

**Devine®
Homes**

 designededge

Devine Homes Pty Ltd
A.C.N 010 798 384,
GPO BOX 81 COVENTRY STREET
8TH. MELBOURNE
TELEPHONE: 8699 3100. FAX: 8699

NATIONAL DESIGN
OFFICE

8TH. MELBOURNE
TELEPHONE: 8699 3100. FAX: 869

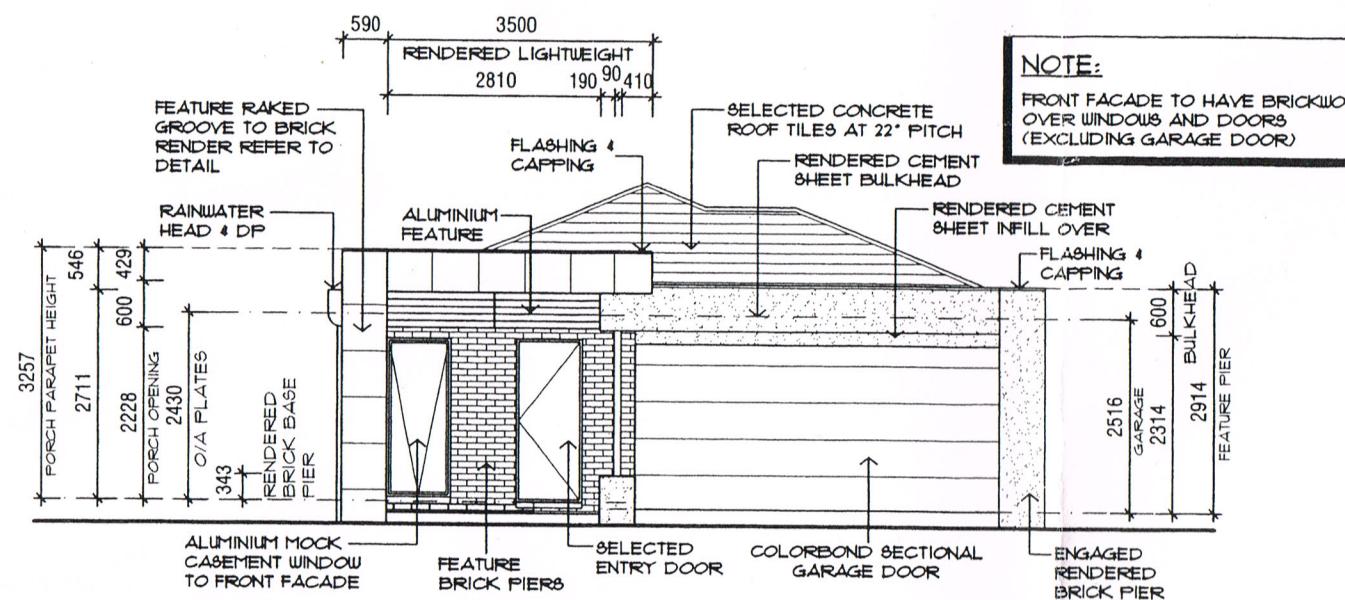
THIS IS THE PLAN
REFERRED TO IN THE
CONTRACT DATED 12/1/01

DRAWING TITLE

FOR: D. A. & G. V. Taylor
AT: Lot 1181 Young Street,
PAKENHAM

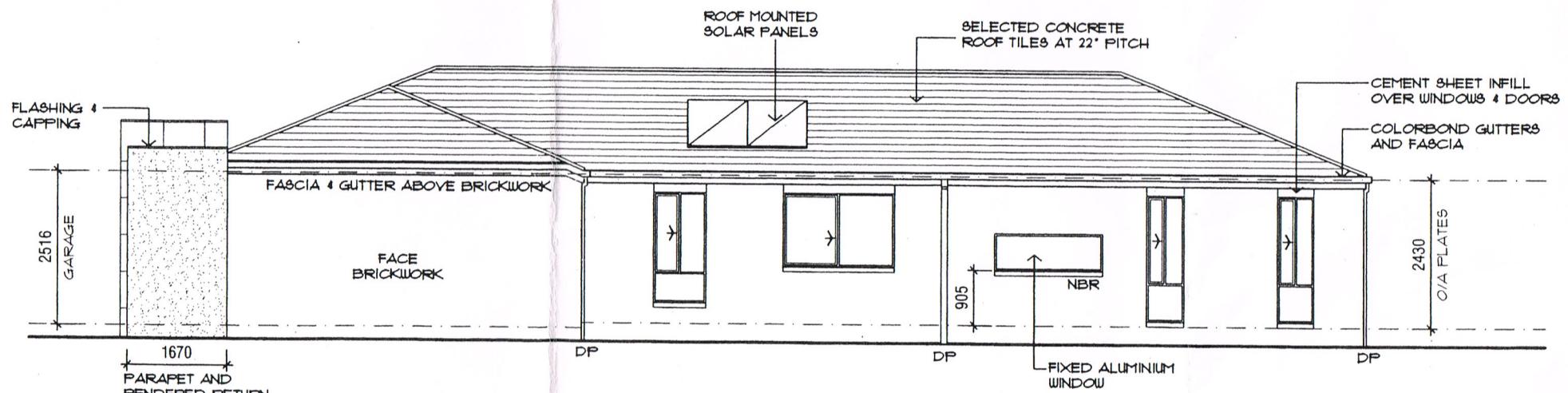
FLOOR PLAN

VIC	MODEL: RH COMO 110	FAÇADE: STUDIO S3	COLLECTION: (WPS)
SCALE: 1:100	AREA	REVISION:	
DRAINT: AW	LIVING:	26.76m ²	
DATE: 22.04.10	GARAGE:	31.93m ²	
JOB No: 211115	PORCH:	43.6m ²	
VIEW: 24.1103	OUTDOOR LIVING:		
MAP REF: 311 G4	TOTAL:	169.05m ²	SHEET: 01 OF 10



ELEVATION A

NOTE:
REFER TO CONSTRUCTION DETAILS (B11 - B20)



ELEVATION B

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Devine Homes Pty Ltd
ACN 010 798 384
5TH FLOOR, 48 COVENTRY STREET
MELBOURNE
TELEPHONE: 03 99 3100, FAX: 03 99 3188

NATIONAL DESIGN
OFFICE

THIS IS THE PLAN REFERRED TO IN THE CONTRACT DATED

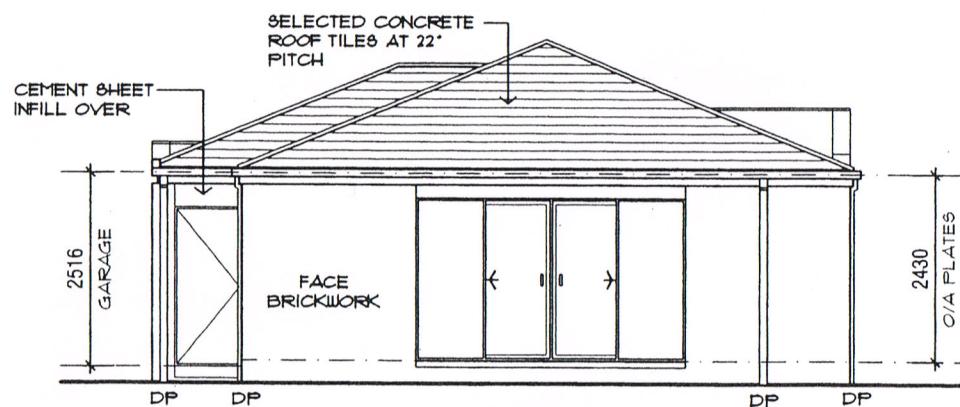
OWNER *[Signature]*

DRAWING TITLE

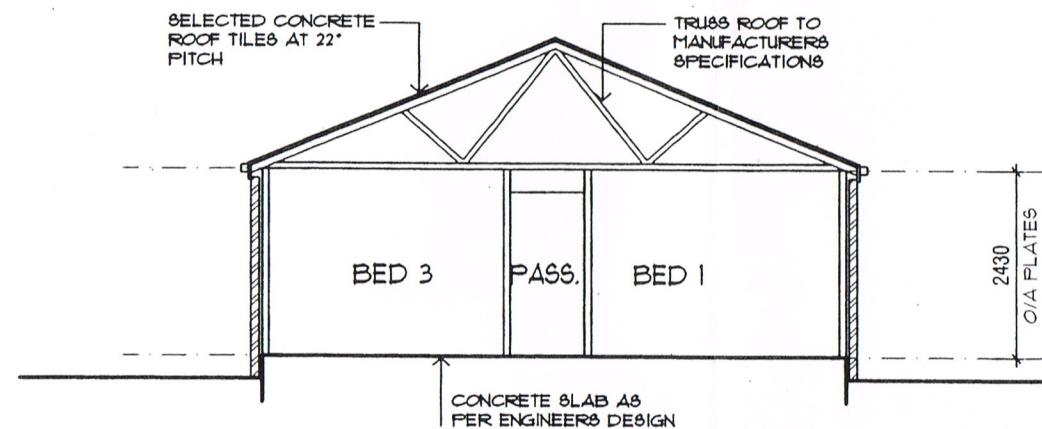
FOR: D. A. & G. V. Taylor
AT: Lot 1181 Young Street,
PAKENHAM

ELEVATIONS

VIC	MODEL: RH COMO 170	FAÇADE: STUDIO 53	COLLECTION: (WPS)
SCALE 1:100	AREA		REVISION:
DRAWN: AW	LIVING:	126.16m ²	
DATE: 22/04/10	GARAGE:	37.93m ²	
JOB No: 211115	PORCH:	4.36m ²	
REV: 24/11/09	OUTDOOR LIVING:		
MAP REF: 311 G4	TOTAL:	169.05m ²	
	SHEET:	02 OF 10	

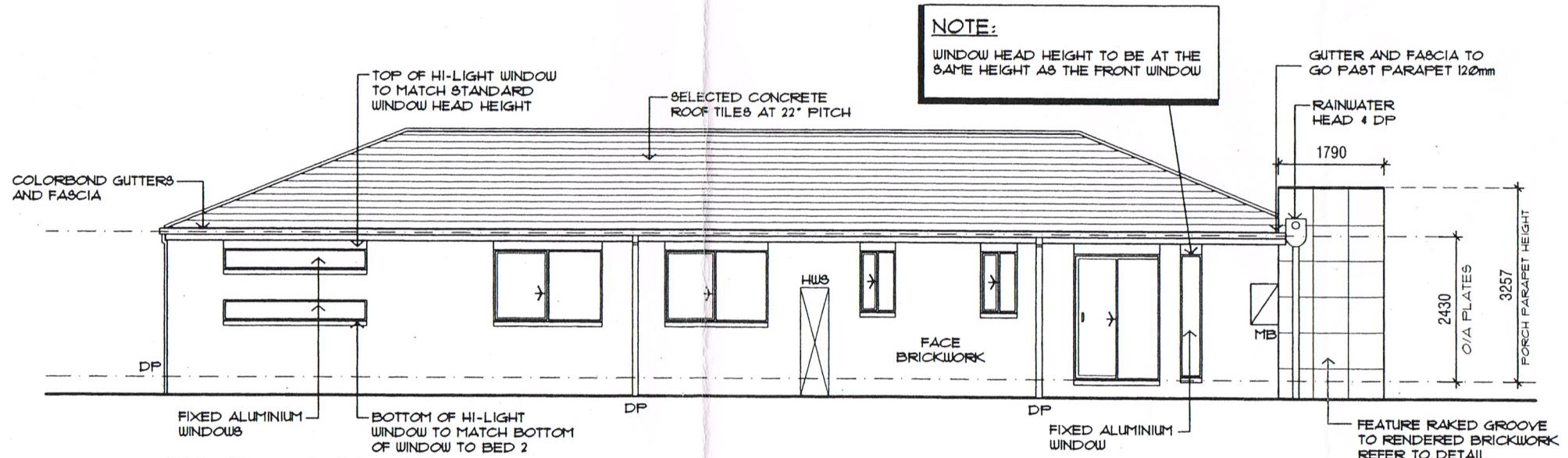


ELEVATION C



FOR SOIL CLASSIFICATION REFER TO ENGS SOIL REPORT

SECTION X-X



ELEVATION D

NOTE:
BRICKWORK 5mm MIN
CLEARANCE TO ALL
BRICK WINDOW SILLS

NOTE:
PROVIDE INFILLS ABOVE ALL
WINDOWS AND DOORS UNLESS
OTHERWISE STATED

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Devine Homes Pty Ltd
ACN 010 798 384
5TH FLOOR, 88 COVENTRY STREET
MELBOURNE
TELEPHONE: 03 9531 0200, FAX: 03 9531 0200

NATIONAL DESIGN
OFFICE

THIS IS THE PLAN
REFERRED TO IN THE
CONTRACT DATED
OWNER: *[Signature]*

DRAWING TITLE: ELEVATIONS & SECTION
FOR: D. A. & G. V. Taylor
AT: Lot 1181 Young Street,
PAKENHAM

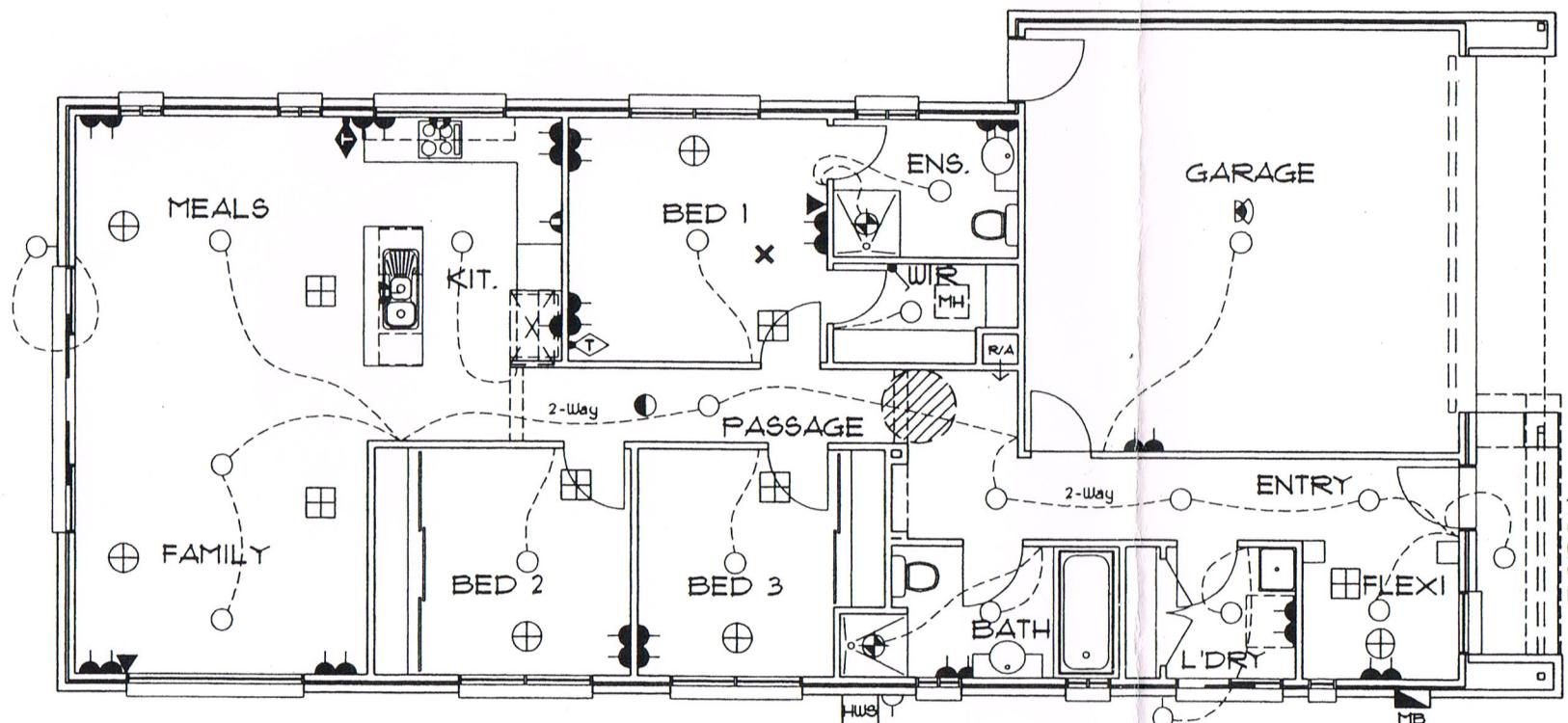
VIC	MODEL: RH COMO 110	FAÇADE: STUDIO S3	COLLECTION: (WPS)
SCALE: 1:100	AREA		REVISION:
DRAIN: ALL	LIVING: 26.16m ²		
DATE: 22/04/10	GARAGE: 37.93m ²		
JOB NO: 211115	PORCH: 4.36m ²		
REV: 24/11/09	OUTDOOR LIVING:		
MAP REF: 317 G4	TOTAL: 169.05m ²		
			SHEET: 03 OF 10

EVAP COOLING LEGEND

- ↗ ↗ EVAPORATE COOLING UNIT LOCATION
- ↖ ↘
- ↔ EVAPORATE COOLING VENT LOCATION

ELECTRICAL LEGEND

- GPO's**
- SINGLE GPO
 - DOUBLE GPO
 - EXTERNAL WEATHER PROOF SINGLE GPO
 - EXTERNAL WEATHER PROOF DOUBLE GPO
- HEIGHTS OF GPO's**
- GENERAL - 200mm ABOVE FFL.
 - KITCHEN - 1000mm ABOVE FFL.
 - FRIDGE LOCATION - 1100mm ABOVE FFL.
 - BATH/EN'S - 1100mm ABOVE FFL.
 - LAUNDRY - 1100mm ABOVE FFL.
 - EXTERNAL W/PROOF - 600mm ABOVE FFL.
 - GARAGE GENERAL - 1100mm ABOVE FFL.
 - 8G.P.O. 600mm ABOVE FFL.
FOR DISHWASHER SPACE
 - 8G.P.O. 1600mm ABOVE FFL. FOR RANGEHOOD AND MICROWAVE SPACE IN WALL OVEN TOWER
 - GARAGE REMOTE ROLLER DOOR- LOCATE ON WALL 1800 AFFL
 - GARAGE REMOTE PANEL DOOR - LOCATE ON CEILING 3300mm FROM DOOR OPENING LINTEL
4 200mm OFF DOOR CENTRE.
- HEIGHTS OF LIGHT SWITCHES**
- LIGHT SWITCH - 1100mm ABOVE FFL.
 - ▲ TELEVISION POINT - 200mm ABOVE FFL.
 - LIGHT SWITCH FOR HEATING UNIT 1500mm ABOVE FFL. WITHIN CLOSE PROXIMITY OF MANHOLE
 - SEALED EXHAUST FAN
 - LOW VOLTAGE DOWNLIGHT
 - CEILING MOUNTED LIGHT
 - WALL MOUNTED LIGHT - 1800mm AFFL
 - TELEPHONE POINT - 1200mm AFFL
 - TELEPHONE POINT - 200mm AFFL
 - METER BOX
 - SMOKE DETECTOR
 - ROOF MOUNTED SOLAR PANEL
 - DUCTED HEATING VENT LOCATION
 - MAN HOLE
- R/A RETURN AIR FOR DUCTED HEATING
- DUCTED HEATING UNIT
TO BE LOCATED IN CEILING ABOVE PASSAGE
- PROVIDE POWER POINT, GAS POINT & LIGHT POINT IN CEILING FOR DUCTED HEATING UNIT



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Devine Homes Pty Ltd
ACN 010 798 384
GPO BOX 100 COVENTRY STREET
6TH FLOOR, MELBOURNE
TELEPHONE: 03 9593 3100, FAX: 03 9593 3100

NATIONAL DESIGN
OFFICE

THIS IS THE PLAN
REFERRED TO IN THE
CONTRACT, DATED

OWNER

DRAWING TITLE

FOR: D. A. & G. V. Taylor

AT: Lot 1181 Young Street,
PAKENHAM

ELECTRICAL PLAN

VIC MODEL: LRH COMO 110

FAÇADE: STUDIO S3

COLLECTION:
(WPS)

SCALE: 1:100

DRAWN: AW

DATE: 22.04.10

JOB No: 211115

MREV: 24.11.09

MAP REF: 311 G4

AREA

LIVING:

GARAGE:

PORCH:

OUTDOOR LIVING:

TOTAL:

126.16m²

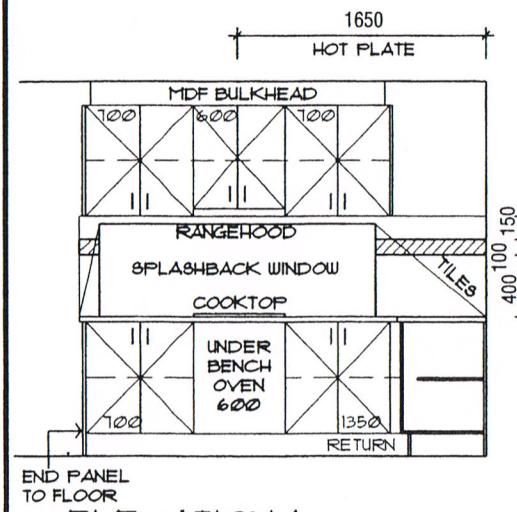
37.93m²

43.6m²

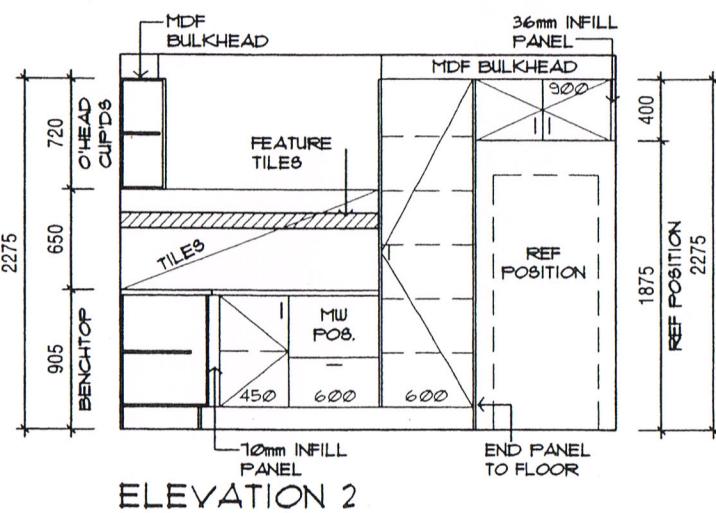
169.05m²

REVISION:

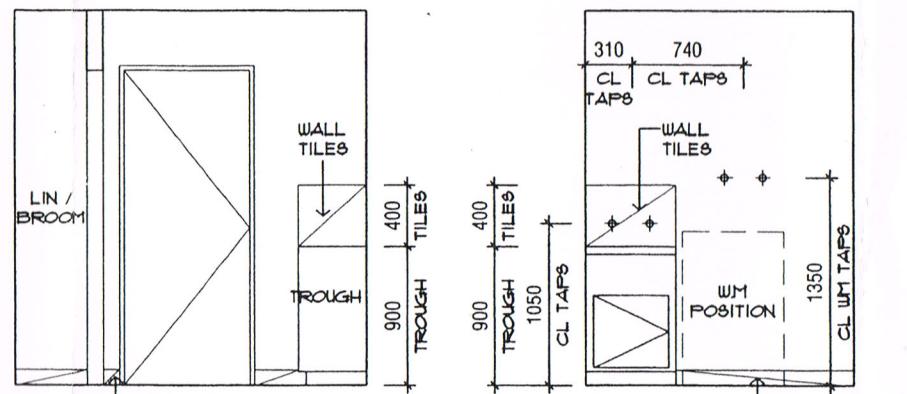
SHEET: 04 OF 10



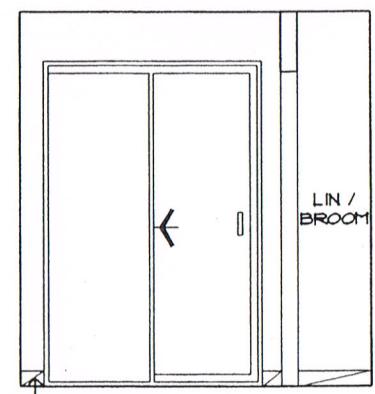
ELEVATION 1



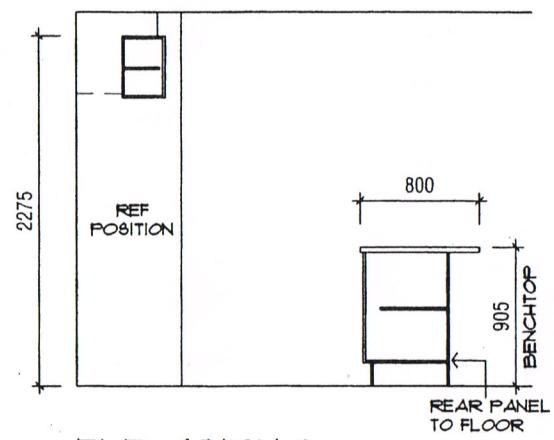
ELEVATION 2



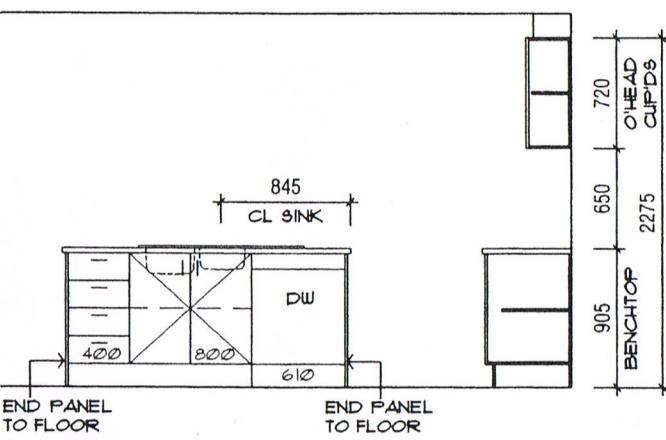
SKIRTING HELD
ELEVATION 1



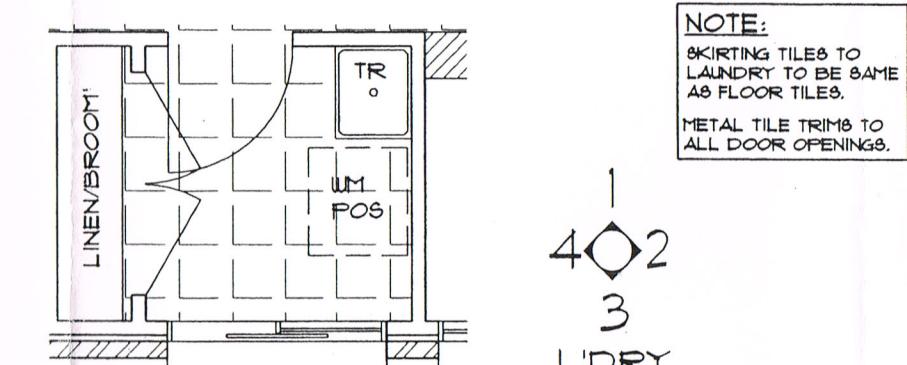
SKIRTING TILES
ELEVATION 3



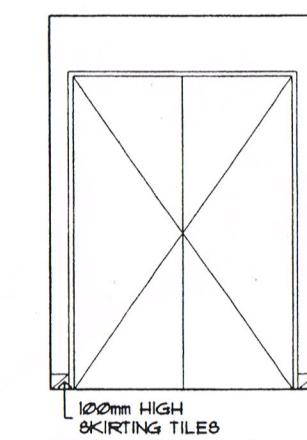
ELEVATION 3



ELEVATION 4

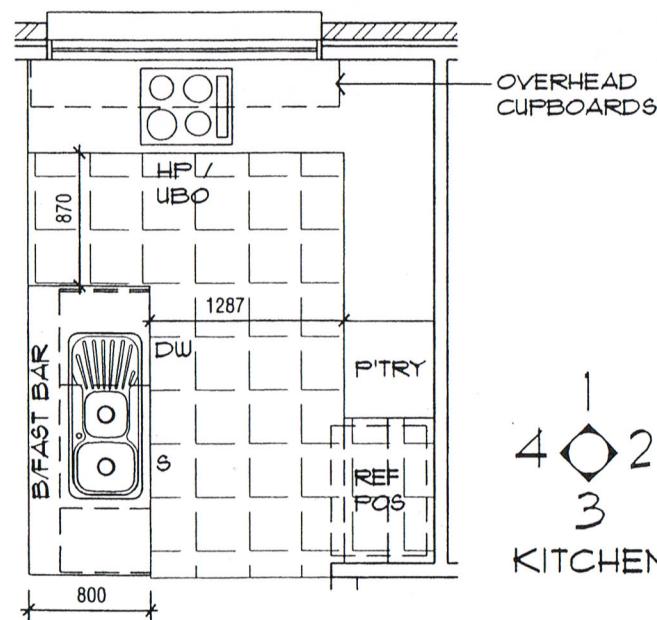


LAUNDRY FLOOR PLAN



SKETCHING NOTES
ELEVATION 4

CAKE TEA



KITCHEN FLOOR PLAN



Devine Homes Pty Ltd
A.C.N. 010 798 384,
GPO BOX 300 COVENTRY STREET,
8TH FLOOR, MELBOURNE
TELEPHONE: 8699 3100. FAX: 8699 3188



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THIS IS THE PLAN
REFERRED TO IN THE
CONTRACT DATED 1/1/1985

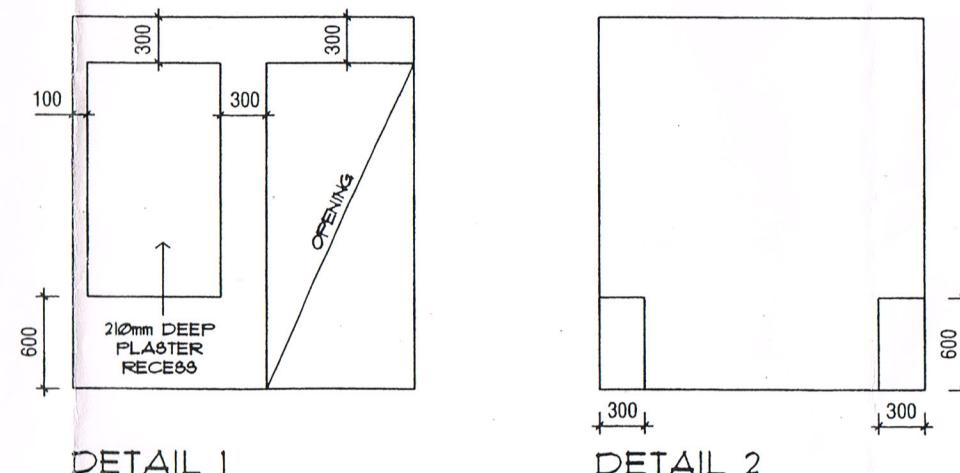
OWNER John

DRAWING TITLE

FOR: D. A. & G. V. Tayl

AT: Lot 1181 Young Street,
BAKERSFIELD

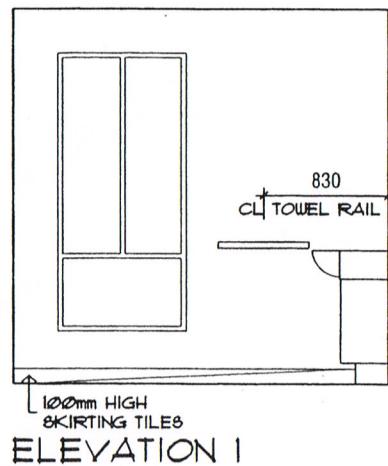
INTERNAL DETAILS



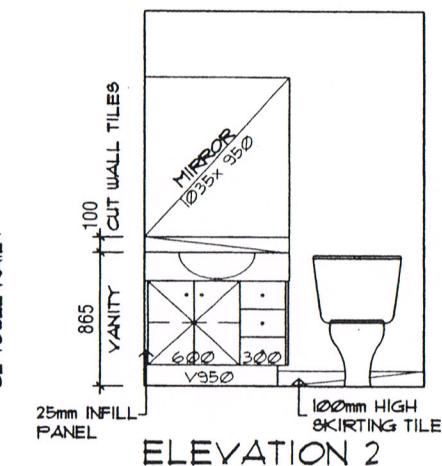
DETAIL

DETAIL 2

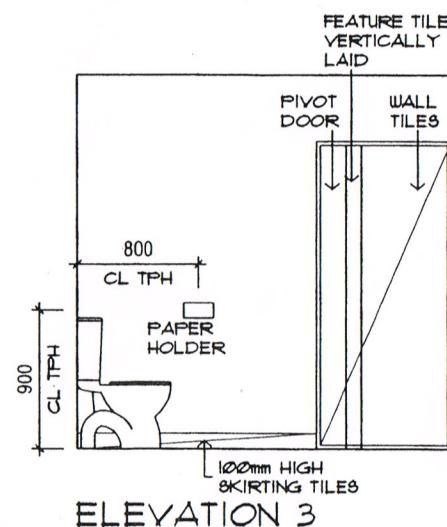
VIC	MODEL: RH COMO 110	FAÇADE: STUDIO S3	COLLECTION: (WPS)
SCALE 1:50	AREA		REVISION:
DRAWN: AW	LIVING:	126.76m ²	
DATE: 22.04.10	GARAGE:	37.93m ²	
JOB No: 211115	PORCH:	4.36m ²	
M/REV: 24.11.09	OUTDOOR LIVING:		
MAP REF: 311 G4	TOTAL:	169.05m ²	SHEET: 05 OF 10



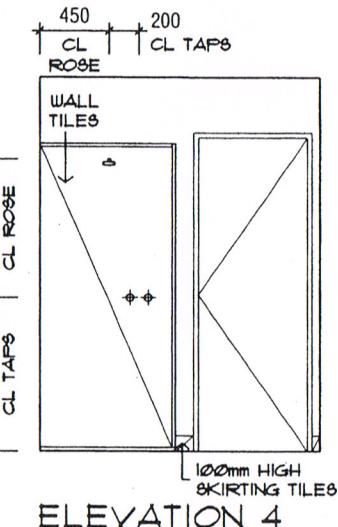
ELEVATION 1



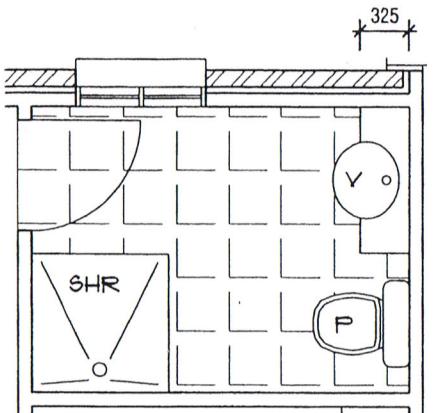
ELEVATION 2



ELEVATION 3



ELEVATION 4



1
4
2
3
ENSUITE

NOTE:
SKIRTING TILES TO ENSUITE TO
BE SAME AS FLOOR TILES.
METAL TILE TRIM TO
ALL DOOR OPENINGS.

ENSUITE FLOOR PLAN

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Devine Homes Pty Ltd
ACN 010 198 384
GPO BOX 88 COVENTRY STREET
8TH FLOOR
TELEPHONE: 03 99 3100, FAX: 03 99 3100

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OWNER

DRAWING TITLE

FOR: D. A. & G. V. Taylor
AT: Lot 1181 Young Street,
PAKENHAM

WET AREA DETAILS

VIC MODEL: RH COMO 110
SCALE: 1:50

DRAWN: AW AREA

DATE: 22.04.10 LIVING: 126.16m²

JOB No: 211115 GARAGE: 31.93m²

M/REV: 24.11.09 PORCH: 4.36m²

MAP REF: 317 G4 OUTDOOR LIVING:

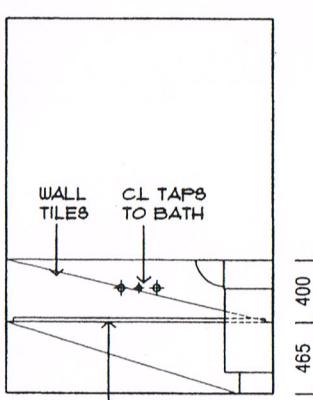
FACADE: STUDIO S3

TOTAL:

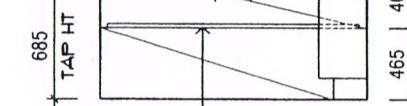
169.05m²

COLLECTION:
(WPS)

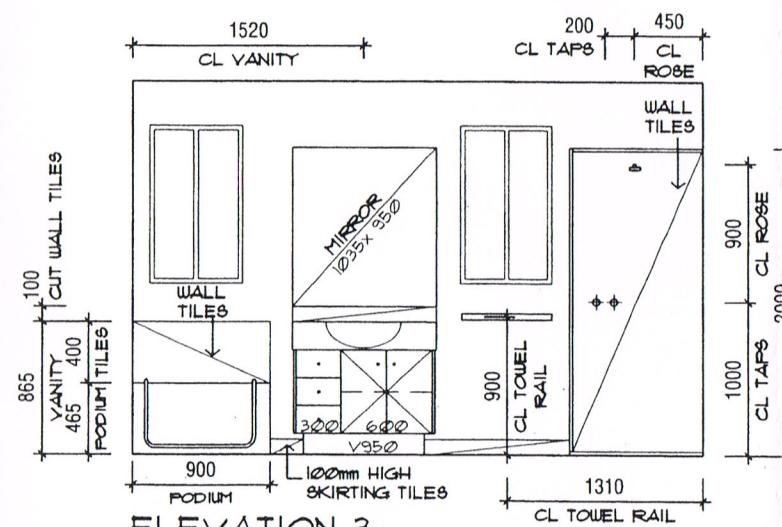
REVISION:



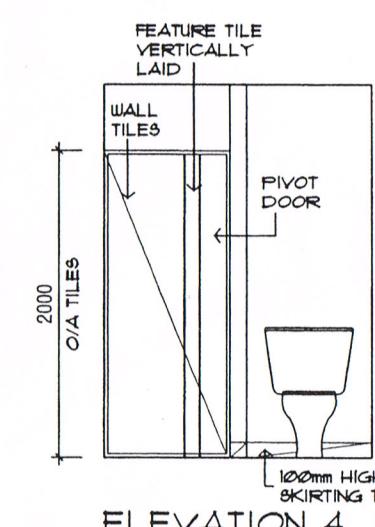
ELEVATION 1



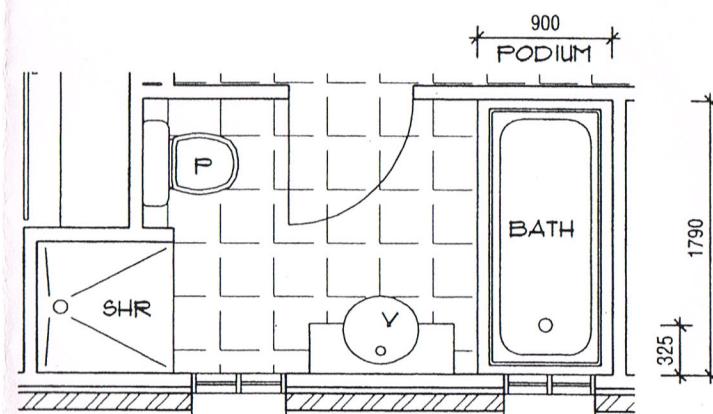
ELEVATION 2



ELEVATION 3



ELEVATION 4



NOTE:
SKIRTING TILES TO BATHROOM
TO BE SAME AS FLOOR TILES.
METAL TILE TRIM TO
ALL DOOR OPENINGS.

1
4
2
3
BATHROOM

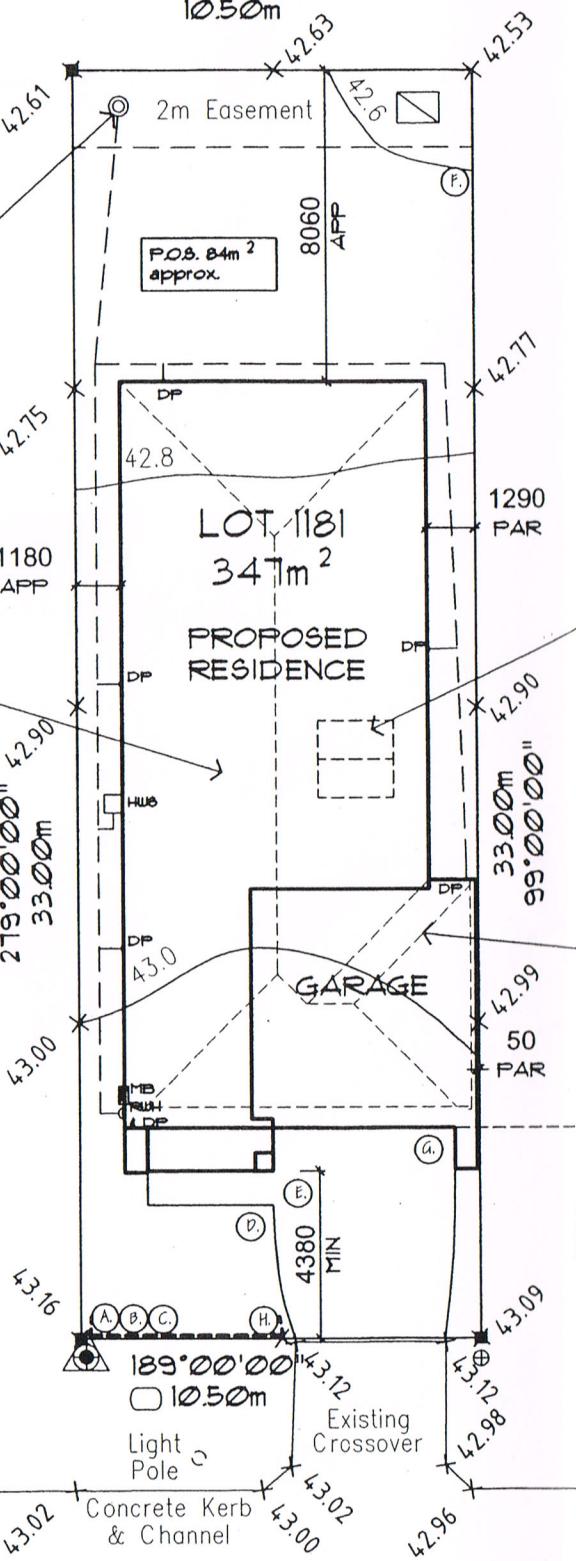
BATHROOM FLOOR PLAN

CARAMEL TEA

06 OF 10

(VACANT LAND)
(AS @ 07/04/10)

9°00'00"
10.50m



LOT 1180
(VACANT LAND)
(AS @ 07/04/10)

GARAGE:
SITE SCRAPE OVER GARAGE AREA
TO REDUCE FALL TO RL. 42.814

NOTE:
DRIVEWAY AND CROSSOVER
MUST BE CONSTRUCTED PRIOR
TO OCCUPATION

SITE PLAN

VIC: RH: COMO 170

FACADE: STUDIO S3

COLLECTION:
(WPS)

REVISION:

SCALE: 1:200	AREA
DRAWN: AW	LIVING: 126.76m²
DATE: 22.04.10	GARAGE: 31.93m²
JOB No: 211115	PORCH: 4.36m²
MREV: 24.11.09	OUTDOOR LIVING:
MAP REF: 311 G4	TOTAL: 169.05m²

GENERAL NOTES:

- GRADE A SAFETY GLASS (AS PER TABLE 5.1 A.8.1208-) TO BATH ROOM WINDOW, ENSUITE WINDOW, EXTERNAL GLASS SLIDING DOOR, SIDE PANEL AND GLAZING LESS THAN 500mm ABOVE FLOOR.
- CONCRETE SLAB TO HAVE A FINISHED FREEBOARD AS INDICATED ON SOIL REPORT.
- EXIT STEPS: TREADS TO BE MIN250mm; RISERS TO BE MAX190mm.
- WATERPROOFING OF ALL WET AREA'S TO BE IN ACCORDANCE WITH THE B.C.A. 3.B.1 AND A8.3140.
- TERMITIC SPRAY IN ACCORDANCE WITH A.8.3660.
- EXCAVATION BATTERS - 30 Deg - SAND/LOAM, 45 Deg - CLAY.
- INSULATION (THERMAL) AS PER PART F6 B.C.A/VIC)
 - CEILING - R2.5 INSULATION BATT'S
 - WALLS - R1.5 INSULATION BATT'S (WITH FOIL BIBALATION)
- CONTROL JOINTS TO BE CONSTRUCTED IN ACCORDANCE WITH RECOMMENDATIONS OF SITE AND SOIL INVESTIGATION.
- SMOKE DETECTORS TO COMPLY WITH AUSTRALIAN STANDARDS.
- ↑ - GRADE SURFACE AWAY FROM HOUSE FOOTINGS WITH A FALL OF NOT LESS THAN 50mm OVER THE FIRST METER.
- - GRATED INLET PIT/ GILT TRAP CONNECTED TO STORMWATER SYSTEM DIRECTED TO LEGAL POINT OF DISCHARGE
- - - PROVIDE AGRICULTURAL DRAIN OR SIMILAR AT BASE OF CUT GRADED TO GILT TRAP AT 1:100 MIN. DRAINS SHALL BE PROTECTED BY GRAVEL FILTERS.
- STORMWATER DRAINS ARE INDICATIVE ONLY DRAINER TO CONNECT TO LEGAL POINT OF DISCHARGE AT THEIR DISCRETION.
- THE BUILDER RESERVES THE RIGHT TO ADJUST CUT NOMINATED LEVELS ON SITE IF HE DEEMS NECESSARY IN ACCORDANCE WITH SITE CONDITIONS.
- CROSSOVER TO BE ADJUSTED TO ALIGN WITH CONC DRIVE BY CLIENT AFTER HANDOVER AT THEIR EXPENSE IF REQUIRED. THIS IS TO BE DONE ASAP, IN CASE OF POSSIBLE GROUND SHRINKAGE / SWELLING.
- AROUND SLAB REFILLING TO BE COMPAKTED AND GRADED AWAY FROM HOME TO PREVENT PONDING AROUND FOOTINGS.

LEGEND

- (A) CHEMICAL TOILET
- (B) PAPER WASTE CAGE
- (C) TIMBER WASTE
- (D) PLASTER OFFCUTS
- (E) ROOF TILE WASTE
- (F) 10 - 15M SOIL
- (G) BRICK SAND
- (H) GEOTEXTILE FILTER

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Homes

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REFERRED TO IN THE
CONTRACT DATED

OWNER

DRAWING TITLE

FOR: D. A. & G. V. Taylor

AT: Lot 1181 Young Street,

PAKENHAM

Devine Homes Pty Ltd
ACN 010 198 384
GND FLR, 88 COVENTRY STREET,
8TH, MELBOURNE
TELEPHONE: 03 99 3100, FAX: 03 99 3100

NATIONAL DESIGN

OFFICE

OWNER

OWNER

1

1

1

1

09 OF 10

LANDSCAPING NOTE:

LANDSCAPING LAYOUT PROVIDED IS INDICATIVE ONLY, AND SUBJECT TO CHANGES AT THE DISCRETION OF THE LANDSCAPER & MAY VARY TO BEST SUIT SITE CONDITIONS

(VACANT LAND)
(AS @ 07/04/10)

9'00'00"
10.50m

CLOTHESLINE FROM
STANDARD BUILDERS
RANGE

CHILDREN'S PLAY AREA
WITH SOFTFALL MULCH AND
JARRAH EDGING.

MGA ZONE 55

LOT 1181
347m²

PROPOSED
RESIDENCE

219'00'00" 33.00m
33.00m 99'00'00"

GARAGE

189'00'00"
10.50m
Light
Pole
Concrete Kerb
& Channe.

YOUNG STREET

NOTE:
SITE SCALE 1:200

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OWNER D. A. & G. V. Taylor

DRAWING TITLE

FOR: D. A. & G. V. Taylor

AT: Lot 1181 Young Street,

PAKENHAM

LANDSCAPE PLAN

VIC

MODEL:
RH COMO 170

FACADE:
STUDIO S3

COLLECTION:
(WPS)

SCALE 1:200

AREA

DRAWN: AW

LIVING: 126.76m²

DATE: 22.04.10

GARAGE: 31.93m²

JOB No: 211115

PORCH: 4.36m²

OUTDOOR LIVING

M/REV: 24.11.09

MAP REF: 311 G4

TOTAL: 169.05m²

REVISION:

SHEET: 10 OF 10

