

Progress Issue Jan. 20th, 2015
ADDITION & RENOVATIONS TO
VANDEVENTER &
CHERBAKOV RESIDENCE
1728 Church Street, NW Wash, DC 20036
ZONING SUMMARY (See Attached Letter, Sheet A-Ob)

SUBJECT PROPERTY:
 1728 CHURCH STREET, N.W.
 WASHINGTON, DC 20036

SQUARE: 0156 LOT: 0318 ZONE: R-5-B

EXISTING USE: SINGLE FAMILY RESIDENTIAL / ROW DWELLING
 PROPOSED USE: SINGLE FAMILY RESIDENTIAL / ROW DWELLING

BUILDING HEIGHT:
 MAX ALLOWABLE HEIGHT: 50 FT. / NO LIMIT ON STORIES
 EXISTING HEIGHT: 32 FT. / 3 STORIES INCL BASEMENT
 PROPOSED HEIGHT: NO CHANGE

LOT AREA:
 MIN. REQUIRED LOT AREA: NONE PRESCRIBED
 EXISTING LOT AREA: 1710 SQ. FT.
 MIN. REQUIRED LOT WIDTH: NONE PRESCRIBED
 EXISTING LOT WIDTH: 18.00 FEET

FAR:
 MAXIMUM RESIDENTIAL FLOOR AREA RATIO: 1.80 / 3078 SQ. FT.
 PROPOSED FAR (INCLUDES COURT IN-FILL AND WORKSHOP): 1.58 / 2696 SQ. FT.

LOT OCCUPANCY:
 MAX. PERCENTAGE OF LOT OCCUPANCY: 60.0% / 1026 SQ. FT.
 PROPOSED LOT OCCUPANCY (INCLUDES COURT IN-FILL, WORKSHOP, AND STEPS UP TO RAISED DECK): 58.0% / 992 SQ. FT.

SET BACKS:
 MIN. REQUIRED REAR YARD: 20 FT.
 EXISTING REAR YARD: 39.4 FT. +/-
 PROPOSED REAR YARD: NO CHANGE

COURTS:
 MIN. COURT WIDTH: 6.0 FT.
 EXISTING COURT WIDTH: 4.7 FT.
 PROPOSED COURT WIDTH: N/A (COURT IN-FILL)

ACCESSORY BUILDING:
 MAX HGT OF ACCESSORY BLDG: 15.0 FT. / 1 STORY
 PROPOSED HGT FOR WORKSHOP: 3.0 FT. / 1 STORY

MAX PORTION OF REQ REAR YARD OCCUPIED BY ACC BLDG: 30% / 108 SQ. FT.
 PROPOSED PORTION OF REQ REAR YARD OCCUPIED BY ACC BLDG: 11% / 40 SQ. FT.

STRUCTURES IN REQUIRED REAR YARD:
 MAX OCCUPANCY OF REAR YARD: 50% / 180 SQ. FT.
 PROPOSED OCCUPANCY OF REAR YARD (INCLUDES DECK WALKWAYS, PORTION OF WORKSHOP & STEPS UP TO RAISED DECK): 36% / 129 SQ. FT.

INDEX OF DRAWINGS

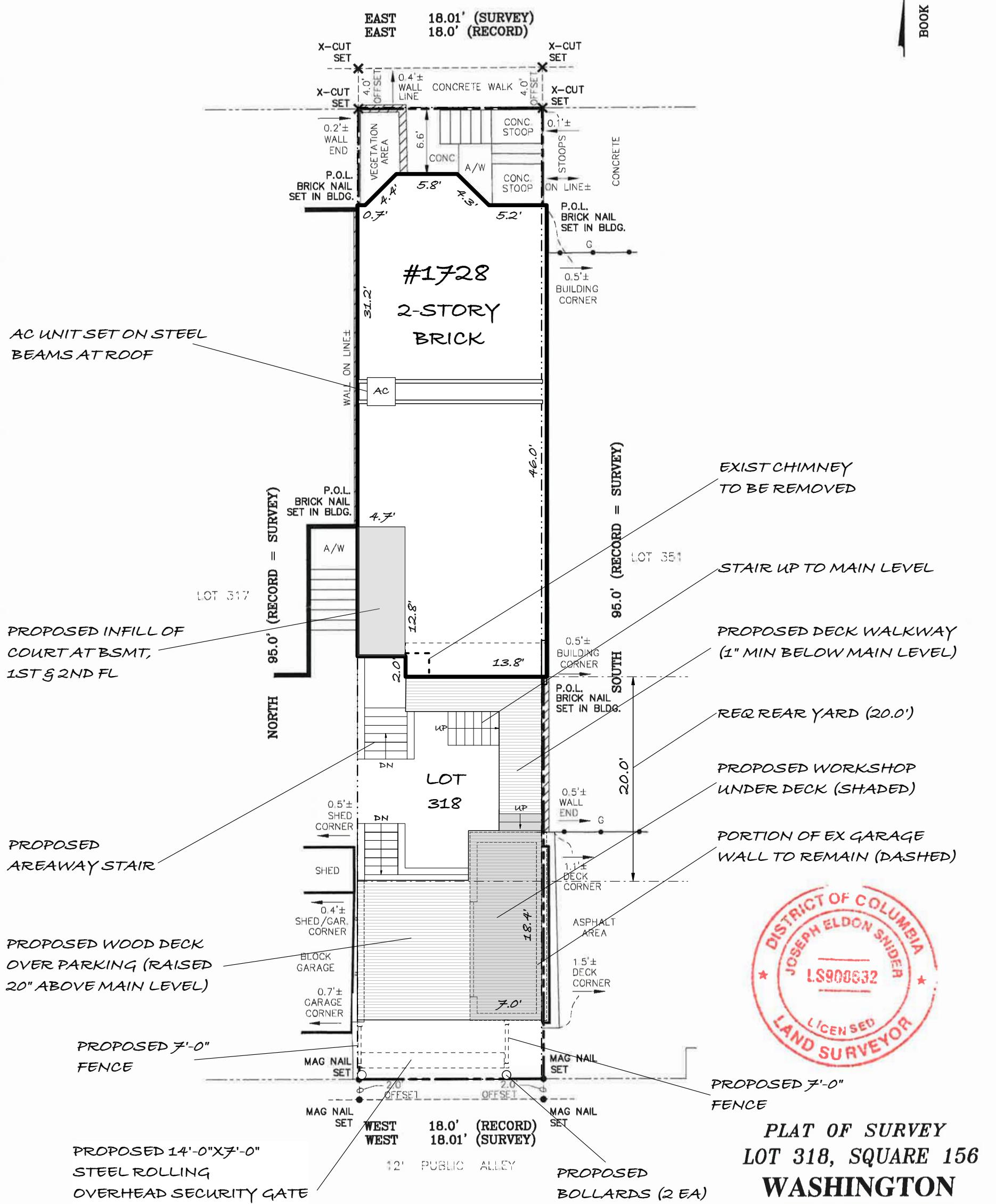
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- MD-1 MEASURED FLOOR PLANS
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NOTES:

1. All property corners have been recovered or set and verified per field survey performed: October 15, 2014.
2. The information shown hereon has been prepared without benefit of a title report, and therefore may not reflect all easements or encumbrances which may affect subject property.

BOOK 20 - PAGE 79

CHURCH STREET, N.W.



SURVEYOR'S CERTIFICATE		REFERENCES		SNIDER & ASSOCIATES LAND SURVEYORS	
"HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON A FIELD SURVEY PURSUANT TO DOCUMENTS OF RECORD AT THE OFFICE OF THE SURVEYOR FOR THE DISTRICT OF COLUMBIA. PROPERTY MARKERS HAVE BEEN RECOVERED OR PLACED AND HAVE BEEN DETERMINED TO BE IN RELATIVE AGREEMENT WITH THE RECORD INFORMATION AS SHOWN"		BOOK 20	PAGE 79	20270 Goldenrod Lane, Suite 110 Germantown, Maryland 20876 301/948-5100, Fax 301/948-1286	
				DATE OF LOCATIONS	SCALE: 1" = 10'
				LIBER	WALL CHECK: <i>E.H.</i>
				FOLIO	HSE. LOC.: <i>E.H.</i>
					PROP. CORS.: 10-15-2014
					JOB NO.: 14-25143-B

SITE DIAGRAM

FROM HOUSE LOCATION SURVEY BY: SNIDER & ASSOCIATES LAND SURVEYORS, GERMANTOWN, MD 10/15/2014
 WITH SUPPLEMENTAL INFORMATION BY: AHMANN LLC, ARCHITECTURAL SERVICES

VANDEVENTER & CHERBAKOV ADDITION & RENOVATIONS

**ZONING SUMMARY
ZONING CODE & SITE PLAN**

AHMANN LLC
 ARCHITECTURAL SERVICES
 4403 BEECHWOOD ROAD UNIVERSITY PARK, MARYLAND 20782
 PHONE 301 864 1334
 FAX 301 864 6818

1728 CHURCH STREET, NW
 WASHINGTON, DC 20036

PERMIT ISSUE
 5 FEBRUARY 2015

A-0a

Ahmann LLC
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GENERAL NOTES

1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE WORK OF ALL SUBCONTRACTORS AS REQUIRED TO COMPLETE THE WORK, AND SHALL VERIFY THAT ALL WORK IS DONE TO THE HIGHEST DEGREE OF CRAFTSMANSHIP BY JOURNEYMAN OF THE RESPECTIVE TRADES.

2) THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, AND SHALL WORK TO CRITICAL ALIGNMENTS AS INDICATED ON THE DRAWINGS, AND SHALL NOT SCALE THE DRAWINGS FOR MEASUREMENTS.

3) IF ANY DISCREPANCIES IN DIMENSIONS OR CONDITIONS ARE FOUND, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH THAT PORTION OF THE WORK.

4) THE CONTRACTOR SHALL MAINTAIN THE SITE CLEAN AND FREE OF DEBRIS. THE CONTRACTOR SHALL MAINTAIN THE SITE AND JOB CONDITIONS IN SUCH A MANNER AS TO PROTECT FROM INJURY ALL PERSONS AND PROPERTY.

5) ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED BY THE CONTRACTOR PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF THESE UTILITIES.

6) PROVIDE FOR THE DEMOLITION OF ALL EXISTING ITEMS WHICH WILL INTERFERE WITH THE WORK. PROVIDE MECHANICAL, ELECTRICAL AND PLUMBING DEMOLITION AS MAY BE REQUIRED.

7) PROVIDE BRACING AND SHORING AS REQUIRED TO PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE, AS WELL AS TO PROTECT PERSONS AND PROPERTY. VERIFY ALL BEARING CONDITIONS PRIOR TO BEGINNING DEMOLITION.

8) WHERE REQUIRED TO CUT INTO EXISTING CONSTRUCTION FOR NEW WORK ALL EXISTING SURFACES SHALL BE RESTORE TO THEIR ORIGINAL CONDITION TO THE FULLEST EXTENT POSSIBLE WITH REGARD TO VISUAL EFFECT. USE MATERIALS FOR CUTTING AND PATCHING THAT ARE IDENTICAL TO EXISTING MATERIALS OR THAT WILL RESULT IN EQUAL OR BETTER PERFORMANCE CHARACTERISTICS. PATCH WITH SEAMS WHICH ARE DURABLE AND AS INVISIBLE AS POSSIBLE. COMPLY WITH SPECIFIED TOLERANCES FOR THE WORK. RESTORE EXPOSED FINISHES OF PATCHED AREAS AND WHERE NECESSARY EXTEND RESTORATION INTO RETAINED ADJOINING WORK IN A MANNER WHICH WILL ELIMINATE EVIDENCE OF PATCHING AND REFINISHING.

CODE SUMMARY

ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE 2012 INTERNATIONAL RESIDENTIAL CODE (IRC 2012), INCLUDING ALL APPLICABLE DISTRICT OF COLUMBIA AMENDMENTS & SUPPLEMENTS

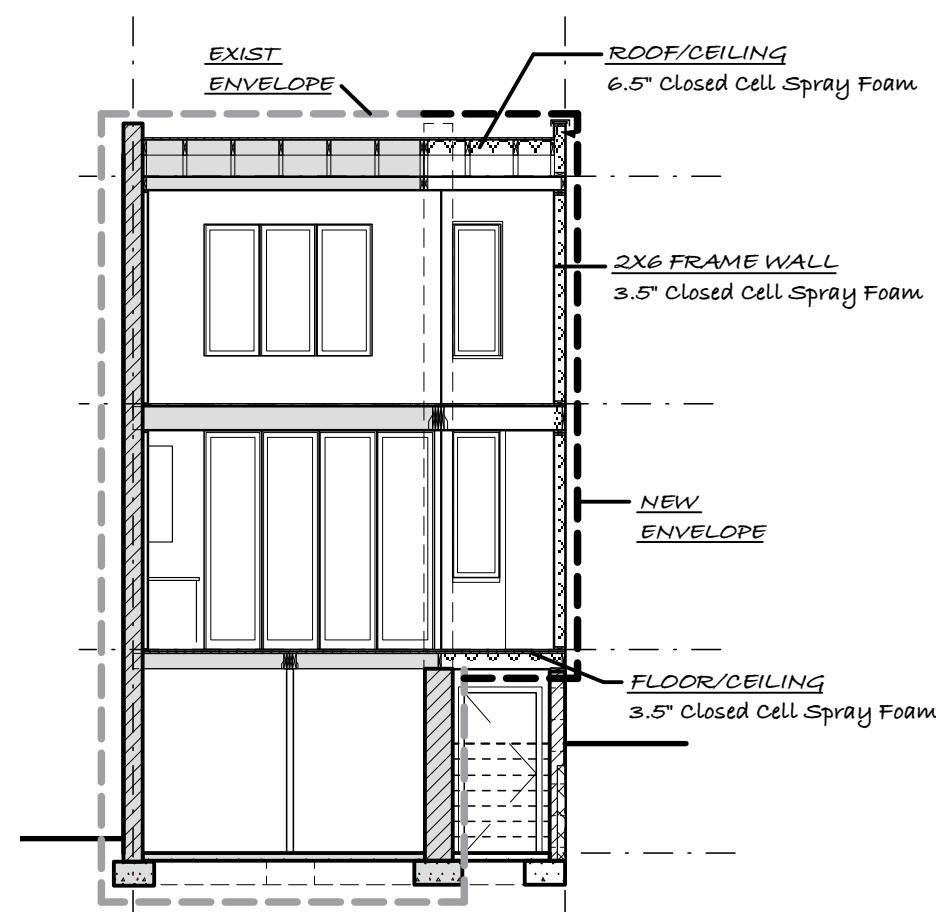
CONSTRUCTION SHALL CONFORM TO ALL OTHER APPLICABLE LOCAL, STATE AND NATIONAL CODES, STANDARDS AND ORDINANCES.

PROJECT SUMMARY

NEW TWO STORY ADDITION AT EXISTING COURT FOR RECONFIGURED KITCHEN, POWDER RM & LIVING/DINING ROOM ON FIRST FLOOR. RECONFIGURED BEDROOMS AND BATHROOMS ON SECOND FLOOR. NEW DECK LAYOUT AND LOWER LEVEL WORKSHOP OFF ALLEY.

ENERGY CONSERVATION

BUILDING ENVELOPE			
CRITERIA	REQUIRED	PROVIDED	ASSEMBLY DESCRIPTION
WINDOWS	U-FACTOR	.35	.30 PANDA WINDOWS & DOORS, LOW-E
DOORS		.35	.30 PANDA WINDOWS & DOORS, LOW-E
ROOFS/CEILINGS	R-VALUE	R-49/ 38 1	R-39 2 2X8 ROOF RAFTERS @ 24" O.C. & 2X6 CEILING JOISTS @ 16" O.C.
WALLS (WOOD FRAMING)		R-20 OR R-13+5	R-21 3 NEW 2X6 STUD WALLS @ 16" O.C.
MASS WALLS		R-8/ 13	N/A N/A
BASEMENT WALLS		R-10/ 13	N/A N/A
FLOORS		R-19	R-21 3 2X10 FLOOR JOISTS
SLAB PERIMETER R-VALUE & DEPTH		R-10, 2FT	N/A N/A
CRAWL SPACE		R-10/13	N/A N/A
INFILTRATION	ALL EXTERIOR JOINTS SHALL HAVE A HIGH QUALITY DETAILED AIR SEALING APPLIED TO INCLUDE BUT NOT LIMITED TO PICTURE FRAMING STUDS, BOTTOM PLATES, TOP PLATES, AROUND WINDOWS AND DOORS, EXHAUST PENETRATIONS, WIRING PENETRATIONS OSB GAPS, RIM JOISTS, AND NAIL-HOLES		
1. R-38 ALLOWED PER IECC 2012 SEC. R402.2.1. (INSULATION COVERS TOP PLATES OF WALL.) 2. 6 1/2" CLOSED CELL SPRAY FOAM (R-39). CCSF AT R-6 PER INCH. 3. 3 1/2" CLOSED CELL SPRAY FOAM (R-21). CCSF AT R-6 PER INCH. SEE PROJECT SPECIFICATIONS, DIVISION 7: THERMAL AND MOISTURE PROTECTION FOR ADDITIONAL ENERGY CONSERVATION REQUIREMENTS (SHEET A-10)			



ENVELOPE - CROSS SECTION

From: "tahmann@ahmannllc.com" <tahmann@ahmannllc.com>
Subject: Fwd: PDRM Follow-up / 1728 Church Street NW
Date: January 16, 2015 1:00:36 PM EST
To: "knorth@ahmannllc.com North" <knorth@ahmannllc.com>

1 Attachment, 583 KB

Thomas Ahmann, AIA
AHMANN LLC
301-864-1334
www.ahmannllc.com

Begin forwarded message:

From: "tahmann@ahmannllc.com" <tahmann@ahmannllc.com>
Date: October 1, 2014 3:09:57 PM EDT
To: "Matt (DCRA) LeGrant" <Matthew.LeGrant@dc.gov>
Subject: PDRM Follow-up / 1728 Church Street NW

Mr. LeGrant,

Re: PDRM regarding 1728 Church Street, N.W. / Sq. 0156, Lot 0318

As a follow up to our PDRM of last Wednesday, 24 September 2014, I have attached a set of drawings showing what I feel is a "matter of right" solution to our clients intention to infill their existing non-conforming court and create a workshop, based on clarifications that you provided. The solution removes the existing garage and creates a parking space under a new deck, adjacent to the new workshop.

Please review the drawings and let me know if you concur that this will be considered as a "matter of right" per the Zoning Regulations.

Points for further clarification:

- If we decide to omit the balcony and spiral stair at the second floor, we can exclude from our count of "Structures in Rear Yard," the stairway up to the "New Deck Walkway" per §2503.4, as it is adjacent to the rear door on the same level as the main entrance of the house.
- We have excluded from our count of "Structures in Rear Yard," the stairway down from the middle of the yard to the parking area, as it serves as a transition to different levels of the ground, and is hence part of the ground.
- We have excluded from our count of "Structures in Rear Yard," the stairway down to the areaway at the basement level the proposed "Infill of Court," since it goes below the ground.
- As the Workshop is constructed beyond 20 ft from the back of the house, it has no impact on the 30% maximum area of an accessory building occupying the required rear yard.
- No portion of the "Proposed Wood Deck" or "New Deck Walkway" count towards FAR or Lot Occupancy as these are below the main level of the building, the walkway is less than 4 feet above grade (§2503.2), and the deck is beyond the required yard and hence exempt from §2503.1.
- As proposed in the attached drawings, FAR includes:
 - Main House Including Bay (3 stories)
 - Court In-Fill Addition (3 stories)
 - Workshop (1 story)
 - Spiral stair from 2nd floor balcony to roof deck*

But FAR excludes:

- Balcony at 2nd floor
- Roof Deck
- Deck and Deck Walkway
- Parking under Deck
- Areaway Stair
- Stair to Deck Walkway
- Stair from Middle Yard down to Parking
- Front Stair and Stoop

* Or can this be counted as part of the balcony?

- As proposed in the attached drawings, Lot Occupancy includes:
 - Main House Including Bay
 - Court In-Fill Addition
 - Workshop
 - Spiral stair from 2nd Floor Balcony to Roof Deck
 - Balcony at 2nd floor

But Lot Occupancy excludes:

- Roof Deck
- Deck and Deck Walkway
- Parking under Deck
- Areaway Stair
- Stair to Deck Walkway
- Stair from Middle Yard down to Parking
- Front Stair and Stoop

Please let me know if you concur with these specific points, or provide additional clarification as warranted.

Regards,

Tom Ahmann

Thomas Ahmann, AIA
AHMANN LLC
301-864-1334
www.ahmannllc.com

VanDeventer...pdf (583 KB)

Preliminary Design Review Meeting Follow-up Issue, October 1, 2014
 ADDITION & RENOVATIONS TO VANDEVENTER RESIDENCE
 1728 Church Street, N.W. Washington, DC 20036

ZONING SUMMARY

SUBJECT PROPERTY:
 1728 CHURCH STREET, N.W.
 WASHINGTON, DC 20036
 SQUARE-0158 LOT-0318 ZONE-R-5-B
 EXISTING USE: SINGLE FAMILY RESIDENTIAL / ROW DWELLING
 PROPOSED USE: SINGLE FAMILY RESIDENTIAL / ROW DWELLING
 BUILDING HEIGHT:
 MAX ALLOWABLE HEIGHT: 30 FT. / NO LIMIT ON STOREYS
 EXISTING HEIGHT: 32 FT. / 3 STOREYS INCL BASEMENT
 PROPOSED HEIGHT: NO CHANGE

LOT AREA:

MIN. REQUIRED LOT AREA: NONE PRESCRIBED
 EXISTING LOT AREA: 1710 SQ. FT.

REQUIRED LOT WIDTH: NONE PRESCRIBED
 EXISTING LOT WIDTH: 18.00 FEET

EAR:

MAXIMUM RESIDENTIAL FLOOR AREA RATIO:
 PROPOSED FAR (INCL COURT IN-FILL & WORKSHOP): 1.80 / 2078 SQ. FT.

LOT OCCUPANCY:

MAX. PERCENTAGE OF LOT OCCUPANCY:
 (INCL BALCONY & WORKSHOP): 60.0% / 1026 SQ. FT.

PROPOSED LOT OCCUPANCY: 57.4% / 982 SQ. FT.

SET BACKS:

MIN. REQUIRED REAR YARD:
 EXISTING REAR YARD: 20 FT.
 PROPOSED REAR YARD: 39.4 FT. +/- NO CHANGE

COURT:

MIN. COURT WIDTH:
 EXISTING COURT WIDTH: 6.0 FT.
 PROPOSED COURT WIDTH: 4.7 FT. N/A (COURT IN-FILL)

ACCESSORY BUILDING:

MAX HGT OF ACCESSORY BLDG:
 PROPOSED HGT FOR WORKSHOP: 15.0 FT. / 1 STORY

3.0 FT. / 1 STORY

MAX PORTION OF REAR YARD OCCUPIED BY ACC BLDG: 30% / 108 SQ. FT.

PROPOSED PORTION OF REAR YARD OCCUPIED BY ACC BLDG: 0% / 0 SQ. FT.

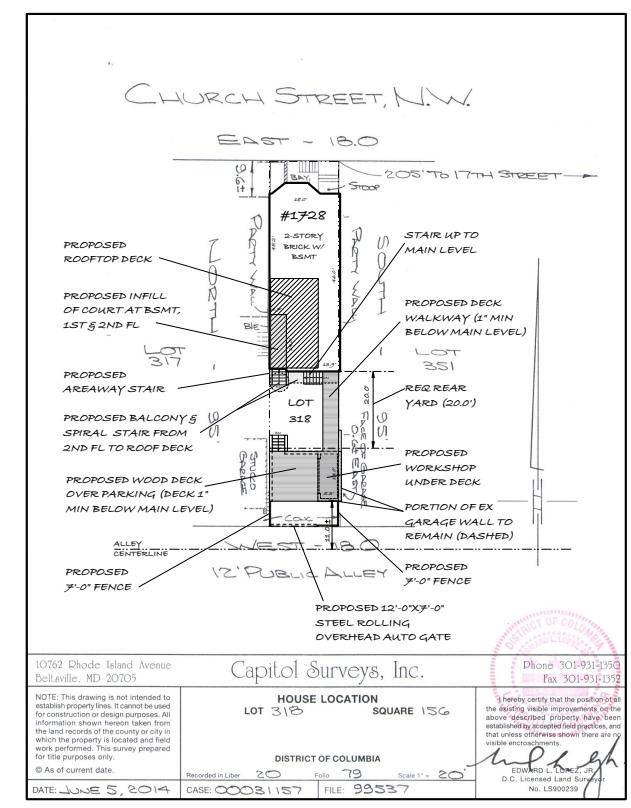
STRUCTURES IN REAR YARD:

MAX OCCUPANCY OF REAR YARD: 50% / 369 SQ. FT.

PROPOSED OCCUPANCY OF REAR YARD: 50% / 368 SQ. FT.

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- A-0 SITE PLAN & ZONING SUMMARY
 A-1 PROPOSED BASEMENT & 1ST FLOOR
 A-2 PROPOSED 2ND FLOOR & ROOF DECK
 A-3 BUILDING SECTION
 MD-1 MEASURED FLOOR PLANS
 MD-2 MEASURED ELEVATIONS



SITE DIAGRAM
 FROM HOUSE LOCATION SURVEY BY: CAPITOL SURVEYS INC. BELTSVILLE, MD 06052014
 WITH SUPPLEMENTAL INFORMATION BY: AHMANN LLC ARCHITECTURAL SERVICES

AHMANN LLC
 ARCHITECTURAL SERVICES
 4403 Beechwood Road University Park, Maryland 20782
 PHONE: 301.864.1334
 FAX: 301.864.6818

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Scale: 1/16" = 1'-0"

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SCALE: AS SHOWN

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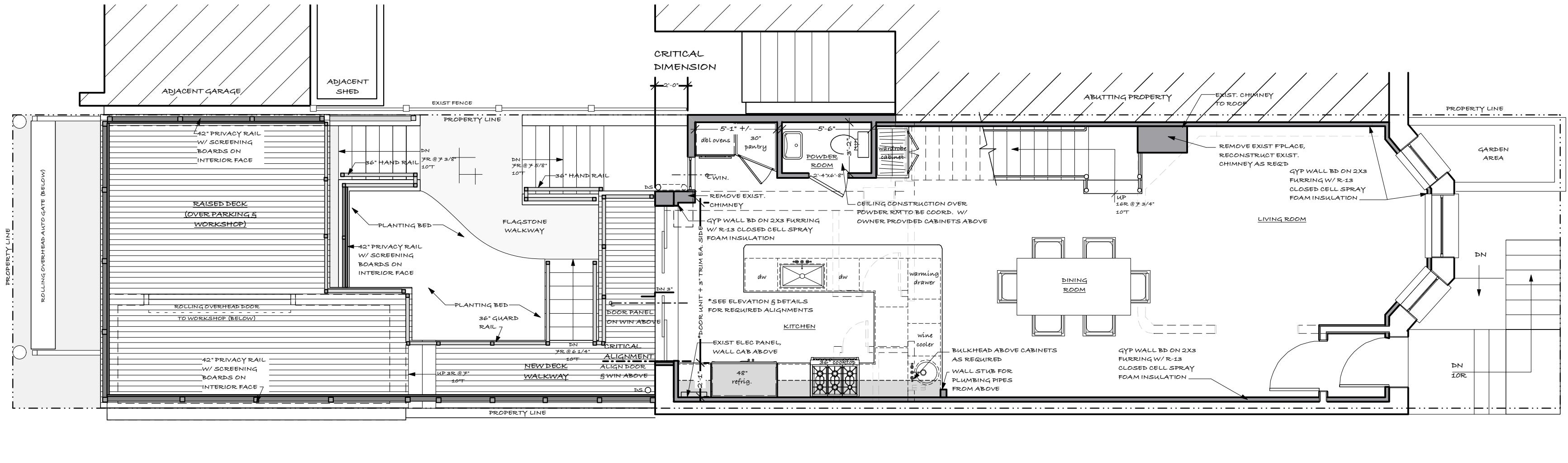
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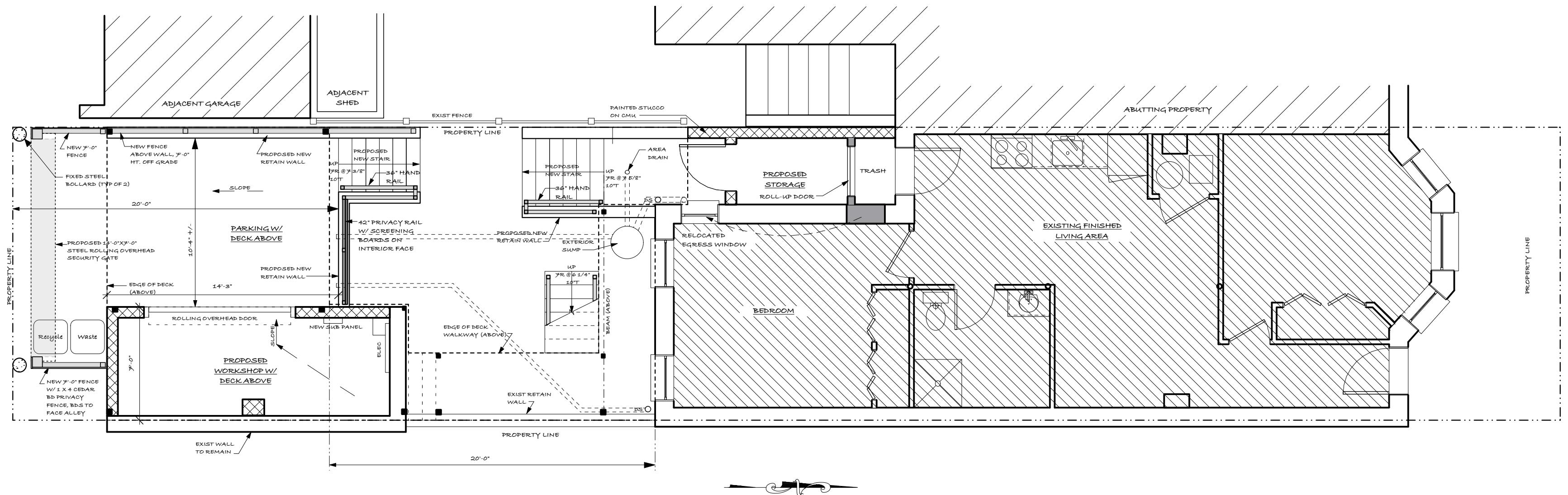
PROPOSED BSMT & 1ST FLOOR PLANS

SCALE: 3/16" = 1'-0"



2 FIRST FLOOR (MAIN LEVEL) PLAN

Scale: 3/16" = 1'-0"



1 BASEMENT FLOOR PLAN

Scale: 3/16" = 1'-0"

**VANDEVENTER & CHERBAKOV
ADDITION & RENOVATIONS**

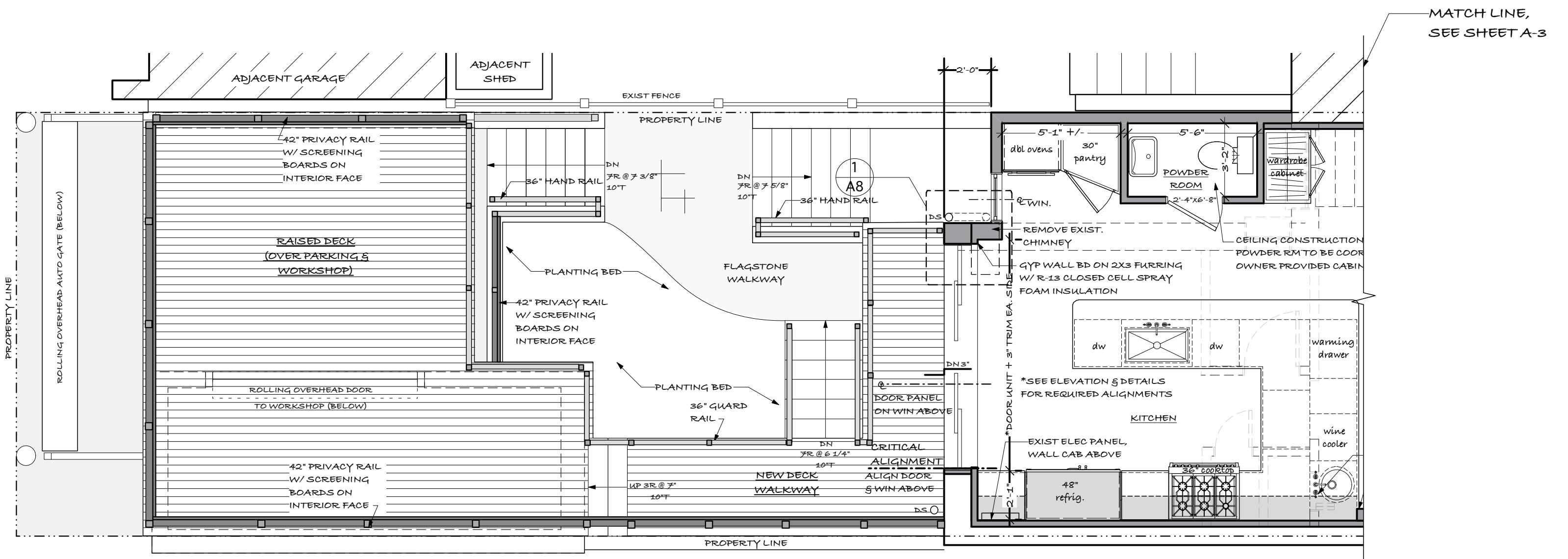
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A-1

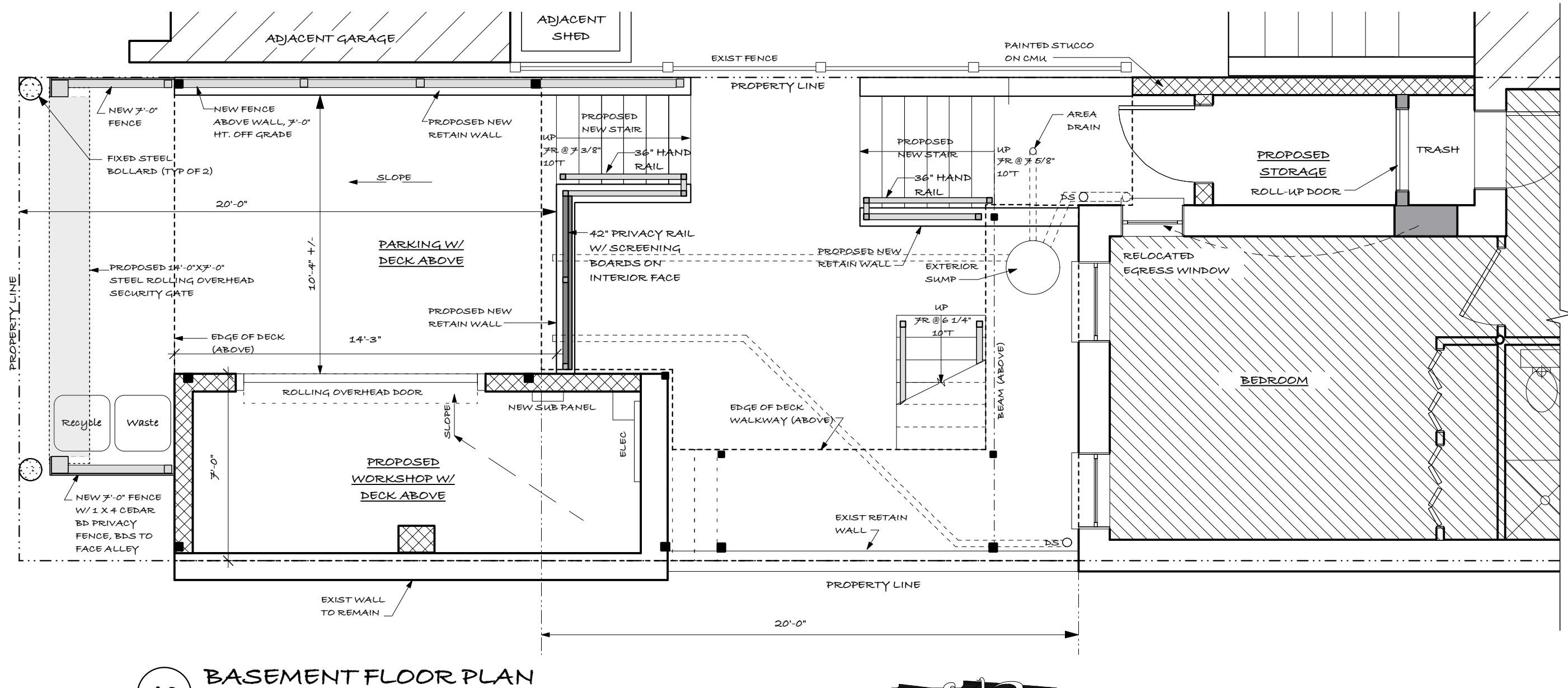
PROPOSED BSMT & 1ST FL PLANS

1728 CHURCH STREET, NW
WASHINGTON, DC 20036



FIRST FLOOR (MAIN LEVEL) PLAN

Scale: $1/4"$ = $1'-0"$



BASEMENT FLOOR PLAN

Scale: 1/4" = 1'-0"

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• 100 •

A 2

A-Z

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**PROPOSED
1ST FL & 2ND FL PLANS**

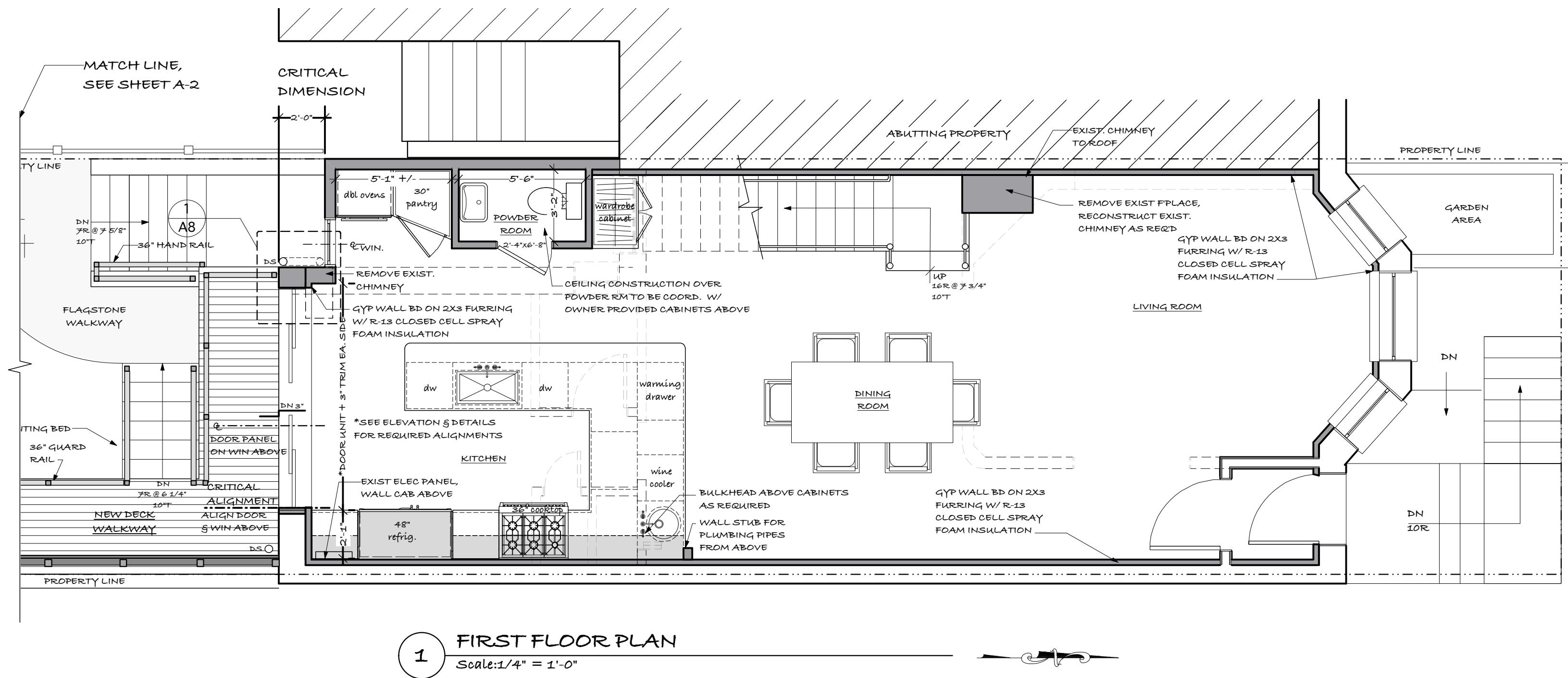
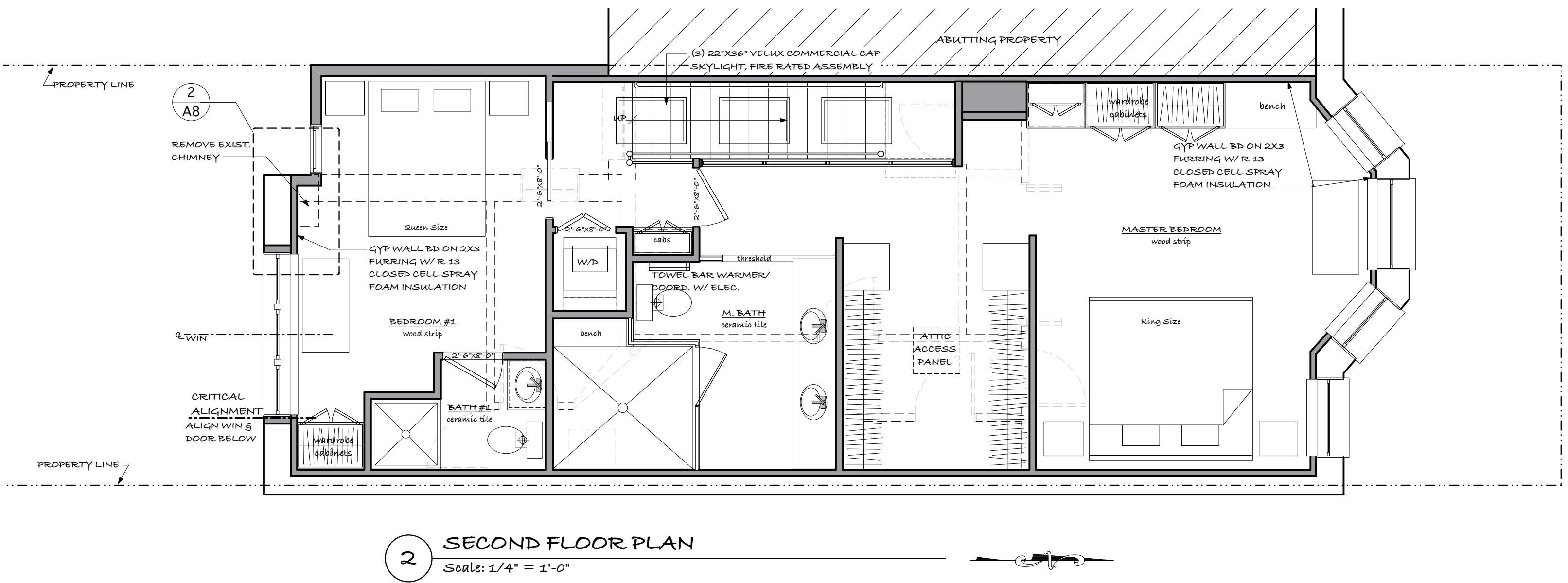
**VANDEVENTER & CHERBAKOV
ADDITION & RENOVATIONS**

1728 CHURCH STREET, NW
WASHINGTON, DC 20036

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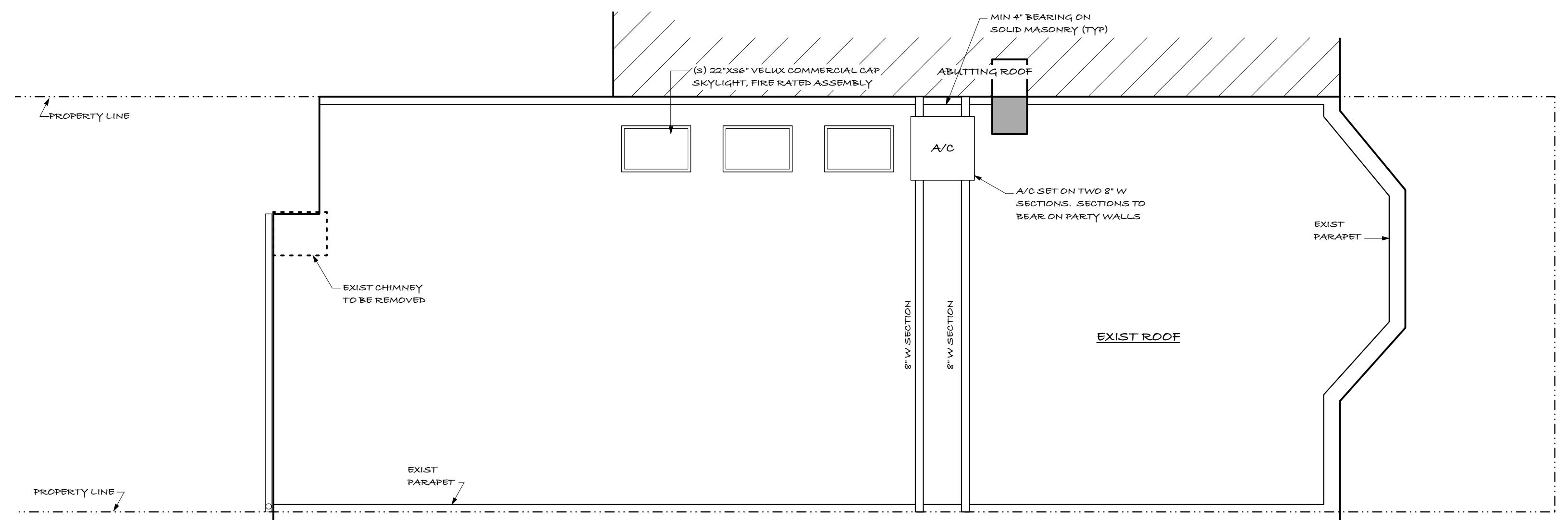


**PROPOSED
ROOF FL PLAN**

**VANDEVENTER & CHERBAKOV
ADDITION & RENOVATIONS**

1728 CHURCH STREET, NW
WASHINGTON, DC 20036

SCALE: 1/4" = 1'-0"



1 ROOF PLAN
Scale: 1/4" = 1'-0"

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5 FEBRUARY 2015

A-4

PROPOSED REAR ELEVATION

VANDEVENTER & CHERBAKOV
ADDITION & RENOVATIONS

1728 CHURCH STREET, NW
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A-5

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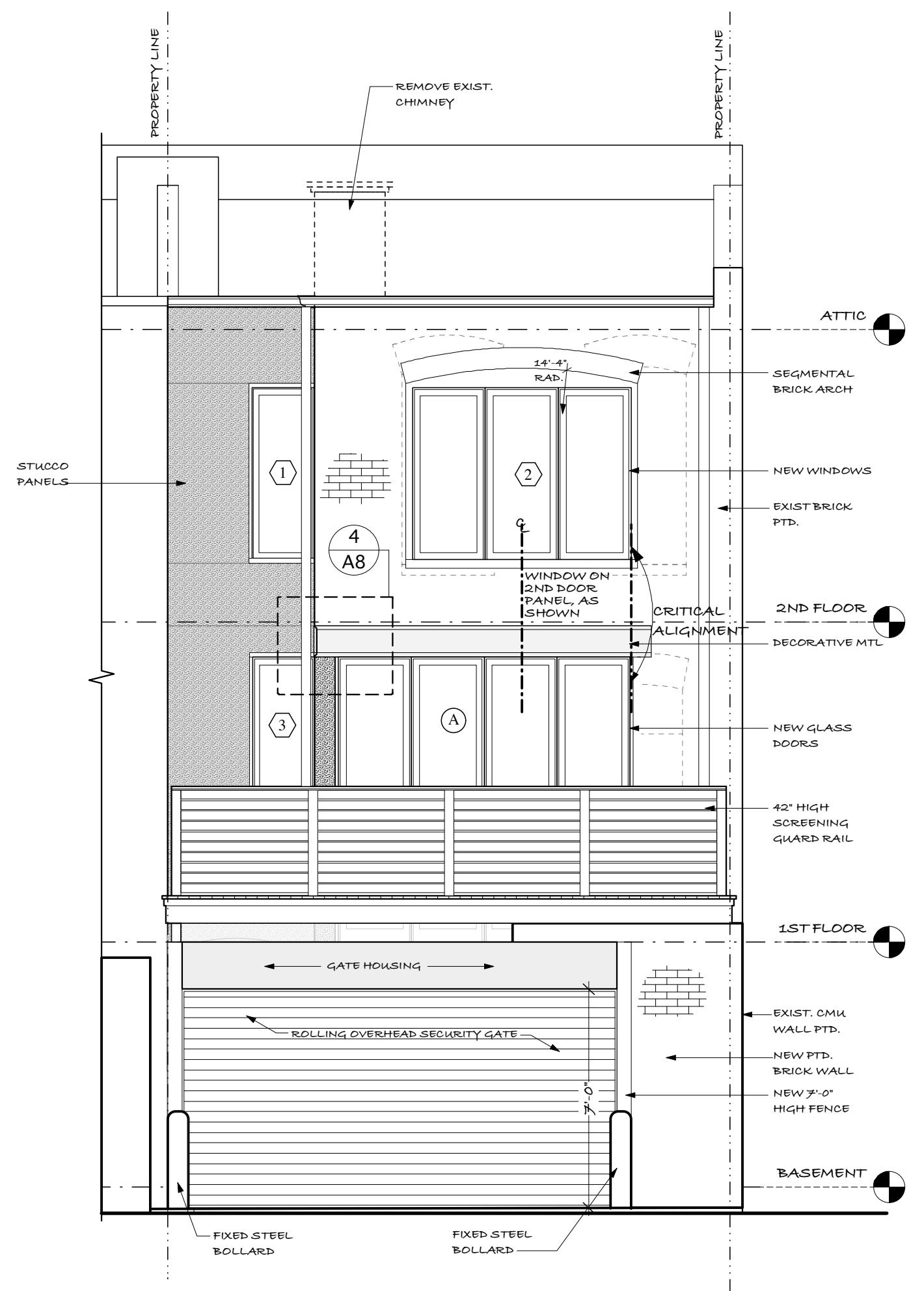
WINDOW & DOOR SCHEDULE

ALL WINDOWS AND DOORS SHALL BE PANDA WINDOWS & DOOR, S.46 ALUMINUM WOOD/CLAD TILT & TURN, TS.13 ALUMINUM WOOD/CLAD THERMALLY BROKEN LIFT & SLIDE, NO POCKET OR APPROVED EQUAL.. ALL UNITS SHALL BE DUAL GLAZED LOW-E EC INSULATED GLASS. ALL OPERABLE UNITS SHALL BE PROVIDED WITH SCREENS. FULL VIEW DESIGN SHALL MATCH THOSE SHOWN IN THE DRAWINGS. WINDOW & DOOR HARDWARE AND JAMB LINER COLORS SHALL BE DETERMINED BY THE OWNER. ALL JAMB DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR IN FIELD. REFER ALSO TO PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.

- | | | |
|-----|--|-------------------|
| (1) | PANDA WINDOWS & DOORS, S.46 TILT & TURN * | 2'-0" X 5'-6" |
| (2) | PANDA WINDOWS & DOORS, S.46 TILT & TURN * | (3) 2'-4" X 5'-6" |
| (3) | PANDA WINDOWS & DOORS, S.46 TILT & TURN | 2'-0" X 6'-0" |
| (A) | PANDA WINDOWS & DOORS, TS.13 THERMALLY BROKEN LIFT & SLIDE, NO POCKET ** | (4) 2'-4" X 9'-0" |

* VERIFY EGRESS SIZE AT ALL BEDROOMS.
FIELD VERIFY UNIT SIZES AND JAMB REQUIREMENTS FOR EACH WINDOW

**NOTE: THE OWNER IS CONSIDERING THE USE OF "SMART GLASS" GLAZING OR ELECTRIC BLINDS AT REAR WINDOWS & GLAZED DOORS. EITHER CHOICE WILL REQUIRE AN ELECTRICAL HOOK-UP AT EACH UNIT. ADDITIONALLY, THIS DECISION MAY IMPACT THE HEAD HEIGHT OF THE REAR WINDOWS & DOORS, SHOULD THE CHOICE BE TO USE ELECTRIC BLINDS. THE CONTRACTOR SHALL ASSIST IN THE COORDINATION OF THIS SELECTION AS REQUIRED.



**PROPOSED
BUILDING SECTIONS**

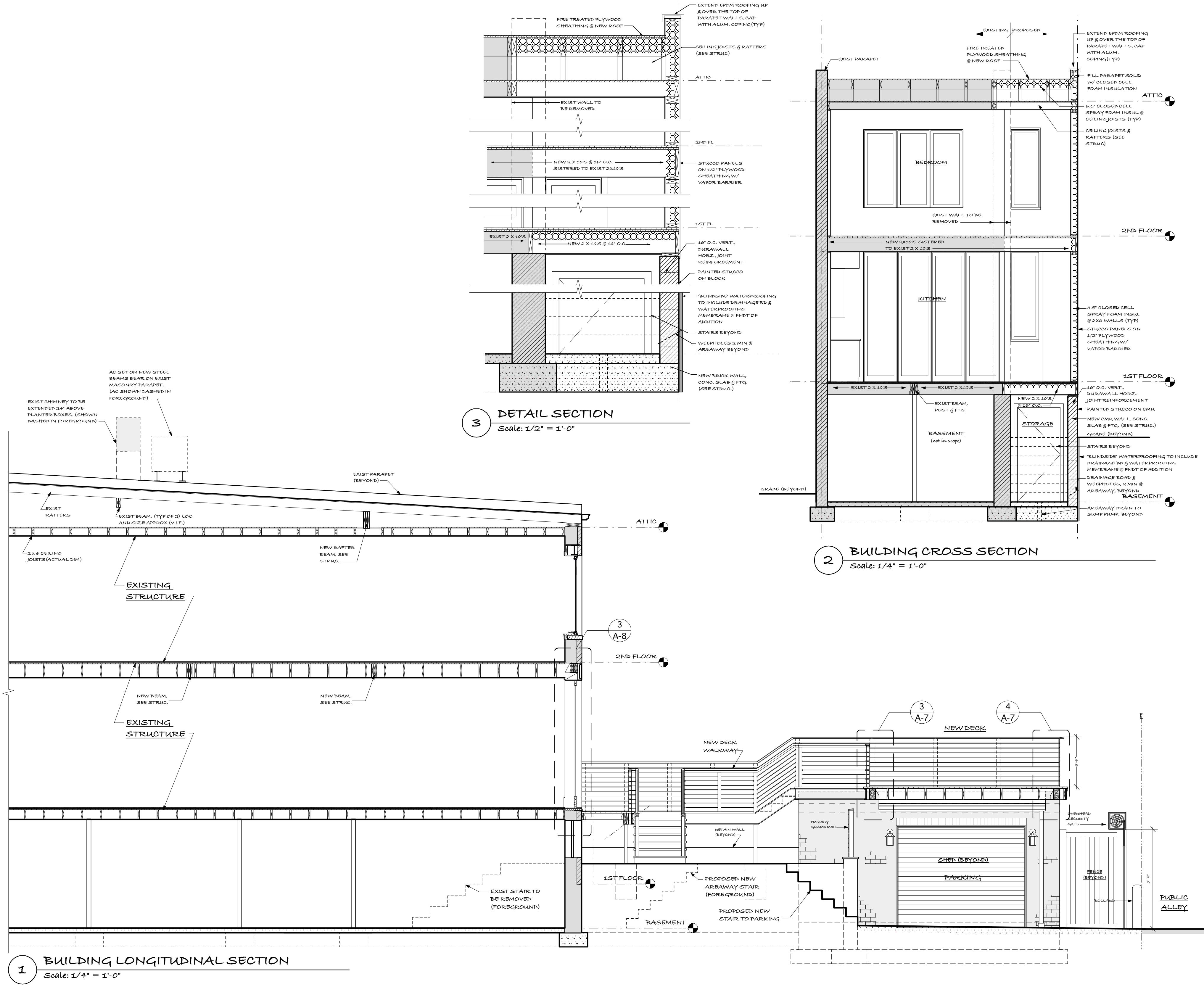
**VANDEVENTER & CHERBAKOV
ADDITION & RENOVATIONS**

1728 CHURCH STREET, NW
WASHINGTON, DC 20036

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5 FEBRUARY 2015

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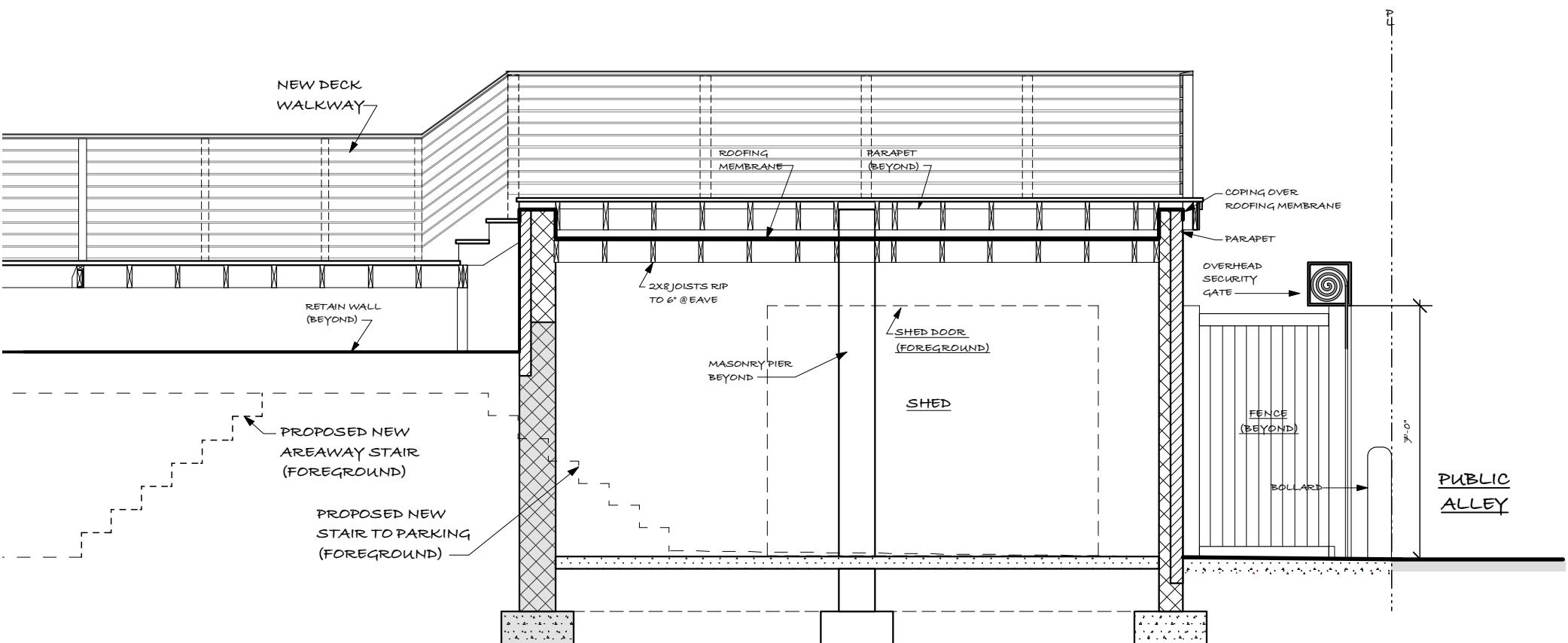
Ahmann LLC
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**PROPOSED
SECTIONS & DETAILS**

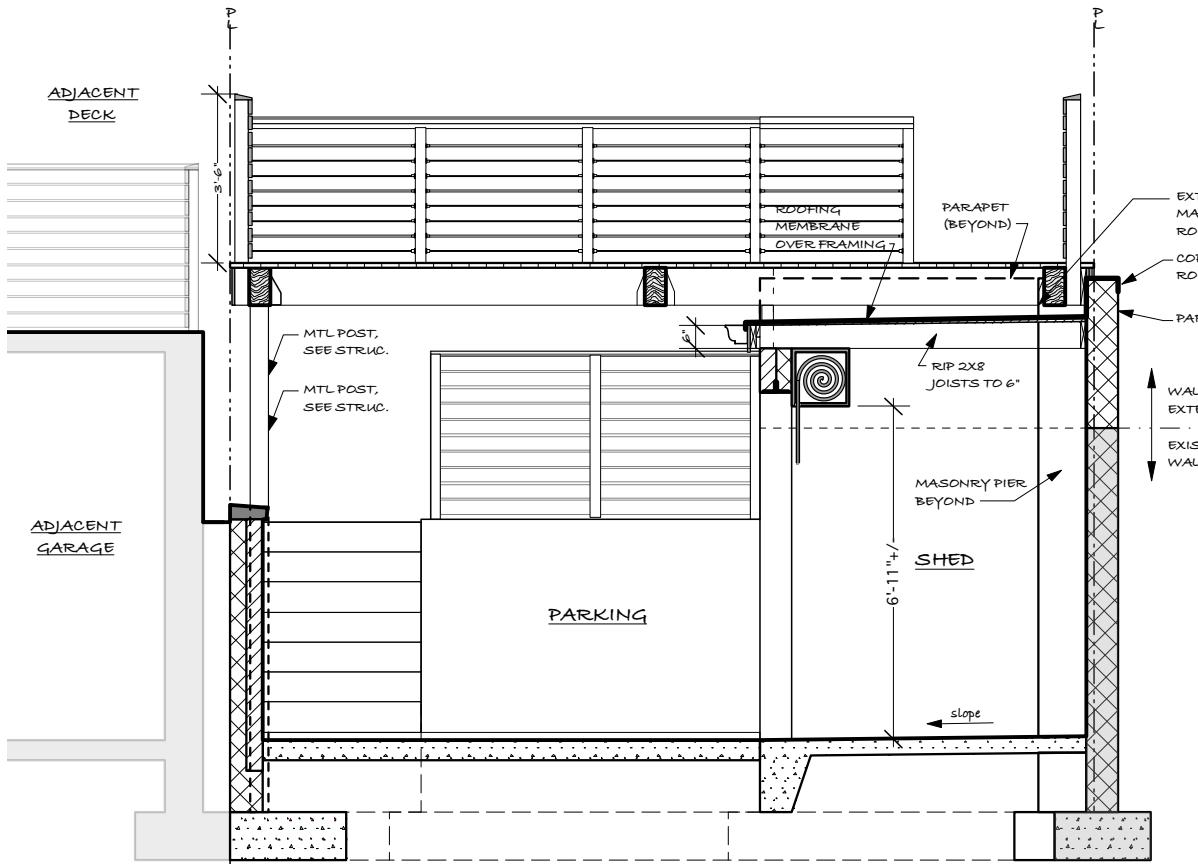
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SCALE: 1/4" = 1'-0"



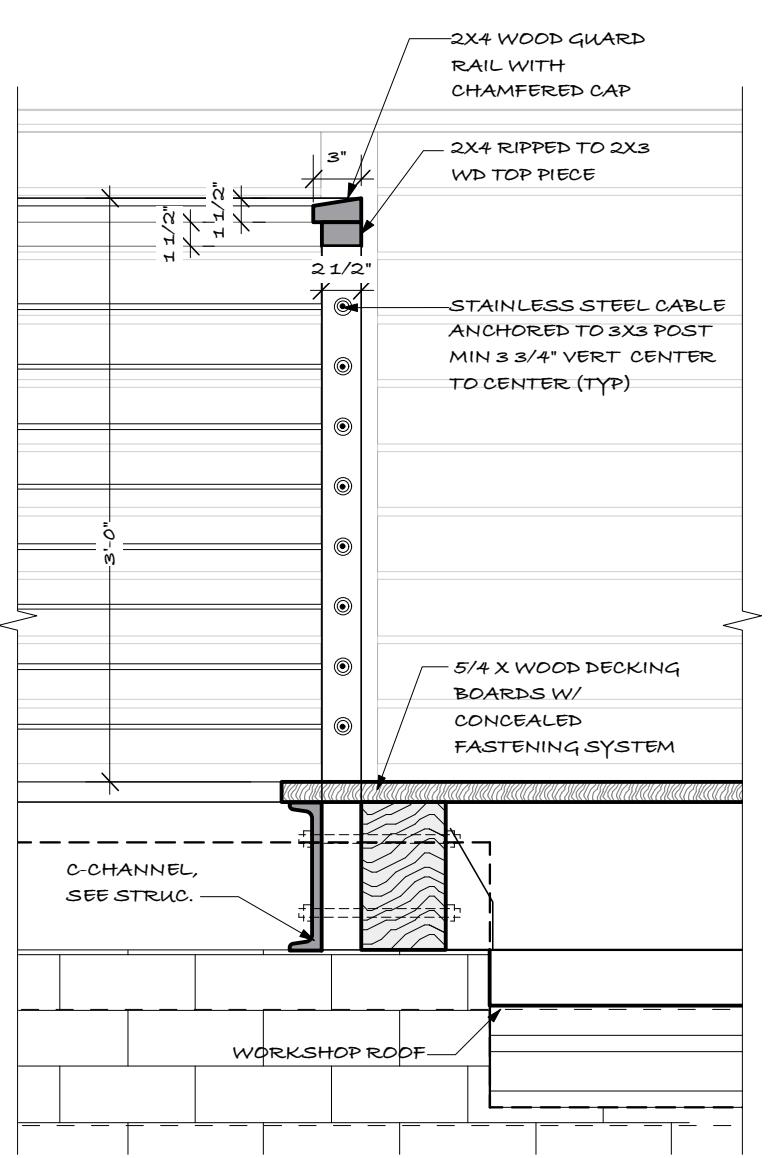
1 SHED SECTION LONGITUDINAL

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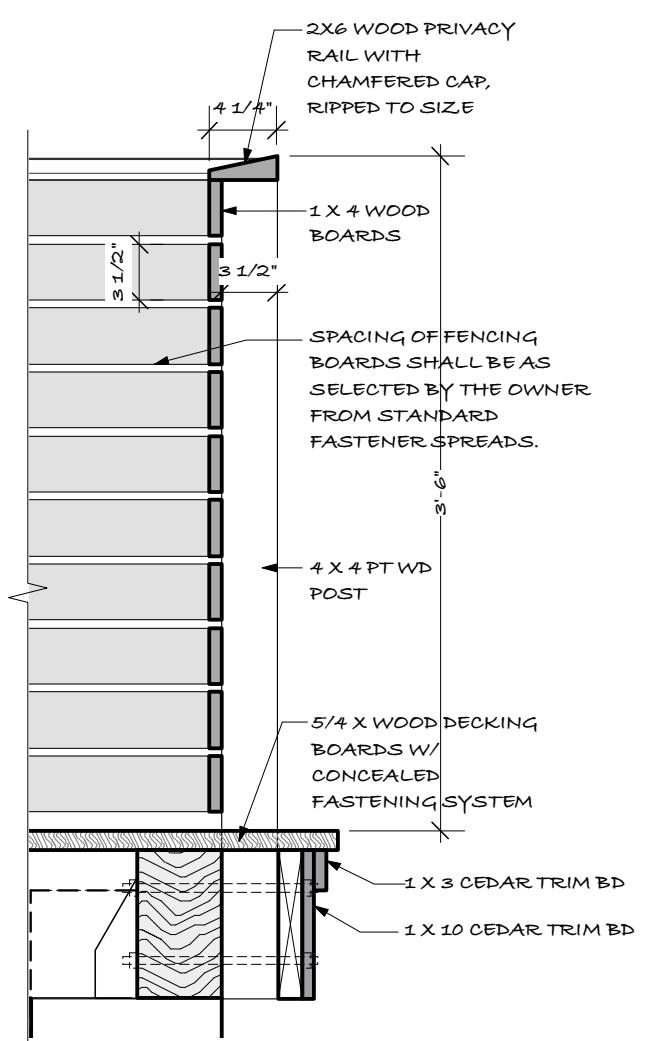
2 SHED SECTION CROSS

Scale: 1/4" = 1'-0"



3 GUARD RAIL DETAIL

Scale: 1" = 1'-0"



4 PRIVACY RAIL DETAIL

Scale: 1" = 1'-0"

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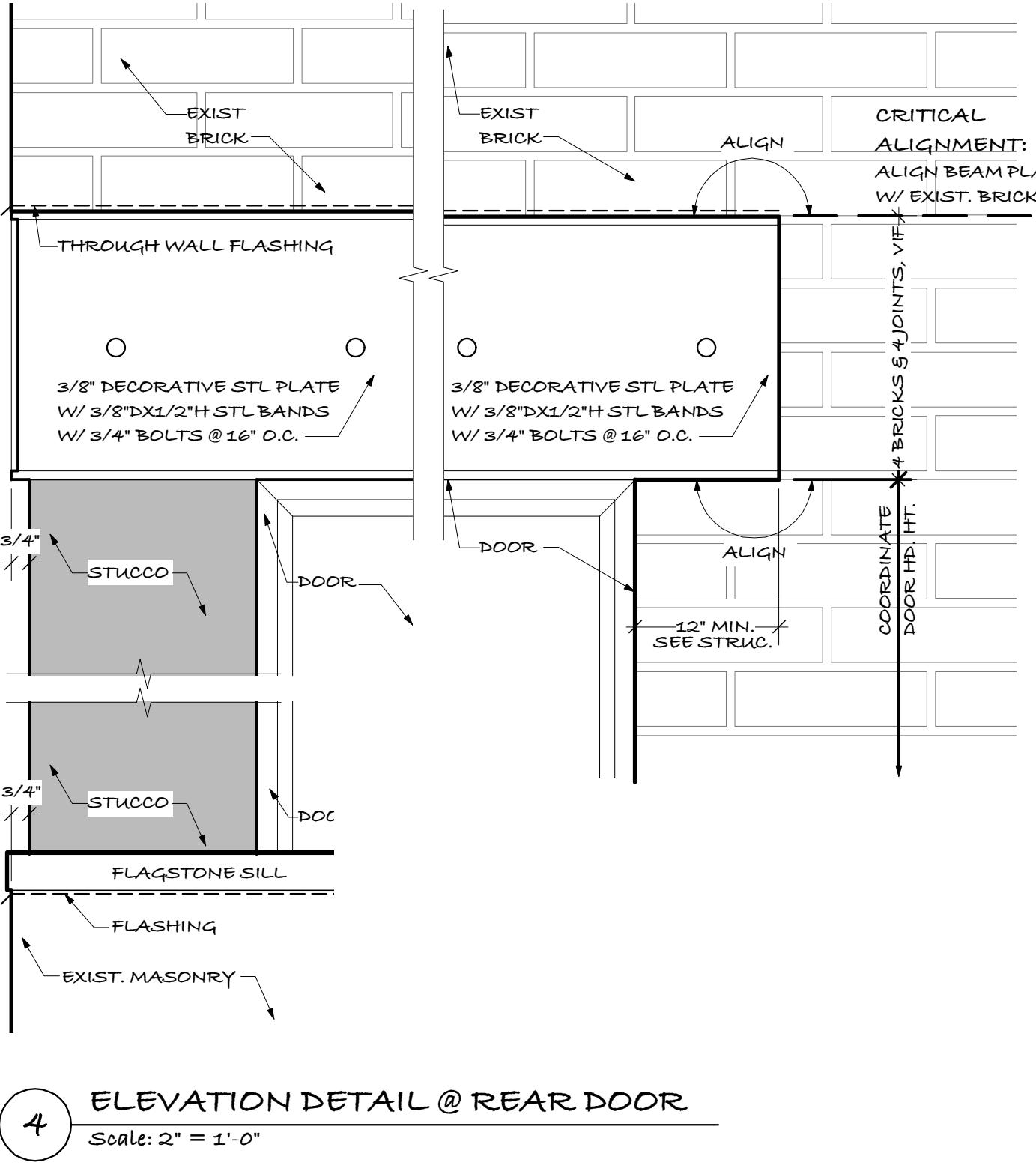
DETAILS
REAR DOOR & WINDOW

1728 CHURCH STREET, NW
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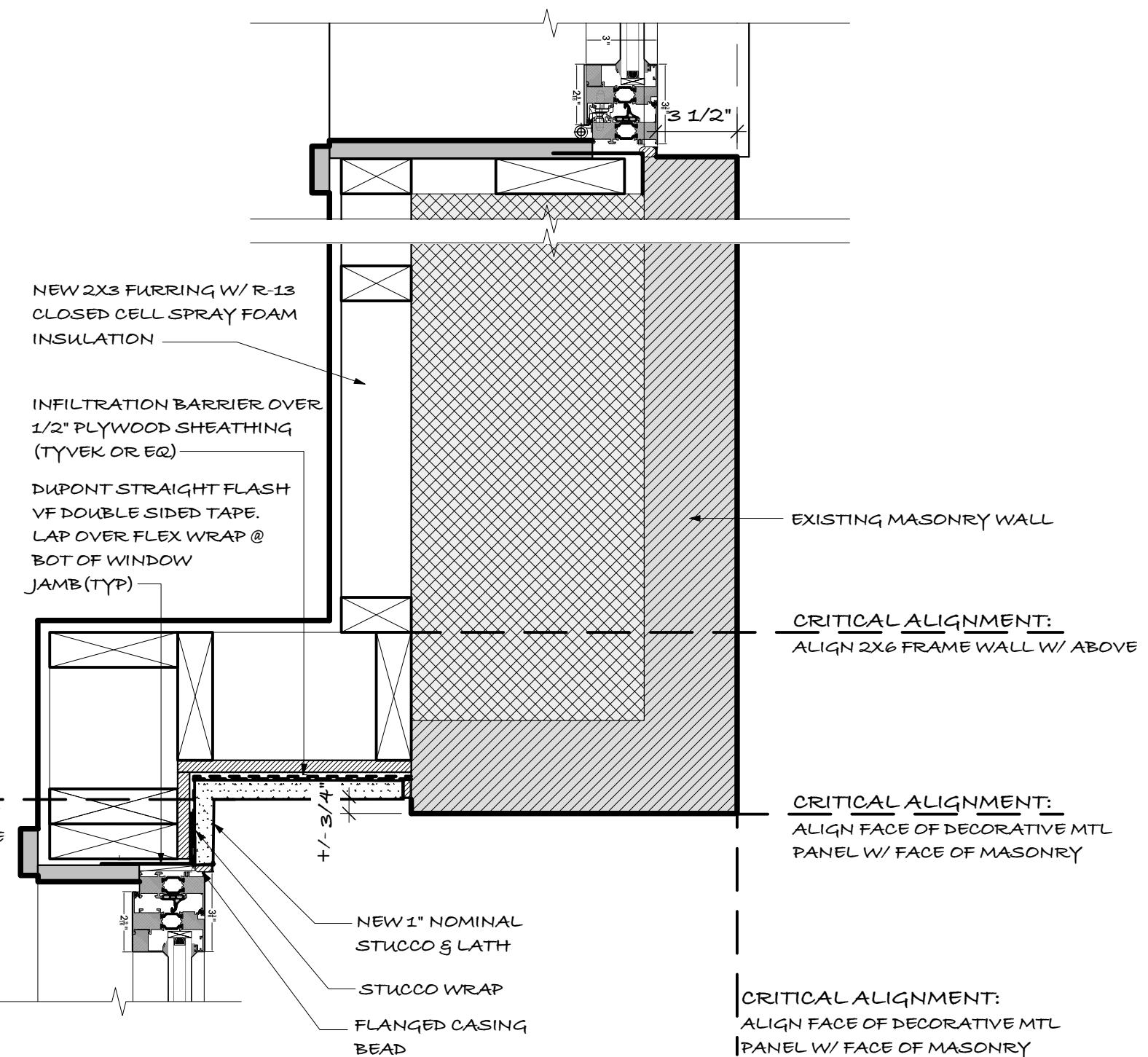
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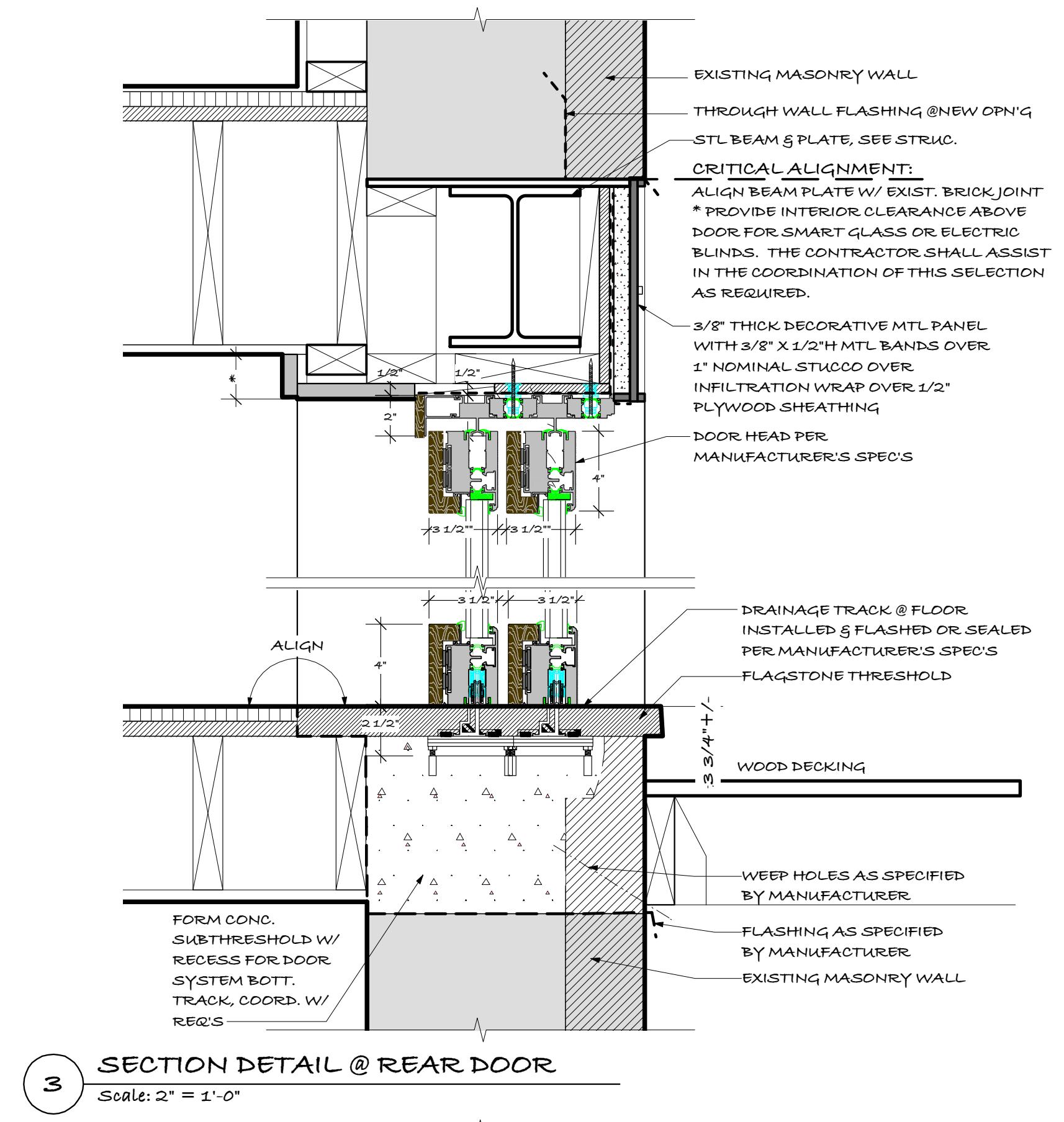
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SCALE: 2" = 1'-0"



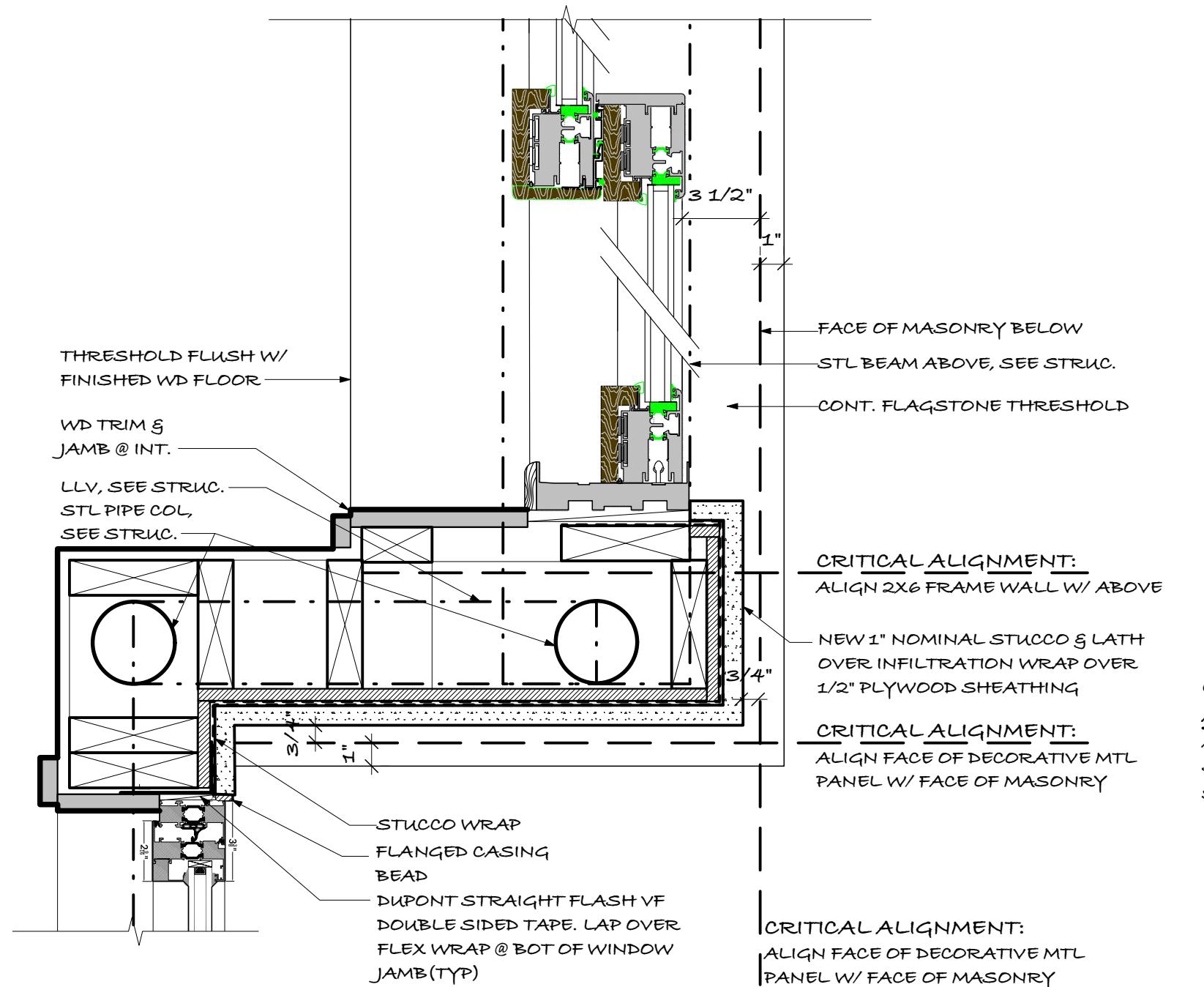
ELEVATION DETAIL @ REAR DOOR
Scale: 2" = 1'-0"



PLAN DETAIL @ 2ND FL
Scale: 2" = 1'-0"



SECTION DETAIL @ REAR DOOR
Scale: 2" = 1'-0"



PLAN DETAIL @ 1ST FL
Scale: 2" = 1'-0"

PROJECT SPECIFICATIONS

VanDeventer & Cherbakov Residence Addition and Renovations 1728 Church Street, NW Washington, DC 20036

DIVISION 1: GENERAL REQUIREMENTS

- 01.01 PROJECT DESCRIPTION:** In conjunction with Architectural, Structural, Mechanical, Plumbing and Electrical Drawings issued by AHMANN LLC, these Specifications describe the scope of Architectural, Structural, Mechanical, Electrical, Plumbing and other requirements for an Addition and Renovation Project at the house of Allan VanDeventer and Luba Cherbakov at 1728 Church Street in Washington, DC. In submitting a fixed price bid for the work, the Contractor and Subcontractors confirm that they have reviewed the Documents and have inspected the house and site relative to the intended work and that the bid shall incorporate all labor, products, materials, supplies, services, equipment, and other items which will be required to complete the Work described.
- CONTRACT FOR CONSTRUCTION:** The Contract between the Owner and the Contractor shall be AIA Document A107, "Standard Form of Agreement Between Owner and Contractor for a Project of Limited Scope," 2007 edition. All discrepancies and ambiguities in the Contract Documents shall be interpreted as that which results in the most complete performance. All architectural, structural, mechanical, electrical, plumbing and other requirements necessary for the Work to comply with local, state and federal regulations shall be supplied without additional cost to the Owner.
- 01.02 CODES, PERMITS & INSPECTIONS:** All work shall be done in strict compliance with the District of Columbia Building Code, including the currently adopted IRC edition, as well as any, and all, other applicable codes, regulations and ordinances. The Owner shall provide the building permit and the Contractor and Subcontractors shall provide all other permits and obtain all inspections required for the Work. A "Wall Check" survey is required by the District of Columbia in conjunction with this Project, the Contractor shall make all arrangements and pay all fees for the Wall Check.
- 01.03 INSURANCE REQUIREMENTS:** Provide to the Owner documentation of all insurance policies required by Article 16 of AIA Form A107.
- 01.04 COORDINATION:** The Contractor shall be responsible for the coordination of the work of all Subcontractors as required to complete the work, as well as with Subcontractors hired by the Owner, and shall verify that all work is done to the highest degree of craftsmanship by journeymen of the respective trades. The Contractor shall verify all dimensions, and shall work to critical alignments as indicated on the drawings, and shall not scale the drawings for measurements. If any discrepancies in dimensions or conditions are found, the Contractor shall contact the Architect and/or Owner for clarification prior to proceeding with that portion of the work.
- 01.05 PROTECTIONS:** The Contractor shall maintain the site clean and free of debris. The Contractor shall maintain the site and job conditions in such a manner as to protect from injury all persons and property. Prior to the start of the Work, discuss job site security measures with Owner.
- 01.06 EPA RRP CERTIFICATION:** Federal law enforced by the EPA under the Renovation, Repair and Painting Rule, requires contractors that disturb lead-based paint in homes built prior to 1978 to be certified, to follow specific work practices to prevent lead contamination, and to use certified renovators who are trained by EPA-approved training providers to follow lead-safe work practices. Contractors must use lead-safe work practices and follow these three simple procedures: 1) Contain the work area; 2) Minimize dust; 3) Clean up thoroughly. These procedures are to be followed per the EPA standards.
- 01.07 TEMPORARY FACILITIES:** The Contractor shall provide temporary facilities as required by job conditions or local regulations. Temporary facilities include but are not limited to: telephone service; sanitary facilities; drinking water; first aid station. Owner shall provide electricity and water for use during construction.
- 01.08 WASTE MANAGEMENT:** The Contractor shall manage the waste materials of demolition and construction in such a fashion as to maintain job site safety, and shall maintain a dumpster, or other trash storage devise on site into which all waste materials of the project shall be deposited on a daily basis.
- 01.09 CUTTING AND PATCHING GENERAL:** Where required to cut into existing construction to provide for the installation or performance of other work and subsequent fitting and patching, all work shall restore surfaces to their original condition or to the adjoining new surface. Except as otherwise indicated, or as directed by Architect and/or Owner, use materials for cutting and patching that are identical to existing materials. If identical materials are not available, or cannot be used, use materials that match existing adjacent surfaces to the fullest extent possible with regard to visual effect. Use materials for cutting and patching that will result in equal-or-better performance characteristics. Patch with seams which are durable and as invisible as possible. Comply with specified tolerances for the work. Restore exposed finishes of patched areas and where necessary extend restoration into retained adjoining work in a manner which will eliminate evidence of patching and refinishing.
- CUTTING AND PATCHING SYSTEMS:** Patch existing systems which are altered or obstructed by the work. Patch in a manner to maintain proper system operation and performance. Systems include, but are not limited to: structural systems, mechanical systems, electrical systems, plumbing systems, security systems, audio/visual systems, foundation drainage systems, waterproofing systems, rain leader systems, etc.
- 01.10 CUTTING AND PATCHING PRECAUTIONS:** Do not cut and patch structural work in a manner that would result in a reduction of load-carrying capacity or of load-deflection ratio. Do not cut or patch operational or safety related components in a manner that would result in a reduction of their capacity to perform in the manner intended. Do not cut or patch work exposed on the buildings exterior or in its occupied spaces, in a manner that would, in the Architect and/or Owner's opinion, result in lessening the building's aesthetic qualities. Do not cut and patch work in a manner that would result in substantial visual evidence of cut and patch work. Remove and replace work judged by the Architect and/or Owner to have been cut and patched in a visually unsatisfactory manner.
- 01.11 OWNER PROVIDED ITEMS:** Except as otherwise noted, the installation of Owner provided items shall be the responsibility of the Owner. The Contractor shall provide coordination as required for interfacing the Owner provided items with other related, adjoining and abutting conditions and items, and shall work with the Owner in planning and scheduling for the Owner provided installations.
- Owner Provided Item OP1:** Decorative Metal Guardrail/Handrail at Interior Stair. Refer to Division 5 of these Specifications.
- Owner Provided Item OP2:** Kitchen Cabinetry and Related Items. Refer to Division 6 of these Specifications.
- Owner Provided Item OP3:** Engineered Wood Flooring and Related Items. Refer to Division 6 of these Specifications.
- Owner Provided Item OP4:** Bath Vanities and Related Items. Refer to Division 6 of these Specifications.
- Owner Provided Item OP5:** Wardrobe Cabinets and Related Items. Refer to Division 6 of these Specifications.
- Owner Provided Item OP6:** Laundry Cabinet and Related Items. Refer to Division 6 of these Specifications.
- Owner Provided Item OP7:** Master Bedroom Walk-In Closet Build-Out. Refer to Division 6 of these Specifications.
- Owner Provided Item OP8:** Front Exterior Doors. To be installed by Contractor. Refer to Division 8 of these Specifications.
- Owner Provided Item OP9:** Finish Hardware. To be installed by Contractor. Refer to Division 8 of these Specifications.
- Owner Provided Item OP10:** Solid Surface Countertops. Refer to Division 9 of these Specifications.
- Owner Provided Item OP11:** Stone/Ceramic Tile. Refer to Division 9 of these Specifications.
- Owner Provided Item OP12:** Mirrors. Refer to Division 9 of these Specifications.
- Owner Provided Item OP13:** Shower Door/Enclosure Systems. Refer to Division 9 of these Specifications.

- Owner Provided Item OP14:** Plumbing Fixtures, Fittings and Bath Accessories. To be installed by Contractor. Refer to Division 15 of these Specifications.
- Owner Provided Item OP15:** Misc. Lighting / Elec. Fixtures. To be installed by Contractor. Refer to the Electrical Drawings.
- Owner Provided Item OP16:** Residential Appliances. To be installed by Contractor. Refer to Division 11 of these Specifications.
- 01.14 ALTERNATES:** Provide line item for the following Alternates (Not to be included in the Base Bid):
- Add Alternate AA1:** Engineered Wood Flooring Alternate. As indicated in the Drawings and in Division 6 of these Specifications.
- Add Alternate AA2:** Lighting Control System. Refer to Division 15 of these Specifications.

DIVISION 2: DEMOLITION & SITEWORK

- 02.01 GENERAL:** The Contract for Construction shall include all demolition and sitework required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required.
- 02.02 UTILITIES:** All existing underground utilities shall be physically located by the Contractor prior to the beginning of any construction in the vicinity of these utilities. The Construction Documents do not represent that all existing utilities are shown or that those shown are correctly located. It is the Contractor's responsibility to contact each utility company, dig test pits, and take all and whatever steps are necessary to accurately locate and protect all existing utilities. No construction shall be accomplished until the accurate locations of utilities have been made and it has been determined by the Contractor that construction can be accomplished in accordance with these plans without utility conflicts. Note that a new electrical distribution box has been installed on a portion of wall of the existing garage which shall remain as a portion of a wall of the Workshop. This box distribution box feeds to a newly installed 200 amp panel at the South-East corner of the Propose Kitchen. Another feed goes to a newly installed panel at the Basement Apartment. The contractor shall take care in the demolition and construction operations not to disturb or damage the box as well any existing electrical service to, and from, this distribution hub.
- 02.03 DEMOLITION:** Provide for the demolition of all existing items which will interfere with the Work indicated in the Construction Documents. Except as otherwise indicated, all demolished items shall be hauled from the site and shall be properly disposed of. Demolition shall include the removal of all existing finishes, trims, subflooring etc. on the First and Second floor of the House, down to bare studs/joists; additionally demolition shall include the removal of all existing insulation, electrical and mechanical devices, wiring, etc. (other than items which service the Basement Apartment, or infrastructure scheduled to remain). Provide mechanical, electrical and plumbing demolition as may be required to complete the Work. Note that the Drawings do not account for all items related to these trades which may require demolition, each subcontractor shall make a field visit prior to submitting their bid so as to account for the demolition required to complete the Work indicated in the Construction Documents. Salvage demolished brick for reuse as specified in Division 4 of these Specifications.
- 02.04 BRACING AND SHORING:** Provide bracing and shoring as required to protect existing construction to remain from damage, as well as to protect persons and property. Verify all bearing conditions prior to beginning demolition.
- 02.05 PROTECTIONS:** Protect existing trees and vegetation which are to remain from physical damage. Do not store materials or equipment within the drip line. Protect structures, utilities, sidewalks, pavements, and other items in areas of work. Provide necessary protection to prevent damage to persons or property. Restore any damaged property to the condition existing prior to the start of the work unless otherwise noted. Provide protections as required during demolition and construction operations, as related to the newly renovated Basement Apartment, as well as any and all other items to remain. Provide protections as required during demolition and construction operations regarding the West property line neighbor's grape vine which is between the property line and said neighbor's garage - this vine is to remain.
- 02.06 FLAGSTONE WALKWAY, FLAGSTONE AND BRICK STAIRS & AREAWAY:** Provide and install flagstone paving for walkways and areaway in Rear Yard. Provide and install stairways with flagstone treads and brick risers and cheek walls. Flagstone shall a minimum of 1 1/4 inch in thickness and shall be installed on a 1 inch setting bed over concrete slabs and stair typically. Flagstones shall be set in a random orthogonal pattern, unless otherwise indicated. Provide thermal edge for all exposed flagstone edges. Provide flagstone samples for review and selection. Coordinate paving with any, and all, drainage work required. Refer to Specification Division 3 for concrete slab and stair requirements. Refer to Specification Division 4 for brickwork requirements.
- 02.07 BRICK RETAINING WALLS WITH FLAGSTONE COPINGS:** Provide and install brick faced retaining walls with concrete masonry back-up and flagstone copings where indicated in Rear Yard. Flagstone copings shall a minimum of 1 1/4 inch in thickness. Retaining walls shall have drainage board and 4 inch wide gravel filled vertical drain channel, for the length of the wall, from grade down to a foundation drain in filter fabric at retaining side, with 3 inch weeps at 48 inch through wall at 48 inches on center, typically. Provide thermal edges for all exposed flagstone edges. Provide flagstone samples for review and selection. Refer to Foundation Drainage System Requirements as specified in the Division. Refer to Specification Division 4 for concrete masonry and brickwork requirements.
- 02.08 WOOD FENCING:** Provide and install fencing and privacy fencing where indicated at the rear yard, and in conjunction with the Deck over the Parking Area and Workshop, and at the New Deck Walkway. Coordinate fencing at the alley with the support and installation of the steel rolling overhead security gate. Refer to Division 6 for fencing requirements. Refer to Division 8 for security gate requirements.
- 02.09 BOLLARDS:** Provide and install steel bollards where indicated in the Drawings. Bollards shall be Reliance Foundry, model R-7835, or approved equal, with anchor casting. Bollards shall be set on concrete footings as recommended by the product manufacturer. Coordinate bollard installation and footing with the installation of the steel rolling overhead security gate. Refer to Division 3 for concrete footing requirements. Refer to Division 8 for security gate requirements.
- 02.10 GRAVEL BED BELOW DECK WALKWAYS:** Provide and install a 4 inch thick gravel bed over landscape filter fabric under the New Deck Walkway and related stair. The Gravel bed shall be sloped at a rate of 1/4 inch fall per linear foot away from the House, and the existing retaining wall on the east property line, towards the lawn. The edge of the gravel bed shall be set in line with the deck above. Coordinate gravel bed installation with Yard Drainage and with the installation of Soil and Sodding, as specified in this Division. Provide gravel sample for the review by the Owner, prior to purchase and installation of the balance of the material.
- 02.11 YARD DRAINAGE:** Slope yard at a minimum rate of 1/4 inch fall per linear foot away from the House and the existing retaining wall on the East property line. The intent for the lawn is to let all water that does not perk in the lawn run to the retaining wall between the yard and the parking area, to drain down the gravel drainage channel, and out to the foundation drain and out the weep holes. The intent for the flagstone walkway is to slope away from the top of the stairs towards the stair down to the parking area.
- 02.12 FOUNDATION DRAINAGE SYSTEM:** Provide and install a sub-grade perimeter foundation drainage system at exterior perimeter of the Workshop (except east wall on property line), and at uphill sides of retaining walls as specified elsewhere in this Division. Include 4" perimeter PVC perforated drain pipe, filtering material, gravel bed, and all necessary accessories. Tie foundation drain of Addition to new exterior sump pump and rain leader system. Provide check valve on foundation drainage system to prevent water flowing back from sump pit, should sump pump fail.
- 02.13 AREA DRAIN, EXTERIOR SUMP, AND SUB-GRADE RAIN LEADER SYSTEM:** Provide and install a new areaway drain with stainless steel grating at the floor of the areaway. The top of the areaway flagstone floor shall be set 4 inches below the adjacent basement floor level. The areaway drain shall be connected to the adjacent sump pit with 4 inch solid PVC piping.
- 02.14 SUMP PIT & EXTERIOR GRADE SUMP PUMP:** Provide and install a sump pit and pump system to be set below the New Deck Walkway, as indicated in the Drawings. The pit shall receive water from the adjacent areaway drain and from the foundation drainage system for the Addition, as well as for the rear wall of the Existing House. The pump shall discharge into the adjacent sub-grade rain leader system. The pit shall be formed from a corrugated PVC tube, and shall have a removable lid for access. The pump shall be powered on a dedicated circuit and shall incorporate a back-up battery system. Provide provisions for the removal of the pump for repair or replacement, taking into account the access being below the deck.
- 02.15 SUB-GRADE RAIN LEADER SYSTEM:** Downspouts at the rear of the house shall outlet into 4" diameter sub-grade PVC rain leaders as indicated in the Drawings. Note that the sump pump shall discharge into the adjacent leader as indicated above. Furnish drainage pipe, complete with bends, reducers, adapters, collars, and joint materials. Slope piping as required for proper drainage and extend lines to, and through, the retaining wall between the yard and the parking area to spill onto the concrete slab at the base of the wall.

- 02.16 SOIL PREPARATION FOR PLANTING BED AT REAR YARD:** Excavate top portion of yard scheduled for planting bed. New topsoil shall be furnished and placed 8 inches thick at planting bed. Till the existing soil to remain to at least 6 inches below the layer of new top soil. New top soil shall be free of debris, rocks, and gravel, and consist of a sandy loam containing not more than 2 to 2.5% organic matter. Prepared soil shall be spread evenly to the true contours of the site, and hand raked to an even, smooth surface, ready for planting by Owner.
- 02.17 TERMITE CONTROL:** Provide soil treatment for termite control at the areas of new construction as recommended by a qualified, registered pest control professional.

DIVISION 3: CONCRETE

- 03.01 GENERAL:** The Contract for Construction shall include all concrete work required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required.
- 03.02 CODES & STANDARDS:** Concrete work shall conform to all applicable local, state and national codes and standards, as well as those established by the American Concrete Institute as described in its current publications. The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered.
- 03.03 CONCRETE MATERIALS:** All concrete to have minimum compressive strength (FC) = 3000 psi in 28 days. All concrete to be poured in accordance with ACI 301-83 specification. Concrete exposed to weather to be air-entrained. All reinforcing steel to meet ASTM-A-615 Grade 60. Furnish support bars and all required accessories in accordance with C.R.S.I. Standards.
- 03.04 CONCRETE FOOTINGS:** Provide concrete footings as required for the work indicated. Exterior footings shall have a minimum depth of 2'-6" below grade (to bottom). Refer to the Drawings for other specific conditions.
- 03.05 CONCRETE SLABS:** Unless otherwise indicated, concrete slabs on grade shall be a minimum of 4" thick and shall be reinforced with welded wire fabric and poured on a 6 mils thick polyethylene moisture barrier over 4 inches minimum of compacted gravel set on undisturbed earth or structural fill. Provide construction, isolation, expansion and control joints as required to maintain strength and appearance, to avoid cracking, and to stabilize differential settlement. Provide trowel finish to monolithic slab surfaces that are exposed to view. Consolidate concrete surfaces by finish troweling, free of trowel marks, uniform in texture and appearance.
- 03.06 CONCRETE SLAB AT PARKING AREA & WORKSHOP:** The concrete slab at the Parking Area shall be 6 inches thickness. It shall meet the ally flush for its entire abutting perimeter. From the ally, it shall slope up at a minimum rate of 1/8 inch per linear foot to meet the retaining wall between the Parking Area and yard, and the stair up to the yard. The concrete slab at the Workshop shall meet the Parking Area slab flush for its entire abutting length. From the ally, it shall slope up at a minimum rate of 1/8 inch per linear foot to the wall on the East property line. Coordinate the elevations of this slab surface with the requirements for the adjacent stairway and retaining wall. Additionally, coordinate these slabs with the adjoining and abutting foundations for walls, fence posts, bollards and other such items.
- 03.07 REINFORCED CONCRETE SUB-STAIRS:** Provide and install reinforced concrete sub-stairs for exterior stairways scheduled for brick facing and flagstone treads. Concrete reinforcement for the sub-stairs shall be per the recommendations of the American Concrete Institute, or as otherwise indicated, and poured on a 6 mils thick polyethylene moisture barrier over 4 inches minimum of compacted gravel set on undisturbed earth or structural fill. Coordinate the elevations of the stairs with the requirements facing and treads, for the rise and run indicated, or as required by field conditions, with the limitations of the IRC code for stairs. Additionally, coordinate these sub-stair with the adjoining and abutting slabs and foundations.
- 03.08 EXISTING FOUNDATION:** Note that existing foundation conditions are unknown and any reference in the drawings, specifications, and addenda to specific conditions are based on assumptions which are subject to field verification.
- 03.09 ADDITIONAL REQUIREMENTS:** Refer to Structural Specifications on the Drawings.

DIVISION 4: MASONRY

- 04.01 GENERAL:** The Contract for Construction shall include all masonry and stone work required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required.
- 04.02 CODES & STANDARDS:** Masonry and stone work shall conform to all applicable local, state and national codes and standards, as well as those established by the Brick Industry Association, Concrete Masonry Association, and the Building Stone Institute as described in their current publications. The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered.
- 04.03 CONCRETE MASONRY GENERAL:** Concrete masonry units shall meet the requirements of ASTM C90, grade N-1 (moisture cured), lightweight, hollow, with minimum compressive strength of 1500 psi. Masonry mortar shall meet the requirements of ASTM C270, type M. Installation of Concrete Masonry Units shall be per the published specifications and recommendations of the National Concrete Masonry Association, and the product manufacturer, as applicable to the work described and the conditions encountered. Provide horizontal joint reinforcement at 16 inches on center vertically, typically.
- 04.04 CONCRETE MASONRY @ WEST SIDE OF ADDITION:** The concrete masonry foundation/basement wall along the West side property line shall be stuccoed in lining with the stucco on the frame walls above. Refer to Division 7 of these Specifications for stucco requirements.
- 04.05 CONCRETE MASONRY & BRICKWORK @ WORKSHOP & SITE ELEMENTS:** Provide and install brick and brick/CMU bearing walls, and brick facing where indicated or required. Brick facing shall be used at exposed exterior portions of the Workshop, at retaining walls, and exterior stair risers. Brick bond pattern, and joint tooling Shall match the existing brickwork of the house. Coursing shall align, and joint dimensions match, where new brick is set adjacent to existing brickwork. Provide horizontal joint reinforcement at 16 inches on center vertically, typically, and vertical reinforcement indicated in the Drawings. Installation of brick and brick/CMU walls shall be per the published specifications and recommendations of the Brick Industry Association, the National Concrete Masonry Association, and the product manufacturer, as applicable to the work described and the conditions encountered. Brick and mortar for the brickwork on the Workshop, at retaining walls, and exterior stair risers, shall not be painted, and shall be selected by the Owner. Provide samples for brick selection and sample panel with proposed brick and mortar for field review by Owner prior to the purchase and installation of balance of the brick material.
- 04.06 BRICKWORK @ ADDITION & PATCHING OF EXISTING BRICK:** Provide and install brick facing at all exposed portions of the foundation/basement wall on the South face of the Addition (rear face). Brick used for new facing at this location, and for patching shall match the existing house brick in size and texture. Provide patching of brickwork as required on the existing/renovated portion of the existing exterior walls. Reuse salvaged brick to the greatest extent possible for all patching. Patching of new masonry openings shall be toothed to the existing bond pattern. Brick bond pattern, grouting, and joint tooling shall match the existing installation. Mortar used for the new rear wall facing, and for patching on the existing House shall be "historic" mortar, of texture matching the existing mortar. Brick at the rear of the house shall be primed and painted on the exterior, per the requirements of Specification Division 9. Brick on the East side party wall shall be left un-painted.
- 04.07 BRICK ARCH AT SECOND FLOOR REAR WINDOWS:** Provide and install custom rubbed 4 inch thick and 8 inch high (nominal) brick arch at the head of the Second Floor rear windows, as indicated in the Drawings. This brick arch shall be backed-up with a cast in place reinforced concrete arch as required. Coordinate the brick arch dimensions and radius with the Second Floor rear windows as specified in Division 8 of these Specifications.
- 04.08 MODIFICATIONS TO EXISTING FIREPLACE & CHIMNEY:** Provide modifications to the existing fireplace and chimney as indicated in the Drawings. This work included the elimination of the previously abandoned Living Room fireplace with the associated patching of the chimney as required to continue the venting of the boiler and water heater flue line to exhaust above the roof.
- 04.09 REPOINTING & SEALING OF INTERIOR FACES OF BRICK** Interior faces of all brick walls of the First and Second floors of the house shall be re-pointed as necessary, and then sealed with a brick sealer prior to the installation of stud furring on these walls.
- 04.10 ADDITIONAL REQUIREMENTS:** Refer to Structural Specifications on the Drawings.

DIVISION 5: METALS

VANDEVENTER & CHERBAKOV PROJECT SPECIFICATIONS
ADDITION & RENOVATIONS PAGE 1
1728 CHURCH STREET, NW
WASHINGTON, DC 20036

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Ahmann LLC
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SCALE: 1/4" = 1'-0"

PERMIT ISSUE
5 FEBRUARY 2015

4408 BECHWOOD ROAD UNIVERSITY PARK, MARYLAND 20782

PHONE 301 864 1334
FAX 301 864 6818

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- 05.01** **GENERAL:** The Contract for Construction shall include all metals work required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required.
- 05.02** **CODES & STANDARDS:** Metal work shall conform to all applicable local, state and national codes and standards as well as those established by the National Association of Architectural Metal Manufacturer and the American Institute of Steel Construction as described in their current publications. The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered.
- 05.03** **MISC. METAL:** Provide Miscellaneous metal as required, including loose lintels for masonry walls, bolts, plates, anchors, hangers, and other required items for framing and supporting woodwork.
- 05.04** **STRUCTURAL STEEL:** Provide and install structural steel elements and systems as indicated in the Drawings. The material and its installation shall conform to the published specifications and recommendations of American Institute of Steel Construction, as applicable to the work indicated and the conditions encountered. Unless otherwise noted all structural steel shall be A36 steel, all bolts used to connect structural steel shall be A325 high strength, all welding electrodes shall be E70XX unless otherwise noted. All steel shall be set by experienced steel erectors. All setting materials and anchoring devices shall be provided and installed in accordance with the specifications and recommendations of the American Institute of Steel Construction. Coordinate structural steel with decorative steel facing, as specified in this Division, as required for the support and attachment of decorative facing components. Provide shop drawings for review prior to fabrication.
- 05.05** **DECORATIVE STEEL FACING:** Provide and install exterior decorative steel facings where indicated in the Drawings. Refer to the Drawings for specific component sizing and details. The attachments and anchoring of the decorative steel facing components shall be coordinated with the building elements as necessary. The decorative steel facing components shall be shop fabricated to the greatest extent possible with all joints neatly welded and dressed, for a smooth finished appearance. The decorative steel facing components, and associated fasteners, shall be primed and painted in accordance with the requirements of Specification Division 9. Provide shop drawings for review prior to fabrication.
- 05.06** **STEEL GUARDRAILS, HANDRAILS & DECK BAND CHANNELS:** Provide and install steel guardrails and handrails, with deck band channels, as indicated in the Drawings. The guardrails shall consist of steel rail posts and top rail with wood cap and stainless steel cable infill. The railings shall be secured between the wood band board of the deck and a steel deck band channel with thru bolts. Refer to the Drawings for specific component sizing and spacings. The attachments and anchoring of the handrails and guardrails shall meet or exceed the loading requirements as specified in IBC 2012 Section 1607.8.1. The steel railing components shall be shop fabricated to the greatest extent possible with all joints neatly welded and dressed, for a smooth finished appearance. The steel posts, steel top rail, steel deck band channel, and associated fasteners shall be primed and painted in accordance with the requirements of Specification Division 9. Provide shop drawings for review prior to fabrication.
- 05.07** **STEEL & WOOD INTERIOR STAIRWAY & LANDING:** Provide and install steel and wood interior stair and landing as indicated in the Drawings. Refer to the Drawings for specific component sizing and details. The attachments and anchoring of the steel shall be coordinated with floor structure on the First and Second Floors. The steel components of the steel and wood interior stairway and landing shall be shop fabricated to the greatest extent possible with all joints neatly welded and dressed, for a smooth finished appearance. The steel components of the stair and landing, and associated fasteners, shall be primed and painted in accordance with the requirements of Specification Division 9. Coordinate the steel work of the stair and landing with the wood treads as specified in Division 6, and with the glass guard railing system as specified in Division 8. Provide shop drawings for review prior to fabrication.
- 05.08** **DECORATIVE METAL GUARDRAIL/HANDRAIL AT INTERIOR STAIR:** **Owner Provided Item.** Provide coordination as required for the installation of the railings at the stair and Second Floor Stair Hall by the Owner's railing contractor. Provide blocking as required for handrail installation along the West wall side of the stairway.
- 05.09** **ADDITIONAL REQUIREMENTS:** Refer to Structural Specifications on the Drawings.

DIVISION 6: WOOD / CARPENTRY

- 06.01** **GENERAL:** The Contract for Construction shall include all woodwork required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required.
- 06.02** **CODES & STANDARDS:** Woodwork and carpentry shall conform to all applicable local, state and national codes and standards as well as those established by the National Forest Products Association, the American Plywood Association, and the Architectural Woodwork Institute as described in their current publications. The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered.
- 06.03** **FRAMING MATERIALS:** Provide and install all framing lumber as required to complete the Work. Refer to Structural Specifications on the Drawings for specific material and installation requirements. Unless otherwise indicated or required, all new exterior stud walls shall be framed with 2 x 6 lumber at 16 inches on center, and all interior stud walls shall be framed with 2 x 4 lumber at 16 inches on center. All framing material in direct contact with concrete, masonry, or within 8 inches of grade, or adjacent exterior surface, shall be preservative treated.
- 06.04** **FUrrING, SISTERING & SHIMMING FOR PLUMB AND LEVEL CONSTRUCTION:** Provide and install wood furring, sistering and/or shimming as required for walls, floors and ceilings to be plumb and level throughout the First and Second Floors of the Addition and the Existing House.
- 06.05** **EXTERIOR SHEATHING:** For the Addition, provide and install exterior wall and roof sheathing. Exterior wall sheathing shall be standard grade plywood, exterior glue, 1/2 inch thick. Roof sheathing shall be interior plywood with exterior glue, 5/8 inch thick. Where required to replace roofing, the condition all existing sheathing shall be investigated prior to the installation of new roofing materials. Damaged and rotted sheathing shall be replaced. **Provide with the bid submittal a per sheathing panel replacement cost.** In cases of patching of existing roof sheathing, match adjacent existing conditions. Sheathing shall be installed per APA specifications, requirements and recommendations.
- 06.06** **SUBFLOORING:** Design, provide and install subflooring system at the Addition and as replacement for all floor Subflooring on the First and Second Floors of the Existing House. **Subflooring shall be Warmboard-S Radiant Subfloor, or approved equal to be coordinated with the in-floor hydronic radiant heating system as specified in Division 15.** The subfloor manufacturer shall provide design and specification for panel layout, tubing layout and manifold requirements. Design of heating system shall be provided by the heating subcontractor. Prior to the installation of the subflooring at the existing house, the General contractor shall provide shimming, and/or sistering of joists as required to level floor. The installation of the subflooring shall be per the written specifications, recommendations and requirements of the produce manufacturer. Coordinate the subfloor installation with the requirements for wood strip flooring as specified in this Division and for tile flooring on Durock as specified in Division 9.
- 06.07** **ENGINEERED WOOD FLOORING:** **Owner Provided Item.** Provide coordination as required for the installation of engineered floating wood flooring system by the Owner's flooring contractor, for all wood floor areas on the First and Second floors of the House. The Contractor shall assist in the coordination of the flooring with all adjoining and abutting features and items, including but not limited to radiant subfloor, stairway, cabinetry, appliances, shoeless baseboard trim, doors and frames.
- 06.07a** **ENGINEERED WOOD FLOORING: Add alternate.** Provide and install engineered floating wood flooring system, as selected by the Owner, for all wood floor areas on the First and Second floors of the House. Engineered flooring shall be pre-finished flooring system compatible with the proposed in-floor hydronic heating system. For bidding of this alternate, flooring shall be assumed to be 3/4 inch high-end engineered hardwood flooring as manufactured by Bruce Hardwood, or Approved equal. Installation of the wood flooring shall be per the product manufacturer's written instructions, specifications, and recommendations for the installation indicated and the conditions encountered. Coordinate the installation of the wood strip flooring with the radiant subfloor, and take precautions not to damage radiant heat piping during the installation of the flooring. Coordinate flooring installation with field conditions and requirements, and all adjoining and abutting features and items, including but not limited to radiant subfloor, stairway, cabinetry, appliances, shoeless baseboard trim, doors and frames. Provide a sample of proposed wood flooring material for review by the Owner prior to the purchase of the balance of the floor material.
- 06.08** **WOOD TREADS FOR STEEL & WOOD INTERIOR STAIRWAY & LANDING:** Provide and install plank treads and landing boards for the steel and wood interior stairway and landing as indicated in the Drawings. The plank material shall match wood flooring material selected by the Owner as close as practical. Coordinate the wood treads and landing boards with the steel components of the stair and landing as specified in Division 5, and with the guard railing system as specified in Division 5. Provide shop drawings for review prior to fabrication. Refer to Division 9 of these Specifications for tread finishing requirements.

- 06.09** **INTERIOR WOOD TRIM:** Provide and install standing and running trim in the shapes indicated in the Interior Wood Trim Schedule below, or as otherwise indicated in the Drawings. The material, its fabrication, and its installation conform to the Custom Grade Specifications and Requirements of the applicable Sections of the Architectural Woodwork Institute's Architectural Woodwork Quality Standards, Guide Specifications and Quality Certification Program Manual, most current edition, as applicable to the work indicated and the conditions encountered. Trim material shall be #1 clear mahogany, to be field finished per the requirements of Specification Division 9. **G.C. Note: the mahogany species shall be coordinated between the Front Windows, the Rear Window and Glazed Doors, the Interior doors and Frames, the Exterior Doors and Frames, and the Interior Trim.**
- 06.10** **INTERIOR WOOD TRIM SCHEDULE:**
- | | |
|-----------------------|---|
| Baseboard: | 5/4 x 8 with slight eased top edge (no cap or shoe). |
| Window & Door Casing: | 5/4 x 3 with both edges slightly eased |
| Window Stool | 1 1/2" face edge slightly eased on top, rabbet as required to meet window and extend horns 1/4" past casing with slightly eased return. |
- 06.11** **KITCHEN CABINETRY & RELATED ITEMS:** **Owner Provided Item.** Provide coordination as required in reviewing cabinet order, and verifying all field conditions and requirements with final cabinet dimensions, including hook-ups for related appliances, plumbing fixtures, and all other adjoining and abutting features and items. Note, the Contractor shall provide blocking in walls for securing cabinets.
- 06.12** **BATH VANITIES & RELATED ITEMS:** **Owner Provided Item.** Provide coordination as required in reviewing cabinet order, and verifying all field conditions and requirements with final cabinet dimensions, including hook-ups for plumbing fixtures, and all other adjoining and abutting features and items. Note, the Contractor shall provide blocking in walls for securing cabinets.
- 06.13** **WARDROBE CABINETS & RELATED ITEMS:** **Owner Provided Item.** Provide coordination as required in reviewing cabinet order, and verifying all field conditions and requirements with final cabinet dimensions, including all adjoining and abutting features and items. Note, the Contractor shall provide blocking in walls for securing cabinets.
- 06.14** **LAUNDRY CABINET & RELATED ITEMS:** **Owner Provided Item.** Provide coordination as required in reviewing cabinet order, and verifying all field conditions and requirements with final cabinet dimensions, including all adjoining and abutting features and items. Note, the Contractor shall provide blocking in walls for securing cabinets.
- 06.15** **MASTER BEDROOM WALK-IN CLOSET BUILD-OUT:** **Owner Provided Item.** Provide coordination as required in reviewing build-out order, and verifying all field conditions and requirements with build-out dimensions, including all adjoining and abutting features and items. Provide blocking in walls for securing build-out.
- 06.16** **CLOSET RODS & SHELVING:** Provide and install wood clothes rods and supports in clothes closet of Bedroom #1. Provide braces as required for proper support, with wood blocking properly placed in stud walls for the attachment of rods and braces. Provide and install painted wood shelving above rod. Provide five adjustable shelves at all linen closets. Shelving shall be birch veneer plywood with a 3/4" edge band. Provide support standards and clips as required.
- 06.17** **WOOD DECK OVER PARKING AREA & DECK WALKWAY:** Provide and install wood decking and deck structure for the wood deck over the Parking Area and for the Deck Walkway, as indicated in the Drawings. Deck framing shall be preservative treated wood lumber, except for exposed posts or bands which shall be #1 clear cedar. Decking boards shall be 5/4 x 4 #1 clear cedar, grooved edge (except exposed edges) and shall be installed with a concealed fastener system. Spacing of deck boards shall be as selected by the Owner from standard fastener spreads. Decking and related items shall left to weather naturally. Coordinate the installation of the wood deck over the Parking Area with the roofing of the Workshop as specified in Division 7, with the attached and adjacent fencing/privacy fencing as specified in this Division, and with the steel guardrails, handrails and deck band channels as specified in Division 5.
- 06.18** **FENCING & PRIVACY FENCING:** Provide and install wood fencing and privacy fencing where indicated, and as detailed in the Drawings. Fence posts shall be #1 clear cedar. Fencing boards shall be 1 x 4 #1 clear cedar, grooved edge (except exposed edges) and shall be installed with a concealed fastener system. Spacing of fencing boards shall be as selected by the Owner from standard fastener spreads. Fencing and related items shall be left to weather naturally. Coordinate the installation of the wood fencing and privacy fencing with the wood deck over the Parking Area and the Deck Walkway as specified in this Division, with the rolling overhead security gate as specified in Division 8, and with all abutting and adjoining structures, features and items.

DIVISION 8: WINDOWS, DOORS, GLASS PARTITION & RAILING

- 08.01** **GENERAL:** The Contract for Construction shall include all doors and windows work required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required.
- 08.02** **CODES & STANDARDS:** Doors and windows work shall conform to all applicable local, state and national codes and standards, as well as those established by the Door and Hardware Institute, the American Woodwork Institute, and the National Woodwork Manufacturer's Association as described in their current publications. The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered.
- 08.03** **REAR WINDOWS AND GLAZED DOORS:** Provide and install windows and exterior doors for the Rear of the House, as indicated in the Drawings. The windows and doors shall be as manufactured by Panda Windows and Doors, of Las Vegas Nevada, or approved equal. The doors shall be Panda TS.13 Aluminum/Wood Clad Thermally Broken Lift and Slide, straight, four panel (XOOX), without pockets. The windows shall be Panda S.46 Aluminum/Wood Clad Tilt & Turn. Windows and glazed doors shall be provided with 1" insulated low-e, argon filled glazing in full view (no lite divisions). Multiple window units shall be factory mullied frame-to-frame. The window manufacturer shall verify that the individual windows making up the multiple window unit at Bedroom #1 meet the emergency egress requirements of the 2012 International Residential Code. All operable units shall be provided with screens. Aluminum clad color, jamb liner color, screen frame color, and hardware color/options shall be selected by the Owner from standard options. Interior wood cladding shall be mahogany, to be field finished per the requirements of Specification Division 9. **G.C. Note: the mahogany species shall be coordinated between the Rear Window and Glazed Doors, the Front Windows, the Interior doors and Frames, the Exterior Doors and Frames, and the Interior Trim.** Install windows and doors according to the manufacturer's specifications, requirements and recommendations as required for a complete weather-tight installation. The Contractor shall verify all masonry opening, rough opening and jamb dimensions prior to ordering units. Provide shop drawings for review. **Note: The Owner is considering the use of "Smart Glass" glazing or electric blinds at the rear windows and doors, should the choice be to use electric blinds. The Contractor shall assist in the coordination of this selection as required.**
- 08.04** **FRONT WINDOWS:** Provide and install new windows for replacement of all existing windows at the Front of the House, as indicated in the Drawings. The windows and door shall be Pella Architect Series Wood Double Hung windows, or approved equal. Window units, and associated exterior moulding shall be mahogany, to be field finished on the interior, and field primed and painted on the exterior, per the requirements of Specification Division 9. **G.C. Note: the mahogany species shall be coordinated between the Front Windows, the Rear Window and Glazed Doors, the Interior doors and Frames, the Exterior Doors and Frames, and the Interior Trim.** Window units shall be sized appropriately for the existing masonry openings, incorporating an exterior brick mould profile as best matches the existing exterior trim conditions. Windows shall be provided with Advanced Low-e Insulating Glazing with Argon in full view (no lite divisions). All operable units shall be provided with screens. Jamb liner color, screen frame color, and hardware color/options shall be selected by the Owner from standard options. All operable windows within 24 inches of floor level and greater than seventy two inches above grade, or finished surface below, shall be provided with sash limiters meeting the requirements of the 2012 International Residential Code. Install windows and doors according to the manufacturer's specifications, requirements and recommendations as required for a complete weather-tight installation. The Contractor shall verify all masonry opening, rough opening and jamb dimensions prior to ordering units. Provide shop drawings for review. **Note: The Owner is considering the use of "Smart Glass" glazing or electric blinds at the front windows, should the choice be to use electric blinds. The Contractor shall assist in the coordination of this selection as required.**
- 08.05** **WINDOW & DOOR GLAZING:** Window and door fabricator shall supply glazing meeting or exceeding the test requirements of CSCPC 16-CFR, part 1201 for glazing in "Hazardous Locations" as specified in the applicable IRC Code. The contractor and/or the window supplier shall be responsible for determining which units require such glazing.
- 08.06** **INTERIOR DOORS & FRAMES:** Provide and install interior doors and frames as indicated in the Drawings. Interior doors shall be engineered 1 3/8" thick solid core, flush doors, with center balanced mahogany veneer, pre-hung in solid wood mahogany frames. The material, its fabrication, and its installation conform to the Custom Grade Specifications and Requirements of the applicable Sections of the Architectural Woodwork Institute's Architectural Woodwork Quality Standards, Guide Specifications and Quality Certification Program Manual, most current edition, as applicable to the work indicated and the conditions encountered. Interior doors and frames shall be field finished per the requirements of Specification Division 9. **G.C. Note: the mahogany species**

VANDEVENTER & CHERBAKOV ADDITION & RENOVATIONS

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- shall be coordinated between the Interior doors and frames, the Rear Window and Glazed Doors, the Front Windows, the Exterior Doors and frames, and the Interior Trim.** Interior doors shall be pre-hung with square edge ball bearing hinges, at three per leaf up to seven feet in height, and four per leaf above seven feet, in color and finish to be selected by the Owner. The Contractor shall field verify all jamb requirements - conditions may vary. Provide shop drawings for review.
- FRONT EXTERIOR & VESTIBULE DOORS:** Provide and install new exterior wood and glass doors and frames at the Front of the House at the Basement and First Floor. Include also the Interior Door of the Vestibule at the First Floor. Front exterior and vestibule doors shall be selected by the Owner. Once the specifications for the doors have been determined, the direct cost of such doors shall be incorporated into the Contract through a Change Order. Exterior door units shall be sized appropriately for the existing masonry openings, incorporating an exterior brick profile as best matches the existing exterior trim conditions. Exterior doors shall be pre-hung with square edge ball bearing hinges, at three per leaf up to seven feet in height, and four per leaf above seven feet, in color and finish to be selected by the Owner. The Contractor shall field verify all jamb requirements - conditions may vary.
- FINISH HARDWARE: Owner Provided Item.** Install Owner provided finish hardware at all interior and exterior doors on the First and Second Floors, and for the Basement Front exterior door. The Contractor shall assist the Owner in the coordination of this item, and shall review the hardware order or orders. The Contractor shall verify all cutout requirements, and shall coordinate quantities and locations of all door hardware as well as handing of doors.
- GLASS PARTITION & SKYLIGHT INTERIOR GLAZING SYSTEMS:** Design, provide and install custom frameless glass partition and skylight interior glazing systems as indicated in the Drawings. Glass partition and skylight glazing system shall incorporate a minimum of 3/8" thick tempered glass, in panels sized per the requirements indicated in the Drawings, and per appropriate field verifications. Partition glazing and skylight glazing shall be obscure glass texture, as selected by the Owner. Secure partition panels to floor, ceiling, and abutting walls at ends of partition, with clip angles. Secure partition panels and skylight glazing panels to adjacent panels with spider connectors as required. Design of the attachments and anchoring of the glass partitions and guardrails shall meet or exceed the loading requirements as specified in IBC 2012 Section 1607.8.1. Additionally the glass partition and skylight glazing systems shall be in compliance with IBC Section 2407. Material finish and color for clip angles, bolt and washer system and caps, connection spiders and other related accessories shall be selected by the Owner. Provide shop drawings, connection hardware cut-sheets, and glass samples for review.
- ROLLING OVERHEAD DOOR AND SECURITY GATE:** Provide and install a rolling overhead door at the Workshop, and rolling overhead security gate at the rear of the property, as indicated in the Drawings. Door and gate shall be Model 900 as manufactured by Wayne Dalton, or approved equal. The door and gate shall be provided with electric power operator and UL325 entrainment protection. The door and gate color, accessories and options shall be selected by the Owner. Coordinate the rolling overhead door and security gate with all adjoining and abutting construction. Door and gate activation shall trigger an adjacent light fixture on a timed circuit for proper illumination at night.
- DIVISION 9: FINISHES & ACCESSORIES**
- GENERAL:** The Contract for Construction shall include all finishes work required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required.
- CODES & STANDARDS:** Finishes work shall conform to all applicable local, state and national codes and standards, as well as those established by the Gypsum Association, and the Tile Council of America as described in their current publications. The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered.
- GYPSUM WALLBOARD:** Gypsum wall board shall be glued and screwed into place on wood framing. Unless otherwise noted, all wallboard shall be of 1/2 inch thickness. Finish gypsum wallboard surfaces as required for a smooth and even appearance. Provide Durock board under all tile and moisture resistant "green board" at all other surfaces in the Kitchen and Bathrooms. Note: all existing plaster shall be removed, all masonry walls shall be furred out in the approximate dimensions as indicated in the Drawings, and all ceilings shall be leveled by furring or sistering of joists as required. Gypsum wallboard products shall be U.S. Gypsum. National Gypsum, Georgia Pacific, or approved equal.
- WOOD TREAD FINISHING:** Stair treads of the new stairway between the First Floor and Second Floor, shall be sanded, stained with two coats, and finished with three coats of water based polyurethane. Stain color and finish shall be necessary to match the finish selection of the Owner for the engineered wood flooring system as specified in Division 6. The Contract for Construction shall include provisions for providing field color samples for final approval prior to the application of the final stain and finish.
- EXTERIOR PAINTING:** Exterior paint shall be Benjamin Moore Aria premium grade low-luster latex for brick and stucco surfaces, and semi-gloss latex for metal surfaces and trim, applied in a minimum of two finish coats over one coat of primer/undercoat. The scope of exterior painting shall include all previously painted exterior surfaces at the rear of the Existing House, as well as all new stucco and metal work at the Existing House, the Addition, the Workshop, and the Decks and Railings. To the greatest extent possible, exterior metal work shall be shop primed and painted, then touched-up in the field after installation. Colors shall match the existing colors, or shall be as selected by the Owner. The Contract for Construction shall include provisions for providing field color samples for final approval prior to the final painting application. **Note, as part of the exterior painting scope, the contractor shall include provisions for the removal of the existing white paint on the small section of the West side neighbors rear wall, which had been painted inadvertently when the rear was previously painted. The technique(s) used for such removal shall be as approved by the Owner and the Adjacent property owner.**
- INTERIOR PAINTING:** Benjamin Moore Aria premium grade flat latex for gypsum wall board surfaces, and semi-gloss latex for metal surfaces, applied in a minimum of two finish coats over one coat of primer/undercoat. Paint in bathrooms shall be Benjamin Moore Kitchen and Bath paint. Interior painting scope includes all gypsum wall board surfaces, and metal work of Existing House, Addition and Workshop. To the greatest extent possible, interior metal work shall be shop primed and painted, then touched-up in the field after installation. Paint shall be applied per the product manufacturer's specifications, requirements and recommendations.
- INTERIOR WOOD FINISHING:** Interior woodwork scheduled for wood finishing shall be finished with two coats of Minwax Water Based Wood Stain. Woodwork scheduled for wood finishing includes all wood trim, wood railing components, windows and frames, and doors and frames. Finish color(s) shall be selected by the Owner. Prior to application of the first finish coat, clean and prepare surfaces scheduled for finish with Minwax Water Based Pre-Stain Wood Conditioner. Preparation and application shall meet the specifications, requirements and recommendations of the product manufacturer. The Contract for Construction shall include provisions for providing field color samples for final approval prior to the installation of the final wood finishing.
- PAINT & WOOD FINISHING PREPARATION:** Interior and exterior priming, painting and required preparation shall be per the specifications, requirements and recommendations of the paint/finish manufacturer for the installation indicated and the conditions encountered. Provide taping, spackle, and putty where required to address cracks and divots on gypsum wallboard and plaster surfaces. Provide putty and sanding as required to address surface blemishes the wood surfaces.
- SOLID SURFACE COUNTERTOPS: Owner Provided Item.** The Contractor shall assist in the coordination of Owner provided countertop installations for countertops at Kitchen, Bathroom vanities at Bathroom #1 and Master Bathroom, for shower curb tops, and countertop at Master Bedroom Wardrobe Cabinetry.
- STONE/CERAMIC TILE: Owner Provided Item.** The Contractor shall assist in the coordination of Owner provided stone and/or ceramic tile installations at floors and shower surrounds of Bathroom #1 and Master Bathroom, and as full height backsplash at the East wall of the Kitchen. At tiled areas, assume tile at floor, base, shower enclosure, etc., as applicable. At shower surrounds, assume full height to ceiling. The General Contractor shall provide Durock board, or approved equal at all floors and walls scheduled to receive tile finish. The Contractor shall coordinate the installation of the tile flooring on Durock with the radiant subfloor system, and the adjacent wood strip flooring, as required to align the top surface of the tile with the top of the wood strip flooring.
- MIRRORS: Owner Provided Item.** The Contractor shall assist in the coordination of Owner provided mirror installations at bathrooms.
- SHOWER DOOR/ENCLOSURE SYSTEMS: Owner Provided Item.** The Contractor shall assist in the coordination of Owner provided shower door/enclosure system installations at bathrooms.

DIVISION 10: NOT INCLUDED

DIVISION 11: EQUIPMENT

- GENERAL:** Include all equipment work required to complete the Work indicated in the Construction Documents. Provide all facilities, labor, materials, equipment and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required.
- CODES & STANDARDS:** Equipment work shall conform to all applicable local, state and national codes and standards. The equipment materials and accessories used shall be approved by the American Society for Testing Materials and the Underwriters Laboratories as the most applicable to the work described and the conditions encountered.
- RESIDENTIAL APPLIANCES: Owner Provided Item.** General Contractor shall install Owner provided kitchen and laundry appliances as indicated below at locations indicated in the Drawings. All equipment shall be installed to meet the specifications, requirements and recommendations of the manufacturer. Provide all gas, electrical and plumbing hookups and all vent ducting required for a complete installation.
- APPLIANCE SCHEDULE:** (Final specifications may vary)
- 48 Inch Wide Counter Depth French Door Refrigerator with Ice Maker and Drinking Water Supply
 - 36 Inch Wide Gas Cooktop
 - 36 Inch Wide High CFM Range Hood
 - 30 Inch Wide Electric Oven/Microwave
 - Two 24 Inch Wide Dishwasher Drawers
 - 30 Inch Wide Electric Warming Drawer
 - 24 Inch Wide Under Counter Wine Cooler
 - Two Disposals
 - Stacked Washer/Gas Dryer
- DIVISIONS 12: NOT INCLUDED**
- DIVISIONS 13: NOT INCLUDED**
- DIVISIONS 14: NOT INCLUDED**
- DIVISION 15: PLUMBING AND MECHANICAL**
- GENERAL:** The Contract for Construction shall include all plumbing and mechanical work required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required.
- CODES & STANDARDS:** Plumbing and mechanical work shall conform to all applicable local, state and national codes and standards, as well as those established by the American Society of Heating, Refrigeration and Air Conditioning Engineers and the Sheet Metal and Air Conditioning Manufacturer's Association in their current publications. The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered.
- WATER SERVICE:** Verify that the existing water service is adequate for the proposed work, as well as for reasonable future expansion. Verify water service piping material and notify owner of findings. Then provide water service upgrade if required for the new work, or should existing service material be lead piping.
- VERIFICATION OF EXISTING HOUSE SEWER:** The plumbing sub-contractor shall investigate the condition of the existing house sewer and shall inform the Architect and/or Owner of any conditions which require repair. Such repairs shall be then be incorporated into the Contract for Construction through a Change Order, or Change Orders.
- PLUMBING SYSTEM:** Design, provide and install a complete plumbing system, including all necessary equipment, devices, material, labor, permits and inspections, for the supply of hot and cold water and for the sanitary disposal of waste water as required to complete the work. All work shall conform to the District of Columbia Water and Sewer Authority Plumbing Code, the IRC Plumbing Code, and all other applicable codes regulations, and requirements. Advise the Architect and/or Owner of modifications to, or deviations from, Construction Documents as required to comply with codes and regulations and to provide a complete and proper installation. Hot and cold supply piping shall be copper with wrought copper sweated fittings, or compression fittings. Hot water supply piping shall be insulated. Sanitary lines shall be PVC, insulated for sound. All supply lines and sanitary runs at and above the first floor shall be installed new and shall tie-in to existing lines only at or below the ceiling of the basement. **Note: The Contract for Construction shall anticipate that the shower for Bathroom #1 shall have separate temperature and volume controls, as well as a diverter to handle a shower head as well as a hand-held shower arm. Anticipate as well, that the Master Bathroom shower shall have separate temperature and volume controls, as well as a diverter, or diverters, to handle a shower head, rain head, four body sprays as well as a hand-held shower arm. Final shower system layouts are subject to Owner selections. Assume 3/4" hot and cold supply to each shower.**
- VERIFICATION OF EXISTING HOUSE PLUMBING:** The plumbing sub-contractor shall investigate the capacity and condition of the existing house supply and sanitary plumbing for all new plumbing tie-ins, and shall inform the Architect and/or Owner of any conditions which require modification.
- WATER HEATER & HOT WATER RE-CIRCULATION SYSTEM:** Verify capacity of existing high capacity tankless water heater, to remain, located in the Basement, to handle the proposed loading of the house, including the Basement Apartment. Design, provide and install a recirculation system for the hot water supply to all areas of the First and Second Floors of the House.
- PLUMBING FIXTURES & FITTINGS: Owner Provided Item.** Provide coordination for, and installation of Owner provided plumbing fixtures and fittings. The Contractor and plumbing sub-contractor shall review the plumbing fixture and fitting order prior to purchase by the Owner, and verify all rough-in requirements.
- BATH ACCESSORIES: Owner Provided Item.** Install Owner selected bath accessories at Powder Room, Bathroom #1, and Master Bathroom. Bath accessories include, but are not limited to: toilet paper holder; towel bars; robe hooks; soap dishes; and toothbrush holders. Provide all required blocking for a secure and proper installation.
- MISC. PLUMBING HOOKUPS:** Provide plumbing hookups as required for residential appliances and equipment as indicated, or as otherwise required.
- HOSE BIBS:** Provide 4 new frost free hose bibs. One shall be located on the West wall of the Workshop at the rear Parking Area (with cut-off at the house), one shall be located on the North wall of the Workshop (with cut-off at the house), one shall be located on the rear wall of the house, and one shall be on the roof of the house coordinated with the proposed roof deck. Exact location of hose bibs and cut-offs shall be determined by the Owner.
- GAS FITTING:** Verify that the existing gas service is adequate for the proposed work, as well as for reasonable future expansion. Provide gas service upgrade if required for the new work. Provide gas fitting as required for all gas appliances and equipment specified or as otherwise required to complete the Work. All gas fitting work shall be per the requirements of the International Mechanical Code, the IRC Mechanical and Gas-fitting Codes, as well as the any and all other applicable codes, ordinances and standards.
- VERIFICATION OF EXISTING BOILER & VENTING:** The plumbing or heating sub-contractor shall investigate the capacity and condition of the existing high-capacity house boiler and its venting, as well as the venting for the hot water heater, and shall inform the Architect and/or Owner of any conditions which require modification. **Note that the closed-in original Living Room fireplace is to be removed, and portions of the existing chimney system reconstructed accordingly, and as necessary, to vent the existing boiler and water heater.**
- IN-FLOOR RADIANT HEATING SYSTEM:** The Contract for Construction shall include the removal of all radiators and associated piping heating the First and Second Floors of the House. Design, provide and install a four zone in-floor hydronic radiant heating system for the heating of the House. Zone One shall service the First Floor of the House. Zone Two shall service Master Bedroom Suite (exclusive of Master Bathroom) and Hallway at the Second Floor. Zone Three shall service Bedroom #1. Zone Four shall service the two Bathrooms on the Second Floor. All zones shall be designed using the Warmboard Radiant Subfloor system, or approved equal, and each shall have separate thermostatic controls. Provide all equipment necessary for the proper installation and operation of the heating system(s), as well as all zoning manifolds, valves and misc. accessories. Radiant Subfloor system manufacturer shall provide design and specification for panel layout, tubing layout and manifold requirements. The heating contractor shall provide room by room heat loss calculations, proper design of flow rates and required water temperatures, sizing of circulation and distribution lines, interface with existing boiler system, and design of and electronic control strategy coordinated with AC controls.
- AIR CONDITIONING SYSTEM:** Design, provide and install a high efficiency, two stage or VAV, two zone, high-velocity mini-duct, air conditioning system to service the First Floor (Zone One) and Second Floor (Zone Two). Each zone shall have independent thermostatic control, coordinated with heating system controls. The air handler shall be located in the Attic, and the condenser shall be located on the roof, as indicated in the Drawings. Include all necessary equipment, devices, material, labor, permits, and inspections, for the supply of cooled air, for the cleaning of the air, for proper air exchange, and for return air as required to complete the work. Air conditioning system shall be SpacePak, or approved equal. Installation of the air conditioning system shall be by an installer certified by the system manufacturer.
- MECHANICAL EQUIPMENT AND DUCTING:** All new mechanical equipment shall be high-efficiency, Energy Star certified, and shall be installed to meet the specifications, requirements and recommendations of the manufacturer for the installation indicated. All HVAC equipment and duct sizing shall follow ACCA Manuals D, J and S, as applicable to high-velocity systems. Provide the following, as applicable: high efficiency air handler; 20 SEER or better condensing unit and evaporator coil; electronic air cleaner microelectronic programmable thermostat. All trunk lines and main run-outs shall be hard ducted, flex ducting shall be limited to final runs not to exceed six feet in length. All miscellaneous materials and anchoring devices shall be provided and all equipment shall be installed in accordance with the manufacturer's specifications, recommendations and requirements for a complete installation. Coordinate with plumbing and electrical sub-contractors as required for equipment hookups. Isolate all equipment as required to properly reduce noise transmission.
- MECHANICAL DESIGN CRITERIA & BID SUBMITTAL:** Mechanical design shall meet or exceed all requirements of the 2012 International Energy Conservation Code as applicable to a residential installation. Provide provisions for make-up air, coordinating with high CFM range hood exhaust system. Cooling: 20 degree cooling differential; 70 degrees indoor DBF, 50% relative humidity/outdoor 90 degrees DBF and 78 degrees WB; with 24 hour automatic operation. Assume shades to direct light; a clean filter; normal occupancy; normal cooking; doors to remain closed during cooling season. Heating: 70 degrees indoor/17 degrees outdoor. In conjunction with bid submittal, provide a written description of the proposed mechanical system(s) including cut sheets for all proposed equipment including registers and grills. Prior to project demolition, submit two complete sets of proposed duct layout drawings (Shop Drawings) for review by the Architect and/or Owner. The drawings shall include proposed locations for all trunk and branch ducts (supply and return), all registers and grilles, all mechanical equipment and controls.
- MISC. MECH. HOOKUPS:** Provide and install ducting and wall/roof caps as required for all equipment, and exhaust fans as indicated, or as otherwise required. All ducting runs shall be coordinated with the Architect and/or Owner in advance of installation.
- DIVISION 16: ELECTRICAL**
- GENERAL:** The Contract for Construction shall include all electrical work required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required.
- CODES & STANDARDS:** Electrical work shall conform to all applicable local, state and national codes and standards, as well as those established by the National Fire Protection Association as described in its current publications. The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered, and shall be UL (Underwriters Laboratory) approved.
- PANEL/LOAD CENTER:** **A new electrical distribution box has been installed on a portion of wall of the existing garage which shall remain as a portion of a wall of the Workshop. This box distribution box feeds to a newly installed 200 amp panel at the South-East corner of the Proposed Kitchen. Another feed goes to a newly installed panel at the Basement Apartment. The contractor shall take care in the demolition and construction operations not to disturb or damage the box as wall any existing electrical service to, and from, this distribution hub.** Design, provide and install a complete new electrical system as required for the First and Second Floor of the Existing House, the Workshop, and exterior lighting and power, as indicated in the Drawings. Design shall incorporate the newly installed main panel at the Kitchen as indicated, and shall include provisions for a new sub-panel at the Workshop and in any and all other sub-panels(s), as may be required. All circuit breakers shall be full module size. Provide Ground Fault Circuit Interrupters as required for all outlets requiring GFCI safety cutoff where indicated and where otherwise required. The Electrical Contractor shall circuit all devices, fixtures, and equipment as required for a complete service. All loads shall be connected for the best possible phase balance.
- PRE WIRING WALK-THRU:** Include provisions for a pre wiring walk-thru by the Contractor or Project Manager, Architect and/or Owner. This walk-thru shall take place after all rough-in kits, j-boxes, switch and outlet boxes have been installed, and prior to the installation of all wiring. At this walk-thru, the Architect and/or Owner maintain the right to make minor adjustments in fixture and device locations as required for aesthetic effect. All labor and material costs for such minor adjustments shall be included.
- WIRING:** Provide all wiring required to complete the Work indicated, and to replace all existing circuits and home runs. All wiring shall be with copper conductors full rated for the loads served. Circuits shall be connected with loads not to exceed 60% of the breaker trip rating. All electrical wiring shall be run by experienced electricians accurately and in accordance with the requirements of the drawings. All misc. materials and anchoring devices shall be provided and all wiring shall be installed in accordance with the manufacturers specifications, recommendations and requirements for a complete installation. All wiring shall be routed concealed. **The Contract for Construction shall include the removal of all existing wiring serving the First and Second Floor of the House - all wiring for these two floors shall be new.**
- LIGHTING & ELECTRICAL FIXTURES:** Provide and install all lighting and electrical fixtures as indicated in the Drawings. Field wiring required clearances prior to procure fixtures - coordinate with structural items and mechanical ducting as applicable. All electrical fixtures shall be installed by experienced electricians accurately and in accordance with the requirements of the drawings. The exact location of all fixtures shall be determined by the Architect and/or Owner. All misc. materials and anchoring devices shall be provided and all fixtures shall be installed in accordance with the manufacturers specifications, recommendations and requirements.
- SWITCHES AND OUTLETS:** Provide and install all switches and outlets scheduled in the drawings or as otherwise required. All switches shall be computerized "smart" switches, to be selected by the Owner. Once the specifications for the switches have been determined, the direct cost of such switches shall be incorporated into the Contract through a Change Order. Unless otherwise indicated, all outlets shall be Decora style as manufactured by Lutron, or approved equal, with samples provided to the Owner for approval prior to the purchase of the balance of the devices. Device colors shall be white (to be verified with Owner). The exact location of all switches and outlets shall be determined by the Architect and/or Owner. The electrical contractor shall properly size dimmer switchess for the lighting circuits indicated. **The Contract for Construction shall include the removal of all existing outlet and switch devices, as well as all associated wiring serving the First and Second Floor of the House - all devices for these two floors shall be new.**
- EQUIPMENT HOOKUPS:** Provide all electrical hookups as required for all equipment scheduled in the drawings or otherwise required to complete the Work, including but not limited to Mechanical Equipment and Residential Appliances. All electrical hookups shall be made by experienced electricians accurately and in accordance with the requirements of the drawings. The exact location of all equipment shall be determined by the Architect and/or Owner. All misc. materials and anchoring devices shall be provided and all equipment shall be installed in accordance with the manufacturer's specifications, recommendations and requirements for a complete installation.
- CABLE/ETHERNET SYSTEM INSTALLATION:** Design, provide and install a complete system for cable TV, internet, telephone and ethernet service distribution throughout the First and Second Floors of the House, and at the Workshop. The incoming service connection shall be made to a main distribution panel at the Master Bedroom Walk-in Closet, at a location to be coordinated with the Owner, from which all runs shall be made, with the panel properly labeled for each run. Modems and associated equipment shall be located in the upper laundry cabinet in the Hallway of the Second Floor. Assume one location for system outlet(s) at each of the following rooms (with exact locations to be determined by the Owner): Kitchen, Living Room, Master Bedroom, Master Bathroom, Bedroom #1, Workshop. System components and shielded cable materials shall be of the highest quality currently available, as appropriate for the installation described. The design and installation of this system shall be performed by a qualified, licensed low-voltage sub-contractor. Electrical subcontractor shall provide hook-ups and interface as required for this system.

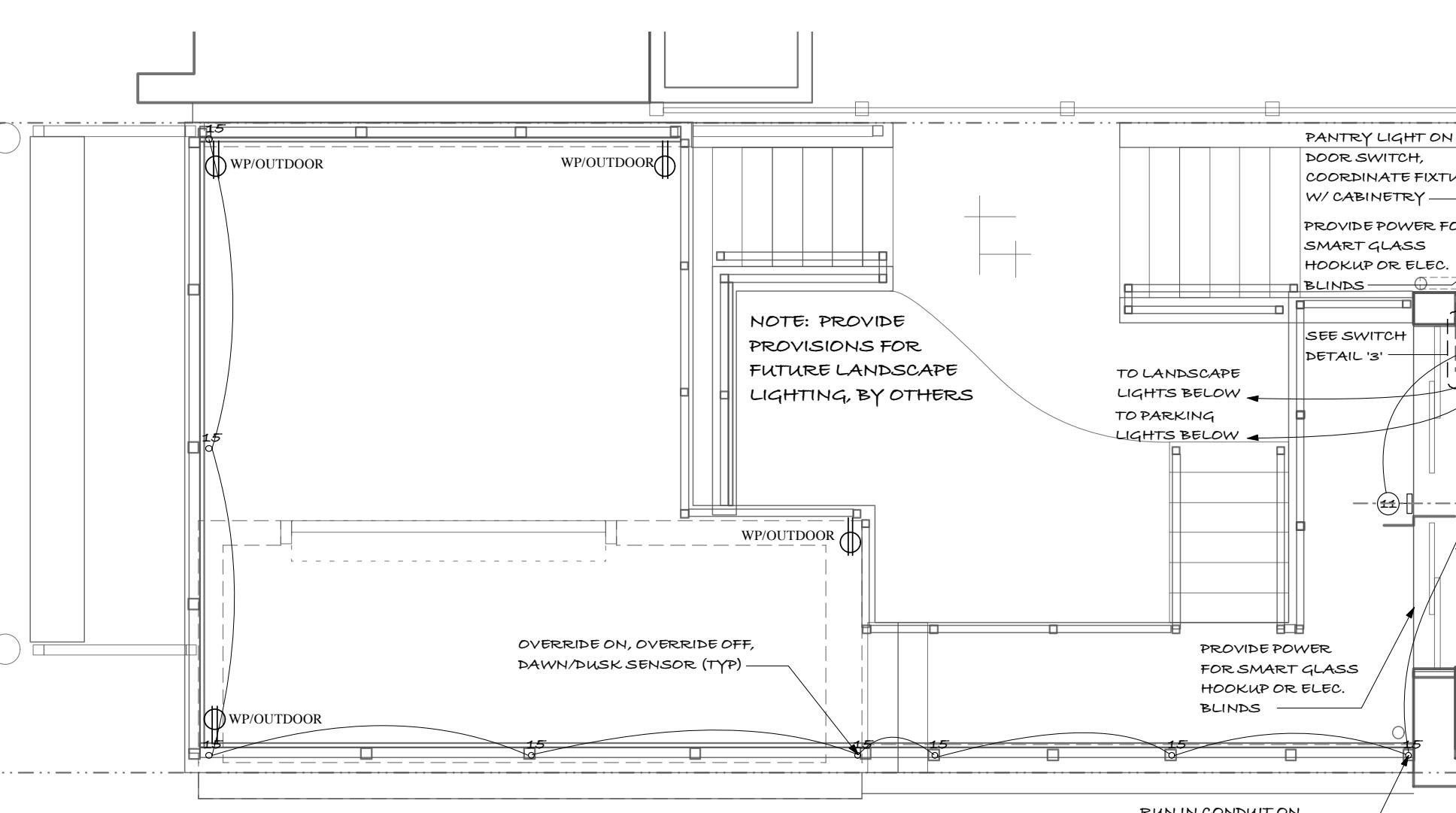
DIVISION 10: NOT INCLUDED

VANDEVENTER & CHERBAKOV ADDITION & RENOVATIONS

1728 CHURCH STREET, NW
WASHINGTON, DC 20036

ELECTRICAL BSMT & 1ST FL PLANS

SCALE: 1/4" = 1'-0"



FIRST FLOOR (MAIN LEVEL) PLAN

Scale: 1/4" = 1'-0"

ELECTRICAL NOTES

GENERAL: The Contract for Construction shall include all electrical work required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required.

CODES & STANDARDS: Electrical work shall conform to all applicable local, state and national codes and standards, as well as those established by the National Fire Protection Association as described in its current publications. The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered, and shall be UL (Underwriters Laboratory) approved.

PANEL/LOAD CENTER: A new electrical distribution box has been installed on a portion of wall of the existing garage which shall remain as a portion of a wall of the Workshop. This box distribution box feeds to a newly installed 200 amp panel at the South-East corner of the Proposed Kitchen. Another feed goes to a newly installed panel at the Basement Apartment. The contractor shall take care in the demolition and construction operations not to disturb or damage the box as wall any existing electrical service to, and from, this distribution hub. Design, provide and install a complete new electrical system as required for the First and Second Floor of the Existing House, the Workshop, and exterior lighting and power, as indicated in the Drawings. Design shall incorporate the newly installed main panel at location in the Kitchen as indicated, and shall include provisions for a new sub-panel at the Workshop and any and all other sub-panels(s), as may be required. All circuit breakers shall be full module size. Provide Ground Fault Circuit Interrupt breakers as required for all outlets requiring GFCI safety cutoff where indicated and where otherwise required. The Electrical Contractor shall circuit all devices, fixtures, and equipment as required for a complete service. All loads shall be connected for the best possible phase balance.

PRE WIRING WALK-THRU: Include provisions for a pre wiring walk-thru by the Contractor or Project Manager, Architect and/or Owner. This walk-thru shall take place after all rough-in kits, j-boxes, switch and outlet boxes have been installed, and prior to the installation of all wiring. At this walk-thru, the Architect and/or Owner maintain the right to make minor adjustments in fixture and device locations as required for aesthetic effect. All labor and material costs for such minor adjustments shall be included.

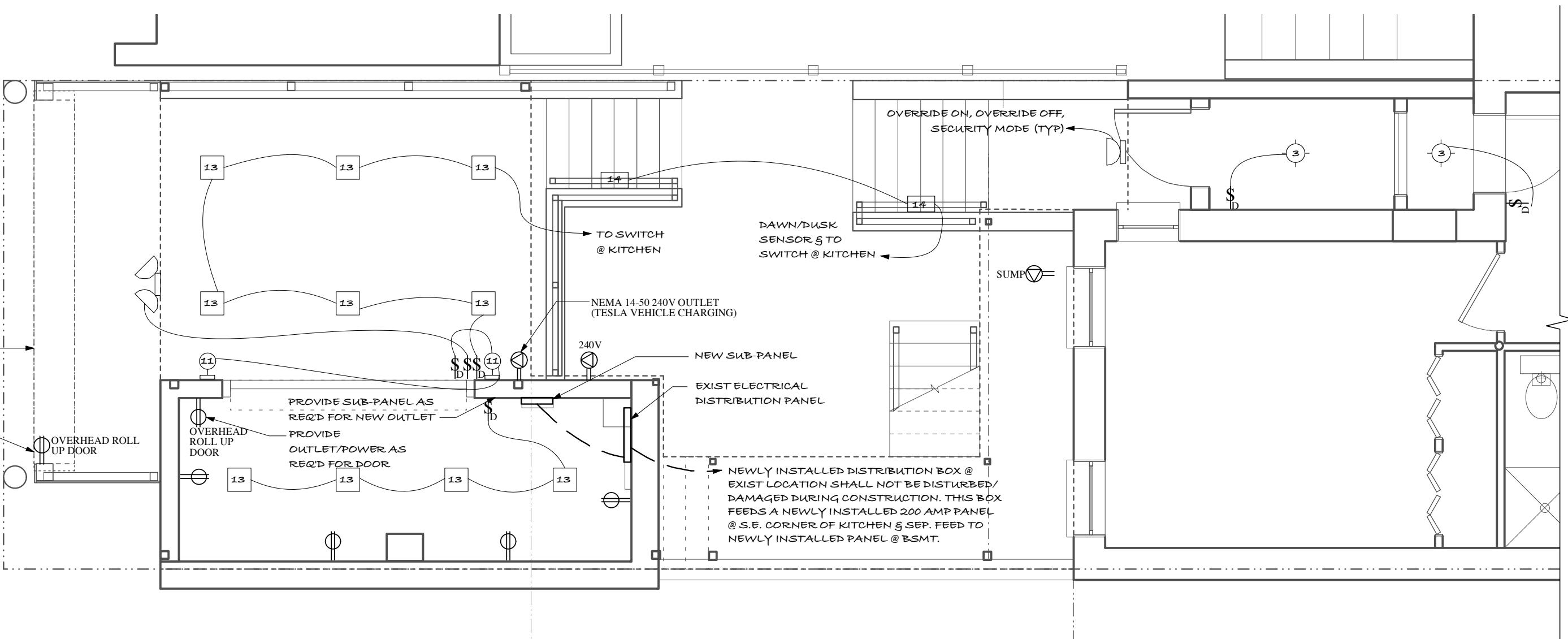
WIRING: Provide all wiring required to complete the Work indicated, and to replace all existing circuits and home runs. All wiring shall be copper conductors full rated for the loads served. Circuits shall be connected with loads not to exceed 60% of the breaker trip rating. All electrical wiring shall be run by experienced electricians accurately and in accordance with the requirements of the drawings. All misc. materials and anchoring devices shall be provided and all wiring shall be installed in accordance with the manufacturers specifications, recommendations and requirements for a complete installation. All wiring shall be routed concealed. **The Contract for Construction shall include the removal of all existing wiring serving the First and Second Floor of the House - all wiring for these two floors shall be new.**

LIGHTING & ELECTRICAL FIXTURES: Provide and install all lighting and electrical fixtures as indicated in the Drawings. Field verify required clearances prior to procuring fixtures - coordinate with structural items and mechanical ducting as applicable. All electrical fixtures shall be installed by experienced electricians accurately and in accordance with the requirements of the drawings. The exact location of all fixtures shall be determined by the Architect and/or Owner. All misc. materials and anchoring devices shall be provided and all fixtures shall be installed in accordance with the manufacturers specifications, recommendations and requirements.

SWITCHES AND OUTLETS: Provide and install all switches and outlets scheduled in the drawings or as otherwise required. All switches shall be computerized "smart" switches, to be selected by the Owner. Once the specifications for the switches have been determined, the direct cost of such switches shall be incorporated into the Contract through a Change Order. Unless otherwise indicated, all outlets shall be Decora style as manufactured by Lutron, or approved equal, with samples provided to the Owner for approval prior to the purchase of the balance of the devices. Device colors shall be white to be verified with Owner). The exact location of all switches and outlets shall be determined by the Architect and/or Owner. The electrical contractor shall properly size dimmer switches for the lighting circuits indicated. **The Contract for Construction shall include the removal of all existing outlet and switch devices, as well as all associated wiring serving the First and Second Floor of the House - all devices for these two floors shall be new.**

EQUIPMENT HOOKUPS: Provide all electrical hookups as required for all equipment scheduled in the drawings or otherwise required to complete the Work, including but not limited to Mechanical Equipment and Residential Appliances. All electrical hookups shall be made by experienced electricians accurately and in accordance with the requirements of the drawings. The exact location of all equipment shall be determined by the Architect and/or Owner. All misc. materials and anchoring devices shall be provided and all equipment shall be installed in accordance with the manufacturer's specifications, recommendations and requirements for a complete installation.

CABLE/ETHERNET SYSTEM INSTALLATION: Design, provide and install a complete system for cable TV, internet, telephone and ethernet service distribution throughout the First and Second Floors of the House, and at the Workshop. The incoming service connection shall be made to a main distribution panel at the Master Bedroom Walk-in Closet, at a location to be coordinated with the Owner, from which all runs shall be made, with the panel properly labeled for each run. Modems and associated equipment shall be located in the upper laundry cabinet in the Hallway of the Second Floor. Assume one location for system outlet(s) at each of the following rooms (with exact locations to be determined by the Owner): Kitchen, Living Room, Master Bedroom, Master Bathroom, Bedroom #1, Workshop. System components and shielded cable materials shall be of the highest quality currently available, as appropriate for the installation described. The design and installation of this system shall be performed by a qualified, licensed low-voltage sub-contractor. Electrical subcontractor shall provide hook-ups and interface as required for this system.

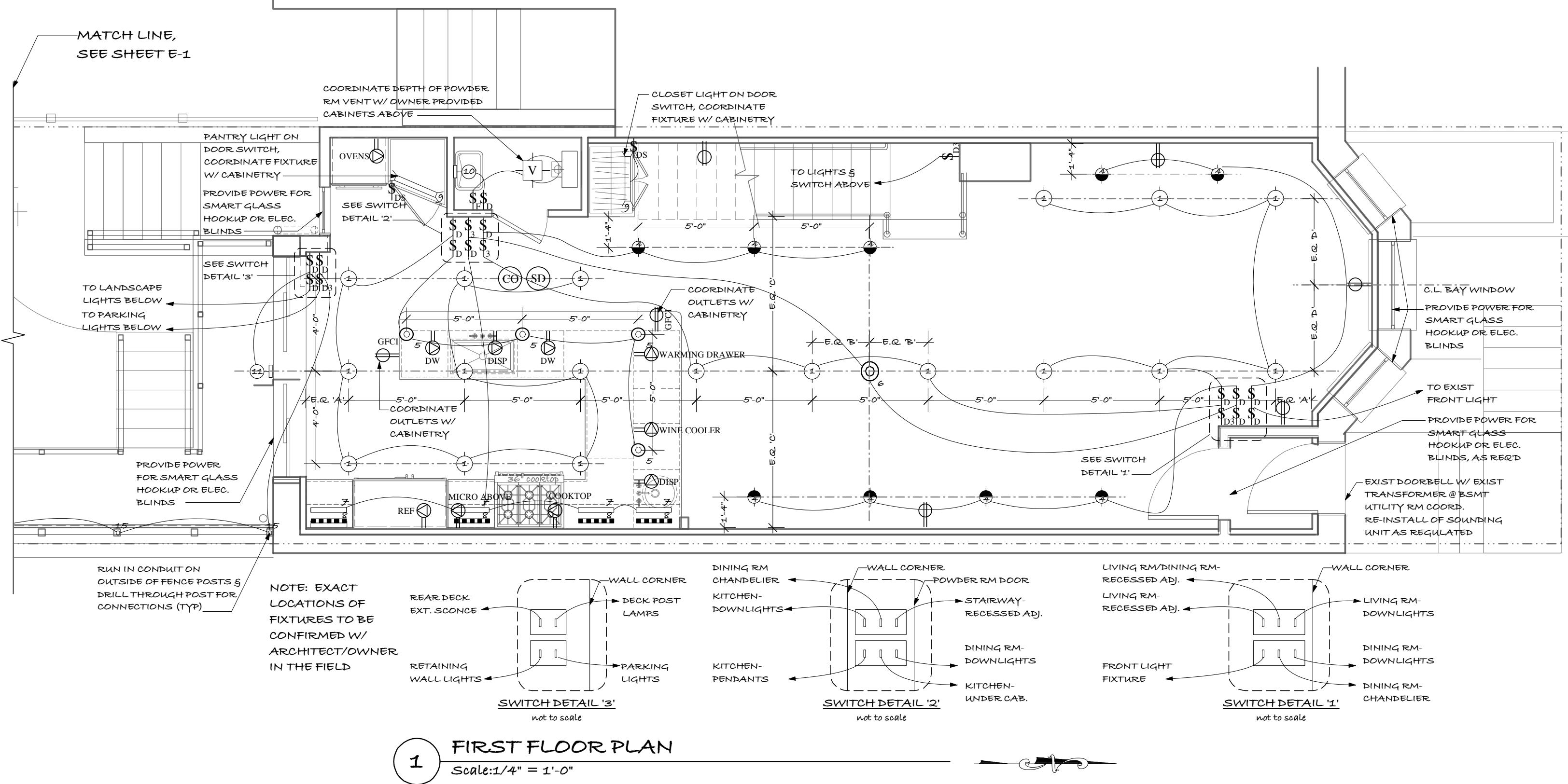
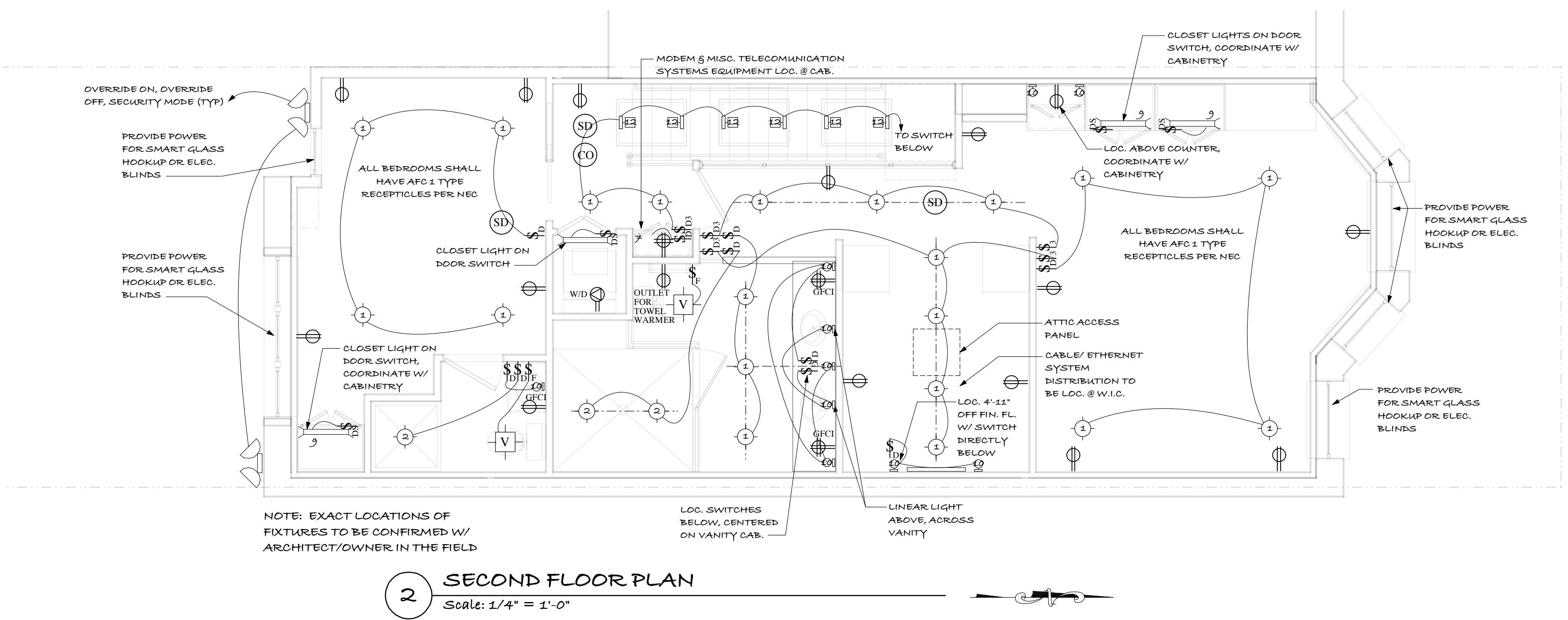


BASEMENT FLOOR PLAN

Scale: 1/4" = 1'-0"

**ELECTRICAL
1ST FL & 2ND FL PLANS**

SCALE: 1/4" = 1'-0"



**VANDEVENTER & CHERBAKOV
ADDITION & RENOVATIONS**

1728 CHURCH STREET, NW
WASHINGTON, DC 20036

PERMIT ISSUE
5 FEBRUARY 2015

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ELECTRICAL FIXTURE SCHEDULE

- 1** RECESSED BASIC 3-3/4" INSULATED: LIGHTOLIER LYTECASTER 3-3/4", IC, WITH FRAME-IN KIT #2000IC, WHITE MATTE TRIM #2001WH. PROVIDE LED BULB W/ MAX ALL. LAMPS & COLOR TEMP 5000K (TYP)
- 2** LENSLITE: LIGHTING FIXTURE FOR SHOWERS & CLOSETS, LIGHTOLIER LYTECASTER 3-3/4", IC, WITH FRAME-IN KIT #2000IC, FLUSH GLASS WET LOCATION TIRN 2090, PROVIDE LED BULB W/ MAS ALL. LAMPS & COLOR TEMP 5000K (TYP)
- 3** CEILING MOUNT: LIGHTING FIXTURE TO BE PROVIDED BY OWNER & INSTALLED BY CONTRACTOR
- 4** WALL WASHER: 3-3/4" LIGHTOLIER PAR ADJUSTABLE WALL WASHER, 2001WH MATTE WHITE STEP BAFFLE W/FRAME IN KIT. PROVIDE LED BULB W/ MAX ALL. LAMPS & COLOR TEMP 5000K (TYP)
- 5** PENDANT LIGHT: TO BE PROVIDED BY OWNER & INSTALLED BY CONTRACTOR
- 6** CHANDELIER LIGHT: TO BE PROVIDED BY OWNER & INSTALLED BY CONTRACTOR
- 7** UNDER CABINET LIGHTING: MAC LED SNAP PRO SERIES #SNAP-FLAT-LO ENERGY STAR LIGHTING FIXTURE TO BE PROVIDED AND INSTALLED BY CONTRACTOR
- 8** APS ANGLED POWER STRIP: COORDINATE SIZE & QUANTITY AS REQ'D FOR UNDER WALL CABINETS. FINISH TO BE SELECTED BY OWNER.
- 9** CLOSET LENSED LIGHT: ALKCO LITTLE INCH 24" LENGTH MOUNTED AT HEAD OF DOORS INSIDE CLOSET
- 10** INTERIOR SCONCE: TO BE PROVIDED BY OWNER & INSTALLED BY CONTRACTOR
- 11** EXTERIOR SCONCE: TO BE PROVIDED BY OWNER & INSTALLED BY CONTRACTOR

ELECTRICAL FIXTURE SCHEDULE (cont.)

- 12** SKYLIGHT MONO-POINT: 4" PHILIPS LIGHTOLIER REVELATION LED CYLINDER, OM4LED20WC40KCSUDL, FINISH TO BE SELECTED BY OWNER FROM STANDARD FINISHES AVAILABLE
- 13** GARAGE UTILITY RECESSED: 10 1/4" SQUARE PHILIPS LIGHTOLIER DESIGNER CANOPY LED, DCL20LED4K-8, FOR USE IN WET LOCATIONS
- 14** EXTERIOR RECESSED ACCENT LIGHTING: PHILIPS LIGHTOLIER GARDCO 111 MINI SCONCE LED, 111L-DIM, TYPE II, FINISH TO BE SELECTED BY OWNER FROM STANDARD FINISHES AVAILABLE
- 15** EXTERIOR RAILING POST LIGHTING: DEKOR PETITE POST LAMP KIT, DLPKITOUTXX, FINISH TO BE SELECTED BY OWNER FROM STANDARD FINISHES AVAILABLE
- V1** VENT: PANASONIC WHISPER CEILING MOUNTED BATHROOM FAN FV-11VQ5
- DUAL HEAD & SINGLE HEAD ADJUSTABLE LIGHT WITH MOTION SENSOR: PROGRESS P5203-30 WITH TWO 100 WATT PAR38 LAMPS

ELECTRICAL SYMBOL LEGEND

- \$ SWITCH
- \$₃ 3 WAY SWITCH
- \$_D DIMMER SWITCH
- \$_J JAMB SWITCH
- \$ DUPLEX WALL OUTLET
- \$_{GFCI} DUPLEX OUTLET WITH GROUND FAULT CIRCUIT PROTECTION
- \$_{WP} WATER PROOF DUPLEX OUTLET
- \$_{APPL} APPLIANCE OUTLET OR HOOK-UP (COORDINATE W/ APPLIANCE REQ.)
- △ DUAL TEL/ETHERNET JACK. (4-WIRE JACK ABOVE W/ ETHERNET BELOW)
- SD HARD WIRED SMOKE DETECTOR. ALL UNITS TO SOUND IN UNISON
- CO CARBON DIOXIDE DETECTOR
- C OUTLET FOR CABLE TV & ETHERNET HOOK-UP
- C CABLE CONNECTION

VANDEVENTER & CHERBAKOV
ADDITION & RENOVATIONS

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WASHINGTON, DC 20036

ELECTRICAL
NOTES

SCALE: 1/4" = 1'-0"

AHMANN LLC
ARCHITECTURAL SERVICES
4403 BEECHWOOD ROAD UNIVERSITY PARK, MARYLAND 20782

PHONE 301 864 1334
FAX 301 864 6818

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MECHANICAL / PLUMBING 1ST & 2ND FLOOR PLANS

SCALE: 1/4" = 1'-0"

VANDEVENTER & CHERBAKOV ADDITION & RENOVATIONS

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WASHINGTON, DC 20036

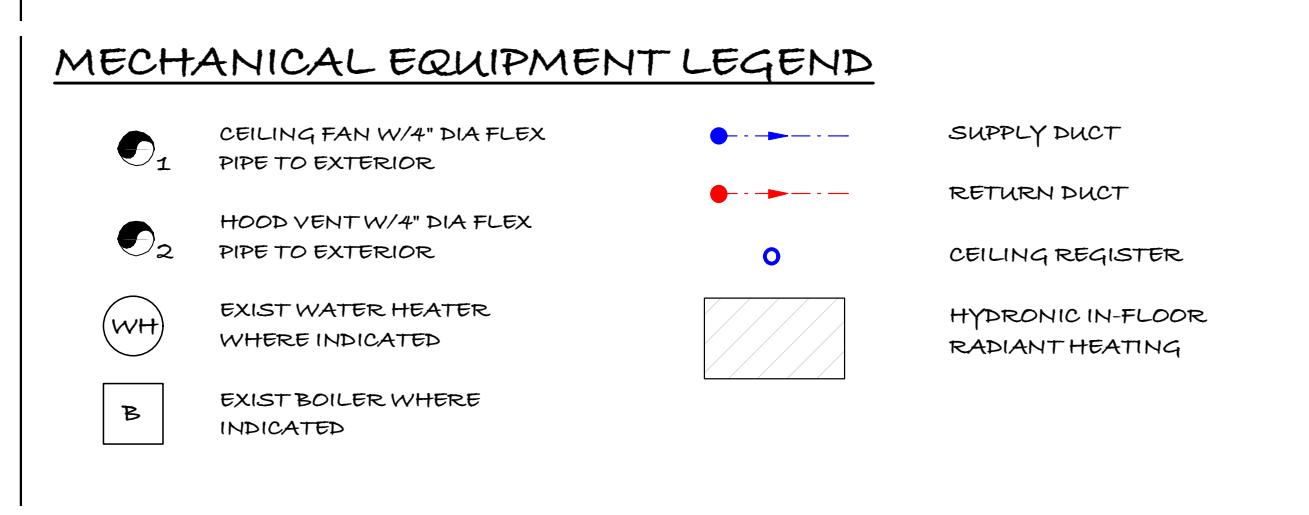
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MP1

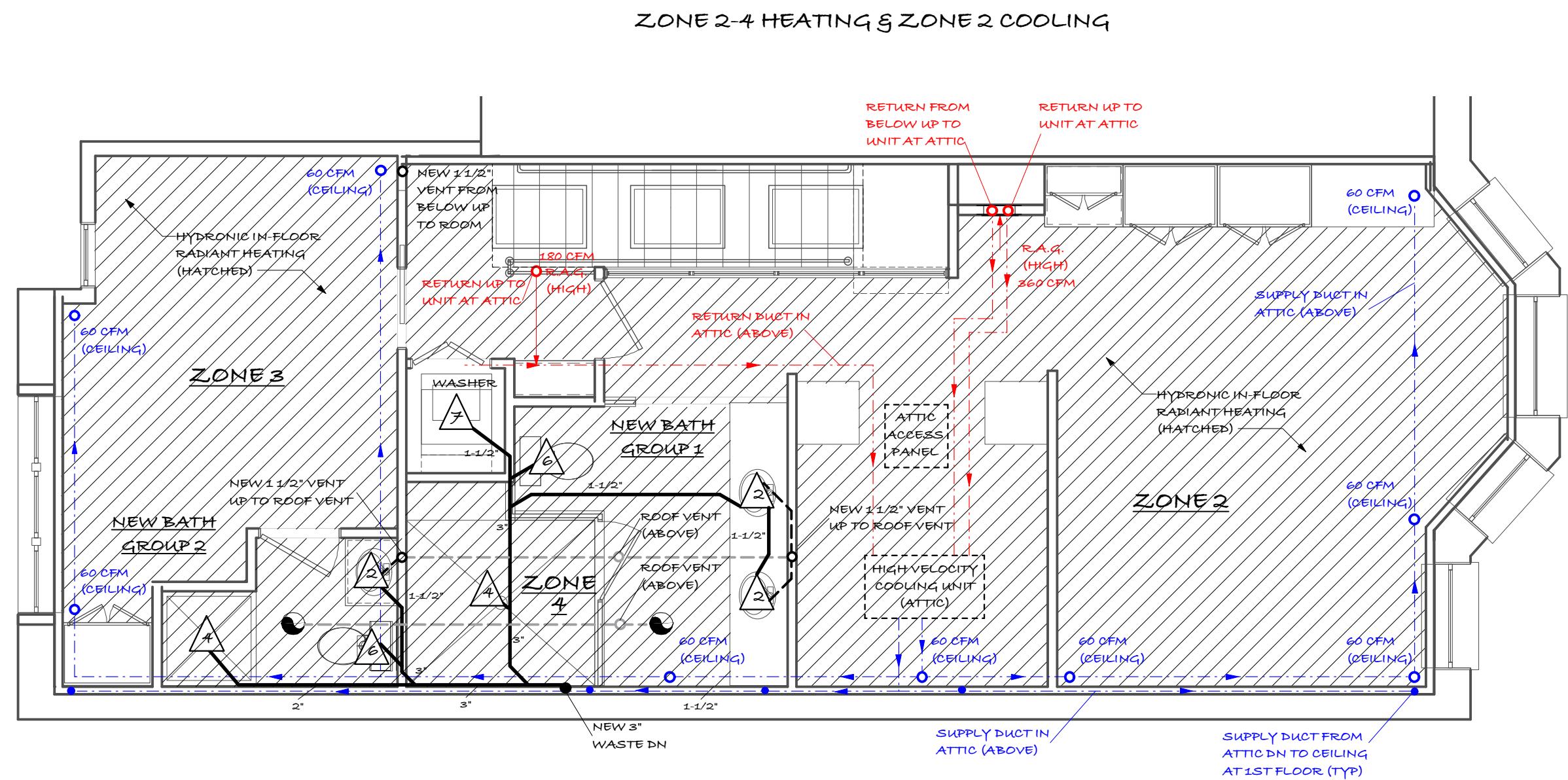
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NOTE: FOR PERMIT ONLY.
(SUBJECT TO FINAL ENGINEERING BY PLUMBING SUBCONTRACTOR)

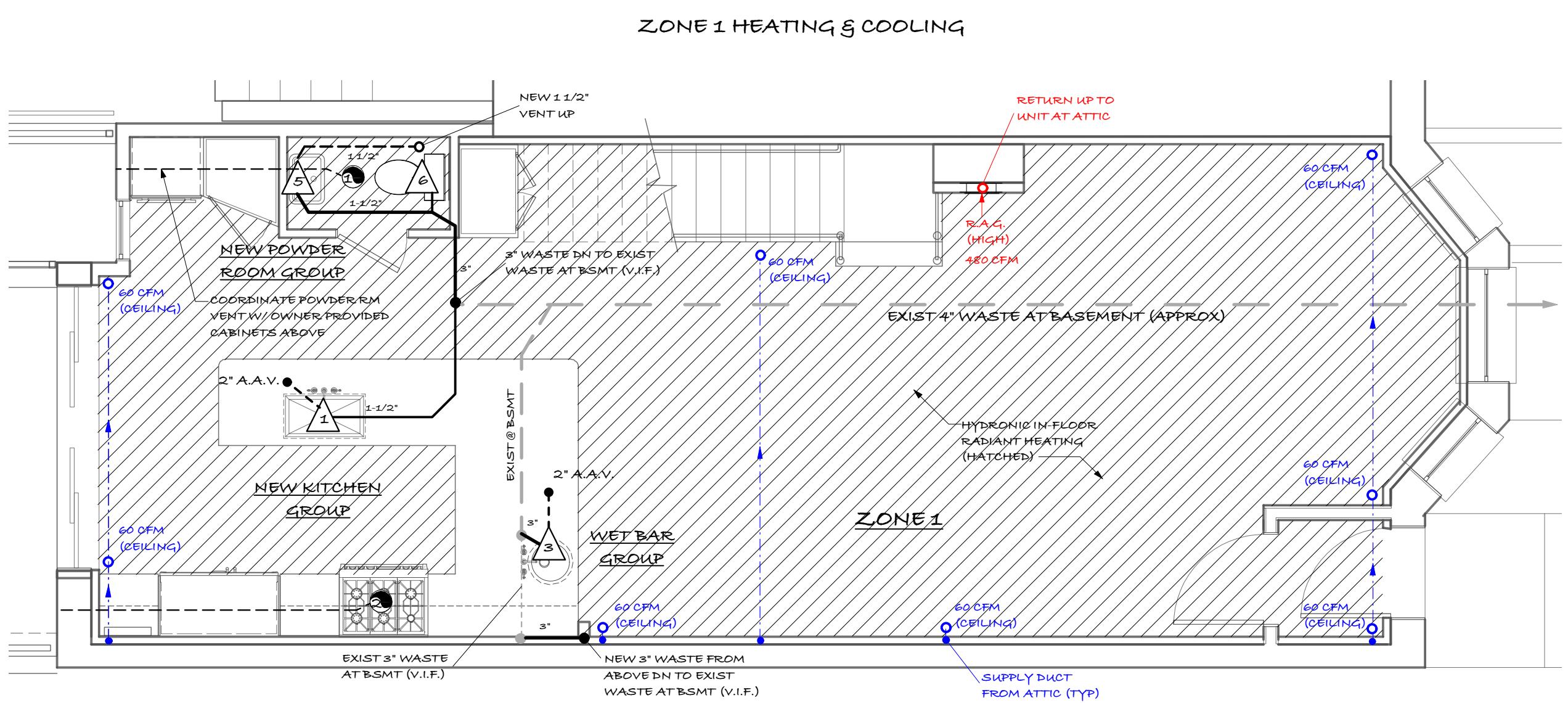
MECHANICAL EQUIPMENT SCHEDULE (SUBJECT TO FINAL ENGINEERING BY MECH & PLUMBING SUBCONTRACTOR)	
HEATING/COOLING REQUIREMENTS	
FIRST FLOOR (739 SF)	2ND FLOOR (739 SF)
HEATING TOTAL: 66,510 BTU/HR	
36,950 BTU/HR	29,560 BTU/HR
COOLING TOTAL: 29,560 BTU (2.46 TONS)	
1.23 TONS, 493 CFM	1.23 TONS, 493 CFM
HEATING SYSTEM	
MECH CONTRACTOR TO VERIFY CONDITION OF EXISTING GAS BOILER AND HOT WATER HEATER AND THAT IT MEETS REQUIREMENTS FOR LOADING.	
EXIST RADIATORS AT 1ST AND 2ND FLOOR TO BE REMOVED AND NEW 4-ZONE IN-FLOOR RADIANT HEATING SYSTEM CONNECTED TO EXISTING BOILER TO BE INSTALLED FOR HEATING OF BOTH FLOORS.	
ZONE 1 COOLING SYSTEM (1ST FLOOR)	
1ST FLOOR (739 SF)	
1.23 TONS, 493 CFM	
8.2 REGISTER @ 60 CFM/REGISTER: USE 8 REGISTERS	
ZONE 2 COOLING SYSTEM (2ND FLOOR)	
1ST FLOOR (739 SF)	
1.23 TONS, 493 CFM	
8.2 REGISTER @ 60 CFM/REGISTER: USE 9 REGISTERS	
BOILER	
EXIST GAS BOILER AT BASEMENT. VERIFY UNIT MEETS OUTPUT REQUIREMENTS FOR LOADING	
INPUT: 80,000 BTU/HR	NOMINAL CAPACITY: 40,000 BTU/HR
MIN OUTPUT: 30,000 BTU/HR	TONS: 3.0
HOT WATER HEATER	
EXIST WATER HEATER AT BASEMENT. VERIFY WATER HEATER CAPACITY FOR PLANNED LOADS.	
AIR HANDLER	
AIR HANDLER AT ATTIC. UNIT TO BE SELECTED BY CONTRACTOR PER MECH SPECIFICATIONS	
NOMINAL CAPACITY: 40,000 BTU/HR	
TONS: 3.0	
A/C	
AIR CONDITIONER AT ROOF. UNIT TO BE SELECTED BY CONTRACTOR PER MECH Specs	



PLUMBING FIXTURE SCHEDULE	
1 KITCHEN SINK - STAINLESS STEEL. UNDERMOUNT IN GRANITE COUNTER. SINK & COUNTER TO BE SELECTED BY OWNER AND INSTALLED BY CONTRACTOR.	4 SHOWER - CUSTOM TILED SHOWER WITH RAINHEAD & HANDHELD SHOWERS W/ BODY SPRAYS
2 LAVATORY SINK - UNDERMOUNT IN VANITY COUNTER. SINK & VANITY TO BE SELECTED BY OWNER & INSTALLED BY CONTRACTOR.	5 POWDER RM SINK - SELECTED BY OWNER & INSTALLED BY CONTRACTOR
3 WETBAR SINK - SINK TO BE SELECTED BY OWNER & INSTALLED BY CONTRACTOR.	6 TOILET - WATER SAVER TOILET TO BE SELECTED BY OWNER AND INSTALLED BY CONTRACTOR
7 WASHER/DRYER - PROVIDE WASHER/DRYER HOOKUP W/ WALL BOX DRAIN	



2 SECOND FLOOR MECHANICAL PLAN
Scale: 1/4" = 1'-0"



1 FIRST FLOOR MECHANICAL PLAN
Scale: 1/4" = 1'-0"

MECHANICAL & PLUMBING NOTES

GENERAL: The Contract for Construction shall include all plumbing and mechanical work required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required.

CODES & STANDARDS: Plumbing and mechanical work shall conform to all applicable local, state and national codes and standards, as well as those established by the American Society of Heating, Refrigeration and Air Conditioning Engineers and the Sheet Metal and Air Conditioning Manufacturer's Association in their current publications. The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered.

WATER SERVICE: Verify that the existing water service is adequate for the proposed work, as well as for reasonable future expansion. Verify water service piping material and notify owner of findings. Then provide water service upgrade if required for the new work, or should existing service material be lead piping.

VERIFICATION OF EXISTING HOUSE SEWER: The plumbing sub-contractor shall investigate the condition of the existing house sewer and shall inform the Architect and/or Owner of any conditions which require repair. Such repairs shall be then incorporated into the Contract for Construction through a Change Order, or Change Orders.

PLUMBING SYSTEM: Design, provide and install a complete plumbing system, including all necessary equipment, devices, material, labor, permits and inspections, for the supply of hot and cold water and for the sanitary disposal of waste water as required to complete the work. All work shall conform to the District of Columbia Water and Sewer Authority Plumbing Code, the IRC Plumbing Code, and all other applicable codes regulations, and requirements. Advise the Architect and/or Owner of modifications to, or deviations from, Construction Documents as required to comply with codes and regulations and to provide a complete and proper installation. Hot and cold supply piping shall be copper with wrought copper sweat fittings, or compression fittings. Hot water supply piping shall be insulated. Sanitary lines shall be PVC, insulated for sound. All supply lines and sanitary runs at and above the first floor shall be installed new and shall tie ins to existing lines only or below the ceiling of the basement. **Note: The Contract for Construction shall anticipate that the shower for Bathroom #1 shall have separate temperature and volume controls, as well as a diverter to handle a shower head as well as a hand-held shower arm. Anticipate as well, that the Master Bathroom shower shall have separate temperature and volume controls, as well as a diverter, or diverters, to handle a shower head, rain head, four body sprays as well as a hand-held shower arm. Final shower system layouts are subject to Owner selections. Assume 3/4" hot and cold supply to each shower.**

VERIFICATION OF EXISTING HOUSE PLUMBING: The plumbing sub-contractor shall investigate the capacity and condition of the existing house supply and sanitary plumbing for all new plumbing tie-ins, and shall inform the Architect and/or Owner of any conditions which require modification.

WATER HEATER & HOT WATER RE-CIRCULATION SYSTEM: Verify capacity of existing high capacity tankless water heater, to remain, located in the Basement, to handle the proposed loading of the house, including the Basement Apartment. Design, provide and install a recirculation system for the hot water supply to all areas of the First and Second Floors of the House.

PLUMBING FIXTURES & FITTINGS: Owner Provided Item. Provide coordination for, and installation of Owner provided plumbing fixtures and fittings. The Contractor and plumbing sub-contractor shall review the plumbing fixture and fitting order prior to purchase by the Owner, and verify all rough-in requirements.

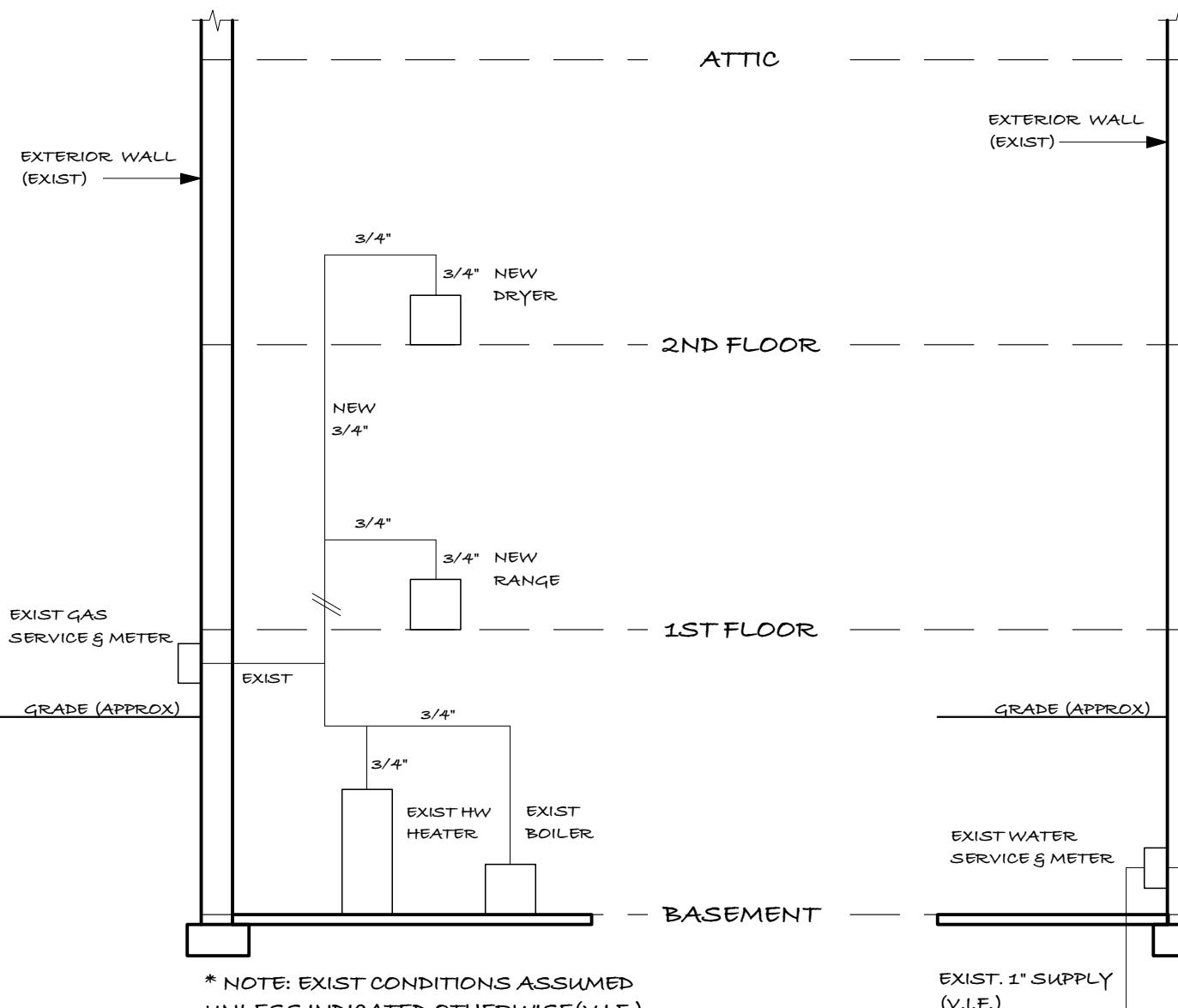
BATH ACCESSORIES: Owner Provided Item. Install Owner selected bath accessories at Powder Room, Bathroom #1, and Master Bathroom. Bath accessories include, but are not limited to: toilet paper holder; towel bars; robe hooks; soap dishes; and toothbrush holders. Provide all required blocking for a secure and proper installation.

MISC. PLUMBING HOOKUPS: Provide plumbing hookups as required for residential appliances and equipment as indicated, or as otherwise required.

HOSE BIBS: Provide 4 new frost free hose bibs. One shall be located on the West wall of the Workshop at the rear Parking Area (with cut-off at the house), one shall be located on the North wall of the Workshop (with cut-off at the house), one shall be located on the rear wall of the house, and one shall be on the roof of the house coordinated with the proposed roof deck. Exact location of hose bibs and cut-offs shall be determined by the Owner.

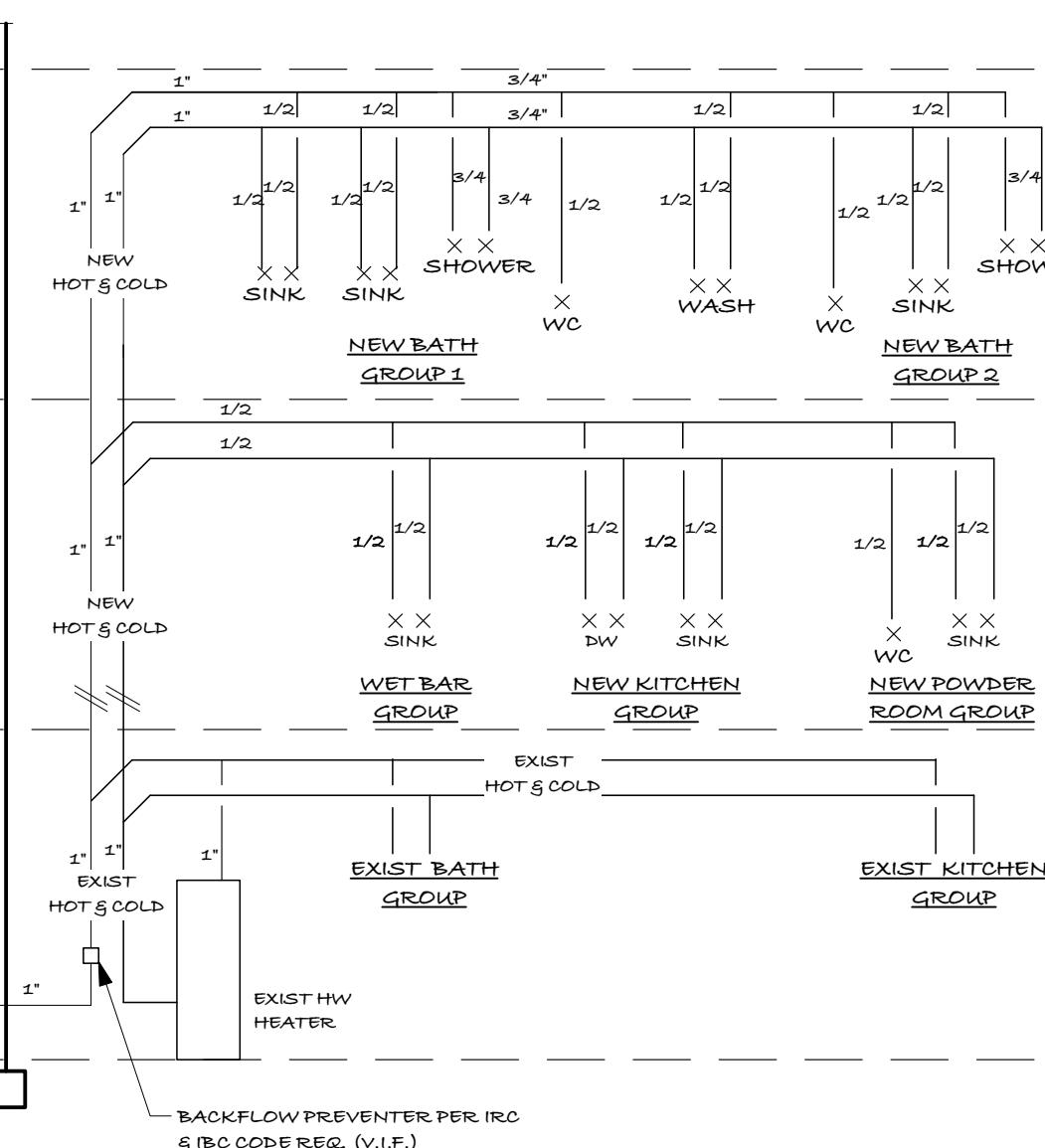
GAS RISER DIAGRAM*

(SUBJECT TO FINAL ENGINEERING BY MECH & PLUMBING SUBCONTRACTOR)



WATER SUPPLY RISER DIAGRAM*

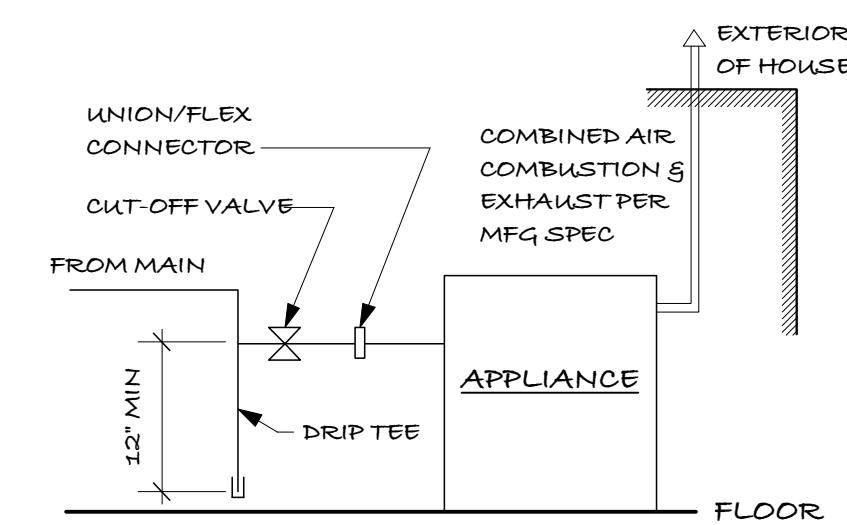
(SUBJECT TO FINAL ENGINEERING BY MECH & PLUMBING SUBCONTRACTOR)



NOTE: FOR PERMIT ONLY.

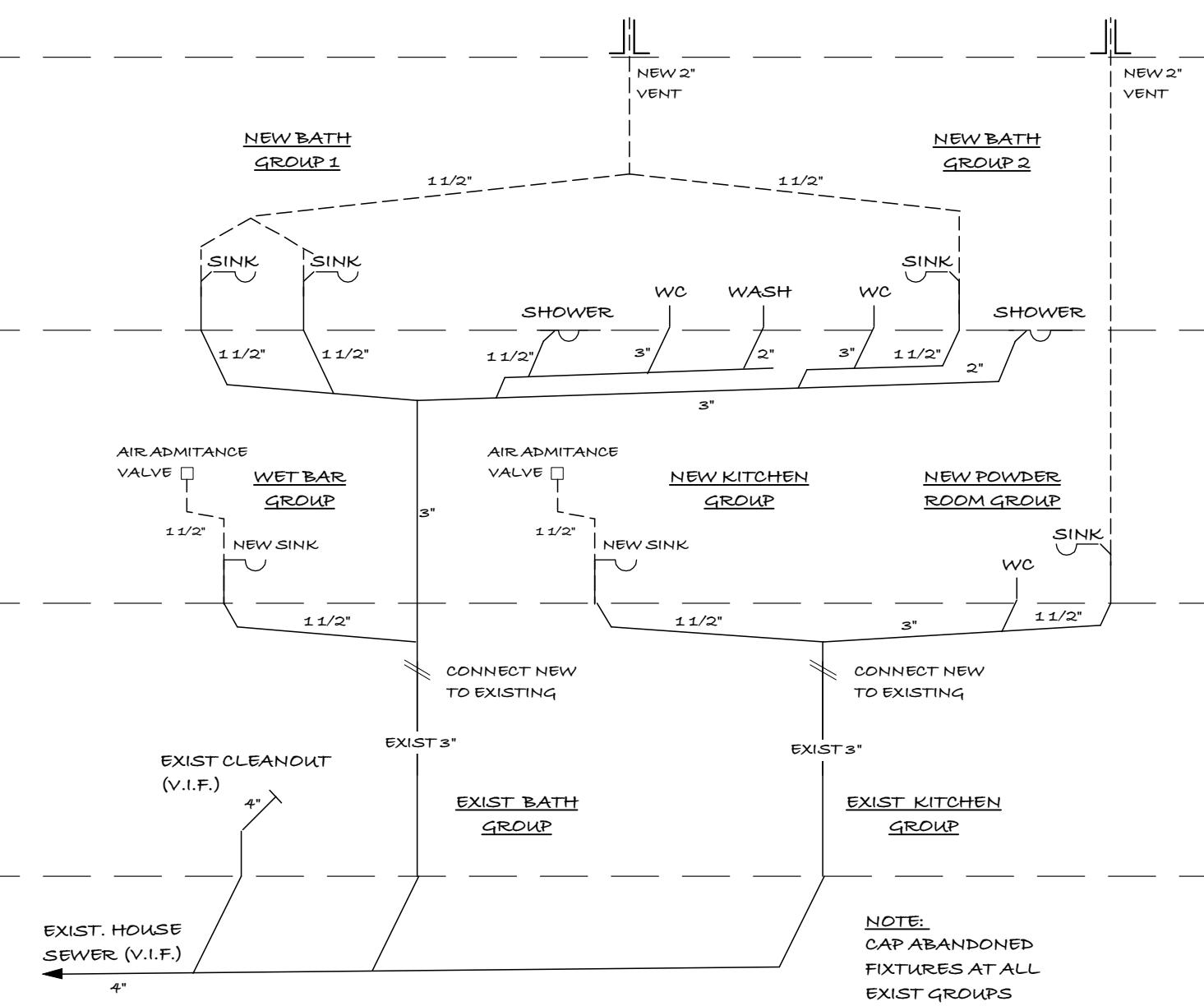
(SUBJECT TO FINAL ENGINEERING BY PLUMBING SUBCONTRACTOR)

APPLIANCE CONNECTION & VENTING DIAGRAM



WASTE/VENT RISER DIAGRAM*

(SUBJECT TO FINAL ENGINEERING BY MECH & PLUMBING SUBCONTRACTOR)



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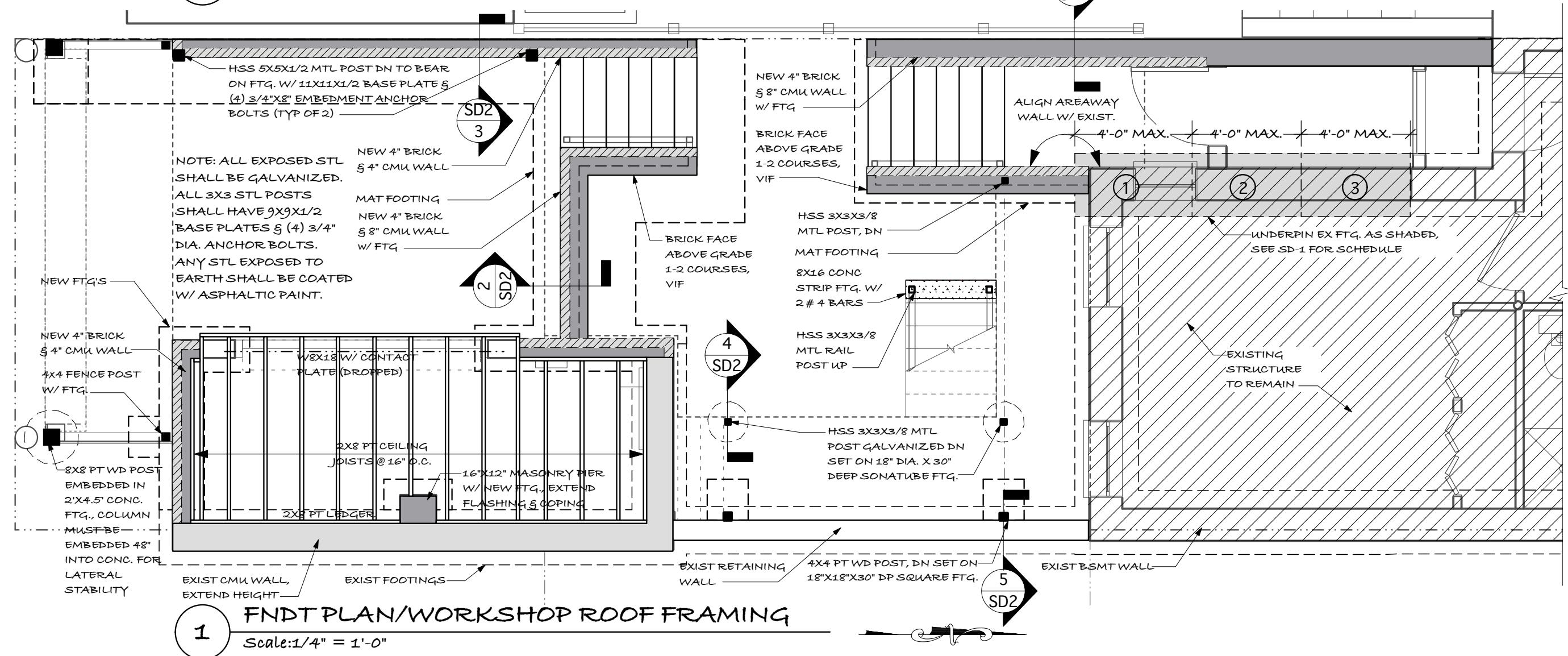
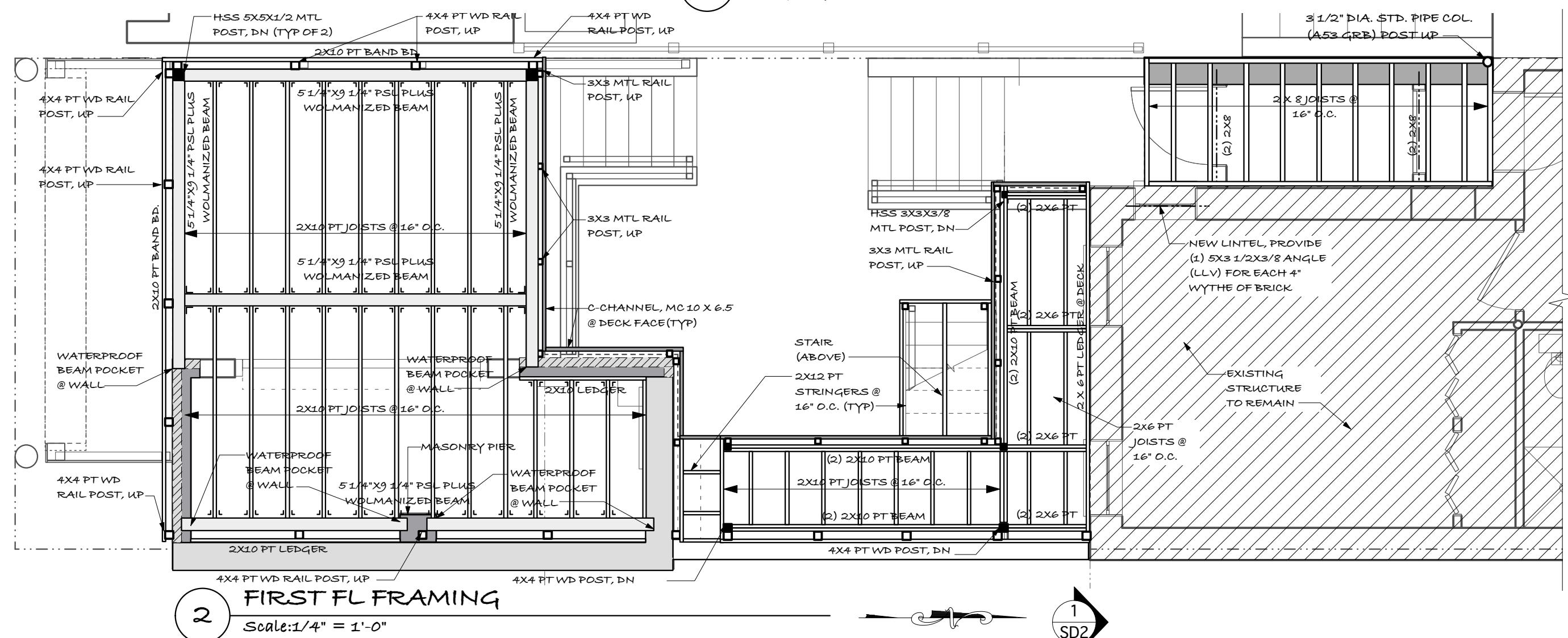
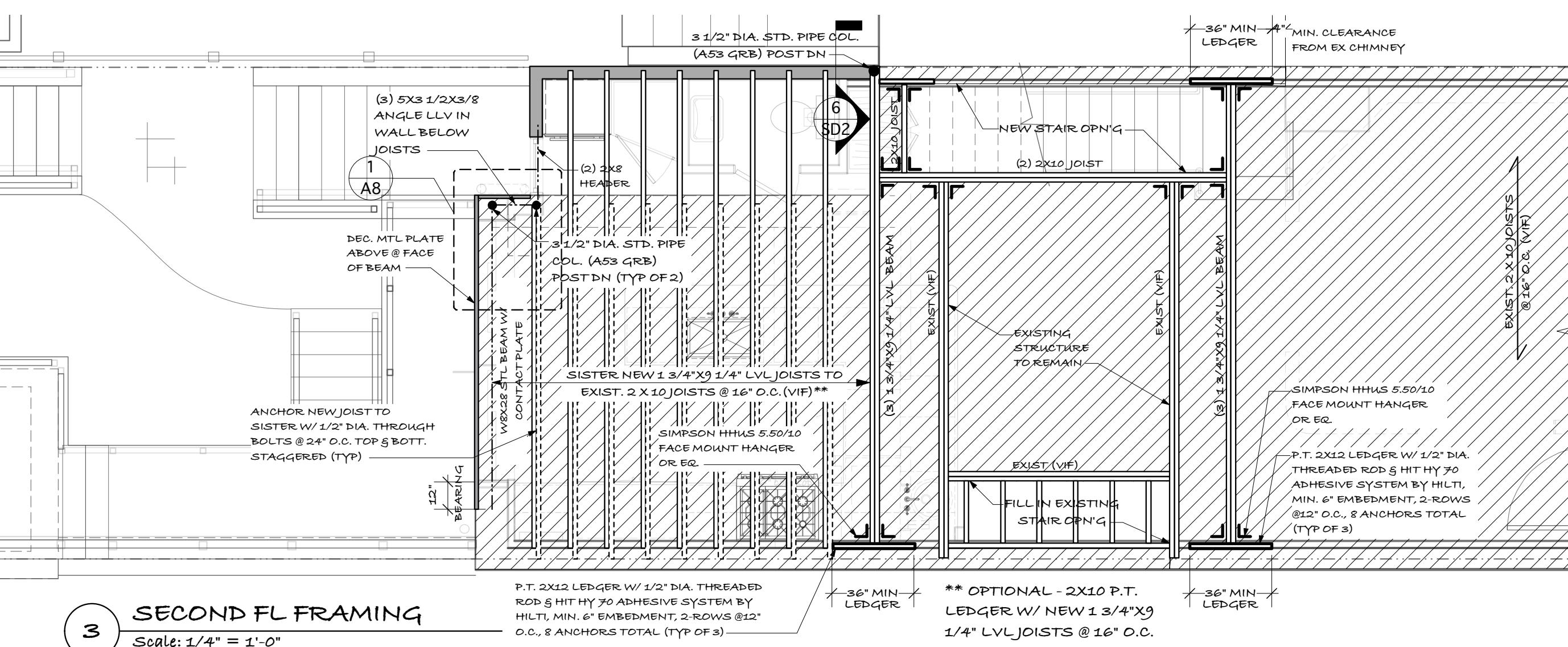
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AHMANN LLC
ARCHITECTURAL SERVICES
4403 BEECHWOOD ROAD UNIVERSITY PARK, MARYLAND 20782
PHONE 301 864 1334
FAX 301 864 6818

**STRUCTURAL
BSMT & FIRST FL PLANS**

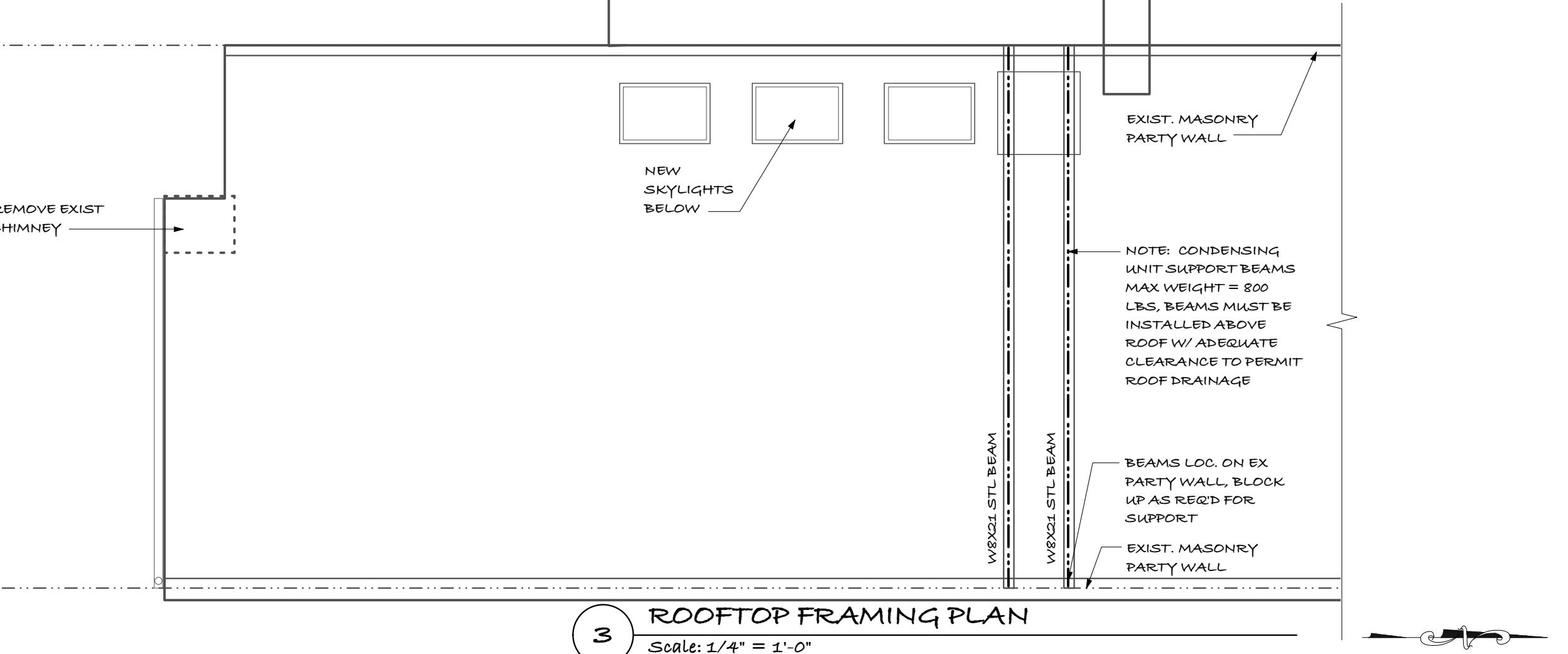
SCALE: 1/4" = 1'-0"

NOTE:
**BASIC WIND-FORCE RESISTING SYSTEM
IS EXISTING MASONRY SHEAR WALLS**



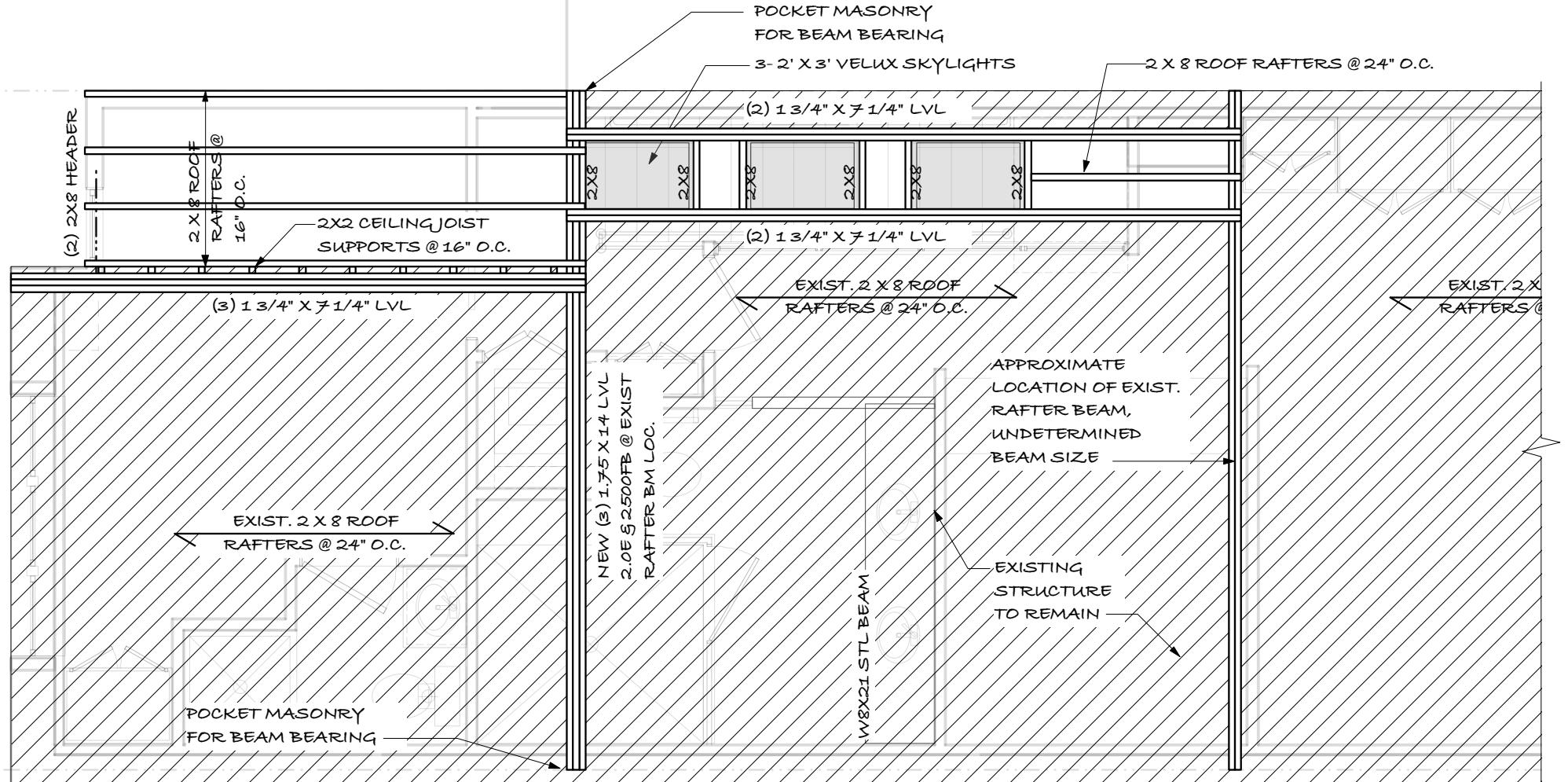
NOTE:
**ALL EXISTING CONDITION TO BE FIELD
VERIFIED. INFORM ARCHITECT OR
ENGINEER IF EXISTING CONDITIONS VARY
FROM THAT SHOWN OR ASSUMED.**

NOTE:
BASIC WIND-FORCE RESISTING SYSTEM
IS EXISTING MASONRY SHEAR WALLS



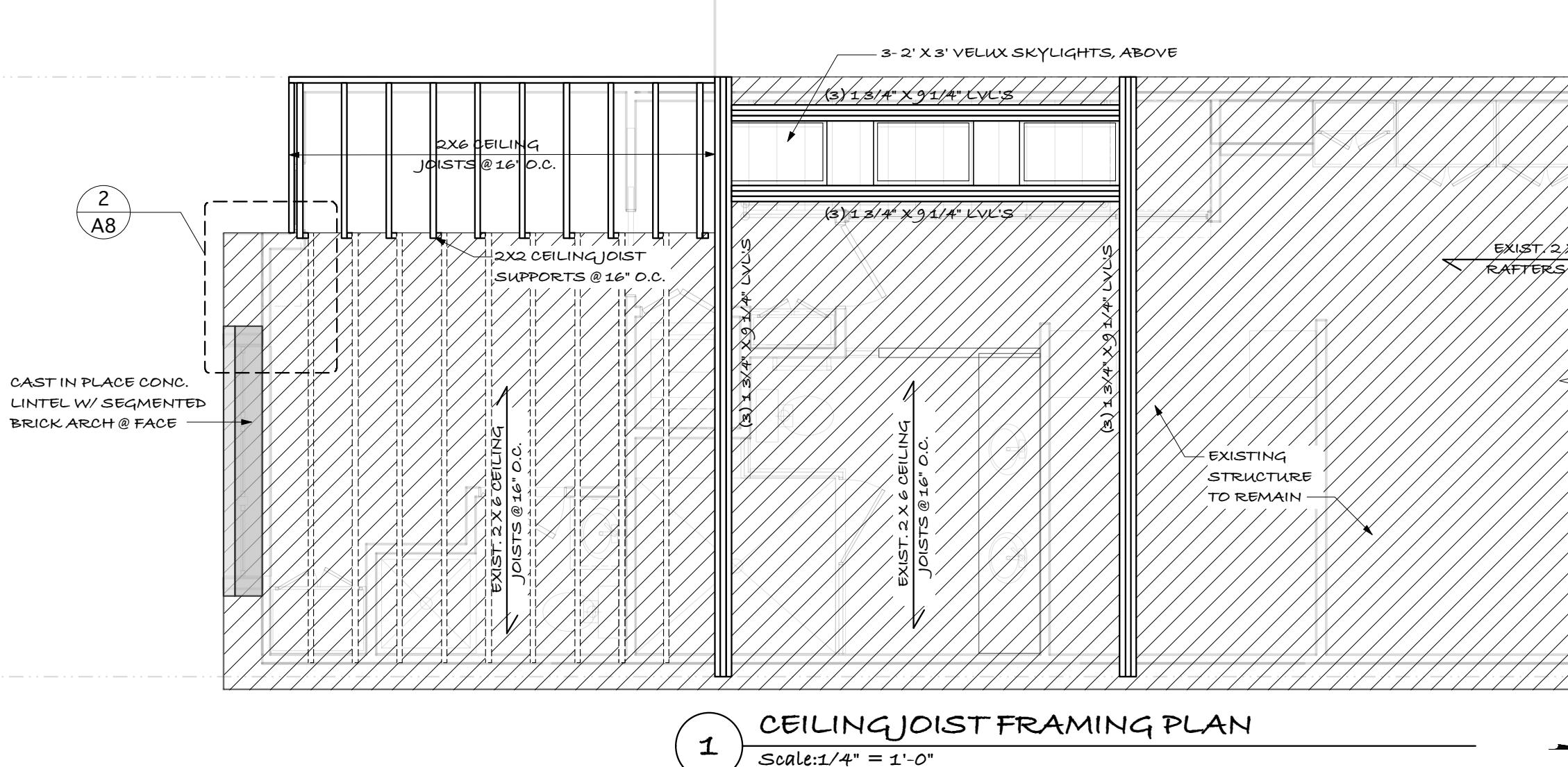
3 ROOFTOP FRAMING PLAN

Scale: 1/4" = 1'-0"



2 ROOF RAFTER FRAMING PLAN

Scale: 1/4" = 1'-0"



1 CEILING JOIST FRAMING PLAN

Scale: 1/4" = 1'-0"

NOTE:
ALL EXISTING CONDITION TO BE FIELD
VERIFIED. INFORM ARCHITECT OR
ENGINEER IF EXISTING CONDITIONS VARY
FROM THAT SHOWN OR ASSUMED.

STRUCTURAL SPECIFICATIONS

1. GENERAL

A. The following Loading was utilized in the design based on IRC 2012:

Live Load:

Roof Snow Load = 30 psf; Floors = 40 psf; Stairs = 40 psf; Decks = 40 psf.

Wind Load:

Basic wind speed (3-second gust) = 90 mph; Importance Factor IW = 1.0; Wind exposure = b; Internal Pressure Coefficients = 0.18 or -0.18; Basic Wind-Force-Resisting System = Existing Masonry Shear Walls.

Snow Load:

Gound Snow Load Pg = 30 psf; Flat Roof Snow Load Pf = 21 psf; Snow Exposure Factor CE = 1.0; Snow Importance Factor IS = 1.0; Thermal Factor CT = 1.0

B. The Foundation and Framing Plans are schematic and are intended only to define the general requirements and concepts of the work. They do not show all details and requirements of the work and are not necessarily coordinated with the architectural, electrical, mechanical and plumbing requirements of the work. The General Contractor or Construction Manager is responsible for assuring that all items required for a complete structural system in accordance with the concepts indicated are provided and installed. The General Contractor or Construction Manager is responsible for coordination of the structural work with other trades, and for arranging offsets, securing additional material, etc. as may be required by such coordination.

C. The General Contractor or Construction Manager shall coordinate the placement of all foundation, slab and framing elements as required for exact placement of mechanical, electrical, plumbing and any other elements as indicated in the drawings, including but not limited to: lighting fixtures, mechanical registers and grilles, plumbing fixtures.

D. Any material or equipment not shown on the structural drawings and having a weight in excess of 400 pounds shall be brought to the attention of the Architect or the Structural Engineer prior to installation.

E. The basic stability of the structure is dependent upon the diaphragm action of the floors, walls, and roof acting together. The General Contractor or Construction Manager shall arrange for all guys, braces, struts, etc. as required to accommodate all live, dead, and wind loads until all final connections between these elements are made.

2. EARTHWORK

A. Soil bearing value at the bottom of all footings is assumed to be 1500 psf. This value is to be verified in the field prior to pouring.

B. Bottom of all exterior footings shall be a minimum of 2'-6" below finished exterior grade. Where required, step footings in ratio of 2 horizontal to 1 vertical. Footing depths are shown schematically and are subject to field verification of existing conditions and review of soil conditions by a registered engineer experienced in soils engineering.

C. Compacted backfill Below Building Slabs & Footings: All soil fill material must be approved by soils engineer prior to placement. Material to be free from organic material, trash, muck, concrete, asphalt, or other deleterious substances. Prior to placing fill, the existing surface shall be cleared of all refuse or organic materials. Fill material shall be placed in layers not to exceed 8" and compacted to minimum 95% of the dry maximum density as determined by ASTM D-1557.

D. Footing depths are shown schematically and are subject to field verification of existing soil conditions by a geotechnical engineer prior to proceeding with the footing work.

3. CONCRETE

Footings, by a registered engineer experienced in soils engineering.

A. All concrete to have minimum compressive strength (f_c) = 3000 psi in 28 days. All concrete to be poured in accordance with ACI 301-83 specification. Concrete exposed to weather to be 4500psi.

B. All reinforcing steel shall meet ASTM-A-615 Grade 60. Placing plans and shop fabrication details shall be in accordance with "The Manual of Standard Practice for Detailing Reinforced Concrete Structures."

C. Provide clear distance to outermost reinforcing as follows:

3/4"	In slabs and walls at faces not exposed to weather
1 1/2"	In beams at bottom and sides; in columns
1 1/2"	In slabs at bottom poured over vapor barrier
2"	In all members exposed to weather or backfill
3"	In concrete poured against earth

4. MASONRY

A. All concrete masonry units to conform to ASTM specification C-90 for load bearing masonry. All masonry to be reinforced at 16" o.c. horizontally. Mortar to be ASTM C-270, type S at exterior walls, type N at interior walls.

B. Unless otherwise noted, lintels for masonry walls shall be as follows (Provide 1 angle for each 4" of wall thickness): Openings to 3'-0": 3-1/2" x 3-1/2" x 3/8" - 3-1/2" horizontal

3'-1" to 5'-0": 4" x 3-1/2" x 3/8" - 3-1/2" horizontal

5-1" to 6'-6": 5" x 3-1/2" x 3/8" - 3-1/2" horizontal

C. Masonry wall ties: provide galvanized horizontal continuous wall reinforcement at 16" o.c. vertical. Provide prefabricated tees and eis at intersections and corners of masonry walls.

D. Provide 100% solid masonry below all joists and slab bearing lines, and below all lintels and minor wall bearing beams.

E. Provide concrete masonry lintels where indicated in the Drawings. Masonry lintels shall be installed per manufacturer's load/span tables unless otherwise indicated. Provide 8" bearing at each side of masonry lintels typically.

F. Fill all cells with mortar grout at all reinforcing bars, anchor plates, expansion bolts, and bond beams. The grout shall consist of one part cement and three parts sand with minimum possible water.

5. STEEL

A. All structural steel shall conform to ASTM A-992. Pipe to be A53. Tube to be A500 or A501. Detailing to be in accordance with AISC Structural Steel Detailing Manual. Bolted joints to be bearing type using the turn-of-the-nut method of tightening, except add hardened washer under turned element. All electrodes shall be AWS E70XX.

B. All connections required but not indicated or specified in the Construction Documents shall be engineered/designed by the steel fabricator.

C. All welders shall be certified with the American Welding Society. All welding electrodes, machines, etc., shall be compatible with the type of steel being welded.

D. Provide Miscellaneous metal as required, including loose lintels for masonry walls, bolts, plates, anchors, hangers, framing clips, and other required items for framing and supporting woodwork.

6. WOOD

A. Comply with the NDS/National Design Specification for Wood Construction and the 2012 International Residential Code, including nailing, fastening, anchorage, framing, and bracing. Double joists at all openings (header and trimmer) and under all partitions parallel to the joists. Provide headers for all openings for mechanical ductwork as required. Provide preservative treated wood where in direct contact with concrete or masonry (including but not limited to sill plates and ledger boards) or where within 8 inches of earth, as well as cans, nailers, blocking, furring, stripping, and similar items in connection with roofing, flashing, vapor barrier, and waterproofing membranes.

B. All framing lumber shall be hem fir, grade #2 or better, having the following minimum properties:

Bending Stress "Fb" = 850 psi for single member

Bending Stress "Fb" = 977.5 psi for repetitive member

Tension parallel to Grain "Ft" = 525psi

Horizontal Shear "Fv" = 150 psi

Compression Perp. to Grain "Fc" = 405 psi

Compression parallel to Grain "Fc" = 1300 psi

Modulus of Elasticity "E" = 1,500,000 psi

C. All structural posts having the following minimum properties:

Bending Stress "Fb" = 1200 psi for single member

Bending Stress "Fb" = 1400 psi for repetitive member

Horizontal Shear "Fv" = 90 psi

Compression Perp. to Grain "Fc" = 565 psi

Compression parallel to Grain "Fc" = 1000 psi

Modulus of Elasticity "E" = 1,600,000 psi

D. All stud walls shall be framed with studs at 16" o.c. maximum. All wall studs shall be SPF stud grade or better, having the following minimum properties:

Compression Parallel to Grain "Fc" = 425 psi

Modulus of Elasticity "E" = 1,200,000 psi

G. All stud bearing walls shall be provided with 2 continuous top plates and continuous preservative treated bottom plate with a minimum of one row of horizontal bridging at mid height of wall unless otherwise noted. Splices of top plate shall occur over stud. Splices shall be staggered a minimum of four feet.

H. All lintels over all framed openings to be as shown below unless noted otherwise:

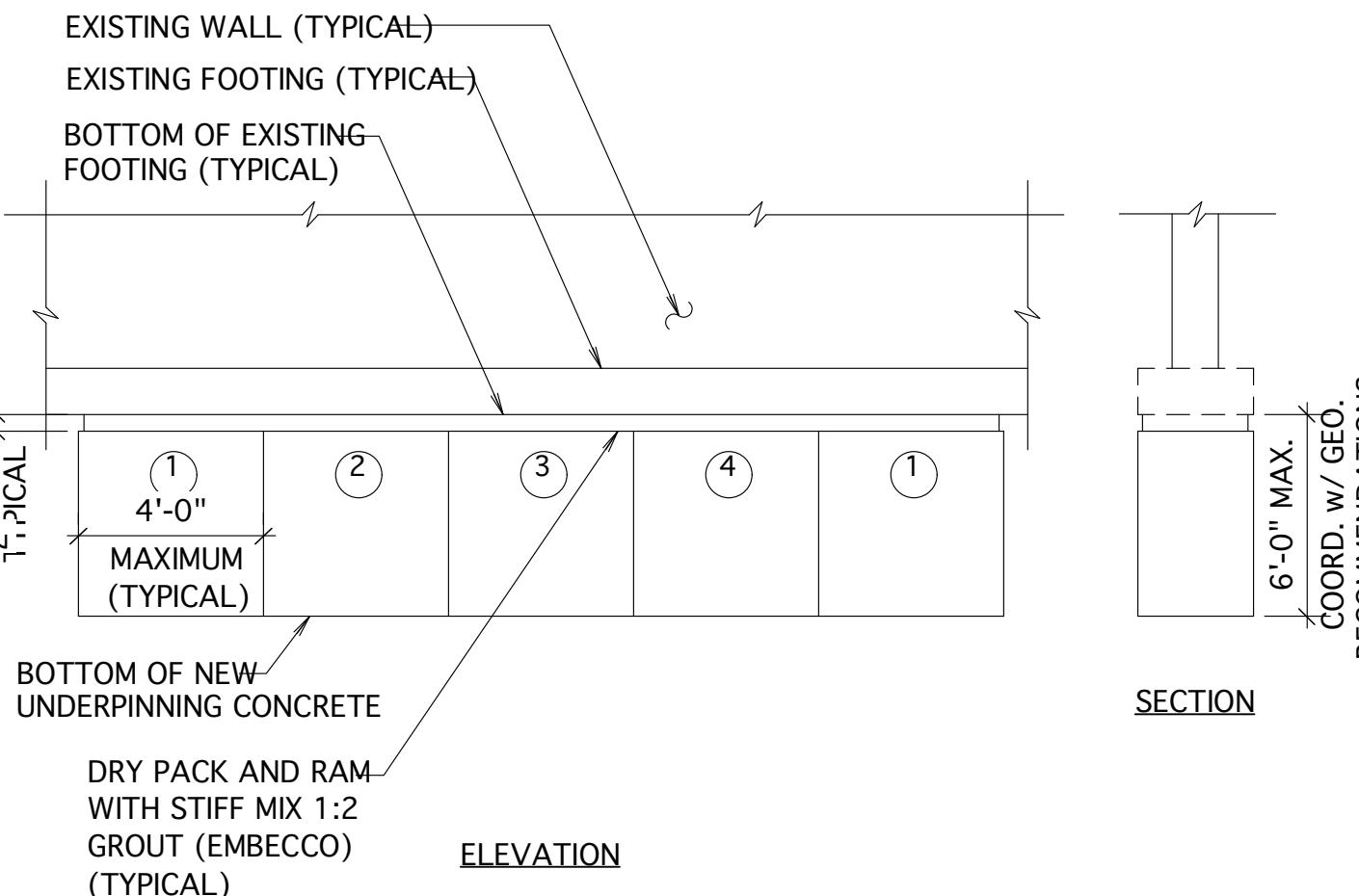
2 - 2x8 for openings up to 4'-6"

2 - 2x10 for openings up to 5'-6"

2 - 2x12 for openings up to 7'-0"

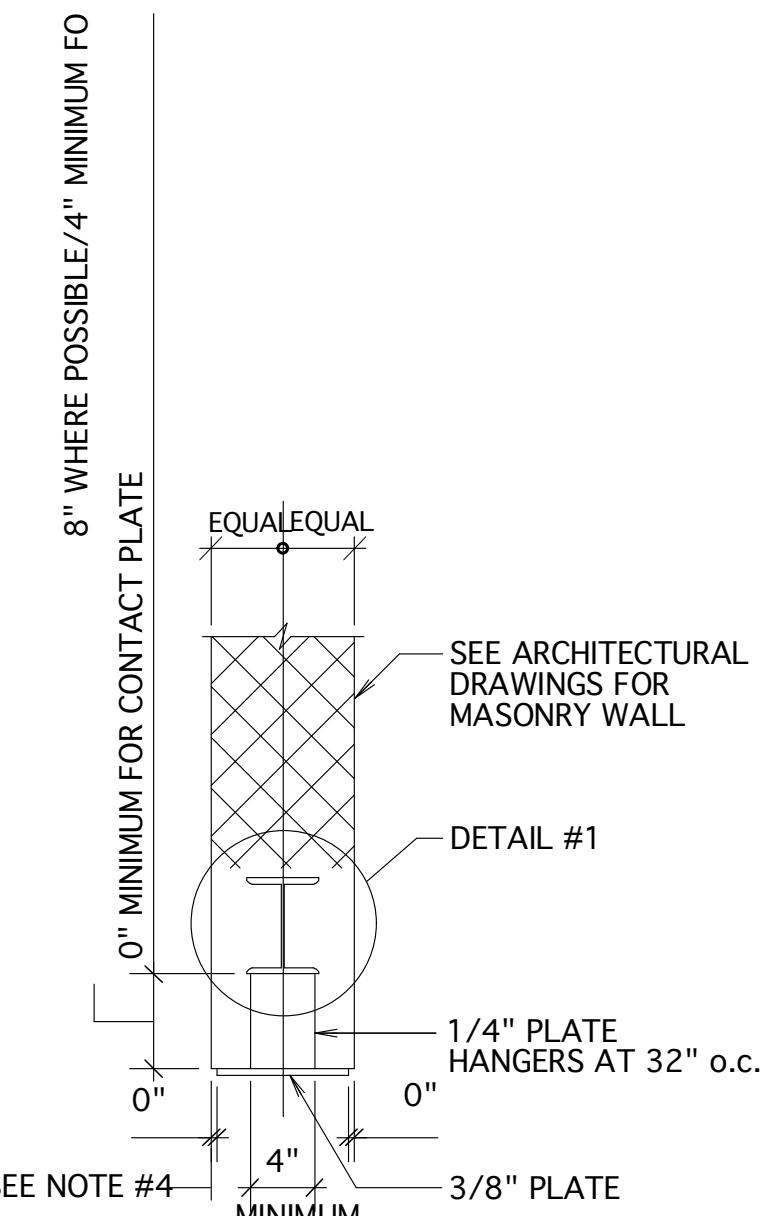
I. All wood blocking, nailers, etc. shall be attached to concrete with power actuated fasteners or 3/8" diameter bolts unless otherwise indicated or required. Fasteners shall be spaced at 24 inches maximum o.c. and shall be staggered. Fasteners shall have a minimum capacity of 100 lbs in shear and pull-out unless otherwise indicated or required.

Note: All LVL Microlam shall be 2.0E & 2500lb minimum.



TYPICAL UNDERPINNING DETAIL

- NOTES:
1. UNDERPINNING OF THE EXISTING ADJACENT BUILDING WALLS SHALL BE PLAIN CONCRETE HAVING A 28 DAY COMPRESSIVE STRENGTH OF 2,500 psi. UNDERPINNING SHALL BE CONTINUOUS ALONG THE WALL AND BEAR ON UNDISTURBED EARTH. EXISTING WALLS SHALL BE ADEQUATELY BRACED UNTIL NEW FOUNDATION WALL IS IN PLACE.
 2. ALTERNATE UNITS AS FOLLOWS: INSTALL ALL '1' UNITS BEFORE PROCEEDING WITH '2' UNITS. ADJACENT UNIT SHALL NOT BE PLACED WITHIN 4 DAYS OF EACH OTHER. ALLOW 24 HOURS CURING PRIOR TO PLACING 2" DRY PACKING TO EXISTING WORK.

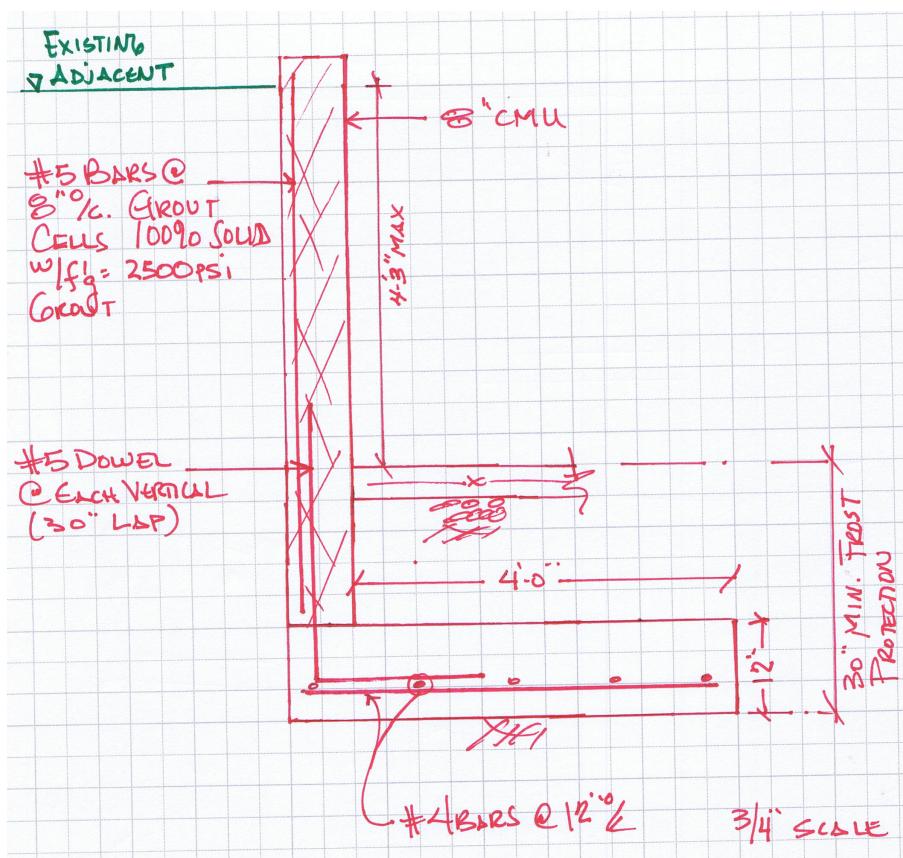


- NOTES:
1. FIRST PLATE HANGER TO BE NO MORE THAN 8" FROM EDGE OF PLATE.
 2. PLATE IS NOT TO EXTEND ONTO MASONRY AT END OF MASONRY OPENING.
 3. PLATE TO BE CUT TO MATCH MASONRY OPENING (i.e. AT END CUT TO MATCH SKEWED WALLS WHEN THIS CONDITION OCCURS). HOLD PLATE SHY OF THE MASONRY EACH END.
 4. HOLD HANGER BACK SO BRICK CAN PASS BY (4 1/2" MAXIMUM WHERE POSSIBLE).
 5. NO SPLICES IN HUNG PLATE OR CONTACT PLATE.
 6. OMIT HANGERS AND WELD PLATE DIRECTLY TO BEAM FLANGE FOR CONTACT PLATE WITH 3/16" FILLET WELD, 3" @ 12" o.c. EACH SIDE.

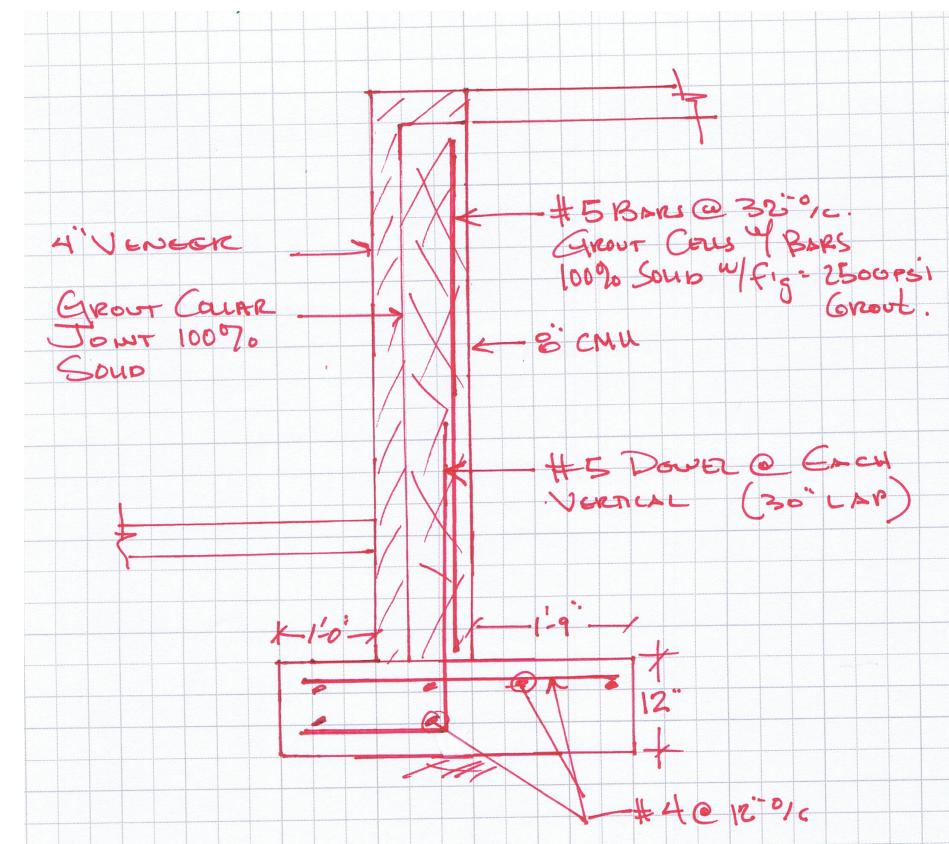
TYPICAL BEAM AND HUNG PLATE OR TYPICAL BEAM AND CONTACT PLATE

STRUCTURAL DETAILS

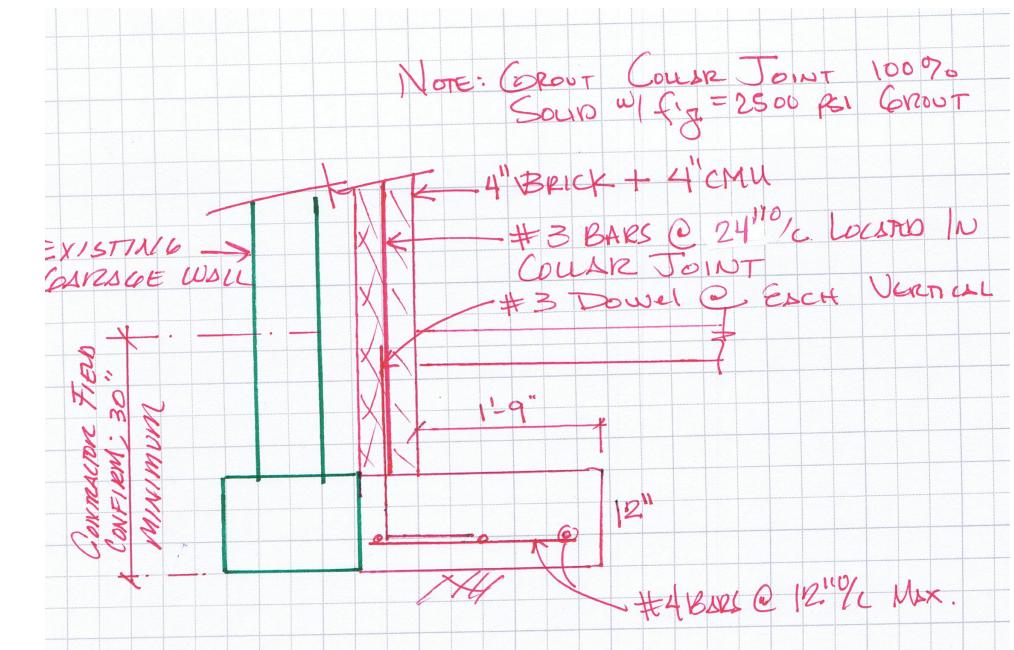
SCALE: 1/4" = 1'-0"



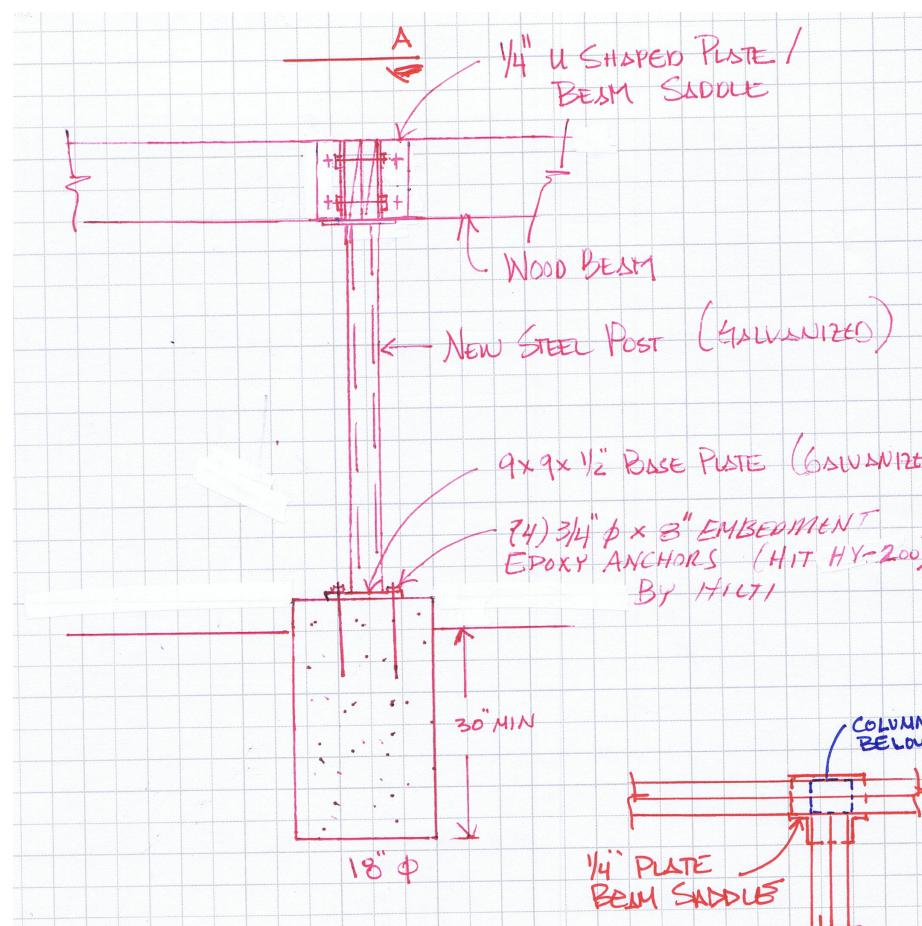
1 RETAINING WALL & FTG.
N.T.S.



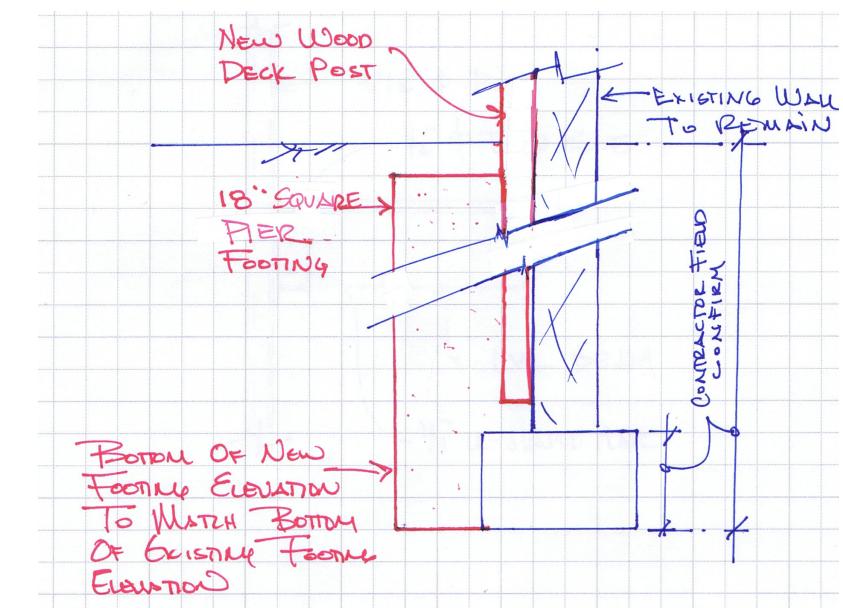
2 RETAINING WALL & FTG.
N.T.S.



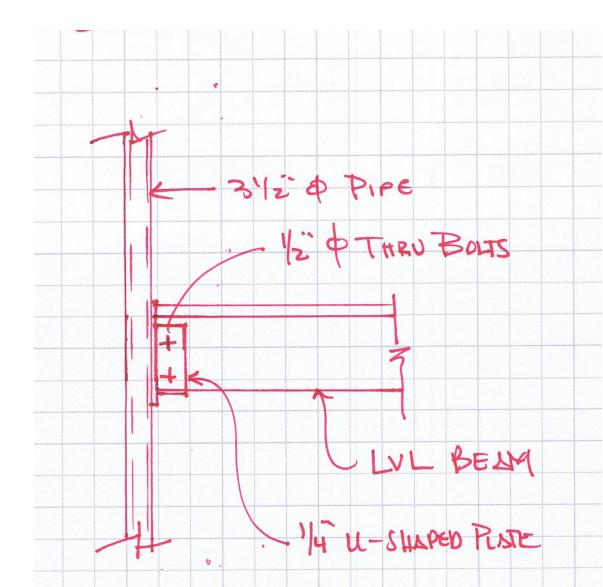
3 RETAINING WALL & FTG.
N.T.S.



4 POST DETAIL @ REAR DECK
N.T.S.



5 POST DETAIL @ REAR DECK
N.T.S.



6 POST DETAIL @ NEW ADDITION
N.T.S.

VANDEVENTER & CHERBAKOV ADDITION & RENOVATIONS

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**PROPOSED
INTERIOR ELEVATIONS**

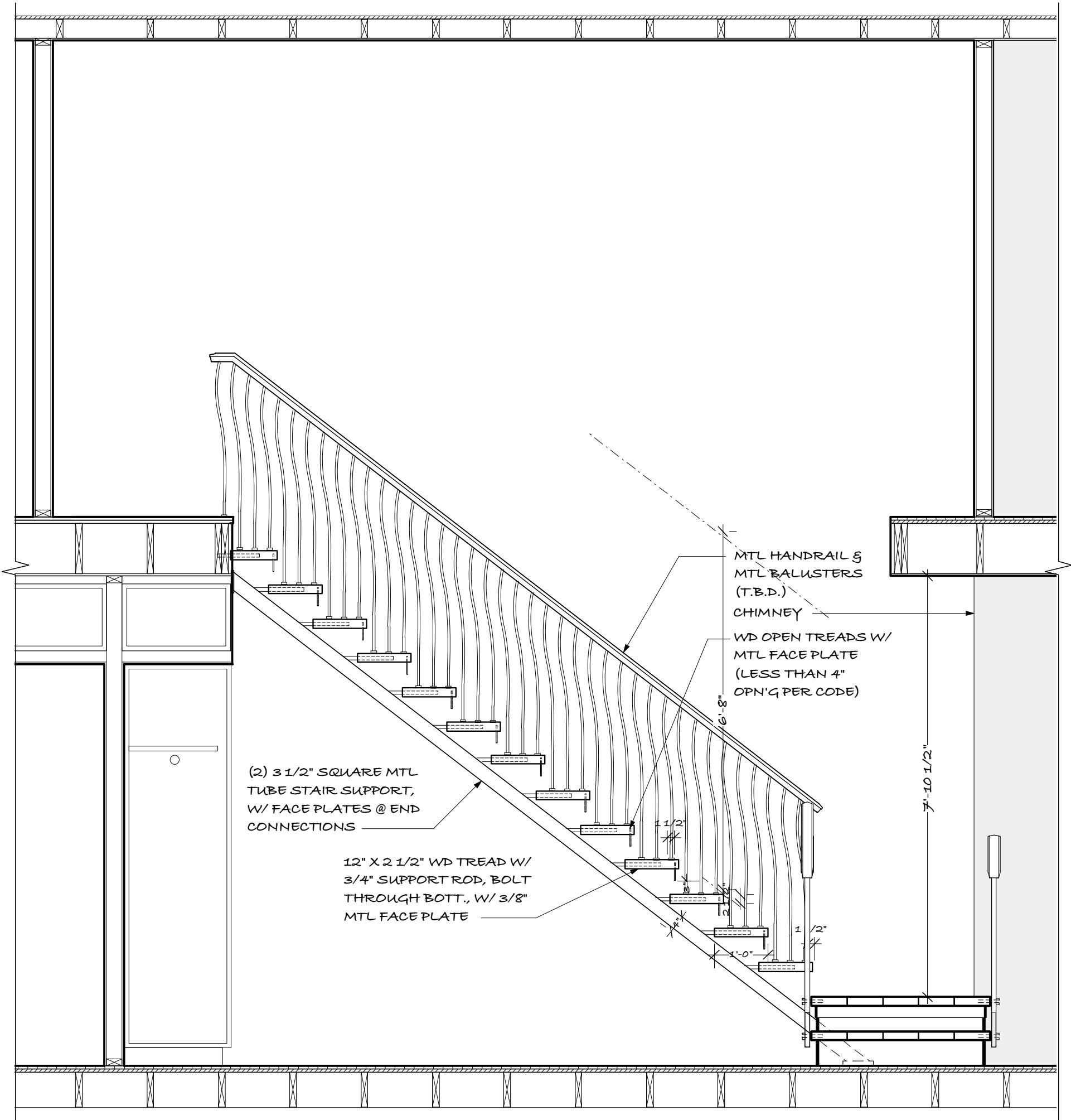
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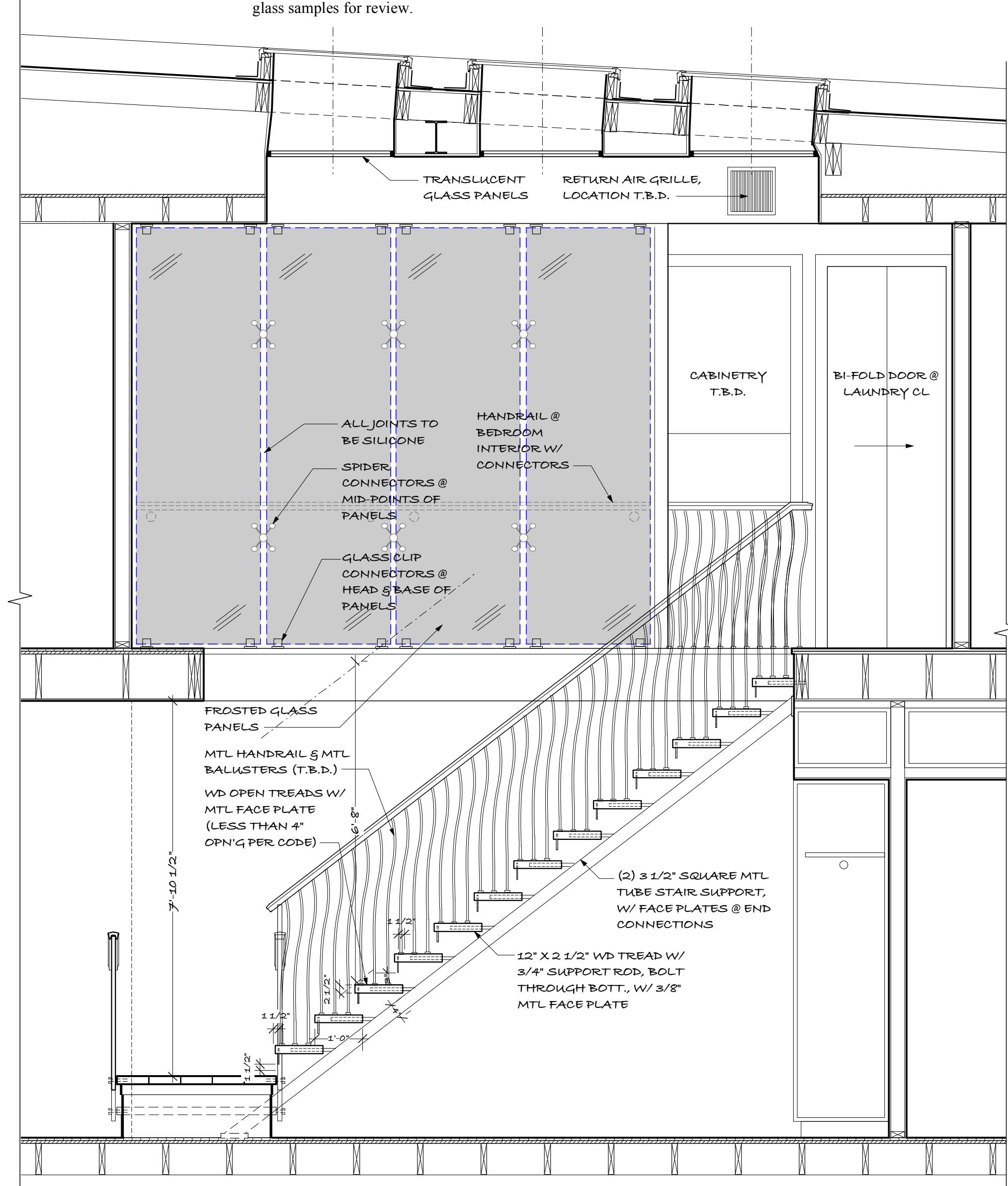
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2 INTERIOR STAIR ELEVATION
Scale: 1/2" = 1'-0"



1 INTERIOR STAIR SECTION
Scale: 1/2" = 1'-0"

NOTE: Design, provide and install custom frameless glass partition and skylight interior glazing systems as indicated in the Drawings. Glass partition and skylight glazing system shall incorporate a minimum of 3/8" thick tempered glass, in panels sized per the requirements indicated in the Drawings, and per appropriate field verifications. Partition glazing and skylight glazing shall be obscure glass texture, as selected by the Owner. Secure partition panels to floor, ceiling, and abutting walls at ends of partition, with clip angles. Secure partition panels and skylight glazing panels to adjacent panels with spider connectors as required. Design of the attachments and anchoring of the glass partitions and guardrails shall meet or exceed the loading requirements as specified in IBC 2012 Section 1607.8.1. Additionally the glass partition and skylight glazing systems shall be in compliance with IBC Section 2407. Material finish and color for clip angles, bolt and washer system and caps, connection spiders and other related accessories shall be selected by the Owner. Provide shop drawings, connection hardware cut-sheets, and glass samples for review.

SCALE: 1/2" = 1'-0"

**MEASURED
ELEVATIONS**

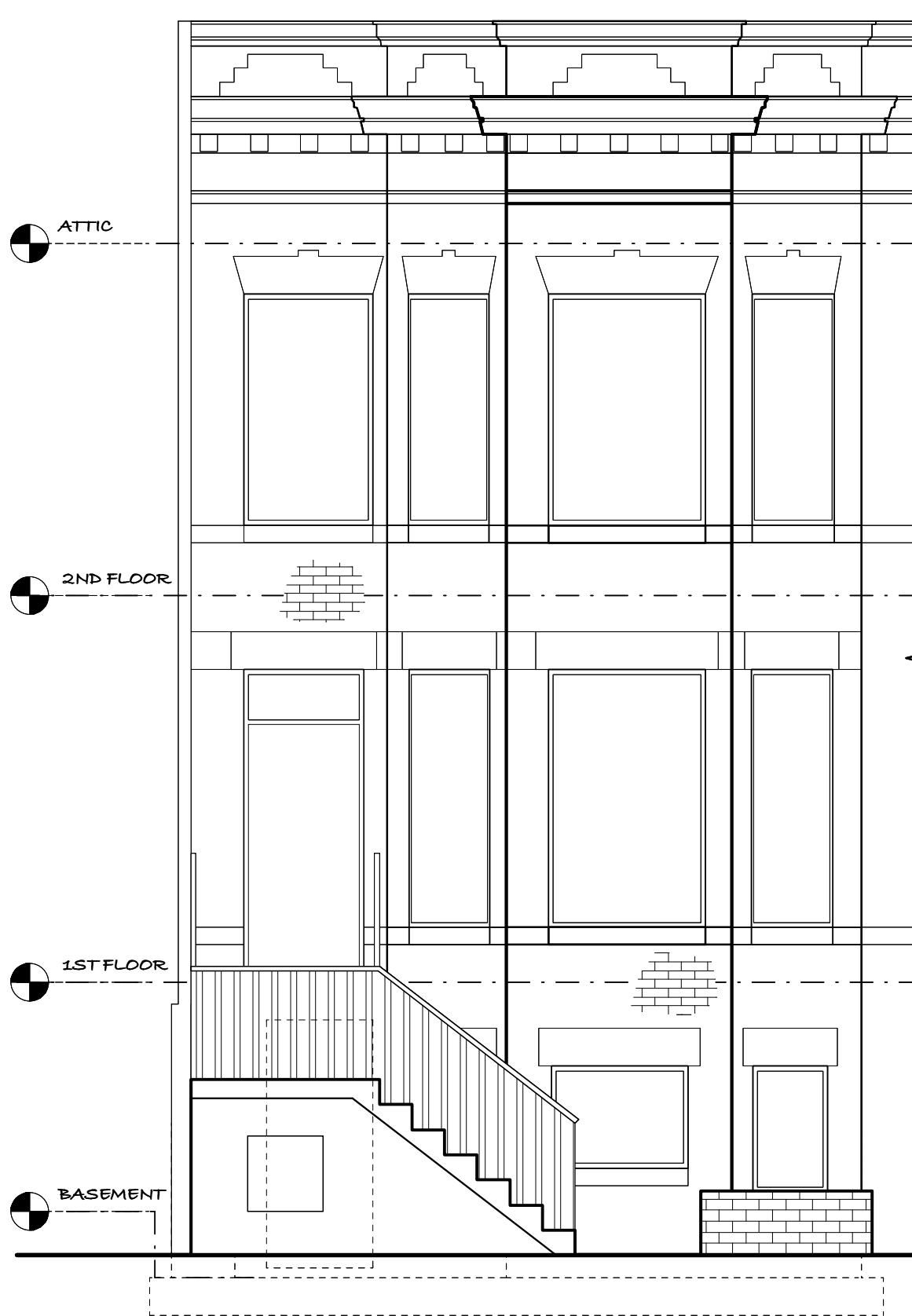
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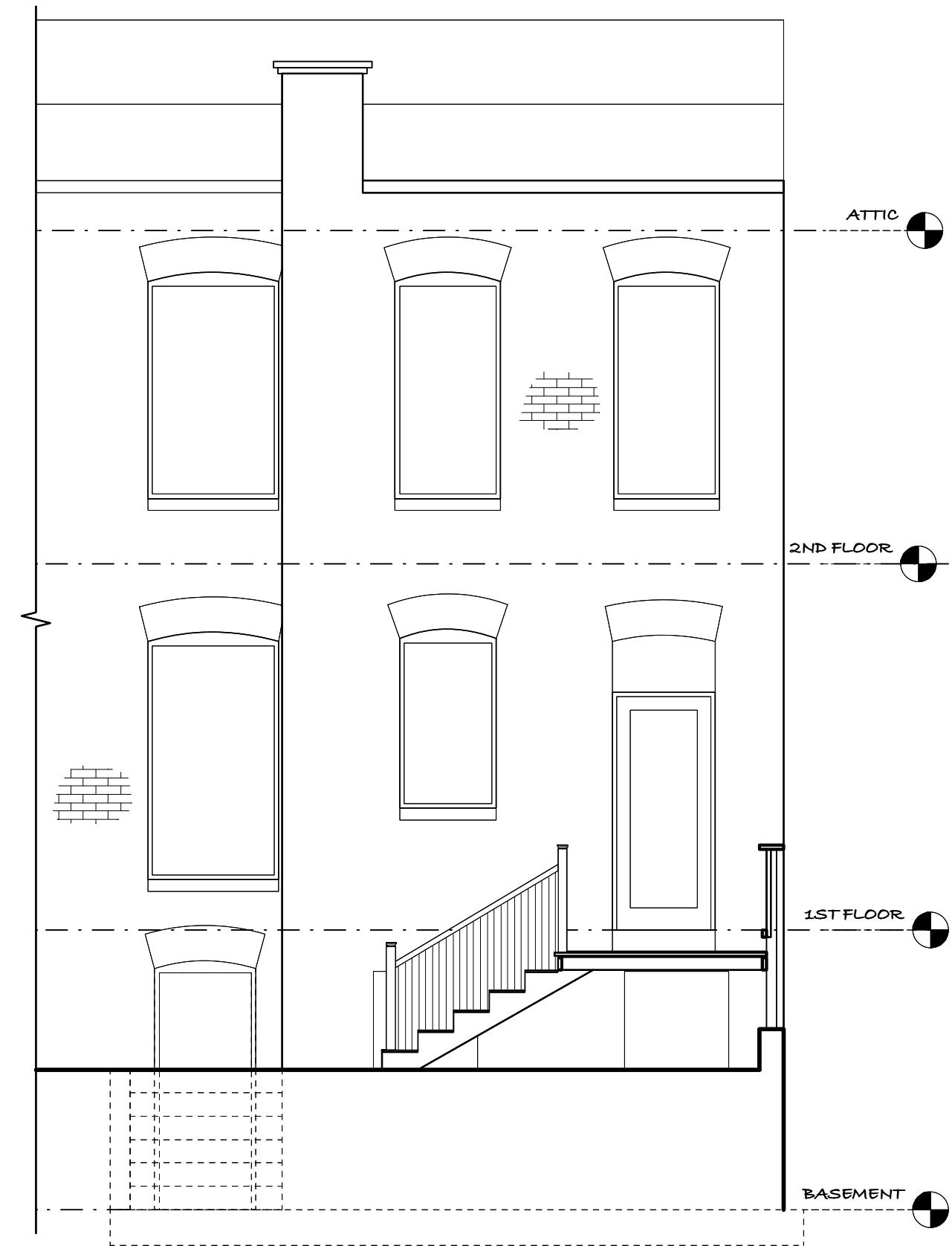
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1 EXISTING FRONT ELEVATION
Scale: 1/4" = 1'-0"



2 EXISTING REAR ELEV AT HOUSE
Scale: 1/4" = 1'-0"



3 EXISTING REAR ELEV AT GARAGE
Scale: 1/4" = 1'-0"