

6.3. Setbacks

Building setbacks must be estimated as the horizontal distance measured at right angles to the boundary of the plot between the nearest part of any building or structure on the plot and the plot boundary.

Building setbacks' minimum requirements differ depending on the building typology and adjacent infrastructure and land uses such as roads, open space or other buildings.

The minimum requirements for building setbacks are set out in this section. In special cases, higher setbacks than required may be proposed to some or all sides of plots. These must be clearly demonstrated and will be subject to approval from DDA.

The impact of building setbacks on the public space must be considered at the master plan level. Building setbacks must also be set out in the Plot Development Guidelines for each plot. Further information is provided in Chapter 9.

The following rules must be followed when defining the setbacks for all building typologies:

- Building projections (such as balconies and overhangs) are allowed in setbacks and limited to a maximum of 1.5m. However, in case of balcony projection, clear setback beyond the balcony must be maintained in line with Table 6.3. Projections are not permitted to extend beyond the plot limit;
- Setbacks must be applied to all floors. In the case of buildings with podiums, podium setbacks are applied to all podium floors and building setbacks are applied to all building floors; and
- Additional Setback of 1.5m is required for the roof.

Villas and Attached Villas

The minimum setback for villas and attached villas from adjacent neighboring sides is three meters. Zero setback is allowed with the following conditions:

- No projections (like balconies); and
- Adjacent to a ROW with a minimum width of 18m.

Tables 6.1 and 6.2 and Figures 6.5 and 6.6 illustrate the setback requirements for villas and attached villas.

Garages and service blocks are the only allowed uses in villa and attached villa setbacks.

	Minimum Setback (m)	Minimum Setback Adjacent Attached Villas or ROW (m)
Attached Villas	3	0

Table 6.1: Attached villas setbacks

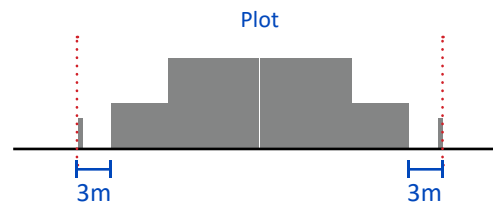


Figure 6.5: Attached villas setbacks

	Minimum Setbacks (m)	Minimum Setback from ROW and Adjacent Villas* (m)
Villa	3	3

Table 6.2: Villa setbacks

* in special cases such as attached villas with expansion joints (structurally independent units) or townhouses setback can be zero between adjacent villas.

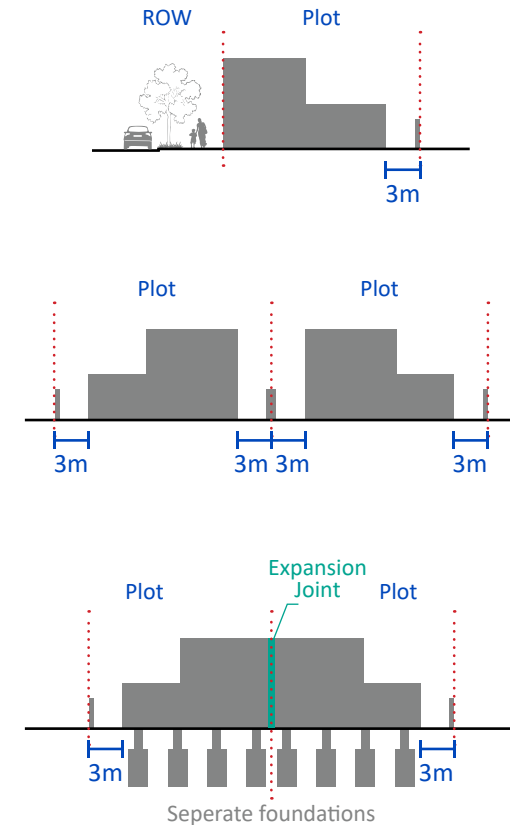


Figure 6.6: Villa setbacks