

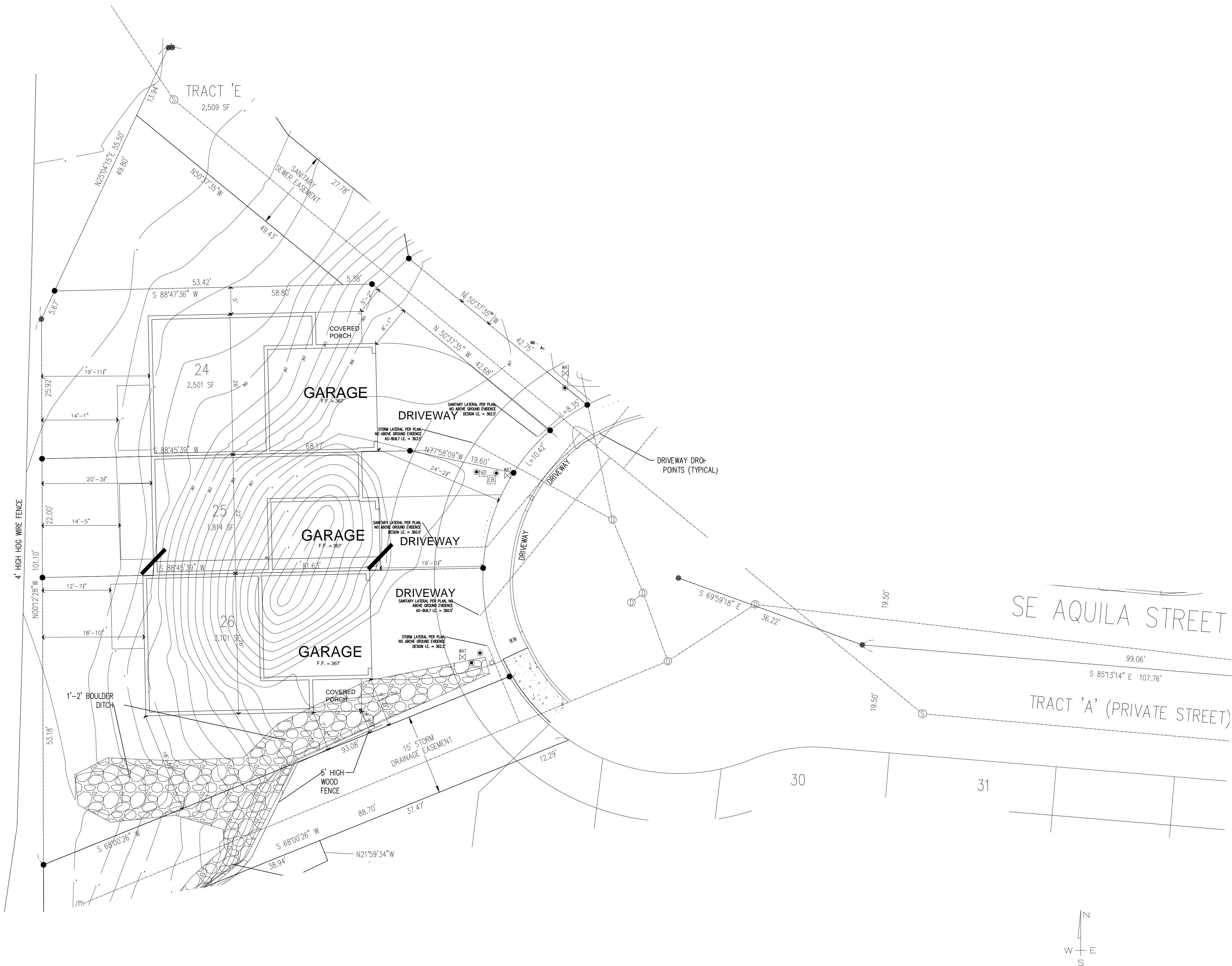
PROJECT: VOLARE TOWNHOMES  
HAPPY VALLEY, OREGON

CODE: 2010 OREGON RESIDENTIAL SPECIALTY CODE (ORSC)  
2010 OREGON STRUCTURAL SPECIALTY CODE

ZONING: CLACKAMAS COUNTY R-2.5

MAP NO.

OCCUPANY: R-3, ATTACHED ROW HOMES  
OREGON RESIDENTIAL SPECIALTY CODE, APPENDIX O



SITEPLAN

VOLARE TOWNHOMES, LLC

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and locations shown on these drawings and shall be responsible for any variations from dimensions set forth herein.

The type of material, finish, the installation and waterproofing details are all to be determined by the contractor. The contractor shall be responsible for obtaining all necessary permits and approvals from the local authority having jurisdiction. The contractor shall assume no responsibility for the integrity of the building envelope.

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VOLARE TOWNHOMES  
OFF CAUSEY AVENUE  
HAPPY VALLEY, OREGON

VOLARE TOWNHOMES, LLC.

SITEPLAN  
BUILDING 7

SCALE: 1"=10'  
DRAWN: SAR

SHEET  
A  
0.1  
942 TOP OF LOT 11-26

TABLE N101.1(2) ADDITIONAL MEASURES	
envelope enhancement measure (select one)	
1	<b>High efficiency walls &amp; windows:</b> Exterior walls - U-0.041/R-19.5 (insulation sheathing) SIPs and one of the following options: Windows - Max 15 percent of conditioned area or Windows - U-0.30
2	<b>High efficiency envelope:</b> Exterior walls - U-0.050/R-21 intermediate framing and Vaulted ceilings - U-0.033 / R-30A, and Flat Ceilings - U-0.025 / R-49, and Framed floors - U-0.025/R-38, and Windows - U.0301 and Doors - All doors U-0.20, or Additional 15 percent of permanently installed lighting fixtures as high-efficacy lamps or Conservation Measure D and E
3	<b>High efficiency ceiling, windows &amp; duct sealing:</b> (Cannot be used with Conservation Measure E) Vaulted ceilings - U-0.033 / R-30A*, and Flat ceilings - U-0.025/R-49, and Windows - U-0.30, and performance tested duct systems*
4	<b>High efficiency thermal envelope UA:</b> Proposed UA is 15% lower than the Code UA when calculated in Table N104.1(1)
5	<b>Building tightness testing, ventilation and duct sealing:</b> A mechanical exhaust, supply, or combination system providing whole-building ventilation rates specified in Table N101.1(3), or ASHRAE 62.2, and The dwelling shall be tested with a blower door and found to exhibit no more than: 1. 6.0 air changes per hour <sup>1</sup> , or 2. 5.0 air changes per hour <sup>1</sup> when used with Conservation Measure E, and Performance tested duct systems*
6	<b>Ducted HVAC systems within conditioned space:</b> (Cannot be used with Conservation Measure B or C) All ducts and air handler are contained within building envelope <sup>1</sup>

TABLE N101.1(2) ADDITIONAL MEASURES	
conservation measure (select one)	
A	High efficiency HVAC system: Gas-fired furnace or boiler with minimum AFUE of 90%, or Air-source heat pump with minimum HSPF of 8.5 or Closed-loop ground source heat pump with minimum COP of 3.0
B	High efficiency duct sealing: Certified performance tested duct systems or All ducts and air handler are contained within building envelope
C	Ductless Heat Pump: Replace electric resistance heating in at least the primary zone of dwelling with at least one ductless mini-split heat pump having a minimum HSPF of 8.5. Unit shall not have integrated backup resistance heat, and the unit (or units, if more than one is installed in the dwelling) shall be sized to have capacity to meet the entire dwelling design heat loss rate at outdoor design temperature condition. Conventional electric resistance heating may be provided for any secondary zones in the dwelling. A packaged terminal heat pump (PTHP) with comparable efficiency ratings may be used when no supplemental zonal heaters are installed in the building and integrated backup resistance heat is allowed in a PTHP.
D	<b>High efficiency water heating &amp; lighting:</b> Natural gas/propane, on demand water heating with min EF of 0.80, and A minimum 15 percent of permanently installed lighting fixtures as CFL or linear fluorescent or a min efficacy of 40 lumens per watt as specified in Section N107.2c
E	<b>Energy management devise &amp; duct sealing:</b> Whole building energy management device that is capable of monitoring or controlling energy consumption, and Performance tested duct systemsb, and A minimum 15 percent of permanently installed lighting fixtures as high-efficacy lamps
F	Solar photovoltaic: Minimum 1 Watt / sq ft. conditioned floor space
G	Solar water heating: Minimum of 40 ft <sup>2</sup> of gross collector area

For 5k, 1 square foot = 0.0753 m<sup>2</sup>, 1 watt per square foot = 10.76 W/m<sup>2</sup>

a. Furnaces located within the building envelope shall have sealed combustion air installed. Combustion air shall be ducted directly from the outdoors.

b. Documentation of Performance Tested Ductwork shall be submitted to the Building Official upon completion of work. This work shall be performed by a contractor that is certified by the Oregon Department of Energy's (ODOE) Residential Energy Tax Credit program and documentation shall be provided that work demonstrates conformance to ODOE duct performance standards.

c. Section N1107.2 requires 50 percent of permanently installed lighting fixtures contain high efficacy lamps. Each of these additional measures adds an additional percent to the Section N1107.2 requirement.

d. A = advanced frame construction, which shall provide full required ceiling insulation value to the outside of exterior walls.

e. The maximum vaulted ceiling surface area shall not be greater than 50 percent of the total heated space floor area unless vaulted area has a U-factor no greater than U-0.026.

f. Building tightness test shall be conducted with a blower door depressurizing the dwelling 50 Pascal's from ambient conditions. Documentation of blower door test shall be submitted to the Building Official upon completion of work.

g. Solar electric system size shall include documentation indicating that Total Solar Resource Fraction is not less than 75 percent.

h. Solar water heating panels shall be Solar Rating and Certification Corporation (SRCC) Standard OG-300 certified and labeled, with documentation indicating that Total Solar Resource Fraction is not less than 75 percent.

i. A total of 5 percent of an HVAC system's ductwork shall be permitted to be located outside of the conditioned space. Ducts located outside the conditioned space shall have insulation installed as required in this code.

TABLE N101.1(1) PRESCRIPTIVE ENVELOPE REQUIREMENTS <sup>a</sup>		
Building Component	Standard Base Case	
	Required Performance	Equivalent Value
Wall insulation-above grade	U-0.060	R-21 <sup>c</sup>
Wall insulation-below grade <sup>a</sup>	F-0.565	R-15
Flat ceilings <sup>f</sup>	U-0.031	R-38
Vaulted ceilings <sup>g</sup>	U-0.042	R-38 <sup>g</sup>
Underfloors	U-0.028	R-30
Slab edge perimeter	F-0.520	R-15
Heated slab interior <sup>f</sup>	n/a	R-10
Windows <sup>f</sup>	U-0.35	U-0.35
Window area limitation <sup>k</sup>	n/a	n/a
Skylights <sup>f</sup>	U-0.60	U-0.60
Exterior doors <sup>a</sup>	U-0.20	U-0.20
Exterior doors w/25 ft <sup>2</sup> glazing <sup>f</sup>	U-0.40	U-0.40
Forced air duct insulation	n/a	R-8

- a. As allowed in section N104.1, thermal performance of a component may be adjusted provided that overall heat loss does not exceed the total resulting from conformance to the required U-value standards. Calculations to document equivalent heat loss shall be performed using the procedure and approved U-values contained in Table N1104.1(1).
- b. R-values used in this table are nominal, for the insulation only in standard wood framed construction and not for the entire assembly.
- c. Wall insulation requirements apply to all exterior wood framed, concrete or masonry walls that are above grade. This includes cripple walls and rim joint areas. R-19 Advanced Frame or 2x4 wall with rigid insulation may be substituted is total nominal insulation R-value is 18.5 or greater.
- d. The wall component shall be a minimum solid log or timber wall thickness of 3.5 inches (90mm).
- e. Below-grade wood, concrete or masonry walls include all walls that are below grade and does not include those portions of such wall that extend more than 24 inches above grade.
- f. Insulation levels for ceilings that have limited attic/rafter depth such as dormers, bay windows or similar architectural features totaling not more than 150 square feet (13.9m<sup>2</sup>) in area may be reduced to not less than R-21. When reduced, the cavity shall be filled (except for required ventilation spaces).
- g. The maximum vaulted ceiling surface area shall not be greater than 50 percent of the total heated space floor area unless area has a U-factor no greater than U-0.031. The U-factor of 0.042 is representative of a vaulted scissor truss. A 10-inch deep rafter vaulted ceiling with R-30 insulation is U-0.033 and complies with this requirement, not to exceed 50 percent of the total heated space floor area.
- h. Advanced frame construction, which shall provide full required insulating value to the outside of exterior walls.
- i. Heated slab interior applies to concrete slab floors (both on and below grade) that incorporate a radiant heating system within the slab. Insulation shall be installed underneath the entire slab.
- j. Sliding glass doors shall comply with window performance requirements. Windows exempt from testing in accordance with NF1111.2 Item 3 shall comply with window performance requirements if constructed with thermal break aluminum or wood, or vinyl, or fiberglass frames and double pane glazing with low-emissivity coatings of 0.10 or less. Buildings designed to incorporate passive solar elements may include glazing with U-factor greater than 0.35 by using Table N1104.1(1) to demonstrate equivalence to building envelope requirements.
- k. Reduced window area may not be used as a trade-off criterion for thermal performance of any component.
- l. Skylight area installed at 2% or less of total heated space floor area shall be deemed to satisfy this requirement with vinyl, wood, or thermally broken aluminum frames and double-pane glazing with low-emissivity coatings. Skylight U-factor is tested in the 20 degree overhead plane per NFRC standards.
- m. A maximum of 28 square feet (2.6 m<sup>2</sup>) of exterior door area per dwelling unit can have a U-factor of 0.40 or less.
- n. Glazing that is either double pane with low-e coating on one surface, or triple pane shall be deemed to comply with this U-0.40 requirement.



REAR ELEVATION

LOT 24

LOT 25

LOT 26

1/4"=1'-0"



FRONT ELEVATION

LOT 26

LOT 25

LOT 24

1/4"=1'-0"

VOLARE TOWNHOMES, LLC

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VOLARE TOWNHOMES  
OFF CAUSEY AVENUE  
HAPPY VALLEY, OREGON

VOLARE TOWNHOMES, LLC.

ELEVATIONS  
BUILDING 7

SCALE: SAR  
DRAWN:

SHEET

A  
1.0  
building 1

FLASHING NOTE: USE APPROVED CORROSION RESISTANT FLASHING IN ALL OF THE FOLLOWING AREAS:

1. AT THE TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS IN SUCH A MANNER TO BE LEAK PROOF, EXCEPT THAT SELF FLASHING WINDOWS CONTINUOUS LAP OF NOT LESS THAN 1/8" OVER THE SHEATHING MATERIAL AROUND THE PERIMETER OF THE OPENING, INCLUDING THE CORNERS DO NOT REQUIRE FLASHING.

2. AT THE INTERSECTION OF CHIMNEYS AND OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.

3. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.

4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.

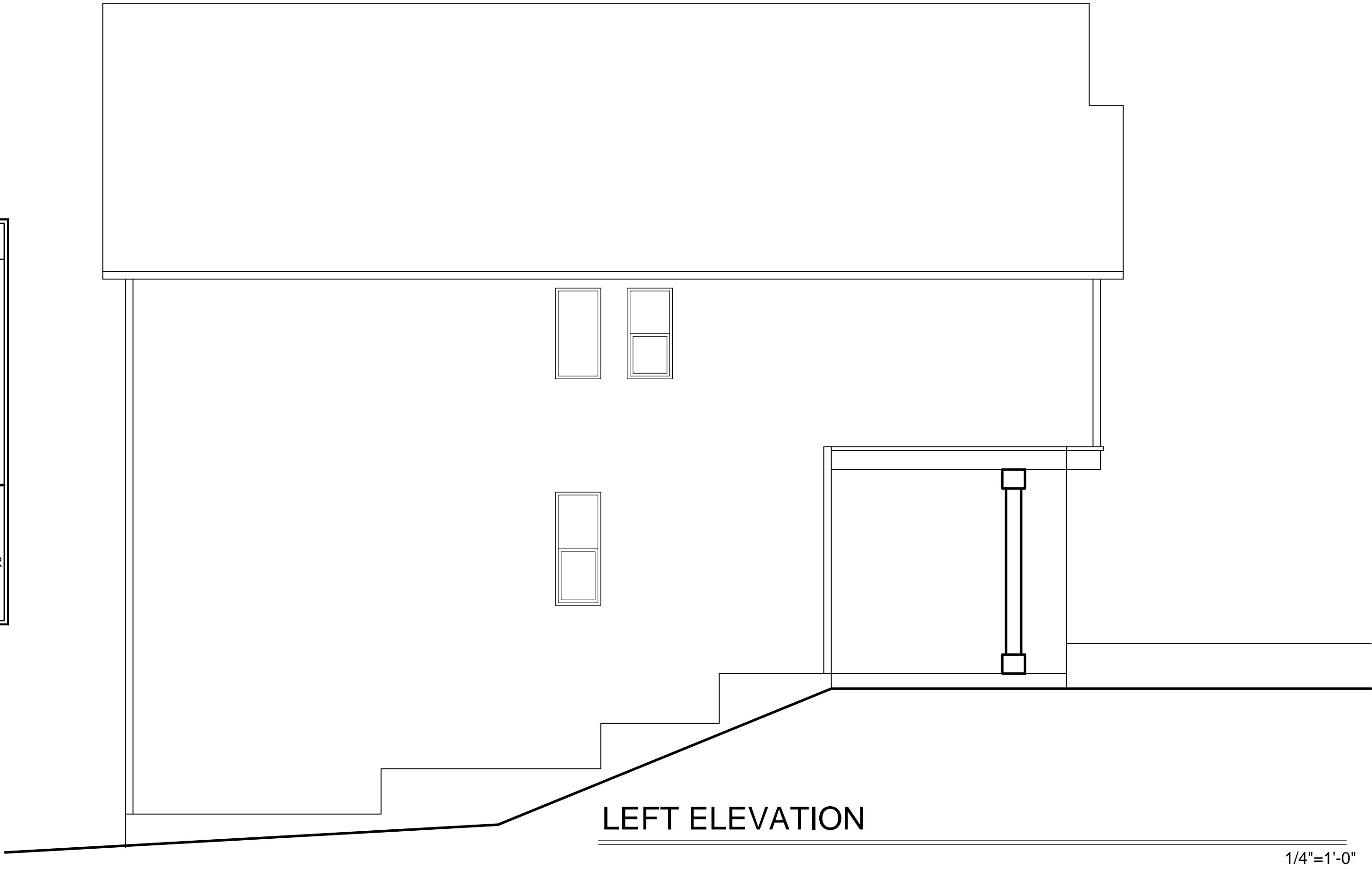
5. WHERE EXTERIOR PORCHES, DECKS, OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD CONSTRUCTION.

6. AT WALL AND ROOF INTERSECTIONS.

1. AT BUILT IN GUTTERS PER IRC SECTION R1023.2.

SHEAR WALL BOTTOM PLATE NAILING & ALL NAILING AT PRESSURE TREATED PLATE MEMBERS SHALL BE HOT DIPPED ZINC COATED GALV. STEEL OR STAINLESS STEEL NAILS PER IRC 319.3

FASTENERS FOR PRESSURE PRESERVATIVE & FIRE RETARDANT TREATED WOOD SHALL BE HOT DIPPED GALV. STEEL, STAINLESS STEEL, SILICON, BRONZE, OR COPPER PER IRC 3203.1 FIELD CUT END, NOTCHES, AND DRILLED HOLES OF PRESSURE TREATED WOOD SHALL BE RETREATED IN THE FIELD IN ACCORDANCE WITH AUPA M4.



GENERAL NOTES:

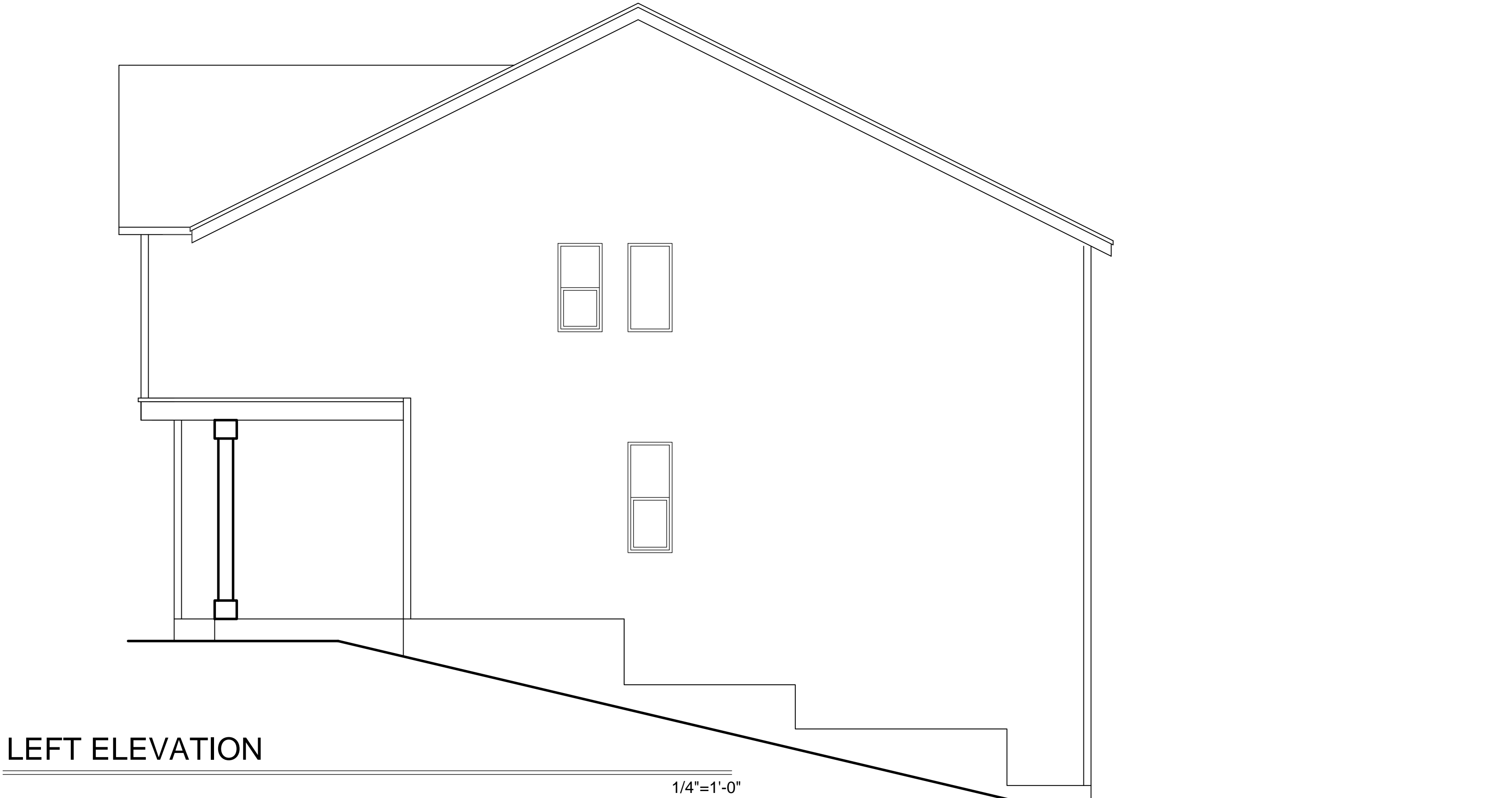
1. ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE LATEST EDITION OF LOCAL BUILDING CODE, ONE AND TWO FAMILY DWELLING CODES AND ALL OTHER GOVERNING CODES, LAWS AND REGULATIONS.
2. **SITE/CONSTRUCTION DOCUMENTS AND CONSTRUCTION PHASE:**  
CONTRACTOR SHALL NOT SCALE THE DRAWINGS, OR DETAILS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AT THE JOBSITE.  
NOTIFY DESIGN AGENCY IN WRITING OF ANY SIGNIFICANT DEVIATIONS, ANY CHANGES TO CONSTRUCTION DOCUMENTS OR IF ADDITIONAL DETAILS, SPECIFICATIONS ARE NEEDED FOR PROPER EXECUTION OF THE WORK. ALSO NOTIFY DESIGN AGENCY IN WRITING IF THERE ARE ANY CORRECTIONS OR CHANGES TO BE MADE TO THE CONSTRUCTION DOCUMENTS REQUIRED BY THE PLANNING/BUILDING DEPARTMENT OFFICIALS. PLANS CORRECTION LIST OR COMMENTS FROM THE PLANNING/BUILDING DEPARTMENT OFFICIALS MUST BE DELIVERED TO THE DESIGN AGENCY.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL TRADES, INCLUDING ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL REQUIREMENTS.
4. MECHANICAL AND ELECTRICAL WORK IS ON A CONTRACTOR DESIGN/BUILD BASIS. COORDINATE ALL ARCHITECTURAL AND STRUCTURAL WORK WITH MECHANICAL AND ELECTRICAL REQUIREMENTS.
5. ALL DIMENSIONS ARE TO THE FACE OF FRAMING MEMBERS UNLESS NOTED OTHERWISE.  
ALL EXTERIOR WALLS TO BE 2x4 STUDS AT 16" O.C. ALL INTERIOR WALLS TO BE 2x4 STUDS AT 16" O.C. UNLESS NOTED OTHERWISE.
6. COORDINATE ALL ITEMS NOT SHOWN OR NOTED WITH OWNER AND/OR DESIGNER, INCLUDING BUT NOT LIMITED TO FINISHES, COLORS, CABINETS, HARDWARE, FIXTURES, ETC..
7. SEAL OR WEATHER STRIP ALL EXTERIOR OPENINGS AND PENETRATIONS IN MANNER TO PREVENT OUTSIDE AIR INFILTRATION AND MOISTURE FROM ENTERING STRUCTURAL AND OCCUPIED SPACES, INCLUDING AROUND PLUMBING AND ELECTRICAL LINES AND EQUIPMENT PASSING THROUGH WALLS, GUTTERS, DOWNSPOUTS, ETC..
8. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO FOLLOW AND COORDINATE PER THE MANUFACTURER'S PRINTED INSTRUCTIONS, SPECIFICATIONS AND INSTALLATION DETAILS THE INSTALLATION OF ALL BUILDING PRODUCTS (INTERIOR AND EXTERIOR) FIXTURES, EQUIPMENT, ETC., OR FOLLOW THE INDUSTRY STANDARD DETAILS FOR ALL THE CONDITIONS NOT SHOWN ON THE DRAWINGS FOR PROPER EXECUTION OF THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.  
THE DESIGN AGENCY MUST BE NOTIFIED IN WRITING TO PROVIDE ADDITIONAL DETAILS, SPECIFICATIONS OR INFORMATION PER REQUEST OF THE GENERAL CONTRACTOR OR OWNER FOR PROPER EXECUTION OF THE WORK.

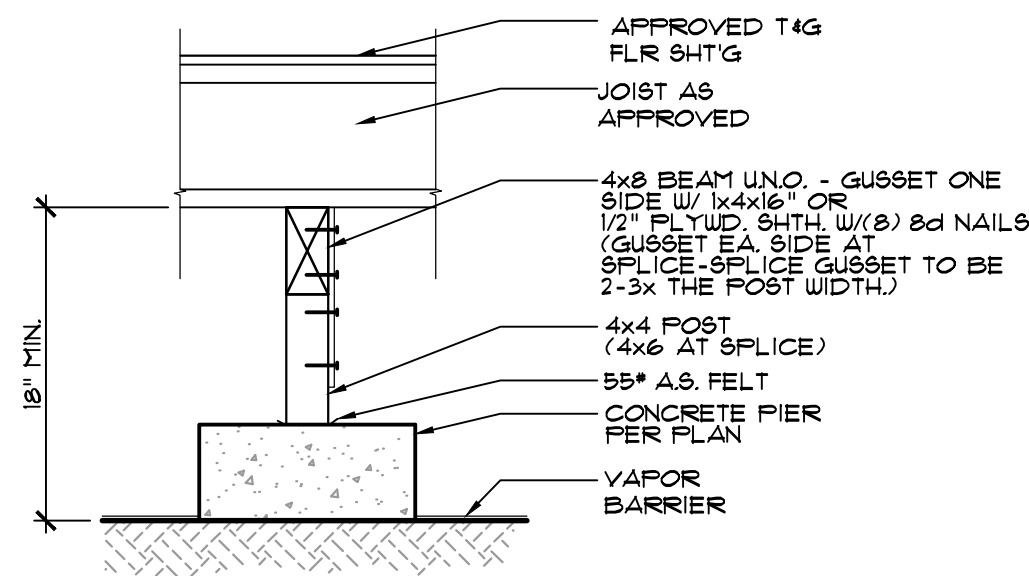
CONSTRUCTION PHASE

THE DESIGNER SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION PLANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTORS RESPONSIBILITY UNDER CONTRACT FOR CONSTRUCTION.  
THE DESIGNER SHALL NOT BE RESPONSIBLE FOR CONTRACTORS SCHEDULES OR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.

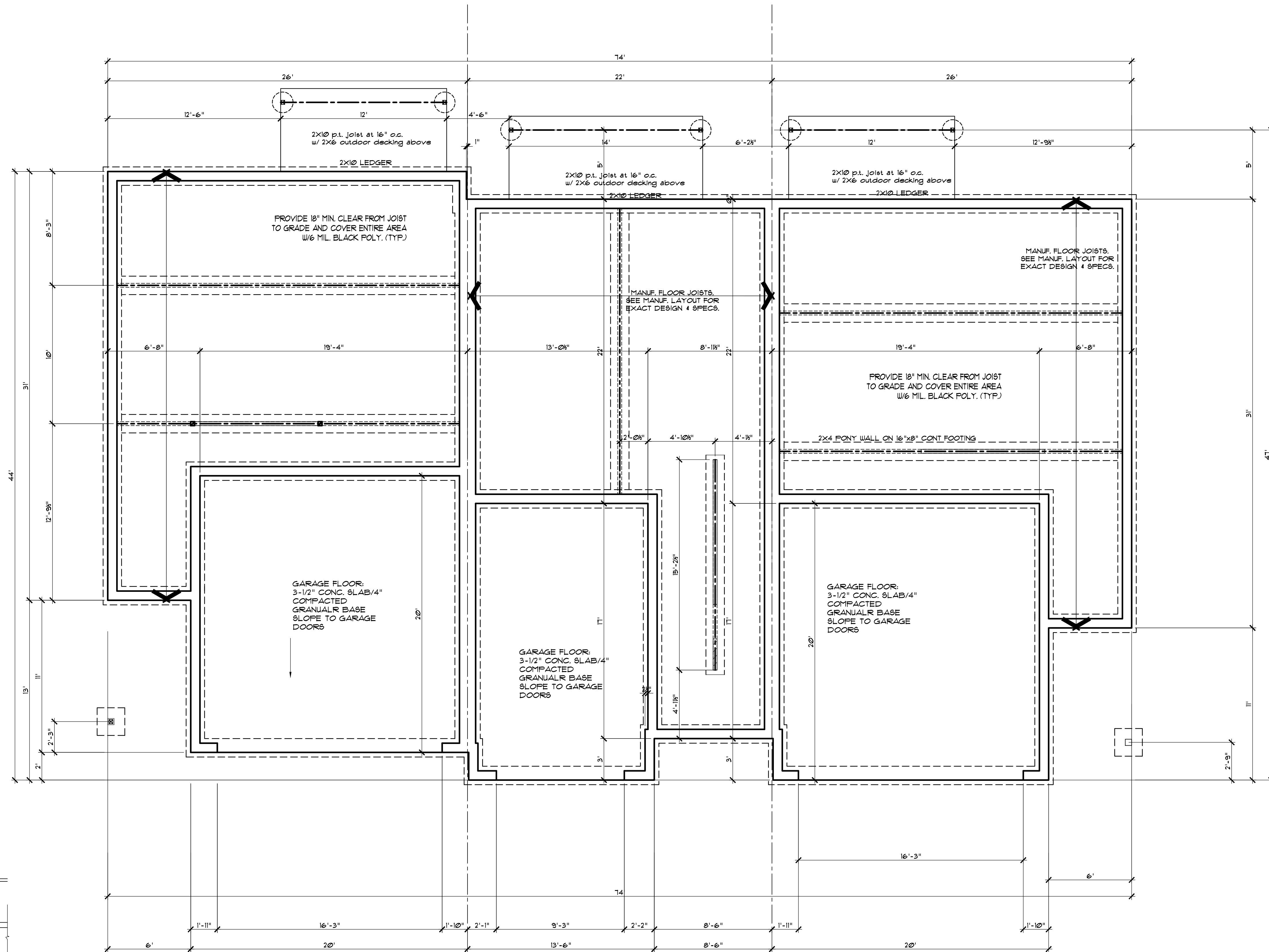
MATERIAL SPECIFICATION NOTE:

THE DESIGNER DOES NOT RECOMMEND OR SPECIFY USE OF ANY TYPE OF "STUCCO PRODUCTS" OR EXTERIOR INSULATED AND FINISH SYSTEM "EIFS" FOR THE EXTERIOR OF THE HOUSE.  
THE DESIGNER WILL NOT BE LIABLE FOR ANY KIND OF DAMAGES TO THE BUILDING (STRUCTURAL OR COSMETIC) IF THE OWNER OR THE CONTRACTOR DECIDE TO USE SUCH PRODUCTS.





**B** INTERIOR POST & BEAM W/JOISTS  
2 3/4" = 1'-0"



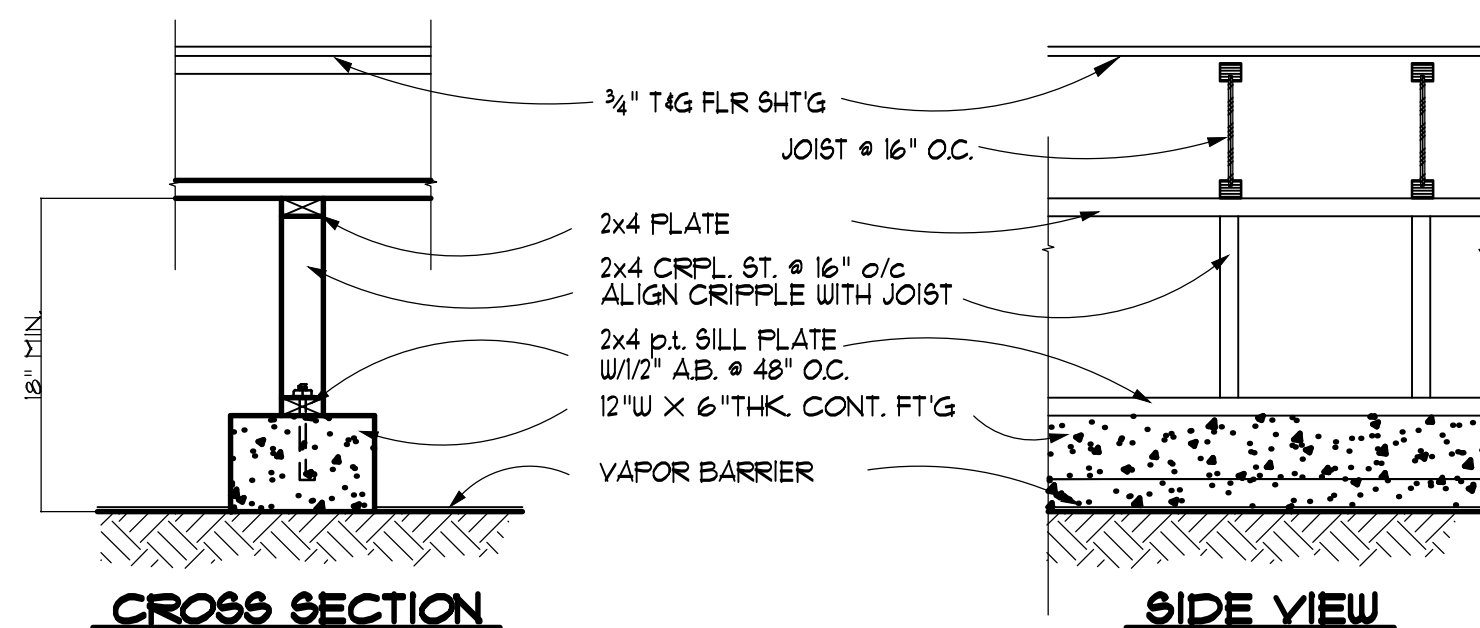
**FOUNDATION LAYOUT**  
LOT 26

LOT 25

LOT 24

REFER TO THE MANUFACTURES JOIST LAYOUT FOR EXACT LAYOUT AND SPECIFICATIONS.

1/4" = 1'-0"



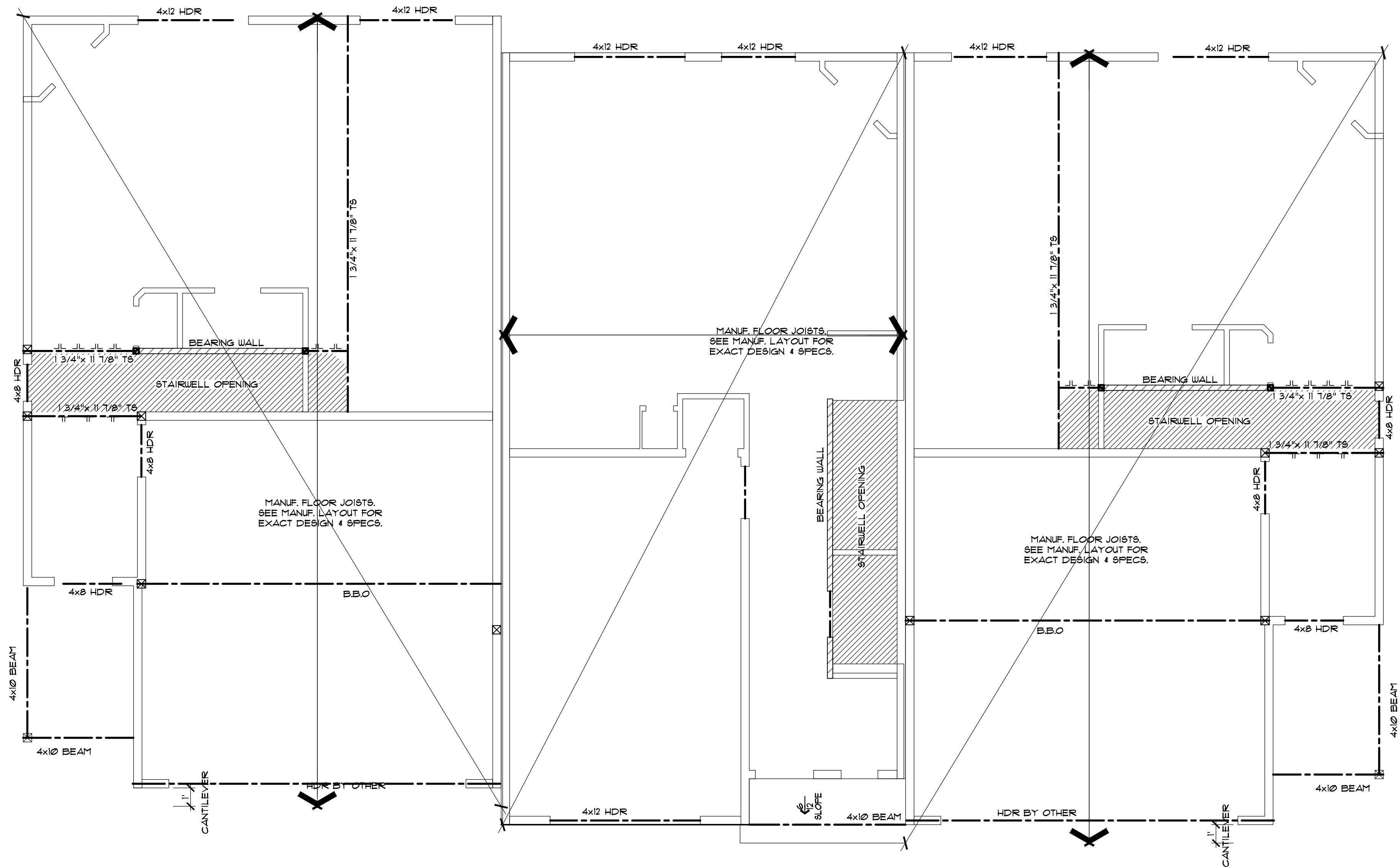
**CROSS SECTION**

**SIDE VIEW**

**C** INTERIOR CONTINUOUS FOOTING  
2 3/4" = 1'-0"







UPPER FLOOR FRAMING

1/4" = 1'-0"

REFER TO THE MANUFACTURED JOIST LAYOUT FOR EXACT LAYOUT AND SPECIFICATIONS.

BUILDING 7

UPPER FLOOR FRAMING

SCALE: SAR  
DRAWN:

VOLARE TOWNHOMES  
OFF CAUSEY AVENUE  
HAPPY VALLEY, OREGON

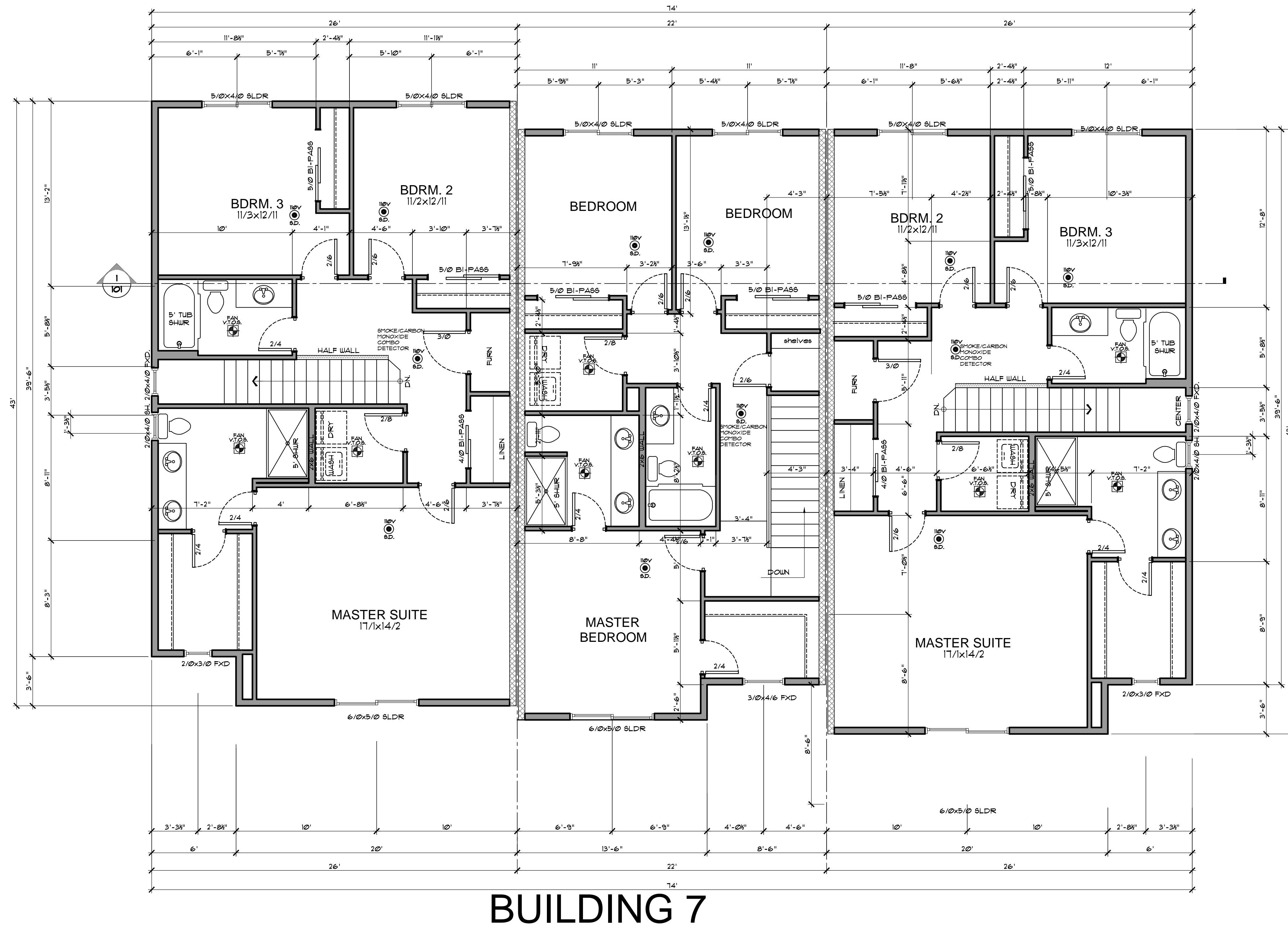
VOLARE TOWNHOMES, LLC.

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VOLARE TOWNHOMES, LLC

SHEET

A  
4.0  
building 1



SMOKED DETECTORS REQUIRED AS SHOWN ON THE PLAN. DETECTORS TO BE INTERCONNECTED AND POWERED BY PREMISE WIRING AND HAVE BATTERY	
FAN	WASHINGTON STATE:
50 CFM	50 CFM FAN
TOILET	OREGON STATE:
50 CFM	50 CFM FAN TOILET COMPARTMENTS
BATHING & SPA AREAS	80 CFM FAN BATHING & SPA AREAS
VENT ALL TO OUTSIDE	

UPPER FLOOR	UPPER FLOOR	UPPER FLOOR
1037 sq.ft.	841 sq.ft.	1037 sq.ft.
1669	1477	1669

VOLARE TOWNHOMES, LLC

UPPER FLOOR

SHEET

A

5.0

building 1

UPPER FLOOR

SCALE:

DRAWN:

SAR

VOLARE TOWNHOMES OF CAUSEY AVENUE HAPPY VALLEY, OREGON

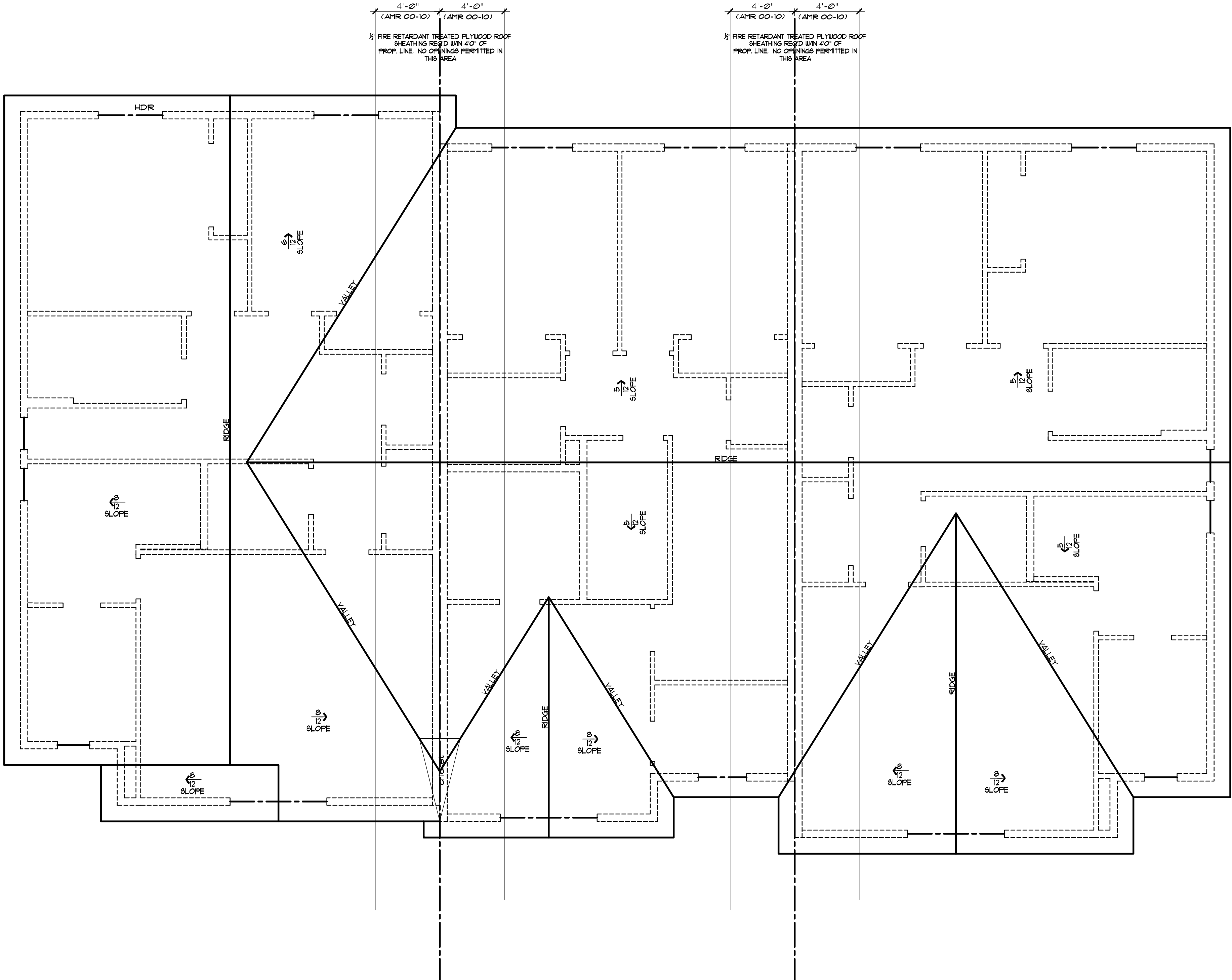
DESIGNED BY:

VOLARE TOWNHOMES, LLC.

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The type of material finish, the installation and waterproofing details are all to be in accordance with the manufacturer's instructions. The Contractor shall verify the type of material finish, the installation and waterproofing details are all to be in accordance with the manufacturer's instructions. The Contractor shall verify the type of material finish, the installation and waterproofing details are all to be in accordance with the manufacturer's instructions.

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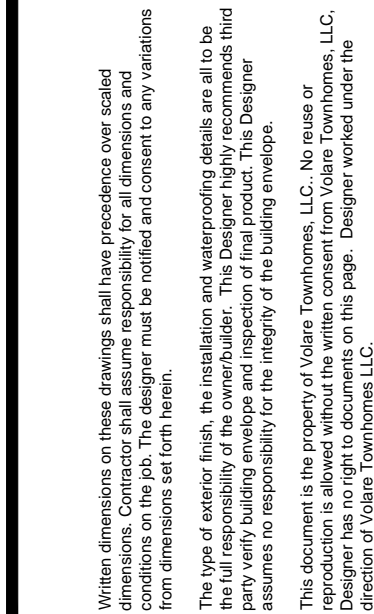
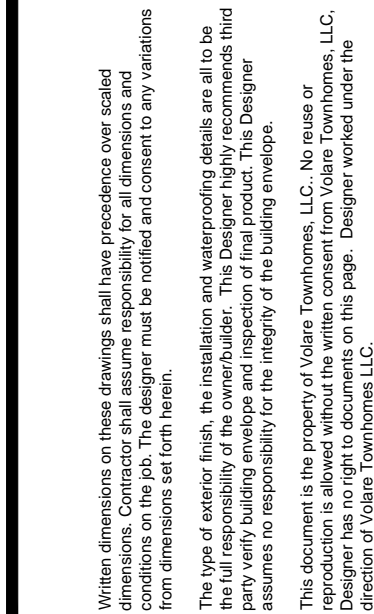
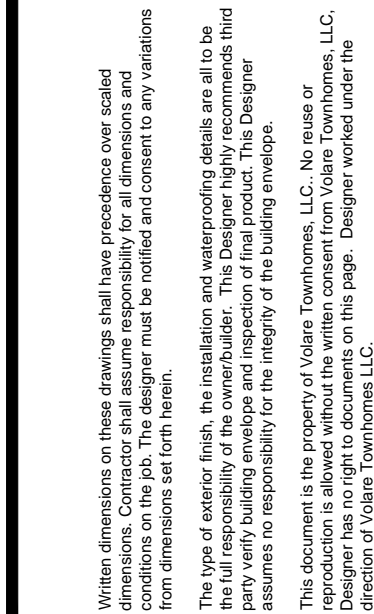
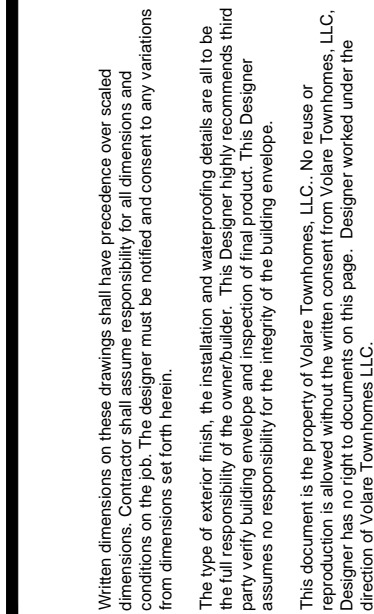
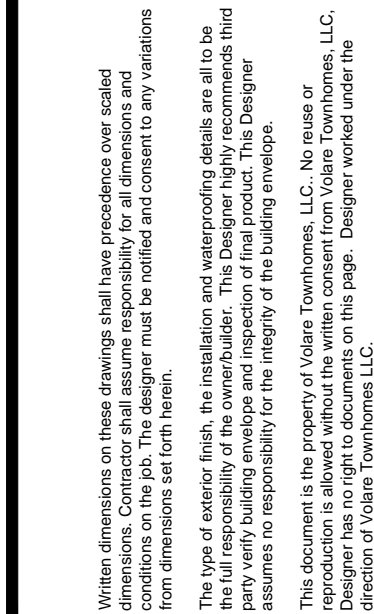
ROOF LAYOUT

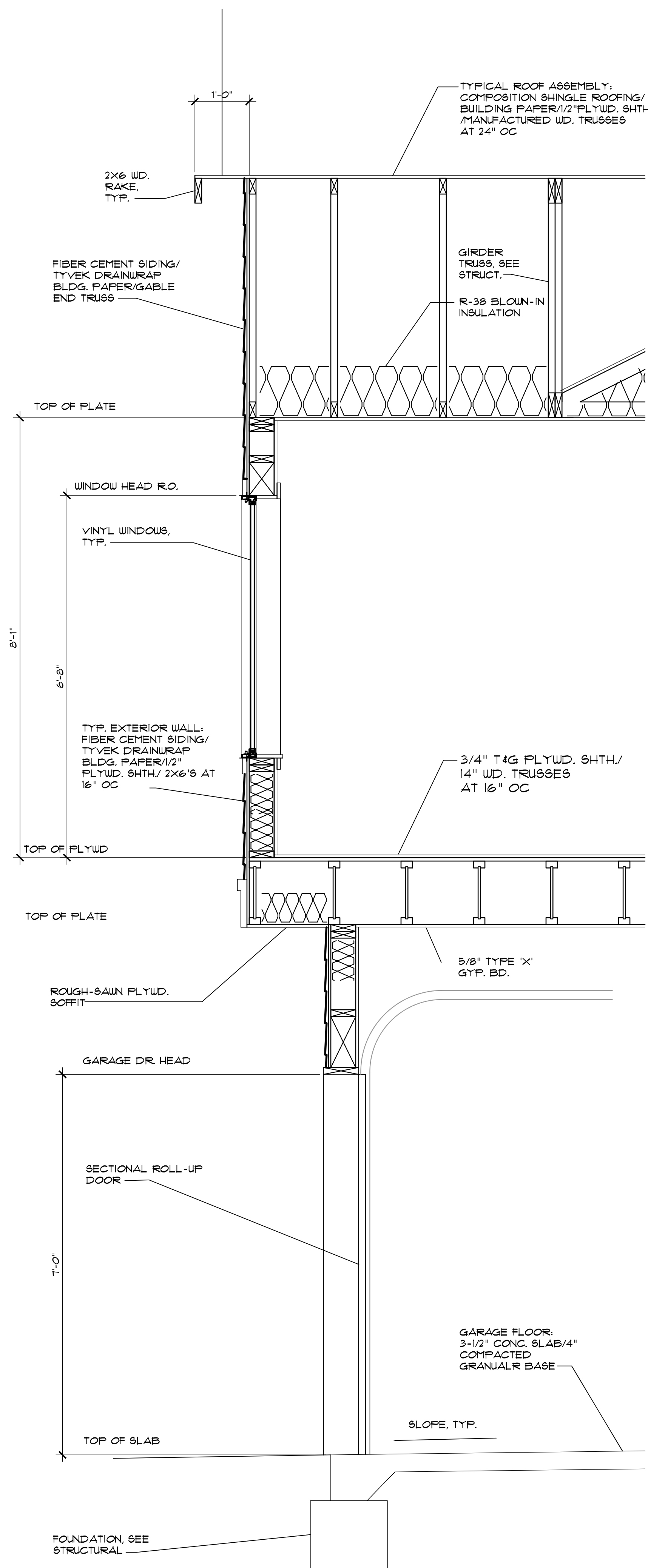
1/4" = 1'-0"

BUILDING 7

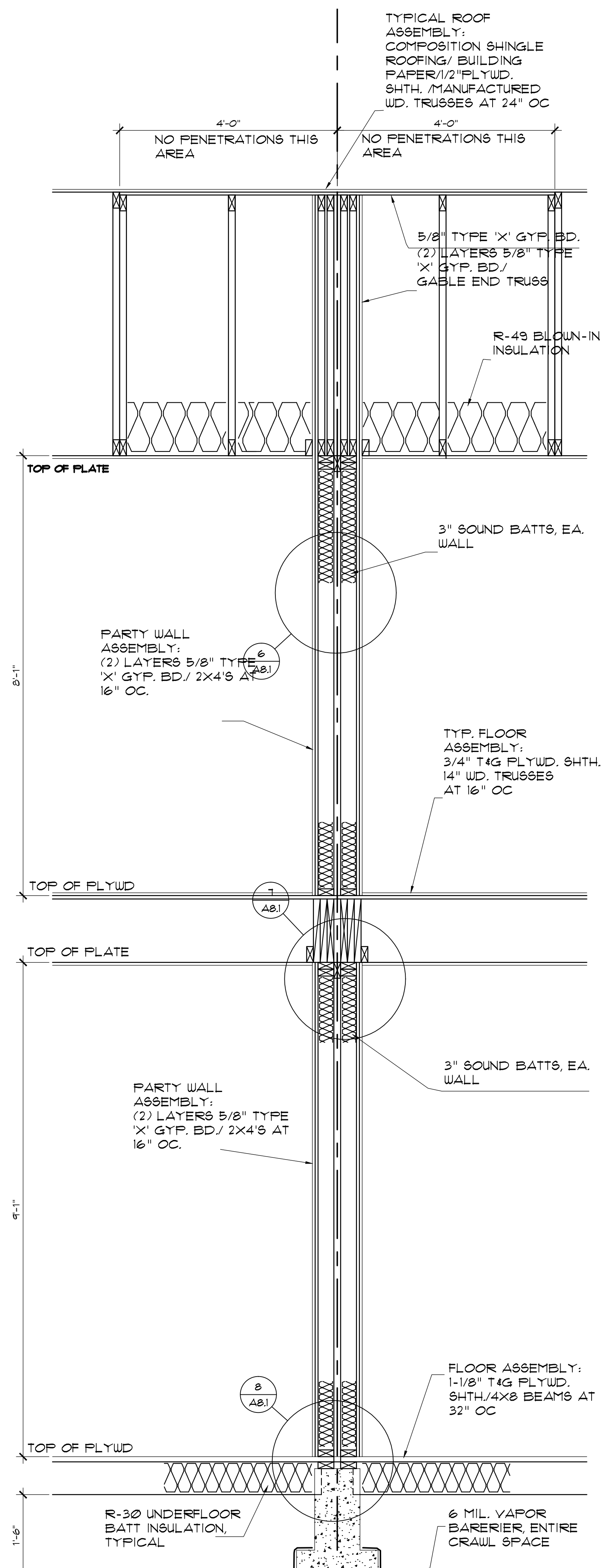
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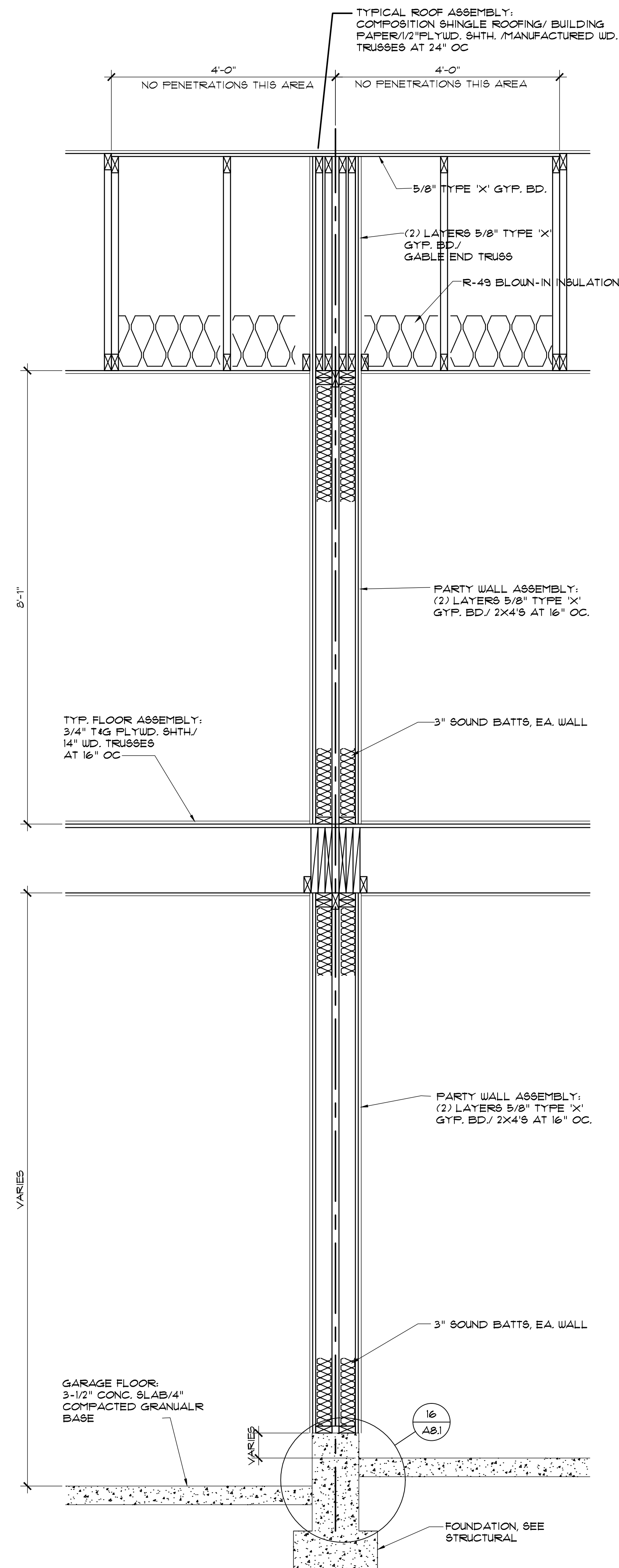




**3** WALL SECTION  
3/4" = 1'-0"



**2** WALL SECTION  
3/4" = 1'-0"



**1** WALL SECTION  
3/4" = 1'-0"

VOLARE TOWNHOMES, LLC

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VOLARE TOWNHOMES  
OFF CAUSEY AVENUE  
HAPPY VALLEY, OREGON

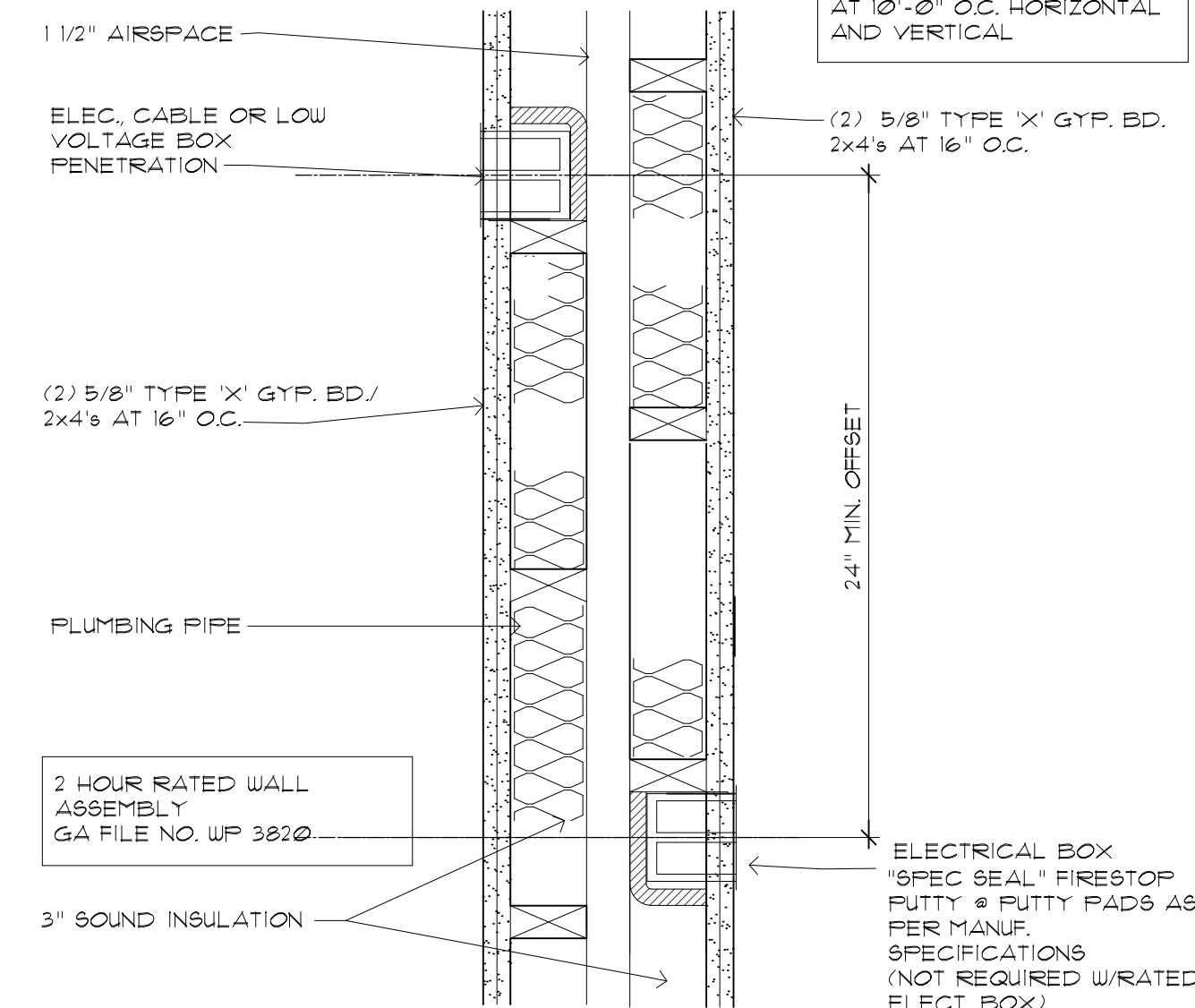
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WALL SECTIONS

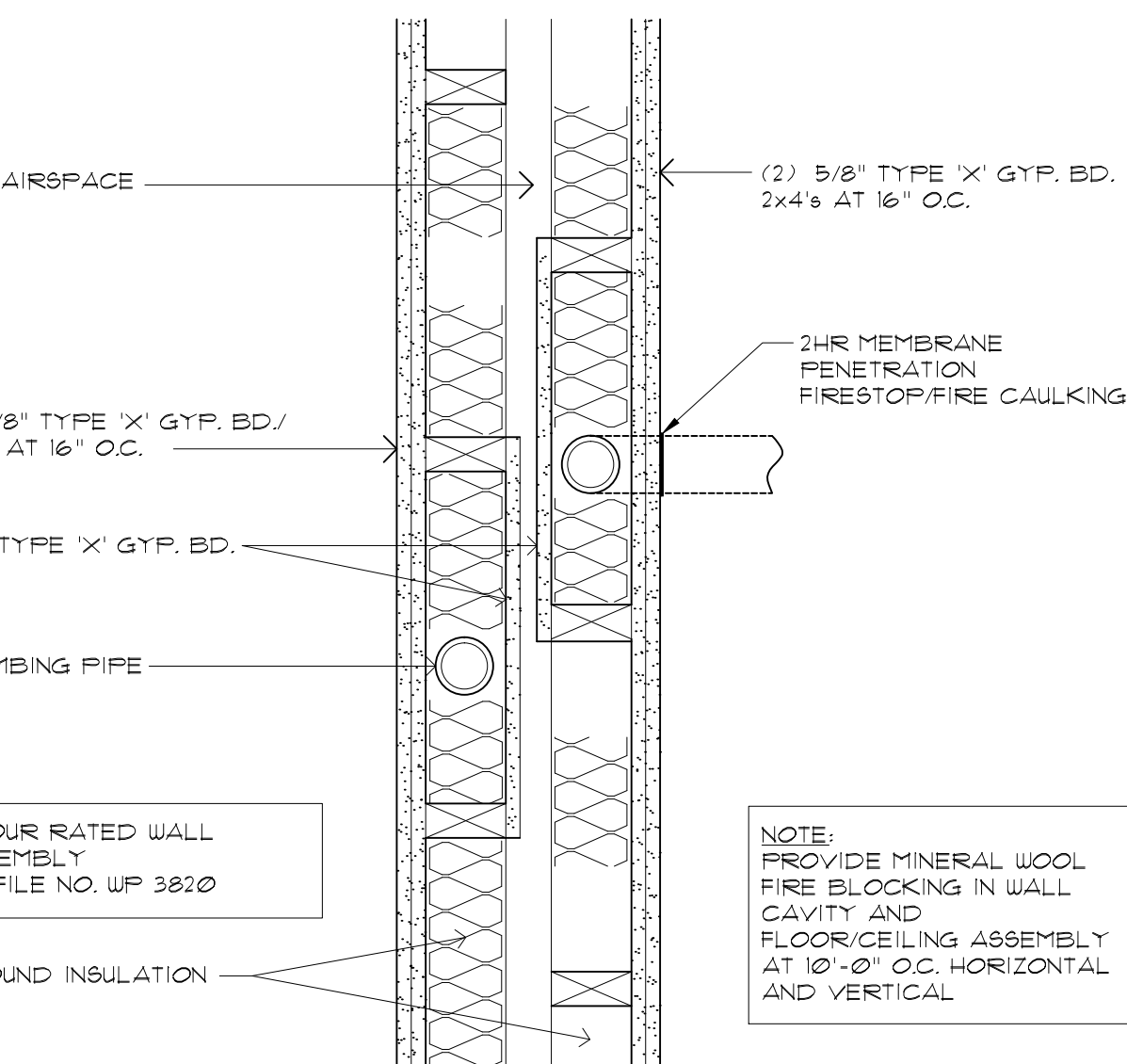
SCALE: SAR  
DRAWN:

SHEET  
**A**  
8.0  
building 1

13  
A8.1

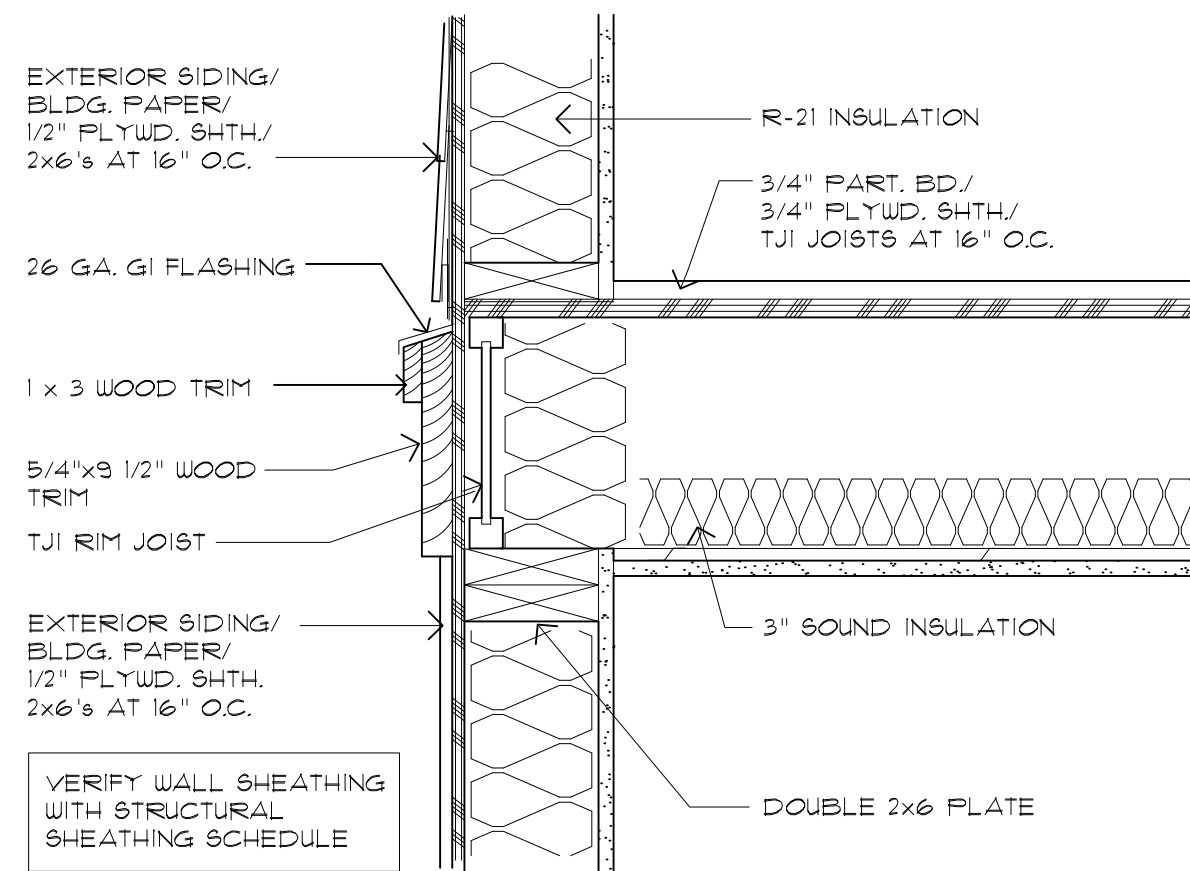


ELEC., LOW VOLTAGE PENETRATION AT  
MODIFIED TWO HOUR PARTY WALL  
1 1/2" = 1'-0"  
1012-D003C

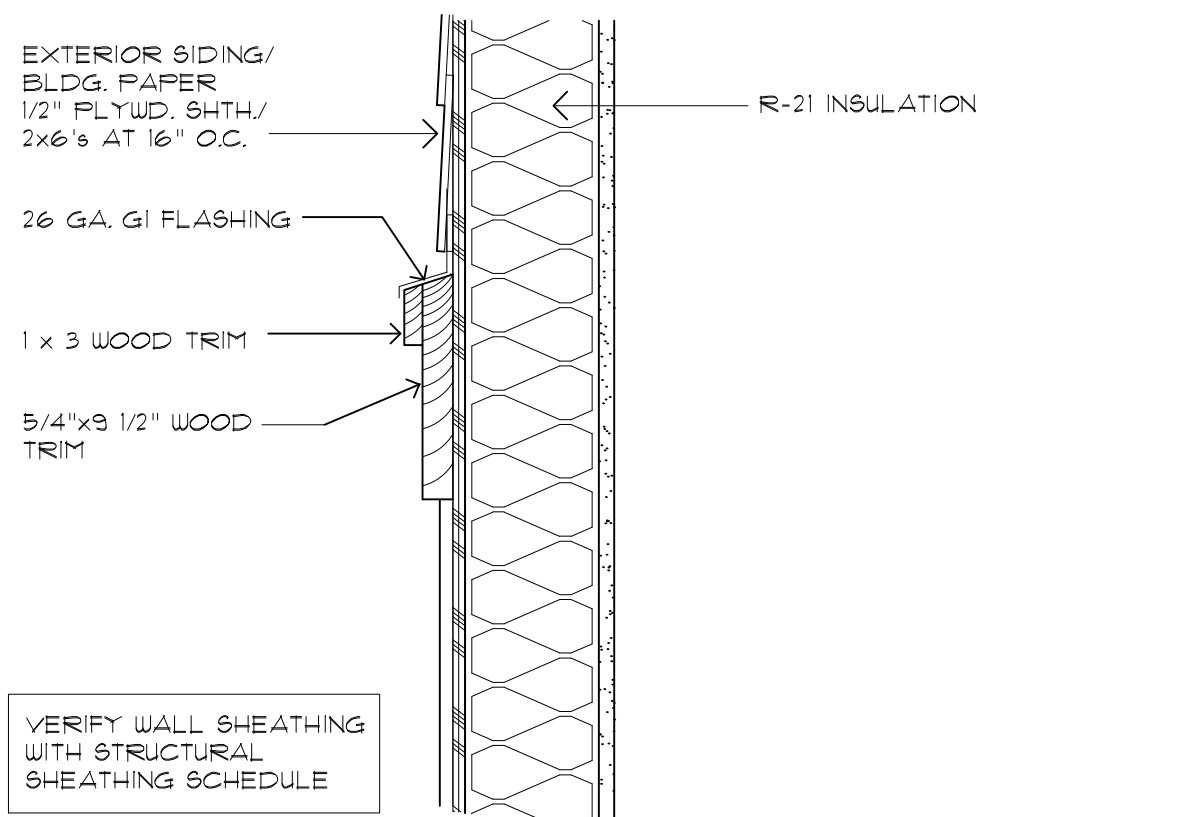


PLUMBING PENETRATION AT  
MODIFIED TWO HOUR PARTY WALL  
1 1/2" = 1'-0"  
1012-D003C

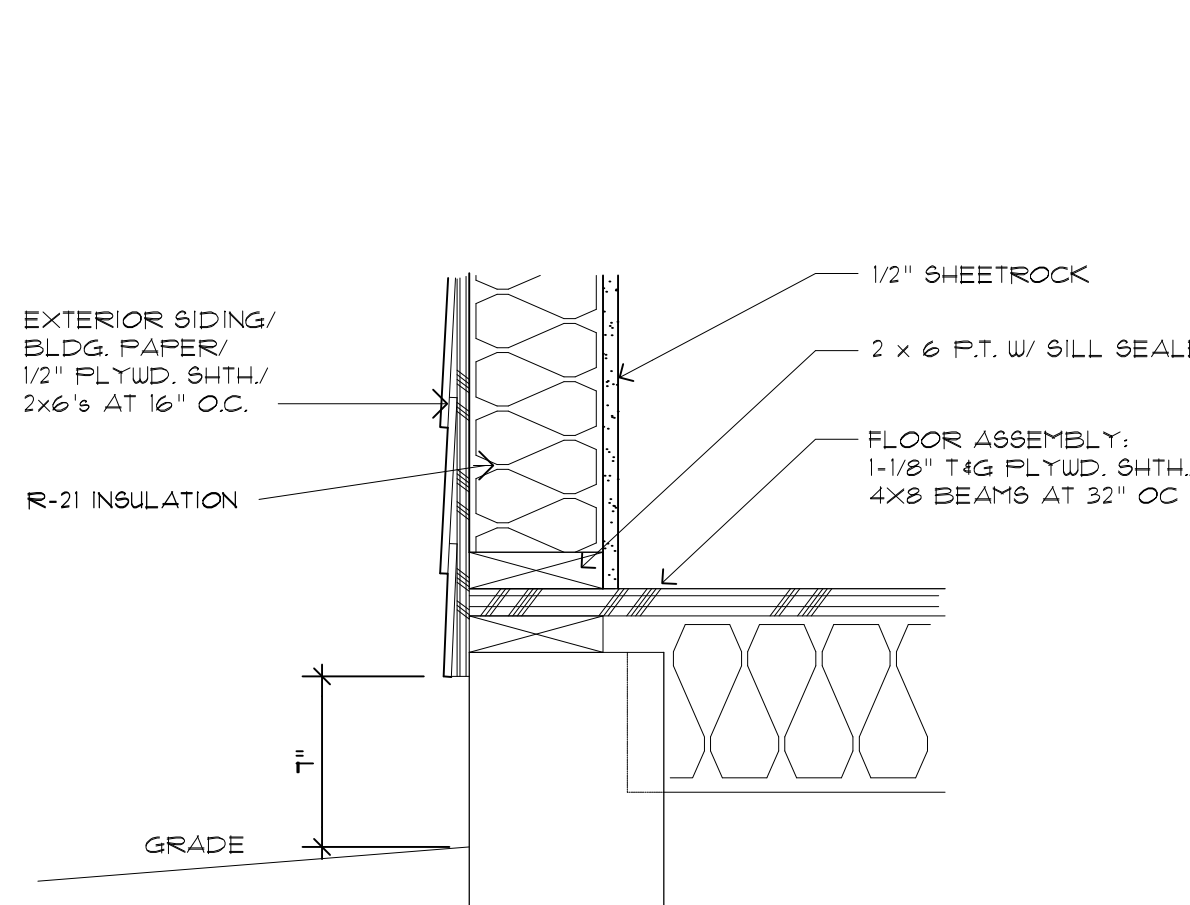
9  
A8.1



WALL AT CEILING  
1 1/2" = 1'-0"  
1012-D014



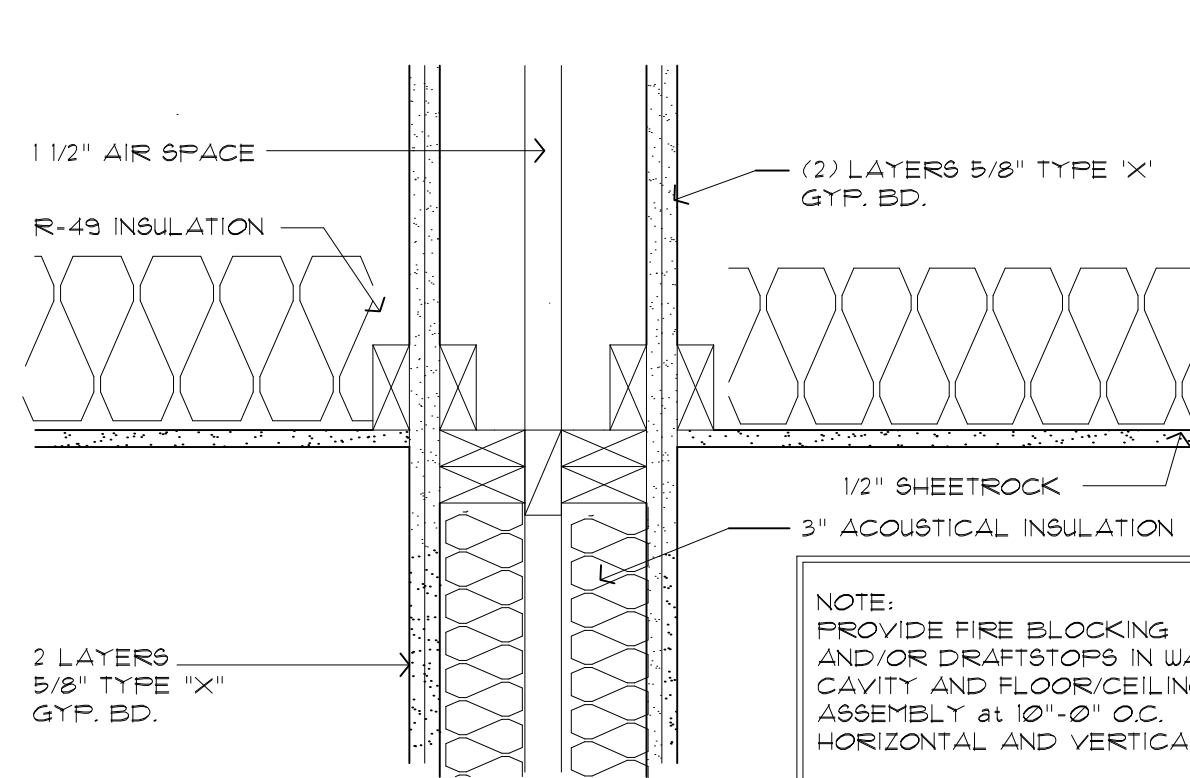
WOOD TRIM DETAIL  
1 1/2" = 1'-0"  
1012-D001



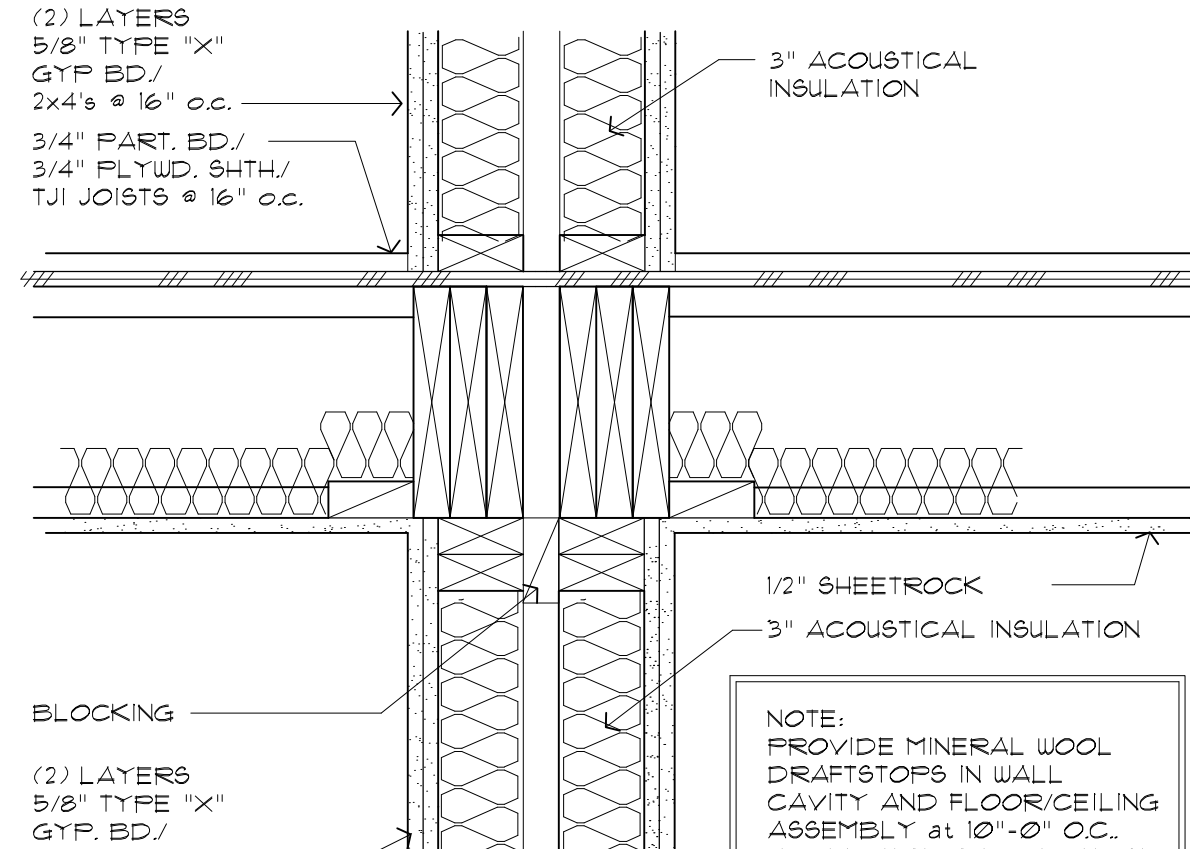
TRIM DETAIL AT WALL  
1 1/2" = 1'-0"  
1012-D001A

FOUNDATION/FTG. DETAIL  
1 1/2" = 1'-0"  
1012-D006

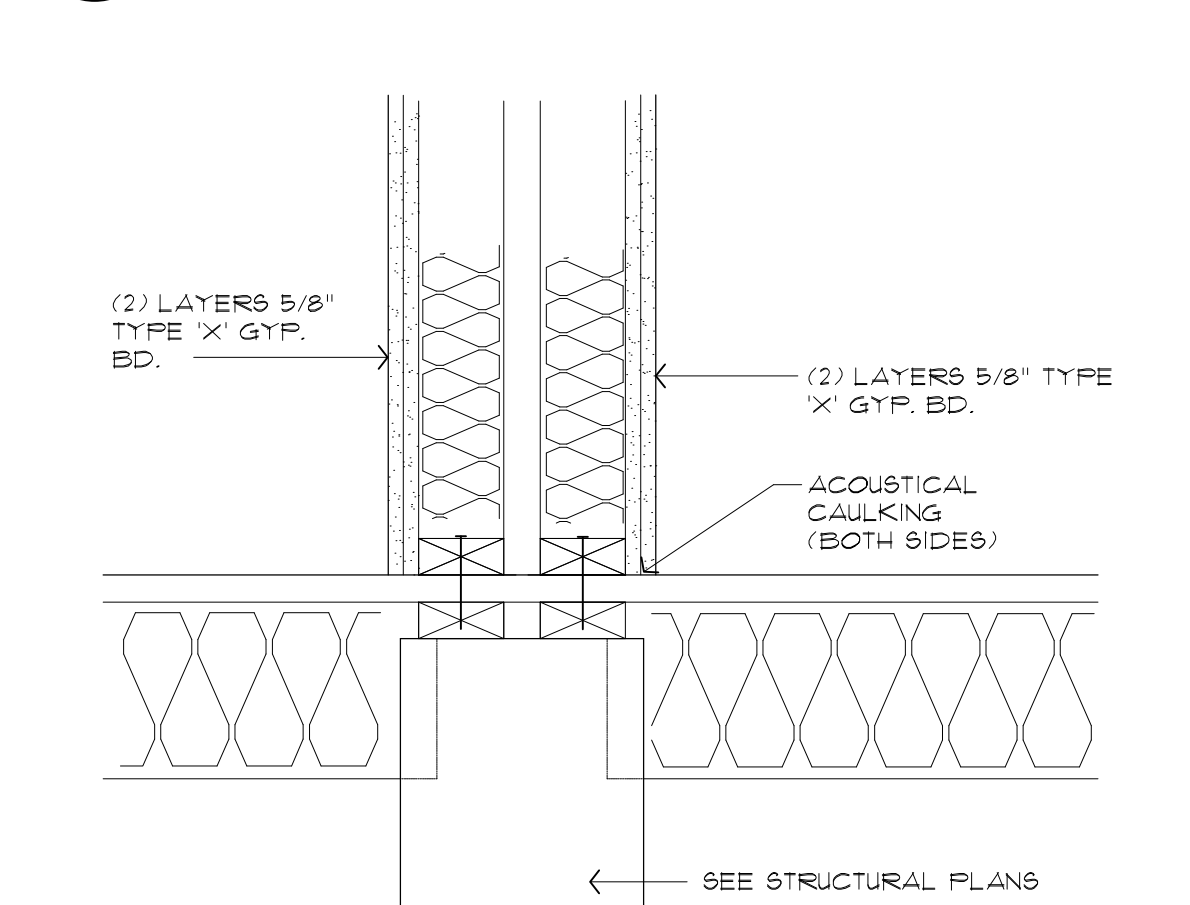
5  
A8.1



PARTY WALL AT EXT. WALL  
1 1/2" = 1'-0"  
1012-D146B



TWO HR. PARTY WALL AT CEILING  
1 1/2" = 1'-0"  
1012-D012B



TWO HR. PARTY WALL AT FLR./CLG.  
1 1/2" = 1'-0"  
1012-D023B

TWO HR. PARTY WALL AT FLOOR  
1 1/2" = 1'-0"  
1012-D010B

1  
A8.1

OMIT

2  
A8.1

OMIT

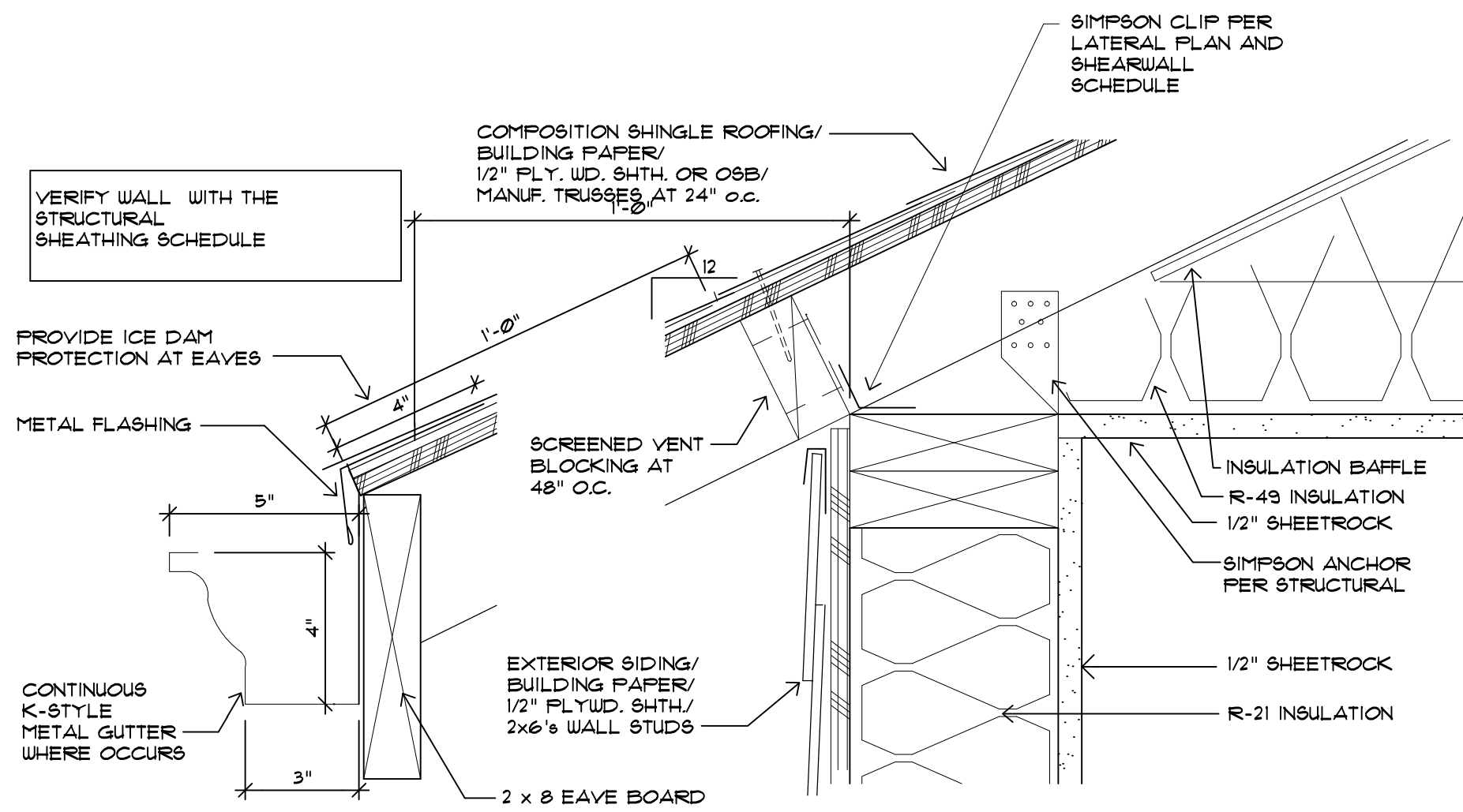
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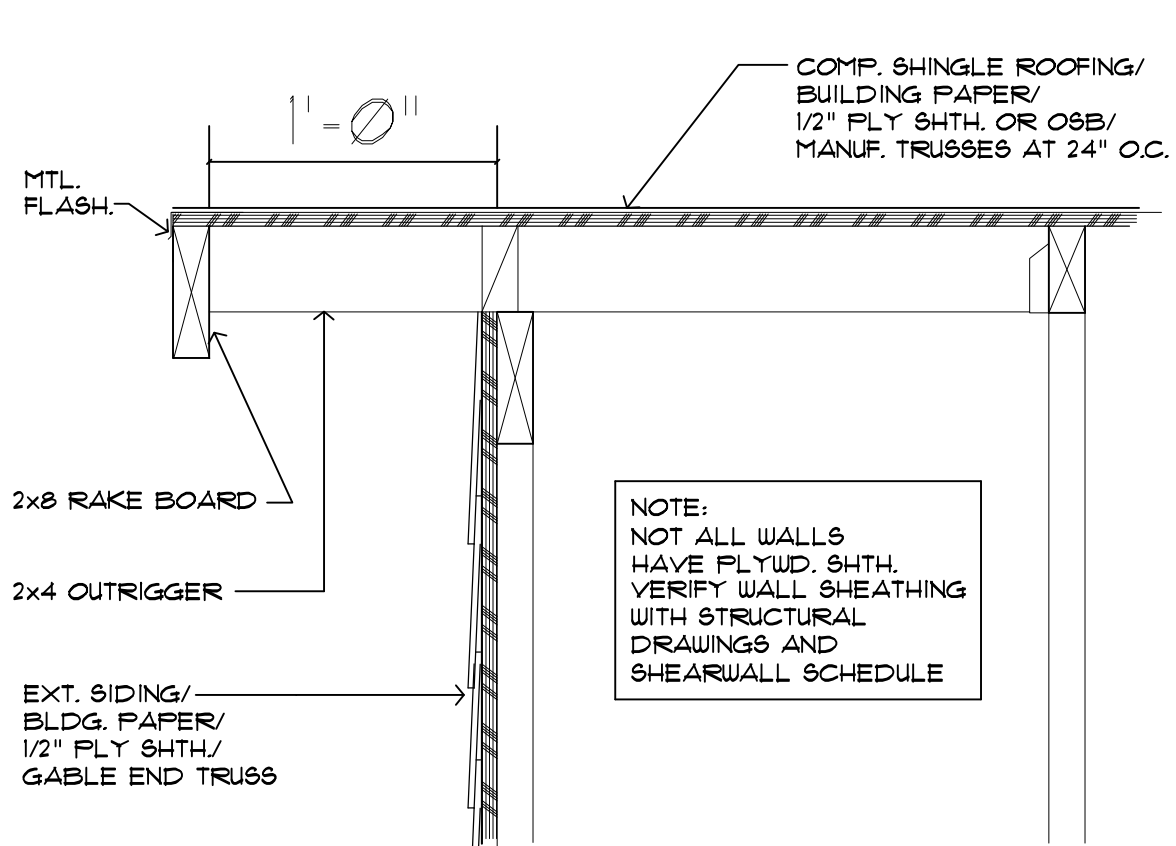
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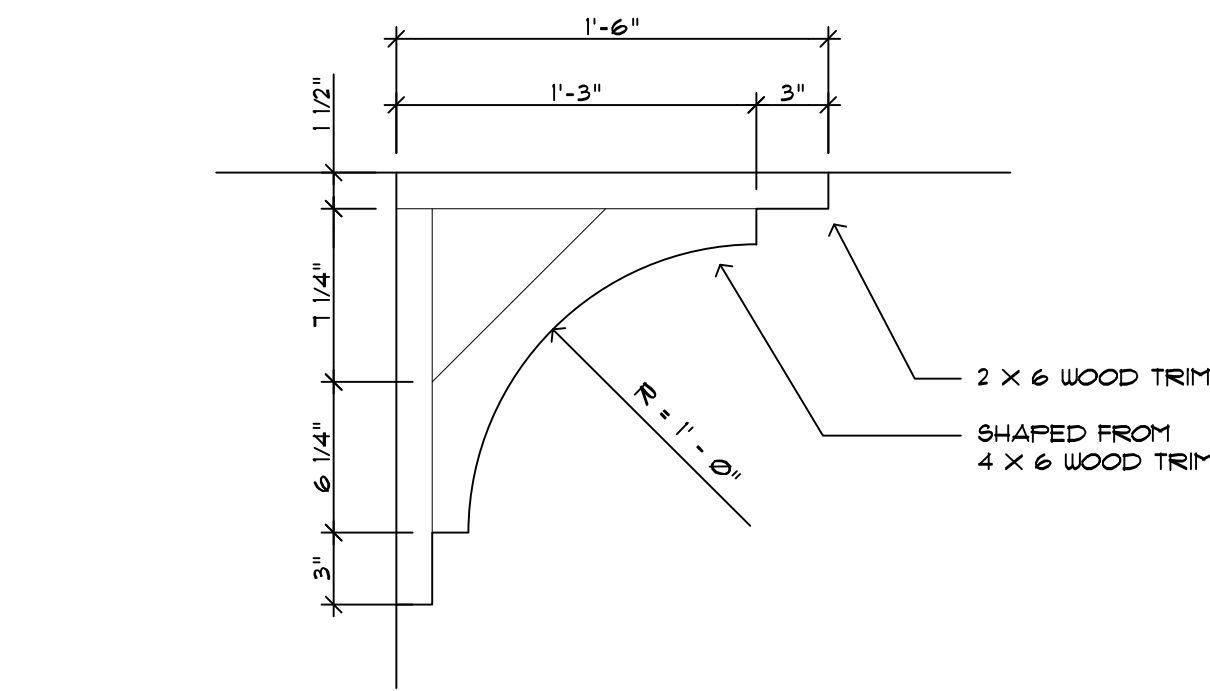




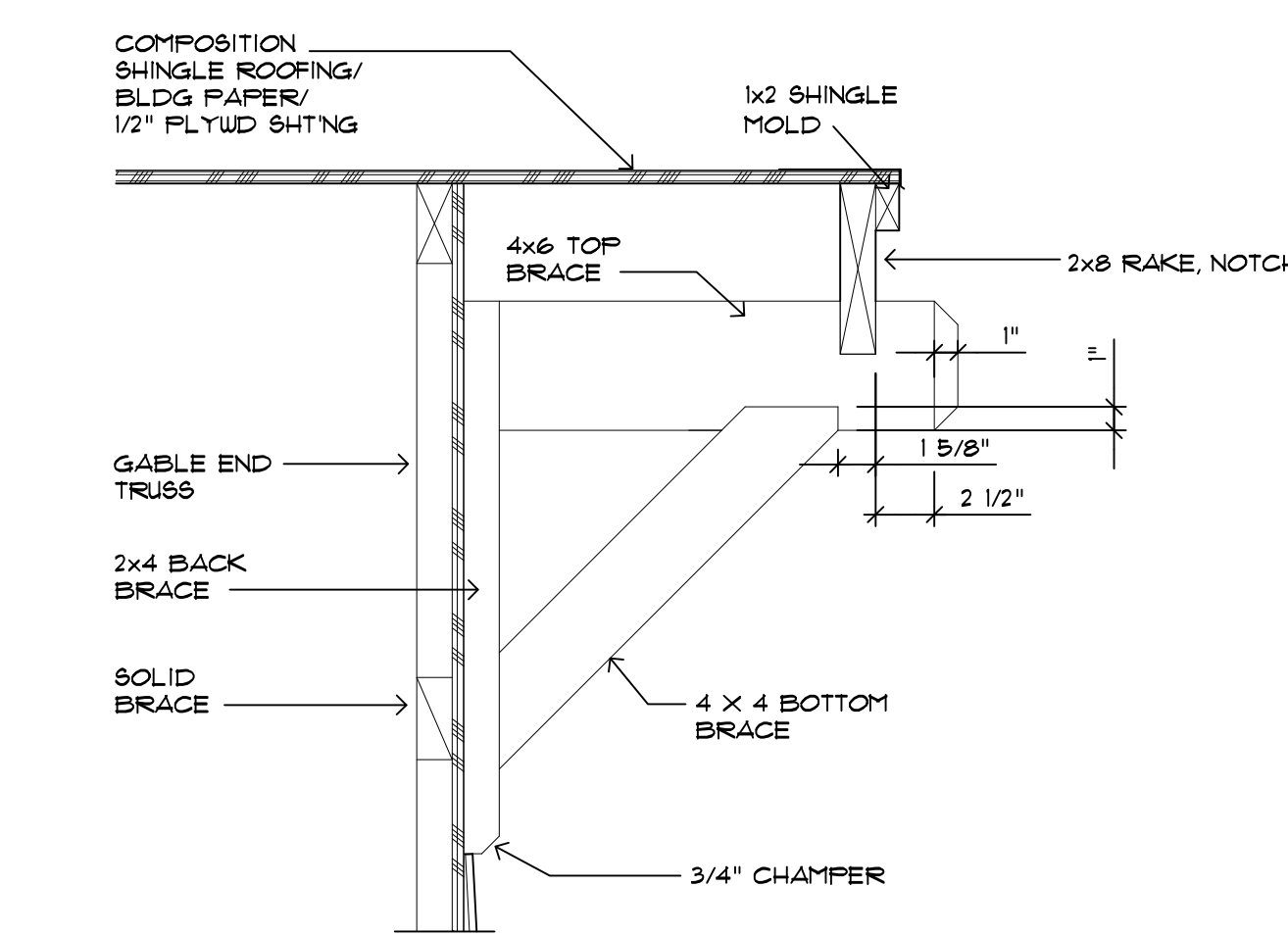
13 ROOF EAVE/GUTTER @ TRUSS  
3" = 1'-0" 1012-D016



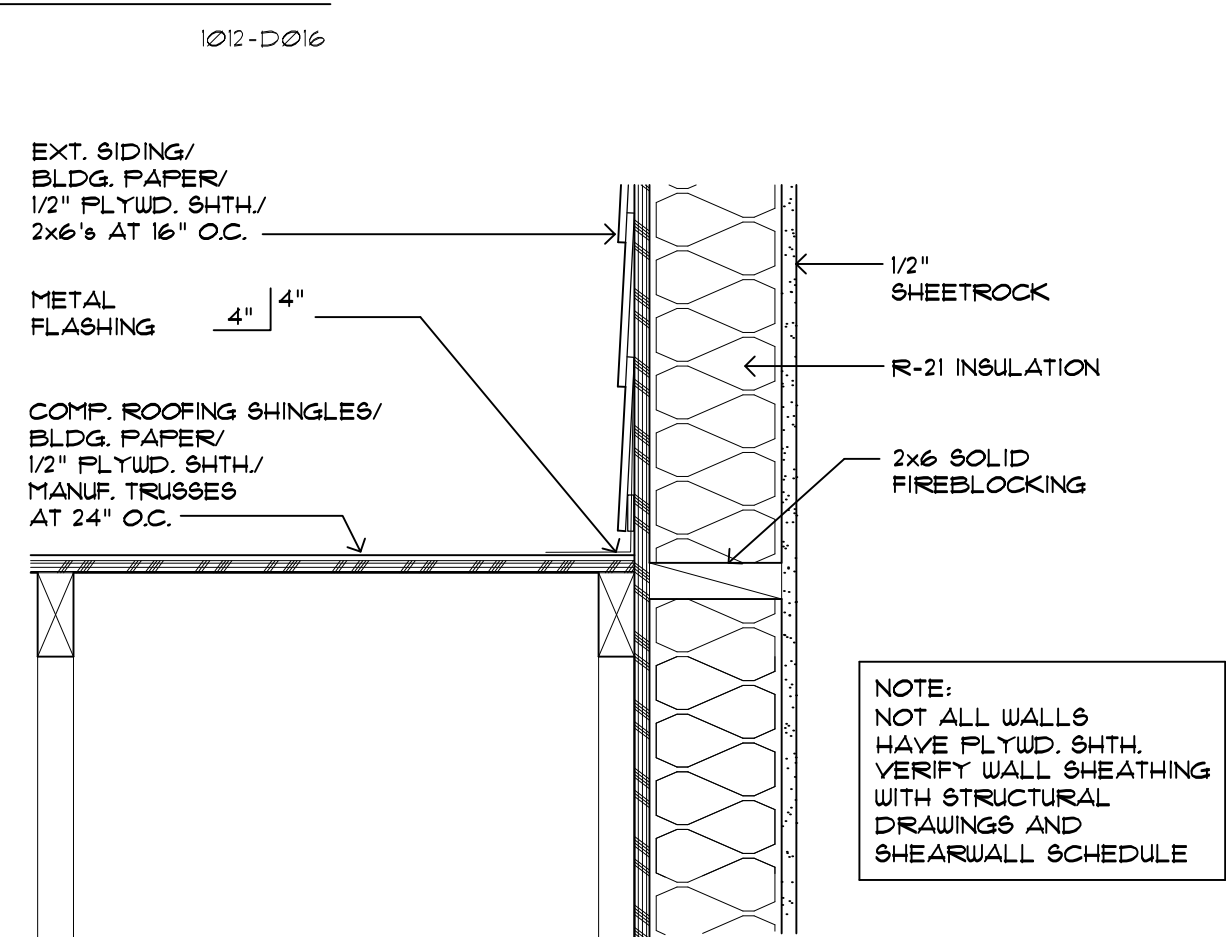
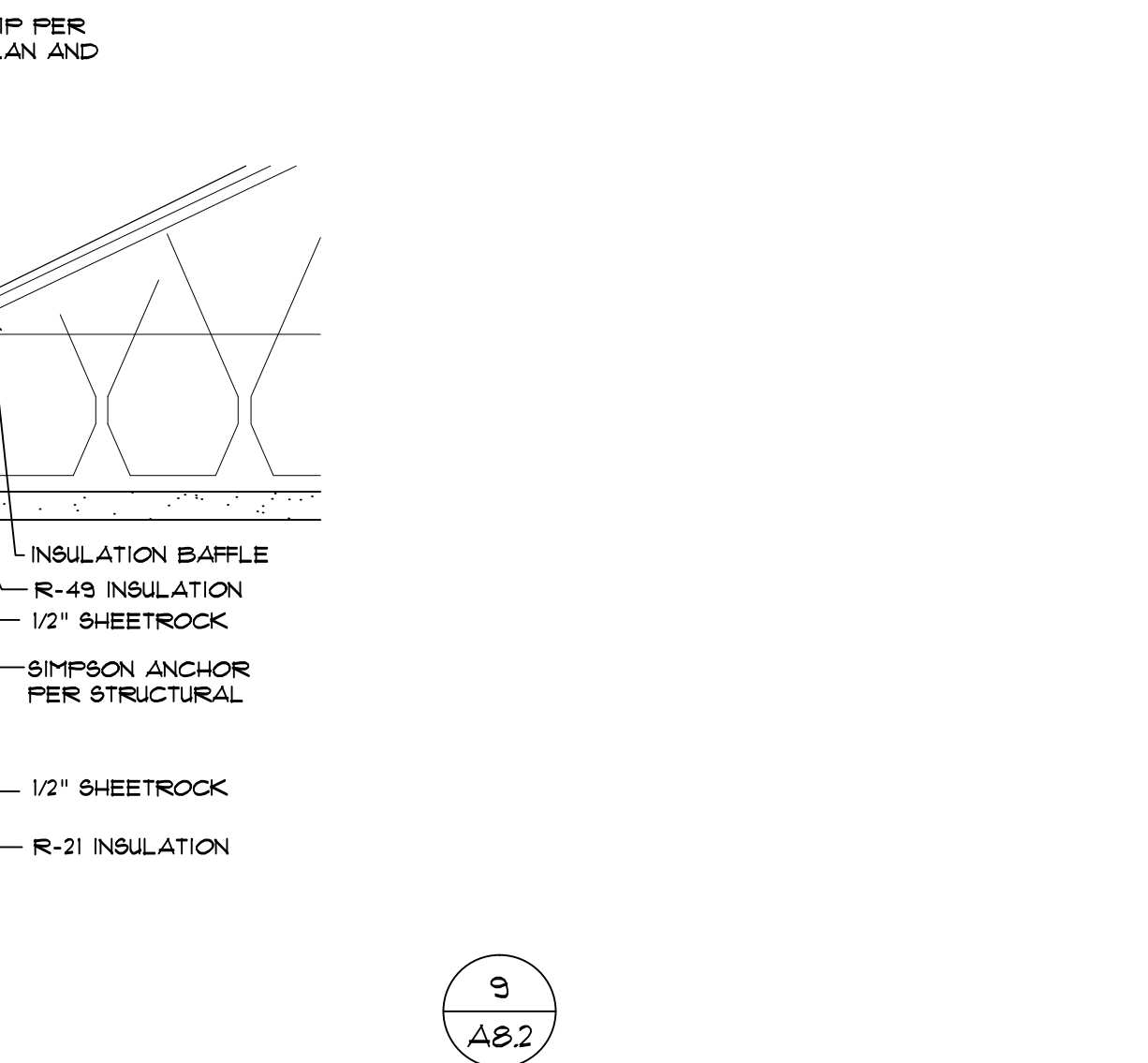
14 ROOF RAKE DETAIL  
1 1/2" = 1'-0" 1012-D015



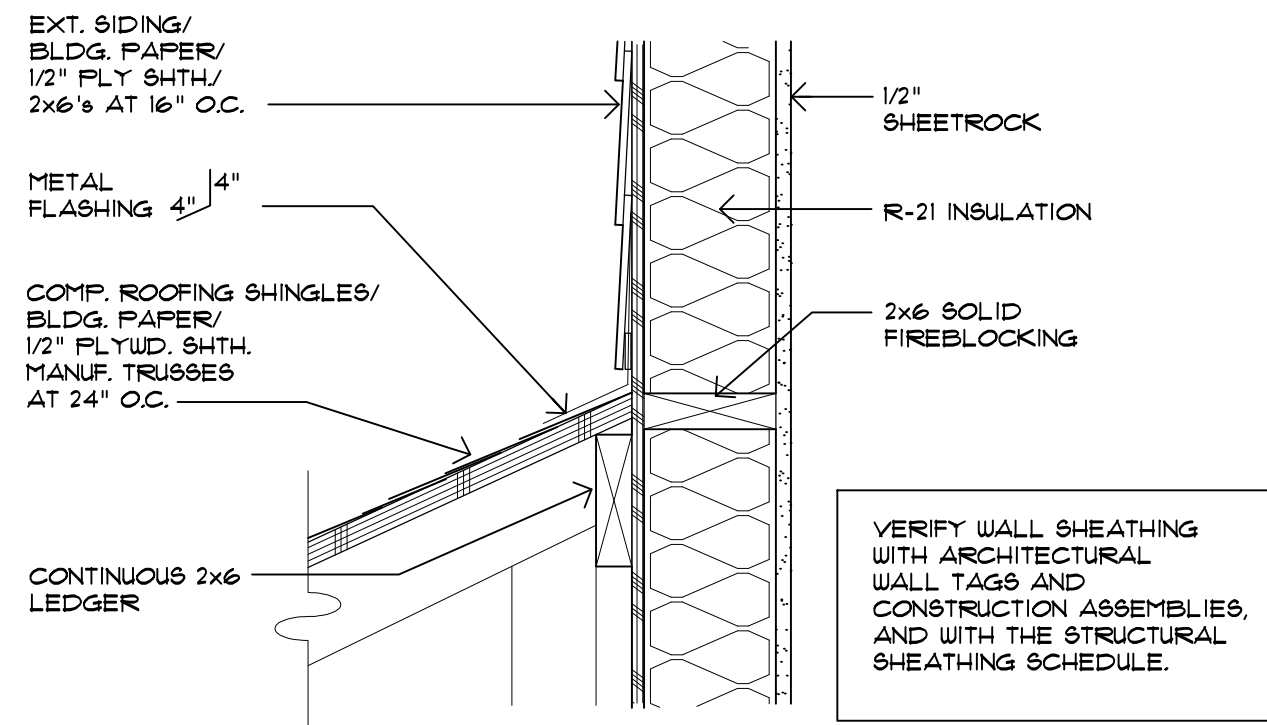
15 CURVED KNEE BRACE DETAIL  
1 1/2" = 1'-0" 1012-D023



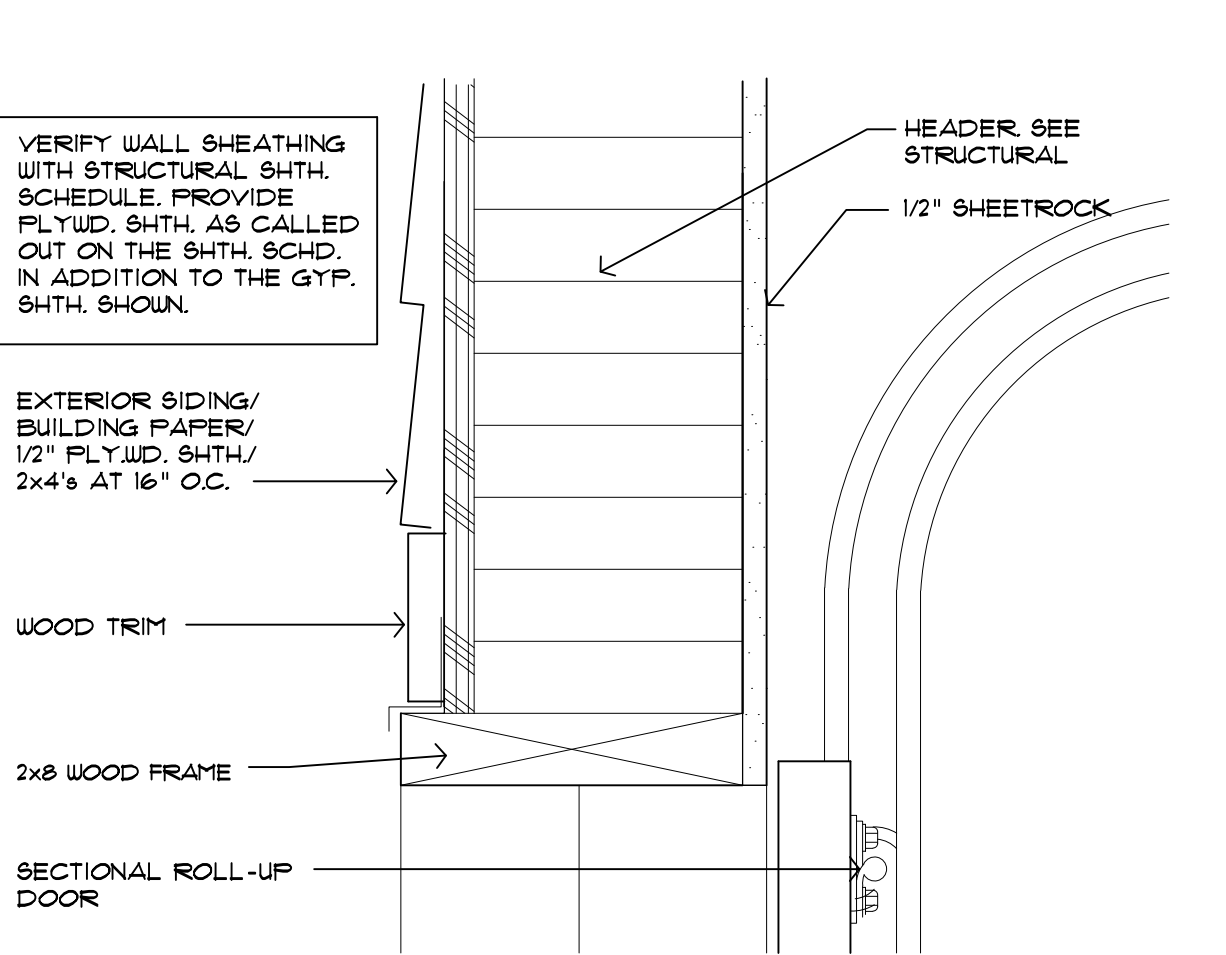
16 KNEE BRACE DETAIL  
1 1/2" = 1'-0" 1012-D023



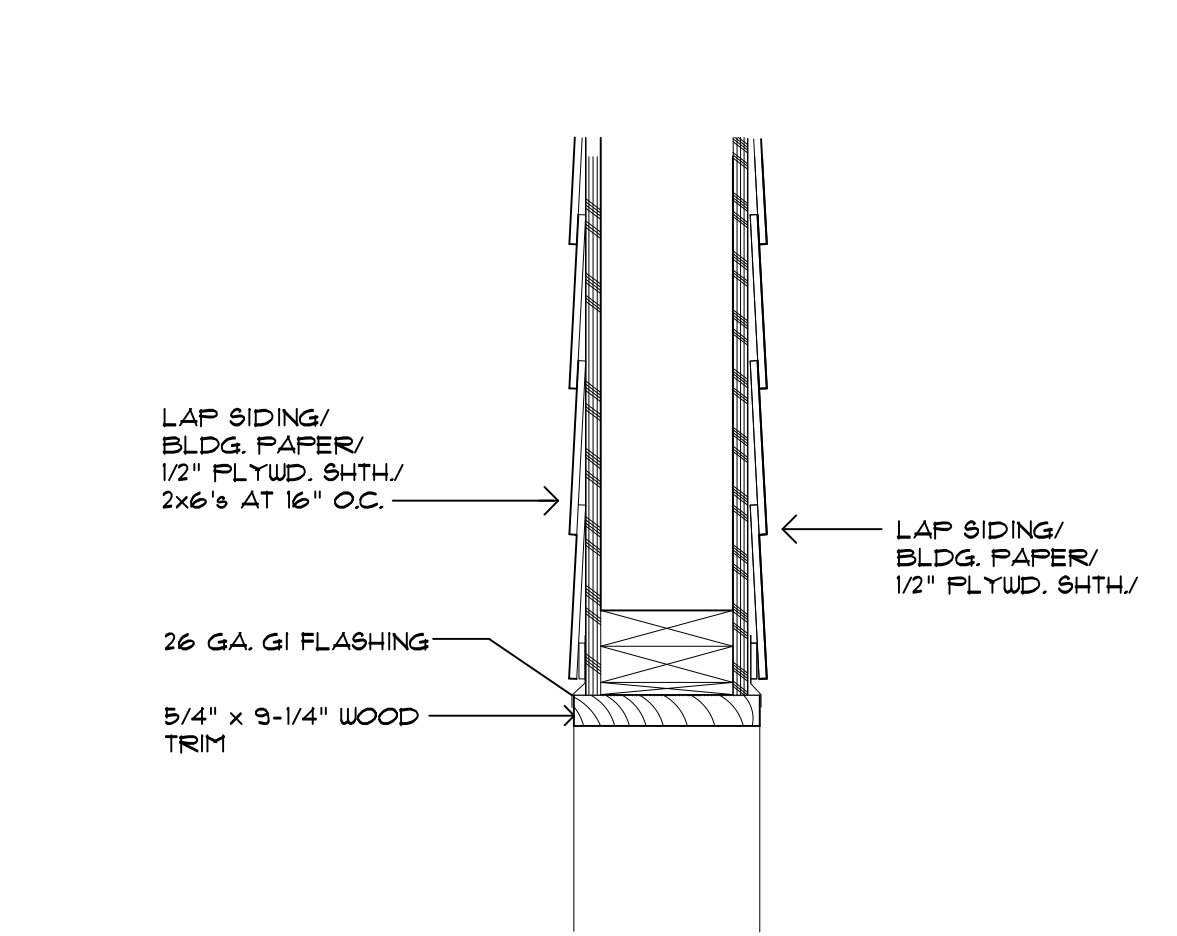
10 ROOF AT EXT. WALL  
1 1/2" = 1'-0" 1012-D017



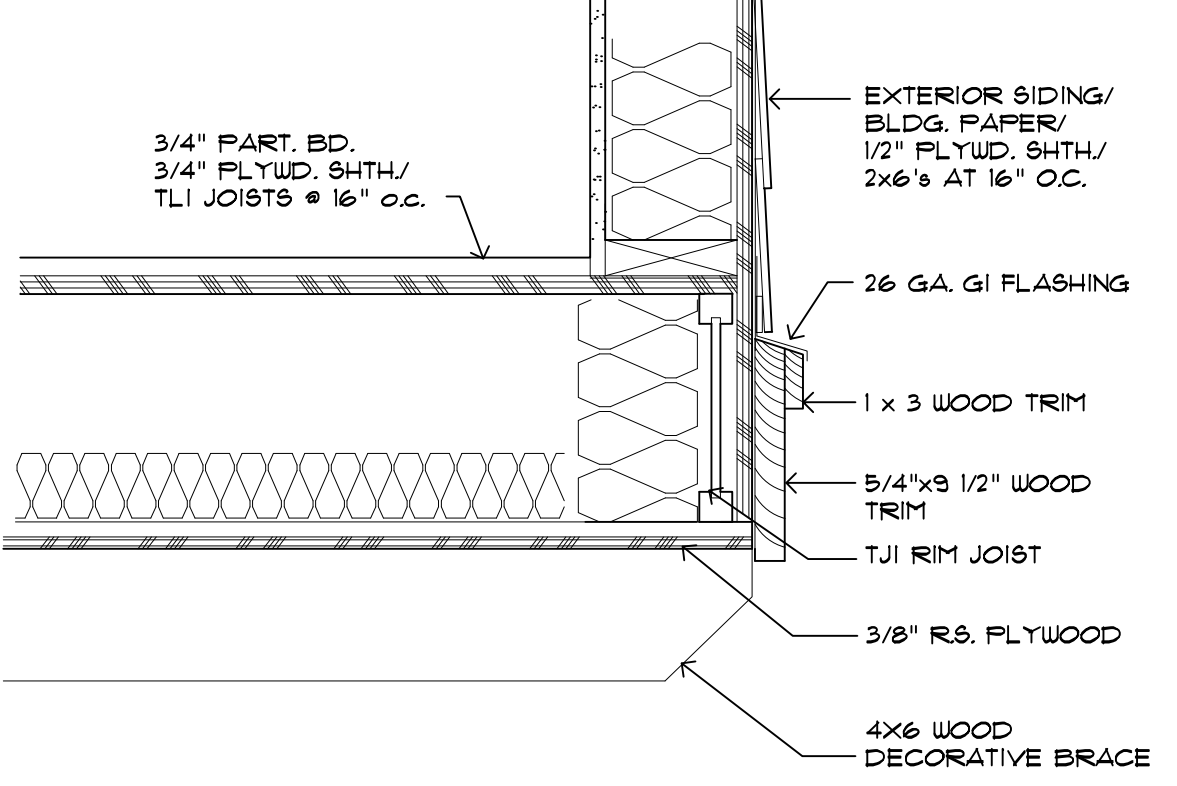
11 ROOF AT EXT. WALL  
1 1/2" = 1'-0" 1012-D018



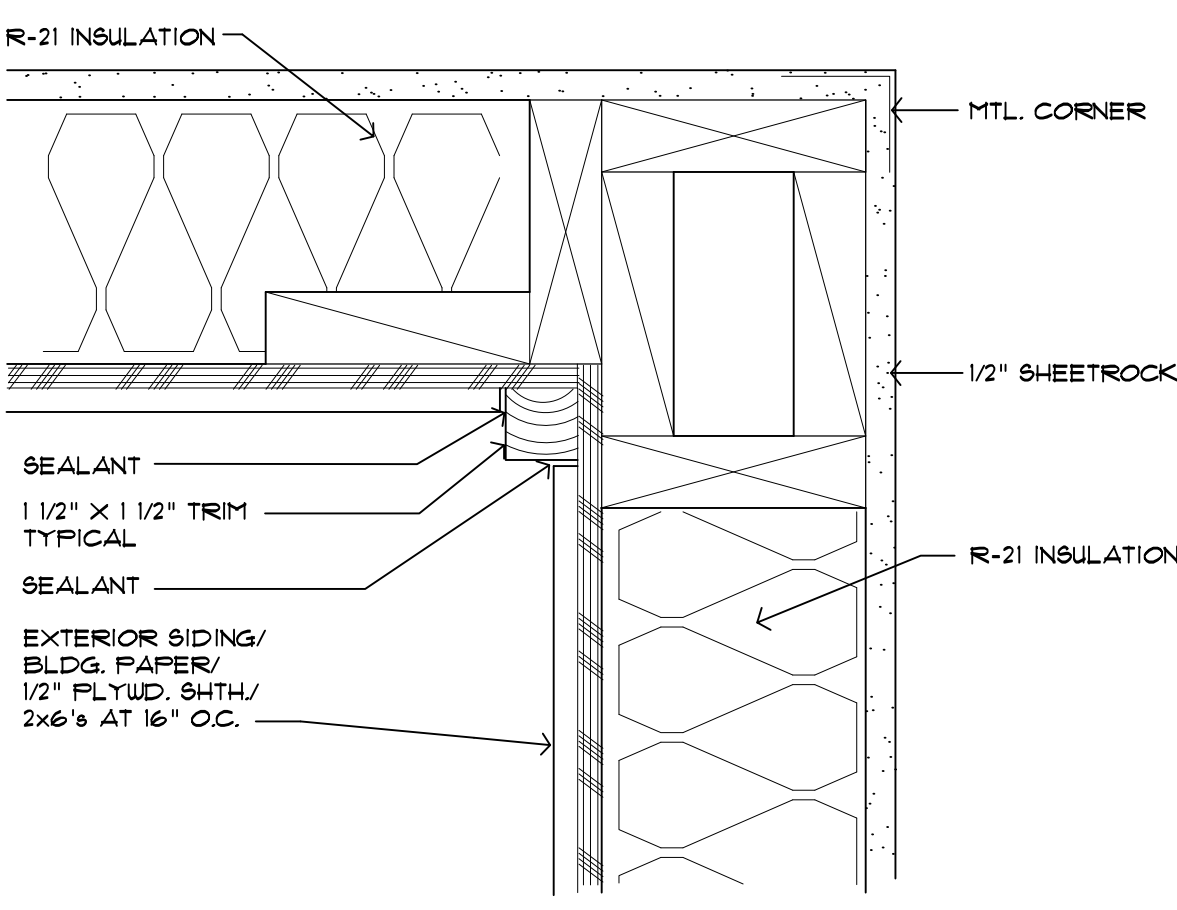
12 OVERHEAD DOOR HEAD  
3" = 1'-0" 1012-D045



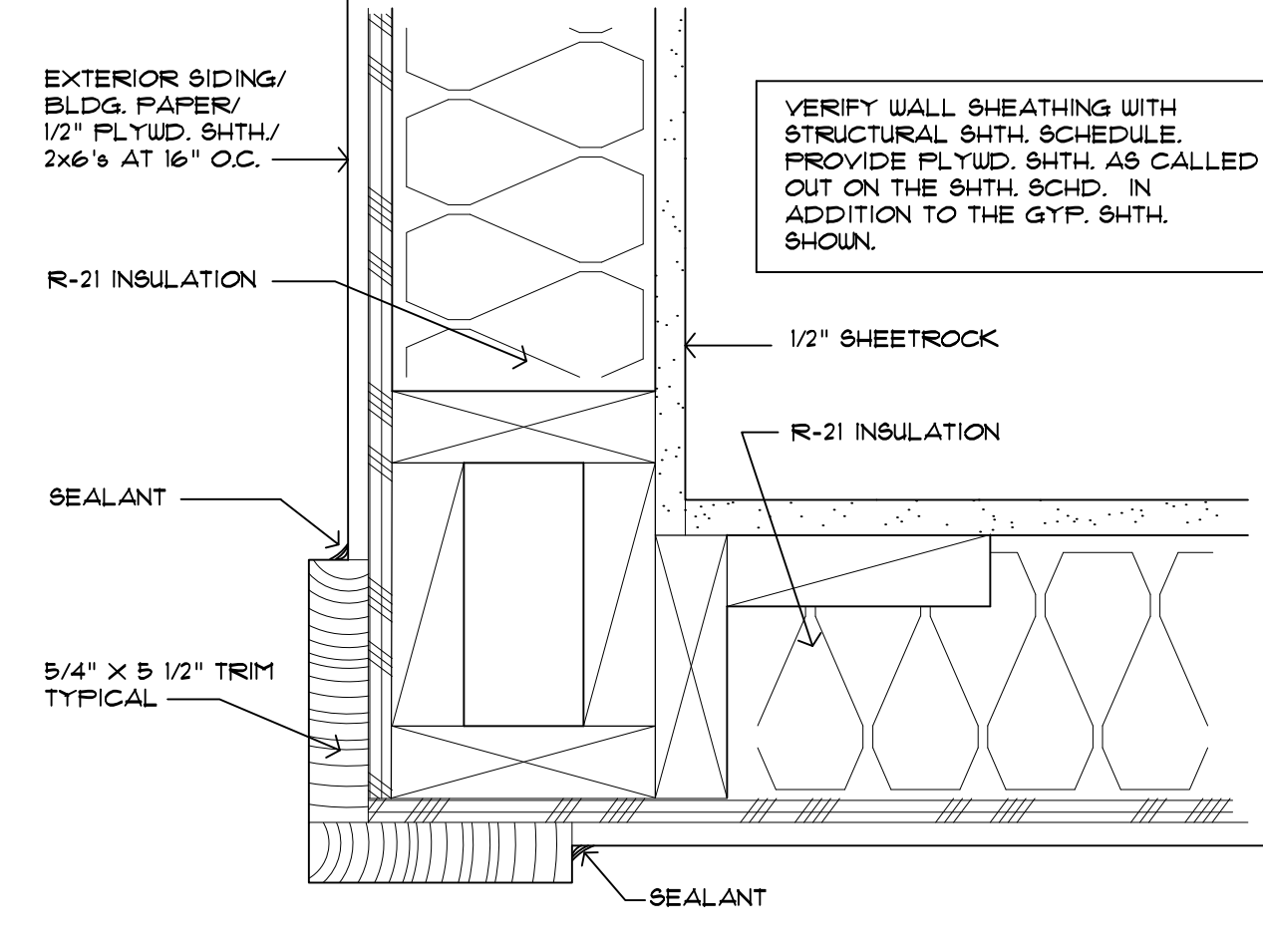
5 HEAD AT COVERED ENTRY  
1 1/2" = 1'-0" 1012-D084



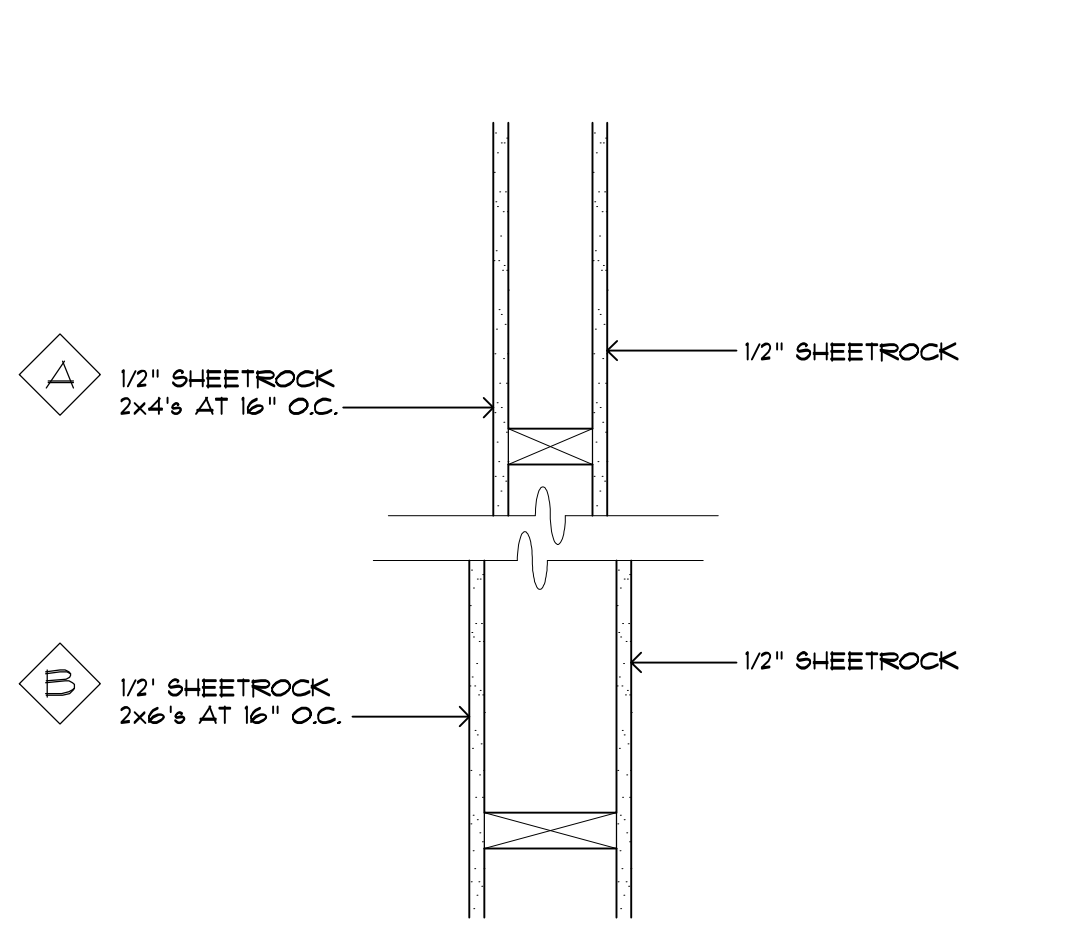
6 WOOD BRACE DETAIL  
1 1/2" = 1'-0" 1012-D007C



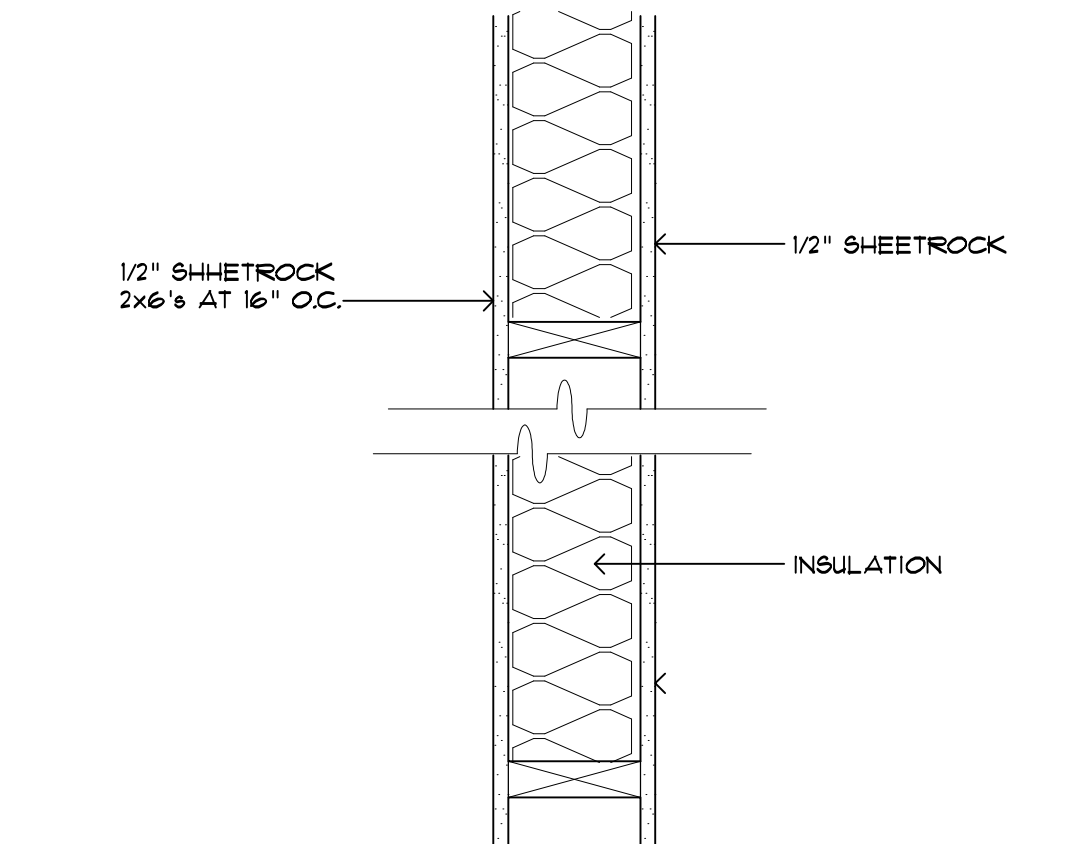
7 EXTERIOR CORNER TRIM  
3" = 1'-0" 1012-D068



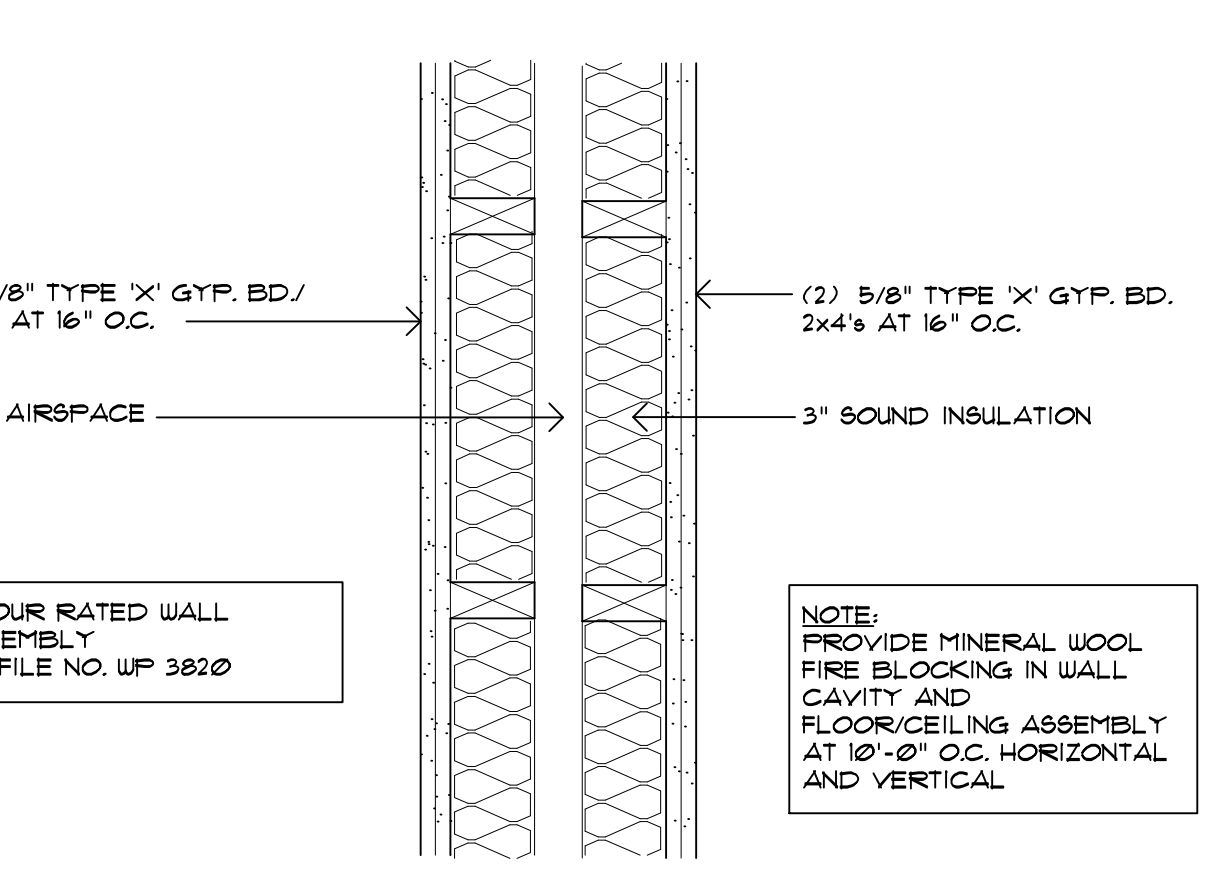
8 EXTERIOR CORNER TRIM  
3" = 1'-0" 1012-D069



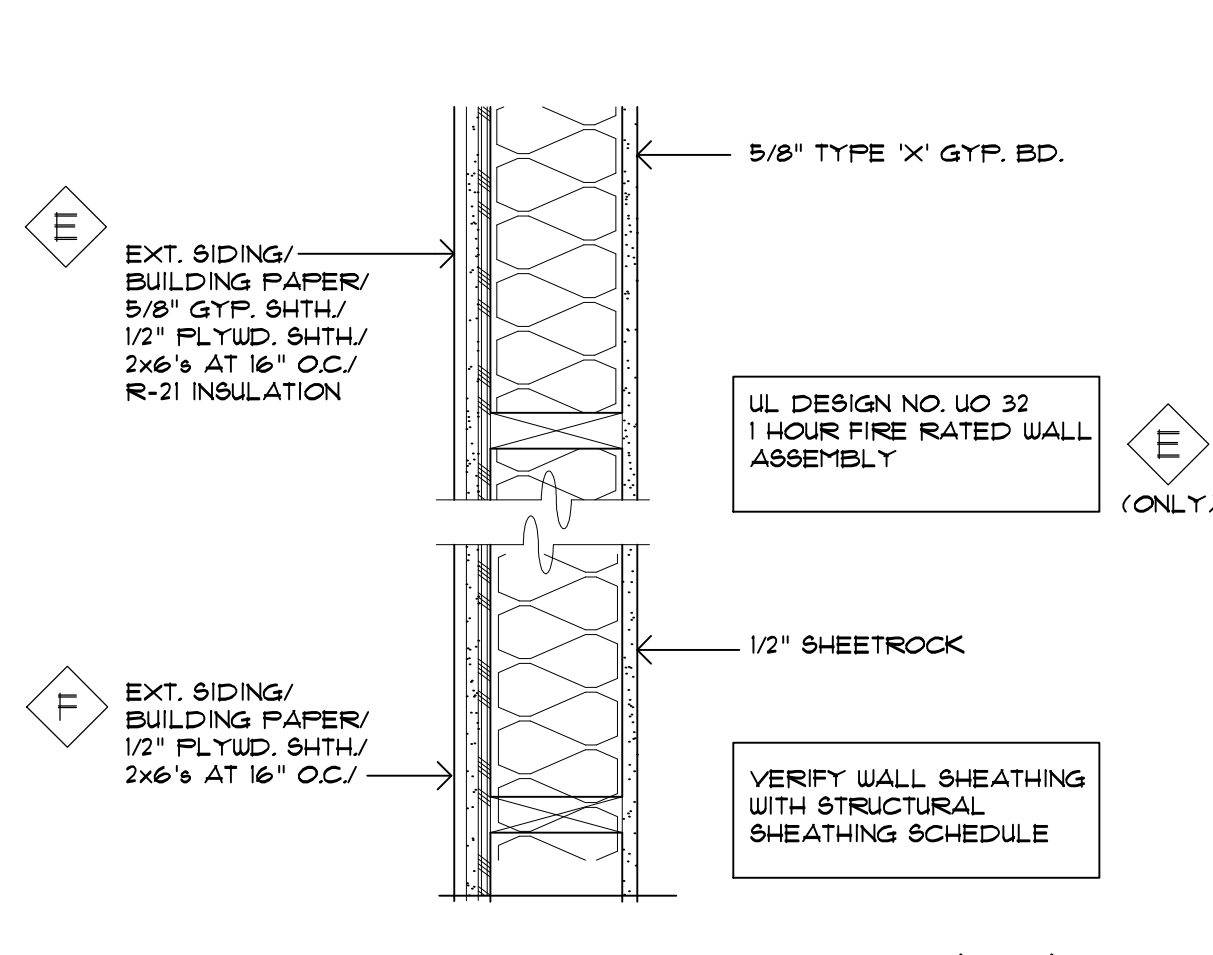
1 TYP. INTERIOR WALL  
1 1/2" = 1'-0" 1012-D002



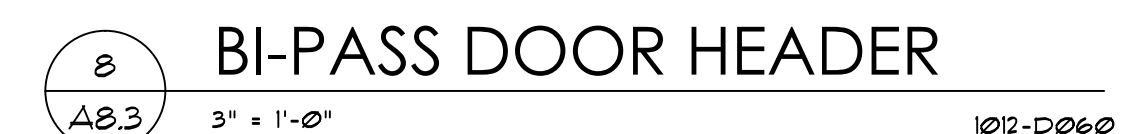
2 TYP. GARAGE 1 HR. WALL  
1 1/2" = 1'-0" 1012-D001



3 TWO HOUR PARTY WALL  
1 1/2" = 1'-0" 1012-D003B



4 TYP. EXTERIOR WALL  
1 1/2" = 1'-0" 1012-D005



The type of exterior finish, the installation and waterproofing details are all to be the responsibility of the owner/builder. This Designer highly recommends third party verifiy building envelope and inspection of final product. This Designer assumes no responsibility for the integrity of the building envelope.

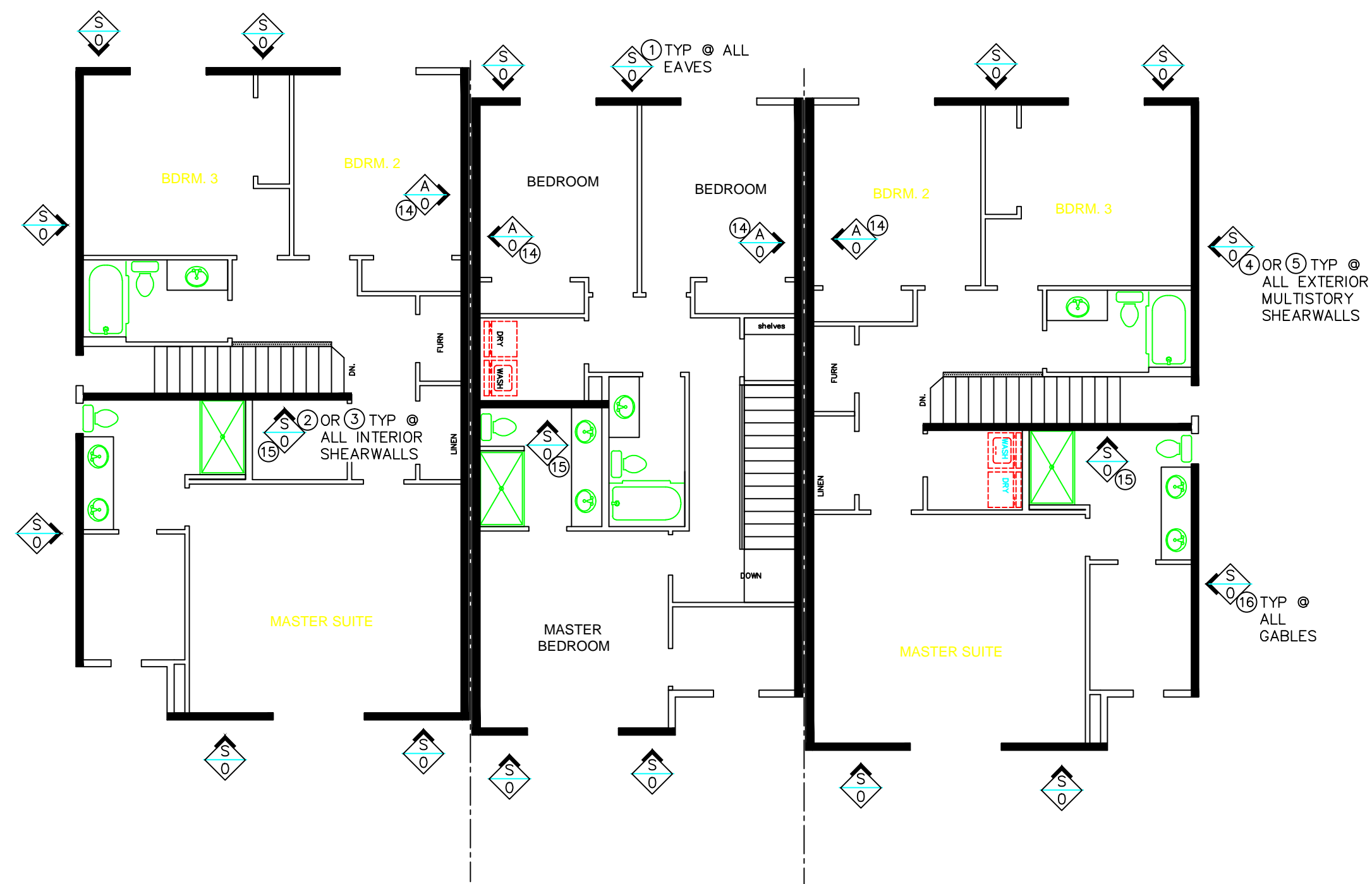
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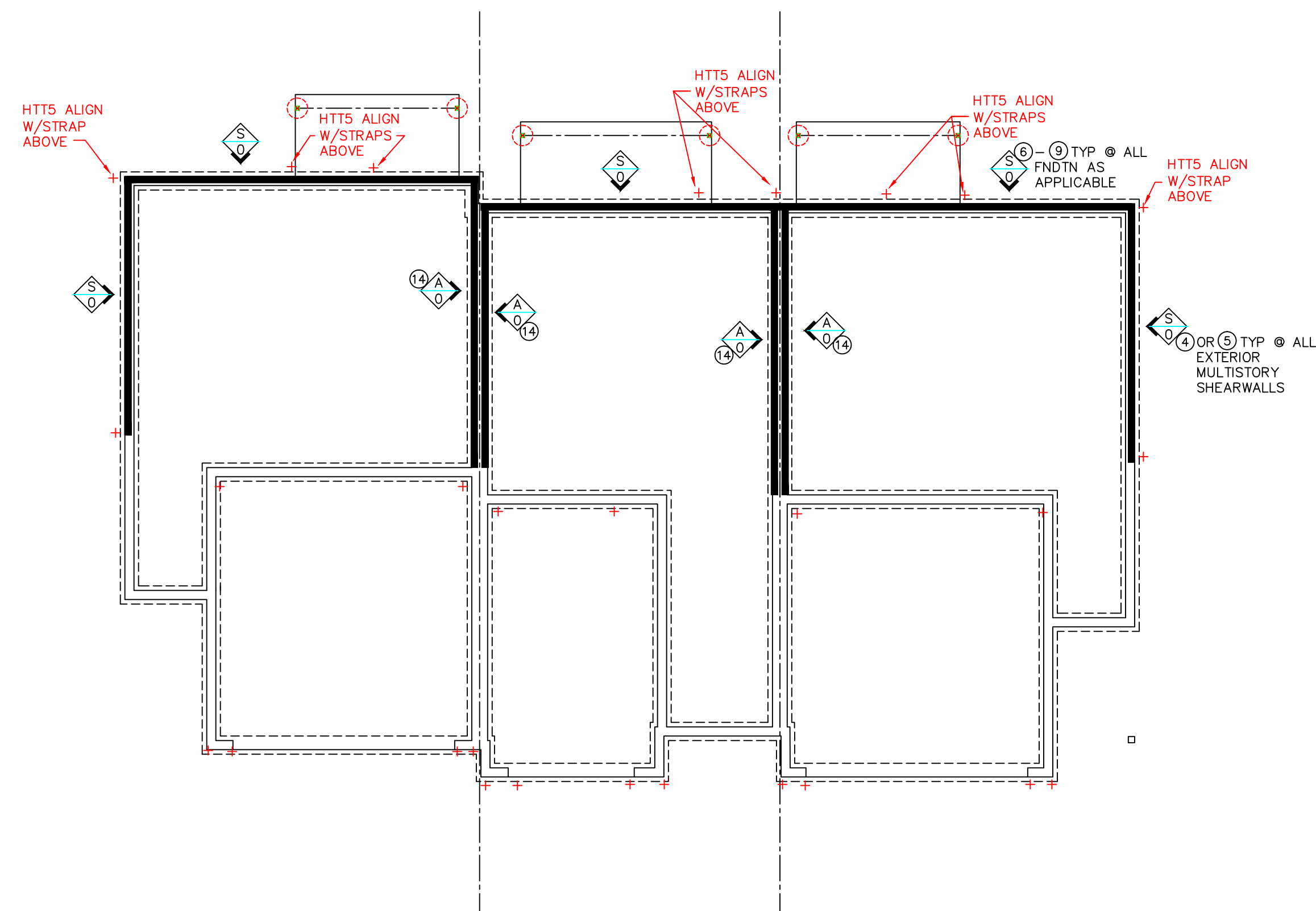
DRAWN: GTR

detail sheet 3

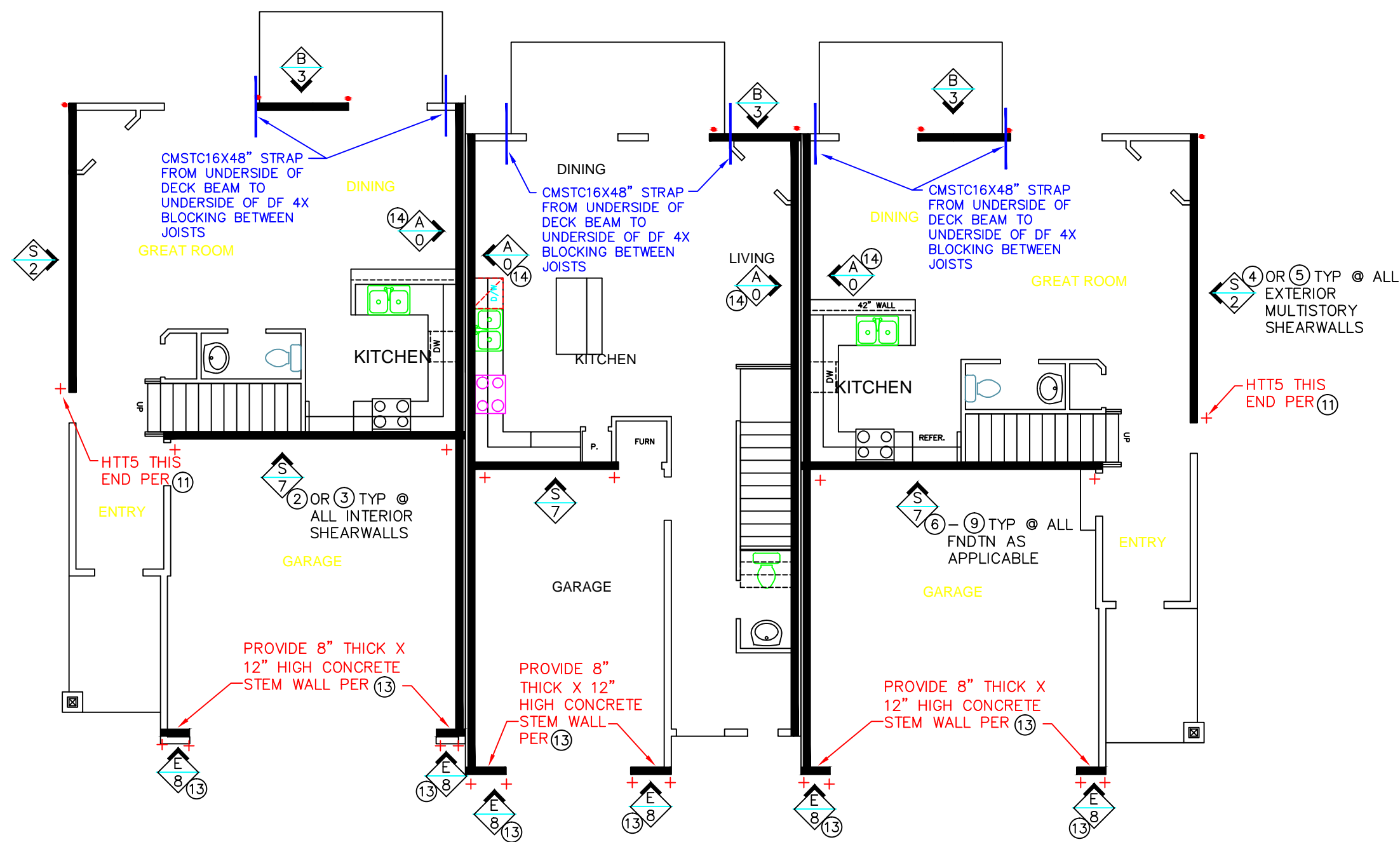




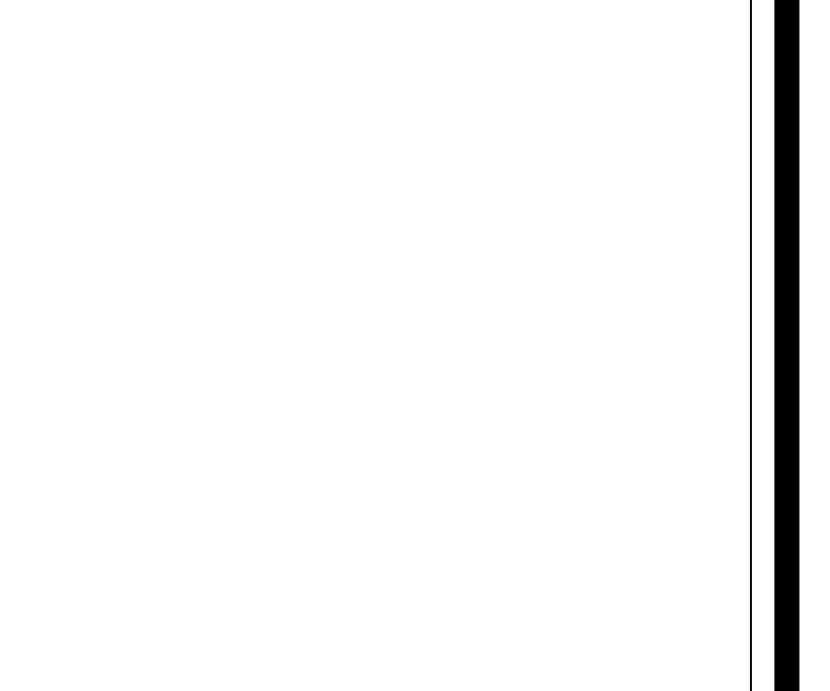
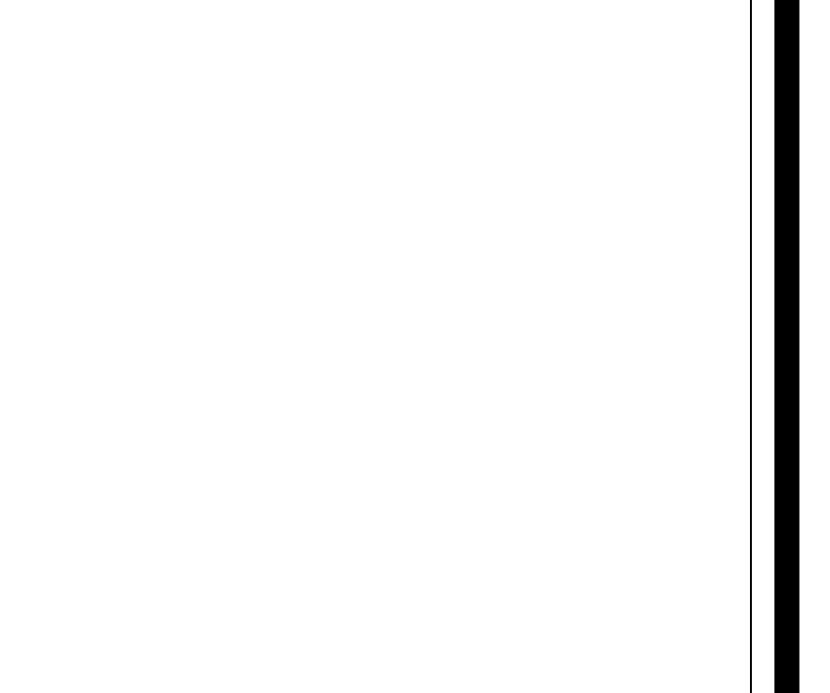
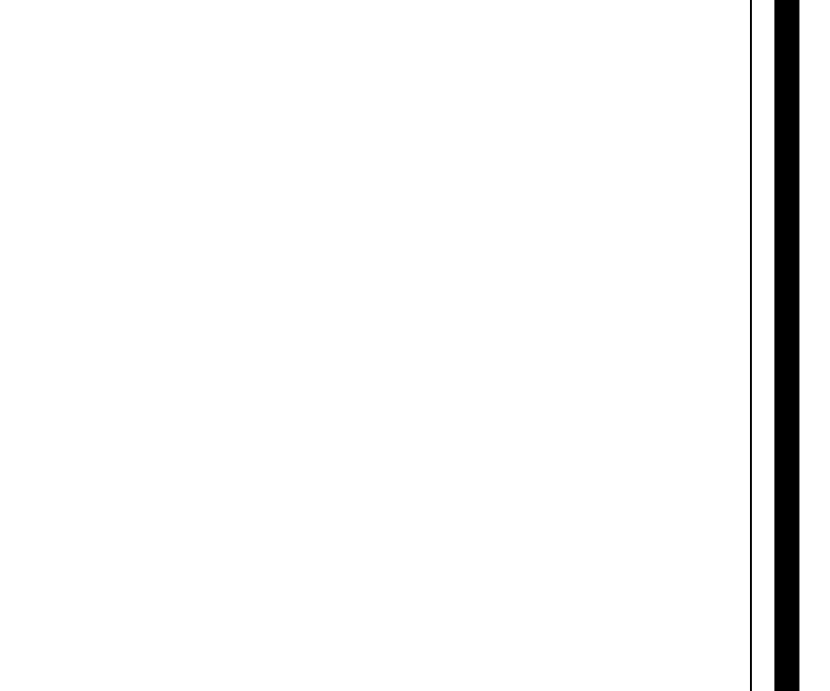
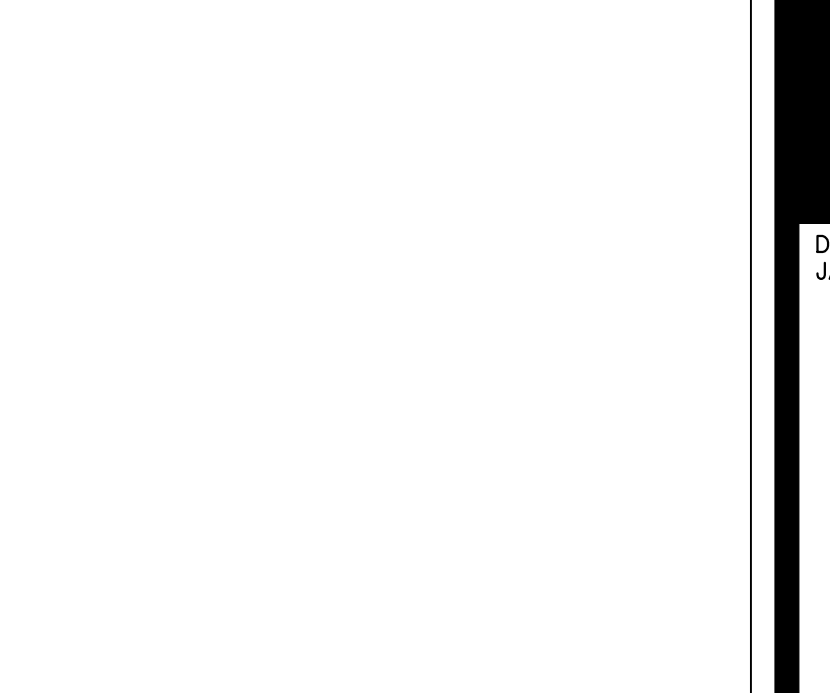
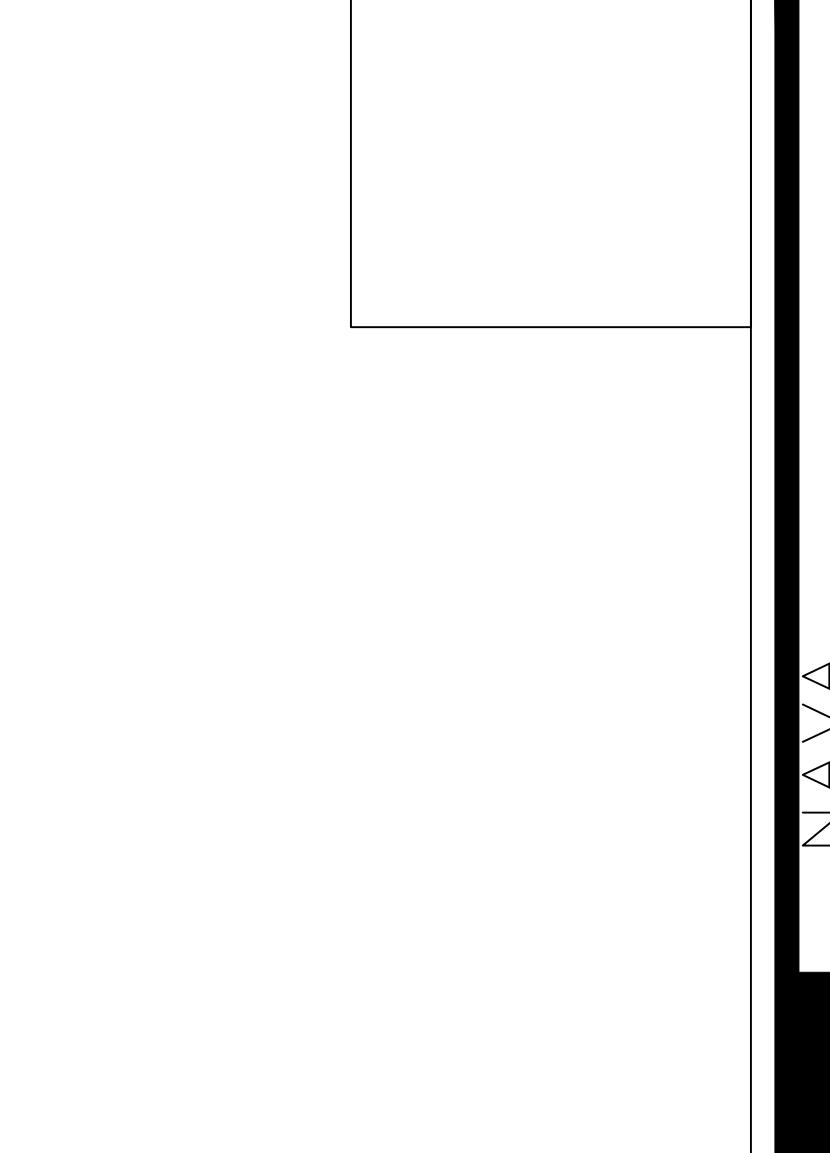
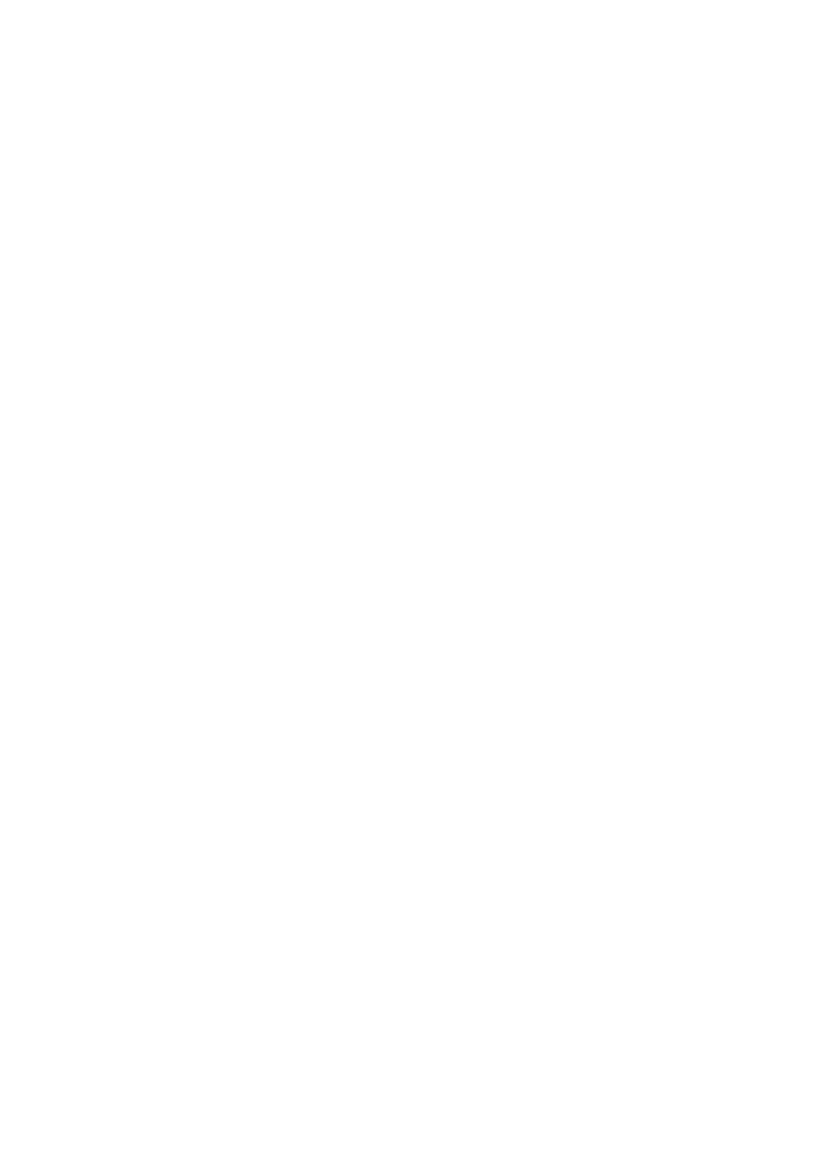
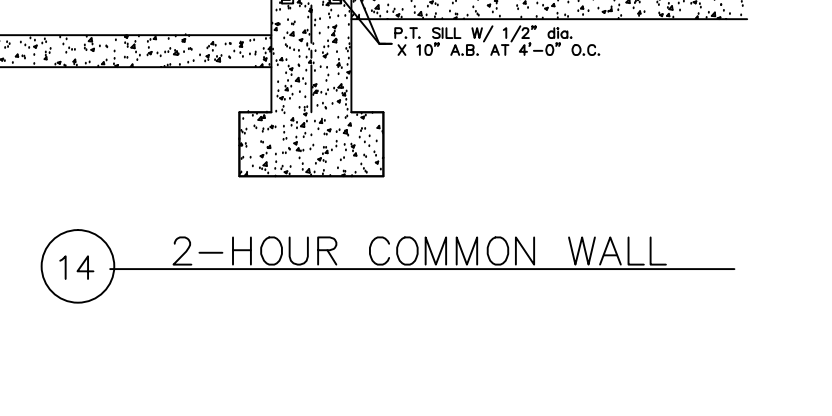
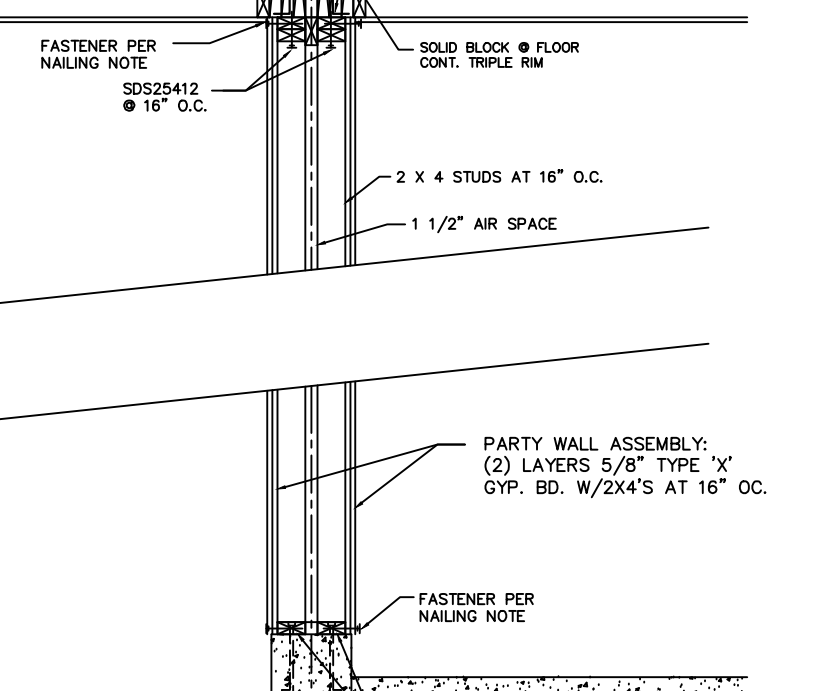
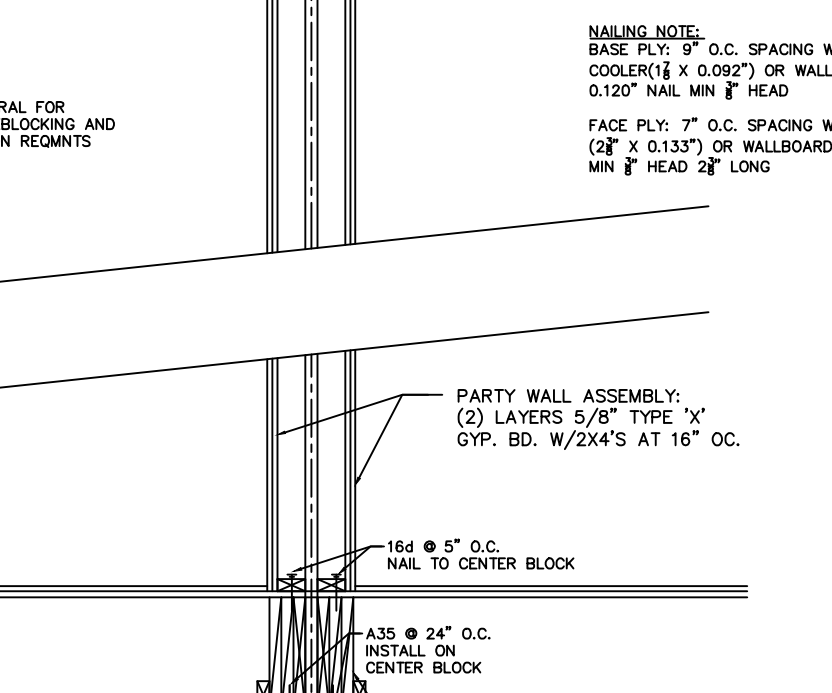
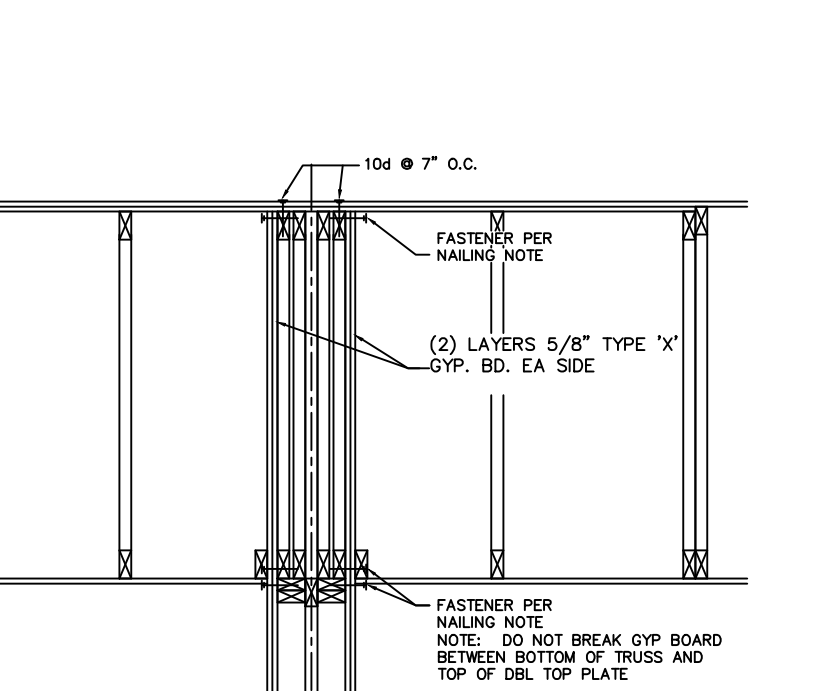
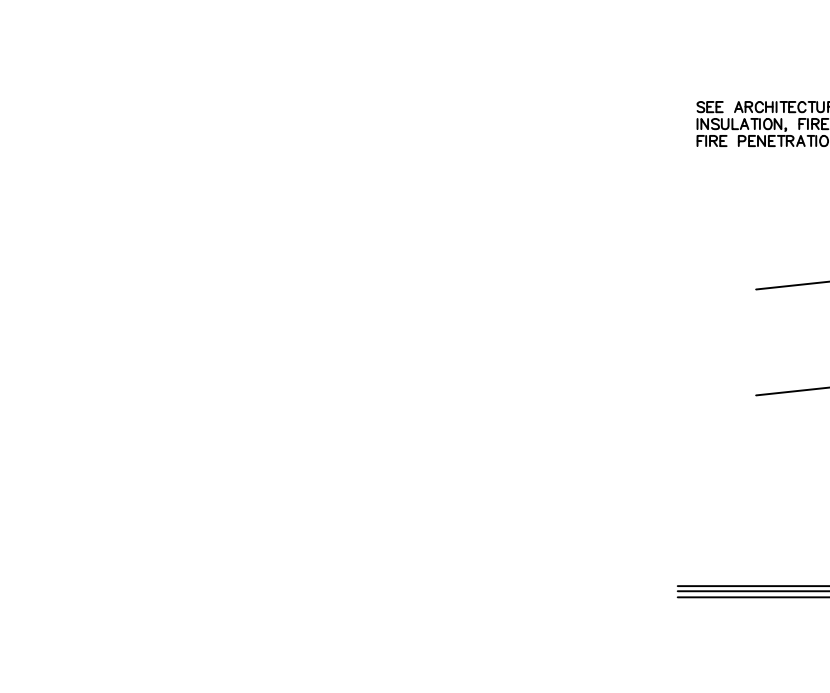
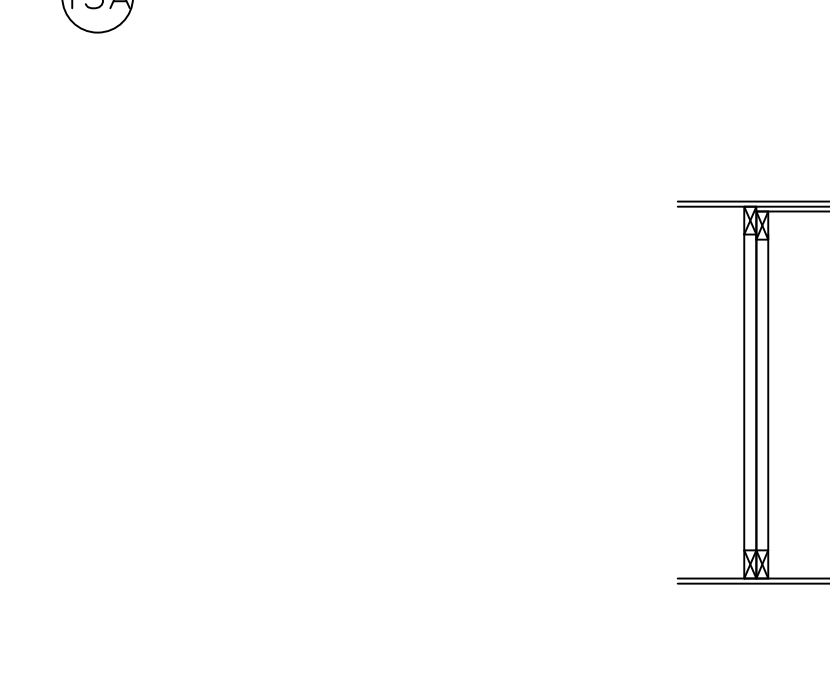
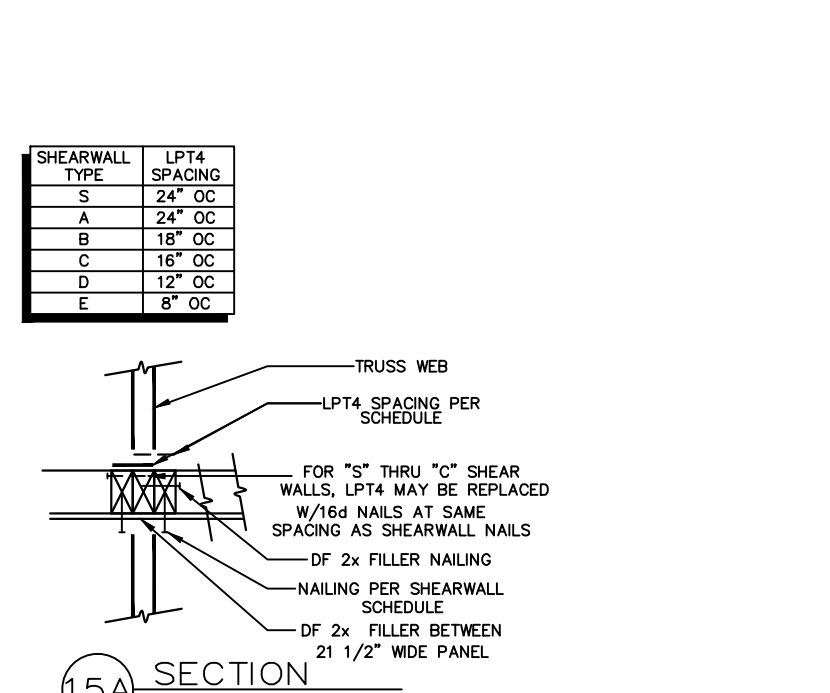
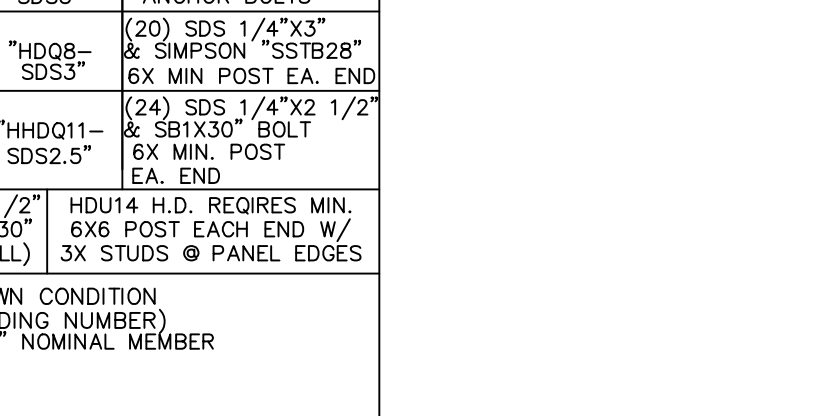
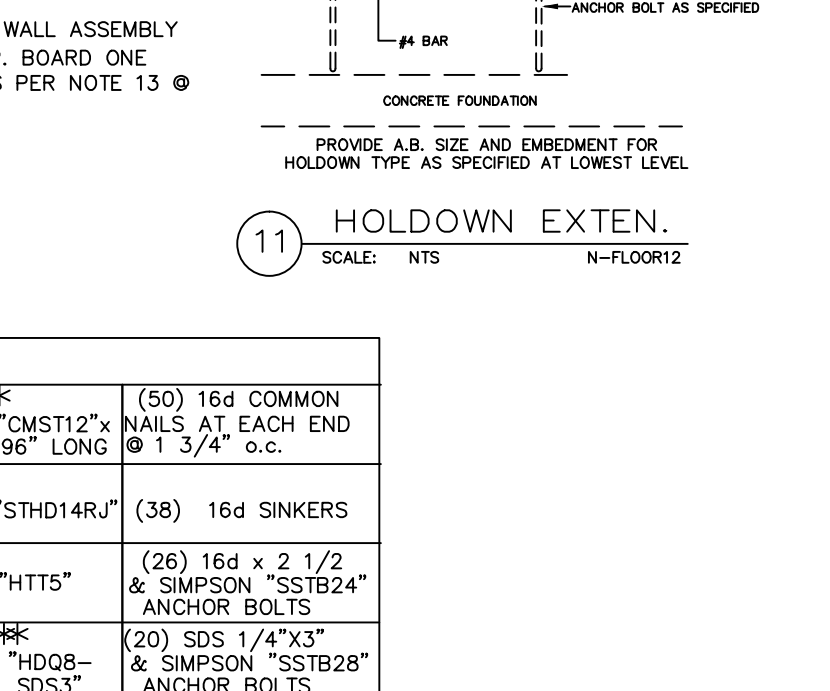
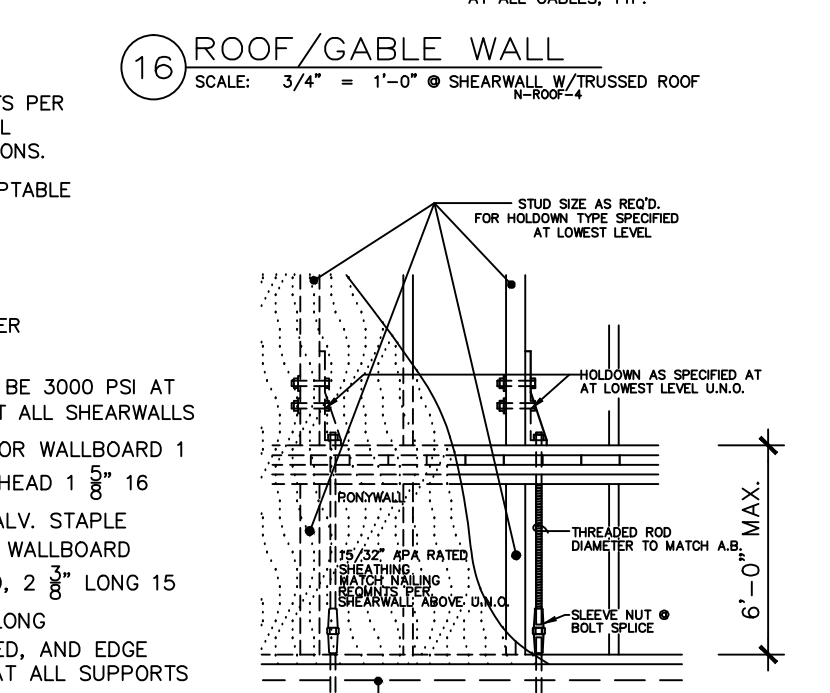
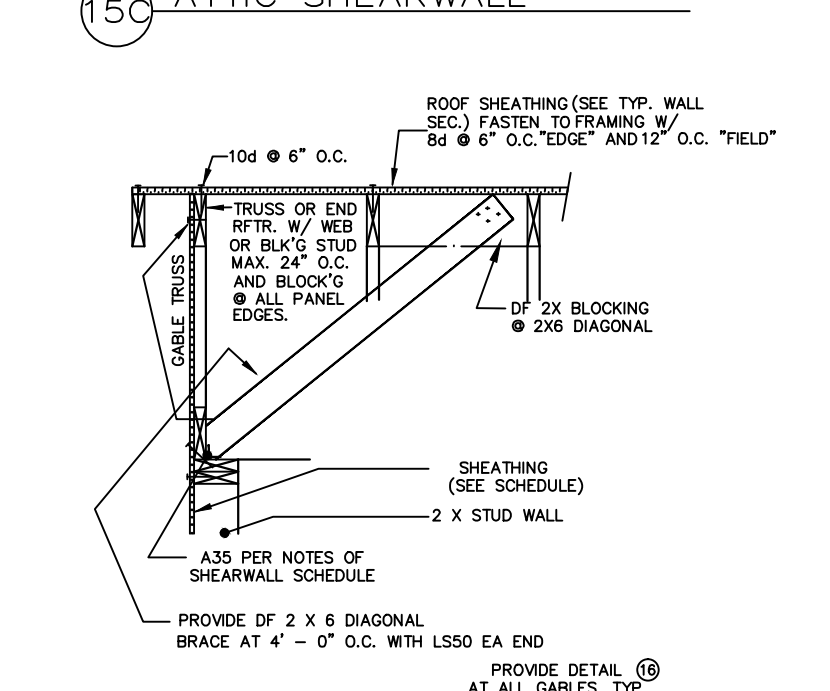
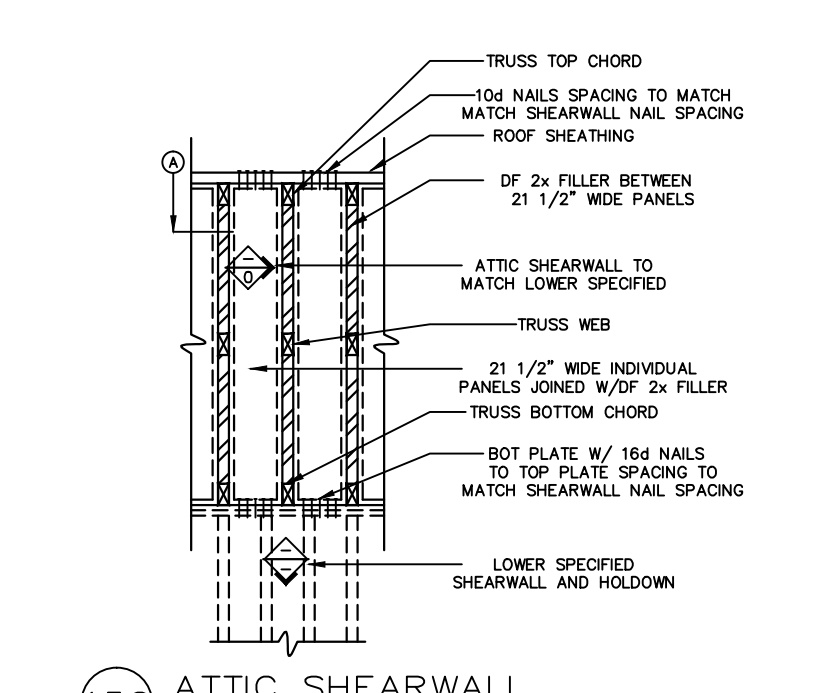
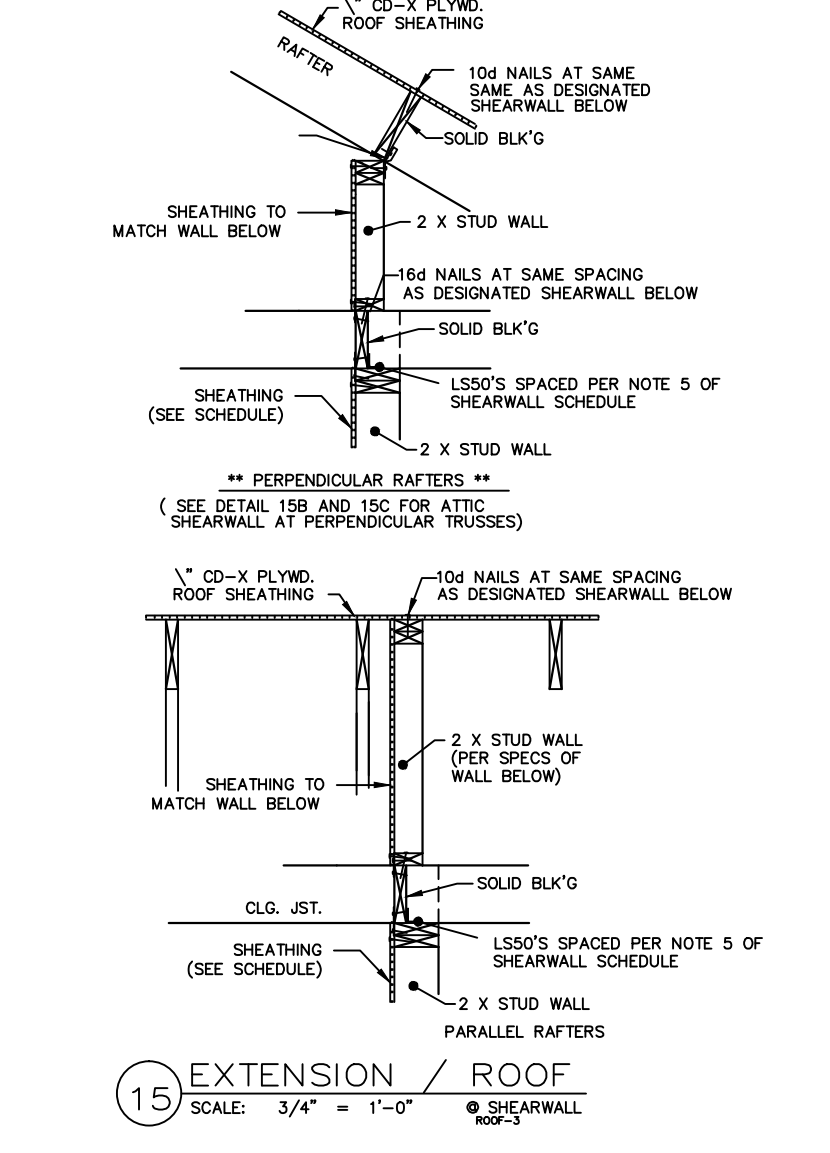
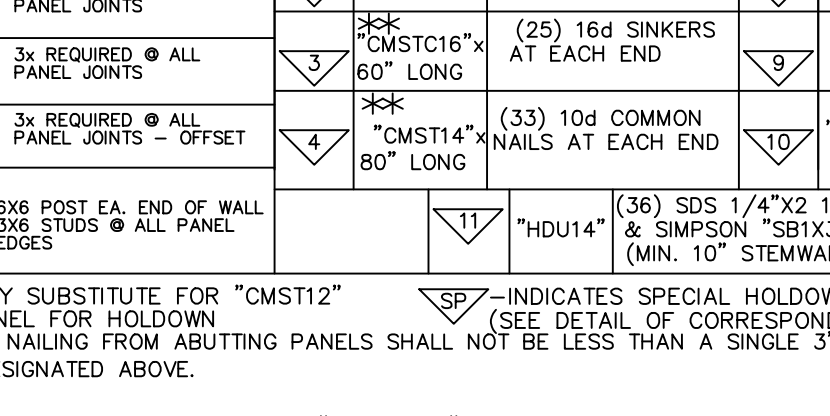
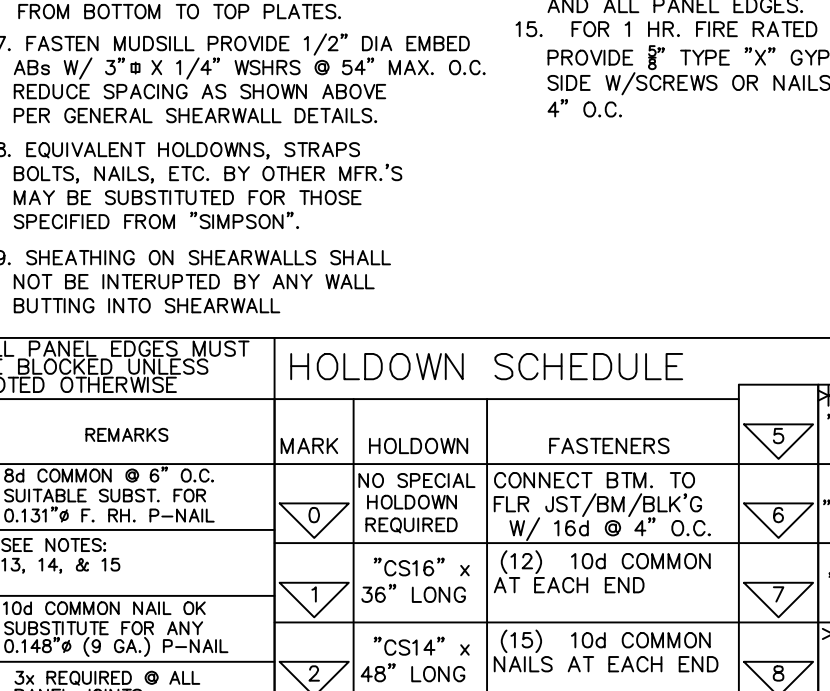
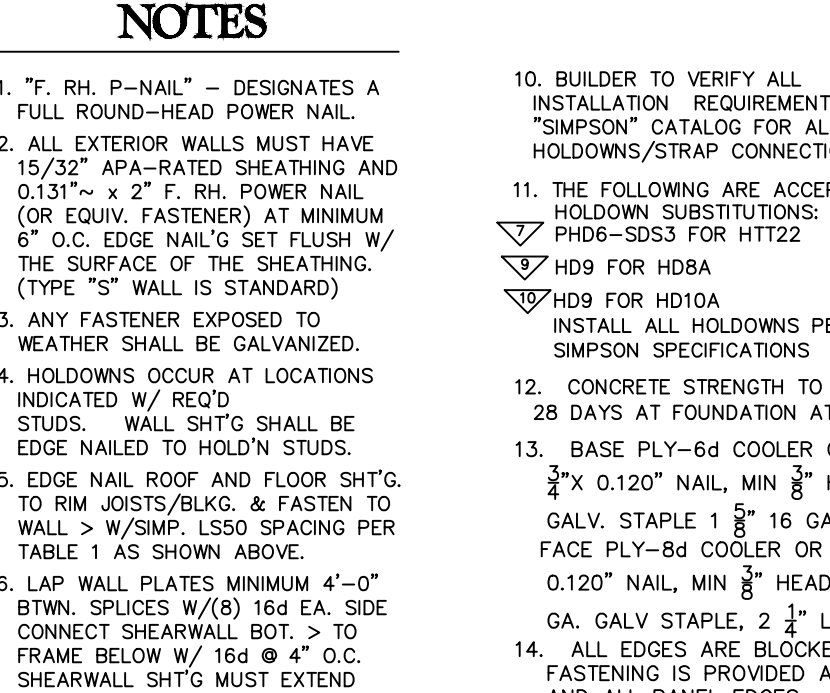
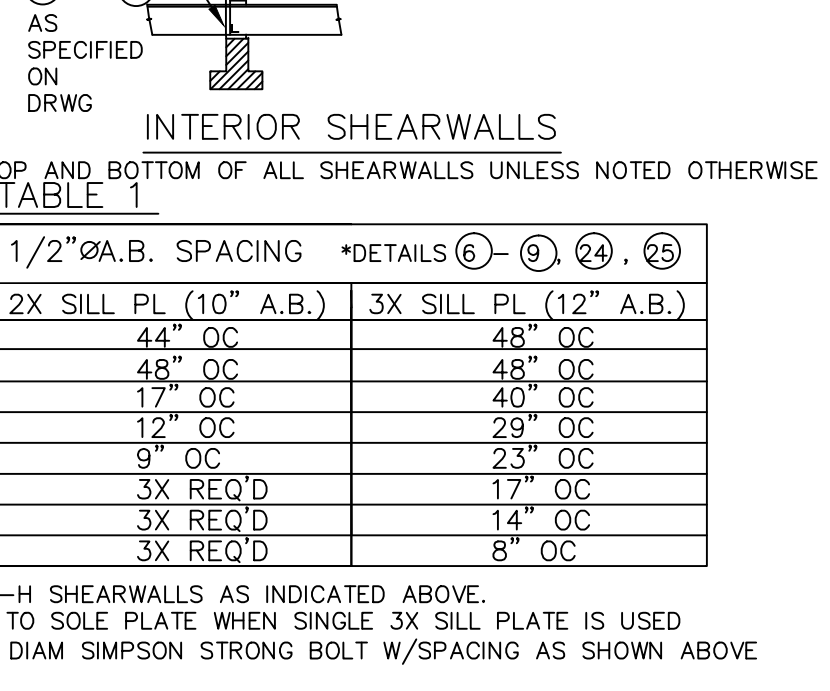
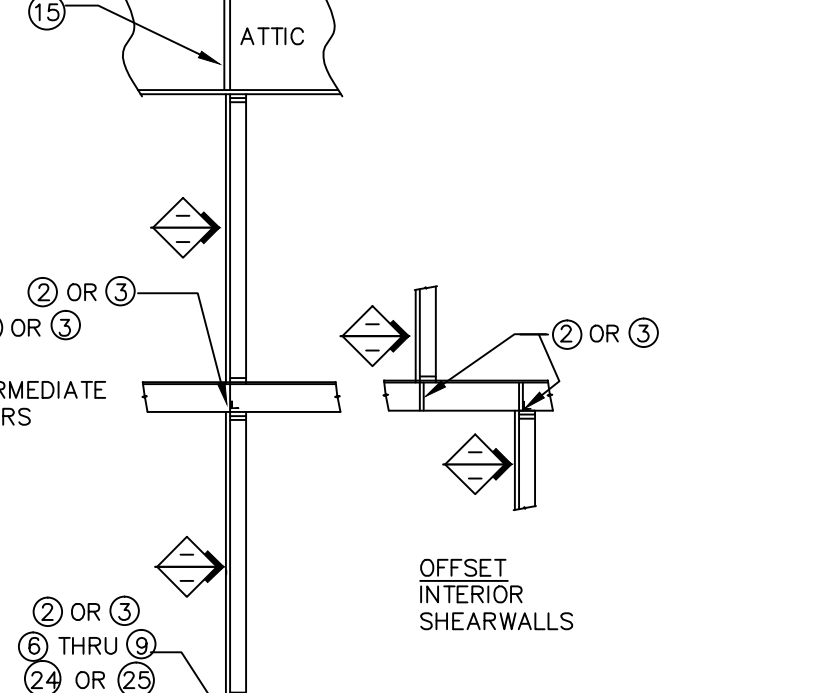
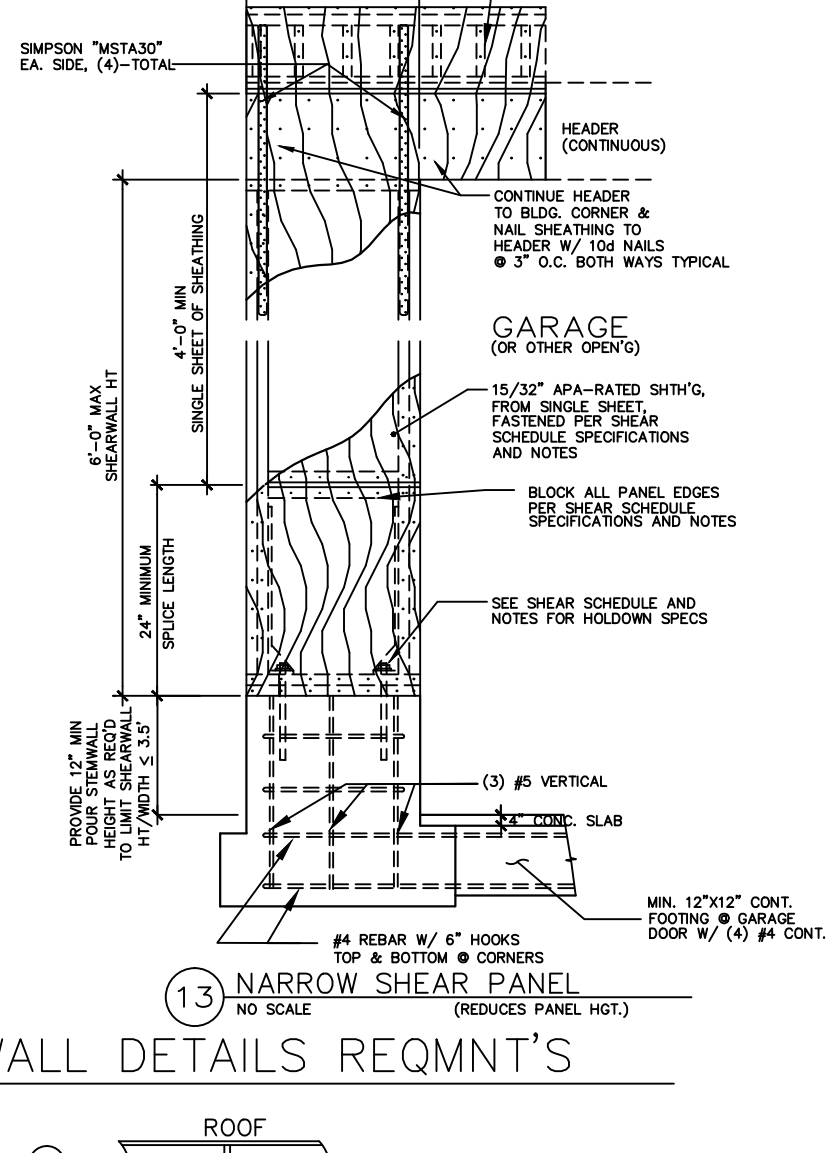
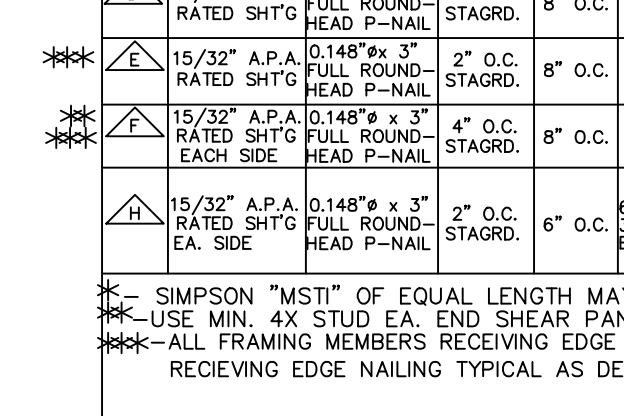
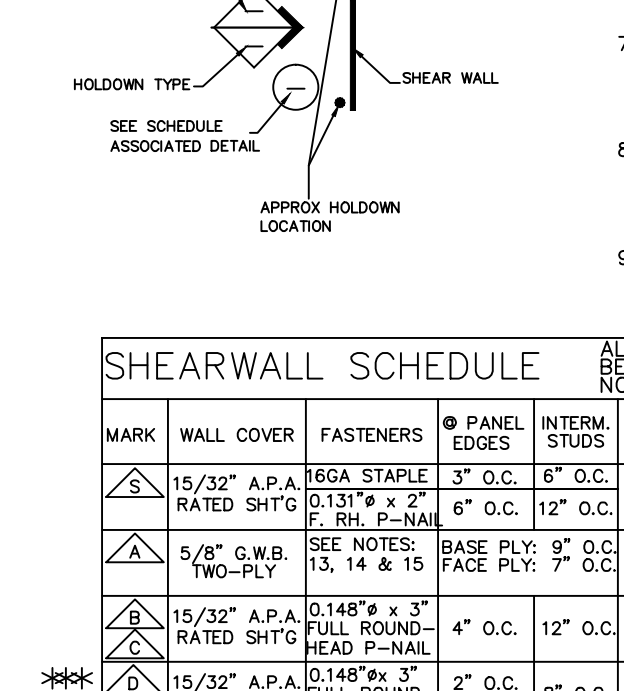
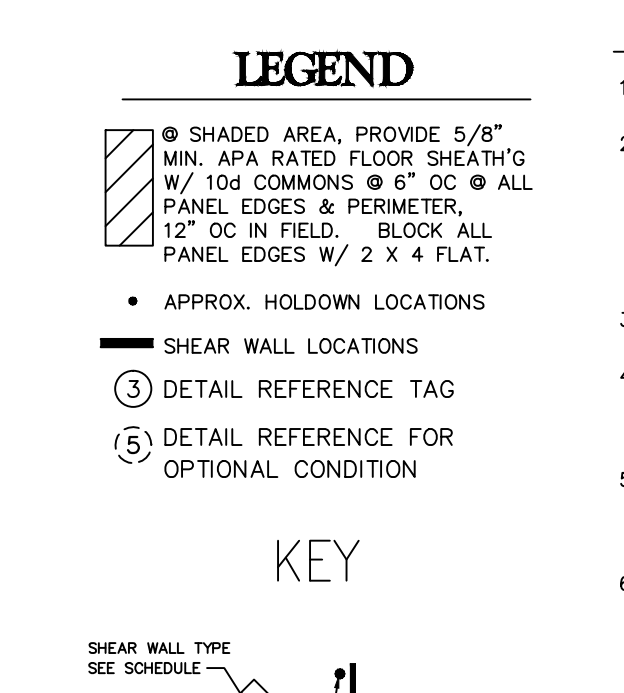
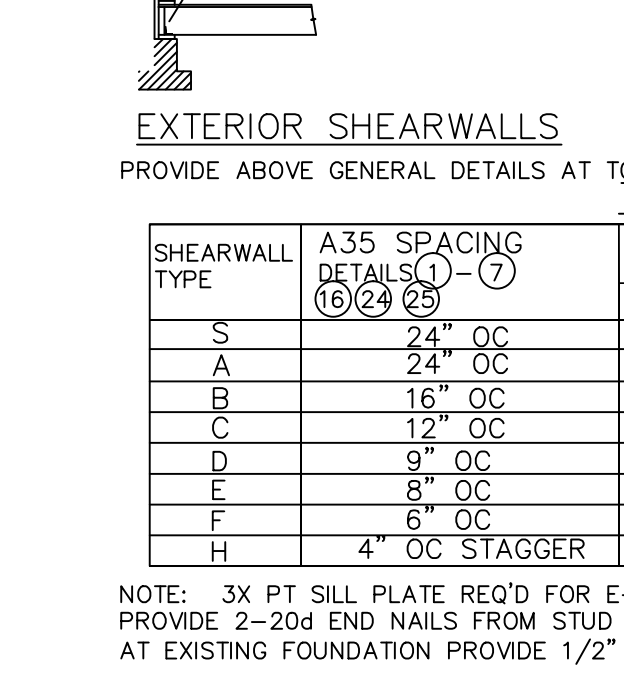
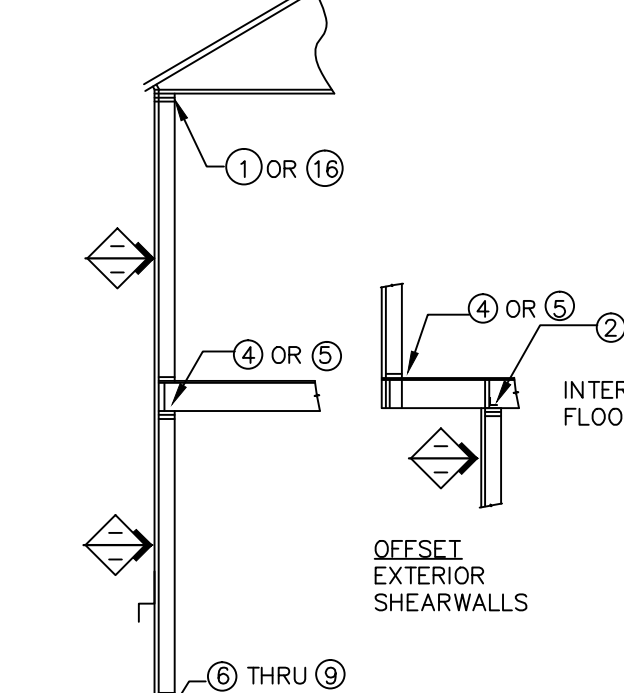
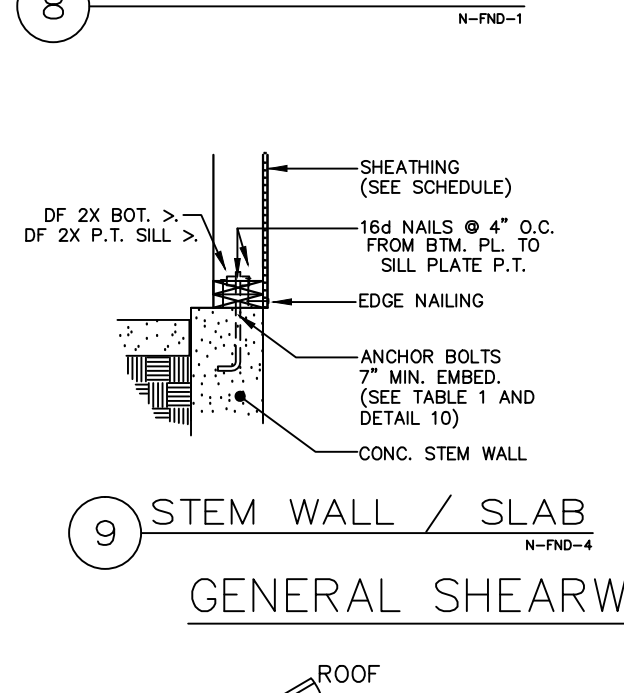
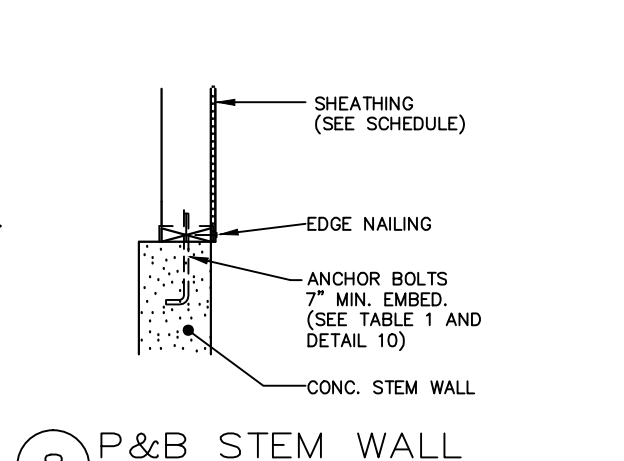
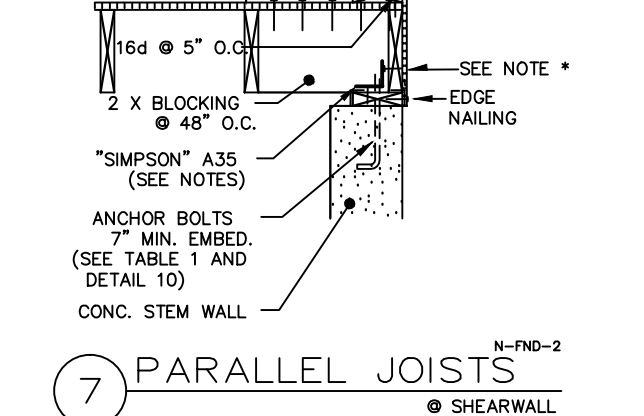
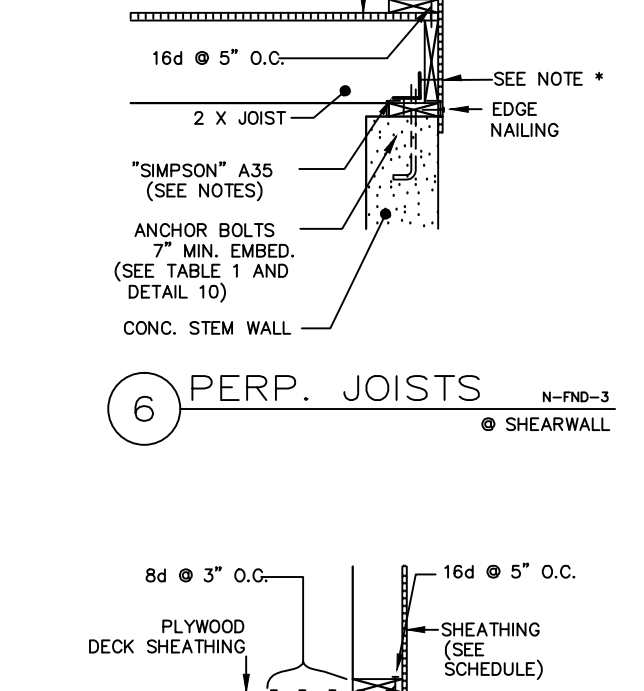
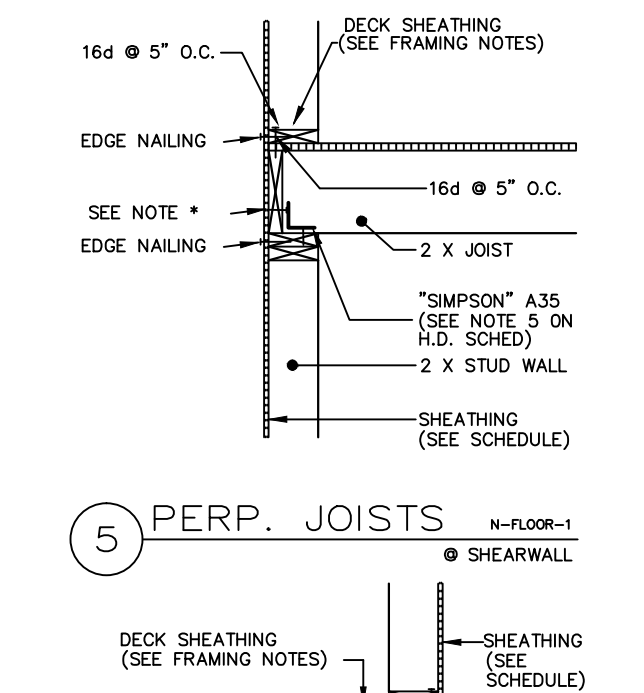
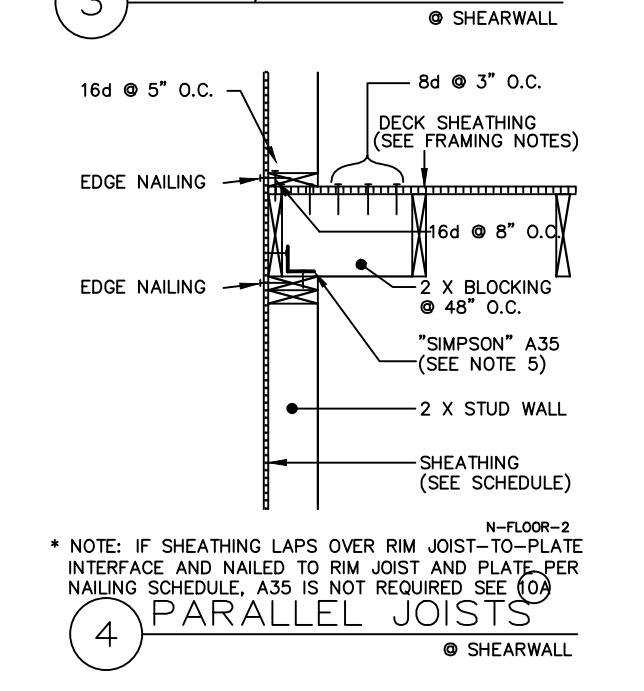
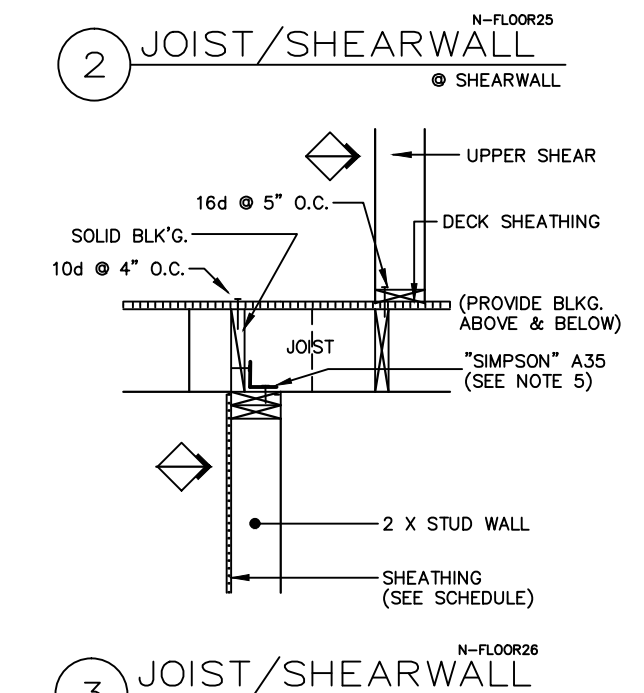
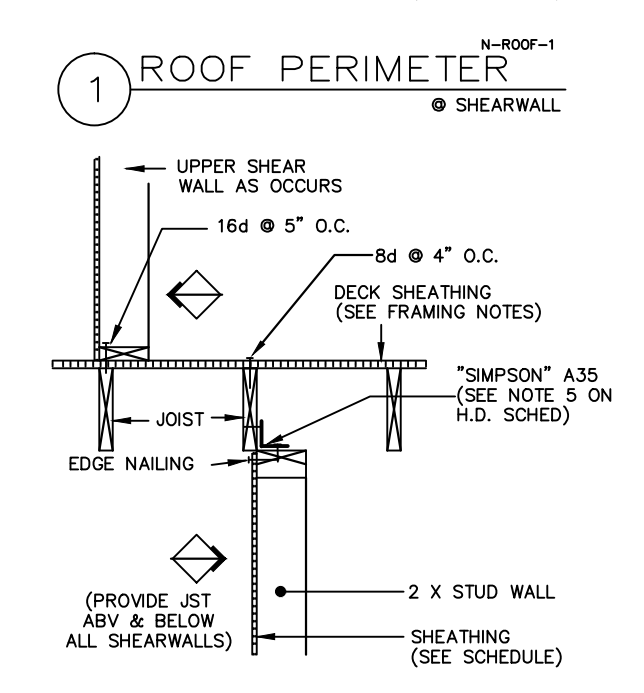
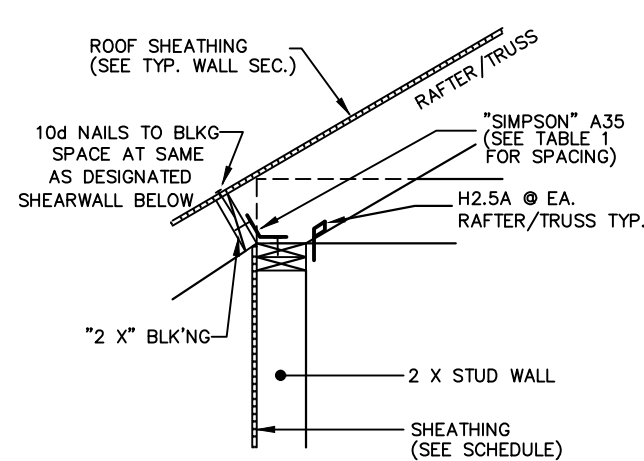
UPPER BUILDING 7



PONYWALLS BUILDING 7



MAIN BUILDING 7



SHEARWALL TYPE	A35 SPACING DETAILS (1)-(7)		1/2\"/>
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NOTE: 3X PT SILL PLATE REQ'D FOR E-H SHEARWALLS AS INDICATED ABOVE.  
 PROVIDE 2-20d END NAILS FROM STUD TO SOLE PLATE WHEN SINGLE 3X SILL PLATE IS USED AT EXISTING FOUNDATION PROVIDE 1/2\"/>

- LEGEND**
- SHADE AREA, PROVIDE 5/8\"/>
- NOTES**
- "F, RH, P-NAIL" - DESIGNATES A FULL ROUND-HEAD POWER NAIL.
  - ALL EXTERIOR WALLS MUST HAVE 15/32\"/>

KEY

5. EDGE NAIL JOISTS AND FLANGE BOLTS TO RIM JOISTS/BLUG & FASTEN TO WALL > W/SIMP. LS50 SPACING PER TABLE 1 AS SHOWN ABOVE.
6. LAP WALL PLATES MINIMUM 4'-0" BTWN. SPLICES W/(8) 16d EA SIDE CONNECT SHEARWALL BOT. > TO FRAME BELOW W/ 16d @ 4'-0". SHEARWALL SHIT TO MUST EXTEND FROM BOTTOM TO TOP PLATES.
7. FASTEN MUDSILL PROVIDE 1/2" DIA EMBED 8B8 W/ 3" 1/4" WSHRS @ 54" MAX. O.C. REDUCE SPACING AS SHOWN ABOVE PER GENERAL SHEARWALL DETAILS.
8. EQUIVALENT HOLDOWNS, STRAPS BOLTS, NAILS, ETC. BY OTHER MFR.'S MAY BE SUBSTITUTED FOR THOSE SPECIFIED FROM "SIMPSON".
9. SHEATHING ON SHEARWALLS SHALL NOT BE INTERRUPTED BY ANY WALL BUTTING INTO SHEARWALL.

10. GALV. STAPLE 1" x 0.120" NAIL, MIN 8" GA. FACE PL-84 COOLER OR 0.120" NAIL, MIN 8" HEAD.
11. GA. GALV STAPLE, 2" x 1/4" GA. ALL EDGES ARE BOLTED FASTENING IS PROVIDED AND ALL PANEL EDGES.
12. PROVIDE 2" TYPE "C" GYPSUM SIDE W/SCREWS OR NAILS @ 4" O.C.
13. GALV. STAPLE, 1" x 0.120" NAIL, MIN 8" GA. FACE PL-84 COOLER OR 0.120" NAIL, MIN 8" HEAD.
14. GALV. STAPLE, 2" x 1/4" GA. ALL EDGES ARE BOLTED FASTENING IS PROVIDED AND ALL PANEL EDGES.
15. FOR 1 HR. FIRE RATING PROVIDE 2" TYPE "C" GYPSUM SIDE W/SCREWS OR NAILS @ 4" O.C.

SHEARWALL SCHEDULE						HOLDOWN SCHEDULE					
ALL PANEL EDGES MUST BE NOTED OTHERWISE											
MARK	WALL COVER	FASTENERS	PANEL EDGES	INTERM. STUDS	REMARKS	MARK	HOLDOWN	FASTENERS	PANEL EDGES	INTERM. STUDS	REMARKS
1	15/32" A.P. RATED SHIT	16GA STAPLE	3" O.C.	6" O.C.	84 COMMON NAIL OR 6" O.C. SUBSTITUTION FOR ANY 1/4" x 4" x 16	15/32"	NO SPECIAL HOLDDOWN REQUIRED	CONNECT BTM. TO FLR. JST 1/8" BULK/G	1	5	
2	15/32" A.P. RATED SHIT	0.131" x 2" RH - P-NAIL	6" O.C.	12" O.C.	SEE NOTES. 0.131" F. RH - P-NAIL	15/32"	NO SPECIAL HOLDDOWN REQUIRED	(12) 1/2" x 6" BULK/G	2	6	
3	6" C.W.B. TWO-P	SEE NOTES: 1/4, 14 & 15	BASE PLATE: 4" FACE PLATE	SEE NOTES: 1/4, 14 & 15		1	"CS16" x 36" LONG	(12) 1/2" x 6" BULK/G AT EACH END	3	7	
4	15/32" A.P. RATED SHIT	1/4" x 4" x 16 FULL ROUND-HEAD P-NAIL	3" O.C.	12" O.C.	100 COMMON NAIL OR SUBSTITUTE FOR ANY 1/4" x 4" x 16	1	"CS14" x 48" LONG	(15) 1/2" COMMON NAILS AT EACH END	4	8	
5	15/32" A.P. RATED SHIT	1/4" x 4" x 16 FULL ROUND-HEAD P-NAIL	2" O.C.	8" O.C.	3x REQUIRED @ ALL PANEL JOINTS	2	"CS16" x 48" LONG	(25) 16d SINKERS AT EACH END	5	9	
6	15/32" A.P. RATED SHIT	1/4" x 4" x 16 FULL ROUND-HEAD P-NAIL	2" O.C.	8" O.C.	3x REQUIRED @ ALL PANEL JOINTS	3	"CS16" x 48" LONG	(25) 16d SINKERS AT EACH END	6	10	
7	15/32" A.P. RATED SHIT	1/4" x 4" x 16 FULL ROUND-HEAD P-NAIL	2" O.C.	8" O.C.	3x REQUIRED @ ALL PANEL JOINTS - OFFSET	4	"CSM14" x 80" LONG	(33) 1/2" COMMON NAILS AT EACH END	7	11	
8	15/32" A.P. RATED SHIT	1/4" x 4" x 16 FULL ROUND-HEAD P-NAIL	2" O.C.	8" O.C.	8X8 POST EA. END OF WALL PANELS	11	"HDU14"	(36) SDS 1/4" x 24" x 1/2" x 1/			