

In the absence of a reliable number of units, which is fundamental for establishing residential population numbers, the total residential GFA should be used. A breakdown of 31% and 69% for National and non-National residential GFA should be used, respectively. These ratios were estimated based on a reversed calculation from the standard assumption of National to non-National population ratio of 10:90 explained above. An apartment unit size of 100sq. m and villa unit size of 400sq. m of GFA may be applied to convert the GFA to number of units. Figure 3.5 provides the formula for estimating residential population in this case.

High Density

For master plans with exclusively higher density apartments, the ratio of 100% apartments with a household size of 4.0 is accepted. Figure 3.6 provides two formulas for estimating residential population for this case based on available information.

These population numbers will form the basis of all pertinent calculation and be used to establish appropriate levels of service of community facilities and public open space by DDA.

Please note that residential population only refers to permanent residents and excludes any visitors or temporary residents such as hotel dwellers. It also excludes any staff or laborer accommodation for whom specific, separate standards apply.

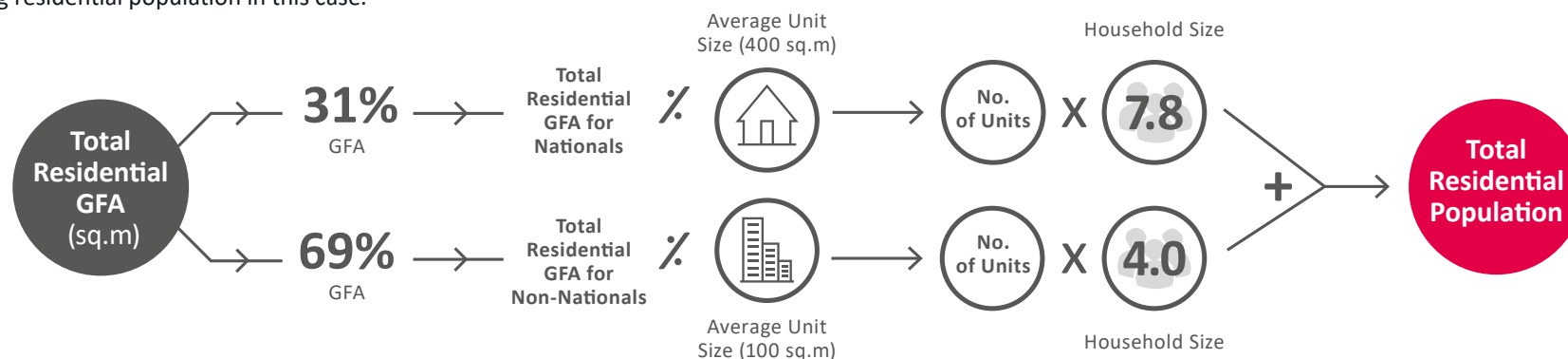


Figure 3.5: Residential Population calculation formula when total residential GFA (sq. m) is known



Figure 3.6: Population calculation formulas for higher density master plans with 100% apartments