

**o'mahony pike**



RESIDENTIAL DEVELOPMENT  
Cross Guns Bridge,  
133 Phibsborough Road, Dublin 7  
for Bindford Ltd

SHD PLANNING APPLICATION

DESIGN STATEMENT

January - 2021

1723A-OMP-Design Statement

# Design Team

|                                 |                                    |
|---------------------------------|------------------------------------|
| Masterplanning and Architecture | O'Mahony Pike Architects           |
| Planning Consultants            | Mc Gill Planning                   |
| Civil and Structural Engineers  | Waterman Moylan                    |
| Landscape Architects            | Ait Urbanism + Landscape           |
| Building Services Engineers     | IN2 Engineering Design Partnership |
| Traffic Consultants             | ILTP                               |
| Quantity Surveyors              | Kerrigan Sheanon Newman            |
| Waste Management Consultants    | AWN                                |
| Computer Generated Images       | Modelworks                         |
| Project Manager                 | Corcom                             |

# Introduction

This Design Statement is prepared on behalf of Bindford Ltd to accompany the Planning Application for a residential and mixed-use development on lands at Cross Guns Bridge, 133 Phibsborough Road, Dublin 7.

The applicant Bindford Ltd appointed the design team to take the project from its inception to planning application stage.

Throughout the SHD application process, the applicant and design team have liaised with Dublin City Council.

Two pre-application consultation meetings were held and a third pre-application meeting, due to take place on the 18th March 2020, was carried out via email following the cancellation of the meeting due to COVID 19 outbreak. The design proposal has been developed and amended following each consultation.

Pre-application consultation meeting no. 1 was held in the DCC offices in June 2018.

Pre-application consultation meeting no. 2 was held in the DCC offices in January 2019.

A further submission of clarification information was submitted to the Planning Authority in March 2019 in response to issues raised at the second consultation meeting.

The initial scheme was brought to an advanced stage in May 2019 and an SHD application was prepared but not lodged.

The submission of an SHD application for planning permission was temporarily postponed while the applicant considered commercial options.

The third pre-application consultation, due to take place in March 2020, received feedback via email on the 18th March 2020.

In this document we demonstrate how the design proposal emerged, how this was developed and how it progressed to planning application stage.

The current proposal for development at this site closely resembles the May 2019 proposal , however it has seen further development as a result of lengthy considerations on viability and further expert advice taken in 2019.

While the architectural and urban design intents have been retained, the most significant change to this design proposal being brought to planning application stage in 2020 , is that the development will be a Build to Rent apartment scheme. The information submitted to DCC for Pre-Application consultation no. 3 presents the scheme as a Build to Rent development.

This Design Statement document has been prepared to accompany the design proposal throughout the various stages of the project and the information contained herein tracks the scheme design , from the early stages through to its current form, as presented to Dublin City Council at pre-application consultations and to An Bord Pleanala at the tri-partite SHD pre-application meeting.

The final section of this design statement is a series of responses to items raised in the pre-application consultation opinion of An Bord Pleanala, issued to the applicant following the tri-partite meeting of 02.09.2020 held via Teams.

At the back of the document a set of reduced size planning application architectural drawings is included.

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## Site

- Location
- Context
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# Location

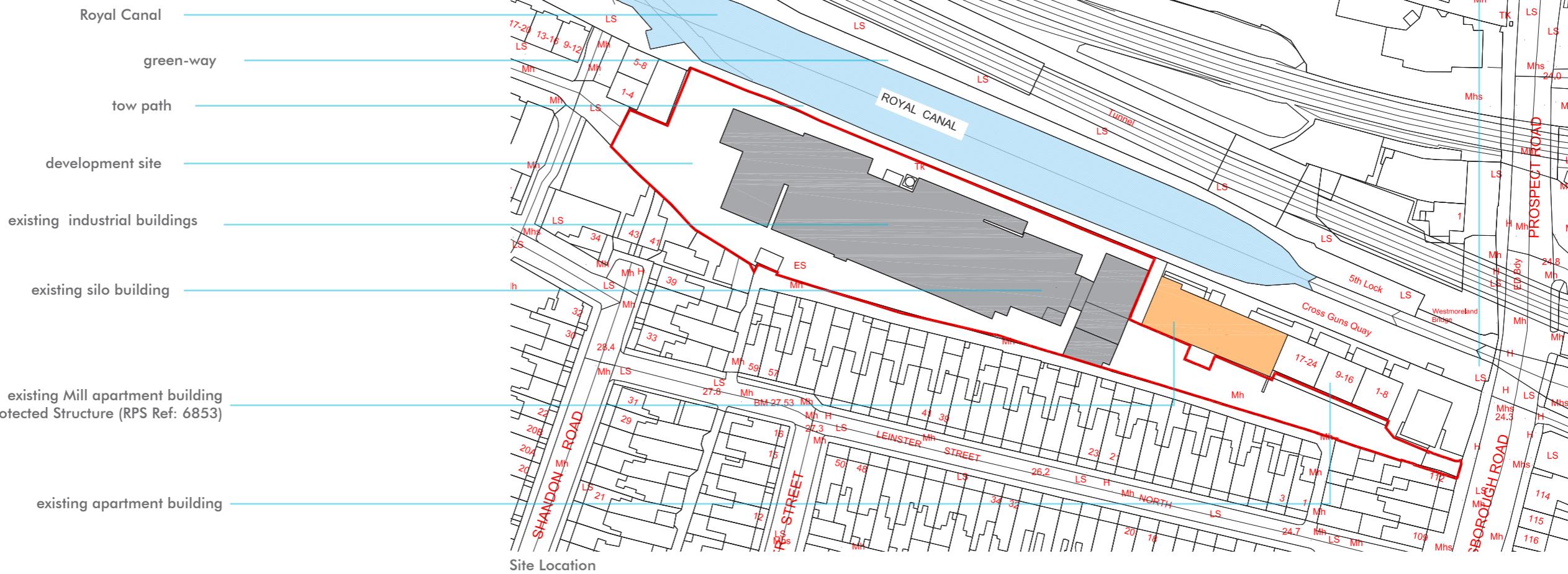
The subject site at Cross Guns Bridge, 113 Phibsborough Road, Dublin 7, is approximately 0.73 Ha (7,269m<sup>2</sup>) in area and is characterised as a brownfield urban site.

The overall lands are bound to the north by the Royal Canal which expands into a wide open basin immediately adjacent to the site. This waterway and associated amenity comprises a tow path pedestrian walkway along the edge of the canal with an extensive Greenway network route on the northern side of the canal.

The southern edge of the site is characterised by existing 2 storey residential development along Leinster Road North. An historical building known as the 'Mill' is located to the east of the site and is a dominant, stone faced building of 7 storeys in height. This building has been converted into an apartment development and is a protected structure (RPS Ref: 6853).

There are a number of existing derelict industrial buildings on the site comprising a low rise warehouse, mid-rise industrial sheds and a high-rise silo building of 27.5M in

height which are remnants of the site's previous industrial use. The extensive footprint of these buildings is indicated on the site location map. It is proposed to demolish these derelict and redundant structures as part of our proposals for the re-development of this site.



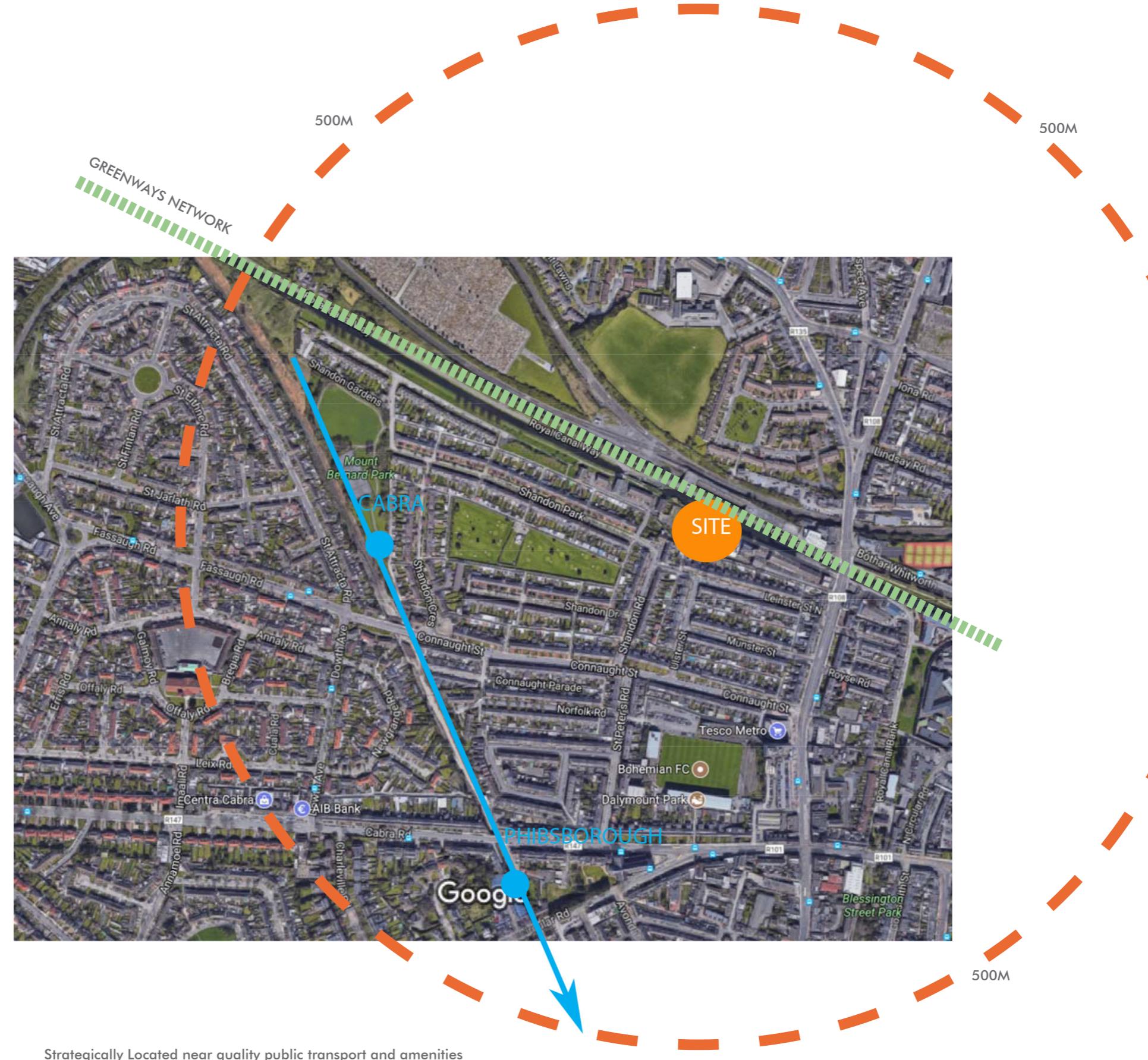
# Context

The overall lands are well located and served by quality public transport. There are 2 proposed stations as part of the Luas Cross City line as indicated on the below map. Both the Cabra and Phibsborough stations are within 500m radius of the site (closer to 300m distance). Cabra station is proposed to be located within Mount Bernard Park. Access by a pedestrian route along the edge of the canal and then via Shandon gardens and Shandon Park is approximately 350 – 400m distance away.

The proposed commuter rail interchange station as indicated on previous LAP is directly to the North of the site on the other side of the canal and approximately 50m away. This is identified as 'SITE 2' on Phibsborough LAP 2015 and incorporates CIE lands.

The lands are within the bounds of Dublin City Council and are approximately 200m from the heart of Phibsboro Village. There is a host of public amenities close by such as the Phibsborough shopping centre which is within 150m walking distance. The site is also in close proximity to avail of the Greenways Network along the canal running from West to East and into the City centre.

As such, the site is ideally located very close to quality public transport and a host of amenities.





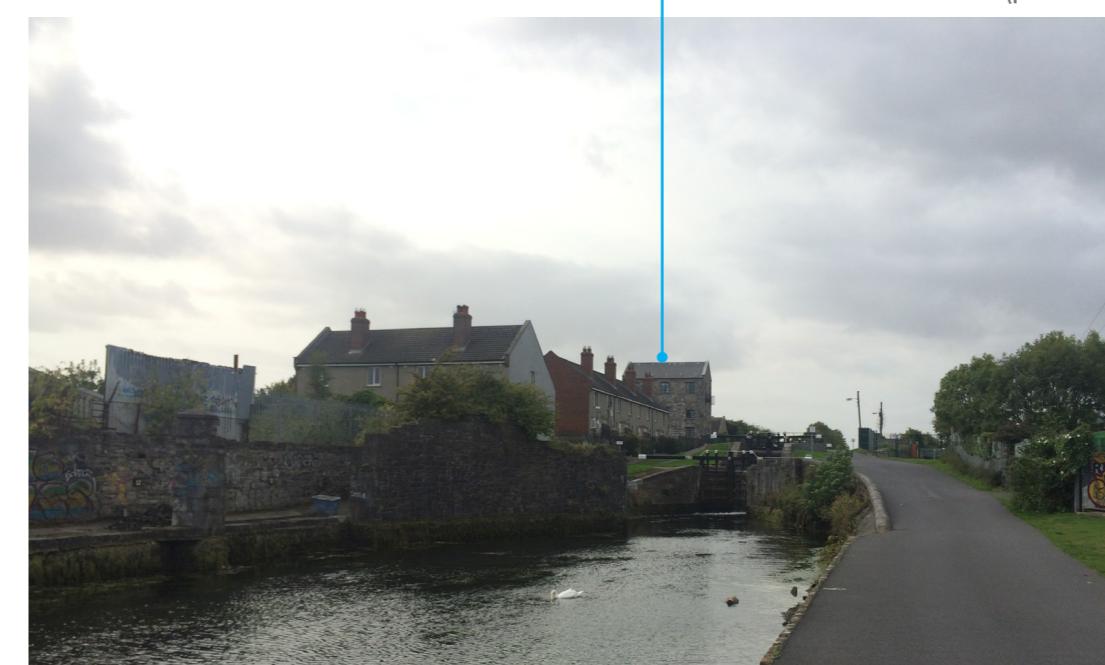
View of canal looking West with Mill building on left



View of canal looking East with Mill building and Silo as dominant structures



View of Mill building from internal access road to site



View along canal looking West with 3 to 4 storey development

# Historic Evolution

One of the oldest settlements in the Phibsborough area is to be found in the locality of Cross Guns.

The existence of the canal in the area led to the establishment of a number of industries along its length, including John Mallet's iron mill (Cross Guns Bridge) and Thomas Duffy's corn mill/ Pin Mill (sixth lock). Mallet's mill was later converted to a grain mill and run as the North City Mills (now apartments).

The character of Phibsborough is also defined by large areas of residential development. A number of houses from the first half of the 19th century survive, generally built of yellow-brown brick with parapet fronts and steps up to the ground floors. The consolidated development in the latter half of the 19th century left a fine stock of red brick terraces associated with the Victorian period.



Royal Canal - historically an industrial area

Existing old Mill building  
Existing tall silo structure



Historic evolution  
Phibsborough LAP 2015-DRAFT. Chapter 4. Fig. 3

# Planning Context

## Dublin City Development Plan (2016-2022)

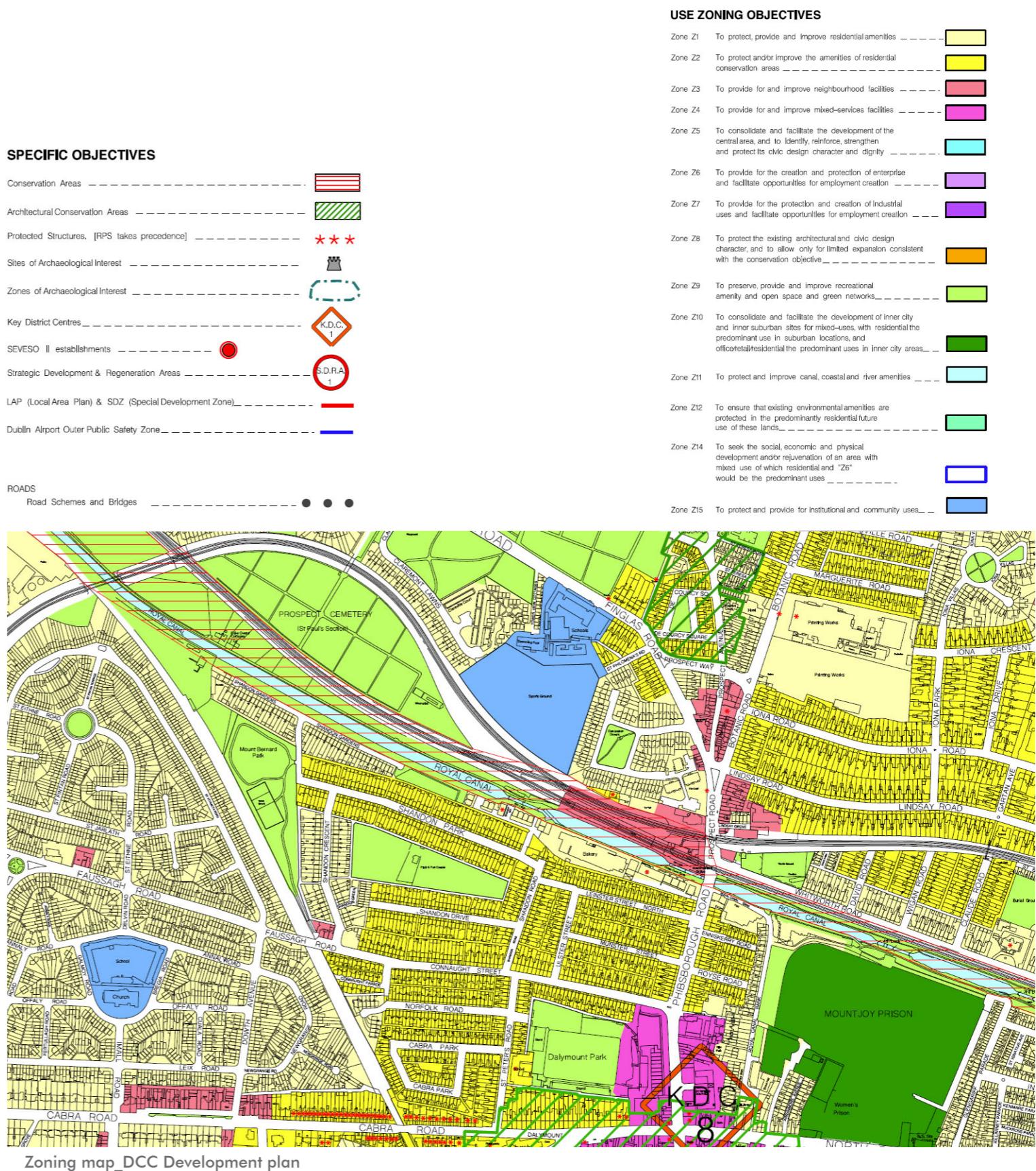
The site is located within a Key District Centre, KDC 8 Phibsborough, and next to a Strategic Green Network as set out in the Dublin City Development plan 2016-2022.

The policy for this site encourages the development/re-development of under-utilised sites. Higher densities will be permitted in District Centres, particularly where they are well served by public transport.

## Zoning

The Development plan designates the subject lands with Z1 Zoning. The use zoning objectives of Zone Z1 are to protect, provide and improve residential amenities.

Refer to McGill Planning Consultants report submitted with this planning application.



## Phibsborough LAP 2015 -DRAFT

Phibsborough as a key developing area and a district centre is shown as capable of providing for 'medium rise' buildings of up to 50m in height, providing that the height and massing do not impact negatively on protected structures and the social and historic heritage of the area. Any proposed new high buildings should create a visually and architecturally coherent and attractive contribution to the skyline. Sites in proximity to public transport hubs are particularly suitable for higher buildings.

It is a specific objective of the city Development Plan to develop a strategic cycle network for Dublin City connecting key city centre destinations to the wider city and the national cycle network. A key element of this objective is the provision of a new cycle link along the Royal Canal.

The physical character of the Phibsborough area is mainly determined by four key elements: the legacy of the nineteenth century canal infrastructure; the transport corridors cutting through the area, the pattern and density of housing in the area; and the presence of large institutions and landmark structures.

The predominantly low-rise character of the area is interrupted by a few larger institutions and higher landmarks, like the Mill buildings at the Royal Canal, the Mill building, the silo and the Phibsborough Shopping Centre.

Phibsborough LAP 2015-DRAFT. Chapter 4. Character of the area

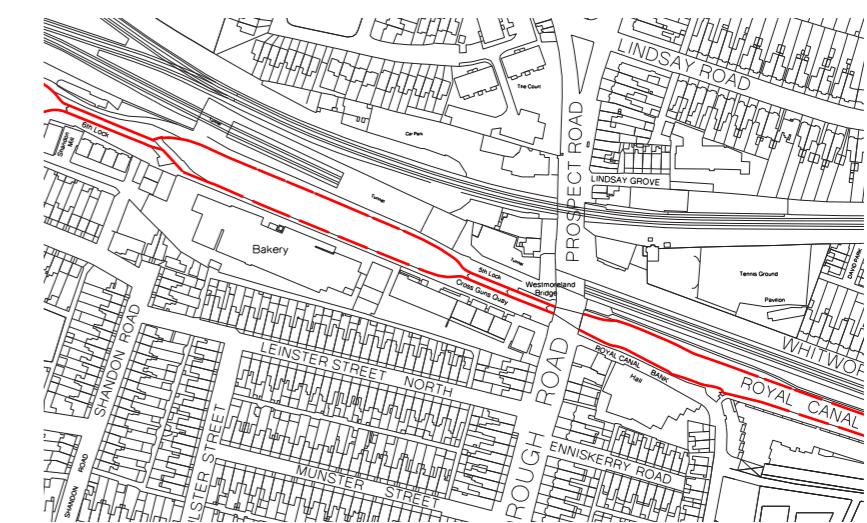
### Royal Canal

The Royal Canal is an important landscape feature which adds to the diversity of the historic environment in the LAP area. In addition to its civil engineering heritage significance, it provides a valuable public amenity space and a habitat for wildlife. The canal climbs steadily as it crosses the area of the Local Area Plan, embracing four locks and producing a spatially dramatic vista towards Croke Park to the east and the former Shandon Mills to the west.

The six storey warehouse mill structure at Cross Gun Bridge rises to a height of 21 meters. The taller structure contrasts sharply with the two storey Victorian housings in its immediate vicinity which are mostly one and two storey Victorian homes. The canal was closed to navigation in 1961. Ownership was transferred to the OPW in 1978 and in 2000 responsibility was transferred to Waterways Ireland, who re-opened it once more for navigation in 2010.



Phibsborough LAP 2015-DRAFT. Chapter 6. Key site framework strategy







02

## Design Development

- Initial Design Proposal
- Pre-Application meeting no. 1
- Scheme Design Development
- Pre-Application meeting no. 2
- Further Design Development
- Pre-Application consultation no. 3
- Tri-partite SHD pre-application meeting

# Initial Design Proposal

## Concept

The following pages show the initial development of ideas on how to develop the site, how to place buildings into the site, how to arrange spaces and respond to the site context.

The diagrams illustrate aspects of the emerging design that were arrived at as a result of considered site analysis.



Emerging Master Layout Plan

## Concept

The initial design proposal was developed having researched the planning constraints and development standards that are applicable to the site.

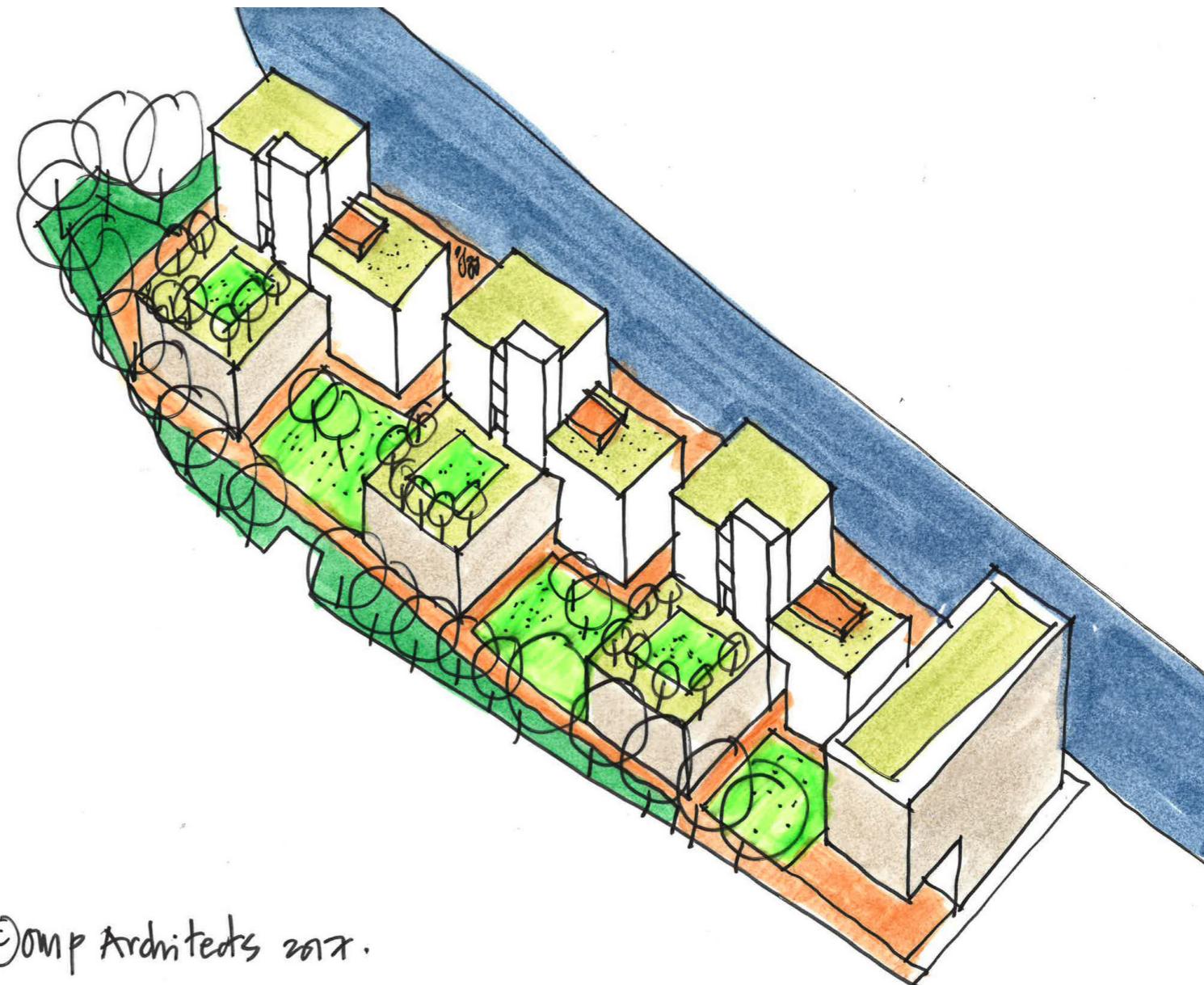
The Dublin City Development plan and the Phibsborough LAP also influenced how the site layout was conceived.

A site analysis and a study of the physical context informed decisions about how to develop a layout masterplan. Several applications for planning permission had previously been made and decisions around these were also influential on the initial concept design.

The following diagrams illustrate certain key aspects of the concept for re-development of the site.

Key considerations were :

- access to the site via the existing entrance road
- scale of the development given the context
- addressing the edges
- transition in scale
- making publically accessible space
- opportunities for increased permeability
- orientation and aspect
- open space within the development
- other uses



## Concept Development



### 1. SITE ACCESS + PERMEABILITY

Site access is from Phibsboro Road via established link which also serves the resident's of the existing Mill building which is currently convertd to residential apartments.

The site benefits from good connectivity to the Greenways Network along the North bank of the canal as indicated on diagram 1 above. It also has a towpath, pedestrian route along its Southern Bank. It is proposed to provide 2 linkages to this pathway from within the site as indicated above in order to provide good permeability and connectivity for resident's.

The proposed development therefore optimises the potential of the Royal canal as a strategic pedestrian and cycle route and a local amenity resource integrated into the design and layout of the development.



### 2. ESTABLISHED HISTORICAL BUILDING LINE

There is a strong building line along the South bank of the canal as established by the historic 'Mill' building highlighted in diagram 2 above. It is intended that the proposed development will respond to this line by providing a strong active edge to the canal which will enhance this public realm as well as provide passive surveillance and enhanced opportunities for permeability and connectivity.

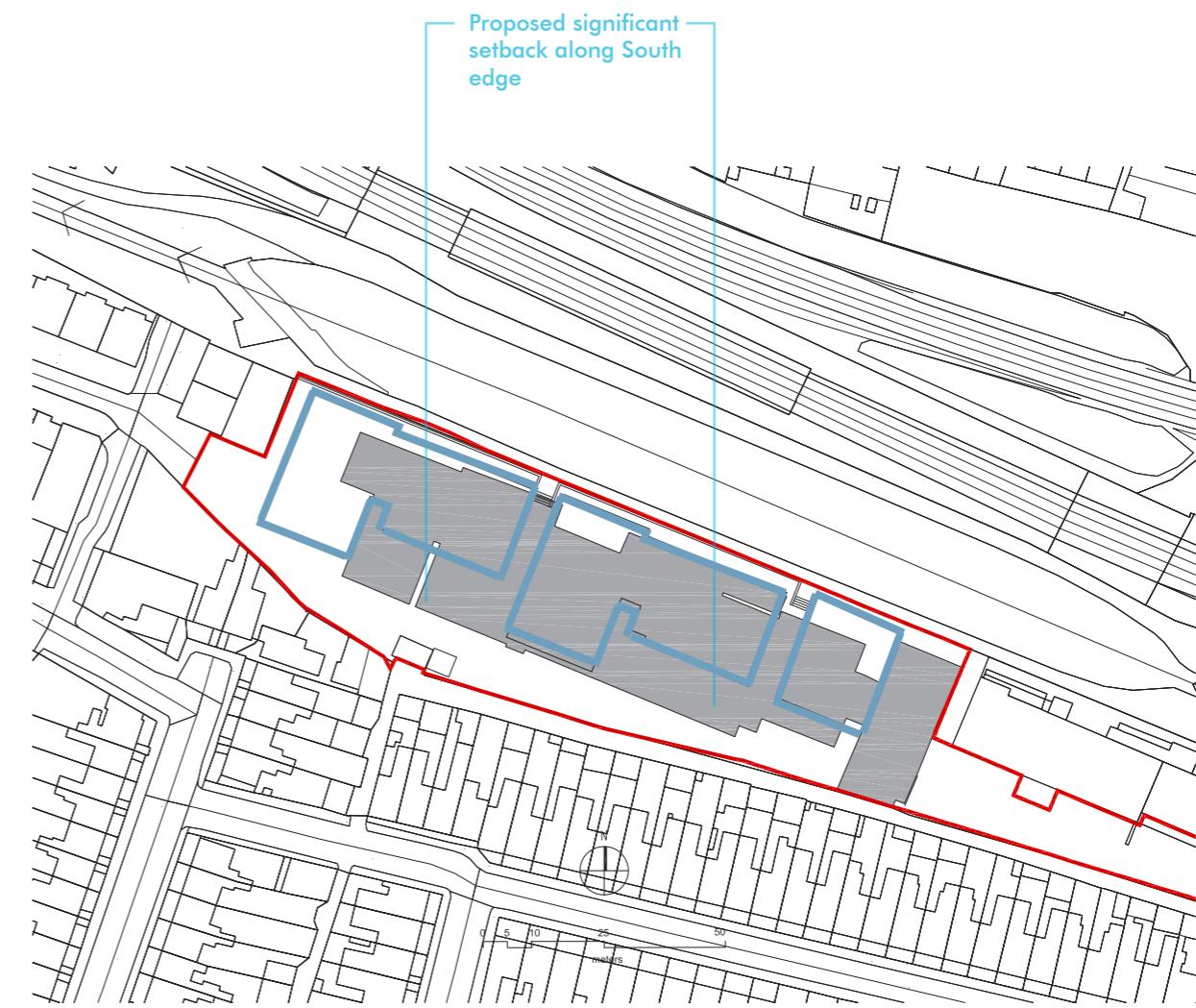
## Concept Development



### 3. BUILDING EDGE + FORM

The proposed elevational treatment along the canal aims to make reference to the adjoining, dominant stone faced 'Mill' building in terms of alignment, massing and form. The proposed canal side elevation is predominantly 4 storey's with a fifth floor penthouse level providing a horizontal emphasis. These are interjected with 7 storey vertical elements providing visual 'punctuation marks' along the façade and setup a rhythm and scale in keeping with the language of the historical 'Mill' building.

The series of 3 apartment buildings are separated by 5.8m gaps to facilitate connectivity to the canal as well as providing views and south light to penetrate through -to the canal edge.



### 4. BUILDING FOOTPRINT OVERLAY

Diagram 4 illustrates the overlay comparison between the existing warehouse and Silo structure on site shown in grey and the significantly reduced footprint of the proposals as per the blue outline.

#### SITE COVERAGE INDEX:

- A. The footprint of the existing warehouse and Silo buildings on site represent 3,409m<sup>2</sup> or 46.8% Site Coverage.
- B. The footprint of the Proposed development outlined in blue above represents 2,805m<sup>2</sup> or 38.5% Site Coverage.

Under Z1 zoning for outer city sites, the DCC Development Plan indicates a range between 45% - 60%. As such, the proposed design at 38.5% is well below the development plan requirements. This illustrates our commitment to providing a large percentage of space dedicated to public realm and public open space as represented by the 'Green urban landscape' zone along the Southern boundary.

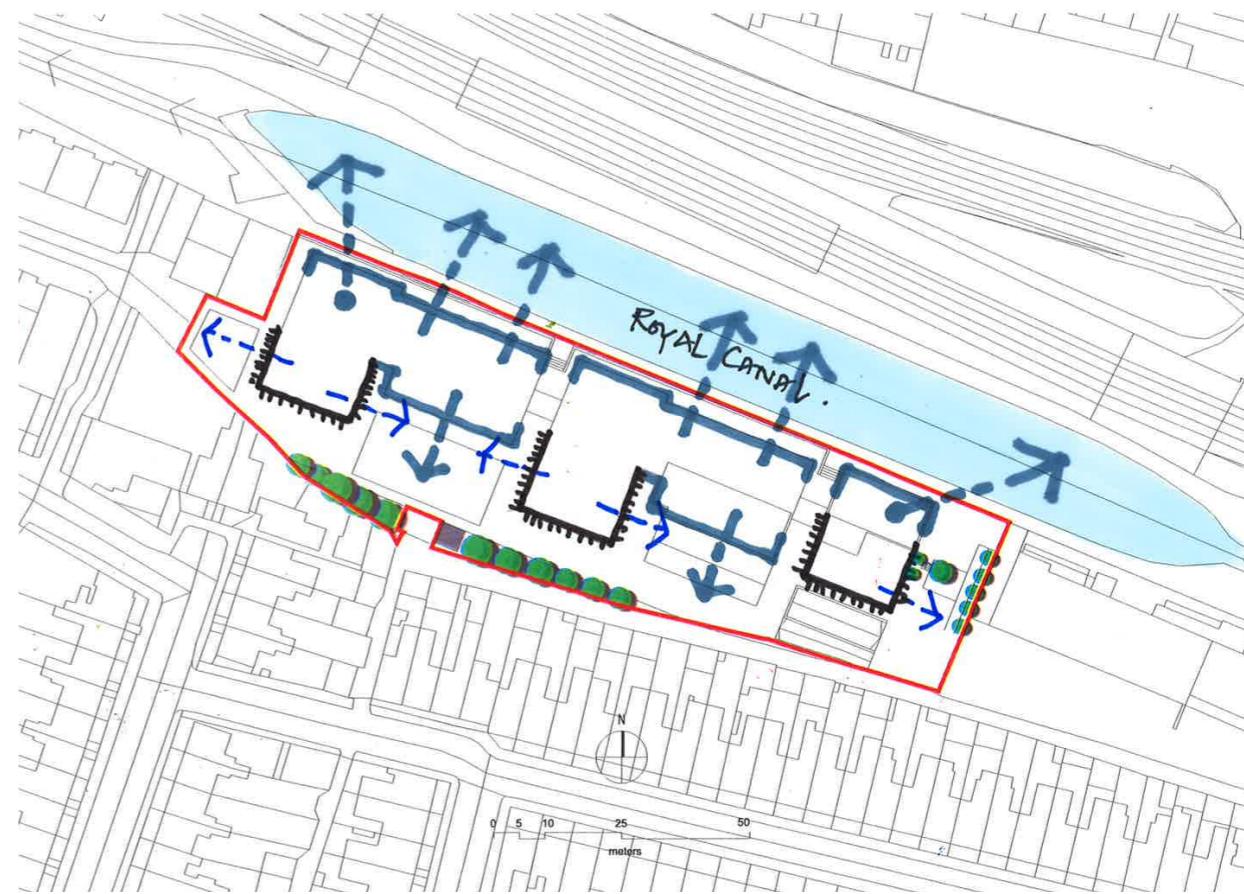
## Concept Development



The proposed apartment buildings are located along the Northern edge of the site. This ensures that open space occupies the space behind which benefits from South sunlight.

Due to the buildings orientation, shadow cast is towards the North and onto the canal. There is very limited shadow cast to the South of the site and there is no impact on adjoining neighbours. As part of our proposals, the design team will be submitting full daylight and sunlight assessment demonstrating compliance with relevant British and BRE standards.

The provision of 5.8m and 7.0 m gaps between buildings A, B and C ensures that sunlight from the South can also penetrate the edge of the canal.



Attractive views are available up and down the canal waterways and apartments are generally planned to avail of this open view corridor. 4 storey elements also benefit from views into the South facing landscaped courtyards. The taller 7 storey elements have no primary windows facing due South in order to protect privacy and amenity of adjoining residential developments.

The return elements along the Southern side of the site are 3 storeys in height with approximately 32M separation distance to the rear of the main houses along Leinster Street North. These elements step up to 6 storeys plus penthouse which are setback within the centre of the site and range between 32 - 37m minimum separation distance to protect the residential amenity of the adjoining developments.

In addition, above second floor, there are no main apartment windows facing South.

## Concept Development



7. PUBLIC REALM

Diagram 7 above shows the concept strategy for activating the public realm. The existing tow path along the Southern edge of the canal is intersected by a number of pedestrian and cycle linkages running North/ South within the proposed development. These are connected back into the heart of the scheme to interact with the main public open spaces. As such, the scheme provides good permeability, connectivity and views through into the canal basin.

The main amenity spaces and facilities of crèche, cafe and concierge as indicated in brown interact with this public realm and provide active uses onto the canal as well as addressing the entrance plaza into the development along the Eastern edge.



8. INTERNAL ENTRANCES + CIRCULATION

Diagram 8 above indicates the primary access points to the buildings which are served from the South facing landscaped courtyards. The 2 North/ South linkages to the canal are indicated providing ease of access to the canal and greenways network.

# Pre-application meeting no. 1

An initial pre-application meeeting was held on 29th June 2018.

By this stage, a scheme had emerged wherein the main strategy for re-development of this former industrial site had been applied. Decisions had been taken about how to occupy the site and generally where to locate buildings.

The buildings were developed with L-shaped footprints , volumes of different heights and different elevational treatments based on their orientation. A strategy was adopted to concentrate the new buildings towards the canal side of the site in order to offer appropriate separation distances from the rear of the existing houses along Leinster Street.

A public space would be created linking the entrance area to the canal tow path and pedestrian circulation within the site for residents would via landscaped gardens to the building entrances.

The proposed scheme comprised 155 apartments, a creche facility, a café, and residents facilities in three buildings built over a basement level car park.

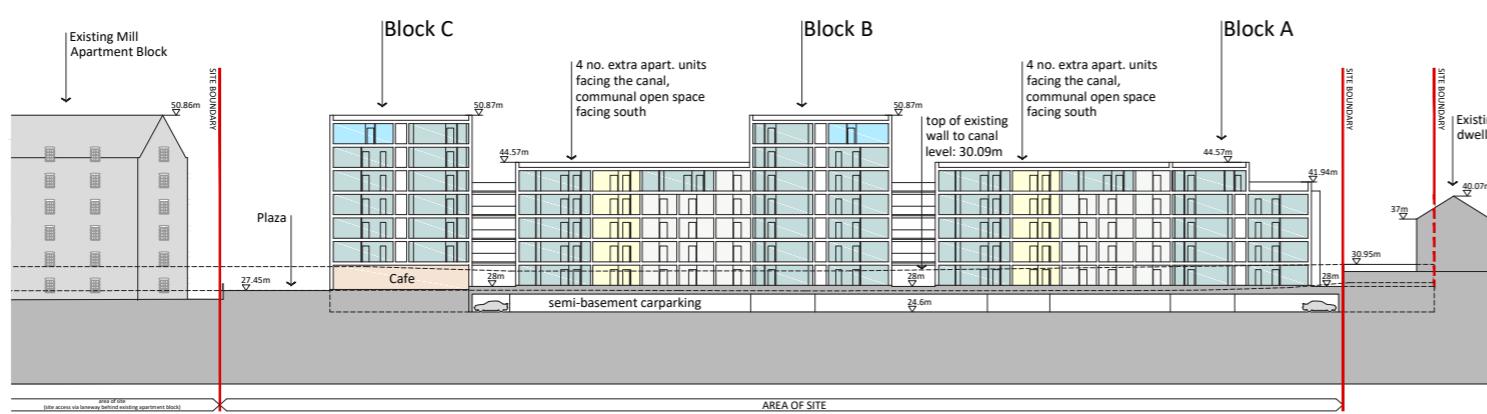


| TOTAL UNIT MIX BREAKDOWN: |                  |             |
|---------------------------|------------------|-------------|
| studios                   | 32 units         | 20.6%       |
| 1 beds                    | 45 units         | 29%         |
| 2 beds                    | 70 units         | 45.2%       |
| 3 beds                    | 8 units          | 5.2%        |
| <b>TOTAL</b>              | <b>155 units</b> | <b>100%</b> |

Total no. apartment units:  
155 units

Site Boundary  
area: 7,712m<sup>2</sup> / 0.77Ha.  
Density (Gross):  
 $155/0.77 = 201$  units/Ha.

Public Open Space:  
area: 2,413m<sup>2</sup> (31.2%)



Key points raised by Dublin City Council planners at Pre-application meeting no. 1.

The scheme (seen left) was tabled and discussed.

Key points to be addressed were:

Open space provision to be revised. Minimum of 10% of site area to be public open space.

Consider an increase size of public plaza.

Liaise with Waterways Ireland and Irish Water formally.

Concern over length of corridors connecting the buildings at all levels. Question over the purpose of having interconnecting buildings.

Examine massing to rear of buildings.

Provide daylight and sunlight studies for the development.

Clearly indicate separation distances to returns and rear walls of adjacent properties and to boundaries.

Examine percentage of single and dual aspect units. Examine number of north facing single aspect units facing onto the canal.

Consider the impact that massing, scale and form will have on neighbouring dwellings to the rear.

Consider community facilities within the development.

Clarify the open space strategy. Distinguish public and private communal areas and quantify areas.

The meeting was attended by :  
 Ann Mulcrone, Reid Associates  
 Luke Kiely, Bindford  
 Derek Murphy, OMPArchitects  
 Gavin Foy, AIT Landscape  
 Christy O'Sullivan, ILTP  
 Denis O'Sullivan, MMOS  
 Jason Mooney, AECOM  
 Mary Conway, DCC  
 Siobhan O'Connor, DCC  
 Stephanie Farrington, DCC  
 Elaine Power, DCC  
 Peter Glin, DCC

# Scheme design development

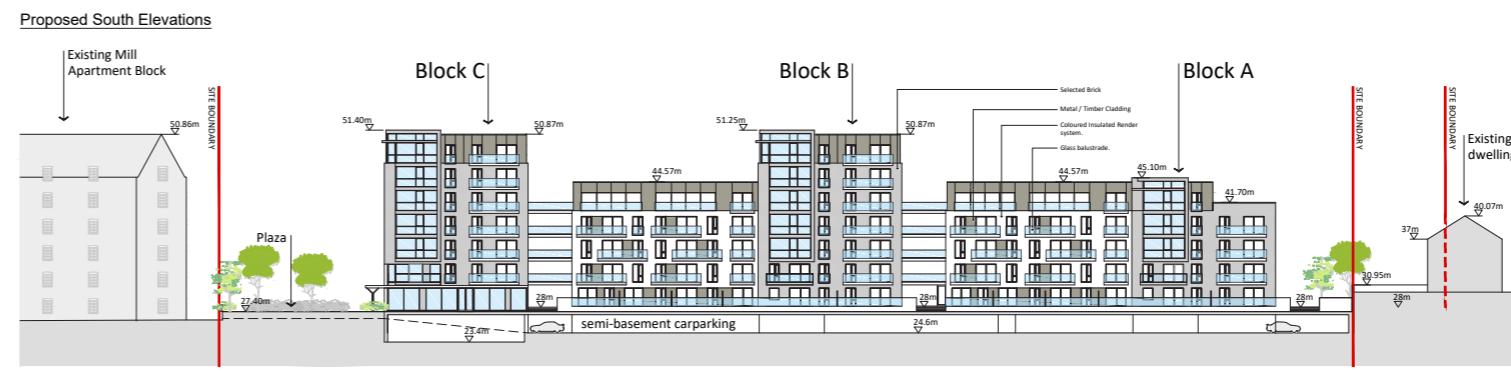
Following the pre-application meeting of 29th June 2018, the Design Team set about addressing the issues discussed.

In addition to points raised concerning urban design and architecture, the Design Team took note of other points regarding traffic and access, parking provision, emergency access, refuse collection, engagement with Waterways Ireland and TII, Part V proposals, community gain, life cycle report, drainage and flood risk. Individual reports from Design Team members will indicate how specific matters raised were addressed in this planning application.

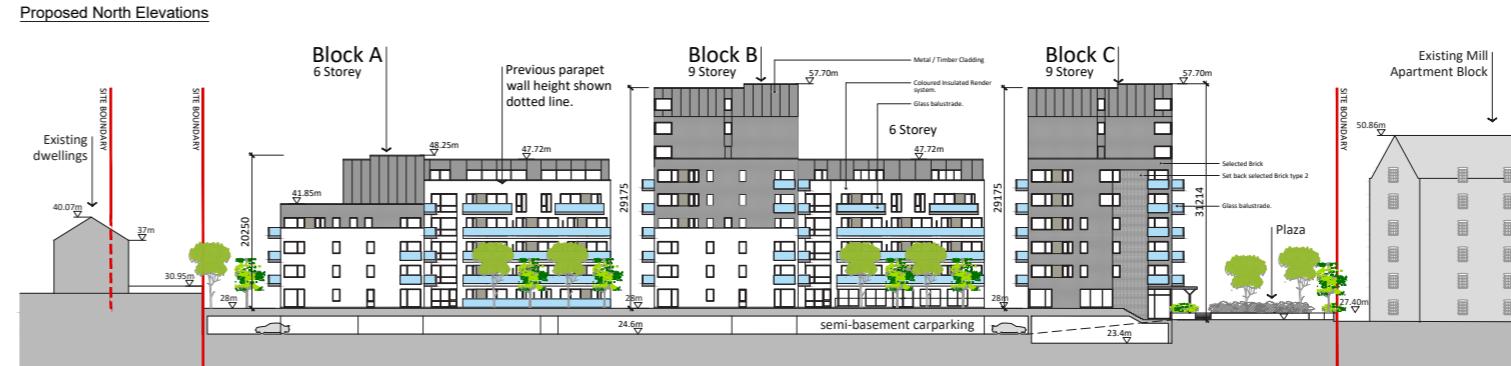
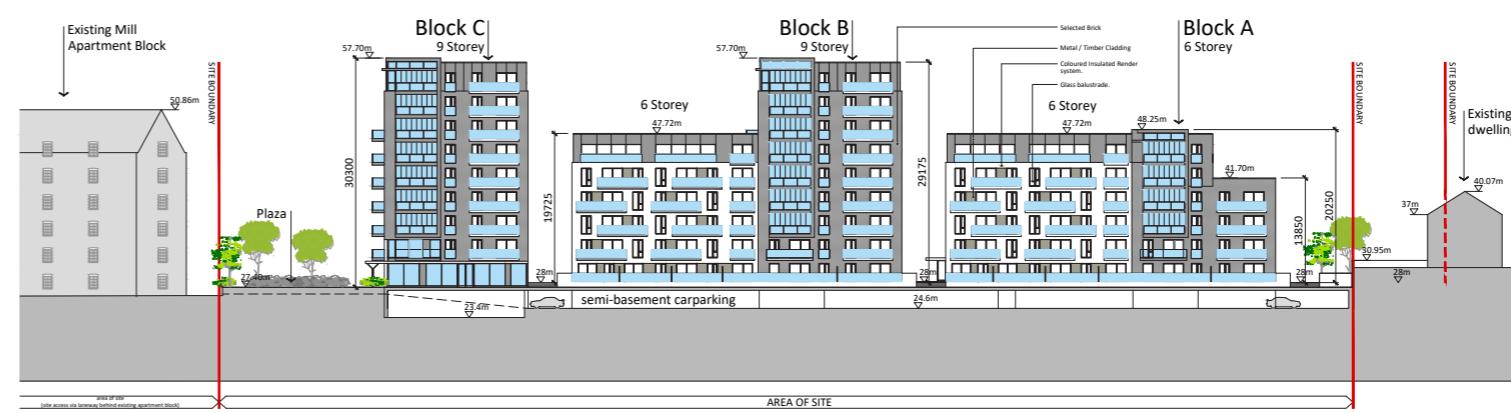
Each of the points raised by the Planning Authority was given due consideration and effort was put into amending and improving the proposal.

Some key decisions were taken that shaped the proposal, notably: the interconnecting bridges between buildings on each upper level were omitted, making three separate buildings; external access to residential units on upper floors was also omitted; the building footprints were reduced and relocated towards the canal to path boundary; the separation distances between all existing buildings was increased at Leinster Street to the south, to Shandon Mill apartments to the north west and to the Mill apartments to the south east; the plaza was increased significantly in area and a greater publicly accessible area was provided; the building massing was altered to read more clearly with a single tall element replacing the silo and two six storey buildings proposed along the canal edge with lower annexes extending towards the south.

In addition to this the general architectural design was further developed and at the canal side the buildings gained a more rationalised architectural expression with a gridded structure of balconies and wintergardens set in front of the main building plane.



Scheme presented at Pre-planning meeting no. 1.



Scheme design development- following Pre-planning meeting no. 1.

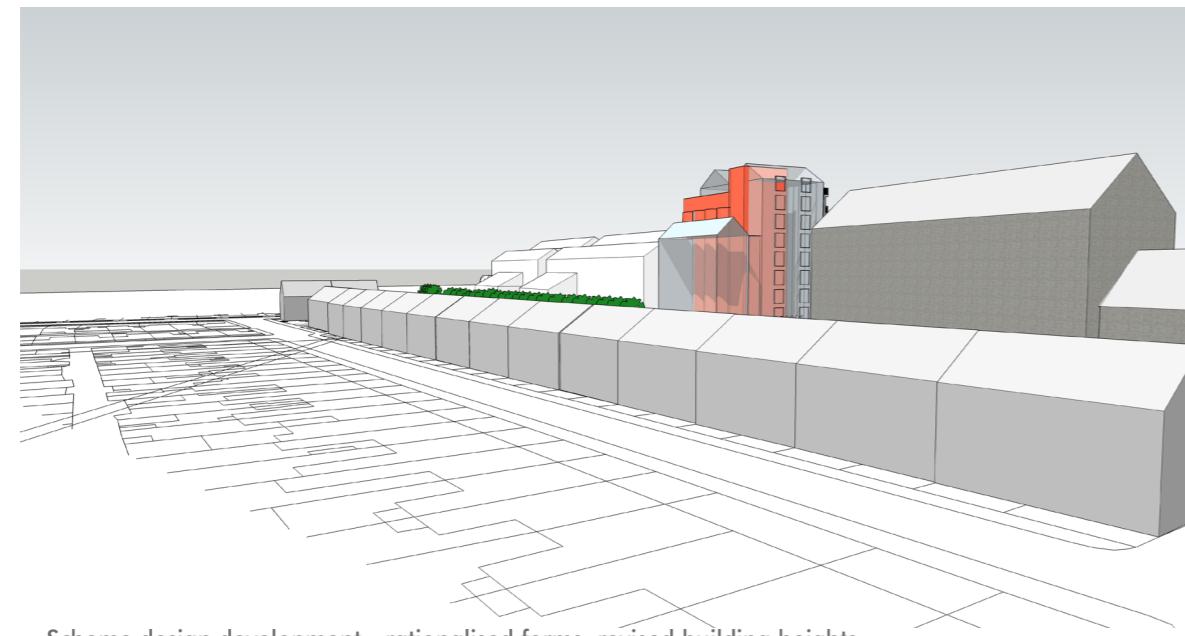
### Scheme design development.

A general review of the design proposal led to a further rationalisation of the proposed construction. A decision was taken to improve the architectural quality and the general expression. Elevations were revised and the building profile was altered to be reminiscent of former industrial structures that are found along the canals. Alternative building heights were studied and a more simplified building form was developed.

A reference height was taken from the silo for Block C and the roof ridge of



Scheme design development - canal elevation.



Scheme design development - rationalised forms, revised building heights.

Blocks A and B reference the ridge of the adjacent Mill apartment building.

The canal elevation became more like a wall with punched opes , like the former Mill building, but is treated as a distinctly contemporary elevation. Wintergardens, balconies and generous windows are proposed. Internally the layout of apartments and the mix of unit types was revised.

The buildings became more rooted to their location by adopting a new architectural expression reminiscent of the industrial architectural heritage.



Scheme design development - alternative building forms



Scheme design development - simpler forms, referencing industrial heritage

# Pre-application meeting no. 2

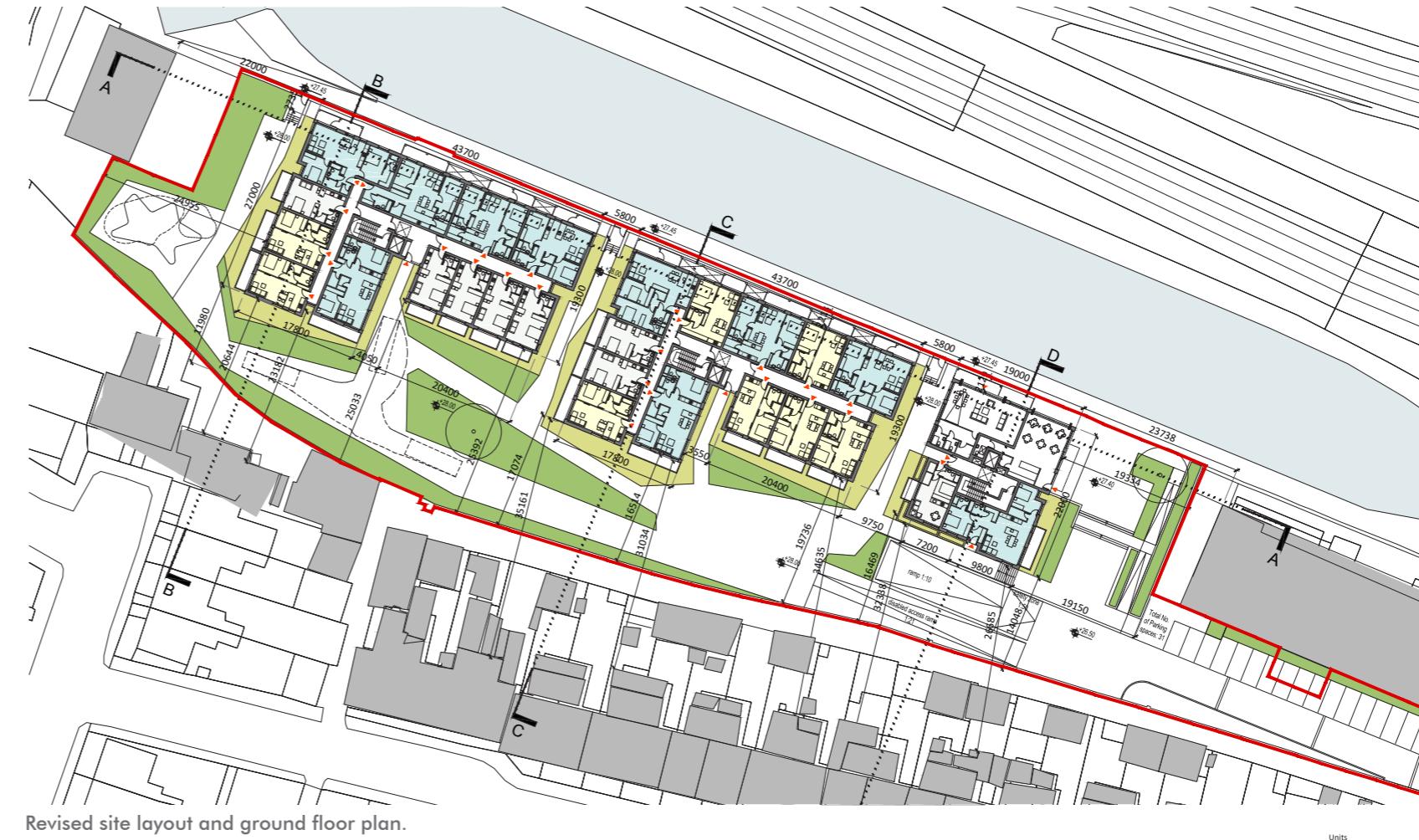
A second pre-application meeting was held on 14th January 2019. Over the intervening period the Design Team had considered several alternative designs and examined building heights, mix of units, architectural expression, construction systems and considered how to address the issues raised in the previous meeting.

Both the site layout and the building plans were amended, shifting the three blocks out to the site boundary on the canal side and to increase the separation distances from Leinster Street houses to the gables and to the body of the proposed buildings. The plaza width was increased giving greater separation between block C and the Mill apartment building (23.7 m). The northern-most annexe of block A was pulled back to increase the distance from the Shandon Mill duplexes. (22.0 m) and reduced in height.

The building footprints were each reduced and the annexes in blocks A and B, extending south west, were reduced in length. Block C revised layout at ground floor includes a café facing onto the canal and the plaza, a residents lounge facing the canal and further residents amenities. The buildings are now three individual buildings sitting over a basement car park. The basement footprint was reduced to keep away from boundaries and a lesser parking provision was adopted.

The public open space was increased in the plaza and extended into the garden area and the landscaped garden design was further developed. Additional rooftop terraces are provided for use by residents in each building.

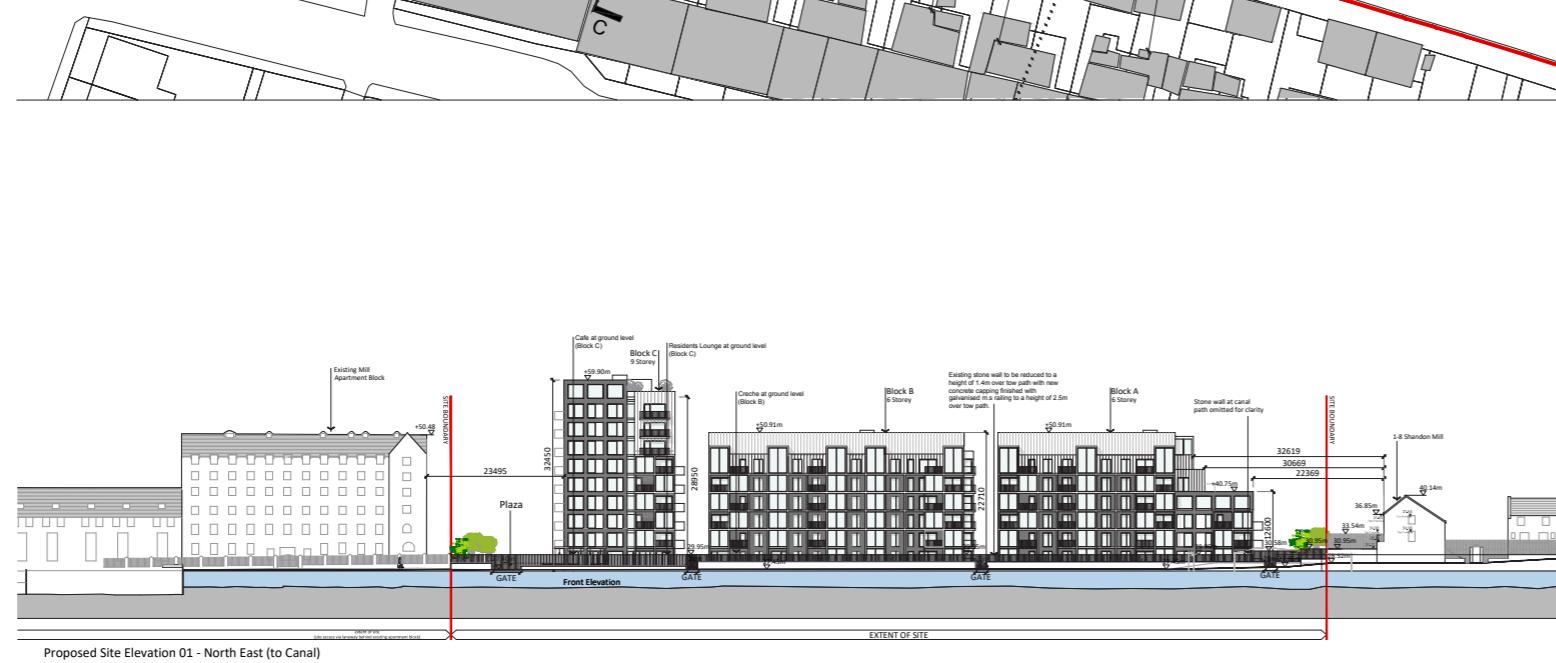
Along with a revised architectural expression, a palette of materials was proposed consisting of a light coloured brick for canal side elevation, light coloured render on south facing elevations, zinc cladding to certain roof elements and steel and glass to form balconies and wintergardens.



Reduced and relocated building footprints.

| MIX SUMMARY (ALL RESIDENTIAL COMPONENTS) |               |       |
|--|---------------|-------|
|  | Units<br>(no) | %age  |
| Studios                                  | 38            | 24.2% |
| 1 Bed Apartment                          | 40            | 25.5% |
| 2 Bed Apartment                          | 76            | 48.4% |
| 3 Bed Apartment                          | 3             | 1.9%  |

|  |                                      |        |
|--|--------------------------------------|--------|
| TOTAL RESIDENTIAL UNITS                                | 157                                  | 100.0% |
| <b>DEVELOPMENT SUMMARY</b>                             |                                      |        |
| GROSS SITE AREA:                                       | 7,712 m <sup>2</sup> (0.77 Hectares) |        |
| TOTAL RESIDENTIAL UNITS:                               | 157                                  |        |
| DENSITY:   | 204 units/Hectare                    |        |
| <b>CAR PARKING SPACES:</b>                             |                                      |        |
| Basement: 90 spaces                                    | 90                                   |        |
| Bicycle spaces: 192 spaces                             |                                      |        |
| <b>PUBLIC / COMMUNAL OPEN SPACE PROVIDED:</b>          |                                      |        |
| Podium area - Courtyards: 2100 m <sup>2</sup> (27.2%)  | 42.9% site area                      |        |
| Entry Plaza: 1050 m <sup>2</sup> (13%)                 |                                      |        |
| Roof Gardens: 208 m <sup>2</sup> (2.7%)                |                                      |        |
| Total open space provided: 3358 m <sup>2</sup> (42.9%) |                                      |        |



Key points raised by Dublin City Council planners at Pre-application meeting no. 2.

The scheme (seen left) was tabled and discussed.

Key points to be addressed were:

Public open space provision.

Pedestrian access to public space.

Site sections showing separation distances to be accurately drawn and based on survey information.

Potential overlooking of adjoining residential amenity.

Boundary treatments at south and along canal boundary wall.

Number of single and dual aspect units. Number of north facing single aspect units.

Provision of daylight and sunlight analysis for all units.

Improvement to aspect and ADF of studio units located between blocks A and B.

Design of roof top terraces as usable outdoor spaces.

Re-introduction of crèche facility to serve the development.

Increase in quantity and quality of internal residential amenity space.

Details of proposed building materials.

The meeting was attended by :  
 Ann Mulcrone, Reid Associates  
 Luke Kiely, Bindford  
 John Mac Polin, OMPArchitects  
 Consuelo Pan Insua, OMP Architects  
 Gavin Foy, AIT Landscape  
 Christy O'Sullivan, ILTP  
 Denis O'Sullivan, MMOS  
 William O'Donnell, IN2  
 Jason Mooney, AECOM  
 Mary Conway, DCC  
 Siobhan O'Connor, DCC

# Further design development

Following the second pre-application meeting further design development was implemented and a suite of drawings and information was submitted to the planning authority in March 2019 for the purpose of clarification.

Extent, nature and quality of public open space and indication of pedestrian access to public plaza. - The public open space has been revised and is increased to circa 17 % of the site area. A revised landscape site plan from Ait Landscape Architects is enclosed .

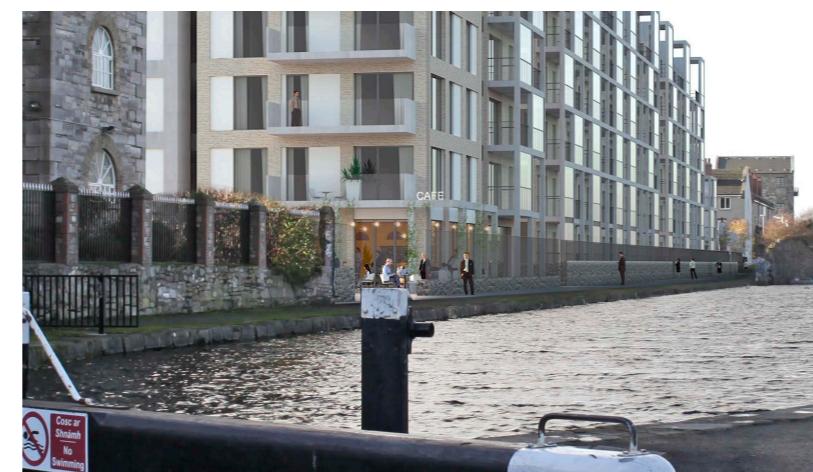
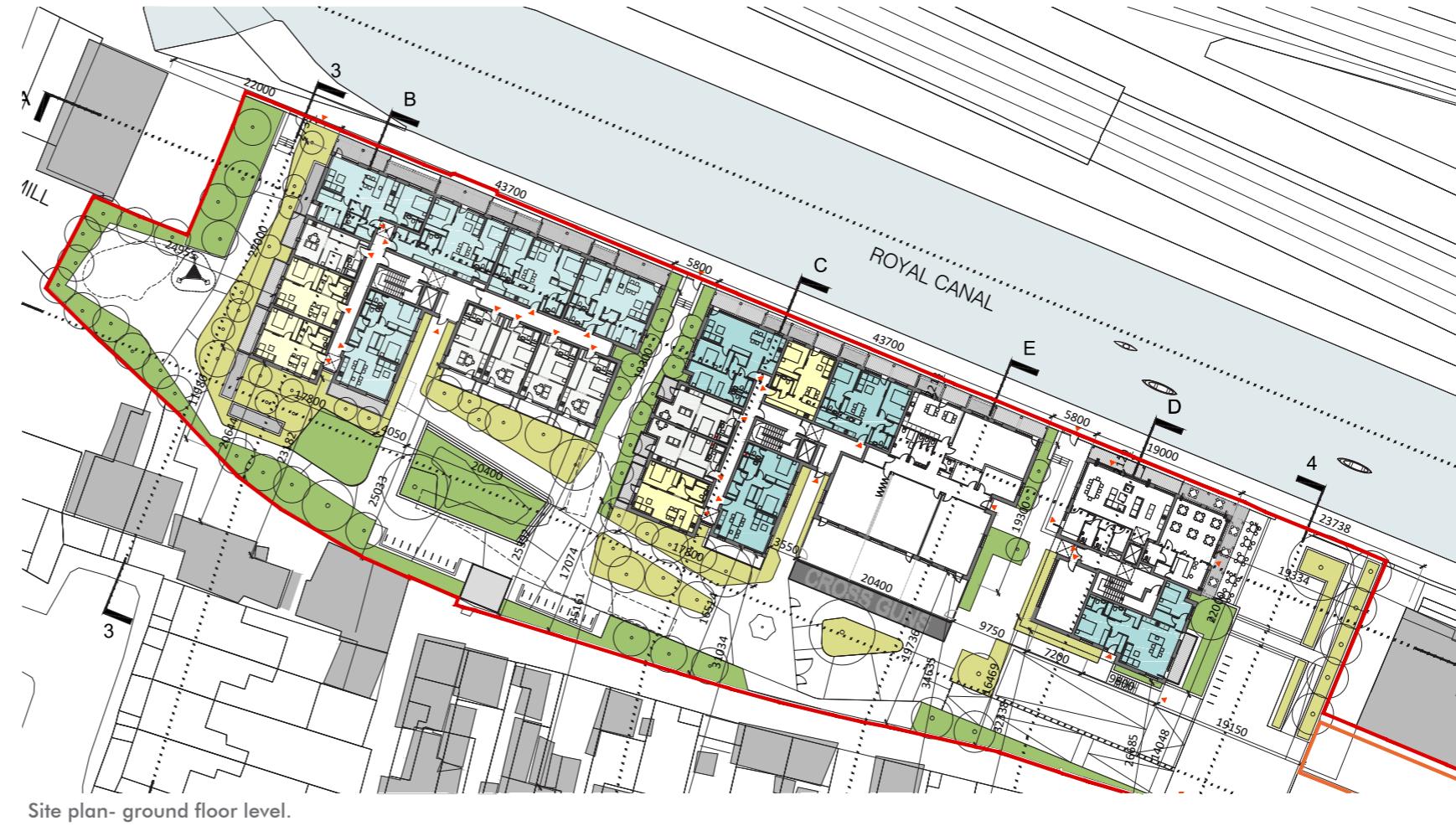
Proposal for inclusion of additional and improved quality residential amenity space both indoor and outdoor at roof level. - Additional residents amenity space is included at ground floor in Block C. Accessible roof terrace amenity space is revised in each block to be more user friendly with fixed seating, planters , pergola and revised perimeter guarding that keeps residents away from edge of terrace.

Design proposal for integration of existing site boundary wall along the canal tow path into the development.

- Existing boundary wall to be reduced in height sufficient to offer good visibility and passive surveillance of the canal and tow path. Wall to be capped and completed with a new railing to height of 2.5 m above tow path level. Existing wall to be stripped down of any vegetation, cleaned down and treated with biocide.

Additional accurate site sections indicating separation distances between the proposed development and existing adjacent properties. - 8 no. site sections / elevations are provided at key locations. Specific existing properties are examined and existing window locations are noted. Separation distances are noted and sections reflect survey information relating to the properties.

Proposal for mitigation measures to reduce any potential perceived overlooking of existing residential properties on Leinster Street. - Elevations show use of translucent glass to certain secondary windows and use of specific bay



View of café, plaza and Royal Canal tow path .

| Unit mix                |     |       |
|-------------------------|-----|-------|
| studios                 | 37  | 24.5% |
| 1 beds                  | 36  | 23.9% |
| 2 beds                  | 75  | 49.6% |
| 3 beds                  | 3   | 2%    |
| Total no. of apartments | 151 |       |

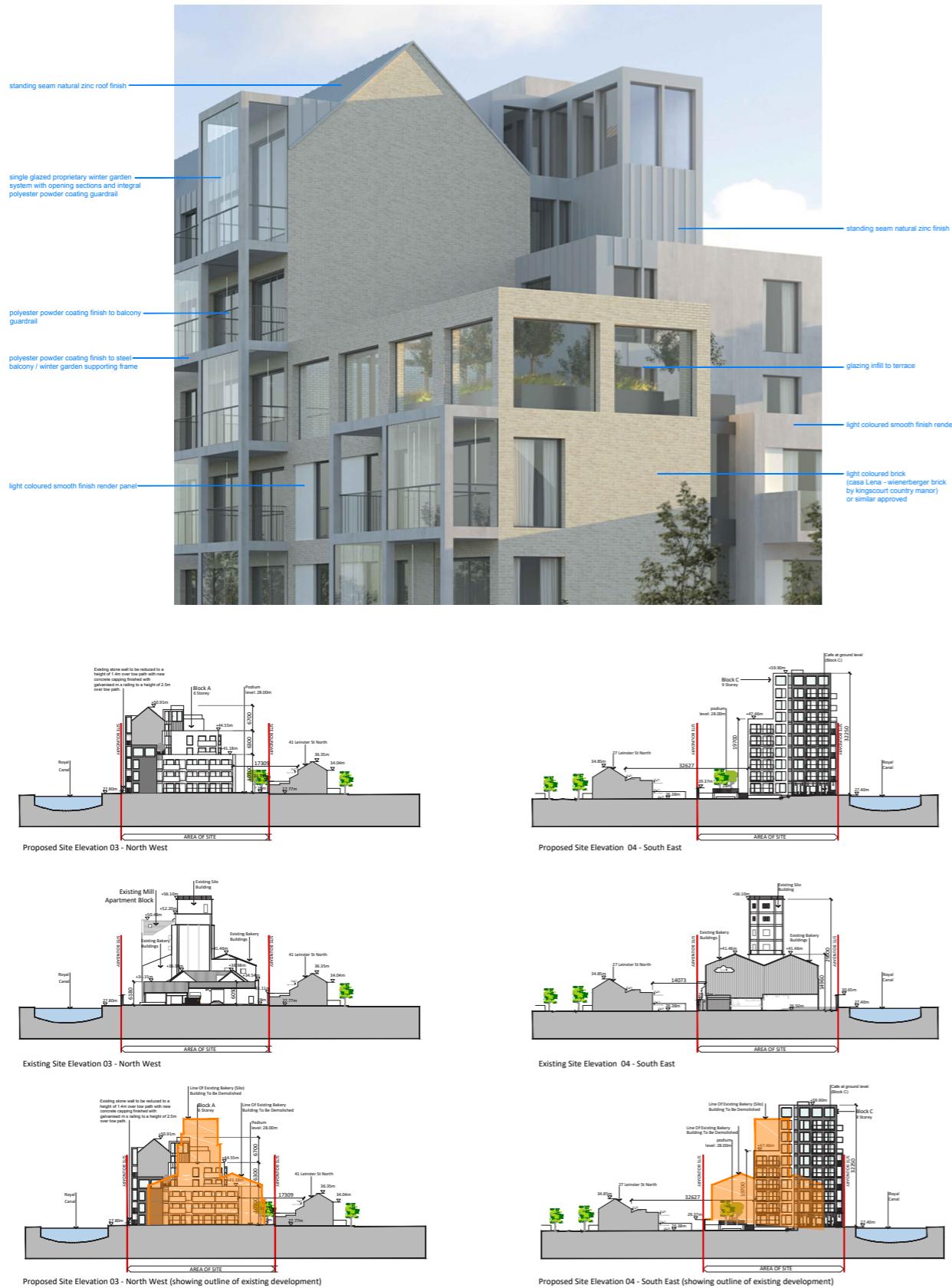
Site area: 7712 m<sup>2</sup> (0.77 ha)

Density: 204 units/ha

Plot ratio: 2.08

Site coverage: 29.3%

Public Open Space: 996 m<sup>2</sup> = 12.9%



window design in certain rooms -on the gables that are closest to boundaries. These measures are in addition to the retreated gable positions from earlier scheme.

Boundary treatment and planting along site boundary at laneway to rear of Leinster Street houses. – Site sections and landscape plan show tree planting in solid ground along the boundary. Tree planting will offer a degree screening of the development from the rear of the existing properties.

Perimeter edge details at rooftop terraces. - Additional drawings illustrate details of terrace / balcony edges along tow path and at roof terraces. Rooftop terraces include means of preventing residents from approaching the perimeter to view in a downwards direction towards nearest existing houses. This can be achieved through placement of planters and selection of the materials used under foot at the terrace edges.

Consideration of studio units in Block B facing Block A. - Studio units in block B have been redesigned to offer increased floor area and to include full height corner windows. The aspect from the units is improved by allowing the units to gain views either towards the podium garden or towards the canal.

Proposals for building materials to be used on façades. – Drawing / view of part of building elevation indicates proposed materials to be used in the construction of the apartment development.

Crèche facility – A crèche facility is included at ground floor level in Block B capable of serving the needs of the development and / or serving families locally. The crèche is accessed from the public open space. A dedicated secure outdoor play area is proposed with south facing orientation.

Also enclosed was an updated schedule of accommodation detailing the apartment units, revised residents facilities, café area, and car and bicycle parking provisions. A revised basement layout is enclosed showing relocated plant facilities, centralized refuse compactor and store, enclosed bicycle storage.

Updated computer generated images of the development are enclosed showing the development viewed from the Royal Canal.

# Pre-Application consultation no. 3

On 24th February 2020 the applicant requested a further S247 pre-application meeting with DCC in order to present a revised design proposal for a Build to Rent apartment development.

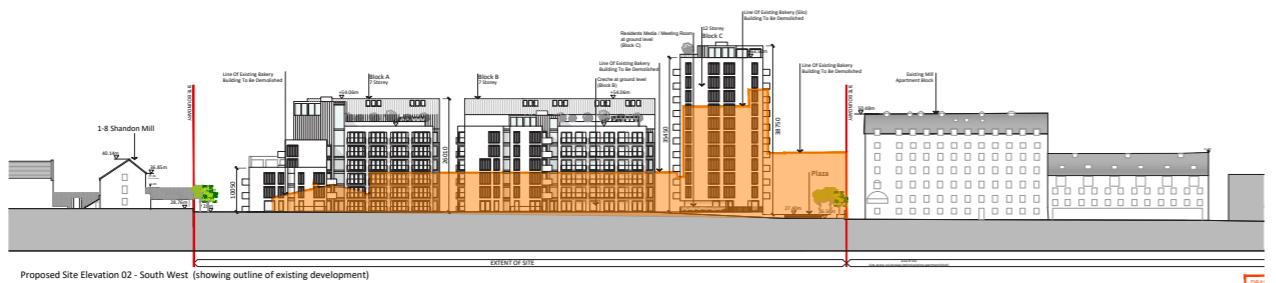
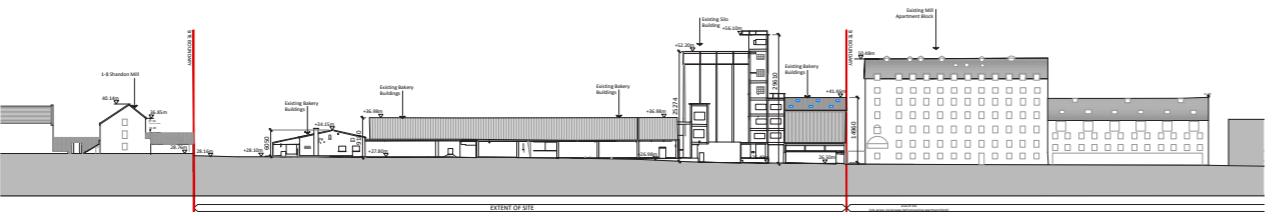
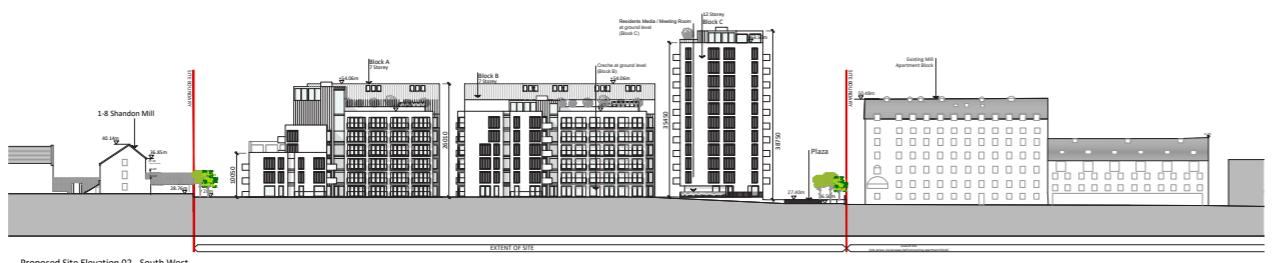
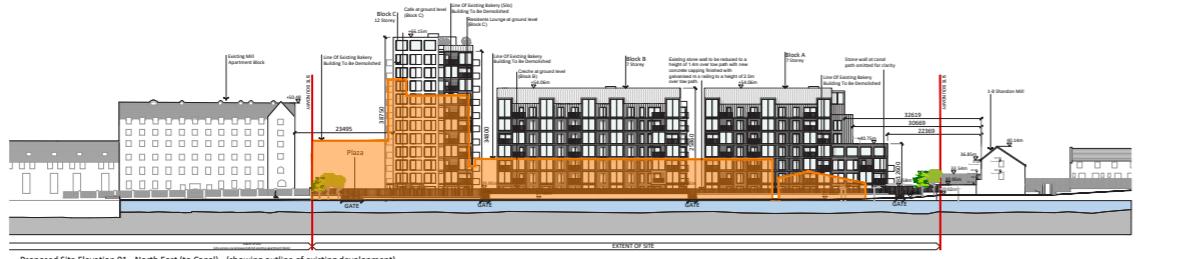
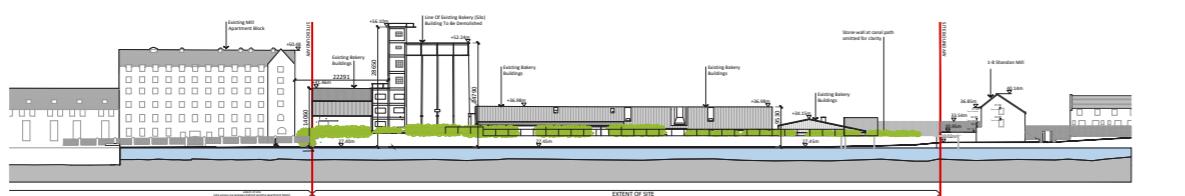
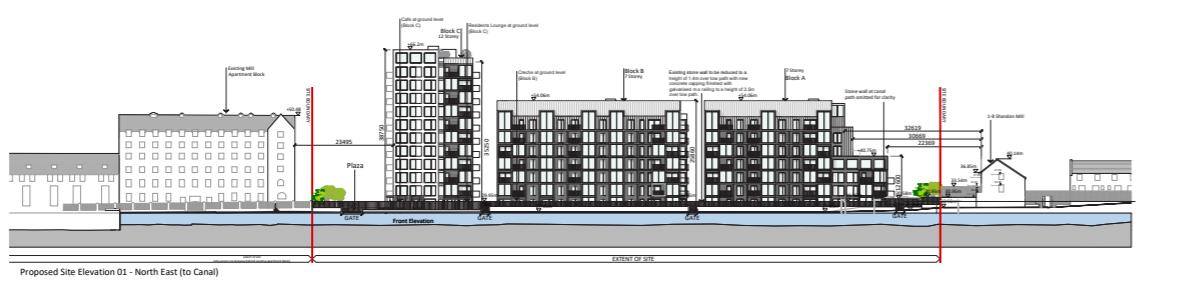
Having extensively consulted on development options and taken further advice, the applicant proposes to put forward a Build to Rent development on the subject site. Revised drawings and schedules were submitted to DCC and a meeting was scheduled for 18th March 2020.

The proposal for a BTR (Build to Rent) development is a revised version of the previous scheme. The proposal takes the same building footprints and general layout and adapts the design to suit the BTR development model. Further feasibility studies were also carried out to test the BTR model and the revised scheme proposes some additional building volume within the development. The additional volumes are an additional typical floor in Blocks A and B and additional height and volume in Block C, where full floor plates are continued up the building to a height of 12 storeys. The unit types and the mix of units are modified to meet the design standards for BTR developments. The BTR development by its nature and in order for it to be considered to be a viable proposal , presents a higher number of residential units.

The BTR proposal includes greater provision of residents amenities and a significant reduction in car parking. The proposal no longer includes provision of a creche facility. The café/retail units remains as before and the public plaza and landscaped garden areas are further developed for the BTR model.

Basement car parking is reduced to a minimum provision and accessible parking spaces and set-down spaces are proposed on surface in the courtyard garden area and plaza. In this proposal there are no gates or enclosing railings at the top of the sloped access to the garden areas.





Due to the Covid 19 outbreak, the proposed S247 meeting was cancelled and Siobhan O'Connor of DCC returned comments / observations by e-mail on 18th March 2020.

**Key points raised by Dublin City Council planners and returned by e-mail : Pre-application consultation no.3**

The scheme (seen left) was reviewed by DCC.

Key points to be addressed were:

Change of proposal from build to sell to build to rent.

Increase in density.

Quality of residential design - apartments and resident's amenities.

Increase in building height. 12 storey element materially contravenes DCC development plan.

Protection of the rear of Leinster Street dwellings from undue overlooking, and overbearance.

Potential for overshadowing.

Protection and improvement of Conservation Area of the Royal Canal .

Separation distances.

Level of daylight and sunlight into spaces and residential units. Demonstration of compliance with BRE guidelines.

Massing should be broken down through the use of high quality materials.

Number of dual aspect apartments.

Design of communal open space and of public open space (plaza)

Car parking quantum and rationbale for reduced parking provision. Bicycle parking to meet DCC standards.

Servicing; Construction traffic management plan; Bus Connects and Metrolink; Royal Canal Greenway.

# Tri-partite SHD pre-application meeting

An application for a pre-application meeting was made to An Bord Pleanala in June 2020 and on 2nd September 2020 the tri-partite SHD pre-application meeting took place via Teams.

The development proposal submitted took account of the previous feedback and comments from Dublin City Council.

The development proposal consisted of the demolition of the existing industrial bakery buildings on site, including the 27.5 m high silo building, and the construction of a residential development of build to rent apartments with some commercial use, on an urban brownfield site.

It was proposed that the development would deliver 207 apartments, comprising 57 no. studios, 85 no. 1-beds, and 65 no. 2-beds located in 3 separate blocks A, B and C with heights varying from 4 storeys up to 12 storeys addressing the canal.

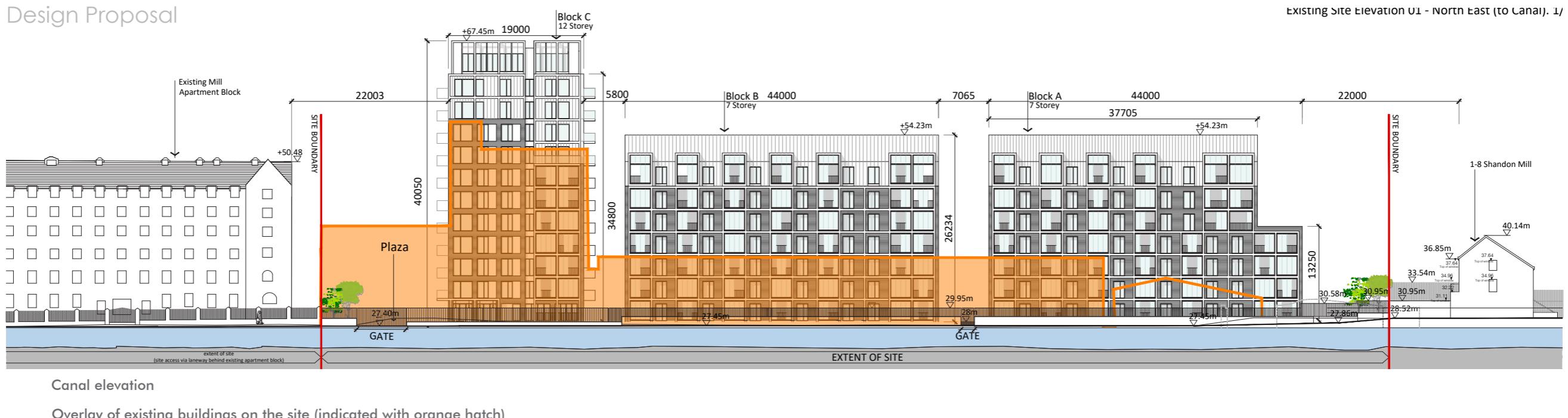
The proposal was discussed in detail and An Bord Pleanala issued an opinion following the meeting.



Site plan



## Design Proposal



Blocks B and C from south

| Unit mix                |    |        |
|-------------------------|----|--------|
| studios                 | 57 | 27.54% |
| 1 beds                  | 85 | 41.06% |
| 2 beds                  | 65 | 31.40% |
| Total no. of apartments |    | 207    |

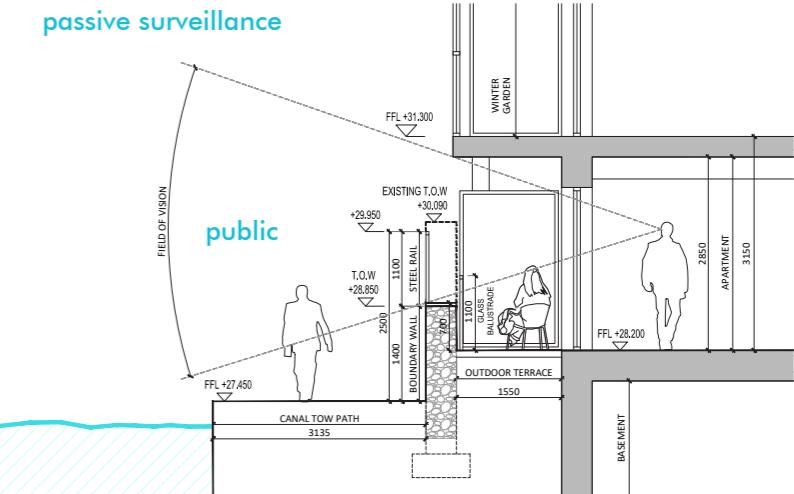
Site area = 7269 m<sup>2</sup> (0.72 ha)

Density = 284 units/ha

Plot ratio = 1: 2.45

Site coverage = 36.4%

The canal bank is a wonderful amenity for walking, running, cycling and passive recreation although the lack of building frontage reduces opportunities for passive surveillance and the use of this space.



Existing stone wall to be reduced to a height of 1.4 m over tow path.  
Provide new concrete capping to top of wall.  
Remove all vegetation, treat with bio-cide. Repoint where necessary.  
Provide new galvanised m.s. railing on top of wall to a height of 2.5 m over tow path.  
Provide new glass balustrade to private terrace.





03

## Proposed Development

- Description of the development
- Design proposal
- Character Areas
- CGI renders

# Description of the development

The development will consist of the demolition of the existing industrial bakery buildings on site, including the 27.5 m high silo building, and the construction of a residential development of build to rent apartments with some commercial use, on an urban brownfield site.

The total gross floor area of development is 16,392 m<sup>2</sup>. This total comprises 14,918 m<sup>2</sup> in three apartment buildings, a semi-basement parking area of 1163 m<sup>2</sup> and 313 m<sup>2</sup> of outbuildings within a site area of 0.73 Hectares (7,269 m<sup>2</sup>).

The proposed development will deliver 205 apartments, consisting of 55 no. studios, 85 no. 1-beds, and 65 no. 2-beds located in 3 separate blocks A, B and C with heights varying from 3 storeys up to 12 storeys addressing the canal.

A total of 460.5 m<sup>2</sup> is dedicated to tenant amenities in the form of resident's lounges, group dining room, multi-purpose room, shared work space, management/concierge office, gym, bicycle workshop and associated facilities all located within Block C at ground floor and 11th floor and residents' rooftop terraces on each of the three blocks. In addition to this there will be provision for large item storage at semi-basement level.

The development will also include new public amenity in the form of a café/retail unit of 67.3 m<sup>2</sup> at the ground floor of Block C and an outdoor plaza extending from the access road to the canal tow path. Public open space accounts for 5% of the site area.

Together these ground floor amenities produce an active public realm and are combined with proposed pedestrian linkages through the development onto the canal walk to ensure good permeability and ease of pedestrian and cycle access onto the nearby greenways network.

Apartment blocks A, B and C are located along the boundary wall with the canal and they address this edge in order to benefit from wide views over the canal

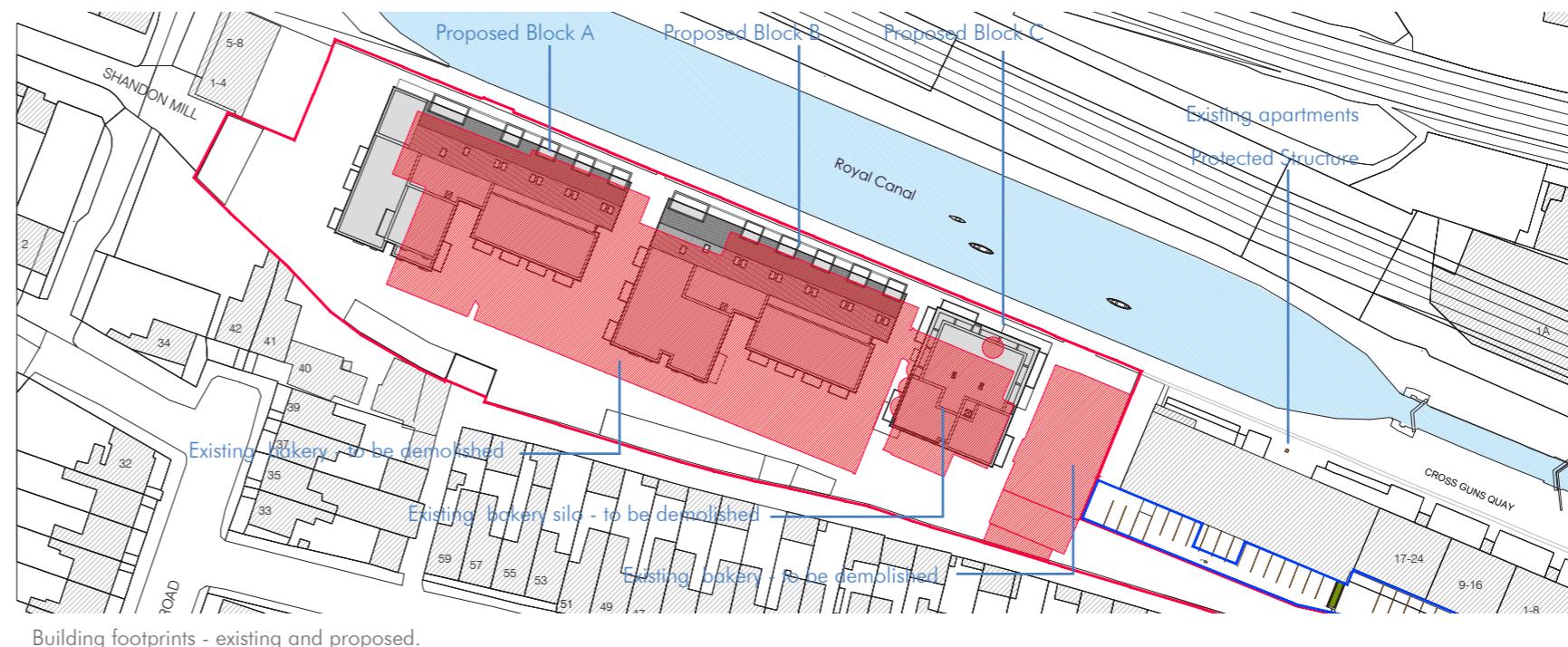
waterway while reinforcing passive surveillance to the two paths. The proposed elevational treatment along the canal makes reference to the adjoining, dominant stone faced 'Mill' building in terms of alignment, massing and form. This elevation is predominantly 7 storeys high with a pitched roof, with eaves and ridge line providing a horizontal emphasis. Block C is a 12 storey building which references the height and location of the existing silo. Its' stature provides visual punctuation along the façade and addresses the proposed new plaza. The rhythm and scale of the composition is in keeping with the language of the refurbished historical mill building. The scale of the development is stepped down at its north-western end to take account of the existing residential development, Shandon Mill, to the west.

The disposition of the buildings along the northern edge ensures that acceptable setback distances are achieved from the Southern boundary to protect the privacy and amenity of the existing residences along Leinster Road North. The proposed garden forms a buffer and a main landscaped private open space for the residents. It comprises a series of hard and soft external spaces which are connected by a continuous pedestrian pathway running east – west along this edge. Proposed semi-mature tree planting and green roofed out-buildings along this boundary will provide a continuous green edge. Roof terrace amenity space with a southerly aspect is also provided in each block.

The development will also include 29 car parking spaces, of which 5 are accessible spaces, 2 are for GoCar and 3 are for temporary set-down. 272 enclosed residents bicycle spaces and 72 visitor bicycle spaces (22 enclosed and 50 outdoor) are provided around the development. 5 motorcycle parking spaces are provided at semi-basement level. A refuse store room is provided at ground level in one of the new out-buildings situated along the south boundary. Large item storage units, a bicycle workshop and plant rooms are located at semi-basement level.

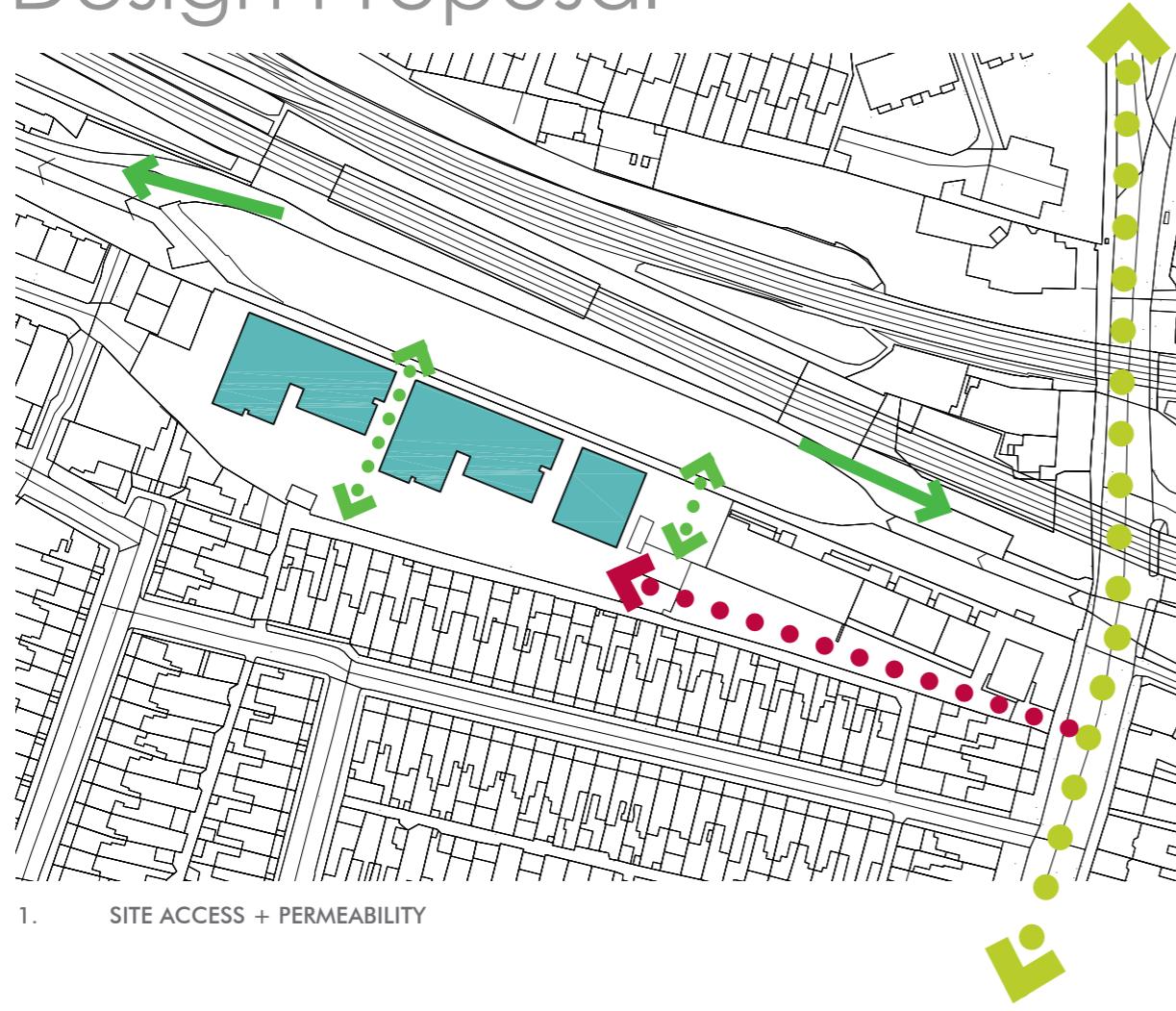
Pedestrian linkages are to be formed along the canal tow path, incorporating openings and alterations to the existing stone boundary wall, which will be reduced in height sufficiently to offer good visibility and passive surveillance of the canal and tow path and will be capped and completed with a new railing to a height of 2.5m above tow path level.

Access to the development will be from the existing entrance point off Phibsborough Road. Application for planning permission will also include all associated site development works, service connections, ESB sub-stations, boundary treatments, all hard and soft landscaping including permeable surfaces, SUDS measures and green roofs.





# Design Proposal



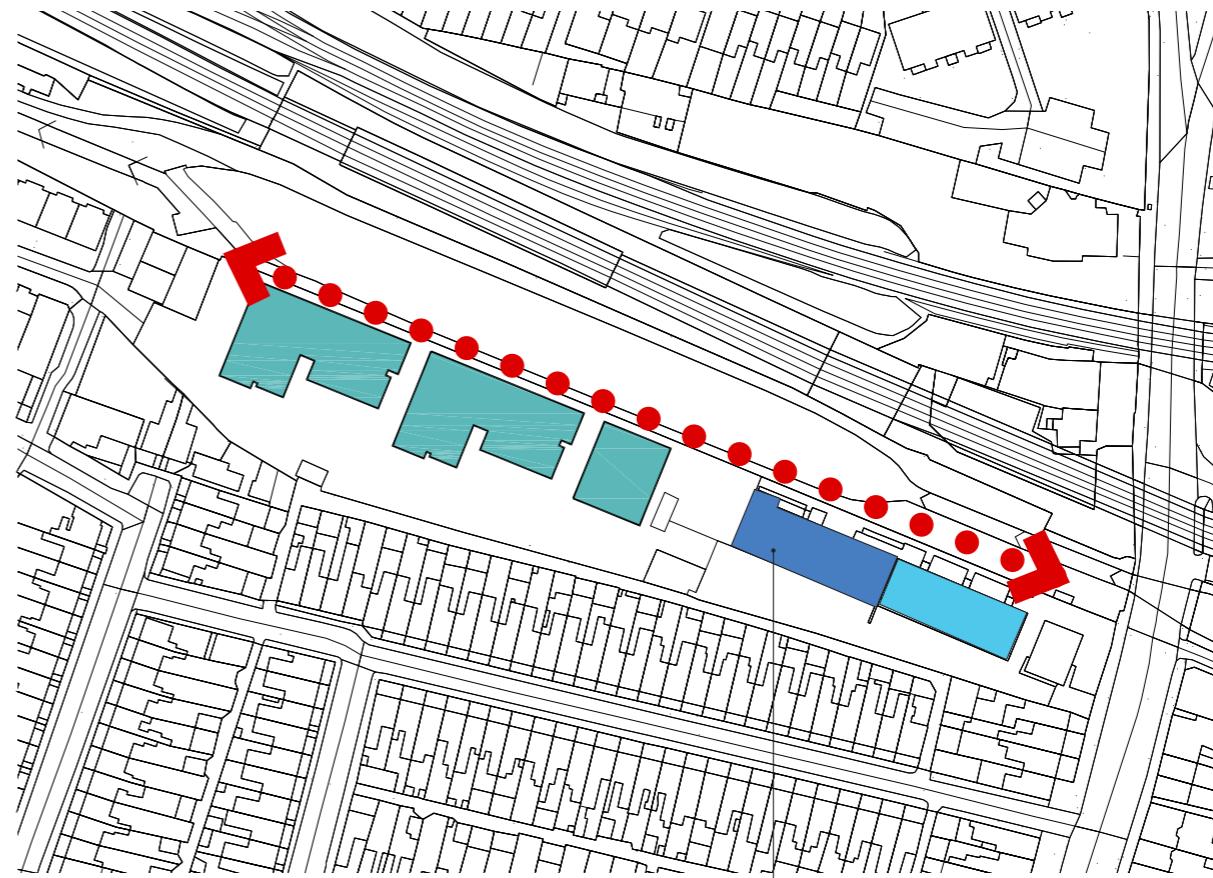
1. SITE ACCESS + PERMEABILITY

Site access is from Phibsborough Road via the existing access which serves the residents of the existing converted Mill building that adjoins the development site.

The site benefits from good connectivity to the Greenways Network along the North bank of the canal as indicated on diagram 1 above. It also has a tow path, pedestrian route along its Southern Bank. It is proposed to provide linkages to this pathway from within the site as indicated above in order to provide good permeability and connectivity for residents.

Access from the canal to a new plaza will be provided allowing the public to permeate the site.

The proposed development therefore optimises the potential of the Royal Canal as a strategic pedestrian and cycle route and a local amenity resource integrated into the design and layout of the development.



2. ESTABLISHED HISTORICAL BUILDING LINE

Existing residential developments in former Mill building.

There is a strong building line along the South bank of the canal as established by the historic 'Mill' building highlighted in diagram 2 above. It is intended that the proposed development will respond to this line by providing a strong active edge to the canal which will enhance this public realm as well as provide passive surveillance and enhanced opportunities for permeability and connectivity.

## Design Proposal



### 3. BUILDING EDGE + FORM

The proposed elevational treatment along the canal makes reference to the adjoining, dominant stone faced 'Mill' building in terms of alignment, massing and form. The proposed canal side elevation is predominantly 7 storeys high with a pitched roof, with eaves and ridge line providing a horizontal emphasis. Block C, a 12 storey building, provides visual punctuation along the façade and addresses a proposed new plaza. The rhythm and scale of the composition is in keeping with the language of the historical 'Mill' building.

The eaves line of the current proposal references the height of the adjacent mill conversion and the highest building, Block C, references the significant scale and the location of the existing concrete silo tower.

The series of 3 apartment buildings are separated by gaps of 5.8m and 7.0 m to facilitate connectivity to the canal as well as providing views and south light to penetrate through onto the canal edge.



### 4. BUILDING FOOTPRINT OVERLAY

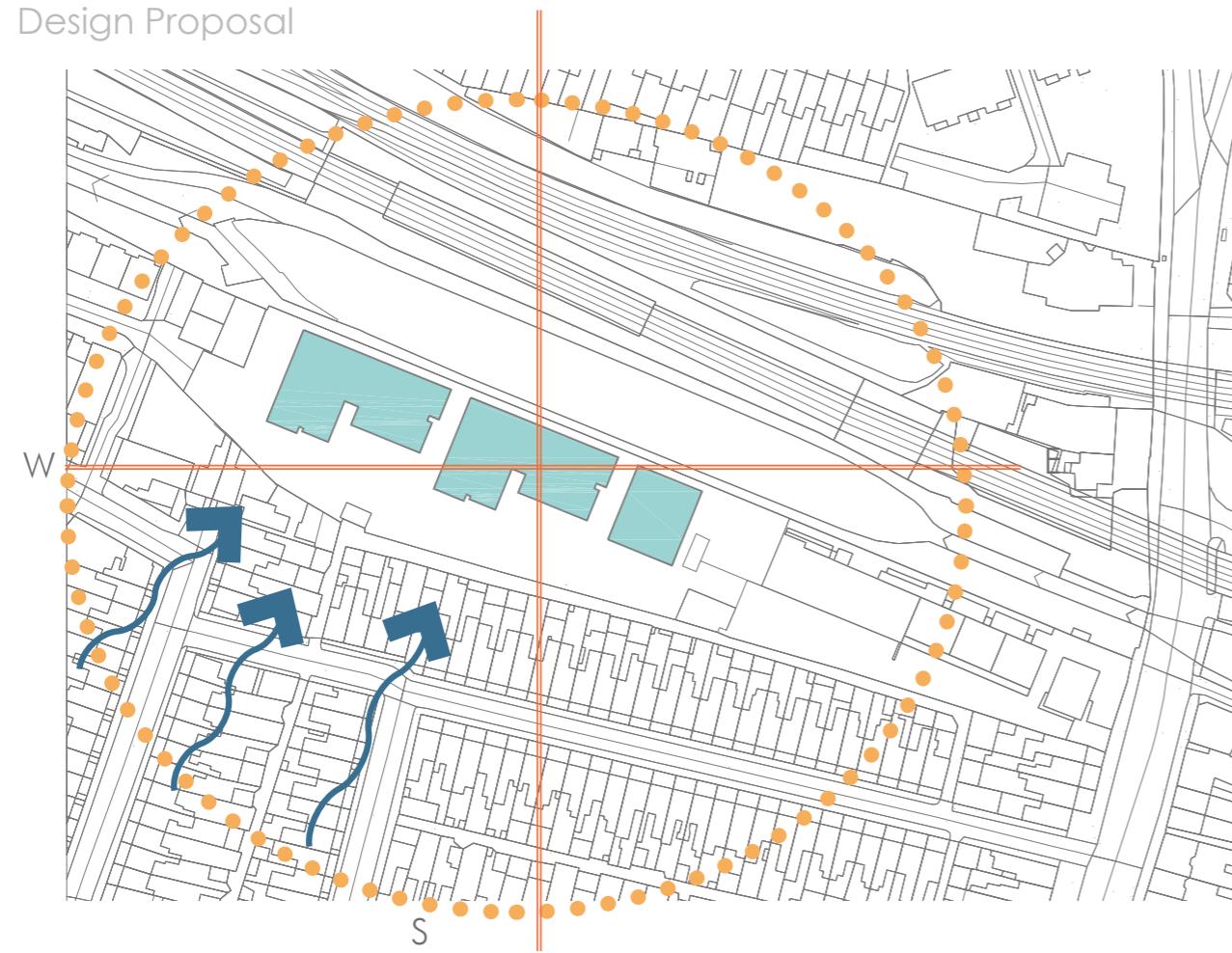
Since the first Pre-Application meeting with DCC, we have developed the design to take account of points raised at the meeting regarding proximity to adjacent dwellings. We have revised the building footprints and their positions within the site.

The layouts of the three building have also been modified, to improve the internal circulation, to improve the unit types and more significantly to omit the connections between blocks.

Each building is now a detached structure and the gaps between blocks allow more light to penetrate the site and onto the tow path area. The extent of the basement car parking has been reduced from the initial proposal.

Diagram 4 illustrates the overlay comparison between the previous and current design proposals. Greater separation distances have been provided to existing residential properties to east, west & south boundaries.

## Design Proposal



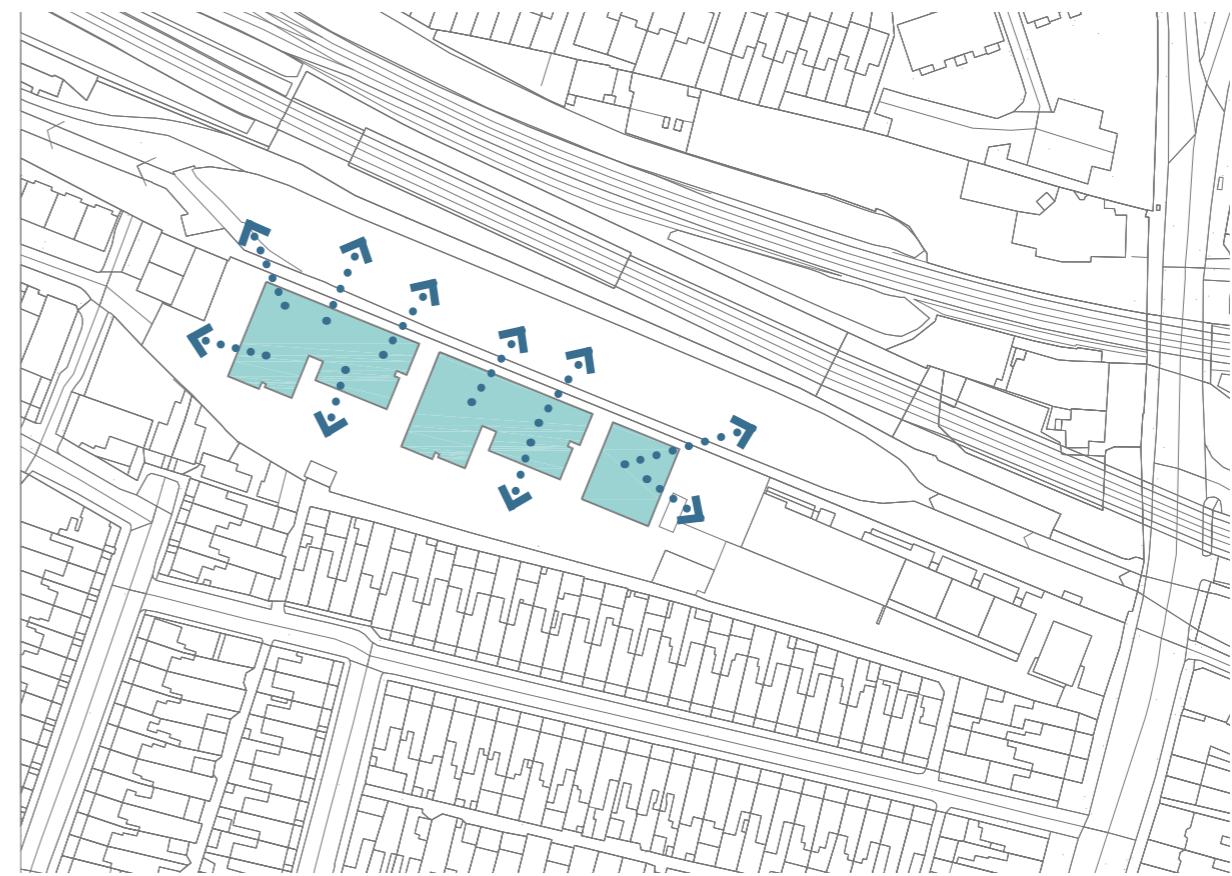
5. ORIENTATION + SUN PATH

The proposed apartment buildings are located along the Northern edge of the site. This ensures that the main open space occupies the central area of the site, thereby benefitting from South sunlight.

Due to the buildings orientation, shadow cast is principally towards the North and onto the canal. There is very limited shadow cast to the South of the site and there is no impact on adjoining neighbours. As part of our proposals, the design team submits a full daylight and sunlight assessment demonstrating compliance with the relevant British and BRE standards.

Preliminary modelling of the current proposal returned favourable results that have been improved upon through further design development.

The provision of 5.8m and 7.0m gaps between buildings A, B and C ensures that sunlight from the South can also penetrate the edge of the canal.

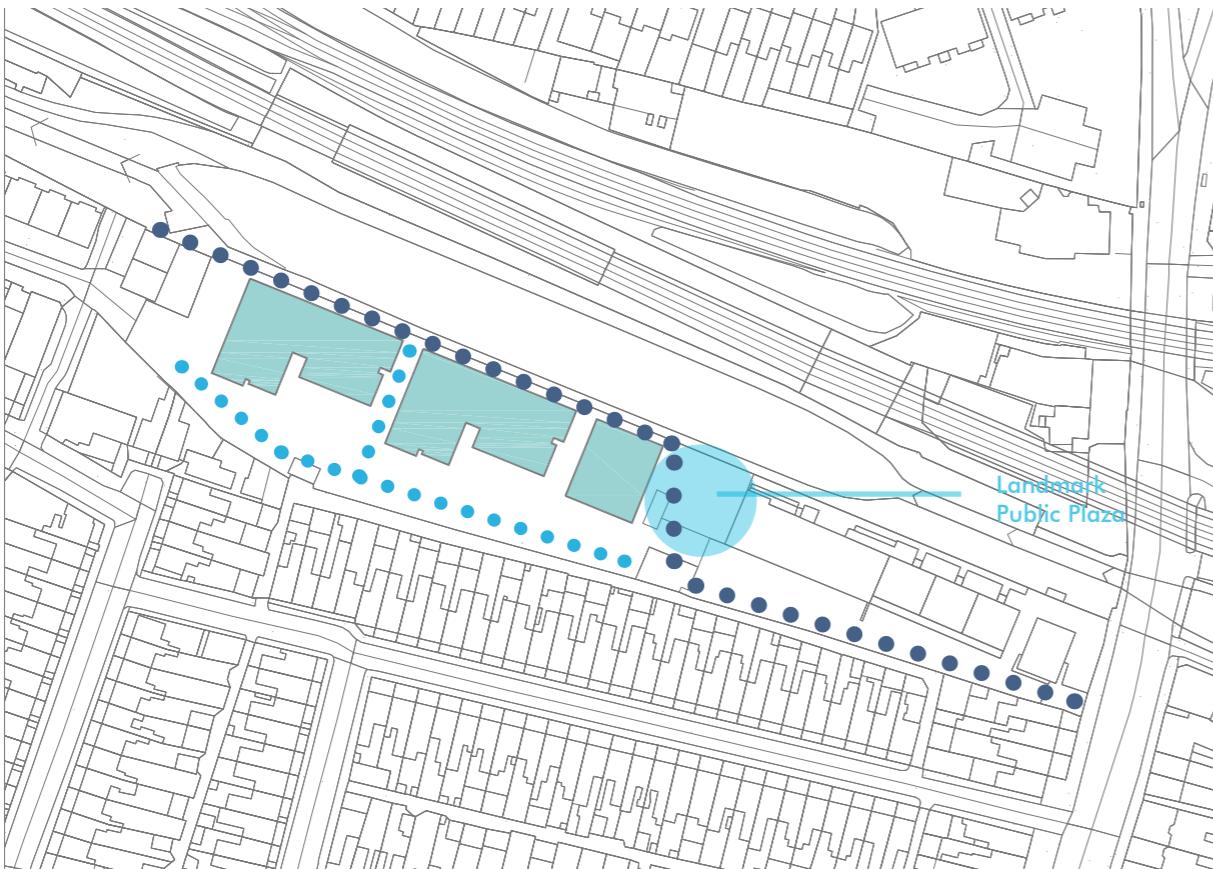


6 ASPECT + VIEWS

Attractive views are available up and down the canal and apartments are generally planned to avail of this open view over the waterway. Apartments in the 7 storey elements also benefit from views into the South facing landscaped courtyards. Apartments in the south-facing gables of each block have mostly secondary windows facing south. This lessens the impact of the new development on the amenity of adjoining residential properties.

The return elements along the Southern side of the site are 3 - 6 storeys in height with considerable separation distance now provided to the rear of the houses along Leinster Street North. The main volumes of the buildings which are setback within the centre of the site and which are positioned parallel to the canal, are 7 storeys in height with Block C extending to 12 storeys on the canal side.

## Design Proposal



7. PUBLIC REALM

Diagram 7 above shows the concept strategy for activating the public realm. The existing tow path along the Southern edge will passively surveilled by the apartments and will become a more desirable area to walk or cycle on. There will be a gated connection into the development for residents between the blocks A & B , and a gated opening at the plaza. The proposed plaza will allow the public to avail of a new canal-side landscaped plaza space and may also permit a linkage through the site to Phibsborough Road. The plaza gate remains open during daytime and will be closed at night.

The plaza and canal tow path will afford an opportunity for further water based and associated activities to take place on this section of the canal. A café has been incorporated in the most prominent position in the ground floor of Block C and will contribute to the animation of the public space.

The proposed public access and the residential access between blocks provide good permeability, connectivity and views through from the landscaped garden spaces to the canal.



8. INTERNAL ENTRANCES + CIRCULATION

Diagram 8 above indicates the primary access points to the buildings which are served from the South facing landscaped courtyard. The linkage to the canal across the plaza provides ease of access to the canal and green ways network.

The café / retail unit in block C will be accessed directly from the plaza .

## Design Proposal

### 9. HEIGHT STRATEGY

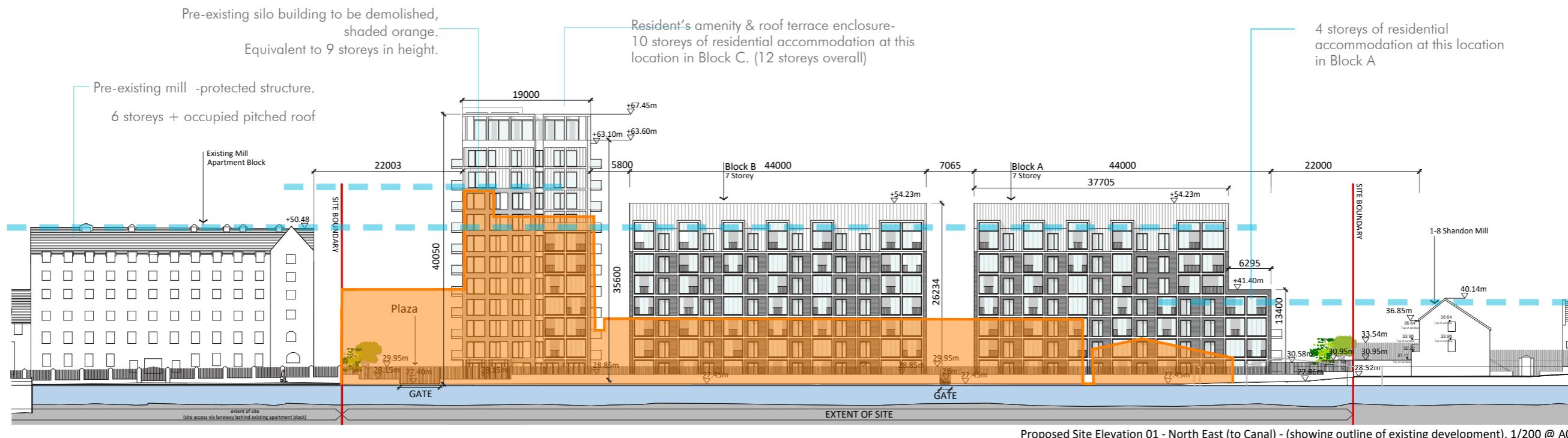
This diagram indicates the height strategy for the new development.

Although the 3 residential blocks range in height from 3 to 12 storeys, the prevailing height of the scheme is 7 storeys with a pitched roof, with eaves and ridge line providing an horizontal emphasis. This ridge line references the height of the adjacent protected structure, the former Mill apartment development, and the highest building (Block C) references the height and location of the existing silo, a remnant of the previous industrial use of the site.

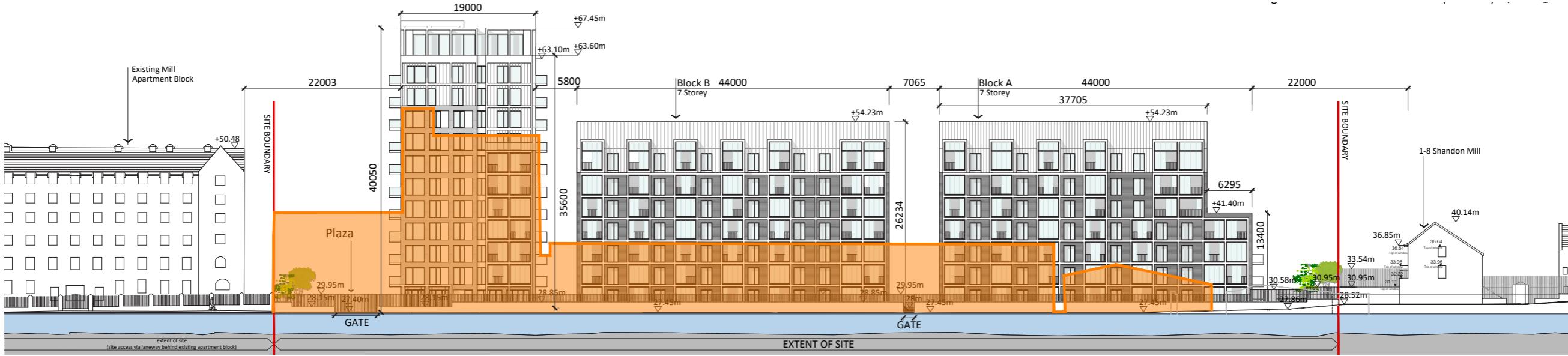
The pre-existing height of the Mill apartment building, 6 storeys + occupied pitch roof ( 7 storeys) establishes the potential for 7 storey buildings facing the canal creating a sense of place and enclosure along it. The proposed roofscape and height are similar to that of the existing Mill building.

The pre-existing height of the silo building , equivalent to 9 storeys, establishes the potential to replace the existing silo at the same location with a new tall local landmark building, contributing to the streetscape and the wider skyline . Block C's design emphasizes its slenderness and engages strongly with the architectural language used in the other 2 lower horizontal blocks A and B. Block A steps down to 4 and 3 storeys in proximity to Shandon Mill apartments addressing the transition in scale between the developments.

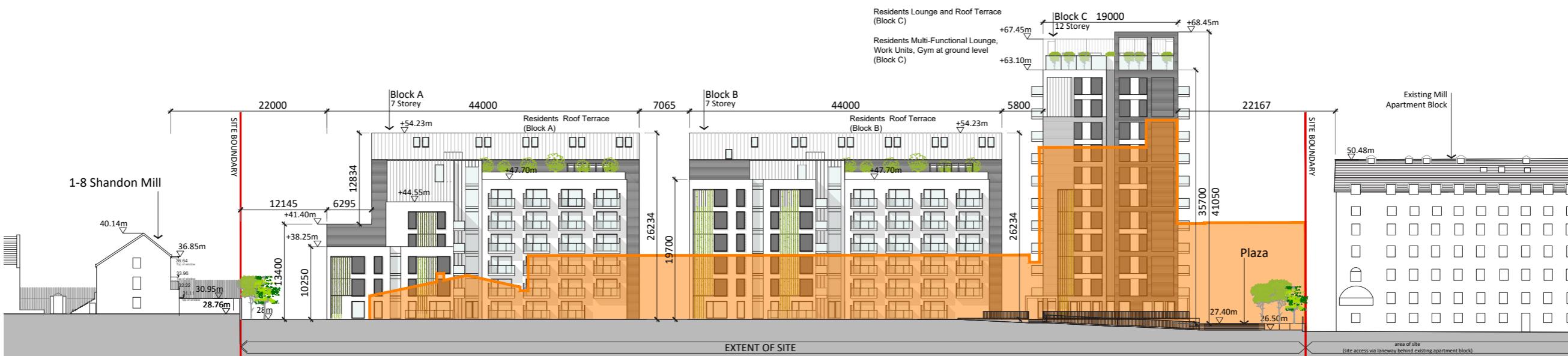
The new buildings are in harmony with the site context, capturing the spirit of the place and architecturally in-keeping with the area in a contemporary way.



# Design Proposal



Overlay of existing buildings on the site (indicated with orange hatch)



### South-west elevation

## Design Proposal

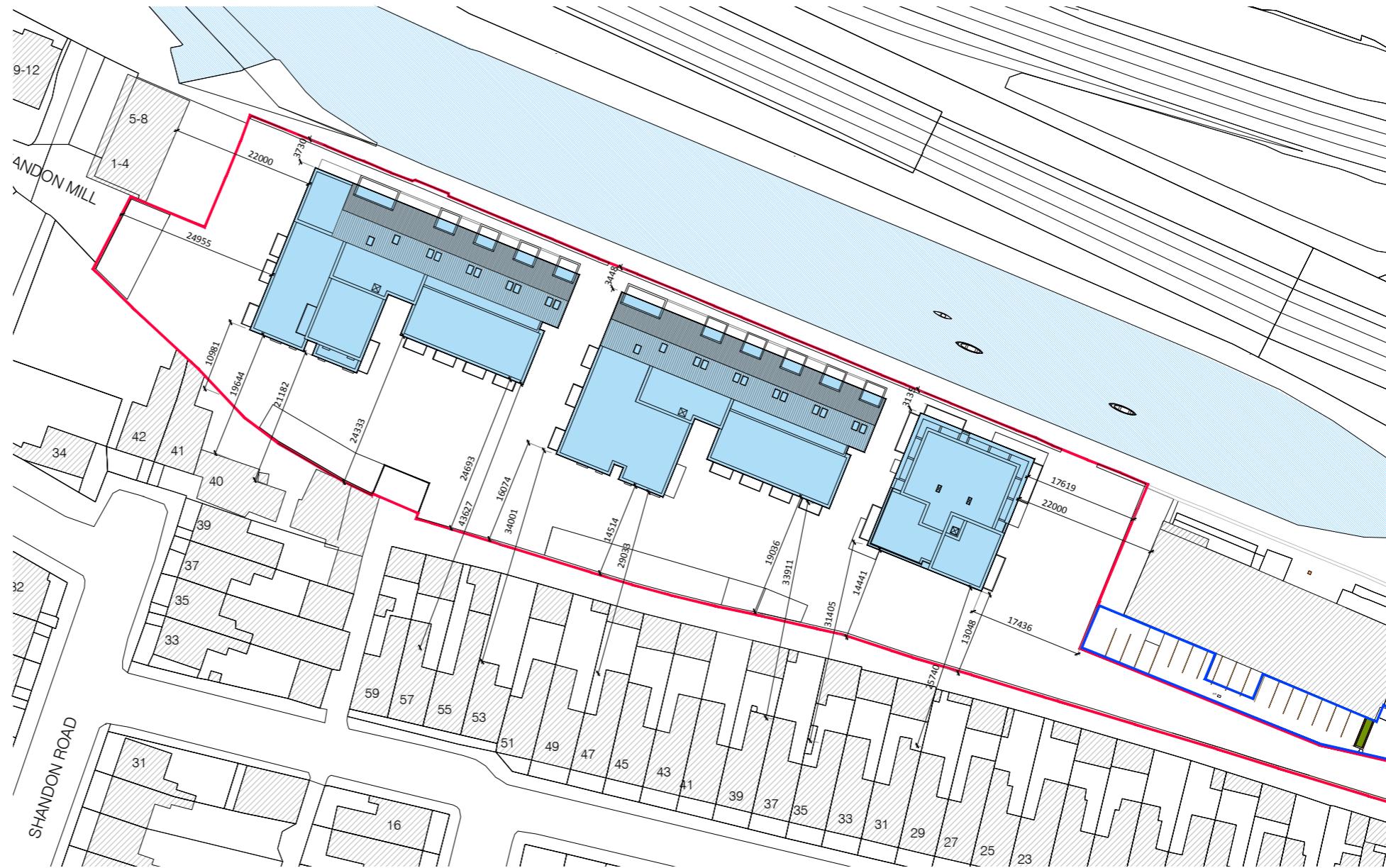
### 10. SEPARATION DISTANCES

Careful consideration has been given to the massing, with setbacks and ample separation distances between the proposed apartments and the existing adjoining development in order to protect the privacy and amenity of the residents.

The buildings are arranged along the canal edge, keeping the established building line along the canal and maximizing the separation distances from the surrounding pre-existing houses. The proposed separation distances are significantly greater than the separation distances between the two apartment buildings on the site entrance road and the houses on Leinster Street. The proposed apartment buildings are each located much further away from the existing houses than the existing industrial buildings are.

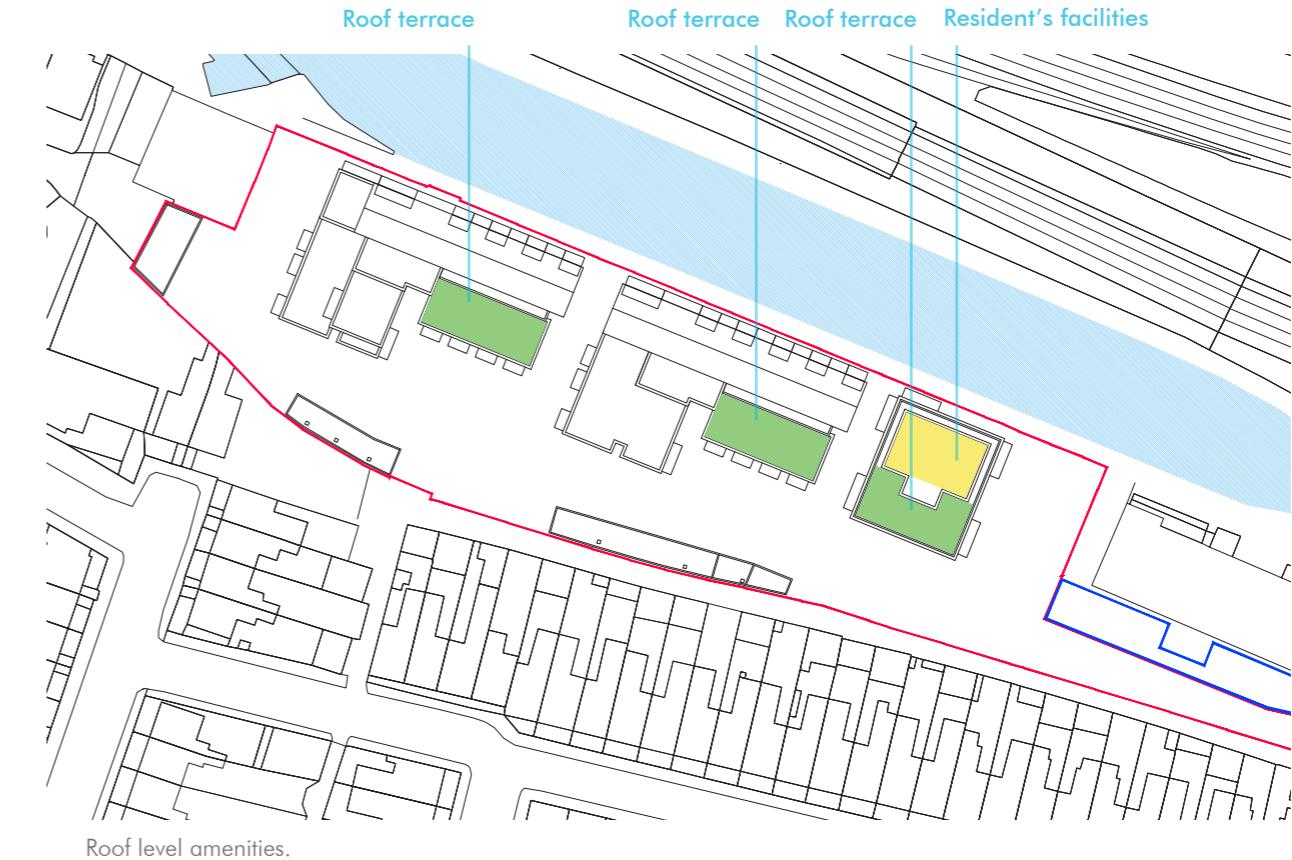
A conscious effort is made to concentrate development away from the site boundaries on three sides where there are existing dwellings. We believe that the proposed separation distances are appropriate in this urban context.

In addition, the orientation and aspect of the development is such that there will be no shadow cast to the south thereby ensuring no negative impact to the daylight levels in existing rear gardens along Leinster Street North.



Building separation distances.

## Design Proposal



### 11. FACILITIES + AMENITIES

Throughout the development there are a number of amenities for residents and also for the public to enjoy. The new plaza will be a publicly accessible space that links through the site onto the Royal Canal tow path. This space is traversed by all residents approaching the buildings. The plaza will be further animated by the café and its outdoor terrace and there is opportunity to allow for future access to the space by local water-based activity groups or clubs. The 67.3 m<sup>2</sup> café/retail unit provides a focal point along the waterfront and offers an external terrace providing a meeting and resting point along the canal. Both the café and the residents lounge facility

face onto the canal tow path providing much needed passive surveillance. It is proposed that the wide access gate, set into a newly formed opening in the site boundary wall, be closed at night, outside of the café opening hours.

The residents facilities at ground floor level include a 76 m<sup>2</sup> gym overlooking the canal, a 31 m<sup>2</sup> multi-functional residents lounge with outdoor terrace overlooking the plaza, shared working booth and meeting pod, management suite. Located at 11th floor is a further residents lounge and reception & group dining space with direct access onto a south facing roof terrace. A number of lock-up storage units for large items and

a bicycle workshop are provided within the basement car park area.

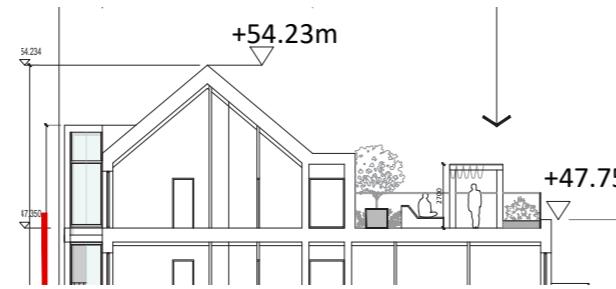
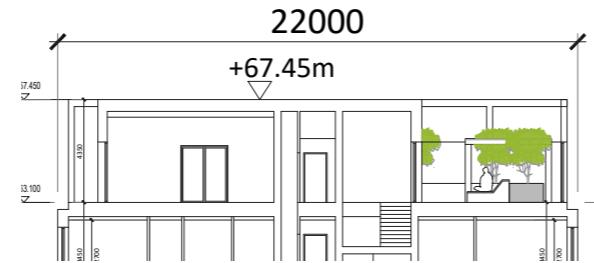
The resident's facilities will be very well appointed and are an attractive key feature of the build to rent development. The various facilities encourage socialising between residents and offer opportunities for a strong community to be built up. People who work from home can receive clients or host meetings. Hot desks will also be available. The lounges and reception rooms will be open to all residents and it will be possible to book a room to host a party or a function.

Generous outdoor amenities are provided at ground level in the landscaped gardens where ample seating, grassed areas and exercise and a play equipment are located.

At roof level in each building are further usable terraces with seating and planting. These terraces face south and will offer unique city garden spaces for residents to enjoy.

Refer to Ait Landscape architects drawings and report.

## Design Proposal



### 12. RESIDENTIAL AMENITY - ROOF TOP TERRACES

Accessible roof terrace amenity space is provided at roof level in each block, where residents can gather in an inviting and user friendly environment, created using elements like fixed seating, planters, pergolas and perimeter guarding.

The roof terraces also include means of preventing residents from approaching the edge to view in a downwards direction towards nearest existing houses. This can be achieved through placement of planters and selection of the materials used under foot at the terraces.

The roof terrace on Block C, will be surrounded by full height framing piers with large glazed infill panels. This architectural feature completes the building elevation and adds to the legibility of the building form, whereas a standard metal and glazed guarding offers a less strong definition to the top of the landmark building. The taller enclosure also offers greater protection and shelter to the users.

Detail drawings of the rooftop amenities are provided in the Landscape Report by Ait Landscape Architects.



Terraces Blocks A & B  
as additional residential amenity.

Terrace Block C  
as additional residential amenity.

## Design Proposal



Proposed Cafe facility and outdoor terrace activating the canal edge

### 13. PUBLIC OPEN SPACE PROVISION

Landmark public plaza.

As part of the Public Realm strategy, it is proposed to provide a public plaza as an extension of the existing tow path along the canal. This space is created in the wide gap between the existing old Mill building and block C. A cafe with outdoor seating is proposed at this location, providing a social meeting place and a focal point at the start of the development as approached from Phibsborough bridge from the East. The new public space is inviting, accessible and safe in an area in which safety is a concern.

The Cafe and public Plaza create an active edge and combined with the private apartment terraces ensure overlooking and passive surveillance along the canal edge.

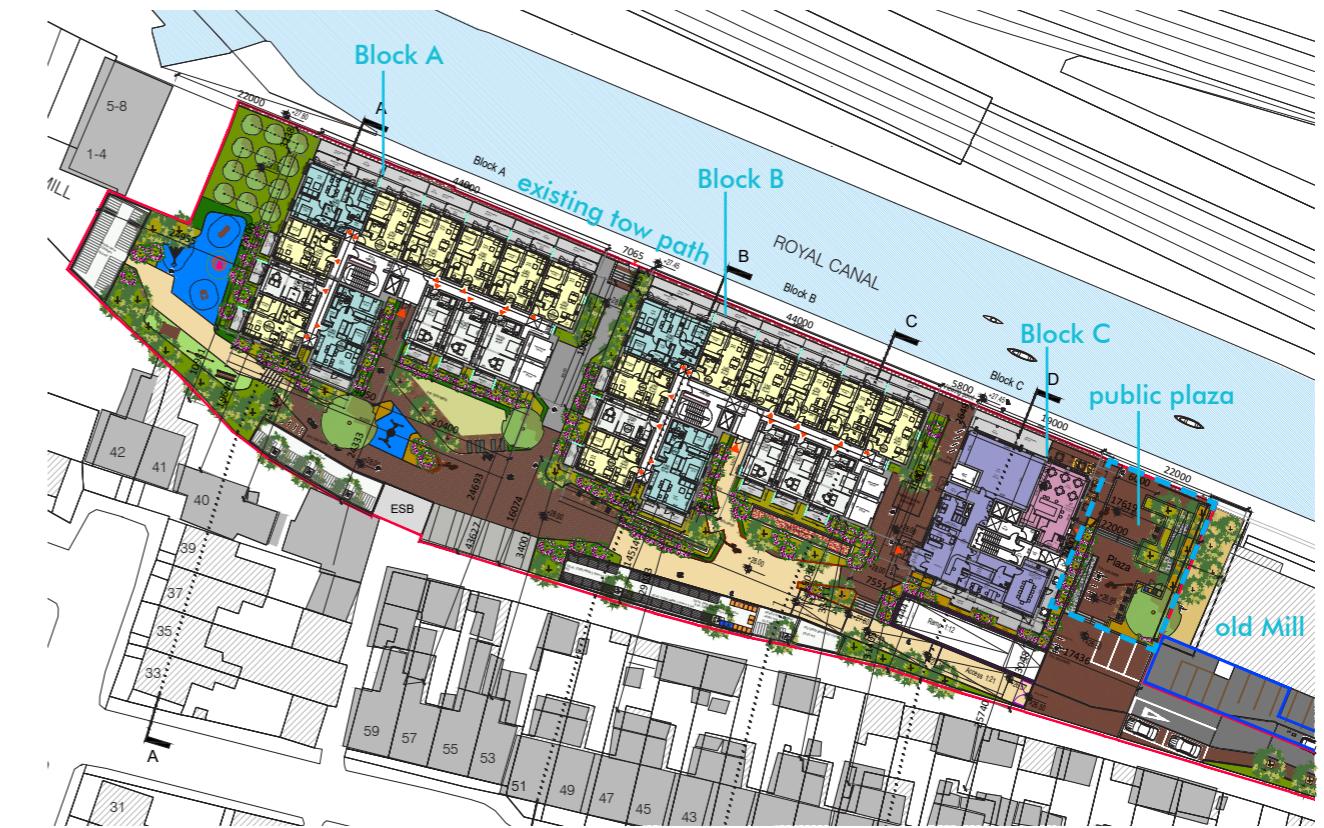
Integration of existing site boundary wall along the tow path into the development.

The existing site boundary wall is to be reduced in height sufficiently to offer good visibility and passive surveillance of the canal and tow path. The wall is to be capped and completed with a new railing to a height of 2.5m above tow path level.

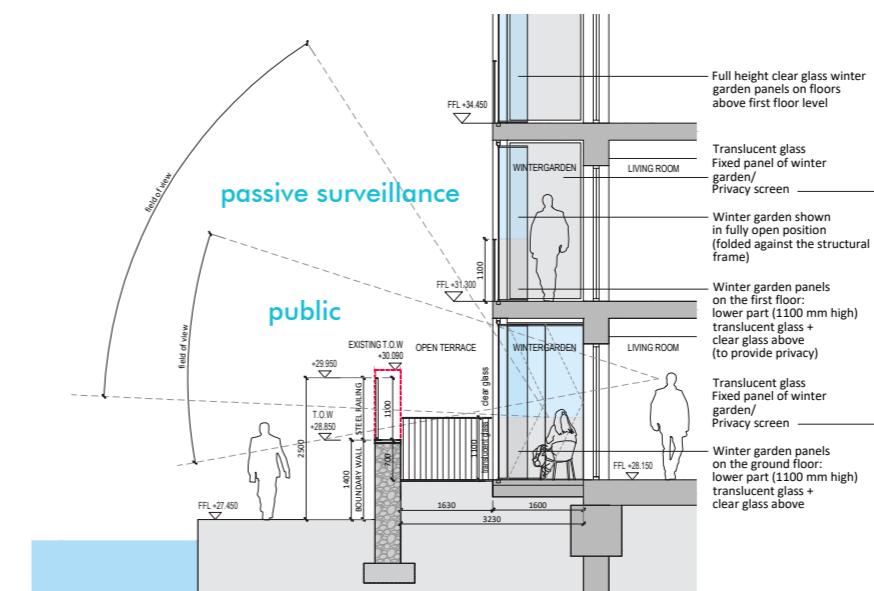
Refer to Ait Landscape Architects drawings & report.

Site area: 7269 m<sup>2</sup>

Public Open Space: 5%



The canal bank is a wonderful amenity for walking, running, cycling and passive recreation although the lack of building frontage reduces opportunities for passive surveillance and the use of this space.



Existing stone wall to be reduced to a height of 1.4 m over tow path.  
Provide new concrete capping to top of wall.  
Remove all vegetation, treat with bio-cide. Repoint where necessary.  
Provide new galvanised m.s. railing on top of wall to a height of 2.5 m over tow path.  
Provide new glass balustrade to private terrace.

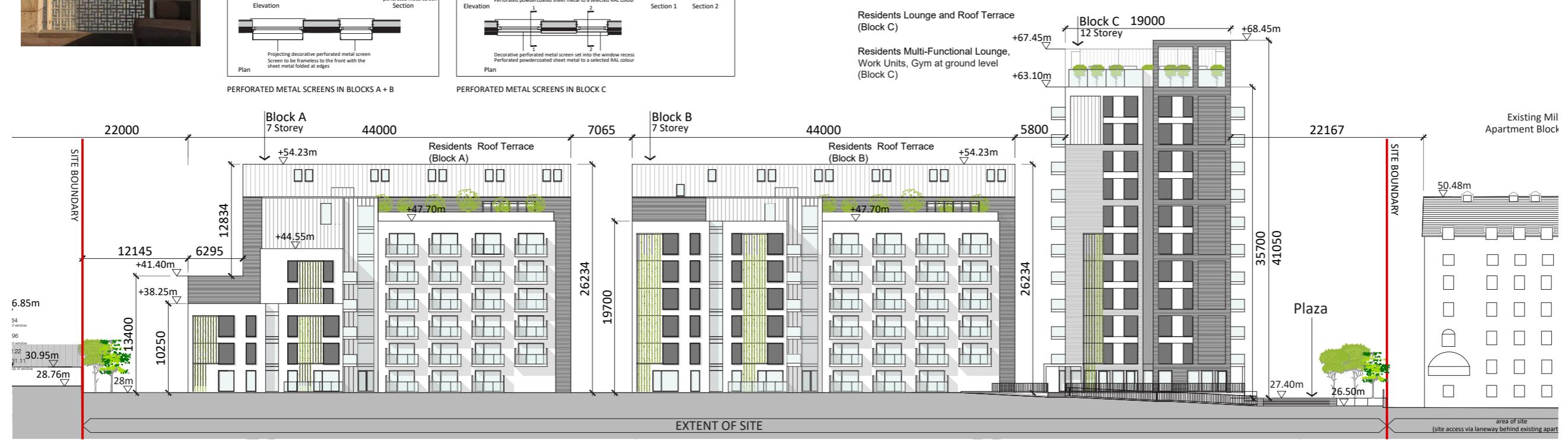
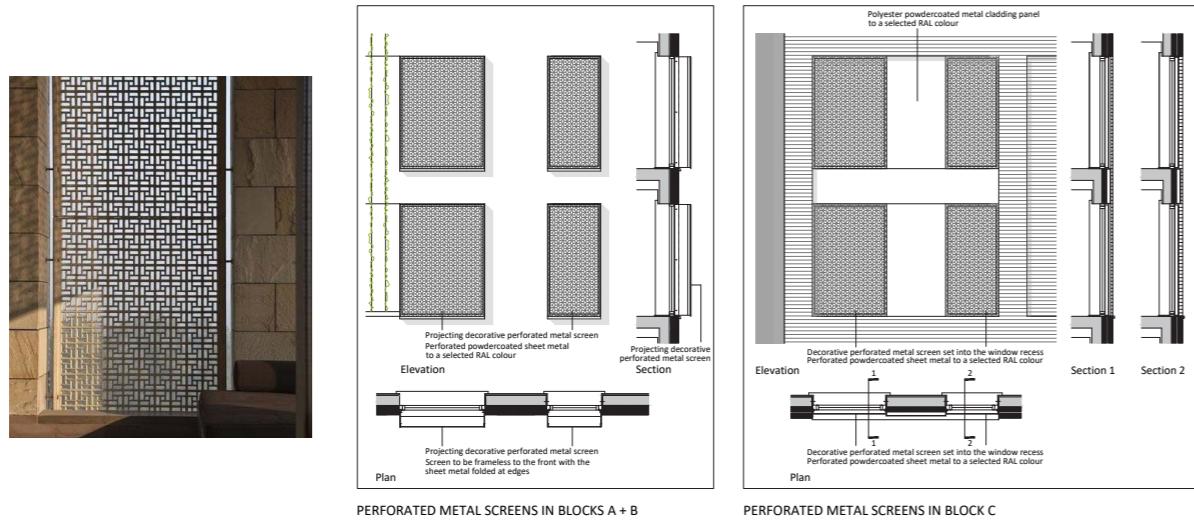
## Design Proposal

### 14. PROTECTION OF EXISTING RESIDENTIAL AMENITY

The existing residential amenity of houses located adjacent to the proposed development has been considered in the design development. The site layout, the orientation of buildings and the design of elevations have been derived in order to reduce any potential for overlooking of existing residential properties.

In addition to ensuring adequate set back distances from boundaries, windows on south gables of the proposed buildings will include a specifically designed mitigation measure in the form of screening.

Lightweight perforated metal screens will be provided externally in front of the windows, limiting views outwards from the interior but allowing sunlight to penetrate and air to circulate. From the exterior the screens also prevent views into the apartments and will have a decorative appearance like like "mashrabiya".



## Design Proposal

### 15. SELECTION OF MATERIALS

The proposed new buildings form a strong connection to its immediate context. A limited palette of high quality, low-maintenance and durable materials is selected.

The proposed elevational treatment along the canal makes reference to the adjoining, dominant, stone faced Mill building in terms of alignment, massing and form. The converted mill is a protected structure, an important part of the industrial heritage of the area, contributing strongly to its character.

The proposed buildings fit well into the context, capturing the spirit of the imposing industrial building in a contemporary way. They look at its simple, functional form, at the solidity of its stone construction and at its close relationship to the water edge. They acknowledge and express these qualities by maintaining the same ridge level, the simple form, the pitched roof (in 2 of the blocks), the robustness of the walls and the close alignment along the canal edge.

The proposed materials though, respond to a different use, residential, and having observed the surrounding existing houses, brick is chosen as the main material for the canal elevation and zinc as a more contemporary alternative to the slate roofs. The colour of the brick is selected taking into account the fact that the canal elevation is north facing and considering that a high quality textured brick with a light and warm shade would suit this aspect better, reflecting light in a more successful way than a dark surface. A grid of balconies and winter gardens is placed in front of the main brick body



# Character areas

Character area - ZONE 1 - Canal side & public realm

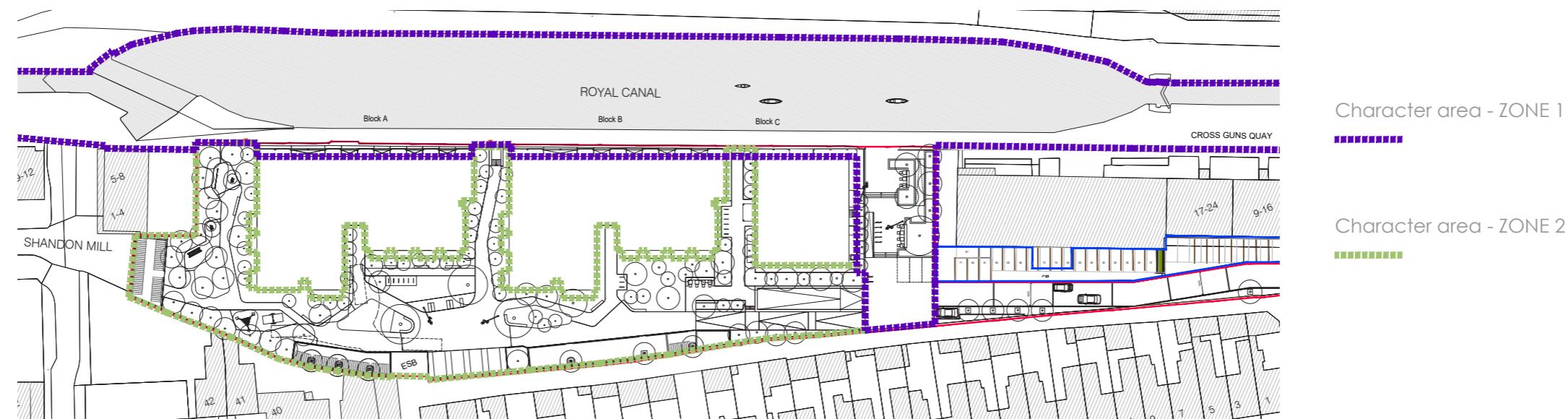
## CANAL SIDE AND PUBLIC REALM

The canal, the existing pedestrianised tow path and the proposed new public plaza, provide a focal point not only for the proposed development but also for the wider area. This public open space is activated by the presence of a café opening directly onto it at ground floor in block C. The site benefits from good connectivity to the Greenways Network along the north bank of the canal. The 3 apartment blocks are located along the canal, addressing this edge in order to benefit from wide views over the waterway and beyond while reinforcing passive surveillance of the tow path.

The building's elevational treatment makes reference to the adjoining "Mill" building, a protected structure and an important part of the industrial heritage of the area,

contributing strongly to its character. A grid of winter garden balconies forms an outer skin, which without hiding the main brick body of the proposed buildings, provides the private amenity open space for these units, delivering a contemporary and distinctive architectural expression and aiding these buildings to both relate to and reinterpret their surroundings.

The existing site boundary wall along the tow path is retained and integrated into the new development. New openings are created on it to give access to the development from the tow path at locations and its height is reduced to offer good visibility and passive surveillance of the canal and tow path. The residents facilities are also located in this area, participating and contributing to the activation of the public realm.



Character area - ZONE 2 - Resident's garden.

## RESIDENT'S GARDEN

The context around the site is strongly determined by the surrounding residential developments: the Leinster Street houses to the south and the Shandon Mill apartments to the west. A central open space is created for the use of the residents. This landscaped garden comprises solid ground permitting tree planting and is partially a podium garden located over the parking. Various soft and hard landscaping features are provided and a small playground is proposed. The residents garden is gated ensuring the privacy and security that are required while also permitting permeability and connection from the garden to the tow path and public plaza. The elevational treatment of the buildings in this more private area sees a change in the architectural language from that of the canal elevation: self-coloured render finish walls and projecting balconies are proposed

at this location. The different building volumes present more varied forms, breaking down the scale of the development towards the existing residential properties. While ample separation distances are created between the proposed residential development and the adjacent houses, it is proposed to screen windows on the southernmost gables of the three buildings with perforated metal screens as a mitigation measure intended to reduce the potential of perceived overlooking. The screens are both functional and decorative and will lead to a greater protection of the residential amenity enjoyed at the rear of adjacent properties. The residents garden is a valuable, high quality outdoor space that will offer a unique amenity and a sheltered and secure setting. Perimeter tree planting along parts of the boundary will aid to screen the development from the rear of existing houses and contribute significantly to the positive transformation of this derelict former industrial site.



# CGI renders



Plaza view



Courtyard view





04

## Development Schedules

- Development schedule
- Housing Quality Assessment

## 1723A-OMP-Schedule

 o'mahony pike

### 1723A - Residential development at 133 Phibsborough Road, Cross Guns Bridge, D7

27.01.2021

#### Development statistics

|                               |     |            |   |
|-------------------------------|-----|------------|---|
| Site area                     |     | 7269 m2    | 0.7 Ha                                  |
| Block A                       | GFA | 4923 m2    | (GFA includes switch room + substation) |
| Block B                       | GFA | 5648 m2    | (GFA includes switch room + substation) |
| Block C                       | GFA | 4347 m2    | (GFA includes meter room)               |
| Basement                      | GFA | 1163 m2    |   |
| Outbuildings                  | GFA | 311.3 m2   |   |
| Total                         | GFA | 16392.3 m2 |   |
| Site coverage                 |     | 36.40%     |   |
| Total Residential Units       |     | 205        | apartments                              |
| Plot ratio                    |     | 2.25       |   |
| Density                       |     | 292        | units per hectare                       |
| Car Spaces (residents)        |     | 24         | of which 5 are accessible.              |
| Go Car spaces                 |     | 2          |   |
| Set down spaces               |     | 3          |   |
| Motorcycle spaces (residents) |     | 5          |   |
| Bicycle spaces residents      |     | 272        | All enclosed                            |
| Bicycle spaces visitors       |     | 72         | 22 enclosed, 50 outdoor                 |
| Tenant Amenity (indoor)       |     | 460.5 m2   | Block C-GF+11th fl+basemt.              |
| Tenant Amenity (outdoor)      |     | 440 m2     | Roof terraces-A,B & C                   |
| Garden (communal use)         |     | 2628 m2    | Landscaped areas                        |
| Plaza                         |     | 350 m2     | 5% of site area                         |
| Café/retail unit              |     | 67.3 m2    |   |

#### Gross Internal Floor Area

|                | A    | B    | C       |
|----------------|------|------|---------|
| 11th floor     |      |      | 171 m2  |
| 10th floor     |      |      | 380 m2  |
| 9th floor      |      |      | 380 m2  |
| 8th floor      |      |      | 380 m2  |
| 7th floor      |      |      | 380 m2  |
| 6th floor      | 402  | 452  | 380 m2  |
| 5th floor      | 565  | 866  | 380 m2  |
| 4th floor      | 654  | 866  | 380 m2  |
| 3rd floor      | 704  | 866  | 380 m2  |
| 2nd floor      | 866  | 866  | 380 m2  |
| 1st floor      | 866  | 866  | 380 m2  |
| Ground floor   | 866  | 866  | 376 m2  |
|                | 4923 | 5648 | 4347 m2 |
| Basement floor |      |      | 1163 m2 |

## 1723A-OMP-Schedule

 o'mahony pike

### 1723A - Residential development at 133 Phibsborough Road, Cross Guns Bridge, D7

27.01.2021

#### Outbuildings

|         |    |
|---------|----|
| 311.3   | m2 |
| 16392.3 | m2 |

#### Tenant Amenity (indoor) -Resident support facilities

|                    |         |
|--------------------|---------|
| Management office  | 15.9 m2 |
| Parcel store       | 6.5 m2  |
| Staff facilities   | 22.5 m2 |
| Bike workshop      | 7.3 m2  |
| Large item storage | 76.3 m2 |

#### Tenant Amenity (indoor) -Resident services and amenities

|   |          |
|---|----------|
| Gym   | 76.1 m2  |
| Lounge lobby/shared workspace area /reception | 71.5 m2  |
| Multifunctional residents lounge              | 32 m2    |
| Residents dining                              | 41 m2    |
| Residents lounge                              | 50 m2    |
| Ancillary areas + WC                          | 61.4 m2  |
| <b>Total Tenant Amenity (Indoor)</b>          | 460.5 m2 |

#### Outbuildings

|                            |          |
|----------------------------|----------|
| Life safety generator room | 19.3 m2  |
| Bike store 01              | 22.3 m2  |
| Refuse store               | 115 m2   |
| Bike store 02              | 78.4 m2  |
| Bike store 03              | 76.3 m2  |
|                            | 311.3 m2 |

#### Footprint

|                        |                 |
|------------------------|-----------------|
| A                      | 936 m2          |
| B                      | 936 m2          |
| C                      | 419 m2          |
| Outbuildings           | 356 m2          |
| <b>Total footprint</b> | <b>2647 m2</b>  |
|                        | 36.40% Coverage |

#### Mix of units

|              |                      |    |        |
|--------------|----------------------|----|--------|
| Block A      | Studio               | 26 | 34.21% |
|              | 1 bed                | 38 | 50.00% |
|              | 2 bed                | 12 | 15.78% |
| <b>Total</b> | <b>76 Apartments</b> |    |        |
|              | Dual aspect          | 33 | 43.42% |
|              | Single aspect-north  | 25 | 32.89% |
|              | Single aspect-other  | 18 | 23.68% |
| Block B      | Studio               | 29 | 32.58% |
|              | 1 bed                | 47 | 52.80% |
|              | 2 bed                | 13 | 14.60% |

**1723A-OMP-Schedule****o'mahony pike**

**1723A - Residential development at 133 Phibsborough Road, Cross Guns Bridge, D7**  
27.01.2021

| <b>Total</b>              |     |   |                                   | <b>89 Apartments</b>          |
|---------------------------|-----|---|-----------------------------------|-------------------------------|
| Dual aspect               | 37  | 41.57%  |                                   |                               |
| Single aspect-north       | 28  | 31.46%  |                                   |                               |
| Single aspect-other       | 24  | 26.96%  |                                   |                               |
| Block C                   |     |   |                                   |                               |
| Studio                    | 0   | 0%  |                                   |                               |
| 1 bed                     | 0   | 0%  |                                   |                               |
| 2 bed                     | 40  | 100%  |                                   |                               |
| <b>Total</b>              |     |   |                                   | <b>40 Apartments</b>          |
| Dual aspect               | 40  | 100.00%   |                                   |                               |
| Single aspect-north       | 0   | 0%  |                                   |                               |
| Single aspect-other       | 0   | 0.00%   |                                   |                               |
| Development               |     |   |                                   |                               |
| Studio                    | 55  | 26.82%  |                                   |                               |
| 1 bed                     | 85  | 41.46%  |                                   |                               |
| 2 bed                     | 65  | 31.70%  |                                   |                               |
|                           |     |   |                                   | <b>205 apartments</b>         |
| <b>Aspect</b>             |     |   |                                   |                               |
| Dual aspect               |     | 53.65%  |                                   |                               |
| Single aspect-north       |     | 25.85%  |                                   |                               |
| Single aspect-other       |     | 20.48%  |                                   |                               |
| <b>Car parking</b>        |     |   |                                   |                               |
| Residents                 | 19  | no. car spaces in basement car park             |                                   |                               |
|                           | 1   | no. accessible space in basement car park       |                                   |                               |
|                           | 4   | no. accessible spaces on surface in courtyard   |                                   |                               |
|                           |     |   |                                   | <b>24 no. car spaces</b>      |
| Other                     |     |   |                                   |                               |
|                           | 2   | no. Go Car spaces on surface at plaza           |                                   |                               |
|                           | 3   | no. set down spaces on surface at plaza         |                                   |                               |
|                           |     |   |                                   | <b>5 no. car spaces</b>       |
| <b>Motorcycle parking</b> |     |   |                                   |                               |
| Residents                 |     | 5   | no. motorcycle spaces in basement |                               |
| <b>Bicycle parking</b>    |     |   |                                   |                               |
| Residents                 | 118 | no. spaces in store room at west end            |                                   |                               |
|                           | 90  | no. spaces in store room opposite gable block A |                                   |                               |
|                           | 64  | no. spaces in store room in basement            |                                   |                               |
|                           |     |   |                                   | <b>272 no. bicycle spaces</b> |
| Visitor                   |     |   |                                   |                               |
|                           | 22  | no. spaces in store room at top of ramp         |                                   |                               |
|                           | 50  | no. spaces distributed throughout the site      |                                   |                               |
|                           |     |   |                                   | <b>72 no. bicycle spaces</b>  |

| UNIT NUMBER                                   | UNIT TYPE       | UNIT DESCRIPTION | UNIT AREA REQUIRED (sq.m.) | UNIT AREA ACHIEVED (sq.m.) | CEILING HEIGHT (Kitchen/Living/Dining) | ORIENTATION | ASPECT | No. of Bedrooms | No. of Bedspaces | Aggregate Bedroom Area Required (sq.m.) | Aggregate Bedroom Area Achieved (sq.m.) | Main Living Room Width Required (m) | Main Living Room Width Achieved (m) | Combined Living/Dining/Bedspace Width Required (m) | Combined Living/Dining/Bedspace Width Achieved (m) | Kitchen/Living/Dining Area Required (sq.m.) | Combined Living/Dining/Bedspace Area Required (sq.m.) | Aggregate Storage Area Required (sq.m.) | Aggregate Storage Area Achieved (sq.m.) | Balcony/Winter Garden/Balcony + Winter Garden Area Required (sq.m.) | Balcony/Winter Garden/Balcony + Winter Garden Area Achieved (sq.m.) | Balcony/Winter Garden Depth Required (m) | Balcony/Winter Garden Depth Achieved (m) |       |
|---|-----------------|------------------|----------------------------|----------------------------|--|-------------|--------|-----------------|------------------|---|---|-------------------------------------|-------------------------------------|--|--|---|---|---|---|---|---|--|--|-------|
| <b>APARTMENT BLOCK A - GROUND FLOOR UNITS</b> |                 |                  |                            |                            |  |             |        |                 |                  |   |   |                                     |                                     |  |  |   |   |   |   |   |   |  |  |       |
| 1 AB.01                                       | 2 Bed Apartment |                  | 73                         | 78.3                       | Dual                                   | S+E         | 2.7    | 2               | 4                | 24.4                                    | 25.0                                    | 3.6                                 | 4.6                                 |  |  | 30  | 32.5  |   | 6                                       | 6.2   | 7   | 9.9                                      | 1.5                                      | 1.5   |
| 2 AB.02                                       | 1 Bed Apartment |                  | 45                         | 50.4                       | Dual                                   | S + W       | 2.7    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4                                 |  |  | 23  | 27.2  |   | 3                                       | 3.4   | 5   | 5.0                                      | 1.5                                      | 1.5   |
| 3 AB.03                                       | Studio          |                  | 37                         | 37.2                       | Single                                 | W           | 2.7    |                 |                  |   |   |                                     |                                     | 4  | 4.65   |   | 30  | >30                                     | 3                                       | 3.0   | 4   | 5.0                                      | 1.5                                      | 1.5   |
| 4 AB.02                                       | 1 Bed Apartment |                  | 45                         | 50.4                       | Single                                 | W           | 2.7    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4                                 |  |  | 23  | 27.2  |   | 3                                       | 3.4   | 5   | 5.0                                      | 1.5                                      | 1.5   |
| 5 AB.04                                       | 2 Bed Apartment |                  | 73                         | 76.6                       | Dual                                   | W+N         | 2.7    | 2               | 4                | 24.4                                    | 24.4                                    | 3.6                                 | 4.5                                 |  |  | 30  | 30.0  |   | 6                                       | 6.4   | 7   | 31.2                                     | 1.5                                      | >3.1  |
| 6 AB.05                                       | 1 Bed Apartment |                  | 45                         | 50.4                       | Single                                 | N           | 2.7    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4                                 |  |  | 23  | 24.4  |   | 3                                       | 3.2   | 5   | 20.8                                     | 1.5                                      | >3.1  |
| 7 AB.06                                       | 1 Bed Apartment |                  | 45                         | 50.4                       | Single                                 | N           | 2.7    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4                                 |  |  | 23  | 23.1  |   | 3                                       | 3.4   | 5   | 20.5                                     | 1.5                                      | >3.1  |
| 8 AB.02                                       | 1 Bed Apartment |                  | 45                         | 50.4                       | Single                                 | N           | 2.7    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4                                 |  |  | 23  | 27.2  |   | 3                                       | 3.4   | 5   | 19.9                                     | 1.5                                      | >3.07 |
| 9 AB.02                                       | 1 Bed Apartment |                  | 45                         | 50.4                       | Single                                 | N           | 2.7    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4                                 |  |  | 23  | 27.2  |   | 3                                       | 3.4   | 5   | 19.6                                     | 1.5                                      | >3.02 |
| 10 AB.07                                      | 1 Bed Apartment |                  | 45                         | 49.8                       | Dual                                   | E+N         | 2.7    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4                                 |  |  | 23  | 24.4  |   | 3                                       | 3.2   | 5   | 19.2                                     | 1.5                                      | >2.95 |
| 11 AB.08                                      | Studio          |                  | 37                         | 44.2                       | Single                                 | S           | 2.7    |                 |                  |   |   |                                     |                                     | 4  | 5.8  |   | 30  | >30                                     | 3                                       | 3.0   | 4   | 5.0                                      | 1.5                                      | 1.5   |
| 12 AB.03                                      | Studio          |                  | 37                         | 37.2                       | Single                                 | S           | 2.7    |                 |                  |   |   |                                     |                                     | 4  | 4.65   |   | 30  | >30                                     | 3                                       | 3.0   | 4   | 5.0                                      | 1.5                                      | 1.5   |
| 13 AB.03                                      | Studio          |                  | 37                         | 37.2                       | Dual                                   | S+W         | 2.7    |                 |                  |   |   |                                     |                                     | 4  | 4.65   |   | 30  | >30                                     | 3                                       | 3.0   | 4   | 5.0                                      | 1.5                                      | 1.5   |
|   |                 |                  | 662.9                      |                            |  |             |        |                 |                  |   |   |                                     |                                     |  |  |   |   |   |   |   |   |  |  |       |
| <b>APARTMENT BLOCK A - FIRST FLOOR UNITS</b>  |                 |                  |                            |                            |  |             |        |                 |                  |   |   |                                     |                                     |  |  |   |   |   |   |   |   |  |  |       |
| 14 AB.01                                      | 2 Bed Apartment |                  | 73                         | 78.3                       | Dual                                   | S+E         | 2.7    | 2               | 4                | 24.4                                    | 24.9                                    | 3.6                                 | 4.6                                 |  |  | 30  | 32.5  |   | 6                                       | 6.2   | 7   | 7.8                                      | 1.5                                      | 1.5   |
| 15 AB.02                                      | 1 Bed Apartment |                  | 45                         | 50.4                       | Dual                                   | S + W       | 2.7    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4                                 |  |  | 23  | 27.2  |   | 3                                       | 3.4   | 5   | 5.0                                      | 1.5                                      | 1.5   |
| 16 AB.03                                      | Studio          |                  | 37                         | 37.2                       | Single                                 | W           | 2.7    |                 |                  |   |   |                                     |                                     | 4  | 4.65   |   | 30  | >30                                     | 3                                       | 3.0   | 4   | 5.0                                      | 1.5                                      | 1.5   |
| 17 AB.02                                      | 1 Bed Apartment |                  | 45                         | 50.4                       | Single                                 | W           | 2.7    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4                                 |  |  | 23  | 27.2  |   | 3                                       | 3.4   | 5   | 5.0                                      | 1.5                                      | 1.5   |
| 18 AB.04                                      | 2 Bed Apartment |                  | 73                         | 76.6                       | Dual                                   | W+N         | 2.7    | 2               | 4                | 24.4                                    | 24.4                                    | 3.6                                 | 4.5                                 |  |  | 30  | 30.0  |   | 6                                       | 6.4   | 7   | 9.9                                      | 1.5                                      | 1.5   |
| 19 AB.05                                      | 1 Bed Apartment |                  | 45                         | 50.4                       | Single                                 | N           | 2.7    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4                                 |  |  | 23  | 24.4  |   | 3                                       | 3.2   | 5   | 5.0                                      | 1.5                                      | 1.5   |
| 20 AB.06                                      | 1 Bed Apartment |                  | 45                         | 50.4                       | Single                                 | N           | 2.7    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4                                 |  |  | 23  | 23.1  |   | 3                                       | 3.4   | 5   | 5.0                                      | 1.5                                      | 1.5   |
| 21 AB.02                                      | 1 Bed Apartment |                  | 45                         | 50.4                       | Single                                 | N           | 2.7    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4                                 |  |  | 23  | 27.2  |   | 3                                       | 3.4   | 5   | 5.0                                      | 1.5                                      | 1.5   |
| 22 AB.02                                      | 1 Bed Apartment |                  | 45                         | 50.4                       | Single                                 | N           | 2.7    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4                                 |  |  | 23  | 27.2  |   | 3                                       | 3.4   | 5   | 5.0                                      | 1.5                                      | 1.5   |
| 23 AB.07                                      | 1 Bed Apartment |                  | 45                         | 49.8                       | Dual                                   | E+N         | 2.7    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4                                 |  |  | 23  | 24.4  |   | 3                                       | 3.2   | 5   | 5.0                                      | 1.5                                      | 1.5   |
| 24 AB.03                                      | Studio          |                  | 37                         | 37.2                       | Dual                                   | E+S         | 2.7    |                 |                  |   |   |                                     |                                     | 4  | 4.65   |   | 30  | >30                                     | 3                                       | 3.0   | 4   | 5.0                                      | 1.5                                      | 1.5   |
| 25 AB.03                                      | Studio          |                  | 37                         | 37.2                       | Single                                 | S           | 2.7    |                 |                  |   |   |                                     |                                     | 4  | 4.65   |   | 30  | >30                                     | 3                                       | 3.0   | 4   | 5.0                                      | 1.5                                      | 1.5   |
| 26 AB.03                                      | Studio          |                  | 37                         | 37.2                       | Single                                 | S           | 2.7    |                 |                  |   |   |                                     |                                     | 4  | 4.65   |   | 30  | >30                                     | 3                                       | 3.0   | 4   | 5.0                                      | 1.5                                      | 1.5   |

| UNIT NUMBER                                   | UNIT TYPE | UNIT DESCRIPTION | UNIT AREA REQUIRED (sq.m.) | UNIT AREA ACHIEVED (sq.m.) | ASPECT | ORIENTATION | CEILING HEIGHT (Kitchen/Living/Dining) | No. of Bedrooms | No. of Bedspaces | Aggregate Bedroom Area Required (sq.m.) | Aggregate Bedroom Area Achieved (sq.m.) | Main Living Room Width Required (m) | Combined Living/Dining/Bedspace Width Required (m) | Combined Living/Dining/Bedspace Width Achieved (m) | Kitchen/Living/Dining Area Required (sq.m.) | Combined Living/Dining/Bedspace Area Required (sq.m.) | Combined Living/Dining/Bedspace Area Achieved (sq.m.) | Aggregate Storage Area Required (sq.m.) | Balcony/Winter Garden/Balcony + Winter Garden Area Required (sq.m.) | Balcony/Winter Garden/Balcony + Winter Garden Area Achieved | Balcony/Winter Garden Depth Required (m) | Balcony/Winter Garden Depth Achieved (m) |     |     |
|---|-----------|------------------|----------------------------|----------------------------|--------|-------------|--|-----------------|------------------|---|---|-------------------------------------|--|--|---|---|---|---|---|---|--|--|-----|-----|
| 27  | AB.03     | Studio           | 37                         | 37.2                       | Dual   | W+S         | 2.7                                    |                 |                  |   |   | 4                                   | 4.65   |  | 30  | >30   | 3   | 3.0                                     | 4   | 5.0   | 1.5                                      | 1.5                                      |     |     |
| 693.1   |           |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |  |  |   |   |   |   |   |   |  |  |     |     |
| <b>APARTMENT BLOCK A - SECOND FLOOR UNITS</b> |           |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |  |  |   |   |   |   |   |   |  |  |     |     |
| 28  | AB.01     | 2 Bed Apartment  | 73                         | 78.3                       | Dual   | S+E         | 2.7                                    | 2               | 4                | 24.4                                    | 24.9                                    | 3.6                                 | 4.6  |  | 30  | 32.5  |   | 6                                       | 6.2   | 7   | 7.8                                      | 1.5                                      | 1.5 |     |
| 29  | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Dual   | S+W         | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |  | 23  | 27.2  |   | 3                                       | 3.4   | 5   | 5.0                                      | 1.5                                      | 1.5 |     |
| 30  | AB.03     | Studio           | 37                         | 37.2                       | Single | W           | 2.7                                    |                 |                  |   |   |                                     |  | 4  | 4.65  |   | 30  | >30                                     | 3   | 3.0   | 4  | 5.0                                      | 1.5 | 1.5 |
| 31  | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Single | W           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |  | 23  | 27.2  |   | 3                                       | 3.4   | 5   | 5.0                                      | 1.5                                      | 1.5 |     |
| 32  | AB.04     | 2 Bed Apartment  | 73                         | 76.6                       | Dual   | W+N         | 2.7                                    | 2               | 4                | 24.4                                    | 24.4                                    | 3.6                                 | 4.5  |  | 30  | 30.0  |   | 6                                       | 6.4   | 7   | 9.9                                      | 1.5                                      | 1.5 |     |
| 33  | AB.05     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |  | 23  | 24.4  |   | 3                                       | 3.2   | 5   | 5.0                                      | 1.5                                      | 1.5 |     |
| 34  | AB.06     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |  | 23  | 23.1  |   | 3                                       | 3.4   | 5   | 5.0                                      | 1.5                                      | 1.5 |     |
| 35  | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |  | 23  | 27.2  |   | 3                                       | 3.4   | 5   | 5.0                                      | 1.5                                      | 1.5 |     |
| 36  | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |  | 23  | 27.2  |   | 3                                       | 3.4   | 5   | 5.0                                      | 1.5                                      | 1.5 |     |
| 37  | AB.07     | 1 Bed Apartment  | 45                         | 49.8                       | Dual   | E+N         | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |  | 23  | 24.4  |   | 3                                       | 3.2   | 5   | 5.0                                      | 1.5                                      | 1.5 |     |
| 38  | AB.03     | Studio           | 37                         | 37.2                       | Dual   | E+S         | 2.7                                    |                 |                  |   |   |                                     |  | 4  | 4.65  |   | 30  | >30                                     | 3   | 3.0   | 4  | 5.0                                      | 1.5 | 1.5 |
| 39  | AB.03     | Studio           | 37                         | 37.2                       | Single | S           | 2.7                                    |                 |                  |   |   |                                     |  | 4  | 4.65  |   | 30  | >30                                     | 3   | 3.0   | 4  | 5.0                                      | 1.5 | 1.5 |
| 40  | AB.03     | Studio           | 37                         | 37.2                       | Single | S           | 2.7                                    |                 |                  |   |   |                                     |  | 4  | 4.65  |   | 30  | >30                                     | 3   | 3.0   | 4  | 5.0                                      | 1.5 | 1.5 |
| 41  | AB.03     | Studio           | 37                         | 37.2                       | Dual   | W+S         | 2.7                                    |                 |                  |   |   |                                     |  | 4  | 4.65  |   | 30  | >30                                     | 3   | 3.0   | 4  | 5.0                                      | 1.5 | 1.5 |
| 693.1   |           |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |  |  |   |   |   |   |   |   |  |  |     |     |
| <b>APARTMENT BLOCK A - THIRD FLOOR UNITS</b>  |           |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |  |  |   |   |   |   |   |   |  |  |     |     |
| 42  | A.09      | 2 Bed Apartment  | 73                         | 84.3                       | Triple | E+S+W       | 2.7                                    | 2               | 4                | 24.4                                    | 25.0                                    | 3.6                                 | 4.0  |  | 30  | 30.5  |   | 6                                       | 6.8   | 7   | 7.0                                      | 1.5                                      | 1.5 |     |
| 43  | AB.04     | 2 Bed Apartment  | 73                         | 76.6                       | Dual   | W+N         | 2.7                                    | 2               | 4                | 24.4                                    | 24.4                                    | 3.6                                 | 4.5  |  | 30  | 30.0  |   | 6                                       | 6.4   | 7   | 9.9                                      | 1.5                                      | 1.5 |     |
| 44  | AB.05     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |  | 23  | 24.4  |   | 3                                       | 3.2   | 5   | 5.0                                      | 1.5                                      | 1.5 |     |
| 45  | AB.06     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |  | 23  | 23.1  |   | 3                                       | 3.4   | 5   | 5.0                                      | 1.5                                      | 1.5 |     |
| 46  | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |  | 23  | 27.2  |   | 3                                       | 3.4   | 5   | 5.0                                      | 1.5                                      | 1.5 |     |
| 47  | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |  | 23  | 27.2  |   | 3                                       | 3.4   | 5   | 5.0                                      | 1.5                                      | 1.5 |     |
| 48  | AB.07     | 1 Bed Apartment  | 45                         | 49.8                       | Dual   | E+N         | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |  | 23  | 24.4  |   | 3                                       | 3.2   | 5   | 5.0                                      | 1.5                                      | 1.5 |     |
| 49  | AB.03     | Studio           | 37                         | 37.2                       | Dual   | E+S         | 2.7                                    |                 |                  |   |   |                                     |  | 4  | 4.65  |   | 30  | >30                                     | 3   | 3.0   | 4  | 5.0                                      | 1.5 | 1.5 |
| 50  | AB.03     | Studio           | 37                         | 37.2                       | Single | S           | 2.7                                    |                 |                  |   |   |                                     |  | 4  | 4.65  |   | 30  | >30                                     | 3   | 3.0   | 4  | 5.0                                      | 1.5 | 1.5 |
| 51  | AB.03     | Studio           | 37                         | 37.2                       | Single | S           | 2.7                                    |                 |                  |   |   |                                     |  | 4  | 4.65  |   | 30  | >30                                     | 3   | 3.0   | 4  | 5.0                                      | 1.5 | 1.5 |
| 52  | AB.03     | Studio           | 37                         | 37.2                       | Dual   | W+S         | 2.7                                    |                 |                  |   |   |                                     |  | 4  | 4.65  |   | 30  | >30                                     | 3   | 3.0   | 4  | 5.0                                      | 1.5 | 1.5 |
| 561.1   |           |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |  |  |   |   |   |   |   |   |  |  |     |     |

| UNIT NUMBER                                   | UNIT TYPE | UNIT DESCRIPTION | UNIT AREA REQUIRED (sq.m.) | UNIT AREA ACHIEVED (sq.m.) | ASPECT | ORIENTATION | CEILING HEIGHT (Kitchen/Living/Dining) | No. of Bedrooms | No. of Bedspaces | Aggregate Bedroom Area Required (sq.m.) | Aggregate Bedroom Area Achieved (sq.m.) | Main Living Room Width Required (m) | Combined Living/Dining/Bedspace Width Required (m) | Kitchen/Living/Dining Area Required (sq.m.) | Combined Living/Dining/Bedspace Area Required (sq.m.) | Kitchen/Living/Dining Area Achieved (sq.m.) | Combined Living/Dining/Bedspace Area Achieved (sq.m.) | Aggregate Storage Area Required (sq.m.) | Balcony/Winter Garden/Balcony + Winter Garden Area Required (sq.m.) | Balcony/Winter Garden/Balcony + Winter Garden Area Achieved (sq.m.) | Balcony/Winter Garden Depth Required (m) | Balcony/Winter Garden Depth Achieved (m) |     |     |
|---|-----------|------------------|----------------------------|----------------------------|--------|-------------|--|-----------------|------------------|---|---|-------------------------------------|--|---|---|---|---|---|---|---|--|--|-----|-----|
| <b>APARTMENT BLOCK A - FOURTH FLOOR UNITS</b> |           |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |  |   |   |   |   |   |   |   |  |  |     |     |
| 53  | A.09      | 2 Bed Apartment  | 73                         | 84.3                       | Triple | E+S+W       | 2.7                                    | 2               | 4                | 24.4                                    | 25.0                                    | 3.6                                 | 4.0  |   |   | 30  | 30.5  |   | 6   | 6.8   | 7  | 7.0                                      | 1.5 | 1.5 |
| 54  | A.10      | 2 Bed Apartment  | 73                         | 83.2                       | Dual   | W+N         | 2.7                                    | 2               | 4                | 24.4                                    | 25.2                                    | 3.6                                 | 4.5  |   |   | 30  | 36.0  |   | 6   | 6.3   | 7  | 11.0                                     | 1.5 | 1.5 |
| 55  | AB.06     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   |   | 23  | 23.1  |   | 3   | 3.4   | 5  | 5.0                                      | 1.5 | 1.5 |
| 56  | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   |   | 23  | 27.2  |   | 3   | 3.4   | 5  | 5.0                                      | 1.5 | 1.5 |
| 57  | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   |   | 23  | 27.2  |   | 3   | 3.4   | 5  | 5.0                                      | 1.5 | 1.5 |
| 58  | AB.07     | 1 Bed Apartment  | 45                         | 49.8                       | Dual   | E+N         | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   |   | 23  | 24.4  |   | 3   | 3.2   | 5  | 5.0                                      | 1.5 | 1.5 |
| 59  | AB.03     | Studio           | 37                         | 37.2                       | Dual   | E+S         | 2.7                                    |                 |                  |   |   |                                     |  | 4   | 4.65  |   | 30  | >30                                     | 3   | 3.0   | 4  | 5.0                                      | 1.5 | 1.5 |
| 60  | AB.03     | Studio           | 37                         | 37.2                       | Single | S           | 2.7                                    |                 |                  |   |   |                                     |  | 4   | 4.65  |   | 30  | >30                                     | 3   | 3.0   | 4  | 5.0                                      | 1.5 | 1.5 |
| 61  | AB.03     | Studio           | 37                         | 37.2                       | Single | S           | 2.7                                    |                 |                  |   |   |                                     |  | 4   | 4.65  |   | 30  | >30                                     | 3   | 3.0   | 4  | 5.0                                      | 1.5 | 1.5 |
| 62  | AB.03     | Studio           | 37                         | 37.2                       | Dual   | W+S         | 2.7                                    |                 |                  |   |   |                                     |  | 4   | 4.65  |   | 30  | >30                                     | 3   | 3.0   | 4  | 5.0                                      | 1.5 | 1.5 |
|   |           |                  | 517.3                      |                            |        |             |  |                 |                  |   |   |                                     |  |   |   |   |   |   |   |   |  |  |     |     |
| <b>APARTMENT BLOCK A - FIFTH FLOOR UNITS</b>  |           |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |  |   |   |   |   |   |   |   |  |  |     |     |
| 63  | A.10      | 2 Bed Apartment  | 73                         | 83.2                       | Dual   | W+N         | 2.7                                    | 2               | 4                | 24.4                                    | 25.2                                    | 3.6                                 | 4.5  |   |   | 30  | 36.0  |   | 6   | 6.3   | 7  | 11.0                                     | 1.5 | 1.5 |
| 64  | AB.06     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   |   | 23  | 23.1  |   | 3   | 3.4   | 5  | 5.0                                      | 1.5 | 1.5 |
| 65  | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   |   | 23  | 27.2  |   | 3   | 3.4   | 5  | 5.0                                      | 1.5 | 1.5 |
| 66  | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   |   | 23  | 27.2  |   | 3   | 3.4   | 5  | 5.0                                      | 1.5 | 1.5 |
| 67  | AB.07     | 1 Bed Apartment  | 45                         | 49.8                       | Dual   | E+N         | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   |   | 23  | 24.4  |   | 3   | 3.2   | 5  | 5.0                                      | 1.5 | 1.5 |
| 68  | AB.03     | Studio           | 37                         | 37.2                       | Dual   | E+S         | 2.7                                    |                 |                  |   |   |                                     |  | 4   | 4.65  |   | 30  | >30                                     | 3   | 3.0   | 4  | 5.0                                      | 1.5 | 1.5 |
| 69  | AB.03     | Studio           | 37                         | 37.2                       | Single | S           | 2.7                                    |                 |                  |   |   |                                     |  | 4   | 4.65  |   | 30  | >30                                     | 3   | 3.0   | 4  | 5.0                                      | 1.5 | 1.5 |
| 70  | AB.03     | Studio           | 37                         | 37.2                       | Single | S           | 2.7                                    |                 |                  |   |   |                                     |  | 4   | 4.65  |   | 30  | >30                                     | 3   | 3.0   | 4  | 5.0                                      | 1.5 | 1.5 |
| 71  | AB.03     | Studio           | 37                         | 37.2                       | Dual   | W+S         | 2.7                                    |                 |                  |   |   |                                     |  | 4   | 4.65  |   | 30  | >30                                     | 3   | 3.0   | 4  | 5.0                                      | 1.5 | 1.5 |
|   |           |                  | 433.0                      |                            |        |             |  |                 |                  |   |   |                                     |  |   |   |   |   |   |   |   |  |  |     |     |
| <b>APARTMENT BLOCK A - SIXTH FLOOR UNITS</b>  |           |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |  |   |   |   |   |   |   |   |  |  |     |     |
| 72  | A.10      | 2 Bed Apartment  | 73                         | 83.2                       | Dual   | W+N         | 2.7                                    | 2               | 4                | 24.4                                    | 25.2                                    | 3.6                                 | 4.5  |   |   | 30  | 36.0  |   | 6   | 6.3   | 7  | 11.0                                     | 1.5 | 1.5 |
| 73  | AB.06     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   |   | 23  | 23.1  |   | 3   | 3.4   | 5  | 5.0                                      | 1.5 | 1.5 |
| 74  | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   |   | 23  | 27.2  |   | 3   | 3.4   | 5  | 5.0                                      | 1.5 | 1.5 |
| 75  | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   |   | 23  | 27.2  |   | 3   | 3.4   | 5  | 5.0                                      | 1.5 | 1.5 |
| 76  | AB.07     | 1 Bed Apartment  | 45                         | 49.8                       | Dual   | E+N         | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   |   | 23  | 24.4  |   | 3   | 3.2   | 5  | 5.0                                      | 1.5 | 1.5 |
|   |           |                  | 284.2                      |                            |        |             |  |                 |                  |   |   |                                     |  |   |   |   |   |   |   |   |  |  |     |     |

| UNIT NUMBER                                   | UNIT TYPE | UNIT DESCRIPTION | UNIT AREA REQUIRED (sq.m.) | UNIT AREA ACHIEVED (sq.m.) | ASPECT | ORIENTATION | CEILING HEIGHT (Kitchen/Living/Dining) | No. of Bedrooms | No. of Bedspaces | Aggregate Bedroom Area Required (sq.m.) | Aggregate Bedroom Area Achieved (sq.m.) | Main Living Room Width Required (m) | Combined Living/Dining/Bedspace Width Required (m) | Kitchen/Living/Dining Area Required (sq.m.) | Combined Living/Dining/Bedspace Area Required (sq.m.) | Aggregate Storage Area Required (sq.m.) | Balcony/Winter Garden/Balcony + Winter Garden Area Required (sq.m.) | Balcony/Winter Garden/Balcony + Winter Garden Area Achieved (sq.m.) | Balcony/Winter Garden Depth Required (m) | Balcony/Winter Garden Depth Achieved (m) |     |      |     |      |     |
|---|-----------|------------------|----------------------------|----------------------------|--------|-------------|--|-----------------|------------------|---|---|-------------------------------------|--|---|---|---|---|---|--|--|-----|------|-----|------|-----|
| <b>APARTMENT BLOCK B - GROUND FLOOR UNITS</b> |           |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |  |   |   |   |   |   |  |  |     |      |     |      |     |
| 77  | AB.01     | 2 Bed Apartment  | 73                         | 78.3                       | Dual   | S+E         | 2.7                                    | 2               | 4                | 24.4                                    | 24.9                                    | 3.6                                 | 4.6  |   |   | 30                                      | 32.5  |   | 6  | 6.2                                      | 7   | 9.9  | 1.5 | 1.5  |     |
| 78  | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Dual   | S + W       | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   |   | 23                                      | 27.2  |   | 3  | 3.4                                      | 5   | 5.0  | 1.5 | 1.5  |     |
| 79  | AB.03     | Studio           | 37                         | 37.2                       | Single | W           | 2.7                                    |                 |                  |   |   |                                     |  | 4   | 4.65  |   |   | 30  | >30                                      | 3  | 3.0 | 4    | 5.0 | 1.5  | 1.5 |
| 80  | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Single | W           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   |   | 23                                      | 27.2  |   | 3  | 3.4                                      | 5   | 5.0  | 1.5 | 1.5  |     |
| 81  | AB.04     | 2 Bed Apartment  | 73                         | 76.6                       | Dual   | W+N         | 2.7                                    | 2               | 4                | 24.4                                    | 24.4                                    | 3.6                                 | 4.5  |   |   | 30                                      | 30.0  |   | 6  | 6.4                                      | 7   | 28.7 | 1.5 | >2.9 |     |
| 82  | AB.05     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   |   | 23                                      | 24.4  |   | 3  | 3.2                                      | 5   | 18.6 | 1.5 | >2.8 |     |
| 83  | AB.06     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   |   | 23                                      | 23.1  |   | 3  | 3.4                                      | 5   | 18.1 | 1.5 | >2.7 |     |
| 84  | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   |   | 23                                      | 27.2  |   | 3  | 3.4                                      | 5   | 17.7 | 1.5 | >2.7 |     |
| 85  | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   |   | 23                                      | 27.2  |   | 3  | 3.4                                      | 5   | 17.5 | 1.5 | >2.7 |     |
| 86  | AB.07     | 1 Bed Apartment  | 45                         | 49.8                       | Dual   | E+N         | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   |   | 23                                      | 24.4  |   | 3  | 3.2                                      | 5   | 17.2 | 1.5 | >2.6 |     |
| 87  | AB.08     | Studio           | 37                         | 44.2                       | Single | S           | 2.7                                    |                 |                  |   |   |                                     |  | 4   | 5.8   |   |   | 30  | >30                                      | 3  | 3.0 | 4    | 5.0 | 1.5  | 1.5 |
| 88  | AB.03     | Studio           | 37                         | 37.2                       | Single | S           | 2.7                                    |                 |                  |   |   |                                     |  | 4   | 4.65  |   |   | 30  | >30                                      | 3  | 3.0 | 4    | 5.0 | 1.5  | 1.5 |
| 89  | AB.03     | Studio           | 37                         | 37.2                       | Dual   | W+S         | 2.7                                    |                 |                  |   |   |                                     |  | 4   | 4.65  |   |   | 30  | >30                                      | 3  | 3.0 | 4    | 5.0 | 1.5  | 1.5 |
|   |           |                  |                            |                            |        |             | 662.9                                  |                 |                  |   |   |                                     |  |   |   |   |   |   |  |  |     |      |     |      |     |
| <b>APARTMENT BLOCK B - FIRST FLOOR UNITS</b>  |           |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |  |   |   |   |   |   |  |  |     |      |     |      |     |
| 90  | AB.01     | 2 Bed Apartment  | 73                         | 78.3                       | Dual   | S+E         | 2.7                                    | 2               | 4                | 24.4                                    | 24.9                                    | 3.6                                 | 4.6  |   |   | 30                                      | 32.5  |   | 6  | 6.2                                      | 7   | 7.8  | 1.5 | 1.5  |     |
| 91  | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Dual   | S + W       | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   |   | 23                                      | 27.2  |   | 3  | 3.4                                      | 5   | 5.0  | 1.5 | 1.5  |     |
| 92  | AB.03     | Studio           | 37                         | 37.2                       | Single | W           | 2.7                                    |                 |                  |   |   |                                     |  | 4   | 4.65  |   |   | 30  | >30                                      | 3  | 3.0 | 4    | 5.0 | 1.5  | 1.5 |
| 93  | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Single | W           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   |   | 23                                      | 27.2  |   | 3  | 3.4                                      | 5   | 5.0  | 1.5 | 1.5  |     |
| 94  | AB.04     | 2 Bed Apartment  | 73                         | 76.6                       | Dual   | W+N         | 2.7                                    | 2               | 4                | 24.4                                    | 24.4                                    | 3.6                                 | 4.5  |   |   | 30                                      | 30.0  |   | 6  | 6.4                                      | 7   | 9.9  | 1.5 | 1.5  |     |
| 95  | AB.05     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   |   | 23                                      | 24.4  |   | 3  | 3.2                                      | 5   | 5.0  | 1.5 | 1.5  |     |
| 96  | AB.06     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   |   | 23                                      | 23.1  |   | 3  | 3.4                                      | 5   | 5.0  | 1.5 | 1.5  |     |
| 97  | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   |   | 23                                      | 27.2  |   | 3  | 3.4                                      | 5   | 5.0  | 1.5 | 1.5  |     |
| 98  | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   |   | 23                                      | 27.2  |   | 3  | 3.4                                      | 5   | 5.0  | 1.5 | 1.5  |     |
| 99  | AB.07     | 1 Bed Apartment  | 45                         | 49.8                       | Dual   | E+N         | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   |   | 23                                      | 24.4  |   | 3  | 3.2                                      | 5   | 5.0  | 1.5 | 1.5  |     |
| 100   | AB.03     | Studio           | 37                         | 37.2                       | Dual   | E+S         | 2.7                                    |                 |                  |   |   |                                     |  | 4   | 4.65  |   |   | 30  | >30                                      | 3  | 3.0 | 4    | 5.0 | 1.5  | 1.5 |
| 101   | AB.03     | Studio           | 37                         | 37.2                       | Single | S           | 2.7                                    |                 |                  |   |   |                                     |  | 4   | 4.65  |   |   | 30  | >30                                      | 3  | 3.0 | 4    | 5.0 | 1.5  | 1.5 |
| 102   | AB.03     | Studio           | 37                         | 37.2                       | Single | S           | 2.7                                    |                 |                  |   |   |                                     |  | 4   | 4.65  |   |   | 30  | >30                                      | 3  | 3.0 | 4    | 5.0 | 1.5  | 1.5 |

| UNIT NUMBER                                   | UNIT TYPE | UNIT DESCRIPTION | UNIT AREA REQUIRED (sq.m.) | UNIT AREA ACHIEVED (sq.m.) | ASPECT | ORIENTATION | CEILING HEIGHT (Kitchen/Living/Dining) | No. of Bedrooms | No. of Bedspaces | Aggregate Bedroom Area Required (sq.m.) | Aggregate Bedroom Area Achieved (sq.m.) | Main Living Room Width Required (m) | Combined Living/Dining/Bedspace Width Required (m) | Kitchen/Living/Dining Area Required (sq.m.) | Combined Living/Dining/Bedspace Area Required (sq.m.) | Aggregate Storage Area Required (sq.m.) | Balcony/Winter Garden/Balcony + Winter Garden Area Required (sq.m.) | Balcony/Winter Garden/Balcony + Winter Garden Area Achieved (sq.m.) | Balcony/Winter Garden Depth Required (m) | Balcony/Winter Garden Depth Achieved (m) |     |     |     |     |
|---|-----------|------------------|----------------------------|----------------------------|--------|-------------|--|-----------------|------------------|---|---|-------------------------------------|--|---|---|---|---|---|--|--|-----|-----|-----|-----|
| 103   | AB.03     | Studio           | 37                         | 37.2                       | Dual   | W+S         | 2.7                                    |                 |                  |   |   | 4                                   | 4.65   |   | 30  | >30                                     | 3   | 3.0   | 4  | 5.0                                      | 1.5 | 1.5 |     |     |
| <b>APARTMENT BLOCK B - SECOND FLOOR UNITS</b> |           |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |  |   |   |   |   |   |  |  |     |     |     |     |
| 104   | AB.01     | 2 Bed Apartment  | 73                         | 78.3                       | Dual   | S+E         | 2.7                                    | 2               | 4                | 24.4                                    | 24.9                                    | 3.6                                 | 4.6  |   | 30  | 32.5                                    |   | 6   | 6.2                                      | 7  | 7.8 | 1.5 | 1.5 |     |
| 105   | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Dual   | S+W         | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   | 23  | 27.2                                    |   | 3   | 3.4                                      | 5  | 5.0 | 1.5 | 1.5 |     |
| 106   | AB.03     | Studio           | 37                         | 37.2                       | Single | W           | 2.7                                    |                 |                  |   |   |                                     |  | 4   | 4.65  |   | 30  | >30   | 3  | 3.0                                      | 4   | 5.0 | 1.5 | 1.5 |
| 107   | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Single | W           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   | 23  | 27.2                                    |   | 3   | 3.4                                      | 5  | 5.0 | 1.5 | 1.5 |     |
| 108   | AB.04     | 2 Bed Apartment  | 73                         | 76.6                       | Dual   | W+N         | 2.7                                    | 2               | 4                | 24.4                                    | 24.4                                    | 3.6                                 | 4.5  |   | 30  | 30.0                                    |   | 6   | 6.4                                      | 7  | 9.9 | 1.5 | 1.5 |     |
| 109   | AB.05     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   | 23  | 24.4                                    |   | 3   | 3.2                                      | 5  | 5.0 | 1.5 | 1.5 |     |
| 110   | AB.06     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   | 23  | 23.1                                    |   | 3   | 3.4                                      | 5  | 5.0 | 1.5 | 1.5 |     |
| 111   | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   | 23  | 27.2                                    |   | 3   | 3.4                                      | 5  | 5.0 | 1.5 | 1.5 |     |
| 112   | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   | 23  | 27.2                                    |   | 3   | 3.4                                      | 5  | 5.0 | 1.5 | 1.5 |     |
| 113   | AB.07     | 1 Bed Apartment  | 45                         | 49.8                       | Dual   | E+N         | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   | 23  | 24.4                                    |   | 3   | 3.2                                      | 5  | 5.0 | 1.5 | 1.5 |     |
| 114   | AB.03     | Studio           | 37                         | 37.2                       | Dual   | E+S         | 2.7                                    |                 |                  |   |   |                                     |  | 4   | 4.65  |   | 30  | >30   | 3  | 3.0                                      | 4   | 5.0 | 1.5 | 1.5 |
| 115   | AB.03     | Studio           | 37                         | 37.2                       | Single | S           | 2.7                                    |                 |                  |   |   |                                     |  | 4   | 4.65  |   | 30  | >30   | 3  | 3.0                                      | 4   | 5.0 | 1.5 | 1.5 |
| 116   | AB.03     | Studio           | 37                         | 37.2                       | Single | S           | 2.7                                    |                 |                  |   |   |                                     |  | 4   | 4.65  |   | 30  | >30   | 3  | 3.0                                      | 4   | 5.0 | 1.5 | 1.5 |
| 117   | AB.03     | Studio           | 37                         | 37.2                       | Dual   | W+S         | 2.7                                    |                 |                  |   |   |                                     |  | 4   | 4.65  |   | 30  | >30   | 3  | 3.0                                      | 4   | 5.0 | 1.5 | 1.5 |
| 693.1   |           |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |  |   |   |   |   |   |  |  |     |     |     |     |
| <b>APARTMENT BLOCK B - THIRD FLOOR UNITS</b>  |           |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |  |   |   |   |   |   |  |  |     |     |     |     |
| 118   | AB.01     | 2 Bed Apartment  | 73                         | 78.3                       | Dual   | S+E         | 2.7                                    | 2               | 4                | 24.4                                    | 24.9                                    | 3.6                                 | 4.6  |   | 30  | 32.5                                    |   | 6   | 6.2                                      | 7  | 7.8 | 1.5 | 1.5 |     |
| 119   | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Dual   | S+W         | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   | 23  | 27.2                                    |   | 3   | 3.4                                      | 5  | 5.0 | 1.5 | 1.5 |     |
| 120   | AB.03     | Studio           | 37                         | 37.2                       | Single | W           | 2.7                                    |                 |                  |   |   |                                     |  | 4   | 4.65  |   | 30  | >30   | 3  | 3.0                                      | 4   | 5.0 | 1.5 | 1.5 |
| 121   | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Single | W           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   | 23  | 27.2                                    |   | 3   | 3.4                                      | 5  | 5.0 | 1.5 | 1.5 |     |
| 122   | AB.04     | 2 Bed Apartment  | 73                         | 76.6                       | Dual   | W+N         | 2.7                                    | 2               | 4                | 24.4                                    | 24.4                                    | 3.6                                 | 4.5  |   | 30  | 30.0                                    |   | 6   | 6.4                                      | 7  | 9.9 | 1.5 | 1.5 |     |
| 123   | AB.05     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   | 23  | 24.4                                    |   | 3   | 3.2                                      | 5  | 5.0 | 1.5 | 1.5 |     |
| 124   | AB.06     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   | 23  | 23.1                                    |   | 3   | 3.4                                      | 5  | 5.0 | 1.5 | 1.5 |     |
| 125   | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   | 23  | 27.2                                    |   | 3   | 3.4                                      | 5  | 5.0 | 1.5 | 1.5 |     |
| 126   | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   | 23  | 27.2                                    |   | 3   | 3.4                                      | 5  | 5.0 | 1.5 | 1.5 |     |
| 127   | AB.07     | 1 Bed Apartment  | 45                         | 49.8                       | Dual   | E+N         | 2.7                                    | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4  |   | 23  | 24.4                                    |   | 3   | 3.2                                      | 5  | 5.0 | 1.5 | 1.5 |     |
| 128   | AB.03     | Studio           | 37                         | 37.2                       | Dual   | E+S         | 2.7                                    |                 |                  |   |   |                                     |  | 4   | 4.65  |   | 30  | >30   | 3  | 3.0                                      | 4   | 5.0 | 1.5 | 1.5 |
| 129   | AB.03     | Studio           | 37                         | 37.2                       | Single | S           | 2.7                                    |                 |                  |   |   |                                     |  | 4   | 4.65  |   | 30  | >30   | 3  | 3.0                                      | 4   | 5.0 | 1.5 | 1.5 |

| UNIT NUMBER                                   | UNIT TYPE       | UNIT DESCRIPTION | UNIT AREA REQUIRED (sq.m.) | UNIT AREA ACHIEVED (sq.m.) | ASPECT | ORIENTATION | CEILING HEIGHT (Kitchen/Living/Dining) | No. of Bedrooms | No. of Bedspaces | Aggregate Bedroom Area Required (sq.m.) | Aggregate Bedroom Area Achieved (sq.m.) | Main Living Room Width Required (m) | Combined Living/Dining/Bedspace Width Required (m) | Combined Living/Dining/Bedspace Width Achieved (m) | Kitchen/Living/Dining Area Required (sq.m.) | Kitchen/Living/Dining Area Achieved (sq.m.) | Combined Living/Dining/Bedspace Area Required (sq.m.) | Combined Living/Dining/Bedspace Area Achieved (sq.m.) | Aggregate Storage Area Required (sq.m.) | Aggregate Storage Area Achieved (sq.m.) | Balcony/Winter Garden/Balcony + Winter Garden Area Required (sq.m.) | Balcony/Winter Garden/Balcony + Winter Garden Area Achieved (sq.m.) | Balcony/Winter Garden Depth Required (m) | Balcony/Winter Garden Depth Achieved (m) |
|---|-----------------|------------------|----------------------------|----------------------------|--------|-------------|--|-----------------|------------------|---|---|-------------------------------------|--|--|---|---|---|---|---|---|---|---|--|--|
|   |                 |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |  |  |   |   |   |   |   |   |   |   |  |  |
| 130 AB.03                                     | Studio          | 37               | 37.2                       | Single                     | S      | 2.7         |  |                 |                  |   |   |                                     | 4  | 4.65   |   |   | 30 >30  | 3   | 3.0                                     | 4                                       | 5.0   | 1.5   | 1.5                                      |  |
| 131 AB.03                                     | Studio          | 37               | 37.2                       | Dual                       | W+S    | 2.7         |  |                 |                  |   |   |                                     | 4  | 4.65   |   |   | 30 >30  | 3   | 3.0                                     | 4                                       | 5.0   | 1.5   | 1.5                                      |  |
| 693.1   |                 |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |  |  |   |   |   |   |   |   |   |   |  |  |
| <b>APARTMENT BLOCK B - FOURTH FLOOR UNITS</b> |                 |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |  |  |   |   |   |   |   |   |   |   |  |  |
| 132 AB.01                                     | 2 Bed Apartment | 73               | 78.3                       | Dual                       | S+E    | 2.7         | 2                                      | 4               | 24.4             | 24.9                                    | 3.6                                     | 4.6                                 |  |  | 30  | 32.5  |   | 6   | 6.2                                     | 7                                       | 7.8   | 1.5   | 1.5                                      |  |
| 133 AB.02                                     | 1 Bed Apartment | 45               | 50.4                       | Dual                       | S + W  | 2.7         | 1                                      | 2               | 11.4             | 11.4                                    | 3.3                                     | 3.4                                 |  |  | 23  | 27.2  |   | 3   | 3.4                                     | 5                                       | 5.0   | 1.5   | 1.5                                      |  |
| 134 AB.03                                     | Studio          | 37               | 37.2                       | Single                     | W      | 2.7         |  |                 |                  |   |   |                                     | 4  | 4.65   |   |   | 30 >30  | 3   | 3.0                                     | 4                                       | 5.0   | 1.5   | 1.5                                      |  |
| 135 AB.02                                     | 1 Bed Apartment | 45               | 50.4                       | Single                     | W      | 2.7         | 1                                      | 2               | 11.4             | 11.4                                    | 3.3                                     | 3.4                                 |  |  | 23  | 27.2  |   | 3   | 3.4                                     | 5                                       | 5.0   | 1.5   | 1.5                                      |  |
| 136 AB.04                                     | 2 Bed Apartment | 73               | 76.6                       | Dual                       | W+N    | 2.7         | 2                                      | 4               | 24.4             | 24.4                                    | 3.6                                     | 4.5                                 |  |  | 30  | 30.0  |   | 6   | 6.4                                     | 7                                       | 9.9   | 1.5   | 1.5                                      |  |
| 137 AB.05                                     | 1 Bed Apartment | 45               | 50.4                       | Single                     | N      | 2.7         | 1                                      | 2               | 11.4             | 11.4                                    | 3.3                                     | 3.4                                 |  |  | 23  | 24.4  |   | 3   | 3.2                                     | 5                                       | 5.0   | 1.5   | 1.5                                      |  |
| 138 AB.06                                     | 1 Bed Apartment | 45               | 50.4                       | Single                     | N      | 2.7         | 1                                      | 2               | 11.4             | 11.4                                    | 3.3                                     | 3.4                                 |  |  | 23  | 23.1  |   | 3   | 3.4                                     | 5                                       | 5.0   | 1.5   | 1.5                                      |  |
| 139 AB.02                                     | 1 Bed Apartment | 45               | 50.4                       | Single                     | N      | 2.7         | 1                                      | 2               | 11.4             | 11.4                                    | 3.3                                     | 3.4                                 |  |  | 23  | 27.2  |   | 3   | 3.4                                     | 5                                       | 5.0   | 1.5   | 1.5                                      |  |
| 140 AB.02                                     | 1 Bed Apartment | 45               | 50.4                       | Single                     | N      | 2.7         | 1                                      | 2               | 11.4             | 11.4                                    | 3.3                                     | 3.4                                 |  |  | 23  | 27.2  |   | 3   | 3.4                                     | 5                                       | 5.0   | 1.5   | 1.5                                      |  |
| 141 AB.07                                     | 1 Bed Apartment | 45               | 49.8                       | Dual                       | E+N    | 2.7         | 1                                      | 2               | 11.4             | 11.4                                    | 3.3                                     | 3.4                                 |  |  | 23  | 24.4  |   | 3   | 3.2                                     | 5                                       | 5.0   | 1.5   | 1.5                                      |  |
| 142 AB.03                                     | Studio          | 37               | 37.2                       | Dual                       | E+S    | 2.7         |  |                 |                  |   |   |                                     | 4  | 4.65   |   |   | 30 >30  | 3   | 3.0                                     | 4                                       | 5.0   | 1.5   | 1.5                                      |  |
| 143 AB.03                                     | Studio          | 37               | 37.2                       | Single                     | S      | 2.7         |  |                 |                  |   |   |                                     | 4  | 4.65   |   |   | 30 >30  | 3   | 3.0                                     | 4                                       | 5.0   | 1.5   | 1.5                                      |  |
| 144 AB.03                                     | Studio          | 37               | 37.2                       | Single                     | S      | 2.7         |  |                 |                  |   |   |                                     | 4  | 4.65   |   |   | 30 >30  | 3   | 3.0                                     | 4                                       | 5.0   | 1.5   | 1.5                                      |  |
| 145 AB.03                                     | Studio          | 37               | 37.2                       | Dual                       | W+S    | 2.7         |  |                 |                  |   |   |                                     | 4  | 4.65   |   |   | 30 >30  | 3   | 3.0                                     | 4                                       | 5.0   | 1.5   | 1.5                                      |  |
| 693.1   |                 |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |  |  |   |   |   |   |   |   |   |   |  |  |
| <b>APARTMENT BLOCK B - FIFTH FLOOR UNITS</b>  |                 |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |  |  |   |   |   |   |   |   |   |   |  |  |
| 146 AB.01                                     | 2 Bed Apartment | 73               | 78.3                       | Dual                       | S+E    | 2.7         | 2                                      | 4               | 24.4             | 24.9                                    | 3.6                                     | 4.6                                 |  |  | 30  | 32.5  |   | 6   | 6.2                                     | 7                                       | 7.8   | 1.5   | 1.5                                      |  |
| 147 AB.02                                     | 1 Bed Apartment | 45               | 50.4                       | Dual                       | S + W  | 2.7         | 1                                      | 2               | 11.4             | 11.4                                    | 3.3                                     | 3.4                                 |  |  | 23  | 27.2  |   | 3   | 3.4                                     | 5                                       | 5.0   | 1.5   | 1.5                                      |  |
| 148 AB.03                                     | Studio          | 37               | 37.2                       | Single                     | W      | 2.7         |  |                 |                  |   |   |                                     | 4  | 4.65   |   |   | 30 >30  | 3   | 3.0                                     | 4                                       | 5.0   | 1.5   | 1.5                                      |  |
| 149 AB.02                                     | 1 Bed Apartment | 45               | 50.4                       | Single                     | W      | 2.7         | 1                                      | 2               | 11.4             | 11.4                                    | 3.3                                     | 3.4                                 |  |  | 23  | 27.2  |   | 3   | 3.4                                     | 5                                       | 5.0   | 1.5   | 1.5                                      |  |
| 150 AB.04                                     | 2 Bed Apartment | 73               | 76.6                       | Dual                       | W+N    | 2.7         | 2                                      | 4               | 24.4             | 24.4                                    | 3.6                                     | 4.5                                 |  |  | 30  | 30.0  |   | 6   | 6.4                                     | 7                                       | 9.9   | 1.5   | 1.5                                      |  |
| 151 AB.05                                     | 1 Bed Apartment | 45               | 50.4                       | Single                     | N      | 2.7         | 1                                      | 2               | 11.4             | 11.4                                    | 3.3                                     | 3.4                                 |  |  | 23  | 24.4  |   | 3   | 3.2                                     | 5                                       | 5.0   | 1.5   | 1.5                                      |  |
| 152 AB.06                                     | 1 Bed Apartment | 45               | 50.4                       | Single                     | N      | 2.7         | 1                                      | 2               | 11.4             | 11.4                                    | 3.3                                     | 3.4                                 |  |  | 23  | 23.1  |   | 3   | 3.4                                     | 5                                       | 5.0   | 1.5   | 1.5                                      |  |
| 153 AB.02                                     | 1 Bed Apartment | 45               | 50.4                       | Single                     | N      | 2.7         | 1                                      | 2               | 11.4             | 11.4                                    | 3.3                                     | 3.4                                 |  |  | 23  | 27.2  |   | 3   | 3.4                                     | 5                                       | 5.0   | 1.5   | 1.5                                      |  |
| 154 AB.02                                     | 1 Bed Apartment | 45               | 50.4                       | Single                     | N      | 2.7         | 1                                      | 2               | 11.4             | 11.4                                    | 3.3                                     | 3.4                                 |  |  | 23  | 27.2  |   | 3   | 3.4                                     | 5                                       | 5.0   | 1.5   | 1.5                                      |  |
| 155 AB.07                                     | 1 Bed Apartment | 45               | 49.8                       | Dual                       | E+N    | 2.7         | 1                                      | 2               | 11.4             | 11.4                                    | 3.3                                     | 3.4                                 |  |  | 23  | 24.4  |   | 3   | 3.2                                     | 5                                       | 5.0   | 1.5   | 1.5                                      |  |
| 156 AB.03                                     | Studio          | 37               | 37.2                       | Dual                       | E+S    | 2.7         |  |                 |                  |   |   |                                     | 4  | 4.65   |   |   | 30 >30  | 3   | 3.0                                     | 4                                       | 5.0   | 1.5   | 1.5                                      |  |

| UNIT NUMBER                                   | UNIT TYPE | UNIT DESCRIPTION | UNIT AREA REQUIRED (sq.m.) | UNIT AREA ACHIEVED (sq.m.) | ASPECT | ORIENTATION | CEILING HEIGHT (Kitchen/Living/ Dining) | No. of Bedrooms | No. of Bedspaces | Aggregate Bedroom Area Required (sq.m.) | Aggregate Bedroom Area Achieved (sq.m.) | Main Living Room Width Required (m) | Main Living Room Width Achieved (m) | Combined Living/Dining/Bedspace Width Required (m) | Combined Living/Dining/Bedspace Width Achieved (m) | Kitchen/Living/Dining Area Required (sq.m.) | Kitchen/Living/Dining Area Achieved (sq.m.) | Combined Living/Dining/Bedspace Area Required (sq.m.) | Combined Living/Dining/Bedspace Area Achieved (sq.m.) | Aggregate Storage Area Required (sq.m.) | Aggregate Storage Area Achieved (sq.m.) | Balcony/Winter Garden/Balcony + Winter Garden Area Required (sq.m.) | Balcony/Winter Garden/Balcony + Winter Garden Area Achieved (sq.m.) | Balcony/Winter Garden Depth Required (m) | Balcony/Winter Garden Depth Achieved (m) |
|---|-----------|------------------|----------------------------|----------------------------|--------|-------------|---|-----------------|------------------|---|---|-------------------------------------|-------------------------------------|--|--|---|---|---|---|---|---|---|---|--|--|
| 157   | AB.03     | Studio           | 37                         | 37.2                       | Single | S           | 2.7                                     |                 |                  |   |   | 4                                   | 4.65                                |  |  | 30  | 30.0  |   |   | 6                                       | 6.4                                     | 7   | 9.9   | 1.5                                      | 1.5                                      |
| 158   | AB.03     | Studio           | 37                         | 37.2                       | Single | S           | 2.7                                     |                 |                  |   |   | 4                                   | 4.65                                |  |  | 30  | 30.0  |   |   | 3                                       | 3.2                                     | 5   | 5.0   | 1.5                                      | 1.5                                      |
| 159   | AB.03     | Studio           | 37                         | 37.2                       | Dual   | W+S         | 2.7                                     |                 |                  |   |   | 4                                   | 4.65                                |  |  | 30  | 30.0  |   |   | 3                                       | 3.0                                     | 4   | 5.0   | 1.5                                      | 1.5                                      |
|   |           |                  |                            | 693.1                      |        |             |   |                 |                  |   |   |                                     |                                     |  |  |   |   |   |   |   |   |   |   |  |  |
| <b>APARTMENT BLOCK B - SIXTH FLOOR UNITS</b>  |           |                  |                            |                            |        |             |   |                 |                  |   |   |                                     |                                     |  |  |   |   |   |   |   |   |   |   |  |  |
| 160   | AB.04     | 2 Bed Apartment  | 73                         | 76.6                       | Dual   | W+N         | 2.7                                     | 2               | 4                | 24.4                                    | 24.4                                    | 3.6                                 | 4.5                                 |  |  | 30  | 30.0  |   |   | 6                                       | 6.4                                     | 7   | 9.9   | 1.5                                      | 1.5                                      |
| 161   | AB.05     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                     | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4                                 |  |  | 23  | 24.4  |   |   | 3                                       | 3.2                                     | 5   | 5.0   | 1.5                                      | 1.5                                      |
| 162   | AB.06     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                     | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4                                 |  |  | 23  | 23.1  |   |   | 3                                       | 3.4                                     | 5   | 5.0   | 1.5                                      | 1.5                                      |
| 163   | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                     | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4                                 |  |  | 23  | 27.2  |   |   | 3                                       | 3.4                                     | 5   | 5.0   | 1.5                                      | 1.5                                      |
| 164   | AB.02     | 1 Bed Apartment  | 45                         | 50.4                       | Single | N           | 2.7                                     | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4                                 |  |  | 23  | 27.2  |   |   | 3                                       | 3.4                                     | 5   | 5.0   | 1.5                                      | 1.5                                      |
| 165   | AB.07     | 1 Bed Apartment  | 45                         | 49.8                       | Dual   | E+N         | 2.7                                     | 1               | 2                | 11.4                                    | 11.4                                    | 3.3                                 | 3.4                                 |  |  | 23  | 24.4  |   |   | 3                                       | 3.2                                     | 5   | 5.0   | 1.5                                      | 1.5                                      |
|   |           |                  |                            | 328.0                      |        |             |   |                 |                  |   |   |                                     |                                     |  |  |   |   |   |   |   |   |   |   |  |  |
| <b>APARTMENT BLOCK C - FIRST FLOOR UNITS</b>  |           |                  |                            |                            |        |             |   |                 |                  |   |   |                                     |                                     |  |  |   |   |   |   |   |   |   |   |  |  |
| 166   | C.11      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | S+E         | 2.7                                     | 2               | 4                | 24.4                                    | 25.0                                    | 3.6                                 | 5.2                                 |  |  | 30  | 31.0  |   |   | 6                                       | 6.0                                     | 7   | 8.0   | 1.5                                      | 1.5                                      |
| 167   | C.11      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | S+W         | 2.7                                     | 2               | 4                | 24.4                                    | 25.0                                    | 3.6                                 | 5.2                                 |  |  | 30  | 31.0  |   |   | 6                                       | 6.0                                     | 7   | 8.0   | 1.5                                      | 1.5                                      |
| 168   | C.12      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | N+W         | 2.7                                     | 2               | 4                | 24.4                                    | 25.6                                    | 3.6                                 | 4.3                                 |  |  | 30  | 30.0  |   |   | 6                                       | 6.4                                     | 7   | 9.8   | 1.5                                      | 1.5                                      |
| 169   | C.12      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | N+E         | 2.7                                     | 2               | 4                | 24.4                                    | 25.6                                    | 3.6                                 | 4.3                                 |  |  | 30  | 30.0  |   |   | 6                                       | 6.4                                     | 7   | 9.2   | 1.5                                      | 1.5                                      |
|   |           |                  |                            | 310.4                      |        |             |   |                 |                  |   |   |                                     |                                     |  |  |   |   |   |   |   |   |   |   |  |  |
| <b>APARTMENT BLOCK C - SECOND FLOOR UNITS</b> |           |                  |                            |                            |        |             |   |                 |                  |   |   |                                     |                                     |  |  |   |   |   |   |   |   |   |   |  |  |
| 170   | C.11      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | S+E         | 2.7                                     | 2               | 4                | 24.4                                    | 25.0                                    | 3.6                                 | 5.2                                 |  |  | 30  | 31.0  |   |   | 6                                       | 6.0                                     | 7   | 8.0   | 1.5                                      | 1.5                                      |
| 171   | C.11      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | S+W         | 2.7                                     | 2               | 4                | 24.4                                    | 25.0                                    | 3.6                                 | 5.2                                 |  |  | 30  | 31.0  |   |   | 6                                       | 6.0                                     | 7   | 8.0   | 1.5                                      | 1.5                                      |
| 172   | C.12      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | N+W         | 2.7                                     | 2               | 4                | 24.4                                    | 25.6                                    | 3.6                                 | 4.3                                 |  |  | 30  | 30.0  |   |   | 6                                       | 6.4                                     | 7   | 9.8   | 1.5                                      | 1.5                                      |
| 173   | C.12      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | N+E         | 2.7                                     | 2               | 4                | 24.4                                    | 25.6                                    | 3.6                                 | 4.3                                 |  |  | 30  | 30.0  |   |   | 6                                       | 6.4                                     | 7   | 9.2   | 1.5                                      | 1.5                                      |
|   |           |                  |                            | 310.4                      |        |             |   |                 |                  |   |   |                                     |                                     |  |  |   |   |   |   |   |   |   |   |  |  |
| <b>APARTMENT BLOCK C - THIRD FLOOR UNITS</b>  |           |                  |                            |                            |        |             |   |                 |                  |   |   |                                     |                                     |  |  |   |   |   |   |   |   |   |   |  |  |
| 174   | C.11      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | S+E         | 2.7                                     | 2               | 4                | 24.4                                    | 25.0                                    | 3.6                                 | 5.2                                 |  |  | 30  | 31.0  |   |   | 6                                       | 6.0                                     | 7   | 8.0   | 1.5                                      | 1.5                                      |
| 175   | C.11      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | S+W         | 2.7                                     | 2               | 4                | 24.4                                    | 25.0                                    | 3.6                                 | 5.2                                 |  |  | 30  | 31.0  |   |   | 6                                       | 6.0                                     | 7   | 8.0   | 1.5                                      | 1.5                                      |
| 176   | C.12      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | N+W         | 2.7                                     | 2               | 4                | 24.4                                    | 25.6                                    | 3.6                                 | 4.3                                 |  |  | 30  | 30.0  |   |   | 6                                       | 6.4                                     | 7   | 9.8   | 1.5                                      | 1.5                                      |

| UNIT NUMBER                                    | UNIT TYPE | UNIT DESCRIPTION | UNIT AREA REQUIRED (sq.m.) | UNIT AREA ACHIEVED (sq.m.) | ASPECT | ORIENTATION | CEILING HEIGHT (Kitchen/Living/Dining) | No. of Bedrooms | No. of Bedspaces | Aggregate Bedroom Area Required (sq.m.) | Aggregate Bedroom Area Achieved (sq.m.) | Main Living Room Width Required (m) | Main Living Room Width Achieved (m) | Combined Living/Dining/Bedspace Width Required (m) | Combined Living/Dining/Bedspace Width Achieved (m) | Kitchen/Living/Dining Area Required (sq.m.) | Kitchen/Living/Dining Area Achieved (sq.m.) | Combined Living/Dining/Bedspace Area Required (sq.m.) | Combined Living/Dining/Bedspace Area Achieved (sq.m.) | Aggregate Storage Area Required (sq.m.) | Aggregate Storage Area Achieved (sq.m.) | Balcony/Winter Garden/Balcony + Winter Garden Area Required (sq.m.) | Balcony/Winter Garden/Balcony + Winter Garden Area Achieved (sq.m.) | Balcony/Winter Garden Depth Required (m) | Balcony/Winter Garden Depth Achieved (m) |
|--|-----------|------------------|----------------------------|----------------------------|--------|-------------|--|-----------------|------------------|---|---|-------------------------------------|-------------------------------------|--|--|---|---|---|---|---|---|---|---|--|--|
| 177  | C.12      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | N+E         | 2.7                                    | 2               | 4                | 24.4                                    | 25.6                                    | 3.6                                 | 4.3                                 |  |  | 30  | 30.0  |   |   | 6                                       | 6.4                                     | 7   | 9.2   | 1.5                                      | 1.5                                      |
| <b>APARTMENT BLOCK C - FOURTH FLOOR UNITS</b>  |           |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |                                     |  |  |   |   |   |   |   |   |   |   |  |  |
| 178  | C.11      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | S+E         | 2.7                                    | 2               | 4                | 24.4                                    | 25.0                                    | 3.6                                 | 5.2                                 |  |  | 30  | 31.0  |   |   | 6                                       | 6.0                                     | 7   | 8.0   | 1.5                                      | 1.5                                      |
| 179  | C.11      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | S+W         | 2.7                                    | 2               | 4                | 24.4                                    | 25.0                                    | 3.6                                 | 5.2                                 |  |  | 30  | 31.0  |   |   | 6                                       | 6.0                                     | 7   | 8.0   | 1.5                                      | 1.5                                      |
| 180  | C.12      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | N+W         | 2.7                                    | 2               | 4                | 24.4                                    | 25.6                                    | 3.6                                 | 4.3                                 |  |  | 30  | 30.0  |   |   | 6                                       | 6.4                                     | 7   | 9.8   | 1.5                                      | 1.5                                      |
| 181  | C.12      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | N+E         | 2.7                                    | 2               | 4                | 24.4                                    | 25.6                                    | 3.6                                 | 4.3                                 |  |  | 30  | 30.0  |   |   | 6                                       | 6.4                                     | 7   | 9.2   | 1.5                                      | 1.5                                      |
|  |           |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |                                     |  |  |   |   |   |   |   |   |   |   |  |  |
| 310.4  |           |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |                                     |  |  |   |   |   |   |   |   |   |   |  |  |
| <b>APARTMENT BLOCK C - FIFTH FLOOR UNITS</b>   |           |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |                                     |  |  |   |   |   |   |   |   |   |   |  |  |
| 182  | C.11      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | S+E         | 2.7                                    | 2               | 4                | 24.4                                    | 25.0                                    | 3.6                                 | 5.2                                 |  |  | 30  | 31.0  |   |   | 6                                       | 6.0                                     | 7   | 8.0   | 1.5                                      | 1.5                                      |
| 183  | C.11      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | S+W         | 2.7                                    | 2               | 4                | 24.4                                    | 25.0                                    | 3.6                                 | 5.2                                 |  |  | 30  | 31.0  |   |   | 6                                       | 6.0                                     | 7   | 8.0   | 1.5                                      | 1.5                                      |
| 184  | C.12      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | N+W         | 2.7                                    | 2               | 4                | 24.4                                    | 25.6                                    | 3.6                                 | 4.3                                 |  |  | 30  | 30.0  |   |   | 6                                       | 6.4                                     | 7   | 9.8   | 1.5                                      | 1.5                                      |
| 185  | C.12      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | N+E         | 2.7                                    | 2               | 4                | 24.4                                    | 25.6                                    | 3.6                                 | 4.3                                 |  |  | 30  | 30.0  |   |   | 6                                       | 6.4                                     | 7   | 9.2   | 1.5                                      | 1.5                                      |
|  |           |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |                                     |  |  |   |   |   |   |   |   |   |   |  |  |
| 310.4  |           |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |                                     |  |  |   |   |   |   |   |   |   |   |  |  |
| <b>APARTMENT BLOCK C - SIXTH FLOOR UNITS</b>   |           |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |                                     |  |  |   |   |   |   |   |   |   |   |  |  |
| 186  | C.11      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | S+E         | 2.7                                    | 2               | 4                | 24.4                                    | 25.0                                    | 3.6                                 | 5.2                                 |  |  | 30  | 31.0  |   |   | 6                                       | 6.0                                     | 7   | 8.0   | 1.5                                      | 1.5                                      |
| 187  | C.11      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | S+W         | 2.7                                    | 2               | 4                | 24.4                                    | 25.0                                    | 3.6                                 | 5.2                                 |  |  | 30  | 31.0  |   |   | 6                                       | 6.0                                     | 7   | 8.0   | 1.5                                      | 1.5                                      |
| 188  | C.12      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | N+W         | 2.7                                    | 2               | 4                | 24.4                                    | 25.6                                    | 3.6                                 | 4.3                                 |  |  | 30  | 30.0  |   |   | 6                                       | 6.4                                     | 7   | 9.8   | 1.5                                      | 1.5                                      |
| 189  | C.12      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | N+E         | 2.7                                    | 2               | 4                | 24.4                                    | 25.6                                    | 3.6                                 | 4.3                                 |  |  | 30  | 30.0  |   |   | 6                                       | 6.4                                     | 7   | 9.2   | 1.5                                      | 1.5                                      |
|  |           |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |                                     |  |  |   |   |   |   |   |   |   |   |  |  |
| 310.4  |           |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |                                     |  |  |   |   |   |   |   |   |   |   |  |  |
| <b>APARTMENT BLOCK C - SEVENTH FLOOR UNITS</b> |           |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |                                     |  |  |   |   |   |   |   |   |   |   |  |  |
| 190  | C.11      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | S+E         | 2.7                                    | 2               | 4                | 24.4                                    | 25.0                                    | 3.6                                 | 5.2                                 |  |  | 30  | 31.0  |   |   | 6                                       | 6.0                                     | 7   | 8.0   | 1.5                                      | 1.5                                      |
| 191  | C.11      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | S+W         | 2.7                                    | 2               | 4                | 24.4                                    | 25.0                                    | 3.6                                 | 5.2                                 |  |  | 30  | 31.0  |   |   | 6                                       | 6.0                                     | 7   | 8.0   | 1.5                                      | 1.5                                      |
| 192  | C.12      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | N+W         | 2.7                                    | 2               | 4                | 24.4                                    | 25.6                                    | 3.6                                 | 4.3                                 |  |  | 30  | 30.0  |   |   | 6                                       | 6.4                                     | 7   | 18.7  | 1.5                                      | 1.5                                      |
| 193  | C.12      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | N+E         | 2.7                                    | 2               | 4                | 24.4                                    | 25.6                                    | 3.6                                 | 4.3                                 |  |  | 30  | 30.0  |   |   | 6                                       | 6.4                                     | 7   | 9.2   | 1.5                                      | 1.5                                      |
|  |           |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |                                     |  |  |   |   |   |   |   |   |   |   |  |  |
| 310.4  |           |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |                                     |  |  |   |   |   |   |   |   |   |   |  |  |
| <b>APARTMENT BLOCK C - EIGHTH FLOOR UNITS</b>  |           |                  |                            |                            |        |             |  |                 |                  |   |   |                                     |                                     |  |  |   |   |   |   |   |   |   |   |  |  |
| 194  | C.11      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | S+E         | 2.7                                    | 2               | 4                | 24.4                                    | 25.0                                    | 3.6                                 | 5.2                                 |  |  | 30  | 31.0  |   |   | 6                                       | 6.0                                     | 7   | 8.0   | 1.5                                      | 1.5                                      |
| 195  | C.11      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | S+W         | 2.7                                    | 2               | 4                | 24.4                                    | 25.0                                    | 3.6                                 | 5.2                                 |  |  | 30  | 31.0  |   |   | 6                                       | 6.0                                     | 7   | 8.0   | 1.5                                      | 1.5                                      |

| UNIT NUMBER | UNIT TYPE | UNIT DESCRIPTION | UNIT AREA REQUIRED (sq.m.) | UNIT AREA ACHIEVED (sq.m.) | ASPECT | ORIENTATION | CEILING HEIGHT (Kitchen/Living/Dining) | No. of Bedrooms | No. of Bedspaces | Aggregate Bedroom Area Required (sq.m.) | Aggregate Bedroom Area Achieved (sq.m.) | Main Living Room Width Required (m) | Main Living Room Width Achieved (m) | Combined Living/Dining/Bedspace Width Required (m) | Combined Living/Dining/Bedspace Width Achieved (m) | Kitchen/Living/Dining Area Required (sq.m.) | Kitchen/Living/Dining Area Achieved (sq.m.) | Combined Living/Dining/Bedspace Area Required (sq.m.) | Combined Living/Dining/Bedspace Area Achieved (sq.m.) | Aggregate Storage Area Required (sq.m.) | Aggregate Storage Area Achieved (sq.m.) | Balcony/Winter Garden/Balcony + Winter Garden Area Required (sq.m.) | Balcony/Winter Garden/Balcony + Winter Garden Area Achieved (sq.m.) | Balcony/Winter Garden Depth Required (m) | Balcony/Winter Garden Depth Achieved (m) |
|-------------|-----------|------------------|----------------------------|----------------------------|--------|-------------|--|-----------------|------------------|---|---|-------------------------------------|-------------------------------------|--|--|---|---|---|---|---|---|---|---|--|--|
| 196         | C.12      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | N+W         | 2.7                                    | 2               | 4                | 24.4                                    | 25.6                                    | 3.6                                 | 4.3                                 |  |  | 30  | 30.0  |   |   | 6                                       | 6.4                                     | 7   | 9.2   | 1.5                                      | 1.5                                      |
| 197         | C.12      | 2 Bed Apartment  | 73                         | 77.6                       | Dual   | N+E         | 2.7                                    | 2               | 4                | 24.4                                    | 25.6                                    | 3.6                                 | 4.3                                 |  |  | 30  | 30.0  |   |   | 6                                       | 6.4                                     | 7   | 9.2   | 1.5                                      | 1.5                                      |

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**APARTMENT BLOCK C - NINTH FLOOR UNITS**

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APARTMENT BLOCK C - TENTH FLOOR UNITS

11405.1 TOTAL

**NUMBER OF DUAL ASPECT APARTMENTS:**

54% OF UNITS







05

# **Urban design manual - A best practice guide**

# Urban Design Manual - A best practice guide

In order to clearly demonstrate that best practice sustainable design strategies are being employed for this strategic site, the document follows the broad format laid down by the sustainable community development checklist outlined in the May 2009 DoEHLG document 'Urban Design Manual- A Best Practice Guide'. The checklist is reproduced here for ease of reference.

Architects Response in bold below:

- Does the development respond appropriately to its specific site conditions, including the scale, form and character of the buildings and landscape within the site and around its boundaries, and the amenity of neighbouring users?

**The buildings reflect the scale and built forms of existing buildings along the canal. The site layout and building design responds to specific context by being cognizant of existing residential properties by locating buildings tight to the canal boundary, by offering an appropriate transition in scale and in incorporating apartment plans and design features to preserve the amenity of neighbouring users.**

- Does the proposal have a permeable network of streets and spaces, and a hierarchy of street typologies ? Does the proposal create links to existing movement routes, local amenities and adjoining land parcels?

**The development has a hierarchy of spaces and includes clearly defined public areas and areas that are recognizable as being for the principal use of residents. The proposal creates new movement routes for pedestrians and cyclists by linking the Royal Canal tow path to Phibsborough Road via a new public plaza and access route. This connection which does not exist at present will enhance the network of streets and connect adjoining land parcels.**

- Does the layout prioritise access for all, with a public realm based on a concept of pedestrian and cycle connectivity?

**Improved levels of pedestrian and cycle connectivity are created with universal access prioritized across the site. New areas of public realm will have high-quality finishes superior to any existing surroundings and are the key element in enabling pedestrian and cycle connectivity.**

- Does the development contain non-residential uses, and if so, are they positioned as to appropriately visible and accessible, and are compatible with neighbouring uses? Does the development provide housing of different sizes, types and tenures?

**Ground floor retail / café unit is accessed directly from the public plaza and is located at the most prominent position in the site having frontage onto the plaza and onto the canal tow path. This non-residential use is visible from the public road and from the Cross Gun's Bridge. Resident's amenity uses and associated facilities are also situated at ground floor within the first building one encounters on entering the site. Current proposal comprises a mix of studios, one bedroom and two bedroom apartments intended to be rented properties in a managed BTR scheme.**

- Does the layout make efficient use of land resource by applying higher densities to locations closest to public transport, and utilise landscaped areas to provide amenity and promote biodiversity while also incorporating sustainable urban drainage systems?

**The efficient layout of these compact buildings, reflected in a plot ratio of 1 to 2.25, makes the most of this location, with excellent public transport connections. The site coverage in this urban context is relatively low at only 36.4% and therefore generous areas are available as amenity spaces for which a high quality and diverse landscaping design has been prepared. Hard and soft landscaped areas are proposed across the development that incorporate SUDS. Biodiversity is promoted through the planting specification and the inclusion of soft landscaping at ground level, at first floor level on the roofs of outbuildings and at higher rooftop level on green roofs.**

- Does the layout have recognizable features and / or distinct variations in character so as to provide visual variety and to encourage residents to develop a sense of ownership?

**The proposed tall, slender building form of block C will serve as a sentinel on the east end of the site. This taller building stands on the footprint of the existing tall concrete silo structure that has been a distinctly recognizable landmark in the local area for many years. There are three distinct buildings on the site that present different volumes and different elevational treatments when seen from opposite sides. All residents must pass through and utilize the garden spaces to enter and leave the property and all residents share communal residents' amenities that are specifically included to encourage residents to develop a sense of ownership and to nurture a sense of community.**

- Does the layout make the most of opportunities presented by existing buildings, landform, views and features to create a sense of place, and does the layout link to movement routes and places that people will want to get to? Does the proposal address any flooding/drainage issues in a sustainable manner?

**The proposed buildings will occupy a lesser footprint on the ground than the abandoned industrial buildings that they will replace. The proposed new buildings have been positioned on the site so as to be able to create the garden spaces along the south boundary and the plaza space and so as to create greater separation distances between the existing residential dwellings and the new buildings than under the current conditions. The existing site boundary wall is to be retained , with the wall along the canal tow path being reduced in height to create good passive surveillance of the tow path and allow views out over the canal. The gate opening in the boundary wall at the plaza allows people for the first time ever to penetrate the site from the canal side. The plaza will become a destination itself and its presence allows pedestrian movement through the site from the canal to Phibsborough Road.**

See Waterman Moylan Reports regarding SUDS proposals and anti-flooding mitigation measures.

- Does the proposal provide passive supervision of all streets and public open spaces though a combination of overlooking and active frontages, and are there well designed, overlooked, alternative routes for pedestrians and cyclists, within the scheme or connecting the scheme to its neighbouring land parcels?

**The proposal allows passive supervision of the Royal Canal tow path and of the new plaza space by having apartments fronting onto the canal and by having active uses at ground floor , namely the café / retail unit and resident's amenity spaces addressing those areas. Apartments facing into the internal courtyard and garden spaces provide passive supervision of other circulation routes between buildings.**

- Do the dwellings allow for future adaptability by the residents in response to potential changing needs over their lifetime, such as attic conversions, rear extensions, and working from home?

**The proposed building will be in a single ownership; this combined with the studio apartment layouts allows for future conversions/ combining of individual units.**

- Does each home have an attractive private amenity space, that is well orientated, and does the layout maximise the number of dual aspect units?

**Each apartment will have its own balcony ranging in size from 5.0 m<sup>2</sup> to 11.2m<sup>2</sup>. Balconies on the north-east elevation facing over the canal will also be able to become wintergardens. The building footprints of blocks A and B are I-shaped and therefore offer more corner (dual aspect) units. All apartments in block C are dual aspect. A total of 53.65% of the units in the development are dual aspect.**

- Does the proposal provide an appropriate amount of car and bicycle parking within easy access of the dwelling, and is there an element of communal or visitor parking for cars and bicycles to maximise efficiency of parking space use?

**A total of 29 car parking spaces are provided on the site along with 344 bicycle parking spaces.**

**20 resident's car spaces (including 1 accessible space) are located in a semi-basement car park with access through the communal amenity facilities in Block C.**

**4 accessible car spaces are provided at ground level in the central courtyard area between blocks A and B.**

**2 Go Car spaces and 3 set down spaces are provided at ground level at the plaza area .**

**272 residents bicycle spaces are provided. 208 residents bicycle spaces are provided in two secure enclosed store rooms on ground level in the garden / courtyard area. 64 are provided in a secure enclosed store room in the semi-basement car park area.**

**72 visitors bicycle spaces are provided . 22 spaces are provided in an enclosed store room at ground level in the garden / courtyard area. 50 spaces are provided by Sheffield type stands located in proximity to building entrances and distributed across the site.**

- Do the materials and external design of the buildings make a positive contribution to the locality, and does the design facilitate easy and regular maintenance of buildings and landscape?

**The building materials used are kept to a limited palette of three main materials: brick, render and zinc. The replacement of concrete and corrugated sheeted industrial buildings with new residential buildings in quality construction materials will make a very positive contribution to the locality and will vastly improve the area by turning a disaffected brownfield site into a new residential community. The high quality contemporary exterior design & finish will add visual interest to the area.**

**The design facilitates easy maintenance by the selection of durable materials that require very little regular maintenance. Cleaning of glass and metal railings and maintenance if required , can be carried out with ease from ground level using spider lifts and / or MEWPs . The green roofs require very little maintenance and as on a regular roof , a fall arrest systems will be provided where required. Ground level landscaped areas can be easily reached and a regime of seasonal maintenance would be provided.**





# **Response to An Bord Pleanála consultation opinion.**



# Introduction

Case Reference : ABP - 307 400-20

This document is a response to the An Bord Pleanala Consultation Opinion issued following the pre-application consultation meeting held via Microsoft Teams on 02 September 2020.

The applicant is advised to address 10 points in relation to the proposed development, as set out in the Pre-Application Consultation Opinion.

This document seeks to address specific points relevant to the Architect as designer of the proposed development.

Other points, specific to other disciplines, will be responded to under separate cover.

# 1.

1. Further consideration and/or justification of the documents as they relate to the height and design strategy. In this regard, the prospective applicant should satisfy themselves that the design strategy for the site as it relates to height provides the optimal architectural solution for this site and should submit a rationale/ justification for the heights and elevational treatment proposed. Particular attention should be paid to Block C and its prominence in views from the south. Details should also include interactions with adjoining Protected Structures and views east and west along the Royal Canal.

Furthermore, the applicant is advised that an appropriate statement in relation to section 8(1)(iv) of the Planning and Development (Housing) and Residential Tenancies Act 2016, that outlines consistency with the relevant development plan and that specifically addresses any matter that may be considered to materially contravene the said plan, if applicable, should be submitted.

## Response:

### Building height.

Proposed building heights are derived from a number of influencing factors.

- the development standards,
- examination of the receiving context,
- examination of the impact that new buildings will have on the receiving context,
- consideration of the specific location in terms of its suitability for a tall building,
- architectural composition of building forms and site layout.

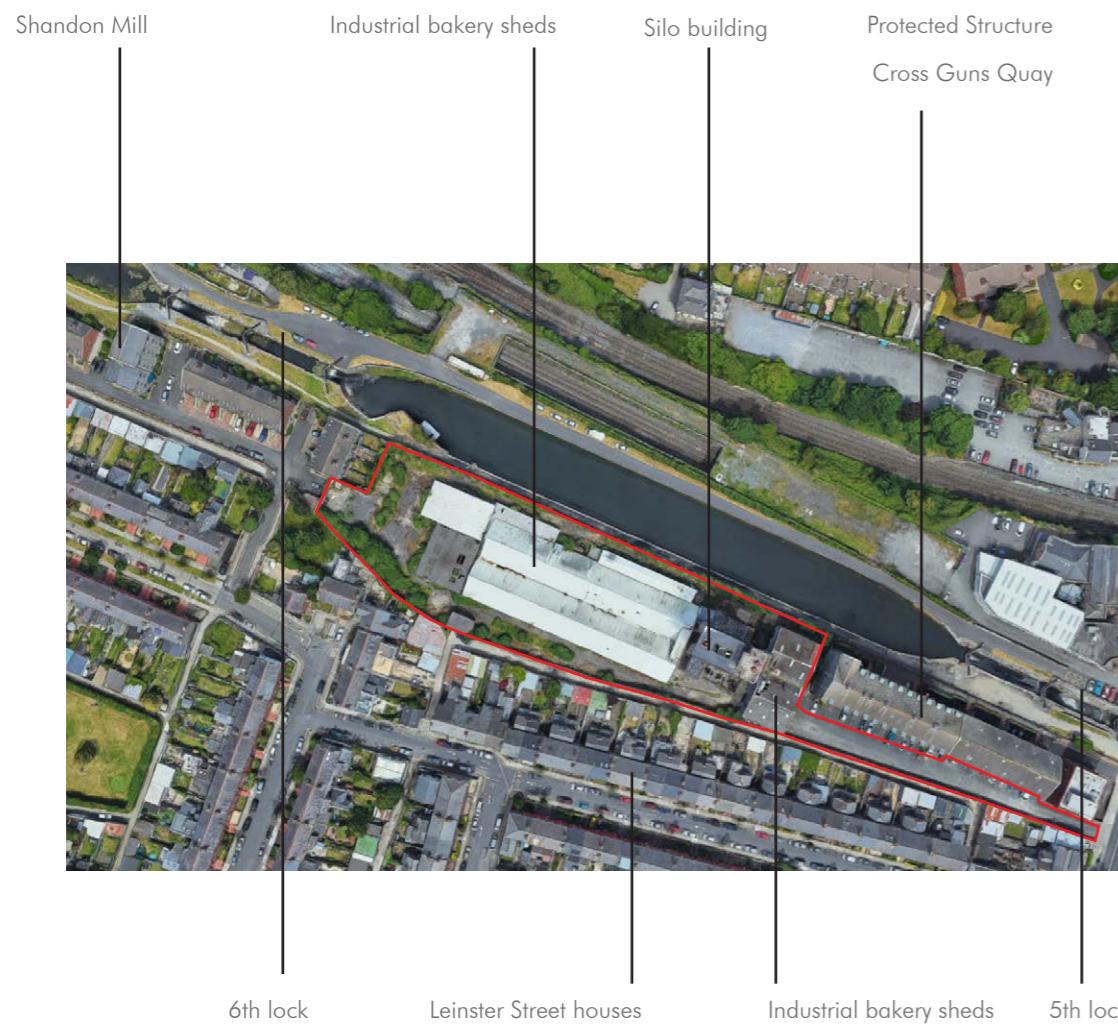
accommodation over a ground floor car park level) with a pitched slated roof. At its western end a volume projects perpendicular to the main body of the building and presents a gable end to the canal. The north and south elevations are punctuated by a very regular series of windows. The eaves line is broken by a series of dormer windows that are set into the roof space.

To the south of the site are two storey split level terraced dwellings on Leinster Street North. The rear of these houses face north towards the site. The houses are separated from the site by a laneway that runs the length of the southern site boundary wall.

North-west of the site is a modern housing development known as Shandon Mill comprising townhouse / duplex units and the refurbished 4 storey Pin Mill at the 6th lock.

The subject site comprises a grouping of disused industrial buildings that made up an industrial bakery. There are three dominant buildings and several other annexed buildings on the site at present. The three dominant structures are: a double pitched roof tall shed of about five storeys in height under which vehicles passed to enter the site; a tall mass concrete silo building with numerous cylindrical silos and a stair / lift tower / service block attached, equivalent to 9 residential storeys in height; an expansive double pitched roof factory building covering the majority of the site.

Immediately to the east of the subject site is an imposing protected structure, the former North City Flour Mills building that has been converted into apartments. The apartment development is known as Cross Guns Quay and this development shares use of the access road leading into the subject site. The refurbished mill building is a significant structure in terms of its large volume and its visual prominence in the locality. It is a stone faced building of 7 storeys in height (6 storeys residential



View of site from south east.



View of site from north east.

## Building line.

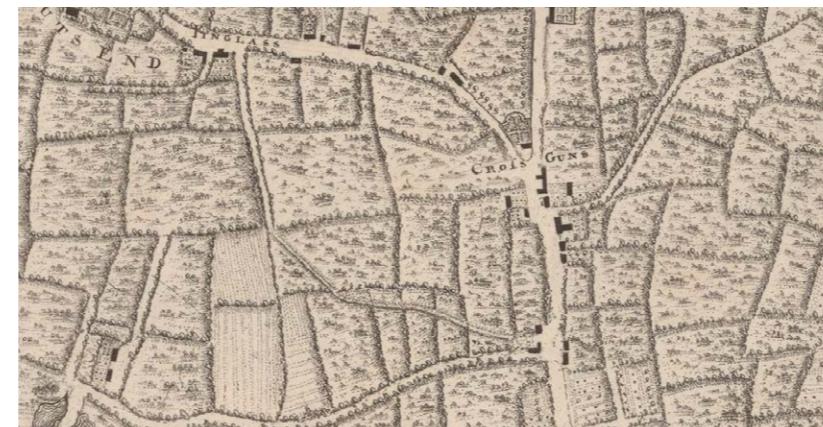
The site layout strategy for this proposed development seeks to place the proposed new buildings towards the north side of the site, to create a generous open space to the south of the buildings, to keep development as far away as is possible from existing houses located on Leinster Street and to form a new built edge to the site along the Royal Canal tow path.

This application for planning permission offers an opportunity to develop this brownfield site for residential use and to create a new public space along the canal in the vicinity of the lock gates.

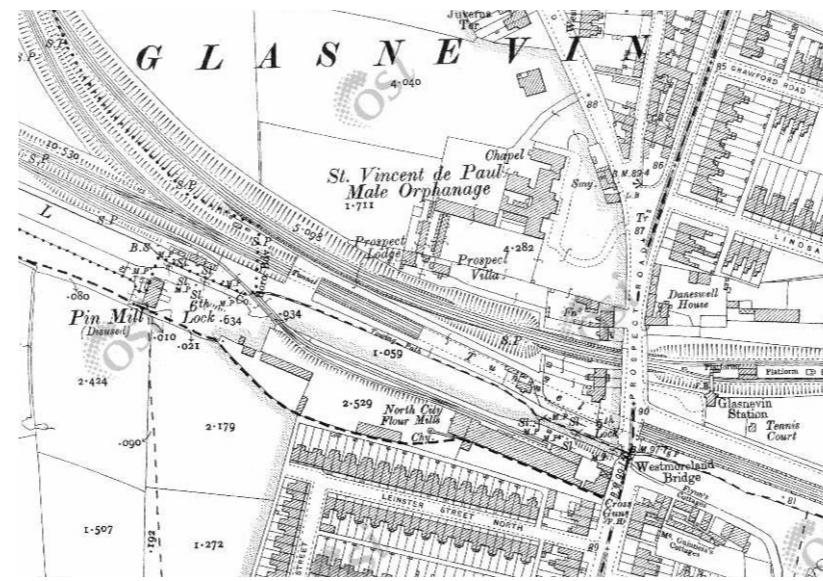
In preparing this application we have carefully considered the building locations and their respective heights and examined the potential impacts of new buildings on the receiving environment.

The disposition of the buildings along the northern edge of the site ensures that appropriate setback distances are achieved from the southern boundary to protect the privacy and amenity of the existing residences along Leinster Road North. The proposed new garden space at the south side of the buildings forms a wide physical buffer and is the main landscaped communal open space for the residents.

The proposed new apartment blocks A, B and C are located along the site boundary wall with the canal and they address this edge in order to benefit from wide views over the canal waterway while reinforcing passive surveillance of the tow paths. The façades of the buildings along the canal are set on a line that is derived from the alignment of existing buildings on the site. This line is set slightly further forward than the façade of the adjacent stone mill building (former North City Flour Mills). The space between the back of the site boundary wall and the façade of the buildings is occupied by the terraces of the café and residents' facilities and by the private terraces of the apartments. This space extends from a distance of 2600 mm at Block C to 3200 mm at Block A, as the site boundary wall splay slightly away from the building façades that are orthogonal to one another and to the adjacent converted mill building.



Rocque's map - c.1750



O.S. 6 inch 1888 - 1913



O.S. 6 inch - 1837-1842

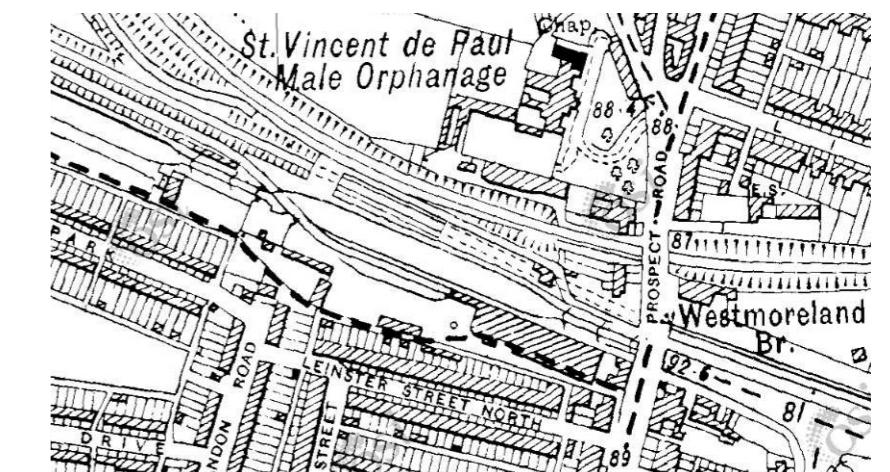
## Historical maps and precedent.

Research into previous occupation of the site, former uses and evidence of construction appears to demonstrate that the site was not extensively built upon.

There are no buildings seen on the subject site in Rocques map which pre-dates the construction of the Royal Canal. Construction began on the Royal Canal in 1790 and the subject site is identifiable on the O.S. map of 1837. This map and other historical maps demonstrate that there was never an established building line along this stretch of the Royal Canal. Prior to the construction of the North City Flour Mills there does not appear to be any buildings on the alignment of the canal tow path. Two small structures are seen within the site on the 1837-1842 6 inch map. At this period there is no evidence of a wall bounding the property on the canal tow path.

The map of 1888-1913 shows the North City Flour Mills and a railway line with two tracks and an embankment on the subject site. Two long narrow structures are visible in the subject site, one backing onto the boundary with the lane at rear of Leinster Street houses the other located towards the centre of the subject site. One rail track extends alongside the North City Flour Mills and it is likely that there was no boundary wall along the tow path at this period.

The map of 1830-1930 shows the same structures as on the earlier map, with the railway tracks still in place. Shandon Park and Shandon Drive are shown. There does not appear to be any further development on the subject site. The rail track appears to still be in existence and is still shown crossing over the canal at the 6th lock.



O.S. 6 inch Cassini - 1830-1930

## Old Bakery.

The current boundary wall along the tow path may have come into existence once the railway lines were removed. It is likely that the subject site remained largely undeveloped until the construction of the factory (Old Bakery) and the concrete silo building in the 1950's. The wall bounding the site was heightened at this time and the area where the railway tracks lay was built over.

The North City Flour Mills (previously Mallet's Iron Mill) is perhaps the most significant structure built in the vicinity of the 5th lock and it appears that the only other structure that was placed alongside the tow path was the Pin Mill building located further west, and gabling onto the tow path at the 6th lock.

Building positions and orientation along this bank of the canal are likely to have come from the function of the building or from land ownership constraints rather than from any desire to create a continuous built edge.

## Proposed building line.

The proposed line of the new buildings is derived on the one hand, from a desire to create a strong new edge with the façades of the buildings and to create a useful zone between the boundary wall being retained and the façade and on the other hand from the decision to keep the new buildings as far away from the southern boundary as possible. The line struck as a new building line on the subject site sits between the line of the former mill building (Protected Structure) and the housing development of Shandon Mills which sits on the line of the tow path. The separation across the proposed new public space between the west gable of the former mill building and the façade of Block C facilitates the slight change in alignment.

The three proposed apartment buildings are positioned close to the northern site boundary wall that separates the site from the tow path of the Royal Canal. This boundary wall is an existing wall that was constructed to enclose the site, presumably in the period between the removal of the two railway sidings and the construction of the former bakery and silo buildings. The three blocks are set back from the rear of the boundary wall in order to provide generous private terraces that are fully usable for outdoor seating / dining or playing. The setting back

of the buildings from the boundary also has the benefit of revealing more of the façade and gable of the adjacent protected structure (apartment development in former North City Flour Mills) when viewed from the west along the Royal Canal tow paths. The protected structure is therefore not obscured by the new development even in the oblique views from the sixth lock. Its presence will be seen from a distant approach and the building will be fully revealed as one gets closer to the new plaza that is created by the removal of the existing disused industrial buildings and silo.

Computer generated views are provided to illustrate the relationship of the proposed buildings with the Protected Structure. Please refer to Views 01, 02, 03, 04, 09, 10, 11 and 12.



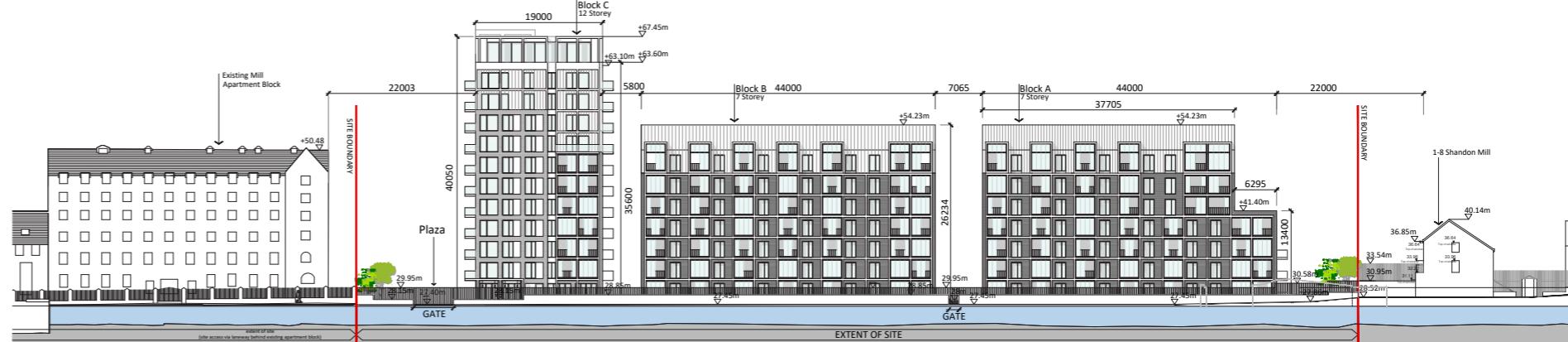
## Proposed heights.

The northern elevation facing onto the Royal Canal is the most public elevation of the scheme. The buildings and the public plaza fronting onto the canal will be seen from Cross Guns Bridge and Whitworth Road and from the Royal Canal tow path to the north west. Glimpses of this elevation will be seen from Botanic Road and from Prospect Road.

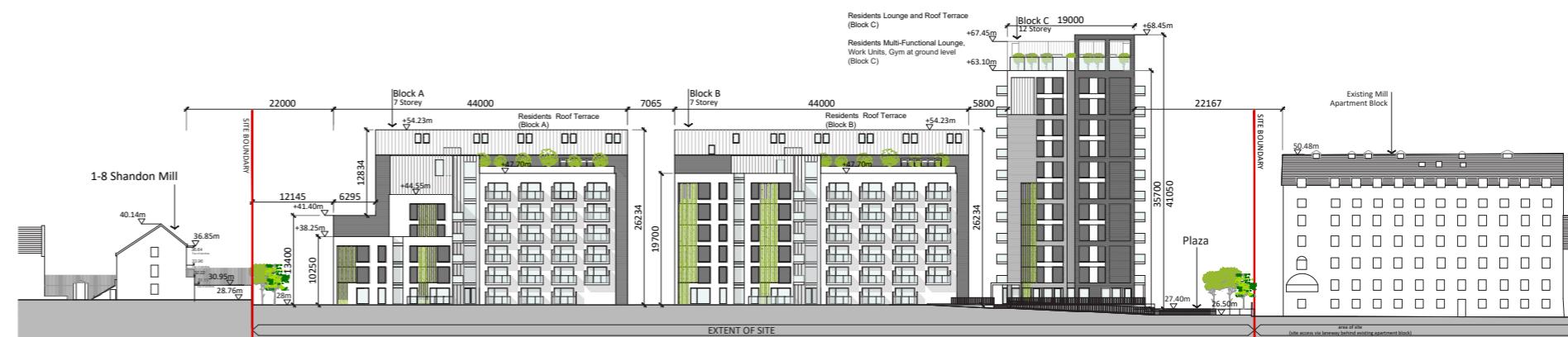
The proposed elevational treatment along the canal makes reference to the adjoining, dominant stone faced 'Mill' building in terms of alignment, massing and form. There is a continuity of the massing and form of the protected structure in blocks A and B whereby they are generally similar in form and in composition. Blocks A and B are both 7 storeys in height on the canal side; the same number of floors as in the refurbished protected structure. The new buildings present a regular grid-like elevation to the canal with stacked windows and features that are similar to the protected structure such as the wintergardens that break through the eaves line in the same manner as the dormer windows of the protected structure. Private outdoor space in the form of balconies & wintergardens are provided in the proposed new development by using a regular gridded support structure placed in front of the apartments.

As in the adjacent protected structure, this north elevation is predominantly 7 storeys high with a pitched roof, with eaves and ridge line providing a horizontal emphasis. The scale of the development is stepped down at its north-western end (Block A) to take account of the existing residential development of Shandon Mill (3 storeys with pitched roof) to the west.

At the south side of Blocks A and B, the buildings are 6 storeys in height with a roof terrace at 7th floor level. The north west end of block A steps down to 4 and 3 storeys to provide a satisfactory transition in scale and to avoid overshadowing of the rear (east) elevation of duplex units in Shandon Mill.



North elevation.



South elevation.

The silo building is a long established "tall" building in its context. Standing next to the former mill building and the disused industrial sheds, it is part of a group of buildings that are identifiable as large industrial structures, contrasting strongly with the buildings in the wider neighbourhood. These industrial buildings are there because of the existence of the Royal Canal which served the original North City Flour Mills. Similar conditions exist elsewhere along the canals where other industrial buildings which are of a larger scale and stand taller than the residential neighbourhoods that grew up around them. At Cross Guns Bridge this group of buildings is seen from many directions as standing taller than the surrounding buildings. The buildings are recognised as being among the few "tall" buildings in Phibsborough together with St Peter's church and the office building at the shopping centre. The surrounding area at Cross Guns Bridge is predominantly residential in nature with the majority of houses being from the mid-Victorian period. In urbanised areas it is not uncommon for transitions in scale from one street to another or from one part of a site to another to exist and it is such changes in scale and intensity of development that makes an area become an urban area.

The perception of a tall building is entirely dependent on its context. If the entire surrounding area is two storeys in height and among this, is a single building that stands 6 storeys in height, this building is certainly taller than the surrounding buildings but it may not be a tall building. A 6 storey building is not a "tall" building in another context. In the case of the silo building, it is part of a group of buildings that are taller than their surrounding context, however neither the former mill building nor the silo structure are particularly tall.

The silo structure together with the former mill building (protected structure) is visible from many locations in the vicinity and the silo itself has become an urban landmark. Both buildings are originally industrial buildings and while their imposing forms have an appeal, they are most noticeable because they are both taller than the buildings in their immediate context. The silo is also noticed because of its distinctly functional industrial appearance among the long established predominantly residential neighbourhood.



Silo and Cross Guns Quay (former North City Flour Mills)



Cross Guns Quay (former North City Flour Mills), bakery and silo



Phibsborough Shopping centre - office building & Cross Guns Quay in distance



St Peter's church

The silo is equivalent to a residential building of 9 storeys in height and is the inspiration for the proposed Block C. The proposed 12 storey building references the height and location of the existing silo. It stands on the footprint of the silo and it occupies the vertical space at this point in the site. Its stature provides visual punctuation along the northern façade and addresses the proposed new plaza. The rhythm and scale of the composition is in keeping with the language of the refurbished historical mill building. Simple shaped volumes with distinct profiles, regularly spaced fenestration and a controlled architectural expression. The proposed tall, slender building form of block C will serve as a sentinel on the east end of the site.

The proposed Block C stands in a position in plan that is favourable for a tall building. It is positioned where the silo currently stands so there is an already established high point in the skyline of the neighbourhood at this location. The proposed development is located to the north of the dwellings on Leinster Street and therefore most shadow cast by the buildings is away from the existing dwellings towards the canal.

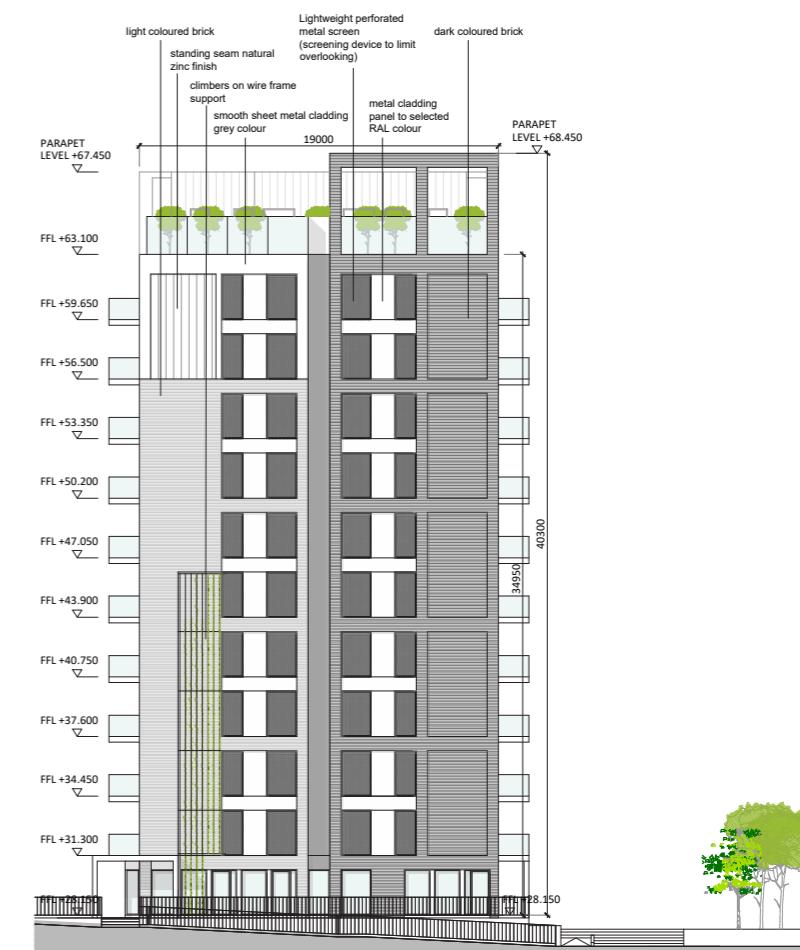
As a building volume, Block C, is not reliant on incremental stepping, reduction of the floor plates or providing a multi-tiered form in order to announce its uniqueness. Block C sits in this composition of new and old buildings as a taller structure with deliberately repeated floor plates brought up to the top level. The culmination of the building is given a different treatment because the function is different at this level. Block C is an apartment building with indoor and outdoor residents amenity uses at the top floor. Its form and appearance reflects its uses.

In designing block C as an attractive and quality residential building we have considered the orientation of the apartments and the positions of the main living spaces and balconies in relation to the existing dwellings. A plan form was derived that is compact and efficient and that is repeated from first to tenth floor. There are four apartments per floor around a centrally placed lift and stair core. Externally, the four apartments or the four quarters of the building, are identifiable by continuous vertical breaks in the façades that emphasize the verticality of this building. At the top floor, a set-back volume of residents' amenities is located on the northern half of the building and the southern half is a usable roof terrace. The south-east "quarter" is the part of block C that is first to be seen as one approaches the development via the access road. It is also the corner of the building that is possibly most seen from the city side (Phibsborough) and is expressed a slightly higher volume. This volume is to be clad in a darker brick to the light brick used on the canal-side volumes of Blocks A and B and on the remainder of Block C. The top of this darker brick volume is an open structure that forms an enclosure to part of the roof terrace. As Block C rises, the four elevations receive different treatments towards the upper floors. The cladding material changes from brick to standing seam zinc and aluminium cladding towards the upper most floors, at different levels on different sides. This provides variation in the composition of each elevation. On the southern elevation, which does not have any principal windows or balconies, there are additional

features that have been introduced to articulate the elevation. The windows are paired and grouped in large oves. Between the windows there are metal infill panels. In the brick clad south-east volume there are slightly recessed two storey panels. A full height recess clad in dark metal panels, separates the two apartments / volumes.

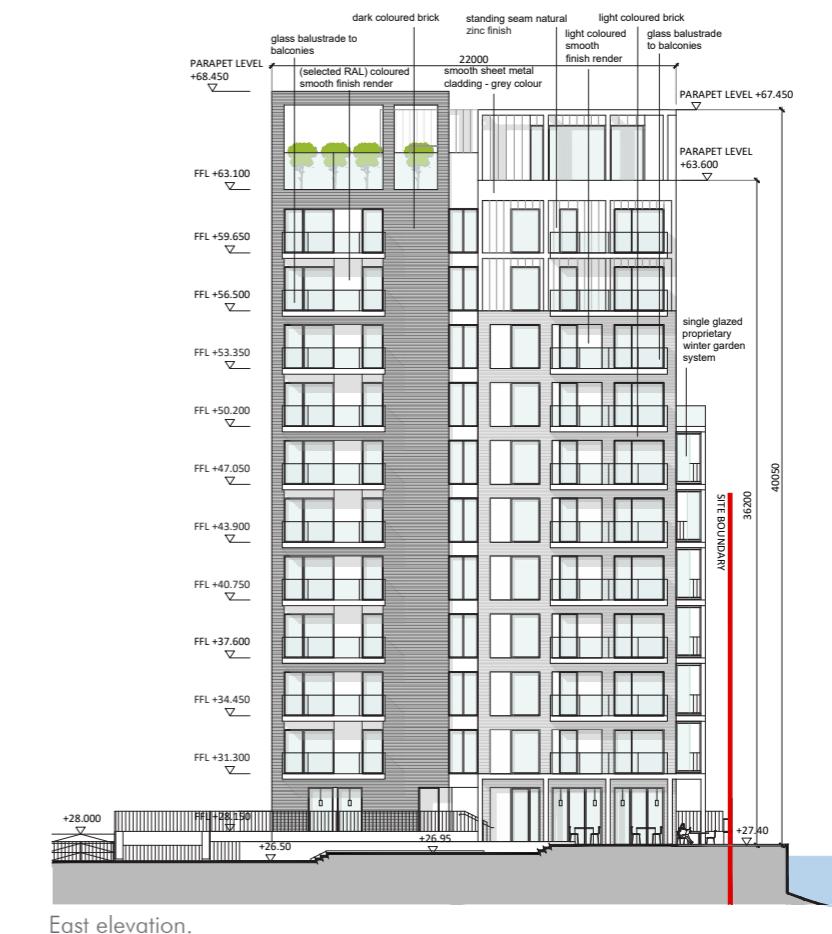
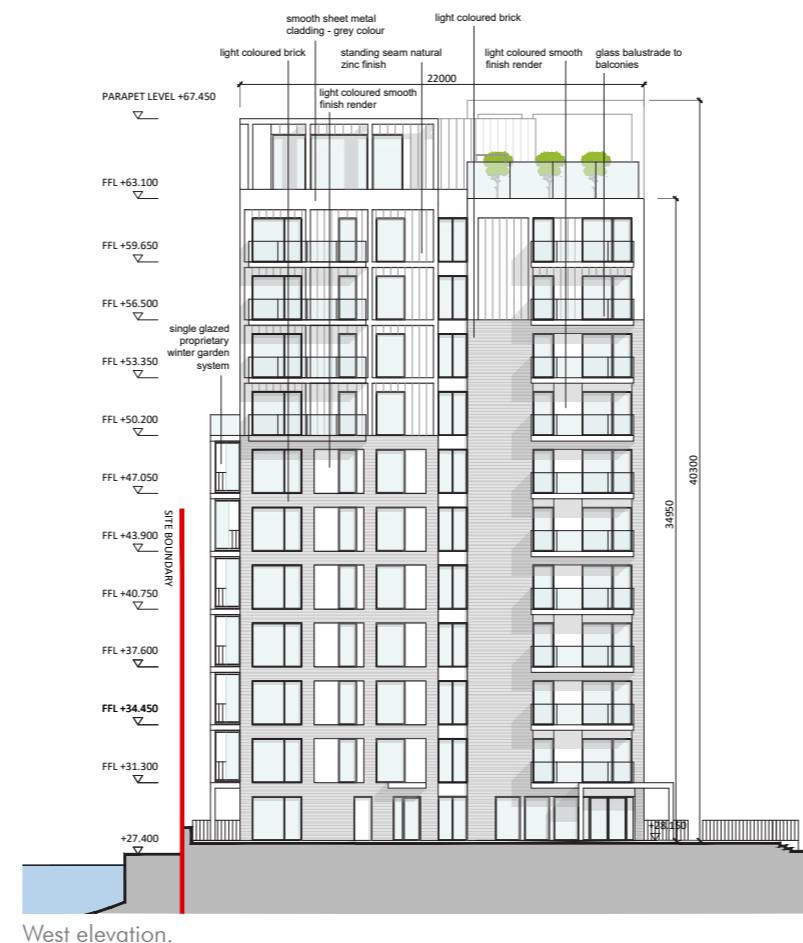
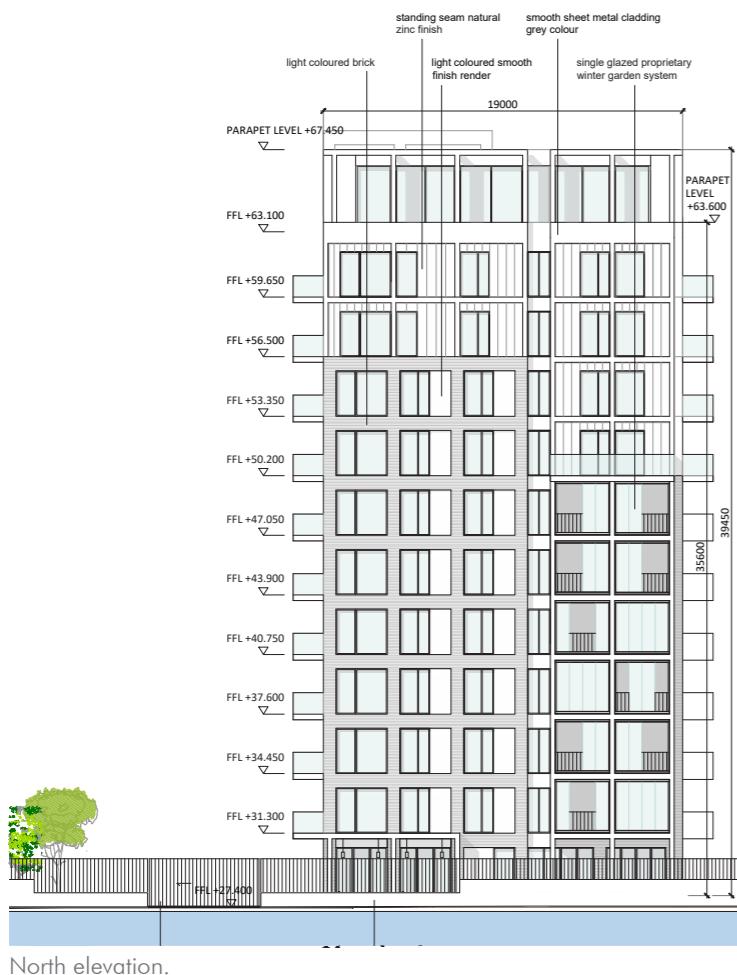
Setting the precedent that exists for a "tall" building at the location of the silo aside, we have examined the likely impacts of a "tall" building on the existing residential amenity of the Leinster Street houses and we consider that it is feasible to propose a taller building at this location. We acknowledge that The National Planning Framework indicates that building heights should be based around performance criteria appropriate to location. We are also aware that typically in Dublin City, apartment developments of up to 24 m, which is equivalent to 7 storeys in height, are generally considered to be of a height that is appropriate for most city locations.

We propose that at this location it is appropriate to exceed this height with apartment block C.



South elevation.

Block C is 12 storeys in height and reaches a height of 40.3 m above the lower plaza level. At plaza level there is a retail / café unit with a taller floor to ceiling height than on residential floors. The intermediate residential floors have a floor to floor height of 3.15 m and the top floor, housing some of the residents amenity spaces, will have a floor to floor height of c.3.8 m.



In the overall composition of the buildings we propose that the building that replaces the silo, Block C, should be a new taller building that marks the presence of the new public plaza and of the development, by extending above the roof line of the former silo and the former mill building. Block C is an important marker of the new public space that will be seen from afar and we consider that it is

appropriate to give this building vertical emphasis to give it a recognizable identity and to strengthen the skyline. This development offers the opportunity to enliven and to invigorate the Royal Canal and the amenity of the tow paths and the water between the 5th and 6th locks at Cross Guns Bridge. The presence of a new public space with a commercial use opening onto the new plaza and

the presence of new apartments will be a significant improvement from the existing disused industrial use that currently exists.

## 2.

2. A report that specifically addresses the proposed materials and finishes to the scheme including specific detailing of external finishes, the treatment of balconies and boundary treatments. Particular regard should be had to the requirement to provide high quality and durable finishes and materials which have regard to the surrounding context of the site.

Response :

Materials and finishes used in the scheme are detailed on each architectural elevation drawing and on the landscape site plan drawing.

Architectural elevation drawings indicate all materials to be used on the buildings and associated vignette images of each material are provided on each elevation drawing sheet.

All proposed materials are selected because of their suitability for use in this type of development, their high quality, their low maintenance and their durability. The palette of materials is deliberately restrained and limited to provide a coherence and consistency across the development.

Brick.

Brick is chosen as the main facade material for the canal elevations and for all façades on Block C.

A light coloured buff / cream brick is proposed on the canal side elevations of Blocks A and B and on the majority of Block C (Wienerberger Casa Lena or similar approved).

A darker multi-toned brown / buff brick (Vandersanden Brama) is proposed on the south east corner volume of Block C.

The light colour of the brick is selected taking into account the fact that the canal elevation is north facing and considering that a high quality textured brick with a light and warm shade would suit this aspect better, reflecting light in a more successful way than a dark surface.

The darker coloured brick highlights the prominent corner of Block C and assists in articulating the volume.

Zinc.

Zinc is proposed as a more contemporary alternative to the slate roofs found on adjacent buildings. Zinc is a stable and very durable material that is most commonly used for roofing. In the proposed scheme, zinc is used on the pitched roofs of the canal side volumes of Blocks A and B, on the façades of lift and stair volumes and on the façades of upper floor volumes on Block C.

Metal cladding.

Certain facade panels that frame areas of zinc cladding on upper levels of Block C will be clad in metal panels. Polyester powder coated aluminium cladding panels supported on a rail system are durable and largely maintenance free.

A grid of balconies and winter gardens is placed in front of the main brick body of the buildings, as a lighter structure forming an outer skin and establishing a rhythm along the facade of voids and transparent surfaces, allowing the brick wall to be seen while providing the private amenity spaces for the units.

Perforated metal.

Perforated sheet metal with polyester powder coated finish is proposed to be used for screens that will be fitted to south gables on each block.

Composite decking.

The balcony and winter garden support structure will be clad in sheet metal cladding. Balcony surfaces will be finished in a composite decking type material (Millboard or similar approved). The boards use polymer resin construction to provide a textured, slip resistant finish that does not deteriorate.

#### Toughened - laminated glass.

Balcony guardings are proposed with toughened-laminated glass used as infill panels between uprights and handrails

#### Render.

Light self-coloured render (off-white/ light grey) is to be used on south, east and west elevations of Blocks A and B. Certain infill panels on Block C façades are also finished in render. This material is a durable façade material that requires no maintenance. Parapet cappings and cills are detailed with adequate overhangs to form drips intended to throw off rainwater and to reduce staining and streaking of the surface. Through coloured render provides a high degree of weather protection and an attractive decorative finish.

Privacy screens with translucent glass infill, to a height of 1.8 m, are provided between adjacent balconies of studios on the south elevations of Block A and B.

#### Wintergardens.

Wintergardens are proposed on the northern elevation on each block. The wintergarden is a glazed openable screen that extends around three sides of the balcony. The wintergarden allows the balcony space to be more readily usable throughout the year as it makes the balcony a more sheltered space. The glazing system allows the resident to easily open back sections of glazing to transform the wintergarden into an open balcony. The selected system will be a proprietary system that has been designed and tested for residential use (Lumon or similar approved).

#### Metalwork.

Railings throughout the development will be made of robust galvanised and painted steel flats and bars.

#### Outbuildings.

The outbuildings containing life safety generator, bicycle stores and refuse store are proposed to be constructed in solid blockwork, finished in through coloured render, vertical treated timber battens, steel gates and perforated sheet metal panels.

#### Boundary wall.

The site boundary wall is a continuous masonry wall surrounding the site on the south, west and north. The east boundary is currently the façade of an existing industrial building. The wall is mostly a limestone rubble wall with a few areas having been modified or replaced with blockwork and mass concrete infill.

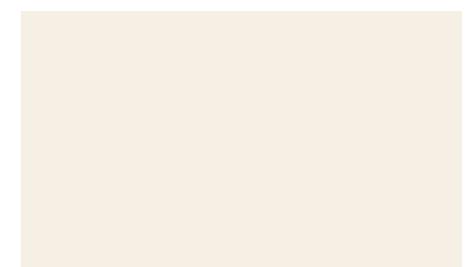
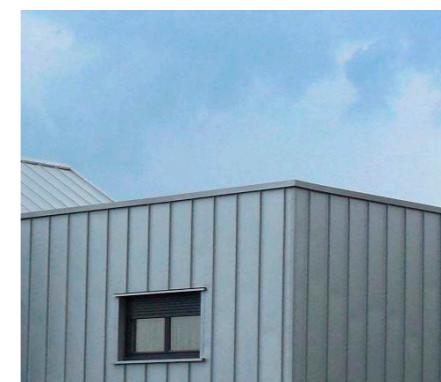
Overall this wall is in good condition and will serve as the enclosing wall for the residential development.

A general overhaul treatment is proposed for the wall with specific attention paid to any sections that show signs of deterioration. Certain sections of the south boundary are fully concealed by vegetation within the site and the surface will not be revealed until the site is cleared. The wall is visible from the laneway north of Leinster Street houses and an initial assessment shows that the wall is structurally stable.

The entire boundary wall will receive a thorough overhaul treatment comprising strip down of all vegetation, application of a bio-cide, removal of all loose masonry material and repair locally as required, level off top of wall where uneven, removal of all redundant pipework, cabling or other items, removal of any barbed wire, razor wire and supports, removal of any glass / cement haunching to top of wall.

#### Hardscaping.

Materials used externally in landscaped areas are detailed in the landscape plan and other landscape drawings. Further information is provided in the landscape architect's report.



### 3.

3. Further consideration of the quality and residential amenity of ground floor apartments, in particular those north facing apartments with frontage onto the canal tow path, in terms of privacy, security and daylighting. Detailed section and axiometric drawings should be used to demonstrate the achievement of satisfactory levels of residential amenity.

Response:

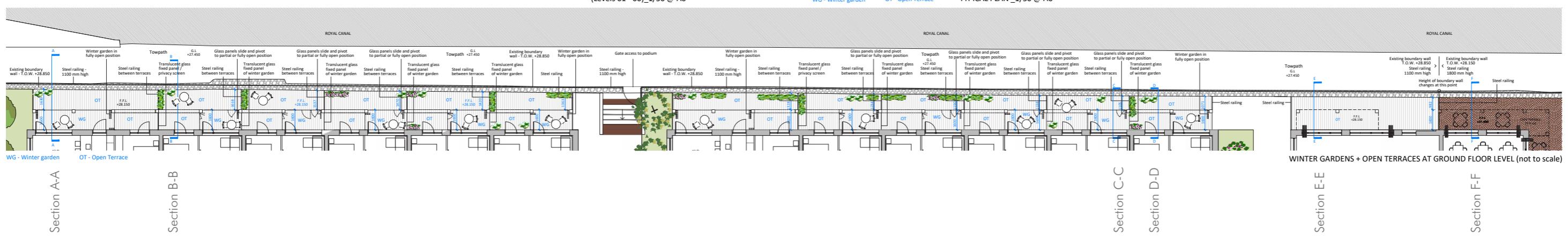
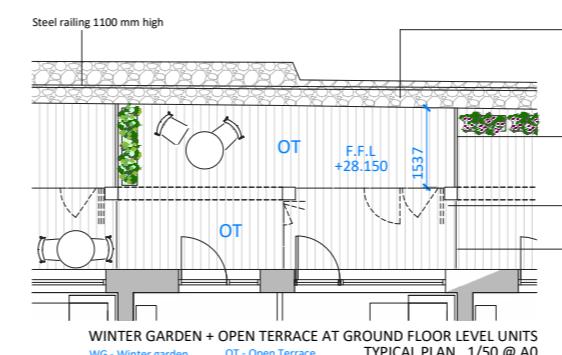
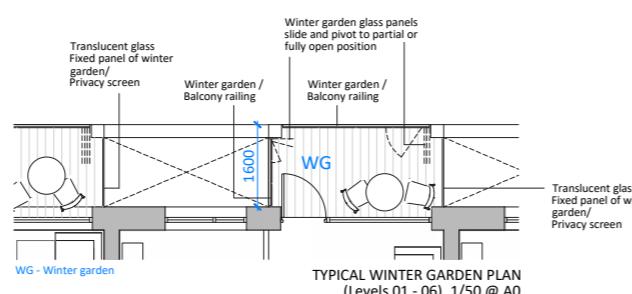
Internal residential amenity.

The main façades of blocks A, B and C generally run parallel to the boundary and therefore apartments on this elevation have rooms that face out over the Royal Canal and tow path. The height of the existing wall varies along the length of the tow path, as does the level of the site inside the wall. The wall rises to a height of between 2.5 m and 3.1 m above tow path level (typically) with the majority being around between 2.6m and 3.1 m above tow path level. The FFL of the ground floor apartments will be at +28.15 m which is above the tow path level but approximately 2.0 m below the top of the wall. In order to afford these apartments a view out towards the canal, good daylight levels to the interiors spaces and to provide passive supervision of the tow path from within the development, we propose to reduce the height of the wall.

The top of the wall will be reduced to a level that will be generally about 0.7 m above the FFL(finished floor level) of the apartments. This will be generally about 1.45 m above the level of the tow path which is a public footpath. When reduced to this height, the residents will be able to see outwards above the top of the wall, over the tow path and over the water from a seated or standing position. Residents will be able to see the heads and shoulders of most people passing along the tow path and as residents approach the windows of their apartments, they will also be able to see the water. This is an optimum top of wall height to allow passive surveillance of the public footpath from the apartments and to allow the wall to provide a solid front to each private terrace. To provide protection from falling over the wall onto the tow path and to provide adequate security of the development from the public footpath, a steel railing, up to a height of 2.5 m over tow path level, will be installed on the top of the wall.



**LUMON WINTERGARDEN SYSTEM  
(or similar approved)**  
Lumon is a frameless and retractable system.  
The glass is held top and bottom and it slides and pivots enabling it to be partially open or fully open.  
Opening can be full height or from above guardrail height.  
We propose full height opening.

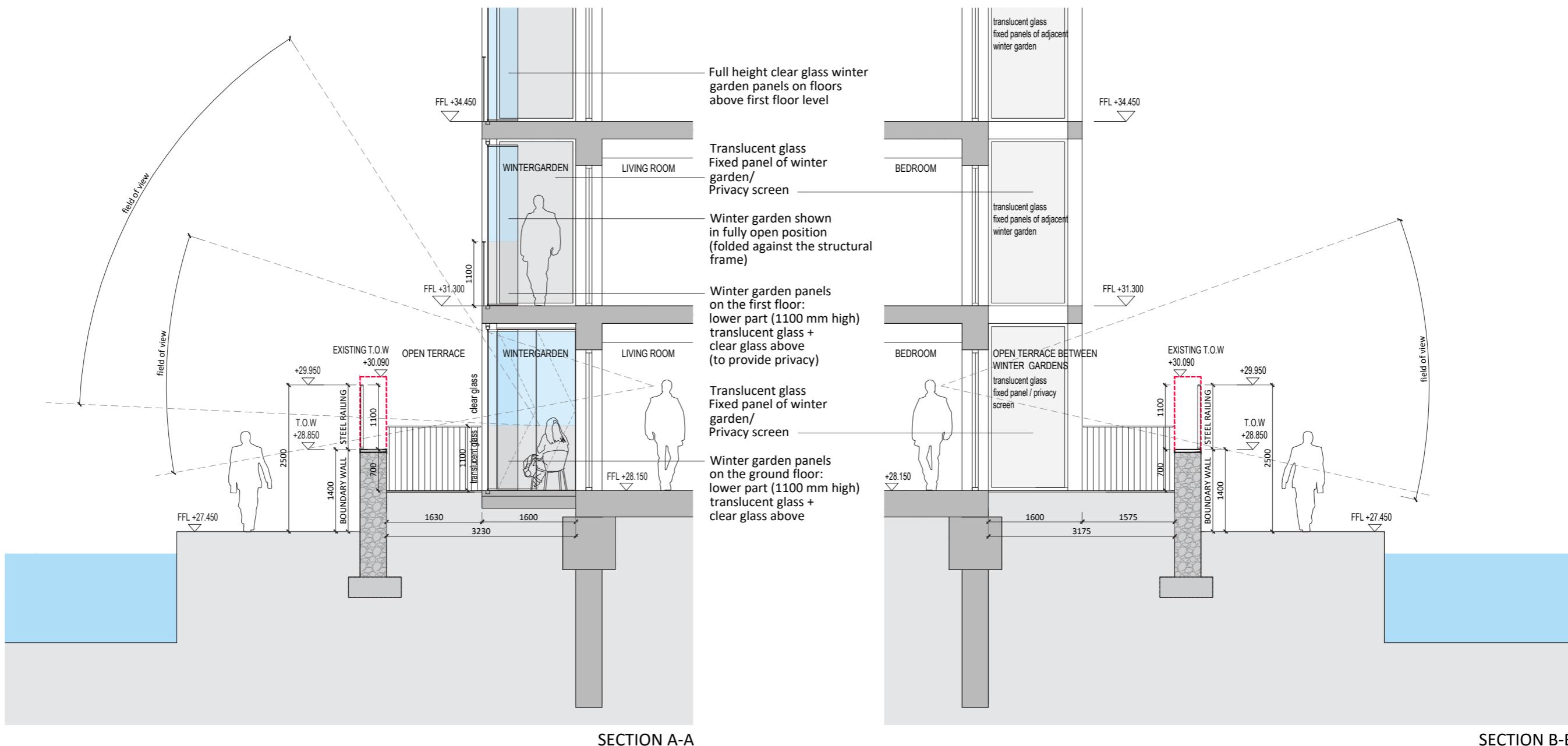


In the course of design development of the private residential amenity of each apartment as series of sections (enclosed) have been developed to illustrate the boundary conditions in front of the three blocks.

The balcony / wintergarden support structure sits at a minimum of 1.0 m from the rear of the boundary wall

at Block C with the external wall of Block C being at a minimum of 2.6 m from the rear of the boundary wall. Blocks A and B sit further back, as the wall is not exactly parallel to the buildings. In addition to the external terraces at ground floor level, each apartment on the canal side has a fully glazed wintergarden. The

wintergarden is a glazed openable screen that extends around three sides of the balcony. The wintergarden allows the balcony space to be more readily usable throughout the year as it makes the balcony a more sheltered space. The glazing system allows the resident

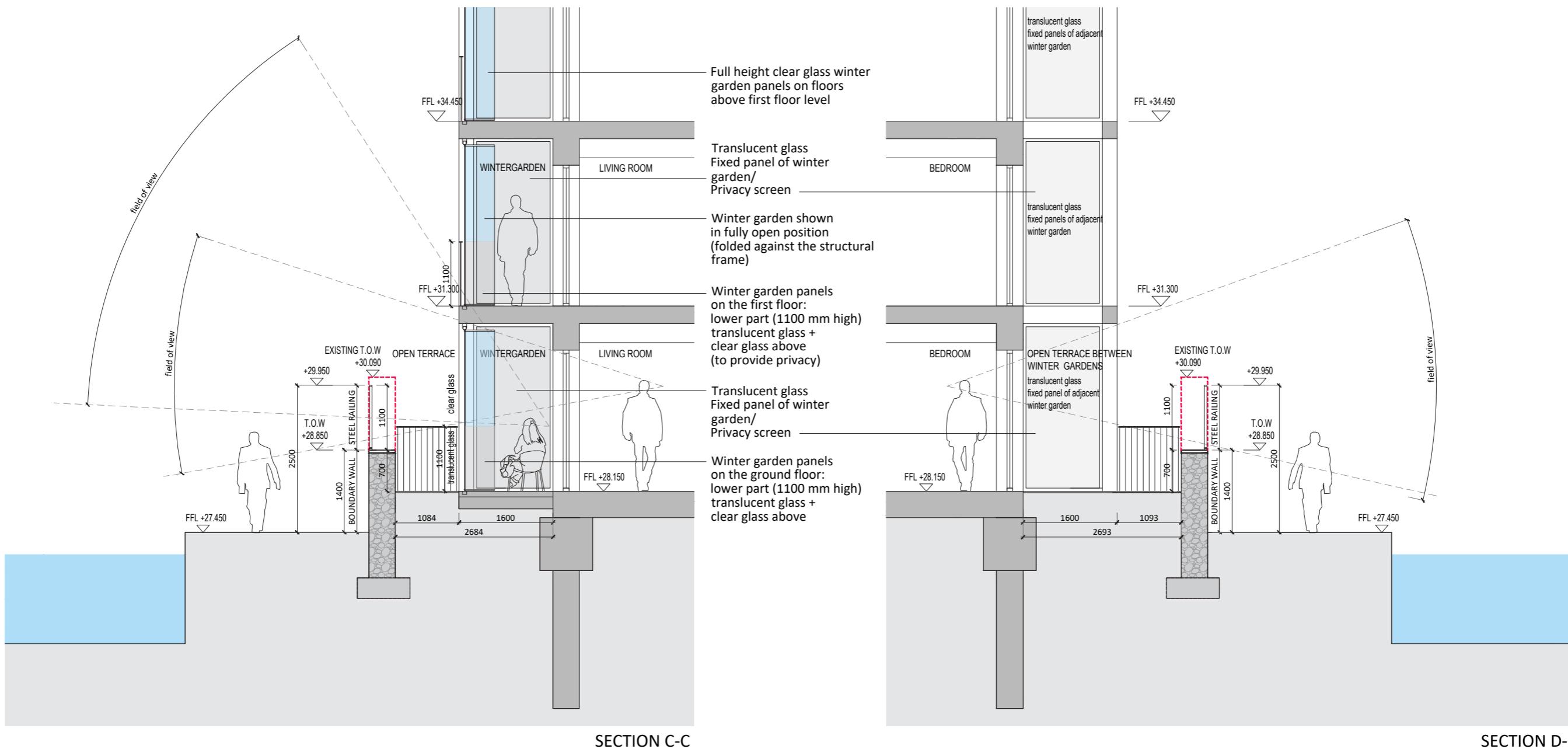


to easily open back sections of glazing to transform the wintergarden into an open balcony.

The new residential development and the creation of the public plaza will likely lead to an increase in the use of the tow path by pedestrians and cyclists. At ground floor level, where the wintergardens and living rooms overlook the canal tow path, the separation distance between the tow path and the living room windows is between 3.1 m and 3.7 m. (wall

c. 500 mm thick, plus set back distance and depth of wintergardens / balconies). Should it be desired by the residents, the wintergards at ground and first floors can be fitted with translucent glass in their lower sections, up to a height of +/- 1100mm above FFL in order to provide additional privacy from the public using the tow path. Fixed panes of translucent glass are proposed to be used on one side section of each wintergarden in order to provide privacy screening

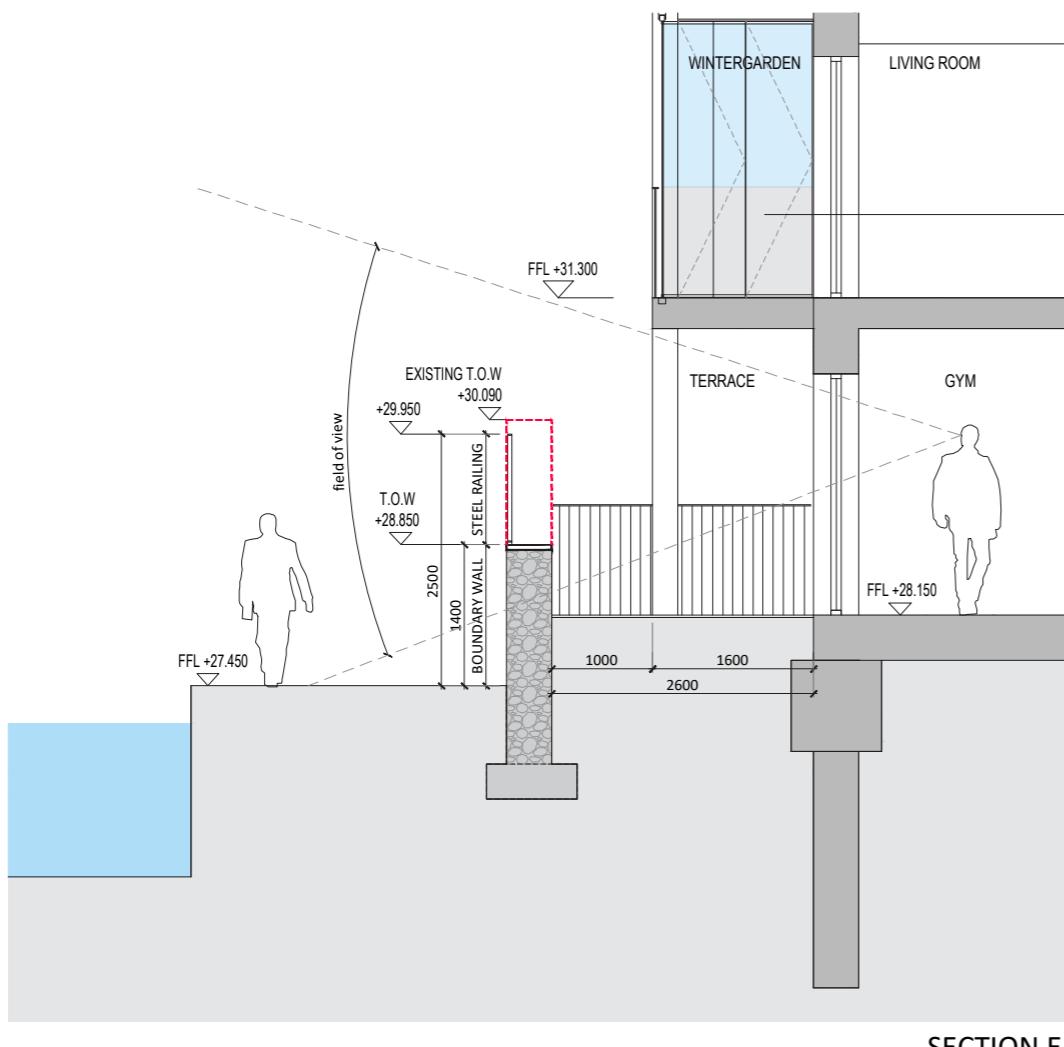
between one wintergarden / balcony and the next. The terraces are generous in area and capable of accommodating outdoor furniture and planting. Tray planters, raised beds, pot plants and potted trees could all be accommodated on these large terraces and individuals could cultivate their own terrace gardens.



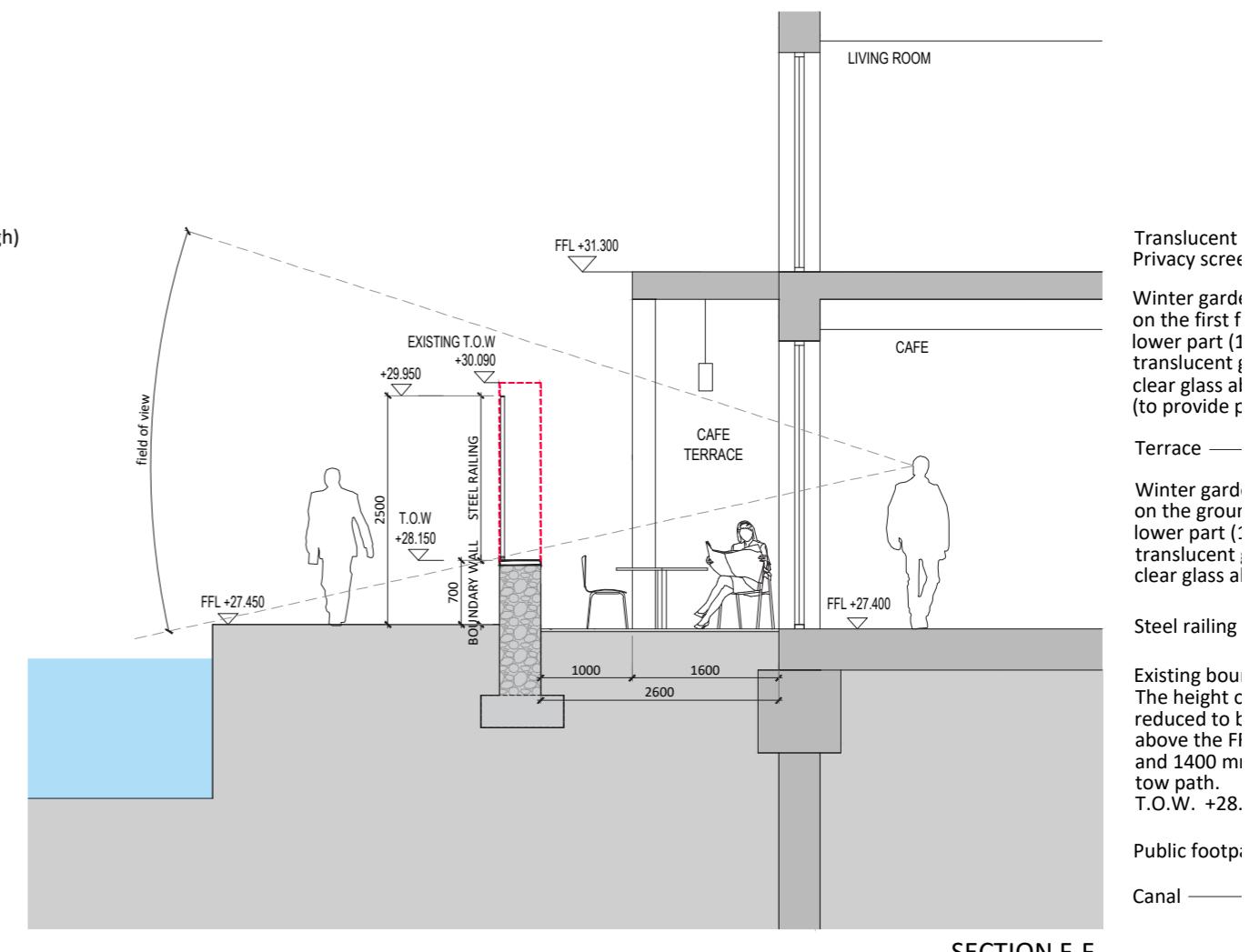
At Block C ground floor, the boundary wall will be reduced in height to be c.700 mm above tow path level. The railing will continue across in front of Block C and the plaza space at a constant height of 2.5 m above tow path level. Ground floor uses are resident's gym and wellbeing room and the café - retail unit. The structural support for wintergardens (from first floor upwards) is set back from the rear of the wall and the facade of the block aligns with those of Blocks A and B.

Terraces are provided in the space between rear of the wall and the facade of the building for both the gym and the café unit.

The café unit and the associated terrace has a clear view out over the tow path to the water and on the east side overlooks the plaza.



Winter garden panels  
on the first floor:  
lower part (1100 mm high)  
translucent glass +  
clear glass above  
(to provide privacy)



Translucent  
Privacy screen  
Winter garden  
on the first f  
lower part (1  
translucent g  
clear glass al  
(to provide p

Terrace —

Winter gard  
on the grou  
lower part (:  
translucent  
clear glass al

Steel railing

Existing bou  
The height c  
reduced to t  
above the Fl  
and 1400 mi  
tow path.  
T.O.W. +28.

Public footp

Canal —

## 4.

4. Further elaboration of measures to avoid overlooking and loss of privacy due to overlooking within the development and to protect the privacy of ground floor dwelling units adjoining areas of open space.

### Response :

A number of measures to avoid overlooking and loss of privacy due to overlooking within the development and to protect the privacy of ground floor dwelling units adjoining areas of open space are proposed.

Relationships between apartments and between balconies within the development have been examined to identify locations where there is a risk of overlooking and loss of privacy.

On the northern elevation of Blocks A and B, there are terraces at ground floor and wintergarden / balconies on floors above that are in proximity to one another because they belong to adjacent apartments. To ensure a reasonable level of privacy from one private open space to the next we propose to provide translucent glass to one side of each wintergarden enclosure. This glazing will be fixed (non-openable) and will therefore act like a full height privacy screen between two balconies.

On the southern and western elevations of Blocks A and B, adjacent private balconies are provided with privacy screens up to a height of 1.8 m. The screens are metal framed translucent glass panels with a sandblasted finish.

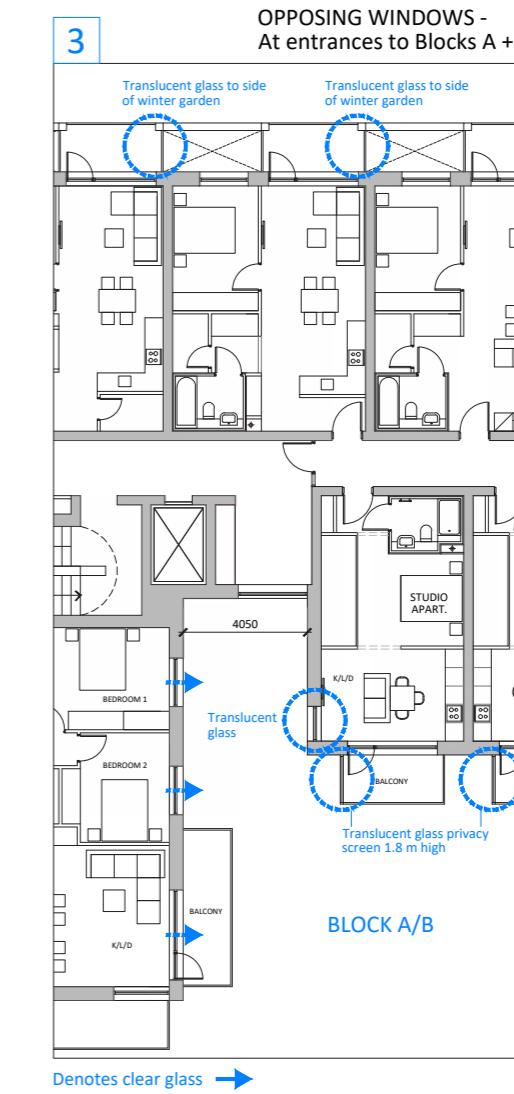
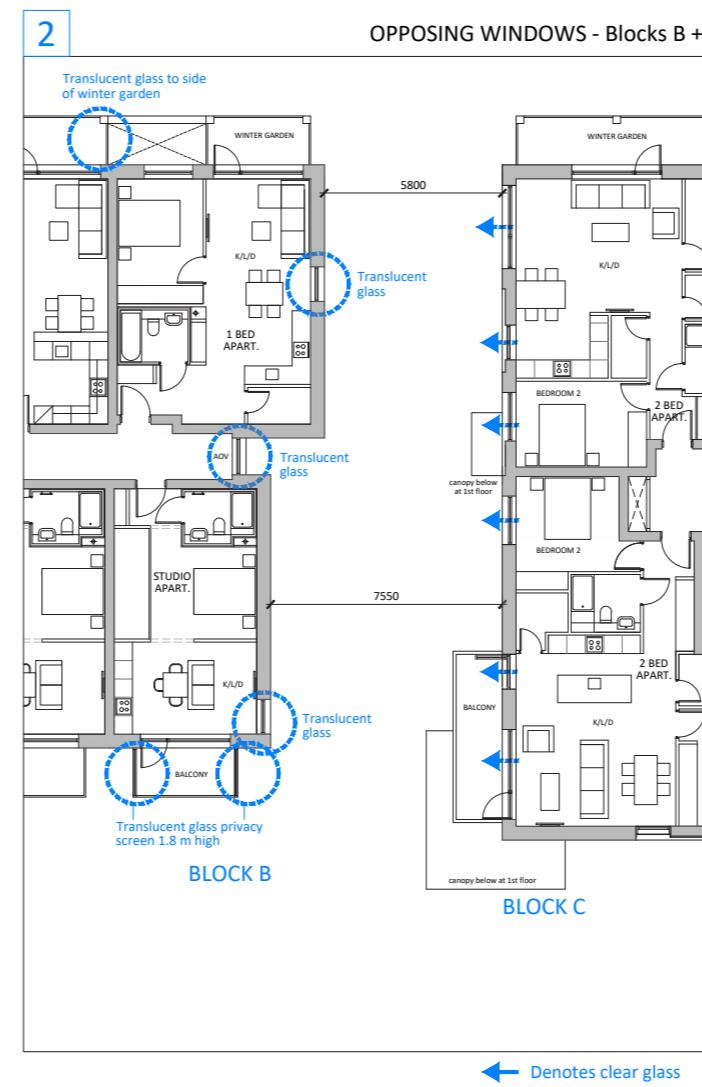
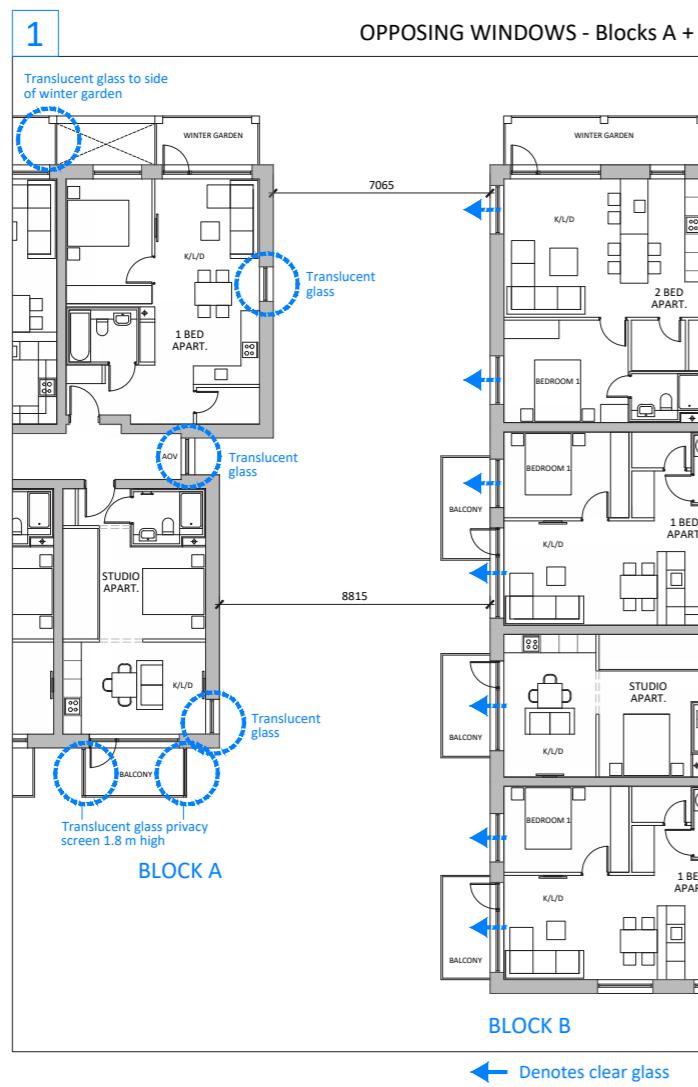
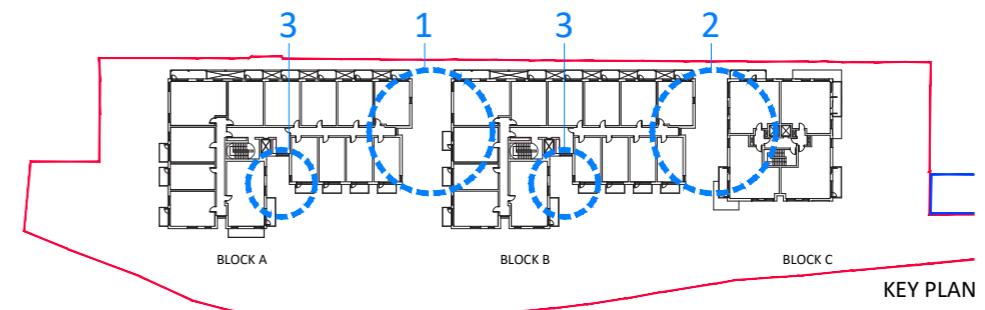
At locations within the development where there are opposing windows between one building and another, overlooking is avoided and privacy is ensured by use of translucent glazing to secondary windows that face primary windows opposite. This occurs in the east gable of Block A and in the east gable of Block B.

The following diagram illustrates where this condition arises and shows the measures taken.

The windows in the east facing gables in Blocks A and B are all secondary windows. The apartments in the east end of the blocks are orientated with their primary windows facing either the Royal Canal or the garden space.

Windows in the east facing gables of Block A and B are provided with translucent glass, allowing all windows in west facing gables of Blocks C and B can be all clear glass.

Diagrams showing measures to avoid overlooking between opposing windows within the development.



Elsewhere within the development private terraces and balconies are provided to each apartment.

At ground floor level on the courtyard / garden side, planted beds are placed between the edges of terraces and any pathways for circulation.

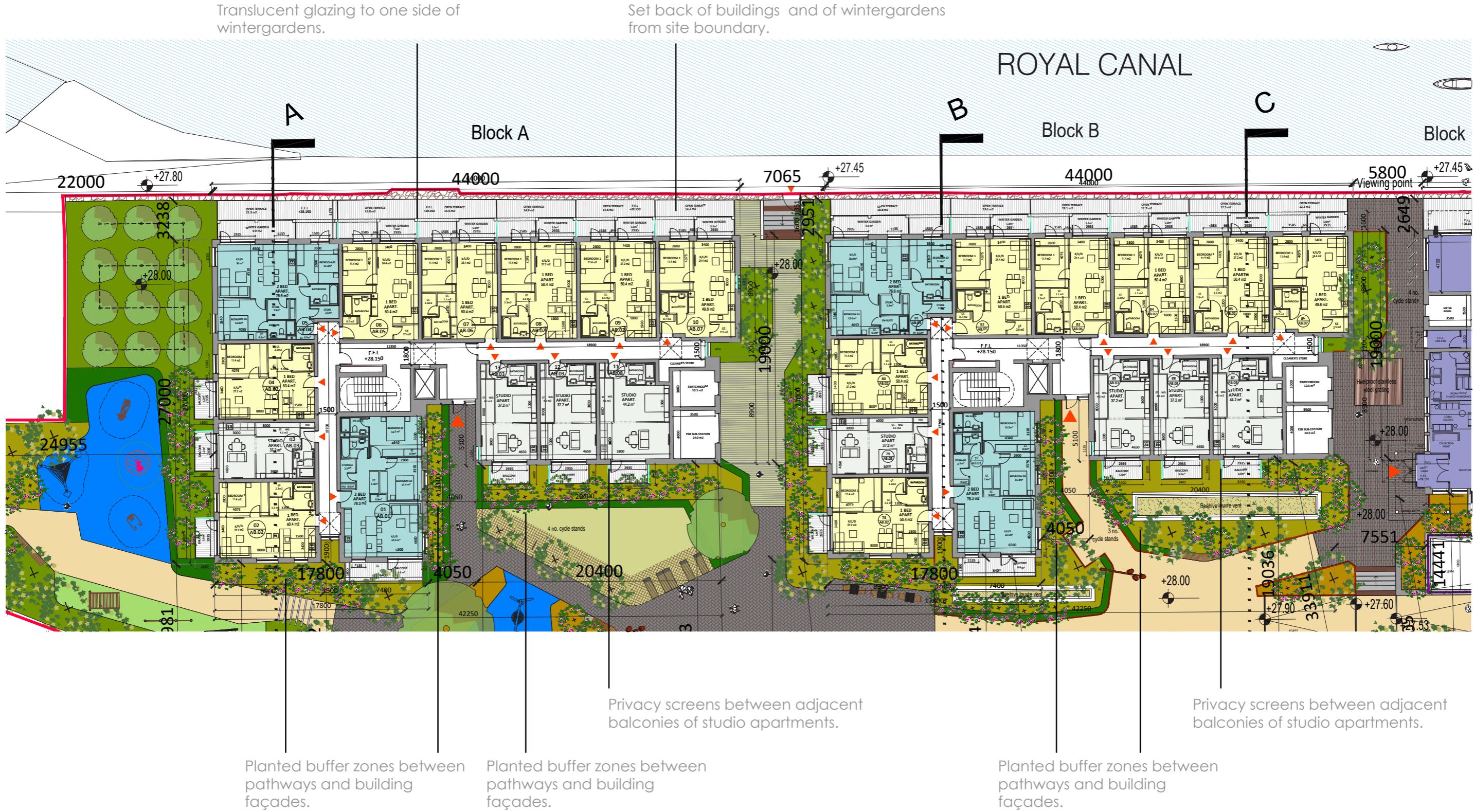
The distances of the pathways from the elevations vary around the buildings however selected planting will prevent people being able to approach the terraces and the façades of the buildings.

Details of proposed planting will be provided at application stage by the Landscape Architect.

The private outdoor space for studios is in the form of balconies and terraces. On the south elevations of Blocks A and B, these terraces and balconies are adjacent to one another however they are detached.

Privacy screens with translucent glass infill, to a height of 1.8 m, are provided between adjacent balconies of studios on the south elevations of Block A and B.

The above measures are provided to enhance privacy of residential units and to avoid direct overlooking from one apartment to another. A drawing is enclosed that illustrates the locations where translucent glazing is provided in opposing windows.



## 5.

5. Further consideration of the Wind Environment and potential impacts on the quality of public, communal and private amenity spaces.

Response to item 05 is provided in a separate report by IN2 Consulting Engineers.



## 6.

6. Further elaboration and / or justification for the type and level of communal facilities provided on the site having regard to the Build to Rent nature of the proposed development, in accordance with the provisions of the Sustainable Urban Housing: Design Standards for New Apartments Guidelines for Planning Authorities.

Response:

Communal facilities are provided for residents of the development at several locations within the scheme.

The main indoor communal facilities are provided in Block C, which is the first building encountered on entering the site. Block C addresses the plaza, the communal gardens and the Royal Canal and stands at the entrance to the residential development.

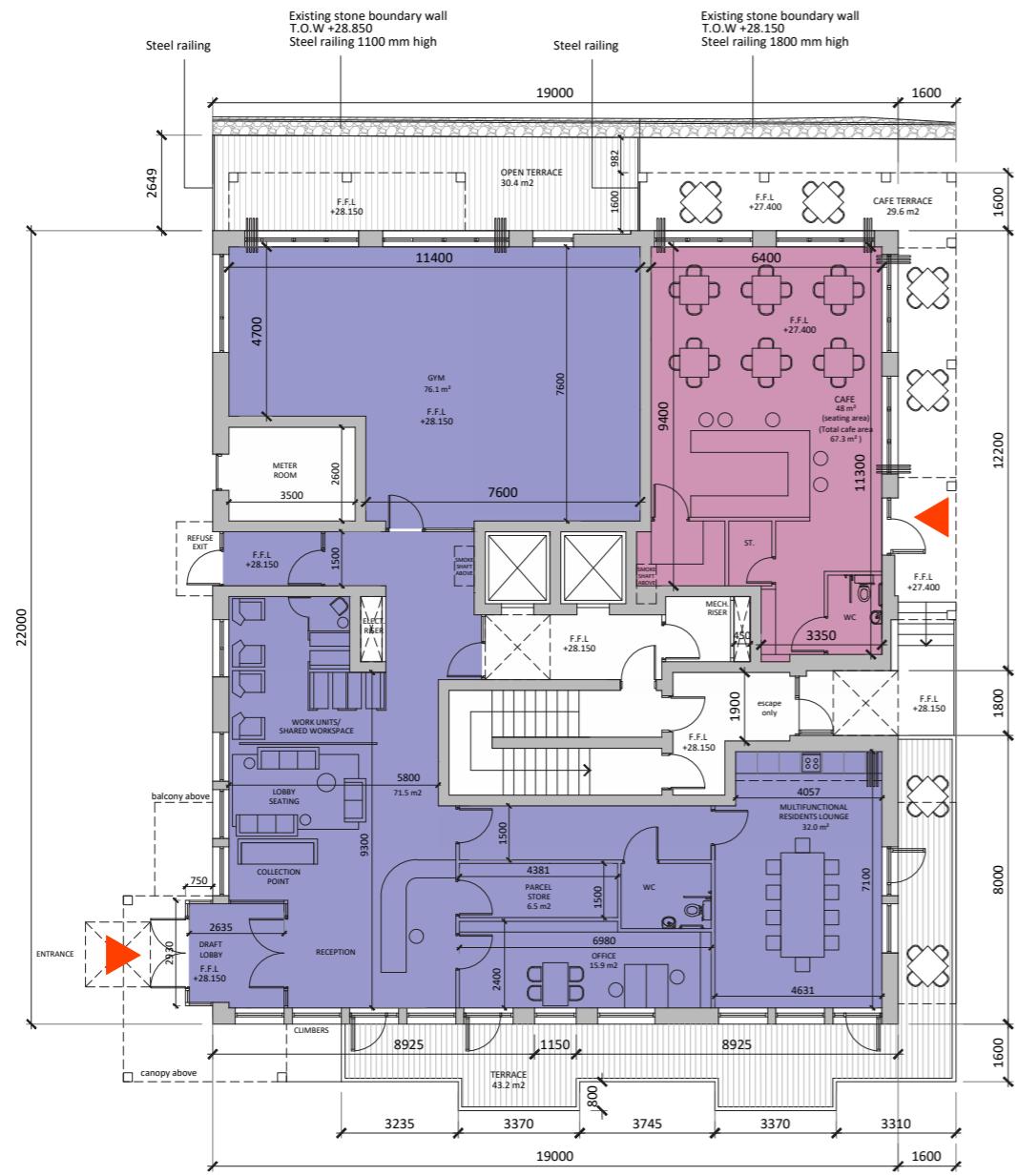
The facilities at ground floor are conveniently located close to the access from the plaza and wrap around three quarters of the block, overlooking the plaza, the main access, the garden areas and the Royal Canal tow path. The remaining quarter of the plan is proposed to be café / retail use and is accessed from the public plaza.

The ground floor of block C is the social hub of the development where there will be a reception area and foyer space. It is intended that this development is a managed development with management staff present on site at all times. A services manager will take care of the needs of residents, provide a concierge type service, facilitate move in and move out, handle deliveries and even deliver programmed events.

The main foyer space serves as a meeting point and as a point of interaction between management and residents. Seating areas are provided with working booths and a meeting pod. Reception staff will be able to take possession of deliveries and parcel storage is located in a secure back of house area. Deliveries of smaller goods for residents can be accommodated in a parcel storage box system (eg. Bringme box) located in the foyer.

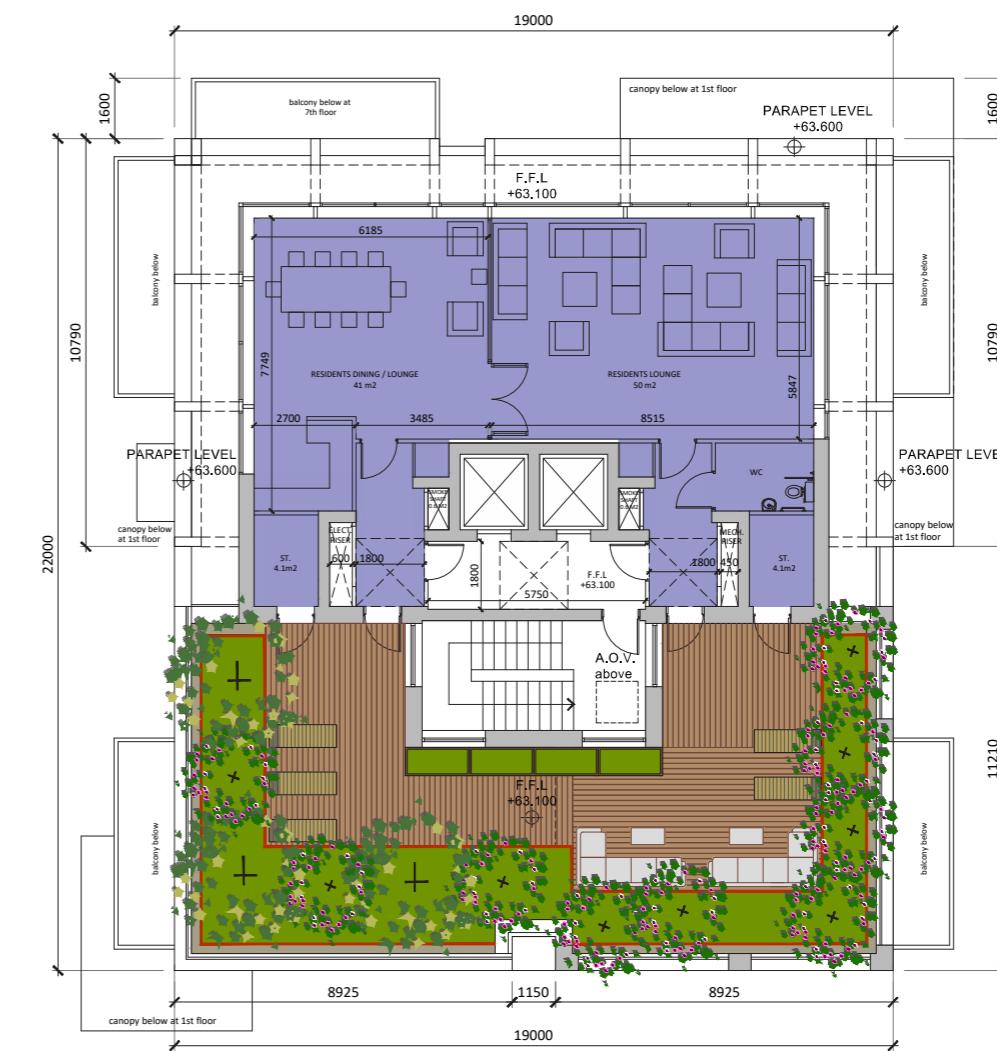


At the south east corner of Block C ground floor is a residents multi-functional lounge. This space is a bookable room that can be used in a number of ways. It will be equipped with a kitchenette for serving refreshments and furnished with both lounge furniture and dining / meeting table(s). This room could serve for leisure purposes or as a place for residents working from home to hold a meeting with clients. An outdoor terrace wraps around the corner for break out use.



Beyond the main foyer space, on the north west corner facing towards the Royal Canal is a gym and wellness facility. This space will be equipped with a range of gym apparatus and will also permit classes to be held.

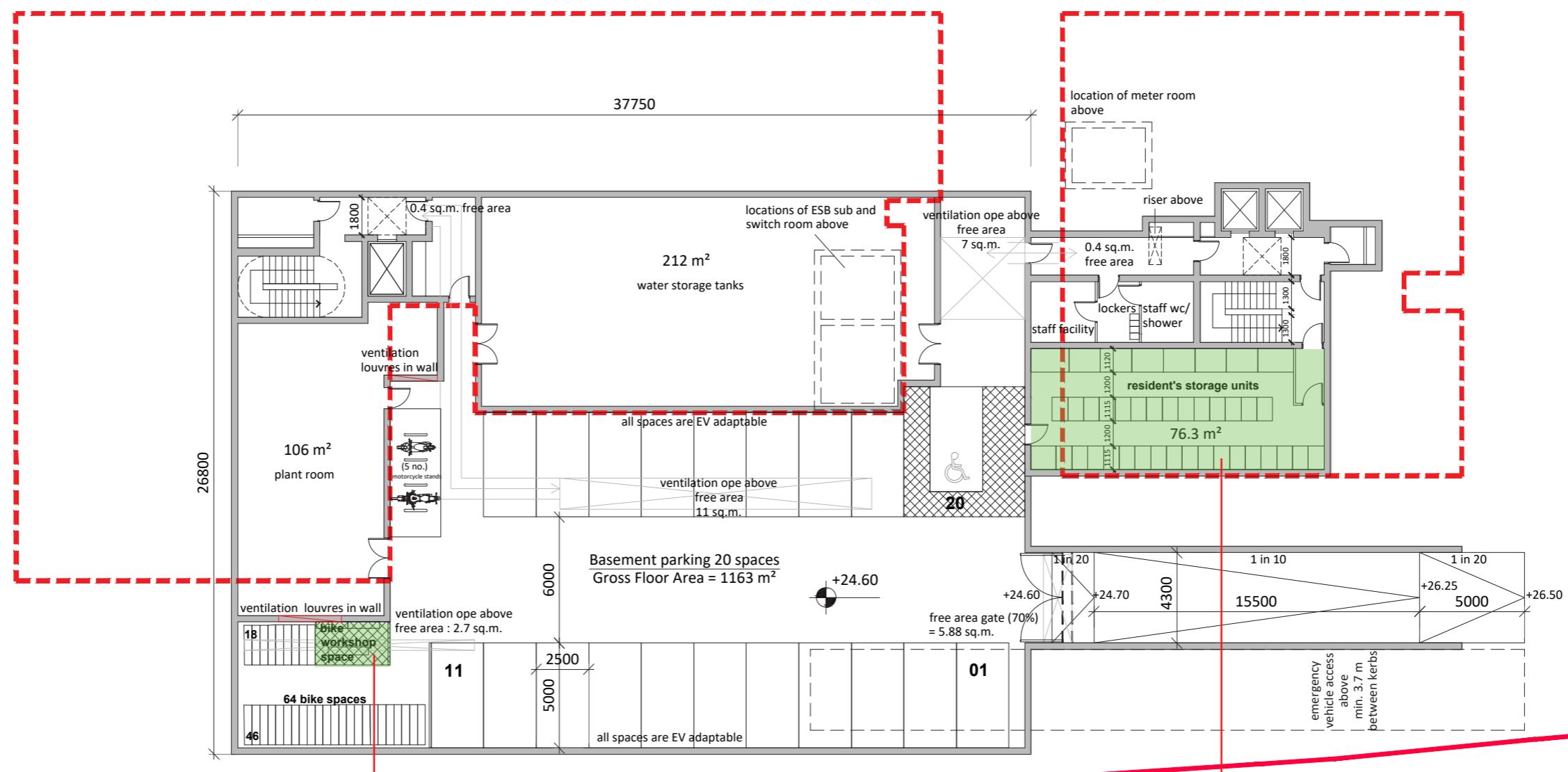
At the 11th floor of Block C are two residents lounges and an extensive accessible roof terrace. These facilities are key spaces that bring residents together in a relaxed social setting. The residents lounges at the top floor will be a highlight of the development and will be fitted out to be welcoming & comfortable and to encourage a club type ambience. The lounges can be opened up to



create one single larger space for social events that may be arranged by management for community meetings or networking events. A kitchen and dining room will feature in one space that will be able to be reserved for group gatherings, classes or celebrations.

## Block B

## Block C



A communal bicycle maintenance workshop space is available for use by residents.



At basement level provision is made for residents to avail of lock-up storage cages for bulky items or other personal belongings.

Tenant amenity uses and areas:

| <b>Tenant Amenity (indoor) -Resident support facilities</b>     |                            |
|---|----------------------------|
| Management office   | 15.9 m <sup>2</sup>        |
| Parcel store  | 6.5 m <sup>2</sup>         |
| Staff facilities  | 22.5 m <sup>2</sup>        |
| Bike workshop   | 7.3 m <sup>2</sup>         |
| Large item storage  | 76.3 m <sup>2</sup>        |
| <b>Tenant Amenity (indoor) -Resident services and amenities</b> |                            |
| Gym   | 76.1 m <sup>2</sup>        |
| Lounge lobby/shared workspace area /reception                   | 71.5 m <sup>2</sup>        |
| Multifunctional residents lounge                                | 32 m <sup>2</sup>          |
| Residents dining  | 41 m <sup>2</sup>          |
| Residents lounge  | 50 m <sup>2</sup>          |
| Ancillary areas + WC  | 61.4 m <sup>2</sup>        |
| <b>Total Tenant Amenity (Indoor)</b>                            | <b>460.5 m<sup>2</sup></b> |

|           |                          |                      |                            |
|-----------|--------------------------|----------------------|----------------------------|
| Total GFA | Tenant Amenity (indoor)  | 460.5 m <sup>2</sup> | Block C-GF+11th fl+basemt. |
|           | Tenant Amenity (outdoor) | 440 m <sup>2</sup>   | Roof terraces-A,B & C      |

## 7.

7. Further elaboration on the construction methodology proposed in order to obviate potential impacts on the integrity of the Royal Canal.

Response to item 07 is provided in a separate report by Waterman-Moylan, Structural and Civil Engineers.



## 8.

8. Further elaboration of measures proposed in order to address potential overlooking of existing adjoining residential properties, to include detailed section drawings illustrating their relationship with the proposed development. Additional detail in relation to the nature, function and effectiveness of the proposed perforated screens to be provided on the southern elevation should be considered.

Perforated screens.

The site layout strategy locates the new residential buildings towards the northern site boundary with the Royal Canal in order to keep a maximum separation distance between the buildings and the rear of houses on Leinster Street North.

The buildings are designed so that apartments that face southwest towards Leinster Street North are kept furthest away from the boundary.

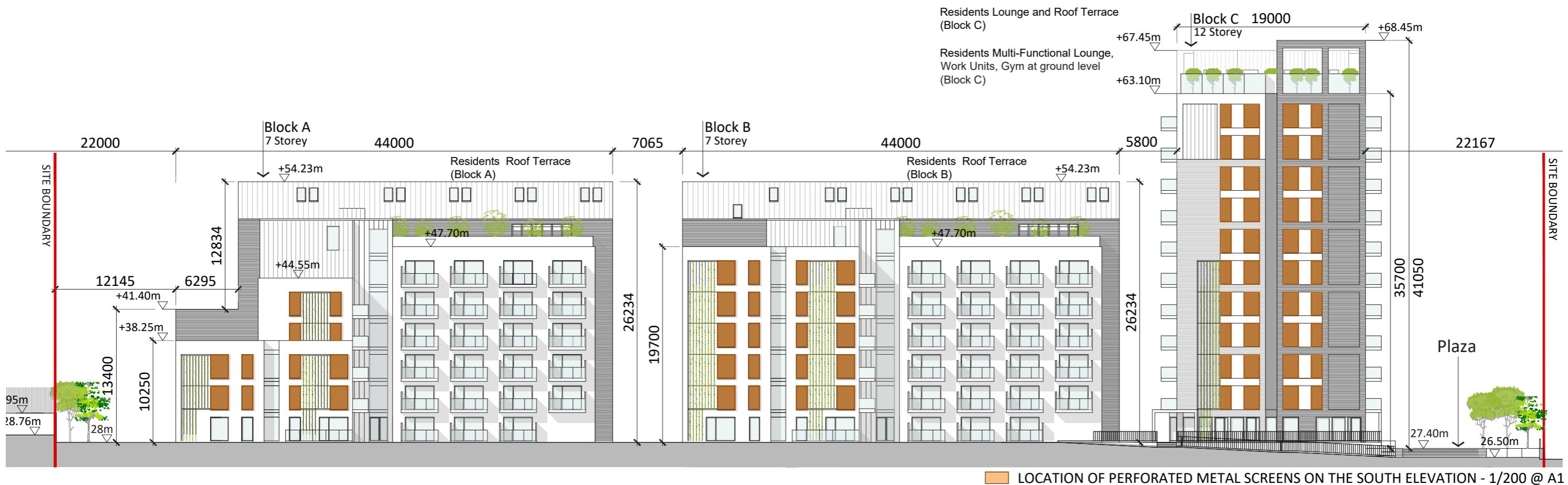
The separation distances between the windows of southwest facing apartments and the rear of the existing houses range from 43.62 m (from Block A to the nearest rear window in no. 57) to 33.9 m (from Block B to the nearest rear window in no. 39). These distances are in excess of typical separation distances in similar urban settings.

Refer to dimensioned site plan, site section and site elevation drawings for illustration of the relationship between existing residential properties and the proposed development.

The buildings are designed so that apartments in the short wings of Blocks A and B that extend towards the southwest boundary and apartments in Block C, are orientated away from the southwest boundary. These apartments face northwest and southeast with only secondary windows facing southwest towards Leinster Street North.

The separation distances between the closest part of the proposed new buildings and the rear of the existing houses ranges from 25.6 m at the south elevation of Block C (from Block C to the nearest rear window in no. 29), to 29.0 m (from Block B to the nearest rear window in no. 47), to 19.6m (from Block A to the nearest side window in no. 40 Shandon Road). These distances are in excess of typical separation distances in similar urban settings.

Although the separation distances achieved are substantial and, in our opinion, are adequate to protect the residential amenity of the existing houses, we propose to incorporate a feature on the gable elevations of each building that will offer greater protection and prevent any perceived overlooking from secondary windows. It is proposed to incorporate decorative perforated metal



screens in front of each window in the southwest facing gables of Blocks A, B and C. This feature will conceal all windows in the gables and appear as decorative panels on the elevations.

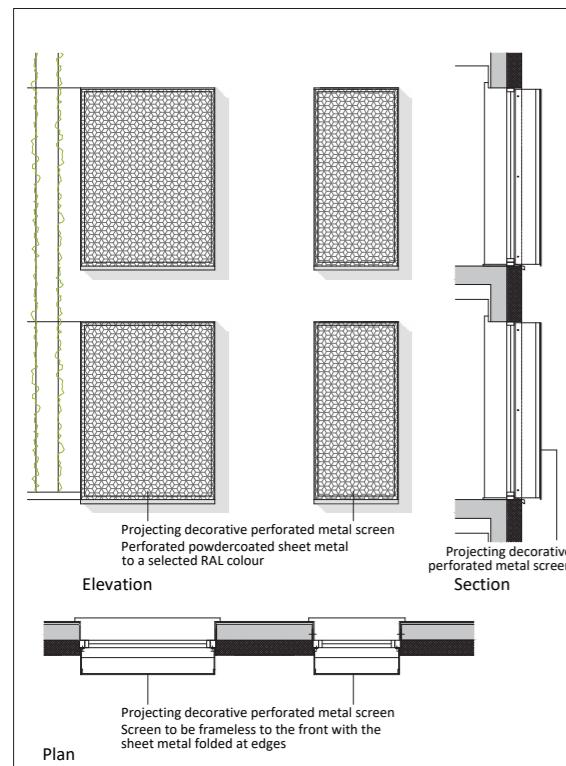
Two types of screen details are proposed. Blocks A and B will have slightly projecting screens and Block C will have screens set into the window recesses. In its appearance, this feature is similar to a mashrabiya, a type of window with a decorative screen found in north African and middle eastern architecture. While its principal purpose is entirely different to a mashrabiya, the visual effect of the screen is mutually beneficial to both the residents of Leinster Street housing and of the new development. From within the apartments, the perforated screens have the effect of partially reducing the direct view to the outside. From outside, the screens have the effect of almost fully reducing the direct view into the interiors. These different effects from inside and from outside are observed because the spaces inside the apartment are generally darker than the exterior and because the degree of perforation allows or limits the visibility through the screen.

The screen allows light and air to pass so that the rooms behind the screens will be adequately lit and ventilated. Windows behind the screens will be the same as other windows in the development, full height and openable. The degree of openness (ratio of solid to void) of the screen controls how effective the screen is in performing its intended function. It is our intention to use a screen with around 50% perforation to balance the aim of restricting views outwards with the aim of limiting the inward views. The residents of the existing houses will enjoy a greater sense of privacy because they will not see extensive glazed windows in the gables of the buildings and because they will observe that the screens do not allow them to see inwards to the apartments. This will reassure residents that the possibility of direct overlooking is addressed.

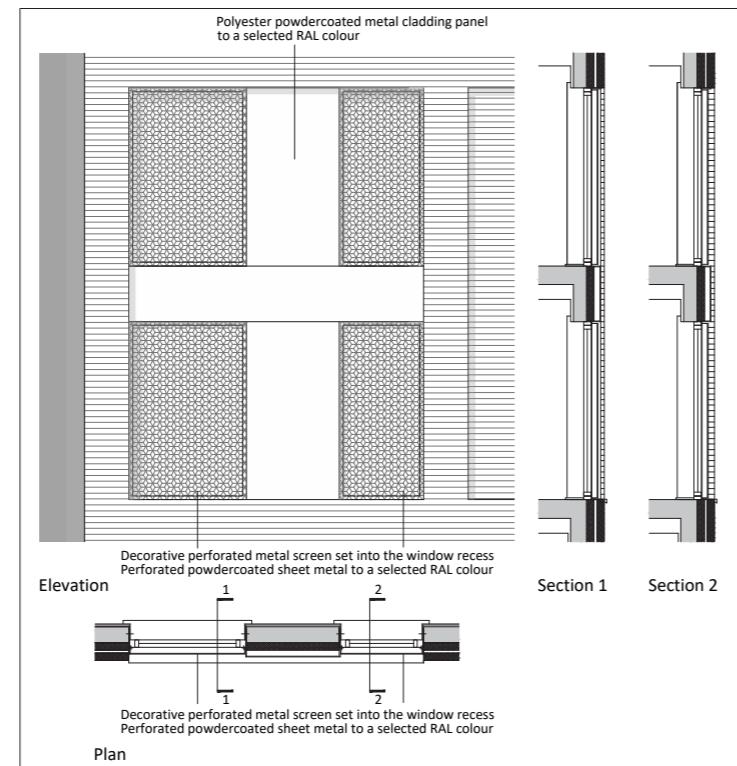
From within the apartments the screens allow visibility to the exterior and the views through the screen are perceived as being only partially obscured. This effect is observed because the exterior is significantly brighter than the interior and the view is expansive. The decorative

perforated metal screens will also cast a visually interesting pattern of shadow and light into the interior spaces.

The perforated screens will be made up of perforated powdercoated sheet metal to a selected RAL colour. The screen to the front will be frameless with the sheet metal folded at edges to permit fixing of side panels and to provide rigidity. The side panels are fixed back to the glazing system or to the window reveals, depending on selected construction. The proposed 50% openness of the screen enables adequate light levels and free area for ventilation to be achieved for the spaces behind the screens. Manufacturers of perforated sheets offer many decorative patterns that can enhance the appearance of the screen beyond a purely functional appearance. The pattern of the perforations will be selected from a range of available options.



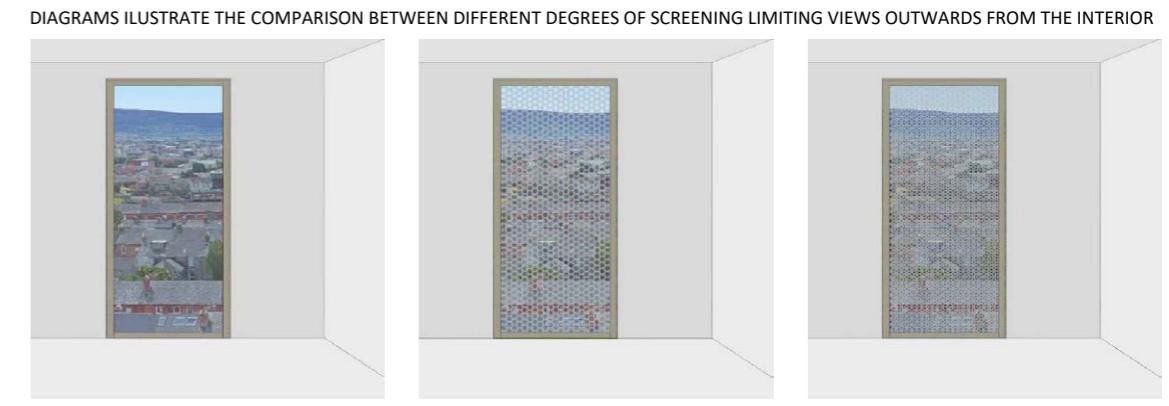
**PERFORATED METAL SCREENS IN BLOCKS A + B**  
Typical plan, elevation and section 1/50 @ A1



**PERFORATED METAL SCREENS IN BLOCK C**  
Typical plan, elevation and section 1/50 @ A1



From the exterior the screens will also prevent views into the apartment and will have a decorative appearance



**WE ARE PROPOSING A DEGREE OF SCREENING OF 50% - Intensive level of screening to limit views outward**

#### PROTECTION OF EXISTING RESIDENTIAL AMENITY:

In addition to adequate set back distances from boundaries, windows on south gables will include an specifically designed mitigation measure in the form of screening.

Lightweight perforated metal screens will be provided externally in front of the windows, limiting views outwards from the interior but allowing sunlight to penetrate and air to circulate.



Contemporary example - Jaffa Hotel. John Pawson



Perforated screens in CGI views

## 9.

9. Further elaboration of the treatment of the access roadway between Phibsborough Road and the development site should be provided, which should be included in the DMURS design statement. Quality Assessments, particularly in respect of pedestrian and cycle access should be provided, in accordance with DMURS advice note 4. The final configuration of the entrance plaza and measures to avoid conflict between pedestrian and vehicle movements should be clearly defined.

Response to item 09 is provided in a separate report by ILTP.

The proposed entrance plaza has been redesigned to be a predominantly pedestrian and cyclist area. There will be relatively few vehicular movements across this plaza as there are only 29 car spaces (24 residents spaces, 2 Go Car spaces and 3 set down spaces.) There will be occasional delivery vehicles and taxis using this space for drop off. It is not envisaged that there will be a high number of vehicular movements across the entrance plaza.

The entrance plaza surface will be designed as a shared surface and is detailed differently to the access road to emphasize the differentiation between roadway and shared surface. The access roadway will have a macadam finish, whereas the entrance plaza will be paved with setts, as used throughout the entire plaza up from the southern boundary wall up to the north boundary with the canal tow-path.

A revised landscape plan and report are also enclosed giving details of the proposed plaza finishes.



# 10.

10. Further consideration should be given to the management of public open space and the distinction between communal and public spaces. Furthermore the relationship with an area of open ground to the east of the site should be considered and addressed in the plans.

## Response :

The public open space within the development comprises the plaza located at the east side of Block C. The remainder of the open space in the development is communal open space.

The plaza is a publicly accessible space created between the adjacent Cross Guns Quay apartment development (a Protected Structure) and Block C of the proposed new residential development. A distance of 22 metres is provided between the gable of the Protected Structure and the elevation of Block C.

The plaza extends from the west end of the access road northwards to the boundary wall with the Royal Canal tow-path. As the site is not gated at the entrance located off Phibsborough Road, it will be possible to use the access road to traverse the site. The access road and the plaza provide new permeability through the site, linking Phibsborough Road with the Royal Canal tow-path via a new publicly accessible open space.

The plaza is a clearly defined space located between the access road and the communal garden / courtyard space of the residential development. The west edge of the plaza is defined by the facade of Block C, by the wall and planters alongside the wheelchair / bicycle ramp and steps, and by the metal railings that separate the plaza landscaping from the garden area landscaping. The proposed railing at a height of approximately 1100 mm, is continuous from the foot of the ramp across the planted strip south of Block C, alongside the car park access ramp and across the foot of the sloped surface leading from the entrance plaza to the garden / courtyard. The existing level change across the site is used to establish the ground floor levels of the buildings in the development. Beyond the plaza, the garden / courtyard area is at a higher level as this reflects existing site levels. The change in level of 1.5 m, the changes in landscaping materials and the railing defining the garden areas, all lead to the distinction between communal open space and public space.

Approximately one third of this plaza is a shared surface providing pedestrian and cyclist access to the buildings and communal gardens beyond, providing access to the car parking and facilitating drop offs and deliveries. The remainder of the plaza is solely for pedestrian and cyclist use and is slightly raised in order to tie in with the level of the existing tow-path. A café / retail unit is proposed within Block C at ground floor level, having frontage directly onto the plaza and onto the tow-path. The presence of this café / retail unit will attract people from the surrounding neighbourhood and encourage them to use the space. A new 6.0 m wide opening is formed in the boundary wall providing the connection out onto the canal tow-path. It is proposed that a sliding gate will close off this access point at night.

The open ground to the east of the site is located outside the ownership of the applicant. The applicant proposes to engage with the adjoining land owner to agree an appropriate future improvement of this area through landscaping. The subject area is currently overgrown and is not in use by the residents of the Cross Guns Quay apartments. The area is at the same level as the access road and rises slightly towards the boundary wall with the canal. It is proposed to clear out this overgrown area of vegetation. None of the plants growing in this space were planted as part of a landscaping plan and this area has never been used nor been maintained by the residents.

A simple proposal for a fine gravel surface laid between the gable of the building and the retaining wall of the plaza will leave this space available for use by residents of Cross Guns Quay. With the removal of the industrial bakery buildings, this space will benefit from significant direct sunlight. The fine gravel surface could be used as outdoor amenity space and would potentially become a small garden or play area for residents of the existing apartments who presently do not have any private outdoor space associated with their apartments. The proposal allows a flexibility of use and requires a low level of maintenance .







07

## **Reductions of architectural planning application drawings.**

(provided as a separately bound booklet)

**o'mahony pike**

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