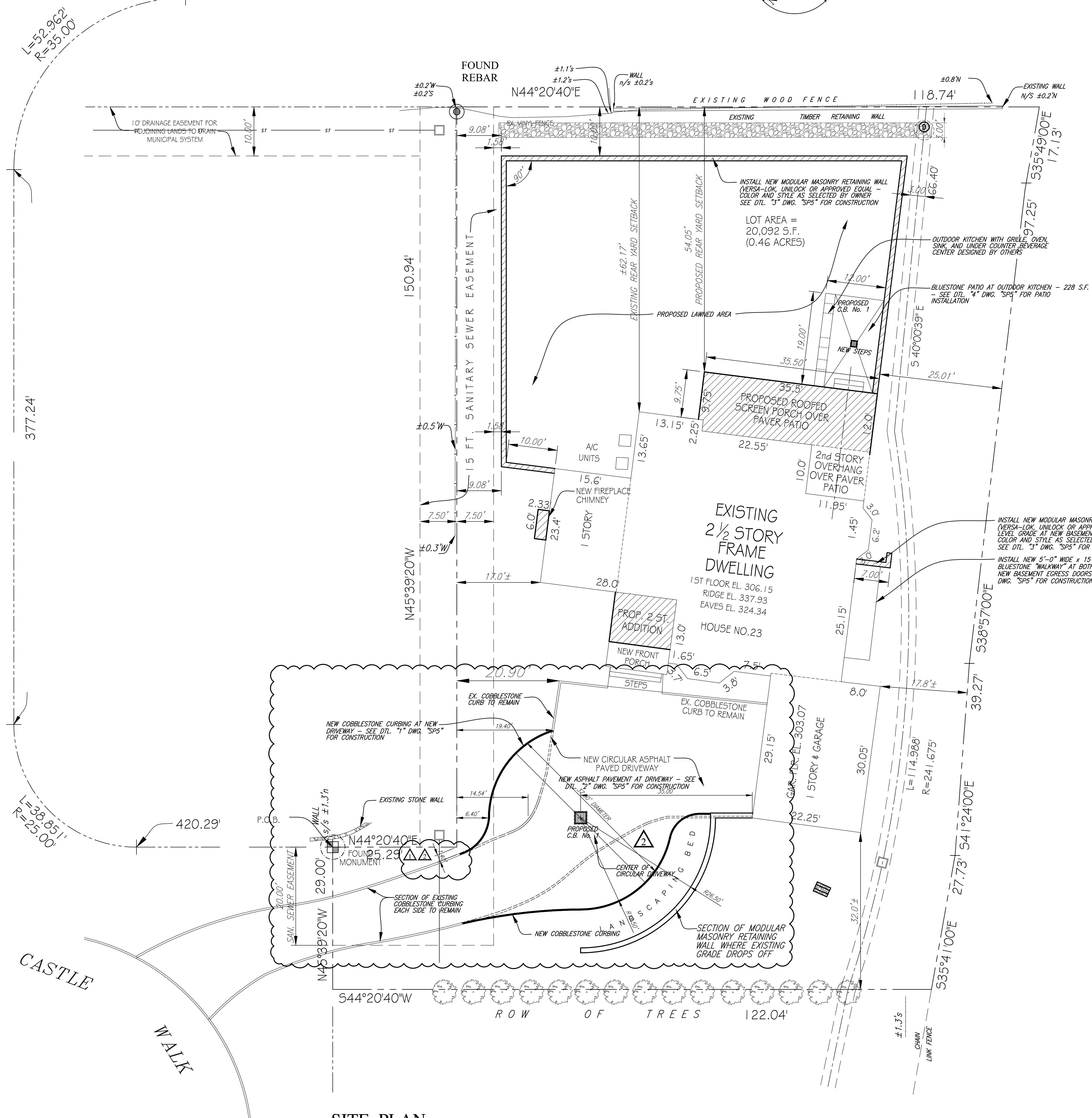


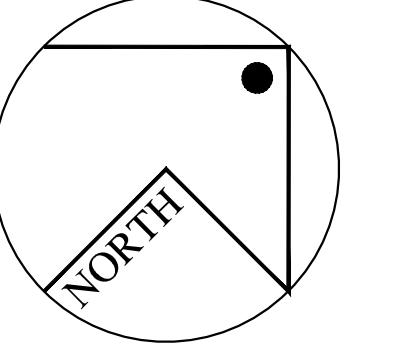
**PROPOSED  
THE ADDITION AND ALTERATIONS FOR:  
RABADI RESIDENCE**

CASTLE WALK SCARSDALE (TOWN OF GREENBURGH), NEW YORK

C A S T L E W A L K



F O R T H I L L R O A D  
(50' WIDE)



**LIST OF DRAWINGS**

No.	DRAWING NAME
SP1	SITE PLAN/ SCHEDULES
SP2	SOIL EROSION CONTROL PLAN
SP3	SITE GRADING PLAN
SP4	LOT COVERAGE CALCULATIONS
SP5	SITE DETAILS
SD1	SITE SOIL DISTURBANCE AREA PLAN
SWP1	STORM WATER MANAGEMENT PLAN
SWP2	STORM WATER MANAGEMENT DETAILS
ZBA1	ZONING BOARD OF APPEALS APPROVAL
GN1	GENERAL NOTES SHEET No. 1
GN2	GENERAL NOTES SHEET No. 2
D1	DEMOLITION PLANS
D2	DEMOLITION ELEVATIONS
A1	BASEMENT PLAN AND DETAILS
A2	FIRST FLOOR PLAN AND DETAILS
A3	SECOND FLOOR PLAN
A4	ATTIC PLAN
A5	ROOF PLAN
A6	FRONT AND RIGHT SIDE ELEVATIONS
A7	REAR AND LEFT SIDE ELEVATIONS
A8	CROSS SECTION "A-A"
A9	CROSS SECTION "D-D"
A10	CROSS SECTION "C-C" AND DETAILS
A11	CROSS SECTION "B-B" AND DETAILS
A12	TJI JOISTS AND LVL GENERAL FRAMING DETAILS AND CHARTS

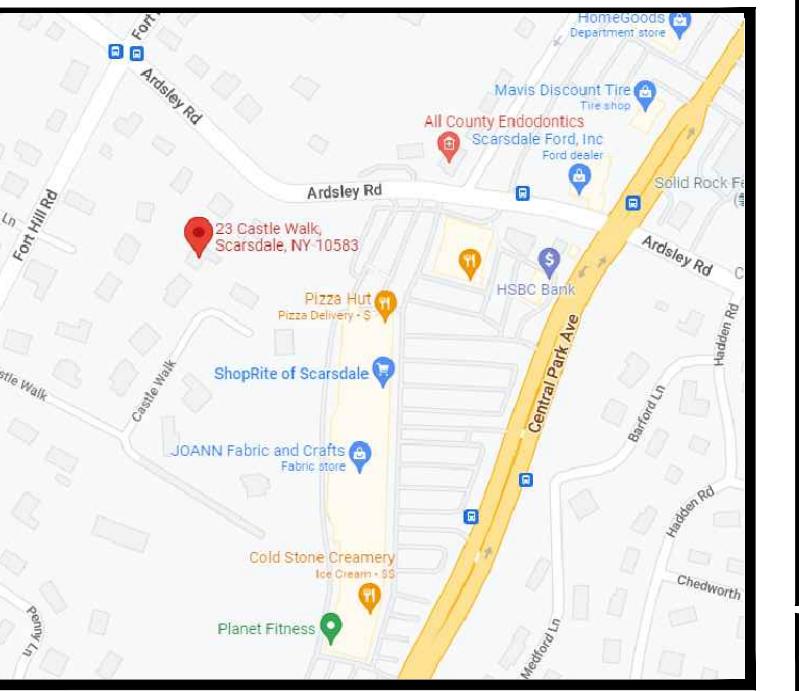
SHEET No.

**SP1**

**CERTIFICATION**

ALL EXISTING INFORMATION ON THIS SITE PLAN WAS TAKEN FROM A SURVEY PREPARED BY :  
A AGUO SURVEYING, INC.  
PROFESSIONAL LAND SURVEYOR  
104 EAST PARK DRIVE  
WESTBURY, NY 11590  
TEL: 516-332-6120  
TITLED: MAP OF PROPERTY SITUATED IN SCARSDALE, TOWN OF GREENBURGH, WESTCHESTER COUNTY, STATE OF NEW YORK  
SURVEY DATE: JANUARY 1, 2022  
LOT AREA :  
TAX SECTION-BLOCK-LOT: B530-363-186  
ARCHITECT IS NOT RESPONSIBLE FOR ACCURACY OF EXISTING CONDITIONS

**LOCATION MAP NO SCALE**



**ZONING SCHEDULE**

ZONING DISTRICT : R-20		
TOWN OF GREENBURGH USE GROUP: 1-FAMILY DETACHED DWELLING		
ITEM	REQUIRED	EXISTING PROPOSED
MINIMUM LOT AREA (SQ.FT.)	20,000 S.F.	20,000 S.F.
MINIMUM LOT WIDTH (FT.)	120 FT.	118.74 FT.
MAXIMUM COVERAGE (PRINCIPAL BUILDING-PERCENT)	18%	17.90%
MAX COVERAGE ACCESSORY (BUILDING-PERCENT)	4.5%	0%
MAXIMUM COVERAGE ALL BUILDING (PERCENT)	22.5%	17.90% 19.24%
IMPERVIOUS SURFACES (PERCENT)	29%	26.96% 34.10%**
MIN. SIDE YARD (FEET)	30 FT.	+32 FT.
MIN. SIDE YARD SETBACK ONE SIDE (FT.)	18 FT.	+17.80 FT.
MIN. SIDE YARD SETBACK TWO SIDES (FT.)	40 FT.	+24.8 FT.
MIN. SIDE YARD SETBACK (FEET)	32 FT.	+62.17 FT. +54.05 FT.
MAXIMUM BUILDING HEIGHT (STOREYS/FEET)	2 1/2 STOREYS 30 FT.	2 1/2 STOREYS 30 FT.
MAXIMUM FLOOR AREA RATIO (F.A.R.)	25 X 20,000 S.F. = 500,000 S.F.	4912 S.F. 5576 S.F.**

\*\*VARIANCE REQUESTED  
285-12B(3)(d) MAXIMUM IMPERVIOUS SURFACE  
20% PERMITTED REQUIRED  
26.96% EXISTING  
32.51% PROPOSED  
\*\*MAXIMUM FLOOR AREA RATIO (F.A.R.):  
5,000 S.F. PERMITTED/REQUIRED  
4,912 S.F. EXISTING  
5,576 S.F. PROPOSED  
285-3B MAXIMUM WIDTH OF DRIVEWAY:  
30 FEET PERMITTED/REQUIRED  
43.18 FEET PROPOSED  
285-12B(5)(b) DISTANCE FROM SIDE PROPERTY LINE TO DRIVEWAY:  
140 FEET PERMITTED/REQUIRED  
140 FEET EXISTING/PROPOSED

**SITE PLAN AND SCHEDULES**

PROJECT NAME:  
**ADDITION AND ALTERATIONS**  
FOR:  
**THE RABADI RESIDENCE**

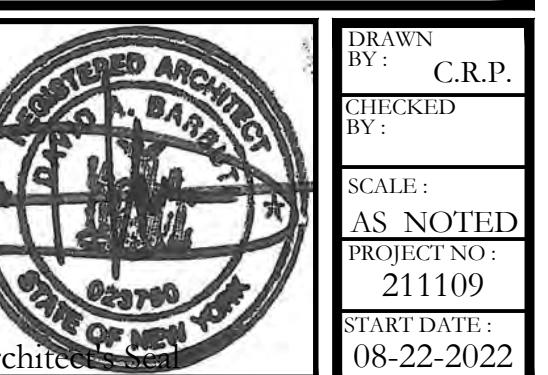
23 CASTLE WALK  
SCARSDALE (TOWN OF GREENBURGH), NEW YORK

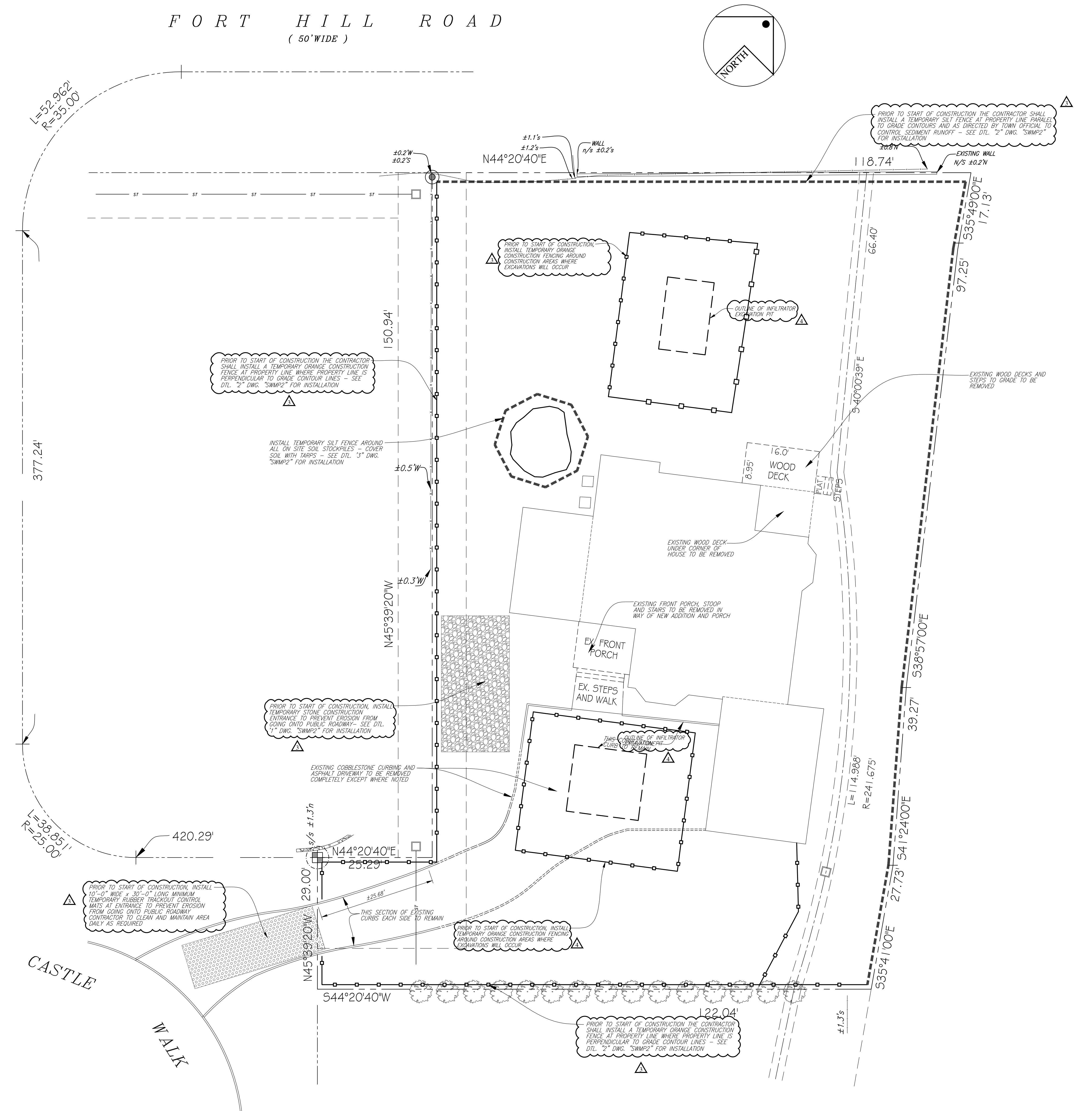
DWG. TITLE:  
285-12B(5)(b) DISTANCE FROM SIDE PROPERTY LINE TO DRIVEWAY:

140 FEET PERMITTED/REQUIRED  
140 FEET EXISTING/PROPOSED

**David A. Barbuti  
Architect, PC**

150 White Plains Road  
Suite 103  
Tarrytown, New York 10591  
Tel : 914-909-5143  
Fax : 914-909-5144





## **SOIL EROSION CONTROL PLAN**

---

(WITH SITE DEMOLITION)

SCALE: 1" = 10'-

## W CONTROL NOTES

- EROSION CONTROL AND SEDIMENT CONTROL PRACTICES DURING INSTRUCTION SHALL BE INSTALLED IN ACCORDANCE WITH EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MANUAL 2016 EDITION AND NYSDEC "STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL" 2016 EDITION, WESTCHESTER COUNTY D.E.C. AND LOCAL MUNICIPALITY REGULATIONS.

EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL HAVE THE FOLLOWING:

  - TRACK PAD (STABILIZED CONSTRUCTION ENTRANCE);
  - EROSION CONTROL BARRIERS – SILT FENCES AND/OR SILT FILTER LOGS;
  - SEDIMENT TRAPS;
  - SOIL STABILIZATION;
  - DUST CONTROL;
  - SOIL STOCKPILE AREAS RINGED WITH SILT FENCE.

TRUCK CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT THE CONSTRUCTION SITE ENTRANCE TO REMOVE SEDIMENT CAPTURED ON TRUCKS ENTERING AND LEAVING THE SITE. CONSTRUCTION ENTRANCE SHALL BE MAINTAINED DURING ENTIRE PROJECT UNTIL SITE PAVING IS IN PLACE. SEE EROSION CONTROL PLAN OR SITE DETAIL SHEET FOR ADDITIONAL INFORMATION.

AREAS NOT SUBJECT TO ONGOING EARTHWORK OR CONSTRUCTION, SOILS ARE TO BE SEEDED AND MULCHED TO REDUCE THE AMOUNT OF SOILS EXPOSED TO INFALL.

URING PERIODS WHEN SOILS BECOME DRY AND SUBJECT TO BECOME AIRBORNE, WATERING SHOULD BE UTILIZED TO SPRAY AND MOISTEN THE SOILS. (SUBJECT TO DROUGHT WATERING RESTRICTIONS).

POSED SOIL STOCKPILE AREAS ARE TO BE RINGED WITH FILTER FABRIC. STOCKPILES SHALL NOT BE LOCATED WITHIN 50 FEET OF SLOPES, ROADWAYS OR DRAINAGE FACILITIES. ALL EXPOSED SOIL STOCK PILES SHALL BE COVERED AT THE END OF EACH DAY TO PREVENT SOIL EROSION AND SOIL LOSS FROM INFALL EVENTS.

ALL EXPOSED MASS EXCAVATION AREAS AND OPEN TRENCH AREAS SHALL BE COVERED AT THE END OF EACH DAY TO PREVENT SOIL EROSION AND SOIL LOSS FROM RAINFALL EVENTS. CUT AND FILL SLOPES SHALL BE CONSTRUCTED IN A MANNER TO MINIMIZE EROSION.

ON-SITE PAVED ROADWAYS SHALL BE KEPT CLEAN AT ALL TIMES.

ALL CATCH BASIN INLETS AND TRENCH DRAINS SHALL BE PROTECTED WITH SILT FILTER LOGS OR SILT FENCE.

ALL DEWATERING OPERATIONS SHALL DISCHARGE THROUGH A SOIL EROSION AND SEDIMENT CONTROL FACILITY.

ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS TO INSURE THAT TEMPORARY AND PERMANENT TRENCHES, PIPES, AND STRUCTURES ARE CLEAR OF DEBRIS, THAT EMBANKMENTS AND BERMS ARE NOT BREACHED, AND THAT ALL HAY BALES ARE INTACT.

WAST SHALL BE CONTROLLED BY SPRINKLERING OR OTHER APPROVED METHODS.

SEE EROSION CONTROL PLAN OR SITE DETAIL SHEET FOR EROSION CONTROL INSTRUCTION DETAILS.

SHEET No.

# SP2

ADDITION AND ALTERATIONS FOR: <b>THE RABADI RESIDENCE</b>			
DWG. TITLE : 23 CASTLE WALK SCARSDALE (TOWN OF GREENBURGH), NEW YORK			
No. DATE: DESCRIPTION			
REV BY DATE: DESCRIPTION			
DWG. ISSUED REVISIONS			
AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF DAVID A. BARBUTI, ARCHITECT, PC. ANY REPRODUCTION OR USE, IN WHOLE OR IN PART, WITHOUT THE WRITTEN AUTHORIZATION OF DAVID A. BARBUTI, ARCHITECT, PC IS PROHIBITED. THIS DOCUMENT IS INTENDED SOLELY FOR THE CONSTRUCTION OF THE PROJECT NAMED HEREIN AND SHALL NOT BE USED BY ANY OTHER PARTIES FOR ANY OTHER CONSTRUCTION WITHOUT THE WRITTEN CONSENT OF DAVID A. BARBUTI, ARCHITECT, PC.			
IT IS A VIOLATION OF SECTION 7209.2 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT OR ENGINEER, TO ALTER IN ANY WAY PLANS, SPECIFICATIONS, PLATS OR REPORTS TO WHICH THE SEAL OF A PROFESSIONAL ARCHITECT OR ENGINEER HAS BEEN APPLIED. IF AN ITEM BEARING THE SEAL OF A PROFESSIONAL ARCHITECT OR ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE, THE DATE, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.			
SHEET No. SP2			
AS AMENDMENT TO THE DRAWINGS RELEASING REVISED SET OF DRAWINGS TO OBTAIN AMENDMENT APPROVAL			
3 06-09-23 RELEASED REVISED SET OF DRAWINGS TO OPEN PERMIT			
2 06-05-23 RELEASED SITE AND STORM WATER DWG'S TO DEPT. OF PUBLIC WORKS TO OBTAIN STORMWATER PERMIT			
1 11-21-22 RELEASED DWG'S "SPI" "SP4" "AI" "THRU "A7" TO BUILDING DEPT. FOR SITE PLAN REVIEW			
1 C.P. 03-08-23 ADDED DIMENSION FROM SIDE PROPERTY LINE TO DRIVEWAY, REVISED LIST OF VARIANCES TO INCLUDE ALL 4 VARIANCES REQUESTED			
2 C.P. 05-01-23 REDUCED THE PROPOSED DRIVEWAY DIAMETER FROM 43'-1" TO 37'-0" REDUCED PROPOSED LOT COVERAGE FROM 6,852 S.F. (34.10%) TO 6,531 S.F. (32.51%)			
3 C.P. 06-05-23 ADDRESSED STORM WATER COMMENTS FROM TOWN ENGINEER DATED MARCH 1, 2023			
4 C.P. 06-07-23 CLARIFIED INFILTRATOR AREAS AND SHOWED CONSTRUCTION FENCE AROUND INFILTRATOR AREAS PER TOWN ENGINEER COMMENTS DATED JUNE 7, 2023			

<h1>David A. Barbuti Architect, PC</h1> <p>50 White Plains Road Suite 103 Tarrytown, New York 10591 Tel : 914-909-5143 Fax : 914-909-5144</p>	
	
<p>DRAWN BY : C.R.P.</p> <p>CHECKED BY :</p> <p>SCALE :</p> <p>AS NOTED</p> <p>PROJECT NO. : 211109</p> <p>START DATE : 08-22-2022</p>	

C A S T L E      W A L K

*F O R T            H I L L            R O A D*  
*( 50' WIDE )*

A circular compass rose icon with a black dot at the top right.

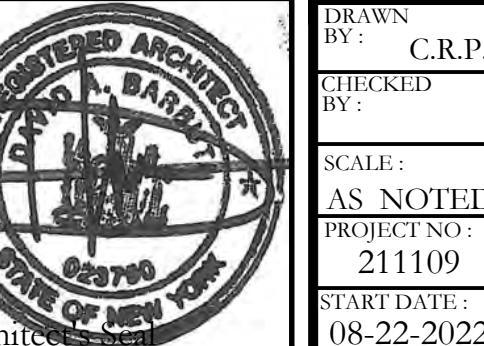
312  
/ 310

$\angle = 52^\circ$   
 $377.24'$   
 $\angle = 25^\circ$   
 $238'$

$$= \frac{2.962}{35.00} = 0.08457$$

## SITE GRADING PLANS

SCALE: 1" = 1



SHEET No.

# SP3

ADDITION AND ALTERATIONS FOR: <b>THE RABADI RESIDENCE</b>		DWG. ISSUES D	
<p>PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF DAVID A. BARBUTI, ARCHITECT, PC. ANY REPRODUCTION OR USE, IN WHOLE OR IN PART, WITHOUT THE WRITTEN AUTHORIZATION OF DAVID A. BARBUTI, ARCHITECT, PC IS PROHIBITED.</p> <p>THIS DOCUMENT IS INTENDED SOLELY FOR THE CONSTRUCTION OF THE PROJECT NAMED HEREIN AND SHALL NOT BE USED BY ANY OTHER PARTIES FOR ANY OTHER CONSTRUCTION WITHOUT THE WRITTEN CONSENT OF DAVID A. BARBUTI, ARCHITECT, PC.</p>		<p>SITE GRADING PLAN</p> <p>TITLE : DWG. "A7"</p> <p>No. DATE: DESCRIPTION</p>	
<p>3 CASTLE WALK SCARSDALE (TOWN OF GREENBURGH), NEW YORK</p>		<p>REV BY DATE: DESCRIPTION</p>	
<p>THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT OR ENGINEER, TO ALTER IN ANY WAY PLANS, SPECIFICATIONS, PLATS OR REPORTS TO WHICH THE SEAL OF A PROFESSIONAL ARCHITECT OR ENGINEER HAS BEEN APPLIED. IF AN ITEM BEARING THE SEAL OF A PROFESSIONAL ARCHITECT OR ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE, THE DATE, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.</p>		<p>REV BY DATE: DESCRIPTION</p>	
<p>3 RELEASED REVISED SET OF DRAWINGS TO OBTAIN AMENDMENT APPROVAL TO OPEN PERMIT</p>		<p>3 RELEASED REVISED LIST OF DRIVEWAY VARIANCES REQUESTED</p>	
<p>2 RELEASED SITE AND STORM WATER DWG'S TO DEPT. OF PUBLIC WORKS TO OBTAIN STORM WATER PERMIT</p>		<p>2 RELEASED DWG'S "SP1" "SP4" "A1" THRU "A7" TO BUILDING DEPT. FOR SITE PLAN REVIEW</p>	
<p>1 RELEASED DWG'S "A1" TO BUILDING DEPT. FOR SITE PLAN REVIEW</p>		<p>1 ADDED DIMENSION FROM DRIVEWAY REVISED LIST OF ALL 4 VARIANCES REQUESTED</p>	
<p>06-09-23 [3]</p>		<p>05-01-23 [2]</p>	
<p>06-05-23 [2]</p>		<p>03-08-23 [1]</p>	
<p>06-05-23 [3]</p>		<p>06-05-23 [3]</p>	
<p>06-07-23 [4]</p>		<p>06-05-23 [4]</p>	
<p>CLARIFIED INFILTRATOR A CONSTRUCTION FENCE AREA PER TOWN ENGINEER COM ENGINEER DATED MARCH</p>		<p>ADRESSED STORM WATER PER TOWN ENGINEER COM ENGINEER DATED MARCH</p>	

# David A. Barbuti Architect, PC

0 White Plains Road  
uite 103  
errytown, New York 10591  
l : 914-909-5143  
x : 914-909-5144

DRAWN  
BY : C R P

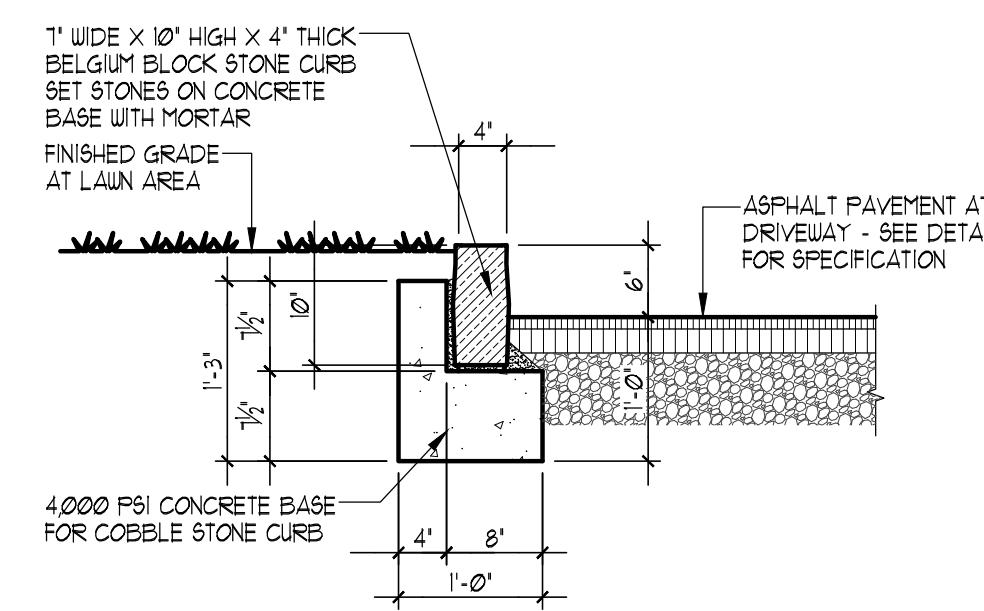
C.R.I.

SCALE :  
1.0 2.0 3.0 4.0

AS NOTED  
PROJECT NO :  
211100

211109  
START DATE :  
08-22-2022



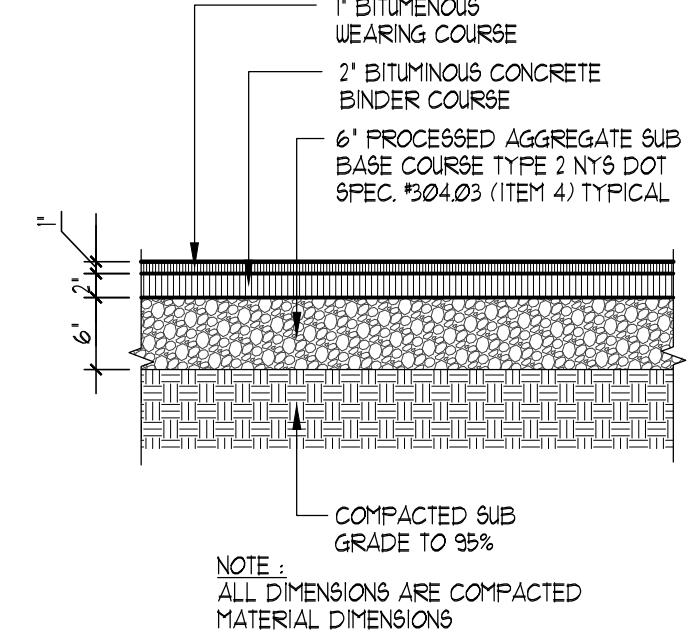


# DETAIL (COBBLESTONE CURBING)

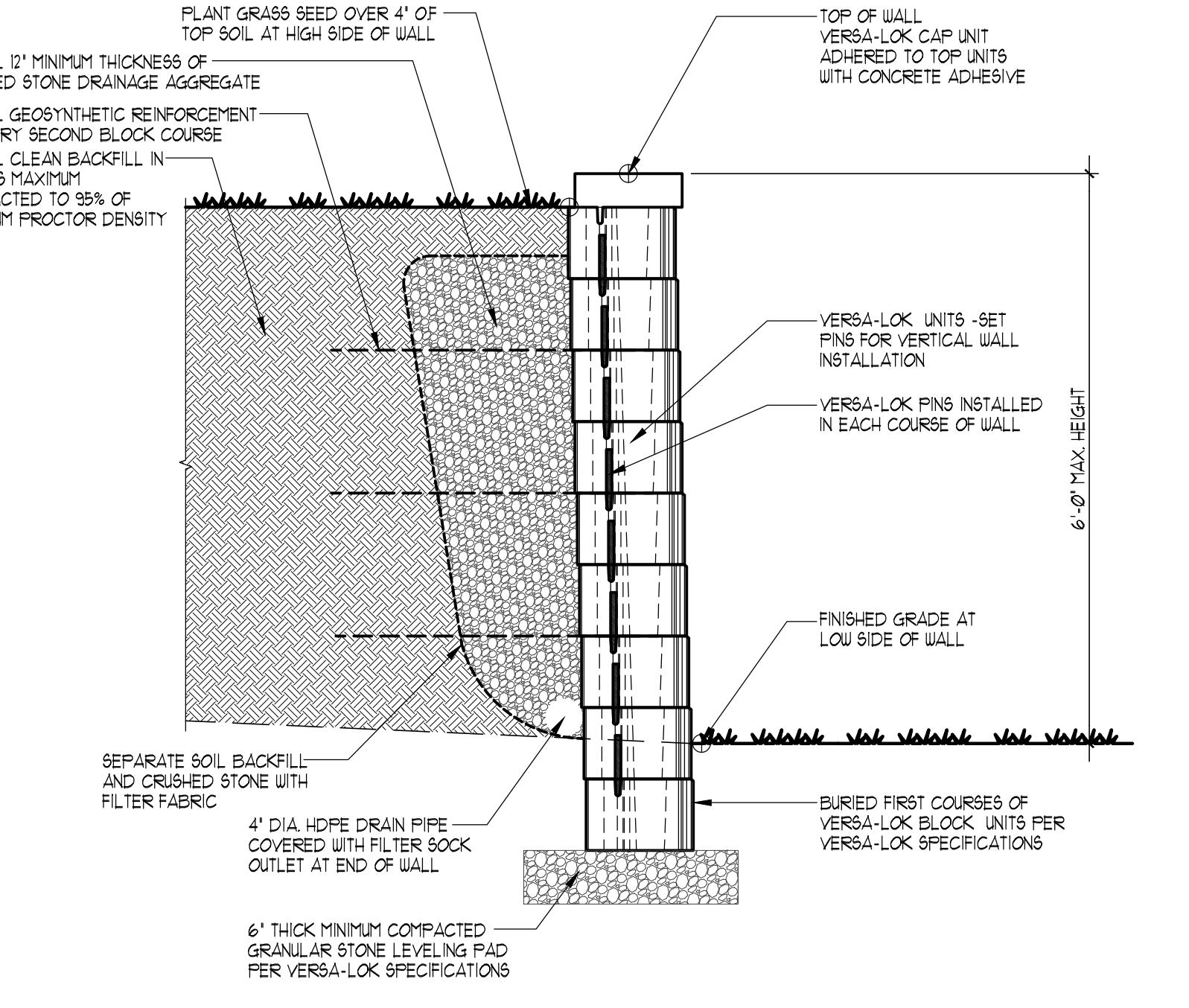
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SCALE: 3/4" = 1'-0"

1  
SPS



**DETAIL** (ASPHALT PAVEMENT AT DRIVEWAY) 2  
SP5

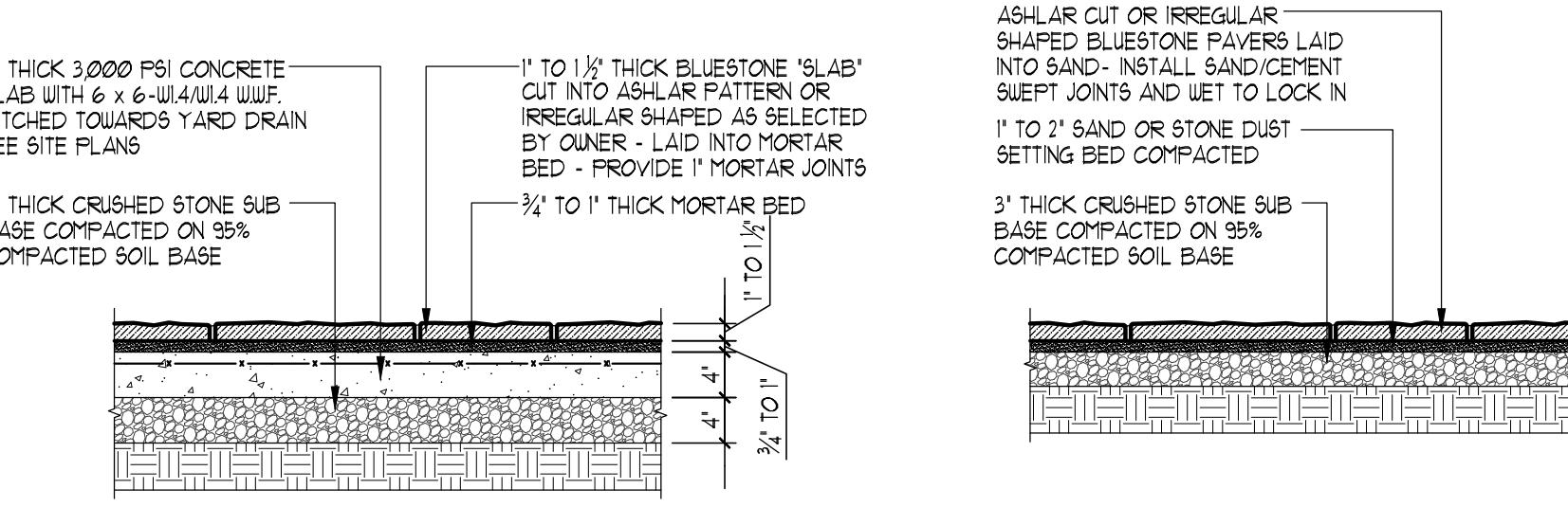


# **DETAIL** (VERSA-LOK RETAINING WALL)

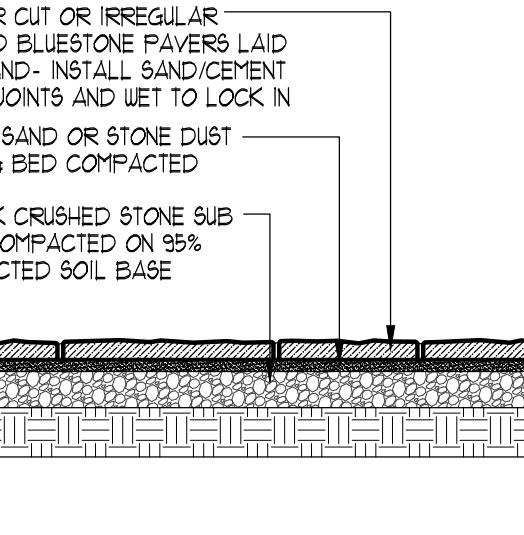
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SCALE: 3/4" = 1'-0"

3  
SP5



## ESTONE PATIO SET ON CONCRETE SLAB



## LUESTONE PATIO SET IN SAND ALTERNATE

SHEET No.

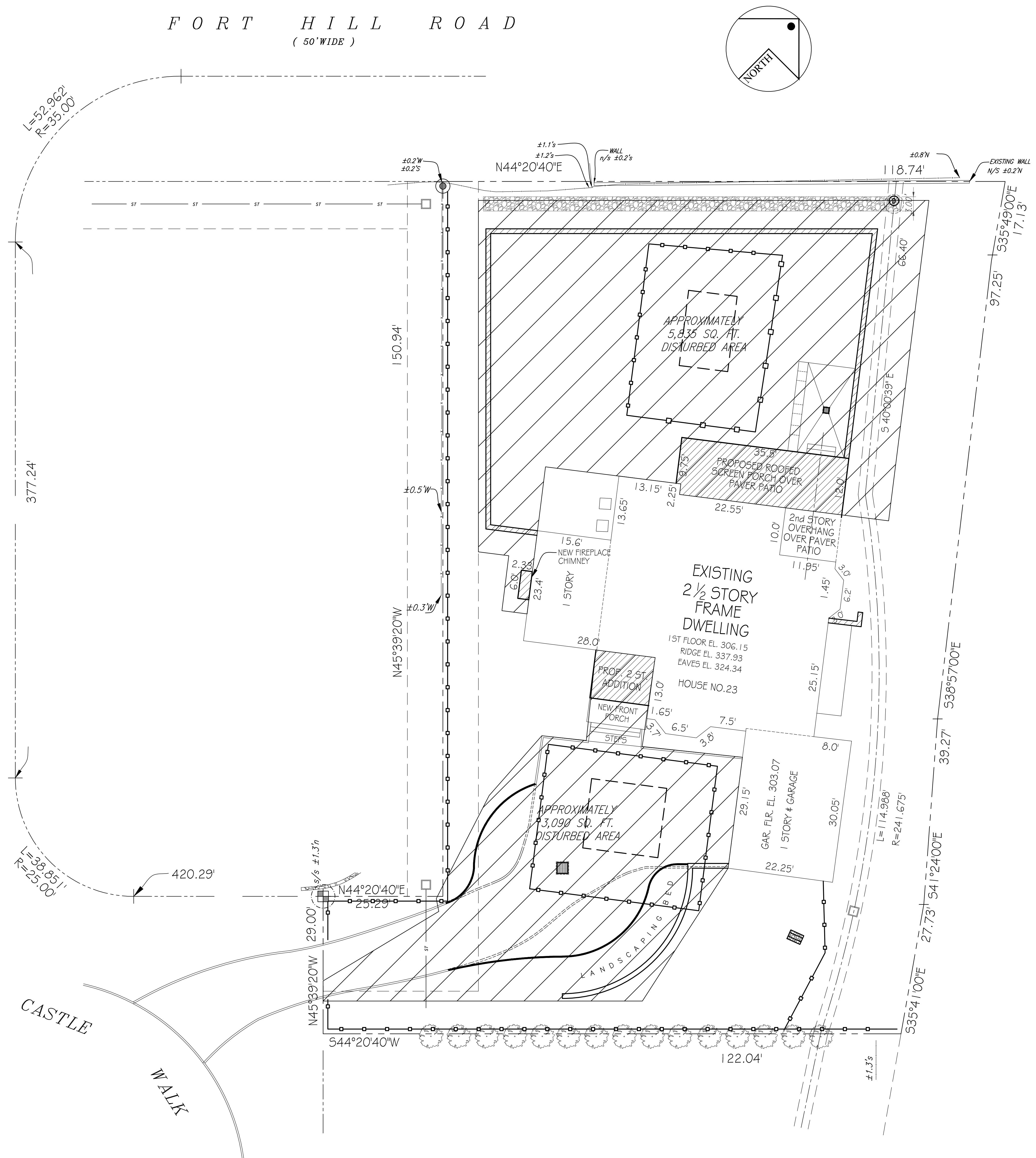
**SP5**

<p><b>PROJECT NAME:</b></p> <h1>ADDITION AND ALTERATIONS FOR: THE RABADI RESIDENCE</h1> <p>23 CASTLE WALK SCARSDALE (TOWN OF GREENBURGH), NEW YORK</p>		<p><b>SITE DETAILS</b></p> <p>DWG. TITLE : _____</p>													
<p><b>WARNING:</b> IT IS A VIOLATION OF SECTION 7209.2 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT OR ENGINEER, TO ALTER IN ANY WAY PLANS, SPECIFICATIONS, PLATS OR REPORTS TO WHICH THE SEAL OF A PROFESSIONAL ARCHITECT OR ENGINEER HAS BEEN APPLIED. IF AN ITEM BEARING THE SEAL OF A PROFESSIONAL ARCHITECT OR ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE, THE DATE, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.</p>		<p><b>DRAWINGS AND SPECIFICATIONS</b> AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF DAVID A. BARBUTI, ARCHITECT, PC. ANY REPRODUCTION OR USE, IN WHOLE OR IN PART, WITHOUT THE WRITTEN AUTHORIZATION OF DAVID A. BARBUTI, ARCHITECT, PC IS PROHIBITED.</p> <p>THIS DOCUMENT IS INTENDED SOLELY FOR THE CONSTRUCTION OF THE PROJECT NAMED HEREIN AND SHALL NOT BE USED BY ANY OTHER PARTIES FOR ANY OTHER CONSTRUCTION WITHOUT THE WRITTEN CONSENT OF DAVID A. BARBUTI, ARCHITECT, PC.</p>													
<p><b>DWG. ISSUES</b></p>		<table border="1"> <thead> <tr> <th>No.</th> <th>Date:</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>[3]</td> <td>06-09-23</td> <td>RELEASED REVISED SET OF DRAWINGS TO OBTAIN AMENDMENT APPROVAL TO OPEN PERMIT</td> </tr> <tr> <td>[2]</td> <td>06-05-23</td> <td>RELEASED SITE AND STORMWATER DWG'S TO DEPT. OF PUBLIC WORKS TO OBTAIN STORMWATER PERMIT</td> </tr> <tr> <td>[1]</td> <td>11-21-22</td> <td>RELEASED DWG'S "SP1" "SP4" "A1" THRU "A7" TO BUILDING DEPT. FOR SITE PLAN REVIEW</td> </tr> </tbody> </table>		No.	Date:	Description	[3]	06-09-23	RELEASED REVISED SET OF DRAWINGS TO OBTAIN AMENDMENT APPROVAL TO OPEN PERMIT	[2]	06-05-23	RELEASED SITE AND STORMWATER DWG'S TO DEPT. OF PUBLIC WORKS TO OBTAIN STORMWATER PERMIT	[1]	11-21-22	RELEASED DWG'S "SP1" "SP4" "A1" THRU "A7" TO BUILDING DEPT. FOR SITE PLAN REVIEW
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<h1>David A. Barbuti Architect,PC</h1> <p>150 White Plains Road Suite 103 Tarrytown, New York 10591 Tel : 914-909-5143 Fax : 914-909-5144</p>	
	
<p>DRAWN BY : C.R.P.</p> <p>CHECKED BY :</p> <p>SCALE : AS NOTED</p> <p>PROJECT NO : 211109</p> <p>START DATE : 08-22-2022</p>	

C A S T L E W A L K

F O R T H I L L R O A D  
( 50' WIDE )



SITE SOIL DISTANCE AREA PLAN

SCALE: 1" = 10'-0"

SHEET No.

SD1

R E V I S I O N S

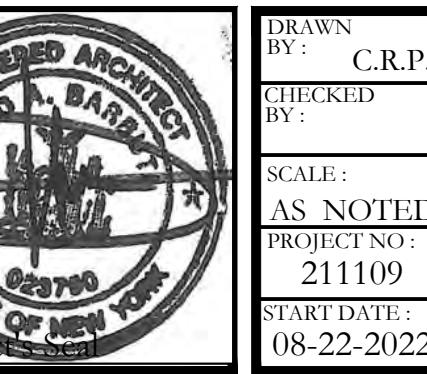
DWG. ISSUED D

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ENGINEER IS LIABLE FOR THE DRAWINGS  
AND THE DRAWINGS SHALL NOT BE  
ALTERED BY ANY OTHER  
CONSTRUCTION WITHOUT THE  
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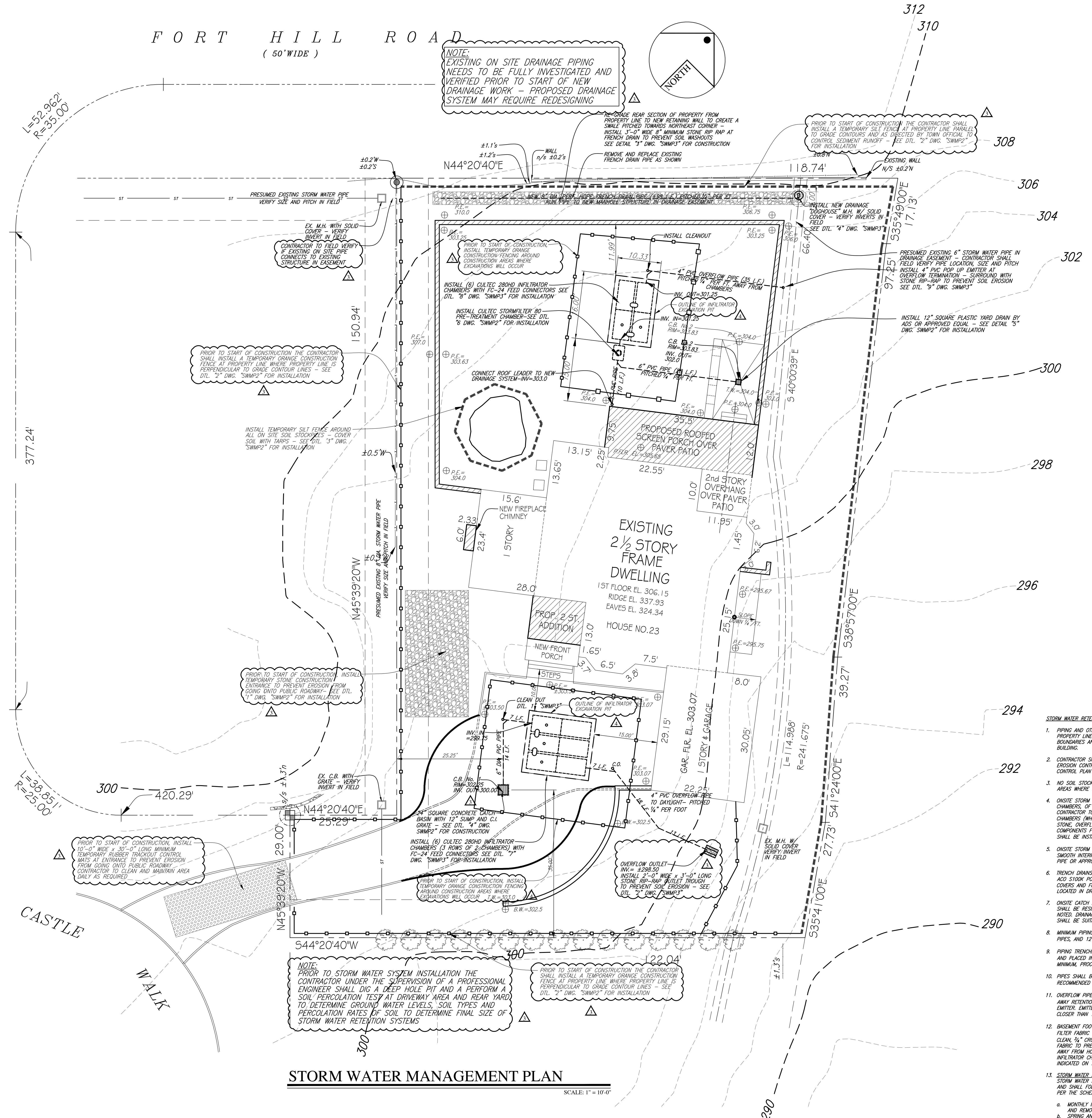
PROJECT NAME:  
ADDITION AND ALTERATIONS  
FOR:  
THE RABADI RESIDENCE  
23 CASTLE WALK  
SCARSDALE (TOWN OF GREENBURGH), NEW YORK  
DWG. TITLE:  
SITE SOIL DISTURBANCE  
AREA PLAN

David A. Barbuti  
Architect,PC

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Fax : 914-909-5144



DRAWN BY C.R.P.  
CHECKED BY  
SCALE : AS NOTED  
PROJECT NO. 211109  
START DATE: 08-22-2012



# STORM WATER MANAGEMENT PLAN

---

SCALE 1" = 10' 0"

EROSION CONTROL NOTES

1. ALL EROSION CONTROL AND SEDIMENT CONTROL PRACTICES DURING CONSTRUCTION SHALL BE INSTALLED IN ACCORDANCE WITH EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MANUAL 2016 EDITION AND THE NYSDEC "STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL" 2016 EDITION, WESTCHESTER COUNTY D.E.C. AND LOCAL MUNICIPALITY REGULATIONS.
2. EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL HAVE THE FOLLOWING:
  - A. TRACK PAD (STABILIZED CONSTRUCTION ENTRANCE);
  - B. EROSION CONTROL BARRIERS - SILT FENCES AND/OR SILT FILTER LOGS;
  - C. SEDIMENT TRAPS;
  - D. SOIL STABILIZATION;
  - E. DUST CONTROL;
  - F. SOIL STOCKPILE AREAS RINGED WITH SILT FENCE.
3. A TRUCK CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT THE CONSTRUCTION SITE ENTRANCE TO REMOVE SEDIMENT CAPTURED ON TRUCKS ENTERING AND LEAVING THE SITE. CONSTRUCTION ENTRANCE SHALL BE MAINTAINED DURING ENTIRE PROJECT UNTIL SITE PAVING IS IN PLACE. SEE EROSION CONTROL PLAN OR SITE DETAIL SHEET FOR ADDITIONAL INFORMATION.
4. AREAS NOT SUBJECT TO ONGOING EARTHWORK OR CONSTRUCTION, SOILS ARE TO BE SEEDED AND MULCHED TO REDUCE THE AMOUNT OF SOILS EXPOSED TO RAINFALL.
5. DURING PERIODS WHEN SOILS BECOME DRY AND SUBJECT TO BECOME AIRBORNE, WATERING SHOULD BE UTILIZED TO SPRAY AND MOISTEN THE SOILS. (SUBJECT TO DROUGHT WATERING RESTRICTIONS).
6. EXPOSED SOIL STOCKPILE AREAS ARE TO BE RINGED WITH FILTER FABRIC. STOCKPILES SHALL NOT BE LOCATED WITHIN 50 FEET OF SLOPES, ROADWAYS OR DRAINAGE FACILITIES. ALL EXPOSED SOIL STOCK PILES SHALL BE COVERED AT THE END OF EACH DAY TO PREVENT SOIL EROSION AND SOIL LOSS FROM RAINFALL EVENTS.
7. ALL EXPOSED MASS EXCAVATION AREAS AND OPEN TRENCH AREAS SHALL BE COVERED AT THE END OF EACH DAY TO PREVENT SOIL EROSION AND SOIL LOSS FROM RAINFALL EVENTS. CUT AND FILL SLOPES SHALL BE CONSTRUCTED IN A MANNER TO MINIMIZE EROSION.
8. OFFSITE PAVED ROADWAYS SHALL BE KEPT CLEAN AT ALL TIMES.
9. ALL CATCH BASIN INLETS AND TRENCH DRAINS SHALL BE PROTECTED WITH SILT FILTER LOGS OR SILT FENCE.
10. ALL DEWATERING OPERATIONS SHALL DISCHARGE THROUGH A SOIL EROSION AND SEDIMENT CONTROL FACILITY.
11. SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS TO INSURE THAT TEMPORARY AND PERMANENT DITCHES, PIPES, AND STRUCTURES ARE CLEAR OF DEBRIS, THAT EMBANKMENTS AND BERMS ARE NOT BREACHED, AND THAT ALL HAY BALES ARE INTACT.
12. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS.
13. SEE EROSION CONTROL PLAN OR SITE DETAIL SHEET FOR EROSION CONTROL CONSTRUCTION DETAILS.

SHEET No.

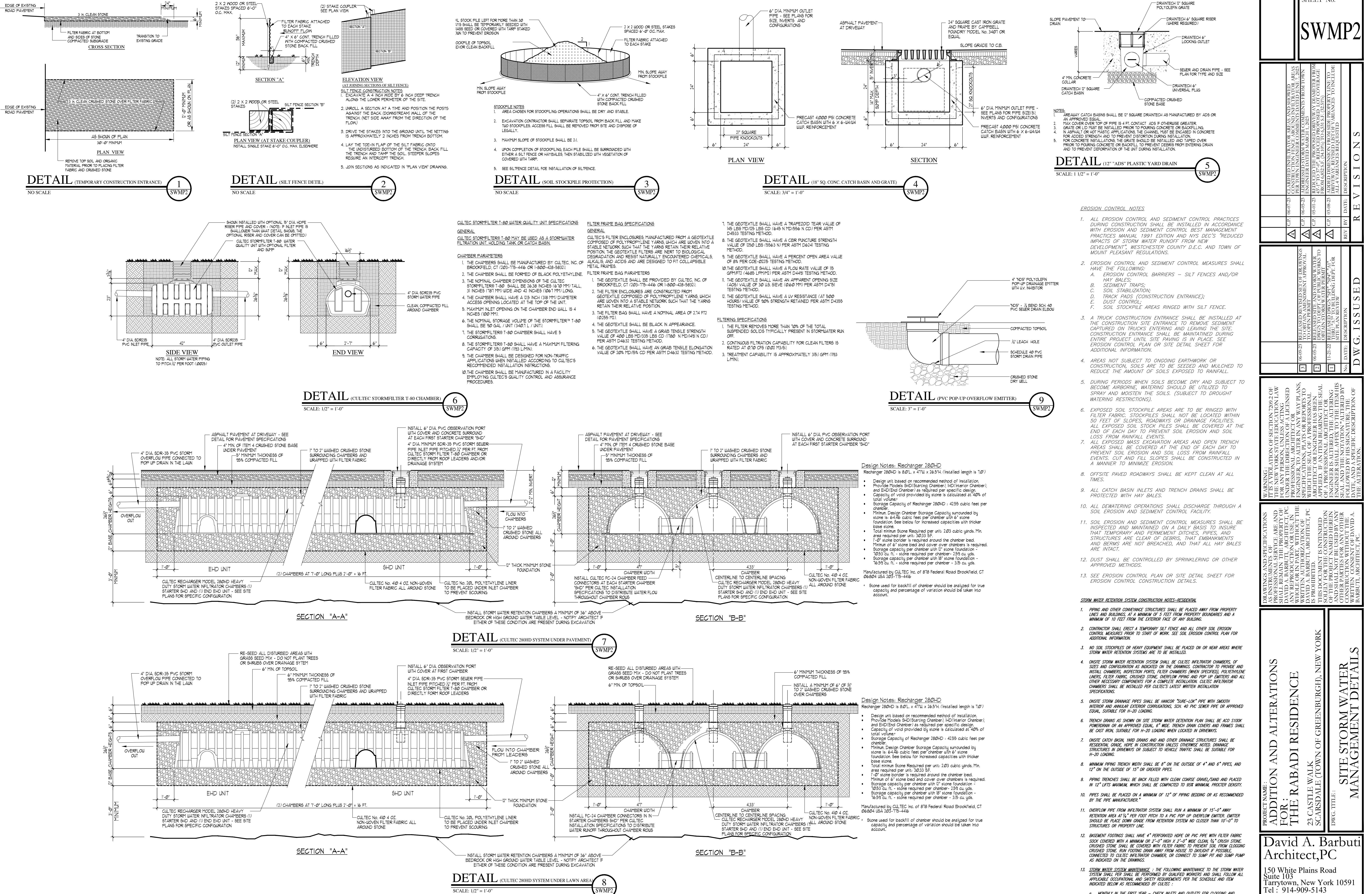
SWMP1

					R E V I S I O N S
△4	C.P.	06-07-23	CLARIFIED INFILTRATOR AREAS AND SHOWED CONSTRUCTION FENCE AROUND INFILTRATOR AREAS PER TOWN ENGINEER COMMENTS DATED JUNE 7, 2023		
△3	C.P.	06-05-23	ADDRESSED STORM WATER COMMENTS FROM TOWN ENGINEER DATED MARCH 1, 2023		
△2	C.P.	05-01-23	REDUCED THE PROPOSED DRIVEWAY DIAMETER FROM 43'-0" TO 37'-0" (REDUCED PROPOSED LOT COVERAGE FROM 6,852 S.F. (34.10%) TO 6,531 S.F. (32.51%))		
△1	C.P.	03-08-23	ADDED DIMENSION FROM SIDE PROPERTY LINE TO DRIVEWAY REVISED LIST OF VARIANCES TO INCLUDE ALL 4 VARIANCES REQUESTED		
	REV BY	DATE:	DESCRIPTION		

3	06-09-23	RELEASED REVISED SET OF DRAWINGS TO OBTAIN AMENDMENT APPROVAL		D W G. I S S U S E D
2	06-05-23	RELEASED SITE AND STORM WATER DWGS TO DEPT OF PUBLIC WORKS TO OBTAIN STORM WATER PERMIT		
1	11-21-22	RELEASED DWG'S "SP1" "SP4" "A1" THRU "A7" TO BUILDING DEPT. FOR SITE PLAN REVIEW		
No.	DATE:	DESCRIPTION		

PROJECT NAME :  FOR :  THE RABADI RESIDENCE  23 CASTLE WALK SCARSDALE (TOWN OF GREENBURGH), NEW YORK  DWG. TITLE :	REVIEWED AND APPROVED BY : DAVID A. BARBUTI, ARCHITECT, PC.  DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF DAVID A. BARBUTI, ARCHITECT, PC. ANY REPRODUCTION OR USE, IN WHOLE OR IN PART, WITHOUT THE WRITTEN AUTHORIZATION OF DAVID A. BARBUTI, ARCHITECT, PC. IS PROHIBITED. THIS DOCUMENT IS INTENDED SOLELY FOR THE CONSTRUCTION OF THE PROJECT NAMED HEREIN AND SHALL NOT BE USED BY ANY OTHER PARTIES FOR ANY OTHER CONSTRUCTION WITHOUT THE WRITTEN CONSENT OF DAVID A. BARBUTI, ARCHITECT, PC.
SITE PLAN AND SCHEDULES	REVIEWED AND APPROVED BY : DAVID A. BARBUTI, ARCHITECT, PC.

NUMBER OF CHAMBERS REQUIRED :
DRIVEWAY ALTERATION 1,815 S.F. - EXISTING DRIVEWAY
2,567 S.F. - PROPOSED DRIVEWAY AREA
752 S.F. - NET AREA INCREASE
752 S.F. x 6.5"/12" = 407.33 CU. FT. RUNOFF VOLUME
407.33 CU. FT. / 70.53 CU. FT. PER CHAMBER UNIT = 5.77 - SAY (6)
CULTEC 280XL CHAMBERS REQUIRED
REAR ADDITION AND PATIO 281 S.F. - PROPOSED SCREENED IN PORCH ADDITION (NET INCREASE) 228 S.F. - PROPOSED OUTDOOR KITCHEN PATIO AREA
509 S.F. - NET AREA INCREASE
509 S.F. x 6.5"/12" = 275.71 CU. FT. RUNOFF VOLUME
275.71 CU. FT. / 70.53 CU. FT. PER CHAMBER UNIT = 3.91 - SAY (4)
CULTEC 280XL CHAMBERS REQUIRED
NUMBER OF CHAMBERS PROVIDED :
DRIVEWAY (6) CULTEC RECHARGER 280 XL CHAMBERS - (6) X 70.53 CU. FT. PER CHAMBER = 423.18 CU. FT. CAPACITY PROVIDED IS GREATER THAN 407.33 CU. FT. REQUIRED - SYSTEM COMPLIES
REAR ADDITION/NEW PATIO (4) CULTEC RECHARGER 280 XL CHAMBERS - (4) X 70.53 CU. FT. PER CHAMBER = 282.12 CU. FT. CAPACITY PROVIDED IS GREATER THAN 275.71 CU. FT. REQUIRED - SYSTEM COMPLIES



SHEET No.

# SWMP2

**N S**

WATER COMMENCEMENTS FROM TOWN  
D MARCH 1, 2023

**PROPOSED DRIVEWAY DIAMETER FROM  
DUPLICATED PROPOSED LOT COVERAGE  
(1.10%) TO 6,531 S.F. (32.51%)**

**ON FROM SIDE PROPERTY LINE TO  
BED LIST OF VARIANCES TO INCLUDE  
REQUESTED**

W G. I S S U S E D	
DATE:	DESCRIPTION
6-05-23	TO OBTAIN AMENDMENT APPROVAL TO OPEN PERMIT
1-21-22	RELEASED SITE AND STORM WATER DWG'S TO DEPT. OF PUBLIC WORKS TO OBTAIN STORM WATER PERMIT
	RELEASED DWG'S "SP1" "SP4" "AI" "A7" THRU "A7" TO BUILDING DEPT. FOR SITE PLAN REVIEW
	REV BY

SPECIFICATIONS, PLATS OR REPORTS TO WHICH THE SEAL OF A PROFESSIONAL ARCHITECT OR ENGINEER HAS BEEN APPLIED. IF AN ITEM BEARING THE SEAL OF A PROFESSIONAL ARCHITECT OR ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE, THE DATE, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

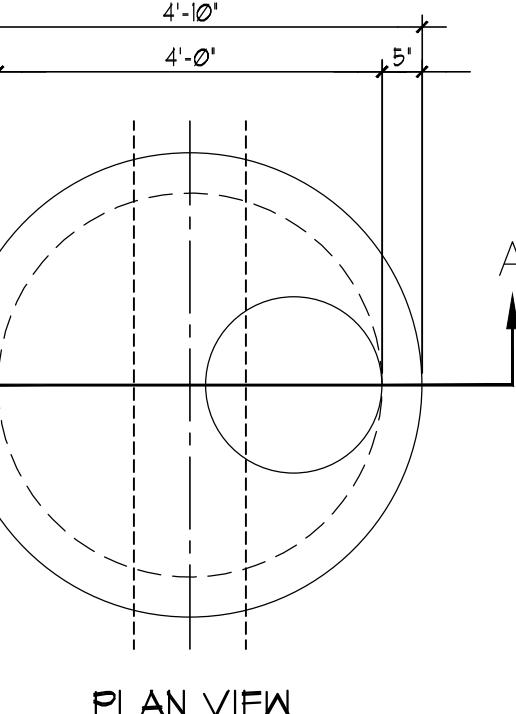
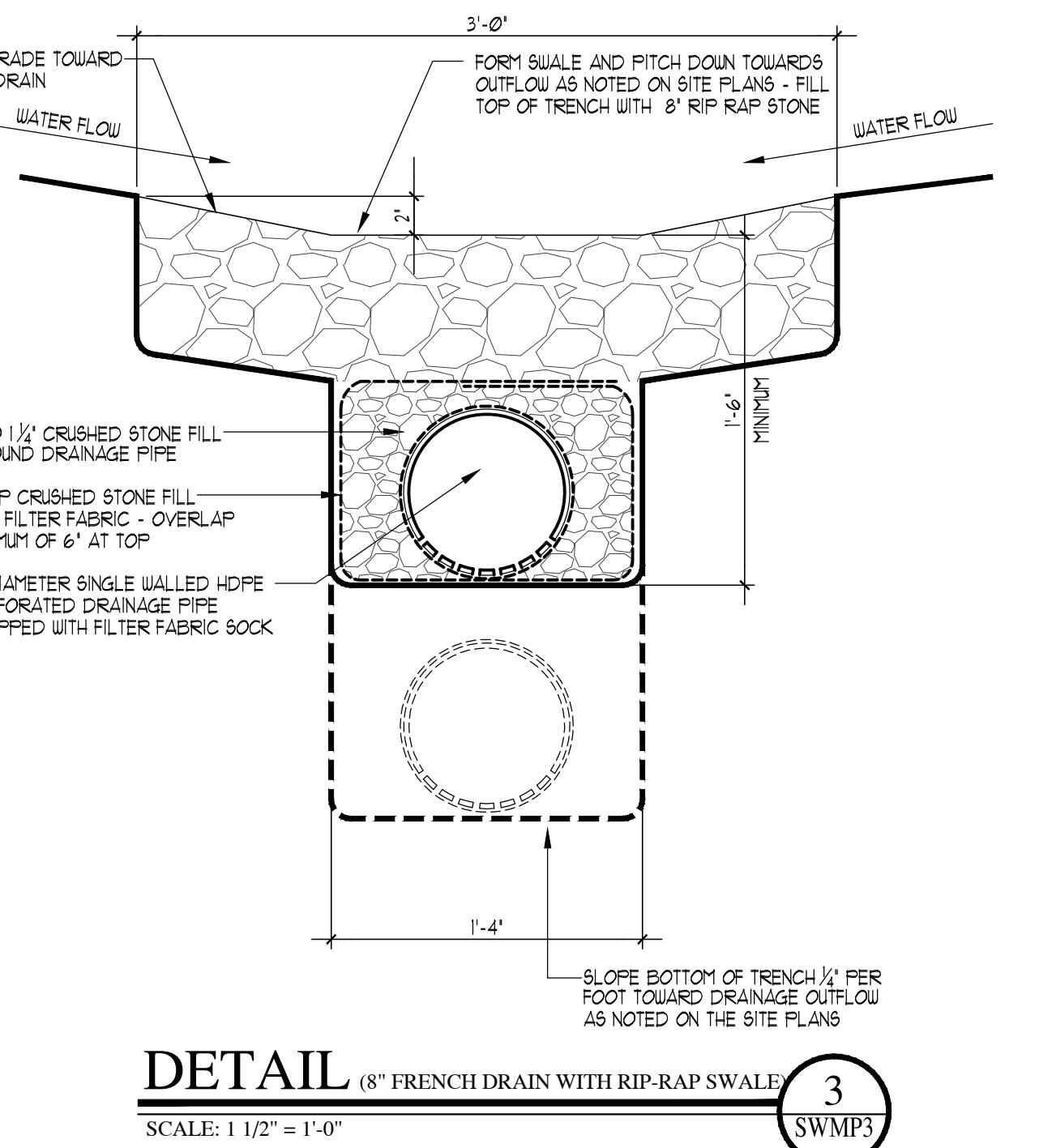
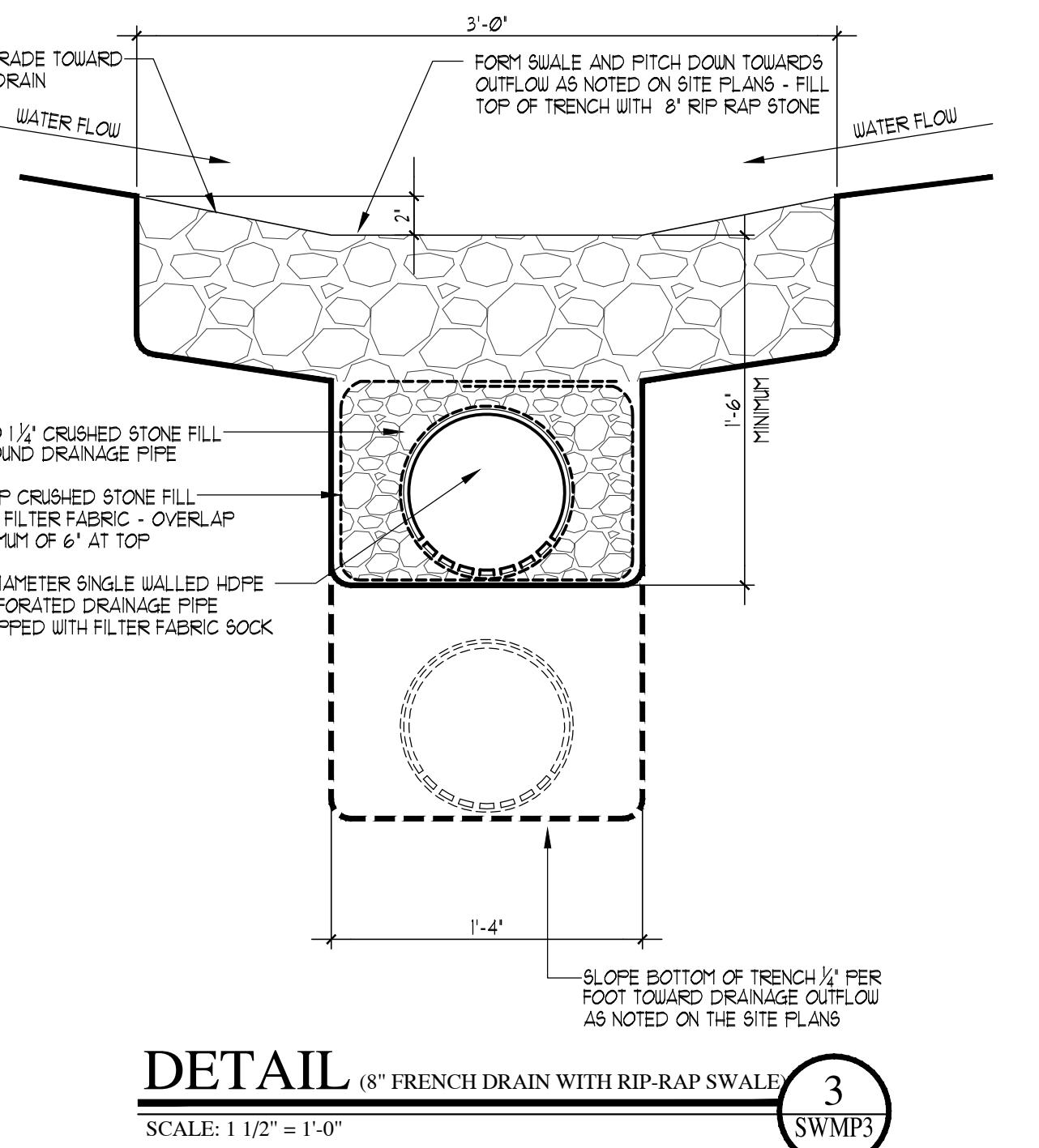
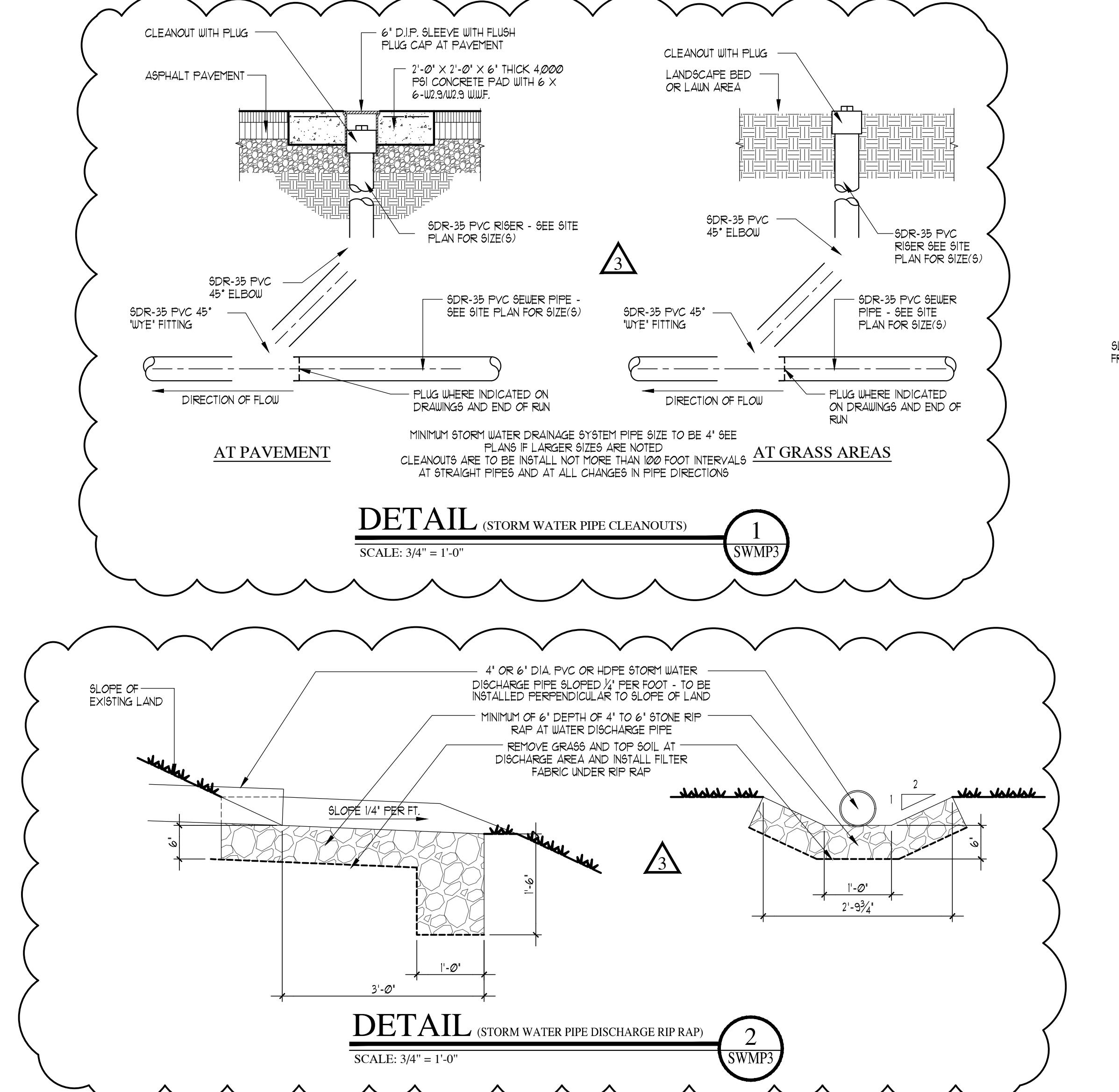
THIS DOCUMENT IS INTENDED SOLELY FOR THE CONSTRUCTION OF THE PROJECT NAMED HEREIN AND SHALL NOT BE USED BY ANY OTHER PARTIES FOR ANY OTHER CONSTRUCTION WITHOUT THE WRITTEN CONSENT OF DAVID A. BARBUTI, ARCHITECT, PC.

**SITE STORM WATER  
MANAGEMENT DETAILS**

A. Barbuti  
ect, PC

Plains Road  
New York 10591  
09-5143  
09-5144

	DRAWN BY : C.R.P.
	CHECKED BY :
	SCALE : AS NOTED
	PROJECT NO : 211109
	START DATE : 08-22-2022



**EROSION CONTROL NOTES**

1. EROSION CONTROL AND SEDIMENT CONTROL PRACTICES DURING CONSTRUCTION SHALL BE INSTALLED IN ACCORDANCE WITH EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MANUAL 1991 EDITION AND NYS DEC'S "REDUCED IMPACTS OF STORM WATER RUNOFF FROM NEW DEVELOPMENT", WESTCHESTER COUNTY D.E.C. AND TOWN OF MOUNT PLEASANT REGULATIONS.
2. EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL HAVE THE FOLLOWING:
  - A. EROSION CONTROL BARRIERS - SILT FENCES AND/OR HAY BALES;
  - B. SEDIMENT TRAPS;
  - C. SOIL STABILIZATION;
  - D. TRACK PADS (CONSTRUCTION ENTRANCES);
  - E. DUST CONTROL;
  - F. SOIL STOCKPILE AREAS RINGED WITH SILT FENCE.
3. A TRUCK CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT THE CONSTRUCTION SITE TO REMOVE SEDIMENT CUMULATED AT THE ENTRANCE AND LEAVING THE SITE. CONSTRUCTION ENTRANCE SHALL BE MAINTAINED DURING ENTIRE PROJECT UNTIL SITE PAVING IS IN PLACE. SEE EROSION CONTROL PLAN OR SITE DETAIL SHEET FOR ADDITIONAL INFORMATION.
4. AREAS NOT SUBJECT TO ONGOING EARTHWORK OR CONSTRUCTION, SOILS ARE TO BE SEEDED AND MULCHED TO REDUCE THE AMOUNT OF SOILS EXPOSED TO RAINFALL.
5. DURING PERIODS WHEN SOILS BECOME DRY AND SUBJECT TO BECOME AIRBORNE, WATERING SHOULD BE UTILIZED TO SPRAY AND MOISTEN THE SOILS. (SUBJECT TO DROUGHT WATERING RESTRICTIONS).
6. EXPOSED SOIL STOCKPILE AREAS ARE NOT TO BE RINGED WITH FILTER FABRIC. STOCKPILES SHALL NOT BE LOCATED WITHIN 50 FEET OF SLOPES, ROADWAYS OR DRAINAGE FACILITIES. ALL EXPOSED SOIL STOCK PILES SHALL BE COVERED AT THE END OF EACH DAY TO PREVENT SOIL EROSION AND SOIL LOSS FROM RAINFALL EVENTS. CUT AND FILL SLOPES SHALL BE CONSTRUCTED IN A MANNER TO MINIMIZE EROSION.
7. OFFSITE PAVED ROADWAYS SHALL BE KEPT CLEAN AT ALL TIMES.
8. ALL CATCH BASIN INLETS AND TRENCH DRAINS SHALL BE PROTECTED WITH HAY BALES.
9. ALL Dewatering OPERATIONS SHALL DRAIN THROUGH A SOIL EROSION AND SEDIMENT CONTROL FACILITY.
10. SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS TO INSURE THAT EROSION AND SEDIMENT PERIODICALLY CHECKED. STRUCTURES ARE CLEAR OF DEBRIS, THAT EMBANKMENTS AND BERMS ARE NOT BREACHED, AND THAT ALL HAY BALES ARE INTACT.
11. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS.
12. SEE EROSION CONTROL PLAN OR SITE DETAIL SHEET FOR EROSION CONTROL CONSTRUCTION DETAILS.

**STORM WATER RETENTION SYSTEM CONSTRUCTION NOTES-RESIDENTIAL**

1. PIPING AND OTHER DRAINAGE STRUCTURES SHALL BE PLACED AWAY FROM PROPERTY LINES AND BUILDINGS, AT A MINIMUM OF 5 FEET FROM PROPERTY BOUNDARIES AND A MINIMUM OF 10 FEET FROM THE EXTERIOR FACE OF ANY BUILDING.
2. CONTRACTOR SHALL ERECT A TEMPORARY SILT FENCE AND ALL OTHER SOIL EROSION CONTROL MEASURES PRIOR TO START OF WORK. SEE SOIL EROSION CONTROL PLAN FOR ADDITIONAL INFORMATION.
3. NO SOIL STOCKPILES OR HEAVY EQUIPMENT SHALL BE PLACED ON OR NEAR AREAS WHERE STORM WATER RETENTION SYSTEMS ARE TO BE INSTALLED.
4. ON-SITE STORM WATER RETENTION SYSTEM SHALL BE CULTEC INFILTRATOR CHAMBERS, OF SIZES AND CONFIGURATION AS INDICATED ON THE DRAWINGS. CONTRACTOR TO PROVIDE AND INSTALL CHAMBERS, INSPECTION PORTS, FILTER CHAMBERS (WHEN SPECIFIED), POLYETHYLENE LINERS, POLYMER COATED METAL GIRDERS, FILTER FABRIC, BACKFILL MATERIALS AND ALL OTHER NECESSARY COMPONENTS FOR A COMPLETE INSTALLATION. CULTEC INFILTRATOR CHAMBERS SHALL BE INSTALLED PER CULTEC'S LATEST WRITTEN INSTALLATION SPECIFICATIONS.
5. ON-SITE STORM DRAINAGE PIPES SHALL BE HANCOCK "SURE-LOC" PIPE WITH SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS, SCH. 40 PVC SEWER PIPE OR APPROVED EQUAL, SUITABLE FOR H-20 LOADING.
6. TRENCH DRAINS AS SHOWN ON SITE STORM WATER DETENTION PLAN SHALL BE ACO 5100 POWERDRIVE OR APPROVED EQUAL, 6" WIDE, TRENCH DRAIN COVERS AND FRAMES SHOULD BE CAST IRON, SUITABLE FOR H-20 LOADING WHEN LOCATED IN DRIVEWAYS.
7. ON-SITE CATCH BASIN, YARD DRAINS AND OTHER DRAINAGE STRUCTURES SHALL BE PROVIDED AS SHOWN IN THE DRAWINGS, UNLESS OTHERWISE NOTED. DRAINAGE STRUCTURES IN DRIVEWAYS OR SUBJECT TO VEHICLE TRAFFIC SHALL BE SUITABLE FOR H-20 LOADING.
8. MINIMUM PIPING TRENCH WIDTH SHALL BE 8" ON THE OUTSIDE OF 4" & 6" PIPES, AND 12" ON THE OUTSIDE OF 15" OR GREATER PIPES.
9. PIPING TRENCHES SHALL BE BACK FILLED WITH CLEAN COARSE GRAVEL/CIND AND PLACED IN 12" LOTS MAXIMUM, WHICH SHALL BE COMPACTED TO 95% MINIMUM, PROCTER DENSITY.
10. PIPES SHALL BE PLACED ON A MINIMUM OF 12" OF PIPING BEDDING OR AS RECOMMENDED BY THE PIPE MANUFACTURER.
11. OVERFLOW PIPE FROM INFILTRATOR SYSTEM SHALL RUN A MINIMUM OF 15'-0" AWAY FROM PROPERTY LINE. OVERFLOW PIPE FROM INFILTRATOR SYSTEM SHALL BE PLACED DOWN GRADE FROM RETENTION SYSTEM NO CLOSER THAN 10'-0" TO STRUCTURES OR PROPERTY LINE.
12. BASEMENT FOOTINGS SHALL BE 4" PERFORATED HOSE OR PVC PIPE WITH FILTER FABRIC AND COVERS, WHICH SHALL BE PLACED ON A MINIMUM OF 12" OF PIPING BEDDING. OVERFLOW DRAIN SHALL BE COVERED WITH FILTER FABRIC TO PREVENT SOIL FROM CLOGGING. CRUSHED STONE, RINN FLOOR DRAIN AWAY FROM HOUSE TO DAYLIGHT IF POSSIBLE, CONNECTED TO CULTEC INFILTRATOR CHAMBER, OR CONNECT TO SUMP PIT AND SUMP PUMP AS LOCATED ON THE DRAWINGS.
13. STORM WATER RETENTION MANAGEMENT: THE FOLLOWING MAINTENANCE TO THE STORM WATER SYSTEM SHALL BE PERFORMED BY QUALIFIED WORKERS AND SHALL FOLLOW ALL APPLICABLE OCCUPATIONAL AND SAFETY REQUIREMENTS FOR THE SCHEDULE AND ITEM INDICATED BELOW AS RECOMMENDED BY CULTEC :
  - a. MONTHLY IN THE FIRST YEAR - CHECK INLETS AND OUTLETS FOR CLOGGING AND REMOVE ANY DEBRIS AS REQUIRED.
  - b. MONTHLY IN THE FIRST YEAR - CHECK INLETS AND OUTLETS FOR CLOGGING AND REMOVE ANY DEBRIS AS REQUIRED.
  - c. ONE YEAR AFTER COMMENCEMENT AND EVERY THIRD YEAR FOLLOWING - CHECK INLETS AND OUTLETS FOR CLOGGING AND REMOVE ANY DEBRIS AS REQUIRED.
  - d. ONE YEAR AFTER COMMENCEMENT AND EVERY THIRD YEAR FOLLOWING - CHECK INLETS AND OUTLETS FOR CLOGGING AND REMOVE ANY DEBRIS AS REQUIRED.
  - e. ONE YEAR AFTER COMMENCEMENT AND EVERY THIRD YEAR FOLLOWING - INSPECT INTERIOR OF THE STORM WATER CHAMBERS THROUGH INSPECTION PORTS IN FIRST CHAMBER OF EACH ROW USING CCTV OR comparable EQUIPMENT. RECORD ALL FINDINGS AND MAINTAIN A LOG OF INSPECTION RESULTS. OBTAIN DOCUMENTATION THAT THE STORMWATER MANAGEMENT CHAMBERS AND FEED CONNECTIONS HAVE BEEN CLEARED AND ARE FUNCTION AS INTENDED.
  - f. ALL DEBRIS REMOVED FROM SYSTEM SHALL BE DEPOSED IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

**PROJECT NAME:**  
ADDITION AND ALTERATIONS  
**FOR:**  
THE RABADI RESIDENCE  
**23 CASTLE WALK**  
**SCARSDALE (TOWN OF GREENBURGH), NEW YORK**

**David A. Barbuti**  
Architect, PC

**150 White Plains Road**  
Suite 103  
Tarrytown, New York 10591  
Tel : 914-909-5143  
Fax : 914-909-5144



ZBA1

<p><b>Certificate of Decision</b></p>  <p><b>Town of Greenburgh Zoning Board of Appeals</b></p> <p><b>Certificate of Decision</b></p> <p>For the meeting held at Town Hall, Town of Greenburgh, on the 18<sup>th</sup> day of May, 2023</p> <p><b>MEMBERS PRESENT:</b> Chairperson Ms. Bunting-Smith, Ms. Ueberle, Ms. Knecht, Mr. Crichlow, Ms. Denkensohn</p> <p><b>MEMBERS ABSENT:</b> Mr. Bland, Ms. Mosley</p> <p><b>NAME AND ADDRESS OF APPLICANT:</b> DR. &amp; MRS. A RABADF C/O MR. DAVID BARBUTI 150 WHITE PLAINS ROAD, SUITE 103 TARRYTOWN, NY 10591</p> <p><b>PROPERTY LOCATION:</b> 23 Castle Walk <b>PARCEL ID:</b> 8.530-363-19.6</p> <p><b>PRESENT ZONING:</b> R-20—One Family Residence District</p> <p><b>NEWSPAPER AND PUBLICATION DATE:</b> Journal News May 5, 2023</p> <p><b>RELIEF APPLIED FOR:</b> The Applicants are requesting area variances from Section 285-38B of the Code of the Town of Greenburgh to increase the maximum driveway width from 30 ft. (permitted) to 37 ft. (proposed); from Section 285-39D(2)(a) to increase the maximum Floor Area Ratio (F.A.R.) from 5,000 sf. (permitted) to 5,576 sf. (proposed); and from Section 285-12B(3)(d) to increase the maximum impervious surface coverage from 29% (permitted) to 32.50% (proposed), in order to construct a 2-story foyer addition; front landing and steps; a covered screen porch above an existing paved patio; and to widen an existing driveway on the subject property. The property is located in the R-20 One Family Residence District and is designated on the Town Tax Map as parcel ID: 8.530-363-19.6.</p> <p><b>ON A MOTION DULY MADE BY:</b> Mr. Crichlow <b>SECONDED BY:</b> Ms. Knecht</p>	<p><b>Case No. 23-06</b></p> <p>RECEIVED TOWN CLERK TOWN OF GREENBURGH 2023 MAY 25 A 8:32</p> <p><b>RESOLVED:</b> That the application in Case No. 23-06 be GRANTED provided that:</p> <ol style="list-style-type: none"> <li>1) The applicants obtain all necessary approvals and file same with the Building Department;</li> <li>2) Construction begins no later than 12 months after the granting of the last approval required for the issuance of a building permit, proceeds diligently thereafter in conformity with plans dated November 21, 2022, and last revised May 1, 2023, submitted in support of this application, or as such plans may be hereafter modified by another approving board or agency or officer of the Town, provided that such modification does not require a different or greater variance than what we are granting herein;</li> <li>3) The variances granted herein are for the improvements shown on the plans submitted in support of this application only. Any future or additional construction that is not in conformity with the requirements of the Zoning Ordinance shall require variances even if the construction conforms to the height, setbacks, or other variances we have approved herein.</li> </ol> <p><b>VOTING AYE:</b> Chairperson Ms. Bunting-Smith, Ms. Ueberle, Ms. Knecht, Mr. Crichlow, Ms. Denkensohn</p> <p><b>ABSTAINING:</b> -0-</p> <p><b>OPPOSED:</b> -0-</p> <p><b>THE BOARD MADE THE FOLLOWING FINDINGS:</b></p> <p>The Applicants own property located in the R-20 District and propose to construct a 2-story front entrance addition; construct an enclosed rear porch; and widen the driveway to an existing home on the subject property. In order to do so, the applicants require the following variances from the provisions of the Zoning Ordinance:</p> <ol style="list-style-type: none"> <li>1. Increase the maximum driveway width from 30 ft. (permitted) to 37 ft. (proposed);</li> <li>2. Increase the maximum Floor Area Ratio (F.A.R.) from 5,000 sf. (permitted) to 5,576 sf. (proposed);</li> <li>3. increase the maximum impervious surface coverage 29% (permitted) to 32.5% (proposed)</li> </ol> <p>In granting this application, the Zoning Board has weighed the benefit to be derived by the applicant from the proposed variances against any detriment the variances might have on the health, safety and welfare of the surrounding neighborhood. After doing so, we hereby find that:</p> <ol style="list-style-type: none"> <li>1. Granting the variances will not result in an undesirable change to the character of the neighborhood or detriment to nearby properties because the dwelling will remain a single-family dwelling in the R20 Zone and will therefore be in character with the neighborhood, which consists of residential homes. The architectural features of the proposed raised roof patio and front foyer addition will be within the character and style of the existing dwelling as well as surrounding dwellings.</li> </ol>	<p><b>Certificate of Decision</b></p> <p><b>Case No. 23-06</b></p> <p><b>RESOLVED:</b> That the goal of the applicant to build an attractive entrance and to permit cars to turn around on the lot and exit frontwise cannot be achieved by some other feasible means without obtaining the variances we are granting now because of the location of the existing dwelling on the lot, the existing driveway location, and the configuration of the lot when the parcel was originally developed prevents achieving the desired results in any other way.</p> <p><b>3. The requested variances are not substantial in relation to the requirements sought to be varied; in that the requested relief for the FAR variance is for 5,576 sf. compared with 5,000 sf. (permitted), an 11.5% (increase) and the maximum impervious surface coverage will be 32.5% compared with 29% (permitted), a 12% increase. Although the driveway width variance is 37 feet compared with 30 feet (permitted), a 23% increase, the view of the circular section of the driveway is partially obstructed from the street.</b></p> <p><b>4. Granting the variances will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district (i.e. drainage, steep slopes, wetlands, aesthetics (viewsheds), impervious surface, flooding conditions, etc.) because the above-mentioned additions will only enhance the architectural style of the dwelling's appearance and will blend in with that of the neighborhood.</b></p> <p><b>5. The applicant's need for the variance was self-created because the applicant purchased the property with knowledge of the requirements of the Zoning Ordinance; however, the fact that an applicant's need for an area variance is self-created does not, by itself, require us to deny an area variance.</b></p> <p><b>ON A SEPARATE MOTION DULY MADE BY: AND SECONDED BY:</b> Ms. Bunting-Smith Mr. Crichlow</p> <p><b>RESOLVED:</b> That the subject application is a Type II action requiring no further S.E.Q.R.A. consideration.</p> <p><b>VOTING AYE:</b> Chairperson Ms. Bunting-Smith, Ms. Ueberle, Ms. Knecht, Mr. Crichlow, Ms. Denkensohn</p> <p><b>ABSTAINING:</b> -0-</p> <p><b>OPPOSED:</b> -0-</p>	<p><b>Certificate of Decision</b></p> <p><b>Case No. 23-06</b></p> <p><b>APPROVED:</b></p>  <p>Rich Jones Secretary to the Zoning Board of Appeals</p> <p><b>Member of the Board</b></p>
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IT IS A VIOLATION OF SECTION 7209.2 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT OR ENGINEER, TO ALTER IN ANY WAY PLANS, SPECIFICATIONS, PLATS OR REPORTS TO WHICH THE SEAL OF A PROFESSIONAL ARCHITECT OR ENGINEER HAS BEEN APPLIED. IF AN ITEM BEARING THE SEAL OF A PROFESSIONAL ARCHITECT OR ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE, THE DATE, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

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BARBUTI, ARCHITECT PC.

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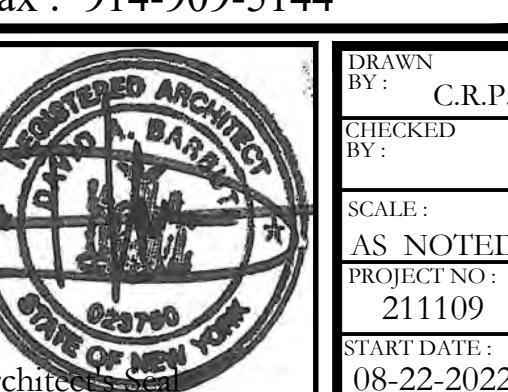
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DR : THE RABADI RESIDENCE

CASTLE WALK  
ARDSALE (TOWN OF GREENBURGH), NEW YORK

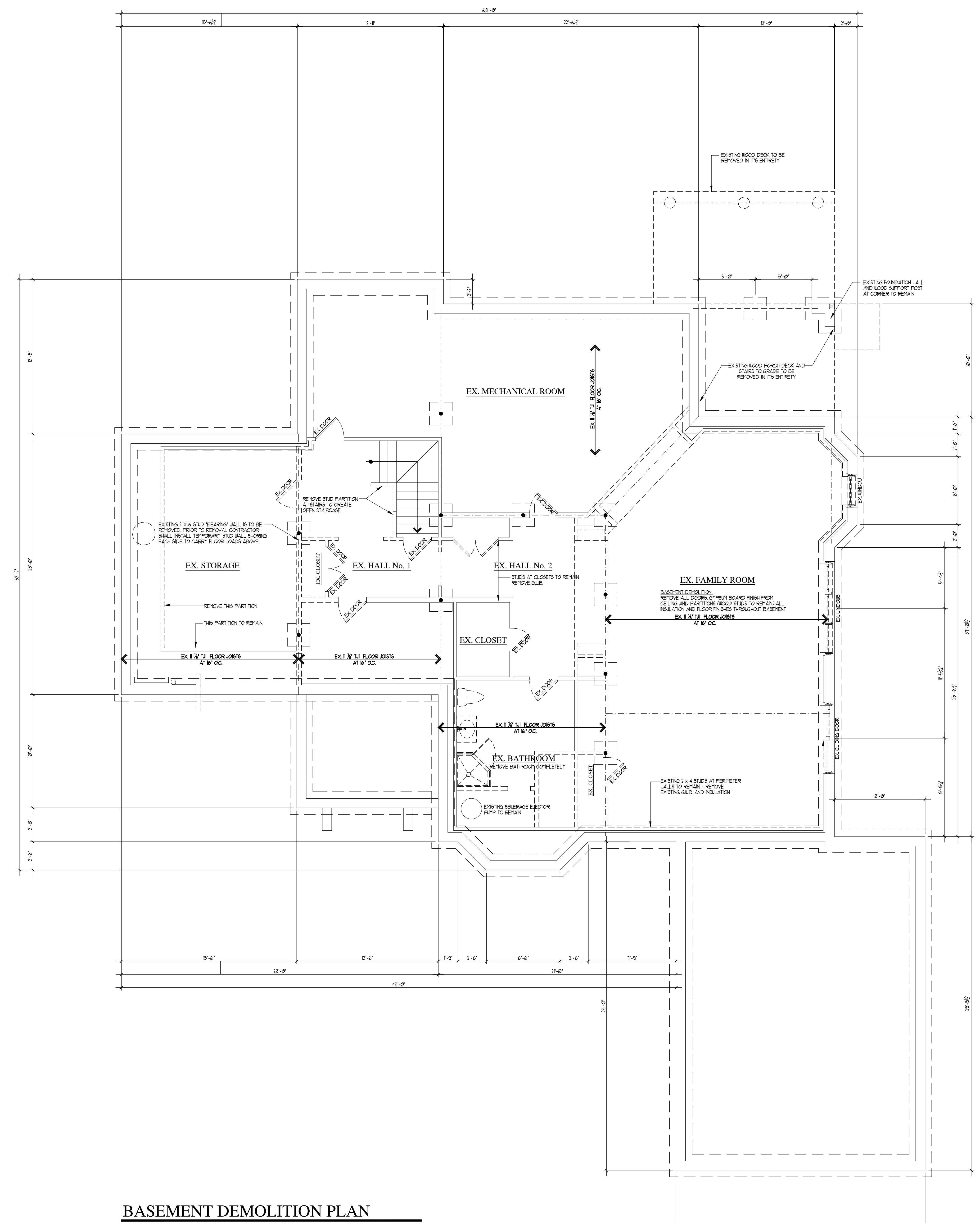
G. TITLE :  
**ZONING BOARD APPROVAL**

# David A. Barbuti Architect, PC

50 White Plains Road  
suite 103  
Parrytown, New York 10591  
tel : 914-909-5143  
fax : 914-909-5144







## BASEMENT DEMOLITION PLANS

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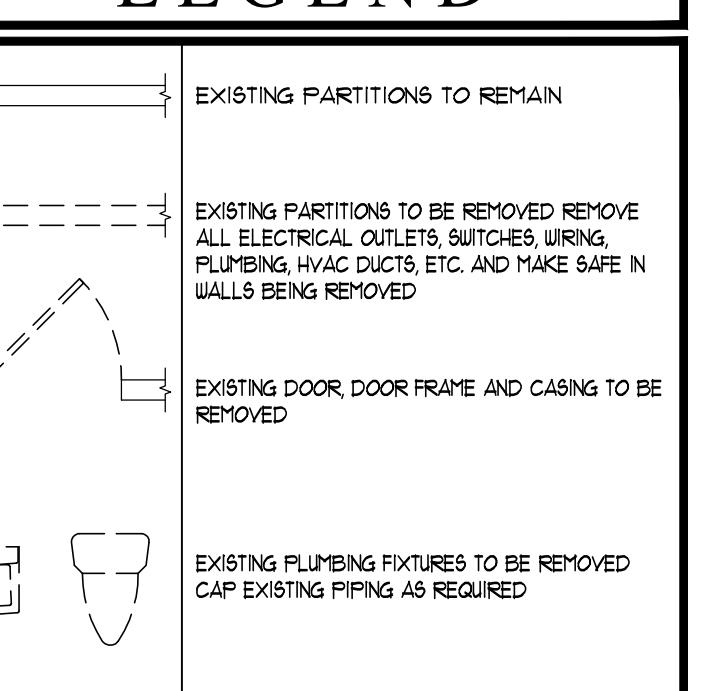
1,357 SQ. FT. GROSS FLOOR AREA(FINISHED BASEMENT)

SCALE: 1/4"

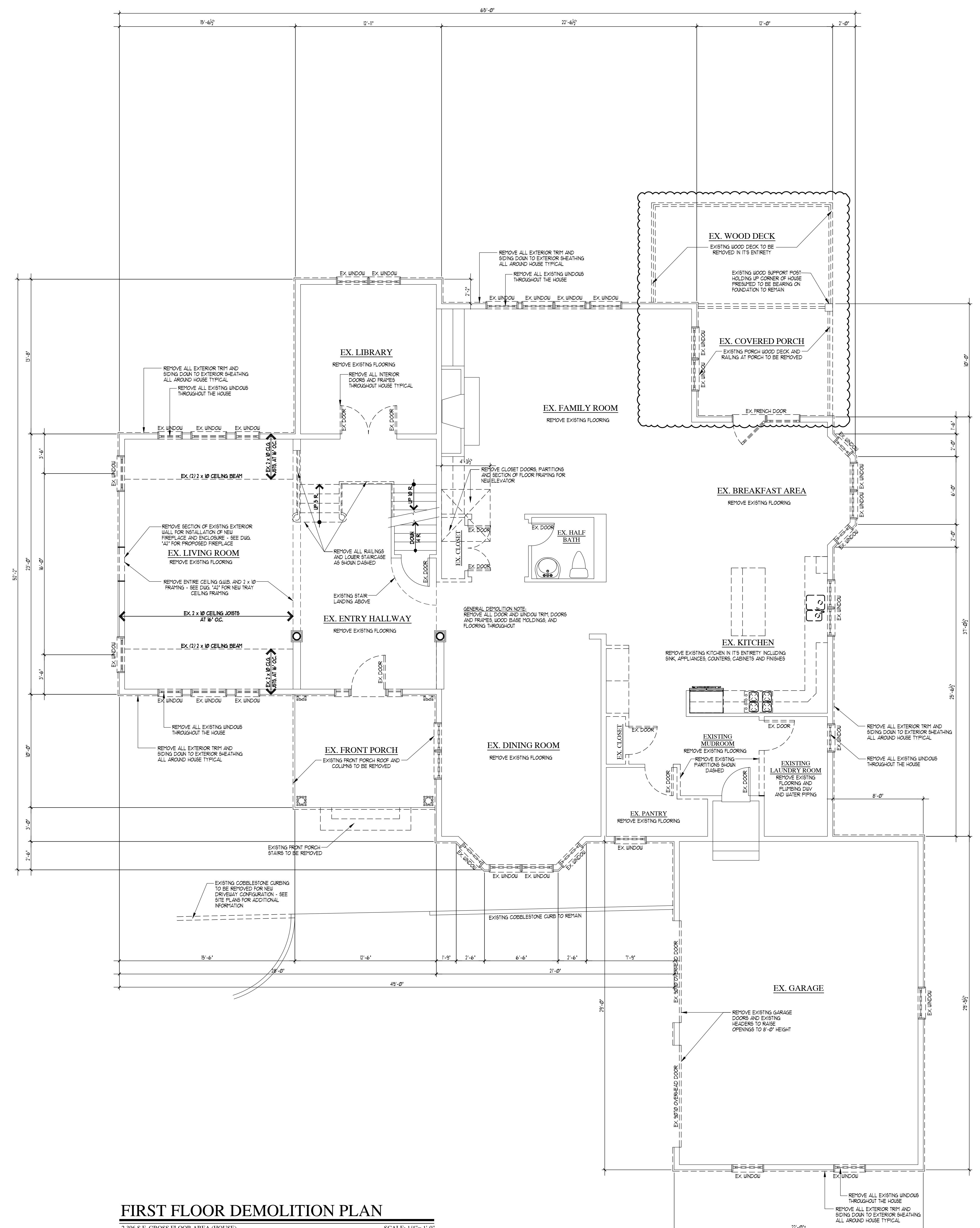
# DEMOLITION LEGEND

# David A. Barbuti Architect,PC

150 White Plains Road  
Suite 103  
Tarrytown, New York 10591  
Tel : 914-909-5143  
Fax : 914-909-5144



FAX : 914-909-5144	
	
DRAWN BY :	C.R.P.
CHECKED BY :	
SCALE :	AS NOTED
PROJECT NO. :	211109
START DATE :	08-22-2022



DEMOLITION NOTES (RESIDENTIAL INTERIOR ALTERATIONS)

- THE GENERAL CONTRACTOR (G.C.) IS TO FIELD VERIFY ALL EXISTING CONDITIONS AND SCOPE OF DEMOLITION RESPONSIBILITIES TO COMPLETE THE REQUIRED DEMOLITION.
- ASBESTOS ABATEMENT:

4. PRIOR TO THE START OF WORK, THE CONTRACTOR OR THE OWNER SHALL RETAIN A LICENSED ASBESTOS TESTING COMPANY TO TEST FOR THE PRESENCE OF ASBESTOS WITHIN THE BUILDING AND ASBESTOS PRESENT IN THE CONSTRUCTION MATERIALS AND AMOUNTS WHERE ASBESTOS HAS BEEN FOUND. THE TEST RESULT REPORT SHALL BE SUBMITTED TO THE OWNER AND TO THE LOCAL AUTHORITY HAVING JURISDICTION FOR THEIR RECORDS.

b. IF MATERIALS WITHIN THE WORK AREA ARE FOUND TO CONTAIN ASBESTOS THE CONTRACTOR IS TO RETAIN A LICENSED ASBESTOS ABATEMENT CONTRACTOR TO REMOVE SAID MATERIALS.

3. SAFETY OF HOMEOWNERS, WORKERS AND OTHER PEDESTRIANS SHALL BE MAINTAINED AT ALL TIMES. PEDESTRIAN SAFETY IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR WHO IS TO PROVIDE AND MAINTAIN SAFE MEANS OF ACCESS TO AND FROM THE WORK AREA.

4. THE G.C. IS TO BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE G.C. IS TO DESIGN AND INSTALL APPROPRIATE STRUCTURES FOR ALL REMOVAL TASKS. THE G.C. IS TO HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURY CAUSED BY OR DURING THE EXECUTION OF THE DEMOLITION WORK.

5. THE SCOPE OF WORK INCLUDES THE REMOVAL AND LEGAL PURCHASE OF ALL EXISTING MATERIALS AS INDICATED ON THE DRAWINGS LISTED HEREIN, AND AS MAY BE REQUIRED FOR THE FACILITATION OF THE NEW CONSTRUCTION.

6. PERFORM ALL DEMOLITION WORK IN A SAFE MANNER FOLLOW ALL ACCEPTABLE PRACTICES, STATE AND LOCAL CODES, RULES AND REGULATIONS OF THE LOCAL AUTHORITY HAVING JURISDICTION IN REGARD TO THE DEMOLITION WORK.

7. FROM THE DEMOLITION SHALL BECOME PROPERTY OF THE CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DISPOSE OF ALL CONSTRUCTION REFUSE IN A LEGAL MANNER.

8. ANY SALVAGEABLE MATERIALS THAT ARE TO BE SAVED ARE TO BE AVAILABLE FOR INSPECTION BY THE OWNER'S REPRESENTATIVE.

9. TEMPORARY SCAFFOLDING AND BRACING SUPPORTS.

a. PRIOR TO THE DEMOLITION OF ALL STRUCTURAL SUPPORTS DESIGNATED TO BE REMOVED, THE G.C. IS TO INSTALL ALL NECESSARY TEMPORARY STRUCTURAL SHORING SUPPORTS AND BRACING NO EXISTING STRUCTURE ELEMENTS ARE TO BE REMOVED, FRAMED, SHOVED, SHAKED OR DISTORTED.

b. CONCRETE WALLS SHOW UP EXISTING ROOF FLOORS AND WALLS AT AREAS WHERE NEW MASONRY AND/OR WOOD STUD FRAMED OPENINGS ARE CALLED FOR AS WELL AS ON BOTH SIDES OF EXISTING WALLS CALLED FOR TO BE REMOVED.

c. ALL EXISTING SUPPORTS ARE TO BE REMOVED UNTIL ALL NEW STRUCTURAL SUPPORT ELEMENTS (INCLUDING BUT NOT LIMITED TO JOISTS, NEW BEAMS, LINTELS, HEADERS, STEEL COLUMNS, WOOD POSTS, NEW FOOTINGS) ARE INSTALLED.

d. DEMOLITION WORK IS TO INCLUDE BUT NOT BE LIMITED TO EXISTING ROOF, FLOOR, WALL, CEILING, PARTITIONS, DOORS AND FRAMES, UNCOUPLED FLOOR, WALL, AND CEILING FINISHES, TRIM STRUCTURAL ELEMENTS, AND M.E.P. EQUIPMENT AS INDICATED IN THE DRAWINGS AND AS MAY BE REQUIRED.

e. LUMBER, STONE, BRICK, ASH, AND OTHER MATERIALS NEW FLOORING IS SPECIFIED TO BE INSTALLED IN THE FINISH SCHEDULE, REMOVE EXISTING FLOORING DOWN TO CONCRETE SLAB, REMOVE ALL ADHESIVE, MORTAR BEAD AND PREPARE SLAB FOR THE INSTALLATION OF THE NEW FLOORING PER THE FLOORING MANUFACTURER'S SPECIFICATIONS.

f. ALL SURFACES AND FINISHES SCHEDULED TO REMAIN, IF DAMAGED DURING THE DEMOLITION OR ANY STAGE OF THE WORK IS TO BE REPAIRED BY THE G.C. AT HIS EXPENSE TO "LIKE NEW" CONDITION. IT SHALL BE THE RESPONSIBILITY OF THE G.C. TO DOCUMENT ANY PREEXISTING DAMAGE AND NOTIFY THE ARCHITECT OF ANY SUCH DAMAGE PRIOR TO PRICING OR BIDDING.

13. ALL PLUMBING FIXTURES, SANITARY, VENT, AND WATER SUPPLY PIPING, VALVES, GLOBES, CHECK VALVES, AND PLUMBING EQUIPMENT SCHEDULED FOR DEMOLITION IS TO BE REMOVED BY THE PLUMBING CONTRACTOR (P.C.) PROPERLY CAP ANY REMAINING PIPING AS REQUIRED. CLEANS OUTS INSTALL BY PLUMBING CONTRACTOR (P.C.) SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.

14. ALL ELECTRICAL LIGHT FIXTURES, WIRING, RECEPTACLES, CIRCUIT PANELS, FEEDERS, BRANCH CIRCUITS, CONDUIT, HANGERS AND SUPPORTS, AND ELECTRICAL SCHEDULING AS DECODED IS TO BE REMOVED BY THE ELECTRICAL CONTRACTOR. TERMINATE AND MAKE SAFE ANY REMAINING BRANCH CIRCUITS TO A POINT OF CONCEALMENT, PROPERLY CAP AND TERMINATE BRANCH CIRCUITS AS REQUIRED PER CODE. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

15. ALL PIPING AND TUBING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED AS PER APPLICABLE CODES.

16. ALL HVAC DUCTS, AIR DUCTS, ETC. SCHEDULED FOR DEMOLITION IS TO BE REMOVED BY EITHER THE G.C. OR THE HVAC CONTRACTOR. SEE HVAC DRAWINGS FOR ADDITIONAL INFORMATION. COORDINATE WITH PLUMBING AND ELECTRICAL CONTRACTORS FOR TERMINATING AND MAKING SAFE ANY ELECTRICAL AND PLUMBING DUCTS AS REQUIRED PER CODE. THE G.C. IS TO CLEAN ENTIRE BUILDING EACH DAY OF ALL DEBRIS DURING THE DEMOLITION, BROOM SWEEP AND CLEAN BUILDING AS REQUIRED AT THE END OF DEMOLITION PHASE.

17. THE G.C. IS TO FIELD VERIFY ALL EXISTING CONDITIONS AND SCOPE OF DEMOLITION RESPONSIBILITIES TO COMPLETE THE REQUIRED DEMOLITION.

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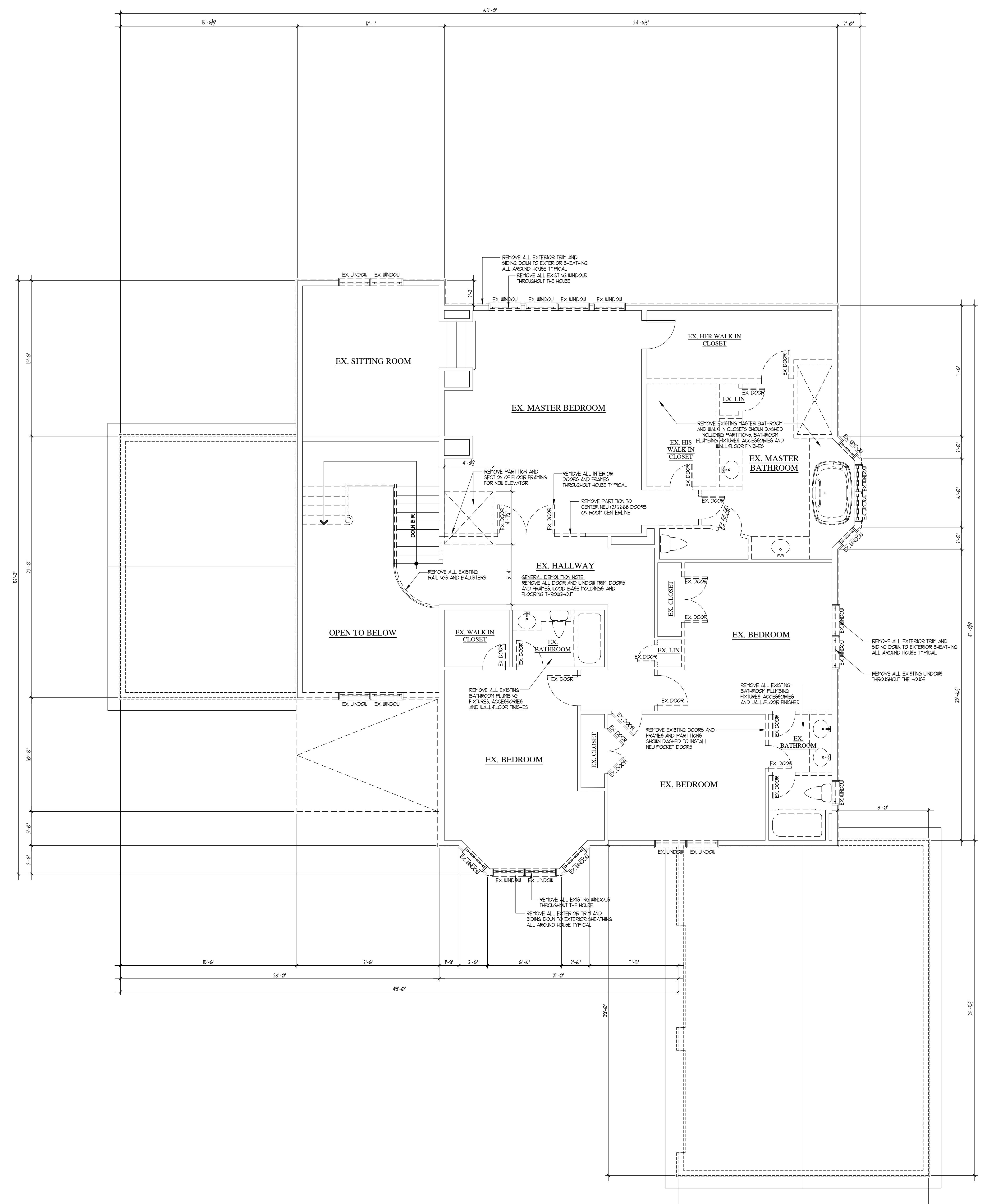
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# SECOND FLOOR DEMOLITION PLAN

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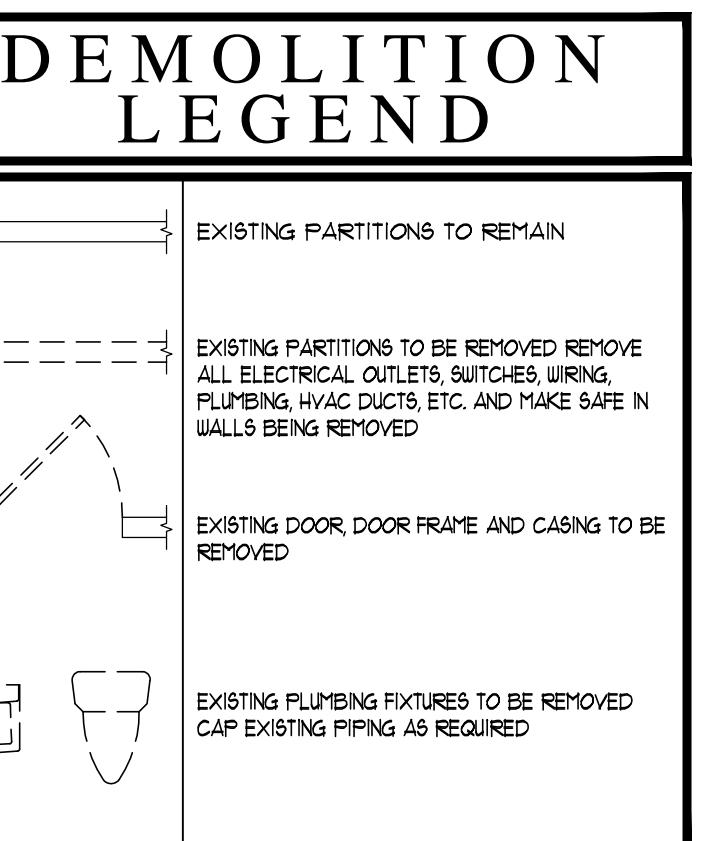
1,874 S.F. GROSS FLOOR

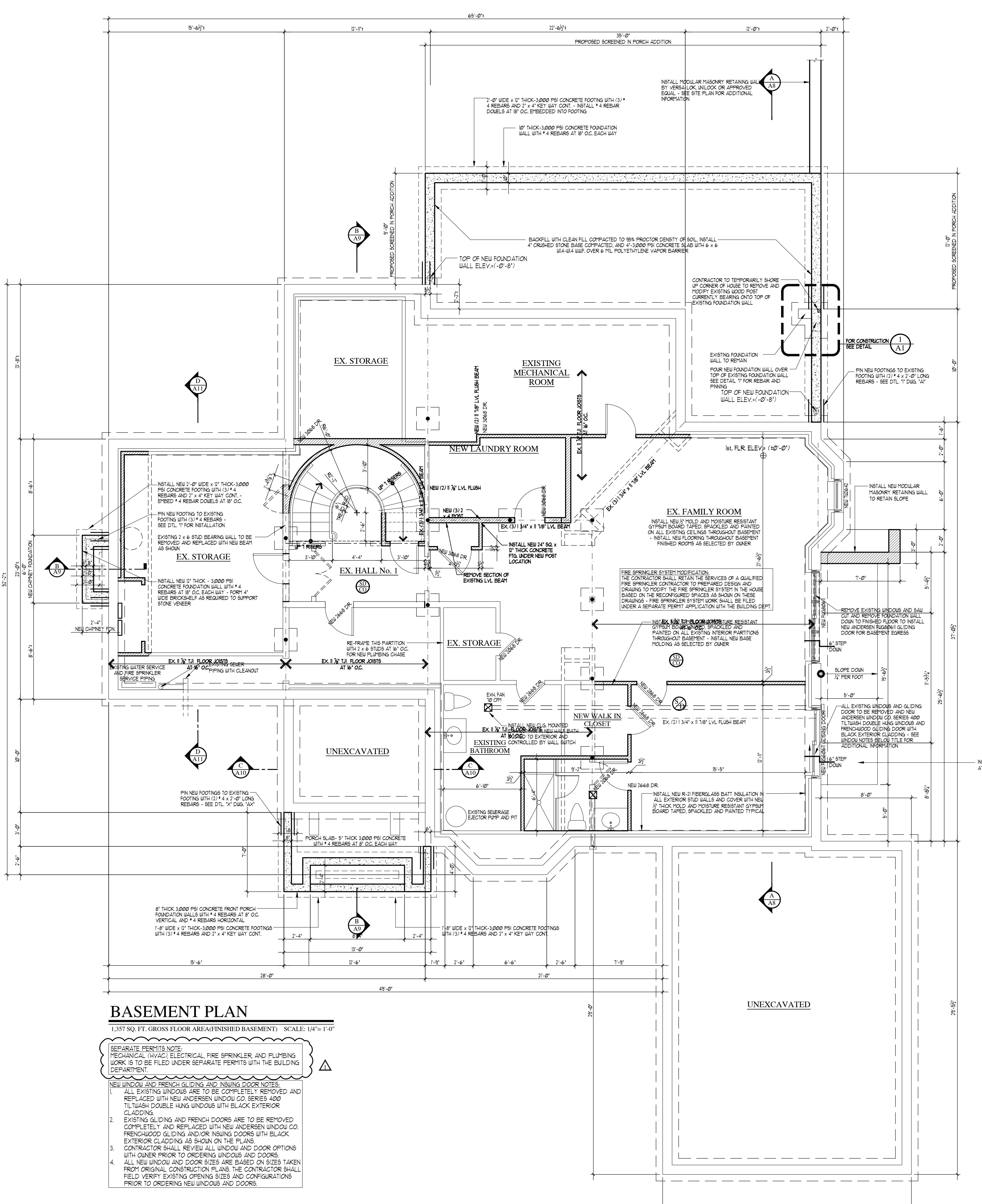
SCALE: 1/4" = 1'-0"

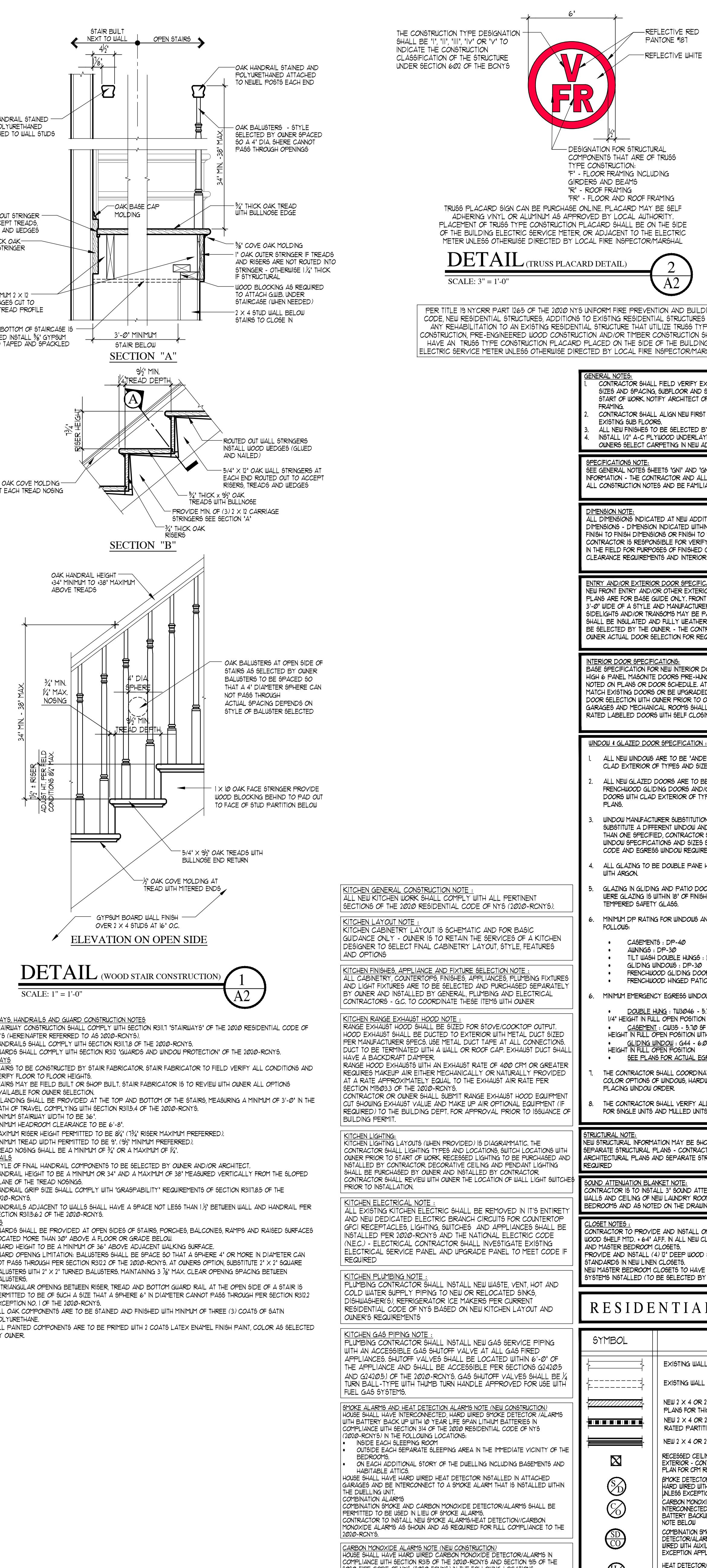
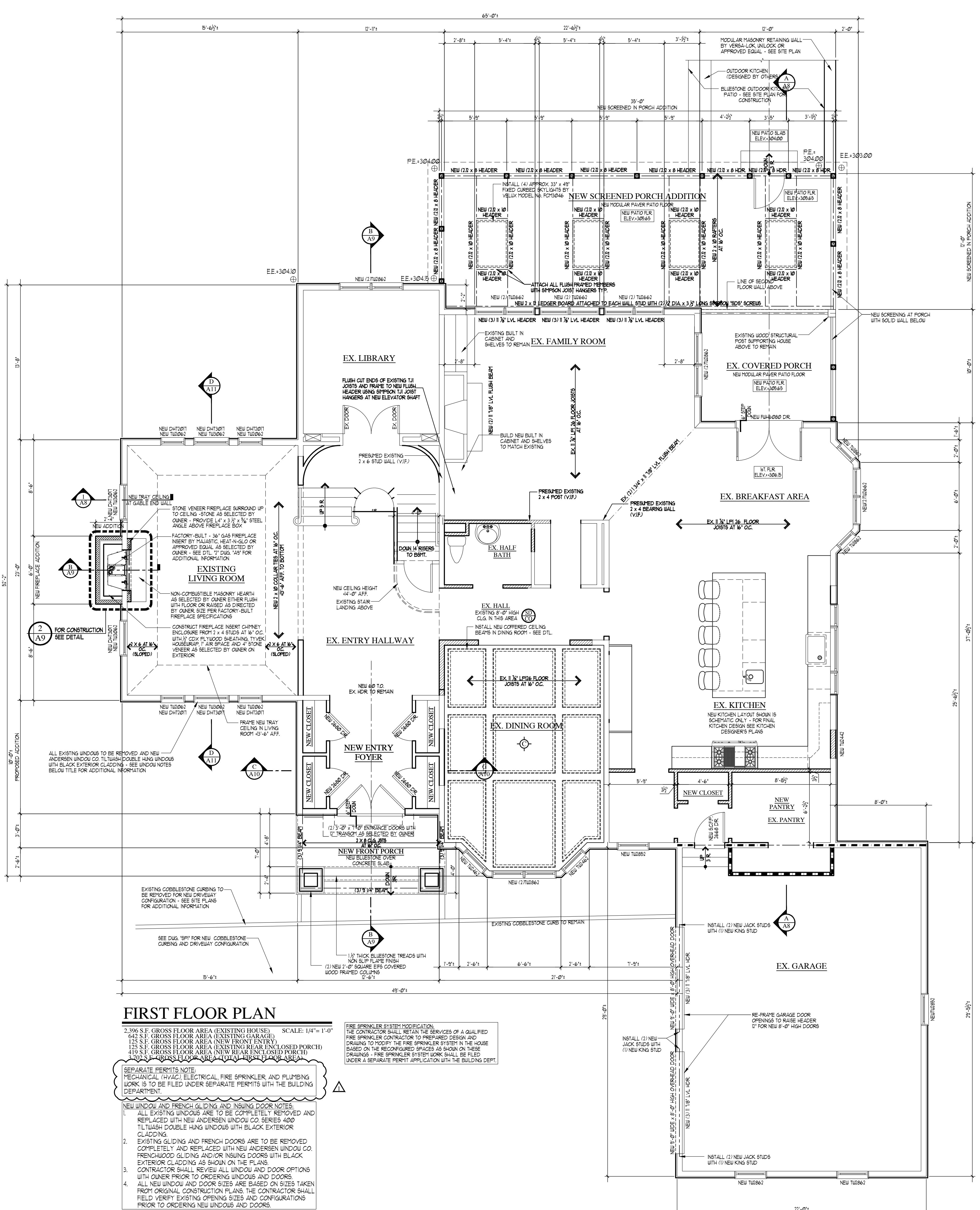
# EMOLITION LEGEND

# David A. Barbuti Architect,PC

150 White Plains Road  
Suite 103  
Tarrytown, New York 10591  
Tel : 914-909-5143  
Fax : 914-909-5144







**PROJECT NAME:** ADDITION AND ALTERATIONS  
**FOR:** THE RABADI RESIDENCE  
23 CASTLE WALK  
SCARSDALE (TOWN OF GREENBURGH), NEW YORK

**FIRST FLOOR PLAN AND DETAILS**

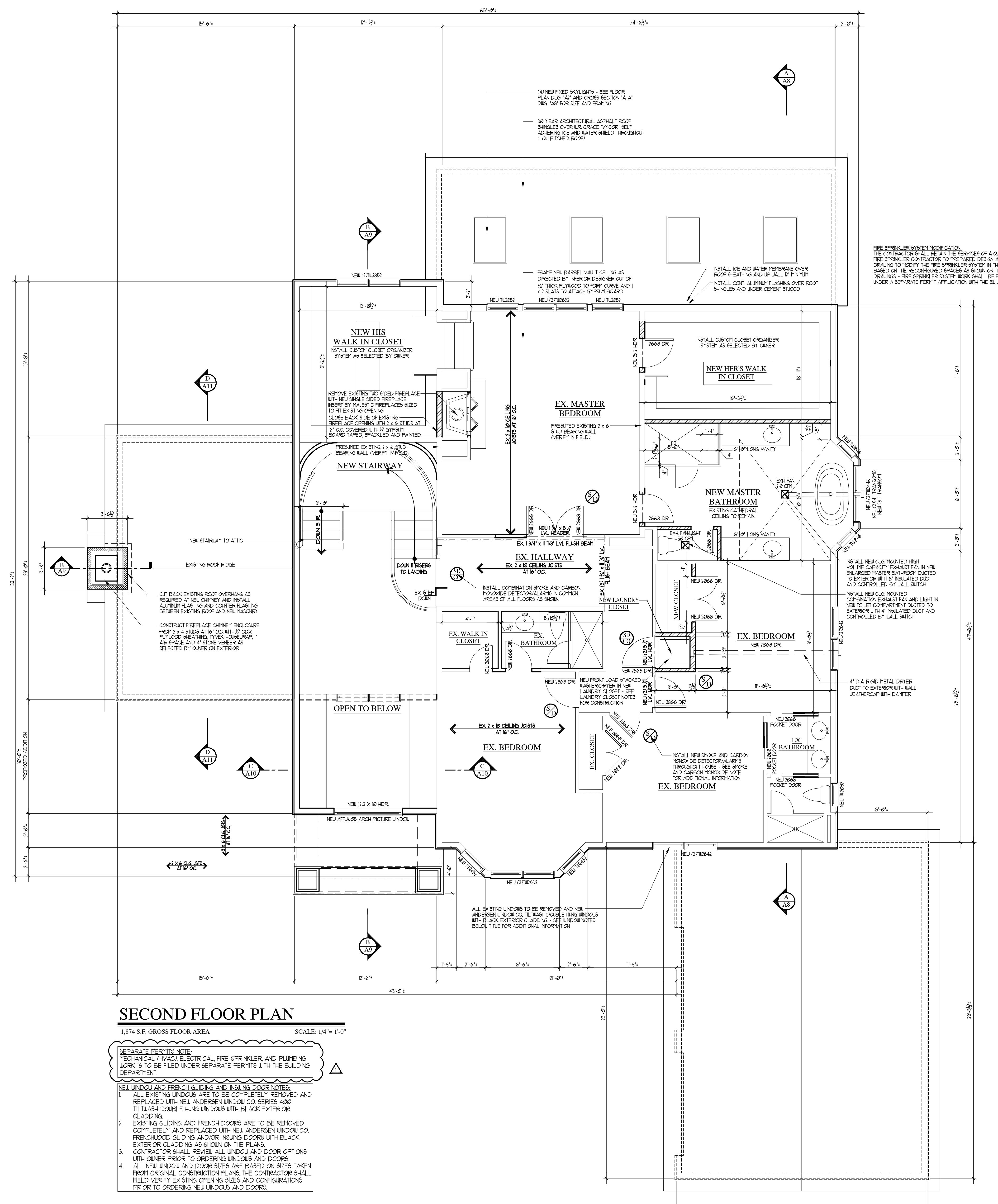
**David A. Barbuti**  
Architect, PC

150 White Plains Road  
Suite 103  
Tarrytown, New York 10591  
Tel: 914-909-5143  
Fax: 914-909-5144

DRAWN BY: C.R.P.  
CHECKED BY:  
SCALE:  
AS NOTED  
PROJECT NO.: 211109  
START DATE: 08-22-2012

CLADDED INTEGRATOR WALLS, INDUSTRIAL CONSTRUCTION FENCE, AROUND INSULATED AREA	C.P. 06/07/23
ENCLOSED IN THE CONSTRUCTION FENCE, AROUND INSULATED AREA	C.P. 06/07/23
REMOVED THE PROPOSED DRIVeway ISLAND FROM THE COVERAGE	C.P. 05/08/23
ADDED DIMENSIONS REVISED LIST OF VARANCES TO INCLUDE ALL VARIANCES LISTED	C.P. 05/08/23
REV'D DATE: DISRUPTION	

**DWG. ISSUED D**



## SECOND FLOOR PLAN

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1874 S.E. GROSS FLOOR AREA

SCALE: 1/4" = 1'

**SEPARATE PERMITS NOTE:**  
MECHANICAL (HYAC), ELECTRICAL, FIRE SPRINKLER, AND PLUMBING WORK IS TO BE FILED UNDER SEPARATE PERMITS WITH THE BUILDING DEPARTMENT.

- NEW WINDOW AND FRENCH GLIDING AND INSWING DOOR NOTES:**

  1. ALL EXISTING WINDOWS ARE TO BE COMPLETELY REMOVED AND REPLACED WITH NEW ANDERSEN WINDOW CO. SERIES 400 TILTWASH DOUBLE HUNG WINDOWS WITH BLACK EXTERIOR CLADDING.
  2. EXISTING GLIDING AND FRENCH DOORS ARE TO BE REMOVED COMPLETELY AND REPLACED WITH NEW ANDERSEN WINDOW CO. FRENCHWOOD GLIDING AND/OR INSWING DOORS WITH BLACK EXTERIOR CLADDING AS SHOWN ON THE PLANS.
  3. CONTRACTOR SHALL REVIEW ALL WINDOW AND DOOR OPTIONS WITH OWNER PRIOR TO ORDERING WINDOWS AND DOORS.
  4. ALL NEW WINDOW AND DOOR SIZES ARE BASED ON SIZES TAKEN FROM ORIGINAL CONSTRUCTION PLANS. THE CONTRACTOR SHALL FIELD VERIFY EXISTING OPENING SIZES AND CONFIGURATIONS PRIOR TO ORDERING NEW WINDOWS AND DOORS.

TECTURAL PLANS OR  
ORDINATE BETWEEN  
ANS (IF PROVIDED) AS

T INSULATION IN  
ATHROOMS, ALL NEW

ROD AND 12' DEEP  
PT LINEN CLOSETS

ADJUSTABLE  
LIVING/STORAGE

E G E N D

# David A. Barbuti Architect,PC

WALL SWITCH - SEE  
INTERCONNECTED AND  
BATTERY BACKUP  
SEE NOTE BELOW  
/ALARM -  
WIRED WITH AUXILIARY  
OPTION APPLIES - SEE  
CARBON MONOXIDE

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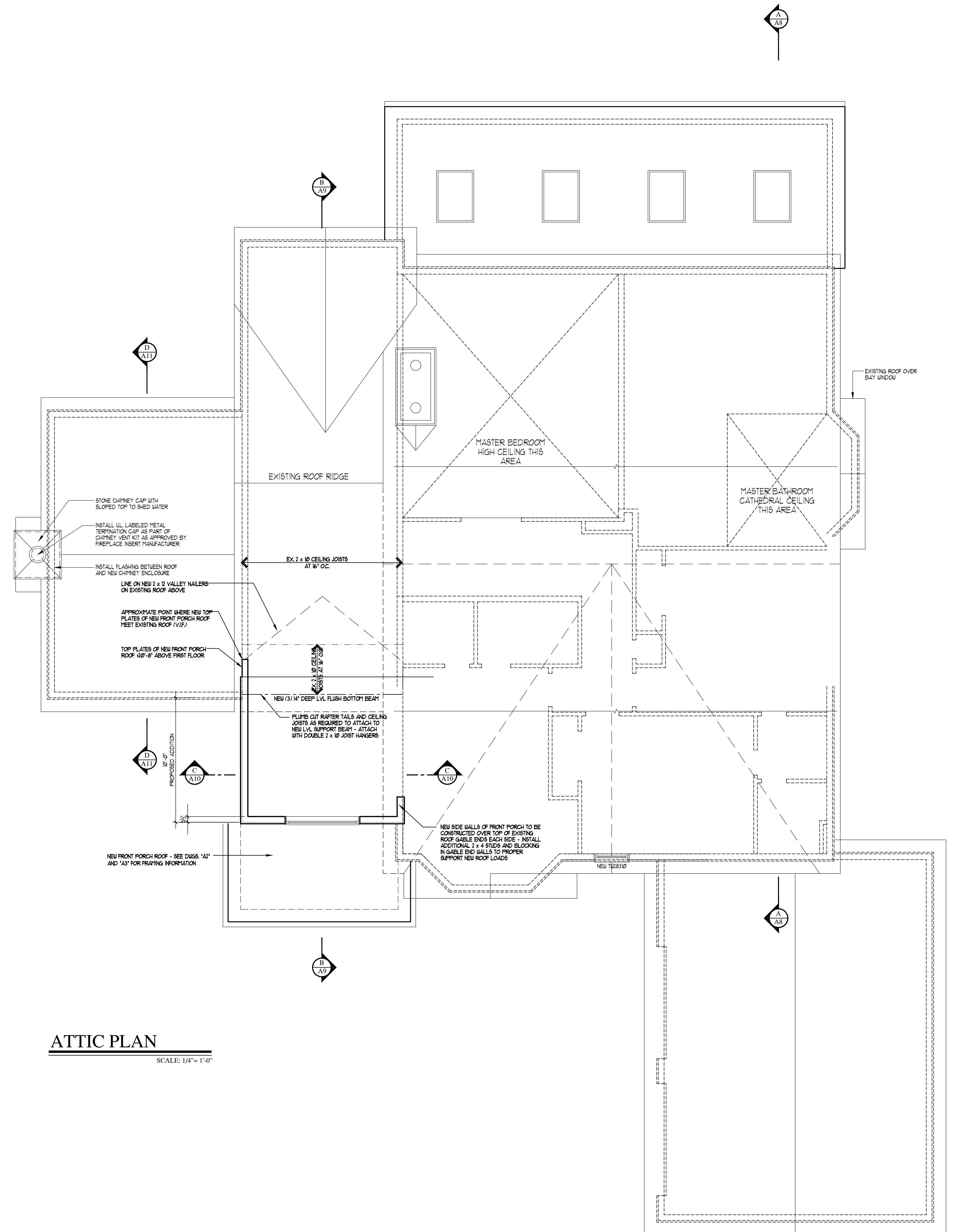
**THE TOWN OF GREENBURGH**, NEW YORK

## RESIDENTIAL LEGEND

SYMBOL	DESCRIPTION
	EXISTING WALL OR PARTITION TO REMAIN
	EXISTING WALL OR PARTITION TO BE REMOVED
	NEW 2 X 4 OR 2 X 6 WOOD STUD PARTITION SEE PLANS FOR THICKNESS'
	NEW 2 X 4 OR 2 X 6 STUD ONE HOUR FIRE RATED PARTITION
	NEW 2 X 4 OR 2 X 6 STUD BEARING WALL
	RECESSED CEILING MTD. EXHAUST FAN DUCTED TO EXTERIOR - CONTROLLED BY WALL SWITCH - SEE PLAN FOR CFM REQUIREMENTS
	SMOKE DETECTOR/ALARM - INTERCONNECTED AND HARD WIRED WITH AUXILIARY BATTERY BACKUP UNLESS EXCEPTION APPLIES - SEE NOTE BELOW
	CARBON MONOXIDE DETECTOR/ALARM - INTERCONNECTED AND HARD WIRED WITH AUXILIARY BATTERY BACKUP UNLESS EXCEPTION APPLIES - SEE NOTE BELOW
	COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR/ALARM - INTERCONNECTED AND HARD WIRED WITH AUXILIARY BATTERY BACKUP UNLESS EXCEPTION APPLIES - SEE NOTE BELOW
	HEAT DETECTOR/ALARM - INTERCONNECTED AND HARDWIRED WITH AUXILIARY BATTERY BACKUP UNLESS EXCEPTION APPLIES - SEE NOTE BELOW
	SECTION R313.1 - EXCEPTION : INTERCONNECTION IS NOT REQUIRED WHERE DETECTOR/ALARMS AND CARBON MONOXIDE DETECTOR/ALARMS ARE TESTED TO BE BATTERY OPERATED PER SECTION 313.2 WHEN INSTALLING IN BUILDINGS WITHOUT PERMANENT POWER OR IN BUILDINGS THAT UNDERGO REPAIR, ALTERATION, CHANGE OF OCCUPANCY, ADDITION OR RELOCATION IN

Barbuti PC	
s Road	
York 10591	
143	
144	
DRAWN BY : C.R.P.	
CHECKED BY :	
SCALE :	
AS NOTED	
PROJECT NO :	
211109	
START DATE :	
08-22-2022	

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## ATTIC PLAN

SCALE: 1/4" = 1'

## RESIDENTIAL LEGEND

SYMBOL	DESCRIPTION	PROJECT NAME: ADDITION FOR: THE RAH 23 CASTLE W/ SCARSDALE (	DWG. TITLE:
	EXISTING WALL OR PARTITION TO REMAIN		
	EXISTING WALL OR PARTITION TO BE REMOVED		
	NEW 2 X 4 OR 2 X 6 WOOD STUD PARTITION SEE PLANS FOR THICKNESS		
	NEW 2 X 4 OR 2 X 6 STUD ONE HOUR FIRE RATED PARTITION		
	NEW 2 X 4 OR 2 X 6 STUD BEARING WALL		
	RECESSED CEILING MTD. EXHAUST FAN DUCTED TO EXTERIOR - CONTROLLED BY WALL SWITCH - SEE PLAN FOR CFM REQUIREMENTS		
	SMOKE DETECTOR/ALARM - INTERCONNECTED AND HARD WIRED WITH AUXILIARY BATTERY BACKUP UNLESS EXCEPTION APPLIES - SEE NOTE BELOW		
	CARBON MONOXIDE DETECTOR/ALARM - INTERCONNECTED AND HARD WIRED WITH AUXILIARY BATTERY BACKUP UNLESS EXCEPTION APPLIES - SEE NOTE BELOW		
	COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR/ALARM - INTERCONNECTED AND HARD WIRED WITH AUXILIARY BATTERY BACKUP UNLESS EXCEPTION APPLIES - SEE NOTE BELOW		
	HEAT DETECTOR/ALARM - INTERCONNECTED AND HARDWIRED WITH AUXILIARY BATTERY BACKUP UNLESS EXCEPTION APPLIES - SEE NOTE BELOW		
FROM SECTION R313.11 - EXCEPTION : INTERCONNECTION IS NOT REQUIRED WHERE SMOKE DETECTOR/ALARMS AND CARBON MONOXIDE DETECTOR/ALARMS ARE PERMITTED TO BE BATTERY OPERATED PER SECTION 313.12 WHEN INSTALLING IN BUILDINGS WITHOUT PERMANENT POWER OR IN BUILDINGS THAT UNDERGO REPAIR, ALTERATION, CHANGE OF OCCUPANCY, ADDITION OR RELOCATION IN ACCORDANCE WITH APPENDIX J.			
<p>DRAWN BY: C.R.P. CHECKED BY: SCALE: AS NOTED PROJECT NO.: 211109 START DATE : 08-22-2022</p>			

# David A. Barbuti Architect, PC

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Fax : 914-909-5144

DRAWN  
BY

BY : C.R.P.

SCALE :

**AS NOTED**

211109





FRONT ELEVATION

SCALE: 1/4" = 1'-0"

- NEW WINDOW AND FRENCH GLIDING AND INSULATING DOOR NOTES:**
- ALL EXISTING WINDOWS ARE TO BE COMPLETELY REMOVED AND REPLACED WITH NEW ANDERSEN WINDOW CO. SERIES 400 TILT AND DOUBLE HUNG WINDOWS WITH BLACK EXTERIOR CLADDING.
  - EXISTING GLIDING AND FRENCH DOORS ARE TO BE REMOVED COMPLETELY AND REPLACED WITH NEW ANDERSEN WINDOW CO. FRENCHWOOD GLIDING AND/OR INSULATING DOORS WITH BLACK EXTERIOR CLADDING.
  - CONTRACTOR SHALL REVIEW ALL WINDOW AND DOOR OPTIONS WITH OWNER PRIOR TO ORDERING WINDOWS AND DOORS.
  - ALL NEW WINDOW AND DOOR SIZES ARE BASED ON SIZES TAKEN FROM ORIGINAL CONTRACTUAL PLANS. THE CONTRACTOR SHALL FELT ALL EXISTING OPENINGS AND DOOR CONFIGURATIONS PRIOR TO ORDERING NEW WINDOWS AND DOORS.
  - INSTALL NEW WE GRACE V-COR SELF ADHERING FLASHING AT ALL EXISTING OPENINGS IN CONJUNCTION WITH THE NEW TYPEK HOUSEWARE AS PART OF NEW EXTERIOR SIDING (SEE BELOW).



RIGHT SIDE ELEVATION

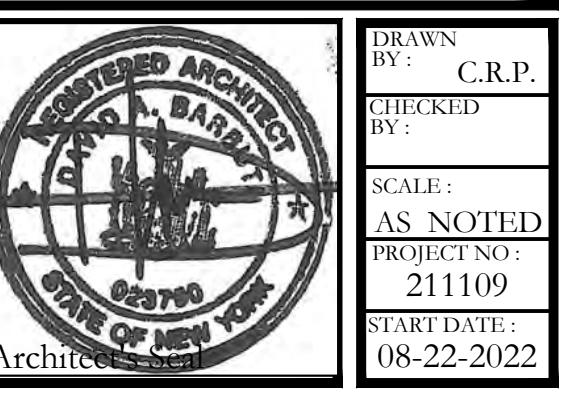
SCALE: 1/4" = 1'-0"

PROJECT NAME:  
ADDITION AND ALTERATIONS  
FOR:  
THE RABADI RESIDENCE

23 CASTLE WALK  
SCARSDALE (TOWN OF GREENBURGH), NEW YORK  
DWG. TITLE:  
FRONT AND RIGHT SIDE ELEVATIONS

David A. Barbuti  
Architect, PC

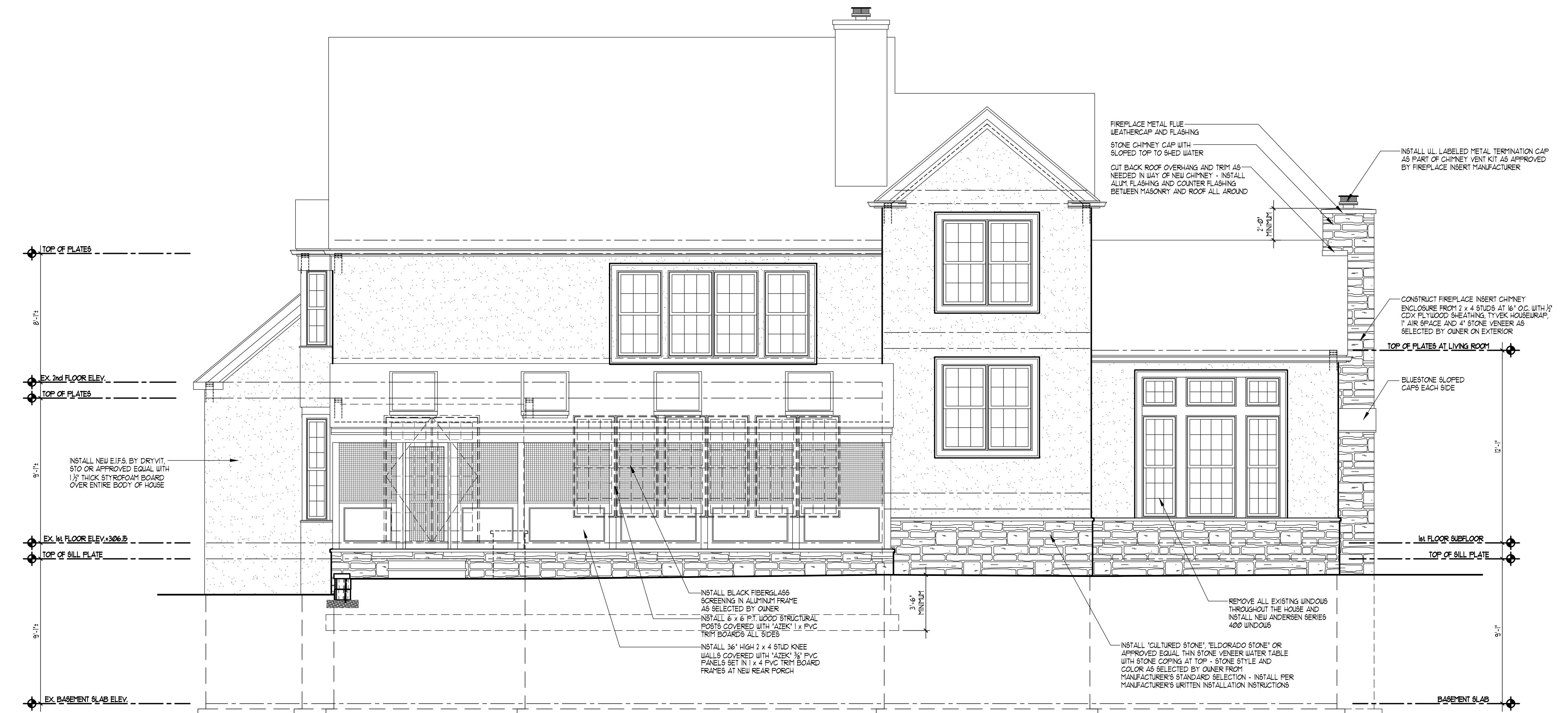
150 White Plains Road  
Suite 103  
Tarrytown, New York 10591  
Tel : 914-909-5143  
Fax : 914-909-5144



DRAWN BY: C.R.P.  
CHECKED BY:  
SCALE: AS NOTED  
PROJECT NO: 211109  
START DATE: 08/22/2010

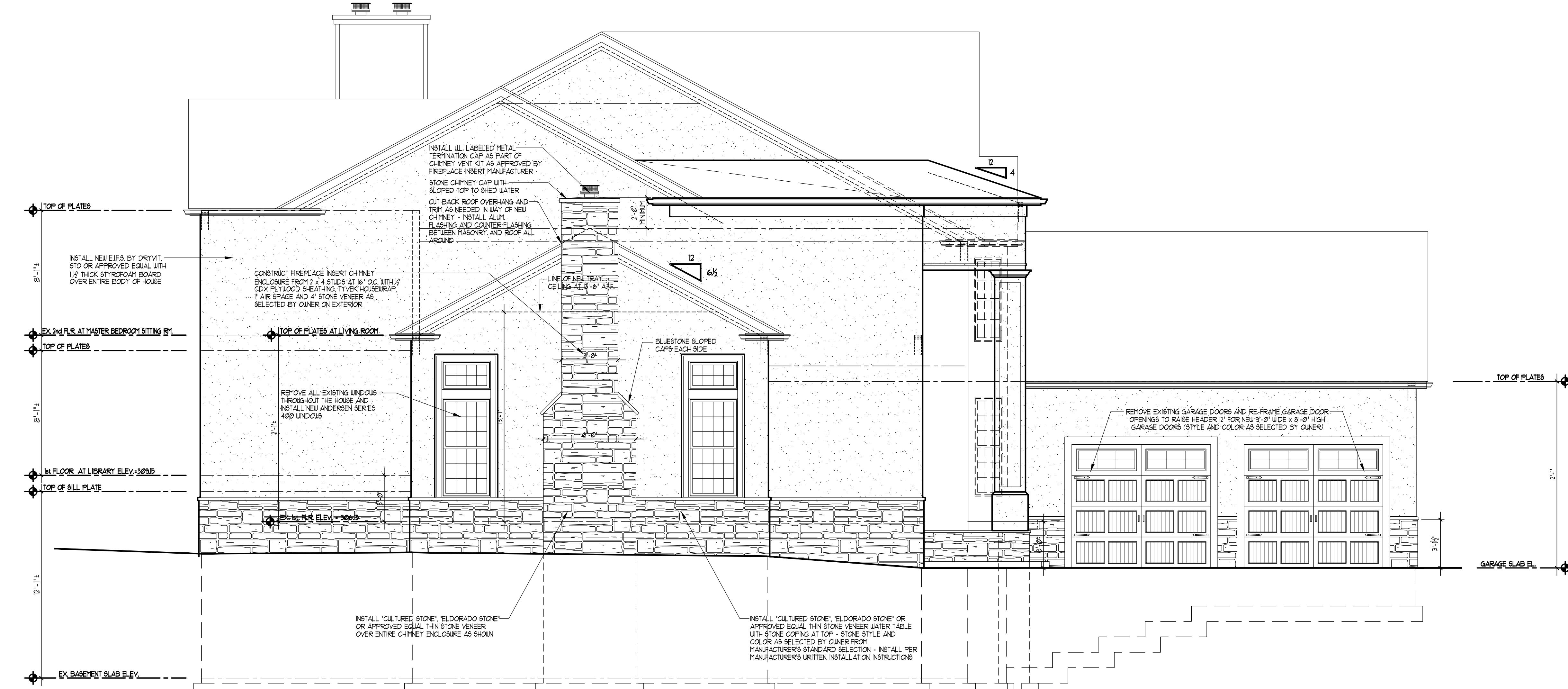
SHEET No.

A'



## REAR ELEVATION

SCALE: 1/4":



## LEFT SIDE ELEVATION

---

SCALE: 1/4"

Route 105  
Tarrytown, New York 10591  
Tel : 914-909-5143  
Fax : 914-909-5144

DRAWN BY : C.R.P.

CHECKED BY :

SCALE :

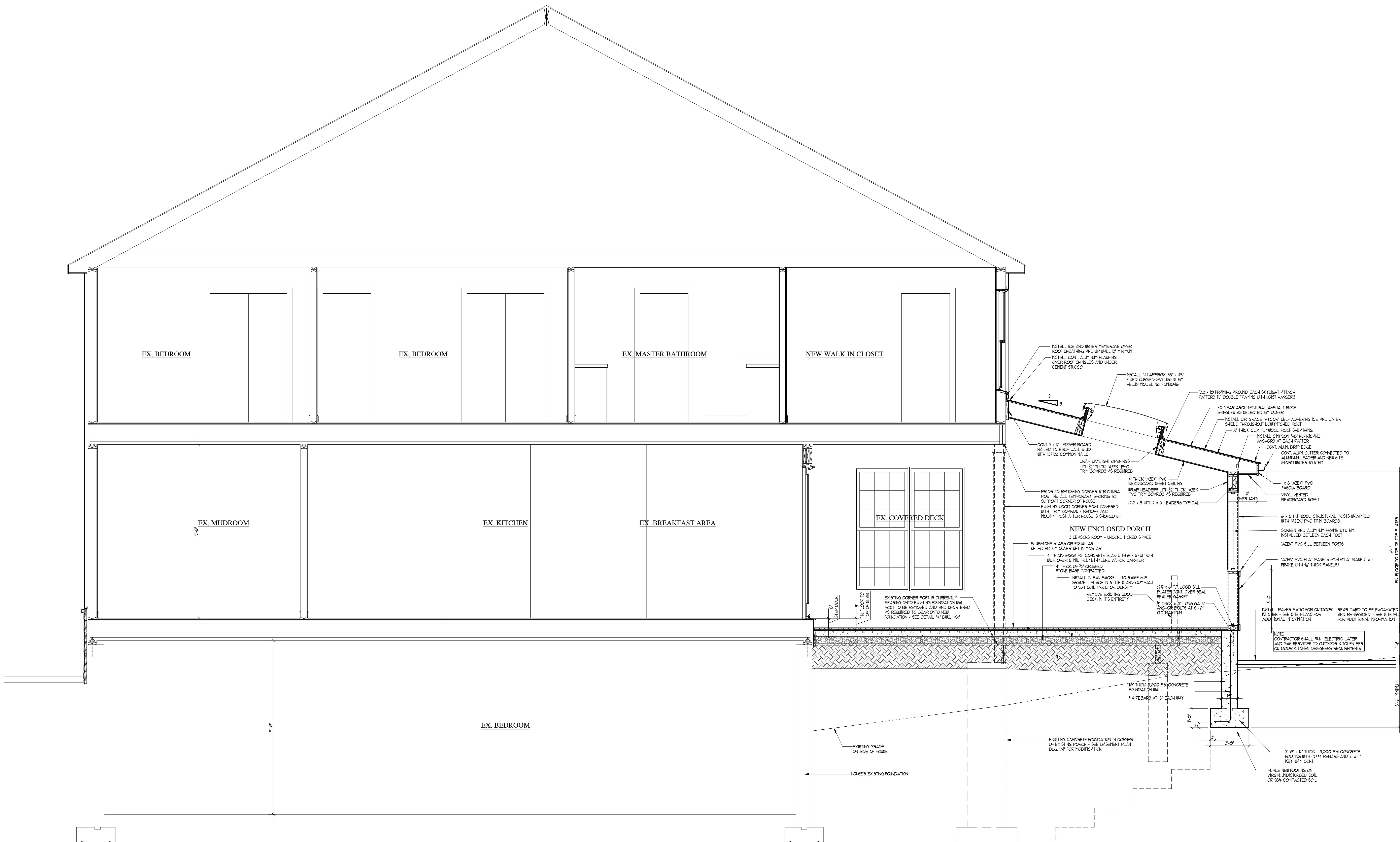
AS NOTED

PROJECT NO : 211109

START DATE : 08-22-2022

**SHEET No.**

A8

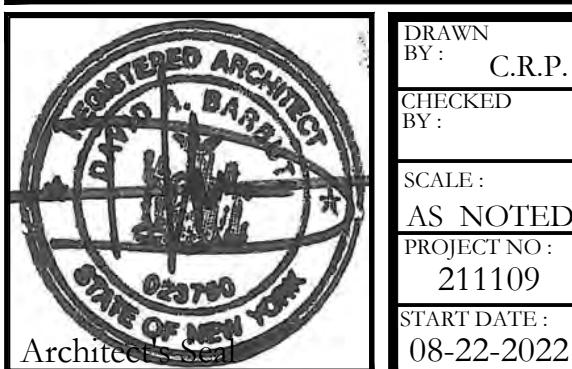


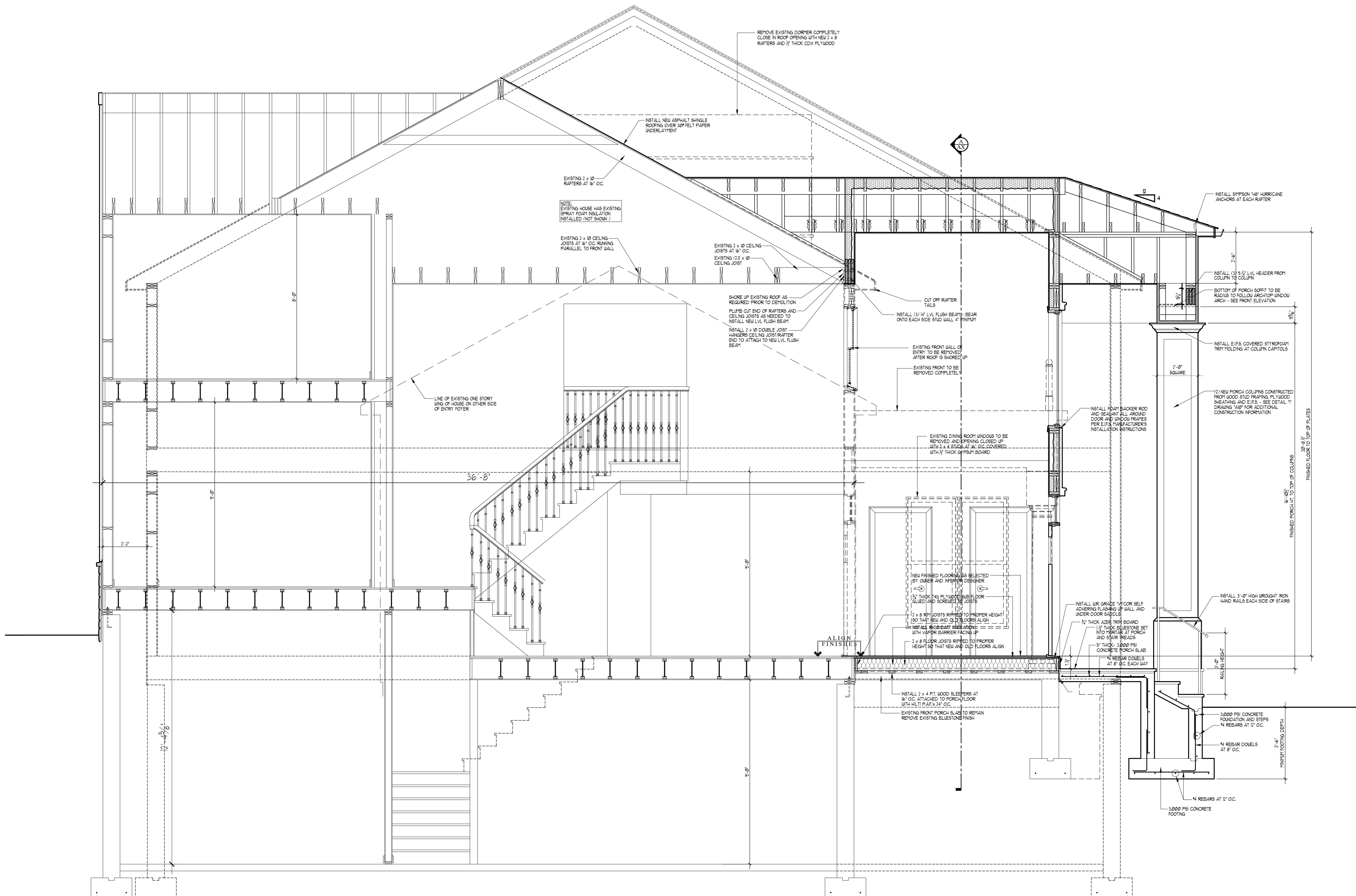
## CROSS SECTION "A-A"

SCALE: 1/2" = 1'-0"

PROJECT NAME : ADDITION AND ALTERATION  
FOR : THE RABADI RESIDENCE  
3 CASTLE WALK  
CARSDALE (TOWN OF GREENBURGH)  
W.G. TITLE : CROSS SECTION "

# David A. Barbuti Architect,PC





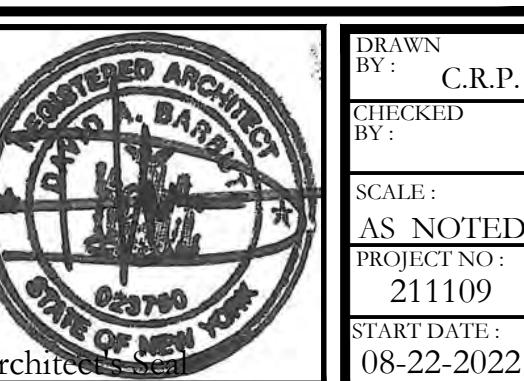
## CROSS SECTION "B-B"

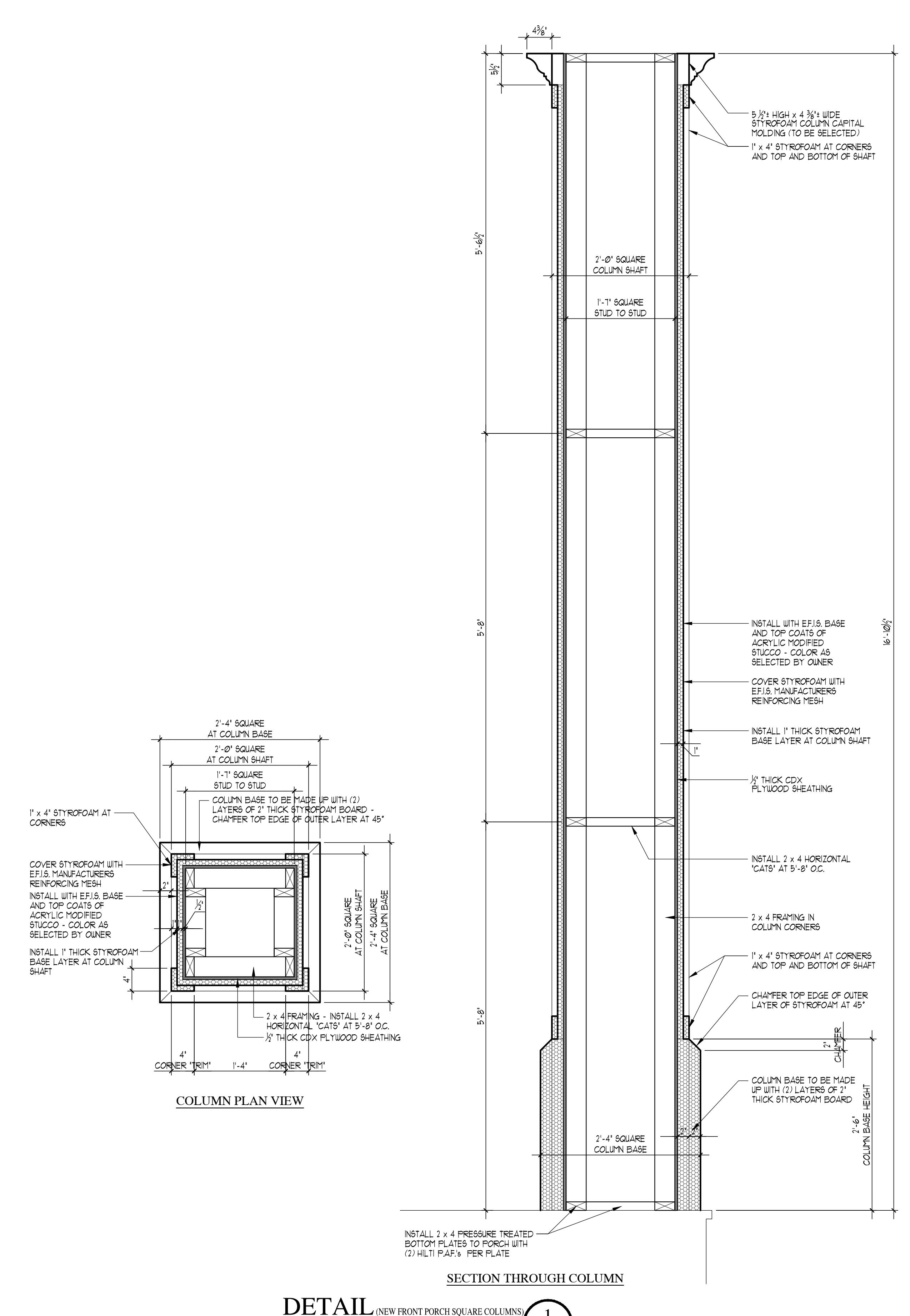
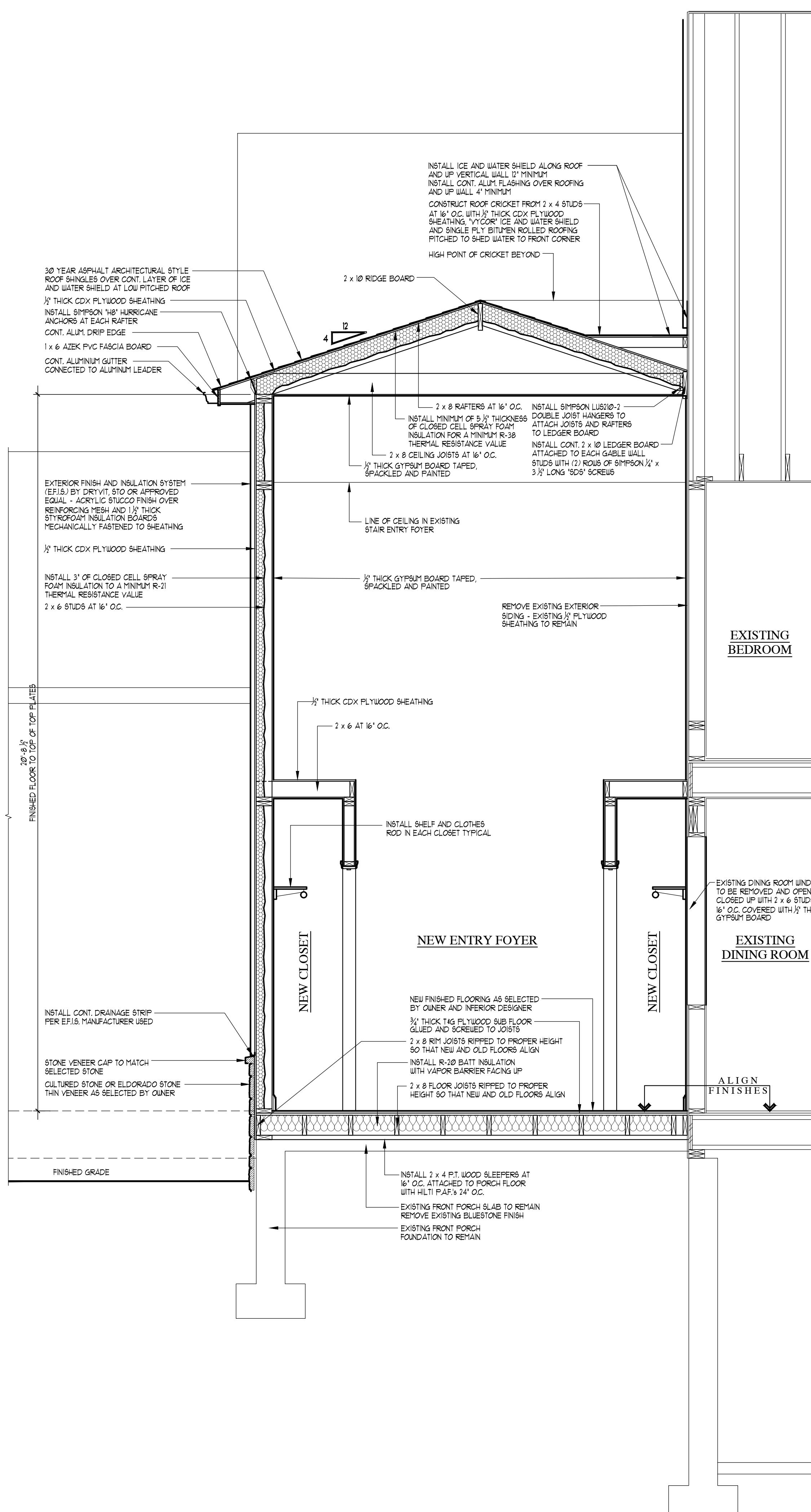
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SCALE: 1/2" = 1'

David A. Barbuti  
Architect, PC

50 White Plains Road  
suite 103  
Tarrytown, New York 10591  
Tel : 914-909-5143  
Fax : 914-909-5144





PROJECT NAME:  
ADDITION AND ALTERATIONS  
FOR:  
THE RABADI RESIDENCE  
23 CASTLE WALK  
SCARSDALE (TOWN OF GREENBURGH), NEW YORK  
DWG. TITLE: CROSS SECTION "C-C" AND DETAILS

David A. Barbuti,  
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Tarrytown, New York 10591  
Tel : 914-909-5143  
Fax : 914-909-5144



DRAWN BY: C.R.P.  
CHECKED BY:  
SCALE: AS NOTED  
PROJECT NO: 211109  
START DATE: 08-22-2012

