



# VOLARE HOMES - BUILDING 5



# VOLARE TOWNHOMES BUILDING 5

# HAPPY VALLEY

## PERMIT SET

## **REVISIONS:**

Project number	Project Number
	12/28/2012
Entered By	Checker

# **COVER SHEET**

CS

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SYMBOLS LEGEND		ABBREVIATIONS										GENERAL NOTES	
	WINDOW TAG WITH WIDTH, HEIGHT, HEAD HEIGHT	AFF ABOVE FINISH FLOOR AFG ABOVE FINISH GRADE ACCOUST ACCOUSTICAL ACI AMERICAN CONCRETE INSTITUTE ADD'L ADDITIONAL ADJ ADJUSTABLE AGG AGGREGATE AL ALUMINUM ALT ALTERNATE AB ANCHOR BOLT APPROX APPROXIMATELY ARCH ARCHITECTURAL AD AREA DRAIN ASPH ASPHALT AC ASPHALTIC CONCRETE ASCE AMERICAN SOCIETY OF CIVIL ENGINEERS ASTM AMERICAN SOCIETY FOR TESTING & MATERIALS AWS AMERICAN WELDING SOCIETY B BASE BFF BELOW FINISH FLOOR BM BEAM BITUM BITUMINOUS BL BLINDS BLK BLOCK BLKG BLOCKING BO BLOCK OUT BD BOARD BOT/BTM BOTTOM BC BOTTOM OF CURB BW BOTTOM OF WALL BLDG BUILDING C CARPET CAB CABINET CI CAST IRON CIP CAST IN PLACE CB CATCH BASIN CD CEILING DIFFUSER CLG CEILING CEM CEMENT CTR CENTER CT CERAMIC TILE CLO CENTER LINE CLR CLEAR CLO CLOSER COL COLUMN CONCCONCRETE CONCRETE CMU CONCRETE MASONRY UNIT CONNCONNECTION CONNCONNECTION CONDCONDITION CONDCONDITION CONSTR CONSTRUCTION CONT CONTINUOUS CONTR CONTRACTOR CJ CONTROL JOINT CORR CORRIDOR CNTR COUNTER CTSK COUNTERSINK DEPT DEPARTMENT DET DETAIL DIA DIAMETER DIAG DIAGONAL DIM DIMENSION DW DISHWASHER DISP DISPOSAL DR DOOR DBL DOUBLE DN DOWN DS DOWNSPOUT DWR DRAWER DWG DRAWING EA EACH ES EACH SIDE EE EACH END EF EACH FACE E EAST ELEC ELECTRICAL EL ELEVATION EMEREMERGENCY EMERGENCY EMBED EMBEDMENT ENCL ENCLOSURE EQ EQUAL EQPT EQUIPMENT (E) EXISTING EXP EXPANSION EXH EXHAUST EJ EXPANSION JOINT EXPO EXPOSED EXT EXTERIOR EIFS EXTERIOR INSULATION & FINISH SYSTEM F FABRIC FOC FACE OF CONCRETE FOF FACE OF FINISH FOM FACE OF MASONRY FOS FACE OF STUD F.FIN FACTORY FINISH FF FINISH FLOOR FFE FINISH FLOOR ELEVATION FA FIRE ALARM FACP FIRE ALARM CONTROL PANEL FE FIRE EXTINGUISHER	FRP FIBERGLASS REINFORCED PANELS FRT FIRE RETARDANT TREATED FPRF FIREPROOF FIXT FIXTURE FH FLATHEAD FL FLOOR FD FLOOR DRAIN FT FOOT OR FEET FTG FOOTING FDN FOUNDATION FS FULL SIZE / SCALE FOIC FURNISHED BY OWNER INSTALLED BY CONTRACTOR FURR FURRING FUT FUTURE G GROUT GALV GALVANIZED GI GALVANIZED IRON GD GARBAGE DISPOSAL GA GAUGE GLU-LAM GLUED LAMINATED GL GLASS GB GRAB BAR GR GRADE GND GROUND GFI GROUND FAULT INTERRUPTER GYP BRD GYPSUM WALLBOARD GYP BD/WR WATER RESISTANT GYP GYPSUM HD HEAD HDWE HARDWARE HT HEIGHT HC HOLLOW CORE HCP HOLLOW CORE PLANK HM HOLLOW METAL HORIZ HORIZONTAL HB HOSE BIB HR HOUR IN INCH(ES) ID INSIDE DIAMETER IF INSIDE FACE INSUL INSULATION INT INTERIOR ICBO INTERNATIONAL CONFERENCE OF BUILDING OFFICIAL K DN KNOCK DOWN LBS POUNDS LAV LAVATORY LT LIGHT LOC LOCATION LONG LONGITUDINAL MACH MACHINE M MORTAR MB MACHINE BOLT MH MANHOLE MFR MANUFACTURER MO MASONRY OPENING MAX MAXIMUM MECH MECHANICAL MC MEDICINE CABINET MDO MEDIUM DENSITY OVERLAY MEMB MEMBRANE MTL METAL MIN MINIMUM MISC MISCELLANEOUS MTD MOUNTED MUL MULLION (N) NEW MDO MEDIUM DENSITY OVERLAY OPNG OPENING OPP OPPOSITE OH OPPOSITE HAND OZ OUNCE OD OUTSIDE DIAMETER OF OUTSIDE FACE OSHA OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION OWJ OPEN WEB JOIST P PAINT PR PAIR PART BD PARTICLE BOARD PTN PARTITION PERF PERFORATED PLAS PLASTER PL PLATE OR PLASTIC LAMINATE PWD PLYWOOD PT POINT	PP POWER POLE PRECAST PRECAST PREFIN PREFINISHED PT PRESSURE TREATED P/T POST TENSIONED P/L PROPERTY LINE PVC POLYVINYL CHLORIDE PSI PER SQUARE INCH PSF PER SQUARE FOOT PERIM PERIMETER QT QUARRY TILE QTY QUANTITY (R) REMOVE (RL) RELOCATE RAD RADIUS REF REFERENCE REF'D REFLECTED REFR REFRIGERATOR REINF REINFORCED REQT REQUIREMENTS RES RESILIENT RET RETURN R RISER(S) RA RETURN AIR RD ROOF DRAIN RM ROOM RO ROUGH OPENING S SOUTH SA SUPPLY AIR SC SELF ADHESIVE MEMBRANE SGL SEALED CONCRETE SCHED SCHEDULE SEC SECTION SS SOLID SURFACE SHG SHEATHING SHT SHEET SH SHELF SHR SHOWER SIM SIMILAR SOG SLAB ON GRADE SC SOLID CORE SQ SQUARE SF SQUARE FEET S&V STAIN AND VARNISH SPEC SPECIFICATION ST STONE SLAB S STL STAINLESS STEEL SEE STRUCTURAL DRAWINGS STD STANDARD STL STEEL STN STAIN STOR STORAGE STRUC STRUCTURAL SV SHEET VINYL SYM SYMMETRICAL SYS SYSTEM T TILE TEL TELEPHONE TV TELEVISION THK THICK THRU THROUGH TOIL TOILET TPD TOILET PAPER DISPENSER T&G TONGUE AND GROOVE TO TOP OF TC TOP OF CURB TJ TRUSS JOIST TP TOP OF PAVEMENT TPL TOP OF PLATE TW TOP OF WALL TYP TYPICAL UL UNDERWRITERS LABORATORY UNF UNFINISHED UNO UNLESS NOTED OTHERWISE UR URINAL V VENT VERT VERTICAL VP VENEER PLASTER VFY VERIFY VG VERTICAL GRAIN VEST VESTIBULE VCT VINYL COMPOSITION TILE VWC VINYL WALL COVERING WC WALL COVERING/ WATER CLOSET WDF WOOD FLOORING WD WINDOW WF WIDE FLANGE WH WATER HEATER WP WATERPROOF/WALL PANEL WRB WEATHER RESISTANT BARRIER WT WEIGHT W WEST W/ WITH W/O WITHOUT WD WOOD WWF WOVEN WIRE FABRIC & AND < ANGLE @ AT	1. THE TOP OF SLAB / TOP OF FINISH FLOOR CORRESPONDS TO THE TOP OF CONCRETE SLAB OR STRUCTURAL SHEATHING AND DOES NOT ACCOUNT FOR THICKNESS OF FINISHED FLOOR UNLESS NOTED OTHERWISE 2. USE DIMENSIONS SHOWN, IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM DRAWINGS. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CROSS CHECK DETAILS AND DIMENSIONS SHOWN ON THE ARCHITECTURAL DRAWINGS WITH RELATED REQUIREMENTS ON CIVIL AND STRUCTURAL DRAWINGS AS APPLICABLE. ALLOW AND COORDINATE WITH MECHANICAL, ELECTRICAL AND PLUMBING AS REQUIRED. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE COMMENCING WORK. 3. ALL DIMENSIONS ARE TO STRUCTURE OR FACE OF STUD UNLESS NOTED OTHERWISE 4. CONDITIONS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE. TYPICAL DETAILS NOT REFERENCED ON DRAWINGS APPLY UNLESS NOTED OTHERWISE BY SPECIFIC NOTES AND DETAILS. WHERE NO SPECIFIC DETAIL IS SHOWN, THE CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR THE TYPICAL CONSTRUCTION ON THE PROJECT. 5. WHERE NO SPECIFIC STANDARDS ARE APPLIED TO THE MATERIAL OR METHOD OF CONSTRUCTION TO BE USED IN THE WORK, ALL SUCH MATERIALS AND METHODS ARE TO MAINTAIN THE STANDARDS OF THE INDUSTRY. 6. MATERIALS EQUIPMENT, ETC, NOT INDICATED ON DRAWINGS OR SPECIFIED HEREIN BUT REQUIRED FOR THE SUCCESSFUL AND EFFICIENT COMPLETION OF THE INSTALLATION SHALL BE HELD TO IMPLIED AND SHALL BE FURNISHED AND INSTALLED AT ON ADDITIONAL COST. 7. CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOORS OR ROOF. THE LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FEET. 8. ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING WITH APPROPRIATE TRADES, DRAWINGS AND SUBCONTRACTORS PRIOR TO CONSTRUCTION. 9. DO NOT NOTCH OR DRILL JOISTS, BEAMS, OR LOAD BEARING STUDS WITHOUT THE PRIOR APPROVAL OF THE ARCHITECT AND STRUCTURAL ENGINEER, OR PER MANUFACTURER'S SPECIFICATION. 10. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PROJECT SITE. DISCREPANCIES TO BE REPORTED TO OWNER AND ARCHITECT IMMEDIATELY FOR CLARIFICATION. 11. ERRORS OR OMISSIONS IN ANY SCHEDULE OR DRAWING DO NOT RELIEVE THE CONTRACTOR FROM EXCLUDING THE WORK INTENDED IN THE DRAWING OR DESCRIBED IN THE SPECIFICATIONS. 12. ALL EXTERIOR EXPOSED WORK TO BE INSTALLED IN WEATHER TIGHT MANNER; CAULK AND PROVIDE WEATHER BARRIER MATERIALS AS REQUIRED FOR WATERTIGHT CONSTRUCTION. 13. ALL EXPOSED METAL CONNECTIONS, FASTENERS, COVERS, AND RELATED APPURTEANCES TO BE NON-CORROSIVE. 14. ALL SEPARATING WALLS AND FLOOR-CEILING ASSEMBLIES, INCLUDING PENETRATIONS OR OPENINGS, SHALL PROVIDE AN AIRBORNE AND IMPACT SOUND INSULATION EQUAL TO SOUND TRANSMISSION CLASS AND IMPACT INSULATION CLASS REQUIRED BY GOVERNING AUTHORITIES; CONTRACTOR SHALL PROVIDE CONSTRUCTION METHOD, ACCESSORIES, DEVICES, AND APPURTEANCES AS REQUIRED FOR SAME. PROVIDE SEALANT AT ALL OPENINGS MADE IN WALL AND FLOOR SURFACES AND FRAMING FOR THE SUPPLY AND DRAIN LINES; PROVIDE SEALANT, AIR TIGHT, AROUND ELECTRICAL OUTLETS AND JUNCTION BOXES. 15. STRUCTURAL, FIRE RESISTIVE AND SOUND RESISTIVE INTEGRITY IS TO BE MAINTAINED AT PENETRATIONS FOR ELECTRICAL, MECHANICAL, PLUMBING AND CONDUITS, PIPES AND SIMILAR SYSTEMS AND IS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF GOVERNING CODES AND AUTHORITIES. 16. ALL ELECTRICAL OUTLETS AND THERMOSTATS CL TO BE MOUNTED NO LESS THAN 15" AFF AND NO MORE THAN 48" AFF. 17. ALL SHEET METAL WORK TO BE GALVANIZED OR PREFINISHED ALUMINUM, UNLESS NOTED OTHERWISE. 18. COORDINATE FINAL GRADE ELEVATIONS AND POSITIVE DRAINAGE AWAY FROM BUILDING AT ALL LOCATIONS.								



# VOLARE TOWNHOMES BUILDING 5

# HAPPY VALLEY

## PERMIT SET

## REVISIONS:

Scale 1/4" = 1'-0"

Project number **Project Number**

Date 12/28/2012

**Checked By** \_\_\_\_\_ **Checker** \_\_\_\_\_

# **GENERAL NOTES / SYMBOLS / ABBREVIATIONS**

G0.1

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# VOLARE TOWNHOMES BUILDING 5

# HAPPY VALLEY

# PERMIT SET

# REVISIONS:

1 1/2" = 1'-0"

Project Number
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12/28/2012

Asked By **Checker**

# ASSEMBLY TYPES

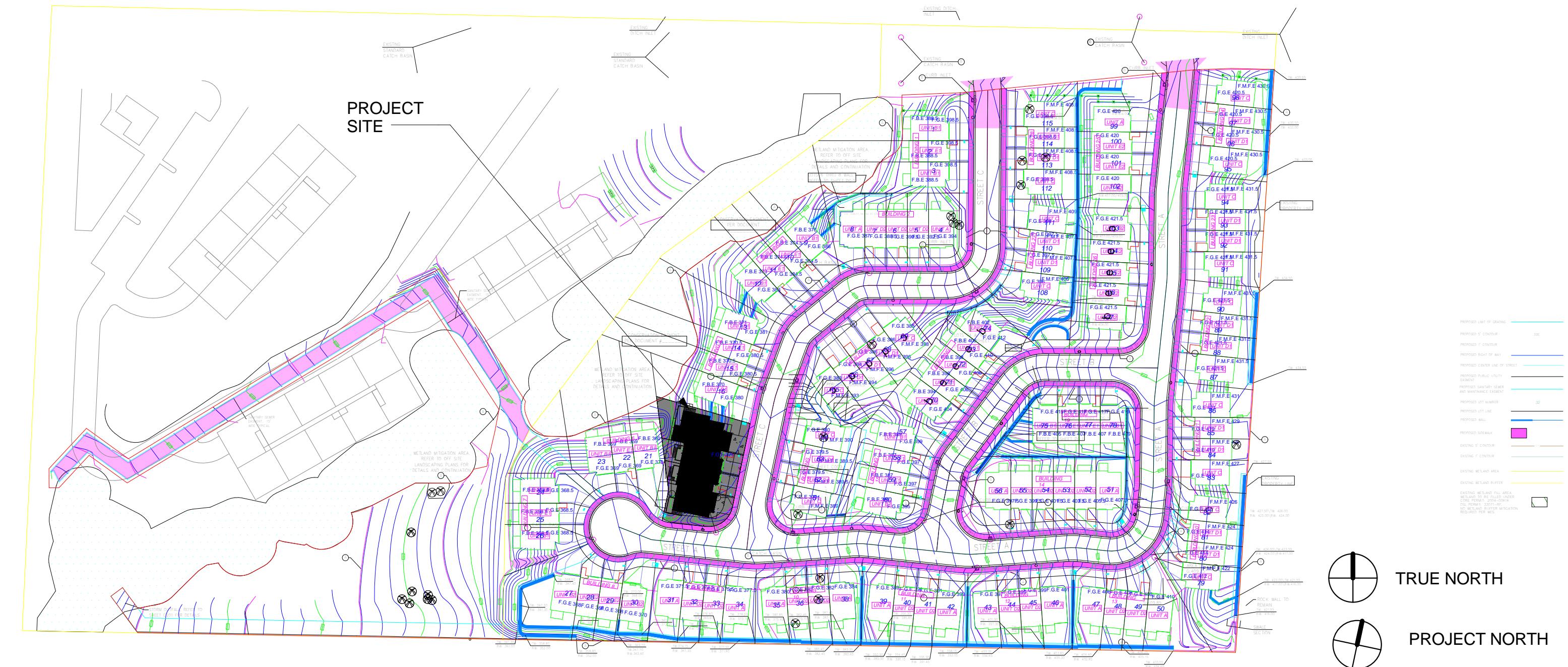
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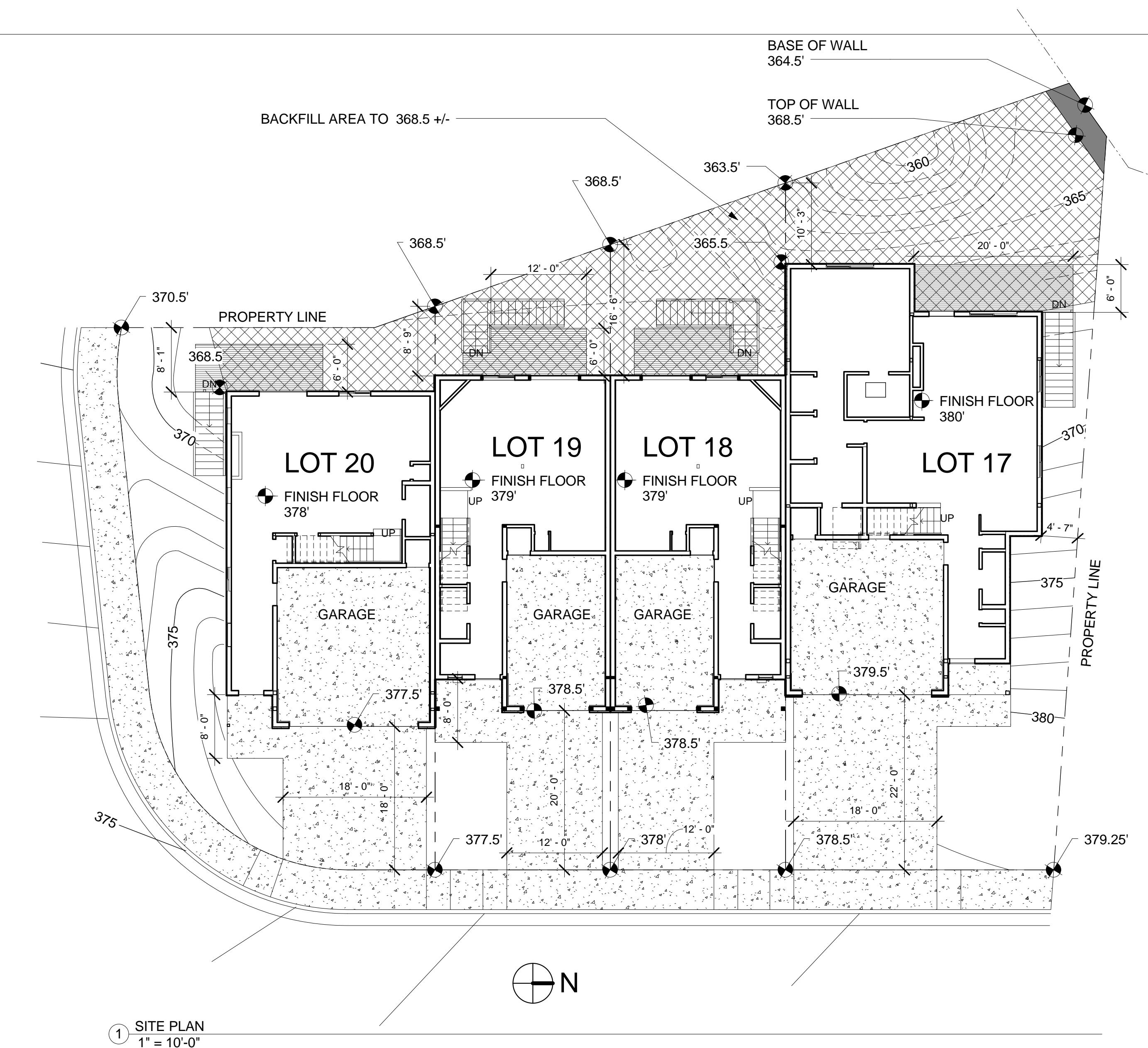
# VOLARE TOWNHOMES BUILDING 5

# HAPPY VALLEY



2 PROJECT MAP  
1" = 100'-0"

2 PROJECT MAP  
1" = 100'-0"



# PERMIT SET

# REVISIONS:

	As indicated
Project number	Project Number
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# SITE PLAN

A0.1

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**MONZA  
HOMES**

**VOLARE  
TOWNHOMES  
BUILDING 5**

HAPPY VALLEY

**PERMIT SET**

**REVISIONS:**

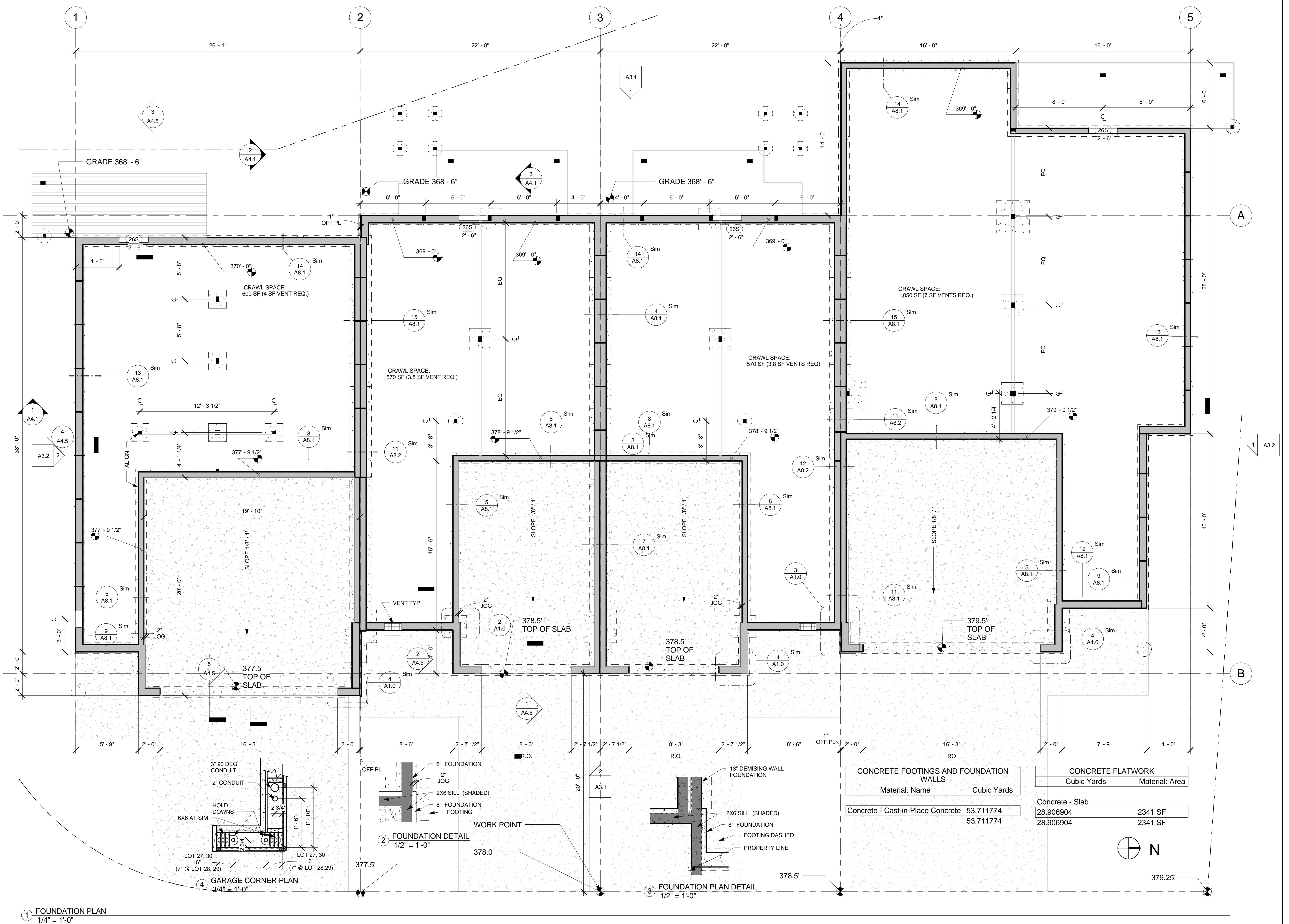
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Project number Project Number  
Date 12/28/2012  
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**FOUNDATION  
PLAN**

**A1.0**

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BUILDING 5**

HAPPY VALLEY

**PERMIT SET**

**REVISIONS:**

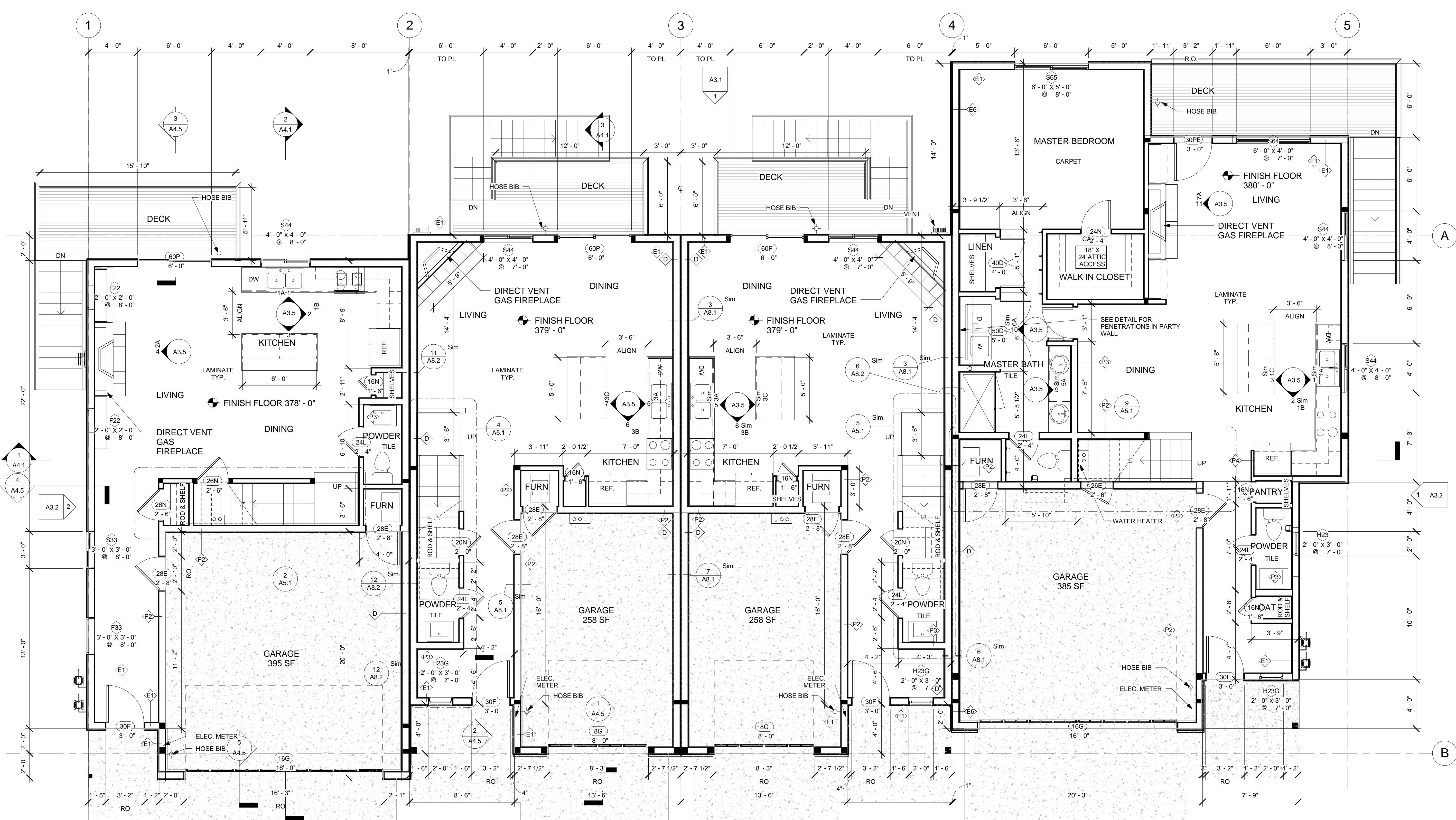
No.	Description	Date

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**FIRST FLOOR  
PLAN**

**A1.1**

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**LOT 20**

TOTAL LIVING 1ST FLOOR 665 SF

**LOT 19**

TOTAL LIVING 1ST FLOOR 633 SF

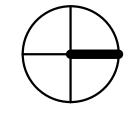
**LOT 18**

TOTAL LIVING 1ST FLOOR 633 SF

**LOT 17**

TOTAL LIVING 1ST 1,140 SF

1 1ST FLOOR PLAN  
1/4" = 1'-0"





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HOMES**

**VOLARE  
TOWNHOMES  
BUILDING 5**

HAPPY VALLEY

PERMIT SET

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Scale 1/4" = 1'-0"

Project number

Project Number

Date 12/28/2012

Date

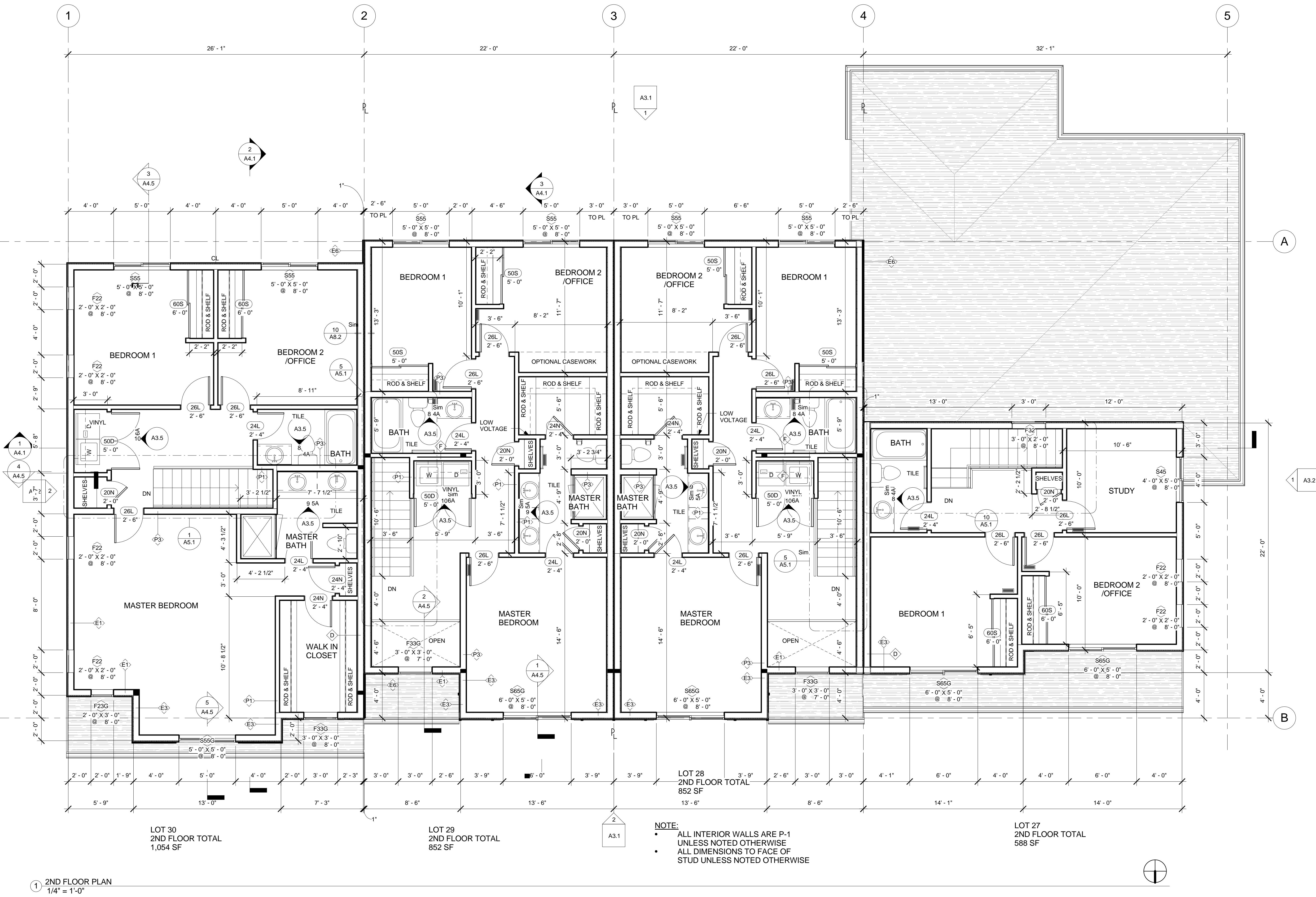
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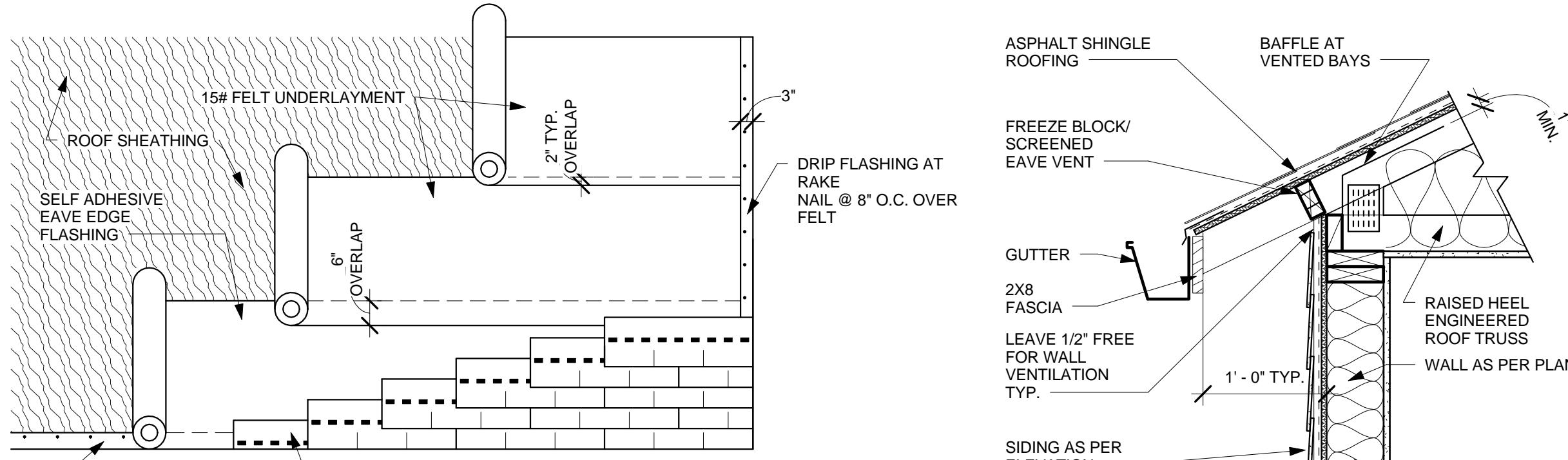
**SECOND FLOOR  
PLAN**

A1.2

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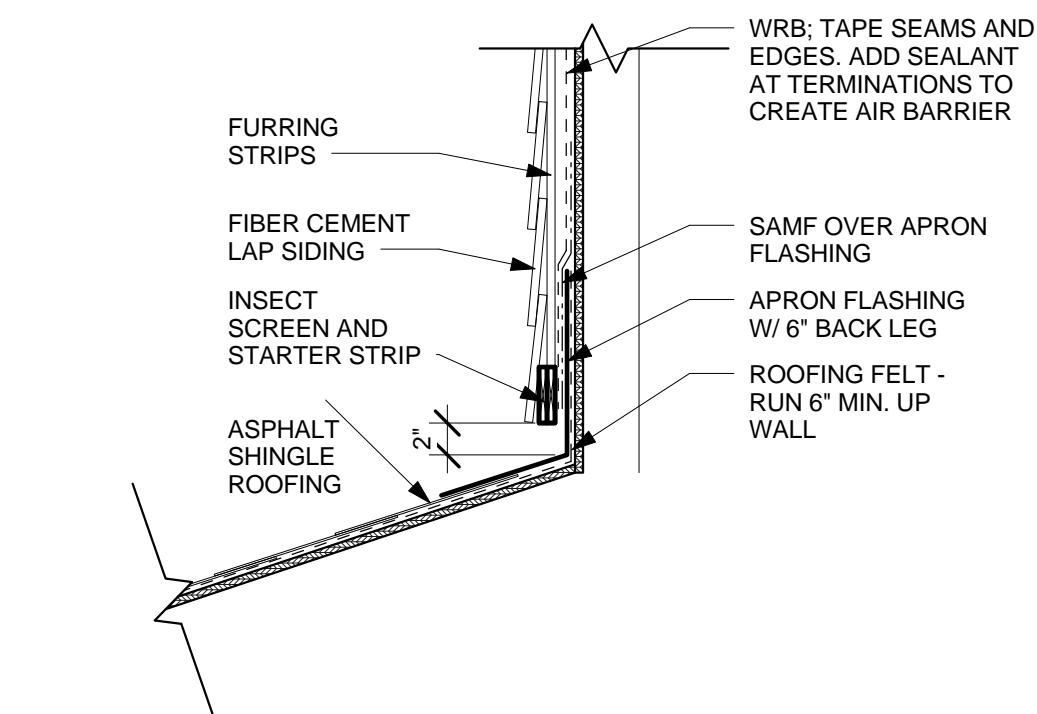


Roof Material Takeoff		
Material: Name	RVT Link: Name	Material: Area
Roofing - Asphalt Shingle	LOT 17 TYPE F MODENA	114 SF
Roofing - Asphalt Shingle	LOT 17 TYPE F MODENA	800 SF
Roofing - Asphalt Shingle	LOT 17 TYPE F MODENA	1024 SF
		1938 SF
Roofing - Asphalt Shingle	LOT 18 TYPE E3 FIRENZE	33 SF
Roofing - Asphalt Shingle	LOT 18 TYPE E3 FIRENZE	54 SF
Roofing - Asphalt Shingle	LOT 18 TYPE E3 FIRENZE	1135 SF
		1222 SF
Roofing - Asphalt Shingle	LOT 19 TYPE E3 FIRENZE	33 SF
Roofing - Asphalt Shingle	LOT 19 TYPE E3 FIRENZE	54 SF
Roofing - Asphalt Shingle	LOT 19 TYPE E3 FIRENZE	1135 SF
		1222 SF
Roofing - Asphalt Shingle	LOT 20 TYPE B2 MILANO	9 SF
Roofing - Asphalt Shingle	LOT 20 TYPE B2 MILANO	67 SF
Roofing - Asphalt Shingle	LOT 20 TYPE B2 MILANO	1428 SF
		1505 SF
Grand total: 12		5888 SF



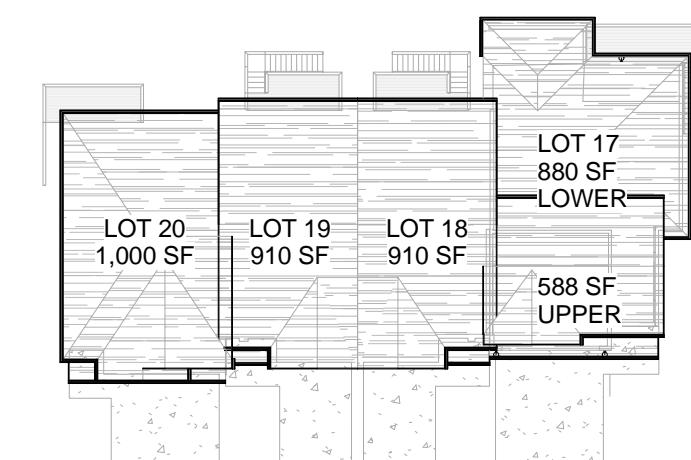
# GENERAL NOTES

1. INSTALL 3 TAB COMPOSITION SHINGLES OVER 15# ROOFING FELT PER MANUFACTURERS SPECIFICATIONS
  2. PROVIDE MINIMUM 26 GAUGE GALVANIZED METAL FLASHING AT ROOF TO WALL CONDITIONS
  3. ROOF PITCH AS SHOWN ON PLAN
  4. INSTALL GUTTER AND DOWNSPOUTS AS SHOWN AND AS REQUIRED
  5. CONTRACTOR TO PROVIDE ATTIC VENTILATION PER SEC. R806.2
  6. ALL OVERHANGS ARE 1' UNLESS NOTED OTHERWISE
  7. NO PENETRATIONS ALLOWED WITHIN 4' OF COMMON PROPERTY LINE
  8. MINIMUM 1" AIR SPACE BETWEEN ROOF INSULATION AND SHEATHING
  9. VENTS COVERED WITH CORROSION RESISTANT METAL MESH >1/8", <1/4".
  10. INSULATION SHALL NOT BLOCK FREE FLOW OF AIR THROUGH VENTS



# VENT CALCULATIONS

VENTILATION REQUIREMENT OF 1/300 OF ROOF AREA. (REQUIREMENT OF VAPOR BARRIER < 1 PERM MET USING RATED VAPOR SEALER PRIMER)



# VOLARE TOWNHOMES BUILDING 5

## HAPPY VALLEY

PERMIT SET

TOTAL AREA SF/SI	REQUIRED SI VENTING (1/300)
LOT 17 LOWER	
880 / 126,720	422
LOT 17 UPPER	
588 / 84,672	282
LOT 18	
910 / 131,040	436
UNIT 19	
910 / 131,040	436
LOT 20	
1,000 / 144,000	500

## REVISIONS:

AT EAVE (SI)	AT RIDGE
LOT 17 LOWER:	
280 (14 BAYS)	150 (3 VENTS)
TOTAL 430 SI	
LOT 17 UPPER:	
140 (7 BAYS)	150 (3 VENTS)
TOTAL 290 SI	
LOT 18:	
100 (5 BAYS)	350 (7 VENTS)
TOTAL 450 SI	
LOT 19:	
100 (5 BAYS)	350 (7 VENTS)
TOTAL 450 SI	
LOT 20:	
260 (13 BAYS)	250 (5 VENTS)
TOTAL 500 SI	

# ROOF PLAN AND DETAILS

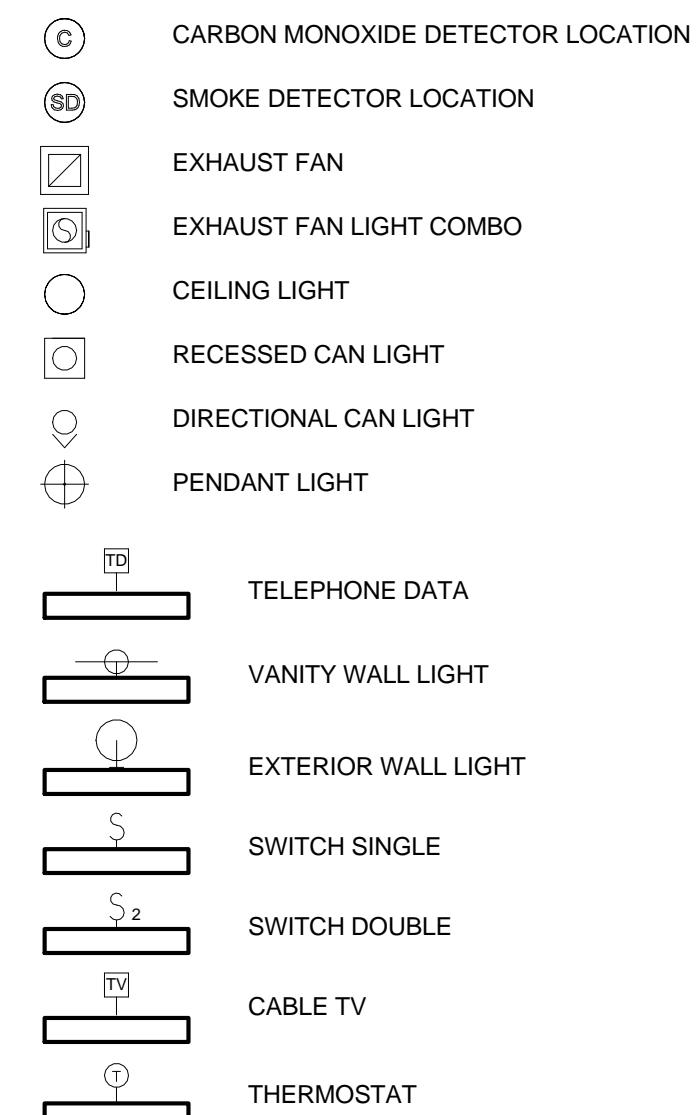
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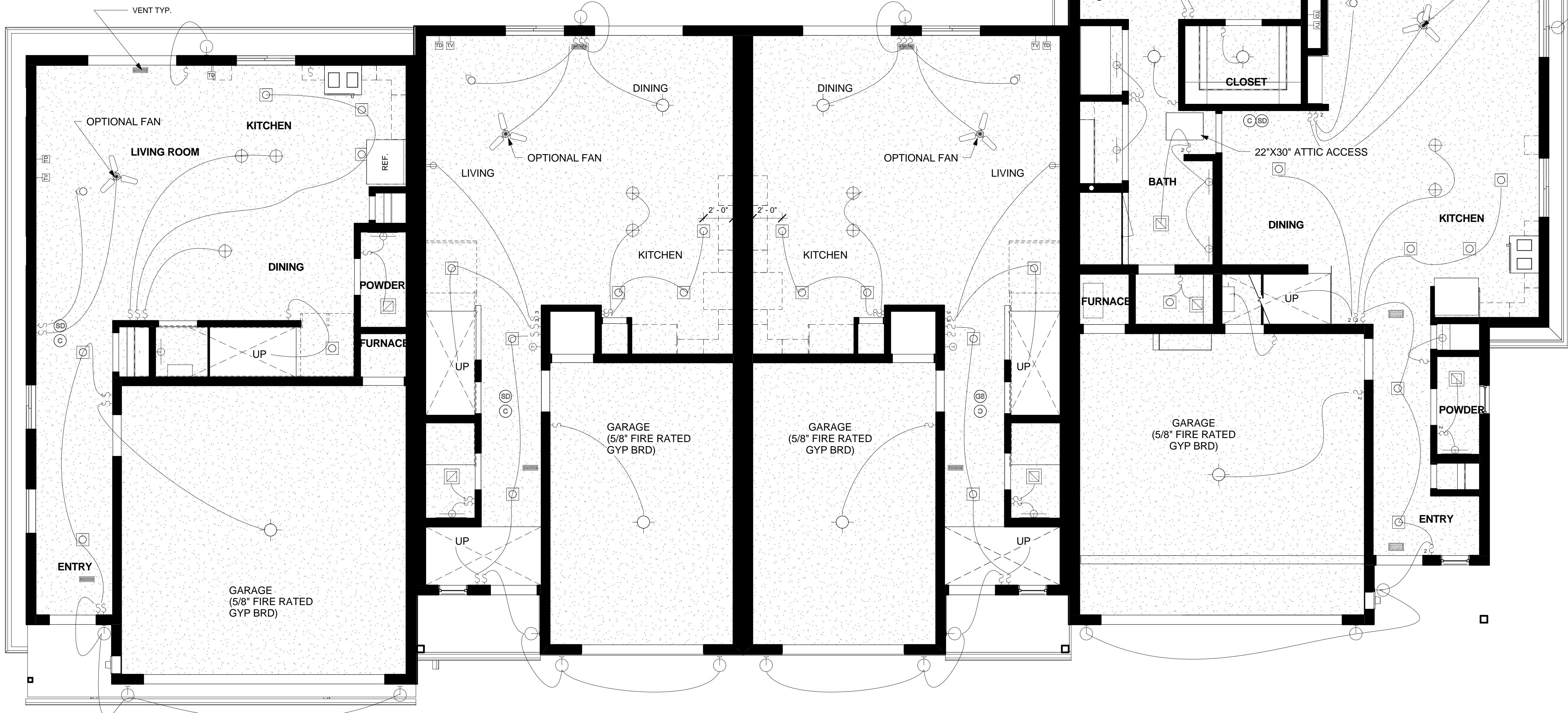


## CEILING PLAN LEGEND



## GENERAL NOTES:

1. ALL WALLS AND CEILINGS ARE 5/8" GYP  
BRD UNLESS NOTED OTHERWISE.
  2. ALL CEILING FINISHES ARE APPLIED  
DIRECTLY TO UNDERSIDE OF  
STRUCTURE UNLESS NOTED  
OTHERWISE.
  3. REFLECTED CEILING PLANS INDICATE  
LOCATIONS OF PRIMARY LIGHTING  
FIXTURES AND MECHANICAL  
COMPONENTS INTEGRAL WITH  
CEILINGS.
  4. LIGHTS IN CEILINGS & SOFFITS TO BE  
CENTERED IN ROOM UNLESS  
OTHERWISE NOTED.
  5. ALL LIGHTS ABOVE KITCHEN &  
BATHROOM SINKS TO BE CENTERED  
OVER SINKS UNLESS NOTED  
OTHERWISE..
  6. GYP USED ON CEILINGS SPANING  
GREATER THAN 16" MUST BE  
ATTACHED PERPENDICULAR TO  
FRAMING.



**1** 1ST FLOOR CEILING PLAN  
1/4" = 1'-0"

# VOLARE TOWNHOMES BUILDING 5

# HAPPY VALLEY

# PERMIT SET

## REVISIONS:

Sale	1/4" = 1'-0"
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# **CEILING PLAN FIRST FLOOR**

A2.1

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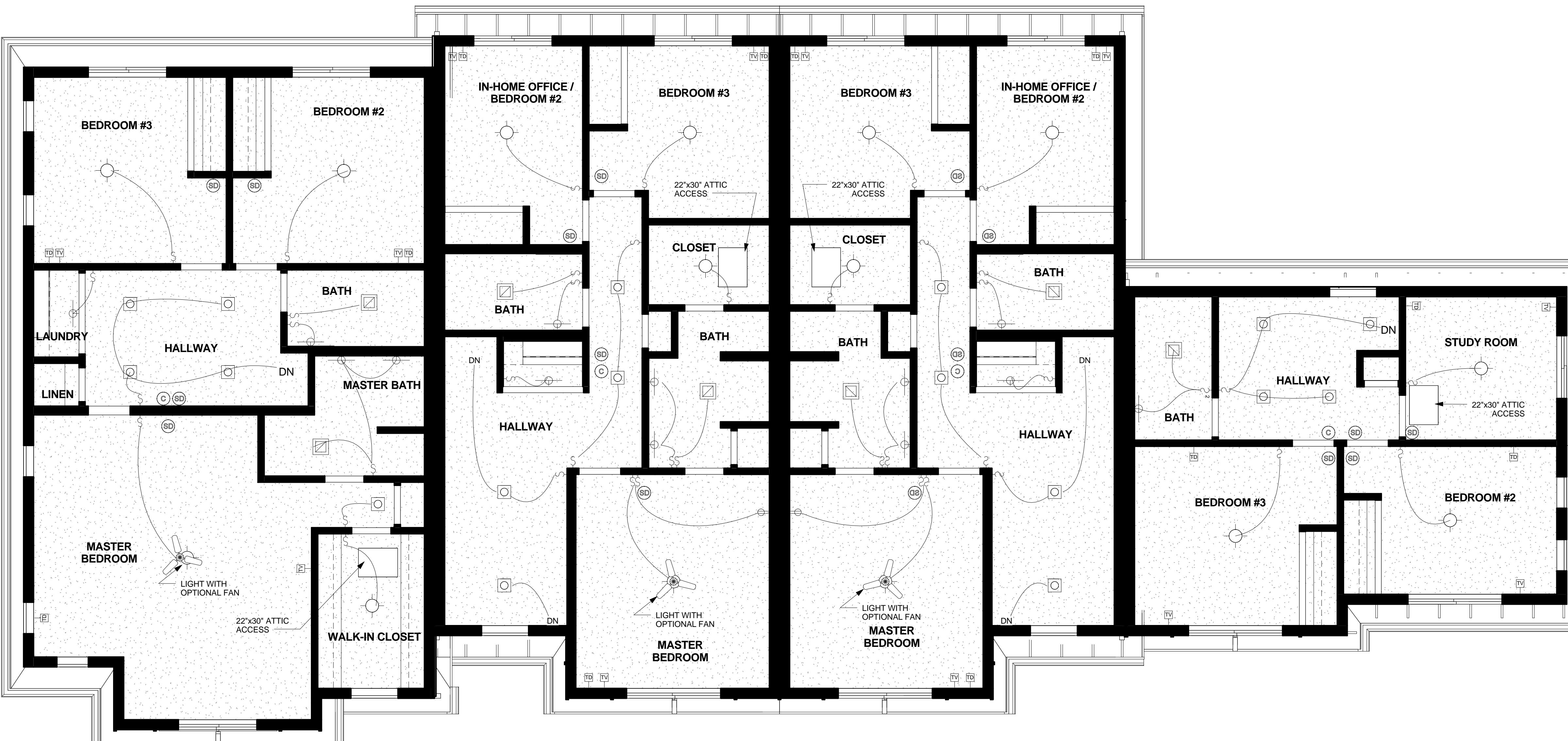


## CEILING PLAN LEGEND

(C)	CARBON MONOXIDE DETECTOR
(SD)	SMOKE DETECTOR LOCATION
[square with diagonal line]	EXHAUST FAN
[square with circle]	EXHAUST FAN LIGHT COMBO
(circle)	CEILING LIGHT
[square with circle]	RECESSED CAN LIGHT
[circle with downward arrow]	DIRECTIONAL CAN LIGHT
[circle with crosshair]	PENDANT LIGHT
 [rectangle]	TELEPHONE DATA
 [rectangle]	VANITY WALL LIGHT
 [rectangle]	EXTERIOR WALL LIGHT
\$ [rectangle]	SWITCH SINGLE
\$ <sub>2</sub> [rectangle]	SWITCH DOUBLE
 [rectangle]	CABLE TV
 [rectangle]	THERMOSTAT

- GENERAL NOTES:

  1. ALL WALLS AND CEILINGS ARE 5/8" GYP BRD UNLESS NOTED OTHERWISE.
  2. ALL CEILING FINISHES ARE APPLIED DIRECTLY TO UNDERSIDE OF STRUCTURE UNLESS NOTED OTHERWISE.
  3. REFLECTED CEILING PLANS INDICATE LOCATIONS OF PRIMARY LIGHTING FIXTURES AND MECHANICAL COMPONENTS INTEGRAL WITH CEILINGS.
  4. LIGHTS IN CEILINGS & SOFFITS TO BE CENTERED IN ROOM UNLESS OTHERWISE NOTED.
  5. ALL LIGHTS ABOVE KITCHEN & BATHROOM SINKS TO BE CENTERED OVER SINKS UNLESS NOTED OTHERWISE..
  6. GYP USED ON CEILINGS SPANNING GREATER THAN 16" MUST BE ATTACHED PERPENDICULAR TO FRAMING.



**1 2ND FLOOR CEILING PLAN  
1/4" = 1'-0"**

# VOLARE TOWNHOMES BUILDING 5

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# **CEILING PLAN SECOND FLOOR**

A2.2

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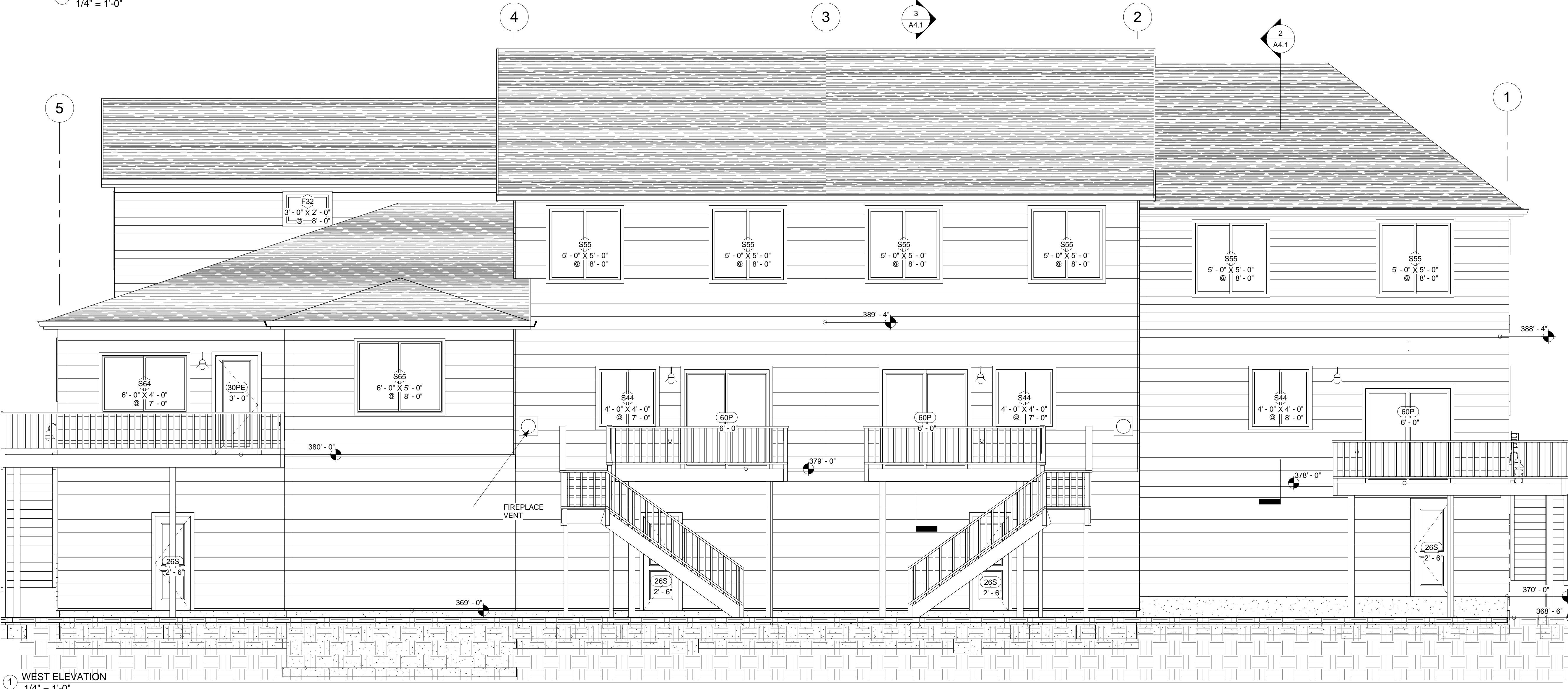
**EXTERIOR  
ELEVATIONS**

**A3.1**

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**(2) EAST ELEVATION**  
1/4" = 1'-0"



**(1) WEST ELEVATION**  
1/4" = 1'-0"

**VOLARE  
TOWNHOMES  
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HAPPY VALLEY

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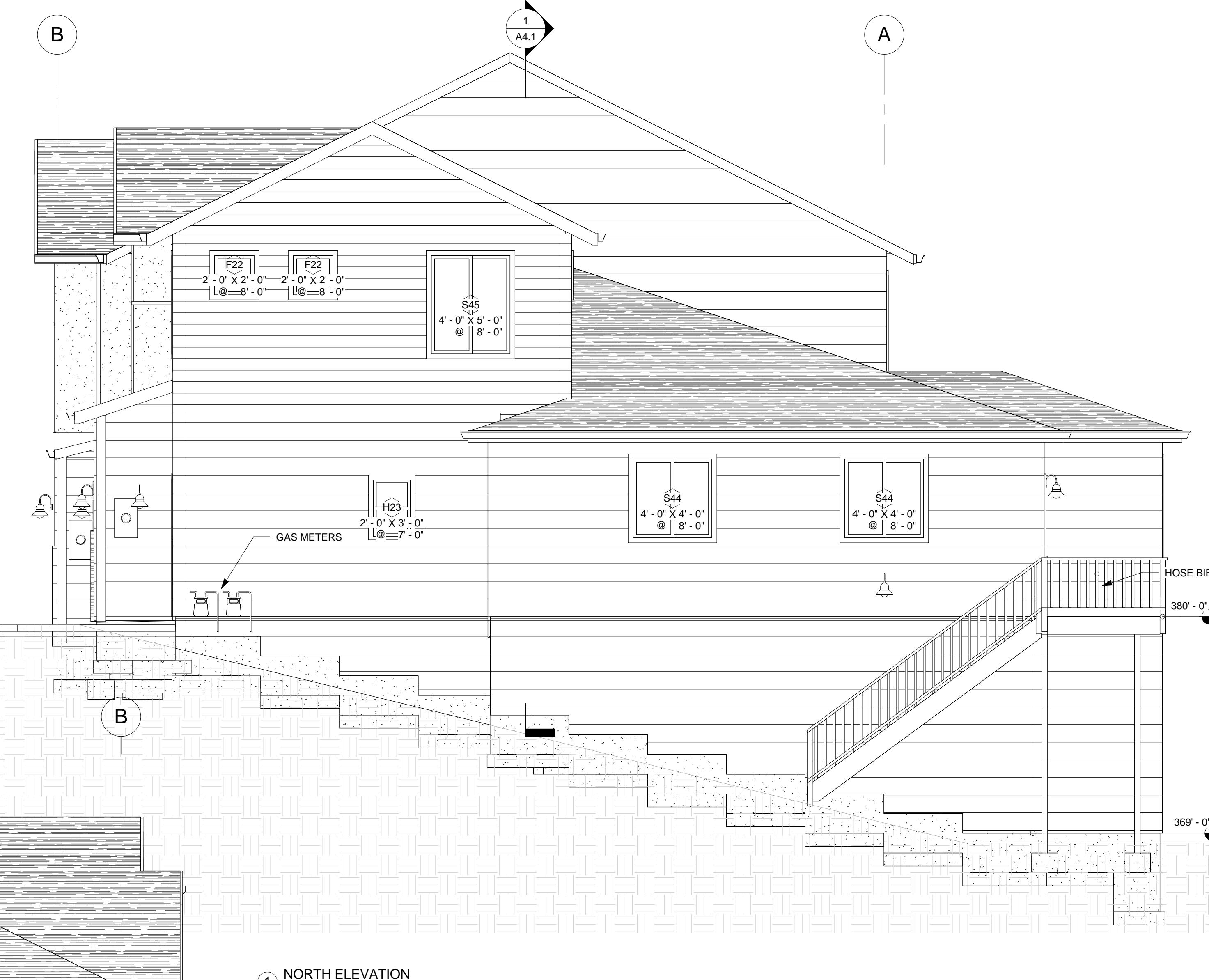
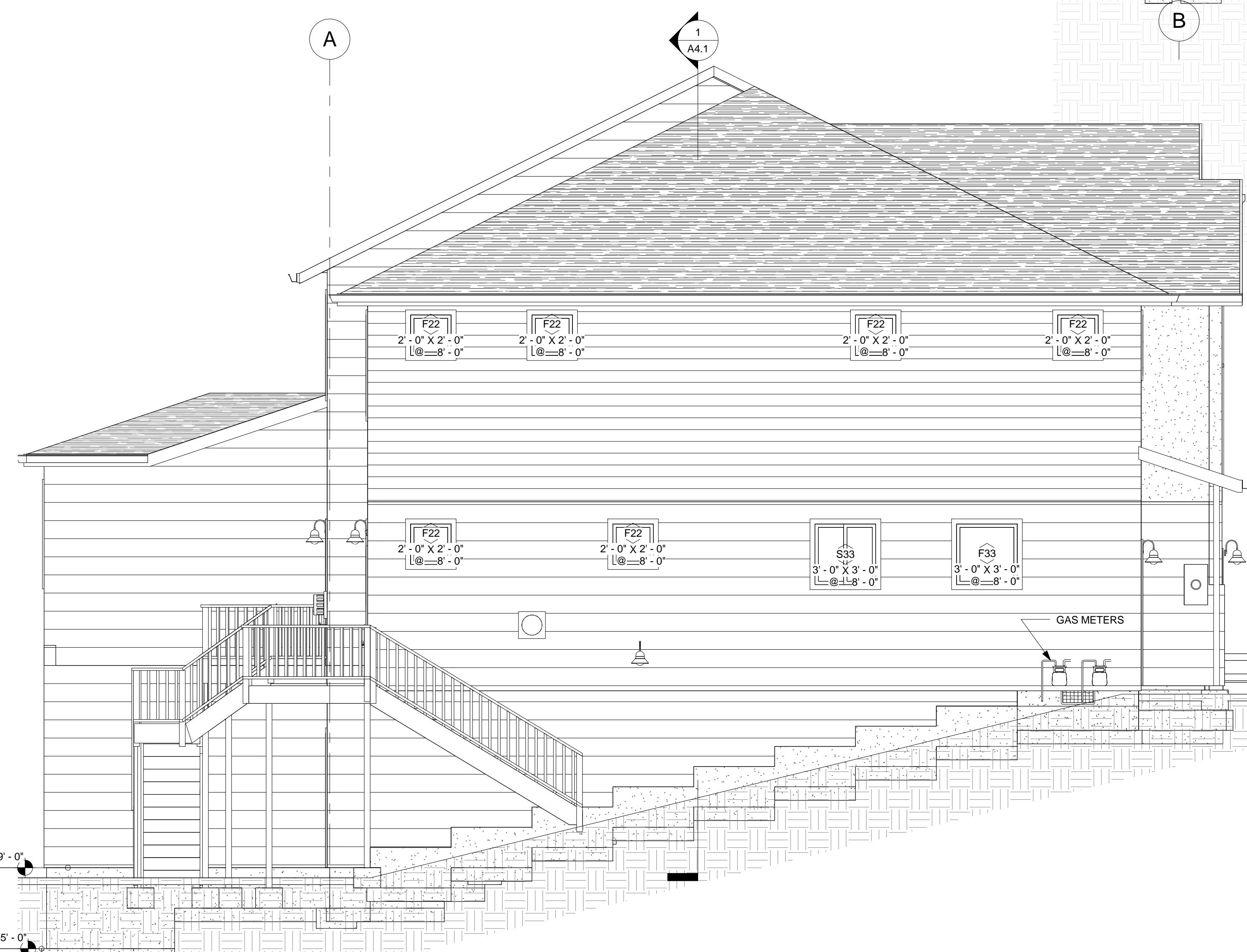
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**EXTERIOR  
ELEVATIONS**
**A3.2**
**EXTERIOR FINISH LEGEND:**

	HARDI-BOARD AND BATTEN
	SHAKE
	HARDIPLANK 12" (10 3/4" EXPOSURE)
	HARDIPLANK 8 1/4" (7" EXPOSURE)
	CULTURED STONE
	ASPHALT SHINGLES
	CONCRETE


 ① NORTH ELEVATION  
 1/4" = 1'-0"

Siding 12"			
Material: Name	Material: Area	LOT, TYPE	Lineal Feet
Siding - Clapboard 12" (10 3/4" Exposed)	2057 SF		2304' - 1 1/4"
Siding - Clapboard 12" (10 3/4" Exposed)	915 SF	LOT 17 TYPE F MODENA	1025' - 0 3/4"
Siding - Clapboard 12" (10 3/4" Exposed)	430 SF	LOT 18 TYPE E3 FIRENZE	481' - 5 7/8"
Siding - Clapboard 12" (10 3/4" Exposed)	430 SF	LOT 19 TYPE E3 FIRENZE	481' - 5 7/8"
Siding - Clapboard 12" (10 3/4" Exposed)	653 SF	LOT 20 TYPE B2 MILANO	731' - 5 1/8"
	4485 SF		5023' - 6 3/4"

Siding 8"			
Material: Name	Material: Area	LOT, TYPE	Lineal Feet
Siding - Clapboard 8 1/4" (7" Exposed)	583 SF	LOT 17 TYPE F MODENA	996' - 1 1/4"
Siding - Clapboard 8 1/4" (7" Exposed)	128 SF	LOT 18 TYPE E3 FIRENZE	218' - 0 3/4"
Siding - Clapboard 8 1/4" (7" Exposed)	128 SF	LOT 19 TYPE E3 FIRENZE	218' - 0 3/4"
Siding - Clapboard 8 1/4" (7" Exposed)	746 SF	LOT 20 TYPE B2 MILANO	1275' - 11 3/8"
	1584 SF		2708' - 2 1/4"

 ② SOUTH ELEVATION  
 1/4" = 1'-0"

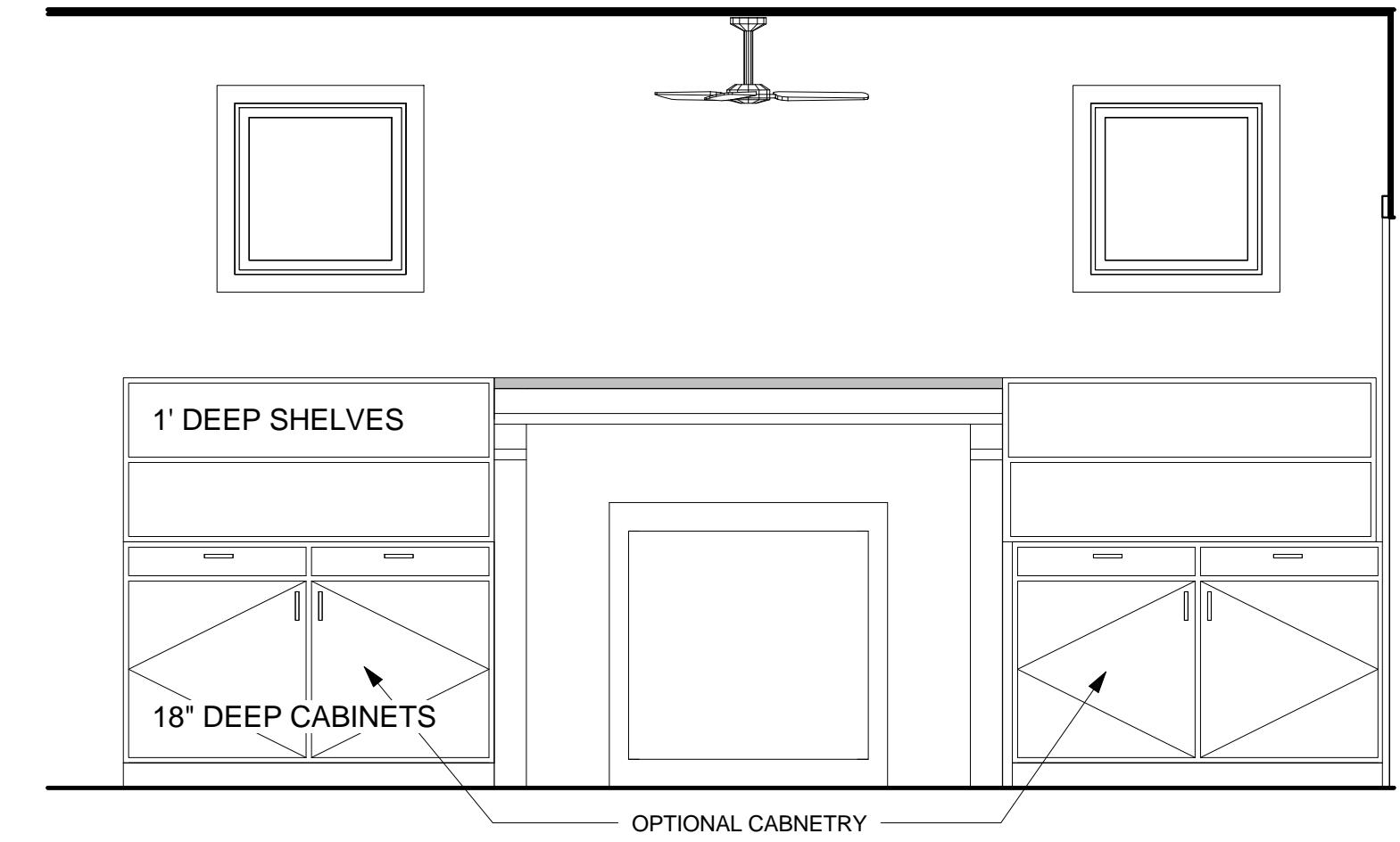
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**MONZA  
HOMES**

# VOLARE TOWNHOMES BUILDING 5

# HAPPY VALLEY

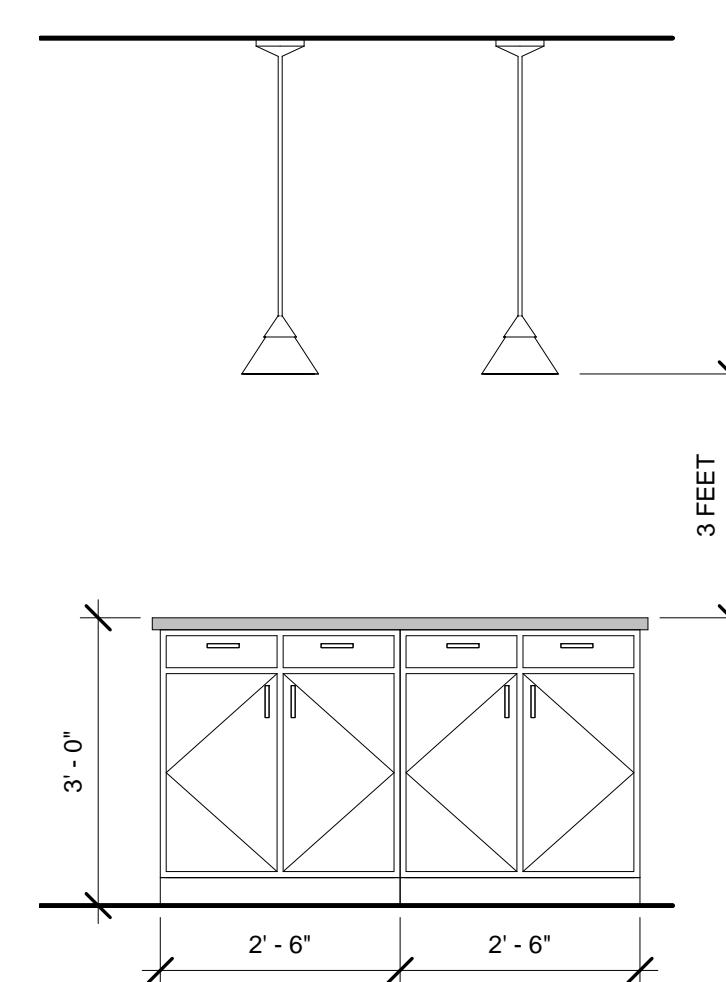
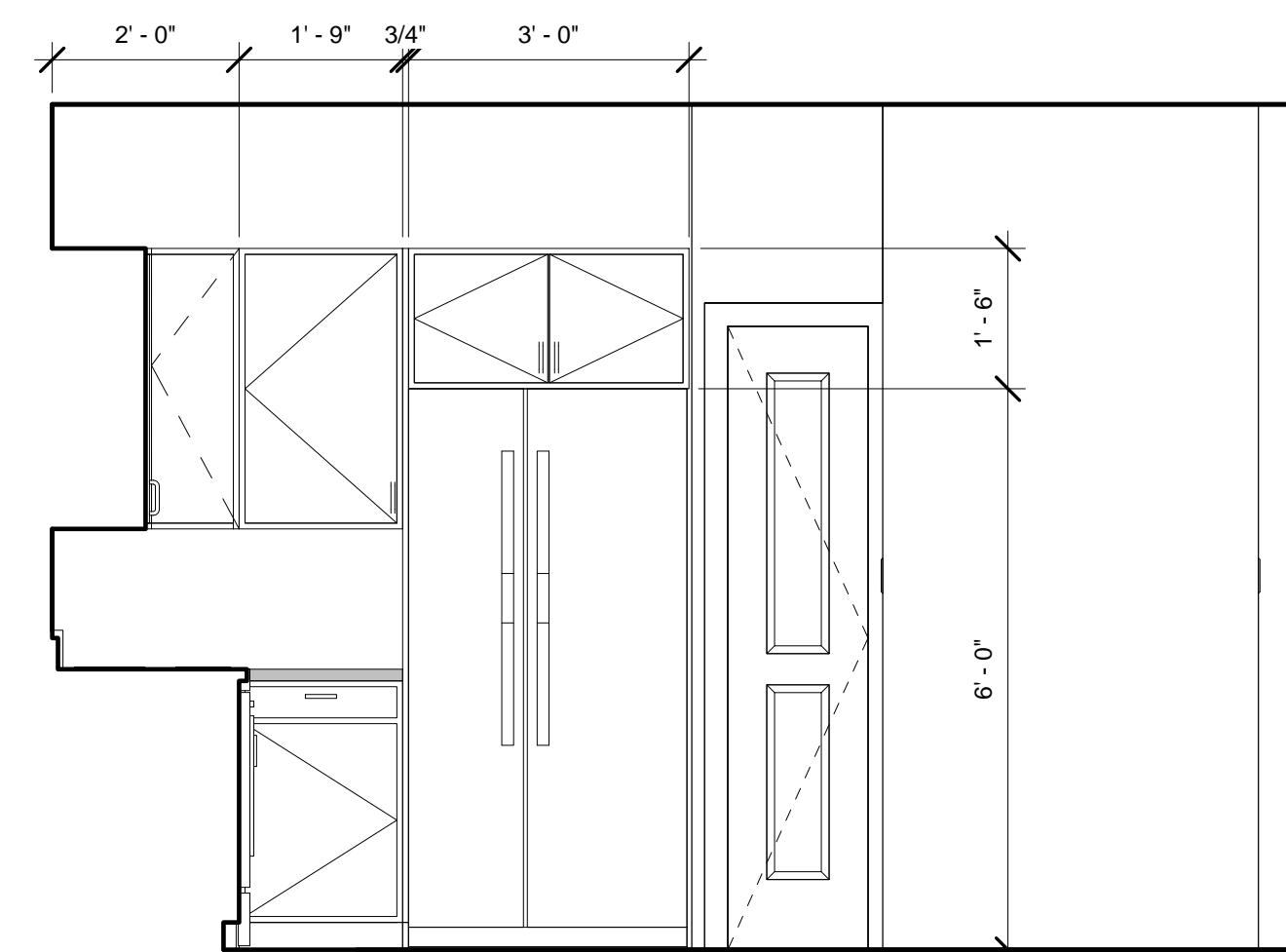
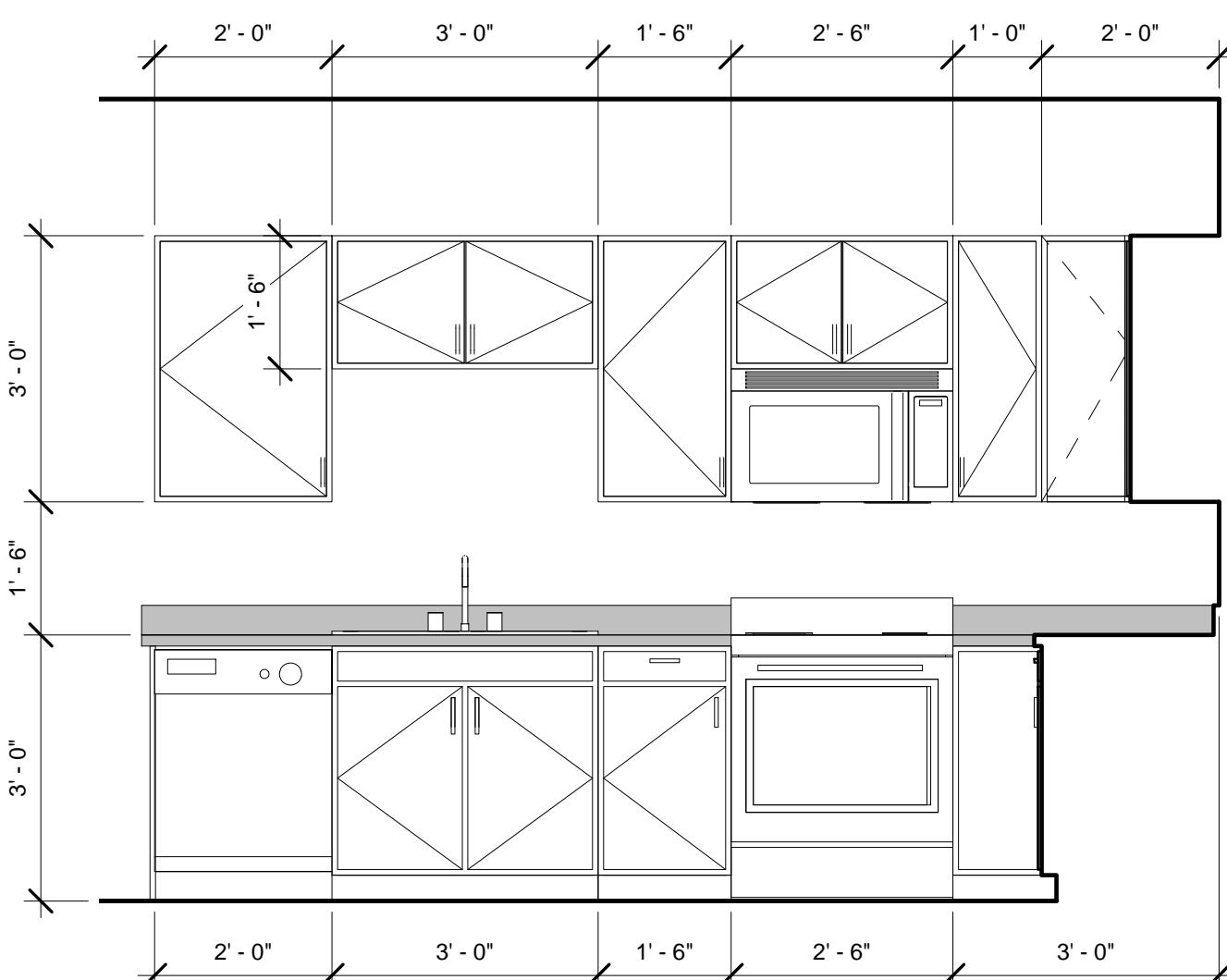


$$\textcircled{1} \quad \begin{array}{l} 1\text{A} \\ 1/2" = 1'-0" \end{array}$$

1B  
1/2" = 1'-0"

3 1C  
1/2" = 1'-0"

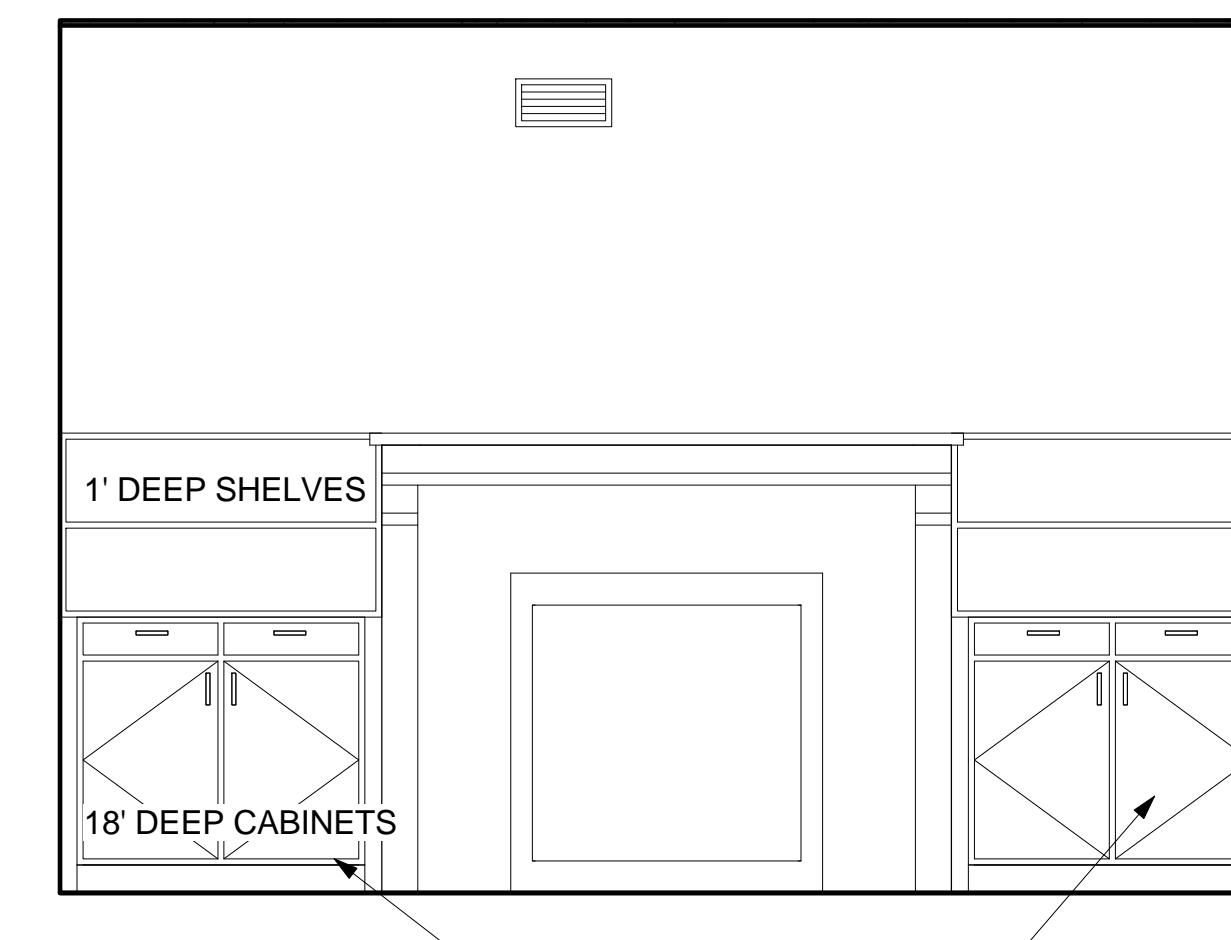
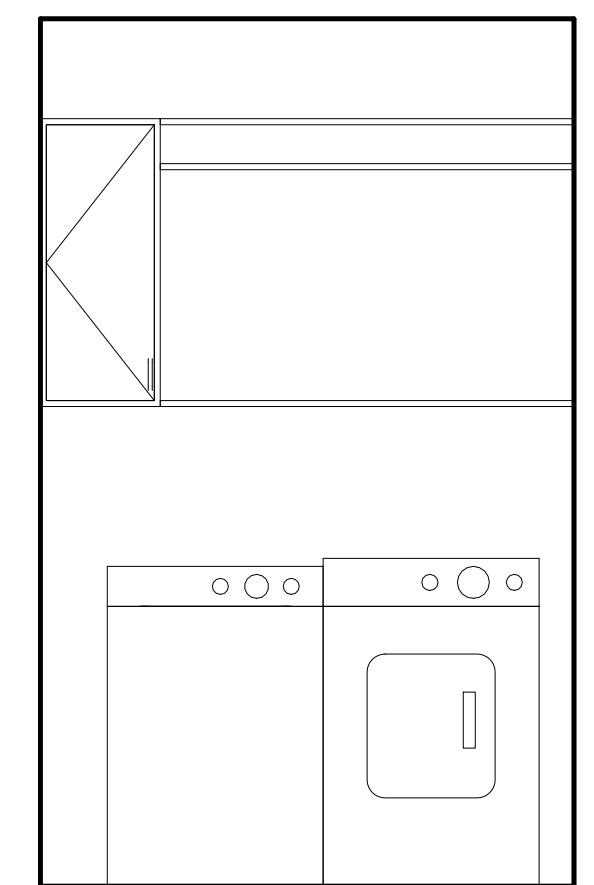
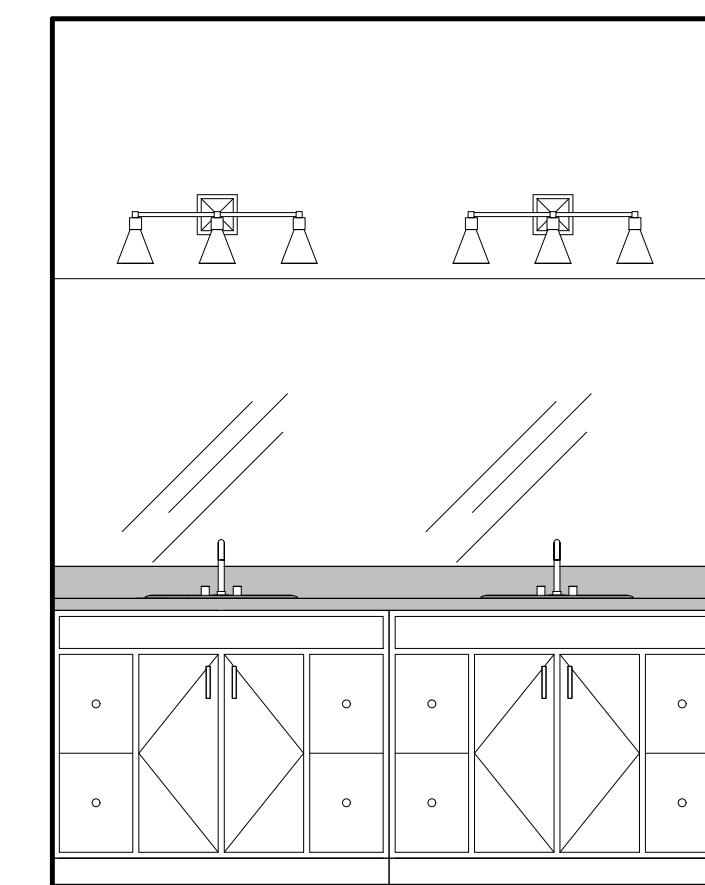
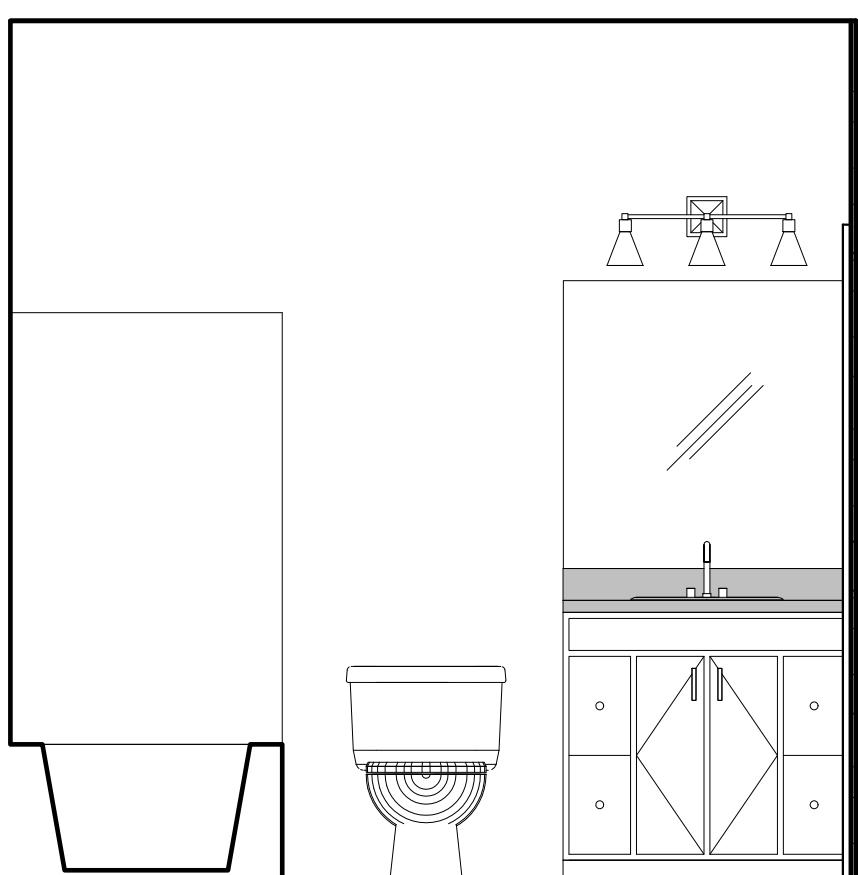
4 2A  
1/2" = 1'-0"



$$\begin{array}{l} \textcircled{5} \\ \text{3A} \\ \hline 1/2" = 1'-0" \end{array}$$

$$\textcircled{6} \quad \begin{array}{l} 3B \\ 1/2" = 1'-0" \end{array}$$

3C  
7 1/2" = 1'-0"



8 4A  
1/2" = 1'-0"

(9) 5A  
1/2" = 1'-0"

$$\textcircled{10} \quad \begin{array}{l} 6A \\ 1/2" = 1'-0" \end{array}$$

(11) 7A  
1/2" = 1'-0"

# INTERIOR ELEVATIONS

A3.5

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# VOLARE TOWNHOMES BUILDING 5

## HAPPY VALLEY

# PERMIT SET

## REVISIONS:

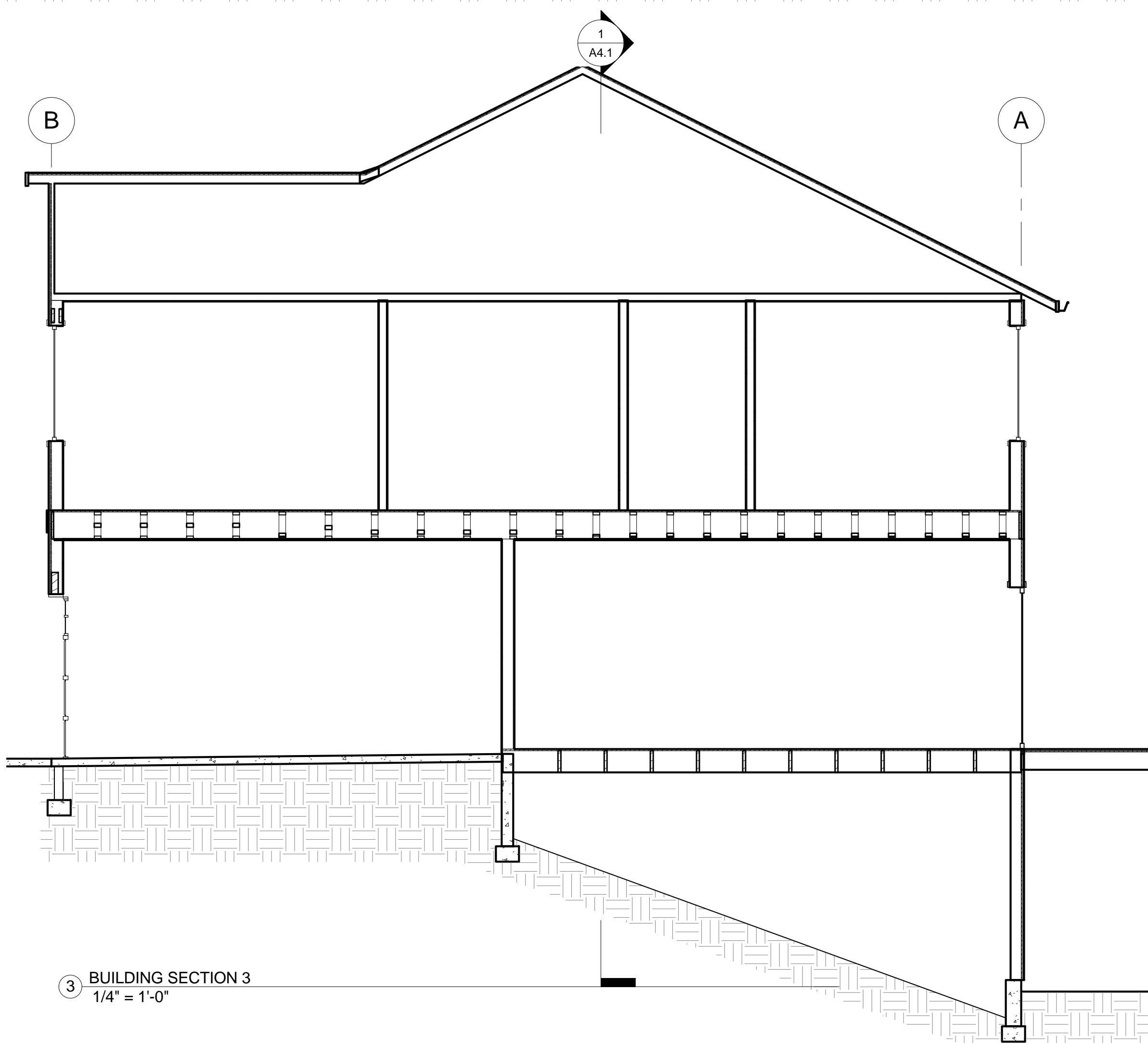
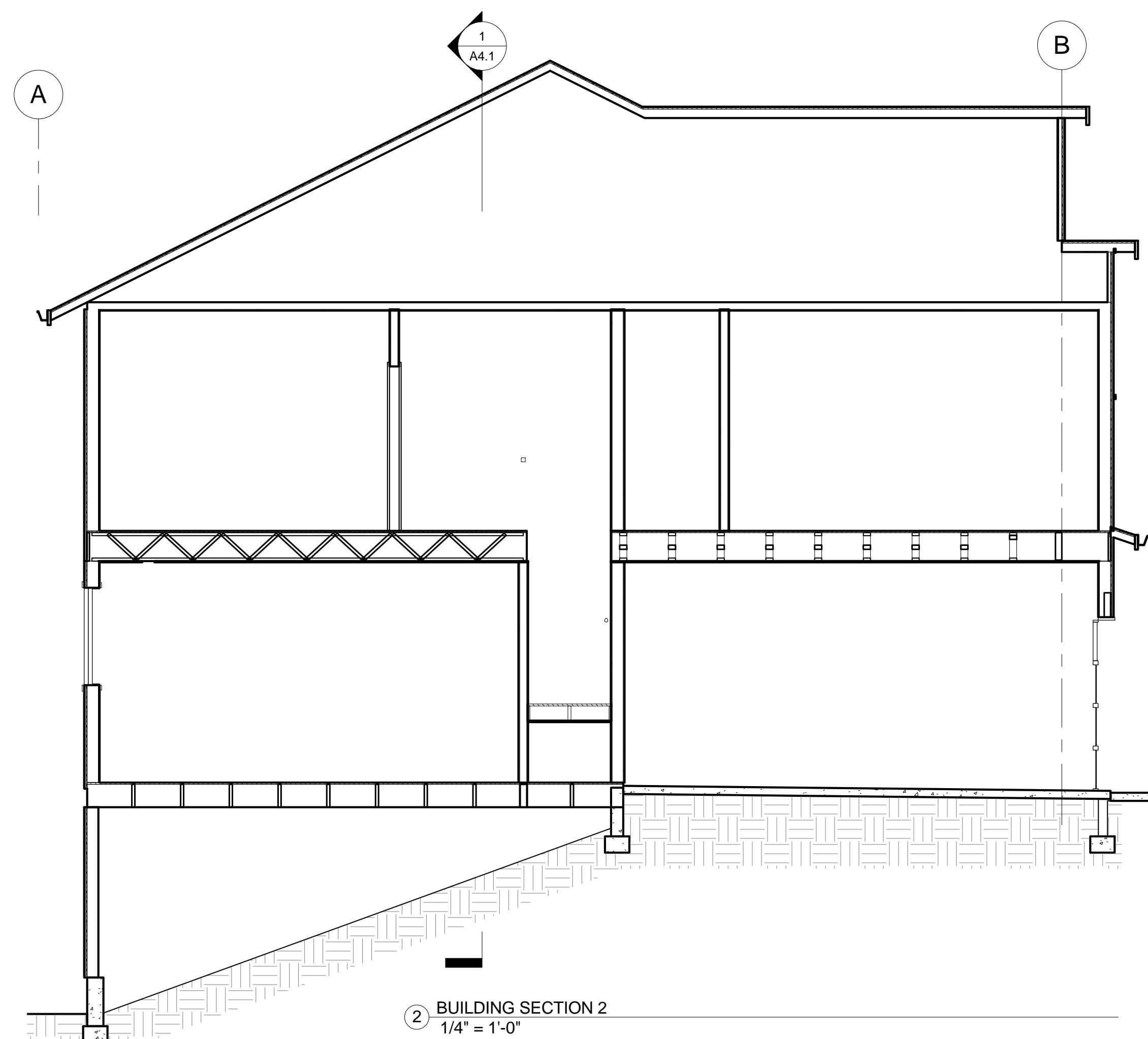
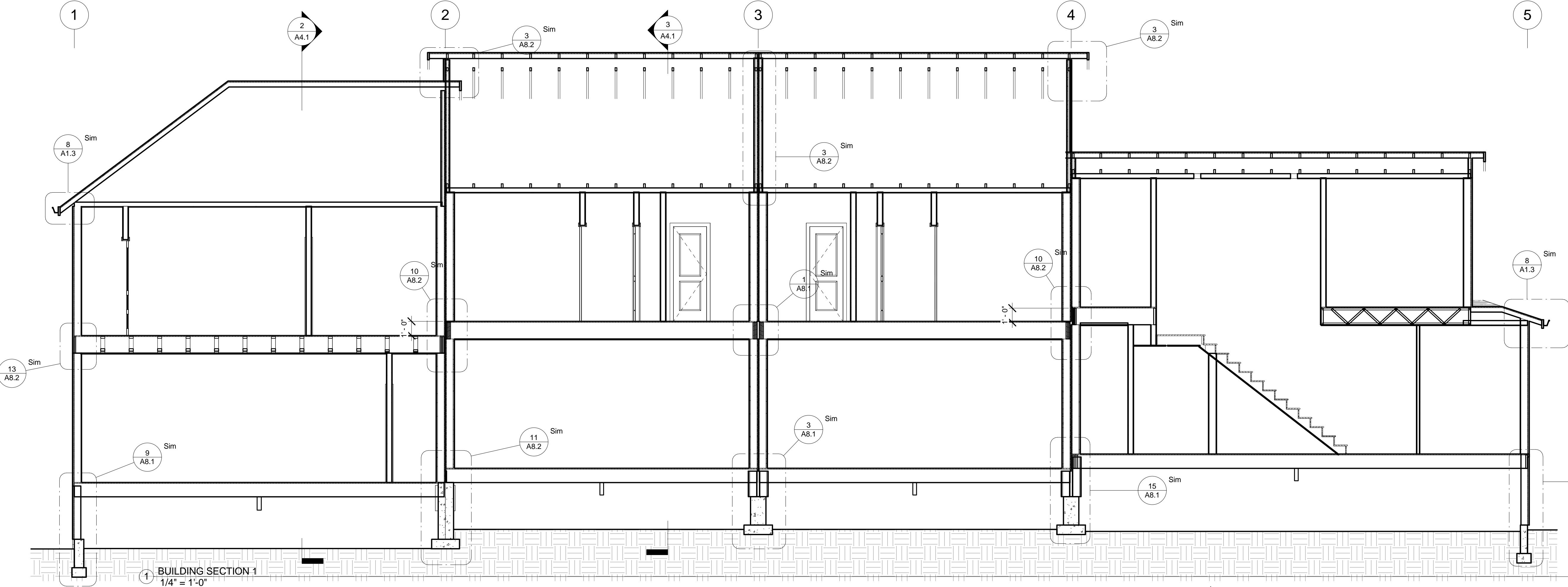
Scale	1/4" = 1'-0"
Project number	Project Number
Date	12/28/2012
Checked By	Checker

# BUILDING SECTIONS

A4.1

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# VOLARE TOWNHOMES BUILDING 5

# HAPPY VALLEY

# PERMIT SET

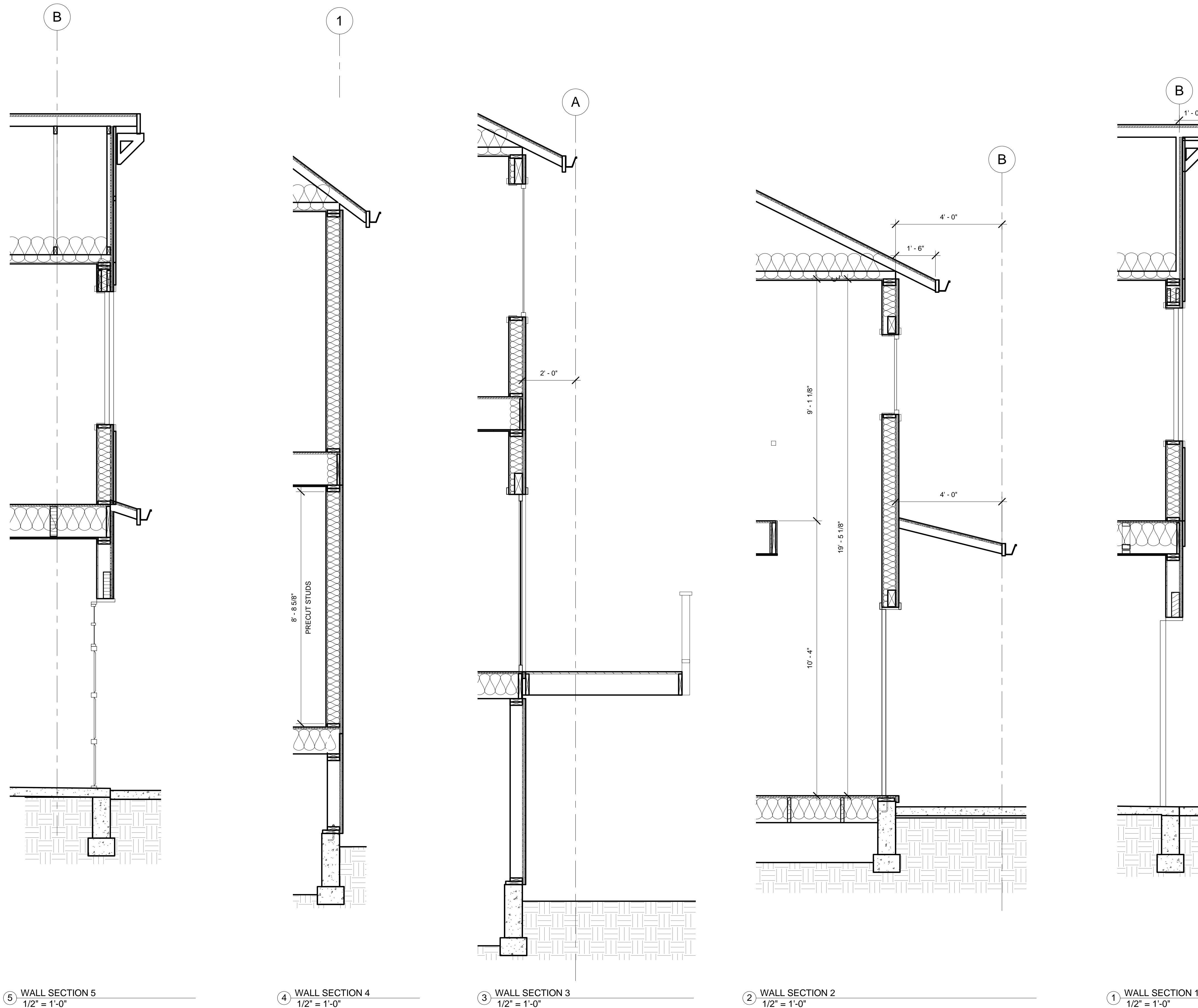
# REVISIONS:

	1/2" = 1'-0"
number	Project Number
	12/28/2012
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# WALL SECTIONS

# A4.5

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# VOLARE TOWNHOMES BUILDING 5

# HAPPY VALLEY

## PERMIT SET

# REVISIONS:

**NOTE:**  
STAIR DIMENSIONS ARE TO NOSING,  
NOT FACE OF RISER

# **STAIR PLANS AND SECTIONS**

## A5.1

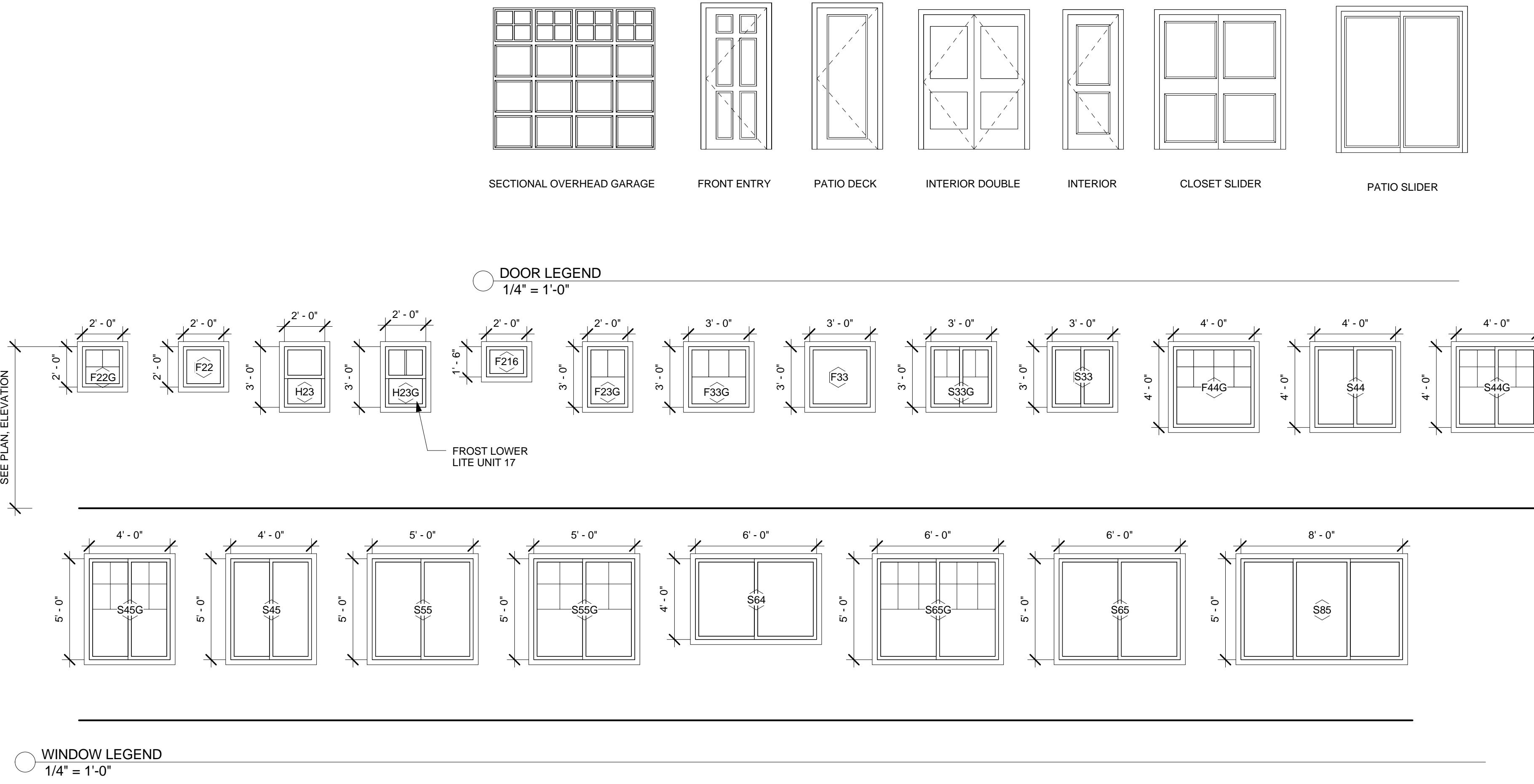
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Window Schedule							
Type Mark	Count	Description	Width	Height	Head Height	Type Comments	LOT / UNIT
22	2	FIXED	2' - 0"	2' - 0"	8' - 0"	NO GRID	LOT 17 TYPE F MODENA
22	6	FIXED	2' - 0"	2' - 0"	8' - 0"	NO GRID	LOT 20 TYPE B2 MILANO
22: 8							
23G	1	FIXED	2' - 0"	3' - 0"	8' - 0"	GRID	LOT 20 TYPE B2 MILANO
23G: 1							
32	1	FIXED	3' - 0"	2' - 0"	8' - 0"	NO GRID	LOT 17 TYPE F MODENA
32: 1							
33	1	FIXED	3' - 0"	3' - 0"	8' - 0"	NO GRID	LOT 20 TYPE B2 MILANO
33: 1							
33G	1	FIXED	3' - 0"	3' - 0"	7' - 0"	GRID	LOT 18 TYPE E3 FIRENZE
33G	1	FIXED	3' - 0"	3' - 0"	7' - 0"	GRID	LOT 19 TYPE E3 FIRENZE
33G	1	FIXED	3' - 0"	3' - 0"	8' - 0"	GRID	LOT 20 TYPE B2 MILANO
33G: 3							
23	1	SINGLE HUNG	2' - 0"	3' - 0"	7' - 0"	NO GRID	LOT 17 TYPE F MODENA
23: 1							
23G	1	SINGLE HUNG	2' - 0"	3' - 0"	7' - 0"	GRID	LOT 17 TYPE F MODENA
23G	1	SINGLE HUNG	2' - 0"	3' - 0"	7' - 0"	GRID	LOT 18 TYPE E3 FIRENZE
23G	1	SINGLE HUNG	2' - 0"	3' - 0"	7' - 0"	GRID	LOT 19 TYPE E3 FIRENZE
23G: 3							
33	1	SLIDER	3' - 0"	3' - 0"	8' - 0"	NO GRID	LOT 20 TYPE B2 MILANO
33: 1							
44	2	SLIDER	4' - 0"	4' - 0"	8' - 0"	NO GRID	LOT 17 TYPE F MODENA
44	1	SLIDER	4' - 0"	4' - 0"	7' - 0"	NO GRID	LOT 18 TYPE E3 FIRENZE
44	1	SLIDER	4' - 0"	4' - 0"	7' - 0"	NO GRID	LOT 19 TYPE E3 FIRENZE
44	1	SLIDER	4' - 0"	4' - 0"	8' - 0"	NO GRID	LOT 20 TYPE B2 MILANO
44: 5							
45	1	SLIDER	4' - 0"	5' - 0"	8' - 0"	NO GRID	LOT 17 TYPE F MODENA
45: 1							
55	2	SLIDER	5' - 0"	5' - 0"	8' - 0"	NO GRID	LOT 18 TYPE E3 FIRENZE
55	2	SLIDER	5' - 0"	5' - 0"	8' - 0"	NO GRID	LOT 19 TYPE E3 FIRENZE
55	2	SLIDER	5' - 0"	5' - 0"	8' - 0"	NO GRID	LOT 20 TYPE B2 MILANO
55: 6							
55G	1	SLIDER	5' - 0"	5' - 0"	8' - 0"	GRID	LOT 20 TYPE B2 MILANO
55G: 1							
64	1	SLIDER	6' - 0"	4' - 0"	7' - 0"	NO GRID	LOT 17 TYPE F MODENA
64: 1							
65	1	SLIDER	6' - 0"	5' - 0"	8' - 0"	NO GRID	LOT 17 TYPE F MODENA
65: 1							
65G	2	SLIDER	6' - 0"	5' - 0"	8' - 0"	GRID	LOT 17 TYPE F MODENA
65G	1	SLIDER	6' - 0"	5' - 0"	8' - 0"	GRID	LOT 18 TYPE E3 FIRENZE
65G	1	SLIDER	6' - 0"	5' - 0"	8' - 0"	GRID	LOT 19 TYPE E3 FIRENZE

## GENERAL WINDOW AND DOOR NOTES:

- ANY WINDOW IN A HAZARDOUS LOCATION (AS DESCRIBED IN R308 OF THE ORSC) SHALL BE CONSTRUCTED OF SAFETY GLASS AS REQUIRED
  - EACH BEDROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW MEETING THE FOLLOWING CRITERIA:  
MIN. NET FREE AREA OF 5.7 SF.  
MIN OPENING HEIGHT OF 24".  
MIN OPENING WIDTH OF 20".  
MAX SILL HEIGHT OF 44".
  - WEATHER STRIP ALL EXTERIOR DOORS, GARAGE DOORS.
  - INSULATION REQUIREMENTS:  
EXTERIOR DOORS U-0.20  
EXTERIOR DOORS W/ > 2.5 SF OF GLAZING U-0.40  
SLIDING GLASS DOORS SHALL COMPLY W/ WINDOW REQUIREMENT OF U-0.30



# VOLARE TOWNHOMES BUILDING 5

## HAPPY VALLEY

## PERMIT SET

## **REVISIONS:**

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ject number	Project Number
re	12/28/2012
checked By	Checker

# WINDOW & DOOR SCHEDULE

A6.1

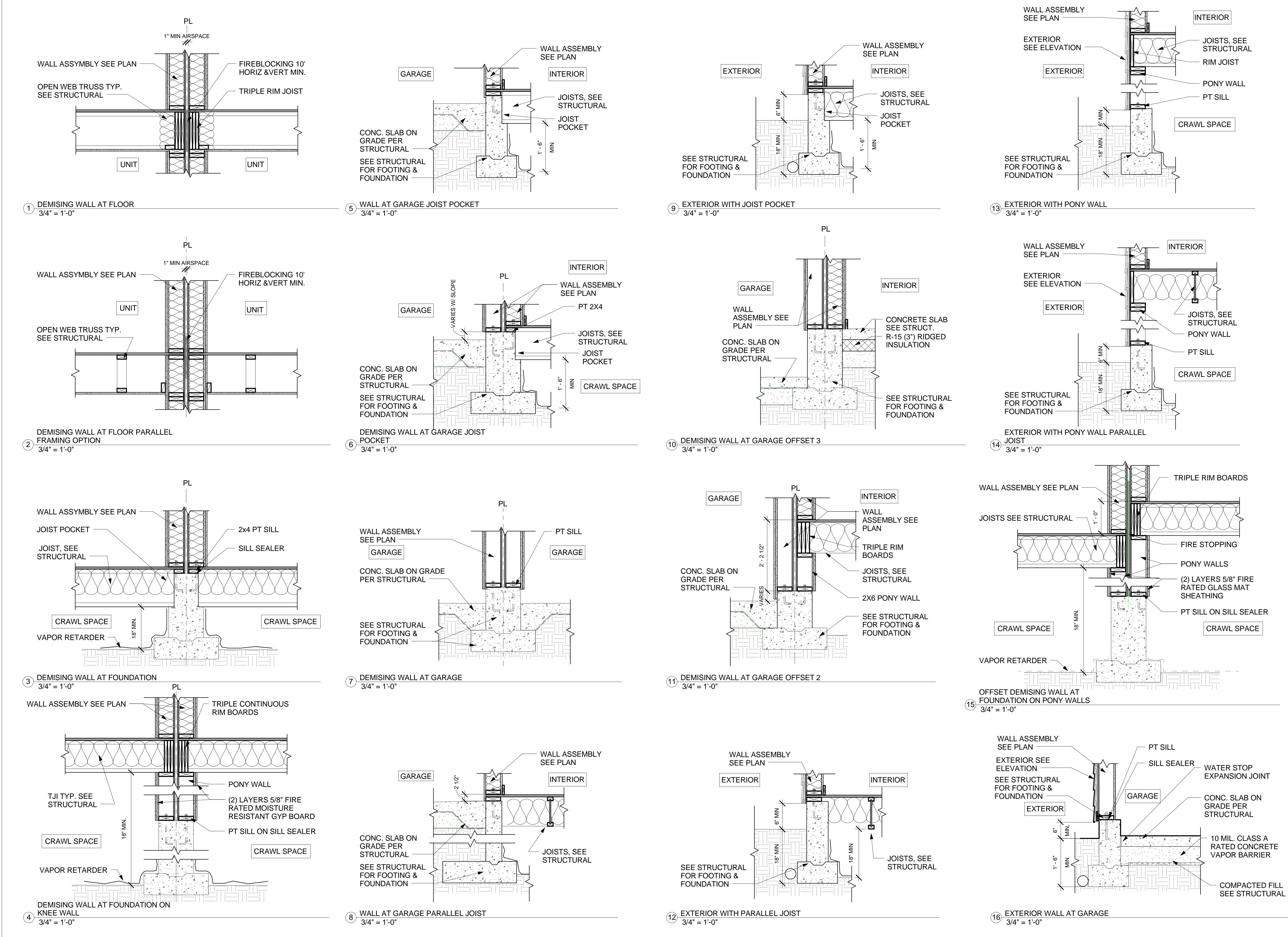
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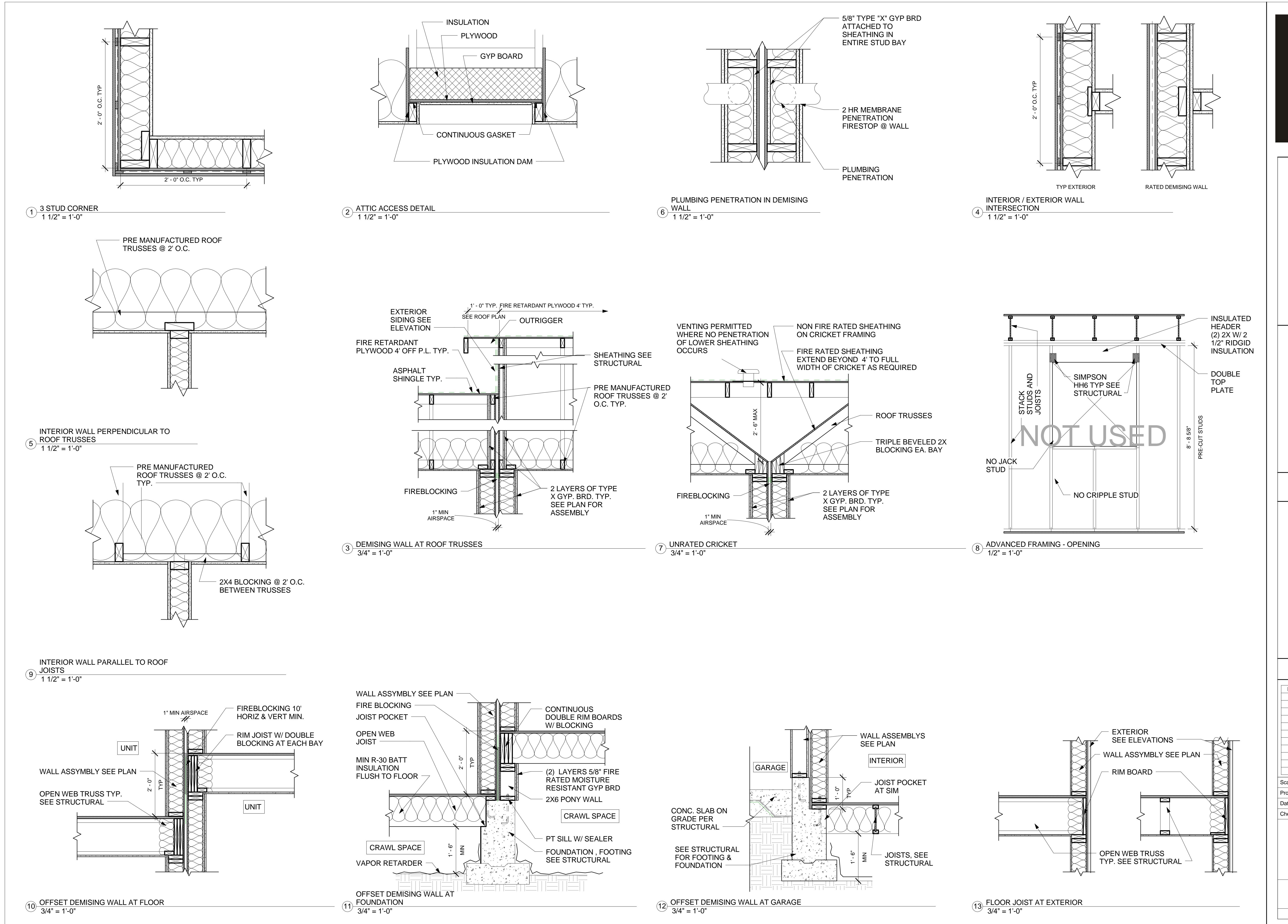
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# VOLARE TOWNHOMES BUILDING 5

# HAPPY VALLEY





# VOLARE TOWNHOMES BUILDING 5

# HAPPY VALLEY

## PERMIT SET

# REVISIONS:

## DETAILS

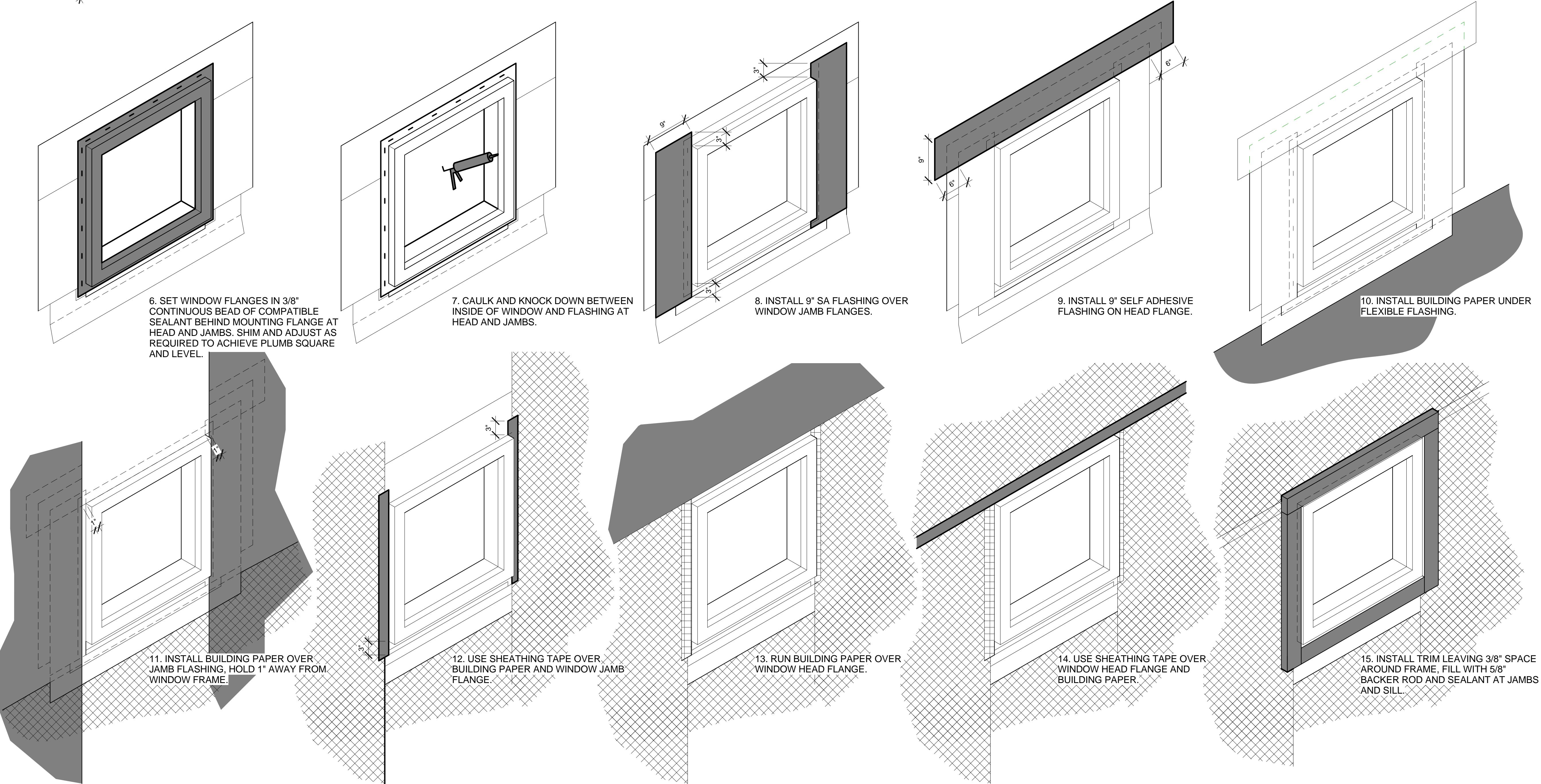
A8.2



**MONZA  
HOMES**

# VOLARE TOWNHOMES BUILDING 5

## HAPPY VALLEY



**1** WINDOW INSTALLATION DETAIL  
1" = 1'-0"

PERMIT SET

## **REVISIONS:**

Project Number	1" = 1'-0"
Entered By	12/28/2012
Checker	

# WINDOW INSTALLATION DETAIL

A8.4

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# VOLARE TOWNHOMES BUILDING 5

HAPPY VALLEY

## PERMIT SET

## **REVISIONS:**

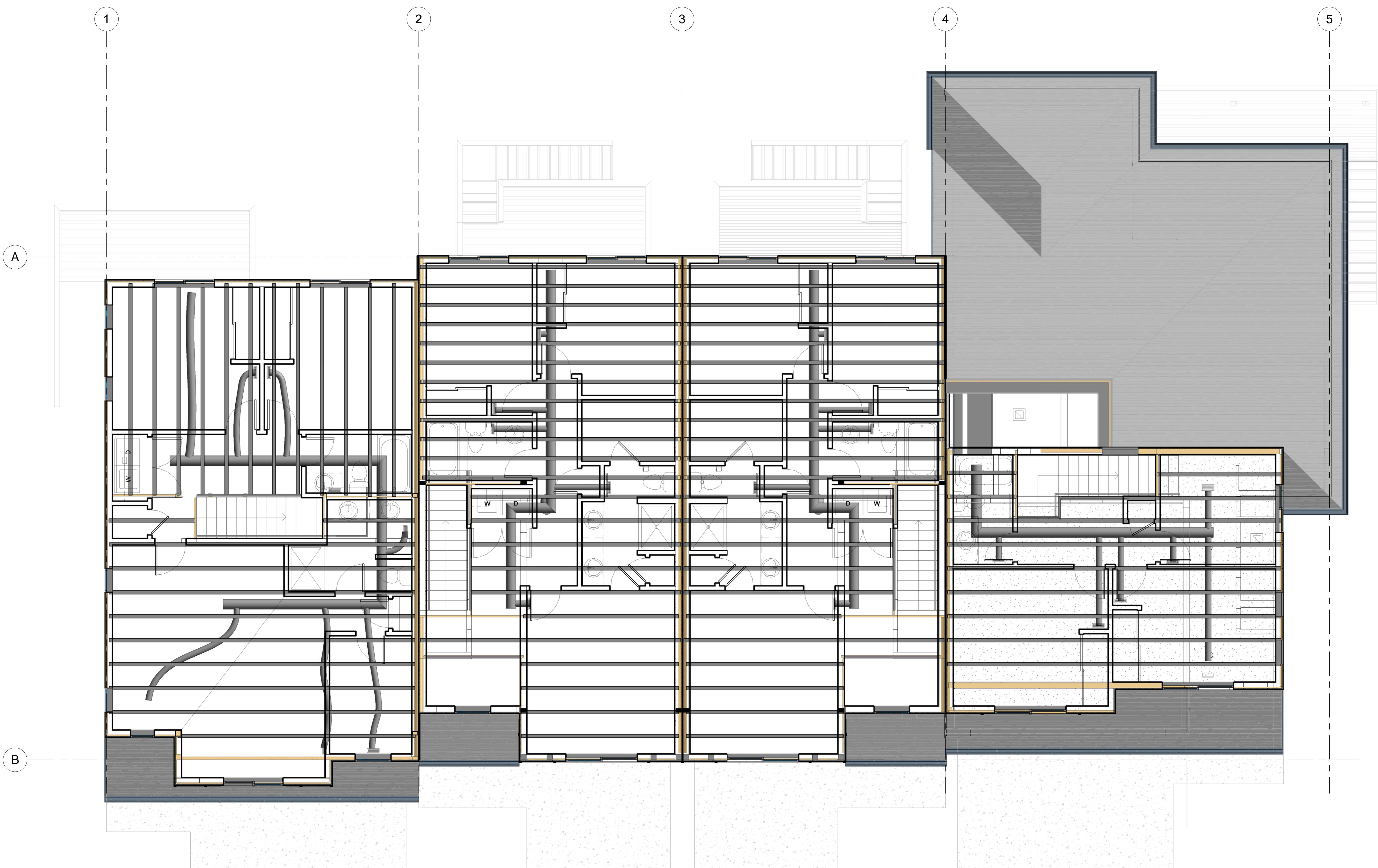
Sale	1/4" = 1'-0"
Object number	Project Number
Date	12/28/2012
Checked By	Checker

# COORDINATION

A9.2

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## 1 COORDINATION UPPER LEVEL PLAN 1/4" = 1'-0"

## STRUCTURAL NOTES

### DESIGN CRITERIA:

These plans are for Building 5 of the Volare Townhome project in Happy Valley, Oregon to be built on Lots 17-20. The building has 4 structurally independent, 2-level townhome units. Each unit has been designed in accordance with the 2010 Oregon Structural Specialty Code (OSSC). See the architectural plans for all plan dimensions, finishes and trim details and all weatherproofing requirements.

### LOADING:

Roof: 17 psf DL + 25 psf snow  
Floors: 12 psf DL + 40 psf LL (residential)  
Garage Floor: 58 psf DL + 40 psf LL or 3,000 lb point load  
Decks: 8 psf DL + 40 psf LL

Sismic: Seismic Design Category D  
 $S_s = 1.00$ ,  $S_1 = 0.36$ ,  $S_{ds} = 0.733$ ,  $P = 1.0$   
 $R = 6.5$  for light wood framing  
 $R = 2.0$  for gypsum wallboard shear walls

Soil Bearing: 2,500 psf per soils report by West Coast Geotech

### EXISTING CONDITIONS:

The contractor shall verify all existing conditions, dimensions, and elevations. The contractor shall notify the Engineer of any discrepancies from conditions shown on the drawings prior to starting work.

### TEMPORARY CONDITIONS:

The contractor shall be responsible for structural stability during construction. The structure shown on the drawings has been designed for stability under the final configuration only.

### SUBMITTALS:

Shop drawings shall be submitted to the Engineer prior to fabrication and construction for the following materials and products:

1. Premanufactured joists.
2. Premanufactured roof trusses

If the shop drawings differ from or add to the design of the structural drawings, the changes shall be clearly identified. Any changes to the structural drawings shall be submitted to the Engineer for review and acceptance. Design drawings and calculations for the design and fabrication of components that are designed by others such as premanufactured trusses shall bear the seal and signature of a Professional Engineer licensed in the State of Oregon.

### CONCRETE AND ACCESSORIES:

All mixing, placing and curing of concrete shall be in accordance with ACI 318. An air entraining agent conforming to ASTM C260 shall be used in all concrete with flat exterior surfaces exposed to the weather. The entrained air shall be 5 to 7% by volume.

### Concrete Design Strength:

Slabs, Footings & Piers: 3,000 psi, maximum slump 3" +/- 1"  
Stem Walls: 2,500 psi, maximum slump 4" +/- 1"

Reinforcing Steel: ASTM A615, Grade 60.

Concrete Adhesive: Simpson SET-XP or Powers AC100+ Gold. Special inspection required

Anchor Bolts: ASTM A307 unless noted otherwise

Expansion Anchors: Simpson "Strongbolt" or Powers "Powerstud SD1" or approved equivalent.

Screw Anchors: Simpson "Titan HD" or Powers "Wedge Bolt" or approved equivalent.

### WOOD:

Sawn Lumber: Sawn lumber design is based on the National Design Specification. All framing nails shall be common nails. No box nails allowed. Sawn lumber shall conform to Western Wood Products Association grading rules as follows:

Structural beams: DF #2 or better, kiln-dried unless noted otherwise  
Studs and wall plates: Stud grade or better, kiln-dried unless noted otherwise

Pressure Treated Lumber: Hem Fir #2 or better.

All wood in contact with concrete or masonry at interior locations protected from the weather such as mud sills and interior ledgers, shall be pressure treated with Sodium Borate (SBX/DOT) with retention level of 0.24.

All wood at exterior locations such as decks, railings and ledgers shall be pressure treated with alkaline copper quat (ACQ) with retention level of 0.25. All fasteners and framing hardware through or in contact with ACQ treated lumber shall be stainless steel or hot-dipped galvanized.

Misc. blocking: Standard or better unless noted otherwise

Glue-laminated Lumber: 24F-V4 DF/DF simple spans, 24F-V8 continuous spans as noted.

Laminated Strand Lumber: E1.55 LSL

Laminated Veneer Lumber: E2.0 LVL

Premanufactured Joists: Deferred submittal of depth and configuration as shown on the plans installed in accordance with manufacturer's instructions and IBCO report.

Framing Accessories: Simpson Strong-Tie or approved equivalent

Plywood Panels: APA rated plywood or oriented strand board sheathing.

### METALS:

Threaded Rod: ASTM A307 or high strength ASTM A449 as shown.

Stainless Steel Bolts: ASTM A304 or A310. Use for all bolts in exterior locations through or in contact with ACQ pressure-treated wood.

### SPECIAL INSPECTIONS:

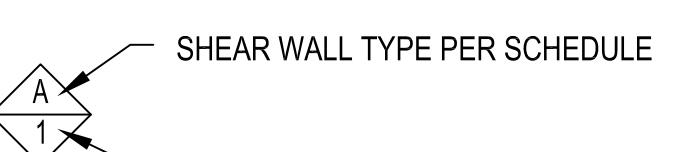
In accordance with Section 1704 of the OSSC. Inspections are to be performed by an approved independent testing laboratory employed by the owner for the following areas of work:

1. All bolts & dowels in adhesive
2. All concrete expansion anchors or concrete screw anchors.

### STRUCTURAL OBSERVATION

Structural observations are required by the Engineer of record, or an appointed representative, in accordance with 1709 of the OSSC for the following areas of work during construction:

1. Floor and roof sheathing: After the floor and roof sheathing, strapping and ties have been installed prior to covering with any materials.



SHEAR WALL w/ 2x STUDS SPACED SAME AS FLOOR JOISTS OR 24" O/C  
 LOAD-BEARING 2x STUD WALL w/ STUDS SPACED SAME AS FLOOR JOISTS OR 24" O/C  
 3x SILL PLATE REQ'D

## SHEAR WALL SCHEDULE:

TYPE	SHEATHING	ATTACHMENT		CAPACITY	PLATE ATTACHMENTS	
		EDGE NAILING	EDGE STAPLING		ANCHOR BOLTS	NAILING
G2	2 PLY 5/8" GYPSUM WALLBOARD	BASE PLY 6d @ 9"	BASE PLY 1 1/8" x 16 GA @ 9"	250 WIND 76.9 SEISMIC	5/8" Ø @ 6'-0" O/C	16d @ 6" O/C
A0	1/8" APA-RATED 1-SIDE	8d @ 6" O/C	1/2" x 16 GA @ 4" O/C	168 WIND 120 SEISMIC	5/8" Ø @ 6'-0" O/C	16d @ 6" O/C
A	1/8" APA-RATED 1-SIDE	8d @ 6" O/C	1/2" x 16 GA @ 4" O/C	336 WIND 240 SEISMIC	5/8" Ø @ 4'-0" O/C	16d @ 6" O/C
B	1/8" APA-RATED 1-SIDE	8d @ 4" O/C	1/2" x 16 GA @ 3" O/C	490 WIND 350 SEISMIC	5/8" Ø @ 2'-6" O/C	16d @ 4" O/C
*C	1/16" APA-RATED 1-SIDE w/ 3x EDGE FRAMING	8d @ 3" O/C	1/2" x 16 GA @ 2" O/C	630 WIND 450 SEISMIC	5/8" Ø @ 2'-6" O/C 3x SILL PLATE	16d @ 3" O/C
D	15/32" APA-RATED 1-SIDE w/ 3x EDGE FRAMING	8d @ 2" O/C	NOT PERMITTED	896 WIND 640 SEISMIC	5/8" Ø @ 2'-0" O/C ON 4 1/2" WIDE PL ANCHORS W/ 3x SILL PLATE	16d @ 3" O/C + SIMP A34 @ 24" O/C
CC	1/16" APA-RATED 1-SIDE w/ 3x EDGE FRAMING	8d @ 3" O/C	NOT PERMITTED	1,248 WIND 900 SEISMIC	5/8" Ø @ 1'-4" O/C ON 4 1/2" WIDE PL ANCHORS W/ 3x SILL PLATE	16d @ 3" O/C + SIMP A34 @ 8" O/C

## SHEAR WALL NOTES:

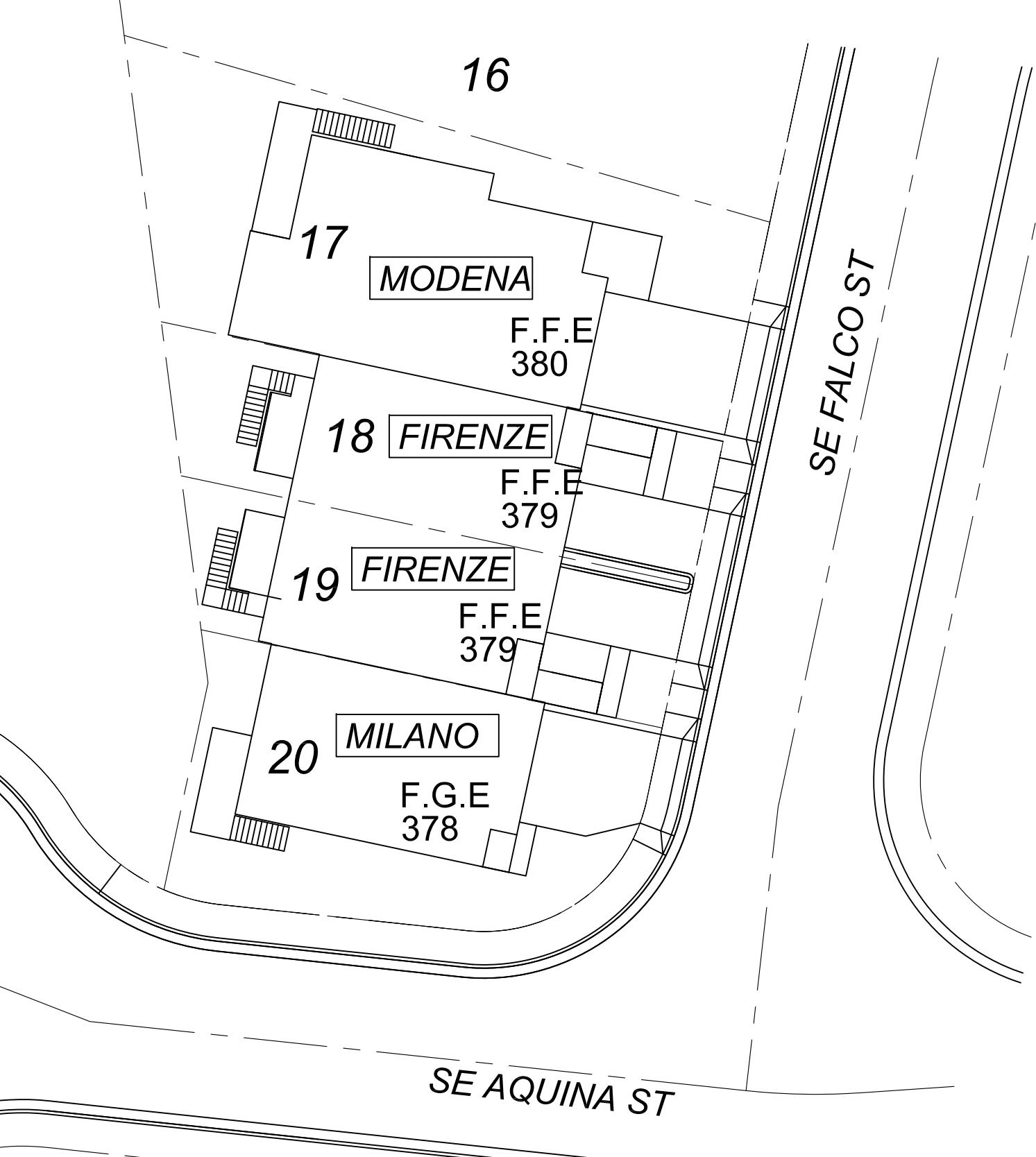
1. Provide blocking at all panel edges except not required on shear wall type "A0".
2. All field nailing & staples shall be @ 12" on center using same nails or staples as edge nailing.
3. All sheathing shall be APA rated plywood, Oriented Strand Board (OSB) or gypsum wallboard as noted. Wall type "D" must by 15/32" plywood.
4. Anchor bolts shall be 5/8" Ø x 7" embed wet set hot-dipped galvanized J-bolts or Minimum of 2 anchor bolts in each length of shear wall.
5. Provide minimum 0.229 x 3 x 3" galvanized plate washers at all anchor bolts on shear walls. Shear wall type "D" shall use 1/4" x 3" x 4 1/2" plate washer installed within 1/2" from edge of sill plate.
6. Adjust shear wall capacity by 2L/H for shear walls with height to length ratio > 2.0.
7. Shear wall sheathing on the party walls shall continuous for the full length of the occupied side of the wall.
- \* Shear Wall type not used on Building 5.

## HOLDOWN SCHEDULE

TYPE	HOLDOWN/STRAP	CAPACITY	ATTACHMENT	REMARKS
0	NONE REQUIRED			
1	SIMPSON CS16 x 42" STRAP	1,705 lb	(20) 10d NAILS	ATTACH TO SINGLE 2x STUD OR WRAP AROUND BEAM BELOW
2	SIMPSON MSTC40 STRAP	3,465 lb	(36) 16d NAILS	ATTACH TO DBL 2x STUD AND/OR WRAP AROUND BEAM BELOW
3	SIMPSON MSTC52 STRAP	4,620 lb	(48) 16d NAILS	ATTACH TO DBL 2x STUD AND/OR WRAP AROUND BEAM BELOW
*4	SIMPSON MSTC66 STRAP	5,860 lb	(68) 16d NAILS	ATTACH TO DBL 2x STUD AND/OR WRAP AROUND BEAM BELOW
*5	SIMPSON DTT2Z HOLDOWN	1,825 lb	SSTB16 OR 5/8" Ø A307 ROD EMBED 10" INTO STEM WALL IN ADHESIVE w/ (8) SDS 1/4x1 1/2" SCREWS	ATTACH TO SINGLE 2x STUD
6	SIMPSON HDU2 HOLDOWN	3,075 lb	SSTB16 OR 5/8" Ø A307 ROD EMBED 10" INTO STEM WALL IN ADHESIVE w/ (6) SDS 1/4x2 1/2" SCREWS	ATTACH TO DBL 2x STUD
7	SIMPSON HDU4 HOLDOWN	4,565 lb	SSTB20 OR 5/8" Ø A307 ROD EMBED 12" INTO STEM WALL IN ADHESIVE w/ (10) SDS 1/4x2 1/2" SCREWS	ATTACH TO DBL 2x STUD
8	SIMPSON HDU5 HOLDOWN	5,645 lb	SSTB24 OR 5/8" Ø A307 ROD EMBED 16" INTO STEM WALL IN ADHESIVE w/ (14) SDS 1/4x2 1/2" SCREWS	ATTACH TO DBL 2x STUD
9	SIMPSON HDU8 HOLDOWN	7,870 lb	5/8" Ø A307 ROD EMBED 10" INTO MIN 16" WIDE FOOTING w/ (20) SDS 1/4x2 1/2" SCREWS	ATTACH TO TRIPLE 2x STUD
10	SIMPSON HDU11 HOLDOWN	11,175 lb	1" Ø ROD EMBEDDED 10" INTO MIN 12" THICK x 16" WIDE FTG w/ (30) SDS 1/4x2 1/2" SCREWS	ATTACH TO 6x POST
*11	SIMPSON HDU14 HOLDOWN	14,925 lb	1" Ø ROD EMBEDDED 12" INTO MIN 15" THICK x 18" WIDE FTG w/ (36) SDS 1/4x2 1/2" SCREWS	ATTACH TO 6x POST

## HOLDOWN NOTES:

1. Install all straps and holdown in accordance with manufacturer's requirements using all required hardware and attachments.
2. Special inspection required for all rods installed in adhesive.
3. Higher capacity holdown or strap may be substituted for the specified product.
- \* Holdown type not used on Building 5.



1  
S-1  
1" = 240'

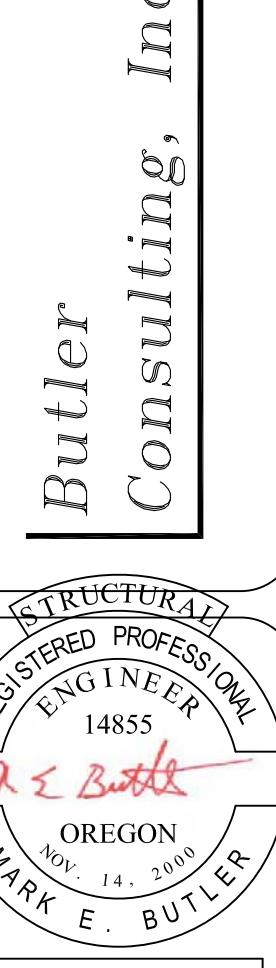
A	Value Eng'g Suspended Gar. Floor Slab	MEB	5/17/13
REV	DESCRIPTION	BY	DATE

S-1

PERMIT SET  
12/11/12

309-0410-01

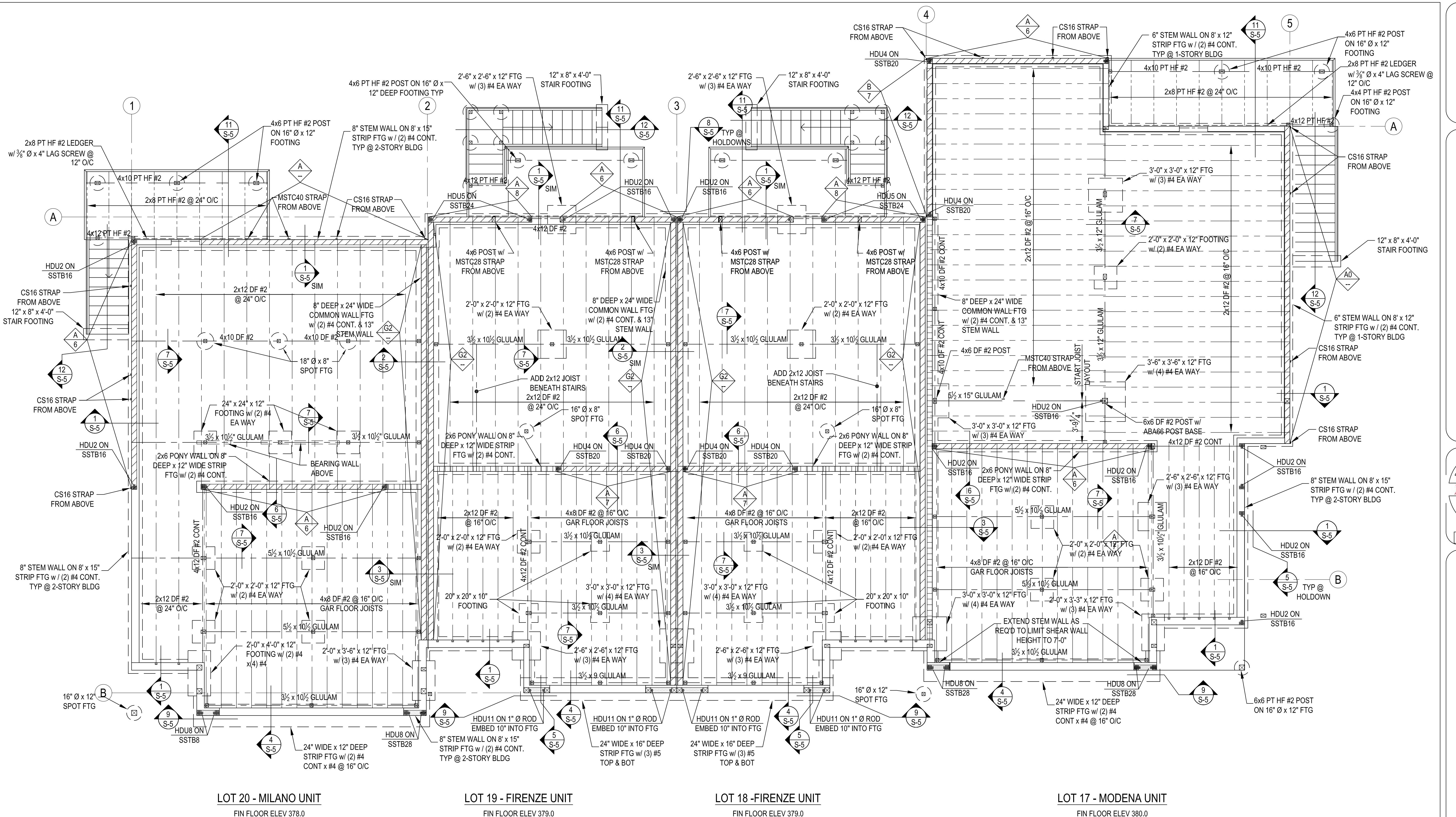
Butler Consulting, Inc.



VOLARE TOWNHOMES  
BUILDING 5 HAPPY VALLEY, OREGON  
STRUCTURAL NOTES & SCHEDULES

16110 SE GOOSEHOLLOW DRIVE  
DAMASCUS, OR 97089  
PHONE: (503) 658-0204  
FAX: (503) 658-0204

EXPIRES 12-31-2013



#### FOUNDATION NOTES:

- Verify floor elevations and step heights with architectural and civil drawings.
- Typical garage floor: 4" topping slab w/ #4 @ 24" on center each way on vapor barrier & 3/4" T & G plywood sheathing. Provide control joints at 15'-0" max spacing each way.
- Install 5/8" Ø sill plate anchors in accordance with shear wall schedule or at maximum 6'-0" spacing. Provide galvanized plate washers per shear wall schedule on all sill plate anchors.
- Install foundation anchor bolts per spacing indicated on shear wall schedule. Verify locations of required 3x6 sill plates (shaded on the plan) and adjust stem wall height & anchor bolt length as required.
- Provide crawl space ventilation min. 1 sq ft of vent space per 150 sq ft of crawl space area per architectural drawings. Locate vent blockouts 3' from corners, minimum 3' away from holdown anchor bolts.
- Provide 6 mil vapor barrier over all exposed soil in crawl space.
- See architectural plans for all plan dimensions, callouts for fixtures and finishes and all waterproofing details.

#### FOUNDATION PLAN - BUILDING 5

A  
1  
S-2

1/4" = 1'-0"

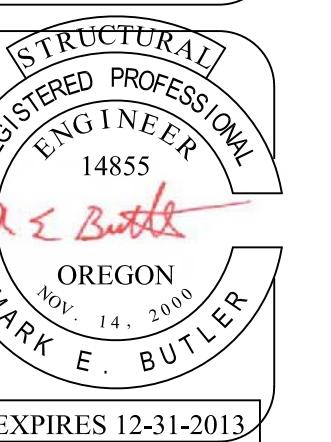
#### WALL LEGEND

- SHEAR WALL TYPE PER SCHEDULE SHEET S-1
- HOLDOWN TYPE PER SCHEDULE SHEET S-1
- SHEAR WALL w/ 2x6 STUDS @ 24" O/C
- LOAD-BEARING 2x4 or 2x6 STUD WALL w/ STUDS @ 24" O/C

A	Value Eng'g Suspended Gar. Floor Slab	MEB	6/10/13
REV	DESCRIPTION	BY	DATE

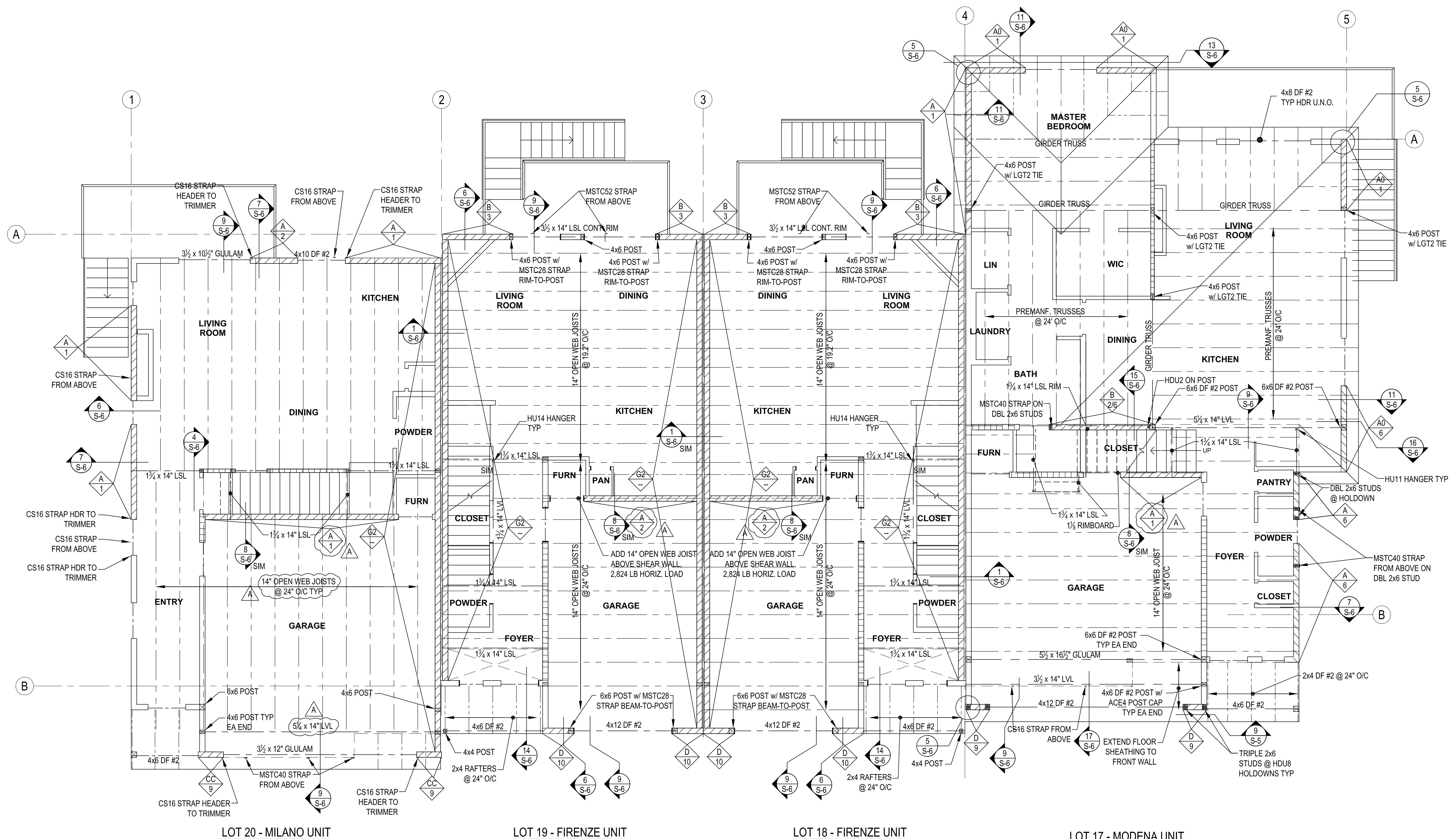
16110 SE GOOSEHOLLOW DRIVE  
DAMASCUS, OR 97089  
PHONE: (503) 658-0204  
FAX: (503) 658-0204

**Butler Consulting, Inc.**

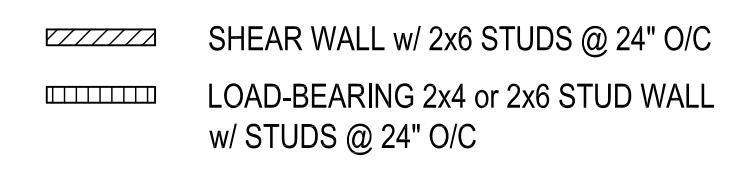
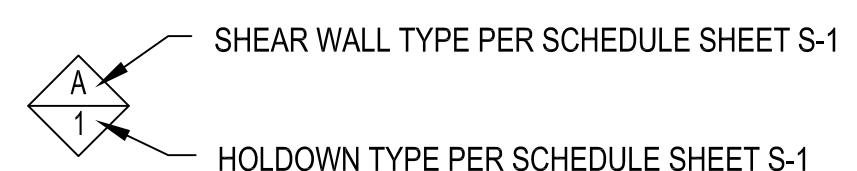


## VOLARE TOWNHOMES BUILDING 5 HAPPY VALLEY, OREGON

2ND FLOOR FRAMING PLAN for TA LIESY CONSTRUCTION, LLC



### WALL LEGEND



### FRAMING NOTES:

- Root sheathing shall be  $1\frac{1}{2}$ " APA-rated sheathing attached with 8d nails spaced at 6" on center panel edges, 12" field. Edge blocking not required.
- Floor sheathing shall be min  $\frac{7}{8}$ " APA-rated tongue & groove sheathing attached with 10d nails spaced at 6" on center panel edges, 12" field. Edge blocking not required.
- Exterior walls shall utilize "advanced framing" techniques with 2x6 studs spaced at 24" on center typical unless required otherwise on plan or schedules.
- Party walls shall be 2x6 studs spaced at 24" on center.
- Unit A on Lot 31 shows an optional 2-story vaulted entry. No vaulted entry on Lot 38. The framing has been designed for the most severe loading.
- Verify clearances of all ducting and plumbing w/ joist layout.
- See architectural plans for all plan dimensions, callouts for fixtures and finishes and all waterproofing details.

## 2ND FLOOR FRAMING PLAN - BUILDING 5

1 S-3

1/4" = 1'-0"

A	Value Egrg Suspended Gar. Floor Slab	MEB	6/10/13
REV	DESCRIPTION	BY	DATE

S-3  
PERMIT SET  
12/11/12

309-0410-01

16110 SE GOOSEHOLLOW DRIVE  
DAMASCUS, OR 97089  
PHONE: (503) 658-0200  
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**Butler  
Consulting, Inc.**

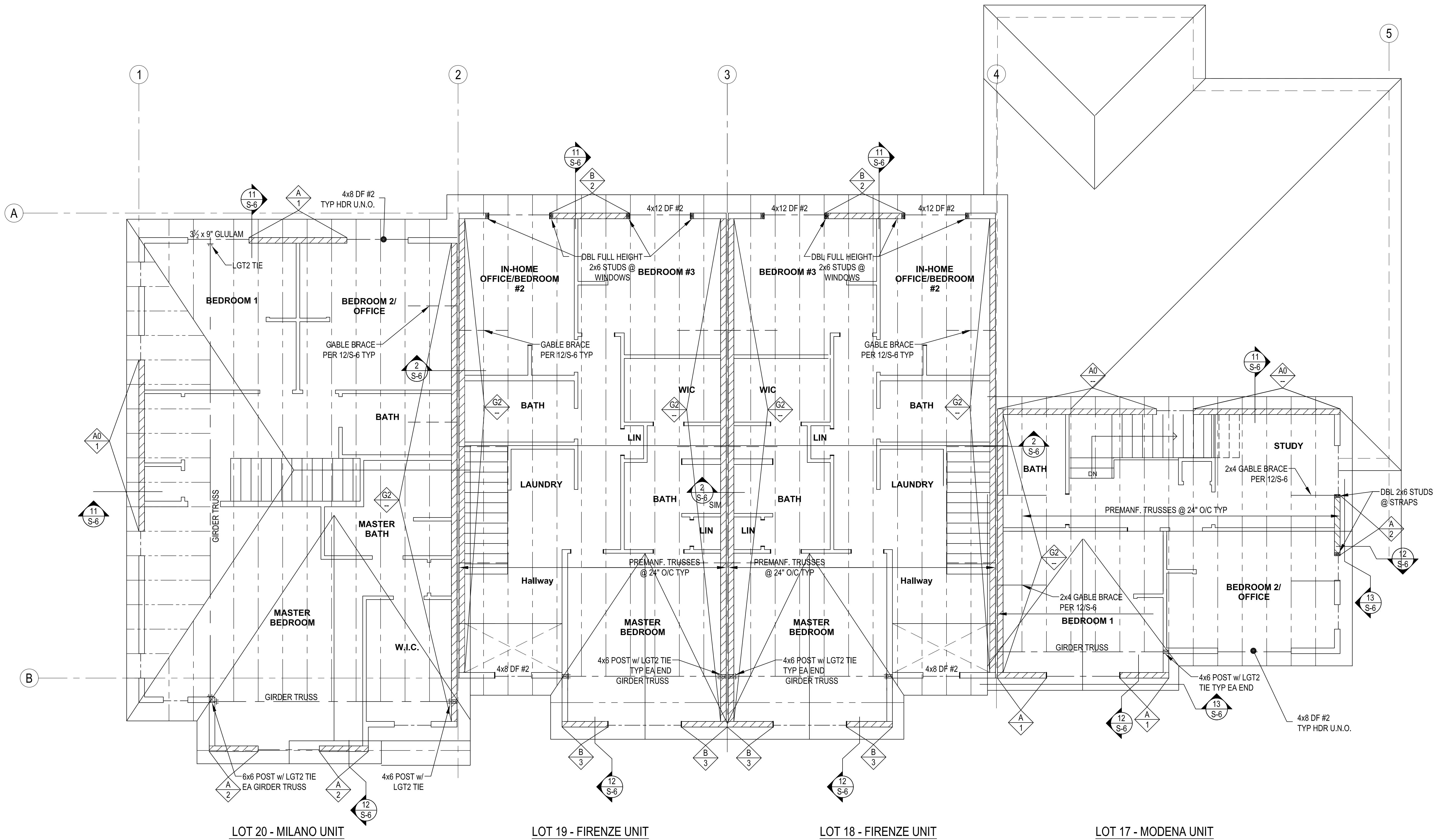


**VOLARE TOWNHOMES**  
BUILDING 5 HAPPY VALLEY, OREGON  
ROOF FRAMING PLAN for MONZA HOMES LLC

309-0410-01

S-4

PERMIT SET  
12/11/12



### ROOF FRAMING PLAN - BUILDING 5

1  
S-4

1/4" = 1'-0"

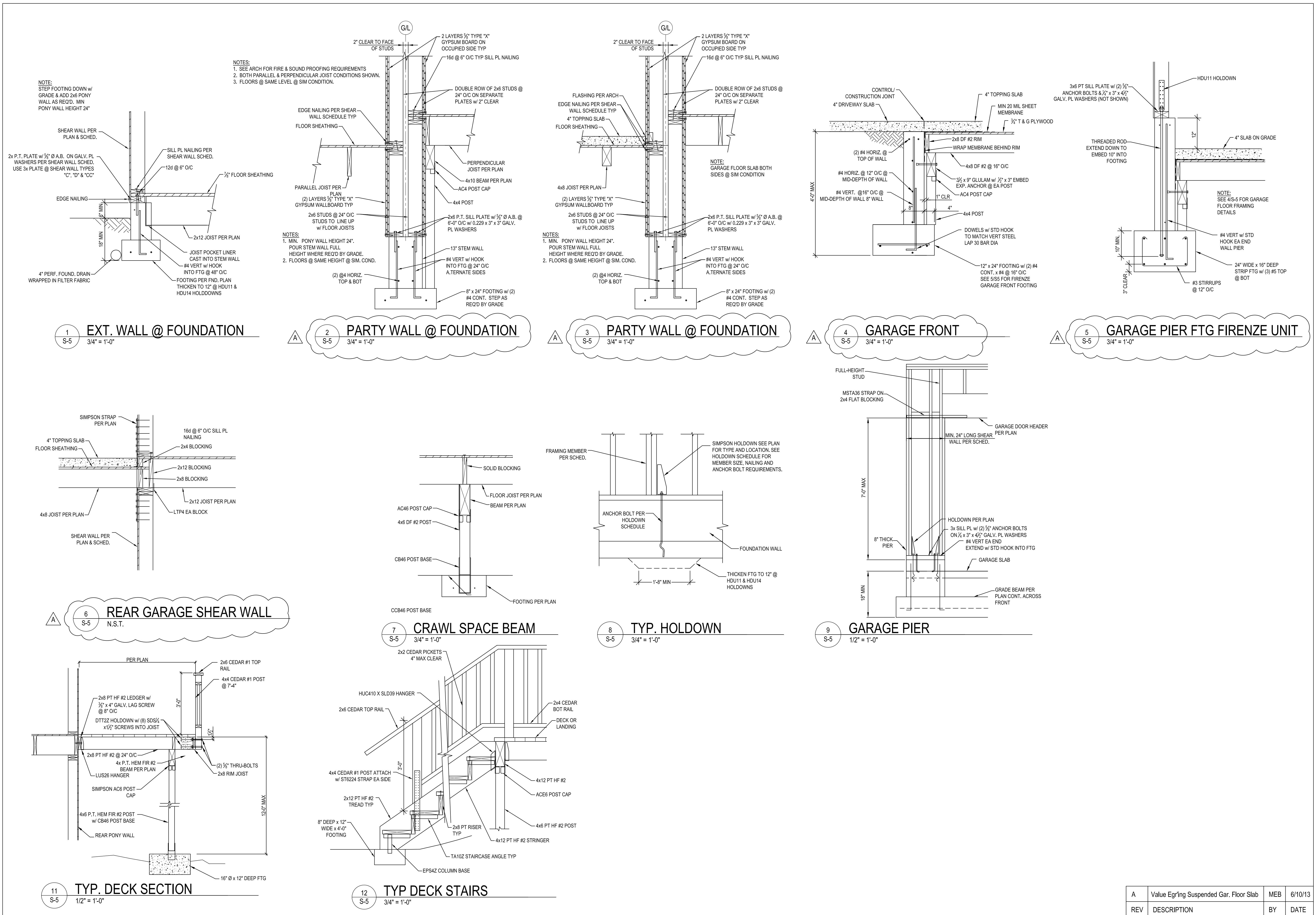
#### WALL LEGEND

SHEAR WALL TYPE PER SCHEDULE SHEET S-1  
 HOLDDOWN TYPE PER SCHEDULE SHEET S-1

SHEAR WALL w/ 2x STUDS @ 24" O/C

#### FRAMING NOTES:

- Typical roof sheathing shall be  $1\frac{1}{2}$ " APA-rated sheathing attached with 8d nails spaced at 6" on center panel edges, 12" field. Edge blocking not required.
- Exterior walls shall utilize "advanced framing" techniques with 2x6 studs spaced at 24" on center typical as shown on detail 13/S-6 typical unless required otherwise on plan or schedules.
- Party walls shall be 2x6 studs spaced at 24" on center.
- Anchors each roof truss to exterior top plate with H2.5A hurricane tie. Use LGT2 tie at each end of 2-ply girder trusses, (2) H2.5A ties on single-ply girder trusses or with tie as specified by the truss manufacturer.
- See architectural plans for all plan dimensions, callouts for fixtures, finishes and attic venting and all waterproofing details.



**FOUNDATION DETAILS** for TA LIESY CONSTRUCTION, LLC  
BUILDING 5 HAPPY VALLEY, OREGON

PHONE: (503) 658-0200  
FAX: (503) 658-0204

# Consulting, Inc.



γ — 5

16110 SE GOOSEHOLLOW DRIVE  
DAMASCUS, OR 97089  
PHONE: (503) 658-0200  
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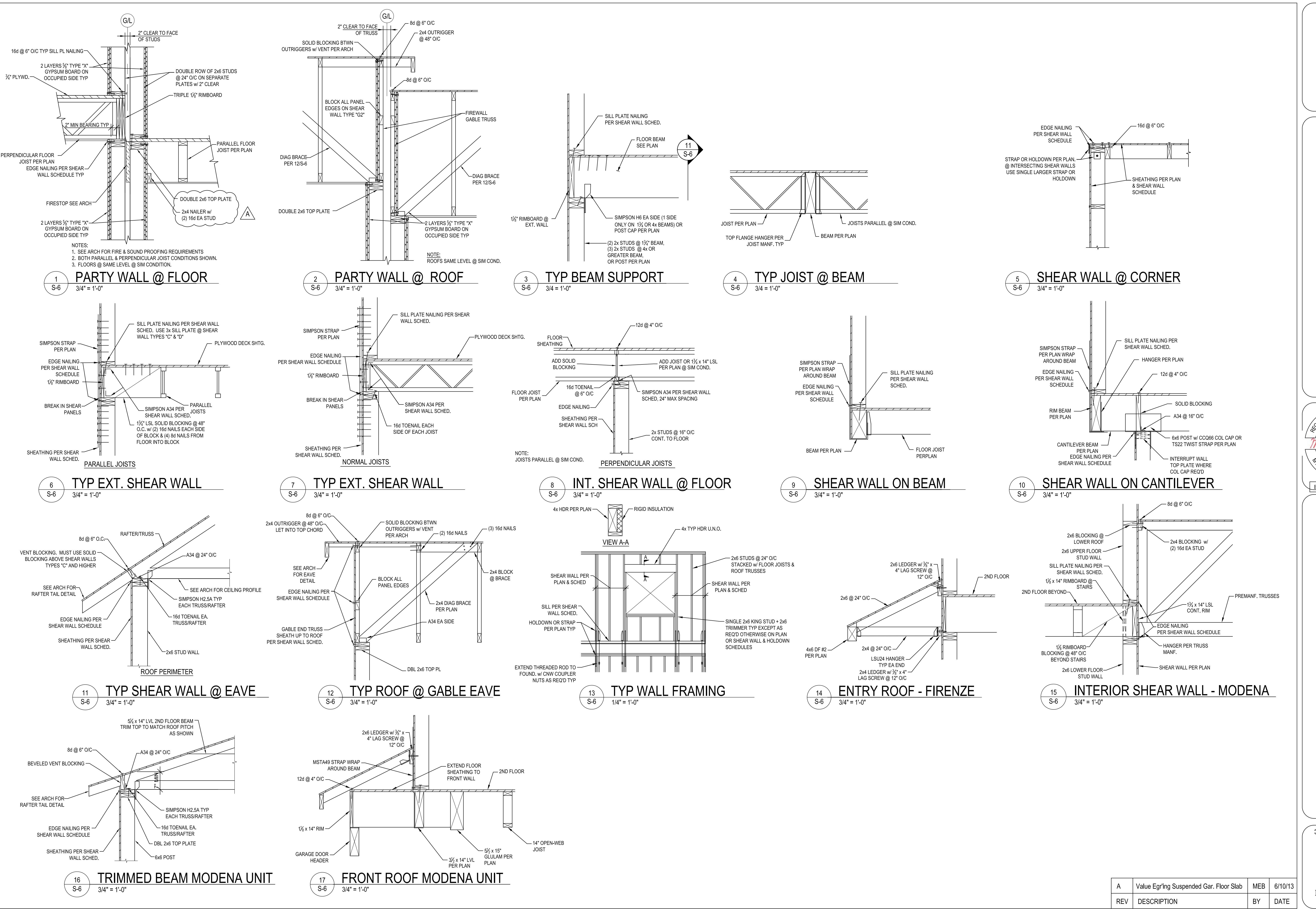
**Butler Consulting, Inc.**



VOLARE TOWNHOMES  
BUILDING 5 HAPPY VALLEY, OREGON

for TA LIESY CONSTRUCTION, LLC

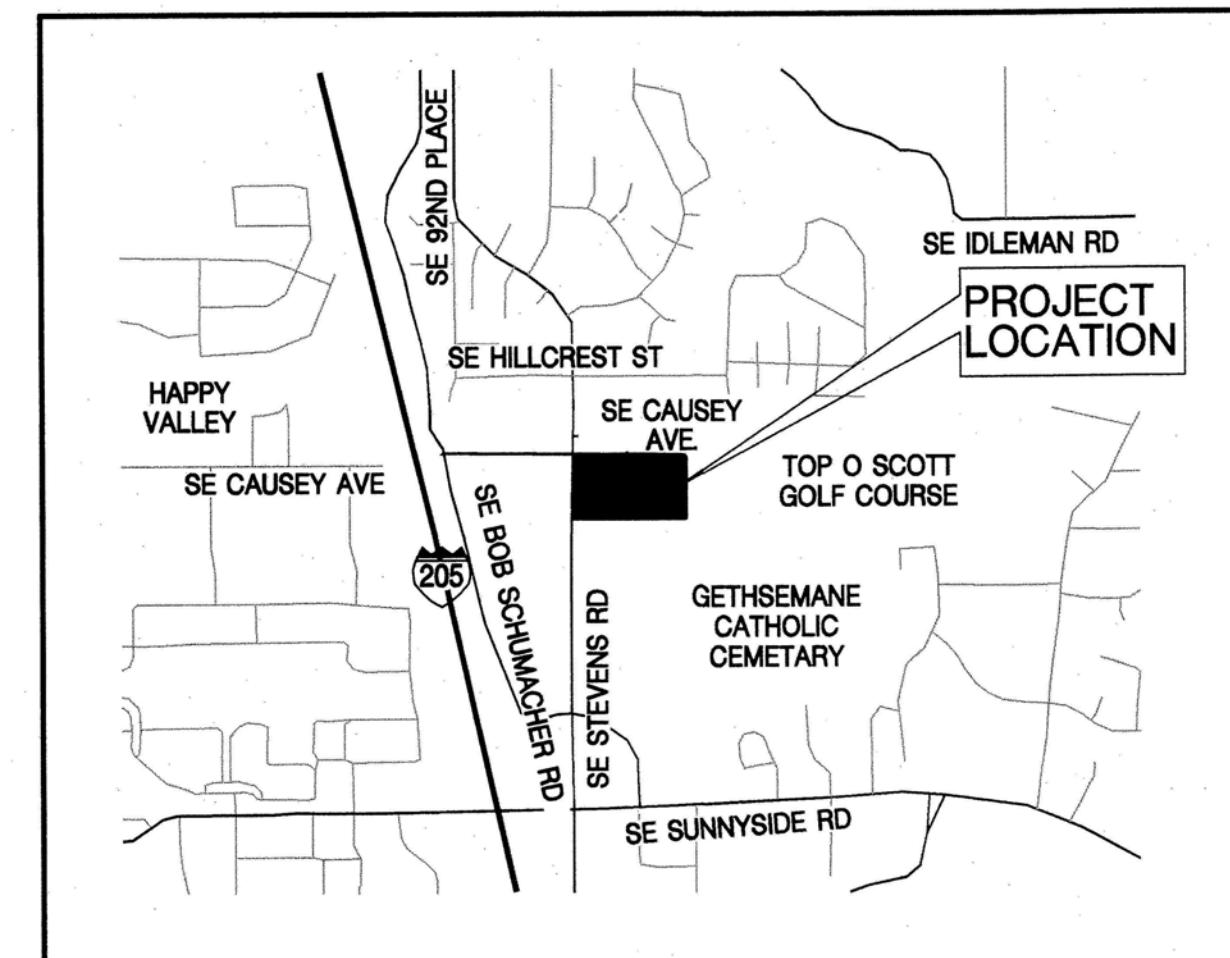
309-0410-01  
S-6  
PERMIT SET 12/11/12



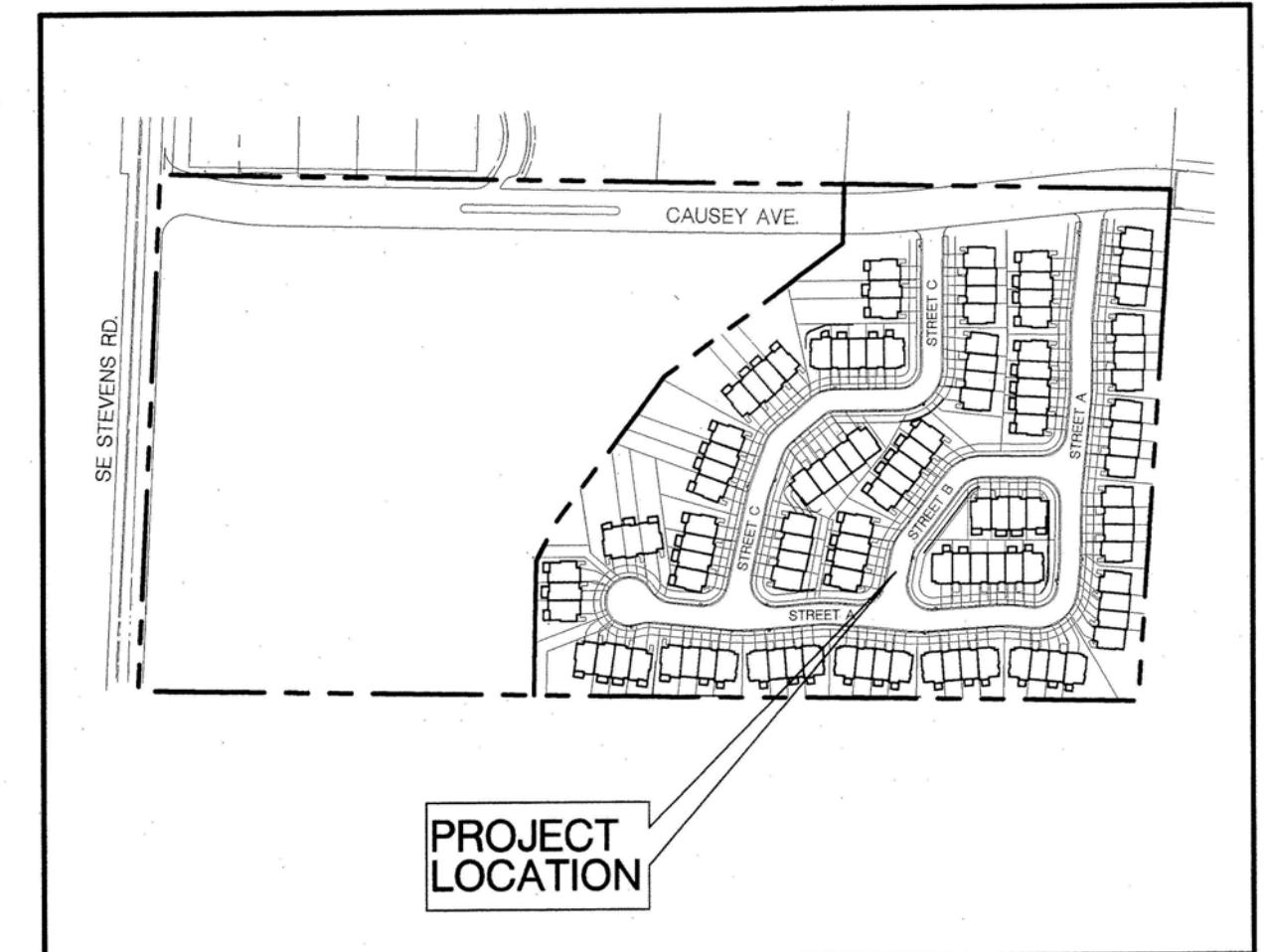
A	Value Eng'g Suspended Gar. Floor Slab	MEB	6/10/13
REV	DESCRIPTION	BY	DATE

# EAGLE LANDING TOWNHOMES

## ON-SITE LANDSCAPE CONSTRUCTION DOCUMENTS PREPARED FOR: MARNELLA HOMES / LANDING DEVELOPMENT, LLC. HAPPY VALLEY OREGON



PROJECT LOCATION MAP  
NOT TO SCALE



PROJECT VICINITY MAP  
NOT TO SCALE

### CONTACT INFORMATION

**OWNER/DEVELOPER**  
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ATTN: TONY MARNELLA  
18318 SE ABERNETHY LANE  
MILWAUKEE, OR 97267  
(503) 638-2569 (PHONE)  
(503) 638-2569 (FAX)

**ARCHITECT**  
MYHRE GROUP ARCHITECTS  
ATTN: MICHAEL OLSON  
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PORTLAND, OR 97214  
(503) 236-6000 (PHONE)  
(503) 236-7500 (FAX)

**CIVIL ENGINEER**  
WRG DESIGN INC.  
ATTN: BRETT STROHEIM, PE  
5415 SW WESTGATE DR, SUITE 100  
PORTLAND, OR 97221  
(503) 419-2500 (PHONE)  
(503) 419-2600 (FAX)

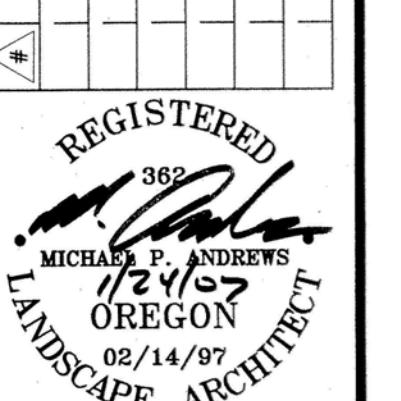
**LANDSCAPE ARCHITECT**  
WRG DESIGN INC.  
ATTN: MIKE ANDREWS, RLA  
5415 SW WESTGATE DR, SUITE 100  
PORTLAND, OR 97221  
(503) 419-2500 (PHONE)  
(503) 419-2600 (FAX)

### GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF HAPPY VALLEY CONSTRUCTION STANDARDS AND SPECIFICATIONS, AS WELL AS APPLICABLE FEDERAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS, INCLUDING NECESSARY PERMITS AND INSPECTIONS REQUIRED BY GOVERNING AUTHORITIES. A 48-HOUR NOTICE SHALL BE GIVEN BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
2. PRIOR TO ANY CONSTRUCTION, LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR. WHEN ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. ORGANIC AND UNDESIRABLE MATERIAL SHALL BE REMOVED FROM THE CONSTRUCTION AREA AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE.
4. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF OBVIOUS ERRORS OR OMISSIONS IN THE PLANS IDENTIFIED DURING CONSTRUCTION PLAN REVIEW AND STAKEOUT. THE CONTRACTOR SHALL NOT CONSTRUCT ANY FACILITIES IDENTIFIED DURING PLAN REVIEW AND STAKEOUT THAT ARE IN OBVIOUS ERROR, WITHOUT WRITTEN INSTRUCTION FROM THE LANDSCAPE ARCHITECT.
5. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PLAN AND MEASURES AS REQUIRED BY THE CITY AND/OR COUNTY.
6. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING PAVED SURFACES INCLUDING: SIDEWALKS OR CURBS WITHIN THE PUBLIC RIGHT-OF-WAY WHICH ARE DAMAGED, DETERIORATED OR REMOVED BY CONSTRUCTION ACTIVITIES; ANY DAMAGED PAVING RESULTING FROM CONSTRUCTION ACTIVITIES, ACCESS AND/OR STAGING SHALL BE REPLACED TO OWNER'S AND COUNTY SPECIFICATIONS AND STANDARDS.
7. CONTRACTOR MUST RESTORE ALL AREAS USED FOR CONSTRUCTION ACCESS AND STAGING. RESTORATION MAY INCLUDE, BUT WILL NOT BE LIMITED TO, SCARIFYING COMPACTED SOIL AND REPLACING VEGETATION.
8. CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING SURVEY MONUMENTS DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE COST AND COORDINATION OF REPLACEMENT, BY LICENSED SURVEYORS, OF DAMAGED OR REMOVED MONUMENTS.

### SHEET INDEX

COVER SHEET	L000
ONSITE PLANTING PLAN	L200
ONSITE PLANTING PLAN	L201
ONSITE PLANTING PLAN	L202
ONSITE PLANTING PLAN	L203
ONSITE IRRIGATION PLAN	L300
ONSITE IRRIGATION PLAN	L301
ONSITE IRRIGATION PLAN	L302
ONSITE IRRIGATION PLAN	L303
PLANTING DETAILS AND NOTES	L400
IRRIGATION DETAILS AND NOTES	L401



CLARS CERTIFIED  
LANDSCAPE ARCHITECT  
DATE 1/19/07  
DRAWN TMK/PEG  
DESIGNED IMPA/JLP  
CHECKED IMPA  
PROJECT # MHNH732

SHEET TITLE

COVER SHEET  
SHEET NUMBER  
L000

W R G  
DESIGN INC.  
5415 SW Westgate Dr, Ste 100 Portland, OR 97221  
Tel 503.419.2500 Fax 503.419.2600  
PLANNERS • ENGINEERS • LANDSCAPE ARCHITECTS • SURVEYORS

LANDING DEVELOPMENT LLC  
HAPPY VALLEY, OREGON



DATE	DESCRIPTION
1/19/07	REGISTERED MICHAEL E. ANDREWS LANDSCAPE ARCHITECT EXPIRES 02/28/07
1/19/07	CLARK CERTIFIED LANDSCAPE ARCHITECT
1/19/07	DATE   1/19/07
1/19/07	DRAWN   TMK/PEG
1/19/07	DESIGNED   MPA/JLP
1/19/07	CHECKED   MPA
1/19/07	PROJECT #   MNH6732
1/19/07	SHEET TITLE

**PLANTING PLAN**

**SHEET NUMBER**

**L202**

**DESIGN INN CO.**

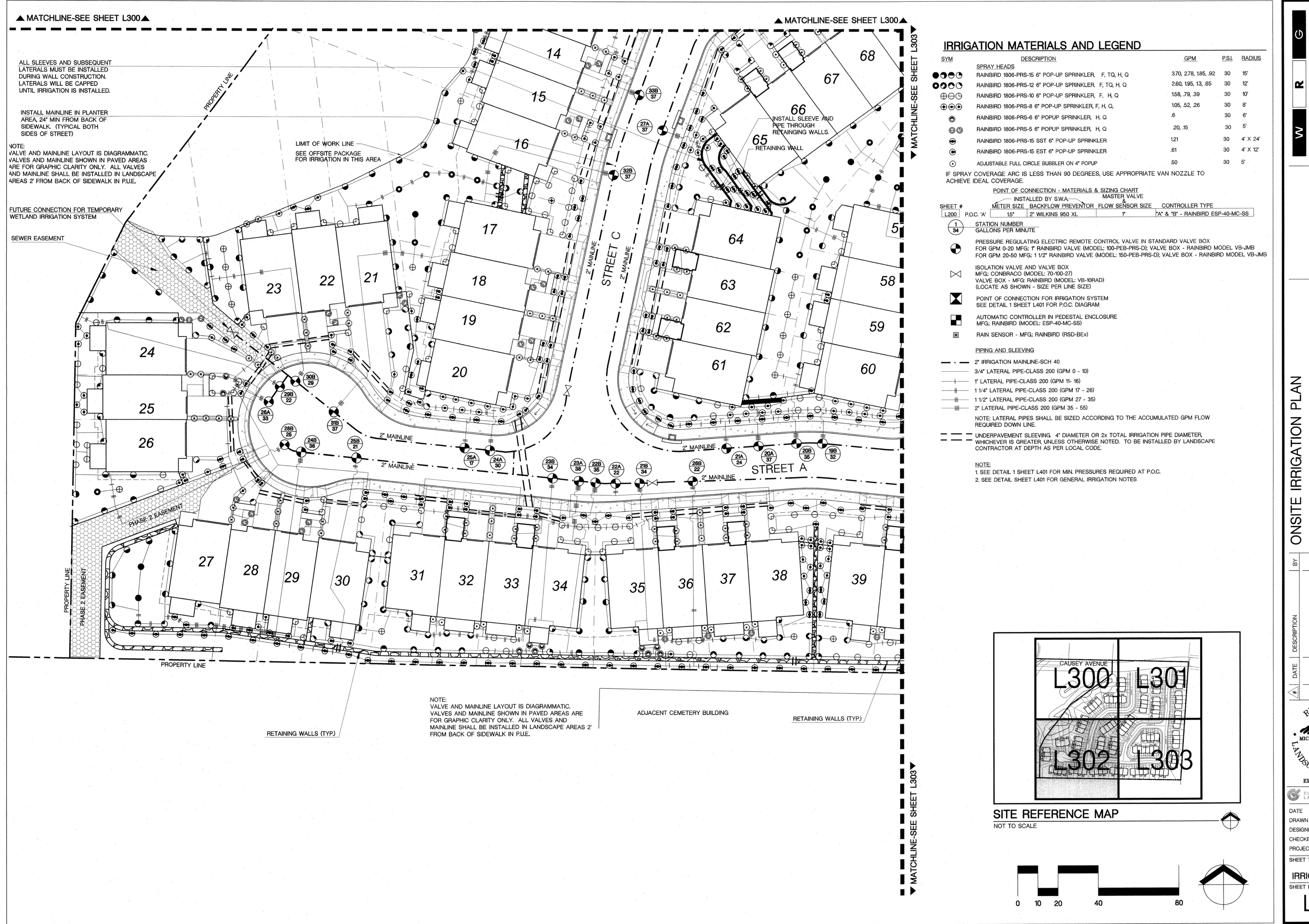
**W R I G**

**LANDING DEVELOPMENT, LLC**

**5415 SW Westgate Dr., Site 100 Portland, OR 97221**

**Fax. 503.419.2500**

**PLANNERS • ENGINEERS • LANDSCAPE ARCHITECTS • SURVEYORS**



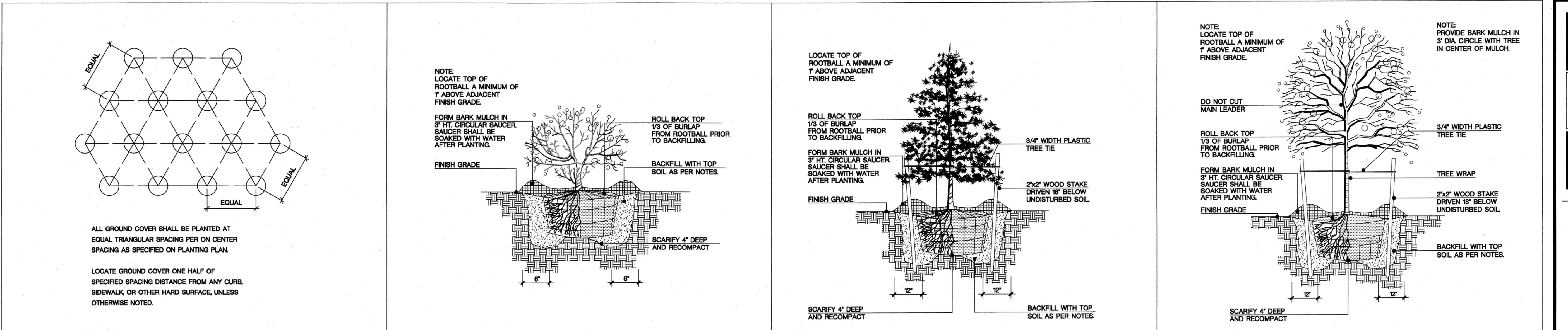
**R** **L** **I** **G**  
**W** **D** **E** **S** **I** **G** **N** **I** **N** **C**  
5415 SW Westgate Dr, Ste 100, Portland, OR 97221  
Tel. 503.349.2500 Fax. 503.349.2500  
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**ON SITE IRRIGATION PLAN**  
**EAGLE LANDING TOWNHOMES**  
**LANDING DEVELOPMENT, LLC**  
**HAPPY VALLEY, OREGON**

**DATE** 1/19/07  
**DRAWN** TMK/PEG  
**DESIGNED** MPA/JLP  
**CHECKED** MPA  
**PROJECT #** MNH6732  
**EXPIRES** 02/28/07

**CLIA CERTIFIED LANDSCAPE ARCHITECT**  
DATE 1/19/07  
DRAWN TMK/PEG  
DESIGNED MPA/JLP  
CHECKED MPA  
PROJECT # MNH6732  
SHEET TITLE

**IRRIGATION PLAN**  
**SHEET NUMBER**  
**L302**



## **1 GROUNDCOVER SPACING DETAIL**

1

## **GENERAL NOTES: LANDSCAPE PLAN**

1. CONTRACTOR TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
  2. CONTRACTOR SHALL EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
  3. CONTRACTOR TO REPORT ALL DAMAGES TO EXISTING CONDITIONS AND INCONSISTENCIES WITH PLANS TO LANDSCAPE ARCHITECT.
  4. ALL PLANT MASSES TO BE CONTAINED WITHIN A 3" LAYER OF BARK MULCH BED, UNLESS NOTED OTHERWISE.
  5. BED EDGE TO BE NO LESS THAN 12" AND NO MORE THAN 18" FROM OUTER EDGE OF PLANT MATERIAL BRANCHING. WHERE GROUND-COVER OCCURS, PLANT TO LIMITS OF AREA AS SHOWN.
  6. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPE BEDS AND ALL LAWN AREAS.
  7. CONTRACTOR TO FINE GRADE AND ROCK-HOUND ALL TURF AREAS PRIOR TO SEEDING, TO PROVIDE A SMOOTH AND CONTINUAL SURFACE, FREE OF IRREGULARITIES (BUMPS OR DEPRESSIONS) & EXTRANEOUS MATERIAL OR DEBRIS.
  8. QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS BID QUANTITIES AS REQUIRED BY THE PLANS AND SPECIFICATIONS. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER LABELED ON THE PLANT LEGEND AND THE QUANTITY OF GRAPHIC SYMBOLS SHOWN, THE GRAPHIC SYMBOL QUANTITY SHALL GOVERN.
  9. COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER AND DRAINAGE SYSTEMS.
  10. CONTRACTOR SHALL NOT REMOVE ANY TREES DURING CONSTRUCTION WITHOUT THE EXPRESS WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT. EXISTING VEGETATION TO REMAIN SHALL BE PROTECTED AS DIRECTED BY THE LANDSCAPE ARCHITECT.
  11. WHERE PROPOSED TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY LANDSCAPE ARCHITECT TO ADJUST TREE LOCATIONS.
  12. LANDSCAPE MAINTENANCE PERIOD BEGINS IMMEDIATELY AFTER THE COMPLETION OF ALL PLANTING OPERATIONS AND WRITTEN NOTIFICATION TO THE OWNER. MAINTAIN TREES, SHRUBS, LAWNS AND OTHER PLANTS UNTIL FINAL ACCEPTANCE OR 90 DAYS AFTER NOTIFICATION AND ACCEPTANCE, WHICHEVER IS LONGER.
  13. REMOVE EXISTING WEEDS FROM PROJECT SITE PRIOR TO THE ADDITION OF ORGANIC AMENDMENTS AND FERTILIZER. APPLY AMENDMENTS AND FERTILIZER PER THE RECOMMENDATIONS OF THE SOIL ANALYSIS FROM THE SITE.
  14. BACKFILL MATERIAL FOR TREE AND SHRUB PLANTING SHALL CONTAIN: ONE PART FINE GRADE COMPOST TO THREE PARTS TOPSOIL BY VOLUME AND SLOW RELEASE FERTILIZER PER SOIL ANALYSIS RECOMMENDATIONS.
  15. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANT SUBSTITUTIONS WITHOUT PRIOR WRITTEN APPROVAL THAT DO NOT COMPLY WITH THE DRAWINGS AND SPECIFICATIONS MAY BE REJECTED BY THE LANDSCAPE ARCHITECT AT NO COST TO THE OWNER. THESE ITEMS MAY BE REQUIRED TO BE REPLACED WITH PLANT MATERIALS THAT ARE IN COMPLIANCE WITH THE DRAWINGS.
  16. CONTRACTOR SHALL BE RESPONSIBLE TO SECURE ALL PLANT MATERIAL IN THE SIZE SPECIFIED ON PLAN PRIOR TO INSTALLATION. IN THE EVENT THE PLANT MATERIAL IS NOT AVAILABLE IN THE SIZE SPECIFIED, THE CONTRACTOR SHALL SUBMIT TO THE OWNERS' REPRESENTATIVE, AND THE LANDSCAPE ARCHITECT, A WRITTEN ESTIMATE TO INCREASE PLANT MATERIAL (AND INSTALL) THE NEXT AVAILABLE CONTAINER SIZE PLANT (I.E. 4" POT TO ONE GALLON CONTAINER, 2" CALIPER TREE TO 2.5" CALIPER).
  17. CONTRACTOR SHALL BE RESPONSIBLE TO IMPLEMENT BEST MANAGEMENT PRACTICES TO STABILIZE ALL SLOPES 2.5:1 OR GREATER AND PREVENT EROSION OR MOVEMENT OF SOIL FROM SLOPES. THIS COULD INCLUDE, BUT NOT LIMITED TO, EROSION CONTROL FABRIC, STAKING, NETTING, AND STRAW WATTLES. SUBMIT METHOD OF SLOPE STABILIZATION TO LANDSCAPE ARCHITECT FOR REVIEW AND WRITTEN APPROVAL 30 DAYS PRIOR TO IMPLEMENTATION.
  18. PRIOR TO MOBILIZATION THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT, IN WRITING, IF HE/SHE BELIEVES ANY OF THE PLANT MATERIAL IDENTIFIED ON THE PLAN MAY NOT BE SUITABLE FOR THE SITE OR MAY DIE. SUBSTITUTION REQUESTS WILL BE GRANTED BY THE LANDSCAPE ARCHITECT PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. IF NOTIFICATION IS NOT GIVEN TO THE LANDSCAPE ARCHITECT ALL PLANTING WHICH FAILS TO GROW (EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE AS DETERMINED BY THE OWNER, NEGLECT OR VANDALISM) SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
  19. NOTIFY THE LANDSCAPE ARCHITECT IN WRITING, WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, POOR PLANTING SOIL, ADVERSE DRAINAGE CONDITIONS, OR OBSTRUCTIONS, PRIOR TO PLANTING.
  20. PLANTING RESTRICTIONS - PLANTING IS NOT PERMITTED DURING THE FOLLOWING CONDITIONS, UNLESS OTHERWISE APPROVED IN WRITING:
    - A. COLD WEATHER: LESS THAN 32 DEGREES FAHRENHEIT
    - B. HOT WEATHER: GREATER THAN 90 DEGREES FAHRENHEIT
    - C. WET WEATHER: SATURATED SOIL
    - D. WINDY WEATHER: WIND VELOCITIES GREATER THAN 20 M.P.H.

## **2** DECIDUOUS / EVERGREEN SHRUBS

N.T.S.

## TOPSOIL NOTE

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN ALTERNATE NUMBER IN THE BASE BID TO FURNISH AND INSTALL A 6" LAYER OF AMENDED TOPSOIL IN ALL LANDSCAPE BEDS AND SEEDED AREAS UNLESS OTHERWISE NOTED. AMENDED TOPSOIL SHALL INCLUDE ALL NECESSARY FERTILIZERS, ORGANIC AND INORGANIC AMENDMENTS, BASED ON INDUSTRY STANDARDS FOR EXCEPTIONAL PLANT DEVELOPMENT.
  2. UPON BEING AWARDED THE CONTRACT, THE GENERAL CONTRACTOR SHALL COORDINATE WITH A STATE LICENSED SOIL LABORATORY AND THE LANDSCAPE ARCHITECT, TO DETERMINE THE SUITABILITY AND AVAILABILITY OF THE EXISTING SITE TOPSOIL THE CONTRACTOR SHALL SEND THE TOPSOIL TO A SOIL LABORATORY FOR ANALYSIS STATING THAT THE TOPSOIL BE ANALYZED FOR A LANDSCAPE CROP. AFTER RECEIVING RECOMMENDATIONS FROM THE SOILS EXPERT FORWARD A COPY TO THE OWNERS REPRESENTATIVE AT WHICH TIME A DECISION WILL BE MADE BY THE OWNER AS TO WHETHER OR NOT THE EXISTING ON-SITE STOCKPILE WILL BE USED FOR THE PROJECT.
  3. IF THE EXISTING TOPSOIL IS TO BE USED THE CONTRACTOR SHALL ADD THE RECOMMENDED AMENDMENTS AND FERTILIZERS AS STATED IN THE SOILS ANALYSIS ALONG WITH ADDITIONAL AMENDMENTS AND FERTILIZERS LISTED IN NOTE #6 AND #7 BELOW.
  4. IN THE EVENT THE EXISTING ON-SITE TOPSOIL IS OF POOR QUALITY (AS DETERMINED BY THE SOIL ANALYSIS) OR IS UNAVAILABLE FOR USE, THE OWNER'S REPRESENTATIVE WILL MAKE A DECISION AS TO WHETHER OR NOT THE NUMBER FOR IMPORTING 6" OF AMENDED IMPORTED TOPSOIL WILL BE ADDED TO THE SIGNED CONTRACT AGREEMENT.
  5. IF AMENDED IMPORTED TOPSOIL IS TO BE USED, THE GENERAL CONTRACTOR WILL BE NOTIFIED IN WRITING BY THE OWNER'S REPRESENTATIVE AND THE CONTRACT MODIFIED ACCORDINGLY. TOPSOIL SHALL BE OBTAINED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 4 INCHES DEEP. DO NOT OBTAIN FROM BOGS OR MARSHES. IMPORTED TOPSOIL TO COMPLY WITH ASTM D 5268, WITH A PH RANGE OF 5.5 TO 7.0, FREE OF STONES 1 INCH OR LARGER IN ANY DIMENSION, AND ANY OTHER EXTRANEOUS MATERIALS (ROCKS, STICKS, RUBBISH, SOD) HARMFUL TO PLANT GROWTH. AN ADDITIONAL SOILS ANALYSIS WILL BE REQUIRED FOR THE IMPORTED TOPSOIL.
  6. AMENDED IMPORTED TOPSOIL SHALL INCLUDE ALL NECESSARY FERTILIZER AND AMENDMENTS PER THE SOIL ANALYSIS RECOMMENDATIONS. TOPSOIL ANALYSIS SHALL STATE ORGANIC MATTER, INORGANIC MATTER (SILT, CLAY AND SAND), DELETERIOUS MATERIAL, PH, MINERAL AND PLANT-NUTRIENT CONTENT. IN ADDITION THE REPORT SHALL ALSO STATE RECOMMENDED QUANTITIES (BY PERCENTAGE OF WEIGHT "I.E. 2 LBS OF 15-15-15 PER 1000SF) OF NITROGEN, PHOSPHORUS AND POTASH, NUTRIENTS AND ANY LIMESTONE, ALUMINUM SULFATE, OR OTHER SOIL AMENDMENTS TO BE ADDED TO PRODUCE A SATISFACTORY AMENDED TOPSOIL. FURNISH REPORT AND RECOMMENDATIONS TO LANDSCAPE ARCHITECT FOR REVIEW AND WRITTEN APPROVAL 30 DAYS PRIOR TO MOBILIZATION.
  7. IN ADDITION TO THE SOILS ANALYSIS RECOMMENDATIONS THE LANDSCAPE CONTRACTOR SHALL ADD 1 PART (2" LAYER) OF APPROVED HUMUS MATERIAL TO 2 PARTS AMENDED TOPSOIL. SUBMIT CUT SHEET OF HUMUS MATERIAL (CERTIFIED FINE COMPOSTED YARD DEBRIS) TO LANDSCAPE ARCHITECT FOR REVIEW AND WRITTEN APPROVAL PRIOR TO MIXING. HUMUS IS AVAILABLE AT MCFARLANE'S (503) 659-4240 OR APPROVED EQUAL.
  8. PRIOR TO PLACEMENT OF TOPSOIL SCARIFY AND LOOSEN SUBGRADE OF PLANTING BED AREA TO A MINIMUM DEPTH OF 6 INCHES. REMOVE STONES LARGER THAN 1" IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH AND OTHER EXTRANEOUS MATERIALS. REMOVE WEEDS FROM EXISTING SUBGRADE AND TREAT WITH NECESSARY HERBICIDE TO PREVENT WEED GROWTH. SPREAD HALF OF THE AMENDED TOPSOIL MIXTURE AND WORK INTO TOP OF LOOSEN SUBGRADE TO CREATE A TRANSITION LAYER. PLACE REMAINING HALF OF THE PLANTING SOIL MIXTURE TO THE DEPTH REQUIRED TO MEET THICKNESS, GRADES AND ELEVATIONS SHOWN, AFTER LIGHT ROLLING AND NATURAL SETTLEMENT.
  9. WITHIN TREE WELLS, REMOVE EXISTING SOIL AND OTHER DEBRIS, TO A MINIMUM DEPTH OF 3'-0" AND REPLACE WITH AMENDED TOPSOIL. ADD ADDITIONAL SOIL AS REQUIRED PER DETAILS AND NOTES.
  10. THE CONTRACTOR SHALL SUBMIT TO THE LANDSCAPE ARCHITECT, SHIPPING TICKETS FOR IMPORTED TOPSOIL AND HUMUS MATERIAL 60 DAYS PRIOR TO INSTALLATION FOR REVIEW AND WRITTEN APPROVAL.

## **EVERGREEN TREE**

100

## **4 DECIDUOUS TREE STAKING**

5

ME

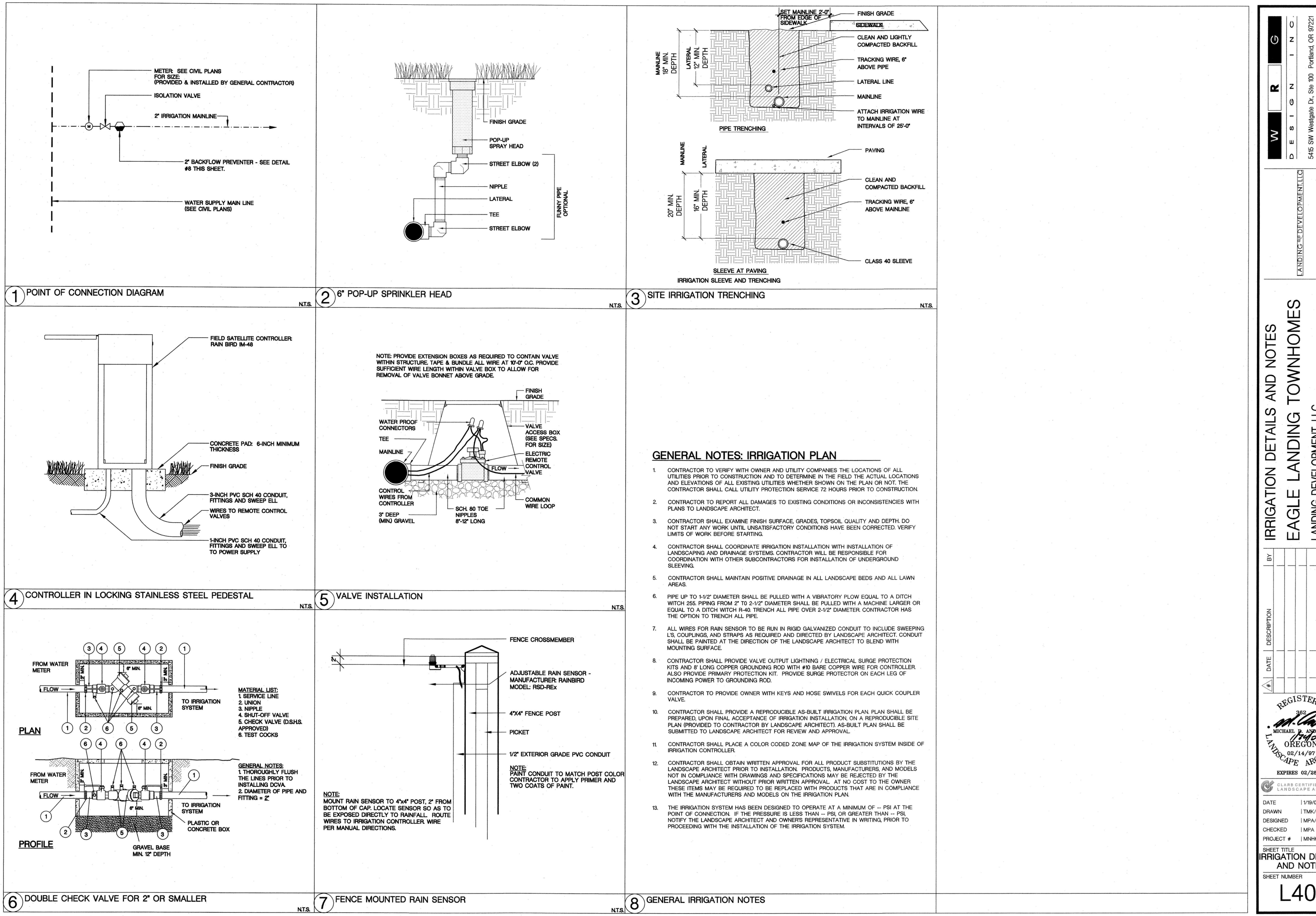
**PLANTING DETAILS AND NOTES  
EAGLE LANDING TOWNHOMES  
LANDING DEVELOPMENT, LLC  
HAPPY VALLEY, OREGON**

REGISTERED  
362  
MICHAEL P. ANDREWS  
17407  
02/14/97  
OREGON  
LANDSCAPE ARCHITECT  
EXPIRES 02/28/07

	CLARB CERTIFIED LANDSCAPE ARCHITECT
DATE	1/19/07
DRAWN	TMK/PEG
DESIGNED	MPA/JLP
CHECKED	MPA

PROJECT #	MNH6732
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SHEET TITLE	
<b>PLANTING DETAILS AND NOTES</b>	
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SHEET NUMBER	

SHEET NUMBER  
400



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**LANDING DEVELOPMENT,LLC**

5415 SW Westgate Dr, Ste 100   Portland, OR 97221  
Tel. 503.419.2500   Fax. 503.419.2600

PLANNERS ■ ENGINEERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS

# EAGLE LANDING TOWNHOMES IRRIGATION DETAILS AND NOTES

**LULL LANDING  
LANDING DEVELOPMENT, LLC  
HAPPY VALLEY, OREGON**

REGISTERED  
362  
MICHAEL P. ANDREWS  
19907  
OREGON  
02/14/97  
LANDSCAPE ARCHITECT  
EXPIRES 02/28/07

 CLARB CERTIFIED  
LANDSCAPE ARCHITECT

PROJECT # | MNH6732  
HEET TITLE  
RIGATION DETAILS

## **AND NOTES**

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FILE NUMBER

L401

Page 1