

6.4. Build-to-Line

The build-to-line is used as a means of enforcing the continuity of the building façades on a series of adjacent sites, in order to emphasize a street frontage or the definition of a public open space.

If proposed, the strategy which justifies the implementation of build-to-line must be clearly demonstrated in the submission to DDA. Build-to-lines must be illustrated in a full master plan scale map with the following items clearly defined:

- The set compliance percentage(s); and
- Whether the build-to-line is applicable to ground floor only.

Additionally it must be illustrated in the PDG in two ways:

- Include build-to-lines in the plan view; and
- Include a table outlining the distance and number of floors affected and percentage compliance for each side of the plot where a build-to-line is included as illustrated in Table 6.4.

If a build-to-line is specified on a plot, the master plan must include a minimum acceptable compliance percentage. If a compliance percentage is not specified, 30% must be used. Examples of correct and incorrect build-to-lines compliance are illustrated in Figure 6.11.

Modifications in the build-to-line for any plot must be considered as a master plan modification.

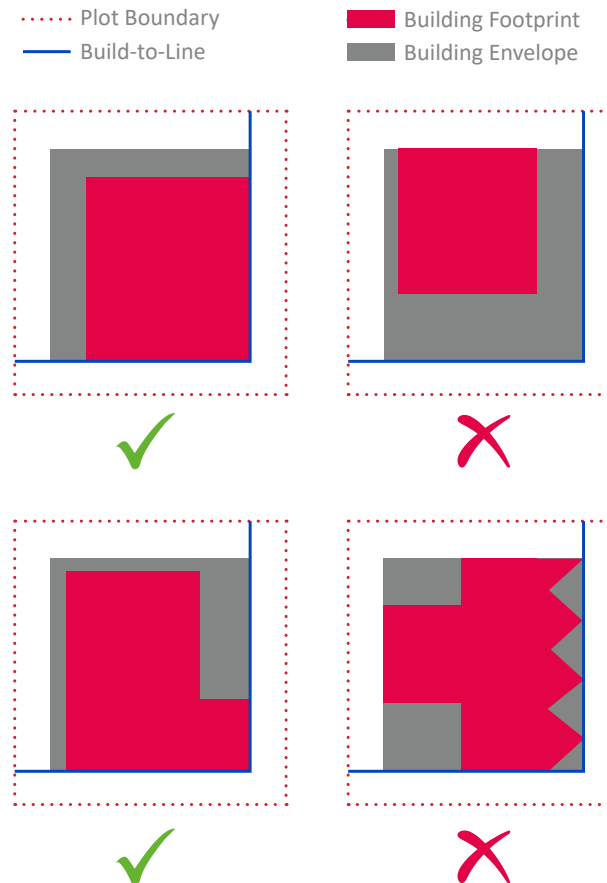


Figure 6.11: Example of correct and incorrect build-to lines compliance

Build-to-Line	Side 1	Side 2	Side 3	Side 4
Number of Floors Affected				
Compliance Percentage (%)				

Table 6.4: Build-to-line table to include in the PDG

Boundary Wall

The ownership, treatment and role within the public realm of the boundary walls must be specified within the Plot Development Guidelines.

In some situations, a boundary wall is required for a villa or a building specifically in desert areas. The requirement of boundary walls for other land uses could be set by the developer when required.

If a boundary wall is shared between two plots, it must be built within the plot limit of either of the sharing plots. Figure 6.12 illustrates examples of correct and incorrect provision of shared boundary wall. The maximum height for a boundary wall must be 2.5m. If a boundary wall is required for security purposes, they should not limit the interaction with the public space and adjacent land uses. Figure 6.13 illustrates some examples of disrupted public space.

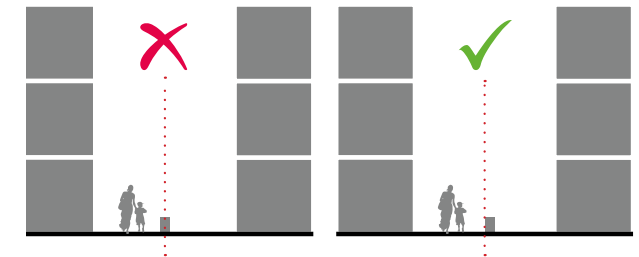


Figure 6.12: Shared boundary wall

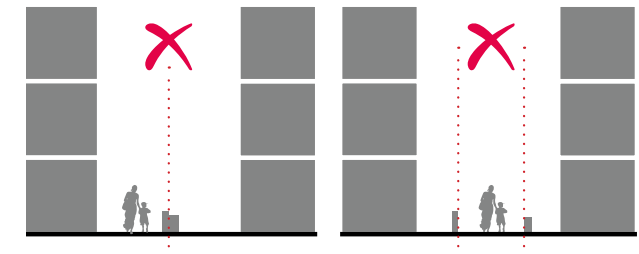


Figure 6.13: Boundary wall interrupting public realm access