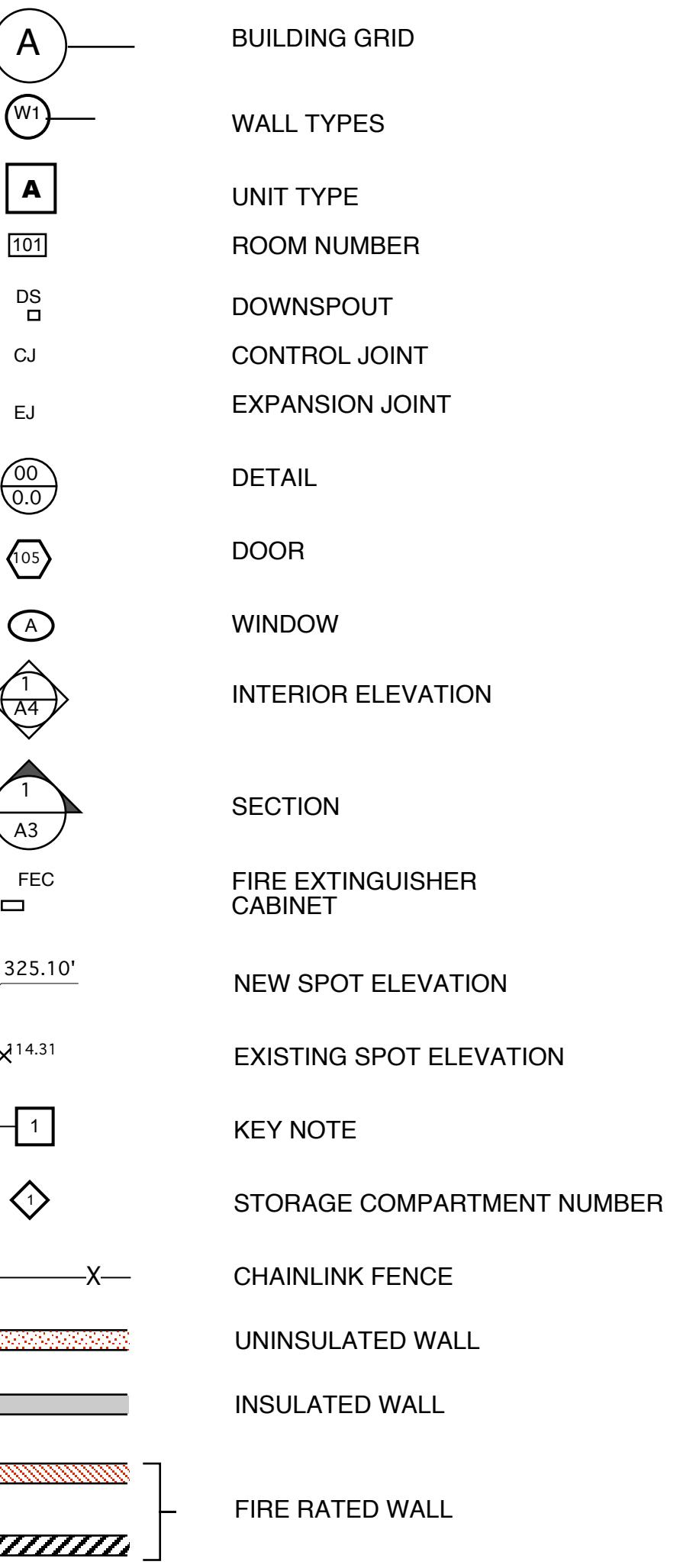


The Timbers at Towne Center

CONDOMINIUM BUILDING, PHASE 1

SYMBOLS

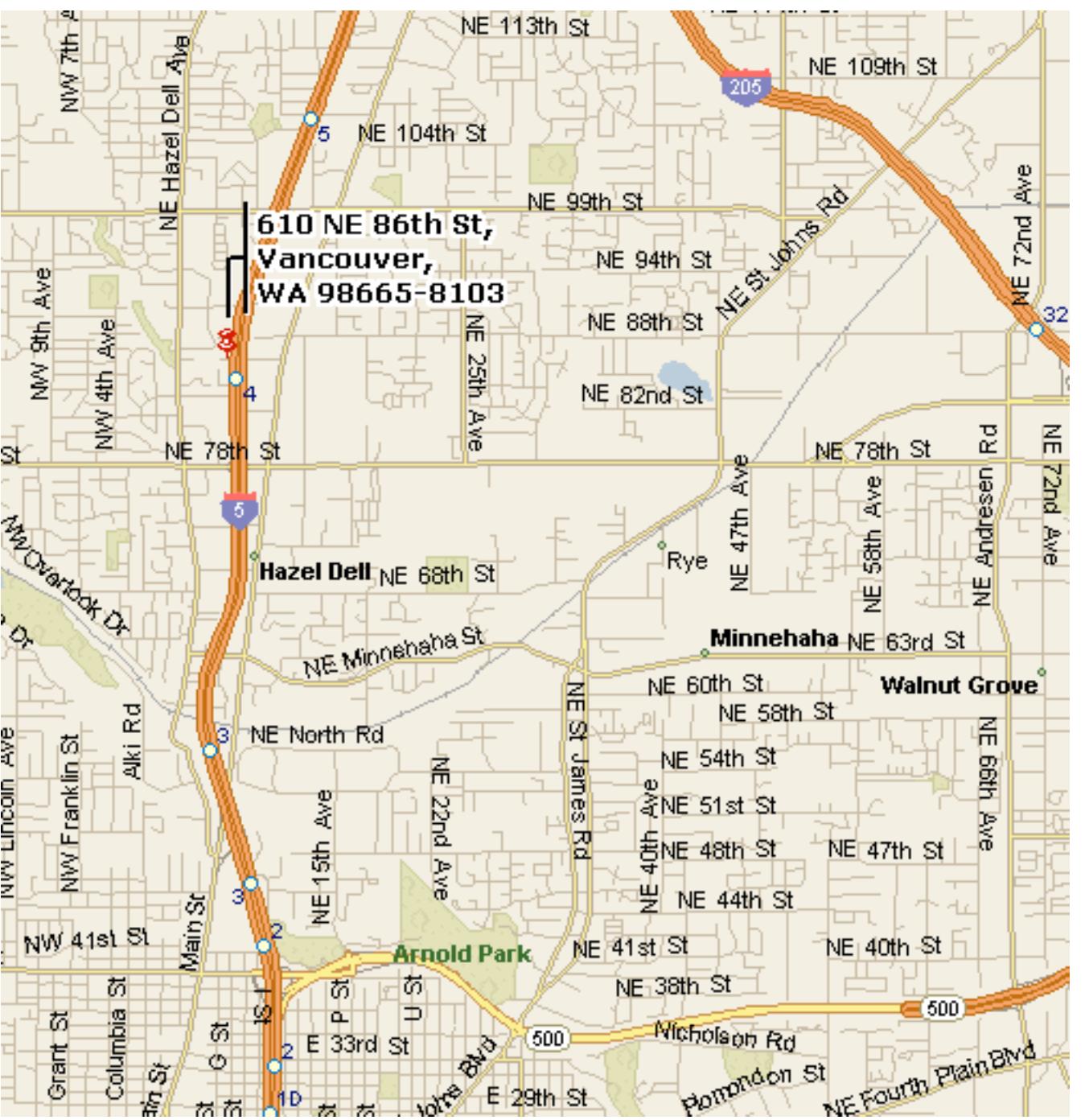


GENERAL NOTES:

- DIMENSIONS ARE AS FOLLOWS: OPENINGS, FIXTURES AND COLUMNS TO CENTERLINE, WALLS AND INTERIOR PARTITIONS TO FACE OF STUD.
- REFUSE REMOVED FROM SITE WILL BE DISPOSED OF IN AN APPROVED FASHION. GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY DUMPING FEES.
- FIRE SPRINKLERS: THE BUILDING WILL HAVE A COMPLETE FIRE SPRINKLER SYSTEM. THE SYSTEM WILL BE DESIGNED BY BIDDER & INSTALLED IN ACCORDANCE WITH NFPA 13. SEE SECTION 15300 OF THE PROJECT MANUAL.
- WATER METER: SEE CIVIL DRAWINGS.
- GAS METERS: SEE CIVIL DRAWINGS.

BUILDING CODE INFORMATION

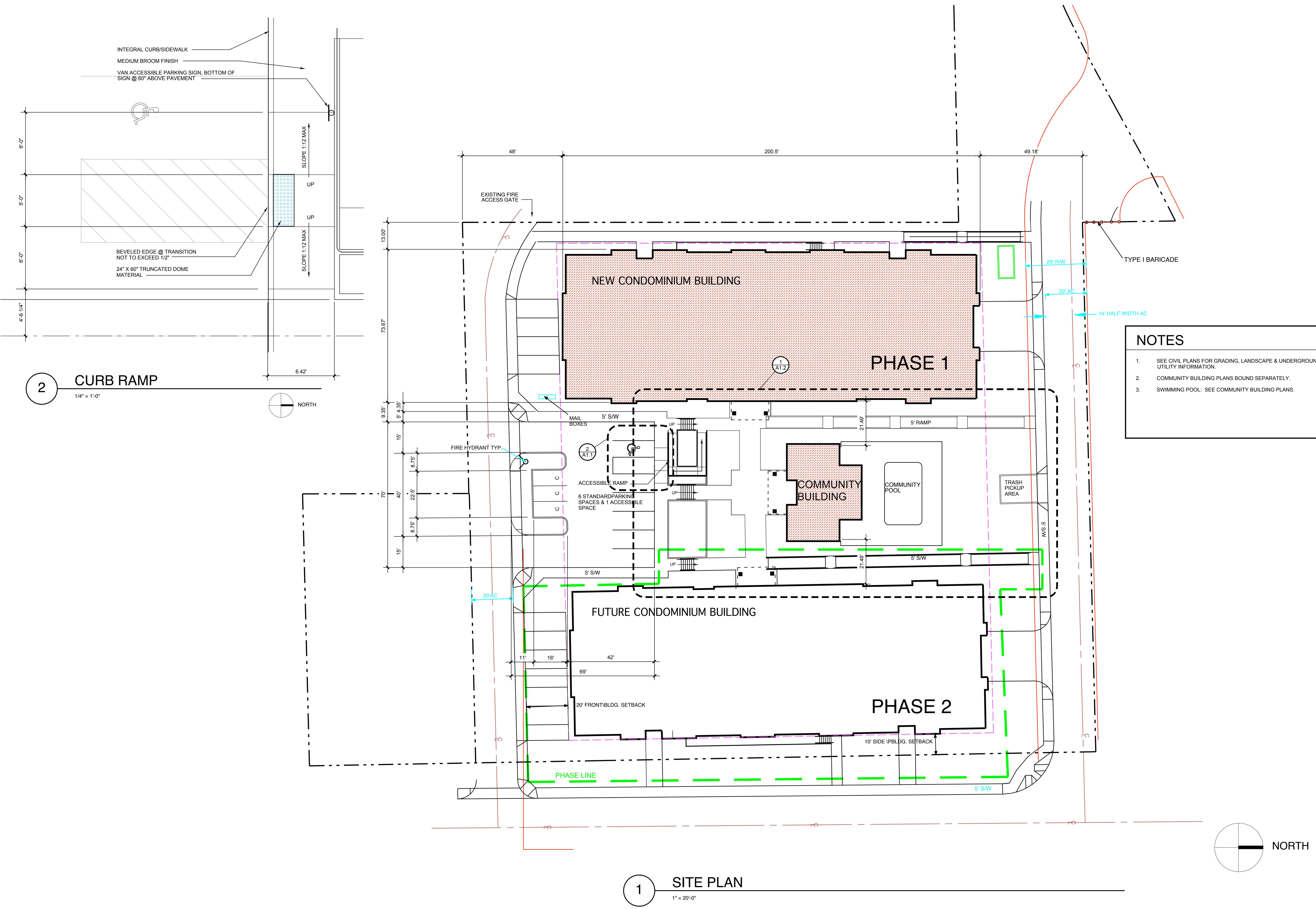
1. Project Name and Address:	The Timbers at Towne Center 610 NE 86th Street Vancouver, WA		
2. Legal Description	Tax Lot 108 (145329), 90 (145311), 92 (145312 80 (145301), and 103 (145324), SE corner of Section 3, Township 2 North, Range 1 East WM		
3. Zone	R-43, Multi-family Residential		
4. Applicable Building Codes:	International Building Code, 2006 Edition Washington State Building Code, Chapter 51-50 WAC, July 1, 2007		
5. Occupancy Group	R-2, S-2		
6. Occupancy separation	3-hour	Table 509.4	
7. Parking garage (Enclosed)	Vertical clearance	>7'-0"	406.2.2
8. Construction Type	V-B, & I-A (Parking Garage)		
9. Allowable Floor Area	R-2 Occupancy, Type V-B	7,000 sf	Table 503
	Increase due to Sprinklers	200%	506.3
		= 14,000 sf / level	
	Allowable all levels	14,000 x 3 = 42,000 sf	506.4
	Actual area / level	13,189 sf	
		13,189 x 3 = 39,567 sf	
10. Allowable Building Height:	S-2 Occupancy, Type I-A	Unlimited	Table 503
	R-2 Occupancy, Type V-B	2-stories, 40'	Table 503
	Height increase allowed due to fire sprinklers	Add 1-story & 20'	504
	Height of R-2 Occupancy to be measured from floor separating R-2 & S-2		508.4
11. Actual Building Height:	S-2 Occupancy, Type I-A	Unlimited	Table 503
		3 Stories R-2 over 1-story S-2, 45'-0"	
12. Exterior wall protection based on fire separation distance	R-2 Occupancy, Type V-B	30' > x > 10' = 0	Table 602
	Area of openings allowed	45%	Table 704.8
			704.8.1
13. Shaft enclosures	S-2 Occupancy, Type I-A	30' > x > 10' = 1-hour	Table 602
	Area of openings	Unlimited	Table 704.8
	In 1-A Construction	3-hours	509.2.4
	In V-B Construction	1-hour	509.2.4
14. Dwelling unit separation		Walls: 30 minutes	708.3
		Floors: 30 minutes	711.3
15. Corridors		30 minutes	Table 1017.1
16. Elevator lobby		30 minutes	707.14.1
17. Doors opening into corridor will have a 20-minute rating			715.4
18. Fire alarm		1-manual pull station required	907.2.9
		general notification will activate with sprinkler flow	
19. Smoke detectors, hard wired with battery backup		Outside each sleeping room, in each sleeping room, interconnected (Activation of 1 alarm will activate all alarms in unit)	907.2.10
20. Lighting on emergency power supply: Corridors, exit stairs, & exterior egress components			1006.3
21. Emergency escape window not required from sleeping rooms			1026.1
22. Accessibility	3-Type A units	1107.6.2.1	
	23-Type B units		
23. Exit Signage:	All common area exits will have internally illuminated exit signs. Not more than 100' apart. Signs shall be provided with emergency backup power source or storage batteries or an on-site generator. Tactile exit sign at each stair entry.		1011
24. Sound transmission	> 50 STC walls & ceiling		1207
25. Ventilation:	Bathrooms: 50 cfm Kitchens: 100 cfm	Table 3.1	
26. Hoistway venting	> 3 SF	3004.3	



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The Timbers at Towne Center

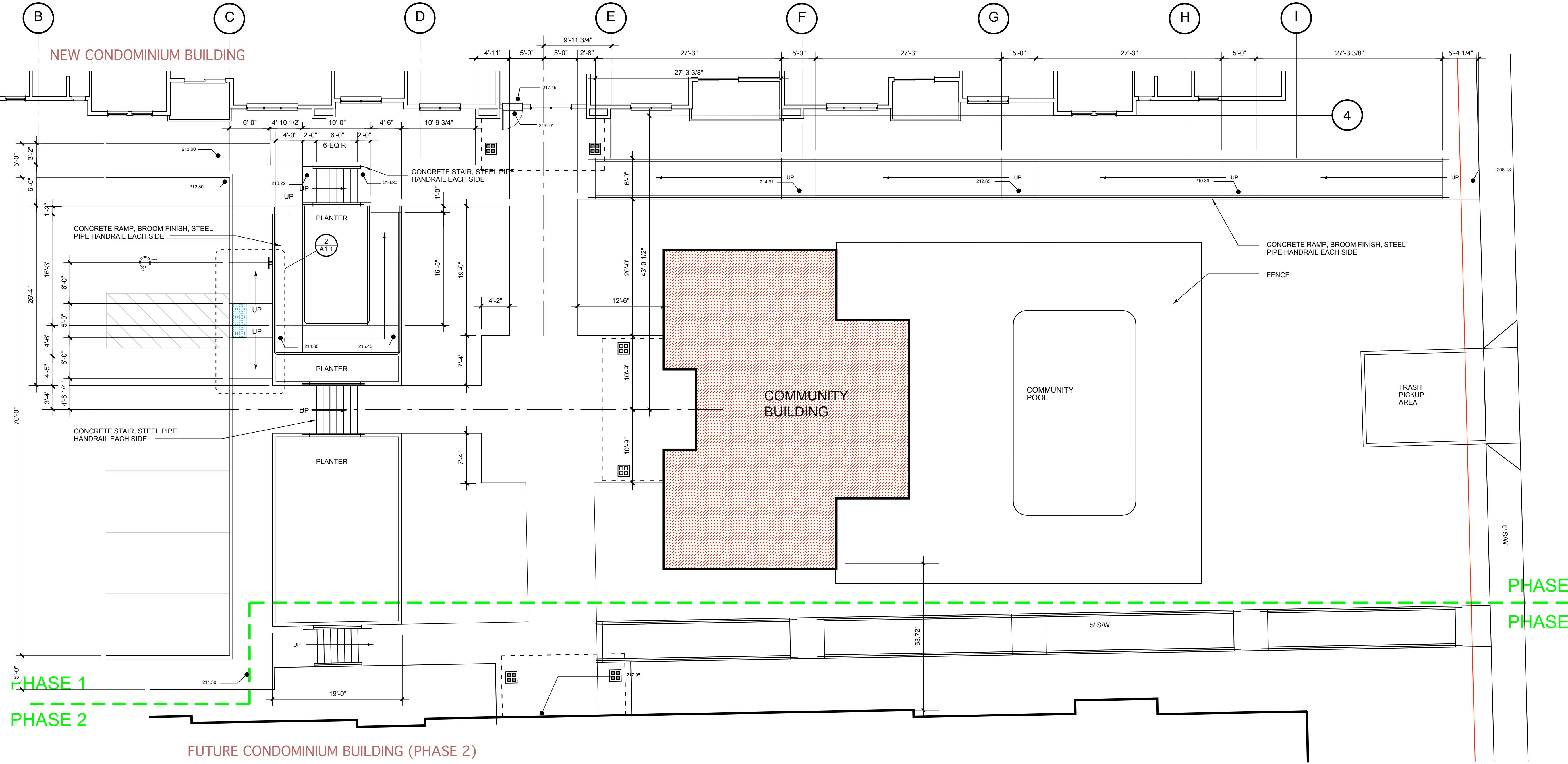
CONDOMINIUM BUILDING, PHASE 1



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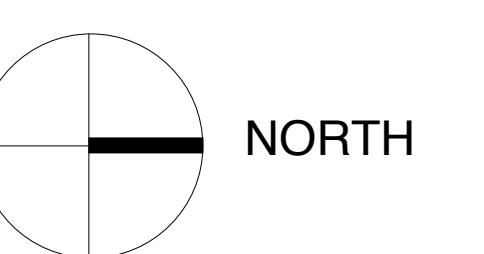
The Timbers at townne center

CONDOMINIUM BUILDING, PHASE 1



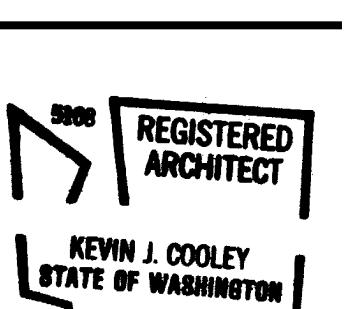
Owner:
Salmon Creek Development LLC
8802 NE 5th Ave., Bldg. 1 #109
Vancouver, WA 98685
(360) 903-5825

Dates/Revisions:
12/18/07 PERMIT APPLICATION



1 ENLARGED SITE PLAN

1/8" = 1'-0"



ENLARGED SITE PLAN

Sheet Number:

A1.2

0503

The Timbers at townne center

CONDOMINIUM BUILDING, PHASE 1

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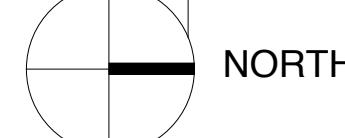
22 STANDARD STALLS
11 COMPACT STALLS
2 ACCESSIBLE STALLS

PARKING LEVEL PLAN

1/8" = 1'-0"

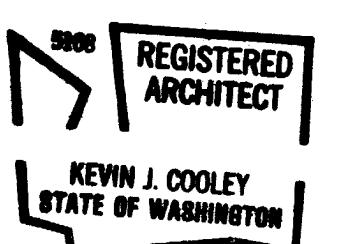
1

14,049 SF



KEY NOTES

1. ROOF & OVERFLOW DRAINS.
2. ACCESSIBLE PARKING SIGN. BOTTOM EDGE OF SIGN @ 60" ABOVE PAVEMENT.
3. PAINTED STRIPING.
4. PAINTED ACCESSIBLE SYMBOL.
5. PRECAST CONCRETE WHEEL STOP.
6. 24" WIDE TRUNCATED DOME MATERIAL
7. TRENCH DRAIN, SEE CIVIL
8. 6'0" x 5'0" OPENING IN CONCRETE WALL, HEAD = 7'-0" ABOVE TOP OF SLAB.



PARKING LEVEL PLAN

ENERGY CONSERVATION (TABLE 6-1)

OPTION	GLAZING AREA	GLAZING U FACTOR		DOOR U FACTOR	CEILING	VAULTED CEILING	EXTERIOR WALL	FLOOR
		VERTICAL	HORIZ.					
V	UNLIMITED	0.35	0.58	0.20	R-38	R-30	R-21	R-30

NOTES

1. SEE CIVIL PLANS FOR PARKING AREA DRAINAGE, & CONNECTION OF ROOF DRAINS TO STORM WATER SYSTEM.
2. HOLLOW METAL DOOR ROUGH OPENINGS IN CONCRETE WALLS:
3'-0" x 7'-0" = 3'-4 3/4" x 7'-2 1/2"
6'-0" x 7'-0" = 6'-4 3/4" x 7'-2 1/2"
3. THE PARKING AREA WILL BE MECHANICALLY VENTILATED IN COMPLIANCE WITH THE STATE VENTILATION CODE, TABLE 3-4. AUTOMATIC CARBON MONOXIDE SENSING SYSTEMS MAY BE INCORPORATED INTO THE DESIGN AS ALLOWED BY 304.1.

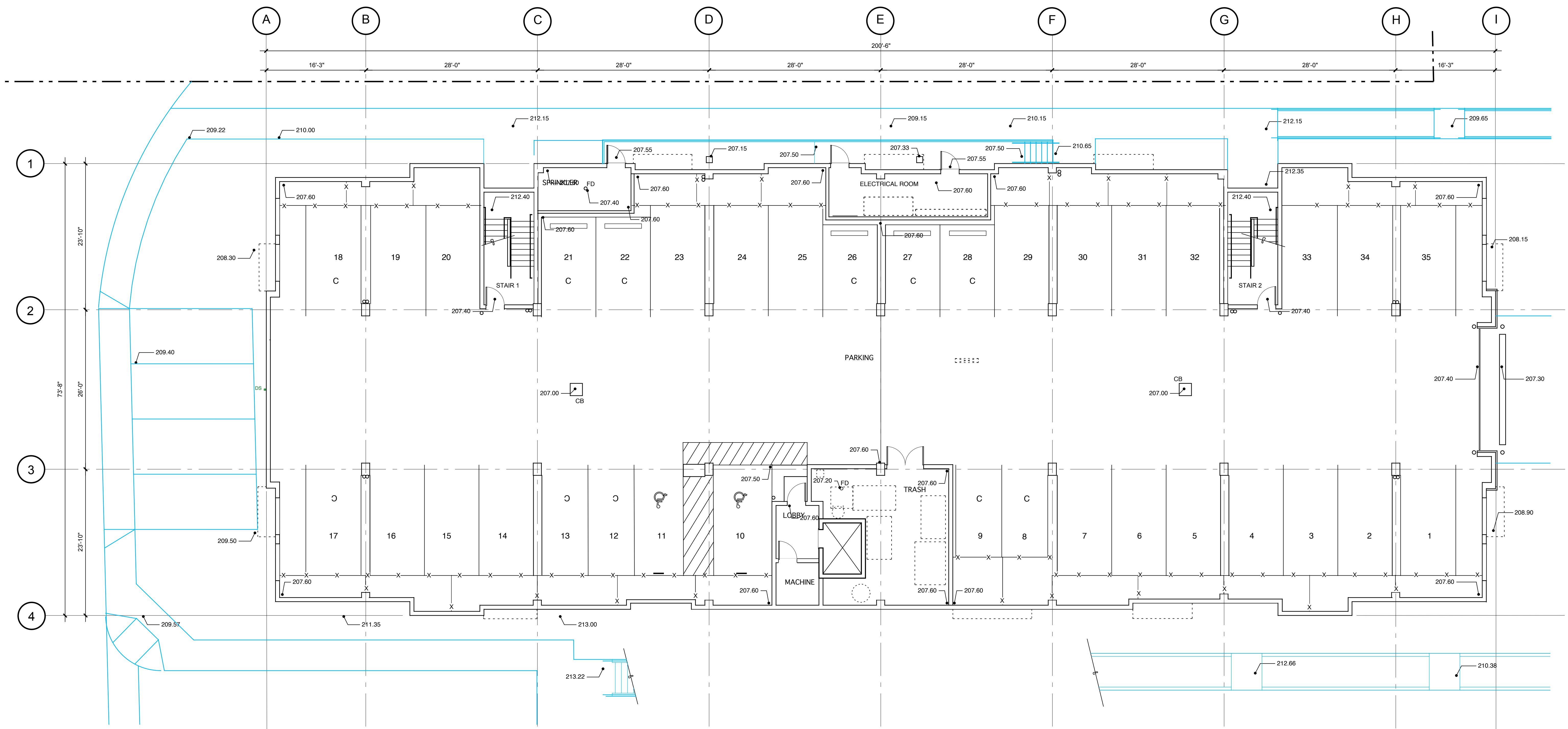
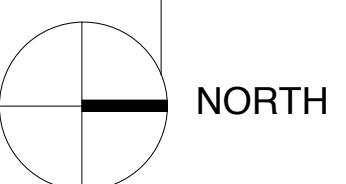
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The Timbers at town center

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1 PARKING LEVEL PLAN - SPOT ELEVATIONS
1/8" = 1'-0"

PARKING LEVEL
PLAN - SPOT
ELEVATIONS

Sheet Number:
A2.1a
0503

The Timbers at town center

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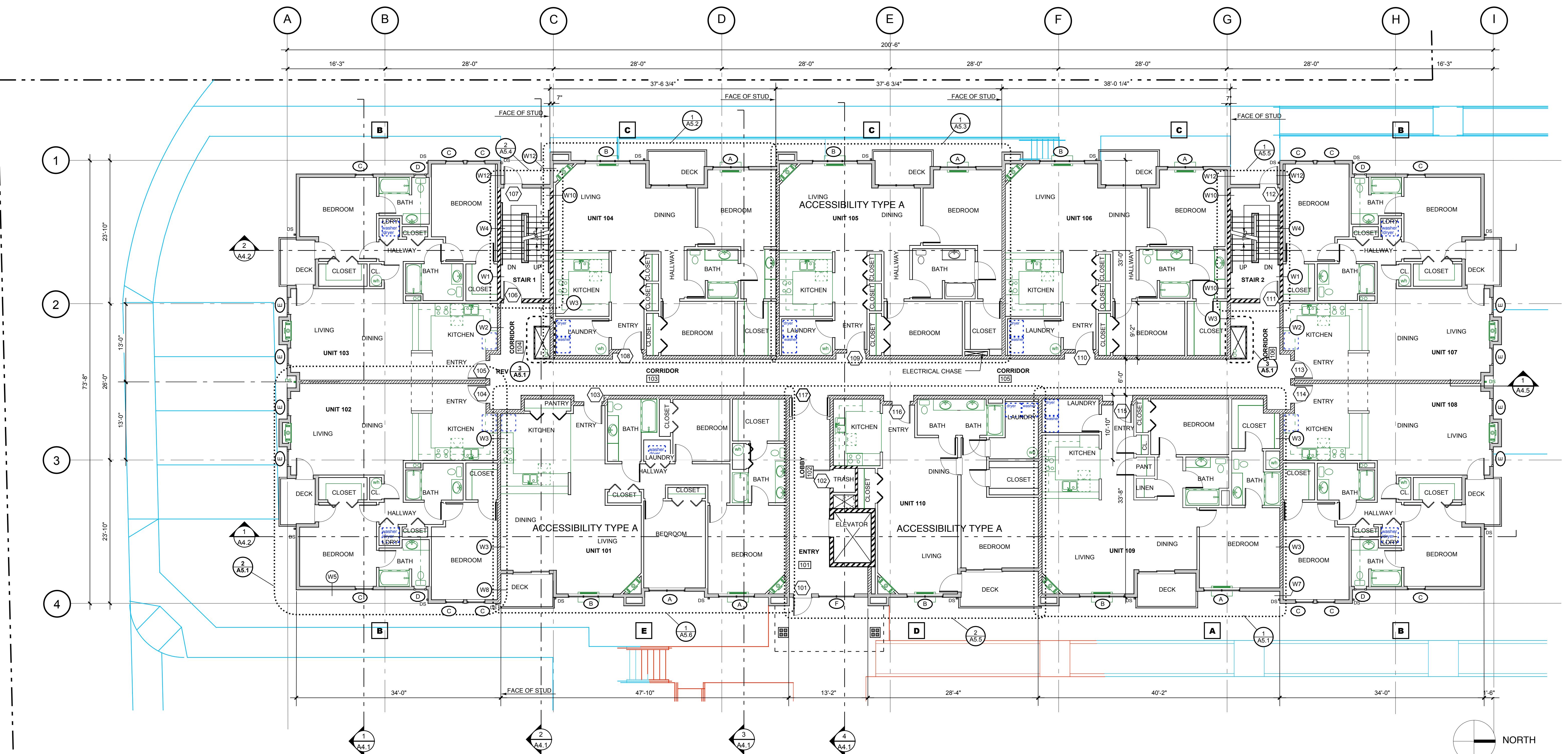
13,802 SF

NOTES

1. SEE ENLARGED UNIT PLANS FOR UNIT DIMENSIONS & WALL TYPES.
2. SEE 3/A3.2 FOR WINDOW TYPE DIMENSIONS.
3. FIRE CAULK CONDUIT & PIPE PENETRATIONS THROUGH FLOORS, DEMISING WALLS, CORRIDOR WALLS & STAIR TOWER WALLS.
4. UNITS 101, 105 & 110 ARE TYPE "A" ACCESSIBLE UNITS AS DEFINED BY ICC/ANSI A117.1-2003.
5. GAS FIREPLACE:
6. SEE SHEET A1.2 FOR SPOT ELEVATIONS @ BUILDING ENTRY.

1 FIRST FLOOR PLAN

1/8" = 1'-0"



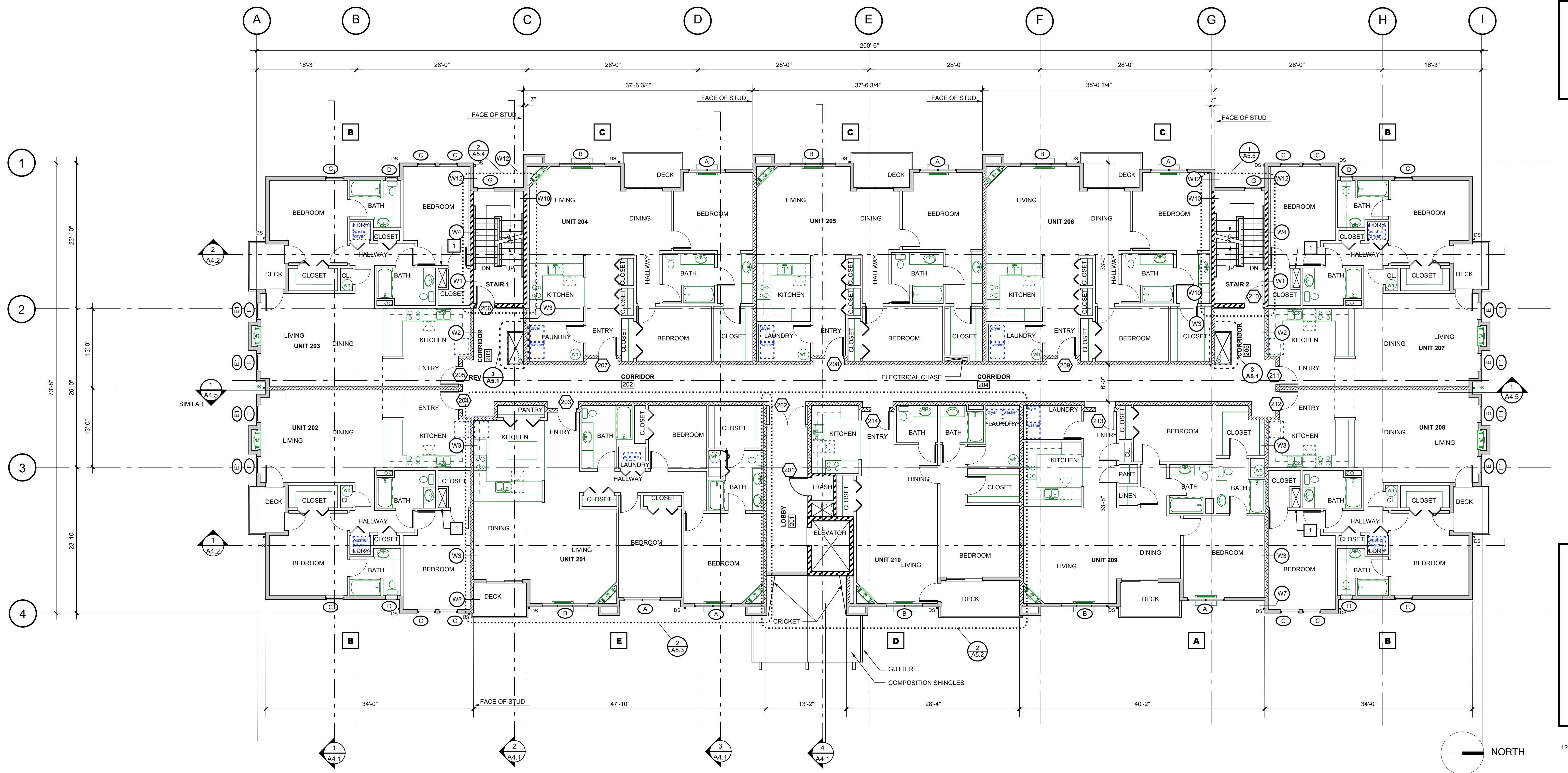
FIRST FLOOR PLAN

The Timbers at towne center

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1 SECOND FLOOR PLAN

1/8" = 1'-0"

KEY NOTES

1. 14" X 36" 1-HOUR RATED SHAFT.

NOTES

1. SEE ENLARGED UNIT PLANS FOR UNIT DIMENSIONS & WALL TYPES.
2. SEE 3/A3.2 FOR WINDOW TYPE DIMENSIONS.
3. FIRE CAULK CONDUIT & PIPE PENETRATIONS THROUGH FLOORS, DEMISING WALLS, CORRIDOR WALLS & STAIR TOWER WALLS.

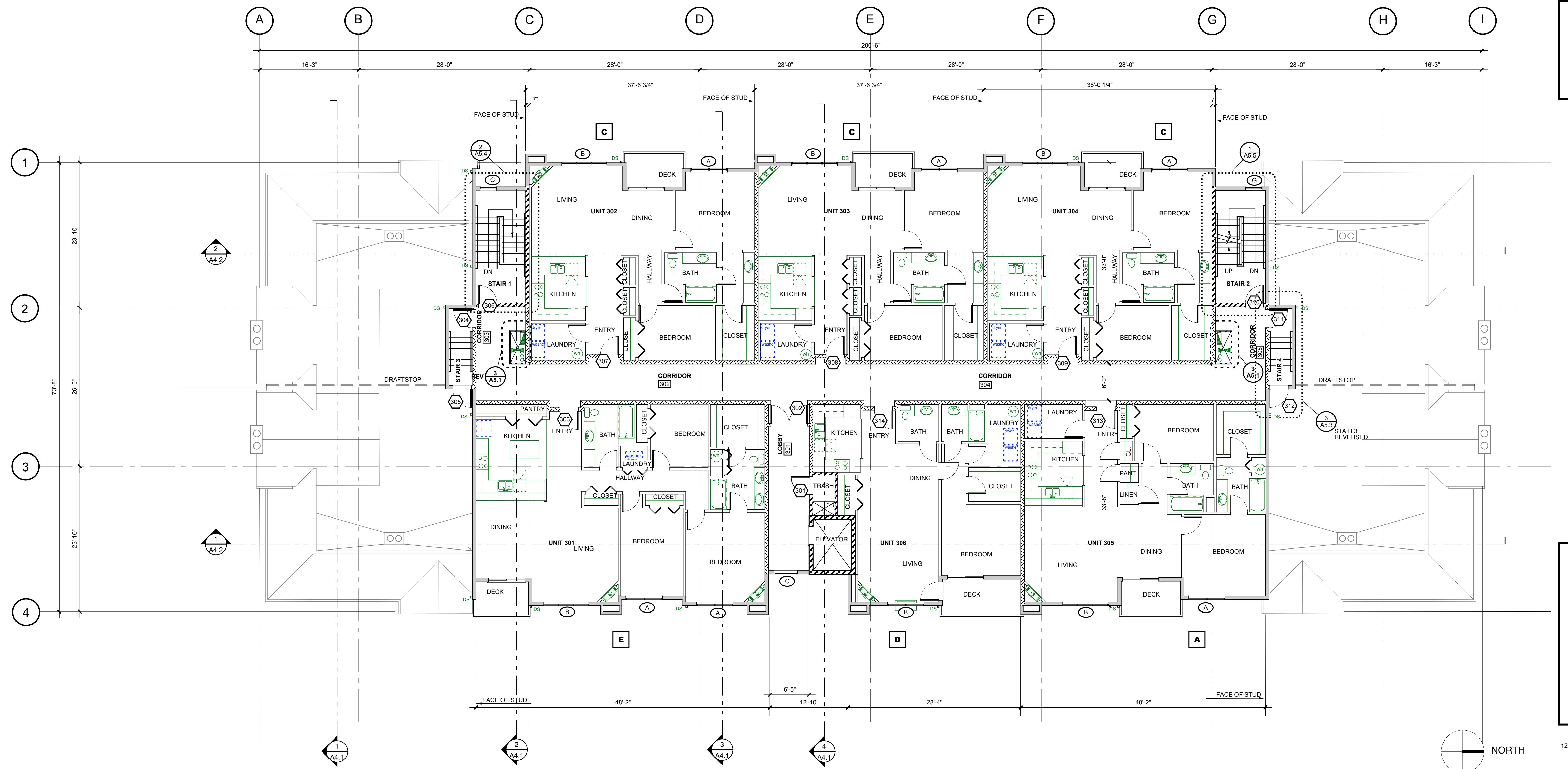
SECOND FLOOR PLAN

The Timbers at Towne Center

CONDOMINIUM BUILDING, PHASE 1

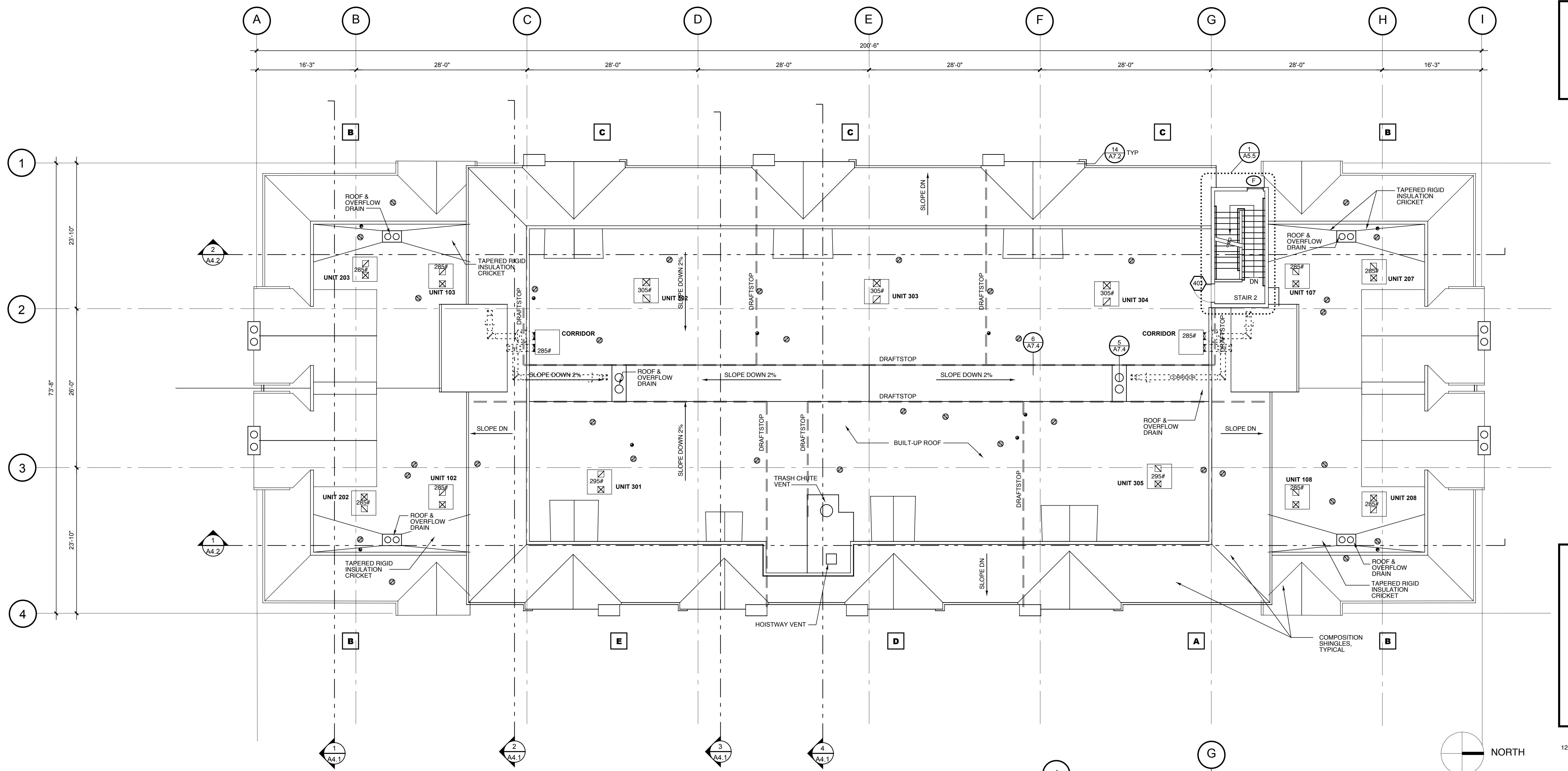
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The Timbers at towne center

CONDOMINIUM BUILDING, PHASE 1



1 ROOF PLAN

1/8" = 1'-0"

ATTIC VENTILATION

UNIT	SF	REQUIRED VENT AREA SF (1/150)
A	1286	8.6
B	1193	8.0
C	1191	8.0
D	994	6.6
E	1576	10.5

NOTES

1. DRAFTSTOPS: 1/2" THICK GYPSUM BOARD OR PLYWOOD. FASTEN TO ROOF TRUSSES OR SOLID BLOCKING.
2. HOISTWAY VENT: MINIMUM 3 SF, DAMPERS TO BE OPERATED BY SMOKE DETECTORS IN ELEVATOR LOBBIES & HOISTWAY.

2 STAIR ROOF PLAN

1/8" = 1'-0"

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ROOF PLAN

Sheet Number:
A2.5

0503

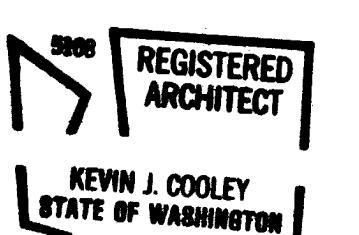
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4/2/08



WALL TYPES. DOOR SCHEDULE

Sheet Number:
A2.6
0503

No.	Type	Label	Size	Mat.	Fin.	FRAME	DETAILS	Hdwe	Remarks	
001	A	90	3'-0"x7'-0"	HM	PNT	HM	PNT		1	
002	A	180	3'-0"x7'-0"	HM	PNT	HM	PNT	18/A7.2	1	
003	A	-	3'-0"x7'-0"	HM	PNT	HM	PNT	18/A7.2	2	
004	A	-	3'-0"x7'-0"	HM	PNT	HM	PNT	18/A7.2	3	
005	A	-	3'-0"x7'-0"	HM	PNT	HM	PNT	18/A7.2	4	
006	A	180	3'-0"x7'-0"	HM	PNT	HM	PNT	18/A7.2	1	
007	B	-	20'-0"x7'-0"	AL	FAC	-	-		5 1	
008	C	60	3'-0"x7'-0" Pt.	HM	PNT	HM	PNT	18/A7.2	6	
009	A	90	3'-6"x7'-0"	HM	PNT	HM	PNT	17/A7.2	7	
101	D	-	3'-0"x7'-0"	AL	FAC	AL	FAC		8 2	
102	A	90	3'-0"x7'-0"	HM	PNT	HM	FAC		9	
103	A	20	3'-0"x7'-0"	WDSC	S&L	HM	FAC	17/A7.2	10	
104	A	20	3'-0"x7'-0"	WDSC	S&L	HM	FAC	17/A7.2	10	
105	A	20	3'-0"x7'-0"	WDSC	S&L	HM	FAC	17/A7.2	10	
106	A	90	3'-0"x7'-0"	HM	PNT	HM	FAC		11	
107	A	-	3'-0"x7'-0"	HM	PNT	HM	FAC		12	
108	A	20	3'-0"x7'-0"	WDSC	S&L	HM	FAC	17/A7.2	10	
109	A	20	3'-0"x7'-0"	WDSC	S&L	HM	FAC	17/A7.2	10	
110	A	20	3'-0"x7'-0"	WDSC	S&L	HM	FAC	17/A7.2	10	
111	A	90	3'-0"x7'-0"	HM	PNT	HM	FAC		11	
112	A	-	3'-0"x7'-0"	HM	PNT	HM	FAC		12	
113	A	20	3'-0"x7'-0"	WDSC	S&L	HM	FAC	17/A7.2	10	
114	A	20	3'-0"x7'-0"	WDSC	S&L	HM	FAC	17/A7.2	10	
115	A	20	3'-0"x7'-0"	WDSC	S&L	HM	FAC	17/A7.2	10	
116	A	20	3'-0"x7'-0"	WDSC	S&L	HM	FAC	17/A7.2	10	
117	C	20	3'-0"x7'-0" PR.	HM	FAC	HM	FAC	1/A7.4	2/A7.4	13 3
201	A	90	3'-0"x7'-0"	HM	FAC	HM	PNT		9	
202	C	20	3'-0"x7'-0" PR.	HM	FAC	HM	FAC	1/A7.4	2/A7.4	13 3
203	A	20	3'-0"x7'-0"	WDSC	S&L	HM	FAC	17/A7.2	10	
204	A	20	3'-0"x7'-0"	WDSC	S&L	HM	FAC	17/A7.2	10	
205	A	20	3'-0"x7'-0"	WDSC	S&L	HM	FAC	17/A7.2	10	
206	A	90	3'-0"x7'-0"	HM	PNT	HM	FAC		11	
207	A	20	3'-0"x7'-0"	WDSC	S&L	HM	FAC	17/A7.2	10	
208	A	20	3'-0"x7'-0"	WDSC	S&L	HM	FAC	17/A7.2	10	
209	A	20	3'-0"x7'-0"	WDSC	S&L	HM	FAC	17/A7.2	10	
210	A	90	3'-0"x7'-0"	HM	PNT	HM	FAC		11	
211	A	20	3'-0"x7'-0"	WDSC	S&L	HM	FAC	17/A7.2	10	
212	A	20	3'-0"x7'-0"	WDSC	S&L	HM	FAC	17/A7.2	10	
213	A	20	3'-0"x7'-0"	WDSC	S&L	HM	FAC	17/A7.2	10	
214	A	20	3'-0"x7'-0"	WDSC	S&L	HM	FAC	17/A7.2	10	
301	A	90	3'-0"x7'-0"	HM	FAC	HM	PNT		9	
302	C	20	3'-0"x7'-0" PR.	HM	FAC	HM	FAC	1/A7.4	2/A7.4	13
303	A	20	3'-0"x7'-0"	WDSC	S&L	HM	FAC	17/A7.2	10	
304	A	20	3'-0"x7'-0"	HM	FAC	HM	FAC	17/A7.2	11	
305	A	-	3'-0"x7'-0"	HM	FAC	HM	FAC		4/A7.1	14
306	A	90	3'-0"x7'-0"	HM	PNT	HM	FAC		11	
307	A	20	3'-0"x7'-0"	WDSC	S&L	HM	FAC	17/A7.2	10	
308	A	20	3'-0"x7'-0"	WDSC	S&L	HM	FAC	17/A7.2	10	
309	A	20	3'-0"x7'-0"	WDSC	S&L	HM	FAC	17/A7.2	10	
310	A	90	3'-0"x7'-0"	HM	PNT	HM	FAC		11	
311	A	20	3'-0"x7'-0"	HM	FAC	HM	FAC	17/A7.2	11	
312	A	-	3'-0"x7'-0"	HM	FAC	HM	FAC		4/A7.1	14
313	A	20	3'-0"x7'-0"	WDSC	S&L	HM	FAC	17/A7.2	10	
314	A	20	3'-0"x7'-0"	WDSC	S&L	HM	FAC	17/A7.2	10	
401	A	-	3'-0"x7'-0"	HM	PNT	HM	FAC	17/A7.3	4/A7.1	15
U1	A	-	3'-0"x7'-0"	WDHC	S&L	WD	FAC		16	
U2	A	-	2'-6"x7'-0"	WDHC	S&L	WD	FAC		17	
U3	E	-	6'-0"x7'-0"	VINYL	FAC	VINYL	FAC	6/A7.2	7/A7.2	19
U4	-	-	-	-	-	-	-		5	
U5	F	-	5'-0"x7'-0"	WDHC	S&L	-	-		20	
U6	G	-	2'-6"x7'-0"	WDHC	S&L	-	-		21	
U7	G	-	3'-0"x7'-0"	WDHC	S&L	-	-		21	
U8	H	-	3'-0"x7'-0"	VINYL	FAC	VINYL	FAC	6/A7.3	10/A7.2	18
U9	F	-	4'-0"x7'-0"	WDHC	S&L	-	-		20	
U10	F	-	6'-0"x7'-0"	WDHC	S&L	-	-		20	
U11	A	-	2'-10"x7'-0"	WDHC	S&L	WD	FAC		22 4	

LEGEND

MATERIALS	FINISHES
AL Aluminum	PNT Paint-Alkyd semi-gloss enamel
WDSC Wood - Solid Core	FAC Factory Finish
HM Hollow metal	S&L Stain & Lacquer
VINYL Vinyl	
WD Wood	

FIRE RATINGS (minutes)

20	20 minutes
45	45 minutes
60	60 minutes
90	90 minutes
180	3-hour
-	none required

REMARKS

- Overhead coiling grill.
- Aluminum storefront.
- Magnetic holdopen wired to smoke detector.
- Pocket Door
- Not Used

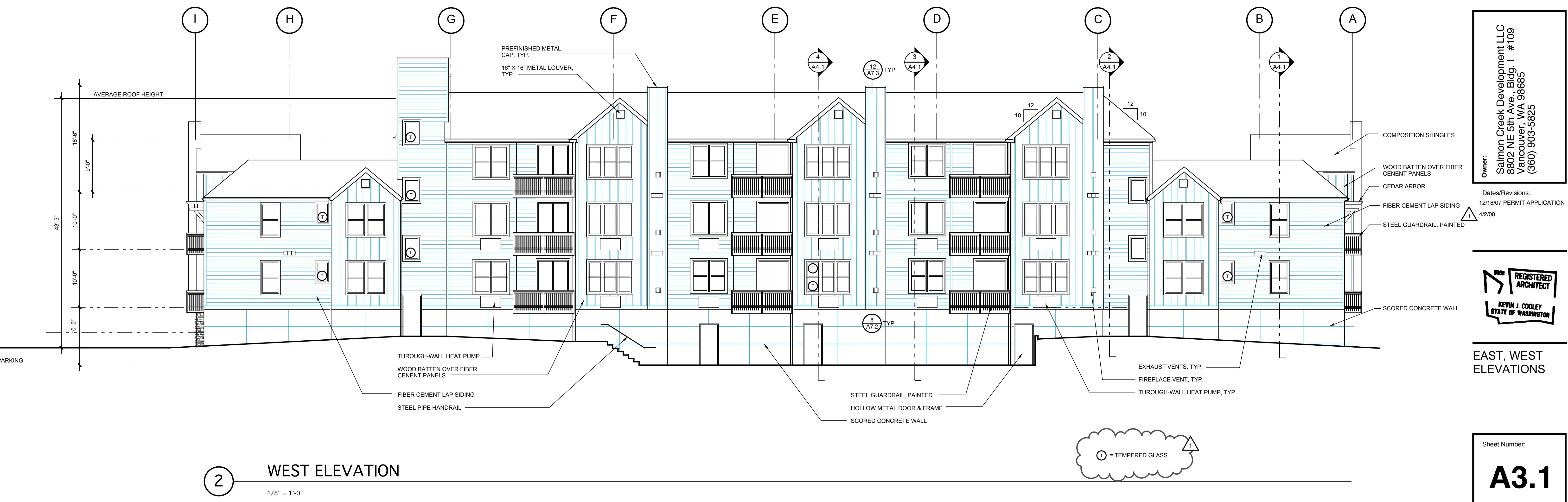
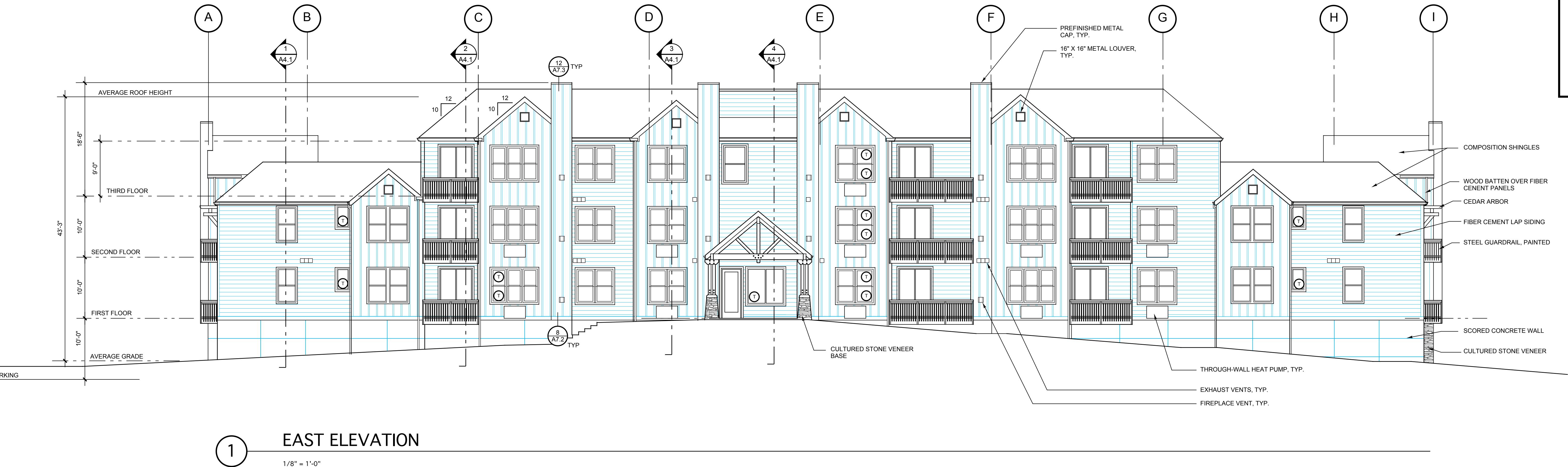
DOOR SCHEDULE

DOOR	TYPE	Label	Size	Mat.	Fin.	FRAME	DETAILS	Hdwe	Remarks
001	A	90	3'-0"x7'-0"	HM	PNT	HM	PNT		1
002	A	180	3'-0"x7'-0"	HM	PNT	HM	PNT	18/A7.2	1
003	A	-	3'-0"x7'-0"	HM	PNT	HM	PNT	18/A7.2	2
004	A	-	3'-0"x7'-0"	HM	PNT	HM	PNT	18/A7.2	3
005	A	-	3'-0"x7'-0"	HM	PNT	HM	PNT	18/A7.2	4
006	A	180	3'-0"x7'-0"	HM	PNT	HM	PNT	18/A7.2	1
007	B	-	20'-0"x7'-0"	AL					

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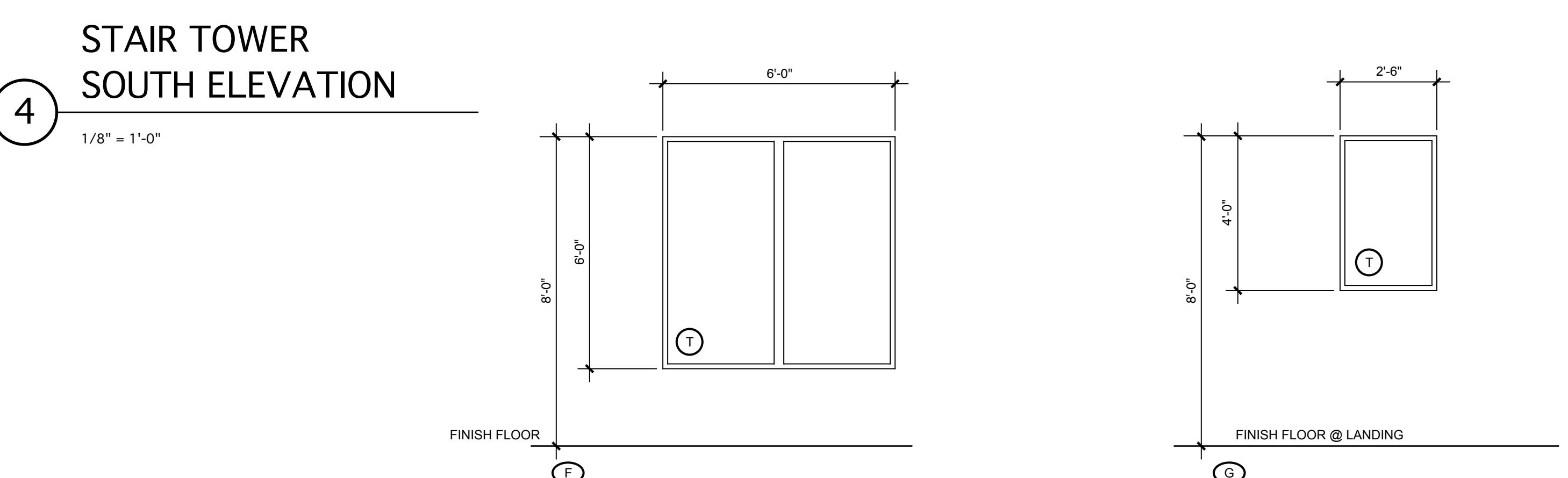
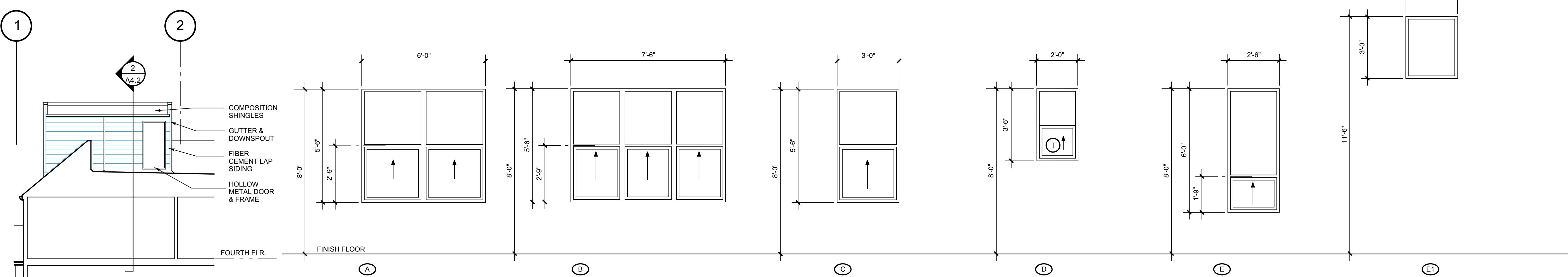
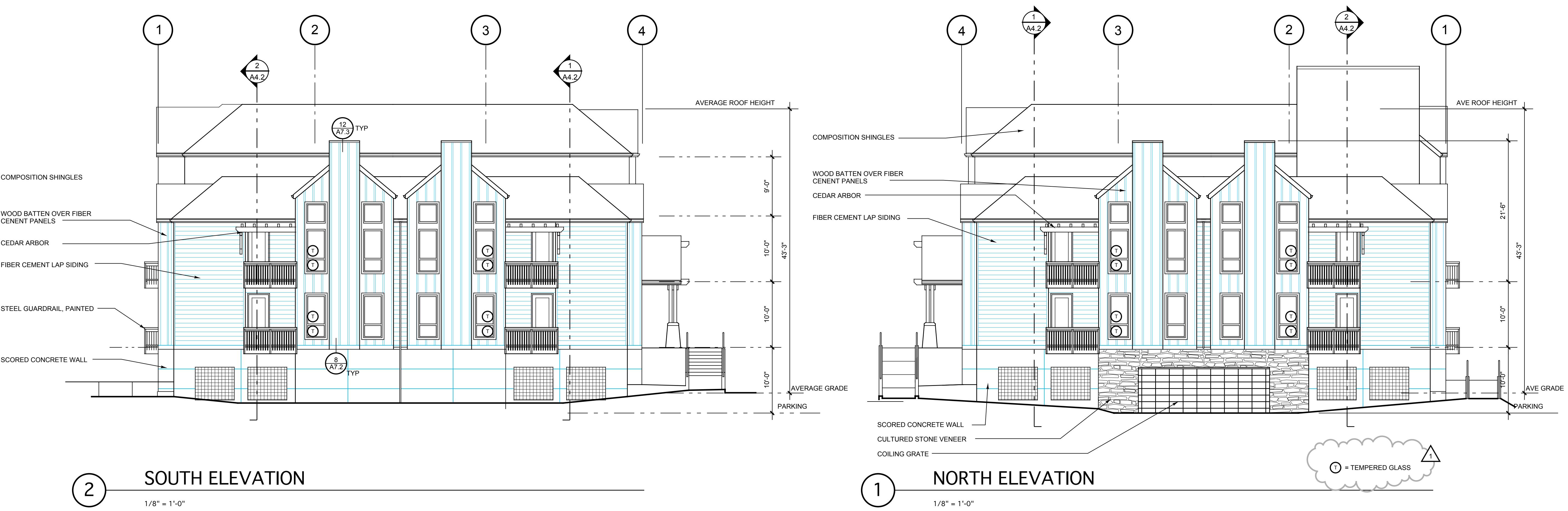
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The Timbers at Towne Center

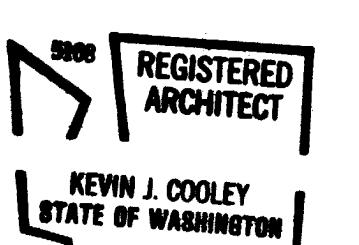
CONDOMINIUM BUILDING, PHASE 1



WINDOW ELEVATIONS (3)

Owner:
Salmon Creek Development LLC
8802 NE 5th Ave., Bldg. I #109
Vancouver, WA 98685
(360) 903-5825

Dates/Revisions:
12/18/07 PERMIT APPLICATION
4/2/08



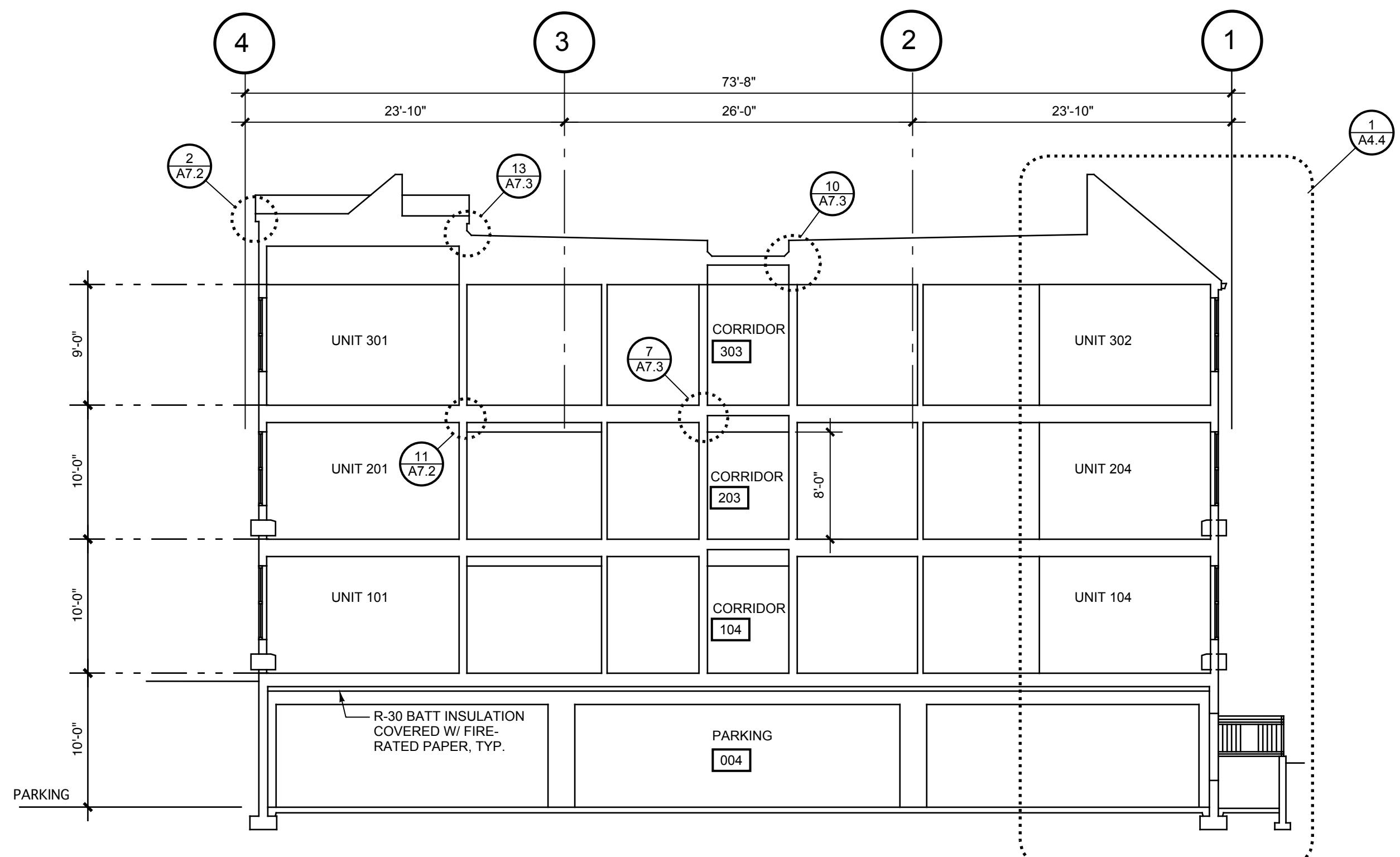
NORTH,
SOUTH
ELEVATIONS,
WINDOWS

Sheet Number:
A3.2
0503

Kevin
Cooley
Architect
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Vancouver, WA 98660
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360-693-8733 fax
kc@pacifier.com

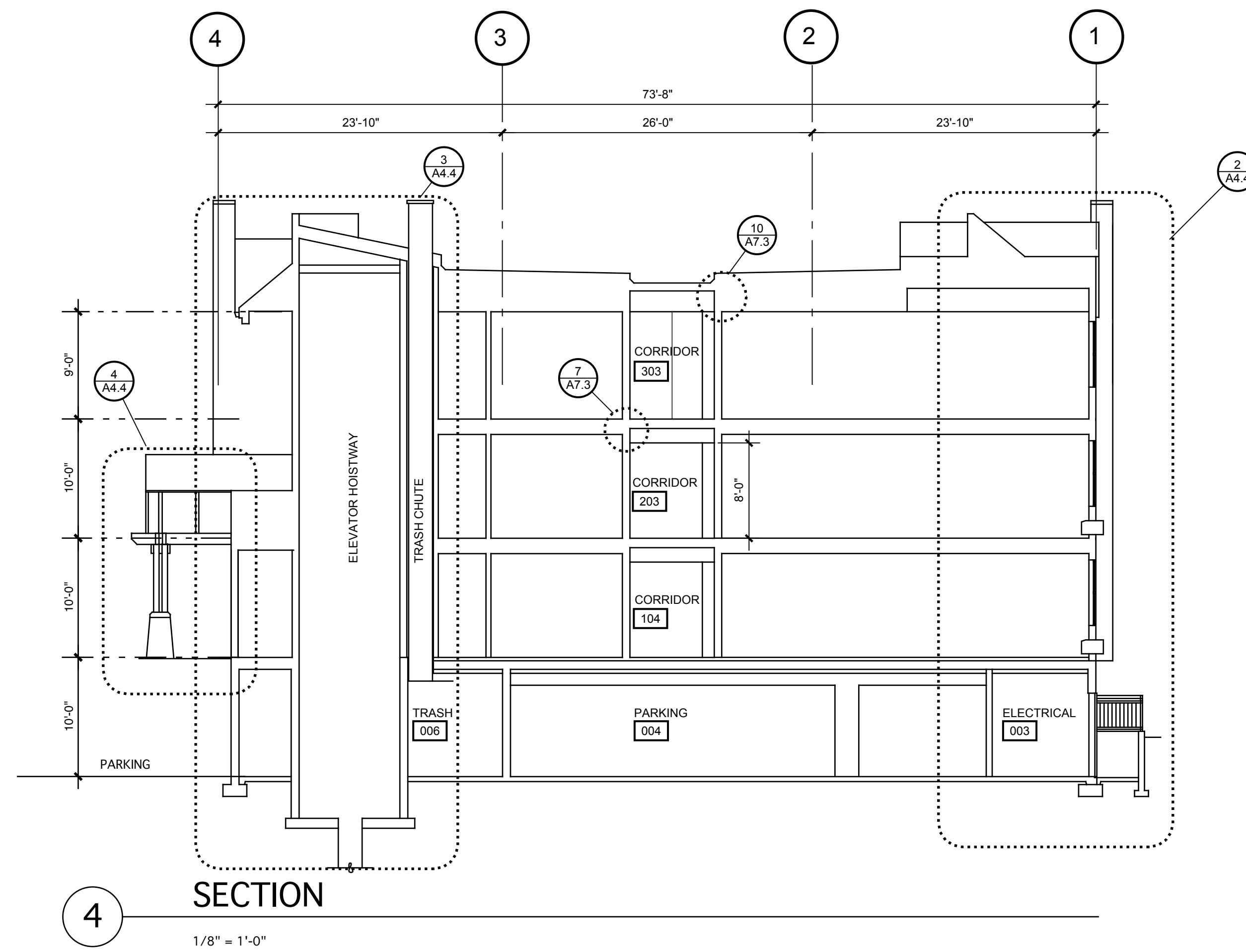
The Timbers at townne center

CONDOMINIUM BUILDING, PHASE 1



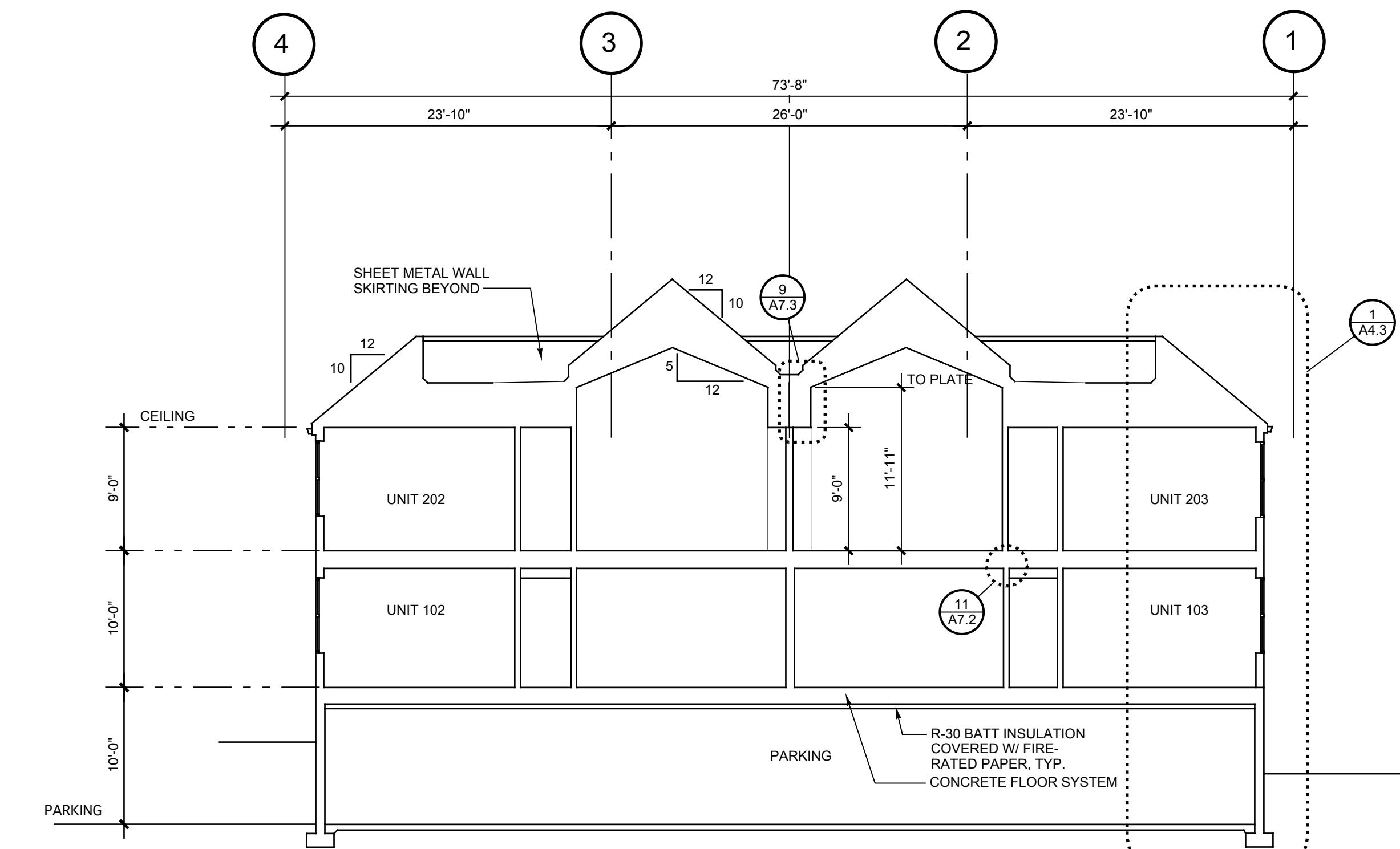
SECTION 3

1/8" = 1'-0"



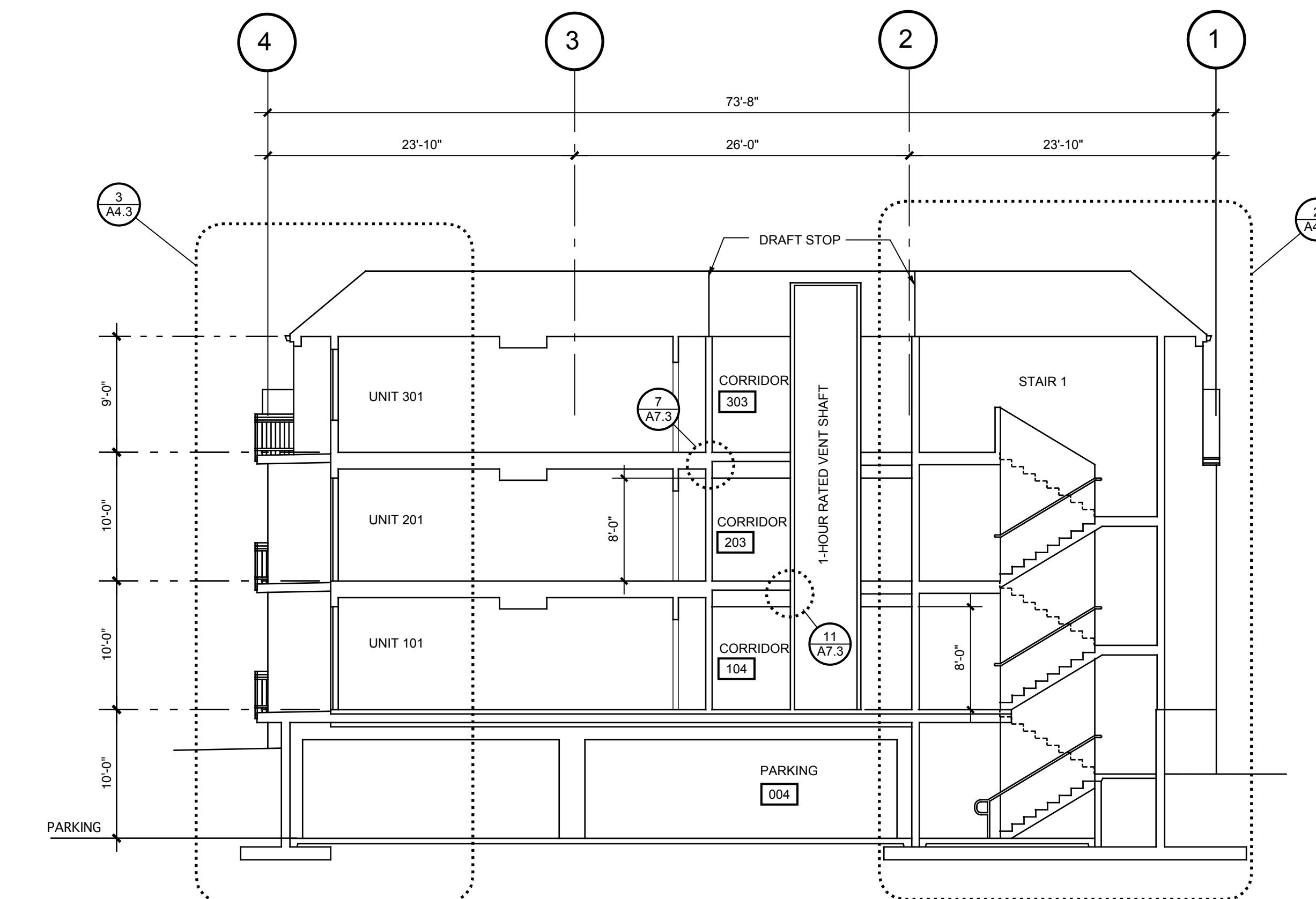
SECTION 4

1/8" = 1'-0"



SECTION 1

1/8" = 1'-0"



SECTION 2

1/8" = 1'-0"

Owner:
Salmon Creek Development LLC
800 Tenney Road, Suite 110
Vancouver, WA 98685
(360) 903-5825

Dates/Revisions:
12/18/07 PERMIT APPLICATION

BUILDING
SECTIONS

Sheet Number:

A4.1

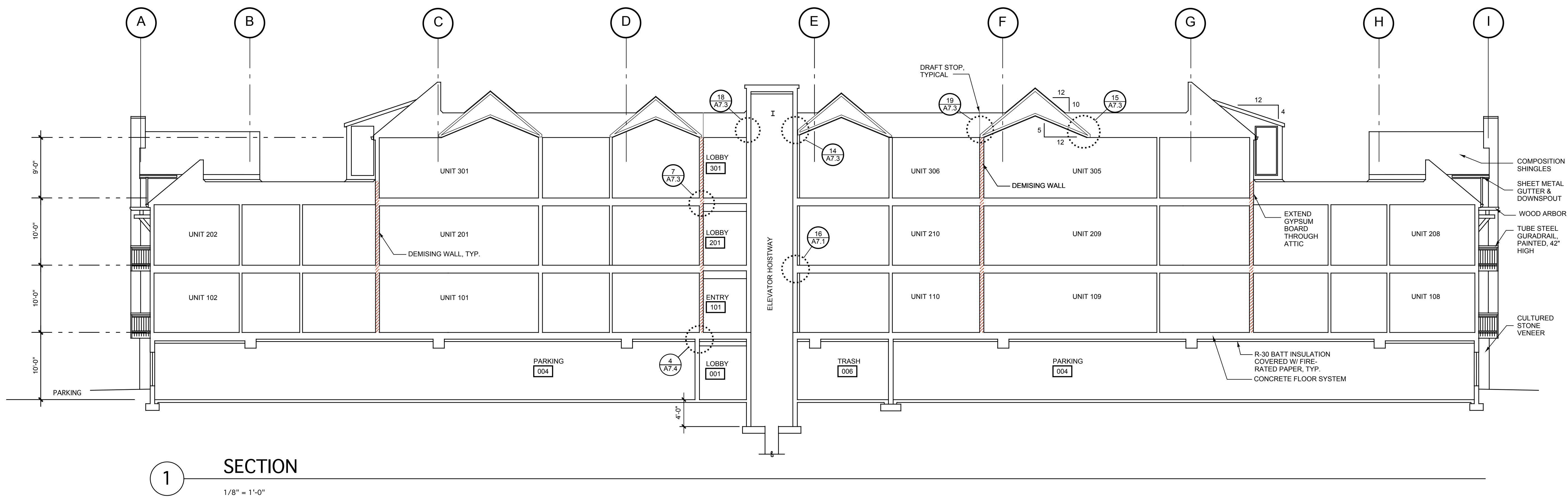
0503

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The Timbers at townie center

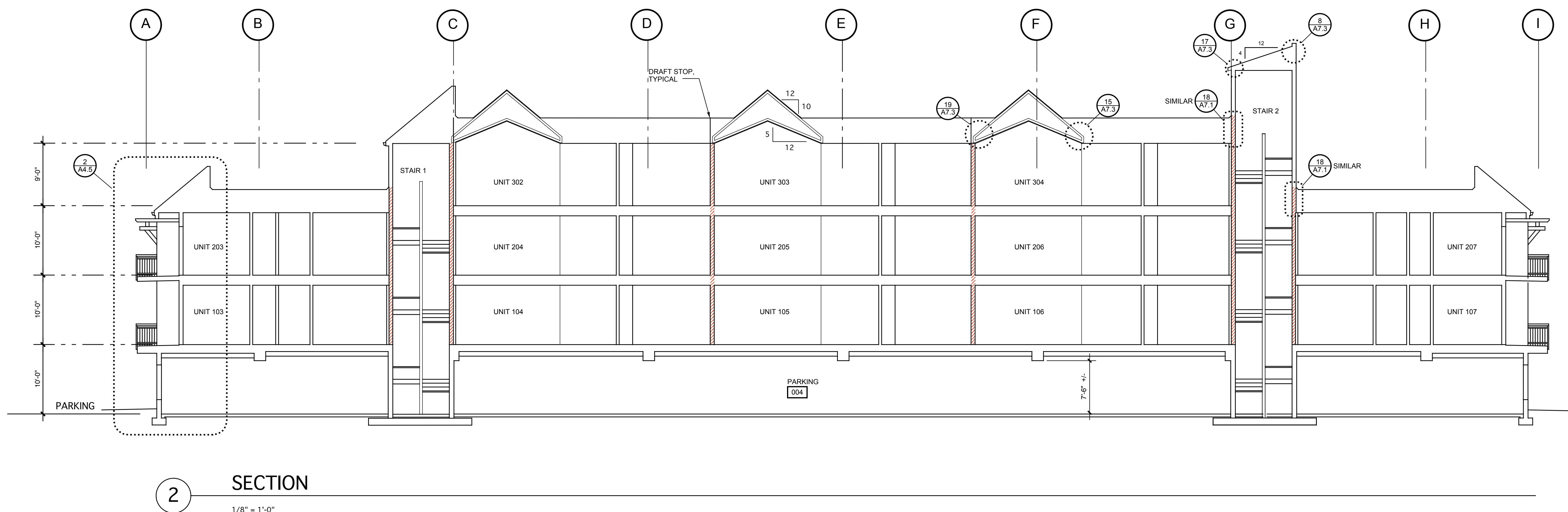
CONDOMINIUM BUILDING, PHASE 1



Owner:
Salmon Creek Development LLC
800 Tenney Road, Suite 110
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(360) 903-5825

Dates/Revisions:
12/18/07 PERMIT APPLICATION

BUILDING
SECTIONS



Sheet Number:

A4.2

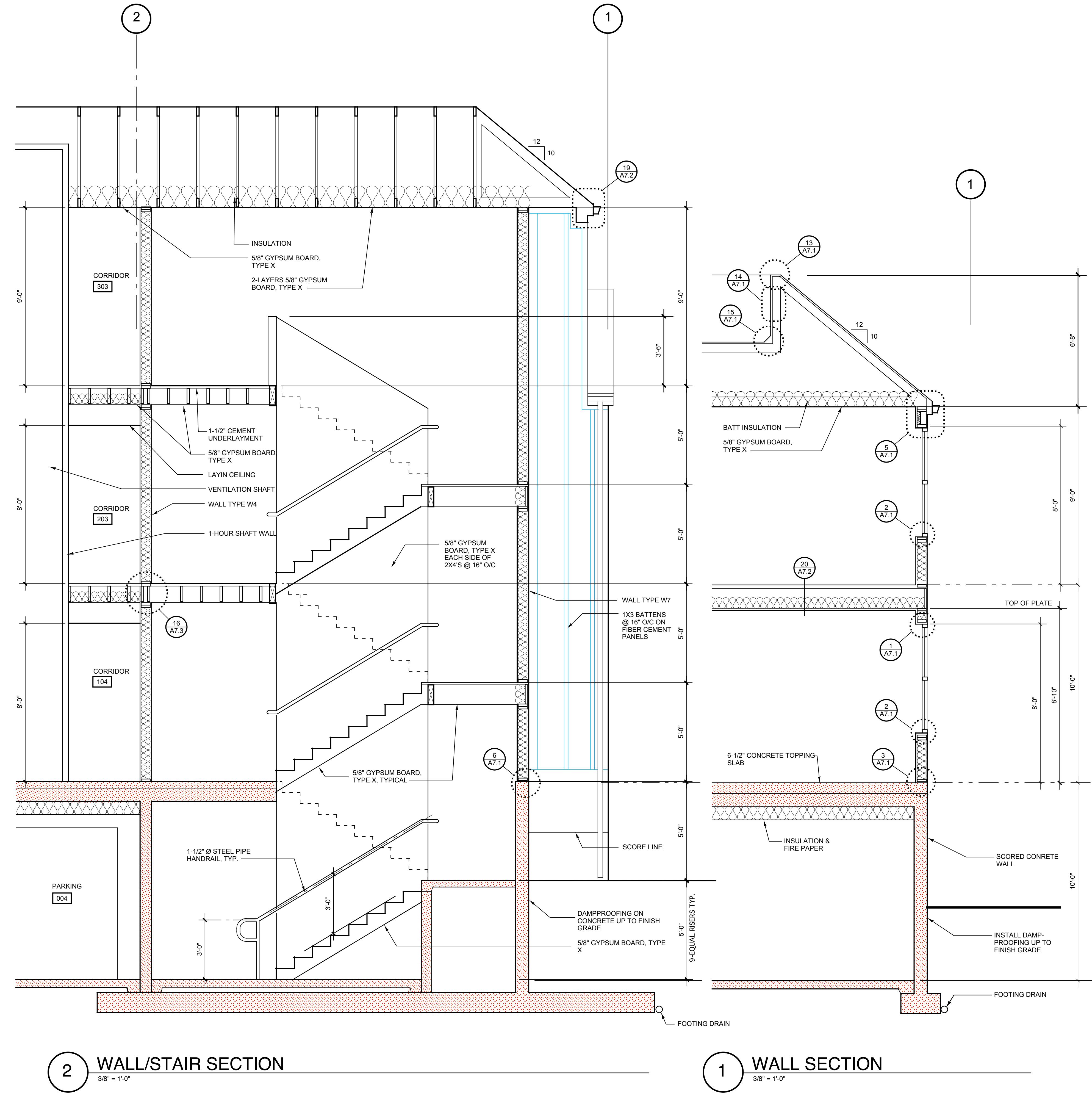
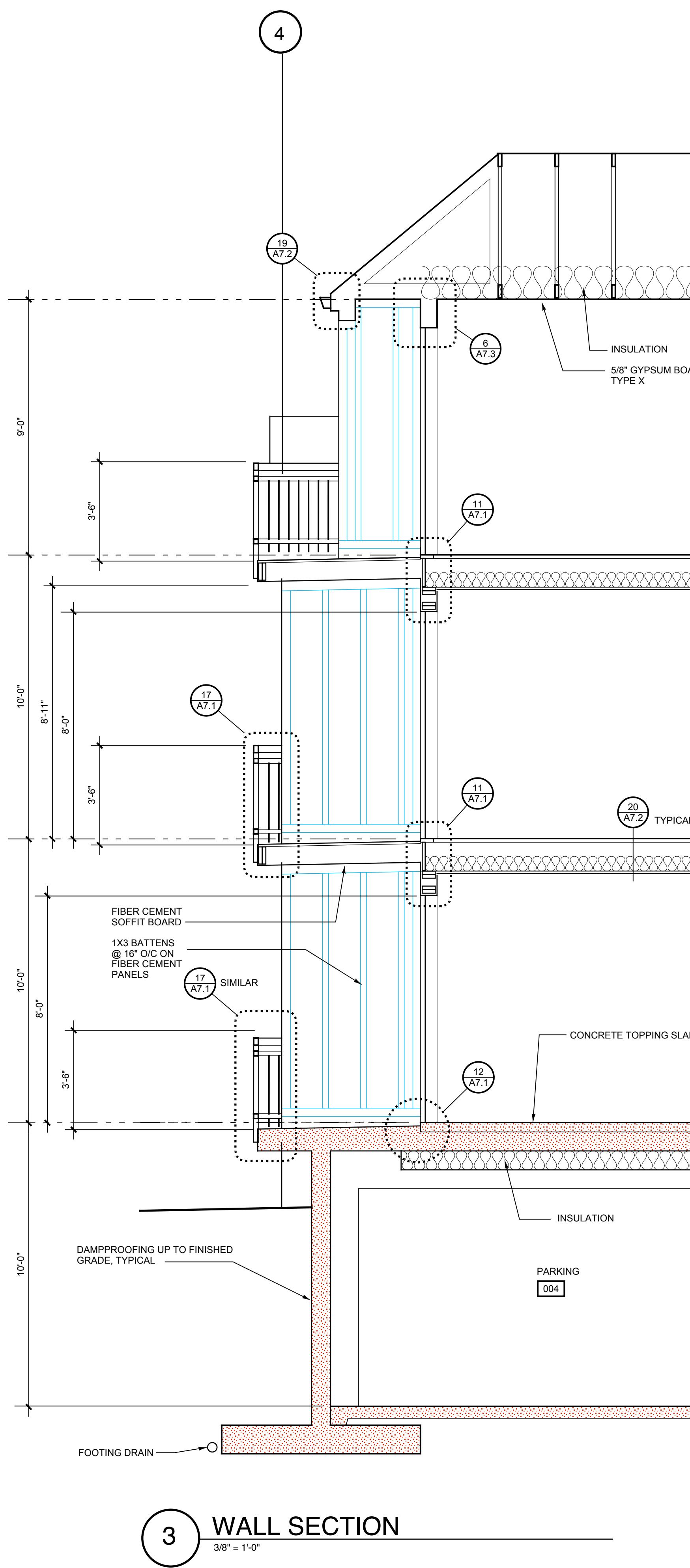
0503

The Timbers at town center

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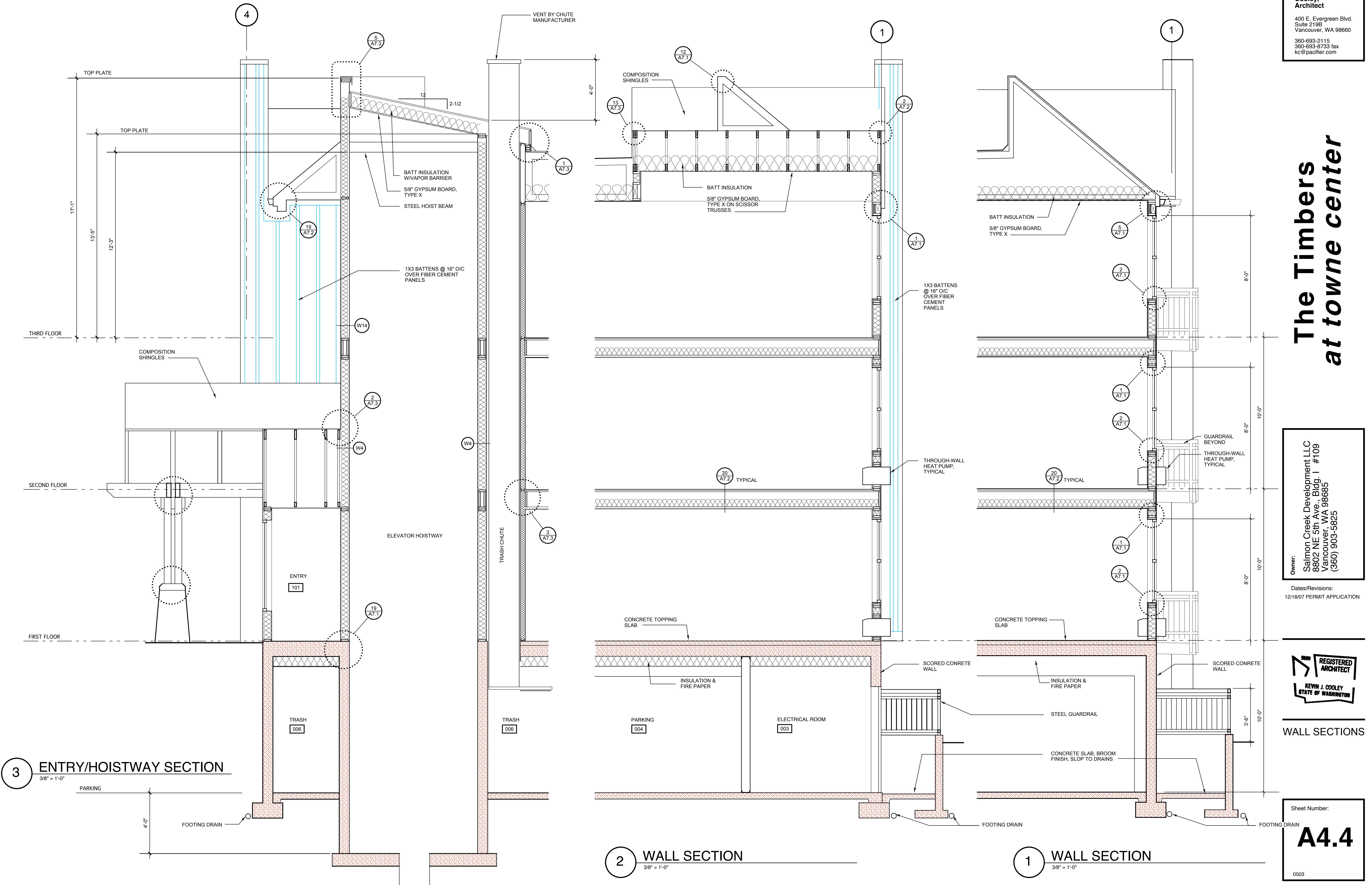
Dates/Revisions:



WALL SECTIONS

Sheet Number:
A4.
0503

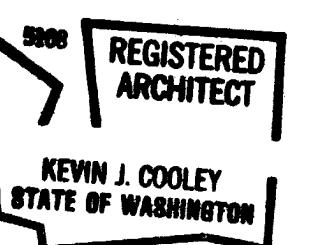
The Timbers at town center



The Timbers at town center

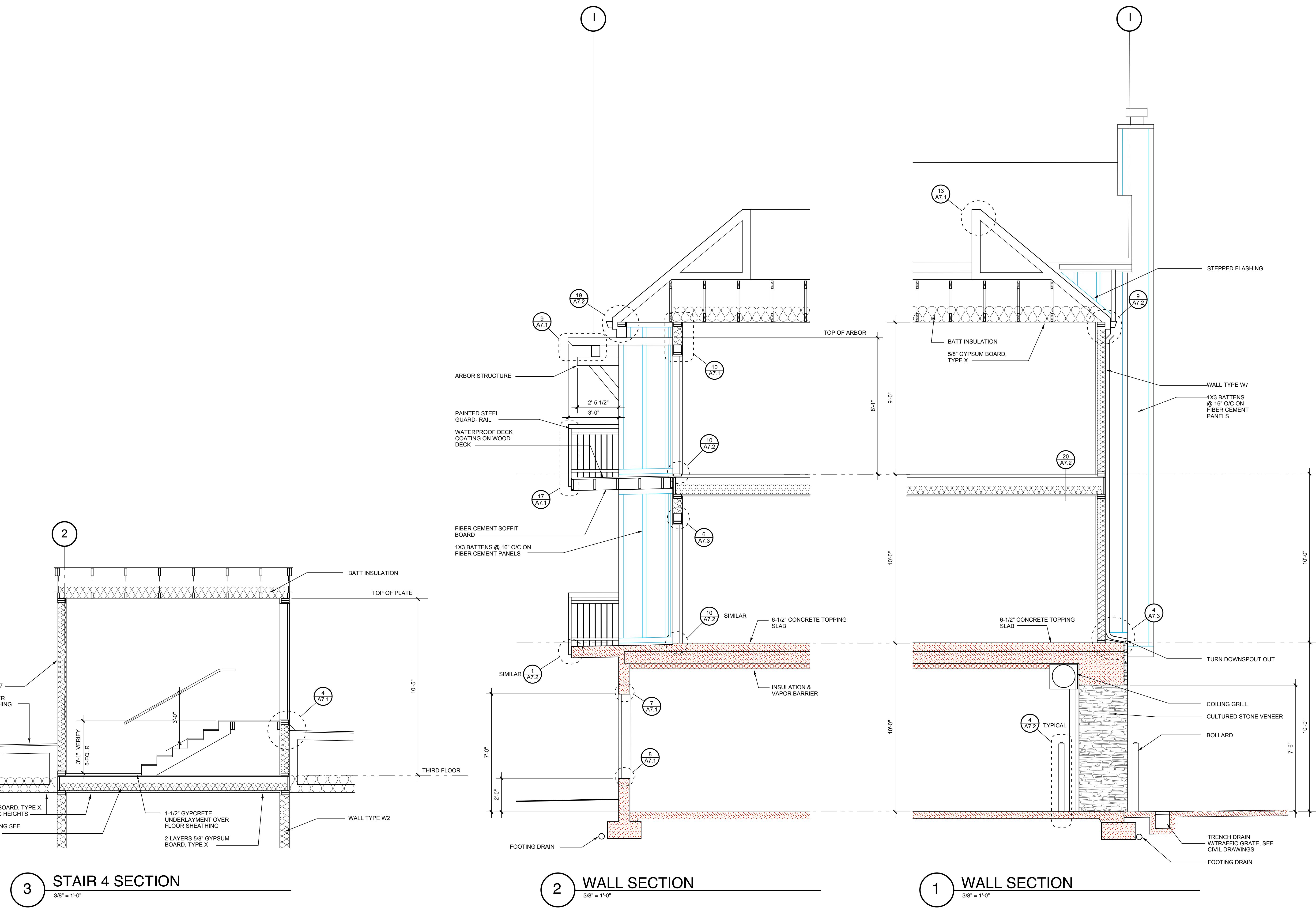
Owner:
Salmon Creek Development LLC
8802 NE 5th Ave., Bldg. I #109
Vancouver, WA 98685
(360) 903-5825

Dates/Revisions:
12/18/07 PERMIT APPLICATION



WALL SECTIONS

Sheet Number:
A4.5
0503

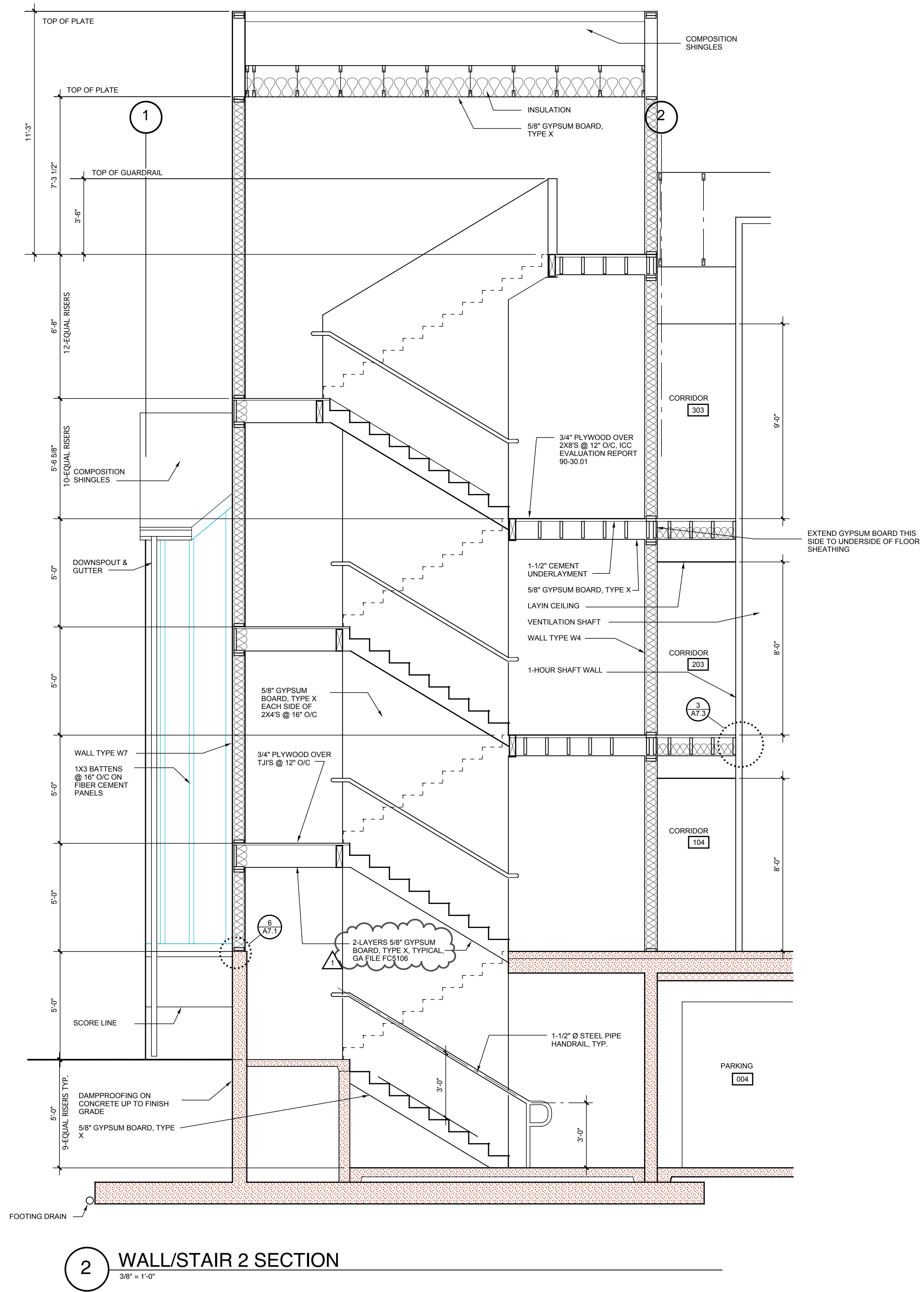


The Timbers at towne center

**Kevin
Cooley,
Architect**

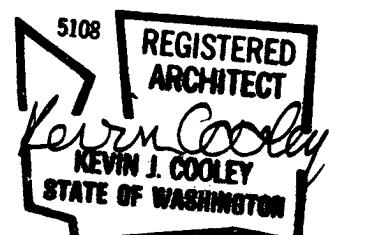
400 E. Evergreen Blvd.
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kcooley@pacifier.com



Owner:
Salmon Creek Development LLC
8802 NE 5th Ave., Bldg. I #109
Vancouver, WA 98685
(360) 903-5825

Dates/Revisions:
2/18/07 PERMIT APPLICATION
1/10/08 REVISION

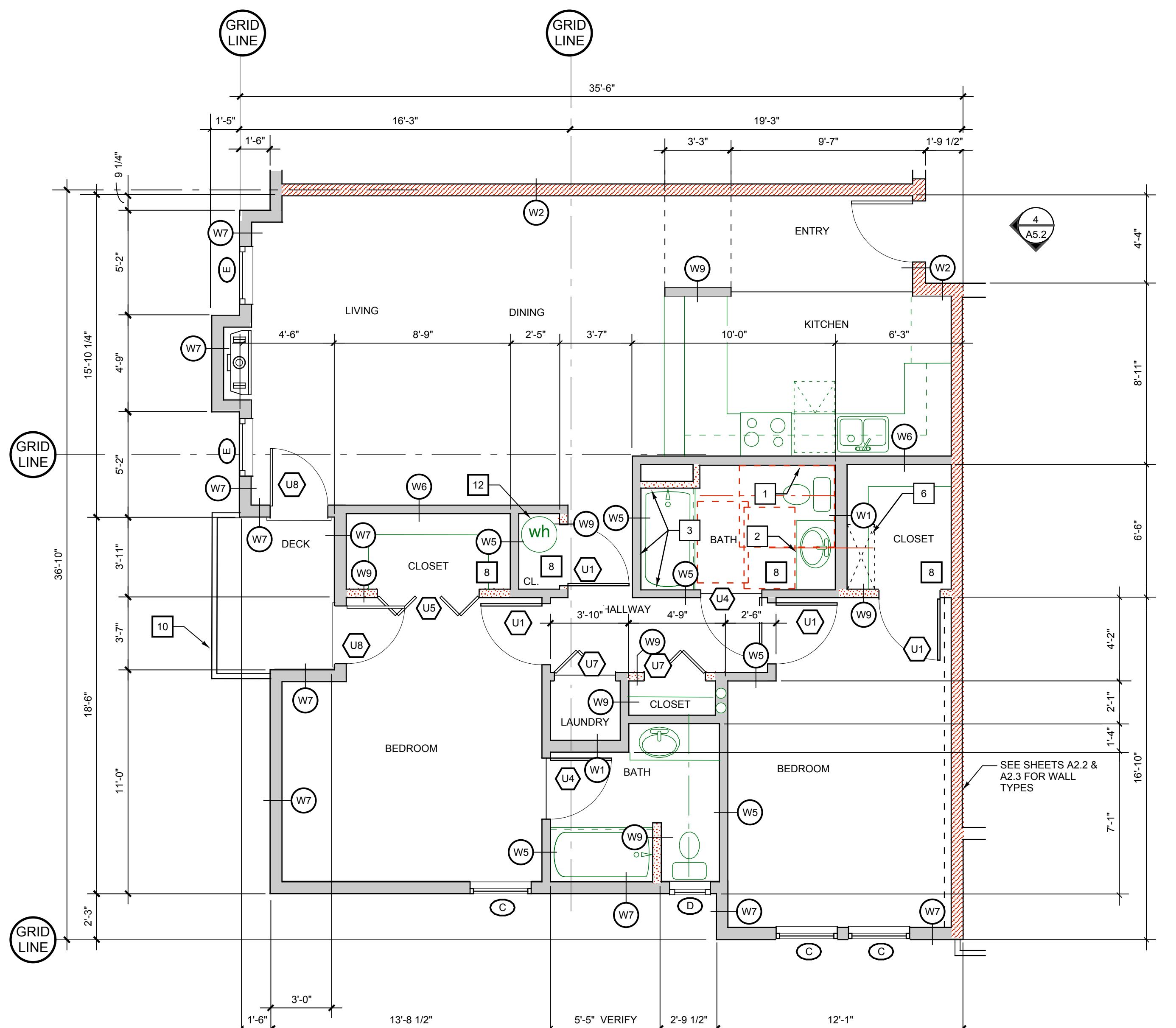


WALL SECTIONS

Sheet Number:

A4.6

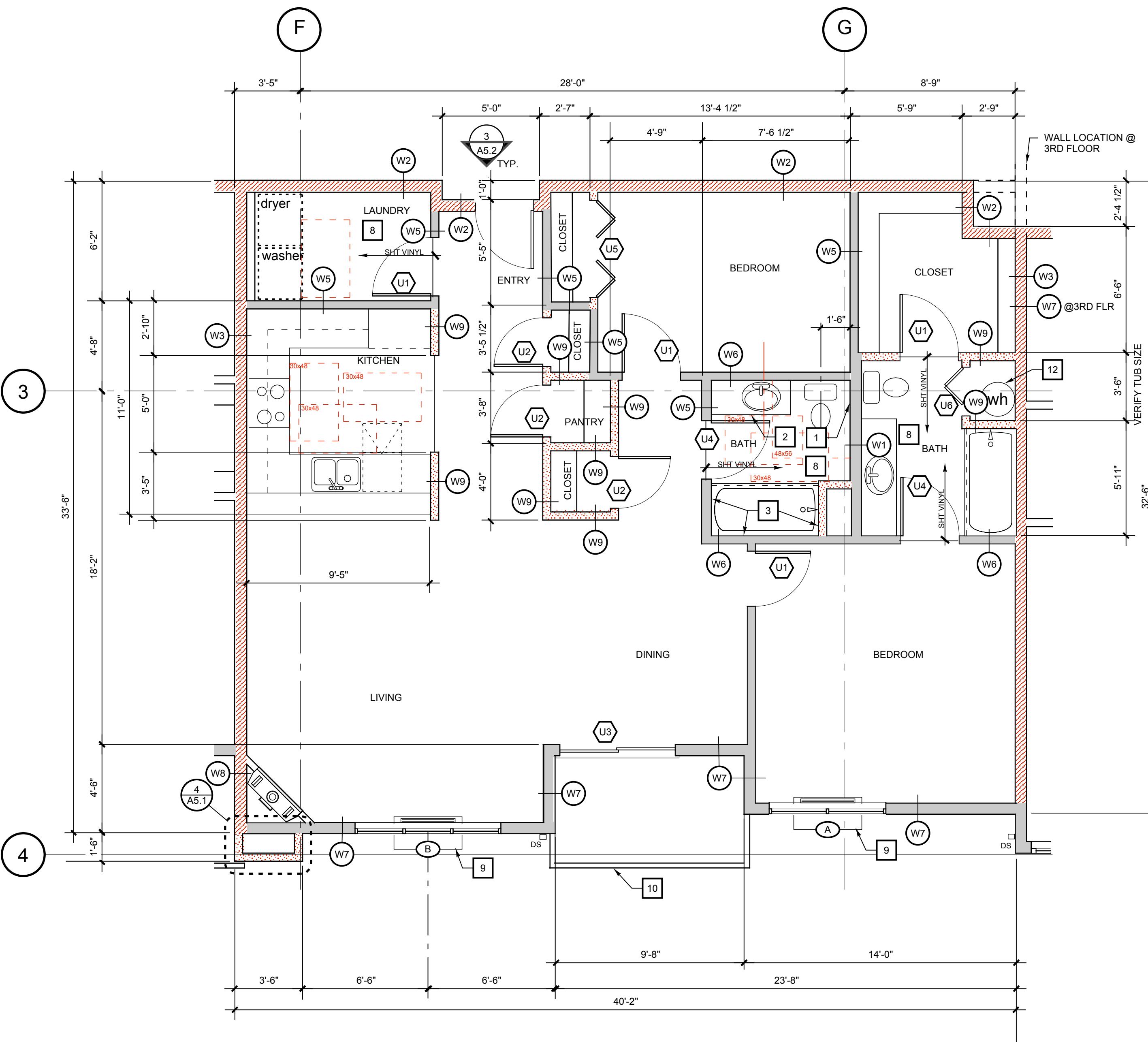
The Timbers at town center



2 UNIT B

$1/4'' = 1'-0"$
UNITS: 102, 107, 202, 207 REVERSED: 103, 108, 203, 208

1,193 sf



1 UNIT A

$1/4'' = 1'-0"$
UNITS: 109, 209, 305

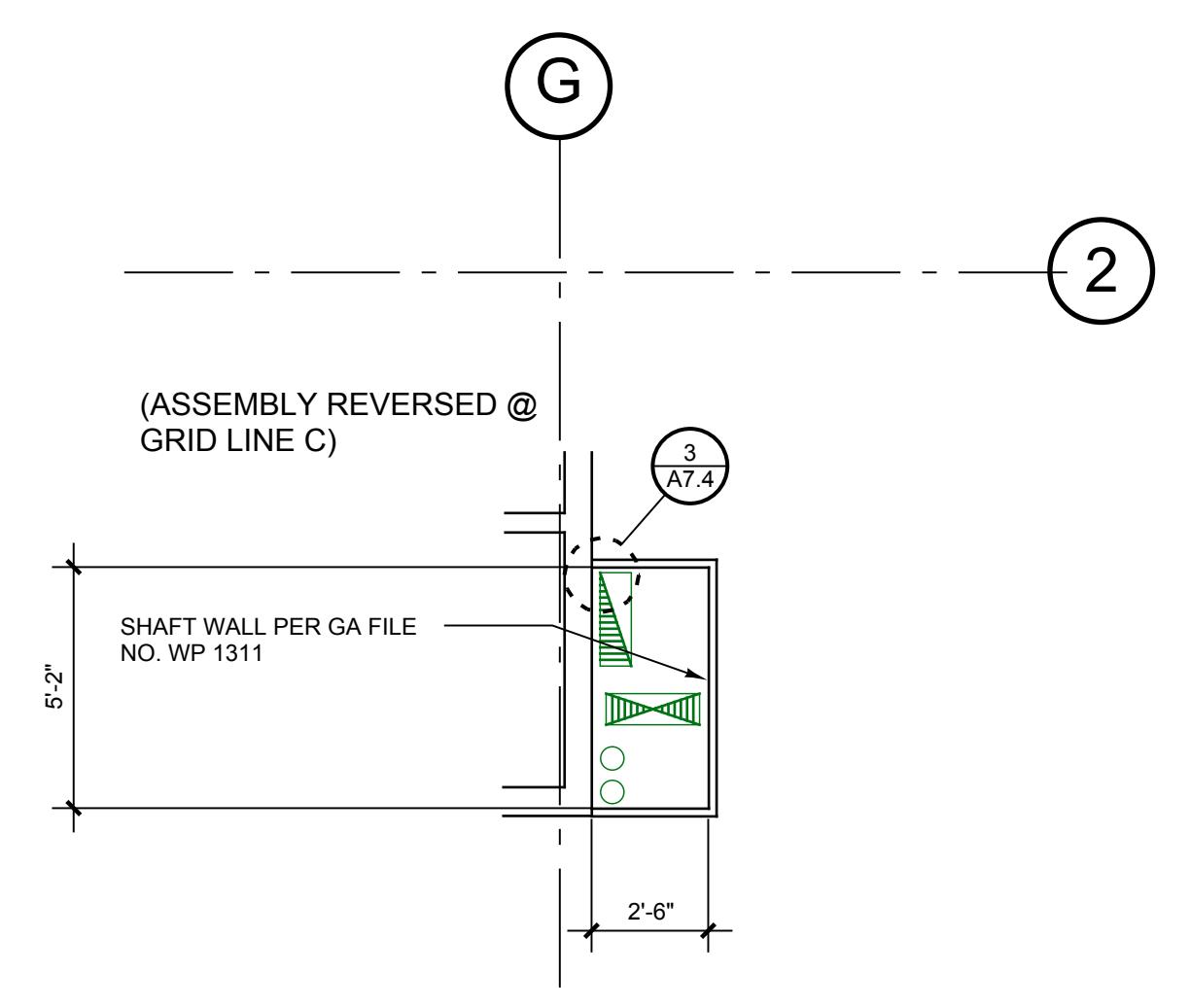
1,286 sf

Owner:
Salmon Creek Development LLC
800 Tenney Road, Suite 110
Vancouver, WA 98685
(360) 903-5825

Dates/Revisions:
12/18/07 PERMIT APPLICATION
4/2/08

KEY NOTES	
1. INSTALL SOLID 2X10 BLOCKING FOR FUTURE INSTALLATION OF GRAB BAR.	10. 42" HIGH STEEL GUARDRAIL, PAINTED
2. TOP OF SINK RIM NOT TO EXCEED 34" ABOVE FLOOR.	11. SHEET METAL TRASH CHUTE.
3. INSTALL 2 ROWS OF SOLID 2X10 BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS.	12. INSTALL WATER HEATER IN PAN, STRAP TO STRUCTURE & DRAIN BLOW-OFF TO APPROVED DRAIN.
4. 27" CLEAR HEIGHT KNEE SPACE UNDER KITCHEN SINK & VANITY.	13. 1/2" HIGH THRESHOLD, MAXIMUM
5. 36" WIDE WORK SURFACE 34" HIGH & 27" HIGH KNEE SPACE BELOW.	14. TEMPERED, INSULATED GLASS
6. 2-RATED SHAFT, WALL PER GA FILE NO. WP 7051, INSULATE	15. 2-LAYERS 5/8" GYPSUM BOARD, THIS FACE
7. SEE STRUCTURAL PLANS FOR SHEAR WALL LOCATIONS	
8. FALSE CEILING ABOVE, NOT REQUIRED WHERE ATTIC ABOVE, SEE 11A7.2	
9. THROUGH-WALL HEAT PUMP	

GA FILE NO. WP 1311	PROPRIETARY*	1 HOUR FIRE	35 to 39 STC SOUND
SOLID GYPSUM WALLBOARD			
One layer 1/2" regular gypsum wallboard or gypsum veneer base applied parallel to each side of 1" x 24" proprietary type X gypsum panels with laminating compound combed over the entire contact surface and 1/16" Type S screws 24" o.c. horizontally and vertically. 1" gypsum coreboard panels attached to 25 gage 1" x 2 1/4" high "L" runners along floor and ceiling lines with two 1/8" Type S screws at top and bottom. Wallboard layers attached to "L" runners with 1/8" Type S screws 12" o.c.			
Joints staggered 12" each layer and side. (NLB)			
PROPRIETARY GYPSUM BOARD		Thickness: 2"	
National Gypsum Company		Limiting Height: 11'0"	
-		Approx. Weight: 8 psf	
1" Gold Bond® Brand FIRE-SHIELD®		Fire Test: FM WP-671, 6-28-82	
Shaftliner		Sound Test: Based on NGC 2359, 11-18-69	



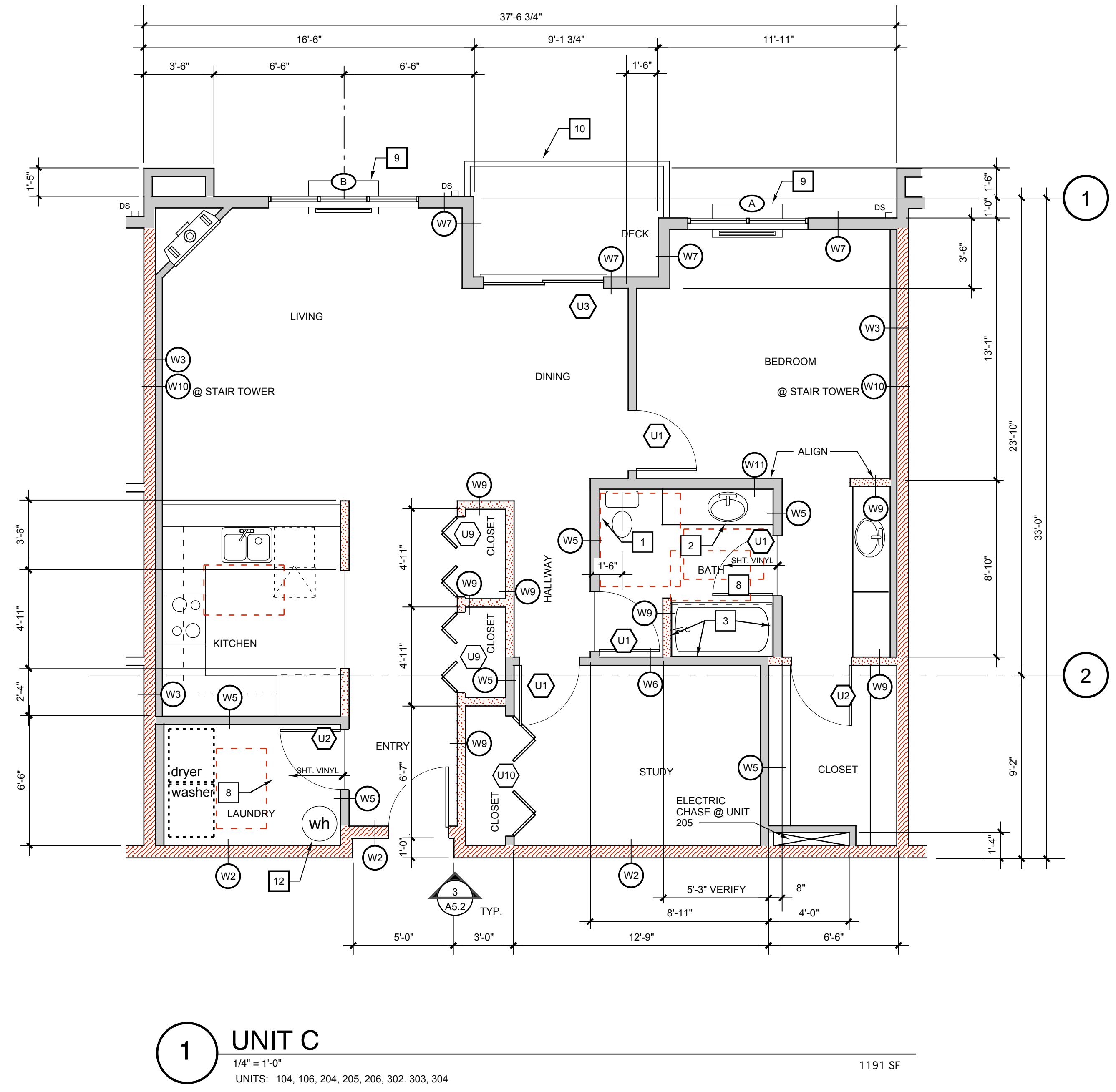
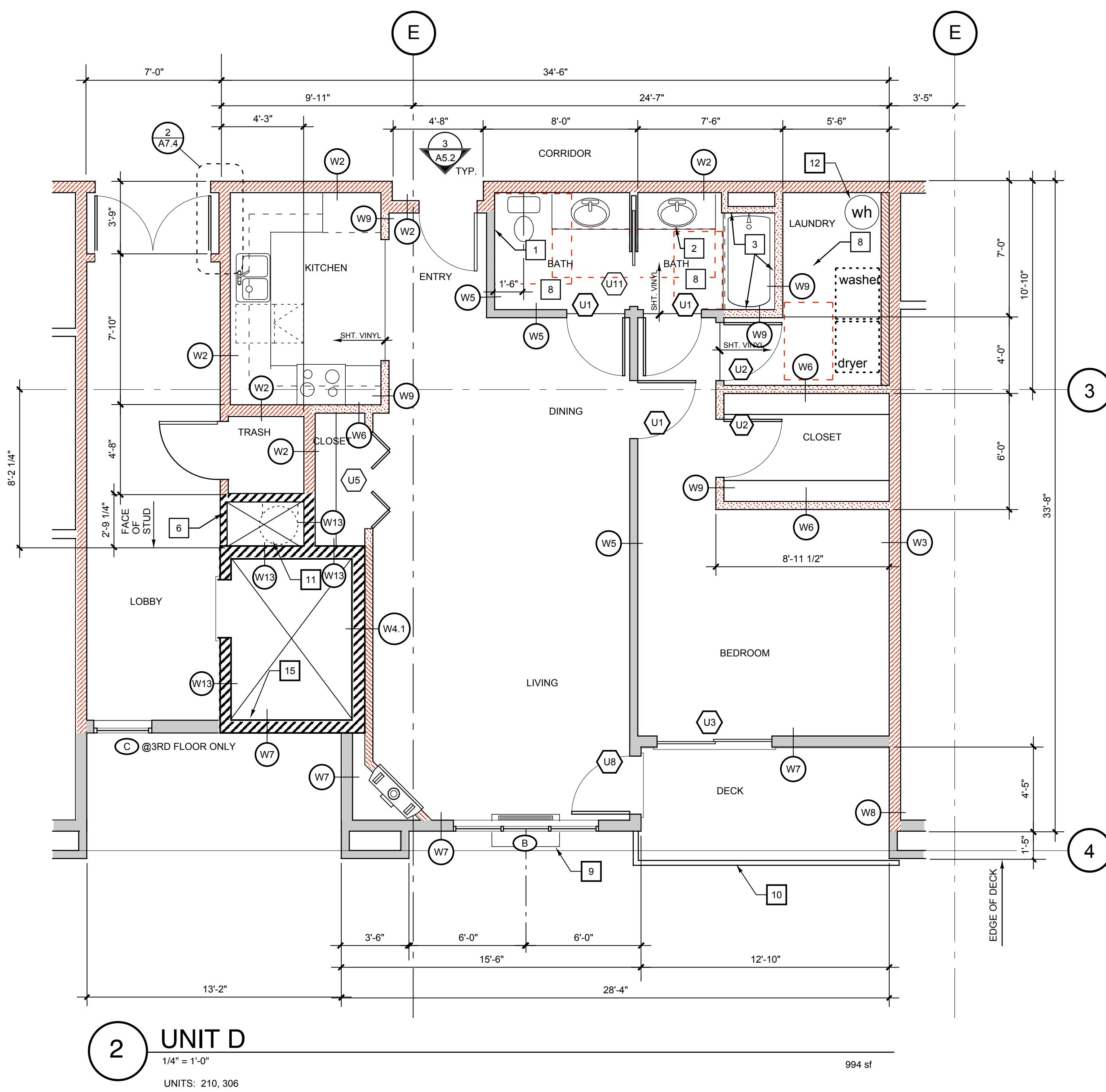
3 CORRIDOR VENTILATION SHAFT
 $1/4'' = 1'-0"$

Sheet Number:
A5.1
0503

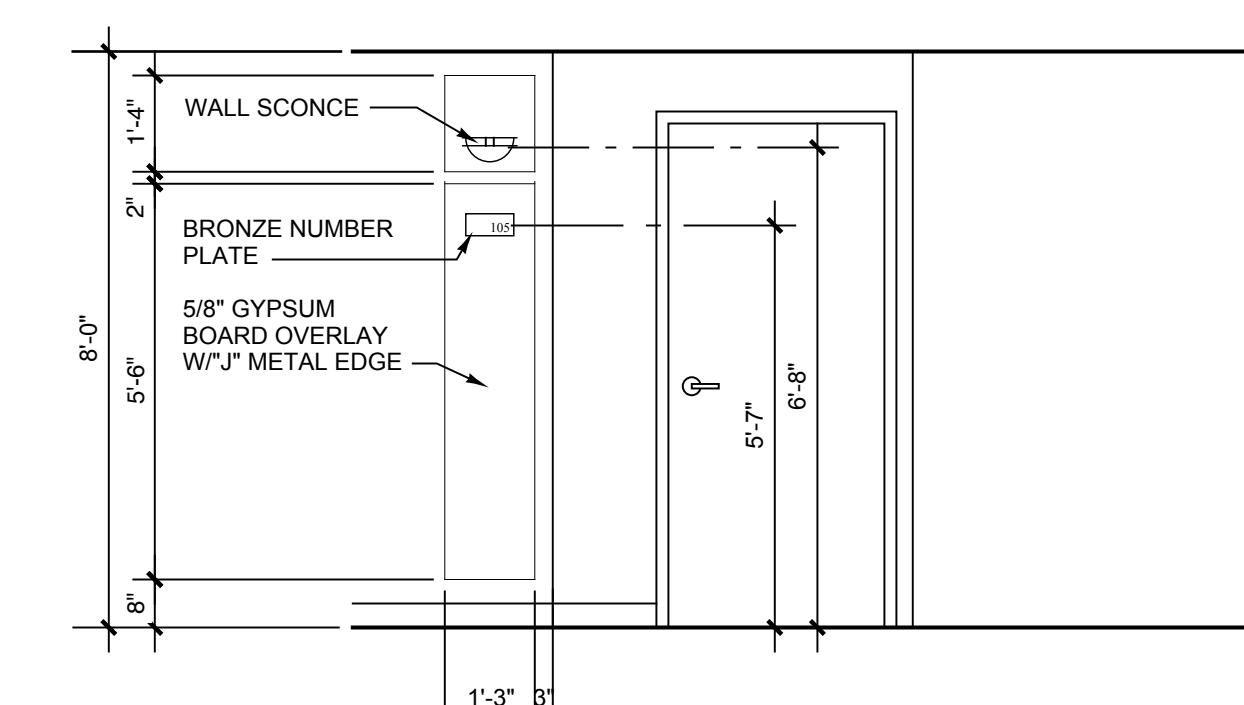
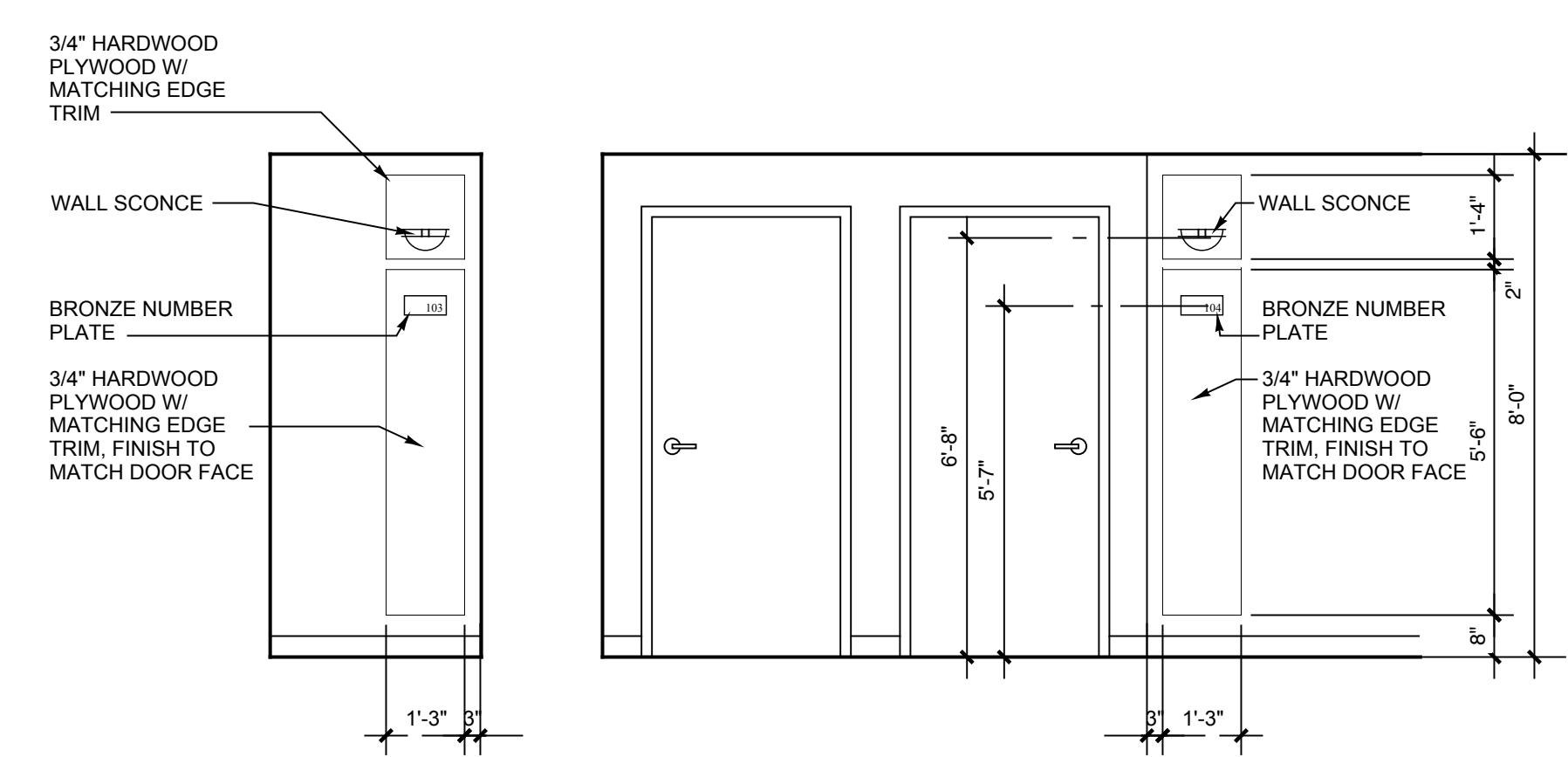
The Timbers at town center

Owner:
Salmon Creek Development LLC
800 Tenney Road, Suite 110
Vancouver, WA 98685
(360) 903-5825

Dates/Revisions:
12/18/07 PERMIT APPLICATION
4/2/08



KEY NOTES	
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6. 2-RATED SHAFT, WALL PER GA FILE NO. WP 7051, INSULATE	15. 2-LAYERS 5/8" GYPSUM BOARD, THIS FACE
7. SEE STRUCTURAL PLANS FOR SHEAR WALL LOCATIONS	
8. FALSE CEILING ABOVE, NOT REQUIRED WHERE ATTIC ABOVE, SEE 11A7.2	
9. THROUGH-WALL HEAT PUMP	



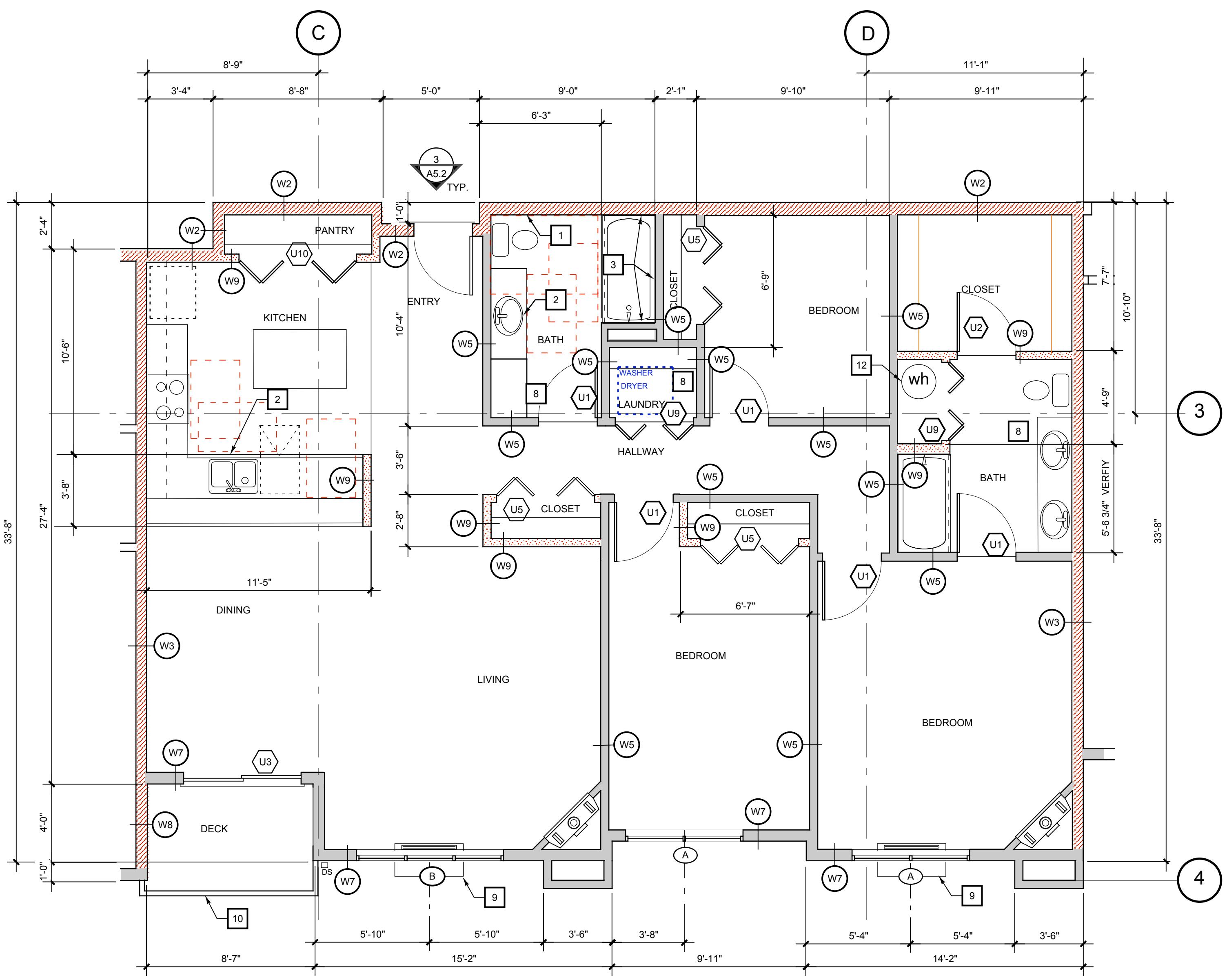
4 TYPICAL B UNIT ENTRIES
3/8" = 1'-0"
(UNITS 103 & 104 SHOWN)

3 TYPICAL UNIT ENTRY
3/8" = 1'-0"
(UNIT 105 SHOWN)

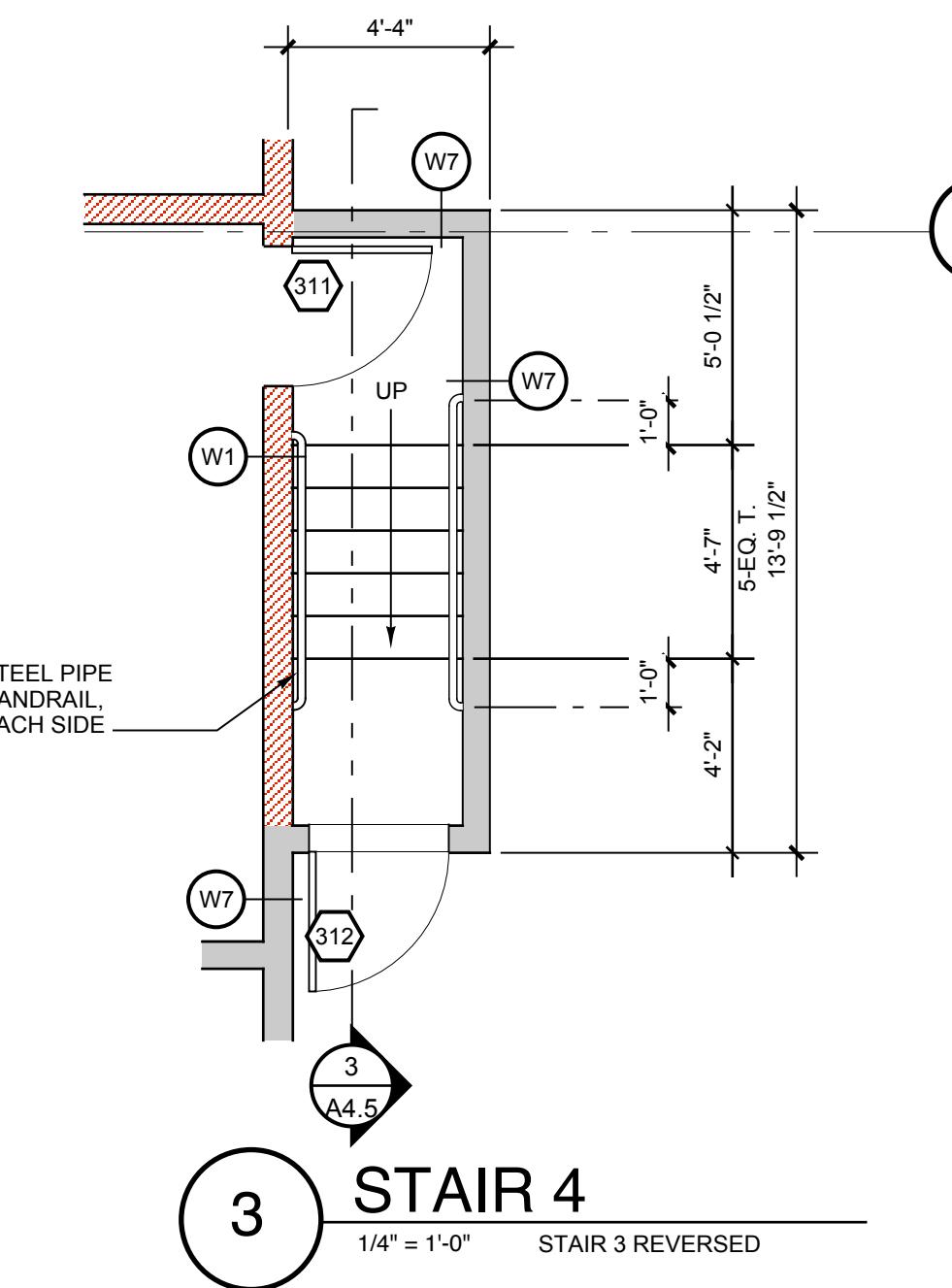
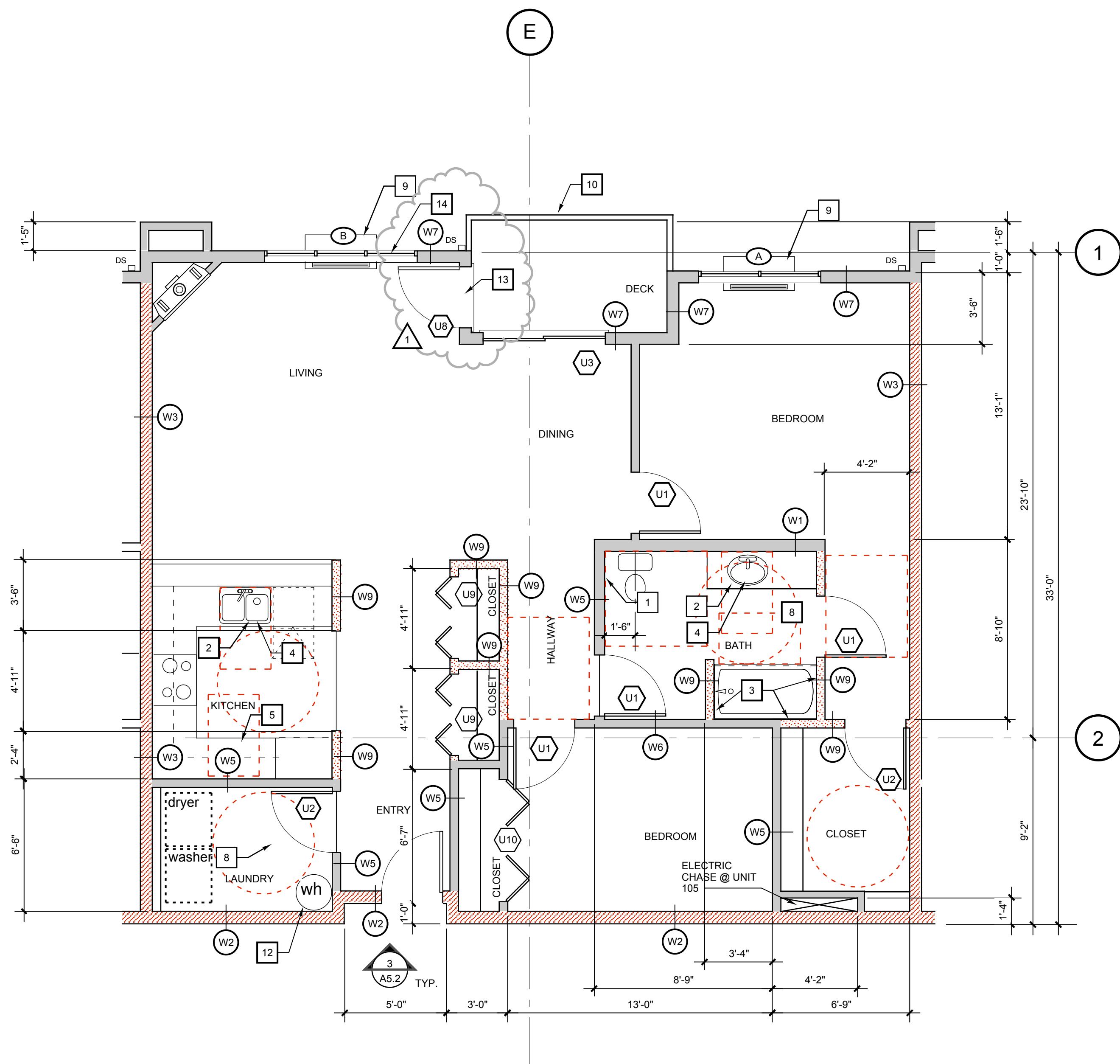
Sheet Number:
A5.2
0503

ENLARGED
PLANS,
UNITS C & D

The Timbers at town center



KEY NOTES	
1. INSTALL SOLID 2X10 BLOCKING FOR FUTURE INSTALLATION OF GRAB BAR.	10. 42" HIGH STEEL GUARDRAIL, PAINTED
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6. 2-RATED SHAFT, WALL PER GA FILE NO. WP 7051, INSULATE	15. 2-LAYERS 5/8" GYPSUM BOARD, THIS FACE
7. SEE STRUCTURAL PLANS FOR SHEAR WALL LOCATIONS	
8. FALSE CEILING ABOVE, NOT REQUIRED WHERE ATTIC ABOVE, SEE 11A7.2	
9. THROUGH-WALL HEAT PUMP	



ENLARGED
PLAN, UNIT E,
UNIT #105 &
STAIR 4

Sheet Number:
A5.3
0503

Owner:
Salmon Creek Development LLC
800 Tenney Road, Suite 110
Vancouver, WA 98685
(360) 903-5825

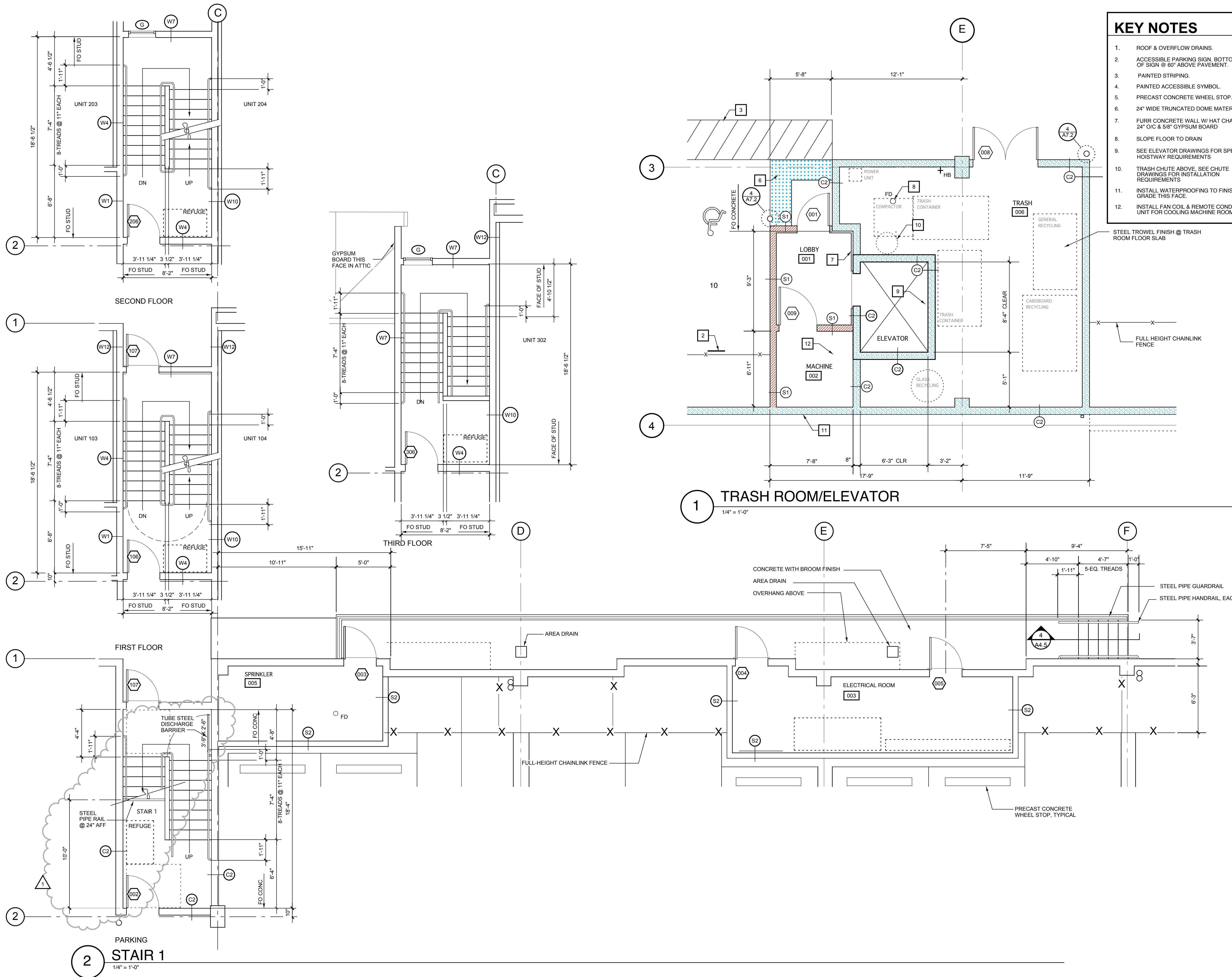
Dates/Revisions:
12/18/07 PERMIT APPLICATION
4/2/08

The Timbers at towne center

**Kevin
Cooley,
Architect**

KEY NOTES

1. ROOF & OVERFLOW DRAINS.
 2. ACCESSIBLE PARKING SIGN. BOTTOM EDGE OF SIGN @ 60" ABOVE PAVEMENT.
 3. PAINTED STRIPING.
 4. PAINTED ACCESSIBLE SYMBOL.
 5. PRECAST CONCRETE WHEEL STOP.
 6. 24" WIDE TRUNCATED DOME MATERIAL
 7. FURR CONCRETE WALL W/ HAT CHANNEL @ 24" O/C & 5/8" GYPSUM BOARD
 8. SLOPE FLOOR TO DRAIN
 9. SEE ELEVATOR DRAWINGS FOR SPECIFIC HOISTWAY REQUIREMENTS
 10. TRASH CHUTE ABOVE, SEE CHUTE DRAWINGS FOR INSTALLATION REQUIREMENTS
 11. INSTALL WATERPROOFING TO FINISH GRADE THIS FACE.
 12. INSTALL FAN COIL & REMOTE CONDENSING UNIT FOR COOLING MACHINE ROOM ONLY.



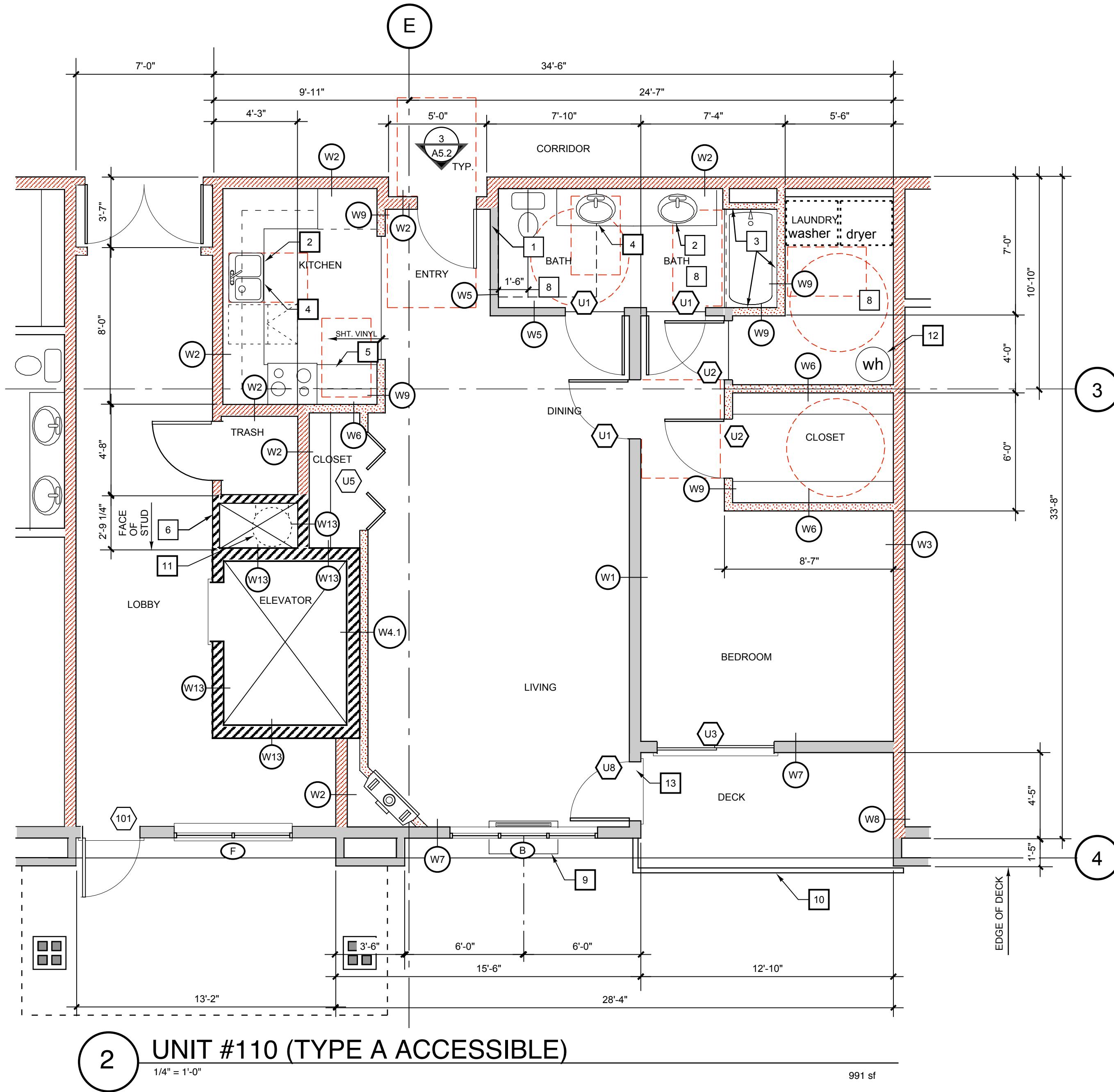
Salmon Creek Development LLC
800 Tenney Road, Suite 110
Vancouver, WA 98685
(360) 903-5825

Dates/Revisions:

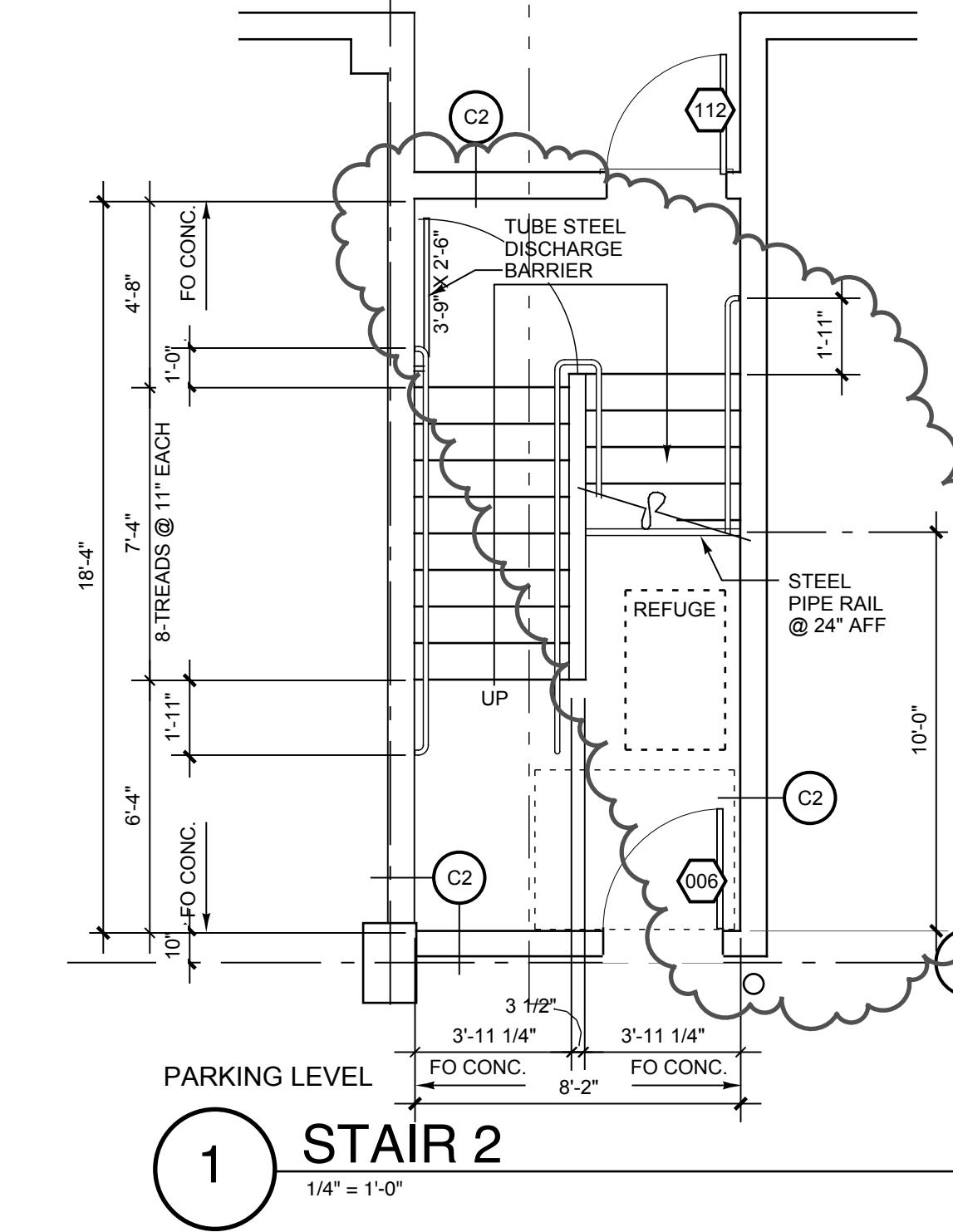
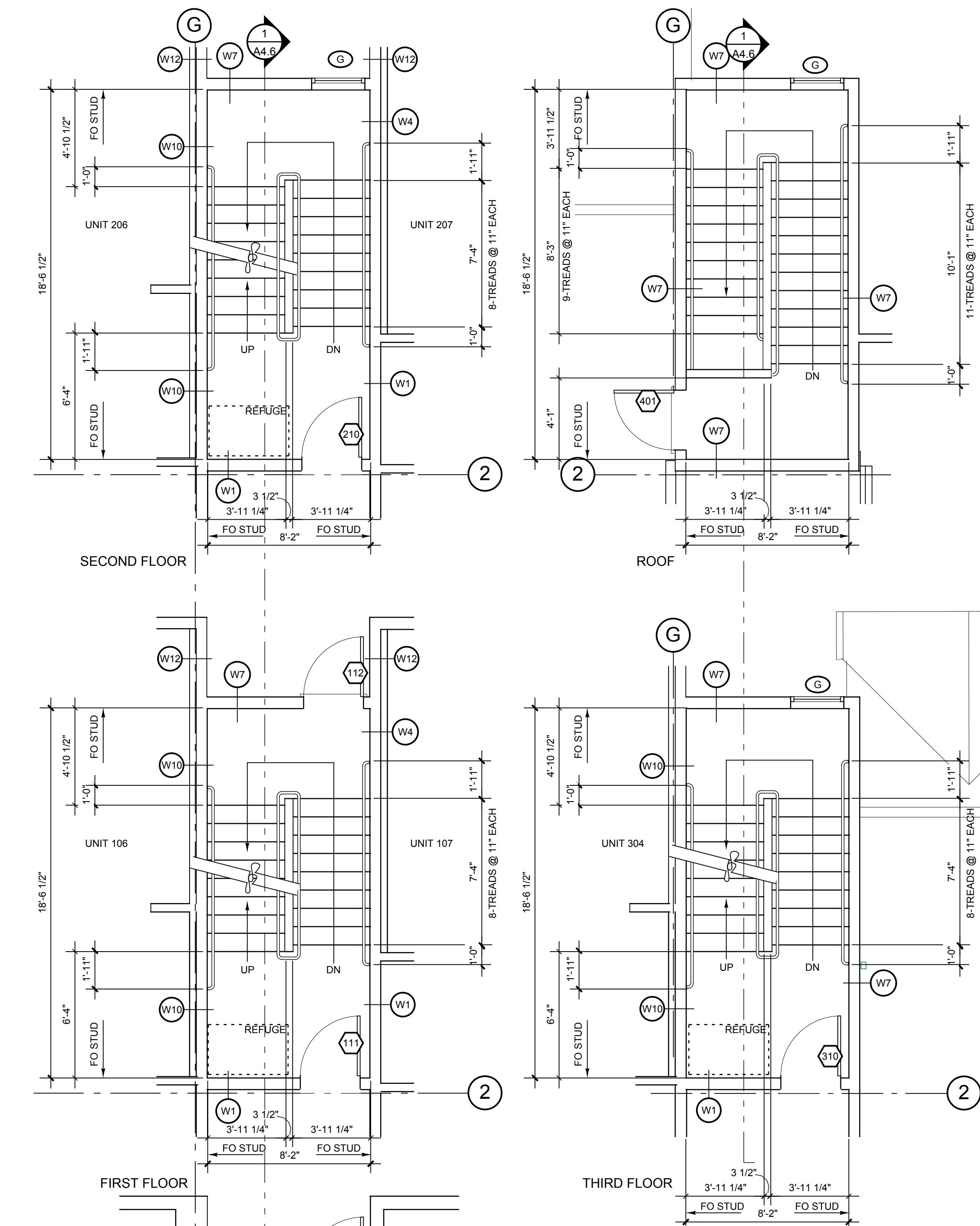
**ENLARGED
PLAN - TRASH
ROOM, STAIR 1**

Sheet Number:
A5.4

The Timbers at town center



KEY NOTES	
1. INSTALL SOLID 2X10 BLOCKING FOR FUTURE INSTALLATION OF GRAB BAR.	10. 42" HIGH STEEL GUARDRAIL, PAINTED
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6. 2-RATED SHAFT WALL PER GA FILE NO. WP 7051, INSULATE	15. 2-LAYERS 5/8" GYPSUM BOARD, THIS FACE
7. SEE STRUCTURAL PLANS FOR SHEAR WALL LOCATIONS	
8. FALSE CEILING ABOVE, NOT REQUIRED WHERE ATTIC ABOVE, SEE 11A7.2	
9. THROUGH-WALL HEAT PUMP	



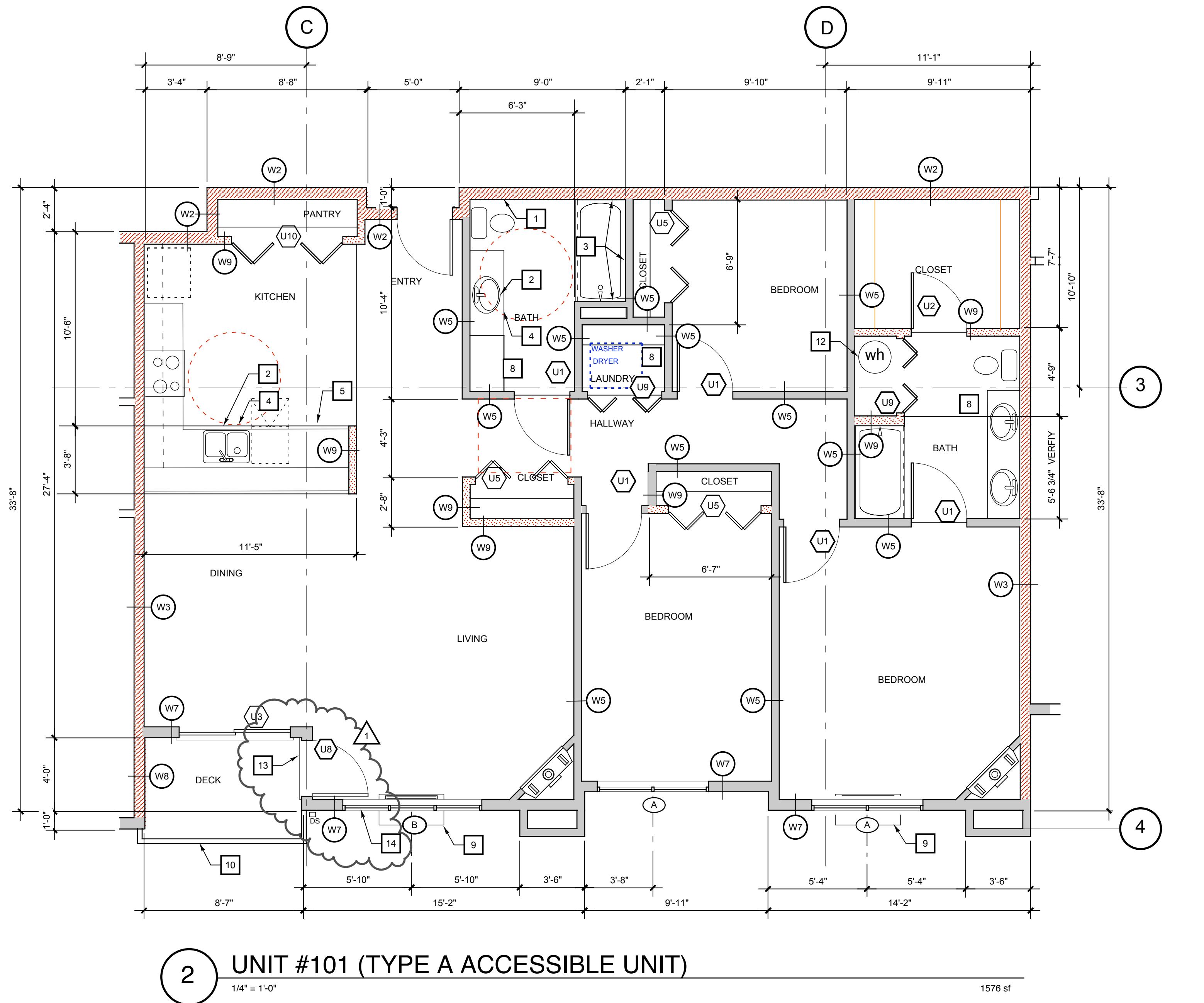
Owner:
Salmon Creek Development LLC
800 Tenney Road, Suite 110
Vancouver, WA 98685
(360) 903-5825

Dates/Revisions:
12/18/07 PERMIT APPLICATION
4/2/08

ENLARGED
PLANS, STAIR 2
UNIT #110,
TYPE A
ACCESSIBLE

Sheet Number:
A5.5
0503

The Timbers at town center



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(360) 903-5825

Dates/Revisions:
12/18/07 PERMIT APPLICATION
4/2/08

KEY NOTES

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6. 2-RATED SHAFT WALL PER GA FILE NO. WP 7051, INSULATE
7. SEE STRUCTURAL PLANS FOR SHEAR WALL LOCATIONS
8. FALSE CEILING ABOVE, NOT REQUIRED WHERE ATTIC ABOVE, SEE 11A/7.2
9. THROUGH-WALL HEAT PUMP
10. 42" HIGH STEEL GUARDRAIL, PAINTED
11. SHEET METAL TRASH CHUTE.
12. INSTALL WATER HEATER IN PAN, STRAP TO STRUCTURE & DRAIN BLOW-OFF TO APPROVED DRAIN.
13. 1/2" HIGH THRESHOLD, MAXIMUM
14. TEMPERED, INSULATED GLASS
15. 2-LAYERS 5/8" GYPSUM BOARD, THIS FACE

ENLARGED
PLAN,
UNIT 101

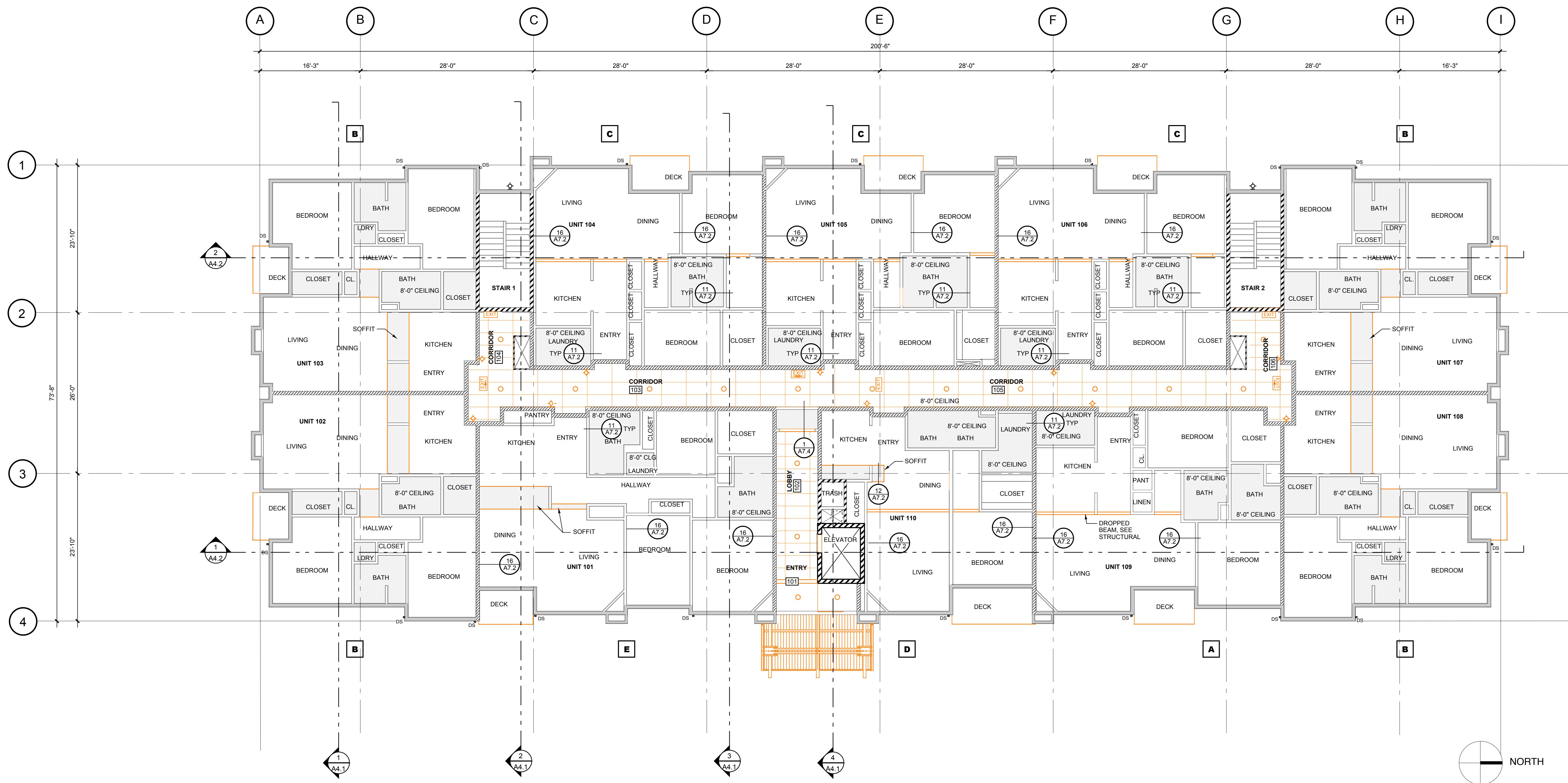
Sheet Number:

A5.6

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The Timbers at Towne Center

CONDOMINIUM BUILDING, PHASE 1



Owner:
Salmon Creek Development LLC
8802 NE 5th Ave., Bldg. 1 #109
Vancouver, WA 98685
(360) 903-5825

Dates/Revisions:
12/18/07 PERMIT APPLICATION

1 FIRST FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"

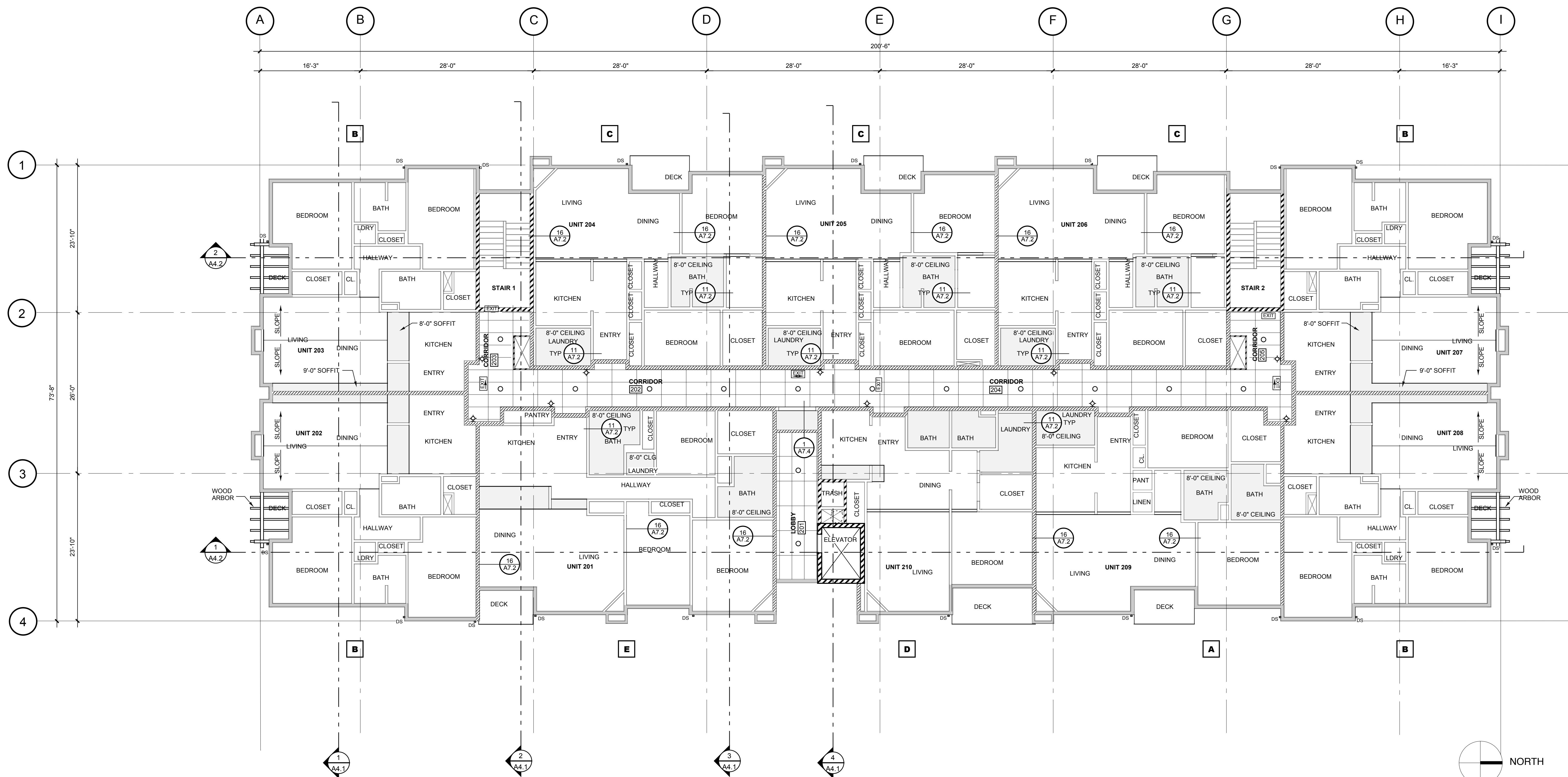
FIRST FLOOR
REFLECTED
CEILING
PLAN

Sheet Number:
A6.2
0503

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The Timbers at towne center

CONDOMINIUM BUILDING, PHASE 1



1 SECOND FLOOR REFLECTED CEILING PLAN

1/8" = 1'-0"

SECOND
FLOOR
REFLECTED
CEILING
PLAN

Sheet Number:
A6.3
0503

Owner:
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8802 NE 5th Ave., Bldg. I #109
Vancouver, WA 98685
(360) 903-5825

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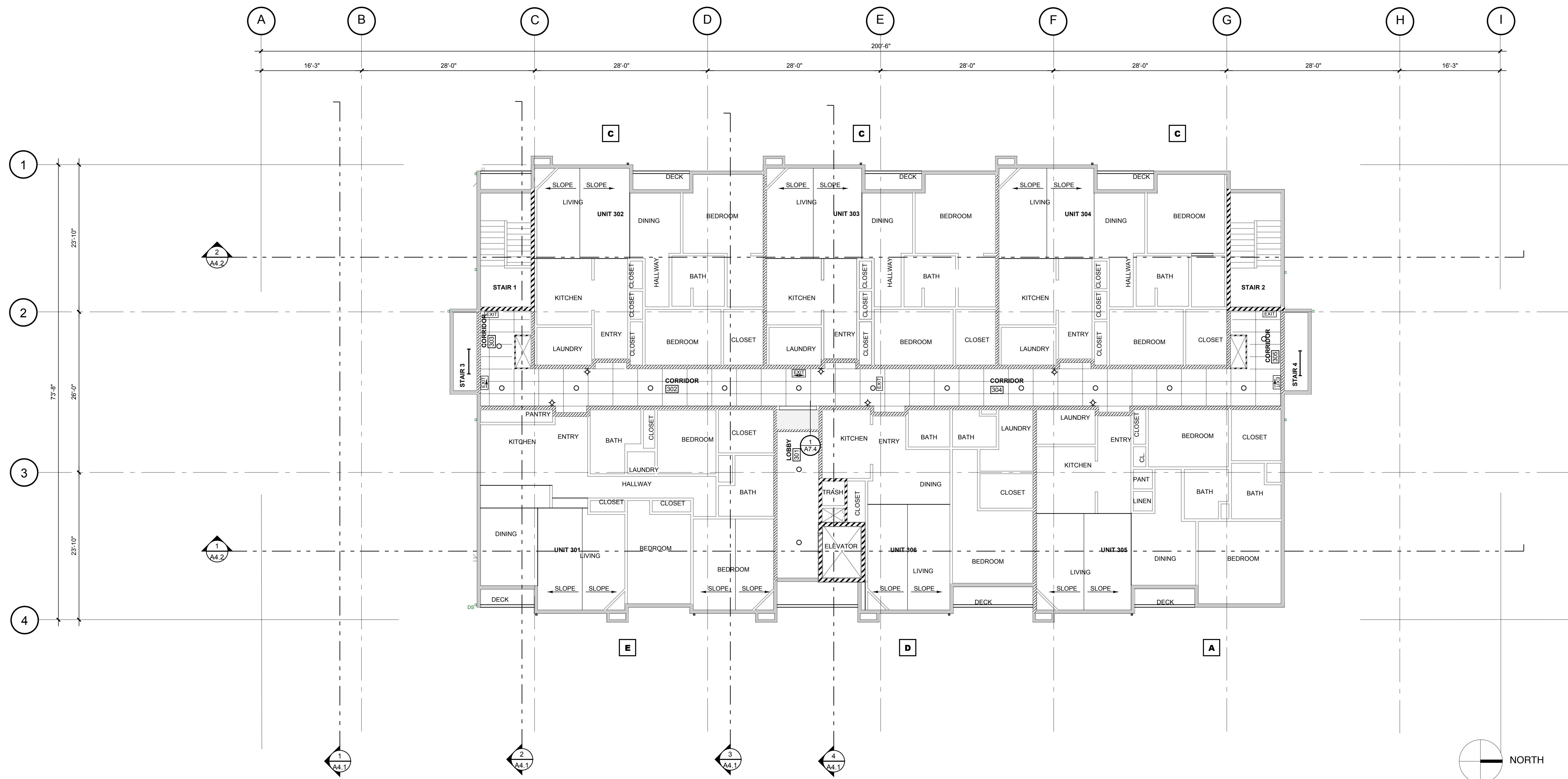
The Timbers at town center

CONDOMINIUM BUILDING, PHASE 1

**Kevin
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Architect**

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kcooley@pacifier.com



1 THIRD FLOOR REFLECTED CEILING PLAN

1/8" = 1'-0"

1/8" = 1'-0"

THIRD FLOOR REFLECTED CEILING PLAN

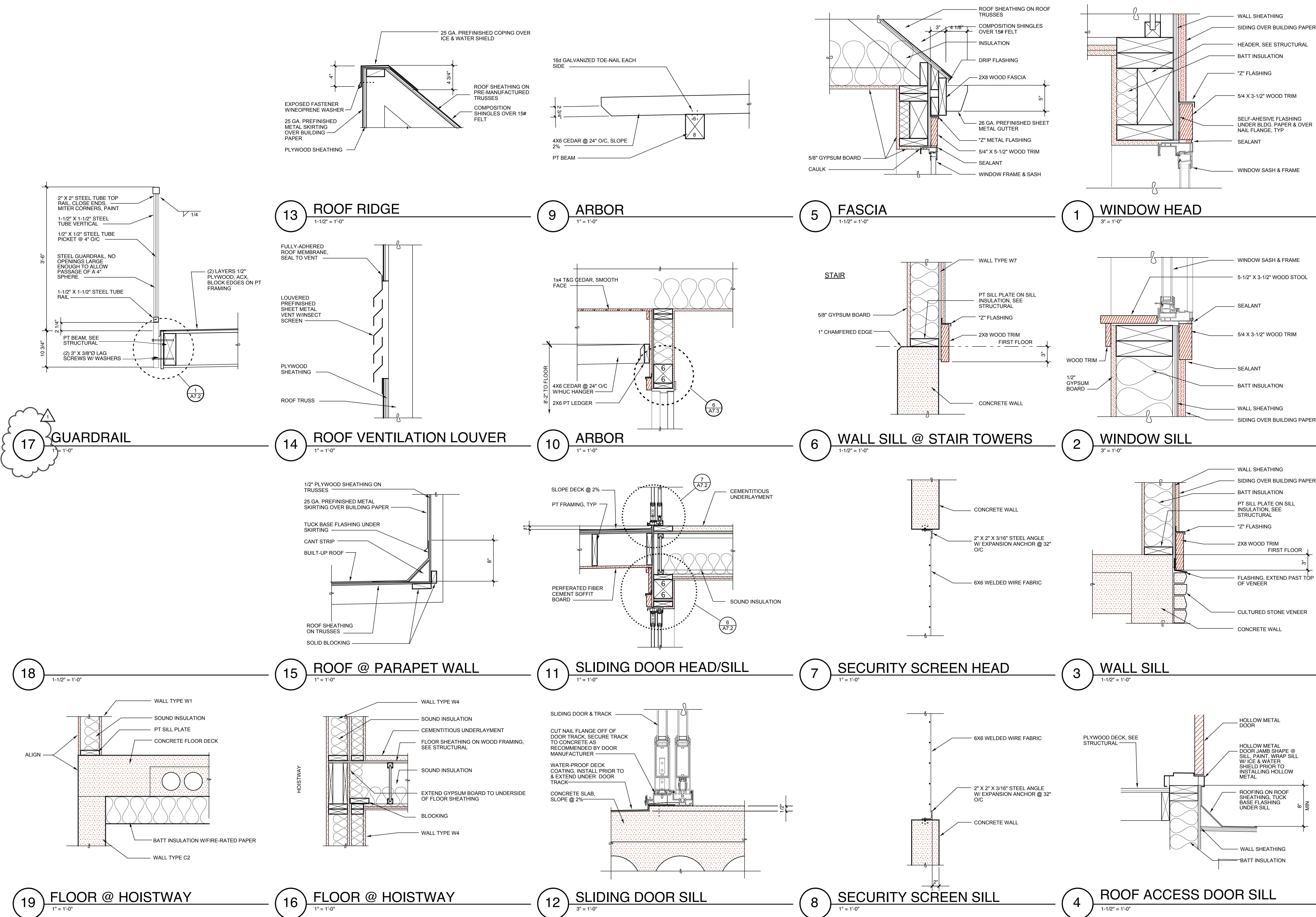
Sheet Number:

A6.4

0503

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The Timbers at town center



The Timbers at town center

Salmon Creek Development LLC
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Vancouver, WA 98685
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Dates/Revisions:

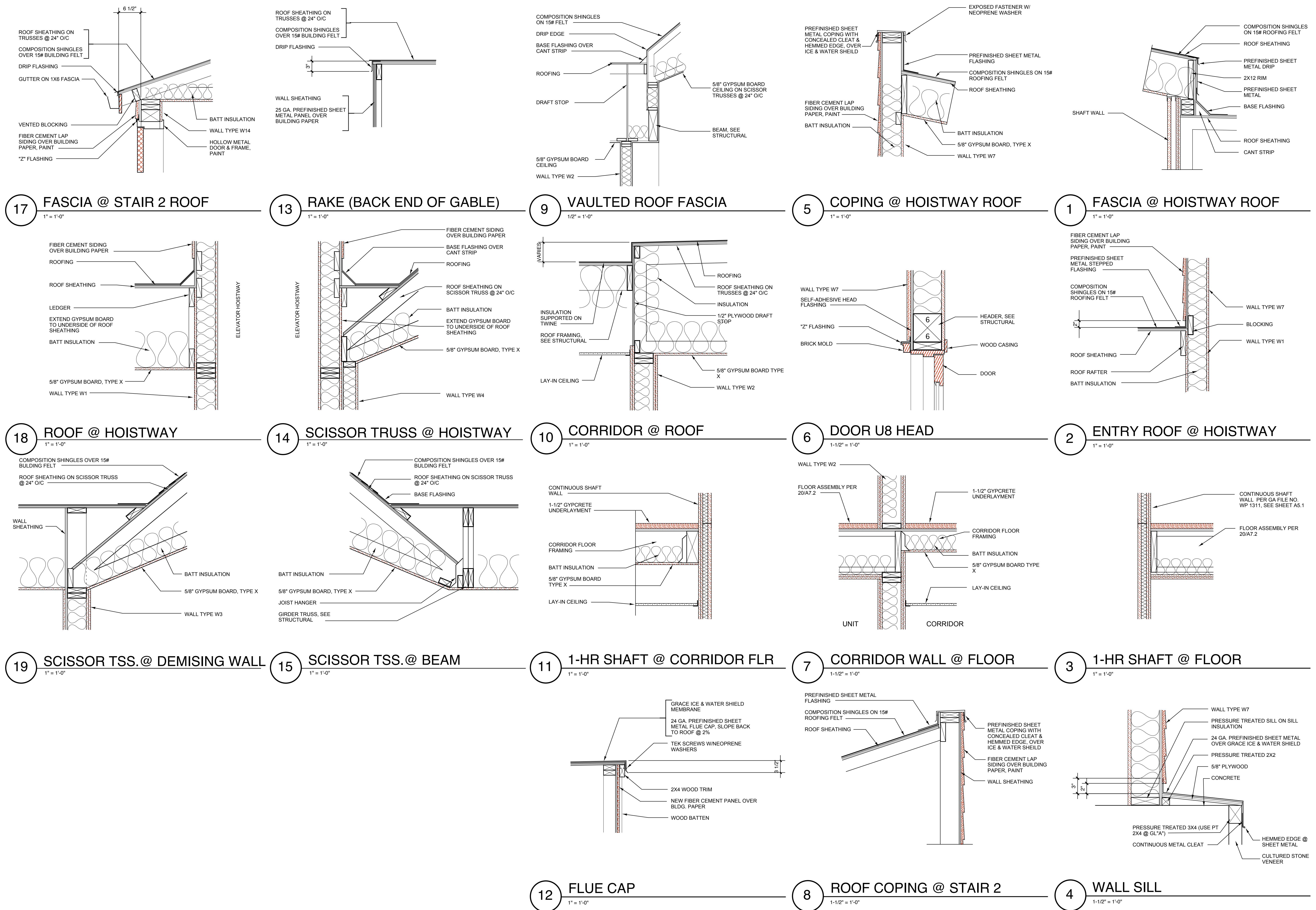


DETAILS

Sheet Number:
A7.2

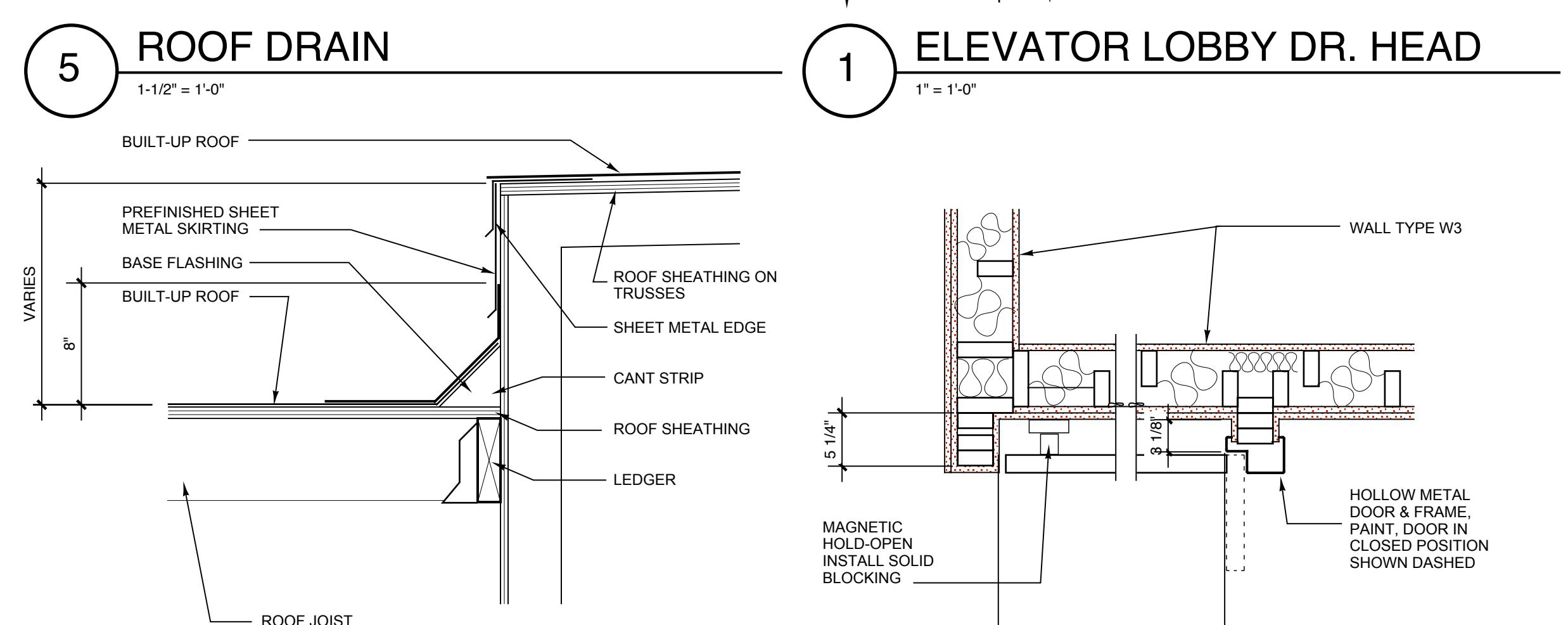
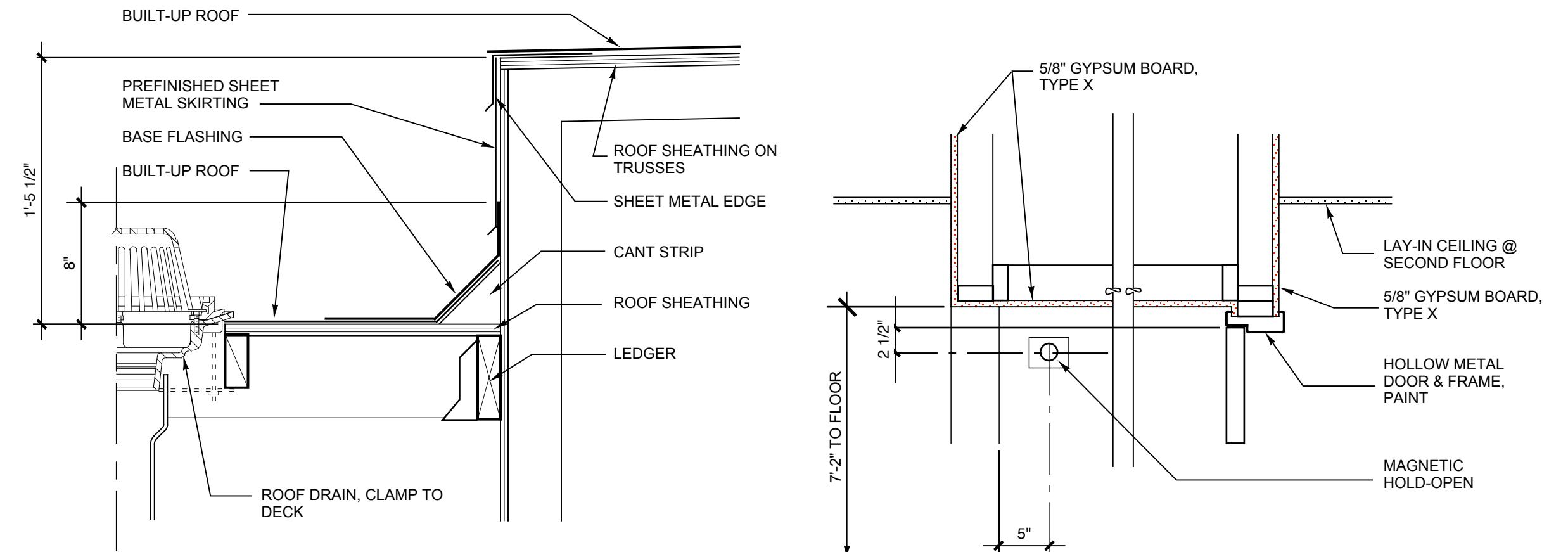
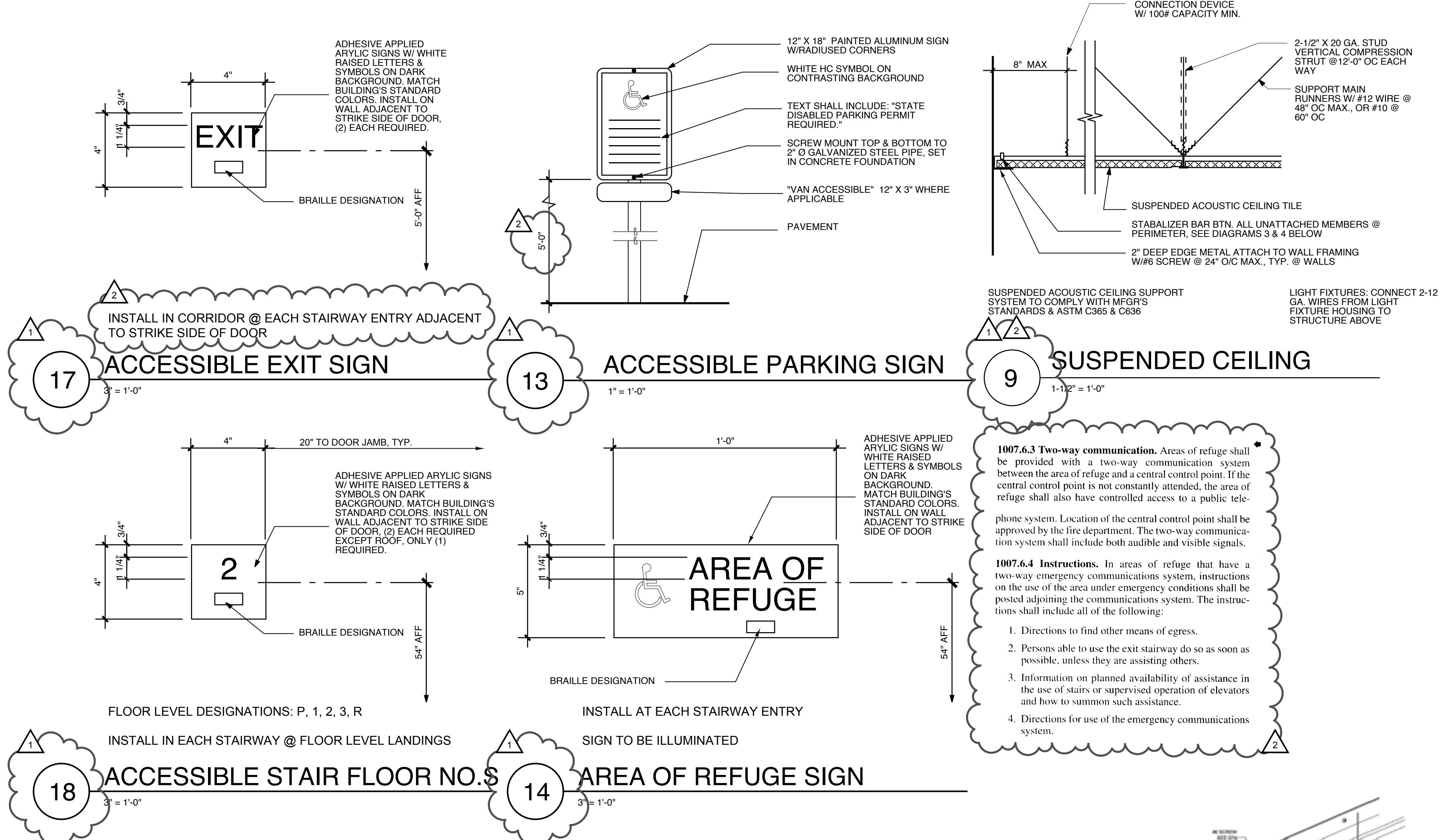
Kevin Cooley
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The Timbers at town center



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Dates/Revisions:
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4/2/08
5/13/08
5/20/08



Sheet Number:
A7.4
0503

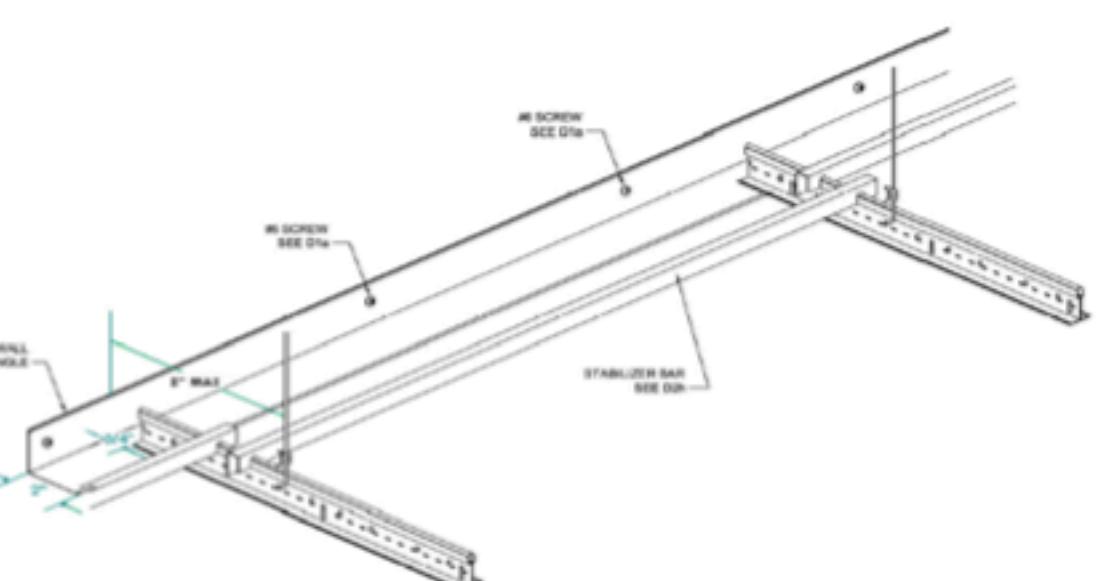


Diagram 3: Unattached End of Grid

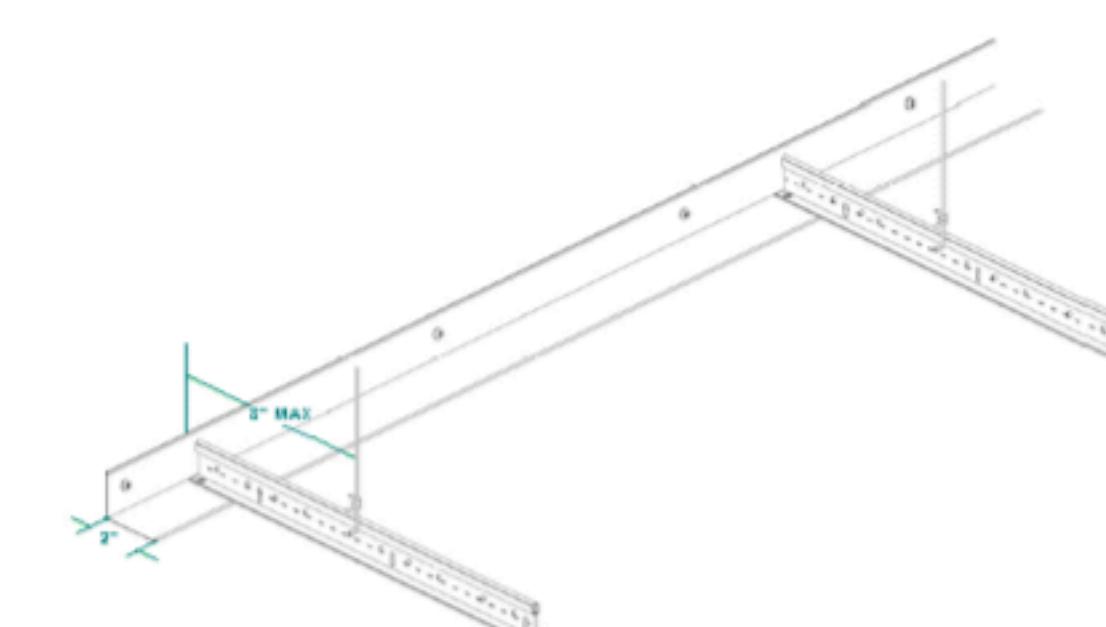
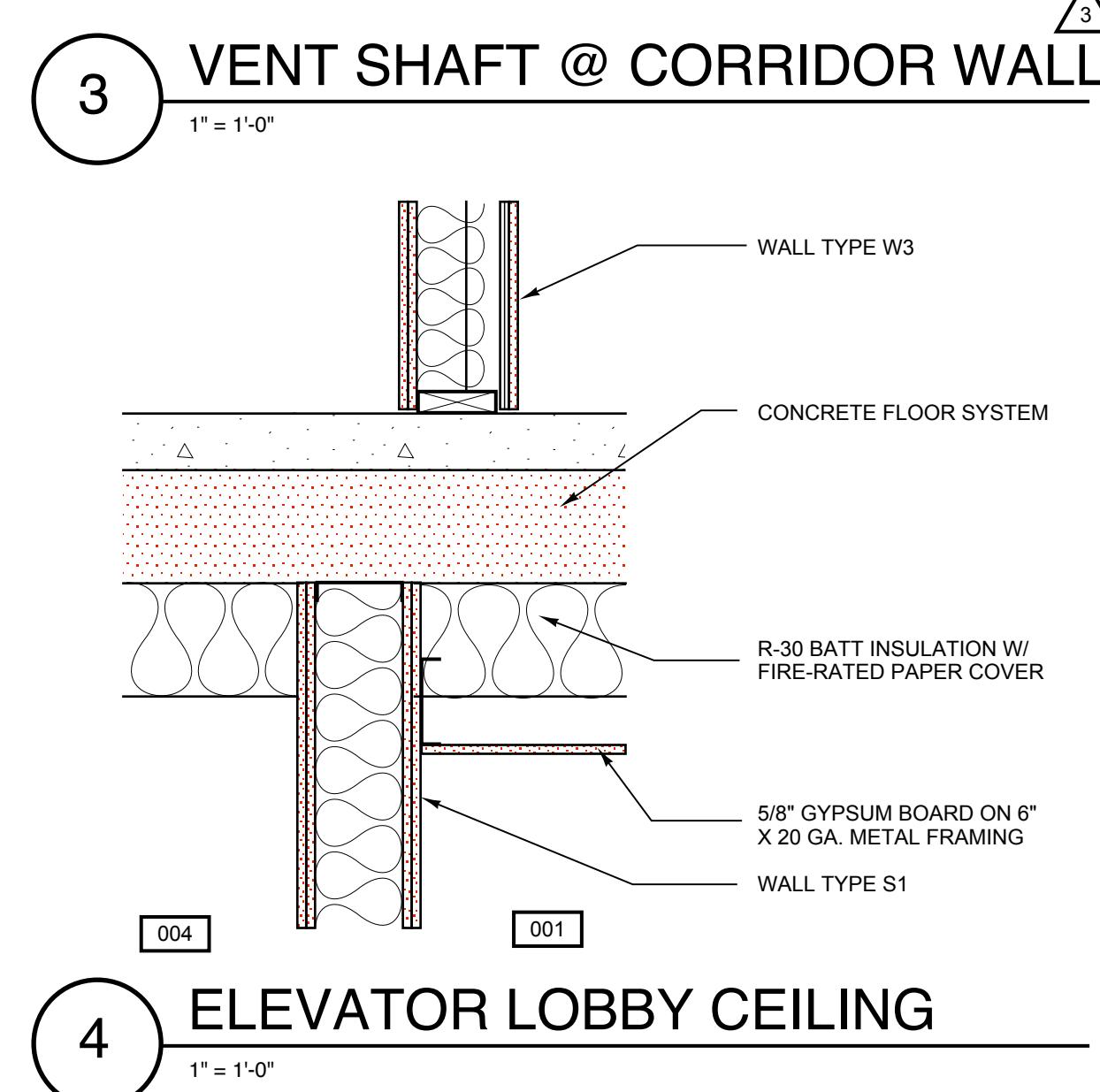


Diagram 4: Attached End of Grid



Sheet Number:
A7.4
0503

HVAC SYMBOLS

	SA	SOUND ATTN. SHEET METAL (SINGLE LINE)
	SA	SOUND ATTN. SHEET METAL (DOUBLE LINE)
		BARE OR INSULATED METAL DUCT (SINGLE LINE)
		BARE OR INSULATED METAL DUCT (DOUBLE LINE)
	Ø	FLEX DUCT (SINGLE LINE)
		ROUND DUCT: UP OR DOWN
		BUTTERFLY DAMPER
CRD		CEILING RADIATION DAMPER
FSD		FIRE/SMOKE DAMPER

	BDD	BACK DRAFT DAMPER
	OBD	OPPOSED BLADE DAMPER
	OAD-1	OUTSIDE AIR DAMPER No.1
	SD	SMOKE DETECTOR
	HSW	HIGH SIDE WALL SUPPLY OR RETURN
	LSW	LOW SIDE WALL SUPPLY OR RETURN
	ECG	EGGCRATE GRILLE
	RA	RETURN AIR: UP OR DOWN
	OSA	OUTSIDE AIR: UP OR DOWN
	SA	SUPPLY AIR: UP OR DOWN
	CEF-1	CEILING EXHAUST FAN NO. 1
	DRH-1	DOMESTIC RANGE HOOD NO. 1
	RTU-1	ROOF TOP UNIT NO. 1
	TWHP	THRU-WALL HEAT PUMP
	W/	WITH

WHOLE HOUSE VENTILATION TABLE

TYPICAL UNIT	AREA	NUMBER BEDROOMS	MIN CFM	MAX CFM
UNIT A	1286 FT ²	2 BDRM	60 CFM	90 CFM
UNIT B	1193 FT ²	2 BDRM	60 CFM	90 CFM
UNIT C	1191 FT ²	1 BDRM	60 CFM	90 CFM
UNIT D	994 FT ²	1 BDRM	55 CFM	83 CFM
UNIT E	1576 FT ²	3 BDRM	80 CFM	120 CFM

BASED ON WASHINGTON STATE VENTILATION AND INDOOR AIR QUALITY CODE TABLE 3-2

CEILING EXHAUST FAN SCHEDULE					
DESIG.	CFM	SP (IN. WG)	MOTOR WATTS	MFR. & MODEL NO.	WEIGHT
CEF-1	57	0.25"	45	GREENHECK SP-B70	9 LBS
CEF-2	75	0.25"	50	GREENHECK SP-B90	10 LBS
CEF-3	97	0.25"	80	GREENHECK SP-B110	10 LBS

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1

HVAC SYMBOLS & TABLES

1/8" = 1'-0"

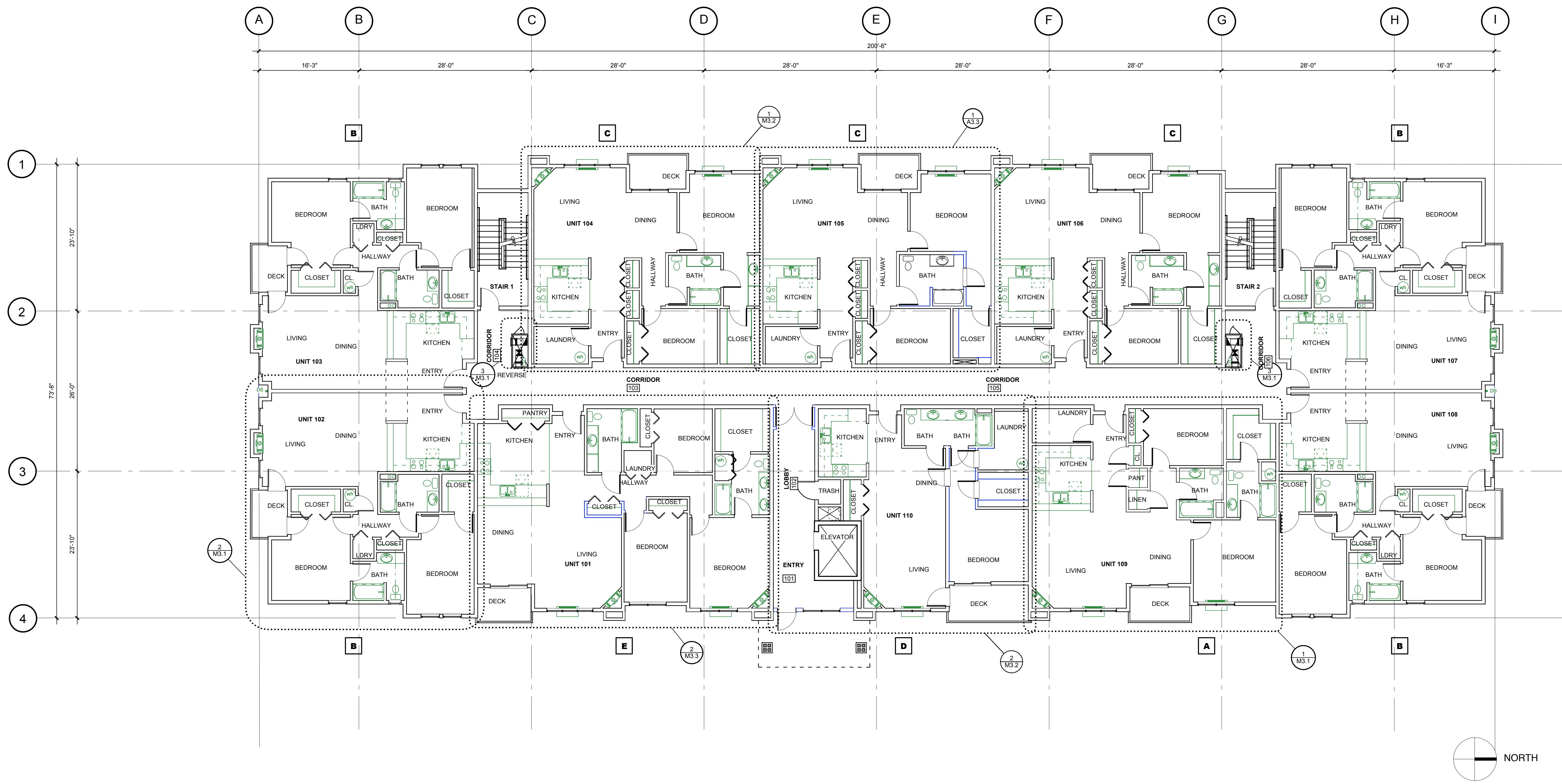
MECHANICAL
SYMBOLS &
TABLES

Sheet Number:
M1.1
0503

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The Timbers at towne center

CONDOMINIUM BUILDING, PHASE 1



Owner:
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1 FIRST FLOOR MECHANICAL PLAN

1/8" = 1'-0"

FIRST FLOOR
MECHANICAL
PLAN

Sheet Number:

M2.2

0503

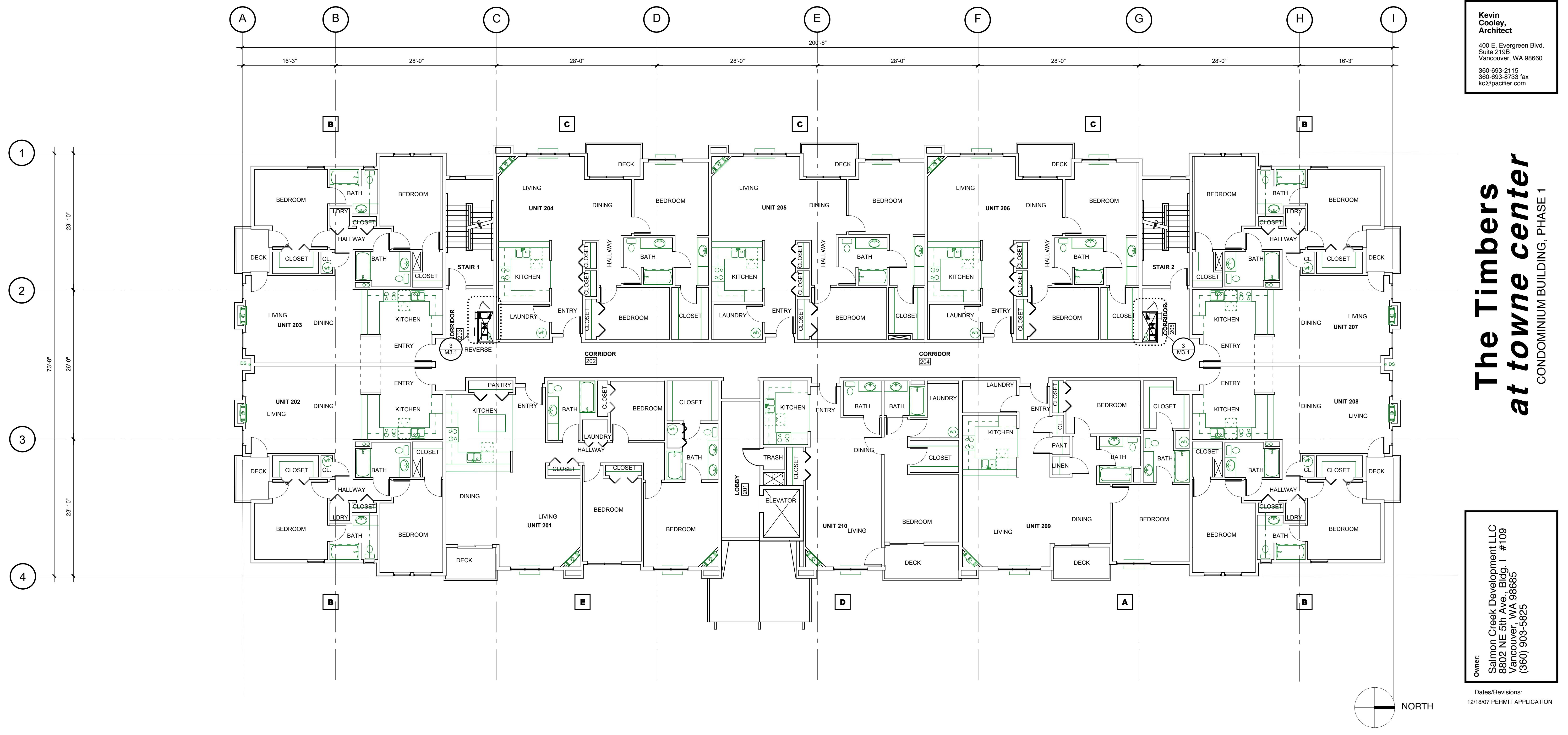
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CONDOMINIUM BUILDING, PHASE 1

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SECOND FLOOR MECHANICAL PLAN

1/8" = 1'-0"

SECOND FLOOR MECHANICAL PLAN

Sheet Number:

M2.3

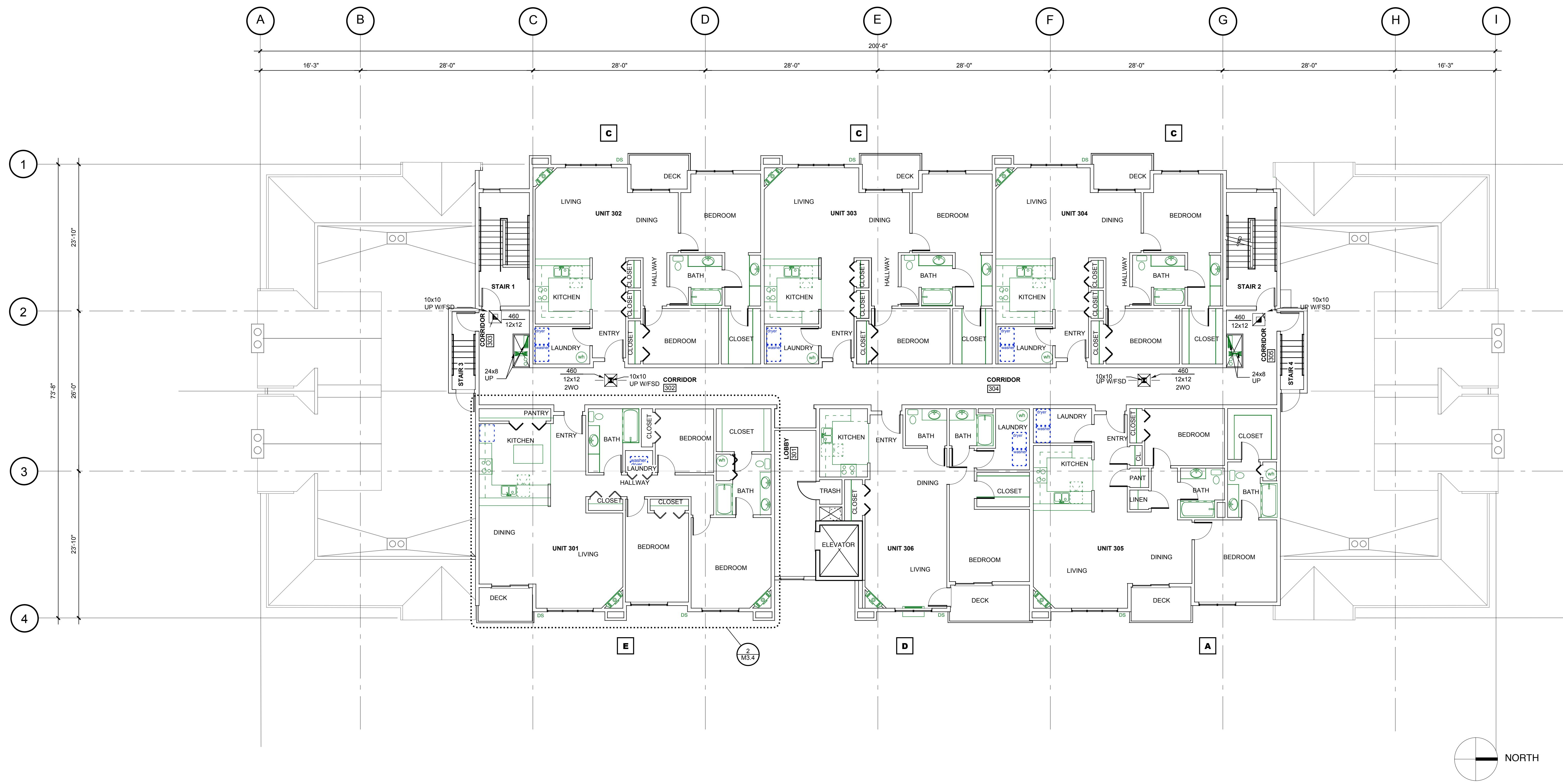
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CONDOMINIUM BUILDING, PHASE 1

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1 THIRD FLOOR MECHANICAL PLAN

1/8" = 1'-0"

THIRD FLOOR MECHANICAL PLAN

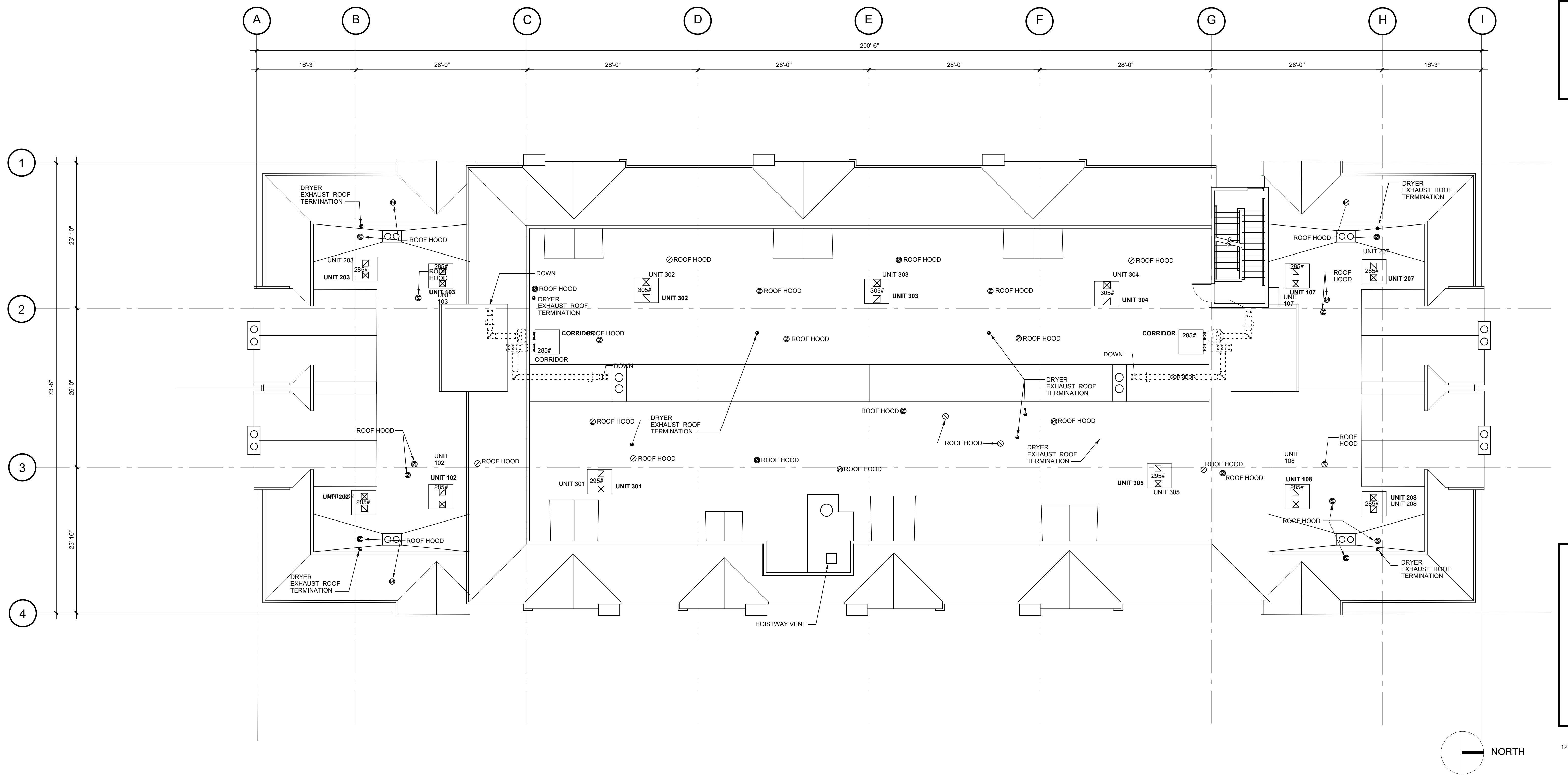
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CONDOMINIUM BUILDING, PHASE 1



1 ROOF MECHANICAL PLAN
1/8" = 1'-0"

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ROOF
MECHANICAL
PLAN

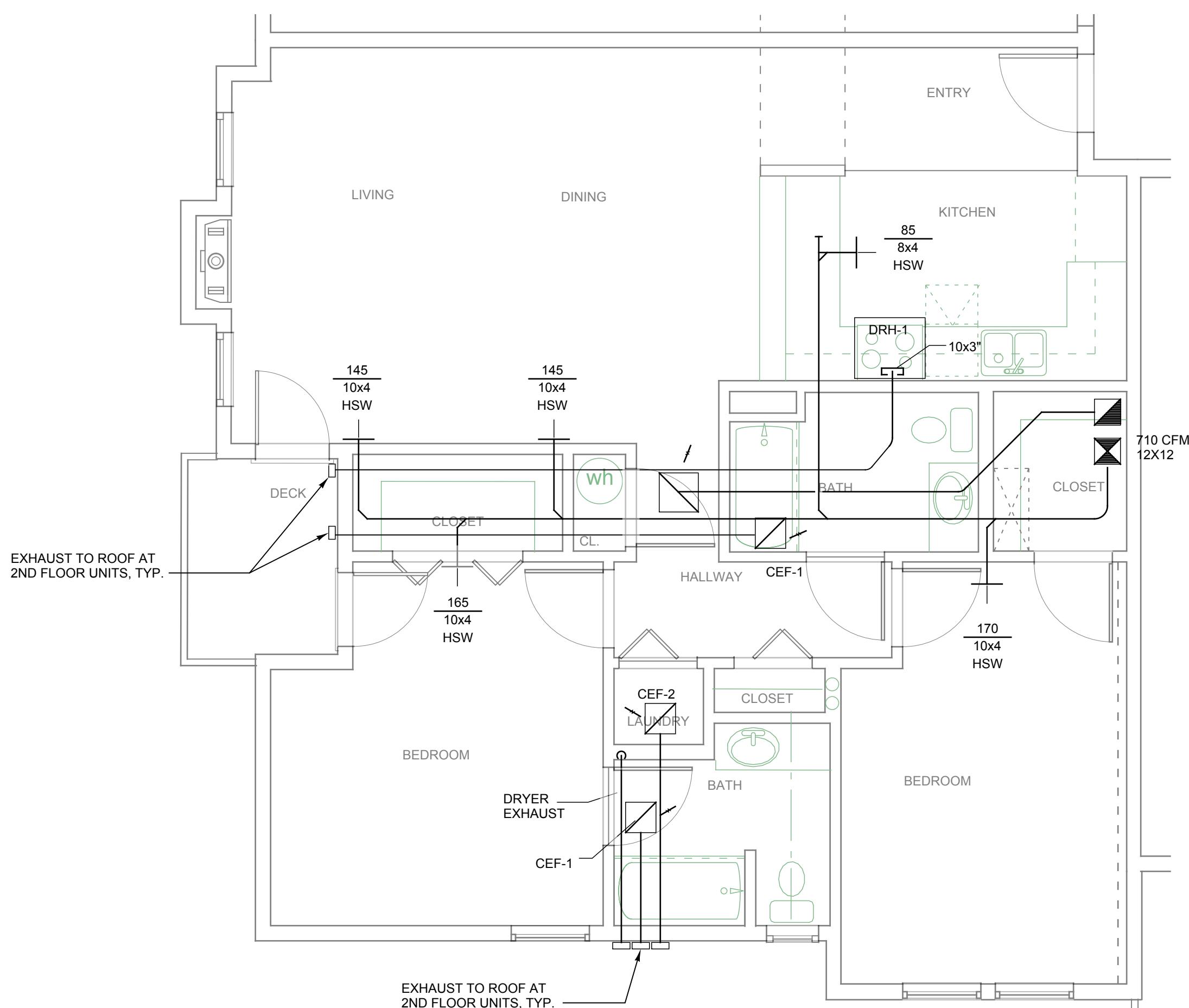
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M2.5

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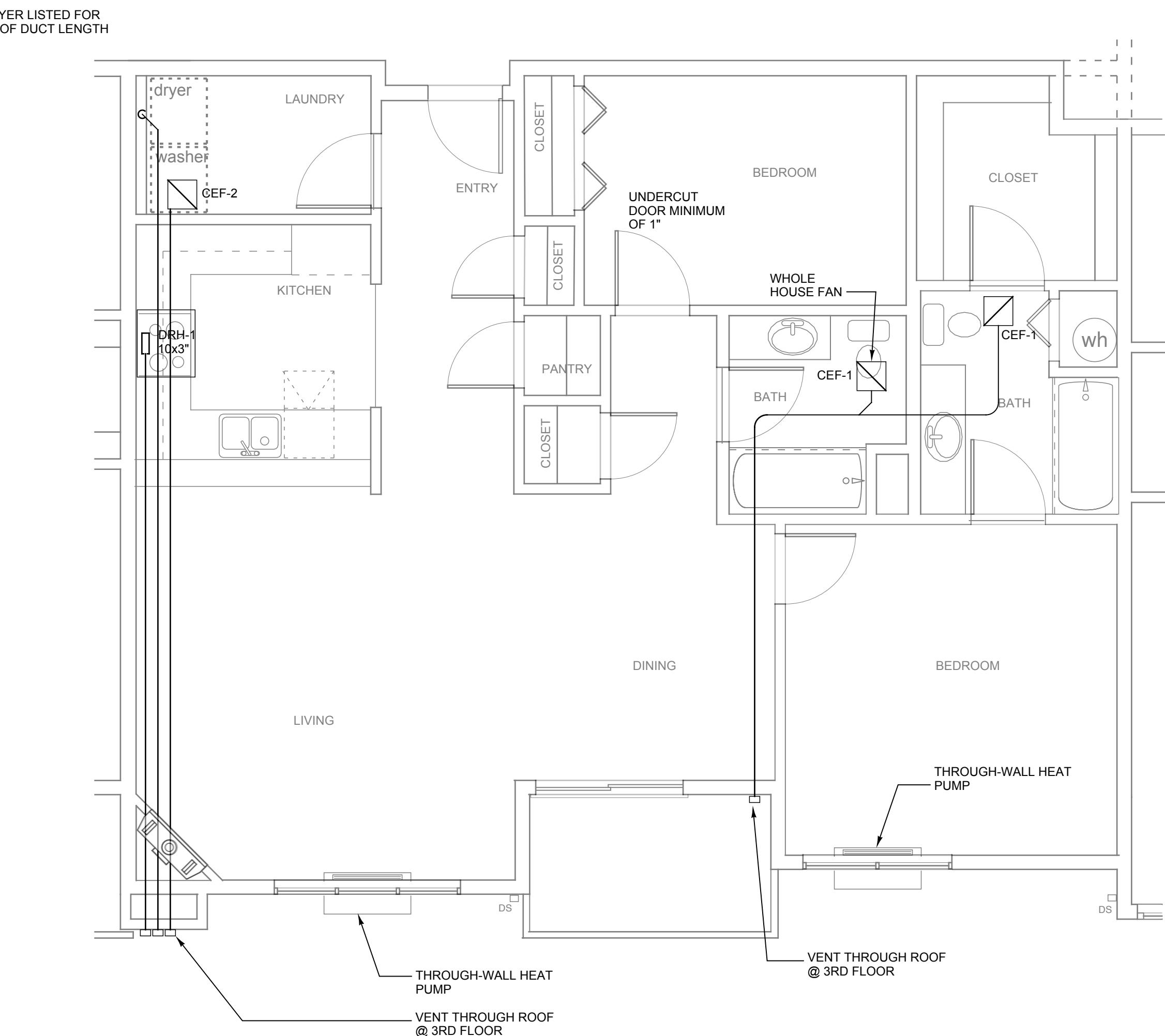
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2 UNIT B - MECHANICAL PLAN

1/4" = 1'-0"
UNITS: 102, 107, 202, 207 REVERSED: 103, 108, 203, 208

1136 sf



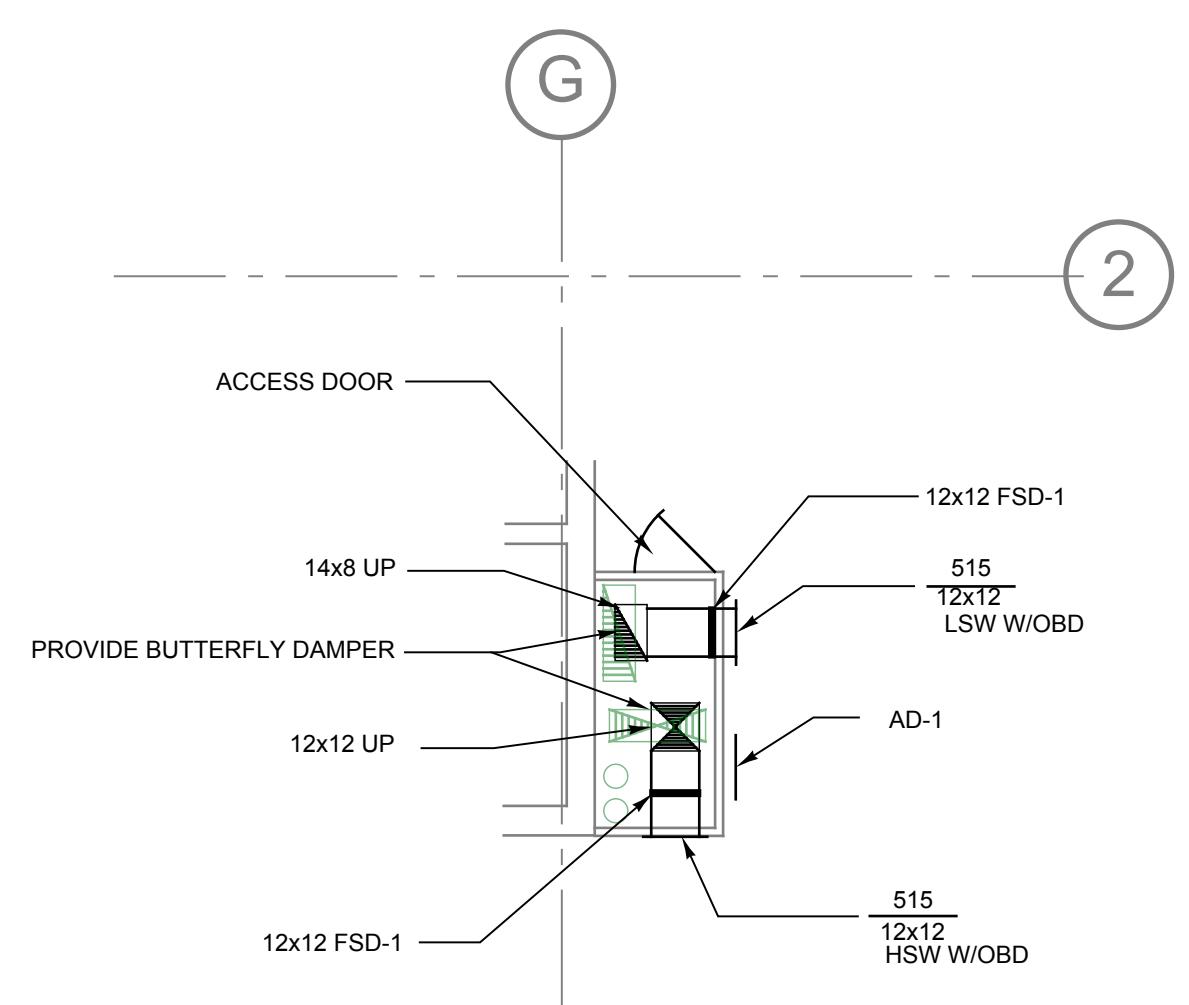
1 UNIT A - MECHANICAL PLAN (1ST & 2ND FLOOR)

1/4" = 1'-0"
UNITS: 109, 209, 305

1286 sf

Owner:
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3 CORRIDOR VENTILATION SHAFT

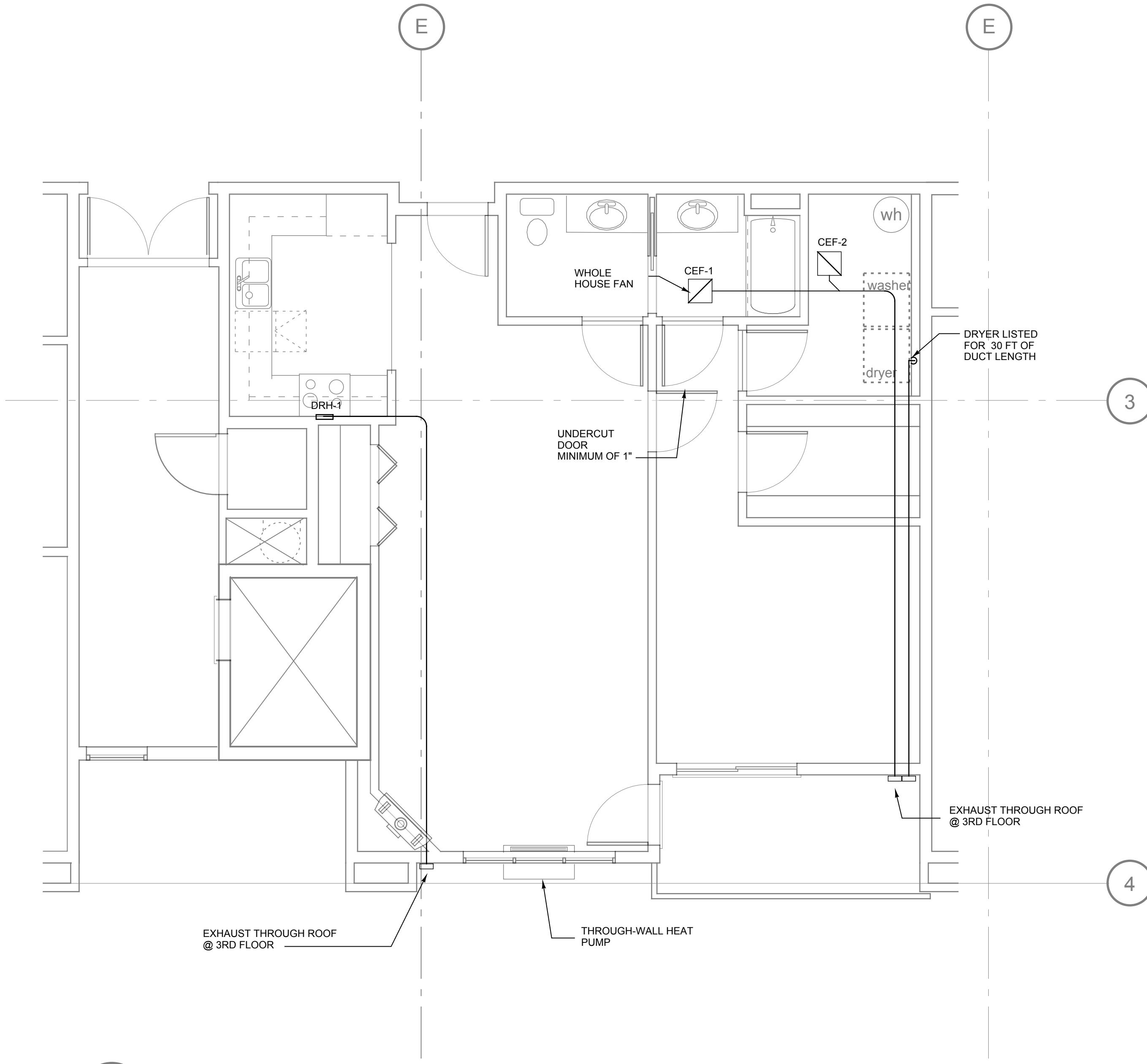
1/4" = 1'-0"

Sheet Number:
M3.1
0503

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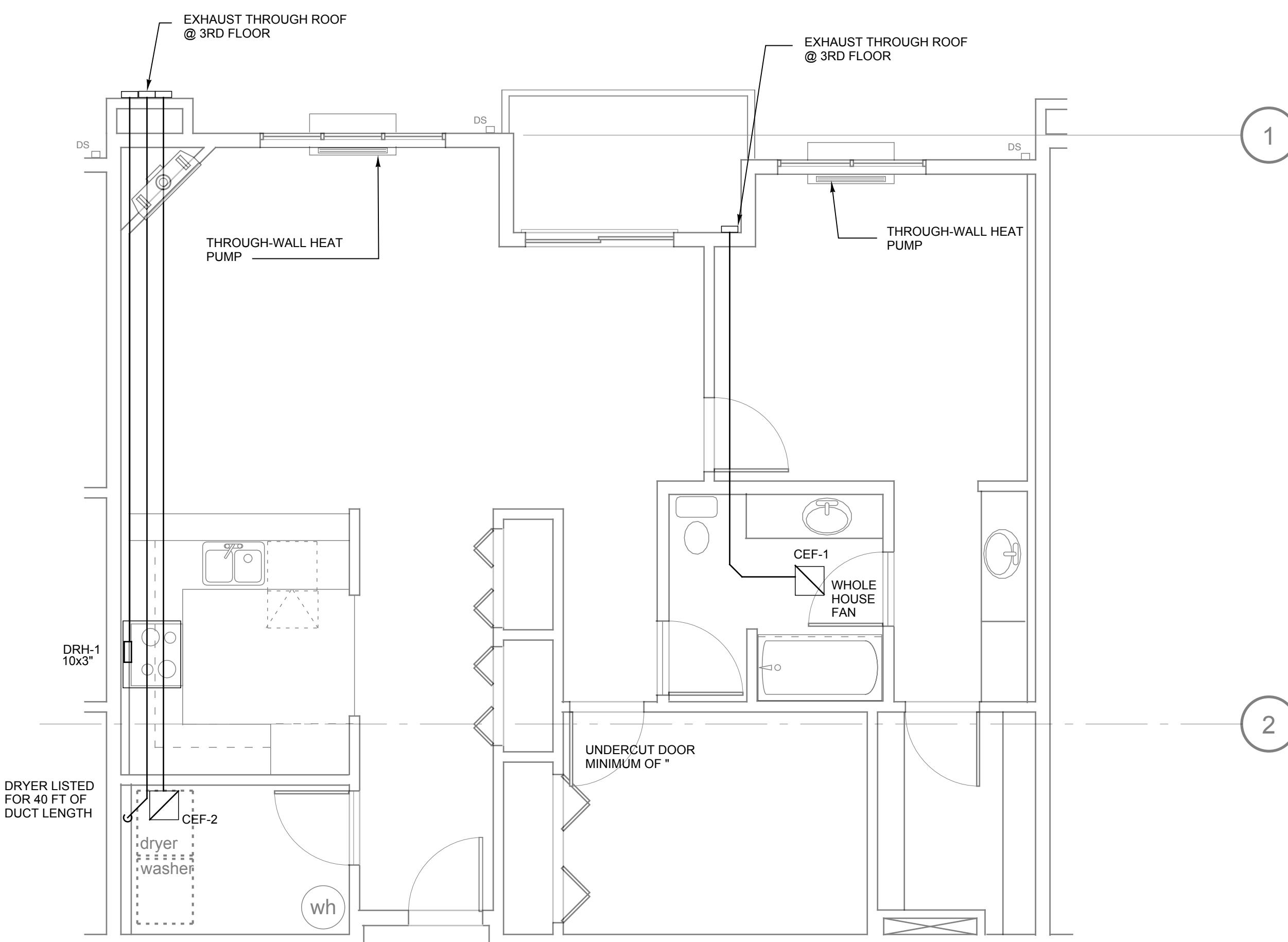
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2 UNIT D - MECHANICAL PLAN

1/4" = 1'-0"
UNITS: 210, 306

994 sf



1 UNIT C - MECHANICAL PLAN (1ST & 2ND FLOOR)

1/4" = 1'-0"
UNITS: 104, 106, 204, 205, 206, 302, 303, 304

1191 sf

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ENLARGED
MECHANICAL
PLANS,
UNITS C & D

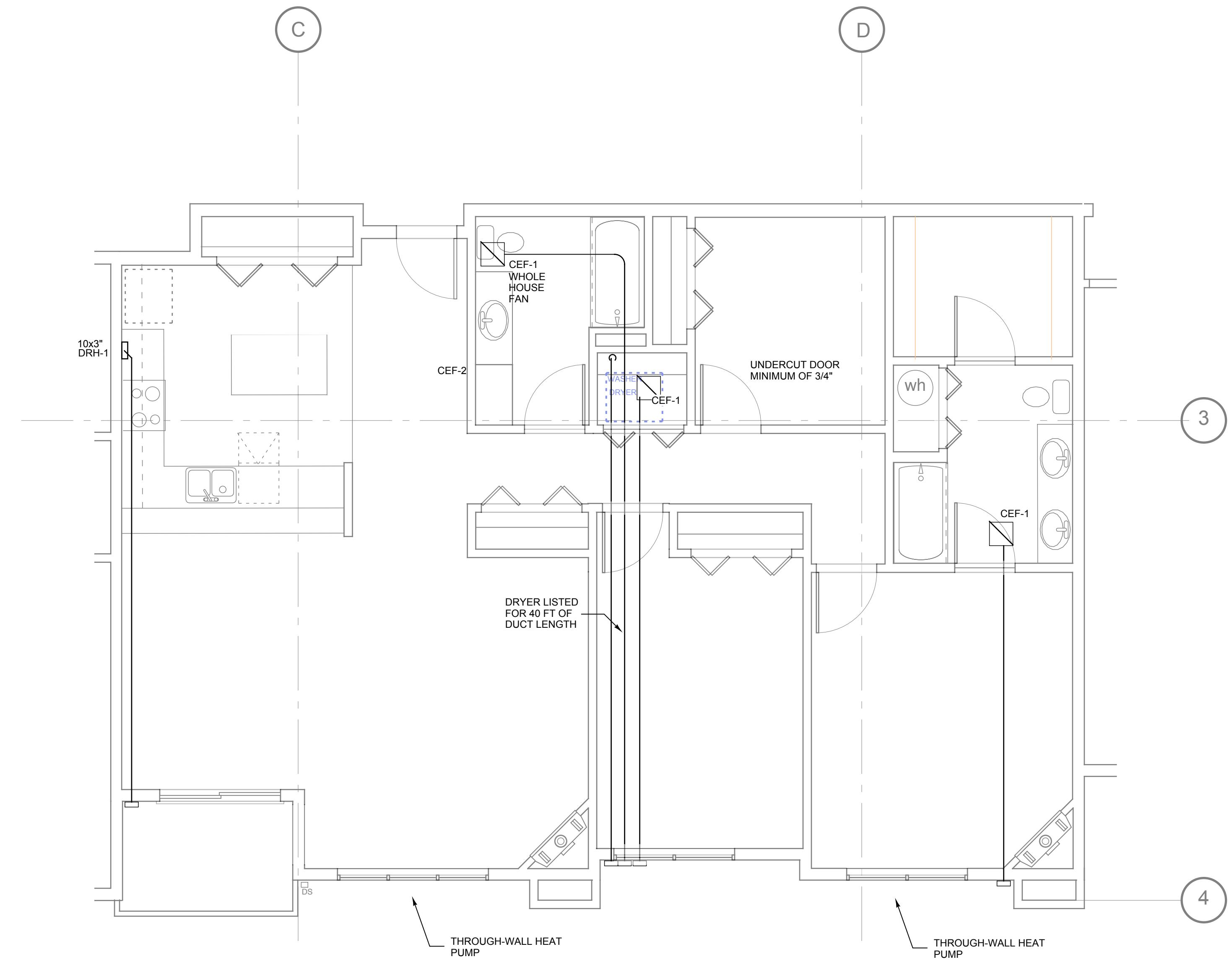
Sheet Number:

M3.2

0503

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ENLARGED
MECHANICAL
DETAILS
#105 &
#106 & 105

Sheet Number:
M3.3
0503

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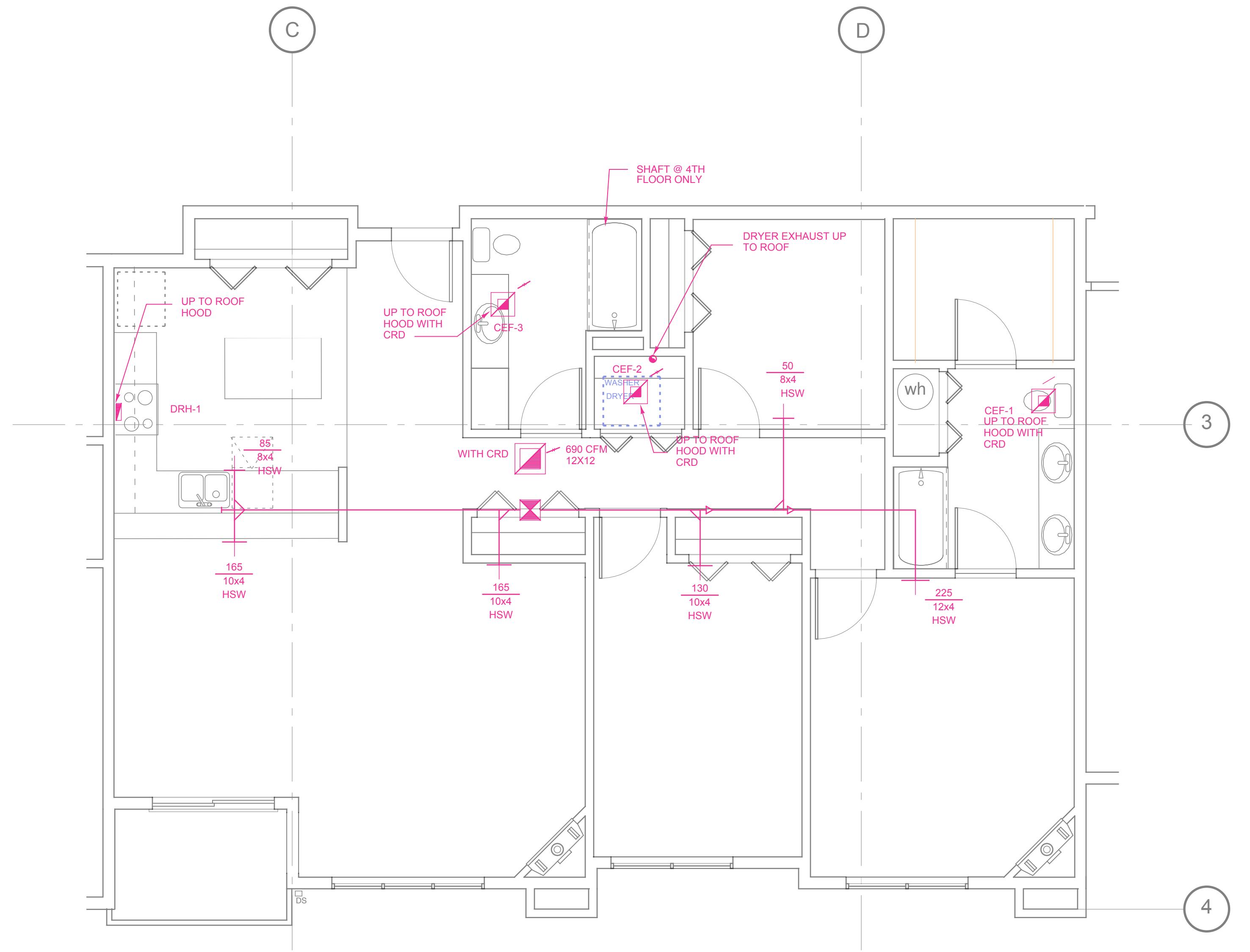
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ENLARGED
MECHANICAL
PLANS,
UNIT 301

Sheet Number:
M3.4
0503



2 UNIT 301 - MECHANICAL PLAN

1/4" = 1'-0"

1576 sf

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4/2/08