

BUILDING INFORMATION

PROJECT ADDRESS:
4617 SE MILWAUKIE AVENUE
PORTLAND, OREGON 97211

MULTNOMAH CO. TAX ACCT. NUMBER:
R328460

STATE TAX ID NUMBER:
161E4BA 400

ZONING DESIGNATIONS:
CG - GENERAL COMMERCIAL

BUILDING CODE SUMMARY

INFORMATION SHOWN ON THIS DRAWING IS BASED ON THE OBC 2010 EDITION. ANY INFORMATION NOT PROVIDED OR CLEARLY IDENTIFIED SHALL MEET OR EXCEED CURRENT CODE.

PROPOSED OCCUPANCY - S. BLDG: 1-4 DAY CARE FACILITY
PROPOSED OCCUPANCY - N. BLDG: B DOG DAY CARE

CONSTRUCTION TYPE: IIIB (SOUTH AND NORTH BLDGS)
SOUTH BUILDING SPRINKLERED - NORTH BUILDING NON-SPRINKLERED
(BUILDINGS SEPARATED BY 4 HR FIRE WALL)

BUILDING SIZE:
SOUTH BUILDING GROUND FLOOR = 9,600 SF
SOUTH BUILDING SECOND FLOOR = 1,950 SF
NORTH BUILDING GROUND FLOOR = 6,030 SF

BUILDING HEIGHT:
SOUTH BUILDING - 2 STORIES - 25'-4" TALL
NORTH BUILDING - 1 STORY - 20'-4" TALL

PERMITS:
PERMITS REQUIRED FROM THE CITY OF PORTLAND:
A. BUILDING
B. ELECTRICAL
C. MECHANICAL

PERMITS REQUIRED FROM PORTLAND FIRE MARSHALL OFFICE:
D. FIRE ALARM
E. SPRINKLER

OCCUPANCY - PER CHPT. 3 AND TABLE 1004.1.1

EXISTING OCCUPANT LOAD SINCE 2004

SOUTH BUILDING

USE	SF OF ROOM	OCCUPANT LOAD FACTOR	TOTAL OCCUPANTS
GROUND FLOOR:	9,600 SF GROSS		
MERCANTILE	1,650 SF)	30SF/OCC	255 OCC.
OFFICE	1,350 SF	100SF/OCC	20 OCC.

NORTH BUILDING

GROUND FLOOR:	6,000 SF		
WAREHOUSE	6,000 SF	500SF/OCC	12 OCC.

PROPOSED OCCUPANT LOAD PER THIS PERMIT

SOUTH BUILDING

USE	SF OF ROOM	OCCUPANT LOAD FACTOR	TOTAL OCCUPANTS
GROUND FLOOR:	9,600 SF GROSS		
DAY CARE (INFANT)	3,955 SF SF NET (1,405 SF)	35SF/OCC	113 OCC.
(TODDLER)	(1,050 SF)	--	--
(PRESCHL)	(1,500 SF)	--	--
*COMMON AREAS	2,500 SF NET	35SF/OCC	74 OCC.
EXERCISE RM.	505 SF NET	50SF/OCC	10 OCC.
STORAGE RM.	420 SF NET	100SF/OCC	5 OCC.
KITCHEN	360 SF NET	200SF/OCC	2 OCC.
*204 OCCUPANTS			
SECOND FLOOR:	530 SF NET		
OFFICE	240 SF NET	100SF/OCC	6 OCC.
*LOCKER	210 SF NET	50SF/ GROSS	7 OCC.
KITCHEN		200SF/GROSS	2 OCC.
15 OCCUPANTS			

NORTH BUILDING

USE	SF OF ROOM	OCCUPANT LOAD FACTOR	TOTAL OCCUPANTS
DOG AREAS	4,800 SF	100SF/OCC	48 OCC.
MERCANTILE	800 SF	60SF/OCC	14 OCC.

*COMMON AREAS AND LOCKER ROOMS ARE AREAS THAT ARE OCCUPIED BY OCCUPANTS ALREADY INCLUDED IN EITHER THE DAY CARE OCC. LOAD OR OFFICE OCC. LOAD

MIXED USE AND OCCUPANCY - TYPE III-B CONSTRUCTION
BASE ALLOWABLE - 1-4 OCCUPANCY = 13,000 SF - 2 STORIES
BASE ALLOWABLE - B OCCUPANCY = 19,000 SF - 4 STORIES
1-4 OCCUPANCY IN SOUTH BLDG = OF 5,500 SF
B OCCUPANCY IN NORTH BLDG =
NON-SEPARATED USES ARE ALLOWABLE IN EACH BUILDING.

AUTOMATIC SPRINKLER SYSTEM

REQUIRED IN DAY CARE FACILITIES WITH OVER 100 CHILDREN PER PER OBC 903.2.6 - GROUP 1-4 OCCUPANCIES

NO SPRINKLER SYSTEM PROPOSED IN NORTH BUILDING SEPARATED FROM SOUTH BUILDING BY A FOUR HOUR AREA SEPARATION WALL

FIRE ALARM SYSTEM

A MANUAL AND AUTOMATIC FIRE ALARM SYSTEM SHALL BE INSTALLED IN THE 1-4 BUILDING AS REQUIRED BY THE FIRE MARSHALL'S OFFICE.

NO FIRE ALARM SYSTEMS PROPOSED IN NORTH BUILDING SEPARATED FROM SOUTH BUILDING BY A FOUR HOUR AREA SEPARATION WALL

PLUMBING FIXTURE CALCULATIONS PER CHAPTER 29

SOUTH BUILDING

USE	SF OF ROOM	OCCUPANT LOAD FACTOR	TOTAL OCCUPANTS
GROUND FLOOR:			
DAY CARE	3,955 SF SF NET	50SF/OCC	80 OCC.
MISC AREAS	1,285 SF	200SF/OCC	1 OCC.
SECOND FLOOR:			
OFFICE, MISC.	1,950 SF GROSS	200SF/OCC	10 OCC.
TOTAL			91 OCCS

PER TABLE 29-A (3) MEN'S AND (3) WOMEN'S WC, AND LAVS REQUIRED
(2) MEN'S AND (2) WOMEN'S WC/LAVS PROVIDED WITH (5) UNISEX WC, AND LAVS FOR CHILDCARE AREAS

NORTH BUILDING

USE	SF OF ROOM	OCCUPANT LOAD FACTOR	TOTAL OCCUPANTS
DOG AREAS	4,800 SF	*200SF/OCC	3 OCC.
MERCANTILE	800 SF	200SF/OCC	4 OCC.

*OCC. LOAD OF DOG AREAS CALCULATED 50M. TO FACTORY AREAS AS MAIN OCCUPANTS WILL BE CANINE.

(1) WC, AND (1) LAV, REQUIRED AND PROVIDED

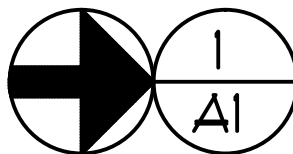
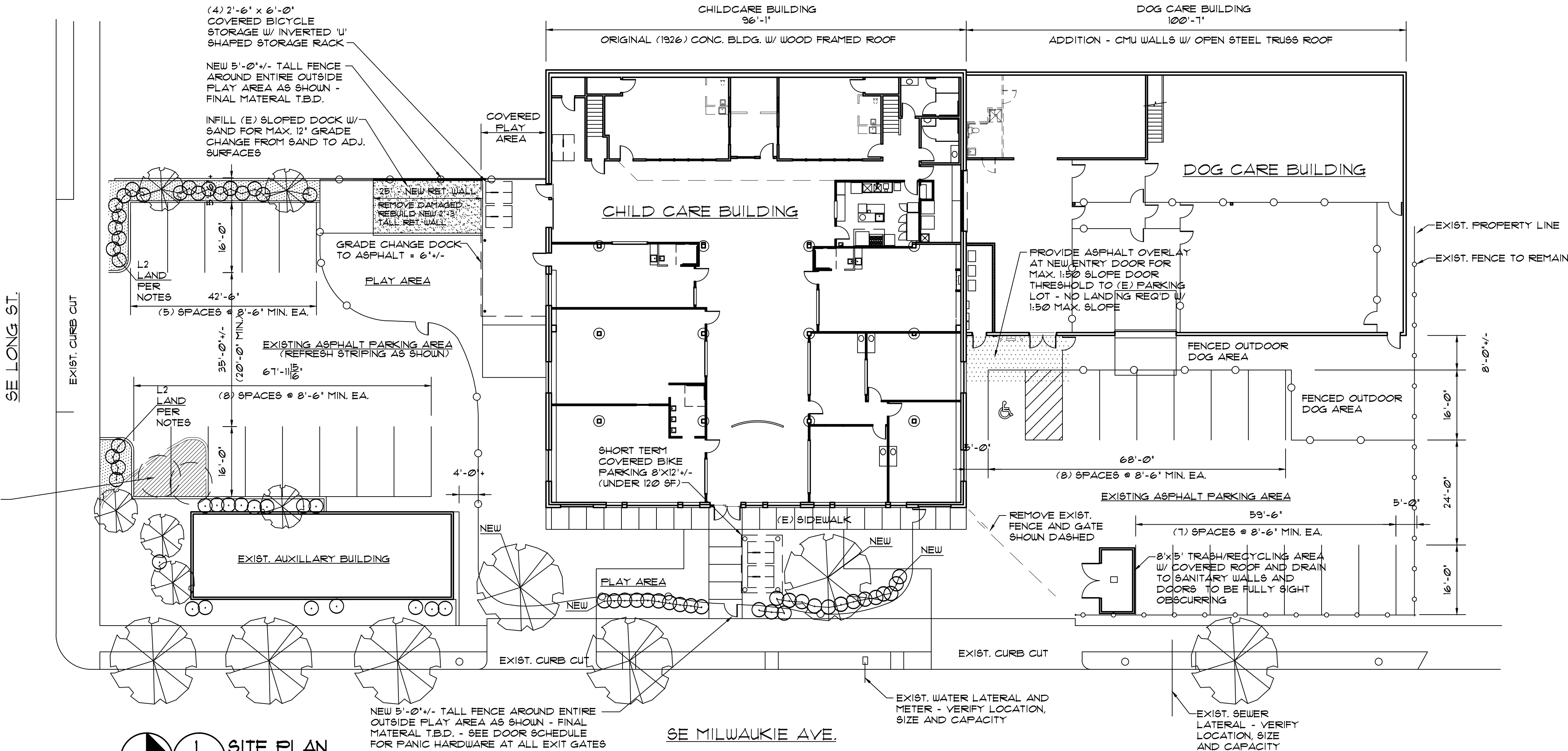
NEW LANDSCAPING REQ.
L2 LANDSCAPE STANDARD AROUND SOUTH PARKING LOT ALONG SE LONG ST AND WEST SIDE AS SHOWN - 5'-0" MIN. WIDTH.

L2 LANDSCAPE STANDARD SHALL CONSIST OF ENOUGH LOW SHRUBS TO FORM A CONT. 3' HIGH SCREEN. IN ADDITION 1 LARGE TREE PER 30 LF, OR 1 MEDIUM TREE PER 22 LF SHALL BE INSTALLED

SHRUBS MAY BE VIBURNUM TINUS OR COTONEASTER. TREES MAY BE RED LEAF MAPLE OR PER CITY OF PORTLAND APPROVED PLANTING LIST

IRRIGATION OF LANDSCAPING SHALL BE BY HAND. AFTER 1 YR. AN INSPECTION WILL OCCUR TO ENSURE THAT THE LANDSCAPING HAS BECOME ESTABLISHED

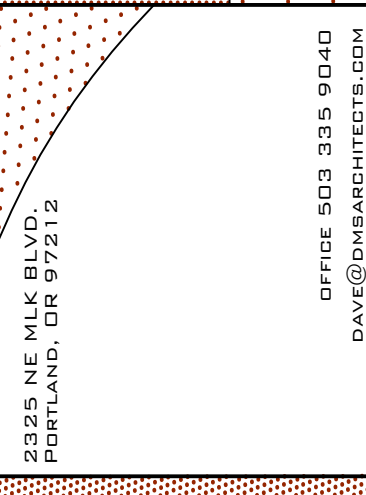
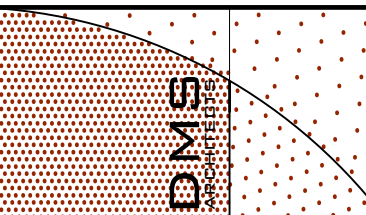
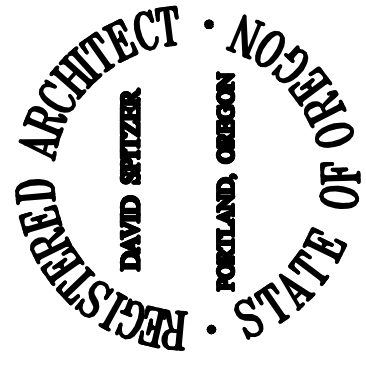
REMOVE EXIST. LANDSCP. AND EXTEND ASPHALT INTO AREA SHOWN HATCHED



SITE PLAN

SE MILWAUKIE AVE.

1/16" = 1'-0"



STEP BY STEP DAYCARE

4617 SE MILWAUKIE AVENUE
PORTLAND, OREGON

SHEET CONTENT
SITE PLAN
CODE SUMMARY
GENERAL NOTES

JOB No.
000016

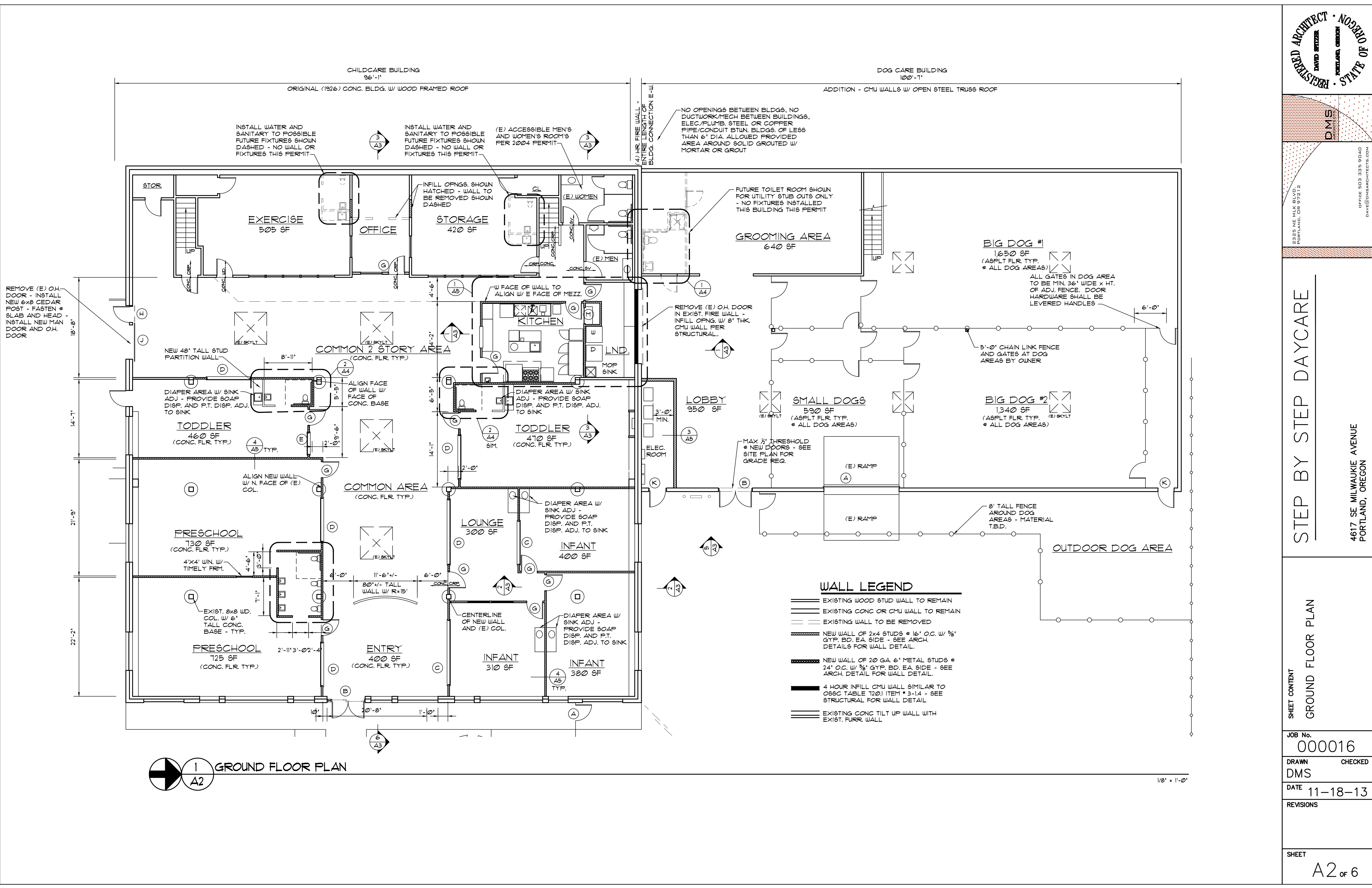
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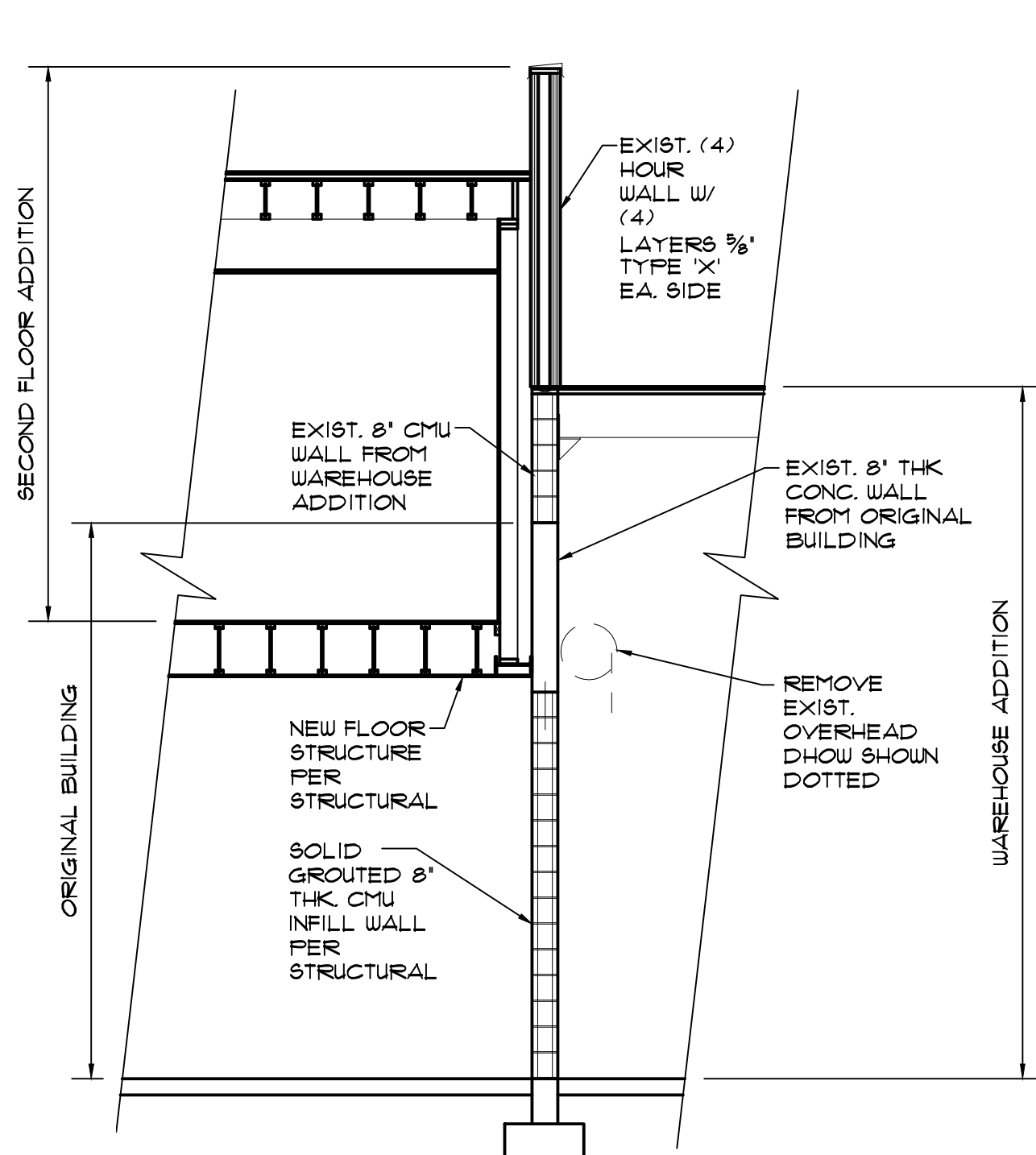
CHECKED
DATE 11-18-13

REVISIONS

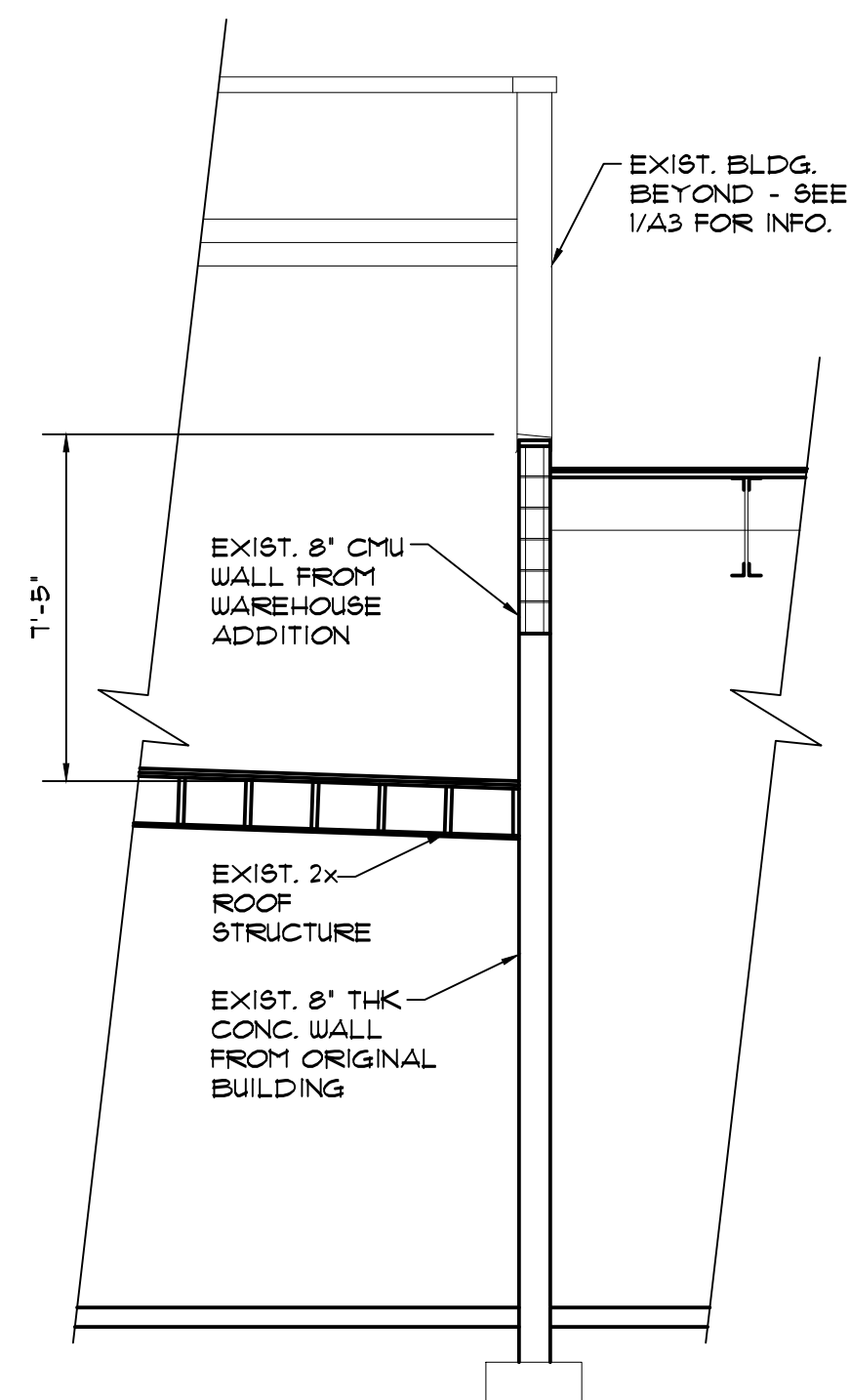
SHEET

A1 of 6

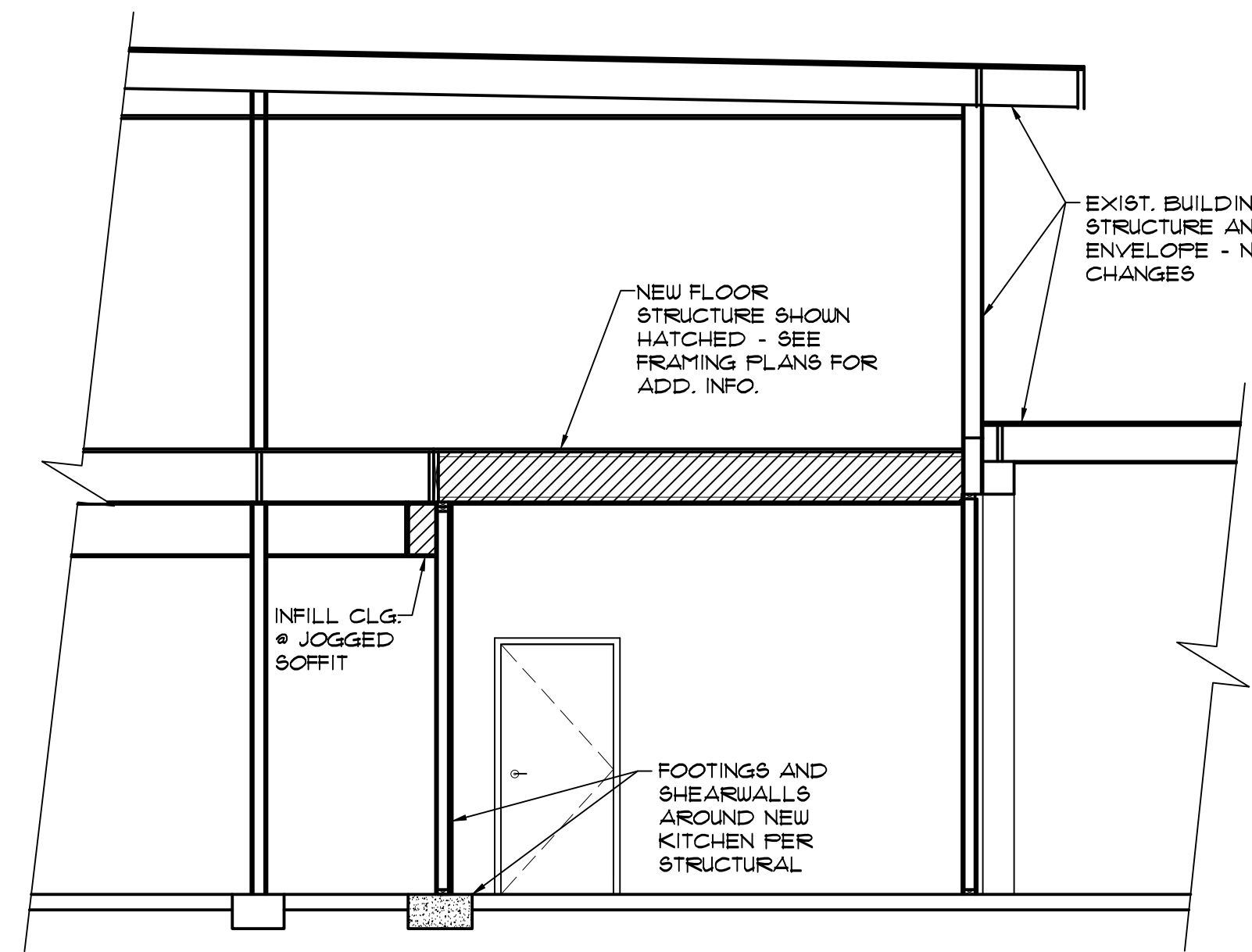




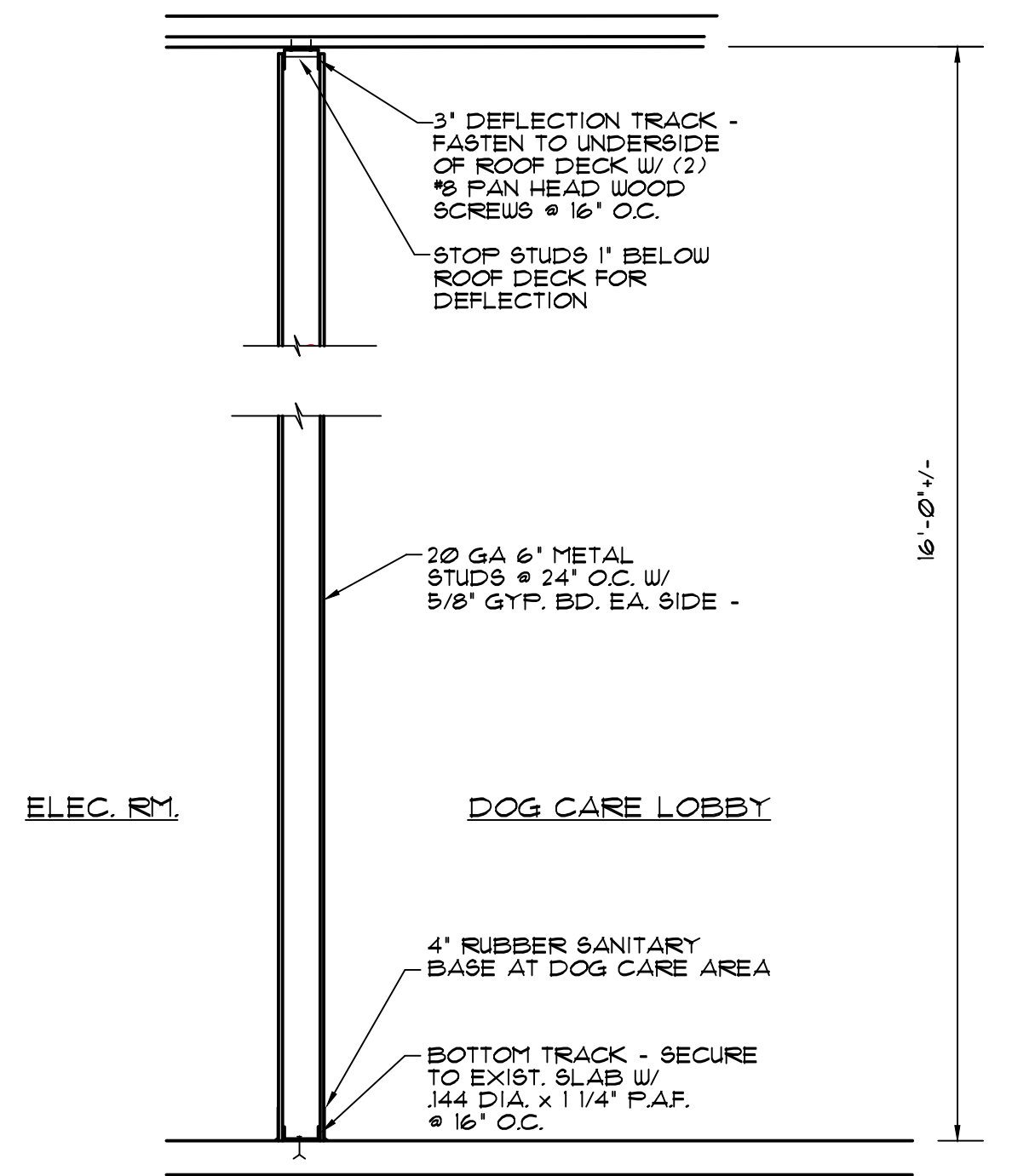
1 SECTION AT FIRE WALL @ TWO STORY SPACE
A3 1/4" = 1'-0"



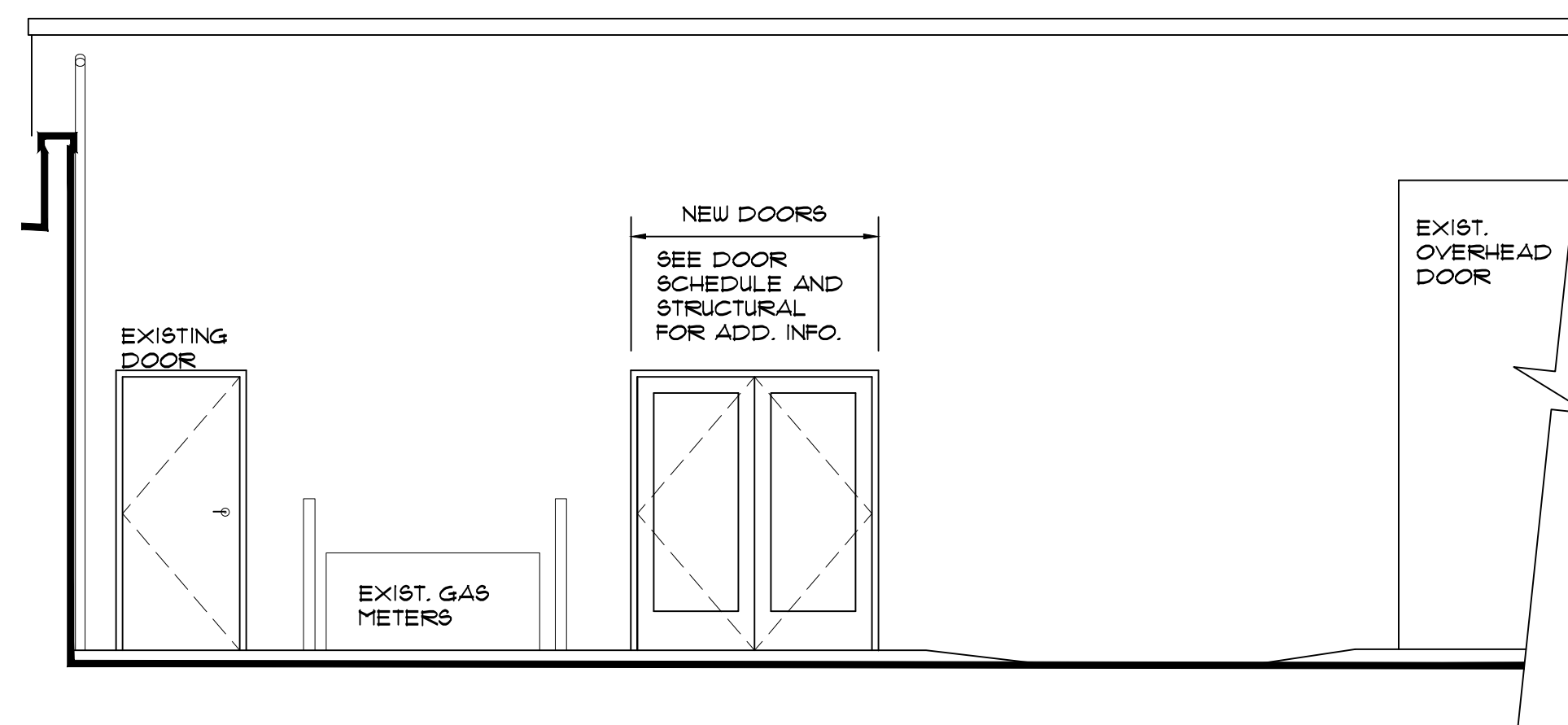
2 SECTION AT FIRE WALL
A3 1/4" = 1'-0"



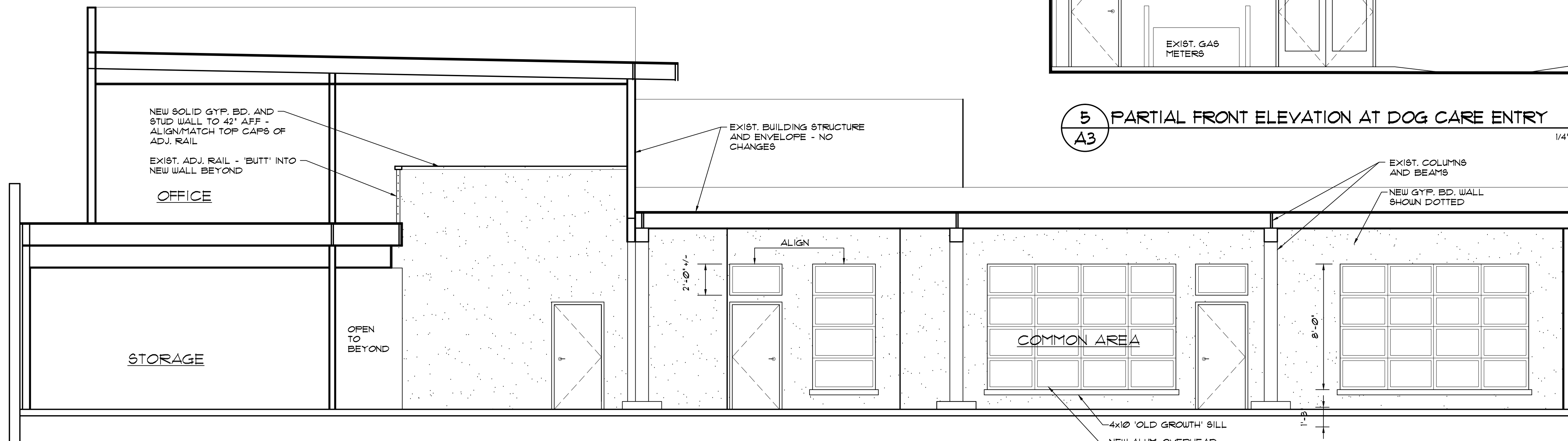
3 SECTION AT KITCHEN/NEW 2ND FLOOR AREA
A3 1/4" = 1'-0"



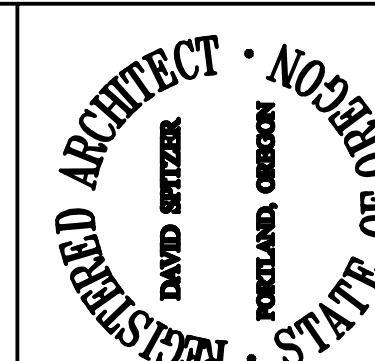
4 NEW FULL HEIGHT WALL AT NORTH BLDG.
A5 1/2" = 1'-0"



5 PARTIAL FRONT ELEVATION AT DOG CARE ENTRY
A3 1/4" = 1'-0"



6 CROSS SECTION LOOKING NORTH
A3 1/4" = 1'-0"



DMS
2325 NE MLK BLVD.
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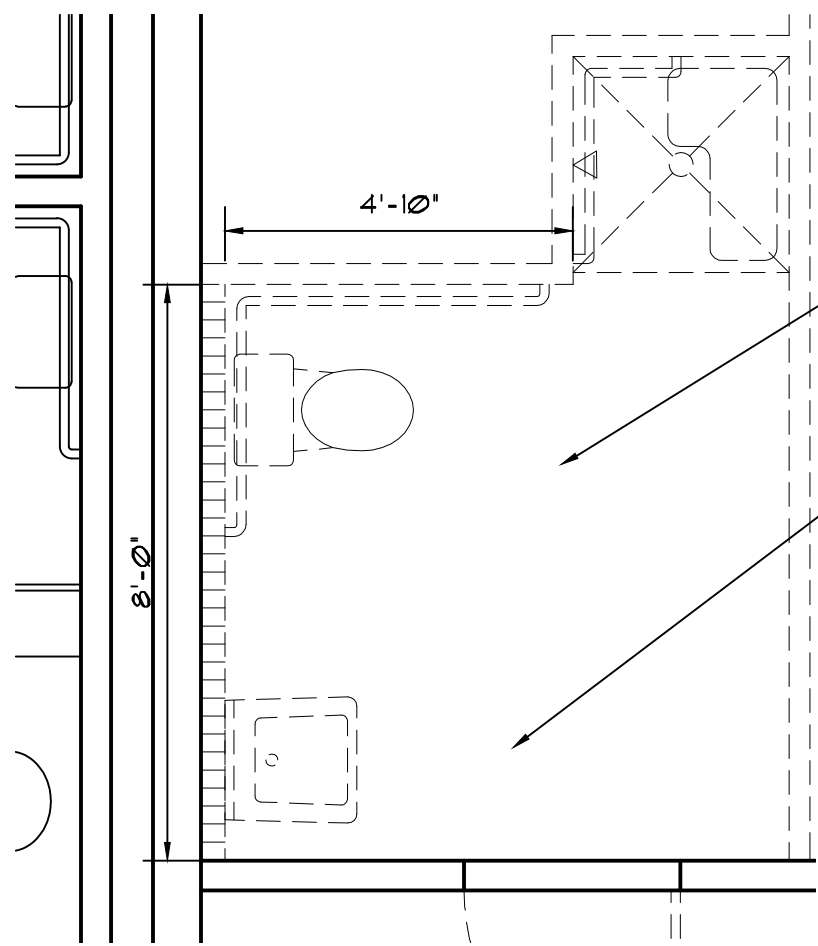
STEP BY STEP DAYCARE

4617 SE MILWAUKIE AVENUE
PORTLAND, OREGON

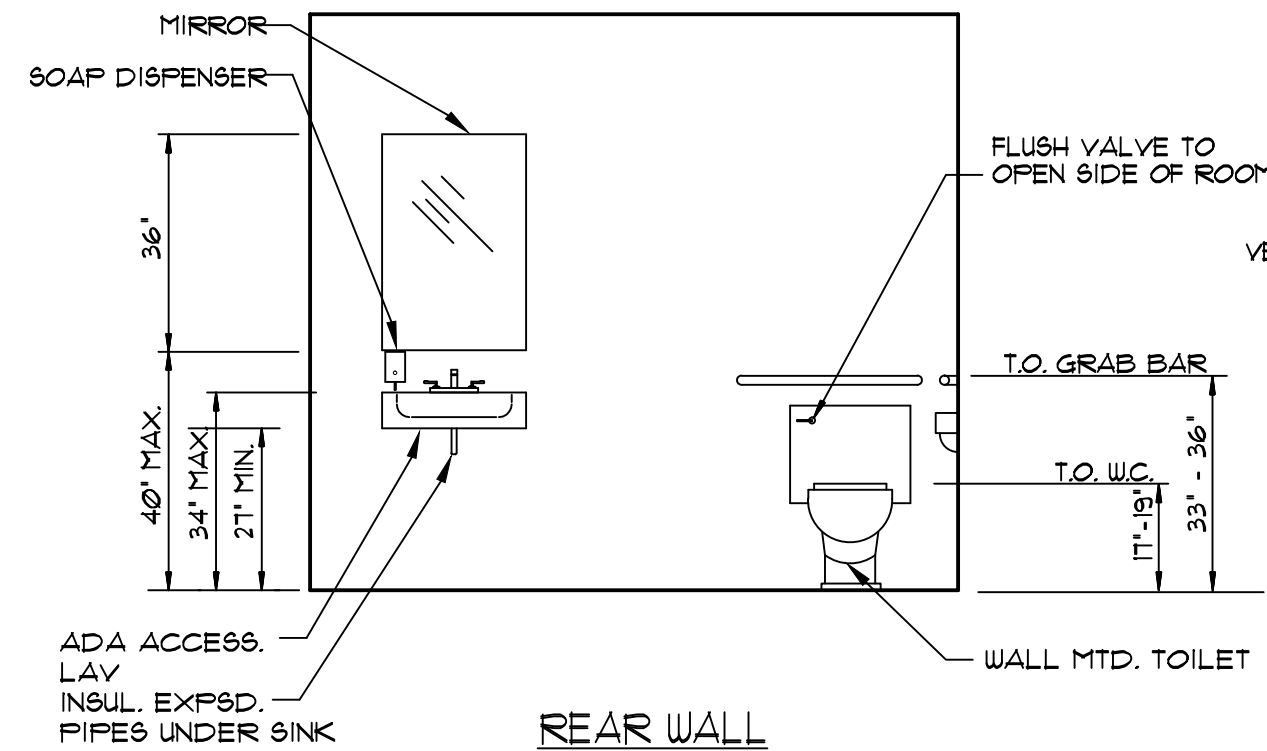
SHEET CONTENT
BUILDING SECTIONS
FRONT ELEVATION

JOB No. 000016
DMS CHECKED
DATE 11-18-13
REVISIONS

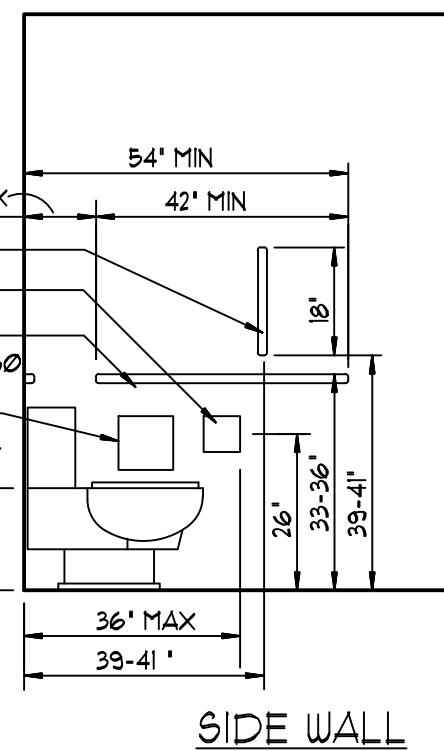
SHEET
A3 OF 6



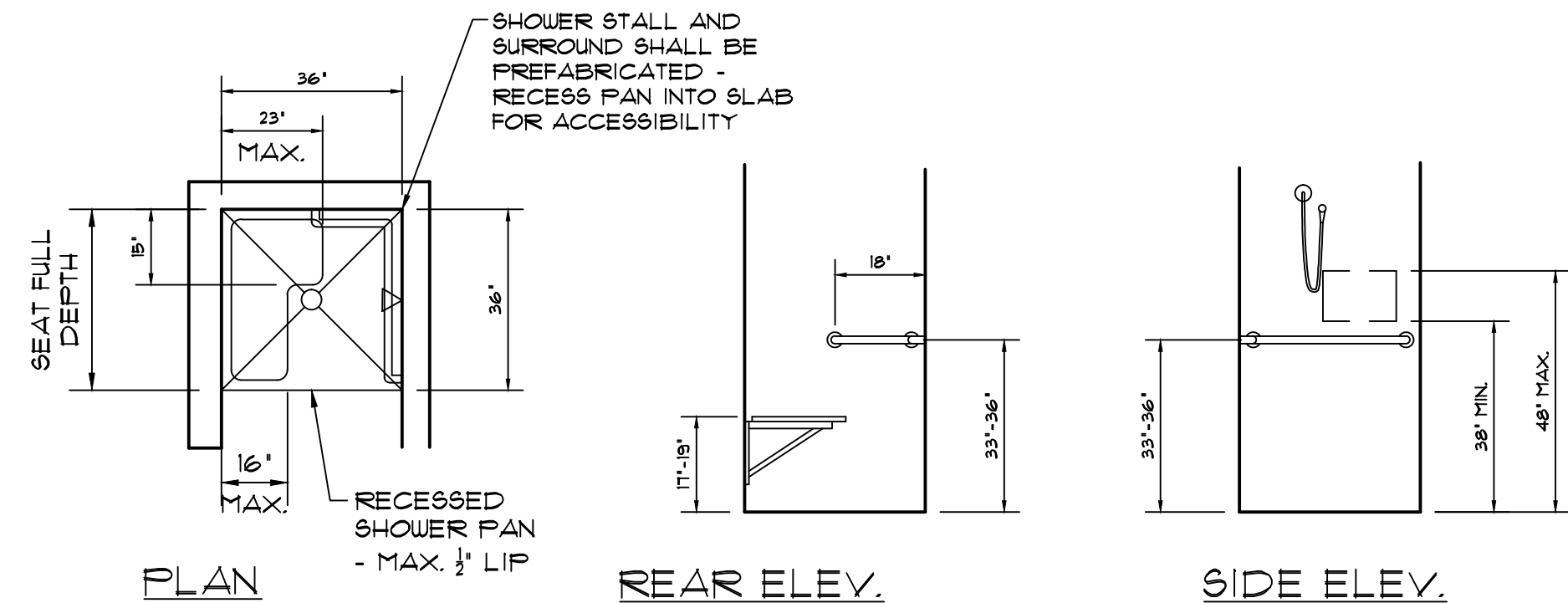
PLAN



REAR WALL



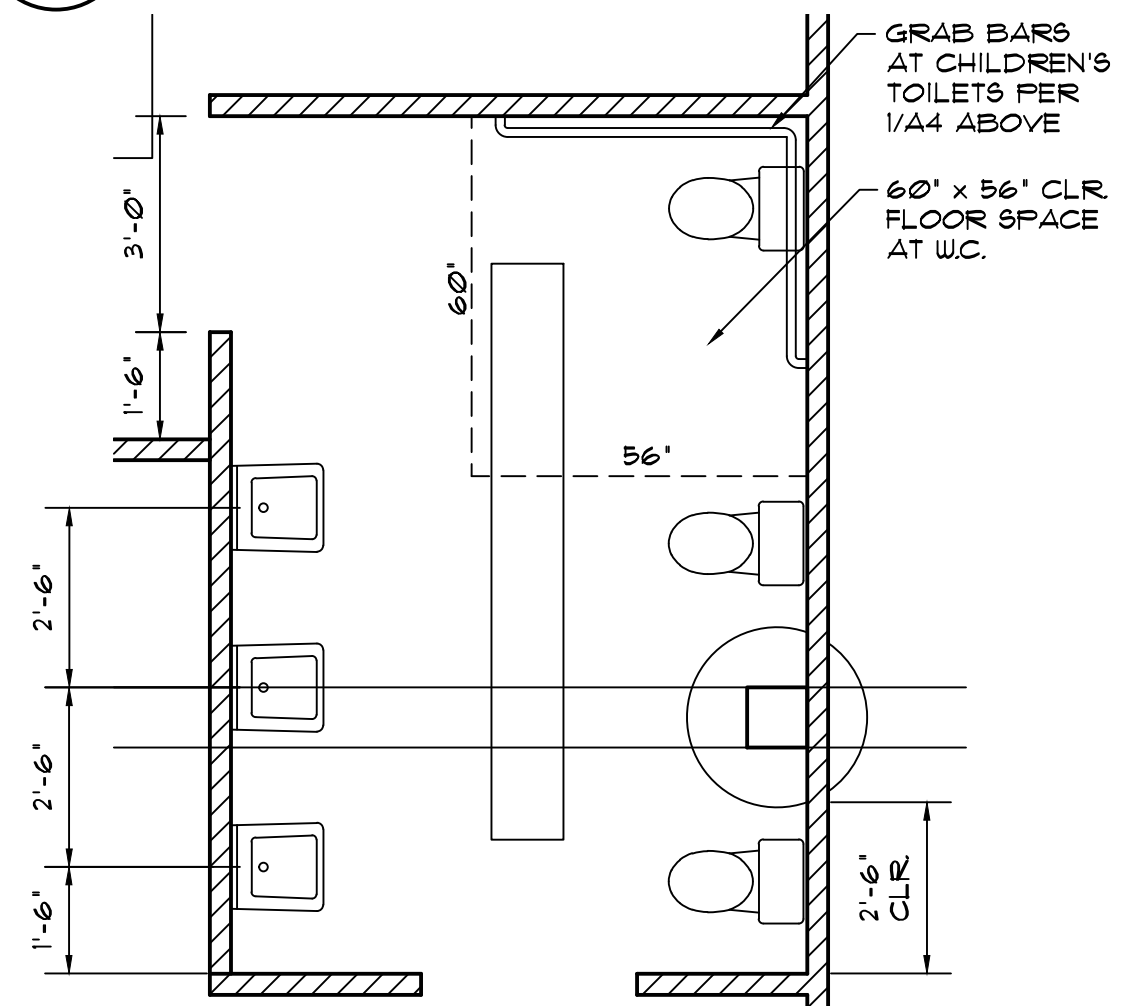
SIDE WALL



SHOWER DETAILS

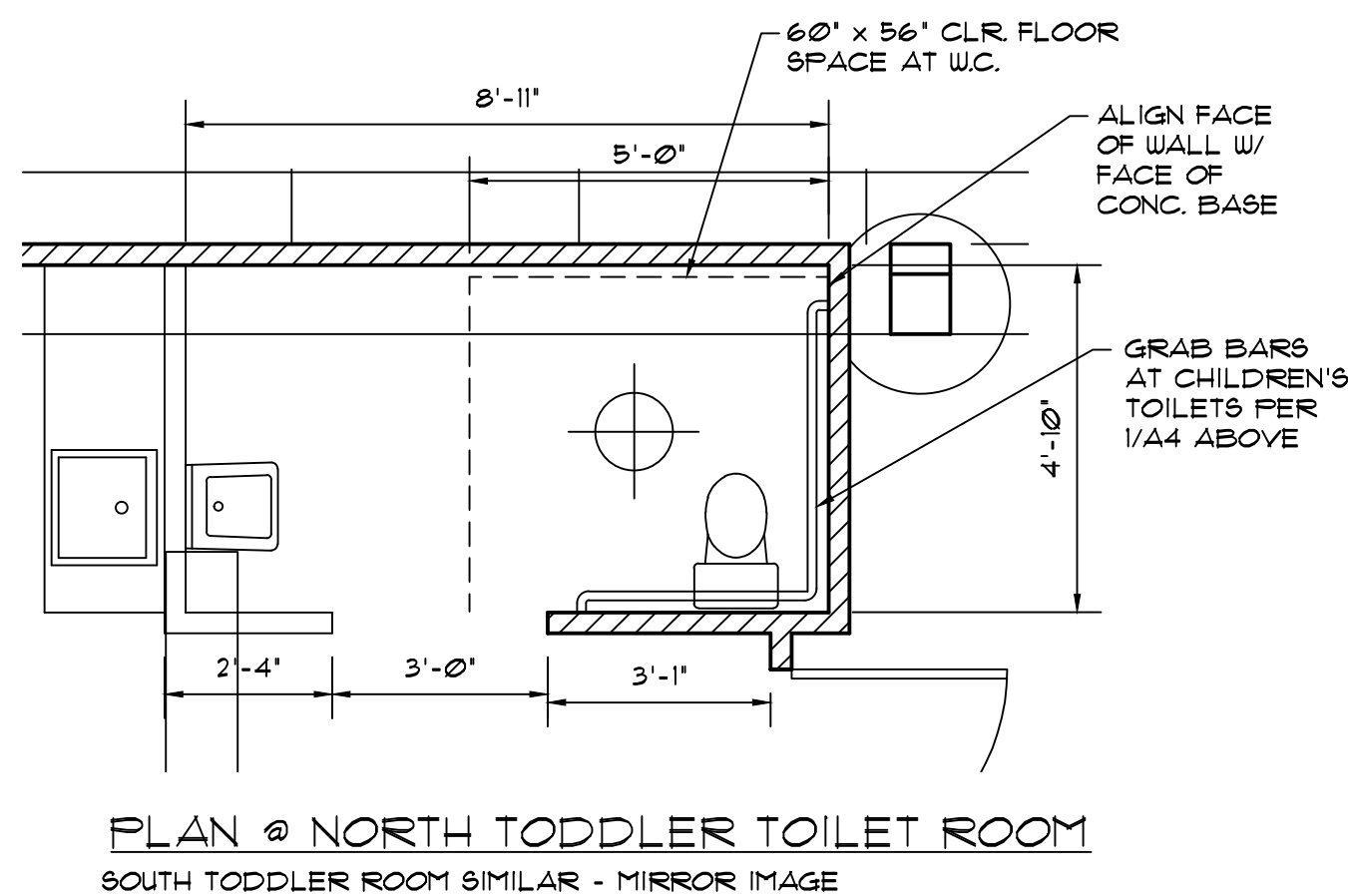
1 NEW ACCESSIBLE TOILET ROOM PLAN

3/8" = 1'-0"

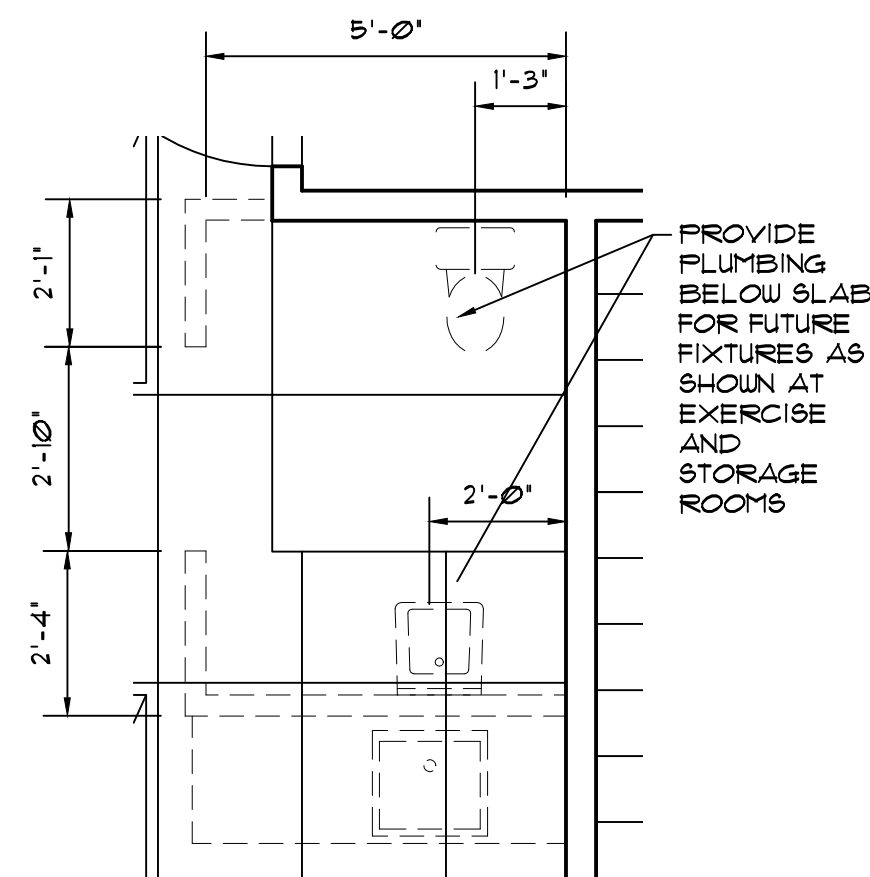


2 TODDLER AND PRESCHOOL TOILET ROOMS

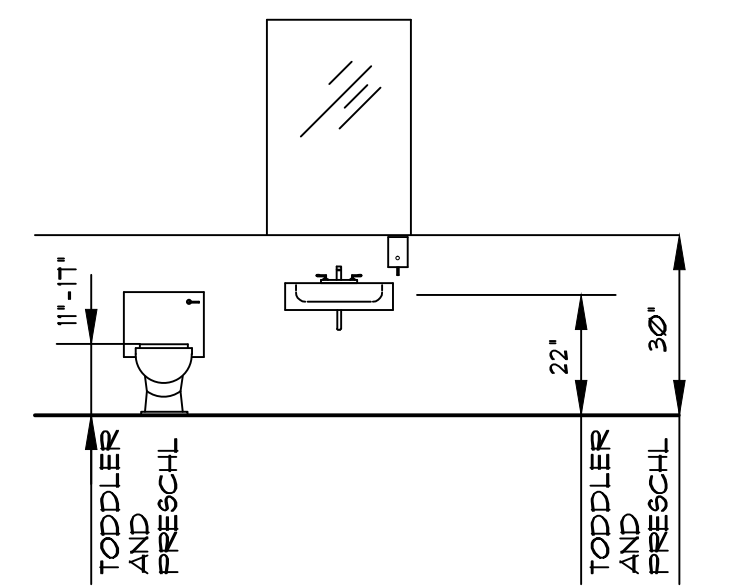
PLAN @ PRESCHOOL TOILET ROOMS



PLAN @ NORTH TODDLER TOILET ROOM
SOUTH TODDLER ROOM SIMILAR - MIRROR IMAGE



PLAN @ FUTURE TOILET ROOMS
* STORAGE AND EXERCISE ROOMS

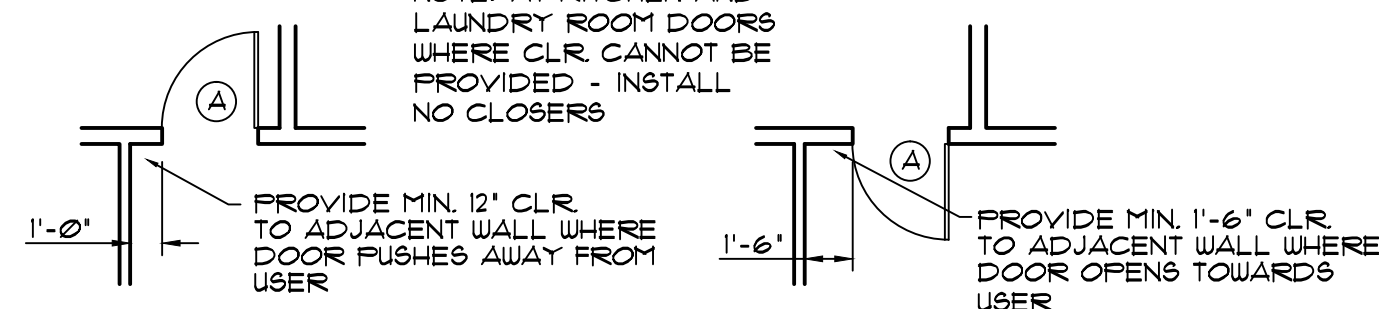


FIXTURE ELEVATION HEIGHTS

REQUIRED DOOR CLEARANCES

3/8" = 1'-0"

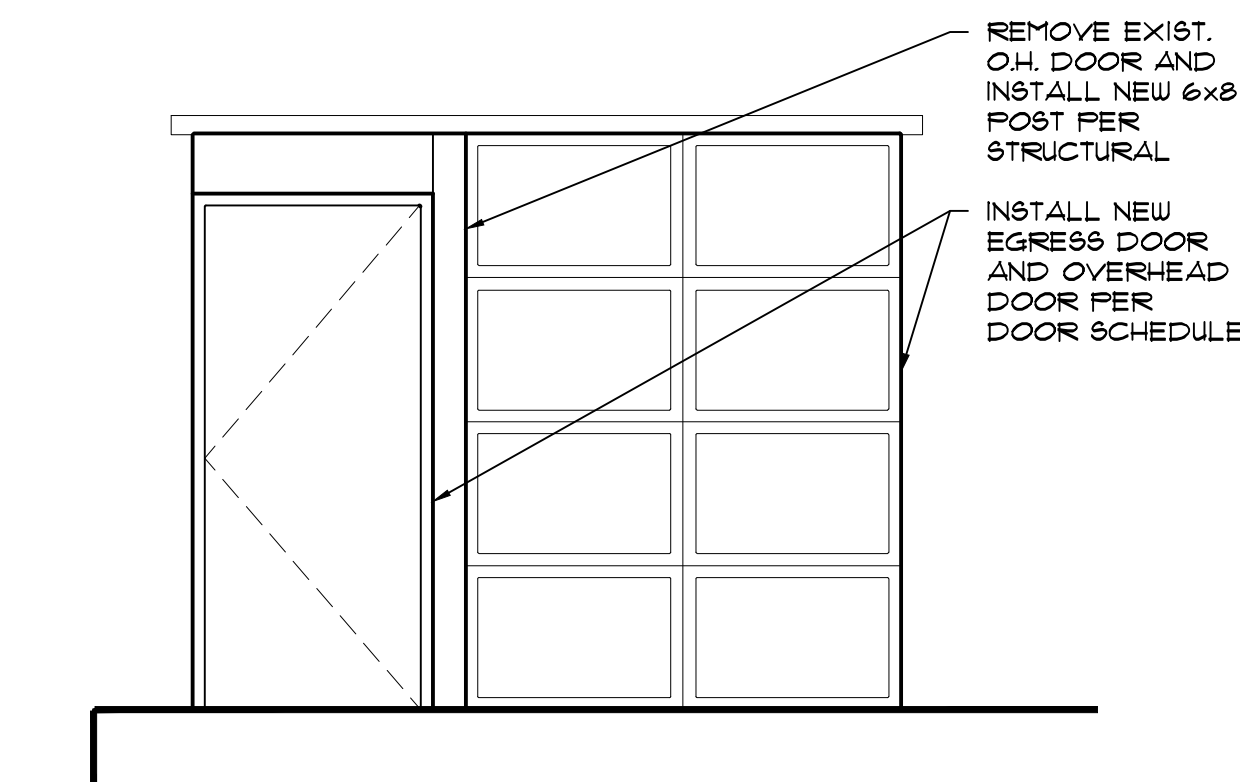
PROVIDE THE FOLLOWING CLEARANCES BETWEEN ALL NEW DOORS AND ADJACENT WALLS:



NOTE: AT KITCHEN AND LAUNDRY ROOM DOORS WHERE CLR. CANNOT BE PROVIDED - INSTALL NO CLOSERS

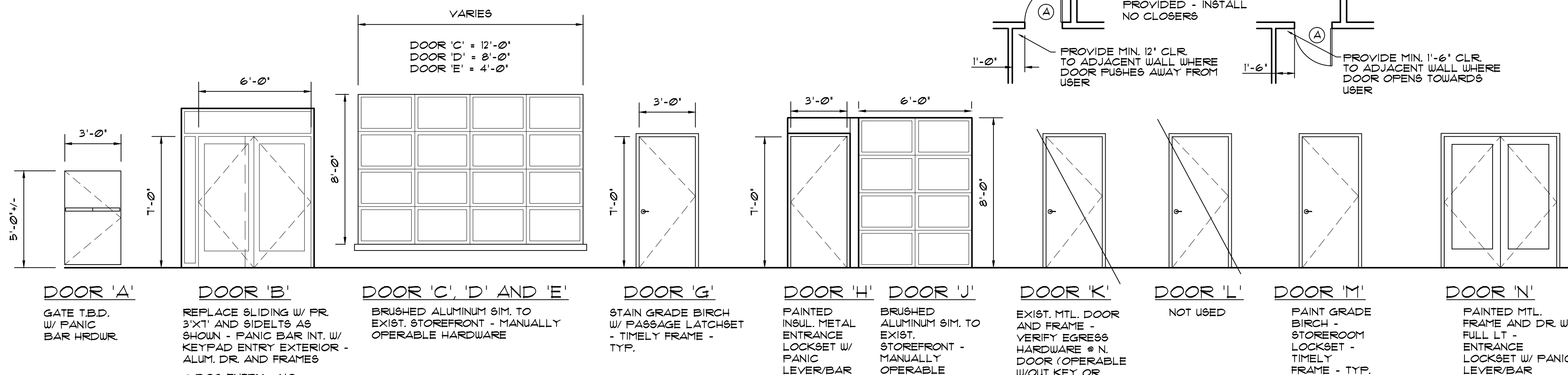
PROVIDE MIN. 12" CLR. TO ADJACENT WALL WHERE DOOR PUSHES AWAY FROM USER

PROVIDE MIN. 1'-6" CLR. TO ADJACENT WALL WHERE DOOR OPENS TOWARDS USER



3 OVERHEAD DOOR ELEVATION

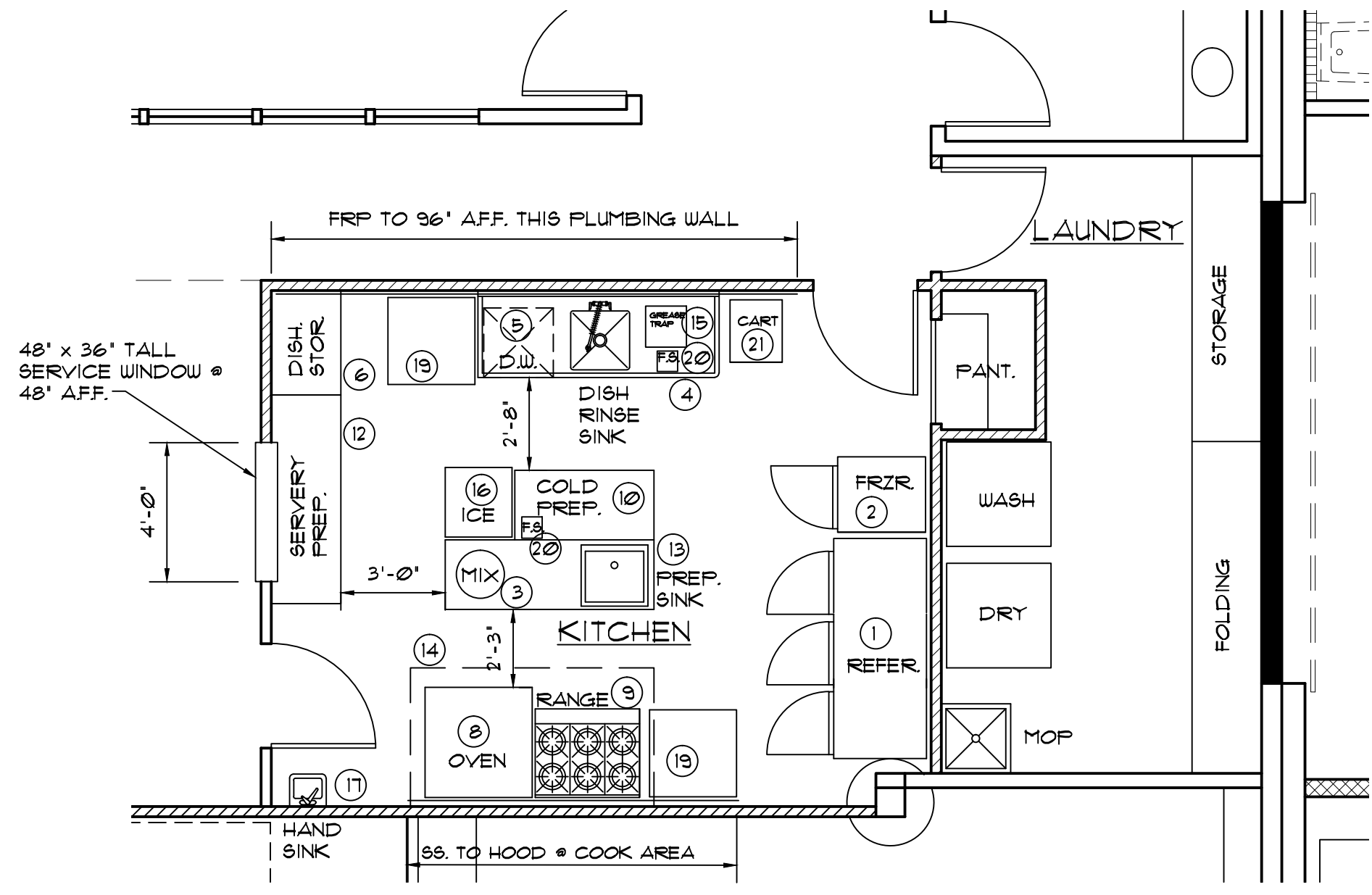
1/8" = 1'-0"



DOOR SCHEDULE AND ELEVATIONS

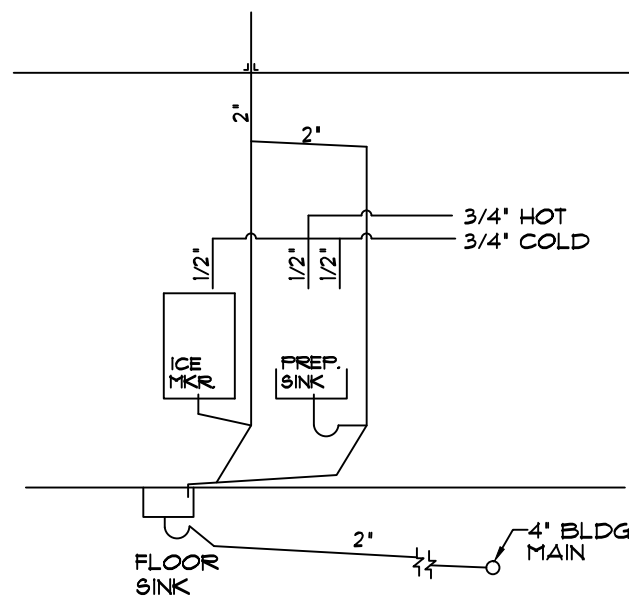
1/4" = 1'-0"

KITCHEN/LAUNDRY FINISH SUMMARY
FLOORS - STAINED/SEALED CONCRETE
WALLS - SEMI-GLOSS PAINT OR 96/FRP OVER GYP. BD. AS SHOWN
CEILING - SEMI-GLOSS PAINT ON GYP. BD.

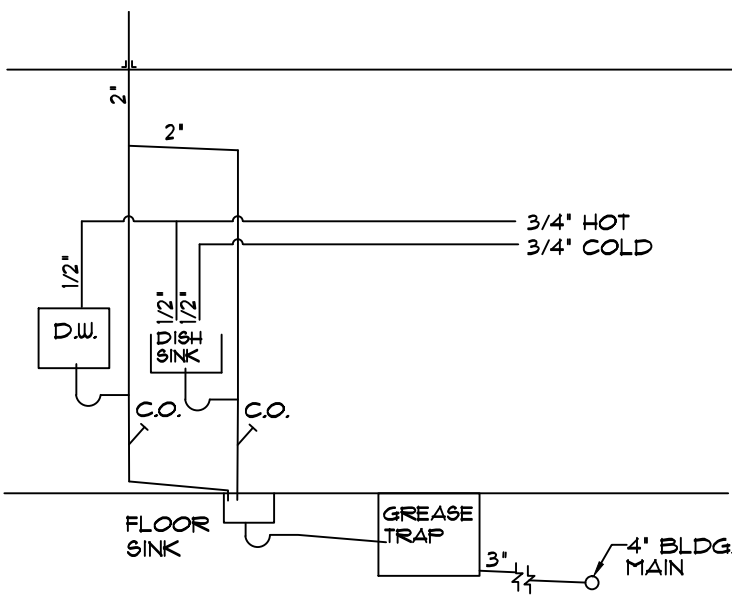


1
A5 KITCHEN AND LAUNDRY ROOM PLANS
1/4" = 1'-0"

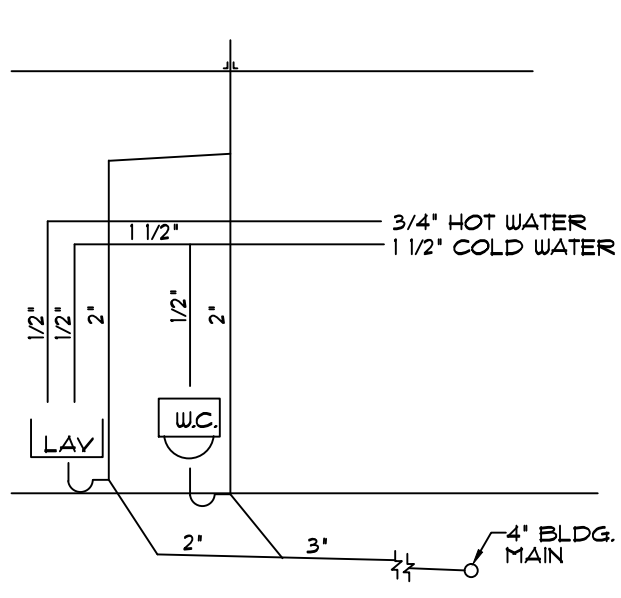
FIXTURES & EQUIPMENT SCHEDULE						
#	EQUIPMENT	MFR	DIMENSIONS			NOTES
			WIDTH	DEPTH	HEIGHT	
1	Refrigerator	Beverage Air BEVKR741AS	75"	32"	78"	- 115/60hz/1ph 72 c.f.
2	Freezer	Beverage Air KF24-1AS	26"	36"	79"	- 115/60hz/1ph 20 c.f.
3	Mixer and Stand	Globe GLOSP8	11.8"	15.8"	22.9"	- 115v/60hz/1ph/5amp countertop model
4	Dishwash Counter & Rinse Sink	John Boos 18244-2D24 w/Krowne Metal Faucet 17-108WL	75"	29.5"	35.25"	1/2" NPT inlets, female/riser pipe 3/8" NPT Stainless single compartment 24" x 24" dp sink with 2 24" drainboards ea side. Backsplash mtd faucet.
5	Dishwasher	American Dish Service ADSETAF3	38"	25"	29"	1/2" inlet; 1-1/2" outlet Under-counter, built in chem feed; 30 racks per hr
6	Dish Storage Rack	Cambro CSU44367	36"	18"	84"	Stl reinf Poly - 4 shelf w/ add'l shelves avail.
7	Soup Kettle	Globe CPSKB1	14"	16"	14"	400w/120v/3.5-amp 10 qt; countertop model
8	Double Oven	John Boos 18244-2D24	38"	38"	42"/73"	Single or double oven; 60,000 btuh/hr
9	Range	Hobart MGR36C	36"	31"	31"	30,000btuh gas; 3/4" connection
10	Cold Prep Counter	John Boos JNS02	48"	24"	35"	1-1/2" Maple block top
11	Hot Prep Station	John Boos JNS02	48"	30"	35"	Stainless Steel with lower shelf
12	Servery Prep Station	John Boos JOBFLG7224	72"	24"	35"	Stainless Steel with lower shelf
13	Cold Prep Counter & Sink	John Boos 671-741	72"	30"	35.5"	Left side counter/Stainless top/back splash will float above back counter & ice
14	Stove Hood with Fire Suppression System	specification by installer spec by plumber	84"	42"	-	Type 1 hood - UL Listed assembly anticipate at least 50 gallon
15	Grease Trap	Ice-o-matic ICEU150HA	24"	24"	39"	175 gal ice/day w/ 100 gal storage
16	Ice Maker	Krowne KROHS2	17"	16"	14"	Stainless Steel wall mounted
17	Hand Sink	Turbo-air TSA-1MOP	21"	21.5"	44"	High sink - can be used as mud sink
18	Mop Sink	Advance Tabco TTS 300X	30"	30"	35.5"	Stainless Steel Worktop
19	Work Tables (2)	spec by plumber	12"	12"	6" - 8"	
20	Floor Sinks (2)	Carlisle CAR CC203603	18"	21.25"	36.25"	need a minimum of 2
21	Serving Carts					



KITCHEN ISLAND

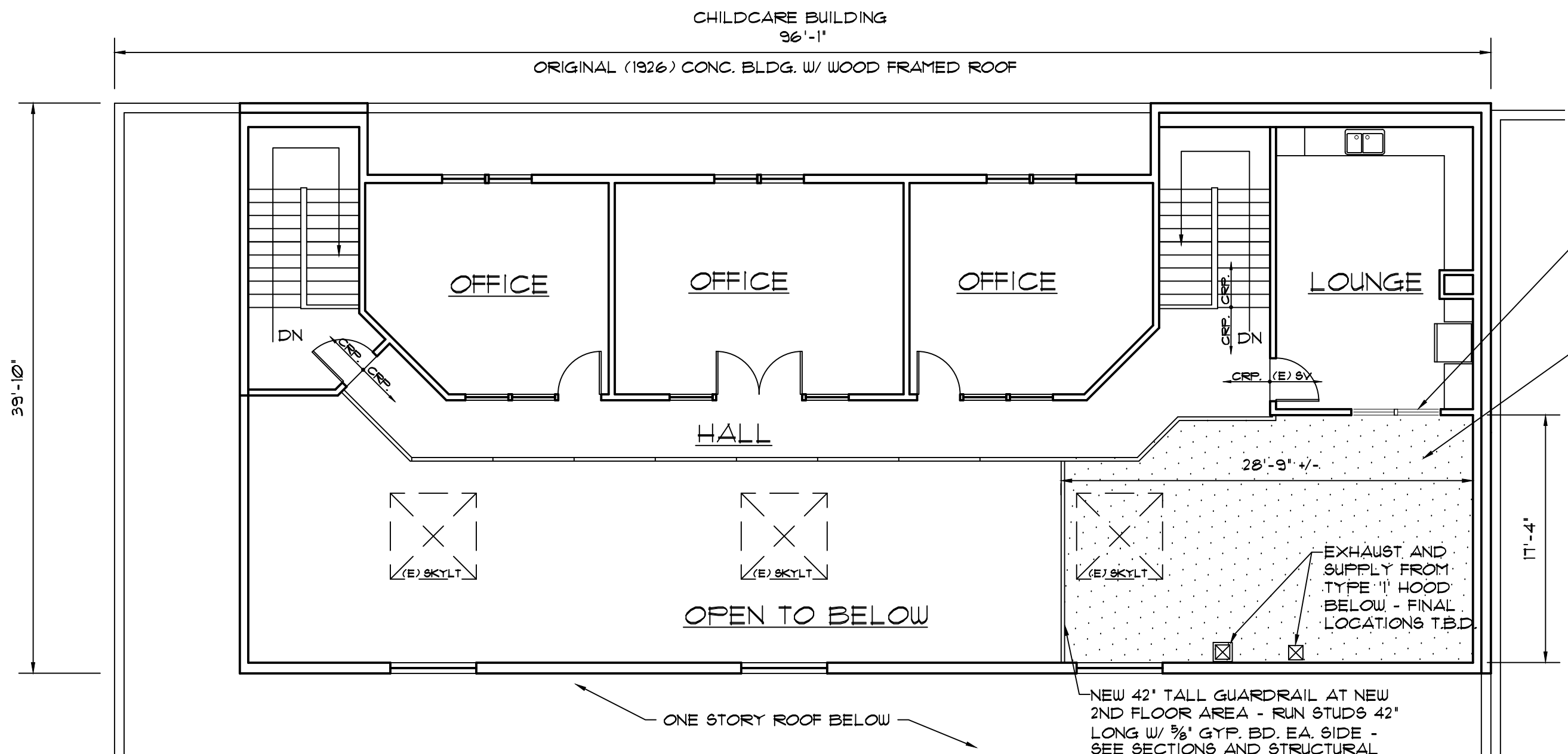


DISH WASHING AREA

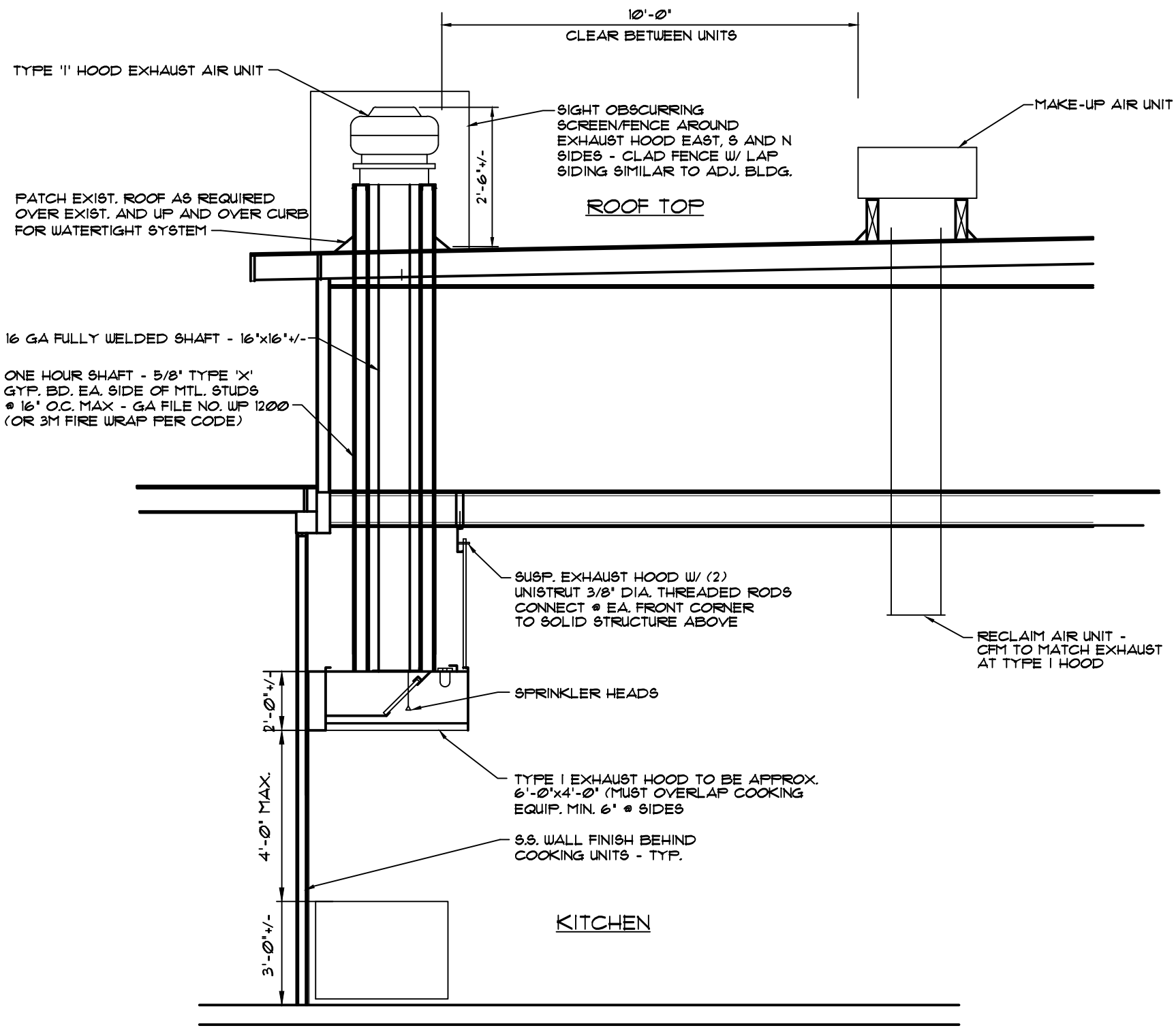


TYPICAL TOILET ROOM

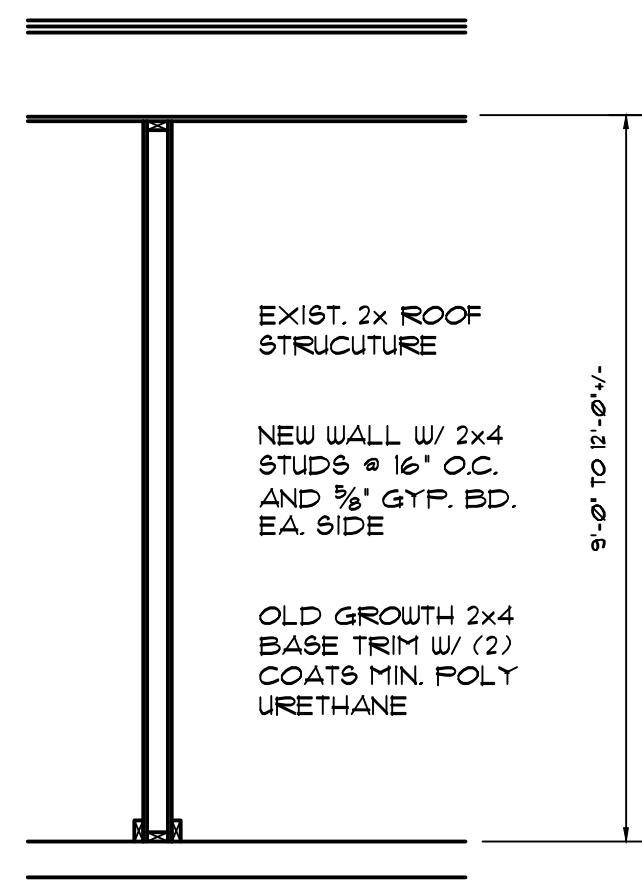
PLUMBING RISER DIAGRAMS



2
A5 SECOND FLOOR PLAN
1/8" = 1'-0"



3
A5 SECTION AT ONE HOUR HOOD
NT.S.



4
A5 NEW WALL AND CHILD CARE AREAS
1/2" = 1'-0"

STEP BY STEP DAYCARE

SHEET CONTENT
KITCHEN PLAN/EQUIP. LIST
SECOND FLOOR PLAN
WALL DETAILS

JOB No.
000016

DRAWN
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CHECKED
DATE 11-18-13

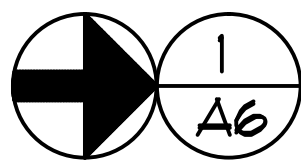
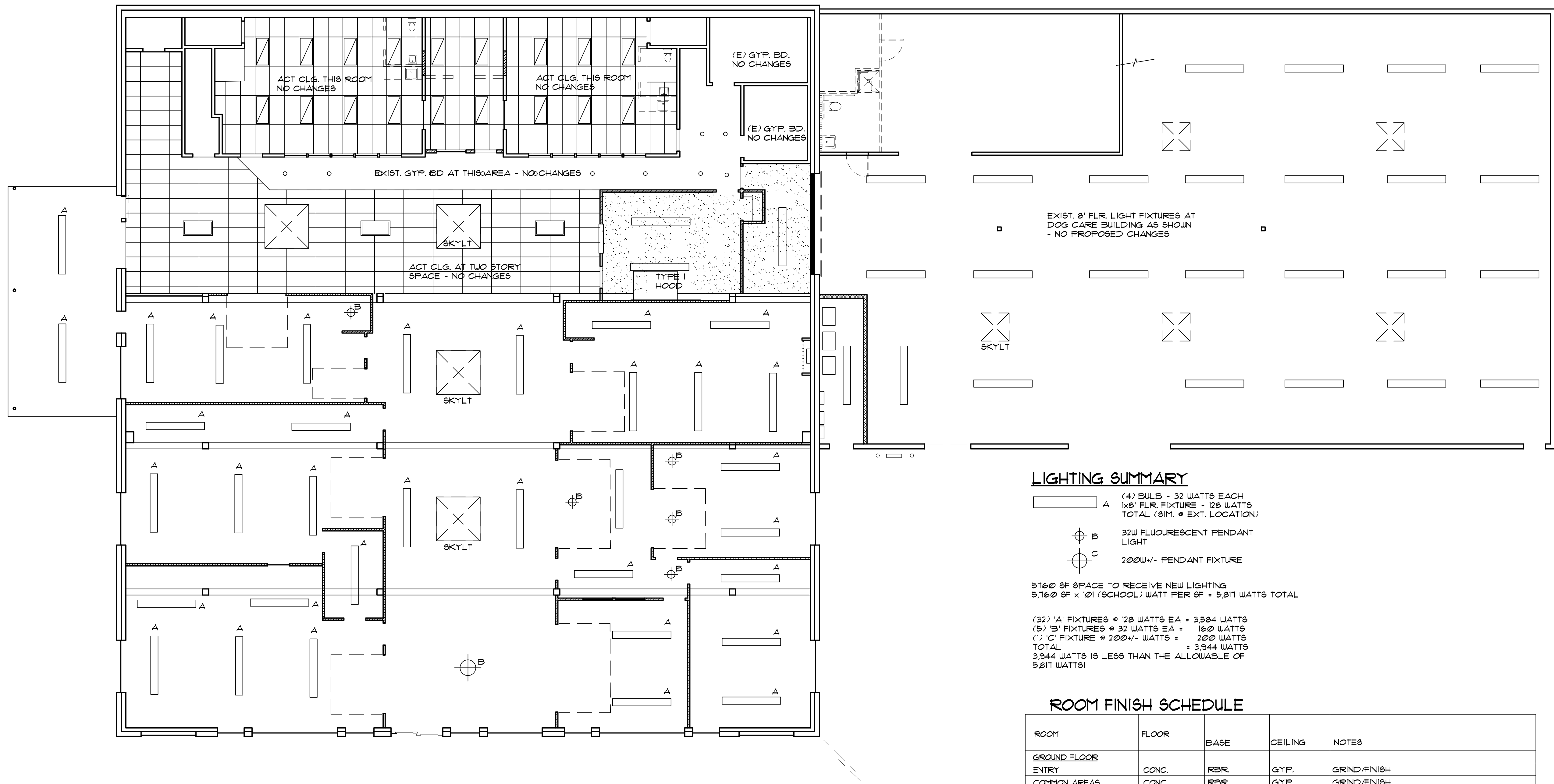
REVISIONS

SHEET
A5 of 6

4617 SE MILWAUKE AVENUE
PORTLAND, OREGON

REGISTERED ARCHITECT • NO. 8000
DAVID BENTON
PORTLAND, OREGON

2325 NE MLK BLVD.
PORTLAND, OR 97212
OFFICE 503 335 9040
DAVE@DMSARCHITECTS.COM



REFLECTED CEILING PLAN

1/8" = 1'-0"

LIGHTING SUMMARY

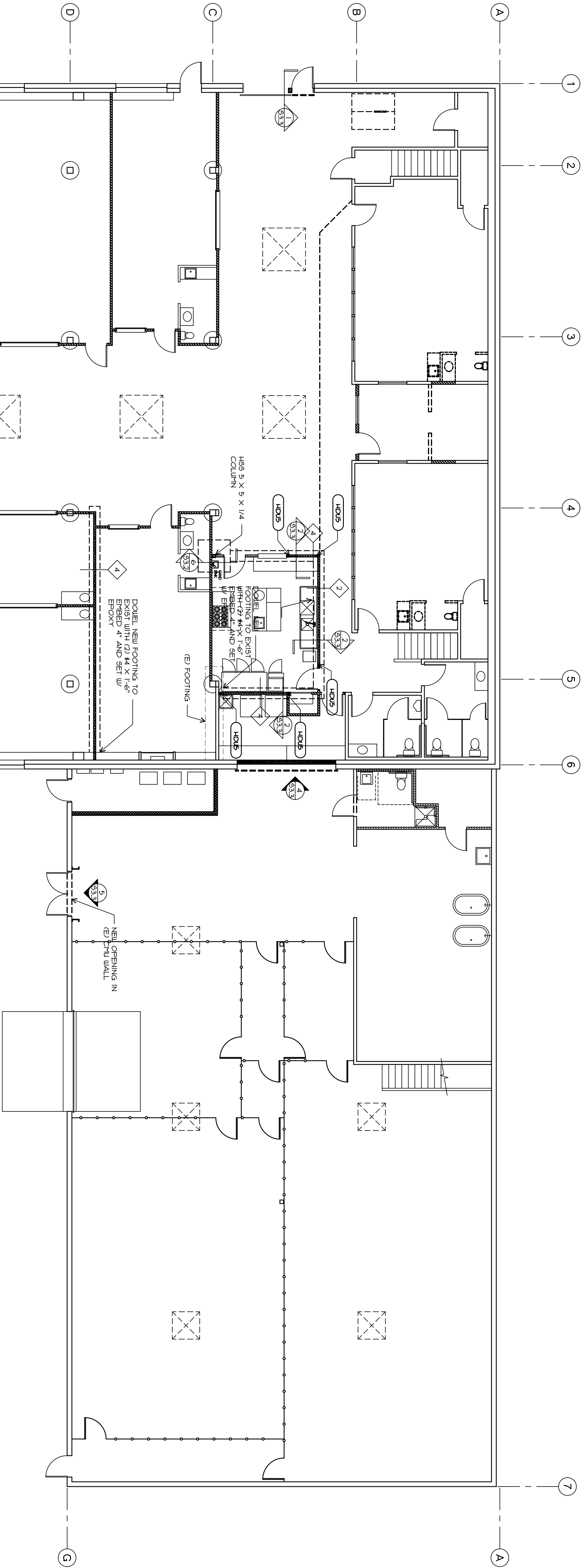
- (4) BULB - 32 WATTS EACH
1x8' FLR. FIXTURE - 128 WATTS
TOTAL (51M. @ EXT. LOCATION)
- 32W FLUORESCENT PENDANT
LIGHT
- 200W/- PENDANT FIXTURE

5160 SF SPACE TO RECEIVE NEW LIGHTING
5,160 SF x 101 (SCHOOL) WATT PER SF = 5,211 WATTS TOTAL

(32) 'A' FIXTURES @ 128 WATTS EA = 3,584 WATTS
(5) 'B' FIXTURES @ 32 WATTS EA = 160 WATTS
(1) 'C' FIXTURE @ 200W/- WATTS = 200 WATTS
TOTAL = 3,944 WATTS
3,944 WATTS IS LESS THAN THE ALLOWABLE OF
5,211 WATTS!

ROOM FINISH SCHEDULE

ROOM	FLOOR	BASE	CEILING	NOTES
GROUND FLOOR				
ENTRY	CONC.	RBR.	GYP.	GRIND/FINISH
COMMON AREAS	CONC.	RBR.	GYP.	GRIND/FINISH
INFANT/INFANT LOUNGE	CRPT.	RBR.	GYP.	NEW CRPT.
TODDLER	CONC.	RBR.	GYP.	GRIND/FINISH
PERSCHOOL	CONC.	RBR.	GYP.	GRIND/FINISH
EXERCISE	BY OWNER	BY OWNER	ACT.	REMOVE CRPT. - NO CONC. SLAB PREP.
OFFICE	CRPT.	RBR.	ACT.	NEW CRPT.
SOUTH STAIR	CRPT.	RBR.	GYP.	NEW CRPT.
NORTH STAIR	CRPT.	RBR.	GYP.	NEW CRPT.
NORTH STAIR LOBBY	CONC.	RBR.	GYP.	REMOVE CRPT.
TOILET ROOMS	SHI. VNYL.	SHI. VNYL.	GYP.	REMOVE (E) S.V. - INTEGRAL COVE TO 6"
SECOND FLOOR				
LOUNGE	VCT	RBR.	ACT	REFURBISH (E) VCT
OFFICE(S) TYP. X3	CRPT.	RBR.	ACT	NEW CRPT.
HALL	CRPT.	RBR.	ACT	NEW CRPT.
OPEN OFFICE	CRPT.	RBR.	ACT	NEW FLOOR/NEW CRPT.

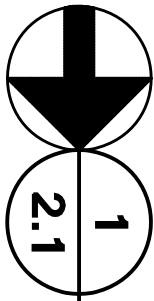


SHEARWALL SCHEDULE FOR SEISMIC DESIGN CATEGORY D

MARK	ALLOWABLE SEISMIC SHEAR CAPACITY	WALL SHEATHING	FASTENERS	FASTER SPACING		CONN. OF BLOCKING TO TOP PLATES	SILL FASTENING	FOUNDATION ANCHORS
				AT PANEL EDGES	AT INTERMED. SUPPORTS			
2	310 PLF	1/2" PLYWOOD	10d COMMON NAIL 5 16 GA X 2" STAPLES 15 GA X 1 1/2" STAPLES	6" 4"	12"	1 1/4" @ 24" O/C OR A35 @ 16" O/C	16d NAILS @ 6" O/C	5/8" φ A.B. @ 37" O/C OR 3/4" φ A.B. @ 48" O/C
4	460 PLF	1/2" PLYWOOD	10d COMMON NAIL 5 14 GA X 2" STAPLES 15 GA X 1 1/2" STAPLES	4" 3" 2 1/2" SEE NOTE #3	12" 12" 8"	1 1/4" @ 16" O/C OR A35 @ 12" O/C	16d NAILS @ 5" O/C	2 X FRTR. PLATE W/ 5/8" φ A.B. @ 37" O/C OR 3/4" φ A.B. @ 48" O/C

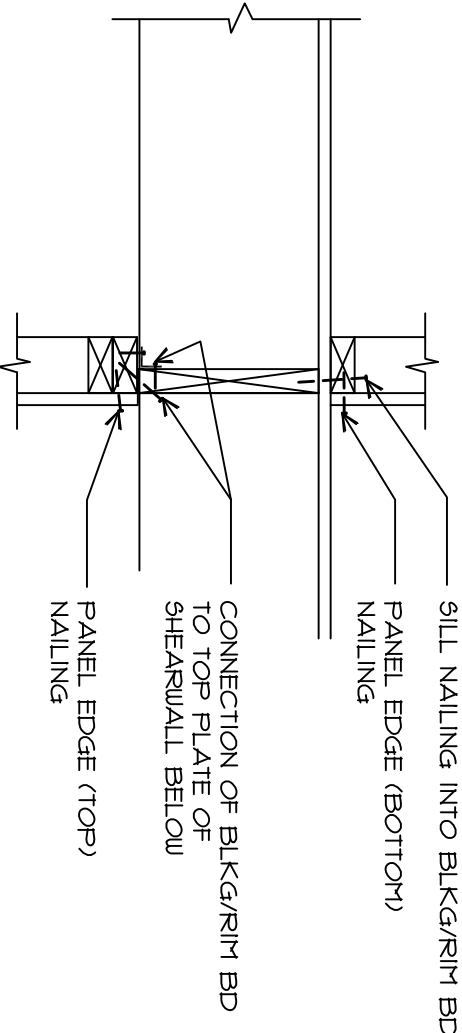
SHEARWALL SCHEDULE NOTES FOR SEISMIC DESIGN CATEGORY D:

- SHEATHING PANEL 6 NASTALLED EITHER HORIZONTALLY OR VERTICALLY. ALL PANEL EDGES BLOCKED WITH 2" NOMINAL OR WIDER BLOCKING UNLESS NOTED AS UNBLOCKED.
- PANEL EDGE NAILING APPLIED TO ALL PANEL EDGES AND TO TOP AND BOTTOM SUPPORTS.
- WHERE SHEAR DESIGN VALUES EXCEED 350 PLF, ALL FRAMING MEMBERS RECEIVING MEMBER OR TWO 2-INCH NOMINAL MEMBERS FASTENED TOGETHER WITH 16d FACE NAILING AT SPACING TO MATCH SILL FASTENING, STAGGERED.
- NOT USED.
- FOUNDATION ANCHOR BOLTS NOTES ARE SIZED USING P.T. DOWEL AS PER SILL 5, WITHOUT NOTING OR COUNTERSINKING OF BOLTS. UNLESS OTHERWISE NOTED, SILL PLATES ARE 2" INCH NOMINAL THIN. PROVIDE STEEL PLATE WASHERS, PLATE AND NUT. HOLE IN PLATE WASHER SHALL BE PERMITTED TO BE DIAGONALLY SLOTTED WITH A WIDTH UP TO 3/16 INCH LARGER THAN THE BOLT DIAMETER AND A SLOT LENGTH NOT TO EXCEED 1 3/4 INCH PROVIDED A STANDARD CUT WASHER IS PLACED BETWEEN THE PLATE AND THE NUT. THE PLATE WASHER SHALL EXTEND TO MINIMUM 1 1/2 INCHES FROM THE END OF THE ANCHOR BOLT AND THE MINIMUM MINIMUM FOUNDATION ANCHOR EMBEDMENT INTO CONCRETE SHALL BE 1 INCHES.
- 0.131" DIAMETER X 2" P-NAILS MAY SUBSTITUTE FOR 8d COMMON NAIL 5 AND 0.148" DIAMETER X 2.25" P-NAILS MAY SUBSTITUTE FOR 10d COMMON NAIL 5.
- PANEL EDGE FASTENING INTO PRESERVATIVE TREATED WOOD SHALL BE GALVANIZED PER ASTM A153.
- 1/2" PLYWOOD ORIENTED STRAND BOARD SHEATHING MAY SUBSTITUTE FOR 1/2" PLYWOOD.
- STAPLES SHALL HAVE A 1/16 INCH CROWN WIDTH.

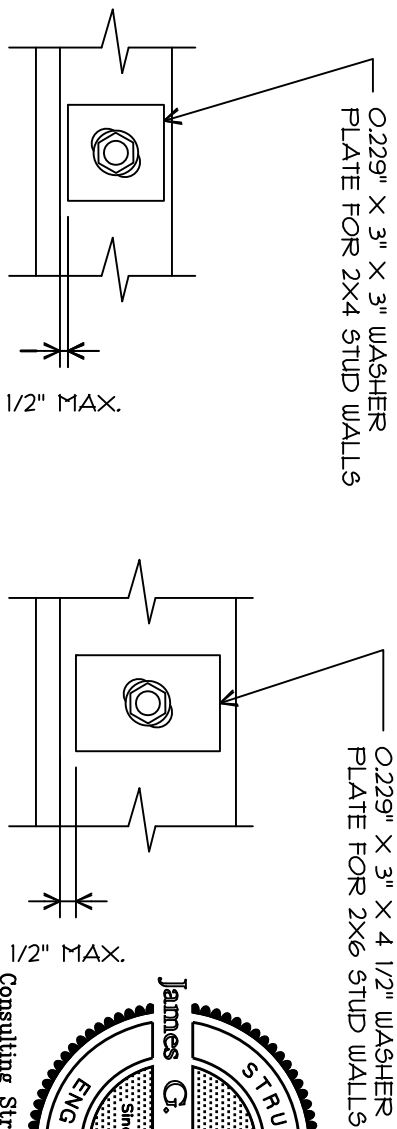


FOUNDATION PLAN

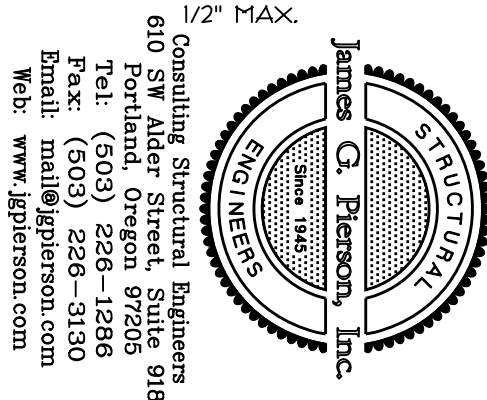
1/8" = 1'-0"



TYPICAL SHEAR TRANSFER DETAIL



PLAN VIEW OF WASHER PLATE DETAIL



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STEP BY STEP DAYCARE

4617 SE MILWAUKIE AVENUE
PORTLAND, OREGON

SHEET CONTENT
MAIN ROOF/MEZZANINE FLR
FRAMING PLAN

JOB No. 000016
DRAWN DMS CHECKED
DATE 11-18-13
REVISIONS

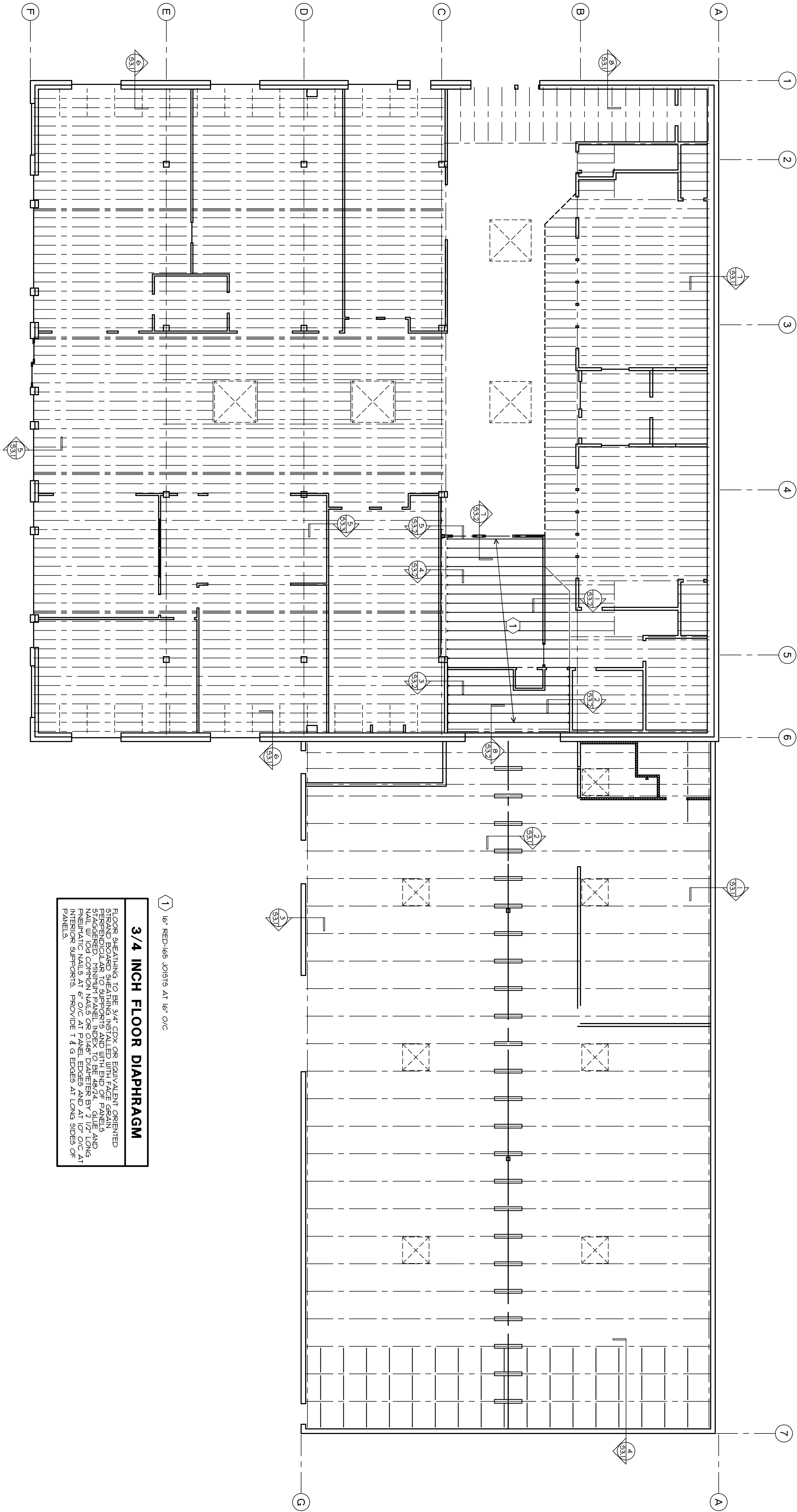
SHEET S2.1 of 6

2325 NE MLK BLVD.
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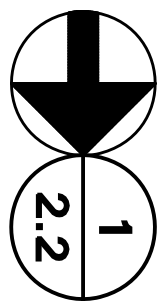




3/4 INCH FLOOR DIAPHRAGM

FLOOR SHEATHING TO BE 3/4" CDX OR EQUIVALENT ORIENTED STRAND BOARD SHEATHING INSTALLED WITH FACE GRAIN PARALLEL TO LONG SPANS AND JOINTS STAGGERED. MINIMUM PANEL INDEX TO BE 48/24. GLUE AND NAIL (W/ 10d COMMON NAILS OR 0.148" DIAMETER BY 2 1/2" LONG HEAVY DUTY NAILS AT 6" O/C AT PANEL EDGES AND AT 12" O/C AT INTERIOR SUPPORTS. PROVIDE 1" x 6" EDGES AT LONG SIDES OF PANELS.

1) 16" RED-165 JOISTS AT 16" O/C



MAIN ROOF/MEZZANINE FLOOR FRAMING PLAN



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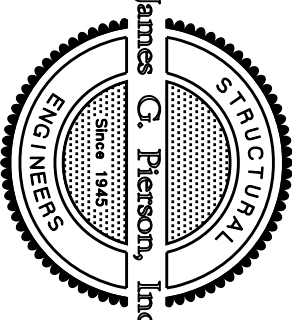
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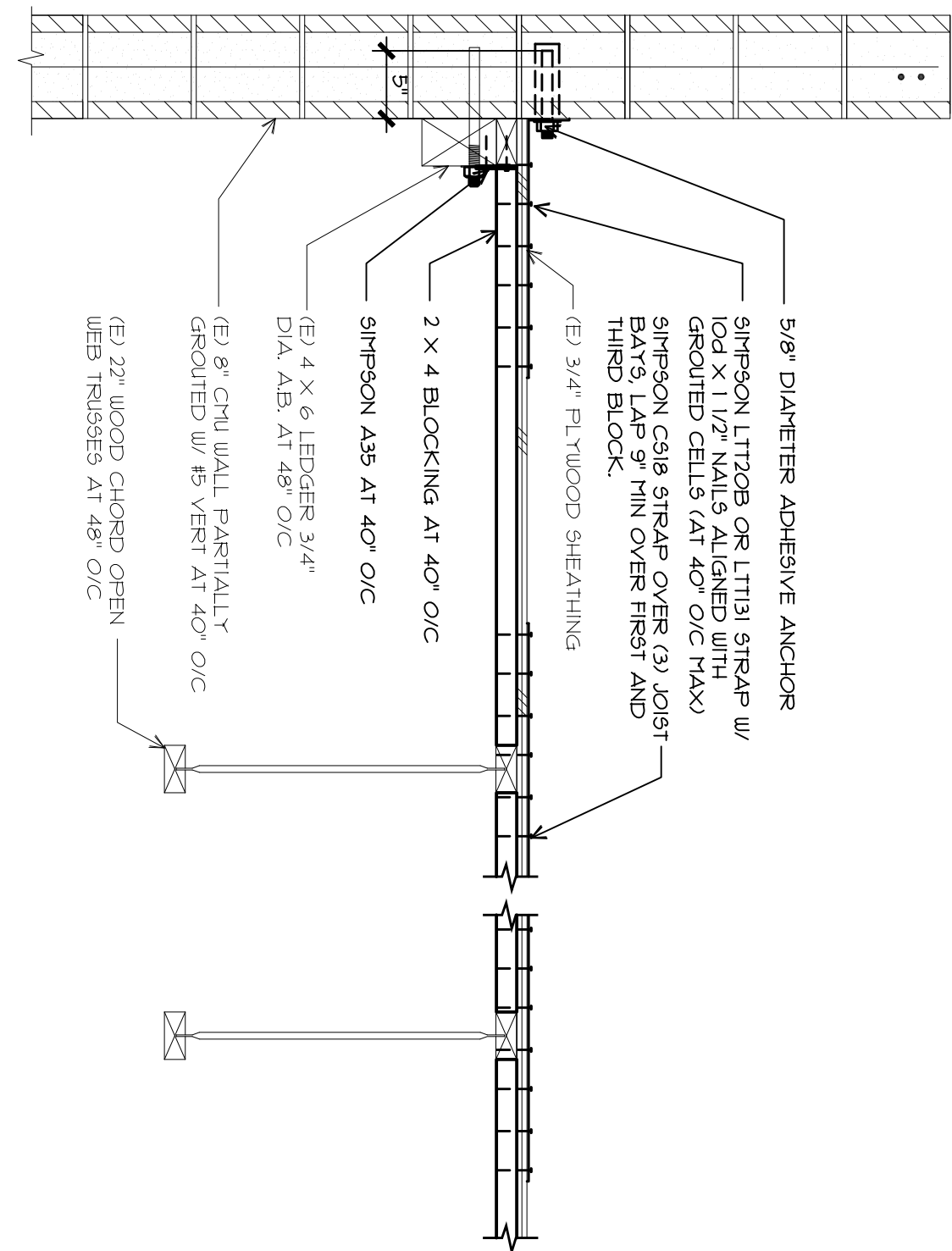
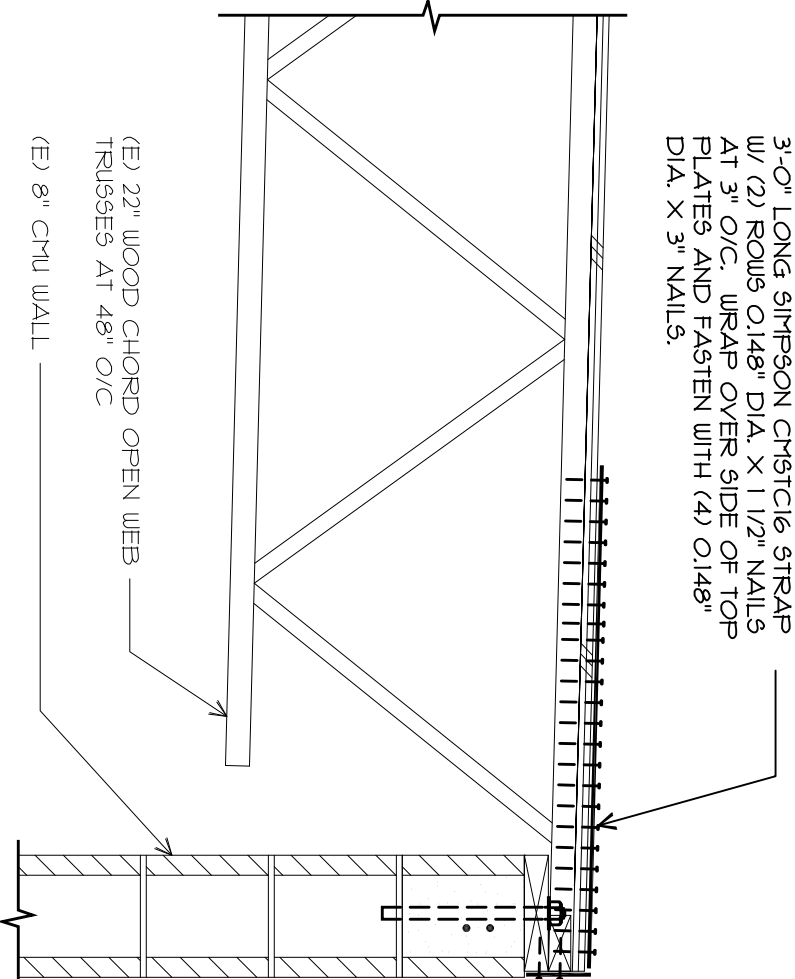
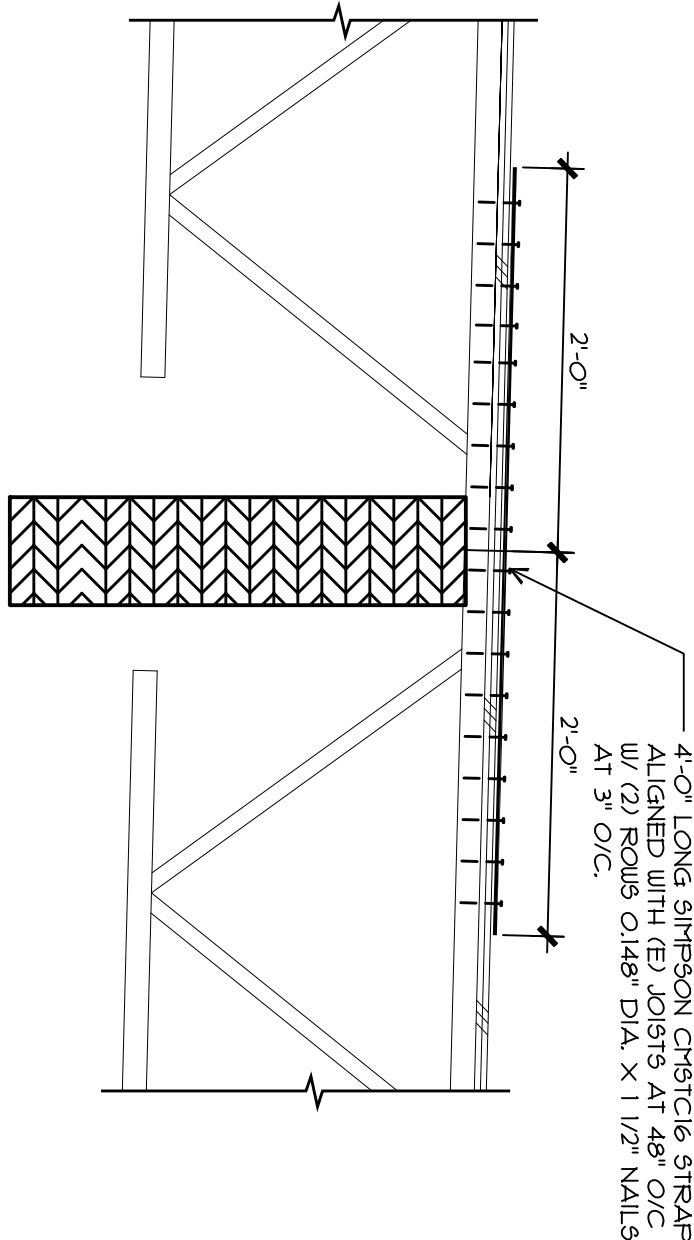
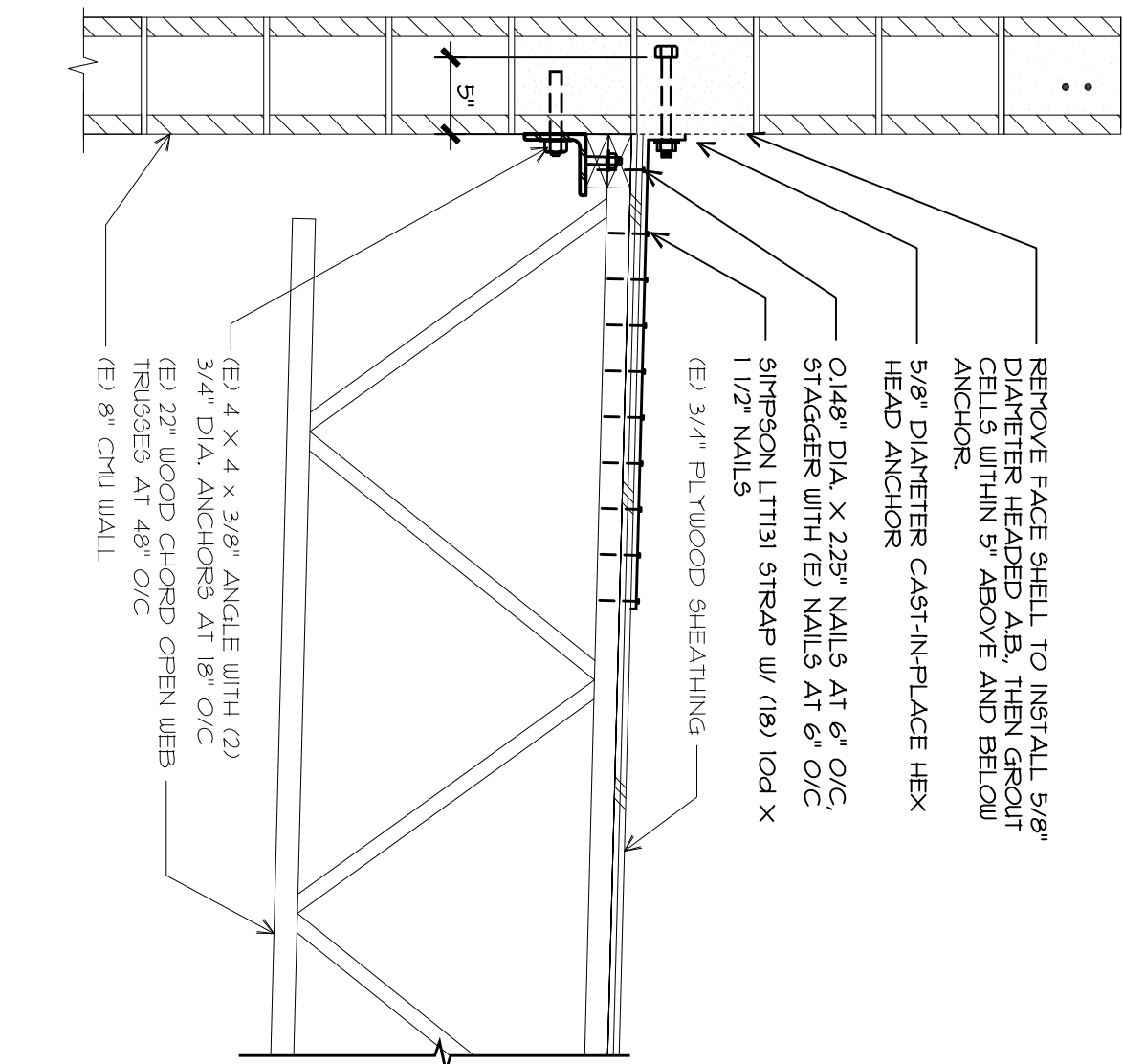
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PORTLAND, OREGON

SHEET CONTENT
MAIN ROOF/MEZZANINE FLR
FRAMING PLAN

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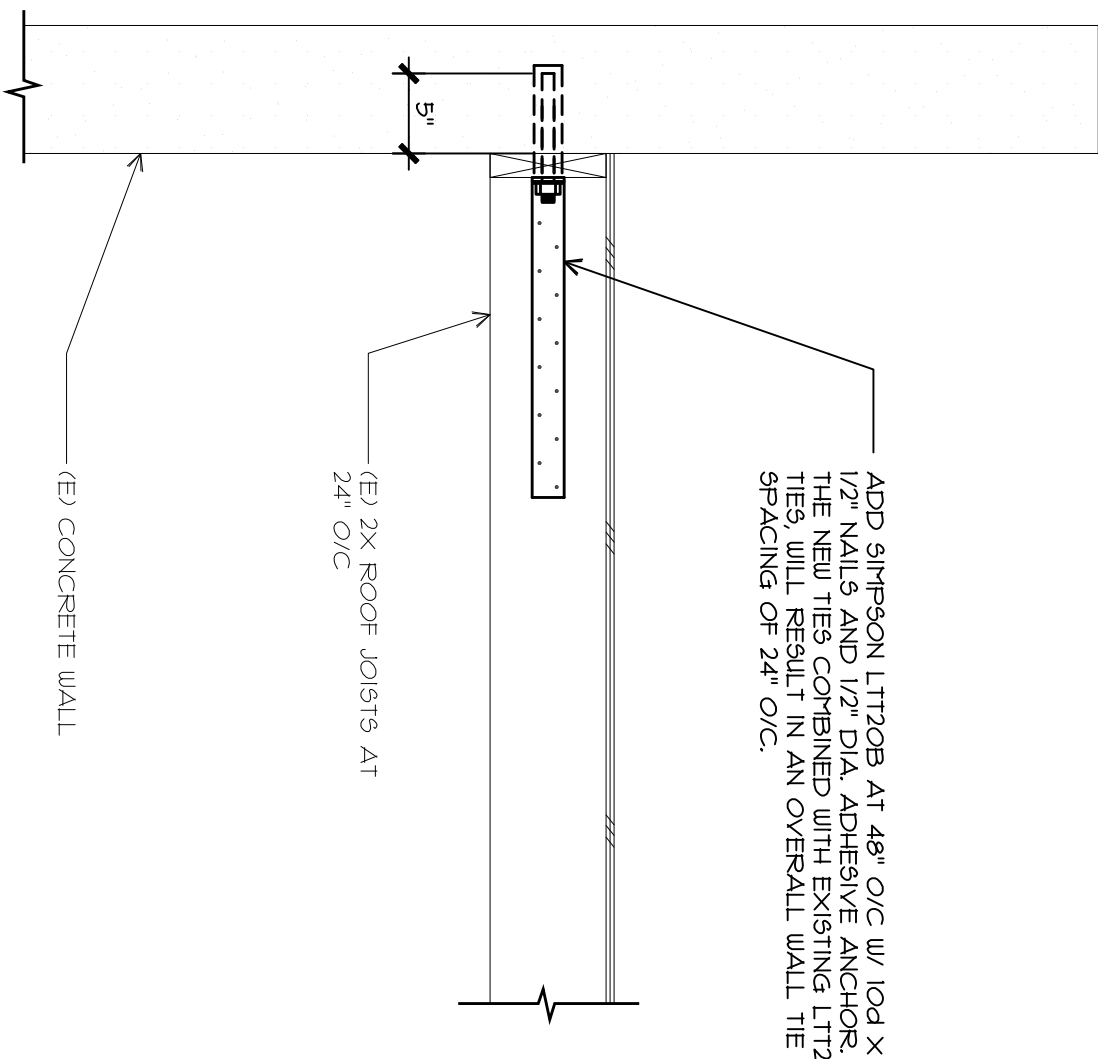
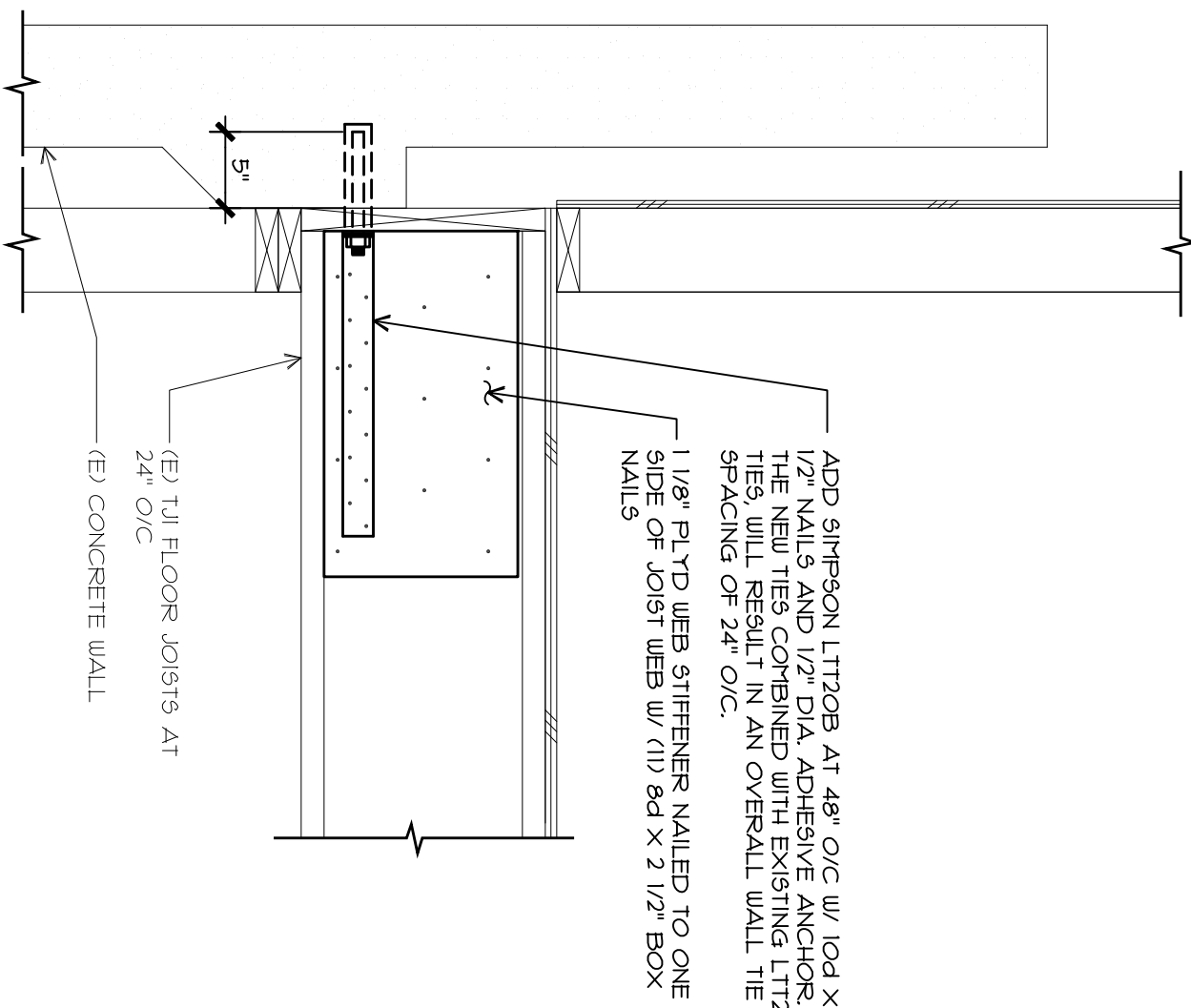
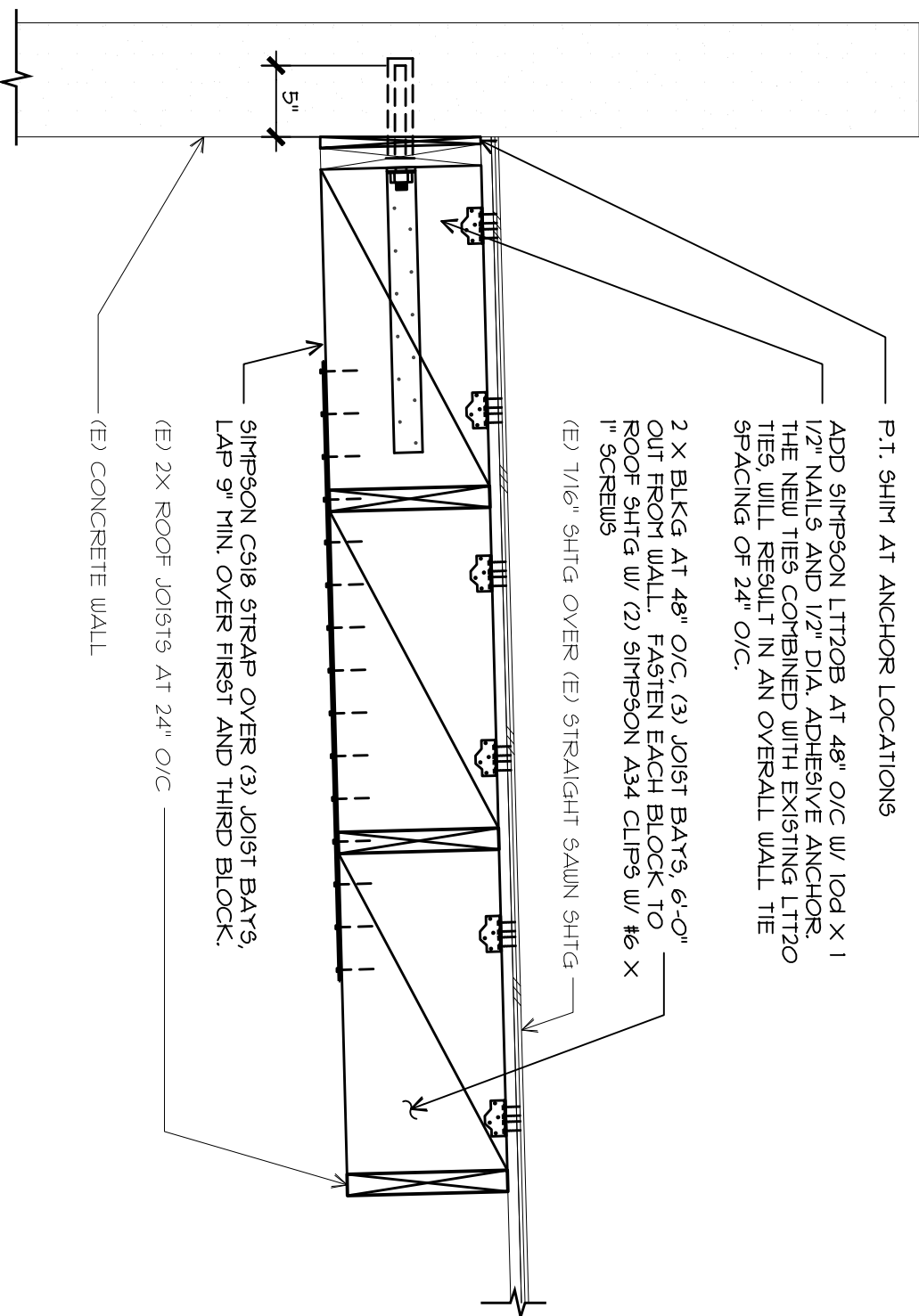
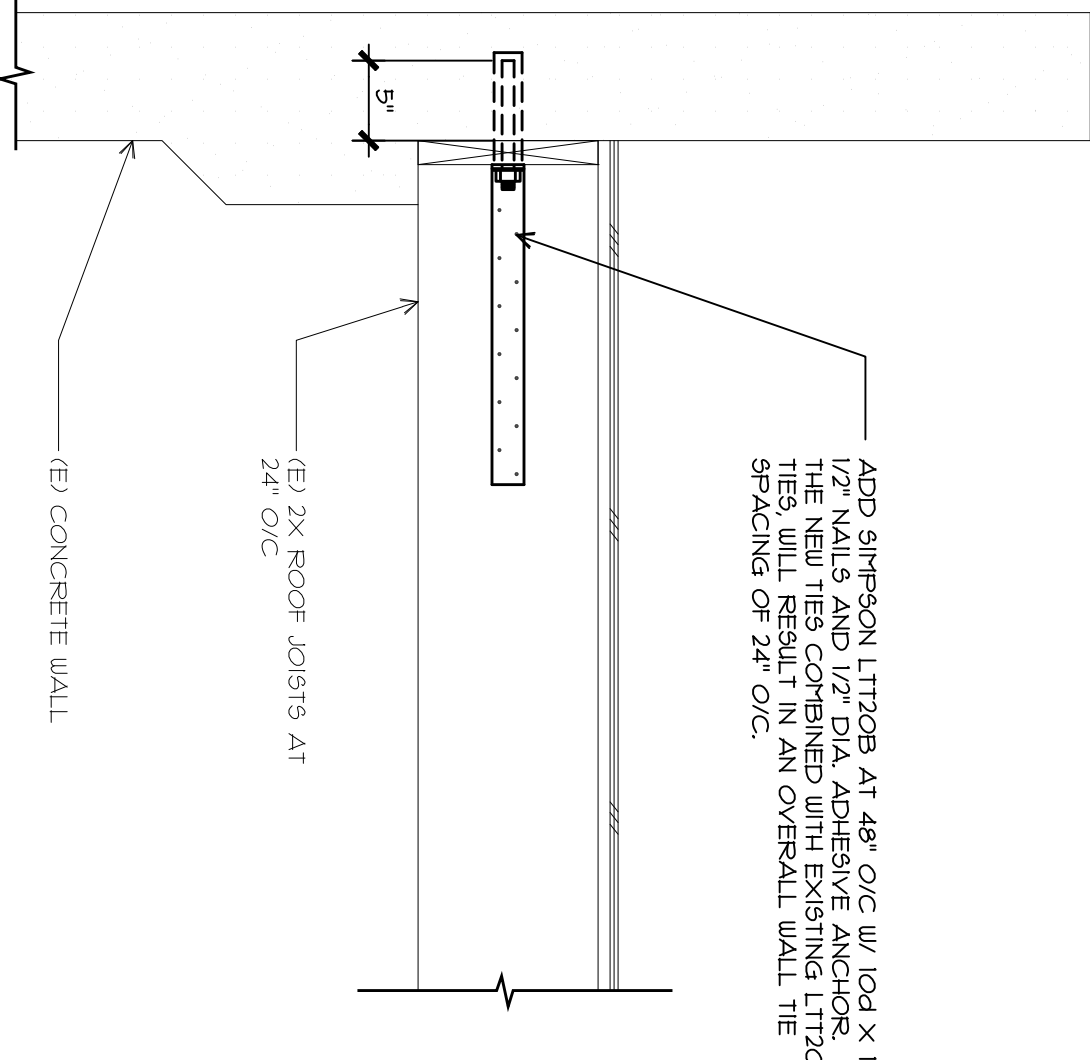


1
S3.1

2
S3.1

3
S3.1

4
S3.1



5
S3.1

6
S3.1

7
S3.1

8
S3.1

STEP BY STEP DAYCARE

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PORTLAND, OREGON

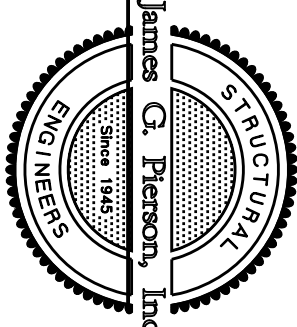


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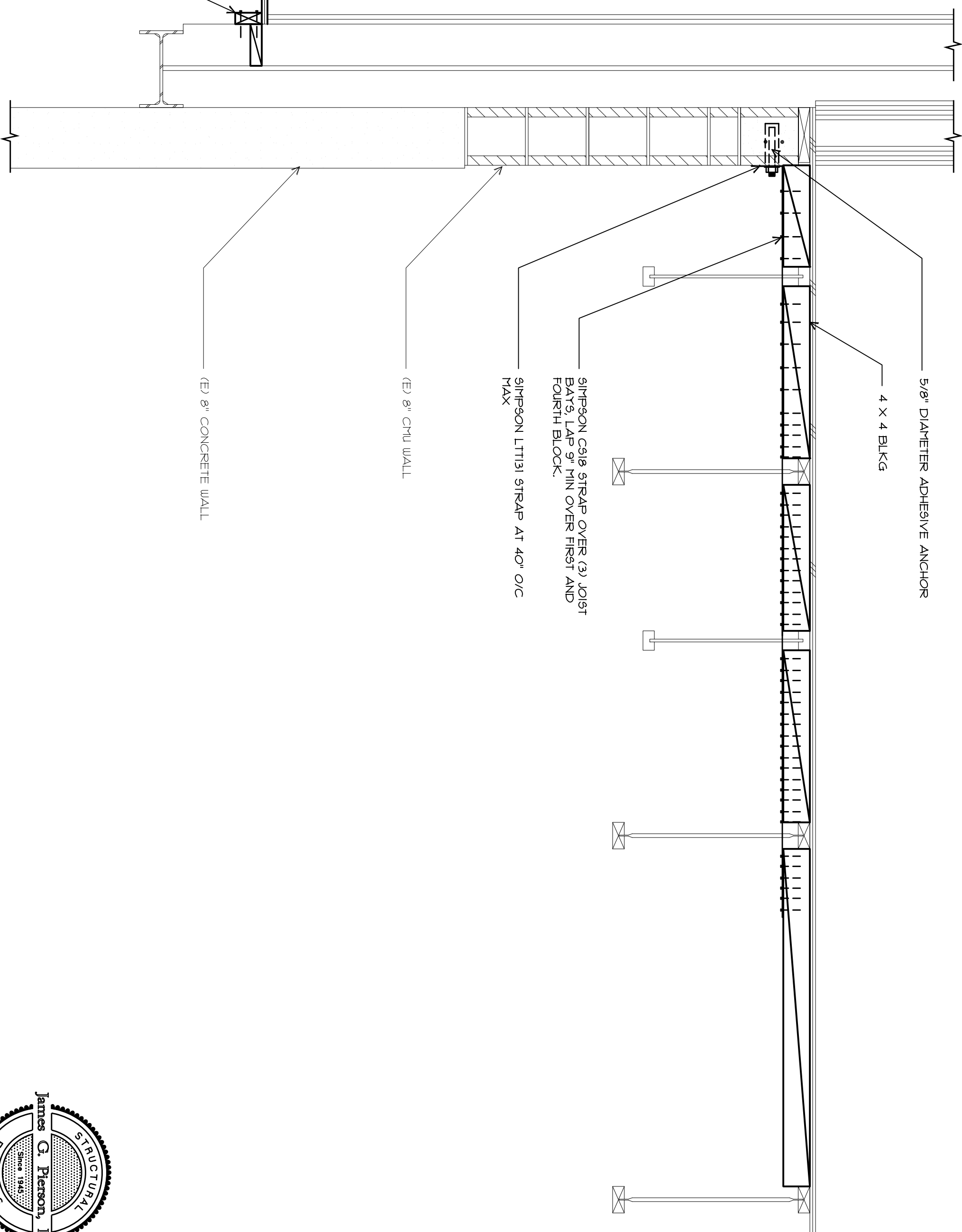
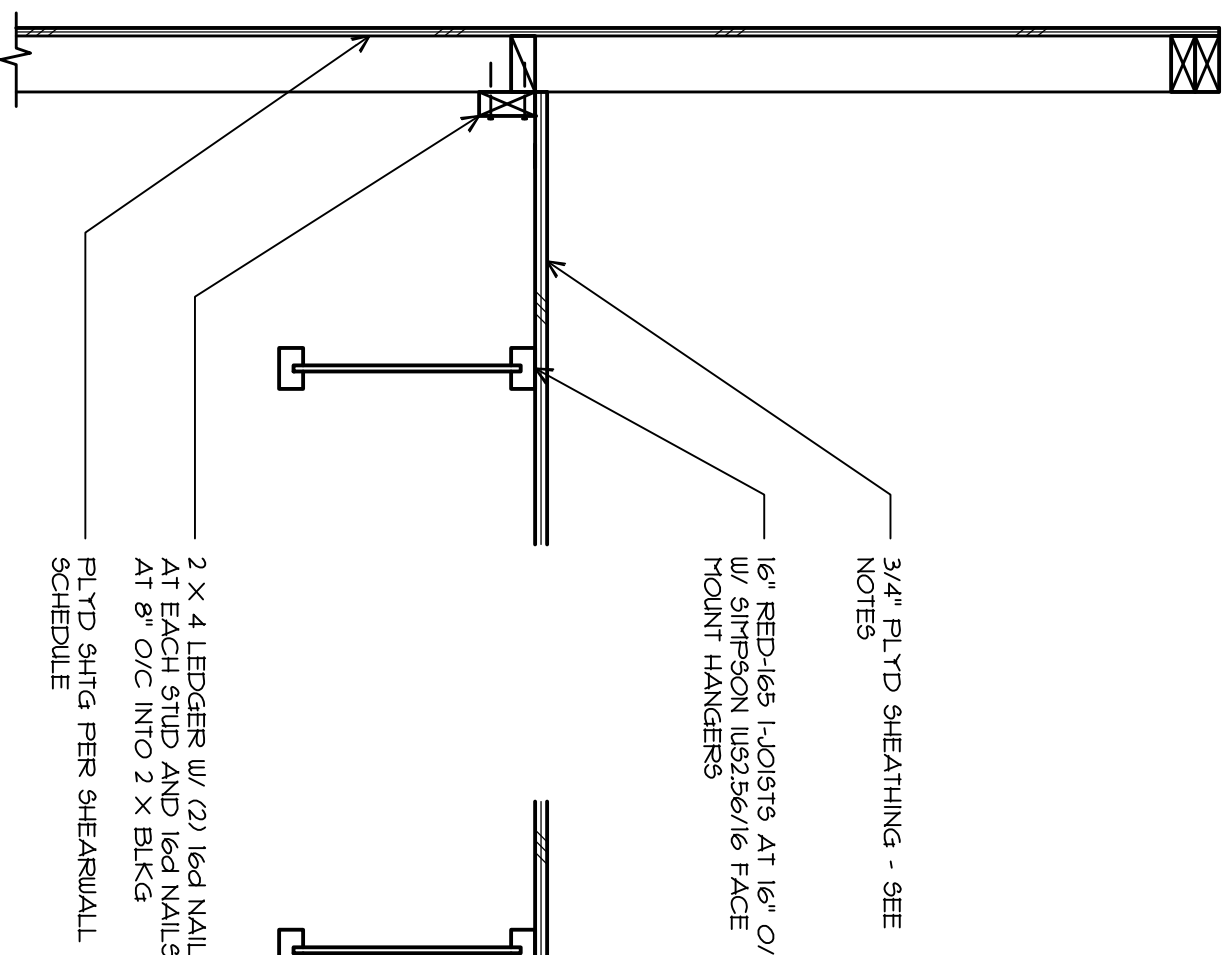
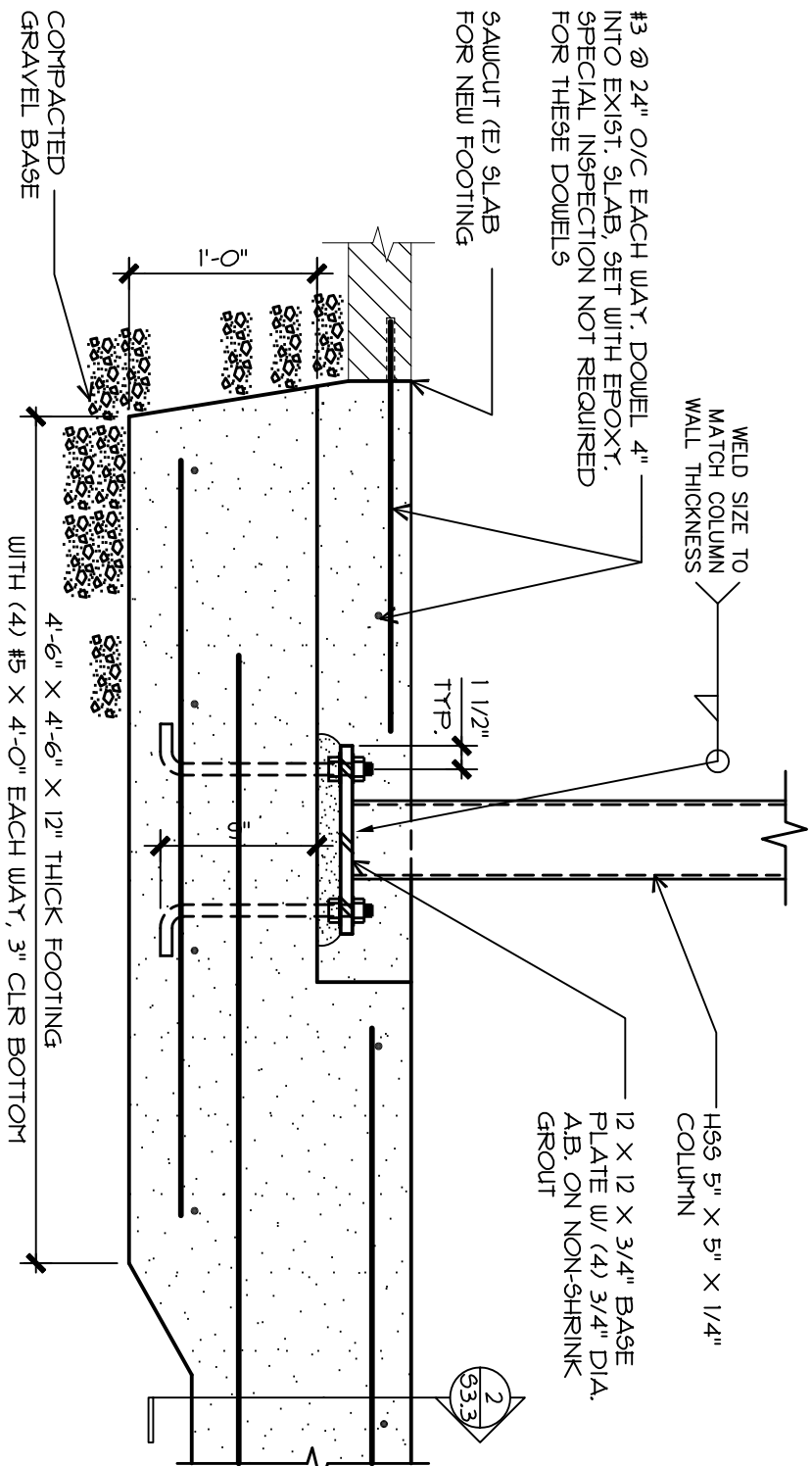
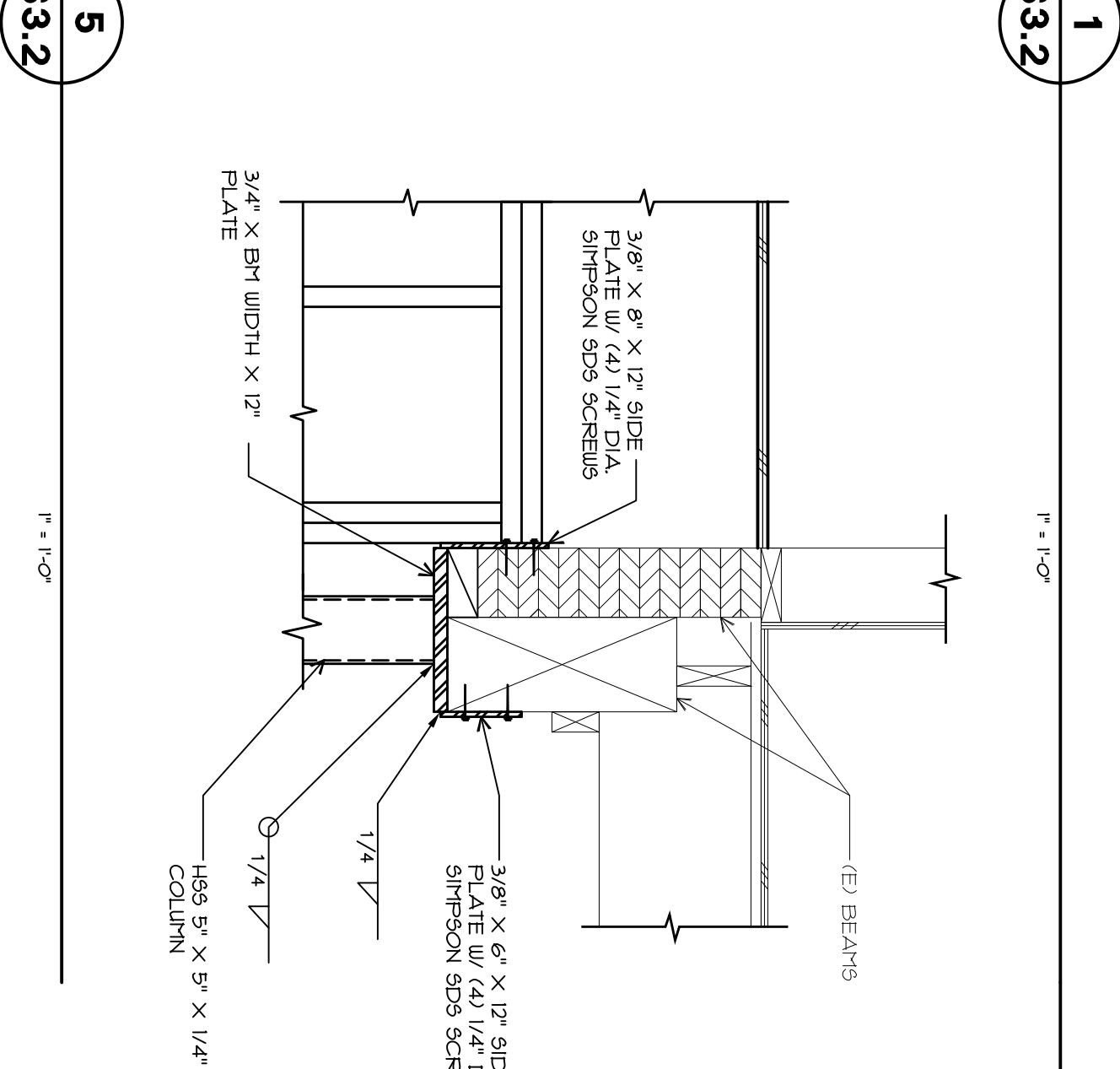
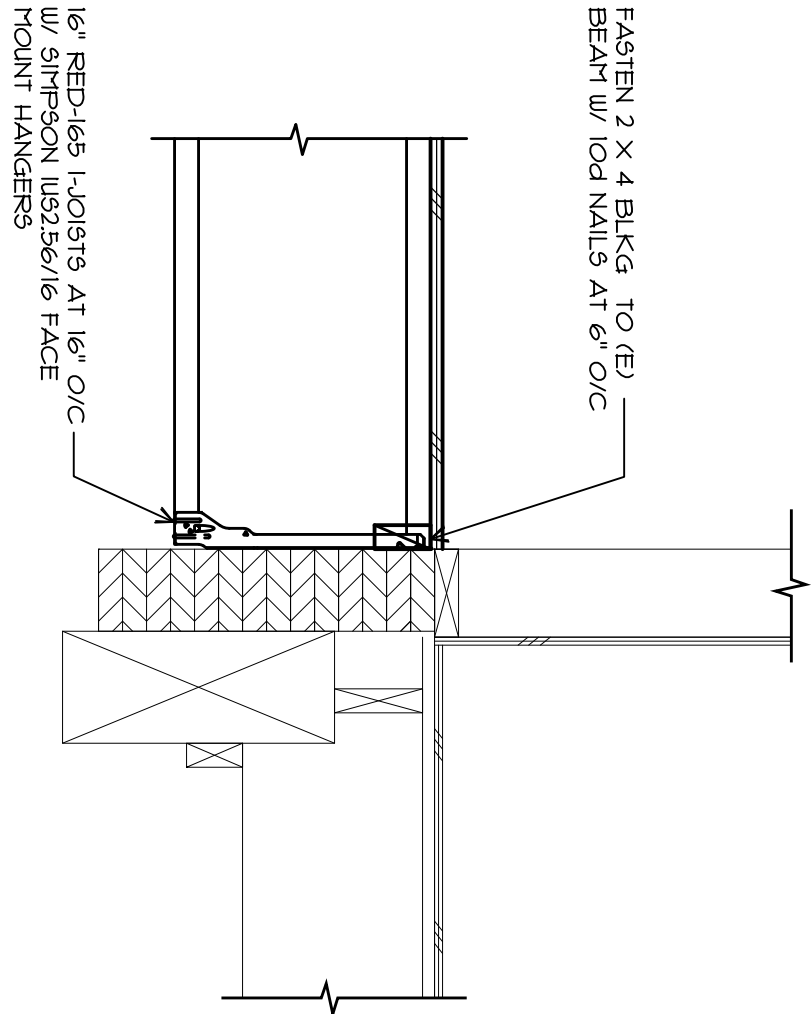
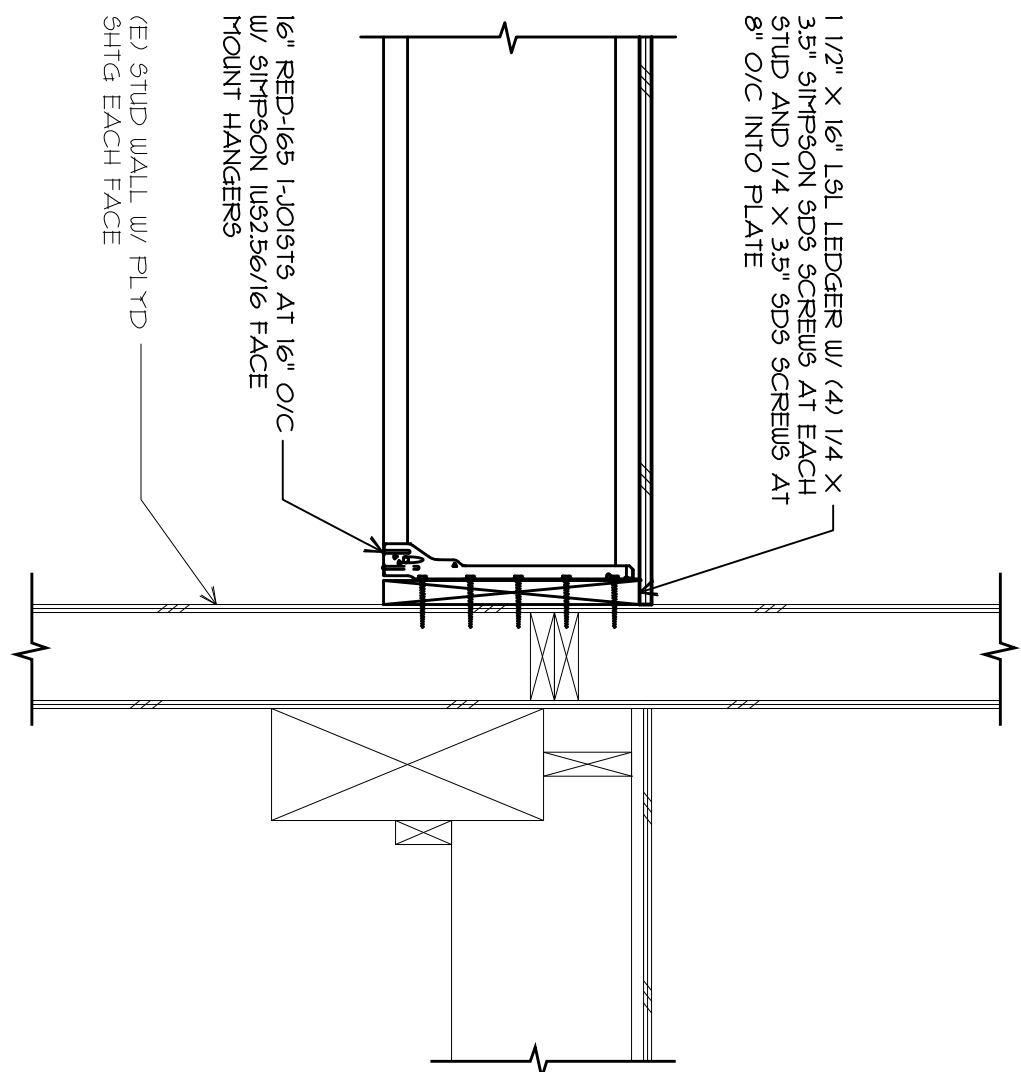
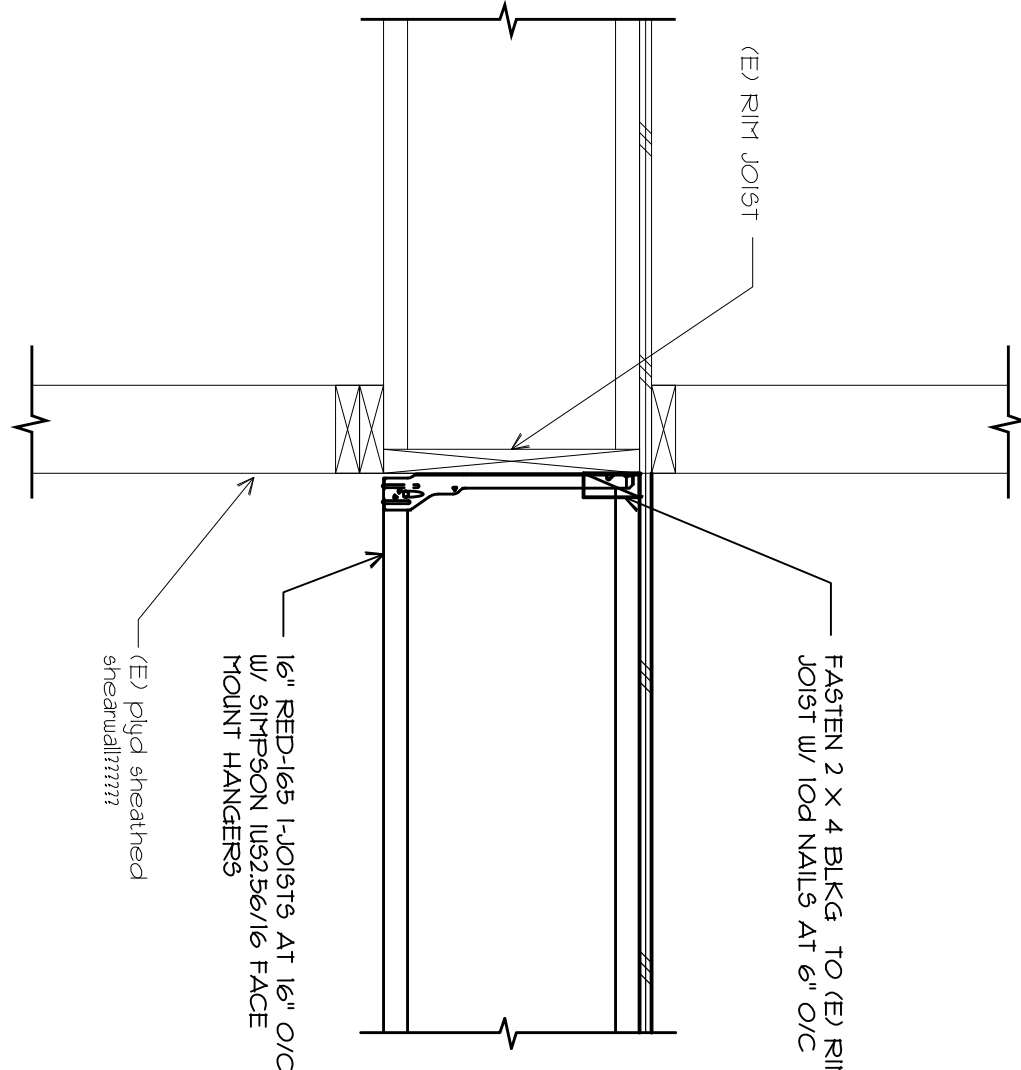
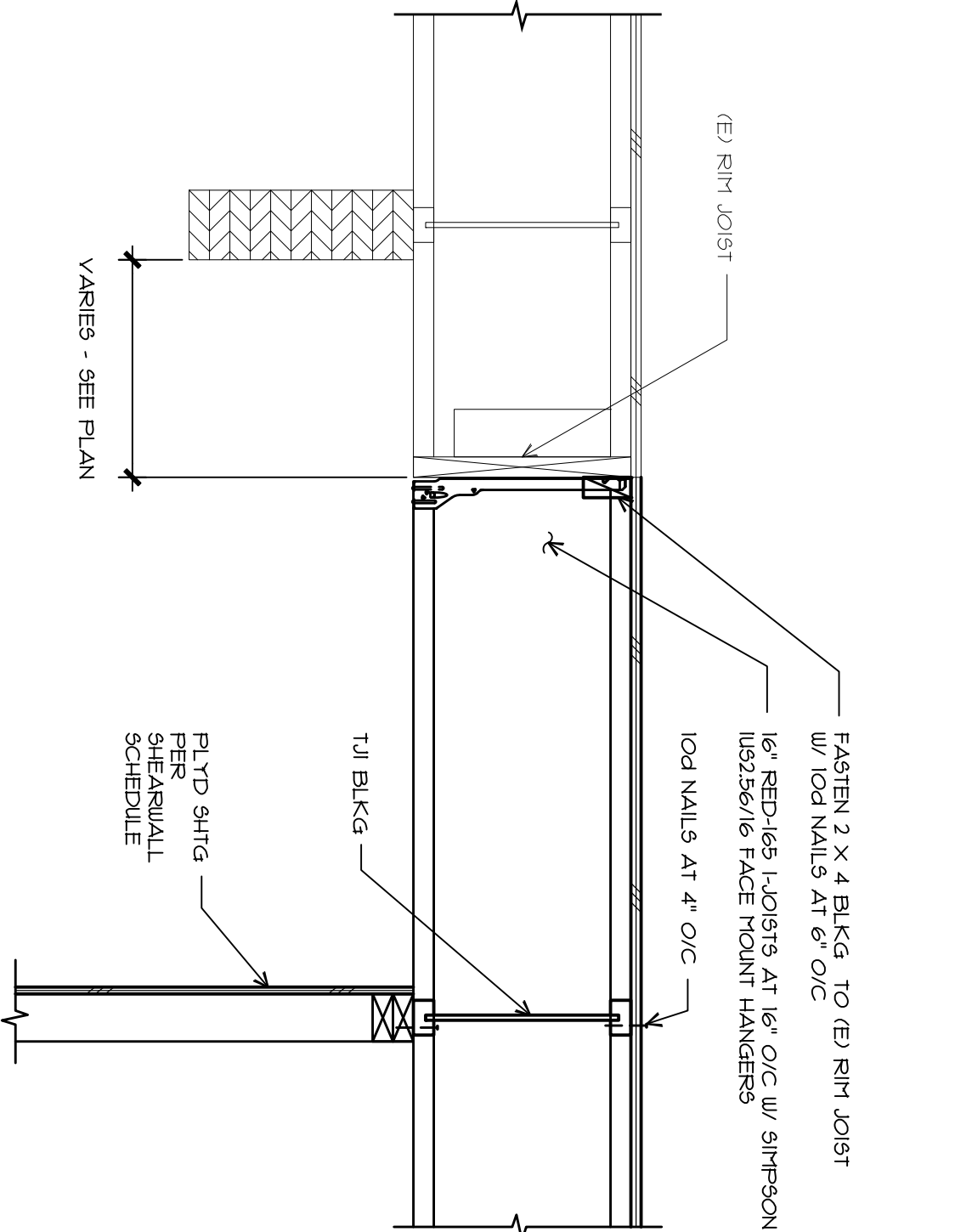
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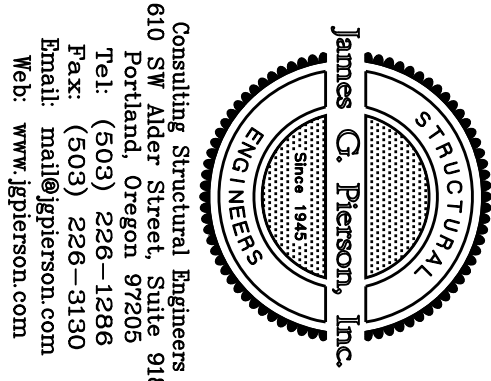


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S3.1 of 6



COLUMN & FOOTING



STEP BY STEP DAYCARE

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PORTLAND, OREGON

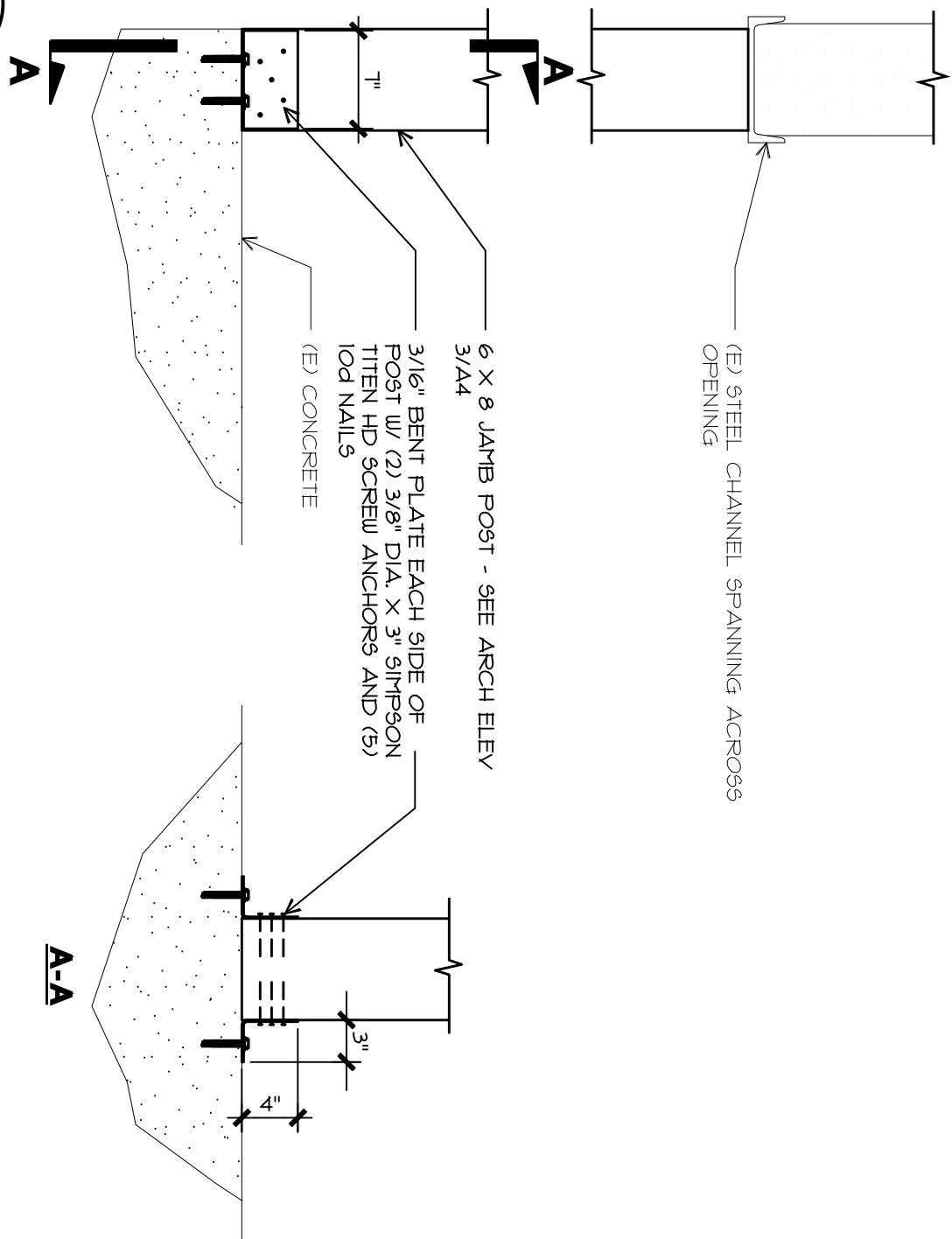


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SHEET
S3.2 of 6

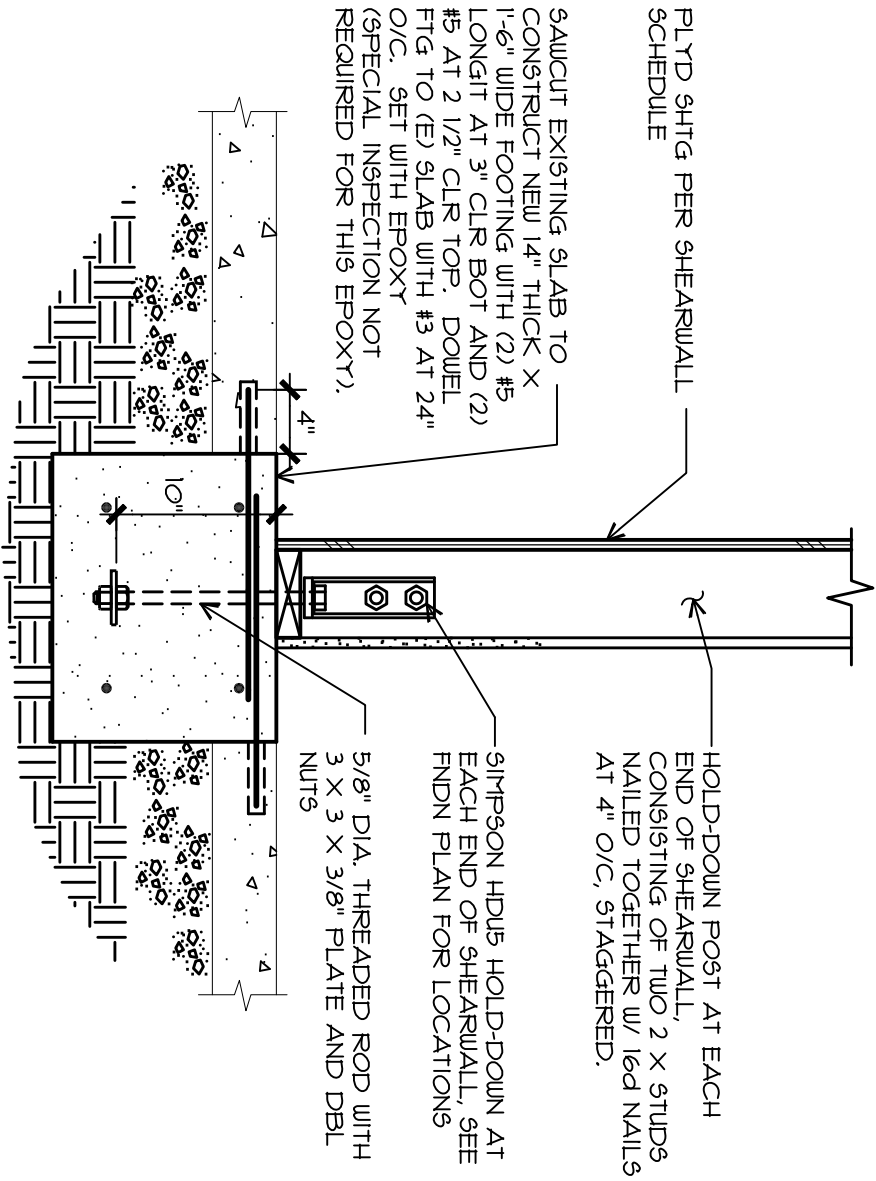


1

S3.3

POST CONNECTION

T = 1'-0"

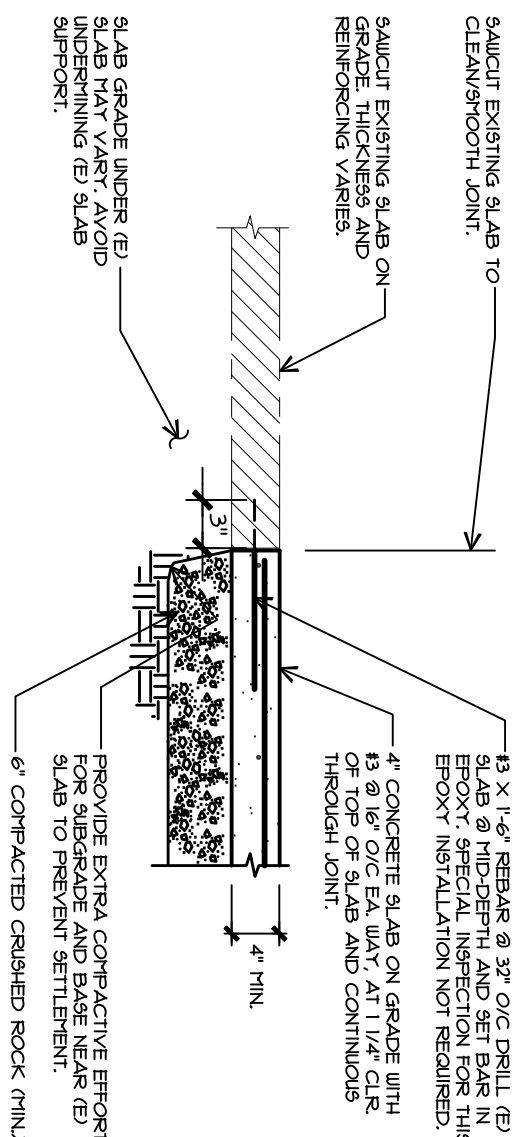


2

S3.3

BEARING /SHEAR WALL FOOTING

T = 1'-0"

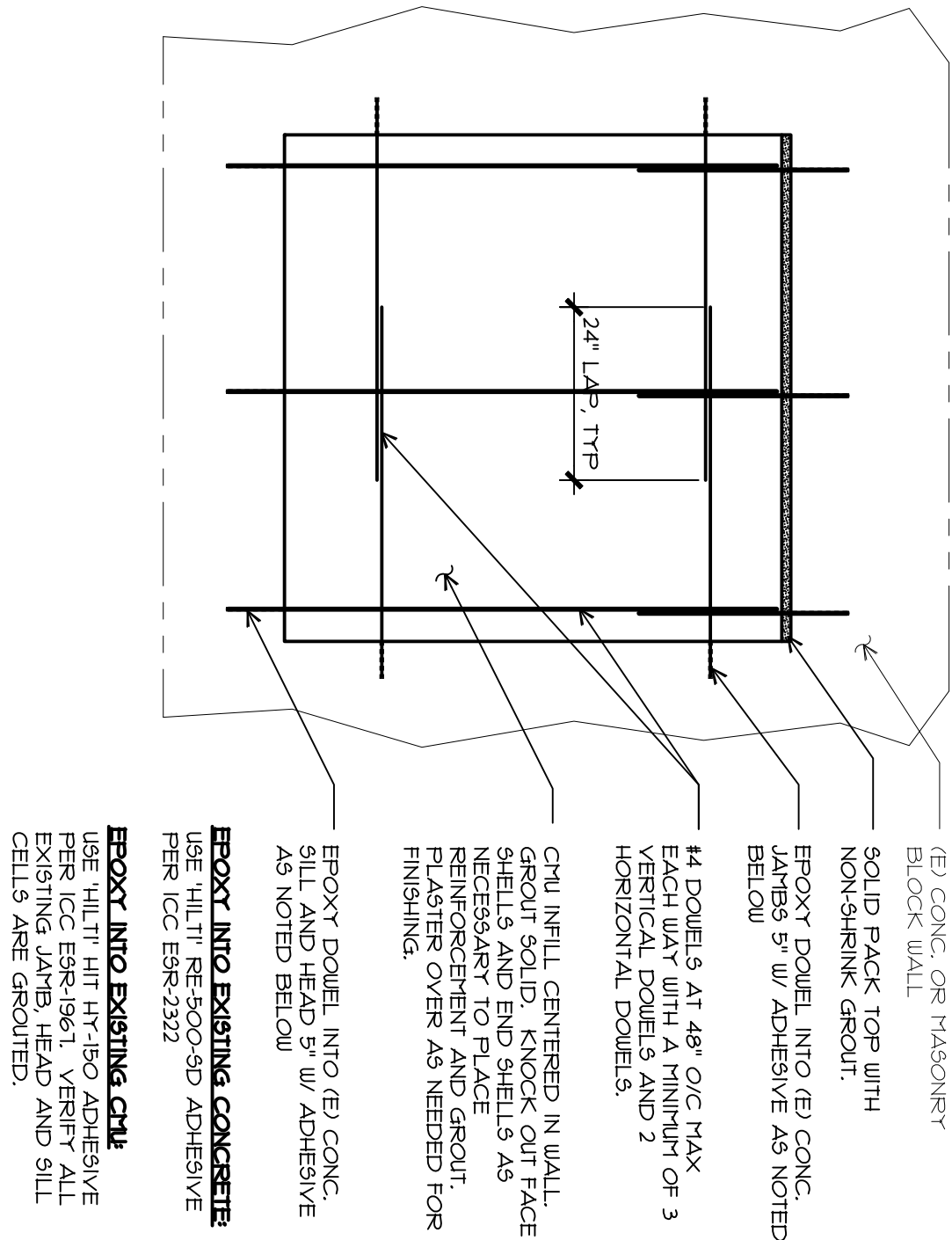


3

S3.3

SLAB INFILL

T = 1'-0"

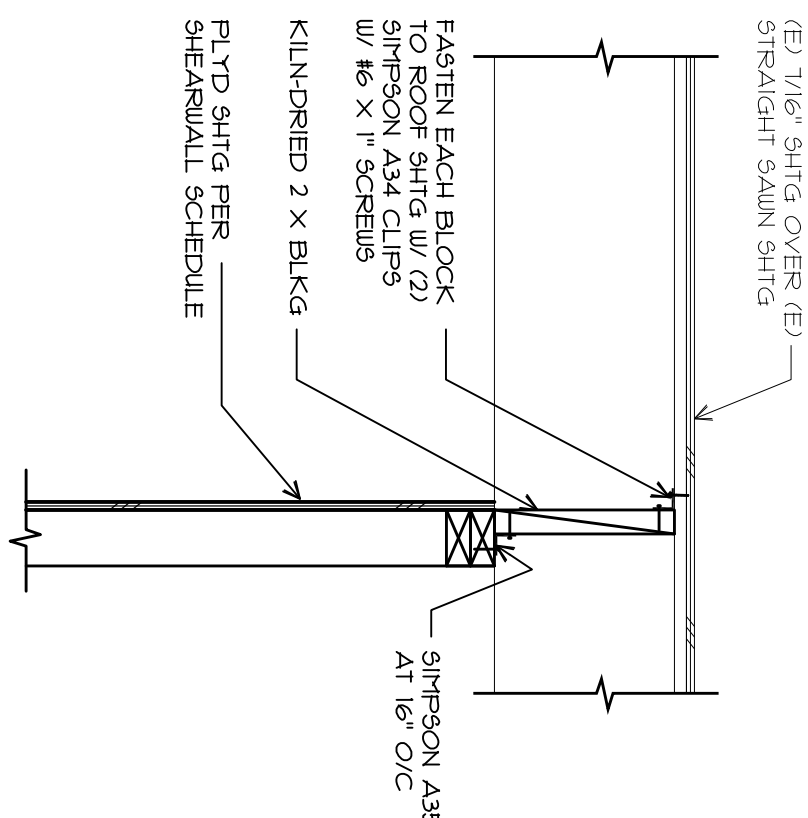


4

S3.3

WALL INFILL

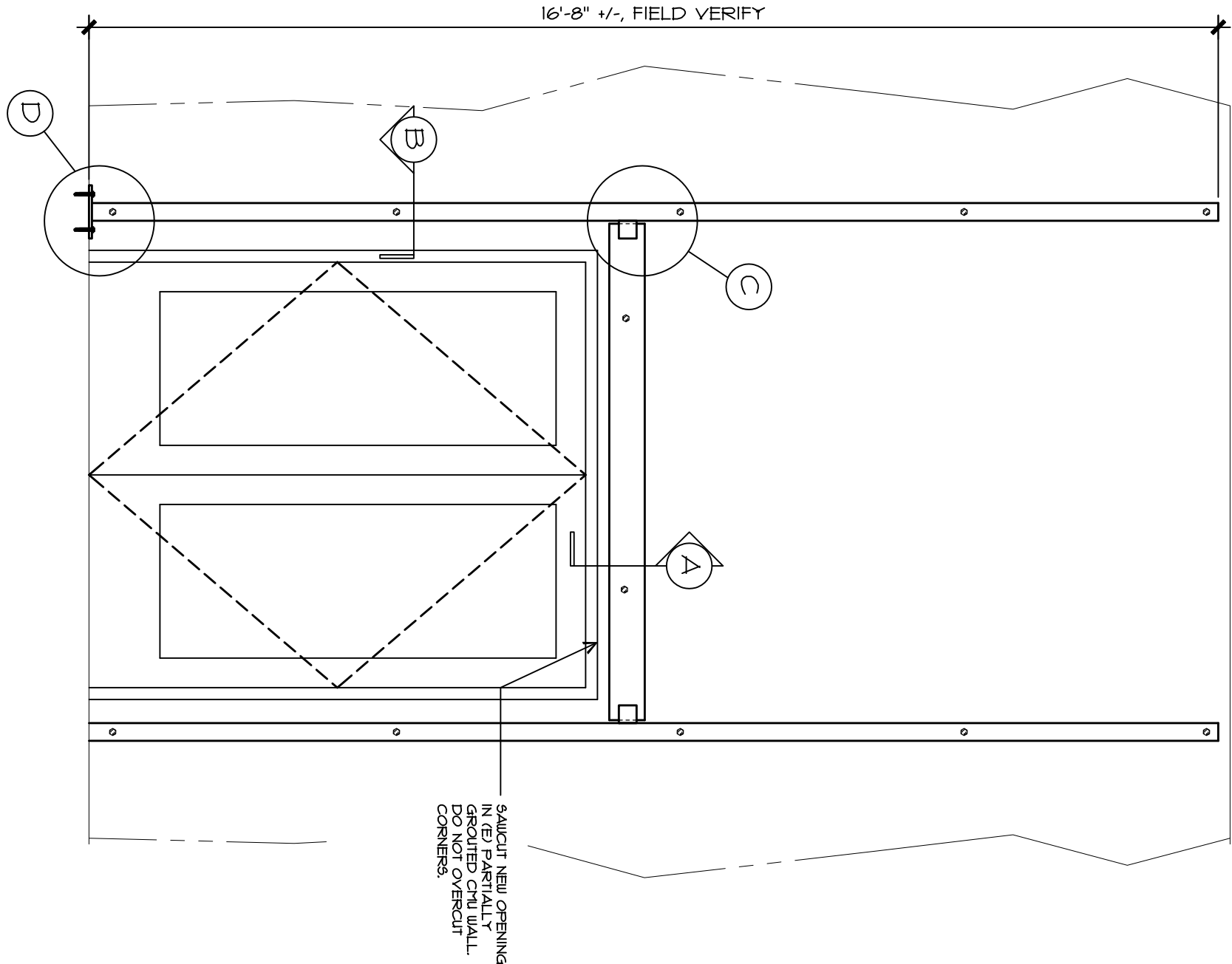
1/2" = 1'-0"



5

S3.3

T = 1'-0"

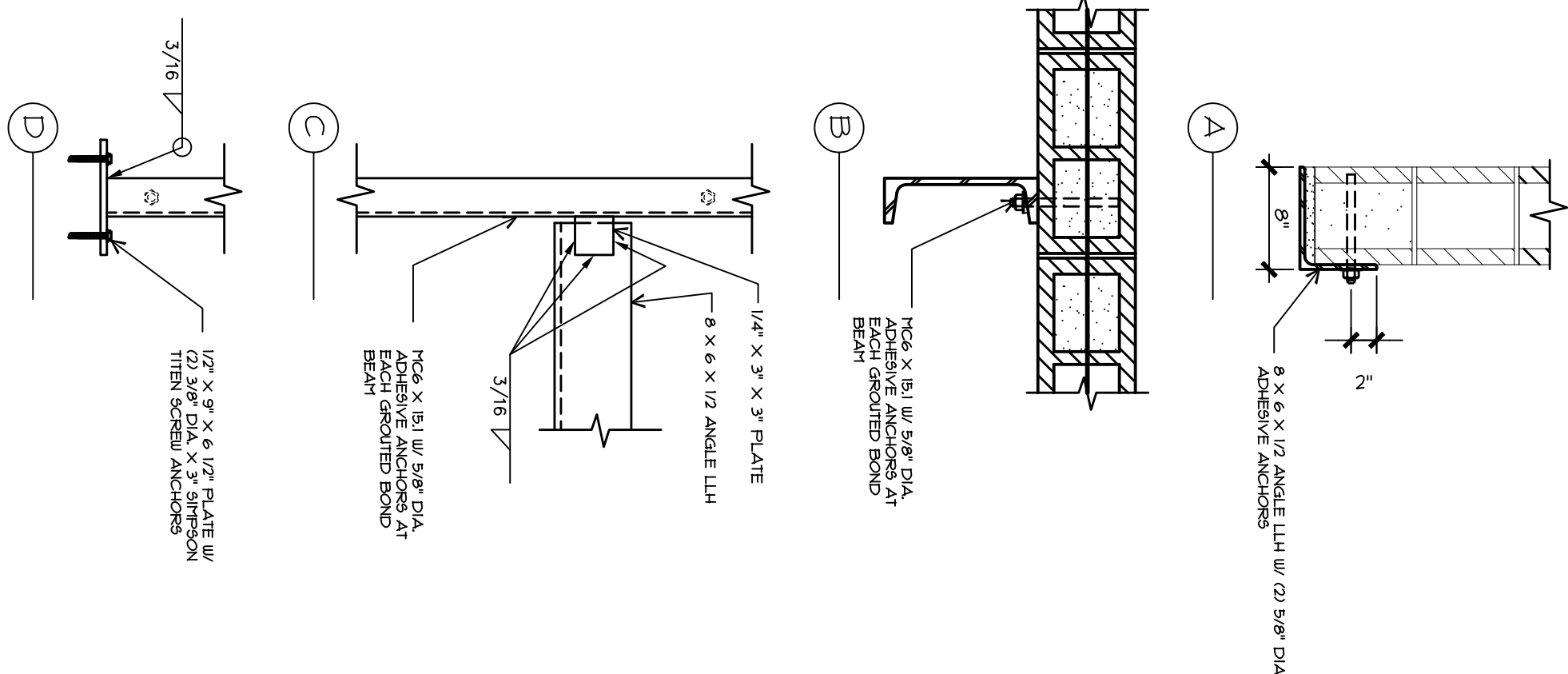


6

S3.3

OPENINGS IN EXIST. CMU WALL

1/2" = 1'-0"



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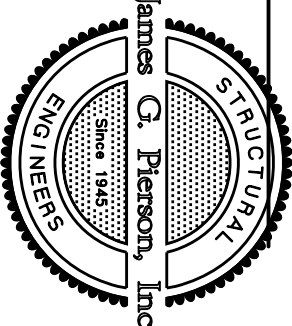
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