

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATE OCCUPATIONAL SAFETY LAWS. SEE HANFORD COUNTY STANDARD SPECIFICATIONS.
2. ALL ELEVATIONS BASED ON U.S.G.S. DATUM. ALL PIPE ELEVATIONS ARE TO INVERT OF PIPE.
3. BEFORE THE START OF CONSTRUCTION, THE CONTRACTOR IS TO VERIFY THE LOCATION OF EXISTING UTILITIES BY CONTACTING "MISS UTILITY" (1-800-257-7777) 72 HOURS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES AND BY PHONE THREE (3) DAYS BEFORE STARTING ANY CONSTRUCTION. C&P TELEPHONE AT (301) 392-2110, BGE AT (301) 254-5699 AND AT&T AT (301) 259-9900.
4. WATER MAINS TO HAVE A MINIMUM OF 3' COVER EXCEPT WHERE GREATER DEPTHS ARE INDICATED.
5. ALL MATERIAL AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT REVISION OF THE STANDARD SPECIFICATIONS AND DETAILS FOR SANITARY SEWER AND WATER OF THE HANFORD COUNTY DEPARTMENT OF PUBLIC WORKS.
6. ALL P.V.C. WATER AND SEWER MAINS AND SERVICES SHALL BE BACK-FILLED A MINIMUM OF 6" BELOW SUBGRADE TO TOP OF PIPE WITH #6 STONE OR CLEAN SAND (FREE OF STONES-SAND SHALL BE COMPACTED). SEWER SERVICES SHALL HAVE #6 STONE COVER ONLY (NO SAND).
7. THREE INCH NONMETALLIC TAPE MANUFACTURED BY ALLEN SYSTEMS OR APPROVED EQUAL TO BE INSTALLED 18" ABOVE ALL WATER AND SEWER LINES AND HOUSE CONNECTIONS. (COLORS SHALL BE BLUE FOR WATER, GREEN FOR SEWER).
8. FOR ALL NON-METALLIC SEWER SERVICES AND/OR FENCE MAINS, A TEN GAUGE BARE COPPER WIRE SHALL BE TIED TO THE TOP OF THE PIPE EVERY TEN (10) LINEAL FEET AND WRAPPED AROUND VALVE BOX ETC. SO THAT A MAGNETIC LOCATOR CAN BE ATTACHED TO IT EASILY. A CONTINUOUS CONDUCTIVITY SHALL BE MAINTAINED.
9. BACKFILL OPERATION TO SUBGRADE WILL BE KEPT WITHIN 100 FEET OF EXCAVATION AND PIPE LAYING OPERATIONS. ALL TRENCHES WILL BE CLOSED AT THE END OF THE WORK DAY AND ALL BACKFILL WILL BE GRADED IN SUCH A WAY AS TO PREVENT FLOODING OF SURFACE WATER OVER TRENCH AREAS.
10. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND DETAILS OF WALLS, WALKS, STEPS AND LINE PAINTING NEXT TO THE BUILDING.
11. CONTRACTOR TO VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL WATER, SEWER AND STORM DRAIN CONNECTIONS AT THE BUILDING WITH THE MECHANICAL CONTRACTOR BEFORE BEGINNING CONSTRUCTION OF SERVICE CONNECTIONS TO SERVE THE BUILDING.
12. STANDARD MANUFACTURERS LENGTH OF PIPE SHALL BE USED FOR ALL WATER AND SEWER MAINS AND SERVICES, IN ORDER TO MINIMIZE THE NUMBER OF JOINTS.
13. WHERE REQUIRED BY ENCOUNTERED SPRINGS OR OTHER SEEPAGE CONDITIONS, UNDERDRAIN PIPE SHALL BE INSTALLED USING 6 INCH DIAMETER PERFORATED UNDERDRAIN PIPE MEETING TOWN OF BEL AIR STANDARD SPECIFICATIONS.
14. ALL INLETS AND MANHOLES SHALL BE BACK-FILLED WITH NO. 57 AGGREGATE FOR A WIDTH OF 15 FEET OUTSIDE PERIMETER OF INLET AS PER SECTION 603 OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, HANFORD COUNTY ROAD CODE, EFFECTIVE DATE JANUARY 1998.
15. ALL INLETS GRATES TO BE TILT BAR GRATES OR APPROVED EQUAL.
16. ALL PARKING SPACES SHALL BE MARKED WITH SOLID 4" WIDE STANDARD WHITE PAINTED LINES FOR THE FULL DEPTH OF PARKING SPACE.
17. ALL PAINTED ISLANDS AND HANDICAPPED ISLES SHALL BE MARKED WITH SOLID 4" WIDE STANDARD WHITE PAINTED PERIMETER LINES WITH 8" WIDE SOLID DIAGONAL LINES AT 2' ON CENTER. THE CENTER LINE OF ALL SERVICE DRIVES AND ACCESS ROADWAYS (NOT PARKING ISLES) SHALL BE MARKED WITH SOLID 4" WIDE STANDARD YELLOW CENTER LINE EXCEPT FOR BREAKS AT THE INTERSECTION WITH OTHER SERVICE DRIVES. SEE SITE PLAN FOR ADDITIONAL PAVEMENT MARKINGS.
18. ALL DISTURBED AREAS NOT TO RECEIVE PAVING SHALL BE STABILIZED WITH A MINIMUM OF 4" TOPSOIL, SEED AND MULCH AS SPECIFIED ON THE SEEDING CONTROL PLAN OR AS SPECIFIED ON THE LANDSCAPING PLAN.
19. CONTRACTOR TO PROVIDE A 3 FOOT MINIMUM BENCH BEHIND THE CURB IN ALL FILL AREAS.
20. HANDICAP SPACES SHALL COMPLY WITH CURRENT A.D.A. GUIDELINES FOR SLOPE, MATERIALS AND SIGNAGE.
21. ALL LIGHTING IS TO BE ERECTED 50 AS NOT TO INTERFERE WITH TRAFFIC.
22. ALL OF THE LANDSCAPE PLANS WILL BE PROVIDED.
23. STORMWATER MANAGEMENT FOR THE ENTIRE BUSINESS PARK (INCLUDING LOT 2) HAS BEEN APPROVED FEBRUARY 1997.
24. ALL ON-SITE WATER AND SEWER LINES WILL BE PRIVATELY OWNED. SAMPLING MANHOLES WILL BE INSTALLED AT RIGHT OF WAY LINES.
25. AT LEAST ONE FIRE HYDRANT WILL BE LOCATED WITHIN 100' OF ALL SPRINKLER CONNECTIONS.
26. ALL BUILDINGS WILL HAVE A FIRE HYDRANT WITHIN 100 FEET OF THE SPRINKLER CONNECTION.

PAVING SECTION

8" CONCRETE MIX #2 WITH FIBER MESH

HEAVY DUTY

1 1/2" BITUMINOUS CONC. SURFACE
2 1/2" BITUMINOUS CONC. BASE
14" DENSE GRADED STABILIZED AGGREGATE
BASE COURSE

LIGHT DUTY

1 1/2" BITUMINOUS CONC. SURFACE
1 1/2" BITUMINOUS CONC. BASE
9" DENSE GRADED STABILIZED AGGREGATE
BASE COURSE
APPROVED COMPACTED SUBGRADE

PUBLIC REFERENCE DRAWINGS

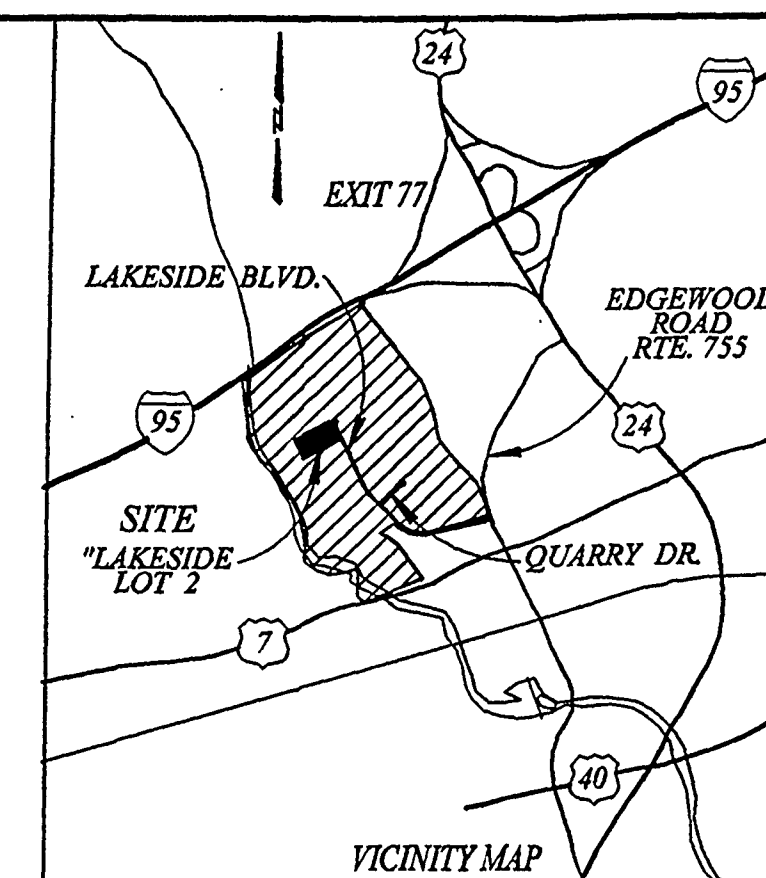
ROAD & STORM DRAIN DWG #208145
SANITARY DWG #19236
WATER DWG #19236

SHEET INDEX

SHEET 1 OF 2- SITE PLAN & STORM DRAIN PROFILES
SHEET 2 OF 2- LANDSCAPE PLAN

LEGEND

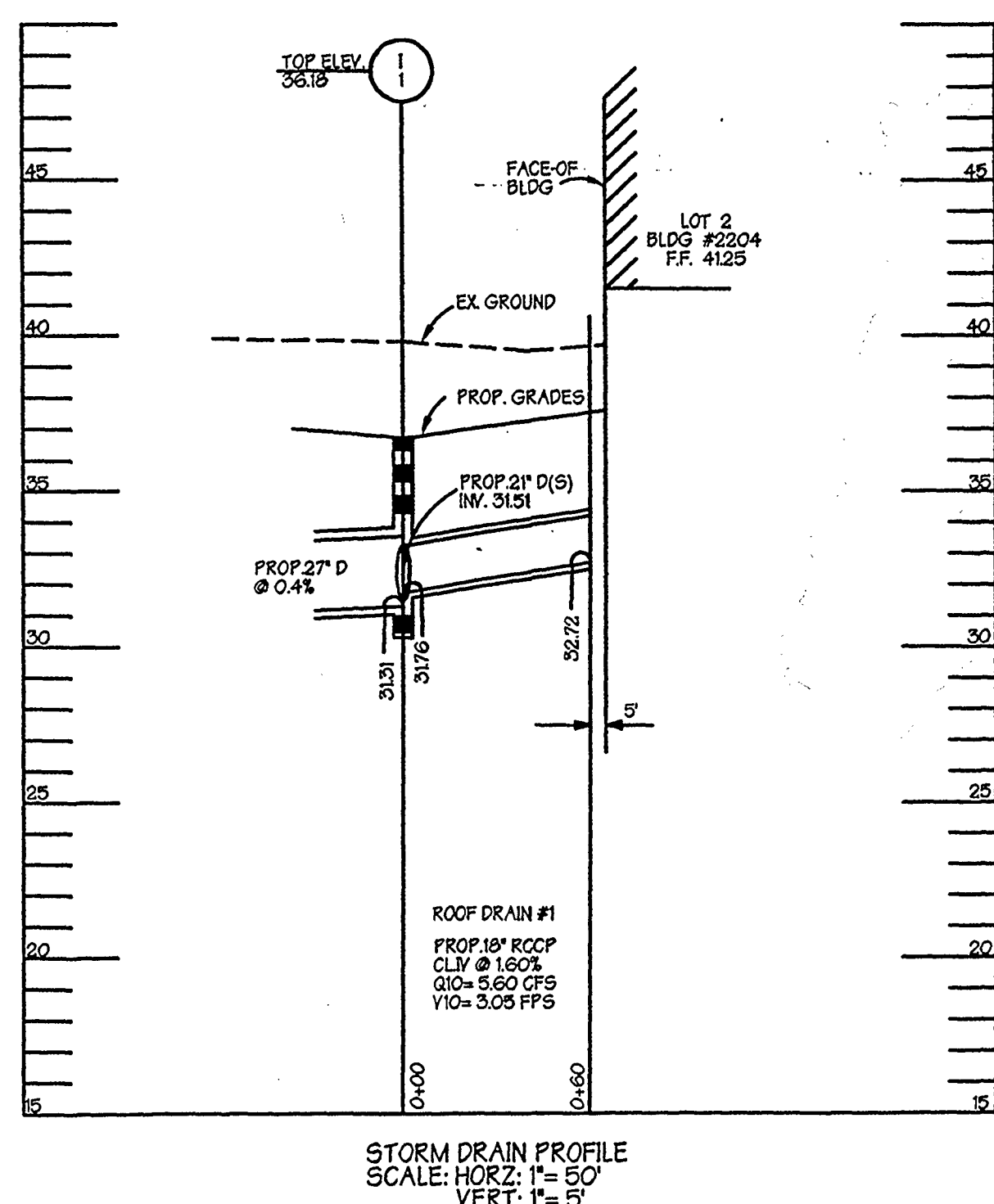
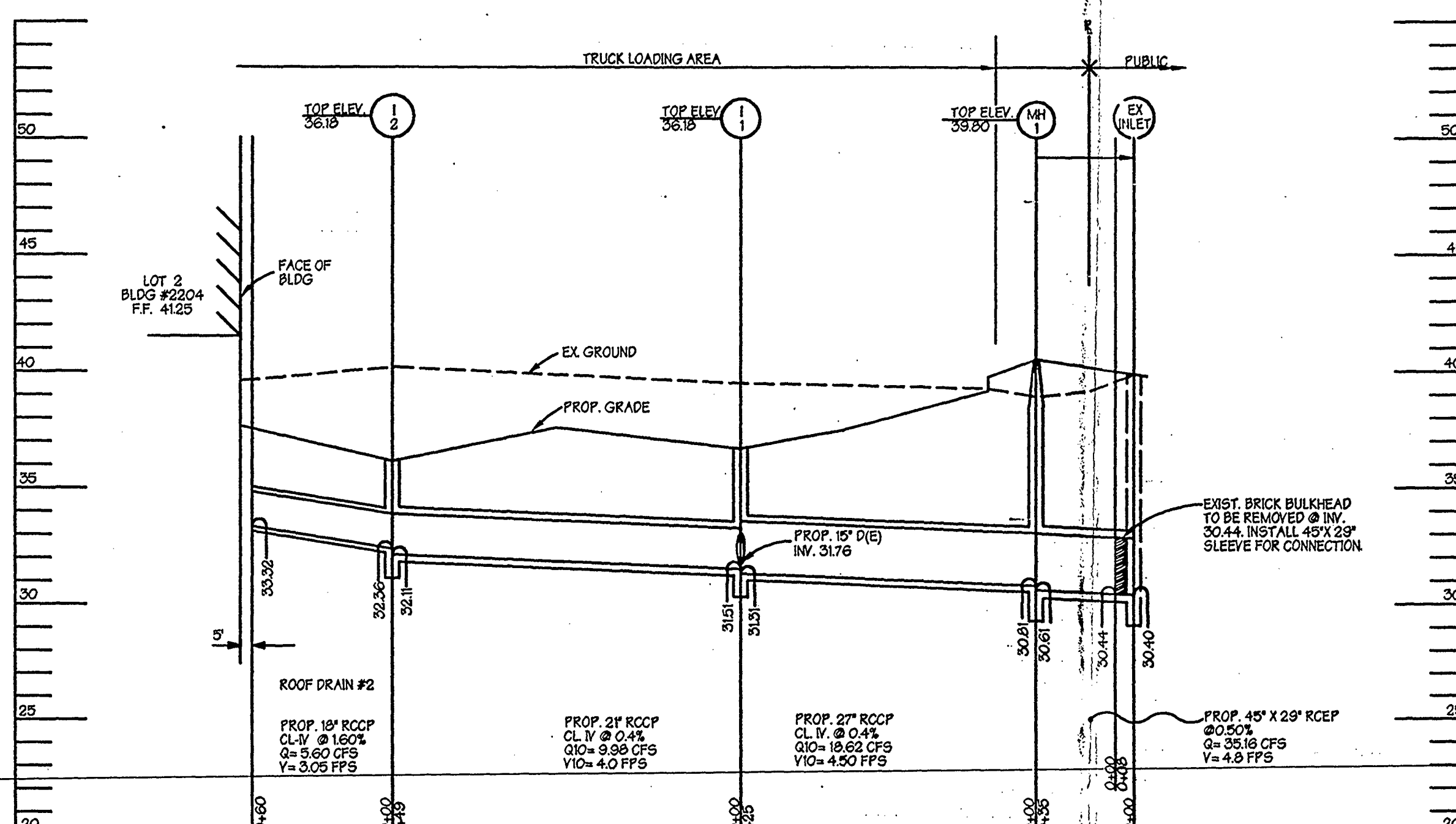
PROPERTY LINE	---
PROP. CONTOURS	---
PROP. CURB & GUTTER	---
PROP. STORM DRAIN	---
PROP. SANITARY	---
PROP. WATER	---
FUTURE CURB & GUTTER	---
FUTURE CONTOURS	---
EXIST. CONTOURS	---
EXIST. CURB & GUTTER	---
EXIST. STORM DRAIN	---
EXIST. SANITARY	---
EXIST. WATER	---



BENCH MARKS: GTS-1 REBAR SET 1% OFF FACE CURB N.E. CORNER INTERSECTION OF MD RTE. 7 AND MD RTE. 755. ELEVATION = 36.41 USED AS COORDINATE VALUES. NAD83, 460.512 EL. 507.414 664.

SITE DATA

1. TOTAL SITE AREA = 4.96 AC.
2. EXISTING ZONING LI
3. TAX MAP 61 PART OF PARCEL 147 C.G.H. 102/27
4. EXISTING USE VACANT
5. PROPOSED USE OFFICE/WAREHOUSE
- 20% OFFICE 14,900 SF
80% WAREHOUSE 59,600 SF
TOTAL 74,500 SF
6. TOTAL BUILDING COVERAGE:
PERMITTED 60%
PROVIDED 74,500 SF / 1,215,622 SF = 32%
7. TOTAL IMPERVIOUS AREA:
PERMITTED 90%
PROVIDED 70%
8. BUILDING HEIGHT:
PERMITTED 40'
PROVIDED 32'
9. REQUIRED LOT SETBACKS:
FRONT 25'
SIDE 10'
REAR 25'
10. PARKING TABULATION
PARKING SPACES REQUIRED:
OFFICE 14,900 SF @ 1 PS/300 SF = 50 PS
WAREHOUSE 59,600 SF @ 1 PS/1400 SF = 43 PS
TOTAL P.S. REQUIRED = 93 PS
PARKING SPACES PROVIDED:
LOADING SPACES REQUIRED: 16
LOADING SPACES PROVIDED: 16
ALL REQUIRED PARKING SPACES ARE: 9' X 18' (MIN)
HANDICAP SPACES ARE: 12' X 18' (MIN)
VAN ACCESSIBLE HANDICAP SPACES ARE: 12' X 22' (MIN)



INLET SCHEDULE					
NO.	TYPE	INV. IN.	INV. OUT.	TOP ELEV.	REMARKS
I-1	D.B.L. 'S'	31.51 / 31.76	31.31	36.18	PLATE D-23
I-2	D.B.L. 'S'	32.36	32.11	36.18	PLATE D-23

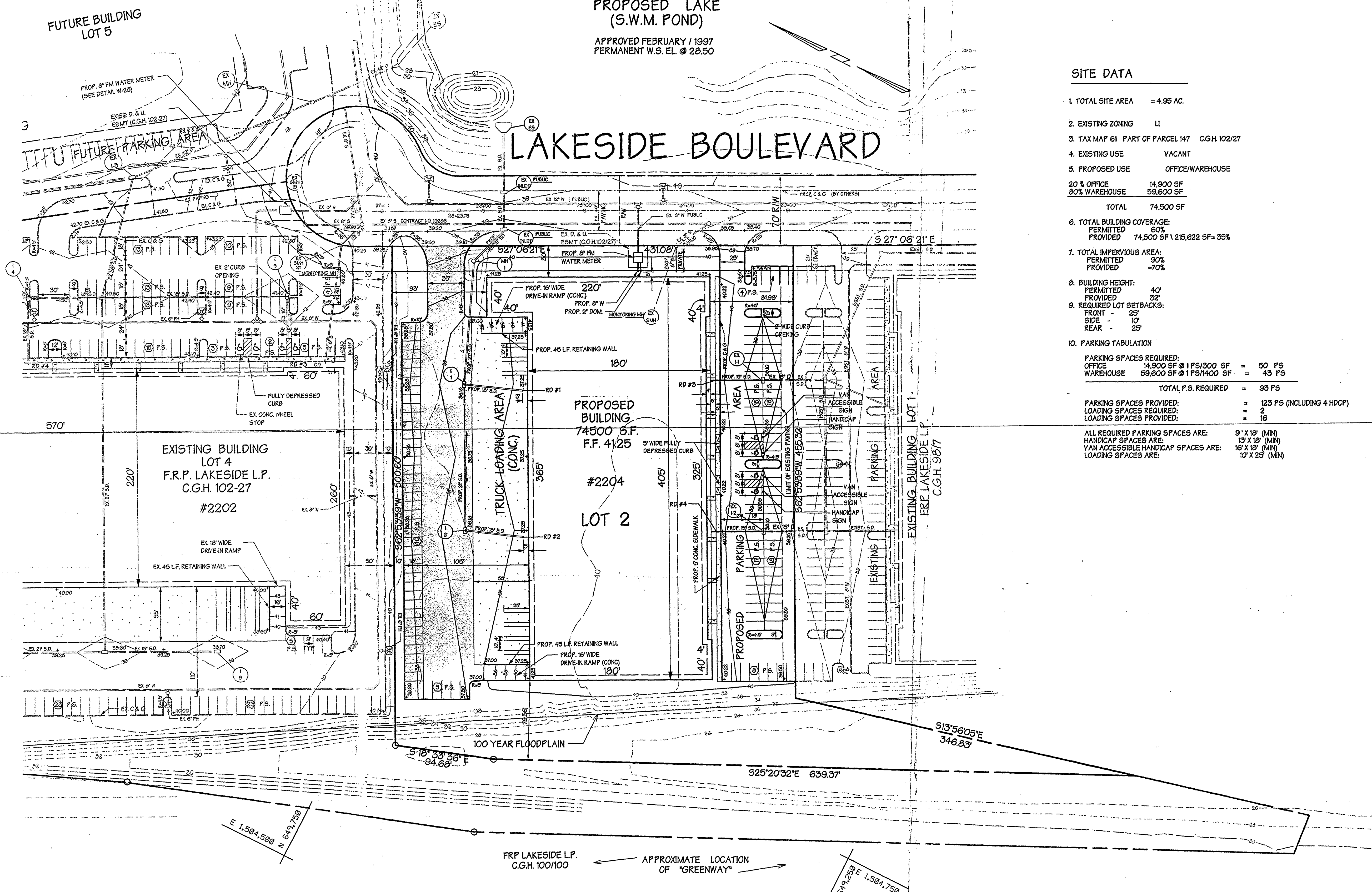
STRUCTURE SCHEDULE					
NO.	TYPE	INV. IN.	INV. OUT.	TOP ELEV.	REMARKS
M-1	TYPE C MANHOLE	33.81	33.61	39.80	PLATE D-66

NOTE:

THE PLAN P/S 241/95 (95-244-001) PROPOSES TO CREATE ELEVEN INDUSTRIAL LOTS AND TO CONSTRUCT BUILDINGS ON LOTS 5, 6 & 7 HAS BEEN APPROVED ON 6/12/96
REVISED 2/26/98

NOTE:

THE PLAN S 99-341-3 PROPOSED ONE OFFICE/WAREHOUSE BUILDING ON LOT 2 AND ONE OFFICE/WAREHOUSE BUILDING ON LOT 4 HAS BEEN APPROVED ON 9/15/2000
REVISION: 4/18/06
INCREASED SIZE OF THE PROPOSED BUILDING FROM 66,400 S.F. TO 74,500 S.F. REVISED PARKING LAYOUT.



PLAN
SCALE: 1" = 50'

COMMERCIAL SERVICE APPLICATION No. **221**

SITE PLAN & STORM DRAIN
PROFILES

FOR

LAKESIDE LOT 2

HANFORD COUNTY, MD. FIRST ELECTION DISTRICT
P/O TAX MAP 61 PARCEL 147 SHEET 1 OF 2

C.G.H. 102-27

SCALE: 1" = 50'

DATE: APRIL, 2006

DEVELOPER / OWNER

FRP LAKESIDE LLC. #4
FRP DEVELOPMENT CORP., SOLE MEMBER
34 LOVELON CIRCLE, SUITE 100
SPARKS, MARYLAND 21152
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