

ZONING SUMMARY

SUBJECT PROPERTY:

4430 9TH STREET, NW
WASHINGTON, D.C. 20011

LOT: 0000 SQUARE: 0000 ZONE: R-3

EXISTING USE: SINGLE FAMILY RESIDENTIAL / ROW DWELLING*
PROPOSED USE: SINGLE FAMILY RESIDENTIAL / ROW DWELLING*

*PER DEFINITION IN §199: "A ONE-FAMILY DWELLING HAVING NO SIDE YARDS."

MAXIMUM ALLOWABLE HEIGHT: 40 FT. / 3 STORIES
EXISTING HEIGHT: 22 FT. / 2 STORIES PLUS CELLAR
PROPOSED HEIGHT: 31 FT. / 3 STORIES PLUS CELLAR

MIN. REQUIRED LOT AREA: 2000 SQ. FT.
EXISTING LOT AREA: 1300 SQ. FT.
LOT IS SUB STANDARD IN REGARDS TO MIN. REQUIRED LOT AREAS

MIN. REQUIRED LOT WIDTH: 20 FT.
EXISTING LOT WIDTH: 20 FT.

MAX. PERCENTAGE OF LOT OCCUPANCY: 60% / 780 SQ. FT.
EXISTING LOT OCCUPANCY: 60% / 780 SQ. FT.
PROPOSED LOT OCCUPANCY: 70% / 910 SQ. FT.
REQUESTING SPECIAL EXCEPTION PER §223

MIN. REQUIRED REAR YARD: 20 FT.
EXISTING REAR YARD: 26 FT. +/-
PROPOSED REAR YARD AT ADDITION: 18 FT.
REQUESTING SPECIAL EXCEPTION PER §223

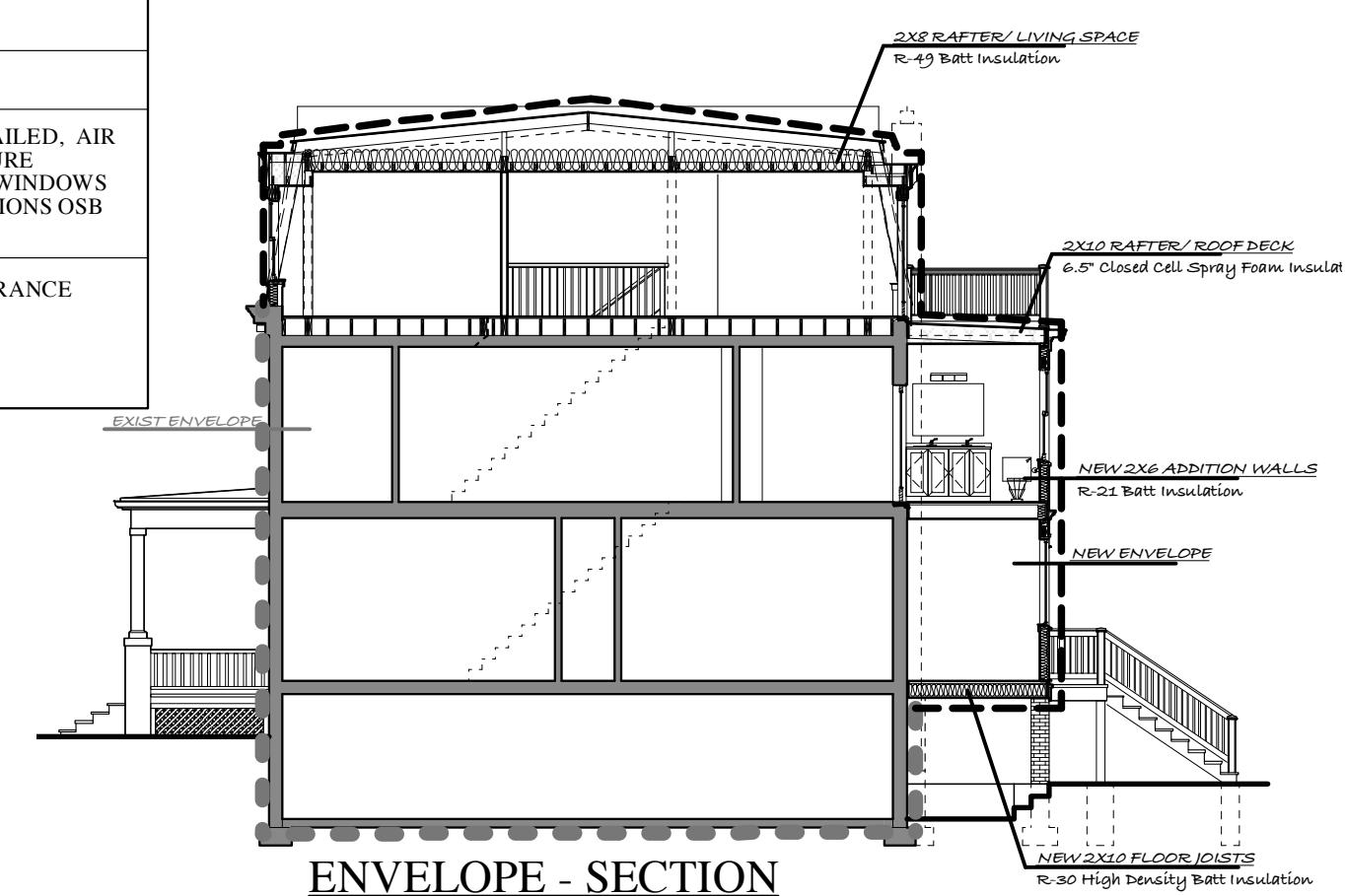
PREVIOUS SURFACE MINIMUM REQUIREMENTS: 20% / 260 SQ. FT.
PROPOSED PREVIOUS SURFACE AREA: 30% / 390 SQ. FT.**

**BASED ON AN INCREASED LOT OCCUPANCY OF TEN PERCENT OR MORE, PER §412.1.

SPECIAL EXCEPTION APPROVED, SEE ATTACHED BZA APPROVAL ON SHEET A-0a.

ENERGY CONSERVATION

BUILDING ENVELOPE				
CRITERIA	REQUIRED	PROVIDED	ASSEMBLY	DESCRIPTION
WINDOWS	U FACTOR	0.35	T.B.D.	T.B.D.
DOORS	U FACTOR	0.35	T.B.D.	T.B.D.
ROOFS/CEILINGS	R-VALUE	R-49	R-38 ₁	2X8 RAFTERS
			R-38 ₂	2X8 RAFTERS @ EAVES
WALLS (WOOD FRAMING)	R-20 OR R-13+5	R-21	2X6 FRAME WALLS	
MASS WALLS	R-8/13	N/A	N/A	
BASEMENT WALLS	R-10/13	N/A	N/A	
FLOORS	R-19	R-30	2X10 FLOOR JOISTS	
SLAB PERIMETER R-VALUE & DEPTH	R-10, 2FT	N/A	N/A	
CRAWL SPACE	R-10/13	N/A	N/A	
INFILTRATION	ALL EXTERIOR JOINTS SHALL HAVE A HIGH QUALITY DETAILED, AIR SEALING APPLIED TO INCLUDE BUT NOT LIMITED TO PICTURE FRAMING STUDS, BOTTOM PLATES, TOP PLATES, AROUND WINDOWS AND DOORS, EXHAUST PENETRATIONS, WIRING PENETRATIONS OSB GAPS, RIM JOISTS, AND NAIL-HOLES			
1. R-38 OR R-38C (10 1/4" HIGH DENSITY BATT) AT ATTIC AS ALLOWED BY EXISTING CLEARANCE 2. 6 1/2" CLOSED CELL SPRAY FOAM (R38) ABOVE TOP PLATES AT EAVE SEE PROJECT SPECIFICATIONS, DIVISION 7: THERMAL AND MOISTURE PROTECTION FOR ADDITIONAL ENERGY CONSERVATION REQUIREMENTS				



CODE SUMMARY

ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE 2012 INTERNATIONAL RESIDENTIAL CODE (IRC 2012), INCLUDING ALL APPLICABLE DISTRICT OF COLUMBIA AMENDMENTS & SUPPLEMENTS. WHERE CODE INFORMATION OR REQUIREMENTS ARE INDICATED IN THE DRAWINGS AND SPECS, THIS IS FOR CONVENIENCE ONLY. IT IS NOT INTENDED AS A SUBSTITUTE FOR THE CODE AND ALL ITS PROVISIONS, FOR WHICH THE CONTRACTOR IS RESPONSIBLE TO COMPLY WITH.

CONSTRUCTION SHALL CONFORM TO ALL OTHER APPLICABLE LOCAL, STATE AND NATIONAL CODES, STANDARDS AND ORDINANCES.

INDEX OF DRAWINGS

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- I-1 INTERIOR ELEVATIONS

* NOT PROVIDED IN THIS SET

GENERAL NOTES

1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE WORK OF ALL SUBCONTRACTORS AS REQUIRED TO COMPLETE THE WORK, AND SHALL VERIFY THAT ALL WORK IS DONE TO THE HIGHEST DEGREE OF CRAFTSMANSHIP BY JOURNEYMAN OF THE RESPECTIVE TRADES.

2) THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, AND SHALL WORK TO CRITICAL ALIGNMENTS AS INDICATED ON THE DRAWINGS, AND SHALL NOT SCALE THE DRAWINGS FOR MEASUREMENTS.

3) IF ANY DISCREPANCIES IN DIMENSIONS OR CONDITIONS ARE FOUND, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH THAT PORTION OF THE WORK.

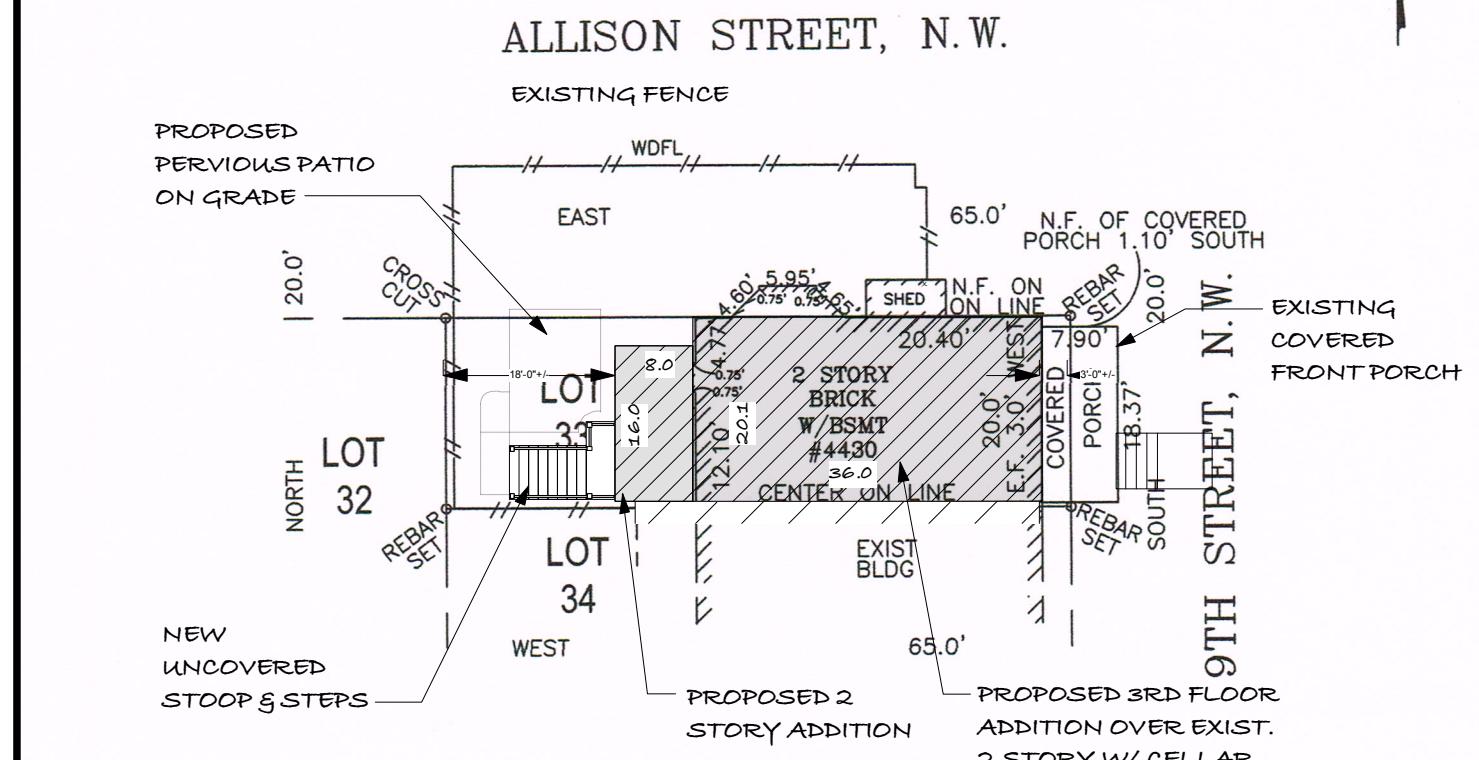
4) THE CONTRACTOR SHALL MAINTAIN THE SITE CLEAN AND FREE OF DEBRIS. THE CONTRACTOR SHALL MAINTAIN THE SITE AND JOB CONDITIONS IN SUCH A MANNER AS TO PROTECT FROM INJURY ALL PERSONS AND PROPERTY.

5) ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED BY THE CONTRACTOR PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF THESE UTILITIES.

6) PROVIDE FOR THE DEMOLITION OF ALL EXISTING ITEMS WHICH WILL INTERFERE WITH THE WORK. PROVIDE MECHANICAL, ELECTRICAL AND PLUMBING DEMOLITION AS MAY BE REQUIRED.

7) PROVIDE BRACING AND SHORING AS REQUIRED TO PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE, AS WELL AS TO PROTECT PERSONS AND PROPERTY. VERIFY ALL BEARING CONDITIONS PRIOR TO BEGINNING DEMOLITION.

ADDRESS: 4430 9TH STREET NW
WASHINGTON, DC



I HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY SHOWN HEREON FOR THE PURPOSE OF LOCATING OR ESTABLISHING PROPERTY BOUNDARIES AS SHOWN. EXACT PROPERTY CORNERS HAVE BEEN ESTABLISHED OR SET, UNLESS OTHERWISE NOTED. NO TITLE REPORT FURNISHED.

CURRIE AND ASSOCIATES
CONSULTING
ENGINEERS, SURVEYORS AND PLANNERS
3331 TOLEDO TERRACE, SUITE 105, HYATTSVILLE MD 20782
TEL: (301) 559-0100 FAX: (301) 559-1700
EMAIL: TCCURRIE@AOL.COM

BOUNDARY SURVEY
LOT 33 SQUARE 3020
WASHINGTON

DISTRICT OF COLUMBIA
SCALE: 1" = 20'
DATE: 9-19-14

SITE PLAN

FROM BOUNDARY SURVEY BY:
CURRIE & ASSOCIATES CONSULTING ENGINEERS, SURVEYORS AND PLANNERS, 10/07/14
WITH SUPPLEMENTAL INFORMATION BY: AHMANN LLC



Application No. 18936 of Brandon and Emily Gallas, pursuant to 11 DCMR § 3104.1, for a special exception under § 223, not meeting the lot occupancy requirements (§ 403.2), and the rear yard requirements (§ 401.1) to allow the construction of a two-story rear addition to an existing single-family dwelling in the R-3 District at premises 4430 9th Street, N.W. (Square 3020, Lot 33).

HEARING DATE: Applicant waived right to a public hearing
DECISION DATE: January 27, 2015 (Expedited Review Calendar).

SUMMARY ORDER

SELF-CERTIFIED

The zoning relief requested in this case was self-certified, pursuant to 11 DCMR § 3113.2. (Exhibit 4.)

Pursuant to 11 DCMR § 3118, this application was tentatively placed on the Board of Zoning Adjustment ("Board") expedited review calendar for decision without hearing as a result of the applicant's waiver of its right to a hearing.

The Board of Zoning Adjustment (the "Board") provided proper and timely notice of the public hearing on this application by publication in the *D.C. Register* and by mail to Advisory Neighborhood Commission ("ANC") 4C, and to owners of property within 200 feet of the site. The site of this application is located within the jurisdiction of ANC 4C, which is automatically a party to this application. ANC 4C did not file a formal report; however, the Applicant and the Office of Planning ("OP"), in their reports, stated that the ANC at a regularly scheduled and properly noticed meeting on October 8, 2014, at which a quorum was in attendance, voted to support the application. (Exhibits 30 and 31.) The OP submitted a timely report and testified at the hearing in support of the application. (Exhibit 31.) The District Department of Transportation ("DDOT") submitted a report expressing no objection to the application. (Exhibit 32.) Thirteen letters were submitted in support of the application. (Exhibit 30.)

No objections to expedited calendar consideration were made by any person or entity entitled to do by §§ 2118.6 and 2118.7. The matter was therefore called on the Board's expedited calendar for the date referenced above and the Board voted to grant the application.

As directed by 11 DCMR § 3119.2, the Board has required the Applicant to satisfy the burden of proving the elements that are necessary to establish the case pursuant to § 3104.1, for a special exception under §§ 223, 403.2, and 404.1. No parties appeared at the public meeting in

441 4th Street, N.W., Suite 200-S, Washington, D.C. 20001
Telephone: (202) 727-6311 E-Mail Address: dcxz@dc.gov Web Site: www.dczx.dc.gov

BZA APPLICATION NO. 18936 PAGE NO. 2

opposition to this application. Accordingly, a decision by the Board to grant this application would not be adverse to any party.

Based upon the record before the Board and having given great weight to the OP report, the Board concludes that the Applicant has met the burden of proof, pursuant to 11 DCMR §§ 3104.1, 223, 403.2, and 404.1, that the requested relief can be granted as being in harmony with the general purpose and intent of the Zoning Regulations and Map. The Board further concludes that granting the requested relief will not tend to affect adversely the use of neighboring property in accordance with the Zoning Regulations and Map.

Pursuant to 11 DCMR § 3100.5, the Board has determined to waive the requirement of 11 DCMR § 3125.3, that the order of the Board be accompanied by findings of fact and conclusions of law. The waiver will not prejudice the rights of any party and is appropriate in this case. It is therefore **ORDERED** that this application is hereby **GRANTED, SUBJECT TO THE APPROVED PLANS IN THE RECORD AT EXHIBITS 8, 9, AND 30.**

VOTE: 4-0-1 (Lloyd J. Jordan, Marnique Y. Heath, Jeffrey L. Hinkle, and Peter G. May to APPROVE; S. Kathryn Allen, not present, not voting).

BY ORDER OF THE D.C. BOARD OF ZONING ADJUSTMENT
A majority of the Board members approved the issuance of this order.

ATTESTED BY:
SARAH A. BARDIN
Director, Office of Zoning

FINAL DATE OF ORDER: January 30, 2015

PURSUANT TO 11 DCMR § 3125.9, NO ORDER OF THE BOARD SHALL TAKE EFFECT UNTIL TEN (10) DAYS AFTER IT BECOMES FINAL PURSUANT TO § 3125.6.

PURSUANT TO 11 DCMR § 3130, THIS ORDER SHALL NOT BE VALID FOR MORE THAN TWO YEARS AFTER IT BECOMES EFFECTIVE UNLESS, WITHIN SUCH TWO-YEAR PERIOD, THE APPLICANT FILES PLANS FOR THE PROPOSED STRUCTURE WITH THE DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS FOR THE PURPOSE OF SECURING A BUILDING PERMIT, OR THE APPLICANT FILES A REQUEST FOR A TIME EXTENSION PURSUANT TO § 3130.6 AT LEAST 30 DAYS PRIOR TO THE EXPIRATION OF THE TWO-YEAR PERIOD AND THAT SUCH REQUEST IS GRANTED. NO OTHER ACTION, INCLUDING THE FILING OR GRANTING OF AN APPLICATION FOR A MODIFICATION PURSUANT TO §§ 3129.2 OR 3129.7, SHALL EXTEND THE TIME PERIOD.

PURSUANT TO 11 DCMR § 3125, APPROVAL OF AN APPLICATION SHALL INCLUDE APPROVAL OF THE PLANS SUBMITTED WITH THE APPLICATION FOR THE

BZA APPLICATION NO. 18936 PAGE NO. 3

CONSTRUCTION OF A BUILDING OR STRUCTURE (OR ADDITION THERETO) OR THE RENOVATION OR ALTERATION OF AN EXISTING BUILDING OR STRUCTURE. AN APPLICANT SHALL CARRY OUT THE CONSTRUCTION, RENOVATION, OR ALTERATION ONLY IN ACCORDANCE WITH THE PLANS APPROVED BY THE BOARD AS THE SAME MAY BE AMENDED AND/OR MODIFIED FROM TIME TO TIME BY THE BOARD OF ZONING ADJUSTMENT.

IN ACCORDANCE WITH THE D.C. HUMAN RIGHTS ACT OF 1977, AS AMENDED, D.C. OFFICIAL CODE § 2-1401.01 *ET SEQ.* (ACT), THE DISTRICT OF COLUMBIA DOES NOT DISCRIMINATE ON THE BASIS OF ACTUAL OR PERCEIVED RACE, COLOR, RELIGION, NATIONAL ORIGIN, SEX, AGE, MARITAL STATUS, PERSONAL APPEARANCE, SEXUAL ORIENTATION, GENDER IDENTITY OR EXPRESSION, FAMILIAL STATUS, FAMILY RESPONSIBILITIES, MATRICULATION, POLITICAL AFFILIATION, GENETIC INFORMATION, DISABILITY, SOURCE OF INCOME, OR PLACE OF RESIDENCE OR BUSINESS. SEXUAL HARASSMENT IS A FORM OF SEX DISCRIMINATION WHICH IS PROHIBITED BY THE ACT. IN ADDITION, HARASSMENT BASED ON ANY OF THE ABOVE PROTECTED CATEGORIES IS PROHIBITED BY THE ACT. DISCRIMINATION IN VIOLATION OF THE ACT WILL NOT BE TOLERATED. VIOLATORS WILL BE SUBJECT TO DISCIPLINARY ACTION.



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As Director of the Office of Zoning, I hereby certify and attest that on **January 30, 2015**, a copy of the order entered on that date in this matter was mailed first class, postage prepaid or delivered via inter-agency mail, or delivered by electronic mail in the case of those ANCs and SMDs that have opted to receive notices thusly, to each party and public agency who appeared and participated in the public hearing concerning the matter, and who is listed below:

Brandon and Emily Gallas
4430 9th Street, N.W.
Washington, D.C. 20009

Thomas Ahmann, Architect
4408 Beechwood Road
University Park, MD 20782

Chairperson
Advisory Neighborhood Commission 4C
P.O. Box 60847
Washington, D.C. 20039-0847

Single Member District Commissioner 4C07
Advisory Neighborhood Commission 4C
4215 8th Street, N.W. #2
Washington, D.C. 20011

Ward 4 Councilmember
(Vacant)
c/o Phil Mendelson, Chairman
Council of the District of Columbia
1350 Pennsylvania Avenue, N.W., Suite 504
Washington, D.C. 20004

441 4th Street, N.W., Suite 200/210-S, Washington, D.C. 20001
Telephone: (202) 727-6311 Facsimile: (202) 727-6072 E-Mail: dcxz@dc.gov Web Site: www.dczx.dc.gov

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Maximilian Tondro, Esq.
Acting General Counsel
Department of Consumer and Regulatory Affairs
1100 4th Street, S.W., 5th Floor
Washington, D.C. 20024

ATTESTED BY:
SARAH A. BARDIN
Director, Office of Zoning

BZA EXCEPTION LETTER

GALLAS RESIDENCE
ADDITION & RENOVATION
4430 9TH STREET, NW
WASHINGTON, DC 20011

4408 BEECHWOOD ROAD UNIVERSITY PARK, MARYLAND 20782

AHMANN LLC
ARCHITECTURAL SERVICES
PHONE 301 864 1334
FAX 301 864 6818

REVIEW ISSUE
14 APRIL 2015

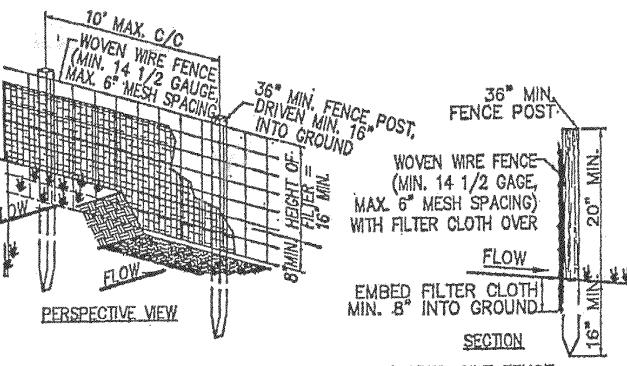
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Ahmann LLC
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BZA EXCEPTION APPROVAL

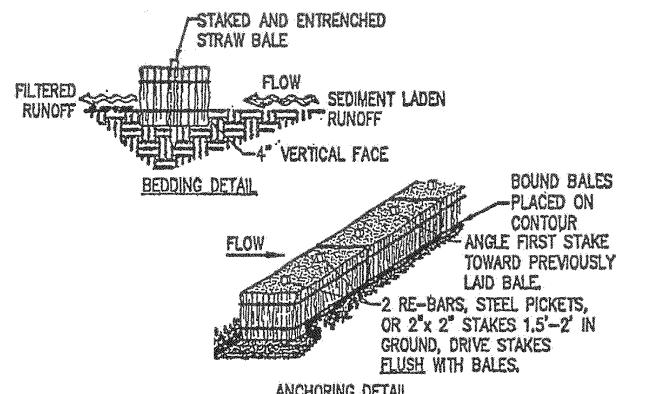
FROM BZA APPROVAL LETTER 30 JANUARY 2015
WITH APPROVED PLANS BY: AHMANN LLC

DISTRICT OF COLUMBIA EROSION & SEDIMENT CONTROL NOTES

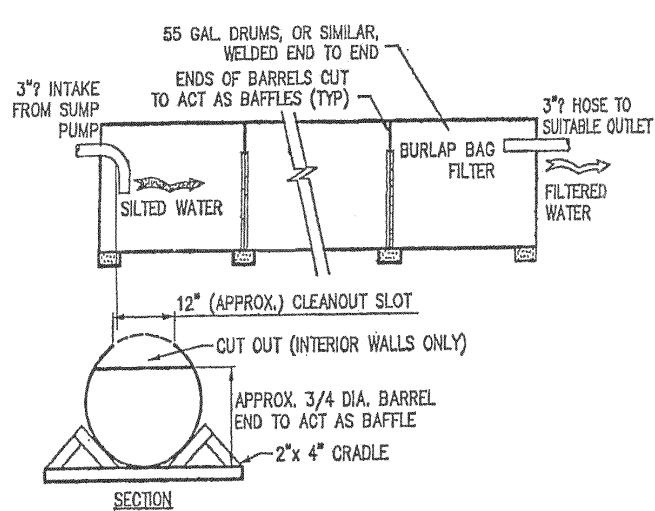


CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

1. WOVEN WIRE FENCE TO BE FASTENED POSTS SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIRES SPACED EVERY 24" AT THE TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED, OR APPROVED EQUAL.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
5. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
6. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE INTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
7. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

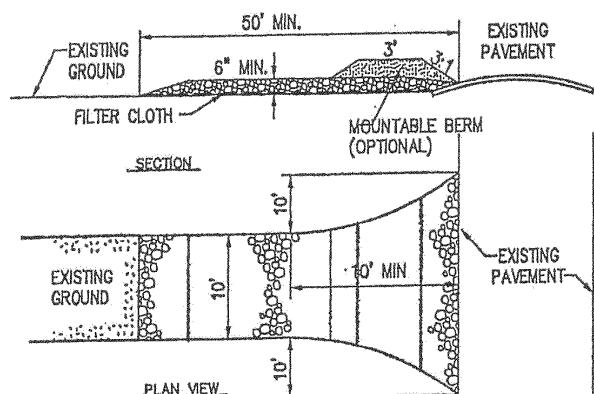


SILT FENCE (NO SCALE)



CONSTRUCTION NOTES

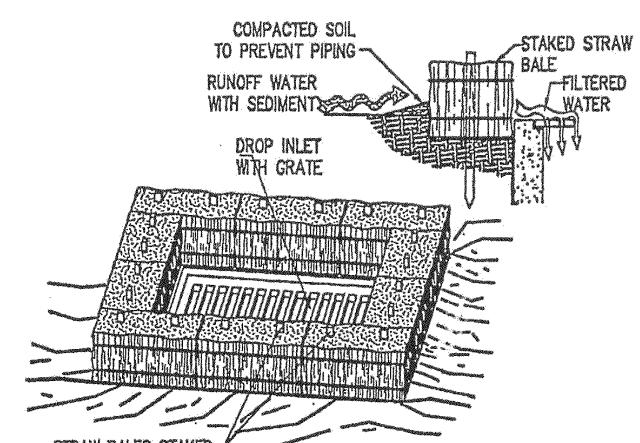
1. CLEAN OUT THE SEDIMENT TANK WHEN ONE THIRD (1/3) FILLED WITH SILT.
2. STEEL DRUMS ARE USED AS AN EXAMPLE DUE TO THEIR READY AVAILABILITY, ANY TANKS MAY BE USED, PROVIDING THAT THE VOLUME REQUIREMENTS FROM PAGE 20.01 ARE MET.
3. ALL SEDIMENT COLLECTED IN THE TANK SHALL BE DISPOSED OF IN A SEDIMENT TRAPPING DEVICE OR AS APPROVED BY THE INSPECTOR.
4. TANK STORAGE VOLUME REQUIRED = 18 CUBIC FOOT OF STORAGE FOR EACH GALLON PER MINUTE OF PUMP DISCHARGE CAPACITY. MULTIPLE TANKS MAY BE USED.



CONSTRUCTION RAMP SPECIFICATION

1. STONE SIZE- USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH- AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS- NOT LESS THAN SIX (6) INCHES.
4. WIDTH- TEN (10) FOOT MINIMUM, BUT NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS OCCURS.
5. FILTER CLOTH- WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER- ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL A MOUNTABLE BERM WITH 6:1 SLOPES WILL BE PERMITTED.

BURLAP DROP INLET SEDIMENT FILTER (NOT TO SCALE)



STRAW BAILE DROP INLET SEDIMENT FILTER (NOT TO SCALE)

SPECIFIC APPLICATION

THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPES NO GREATER THAN 5 PERCENT) WHERE SHEET OR OVERLAND FLOWS (NOT EXCEEDING 0.5 CFS) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIAN.

STANDARD AND SPECIFICATIONS FOR BRICKBAT GROUND COVER

DEFINITION

TEMPORARY GROUND COVER CONSISTING OF BROKEN BRICK (1/2 PIECE OR SMALLER) PLACED OVER DENUDED EARTH.

PURPOSE

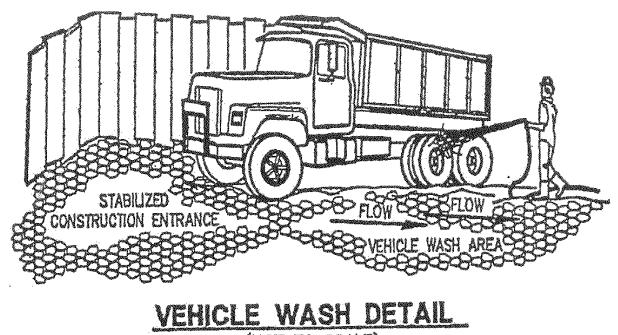
BRICKBATS PROVIDE A TEMPORARY GROUND COVER OVER DENUDED URBAN EARTH TO PREVENT THE TRANSPORTATION OF SEDIMENT FROM THE SITE.

CONDITIONS WHEN PRACTICE APPLIES

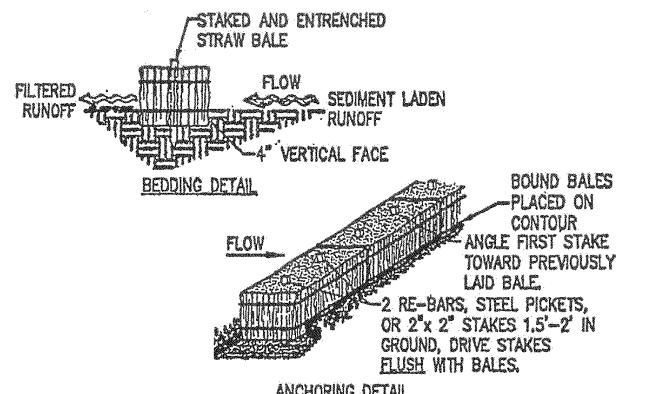
BRICKBATS MAY BE USED ON ANY SITE IN NEED OF TEMPORARY GROUND COVER.

DESIGN CRITERIA

THE BRICKBATS SHALL BE PLACED TO A DEPTH OF 3 INCHES TO 4 INCHES COVERING THE DENUDED EARTH ON THE SITE, THEN COMPACTION AND LEVELING.



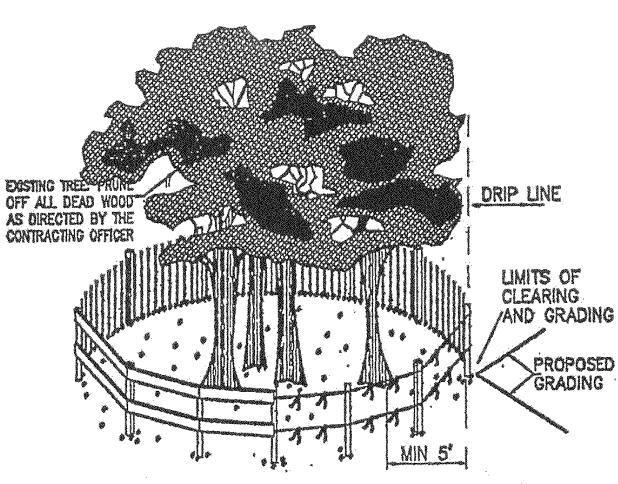
VEHICLE WASH DETAIL (NOT TO SCALE)



CONSTRUCTION SPECIFICATIONS

1. BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
2. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF (4) INCHES, AND PLACED SO THE BINDINGS ARE HORIZONTAL.
3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN THROUGH THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
4. INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENTS SHALL BE MADE PROMPTLY AS NEEDED.
5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

STRAW BAILE DIKE (NOT TO SCALE)



TREE PROTECTION DETAIL (NOT TO SCALE)

48" ORANGE PLASTIC MESH FENCE SHALL BE USED FOR TREE PROTECTION. FENCE POSTS TO BE # 5 REBAR @ 4.0 O.C. DRIVEN 1"-6" BELOW FINISH GRADE. (ORANGE FENCE SHALL BE ATTACHED TO REBARS WITH METAL TIE WIRE.)

1. DO NOT STORE OR STOCKPILE ANY EQUIPMENT AND OR MATERIALS WITHIN THE Drip LINE OF ANY TREE.
2. DO NOT PARK VEHICLES WITHIN THE Drip LINE OF ANY TREE. VEHICULAR TRAFFIC AND PARKING SHALL NOT BE PERMITTED WITHIN THE Drip LINE.
3. FOOT TRAFFIC OVER TREE ROOTS SHALL BE RESTRICTED TO PREVENT COMPACTION OF SOIL OVER ROOT SYSTEM.
4. IN AREAS WHERE CONSTRUCTION IS FAIR WITHIN THE Drip LINE OF TREES, FENCING SHALL BE REMOVED AND REPLACED / REINSTALLED AS EACH STAGE OF WORK NEAR THE Drip LINE IS COMPACTED TO PREVENT EXCESS SOIL COMPACTION.
5. TREE ROOT SYSTEM SHALL BE PROTECTED FROM SMOTHERING CHEMICAL CONTAMINATION, FLOODING, EROSION, AND EXCESSIVE WETTING RESULTING FROM DEWATERING OPERATIONS AND FROM UNPROPER SPILLAGE AND DRAINEAGE SOLUTIONS CONTAINING MATERIALS WHICH WOULD BE DETERIOROUS TO TREE ROOTS.



BRICKBAT DETAIL (NOT TO SCALE)

STANDARDS AND SPECIFICATIONS FOR BRICKBAT GROUND COVER

DEFINITION

TEMPORARY GROUND COVER CONSISTING OF BROKEN BRICK (1/2 PIECE OR SMALLER) PLACED OVER DENUDED EARTH.

PURPOSE

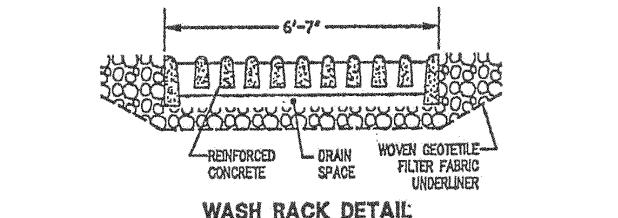
BRICKBATS PROVIDE A TEMPORARY GROUND COVER OVER DENUDED URBAN EARTH TO PREVENT THE TRANSPORTATION OF SEDIMENT FROM THE SITE.

CONDITIONS WHEN PRACTICE APPLIES

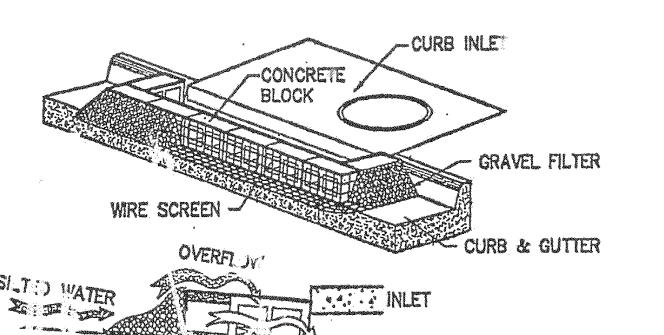
BRICKBATS MAY BE USED ON ANY SITE IN NEED OF TEMPORARY GROUND COVER.

DESIGN CRITERIA

THE BRICKBATS SHALL BE PLACED TO A DEPTH OF 3 INCHES TO 4 INCHES COVERING THE DENUDED EARTH ON THE SITE, THEN COMPACTION AND LEVELING.



WASH RACK DETAIL (NOT TO SCALE)



CURB INLET SEDIMENT FILTER N.T.S.

SILTATION EROSION CONTROL NOTES

1. ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE INSTALLED BEFORE THE START OF ANY EXCAVATION AND/OR CONSTRUCTION AS PER STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR THE DISTRICT OF COLUMBIA. IF AN ON-SITE INSPECTION REVEALS FURTHER EROSION CONTROL MEASURES ARE NECESSARY, THE SAME SHALL BE PROVIDED.
2. ALL DEBRIS IS TO BE REMOVED FROM THE SITE.
3. ALLEY AND/OR STREET SHALL BE SWEEP CLEAN AT ALL TIMES DURING EXCAVATION AND CONSTRUCTION.
4. ALL SEDIMENT AND EROSION CONTROL MEASURES TO BE INSPECTED DAILY BY THE CONTRACTOR. ANY DAMAGED DEVICE OR MEASURE WILL BE REPAIRED OR REPLACED BY THE CLOSE OF DAY OR AS DIRECTED BY THE ARCHITECT.
5. ALL VEHICLES LEAVING THE SITE SHALL EXIT THROUGH THE CONSTRUCTION ENTRANCE ONLY AND SHALL BE WASHED DOWN TO REMOVE MUD FROM TIRES BEFORE ENTERING THE STREET. CONSTRUCTION ENTRANCE TO BE MAINTAINED IN GOOD WORKING CONDITIONS.
6. ALL CATCH BASINS AND AREA DRAINS SHALL BE PROTECTED DURING EXCAVATION AND CONSTRUCTION.
7. IF ANY CATCH BASIN OR DRAIN BECOMES CLOGGED AS A RESULT OF EXCAVATION OR CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS IMMEDIATE CLEANING.
8. ALL DISTURBED AREAS WITHIN THE LIMIT OF DISTURBANCE BOUNDARY NOT SHOWN TO BE PAVED SHALL BE SEDED OR SODDED AS PER DC SPECIFICATIONS WITHIN SEVEN DAYS OF DISTURBANCE.
9. WHEN SEDIMENT TRAP/SEDIMENT TANK HAS REACHED 67% CAPACITY, CLEAN OUT OF SAME IS REQUIRED.
10. ANY STOCKPILING, REGARDLESS OF LOCATION ON SITE SHALL BE STOCKPILED WITHIN 14 DAYS AND COVERED WITH PLASTIC OR CANVAS, AFTER ITS ESTABLISHMENT AND FOR THE DURATION OF THE PROJECT.
11. AFTER RAZE OR DEMOS, THERE IS NEED FOR GROUNDCOVER TO PREVENT EROSION AND SEDIMENT RUNOFF FROM OCCURRING, SUCH AS SEED, SOD, PAVING, BRICKWORK OR MULCH, ETC..
12. AT THE COMPLETION OF CONSTRUCTION PROJECT AND AFTER THE ARCHITECT APPROVAL, ALL TEMPORARY SILTATION, SEDIMENTATION AND EROSION CONTROL MEASURES AND DEVICES SHALL BE REMOVED AND ALL DENUDED AREAS SHALL BE PERMANENTLY STABILIZED.

LIST OF STANDARD SYMBOLS

11	LIST OF STANDARD SYMBOLS
EARTH DIKE	A-2 B-3
STRAW BAILE DIKE	SD
SILT FENCE	SF SF
TEMPORARY SWALE	A-2 B-3
STABILIZED CONSTRUCTION ENTRANCE	SC
GRADE STABILIZATION STRUCTURE	GSS-2 PSD-12
PIPE SLOPE DRAIN	GSS-3 PSD-12
PERIMETER DIKE/SWALE	PD
INLET PROTECTION	IP
DIVERSION	D
GRASSED WATERWAY	GW
LINED WATERWAY	LW
ROCK OUTLET PROTECTION	ROP
SUBSURFACE DRAIN	SD
TREE PROTECTION	TP
SEDIMENT TANK	ST
SUMP AND PUMP	SP
Sheeting and shoring	SS

EROSION AND SEDIMENT CONTROL MEASURES AND SEQUENCE:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN GRADING.
2. PROVIDE TEMPORARY STONE CONSTRUCTION ENTRANCE WHERE SHOWN. PROVIDE WATER SOURCE AND HOSE TO CLEAN ALL EQUIPMENT LEAVING SITE.
3. INSTALL SILT FENCE AROUND PERIMETER OF SITE.
4. NO DISTURBED AREA WILL BE DENUDED FOR MORE THAN 7 CALENDAR DAYS. INSTALL THE NECESSARY TEMPORARY OR PERMANENT VEGETATIVE STABILIZATION MEASURES TO ACHIEVE ADEQUATE EROSION AND SEDIMENT CONTROL.
5. ALL CONSTRUCTION TO BE INSPECTED DAILY BY THE CONTRACTOR, AND ANY DAMAGED SILTATION OR EROSION CONTROL DEVICES OR MEASURES WILL BE REPAIRED AT THE CLOSE OF THE DAY.
6. ALL SILT FENCE TO BE MAINTAINED IN WORKING CONDITION.
7. STABILIZED CONSTRUCTION ENTRANCES TO BE PERIODICALLY SUPPLEMENTED WITH ADDITIONAL STONE AS NEEDED.
8. CONTROLS WILL BE REMOVED AFTER THEIR CONTRIBUTING BASINS HAVE BEEN PERMANENTLY STABILIZED.

GALLAS RESIDENCE ADDITION & RENOVATION ADDITION & RENOVATION

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MEASURED PLANS
CELLAR & FIRST

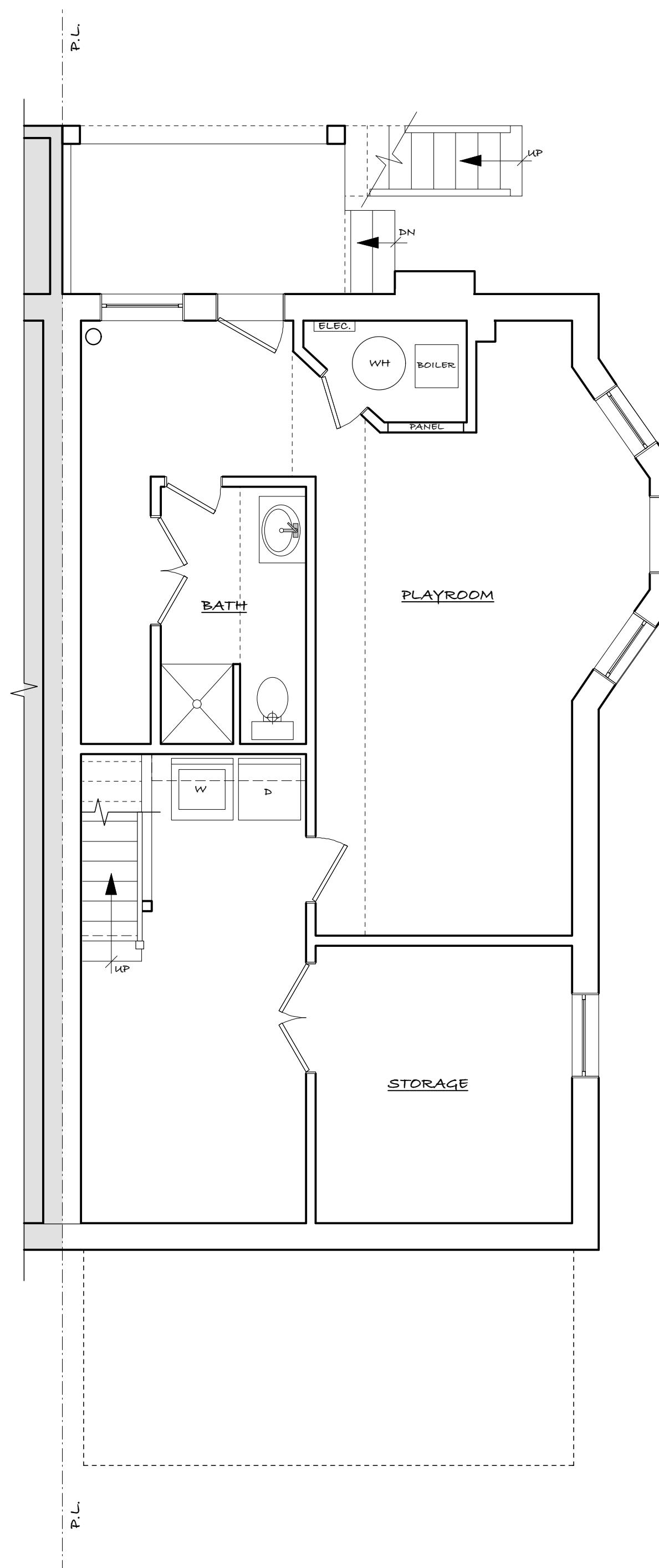
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GALLAS RESIDENCE
ADDITION & RENOVATION

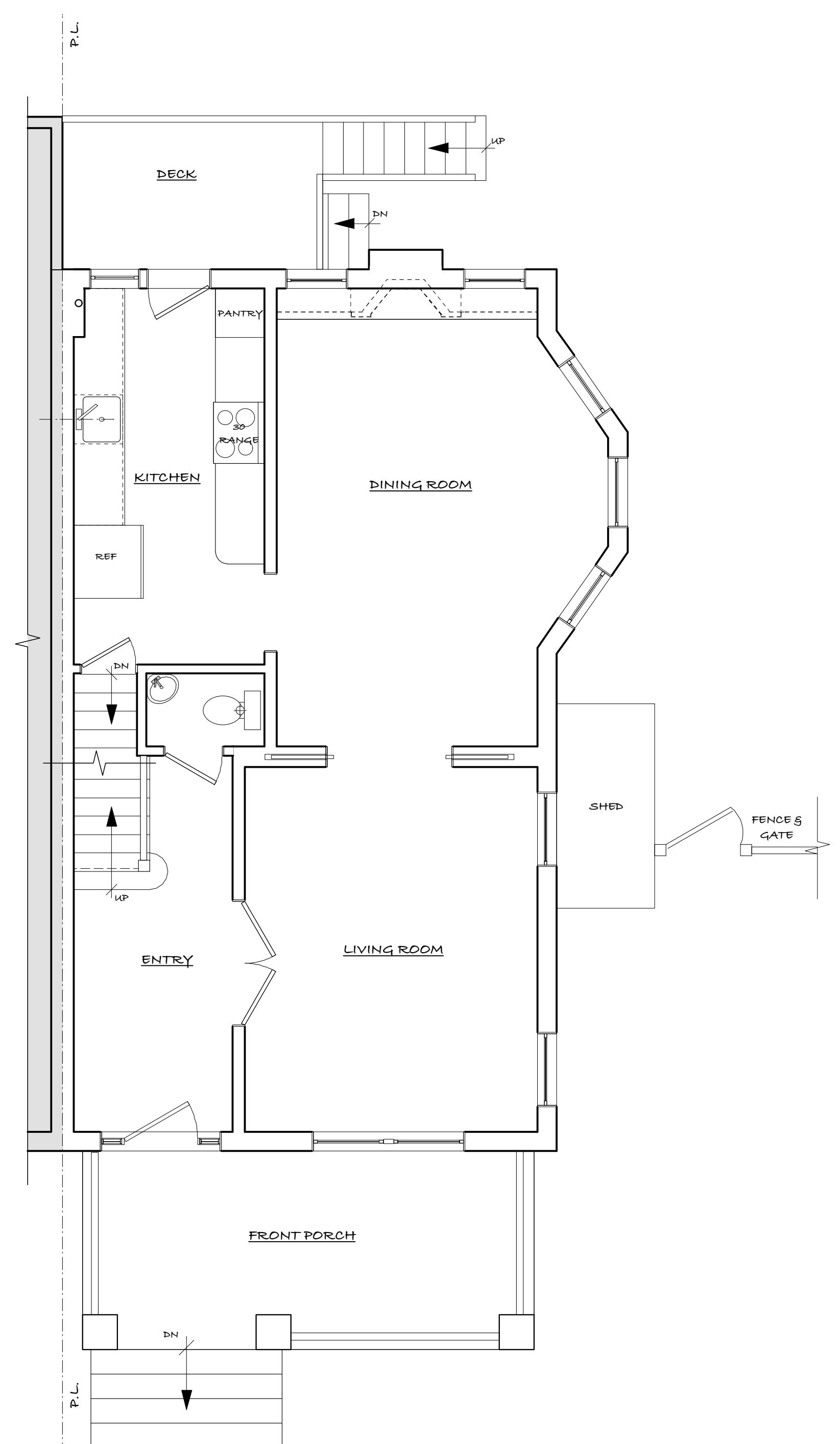
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1 CELLAR FL PLAN
Scale: 1/4" = 1'-0"



2 FIRST FL PLAN
Scale: 1/4" = 1'-0"

MEASURED PLANS
SECOND FL & ATTIC

SCALE: 1/4" = 1'-0"

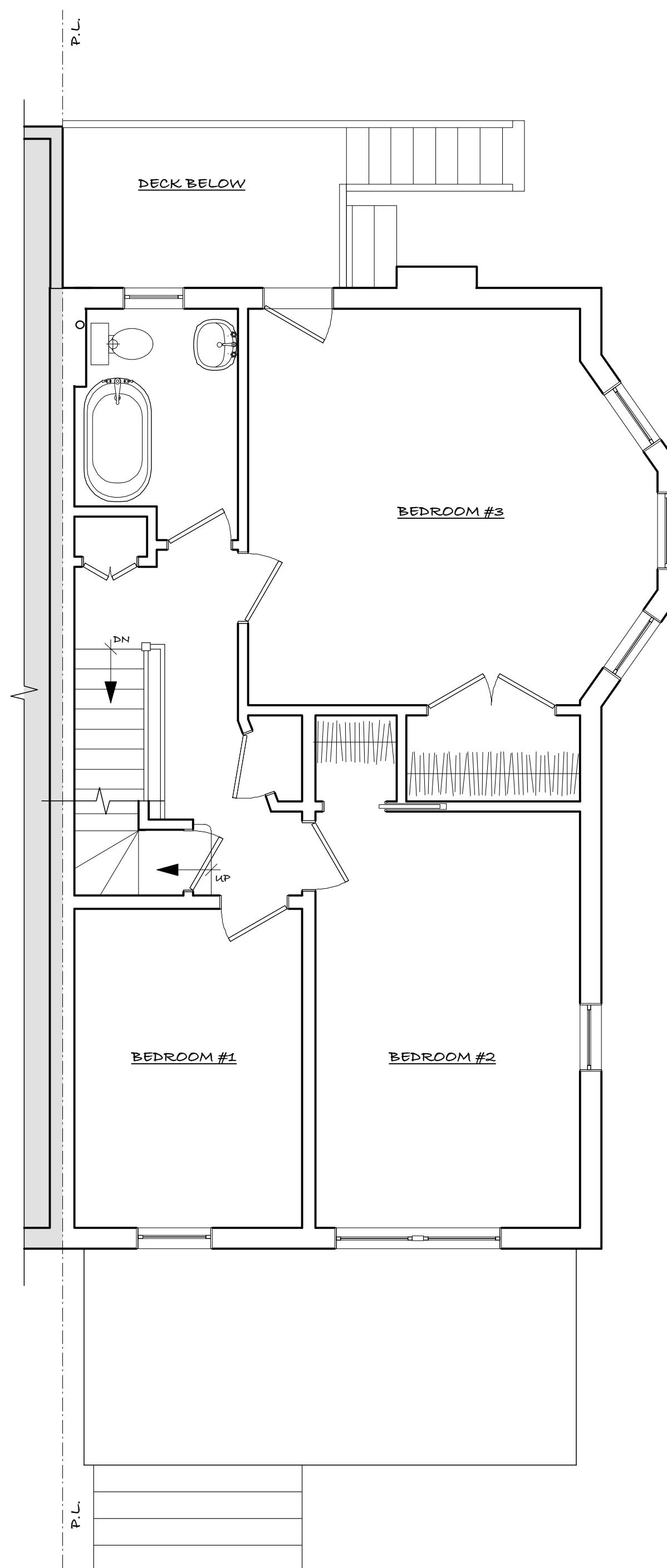
GALLAS RESIDENCE
ADDITION & RENOVATION

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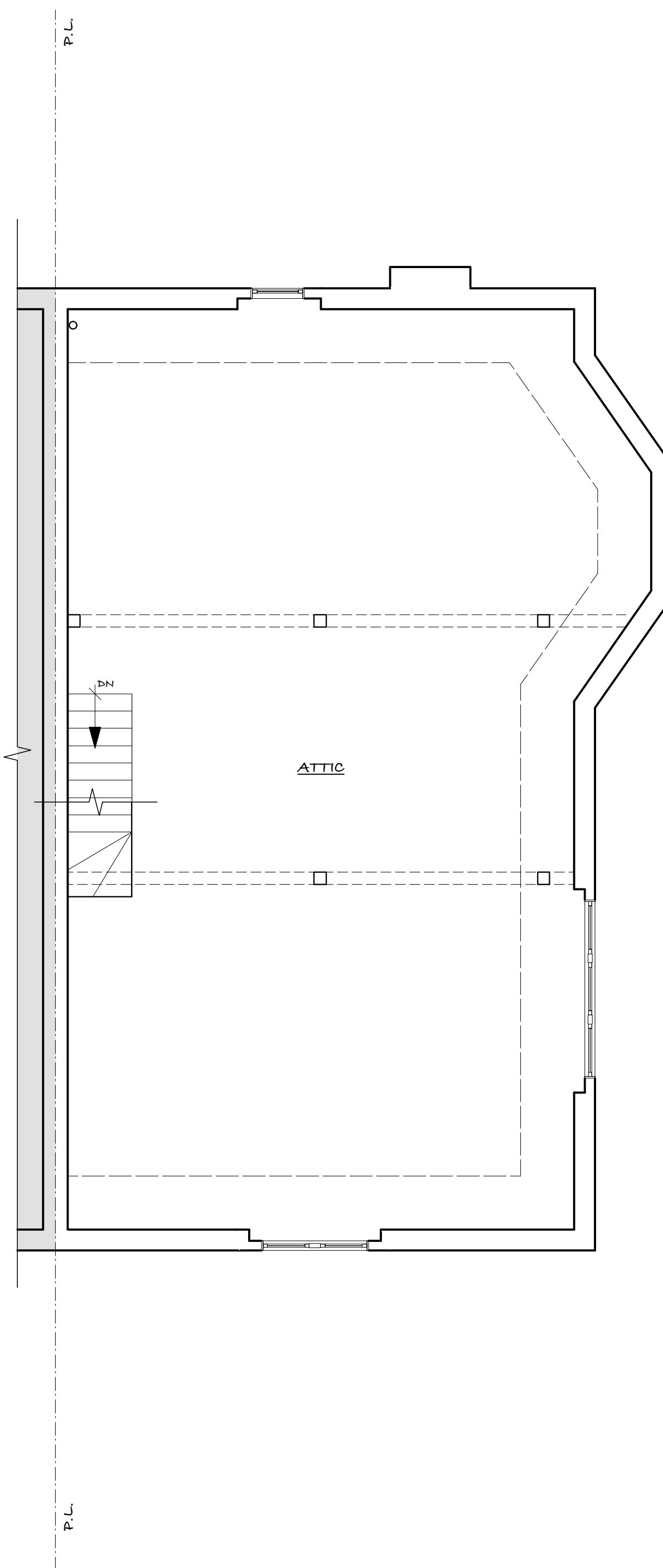
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1 SECOND FL PLAN
Scale: 1/4" = 1'-0"



2 ATTIC FL PLAN
Scale: 1/4" = 1'-0"

MEASURED ELEVATIONS
FRONT & REAR

SCALE: 1/4" = 1'-0"



GALLAS RESIDENCE
ADDITION & RENOVATION

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MEASURED ELEVATIONS
RIGHT SIDE

SCALE: 1/4" = 1'-0"

GALLAS RESIDENCE
ADDITION & RENOVATION

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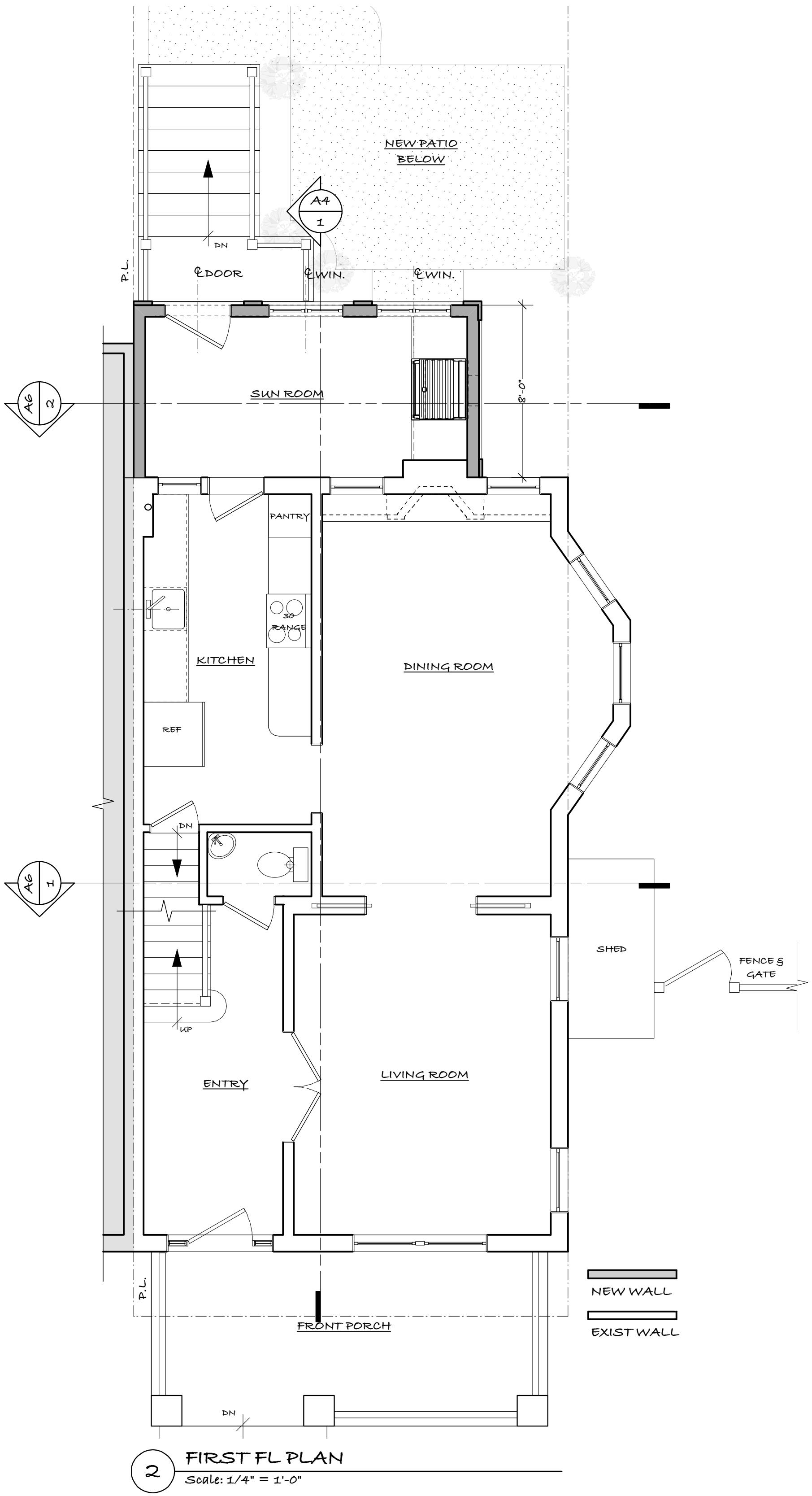
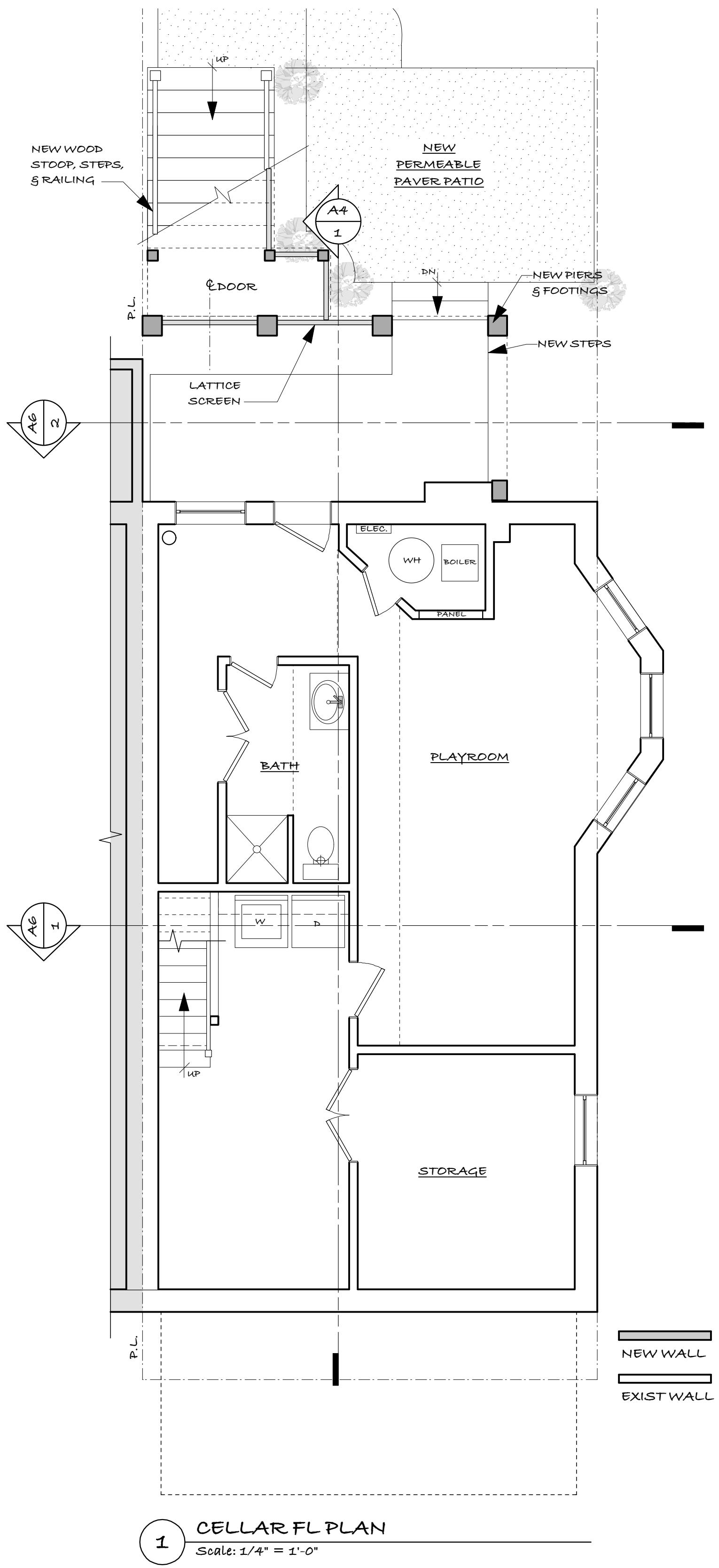


**PROPOSED PLANS
CELLAR & FIRST**

SCALE: 1/4" = 1'-0"

**GALLAS RESIDENCE
ADDITION & RENOVATION**

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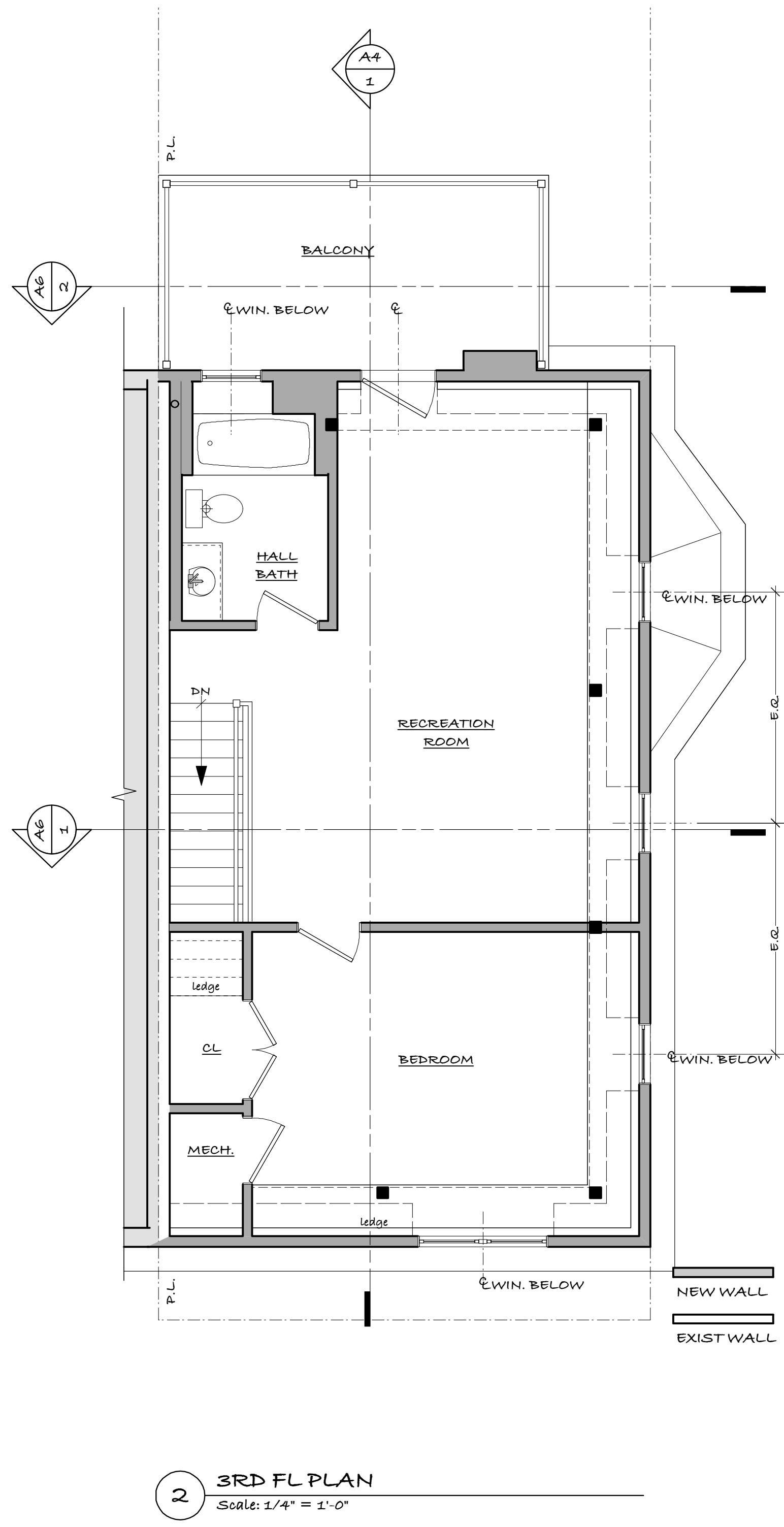
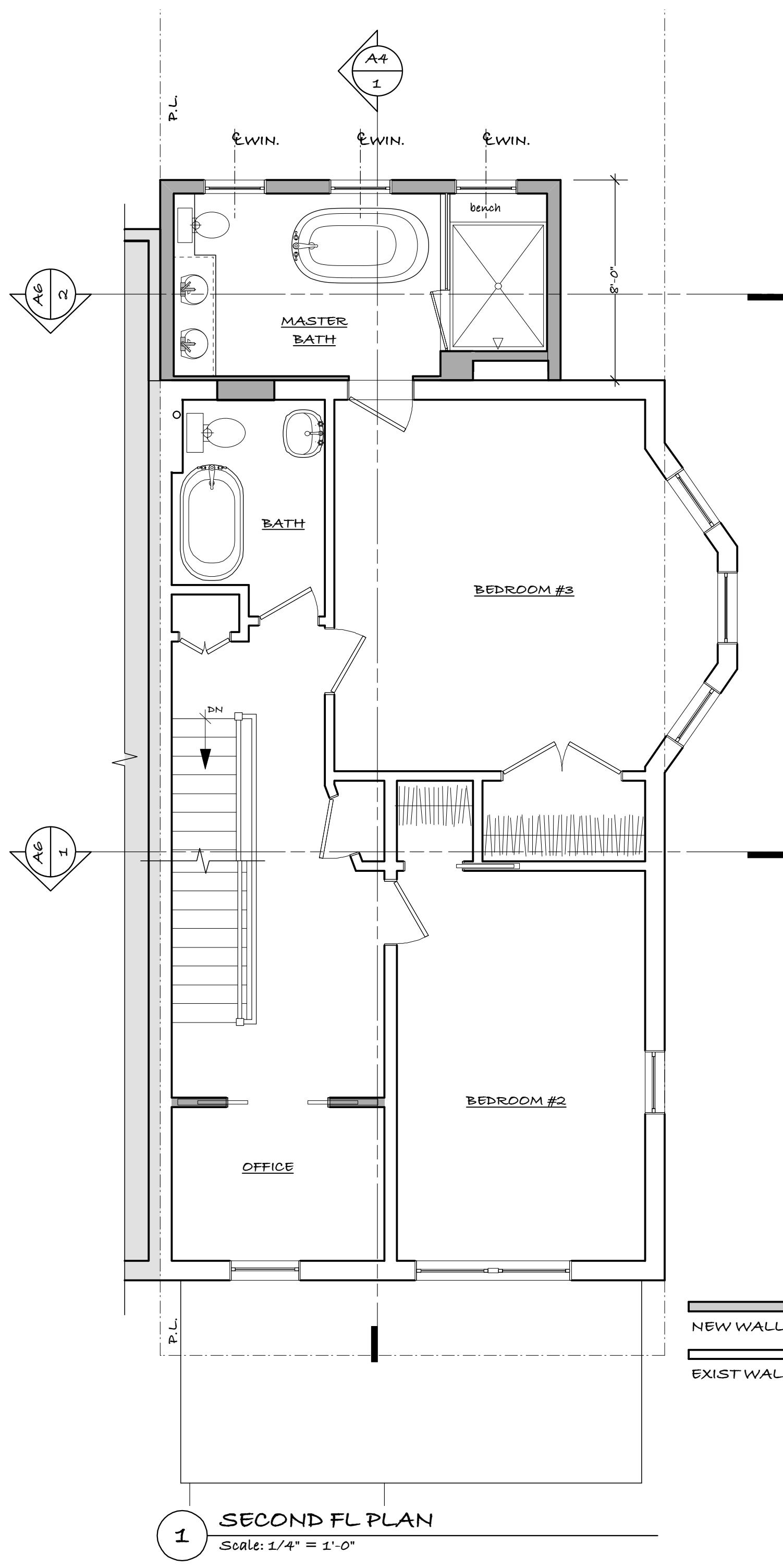
A-1

**PROPOSED PLANS
SECOND & THIRD**

SCALE: 1/4" = 1'-0"

GALLAS RESIDENCE
ADDITION & RENOVATION

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SCALE: 1/4" = 1'-0"

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PROPOSED ELEVATIONS
FRONT & REAR

GALLAS RESIDENCE
ADDITION & RENOVATION

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**PROPOSED ELEVATIONS
RIGHT SIDE**

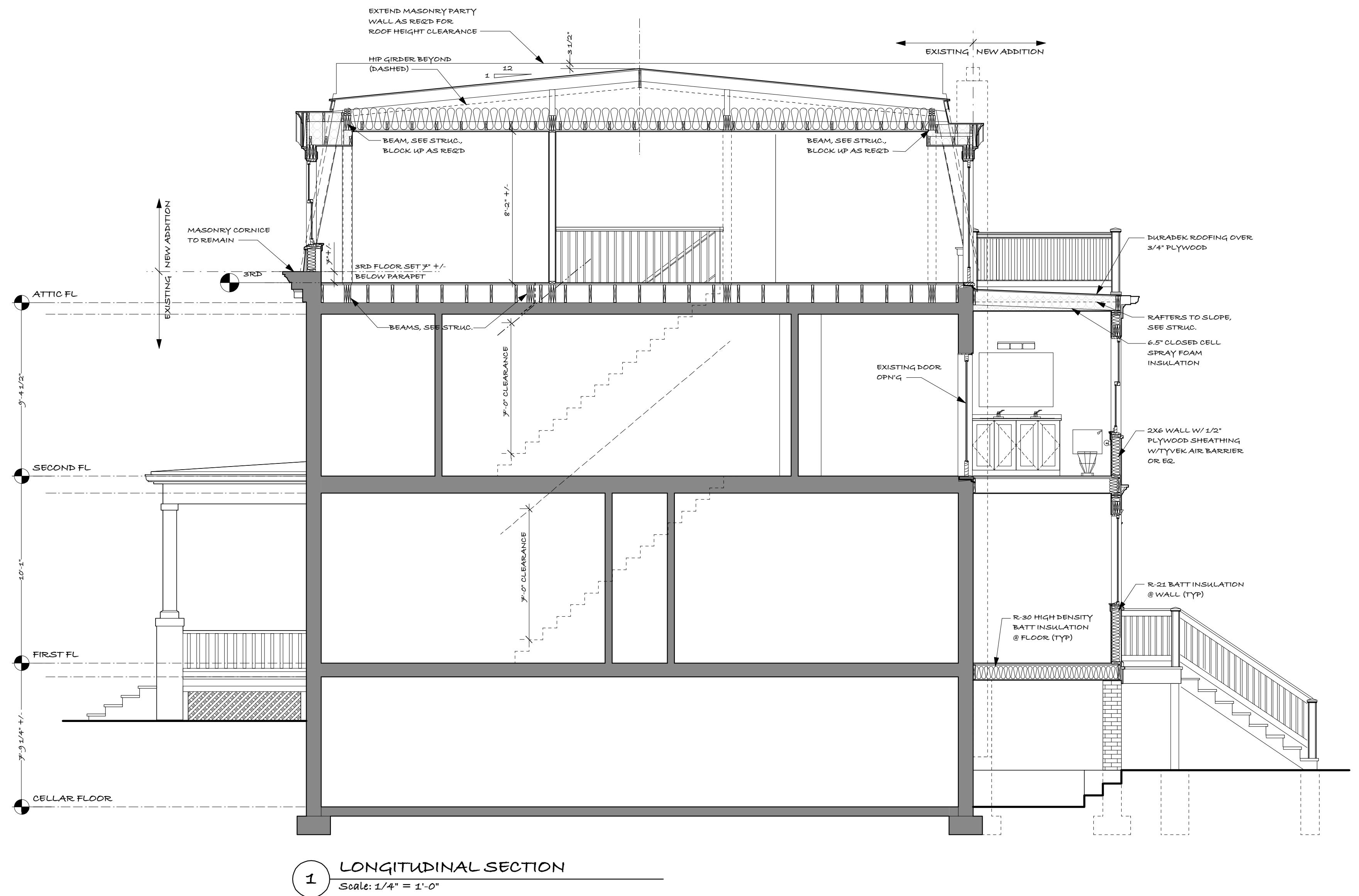
**GALLAS RESIDENCE
ADDITION & RENOVATION**

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GALLAS RESIDENCE
ADDITION & RENOVATION

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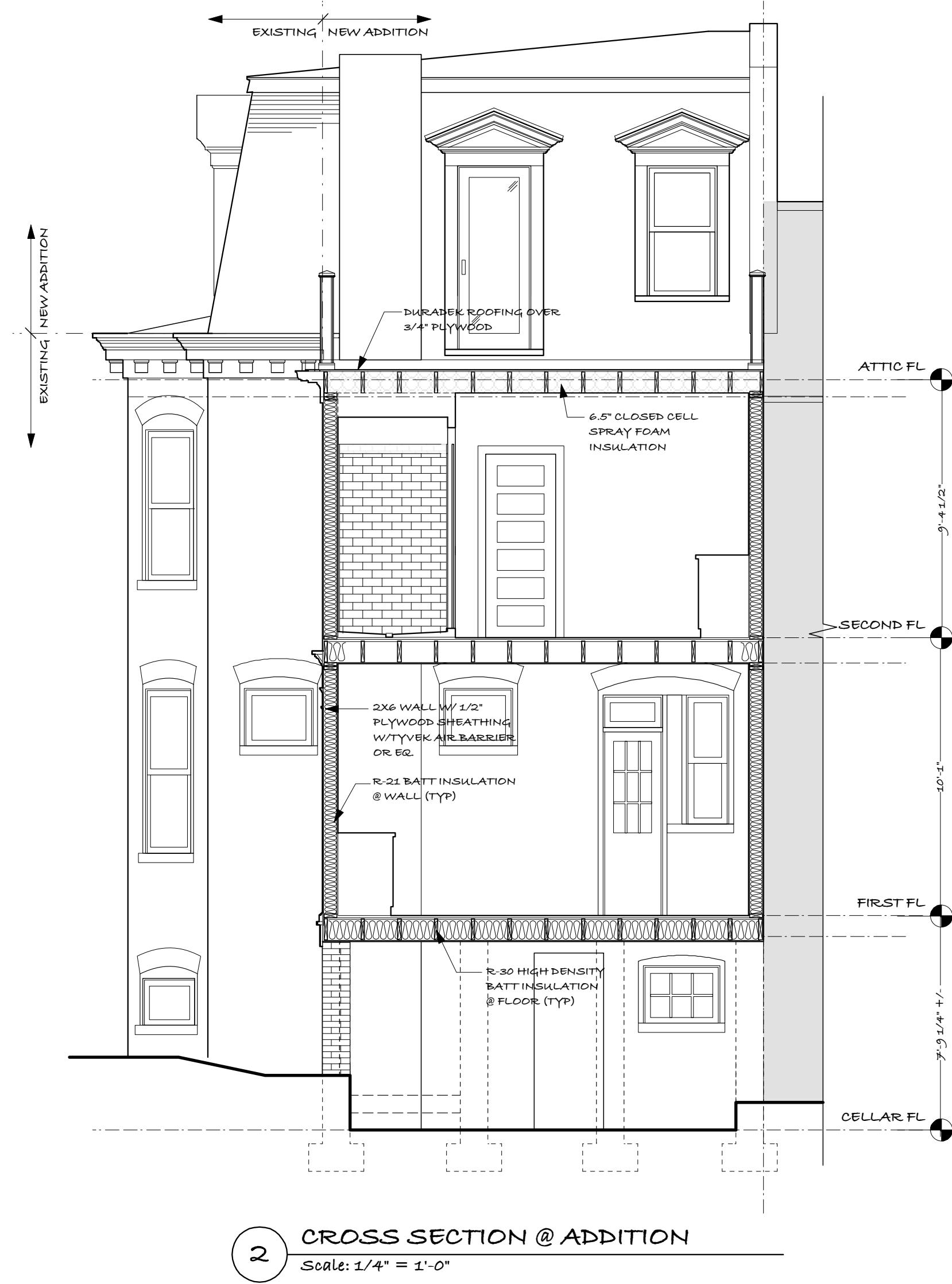
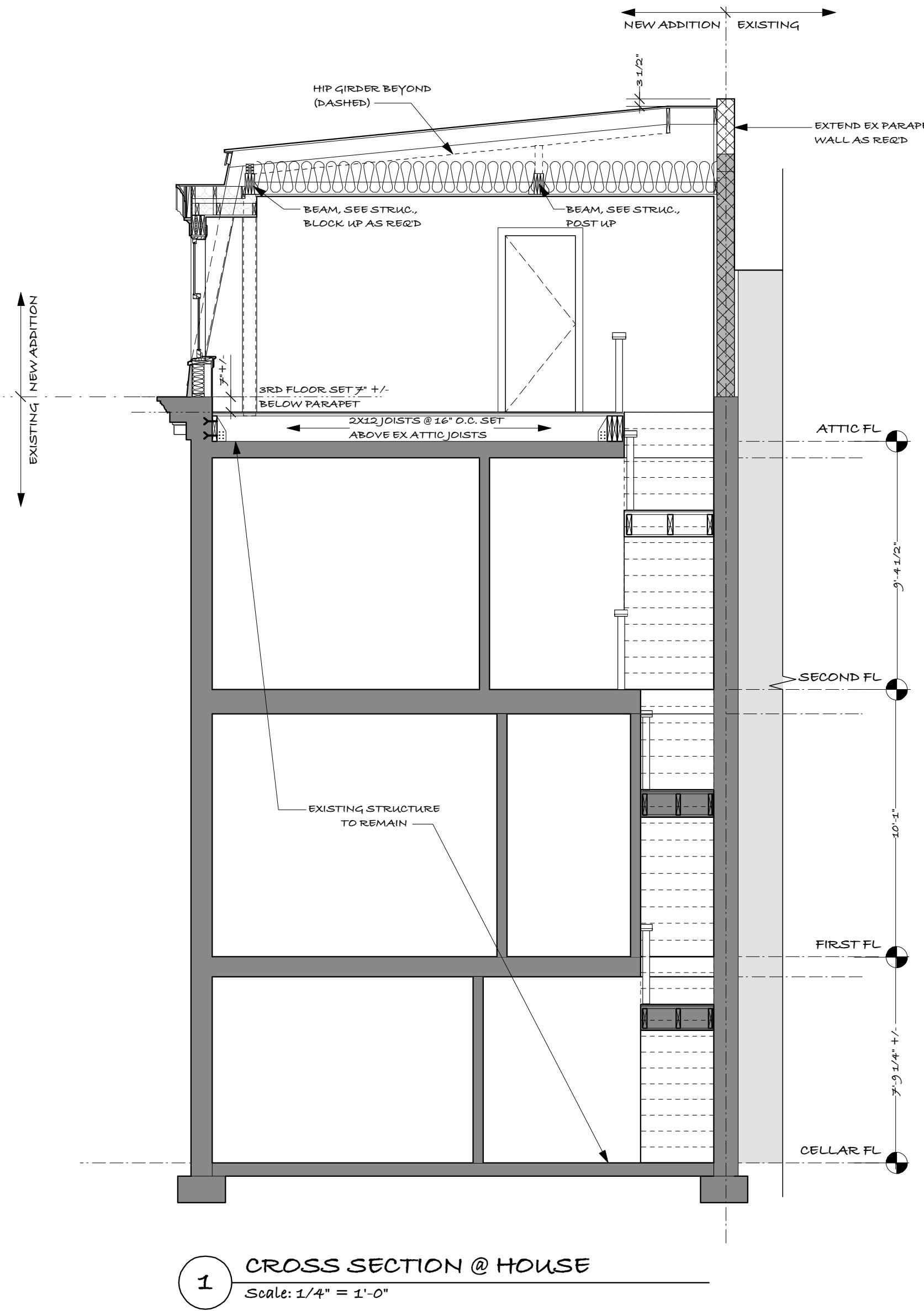
PROPOSED
SECTION

SCALE: 1/4" = 1'-0"

PROPOSED SECTION

GALLAS RESIDENCE ADDITION & RENOVATION

SCALE: 1/4" = 1'-0"



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PROJECT SPECIFICATIONS

GALLAS RESIDENCE ADDITION & RENOVATION

DIVISION 1: GENERAL REQUIREMENTS

- 01.01** PROJECT DESCRIPTION: In conjunction with Architectural, Structural, Mechanical, Electrical and Plumbing Drawings issued by AHMANN LLC, these Specifications describe the scope of Architectural, Structural, Mechanical, Electrical, Plumbing and other requirements for an Addition and Renovation Project at the house of Brandon and Emily Gallas at 4430 9th Street, N.W. in Washington, DC.
- 01.02** CONTRACT FOR CONSTRUCTION: The Contract between the Owner and the Contractor shall be AIA Document A107, "Standard Form of Agreement Between Owner and Contractor for a Project of Limited Scope," 2007 edition. All discrepancies and ambiguities in the Contract Documents shall be interpreted as that which results in the most complete performance. All architectural, structural, mechanical, plumbing, electrical and other requirements necessary for the Work to comply with local, state and federal regulations shall be supplied without additional cost to the Owner.
- 01.03** CODES, PERMITS & INSPECTIONS: All work shall be done in strict compliance with the District of Columbia Building Code, including the currently adopted IRC edition, as well as any and all other applicable codes, regulations and ordinances. The Owner shall provide the District of Columbia building permit, and the Contractor and Subcontractors shall provide all other permits and obtain all inspections required for the Work. Should a "Wall Check" be required by the District of Columbia in conjunction with this Project, the Contractor shall make all arrangements and the Owner shall pay all fees for the Wall Check.
- 01.04** INSURANCE REQUIREMENTS: The General Contractor shall provide to Owner documentation of all insurance policies required by Article 16 of AIA Form A107.
- 01.05** COORDINATION: The Contractor shall be responsible for the coordination of the work of all Subcontractors as required to complete the work, and shall verify that all work is done to the highest degree of craftsmanship by journeymen of the respective trades. The Contractor shall verify all dimensions, and shall work to critical alignments as indicated on the drawings, and shall not scale the drawings for measurements. If any discrepancies in dimensions or conditions are found, the Contractor shall contact the Architect for clarification prior to proceeding with that portion of the work.
- 01.06** PROTECTIONS: The Contractor shall maintain the site clean and free of debris. The Contractor shall maintain the site and job conditions in such a manner as to protect from injury all persons and property. Prior to the start of the Work, discuss job site security measures with Owner.
- 01.07** TREE AND PLANT PROTECTIONS: The Contractor shall take care to protect the existing trees and plants to remain. Provide protection fencing and avoid storage and operation of equipment inside the tree drip line, except as specifically required to complete the work.
- 01.08** TEMPORARY FACILITIES: The Contractor shall provide temporary facilities as required by job conditions or local regulations. Temporary facilities include but are not limited to: electrical service; sanitary facilities; drinking water; first aid station.
- 01.09** EPA RRP CERTIFICATION: Federal law enforced by the EPA under the Renovation, Repair and Painting Rule, requires contractors that disturb lead-based paint in homes built prior to 1978 to be certified, to follow specific work practices to prevent lead contamination, and to use certified renovators who are trained by EPA-approved training providers to follow lead-safe work practices. Contractors must use lead-safe work practices and follow these three simple procedures: 1) Contain the work area; Minimize dust; Clean up thoroughly. These procedures are to be followed per the EPA standards.
- 01.10** WASTE MANAGEMENT: The Contractor shall manage the waste materials of demolition and construction in such a fashion as to maintain job site safety, and shall maintain a dumpster, or other trash storage devise on site into which all waste materials of the project shall be deposited on a daily basis. As noted above, the dumpster permit is the responsibility of the Contractor.
- 01.11** CUTTING AND PATCHING GENERAL: Where required to cut into existing construction to provide for the installation or performance of other work and subsequent fitting and patching, all work shall restore surfaces to their original condition or to the adjoining new surface. Except as otherwise indicated, or as directed by Architect, use materials for cutting and patching that are identical to existing materials. If identical materials are not available, but can be used, use materials that match existing adjacent surfaces to the fullest extent possible with regard to visual effect. Use materials for cutting and patching that will result in equal-or-better performance characteristics. Patch with seams which are durable and as invisible as possible. Comply with specified tolerances for the work. Restore exposed finishes of patched areas and where necessary extend restoration into retained adjoining work in a manner which will eliminate evidence of patching and refinishing.
- 01.12** CUTTING AND PATCHING SYSTEMS: Patch existing systems which are altered or obstructed by the work. Patch in a manner to maintain proper system operation and performance. Systems include, but are not limited to: structural systems, mechanical systems, electrical systems, plumbing systems, security systems, audio/visual systems, foundation drainage systems, waterproofing systems, rain leader systems, etc.
- 01.13** CUTTING AND PATCHING PRECAUTIONS: Do not cut and patch structural work in a manner that would result in a reduction of load-carrying capacity or of load-deflection ratio. Do not cut and patch operational or safety related components in a manner that would result in a reduction of their capacity to perform in the manner intended. Do not cut or patch work exposed on the buildings exterior or in its occupied spaces, in a manner that would, in the Architect's opinion, result in lessening the building's aesthetic qualities. Do not cut and patch work in a manner that would result in substantial visual evidence of cut and patch work. Remove and replace work judged by the Architect to have been cut and patched in a visually unsatisfactory manner.
- 01.14** ALLOWANCES: Provide line item material allowances for the following items (installation shall be included in base bid, unless otherwise noted):
- Allowance Item A1:** Ceramic Tile. Flooring and tub/shower surround at Master Bathroom.
Material Allowance: \$7.50 per square foot.
- Allowance Item A2:** Bath Vanities. For Powder Room and Master Bath.
Material Allowance: \$1500.00.
- Allowance Item A3:** Countertop Slabs. For countertops and related items at Master Bathroom and Third Floor Hall Bathroom. Material Allowance: \$65.00 per square foot.
- Allowance Item A4:** Plumbing Fixtures and Bath Accessories. Master Bathroom and Third Floor Bathrooms fixtures and fittings. Material Allowance: \$5,000.00.
- Allowance Item A5:** Misc. Lighting / Elec. Fixtures. Refer to the Electrical Drawings for specific allowance requirements.

DIVISION 2: DEMOLITION & SITEWORK

- 02.01** GENERAL: The Contract for Construction shall include all demolition and sitework required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required.
- 02.02** UTILITIES: All existing underground utilities shall be physically located by the Contractor prior to the beginning of any construction in the vicinity of these utilities. The Construction Documents do not represent that

all existing utilities are shown or that those shown are correctly located. It is the Contractor's responsibility to contact each utility company, dig test pits, and take all and whatever steps are necessary to accurately locate and protect all existing utilities. No construction shall be accomplished until the accurate locations of utilities have been made and it has been determined by the Contractor that construction can be accomplished in accordance with these plans without utility conflicts.

02.03 DEMOLITION: Provide for the demolition of all existing items which will interfere with the Work indicated in the Construction Documents. Except as otherwise indicated, all demolished items shall be hauled from the site and shall be properly disposed of. Provide mechanical, electrical and plumbing demolition as may be required to complete the Work. Note that the Drawings do not account for all items related to these trades which may require demolition, each subcontractor shall make a field visit prior to submitting their bid so as to account for the demolition required to complete the Work indicated in the Construction Documents.

02.04 BRACING AND SHORING: Provide bracing and shoring as required to protect existing construction to remain from damage, as well as to protect persons and property. Verify all bearing conditions prior to beginning demolition.

02.05 PROTECTIONS: Protect existing trees and vegetation which are to remain from physical damage. Do not store materials or equipment within the drip line. Protect structures, utilities, sidewalks, pavements, and other items in areas of work. Provide necessary protection to prevent damage to persons or property. Restore any damaged property to the condition existing prior to the start of the work unless otherwise noted.

02.06 ROUGH GRADING: Re-grade site where indicated in the Drawings and as otherwise required to direct water away from house. Drawings are approximate and the Contractor shall be responsible for working grading as required for proper site drainage.

02.07 EROSION CONTROL: Follow all applicable regulations and requirements for erosion control during construction. Provide straw bale dikes, silt fences, etc. as deemed necessary or as required by Montgomery County officials. Erosion control barriers shall be placed as required to collect any debris caught in runoff from the construction area.

02.08 STORM WATER MANAGEMENT: Follow all applicable regulations and requirements for storm water management as indicated in the Construction Documents and as may be required by District officials during construction. Tie new rain leaders and new foundation drain lines into storm sewer system at the rear of the property. Note: run rain leaders separately from foundation drain to point of tie-in with sewer.

02.09 LANDSCAPING: Remove vegetation or other obstructions which interfere with the Work and coordinate with Owner for the Owner's relocation of existing plant which are to be salvaged. Protect vegetation to remain from damage during demolition and construction. Provide grass seeding with protective straw as required to reestablish all portions of lawn damaged during demolition and construction.

02.10 TERMITIC CONTROL: Provide soil treatment for termite control at the areas of new construction as recommended by a qualified, registered pest control professional.

02.11 ADDITIONAL REQUIREMENTS: Refer to Structural Specifications on the Drawings.

samples for brick selection and sample panel with proposed brick and mortar, painted, for field review by Owner prior to the purchase and installation of balance of the brick material.

04.05 ADDITIONAL REQUIREMENTS: Refer to Structural Specifications on the Drawings.

DIVISION 5: METALS

05.01 GENERAL: The Contract for Construction shall include all metals work required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required.

05.02 CODES & STANDARDS: Metal work shall conform to all applicable local, state and national codes and standards as well as those established by the National Association of Architectural Metal Manufacturer and the American Institute of Steel Construction as described in their current publications. The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered.

05.03 MISC. METAL: Provide Miscellaneous metal as required, including loose lintels for masonry walls, bolts, plates, anchors, hangers, and other required items for framing and supporting woodwork.

05.04 ADDITIONAL REQUIREMENTS: Refer to Structural Specifications on the Drawings.

DIVISION 6: WOOD / CARPENTRY

06.01 GENERAL: The Contract for Construction shall include all woodwork required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required.

06.02 CODES & STANDARDS: Woodwork and carpentry shall conform to all applicable local, state and national codes and standards as well as those established by the National Forest Products Association, the American Plywood Association, and the Architectural Woodwork Institute as described in their current publications. The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered.

06.03 FRAMING MATERIALS: Provide and install all framing lumber as required to complete the Work. Refer to Structural Specifications on the Drawings for specific material and installation requirements. Unless otherwise indicated or required, all new exterior stud walls shall be framed with 2 x 6 lumber. All framing material in direct contact with concrete, masonry, or within 8 inches of grade shall be preservative treated.

06.04 SHEATHING / SUBFLOORING: Exterior wall sheathing shall be standard grade plywood , exterior glue, 1/2 inch thick. Roof sheathing shall be interior plywood with exterior glue, 5/8 inch thick. Floor sheathing (subflooring) shall be 3/4 inch tongue and groove. Plywood shall be installed per APA specifications, requirements and recommendations.

06.05 EXTERIOR CEMENT BOARD SIDING: Provide and install factory primed Cement Board Siding, James Hardie or approved equal at the exterior of the Rear Addition. Installation shall be per the product manufacturer's written specifications, requirements and recommendations for the installation indicated and the conditions encountered. Cement Board Siding shall be factory primed and field painted in accordance with the requirements of these Specifications. Coordinate Cement Board Siding with Trim installation with flashing requirements as required for a complete and weather tight installation.

06.06 EXTERIOR PVC TRIM & PANELING: Provide and install PVC Trim Board and Panel Board material, Azek or approved equal, in sizes and shapes as indicated, or Required, for band boards, window casing, rakes, soffits, pilasters, panels, and other trim at the exterior of the Addition. Installation shall be per the product manufacturer's written specifications, requirements and recommendations for the installation indicated and the conditions encountered. PVC Trim Boards and Panel Boards shall be primed and painted in accordance with the requirements of Division 9 these Specifications. Coordinate Trim Boards and Panel Boards installation with flashing requirements, and stucco installation as required for a complete and weather tight installation.

06.07 INTERIOR WOOD TRIM: Provide and install standing and running trim in the shapes and sizes to match the existing house trim profiles, or as otherwise indicated in the Drawings. Trim shapes shall be as milled by Smoot Lumber Company, Alexandria, Virginia, or approved equal. The material, its fabrication, and its installation shall conform to the Custom Grade Specifications and Requirements of Section 300 of the Architectural Woodwork Institute's Architectural Woodwork Quality Standards, Guide Specifications and Quality Certification Program manual, most current edition, as applicable to the work indicated and the conditions encountered. Unless otherwise noted, all wood used for interior standing and running trim shall be paint grade pine, and shall be painted in accordance with Division 9 of the Specifications.

06.08 BATH VANITY CABINETS: **Allowance Item:** Provide and install Bath vanity cabinets and related items as indicated in the Drawings, and as selected by the Owner. Provide coordination as required in placing cabinet order, verifying all field conditions and requirements with final cabinet dimensions. Installation of cabinets shall be coordinated with plumbing fixtures and fittings as required, and with all surrounding and abutting materials, surfaces and conditions. Installation shall be per the specifications, requirements and recommendations of the cabinet manufacturer. Provide blocking in walls for securing cabinets. Installation shall be per the specifications, requirements and recommendations of the cabinet manufacturer.

06.09 SOLID SURFACE COUNTERTOPS TOPS: **Allowance Item:** Provide and install solid surface countertops with 3 inch back and side splashes at Master Bathroom and Third Floor Bathroom, as selected by the Owner, with edge detail selected by the Owner.

06.10 WOOD STRIP FLOORING: Provide and install new wood strip flooring at the Third Floor Addition, except for the Bathroom. Provide patching of existing wood flooring in other portions of the house as required by the Work. New wood strip flooring shall match adjacent flooring in type, size, graining, grade and appearance. Comply with flooring manufacturer's general instructions and recommendations for the preparation of substrates to receive wood flooring, including the application of primers, vapor barriers, and adhesives. Do not proceed with wood flooring work until the addition is enclosed and humidity has stabilized at approximately the level anticipated for occupancy. Deliver flooring in advance of installation as recommended by manufacturer, but not less than 7 days before installation, in order to permit natural adjustment to moisture content.

06.11 WOOD STAIRWAY & BALUSTRADE: Provide and install new wood stairway from the Second Floor to the Third Floor as indicated in the Drawings. The material, its fabrication and its installation shall conform to the Custom Grade specifications and requirements of the Architectural Woodwork Institute's Architectural Woodwork Quality Standards, Guide Specifications and Quality Certification Program manual, most current edition, as applicable to the work indicated and the conditions encountered. The construction of the stair and shall meet or exceed all code requirements and regulations as set forth in the currently adopted International Residential Code. Stair treads and risers shall match the flooring as close as practical, and shall be stained and finished to match the flooring finish. Handrail shall be selected by the Owner from Stair Fabricators standard stock components.

06.12 CLOSET RODS & SHELVING: Provide and install wood clothes rods and supports in all clothes closets. Provide braces as required for proper support, with wood blocking properly placed in stud walls for the attachment of rods and braces. Provide and install painted wood shelving above each rod. Provide five adjustable shelves at all linen closets. Shelving shall be birch veneer plywood with a 3/4" edge band. Provide support standards and clips as required.

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PROJECT SPECIFICATION
PAGE 1
SCALE: NONE

PROJECT SPECIFICATION PAGE 2

GALLAS RESIDENCE ADDITION & RENOVATION

- 06.13** **BALCONY RAILING SYSTEM:** Provide and install Durarail welded picket railing system as indicated in the Drawings. Railing system shall be field fabricated from components supplied by the Duradek roofing system manufacturer. Installation of the railing system shall be per the specifications, requirements, and recommendations of the railing system and roof product manufacturer(s), as required for a complete, code compliant, and weather-tight installation.
- 06.14** **REAR LANDING, STAIR & RAILING SYSTEM:** Provide and install wood deck, stair and railing system as indicated in the Drawings. Stair and landing framing shall be of pressure treated lumber. Decking boards shall be pressure treated 2x6's stained in accordance with Division 9 of these Specifications. Railing system shall be field fabricated with pressure treated lumber per the details included in the Drawings, and shall stained in accordance with Division 9 of these Specifications.
- DIVISION 7: THERMAL AND MOISTURE PROTECTION**
- 07.01** **GENERAL:** The Contract for Construction shall include all thermal and moisture protection work required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required.
- 07.02** **CODES & STANDARDS:** Thermal and moisture protection work shall conform to all applicable local, state and national codes and standards as well as those established by the National Roofing Manufacturer's Association and the Sheet Metal and Air Conditioning Manufacturer's Association. The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered.
- 07.03** **INSULATION:** Provide and install high density mineral fiber batt insulation, and/or closed cell foam insulation at all new exterior stud wall areas, at existing exterior stud walls open during construction, at new ceiling/roof areas and at floors over unconditioned areas or open space. The insulation value to be provide shall be as indicated in the Energy Conservation/Building Envelope Chart in the Drawings. Provide and install foamed-in-place urethane insulation as required to fill small gaps between joints and around penetrations in exterior wall framing where the installation of batt insulation is impractical. Provide sound attenuation batt insulation at all new bathroom or powder room walls, ceilings and floors, or those opened during construction. Comply with the insulation manufacturer's printed instructions and recommendations for the installation of all insulation. Vapor barrier shall face conditioned space typically.
- 07.04** **SILL SEALER:** Provide and install "Sill Sealer" air infiltration barrier between the sill plate and foundation wall typically. "Sill Sealer" shall be as manufactured by Certainteed, or approved equal. Provide in six inch width typically, using 3 5/8 inch width only in areas of limited dimension. The material and its installation shall conform to the manufacturers specifications, requirements, and recommendations as required for the installation indicated and the conditions encountered.
- 07.05** **VAPOR BARRIER:** Provide 6 mil polyethylene film vapor barrier under all slabs on grade. Provide properly placed and installed moisture / vapor barriers in new construction as required to prevent condensation in walls, ceilings and floors adjacent to the exterior, or where otherwise required. Note: at floor of crawl space provide vapor barrier and gravel with perimeter insulation.
- 07.06** **INFILTRATION WRAP:** Provide infiltration barrier, Tyvek Housewrap or equal, on all exterior wall sheathing installed or exposed during construction. The house wrap product(s) shall be installed in strict conformance with the product manufacturers requirements, specifications and recommendations, including procedures for proper wrapping at window and door openings and coordination with related flashing system(s).
- 07.07** **WINDOW AND DOOR FLASHING SYSTEM:** Provide and install Tyvek Flashing System, or approved equal, at windows and doors. The Flashing system shall be coordinated with installation of housewrap as well as the window and door installation conditions. Flashing components and their installation shall meet the specifications, requirements, and recommendations of the product manufacturer.
- 07.08** **FIBERGLASS SHINGLE ROOFING:** Provide and install 40 year of better, architectural grade dimensional fiberglass roofing shingles for roofing of the Mansard at the 3rd Floor Addition. Follow specific installation instructions for steep sloping/mansard conditions. Install fiberglass shingle roofing over two layers of 15# roofing felt. Coordinate the installation and flashing of the new roofing with all surrounding and abutting conditions as required for a complete, neat appearing, weather-tight installation. Shingle material shall match the existing roofing as close as practical.
- 07.09** **EPDM ROOFING:** Provide and install an EPDM roofing membrane, Firestone or equal, for the low pitch roof area above the mansard roof areas. Installation shall be per the published details, written specifications, requirements and recommendations of the product manufacturer(s), as applicable to the work described and the conditions encountered. Parapet, edge and gutter details shall be as required by the manufacturer. Provide all flashings, accessories, adhesives and sealants as required for a complete weather tight installation. Provide a min. 10 year manufacturer's warranty for roofing system. Contractor shall coordinate and interface with the mansard roof as required for a complete and weathertight installation.
- 07.10** **WALKABLE MEMBRANE ROOFING:** Provide and install a walkable roofing membrane, Duradek Ultra or equal, for the floor of the Balcony as indicated in the Drawings. Installation shall be per the published details, written specifications, requirements and recommendations of the product manufacturer(s), as applicable to the work described and the conditions encountered. Wall abutment and other details shall be as required by the manufacturer. Provide all flashings, accessories, adhesives and sealants as required for a complete weather tight installation. Provide a minimum 10 year manufacturer's warranty for roofing system. Contractor shall coordinate and interface with all adjacent conditions as required for a complete and weathertight installation.
- 07.11** **ROOF VENTS:** Provide and install continuous Coravent S-400 polypropylene eave vent at trim detail above mansard roof as intake vent. Provide two 24 inch x 24 inch "mushroom" exhaust vents at flat portion of roof. Provide baffling of insulation as required to maintain 1 inch minimum vent space at all rafter bays.
- 07.12** **GUTTERS & DOWNSPOUTS:** Provide white baked aluminum gutters and downspouts at all drip lines of the addition. Coordinate all drainage work with roofing, flashing, trim, and construction of eaves, walls, or other adjoining work to provide a leak proof, secure, and non-corrosive installation.
- 07.13** **MISC. FLASHING:** Provide flashing where indicated or required in roof and exterior wall construction. Flashing material shall be pre finished aluminum in baked white at wall construction, and color to match roofing color at roof areas. Coordinate and sequence the flashing work with the work of other trades as required for a complete, neat appearing, weather-tight installation. Coordinate flashing material with surrounding materials or existing colors as applicable. Flash at all wall projections and at all roof penetrations, roof abutments and changes in roof pitch.
- 07.14** **SEALANTS:** Provide sealants as required at windows, doors, and in conjunction with all trim work as required for a complete weather-tight construction.
- 07.15** **ADDITIONAL REQUIREMENTS:** Refer to Structural Specifications on the Drawings.

DIVISION 8: DOORS AND WINDOWS

- 08.01** **GENERAL:** The Contract for Construction shall include all doors and windows work required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required.
- 08.02** **CODES & STANDARDS:** Doors and windows work shall conform to all applicable local, state and national codes and standards, as well as those established by the Door and Hardware Institute, the American Woodwork Institute, and the National Woodwork Manufacturer's Association as described in their current publications. The

- products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered.
- 08.03** **WINDOWS AND FRENCH DOORS:** Provide and install new windows and exterior doors as indicated in the drawings. The windows and doors shall be Jeld Wen Tradition Plus Clad Wood Units, or approved equal. Windows and exterior doors shall be provided with insulated low-e, argon filled full view glazing. All operable units shall be provided with screens. Clad color, jamb liner color, screen frame color, and hardware color/options shall be selected by the Owner. All operable windows six feet or greater above grade or surface below shall be provided with a sash limiter meeting the requirements of the 2012 International Residential Code when the sill of the window is within two feet of the floor. Window and French door interiors shall be factory primed and field painted in accordance with Division 9 of these Specifications. Install windows and doors according to the manufacturer's specifications, requirements and recommendations as required for a complete weather-tight installation. The Contractor shall field verify all masonry opening, rough opening and jamb dimensions prior to ordering units.
- 08.04** **GLAZING:** Window and door fabricator shall supply glazing meeting or exceeding the test requirements of CSCP 16-CFR, part 1201 for glazing in "Hazardous Locations" as specified in the applicable IRC Code.
- 08.05** **INTERIOR DOORS:** Provide and install new doors and frames as indicated in the Drawings. All new interior doors shall match existing interior doors as close as practical. Doors at new locations shall be pre-hung with three hinges per leaf in color and finish to be selected by the Owner. Doors and frames shall be primed and painted in accordance with Division 9 of these Specifications. The contractor shall field verify all jamb requirements - conditions may vary.
- 08.06** **FINISH HARDWARE:** Provide allowance for finish hardware at all new interior doors. Hardware shall match existing interior door hardware as close as practical. The Contractor shall verify all cutout requirements, and shall supply all necessary accessories and trim for complete hardware sets, including items not listed but required for proper operation and installation of sets specified. The Contractor shall coordinate quantities and locations of all door hardware as well as handing of doors.
- DIVISION 9: FINISHES & ACCESSORIES**
- 09.01** **GENERAL:** The Contract for Construction shall include all finishes work required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required.
- 09.02** **CODES & STANDARDS:** Finishes work shall conform to all applicable local, state and national codes and standards, as well as those established by the Gypsum Association, and the Tile Council of America as described in their current publications. The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered.
- 09.03** **GYPSUM WALLBOARD:** Gypsum wall board shall be glued and screwed into place on wood framing. Unless otherwise noted, all wallboard shall be of 1/2 inch thickness. Finish gypsum wallboard surfaces as required for a smooth and even appearance. Provide Durock board under all tile and moisture resistant "green board" at all other surfaces in the Kitchen and Bathrooms. Gypsum wallboard products shall be U.S. Gypsum. National Gypsum, Georgia Pacific, or approved equal.
- 09.04** **WOOD FLOOR FINISHING:** Wood flooring shall be installed as specified in Division 6 of the Specifications. Sand, stain and finish the new wood flooring, as well as all wood flooring and wood stair treads and risers of the existing house, with three coats of water based polyurethane.
- 09.05** **EXTERIOR PAINTING & STAINING / ADDITION:** Exterior paint shall be low VOC Benjamin Moore premium grade semi-gloss latex applied in a minimum of two finish coats over one coat of primer/undercoat. The scope of exterior painting shall include all siding and trim work, as well new brickwork. Colors shall match the existing colors, or shall be as selected by the Owner. Paint and stain shall be applied per the product manufacturer's specifications, requirements and recommendations. Stain for the rear stair, landing and railings shall be Cabot's Semi-Solid Decking stain in two coats. Paint and stain shall be applied per the product manufacturer's specifications, requirements and recommendations.
- 09.06** **INTERIOR PAINTING:** Interior paint shall be low VOC Benjamin Moore premium grade low luster latex on wood surfaces and matte latex on gypsum wallboard surface, applied in a minimum of two finish coats over one coat of primer/ undercoat. Interior painting scope includes all gypsum wall board surfaces, trim, window and door surfaces of the additions, as well as portions of the existing house impacted by the Work. Paint shall be applied per the product manufacturer's specifications, requirements and recommendations.
- 09.07** **PAINT PREPARATION:** Interior and exterior priming, painting and required preparation shall be per the specifications, requirements and recommendations of the paint manufacturer for the installation indicated and the conditions encountered.
- 09.08** **TILE: Allowance Item.** Provide and install ceramic, stone or porcelain tile for the Master Bathroom and the Third Floor Hall Bathroom as indicated in the Drawings. Include tile for floor, base shower floor and walls and tub surround, as applicable. Tile material shall be selected by the Owner. Tile work shall conform to the written specifications, requirements and recommendations of the Tile Council of America, AIA Masterspec, and the product manufacturer, as applicable to the work described and the conditions encountered.
- 09.09** **BATH ACCESSORIES : Allowance Item.** Provide and install Owner selected bath accessories and medicine cabinets at Master Bathroom and 2nd and 3rd Floor Hall Bathrooms. Bath accessory finish shall match the Owner selected finish of bath fittings. Bath accessories include, but are not limited to: toilet paper holder; towel bars; robe hooks; soap dishes; and toothbrush holders. Provide all required blocking for a secure and proper installation.
- 09.10** **MIRRORS:** Provide and install mirrors at bathroom in size(s) as indicated in the drawings (where sizes are not indicated, assume that mirror width shall match the vanity width and the height will be 4 feet 4 inches).
- 09.11** **SHOWER DOOR SYSTEM:** Provide and install custom frameless shower doors at Master Bathroom shower. Shower door shall be 3/8" thick clear tempered glass, custom sized . Provide Shop Drawings and cut sheets for review. Provide a watertight installation per manufacturers specifications, requirements and recommendations. Hardware finish shall match the Owner selected finish of bath fittings.
- DIVISION 10-14: NOT INCLUDED**
- DIVISION 15: PLUMBING & MECHANICAL**
- 15.01** **GENERAL:** The Contract for Construction shall include all plumbing and mechanical work required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required.
- 15.02** **CODES & STANDARDS:** Plumbing and mechanical work shall conform to all applicable local, state and national codes and standards, as well as those established by the American Society of Heating, Refrigeration and Air Conditioning Engineers and the Sheet Metal and Air Conditioning Manufacturer's Association in their current publications. The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered.
- 15.03** **GAS FITTING:** Provide gas fitting as required for the gas appliances and equipment specified or as otherwise required to complete the Work. All gas fitting work shall be per the requirements of the International Mechanical Code as well as the any and all other applicable codes, ordinances and standards.
- 15.04** **PLUMBING SYSTEM:** Design, provide and install a complete plumbing system, including all necessary equipment, devices, material, labor, permits and inspections, for the supply of hot and cold water and for the
- sanitary disposal of waste water as required to complete the work. All work shall conform to District of Columbia Water and Sewer Authority Plumbing Code, the IRC Plumbing Code, and all other applicable codes regulations, and requirements. Advise the Architect of modifications to, or deviations from, Construction Documents as required to comply with codes and regulations and to provide a complete and proper installation. Hot and cold supply piping shall be copper with wrought copper sweat fittings. Hot water supply piping shall be insulated for temperature. Sanitary lines shall be PVC, insulated for sound.
- 15.05** **PLUMBING FIXTURES & FITTINGS: Allowance Item.** Provide and install plumbing fixtures and fittings for the Master Bathroom and Third Floor Hall Bathroom as indicated in the Drawings. Final fixtures, fittings, colors and finishes shall be selected by the Owner.
- 15.06** **MISC. PLUMBING HOOKUPS:** Provide plumbing hookups as required for residential appliances.
- 15.07** **HOSE BIBS:** Provide and install two frost free hose bibs at locations to be determined by the Owner.
- 15.08** **HYDRONIC BASEBOARD RADIATORS:** Design, provide and install hydronic baseboard radiators to service the modified areas of the Second and Third Floors of the Expanded House. Extend the existing hydronic system and advise if existing boiler is adequate for additional radiators. Include all necessary equipment, devices, material, labor, permits, and inspections as required to complete the work.
- 15.09** **AIR CONDITIONING SYSTEM:** Design, provide and install a conventionally ducted air conditioning system to service the Sunroom on the First Floor, existing and new Second Floor and entire Third Floor of the Expanded House. The air handler shall be located on the Third Floor as indicated in the Drawings. Include all necessary equipment, devices, material, labor, permits, and inspections, for the supply of cooled air, for the cleaning of the air, for proper air exchange, and for return air as required to complete the work. The condensing unit shall be located on the roof, and the Contractor shall coordinate the location with the solar panel locations.
- 15.10** **MECHANICAL EQUIPMENT AND DUCTING:** All new mechanical equipment shall Carrier Performance Series or approved equal, Energy Star certified, installed to meet the specifications, requirements and recommendations of the manufacturer for the installation required. All HVAC equipment and duct sizing shall follow ACCA Manuals D, J and S. Provide the following, as applicable: high efficiency air handler; 20 SEER or better condensing unit and evaporator coil; electronic air cleaner microelectronic programmable thermostat. All trunk lines and main run-outs shall be hard ducted, flex ducting shall be limited to final runs not to exceed six feet in length. All miscellaneous materials and anchoring devices shall be provided and all equipment shall be installed in accordance with the manufacturer's specifications, recommendations and requirements for a complete installation. Coordinate with plumbing and electrical sub-contractors as required for equipment hookups. Isolate all equipment as required to properly reduce noise transmission.
- 15.11** **MECHANICAL DESIGN CRITERIA & BID SUBMITTAL:** Mechanical (heating and cooling) design shall meet or exceed all requirements of the 2012 International Energy Conservation Code as applicable to a residential installation. Provide provisions for make-up air, coordinating with high CFM range hood exhaust system. Cooling: 20 degree cooling differential; 70 degrees indoor DBF, 50% relative humidity/outdoor 90 degrees DBF and 78 degrees WBF, with 24 hour automatic operation. Assume shades to direct light; a clean filter; normal occupancy; normal cooking; doors to remain closed during cooling season. Heating: 70 degrees indoor/17 degrees outdoor. In conjunction with bid submittal, provide a written description of the proposed mechanical system(s) including cut sheets for all proposed equipment including registers and grills. Prior to project demolition, submit two complete sets of proposed duct layout drawings (Shop Drawings) for review by the Owner and Architect. The drawings shall include proposed locations for all trunk and branch ducts (supply and return), all registers and grilles, all mechanical equipment and controls.
- 15.12** **MISC. MECH. HOOKUPS:** Provide and install ducting and wall/roof caps as required for all exhaust fans.
- DIVISION 16: ELECTRICAL**
- 16.01** **GENERAL:** The Contract for Construction shall include all electrical work required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required.
- 16.02** **CODES & STANDARDS:** Electrical work shall conform to all applicable local, state and national codes and standards, as well as those established by the National Fire Protection Association as described in its current publications. The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered, and shall be UL (Underwriters Laboratory) approved.
- 16.03** **PANEL/LOAD CENTER:** Verify the capacity of the existing electrical service as related to the addition proposed. Provide Electrical Service Upgrade if deemed required. Provide new main panel and/or sub-panels(s), as required. All circuit breakers shall be full module size. Provide Ground Fault Circuit Interrupt breakers as required for all outlets requiring GFCI safety cutoff where indicated and where otherwise required. The Electrical Contractor shall circuit all devices, fixtures, and equipment as required for a complete service. All loads shall be connected for the best possible phase balance.
- 16.04** **PRE WIRING WALK-THRU:** Include provisions for a pre wiring walk-thru by the Contractor or Project Manager, Owner and the Architect. This walk-thru shall take place after all rough-in kits, j-boxes, switch and outlet boxes have been installed, and prior to the installation of all wiring. At this walk-thru, the Owner and the Architect maintain the right to make minor adjustments in fixture and device locations as required for aesthetic effect. All labor and material costs for such minor adjustments shall be included.
- 16.05** **WIRING:** Provide all wiring required to complete the Work indicated. All wiring shall be with copper conductors full rated for the loads served. Circuits shall be connected with loads not to exceed 60% of the breaker trip rating. All electrical wiring shall be run by experienced electricians accurately and in accordance with the requirements of the drawings. All misc. materials and anchoring devices shall be provided and all wiring shall be installed in accordance with the manufacturers specifications, recommendations and requirements for a complete installation. All wiring shall be routed concealed.
- 16.06** **LIGHTING & ELECTRICAL FIXTURES:** Provide and install all lighting and electrical fixtures as indicated in the Drawings. Field verify required clearances prior to procuring fixtures - coordinate with structural items and mechanical ducting as applicable. All electrical fixtures shall be installed by experienced electricians accurately and in accordance with the requirements of the drawings. The exact location of all fixtures shall be determined by the Architect. All misc. materials and anchoring devices shall be provided and all fixtures shall be installed in accordance with the manufacturers specifications, recommendations and requirements.
- 16.07** **SWITCHES AND OUTLETS:** Provide and install all switches and outlets scheduled in the drawings or otherwise required. Unless otherwise indicated, all switches and outlets shall be as manufactured by Lutron, or approved equal. Device colors shall be white. The exact location of all switches and outlets shall be determined by the Architect. Dimmer switches shall be Lutron Ariadni preset dimmers (verify with Owner). The electrical contractor shall properly size dimmers for the lighting loads indicated.
- 16.08** **EQUIPMENT HOOKUPS:** Provide all electrical hookups as required for all equipment scheduled in the drawings or otherwise required to complete the Work, including but not limited to Mechanical Equipment and Residential Appliances. All electrical hookups shall be made by experienced electricians accurately and in accordance with the requirements of the drawings. The exact location of all equipment shall be determined by the Architect. All misc. materials and anchoring devices shall be provided and all equipment shall be installed in accordance with the manufacturer's specifications, recommendations and requirements for a complete installation.
- 16.09** **SECURITY SYSTEM, TELEPHONE OUTLETS, CABLE TV & SOUND SYSTEM:** Coordinate with the Owner for installation of Owner provided security system, telephone system, and for installation of Owner provided Cable TV and sound system.

ELECTRICAL FIXTURE SCHEDULE

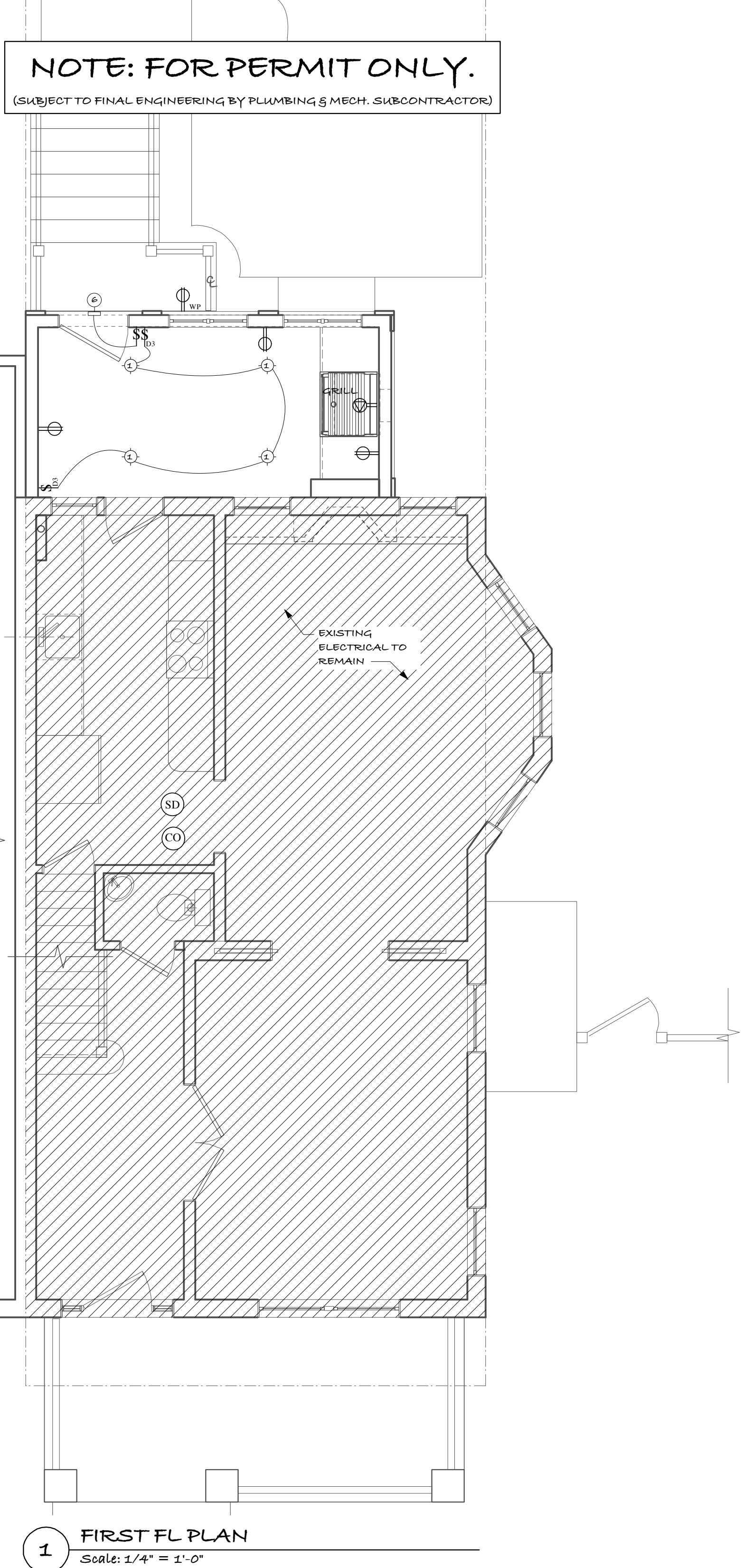
	RECESSED 5" DOWNLIGHT, BASIC: PHILIPS LIGHTOLIER LYTECASTER 5" APERTURE STEP BAFFLE, #1005WH MATTE WHITE STEP BAFFLE REFLECTOR, #1002P1 75W A19 NON-IC OR #1000IC 75W PAR30 IC, PROVIDE MAX. ALL. LAMPS (TYP)
	RECESSED 5" DOWNLIGHT, WET LOCATION: PHILIPS LIGHTOLIER LYTECASTER 5" APERTURE RECESSED DOWNLIGHT FLUSH GLASS WET LOCATION TRIM, #1090 REFLECTOR, #1002P1 75W PAR30L NON-IC OR #1000IC 60W PAR30S IC, PROVIDE MAX. ALL. LAMPS (TYP)
	SURFACE MOUNT FIXTURE: LIGHTING FIXTURE TO BE PROVIDED BY OWNER & INSTALLED BY CONTRACTOR
	CLOSET LENSED LIGHT: ALKCO LITTLE INCH 24" LENGTH MOUNTED AT HEAD OF DOORS INSIDE CLOSET
	INTERIOR SCONCE: TO BE PROVIDED BY OWNER & INSTALLED BY CONTRACTOR
	EXTERIOR SCONCE: TO BE PROVIDED BY OWNER & INSTALLED BY CONTRACTOR
	BROAN HEAT LAMP: BROAN #162 ONE BULB HEATER/FAN, 250W BR40 INFRARED BULB, 70 CFM, IC RATED
	VENT: PANASONIC WHISPER CEILING MOUNTED BATHROOM FAN #FV-11VQ5
	DUAL HEAD & SINGLE HEAD ADJUSTABLE LIGHT WITH MOTION SENSOR: PROGRESS #P5203-30 WITH TWO 100 WATT PAR38 LAMPS

ELECTRICAL SYMBOL LEGEND

\$	SWITCH
\$ ₃	3 WAY SWITCH
\$ _D	DIMMER SWITCH
\$ _J	JAMB SWITCH
	DUPLEX WALL OUTLET
GFCI	DUPLEX OUTLET WITH GROUND FAULT CIRCUIT PROTECTION
WP	WATER PROOF DUPLEX OUTLET
	APPLIANCE OUTLET OR HOOK-UP (COORDINATE W/ APPLIANCE REQ.)
▽	DUAL TEL/ETHERNET JACK. (4-WIRE JACK ABOVE W/ ETHERNET BELOW)
(SD)	HARD WIRED SMOKE DETECTOR. ALL UNITS TO SOUND IN UNISON
(CO)	CARBON DIOXIDE DETECTOR
(C)	OUTLET FOR CABLE TV & ETHERNET HOOK-UP
(C)	CABLE CONNECTION

NOTE: FOR PERMIT ONLY.

(SUBJECT TO FINAL ENGINEERING BY PLUMBING & MECH. SUBCONTRACTOR)



GALLAS RESIDENCE ADDITION & RENOVATION

4430 9TH STREET, NW
WASHINGTON, DC 20011

ELECTRICAL FIRST FL

SCALE: 1/4" = 1'-0"

AHMANN LLC
ARCHITECTURAL SERVICES
4408 BEECHWOOD ROAD UNIVERSITY PARK, MARYLAND 20782

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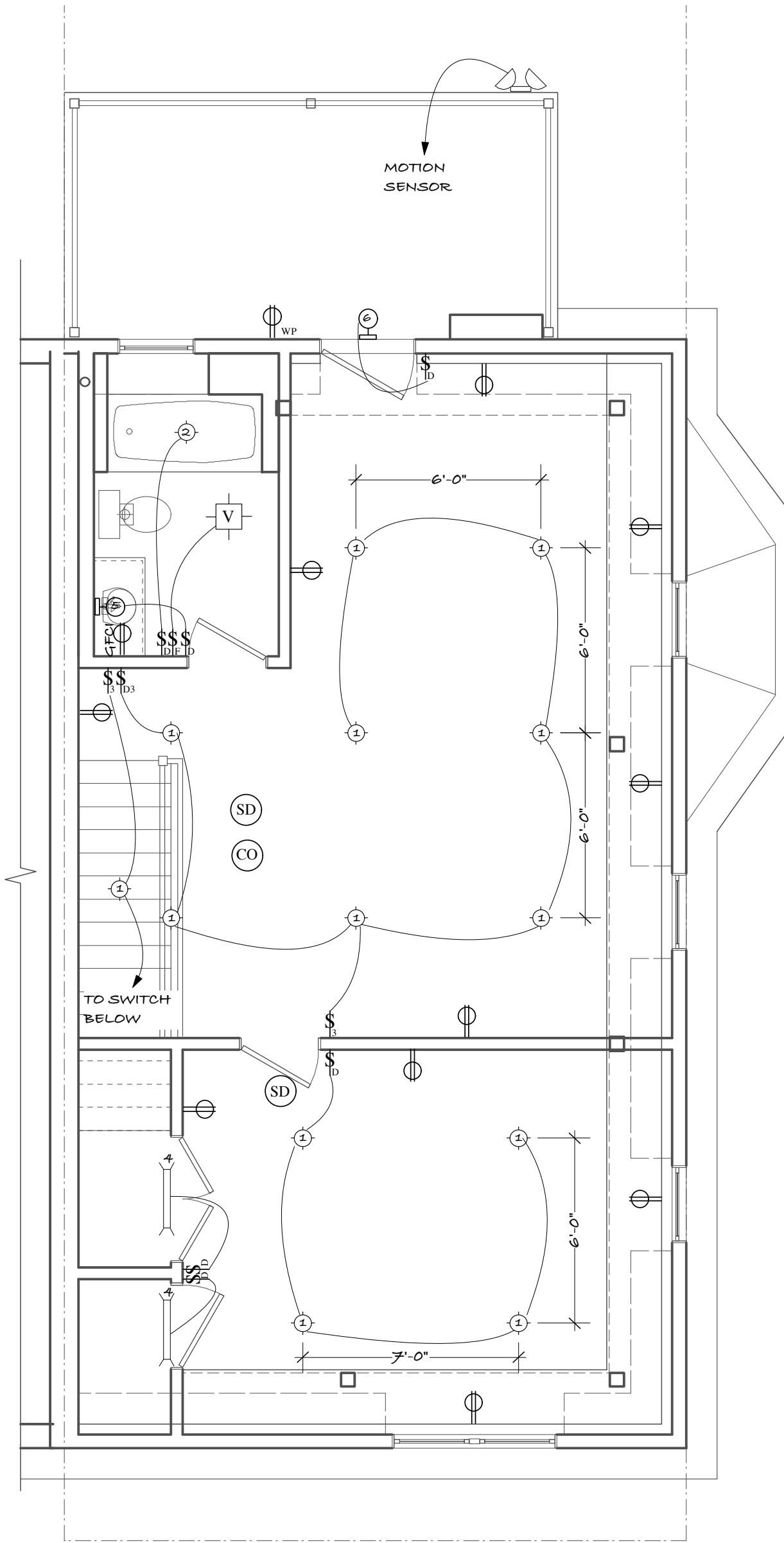
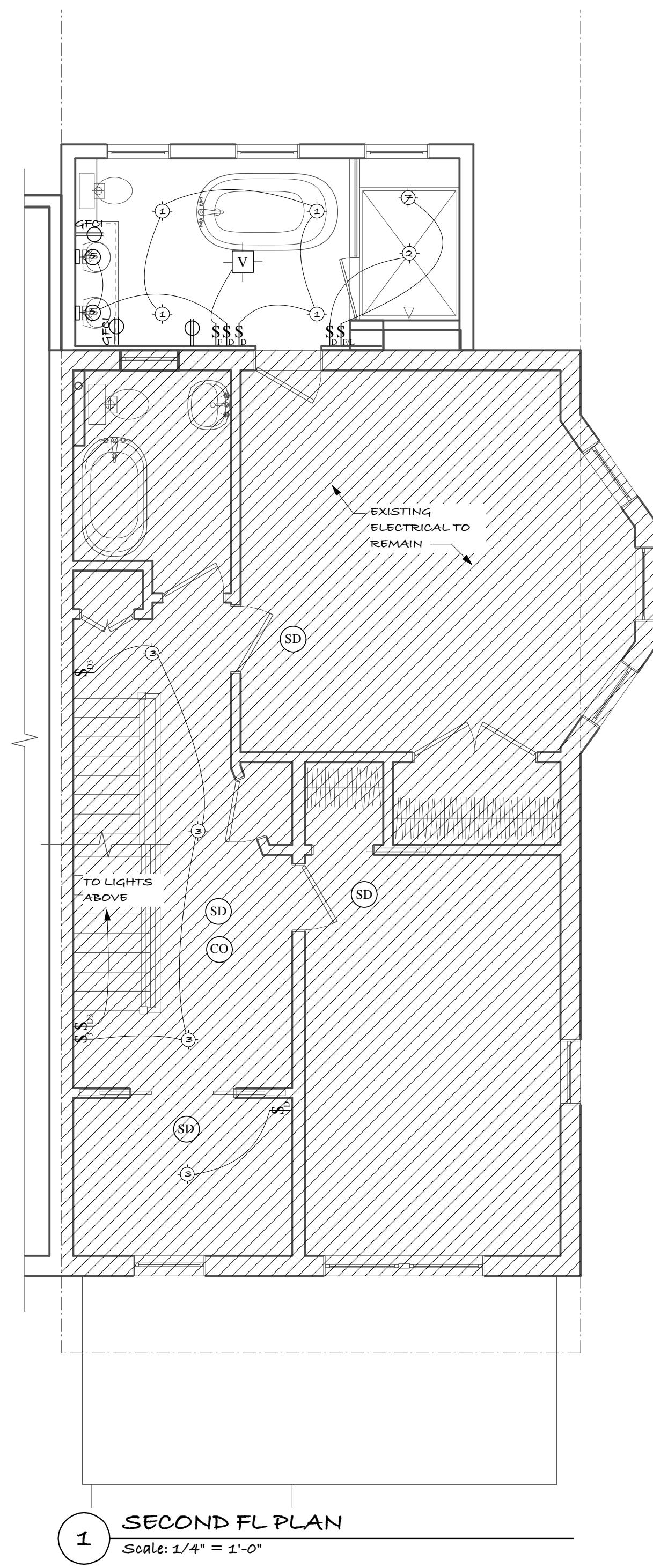
ELECTRICAL
SECOND & THIRD FL

SCALE: 1/4" = 1'-0"

GALLAS RESIDENCE
ADDITION & RENOVATION
4430 9TH STREET, NW
WASHINGTON, DC 20011

NOTE: FOR PERMIT ONLY.

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3RD FL PLAN

Scale: 1/4" = 1'-0"

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MECHANICAL & PLUMBING NOTES

GENERAL: The Contract for Construction shall include all plumbing and mechanical work required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required.

CODES & STANDARDS: Plumbing and mechanical work shall conform to all applicable local, state and national codes and standards, as well as those established by the American Society of Heating, Refrigeration and Air Conditioning Engineers and the Sheet Metal and Air Conditioning Manufacturer's Association in their current publications. The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered.

GAS FITTING: Provide gas fitting as required for the gas appliances and equipment specified or as otherwise required to complete the Work. All gas fitting work shall be per the requirements of the International Mechanical Code as well as the any and all other applicable codes, ordinances and standards.

PLUMBING SYSTEM: Design, provide and install a complete plumbing system, including all necessary equipment, devices, material, labor, permits and inspections, for the supply of hot and cold water and for the sanitary disposal of waste water as required to complete the work. All work shall conform to District of Columbia Water and Sewer Authority Plumbing Code, the IRC Plumbing Code, and all other applicable codes regulations, and requirements. Advise the Architect of modifications to, or deviations from, Construction Documents as required to comply with codes and regulations and to provide a complete and proper installation. Hot and cold supply piping shall be copper with wrought copper sweated fittings. Hot water supply piping shall be insulated for temperature. Sanitary lines shall be PVC, insulated for sound.

PLUMBING FIXTURES & FITTINGS: Allowance Item. Provide and install plumbing fixtures and fittings for the Master Bathroom and Third Floor Hall Bathroom as indicated in the Drawings. Final fixtures, fittings, colors and finishes shall be selected by the Owner.

MISC. PLUMBING HOOKUPS: Provide plumbing hookups as required for residential appliances.

HOSE BIBS: Provide and install two frost free hose bibs at locations to be determined by the Owner.

HYDRONIC BASEBOARD RADIATORS: Design, provide and install hydronic baseboard radiators to service the modified areas of the Second and Third Floors of the Expanded House. Extend the existing hydronic system and advise if existing boiler is adequate for additional radiators. Include all necessary equipment, devices, material, labor, permits, and inspections as required to complete the work.

AIR CONDITIONING SYSTEM: Design, provide and install a conventionally ducted air conditioning system to service the Sunroom on the First Floor, existing and new Second Floor and entire Third Floor of the Expanded House. The air handler shall be located on the Third Floor as indicated in the Drawings. Include all necessary equipment, devices, material, labor, permits, and inspections, for the supply of cooled air, for the cleaning of the air, for proper air exchange, and for return air as required to complete the work. The condensing unit shall be located on the roof, and the Contractor shall coordinate the location with the solar panel locations.

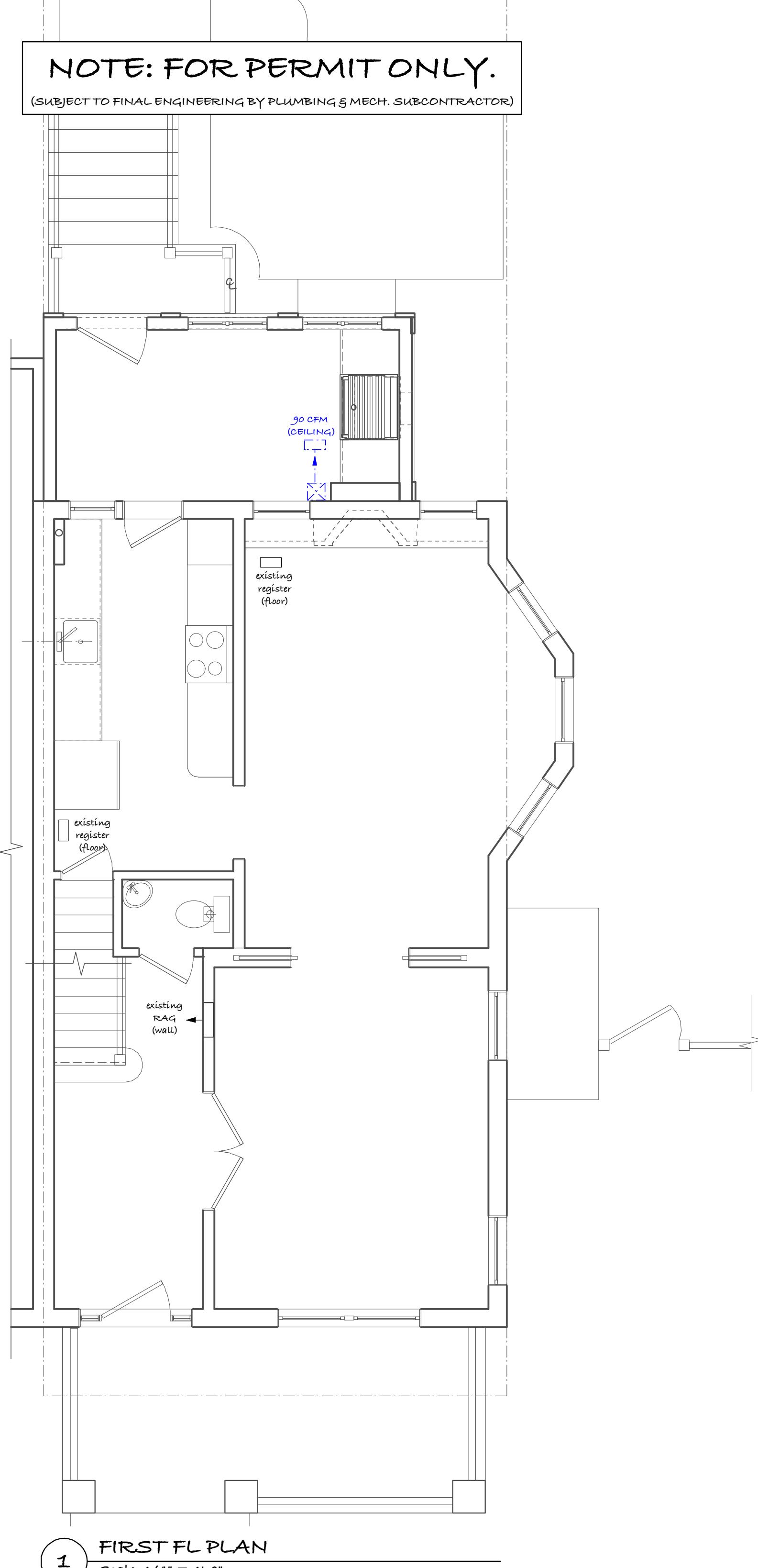
MECHANICAL EQUIPMENT AND DUCTING: All new mechanical equipment shall Carrier Performance Series or approved equal, Energy Star certified, installed to meet the specifications, requirements and recommendations of the manufacturer for the installation required. All HVAC equipment and duct sizing shall follow ACCA Manuals D, J and S. Provide the following, as applicable: high efficiency air handler; 20 SEER or better condensing unit and evaporator coil; electronic air cleaner microelectronic programmable thermostat. All trunk lines and main run-outs shall be hard ducted, flex ducting shall be limited to final runs not to exceed six feet in length. All miscellaneous materials and anchoring devices shall be provided and all equipment shall be installed in accordance with the manufacturer's specifications, recommendations and requirements for a complete installation. Coordinate with plumbing and electrical sub-contractors as required for equipment hookups. Isolate all equipment as required to properly reduce noise transmission. Note that relocation of the existing return air duct to the air-handler in the basement is required.

MECHANICAL DESIGN CRITERIA & BID SUBMITTAL: Mechanical (heating and cooling) design shall meet or exceed all requirements of the 2012 International Energy Conservation Code as applicable to a residential installation. Provide provisions for make-up air, coordinating with high CFM range hood exhaust system. Cooling: 20 degree cooling differential; 70 degrees indoor DBF, 50% relative humidity/outdoor 90 degrees DBF and 78 degrees WBF, with 24 hour automatic operation. Assume shades to direct light; a clean filter; normal occupancy; normal cooking; doors to remain closed during cooling season. Heating: 70 degrees indoor/17 degrees outdoor. In conjunction with bid submittal, provide a written description of the proposed mechanical system(s) including cut sheets for all proposed equipment including registers and grills. Prior to project demolition, submit two complete sets of proposed duct layout drawings (Shop Drawings) for review by the Owner and Architect. The drawings shall include proposed locations for all trunk and branch ducts (supply and return), all registers and grilles, all mechanical equipment and controls.

MISC. MECH. HOOKUPS: Provide and install ducting and wall/roof caps as required for all exhaust fans.

NOTE: FOR PERMIT ONLY.

(SUBJECT TO FINAL ENGINEERING BY PLUMBING & MECH. SUBCONTRACTOR)



GALLAS RESIDENCE
ADDITION & RENOVATION

4430 9TH STREET, NW
WASHINGTON, DC 20011

MECH/PLUMBING
FIRST FL

SCALE: 1/4" = 1'-0"

AHMANN LLC
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**MECH/PLUMBING
SECOND & THIRD FL**

SCALE: 1/4" = 1'-0"

GALLAS RESIDENCE
ADDITION & RENOVATION

4430 9TH STREET, NW
WASHINGTON, DC 20011

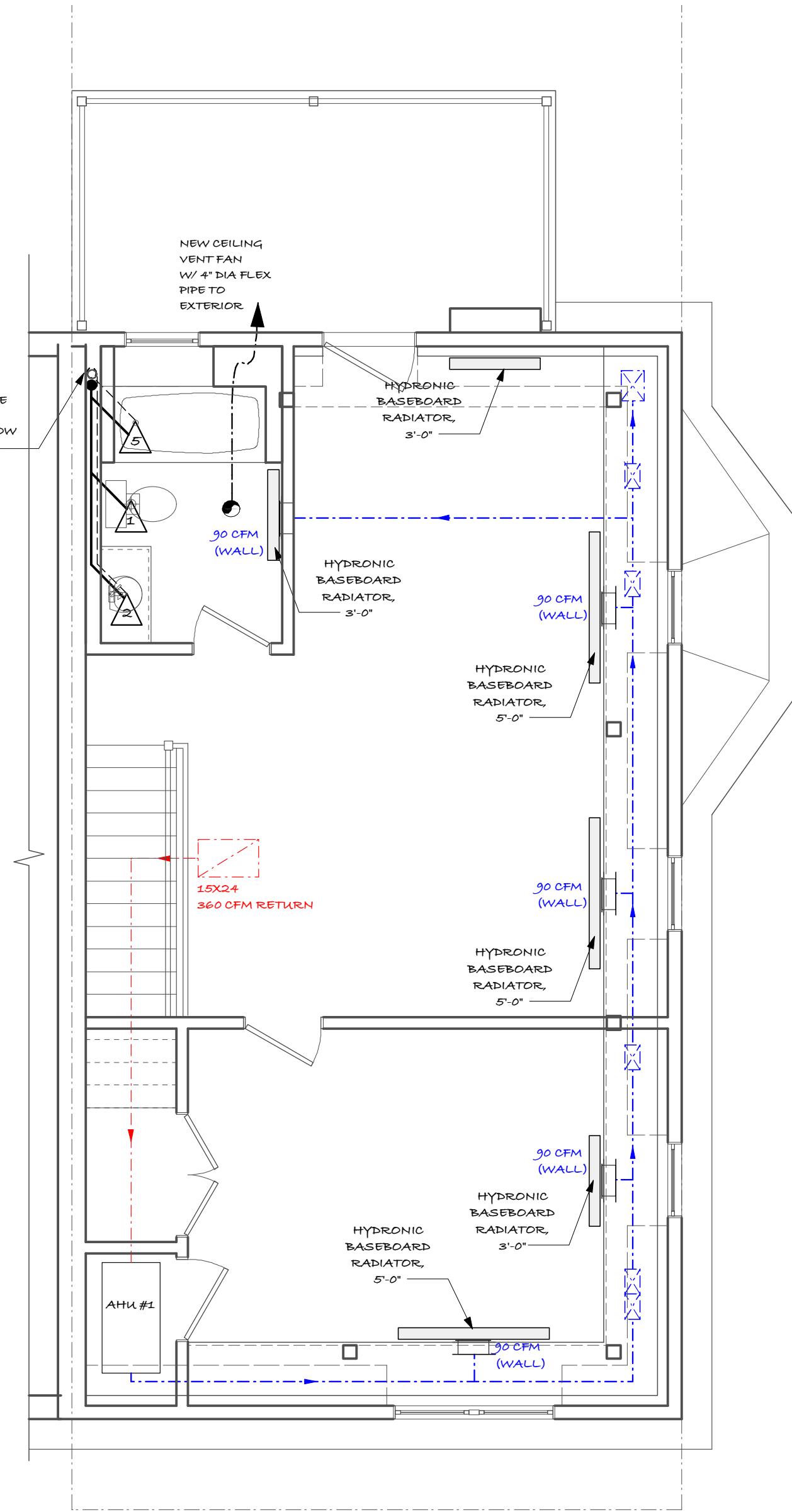
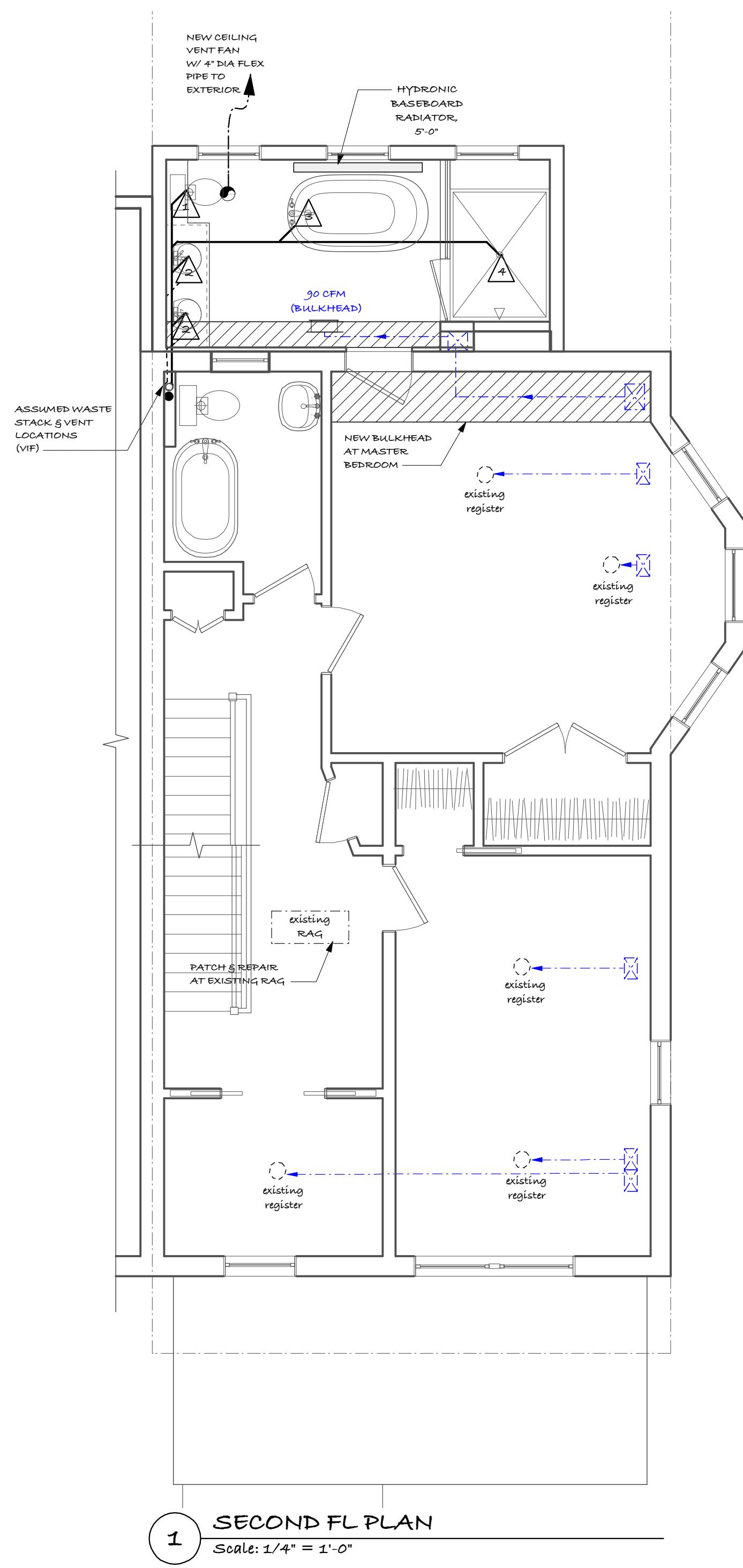
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MECH/PLUMBING RISER DIAGRAMS

SCALE: NONE

4430 9TH STREET, NW
WASHINGTON, DC 20011

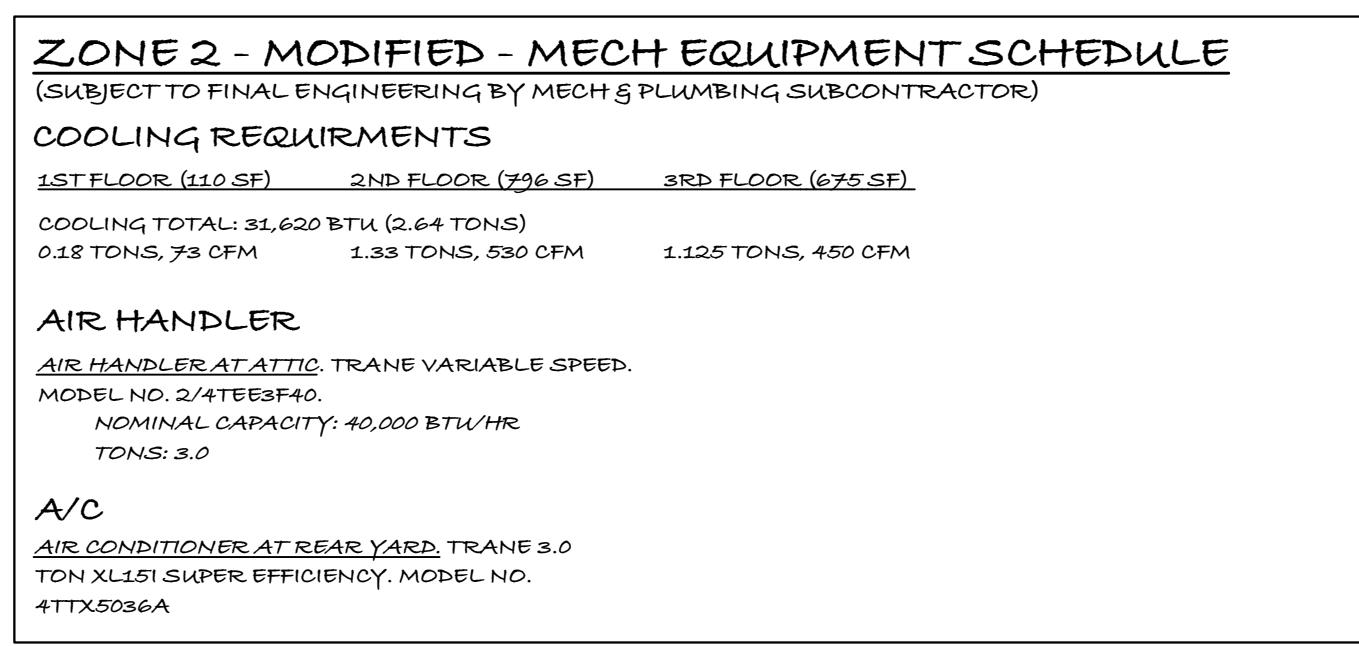
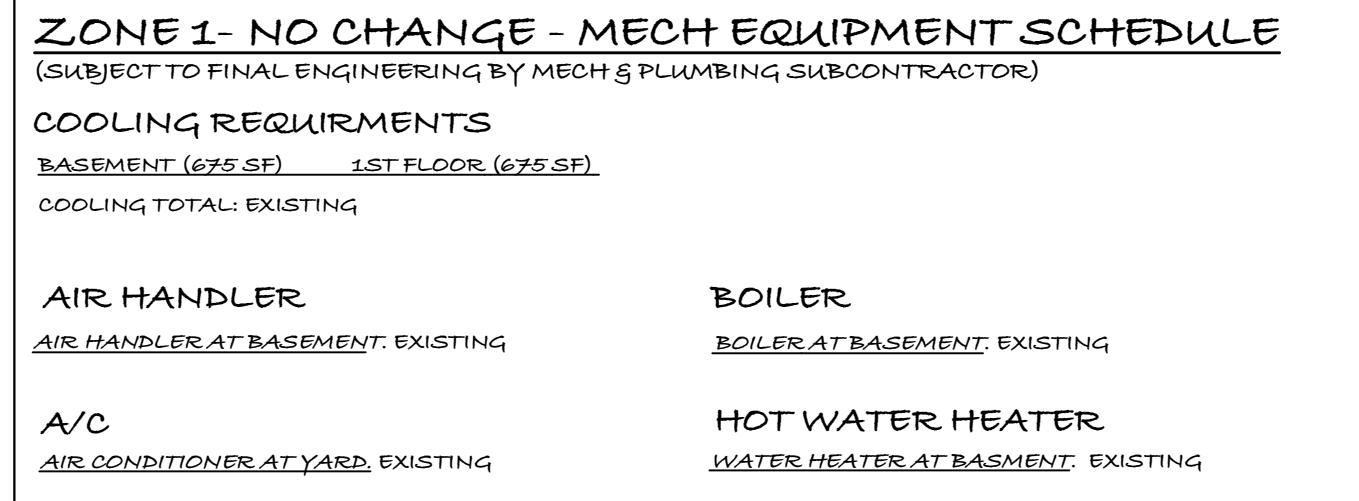
GALLAS RESIDENCE ADDITION & RENOVATION

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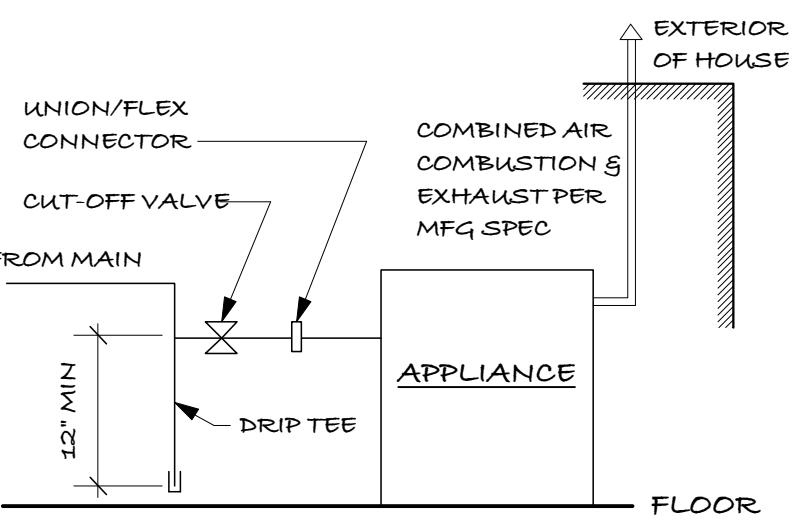
MP-3

NOTE: FOR PERMIT ONLY.

(SUBJECT TO FINAL ENGINEERING BY PLUMBING & MECH. SUBCONTRACTOR)



APPLIANCE CONNECTION & VENTING DIAGRAM



MECHANICAL EQUIPMENT LEGEND

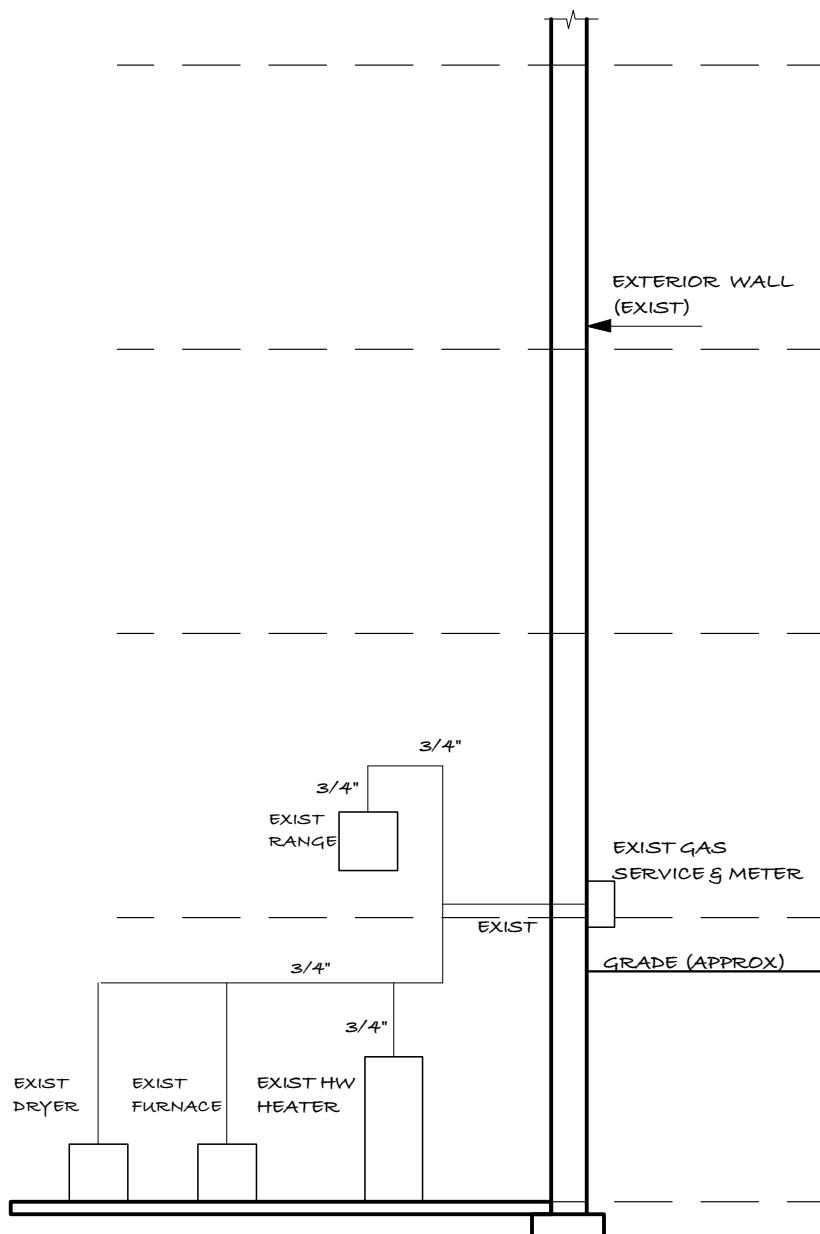
	WATER HEATER WHERE INDICATED
	CEILING FAN W/4" DIA FLEX PIPE TO EXTERIOR
	RANGE FAN W/6" DIA FLEX PIPE TO EXTERIOR
	FLOOR REGISTER
	CEILING REGISTER
	FURNACE WHERE INDICATED
	WALL REGISTER

PLUMBING FIXTURE SCHEDULE

- 1 TOILET - WATER SAVER TOILET TO BE SELECTED BY OWNER AND INSTALLED BY CONTRACTOR
- 4 SHOWER - CUSTOM TILED SHOWER WITH RAINHEAD & HANDHELD SHOWERS W/ BODY SPRAYS
- 2 LAVATORY SINK - UNDERMOUNT IN VANITY COUNTER. SINK & VANITY TO BE SELECTED BY OWNER & INSTALLED BY CONTRACTOR.
- 5 SHOWER / TUB COMBO - CUSTOM TILED SHOWER WITH SHOWERHEAD, TUB SPOUT & HANDHELD SPRAY
- 3 FREESTANDING TUB - SELECTED BY OWNER AND INSTALLED BY CONTRACTOR

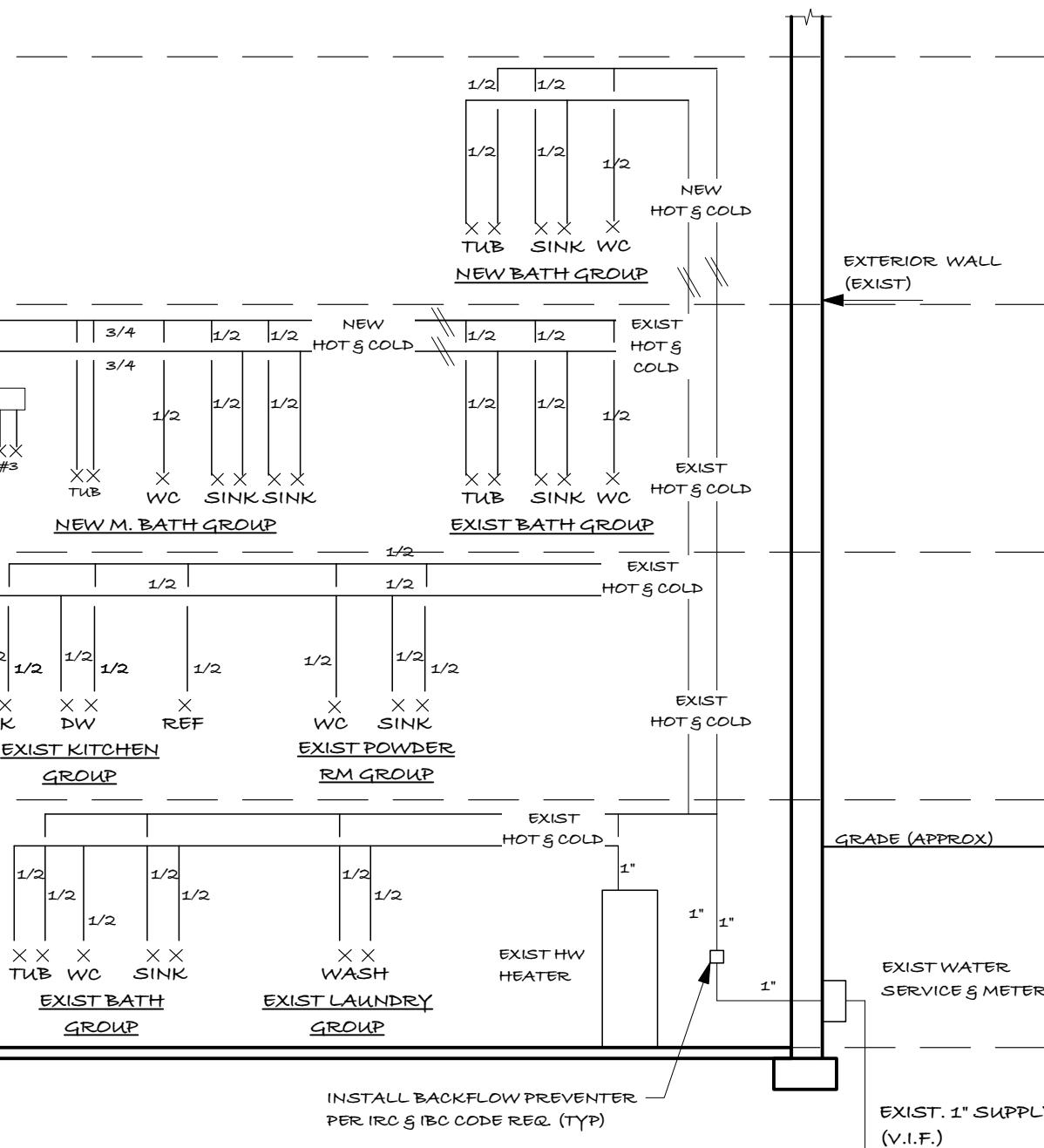
GAS RISER DIAGRAM*

(SUBJECT TO FINAL ENGINEERING BY MECH & PLUMBING SUBCONTRACTOR)



WATER SUPPLY RISER DIAGRAM*

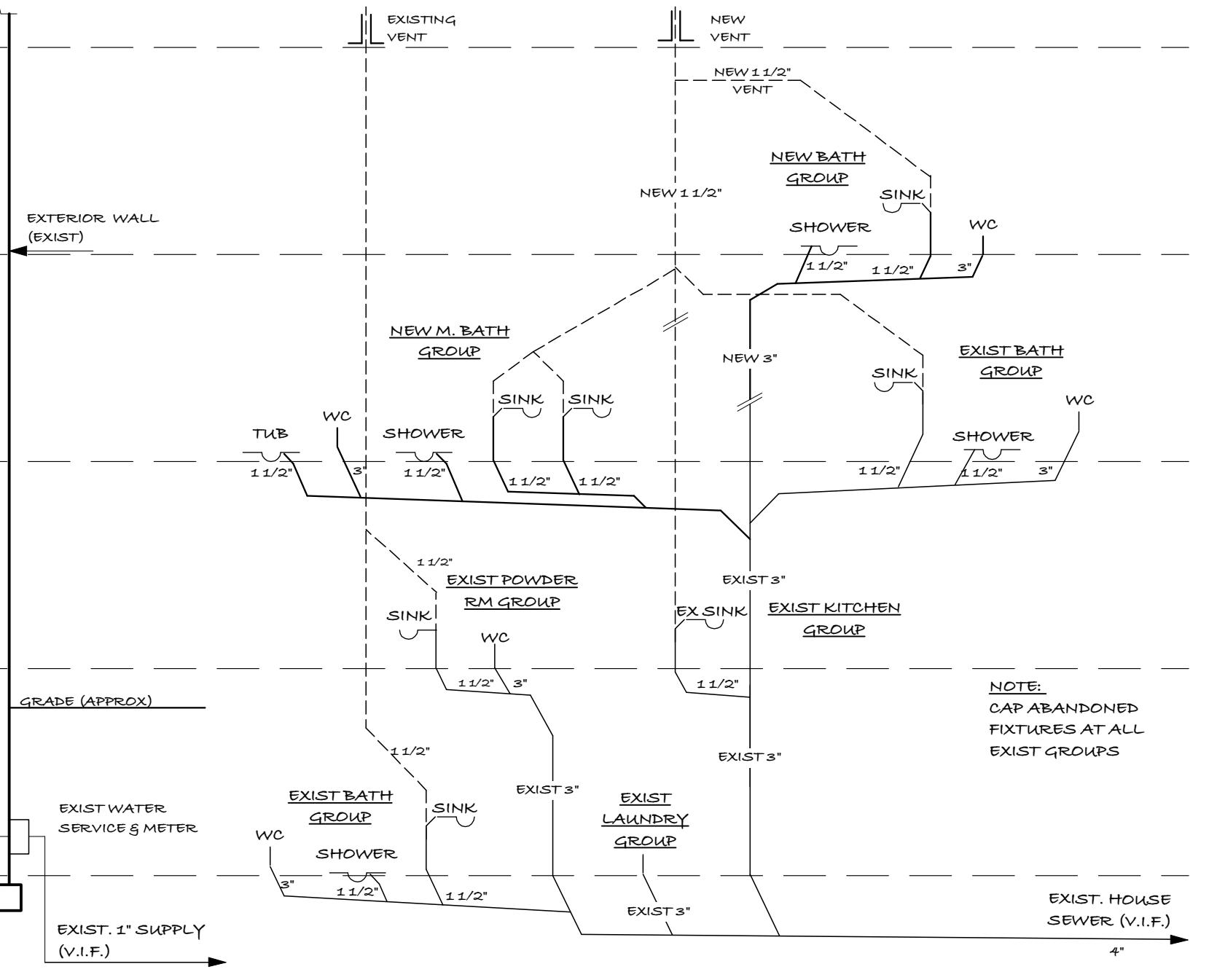
(SUBJECT TO FINAL ENGINEERING BY MECH & PLUMBING SUBCONTRACTOR)



* NOTE: EXIST CONDITIONS ASSUMED UNLESS INDICATED OTHERWISE(V.I.F.)

WASTE/VENTRISER DIAGRAM*

(SUBJECT TO FINAL ENGINEERING BY MECH & PLUMBING SUBCONTRACTOR)



STRUCTURAL FOUNDATION, 1ST & 2ND FL

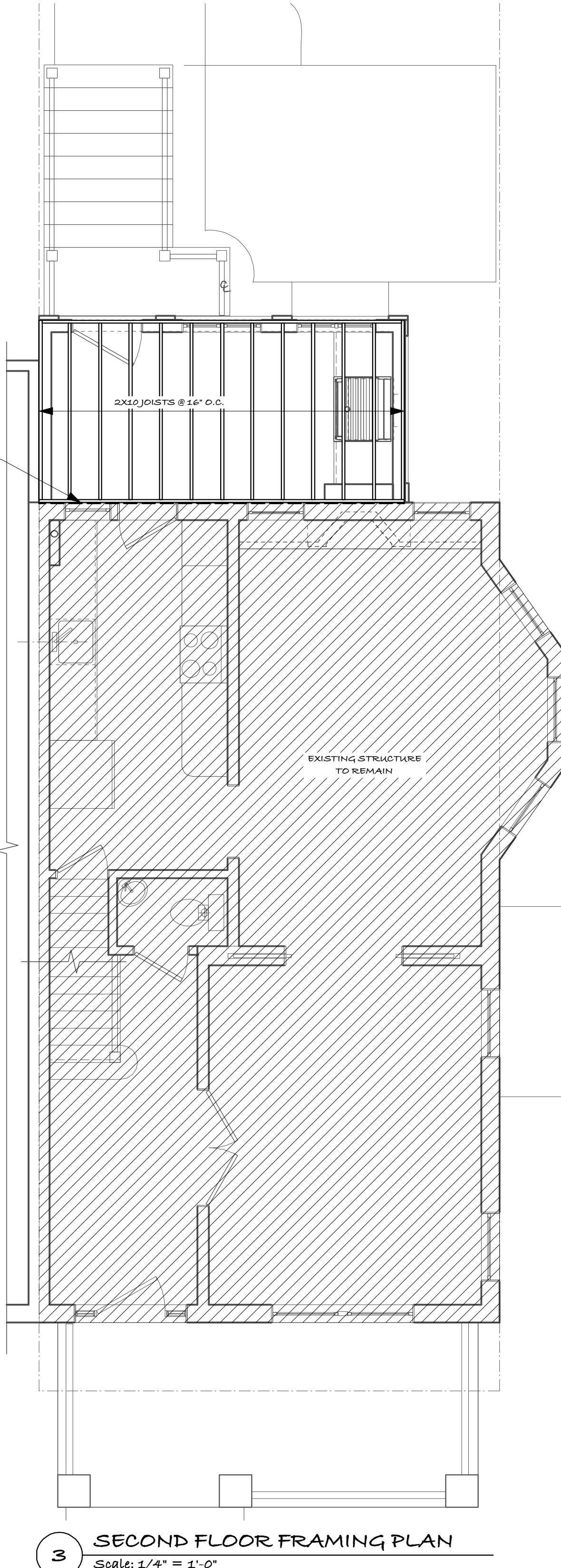
GALLAS RESIDENCE
ADDITION & RENOVATION

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WASHINGTON, DC 20011

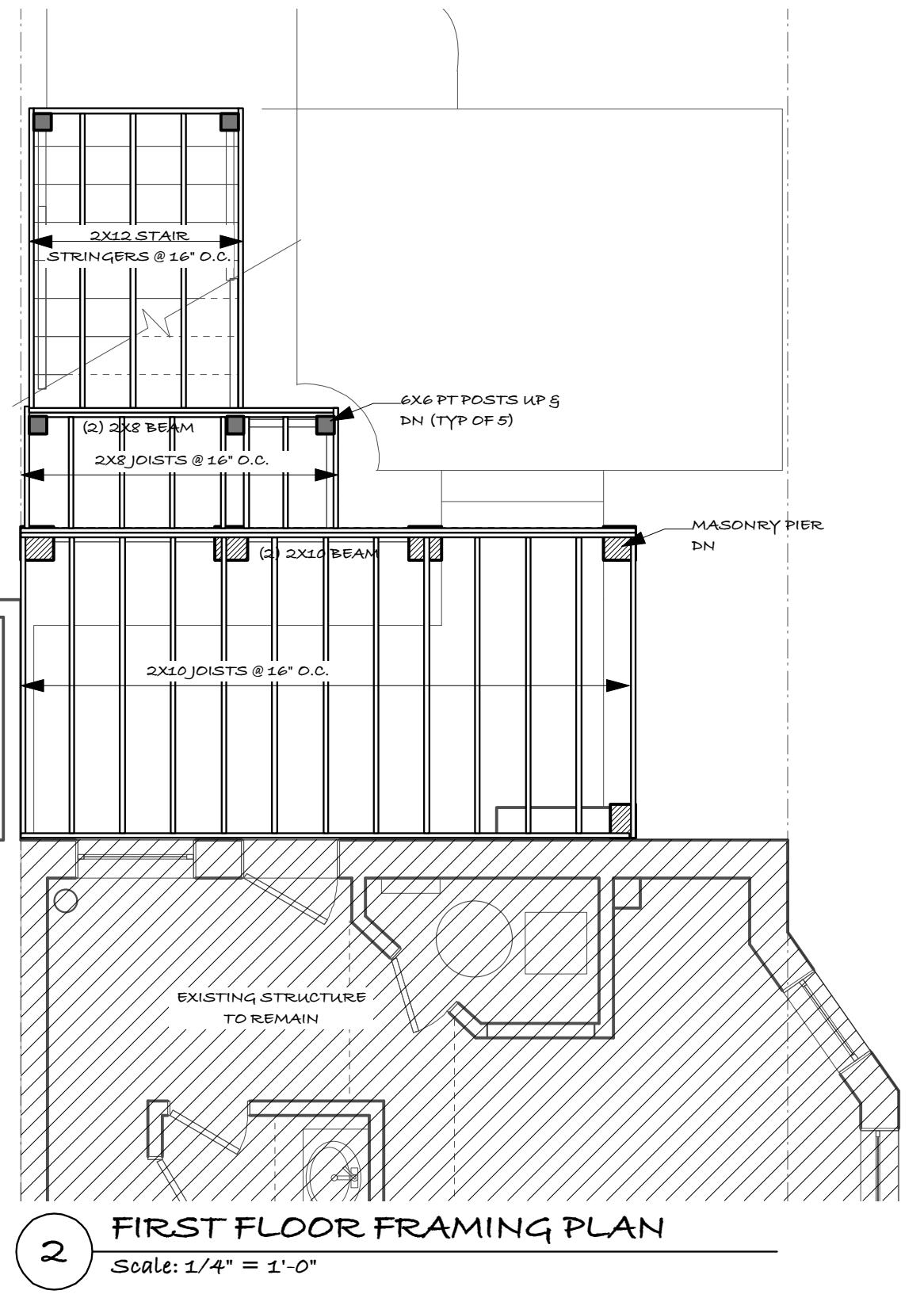
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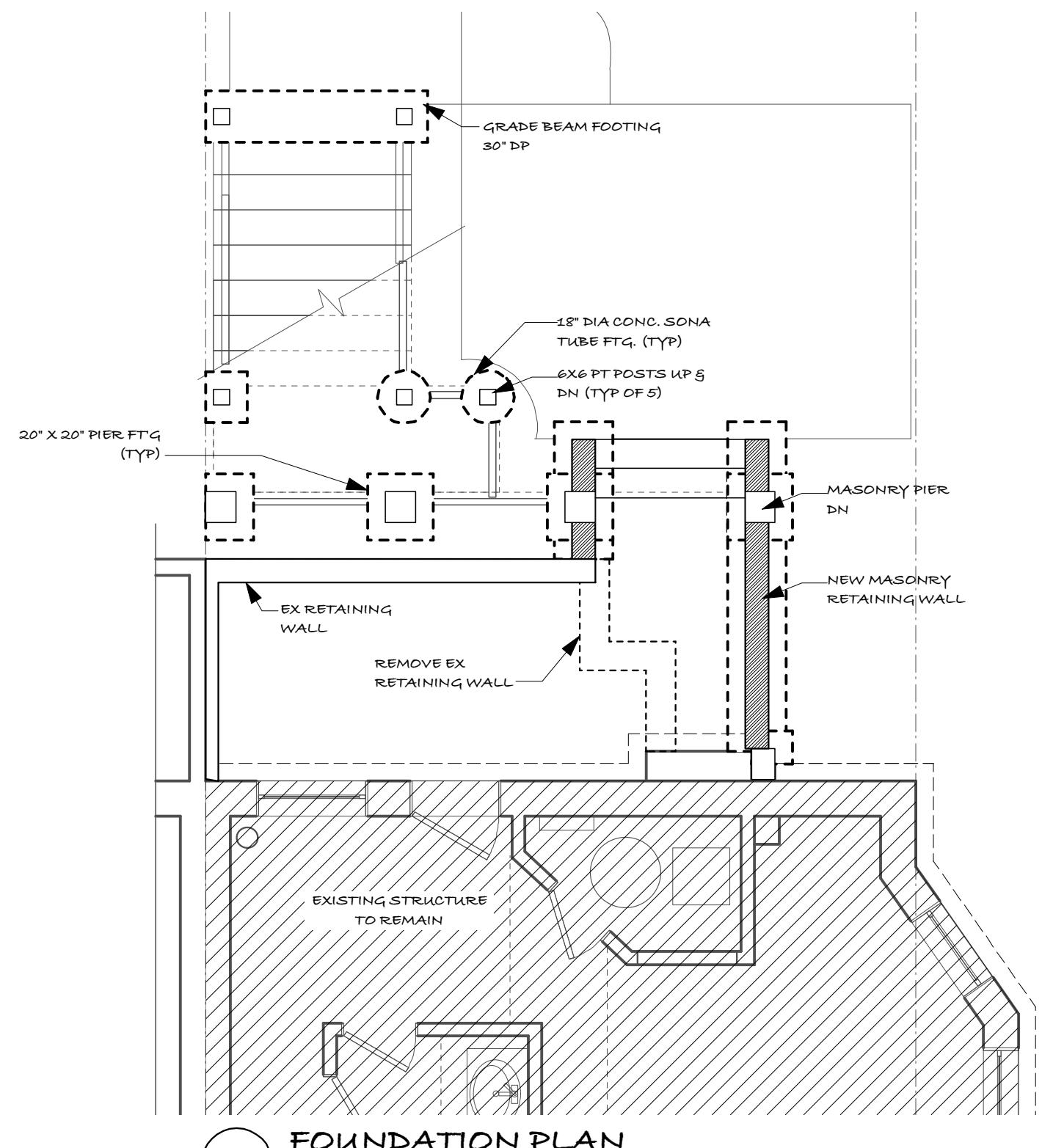
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SECOND FLOOR FRAMING PLAN
Scale: 1/4" = 1'-0"



FIRST FLOOR FRAMING PLAN
Scale: 1/4" = 1'-0"



FOUNDATION PLAN
Scale: 1/4" = 1'-0"

STRUCTURAL 3RD FL & ROOF FRAMING

GALLAS RESIDENCE
ADDITION & RENOVATION

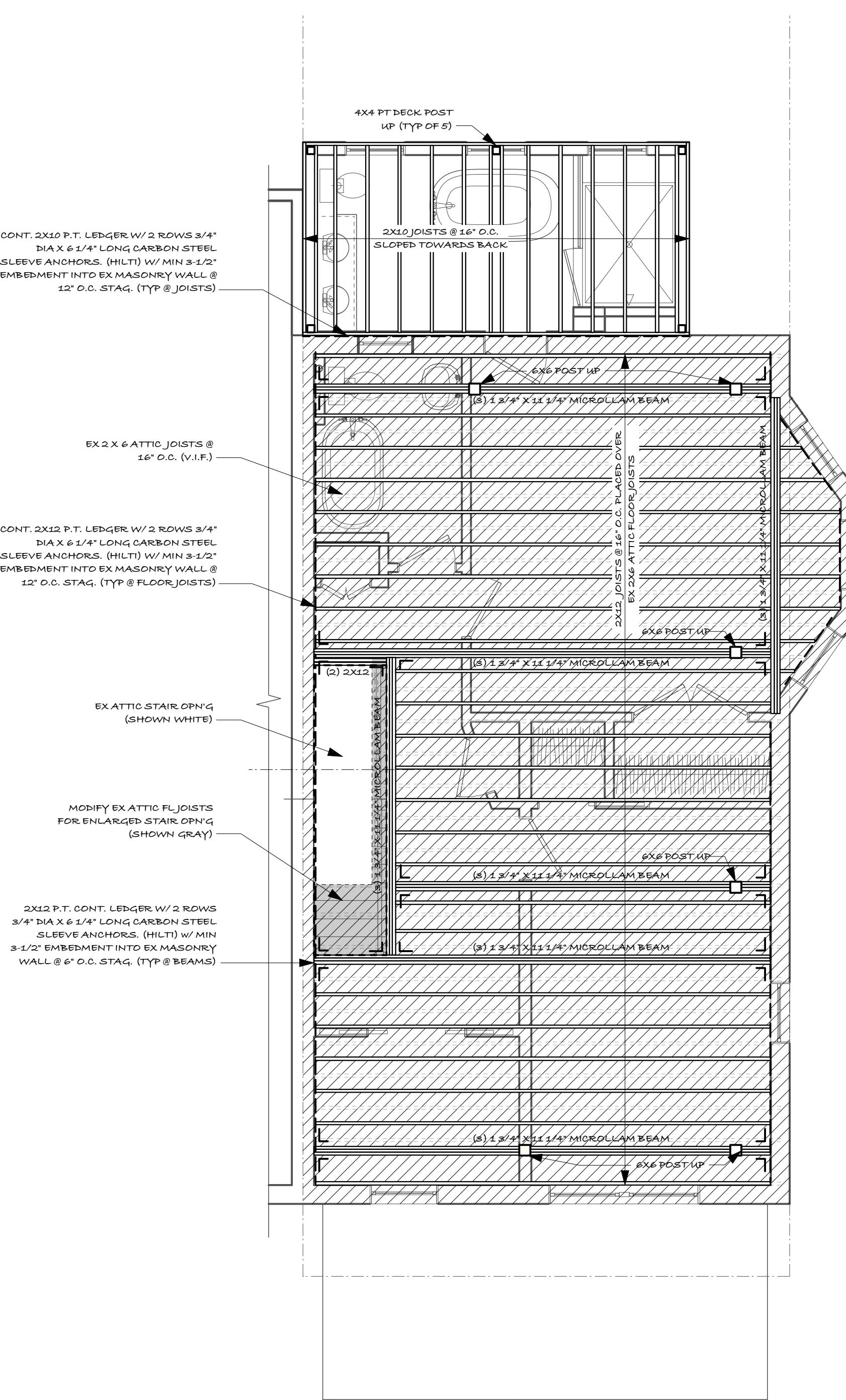
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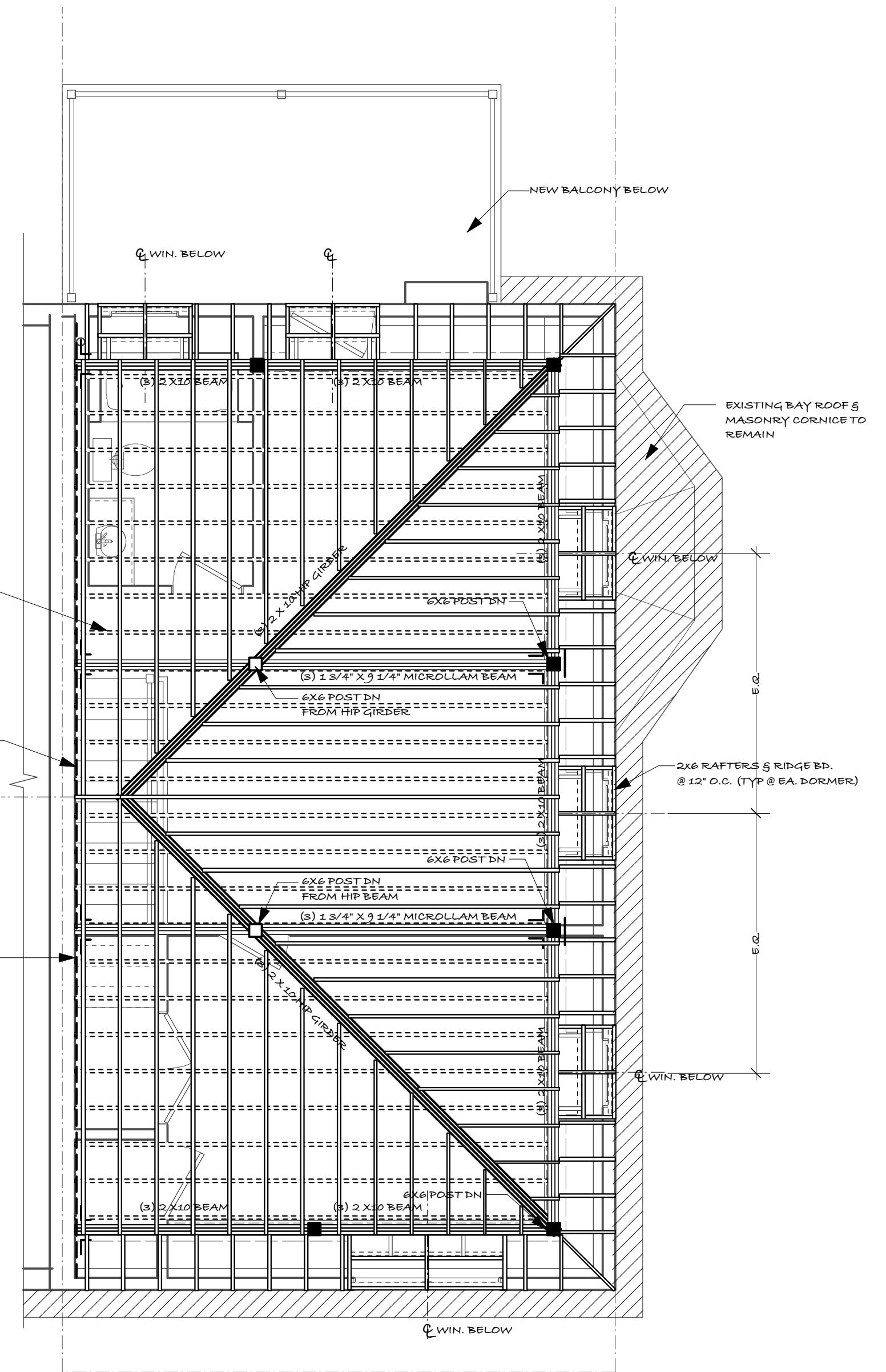
S-2

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1 THIRD FLOOR FRAMING PLAN

Scale: 1/4" = 1'-0"



2 ROOF FRAMING PLAN

Scale: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

GALLAS RESIDENCE
ADDITION & RENOVATION

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STRUCTURAL
NOTES & DETAILS

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STRUCTURAL SPECIFICATIONS

1. GENERAL

A. THE FOLLOWING LOADING WAS UTILIZED IN THE DESIGN BASED ON IRC 2012:

LIVE LOAD:

ROOF SNOW LOAD = 30 PSF; ROOMS OTHER THAN SLEEPING = 40 PSF, SLEEPING ROOMS = 30 PSF, STAIRS = 40 PSF, DECKS = 40 PSF, EXTERIOR BALCONIES = 60 PSF

DEAD LOAD:

A MINIMUM OF 12 PSF FOR FLOOR DEAD LOAD AND 15 PSF FOR ROOF DEAD LOAD WAS ADDED IN THE DESIGN.

WIND LOAD:

BASIC WIND SPEED (3-SECOND GUST) = 90 MPH; IMPORTANCE FACTOR IW = 1.0; WIND EXPOSURE = B; BASIC WIND-FORCE-RESISTING SYSTEM = BEARING WALL SYSTEMS WITH WOOD STRUCTURAL PANEL SHEATHING.

SNOW LOAD:

GROUND SNOW LOAD PG = 30 PSF; FLAT ROOF SNOW LOAD PF = 21 PSF.

B. THE FOUNDATION AND FRAMING PLANS ARE SCHEMATIC AND ARE INTENDED ONLY TO DEFINE THE GENERAL REQUIREMENTS AND CONCEPTS OF THE WORK. THEY DO NOT SHOW ALL DETAILS AND REQUIREMENTS OF THE WORK AND ARE NOT NECESSARILY COORDINATED WITH THE ARCHITECTURAL, ELECTRICAL, MECHANICAL AND PLUMBING REQUIREMENTS OF THE WORK. THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER IS RESPONSIBLE FOR ASSURING THAT ALL ITEMS REQUIRED FOR A COMPLETE STRUCTURAL SYSTEM IN ACCORDANCE WITH THE CONCEPTS INDICATED ARE PROVIDED AND INSTALLED. THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER IS RESPONSIBLE FOR COORDINATION OF THE STRUCTURAL WORK WITH OTHER TRADES, AND FOR ARRANGING OFFSETS, SECURING ADDITIONAL MATERIAL, ETC. AS MAY BE REQUIRED BY SUCH COORDINATION.

C. THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER SHALL COORDINATE THE PLACEMENT OF ALL FOUNDATION, SLAB AND FRAMING ELEMENTS AS REQUIRED FOR EXACT PLACEMENT OF MECHANICAL, ELECTRICAL, PLUMBING AND ANY OTHER ELEMENTS AS INDICATED IN THE DRAWINGS, INCLUDING BUT NOT LIMITED TO: LIGHTING FIXTURES, MECHANICAL REGISTERS AND GRILLES, PLUMBING FIXTURES.

D. ANY MATERIAL OR EQUIPMENT NOT SHOWN ON THE STRUCTURAL DRAWINGS AND HAVING A WEIGHT IN EXCESS OF 400 POUNDS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION.

E. THE BASIC STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF THE FLOORS, WALLS, AND ROOF ACTING TOGETHER. THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER SHALL ARRANGE FOR ALL GUYS, BRACES, STRUTS, ETC. AS REQUIRED TO ACCOMMODATE ALL LIVE, DEAD, AND WIND LOADS UNTIL ALL FINAL CONNECTIONS BETWEEN THESE ELEMENTS ARE MADE.

2. EARTHWORK

A. SOIL BEARING VALUE AT THE BOTTOM OF ALL FOOTINGS IS **4000 PSF**. THIS VALUE IS TO BE VERIFIED IN THE FIELD PRIOR TO POURING.

SEE SOIL BEARING REPORT PROVIDED BY GEOTECH ENGINEERS, INC, 10 APRIL 2015.

B. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISH EXTERIOR GRADE. WHERE REQUIRED, STEP FOOTINGS IN RATIO OF 2 HORIZONTAL TO 1 VERTICAL. FOOTING DEPTHS ARE SHOWN SCHEMATICALLY AND ARE SUBJECT TO FIELD VERIFICATION OF EXISTING CONDITIONS AND REVIEW OF SOIL CONDITIONS BY A REGISTERED ENGINEER EXPERIENCED IN SOILS ENGINEERING.

C. COMPACTED BACKFILL BELOW BUILDING SLABS & FOOTINGS: ALL SOIL FILL MATERIAL MUST BE APPROVED BY SOILS ENGINEER PRIOR TO PLACEMENT. MATERIAL TO BE FREE FROM ORGANIC MATERIAL, TRASH, MUCK, CONCRETE, ASPHALT, OR OTHER DELETERIOUS SUBSTANCES. PRIOR TO PLACING FILL, THE EXISTING SURFACE SHALL BE CLEARED OF ALL REFUSE OR ORGANIC MATERIALS. FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPAKTED TO MINIMUM 95% OF THE DRY MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557 PRIOR TO PROCEEDING WITH THE FOOTING WORK.

3. CONCRETE

A. ALL CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTH (FC) = 3000 PSI IN 28 DAYS. ALL CONCRETE TO BE POURED IN ACCORDANCE WITH ACI 301-83 SPECIFICATION. CONCRETE EXPOSED TO WEATHER TO BE AIR-ENTRAINED.

B. ALL REINFORCING STEEL SHALL MEET ASTM-A-615 GRADE 60. PLACING PLANS AND SHOP FABRICATION DETAILS SHALL BE IN ACCORDANCE WITH "THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES."

C. PROVIDE CLEAR DISTANCE TO OUTERMOST REINFORCING AS FOLLOWS:

3/4" IN SLABS AND WALLS AT FACES NOT EXPOSED TO WEATHER

1 1/2" IN BEAMS AT BOTTOM AND SIDES; IN COLUMNS

1 1/2" IN SLABS AT BOTTOM POURED OVER VAPOR BARRIER

2" IN ALL MEMBERS EXPOSED TO WEATHER OR BACKFILL

3" IN CONCRETE POURED AGAINST EARTH

4. WOOD

A. COMPLY WITH THE "MANUAL OF HOUSE FRAMING" BY THE NATIONAL FOREST PRODUCTS ASSOCIATION, INCLUDING NAILING, FIRESTOPPING, ANCHORAGE, FRAMING, AND BRACING. DOUBLE JOISTS AT ALL OPENINGS (HEADER AND TRIMMER) AND UNDER ALL PARTITIONS PARALLEL TO THE JOISTS. PROVIDE PRESERVATIVE TREATED WOOD WHERE IN DIRECT CONTACT WITH CONCRETE OR MASONRY (INCLUDING BUT NOT LIMITED TO SILL PLATES AND LEDGER BOARDS) OR WHERE WITHIN 8 INCHES OF EARTH, AS WELL AS CANTS, NAILERS, BLOCKING, FURRING, STRIPPING, AND SIMILAR ITEMS IN CONNECTION WITH ROOFING, FLASHING, VAPOR BARRIER, AND WATERPROOFING MEMBRANES.

B. ALL FRAMING LUMBER SHALL BE HEM FIR, GRADE #2 OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES:

BENDING STRESS "FB" = 850 PSI FOR SINGLE MEMBER

BENDING STRESS "FB" = 977.5 PSI FOR REPETITIVE MEMBER

TENSION PARALLEL TO GRAIN "FT" = 525PSI

HORIZONTAL SHEAR "FV" = 150 PSI

COMPRESSION PERP. TO GRAIN "FC" = 405 PSI

COMPRESSION PARALLEL TO GRAIN "FC" = 1300 PSI

MODULUS OF ELASTICITY "E" = 1,300,000 PSI

C. ALL STRUCTURAL POSTS HAVING THE FOLLOWING MINIMUM PROPERTIES:

BENDING STRESS "FB" = 1200 PSI FOR SINGLE MEMBER

BENDING STRESS "FB" = 1400 PSI FOR REPETITIVE MEMBER

HORIZONTAL SHEAR "FV" = 90 PSI

COMPRESSION PERP. TO GRAIN "FC" = 565 PSI

COMPRESSION PARALLEL TO GRAIN "FC" = 1000 PSI

MODULUS OF ELASTICITY "E" = 1,600,000 PSI

D. MICROLAM BEAMS SHALL BE AS MANUFACTURED BY TRUSJOIST MACMILLAN, OR EQUAL, AND SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

BENDING STRESS "FB" = 2400 PSI

HORIZONTAL SHEAR "FV" = 285 PSI

MODULUS OF ELASTICITY "E" = 2,000,000 PSI

E. ALL ROOF RAFTERS SHALL BE CONNECTED AT EACH BEARING POINT WITH ONE PREFABRICATED GALVANIZED METAL CONNECTOR. EACH ANCHOR SHALL BE 18 GAUGE MINIMUM AND SHALL BE ATTACHED TO HAVE THE CAPACITY TO RESIST A 450# LOADING UNLESS OTHERWISE INDICATED OR REQUIRED.

F. ALL WOOD BLOCKING, NAILERS, ETC. SHALL BE ATTACHED TO CONCRETE WITH POWER ACTUATED FASTENERS OR 3/8" DIAMETER BOLTS UNLESS OTHERWISE INDICATED OR REQUIRED. FASTENERS SHALL BE SPACED AT 24 INCHES MAXIMUM O.C. AND SHALL BE STAGGERED. FASTENERS SHALL HAVE A MINIMUM CAPACITY OF 100 LBS IN SHEAR AND PULL-OUT UNLESS OTHERWISE INDICATED OR REQUIRED.

SCALE: 1/4" = 1'-0"