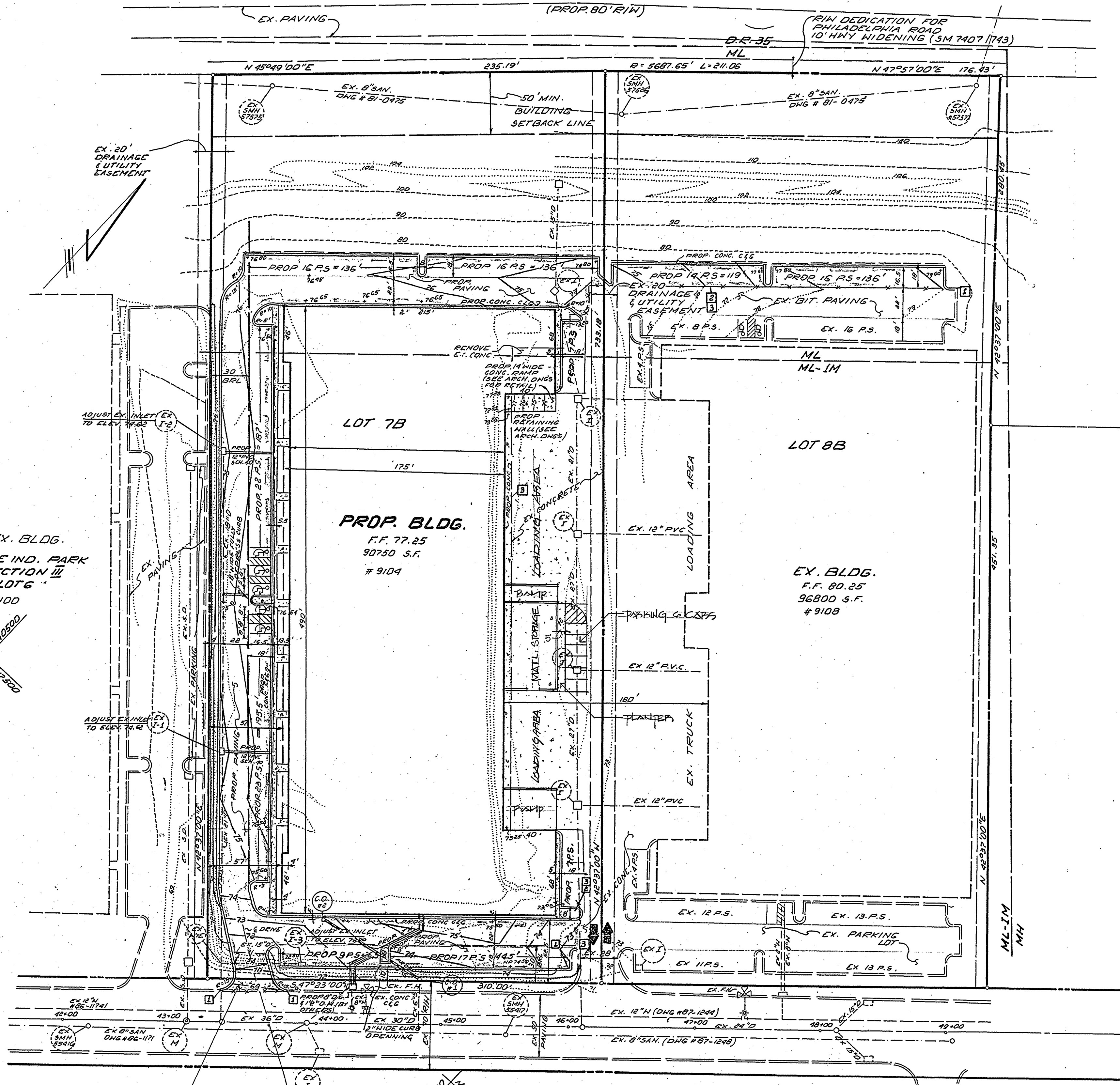


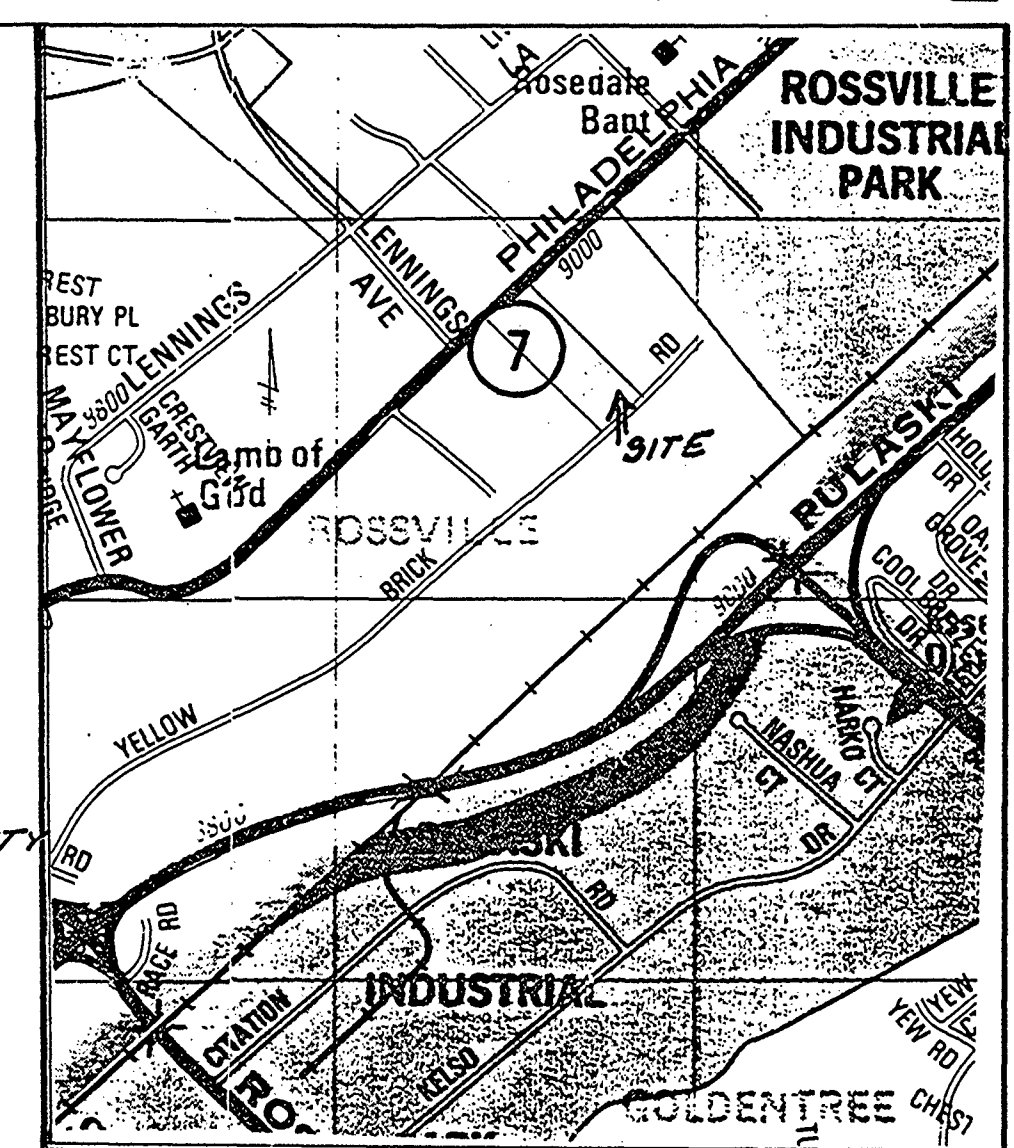
# PHILADELPHIA ROAD (MD. ROUTE 7)

EX. 80' R/W  
(PROP. 80' R/W)



## YELLOW BRICK ROAD (SM 74071743)

PLAN 1"=50'



### VICINITY MAP 1"=1000'

- BENCH MARKS**
- # 12626  
SET CUT IN CONC. CURB ON S.W. SIDE OF LENINGS LANE AND NW. SIDE OF PHILADELPHIA RD (MD. ROUTE 7)
  - # 8-1A  
SET CUT IN CONC. CURB ON N.E. SIDE OF ENTRANCE, SE. SIDE OF YELLOW BRICK ROAD, STA 32+57+56 RT E.

#### SITE CONSTRUCTION NOTES

- MEET EXISTING CONCRETE CURB AND GUTTER FOR LINE AND GRADE. REMOVE EXISTING CONCRETE CURB AND GUTTER. MEET EXISTING CONCRETE OR EXISTING PAVEMENT FOR GRADE. NO REVEAL. SAW CUT NET JOINT, IF REQUIRED.

#### SITE DATA

- ELECTION DISTRICT - 15
- COUNCILMANIC DISTRICT - 6
- CENSUS TRACT - 4512
- SITE AREA 5.19 AC.± (226076 S.F.)
- EXISTING ZONING - ML-1M, ML
- PROPOSED USE - VACANT
- PROPOSED USE - GENERAL OFFICE/WAREHOUSE
- AMENITY OPEN SPACE - N/A
- FLOOR AREA RATIO PERMITTED - 2.0
- FLOOR AREA RATIO PROVIDED - 89298 S.F./220076 S.F. = 0.39
- PROPERTY OWNER - FRP ROSSVILLE LIMITED PARTNERSHIP
- TAX ACCOUNT #22-00-011276
- STORM WATER MANAGEMENT FOR ROSSVILLE INDUSTRIAL PARK IS PROVIDED BY CENTRAL FACILITY NO. 1637 DATED 10/13/80.
- ROSSVILLE INDUSTRIAL PARK PLAN APPROVED BY TEMPORARY PLAN DATED 7/16/81.
- LOTTING COVERAGE WITH PAVING - 4.0 AC±
- AREA TO BE VEGETATIVELY STABILIZED - 1.19 AC±
- LANDSCAPING PLAN TO BE PREPARED BY LANDSCAPE ARCHITECT IN ACCORDANCE WITH THE MANUAL AS PART OF BUILDING PERMIT WITHOUT REDUCTION OF PARKING SPACES
- SITE LIGHTING SHALL BE ADJUSTED AND ADDED TO PROVIDE ADEQUATE ILLUMINATION, BUT SHALL BE ORIENTED NOT TO REFLECT ONTO ADJACENT STREETS OR BUILDINGS
- ALL PARKING SPACES SHALL BE PAVED WITH THE DURABLE DUSTLESS SURFACE PROPERLY DRAINED AND ALL PARKING SPACES SHALL BE PERMANENTLY STRIPED.

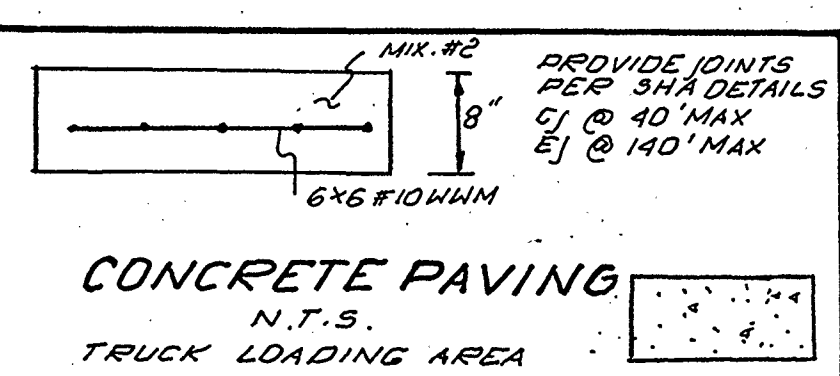
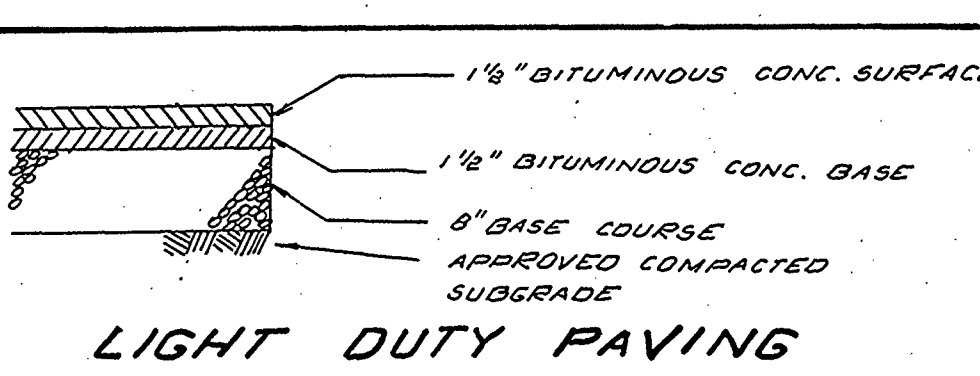
**PARKING TABULATION:**

PARKING REQUIRED:	PROPOSED OFFICE/WAREHOUSE BUILDING - 90750 S.F.	
15% GENERAL OFFICE - 13,612 S.F. @ 3.3 P.S./1000 S.F.		44,357 P.S.
85% WAREHOUSE - 7,137 S.F. @ 15 P.S./100 S.F. ON THE LARGEST UNIT - 63.23 EMPLOYEE		69,233 P.S.
<b>TOTAL PARKING SPACES REQUIRED FOR EACH EMPLOYEE</b>		<b>69,233 P.S.</b>
PARKING SPACES PROVIDED - 122 P.S. (INCL. 5 HDOP)		113,585 P.S.
ALL REGULAR PARKING SPACES ARE 8'5" X 18" (MIN.)		
HANDICAP SPACES ARE 13' X 18" (MIN.)		
VAN ACCESSIBLE HANDICAP SPACES ARE 16' X 18" (MIN.)		

- SPECIAL PROVISIONS**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH BALTIMORE COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION AND VUL. PLUMBING CODE UNLESS REFERENCED TO OTHER DETAILS.
  - THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION AND DEPTH OF ALL UTILITIES TO HIS OWN SATISFACTION PRIOR TO INITIATION OF ANY CONSTRUCTION.
  - CONTRACTOR SHALL NOTIFY THE GAS AND ELECTRIC COMPANY AND THE WATER UTILITY & 1-800-457-7777.
  - ONLY SUITABLE MATERIAL SHALL BE USED AS FILL UNDER THE DIRECTION OF THE DEVELOPER'S INSPECTOR AND IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORTS PROVIDED BY THE OWNER. DRYING OF SOILS TOO WET FOR SPECIFIED MATERIALS SHALL BE ACCOMPLISHED BY DISCING AS REQUIRED. WEATHER PERMITTING.
  - BACKFILL OF ALL UTILITY TRENCHES, EXCEPT ONLY SUITABLE MATERIAL, SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698.
  - ANY DAMAGE TO EXISTING RIGHT OF WAY, PUBLIC ROADS, UTILITIES OR ADJACENT PROPERTIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
  - CONTRACTOR SHALL MAINTAIN A MINIMUM TWO FOOT WIDE BENCH BEHIND ALL PROPOSED CURB IN FILL AREAS.
  - CONTRACTOR SHALL FURNISH A COVER OVER PROPOSED WATER MAINS OF 12" MIN. OTHERWISE NOTED.
  - CONTRACTOR SHALL FURNISH A COVER LETTER CERTIFYING THAT ALL WATER MAINS HAVE BEEN STABILIZED BY METHODS OUTLINED IN THE BALTIMORE COUNTY PLUMBING CODE. THE STABILIZATION SHALL BE CONDUCTED BY (AND THE CERTIFICATIONS SIGNED BY) A TESTING COMPANY SUCH AS PENNAVA (235-1044), SHERMAN LABS (583-1500) OR OTHER COMPANIES APPROVED BY THE BALTIMORE COUNTY PLUMBING INSPECTOR.
  - CONTRACTOR SHALL FURNISH OWNER A LETTER CERTIFYING THAT PRESSURE TESTS HAVE BEEN SATISFACTORILY MADE AND A LETTER FROM THE BALTIMORE COUNTY FIRE DEPARTMENT INDICATING THAT PRESSURE TESTS FOR FIRE LINES HAVE BEEN SATISFACTORILY COMPLETED.
  - CONTRACTOR TO VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL WATER, COVER AND STORM DRAIN CONNECTIONS AT THE BUILDING WITH THE MECHANICAL CONTRACTOR BEFORE BEGINNING CONSTRUCTION OF SERVICE CONNECTIONS TO SERVE THE BUILDINGS.
  - SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND DETAILS OF WALLS, WALLS, STEPS, AND 1"X1" PAINTING ADAPTED TO BUILDING.
  - ALL PARKING SPACES SHALL BE MARKED WITH SOLID 4" WIDE STANDARD WHITE PAINTED LINES FOR THE FULL DEPTH OF PARKING SPACE.
  - ALL PAINTED ISLANDS AND HANDICAPPED ISLES SHALL BE MARKED WITH SOLID 4" WIDE STANDARD WHITE PAINTED PERIMETER LINES WITH 4" WIDE WHITE SOLID DIAGONAL LINES AT 2' ON CENTER.
  - ALL DISTURBED AREAS NOT TO RECEIVE PAVING SHALL BE STABILIZED WITH A MINIMUM OF 2" TOPSOIL, SEED AND MULCH AS SPECIFIED ON THE EROSION CONTROL PLAN OR AS SPECIFIED ON THE LANDSCAPING PLAN.

### LEGEND

- PROPERTY LINE
- R/W LINE
- EXISTING GROUND
- PROPOSED GRADE
- EXISTING WATER
- PROPOSED WATER
- EXISTING SEWER
- PROPOSED SEWER
- EXISTING CURB
- ZONING LINE ML-1M
- PROPOSED CURB
- LIGHT DUTY PAVING



GEORGE WILLIAM STEPHENS, JR.  
AND ASSOCIATES, INC.  
CIVIL ENGINEERS & LAND SURVEYORS  
658 KENILWORTH DRIVE, SUITE 100  
TOWSON, MARYLAND 21204  
(301) 255-6120

OWNER  
**O. Z. LIMITED PARTNERSHIP**  
C/O F.R.P. DEVELOPMENT CORPORATION  
340 EVOTON CIRCLE SUITE 100  
SPARKS MD. 21152  
(410) 771-4100

DRAWN:  
DESIGN:  
CHECKED:  
COMPLY WITH BLDG. DEPT. COMMENTS  
B 211099

SITE PLAN  
FOR  
**ROSSVILLE INDUSTRIAL PARK**  
**LOT 7B**  
BALTIMORE CO. MD. 15 TH ELECT. DIST.  
SCALE 1"=50' MAY 20 1994  
SHT. 1 OF 1  
REVISED: AUG. 5, 1994