



LOT 6 RESIDENCE

MCGREGOR COVE LN
FORT MYERS, FL 33901

ABBREVIATIONS

ABV ABOVE
AFF ABOVE FINISHED FLOOR
ASC ABOVE SUSPENDED
CEILING
ACC ACCESS
AP ACCESS PANEL
ACT ACOUSTICAL PANEL
ADH ADHESIVE
ADJ ADJACENT
ADJT ADJUSTABLE
AGG AGGREGATE
A/C AIR CONDITIONING
ALT ALTERNATE
ALUM ALUMINUM
AB ANCHOR BOLT
ANOD ANODIZED
APX APPROXIMATE
AD AREA DRAIN
ASPH ASPHALT
AT ASPHALT TILE
AUTO AUTOMATIC
BSMT BASEMENT
BRG BEARING
BPL BEARING PLATE
BM BENCH MARK
BET BETWEEN
BVL BEVELED
BIT BITUMINOUS
BLK BLOCK
BLKG BLOCKING
BD BOARD
BS BOTH SIDES
BW BOTH WAYS
BOT BOTTOM
BRK BRICK
BRZ BRONZE
BLDG BUILDING
BUR BUILT UP ROOFING
CAB CABINET
CPT CARPET (ED)
CSMT CEMENT
CI CAST IRON
CPC CAST-IN-PLACE
CONCRETE
CST CAST STONE
CB CATCH BASIN
CLG CEILING
CHT CEILING HEIGHT
CEM CEMENT
CM CENTIMETER(S)
CER CERAMIC
CT CERAMIC TILE
CTM CERAMIC MOSAIC (TILE)
CHAM CHAMFER
CIR CIRCLE
CLR CLEAR (ANCE)
COL COLUMN
COMB COMBINATION
CONC CONCRETE
CMU CONCRETE MASONRY
UNIT
CONT CONTINUOUS OR
CONTINUE
CONTR CONTRACT (OR)
CLL CONTRACT LIMIT LINE
CJ CONTROL JOINT
CG CORNER GUARD
CORR CORRUGATED
CFL COUNTER FLASHING
CRS COURSE (S)
CY CUBIC FOOT
CY CUBIC YARD
DP DAMPROOFING
DL DEAD LOAD
DEMO DEMOLISH, DEMOLITION
DPE DESIGN FLOOD ELEVATION
DIT DETAIL
DIA5 DIAGONAL
DIAM DIAMETER
DIM DIMENSION
DIV DIVISION
DR DOOR
DA DOUBLEACTING
DH DOUBLE HUNG
DS DOWNSPOUT
D DRAIN
DUR DRAINER
DF DRINKING FOUNTAIN
DW DRAINWATER
EA EACH
EF EACH FACE
E EAST
ELEC ELECTRIC (AL)
EP ELECTRIC PANELBOARD
EUC ELECTRIC WATER
COOLER
EL ELEVATION
ELEV ELEVATOR
EMER EMERGENCY
EQ EQUAL
EST ESTIMATE
EXCA EXCAVATE
EXH EXHAUST

EXH EXHAUST
EXTG EXISTING
EB EXPANSION BOLT
EXP EXPOSED
EXT EXTERIOR
EXS EXTRA STRONG
FB FACE BRICK
FOC FACE OF CONCRETE
FOT FACE OF FINISH
FOM FACE OF MASONRY
FOS FACE OF STUDS
FF FACTORY FINISH
FAS FASTEN, FASTENER
FBD FIBERBOARD
FGL FIBERGLASS
FIN FINISH (ED)
FFE FINISHED FLOOR
ELEVATION
FFL FINISHED FLOOR LINE
FA FIRE ALARM
FBK FIRE BRICK
FE FIRE EXTINGUISHER
FEC FIRE EXTINGUISHER
CABINET
FHS FIRE HOSE STATION
FPL FIREPLACE
FP FIREPROOF
FRT FIRE-RETARDANT
FLG FLASHING
FLX FLEXIBLE
FLR FLOOR (NG)
FLCO FLOOR CLEANOUT
FD FLOOR DRAIN
PFL FLOOR PLATE
FLUR FLUORESCENT
FTG FOOTING
FND FOUNDATION
FR FRAME (D), (NG)
FRA FREASH AIR
FS FULL SIZE
FBO FURNISHED BY OTHERS
FUR FURRED (NG)
FUT FUTURE
GA GAUGE, GAUGE
GALV GALVANIZED
GI GALVANIZED IRON
GP GALVANIZED PIPE
GSS GALVANIZED STEEL SHEET
CG GENERAL CONTRACTOR
GL GLASS, GLAZING
GLB GLASS BLOCK
GLF GLASS FIBER
GB GRAB BAR
GD GRADE, GRADING
GVL GRAVEL
GT GROUT
GYP GYPSUM DRY WALL
HBD HARBORBOARD
HDW HARDWARE
HWD HARDWOOD
HDR HEADER
HTG HEATING
HVAC HEATING/VENTILATING/
AIR CONDITIONING
HT HEIGHT
HC HOLLOW CORE
HM HOLLOW METAL
HOR HORIZONTAL
HB HOSE BIBB
NCON INCORPORATION
NCL INCLUDE (D), (NG)
ID INSIDE DIAMETER
INSUL INSULATE (D), (NG)
INT INTERIOR
NIM INTERMEDIATE
INV INVERT
IP IRON PIPE
IPS IRON PIPE SIZE
JC JOINT
JT JOINT
JF JOINT FILLER
JST JOIST
KIT KITCHEN
KO KNOCKOUT
LBL LABEL
LAB LABORATORY
LB LAG BOLT
LAM LAMINATE (ED)
LAV LAVATORY
LH LEFT HAND
L LENGTH
LT LIGHT
LW LIGHTWEIGHT
LWC LIGHTWEIGHT CONCRETE
LMS LIMESTONE
LTL LINTEL
LL LIVE LOAD
LVR LOUVER
LFT LOW POINT
MH MANHOLE

MFR MANUFACTURE (ER)
MAS MASONRY
MO MASONRY OPENING
MTL MATERIAL (S)
MAX MAXIMUM
MECH MECHANIC (AL)
MC MEDICINE CABINET
MED MEDIUM
MBR MEMBER
MMB MEMBRANE
MET METAL
M METER (S)
MM MILLIMETER (S)
MN MINIMUM
MR MIRROR
MSC MISCELLANEOUS
MOD MODULAR
MLD MOLDING, MOULDING
FNE FINISHED FLOOR
ELEVATION
MT MOUNT (ED), (NG)
MOV MOVABLE
MULL MULLION
NAT NATURAL
NRC NOISE REDUCTION
COEFFICIENT
NOM NOMINAL
NMT NONMETALIC
N NORTH
NG NOT IN CONTRACT
NTS NOT TO SCALE
NAT NATURAL
NRC NOISE REDUCTION
COEFFICIENT
NOM NOMINAL
NMT NONMETALIC
N NORTH
NG NOT IN CONTRACT
NTS NOT TO SCALE
OC ON CENTER (S)
OPG OPENING
OPP OPPOSITE
OPH OPPOSITE HAND
OFS OPPOSITE SURFACE
OD OUTSIDE DIAMETER
OA OVERALL
OI OVERHEAD
NAT NATURAL
NRC NOISE REDUCTION
COEFFICIENT
NOM NOMINAL
NMT NONMETALIC
N NORTH
NG NOT IN CONTRACT
PNT PAINT (ED)
PNL PANEL
PB PANG BAR
PTD PEPPER TOUET
DIPENDER
PTR PAPER TOUET
RECEPTOR
PAR PARALLEL
PK PARKING
PBD PARTICLE BOARD
FTN PARTITION
PV PAVE (D), (NG)
PVHT PAVEMENT
PED PEDESTAL
PERF PERFORATE (D)
PERI PERIMETER
PLAS PLASTER
P.L. PLASTIC LAMINATE
PL PLATE
PG PLATE GLASS
PU PLUWOOD
PT POINT
PVC POLYVINYL CHLORIDE
VT VINYL TILE
USCT UANSBOT
UTU WALL TO WALL
UH WALL HUNG
WATER HEATER
UC WATER CLOSET
UP WATERPROOFING
UR WATER REPELLENT
US WATERSTOP
UWF WELDED WIRE
FABRIC
U WEST
U WIDTH, WIDE
UWU UNICOU
UG WIRED GLASS
UM WIRE MESH
U/O WITHOUT
UD WOOD
WW WOOD BASE
UPT WORKING POINT
U WROUGHT IRON

RFG ROOFING
RM ROOM
RSC ROUGH SAUN
CEDAR
RLK ROWLOCK
SGL SAFETY GLASS
SCH SCHEDULE
SCH SCREEN
STG SEATING
SECT SECTION
SBD SEE STRUCTURAL
DRAWINGS
SHTG SHEATHING
SHT SHEET
SG SHEET GLASS
SH SHELF, SHELVING
SIM SIMILAR
SLDC SOLDIER COURSE
SC SOLID CORE
SP SOUNDPROOF
S SOUTH
SPL SPEAKER
SPL SPECIAL
SPEC SPECIFICATION
(S)
SQ SQUARE
SS STAINLESS STEEL
STD STANDARD
STA STATION
STL STEEL
STL STORAGE
SD STORM DRAIN
STRUCT STRUCTURAL
SCT STRUCTURAL CLAY
TILE
SUBP SUSPENDED
SYS SYSTEM
TEL TELEPHONE
TV TELEVISION
THK THICK (NESS)
THR THRESHOLD
TPTN TOILET PARTITION
TPD TOILET PAPER
DISPENSER
TOL TOLERANCE
T&S TONGUE &
GROOVE
TC TOP OF CURB
TG TOP OF GRADE
TP TOP OF PAVEMENT
TSL TOP OF SLAB
TS TOP OF STEEL
TU TOP OF WALL
TB TOUET BAR
TBD TO BE
DETERMINED
T TREAD
TYP TYPICAL
UNFIN UNFINISHED
UR URINAL
UNFIN UNFINISHED
UR URINAL
VB VAPOR BARRIER
VAR VARNISH
VNR VENEER
VERT VERTICAL
VG VERTICAL GRAIN
VIF VERIFY IN FIELD
VIN VINYL
VB VINYL BASE
VT VINYL TILE
USCT UANSBOT
UTU WALL TO WALL
UH WALL HUNG
WATER HEATER
UC WATER CLOSET
UP WATERPROOFING
UR WATER REPELLENT
US WATERSTOP
UWF WELDED WIRE
FABRIC
U WEST
U WIDTH, WIDE
UWU UNICOU
UG WIRED GLASS
UM WIRE MESH
U/O WITHOUT
UD WOOD
WW WOOD BASE
UPT WORKING POINT
U WROUGHT IRON

GENERAL NOTES:

- IT IS THE INTENT OF THESE CONTRACT DOCUMENTS TO DEFINE AND DESCRIBE A COMPLETE FINISHED AND FULLY FUNCTIONING FACILITY. ANY PRODUCT, MATERIAL, SYSTEM, EQUIPMENT, OR ASSEMBLY WHICH NORMALLY WOULD BE REQUIRED TO MEET THIS REQUIREMENT SHALL BE PROVIDED AS IF SPECIFICALLY NOTED.
- WHEN WORK IS NOT SPECIFICALLY NOTED BUT IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER. THE DOCUMENTS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. ADDITIONAL DATA SHALL BE OBTAINED FROM THE DESIGNER THROUGH WRITTEN CLARIFICATION ONLY. VERIFY ALL EXISTING CONDITIONS, ELEVATIONS, AND DIMENSIONS BEFORE PROCEEDING WITH ANY PORTION OF ANY WORK.
- ALL WORK AS OUTLINED IN THESE DOCUMENTS SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES IN EFFECT AT THE TIME THESE DOCUMENTS WERE PREPARED. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN. CONTRACTOR SHALL VISIT THE JOB SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS WHICH MAY AFFECT THE BID.
- CONTRACTOR SHALL BE EXPERIENCED IN THIS TYPE OF WORK. NO ALLOWANCES WILL BE MADE FOR LACK OF EXPERIENCE.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT THE CONSTRUCTION. ANY EXISTING UTILITIES TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED, OR CAPPED, AS REQUIRED BY CODE.
- DAMAGED OR DISRUPTED EXISTING CONDITIONS INCLUDING BUT NOT LIMITED TO LANDSCAPING, LIGHTING, IRRIGATION, PEDESTRIAN AND VEHICLE ACCESS SHALL BE REPLACED AT THE END OF CONSTRUCTION TO THE SAME STANDARDS OF QUALITY AS EXISTED PRIOR TO CONSTRUCTION.
- DISRUPTED ELECTRICAL AND WATER LINES SHALL BE RE-ROUTED DURING CONSTRUCTION AND ARE TO REMAIN IN CONTINUOUS SERVICE UNLESS OTHERWISE INDICATED OR INSTRUCTED.
- NO CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN DIRECTION FROM THE DESIGNER.
- WHERE LACK OF INFORMATION OR DISCREPANCY EXISTS IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM THE DESIGNER BEFORE PROCEEDING.
- UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, PLUMBING LINES, ETC SHALL BE RUN CONCEALED AND FRAMING SHALL BE CORRECTLY SIZED TO ACCOMPLISH THIS WITHOUT CREATING VARIATIONS IN THE WALL PLANE.
- PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR ALL CEILING AND WALL MOUNTED EQUIPMENT, HARDWARE, AND ACCESSORIES.
- WHEN A PRODUCT, SYSTEM OR ASSEMBLY IS CALLED FOR, ALL NECESSARY PARTS AND MATERIALS REQUIRED FOR A COMPLETE AND FULLY OPERATIONAL SYSTEM SHALL BE PROVIDED AND INSTALLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
- PRIOR TO PROCEEDING WITH WORK, CONTRACTOR SHALL COORDINATE WITH EACH TRADE THE LOCATIONS OF SLEEVES OR ACCESSORIES INVOLVING OTHER TRADES.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FURNISHED UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF WORK. ANY DEFECTS DEVELOPING WITHIN THIS PERIOD TRACEABLE TO MATERIALS OR WORKMANSHIP PROVIDED OR PERFORMED BY THE CONTRACTOR, SHALL BE MADE GOOD AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL ACCEPT AND FULLY UNDERSTAND THIS PROVISION PRIOR TO THE CONTRACT BEING AWARDED. NO CLAIM FOR EXTRA COMPENSATION WILL BE ALLOWED FOR CORRECTION OF FAULTY WORK OR DEFECTIVE MATERIALS. AT ANY TIME DURING THE CONSTRUCTION PERIOD, OWNER'S REPRESENTATIVES AND THE ENGINEER RETAIN THE RIGHT TO REQUIRE THE CONTRACTOR TO REMOVE AND REINSTALL ANY EQUIPMENT OR MATERIALS NOT FOLLOWING THE STANDARDS AS PRESENTED HEREIN OR ON THE DRAWINGS AND AT NO COST TO THE OWNER.

SITE CONDITIONS

- LOCATE, IDENTIFY, AND PROTECT ALL EXISTING UTILITIES ENCOUNTERED DURING THE WORK. IF ANY, NOTIFY UTILITY COMPANIES OF IMPENDING WORK.
- ENSURE THAT ALL UTILITY AND OTHER SERVICES WHICH MAY BE DISTURBED DURING CLOSE EXCAVATION ARE TEMPORARILY STAYED AND BRACED PRIOR TO ANY EXCAVATION.
- PROVIDE SLEEVES APPROPRIATE TO CONSTRUCTION WHERE NEW PIPES, CONDUIT, AND DUCTS PENETRATE WALLS AND FLOORS. FILL VOIDS WITH FIRE SAFING INSULATION OR FOAM PENETRATION SEALANT.
- PROGRESS CLEANING: REMOVE DEBRIS FROM INTERIOR OF BUILDING ON A DAILY BASIS AND STORE TEMPORARILY IN COMMERCIAL TRASH CONTAINERS. REMOVE DEBRIS FROM BUILDING SITE AT INTERVALS REQUIRED TO MINIMIZE OVERFLOW AND SPILLAGE. HANDLE HAZARDOUS, DANGEROUS, OR UNSANITARY WASTE MATERIALS SEPARATELY FROM OTHER WASTE BY CONTAINERIZING PROPERLY. DISPOSE OF MATERIAL IN A LAWFUL MANNER.
- PROVIDE TEMPORARY TOILET FACILITIES FOR CONSTRUCTION USE. USE OF THE OWNER'S TOILET FACILITIES WILL NOT BE PERMITTED.

FINAL COMPLETION

- DO NOT BURN WASTE MATERIALS. DO NOT BURY DEBRIS OR EXCESS MATERIALS ON THE OWNER'S PROPERTY. DO NOT DISCHARGE VOLATILE, HARMFUL OR DANGEROUS MATERIALS INTO DRAINAGE SYSTEMS. REMOVE WASTE MATERIALS FROM THE SITE AND DISPOSE IN A LAWFUL MANNER.
- COMPLETE CLEANING OPERATIONS BEFORE REQUESTING INSPECTION FOR CERTIFICATION OF SUBSTANTIAL COMPLETION AND MAINTAIN BUILDING IN CLEANED CONDITION UNTIL FINAL COMPLETION.
- REMOVE TEMPORARY PROTECTION AND FACILITIES INSTALLED FOR PROTECTION OF THE WORK DURING CONSTRUCTION.
- REMOVE LABELS, CLEAN GLASS SURFACES, AND DUST AND WIPE CLEAN ALL PRODUCTS, MATERIALS, SYSTEMS, FINISHES, EQUIPMENT, AND SURFACES.

FBC RESIDENTIAL 8TH EDITION

OCCUPANCY: RESIDENTIAL- SINGLE FAMILY

AREA CALCULATIONS:

MAIN FLOOR LIVING AREA:	2,191	SQUARE FEET
UPPER FLOOR LIVING AREA:	1,300	SQUARE FEET
TOTAL LIVING:	3,491	SQUARE FEET
LANAI:	409	SQUARE FEET
GARAGE:	717	SQUARE FEET
ENTRY:	71	SQUARE FEET
COVERED BALCONY:	400	SQUARE FEET
FRONT BALCONY:	53	SQUARE FEET
TOTAL NON-CONDITIONED:	1,650	SQUARE FEET
TOTAL SQ. FT.	5,141	SQUARE FEET

APPLICABLE CODES:
FLORIDA BUILDING CODE - RESIDENTIAL, 8TH EDITION (2023)

ZONING INFORMATION

ZONING:	RS-6 SINGLE FAMILY
SITE ADDRESS:	LOT 6 MCGREGOR COVE LN FORT MYERS, FL 33901
LOT SIZE:	52'-6" WIDE AND 136'-9" LENGTH
MINIMUM LOT AREA:	CODE: 6,000 SQ. FEET ACTUAL: 7,000 SQ. FEET

MINIMUM YARDS

FRONT YARD:	2.6 FEET
SIDE YARDS:	5 FEET
REAR YARD:	10 FEET

MINIMUM FLOOR AREA:

1-STORY BUILDINGS:	1,400 SQUARE FEET
2-STORY BUILDINGS:	2,000 SQUARE FEET

MINIMUM PARKING:

2 SPACES PER RESIDENCE, LOCATED
WITHIN THE PERMITTED BUILDING AREA
(1 PROVIDED)

TERMITE PROTECTION

SEE FLORIDA BUILDING CODE - RESIDENTIAL, 8TH EDITION (2023) SECTION R318:

- TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION UPON COMPLETION OF THE APPLICATION OF THE TERMITE PROTECTIVE TREATMENT. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES." A COPY SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRIC PANEL.
- CONDENSATE AND ROOF DOWNSPOUTS SHALL DISCHARGE AT LEAST 1'-0" AWAY FROM BUILDING SIDE WALLS.
- IRRIGATION & SPRINKLER SYSTEMS, INCLUDING ALL RISERS AND SPRAY HEADS, SHALL NOT BE INSTALLED WITHIN 1'-0" OF THE BUILDING SIDE WALLS.
- TO PROVIDE FOR INSPECTION FOR TERMITE INFESTATION, CLEARANCE BETWEEN WALL COVERING AND FINAL EARTH GRADE SHALL NOT BE LESS THAN 6 INCHES.
EXCEPTIONS:
 - PAINT OR DECORATIVE CEMENTIOUS FINISH LESS THAN 5/8" THICK ADHERED DIRECTLY TO THE FOUNDATION WALL.
 - ACCESS OR VEHICLE RAMPS WHICH RISE TO THE INTERIOR FINISH FLOOR ELEVATION FOR THE WIDTH OF SUCH RAMPS ONLY.
 - A 4-INCH INSPECTION SPACE ABOVE PATIO AND GARAGE SLABS AND ENTRY AREAS.
- INITIAL TREATMENT SHALL BE DONE AFTER ALL EXCAVATION AND BACK FILL IS COMPLETE. SOIL DISTURBED AFTER THE INITIAL TREATMENT SHALL BE RETREATED INCLUDING SPACES BOXED OR FORMED.
- BOXED AREAS IN CONCRETE FLOORS FOR SUBSEQUENT INSTALLATION OF TRAPS, ETC., SHALL BE MADE WITH A PERMANENT METAL OR PLASTIC FORMS. PERMANENT FORMS MUST BE OF A SIZE AND DEPTH THAT WILL ELIMINATE THE DISTURBANCE OF SOIL AFTER THE INITIAL TREATMENT.
- MINIMUM 6 MIL VAPOR RETARDER MUST BE INSTALLED TO PROTECT AGAINST RAINFALL DILUTION IF RAINFALL OCCURS BEFORE VAPOR RETARDER PLACEMENT, RETREATMENT IS REQUIRED.
- CONCRETE OVER FOUR AND MORTAR ALONG THE FOUNDATION PERIMETER MUST BE REMOVED BEFORE EXTERIOR SOIL TREATMENT.
- SOIL TREATMENT MUST BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1'-0" OF THE STRUCTURES SIDEWALLS.
- AN EXTERIOR VERTICAL CHEMICAL BARRIER MUST BE INSTALLED AFTER CONSTRUCTION IS COMPLETE INCLUDING LANDSCAPING AND IRRIGATION. ANY SOIL DISTURBED AFTER THE VERTICAL BARRIER IS APPLIED, SHALL BE RETREATED.
- ALL BUILDINGS ARE REQUIRED TO HAVE PRE-CONSTRUCTION TREATMENT.
- AFTER ALL WORK IS COMPLETED, LOOSE WOOD AND FILL MUST BE REMOVED FROM BELOW AND WITHIN 1'-0" OF THE BUILDING. THIS INCLUDES ALL GRADE STAKES, TUB TRAP BOXES, FORMS, SHORING OR OTHER CELLULOSE CONTAINING MATERIAL.
- NO WOOD, VEGETATION, STUMPS, CARDBOARD, TRASH, ETC., SHALL BE BURIED WITHIN 15'-0" OF ANY BUILDING OR PROPOSED BUILDING.

DRAWING INDEX

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PROJECT SUMMARY

THIS IS A PERMIT APPLICATION FOR A SINGLE FAMILY RESIDENCE TO BE CONSTRUCTED ON AN EXISTING 1.25 ACRE SINGLE FAMILY LOT LOCATED AT LOT 6 MCGREGOR COVE LN, FORT MYERS, FL 33901 IN THE CITY OF FORT MYERS, FLORIDA. THE LOT IS VACANT AND ALL SITE UTILITIES ARE EXISTING. THE PROJECT INCLUDES AN APPROXIMATELY 3,491 SQUARE FOOT UNDER AIR NEW SINGLE FAMILY RESIDENCE THAT CONFORMS TO THE RS-6 ZONING DISTRICT, AS WELL AS POOL AND HARDSCAPE AREAS. SEE LANDSCAPE ARCHITECTURE DRAWINGS FOR POOL & HARDSCAPE DETAILS.

c WJ WRIGHT JENKINS
HOME DESIGN

LOT 6
MCGREGOR COVE LN

WRIGHT JENKINS HOME DESIGN
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DESIGNED BY: DJ

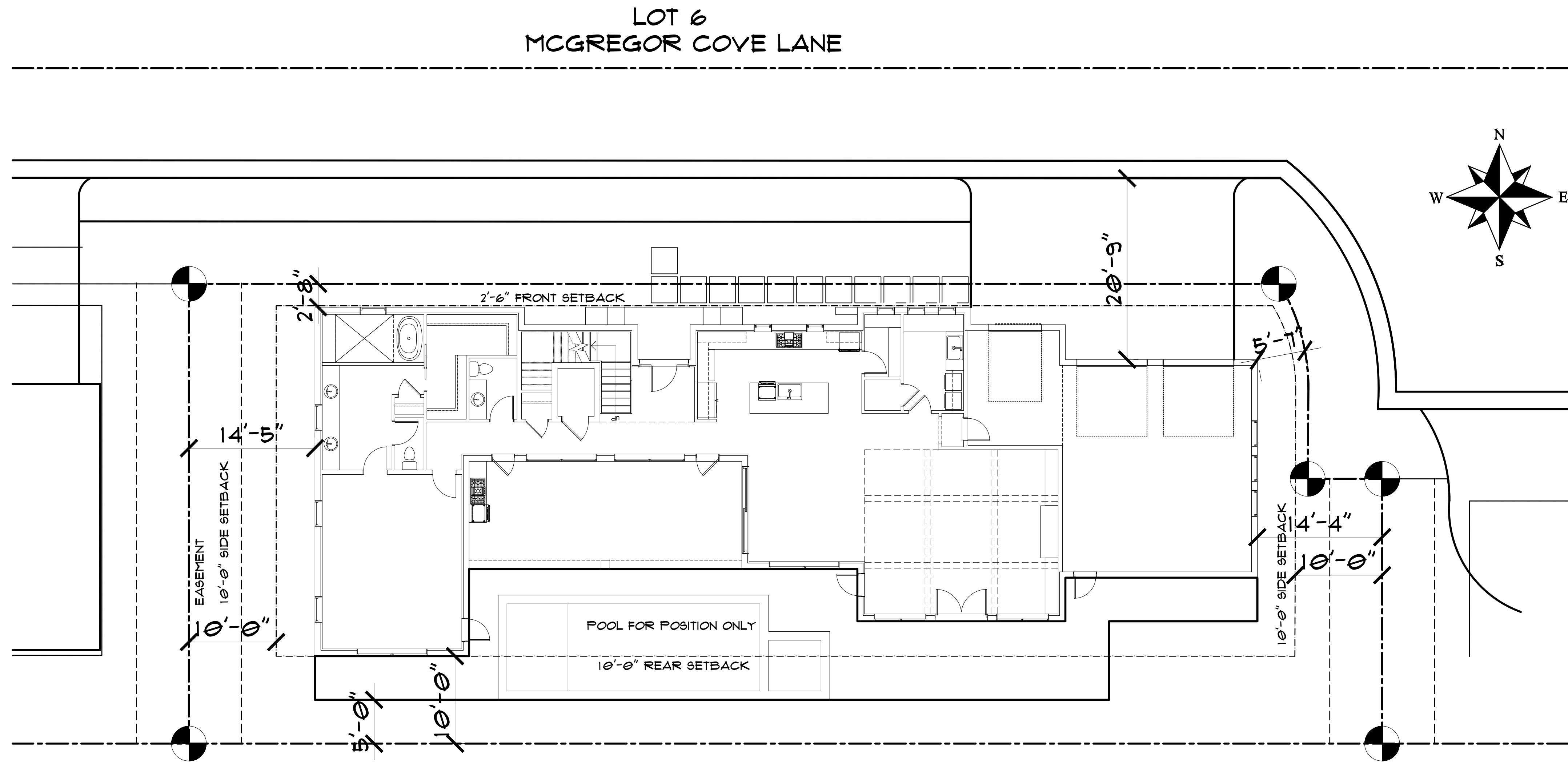
DRAWN BY: CJ

DATE: 12-19-24

REVISION DATE:

SHEET #

COVER



SITE PLAN

SCALE: 1/8" = 1'-0"

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DRAWN BY: CJ
DATE: 12-19-24
REVISION DATE:

SHEET #
SITE

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WJ WRIGHT JENKINS
HOME DESIGN

LOT 6
MCGREGOR COVE LN



NON-LOAD BEARING INTERIOR PARTITION
SCALE: 1/2" = 1'

EXTERIOR RAILING DETAIL

SCALE: $3/4" = 1'-0"$



SCALE: $3/4" = 1'$



SCALE: $3/4" = 1'$



SCALE: 3" = 1'



SCALE: 3" = 1'



SCALE: 3" = 1'



SCALE: 3" = 1'



DETAIL

SCALE: 3" = 1'



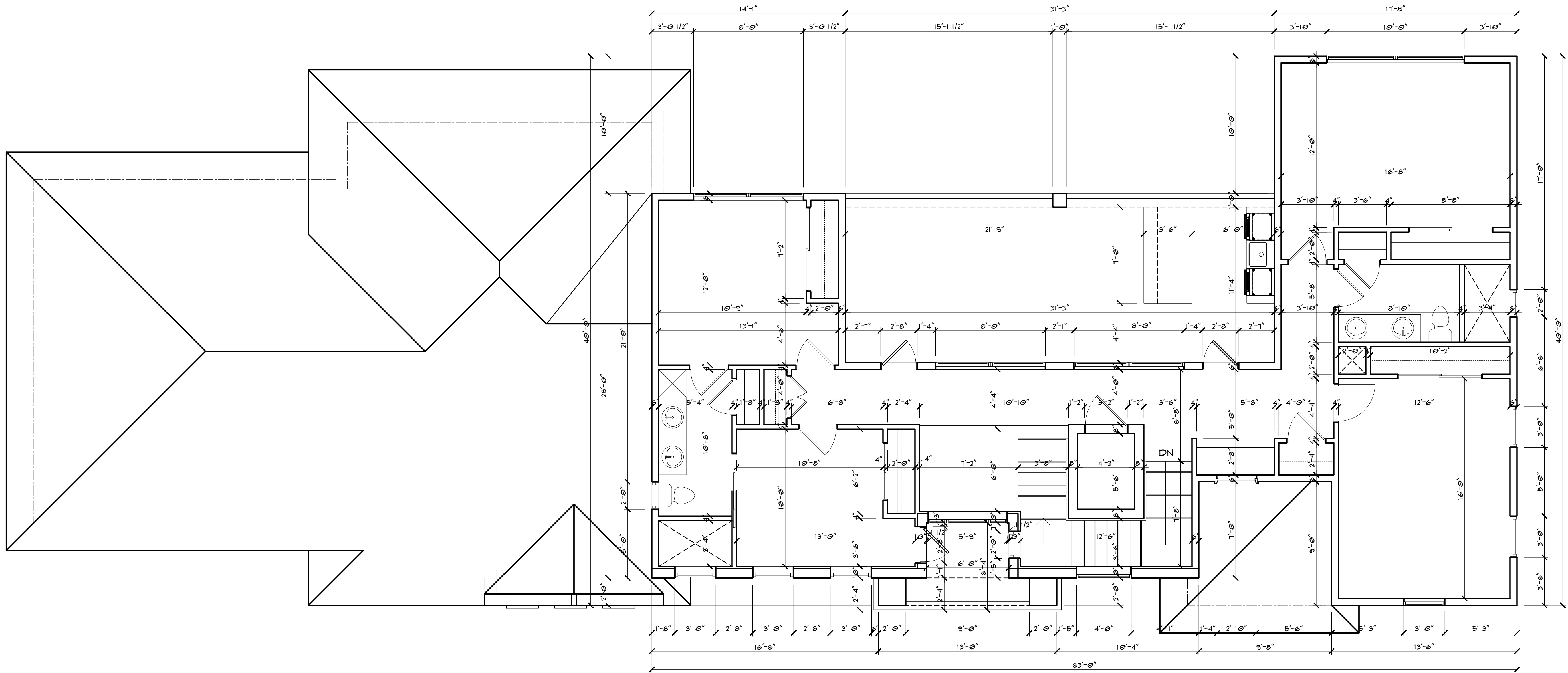
SCALE: 3" = 1'



SCALE: 3" = 1'



SCALE: 3" = 1'



UPPER FLOOR PLAN
DIMENSIONS

SCALE: 1/4" = 1'-0"



DESIGNED BY: DJ
DRAWN BY: CJ
DATE: 12-19-24
REVISION DATE:

SHEET #
A-01

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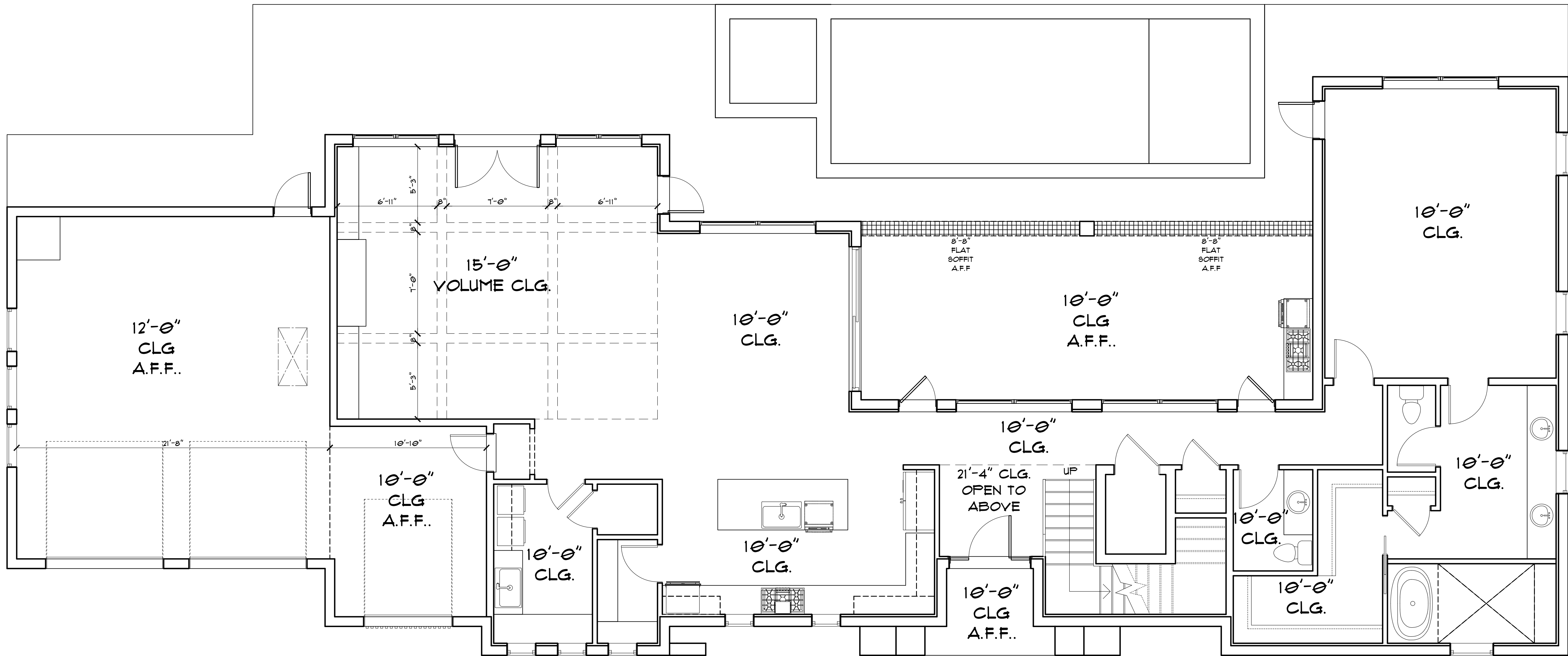
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WJ HOME DESIGN

LOT 6
MCGREGOR COVE LN



CLG. LEGEND	
CROWN MOULDING	-----
FLAT SOFFIT	
ARCHED SOFFIT	XXXXX
STEPPED CLG.	■■■■■

REFLECTED CEILING PLAN
MAIN FLOOR
SCALE: 1/4" = 1'-0"

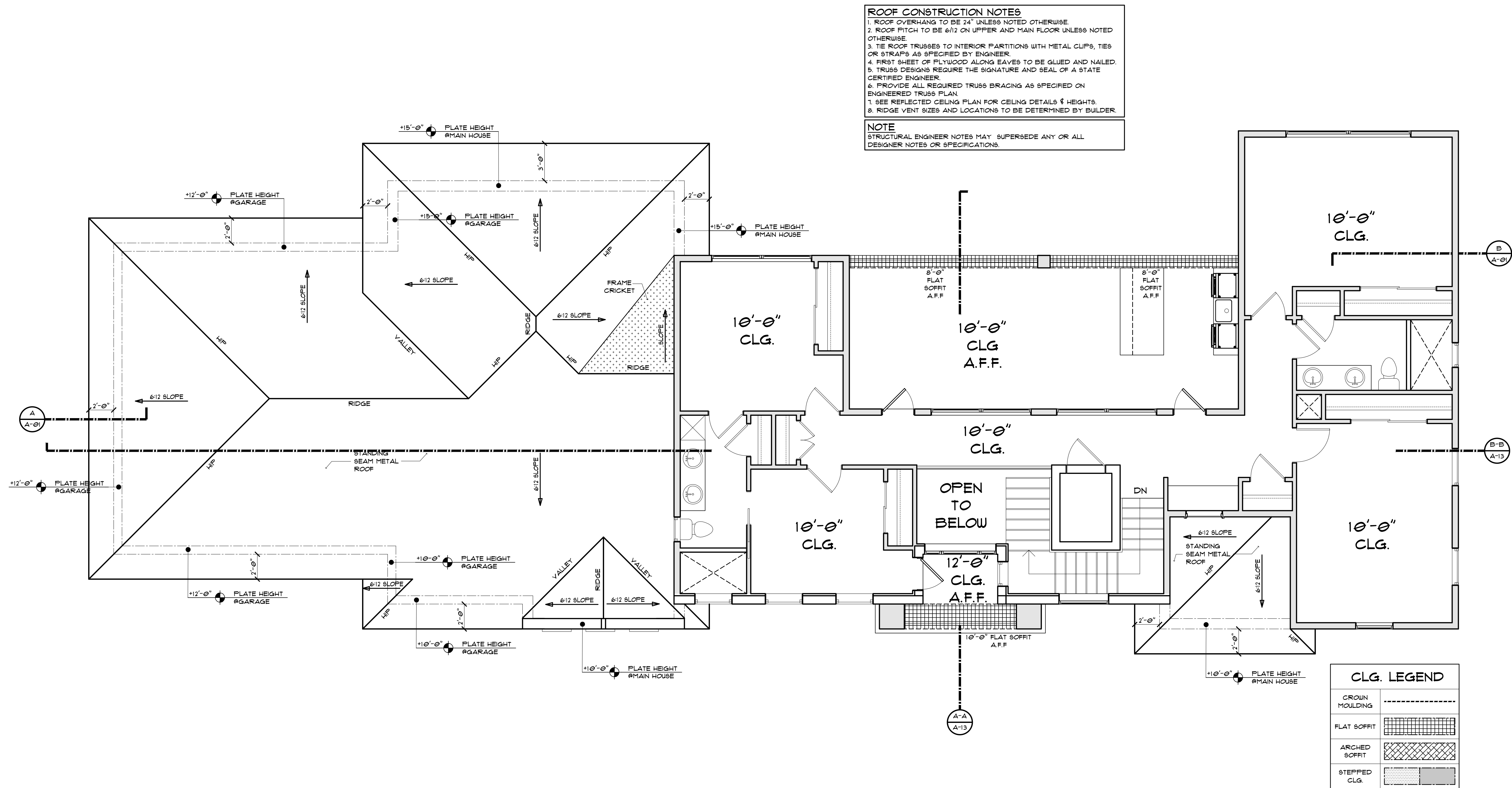
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DRAWN BY: CJ
DATE: 12-19-24
REVISION DATE:

SHEET #
A-08

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ROOF CONSTRUCTION NOTES

1. ROOF OVERHANG TO BE 24" UNLESS NOTED OTHERWISE.
2. ROOF PITCH TO BE 6/12 ON UPPER AND MAIN FLOOR UNLESS NOTED OTHERWISE.
3. TIE ROOF TRUSSES TO INTERIOR PARTITIONS WITH METAL CLIPS, TIES OR STRAPS AS SPECIFIED BY ENGINEER.
4. FIRST SHEET OF PLYWOOD ALONG EAVES TO BE GLUED AND NAILED.
5. TRUSS DESIGNS REQUIRE THE SIGNATURE AND SEAL OF A STATE CERTIFIED ENGINEER.
6. PROVIDE ALL REQUIRED TRUSS BRACING AS SPECIFIED ON ENGINEERED TRUSS PLAN.
7. SEE REFLECTED CEILING PLAN FOR CEILING DETAILS & HEIGHTS.
8. RIDGE VENT SIZES AND LOCATIONS TO BE DETERMINED BY BUILDER.

NOTE
STRUCTURAL ENGINEER NOTES MAY SUPERSEDE ANY OR ALL DESIGNER NOTES OR SPECIFICATIONS.

REFLECTED CEILING PLAN
UPPER FLOOR & MAIN FLOOR ROOF

SCALE: 1/4" = 1'-0"
WJ WRIGHT JENKINS
HOME DESIGN

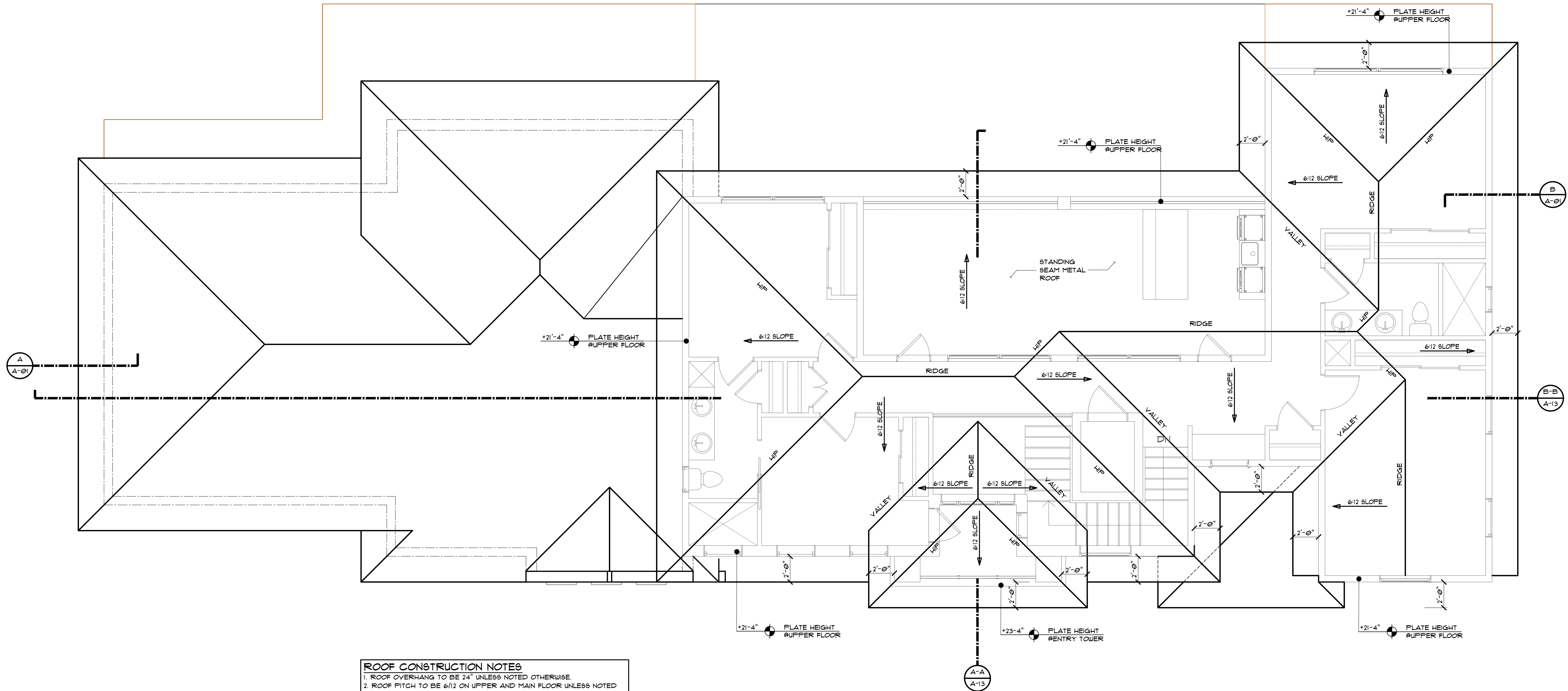
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REVISION DATE:

SHEET #
A-09

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- ROOF CONSTRUCTION NOTES**
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 2. ROOF PITCH TO BE 6/12 ON UPPER AND MAIN FLOOR UNLESS NOTED OTHERWISE.
 3. TIE ROOF TRUSSES TO INTERIOR PARTITIONS WITH METAL CLIPS, TIES OR STRAPS AS SPECIFIED BY ENGINEER.
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 8. RIDGE VENT SIZES AND LOCATIONS TO BE DETERMINED BY BUILDER.

NOTE
STRUCTURAL ENGINEER NOTES MAY SUPERSEDE ANY OR ALL DESIGNER NOTES OR SPECIFICATIONS.

ROOF PLAN
UPPER FLOOR

SCALE: 1/4" = 1'-0"

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DATE: 12-19-24
REVISION DATE:

SHEET #
A-10

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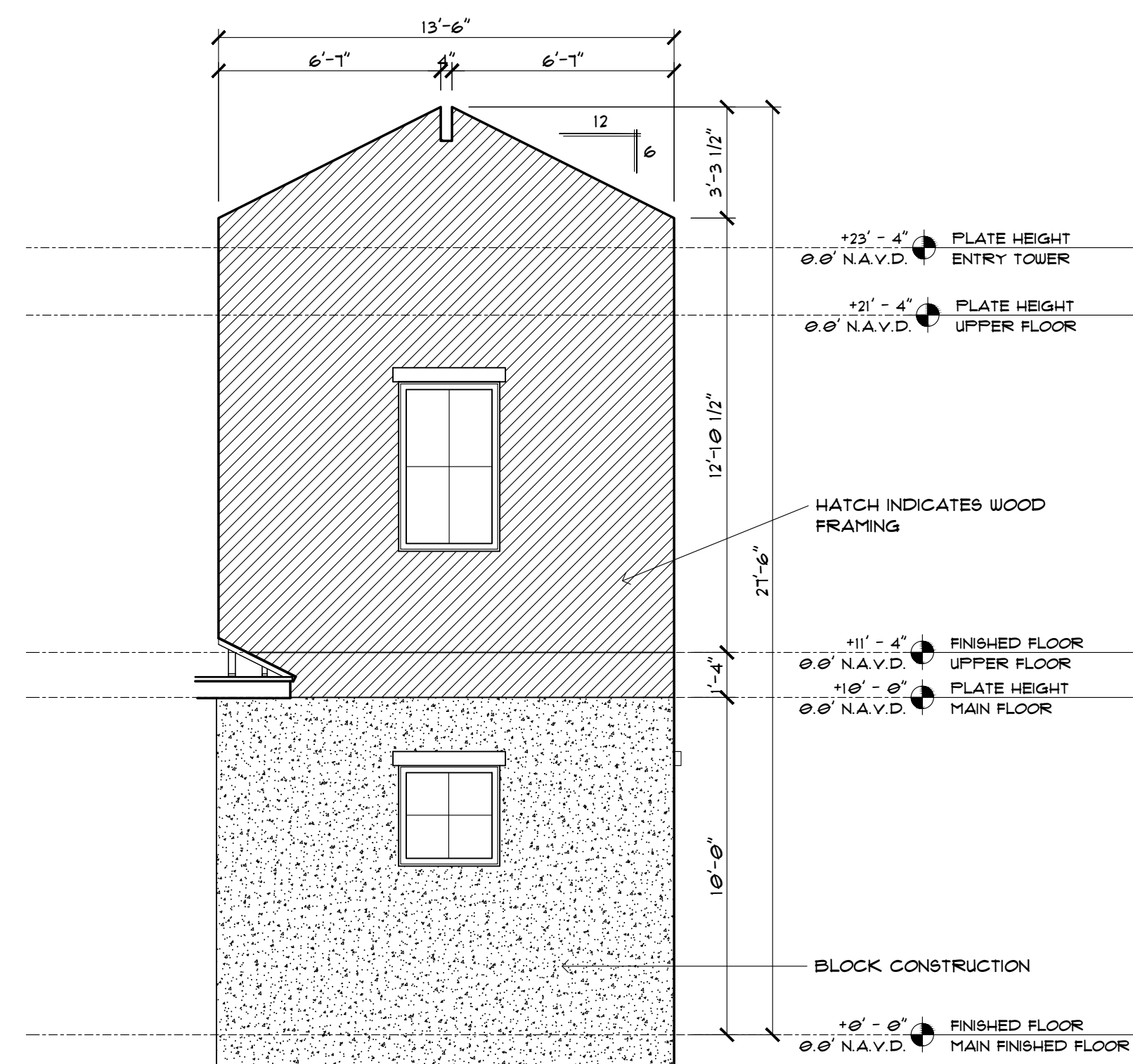
HOME DESIGN

LOT 6
MCGREGOR COVE LN



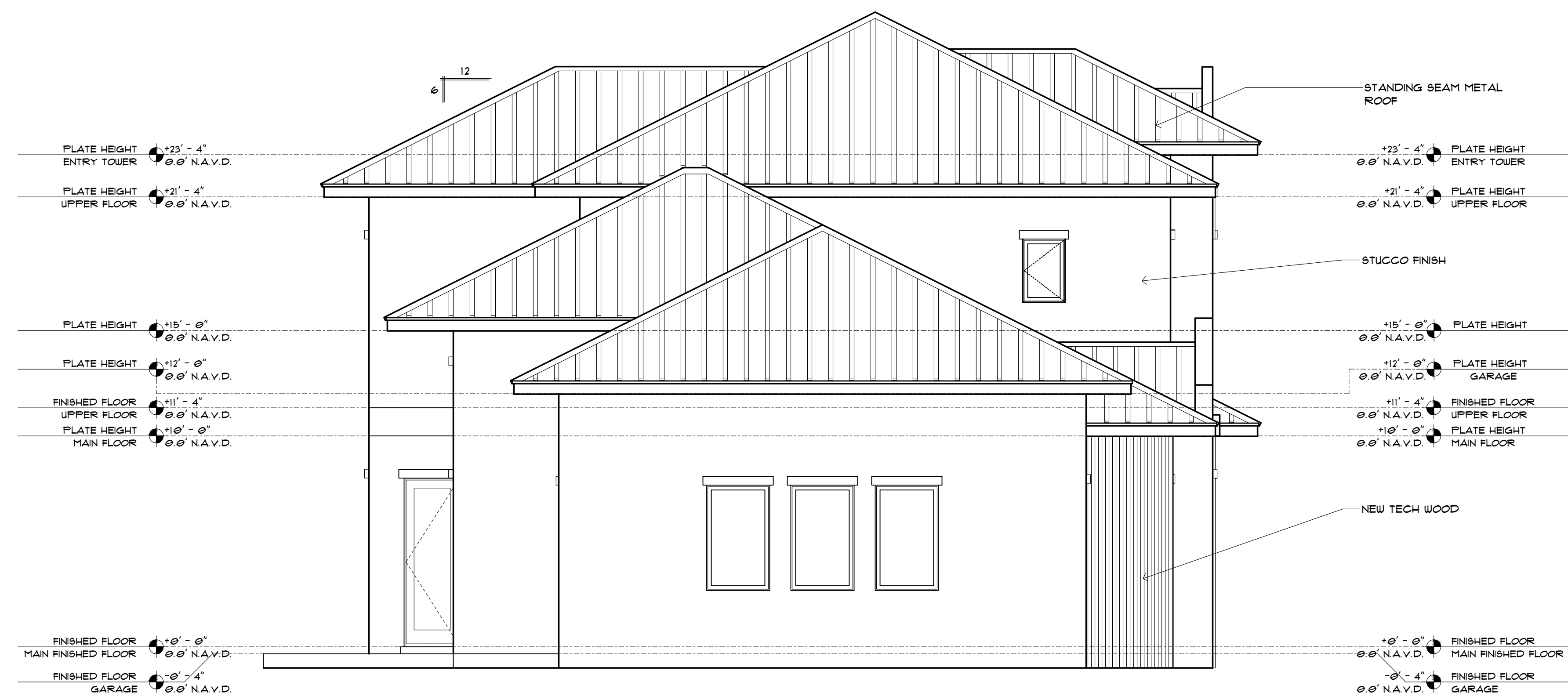
REAR ELEVATION

SCALE: 1/4" = 1'-0"



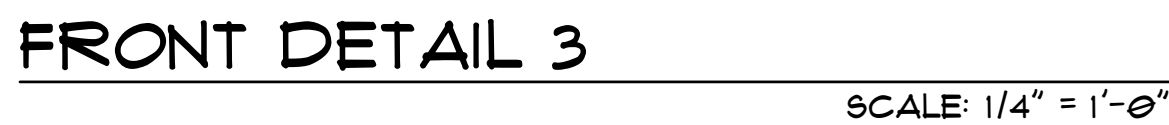
FRONT DETAIL 2

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



SHEET #
A-13

LOT 6
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WRIGHT JENKINS

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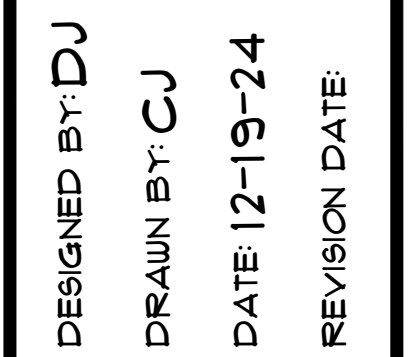
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SHEET #
A-13

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HOME DESIGN



SCALE: $1/4" = 1'-0"$



SHEET #
A-15

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