BUILDING INFORMATION

PROJECT ADDRESS: 4617 SE MILWAUKIE AVENUE PORTLAND, OREGON 97211

MULTNOMAH CO. TAX ACCT. NUMBER: R328460

STATE TAX ID NUMBER: 151E14BA 400

ZONING DESIGNATIONS: CG - GENERAL COMMERCIAL

BUILDING CODE SUMMARY

INFORMATION SHOWN ON THIS DRAWING IS BASED ON THE OSSC 2010 EDITION. ANY INFORMATION NOT PROVIDED OR CLEARLY IDENTIFIED SHALL MEET OR EXCEED CURRENT CODE.

PROPOSED OCCUPANCY - S. BLDG: I-4 DAY CARE FACILITY PROPOSED OCCUPANCY - N. BLDG: B DOG DAY CARE

CONSTRUCTION TYPE: IIIB (SOUTH AND NORTH BLDGS) SOUTH BUILDING SPRINKLERED - NORTH BUILDING NON-SPRINKLERED (BUILDINGS SEPARATED BY 4 HR FIRE WALL)

BUILDING SIZE:

SOUTH BUILDING GROUND FLOOR = 9,600 SF SOUTH BUILDING SECOND FLOOR = 1,950 SF

NORTH BUILDING GROUND FLOOR = 6,030 SF

BUILDING HEIGHT:

SOUTH BUILDING - 2 STORIES - 25'+/- TALL NORTH BUILDING - 1 STORY - 20'+/- TALL

PERMITS: PERMITS REQUIRED FROM THE CITY OF PORTLAND:

A. BUILDING B. ELECTRICAL C. MECHANICAL

PERMITS REQUIRED FROM PORTLAND FIRE MARSHALL OFFICE: D. FIRE ALARM

E. SPRINKLER

OCCUPANCY - PER CHPT. 3 AND TABLE 1004.1.1

1005F/OCC

20 OCC.

EXISTING OCCUPANT LOAD SINCE 2004

SOUTH BUILDING <u>use</u> SF OF ROOM LOAD FACTOR OCCUPANTS GROUND FLOOR: 9,600 SF GROSS 309F/0CC MERCANTILE 7,650 SF) 255 OCC.

1,950 SF

NORTH BUILDING

OFFICE

KITCHEN

MERCANTILE 800 SF

GROUND FLOOR: 6,000 SF 6,000 SF 5005F/OCC 12 OCC. WAREHOUSE

PROPOSED OCCUPANT LOAD PER THIS PERMIT

SOUTH BUILDING OCCUPANT TOTAL
LOAD FACTOR OCCUPANTS SF OF ROOM GROUND FLOOR: 9,600 SF GROSS DAY CARE 3,955 SF SF NET 356F/OCC 113 OCC. (INFANT) (1,4Ø5 SF) (TODDLER) (1,050 SF) (PRESCHL) (1,500 SF) 356F/OCC *COMMON AREAS 2,580 SF NET 74 OCC. EXCERCISE RM. 505 SF NET 50SF/0CC 10 OCC STORAGE RM. 420 SF NET 1005F/OCC 5 OCC. KITCHEN 360 SF NET 2005F/OCC 2 OCC. * 204 OCCUPANTS SECOND FLOOR: 530 SF NET OFFICE 240 SF NET 1005F/OCC 6 OCC. *LOCKER 210 SF NET 50SF/GROSS 7 OCC.

15 OCCUPANTS NORTH BUILDING OCCUPANT TOTAL
LOAD FACTOR OCCUPANTS DOG AREAS 4,800 SF 1005F/OCC 48 OCC.

60SF/OCC

2005F/GROSS 2 OCC.

14 OCC.

*COMMON AREAS AND LOCKER ROOMS ARE AREAS THAT ARE OCCUPIED BY OCCUPANTS ALREADY INCLUDED IN EITHER THE DAY CARE OCC. LOAD OR OFFICE OCC. LOAD

MIXED USE AND OCCUPANCY - TYPE III-B CONSTRUCTION BASE ALLOWABLE - 1-4 OCCUPANCY = 13,000 SF - 2 STORIES BASE ALLOWABLE - B OCCUPANCY - 19,000 SF - 4 STORIES 1-4 OCCUPANCY IN SOUTH BLDG = OF 5,500 SF

B OCCUPANCY IN NORTH BLDG = NON-SEPARATED USES ARE ALLOWABLE IN EACH BUILDING.

AUTOMATIC SPRINKLER SYSTEM

REQUIRED IN DAY CARE FACILITIES WITH OVER 100 CHILDREN PER PER OSSC 903.2.6 - GROUP I-4 OCCUPANCIES

NO SPRINKLER SYSTEM PROPOSED IN NORTH BUILDING SEPARATED FROM SOUTH BUILDING BY A FOUR HOUR AREA SEPARATION WALL

FIRE ALARM SYSTEM

A MANUAL AND AUTOMATIC FIRE ALARM SYSTEM SHALL BE INSTALLED IN THE 1-4 BUILDING AS REQUIRED BY THE FIRE MARSHALL'S OFFICE.

OCCUPANT

NO FIRE ALARM SYSTEMS PROPOSED IN NORHT BUILDING SEPARATED FROM SOUTH BUILDING BY A FOUR HOUR AREA SEPARATION WALL

PLUMBING FIXUTRE CALCULATIONS PER CHAPTER 29

SOUTH BUILDING

<u> </u>	<u></u>	OCCUPANT	<u> </u>		
<u>use</u>	SF OF ROOM	LOAD FACTOR	OCCUPANTS		
GROUND FLOOR:					
DAY CARE	3,955 SF SF NET	508F/0CC	80 OCC.		
MISC AREAS	1,285 SF	2005F/OCC	7 OCC.		
SECOND FLOOR:					
OFFICE, MISC.	1,950 SF GROSS	2005F/OCC	10 OCC.		
TOTAL			97 OCC5		

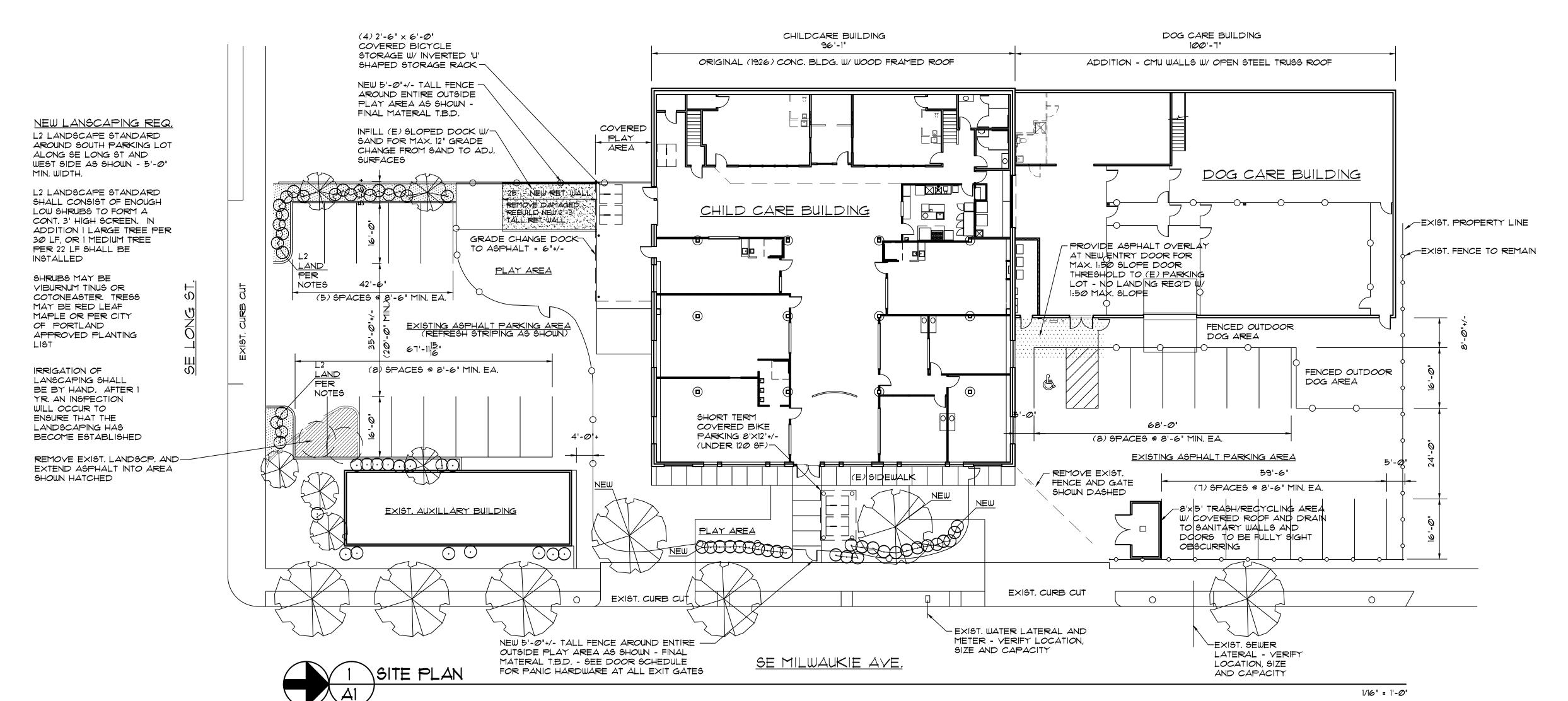
PER TABLE 29-A (3) MEN'S AND (3) WOMEN'S W.C. AND LAVS REQUIRED (2) MEN'S AND (2) WOMEN'S W.C./LAYS PROVIDED WITH (5) UNISEX W.C. AND LAYS FOR CHILDCARE AREAS

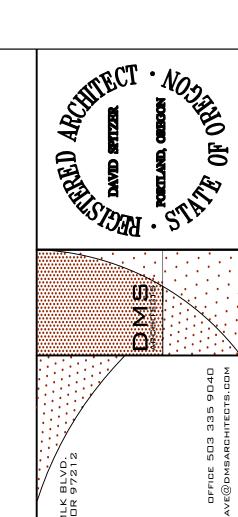
NORTH BUILDING

OCCUPANT TOTAL
LOAD FACTOR OCCUPANTS SF OF ROOM DOG AREAS 4,800 SF *20005F/OCC 3 OCC. MERCANTILE 800 SF 2005F/OCC 4 OCC.

*OCC. LOAD OF DOG AREAS CALCULATED SIM. TO FACTORY AREAS AS MAIN OCCUPANTS WILL BE CANINE.

(1) W.C. AND (1) LAY. REQUIRED AND PROVIDED





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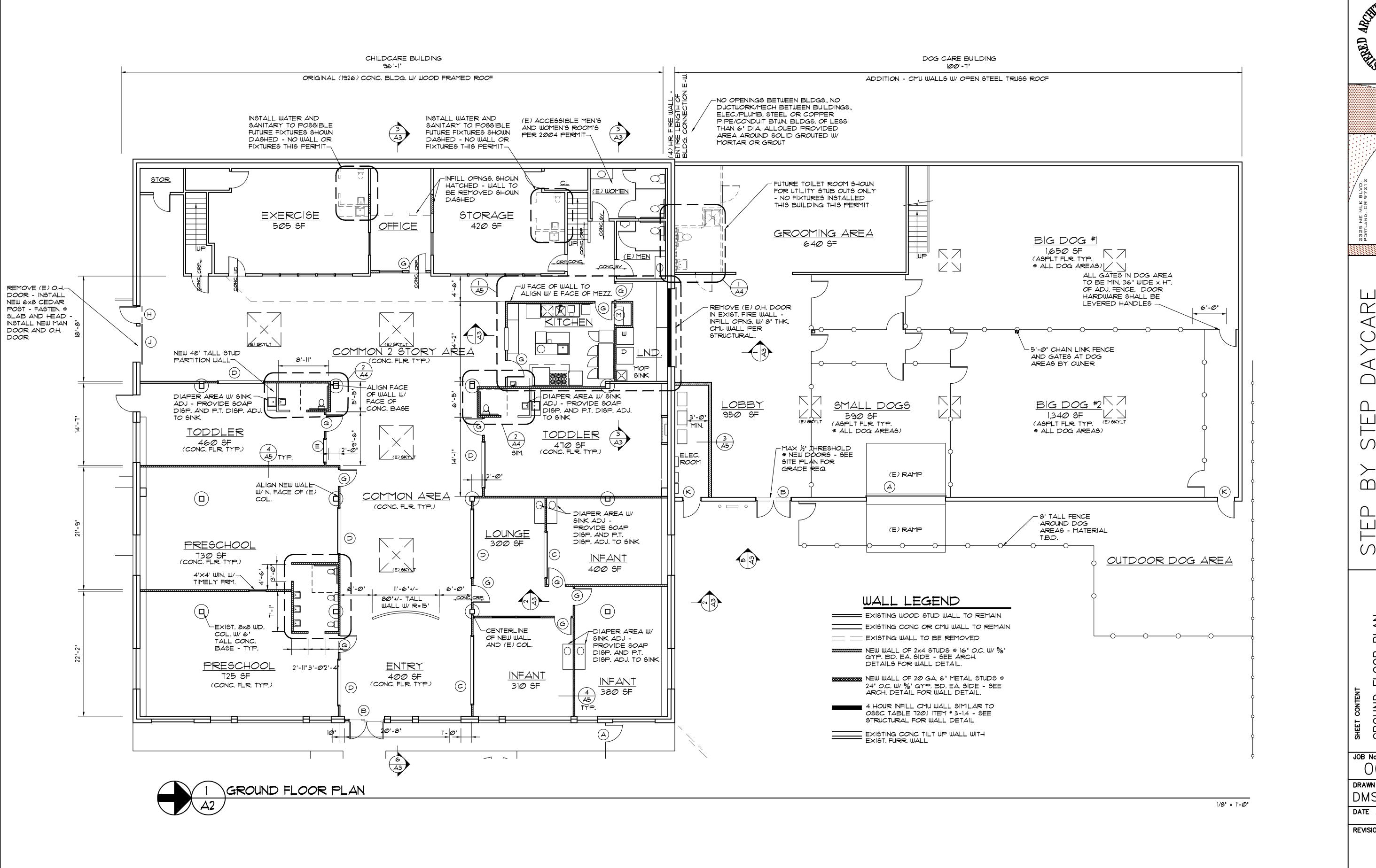
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DATE 11-18-13

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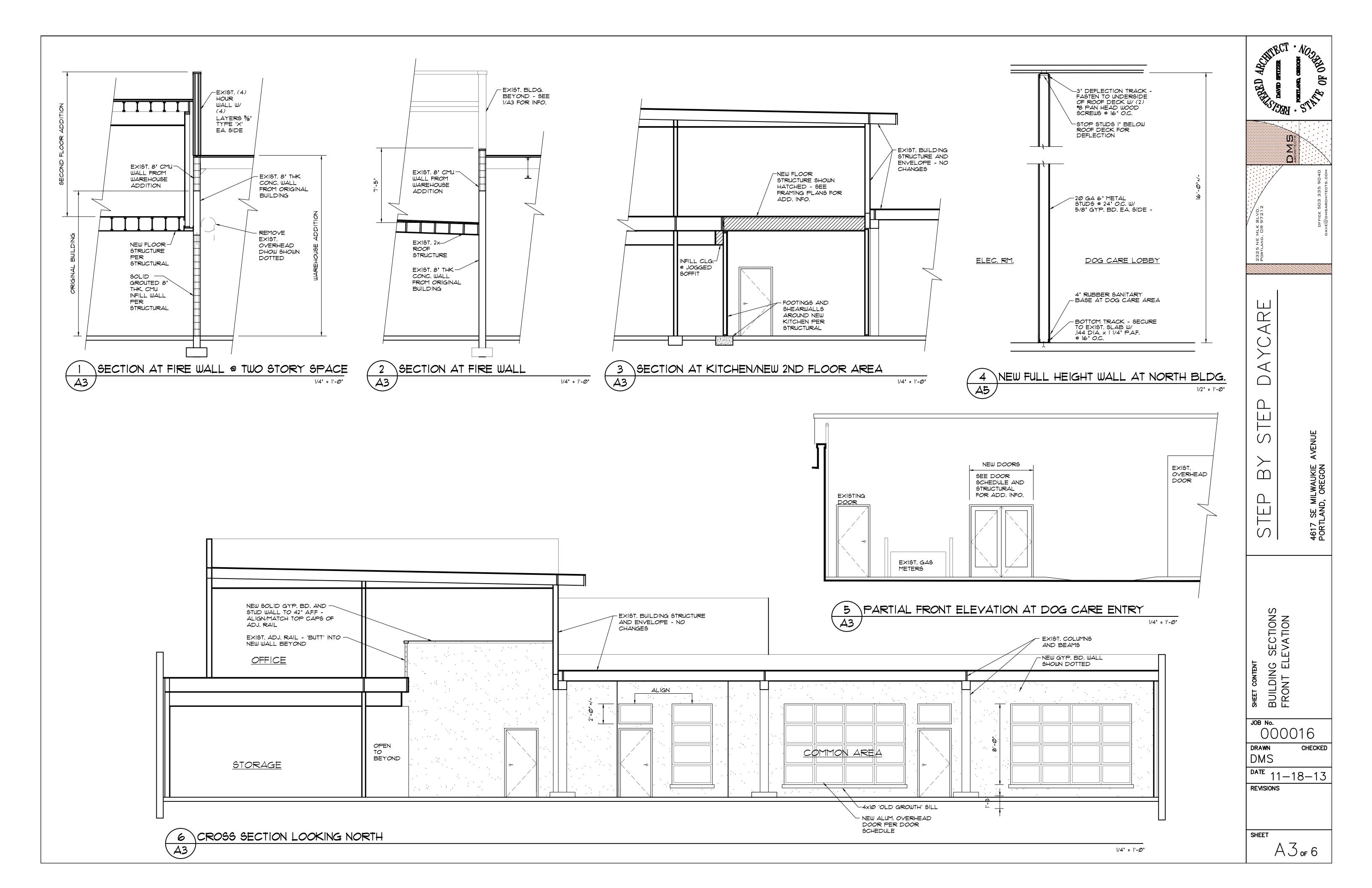
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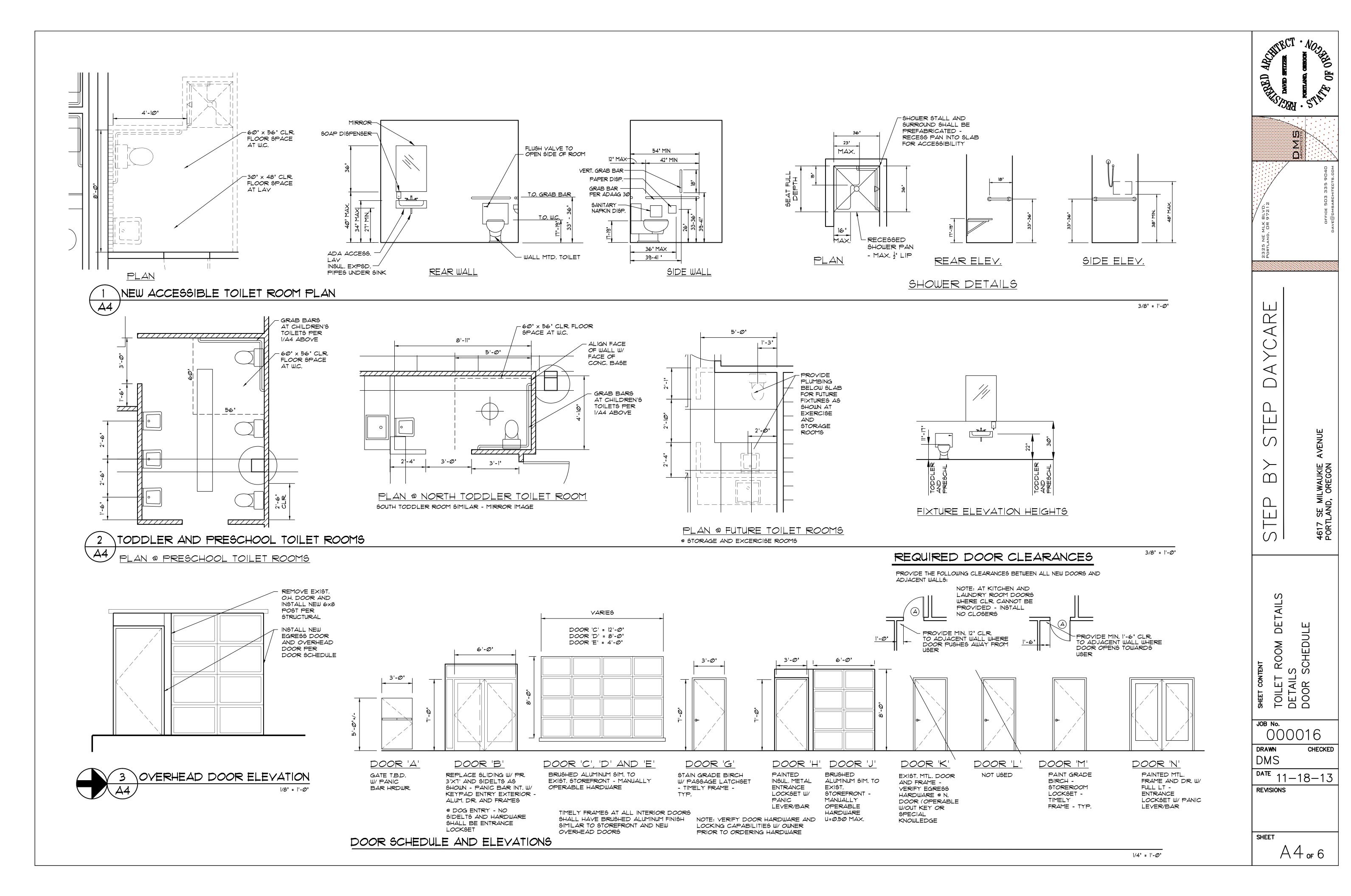
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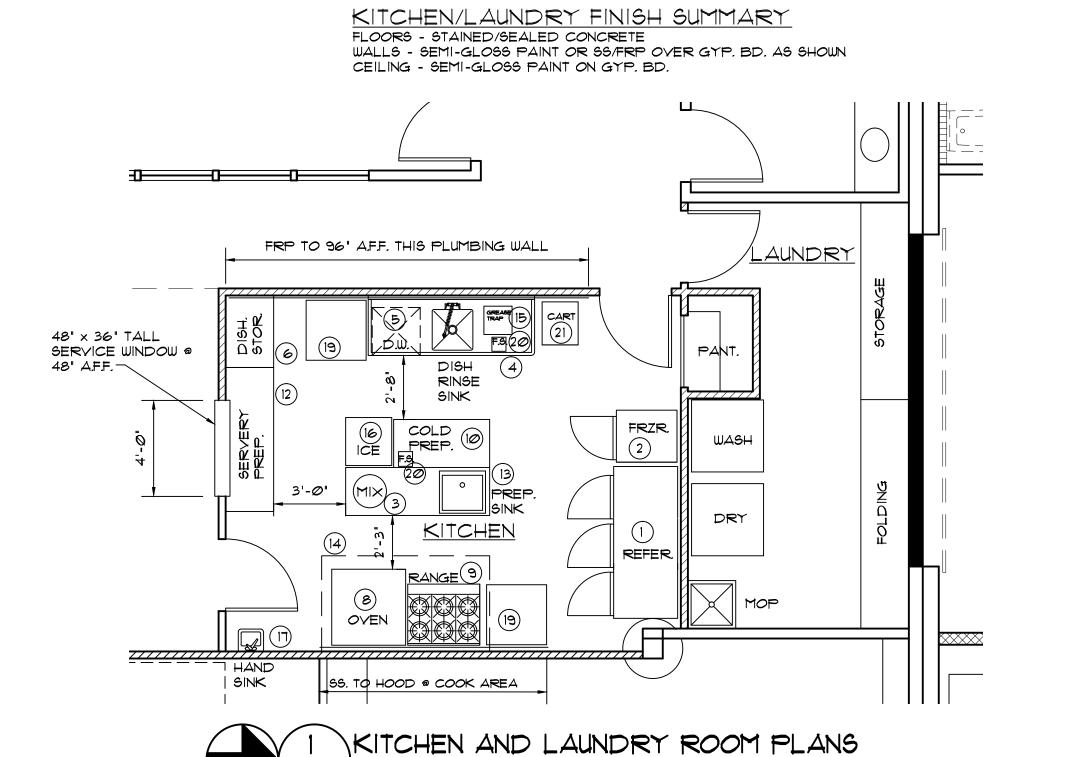
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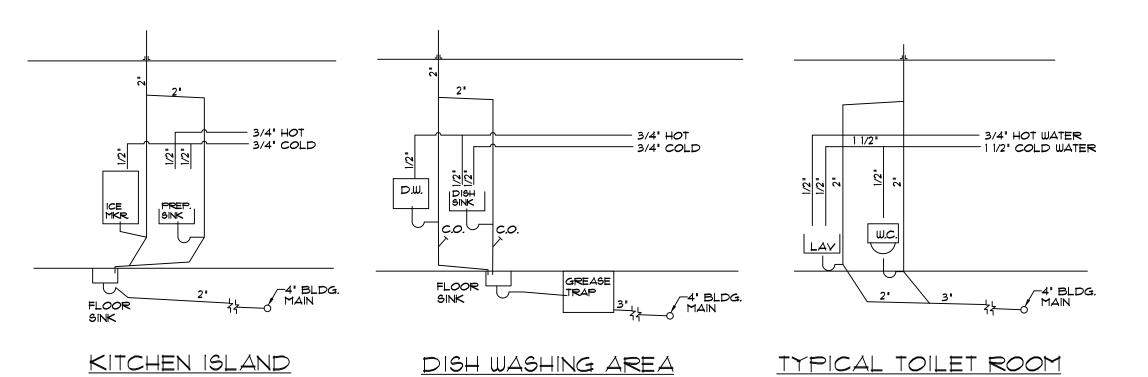
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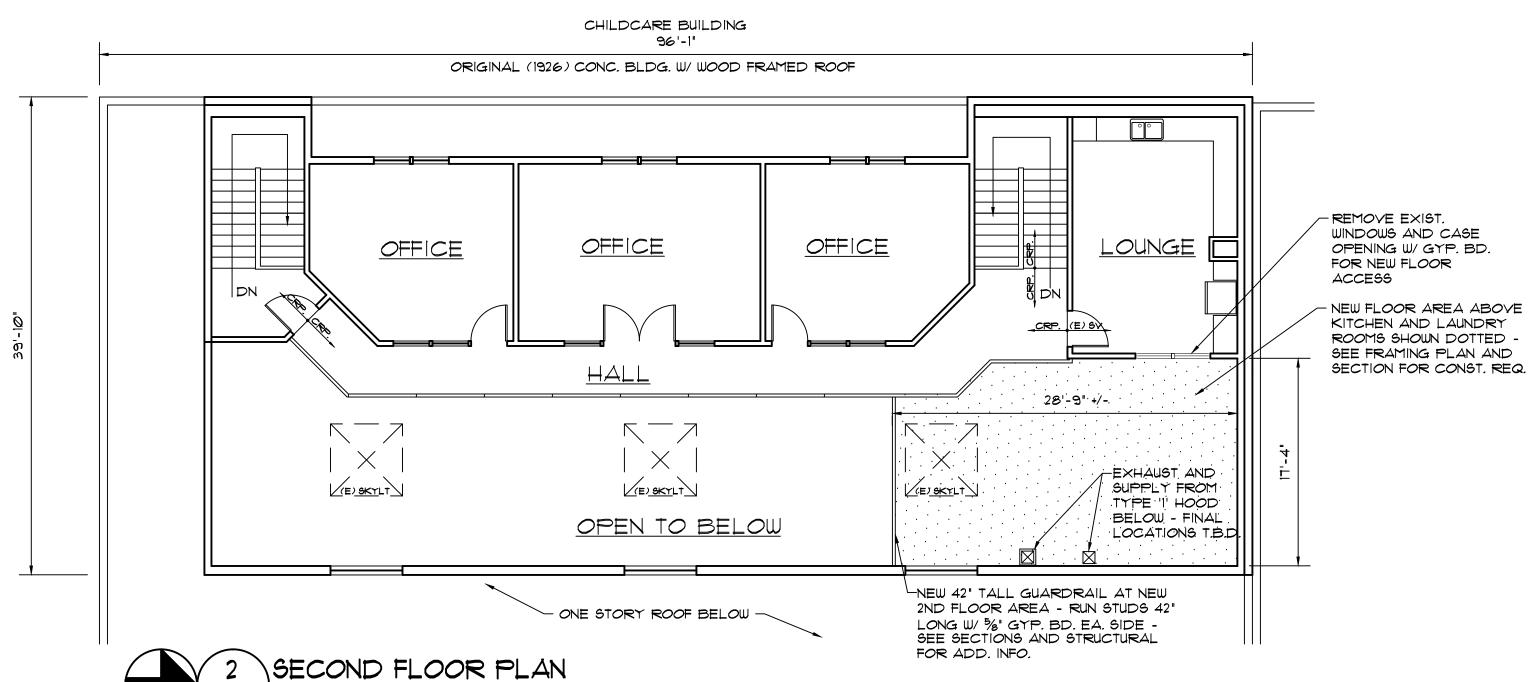


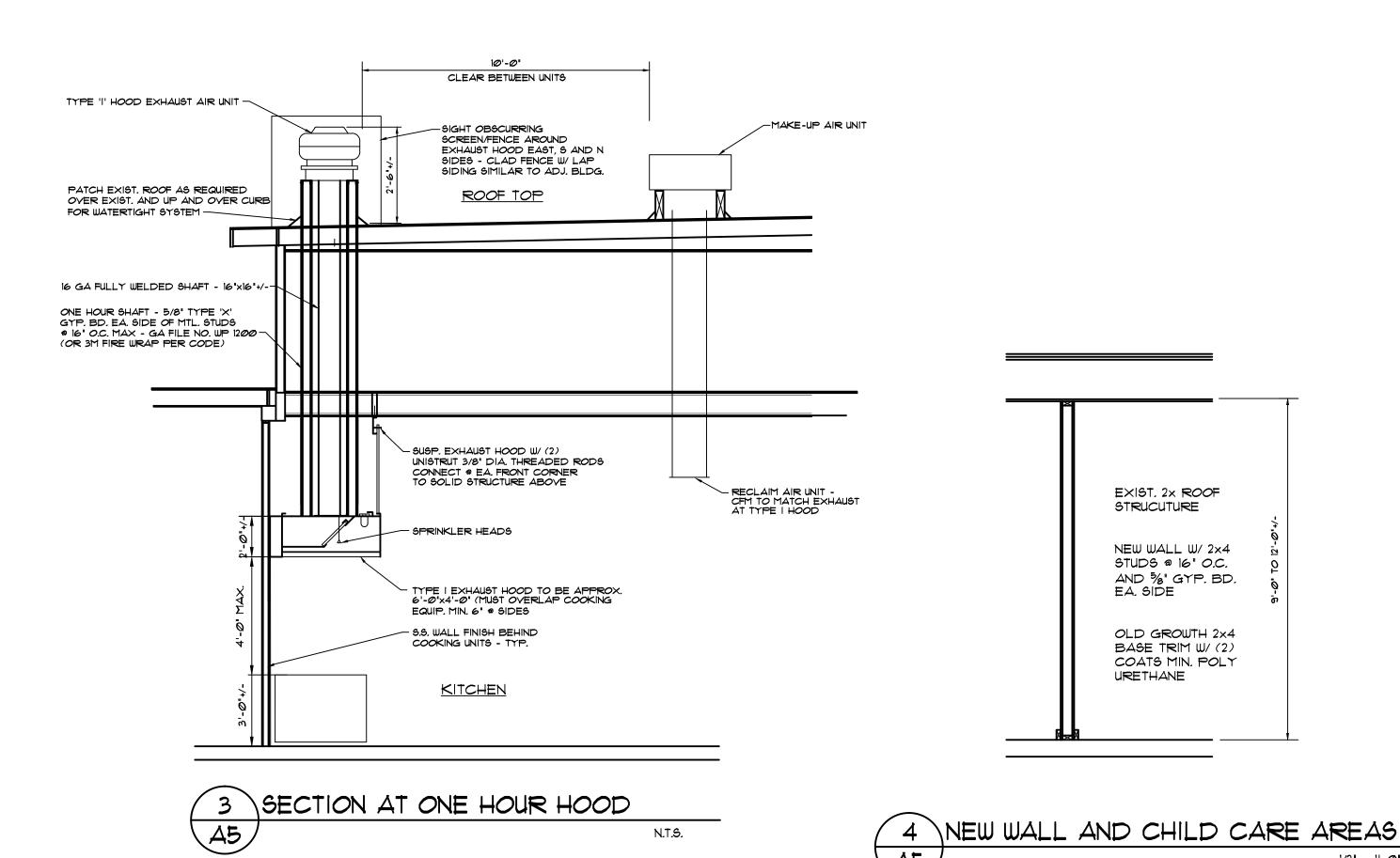


IXTURES & EQ	UIPMENT SCH	IEDULE						
# EQUIPMENT		MFR		IMENSION	IS	PLUMB	POWER	NOTES
EQUIPIVIENT		IVIFK	WIDTH	DEPTH	HEIGHT	PLUIVID	POWER	NOTES
1 Refrigerator		Beverage Air BEVKR741AS	75"	32"	78"	-	115/60hz/1ph	72 c.f.
2 Freezer		Beverage Air KF24-1AS	26"	36"	79"	-	115/60hz/1ph	20 c.f.
3 Mixer and Sta	nd	Globe GLOSP8	11.8"	15.8"	22.9"	-	115v/60hz/1ph/5amp	countertop model
		John Boos 1B244-2D24				1/2" NPT inlets,		Stainless single compartment 24" x 24'
Dishwash Cou	ınter & Rinse	w/Krowne Metal Faucet 17-				female/riser pipe		dp sink with 2 24" drainboards ea side.
4 Sink		108WL	75"	29.5"	35.25"	3/8" NPT		Backsplash mtd faucet.
						1/2" inlet; 1-1/2"		Under-counter, built in chem feed; 30
5 Dishwasher		American Dish Service ADSETAF3	38"	25"	29"	outlet	115v/60/1ph/6amps	racks per hr
								Stl reinf Poly - 4 shelf w/ add'l shelves
6 Dish Storage I	Rack	Cambro CSU44367	36"	18"	84"			avail.
7 Soup Kettle		Globe CPSKB1	14"	16"	14"		400w/120v/3.5 amp	10 qt; countertop model
		Bakers Pride Cyclone BCO-G1 or						
8 Double Oven		BGO-G2	38"	38"	42"/73"		120v/60hz	Single or double oven; 60,000 btuh/hr
9 Range		Hobart MGR36C	36"	31"	31"	-	115v/60hz	30,000btuh gas; 3/4" connection
10 Cold Prep Cou	ınter	John Boos JNS02	48"	24"	35"			1-1/2" Maple block top
11 Hot Prep Stat	ion		48"	30"	35"			Stainless Steel with lower shelf
12 Servery Prep S	Station	John Boos JOBFBLG7224	72"	24"	35"			Stainless Steel with lower shelf
								Left side counter/Stainless top/back
								splash will float above back counter &
13 Cold Prep Cou	ınter & Sink	John Boos 671-741	72"	30"	35.5"			ice
Stove Hood w	ith Fire							
14 Suppression S	ystem	specification by installer	84"	42"				Type 1 hood - UL Listed assembly
15 Grease Trap	-	spec by plumber	_	-	_			anticipate at least 50 gallon
16 Ice Maker		Ice-o-matic ICEU 150HA	24"	24"	39"	3/8" water inlet		175 gal ice/day w/ 100 gal storage
17 Hand Sink		Krowne KROHS2	17"	16"	14"			Stainless Steel wall mounted
18 Mop Sink		Turbo-air TSA-1MOP	21"	21.5"	44"			High sink - can be used as mud sink
19 Work Tables (2)	Advance Tabco TTS 300X	30"	30"	35.5"			Stainless Steel Worktop
Floor Sinks (2)		spec by plumber	12"	12"	6" - 8"			
21 Serving Carts		Carlisle CAR CC203603	18"	21.25"	36.25"			need a minimum of 2



PLUMBING RISER DIAGRAMS



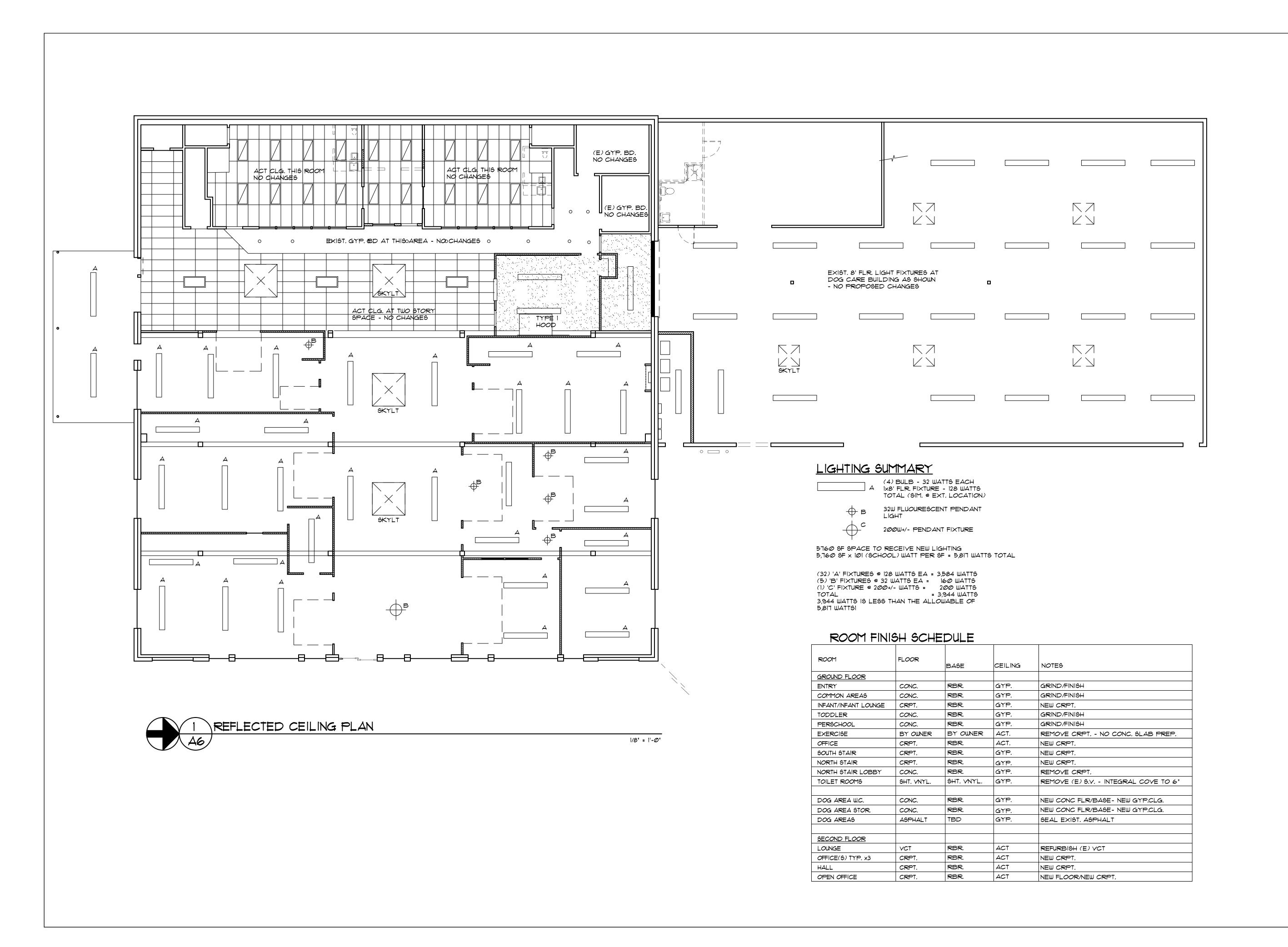




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1/8" = 1'-0"



STEP DAYCARE

PORTLAND, DR 97212

CANTARD ARGUE

DAYCARE

DAYCARE

CANTARD OF ORIGINAL DIAGONS ARGUITECTS, DOWN

CANTARD OF ORIGINAL DIAGONS ARGUITECTS, DOWN

DANCE DAN

STEP BY STEP D

SHEET CONTENT
REFLECTED CEILING PLAN
SECOND FLOOR PLAN

JOB No.

OOOO16

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DMS DATE 4.4

DATE 11-18-13 REVISIONS

SHEET A 6 OF 6

GENERAL り TRUC TURAL NOTE

(1)

THESE NOTES SHALL STIPULATE THE MINIMUM STANDARDS OF CONSTRUCTION, AND THE DRAWINGS SHALL GOVERN OVER THE NOTES IN ALL MATTERS SPECIFICALLY STATED. VERIFY DIMENSIONS AND EXISTING CONDITIONS, AND NOTIFY ARCHITECT OR ENGINEER OF DISCREPANCIES BEFORE PROCEEDING. THE CONTRACTOR IS RESPONSIBLE FOR SAFE CONDITIONS AT THE JOBSITE, AND FOR TEMPORARY SUPPORT OF THE BUILDING PRIOR TO THE COMPLETION OF THE VERTICAL AND LATERAL LOAD SYSTEMS. ALL WORK SHALL CONFORM TO THE 2010 EDITION OF THE OREGON STRUCTURAL SPECIALTY CODE (OSSC).

DESIGN LOADS:

LOOR LIVE LOAD = 100 PSF

LOOR LIVE LOAD = 100 PSF

CORRIDORS, STAIRS & EXITS LIVE LOAD = 100 PSF

CORRIDORS, STAIRS & EXITS LIVE LOAD = 100 PSF

CORRIDORS, STAIRS & EXITS LIVE LOAD = 100 PSF

COTING DESIGN SOIL PRESSURE = 1500 PSF TOTAL LOAD MAXIMUM

BASIC WIND SPEED = 94.5 MPH 3-SECOND GUST AND EXPOSURE B

WIND IMPORTANCE FACTOR, Iw = 1.15

SEISMIC DESIGN CATEGORY D AND SITE CLASS D

SEISMIC IMPORTANCE FACTOR, Ie = 1.00

OCCUPANCY CATEGORY II

MAPPED SPECTRAL RESPONSE ACCELERATIONS So = 0.992 AND SI=
SPECTRAL RESPONSE COEFFICIENTS SDS= 0.130 AND SDI= 0.389

BSE-1: Sxo = 0.644 AND SXI = 0.333

BSE-2: Sxo = 1.094 AND SXI = 0.333

BSE-2: Sxo = 1.094 AND SXI = 0.584

BASIC SEISMIC FORCE RESISTING SYSTEMS:

WOOD ROOF AND MEZZANINE FLOOR DIAPHRAGMS

REINFORCED CONCRETE MASONRY BLOCK WALLS

WOOD STUD WALLS SHEATHED WITH PLYWOOD

UNREINFORCED CONCRETE WALLS

STRUCTURAL STEEL: CONTRACTOR SHALL PREVENT OVERLOADING THE EXISTING ROOF SYSTEM BY EVENLY DISTRIBUTING NEW AND REMOVED MATERIALS. AVOID EXCESSIVE PILING OR STACKING OF MATERIALS BY OFF-LOADING FROM ONE ROOF LEVEL TO ANOTHER. WHERE MATERIALS MUST BE STACKED, CHOOSE AREAS OVER BEARING WALLS TO AVOID OVERLOADING FRAMING MEMBERS.

GALVANIZED STEEL:

ALL STEEL MEMBERS NOTED AS GALVANIZED, OR WHERE EXPOSED (LOCATED OUTSIDE OF BUILDING SKIN) SHALL BE SHOP GALVANIZED AFTER FABRICATION WITH 2.0 MIL ZINC COATING IN ACCORDANCE WITH ASTM A386. TRUCTURAL BEAMS AND PLATES SHALL CONFORM TO ASTM A36. STEEL TUBES HALL CONFORM TO ASTM A500 GRADE B (46 KSI). BOLTS SHALL CONFORM TO STM A301 AND SHALL HAVE STANDARD CUT WASHERS WHERE BEARING ON WOOD NCLUDING FOUNDATION ANCHOR BOLTS). DETAIL AND FABRICATE ALL STEEL EMBERS ACCORDING TO AISC STANDARDS. ALL WELDING SHALL CONFORM TO AWSTANDARDS. PROVIDE ONE SHOP COAT OF PRIMER ON ALL STEEL MEMBERS AFTER ABRICATION.

LUMBER GRADES SHALL BE AS FOLLOWS, EXCEPT AS NOTED ON DRAWINGS:

2x FRAMING & BLOCKING

4x FRAMING & BLOCKING

4x FRAMING & BLOCKING

PLATES & SILLS ON CONCRETE

PR. TR. DOUGLAS FIR

PR. TR. DOUGLAS FIR ALL CONNECTORS IN CONTACT WITH PRESERVATIVE TREATED WOOD MUST BE CORROSION PROTECTED. SHEATHING SHALL BE APA RATED SHEATHING EXPOSURE I OR CDX. SEE DRAWINGS FOR PANEL INDEX, INSTALLATION, AND NAILING REQUIREMENTS NAILING INDICATED ON DRAWINGS TO BE WITH COMMON NAILS.

FASTENERS AND HANGERS NOTED ON THE DRAWINGS ARE MODEL NUMBERS OF "SIMPSON STRONG-TIE COMPANY, INC." AND MAY BE REPLACED WITH EQUIVALENT MODELS BY OTHER COMPANIES HAVING EQUIVALENT PROPERTIES AND STRENGTHS. INSTALL ALL CONNECTORS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS WITH NAILING IN ALL AVAILABLE HOLES. SIMPSON OR EQUIVALENT STEEL FASTENERS ATTACHED TO ACQ-TREATED WOOD SHALL HAVE GALVANIZING CONFORMING TO ASTM G185

SHALL HAVE GALVANIZING CONFORMING TO ASTM G185

- SIMPSON PRODUCTS WITH THIS GALVANIZING ARE NOTED AS "ZMAX".

EXISTING WOOD FRAMING MAY BE VERY DRY, HARD, AND EASY TO SPLIT. CONTRACTOR SHALL TAKE CARE NOT TO SPLIT THE EXISTING FRAMING WHEN ADDING FASTENERS AND CONNECTORS. PREDRILLING HOLES MAY BE REQUIRED.

GROUTING FOR HOLLOW CONCRETE MASONRY:
GROUT MATERIAL SHALL CONFORM TO ASTM C476, AND GROUT SHALL BE HIGHLY
FLUID 2000 PSI MINIMUM COMPRESSIVE STRENGTH CONCRETE USING 3/8 INCH MINUS
AGGREGATE.

DRILLED ANCHOR BOLTS AND DOWELS:
ADHESIVE ANCHORS IN GROUTED MARON TO SHALL CONTENTS HESIVE ANCHORS IN GROUTED MASONRY: THREADED ROD PORTION OF ANCHOR ALL CONFORM TO ASTM A301 OR GREATER CAPACITY. INSTALL IN ACCORDANCE WITH NUFACTURER'S RECOMMENDATIONS. MINIMUM DEPTH OF EMBEDMENT SHALL CONFORM MANUFACTURER'S REQUIREMENTS BUT SHALL NOT BE LESS THAN 8 BOLT DIAMETERS HOUT PRIOR APPROVAL. SEE DRAWINGS FOR DEEPER EMBEDMENT IF REQUIRED. CHORS SHALL BE INSTALLED ONLY IN FULLY GROUTED HOLLOW MASONRY CELLS. SERVE MINIMUM EDGE REQUIREMENTS OF ANCHOR FROM EDGE OF GROUTED ELEMENTS. PROVED PRODUCTS INCLUDE:

HILTI HIT HY-150 MAX ADHESIVE SYSTEM (ICC-ESR-1961)
SIMPSON SET ADHESIVE ANCHOR SYSTEM (ICC-ESR-1712)

ADHESIVE ANCHORS IN CONCRETE: THREADED ROD PORTION OF ANCHOR SHALL CONFORM TO ASTM A307 OR GREATER CAPACITY, INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. MINIMUM DEPTH OF EMBEDMENT SHALL CONFORM TO MANUFACTURERS REQUIREMENTS BUT SHALL NOT BE LESS THAN 8 BOLT DIAMETERS WITHOUT PRIOR APPROVAL. SEE DRAWINGS FOR DEEPER EMBEDMENT IF REQUIRED. APPROVED PRODUCTS INCLUDE:

HILTI HIT-RE 500 SD ADHESIVE SYSTEM (ICC-ES EVALUATION REPORT ESR-2322) SIMPSON SET-XP ADHESIVE ANCHOR (ICC-ES EVALUATION REPORT ESR-2508)

CONCRETE:
THE ACI STANDARD SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS ACI-301 SHALL BE FOLLOWED FOR ALL ITEMS NOT SPECIFICALLY COVERED ON THE DRAWINGS AND SPECIFICATIONS.

CONCRETE HANDLING, PLACEMENT AND CURING SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS OF ACI-301 IF NOT OTHERWISE NOTED. PROVIDE CONTROL JOINTS FOR CONCRETE SLABS ON GRADE IN ACCORDANCE WITH DETAILS AND SPACING SHOWN ON DRAWINGS. WHERE SPACING INFORMATION IS LACKING, SPACE JOINTS AT A MAXIMUM OF 20 FEET IN EACH DIRECTION.

CONCRETE MIX REQUIREMENTS:

MIX CONCRETE IN ACCORDANCE WITH ASTM C94.

FOR CONCRETE EXPOSED TO FREEZE-THAW CYCLING, ADD AIR ENTRAINING AGENT TO MIX TO PRODUCE 5 PERCENT AIR ENTRAINMENT, WITH TOLERANCE OF PLUS/MINUS I PERCENT AT DELIVERY. DELIVERY TICKETS OF CONCRETE DELIVERED SHALL INCLUDE DOCUMENTATION OF ALL WATER IN THE BATCHING MIX, AND ALL WATER ADDED AT THE JOBSITE.

0.992 AND 51= 5D1= 0.389

FLY ASH CONFORMING TO ASTM C618 MAY PERCENT OF THE REQUIRED CEMENT CONT Y BE USED TO REPLACE UP TO 20 TENT.

FOOTINGS, STEM WALLS, AND OTHER CONCRETE:

MAXIMUM SLUMP OF 4 INCHES AT POINT OF PLACEMENT. IF A WATER REDUCING

ADMIXTURE CONFORMING TO ASTM C494 TYPE A IS USED, SLUMP PLACEMENT SHALL

FALL WITHIN THE RANGES NOTED IN THE TABLE BELOW. ADMIXTURE SHALL NOT

CONTAIN CALCIUM CHLORIDE AND SHALL BE CONSIDERED AS PART OF THE TOTAL

MIXING WATER.

SLAB ON GRADE:
CONCRETE MIXTURE SHALL INCLUDE A MID-RANGE WATER REDUCING ADMIXTURE
CONFORMING TO ASTM C494 TYPE A WHICH SHALL BE USED TO ADJUST THE SLUMP AT
PLACEMENT TO A RANGE OF 4 TO 6 INCHES WHILE MAINTAINING WATER TO CEMENT
RATIOS NOTED IN THE TABLE BELOW. ADMIXTURE SHALL NOT CONTAIN CALCIUM
CHLORIDE AND SHALL BE CONSIDERED AS PART OF THE TOTAL MIXING WATER.

CONCRETE	COMPRESSIVE STRENGTH (28 DAYS)	MINIMUM CEMENT CONTENT	WATER TO CEMENT RATIO	MAXIMUM SLUMP USING WATER REDUCER
FOOTINGS, STEM WALLS, AND OTHER CONCRETE	3000 PSI	470 LB\$/C.Y.	0.55 W/O AIR 0.50 W/ AIR	4 TO 6 INCHES
SLAB ON GRADE	3500 PSI	520 LB9/C.Y.	0.45 W/O AIR 0.40 W/ AIR	4 TO 6 INCHES

MINIMUM CONCRETE COVER SHALL BE PRO CONCRETE REINFORCING STEEL:
REBAR SHALL CONFORM TO ASTM A615
PER ACI STANDARDS, AND MAINTAIN SP CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED ₹ 2, 2, 24, NADE 60. PLACE AND SECURE ALL BARS VIDED FOR REINFORCEMENT AS FOLLOWS: TO EARTH

CONCRETE EXPOSED TO EARTH OR WEATHER NO. 6 THROUGH NO. 18 BAR NO. 5 BAR, W31 OR D31 WIRE, AND SMALLER 2" 1 1/2"

CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH SLABS, WALLS, JOIST:
NO. 11 BAR AND SMALLER
BEAMS, COLUMNS:
PRIMARY REINFORCEMENT, TIES, STIRRUPS, SPIRALS

	AP SPI	LICE SO	LAP SPLICE SCHEDULE	m
FY = 60 KSI)OE	3000 PSI	4000 PS	PSI
SIZE	CASE I	CASE 2	CASE 1	CASE 2

5 72

ф

9

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9p LOI

62 db

: CASES I AND 2 ARE DEFINED AS FI BEAMS OR COLUMNS: CASE I: C (db= BAR DIAMETER)

OTHER CASE I: COVER COVER $> d_b$ AND O/C CLEAR SPACING $\geq 2d_b$ COVER $< d_b$ O/C CLEAR SPACING $< 2d_b$

COVER > db \underline{AND} O/C CLEAR SPACING ≥ 3 db COVER < db \underline{OR} O/C CLEAR SPACING < 3 db

LENGTH ABOYE BY 1.3. TOP BARS ARE HORIZONTAL CONCRETE CAST BELOW THE BARS. CASE 2:

LATERAL

UPGRADE

NARRATIVE

D

RAWING

INDEX

PER CITY OF PORTLAND TITLE 24, THE CHANGE OF BUILDING USE REQUIRES A LATERAL UPGRADE OF THE ENTIRE FACILITY, TO MEET CURRENT CODE. SINCE THE EXTERIOR WALLS THE SOUTHERN PORTION OF THE BUILDING ARE UNREINFORCED CONCRETE, THE LATERAL UPGRADES ARE DESIGNED USING THE "BASIC SAFETY OBJECTIVE" OUTLINED IN REFERENCE STANDARD ASCE 41-06, LIFE SAFETY LEVEL FOR THE BSE-1 EARTHQUAKE AND COLLAPSE PREVENTION FOR THE BSE-2 EARTHQUAKE.

HE ORIGINAL BUILDING CONSISTS OF ONE-STORY BUILDING WITH A WOOD ROOF AND NREINFORCED CONCRETE WALLS, PROBABLY CONSTRUCTED IN THE 1920S. IN 1986, A SLIGHTLY ALLER ONE-STORY ADDITION WAS CONSTRUCTED ALONG THE NORTH SIDE OF THE ORIGINAL WILDING. THIS ADDITION WAS BUILT WITH WOOD ROOF AND REINFORCED CONCRETE MASONRY IN 2004, A MEZZANINE WAS ADDED TO THE WEST SIDE OF THE ORIGINAL BUILDING. AS ART OF THAT PROJECT, A SEISMIC UPGRADE WAS DESIGNED PER THE 1991 UBC FOR THE PRIGINAL BUILDING PORTION. UPGRADES INCLUDED STRENGTHENING THE EXISTING ROOF MAPHRAGM, ADDING OUT-OF-PLANE CONNECTIONS BETWEEN ROOF DIAPHRAGM AND (E) CONCRETE WALLS, STRENGTHENING IN-PLANE SHEAR CONNECTIONS BETWEEN THE ROOF MAPHRAGM AND WALLS, ADDING SOME INTERIOR PLYWOOD SHEATHED SHEARWALLS. NO ATERNAL UPGRADES WERE DONE TO THE 1986 BUILDING AREA.

63.2

DETAILS

<u>63.3</u>

DETAILS

<u>83.1</u>

DETAILS

52.1

FOUNDATION PLAN

62.2

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<u>:</u>

GENERAL

STRUCTURAL

NOTES

- ADDING OUT-OT-1 FRIED SHEATHED SHEARWALLS. - ADDING INTERIOR PLYWOOD SHEATHED SHEARWALLS. LATERAL UPGRADES FOR THIS PROJECT INCLUDE:
- STRENGTHENING OUT-OF-PLANE CONNECTIONS BETEWEEN ROOF DIAPHRAGM AND (E) CONCRETE WALLS. , VING OUT-OF-PLANE CONNECTIONS BETWEEN ROOF DIAPHRAGM AND (E) REINFORCED CMU

INSPECTION

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SECTION MARK - SECTION NUMBER

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SPECIAL INSPECTIONS:

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THE SPECIAL INSPECTOR SHALL PROVIDE A COPY OF THEIR REPORT TO THE OWNER, ARCHITECT, STRUCTURAL ENGINEER, CONTRACTOR, AND BUILDING OFFICIAL AS EACH TEST IS COMPLETED.

'n

CONCRETE: INSPECTOR SHALL VERIFY THE USE OF THE REQUIRED DESIGN MIX AND SHALL PERFORM SLUMP, AIR CONTENT, AND TEMPERATURE TESTS AT THE TIME FRESH CONCRETE IS SAMPLED. INSPECTOR SHALL BE CONTINUOUSLY PRESENT DURING THE TAKING OF TEST SPECIMENS AND PLACING OF REINFORCED CONCRETE. INSPECTOR SHALL PERIODICALLY INSPECT THE FORMWORK FOR SHAPE, LOCATION, AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED. SPECIAL INSPECTION IS NOT REQUIRED FOR FOUNDATION CONCRETE OF F'C = 2,500 PSI OR LESS.

B. REINFORCING STEEL: SPECIAL INSPECTION IS REQUIRED DURING PLACEMENT OF REINFORCING STEEL. THE INSPECTOR NEED NOT BE CONTINUOUSLY PRESENT PROVIDED THAT THE REINFORCING HAS BEEN INSPECTED FOR CONFORMANCE BEFORE THE DELIVERY OF CONCRETE TO THE JOB SITE.

C. BOLTS INSTALLED IN CONCRETE AND CMU: CAST-IN-PLACE - PRIOR TO AND DURING THE PLACEMENT OF CONCRETE OR GROUT AROUND BOLTS. POST-INSTALLED MECHANICAL AND ADHESIVE - INSPECT PER REQUIREMENTS OF THE MANUFACTURER'S INSTRUCTIONS AND THE APPROVED ICC REPORT.

D. WELDING: INSPECTOR SHALL PERFORM MATERIAL VERIFICATION OF WELD FILLER MATERIALS. CONTINUOUS SPECIAL INSPECTION IS REQUIRED FOR ALL STRUCTURAL WELDING INCLUDING WELDING OF REINFORCING STEEL. PERIODIC SPECIAL INSPECTION PER IBC 1704.3 MAY BE USED FOR DECKS, WELDED STUDS, AND SINGLE PASS FILLET WELDS LESS THAN OR EQUAL TO 5/16". PER IBC 1704.2.2, WELDING DONE IN AN APPROVED FABRICATOR'S SHOP IS EXCEPTED FROM SPECIAL INSPECTION.

ANCHOR BOLT
ARCHITECT
BLOCKING
BOTTOM
CEILING
CLEAR

DIAMETER SQUARE
EXISTING

X Z Z Z

CELLANEOUS

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STRUCTURAL OBSERVATION:

1. STRUCTURAL OBSERVATIONS BY THE ENGINEER OF RECORD (EOR) OR THEIR REPRESENTATIVE SHALL BE REQUIRED AT THE FOLLOWING STAGES DURING CONSTRUCTION:

-DURING INSTALLATION OF ANCHOR BOLTS TO MASONRY/CONCRETE.
-AFTER INSTALLATION OF BLOCKING, HARDWARE/CLIPS, PRIOR TO COVERING.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD (EOR) AT LEAST FOUR (4) CALENDAR DAYS IN ADVANCE OF COMPLETION REQUIRING SITE OBSERVATION.

IF ADDITIONAL SITE VISITS OR DESIGN WORK IS REQUIRED BY THE ENGINEER BECAUSE OF INCOMPLETE OR UNACCEPTABLE WORK, THE ENGINEER SHALL BE REIMBURSED FOR ALL TIME AND EXPENSES INVOLVED.

SPECIAL TESTING

THE REQUIRED SPECIAL INSPECTIONS SHALL BE PERFORMED BY AN INDEPENDENT SPECIAL INSPECTOR PER SECTION 1704 OF THE INTERNATIONAL BUILDING CODE (IBC) FOR THE FOLLOWING ITEMS:

WOOD SHEARWALLS, DIAPHRAGMS, AND DRAG STRUTS: PERIODIC SPECIAL INSPECTION IS REQUIRED FOR NAILING HAVING A SPACING OF 4 INCHES OR LESS, BOLTING, ANCHORING, AND OTHER FASTENING OF COMPONENTS OF SHEARWALLS, DIAPHRAGMS, AND DRAG STRUTS.

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DIAMETER RAWING ACH ACH WAY EVATION

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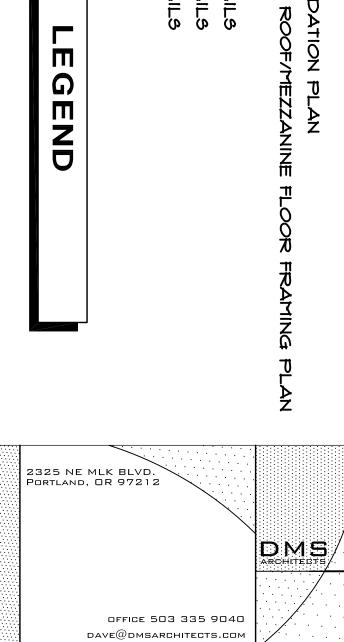


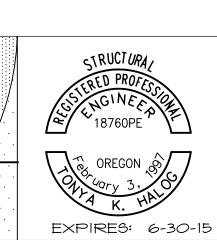
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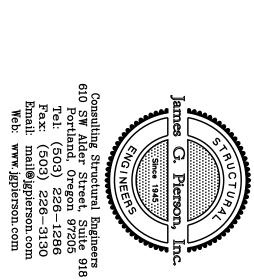
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ABBREYIATIONS

4617 SE MILWAUKIE AVENUE PORTLAND, OREGON







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