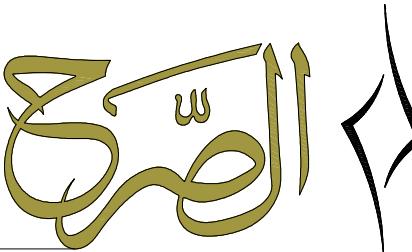


AL SARH ENGINEERING CONSULTANCY

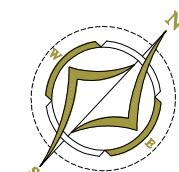


CONSTRUCTION NOTES
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THE CONTRACTOR AND ALL SUB CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT SITE AND SHALL NOTIFY CONTRACTOR IMMEDIATELY IF ANY PART OF THE DRAWINGS APPEARS TO BE INACCURATE OR IN CONFLICT WITH THE ACTUAL REQUIREMENTS ON THE ARCHITECTURAL, MECHANICAL, CIVIL, AND ELECTRICAL DRAWINGS.
FLOOR AND WALL OPENINGS, LEVOL VARIATIONS IN THE STRUCTURAL, SLAB ELEVATIONS, DEPRESSED AREAS AND ALL OTHER CONSTRUCTION DETAILS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL CONTRACTORS ARE REQUIRED TO COORDINATE THEIR REQUIREMENTS MUST BE COORDINATED BEFORE THE CONTRACTOR PROPOSES ANY CHANGES.
IN ALL CASES WHERE A CONFLICT MAY OCCUR SUCH AS BETWEEN THESE DRAWINGS AND THE CONTRACT DOCUMENTS, THE CONTRACT DOCUMENTS WILL TAKE PRIORITY OVER THESE DRAWINGS OR BETWEEN GENERAL NOTES AND SPECIFIC DETAILS THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY SO HE WILL INTERFERE WITH THE INTENT OF CONTRACT DOCUMENTS.
DETAILS NOTED AS TYPICAL SHALL APPLY IN ALL CASES UNLESS OTHERWISE STATED.
WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION DETAILS SHALL BE LEFT TO THE CONTRACTOR LINE OF CASES ONSTRUCTION ON THE PROJECT.
IN NO CASE SHALL WORKERS DIMENSIONS BE SCALE FROM PLANS, EXCEPT AS INDICATED. ALL WORKERS ARE RESPONSIBLE FOR INVESTIGATING AND LOCATING ALL DOORS, WINDOWS, PIPES, DRAINS, ETC. IN ACCORDANCE WITH THE CONTRACTUAL PLANS AND DETAILS. OTHER WALL AND FLOOR OPENINGS AS PROVIDED IN THE CONTRACT DOCUMENTS SHALL BE OPENED AS REQUIRED OR SIMILAR REQUIREMENTS SHALL BE VERIFIED FROM SHOP DRAWINGS EQUIPMENT DATA, DIMENSIONS, ETC AGREED.

LEGEND	
FAL	WASHING MACHINE
PAL	DISHWASHER
ML	REFRIGERATOR
SL	GLAZED DOOR
DL	LOVING DOOR
BL	DOOR
MM	WASHBASIN
AD	METAL DOOR
LP	LOVING PANEL
CL	CUPBOARD
TOP	TOP OF PANTRY
DR	DISTRIBUTION BOARD
WW	WATER BOTTLE
CM	CURTAIN WALL

ENGINEER'S NAME REGISTRATION NO.

ANNA ABDULKARIM MARYAM MATAK 30912530
MAHMUD MOHAMMED RAMADAN SEMDA MAHMUD 106670



REV	DESCRIPTION	DATE DRAWN
	PROJECT TITLE	PROPOSED VILLA G+1

Parcel I.D 71112590
AL AWIR FIRST
Dubai ,United Arab Emirates

CLIENT
OMAR AHMED MUBARAK ALMARRI

CONSULTANT



AL SARH ENGINEERING
CONSULTANCY

SHEET TITLE

COVER SHEET

PROJECT NO. - - DATE - -

DRAWN BY - - CHECKED BY - -

SCALE : - - PAPER SIZE

DRAWING NO. REVISION

BUILDING DETAILS / تفاصيل المبنى	
GROUND FLOOR AREA	257.35 Sq.mt.
FIRST FLOOR AREA	252.27 Sq.mt.
ROOF FLOOR AREA	27.84 Sq.mt.
SERVICE BLOCK AREA	-
TOTAL VILLA AREA	537.46 Sq.mt
BUILDING HEIGHT	
13.80 MT	
COMPOUND WALL LENGTH	
112.761 MT	
BUILDING NOTES / ملاحظات المبنى	
المبنى مزود بالتهوية الميكانيكية حسب الواردات الأمريكية <small>MECHANICAL VENTILATION TO BE PROVIDED AS PER AMERICAN IMPORTS</small>	
المبنى مزود بآلة تنقيف الزجاج حسب لائحة البناء <small>GŁASS CLEANING EQUIP TO BE PROVIDED AS PER BY RL</small>	
المبنى مزود بجهازات القيادة وشاشة ميكانيكية حسب لائحة البناء <small>CAR R/T CORPS & CONTAINERS TO BE PROVIDED AS PER BY RL</small>	

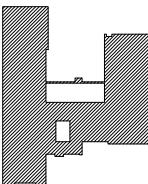
LOCATION / BLOCK NAME	AL AWIR FIRST	الموقع - اسم المنطقة	PLOT No.	71112590	رقم الأرض
PROPERTY TITLE	GRANTED	نوع الحيازة	AREA OF PLOT	789.89 SQ.MT.	مساحة القطعة
No. OF FLOORS PROPOSED	GROUND + I + ROOF	عدد الطوابق المقترنة	No. OF FLOORS ALLOWED	G + 2 FLOOR+ROOF	عدد الطوابق المصرح بها
LAND USE PROPOSED	RESIDENTIAL	استعمال الأرض المقترن	LAND USE ALLOWED	RESIDENTIAL	استعمال الأرض المصرح بها
PLOT COVERAGE PROPOSED		نسبة الطابقية المقترنة	PLOT COVERAGE ALLOWED		نسبة الطابقية المصرح بها
FLOOR AREA RATIO PROPOSED		المسنة الطابقية المقترنة	FLOOR AREA RATIO ALLOWED		المسنة الطابقية المصرح بها
FLEX. AREA RAT.	MULTI STONEY	OTHER	INDUST.	INVEST VILLA	نوع المبنى
URGENT	Urgent	ADDITION	REVISON	PRIV. VILLA	Bldg Type
				<input checked="" type="checkbox"/>	
				<input checked="" type="checkbox"/>	نوع البناء
				<input checked="" type="checkbox"/>	Sub Type
				<input checked="" type="checkbox"/>	وقت العمل
				<input checked="" type="checkbox"/>	Work Desc
PROPOSED VILLA G + 2					
EXISTING BUILT UP AREA	N.A	مساحة البناء القائمة	PARKING REQUIRED	I NO.	الموافق المطلوبة
APPROVED AREA	N.A	المساحة المقترنة	EXISTING PARKING	NIL	الموافق القائمة
NOT APPROVED AREA	N.A	المساحة (غير المقترنة)	PREFERRED PARKING REQUIRED	-	الموافق الاختيارية
DEMOLISHED AREA	N.A	المساحة التي تم إزالتها	ADDITIONAL PARKING PROVIDED	-	
ADDITIONAL AREA	N.A	المساحة الإضافية	ADDITIONAL PARKING	-	
TOTAL BUILT UP AREA	537.46 Sq.mt	مساحة البناء الكلية	TOTAL PARKING PROPOSED	2 NOS.	جموع الموافق المقترنة

المساحة AREA	رقم التسجيل REGISTER	الاسم NAME	التصميم DESIGN ENG.	توقيع الاستشاري و التاريخ CONSULTANT'S SIGNATURE & DATE	اسم المالك والتوكيل OWNER'S NAME & SIGNATURE
Dubai	30912530	ANNA ABDULKARIM MARYAM MATAK	Architect / المساند		
Dubai	106670	MAHMUD MOHAMMED RAMADAN SEMDA MAHMUD	Architect / المساند Structural / الهندسي Structural / الهندسي Services / المهندس		OMAR AHMED MUBARAK ALMARRI
Dubai	-	-			

FOR MUNICIPALITY USE ONLY / لاستخدام البلدية			
BUILDING NUMBER / رقم المبنى	ENVIRONMENT APPROVAL	امتناد البيئة	امتناد الدفع المدني
STREET NUMBER / رقم الشارع		CIVIL DEFENCE APPROVAL	امتناد الطرق
STREET NAME / اسم الشارع		ROAD APPROVAL	امتناد المصرف الصحي
MUNICIPALITY STAMP & APPROVAL /		ختم و اعتماد البلدية	اشتراطات البلدية



BUILT UP & FLOOR AREA RATIO CALCULATIONS



BASEMENT FLOOR AREA = -- SQ.FT

DEDUCTION FOR FLOOR AREA RATIO	
PART1	NL
PART2	
PART3	
PART4	

BALANCE FLOOR AREA = -- SQ.FT

GROUND FLOOR AREA = 257.35 SQ.MT

DEDUCTION FOR FLOOR AREA RATIO	
PART1	NL
PART2	
PART3	
PART4	

BALANCE FLOOR AREA = 257.35 SQ.MT

FIRST FLOOR AREA = 252.27 SQ.MT

DEDUCTION FOR FLOOR AREA RATIO	
PART1	NL
PART2	
PART3	
PART4	

BALANCE FLOOR AREA = 252.27 SQ.MT

SECOND FLOOR AREA = 27.84 SQ.MT

DEDUCTION FOR FLOOR AREA RATIO	
PART1	NL
PART2	
PART3	

BALANCE FLOOR AREA = 27.84 SQ.MT

SERVICE BLOCK AREA = - SQ.MT.

DEDUCTION FOR FLOOR AREA RATIO	
PART1	NL
PART2	

BALANCE FLOOR AREA = -

SUMMARY FOR THE TOTAL BUILT UP AREA	
BASEMENT FLOOR	= -
GROUNDFLOOR	= 162.31 SQ.MT
FIRST FLOOR	= 162.31 SQ.MT
SECOND FLOOR	= - SQ.MT
SERVICE BLOCK	= - SQ.MT
TOTAL BUILTPUP AREA	= 254.62 SQ.MT

SUMMARY OF TOTAL AREA FOR THE FLOOR AREA RATIO	
BASEMENT FLOOR	= -
GROUNDFLOOR	= 257.35 SQ.MT
FIRST FLOOR	= 252.27 SQ.MT
SECOND FLOOR	= 27.84 SQ.MT
SERVICE BLOCK	= - SQ.MT
TOTAL BUILTPUP AREA	= 537.46 SQ.MT

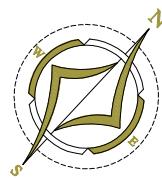
ALLOWED FLOOR AREA RATIO =
PROPOSED FLOOR AREA RATIO =

BED ROOM AREA	
BEDROOM	AREA
GROUND GUEST BEDROOM	20.00 SQ.MT
FIRST - MASTER BEDROOM	29.00 SQ.MT
FIRST - BEDROOM -1	25.00 SQ.MT
FIRST - BEDROOM -2	29.00 SQ.MT
FIRST - BEDROOM -3	- SQ.MT
TOTAL AREA	103.00 SQ.MT

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 THE CONTRACTOR AND ALL SUB CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT SITE AND SHALL NOTIFY DESIGNER IN WRITING OF ANY CHANGES MADE TO THE DRAWINGS. DESIGNER SHALL NOT BE HELD RESPONSIBLE FOR ANY CHANGES MADE ON THE ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
 FLOOR AND WALL OPENINGS, LEVEL VARIATIONS IN THE STRUCTURAL SLAB ELEVATIONS, DEPRESSED AREAS AND ALL OTHER CONSTRUCTION DETAILS ARE THE RESPONSIBILITY OF THE CONTRACTOR. REQUIREMENTS MUST BE COORDINATED BEFORE THE CONTRACTOR PROCEEDS WITH ANY CONSTRUCTION.
 IN ALL CASES WHERE A CONFLICT MAY OCCUR SUCH AS BETWEEN CONTRACT DOCUMENTS AND GENERAL NOTES OR SPECIFIC DETAILS, THE CONTRACTOR SHALL REFER TO THE CONTRACT DOCUMENTS OR BETWEEN GENERAL NOTES AND SPECIFIC DETAILS THE ARCHITECT HAS THE FINAL SAY. THE CONTRACTOR WILL INTERFERE WITH THE INTENT OF CONTRACT DOCUMENTS.
 DETAILS NOTED AS TYPICAL SHALL APPLY IN ALL CASES UNLESS OTHERWISE STATED IN THE CONTRACT DOCUMENTS.
 WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONCRETE DETAILS SHALL BE DETERMINED BY THE CONTRACTOR BASED ON THE CONTRACT DOCUMENTS.
 IN NO CASE SHALL WORKERS DIMENSIONS BE SCALE FROM PLANS, DRAWINGS OR SPECIFICATIONS. ALL WORKERS DIMENSIONS ARE TO BE TAKEN ON-SITE.
 THE PRECISE DIMENSIONS AND LOCATIONS OF ALL DOORS AND WINDOWS SHALL BE DETERMINED BY THE CONTRACTOR. INCONSISTENCIES IN THE CONTRACT DOCUMENTS, THE CONTRACTOR PLANS AND DETAILS, OTHER WALL AND FLOOR OPENINGS AS PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL VERIFY OR SIMILAR REQUIREMENTS SHALL BE VERIFIED FROM WORK DRAWINGS EQUIPMENT DATA, DIMENSIONS, ETC AS REQUIRED.

LEGEND			
POL. FINISHED GROUND LEVEL		W. WASHING MACHINE	
POL. FINISHED GROUND LEVEL		D. DISHWASHER	
SL. STRUCTURAL SLAB LEVEL		GL. GLAZED DOOR	
SL. GROUND LEVEL		L. LOVING DOOR	
W. WASHING MACH		M. METAL DOOR	
D. DISHWASHER		C. CLOSET	
GL. GLAZED DOOR		L. LOVING PANEL	
L. LOVING DOOR		C. CLOSET	
M. METAL DOOR		W. WASHING	
C. CLOSET		D. DISHWASHER	
L. LOVING PANEL		W. C. CLOSET	
C. CLOSET			
W. WASHING			
D. DISHWASHER			
W. C. CLOSET			

ENGINEER'S NAME _____ REGISTRATION NO. _____
 ABDULLAH ABDELLAH MATAF 3092530
 MAHMUD MOHAMMAD RAMADAN SERIDA 106670



REV	DESCRIPTION	DATE DRAWN

PROJECT TITLE _____
PROPOSED VILLA G+1
 Parcel I.D 71112590
 AL AWIR FIRST
 Dubai ,United Arab Emirates

CLIENT
OMAR AHMED MUBARAK ALMARRI
 CONSULTANT



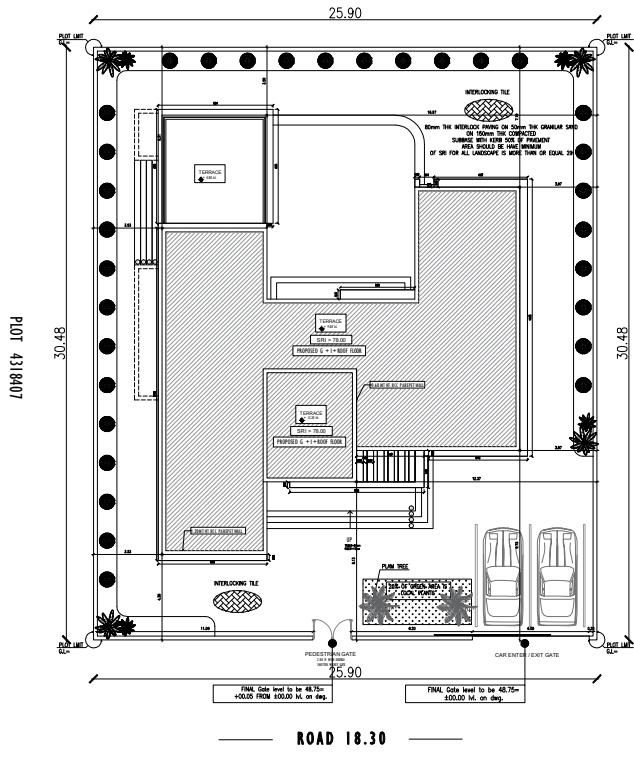
SHEET TITLE _____

PROJECT NO.	DATE
DRAWN BY	CHECKED BY
SCALE	PAPER SIZE
DRAWING NO.	REVISION

AREA CALCULATION _____

CALCULATIONS	WEIGHT	NO. OF CONTAINERS REQ.
TOTAL COMMERCIAL AREA : 180x12kg	-	
TOTAL SHOPPING AREA : 180x12kg	-	
TOTAL OFFICE AREA : 180x12kg	-	
NO. OF APARTMENT = 1800 SQFT		1 PARKING FOR EACH APARTMENT
NO. OF APARTMENT = 1800 SQFT		2 PARKING FOR EACH APARTMENT
NO. OF STUDIO		1 PARKING FOR EACH STUDIO
TOTAL WEIGHT		

PLOT 4321398



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FLOOR AND WALL OPENINGS, LEVEL VARIATIONS IN THE STRUCTURAL SLAB ELEVATIONS, DERESSED AREAS AND ALL OTHER REQUIREMENTS FOR CONSTRUCTION SHALL BE BASED ON THE CONTRACTOR'S REQUIREMENTS. ALL CONTRACTOR'S REQUIREMENTS MUST BE COORDINATED BEFORE THE CONTRACTOR PROCEEDS WITH CONSTRUCTION.

IN ALL CASES WHERE A CONFLICT MAY OCCUR SUCH AS BETWEEN THIS DRAWING AND THE CONTRACT DOCUMENTS, THE CONTRACT DOCUMENTS SHALL PREDOMINATE. IN ALL CASES WHERE A CONFLICT MAY OCCUR BETWEEN THIS DRAWING AND THE CONTRACT DOCUMENTS OR BETWEEN GENERAL NOTES AND SPECIFIC DETAILS THE ARCHITECT HAS THE RIGHT TO DETERMINE WHICH SHALL INTERFERE WITH THE INTENT OF CONTRACT DOCUMENTS.

DETAILS NOTED AS TYPICAL SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY STATED OTHERWISE.

WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION DETAILS SHALL BE LEFT TO THE CONTRACTOR FOR CASES OF CONSTRUCTION ON THIS PROJECT.

IN NO CASE SHALL WORKERS DIMENSIONS BE SCALE FROM PLANS, EXCEPT AS OTHERWISE SPECIFIED. ALL WORKERS DIMENSIONS ARE IN METRES. THE PRECISE DIMENSIONS AND LOCATIONS OF ALL DOORS AND WINDOWS SHALL BE BASED ON THE CONTRACT DOCUMENTS. INVESTIGATE ALL CONTRACT DOCUMENTS FOR THE PRECISE DIMENSIONS AND LOCATIONS OF ALL DOORS AND WINDOWS. OTHER WALL AND FLOOR OPENINGS AS PROVIDED IN THE CONTRACT DOCUMENTS SHALL BE BASED ON THE CONTRACT DOCUMENTS. SIMILAR REQUIREMENTS SHALL BE VERIFIED FROM SHOP DRAWINGS EQUIPMENT DATA, DIMENSIONS, ETC. AGREED.

LEGEND	WASHING MACHINE
FAL FINISHED GROUND LEVEL	D/W DISHWASHER
FBL FINISHED BLDG. LEVEL	G/G GLAZED DOOR
SLB STRUCTURAL SLAB LEVEL	L/L LOVING PANEL
GL GROUND LEVEL	M/M METAL DOOR
ML MEDIUM LEVEL	MR METAL ROLLER
MM KITCHEN CABINET	MS METAL SWING
TL TERRACE	SP SPAGHETTI STRAINER
BD BALCONY DOOR	LP LOVING PANEL
BLI BLDG. LEVEL IND.	DR DISTRIBUTION BOARD
TOP TOP OF PARAPET	W/W WATER CUPBOARD
PL PLATE	CW CURTAIN WALL
WW WATER HEATER	

ENGINEER'S NAME	REGISTRATION NO.
ABRAH ABDULKAREEM MAMDOUH MATAK	30912530
MAMDOUH MOHAMMED RAMADAN SERHA MATAK	106670



REV	DESCRIPTION	DATE DRAWN

PROJECT TITLE

PROPOSED VILLA G+1
Parcel I.D 71112590
AL AWIR FIRST
Dubai ,United Arab Emirates

CLIENT

**OMAR AHMED
MUBARAK ALMARRI**

CONSULTANT



SHEET TITLE

SETTING OUT PLAN

PROJECT NO. - - DATE - -

DRAWN BY - - CHECKED BY - -

SCALE - - PAPER SIZE - -

DRAWING NO. REVISION - -

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THE CONTRACTOR AND ALL SUB CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT SITE AND SHALL NOTIFY CONTRACTOR IMMEDIATELY IF ANY DIMENSION IS NOT AS DRAWN. DESIGNERS ARE NOT RESPONSIBLE FOR CONSTRUCTION DETAILS OR COMMENTS ON THE ARCHITECTURAL, MECHANICAL, CIVIL, AND ELECTRICAL DESIGN.

FLOOR AND WALL OPENINGS, LEVEL VARIATIONS IN THE STRUCTURAL, SLAB ELEVATIONS, DEPRESSED AREAS AND ALL OTHER CONSTRUCTION DETAILS ARE THE RESPONSIBILITY OF THE CONTRACTOR. REQUIREMENTS MUST BE COORDINATED BEFORE THE CONTRACTOR PROCEEDS WITH CONSTRUCTION.

IN ALL CASES WHERE A CONFLICT MAY OCCUR SUCH AS BETWEEN THE CONTRACTOR'S CONSTRUCTION DETAILS AND THE CONTRACTOR'S REQUIREMENTS OR BETWEEN GENERAL NOTES AND SPECIFIC DETAILS THE ARCHITECT HAS THE RIGHT TO DETERMINE WHICH ONE HE WILL INTERPRET THE INTENT OF CONTRACT DOCUMENTS.

DETAILS NOTED AS TYPICAL SHALL APPLY IN ALL CASES UNLESS SPECIFIED OTHERWISE.

WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION DETAILS SHALL BE DETERMINED BY THE CONTRACTOR.

IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, EXCEPT AS SPECIFIED IN THE CONTRACT DOCUMENTS.

THE PRECISE DIMENSIONS AND LOCATIONS OF ALL DOORS, WINDOWS, OPENINGS, ETC., ARE TO BE DETERMINED FROM THE CONTRACTOR'S PLANS AND DETAILS. OTHER WALL AND FLOOR OPENINGS AS PROVIDED IN THE CONTRACT DOCUMENTS SHALL BE CONSTRUCTED OR SIMILAR REQUIREMENTS SHALL BE VERIFIED FROM SHOP DRAWINGS EQUIPMENT DATA, DIMENSIONS, ETC. AS AGREED.

LEGEND			
PAL	FINISHED ALUMINUM LEVEL	WM	WASHING MACHINE
PBL	FINISHED BRICK LEVEL	D.P.	DISHWASHER
SLBL	STRUCTURED SLAB LEVEL	GD	GLAZED DOOR
GL	GROUND LEVEL	LD	LOWING DOOR
MM	WALKTHROUGH	MD	METAL DOOR
AD	DOOR	MP	MEAL DOOR
BD	BALCONY DOOR	LP	LOUVRE PANEL
CP	CUPBOARD	DR	DISTRIBUTION BOARD
WT	TOP OF PAVEMENT	WV	WATER VALVE
WW	WATER HISTER	CW	CURTAIN WALL

ENGINEER'S NAME	REGISTRATION NO.
ANNA ABDULKAREEM MAMOUD MATAK	30912530
MAMOUD MAMOUD RAMADAN SERIDA MATAK	106670



REV	DESCRIPTION	DATE DRAWN
-	PROPOSED VILLA G+1	

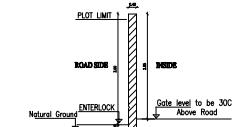
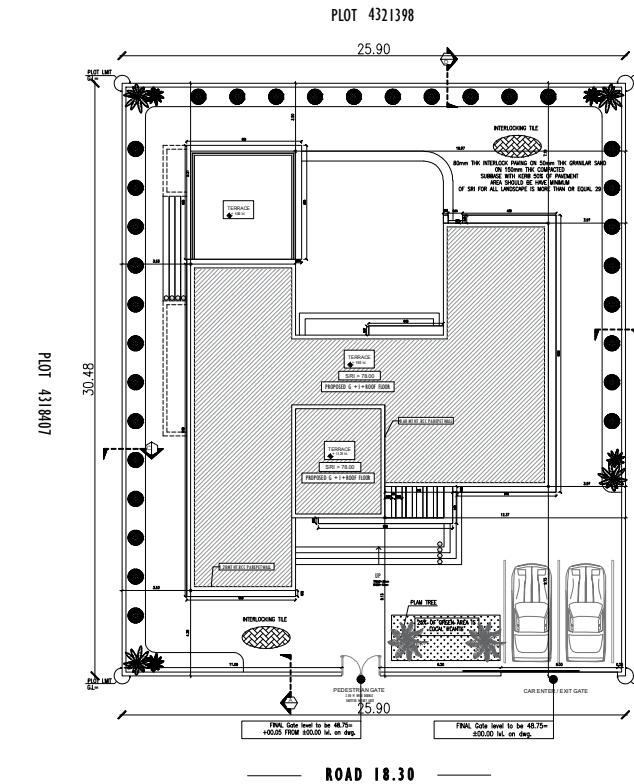
PROJECT TITLE
PROPOSED VILLA G+1
 Parcel I.D 71112590
 AL AWIR FIRST
 Dubai ,United Arab Emirates

CLIENT
**OMAR AHMED
MUBARAK ALMARRI**

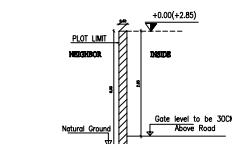


SHEET TITLE
COMPOUND WALL LAYOUT

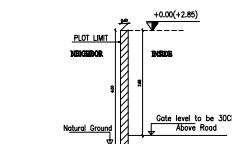
PROJECT NO. - -	DATE - -
DRAWN BY - -	CHECKED BY - -
SCALE - -	PAPER SIZE - -
DRAWING NO. - -	REVISION - -



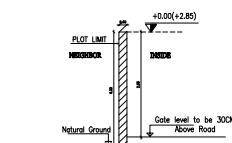
SECTION-A



SECTION-B



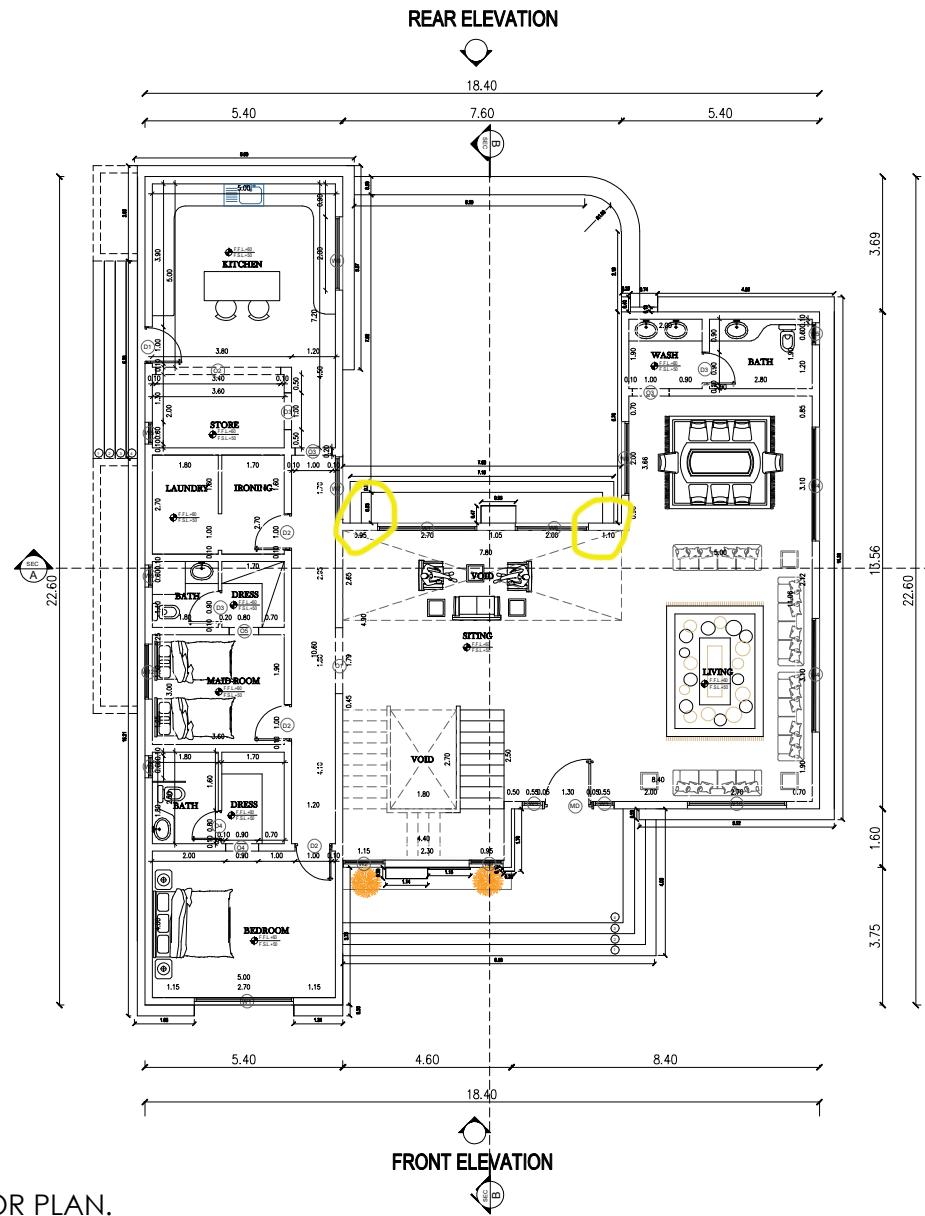
SECTION-C



SECTION-D

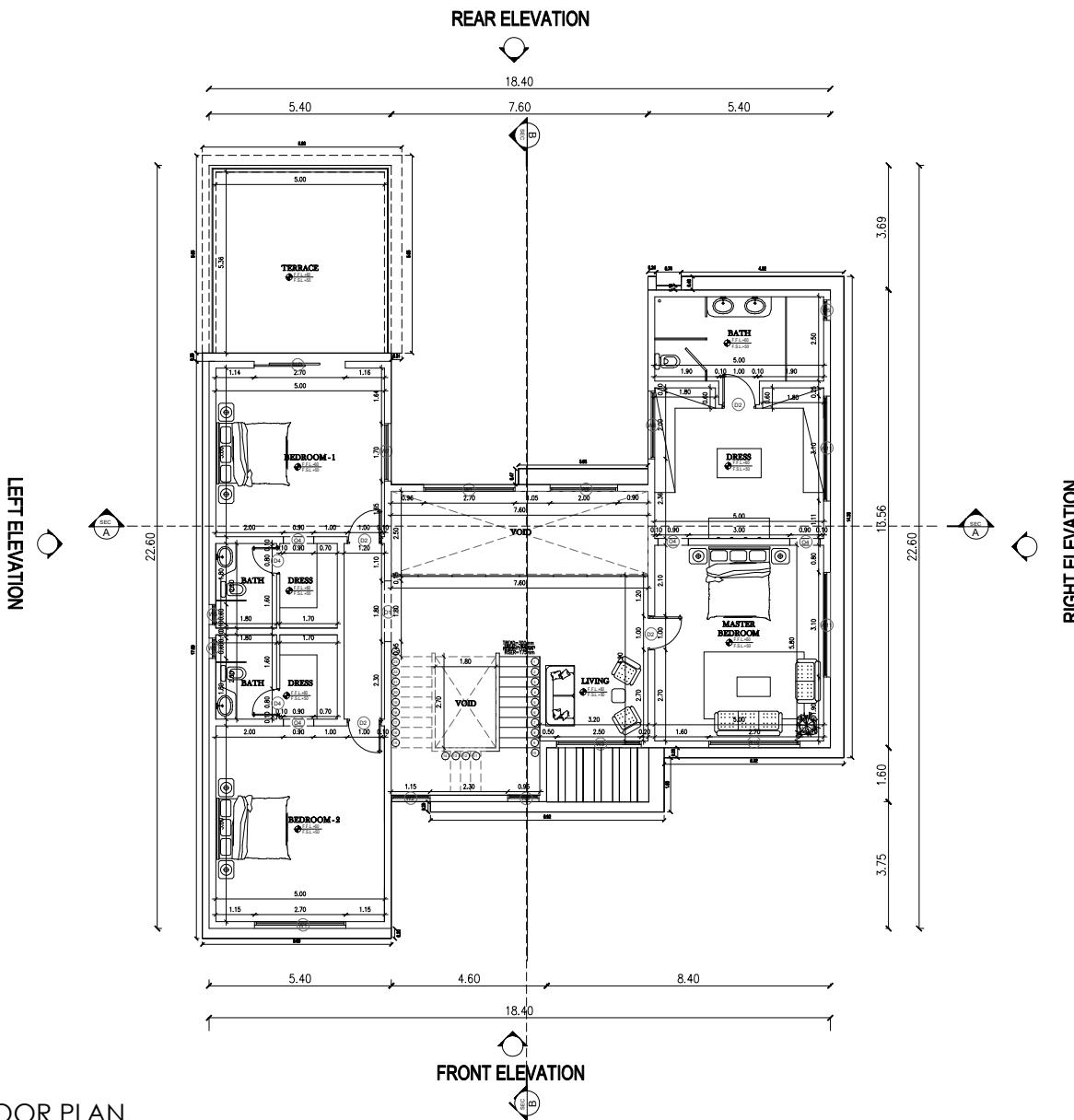
GROUND FLOOR PLAN.

LEFT ELEVATION



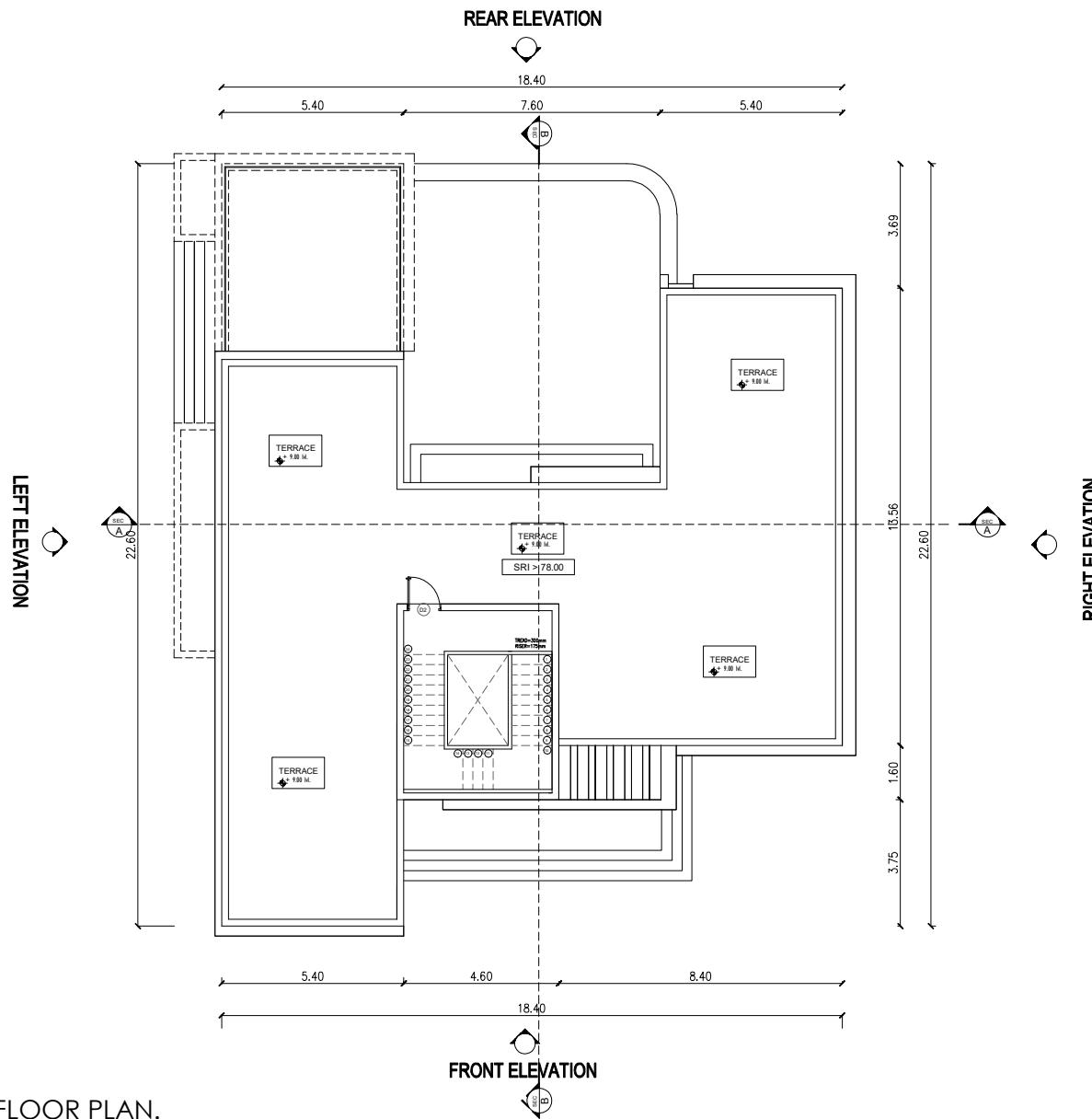
CONSTRUCTION NOTES			
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THE PRECISE DIMENSIONS AND LOCATIONS OF ALL DOORS AND WINDOWS ARE TO BE DETERMINED FROM THE CORRESPONDING FLOOR PLANS AND DETAILS. OTHER WALL AND DOOR OPENINGS AS SHOWN ON THE DRAWINGS ARE TO BE CONSIDERED AS PRECISE. SIMILAR REQUIREMENTS SHALL BE VERIFIED FROM SHOP DRAWINGS EQUIPMENT DATA, DIMENSIONS, ETC. AS REQUIRED.			
LEGEND			
FAL	FINISHED FLOOR LEVEL	WM	WASHING MACHINE
FBL	FINISHED BOUNDARY LEVEL	D.W	DISHWASHER
SLL	STRUCTURE SLAB LEVEL	GD	GLAZED DOOR
GL	GROUND LEVEL	LD	LOVING DOOR
MM	KITCHEN	MD	METAL DOOR
TM	BATH	ML	METAL LOVING DOOR
BD	LAUNDRY	LP	LOVING PANEL
IP	IRONING	DP	DISTRIBUTION BOARD
WT	WATER TOWER	WW	WATER WALKWAY
WH	WATER HEATER	CW	CURTAIN WALL
ENGINEER'S NAME _____ REGISTRATION NO. _____			
REV DESCRIPTION DATE DRAWN			
PROJECT TITLE			
PROPOSED VILLA G+1			
Parcel I.D 71112590 AL AWIR FIRST Dubai ,United Arab Emirates			
CLIENT			
OMAR AHMED MUBARAK ALMARRI			
CONSULTANT			
GROUND FLOOR PLAN			
PROJECT NO. - -	DATE - -		
DRAWN BY - -	CHECKED BY - -		
SCALE - -	PAPER SIZE - -		
DRAWING NO. - -	REVISION - -		

FIRST FLOOR PLAN.

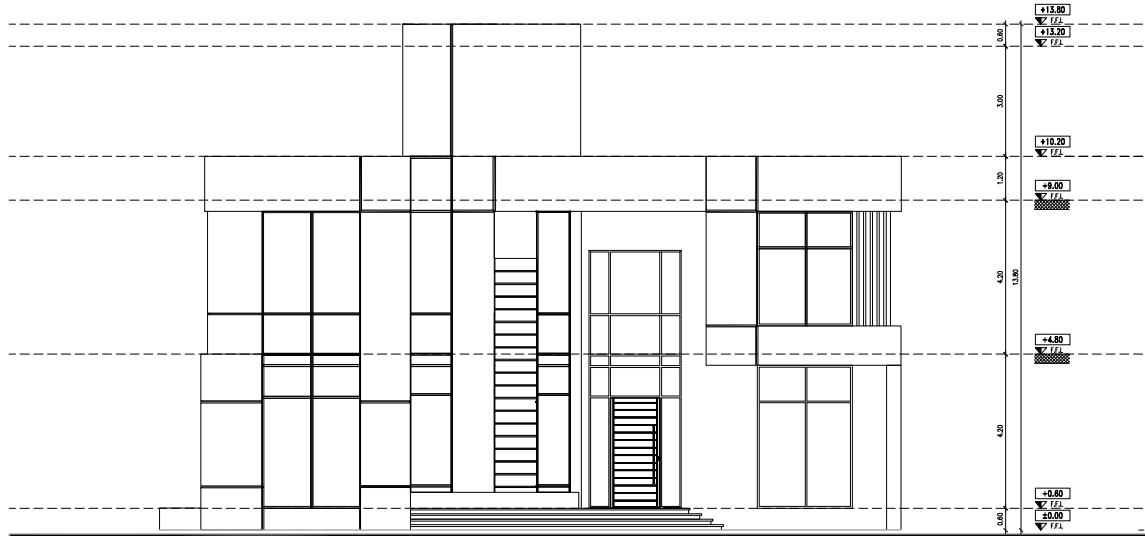


CONSTRUCTION NOTES		
THIS DRAWING IS THE PROPERTY OF AL SARH ENGINEERING CONSULTANCY. IT MAY NOT BE REPRODUCED COPIED OR USED WITHOUT AUTHORITY APPROVAL.		
THE CONTRACTOR AND ALL SUB-CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT SITE AND SHALL NOTIFY DESIGNER IN WRITING OF ANY CHANGES. DESIGNER'S COMMENTS ON THE ARCHITECTURAL, MECHANICAL, CIVIL, AND ELECTRICAL DRAWINGS.		
FLOOR AND WALL OPENINGS, LEVEL VARIATIONS IN THE STRUCTURAL, SLAB ELEVATIONS, DETERMINED AREAS AND ALL OTHER REQUIREMENTS MUST BE COORDINATED WITH THE CONTRACTOR REQUIREMENTS MUST BE COORDINATED BEFORE THE CONTRACTOR PROCEEDS WITH CONSTRUCTION.		
IN ALL CASES WHERE A CONFLICT MAY OCCUR SUCH AS BETWEEN THIS DRAWING AND THE CONTRACT DOCUMENTS, THE CONTRACT DOCUMENTS SHALL OVERRIDE. IF THERE IS A CONFLICT BETWEEN THIS DRAWING OR BETWEEN GENERAL NOTES AND SPECIFIC DETAILS THE ARCHITECT HAS THE RIGHT TO MAKE THE DECISION. THE CONTRACTOR WILL INTERFERE WITH THE INTENT OF CONTRACT DOCUMENTS.		
DETAILS NOTED AS TYPICAL SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY STATED OTHERWISE.		
WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION DETAILS SHALL BE PROVIDED BY THE CONTRACTOR FOR THE CASE OF CONSTRUCTION ON THE PROJECT.		
IN NO CASE SHALL WORKERS DIMENSIONS BE SCALE FROM PLANS, EXCEPT AS INDICATED. ALL WORKERS DIMENSIONS ARE IN MILLIMETERS.		
THE PRECISE DIMENSIONS AND LOCATIONS OF ALL DOORS, WINDOWS, OPENINGS, ETC. ARE TO BE DETERMINED FROM THE CONTRACTUAL PLANS AND DETAILS. OTHER WALL AND FLOOR OPENINGS AS REQUIRED BY THE CONTRACTOR SHALL BE DETERMINED BY THE CONTRACTOR OR SIMILAR REQUIREMENTS SHALL BE VERIFIED FROM SHOP DRAWINGS EQUIPMENT DATA, DIMENSIONS, ETC. AGREED.		
LEGEND		
PFL	WASHING MACHINE	
FBL	DISHWASHER	
SLBL	GLAZED DOOR	
GLL	LOVING PANEL	
ML	METAL DOOR	
ML	WOODEN DOOR	
WD	WHEEL	
WD	WHEEL	
BD	BALCONY DRAIN	
LP	LOVING PANEL	
CP	CUPBOARD	
TOP	TOP OF PARAPET	
DR	DISTRIBUTION BOARD	
WW	WATER HEATER	
CW	CURTAIN WALL	
<hr/>		
ENGINEER'S NAME	REGISTRATION NO.	
<hr/>		
<hr/>		
REV	DESCRIPTION	DATE DRAWN
<hr/>		
PROJECT TITLE		
PROPOSED VILLA G+1		
Parcel I.D 71112590		
AL AWIR FIRST		
Dubai ,United Arab Emirates		
<hr/>		
CLIENT		
OMAR AHMED MUBARAK ALMARRI		
<hr/>		
CONSULTANT		
 AL SARH ENGINEERING CONSULTANCY		
<hr/>		
SHEET TITLE		
FIRST FLOOR PLAN		
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PROJECT NO. - -	DATE - -	
DRAWN BY - -	CHECKED BY - -	
SCALE - -	PAPER SIZE	
DRAWING NO.	REVISION	

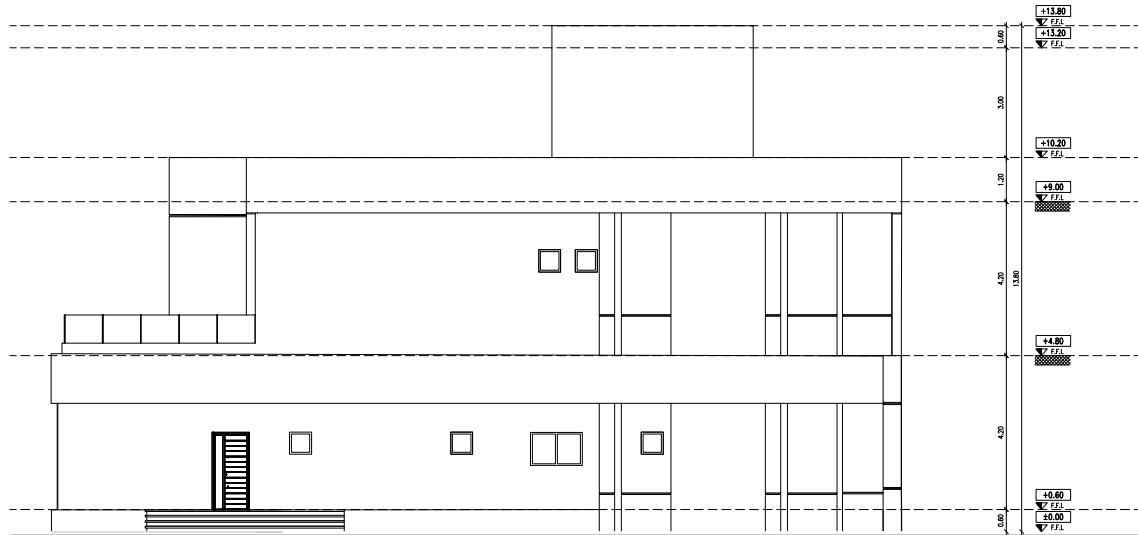
ROOF FLOOR PLAN.



CONSTRUCTION NOTES		
THIS DRAWING IS THE PROPERTY OF AL SARH ENGINEERING CONSULTANCY. IT MAY NOT BE REPRODUCED COPIED OR USED WITHOUT AUTHORITY APPROVAL.		
THE CONTRACTOR AND ALL SUB CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT SITE AND SHALL NOTIFY DESIGNER IN WRITING OF ANY CHANGES. DESIGNER'S COMMENTS ON THE ARCHITECTURAL, MECHANICAL, CIVIL, AND ELECTRICAL DRAWINGS ARE THE PROPERTY OF THE DESIGNER.		
FLOOR AND WALL OPENINGS, LEVEL VARIATIONS IN THE STRUCTURAL, SLAB ELEVATIONS, DEPRESSED AREAS AND ALL OTHER CONSTRUCTION DETAILS ARE THE PROPERTY OF THE DESIGNER. REQUIREMENTS MUST BE COORDINATED BEFORE THE CONTRACTOR PROPOSES ANY CHANGES.		
IN ALL CASES WHERE A CONFLICT MAY OCCUR SUCH AS BETWEEN THIS DRAWING AND ANOTHER DRAWING, SPECIFICATION, OR BETWEEN GENERAL NOTES AND SPECIFIC DETAILS, THE ARCHITECT HAS THE RIGHT TO DETERMINE WHICH DRAWING HE WILL INTERPRET THE INTENT OF CONTRACT DOCUMENTS.		
DETAILS NOTED AS TYPICAL SHALL APPLY IN ALL CASES UNLESS SPECIFIED OTHERWISE.		
WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION DETAILS SHALL BE LEFT TO THE CONTRACTOR LINE OF CONSTRUCTION ON THE PROJECT.		
IN NO CASE SHALL WORKERS DIMENSIONS BE SCALE FROM PLANS, EXCEPT AS INDICATED. ALL WORKERS DIMENSIONS ARE IN MILLIMETERS.		
THE PRECISE DIMENSIONS AND LOCATIONS OF ALL DOORS AND WINDOWS ARE TO BE DETERMINED FROM THE APPROPRIATE PLANS AND DETAILS. OTHER WALL AND DOOR OPENINGS AS PROVIDED IN THE DRAWINGS ARE TO BE CONSIDERED AS STANDARD OR SIMILAR REQUIREMENTS SHALL BE VERIFIED FROM SHOP DRAWINGS EQUIPMENT DATA, DIMENSIONS, ETC. AS REQUIRED.		
LEGEND		
FAL	WASHING MACHINE	
FBL	DISHWASHER	
SLB	GLAZED DOOR	
GLB	LOVING DOOR	
GLL	LOVING DOOR	
ML	METAL DOOR	
MM	WOODEN DOOR	
ML	WOODEN DOOR	
MD	DOOR	
BD	BALCONY DOOR	
LP	LOVING PANEL	
CL	CLOSET	
TOP	TOP OF PANTRY	
DP	DISTRIBUTION BOARD	
WD	WATER DRAIN	
WW	CURTAIN WALL	
ENGINEER'S NAME _____ REGISTRATION NO. _____		
PROJECT TITLE PROPOSED VILLA G+1		
Parcel I.D 71112590 AL AWIR FIRST Dubai ,United Arab Emirates		
CLIENT OMAR AHMED MUBARAK ALMARRI		
CONSULTANT		
 AL SARH ENGINEERING CONSULTANCY		
SHEET TITLE ROOF FLOOR PLAN		
PROJECT NO. - - - DATE - - -		
DRAWN BY - - - CHECKED BY - - -		
SCALE - - - PAPER SIZE		
DRAWING NO. - - - REVISION		



FRONT ELEVATION



LEFT ELEVATION

CONSTRUCTION NOTES
THIS DRAWING IS THE PROPERTY OF AL SARH ENGINEERING CONSULTANCY AND MAY NOT BE REPRODUCED COPIED OR USED WITHOUT AUTHORITY APPROVAL.

THE CONTRACTOR AND ALL SUB CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT SITE AND SHALL NOTIFY CONTRACTOR IMMEDIATELY IF THERE ARE ANY DISCREPANCIES. DESIGNERS ARE NOT RESPONSIBLE FOR ANY CHANGES MADE BASED ON THE ARCHITECTURAL, MECHANICAL, CIVIL, AND ELECTRICAL DESIGN.

FLOOR AND WALL OPENINGS, LEVEL VARIATIONS IN THE STRUCTURAL, SLAB ELEVATIONS, DEPRESSED AREAS AND ALL OTHER CONSTRUCTION DETAILS ARE THE CONTRACTOR'S RESPONSIBILITY. REQUIREMENTS MUST BE COORDINATED BEFORE THE CONTRACTOR PROCEEDS WITH CONSTRUCTION.

IN ALL CASES WHERE A CONFLICT MAY OCCUR SUCH AS BETWEEN THESE DRAWINGS AND THE CONTRACT DOCUMENTS, SPECIFICATIONS, OR BETWEEN GENERAL NOTES AND SPECIFIC DETAILS, THE ARCHITECT HAS THE RIGHT TO DETERMINE WHICH DRAWING HE WILL INTERPRET THE INTENT OF CONTRACT DOCUMENTS.

DETAILS NOTED AS TYPICAL SHALL APPLY IN ALL CASES UNLESS SPECIFIED OTHERWISE.

WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION DETAILS SHALL BE DETERMINED BY THE CONTRACTOR ON THE PROJECT.

IN NO CASE SHALL WORKERS DIMENSIONS BE SCALE FROM PLANS, EXCEPT AS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS.

THE PRECISE DIMENSIONS AND LOCATIONS OF ALL DOORS AND WINDOWS SHALL BE DETERMINED BY THE CONTRACTOR FROM THE CONTRACT DOCUMENTS. IN ALL CASES, THE CONTRACTOR SHALL REFER TO THE CONTRACT DOCUMENTS, OTHER WALL AND FLOOR OPENINGS AS PROVIDED IN THE CONTRACT DOCUMENTS. IN ALL CASES, EQUIPMENT DATA, DIMENSIONS, ETC. AGREED.

LEGEND	
PL	PLANE REFERENCED GROUND LEVEL
FL	FINISHED GROUND LEVEL
SL	STRUCTURE SLAB LEVEL
GL	GROUND LEVEL
W	WALL
W.H	WALL HEAD
WD	WALL DRAIN
LP	Louver Panel
DP	DISTRIBUTION PANEL
DM	DISTRIBUTION BOARD
WM	WATER METER
CW	CURTAIN WALL

ENGINEER'S NAME _____ REGISTRATION NO. _____



REV DESCRIPTION DATE DRAWN

PROJECT TITLE

PROPOSED VILLA G+1
Parcel I.D 71112590
AL AWIR FIRST
Dubai ,United Arab Emirates

CLIENT

**OMAR AHMED
MUBARAK ALMARRI**

CONSULTANT



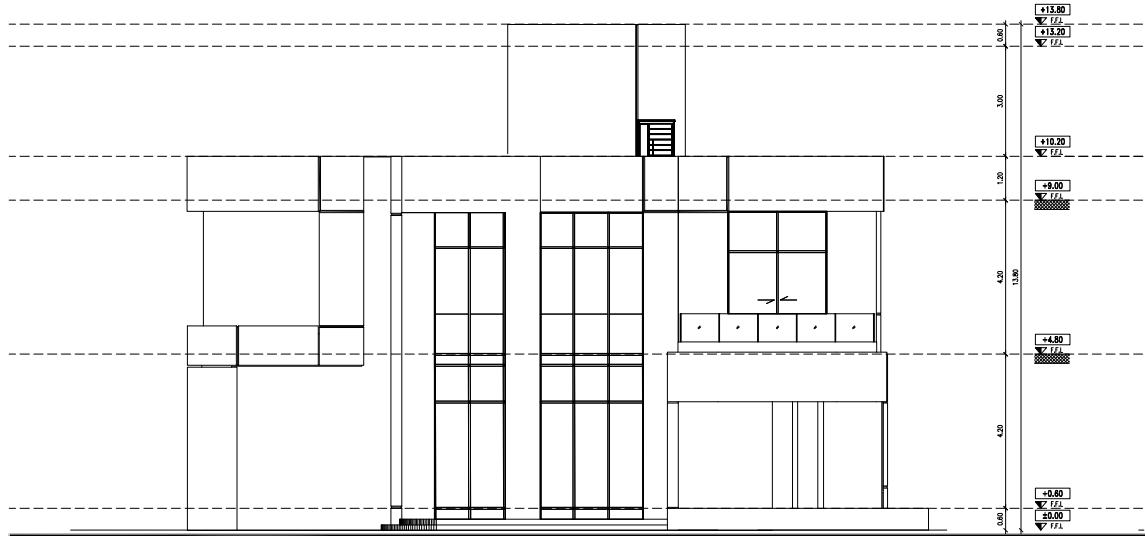
SHEET TITLE
ELEVATION FRONT AND LEFT

PROJECT NO. - DATE -

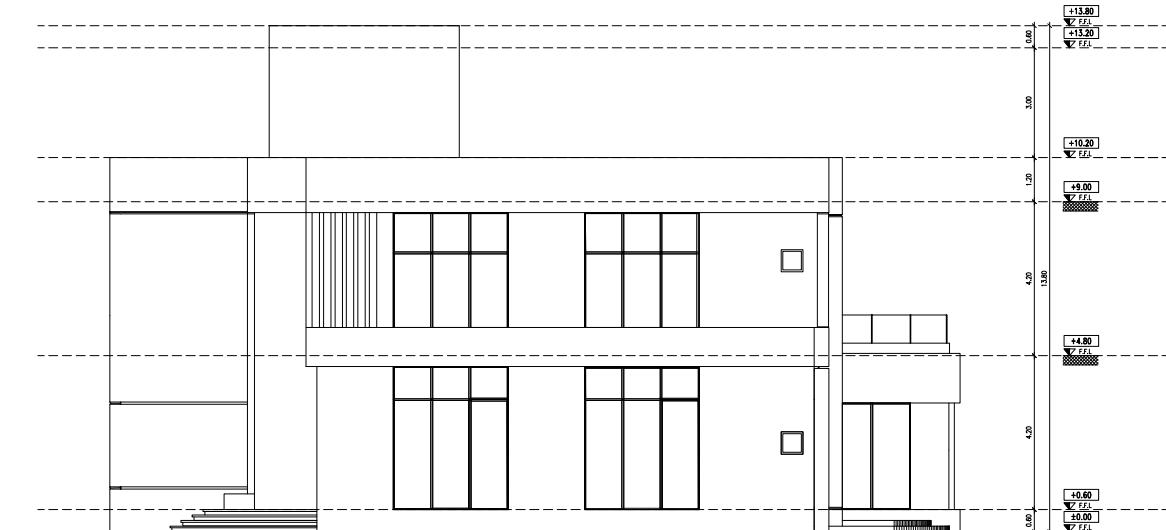
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REAR ELEVATION



RIGHT ELEVATION

CONSTRUCTION NOTES
THIS DRAWING IS THE PROPERTY OF AL SARH ENGINEERING CONSULTANCY AND MAY NOT BE REPRODUCED COPIED OR USED WITHOUT AUTHORITY APPROVAL.

THE CONTRACTOR AND ALL SUB CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT SITE AND SHALL NOTIFY CONTRACTOR IMMEDIATELY IF ANY DIMENSION IS NOT AS SHOWN ON THIS DRAWING. THE CONTRACTOR SHALL NOT MAKE ANY ADJUSTMENTS ON THE ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.

FLOOR AND WALL OPENINGS, LEVEL VARIATIONS IN THE STRUCTURAL, SLAB ELEVATIONS, DEPRESSED AREAS AND ALL OTHER CONSTRUCTION DETAILS ARE TO BE DETERMINED BY THE CONTRACTOR. REQUIREMENTS MUST BE COORDINATED BEFORE THE CONTRACTOR PROPOSES ANY CHANGES.

IN ALL CASES WHERE A CONFLICT MAY OCCUR SUCH AS BETWEEN THESE DRAWINGS AND THE CONTRACT DOCUMENTS, DRAWINGS OR BETWEEN GENERAL NOTES AND SPECIFIC DETAILS THE ARCHITECT HAS THE RIGHT TO OVERRIDE THE CONTRACT DOCUMENTS. THE INTENT OF CONTRACT DOCUMENTS.

DETAILS NOTED AS TYPICAL SHALL APPLY IN ALL CASES UNLESS SPECIFIED OTHERWISE.

WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION DETAILS SHALL BE DETERMINED BY THE CONTRACTOR ON THE PROJECT.

IN NO CASE SHALL WORKERS DIMENSIONS BE SCALE FROM PLANS, EXCEPT AS PROVIDED IN THE CONTRACT DOCUMENTS.

THE PRECISE DIMENSIONS AND LOCATIONS OF ALL DOORS AND WINDOWS SHALL BE DETERMINED BY THE CONTRACTOR.

INTERIOR DOORS, DOOR SWINGS, DOOR SIZES, DOOR PLANES AND DETAILS, OTHER WALL AND DOOR OPENINGS AS PROVIDED IN THE CONTRACT DOCUMENTS.

ROOFING, ROOFING SYSTEMS, ROOFING SLOPES, ROOFING OR

SIMILAR REQUIREMENTS SHALL BE VERIFIED FROM SHOP DRAWINGS EQUIPMENT DATA, DIMENSIONS, ETC AGREED.

LEGEND	
PL	REFINED GROUND LEVEL
FL	FINISHED GROUND LEVEL
SL	STRUCTURE SLAB LEVEL
GL	GROUND LEVEL
W	WALL
W.W	WATER WHEEL
AD	BALCONY DRAIN
LP	LOUVRE PANEL
TOP	TOP OF PARAPET
DM	DISTRIBUTION BOARD
WM	WATER METER
CW	CURTAIN WALL

ENGINEER'S NAME _____ REGISTRATION NO. _____



REV DESCRIPTION DATE DRAWN

PROJECT TITLE

PROPOSED VILLA G+1
Parcel I.D 71112590
AL AWIR FIRST
Dubai ,United Arab Emirates

CLIENT

**OMAR AHMED
MUBARAK ALMARRI**

CONSULTANT



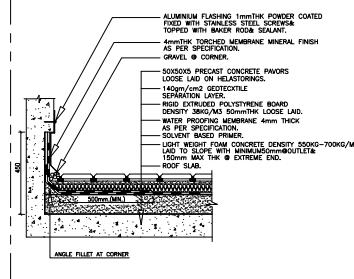
SHEET TITLE
**ELEVATION
REAR AND RIGHT**

PROJECT NO. - DATE -

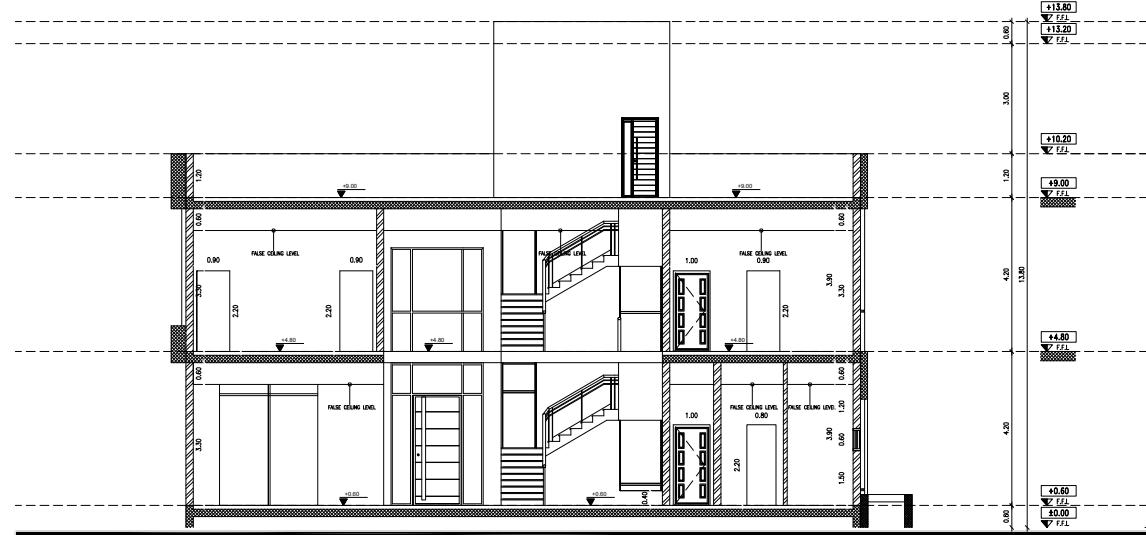
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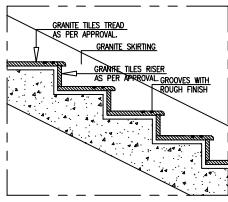
DRAWING NO. REVISION



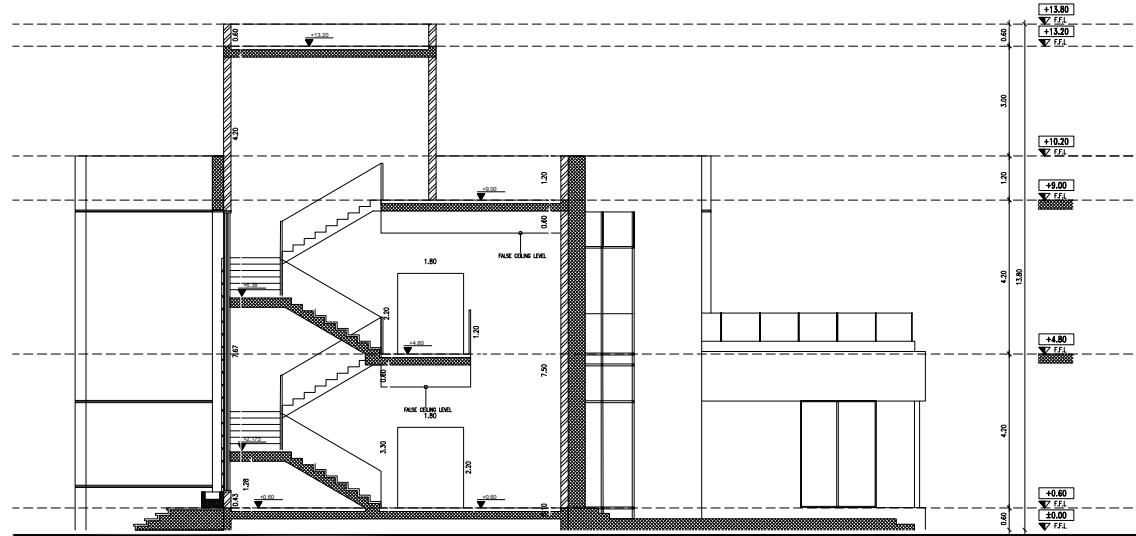
(M) WATERPROOFING DETAIL-
AT ROOF LEVEL.
THE SYSTEM SHALL BE AS PER SPECIFICATION.



SECTION A - A



(N) DETAIL-N.



SECTION B - B

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IN ALL CASES WHERE A CONFLICT MAY OCCUR SUCH AS BETWEEN THESE DRAWINGS AND THE CONTRACT DOCUMENTS, THE CONTRACT DOCUMENTS SHALL OVERRIDE. IN CASE OF CONFLICTS, OR BETWEEN GENERAL NOTES AND SPECIFIC DETAILS, THE ARCHITECT MUST BE CONSULTED. IN CASE OF CONFLICTS, THE CONTRACTOR WILL INTERFERE WITH THE INTENT OF CONTRACT DOCUMENTS.

DETAILS NOTED AS TYPICAL SHALL APPLY IN ALL CASES UNLESS SPECIFIED OTHERWISE. IN CASE OF CONFLICTS, THE CONTRACTOR SHALL FOLLOW THE CONTRACT DOCUMENTS.

WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION DETAILS SHALL BE AS PER APPROVAL. IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, DRAWINGS, OR SPECIFICATIONS. ALL WORKING DIMENSIONS ARE IN MILLIMETERS.

THE PRECISE DIMENSIONS AND LOCATIONS OF ALL DOORS, WINDOWS, AND OPENINGS SHALL BE AS PER APPROVAL.

INTERFACING WITH EXISTING CONSTRUCTION, INTERNAL PLANS AND DETAILS, OTHER WALL AND DOOR OPENINGS AS PER APPROVAL. IN CASE OF CONFLICTS, THE APPROVAL OR SIMILAR REQUIREMENTS SHALL BE VERIFIED FROM SHOP DRAWINGS EQUIPMENT DATA, DIMENSIONS, ETC. AGREED.

LEGEND:	NOTES:
0.00 FLOOR LEVEL	W.W. WASHING MACHINE
+0.00 FINISHED GROUND LEVEL	D.W. DISHWASHER
-0.00 GROUND LEVEL	G.G. GLOVED DOOR
0.00 STRUCTURE SLAB LEVEL	L.D. LOVING DOOR
0.00 GROUND LEVEL	M.D. METAL DOOR
0.00 KITCHEN DOOR	M.H. METAL HANGER
0.00 BALCONY DOOR	L.P. LOVING PANEL
0.00 TOP OF PARAPET	C.R. CLOTHES ROD
0.00 WATER HEATER	D.B. DISTRIBUTION BOARD
	C.W. CURTAIN WALL

ENGINEER'S NAME _____ REGISTRATION NO. _____



REV DESCRIPTION DATE DRAWN

PROJECT TITLE

PROPOSED VILLA G+1
Parcel I.D 71112590
AL AWIR FIRST
Dubai ,United Arab Emirates

CLIENT

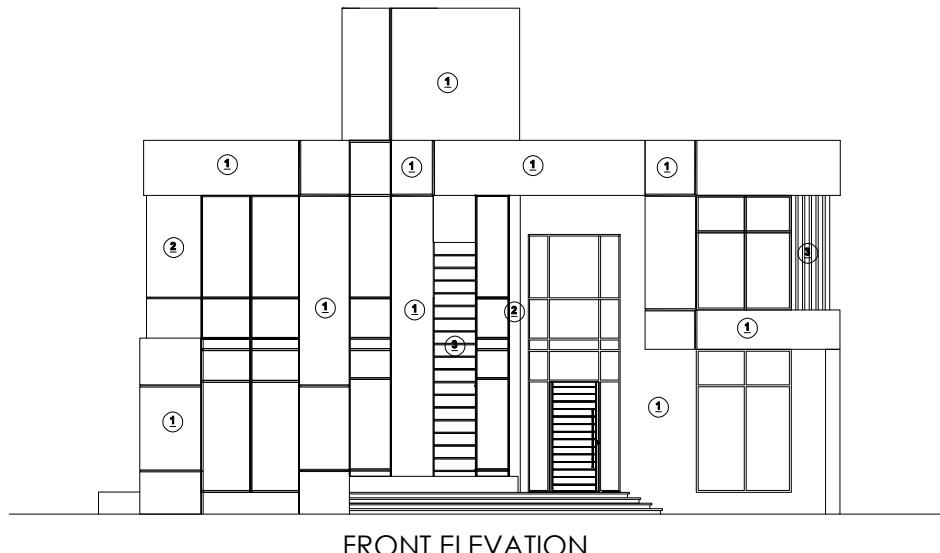
**OMAR AHMED
MUBARAK ALMARRI**

CONSULTANT



SHEET TITLE

PROJECT NO. -	DATE -
DRAWN BY -	CHECKED BY -
SCALE -	PAPER SIZE -
DRAWING NO.	REVISION



COLOR	AREA LRV >45%	AREA LRV <45%
① WHITE	111.20 m.sq	
② DARK BROWN		8.10 m.sq
③ OAK - DARK		10.70 m.sq
TOTAL AREA		111.20 m.sq
TOTAL FAÇADE AREA		130.00 m.sq
RATIO= $\frac{111.20 \text{ m.sq}}{130.00 \text{ m.sq}} = 0.86 (86\%)$		

Colors	#	Materials	%
White	70-50	Plaster - white	80
Light cream	70-80	White porcelain	65-75
Light yellow	55-65	Glazed white tile	60-75
		Limestone	35-70
Light green	45-50	Marble	30-70
Pink	45-50	Sandstone	20-40
Sky - blue	40-45	Concrete - gray	15-40
Light gray	40-45	Gypsum	20-25
		Brick - red	10-20
Beige	25-35	Carbon - black	2-10
Yellow ochre	25-35		
Light brown	25-35	Mirror	95
Olive green	25-35	Clear glass	6-8
Orange	20-25		
Vermillion red	20-25	Maple (Natural)	60
		Birch (Natural)	35-50
Medium gray	20-25	Oak - light	25-35
Dark green	10-15	Cherry (Natural)	15-30
Dark blue	10-15	Oak - dark	10-15
Dark red	10-15	Mahogany	6-12
Dark gray	10-15	Walnut - dark	5-10
Ideal Ceilings	60-90	Tin	67-72
Ideal Walls	35-60	Stainless steel	50-60
Ideal Countertops	30-50	Aluminum	55-58

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FLOOR AND WALL OPENINGS, LEVEL VARIATIONS IN THE STRUCTURAL, SLAB ELEVATIONS, DEPRESSED AREAS AND ALL OTHER REQUIREMENTS SHALL BE COORDINATED BY THE CONTRACTOR. REQUIREMENTS MUST BE COORDINATED BEFORE THE CONTRACTOR PROCEEDS WITH CONSTRUCTION.

IN ALL CASES WHERE A CONFLICT MAY OCCUR SUCH AS BETWEEN CONTRACT DOCUMENTS, GENERAL NOTES, SPECIFIC NOTES, OR BETWEEN GENERAL NOTES AND SPECIFIC DETAILS THE ARCHITECT'S SPECIFIC NOTES SHALL OVERRIDE. IN THE EVENT OF A CONFLICT THE INTENT OF CONTRACT DOCUMENTS

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THE PRECISE DIMENSIONS AND LOCATIONS OF ALL DOORS AND WINDOWS SHALL BE DETERMINED BY THE CONTRACTOR IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. OTHER WALL AND DOOR OPENINGS SHALL BE DETERMINED BY THE CONTRACTOR. EQUIPMENT DATA, DIMENSIONS, ETC. ARE RESERVED.

LEGEND		
PAL	REFINED GROUND LEVEL	W.W. WASHING MACHINE
PL	FINISHED GROUND LEVEL	D.P. DISHWASHER
SL	STRUCTURE SLAB LEVEL	GG. GLAZED DOOR
GL	GROUND LEVEL	LD. LOVING DOOR
MM	WALL MOLDING	MD. METAL DOOR
MM	WALL MOLDING	MS. METAL SCREEN
BD	BALCONY DRAIN	LP. LOVING PANEL
BD	BALCONY DRAIN	LS. LOVING SCREEN
TOP	TOP OF PARAPET	DM. DISTRIBUTION BOARD
WW	WATER HEATER	WM. WATER METER
WW	WATER HEATER	CW. CURTAIN WALL

ENGINEER'S NAME _____ REGISTRATION NO. _____



REV	DESCRIPTION	DATE DRAWN

PROJECT TITLE _____

PROPOSED VILLA G+1

Parcel I.D 71112590
AL AWIR FIRST
Dubai ,United Arab Emirates

CLIENT _____

**OMAR AHMED
MUBARAK ALMARRI**

CONSULTANT _____



SHEET TITLE _____

PERSPECTIVE

PROJECT NO. - - DATE - -

DRAWN BY - - CHECKED BY - -

SCALE : - PAPER SIZE

DRAWING NO. REVISION

WINDOWS SCHEDULE

WINDOW PLAN												
WINDOW ELEVATION												
Window Type	W1	W2	W3	W4	W5	W6	W7	W8	W9	W10	W11	W12
Specification	POLYESTER POWDER COATED HEAVY DUTY WITH 6mm GLASS PANEL INTERNALLY THICK TOUGHENED CLEAR GLASS PANEL INTERNALLY. WITH 6mm GLASS PANEL INTERNALLY THICK TOUGHENED CLEAR GLASS PANEL INTERNALLY. WITH 6mm GLASS PANEL INTERNALLY THICK TOUGHENED CLEAR GLASS PANEL INTERNALLY. WITH 6mm GLASS PANEL INTERNALLY THICK TOUGHENED CLEAR GLASS PANEL INTERNALLY. WITH 6mm GLASS PANEL INTERNALLY THICK TOUGHENED CLEAR GLASS PANEL INTERNALLY. WITH 6mm GLASS PANEL INTERNALLY THICK TOUGHENED CLEAR GLASS PANEL INTERNALLY. WITH 6mm GLASS PANEL INTERNALLY THICK TOUGHENED CLEAR GLASS PANEL INTERNALLY. WITH 6mm GLASS PANEL INTERNALLY THICK TOUGHENED CLEAR GLASS PANEL INTERNALLY. WITH 6mm GLASS PANEL INTERNALLY THICK TOUGHENED CLEAR GLASS PANEL INTERNALLY. WITH 6mm GLASS PANEL INTERNALLY THICK TOUGHENED CLEAR GLASS PANEL INTERNALLY. WITH 6mm GLASS PANEL INTERNALLY THICK TOUGHENED CLEAR GLASS PANEL INTERNALLY. WITH 6mm GLASS PANEL INTERNALLY THICK TOUGHENED CLEAR GLASS PANEL INTERNALLY.	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Size (m)	8.10X2.70	7.70X1.15	7.00X2.50	3.90X3.10	0.60X0.60	8.37X2.00	8.37X1.70	2.90X2.00	7.70X0.95	3.90X2.70	3.15X3.10	0.90X1.40
Quantity	1	1	1	2	7	2	1	1	1	1	2	1
LOCATION	AS PER DRAWING	AS PER DRAWING	AS PER DRAWING	AS PER DRAWING	AS PER DRAWING	AS PER DRAWING	AS PER DRAWING	AS PER DRAWING	AS PER DRAWING	AS PER DRAWING	AS PER DRAWING	AS PER DRAWING

CONSTRUCTION NOTES
 THIS DRAWING IS THE PROPERTY OF AL SARH ENGINEERING CONSULTANCY. IT MAY NOT BE REPRODUCED, COPIED OR USED WITHOUT AUTHORITY APPROVAL.

THE CONTRACTOR AND ALL SUB-CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT SITE AND SHALL NOTIFY DESIGNER IN WRITING OF ANY CHANGES. DESIGNER'S COMMENTS ON THE CONTRACTOR'S WORK ARE THE CONTRACTOR'S RESPONSIBILITY.

FLOOR AND WALL OPENINGS. LEVEL VARIATIONS IN THE STRUCTURAL SLAB ELEVATIONS DETERMINED AS PER ALL CONTRACTOR'S REQUIREMENTS. CONTRACTOR'S REQUIREMENTS

IN ALL CASES WHERE A CONFLICT MAY OCCUR SUCH AS BETWEEN THESE CONTRACTOR'S REQUIREMENTS AND THE CONTRACTOR'S REQUIREMENTS OR BETWEEN GENERAL NOTES AND SPECIFIC DETAILS THE ARCHITECT'S APPROVAL SHALL TAKE PRIORITY. THE CONTRACTOR WILL INTERFERE WITH THE INTENT OF CONTRACT DOCUMENTS.

DETAILS AS TYPICAL SHALL APPLY IN ALL CASES UNLESS OTHERWISE SPECIFIED.

WHERE NO SPECIFIC DETAIL IS SHOWN, THE PRINCIPAL OR CONTRACTOR SHALL PROVIDE A FLOOR-FIXED LINE OF CONSTRUCTION ON THE PROJECT.

IN NO CASE SHALL WORKING DIMENSIONS BE SCALE FROM PLANS, DESIGNERS' NOTES OR CONTRACTOR'S REQUIREMENTS.

THE PRECISE DIMENSIONS AND LOCATIONS OF ALL DOORS, WINDOWS, OPENINGS, ETC. SHALL BE DETERMINED AS PER THE CONTRACTUAL PLANS AND DETAILS. OTHER WALL AND DOOR OPENINGS AS PER CONTRACTUAL PLANS AND DETAILS. OTHER WALL AND DOOR OPENINGS OR SIMILAR REQUIREMENTS SHALL BE VERIFIED FROM SHOP DRAWINGS EQUIPMENT DATA, ENGINEERING STD. AND QUOTED.

LEGEND	DEFINITION
FSL	FINISHED SLAB LEVEL
FSL	FINISHED GROUND LEVEL
GLL	GROUNDED GROUND LEVEL
SSL	STRUCTURE SLAB LEVEL
GLL	GROUND LEVEL
DL	DOOR
LP	LOWLINE DOOR
MD	MEDIUM DOOR
HD	HIGH DOOR
BD	BALCONY DOOR
LW	LOWLINE PANEL
EW	EXTERIOR WINDOW
TOP OF PLATE	TOP OF PLATE
W.M.	WASHING MACHINE
D.W.	DISHWASHER
GD	GLAZED DOOR
LD	LOWLINE DOOR
MD	MEDIUM DOOR
HD	HIGH DOOR
BD	BALCONY DOOR
LW	LOWLINE PANEL
EW	EXTERIOR WINDOW
CW	CURTAIN WALL

ENGINEER'S NAME _____ REGISTRATION NO. _____



REV DESCRIPTION DATE DRAWN

PROJECT TITLE PROPOSED VILLA G+1

Parcel I.D 71112590
AL AWIR FIRST
Dubai ,United Arab Emirates

CLIENT OMAR AHMED MUBARAK ALMARRI

CONSULTANT



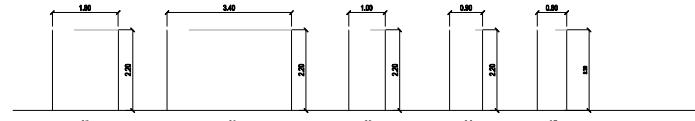
SHEET TITLE DOOR WINDOW SCHEDULE

PROJECT NO. - DATE -
DRAWN BY - CHECKED BY -
SCALE - PAPER SIZE -
DRAWING NO. Revision

DOOR SCHEDULE

DOOR ELEVATION				
DOOR TYPE	MD	D1	D2	D3
Specification	SWING DOOR SWING OUT & IN REFERRED AT DRAWING NO. 71112590. MD. DOOR REFERRED AT DRAWING NO. 71112590. MD. DOOR REFERRED TO THE ARCHITECT'S APPROVAL.	SWING DOOR SWING OUT & IN REFERRED AT DRAWING NO. 71112590. D1. DOOR REFERRED AT DRAWING NO. 71112590. D1. DOOR REFERRED TO THE ARCHITECT'S APPROVAL.	SWING DOOR SWING OUT & IN REFERRED AT DRAWING NO. 71112590. D2. DOOR REFERRED AT DRAWING NO. 71112590. D2. DOOR REFERRED TO THE ARCHITECT'S APPROVAL.	SWING DOOR SWING OUT & IN REFERRED AT DRAWING NO. 71112590. D3. DOOR REFERRED AT DRAWING NO. 71112590. D3. DOOR REFERRED TO THE ARCHITECT'S APPROVAL.
Size in meter	3.00X1.30	2.20 x 1.00	2.20 x 1.00	2.20 x 0.90
Quantity	1	1	8	2
LOCATION	AS PER DRAWING	AS PER DRAWING	AS PER DRAWING	AS PER DRAWING

OPENING SCHEDULE



STRUCTURAL GENERAL NOTES

A) GENERAL:

ALL DIMENSIONS ARE IN FOOT, INCH EXCEPT FOR BAR DIAMETER & COVER TO REINFORCEMENT (MILLIMETER). DIMENSIONS ARE TO BE VERIFIED BY THE CONTRACTOR BEFORE COMMENCING ANY WORK.

NO DIMENSIONS IS TO BE SCALED OFF, BUT WRITTEN DIMENSIONS TO BE FOLLOWED.

STRUCTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL RELATED ARCHITECTURAL DRAWINGS, SERVICE DRAWINGS & SPECIFICATIONS.

INCASE OF ANY DISCREPANCY IN DETAILS OR MISSING DETAILS, THE CONSULTANT MUST BE APPROACHED FOR DECISION PRIOR TO TAKING UP OF RELATED WORK. CONSULTANT DECISION IN SUCH MATTERS SHALL BE FINAL WITHOUT ANY EXTRA CLAIMS.

B) DESIGN:

ALL DESIGN AND WORKMANSHIP SHALL BE AS PER BS-8110 AND BUILDING REGULATION OF DUBAI MUNICIPALITY.

DESIGN LOADS ARE AS FOLLOW:

ROOF LIVE LOAD = 1.5 KN / m²

RES. FLOOR LIVE LOAD = 2 KN / m²

MEZZANINE FLOOR LIVE LOAD = 5 KN / m²

CHARACTERISTIC STRENGTH OF STRUCTURAL CONCRETE 40 N / mm².

YIELD STRENGTH OF REBAR 460 N / mm².

C) SOIL & FOUNDATIONS:

FOUNDATION HAS BEEN DESIGNED FOR A SBC OF (150-160) KN / m² AS PER SOIL REPORT

THIS CAPACITY IS BASED ON RECOMMENDATION OF SOIL INVESTIGATION REPORT.

THIS CAPACITY IS TO BE VERIFIED BY THE CONTRACTOR BY USING BORE HOLE RESULTS BY APPROVED SOIL INVESTIGATOR.

SOILS FOR FILLS AND BACKFILLS SHALL BE COMPACTED UP TO 95% OF ITS MAXIMUM DENSITY. IT'S NOT ALLOWED TO PROJECT ANY PART OF THE FOUNDATION BEYOND THE PLOT LINE.

CENTRE OF GRAVITY OF INDIVIDUAL FOOTINGS SHALL COINCIDE WITH CENTRE OF GRAVITY OF COLUMNS, UNLESS OTHERWISE SPECIFIED.

FOR COMBINED FOOTINGS C.G OF FOOTING SHALL COINCIDE WITH C.G OF GROUP OF COLUMNS, UNLESS OTHERWISE SPECIFIED.

ECCENTRIC FOOTINGS AND COLUMNS TO BE SYMMETRICAL ABOUT AXIS OF STRAP BEAMS.

FOUNDATIONS OF PROPOSED WORK SHALL NOT BE DEEPER THAN EXISTING WORKS.

CONTRACTOR SHALL PROVIDE, IF NECESSARY, PROPS AND SUPPORTS TO EXISTING STRUCTURE FOR THE SAFETY OF NEIGHBOURING BUILDINGS.

POLYTHENE SHEET 1000 GAUGE LOCAL MAKE OR EQUIVALENT TO BE LAID ON THE TOP OF THE PLAIN CONCRETE & BELOW THE FOUNDATIONS.

ALL STRUCTURES BELOW GROUND LEVEL IN CONTACT WITH SOIL SHALL BE PAINTED WITH TWO COATS OF RUBBERIZED BITUMENE TO CONSULTANT APPROVAL.

D) REINFORCING STEEL:

REINFORCING BARS ARE TO BE TO BS-4449.

REINFORCEMENT ARE TO BE COLD BENT WITH A MINIMUM RADIUS OF 8 BAR DIAMETER EXCEPT FOR STIRRUPS AND COLUMN TIES RADUIS OF 4 BAR DIAMETERS.

WHERE BARS END IN COLUMNS, BEAMS AND SLABS THEY SHOULD BE HOOKED WITH A 90 OR 180 HOOK WITH A STRAIGHT END OF 12 BAR DIAMETER AND 5 BAR DIAMETER RESPECTIVELY.

REINFORCEMENT WHEREVER LAPPED SHALL HAVE 50 X DIA. OF SMALLER BAR, UNLESS OTHERWISE SPECIFIED.

CONCRETE CLEAR COVER TO MAIN REINFORCEMENT SHALL BE AS FOLLOWS:

ITEM	BOTTOM	TOP	OUTER SIDE	INNER SIDE	REMARKS
FOUNDATION	75	75	75	75	
PILE	100	---	75*100**	75*100**	* UP TO 750 DIA ** ABOVE 750 DIA
NECK COL	---	---	65	65	
TIE BEAM	30	30	30	30	
GRADE SLAB	---	50	---	---	
SLAB	20	20	---	---	
BEAM	30	30	30	30	
COLUMN	---	---	30	30	
WATER TANK	50	50	50	50	
RETAINING WALL	---	---	40	50	

- 6) 200mm WIDE BEAMS SHALL NOT HAVE MORE THAN TWO BARS IN ONE LAYER.
- 7) STANDARD BEAMS & SLABS DETAILS ARE TO BE FOLLOWED UNLESS OTHERWISE NOTED.
- 8) **FOR RIB SPAN EXCEEDING 4.5 m, ADD ONE TRANVERSE STIFFNER RIB AT MIDSPAN.**
- 9) **IF THE GAP BETWEEN A BEAM & LINTEL IS LESS THAN 100 mm THE DEPTH OF BEAM CAN BE INCREASED TO LINTEL LEVEL.**

E) CONCRETE WORKS:

- 1) SULPHATE RESISTANCE CEMENT TO BS-4027 OR ASTM C150 TYPE II AS APPLICABLE TO BE USED FOR ALL WORKS BELOW PLINTH LEVEL
- 2) ORDINARY PORTLAND CEMENT TO BS-12 IS TO BE USED FOR ALL WORKS ABOVE PLINTH.
- 3) COARSE & FINE AGGREGATES ARE TO BE TO BS-812.
- 4) WATER IS TO BE TO BS-3148.
- 5) **PLAIN CONCRETE USED BELOW FOOTINGS AND WALLS SHALL BE OF MINIMUM CUBE STRENGTH AT 28 DAYS OF 200 Kg/m³, AND MINIMUM CEMENT CONTENT OF 250 Kg/m³**
- 6) STRUCTURAL CONCRETE SHALL BE OF A MINIMUM CEMENT CONTENT OF 350 kg/m³
- 7) MINIMUM CEMENT CONTENT FOR SUB-STRUCTURE CONCRETE SHALL BE 370 Kg/m³ AND MAXIMUM WATER CEMENT RATIO 0.45.
- 8) MINIMUM CEMENT CONTENT FOR SUPER STRUCTURE SHALL BE 350 Kg/m³ AND MAXIMUM WATER CEMENT RATIO 0.48
- 9) **MINIMUM 6 NOS. OF CONCRETE CUBES SHALL BE TAKEN ON EACH DAY OF CONCRETING OR FOR EACH 100m³ OF CONCRETE AS DECIDED BY THE CONSULTANT. THESE CUBES SHALL BE TESTED IN LABORATORY APPROVED BY THE CONSULTANT & AS REQUIRED BY THE CONSULTANT. CUBE RESULTS MUST BE SUBMITTED TO THE CONSULTANT IMMEDIATELY AFTER TESTING. THE METHOD OF TESTING AND STORING SHALL BE AS PROVIDED BY CONSULTANT AND TO BS-8110.**

- 10) PERCENTAGE OF SOLUBLE SULPHATE & CHLORIDE BY WEIGHT ALLOWED:

REQUIREMENT	METHOD NUMBER	MAX PERMISSIBLE LIMIT	
		COARSE	FINE
ACID SOLUBLE SULPHATE SO ₄	BS 812: PART 188	0.3%	0.3%
ACID SOLUBLE CHLORIDE CL	BS 812: PART 117 Appendix C		
RCC MADE WITH SRPC		0.01%	0.03%
OPC / MSRPC		0.02%	0.03%
MASS CONCRETE MADE WITH SRPC		0.02%	0.03%
OPC / MSRPC		0.04%	0.03%
PRE STRESSED CONCRETE & PRE-CURED STRUCTURAL CONCRETE		0.01%	0.03%

- 11) NO CONCRETING IS ALLOWED UNDER A SHADE TEMPERATURE EXCEEDING 40° C, CONCRETE TEMPERATURE IN PLACE SHALL NOT EXCEED 30° C.
- 12) NO OPENING SHALL BE MADE IN CONCRETE WORKS WITHOUT WRITTEN PERMISSION OF THE CONSULTANT.
- 13) SHUTTERING SHALL NOT BE REMOVED FOR THE PERIODS OF 2 DAYS FOR COLUMNS & WALLS 2 DAYS FOR BEAM SIDES 14 DAYS FOR BEAM & SLAB SOFTIFS.
- 14) NECK COLUMN SECTION TO BE INCREASED BY 70mm EACH SIDE IN ORDER TO HAVE CLEAR CONCRETE COVER OF MINIMUM 50mm
- 15) **IN ALL CONSTRUCTIONS JOINTS, COLUMN HEADS CONCRETE TO BE CHIPPED BEFORE NEW CONCRETING.**
- 16) FRESHLY PLACED CONCRETE SHALL BE PROTECTED FROM RAIN, DUST & SUN RAYS. CONCRETE TO BE CURED FOR 7 DAYS AS REQUIRED BY THE CONSULTANT BY USING FRESH WATER OR ANY OTHER CURING COMPOUND TO CONSULTANT'S APPROVAL.
- 17) ADMIXTURES TO BE USED ONLY AFTER WRITTEN APPROVAL OF THE CONSULTANT, ITS NOT ALLOWED TO USE ANY ADMIXTURES CONTAINING CHLORIDE.
- 18) FIN AGGREGATE SHALL CONFORM WITH ADMINISTRATIVE ORDER No.144/91 IN ADDITION TO THE REQUIREMENTS OF CONTRACT SPECIFICATION.

F) BLOCK WORK & PLASTER:

- 1) MINIMUM CRUSHING STRENGTH OF CONCRETE BLOCK : AS PER DUBAI MUNICIPALITY LOCAL ORDER No. 44/90 HOLLOW BLOCKS -- AVG 7.5 N/mm² INDIVIDUAL VALUES 4.6N/mm². SOLID BLOCKS -- AVG 12.5 N/mm² INDIVIDUAL VALUES 10N/mm². FOR HOLLOW BLOCKS -- AVG 3 N/mm² INDIVIDUAL VALUES 2.5N/mm².
- 2) ALL BLOCKS FOR SUB-STRUCTURE TO BE WITH S.R.CEMENT.
- 3) ALL COARSE & FINE AGGREGATES FOR BLOCK WORKS & PLASTER TO BE AS SPECIFIED IN CONCRETE WORKS CLAUSE 10-F.
- 4) MORTAR FOR PLASTER & BLOCK WORK TO BE 1:4 CEMENT-SAND.
- 5) IN CASE OF BLOCK PANEL AREA EXCEEDING 14m² EITHER PROVIDE DUMMY COLUMNS, SIZE 8"X 8" (200X 200mm) WITH #4#2 VERTICAL BARS AND TIES @ 8" C/C (#8 @ 200mm C/C) OR A LINTEL AT MIDHEIGHT 8" X 8" (200X 200mm) WITH 2T12 TOP & 2T24 BOTTOM WITH STIRRUPS @ 8" (@ 200mm) OR AT SUITABLE APPROVED HEIGHTS.
- 6) **IF THE TOTAL HEIGHT OF BLOCK WORK PANEL EXCEEDING 12'-0" (3.60m) PROVIDE LINTEL AS SPECIFIED.**
- 7) JOINTS OF BLOCK WORK & CONCRETE TO BE PATCHED UP WITH MESH 6" (150mm) WIDE BEFORE PLASTERING, EXPAMET(264 or 528) EQUIVALENT APPROVED.
- 8) BLOCK WORKS & PLASTER TO BE CURED FOR 7 DAYS MINIMUM.
- 9) EXPANSION STAINLESS STEEL ANCHOR BOLT , AT EVERY 2 COARSES OF BLOCKS.
- 10) **ALL INTERNAL & EXTERNAL BLOCK ABOVE THE BEAMS, WALLS SHALL HAVE A LAYER OF D.P.C. AS PER BS-6398, CLASS A AND TO CONSULTANT APPROVAL AT THE PLINTH LEVEL.**
- 11) **ALL CONCRETE SURFACES SHALL BE HACKED TO RECEIVE CEMENT/SAND RUSH COAT BEFORE PLASTER.**
- 12) **ALL THE CORNERS SHALL HAVE ANGLE BEADS, EXPAMET(850) ALL EXTERNAL ANGLE BEADS TO BE P.V.C COATED. HORIZONTAL EXPANDED METAL TO BE PROVIDED AT MIDHEIGHT OF THE BLOCK WALL, EXPAMET (77/100 FOR 8" BLOCK & 77/100 FOR 4" BLOCK) TO CONSULTANT APPROVAL.**

CONSTRUCTION NOTES

THIS DRAWING IS THE PROPERTY OF AL SARH ENGINEERING CONSULTANCY. IT MAY NOT BE COPIED OR USED WITHOUT AUTHORITY APPROVAL.

THE CONTRACTOR AND SUB CONTRACTOR SHALL VERIFY ALL DRAWINGS AND SPECIFICATIONS AND CHECK FOR ANY ERRORS OR OMISSIONS. THE CONTRACTOR SHALL NOTIFY THE CONSULTANT OF ANY DISCREPANCIES OR OMISSIONS IN THE DRAWINGS AND SPECIFICATIONS.

FLOOR AND WALL OPENINGS, LEVELS, ELEVATIONS IN THE DRAWINGS ARE TO BE CHECKED BY THE CONTRACTOR AND OTHER ARCHITECTURAL, MECHANICAL, ELECTRICAL AND CIVIL CONTRACTORS. THE CONTRACTOR SHALL NOTIFY THE CONSULTANT OF ANY DISCREPANCIES OR OMISSIONS IN THE DRAWINGS AND SPECIFICATIONS.

IN ALL CASES WHERE A CONFLICT MAY OCCUR BETWEEN THE DRAWINGS AND THE CONTRACTOR'S SPECIFICATIONS, THE CONTRACTOR'S SPECIFICATIONS SHALL TAKE PRIORITY.

DETAILS NOTED AS TYPICAL SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE.

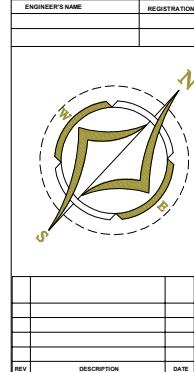
WHERE NO SPECIFIC DETAIL IS SHOWN, THE CONTRACTOR SHALL MAKE THE APPROPRIATE ADJUSTMENT.

IN ALL CASES WHERE THE CONTRACTOR'S SPECIFICATIONS ARE NOT SHOWN, THE CONTRACTOR SHALL BE SCALD FROM PLANS, SECTIONS, ELEVATIONS AND DETAILS ON ALL DRAWINGS.

WALL AND FLOOR THICKNESSES, DOORS, WINDOWS AND GLAZED OPENINGS SHALL BE DETERMINED FROM ARCHITECTURAL DRAWINGS. ALL DOORS AND WINDOWS SHALL BE PROVIDED AS REQUIRED BY MECHANICAL, ELECTRICAL, PLUMBING OR FIRE PROTECTION CONTRACTORS. THE CONTRACTOR SHALL PROVIDE THE CONTRACTOR WITH DETAILS OF DOORS AND WINDOWS, INCLUDING DIMENSIONS, EQUIPMENT AND ACCESSORIES, AS REQUIRED.

LEGEND	EXPLANATION
FL	FLOOR LEVEL
FLR	FLOOR
FAL	FLOOR TO ANL LEVEL
SL	STRUCTURAL LEVEL
LD	LOWEY DOOR
WC	WALK IN CABINET
SD	SLEEPER DOOR
PT	FLOOR TRAP
RD	REINFORCED
RC	REINFORCED CONCRETE
W	WASHING MACHINE
F	FAUCET
DR	DRINKING FAUCET
LD	LOWEY DOOR
SD	SLEEPER DOOR
AD	ALUMINIUM DOOR
LA	LAMINATED ALUMINUM
CL	CENTRAL LINE
DR	DOOR
GD	GARDEN DOOR
GW	GLAZED WINDOW
EW	EXHAUST FAN

ENGINEER'S NAME _____ REGISTRATION NO. _____



REV. DESCRIPTION DATE DRAWN

PROJECT TITLE

PROPOSED VILLA G+1
Parcel I.D 71112590
AL AWIR FIRST
Dubai , United Arab Emirates

CLIENT

OMAR AHMED
MUBARAK ALMARRI

CONSULTANT



SHEET TITLE

GENERAL NOTES

PROJECT NO. -	DATE -
DRAWN BY -	CHECKED BY -
SCALE -	PAPER SIZE
DRAWING NO. DD	REVISION

CONSTRUCTION NOTES

THIS DRAWING IS THE PROPERTY OF AL SARH ENGINEERING CONSULTANCY. IT MAY NOT BE REPRODUCED, COPIED OR USED WITHOUT AUTHORITY APPROVAL.

THE CONTRACTOR AND SUB CONTRACTOR SHALL USE ALL INFORMATION CONTAINED IN THIS DRAWING FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL NOT MAKE ANY CHANGES TO THE DRAWINGS OR SPECIFICATIONS WITHOUT THE APPROVAL OF THE ENGINEER. ANY DISCREPANCY OVER CHECK DETAILS AND DIMENSIONS ON THE DRAWINGS SHALL BE REFERRED TO THE ENGINEER FOR APPROVAL.

FLOOR AND WALL OPENINGS, LEVELS, ELEVATIONS IN THE DRAWINGS ARE NOT TO BE CONSIDERED AS EXACT. ALL OTHER ARCHITECTURAL, MECHANICAL, ELECTRICAL AND CIVIL DETAILS ARE TO BE REFERRED TO THE APPROPRIATE CONTRACTOR PROCESS WITH CONSTRUCTION.

IN ALL CASES WHERE A CONFLICT MAY OCCUR SUCH AS BETWEEN THE DRAWINGS AND THE CONTRACT DOCUMENTS, THE CONTRACT DOCUMENTS SHALL TAKE PRIORITY. THE CONTRACTOR AND ENGINEER SHALL BE NOTIFIED AND HE WILL INTERPRET THE CONFLICT.

DETAILS NOTED IN THIS DRAWING SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE.

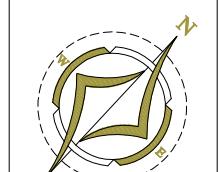
WHERE NO SPECIFIC DETAIL IS SHOWN, REFER TO THE APPROPRIATE CONTRACT DOCUMENTS ON THE DRAWINGS.

IN ALL CASES, SIZES, DIMENSIONS AND SPACINGS SHALL BE SCALLED FROM PLANS, SECTION, ELEVATIONS AND DETAILS ON ALL DRAWINGS.

ALL DRAWINGS ARE IN MILLIMETERS. ALL SPACINGS AND WINDOW OPENINGS SHALL BE DETERMINED FROM ARCHITECTURAL DIMENSIONS. ALL SPACINGS AND SPACINGS REQUIRED BY MECHANICAL, ELECTRICAL, DRAINAGE, PLUMBING OR AIR CONDITIONING SHALL BE DETERMINED FROM THE APPROPRIATE CONTRACT DOCUMENTS. ALL SPACINGS OF DRAINED EQUIPMENT DATA DIMENSIONS ETC AS REQUIRED.

LEGEND	NOTATION
WFL	WASHING MACHINE
F	FAUCET
SL	SIDE LOAD DOOR
LD	LOADING DOOR
WC	WATER CLOSET
SD	SLEEPING PORCH
PT	FLOOR TRAP
AL	ALUMINUM DOOR
AD	ALUMINUM DOOR
R&D	RAIN & DUST OUTLET
CL	CENTER LINE
SW	SWINGING DOOR
GW	GLAZED WINDOW
EW	CASEMENT WINDOW

ENGINEER'S NAME _____ REGISTRATION NO. _____



REV	DESCRIPTION	DATE DRAWN

PROJECT TITLE
PROPOSED VILLA G+1
Parcel I.D 71112590
AL AWIR FIRST
Dubai ,United Arab Emirates

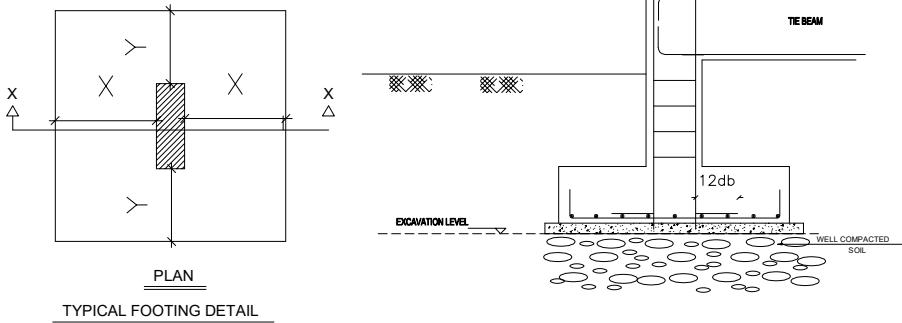
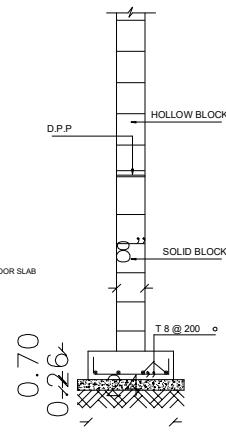
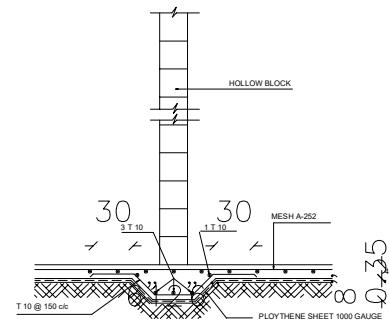
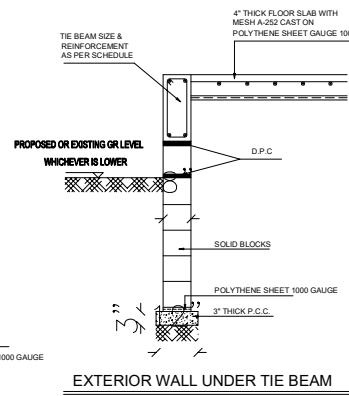
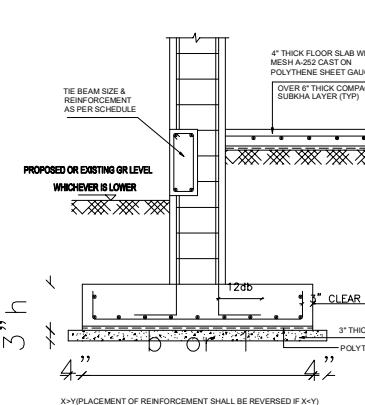
CLIENT
OMAR AHMED MUBARAK ALMARRI



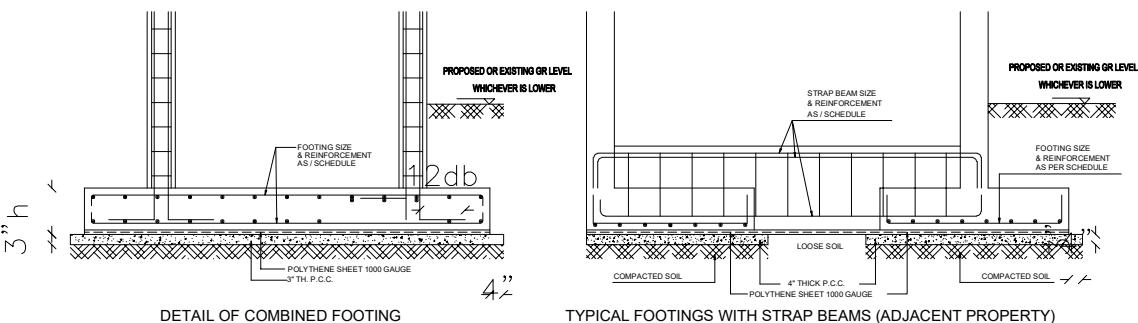
SHEET TITLE

TYPICAL DETAILS I

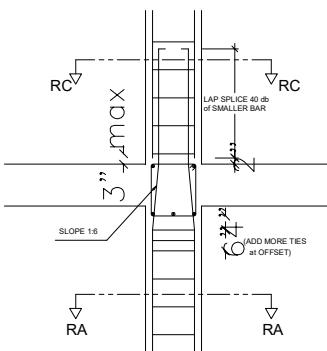
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SCALE - -	PAPER SIZE - -
DRAWING NO. D1	REVISION



TYPICAL DETAIL OF FOOTING PLACED ON FILL

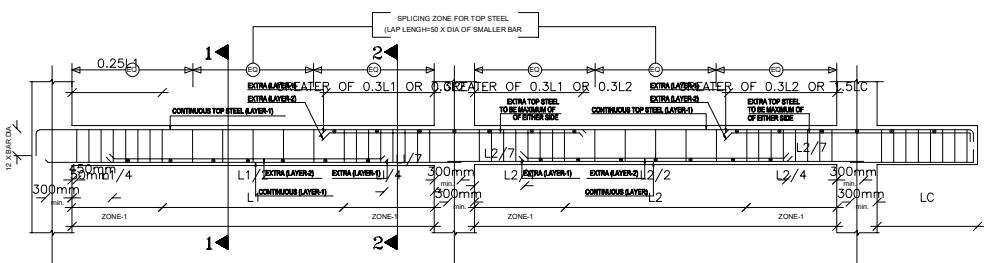


TYPICAL FOOTINGS WITH STRAP BEAMS (ADJACENT PROPERTY)

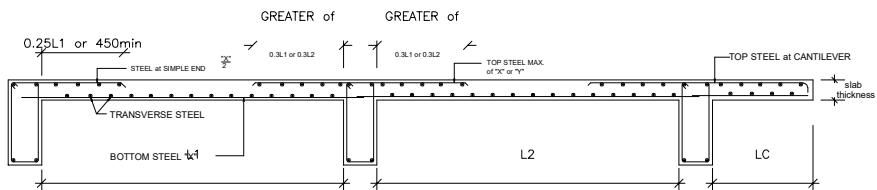


SECTION "RA"

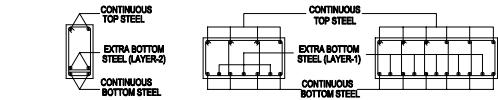
TYPICAL COLUMN SPLICING DETAIL



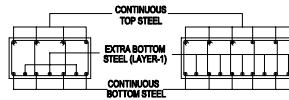
TYPICAL BEAM DETAIL



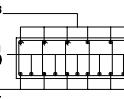
TYPICAL TWO WAY SLAB REINFORCEMENT DETAIL



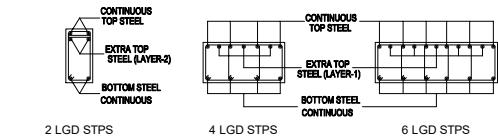
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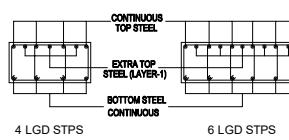
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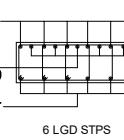
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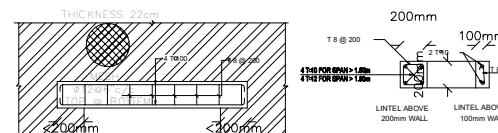
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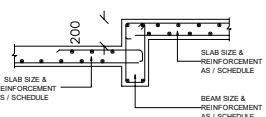
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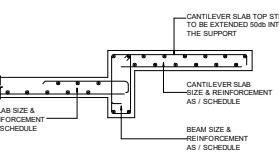
SECTION 2-2



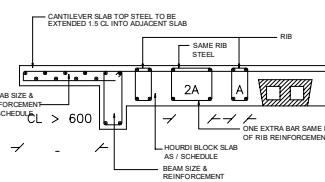
TYPICAL LINTEL DETAIL



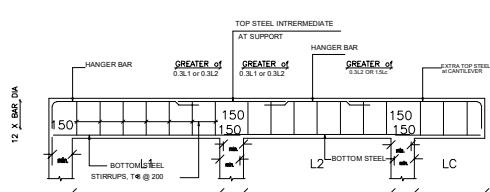
DETAIL of CONNECTION BETWEEN SUNK SLAB & ORDINARY SLAB



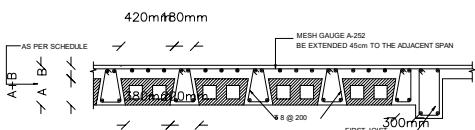
DETAIL of CONNECTION BETWEEN SUNK SLAB & CANTILEVER SLAB



DETAIL OF CONNECTION BETWEEN HOURDI BLOCK SLAB & CANTILEVER SOLID SLAB

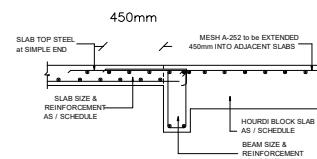


TYPICAL RIB DETAIL



TYPICAL HOLLOW BLOCK SLAB DETAIL

(FOR ONE-WAY HOURDI ONLY)



DETAIL of CONNECTION BETWEEN HOURDI BLOCK SLAB & ORDINARY SLAB

CONSTRUCTION NOTES	
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THE CONTRACTOR AND SUB CONTRACTOR SHALL USE THIS DRAWING AS A GUIDE FOR CONSTRUCTION. THE CONTRACTOR AND SUB CONTRACTOR SHALL NOT MAKE ANY CHANGES TO THIS DRAWING WITHOUT THE APPROVAL OF THE CONTRACTOR AND SUB CONTRACTOR. THE CONTRACTOR AND SUB CONTRACTOR SHALL NOT MAKE ANY CHANGES TO THIS DRAWING WITHOUT THE APPROVAL OF THE CONTRACTOR AND SUB CONTRACTOR.	
FLOOR AND WALL OPENINGS, ELEVATIONS IN THE DRAWINGS ARE NOT TO BE CONSIDERED AS EXACT. ALL OTHER ARCHITECTURAL, MECHANICAL, ELECTRICAL AND CIVIL DETAILS ARE TO BE DETERMINED BY THE CONTRACTOR AND SUB CONTRACTOR. THE CONTRACTOR AND SUB CONTRACTOR SHALL PROCESS WITH CONSTRUCTORS.	
IN ALL CASES WHERE A CONFLICT OCCURS SUCH AS BETWEEN THIS DRAWING AND THE CONTRACT DOCUMENTS, THE CONTRACT DOCUMENTS SHALL TAKE PRIORITY OVER THIS DRAWING. THE CONTRACTOR AND SUB CONTRACTOR SHALL BE NOTIFIED AND HE WILL INTERPRET THE CONTRACT DOCUMENTS.	
DETAILS NOTED AS TYPICAL SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE.	
WHERE NO SPECIFIC DETAIL IS SHOWN, REFER TO THE CONTRACT DOCUMENTS ON THE SUBJECT.	
WIND CASE SHOWN ON DRAWINGS SHOULD BE SCALDED FROM PLANS, SECTIONS, ELEVATIONS AND DETAILS ON ALL DRAWINGS.	
WALL AND FLOOR OPENINGS SHALL BE DETERMINED FROM ARCHITECTURAL DRAWINGS. ALL OTHER OPENINGS SHALL BE DETERMINED BY MECHANICAL, ELECTRICAL, DRAINAGE, PLUMBING OR CONCRETE CONTRACTORS. THE CONTRACTOR AND SUB CONTRACTOR ARE RESPONSIBLE FOR DETERMINING EQUIPMENT DATA, DIMENSIONS, ETC. AS REQUIRED.	
LEGEND	
WFL	FRESH FLOOR LEVEL
FPL	FRESH FLOOR LEVEL
FAL	FRESH ANGLE SLAB LEVEL
SL	SLAB
SH	SHOWER
WC	WALK IN CABINET
LD	LIVING ROOM
SC	SLEEPING CABINET
PT	FLOOR TRAP
AD	ADMIRALY DOOR
WD	WALK IN DRESSING
RAD	RADIATOR
CL	CENTRAL LINE
DR	DRAINS
GW	GLAZED WINDOW
CF	CUTTING LINE

ENGINEER'S NAME _____ REGISTRATION NO. _____



REV	DESCRIPTION	DATE DRAWN

PROJECT TITLE
PROPOSED VILLA G+1
Parcel I.D 71112590
AL AWIR FIRST
Dubai ,United Arab Emirates

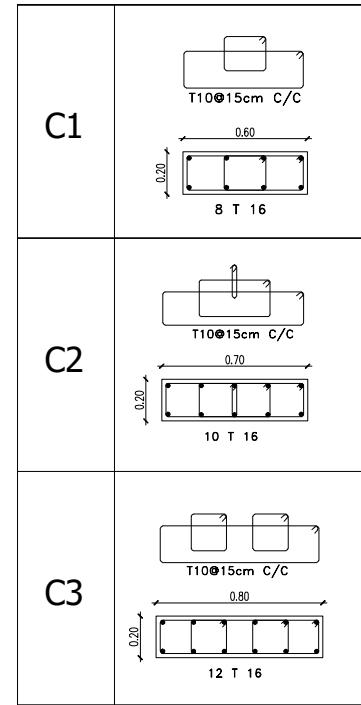
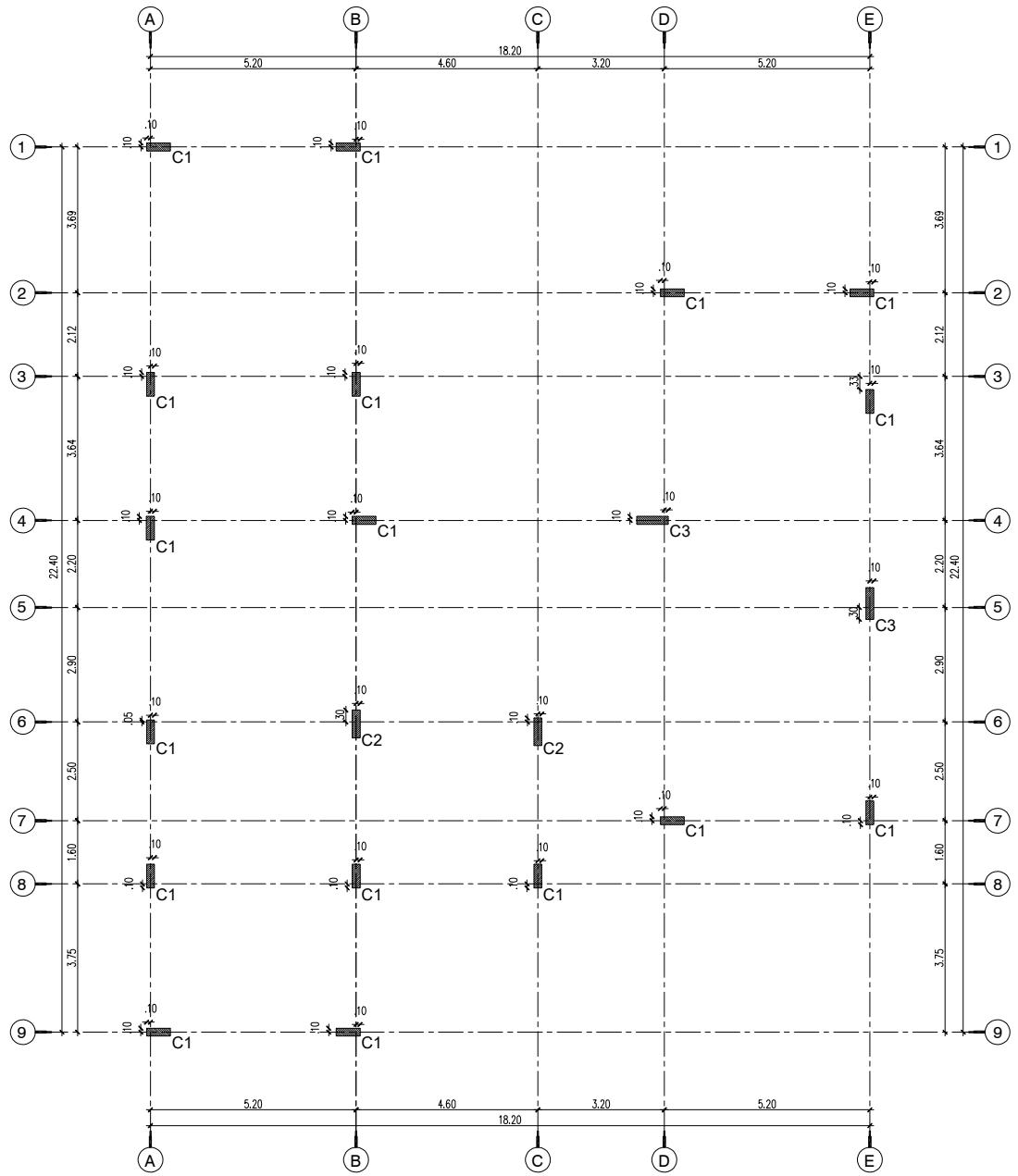
CLIENT
OMAR AHMED MUBARAK ALMARRI



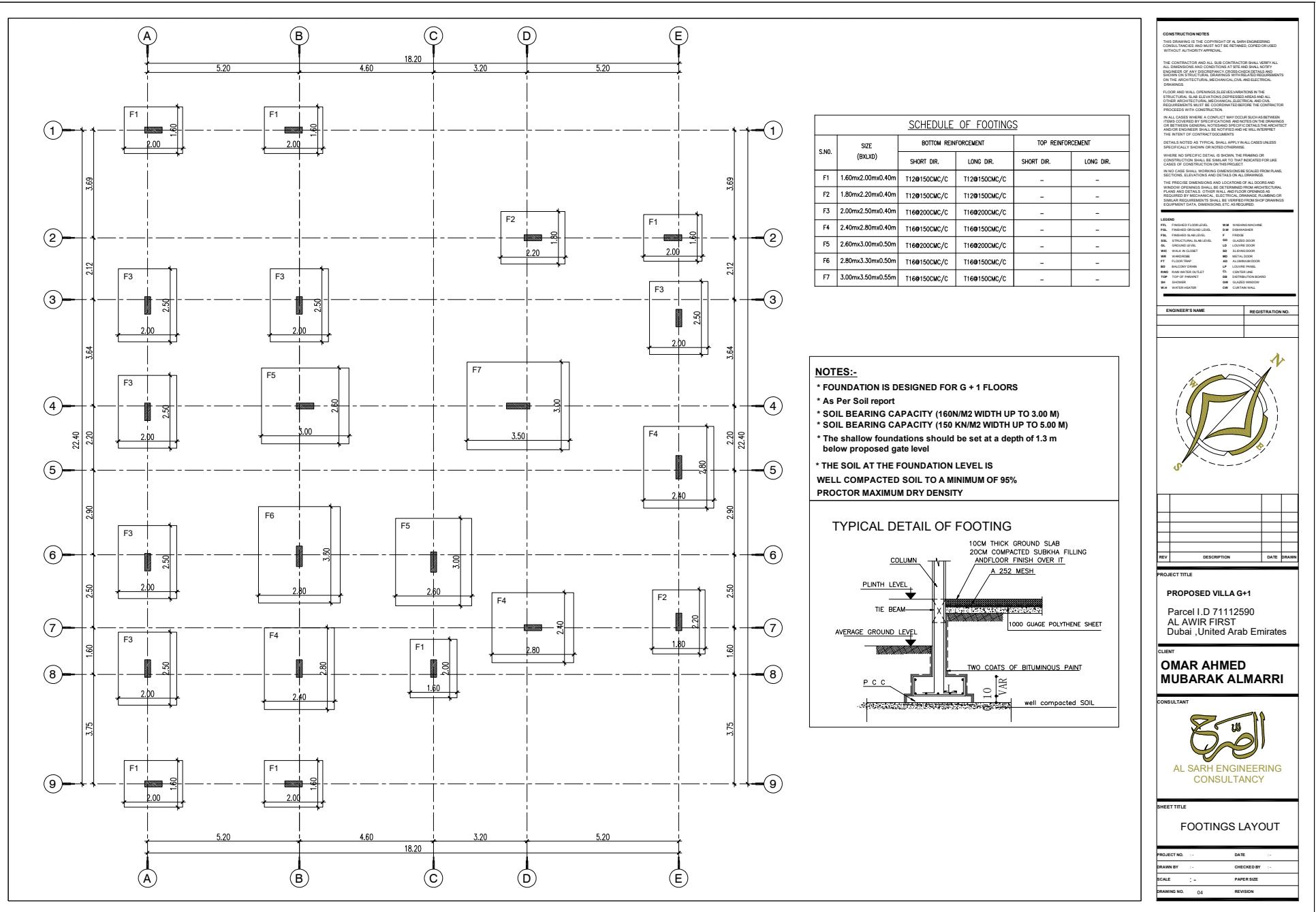
CONSULTANT

PROJECT NO. -	DATE -
DRAWN BY -	CHECKED BY -
SCALE -	PAPER SIZE -
DRAWING NO. 03	REVISION -

SHEET TITLE
TYPICAL DETAILS II



CONSTRUCTION NOTES			
THIS DRAWING IS THE PROPERTY OF AL SARH ENGINEERING CONSULTANCY AND MAY NOT BE REPRODUCED, COPIED OR USED WITHOUT AUTHORITY APPROVAL.			
THE CONTRACTOR AND ALL SUB CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DATA SHOWN ON THIS DRAWING. THE CONTRACTOR AND ALL SUB CONTRACTOR SHALL CHECK DETAILS AND DIMENSIONS OF ANY DISCREPANCY CROSS CHECK DETAILS AND DIMENSIONS WITH THE APPROPRIATE DRAWINGS PRESENTED ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND ELECTRICAL DRAWINGS.			
FLOOR AND WALL OPENINGS, LEVELS, ELEVATIONS IN THE DRAWINGS ARE NOT TO BE CONSIDERED AS EXACT. ALL OTHER ARCHITECTURAL, MECHANICAL, ELECTRICAL AND CIVIL DRAWINGS ARE TO BE REFERRED TO. THE CONTRACTOR SHALL TAKE RESPONSIBILITY FOR THE INTERPRETATION OF THESE DRAWINGS.			
IN ALL CASES WHERE A CONFLICT MAY OCCUR SUCH AS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE CONTRACTOR SHALL FOLLOW THE DRAWINGS. IN ALL CASES WHERE A CONFLICT MAY OCCUR BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE CONTRACTOR SHALL BE NOTIFIED AND HE WILL INTERPRET IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.			
DETAILS NOTED AS TYPICAL SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE.			
WHERE NO SPECIFIC DETAIL IS SHOWN, THE CONTRACTOR OR SUB CONTRACTOR SHALL MAKE IT TO THE REQUIREMENT OF THE CONTRACT DOCUMENTS ON THE SPOT.			
IN ALL CASES WHERE A CONFLICT MAY OCCUR, THE CONTRACTOR SHALL FOLLOW THE DRAWINGS.			
WALL AND FLOOR OPENINGS SHALL BE DETERMINED FROM ARCHITECTURAL DRAWINGS. DOORS AND WINDOWS SHALL BE PROVIDED AS REQUIRED BY MECHANICAL, ELECTRICAL, DRAINAGE, PLUMBING OR STRUCTURAL REQUIREMENTS. THE CONTRACTOR SHALL PROVIDE THE DIMENSIONS OF DOORS AND WINDOWS ETC AS REQUIRED.			
LEGEND			
FPL	FINISHED FLOOR LEVEL	WM	WASHING MACHINE
FAL	FINISHED ANL LINE LEVEL	DR	DRYER
SL	SINK LINE	FC	FRIDGE
SH	SHOWER	CD	CLOTHES DRYER
WC	W.C. IN CLOSET	LD	LIVING ROOM
SC	SLEEPING CABINET	SD	SLEEPING BED
PT	FLOOR TRAP	AD	ALUMINUM DOOR
RD	RAMAN TAK OUTLET	LD	DOOR LINE
SM	SHOWERS	CL	CENTR. LINE
GW	GLAZED WINDOW	GR	GARDEN
BR	BREAKER	CM	CUTTING LINE
ENGINEER'S NAME _____ REGISTRATION NO. _____			
PROJECT TITLE PROPOSED VILLA G+1			
Parcel ID 71112590 AL AWIR FIRST Dubai ,United Arab Emirates			
CLIENT OMAR AHMED MUBARAK ALMARRI			
CONSULTANT			
SHEET TITLE COLUMNS AXES LAYOUT			
PROJECT NO. :-	DATE :-		
DRAWN BY :-	CHECKED BY :-		
SCALE :-	PAPER SIZE		
DRAWING NO. :-	REVISION		



CONSTRUCTION NOTES

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THE CONTRACTOR AND SUB CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, SPANS AND OTHER REQUIREMENTS OF THIS DRAWING. THE CONTRACTOR SHALL NOT HOLD THE ENGINEERS OR ANY SUBCONTRACTOR RESPONSIBLE FOR ERRORS AND OMISSIONS IN THIS DRAWING. THE CONTRACTOR SHALL NOT HOLD THE ENGINEERS OR ANY SUBCONTRACTOR RESPONSIBLE FOR ERRORS AND OMISSIONS IN THIS DRAWING.

FLOOR AND WALL OPENINGS, LEVELS, ELEVATIONS IN THE DRAWINGS ARE NOT TO BE CONSIDERED AS CONTRACTUAL. ALL OTHER ARCHITECTURAL, MECHANICAL, ELECTRICAL AND CIVIL DETAILS ARE TO BE DETERMINED BY THE CONTRACTOR AND/OR ENGINEER. THE CONTRACTOR SHALL NOT HOLD THE ENGINEERS OR ANY SUBCONTRACTOR RESPONSIBLE FOR ERRORS AND OMISSIONS IN THIS DRAWING.

IN ALL CASES WHERE A CONFLICT MAY OCCUR SUCH AS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE CONTRACTOR AND/OR ENGINEER SHALL NOT HOLD THE CONTRACTOR RESPONSIBLE AND THE CONTRACTOR AND/OR ENGINEER SHALL BE NOTIFIED AND HE WILL INTERPRET THE DRAWINGS ACCORDING TO THE CONTRACT DOCUMENTS.

DETAILS NOTED AS TYPICAL SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE.

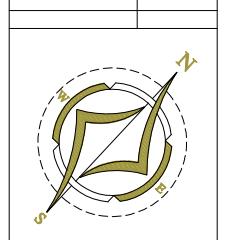
WHERE NO SPECIFIC DETAIL IS SHOWN, THE CONTRACTOR OR SUB CONTRACTOR SHALL REFER TO THE DRAWING NUMBER.

IN THIS CASE SCALES, DIMENSIONS AND ELEVATIONS BE SCALLED FROM PLANS, SECTIONS, ELEVATIONS AND DETAILS ON ALL DRAWINGS.

ALL DRAWINGS ARE IN METRIC UNITS. ALL DRAWINGS AND WINDOW OPENINGS SHALL BE DETERMINED FROM ARCHITECTURAL DRAWINGS. ALL DRAWINGS ARE IN METRIC UNITS AS REQUIRED BY MECHANICAL, ELECTRICAL, DRAINAGE, PLUMBING OR STRUCTURAL ENGINEERS. THE CONTRACTOR IS NOT RESPONSIBLE FOR DIMENSIONS EQUIPMENT DATA OR DIMENSIONS ETC AS REQUIRED.

LEGEND						
FL	FINISHED FLOOR LEVEL	WW	WASHING MACHINE			
PL	FINISHED PLATE LEVEL	F	FAUCET			
SL	STRUCTURE SLAB LEVEL	CD	CLOTHES DRYER			
SD	STRUCTURE DOOR	LD	LOUNGE DOOR			
WC	W.C. IN CLOSET	SD	SLIDING DOOR			
WT	W.C. IN TOILET	AD	ALUMINUM DOOR			
FT	FLOOR TRAP	LA	LAMINATED ALUMINUM			
WD	WATER DRAIN	CL	CENTRAL LINE			
RT	RAIN WATER OUTLET	CD	CEMENTED DRAWDOWN			
SW	SHOWERS	GW	GLAZED WINDOW			
WD	WATER DRAIN	CM	CUTTING LINE			

ENGINEER'S NAME _____ REGISTRATION NO. _____



REV	DESCRIPTION	DATE DRAWN
PROJECT TITLE		

PROPOSED VILLA G+1
Parcel ID 71112590
AL AWIR FIRST
Dubai , United Arab Emirates

CLIENT

**OMAR AHMED
MUBARAK ALMARRI**

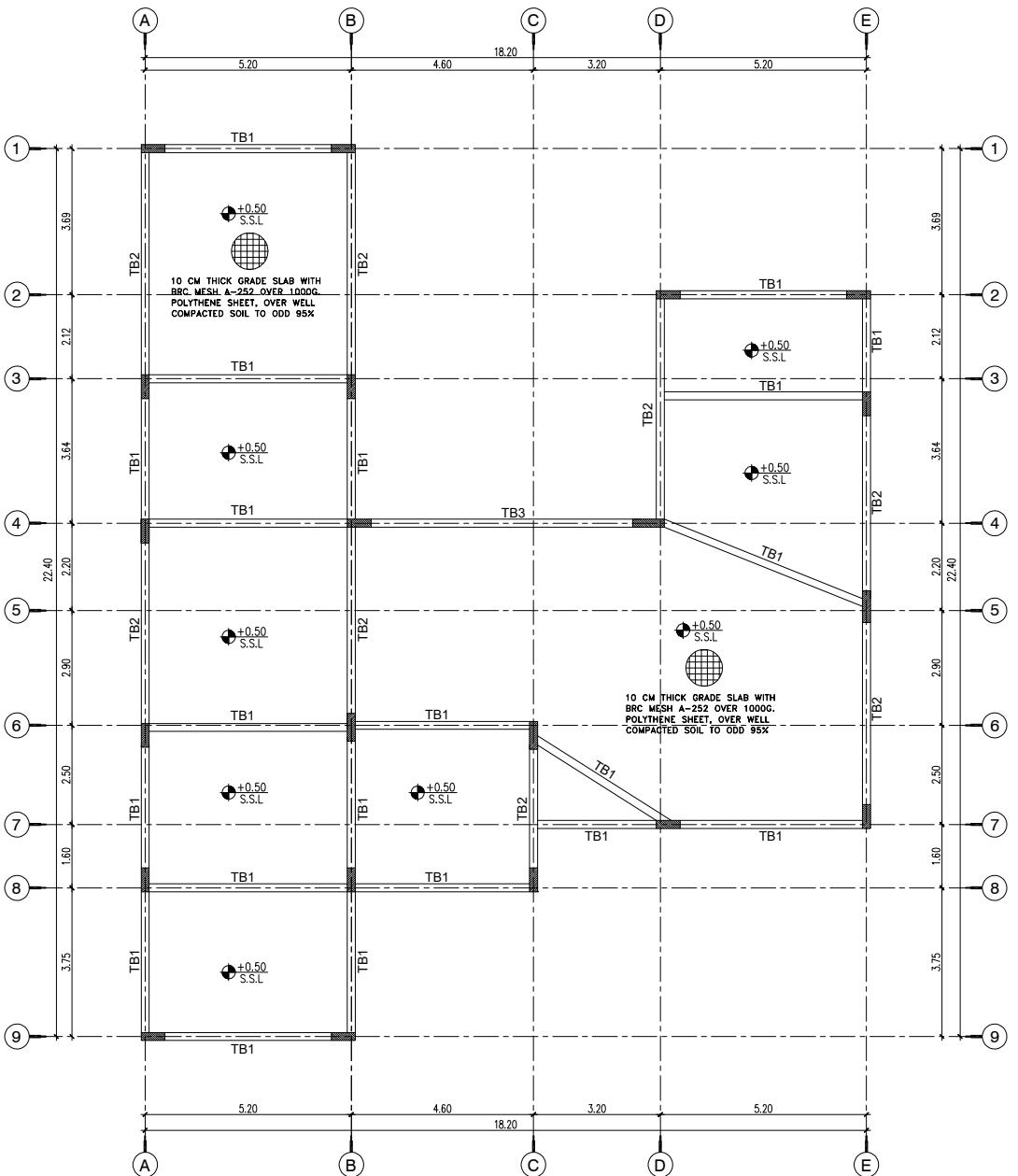
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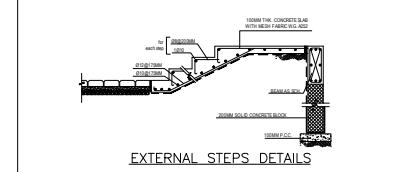
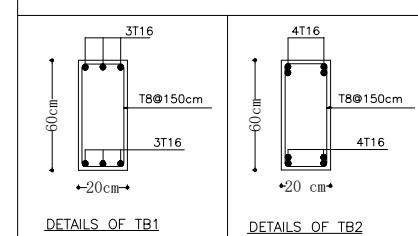
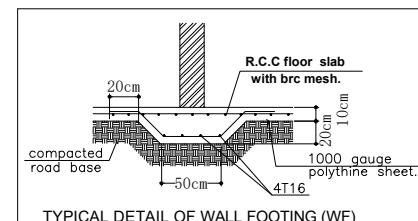
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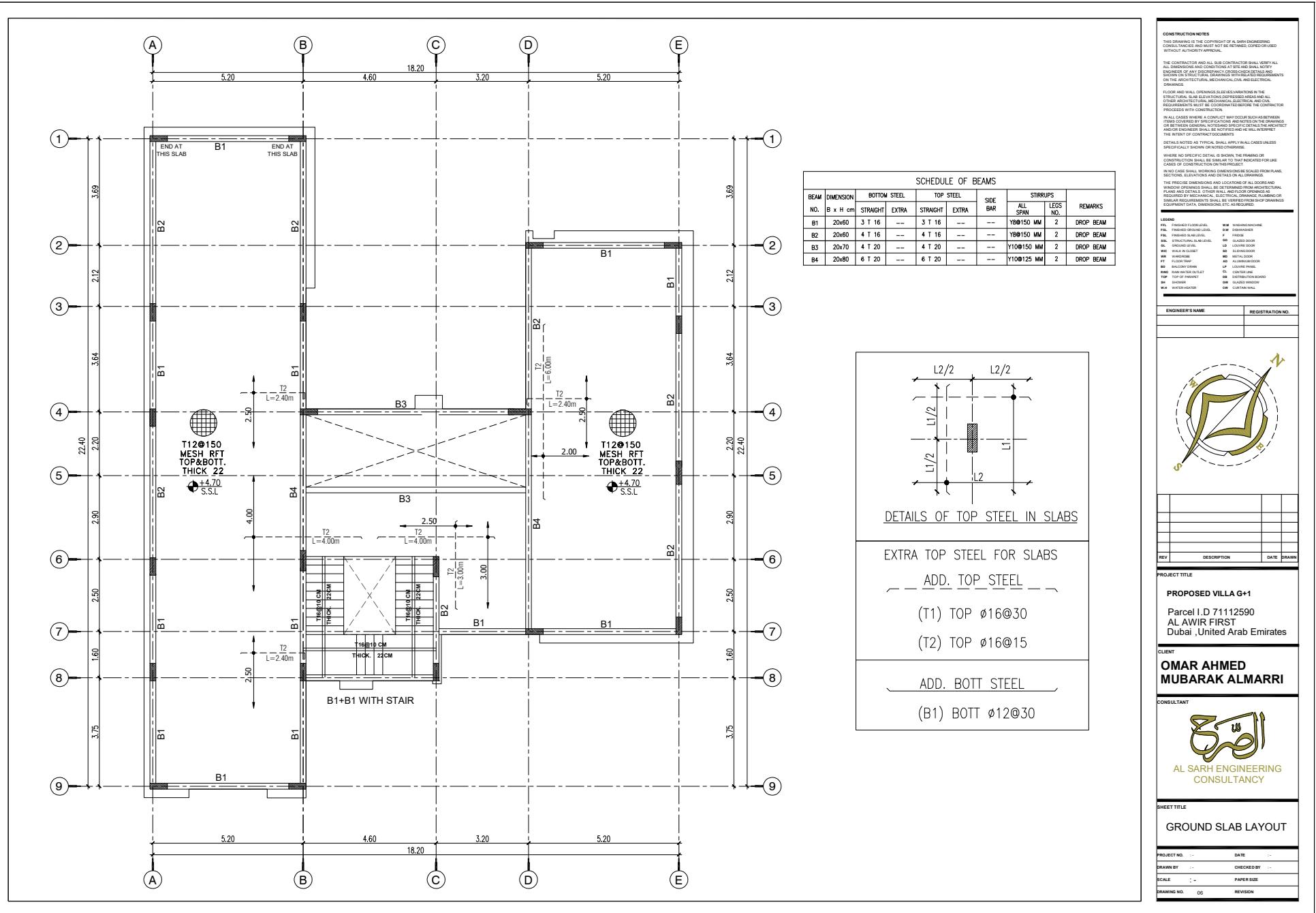
TIE BEAMS LAYOUT

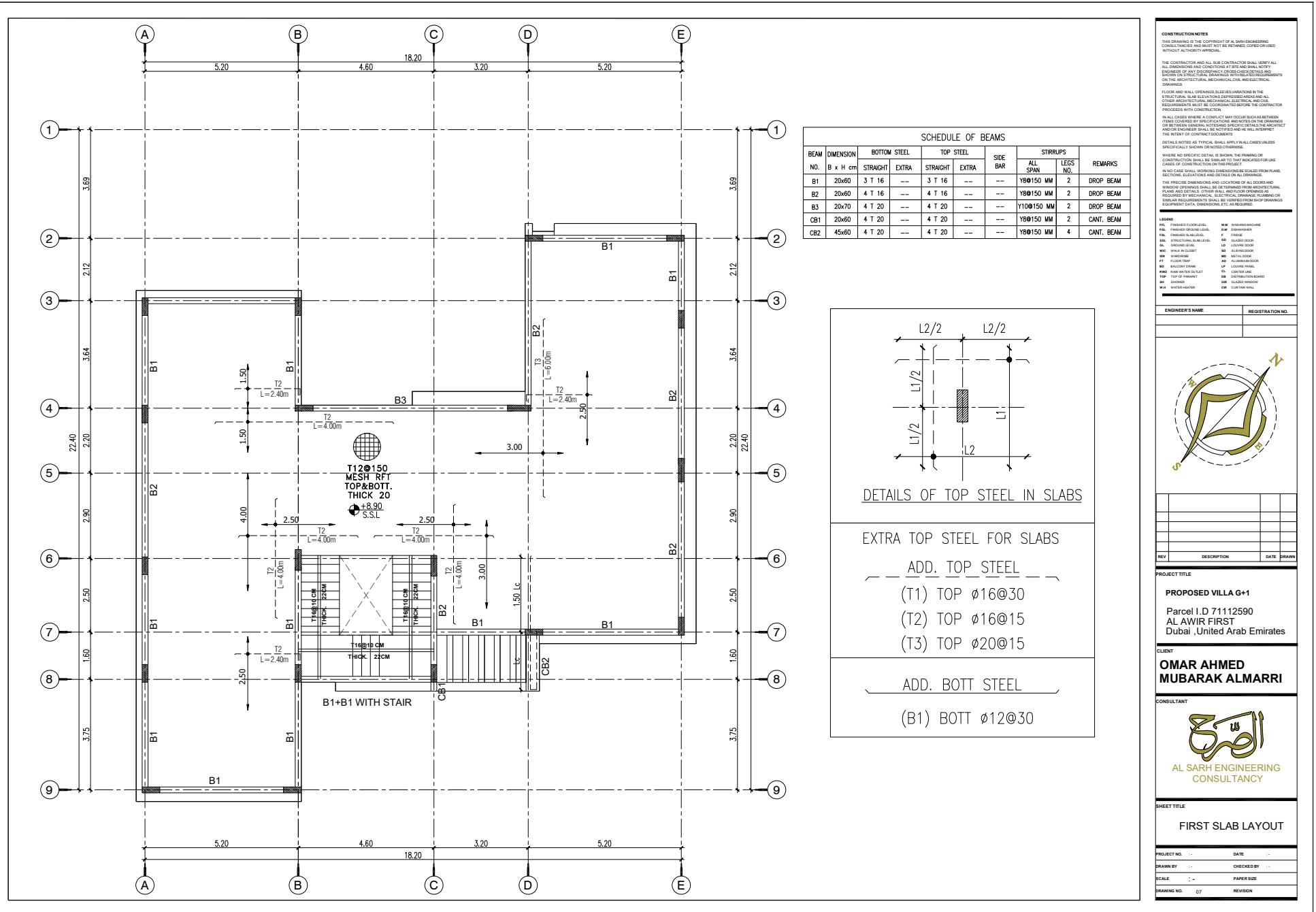
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DRAWN BY - -	CHECKED BY - -
SCALE - -	PAPER SIZE - -
DRAWING NO. DS	REVISION

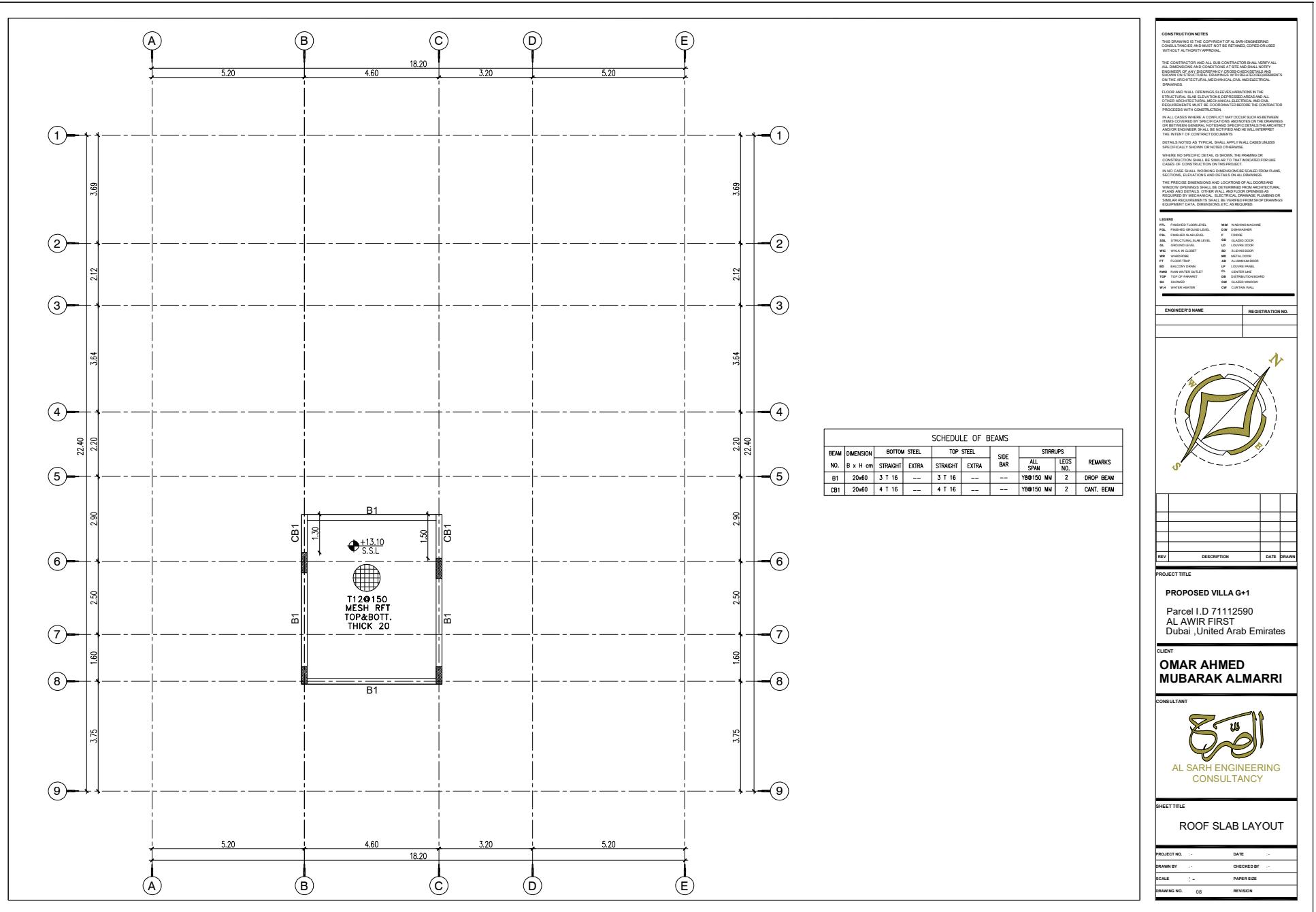


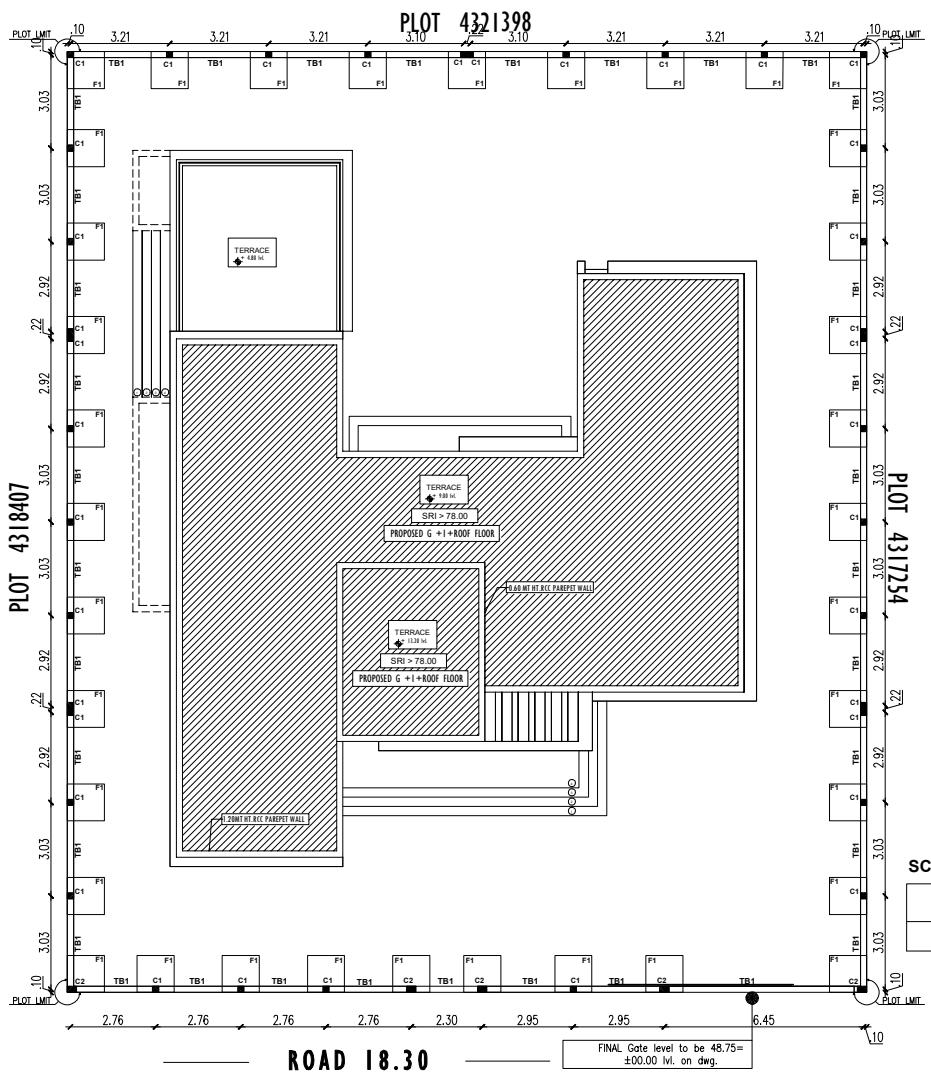
SCHEDULE OF TIE BEAMS						
BEAM NO.	DIMENSION B X H cm	BOTTOM STEEL STRAIGHT	TOP STEEL EXTRA	SIDE BAR	STIRRUPS	REMARKS
TB1	20x60	3 T 16	--	3 T 16	--	Y8@150 MM 2 --
TB2	20x60	4 T 16	--	4 T 16	--	Y8@150 MM 2 --
TB3	20x70	4 T 20	--	4 T 20	--	Y10@150 MM 2 --











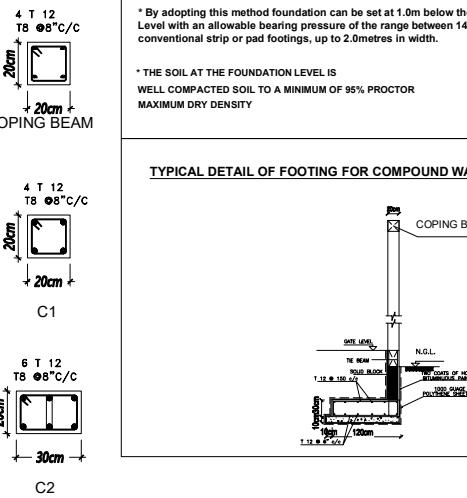
NOTES:-

- * NO EXCAVATION ALLOWED BEHIND ANY NEIGHBOURING FOUNDATION
- * IN CASE A DIFFERENCE IN LEVEL IS ENCOUNTERED BEYOND 1.2 METERS THE CONSULTANT HAS TO SUBMIT A RETAINING WALL DESIGN FOR APPROVAL
- * FORMATION LEVEL OF BOUNDARY WALL FOUNDATION SHALL BE AT A MINIMUM OF -1.0 M BELOW NATURAL GROUND LEVEL.
- * FOUNDATION IS DESIGNED FOR 3m block wall.

* By adopting this method foundation can be set at 1.0m below the Road Level with an allowable bearing pressure of the range between 140kN/m² on conventional strip or pad footings, up to 2.0metres in width.

* THE SOIL AT THE FOUNDATION LEVEL IS WELL COMPACTED SOIL TO A MINIMUM OF 95% PROCTOR MAXIMUM DRY DENSITY

TYPICAL DETAIL OF FOOTING FOR COMPOUND WALL



SCHEDULE OF FOOTINGS

S.NO.	SIZE (BXLXD)	BOTTOM REINFORCEMENT		TOP REINFORCEMENT	
		SHORT DIR.	LONG DIR.	SHORT DIR.	LONG DIR.
F1	1.20mx1.20mx0.3m	T12@200CMC/C	T12@200CMC/C	T12@200CMC/C	T12@200CMC/C
F2	1.20mx1.40mx0.3m	T12@200CMC/C	T12@200CMC/C	T12@200CMC/C	T12@200CMC/C

SCHEDULE OF TIE BEAMS& STRAP BEAMS

RIB NO.	SIZE	BOTTOM	TOP	EXTRA AT SUPPORT	SIDE BARS	STIRRUPS
TB1	20cmx40cm	3 Ø 16	3 Ø 16	--	---	T 8 @ 150mm

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IN ALL CASES WHERE A CONFLICT MAY OCCUR SUCH AS BETWEEN THIS DRAWING AND THE STANDARDS AND CODES, THE STANDARDS AND CODES SHALL TAKE PRIORITY. IN THE EVENT OF A CONFLICT, THE CONTRACTOR SHALL NOTIFY THE CONSULTANT AND HE WILL INTERPRET THE INFORMATION CONTAINED IN THIS DRAWING.

DETAILS NOTED AS TYPICAL SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE.

WHERE NO SPECIFIC DETAIL IS SHOWN, THE CONTRACTOR OR SUB CONTRACTOR SHALL MAKE THE NECESSARY ADJUSTMENTS TO THE DESIGN TO SUIT THE REQUIREMENT.

IN ALL CASES WHERE INFORMATION IS NOT PROVIDED ON THIS DRAWING, THE CONTRACTOR SHALL BE SCALLED FROM PLANS, SECTIONS, ELEVATIONS AND DETAILS ON ALL DRAWINGS.

WALL THICKNESSES AND SPACINGS SHALL BE DETERMINED FROM ARCHITECTURAL DRAWINGS. REINFORCEMENT REQUIREMENTS SHALL BE DETERMINED BY MECHANICAL, ELECTRICAL, DRAINAGE, PLUMBING OR AIR CONDITIONING CONTRACTORS. THE CONTRACTOR SHALL PROVIDE THE CONTRACTOR WITH DIMENSIONS OF DRAINED EQUIPMENT AND DIMENSIONS ETC AS REQUIRED.

LEGEND	NOTES
FPL	FLOOR LEVEL
F	WASHING MACHINE
FSL	FLOOR SLAB LEVEL
FL	FLASHING
GL	GLASS DOOR
GRDN	GARDEN
WC	WATER IN CLOSET
SD	SLIDING DOOR
PT	PLUG TRAP
LT	LADDER
YARD	YARD
RT	RAIN WATER OUTLET
CL	CENTR. LINE
DR	DRAINED
SW	SHOWER
GW	GLAZED WINDOW
EW	CUTTING LINE

ENGINEER'S NAME _____ REGISTRATION NO. _____



REV	DESCRIPTION	DATE DRAWN

PROJECT TITLE
PROPOSED VILLA G+1
Parcel 1 ID 71112590
AL AWIR FIRST
Dubai ,United Arab Emirates

CLIENT
OMAR AHMED
MUBARAK ALMARRI

CONSULTANT

AL SARH ENGINEERING
CONSULTANCY

SHEET TITLE

BOUNDARY WALL

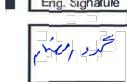
PROJECT NO. :-	DATE :-
DRAWN BY :-	CHECKED BY :-
SCALE :-	PAPER SIZE :-
DRAWING NO. 09	REVISION

Self Assessment for villa's submitted drawings / Structural Dwngs

no.	Points designer engineer is responsible to check out	Confirmation of checking & revision by designer	Notes of designer engineer who checked out the points	Instructions:
1	All structural drawings are matched with architectural ones	checked	Done	In case of specific approvals, indicate S.B.C. / engineering / special approvals given by As per exception no Exception application in progress No
2	All reinforced structural elements numbers are shown on plan	checked	Done	
3	All structural drawings have been checked before attaching them	checked	Done	
4	Structural drawings are attached according to the following sequence: Typical structural details & Notes Column/beam plan and their details are shown in one sheet Foundations plan and their schedules (reinforcement steel calculations) are shown in one sheet Tie beams and their schedules are shown in one sheet Slabs and beams and their schedules are shown in one sheet Staircase details including a plan and sections are shown in one sheet Particular structural details & sections Service blocks drawings and details are attached Compound wall drawings and details	checked	Done	
5	Used writing fonts are matched with DM standards	checked	Done	
6	Upper steelbars for cantilever beams and slabs and their extended length to the adjacent beams/slabs are fully checked	checked	Done	
7	Extra upper and lower steel bars which are required for slabs & raft foundations are fully checked	checked	Done	
8	Deflection is fully checked for all slabs & beams especially for those of spans more than 6m or 20ft	checked	Done	
9	Strap beams are provided for eccentric footings except c/wall footings or those with light bards	checked	There is no strap beam.	
10	Cross ribs are provided for the ribs which are more than 1ft or 5cm	checked	There is no ribs	
11	Cantilever ribs are in the direction of adjacent ribs or solid part is provided	checked	There is no ribs	
12	Strip footings are provided with upper and lower reinforcement steel	checked	There is no strap footings	
13	Only bottom steel reinforcement are provided for isolated footings	checked	Only bottom reinforcement provided	
14	Actual S.B.C.: Excavation depth recommendations and no. of floors/structure designed for are shown at foundation plan	checked	Done	
15	Expansion joints for c/wall (at: 15m or 50ft c/c; spans are clearly shown at plan)	checked	Done	
16	Expansion joints between c/wall and service blocks are provided	checked	There is no Service block	
17	Typical notes are shown at c/wall sheet	checked	Done	
18	All footings are located within the site limits	checked	Done	
19	Shoring details are completely shown including any adjacent existing buildings	checked	There is no Shoring	
20	Sci test report which belongs to this projects plot is attached with highlighting S.B.C clearly	checked	Yes	

Self Assessment for villa's submitted drawings / Structural Dwngs

no.	Points designer engineer is responsible to check out	Confirmation of checking & revision by designer	Notes of designer engineer who checked out the points	Instructions:
21	Trade license of steel contractor, Post tension & pre-cast concrete contractors is attached (If any)	checked	There is no stee. and PT	
22	For revision cases, all buildings' status are shown (approved under construction bidg, approved existing building/structural engineer's proposed ... etc.)	checked	This is a new submission	
23	All structural drawings were revised according to the architectural modifications, all revisions are marked in colors as per DM regulations (yellow for existing; red for revised and green for demolished buildings/elements)	checked	This is a new submission	
24	For adding first floor case, photos for the existing building & completion certificate are attached. In addition, 3 core tests results for buildings older than 10 years are attached (2 for columns and 1 for slabs)	checked	This is a new villa	
25	When adding first floor, an undertaking letter from consultant to be submitted indicating that "we have investigated the existing building, studied the existing structural drawings, and found that it is structurally safe to add a first floor"	checked	This is a new villa	
26	Levels outside and inside boundary wall have been provided and in case of difference more than 1.2m or 4ft boundary wall will be designed as retaining wall section	checked	General notes provided in the boundary wall layout	
27	Structural connections between existing and proposed buildings are shown (if any)	checked	This is a new villa	

I the designer Engineer Confirm that all mentioned points has been checked by me and they are all achieved in the attached drawings. I take full responsibility of any mismatching.
 Eng. Signature 
 It is not allowed to make any modification or change to this document.

Office stamp 

CONSTRUCTION NOTES

THIS DRAWING IS THE PROPERTY OF AL SARH ENGINEERING CONSULTANCY LLC. IT MAY NOT BE REPRODUCED COPIED OR USED WITHOUT AUTHORITY APPROVAL.

THE CONTRACTOR AND ALL SUB CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT SITE AND SHALL NOTIFY DESIGNER IN WRITING OF ANY CHANGES MADE TO THE DRAWINGS. DESIGNER SHALL NOT BE HELD RESPONSIBLE FOR ANY CHANGES ON THE ARCHITECTURAL, MECHANICAL, CIVIL, AND ELECTRICAL DRAWINGS.

FLOOR AND WALL OPENINGS, LEVEL VARIATIONS IN THE STRUCTURAL, SLAB ELEVATIONS, DEPRESSED AREAS AND ALL OTHER CONSTRUCTION DETAILS ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOT MAKE ANY CHANGES OR BETWEEN GENERAL NOTES AND SPECIFIC DETAILS THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY. HE WILL INTERFERE WITH THE INTENT OF CONTRACT DOCUMENTS.

DETAILS NOTED AS TYPICAL SHALL APPLY IN ALL CASES UNLESS OTHERWISE STATED. IN CASES WHERE A CONFLICT OCCURS, THE CONTRACTOR SHALL WORKING DIMENSIONS BE SCALLED FROM PLANS, DRAWINGS, AND SPECIFICATIONS PROVIDED BY THE DESIGNER.

IN NO CASE SHALL WORKING DIMENSIONS BE SCALLED FROM PLANS, DRAWINGS, AND SPECIFICATIONS PROVIDED BY THE CONTRACTOR. THE PRECISE DIMENSIONS AND LOCATIONS OF ALL DOORS AND WINDOWS ARE THE RESPONSIBILITY OF THE CONTRACTOR. IN NO CASE SHALL THE CONTRACTOR MAKE ANY CHANGES TO THE CONTRACTUAL PLANS AND DETAILS. OTHER WALL AND DOOR OPENINGS AS PROVIDED IN THE CONTRACTUAL PLANS AND DETAILS. OTHER DOORS OR SIMILAR REQUIREMENTS SHALL BE VERIFIED FROM SHOP DRAWINGS EQUIPMENT DATA, DIMENSIONS, ETC. AGREED.

LEGEND

PA: PAVED GROUND LEVEL	WA: WASHING MACHINE
PA: FINISHED GROUND LEVEL	DA: DRAINPIPE
SL: STRUCTURAL SLAB LEVEL	GD: GLAZED DOOR
GL: GROUND LEVEL	LD: LOVING DOOR
MM: MASONRY	MD: METAL DOOR
W: WATER	SD: SWINGING DOOR
BD: BALCONY DOOR	LP: LOVING PANEL
WT: TOP OF PARTMENT	CL: CLOSET
WD: WASHING	DR: DISTRIBUTION BOARD
WW: WATER HAILER	CW: CURTAIN WALL

ENGINEER'S NAME _____ REGISTRATION NO. _____



REV. DESCRIPTION DATE DRAWN

PROJECT TITLE

PROPOSED VILLA G+1

Parcel I.D 71112590
AL AWIR FIRST
Dubai ,United Arab Emirates

CLIENT

OMAR AHMED MUBARAK ALMARRI

CONSULTANT



STRUCTURE SELF ASSESSMENT

PROJECT NO. DATE
DRAWN BY CHECKED BY
SCALE NO. PAPER SIZE
DRAWING NO. Revision