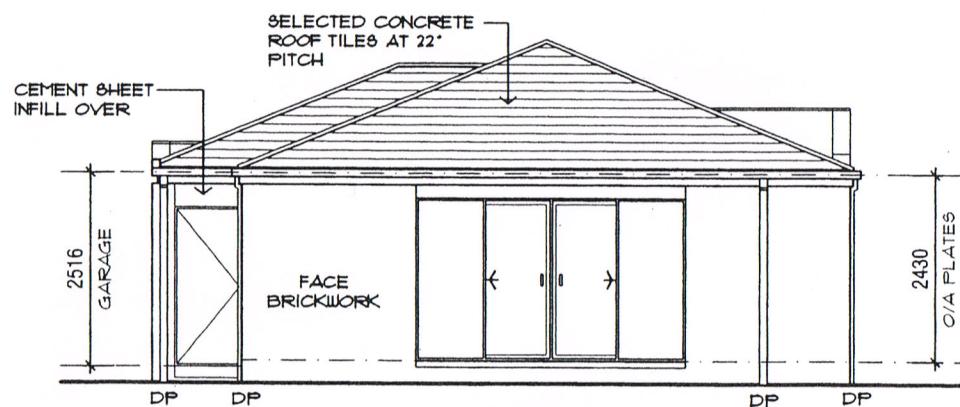
OWNER *[Signature]*

DRAWING TITLE

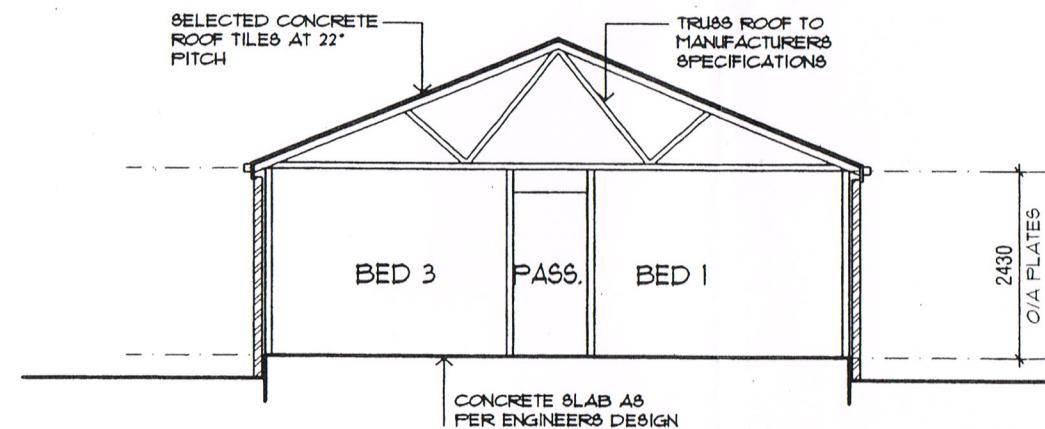
FOR: D. A. & G. V. Taylor
AT: Lot 1181 Young Street,
PAKENHAM

ELEVATIONS

VIC	MODEL: RH COMO 170	FAÇADE: STUDIO 53	COLLECTION: (WPS)
SCALE 1:100	AREA		REVISION:
DRAWN: AW	LIVING:	126.16m ²	
DATE: 22/04/10	GARAGE:	37.93m ²	
JOB No: 211115	PORCH:	4.36m ²	
REV: 24/11/09	OUTDOOR LIVING:		
MAP REF: 311 G4	TOTAL:	169.05m ²	
	SHEET:	02 OF 10	

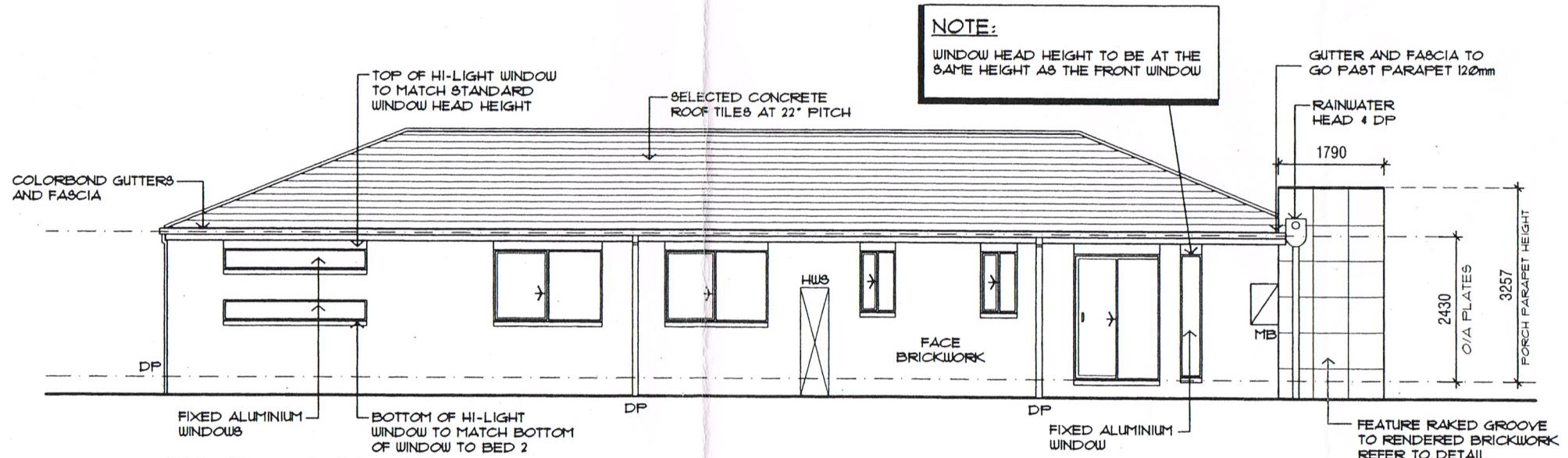


ELEVATION C



FOR SOIL CLASSIFICATION REFER TO ENGS SOIL REPORT

SECTION X-X



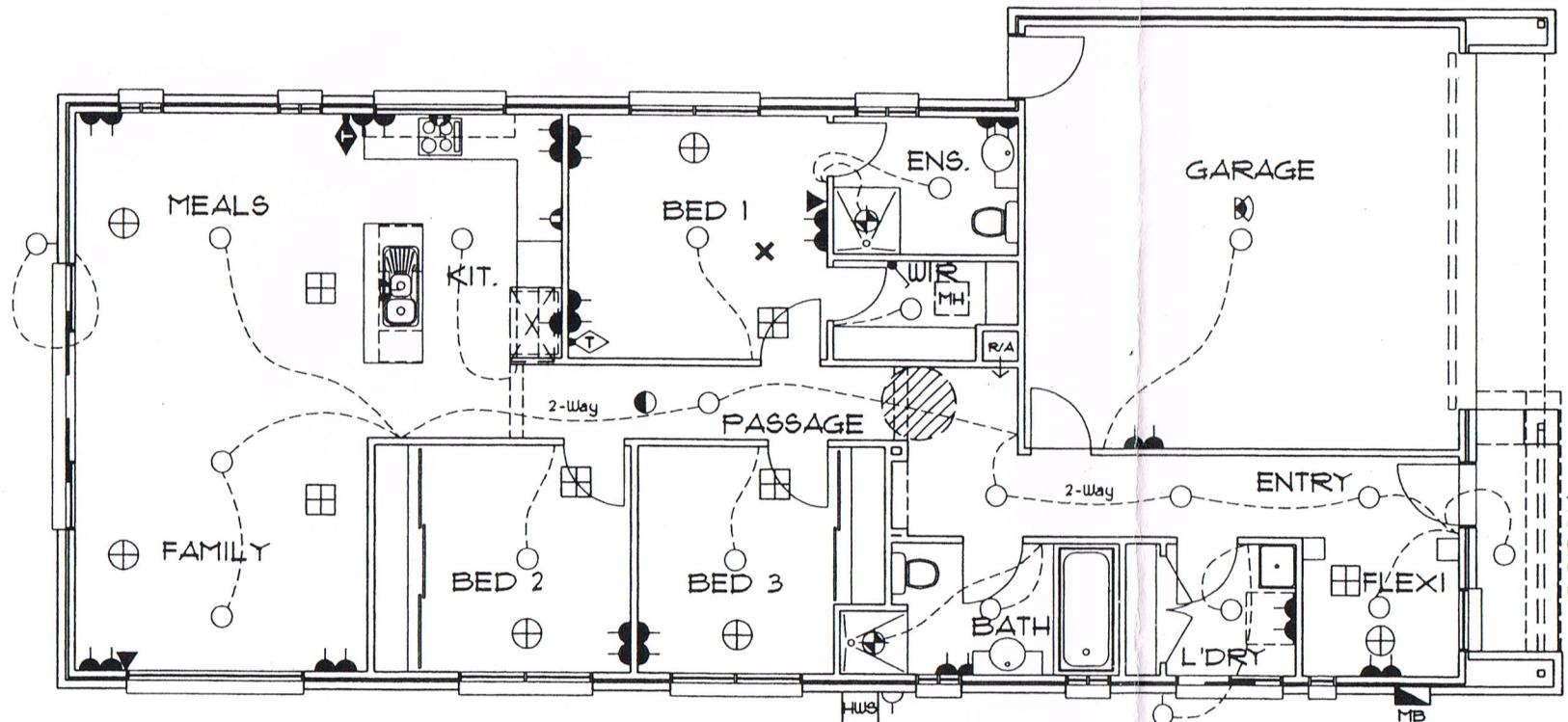
ELEVATION D

EVAP COOLING LEGEND

- ↗ ↗ EVAPORATE COOLING UNIT LOCATION
- ↖ ↘
- ↔ EVAPORATE COOLING VENT LOCATION

ELECTRICAL LEGEND

- GPO's**
- SINGLE GPO
 - DOUBLE GPO
 - EXTERNAL WEATHER PROOF SINGLE GPO
 - EXTERNAL WEATHER PROOF DOUBLE GPO
- HEIGHTS OF GPO's**
- GENERAL - 200mm ABOVE FFL.
 - KITCHEN - 1000mm ABOVE FFL.
 - FRIDGE LOCATION - 1100mm ABOVE FFL.
 - BATH/EN'S - 1100mm ABOVE FFL.
 - LAUNDRY - 1100mm ABOVE FFL.
 - EXTERNAL W/PROOF - 600mm ABOVE FFL.
 - GARAGE GENERAL - 1100mm ABOVE FFL.
 - 8G.P.O. 600mm ABOVE FFL.
FOR DISHWASHER SPACE
 - 8G.P.O. 1600mm ABOVE FFL. FOR RANGEHOOD AND MICROWAVE SPACE IN WALL OVEN TOWER
 - GARAGE REMOTE ROLLER DOOR- LOCATE ON WALL 1800 AFFL
 - GARAGE REMOTE PANEL DOOR - LOCATE ON CEILING 3300mm FROM DOOR OPENING LINTEL
4 200mm OFF DOOR CENTRE.
- HEIGHTS OF LIGHT SWITCHES**
- LIGHT SWITCH - 1100mm ABOVE FFL.
 - ▲ TELEVISION POINT - 200mm ABOVE FFL.
 - LIGHT SWITCH FOR HEATING UNIT 1500mm ABOVE FFL. WITHIN CLOSE PROXIMITY OF MANHOLE
 - SEALED EXHAUST FAN
 - LOW VOLTAGE DOWNLIGHT
 - CEILING MOUNTED LIGHT
 - WALL MOUNTED LIGHT - 1800mm AFFL
 - TELEPHONE POINT - 1200mm AFFL
 - TELEPHONE POINT - 200mm AFFL
 - METER BOX
 - SMOKE DETECTOR
 - ROOF MOUNTED SOLAR PANEL
 - DUCTED HEATING VENT LOCATION
 - MAN HOLE
- R/A RETURN AIR FOR DUCTED HEATING
- DUCTED HEATING UNIT
TO BE LOCATED IN CEILING ABOVE PASSAGE
- PROVIDE POWER POINT, GAS POINT & LIGHT POINT IN CEILING FOR DUCTED HEATING UNIT



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Devine Homes Pty Ltd
ACN 010 798 384
GPO BOX 100 COVENTRY STREET
6TH FLOOR, MELBOURNE
TELEPHONE: 03 9593 3100, FAX: 03 9593 3100

NATIONAL DESIGN
OFFICE

THIS IS THE PLAN
REFERRED TO IN THE
CONTRACT DATED

OWNER

DRAWING TITLE

FOR: D. A. & G. V. Taylor

AT: Lot 1181 Young Street,
PAKENHAM

ELECTRICAL PLAN

VIC MODEL: LRH COMO 110

FAÇADE: STUDIO S3

COLLECTION:
(WPS)

SCALE 1:100

DRAWN: AW

DATE: 22.04.10

JOB No: 211115

MREV: 24.11.09

MAP REF: 311 G4

AREA

LIVING:

37.93m²

GARAGE:

4.36m²

PORCH:

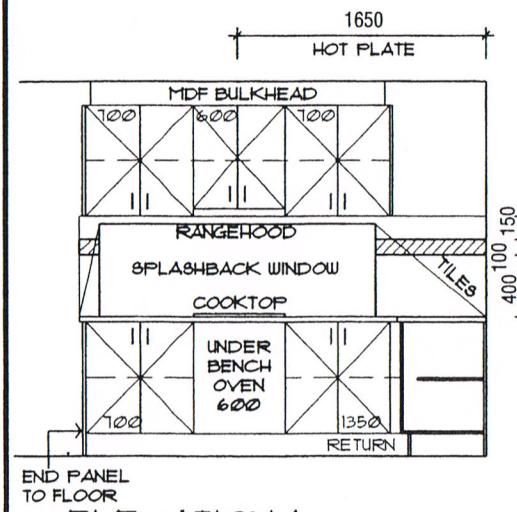
OUTDOOR LIVING:

TOTAL:

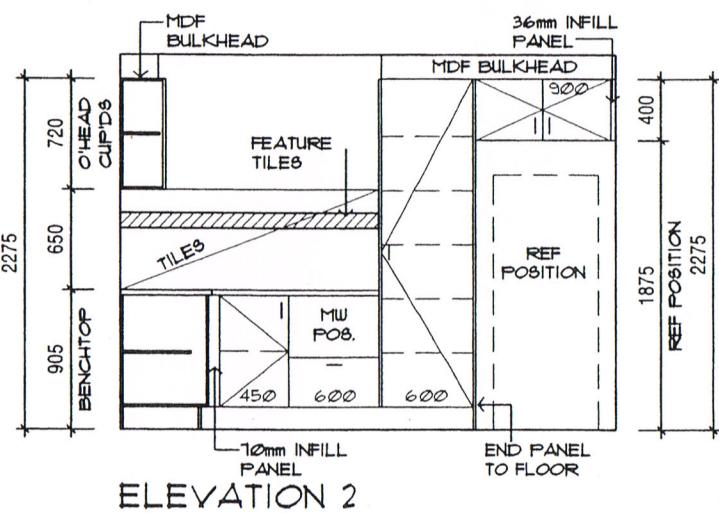
169.05m²

REVISION:

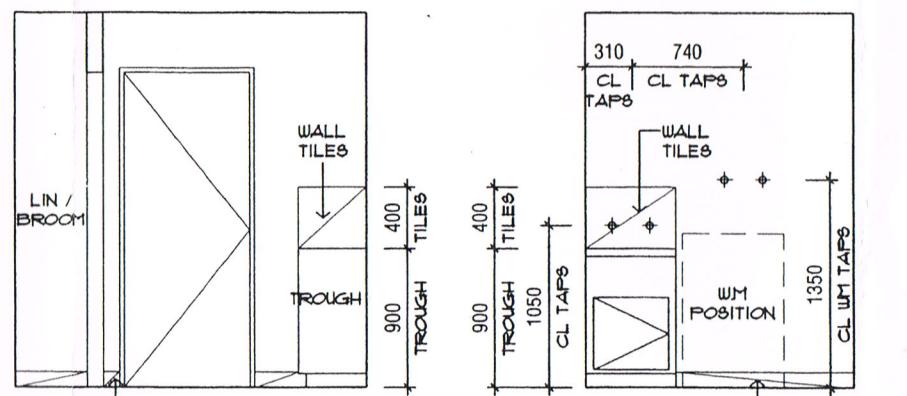
SHEET: 04 OF 10



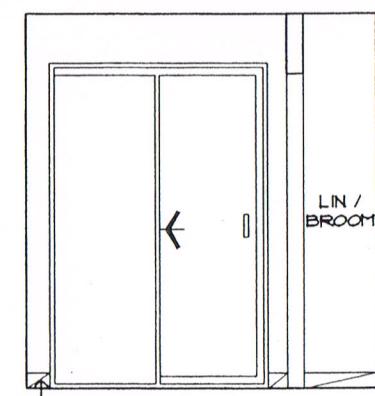
ELEVATION 1



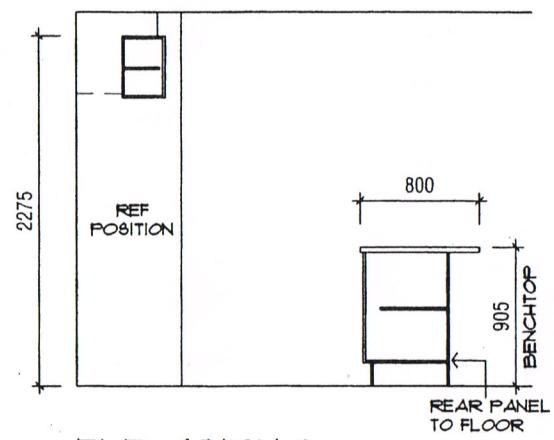
ELEVATION 2



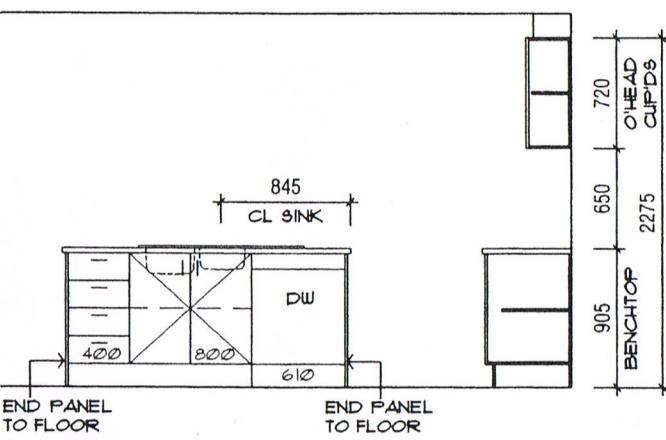
SKIRTING THE
ELEVATION 1



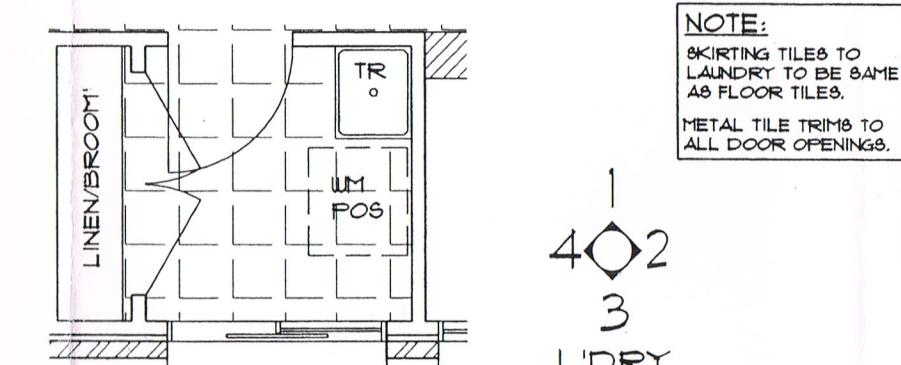
SKIRTING TILES
ELEVATION 3



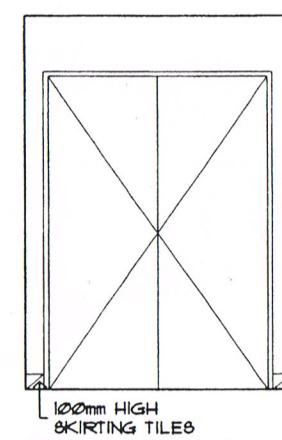
ELEVATION 3



ELEVATION 4

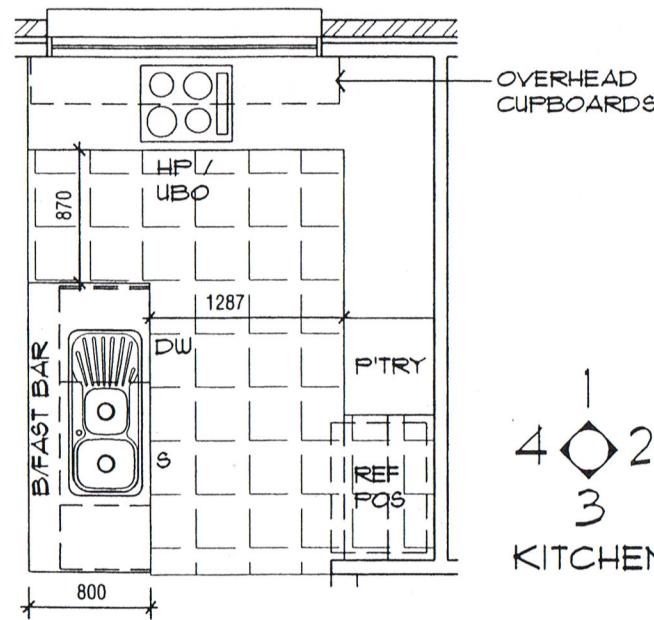


LAUNDRY FLOOR PLAN



ELEVATION 4

C A R A T E



KITCHEN FLOOR PLAN

**Devine®
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Devine Homes Pty Ltd
A.C.N 010 798 384,
GPO BOX 1000, COVENTRY STREET,
8TH MELBOURNE
TELEPHONE: 8699 3100. FAX: 8699 3188

NATIONAL DESIGN
OFFICE

THIS IS THE PLAN
REFERRED TO IN THE
CONTRACT DATED 1/1/1990

OWNER John

DRAWING TITLE

FOR: D. A. & G. V. Tayl

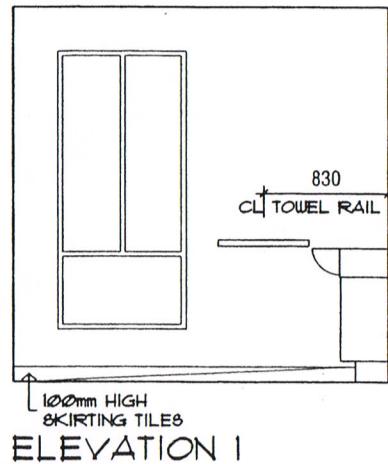
AT: Lot 1181 Young Street,
BAKENHAM

WET AREA DETAILS

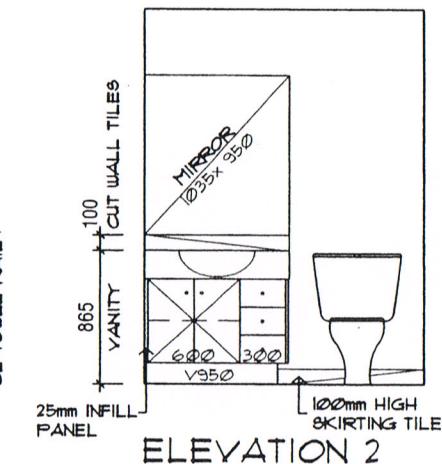
J. Taylor

ung Stre

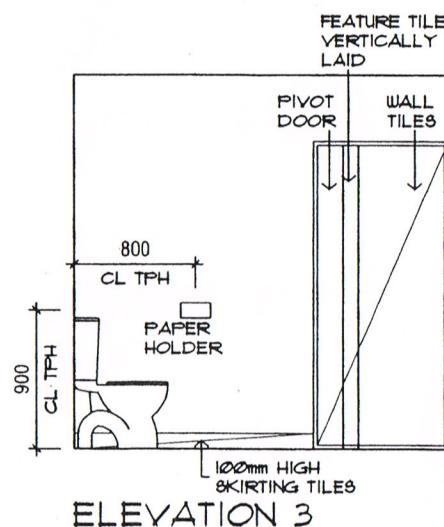
VIC	MODEL: RH COMO 170	FAÇADE: STUDIO S3	COLLECTION: (WPS)
SCALE 1:50	AREA		REVISION:
DRAWN: AW	LIVING:	126.76m ²	
DATE: 22.04.10	GARAGE:	31.93m ²	
JOB No: 211115	PORCH:	4.36m ²	
M/REV: 24.11.09	OUTDOOR LIVING:		
MAP REF: 311 G4	TOTAL:	169.05m ²	SHEET: 05 OF 10



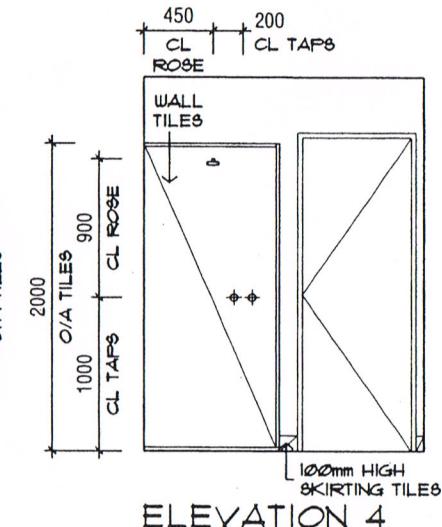
ELEVATION 1



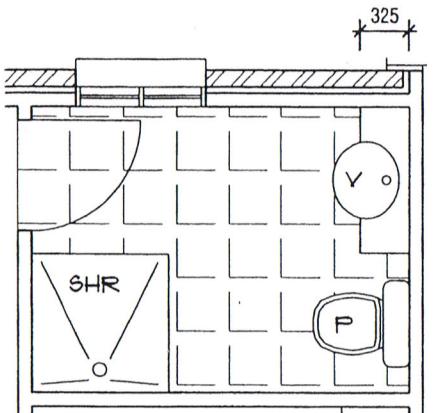
ELEVATION 2



ELEVATION 3



ELEVATION 4



1
4
2
3
ENSUITE

NOTE:
SKIRTING TILES TO ENSUITE TO
BE SAME AS FLOOR TILES.
METAL TILE TRIM TO
ALL DOOR OPENINGS.

ENSUITE FLOOR PLAN

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ACN 010 198 384
GPO BOX 88 COVENTRY STREET
8TH FLOOR
MELBOURNE
TELEPHONE: 03 99 3100, FAX: 03 99 3100

NATIONAL DESIGN
OFFICE

THIS IS THE PLAN
REFERRED TO IN THE
CONTRACT DATED

OWNER

DRAWING TITLE

FOR: D. A. & G. V. Taylor
AT: Lot 1181 Young Street,
PAKENHAM

WET AREA DETAILS

VIC MODEL: RH COMO 110
FAÇADE: STUDIO S3

SCALE: 1:50 AREA

DRAWN: AW LIVING: 126.16m²

DATE: 22.04.10 GARAGE: 31.93m²

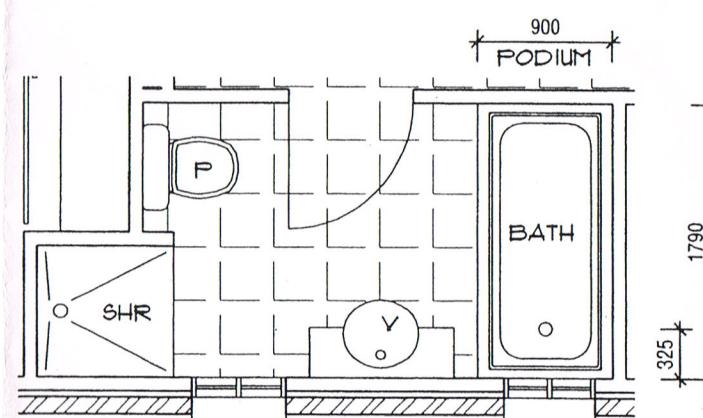
JOB No: 211115 PORCH: 4.36m²

M/REV: 24.11.09 OUTDOOR LIVING:

MAP REF: 317 G4 TOTAL: 169.05m²

COLLECTION:
(WPS)

REVISION:



NOTE:
SKIRTING TILES TO BATHROOM
TO BE SAME AS FLOOR TILES.
METAL TILE TRIM TO
ALL DOOR OPENINGS.

1
4
2
3
BATHROOM

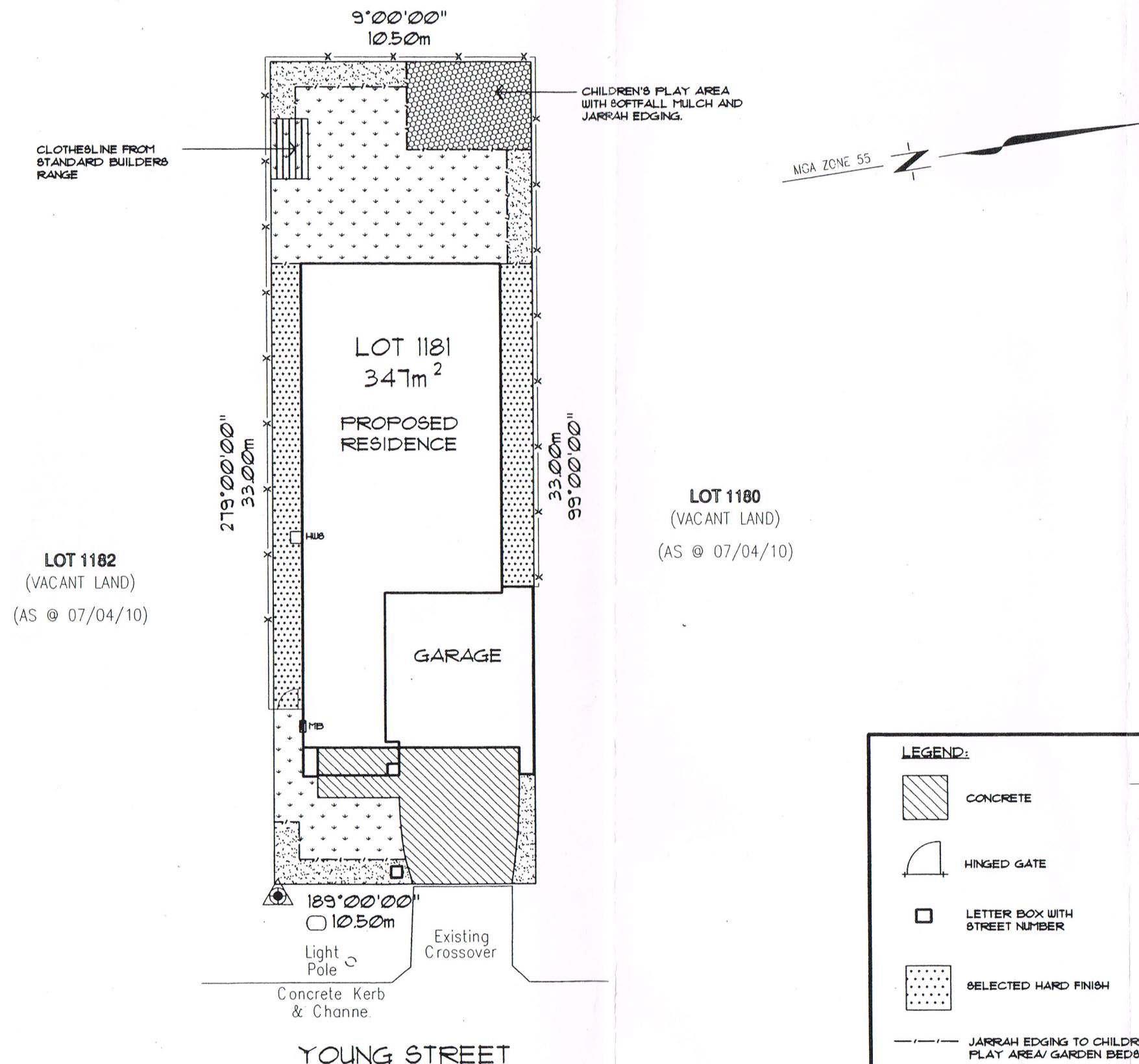
BATHROOM FLOOR PLAN

CARAMEL TEA

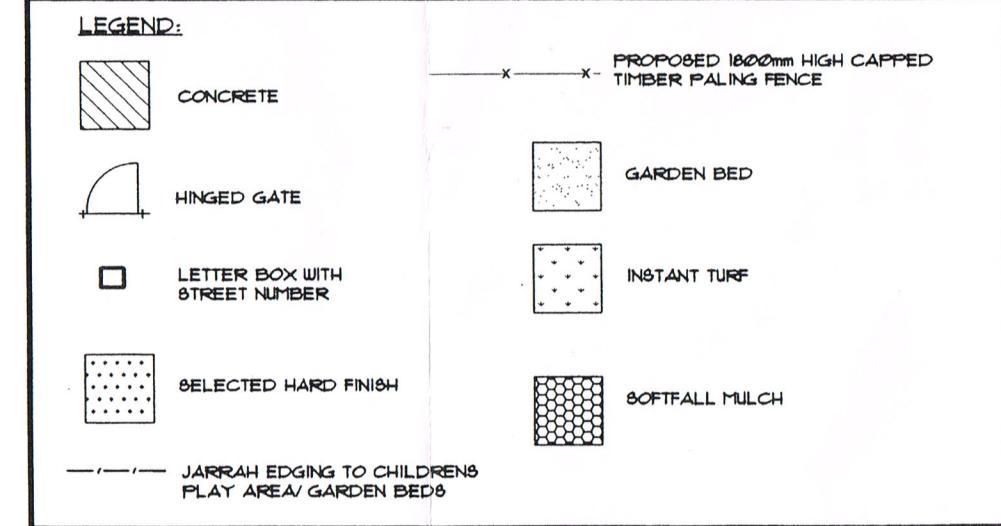
LANDSCAPING NOTE:

LANDSCAPING LAYOUT PROVIDED IS INDICATIVE ONLY, AND SUBJECT TO CHANGES AT THE DISCRETION OF THE LANDSCAPER & MAY VARY TO BEST SUIT SITE CONDITIONS

(VACANT LAND)
(AS @ 07/04/10)



NOTE:
SITE SCALE 1:200



Devine
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ACN 010 798 384
GPO FLR 88 COVENTRY STREET,
8TH MELBOURNE
TELEPHONE: 8699 3100. FAX: 8699 3188

DC
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NATIONAL DESIGN

OFFICE

THIS IS THE PLAN REFERRED TO IN THE CONTRACT DATED
OWNER D. A. & G. V. Taylor

DRAWING TITLE

FOR: D. A. & G. V. Taylor

AT: Lot 1181 Young Street,

PAKENHAM

LANDSCAPE PLAN

VIC

SCALE 1:200

DATE: 22.04.10

JOB No: 211115

M/REV: 24.11.09

MAP REF: 311 G4

MODEL: RH COMO 110

DRAWN: AW

PORCH:

OUTDOOR LIVING

MAP REF: 311 G4

FAÇADE: STUDIO S3

AREA

LIVING:

GARAGE:

PORCH:

OUTDOOR LIVING

MAP REF: 311 G4

COLLECTION: (WPS)

REVISION:

LIVING: 126.16m²

GARAGE: 31.93m²

PORCH: 4.36m²

OUTDOOR LIVING: 169.05m²

MAP REF: 311 G4

SHEET: 10 OF 10