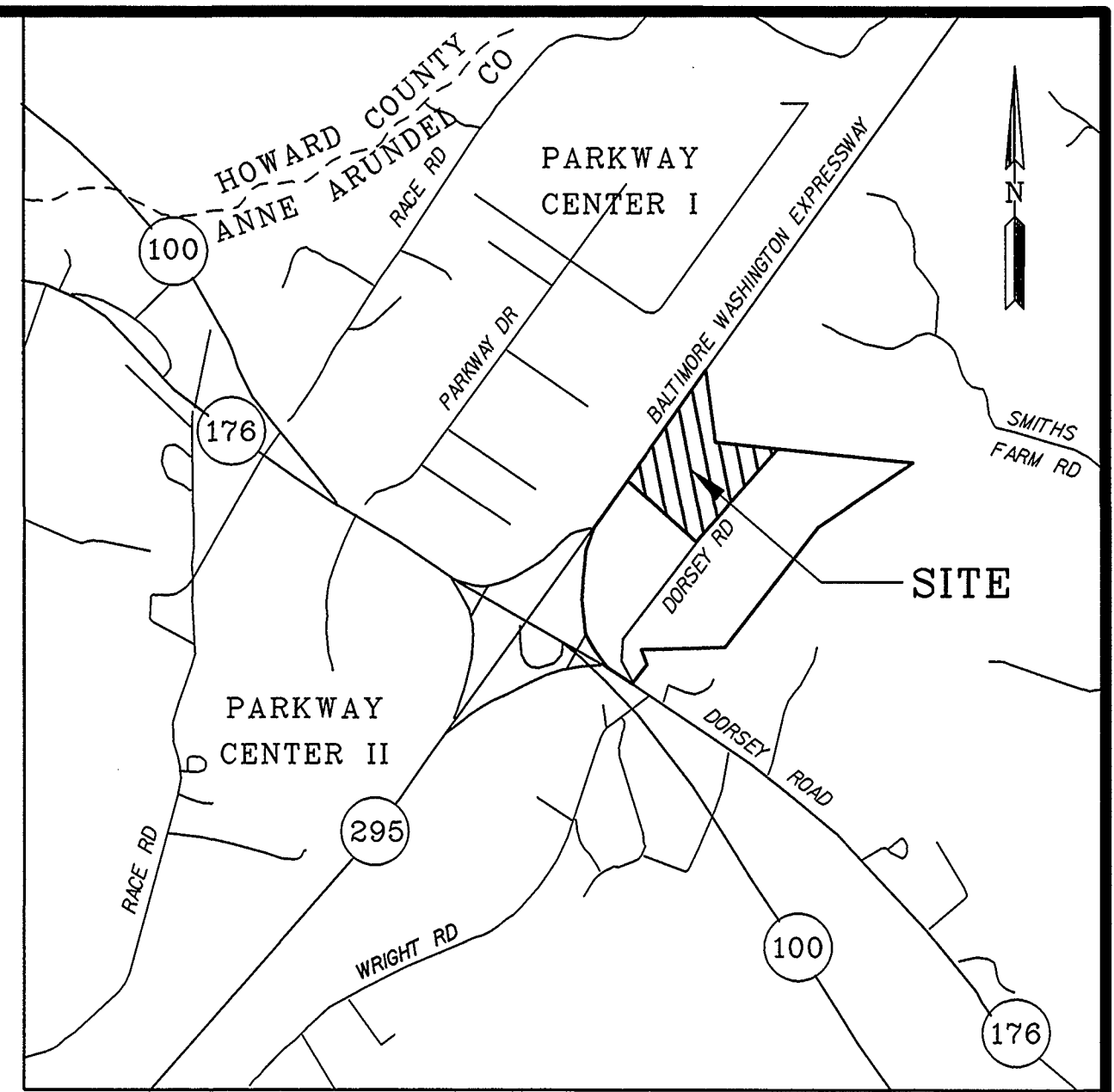


**BENCH MARK**  
CONCRETE MONUMENT #124,  
COORDINATES N 485371.851  
E 878474.871  
YEAR 1973  
ELEVATION 100.990  
DESCRIPTION: BEING A MONUMENT ON  
THE EAST SIDE OF DORSEY ROAD.

- HEAVY DUTY PAVING  
1" BITUMINOUS CONC. SURFACE  
2" BITUMINOUS CONC. BASE  
6" DENSE GRADED STABILIZED  
AGGREGATE BASE COURSE
- LIGHT DUTY PAVING  
1" BITUMINOUS CONC. SURFACE  
2" BITUMINOUS CONC. BASE  
6" DENSE GRADED STABILIZED  
AGGREGATE BASE COURSE  
APPROVED COMPACTED SUBGRADE
- 8" CONCRETE MIX #2  
W/ FIBER MESH



**GENERAL NOTES**

1. ALL WORK SHALL CONFORM TO ANNE ARUNDEL COUNTY STANDARD SPECIFICATIONS AND DETAILS, (SEPTEMBER 1988 AS REVISED) OR AS SHOWN ON THESE APPROVED PLANS.
2. CONTRACTOR SHALL NOTIFY ANNE ARUNDEL COUNTY DEPARTMENT OF INSPECTIONS (410)222-7374, FIVE DAYS PRIOR TO STARTING WORK.
3. CONTRACTOR SHALL NOTIFY MISS UTILITY (800)-257-7777 FIVE DAYS PRIOR TO STARTING WORK.
4. EXISTING UTILITIES ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR AND THE COMPLETENESS OR ACCURACY OF THE SAME IS NOT GUARANTEED. THE CONTRACTOR SHALL DETERMINE THE LOCATION AND ELEVATION OF THE EXISTING UTILITIES BEFORE ORDERING ANY STRUCTURE AND BEFORE STARTING TRENCH EXCAVATION. ANY DAMAGE TO OFF-SITE RIGHT OF WAY, ROADS OR ADJACENT PROPERTY CAUSED BY THE CONTRACTOR SHALL BE REPAIRED IMMEDIATELY. THE COST OF THE SUCH REPAIRS SHALL BE BORNE BY THE CONTRACTOR.
5. ALL WORK SHALL COMPLY WITH ALL APPLICABLE REVISIONS OF THE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION SEDIMENT CONTROL" ISSUED BY THE U.S. DEPARTMENT OF AGRICULTURE, SOIL AND CONSERVATION SERVICE.
6. FIRE HYDRANTS ARE TO BE PAINTED "SAFETY YELLOW", AND RISER PIPE PAINTED "GLOSS BLACK".
7. ALL PIPE ELEVATIONS ARE TO INVERT OF PIPE.
8. CONTRACTOR TO PLACE A WITNESS POST AT THE TERMINUS OF ALL UTILITY STUBS.
9. CONTRACTOR SHALL PROVIDE A MINIMUM OF THE TWO FEET OF PROTECTIVE FILL OVER STORM DRAIN PIPES DURING CONSTRUCTION.
10. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
11. CONTRACTOR TO VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL WATER, SEWER AND STORM DRAIN CONNECTIONS AT THE BUILDING WITH THE MECHANICAL CONTRACTOR BEFORE BEGINNING CONSTRUCTION OF SERVICE CONNECTIONS TO SERVE THE BUILDING.
12. STANDARD MANUFACTURES LENGTH OF PIPE SHALL BE USED FOR ALL WATER, SEWER MAINS AND SERVICES, IN ORDER TO MINIMIZE THE NUMBER OF JOINTS.
13. CONTRACTOR TO MAINTAIN 4 FEET COVER OVER THE PROPOSED WATERLINE OR AS SHOWN AT CROSSINGS.
14. CONTRACTOR TO PROVIDE A 2FT MINIMUM BENCH BEHIND THE CURB IN ALL FILL AREAS.
15. SUITABLE MATERIAL SHALL BE USED AS FILL AND ALL FILL SHALL BE PLACED AND COMPACTED AS SPECIFIED WITHIN THE SOILS REPORT, PREPARED BY ECS LTD. IN MARCH 2001.
16. WHERE REQUIRED BY ENCOUNTERED GEEPAGE CONDITIONS, A DEWATERING CONSISTING OF A SERIES OF INTERCEPTOR TRENCHES AND SUMPS AND PUMPS MAY BE USED DURING CONSTRUCTION.
17. CONTRACTOR SHALL PROVIDE ALL PAVEMENT MARKINGS AND SIGNAGE FOR HANDICAP SPACES INDICATED ON HEREON IN ACCORDANCE WITH ALL APPLICABLE CODES.
18. GUARDRAIL SHALL BE INSTALLED WHERE SHOWN AND SHALL BE STATE OF MARYLAND STATE HIGHWAY ADMINISTRATION, GUARDRAIL W/ BEAM, STANDARD NO. 660.00 SERIES INCLUDING END SECTION AT ALL TERMINI.
19. ALL DISTURBED AREAS NOT TO RECEIVE PAVING SHALL BE STABILIZED WITH A MINIMUM OF 4" TOPSOIL, SEED AND MULCH AS SPECIFIED ON THE SEDIMENT CONTROL PLAN OR AS SPECIFIED ON THE LANDSCAPE PLAN.
20. HANDICAP SPACES AND CURB RAMPS SHALL COMPLY WITH CURRENT A.D.A. GUIDELINES FOR SLOPE, MATERIALS AND SIGNAGE.
21. THE CONTRACTOR SHALL FURNISH TO THE OWNER A LETTER STATING THAT ALL WATER MAINS HAVE BEEN STERILIZED AND PRESURE TESTED IN ACCORDANCE WITH ANNE ARUNDEL COUNTY STANDARDS.
22. SEE LANDSCAPING PLAN FOR PROPOSED LANDSCAPING.
23. ALL LIGHTING IS TO BE ERECTED SO AS NOT TO INTERFERE WITH TRAFFIC.
24. SEE SEPARATE PLANS (DESIGN BY OTHERS) FOR THE PROPOSED RETAINING WALLS.

**SEQUENCE OF CONSTRUCTION**

1. OBTAIN ALL PROPER PERMITS.
2. NOTIFY ANNE ARUNDEL COUNTY DEPARTMENT OF PLANNING AND CODE ENFORCEMENT, ENVIRONMENTAL PROGRAMS DIVISION (410) 222-7780 AT LEAST 48 HOURS BEFORE STARTING WORK.
3. INSTALL STABILIZED CONSTRUCTION ENTRANCE, (1 DAY)
4. INSTALL SUPER SILT FENCE AS SHOWN ON THE PLAN. (2 DAYS)
5. AFTER NOTIFYING AND OBTAINING PERMISSIONS FROM SEDIMENT CONTROL INSPECTOR BEGIN CONSTRUCTION OF RETAINING WALL. (10 DAYS)
6. INSTALL STORM DRAIN SYSTEM AND PROVIDE INLET PROTECTION (SILT SACK). MAINTAIN POSITIVE DRAINAGE TO ALL SEDIMENT CONTROL MEASURES AND DEVICES. (10 DAYS)
7. BEGIN GRADING OPERATIONS AND CONSTRUCTION OF THE PROPOSED BUILDING. AS WORK PROGRESSES, INSTALL SANITARY SEWER AND WATER LINES. (2 WEEKS)
8. CONTINUE CONSTRUCTION OF THE BUILDING. PROCEED WITH STONE SUBBASE AND CONC. CURB & GUTTER INSTALLATION. (1 WEEK)
9. STABILIZE ALL REMAINING AREAS. (2 WEEKS)
10. WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL MEASURES AND DEVICES, STABILIZE THOSE AREAS AND PROCEED WITH PAVING OPERATIONS AND LANDSCAPING INSTALLATION. (10 DAYS)

**NOTE:**

PUBLIC STORM DRAIN SYSTEM WITHIN DORSEY ROAD, FROM EX 1-56A TO S.W.M. POND #2, WILL BE INSTALLED BY OTHERS AND INSPECTED BY A.A. COUNTY PRIOR TO ISSUANCE OF GRADING PERMIT FOR LOT 2. SUCH SYSTEM IS ADEQUATE TO RECEIVE RUNOFF FROM LOT 2.

**VICINITY MAP**

SCALE: 1" = 1000'

**LEGEND**

- PROPERTY LINE  
EXIST. STORM DRAIN  
EXIST. SANITARY  
EXIST. WATER  
EX. GRADES  
PROP. GRADES  
PROP. CONCRETE  
EX. CURB & GUTTER  
PROP. CURB & GUTTER  
NO. PROP. PARKING SPACES  
PROP. STORM DRAIN  
PROP. SANITARY  
PROP. WATER

**SITE DATA**

- 1) EX. ZONING - W-1
- 2) EX. USE - OFFICE / WAREHOUSE
- 3) PROPOSED USE - OFFICE / WAREHOUSE
- 4) REQUIRED SETBACK - FRONT - 50 FEET  
REAR - SIDE - 30 FEET FOR PRINCIPAL STRUCTURES  
100 FEET FROM ANY FREEWAY  
EXPRESSWAY 100 FEET FROM ANY LIMITED - ACCESS MAJOR HIGHWAY
- 5) SITE AREA - 10.655 Ac
- 6) BUILDING AREA - 73,288 SF
- 7) PARKING REQUIREMENTS  
10% OFFICE - 7,329 S.F. x .75 / 200sf = 27.48 PS  
90% WAREHOUSE - 66,959 S.F. @ 1PS/1000sf = 66.96 PS  
TOTAL P.S. REQUIRED = 94.44 PS  
PARKING SPACES PROVIDED - 130 P.S. (6 HDCT)  
ALL REQUIRED PARKING SPACES ARE 9'x18' MIN  
HANDICAP SPACES ARE 13'x18' (MIN)  
VAN ACCESSIBLE HANDICAP SPACES ARE 16'x18' (MIN)
- LOADING REQUIREMENTS  
LOADING SPACES REQUIRED: 3  
LOADING SPACES PROVIDED: 4
- IMPERVIOUS AREA: 166,850 S.F. = 3.83 AC.  
%IMPERVIOUS AREA COVERAGE: 36%
- SUBDIVISION NO. 87-032  
PROJECT NO. 99-027

**SHEET INDEX**

- SHEET 1 OF 7: SITE PLAN  
SHEET 2 OF 7: STORM DRAIN PROFILE  
SHEET 3 OF 7: DRAINAGE AREA MAP & SANITARY SEWER PROFILE  
SHEET 4 OF 7: LANDSCAPE PLAN  
SHEET 5 OF 7: SEDIMENT & EROSION CONTROL PLAN  
SHEET 6 OF 7: SEDIMENT & EROSION CONTROL DETAILS  
SHEET 7 OF 7: RETAINING WALL PLAN

Anne Arundel Soil Conservation District  
Sediment and Erosion Control Approval

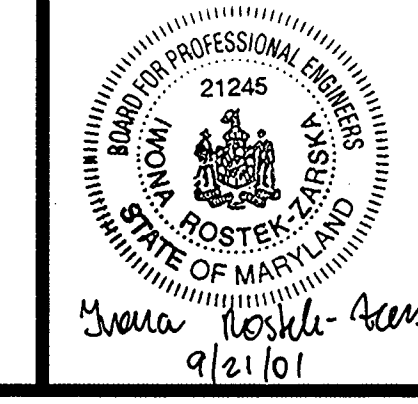
*[Signature]* 9/24/01  
District Official Date

AASCD # 450-34 SMALL POND (S) #

Reviewed for technical adequacy by  
USDA, Natural Resources Conservation Service

**GRADING PERMIT G02008474**

**BLDG**  
Baltimore Land Design Group Inc.  
Consulting Engineers  
222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21030  
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDGNC@WINSTARMAIL.COM



NO.	REVISION	DATE	BY
1	COMPLIED WITH A.A. COUNTY COMMENTS	6/14/01	BLDG
2	COMPLIED WITH A.A. COUNTY COMMENTS	7/30/01	BLDG

**OWNER / DEVELOPER**  
FRP HILLSIDE, LLC  
34 LOVETON CIRCLE, SUITE 100  
SPARKS, MARYLAND 21152  
(410) 771-4100

**SITE PLAN**  
FOR  
**HILLSIDE BUSINESS PARK**  
LOT 2  
PARCEL 624  
ANNE ARUNDEL CO, MARYLAND  
SHEET 1 OF 7  
TAX MAP 8  
FIFTH ASSESSMENT DISTRICT  
SCALE: 1" = 40'  
BLOCK 8 & 9  
L. 9462 P. 111