

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATE OCCUPATIONAL SAFETY LAWS. SEE HANFORD COUNTY STANDARD SPECIFICATIONS.
2. ALL ELEVATIONS BASED ON U.S.G.S. DATUM. ALL PIPE ELEVATIONS ARE TO INVERT OF PIPE.
3. BEFORE THE START OF CONSTRUCTION, THE CONTRACTOR IS TO VERIFY THE LOCATION OF EXISTING UTILITIES BY CONTACTING "M&S UTILITY" (1-800-367-7777) 72 HOURS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES AND BY PHONE THREE (3) DAYS BEFORE STARTING ANY CONSTRUCTION. C&P TELEPHONE AT (301) 392-2110, RGE AT (301) 224-5699 AND AT&T AT (301) 593-9800.
4. WATER MAINS TO HAVE A MINIMUM OF 36" COVER EXCEPT WHERE GREATER DEPTHS ARE INDICATED.
5. ALL MATERIAL AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT REVISION OF THE STANDARD SPECIFICATIONS AND DETAILS FOR SANITARY SEWER AND WATER OF THE HANFORD COUNTY DEPARTMENT OF PUBLIC WORKS.
6. ALL P.V.C. WATER AND SEWER MAINS AND SERVICES SHALL BE BACK-FILLED A MINIMUM OF 6" BELOW SUBGRADE TO TOP OF PIPE WITH #6 STONE OR CLEAN SAND (FREE OF STONES-SAND SHALL BE COMPACTED). SEWER SERVICES SHALL HAVE #6 STONE COVER ONLY. (NO SAND).
7. THREE INCH NON-METALLIC TAPE MANUFACTURED BY ALLEN SYSTEMS OR APPROVED EQUAL TO BE INSTALLED 18" ABOVE ALL WATER AND SEWER LINES AND HOUSE CONNECTIONS. (COLORS SHALL BE BLUE FOR WATER, GREEN FOR SEWER).
8. FOR ALL NON-METALLIC SEWER SERVICES AND/OR FENCE MAINS, A TEN GAUGE BARE COPPER WIRE SHALL BE DUCT TAPED TO THE TOP OF THE PIPE EVERY TEN (10) LINEAR FEET AND WRAPPED AROUND VALVE BOX, ETC. SO THAT A MAGNETIC LOCATOR CAN BE ATTACHED TO IT EASILY. A CONTINUOUS CONDUCTIVITY SHALL BE MAINTAINED.
9. BACKFILL OPERATION TO SUBGRADE WILL BE KEPT WITHIN 100 FEET OF EXCAVATION AND PIPE LAYING OPERATIONS. ALL TRENCHES WILL BE CLOSED AT THE END OF THE WORK DAY, AND ALL BACKFILL WILL BE GRADED IN SUCH A WAY AS TO PREVENT PONDING OF SURFACE WATER OVER TRENCH AREAS.
10. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND DETAILS OF WALLS, WALKS, STEPS AND LINE PAINTING NEXT TO THE BUILDING.
11. CONTRACTOR TO VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL WATER, SEWER AND STORM DRAIN CONNECTIONS AT THE BUILDING WITH THE MECHANICAL CONTRACTOR BEFORE BEGINNING CONSTRUCTION OF SERVICE CONNECTIONS TO SERVE THE BUILDING.
12. STANDARD MANUFACTURERS LENGTH OF PIPE SHALL BE USED FOR ALL WATER AND SEWER MAINS AND SERVICES, IN ORDER TO MINIMIZE THE NUMBER OF JOINTS.
13. WHERE REQUIRED BY ENCOUNTERED SPRINGS OR OTHER SEEPAGE CONDITIONS, UNDERDRAIN PIPE SHALL BE INSTALLED USING 6 INCH DIAMETER PERFORATED UNDERDRAIN PIPE MEETING TOWN OF BEL AIR STANDARD SPECIFICATIONS.

14. ALL INLETS AND MANHOLES SHALL BE BACKFILLED WITH NO. 57 AGGREGATE FOR A WIDTH OF 18 FEET OUTSIDE PERIMETER OF INLET AS PER SECTION 603 OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, HANFORD COUNTY ROAD CODE, EFFECTIVE DATE, JANUARY 1988.
15. ALL INLETS GRATES TO BE TILT BAR GRATES OR APPROVED EQUAL.
16. ALL PARKING SPACES SHALL BE MARKED WITH SOLID 4" WIDE STANDARD WHITE PAINTED LINES FOR THE FULL DEPTH OF PARKING SPACE.
17. ALL PAINTED ISLANDS AND HANDICAPPED ISLES SHALL BE MARKED WITH SOLID 4" WIDE STANDARD WHITE PAINTED PERIMETER LINES WITH 6" WIDE SOLID DIAGONAL LINES AT 2' ON CENTER. THE CENTER LINE OF ALL SERVICE DRIVES AND ACCESS ROADS (NOT PARKING ISLES) SHALL BE MARKED WITH SOLID 4" WIDE STANDARD YELLOW CENTER LINE EXCEPT FOR BREAKS AT THE INTERSECTION WITH OTHER SERVICE DRIVES. SEE SITE PLAN FOR ADDITIONAL PAVEMENT MARKING.
18. ALL DISTURBED AREAS NOT TO RECEIVE PAVING SHALL BE STABILIZED WITH A MINIMUM OF 4" TOP SOIL, SEED AND MULCH AS SPECIFIED ON THE SEDIMENT CONTROL PLAN OR AS SPECIFIED ON THE LANDSCAPING PLAN.
19. CONTRACTOR TO PROVIDE A 2 FOOT MINIMUM BENCH BEHIND THE CURB IN ALL FILL AREAS.
20. HANDICAP SPACES SHALL COMPLY WITH CURRENT A.D.A. GUIDELINES FOR SLOPE, MATERIALS AND SIGNAGE.
21. ALL LIGHTING IS TO BE ERECTED SO AS NOT TO INTERFERE WITH TRAFFIC.
22. ALL OF THE LANDSCAPE PLANS WILL BE PROVIDED.
23. STORMWATER MANAGEMENT FOR THE ENTIRE BUSINESS PARK (INCLUDING LOT 1A) HAS BEEN APPROVED FEBRUARY 1997.
24. ALL ON-SITE WATER AND SEWER LINES WILL BE PRIVATELY OWNED. SAMPLING MANHOLES WILL BE INSTALLED AT RIGHT OF WAY LINES.
25. AT LEAST ONE FIRE HYDRANT WILL BE LOCATED WITHIN 100' OF ALL SPRINKLER CONNECTIONS.
26. ALL WORK WITHIN LAKESIDE BLVD. (INCLUDING ENTRANCES) IN THE FRONT OF LOT 1A WILL BE DONE UNDER PUBLIC CONTRACT PRIOR TO THE ISSUANCE OF THE USE AND OCCUPANCY PERMIT.
27. ALL BUILDINGS WILL HAVE A FIRE HYDRANTS WITHIN 100 FEET OF THE SPRINKLER CONNECTION.

PAVING SECTION

8" CONCRETE MIX #2 WITH FIBER MESH

HEAVY DUTY

1 1/2" BITUMINOUS CONC. SURFACE
2 1/2" BITUMINOUS CONC. BASE
14" DENSE GRADED STABILIZED AGGREGATE
BASE COURSE

LIGHT DUTY

1 1/2" BITUMINOUS CONC. SURFACE
2 1/2" BITUMINOUS CONC. BASE
9" DENSE GRADED STABILIZED AGGREGATE
BASE COURSE
APPROVED COMPACTED SUBGRADE

PUBLIC REFERENCE DRAWINGS

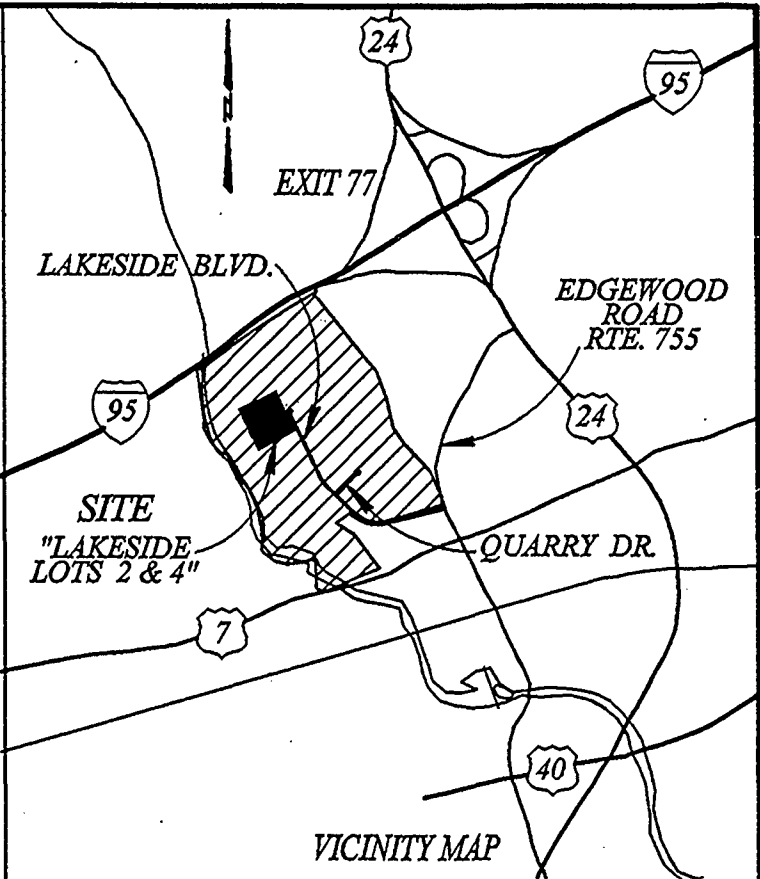
ROAD & STORM DRAIN DWG #208145
SANITARY DWG #19236
WATER DWG #19236

SHEET INDEX

SHEET 1 OF 3 - SITE PLAN
SHEET 2 OF 3 - STORM DRAIN AND SANITARY PROFILES
SHEET 3 OF 3 - LANDSCAPE PLAN

LEGEND

PROPERTY LINE	---
PROP. CONTOURS	--- 50' ---
PROP. CURB & GUTTER	--- 2' D ---
PROP. STORM DRAIN	--- 2' D ---
PROP. SANITARY	--- 8" S ---
PROP. WATER	--- 8" W ---
FUTURE CURB & GUTTER	---
FUTURE CONTOURS	--- 50' ---
EXIST. CONTOURS	--- 50' ---
EXIST. CURB & GUTTER	--- 2' D ---
EXIST. STORM DRAIN	--- 2' D ---
EXIST. SANITARY	--- 8" S ---
EXIST. WATER	--- 8" W ---



BENCH MARKS: GWS-1 REBAR SET 3" OFF FACE CURB N.E. CORNER INTERSECTION OF MD RTE. 7 AND MD RTE. 735. ELEV. = 30.51 NAD 83 COORDINATE VALUES N648,460.912 E1,507,414.664.

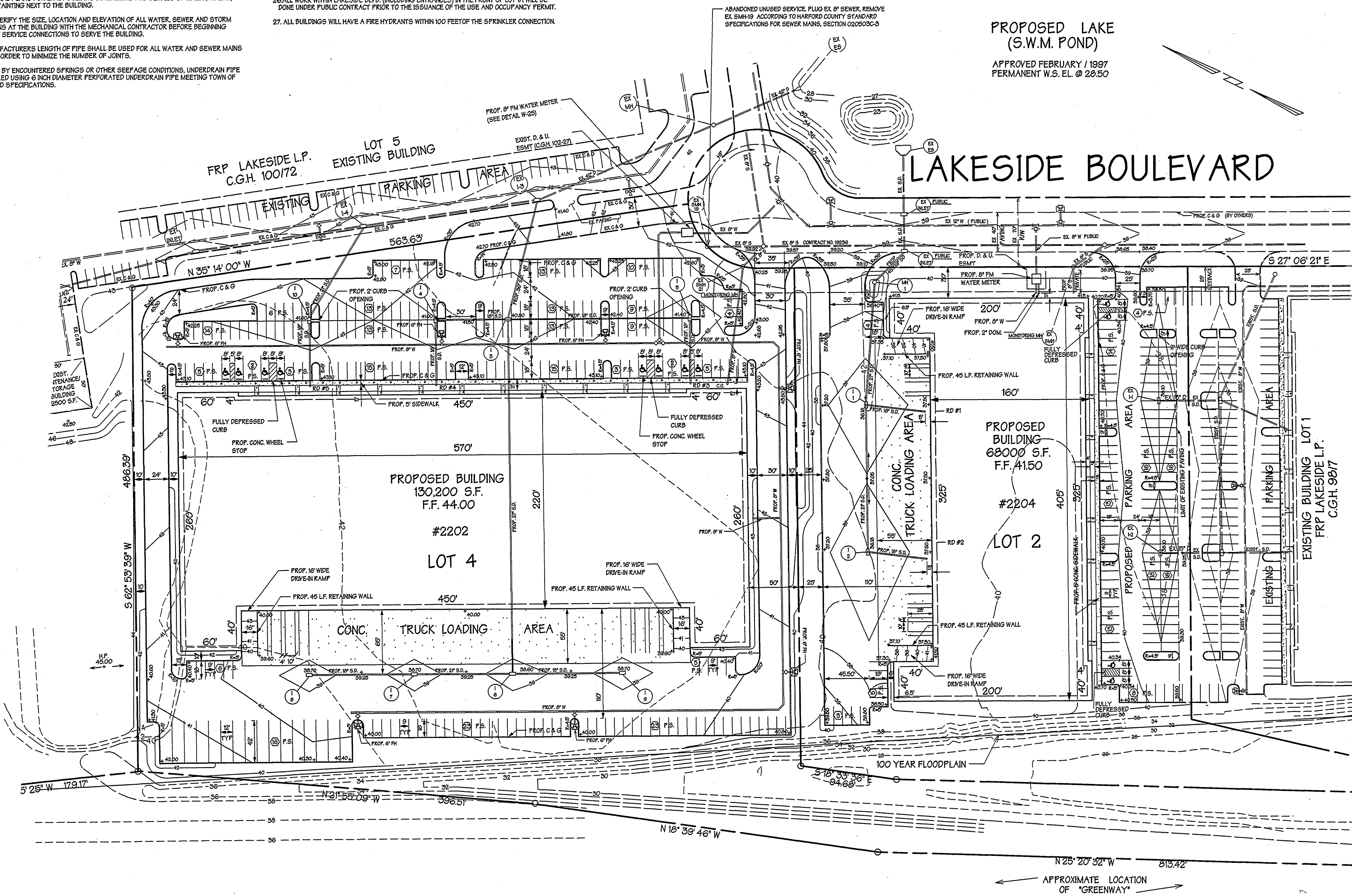
SITE DATA

1. TOTAL SITE AREA LOT 2 = 4.95 AC.
LOT 4 = 5.85 AC.
2. EXISTING ZONING U
3. TAX MAP #1 PART OF PARCEL 147 CGH 100119
4. EXISTING USE VACANT
5. PROPOSED USE OFFICE/WAREHOUSE
- LOT 2
20% OFFICE 13,600 SF
80% WAREHOUSE 54,400 SF
TOTAL 68,000 SF
- LOT 4
20% OFFICE 26,040 SF
80% WAREHOUSE 104,160 SF
TOTAL 130,200 SF

6. TOTAL BUILDING COVERAGE:
PERMITTED 80%
PROVIDED LOT 2 68,000 SF 1,215,622 SF = 32%
LOT 4 130,200 SF 1,435,422 SF = 30%
7. TOTAL IMPERVIOUS AREA:
PERMITTED 80%
PROVIDED LOT 2 = 70%
LOT 4 = 74%
8. BUILDING HEIGHT:
PROVIDED 40'
PERMITTED 32'
9. REQUIRED LOT SETBACKS:
FRONT 25'
SIDE 10'
REAR 25'
10. PARKING TABULATION

A) LOT 2	
PARKING SPACES REQUIRED:	
OFFICE 13,600 SF @ 1 PS/300 SF =	45.3 PS
WAREHOUSE 54,400 SF @ 1 PS/1400 SF =	38.86 PS
TOTAL P.S. REQUIRED =	85 PS
PARKING SPACES PROVIDED:	
LOADING SPACES REQUIRED:	2
LOADING SPACES PROVIDED:	16
B) LOT 4	
PARKING SPACES REQUIRED:	
OFFICE 26,040 SF @ 1 PS/300 SF =	86.8 PS
WAREHOUSE 104,160 SF @ 1 PS/1400 SF =	74.4 PS
TOTAL P.S. REQUIRED =	162 PS
PARKING SPACES PROVIDED:	
LOADING SPACES REQUIRED:	4
LOADING SPACES PROVIDED:	38

ALL REQUIRED PARKING SPACES ARE: 8' X 12' (MIN)
HANDICAP SPACES ARE: 12' X 12' (MIN)
VAN ACCESSIBLE HANDICAP SPACES ARE: 12' X 12' (MIN)
LOADING SPACES ARE: 10' X 25' (MIN)



PLAN
SCALE: 1" = 50'

FRP LAKESIDE L.P.
C.G.H. 2444/1730

REVISED 11/29/00
ADD NOTE: EXIST. SANITARY SERVICE FOR LOT 4 TO BE ABANDONED AND PLUGGED.

COMMERCIAL SERVICE APPLICATION No. 7621

SITE PLAN
FOR

LAKESIDE LOTS 2 & 4

HANFORD COUNTY, MD. FIRST ELECTION DISTRICT
P/O TAX MAP #1 PARCEL 147 SHEET 1 OF 3
SCALE: 1" = 50' DATE: SEPTEMBER, 2000

BLDG

Baltimore Land Design Group Inc.
Consulting Engineers

222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21030
PHONE: 410.229.9851 FAX: 410.229.9865 BLDGNC@WINSTARMAIL.COM

NOTE:

THE PLAN P/S 241/95 (95-244-001) PROPOSES TO CREATE ELEVEN INDUSTRIAL LOTS AND TO CONSTRUCT BUILDINGS ON LOTS 5, 6 & 7 HAS BEEN APPROVED ON 6/12/96

REVISED 2/26/98

NOTE:

THE PLAN 589-341-3 PROPOSED TWO OFFICE / WAREHOUSE BUILDINGS ON LOTS 2 & 4 HAS BEEN APPROVED ON 09-06-00.

NOTE:

EXISTING SANITARY MANHOLE SMH #19 SHALL BE ABANDONED AND EXISTING 8" SEWER TO BE PLUGGED.

DEVELOPER / OWNER

FRP LAKESIDE L.L.C. #4
FRP DEVELOPMENT CORP., SOLE MEMBER
34 LOVETON CIRCLE, SUITE 100
SPARKS, MARYLAND 21152
PHONE: (410) 771-4100