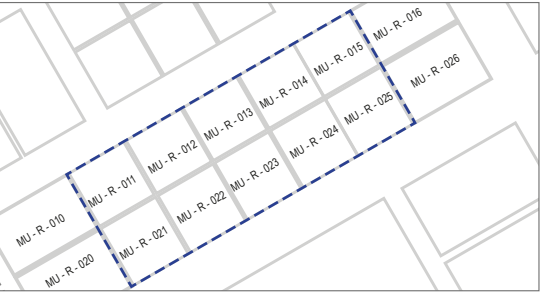
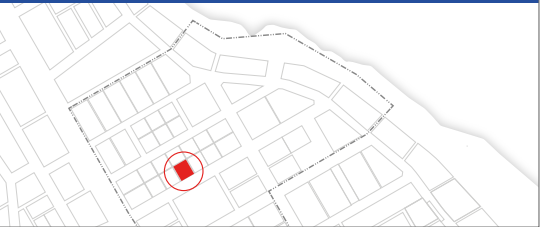
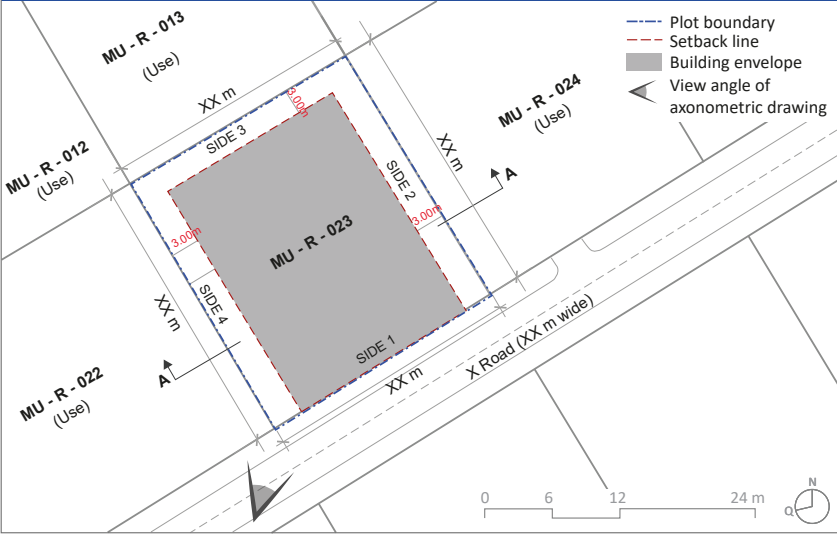


Plot Location Key Plan(s)



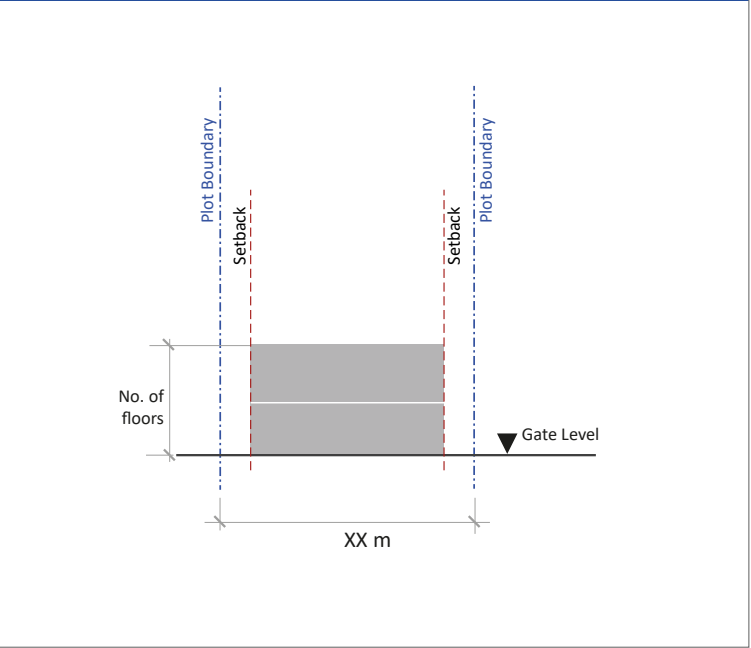
Plot Guidelines Plan



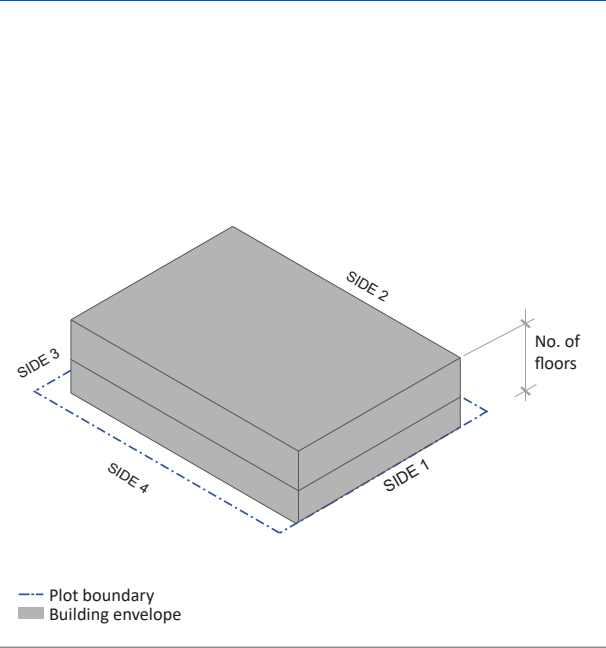
Development Details

Plot(s) ID		MU - R - 023			
Number of villas in plot					
Land uses		GFA (sq. m)		Parking rate	
Level 1	Level 2				
Residential	Villa				
Total plot area (sq. m)					
Building height		G+ xx (xxm)*			
To be provided in special cases only, see chapter 6.1 of the Master Planning Guidelines.					
Minimum setback (m)		Side 1	Side 2	Side 3	Side 4
Villa					
Boundary wall		Permitted			Y / N
Architectural guidelines of boundary wall treatment must be followed.		Mandatory			Y / N
Boundary wall height					xxm

Cross Section AA



Axonometric - Building Massing



General Notes

- Architectural guidelines must be followed.
- (Service block, garage and pergolas/shading devices) are allowed within setback at a maximum height of (indicate in meters).
- Balcony projection are (allowed) in setbacks. Projection allowed within setback is (indicate in meters) for all sides.
- (indicate in percentage) of the roof can be usable with a (indicate in meters) setback. Allowed uses of the roof include (gym and storage).
- (master developer may edit these statements to fit the masterplan)

Plot Specific Notes

-Any additional notes (if available) by the master developer must be added in this box

Figure 9.11: Example plot development guideline for a villa