

**LOT 6  
MCGREGOR COVE LN**

**WJ WRIGHT JENKINS HOME DESIGN**

12374 KENWOOD LANE  
SUITE 21 # 22  
FORT MYERS, FL 33901  
239-392-3849 FAX  
URIGHTJENKINS.COM

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**LOT 6 RESIDENCE**

MCGREGOR COVE LN  
FORT MYERS, FL 33901

**ABBREVIATIONS**

ABV ABOVE	EXH EXHAUST	MFR MANUFACTURE (ED)	RFG ROOFING
AFF ABOVE FINISHED FLOOR	EXTG EXISTING	MAS MASONRY	RM ROOM
ASC ABOVE SUSPENDED CEILING	EXP EXPPOSED	MO MASONRY OPENING	RSC ROUGH SAWN
ACC ACCESS	EXT EXTERIOR	MAX MAXIMUM	RED CEDAR
AP ACCESS PANEL	EXS EXTRA STRONG	MECH MECHANIC (AL)	RLK ROWLOCK
ACU ACOUSTICAL PANEL	FAC FACE BRICK	MFC MEDICINE CABINET	SFG SAFETY GLASS
ADP ADJUSTABLE	FCC FACE OF CONCRETE	MMB MEMBRANE	SCH SCHEDULE
ADJT ADJUSTABLE	FOF FACE OF FINISH	MET METAL	SGN SCREEN
AGG AGGREGATE	FOM FACE OF MASONRY	MM MILLIMETER (S)	SGT SEATING
A/C AIR CONDITIONING	FOS FACE OF STUDS	MIR MIRROR	SECT SECTION
ALT ALTERNATE	FF FACTORY FINISH	MOC CELLULAR	SSD SEE STRUCTURAL
ALUM ALUMINUM	FAS FASTEN, FASTENER	MOL MOLDING	DRAWINGS
AND ANCHORED	FBD FIBERBOARD	MOP MOLDING, MOULDING	SHG SHEATHING
APX APPROXIMATE	FGL FLOOR GLASS	MRC MOP RECEPTOR	SHI SHELF, SHELVING
AD AREA DRAIN	FIF FINISHED FLOOR	MTR MOP RECEPTOR COURSE	SIM SIMILAR
ASPH ASPHALT	FFL FINISHED FLOOR LINE	MM MOUNT (ED), (NG)	SLDC SOLID CORE
AT ASPHALT TILE	FA FIRE ALARM	MOV MOBILE	SP SOUNDPROOF
AUTO AUTOMATIC	FBK FIRE BRICK	MULL MULLION	SQ SOUTH
BST BASEMENT	FE FIRE EXTINGUISHER	NAT NATURAL	SPK SPEAKER
BST BEARING	FEC FIRE EXTINGUISHER	NRC NOISE REDUCTION	SPL SPECIAL
BPI BURNING PLATE	CAB CABINET	CO COAT	SPEC SPECIFICATION
BIM BENCH MARK	FHS FIRE HOSE STATION	NON NONMETALLIC	(S)
BET BETWEEN	FPI FIREPLACE	NORTH N	SQ SQUARE
BYL BEVELED	FP FIREPROOF	NOT IN CONTRACT	SS STAINLESS STEEL
BIT BITUMINOUS	FRT FIRE-RETARDANT	NOTS NOT TO SCALE	STD STANDARD
BULK BLOCK	FLG FLASHING	NUT NATURAL	STA STATION
BULK BLOCKING	FLX FLEXIBLE	NRC NOISE REDUCTION	STL STEEL
BLD BOARD	FLO FLOOR (NG)	CO COAT	STOR STORAGE
BMS BMS SIDES	FLO FLOOR CLEANOUT	NON NONMETALLIC	SD STORM DRAIN
BW BOTH WAYS	FD FLOOR DRAIN	NORTH N	STRUCT STRUCTURAL
BOT BOTTOM	FPL FLOOR PLATE	NOT IN CONTRACT	SCT STRUCTURAL CLAY
BRK BRICK	FUR FLUORESCENT	NTS NOT TO SCALE	TILE
BZB BRONZE	FVG FOOTING	ON CENTER (S)	SUSP SUSPENDED
BZG BUILDING	FND FOUNDATION	OP OPENING	SYS SYSTEM
BUR BUILT UP ROOFING	FR FRAME (D), (NG)	OPP OPPOSITE	TEL TELEPHONE
CAB CABINET	FRA FREASH AIR	OPO OPPOSITE HAND	TV TELEVISION
CD CARPET (ED)	FB FULL SIZE	OPO OPPOSITE SURFACE	THK THICK (NESS)
CM CEMASMENT	FBO FURNISHED BY OTHERS	OD OUTSIDE DIAMETER	THR THRESHOLD
CG CAST IRON	FUT FUTURE	OA OVERALL	TPTN TOILET PARTITION
CIP CAST-IN-PLACE CONCRETE	GA GAGE GAUGE	OH OVERHEAD	TPD TOILET PAPER
GST CAST STONE	GY GALVANIZED	ON CENTER (S)	DISPENSER
CB CATCH BASIN	GI GALVANIZED IRON	NT NATURAL	TOL TOLERANCE
CG CEILING	GP GALVANIZED PIPE	NRC NOISE REDUCTION	TIG TONGUE & GROOVE
CHG CEILING HEIGHT	GS GALVANIZED STEEL SHEET	CO COAT	TG TOP OF CURB
GEN CEMENT	GC GENERAL CONTRACTOR	NON NONMETALLIC	TG TOP OF CURB
CM CENTERMETER(6)	GL GLASS	NORTH N	TP TOP OF PAVEMENT
CER CERAMIC	GL GLASS BLOCK	NOT IN CONTRACT	TS TOP OF SLAB
CT CERAMIC TILE	GR GRAB BAR	NTS NOT TO SCALE	TS TOP OF STEEL
CMT CERAMIC MOSAIC (TILE)	GD GRADE GRADING	PAN PANIC BAR	TT TOP OF WALL
CHAM CHAMFER	GVL GRAVEL	PD PEPER TOWEL	TB TOWEL BAR
CIR CIRCLE	GT GROUP	PF PAPER TOWEL	TBD TO BE DETERMINED
CLR CLEAR (ANCE)	GYL GYPSUM DRY WALL	RE RECEPTOR	T TREAD
COL COLUMN	HDP HOLLOW BOARD	PAR PARALLEL	TYP TYPICAL
CON COMBINATION	HDU HARDWARE	HDR HEADER	UNFIN UNFINISHED
CONG CONCRETE	HWD HARDWOOD	HG HEATING	UR URINAL
CMU CONCRETE MASONRY UNIT	HG GRAB BAR	HVAC HEATING/VENTILATING	V B VAPOR BARRIER
CONST CONSTRUCTION	HGT HEIGHT	FV FAVE (D), (NG)	VAR VARNISH
CONT CONTINUOUS OR CONTINUE	HT HEIGHT	FVMT PAVEMENT	VNR VENEER
CONTR CONTRACT (OR)	HTL LENGTH	FT FLOOR	VERT VERTICAL
CONC CONTROL LINE	HML HOLLOW CORE	FER FER PERFORATE (D)	VG VERTICAL GRAIN
CG CORNER GUARD	HML HOLLOW METAL	FER PERIMETER	VIF VIF IN FIELD
CORR CORRUGATED	HOB HOSE BIBB	FPC FPC	VIN VINYL
CFL COUNTER FLASHING	HOR HORIZONTAL	FPS FPL	VB VINY BASE
CRS COURSE (S)	INCN INCN (D), (NG)	FPL PLATE	VT VINYL TILE
CF CUBIC FOOT	ID INSIDE DIAMETER	FPL PLATE	WSCT WANSBOT
CY CUBIC YARD	INSUL INSULATE (D), (NG)	FU FW FLOOR	WTU WALL TO WALL
DP DAMPPROOFING	INT INTERIOR	FV FV INVERT	WH WALL HUNG
DEV DEPOLISH, DEMOLITION	INH IMMEDIATE	FVC FVC	WATER HEATER
DEW DEWPOINT	IPF INFLATE	FPC FPC POST-TENSIONED	WT WATER CLOSET
DFF DESIGN FLOOD ELEVATION	IPF IRON PIPE	FPC POUNDS PER CUBIC FOOT	WP WATER PROOFING
DTL DETAIL	IPS IRON PIPE SIZE	FPL POUNDS PER LINEAL FOOT	WR WATER REPELLENT
DIAG DIAGONAL	JG JANITOR'S CLOSET	FPS POUNDS PER SQUARE FOOT	WS WS WATERSTOP
DIAM DIAMETER	JT JOINT	FSI POUNDS PER SQUARE INCH	WW WUF WELDED WIRE
DM DIMENSION	JF JOINT FILLER	FCC FCC	Fabric
DV DIVISION	JST JOIST	FRECAST CONCRETE	W WEST
DR DRAIN	KIT KITCHEN	FREPREACTIC (D)	W WIDTH, WIDE
DA DRAEFLACTING	KO KNOCKOUT	FPM FPM	WDW WDW WINDOW
DH DOUBLE HUNG	LBL LABEL	FRE PRESTRESSED	WG WGL WIRE GLASS
D9 DOWNSPOUT	LAB LABORATORY	CONCRETE	WM WIRE MESH
D DRAIN	LB LAG BOLT	FPL PROPERTY LINE	W/O WITHOUT
DUR DRAWER	LAM LAMINATE (ED)	GT QUARRY TILE	WD WD WOOD
DF DRINKING FOUNTAIN	LAV LAVATORY	RAD RADU	WB WB WOOD BASE
DF DUMBWATER	LH LEFT HAND	RED REDWOOD	WFT WFT WORKING POINT
EA EACH	L LENGTH	REF REFERENCE	WI WI WROUGHT IRON
E EAST	LW LIGHTWEIGHT	REG REGULATOR	
BLC ELECTRIC (AL)	LWC LIGHTWEIGHT CONCRETE	REG REGISTER	
EP ELECTRIC PANELBOARD	LMS LIMESTONE	REFL REINFORCE (D), (NG)	
EUC ELECTRIC WATER COOLER	LTL LTEL	RCP RCP REINFORCED	
EL ELEVATION	LL LIVE LOAD	CONCRETE PIPE	
ELEY ELEVATOR	LVR LOUVER	RES RESILIENT	
EM EMERGENCY	LPT LOW POINT	RET RETURN	
EQ EQUAL	MH MANHOLE	RA RETURN AIR	
EST ESTIMATE	RD ROOF DRAIN	REV REVISION (S), REVISED	
EXCA EXCAVATE		RG RIGHT HAND	
EXH EXHAUST		ROU RIGHT OF WAY	
		RIS RISER	
		RD ROOF DRAIN	

**GENERAL NOTES:**

- IT IS THE INTENT OF THESE CONTRACT DOCUMENTS TO DEFINE AND DESCRIBE A COMPLETE FINISHED AND FULLY FUNCTIONING FACILITY. ANY PRODUCT, MATERIAL, SYSTEM, EQUIPMENT, OR ASSEMBLY WHICH NORMALLY WOULD BE REQUIRED TO MEET THIS REQUIREMENT SHALL BE PROVIDED AS IF SPECIFICALLY NOTED.
- WHEN WORK IS NOT SPECIFICALLY NOTED BUT IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER. THE DOCUMENTS ARE DIAGRAMMATIC AND SHALL NOT BE SCALLED. ADDITIONAL DATA SHALL BE OBTAINED FROM THE DESIGNER THROUGH WRITTEN CLARIFICATION ONLY.
- ALL WORK AS OUTLINED IN THESE DOCUMENTS SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES IN EFFECT AT THE TIME THESE DOCUMENTS WERE PREPARED. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN.
- CONTRACTOR SHALL VISIT THE JOB SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS WHICH MAY AFFECT THE BID.
- CONTRACTOR SHALL BE EXPERIENCED IN THIS TYPE OF WORK. NO ALLOWANCES WILL BE MADE FOR LACK OF EXPERIENCE.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT THE CONSTRUCTION.
- ANY EXISTING UTILITIES TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED, OR CAPPED, AS REQUIRED BY CODE.
- DAMAGED OR DISRUPTED EXISTING CONDITIONS INCLUDING BUT NOT LIMITED TO LANDSCAPING, LIGHTING, IRRIGATION, PEDESTRIAN AND VEHICLE ACCESS SHALL BE REPLACED AT THE END OF CONSTRUCTION TO THE SAME STANDARDS OF QUALITY AS EXISTED PRIOR TO CONSTRUCTION.
- DISRUPTED ELECTRICAL AND WATER LINES SHALL BE RE-Routed DURING CONSTRUCTION AND LEFT TO REMAIN IN CONTINUOUS SERVICE UNLESS OTHERWISE INDICATED OR INSTRUCTED.
- NO CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN DIRECTION FROM THE DESIGNER.
- WHERE LACK OF INFORMATION OR DISCREPANCY EXISTS IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM THE DESIGNER BEFORE PROCEEDING.
- UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, PLUMBING LINES, ETC SHALL BE RUN CONCEALED AND FRAMING SHALL BE CORRECTLY SIZED TO ACCOMPLISH THIS WITHOUT CREATING VARIATIONS IN THE WALL PLANE.
- PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR ALL CEILING AND WALL MOUNTED EQUIPMENT, HARDWARE, AND ACCESSORIES.
- WHEN A PRODUCT, SYSTEM OR ASSEMBLY IS CALLED FOR ALL NECESSARY PARTS AND MATERIALS REQUIRED FOR A COMPLETE AND FULLY OPERATIONAL SYSTEM SHALL BE PROVIDED AND INSTALLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
- PRIOR TO PROCEEDING WITH WORK, CONTRACTOR SHALL COORDINATE WITH EACH TRADE THE LOCATIONS OF SLEEVES OR ACCESSORIES INVOLVING OTHER TRADES.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FURNISHED UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF WORK. ANY DEFECTS DEVELOPING WITHIN THIS PERIOD TRACEABLE TO MATERIALS OR WORKMANSHIP PROVIDED OR PERFORMED BY THE CONTRACTOR, SHALL BE MADE GOOD AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL ACCEPT AND FULLY UNDERSTAND THIS PROVISION PRIOR TO THE CONTRACT BEING AWARDED. NO CLAIM FOR EXTRA COMPENSATION WILL BE ALLOWED FOR CORRECTION OF FAULTY WORK OR DEFECTIVE MATERIALS. AT ANY TIME DURING THE CONSTRUCTION PERIOD, OWNER'S REPRESENTATIVES AND THE ENGINEER RETAIN THE RIGHT TO REQUIRE THE CONTRACTOR TO REMOVE AND REINSTALL ANY EQUIPMENT OR MATERIALS NOT FOLLOWING THE STANDARDS AS PRESENTED HEREIN OR ON THE DRAWINGS AND AT NO COST TO THE OWNER.

**SITE CONDITIONS**

- LOCATE, IDENTIFY, AND PROTECT ALL EXISTING UTILITIES ENCOUNTERED DURING THE WORK. IF ANY, NOTIFY UTILITY COMPANIES OF IMPENDING WORK.
- ENSURE THAT ALL UTILITY AND OTHER SERVICES WHICH MAY BE DISTURBED DURING CLOSE EXCAVATION ARE TEMPORARILY STAYED AND BRAZED IN POSITION DURING THE WORK.
- PROVIDE SLEEVES APPROPRIATE TO CONSTRUCTION WHERE NEW PIPES, CONDUIT, AND DUCTS PENETRATE WALLS AND FLOORS. FILL Voids WITH FIRE SAFING INSULATION OR FOAM PENETRATION SEALANT.
- PROGRESS CLEANING REMOVE DEBRIS FROM INTERIOR OF BUILDING ON A DAILY BASIS AND STORE TEMPORARILY IN COMMERCIAL TRASH CONTAINERS. REMOVE DEBRIS FROM BUILDING SITE AT INTERVALS REQUIRED TO MINIMIZE OVERFLOW AND SPILLAGE. HANDLE HAZARDOUS, DANGEROUS, OR UNSANITARY WASTE MATERIALS SEPARATELY FROM OTHER WASTE BY CONTAINERIZING PROPERLY. DISPOSE OF MATERIAL IN A LAWFUL MANNER.
- PROVIDE TEMPORARY TOILET FACILITIES FOR CONSTRUCTION USE. USE OF THE OWNERS TOILET FACILITIES WILL NOT BE PERMITTED.

**FINAL COMPLETION**

- DO NOT BURN WASTE MATERIALS. DO NOT BURY DEBRIS OR EXCESS MATERIALS ON THE OWNER'S PROPERTY. DO NOT DISCHARGE VOLATILE, HARMFUL OR DANGEROUS MATERIALS INTO DRAINAGE SYSTEMS. REMOVE WASTE MATERIALS FROM THE SITE AND DISPOSE IN A LAWFUL MANNER.
- COMPLETE CLEANING OPERATIONS BEFORE REQUESTING INSPECTION FOR CERTIFICATION OF SUBSTANTIAL COMPLETION AND MAINTAIN BUILDING IN CLEANED CONDITION UNTIL FINAL COMPLETION.
- REMOVE TEMPORARY PROTECTION AND FACILITIES INSTALLED FOR PROTECTION OF THE WORK DURING CONSTRUCTION.
- REMOVE LABELS, CLEAN GLASS SURFACES, AND DUST AND WIPE CLEAN ALL PRODUCTS, MATERIALS, SYSTEMS, FINISHES, EQUIPMENT, AND SURFACES.

**FBC RESIDENTIAL 8TH EDITION**

OCCUPANCY: RESIDENTIAL- SINGLE FAMILY

**AREA CALCULATIONS:**

MAIN FLOOR LIVING AREA:	2,191	SQUARE FEET
UPPER FLOOR LIVING AREA:	1,300	SQUARE FEET
TOTAL LIVING:	3,491	SQUARE FEET
LANAI:	403	SQUARE FEET
GARAGE:	111	SQUARE FEET
ENTRY:	71	SQUARE FEET
COVERED BALCONY:	400	SQUARE FEET
FRONT BALCONY:	53	SQUARE FEET

TOTAL NON-CONDITIONED: 1,650 SQUARE FEET

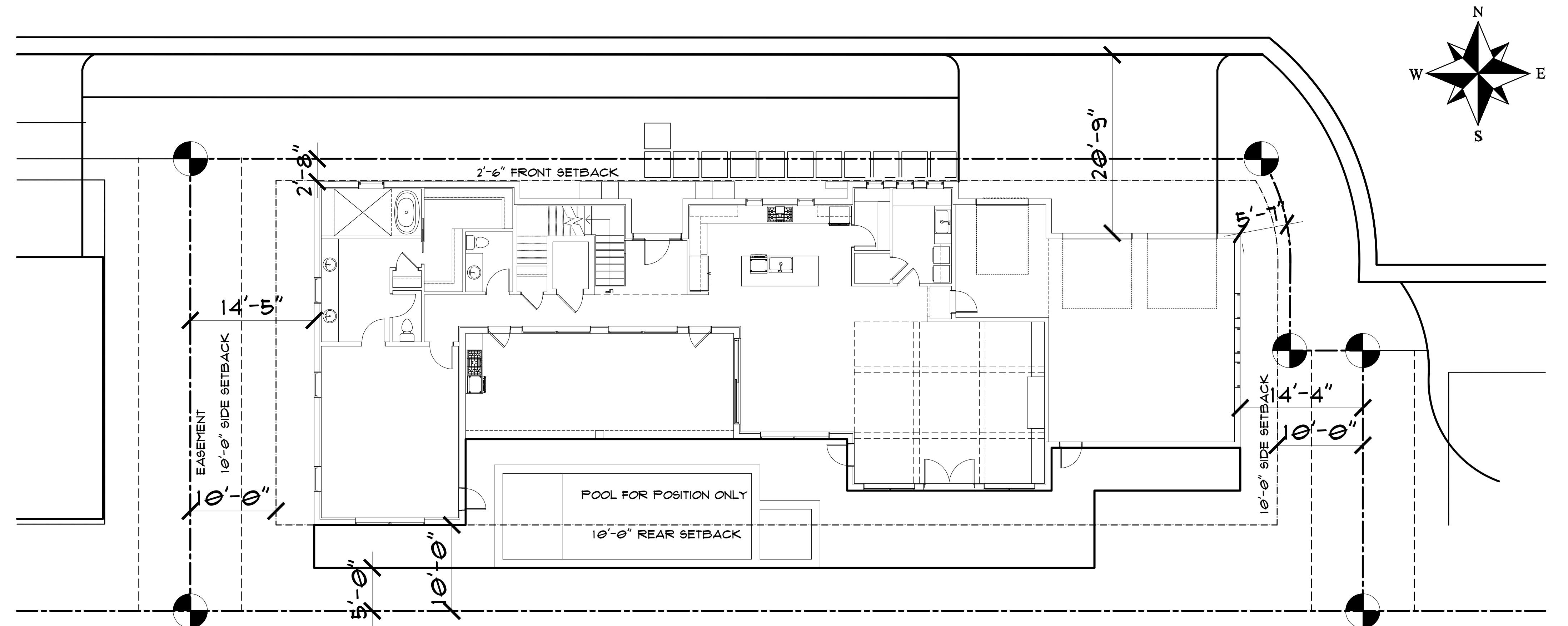
TOTAL SQ. FT.: 5,141 SQUARE FEET

APPLICABLE CODES: FLORIDA BUILDING CODE - RESIDENTIAL, 8TH EDITION (2023)

**ZONING INFORMATION**

ZONING:	R5-6 SINGLE FAMILY
SITE ADDRESS:	LOT 6 MCGREGOR COVE LN FORT MYERS, FL 33901
LOT SIZE:	52'-0" WIDE AND 136'-3" LENGTH
MINIMUM LOT AREA:	CODE: 6,000 SQ. FEET ACTUAL: 7,000 SQ. FEET
MINIMUM YARDS	
FRONT YARD:	2.6 FEET
SIDE YARDS:	5 FEET
REAR YARD:	10 FEET

LOT 6  
MCGREGOR COVE LANE



# SITE PLAN

CALE:  $1/8'' \equiv 1'-\theta''$

**DESIGNED BY: DJ**

**DRAWN BY: CJ**

**DATE: 12-19-24**

**REVISION DATE:**

---

**SHEET #**

**SITM**



# ARCHITECTURAL NOTES

## GENERAL NOTES:

1. SEAL SILL PLATE & TOP PLATES OF ALL EXTERIOR WALLS, GARAGE SEPARATION WALLS, AND ALL WINDOWS & DOOR JAMBS W/ CAULK, GASKETS, BACKER RODS, OR EQUIVALENT.
2. PROVIDE INSULATION AND WEATHER STRIPPING AT ALL ATTIC ACCESSES.
3. ALL PARTICLEBOARD, MDF, & PLYWOOD TO BE CERTIFIED LOW FORMALDEHYDE EMISSION.
4. PROVIDE MOISTURE RESISTANT BACKER BOARD IN ALL WET AREAS.
5. ADVANCED FRAMING TECHNIQUES (24" O.C. FRAMING) WILL BE USED WHERE ALLOWED BY STRUCTURAL ENGINEER.
6. USE ONLY "GREEN LABELED" CARPETS, PADS, & FLOOR COVERING ADHESIVES. USE LOW OR NO-VOC EMITTING WALL PAPER, ADHESIVES, PAINTS, & SEALANTS.
7. ALL BULBS TO BE COMPACT FLUORESCENT (CFL) OR LED.
8. USE ENERGY STAR LABELED APPLIANCES. ENERGY STAR CEILING FANS, & EXHAUST FANS DUCTED TO OUTSIDE WITH HUMIDISTAT.

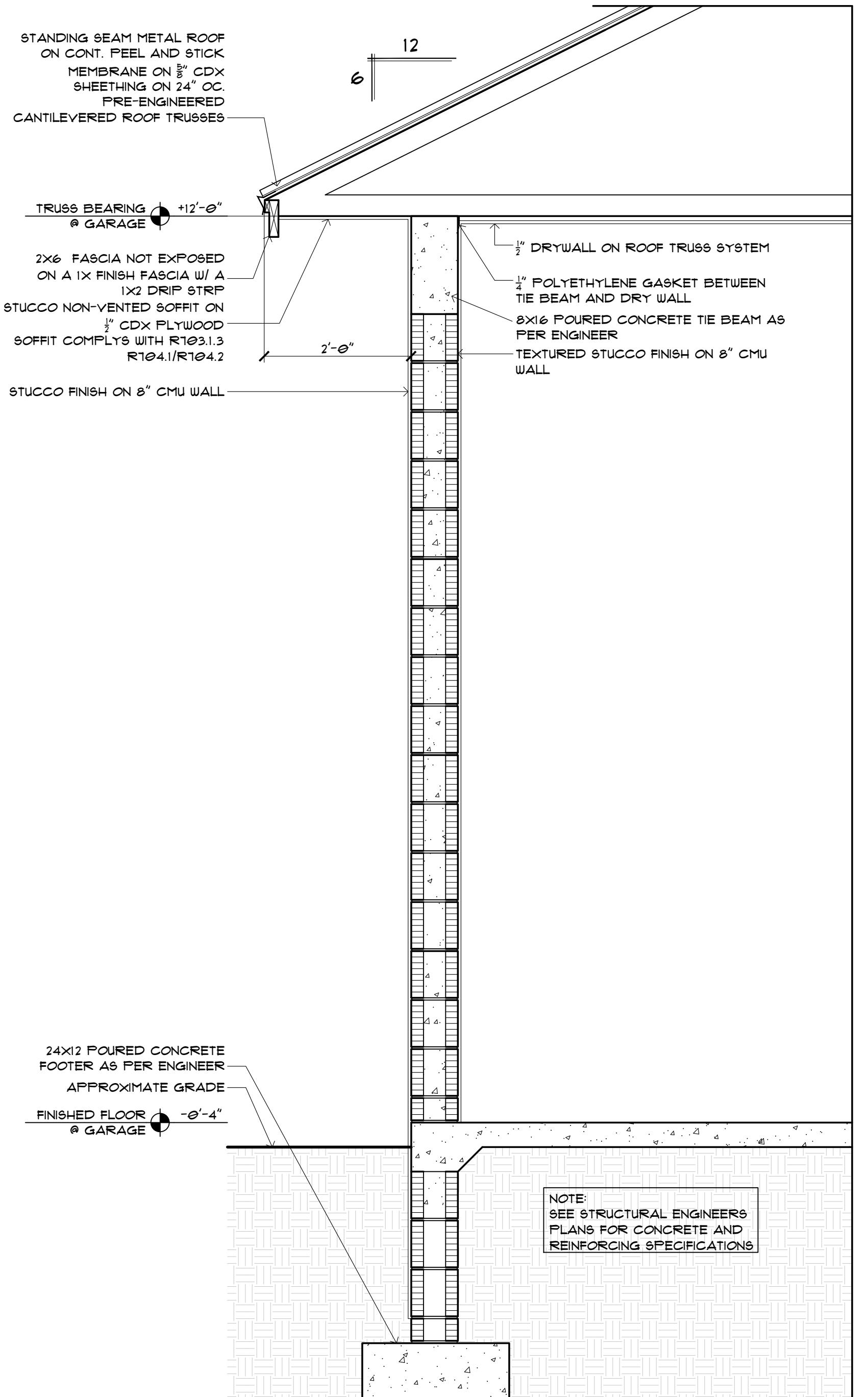
## STRUCTURAL ENGINEER NOTES MAY SUPERSEDE ANY OR ALL ARCHITECTURAL NOTES

### PLUMBING:

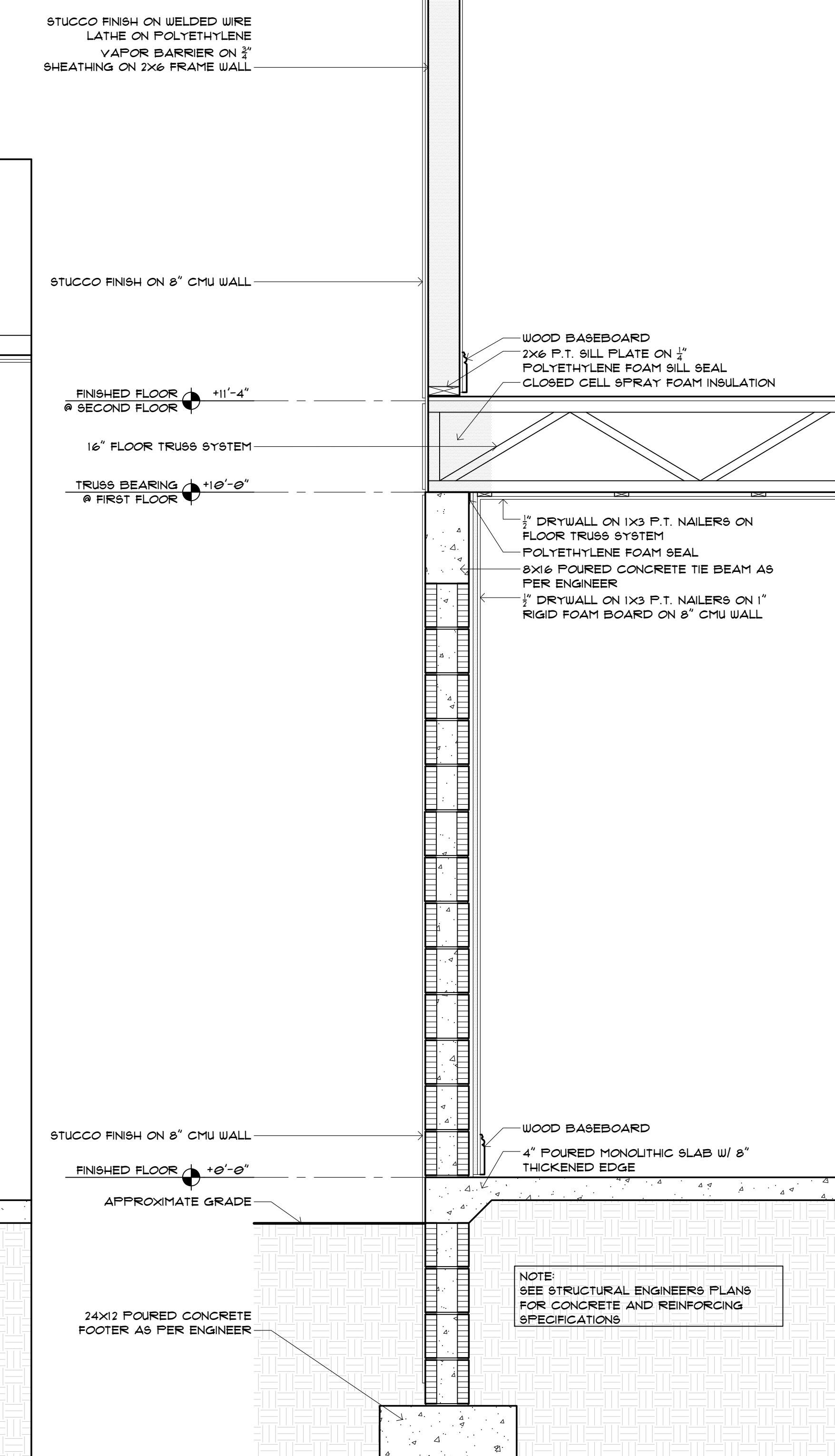
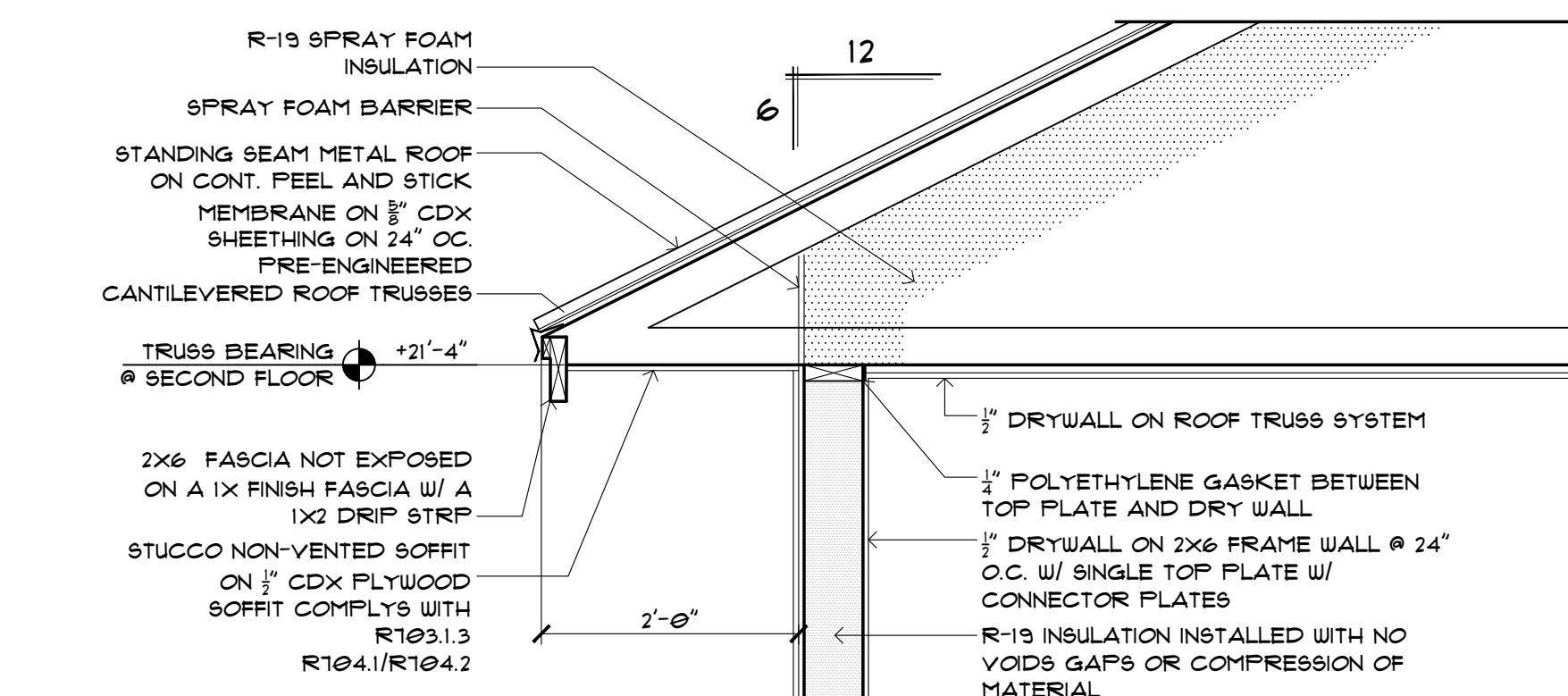
1. WATER HEATERS TO BE SIZED ACCORDING TO NEED, OR SUBSTITUTED FOR TANKLESS GAS OR ELECTRIC SYSTEM.
2. WATER CLOSETS - 1.6 GAL / FLUSH MAXIMUM. USE DUAL FLUSH WHERE AVAILABLE.
3. SHOWER HEADS - 2.5 G.P.M. MAXIMUM W/ AERATOR.
4. SINK/LAVATORY FAUCETS - 2.2 G.P.M. MAXIMUM W/ AERATOR.
5. DISHWASHER TO HAVE AIR GAPS INSTALLED AND BE ENERGY STAR LABELED.

### MECHANICAL:

1. ENTIRE HYAC SYSTEMS TO BE WITHIN CONDITIONED BUILDING ENVELOPE, SIZED ACCORDINGLY BASED ON BUILDING PERFORMANCE.
2. PROVIDE AN AUTOMATED MECHANICAL VENTILATION SYSTEM IN GARAGE EXHAUSTING TO OUTSIDE.
3. INSTALL TRANSFER GRILLS IN ALL ROOMS HAVING DOORS UNLESS A/C RETURN IS USED.
4. APPLY EXTERIOR GRADE PAINT ON INSULATION SURROUNDING COOLANT LINE & A.C. CONDENSER UNIT AS WEATHER PROOFING.



B TYPICAL WALL SECTION @ GARAGE  
A-A  
SCALE: 3/4" = 1'



A TYPICAL WALL SECTION  
A-A  
SCALE: 3/4" = 1'

C WJ WRIGHT JENKINS HOME DESIGN

DESIGNED BY: DJ  
DRAWN BY: CJ  
DATE: 12-19-24  
REVISION DATE:  
A-01

WRIGHT JENKINS HOME DESIGN

WJ WRIGHT JENKINS HOME DESIGN

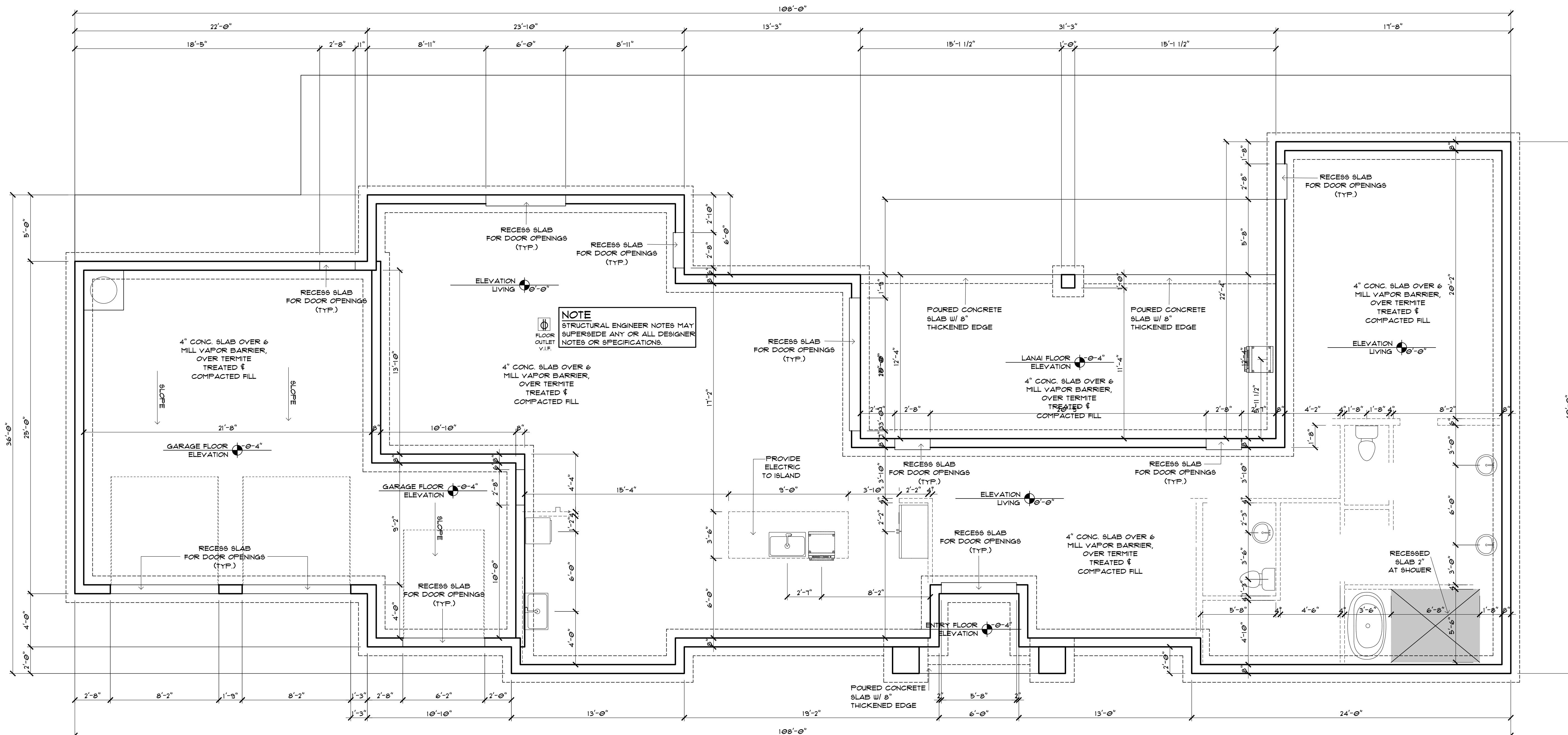
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FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

**C WJ** WRIGHT JENKINS  
HOME DESIGN

DESIGNED BY: DJ  
DRAWN BY: CJ  
DATE: 12-19-24  
REVISION DATE:  
SHEET #  
**A-03**

WRIGHT JENKINS HOME DESIGN

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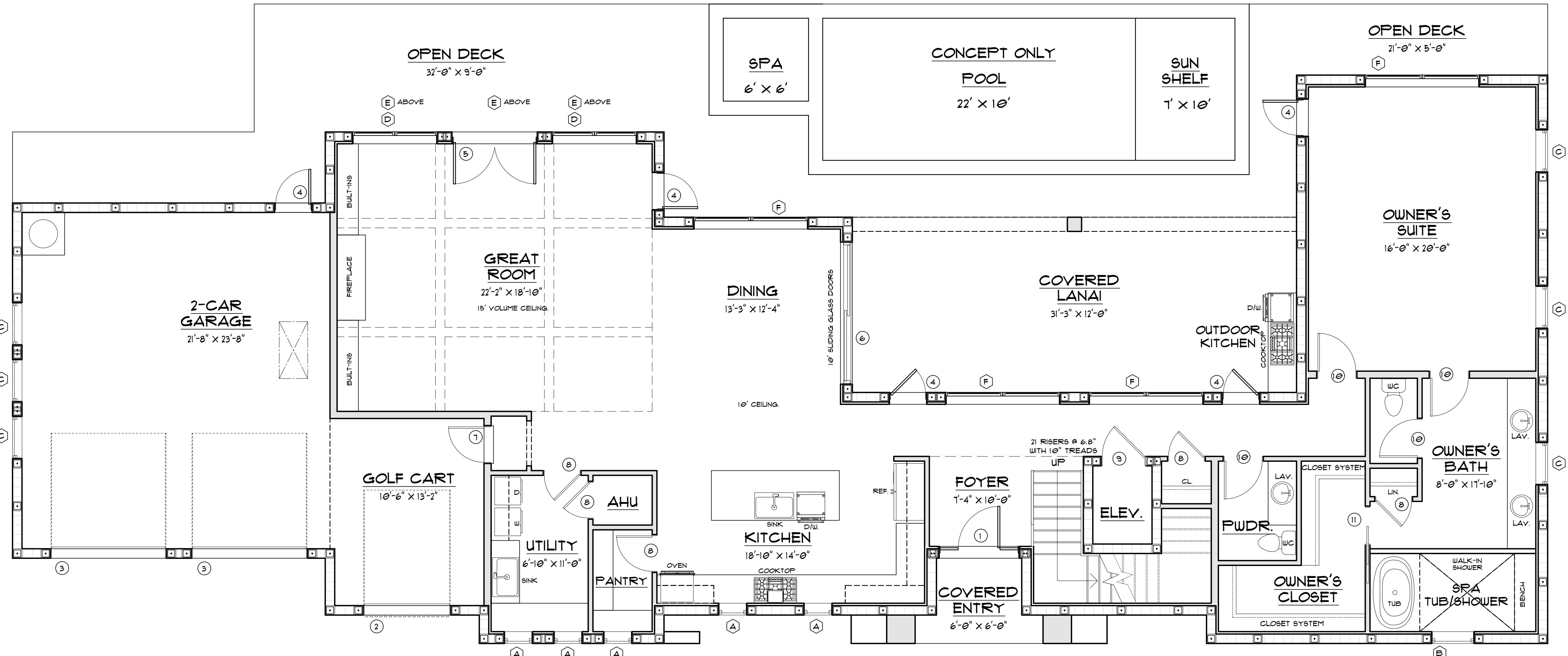
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DOOR SCHEDULE		
#	SIZE	DESCRIPTION
1	3080 W/ Q480 S W/ Q420 T. W/ Q420 T.	SINGLE LITE FRENCH DOORS W/ SIDELITES
2	6080	OVERHEAD GARAGE DOOR
3	8080	OVERHEAD GARAGE DOOR
4	2880	LITE FRENCH DOOR
5	Q2880	LITE FRENCH DOOR
6	Q2880	SLIDING GLASS DOORS
7	2880	1 HOUR FIRE RATED DOOR
8	2680	FANELED SWING DOOR
9	3080	FANELED SWING DOOR
10	2880	FANELED SWING DOOR
11	2880	FANELED POCKET DOOR
12	Q2880	FANELED SLIDING DOOR
13	Q2880	FANELED SLIDING DOOR
14	Q2680	FANELED SWING DOOR

WINDOW SCHEDULE		
#	SIZE	DESCRIPTION
A	2050	CASEMENT WINDOW
B	3030	CASEMENT WINDOW
C	3050	CASEMENT WINDOW
D	Q2050	CASEMENT WINDOW
E	Q2040	FIXED WINDOW
F	Q2400	CASEMENT WINDOW
G	2030	CASEMENT WINDOW
H	2050	FIXED WINDOW
J	4080	FIXED WINDOW
K	3050	CASEMENT WINDOW
L	3050	oval FIXED WINDOW
M	Q2500	CASEMENT WINDOW

AREA CALCULATIONS		
AREA	SQ. FT.	
MAIN FLOOR LIVING AREA	2,191 SF	
UPPER FLOOR LIVING AREA	1,300 SF	
TOTAL LIVING	3,491 SF	
LANAI	409 SF	
GARAGE	711 SF	
ENTRY	71 SF	
COVERED BALCONY	400 SF	
FRONT BALCONY	53 SF	
TOTAL NON-CONDITIONED AREA	1,650 SF	
TOTAL SQ. FT.	5,141 SF	

**MAIN FLOOR PLAN**

CALLOUTS

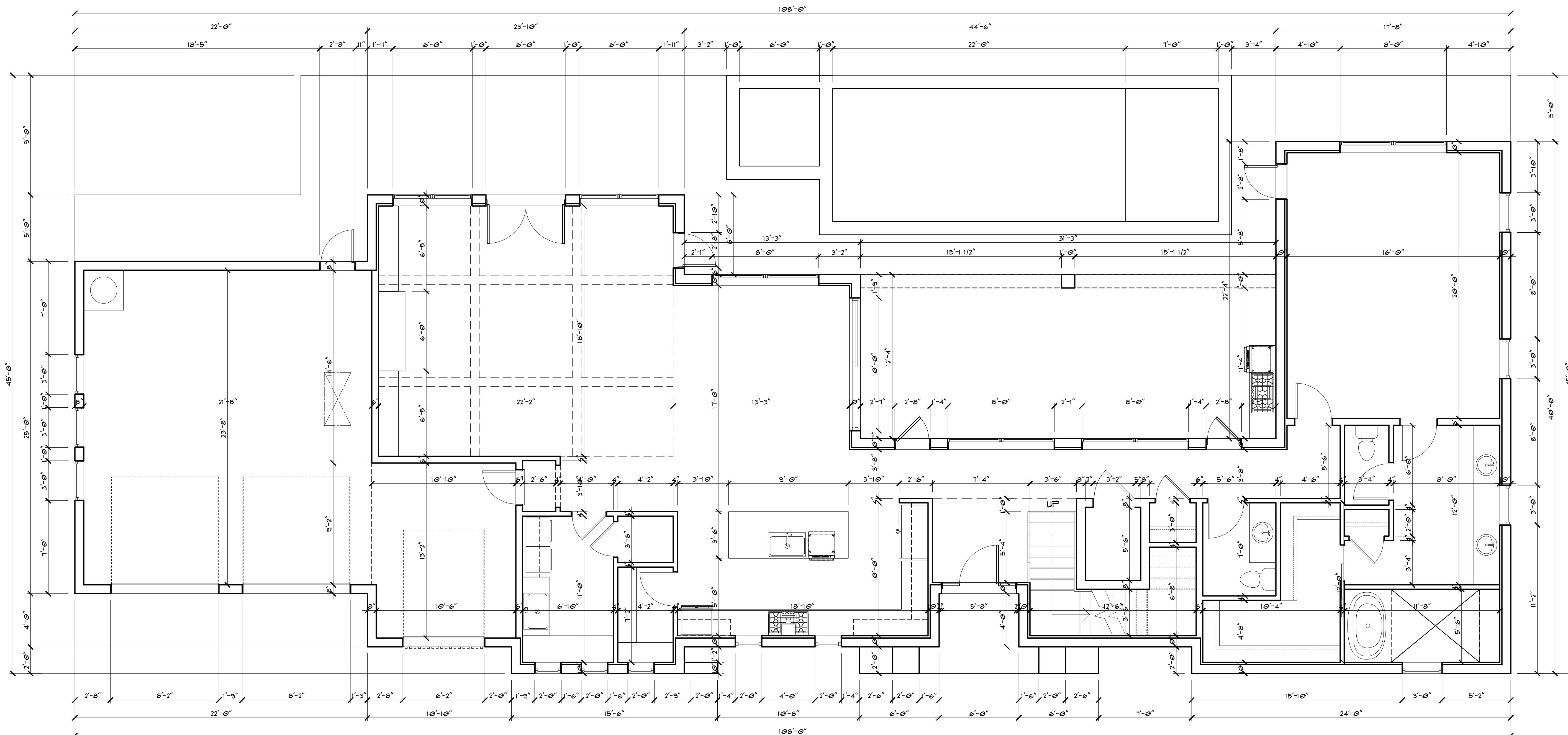
SCALE: 1/4" = 1'-0"

**C WJ WRIGHT JENKINS  
HOME DESIGN**

DESIGNED BY: DJ  
DRAWN BY: CJ  
DATE: 12-19-24  
REVISION DATE:

SHEET #

**A-04**



MAIN FLOOR PLAN

DIMENSIONS

SCALE: 1/4" = 1'-0"

**C WJ** WRIGHT JENKINS  
HOME DESIGN

DESIGNED BY: DJ
DRAWN BY: CJ
DATE: 12-19-24
REVISION DATE:

SHEET #  
**A-05**

**LOT 6**  
**MCGREGOR COVE LN**

**WJ** WRIGHT JENKINS  
HOME DESIGN  
SUITE 21 # 22  
12374 KENWOOD LANE  
FORT MYERS, FL 33901  
239-438-1088  
239-392-3649 FAX  
WRIGHTJENKINS.COM

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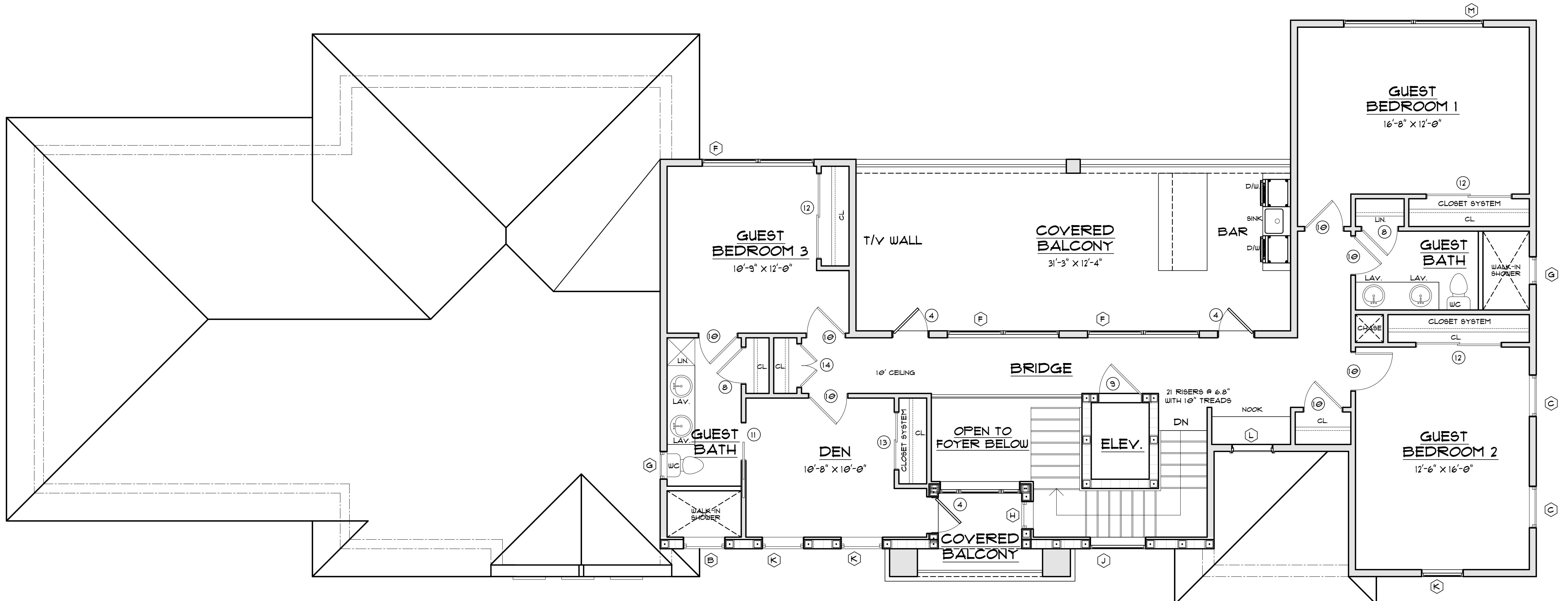
**LOT 6  
MCGREGOR COVE LN**

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DOOR SCHEDULE		
#	SIZE	DESCRIPTION
1	3000 w/ (2) 420 s w/ (2) 420 t. w/ (2) 420 t.	SINGLE LITE FRENCH DOORS w/ SIDELITES
2	6000	OVERHEAD GARAGE DOOR
3	8000	OVERHEAD GARAGE DOOR
4	2000	LITE FRENCH DOOR
5	(2) 2000	LITE FRENCH DOOR
6	(2) 2000	SLIDING GLASS DOORS
7	2000	1 HOUR FIRE RATED DOOR
8	2600	FANELED SWING DOOR
9	3000	FANELED SWING DOOR
10	2800	FANELED SWING DOOR
11	2800	FANEDED POCKET DOOR
12	(2) 2000	FANELED SLIDING DOOR
13	(2) 2000	FANELED SLIDING DOOR
14	(2) 2000	FANELED SWING DOOR

WINDOW SCHEDULE		
#	SIZE	DESCRIPTION
A	2050	CASEMENT WINDOW
B	3030	CASEMENT WINDOW
C	3050	CASEMENT WINDOW
D	(2) 2000	CASEMENT WINDOW
E	(2) 0400	FIXED WINDOW
F	(2) 0400	CASEMENT WINDOW
G	2030	CASEMENT WINDOW
H	2050	FIXED WINDOW
J	4000	FIXED WINDOW
K	3050	CASEMENT WINDOW
L	3050	oval FIXED WINDOW
M	(2) 0500	CASEMENT WINDOW

AREA CALCULATIONS		
AREA	SQ. FT.	
MAIN FLOOR LIVING AREA	2,91 SF	
UPPER FLOOR LIVING AREA	1,300 SF	
TOTAL LIVING	3,491 SF	
LANAI	409 SF	
GARAGE	71 SF	
ENTRY	71 SF	
COVERED BALCONY	400 SF	
FRONT BALCONY	53 SF	
TOTAL NON-CONDITIONED AREA	1,650 SF	
TOTAL SQ. FT.	5,141 SF	

**UPPER FLOOR PLAN**

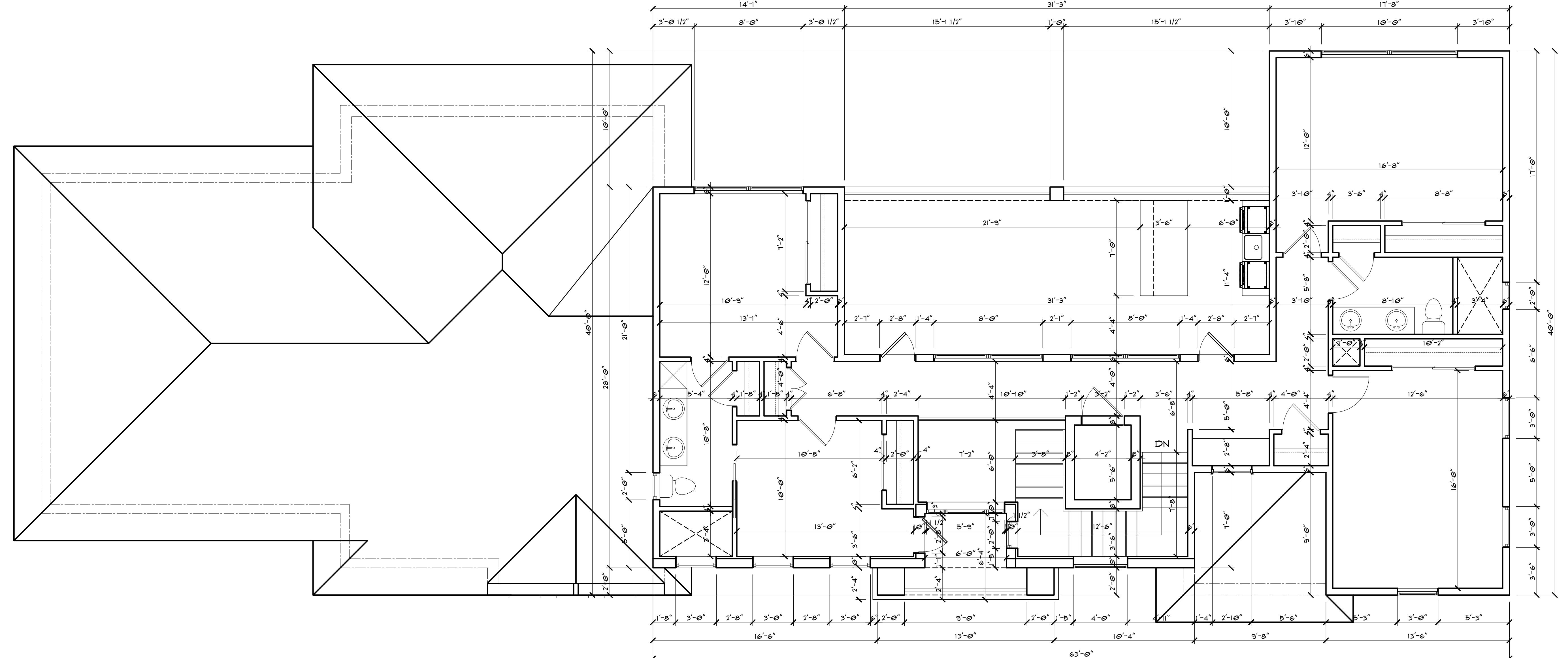
CALLOUTS

SCALE: 1/4" = 1'-0"

**C WJ WRIGHT JENKINS  
HOME DESIGN**

SHEET #  
**A-06**

DESIGNED BY: DJ  
DRAWN BY: CJ  
DATE: 12-19-24  
REVISION DATE:



UPPER FLOOR PLAN

DIMENSIONS

SCALE: 1/4" = 1'-0"

**C WJ** WRIGHT JENKINS  
HOME DESIGN

DESIGNED BY: DJ
DRAWN BY: CJ
DATE: 12-19-24
REVISION DATE:

A-01

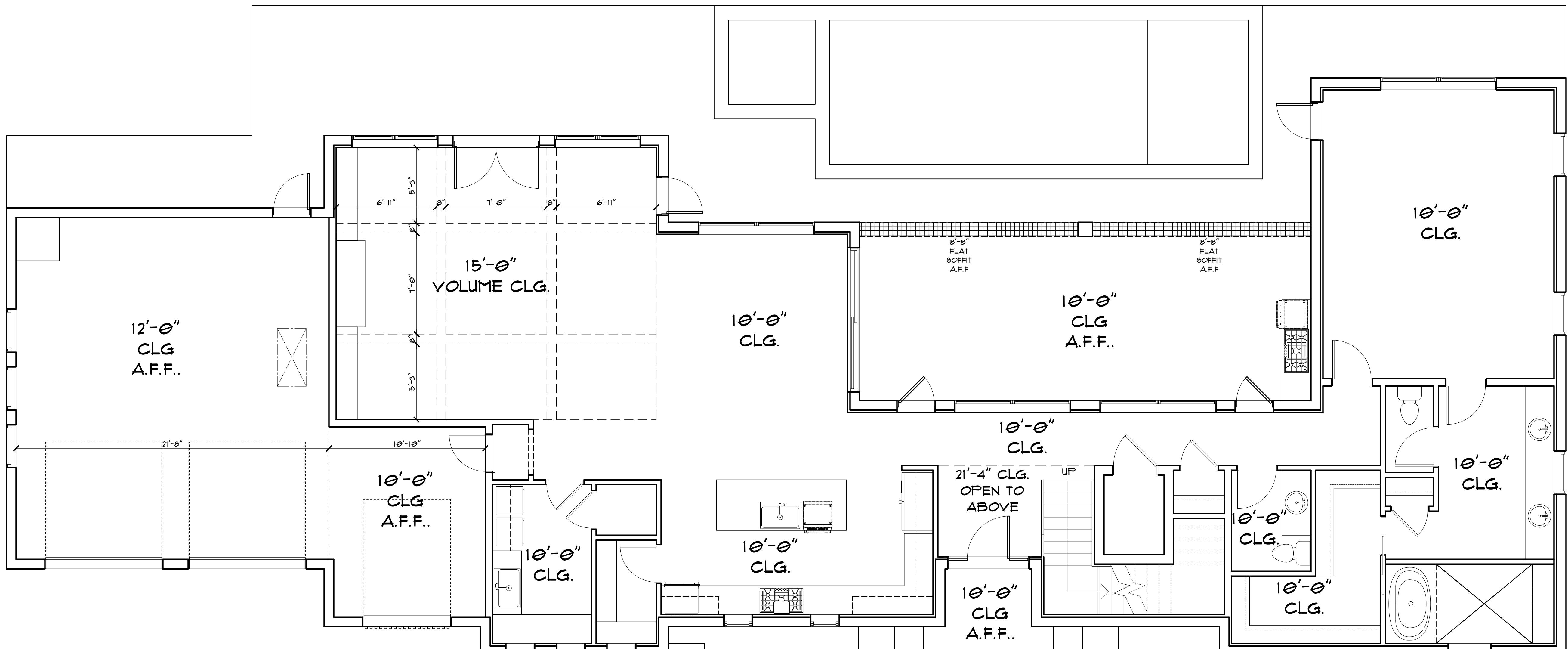
WRIGHT JENKINS HOME DESIGN

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LOT 6  
MCGREGOR COVE LN

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CLG. LEGEND	
CROWN MOULDING	-----
FLAT SOFFIT	[Grid pattern]
ARCHED SOFFIT	[Cross-hatch pattern]
STEPPED CLG.	[Step pattern]

#### REFLECTED CEILING PLAN

MAIN FLOOR

SCALE: 1/4" = 1'-0"

REVISION DATE:

DESIGNED BY: DJ  
DRAWN BY: CJ  
DATE: 12-19-24  
A-08

**WJ** WRIGHT JENKINS  
HOME DESIGN

WRIGHT JENKINS HOME DESIGN

**WJ** WRIGHT JENKINS  
HOME DESIGN

LOT 6  
MCGREGOR COVE LN

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DESIGNED BY: DJ  
DRAWN BY: CJ  
DATE: 12-19-24  
A-08

# MCGREGOR COVE LN

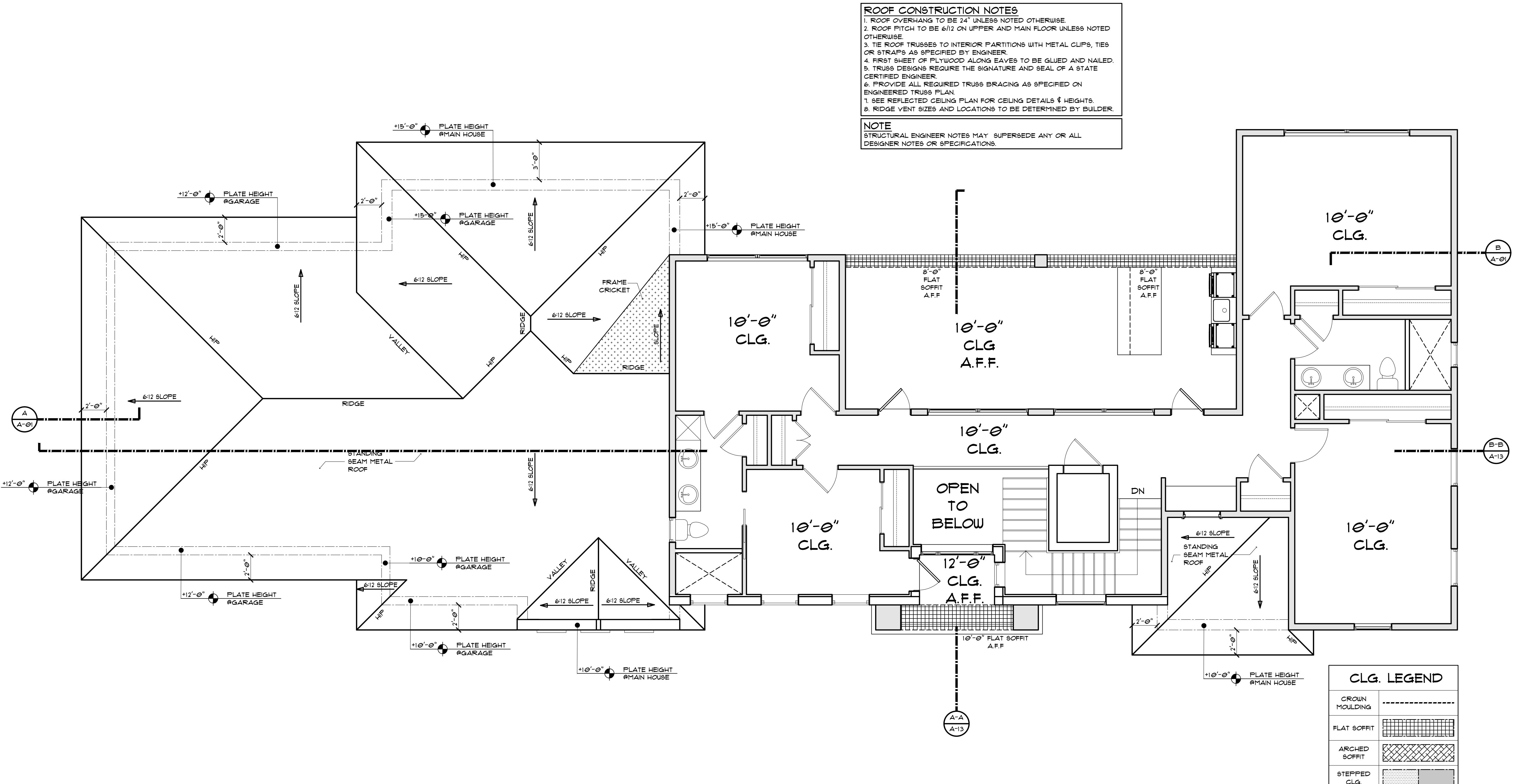
WRIGHT JENKINS  
HOME DESIGN  
WJ

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**FORT MYERS, FL 33961**  
**SUITE 21 \$ 22**  
**239-498-1088**  
**239-390-9849 FAX**

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ARE RESPONSIBLE FOR CONSTRUCTION IN ACCORDANCE WITH ALL LOCAL BUILDING  
CODES, AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND BUILDING  
CODES. DRAWINGS ARE FOR DESIGN INTENT ONLY, PLEASE CONSULT LOCAL CODES FOR  
ADDITIONAL ENGINEERING THAT MAY BE REQUIRED. WRIGHT JENKINS MUST BE NOTIFIED,*

DRAWN BY: CJ  
DATE: 12-19-24

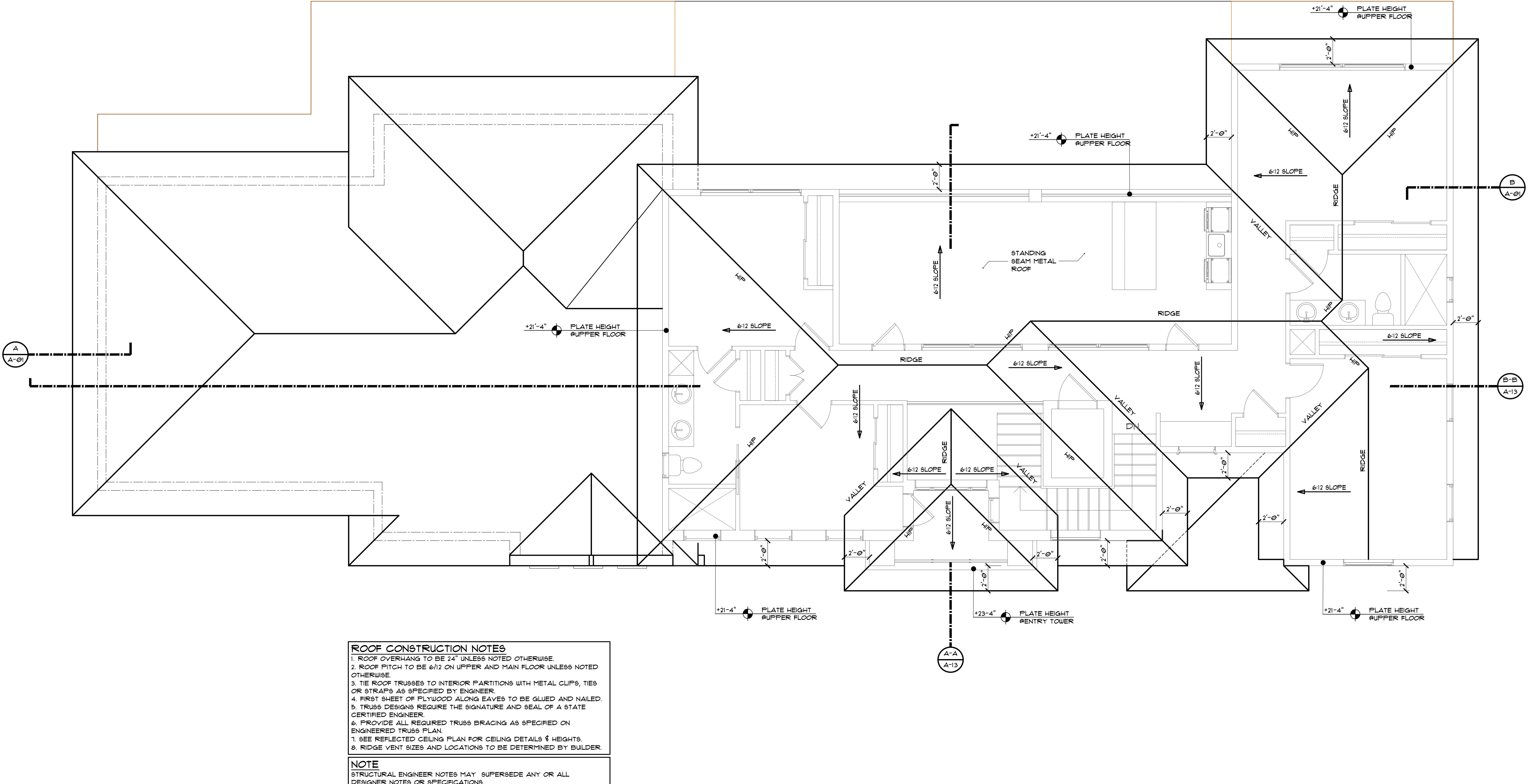
**SHEET #**



# REFLECTED CEILING PLAN

UPPER FLOOR & MAIN FLOOR ROOF      SCALE: 1/4"

The logo consists of a large, bold, black 'W' and 'j' stacked vertically. To the left of the 'W' is a circular emblem containing a stylized letter 'C'. To the right of the 'Wj' is the word 'WRIGLEY HOME' in a bold, sans-serif font.



# ROOF PLAN

---

## UPPER FLOOR

## UPPER FLOOR

SCALE: 1/4" = 1'-0"



**WRIGHT JENKINS**  
HOME DESIGN

DESIGNED BY: DJ  
DRAWN BY: CJ  
DATE: 12-19-24  
REVISION DATE:  
SHEET #

SHEET #  
A-1

DE DR DA RE

SHEET #

A-10

A-10

1000 1000 1000 1000 1000 1000 1000 1000 1000 1000

**ANSWER**

**LOT 6  
MCGREGOR COVE LN**

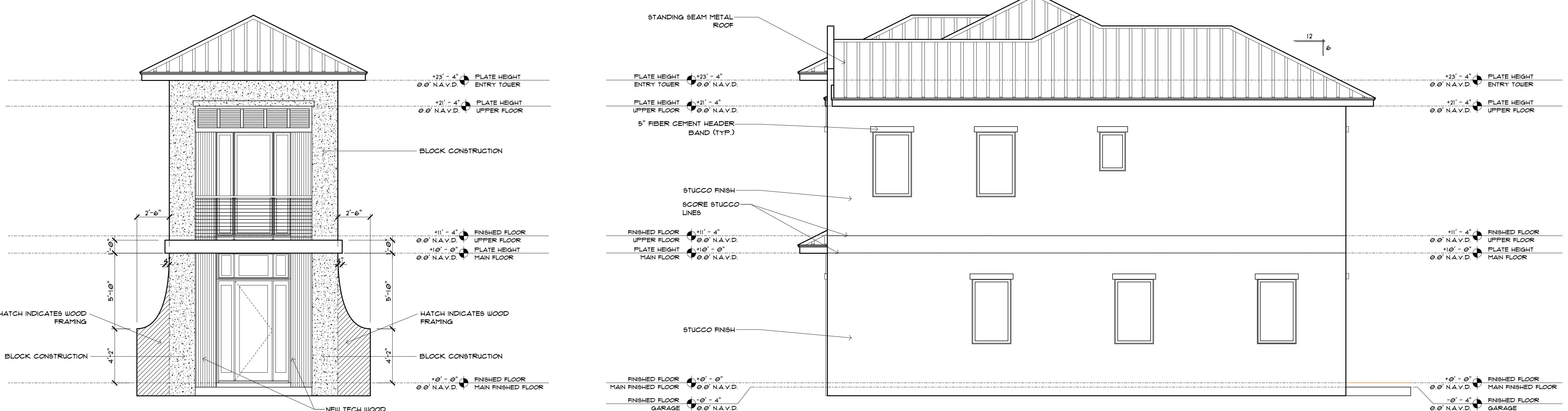
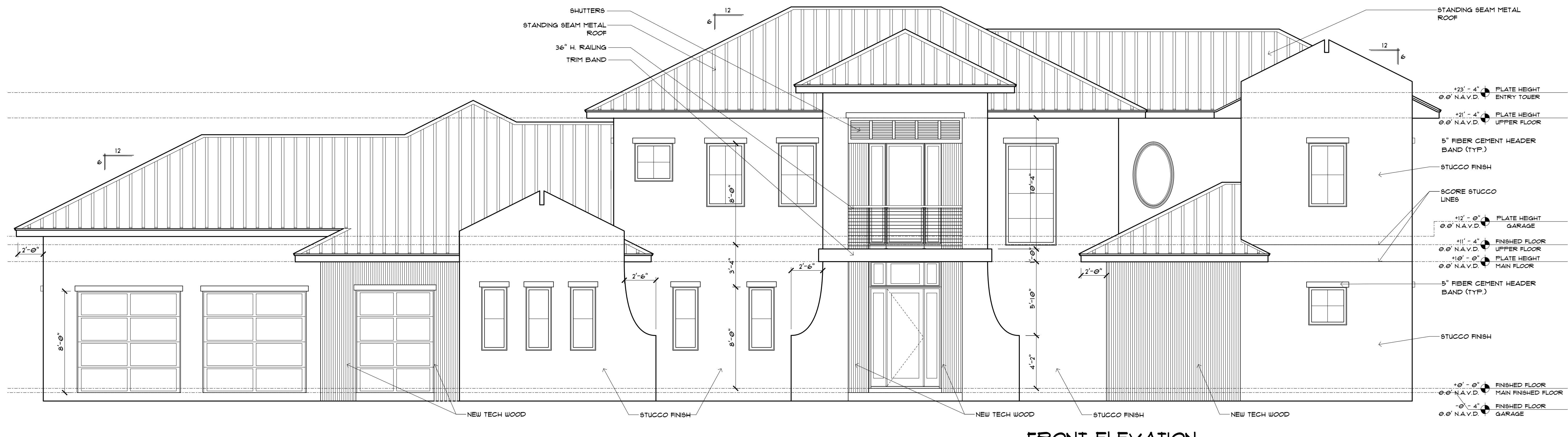
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HOME DESIGN**

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DRAWN BY: CJ  
DATE: 12-19-24  
REVISION DATE:

SHEET #  
**A-11**



**FRONT ENTRY DETAIL**

SCALE: 1/4" = 1'-0"

**RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"

**C WJ WRIGHT JENKINS  
HOME DESIGN**

**LOT 6  
MCGREGOR COVE LN**

**WJ WRIGHT JENKINS  
HOME DESIGN**

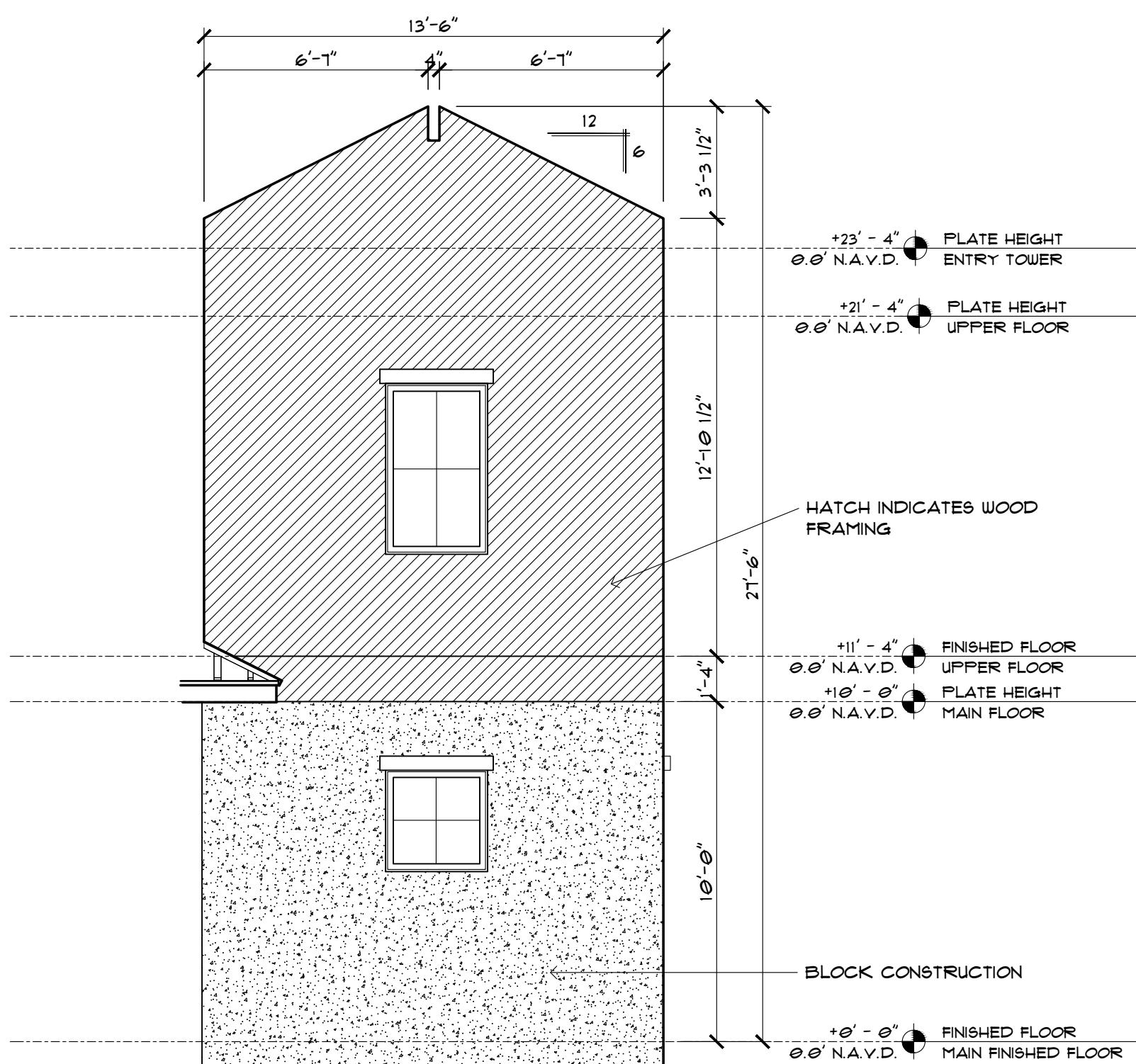
**WRIGHT JENKINS HOME DESIGN**

**12374 KENWOOD LANE  
SUITE 21 # 22  
FORT MYERS, FL 33901  
239-332-1088  
WRIGHTJENKINS.COM**



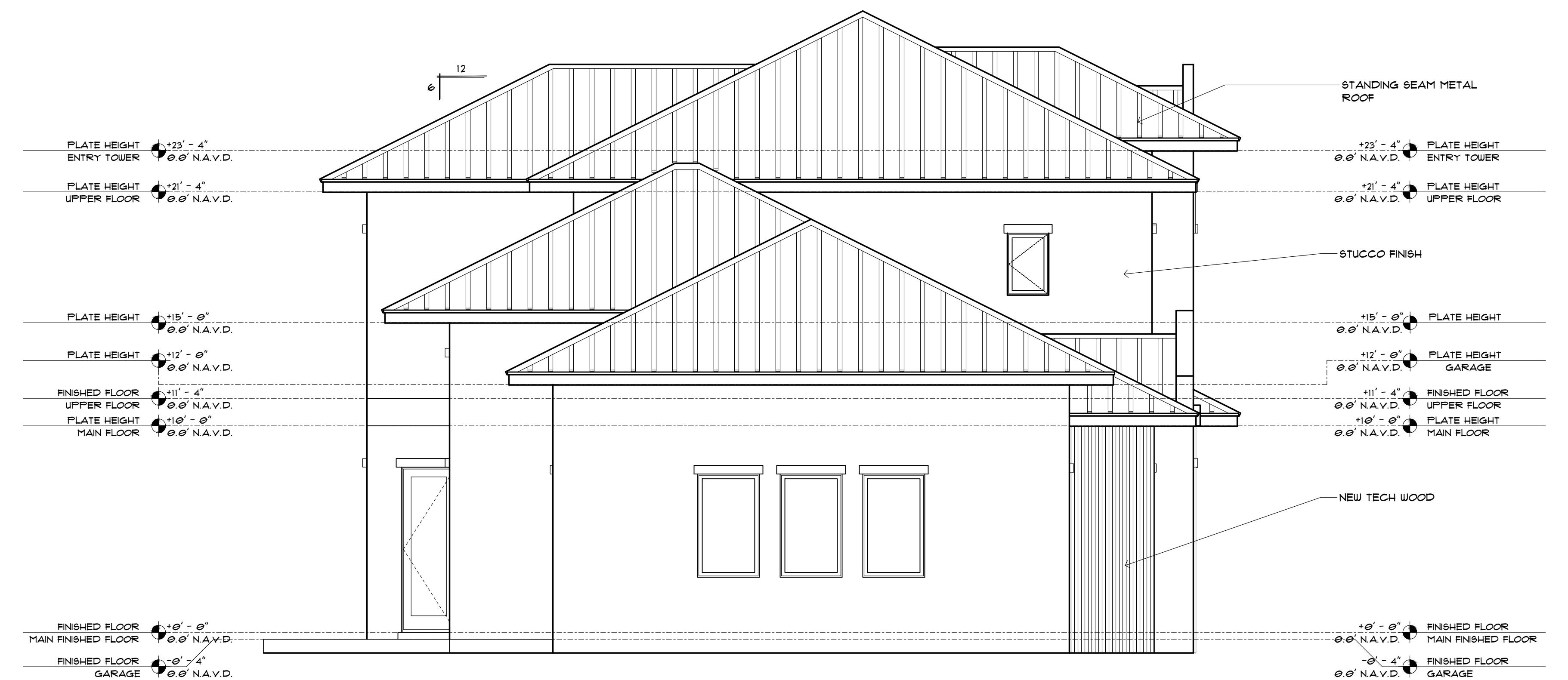
**REAR ELEVATION**

SCALE: 1/4" = 1'-0"



**FRONT DETAIL 2**

SCALE: 1/4" = 1'-0"



**LEFT ELEVATION**

SCALE: 1/4" = 1'-0"

**C WJ WRIGHT JENKINS  
HOME DESIGN**

**DESIGNED BY: DJ  
DRAWN BY: CJ  
DATE: 12-19-24  
REVISION DATE:  
SHEET #  
A-12**

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**LOT 6  
MCGREGOR COVE LN**

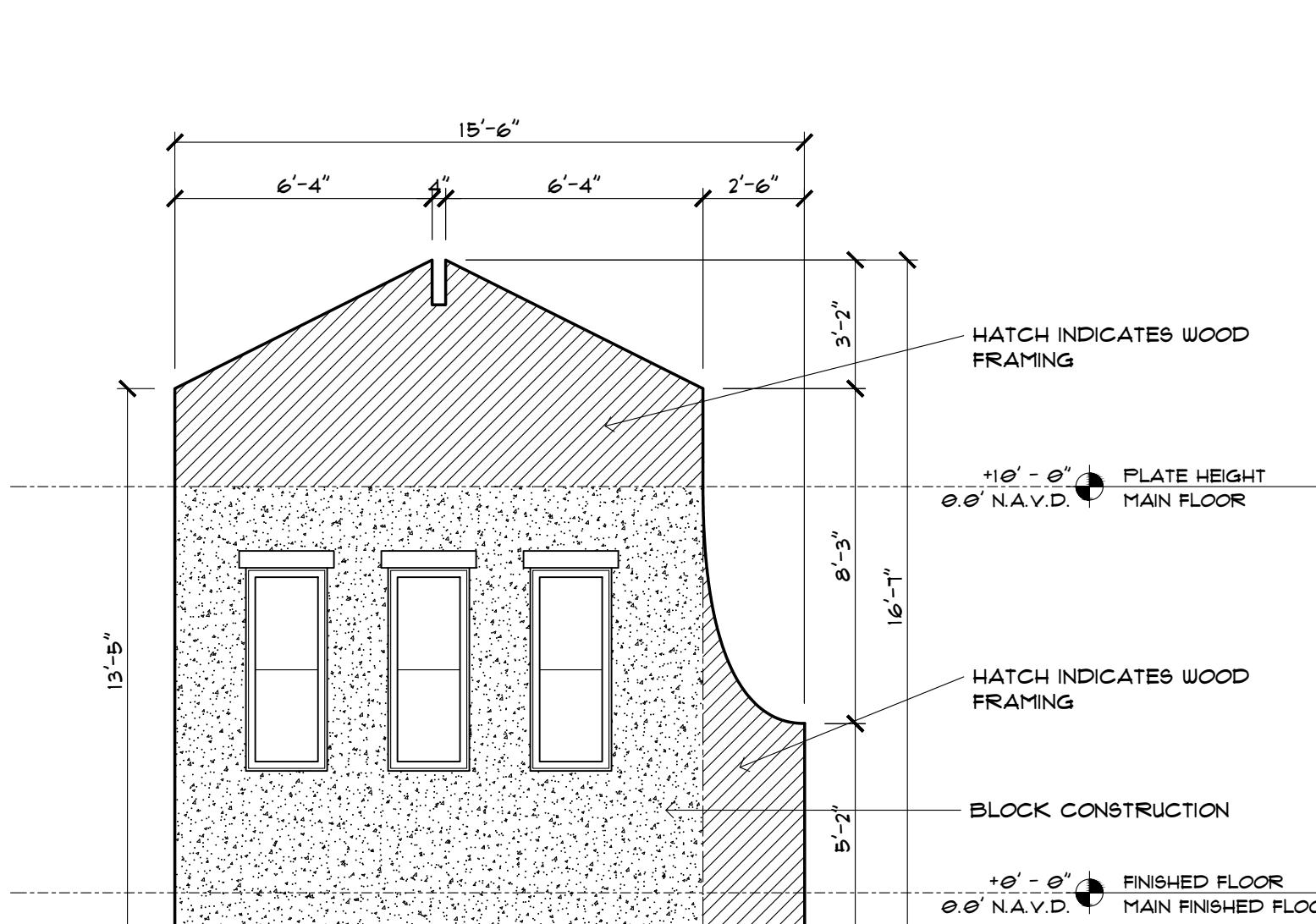
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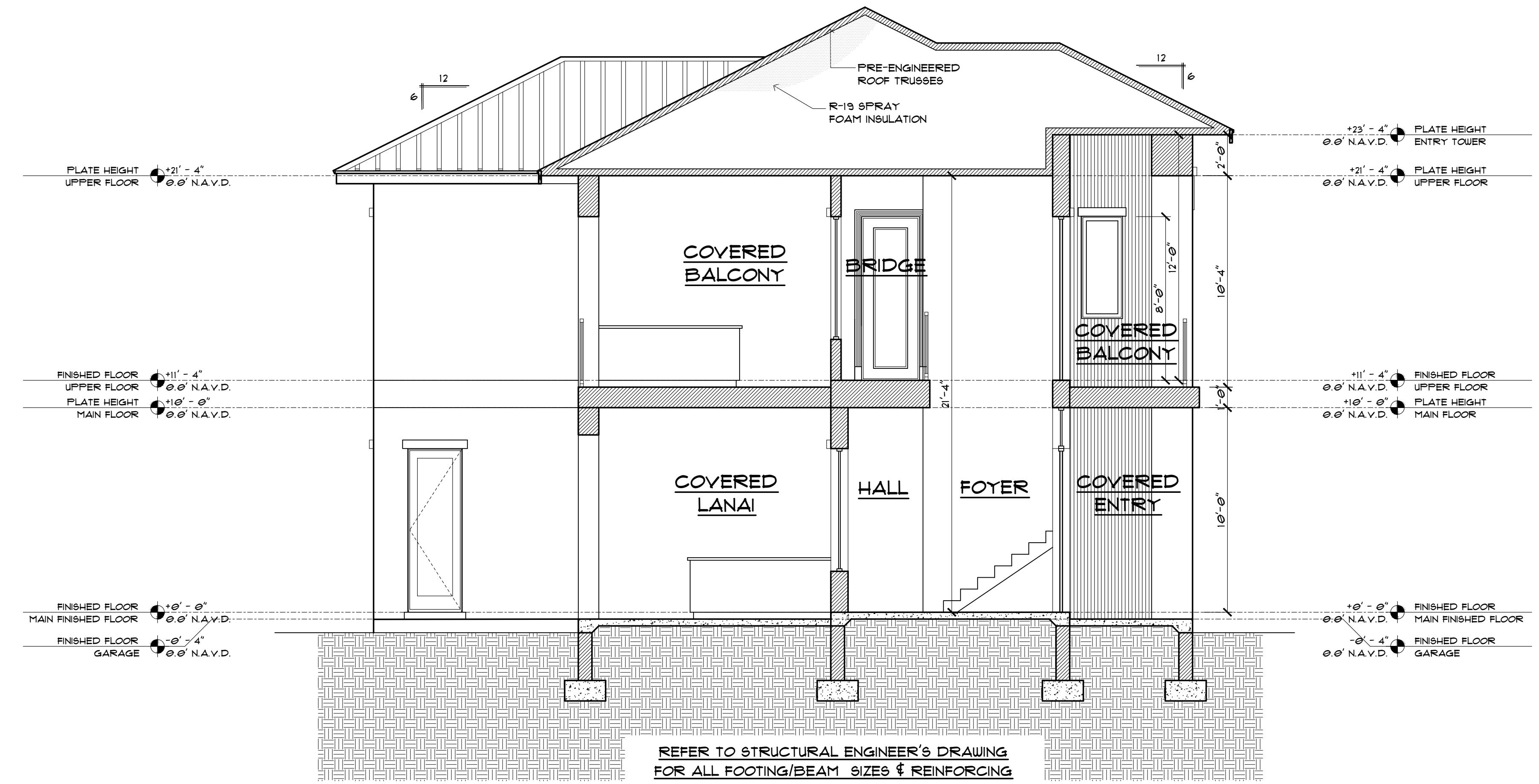
**BUILDING SECTION B-B**

SCALE: 1/4" = 1'-0"



**FRONT DETAIL 3**

SCALE: 1/4" = 1'-0"



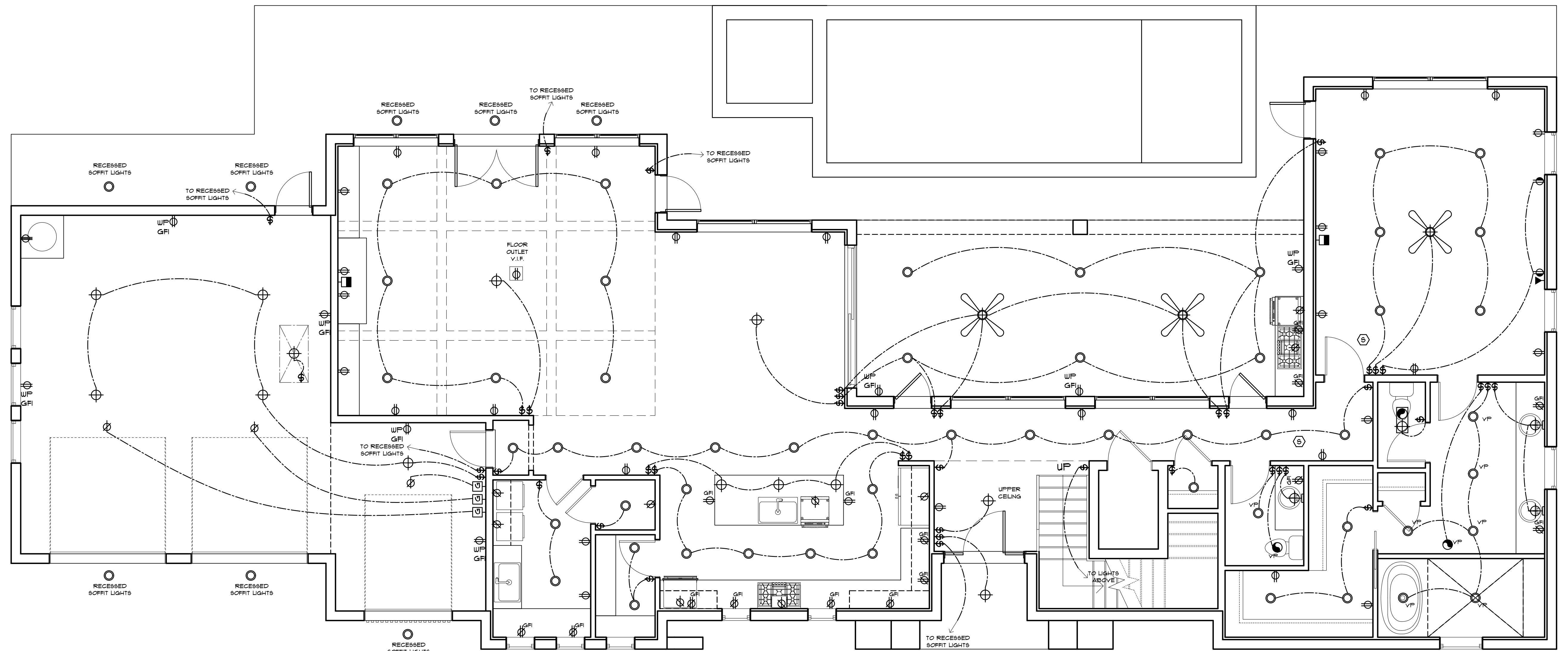
**BUILDING SECTION A-A**

SCALE: 1/4" = 1'-0"

DESIGNED BY DJ  
DRAWN BY CJ  
DATE 12-19-24  
REVISION DATE:  
**A-13**

SHEET #

**C WJ WRIGHT JENKINS  
HOME DESIGN**



ELECTRICAL PLAN  
MAIN FLOOR

SCALE: 1/4" = 1'-0"

**C WJ** WRIGHT JENKINS  
HOME DESIGN

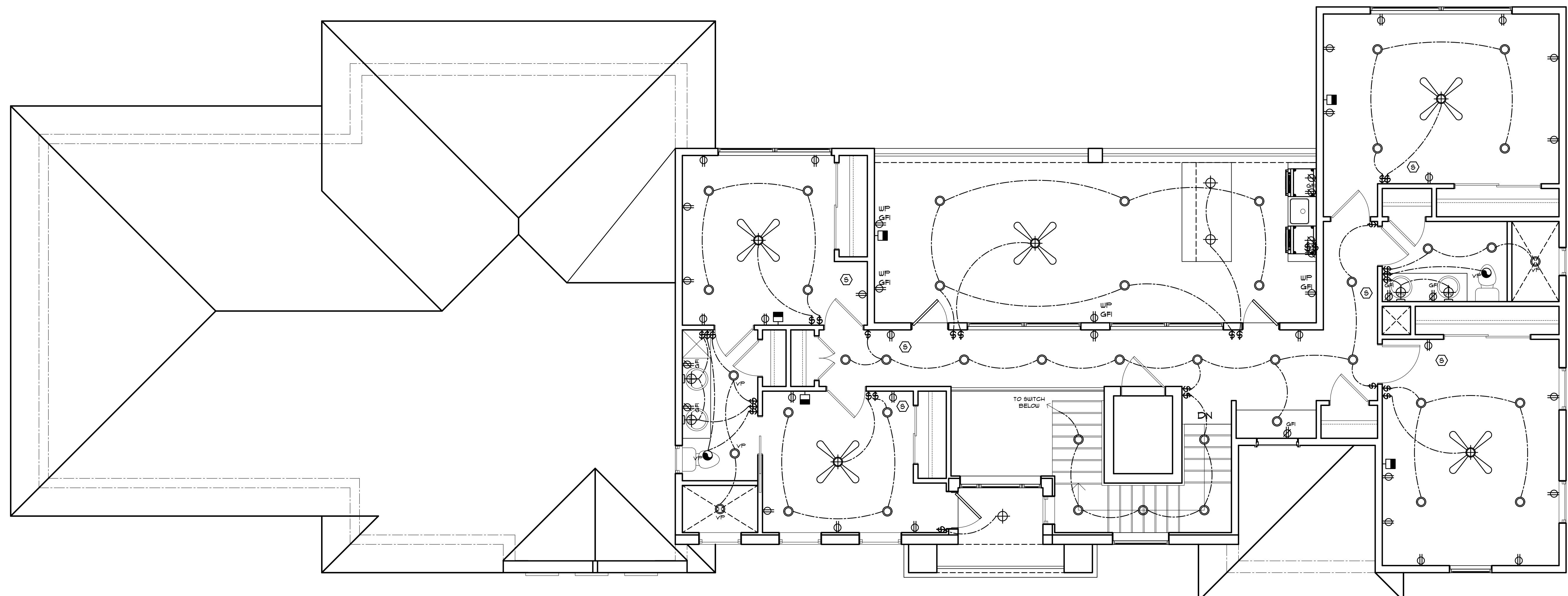
DESIGNED BY: DJ  
DRAWN BY: CJ  
DATE: 12-19-24  
REVISION DATE:  
SHEET #  
**A-14**

LOT 6  
MCGREGOR COVE LN

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SUITE 21 # 22  
FORT MYERS, FL 33901  
239-339-3849 FAX  
WRIGHTJENKINS.COM



ELECTRICAL PLAN  
UPPER FLOOR

SCALE: 1/4" = 1'-0"

**C WJ** WRIGHT JENKINS  
HOME DESIGN

LOT 6  
MCGREGOR COVE LN

WRIGHT JENKINS HOME DESIGN

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DESIGNED BY: DJ	DRAWN BY: CJ	DATE: 12-19-24
REVISION DATE:		