

Agricultural Applications: How are they different from Commercial or Industrial Applications?

Presentation at workshop
***“Streamlining Process & Approaches to Agricultural
Applications in Municipalities & Conservation Authorities
Golden Horseshoe Food & Farming Alliance”***



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Farming in urbanized areas can be challenging

- I've worked 34 years in urban-agriculture areas
- In 1980, 18 OMAF offices in Greater Golden Horseshoe; 4 today...reflects urbanization
- People/crop acre tells story
 - Huron County = 0.24
 - Peel Region = 43



**Last dairy farm in Toronto;
Eglinton, 403, McLaughlin 2004**



Google maps 2014

7 issues facing farmers in 'urbanized' areas

1. ↓ **Clout**: Smaller farms/parcels/equipment/political voice
2. ↑ **Costs**: Land, labour, worker housing, inputs
3. ↓ **Help**: Fewer agribusiness & qualified consultants
4. ↑ **Time**: Municipal approvals; inconsistent, different staff
5. ↓ **Certainty**: Encroachment, planning tricky, '*Diyd-Diyd*'
6. ↑ **Neighbours**: 100's to complain, dump, trespass, etc.
7. ↓ **Safety**: Entering/travelling roads, timing sprays, etc.

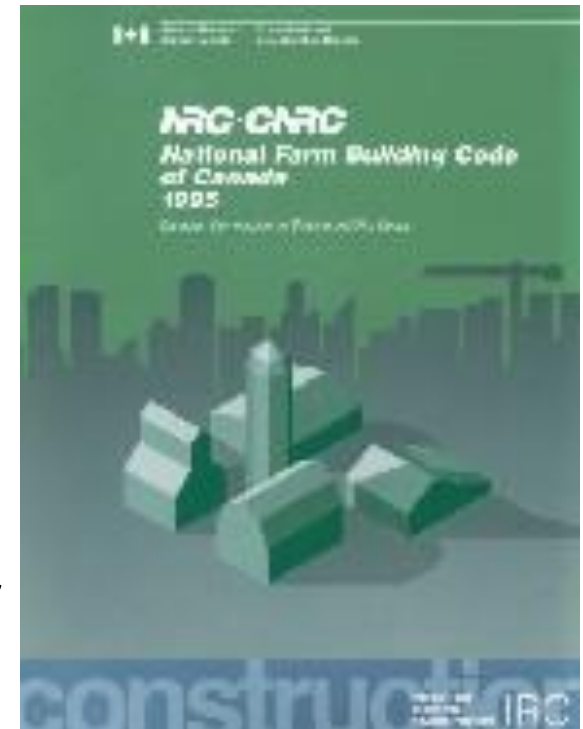
Consistency of rules is important

- Local municipalities enforce Building Code Act & Regs
- Safe farm buildings are essential, but consistency with the rules in 'rural' Municipalities is equally important
- Local, provincial, federal & international competition
 - Buildings not even necessary in some US areas
 - Building rules less stringent in some areas
 - Environmental rules may be far less strict & less costly
 - Balanced approach needed to keep a 'level playing field'



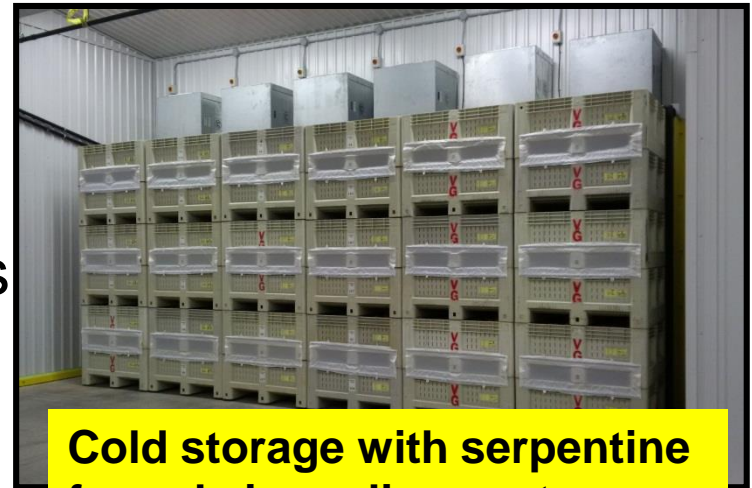
National Farm Building Code of Canada, 1995

- Outlines minimum requirements for human health, fire safety & structural sufficiency in farm buildings
- Describes types of structures that are low & high human occupancy
- Farm buildings are often remotely located & few people work in them, so they do not fall exclusively under National Building Code of Canada
- NFBC needs update; farm buildings have changed a lot since 1995

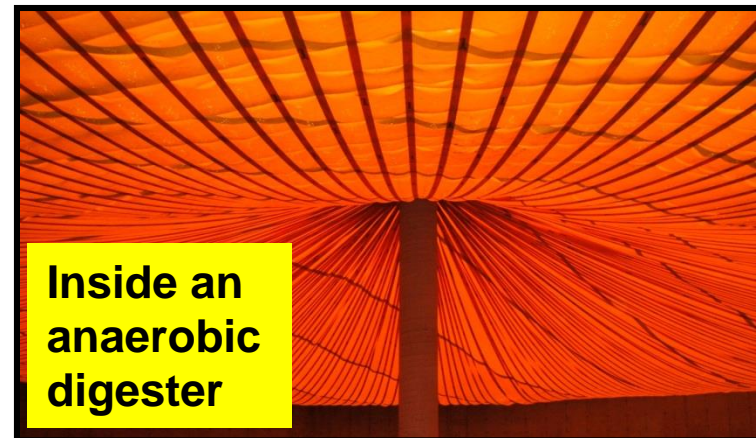


What does NFBC call a farm building?

- **Farm buildings include, *but are not limited to:***
 - Produce storage/packing
 - Livestock/poultry buildings
 - Milking centres
 - Manure storages
 - Grain bins/silos
 - Feed preparation
 - Farm workshops
 - Greenhouses
 - Farm retail centres
 - Horse riding/exercise



Cold storage with serpentine forced air cooling system



Inside an anaerobic digester

Farm building means all or part of a building:

- that does not contain any area used for residential occupancy...
- that is associated with & located on land devoted to the practice of farming, and
- that is used essentially for the housing of equipment or livestock or the production, storage or processing of agricultural & horticultural produce or feeds



Value-Retaining vs. Value-Added facilities on farm

- VR-Maintain quality of raw commodities produced on farm; prevent spoilage, ensure saleability
- Eg. Cold & controlled atmosphere storage, freezing, cleaning, grading, drying (grains, oilseeds, tobacco), simple packaging to maintain quality, minimal processing like grading eggs, evaporating maple syrup, extracting honey, etc.
- VA-Transform raw commodities into new forms to enhance value
- Eg. Pressing apples, bottling cider, making wine, milling grain, processing cherries, preserving/roasting grain for livestock feed, etc.

Low Human Occupancy (LHO) (as applying to farm buildings)

- *'Means an occupancy having an occupant load of not more than one person per 40 m² (430 ft²) of floor area during normal use'*
- Dairy barn 40' x 180' with 3 people during normal use is 1 person per 2,400 ft², so LHO
- Buildings not LHO include retail centres for: feeds, horticultural produce & livestock; auction barn
- Buildings can have both occupancies in different areas



LHO farm buildings usually less of a safety risk than commercial or industrial buildings

- Less stringent requirements on combustible construction and/or sprinklers
- Longer distances to emergency exits
- Less elaborate exit doors
- Shorter spatial separations between buildings
- Less stringent structural requirements; snow/wind load
- Trusses can be further apart
- Fire separations vs fire walls
- Larger max bldg areas before fire separations required
- Less stringent rules on fire water supply & fire access routes/laneways

‘Urban’ municipal issues we hear about

- Inconsistent policy interpretations between staff/twps
- More staff means you get different person every time
- Inexperience with farm buildings & rural issues
- ‘New rules’ seem to crop up after a project under way
- Delays in getting responses to inquiries & permits



**TOWN OF HIGHLAND
BUILDING DEPARTMENT**
2 PROCTOR ROAD
ELDRED, NEW YORK 12732
845-557-8203

Date : 12/22/2011
Catskill Farms
42 Proctor Road
Eldred, NY 12732

Permit No. : 105-11
40 Ryans Grove Rd
Highland, NY
11-1-34.11

BUILDING PERMIT
[This permit MUST BE KEPT on the premises with one set of approved plans and specifications until full completion of the work is authorized.]
PERMIT IS HEREBY GRANTED TO :
1 Family 2 Story with Front Covered Porch, Rear Deck and Finished Basement.
(Revised 1/24/12)
Pursuant to the above numbered application, plans and specifications submitted, are a true and complete statement of all proposed work to be done on the described premises and that all provisions in the NEW YORK STATE PREVENTION AND BUILDING CODE and all other laws pertaining to the proposed work shall be complied with, whether specified or not, and that such work is authorized by the owner.

APPROVED BY THE BUILDING CODE ENFORCEMENT OFFICER
Cost of Construction : \$160,000.00
Total Amount Paid : \$854.50

Listed Fees of Project :

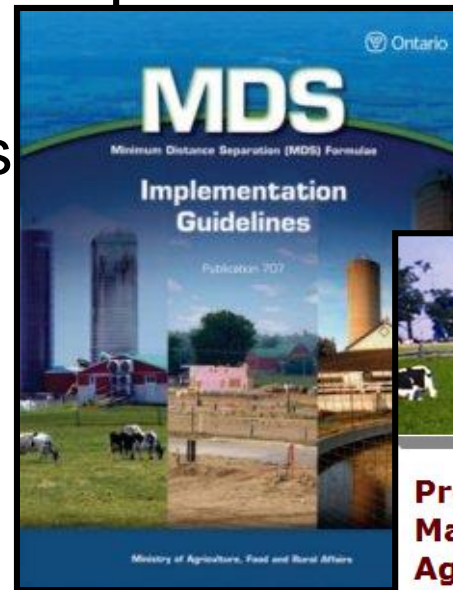
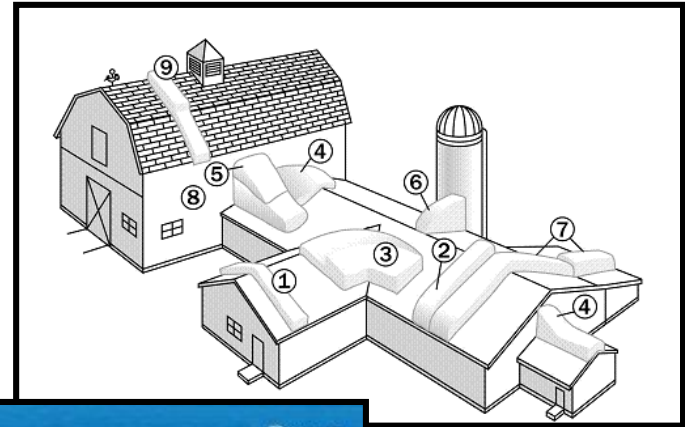
Fee Type	Fee Amount
Decals	\$68.00
CO	\$25.00
New Home	\$251.25
Additional fees	\$410.25

Chandra Ametta
Applicant/ Agent
David J. Miller
Code Enforcement Officer

EXPIRATION DATE : 6/22/2013

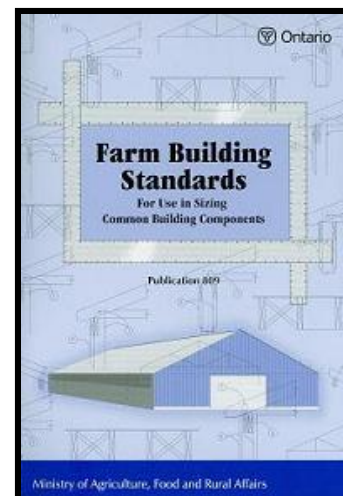
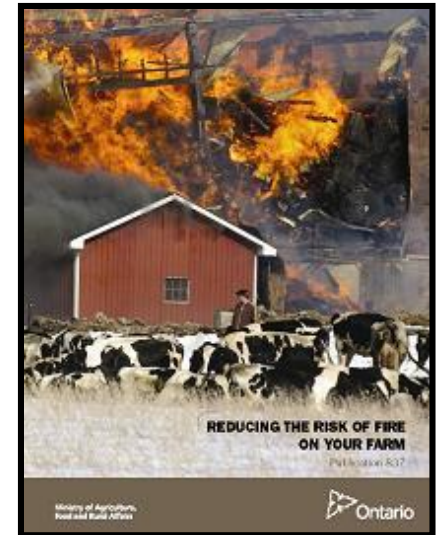
Approvals often required in these areas

- Policies in Official Plans & Zoning By-laws
- Nutrient Management Strategies or Plans
- Minimum Distance Separation setbacks
- Engineering requirements
- Conservation Authority
- Other applicable law



Helpful Information

- Ontario Building Officials Association
www.oboa.on.ca
- Reducing the Risk of Fire on Your Farm
www.omafra.gov.on.ca
- Farm Building Standards
www.serviceontario.ca
- Canada Plan Service
www.cps.gov.on.ca
- Nutrient Management Act
www.omafra.gov.on.ca





Moderated Panel: Approval Guidelines & Process

- Pole barns
- Greenhouses
- On-farm retail
- Manure storage

