

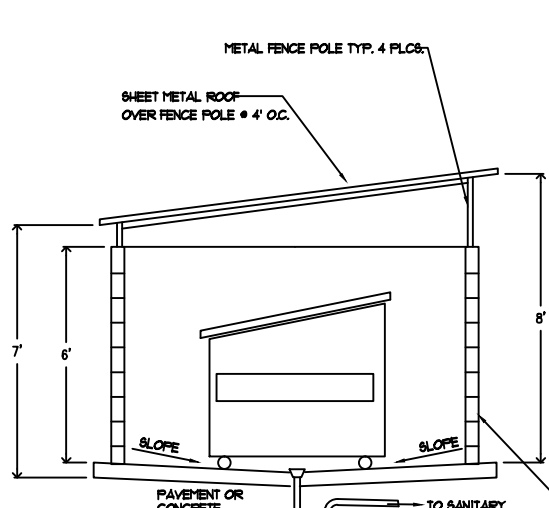
PROJECT SUMMARY

PROJECT SUMMARY:
CHANGE OF OCCUPANCY - SOUTH FIRE AREA WAS COMMERCIAL WITH CHILD CARE PROPOSED. NORTH FIRE AREA WAS WAREHOUSE WITH DOG CARE PROPOSED.
CHILD CARE AREA INCLUDES THE FOLLOWING:
(1) CLASSROOMS FOR 3MO. TO 5YR. OLDS
(1) EXERCISE AREA
(1) KITCHEN FOR PRODUCTION OF FOOD - FOOD TO BE DELIVERED AND EATEN IN CLASSROOMS
SUPPORT AREAS FOR STAFF, LAUNDRY, ETC.
DOG CARE AREA INCLUDES THE FOLLOWING:
CAGED AREAS FOR DIFFERENT DOG GROUPS
TOILET ROOM
FUTURE GROOMING AND KENNEL AREAS

ACCESSIBLE UPGRADE SUMMARY

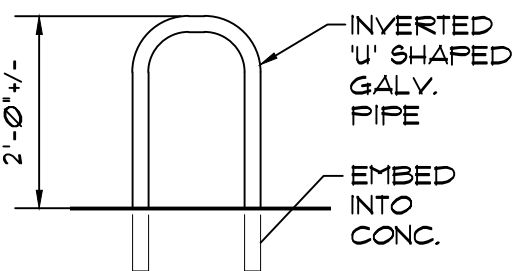
PROVIDE NEW ACCESSIBLE VAN PARKING AND AISLE
PROVIDE NEW ACCESSIBLE ROUTE TO THE BUILDING
ENTRIES FROM THE ACCESSIBLE PARKING STALL (MAX. 1/2" GRADE CHANGE/THRESHOLD)
ACCESSIBLE ROUTE TO RESTROOMS ALREADY EXISTS
EXISTING RESTROOMS ALREADY FULLY ADA COMPLIANT
NO PUBLIC PHONES OR WATER FOUNTAINS PROVIDED

REST OF BUILDING APPEARS TO MEET CHAPTER 11 OF THE 2010 OSGC AND ANSI 111.1.

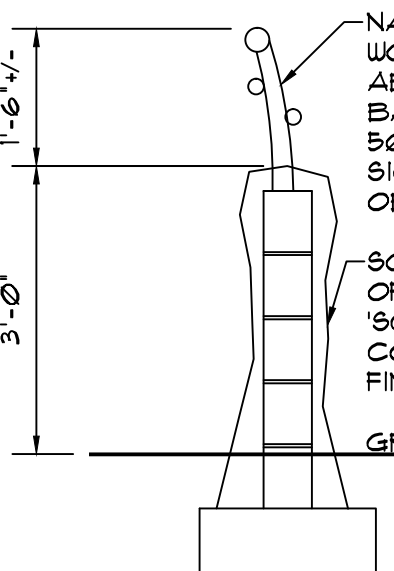


GENERIC TRASH ENCLOSURE SECTION

NOTE: TRASH ENCLOSURE MAY VARY FROM ABOVE BUT MUST HAVE A COVER, PAVEMENT WITH HYDRAULIC ISOLATION (NO STORMWATER RUN ON) AND A DRAIN TO THE SANITARY SEWER



TYPICAL BICYCLE RACK DETAIL



TYPICAL FENCE ALONG MILWAUKIE

SUMMARY OF LANDSCAPING UPGRADES

LOCATION	APPROX. COST
SW PROP. LINE - L2 PERIMETER LANDSCAPE BUFFER	15,000
S PROP. LINE - L2 PERIMETER LANDSCAPE BUFFER & DRIVE INT. PARK LOT LAND. @ NORTH SIDE	1,000
N PROP. LINE - L2 PERIMETER LANDSCAPE BUFFER	1,000
TOTAL	17,000

BUILDING INFORMATION

PROJECT ADDRESS:
4617 SE MILWAUKIE AVENUE
PORTLAND, OREGON 97211

MULTNOMAH CO. TAX ACCT. NUMBER:
R328460

STATE TAX ID NUMBER:
1914BA 400

ZONING DESIGNATIONS:
CG - GENERAL COMMERCIAL

BUILDING CODE SUMMARY

INFORMATION SHOWN ON THIS DRAWING IS BASED ON THE OSGC 2010 EDITION. ANY INFORMATION NOT PROVIDED OR CLEARLY IDENTIFIED SHALL MEET OR EXCEED CURRENT CODE.

PROPOSED OCCUPANCY - S. FIRE AREA: 1-4 DAY CARE FACILITY
PROPOSED OCCUPANCY - N. FIRE AREA: B DOG DAY CARE

CONSTRUCTION TYPE: IIIB (SOUTH AND NORTH FIRE AREAS)
SOUTH FIRE AREA SPRINKLERED - NORTH FIRE AREA NON-SPRINKLERED (FIRE AREAS SEPARATED BY 2 HR FIRE BARRIER)

BUILDING SIZE:
SOUTH FIRE AREA GROUND FLOOR = 9,600 SF
SOUTH FIRE AREA SECOND FLOOR = 1,950 SF

NORTH FIRE AREA GROUND FLOOR = 6,030 SF
NORTH FIRE AREA MEZZANINE = 0 SF
TOTAL SF = 11,550 SF
*NOTE - NORTH MEZZ. IS ONLY 3'-4" TALL AND SF IS NOT INCLUDED AS IT IS NOT HABITABLE

BUILDING HEIGHT:
SOUTH FIRE AREA - 2 STORIES - 25'-4" TALL
NORTH FIRE AREA - 1 STORY - 20'-4" TALL

PERMITS:
PERMITS REQUIRED FROM THE CITY OF PORTLAND:
A. BUILDING
B. ELECTRICAL
C. MECHANICAL

PERMITS REQUIRED FROM PORTLAND FIRE MARSHALL OFFICE:
D. FIRE ALARM
E. SPRINKLER

OCCUPANCY - PER CHPT. 3 AND TABLE 1004.1.1

EXISTING OCCUPANT LOAD SINCE 2004

SOUTH FIRE AREA	USE	SF OF ROOM	OCCUPANT LOAD FACTOR	TOTAL OCCUPANTS
GROUND FLOOR:				
	MERCANTILE	9,600 SF GROSS	30SF/OCC	255 OCC.
	OFFICE	1,950 SF	100SF/OCC	20 OCC.
SECOND FLOOR:				
	OFFICE	1,950 SF	100SF/OCC	11 OCC.

NORTH FIRE AREA

GROUND FLOOR:				
	WAREHOUSE	6,000 SF	500SF/OCC	12 OCC.

PROPOSED OCCUPANT LOAD PER THIS PERMIT

SOUTH FIRE AREA	USE	SF OF ROOM	OCCUPANT LOAD FACTOR	TOTAL OCCUPANTS
GROUND FLOOR:				
	DAY CARE	9,600 SF GROSS	35SF/OCC	113 OCC.
	(INFANT)	(1,405 SF)	--	--
	(TODDLER)	(1,050 SF)	--	--
	(PRESCHL.)	(1,500 SF)	--	--
	*COMMON AREAS	2,550 SF NET	35SF/OCC	14 OCC.
	EXERCISE RM.	505 SF NET	50SF/OCC	10 OCC.
	STORAGE RM.	420 SF NET	300SF/OCC	2 OCC.
	KITCHEN	360 SF NET	200SF/OCC	2 OCC.
SECOND FLOOR:				
	OFFICE	1,950 SF GROSS	100SF/OCC	9 OCC.
	OPEN OFFICE	840 SF NET	100SF/OCC	5 OCC.
	*LOUNGE	460 SF NET	15SF/OCC	14 OCC.
				*28 OCCUPANTS
TOTAL S. FIRE AREA:		11,550 SF GROSS		232 OCCUPANTS

NORTH FIRE AREA

USE	SF OF ROOM	OCCUPANT LOAD FACTOR	TOTAL OCCUPANTS
GROUND FLOOR:			
	DOG AREAS	6,030 SF GROSS	48 OCC.
	MERCANTILE	4,800 SF NET	14 OCC.
		800 SF NET	28 OCCUPANTS
TOTAL N. FIRE AREA:		6,030 SF GROSS	28 OCCUPANTS

*COMMON AREAS AND LOUNGE ARE AREAS THAT ARE OCCUPIED BY OCCUPANTS ALREADY INCLUDED IN EITHER THE DAY CARE OCC. LOAD OR OFFICE OCC. LOAD

MIXED USE AND OCCUPANCY - TYPE III-B CONSTRUCTION
SOUTH FIRE AREA
BASE ALLOWABLE - 1-4 OCCUPANCY = 13,000 SF - 2 STORIES
ACTUAL - 1-4 OCCUPANCY = 9,600 SF - 2 STORIES
NORTH FIRE AREA
BASE ALLOWABLE - B OCCUPANCY - 19,000 SF - 4 STORIES
ACTUAL - B OCCUPANCY - 6,030 SF - 1 STORY

NON-SEPARATED USES ARE ALLOWABLE IN EACH FIRE AREA.

AUTOMATIC SPRINKLER SYSTEM
REQUIRED IN DAY CARE FACILITIES WITH OVER 100 CHILDREN PER PER OSGC 903.2.6 - GROUP 1-4 OCCUPANCIES

NO SPRINKLER SYSTEM PROPOSED IN NORTH FIRE AREA SEPARATED FROM SOUTH FIRE AREA BY A TWO HOUR FIRE BARRIER

FIRE ALARM SYSTEM
A MANUAL AND AUTOMATIC FIRE ALARM SYSTEM SHALL BE INSTALLED IN THE 1-4 FIRE AREA AS REQUIRED BY THE FIRE MARSHALL'S OFFICE.

NO FIRE ALARM SYSTEMS PROPOSED IN NORTH FIRE AREA SEPARATED FROM SOUTH FIRE AREA BY A TWO HOUR FIRE BARRIER

PLUMBING FIXTURE CALCULATIONS PER CHAPTER 29

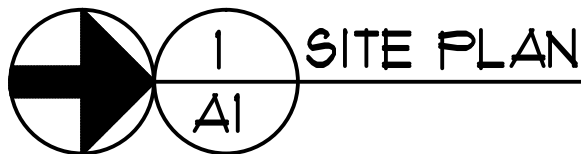
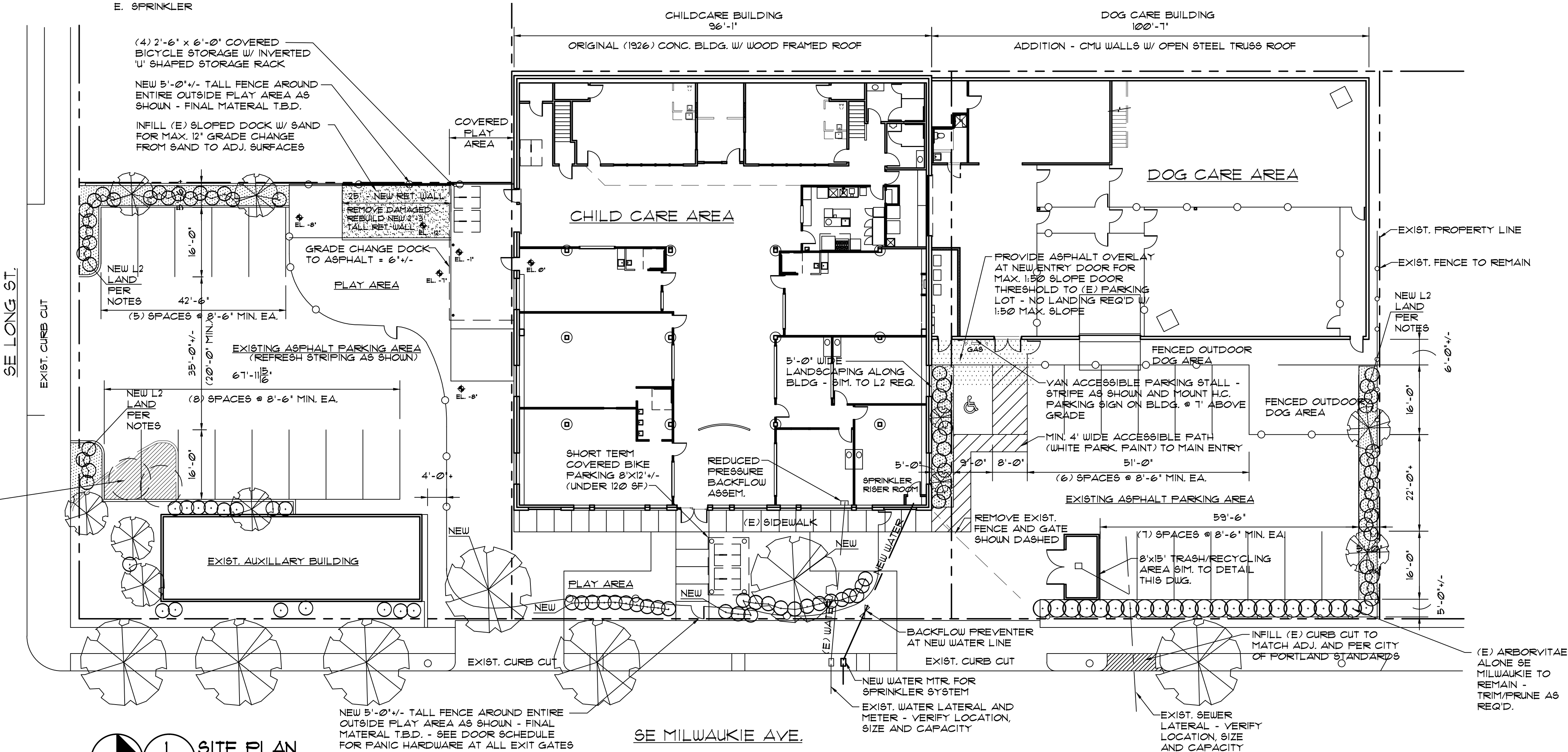
SOUTH BUILDING	USE	SF OF ROOM	OCCUPANT LOAD FACTOR	TOTAL OCCUPANTS
GROUND FLOOR:				
	DAY CARE	3,955 SF SF NET	50SF/OCC	80 OCC.
	MISC AREAS	1,285 SF	200SF/OCC	7 OCC.
SECOND FLOOR:				
	OFFICE, MISC.	1,950 SF GROSS	200SF/OCC	10 OCC.
TOTAL				97 OCCS

PER TABLE 29-A (3) MEN'S AND (3) WOMEN'S W.C. AND LAVS REQUIRED
(2) MEN'S AND (2) WOMEN'S W.C./LAVS PROVIDED WITH (5) UNISEX W.C. AND LAVS FOR CHILDCARE AREAS

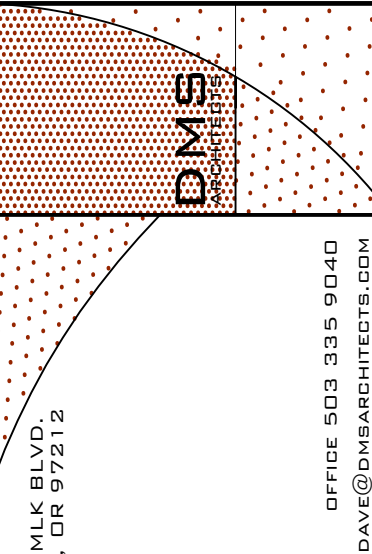
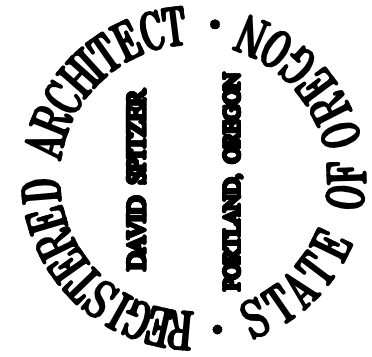
NORTH BUILDING

USE	SF OF ROOM	OCCUPANT LOAD FACTOR	TOTAL OCCUPANTS
DOG AREAS	4,800 SF	200SF/OCC	24 OCC.
MERCANTILE	800 SF	200SF/OCC	4 OCC.

(1) W.C. AND (1) LAV. REQUIRED AND PROVIDED IN NORTH FIRE AREA AND ADDITIONAL PROVIDED IN SOUTH FIRE AREA



SITE PLAN



STEP BY STEP DAYCARE

4617 SE MILWAUKIE AVENUE
PORTLAND, OREGON

SHEET CONTENT
SITE PLAN
CODE SUMMARY
GENERAL NOTES

JOB No.
000016

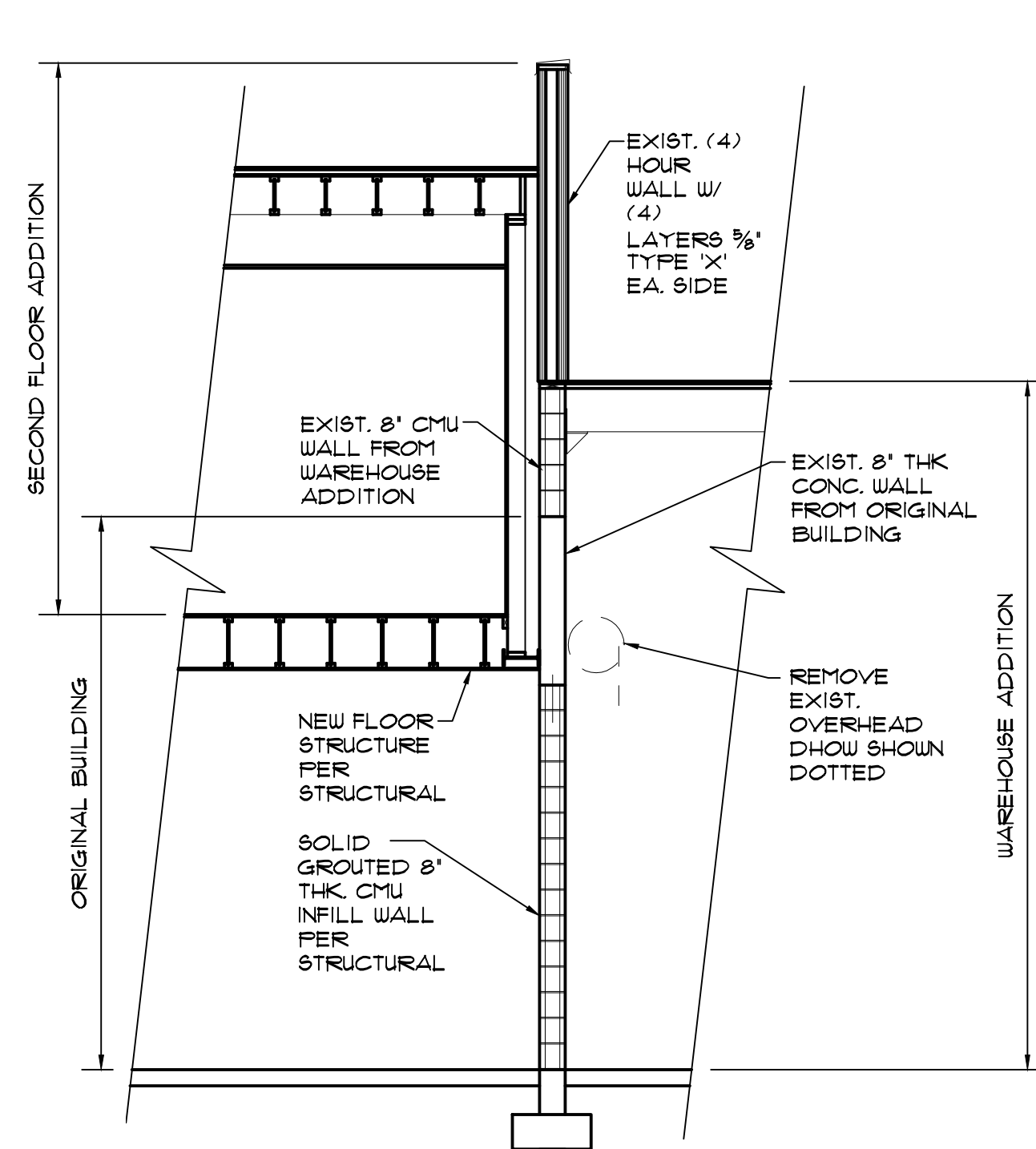
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DATE 11-18-13

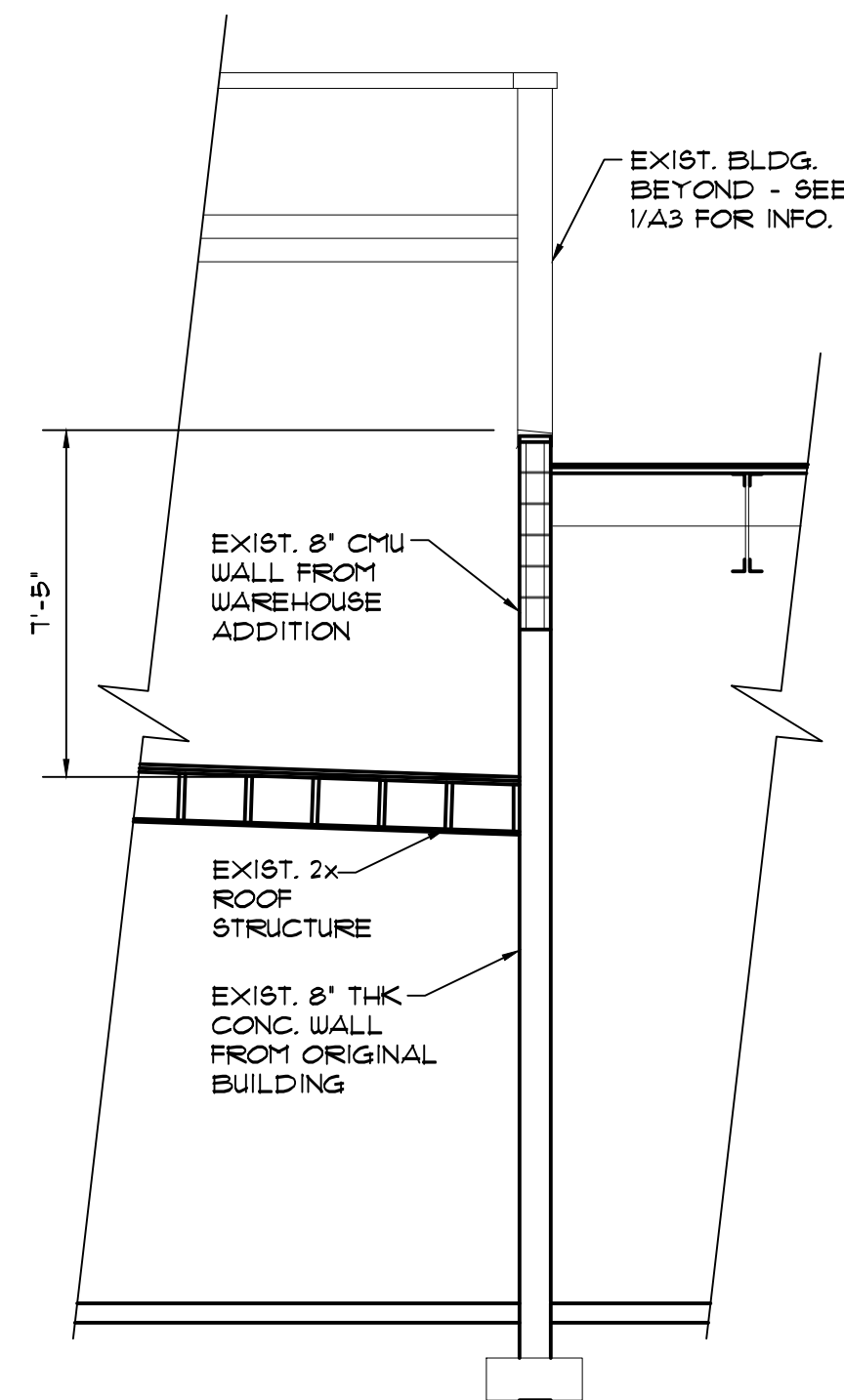
REVISIONS
REV. 1 12-11-13

SHEET

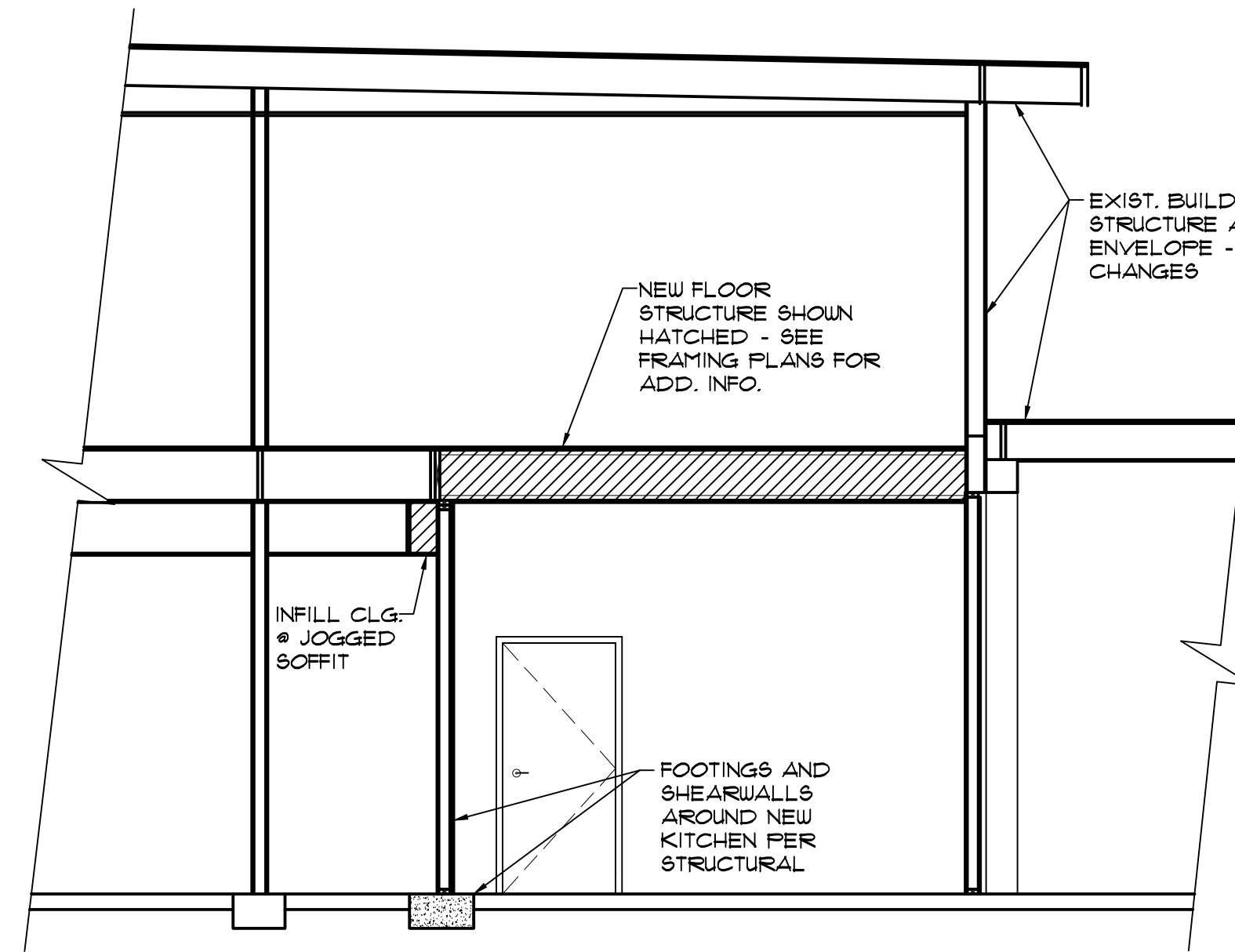
A1 of 6



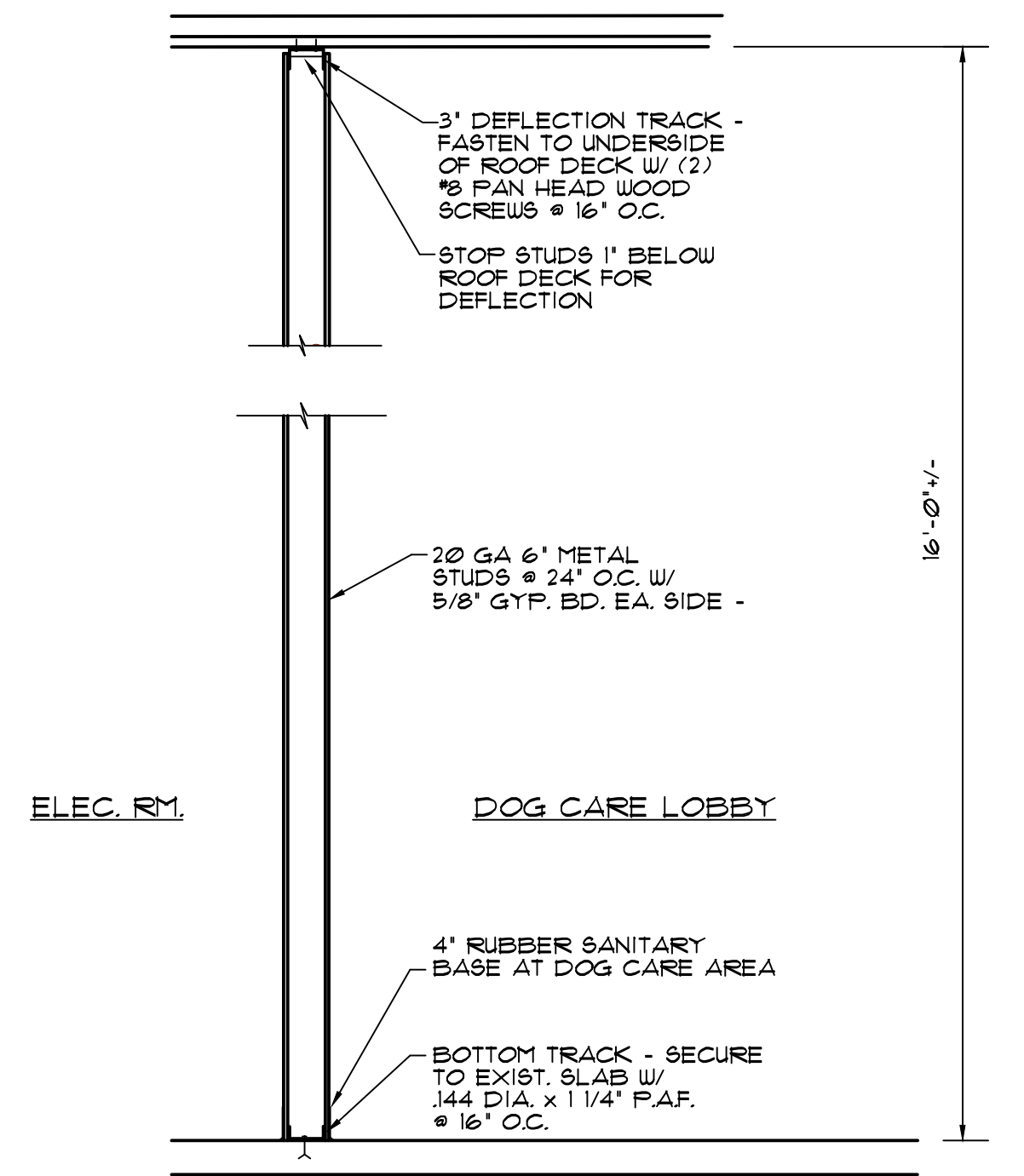
1
A3 SECTION AT FIRE BARRIER @ TWO STORY SPACE
NOTE: 1/2 HOUR FIRE BARRIER REQUIRED PER OSBC SECTION 107.3.3 - 4 HOUR FIRE BARRIER PROVIDED
1/4\"/>



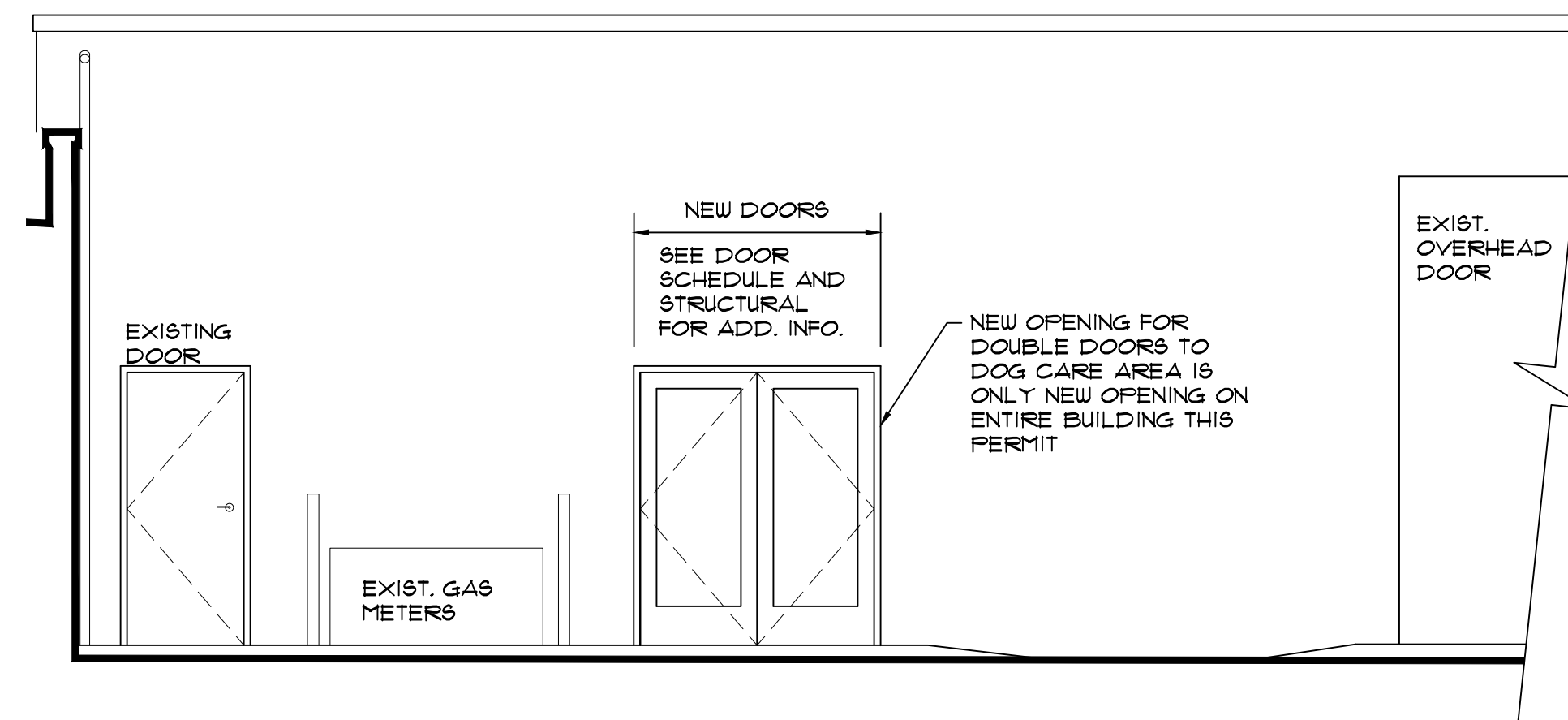
2
A3 SECTION AT FIRE BARRIER
1/4\"/>



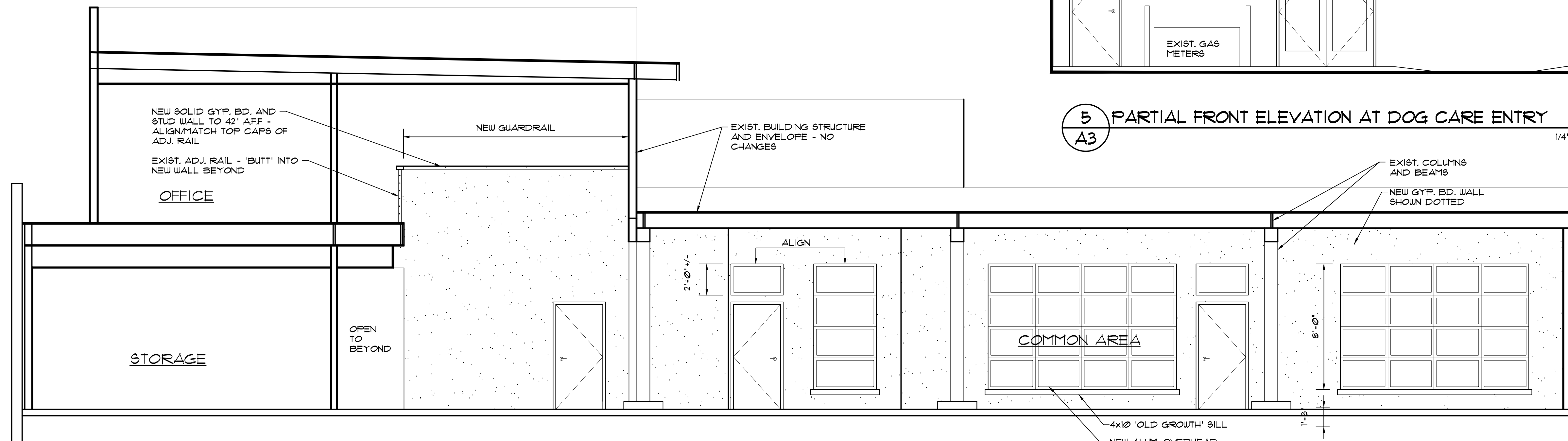
3
A3 SECTION AT KITCHEN/NEW 2ND FLOOR AREA
1/4\"/>



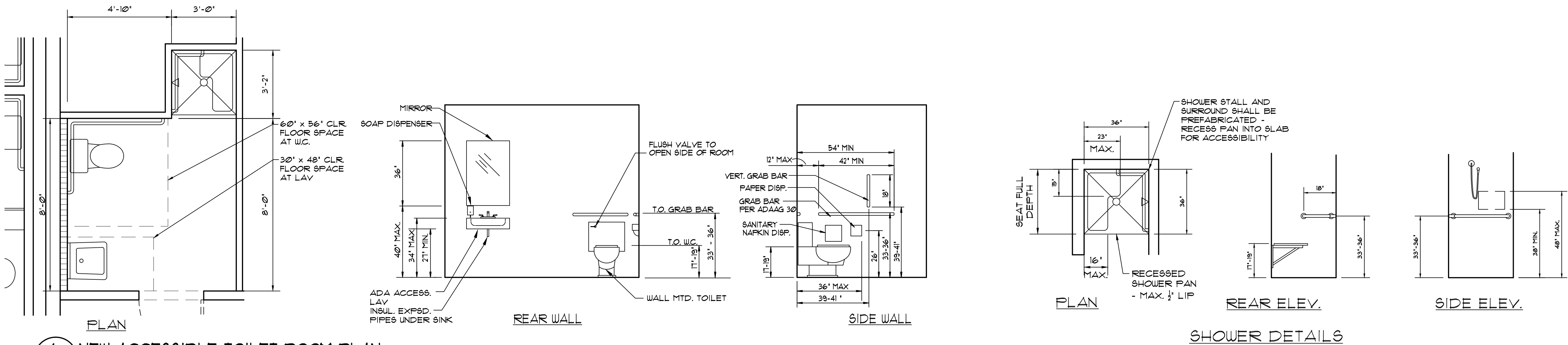
4
A5 NEW FULL HEIGHT WALL AT NORTH BLDG.
1/2\"/>



5
A3 PARTIAL FRONT ELEVATION AT DOG CARE ENTRY
1/4\"/>

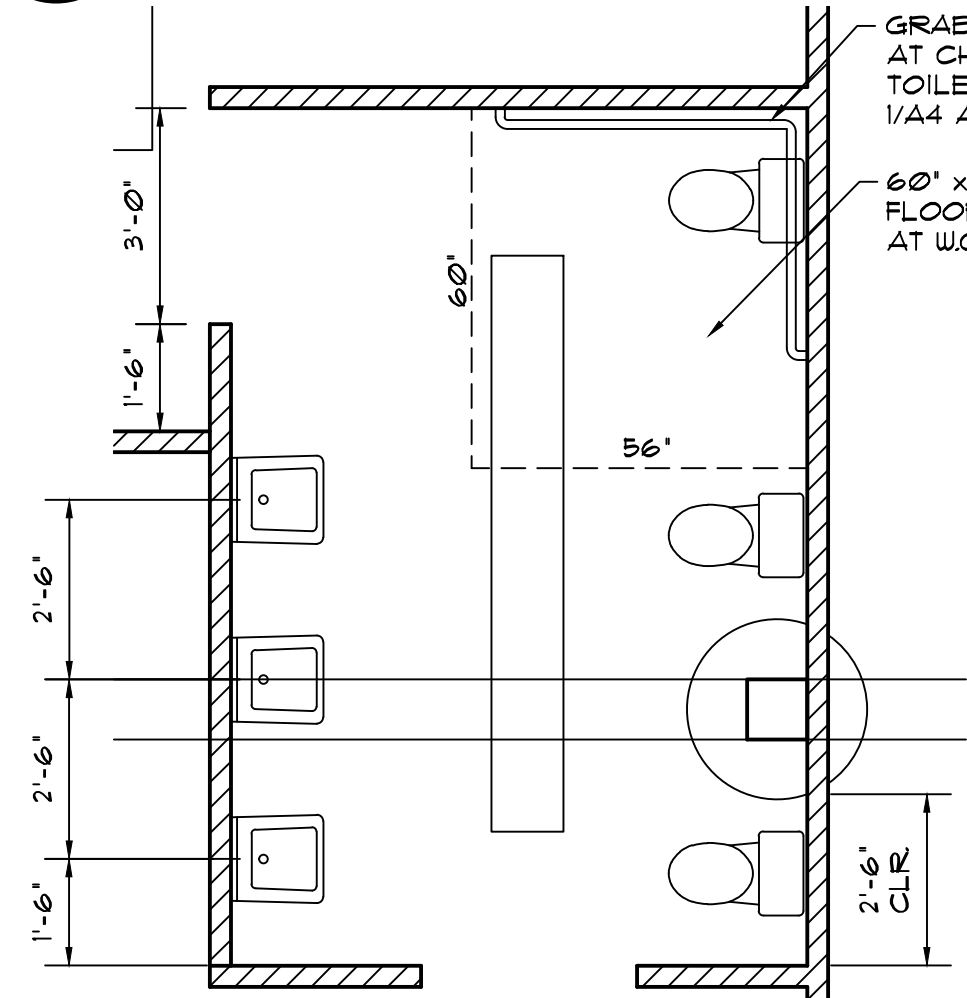


6
A3 CROSS SECTION LOOKING NORTH
1/4\"/>

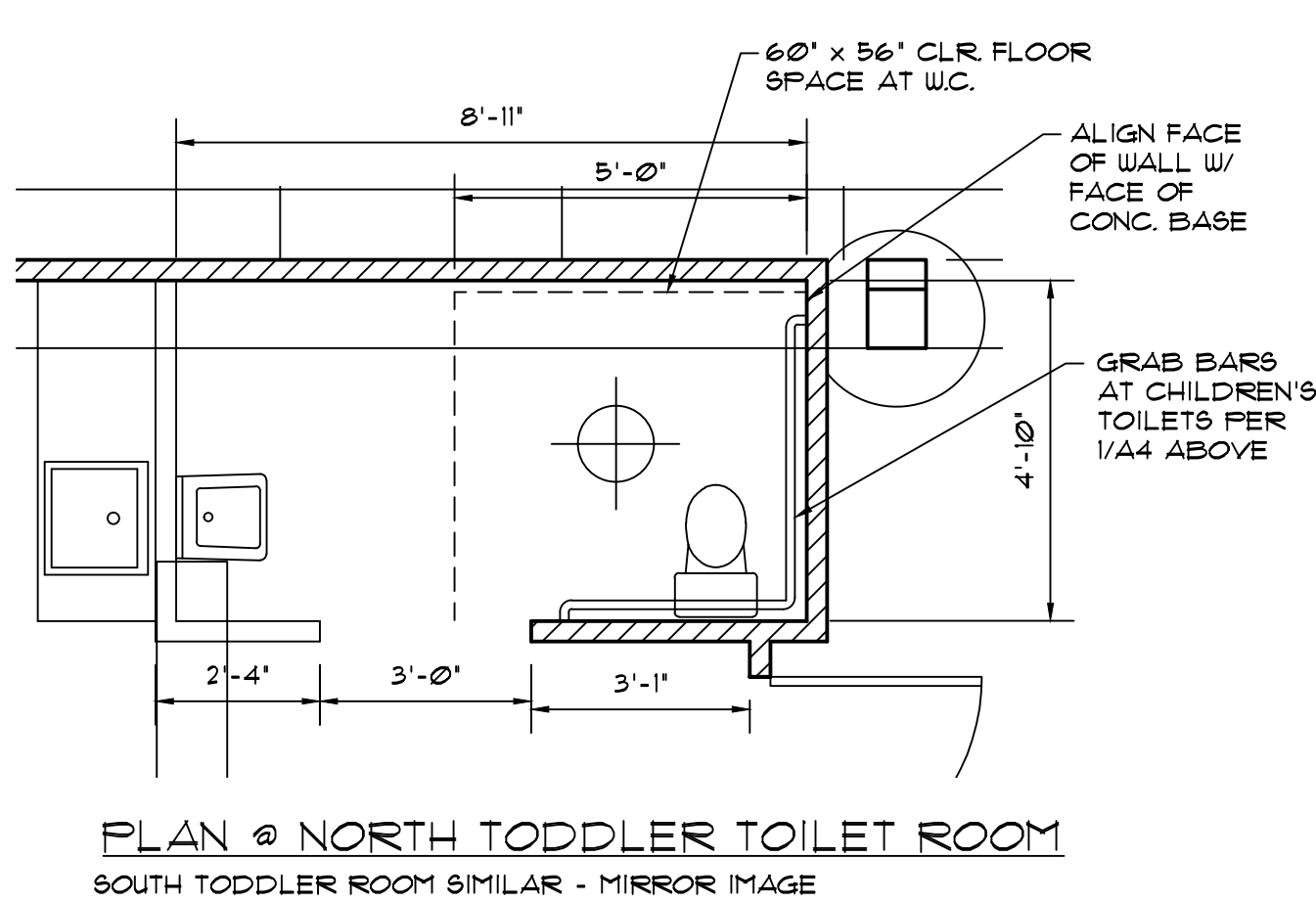


1 NEW ACCESSIBLE TOILET ROOM PLAN
A4

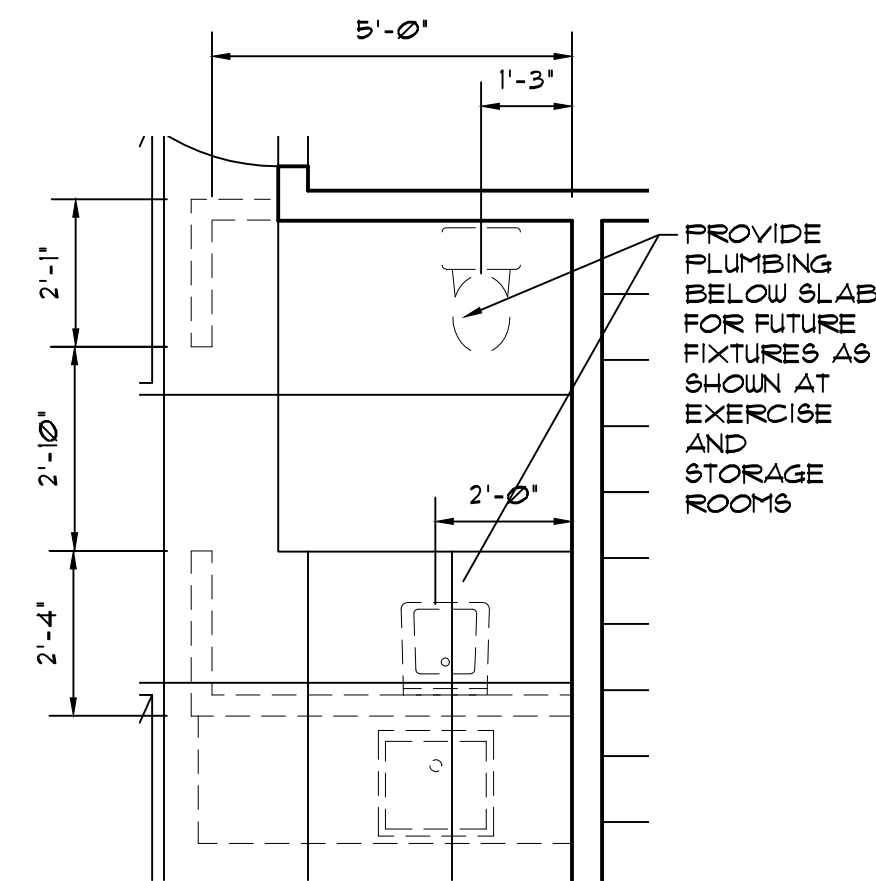
3/8" = 1'-0"



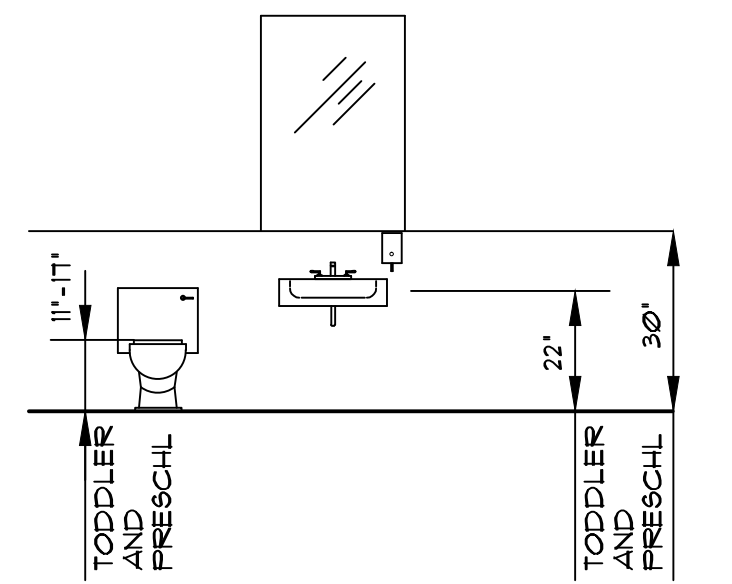
2 TODDLER AND PRESCHOOL TOILET ROOMS
A4



PLAN @ NORTH TODDLER TOILET ROOM
SOUTH TODDLER ROOM SIMILAR - MIRROR IMAGE



PLAN @ FUTURE TOILET ROOMS
* STORAGE AND EXERCISE ROOMS

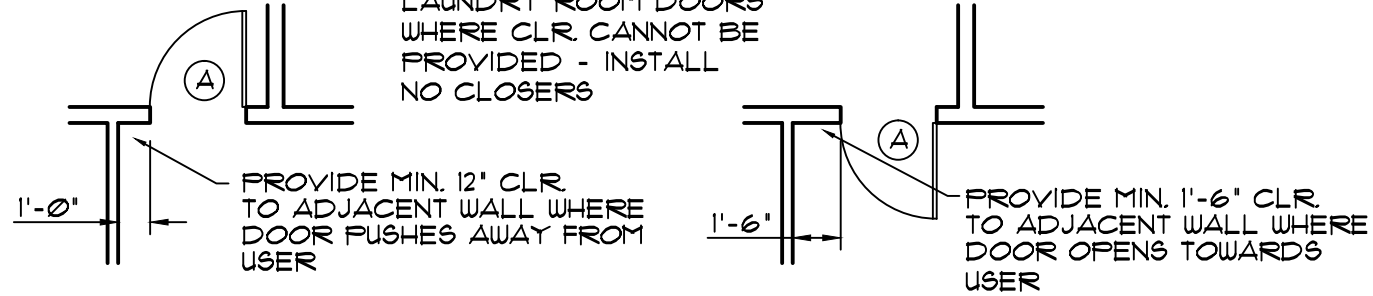


FIXTURE ELEVATION HEIGHTS

3/8" = 1'-0"

REQUIRED DOOR CLEARANCES

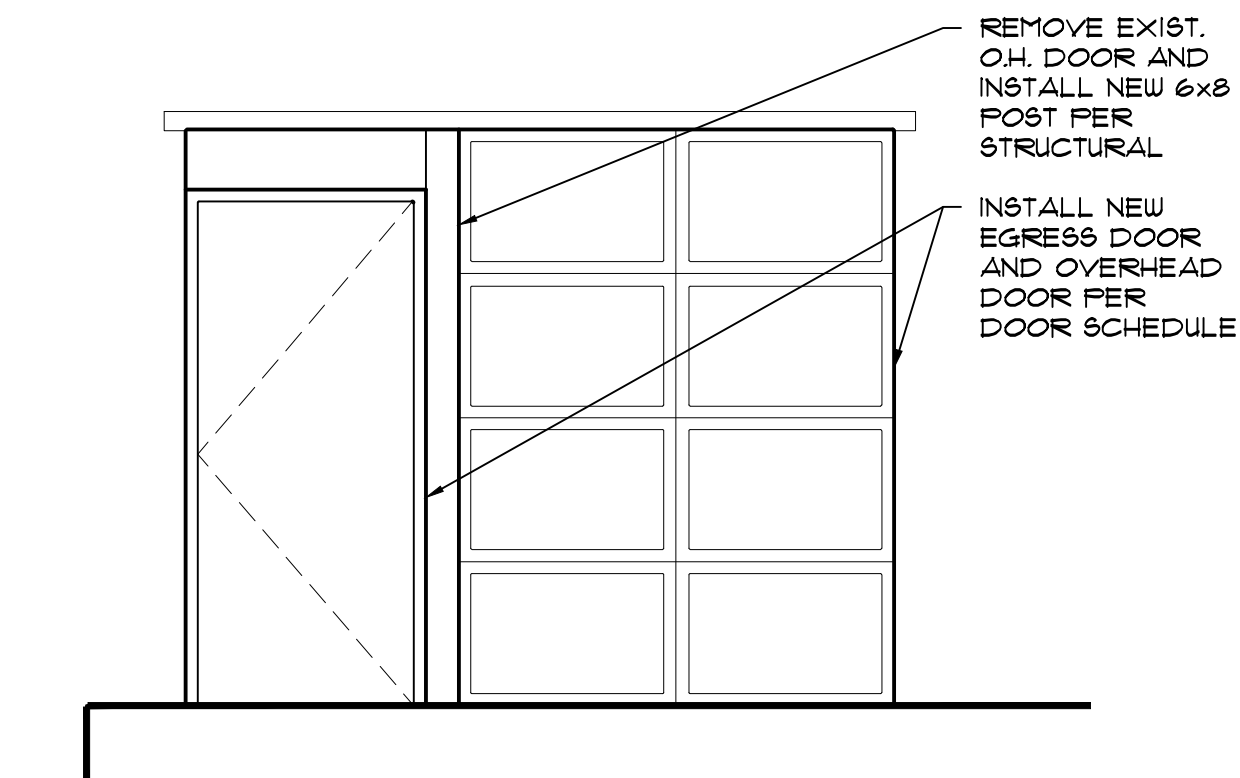
PROVIDE THE FOLLOWING CLEARANCES BETWEEN ALL NEW DOORS AND ADJACENT WALLS:



NOTE: AT KITCHEN AND LAUNDRY ROOM DOORS WHERE CLR. CANNOT BE PROVIDED - INSTALL NO CLOSERS

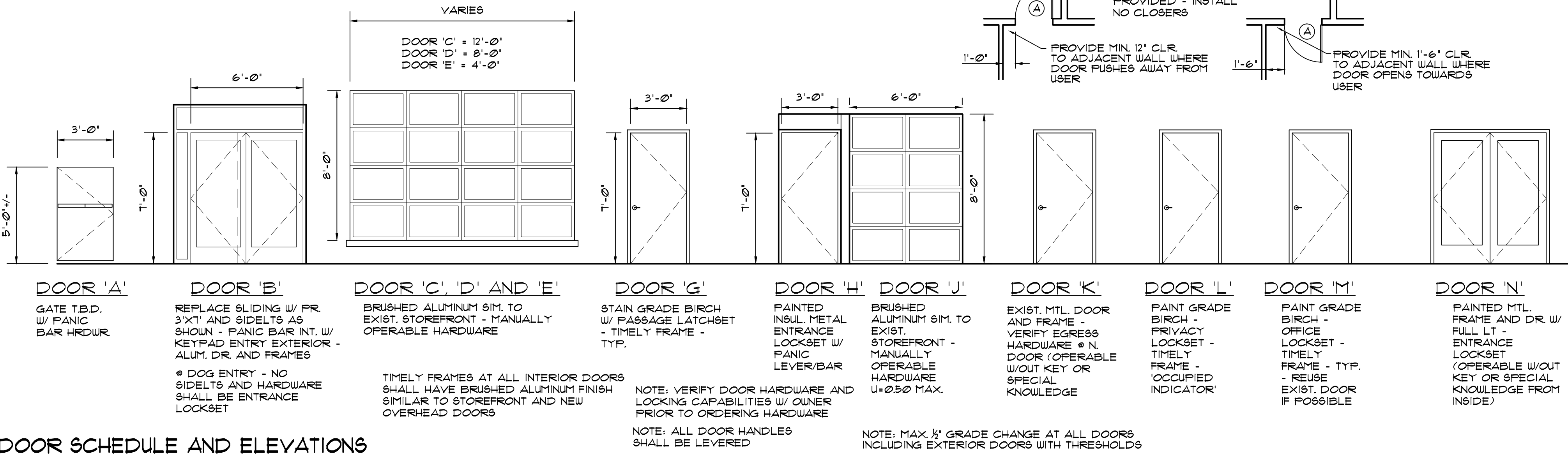
PROVIDE MIN. 12" CLR. TO ADJACENT WALL WHERE DOOR PUSHES AWAY FROM USER

PROVIDE MIN. 1'-6" CLR. TO ADJACENT WALL WHERE DOOR OPENS TOWARDS USER



3 OVERHEAD DOOR ELEVATION
A4

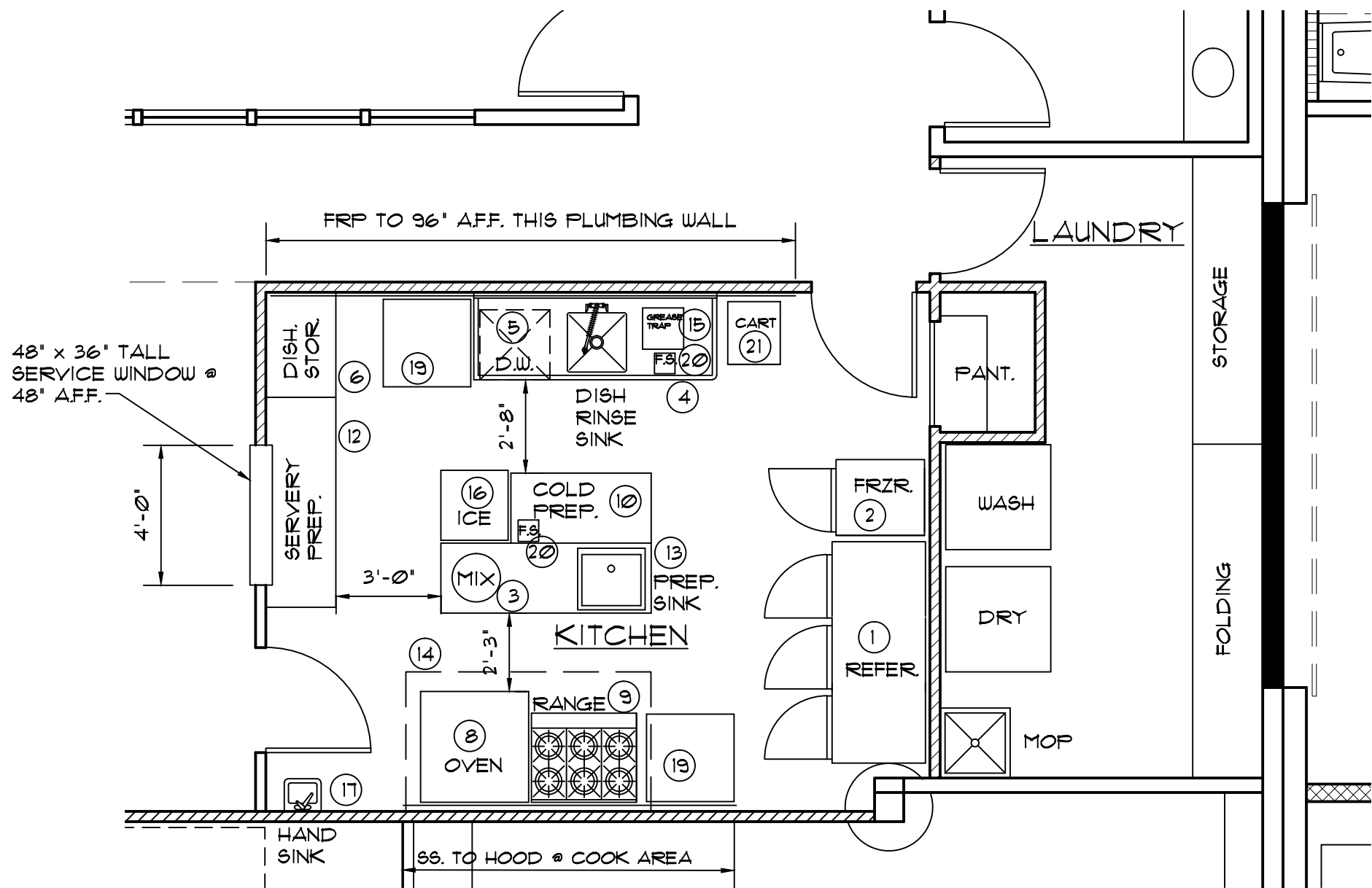
1/8" = 1'-0"



DOOR SCHEDULE AND ELEVATIONS

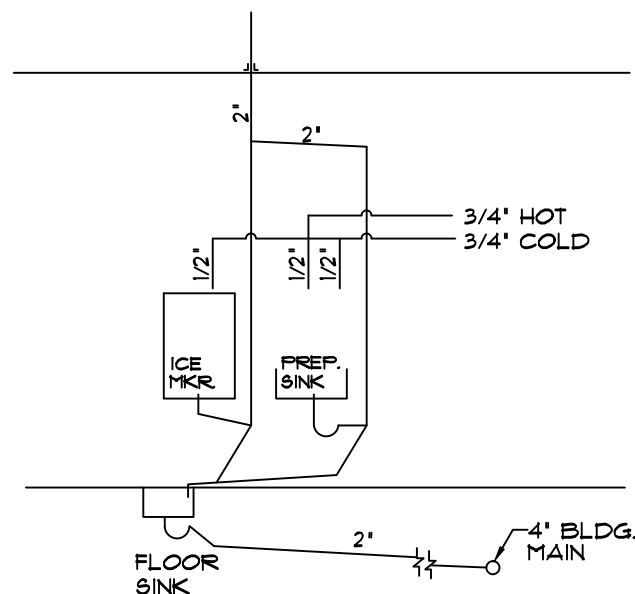
1/4" = 1'-0"

KITCHEN/LAUNDRY FINISH SUMMARY
FLOORS - STAINED/SEALED CONCRETE
WALLS - SEMI-GLOSS PAINT OR SS/FRP OVER GYP. BD. AS SHOWN
CEILING - SEMI-GLOSS PAINT ON GYP. BD.

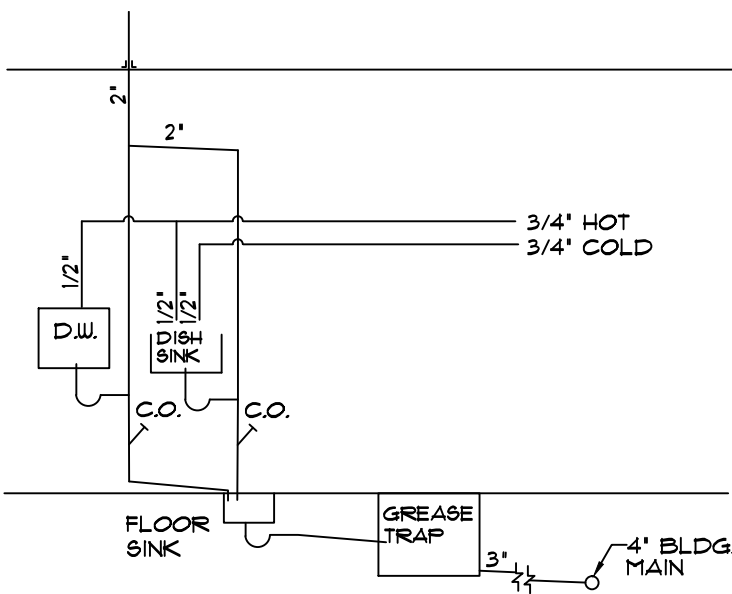


1 KITCHEN AND LAUNDRY ROOM PLANS
A5 1/4" = 1'-0"

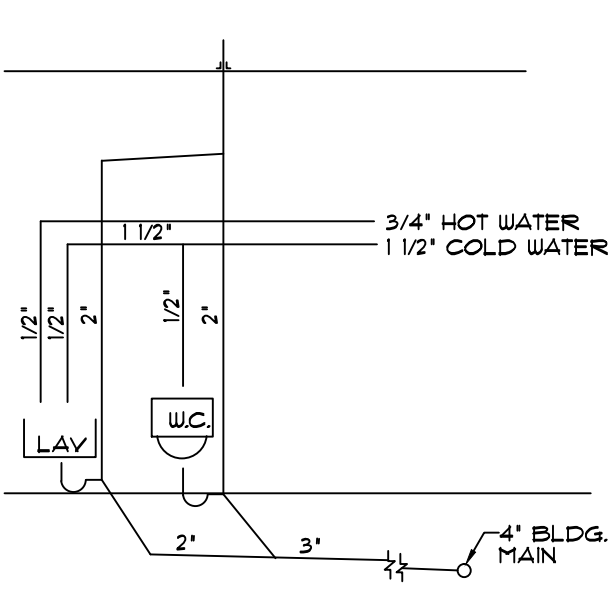
#	EQUIPMENT	MFR	DIMENSIONS			PLUMB	POWER	NOTES
			WIDTH	DEPTH	HEIGHT			
1	Refrigerator	Beverage Air BEVKR741AS	75"	32"	78"	-	115v/60hz/1ph	72 c.f.
2	Freezer	Beverage Air KF24-1AS	26"	36"	79"	-	115v/60hz/1ph	20 c.f.
3	Mixer and Stand	Globe GLOSP8	11.8"	15.8"	22.9"	-	115v/60hz/1ph/5amp	countertop model
4	Dishwash Counter & Rinse Sink	John Boos 18244-2D24 w/Krowne Metal Faucet 17-108WL	75"	29.5"	35.25"	1/2" NPT inlets, female/riser pipe 3/8" NPT	-	Stainless single compartment 24" x 24" dp sink with 2 24" drainboards ea side. Backsplash mtd faucet.
5	Dishwasher	American Dish Service ADSETAF3	38"	25"	29"	1/2" inlet; 1-1/2" outlet	115v/60/1ph/6amps	Under-counter, built in chem feed; 30 racks per hr
6	Dish Storage Rack	Cambro CSU44367	36"	18"	84"	-	-	Stl reinf Poly - 4 shelf w/ add'l shelves avail.
7	Soup Kettle	Globe CPSKB1	14"	16"	14"	-	400w/120v/3.5-amp	10 qt; countertop model
8	Double Oven	Bakers Pride Cyclone BCO-G1 or BGO-G2	38"	38"	42"/73"	-	120v/60hz	Single or double oven; 60,000 btuh/hr
9	Range	Hobart MGR36C	36"	31"	31"	-	115v/60hz	30,000btuh gas; 3/4" connection
10	Cold Prep Counter	John Boos JNS02	48"	24"	35"	-	-	1-1/2" Maple block top
11	Hot Prep Station	-	48"	30"	35"	-	-	Stainless Steel with lower shelf
12	Servery Prep Station	John Boos JOBFLG7224	72"	24"	35"	-	-	Stainless Steel with lower shelf
13	Cold Prep Counter & Sink	John Boos 671-741	72"	30"	35.5"	-	-	Left side counter/Stainless top/back splash will float above back counter & ice
14	Stove Hood with Fire Suppression System	specification by installer	84"	42"	-	-	-	Type 1 hood - UL Listed assembly anticipate at least 50 gallon
15	Grease Trap	spec by plumber	-	-	-	-	-	175 gal ice/day w/ 100 gal storage
16	Ice Maker	Ice-o-matic ICEU150HA	24"	24"	39"	3/8" water inlet	-	Stainless Steel wall mounted
17	Hand Sink	Krowne KROHS2	17"	16"	14"	-	-	High sink - can be used as mud sink
18	Mop Sink	Turbo-air TSA-1MOP	21"	21.5"	44"	-	-	Stainless Steel Worktop
19	Work Tables (2)	Advance Tabco TTS 300X	30"	30"	35.5"	-	-	-
20	Floor Sinks (2)	spec by plumber	12"	12"	6" - 8"	-	-	-
21	Serving Carts	Carlisle CAR CC203603	18"	21.25"	36.25"	-	-	need a minimum of 2



KITCHEN ISLAND

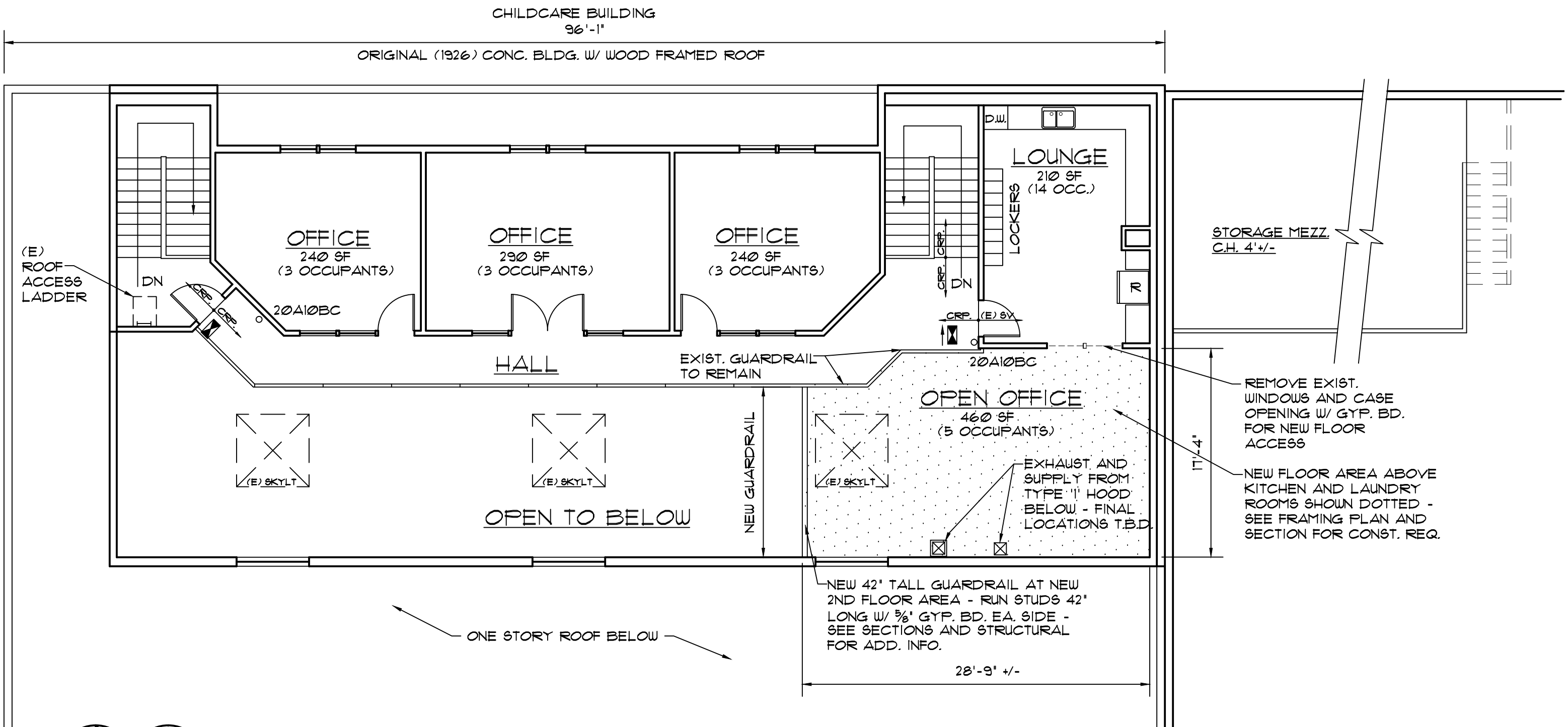


DISH WASHING AREA

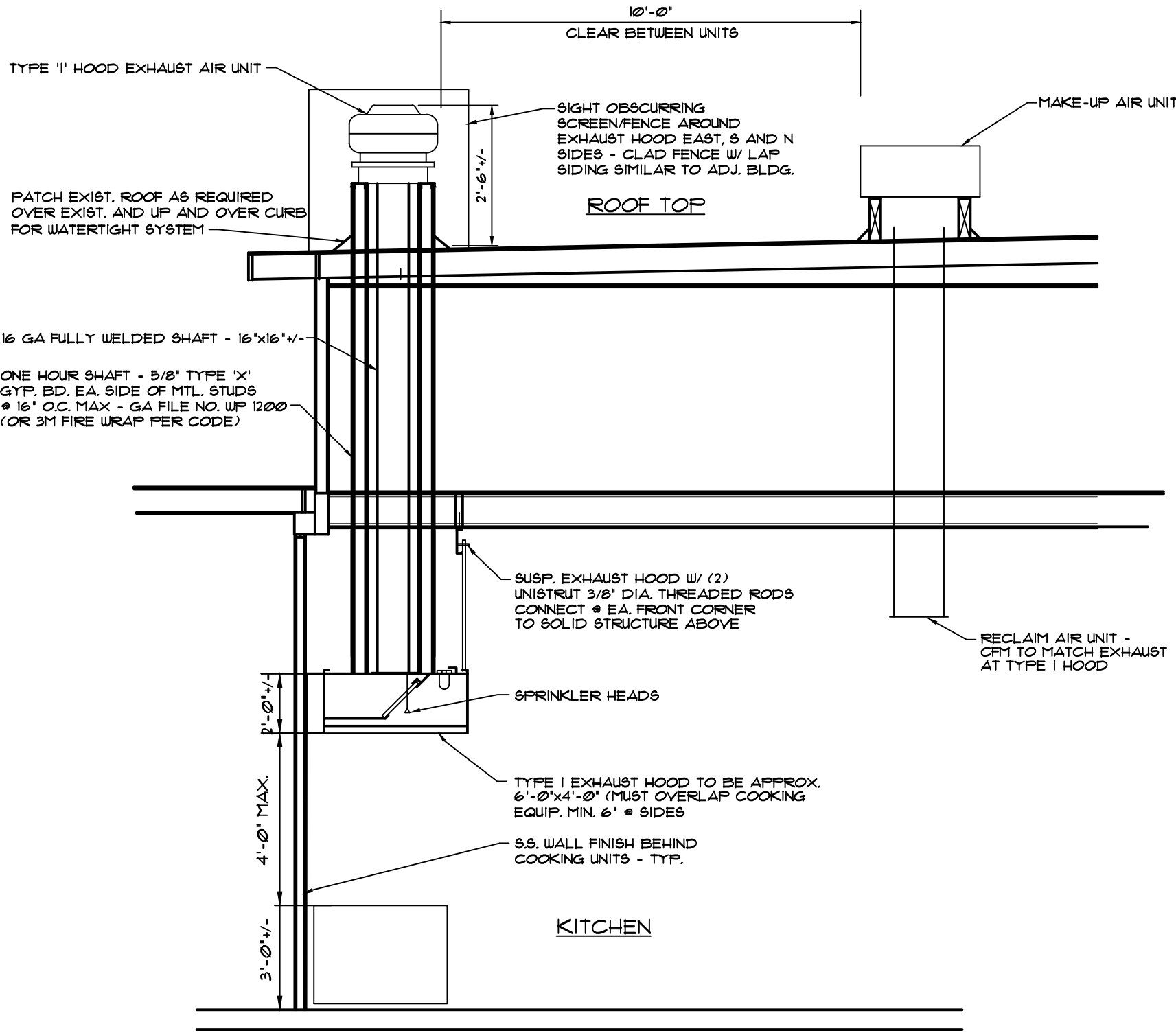


TYPICAL TOILET ROOM

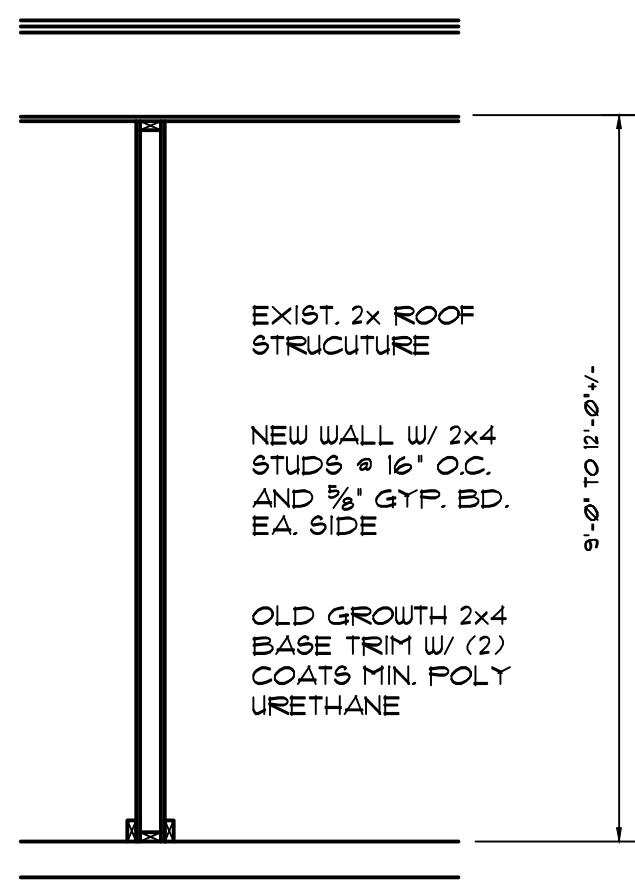
PLUMBING RISER DIAGRAMS



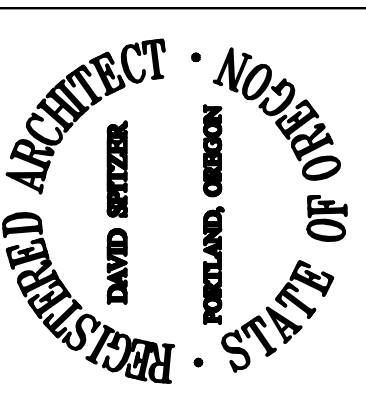
2 SECOND FLOOR PLAN
A5 1/8" = 1'-0"



3 SECTION AT ONE HOUR HOOD
A5 NT.S.



4 NEW WALL AND CHILD CARE AREAS
A5 1/2" = 1'-0"



2325 NE MILWAUKE BLVD.
PORTLAND, OR 97212
OFFICE 503 335 9040
DAVE@DMSARCHITECTS.COM

STEP BY STEP DAYCARE

4617 SE MILWAUKE AVENUE
PORTLAND, OREGON

SHEET CONTENT
KITCHEN PLAN/EQUIP. LIST
SECOND FLOOR PLAN
WALL DETAILS

JOB No.
000016

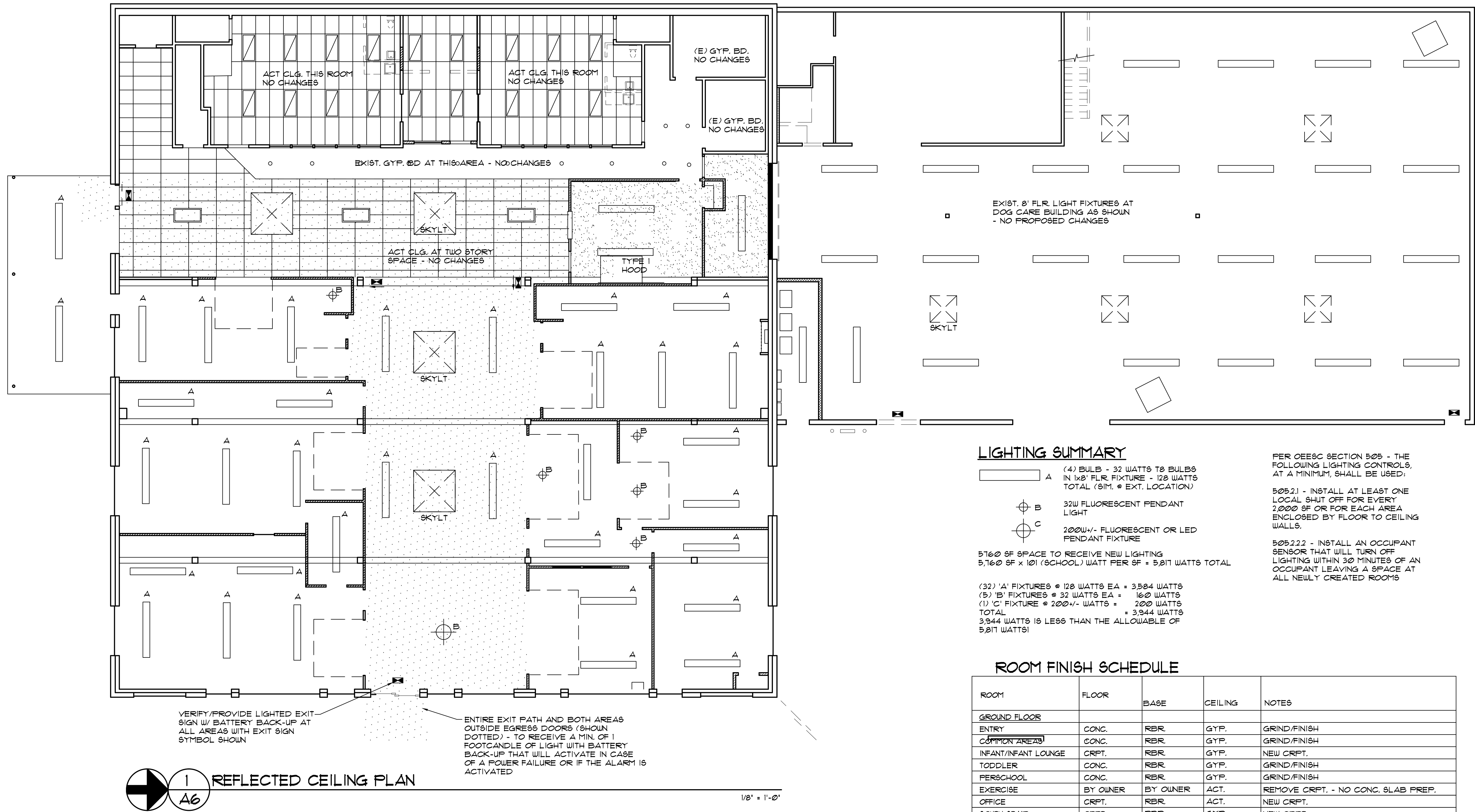
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DATE 11-18-13

REVISIONS
REV. 1 12-17-13

SHEET

A5 of 6



LIGHTING SUMMARY

(4) BULB - 32 WATTS TO BULBS IN 1x8' FLR FIXTURE - 128 WATTS TOTAL (51M. @ EXT. LOCATION)

32W FLUORESCENT PENDANT LIGHT

200W/- FLUORESCENT OR LED PENDANT FIXTURE

5760 SF SPACE TO RECEIVE NEW LIGHTING
5,760 SF x 101 (SCHOOL) WATT PER SF = 5811 WATTS TOTAL

(32) 'A' FIXTURES @ 128 WATTS EA = 3584 WATTS
(5) 'B' FIXTURES @ 32 WATTS EA = 160 WATTS
(1) 'C' FIXTURE @ 200W/- WATTS = 200 WATTS
TOTAL = 3944 WATTS
3944 WATTS IS LESS THAN THE ALLOWABLE OF 5811 WATTS!

PER OES&C SECTION 505 - THE FOLLOWING LIGHTING CONTROLS, AT A MINIMUM, SHALL BE USED:

505.21 - INSTALL AT LEAST ONE LOCAL SHUT OFF FOR EVERY 2,000 SF OR FOR EACH AREA ENCLOSED BY FLOOR TO CEILING WALLS.

505.22.2 - INSTALL AN OCCUPANT SENSOR THAT WILL TURN OFF LIGHTING WITHIN 30 MINUTES OF AN OCCUPANT LEAVING A SPACE AT ALL NEWLY CREATED ROOMS

ROOM FINISH SCHEDULE

ROOM	FLOOR	BASE	CEILING	NOTES
GROUND FLOOR				
ENTRY	CONC.	RBR.	GYP.	GRIND/FINISH
COMMON AREAS				
INFANT/INFANT LOUNGE	CRPT.	RBR.	GYP.	NEW CRPT.
TODDLER	CONC.	RBR.	GYP.	GRIND/FINISH
PERSCHOOL	CONC.	RBR.	GYP.	GRIND/FINISH
EXERCISE	BY OWNER	BY OWNER	ACT.	REMOVE CRPT. - NO CONC. SLAB PREP.
OFFICE	CRPT.	RBR.	ACT.	NEW CRPT.
SOUTH STAIR	CRPT.	RBR.	GYP.	NEW CRPT.
NORTH STAIR	CRPT.	RBR.	GYP.	NEW CRPT.
NORTH STAIR LOBBY	CONC.	RBR.	GYP.	REMOVE CRPT.
TOILET ROOMS	SHI. VNYL.	SHI. VNYL.	GYP.	REMOVE (E) S.V. - INTEGRAL COVE TO 6"
SECOND FLOOR				
LOUNGE	VCT	RBR.	ACT	REFURBISH (E) VCT
OFFICE(S) TYP. X3	CRPT.	RBR.	ACT	NEW CRPT.
HALL	CRPT.	RBR.	ACT	NEW CRPT.
OPEN OFFICE	CRPT.	RBR.	ACT	NEW FLOOR/NEW CRPT.

STEP BY STEP DAYCARE

4617 SE MILWAUKEE AVENUE
PORTLAND, OREGON

SHEET CONTENT
REFLECTED CEILING PLAN
SECOND FLOOR PLAN

JOB No.
000016

DRAWN
DMS

CHECKED
DATE 11-18-13

REVISIONS
REV. 1 12-17-13

SHEET
A6 of 6

REGISTERED ARCHITECT • NO. 9080
DAVID DMS
PORTLAND, OREGON

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OFFICE 503 335 9040
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