

VICINITY MAP
SCALE: 1" = 2000'
COORDINATES SHOWN HEREON ARE BASED ON PLANE COORDINATES MARYLAND STATE GRID SYSTEM "BERKE" AZIMUTH MARK 1964 - N 477,803.34 E 854,187.53

GENERAL NOTES
1. CONTRACTOR SHALL STAKE OUT EXIST. & WATER LINE AND 20' EASEMENT CONTACT HOWARD CO. BUREAU OF UTILITIES TO SCHEDULE INSPECTION BY COUNTY REPRESENTATIVE (313-4900).
2. FINISHED GROUND OVER WATER MAIN SHALL NOT BE LOWER THAN EXISTING GROUND.
3. INSTALL SIGN (2' x 18") ON FENCE "UNDERGROUND PUBLIC WATER MAIN - MATERIALS SHALL NOT BE STORED BETWEEN WHITE LINES".
4. OWNER SHALL PROVIDE BUREAU OF UTILITIES A KEY TO GATE LOCK.

USE	TOTAL AREA (Ft ²)	REQUIREMENT	SPACE REQ'd
OFFICE	15,325	1 Sp./200 Ft. ²	77
WAREHOUSE	137,023	1 Sp./2000 Ft. ²	67
TOTAL SPACES REQUIRED			146
TOTAL SPACES PROVIDED*			172

F. PROPOSED SITE COVERAGE:
PROP. BUILDING AREA = 153,248 S.F. (31.6%)
PROP. PAVED AREA = 181,017 S.F. (37.6%)
PROP. GREEN AREA = 147,748 S.F. (30.6%)
TOTAL PROPOSED SITE = 482,013 S.F.

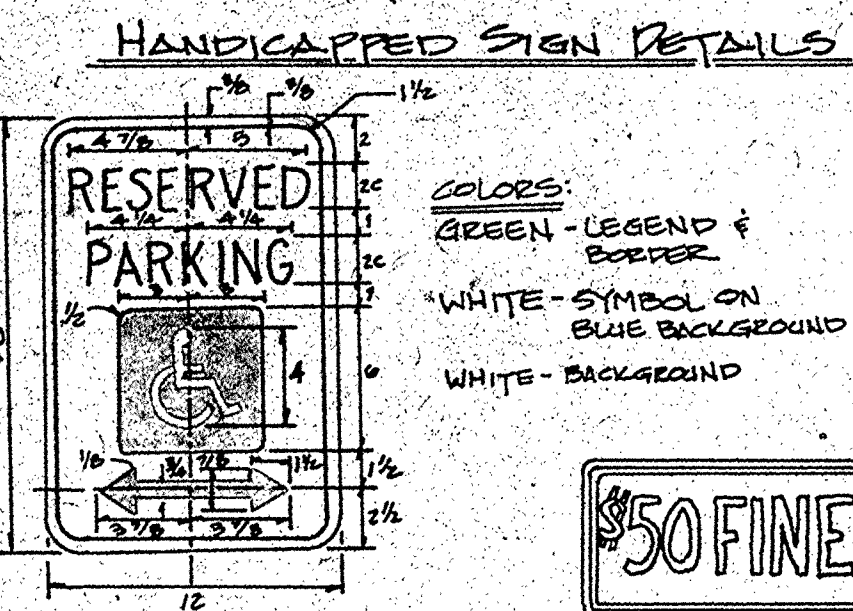
2. PUBLIC WATER & SEWER TO BE UTILIZED
3. CONSTRUCTION:
A. CALL "MISS UTILITY" 48 HOURS PRIOR TO STARTING CONSTRUCTION AT 555-0100.
B. ALL DAMAGES TO PUBLIC R/W AREA, PAVING, CURB & GUTTER SHALL BE REPAIRED AT OWNER'S EXPENSE.
C. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST HOWARD COUNTY STANDARD DETAILS AND SPECIFICATIONS.

LEGEND
⑥ - NUMBER OF PARKING SPACES PER BAY
Ⓢ - HANDICAPPED PARKING
- - - EX. CONTOURS
- - - PROP. CONTOURS
Ⓢ - EX. SEWER & MANHOLE
- - - PROP. SEWER & MANHOLE
Ⓢ - EX. WATER MAIN, VALVE & F.H.
- - - PROP. WATER MAIN, VALVE & F.H.
- - - EX. STORM DRAIN
- - - PROP. STORM DRAIN

NOTE:
1) BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF WALL.
2) STORMWATER MANAGEMENT FOR THIS SITE PROVIDED BY REGIONAL FLOOD APPROVE 6-86. (G.F.B.G. 50) (F.B.G. 210)
3) PRESTON & DOSEY R/W ED. ARE PUBLIC R

BUILDING NUMBER	STREET ADDRESS
BUILDING #1	8230 PRESTON COURT
BUILDING #2	8240 PRESTON COURT
SUBDIVISION NAME	SECTION 2
B.W.I.P.	PARCEL 2
PLAT NO.	745G
BLOCK NO.	2
ZONE	M-2
TAX MAP	48
ELECT. DIST. KEN	6
SEWER CODE	3020000

BALTIMORE WASHINGTON INDUSTRIAL PARK-SEC. II
LOT 'D'
SITE PLAN
ELECTION DISTRICT 10.48
JUNE 9, 1986
SDF-86-285



STANDARD 87-B RESERVED PARKING SIGN
#50 FINE SIGN: SIGN TO OBTAIN AN ALUMINUM BLANK 6"x12"x0.080 INCH THICK WITH TWO (2) SINGLE POST MOUNTING HOLES. THE TEXT AND BORDER SHALL BE STANDARD GREEN TO MATCH THAT ON 87-B AND THE BACKGROUND SHALL BE REFLECTIVE WHITE. TEXT SHALL BE IN 3" CHARACTERS. SIGN SHALL BE MOUNTED DIRECTLY BELOW THE STANDARD 87-B RESERVED PARKING SIGN. THE BOTTOM EDGE SHALL BE NO LESS THAN 7 FEET ABOVE GROUND. ALL HANDICAPPED SIGNS SHALL BE PLACED 2'-0" (MIN) BEHIND CURBS AT EACH HANDICAPPED PARKING SPACE.

ELEV. BLDG. #1 250.87	
ELEV. BLDG. #2 246.97	
FF. BLDG. #1 226.20	
FF. BLDG. #2 221.70	

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, STORM DRAINAGE SYSTEMS AND PUBLIC USE BY DEPARTMENT OF PUBLIC WORKS
DATE: 11-10-86
COUNTY HEALTH OFFICER: [Signature]
APPROVED: OFFICE OF PLANNING & ZONING

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.
DATE: 11-10-86
COUNTY HEALTH OFFICER: [Signature]
APPROVED: OFFICE OF PLANNING & ZONING

THE ARUNDEL CORPORATION
ARUNDEL CORPORATE CENTER, SUITE 100
110 WEST RD. TOWSON, MD 21204
(301) 296-6400
LAND SURVEYORS & ENGINEERS



NO.	REVISION	DATE	OWNER/DEVELOPER
1	PER G. 2	8-22-86	JOSEPH J. HOOK, INC.
2	"	9-23-86	5501 BELLEGAARD RD.
3	"	7-21-92	BALTIMORE, MD 21225
4	"	4-25-94	CAO'S - 780 - 4400
5	"	6-23-94	"

DEVELOPER
JOSEPH J. HOOK, INC.
5501 BELLEGAARD RD.
BALTIMORE, MD 21225
CAO'S - 780 - 4400
DATE: 8-27-86