

WOOD DESTROYING PESTS AND ORGANISMS INSPECTION REPORT

Building No.	Street	City	Zip	Date of Inspection	Page:
757	Santa Ray Avenue	Oakland	94610	04/21/2025	1 of 18
 GT INSPECTS <small>Book an inspection online at GTInspects.com</small> 4820 MacArthur Blvd. Oakland, CA 94619 Ph 510-530-0687 Fax 510-743-4259				Company Report #: G225415- Santa Ray Ave, 757	
Ordered by: Jim Turner c/o Chimene Pollard Red Oak Realty		Property Owner and/or Party of Interest: same as ordered by		Report sent to: Chimene@team510.com [REDACTED]	

<input checked="" type="checkbox"/> COMPLETE REPORT	<input type="checkbox"/> LIMITED REPORT	<input type="checkbox"/> SUPPLEMENTAL REPORT	<input type="checkbox"/> REINSPECTION REPORT
General Description: A two story duplex with no garage		Inspection Tag Posted: Subarea Other Tags Posted: None Noted	
An inspection has been made of the structure(s) shown on the diagram in accordance with the Structural Pest Control Act. Detached porches, detached steps, detached decks and any other structures not on the diagram were not inspected.			
Subterranean Termites <input type="checkbox"/>		Drywood Termites <input type="checkbox"/>	
Fungus/Dryrot <input checked="" type="checkbox"/>		Other Findings <input checked="" type="checkbox"/>	
Further Inspection <input type="checkbox"/>			
If any of the above boxes are checked, it indicates that there were visible problems in accessible areas. Read the report for details or checked items.			



See Diagram on page #2 for location of findings

The Use of Digital Photographs: A few photos are included in this report for illustrative purposes only. Every condition or observation will not have an associated photo. There is no relationship between the presence or absence of a photo and the importance of a condition reported; A significant finding may not have an accompanying photo.

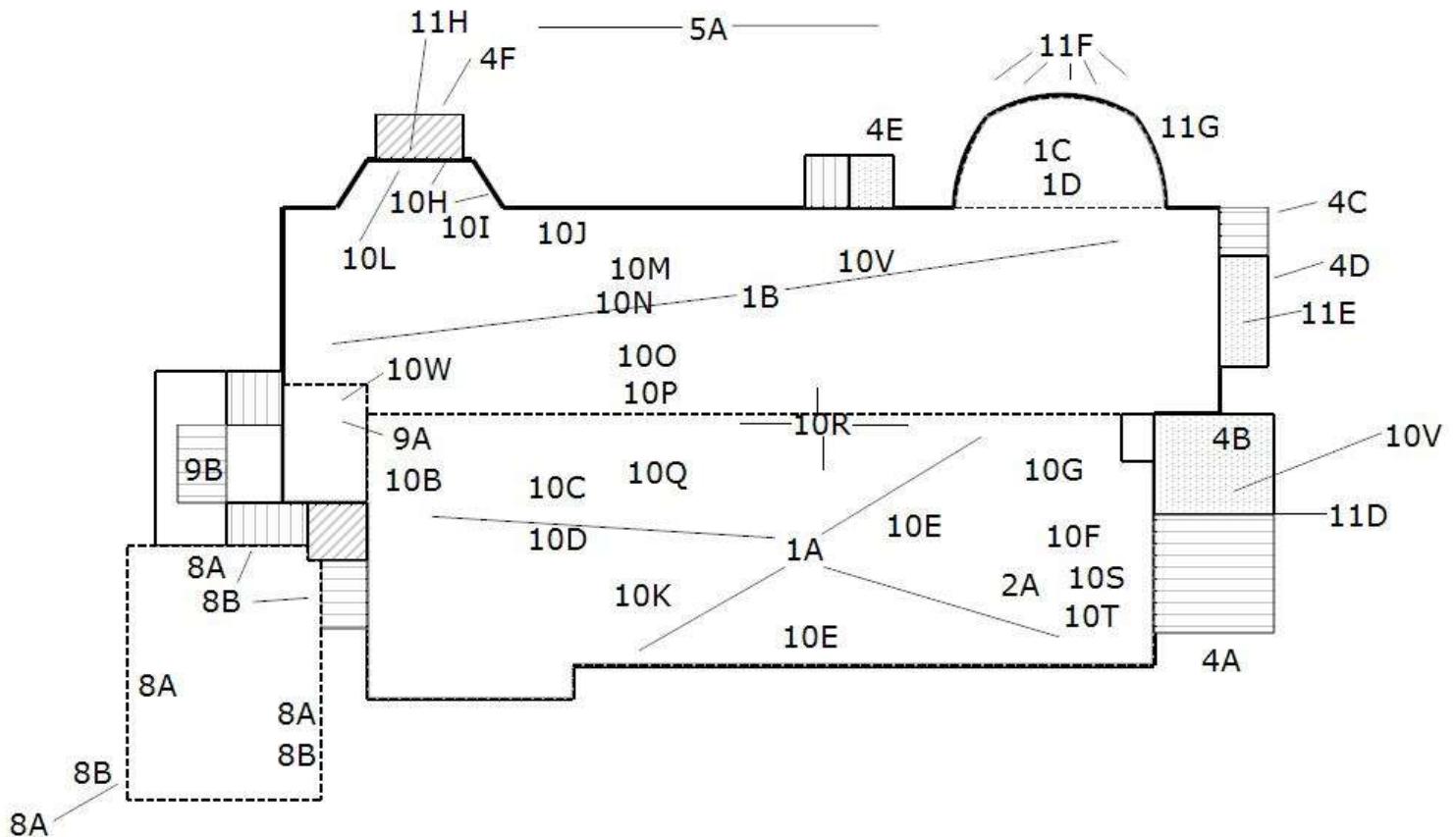


Inspected by: **Daniel W Marzilli** State License No. **OB8245** Signature : _____

You are entitled to obtain copies of all reports and completion notices on this property reported to the Structural Pest Control Board during the preceding two years. To obtain copies contact: Structural Pest Control Board, 1418 Howe Avenue, Suite 18, Sacramento, California, 95825-3204.

NOTE: Questions or problems concerning the above report should be directed to the manager of the company. Unresolved questions or problems with services performed may be directed to the Structural Pest Control Board at (916) 561-8708 (800) 737-8188 or www.pestboard.ca.gov.

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10A,11A,11B,11C

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AUTHORIZATION OF WORK

IF GT INSPECTS INC, IS NOT AUTHORIZED TO PERFORM THE WORK AS OUTLINED IN THIS REPORT WITHIN **FOUR MONTHS** OF THE DATE OF THIS INSPECTION, A NEW INSPECTION WILL BE REQUIRED.

GUARANTEE

All work performed by this company is guaranteed for a period of one year from the date of completion with the exception of plumbing work, caulking, sealing or linoleum work which is guaranteed for sixty (60) days. Operations are covered by liability insurance, general contractor license and bond, city license and permit. All employees are covered by Workman's Compensation Insurance.

We do not guarantee the work of others. We will reinspect the work performed by others (a building permit is required, and must be on site at time of reinspection) if performed within four months of the date of the original inspection. Cost of the reinspection will not exceed the original inspection fee.

This inspection is for the purpose of identifying the presence or absence of wood destroying organisms only. GT Inspects Inc. does not cite violations of building codes nor performing an all encompassing building inspection. Foundations are inspected for below or above adjoining grade levels only and structural evaluation is not performed or part of a Structural Pest Control inspection. It is recommended that persons desiring information regarding electrical, plumbing, structural or general operating systems of this structure hire a company that does building/property inspections to inspect these areas.

HOUSEHOLD PESTS

This inspection does not include any infestation for any type of household pests, insects or rodents, such as fleas, bees, ants, mice, roaches or any type of general pests cover by the Structural Pest Control Board Branch 2 licensee. Should parties in interest be concerned, we recommend they contact a General Pest Control Company licensed in that field.

MOLD

This property was not inspected for the presence or absence of health related molds and fungi, and or indoor air quality. By California law, GT Inspects Inc. is neither qualified, authorized nor licensed to inspect for health related molds or fungi. If information is desired about the presence or absence of health related molds regarding this structure, you should contact an industrial hygienist. Any health related implications which may be associated with the findings or recommendations (including repairs recommended) that are reflected in this report or concerning indoor air quality should be directed towards a qualified professional and or properly licensed hygienist.

CONTRACTORS OR OTHERS PERFORMING WORK AS RECOMMENDED IN THIS REPORT

NOTE: In the event damage is found to extend further than outlined in this report at any item listed below in the course of the repairs, except where further inspection is recommended, our bid includes repairs to these areas if our firm is performing said repairs. Should any other firm or person undertake repairs outlined in this report, they shall also assume responsibility for damage that may be more extensive than outlined below.

Only a licensed pest control firm may apply any chemical for treatment of wood destroying organism including fungicides (for exception see sec. 8555 of the Business & Professional Code, Division 3). Any recommendation in this report requiring application of a fungicide or termiticide must be applied by a licensed pest control firm only.

NOTE: Diagram(s) on the front page of this report is/are not to scale and the findings are at approximate location of the structure and may extend further than outlines and/or may extend in more than one area. Always go over the report whenever possible, with the person making this inspection if unsure as to the amount or extent of damage. GT Inspects Inc. for a fee will perform site visit and go over the findings of the report or if desired will perform We are not responsible for misunderstandings of the reading of this inspection report. Persons completing these repairs should be aware of this and should also make their own visual/physical inspection of the property prior to starting any work.

GT Inspects Inc. will reinspect work by others. GT Inspects Inc. will reinspect, BUT NOT APPROVE, work performed by others. Although our company will reinspect work performed by others, we will offer no guarantees as to the quality of workmanship or of material used, even if the work is acceptable. If any guarantees or warranties are required or desired for work performed by others, we advise that you obtain same from the contractor or person that has performed the work, prior to close of escrow.

ALL WORK PERFORMED BY OTHERS MUST BE COMPLETED WITH A LOCAL CITY/COUNTY BUILDING PERMIT AND THE PERMIT "FINALED" PRIOR TO OUR REINSPECTION. ALL CHEMICAL TREATMENTS FOR INFESTATIONS AND INFECTIONS MUST BE PERFORMED BY GT INSPECTS INC. TERMITE CONTROL. (PLEASE NOTE: THIS MAY REQUIRE CHEMICAL APPLICATIONS BY GT INSPECTS INC. DURING THE COURSE OF THE REPAIRS).

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COMPETITIVE BUSINESS PRACTICES

NOTICE: The Structural Pest Control Board encourages competitive business practices among registered companies. Reports on this structure prepared by various registered companies should list the same findings (i.e. termite infestations, termite damage, fungus damage, etc.). However, recommendations to correct these findings may vary from company to company. Therefore, you may wish to seek a second opinion since there may be alternative methods of correcting the findings listed on this report that may be less costly.

ROOF DISCLAIMER

The roof covering, and operation of the gutters, and downspouts were not inspected or included in this report. The water tight capacity of these items is also beyond the scope of this inspection. Further information as to the condition of the roof, or the water tightness and/or inspection of the roof should be performed by a licensed roofing contractor.

INACCESSIBLE AREAS

This inspection and report covers the visible and accessible areas of the building shown on the diagram. Interiors of hollow walls, inaccessible areas, spaces between floor and ceilings below, spaces between a deck and a soffit below, stall showers over finished ceilings with no evidence of water staining on finished ceiling below, buttress areas and walls that are covered or hidden by furniture, appliances, cabinets, storage and/or personal processions and locked areas and or any area where inspection is only possible through tearing out or defacing of finished work, including tearing out wood framing, masonry or finished surfaces are considered inaccessible and not inspected. Such inspections would be cost prohibitive and impractical unless otherwise noted herein areas behind stoves, refrigerators or beneath floor coverings, furnishings; areas where there are encumbrances and storage, portions of the subarea concealed or made inaccessible by ducting or insulation, area beneath wood floors over concrete, and areas concealed by heavy vegetation were not inspected and considered inaccessible .

Soffits, rafter tails, eaves and exterior sidings and windows were visually inspected from ground level only. Areas above 8' feet above the ground level are considered inaccessible, unless obvious signs of infestations or infections were seen. Although we make visual examinations, we do not deface or probe window/door frames or decorative trims. Unless otherwise specified in this report, we do not inspect fences, sheds, dog houses, detached patios, detached wood decks, wood retaining walls or wood walkways. We assume no responsibility for work done by anyone else, for damage to structure or contents during our inspection, or for infestation, infection, adverse conditions or damage undetected due to inaccessibility or non-disclosure by owner/agent/tenant.

Slab floor construction has become more prevalent in recent years. Floor covering may conceal cracks in the slab that will allow infestation to enter. Infestations in the walls may be concealed by plaster so that a diligent inspection may not disclose the true condition. These areas are not practical to inspect because of health hazards, damage to the structure; or inconvenience. They were not inspected unless described in this report. We recommend further inspection if there is any question about the above noted areas. Ref: Structural Pest Control Act, Article 6, Section 8516(b), paragraph 1990(I). Amended effective March 1, 1974. Inspection is limited to disclosure of wood destroying pests or organisms as set forth in the Structural Pest Control Act, Article 6, Section 8516(b), Paragraph 1990-1991.

ASBESTOS OR LEAD

Owner, Party of Interest acknowledges and agrees that this inspection of the premises will not include any type of inspection for the presence or non-presence of asbestos or lead. GT Inspects Inc. recommends that you contact a contractor specially licensed to engage in the inspection or remediation of lead or asbestos that could be found on or in this structure. Should GT Inspects Inc. Discover the presence of asbestos or lead during our inspection of the structure or in performing repairs on the structure or if our inspection or repairs cause a release of the asbestos or lead particles, the owner or party of interest authorizing the inspection or repairs will be responsible for the clean up, removal and disposal of the asbestos or lead and the cost there of. Owner or party of interest hereby agree to waive any and all claims against GT Inspects Inc. Which are in any way related to the presence of asbestos or lead. The owner or party of interest also agrees to indemnify and hold GT Inspects Inc. harmless from any and all claims of any nature asserted by any third party, including this company's employees, which in any way relate to the presence asbestos or lead on or in the structure.

SEPARATED REPORT

A separate report has been requested which is defined as a SECTION I / SECTION II conditions evident on the date of the inspection. SECTION I contains items where there is evidence of active infestation, infection or conditions that have resulted in or from infestations or infections. SECTION II items are conditions deemed likely to lead to infestations or infections but where no visible evidence of such was found. Further inspection items are defined as recommendations to inspect area(s) which during the original inspection . not allow the inspector to complete his inspection and cannot be defined as SECTION I or SECTION II.

OUR FINDINGS AND RECOMMENDATIONS BEGIN ON THE NEXT PAGE

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#1 SUBSTRUCTURE

INFORMATION

1A. FINDING: This structure was constructed partially on a slab on grade. In construction of this type, infestations may develop in areas where plumbing pipes, electrical pipes, etc., passing through the concrete slab leave voids which are not detectable at the time of the inspection.

RECOMMENDATION: Owner should have periodic pest control inspections.

INFORMATION

1B. FINDING: Most of the subarea as indicated on the diagram was inaccessible for physical inspection due to no subarea access could be found at the time of the inspection.

RECOMMENDATION: Upon the owner or the party of interest making this subarea accessible, GT Inspects Inc. will return and inspect this area. A supplemental report will be issued outlining our findings/recommendations as necessary. This inspection will be performed for an additional fee.

SECTION I \$ 50.00

1C. FINDING: Fungus infected cellulose debris was found in the portion of the accessible subarea as indicated on the diagram. Cellulose debris can and does attract subterranean termite activity and is important to remove.

RECOMMENDATION: GT Inspects Inc. to remove all debris of a size that can be raked and/or larger and dispose of the same.



SECTION II \$ Referred to Owner

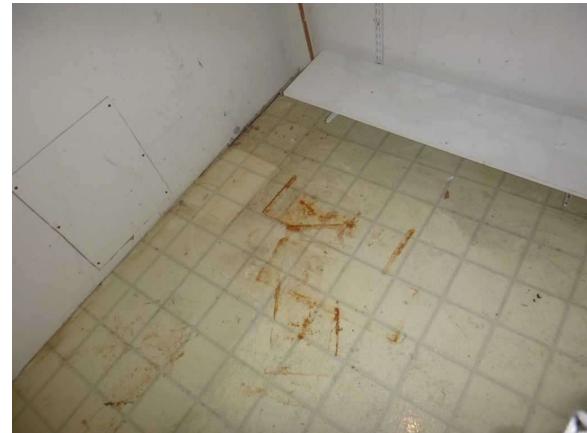
1D. FINDING: Signs of past moisture intrusion were noted to have occurred in the accessible portion of the subarea at the area indicated on the diagram. This is not uncommon to a structure in this area. The amount or cause of the moisture intrusion occurring was beyond the scope of this inspection.

RECOMMENDATION: Further information desired regarding the moisture intrusion should be directed towards an appropriate drainage contractor.

SECTION II \$ Referred to Owner

1E. FINDING: Signs of past moisture intrusion were noted to have occurred in the basement at the area indicated on the diagram. This is not uncommon to a structure in this area. The amount or cause of the moisture intrusion occurring was beyond the scope of this inspection.

RECOMMENDATION: Further information desired regarding the moisture intrusion should be directed towards an appropriate drainage contractor.



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#2 SHOWERS

INFORMATION

2A. FINDING: The lower insuite bathroom shower was not water tested due to it was over concrete slab. Water testing of the shower could cause water damage to the surrounding areas if the shower leaked. There was no outward signs of leakage at visible areas at the time of the inspection. There is no warranty that the stall shower would not leak if a water test was applied.

RECOMMENDATION: Owner or party of interest should maintain the stall shower in a well sealed and caulked manner at all times. At the request of the owner or party of interest and release of liability, GT Inspects Inc. would return and apply a standard water test. GT Inspects Inc. would issue a supplemental report outlining our findings and recommendations and price quote if any.



#3 FOUNDATIONS

INFORMATION

3A. FINDING: The foundation of this structure was found to be concrete, and above adjacent soil level at the time of inspection. Some cracks and deterioration were noted to the foundation. This is not uncommon to a structure's foundation of this age or area.

RECOMMENDATION: The owner should maintain the exterior grade levels below the top of the foundation a minimum of four to six inches at all times. The condition of the foundation is beyond the scope of this inspection. Any information desired regarding the condition or serviceability of the foundation should be directed to appropriate contractor or engineer.

INFORMATION

3B. FINDING: The foundation at the interior area as indicated on the diagram was inaccessible for inspection and could not be inspected due to no subarea access could be found as indicated on the diagram.

RECOMMENDATION: Upon request and for a fee, GT Inspects Inc. would return once the area is may accessible. The area would be inspected and a supplemental report would be given outlining our findings and recommendations as necessary.

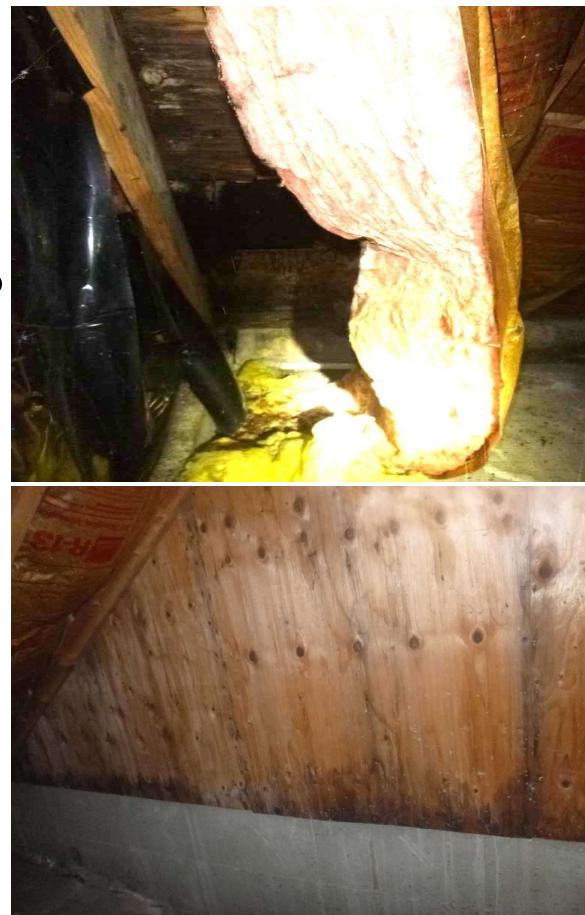
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#4 PORCHES --- STEPS

SECTION I \$ 14,950.00 ESTIMATE ONLY

4A. FINDING: Fungus damage and decay was observed at the wood framing and sheathing beneath the concrete on wood framed front porch and stairs at the location as indicated on the diagram. The cause of the damage is due to moisture intrusion occurring at this area. The extent of the damage could not be determined due to the finished walls and insulation present. It was noted that the area beneath the porch has been converted to useful living space (closet) and there were signs of past moisture intrusion.

RECOMMENDATION: GT Inspect Inc. to remove the insulation and the sheetrock. If additional damage is found additional costs may occur. GT Inspects Inc. to repair the fungus damaged framing and sheathing with new material to eliminate the fungus infection. The new material to be used will be pressure treated douglas fir framing as available. GT Inspects will treat this area with a registered fungicide. The fungicide to be used is Timbor (see chemical disclosure for active ingredients). GT Inspects Inc with then reinstall the sheetrock and insulation and tape texture to match exiting. At completion of repairs, owner or party of interest to engage the services of waterproofing contractor to seal the porch and stairs to prevent further moisture intrusion and decay. Failure to maintain the porch in a well sealed and caulked manner at all times will result in future moisture intrusion and decay.



PLEASE NOTE: If the damage is found to extend into adjacent inaccessible areas or the repairs cannot be performed safely due to the porch or stairs are found to be unstable or have large cracks or deterioration found during the course of the repairs a supplemental report would be given outlining our findings, recommendations and additional costs as necessary.

PLEASE NOTE: No building code upgrades, engineering or plans are included in our cost quote. If the local building department requires plans, engineering or additional repairs or upgrades, this would be done at an additional cost.

SECTION II Referred to Owner

4B. FINDING: A stress crack was noted at the stucco buttress wall at the front porch area. This appears to be due to past settlement of the porch.

RECOMMENDATION: Owner should seal the crack. Further information desired regarding the settlement should be directed towards the appropriate contractor.



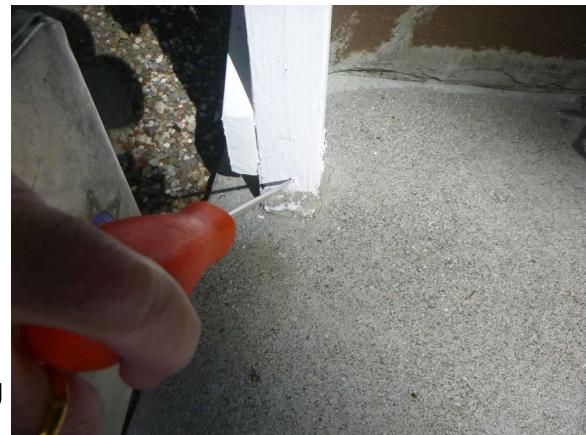
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SECTION I \$ 175.00

4C. FINDING: The side stairs handrail post was found to be fungus damaged and decayed. It appears that the existing handrail can be repaired.

RECOMMENDATION: GT Inspect Inc. to repair the existing handrail as necessary to eliminate the fungus damage. No painting is included in our cost quote. No code upgrades are included in this cost quote.

PLEASE NOTE: If the local building department requires additional building code repairs or upgrades, plans or engineering to the handrail this would be done at an additional cost.

**INFORMATION**

4D. FINDING: The side porch and stairs are concrete on grade with no signs of infestation or infections noted.

RECOMMENDATION: Owner should keep this area well sealed and caulked at all times.

INFORMATION

4E. FINDING: The rear porch and stairs are concrete on grade with no signs of infestation or infections noted.

RECOMMENDATION: Owner should keep this area well sealed and caulked at all times.

SECTION I \$ 2950.00

4F. FINDING: Fungus damage was found to the rear wooden porch as indicated on the diagram.

RECOMMENDATION: GT Inspects Inc. to repair the porch and framing as necessary to eliminate the fungus damage and decay. No painting or staining is included in our cost quote. Owner or party of interest must then maintain the porch in a well sealed and caulked manner at all times.

PLEASE NOTE: No building code upgrades are included in our cost quote. If the local building department requires additional repairs, upgrades, plans or engineering this would be done at an additional cost.

**#5 VENTILATION****SECTION II \$ Referred to Owner**

5A. FINDING: The ventilation of the subarea appeared to be marginal at the time of the inspection due to louvered vent screens present. No signs of infestations or infections were observed that appeared to be caused by lack of full ventilation.

RECOMMENDATION: Owner may wish to increase the ventilation. This could be done by removing the louvered screens and installing wire mesh vent screens, adding additional vent screens and/or changing the subarea access door to screened opening. Owner should then periodically inspect for proper ventilation of subarea.

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#6 ABUTMENTS

NONE

#7 ATTIC SPACES

INFORMATION

7A. FINDING: The attic space was not inspected due to the cracking or damage that may occur to the interior ceilings as a result of the inspection or injury could occur to our inspector.

RECOMMENDATION: If a written release is provided, an attic inspection will be performed and a supplemental report will be issued with our findings and recommendations. This would be done at an additional cost and could require the removal of insulation (if present) and the installation of crawl boards and or catwalks.

#8 GARAGES

SECTION II \$ 6950.00

8A. FINDING: Fungus damage was found to the carport support posts as indicated on the diagram.

RECOMMENDATION: GT Inspects Inc. to repair the support posts to eliminate the fungus damage and decay. Disturbed areas to be prime painted.

PLEASE NOTE: No building code upgrades, engineering or plans are included in our cost quote. If the local building department requires plans, engineering or additional repairs or upgrades, this would be done at an additional cost.

SECTION I \$ Included with 8A

8B. FINDING: Fungus damage was found to the carport framing and T1-11 siding as indicated on the diagram.

RECOMMENDATION: GT Inspects Inc. to cut out all fungus damaged wood framing and sheathing and replace with new material to eliminate the fungus infection. Chemically treat adjacent area with a wood preservative. The wood preservative to be used is Tim-Bor.

PLEASE NOTE: No building code upgrades, engineering or plans are included in our cost quote. If the local building department requires plans, engineering or additional repairs or upgrades, this would be done at an additional cost.



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#9 DECKS --- PATIOS

INFORMATION

9A. FINDING: The tile side deck was found to be over living space. No outward signs of leakage, staining or infections were seen to the ceiling below. The water tight capacity of the deck is beyond the scope of this inspection.

RECOMMENDATION: Owner should keep the deck well sealed at all times. Further information desired regarding the water tight capacity should be directed towards the current owner or appropriate roofer or water proofing contractor.

SECTION I \$ 5650.00

9B. FINDING: Fungus infection was found to the side wooden deck and stairs as indicated on the diagram.

RECOMMENDATION: GT Inspects Inc. to repair the deck and stairs as necessary to eliminate the fungus infection. No painting or staining is included in our cost quote. Owner should keep the deck well sealed at all times.

PLEASE NOTE: No building code upgrades additional work, plans or engineering are included in our cost quote. If the local building department requires additional repairs or upgrades, this would be done at an additional cost.

PLEASE NOTE: If this damage is found to extend into inaccessible areas during the course of the repairs a supplemental report would be given outlining our findings, recommendations and additional costs as necessary. No repairs for damage in inaccessible areas is included in our cost quote.

INFORMATION

9C. FINDING: The detached patio cover at the rear was not inspected or included in this report.

RECOMMENDATION: Upon request and for an additional fee, GT Inspects Inc. would return to inspect the cover and issue a supplemental report outlining our findings, recommendations and repairs as necessary.

#10 OTHER --- INTERIORS

UPPER UNIT

INFORMATION

10A. FINDING: Many of the windows in the structure were inaccessible for inspection/ probing due to the screens installed at the interior of the windows.

RECOMMENDATION: Upon request and for a fee, once the area is made accessible GT Inspects would return and inspect this area. A supplemental report would be given outlining our findings and recommendations as necessary.



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INFORMATION

10B. FINDING: The laundry area was inspected. No outward signs of infestations or infections were observed. The floor area was inspected. The clothes washer and clothes dryer were not moved during the course of the inspection. The area beneath and behind the washer and dryer is considered inaccessible for inspection.

RECOMMENDATION: Owner or party of interest should keep the laundry area and floor well sealed at all times.

INFORMATION

10C. FINDING: The main bathroom areas were inspected and no outward signs of infestations or infections were seen.

RECOMMENDATION: Owner or party of interest to keep the bathroom areas well sealed, grouted and caulked at all times. Particular attention should be paid to the bathtub/shower areas and the floor adjacent to these areas.

SECTION II \$ Referred to Plumber

10D. FINDING: The toilet in the main bathroom was noted to be loose at the time of the inspection. This could cause an excessive moisture condition and decay to occur at the wooden subflooring adjacent to this area.

RECOMMENDATION: Owner or party of interest should engage the services of an appropriate licensed plumber for properly resetting of the toilet. If any damage is found to the subfloor or framing once the toilet is removed, GT Inspects Inc. would return for a fee and inspect the damage and issue a supplemental report outlining our findings, recommendations and cost quote.

INFORMATION

10E. FINDING: The kitchen areas were inspected and no signs of infestations or infections were found.

RECOMMENDATION: Owner or party of interest should keep all kitchen surfaces well sealed and caulked at all times. Particular attention should be paid to the countertop adjacent to the kitchen sink. Floor covering should be kept sealed particularly around automatic dishwashers and any door leading to the exterior areas.

SECTION II \$ Referred to Owner

10F. FINDING: A dining room window was noted to be cracked and/or broken. This can allow moisture intrusion and decay to occur.

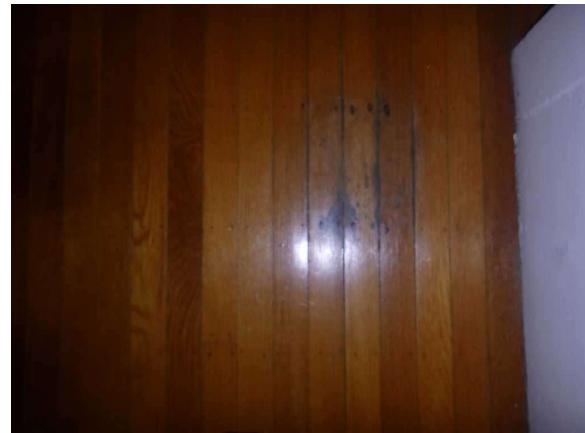
RECOMMENDATION: Owner or party of interest should engage the services of a licensed window repair person to repair the broken or cracked window as necessary.

SECTION II \$ Referred to Contractor

10G. FINDING: Water stains were noted to the hardwood floor covering in the dining room. No signs of fungus damage or decay was observed. The cause of the staining is unknown.

RECOMMENDATION: Owner or party of interest should engage the services of an appropriate floor refinisher for recommendations and repairs as necessary. Further information as to the cause of the stains should be directed towards the appropriate contractor or current owner.

MAIN (Lower Unit)



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SECTION I \$ 9850.00

10H. FINDING: This large single lite fixed wood window sash, This single lite swing out wood window sash and the window sill and framing at the bedroom were found to be fungus damaged and decayed as indicated on the diagram.

RECOMMENDATION: GT Inspects Inc. to remove this fungus damaged wood window sashes and replace with new prime painted wood window sashes of like design. GT Inspects to repair the window sill and framing. No finish painting is included in our cost quote. Some minor damage may occur to the interior wood window trim in replacement of the wood window sashes. Existing hardware to be reused if possible.



PLEASE NOTE: An exact match to the windows being replaced may not be possible due to the age of the windows. **Several cities now require design review which could entail plans, photographs or other requirements.** This would be done at an additional cost, including our time spent in meeting these requirements. If the window replacement requires removal of exterior siding or stucco due to the windows chosen an additional cost would incur. The price quoted is an estimate only and final cost may differ. Please call our office for additional information.

PLEASE NOTE: If this damage is found to extend into inaccessible areas during the course of the repairs. A supplemental report would be given outlining our findings, recommendations and additional costs as necessary. No repairs for damage in inaccessible areas is included in our cost quote.

SECTION II \$ Referred to Contractor

10I. FINDING: Water stains were noted to the hardwood floor covering in various locations. No signs of fungus damage or decay was observed. The cause of the staining is unknown.

RECOMMENDATION: Owner or party of interest should engage the services of an appropriate floor refinisher for recommendations and repairs as necessary. Further information as to the cause of the stains should be directed towards the appropriate contractor or current owner.

**SECTION II \$ Referred to Plumber**

10J. FINDING: The 1/2 bathroom sink P-trap was noted to be rusted and near term replacement as indicated the diagram.

RECOMMENDATION: Owner or party of interest should engage the services of a licensed plumber to repair the sink plumbing as necessary to eliminate the leak.

**INFORMATION**

10K. FINDING: The kitchen areas were inspected and no signs of infestations or infections were found.

RECOMMENDATION: Owner or party of interest should keep all kitchen surfaces well sealed and caulked at all times. Particular attention should be paid to the countertop adjacent to the kitchen sink. Floor covering should be kept sealed particularly around automatic dishwashers and any door leading to the exterior areas.

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SECTION I \$ 2750.00

10L. FINDING: Fungus damage was found to the subfloor and framing adjacent to the lower french doors as indicated on the diagram.

RECOMMENDATION: GT Inspects Inc. to repair the fungus damage subflooring, and framing. No finish painting or replacement of the floor covering is included in our cost quote. These repairs to be done in conjunction with our finding 11H.

**INFORMATION**

10M. FINDING: The lower kitchenette areas were inspected and no signs of infestations or infections were found.

RECOMMENDATION: See recommendation 10K.

INFORMATION

10N. FINDING: The kitchenette sink base cabinet was full of storage at the time of the inspection. The underside of the kitchen sink /countertop/ plumbing and base shelf were inaccessible for inspection and were not inspected at this location.

RECOMMENDATION: Upon request and for a fee GT Inspects Inc. would return after the storage has been removed . GT Inspects Inc would inspect the area and issue a supplemental report outlining our findings, recommendations and cost quote if any.

INFORMATION

10O. FINDING: The lower main bathroom areas were inspected and no outward signs of infestations or infections were seen.

RECOMMENDATION: See recommendation 10C.

SECTION II \$ Referred to Owner

10P. FINDING: The vanity in the lower main bathroom was found to be deteriorated and water damaged. No signs of infestations were seen.

RECOMMENDATION: Owner should keep the vanity well sealed at all times and replace when no longer serviceable.

**INFORMATION**

10Q. FINDING: The indoor enclosed sauna and equipment was not inspected. This includes the cabinet and/or enclosure.

RECOMMENDATION: Further information desired regarding the sauna or it equipment should be directed towards the owner or appropriate contractor.

INFORMATION

10R. FINDING: Portions of the interior lower finished areas were found to be below exterior grade levels as indicated on the diagram. There could have been past moisture intrusion that has occurred in the finished lower living space. This could not be determined at the time of the inspection due to the finished areas. GT Inspects Inc. makes no warranty that past or future moisture intrusion has or will not occur.

RECOMMENDATION: Further information desired regarding past moisture or future moisture intrusion should be directed towards the current owner or an appropriate drainage contractor.

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INFORMATION

10S. FINDING: The lower insuite bathroom areas were inspected and no outward signs of infestations or infections were seen.

RECOMMENDATION: See recommendation 10C..



SECTION II \$ Referred to Plumber

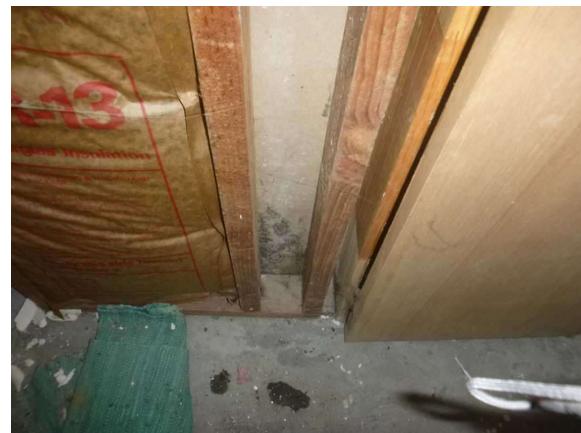
10T. FINDING: The lower insuite bathroom sink P-traps were noted to be rusted /deteriorated and near term replacement as indicated the diagram.

RECOMMENDATION: Owner or party of interest should engage the services of a licensed plumber to repair the sink plumbing as necessary to eliminate the leak.

SECTION I Included with 4A

10U. FINDING: Moisture intrusion and decay was noted at the closet area beneath the front porch and the stair area.

RECOMMENDATION: See finding and recommendation 4A.



INFORMATION

10V. FINDING: The laundry area in the lower area was inspected. No outward signs of infestations or infections were observed. The floor area was inspected. The clothes washer and clothes dryer were not moved during the course of the inspection. The area beneath and behind the washer and dryer is considered inaccessible for inspection.

RECOMMENDATION: Owner or party of interest should keep the laundry area and floor well sealed at all times.

INFORMATION

10W. FINDING: The main bathroom areas were inspected and no outward signs of infestations or infections were seen.

RECOMMENDATION: See recommendation 10C.

#11 OTHER --- EXTERIORS

INFORMATION

11A. FINDING: The roof covering, operation of the gutters, and down-spouts were not inspected or included in this report. The water tight capacity of these items are also beyond the scope of this inspection.

RECOMMENDATION: Further information as to the condition of the roof, or the water tightness and/or inspection of the roof should be performed by a licensed roofing contractor.

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INFORMATION

11B. FINDING: Most of the exterior of the structure was found to be stucco exterior. No test openings were installed in the exterior stucco at the time of the inspection. The area behind the stucco is considered an inaccessible area. There must be signs of staining or fungus infection to require a further inspection recommendation (Test openings) as per the Structural Pest Control Act. If the structure has been rehabed, painted at the interior or exterior, the floors refinished/replaced this could hide previous conditions indicating damage behind the stucco. There is no warranty implied or expressed that damage does not exist behind the stucco exterior.

RECOMMENDATION: At the request of the owner or party of interest, GT Inspects Inc. for a fee would return and install test openings in the exterior stucco and issue a supplemental report outlining our findings and recommendations as necessary.

INFORMATION

11C. FINDING: The upper portions of the exterior that are above 8' feet above the adjacent ground were inaccessible for inspection and were inspected from the ground level only. Due to the height of the structure and its age there is a possibility that damage may exist at the upper portions of the structure that could not be determined to exist from a visual inspection from the ground.

RECOMMENDATION: Upon request and for a fee GT Inspects Inc. would return with ladders to inspect the upper areas of the structure. The upper areas would be inspected and a supplemental report would be given outlining our findings and recommendations and cost quotes as necessary.

SECTION I \$ Referred to Roofer

11D. FINDING: Fungus damage was observed to the at the fascia as indicated on the diagram.

RECOMMENDATION: Owner or party of interest should engage a licensed roofing contractor for recommendations and repairs as necessary.

SECTION I \$ 12,650.00

11E. FINDING: The side French doors were found to be fungus damaged and decayed as indicated on the diagram. The door sill was noted to slope inward.

RECOMMENDATION: GT Inspects Inc. to remove the fungus damaged doors/ framing and sill and replace with new prime painted wood doors, framing and sill of like design. No finish painting is included in our cost quote. **PLEASE NOTE:** Some minor damage may occur to the wood door trim/framing in replacement of the door. Existing hardware/lock set to be reused if possible.



PLEASE NOTE: If this damage is found to extend into inaccessible areas during the course of the repairs. A supplemental report would be given outlining our findings, recommendations and additional costs as necessary. No repairs for damage in inaccessible areas is included in our cost quote.

PLEASE NOTE: No building code upgrades, engineering or plans are included in our cost quote. If the local building department requires plans, engineering or additional repairs or upgrades, this would be done at an additional cost.

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SECTION I \$ 4950.00

11F. FINDING: These (7) single lite fixed wood window sashes at the exterior were found to be fungus damaged and decayed as indicated on the diagram.

RECOMMENDATION: GT Inspects Inc. to remove this fungus damaged wood window sashes and replace with new prime painted wood window sashes of like design. No finish painting is included in our cost quote. Some minor damage may occur to the interior wood window trim in replacement of the wood window sashes. Existing hardware to be reused if possible.



PLEASE NOTE: An exact match to the windows being replaced may not be possible due to the age of the windows. Several cities now require design review which could entail plans, photographs or other requirements. This would be done at an additional cost, including our time spent in meeting these requirements. If the window replacement requires removal of exterior siding or stucco due to the windows chosen an additional cost would incur. The price quoted is an estimate only and final cost may differ. Please call our office for additional information.

SECTION II Referred to Owner

11G. FINDING: Deterioration was noted to the exterior subarea access.

RECOMMENDATION: Owner should keep this and all exterior wood surfaces well sealed at all times.

SECTION I \$ 12,650.00

11H. FINDING: The lower rear French doors were found to be fungus damaged and decayed as indicated on the diagram.

RECOMMENDATION: GT Inspects Inc. to remove the fungus damaged doors/ framing and sill and replace with new prime painted wood doors, framing and sill of like design. No finish painting is included in our cost quote. **PLEASE NOTE:** Some minor damage may occur to the wood door trim/framing in replacement of the door. Existing hardware/lock set to be reused if possible.



PLEASE NOTE: If this damage is found to extend into inaccessible areas during the course of the repairs. A supplemental report would be given outlining our findings, recommendations and additional costs as necessary. No repairs for damage in inaccessible areas is included in our cost quote.

PLEASE NOTE: No building code upgrades, engineering or plans are included in our cost quote. If the local building department requires plans, engineering or additional repairs or upgrades, this would be done at an additional cost.

PLEASE NOTE: It is this inspector's opinion that several of the findings and recommendations in this Structural Pest Control Inspection report require a local city building permit.

If others are completing repairs in this inspection report and are requiring a reinspection, a signed off building permit is required prior to our reinspection. Please See: "Contractor's or others performing work" on page 3 of this report).

CONDITIONS NOTED AT THE TIME OF THE INSPECTION

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It is important that all parties reading this report understand that this report covers the accessible areas of the structure only. There are many inaccessible areas in a structure. Please see inaccessible areas on page 2 of this report. GT Inspects Inc. does not warrant or make any representation as to the interior of hollow spaces of walls or ceilings. These areas are considered inaccessible. Further inspection recommendations are made where there are visible signs of infestations or infections. Otherwise the areas as noted on page 2 of this report are considered inaccessible and were not inspected or included in this report.

1. No representation is made by GT Inspects Inc. regarding the roof covering or roofing components on this home. We are not licensed roofer's and not qualified to inspect these areas as a termite operator. We recommend that the owner or party interest engage the services of a licensed roofing contractor for recommendations and or repairs as necessary.
2. It must be understood by all parties concerned that this structural pest control inspection was performed from the ground level only. The roof covering, downspouts and gutters were not inspected and are considered outside the scope of this report. If the roof has not been inspected in the recent past, a licensed roofing contractor should be contacted for recommendations and corrective measures as necessary.
3. The foundation of this structure was inspected for relationship to soil grade levels only (faulty grade conditions). No structural analysis was performed on the foundation or supporting soils. This type of inspection is outside the scope of this inspection.
4. Kitchens, bathrooms and laundry areas are a primary concern for fungus damage and decay due to moisture that can be present at these areas. Countertops, floor coverings, tub areas and shower walls should be kept well sealed and caulked at all times. Tiled surfaces should be kept grouted and sealed on a regular basis. Glass tub and shower enclosures should be kept caulked and sealed at all times.
5. Bathtub and shower walls are tap tested for loose or unbonded tiles that could indicate moisture intrusion and a possible internal wall problems. At the time of the inspection no loose tiles were found, this is not a technical test and/or any form of guarantee. Tile can start to leak at any time. The tiled areas must be kept well sealed and grouted at all times to prevent moisture intrusion from occurring.

Thank You for allowing GT Inspects Inc. to inspect your property. If you have any questions regarding this report, or if I can be of further service please call Dan Marzilli at 510 774-6784 or our office at 510-530-0687.

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OCCUPANTS CHEMICAL NOTICE

GT INSPECTS INC. will be using the following pesticide chemical(s) specified below for the control of wood destroying pests or organisms in the locations identified in our Structural Pest Control Report as indicated above.

The pests or wood destroying organism to be controlled:

- Fungus and Dry Rot
- Powder Post Beetles (anobiidae)
- Carpenter Ants (Camponotus)
- Subterranean Termites (Reticulitermes)
- Drywood Termites (Kalotermes)
- Dampwood Termites (Coutermopsis)

The Pesticide(s) proposed to be used in performing our services and active ingredient(s):

- COPPER NAPHTHENATE (Copper Green) active ingredient: Copper Naphthenate
- DURSBAN T.C. - active ingredient: Chlorpyrifos
- PREMISE 75 - active ingredient: Imidacloprid
- TIM-BOR - active ingredient: Disodium Octabroate Terahydrate
- VIKANE - active ingredient: Sulfury Flouride (CHLOROPICRIN - WARNING AGENT)
- METHYL BROMIDE - active ingredient: Methyl Bromide

STATE LAW REQUIRES THAT YOU BE GIVEN THE FOLLOWING INFORMATION:CAUTION- PESTICIDES ARE TOXIC CHEMICALS:

Structural Pest Control Operators are licensed and regulated by the Structural Pest Control Board and apply pesticides which are registered and approved for use by the California Department of Food and Agriculture and the United States Environmental Protection Agency. Registration is granted when the State finds that based on existing scientific evidence there are no appreciable risks if proper use conditions are followed or the risks are outweighed by the benefits. The degree of risk depends upon the degree of exposure, so exposure should be minimized.

"If within 24 hours following the application you experience symptoms similar to common seasonal illness comparable to the flu or symptoms including, headaches,dizziness, nausea, diarrhea, tearing, coughing, nose or throat irritation, allergic type reactions, or develop a shortness of breath, double vision, unusual drowsiness, weakness, or tremors you should contact your physician or the Poison Control Center **IMMEDIATELY The Poison Control Center PH # is 1- 800-222-1222** Then Contact GT INSPECTS INC. 510-530-0687 or .

FOR FURTHER INFORMATION, CONTACT ANY OF THE FOLLOWING:

FOR HEALTH QUESTIONS - CALL YOUR COUNTY HEALTH DEPARTMENT (See list below).

FOR APPLICATION INFORMATION - CONTACT THE COUNTY AGRICULTURE COMMISSIONER (See list below).

County	Health Dept.	Agg. Commission	County	Health Dept.	Agg. Commission
ALAMEDA	510-567-6700	510-670-5232	CONTRA COSTA	925-692-2500	925-427-8610

Regulatory Information:

Structural Pest Control Board

2005 Evergreen St Suite 1500, Sacramento, CA 95815

(916) 561-8700 www.pestboard.ca.gov

YOUR PEST CONTROL OPERATOR is GT Inspects Inc. 1-510-530-0687

Persons with respiratory or allergic conditions, or others that may be concerned about their health relative to this chemical treatment should contact their physician concerning occupancy during and after chemical treatment prior to signing this notice. By signing the authorization below it means you have received a copy of this notice and understand it.



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AUTHORIZATION AGREEMENT PAGE 1 of 2

All prices quoted are subject to review after 30 days and are not binding after 30 days. The individual price quotes are subject to change if all the Section I items are not authorized. Our minimum job is \$450.00

PLEASE READ THE ENTIRE WOOD DESTROYING ORGANISM REPORT AND AUTHORIZATION AGREEMENT BEFORE SIGNING. THE WOOD DESTROYING ORGANISM REPORT IS PART OF THIS AUTHORIZATION AGREEMENT AND CONTAINS INFORMATION REGARDING THE RESPONSIBILITIES OF THE HOMEOWNER OR PERSON SIGNING THE CONTRACT AND GT INSPECTS INC. THE WOOD DESTROYING ORGANISM REPORT CONTAINS OUR WARRANTY INFORMATION.

Note: It is the owner's responsibility to supply and make available 110V electrical power and water at his cost for the completion of said work. GT Inspects Inc. will use reasonable care not to damage plants or landscaping. Owner may wish to transplant or remove any plants in the vicinity of the areas where work is to be performed.

All disturbed surfaces either interior or exterior, unless otherwise stated in the Wood Destroying Organism Report will be prime painted only (one coat white primer) and no finish painting, staining, or wallpapering is included.

If while completing proposed work, defective conditions are found or additional work beyond that specified in this proposal is required by a city or county building inspector will be executed only on written orders and will become an extra charge over an above the proposal. If the work proposed amounts to more than \$1,000.00 dollars installation of smoke detectors and Co2 Dectors are required by the building departments. In signing of this proposal, GT Inspects Inc. is guaranteed that the required smoke/Co2 detectors will be installed by the owner at his cost prior to the completion of our work.

Terms under this contract are net cash upon completion of work unless otherwise stated. Payment is to be made to GT Inspects Inc. upon demand once work is completed and invoiced. There is a 11/2% service charge per month on overdue accounts.

ARBITRATION

Both Parties to this contract agree that any controversy or claim arising out of or relating to this contract, or the breach thereof, shall be settled by arbitration administered by the American Arbitration Association under its Construction Industry Arbitration Rules, and judgment on the award rendered by the arbitrator(s) may be entered in any court having jurisdiction thereof.

To cancel this contract, it must be done in writing. You will be responsible for building permits purchased and or any other expenses incurred by GT Inspects Inc. prior to date of cancellation, plus 10% of the contract amount.

By executing this work authorization contract and requesting GT Inspects Inc. To proceed with the structural repairs and treatments as authorized by signing this authorization agreement. You release GT Inspects Inc. from any and all liability for any damage or injury of any kind what so ever(including but not limited to any consequential damage) which is claimed to arise from the dispersal of mold, mold spores, Asbestos, Asbestos fibers or Lead or lead dust resulting from the performance of the structural repairs referred to in the termite report for the recommended structural repairs or chemical applications as authorized by you signing this authorization agreement.

NOTICE TO OWNER: Under California Mechanics Lien Law any contractor who contracts to do work for you, including any subcontractor, laborer, supplier or any other person who helps to improve your property, but is not paid for his work or supplies, has a right to enforce a claim against your property. This means after a court hearing, your property could be sold by a court officer and the proceeds of the sale used to satisfy the indebtedness. This can happen even if you have paid your contractor in full if the subcontractor, laborers or suppliers remain unpaid. To preserve their right to file a claim or lien against your property, certain claimants such as subcontractors or material suppliers are required to provide you with a document entitled " Preliminary Notice." Contractors and laborers for wages do not have to provide such notice. A preliminary notice is not a lien against your property. Its purpose is to notify you of the persons who may have a right to file a lien against your property if they are not paid.

PLEASE RETURN BOTH PAGES OF THE AUTHORIZATION AGREEMENT BY EITHER:

Mailing to: GT Inspects Inc 4820 MacArthur Blvd. Oakland CA 94619

Emailing to: Office@GTInspects.com

Faxing to: 510-743-4259

If you are not authorizing all the Section I work to be performed above please circle the items you want performed and initial. Cross out all Section I items not to be performed. The permits fees will be adjusted by GT Inspects Inc. if all items are not going to be performed. There is no permit fees for chemical applications.

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AUTHORIZATION AGREEMENT

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BUILDING PERMIT FEES The actual cost of building permit will be added to the final cost of the contract plus a \$200.00 administration fee for obtaining the permit and waiting for inspections. The minimum permit fee in some cities can be in excess of \$1,000.00. In signing the contract I understand the permit fee and \$200.00 administration fee will be added to the total cost of the job. There is no permit fee or administration fee for Chemical treatments.

A PAYMENT SCHEDULE WILL REQUIRED FOR JOBS OVER \$3000.00

I have read both the termite report and the authorization agreement, I understand and agree to the above. I understand the actual cost of the building permit and a \$200 administration fee will be added to the Contract.

OWNER / OR PERSON AUTHORIZING THE CONTRACT / AUTHORIZATION AGREEMENT

OWNER OR PERSON AUTHORIZING THE CONTRACT PROMOTION AGREEMENT	
Signature	Date
Print Name	
Wk Ph#	Cell Ph#
Hm Ph#	Email



4820 MacArthur Blvd.
Oakland CA 94619

Book an inspection online @ www.GTInspects.com
Phone: 510-530-0687
Fax: 510-743-4259

INVOICE

SOLD TO:

Jim Turner c/o
Chimene Pollard
Red Oak Realty

INVOICE NUMBER G225415- Santa Ray Ave, 757
INVOICE DATE April 21, 2025

DESCRIPTION	PRICE	AMOUNT
Inspection Fee at 757 Santa Ray Avenue Oakland, CA 94610	\$600.00	\$600.00
PAYMENTS: 4/22/2025 1 Paid by credit card	(\$600.00)	(\$600.00)
	SUBTOTAL	\$600.00
	TAX	\$0.00
	TOTAL	\$600.00
	BALANCE DUE	\$0.00

THANK YOU FOR YOUR BUSINESS!