

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATE OCCUPATIONAL SAFETY LAWS. SEE HANFORD COUNTY STANDARD SPECIFICATIONS.
2. ALL ELEVATIONS BASED ON U.S.G.S. DATUM. ALL PIPE ELEVATIONS ARE TO INVERT OF PIPE.
3. BEFORE THE START OF CONSTRUCTION, THE CONTRACTOR IS TO VERIFY THE LOCATION OF EXISTING UTILITIES BY CONTACTING "MISS UTILITY" (1-800-257-7777) 72 HOURS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES AND BY PHONE THREE (3) DAYS BEFORE STARTING ANY CONSTRUCTION. C&P TELEPHONE AT (301) 392-2110, BGE AT (301) 234-5691 AND AT&T AT (301) 539-9900.
4. WATER MAINS TO HAVE A MINIMUM OF 4' COVER EXCEPT WHERE GREATER DEPTHS ARE INDICATED.
5. ALL MATERIAL AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT REVISION OF THE STANDARD SPECIFICATIONS AND DETAILS FOR SANITARY SEWER AND WATER OF THE HANFORD COUNTY DEPARTMENT OF PUBLIC WORKS.
6. ALL P.V.C. WATER AND SEWER MAINS AND SERVICES SHALL BE BACK-FILLED A MINIMUM OF 6" BELOW SUBGRADE TO TOP OF PIPE WITH #6 STONE OR CLEAN SAND (FREE OF STONES-SAND SHALL BE COMPACTED). SEWER SERVICES SHALL HAVE #6 STONE COVER ONLY. (NO SAND).
7. THREE INCH NONMETALLIC TAPE MANUFACTURED BY ALLEN SYSTEMS OR APPROVED EQUAL TO BE INSTALLED 18" ABOVE ALL WATER AND SEWER LINES AND HOUSE CONNECTIONS. (COLORS SHALL BE BLUE FOR WATER, GREEN FOR SEWER).
8. FOR ALL NON-METALLIC SEWER SERVICES AND/OR FENCE MAINS, A TEN GAUGE BARE COPPER WIRE SHALL BE BUTT TAPED TO THE TOP OF THE PIPE EVERY TEN (10) LINEAL FEET AND WRAPPED AROUND VALVE BOX, ETC. SO THAT A MAGNETIC LOCATOR CAN BE ATTACHED TO IT EASILY. A CONTINUOUS CONDUCTIVITY SHALL BE MAINTAINED.
9. CONTRACTOR TO PLACE A WITNESS POST AT THE TERMINUS OF ALL UTILITY STUBS.
10. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND DETAILS OF WALLS, WALKS, STEPS AND LINE PAINTING NEXT TO THE BUILDING.
11. CONTRACTOR TO VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL WATER, SEWER AND STORM DRAIN CONNECTIONS AT THE BUILDING WITH THE MECHANICAL CONTRACTOR BEFORE BEGINNING CONSTRUCTION OF SERVICE CONNECTIONS TO SERVE THE BUILDING.
12. SUITABLE MATERIAL SHALL BE USED AS FILL ONLY WHERE REQUIRED BY ENCOUNTERED SEE PAGE CONDITIONS. A DOWELLING CONSISTING OF A SERIES OF INTERCEPT TRENCHES AND SUMP PUMPS MAY BE USED DURING CONSTRUCTION.
13. ALL INLETS AND MANHOLES SHALL BE BACKFILLED WITH NO. 57 AGGREGATE FOR A WIDTH OF 15 FEET OUTSIDE PERIMETER OF INLET AS PER SECTION 603 OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, HANFORD COUNTY ROAD CODE, EFFECTIVE DATE JANUARY 1999.
14. ALL INLETS GRATES TO BE TILT BAR GRATES OR APPROVED EQUAL.
15. ALL PARKING SPACES SHALL BE MARKED WITH SOLID 4" WIDE STANDARD WHITE PAINTED LINES FOR THE FULL DEPTH OF PARKING SPACE.
16. ALL PAINTED ISLANDS AND HANDICAPPED ISLES SHALL BE MARKED WITH SOLID 4" WIDE STANDARD WHITE PAINTED PERIMETER LINES WITH 8" WIDE SOLID DIAGONAL LINES AT 2' ON CENTER. THE CENTER LINE OF ALL SERVICE DRIVES AND ACCESS ROADWAYS (NOT PARKING ISLES) SHALL BE MARKED WITH SOLID 4" WIDE STANDARD YELLOW CENTER LINE EXCEPT FOR BREAKS AT THE INTERSECTION WITH OTHER SERVICE DRIVES. SEE SITE PLAN FOR ADDITIONAL PAVEMENT MARKING.
17. CONCRETE WHEEL STOPS SHALL BE INSTALLED WHERE SHOWN ON THE PLAN AND SHALL BE PRECAST, STANDARD CONCRETE, ANCHORED TO THE PAVEMENT WITH 2 STEEL RODS PER EACH WHEEL STOP. OPEN A MINIMUM OF 8" IN BITUMINOUS CONCRETE PAVEMENT OR TWO DOWELS PER EACH WHEEL STOP. GROUTED A MINIMUM OF 4" INTO CEMENT PAVEMENT.
18. PROPOSED SIDEWALKS SHALL BE 5' WIDE, 5" THICK CONCRETE (MIX NO. 2) PLACED ON A MINIMUM OF 4" CRUSHED STONE BASE (NO. 57) AND ARE TO BE REINFORCED WITH WIRE MESH.
19. ALL DISTURBED AREAS NOT TO RECEIVE PAVING SHALL BE STABILIZED WITH A MINIMUM OF 4" TOPSOIL, SEED AND MULCH AS SPECIFIED ON THE SEDIMENT CONTROL PLAN OR AS SPECIFIED ON THE LANDSCAPING PLAN.
20. CONTRACTOR TO PROVIDE A 2 FOOT MINIMUM BENCH BEHIND THE CURB IN ALL FILL AREAS.
21. HANDICAP SPACES SHALL COMPLY WITH CURRENT A.D.A. GUIDELINES FOR SLOPE, MATERIALS AND SIGNAGE.
22. ALL LIGHTING IS TO BE ERRECTED SO AS NOT TO INTERFERE WITH TRAFFIC.
23. ALL OF THE LANDSCAPE PLANS WILL BE PROVIDED.
24. ALL ON-SITE WATER AND SEWER LINES WILL BE PRIVATELY OWNED. SAMPLING MANHOLES HAVE BEEN INSTALLED AT RIGHT OF WAY LINES.
25. AT LEAST ONE FIRE HYDRANT WILL BE LOCATED WITHIN 100' OF ALL SPRINKLER CONNECTIONS.
26. STORMWATER QUANTITY AND QUALITY MANAGEMENT FOR THE ENTIRE LAKESIDE HAS BEEN PROVIDED IN THE REGIONAL FACILITY IN 1997.
27. A WAIVER FROM GROUNDWATER RECHARGE AND FOR THE DISCHARGE TO EXCEED THE CHANNEL PROTECTION VOLUME ALLOWABLE DISCHARGE RATE HAS BEEN GRANTED BY DEPARTMENT OF PUBLIC WORKS ON MARCH 6, 2006.
28. A TOPOGRAPHY SURVEY OF THE SITE WAS PERFORMED BY SURVEY SERVICES, INC. IN FEBRUARY 2007.

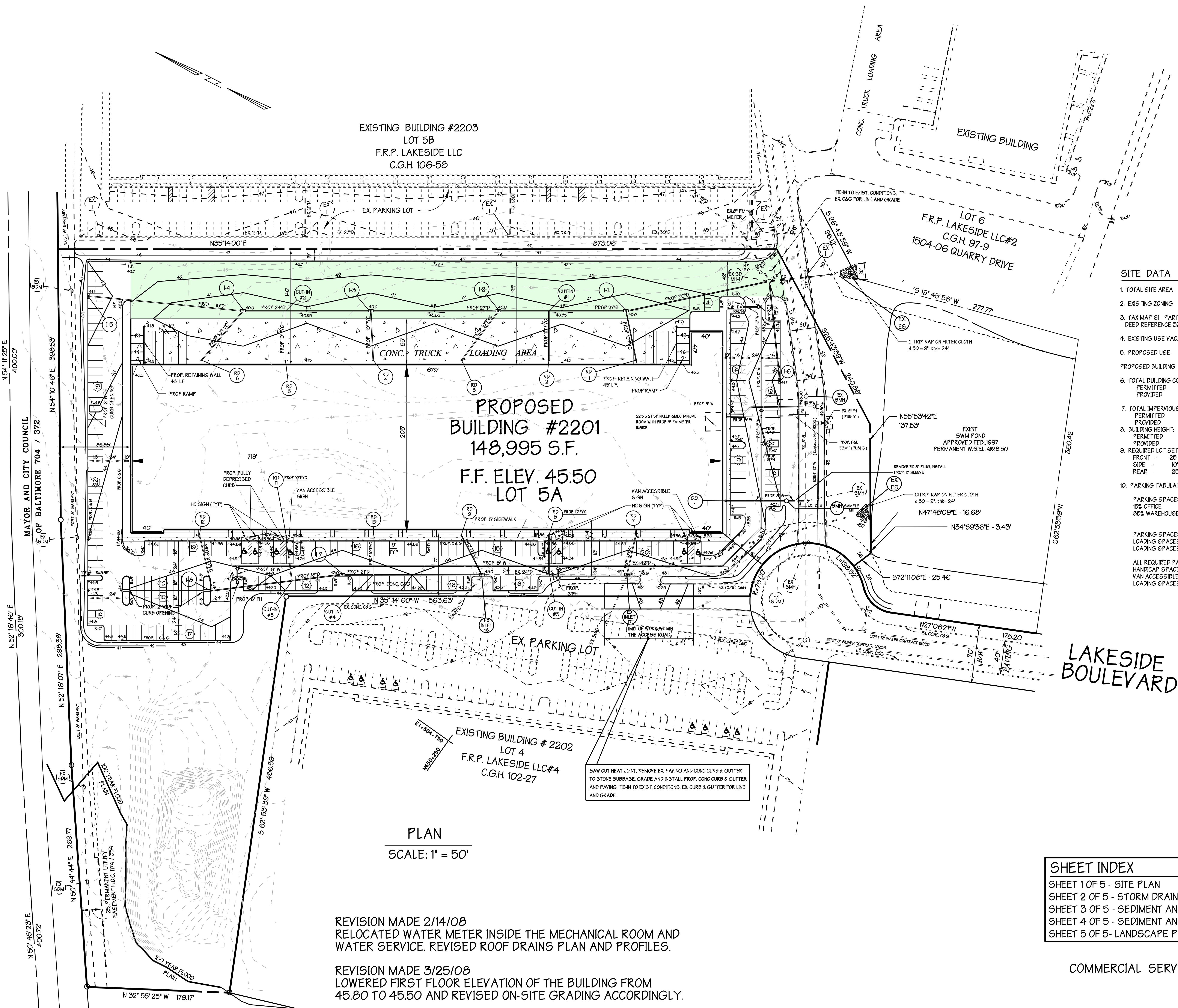
LEGEND

- PROPERTY LINE
- PROP. CONTOURS
- PROP. CURB & GUTTER
- PROP. STORM DRAIN
- PROP. SANITARY
- PROP. WATER
- EXIST. CONTOURS
- EXIST. CURB & GUTTER
- EXIST. STORM DRAIN
- EXIST. SANITARY
- EXIST. WATER
- 8" CONCRETE MIX #2 WITH FIBER MESH ON 6" DENSE GRADED STABILIZED AGGREGATE BASE COURSE
- HEAVY DUTY
- 1 1/2" BITUMINOUS CONC. SURFACE
- 2 1/2" BITUMINOUS CONC. BASE
- 14" DENSE GRADED STABILIZED AGGREGATE BASE COURSE (THREE COMPACTED LIFTS)
- APPROVED COMPACTED SUBGRADE
- LIGHT DUTY
- 1 1/2" BITUMINOUS CONC. SURFACE
- 1 1/2" BITUMINOUS CONC. BASE
- 9" DENSE GRADED STABILIZED AGGREGATE BASE COURSE (TWO COMPACTED LIFTS)
- APPROVED COMPACTED SUBGRADE

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21103
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGC.COM

NOTE:

THE PLAN P/S 241/95 (95-244-001) PROPOSES TO CREATE ELEVEN INDUSTRIAL LOTS AND TO CONSTRUCT BUILDINGS ON LOTS 5, 6 & 7 HAS BEEN APPROVED ON 6/12/96
REVISED 2/26/98



SITE DATA

1. TOTAL SITE AREA 11.43 AC.
2. EXISTING ZONING LI
3. TAX MAP 61 PART OF PARCEL 649 C.G.H. 106-58 DEED REFERENCE 3272/319
4. EXISTING USE/VACANT
5. PROPOSED USE OFFICE/WAREHOUSE
- PROPOSED BUILDING - 148,995 SF
6. TOTAL BUILDING COVERAGE: PERMITTED 55% PROVIDED 148,995 SF / 497,891 SF = 30%
7. TOTAL IMPERVIOUS AREA: PERMITTED 85% PROVIDED 366,991 SF / 497,891 SF = 74%
8. BUILDING HEIGHT: PERMITTED 40' PROVIDED 32'
9. REQUIRED LOT SETBACKS: FRONT 20' SIDE 10' REAR 25'
10. PARKING TABULATION
- PARKING SPACES REQUIRED: 15% OFFICE 22,349 SF @ 1 P5/1000 SF = 75 P5 85% WAREHOUSE 126,646 SF @ 1 P5/1500 SF = 84 P5 TOTAL P5 REQUIRED = 159 P5
- PARKING SPACES PROVIDED: = 238 P5 (INCLUDING 8 HDCP)
- LOADING SPACES REQUIRED: = 4
- LOADING SPACES PROVIDED: = 6
- ALL REQUIRED PARKING SPACES ARE: 9' X 18' (MIN)
- HANDICAP SPACES ARE: 12' X 18' (MIN)
- VAN ACCESSIBLE HANDICAP SPACES ARE: 16' X 18' (MIN)
- LOADING SPACES ARE: 10' X 25' (MIN)

SHEET INDEX

- SHEET 1 OF 5 - SITE PLAN
- SHEET 2 OF 5 - STORM DRAIN AND SANITARY SEWER PROFILES
- SHEET 3 OF 5 - SEDIMENT AND EROSION CONTROL PLAN
- SHEET 4 OF 5 - SEDIMENT AND EROSION CONTROL DETAILS
- SHEET 5 OF 5 - LANDSCAPE PLAN

COMMERCIAL SERVICE APPLICATION No. 8051

SITE PLAN

FOR

LAKESIDE LOT 5A

DEVELOPER / OWNER

FRP LAKESIDE L.L.C. #5
FRP DEVELOPMENT CORP., SOLE MEMBER
34 LOVETON CIRCLE, SUITE 100
SPARKS, MARYLAND 21152
PHONE: (410) 771-4100

HANFORD COUNTY, MD. FIRST ELECTION DISTRICT

P/O TAX MAP 61 PARCEL 147 SHEET 1 OF 5

SCALE: 1"=50' DATE: MAY, 2007

REVISION MADE 2/14/08

RELOCATED WATER METER INSIDE THE MECHANICAL ROOM AND WATER SERVICE. REVISED ROOF DRAINS PLAN AND PROFILES.

REVISION MADE 3/25/08

LOWERED FIRST FLOOR ELEVATION OF THE BUILDING FROM 45.80 TO 45.50 AND REVISED ON-SITE GRADING ACCORDINGLY.

NOTE:

THE PLAN 500-112-1 PROPOSED TWO OFFICE / WAREHOUSE BUILDINGS ON LOT 5 HAS BEEN APPROVED ON 05-24-00.

THE PLAN 503-173 PROPOSED OFFICE / WAREHOUSE BUILDING AND TRUCK STORAGE SPACES HAS BEEN APPROVED ON 08-22-03.

THE PLAN 507-006 PROPOSED OFFICE / WAREHOUSE BUILDING HAS BEEN APPROVED ON 02-16-07.