

5.3.6 Residential/Emirati Neighbourhood Context

The Residential/Emirati Neighbourhood Context provides a variety of housing opportunities, allowing for densities varying from villa to multi-dwelling residential buildings. Emirati neighbourhoods are primarily designed as very low density residential, comprising villas only. The major share of utility demand is of a domestic nature.

District cooling is not provided as standard for this context as it is generally not economically viable due to the low density of buildings.

The typical utility corridors arrangement cross sections are illustrated on the following page. Full arrangements are provided in Appendix C.

TYPICAL RESIDENTIAL/EMIRATI NEIGHBOURHOOD BOULEVARD WITHOUT FRONTAGE LANE

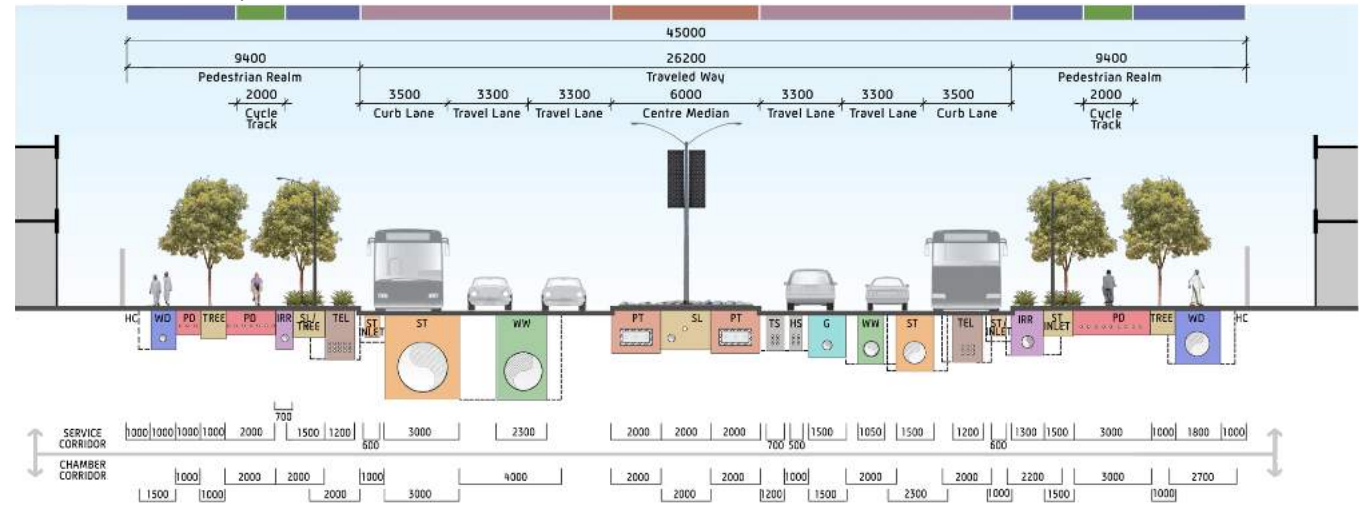


Table 5.5: Typical Service Corridor Allocations – Residential/Emirati Neighbourhood Context

Street Family	Side 1											Middle			Side 2														
	Public Realm									Traveled Way		Median			Traveled Way							Public Realm							
	HC	WD.	Power Dist.	SL	SL./ Tree	Tree	IRR.	Tel.	ST. Inlet	WW.	ST.	Power Trans.	SL./ IRR. Tree	IRR.	TS.	HS.	Gas	ST.	WW.	ST. Inlet	Tel.	IRR.	Tree	SL./ Tree	SL.	Power Dist.	WD.	HC	
Boulevard #	1000	1000	3000		1500	1000	700	1200	1000	2300	3000	4000	2000		700	500	1500	1500	1050	1000	1200	1300	1000	1500		3000	1800	1000	
Avenue ##	1000	1000	2000		1500	1000	700	800	1000	2300	2500	2000	1500	1100	700	500	1500		1550	1000	800	700	1000	1500		2000	1300	1000	
Street ###	1000	1000	1500		1500		700	800	1000	1050							1000	1500		1000	800				1000	1500	1000	1000	
Access Lane ####	1000	1000	1000						1000	1050	1050						1000				800	700		1500		1000	1000	1000	
Access Lane	1000	1000	1000	750						1050							1000			1000	800					1000	1000	1000	

‡ Without Frontage Lane. ‡‡ With parking and cycle tracks on both sides. ‡‡‡ With parking on both sides. ‡‡‡‡ With parking on one side.