

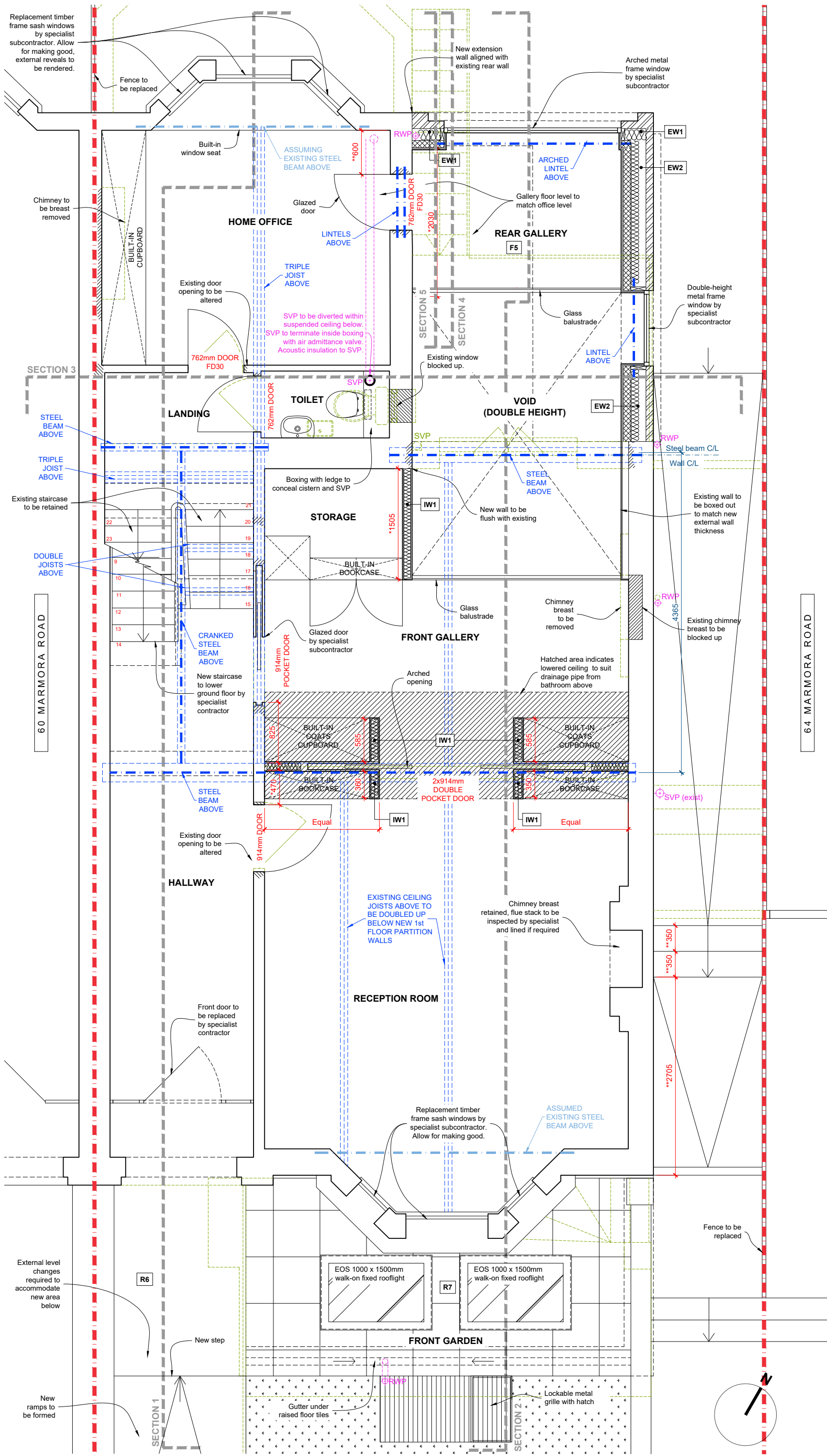
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  - Required Building Control approvals to be obtained by the Contractor.
  - Drawing not to be scaled. Figured dimensions to be worked to only.

- KEY**
- Site boundary
  - EXISTING STRUCTURE TO BE RETAINED
  - EXISTING STRUCTURE TO BE REMOVED
  - INFILL STRUCTURE (External and internal finishes to match and be flush with existing)
- FOR NEW WALL, FLOOR AND ROOF CONSTRUCTION BUILD-UPS REFER TO DRAWINGS 10020-3-031, 032, 033 & 034
- Structural members (to S/E's specification)
  - Drainage connections (indicative)
  - Waterproof membrane / DPM
  - Vapour barrier
- DIMENSIONS TAKEN FROM STRUCTURE TO STRUCTURE UNLESS STATED OTHERWISE:**
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**STEELWORK**  
All steel members to receive 30 min fire protection. Connection details to be produced by the fabricator and approved by the Structural Engineer prior to fabrication.  
Countersunk bolts to be used.

**UNDERGROUND DRAINAGE**  
Existing underground drainage to be investigated on site. Findings to be reported to the Architect and the Structural Engineer before removing any existing pipework or carrying out any new connections.

**CATEGORY 1 FIRE SUPPRESSION SYSTEM TO BE DESIGNED AND INSTALLED TO LOWER GROUND FLOOR AND GROUND FLOOR LEVELS BY SPECIALIST CONTRACTOR IN ACCORDANCE WITH BS9251:2021.**



UPPER GROUND FLOOR PLAN  
GENERAL ARRANGEMENT

PLANSTUDIO  
ARCHITECTURE

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Project  
**62 MARMORA ROAD  
LONDON SE22 0RY**

Drawing title  
**UPPER GROUND FLOOR  
GENERAL ARRANGEMENT**

Drawing number  
**10020-3-002**

Purpose of issue  
**TENDER**

Scale  
**1:50 @ A3**

Date  
**September 2024**

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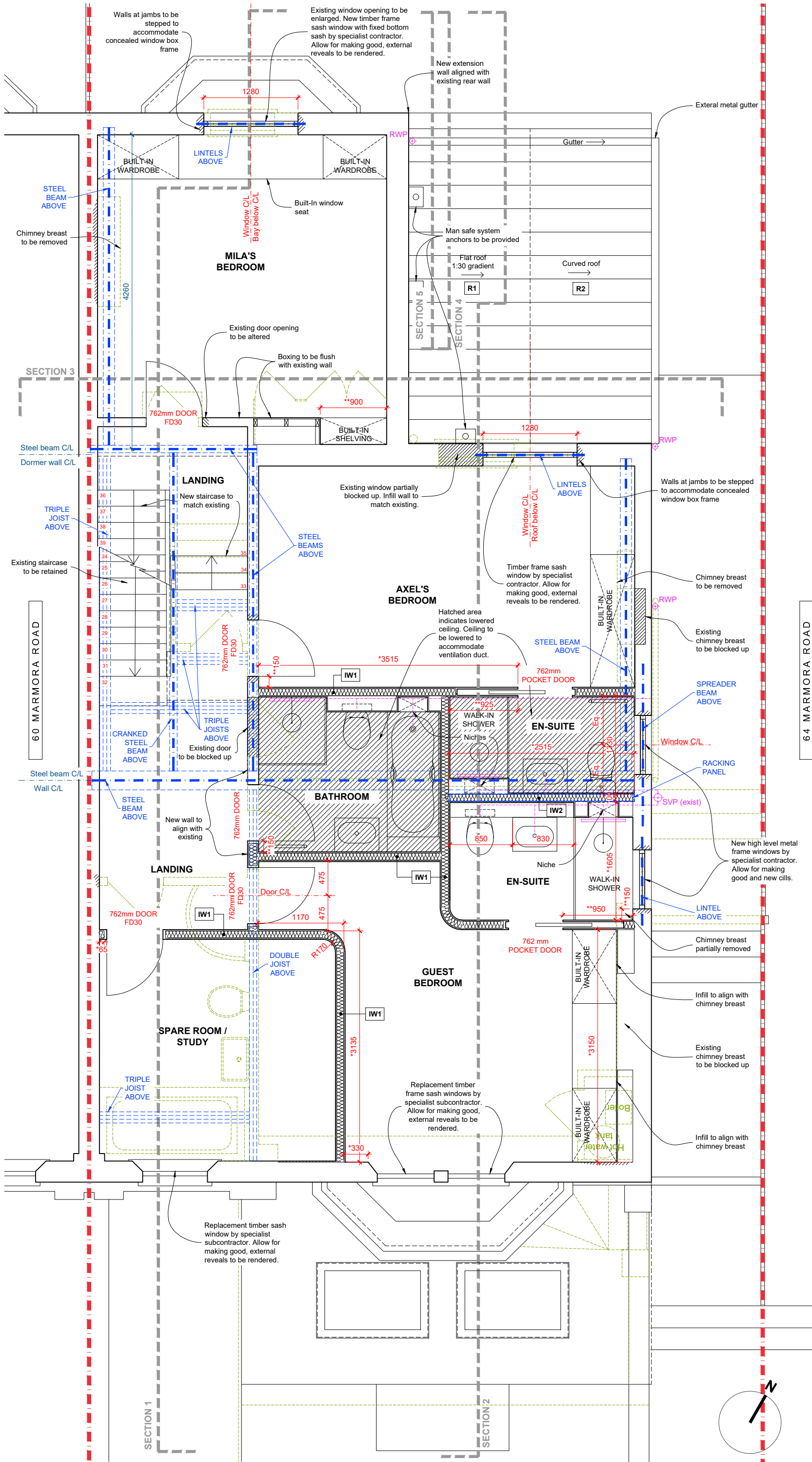
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FIRST FLOOR PLAN  
GENERAL ARRANGEMENT

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Project  
**62 MARMORA ROAD  
LONDON SE22 0RY**

Drawing title  
**FIRST FLOOR  
GENERAL ARRANGEMENT**

Drawing number  
**10020-3-003**

Purpose of issue  
**TENDER**

Scale  
**1:50 @ A3**

Date  
**September 2024**

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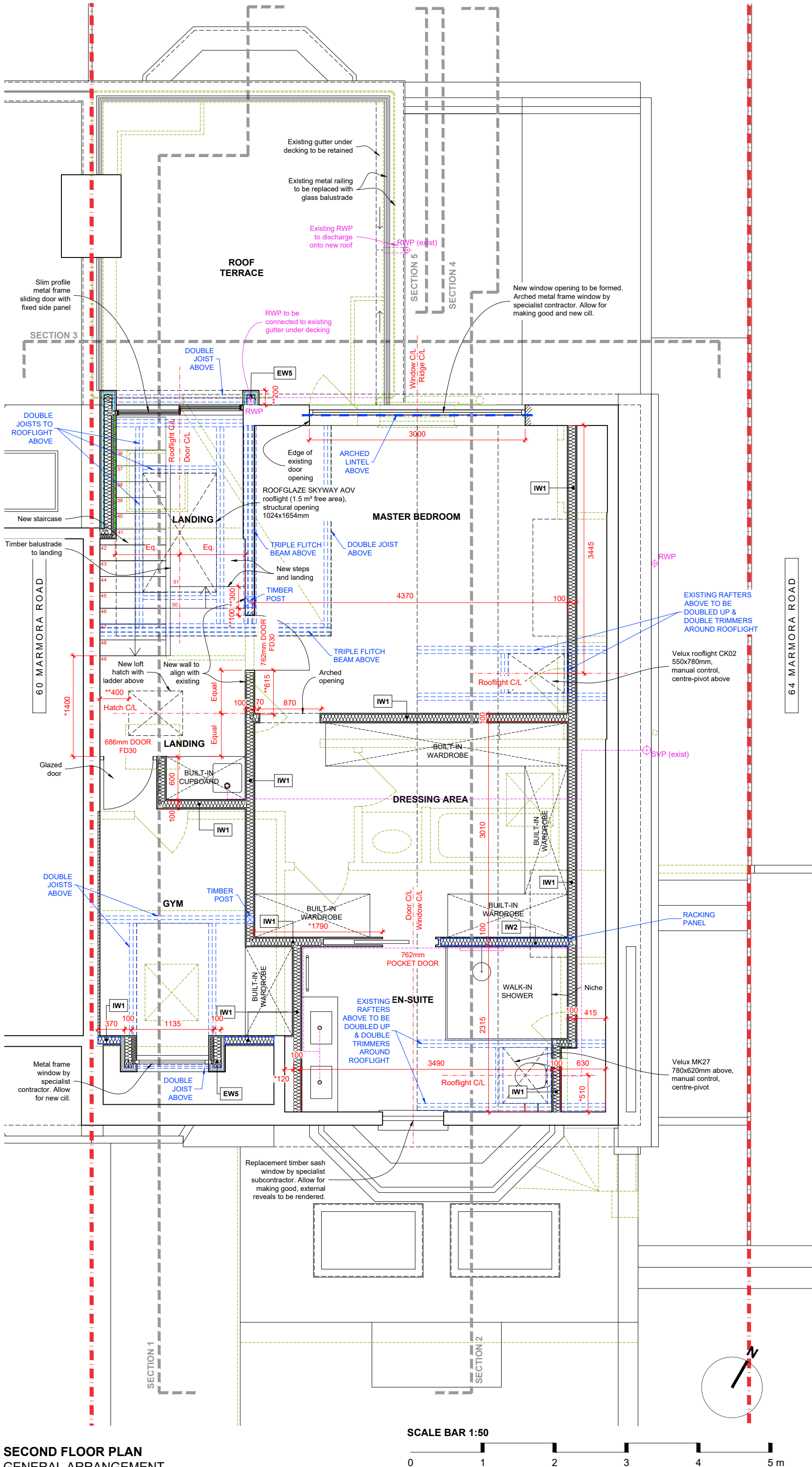
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SECOND FLOOR PLAN  
GENERAL ARRANGEMENT

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Project  
**62 MARMORA ROAD  
LONDON SE22 0RY**

Drawing title  
**SECOND FLOOR  
GENERAL ARRANGEMENT**

Drawing number  
**10020-3-004**

Purpose of issue  
**TENDER**

Scale  
**1:50 @ A3**

Date  
**September 2024**

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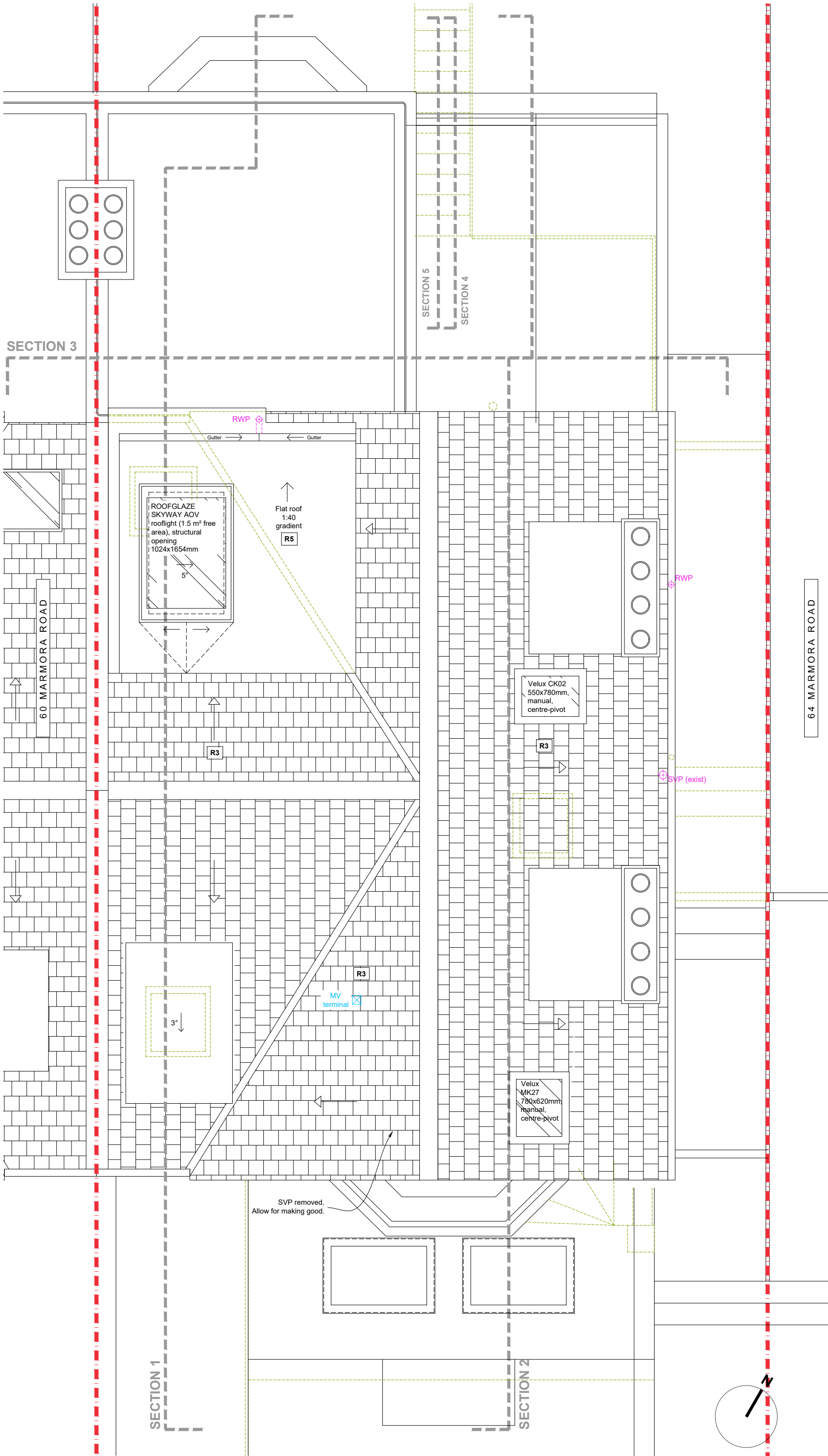
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ROOF PLAN  
GENERAL ARRANGEMENT

**PLANSTUDIO**  
ARCHITECTURE

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Project  
**62 MARMORA ROAD  
LONDON SE22 0RY**

Drawing title  
**ROOF PLAN  
GENERAL ARRANGEMENT**

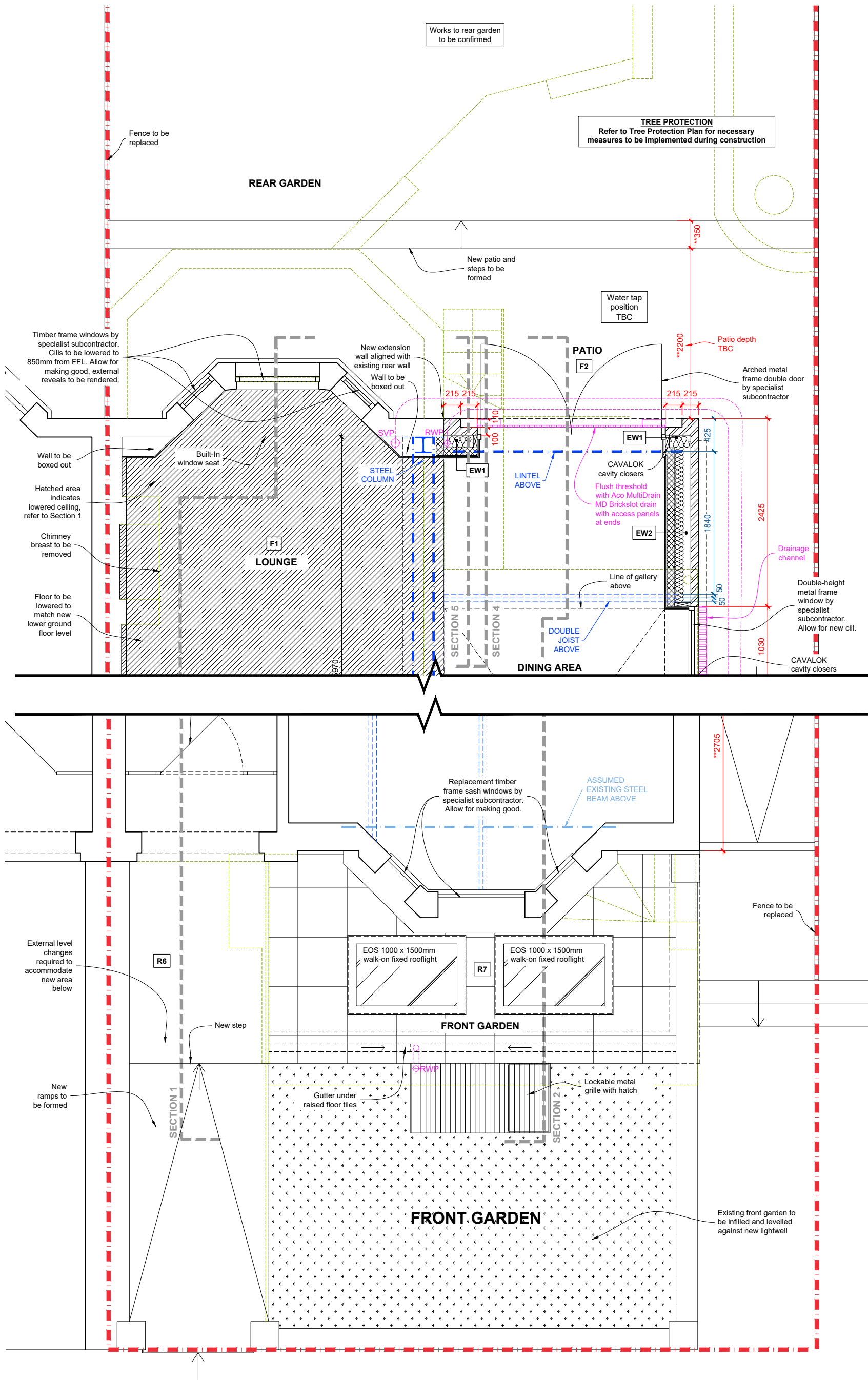
Drawing number  
**10020-3-005**

Purpose of issue  
**TENDER**

Scale  
**1:50 @ A3**

Date  
**September 2024**

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## FRONT & REAR GARDEN PLANS

### GENERAL ARRANGEMENT




**SCALE BAR 1:50**



### GENERAL NOTES

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**KEY**

- Site boundary**
- |   |   |
|---|---|
|  | EXISTING STRUCTURE TO BE RETAINED   |
|  | EXISTING STRUCTURE TO BE REMOVED  |
|  | INFILL STRUCTURE (External and internal finishes to match and be flush with existing) |

FOR NEW WALL, FLOOR AND ROOF  
CONSTRUCTION BUILD-UPS REFER TO  
DRAWINGS 10020-3-031, 032, 033 & 034

- Structural members (to S/E's specification)
- Drainage connections (indicative)
- Waterproof membrane / DPM
- Vapour barrier

**DIMENSIONS TAKEN FROM STRUCTURE TO**  
**STRUCTURE UNLESS STATED OTHERWISE:**

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## STEELWORK

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**CATEGORY 1 FIRE SUPPRESSION SYSTEM TO BE DESIGNED AND INSTALLED TO LOWER GROUND FLOOR AND GROUND FLOOR LEVELS BY SPECIALIST CONTRACTOR IN ACCORDANCE WITH BS9251:2021.**

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Project  
**62 MARMORA ROAD**  
**LONDON SE22 0RY**

Drawing title

**FRONT & REAR GARDEN PLANS**  
**GENERAL ARRANGEMENT**

Drawing number	Revision
<b>10020-3-006</b>	<b>-</b>

Purpose of issue  
**TENDER**

Scale

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**1:50 @ A3**

Date  
**September 2024**

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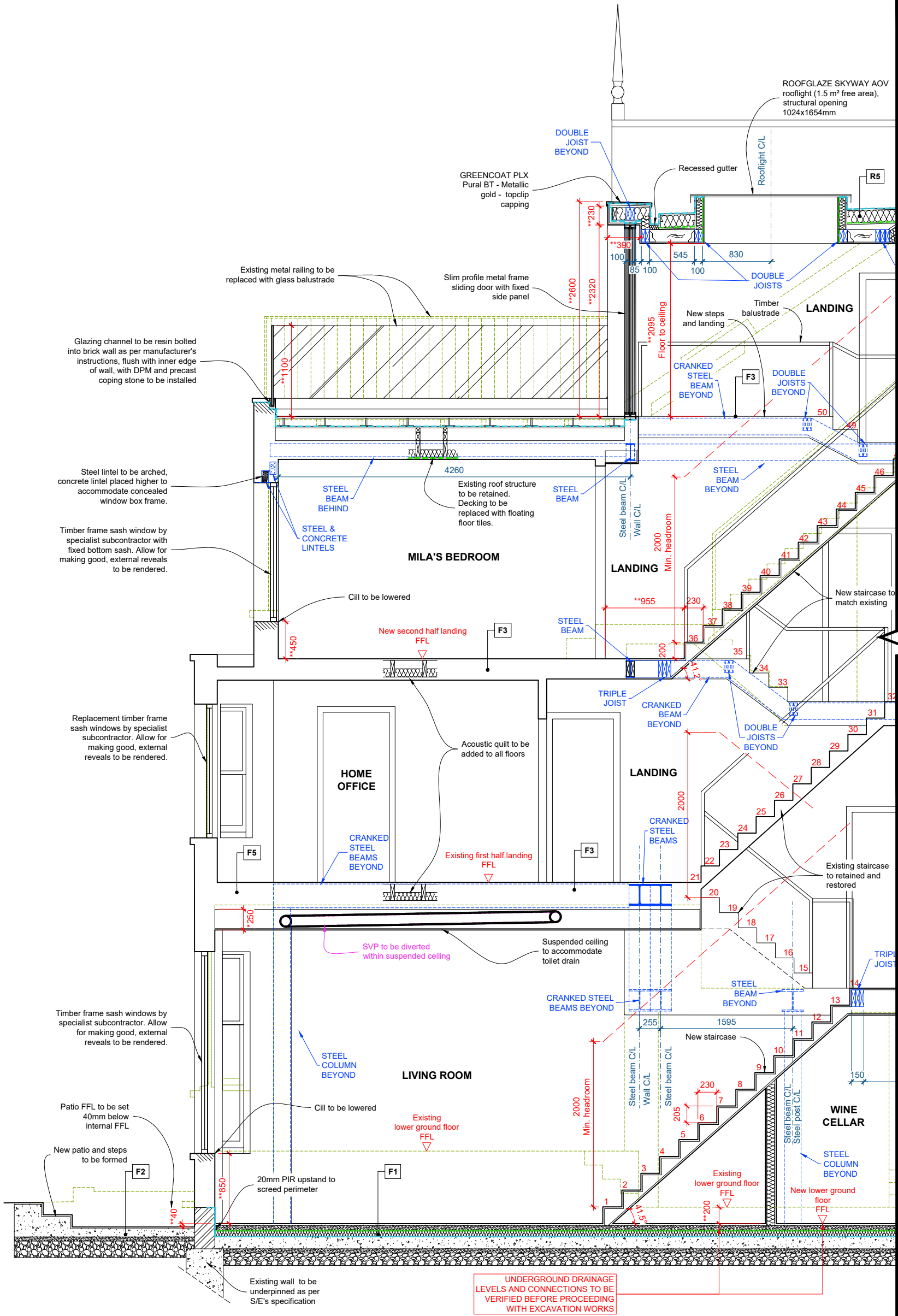
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- TANKING SYSTEM TO BE DESIGNED AND INSTALLED BY SPECIALIST CONTRACTOR.**



UNDERGROUND DRAINAGE LEVELS AND CONNECTIONS TO BE VERIFIED BEFORE PROCEEDING WITH EXCAVATION WORKS

FOR REMAINDER OF PLAN REFER TO DRAWING 10020-3-012

SCALE BAR 1:50

0 1 2 3 4 5 m

SECTION 1 (sheet 1/2)  
GENERAL ARRANGEMENT

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Project  
**62 MARMORA ROAD  
LONDON SE22 0RY**

Drawing title  
**SECTION 1 (sheet 1/2)  
GENERAL ARRANGEMENT**

Drawing number  
**10020-3-011**

Revision  
-

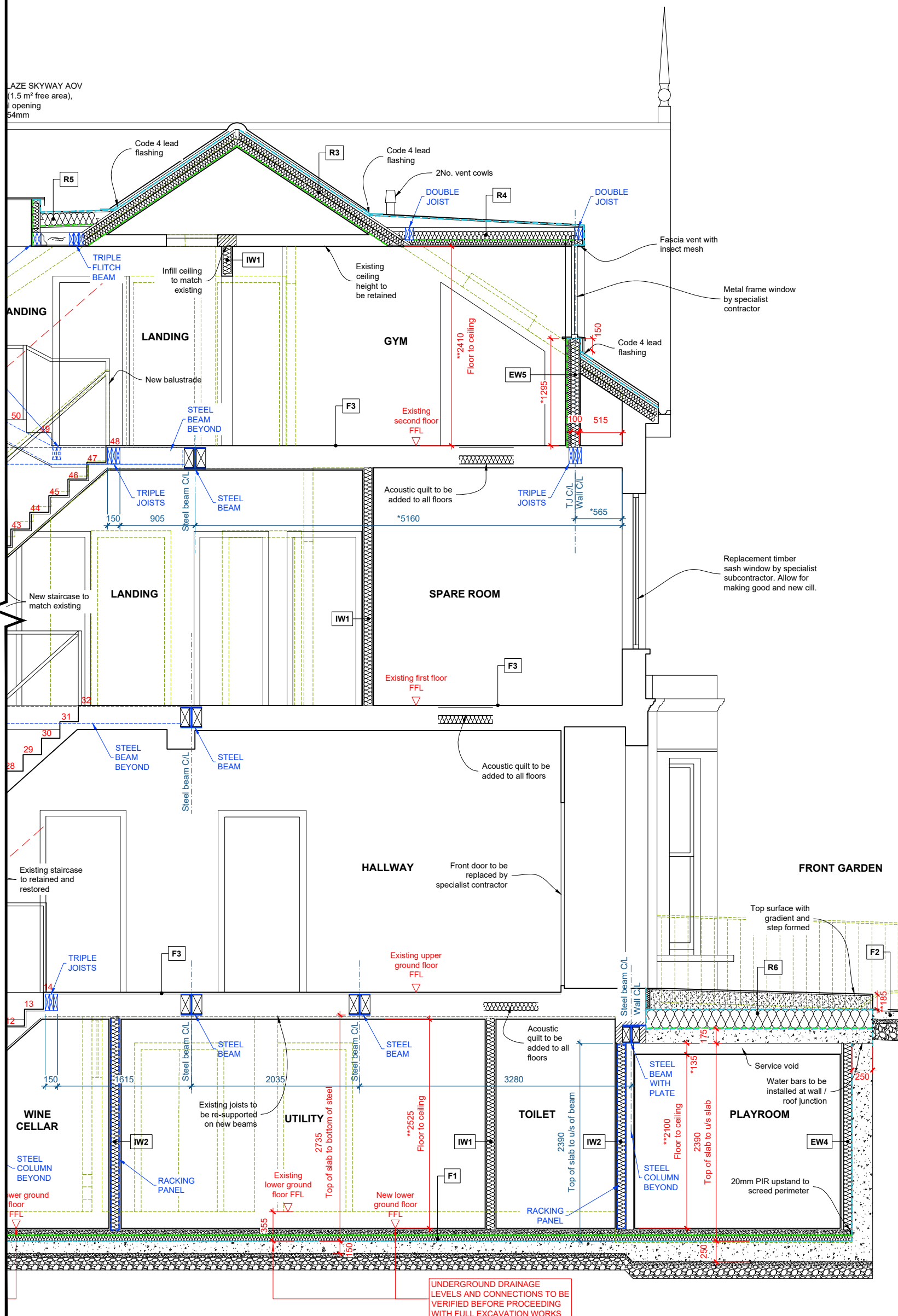
Purpose of issue  
**TENDER**

Scale  
**1:50 @ A3**

Date  
**September 2024**

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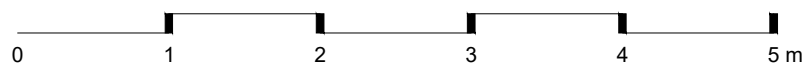
FOR REMAINDER OF PLAN REFER TO DRAWING 10020-3-011











## SECTION 1 (sheet 2/2)

### GENERAL ARRANGEMENT

**SCALE BAR 1:50**



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**PLANSTUDIO**  
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Project	
<b>62 MARMORA ROAD LONDON SE22 0RY</b>	
Drawing title	
<b>SECTION 1 (sheet 2/2) GENERAL ARRANGEMENT</b>	
Drawing number	Revision
<b>10020-3-012</b>	<b>-</b>
Purpose of issue	
<b>TENDER</b>	
Scale	
<b>1:50 @ A3</b>	
Date	
<b>September 2024</b>	
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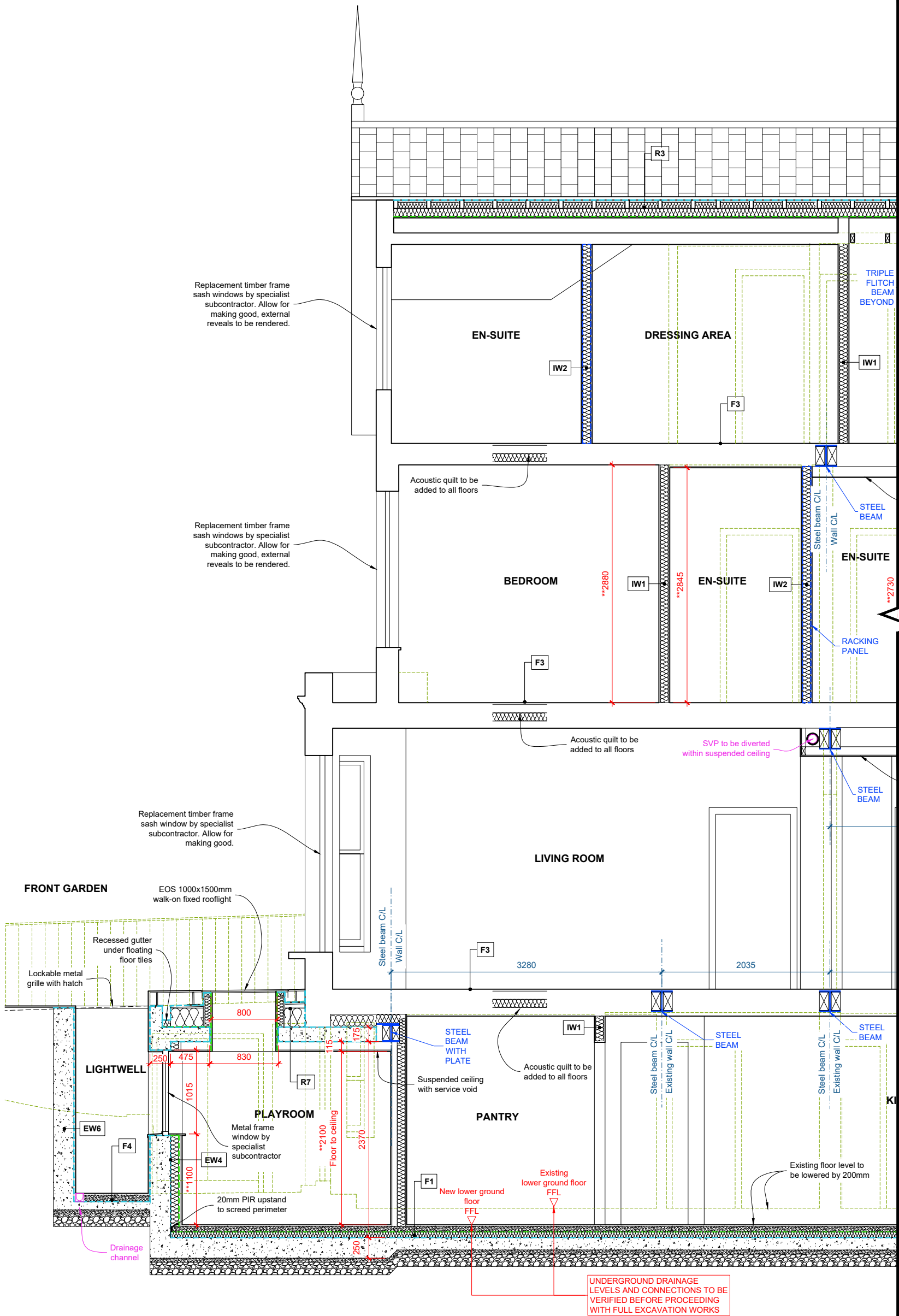
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SCALE BAR 1:50

0 1 2 3 4 5 m



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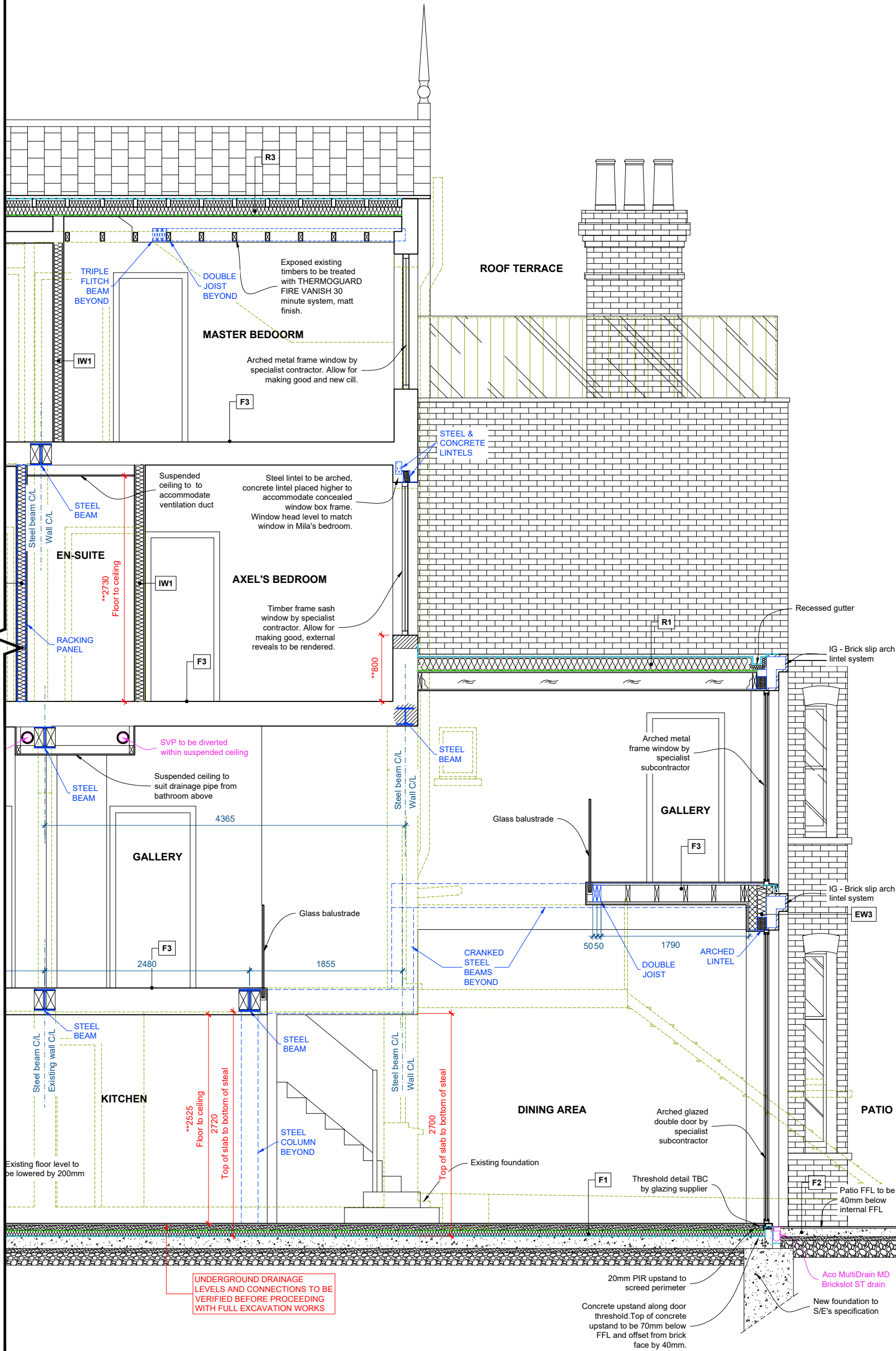
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FOR REMAINDER OF PLAN REFER TO DRAWING 10020-3-013



SCALE BAR 1:50

0 1 2 3 4 5 m

SECTION 2 (sheet 1/2)  
GENERAL ARRANGEMENT

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ARCHITECTURE  
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Project  
**62 MARMORA ROAD**  
**LONDON SE22 0RY**

Drawing title  
**SECTION 2 (sheet 2/2)**  
**GENERAL ARRANGEMENT**

Drawing number Revision  
**10020-3-014** -

Purpose of issue  
**TENDER**

Scale  
**1:50 @ A3**  
Date  
**September 2024**

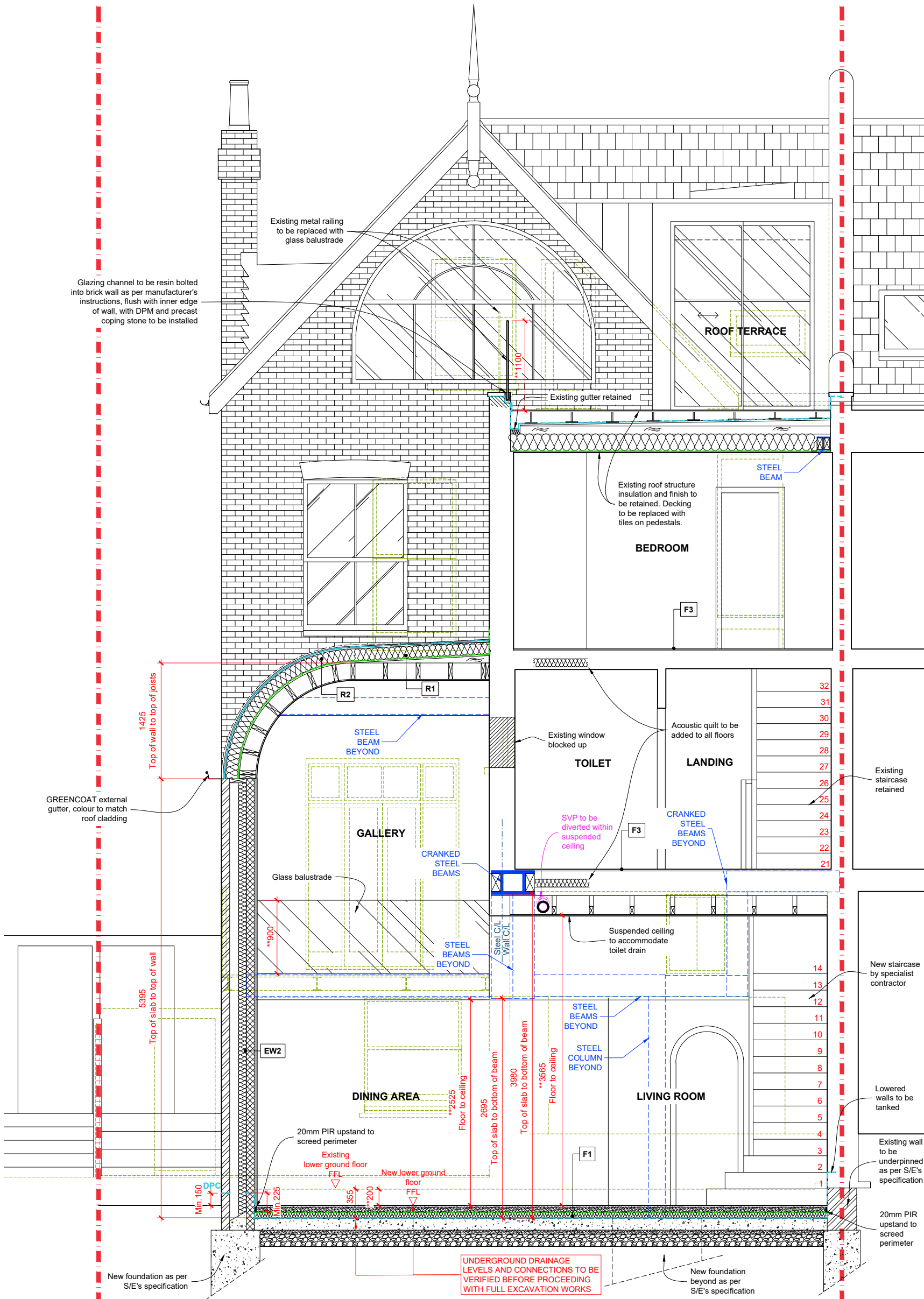
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- DIMENSIONS TAKEN FROM STRUCTURE TO STRUCTURE UNLESS STATED OTHERWISE:**
- \* Marks dimension from finish to structure
  - \*\* Marks dimension from finish to finish

- STEELWORK**
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- Countersunk bolts to be used.

- UNDERGROUND DRAINAGE**
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No. 64

62 MARMORA ROAD

No. 60

SCALE BAR 1:50

0 1 2 3 4 5 m

SECTION 3  
GENERAL ARRANGEMENT

PLANSTUDIO  
ARCHITECTURE

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Project  
**62 MARMORA ROAD  
LONDON SE22 0RY**

Drawing title  
**SECTION 3  
GENERAL ARRANGEMENT**

Drawing number  
**10020-3-015**

Revision

-

Purpose of issue  
**TENDER**

Scale  
**1:50 @ A3**

Date  
**September 2024**

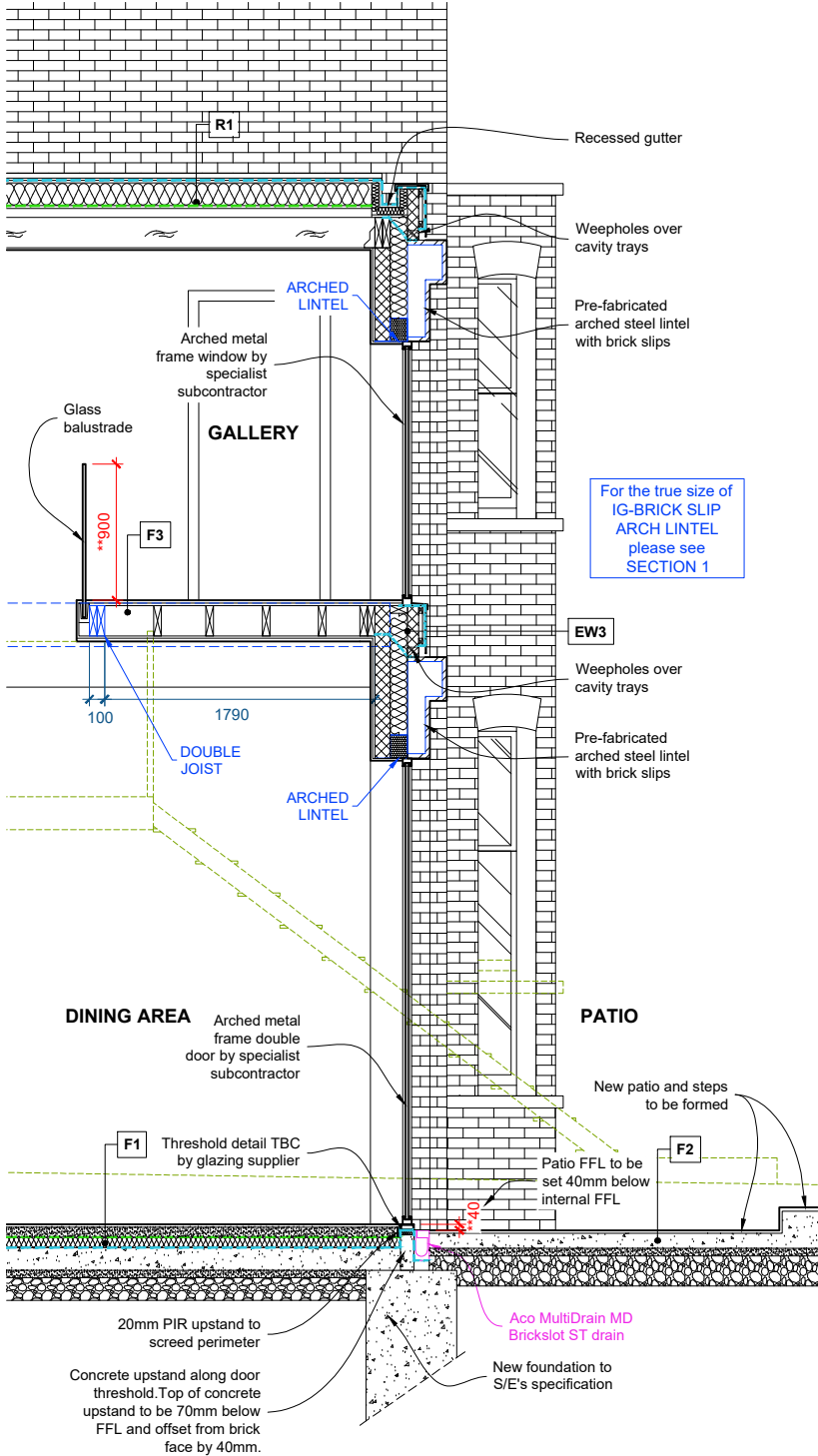
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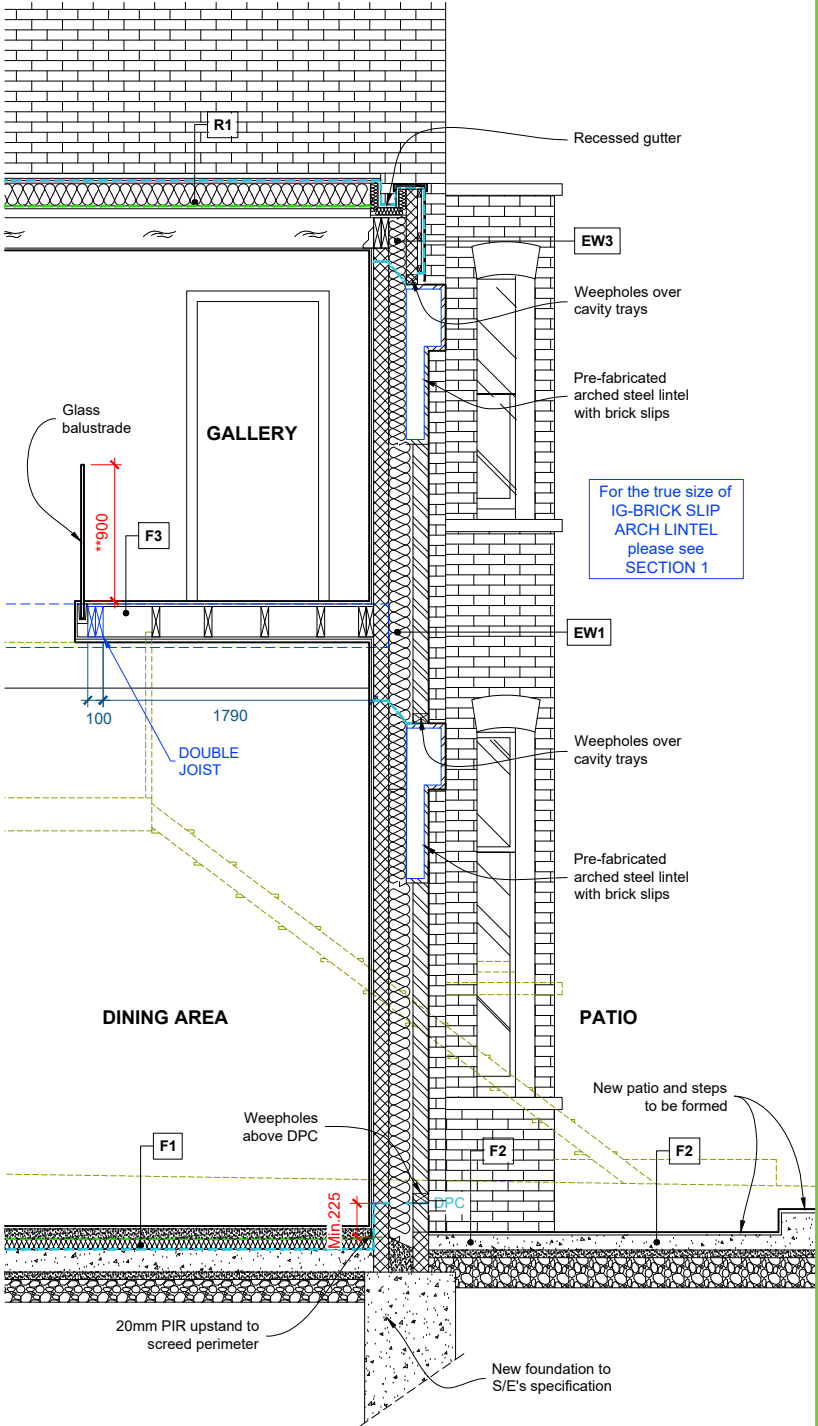
- KEY**
- Site boundary
  - EXISTING STRUCTURE TO BE RETAINED
  - EXISTING STRUCTURE TO BE REMOVED
  - INFILL STRUCTURE (External and internal finishes to match and be flush with existing)
- FOR NEW WALL, FLOOR AND ROOF CONSTRUCTION BUILD-UPS REFER TO DRAWINGS 10020-3-031, 032, 033 & 034
- Structural members (to S/E's specification)
  - Drainage connections (indicative)
  - Waterproof membrane / DPM
  - Vapour barrier
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**STEELWORK**  
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**SECTION 4**  
GENERAL ARRANGEMENT



**SECTION 5**  
GENERAL ARRANGEMENT

SCALE BAR 1:50



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ARCHITECTURE

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Project  
**62 MARMORA ROAD**  
**LONDON SE22 0RY**

Drawing title  
**SECTION 4 & 5**  
**GENERAL ARRANGEMENT**

Drawing number Revision  
**10020-3-016** -

Purpose of issue  
**TENDER**

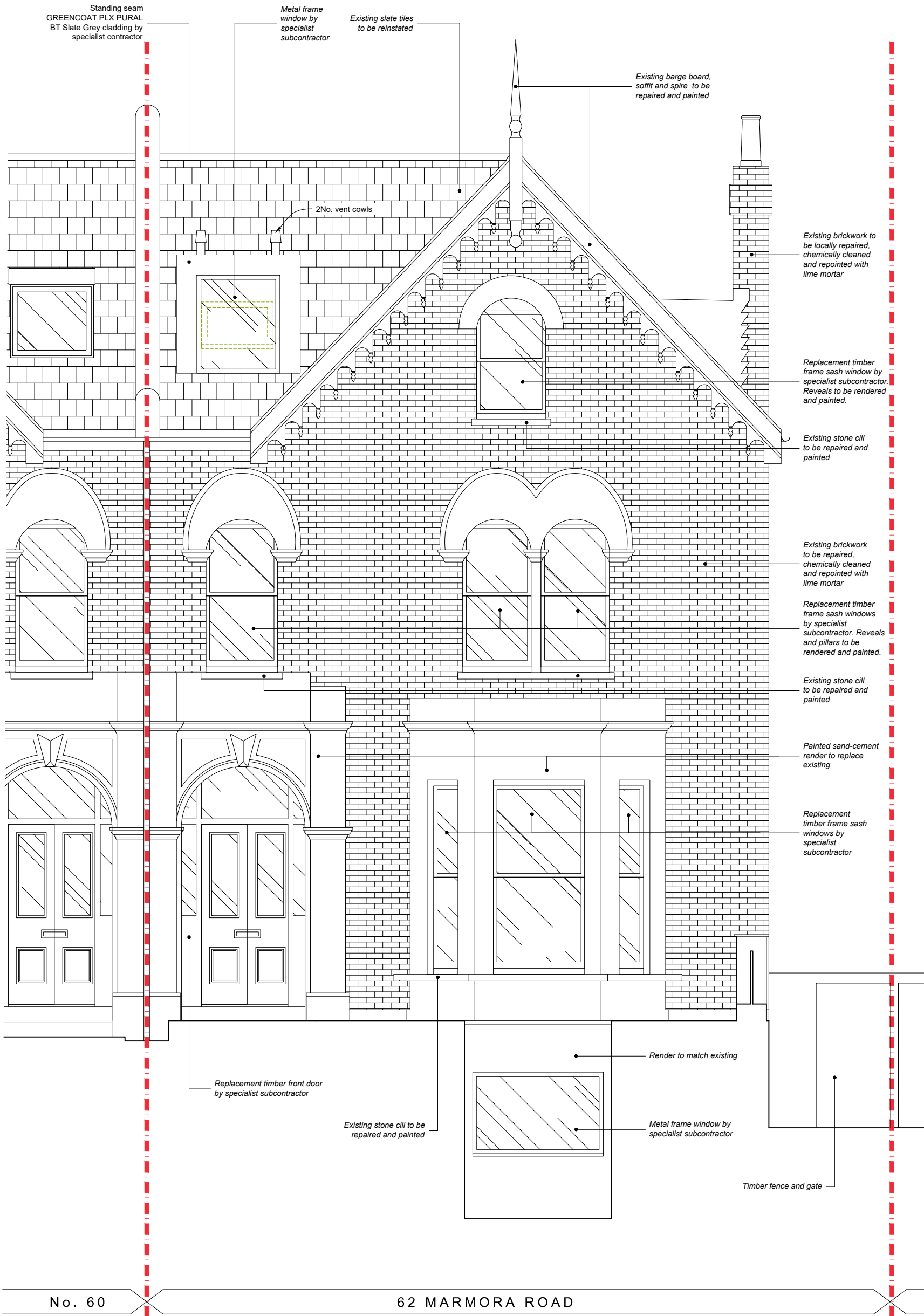
Scale  
**1:50 @ A3**

Date  
**September 2024**

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**NOTE:**  
External material hatches are only  
indicative and do not represent  
actual product sizes or spacing.



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- EXISTING STRUCTURE TO BE REMOVED
- INFILL STRUCTURE (External and internal finishes to match and be flush with existing)

FOR NEW WALL, FLOOR AND ROOF CONSTRUCTION BUILD-UPS REFER TO DRAWINGS 10020-3-031, 032, 033 & 034

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**STEELWORK**

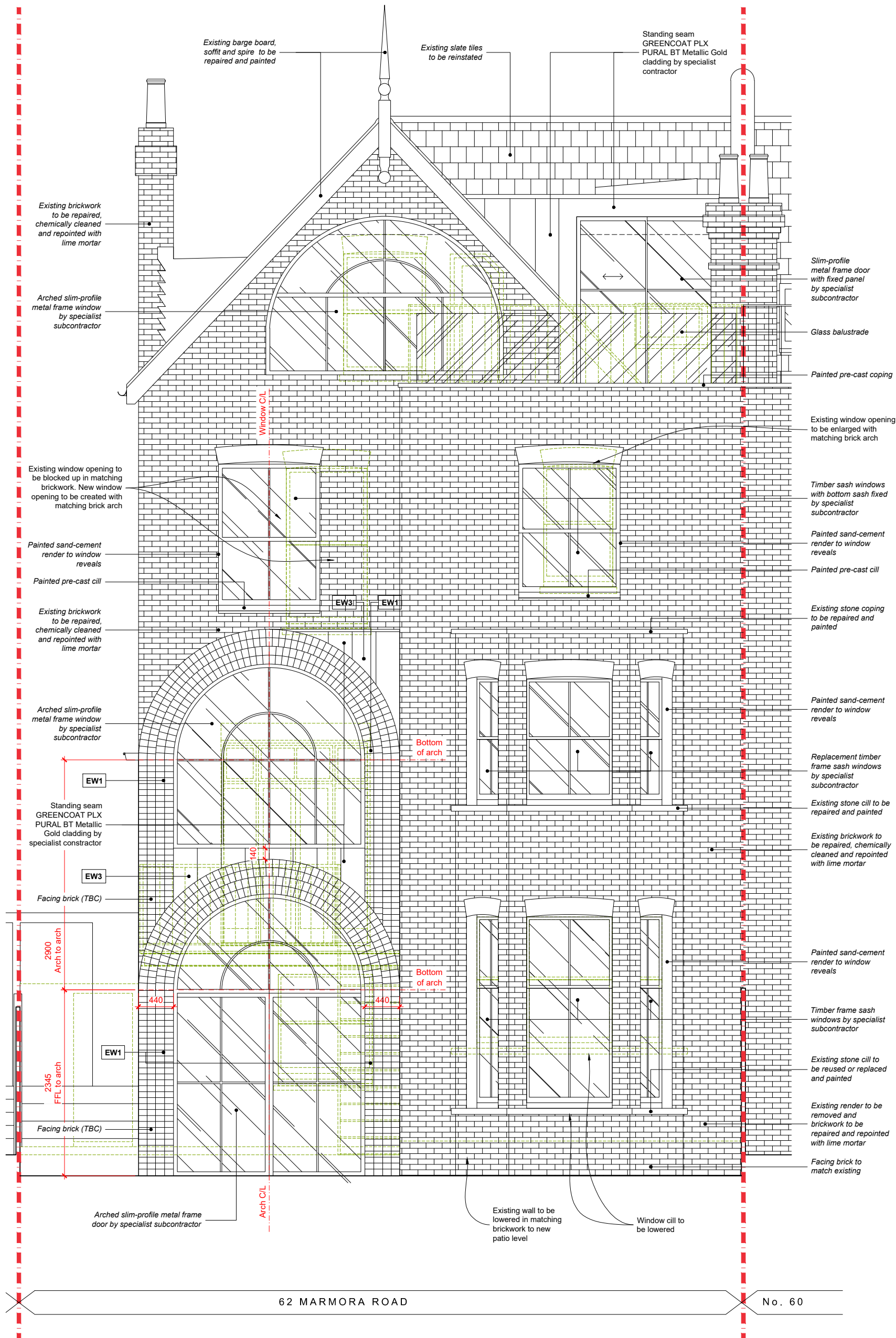
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**Countersunk bolts to be used.**

**UNDERGROUND DRAINAGE**









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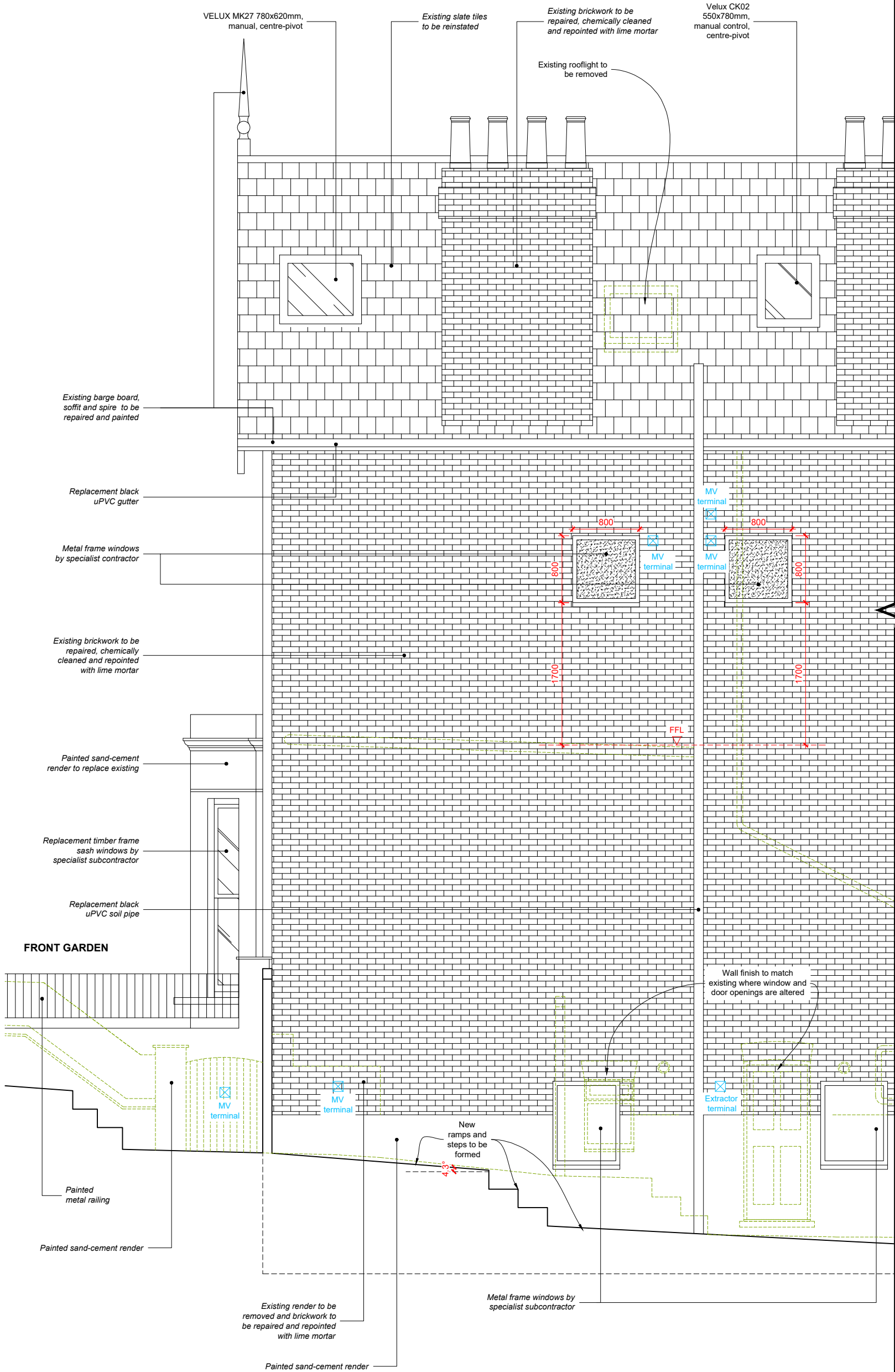
<b>KEY</b>	
	Site boundary
	EXISTING STRUCTURE TO BE RETAINED
	EXISTING STRUCTURE TO BE REMOVED
	INFILL STRUCTURE (External and internal finishes to match and be flush with existing)
FOR NEW WALL, FLOOR AND ROOF CONSTRUCTION BUILD-UPS REFER TO DRAWINGS 10020-3-031, 032, 033 & 034	
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	Drainage connections (indicative)
	Waterproof membrane / DPM
	Vapour barrier
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** Marks dimension from finish to finish	

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FOR REMAINDER OF PLAN REFER TO DRAWING 10020-3-024

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ARCHITECTURE

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Project  
**62 MARMORA ROAD**  
**LONDON SE22 0RY**

Drawing title  
**SIDE ELEVATION (sheet 1/2)**  
**GENERAL ARRANGEMENT**

Drawing number  
**10020-3-023**

Purpose of issue  
**TENDER**

Scale  
**1:50 @ A3**

Date  
**September 2024**

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**SIDE ELEVATION (sheet 1/2)**  
**GENERAL ARRANGEMENT**



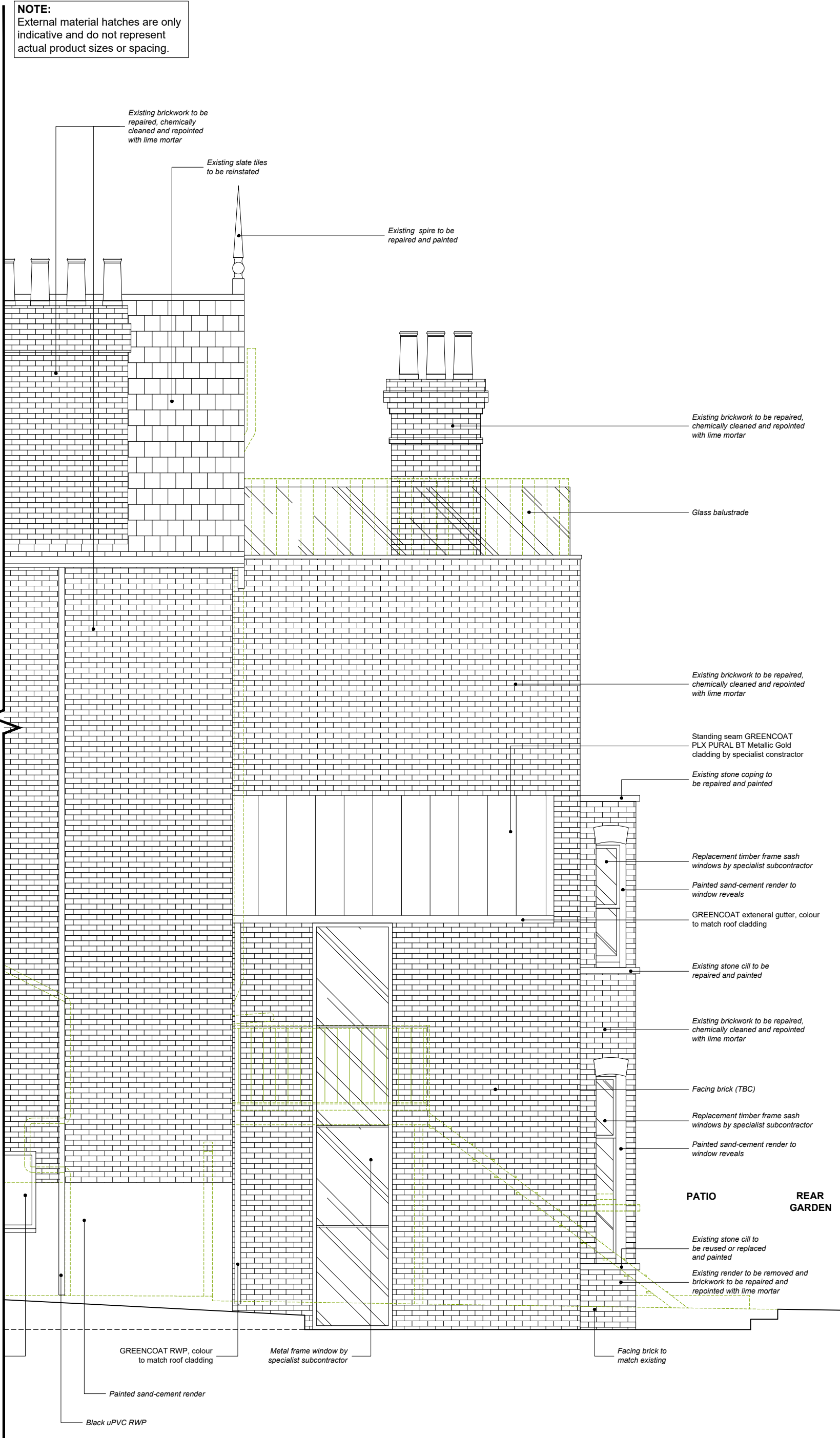
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SCALE BAR 1:50

0 1 2 3 4 5 m

SIDE ELEVATION (sheet 2/2)  
GENERAL ARRANGEMENT

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Project  
**62 MARMORA ROAD  
LONDON SE22 0RY**

Drawing title  
**SIDE ELEVATION (sheet 2/2)  
GENERAL ARRANGEMENT**

Drawing number Revision  
**10020-3-024 -**

Purpose of issue  
**TENDER**

Scale  
**1:50 @ A3**

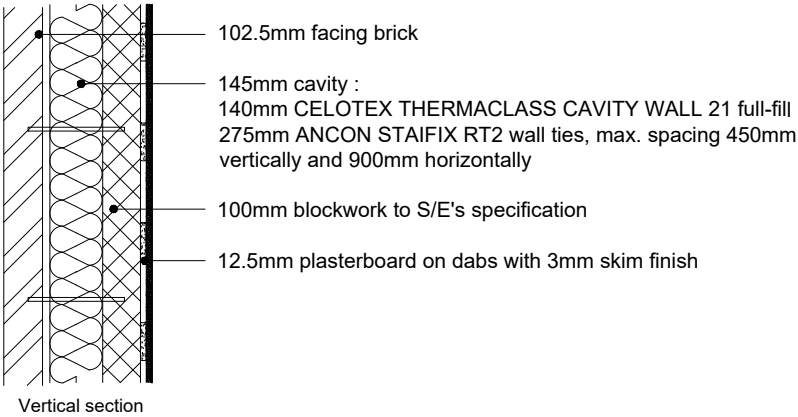
Date  
**September 2024**

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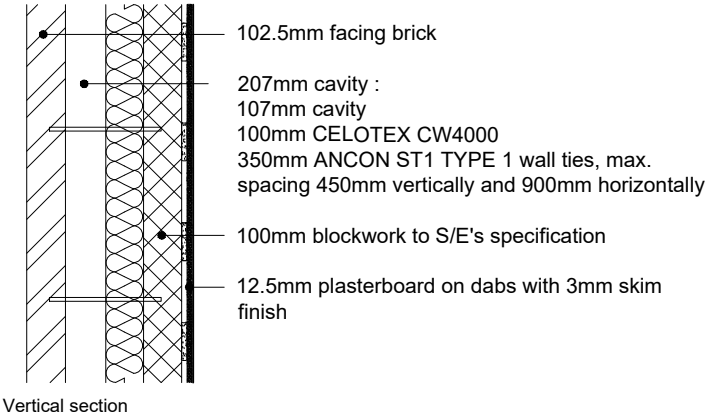
## EW1

NEW EXTERNAL WALL ( $U\text{-value} = 0.14 \text{ W/m}^2\text{K}$ )



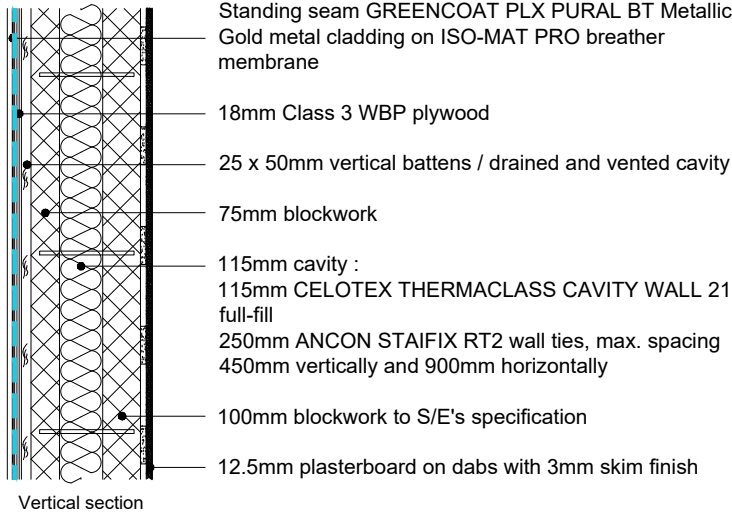
## EW2

NEW EXTERNAL WALL ( $U\text{-value} = 0.17 \text{ W/m}^2\text{K}$ )



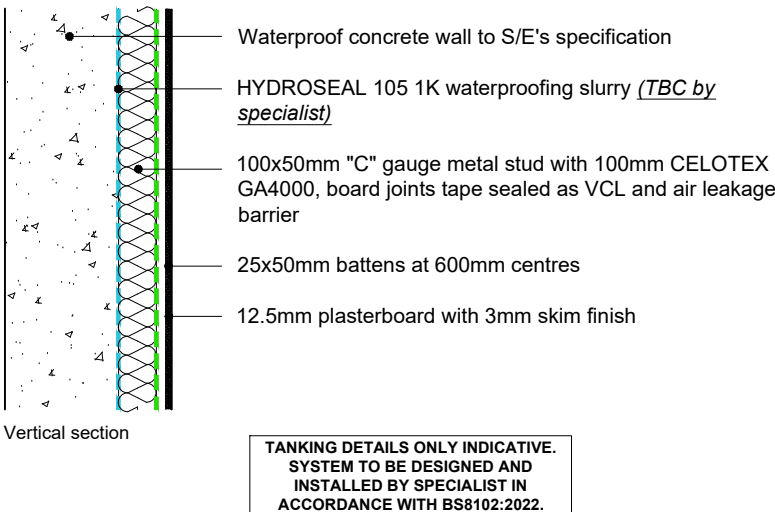
## EW3

NEW EXTERNAL WALL ( $U\text{-value} = 0.16 \text{ W/m}^2\text{K}$ )



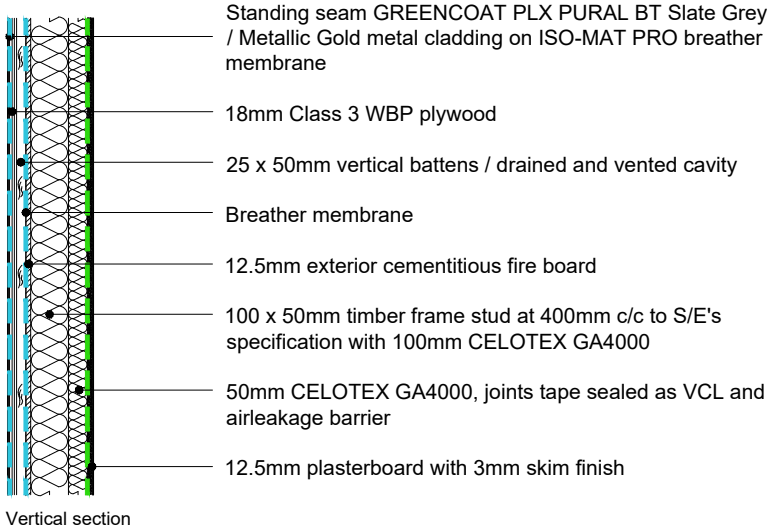
## EW4

NEW EXTERNAL WALL ( $U\text{-value} = 0.18 \text{ W/m}^2\text{K}$ )



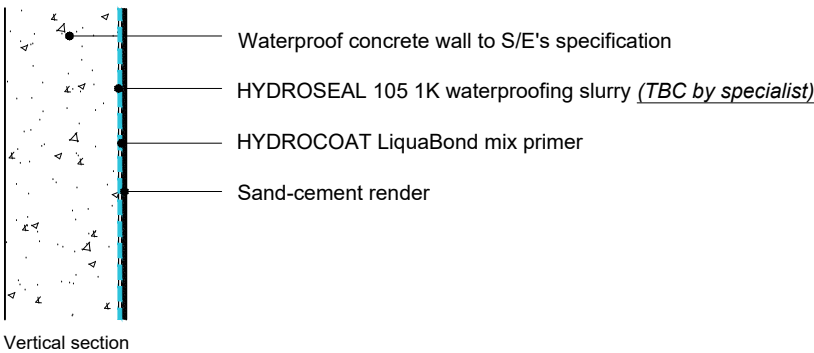
## EW5

NEW DORMER WALL ( $U\text{-value} = 0.17 \text{ W/m}^2\text{K}$ )



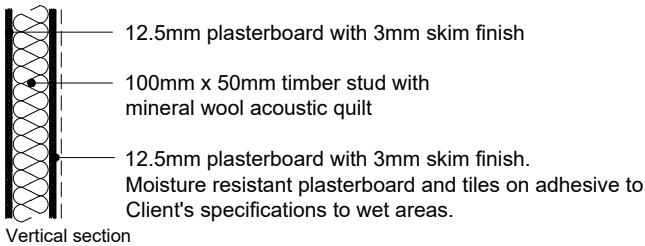
## EW6

NEW EXTERNAL WALL FRONT LIGHTWELL



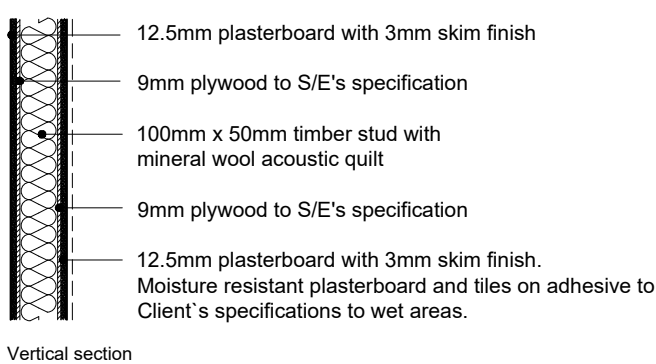
## IW1

INTERNAL WALL



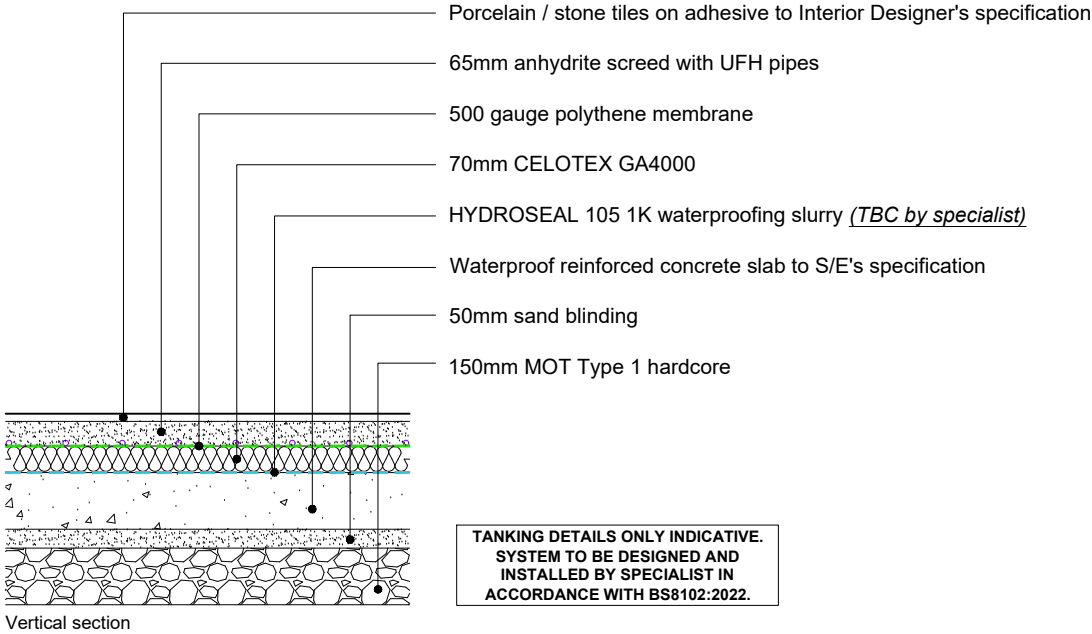
## IW2

INTERNAL WALL

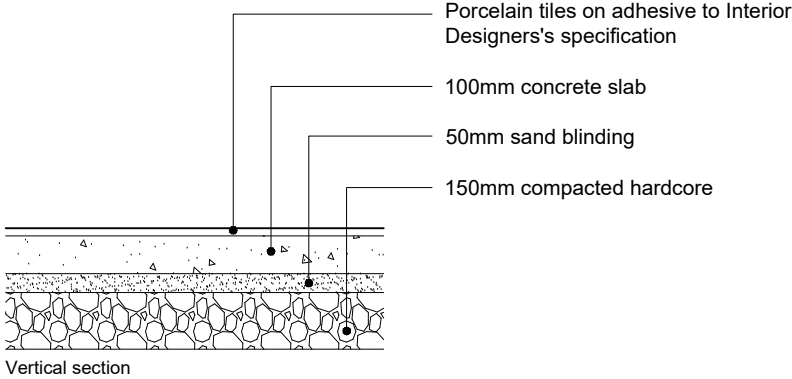


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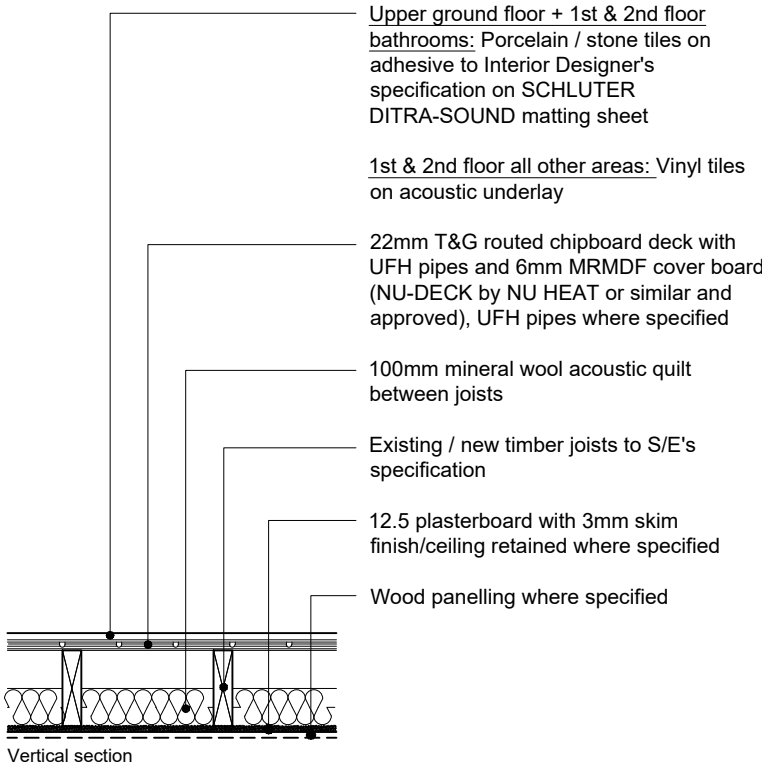
**F1**  
**NEW CONCRETE FLOOR** ( $U\text{-value} = 0.18 \text{ W/m}^2\text{K}$ )



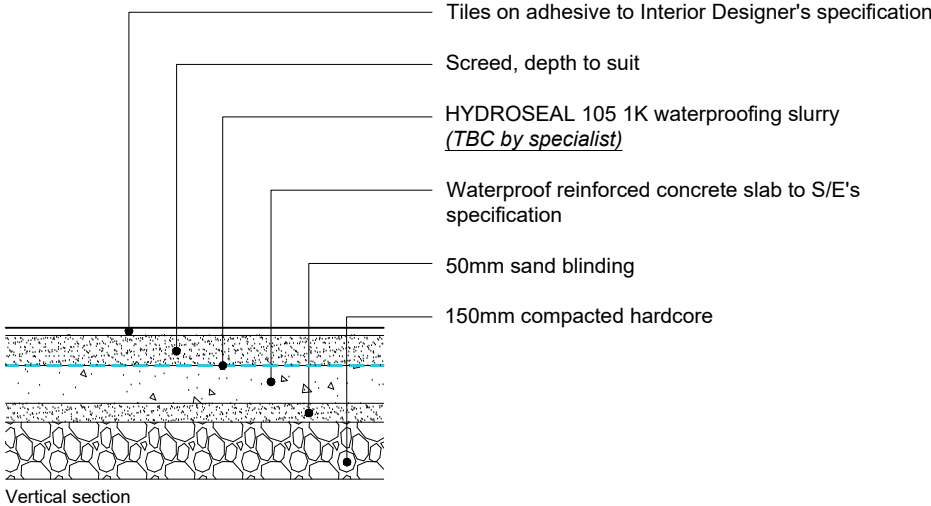
**F2**  
**FRONT PATH, PATIO & RAMP FLOOR**



**F3**  
**INTERNAL FLOOR WITH UFH**



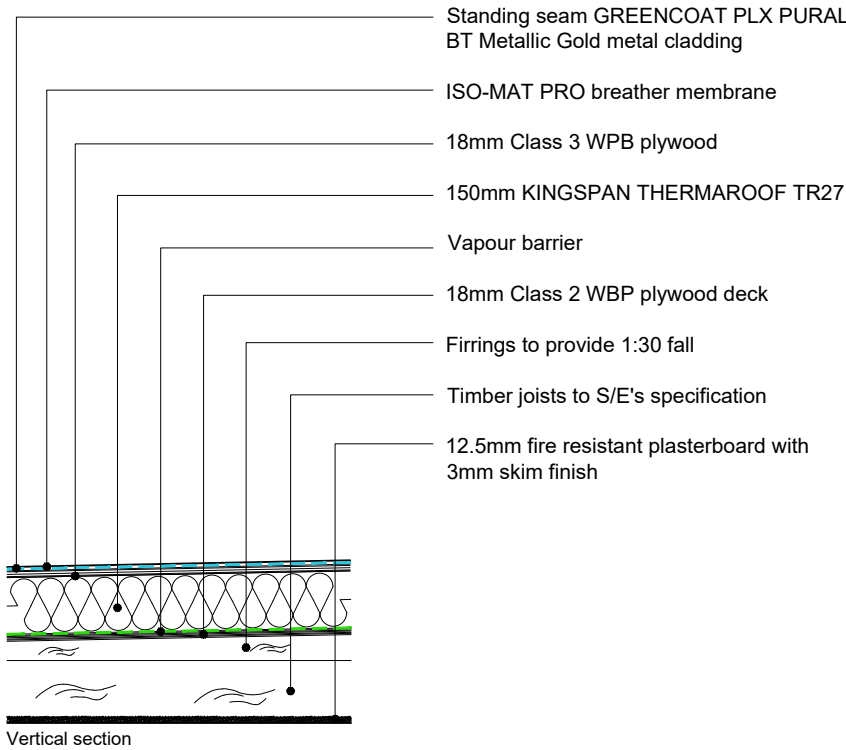
**F4**  
**LIGHTWELL FLOOR**



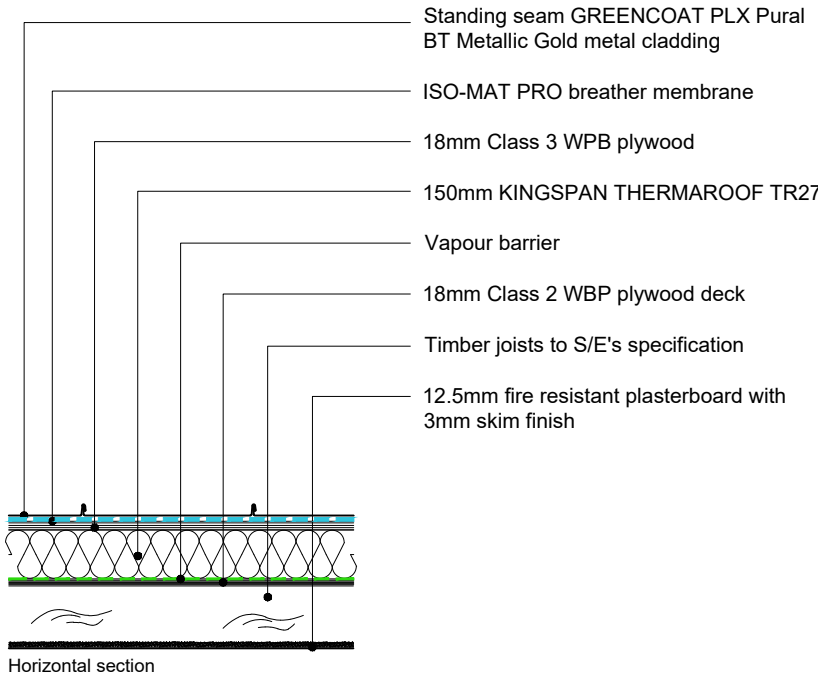


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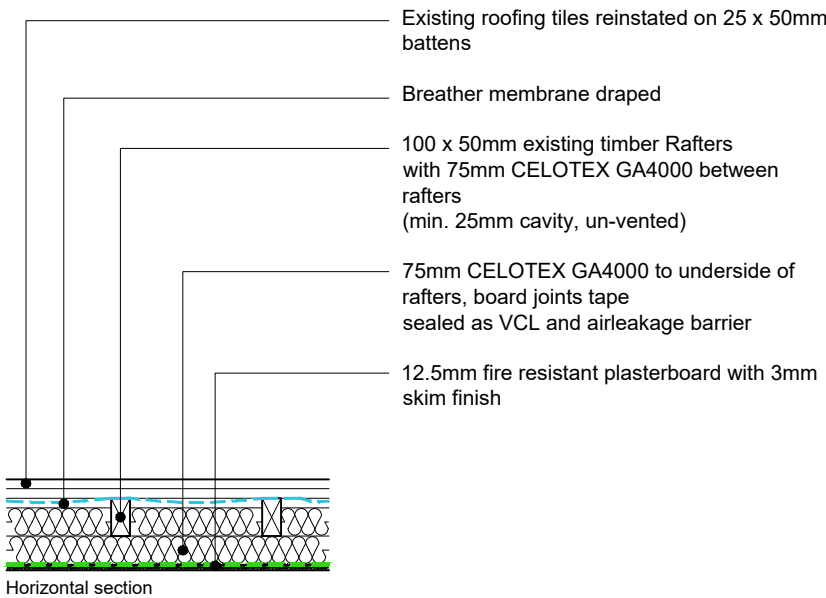
**R1**  
**FLAT ROOF** (*U-value = 0.15 W/m²K*)



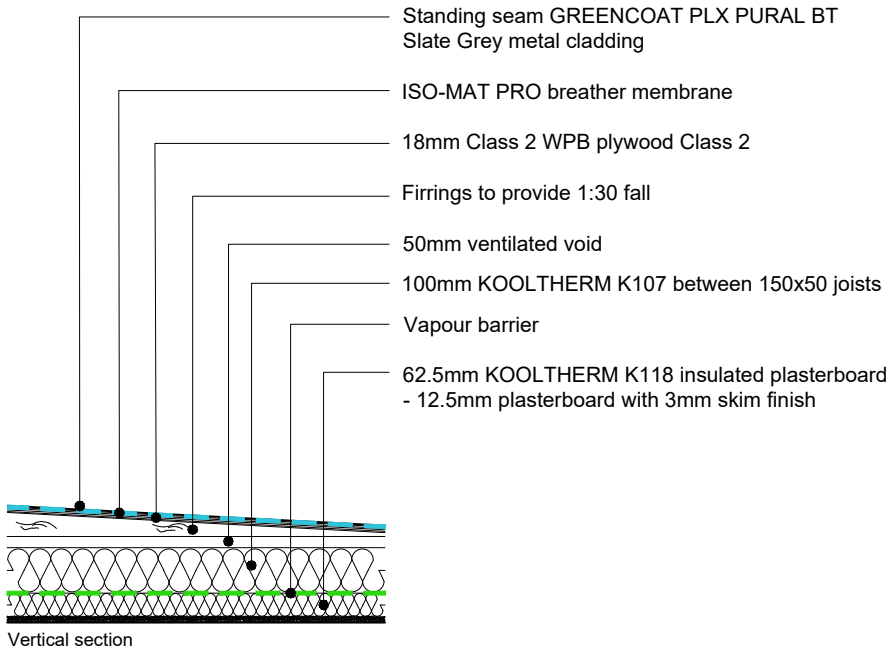
**R2**  
**VAULTED ROOF** (*U-value = 0.15 W/m²K*)



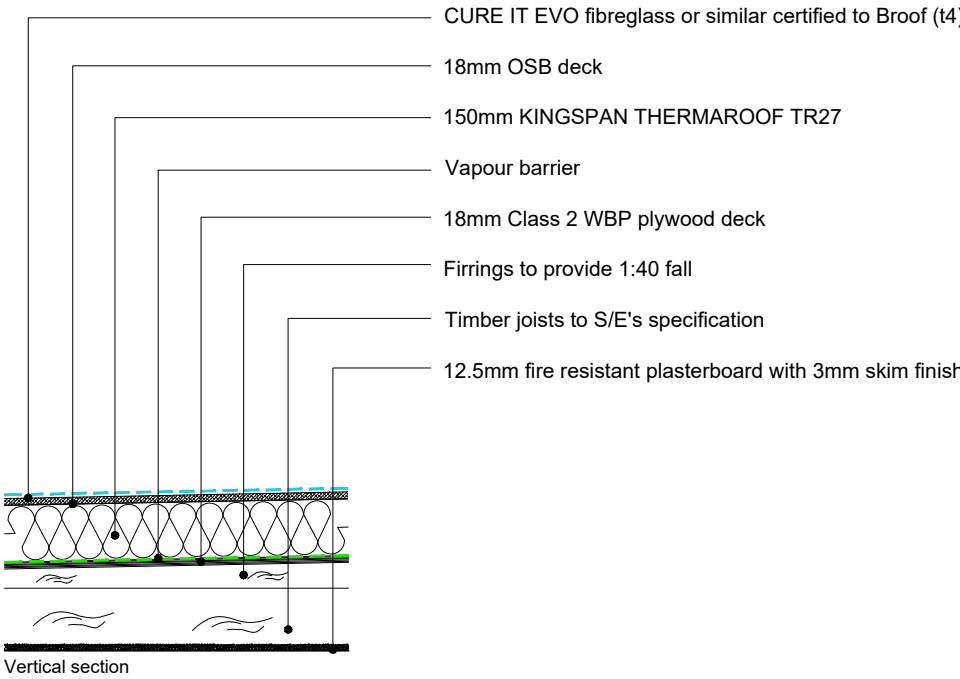
**R3**  
**EXISTING PITCHED ROOF UPGRADE**  
(*U-value = 0.15 W/m²K*)



**R4**  
**FRONT DORMER ROOF** (*U-value = 0.15 W/m²K*)



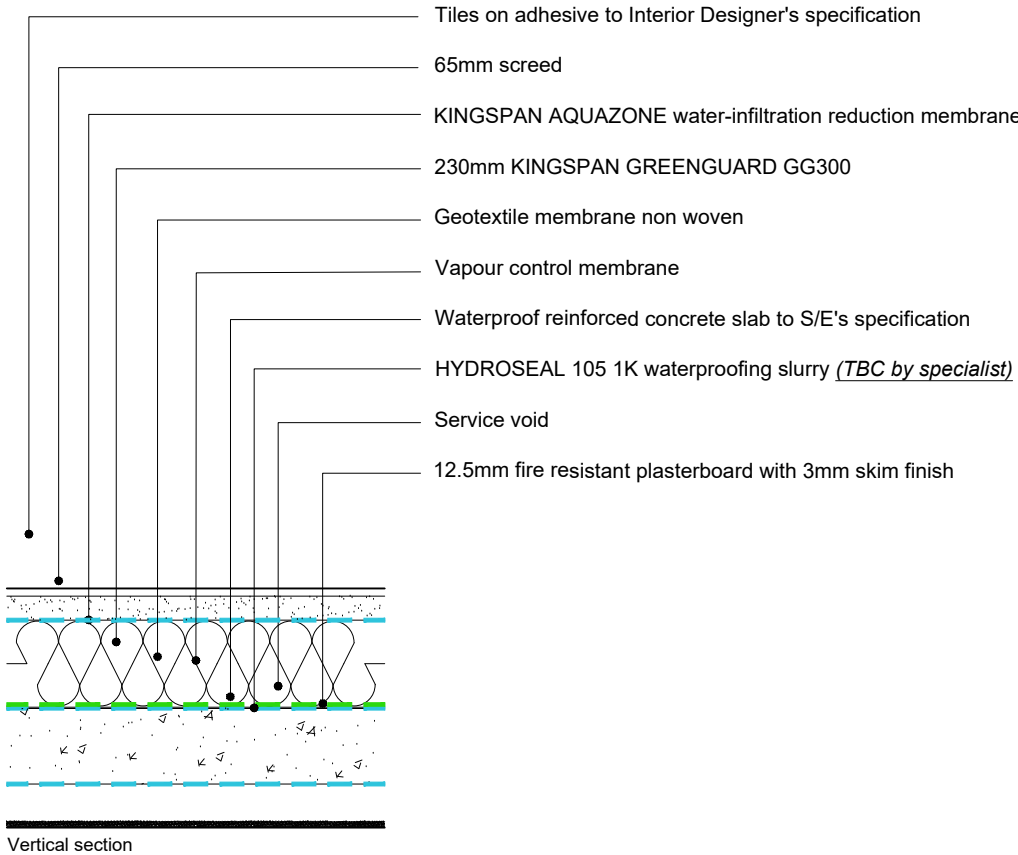
**R5**  
**REAR DORMER ROOF** (*U-value = 0.15 W/m²K*)



GENERAL NOTES

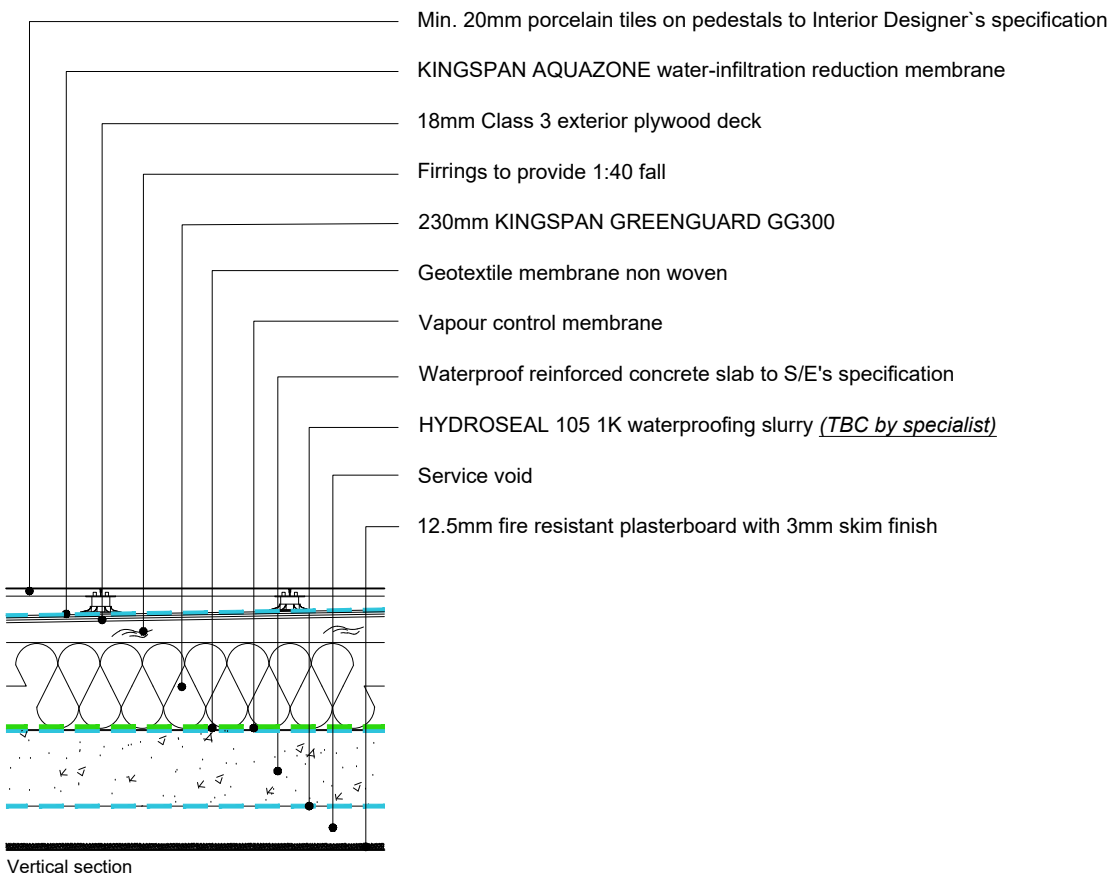
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R6  
FRONT EXTENSION FLAT ROOF UNDER PATH (U-value = 0.15 W/m²K)



TANKING DETAILS ONLY INDICATIVE.  
SYSTEM TO BE DESIGNED AND  
INSTALLED BY SPECIALIST IN  
ACCORDANCE WITH BS8102:2022.

R7  
FRONT EXTENSION ROOF UNDER PATIO (U-value = 0.15 W/m²K)



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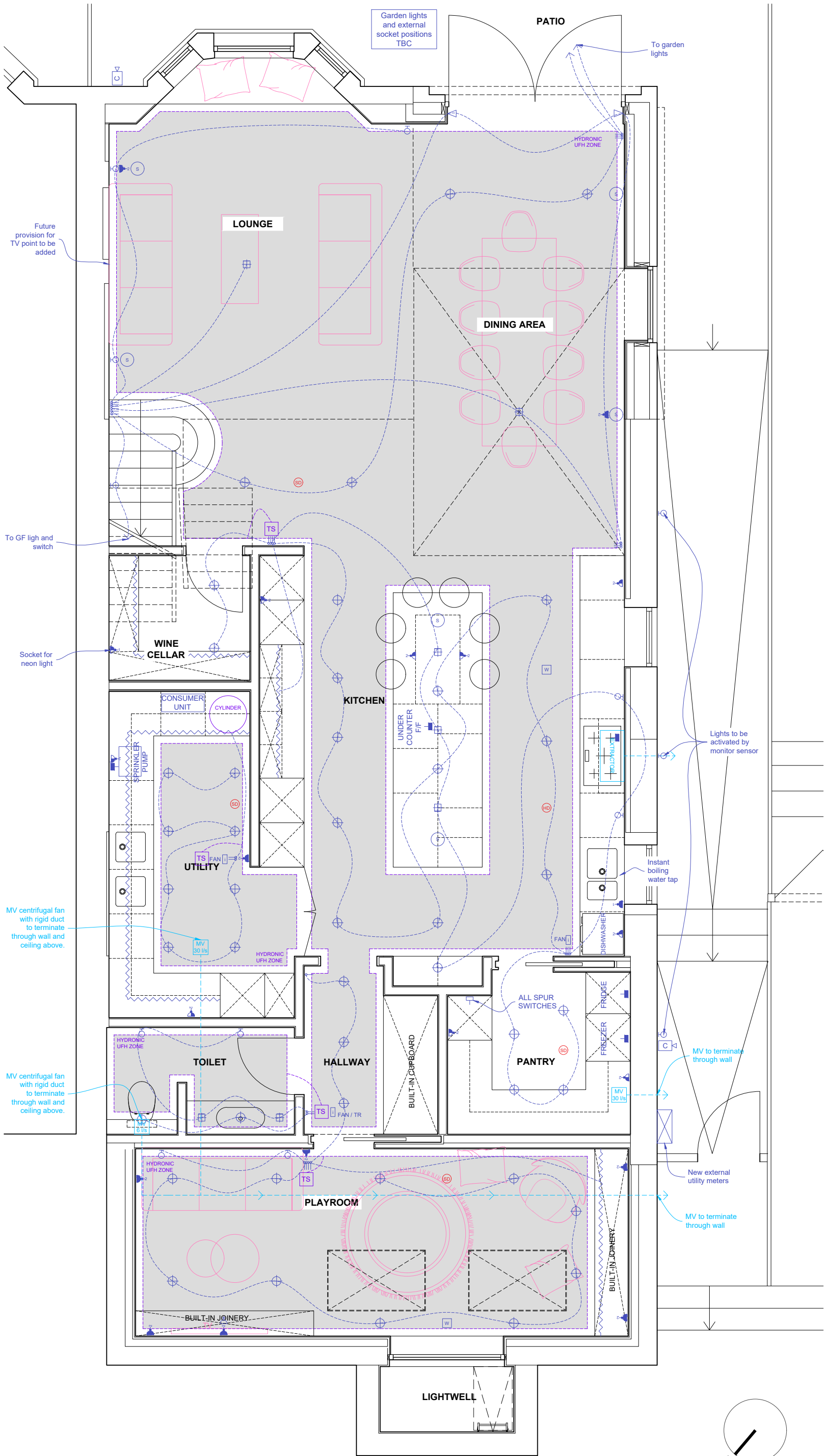
**LEGEND**

**DIMENSIONS TAKEN FROM CENTRE LINES OF FITTINGS AND INTERIOR FINISHES**

- 2-WAY SWITCH  
1100mm ABOVE FLOOR LEVEL
- 2-GANG 2-WAY SWITCH  
1100mm ABOVE FLOOR LEVEL
- 3-GANG 2-WAY SWITCH  
1100mm ABOVE FLOOR LEVEL
- 4-GANG 2-WAY SWITCH  
1100mm ABOVE FLOOR LEVEL
- PENDANT / CEILING LIGHT
- RECESSED DOWNLIGHTER
- SURFACE MOUNTED DOWNLIGHTER
- WALL LIGHT (HEIGHTS TBC ON SITE)
- TRACK LIGHT
- LIGHTING COLUMN
- LED STRIP LIGHT
- UPLIGHTER
- SINGLE SOCKET  
300mm ABOVE FLOOR LEVEL
- SINGLE SOCKET  
1000mm ABOVE FLOOR LEVEL
- DOUBLE SOCKET  
300mm ABOVE FLOOR LEVEL
- DOUBLE SOCKET  
1000mm ABOVE FLOOR LEVEL
- SHAVES SOCKET
- ETHERNET (CAT6)
- TV POINT
- MECHANICAL VENT
- SMOKE DETECTOR
- HEAT DETECTOR
- RADIATOR
- HEATED TOWEL RAIL
- UNDERFLOOR HEATING ZONE
- THERMOSTAT
- SPUR SOCKET
- SPUR SWITCH
- ISOLATOR
- DOOR BELL BUTTON
- DOOR BELL CHIME
- DOOR BELL CHIME
- SPEAKER
- VIDEO CAMERA
- WI-FI ACCESS POINT

**LD1 FIRE DETECTION SYSTEM TO BE INSTALLED IN ACCORDANCE WITH BS5839-6**

**KITCHEN, UTILITY & PANTRY LAYOUTS AND FIXTURES SHOWN ONLY INDICATIVELY. REFER TO DRAWINGS BY KITCHEN DESIGNER FOR DETAILS.**



**LOWER GROUND FLOOR PLAN  
ELECTRICAL & HEATING**

SCALE BAR 1:50

0 1 2 3 4 5 m

**PLANSTUDIO**  
ARCHITECTURE

Old Smokehouse | 55 Monier Road | Fish Island | London E3 2PR  
020 8191 8525 • hello@planstudio.uk • www.planstudio.uk

Project  
**62 MARMORA ROAD  
LONDON SE22 0RY**

Drawing title  
**LOWER GROUND FLOOR PLAN  
ELECTRICAL & HEATING**

Drawing number  
**10020-3-101**

Revision

-

Purpose of issue

**TENDER**

Scale

**1:50 @ A3**

Date

**September 2024**

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- GENERAL NOTES**
- The Contractor is responsible for checking dimensions, tolerances and references on site. Any discrepancies to be verified with the Architect before proceeding with the works.
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  - All new loadbearing structure and structural members to the Structural Engineer's design and specification.
  - M&E design by the Contractor or a specialist consultant.
  - All specialist products to be installed in strict accordance with the manufacturer's instructions.
  - All facing materials and finishes to Client's prior approval.
  - All sanitaryware and joinery to Client's specification and/or prior approval.
  - Party Wall Act agreements to be obtained as necessary by the Client.
  - Required Building Control approvals to be obtained by the Contractor.
  - Drawing not to be scaled. Figured dimensions to be worked to only.

**LEGEND**

**DIMENSIONS TAKEN FROM CENTRE LINES OF FITTINGS AND INTERIOR FINISHES**

- 2-WAY SWITCH  
1100mm ABOVE FLOOR LEVEL
- 2-GANG 2-WAY SWITCH  
1100mm ABOVE FLOOR LEVEL
- 3-GANG 2-WAY SWITCH  
1100mm ABOVE FLOOR LEVEL
- 4-GANG 2-WAY SWITCH  
1100mm ABOVE FLOOR LEVEL
- PENDANT / CEILING LIGHT
- RECESSED DOWNLIGHTER
- SURFACE MOUNTED DOWNLIGHTER
- WALL LIGHT (HEIGHTS TBC ON SITE)
- TRACK LIGHT
- LIGHTING COLUMN
- LED STRIP LIGHT
- UPLIGHTER
- SINGLE SOCKET  
300mm ABOVE FLOOR LEVEL
- SINGLE SOCKET  
1000mm ABOVE FLOOR LEVEL
- DOUBLE SOCKET  
300mm ABOVE FLOOR LEVEL
- DOUBLE SOCKET  
1000mm ABOVE FLOOR LEVEL
- SHAVESOCKET
- ETHERNET (CAT6)
- TV POINT
- MECHANICAL VENT
- SMOKE DETECTOR
- HEAT DETECTOR
- RADIATOR
- HEATED TOWEL RAIL
- UNDERFLOOR HEATING ZONE
- THERMOSTAT
- SPUR SOCKET
- SPUR SWITCH
- ISOLATOR
- DOOR BELL BUTTON
- DOOR BELL CHIME
- DOOR BELL CHIME
- SPEAKER
- VIDEO CAMERA
- WI-FI ACCESS POINT

**LD1 FIRE DETECTION SYSTEM TO BE INSTALLED IN ACCORDANCE WITH BS5839-6**

**KITCHEN, UTILITY & PANTRY LAYOUTS AND FIXTURES SHOWN ONLY INDICATIVELY. REFER TO DRAWINGS BY KITCHEN DESIGNER FOR DETAILS.**

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Project  
**62 MARMORA ROAD  
LONDON SE22 0RY**

Drawing title  
**UPPER GROUND FLOOR PLAN  
ELECTRICAL & HEATING**

Drawing number  
**10020-3-102**

Revision

-

Purpose of issue

TENDER

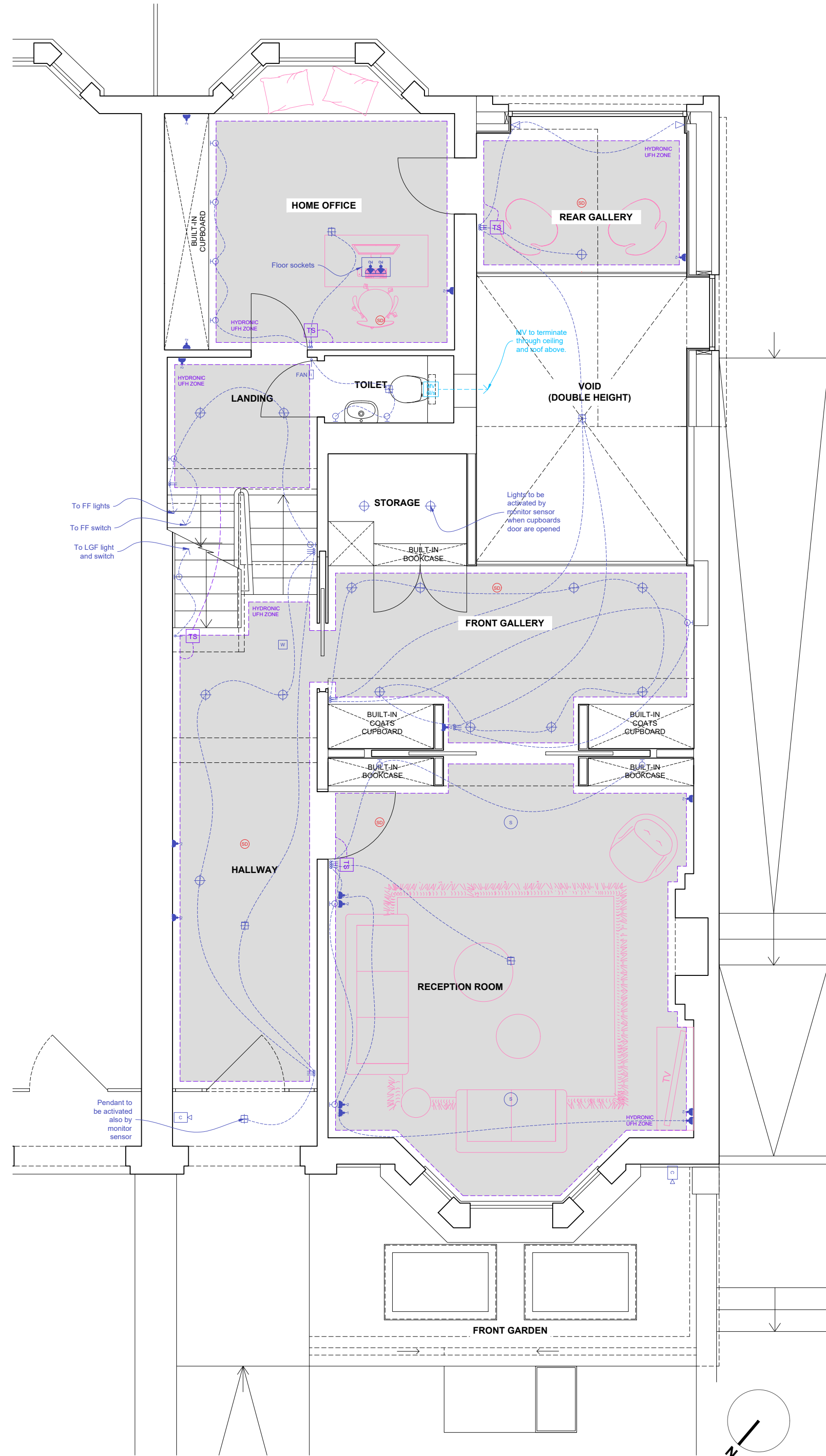
Scale

**1:50 @ A3**

Date

**September 2024**

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**UPPER GROUND FLOOR PLAN  
ELECTRICAL & HEATING**

SCALE BAR 1:50

0 1 2 3 4 5 m

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**LEGEND**

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1100mm ABOVE FLOOR LEVEL
- 2-GANG 2-WAY SWITCH  
1100mm ABOVE FLOOR LEVEL
- 3-GANG 2-WAY SWITCH  
1100mm ABOVE FLOOR LEVEL
- 4-GANG 2-WAY SWITCH  
1100mm ABOVE FLOOR LEVEL
- PENDANT / CEILING LIGHT
- RECESSED DOWNLIGHTER
- SURFACE MOUNTED DOWNLIGHTER
- WALL LIGHT (HEIGHTS TBC ON SITE)
- TRACK LIGHT
- LIGHTING COLUMN
- LED STRIP LIGHT
- UPLIGHTER
- SINGLE SOCKET  
300mm ABOVE FLOOR LEVEL
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1000mm ABOVE FLOOR LEVEL
- DOUBLE SOCKET  
300mm ABOVE FLOOR LEVEL
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1000mm ABOVE FLOOR LEVEL
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- SMOKE DETECTOR
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- SPUR SWITCH
- ISOLATOR
- DOOR BELL BUTTON
- DOOR BELL CHIME
- DOOR BELL CHIME
- SPEAKER
- VIDEO CAMERA
- WI-FI ACCESS POINT

**LD1 FIRE DETECTION SYSTEM TO BE INSTALLED IN ACCORDANCE WITH BS5839-6**

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Project  
**62 MARMORA ROAD  
LONDON SE22 0RY**

Drawing title  
**FIRST FLOOR PLAN  
ELECTRICAL & HEATING**

Drawing number  
**10020-3-103**

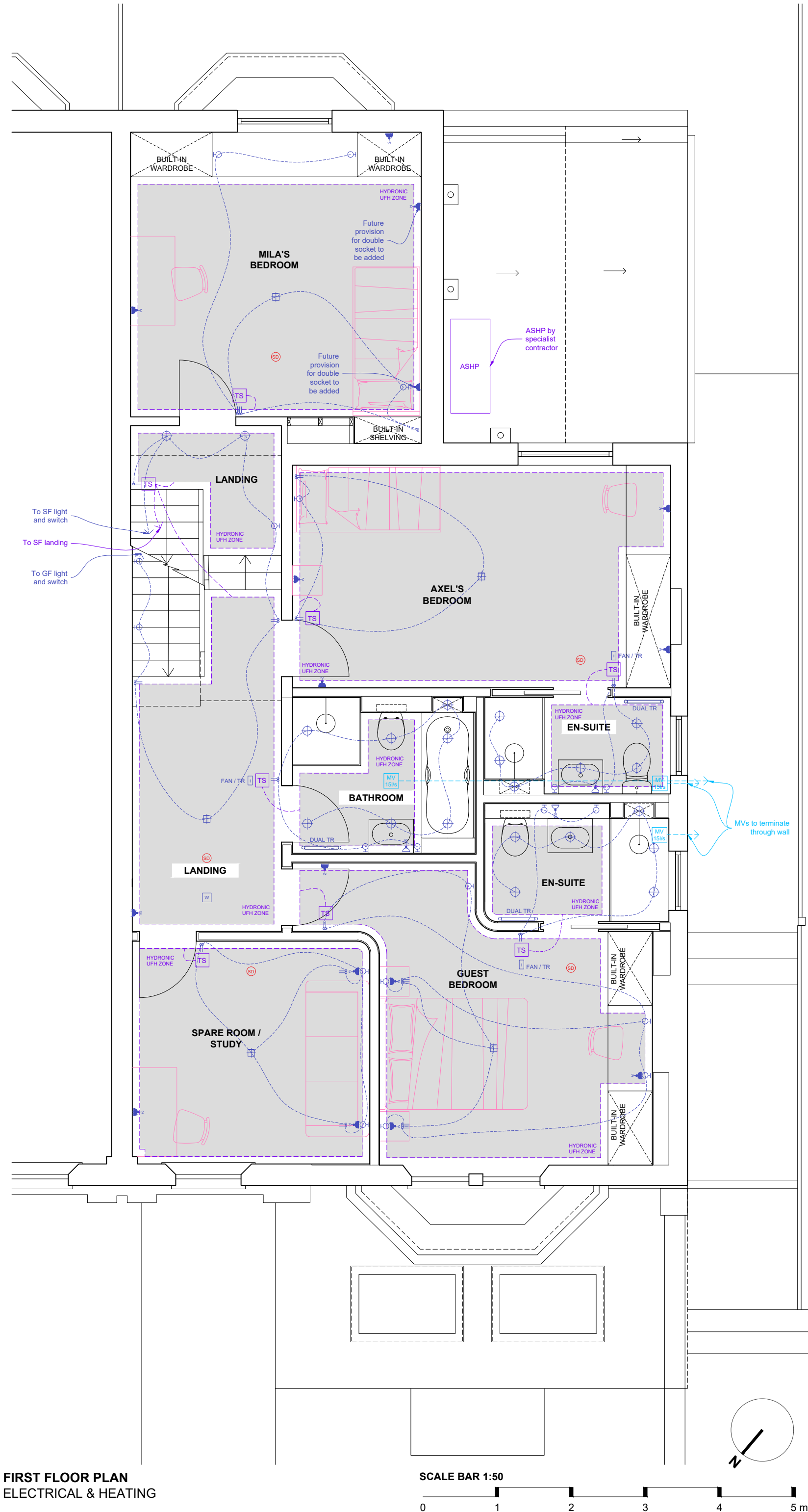
Revision  
-

Purpose of issue  
**TENDER**

Scale  
**1:50 @ A3**

Date  
**September 2024**

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**FIRST FLOOR PLAN  
ELECTRICAL & HEATING**

SCALE BAR 1:50

0 1 2 3 4 5 m

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**LEGEND**

**DIMENSIONS TAKEN FROM CENTRE LINES OF FITTINGS AND INTERIOR FINISHES**

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1100mm ABOVE FLOOR LEVEL
- 2-GANG 2-WAY SWITCH  
1100mm ABOVE FLOOR LEVEL
- 3-GANG 2-WAY SWITCH  
1100mm ABOVE FLOOR LEVEL
- 4-GANG 2-WAY SWITCH  
1100mm ABOVE FLOOR LEVEL
- PENDANT / CEILING LIGHT
- RECESSED DOWNLIGHTER
- SURFACE MOUNTED DOWNLIGHTER
- WALL LIGHT (HEIGHTS TBC ON SITE)
- TRACK LIGHT
- LIGHTING COLUMN
- LED STRIP LIGHT
- UPLIGHTER
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- DOOR BELL CHIME
- DOOR BELL CHIME
- SPEAKER
- VIDEO CAMERA
- WI-FI ACCESS POINT

**LD1 FIRE DETECTION SYSTEM TO BE INSTALLED IN ACCORDANCE WITH BS5839-6**

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Project  
**62 MARMORA ROAD  
LONDON SE22 0RY**

Drawing title  
**SECOND FLOOR PLAN  
ELECTRICAL & HEATING**

Drawing number  
**10020-3-103**

Revision

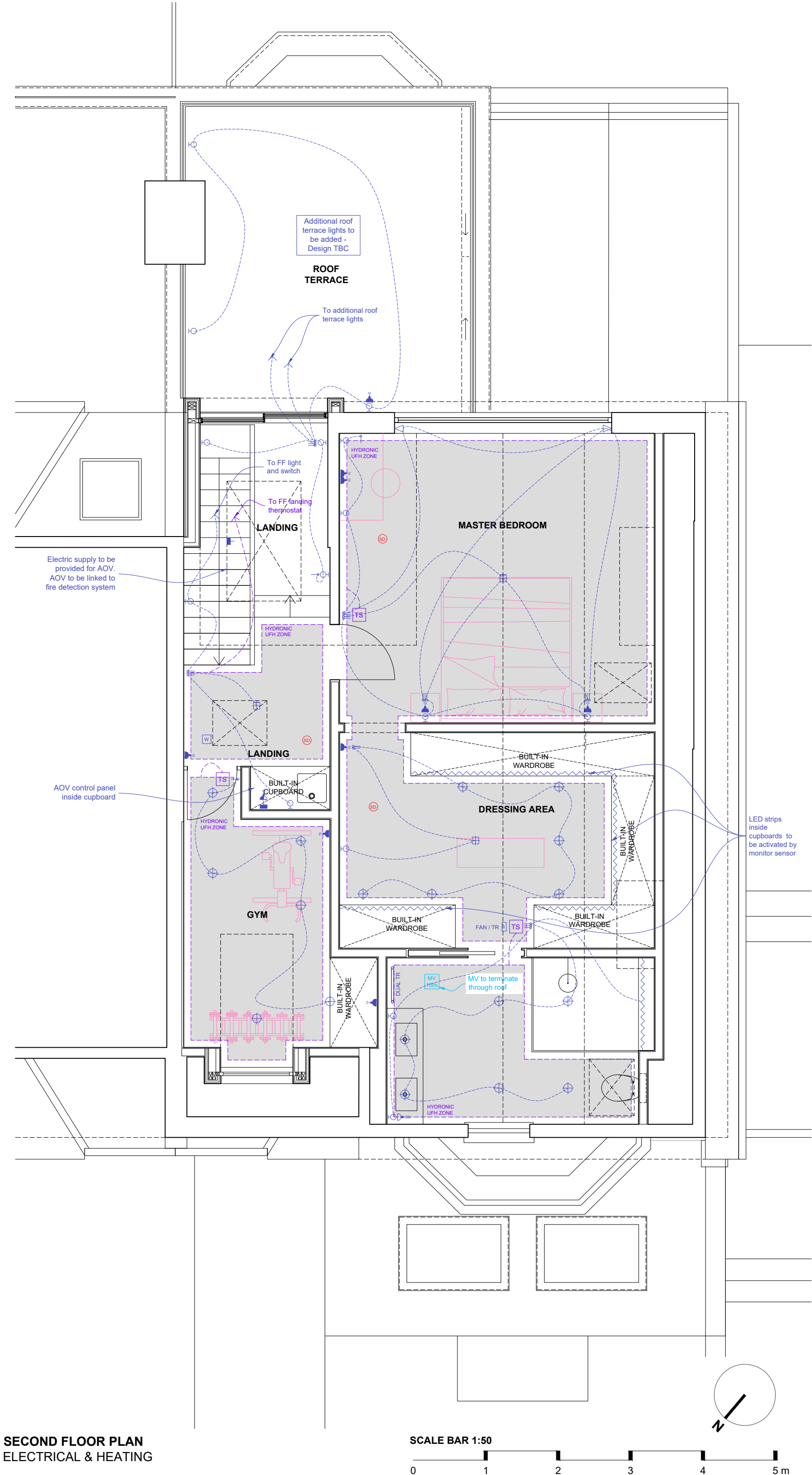
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Purpose of issue  
**TENDER**

Scale  
**1:50 @ A3**

Date  
**September 2024**

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**SECOND FLOOR PLAN  
ELECTRICAL & HEATING**

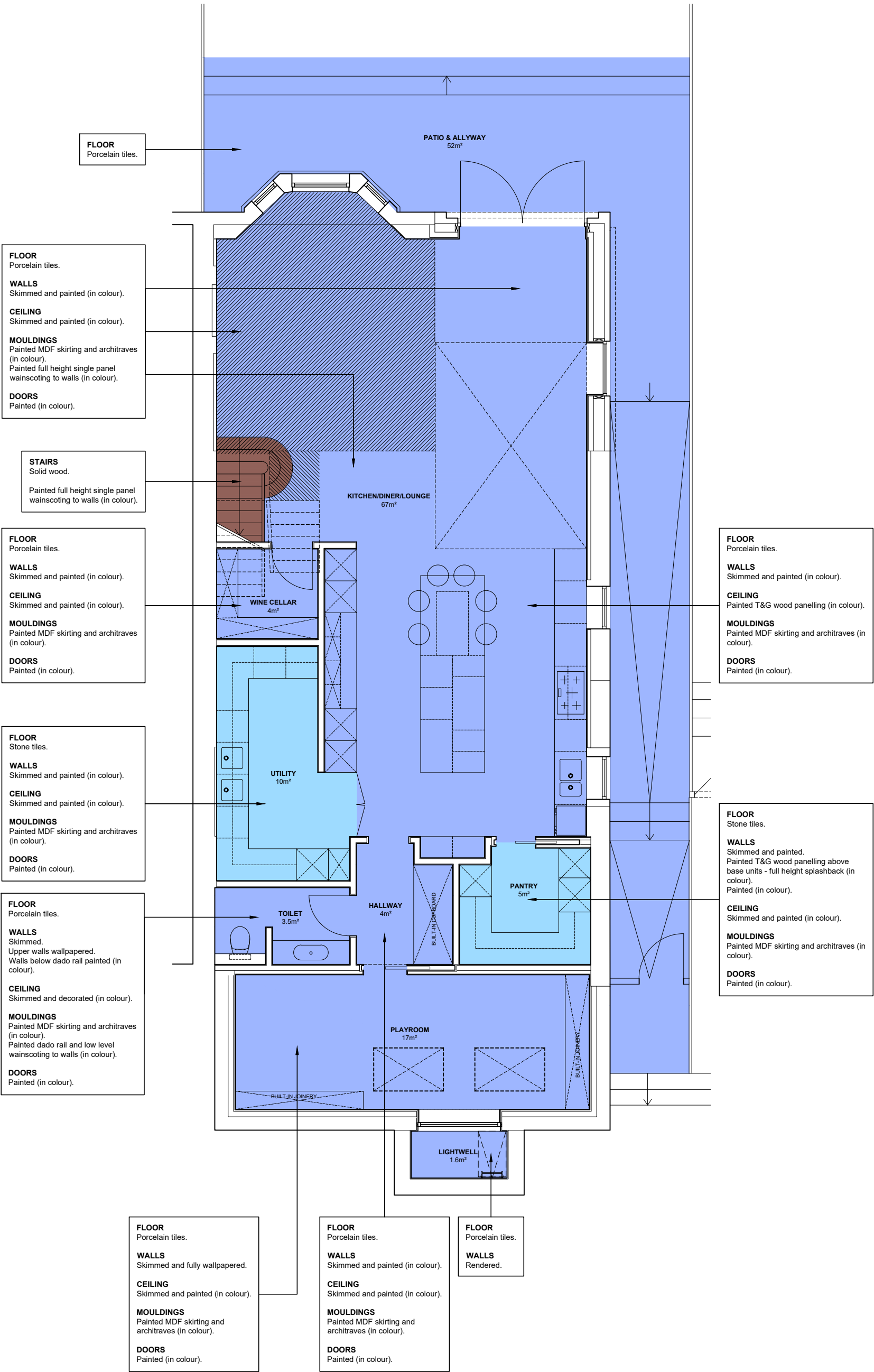
SCALE BAR 1:50

0 1 2 3 4 5 m



FLOOR FINISH KEY

- STONE TILES
- PORCELAIN TILES
- VINYL / RUBBER
- CARPET
- SOLID WOOD
- ENGINEERED WOOD
- DECKING



FLOOR FINISH KEY

- STONE TILES
- PORCELAIN TILES
- VINYL / RUBBER
- CARPET
- SOLID WOOD
- ENGINEERED WOOD
- DECKING

**FLOOR**  
Porcelain tiles.

**WALLS**  
Skimmed and painted (in colour).

**CEILING**  
Skimmed and painted (in colour).

**MOULDINGS**  
Painted MDF skirting and architraves (in colour).  
Painted coving (in colour).  
Painted full height single panel wainscoting (in colour).

**DOORS**  
Painted (in colour).

**STAIRS**  
Painted and carpet runner.

**STAIRS**  
Solid wood.

**FLOOR**  
Stone tiles.

**WALLS**  
Skimmed and painted (in colour).

**CEILING**  
Existing ceiling skimmed and painted (in colour).

**MOULDINGS**  
Painted MDF skirting and architraves (in colour).  
Painted existing coving (in colour).  
Painted existing rose (in colour).  
Painted full height single panel wainscoting to walls (in colour).

**DOORS**  
Painted (in colour).

**FLOOR**  
Porcelain tiles.

**WALLS**  
Skimmed and painted (in colour).

**CEILING**  
Existing ceiling skimmed and painted (in colour).

**MOULDINGS**  
Painted MDF skirting and architraves (in colour).  
Painted coving to match hallway (in colour).  
Painted ceiling rose relocated from front gallery (in colour).  
Painted full height two panel wainscoting to walls (in colour).

**DOORS**  
Painted (in colour).

**FLOOR**  
Stone tiles.

**WALLS & SOFFIT**  
Painted render (in colour).

**DOOR**  
Painted with stained glass

**FLOOR**  
Porcelain tiles.

**FLOOR**  
Porcelain tiles.

**WALLS**  
Skimmed and painted (in colour).

**CEILING**  
Skimmed and decorated (in colour).

**MOULDINGS**  
Painted MDF skirting and architraves (in colour).

**DOORS**  
Painted (in colour).

**FLOOR**  
Porcelain tiles.

**WALLS**  
Partially skimmed.  
Upper walls wallpapered.  
Lower walls porcelain tiles.

**CEILING**  
Skimmed and painted (in colour).

**MOULDINGS**  
Painted architraves (in colour).  
Painted coving (in colour).

**DOORS**  
Painted (in colour).

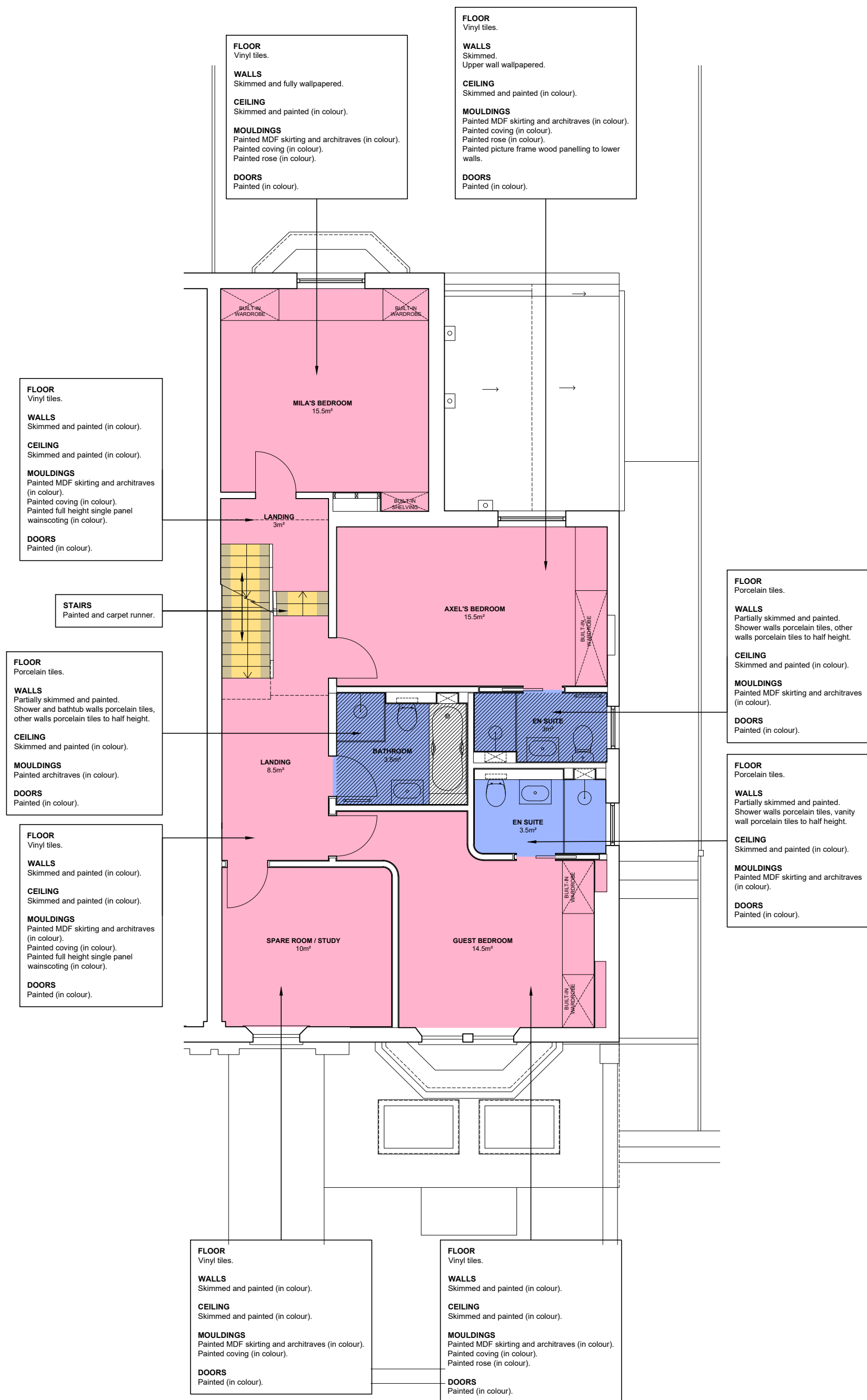
**FLOOR**  
Stone tiles.

**WALLS**  
Skimmed and painted (in colour).

**CEILING**  
Skimmed and painted (in colour).

**MOULDINGS**  
Painted MDF skirting and architraves (in colour).  
Painted coving (in colour).  
Painted full height single panel wainscoting (in colour).

**DOORS**  
Painted (in colour).



- FLOOR FINISH KEY**
- |   |                 |
|---|-----------------|
|  | STONE TILES     |
|  | PORCELAIN TILES |
|  | VINYL / RUBBER  |
|  | CARPET          |
|  | SOLID WOOD      |
|  | ENGINEERED WOOD |
|  | DECKING         |



- FLOOR FINISH KEY**
- STONE TILES
  - PORCELAIN TILES
  - VINYL / RUBBER
  - CARPET
  - SOLID WOOD
  - ENGINEERED WOOD
  - DECKING

