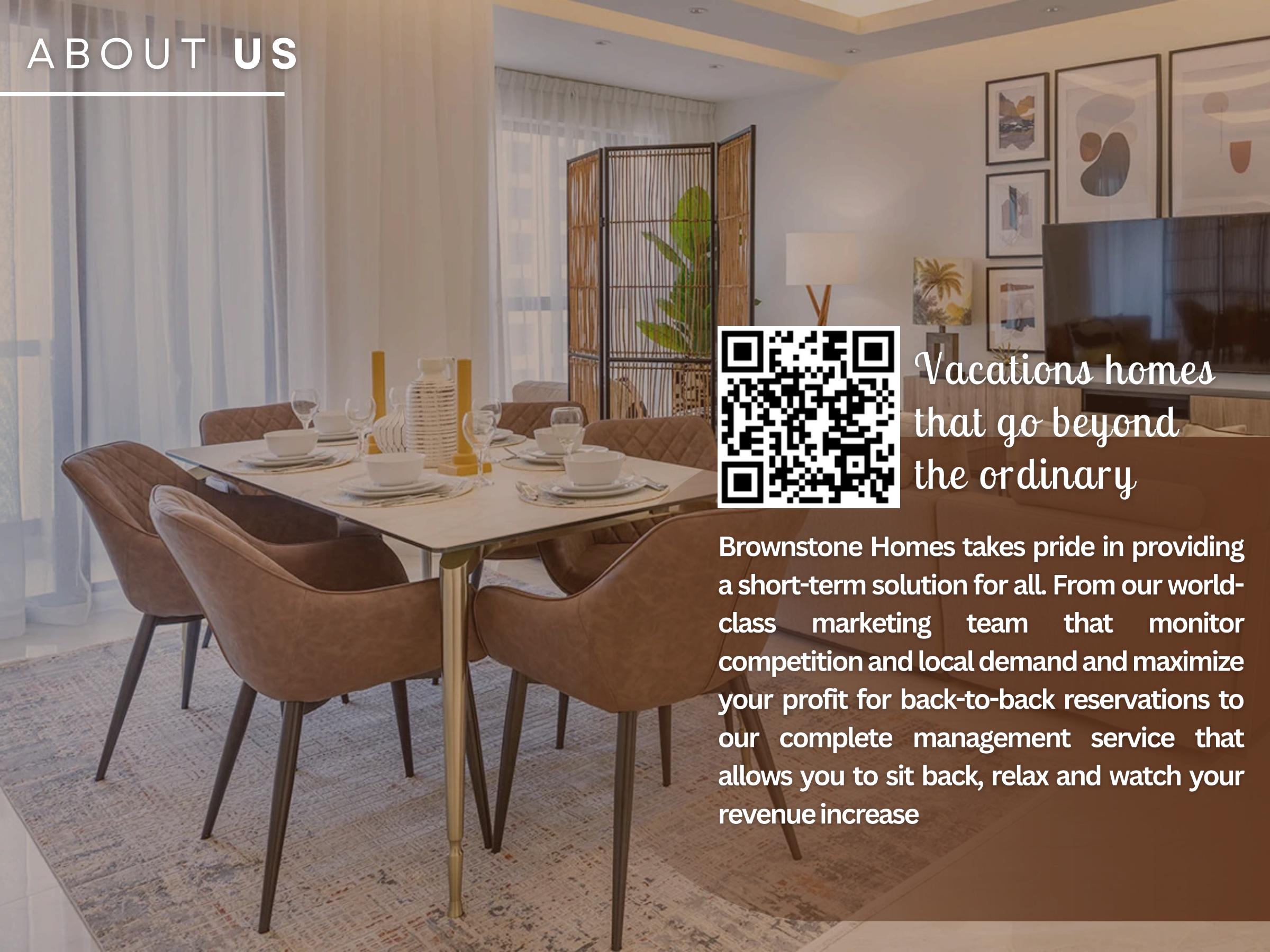




BROWN STONE
HOLIDAY HOMES
منازل الإجازة

COMPANY PROFILE

ABOUT US



*Vacations homes
that go beyond
the ordinary*

Brownstone Homes takes pride in providing a short-term solution for all. From our world-class marketing team that monitor competition and local demand and maximize your profit for back-to-back reservations to our complete management service that allows you to sit back, relax and watch your revenue increase

WHAT WE OFFER

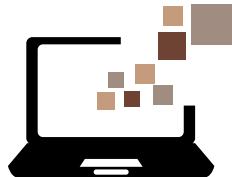


CREATING A HOME | AWAY FROM HOME

When considering handing over your property to short-term, we provide a comprehensive evaluation of the property and the potential income which can help you evaluate your options.

The benefits of putting your property on short-term are endless and we are dedicated to providing the best service for you and the end-less tenants you could have.

A TAILOR-MADE SERVICE



Premium advertising
across major portals



Tenant introduction
& negotiation



Check-in &
checkout services



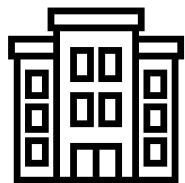
Viewings &
property selection



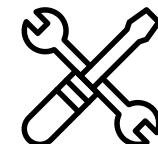
Contract
preparation



Client Accounting



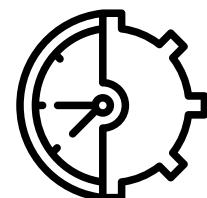
Inventories



Routine repairs and
maintenance



Payment of
invoices



Project
Management



DTCM inspection
and compliance



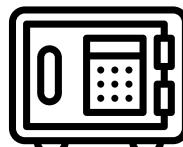
Utility Registration



Luxury Linens



Interior design
services



Deposit
management

BENEFITS FOR YOU AS A LANDLORD

As the business hub for the Middle East and as host to an endless list of ever more impressive tourist attractions, it's no surprise that Dubai is taking the stage as the world's most visited city for international travel in 2022.

-
- The diagram consists of a central dark brown circle with the text "SHORT-TERM RENTALS" in white. Five dotted lines radiate from this center to five separate, rounded hexagonal boxes arranged in a circle around it. Each box contains a number and a corresponding benefit statement. The numbers are 01, 02, 03, 04, and 05, arranged clockwise starting from the bottom-left.
- 01**
20 - 25% increased rent compared to long-term rental
 - 02**
Property management included during the term of contract
 - 03**
3-month notice to cancel
 - 04**
Hassle free management
 - 05**
Highly competitive rates

PROS AND CONS OF SHORT & LONG TERM RENTALS

PROS ✓

Why Short Term Rentals

Tourist, B2B and Expatriates can Rent

Back to back bookings

Increasing unit rental price seasonally

90 days termination notice

Fully managed cleaning and maintenance service

Organize viewings for resale purpose

Smart lock system to control tenant

Bounced check issue

CONS ✗

Why Not Long Term Rentals

Only UAE residents can rent unit

Rent to 1 tenant on fixed yearly rate

5% increase option after one year

1 year termination notice period

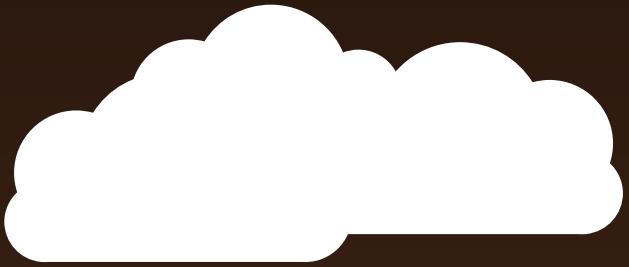
Landlord to organize cleaning & maintenance

Impossible to access to the unit

Impossible to vacate a unit in-case of non-payment

Payment in advance

HOW IT WORKS



Set a Meeting with Our Sales Team

We invite you to set up a meeting with one of our Holiday Home Agents to take you through the process of listing your property short-term and come up with a tailor-made plan that suits your needs to give you the highest ROI.

01

02

Compliance with DTCM

Submit property documents on behalf of the owner to government entities, issue a permit and take all the measures to be compliant with holiday home rules.

03

04

Design Specialists Inspect the Property

Our dedicated in-house interior designers will inspect the unit and work with the property owner to come up with the perfect design that is guaranteed to generate high income bookings.



Go Live and Start Hosting Guests

Go live on all platforms such as Property Finder, Bayut, Airbnb and Booking.com 04 and start welcoming guests.

Booking.com

airbnb

**Property
Finder**

bayut



Maqbool Ahmad Khan
Co-Founder



Shoaib Abdallah
Co-Founder

Message from the Co-Founders

Brownstone Holiday Homes is pleased to present our best proposal for managing short-term serviced apartments in Dubai, U.A.E. We understand the current dynamics of the UAE Real Estate and Hospitality market and recognize the unique opportunity and advantage that short-term rentals can offer. Our experience and successful track record in Real Estate and Holiday Homes rental make us a vital partner in the field. We look forward to forming a rewarding relationship with your well-respected company.

MEET OUR TEAM



Waseem Malik
Operation Manager



Eileen Valdez Barao
Admin



Tairu Ismail
Business Development
Manager



Muhammad Yasir
Accountant Manager



Amrani Jamal
Guest Relations Manager



Tanvi Ajay Kumar
Listing Specialist



Ahmad Bassal
OTA Specialist



Bilal Arous
Revenue Manager

MEET OUR TEAM



Muhammad Murad
House Keeper



Muhammad Fiaz
Sales Manager



Rubaisha Ajaz
Listing Specialist



Muhammad Waseem Gul
Guest Relations Manager



Khizar Mukhtaar
Sales Manager



Ranveer Singh
Guest Relations
Supervisor



Syed Farhan Mahdi
OTA Specialist



Vadiraj Rao
Sales Manager

MEET OUR TEAM



Muhammad Ali Bokhari
Reservations Manager



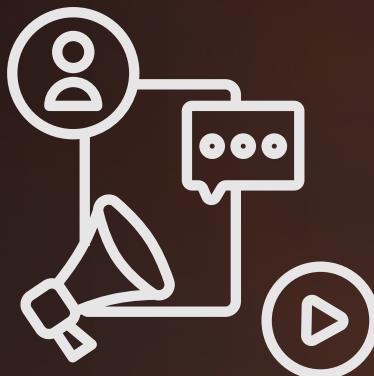
Tayaba Shaikh
Business Development
Executive



Zohaib Akram
Admin Assistant



Khubaib Rehman
Guest Relations Officer



MARKETING STRATEGY

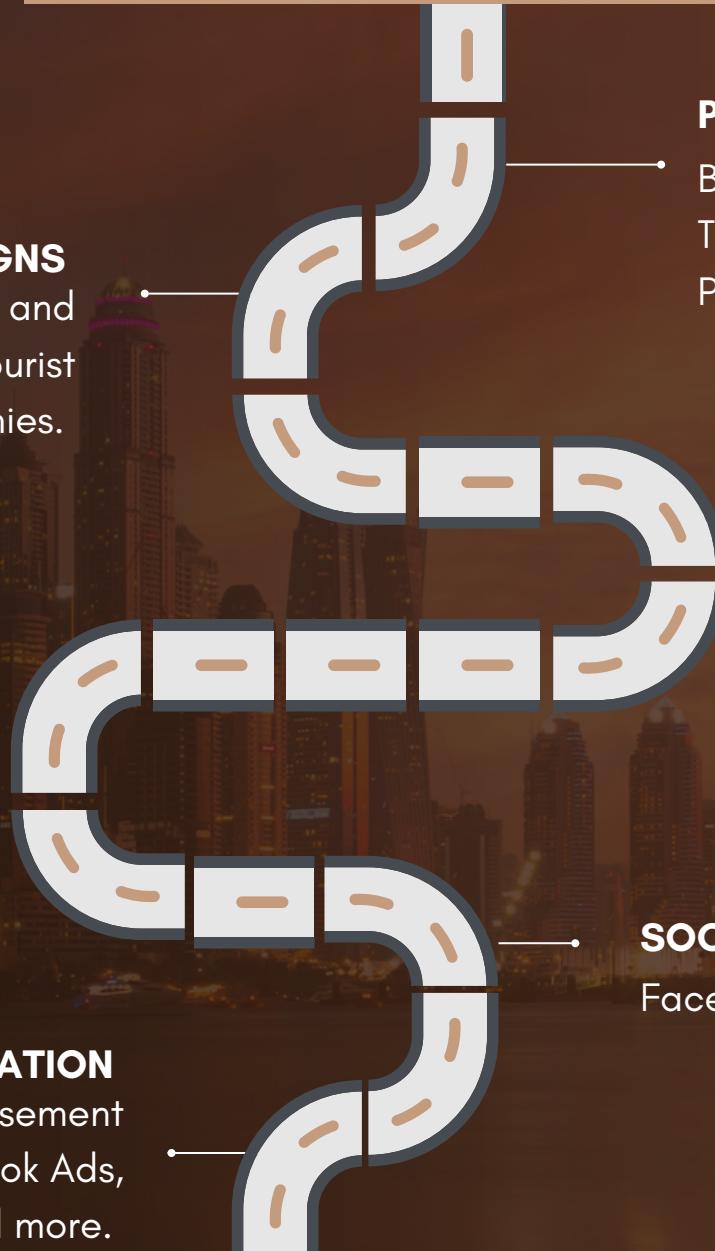
BROWNSTONE HOLIDAY HOMES

OUTREACH CAMPAIGNS

Email & SMS: Targeting existing and new corporate clients, tourist companies, and relocation companies.

LEAD GENERATION

Create and manage paid advertisement campaigns through Facebook Ads, Instagram Ads, LinkedIn Ads, and more.



PROPERTY LISTINGS

- Booking.com, Airbnb, Hometogo, Hotels.com, Travelstation, Expedia, Trip.com, Vrbo, PropertyFinder & Bayut.

ONLINE PROMOTION:

- **Blogging & Articles:** Increase traffic and inquiry numbers
- **Search & Display Marketing:** Search Engine Marketing (SEM), AdWords, Google Hotel Ads, Google Maps and Google Business Listing.

SOCIAL MEDIA PROMOTION PLATFORMS

Facebook, Twitter, YouTube, Instagram & Tiktok



OUR PARTNERS



Booking.com



Trip.com



goibibo

priceline®

KAYAK

Skyscanner

Tripadvisor

OUR INTERIORS

BS Holiday Homes stands out as a leader in the furniture industry, specializing in crafting premium furniture collections that are carefully designed to suit your individual needs. We take pride in our dedication to quality, innovation, and personalized service, ensuring each piece we create not only elevates the aesthetic of your space but also embodies your distinct style and preferences.

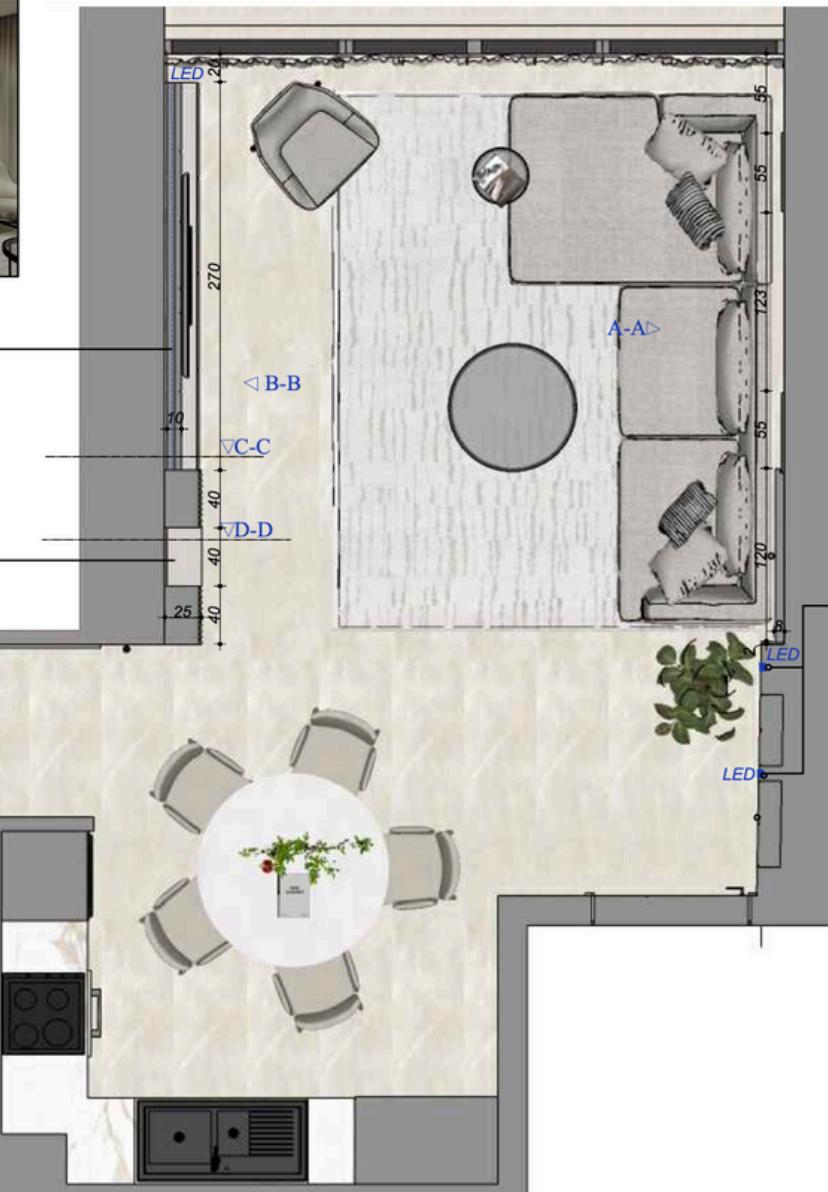


SLEEK MODERN INTERIORS

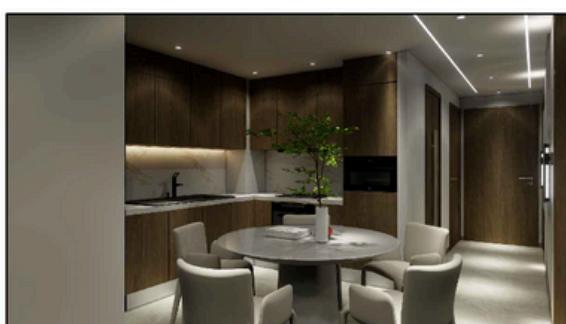
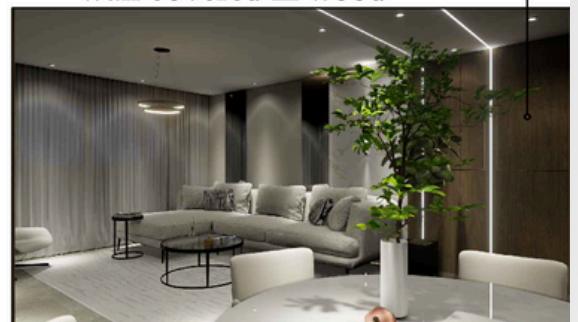
Living room : Top view



TV wall unit with LED backlight

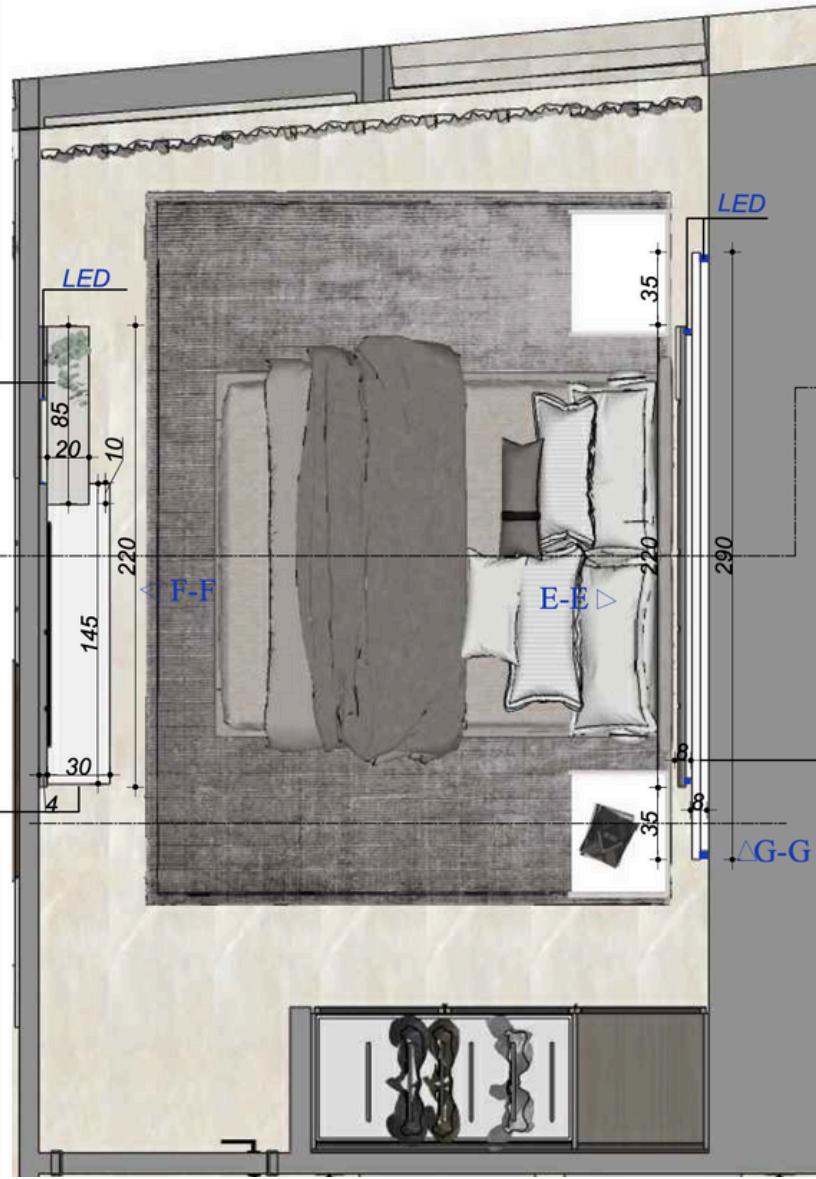


Recessed Led Profile
wall covered in wood



SLEEK MODERN INTERIORS

Bedroom 1 : Top view

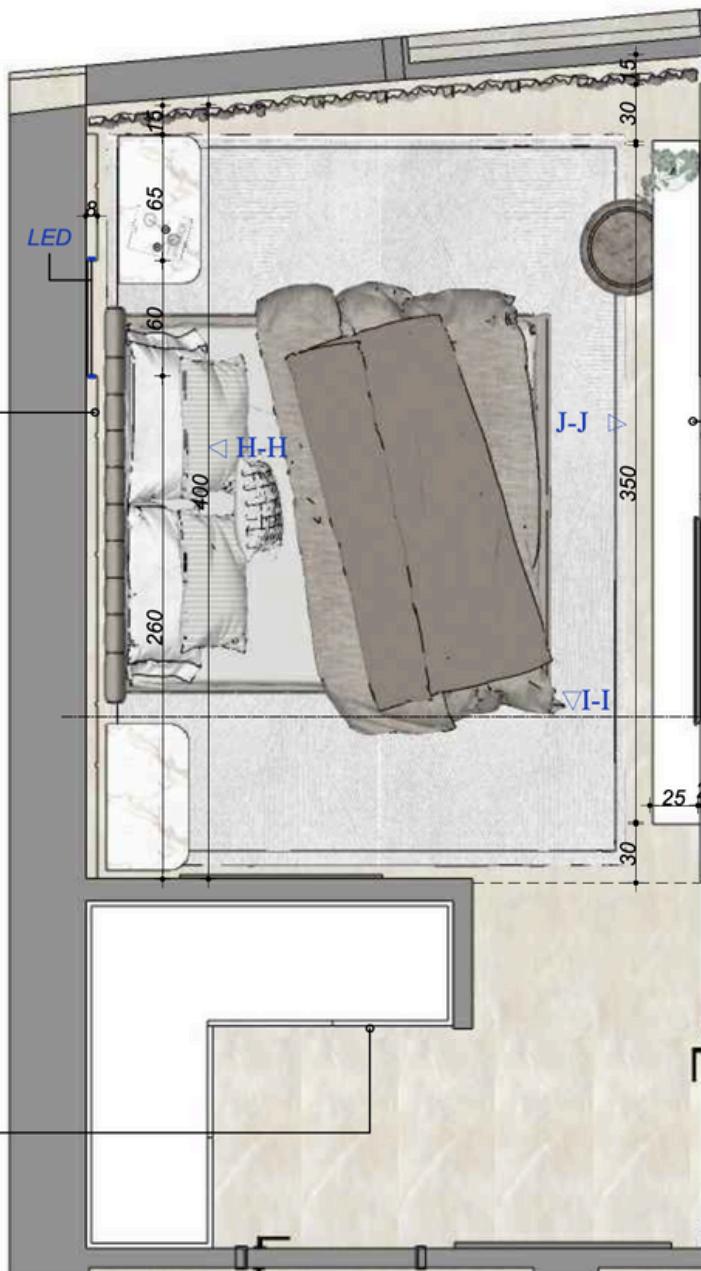


Axis of the wall



SLEEK MODERN INTERIORS

Bedroom 2 : Top view



WHAT WE DO NEXT



Documentation



Decoration, Maintenance &
Housekeeping



Furnishing



Marketing



Customer Service



Technology

GUEST SERVICES



◆ Luxury Factor

✚ Pharmacy

✈️ Airport Transports

🧻 Housekeeping

🌿 Flowers

📱 Food Orders

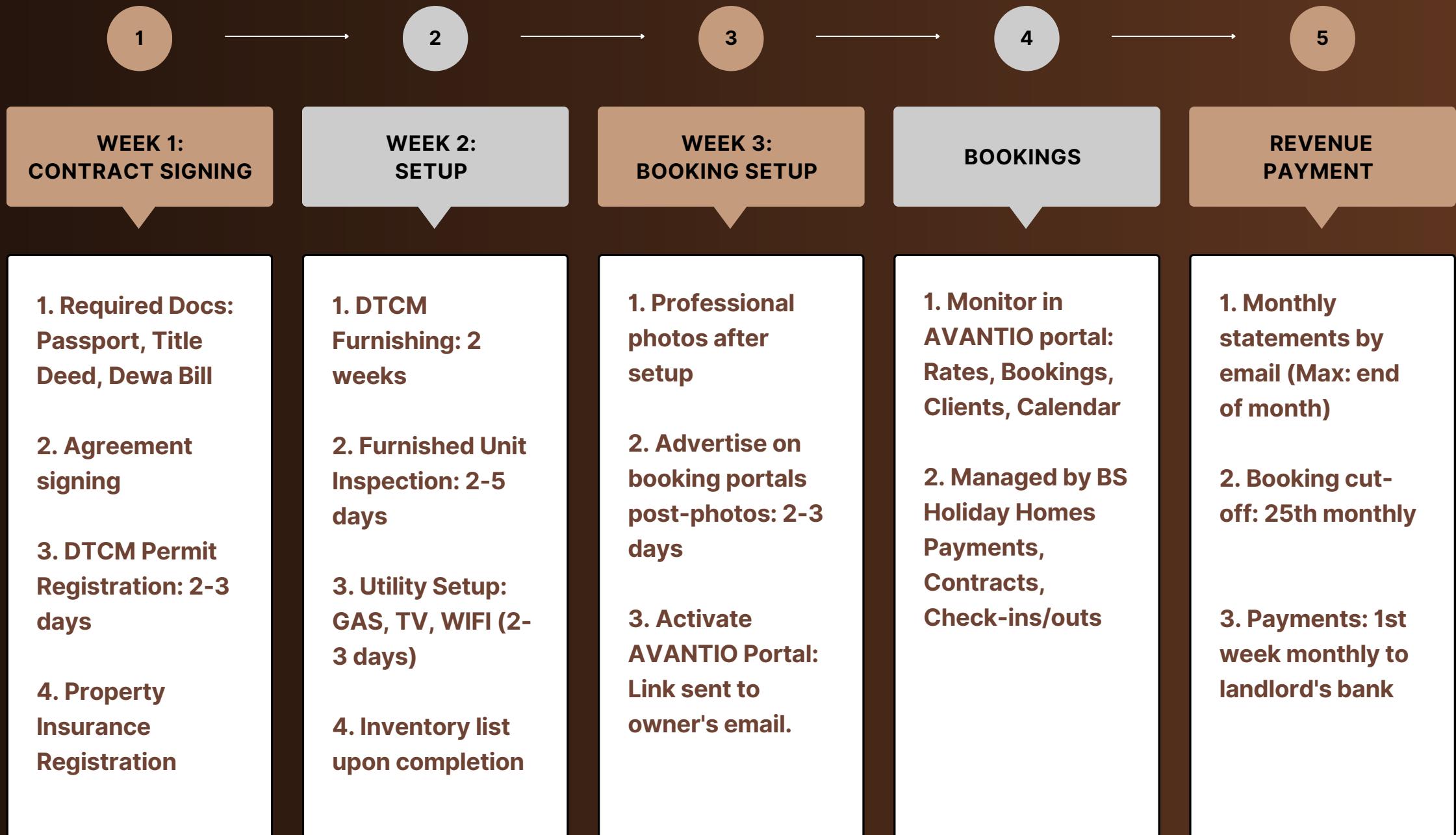
✂️ Salon at Home

📦 Fresh Groceries

🚗 Car Rental

🧘 Health & Wellness

ONBOARDING PROCESS:



Please note: In case of any public holidays which will fall on the above dates all payments will be processed on the next working day

THE PROPOSAL:

We Got You Covered

Housekeeping Services
Arrangement

Property Listings and
Advertising

Day-to-day Maintenance
Arrangement

Channels Manager

Bills Management

Bookings Management

Guest Arrival and Departure
Management

Professional Photoshoot

Contracts and Payments
Management

Monthly Statements

THE FORECAST

Expected Yearly Forecast of 1BR apartment

	Yearly	Worst	Expected	Best
Average Rate	302	630	632	634
Occupancy Rate	100%	80%	87%	93%
Revenue	110,000	183,960	200,344	214,926
Utility Expenses	0	11,000	12,000	13,000
Management Fee	0	36,792	40,068	42,985
Net to Landlord	110,000	136,168	148,276	158,941
% Changes vs Yearly		24%	35%	44%



ADR is the forecasted Average Daily Rate per season. OCC% is the forecasted occupancy percentage per season.

Seasonality	Month	No. of Months	No. of Nights
Low	May-Sept	5	153
Shoulder	Apr and Oct	2	61
High	Nov - Mar	5	151

Contact Us

Feel free to reach out to us for further information!



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- info@bsholidayhomes.com
- The Exchange tower - Business Bay - Dubai





WWW.BSHOLIDAYHOMES.COM