



CARLETON HART ARCHITECTURE
322 NW 8th Avenue Portland, Oregon 97209
t 503.243.2252 | f 503.243.3261 | carletonhart.com

PARKWAY VILLAGE : WEST
SITE REPAIRS
SALEM HOUSING AUTHORITY

PERMIT REVIEW/BID SET

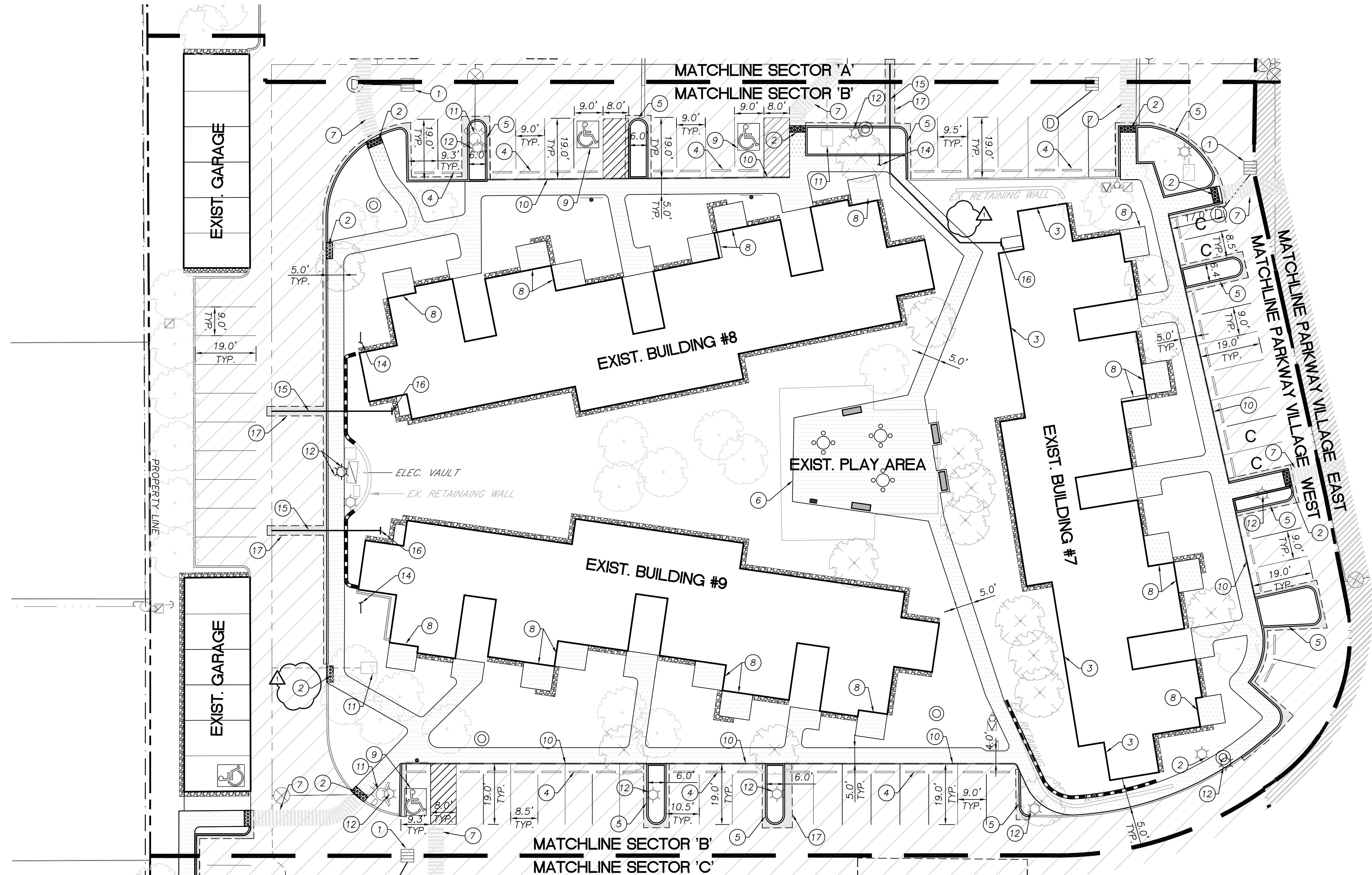
CIVIL SITE PLAN SECTOR 'B'

PROJ NO.

21345

01.10.2014

02.06.14 ADDENDUM #1



1 CIVIL SITE PLAN SECTOR 'B'
1" = 20'

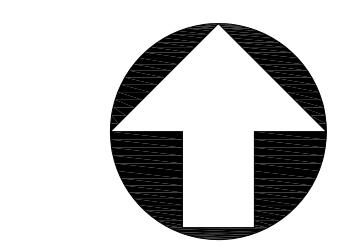
LEGEND		
ITEM	DESCRIPTION	REFERENCE
[Dotted Pattern]	NEW SIDEWALK	6 C4.0
[Solid Line]	NEW CURB	7 C4.0
[Hatched Pattern]	SEAL COAT/RESTRIPE PAVEMENT, SEAL MISCELLANEOUS PAVEMENT CRACKS. CONTRACTOR SHALL COORDINATE WITH OWNER TO TO DETERMINE SCOPE FOR ALLIGATORED PAVEMENT REMOVAL, DIG OUT, AND PATCH.	5 C4.1
[Dashed Line]	GRAVEL DRAIN STRIP	1 C4.1
[Dashed Line]	SITE RETAINING WALL, DISASSEMBLE/ REASSEMBLE KEYSTONE WALL AS NEEDED TO PERFORM SCOPE OF WORK	
(○)	EXISTING DRYWELL-ROOF RUNOFF	
(◎)	EXISTING DRYWELL-ASPHALT PAVEMENT RUNOFF	

GENERAL NOTES

1. SIDEWALK REMOVAL TO BE AT NEAREST JOINT AND IN WHOLE PANELS ONLY.
2. SIDEWALK SHALL HAVE A 2.0% MAX CROSS SLOPE.
3. ALL 4" WATER JOINTS SHALL BE MECHANICALLY RESTRAINED WITH "MEGA LUG" OR "FIELD LOK" GASKETS.
4. REFER TO C3.0 FOR PUBLIC WATER EASEMENT.

KEY NOTES

- ① REMOVE EXISTING CATCH BASIN, REPLACE WITH CDS WATER QUALITY MANHOLE MODEL CDS2015-4, REFER TO DET. 1/C4.3. RECONNECT TO EXISTING CATCH BASIN LEAD.
- ② TRUNCATED DOME STRIP, REFER TO 7/C4.1
- ③ REGRADE LANDSCAPE AROUND BUILDINGS. WORK SCOPE INCLUDES GRADING, LANDSCAPE, AREA DRAINS PIPED TO DRYWELLS
- ④ INSTALL PRECAST CONCRETE WHEELSTOP AT ALL SIDEWALKS LESS THAN 7 FEET WIDE AT HEAD OF PARKING STALL AND 2' FROM SIDEWALK, REFER TO DET. 3/C4.1
- ⑤ RECONSTRUCT PARKING LOT ISLANDS. REMOVE TREES, ROOTS, CUT AND PATCH ASPHALT, AND REBUILD CURBS. REFER TO DET. 7/C4.0 AND 5/C4.1
- ⑥ REPLACE AND UPGRADE PLAY EQUIPMENT TO ADA STANDARDS, REFER TO ARCH. PLANS.
- ⑦ STRIPE ALL ADA CROSSINGS WITH 12" WIDE WHITE PAINT STRIPES AND YELLOW TACTILE DOME TILING AT CURB RAMPS,
- ⑧ NEW CONCRETE PATIO.
- ⑨ ACCESSIBLE STALLS, REFER TO DET. 3,4,5/C4.0
- ⑩ FLUSH PAVEMENT, SEE DET. 4/C4.1. REMOVE EXISTING CURB.
- ⑪ PROTECT EXISTING WATER UTILITY
- ⑫ PROTECT EXISTING LIGHT FIXTURE
- ⑬ 4" FIRE BACKWATER VALVE IN ACCESSIBLE VAULT, DET. 3/C4.3
- ⑭ POWER SOURCE CONNECTION FOR VAULT SUMP PUMP.
- ⑮ 4" FIRE LINE.
- ⑯ 4" FIRE CONNECTION TO BUILDING
- ⑰ SAWCUT, TYP.



GRAPHIC SCALE
0 20 40
1 inch = 20 ft.

PLANNING & ENGINEERING
MGH ASSOCIATES
104 West 9th Street
Suite 207
Vancouver, WA 98660
www.mghassociates.com
P: 360.750.0399 (WA)
P: 503.417.8639 (OR)
F: 360.750.0433
PEOPLE MAKING PLACES®

C1.2

REGISTERED PROFESSIONAL
ENGINEER
64500
William Branman
OREGON
JUNE 1, 2011
WILLIAM G. BRANMAN
EXPIRES 12-31-15



CARLETON HART ARCHITECTURE
322 NW 8th Avenue Portland, Oregon 97209
+ 503.243.3261 | carletonhart.com

PARKWAY VILLAGE : WEST
SITE REPAIRS
SALEM HOUSING AUTHORITY

PERMIT REVIEW/BID SET

PROJ NO.

21345

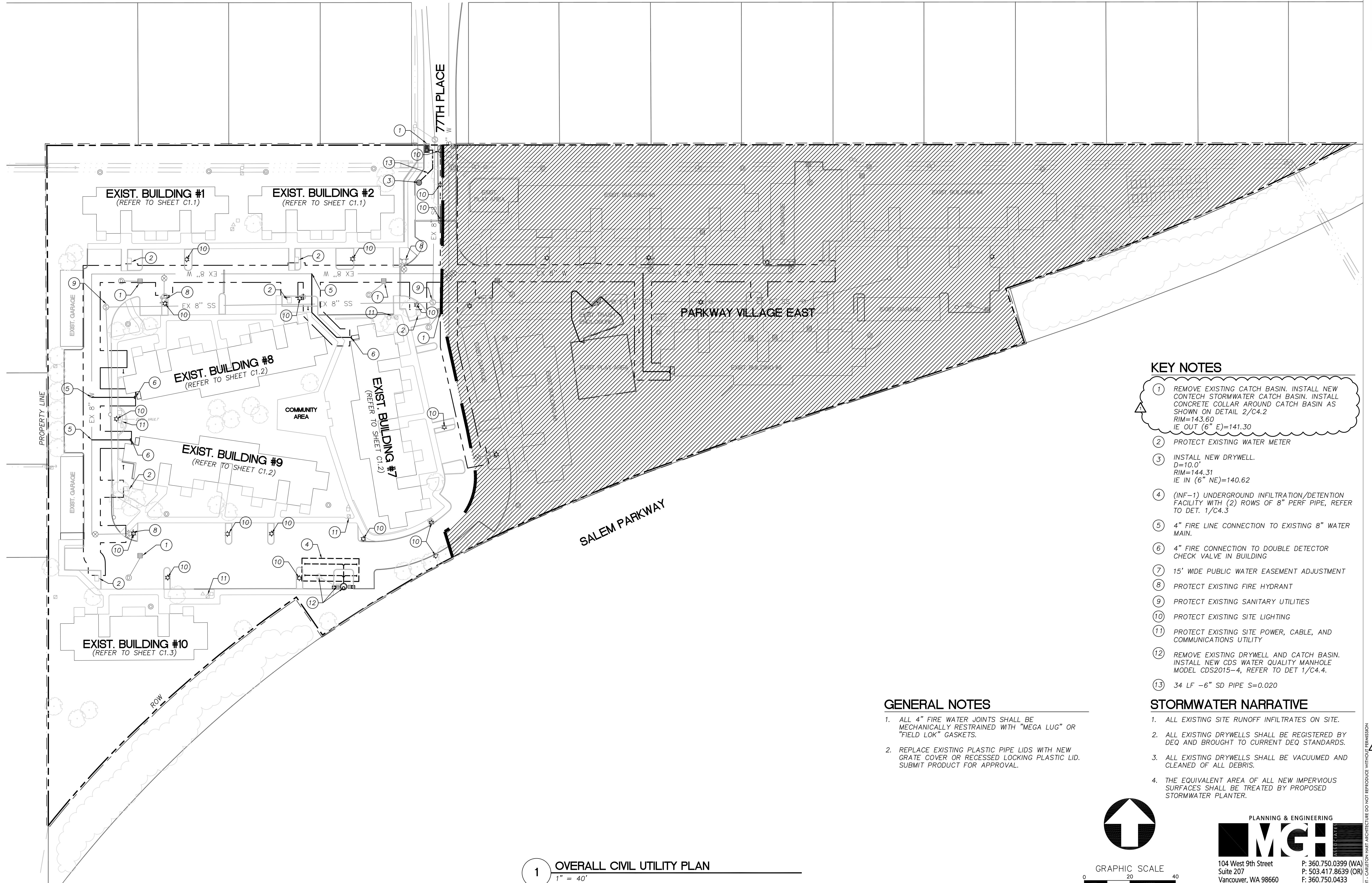
01.10.2014

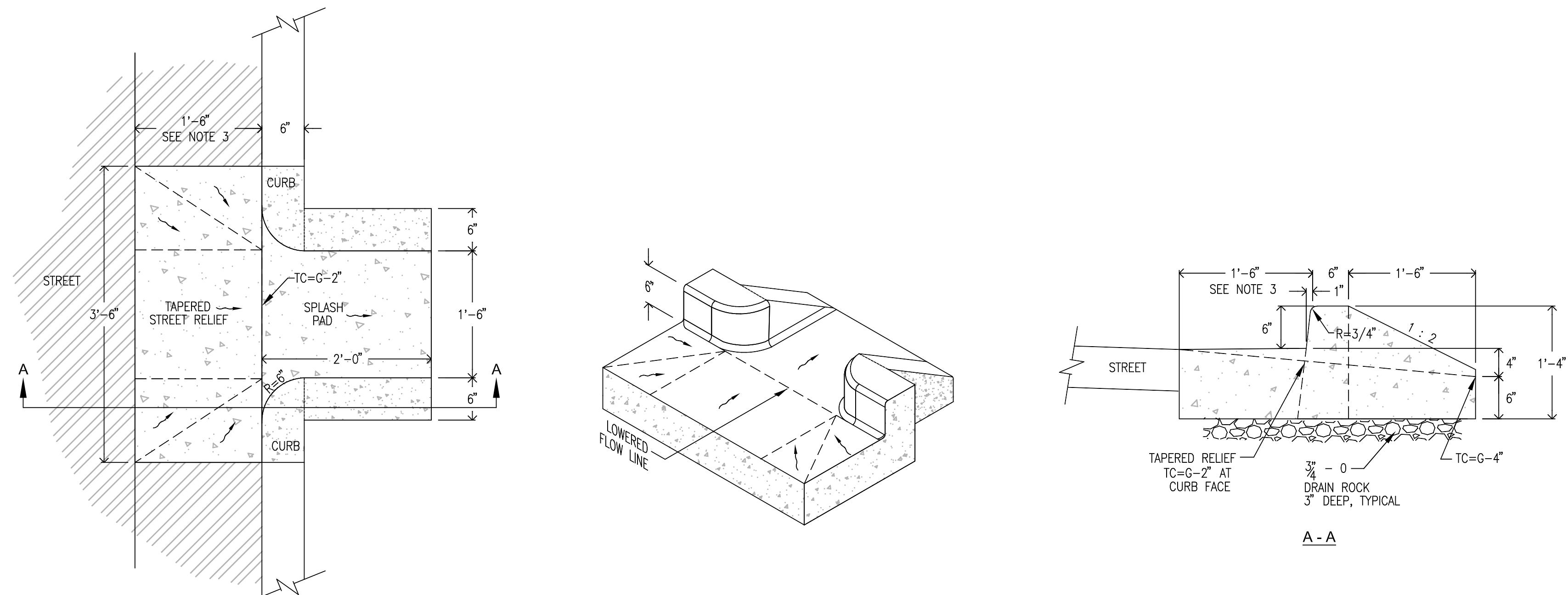
△ 02.06.14 ADDENDUM #1

COPYRIGHT - CARLETON HART ARCHITECTURE DO NOT REPRODUCE WITHOUT PERMISSION

C3.0

SHANGRI-LA STREET





3 CURB OPENING WITH SPLASH PAD
NTS

STORMFILTER CATCHBASIN DESIGN NOTES

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. 1 CARTRIDGE CATCHBASIN HAS A MAXIMUM DEPTH OF 18" AND IS SHIPPED WITH A 2" DEEP FILTER BAY. 1 CARTRIDGE IS AVAILABLE WITH AN 18" DEEP CATCHBASIN CONFIGURATIONS ARE AVAILABLE WITH A DRY INLET BAY FOR VECTIC CONTROL. PEAK HYDRAULIC CAPACITY PER TABLE BELOW. IF THE SITE CONDITIONS EXCEED PEAK HYDRAULIC CAPACITY, AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

CARTRIDGE HEIGHT	27"	18"	18" DEEP
RECOMMENDED HYDRAULIC DROP (H)	3.05'	2.3'	3.3'
SPECIFIC FLOW RATE (gpm/ft ²)	2 gpm/ft ²	1 gpm/ft ²	2 gpm/ft ²
CARTRIDGE FLOW RATE (gpm)	22.5	11.25	15
PEAK HYDRAULIC CAPACITY	1.0	1.0	1.8
INLET PERMANENT POOL LEVEL (A)	1'-0"	1'-0"	2'-0"
OVERALL STRUCTURE HEIGHT (B)	4'-9"	3'-9"	4'-9"

GENERAL NOTES

1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STORMFILTER CATCHBASIN STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE: www.conteches.com
3. STORMFILTER CATCHBASIN WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
4. INLET SHOULD NOT BE LOWER THAN OUTLET INLET (IF APPLICABLE) AND OUTLET PIPING TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR.
5. STORMFILTER CATCHBASIN EQUIPPED WITH 4 INCH (APPROXIMATE) LONG STUBS FOR INLET (IF APPLICABLE) AND OUTLET PIPING. STANDARD OUTLET STUB IS 9 INCHES IN DIAMETER. MAXIMUM OUTLET STUB IS 15 INCHES IN DIAMETER. CONNECTION TO COLLECTION PIPING CAN BE MADE USING FLEXIBLE COUPLING BY CONTRACTOR.
6. STEEL STRUCTURE TO BE MANUFACTURED OF 1/4 INCH STEEL PLATE. CASTINGS SHALL MEET AASHTO M306 LOAD RATING. TO MEET H520 LOAD RATING ON STRUCTURE, A CONCRETE COLLAR IS REQUIRED. WHEN REQUIRED, CONCRETE COLLAR WITH QUANTITY (2) #4 REINFORCING BARS TO BE PROVIDED BY CONTRACTOR.
7. FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF-CLEANING. RADIAL MEDIA DEPTH SHALL BE 7-INCHES. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 37 SECONDS.
8. SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft).

INSTALLATION NOTES

- A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CATCHBASIN (LIFTING CLUTCHES PROVIDED).
- C. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.

PLAN VIEW

SECTION A-A

SECTION B-B

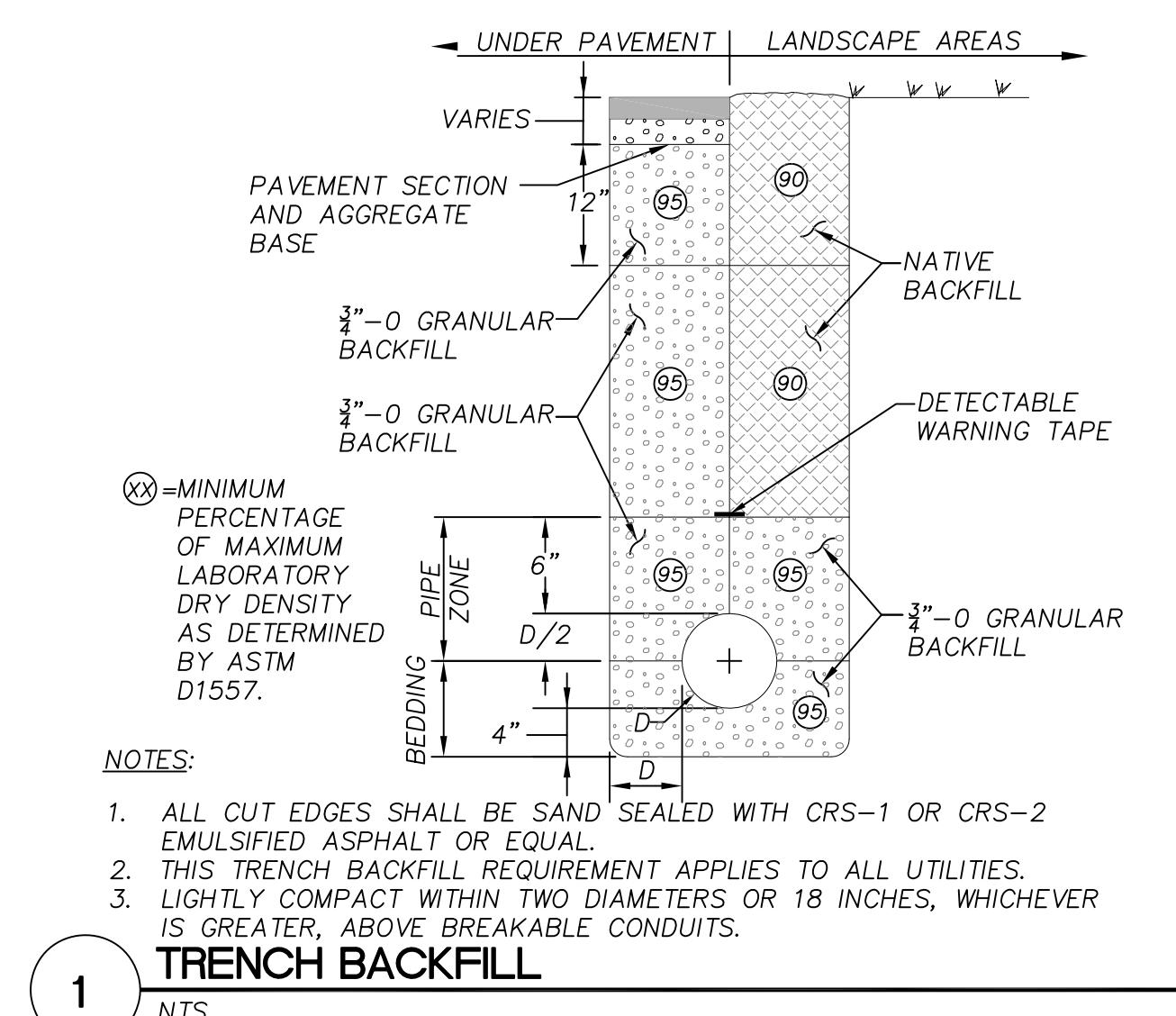
1-CARTRIDGE CATCHBASIN STORMFILTER DATA

STRUCTURE ID	CB-1
WATER QUALITY FLOW RATE (cfs)	0.04
PEAK FLOW RATE (cfs)	0.04
RETURN PERIOD OF PEAK FLOW (yrs)	10
CARTRIDGE FLOW RATE (gpm)	15
MEDIA TYPE (CSF, PERLITE, ZPG, GAC, PHS)	CSF
RIM ELEVATION	143.60
PIPE DATA:	I.E. DIAMETER
INLET STUB	XXX-XX
OUTLET STUB	141.30 6"
CONFIGURATION	OUTLET OUTLET
INLET	INLET
CLEANOUT ACCESS PLUG ON WEIR WALL	YES/NO
CATCHBASIN FOOT (typ. of 4)	YES/NO
NOTES/SPECIAL REQUIREMENTS:	

CONTECH® ENGINEERED SOLUTIONS LLC
www.conteches.com
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45069
800-526-3999 613-645-7000 613-645-7093 FAX

1 CARTRIDGE CATCHBASIN STORMFILTER STANDARD DETAIL

2 STORMWATER CATCH BASIN - CONTECH 1 CARTRIDGE
NTS



1
NTS

PARKWAY VILLAGE : WEST
SITE REPAIRS
SALEM HOUSING AUTHORITY

PERMIT REVIEW/BID SET

CIVIL DETAILS

PROJ NO.
21345

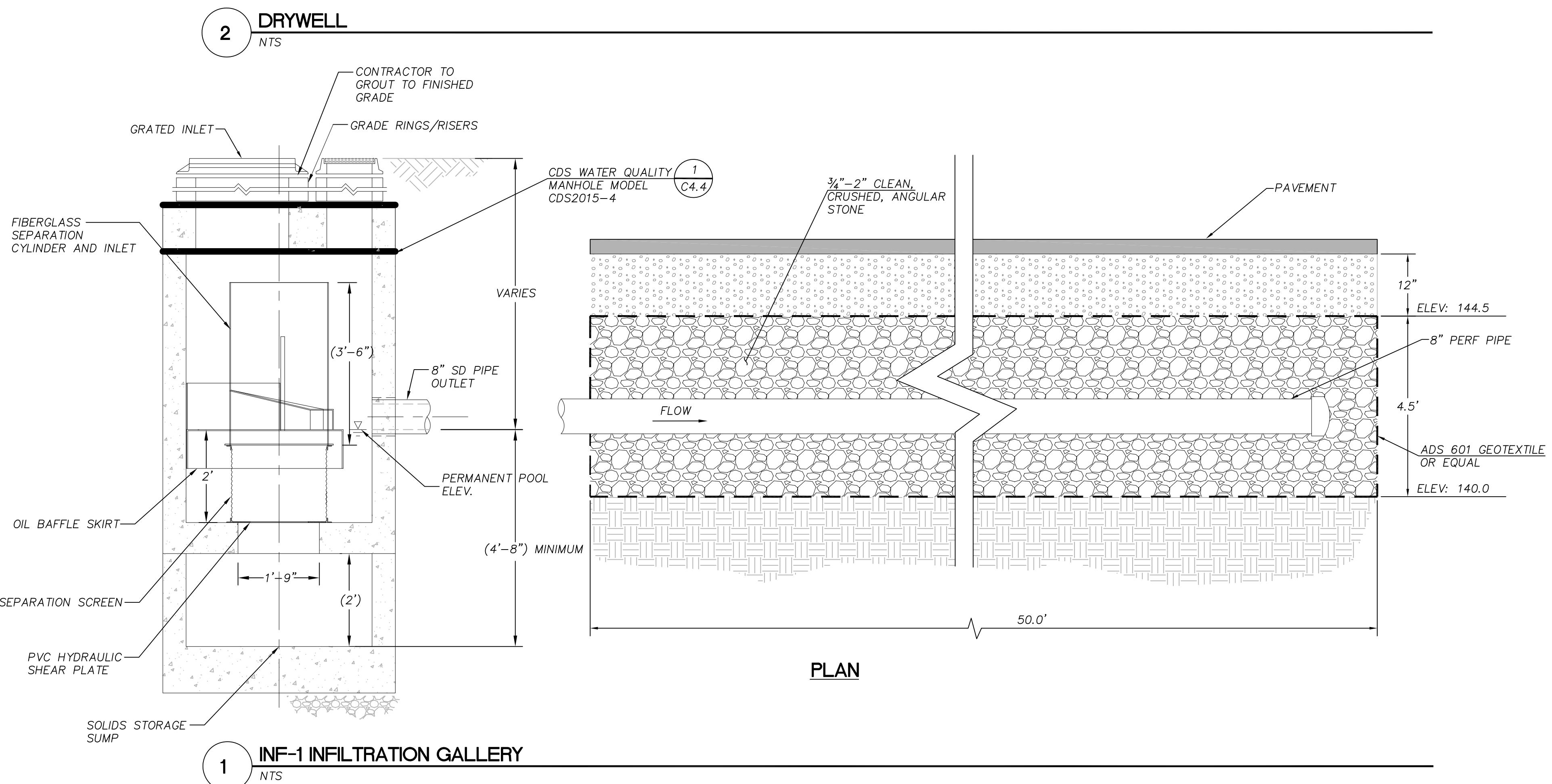
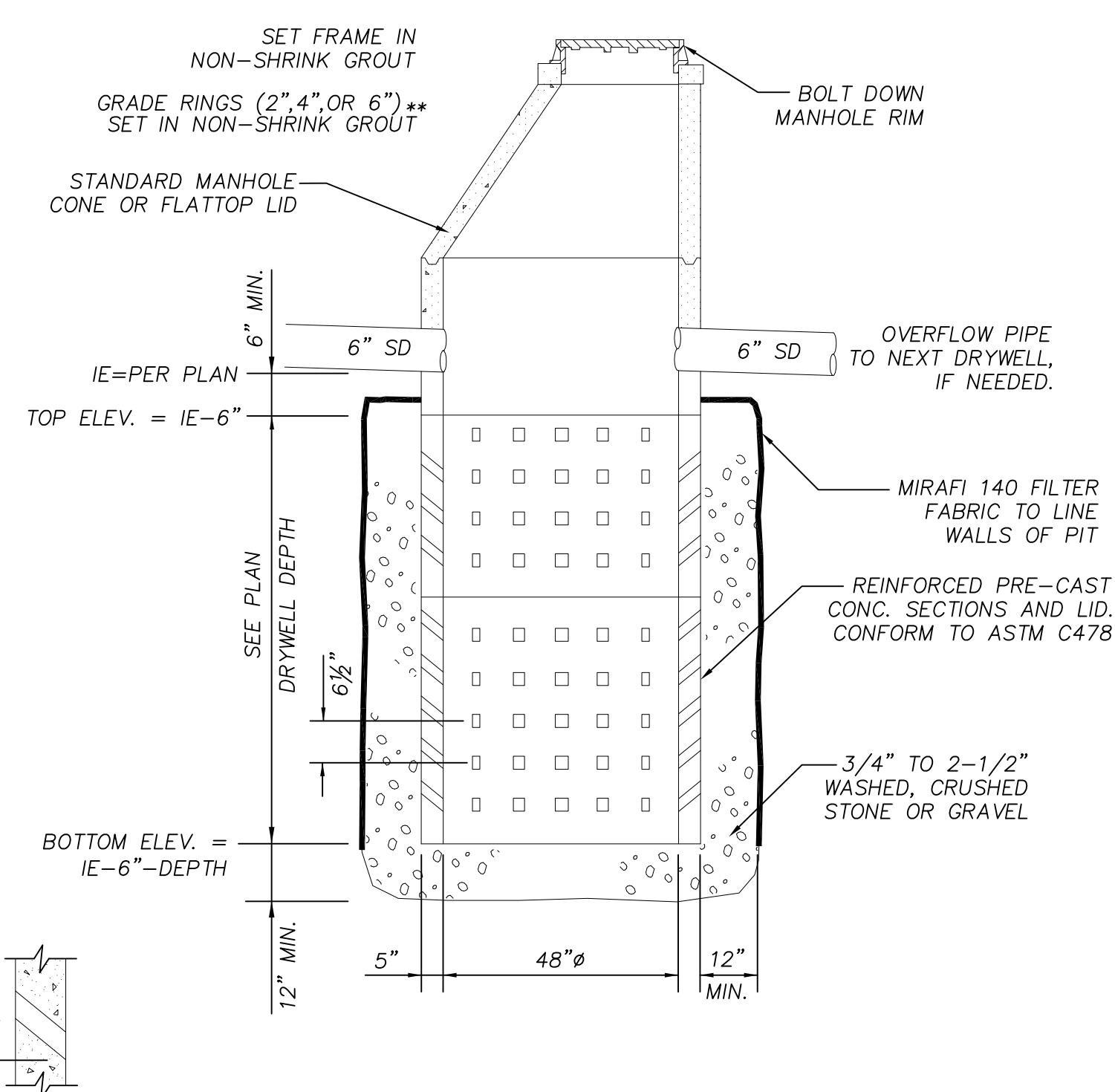
01.10.2014

02.06.14 ADDENDUM #1



DRYWELL TESTING NOTES

- DRYWELL SHALL HAVE THE CAPACITY TO DISPOSE OF STORMWATER AT THE RATE OF 18 GPM.
- SHOULD DRYWELL FAIL TO TEST AT THE MINIMUM DESIGN RATE ADDITIONAL DRYWELLS MAY BE CONSTRUCTED, AS APPROVED, IN ORDER TO ACHIEVE THE REQUIRED MINIMUM DISPOSAL RATE. ALTERNATIVE DRYWELL LOCATIONS AND/OR ADDITIONAL DRYWELLS IN PIPED SERIES MUST BE PRE-APPROVED AND IDENTIFIED ON THE CONSTRUCTION DRAWINGS.
- INDICATED DRYWELL (AS NOTED ABOVE IN NOTE #1) SHALL BE TESTED BY THE CONTRACTOR, AS DIRECTED AND APPROVED BY THE BUREAU OF BUILDINGS INSPECTOR OR AUTHORIZED SPECIAL INSPECTOR THROUGH THE SPECIAL INSPECTION PROGRAM.
- DRYWELL SHALL BE TESTED AFTER CONSTRUCTION OF THE DRYWELL STRUCTURE (INCLUDING DRAIN ROCK AND PERIMETER BACKFILL) BUT PRIOR TO THE CONSTRUCTION OF THE TOP SLAB AND FINISH BACKFILL.
- NOTIFY BUREAU OF BUILDINGS INSPECTOR OR AUTHORIZED SPECIAL INSPECTOR 24 HOURS PRIOR TO BEGINNING DRYWELL TESTING.
- CONTRACTOR SHALL CONTACT CITY OF PORTLAND WATER BUREAU OR APPLICABLE WATER DISTRICT TO ARRANGE FOR DRYWELL TEST WATER SUPPLY. CONTRACTOR SHALL BEAR RESPONSIBILITY FOR SECURING ALL NECESSARY PERMITS, AUTHORIZATION AND ANY FEES.
- CONTRACTOR SHALL ARRANGE FOR THE PROVISION OF ALL DRYWELL TESTING EQUIPMENT, INCLUDING BUT NOT LIMITED TO FLOW METER (READING IN CUBIC FEET / MINUTE), PIPING, AND TRAFFIC CONTROL.
- CLEAN WATER SHALL BE PROVIDED TO TEST DRYWELL, AS APPROVED, INTRODUCTION OF SEDIMENT MAY RESULT IN FAILURE OF THE DRYWELL CAPACITY TEST.
- FILL DRYWELL WITH WATER AT AN INITIAL RATE OF 200 GPM. EVERY FIVE (5) MINUTES RECORD WATER ELEVATION. MEASURE HEIGHT FROM RIM OF TOP RING TO WATER SURFACE. WHEN WATER SURFACE IN DRYWELL REACHES A CONSTANT ELEVATION, INCREASE FLOW RATE TO 400 GPM AND RECORD ELEVATIONS. CONTINUE TO INCREASE FLOW RATE BY 200 GPM UNTIL THE WATER SURFACE RE-STABILIZES, UNTIL CAPACITY IS EXCEEDED OR DRYWELL OPERATES AT 600 gpm, WHICHEVER IS GREATER. MAXIMUM DRYWELL CAPACITY IS THE FLOW RATE FOR THE STABLE CONDITION SET PRIOR TO RATE AT WHICH CAPACITY WAS EXCEEDED.
- PROVIDE BUREAU OF BUILDINGS INSPECTOR OR AUTHORIZED SPECIAL INSPECTOR WITH RECORDED TEST DATA.



PARKWAY VILLAGE : WEST
SITE REPAIRS
SALEM HOUSING AUTHORITY

PERMIT REVIEW/BID SET

PERMIT REVIEW/BID SET

CIVIL DETAILS

PROJ NO.
21345

01.10.2014

02.06.14 ADDENDUM #1

COPYRIGHT - CARLETON HART ARCHITECTURE DO NOT REPRODUCE WITHOUT PERMISSION

TREE REMOVAL CHART - WEST

QUANTITY	% OF TOTAL	REPLACEMENT VALUE	TOTAL REPLACED
21 NON-SIGNIFICANT OR HISTORIC	33%	1 TREE REPLACEMENT PER EACH TREE REMOVED (1:1)	38 AS REQUIRED TO MEET TREE REPLACEMENT REQ'T AND FOR MULTIPLE FAMILY LANDSCAPING REQ'T

PLANTING REQUIREMENTS - WEST

REQUIREMENT	QUANTITY	REQUIRED	PROVIDED	TOTAL
GENERAL SITE				
FOR EVERY TWO THOUSAND (2,000) SQUARE FEET OF GROSS SITE AREA, PLANT AT LEAST ONE (1) TREE OR PRESERVE AT LEAST ONE EXISTING TREE.	154,427 SF	78 TREES	47 EXISTING 38 PROPOSED	85 TREES
EXTERIOR BUILDING REQUIREMENTS				
PROVIDE A MINIMUM TWO (2) PLANT UNITS ADJACENT THE PRIMARY ENTRY WAY OF A DWELLING UNIT OR COMBINATION OF DWELLING UNITS.	15 ENTRIES	30 SHRUBS	30 PROPOSED	30 TOTAL
DISTRIBUTE SHRUBS AT A MINIMUM DENSITY OF ONE (1) PLANT UNIT PER FIFTEEN (15) LINEAR FEET OF EACH EXTERIOR WALL, ASSUMED FRONT FAÇADE ONLY FOR EXISTING RENOVATION.	930 LF	62 SHRUBS	62 PROPOSED	62 TOTAL
PARKING LOT LANDSCAPING				
PLANT ONE (1) CANOPY TREE EVERY FIFTY (50) FEET ALONG THE PERIMETER OF PARKING AREAS.	1200 LF	20 TREES	12 EXISTING 10 PROPOSED	22 TREES
PLANT ONE (1) CANOPY TREE OR EQUIVALENT PLANTING UNITS WITHIN PLANTER BAYS WITH MINIMUM OF 5-FOOT WIDTH	12 BAYS	12 TREES	11 PROPOSED 10 PROPOSED	10 TREES
MINIMUM REQUIRED LANDSCAPING FOR PARKING AREAS LESS THAN 50,000SF.	43,255 SF	5% OF TOTAL	2,290 SF	2,290 SF

SITE PLANT SCHEDULE

SYMB	KEY	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION	SPACING	DTL/REF
TREES						
ACFR		ACER X FREEMANII 'JEFFSRED'	AUTUMN BLAZE MAPLE	1.5" CAL./B&B	AS SHOWN	1/L4.1
CACA		CARPINUS CAROLINIANA 'PALISADE CCSQU'	PALISADE AMERICAN HORNBEEAM	1.5" CAL./B&B	AS SHOWN	1/L4.1
CEJA		CERCIDiphyllum JAPONICUM	KATSURA TREE	1.5" CAL./B&B	AS SHOWN	1/L4.1
COAL		CORNUS ALTERNIFOLIA	PAGODA DOGWOOD	1.5" CAL./B&B	AS SHOWN	1/L4.1
GLTR		GLEDTISIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	1.5" CAL./B&B	AS SHOWN	1/L4.1
FRAM		FRAXINUS AMERICANA 'AUTUMN APPLAUSE'	AUTUMN APPLAUSE ASH	1.5" CAL./B&B	AS SHOWN	1/L4.1
SHRUBS AND GROUND COVERS						
ABELIA		ABELIA GRANDIFLORA	GLOSSY ABELIA	2 GAL. CONT.	AS SHOWN	2/L4.1
LONICERA		LONICERA PILEATA	PRIVET HONEYSUCKLE	1 GAL. CONT.	AS SHOWN	2/L4.1
LAVANDULA		LAVANDULA ANGUSTIFOLIA 'HIDCOTE'	HIDCOTE LAVENDER	1 GAL. CONT.	AS SHOWN	2/L4.1
MAHONIA		MAHONIA NERVOSA	MAHONIA	1 GAL. CONT.	AS SHOWN	2/L4.1
NANDINA		NANDINA DOMESTICA 'GULF STREAM'	GULF STREAM HEAVENLY BAMBOO	1 GAL. CONT.	AS SHOWN	2/L4.1
PIERIS		PIERIS JAPONICA 'LITTLE HEATH'	LITTLE HEATH ANDROMEDA	1 GAL. CONT.	AS SHOWN	2/L4.1
PINUS		PINUS MUGO VAR 'TYROLEAN'	DWARF MUGO PINE	2 GAL. CONT.	AS SHOWN	2/L4.1
PRUNUS		PRUNUS LAURIFOLIUS 'MT VERNON'	DWARF ENGLISH LAUREL	1 GAL. CONT.	AS SHOWN	2/L4.1
RHODODENDRON		RHODODENDRON 'GLACIER'	GLACIER EVERGREEN AZALEA	2 GAL. CONT.	AS SHOWN	2/L4.1
SPIRAEA		SPIRAEA JAPONICA 'LIMEMOUND'	LIMEMOUND SPIREA	2 GAL. CONT.	AS SHOWN	2/L4.1
VIBURNUM		VIBURNUM DAVIDI	DAVID'S VIBURNUM	1 GAL. CONT.	AS SHOWN	2/L4.1
VIBURNUM		VIBURNUM TINUS	KOREAN SPICE VIBURNUM	2 GAL. CONT.	AS SHOWN	2/L4.1
PERENNIALS AND GRASSES						
HEMEROCALLIS		HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	1 GAL. CONT.	AS SHOWN	2/L4.1

LEGEND

	RESEED TURF LAWN WITHIN LIMITS OF DISTURBANCE (SEE CIVIL DRAWINGS FOR ADDITIONAL LIMITS OF DISTURBANCE)
	WOOD MULCH
	EXISTING TREES

PLANTING NOTES:

- CONTRACTOR TO VERIFY LOCATION OF EXISTING TREES INDICATED TO REMAIN PRIOR TO SOIL PREPARATION. PROTECT ALL TREES AND SHRUBS INDICATED TO REMAIN. COORDINATE WITH THE OWNER'S REPRESENTATIVE.
- PLANTING AREAS TO BE SUFICIENTLY CLEANED OF ALL CONSTRUCTION MATERIALS, INCLUDING IMPORTED ROCK, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE BEFORE BEGINNING ANY LANDSCAPE WORK.
- IDENTIFY ALL PLANTING AREAS FIELD WITH WHITE FIELD-MARKING CHALK OR APPROVED EQUAL. PLANTING BEDS TO BE ADJUSTED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLANT LOCATION.
- FOR PLANTING OCCURRING IN MASSES OF SAME PLANT SPECIES, LABELING REFERS TO ALL ADJACENT IDENTICAL SYMBOLS. REFER TO DETAILS AND LEGEND FOR SPACING INFORMATION.
- THE OWNER'S REPRESENTATIVE WILL APPROVE INDIVIDUAL PLANT MATERIAL AND LOCATION OF PLANT MATERIAL PRIOR TO INSTALLATION. REFER TO SPECIFICATIONS FOR PROCEDURE.
- SHRUBS AND GROUNDCOVER TO BE PLANTED A MINIMUM OF ONE HALF THEIR ON CENTER SPACING AWAY FROM PAVEMENT EDGES; UNLESS OTHERWISE NOTED.
- ALL AREAS DISTURBED BY CONSTRUCTION NOT RECEIVING PLANT MATERIAL OR LAWN AS SHOWN ON THE PLANS TO RECEIVE WOOD MULCH AS STATED IN THE SPECIFICATIONS, COORDINATE WITH OWNERS REPRESENTATIVE.
- ALL PROPOSED PLANTING AREAS AND ADJACENT EXISTING PLANTING AREAS WITHIN THE LIMIT OF WORK TO RECEIVE WOOD MULCH AS STATED IN THE SPECIFICATIONS.
- ALL TREES IN LAWN TO RECEIVE 4-FOOT MIN. DIAMETER BARK MULCH RING. MULCH DEPTH TO BE MAX. 3-INCHES UNLESS NOTED OTHERWISE.

WALKER | MACY

111 SW OAK, SUITE 200
PORTLAND, OR 97204
503.228.3122PARKWAY VILLAGE : WEST
SITE REPAIRS
SALEM HOUSING AUTHORITY

PERMIT REVIEW / BID SET

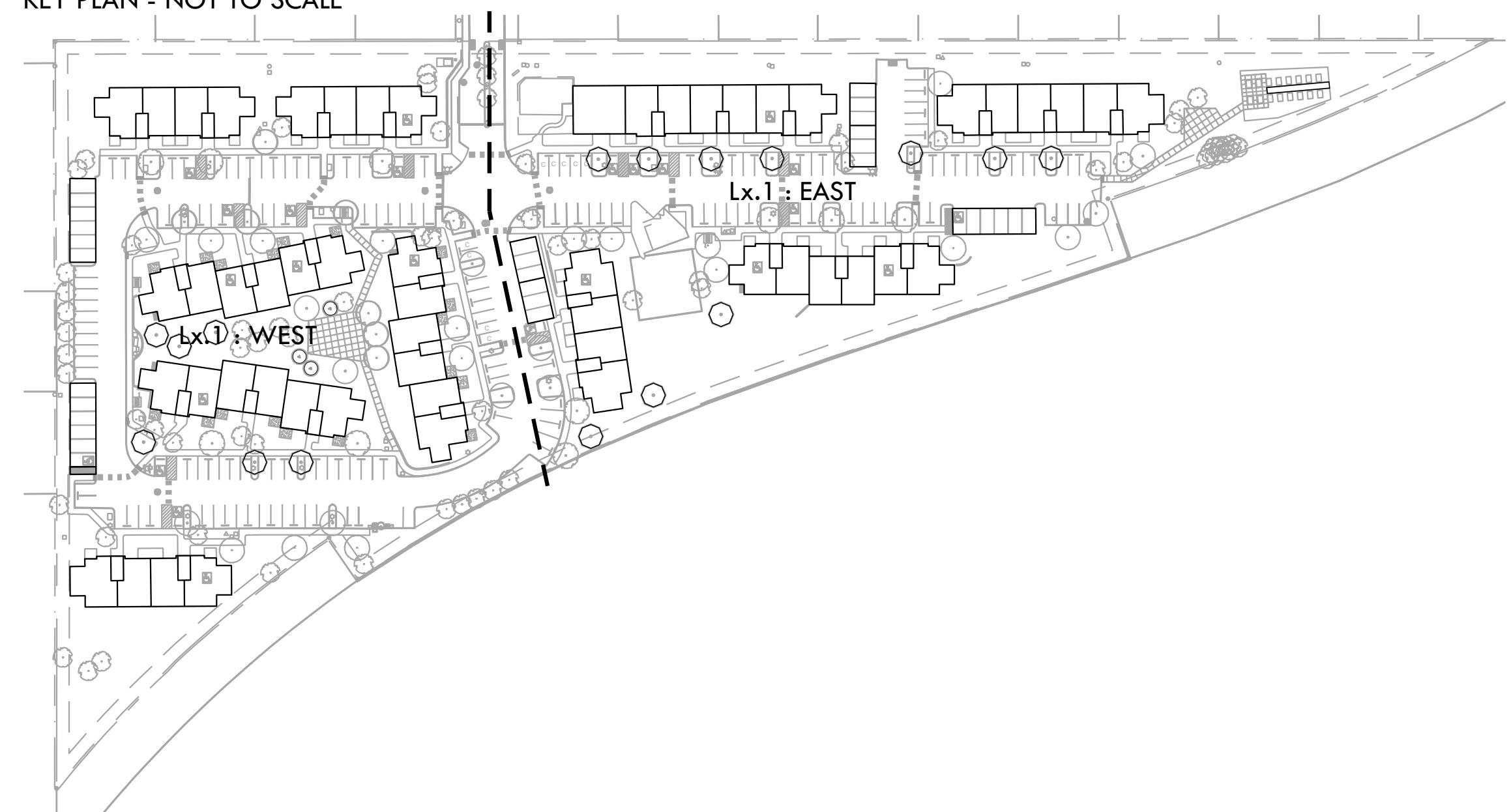
PLANTING PLAN

PROJ NO.
21345

01.10.14

02.06.14 ADDENDUM #1
COPYRIGHT - CARLETON HART ARCHITECTURE DO NOT REPRODUCE WITHOUT PERMISSION

KEY PLAN - NOT TO SCALE



L1.0

REGISTERED ARCHITECT
BRIAN D. CARLETON
PORTLAND, OREGON
2018
STATE OF OREGON

CARLETON HART ARCHITECTURE
32 NW 8th Avenue Portland, Oregon 97209
carletonhart.com



BUILDING MATRIX	
BUILDING 1 - 3113/ 3115	UNIT # 111, 112, 113, 114, 211, 212, 213, 214
BUILDING 2 - 3103/ 3105	UNIT # 101, 102, 103, 104, 201, 202, 203, 204
BUILDING 3 - 3147/ 3149/ 3151	UNIT # 135, 136, 137, 138, 139, 140, 235, 236, 237, 238, 239, 240
BUILDING 4 - 3163/ 3165/ 3167	UNIT # 147, 148, 149, 150, 151, 152, 247, 248, 249, 250, 251, 252
BUILDING 5 - 3163/ 3165/ 3167	UNIT # 141, 142, 143, 144, 145, 146, 241, 242, 243, 244, 245, 246, 343, 344
BUILDING 6 - 3137/ 3139	UNIT # 131, 132, 133, 134, 231, 232, 233, 234
BUILDING 7 - 3131/ 3133/ 3135	UNIT # 125, 126, 127, 128, 129, 130, 225, 226, 227, 228, 229, 230, 325, 326, 327, 328, 329, 330
BUILDING 8 - 3107/ 3109/ 3111	UNIT # 105, 106, 107, 108, 109, 110, 205, 206, 207, 208, 209, 210, 325, 306, 307, 308, 309, 310
BUILDING 9 - 3125/ 3127/ 3129	UNIT # 119, 120, 121, 122, 123, 124, 219, 220, 221, 222, 223, 224, 319, 320, 321, 322, 323, 324
BUILDING 10 - 3121/ 3123	UNIT # 115, 116, 117, 118, 215, 216, 217, 218
GARAGE 01 - 3117	
GARAGE 02 - 3119	
GARAGE 03 - 3159	
GARAGE 04 - 3161	
GARAGE 05 - 3141	

GENERAL SITE PLAN NOTES

- A. SITE WORK DESCRIBED UNDER SEPARATE PACKAGE.
SITE INFORMATION PROVIDED IS FOR REFERENCE
ONLY.

SITE PLAN LEGEND

- - - PROPERTY LINE
— 10' SETBACK
■ PARKING AREA
■ EXISTING BUILDING
■ NEW SIDEWALKS
■ EXISTING CONCRETE TO REMAIN
■■■■■ NEW STRIPED ADA PARKING AISLE
C COMPACT PARKING STALL
NEW CONCRETE WHEEL STOP
EXISTING TREE
ACCESIBLE UNIT - SEE FLOOR PLANS
S&H SIGHT AND HEARING ACCESSIBLE UNIT - SEE FLOOR PLANS

PARKWAY VILLAGE : WEST
APARTMENT REHABILITATION
SALEM HOUSING AUTHORITY

PERMIT REVIEW / BID SET

SITE PLAN

WEST

PROJ NO.

21345

01.21.14

02.06.14 ADDENDUM #1

COPYRIGHT - CARLETON HART ARCHITECTURE DO NOT REPRODUCE WITHOUT PERMISSION

SITE PLAN LEGEND

- ① FIRE RISER ROOM ADDITION
② EXTENDED GARAGE FOR ACCESSIBLE PARKING

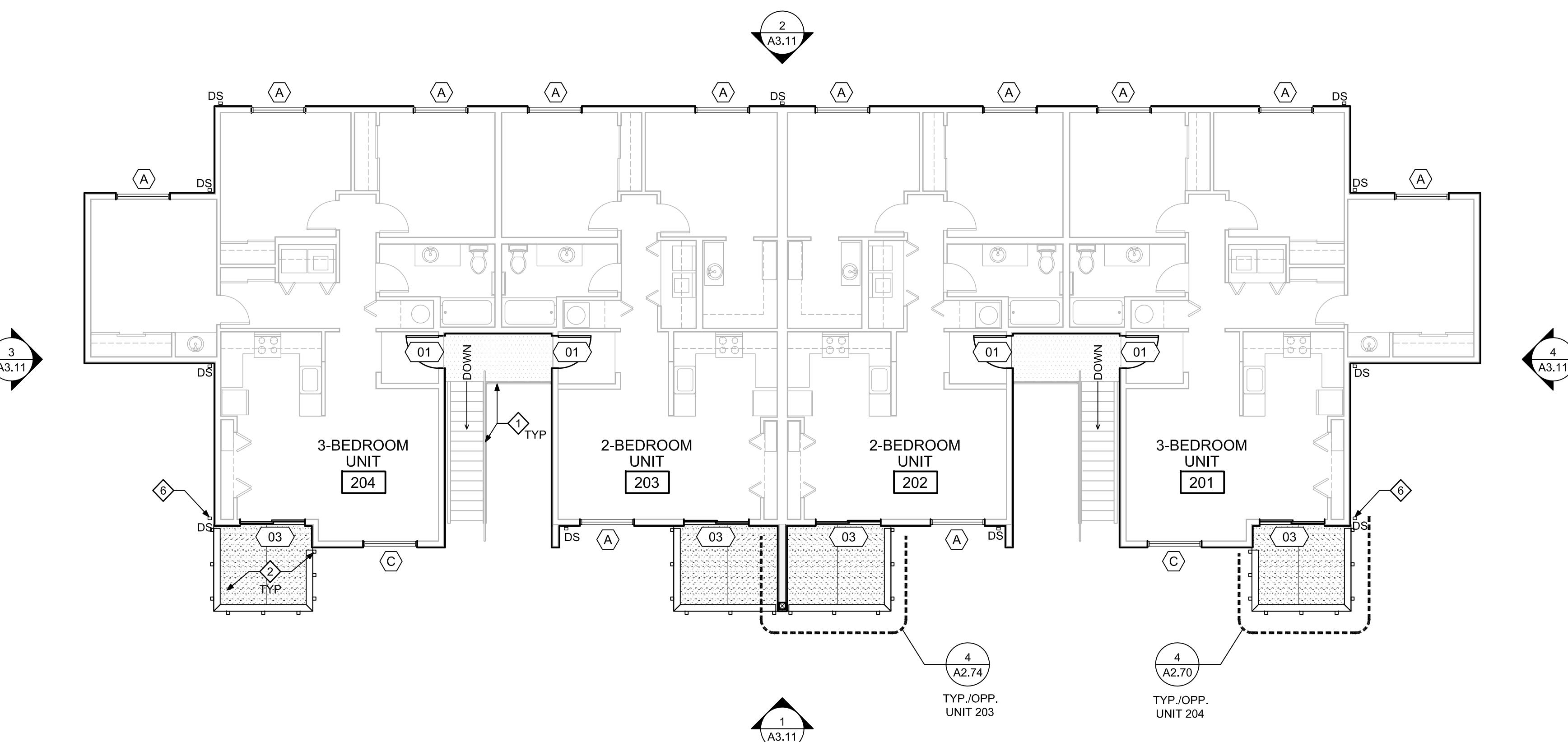
A1.03



CARLETON HART ARCHITECTURE
32 NW 8th Avenue Portland, Oregon 97209 | carletonhart.com

PARKWAY VILLAGE : WEST
APARTMENT REHABILITATION
SALEM HOUSING AUTHORITY

PERMIT REVIEW / BID SET

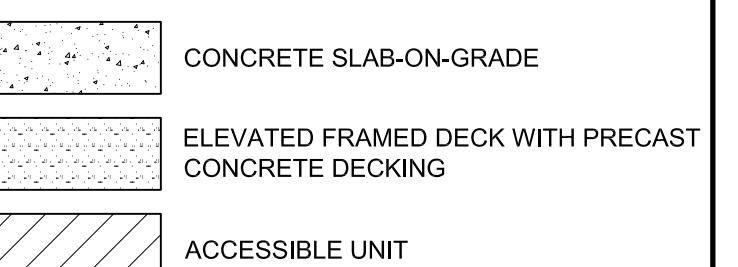


2 BUILDING 02 - SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

- GENERAL PLAN NOTES**
- A. ANY OBSERVED, KNOWN, OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON SUCH FORM AS REQUIRED BY THE CONTRACT DOCUMENTS.
 - B. REFER TO ENLARGED PLANS FOR DETAILED SCOPE OF INTERIOR WORK.
 - C. PRIMARY INTERIOR SCOPE OF WORK IS LIMITED TO GROUND FLOOR UNITS. SECOND AND THIRD FLOOR INTERIOR WORK CONSISTS PRIMARILY OF PATCHING/PAINTING AS REQUIRED FOR NEW DUCT WORK, WINDOW REPLACEMENT, NEW FIRE SPRINKLERS (3-STORY BUILDINGS), ETC.
 - D. REFER TO EXTERIOR FINISH SCHEDULES FOR FINISH MATERIALS, COLORS, AND TEXTURES.
 - E. EXISTING DIMENSIONS SHOWN ARE FOR REFERENCE ONLY AND MUST BE VERIFIED IN FIELD.
 - F. ALL BUILDINGS ARE TO RECEIVE NEW GUTTERS AND DOWNSPOUTS. INSTALL DOWNSPOUTS IN SAME LOCATIONS AS EXISTING, UNLESS NOTED OTHERWISE.
 - G. ALL UNITS TO RECEIVE CARBON MONOXIDE DETECTORS.

FLOOR PLAN LEGEND

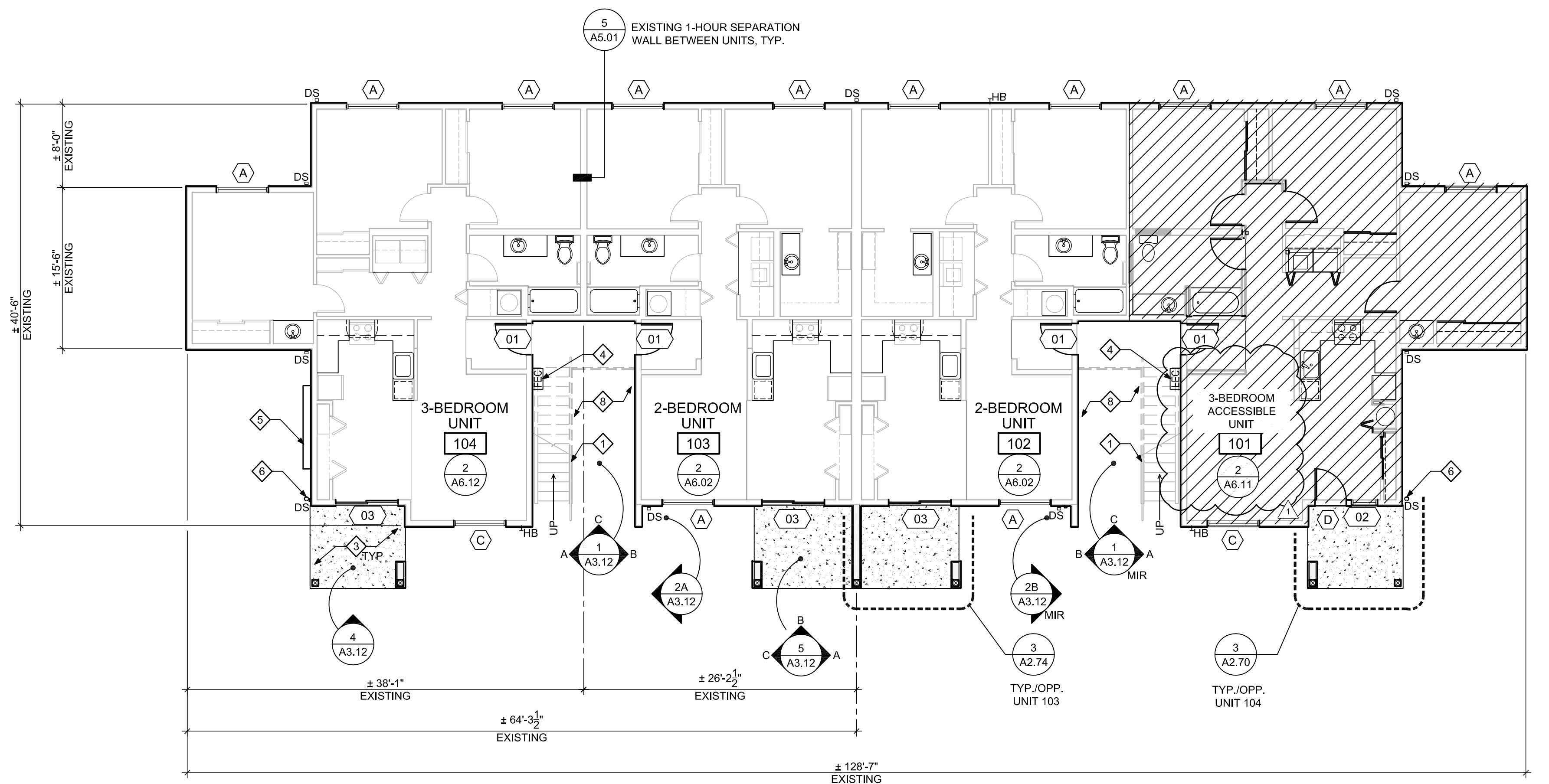
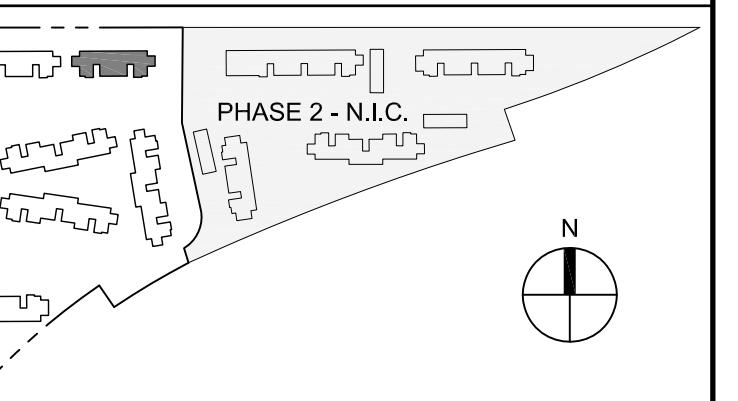


DS APPROXIMATE DOWNSPOUT LOCATION
HB APPROXIMATE EXISTING HOSE BIB LOCATION - INSTALL NEW FROST FREE HOSE BIB

FLOOR PLAN KEY NOTES

- 1 EXISTING STAIR ASSEMBLY TO REMAIN
- 2 NEW DECK AND GUARDRAIL ASSEMBLY - REFER TO ENLARGED DECK PLAN SHEETS
- 3 NEW SLAB-ON-GRADE CONCRETE PATIO
- 4 EXISTING FIRE EXTINGUISHER AND CABINET. REMOVE, CLEAN, PROTECT AND REINSTALL.
- 5 EXISTING BUILDING POWER, VOICE, DATA AND CABLE
- 6 TV APPURTENANCES TO BE INTEGRATED INTO BUILDING ENCLOSURE.
- 7 RAIN DRAIN BOOT AND DOWNSPOUT TO BE RELOCATED
- 8 CRAWL SPACE VENT FAN
- 9 EXISTING CONCRETE TO REMAIN
- 10 20"x30" ATTIC ACCESS HATCH ABOVE. SEE DETAIL 5(A.5.1.8)

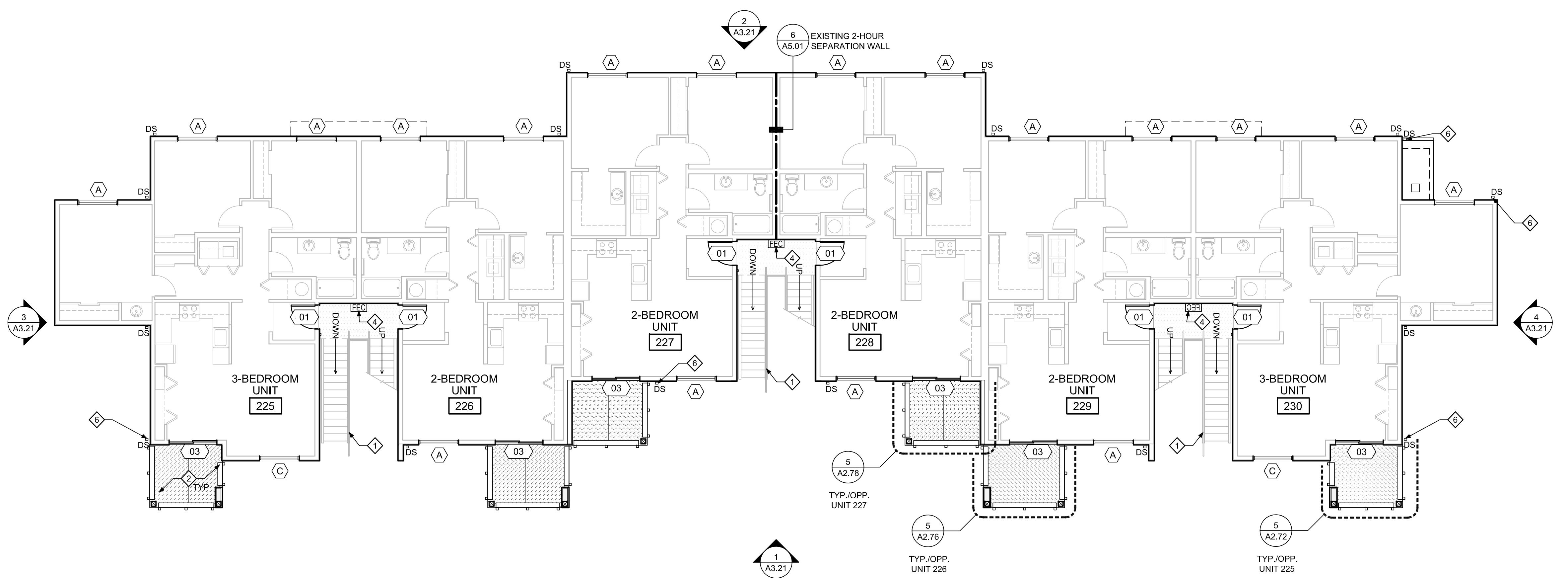
KEY PLAN - N.T.S.



1 BUILDING 02 - FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

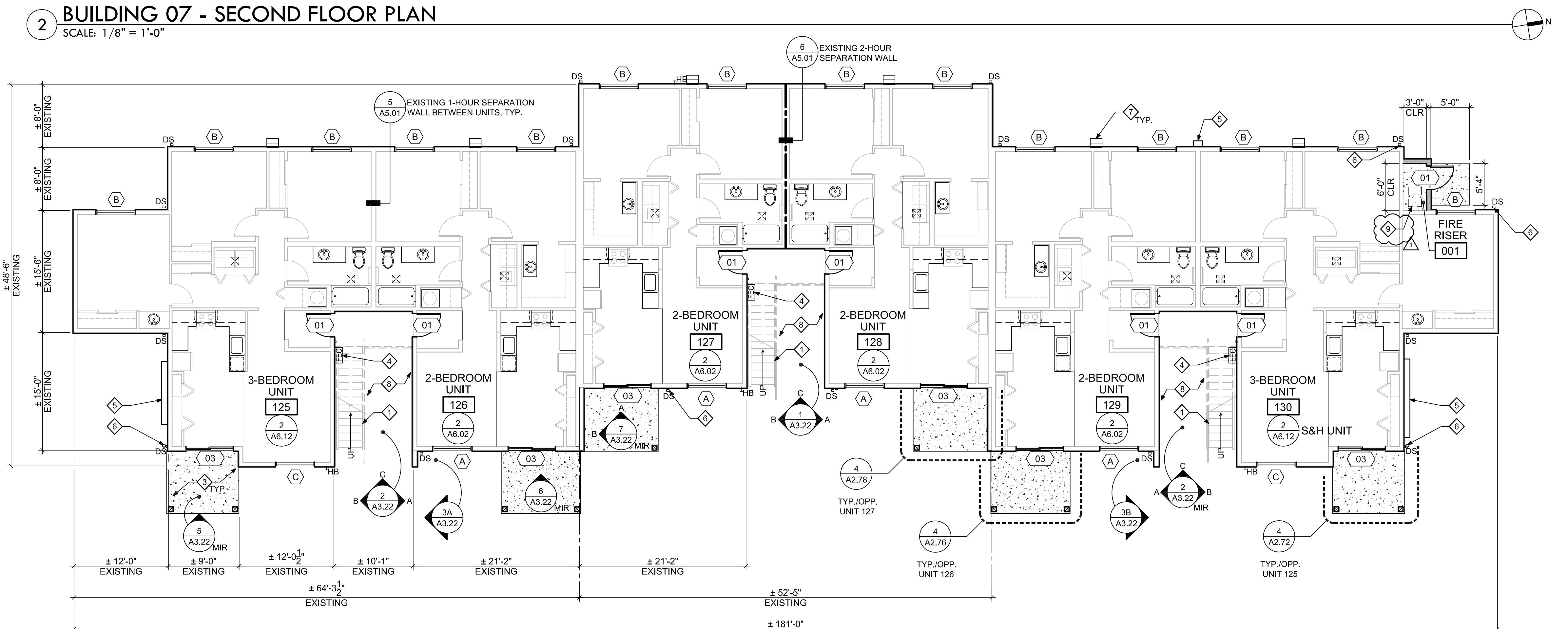
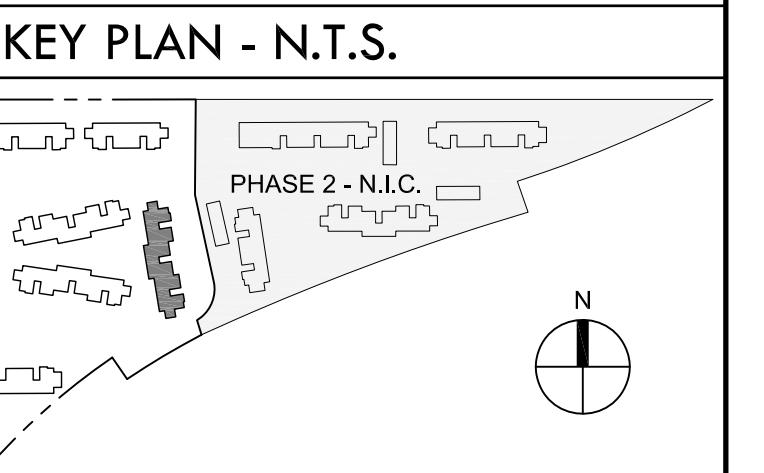
A2.11



GENERAL PLAN NOTES	
A.	ANY OBSERVED, KNOWN, OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON SUCH FORM AS REQUIRED BY THE CONTRACT DOCUMENTS.
B.	REFER TO ENLARGED PLANS FOR DETAILED SCOPE OF INTERIOR WORK.
C.	PRIMARY INTERIOR SCOPE OF WORK IS LIMITED TO GROUND FLOOR UNITS. SECOND AND THIRD FLOOR INTERIOR WORK CONSISTS PRIMARILY OF PATCHING/PAINTING AS REQUIRED FOR NEW DUCT WORK, WINDOW REPLACEMENT, NEW FIRE SPRINKLERS (3-STORY BUILDINGS), ETC.
D.	REFER TO EXTERIOR FINISH SCHEDULES FOR FINISH MATERIALS, COLORS, AND TEXTURES.
E.	EXISTING DIMENSIONS SHOWN ARE FOR REFERENCE ONLY AND MUST BE VERIFIED IN FIELD.
F.	ALL BUILDINGS ARE TO RECEIVE NEW GUTTERS AND DOWNSPOUTS. INSTALL DOWNSPOUTS IN SAME LOCATIONS AS EXISTING, UNLESS NOTED OTHERWISE.
G.	ALL UNITS TO RECEIVE CARBON MONOXIDE DETECTORS.

FLOOR PLAN LEGEND	
	CONCRETE SLAB-ON-GRADE
	ELEVATED FRAMED DECK WITH PRECAST CONCRETE DECKING
	ACCESSIBLE UNIT
	APPROXIMATE DOWNSPOUT LOCATION
	APPROXIMATE EXISTING HOSE BIB LOCATION - INSTALL NEW FROST FREE HOSE BIB

FLOOR PLAN KEY NOTES	
	EXISTING STAIR ASSEMBLY TO REMAIN
	NEW DECK AND GUARDRAIL ASSEMBLY - REFER TO ENLARGED DECK PLAN SHEETS
	NEW SLAB-ON-GRADE CONCRETE PATIO
	EXISTING FIRE EXTINGUISHER AND CABINET. REMOVE, CLEAN, PROTECT AND REINSTALL.
	EXISTING BUILDING POWER, VOICE, DATA AND CABLE TV APPURTENANCES TO BE INTEGRATED INTO BUILDING ENCLOSURE.
	RAIN DRAIN BOOT AND DOWNSPOUT TO BE RELOCATED
	CRAWL SPACE VENT FAN
	EXISTING CONCRETE TO REMAIN
	20"x30" ATTIC ACCESS HATCH ABOVE. SEE DETAIL 5/A5.1.8



FLOOR PLANS BUILDING 07
PROJ NO. 21345
01.21.14
02.06.14 ADDENDUM #1

Copyright - CARLETON HART ARCHITECTURE DO NOT REPRODUCE WITHOUT PERMISSION



CARLETON HART ARCHITECTURE
32 NW 8th Avenue Portland, Oregon 97209
carletonhart.com

PARKWAY VILLAGE : WEST
APARTMENT REHABILITATION
SALEM HOUSING AUTHORITY

PERMIT REVIEW / BID SET

GENERAL PLAN NOTES

- A. ANY OBSERVED, KNOWN, OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON SUCH FORM AS REQUIRED BY THE CONTRACT DOCUMENTS.
- B. REFER TO ENLARGED PLANS FOR DETAILED SCOPE OF INTERIOR WORK.
- C. PRIMARY INTERIOR SCOPE OF WORK IS LIMITED TO GROUND FLOOR UNITS. SECOND AND THIRD FLOOR INTERIOR WORK CONSISTS PRIMARILY OF PATCHING/PAINTING AS REQUIRED FOR NEW DUCT WORK, WINDOW REPLACEMENT, NEW FIRE SPRINKLERS (3-STORY BUILDINGS), ETC.
- D. REFER TO EXTERIOR FINISH SCHEDULES FOR FINISH MATERIALS, COLORS, AND TEXTURES.
- E. EXISTING DIMENSIONS SHOWN ARE FOR REFERENCE ONLY AND MUST BE VERIFIED IN FIELD.
- F. ALL BUILDINGS ARE TO RECEIVE NEW GUTTERS AND DOWNSPOUTS. INSTALL DOWNSPOUTS IN SAME LOCATIONS AS EXISTING, UNLESS NOTED OTHERWISE.
- G. ALL UNITS TO RECEIVE CARBON MONOXIDE DETECTORS.

FLOOR PLAN LEGEND

[CONCRETE SLAB-ON-GRADE]	CONCRETE SLAB-ON-GRADE
[ELEVATED FRAMED DECK WITH PRECAST CONCRETE DECKING]	ELEVATED FRAMED DECK WITH PRECAST CONCRETE DECKING
[ACCESIBLE UNIT]	ACCESIBLE UNIT
DS	APPROXIMATE DOWNSPOUT LOCATION
HB	APPROXIMATE EXISTING HOSE BIB LOCATION - INSTALL NEW FROST FREE HOSE BIB

FLOOR PLAN KEY NOTES

- 1 EXISTING STAIR ASSEMBLY TO REMAIN
- 2 NEW DECK AND GUARDRAIL ASSEMBLY - REFER TO ENLARGED DECK PLAN SHEETS
- 3 NEW SLAB-ON-GRADE CONCRETE PATIO
- 4 EXISTING FIRE EXTINGUISHER AND CABINET. REMOVE, CLEAN, PROTECT AND REINSTALL.
- 5 EXISTING BUILDING POWER, VOICE, DATA AND CABLE APPURTENANCES TO BE INTEGRATED INTO BUILDING ENCLOSURE.
- 6 RAIN DRAIN BOOT AND DOWNSPOUT TO BE RELOCATED
- 7 CRAWL SPACE VENT FAN
- 8 EXISTING CONCRETE TO REMAIN
- 9 20"x30" ATTIC ACCESS HATCH ABOVE. SEE DETAIL 5/A5.1.8

KEY PLAN - N.T.S.

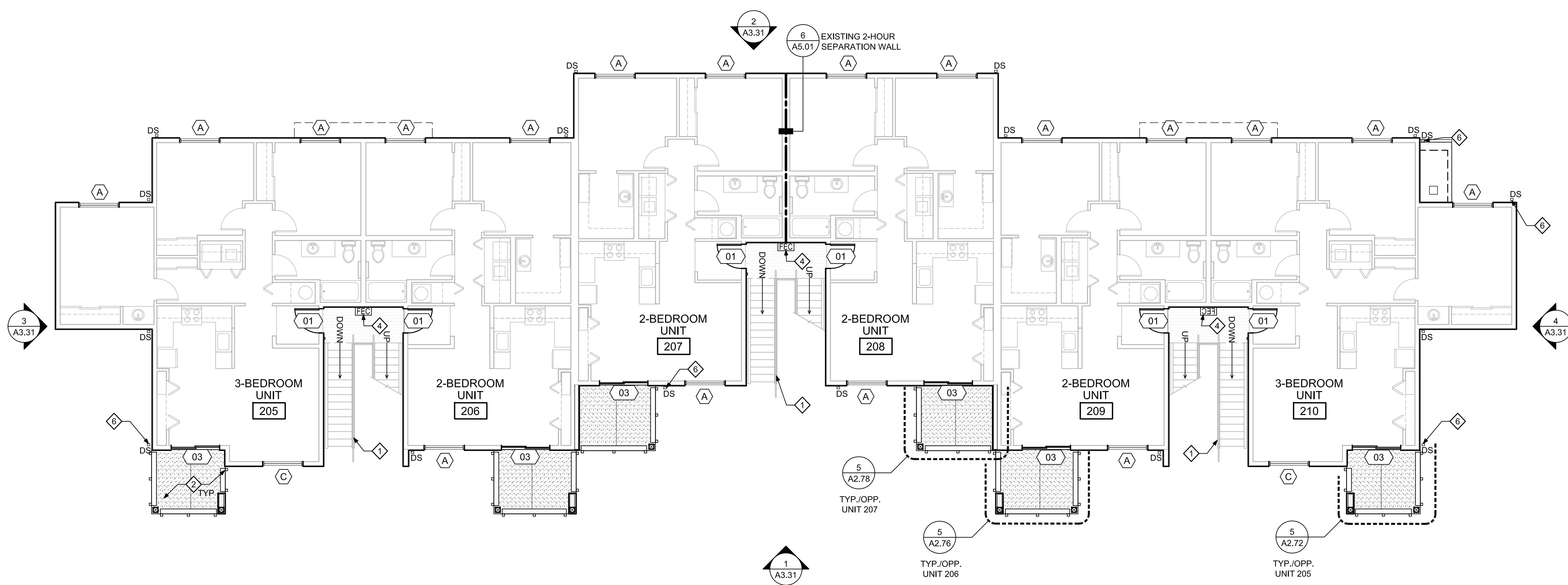
FLOOR PLANS BUILDING 08

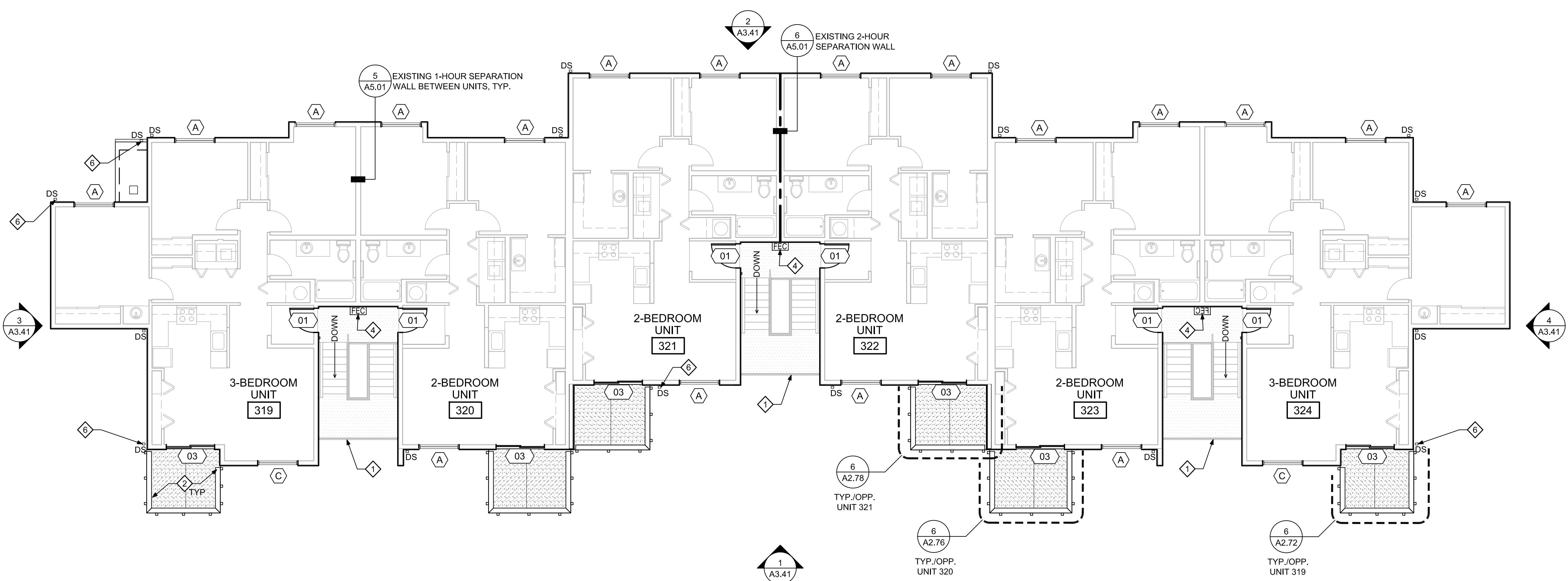
PROJ NO. 21345

01.21.14

02.06.14 ADDENDUM #1

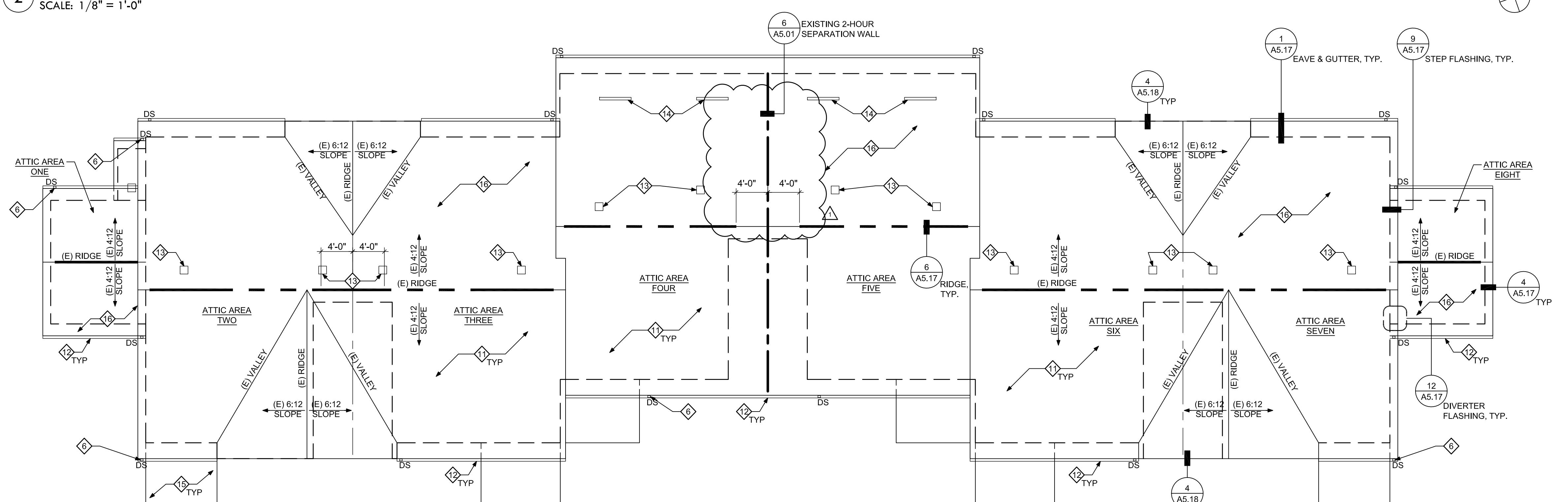
COPYRIGHT - CARLETON HART ARCHITECTURE DO NOT REPRODUCE WITHOUT PERMISSION





2 BUILDING 09 - THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"



ATTIC VENTILATION CALCULATIONS

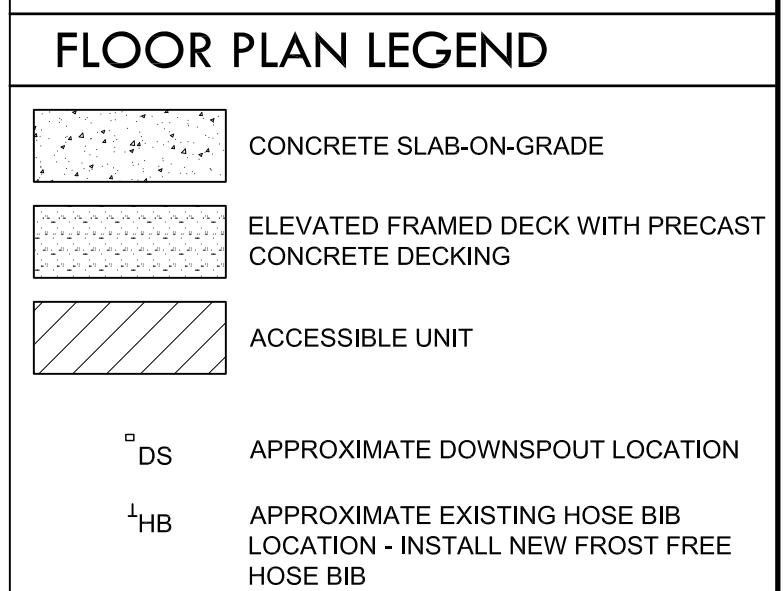
	ATTIC AREA - ONE	ATTIC AREA - TWO	ATTIC AREA - THREE	ATTIC AREA - FOUR	ATTIC AREA - FIVE	ATTIC AREA - SIX	ATTIC AREA - SEVEN	ATTIC AREA - EIGHT
AREA	26,964 SQ IN	152,620 SQ IN	149,701 SQ IN	153,544 SQ IN	153,544 SQ IN	149,701 SQ IN	152,620 SQ IN	26,964 SQ IN
LENGTH	(E) 4:12 SLOPE	(E) 6:12 SLOPE	(E) 6:12 SLOPE	(E) RIDGE	(E) VALLEY	(E) RIDGE	(E) RIDGE	(E) 4:12 SLOPE
REQUIRED VENTING	90 SQ IN	509 SQ IN	500 SQ IN	512 SQ IN	500 SQ IN	509 SQ IN	90 SQ IN	
RIDGE VENT	183 SQ IN	10'-6"	437 SQ IN	25'-0"	455 SQ IN	26'-0"	358 SQ IN	20'-6"
EAVE VENT	69.6 SQ IN	12'-0"	81.2 SQ IN	14'-0"	110.2 SQ IN	19'-0"	116 SQ IN	20'-0"
LOW PROFILE CAP VENT					80 SQ IN	8'-0"	80 SQ IN	8'-0"
TOTAL PROVIDED	252.6 SQ IN	518.2 SQ IN	565.2 SQ IN	554 SQ IN	554 SQ IN	565.2 SQ IN	518.2 SQ IN	252.6 SQ IN

ATTIC VENTILATION

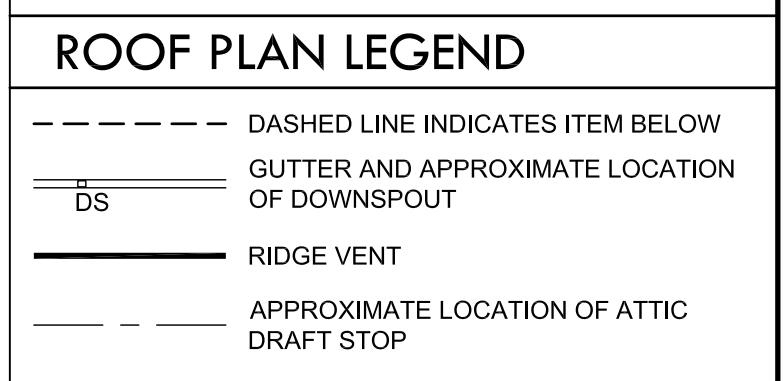
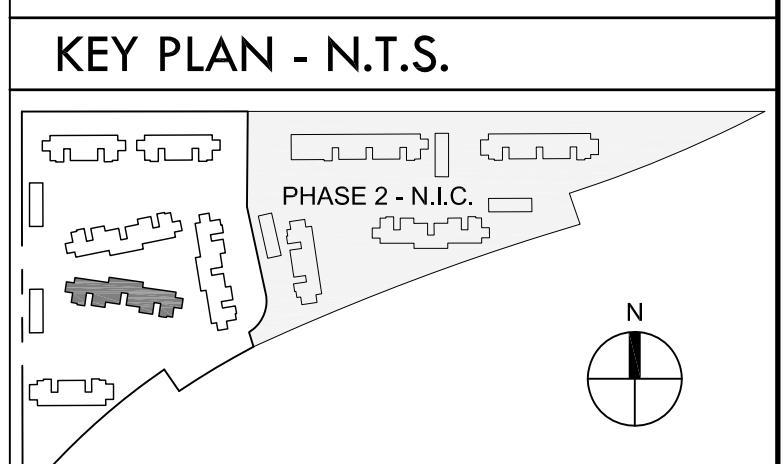
ATTIC VENTILATION CALCULATIONS BASED UPON THE OSSC - SECTION 1203.2 ATTIC SPACES:

1. THE NET FREE VENTILATED AREA SHALL NOT BE LESS THAN 1/300 OF THE AREA OF THE SPACE VENTILATED.
2. EACH ATTIC AREA SEPARATED BY FIRE WALLS, PARTITION WALLS, SOUND BARRIERS, OR OTHER SIMILAR OBSTRUCTION SHALL BE VENTILATED INDIVIDUALLY AND COMPLY WITH THE VENTILATION REQUIREMENTS FOR THAT SPACE.
3. ROOF VENTILATION IS ACHIEVED THROUGH A COMBINATION OF CONTINUOUS RIDGE VENTS, EAVE VENTS AND LOW PROFILE CAP VENTS.
 1. RIDGE VENT _____ 17.5 SQ. IN. / 1'-0" (LINEAR FOOT)
 2. EAVE VENT _____ 5.8 SQ. IN. / 1'-0" (LINEAR FOOT)
 3. LOW PROFILE CAP VENT _____ .40 SQ. IN. (10 SQ. IN. / 1'-0")
4. NO OPENING INTO ATTICS GREATER THAN $\frac{1}{2}$ " IS PERMITTED.

- GENERAL PLAN NOTES**
- A. ANY OBSERVED, KNOWN, OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON THIS FORM AS REQUIRED BY THE CONTRACT DOCUMENTS.
 - B. REFER TO ENLARGED PLANS FOR DETAILED SCOPE OF INTERIOR WORK.
 - C. PRIMARY INTERIOR SCOPE OF WORK IS LIMITED TO GROUND FLOOR UNITS. SECOND AND THIRD FLOOR INTERIOR WORK CONSISTS PRIMARILY OF PATCHING/PAINTING AS REQUIRED FOR NEW DUCT WORK, WINDOW REPLACEMENT, NEW FIRE SPRINKLERS (3-STORY BUILDINGS), ETC.
 - D. REFER TO EXTERIOR FINISH SCHEDULES FOR FINISH MATERIALS, COLORS, AND TEXTURES.
 - E. EXISTING DIMENSIONS SHOWN ARE FOR REFERENCE ONLY AND MUST BE VERIFIED IN FIELD.
 - F. ALL BUILDINGS ARE TO RECEIVE NEW GUTTERS AND DOWNSPOUTS. INSTALL DOWNSPOUTS IN SAME LOCATIONS AS EXISTING, UNLESS NOTED OTHERWISE.
 - G. ALL UNITS TO RECEIVE CARBON MONOXIDE DETECTORS.



- FLOOR PLAN KEY NOTES**
- ① EXISTING STAIR ASSEMBLY TO REMAIN
 - ② NEW DECK AND GUARDRAIL ASSEMBLY - REFER TO ENLARGED DECK PLAN SHEETS
 - ③ NEW SLAB-ON-GRADE CONCRETE PATIO
 - ④ EXISTING FIRE EXTINGUISHER AND CABINET. REMOVE, CLEAN, PROTECT AND REINSTALL.
 - ⑤ EXISTING BUILDING POWER, VOICE, DATA AND CABLE
 - ⑥ TV, APPURTENANCES TO BE INTEGRATED INTO BUILDING ENCLOSURE.
 - ⑦ RAIN DRAIN BOOT AND DOWNSPOUT TO BE RELOCATED
 - ⑧ CRAWL SPACE VENT FAN
 - ⑨ EXISTING CONCRETE TO REMAIN
 - ⑩ 20"x30" ATTIC ACCESS HATCH ABOVE. SEE DETAIL 5/A5.18



- ROOF PLAN KEY NOTES**
- ⑪ ROOFING ASSEMBLY - REMOVE EXISTING AND PROVIDE NEW ROOFING AND UNDERLayment
 - ⑫ NEW METAL GUTTER
 - ⑬ MECHANICAL EXHAUST PENETRATION - SEAL AND INSULATE ALL DUCTS
 - ⑭ LOW PROFILE CAP VENT
 - ⑮ NEW DECK ASSEMBLY BELOW
 - ⑯ NOT ALL ROOF PENETRATIONS SHOWN. CONTRACTOR TO VERIFY EXISTING MECHANICAL AND PLUMBING VENTS AND TERMINATE ABOVE FINISHED ROOFING WITH APPROVED CAP VENT DUCT TERMINATION OR PIPE VENT FLASHING - TYP.

1 BUILDING 09 - ROOF PLAN

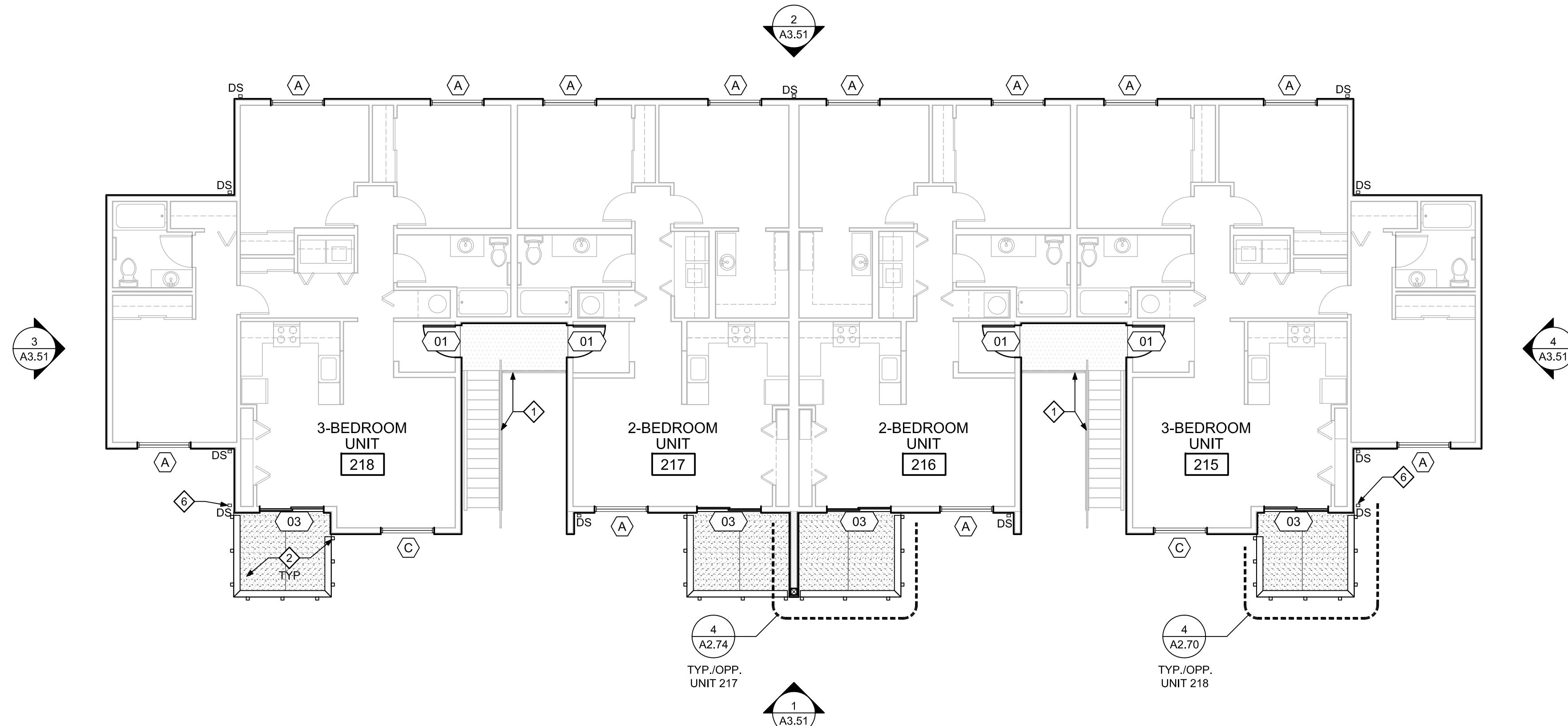
SCALE: 1/8" = 1'-0"



CARLETON HART ARCHITECTURE
32 NW 8th Avenue Portland, Oregon 97209 | carletonhart.com

PARKWAY VILLAGE : WEST
APARTMENT REHABILITATION
SALEM HOUSING AUTHORITY

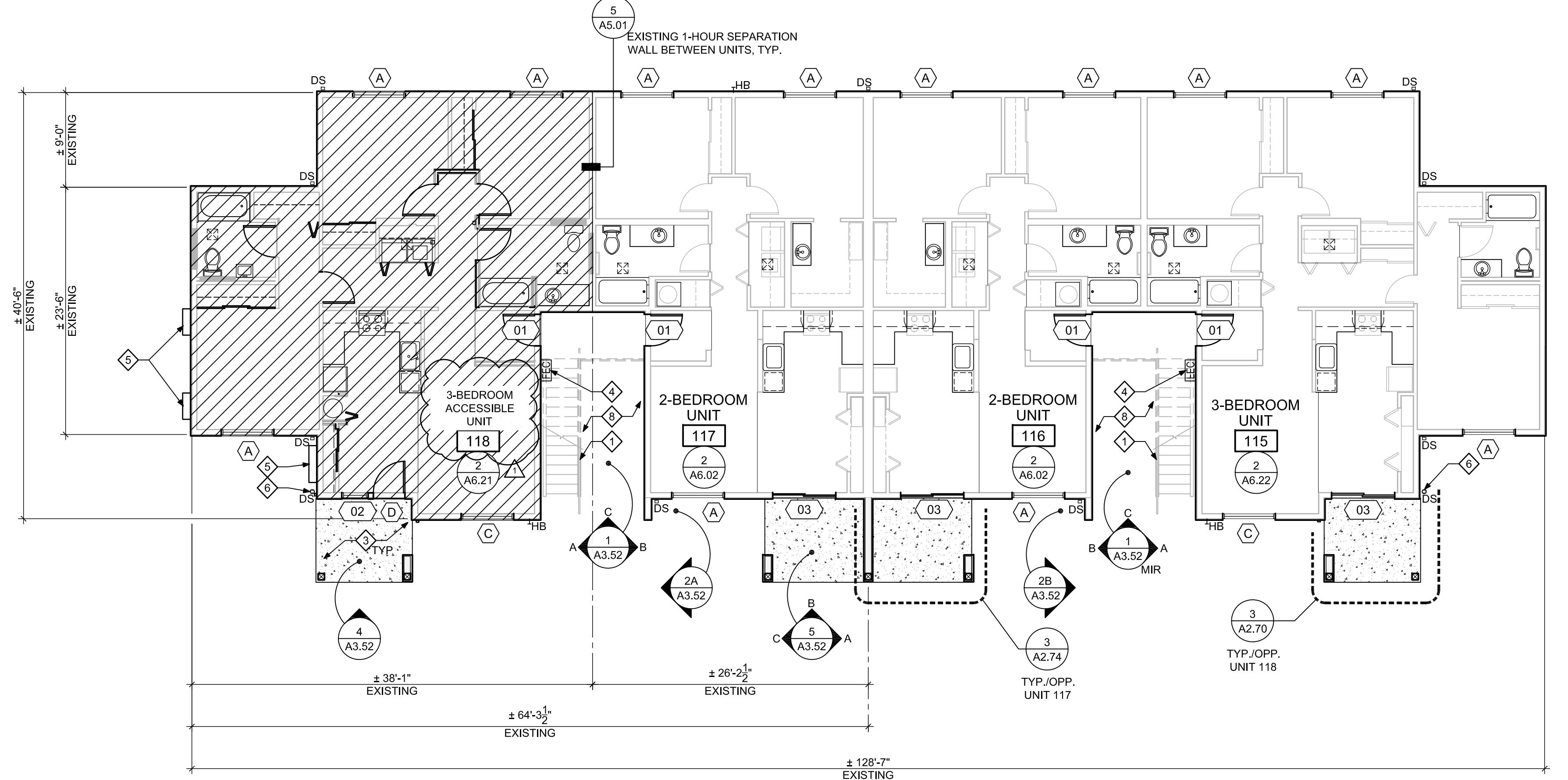
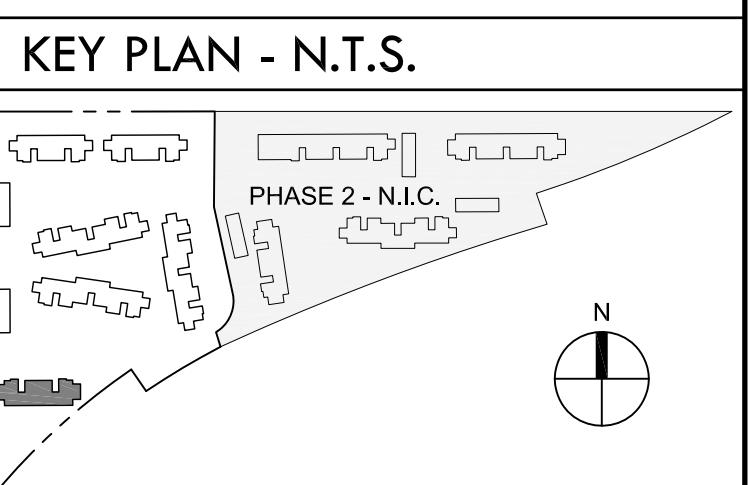
PERMIT REVIEW / BID SET



GENERAL PLAN NOTES	
A.	ANY OBSERVED, KNOWN, OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON SUCH FORM AS REQUIRED BY THE CONTRACT DOCUMENTS.
B.	REFER TO ENLARGED PLANS FOR DETAILED SCOPE OF INTERIOR WORK.
C.	PRIMARY INTERIOR SCOPE OF WORK IS LIMITED TO GROUND FLOOR UNITS. SECOND AND THIRD FLOOR INTERIOR WORK CONSISTS PRIMARILY OF PATCHING/PAINTING AS REQUIRED FOR NEW DUCT WORK, WINDOW REPLACEMENT, NEW FIRE SPRINKLERS (3-STORY BUILDINGS), ETC.
D.	REFER TO EXTERIOR FINISH SCHEDULES FOR FINISH MATERIALS, COLORS, AND TEXTURES.
E.	EXISTING DIMENSIONS SHOWN ARE FOR REFERENCE ONLY AND MUST BE VERIFIED IN FIELD.
F.	ALL BUILDINGS ARE TO RECEIVE NEW GUTTERS AND DOWNSPOUTS. INSTALL DOWNSPOUTS IN SAME LOCATIONS AS EXISTING, UNLESS NOTED OTHERWISE.
G.	ALL UNITS TO RECEIVE CARBON MONOXIDE DETECTORS.

FLOOR PLAN LEGEND	
	CONCRETE SLAB-ON-GRADE
	ELEVATED FRAMED DECK WITH PRECAST CONCRETE DECKING
	ACCESSIBLE UNIT
^o DS	APPROXIMATE DOWNSPOUT LOCATION
⁴ HB	APPROXIMATE EXISTING HOSE BIB LOCATION - INSTALL NEW FROST FREE HOSE BIB

FLOOR PLAN KEY NOTES	
①	EXISTING STAIR ASSEMBLY TO REMAIN
②	NEW DECK AND GUARDRAIL ASSEMBLY - REFER TO ENLARGED DECK PLAN SHEETS
③	NEW SLAB-ON-GRADE CONCRETE PATIO
④	EXISTING FIRE EXTINGUISHER AND CABINET. REMOVE, CLEAN, PROTECT AND REINSTALL.
⑤	EXISTING BUILDING POWER, VOICE, DATA AND CABLE
⑥	TV. APPURTENANCES TO BE INTEGRATED INTO BUILDING ENCLOSURE.
⑦	RAIN DRAIN BOOT AND DOWNSPOUT TO BE RELOCATED
⑧	CRAWL SPACE VENT FAN
⑨	EXISTING CONCRETE TO REMAIN
⑩	20'x30' ATTIC ACCESS HATCH ABOVE. SEE DETAIL 5/A5.1.8





CARLETON HART ARCHITECTURE
32 nw 8th avenue portland, oregon 97209 | carletonhart.com

PARKWAY VILLAGE : WEST
APARTMENT REHABILITATION
SALEM HOUSING AUTHORITY

PERMIT REVIEW / BID SET

FLOOR & ROOF PLANS
GARAGE

PROJ NO.
21345
01.21.14

△

02.06.14 ADDENDUM #1

A2.61

GENERAL PLAN NOTES	
A.	ANY OBSERVED, KNOWN, OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON SUCH FORM AS REQUIRED BY THE CONTRACT DOCUMENTS.
B.	REFER TO EXTERIOR FINISH SCHEDULES FOR FINISH MATERIALS, COLORS, AND TEXTURES.
C.	EXISTING DIMENSIONS SHOWN ARE FOR REFERENCE ONLY AND MUST BE VERIFIED IN FIELD.
D.	ALL BUILDINGS ARE TO RECEIVE NEW GUTTERS AND DOWNSPOUTS. INSTALL DOWNSPOUTS IN SAME LOCATIONS AS EXISTING, UNLESS NOTED OTHERWISE.

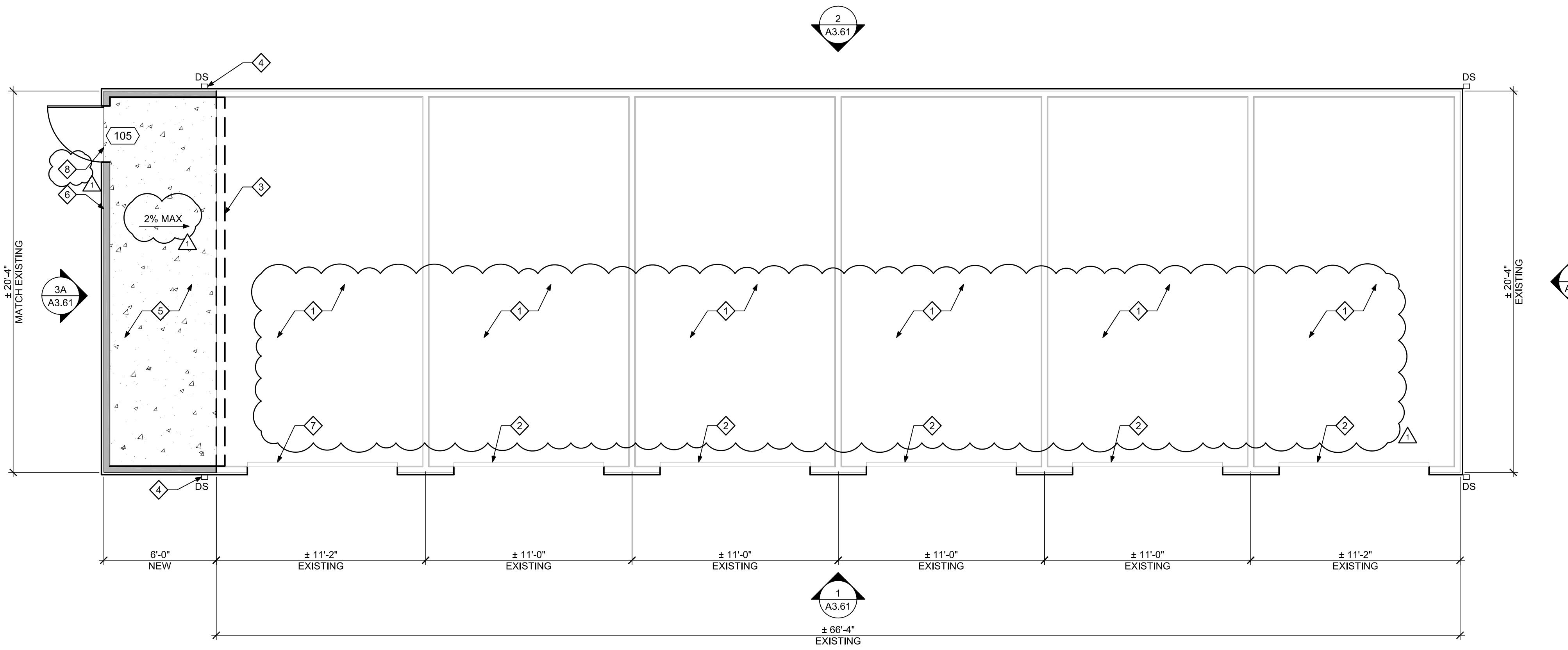
FLOOR PLAN LEGEND	
	CONCRETE SLAB-ON-GRADE
	DS APPROXIMATE DOWNSPOUT LOCATION
	NEW WALL - FULL HEIGHT

FLOOR PLAN KEY NOTES	
	① EXISTING GARAGE STALL
	② EXISTING GARAGE DOOR TO REMAIN
	③ EXISTING WALL TO BE REMOVED
	④ RAIN DRAIN BOOT AND DOWNSPOUT TO BE RELOCATED AT NEW ADDITION ONLY
	⑤ NEW CONCRETE SLAB ON GRADE WITH TURNDOWN FOOTING
	⑥ NEW UNINSULATED WALL
	⑦ EXISTING GARAGE DOOR TO REMAIN, DOOR TO RECEIVE AUTOMATIC OPENER
	⑧ NEW DOOR TO HAVE ACCESSIBLE THRESHOLD

KEY PLAN - N.T.S.	
	N

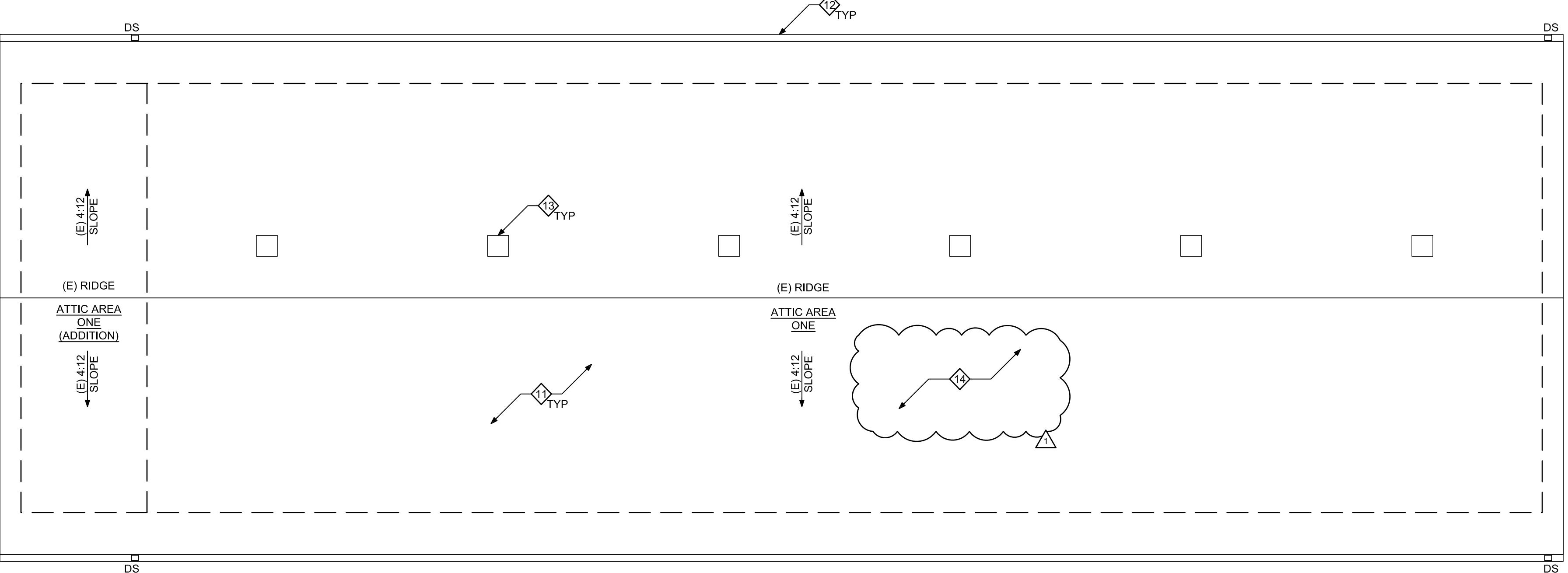
ROOF PLAN LEGEND	
	DASHED LINE INDICATES ITEM BELOW
	DS GUTTER AND APPROXIMATE LOCATION OF DOWNSPOUT

ROOF PLAN KEY NOTES	
	① ROOFING ASSEMBLY
	② NEW METAL GUTTER
	③ STATIC ROOF VENT, INSTALL ONE PER GARAGE BAY, CENTERED, TYP.
	④ NOT ALL ROOF PENETRATIONS SHOWN. CONTRACTOR TO VERIFY EXISTING MECHANICAL AND PLUMBING VENTS AND TERMINATE ABOVE FINISHED ROOFING WITH APPROVED CAP VENT DUCT TERMINATION OR PIPE VENT FLASHER - TYP.



2 GARAGE FLOOR PLAN

SCALE: 1/4" = 1'-0"



1 GARAGE ROOF PLAN

SCALE: 1/4" = 1'-0"

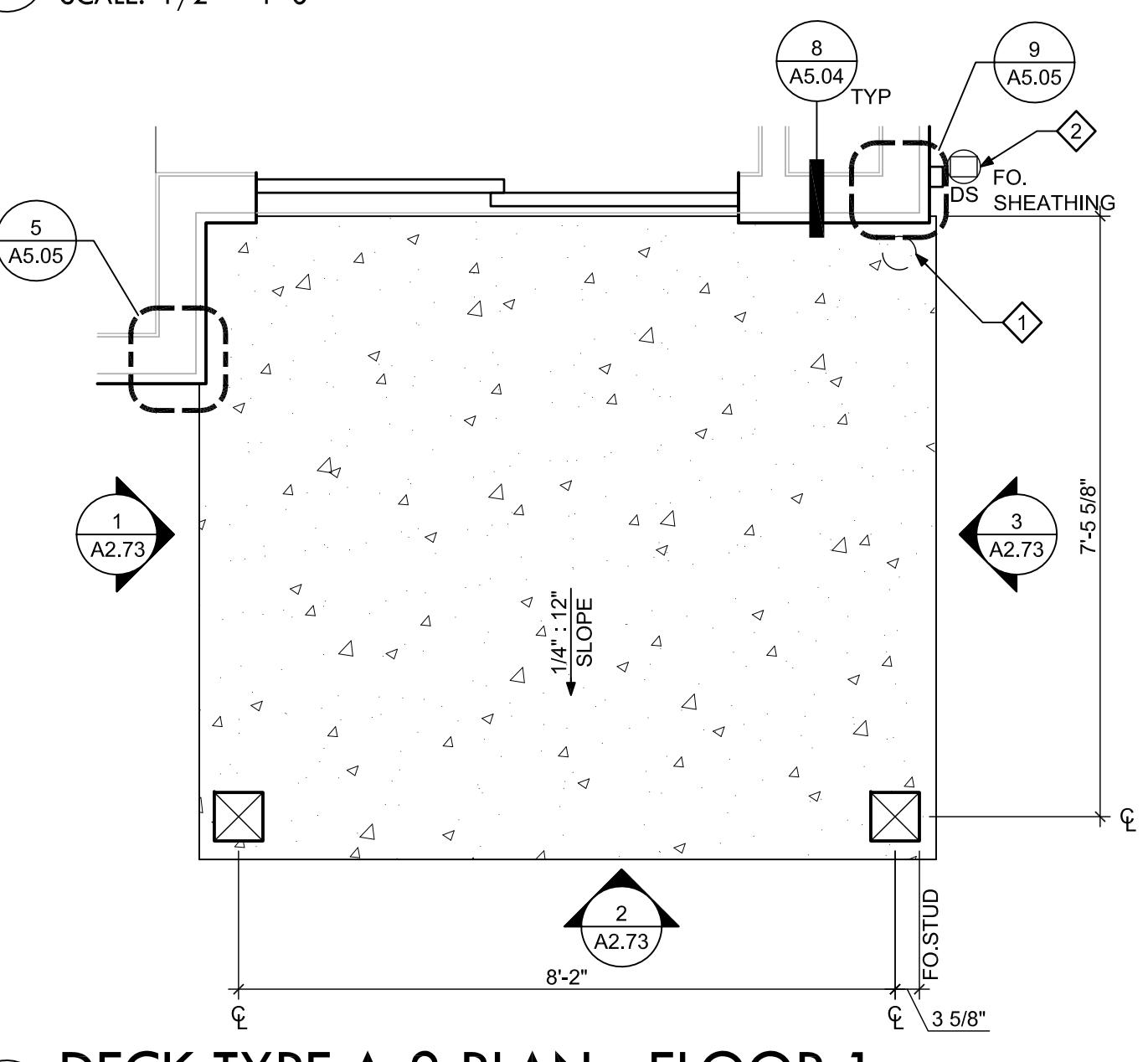
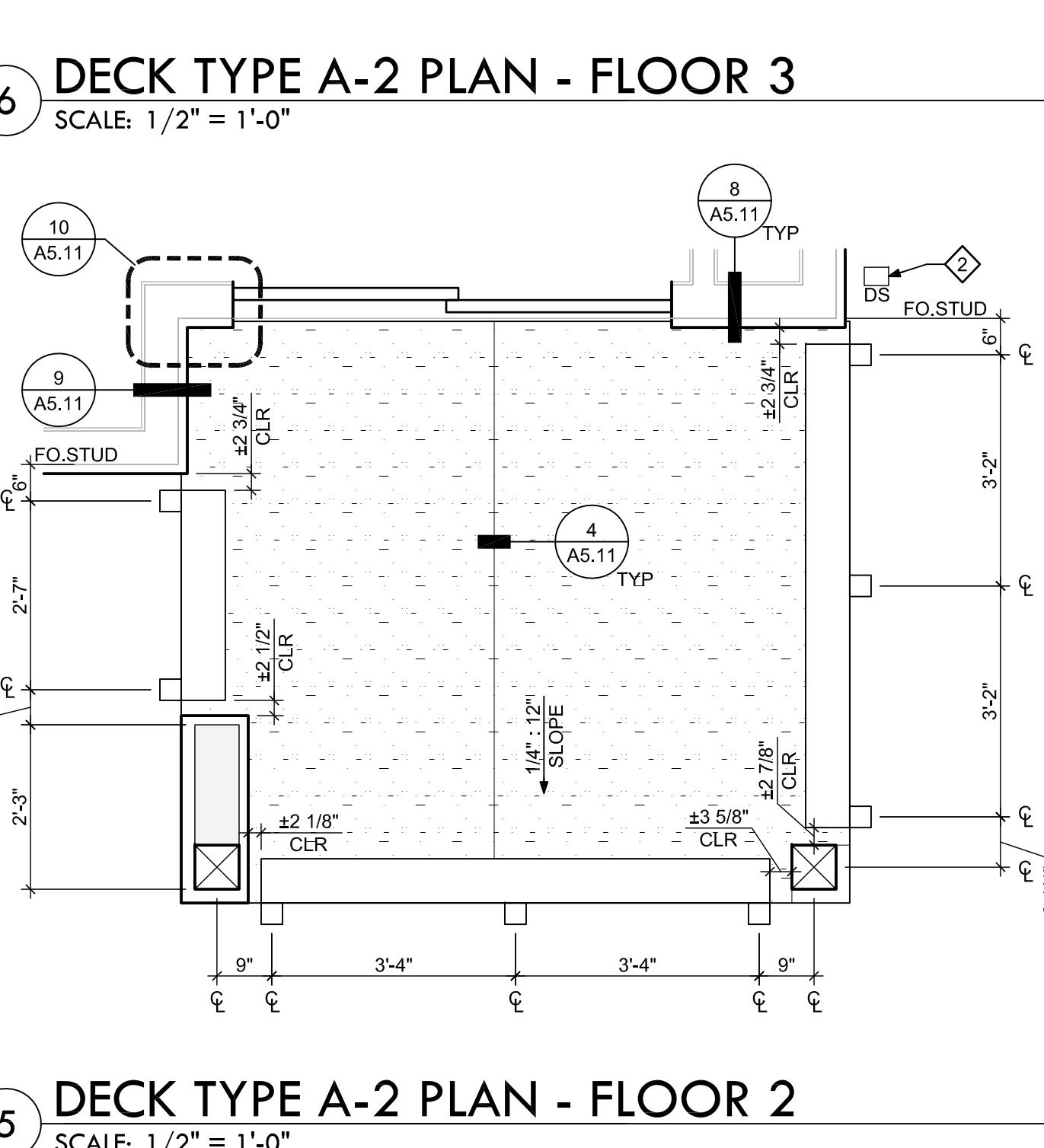
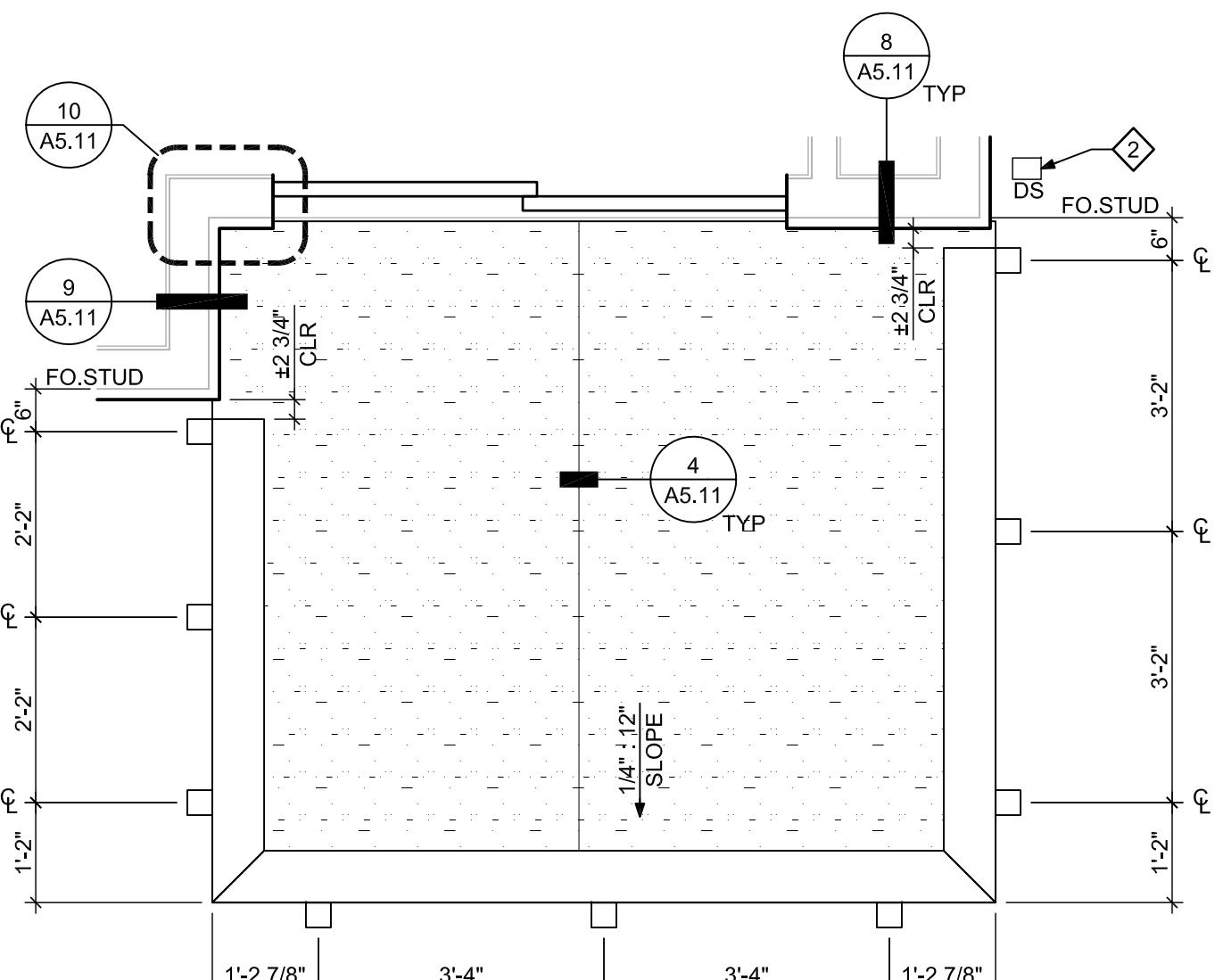
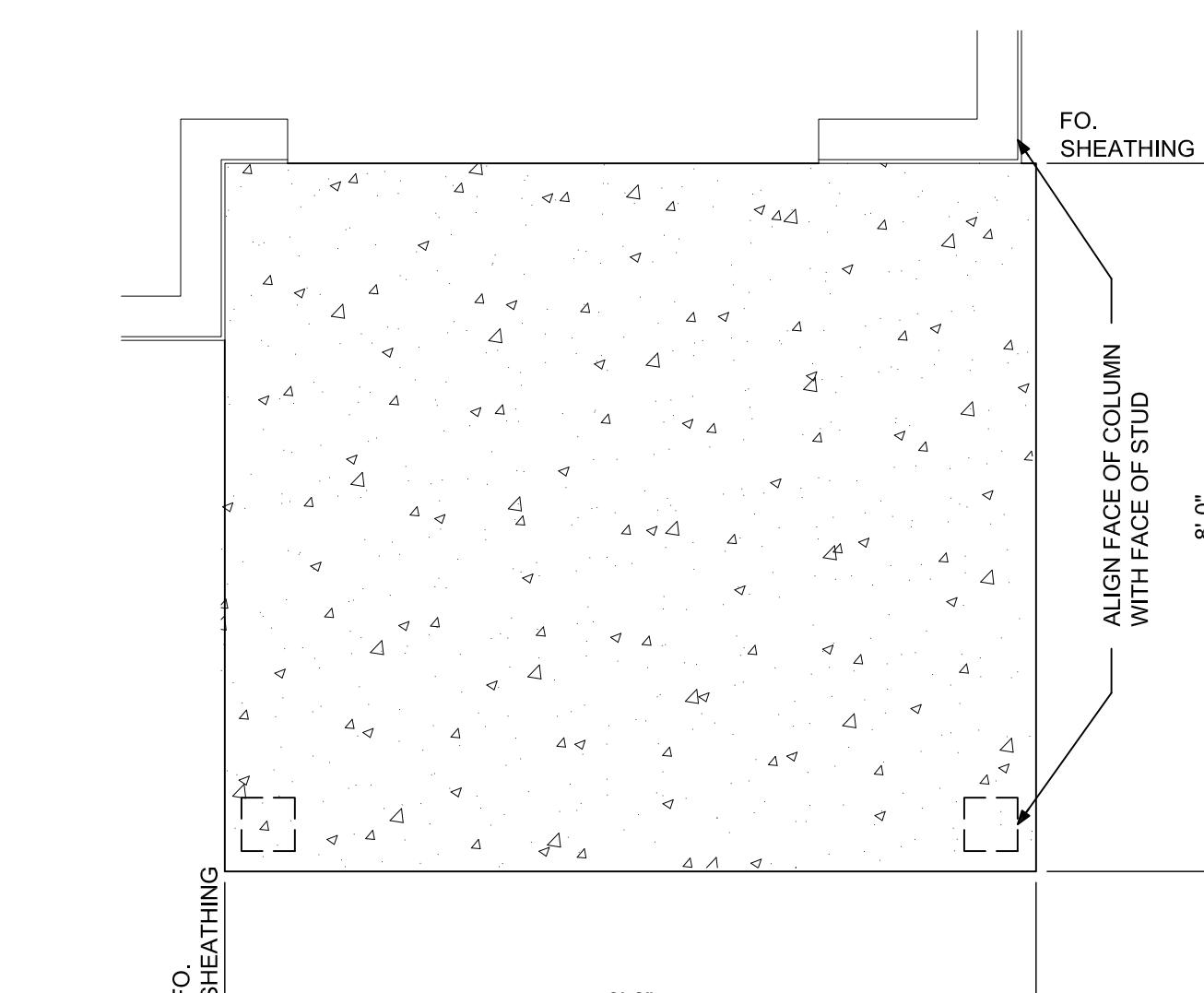
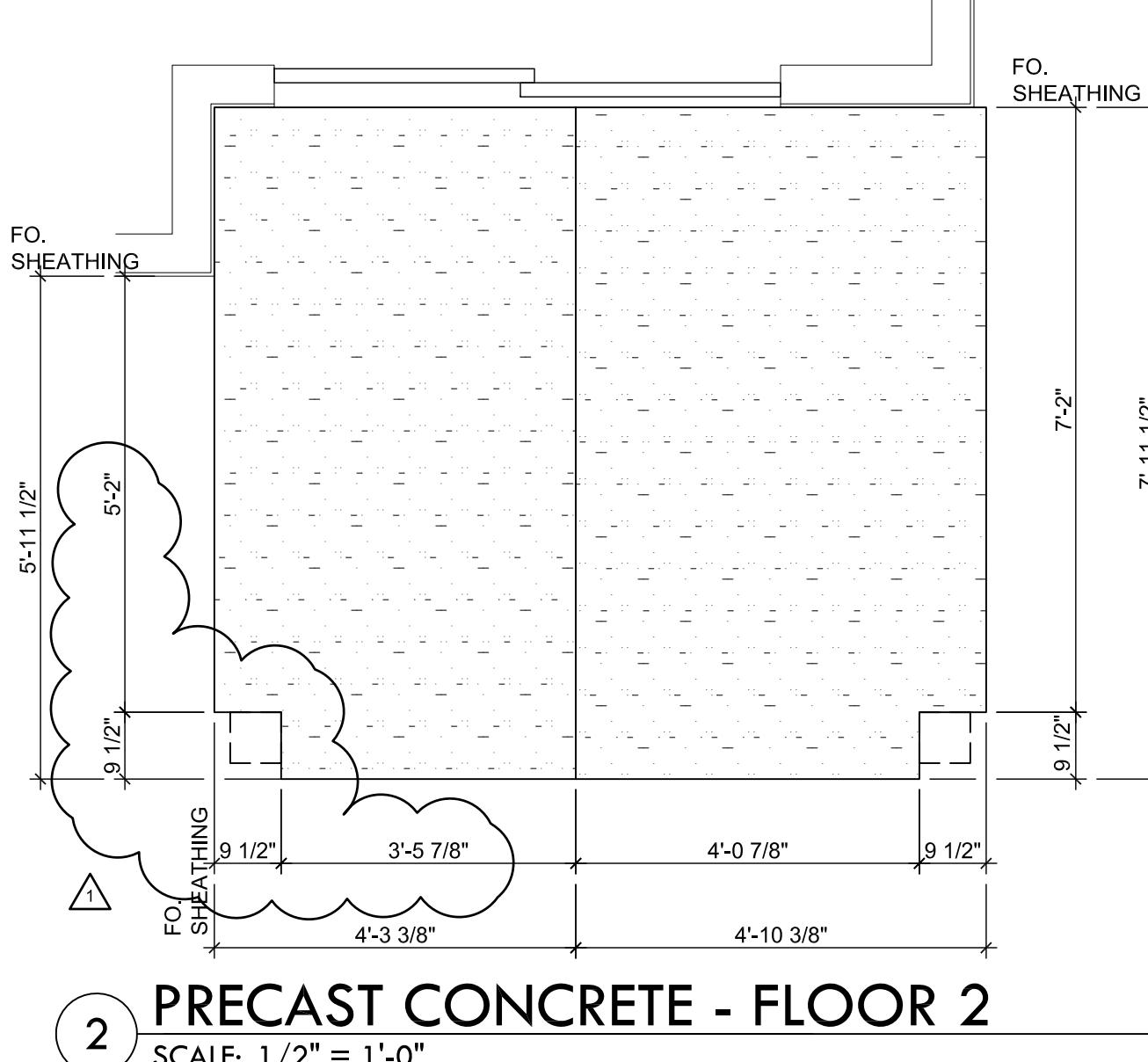
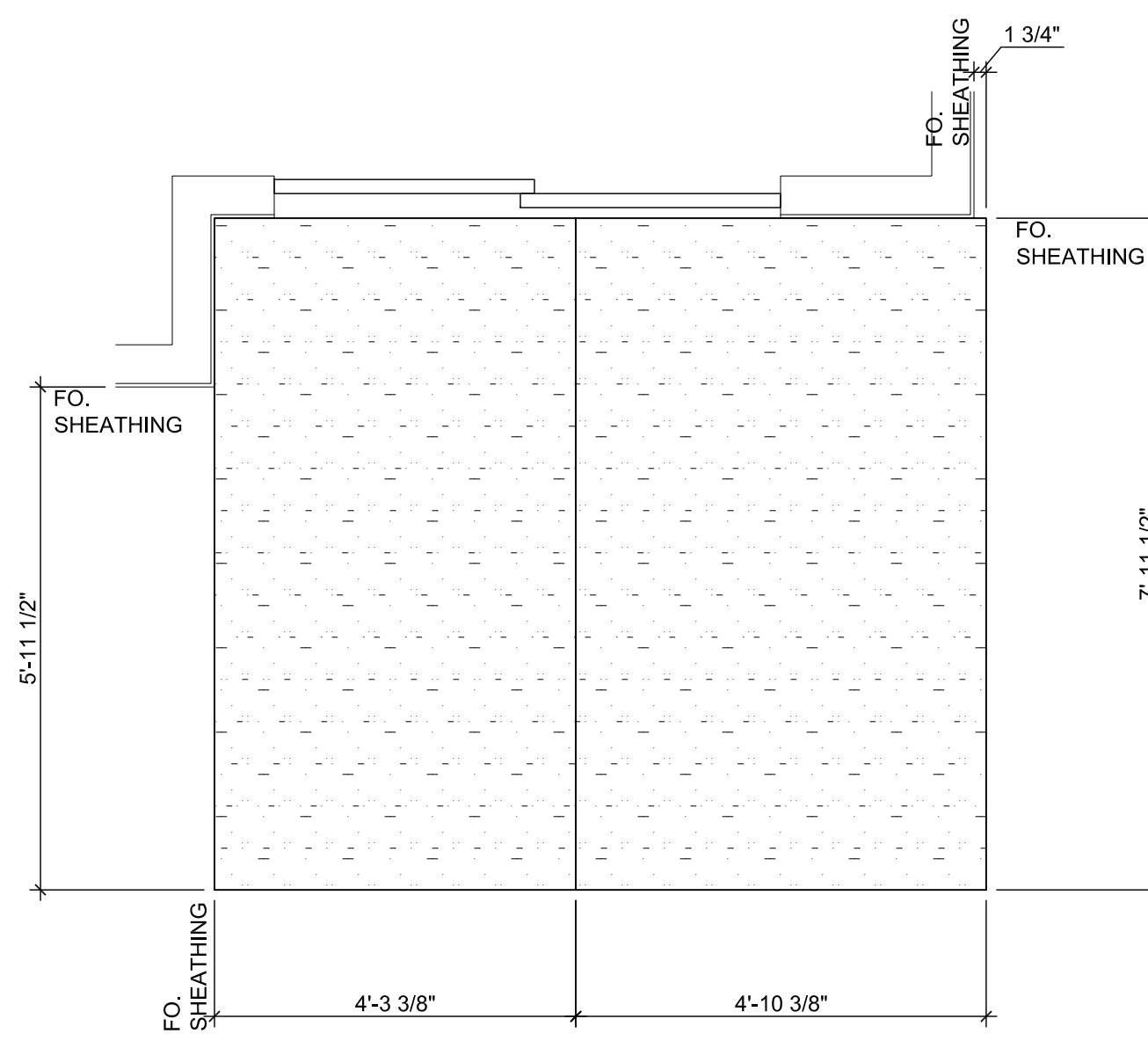


PARKWAY VILLAGE : WEST

APARTMENT REHABILITATION

SALEM HOUSING AUTHORITY

PERMIT REVIEW / BID SET



GENERAL DECK NOTES	
A.	ANY OBSERVED, KNOWN, OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON SUCH FORM AS REQUIRED BY THE CONTRACT DOCUMENTS.
B.	REFER TO SCHEDULES FOR FINISH MATERIALS, COLORS, AND TEXTURES.
C.	DIMENSIONS SHOWN ARE FROM FACE OF EXISTING STUD WALL, UNLESS NOTED OTHERWISE.
D.	ALL BUILDINGS ARE TO RECEIVE NEW GUTTERS AND DOWNSPOUTS. INSTALL DOWNSPOUTS IN SAME LOCATIONS AS EXISTING, UNLESS NOTED OTHERWISE.
E.	REFER TO OVERALL BUILDING PLANS AND ELEVATIONS FOR DOOR TYPE.

DECK PLAN LEGEND	
	CONCRETE SLAB-ON-GRADE
	ELEVATED FRAMED DECK WITH PRECAST CONCRETE DECKING
DS	APPROXIMATE DOWNSPOUT LOCATION
HB	APPROXIMATE HOSE BIB LOCATION

KEY NOTES	
	EXISTING RAIN DRAIN BOOT, TO BE RELOCATED.
	DOWNSPOUT, TYPICAL
	DOWNSPOUT CLEANOUT AT ±3'-0" ABOVE FINISHED GRADE, TYPICAL. SEE [4/A5.07]
	GUARDRAIL TOP CAP
	GUARDRAIL SUPPORT
	PICKET - TYPICAL

EXTERIOR DECK TYPE A-2 PLANS

PROJ NO.
21345

01.21.14

02.06.14 ADDENDUM #1
COPYRIGHT - CARLETON HART ARCHITECTURE DO NOT REPRODUCE WITHOUT PERMISSION

A2.72



CARLETON HART ARCHITECTURE
32 nw 8th avenue portland, oregon 97209 | t 503 243 3261 | carletonhart.com

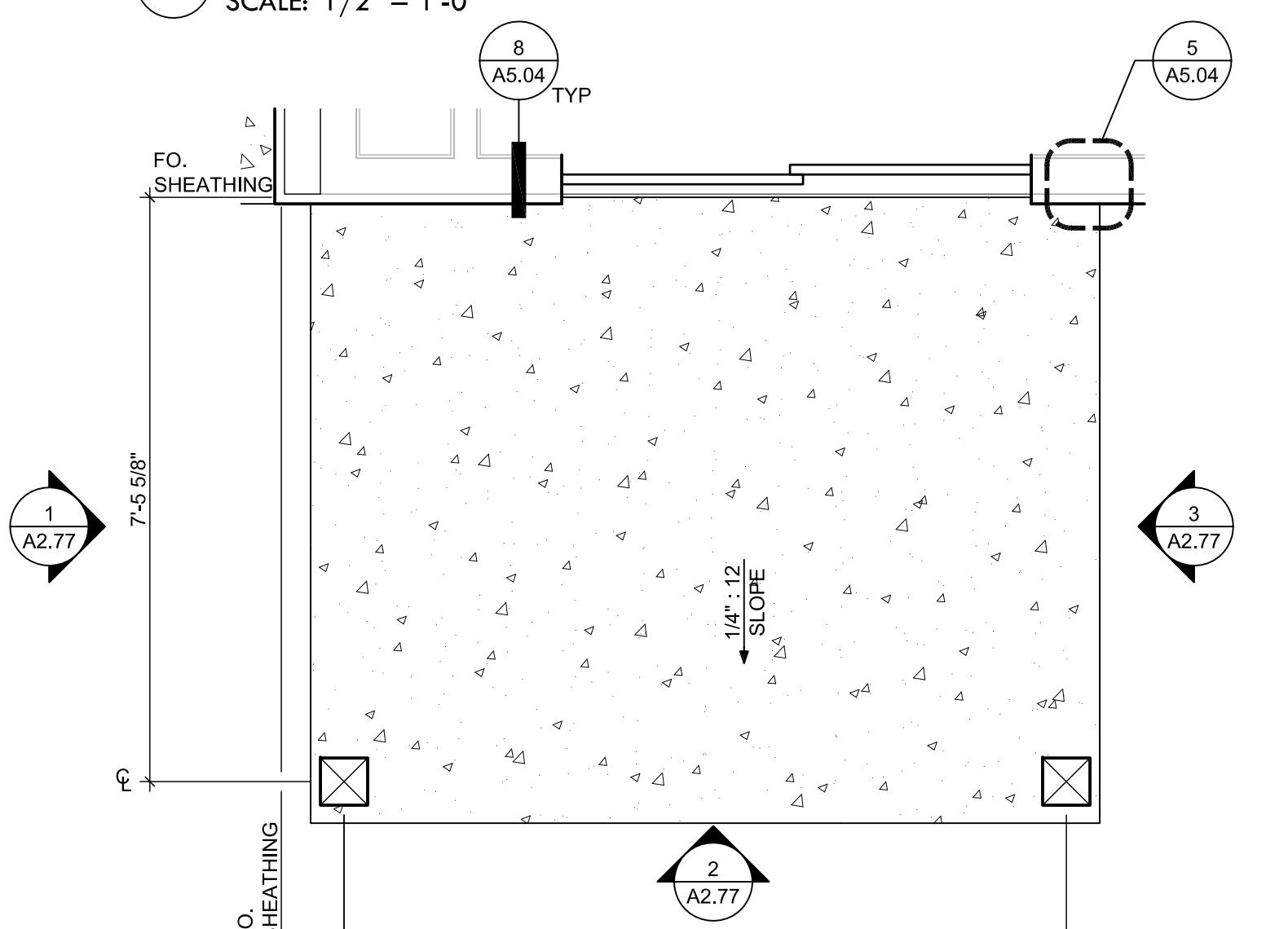
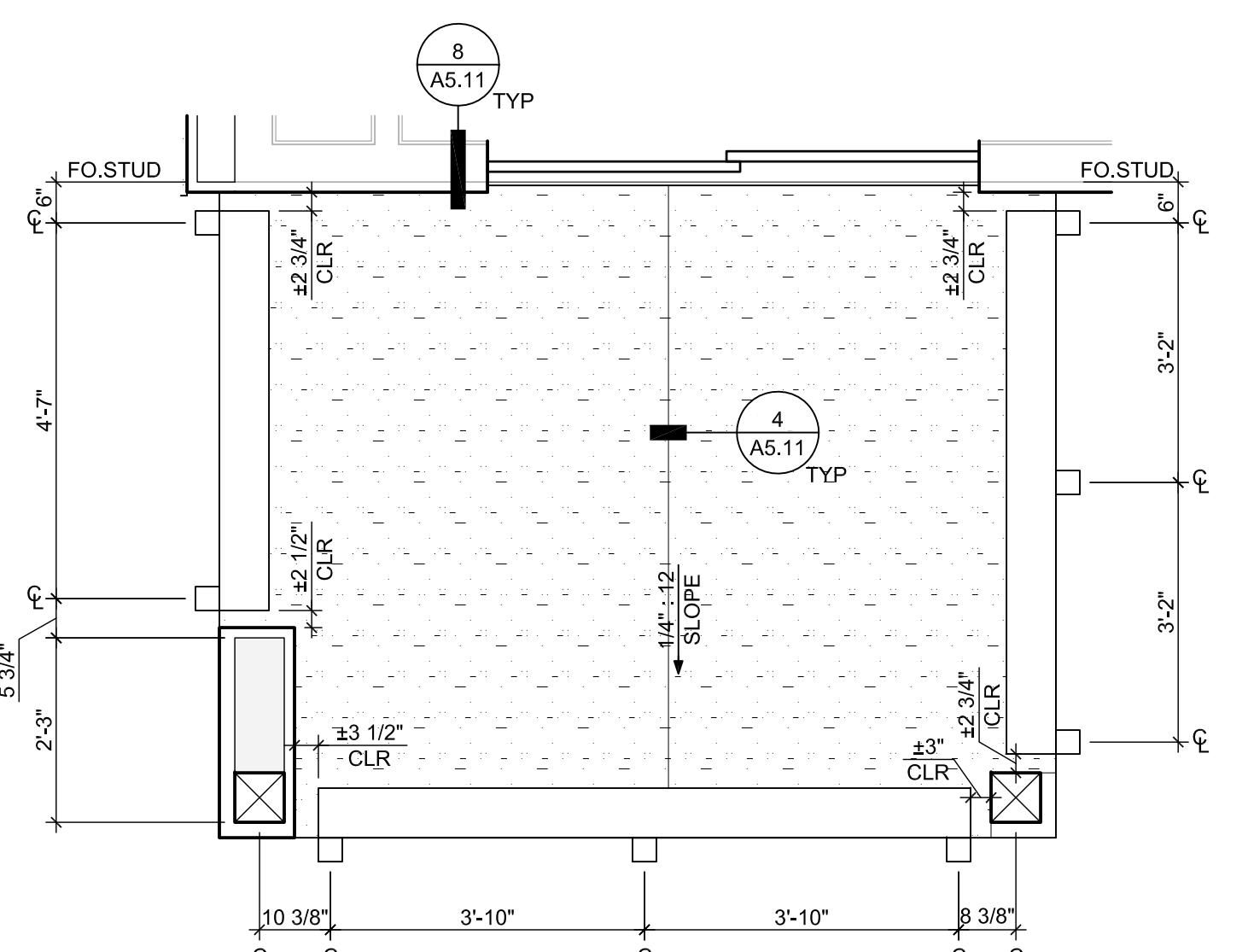
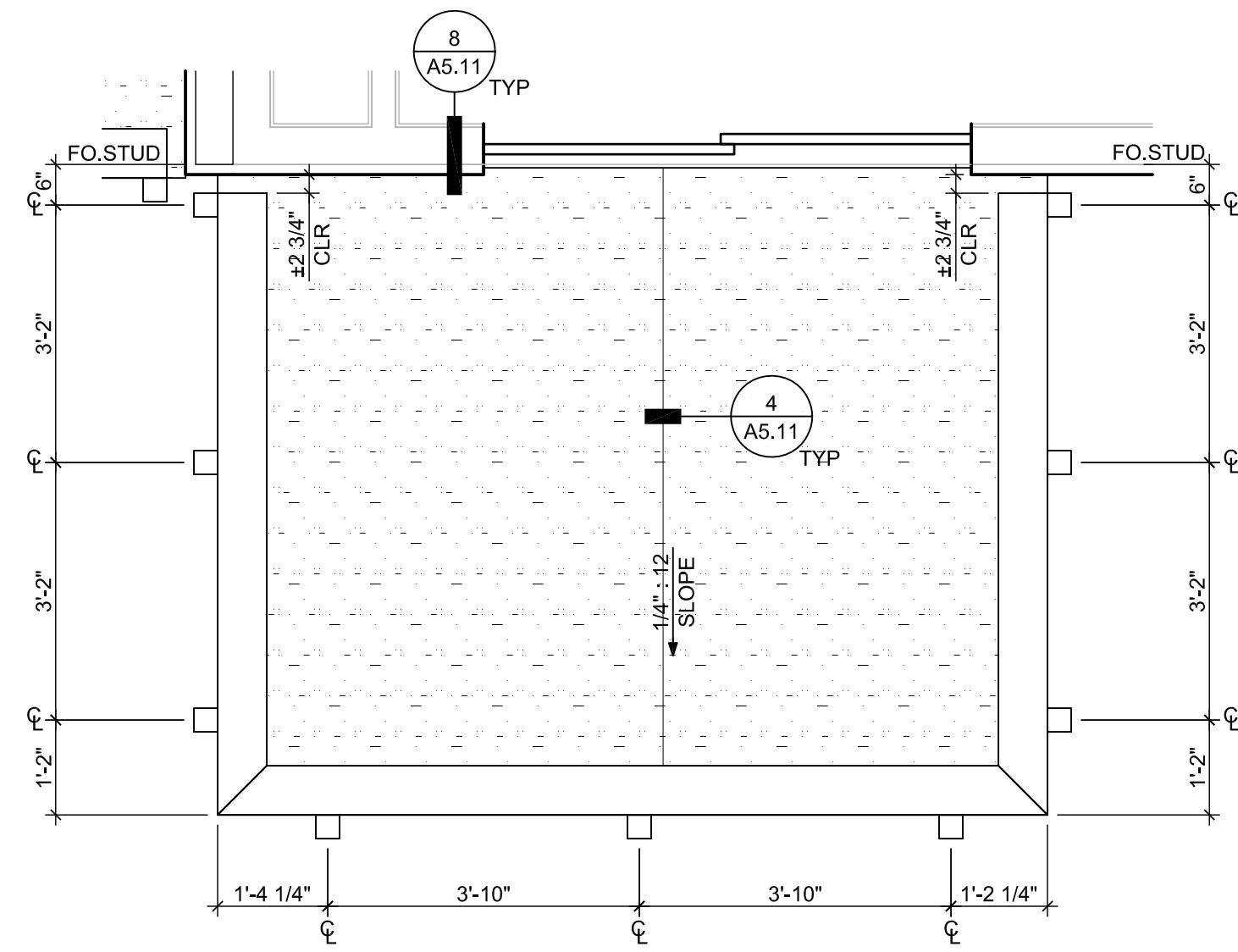
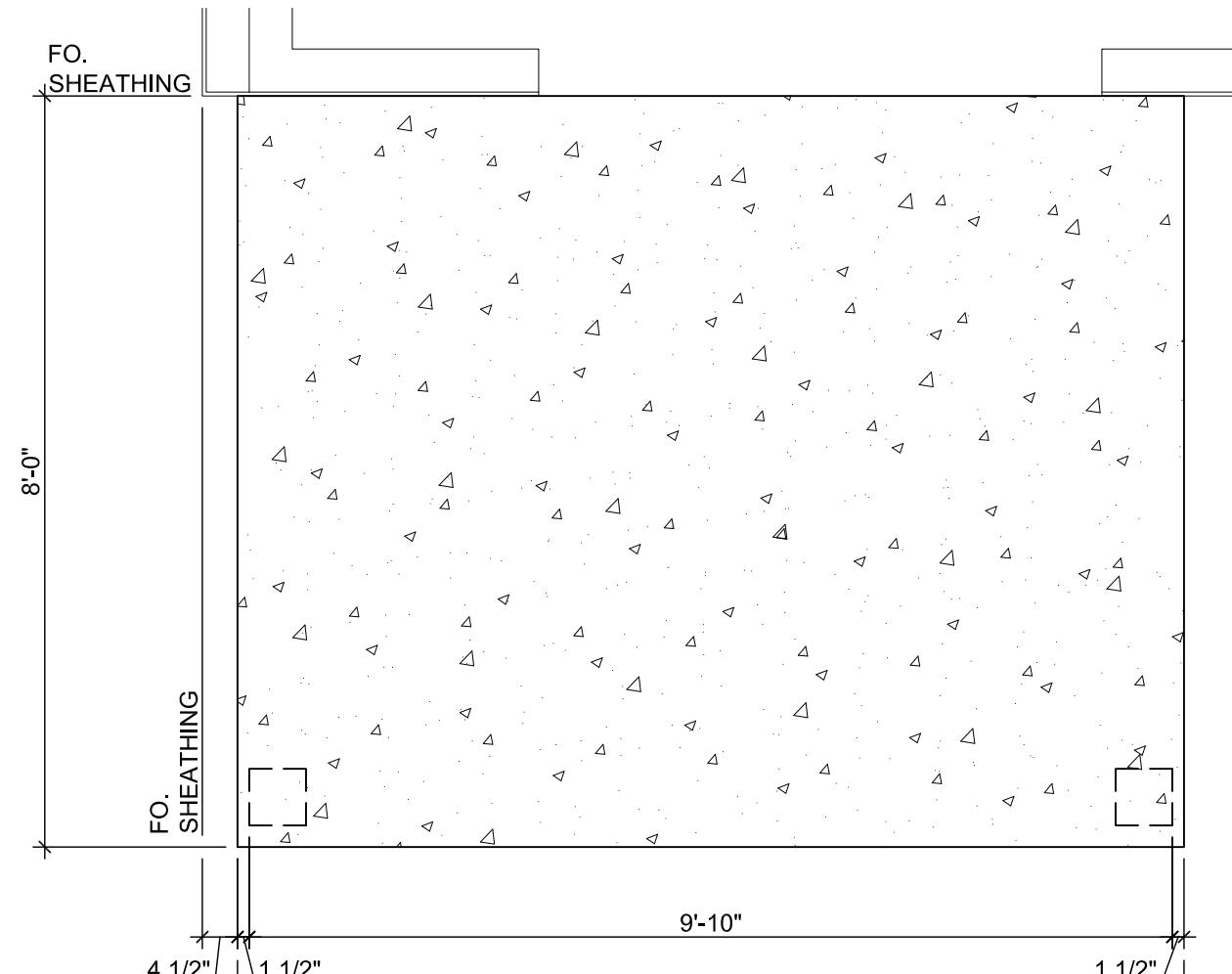
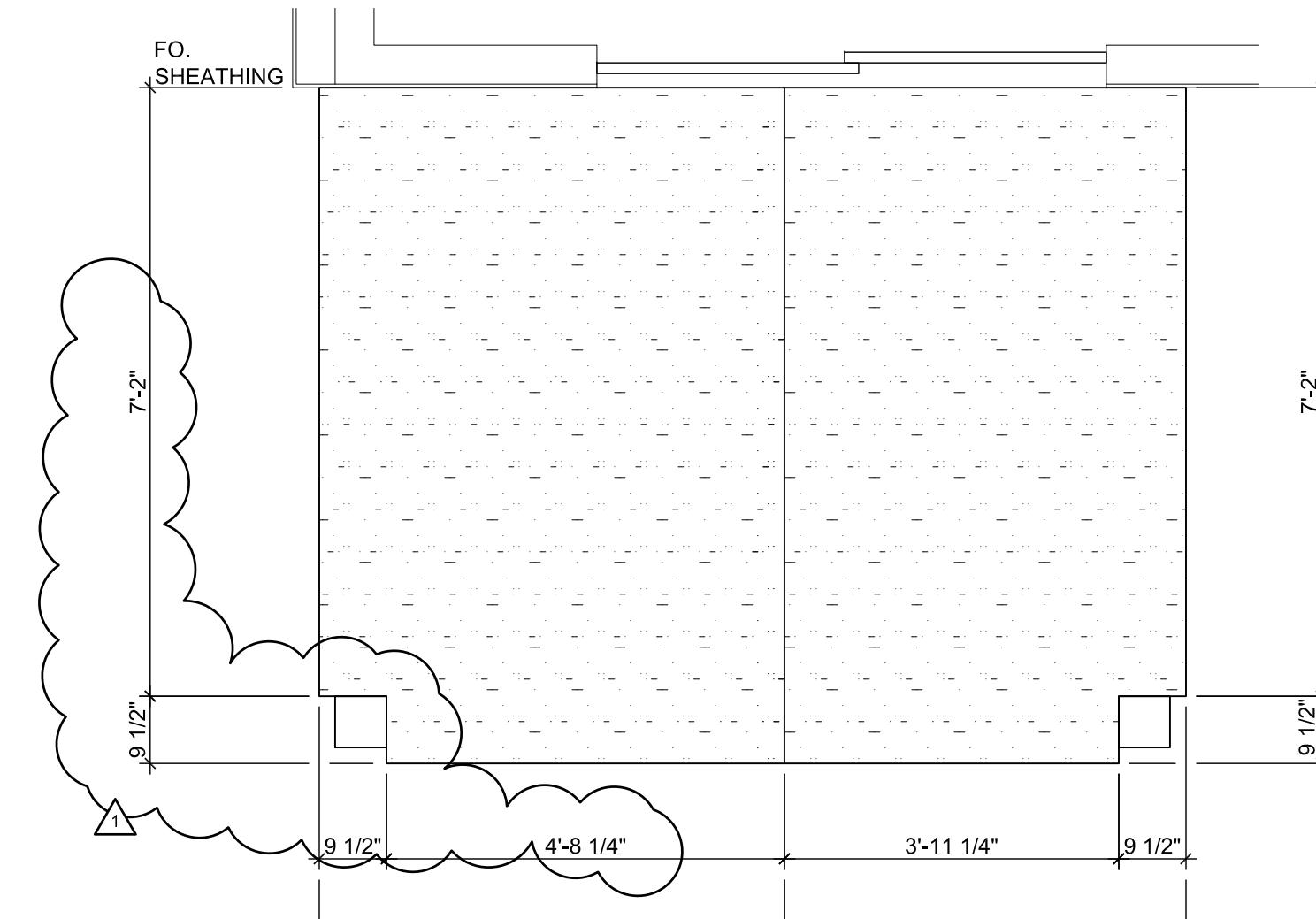
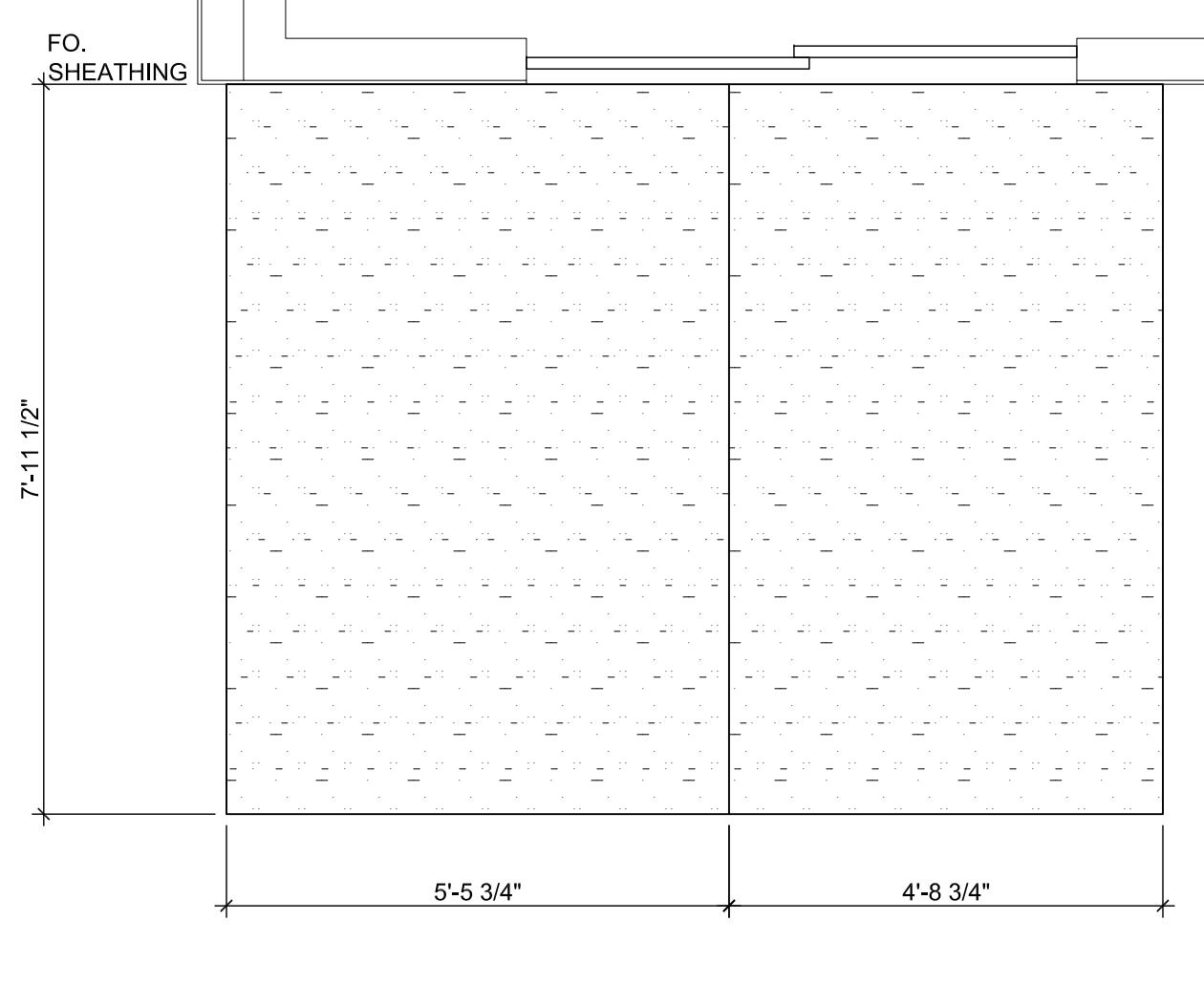
PARKWAY VILLAGE : WEST

APARTMENT REHABILITATION
SALEM HOUSING AUTHORITY

PERMIT REVIEW / BID SET

GENERAL DECK NOTES	
A.	ANY OBSERVED, KNOWN, OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON SUCH FORM AS REQUIRED BY THE CONTRACT DOCUMENTS.
B.	REFER TO SCHEDULES FOR FINISH MATERIALS, COLORS, AND TEXTURES.
C.	DIMENSIONS SHOWN ARE FROM FACE OF EXISTING STUD WALL, UNLESS NOTED OTHERWISE.
D.	ALL BUILDINGS ARE TO RECEIVE NEW GUTTERS AND DOWNSPOUTS. INSTALL DOWNSPOUTS IN SAME LOCATIONS AS EXISTING, UNLESS NOTED OTHERWISE.
E.	REFER TO OVERALL BUILDING PLANS AND ELEVATIONS FOR DOOR TYPE.

DECK PLAN LEGEND	
	CONCRETE SLAB-ON-GRADE
	ELEVATED FRAMED DECK WITH PRECAST CONCRETE DECKING
	DS APPROXIMATE DOWNSPOUT LOCATION
	HB APPROXIMATE HOSE BIB LOCATION



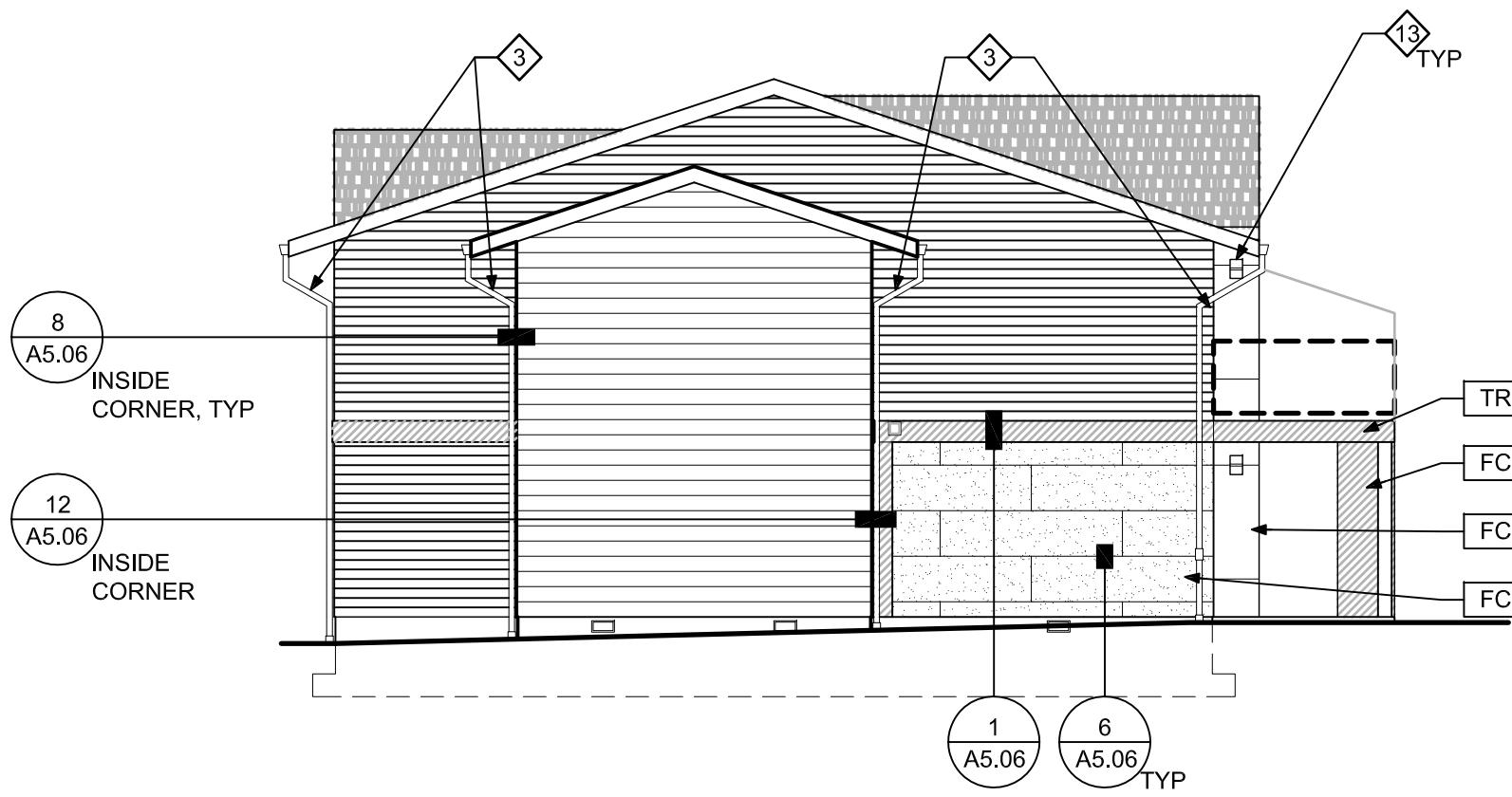
KEY NOTES	
①	EXISTING RAIN DRAIN BOOT. TO BE RELOCATED.
②	DOWNSPOUT, TYPICAL
③	DOWNSPOUT CLEANOUT AT ±3'-0" ABOVE FINISHED GRADE, TYPICAL. SEE 4/A5.07
④	GUARDRAIL TOP CAP
⑤	GUARDRAIL SUPPORT
⑥	PICKET - TYPICAL

EXTERIOR DECK TYPE C-1 PLANS

PROJ NO.
21345

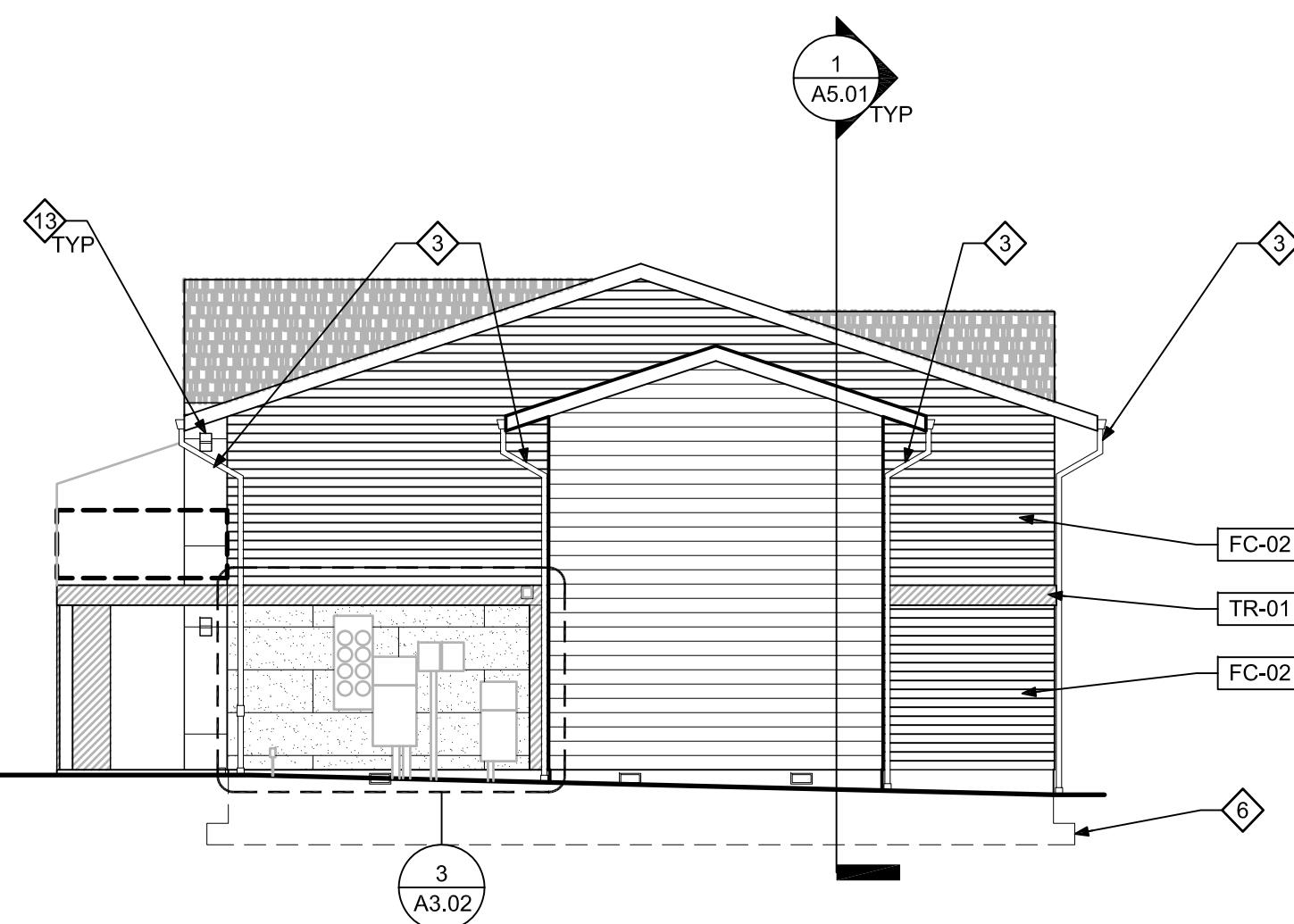
01.21.14

02.06.14 ADDENDUM #1



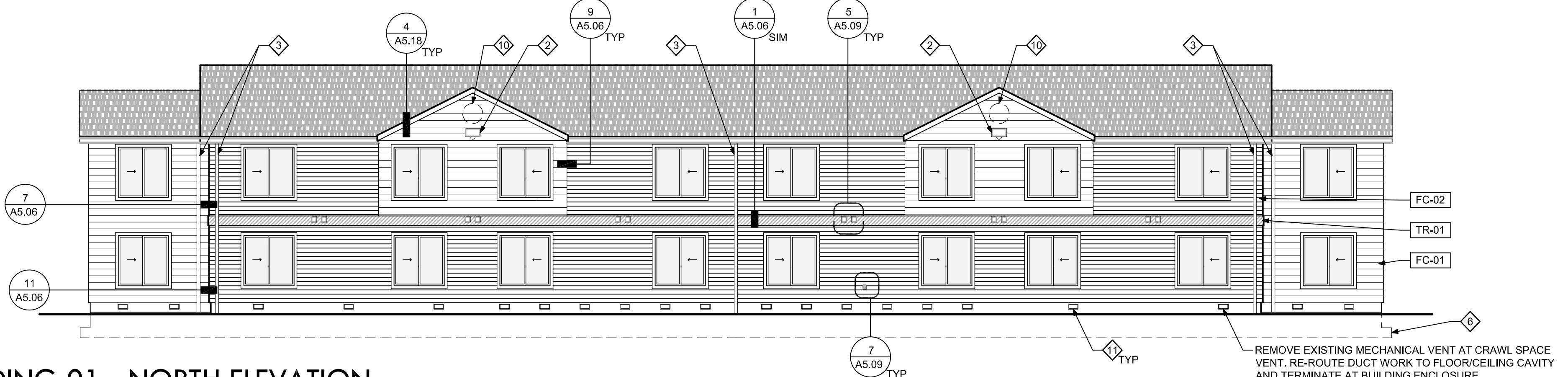
3 BUILDING 01 - WEST ELEVATION

SCALE: 1/8" = 1'-0"



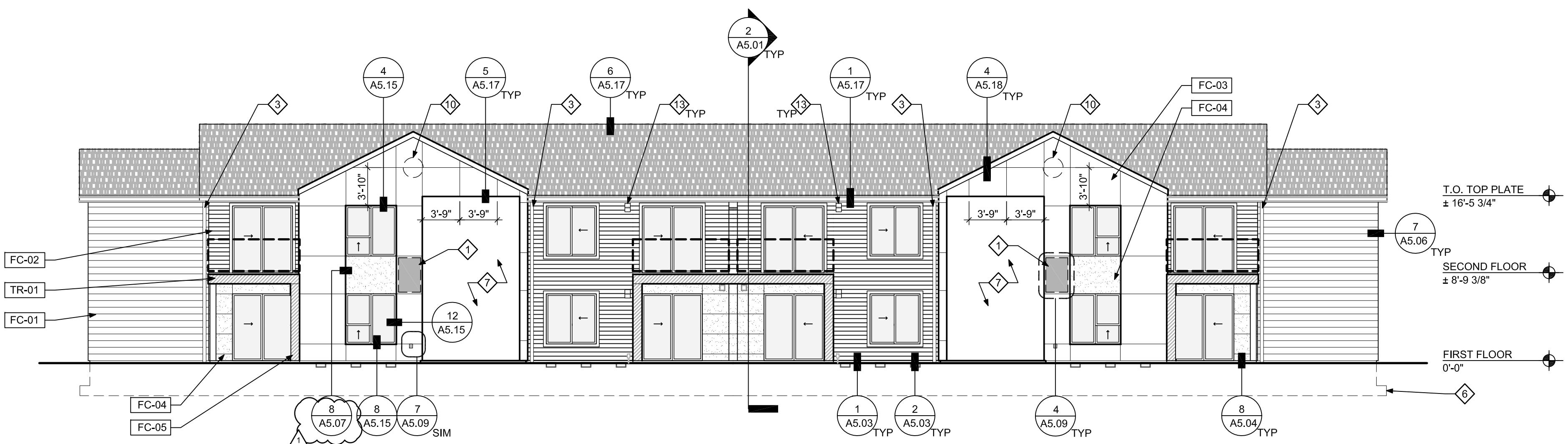
4 BUILDING 01 - EAST ELEVATION

SCALE: 1/8" = 1'-0"



2 BUILDING 01 - NORTH ELEVATION

SCALE: 1/8" = 1'-0"



1 BUILDING 01 - SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

- GENERAL ELEVATION NOTES**
- A. ANY OBSERVED, KNOWN, OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON SUCH FORM AS REQUIRED BY THE CONTRACT DOCUMENTS.
 - B. EXISTING ENTRY STAIR AND GUARDRAIL ASSEMBLIES ARE TO REMAIN IN PLACE. PROTECT DURING CONSTRUCTION.
 - C. REFER TO EXTERIOR FINISH SCHEDULE FOR FINISH MATERIALS, COLORS, AND TEXTURES.
 - D. EXISTING DIMENSIONS SHOWN ARE FOR REFERENCE ONLY AND MUST BE VERIFIED IN FIELD.
 - E. EXISTING VOICE/DATA CABLEING SHALL BE FIELD VERIFIED AND INTEGRATED INTO NEW CLADDING ASSEMBLY TO THE GREATEST EXTENT POSSIBLE.
 - F. NOT ALL APPURTENANCES MAY BE INDICATED. CONTRACTOR TO FIELD VERIFY SIZES, QUANTITIES, LOCATIONS, AND TYPES PRIOR TO COMMENCEMENT OF WORK.
 - G. PAINT ALL APPURTENANCE BLOCKS AND ASSOCIATED METAL FLASHING TO MATCH ADJACENT SIDING.
 - H. PAINT ALL ELECTRICAL EQUIPMENT AND ASSOCIATED MOUNTING PANELS AND METAL FLASHING TO MATCH ADJACENT SIDING. MASK OFF AND PROTECT LATCHES, LOCKS, LABELS, TAGS, VIEW PANELS, ETC.
 - I. PAINT UNDERSIDE OF EAVES AND RAKES TO MATCH ADJACENT SIDING COLOR.
 - J. PAINT ALL METAL VENT COVERS TO MATCH ADJACENT SIDING. PROTECT AND CLEAN OPERABLE PARTS TO ENSURE PROPER FUNCTION.
 - K. GUTTERS AND DOWNSPOUTS TO BE PREFINISHED METAL.
 - L. FASCIA AND BARGE RAFTERS PAINTED TO MATCH GUTTERS AND DOWNSPOUTS.
 - M. INFORMATION WITHIN EXTERIOR ENTRY NOT SHOWN FOR CLARITY ON OVERALL ELEVATION.
 - N. NEW GARAGE EXTENSION AND SIDE DOOR ONLY IN SPECIFIC LOCATIONS. REFER TO SITE PLAN.

EXTERIOR FINISH/MATERIALS LEGEND

FC-01	COLOR: PT-01 LAP, 8" EXPOSURE
FC-02	COLOR: PT-02 LAP, 5" EXPOSURE
FC-03	COLOR: PT-03 PANEL
FC-04	COLOR: PT-04 PANEL
FC-05	COLOR: PT-05 PANEL
TR-01	COLOR: PT-05 NOTE: TR-01 TO BE 12", ALL OTHER TRIM TO BE 4", UON ON ELEVATIONS AND DETAILS.
GLAZED FENESTRATION	
ROOF SYSTEM	
NEW GUARDRAIL SYSTEM SHOWN DASHED FOR CLARITY	

ELEVATION KEY NOTES

- ① APPROXIMATE LOCATION OF BUILDING SIGNAGE
- ② REMOVE AND REINSTALL EXISTING MOUNTED LIGHT
- ③ NEW DOWNSPOUT CONNECTED TO EXISTING STORM SYSTEM, UNLESS NOTED OTHERWISE - REFER TO PLANS
- ④ MECHANICAL PENETRATION AT WALL
- ⑤ FIBER CEMENT TRIM - TYPICAL
- ⑥ APPROXIMATE LINE OF CONCRETE FOOTING/STEM WALL
- ⑦ EXTERIOR ENTRY
- ⑧ EXISTING CONDUIT/WIRING TO BE INTEGRATED INTO BUILDING ENCLOSURE
- ⑨ EXISTING TELEPHONE/CABLE WIRING TO BE INTEGRATED INTO BUILDING ENCLOSURE
- ⑩ EXISTING ROUND LOUVER TO BE REMOVED
- ⑪ EXISTING FOUNDATION VENT TO REMAIN
- ⑫ DOOR NOT SHOWN FOR CLARITY
- ⑬ REMOVE EXISTING LIGHT FIXTURE. INSTALL NEW ENERGY STAR LIGHT FIXTURE IN SAME LOCATION
- ⑭ NEW EXTERIOR ENERGY STAR LIGHT FIXTURE AND LAMP

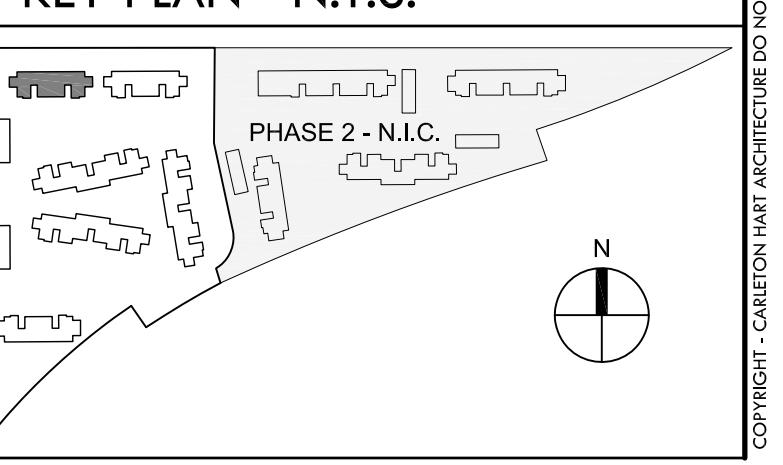
EXTERIOR ELEVATIONS
BUILDING 01

PROJ NO.

01.21.14

02.06.14 ADDENDUM #1

KEY PLAN - N.T.S.



A3.01

GENERAL ELEVATION NOTES

- ANY OBSERVED, KNOWN, OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON SUCH FORM AS REQUIRED BY THE CONTRACT DOCUMENTS.
- EXISTING ENTRY STAIR AND GUARDRAIL ASSEMBLIES ARE TO REMAIN IN PLACE. PROTECT DURING CONSTRUCTION.
- REFER TO EXTERIOR FINISH SCHEDULE FOR FINISH MATERIALS, COLORS, AND TEXTURES.
- EXISTING DIMENSIONS SHOWN ARE FOR REFERENCE ONLY AND MUST BE VERIFIED IN FIELD.
- EXISTING VOICE/DATA CABLEING SHALL BE FIELD VERIFIED AND INTEGRATED INTO NEW CLADDING ASSEMBLY TO THE GREATEST EXTENT POSSIBLE.
- NOT ALL APPURTENANCES MAY BE INDICATED. CONTRACTOR TO FIELD VERIFY SIZES, QUANTITIES, LOCATIONS, AND TYPES PRIOR TO COMMENCEMENT OF WORK.
- PAINT ALL APPURTENANCE BLOCKS AND ASSOCIATED METAL FLASHING TO MATCH ADJACENT SIDING.
- PAINT ALL ELECTRICAL EQUIPMENT AND ASSOCIATED MOUNTING PANELS AND METAL FLASHING TO MATCH ADJACENT SIDING. MASK OFF AND PROTECT LATCHES, LOCKS, LABELS, TAGS, VIEW PANELS, ETC.
- PAINT UNDERSIDE OF EAVES AND RAKES TO MATCH ADJACENT SIDING COLOR.
- PAINT ALL METAL VENT COVERS TO MATCH ADJACENT SIDING. PROTECT AND CLEAN OPERABLE PARTS TO ENSURE PROPER FUNCTION.
- GUTTERS AND DOWNSPOUTS TO BE PREFINISHED METAL.
- FASCIA AND BARGE RAFTERS PAINTED TO MATCH GUTTERS AND DOWNSPOUTS.
- INFORMATION WITHIN EXTERIOR ENTRY NOT SHOWN FOR CLARITY ON OVERALL ELEVATION.
- NEW GARAGE EXTENSION AND SIDE DOOR ONLY IN SPECIFIC LOCATIONS. REFER TO SITE PLAN.

EXTERIOR FINISH/MATERIALS LEGEND

	FC-01 COLOR: PT-01 LAP, 8" EXPOSURE
	FC-02 COLOR: PT-02 LAP, 5" EXPOSURE
	FC-03 COLOR: PT-03 PANEL
	FC-04 COLOR: PT-04 PANEL
	FC-05 COLOR: PT-05 PANEL
	TR-01 COLOR: PT-05 NOTE: TR-01 TO BE 12", ALL OTHER TRIM TO BE 4", UON ON ELEVATIONS AND DETAILS.
	GLAZED FENESTRATION
	ROOF SYSTEM
	NEW GUARDRAIL SYSTEM SHOWN DASHED FOR CLARITY

ELEVATION KEY NOTES

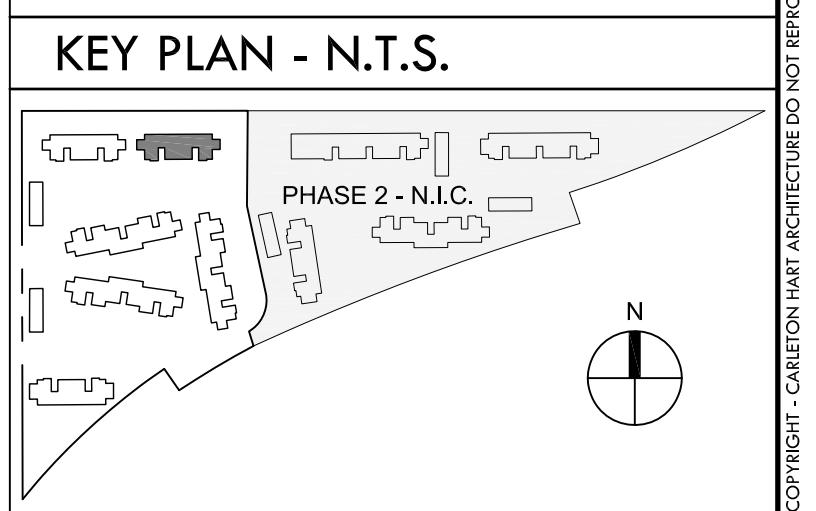
- ① APPROXIMATE LOCATION OF BUILDING SIGNAGE
- ② REMOVE AND REINSTALL EXISTING MOUNTED LIGHT
- ③ NEW DOWNSPOUT CONNECTED TO EXISTING STORM SYSTEM, UNLESS NOTED OTHERWISE - REFER TO PLANS
- ④ MECHANICAL PENETRATION AT WALL
- ⑤ FIBER CEMENT TRIM - TYPICAL
- ⑥ APPROXIMATE LINE OF CONCRETE FOOTING/STEM WALL
- ⑦ EXTERIOR ENTRY
- ⑧ EXISTING CONDUIT/WIRING TO BE INTEGRATED INTO BUILDING ENCLOSURE
- ⑨ EXISTING TELEPHONE/CABLE WIRING TO BE INTEGRATED INTO BUILDING ENCLOSURE
- ⑩ EXISTING ROUND LOUVER TO BE REMOVED
- ⑪ EXISTING FOUNDATION VENT TO REMAIN
- ⑫ DOOR NOT SHOWN FOR CLARITY
- ⑬ REMOVE EXISTING LIGHT FIXTURE. INSTALL NEW ENERGY STAR LIGHT FIXTURE IN SAME LOCATION
- ⑭ NEW EXTERIOR ENERGY STAR LIGHT FIXTURE AND LAMP

EXTERIOR ELEVATIONS
BUILDING 02

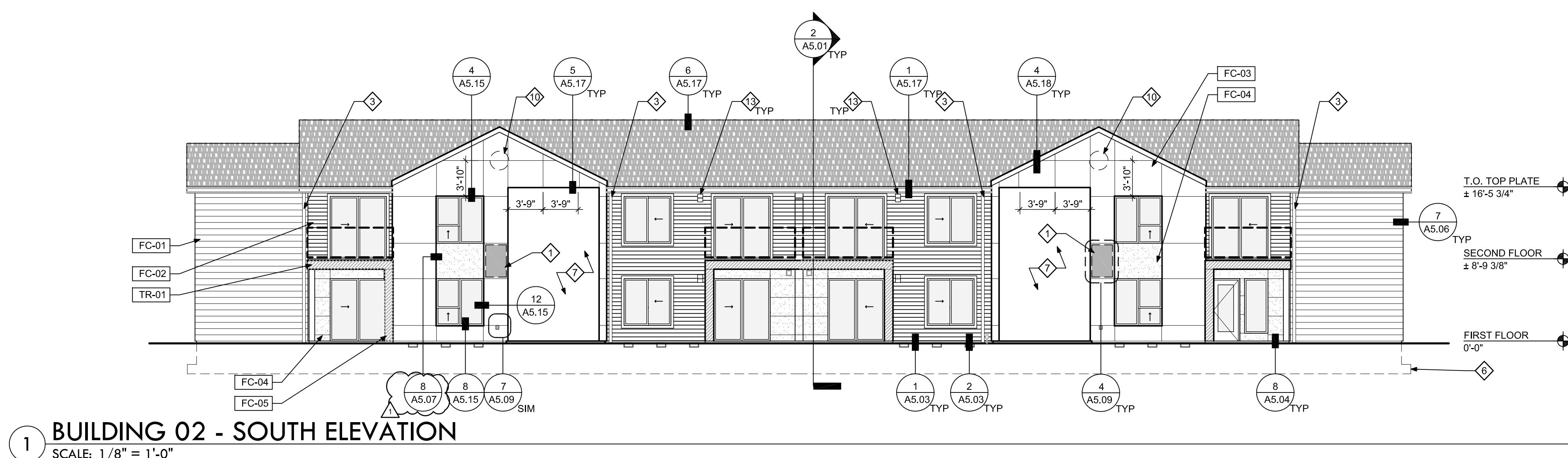
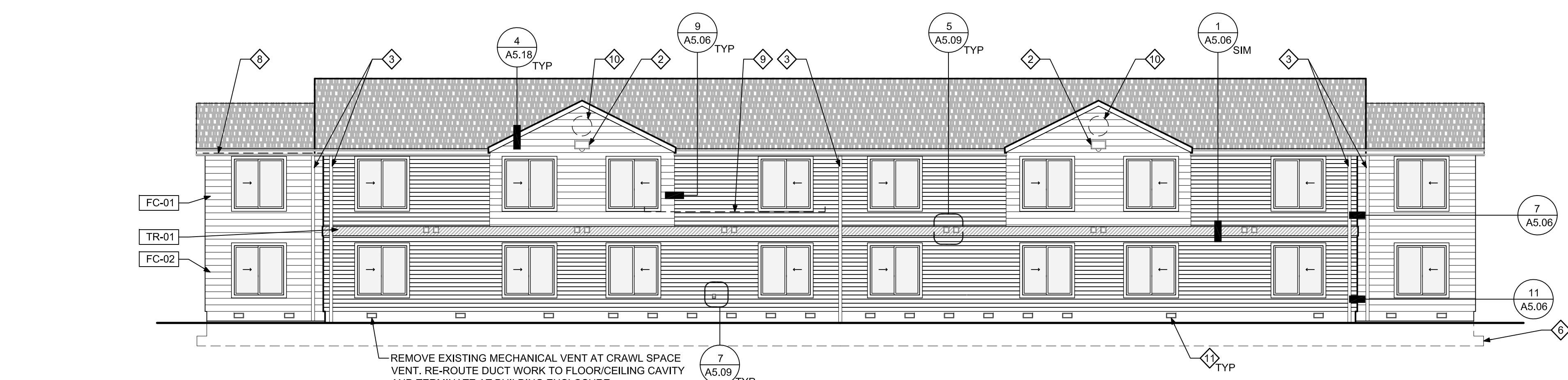
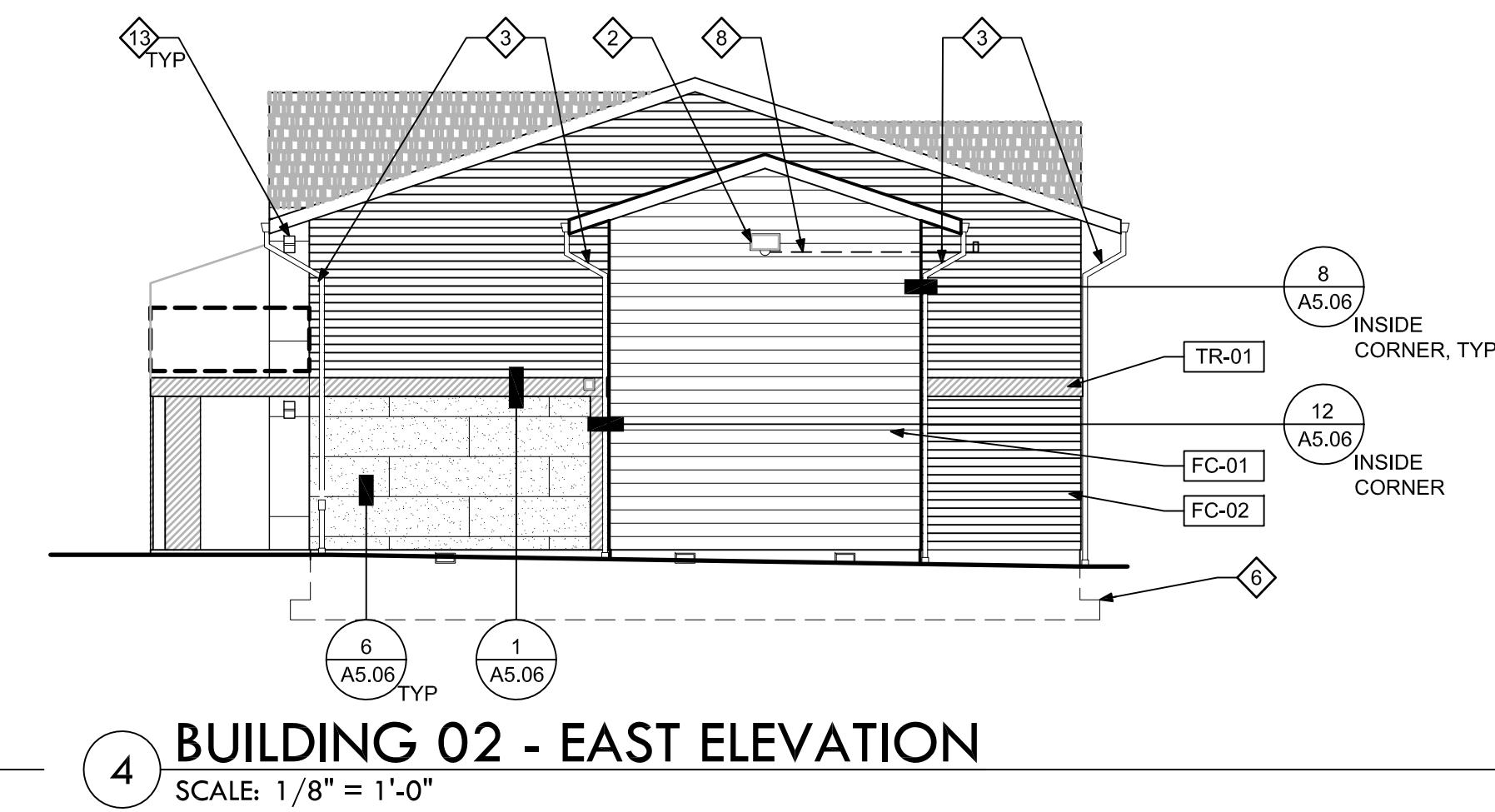
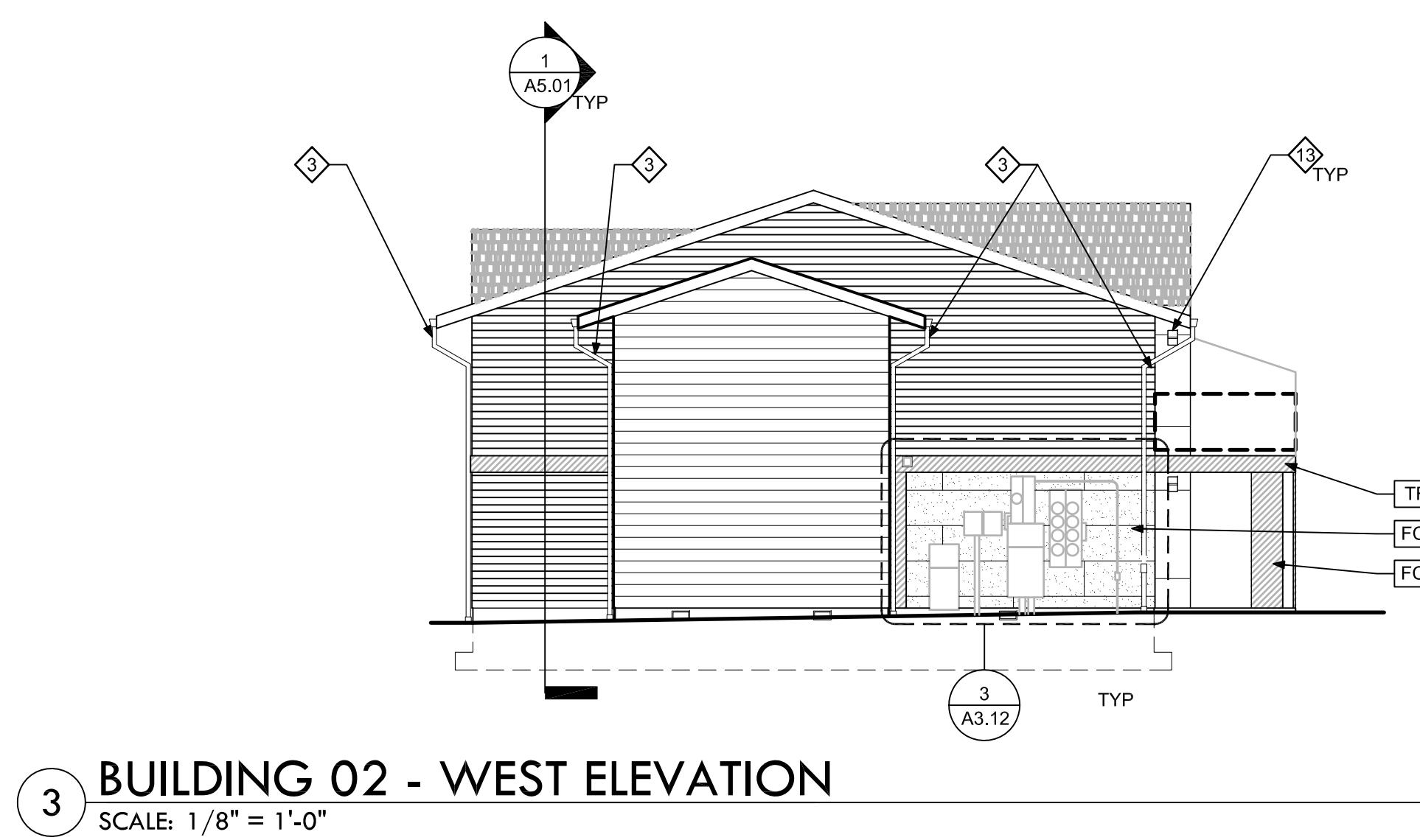
PROJ NO.
21345

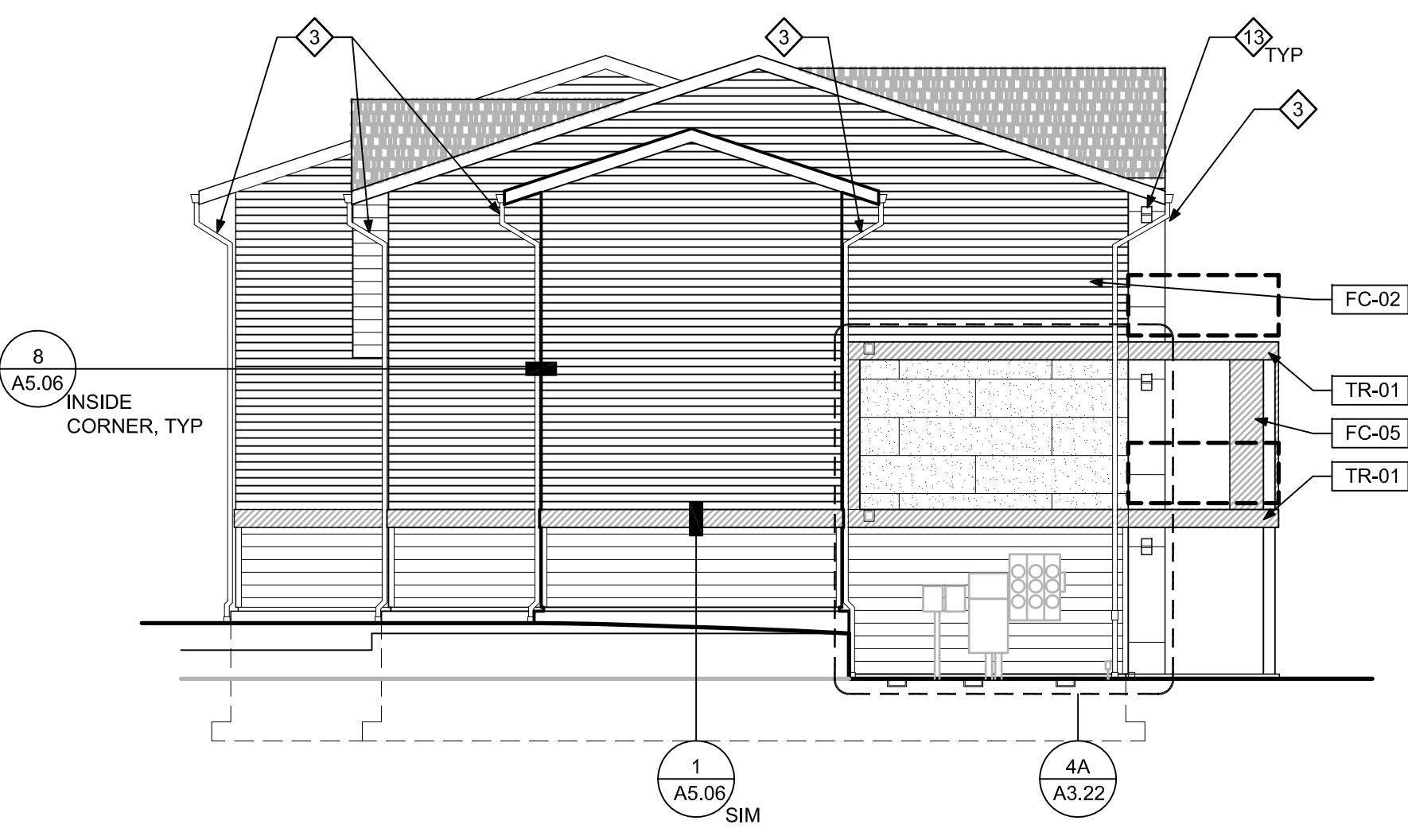
01.21.14

02.06.14 ADDENDUM #1



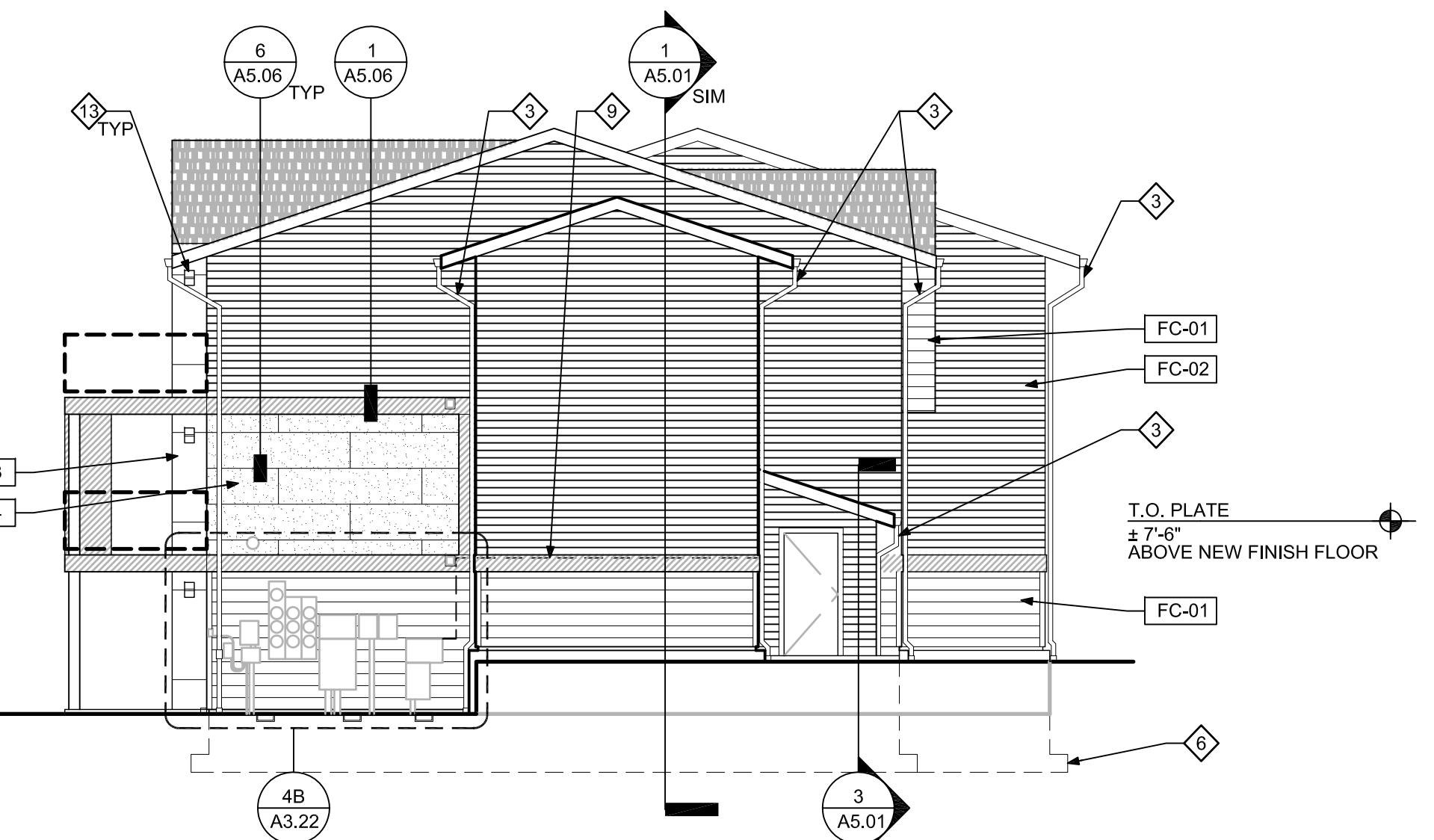
A3.11





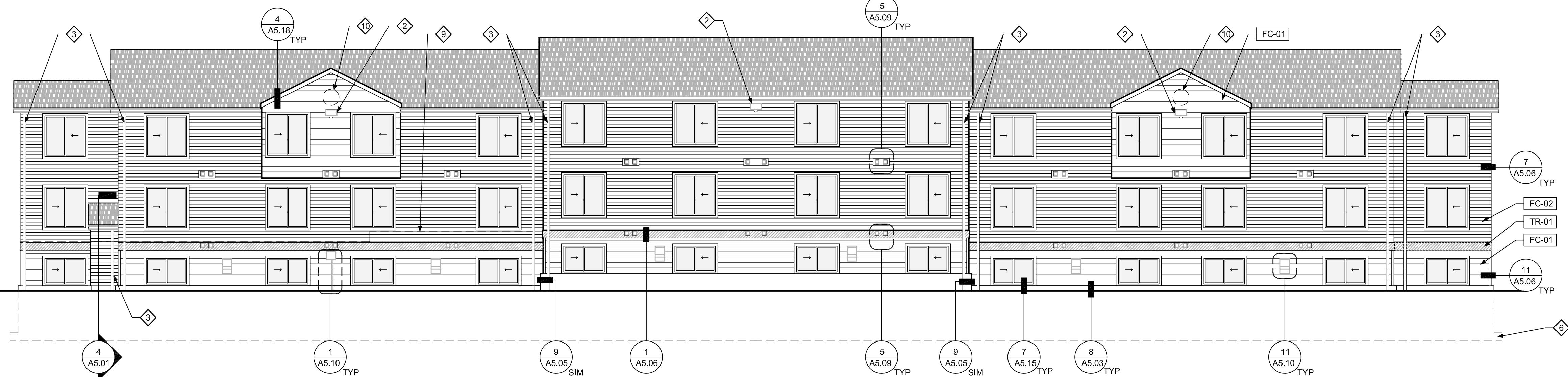
BUILDING 07 - SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



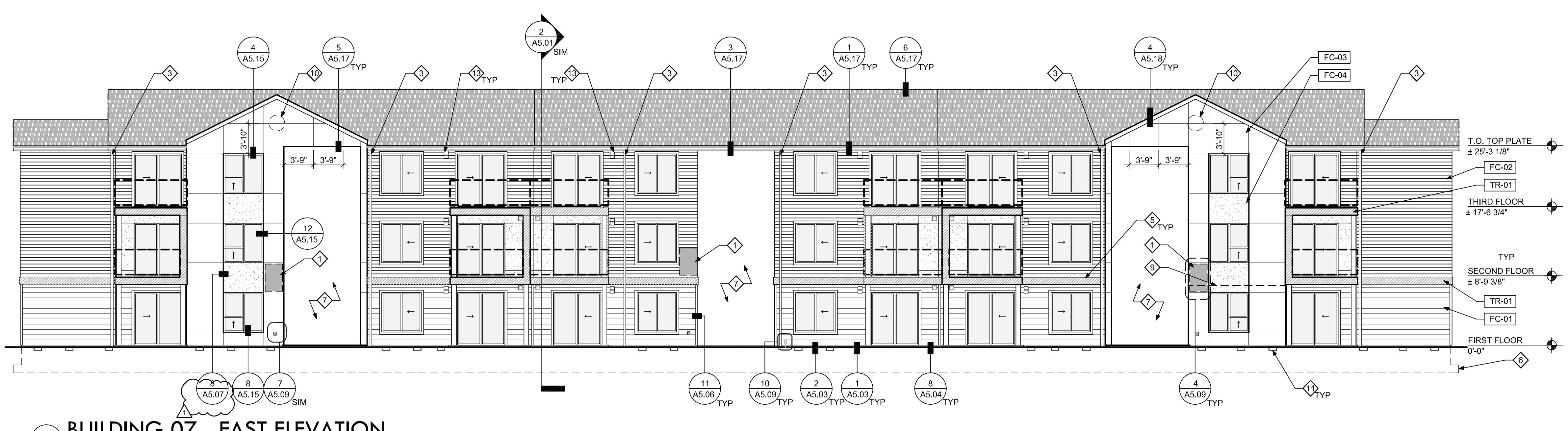
BUILDING 07 - NORTH ELEVATION

SCALE: 1/8" = 1'-0"



BUILDING 07 - WEST ELEVATION

SCALE: 1/8" = 1'-0"



BUILDING 07 - EAST ELEVATION

SCALE: 1/8" = 1'-0"

GENERAL ELEVATION NOTES

- A. ANY OBSERVED, KNOWN, OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON SUCH FORM AS REQUIRED BY THE CONTRACT DOCUMENTS.
- B. EXISTING ENTRY STAIR AND GUARDRAIL ASSEMBLIES ARE TO REMAIN IN PLACE. PROTECT DURING CONSTRUCTION.
- C. REFER TO EXTERIOR FINISH SCHEDULE FOR FINISH MATERIALS, COLORS, AND TEXTURES.
- D. EXISTING DIMENSIONS SHOWN ARE FOR REFERENCE ONLY AND MUST BE VERIFIED IN FIELD.
- E. EXISTING VOICE/DATA CABLEING SHALL BE FIELD VERIFIED AND INTEGRATED INTO NEW CLADDING ASSEMBLY TO THE GREATEST EXTENT POSSIBLE.
- F. NOT ALL APPURTENANCES MAY BE INDICATED. CONTRACTOR TO FIELD VERIFY SIZES, QUANTITIES, LOCATIONS, AND TYPES PRIOR TO COMMENCEMENT OF WORK.
- G. PAINT ALL APPURTENANCE BLOCKS AND ASSOCIATED METAL FLASHING TO MATCH ADJACENT SIDING.
- H. PAINT ALL ELECTRICAL EQUIPMENT AND ASSOCIATED MOUNTING PANELS AND METAL FLASHING TO MATCH ADJACENT SIDING. MASK OFF AND PROTECT LATCHES, LOCKS, LABELS, TAGS, VIEW PANELS, ETC.
- I. PAINT UNDERSIDE OF EAVES AND RAKES TO MATCH ADJACENT SIDING COLOR.
- J. PAINT ALL METAL VENT COVERS TO MATCH ADJACENT SIDING. PROTECT AND CLEAN OPERABLE PARTS TO ENSURE PROPER FUNCTION.
- K. GUTTERS AND DOWNSPOUTS TO BE PREFINISHED METAL.
- L. FASCIA AND BARGE RAFTERS PAINTED TO MATCH GUTTERS AND DOWNSPOUTS.
- M. INFORMATION WITHIN EXTERIOR ENTRY NOT SHOWN FOR CLARITY ON OVERALL ELEVATION.
- N. NEW GARAGE EXTENSION AND SIDE DOOR ONLY IN SPECIFIC LOCATIONS. REFER TO SITE PLAN.

EXTERIOR FINISH/MATERIALS LEGEND

FC-01	COLOR: PT-01 LAP, 8" EXPOSURE
FC-02	COLOR: PT-02 LAP, 5" EXPOSURE
FC-03	COLOR: PT-03 PANEL
FC-04	COLOR: PT-04 PANEL
FC-05	COLOR: PT-05 PANEL
TR-01	COLOR: PT-05 NOTE: TR-01 TO BE 12", ALL OTHER TRIM TO BE 4", UON ON ELEVATIONS AND DETAILS.
GLAZED FENESTRATION	
ROOF SYSTEM	
NEW GUARDRAIL SYSTEM SHOWN DASHED FOR CLARITY	

ELEVATION KEY NOTES

- ① APPROXIMATE LOCATION OF BUILDING SIGNAGE
- ② REMOVE AND REINSTALL EXISTING MOUNTED LIGHT
- ③ NEW DOWNSPOUT CONNECTED TO EXISTING STORM SYSTEM, UNLESS NOTED OTHERWISE - REFER TO PLANS
- ④ MECHANICAL PENETRATION AT WALL
- ⑤ FIBER CEMENT TRIM - TYPICAL
- ⑥ APPROXIMATE LINE OF CONCRETE FOOTING/STEM WALL
- ⑦ EXTERIOR ENTRY
- ⑧ EXISTING CONDUIT/WIRING TO BE INTEGRATED INTO BUILDING ENCLOSURE
- ⑨ EXISTING TELEPHONE/CABLE WIRING TO BE INTEGRATED INTO BUILDING ENCLOSURE
- ⑩ EXISTING ROUND LOUVER TO BE REMOVED
- ⑪ EXISTING FOUNDATION VENT TO REMAIN
- ⑫ DOOR NOT SHOWN FOR CLARITY
- ⑬ REMOVE EXISTING LIGHT FIXTURE. INSTALL NEW ENERGY STAR LIGHT FIXTURE IN SAME LOCATION
- ⑭ NEW EXTERIOR ENERGY STAR LIGHT FIXTURE AND LAMP

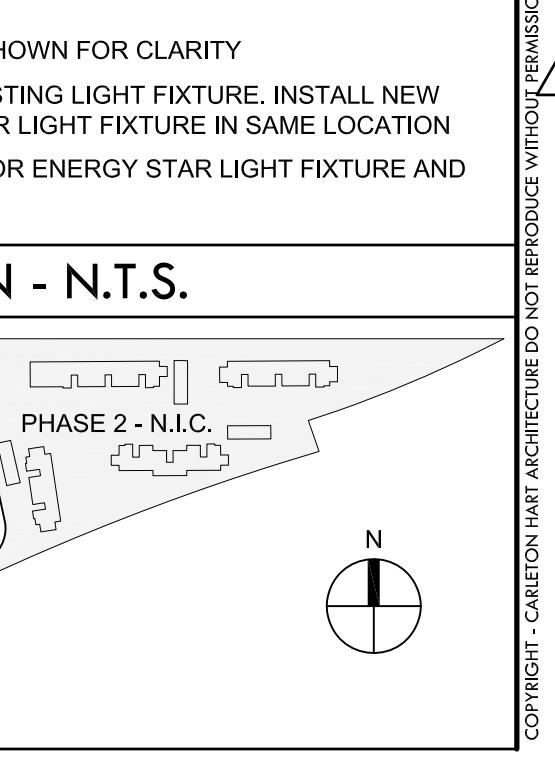
EXTERIOR ELEVATIONS
BUILDING 07

PROJ NO.

01.21.14

02.06.14 ADDENDUM #1

A3.21



GENERAL ELEVATION NOTES

- A. ANY OBSERVED, KNOWN, OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON SUCH FORM AS REQUIRED BY THE CONTRACT DOCUMENTS.
- B. EXISTING ENTRY STAIR AND GUARDRAIL ASSEMBLIES ARE TO REMAIN IN PLACE. PROTECT DURING CONSTRUCTION.
- C. REFER TO EXTERIOR FINISH SCHEDULE FOR FINISH MATERIALS, COLORS, AND TEXTURES.
- D. EXISTING DIMENSIONS SHOWN ARE FOR REFERENCE ONLY AND MUST BE VERIFIED IN FIELD.
- E. EXISTING VOICE/DATA CABLEING SHALL BE FIELD VERIFIED AND INTEGRATED INTO NEW CLADDING ASSEMBLY TO THE GREATEST EXTENT POSSIBLE.
- F. NOT ALL APPURTENANCES MAY BE INDICATED. CONTRACTOR TO FIELD VERIFY SIZES, QUANTITIES, LOCATIONS, AND TYPES PRIOR TO COMMENCEMENT OF WORK.
- G. PAINT ALL APPURTENANCE BLOCKS AND ASSOCIATED METAL FLASHING TO MATCH ADJACENT SIDING.
- H. PAINT ALL ELECTRICAL EQUIPMENT AND ASSOCIATED MOUNTING PANELS AND METAL FLASHING TO MATCH ADJACENT SIDING. MASK OFF AND PROTECT LATCHES, LOCKS, LABELS, TAGS, VIEW PANELS, ETC.
- I. PAINT UNDERSIDE OF EAVES AND RAKES TO MATCH ADJACENT SIDING COLOR.
- J. PAINT ALL METAL VENT COVERS TO MATCH ADJACENT SIDING. PROTECT AND CLEAN OPERABLE PARTS TO ENSURE PROPER FUNCTION.
- K. GUTTERS AND DOWNSPOUTS TO BE PREFINISHED METAL.
- L. FASCIA AND BARGE RAFTERS PAINTED TO MATCH GUTTERS AND DOWNSPOUTS.
- M. INFORMATION WITHIN EXTERIOR ENTRY NOT SHOWN FOR CLARITY ON OVERALL ELEVATION.
- N. NEW GARAGE EXTENSION AND SIDE DOOR ONLY IN SPECIFIC LOCATIONS. REFER TO SITE PLAN.

EXTERIOR FINISH/MATERIALS LEGEND

FC-01	COLOR: PT-01 LAP, 8" EXPOSURE
FC-02	COLOR: PT-02 LAP, 5" EXPOSURE
FC-03	COLOR: PT-03 PANEL
FC-04	COLOR: PT-04 PANEL
FC-05	COLOR: PT-05 PANEL
TR-01	COLOR: PT-05 NOTE: TR-01 TO BE 12", ALL OTHER TRIM TO BE 4", UON ON ELEVATIONS AND DETAILS.
GLAZED FENESTRATION	
ROOF SYSTEM	
NEW GUARDRAIL SYSTEM SHOWN DASHED FOR CLARITY	

ELEVATION KEY NOTES

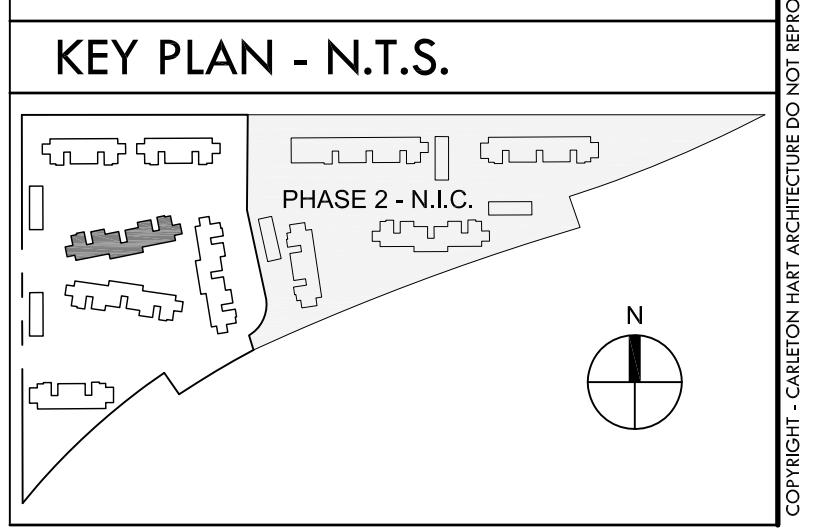
- ① APPROXIMATE LOCATION OF BUILDING SIGNAGE
- ② REMOVE AND REINSTALL EXISTING MOUNTED LIGHT
- ③ NEW DOWNSPOUT CONNECTED TO EXISTING STORM SYSTEM, UNLESS NOTED OTHERWISE - REFER TO PLANS
- ④ MECHANICAL PENETRATION AT WALL
- ⑤ FIBER CEMENT TRIM - TYPICAL
- ⑥ APPROXIMATE LINE OF CONCRETE FOOTING/STEM WALL
- ⑦ EXTERIOR ENTRY
- ⑧ EXISTING CONDUIT/WIRING TO BE INTEGRATED INTO BUILDING ENCLOSURE
- ⑨ EXISTING TELEPHONE/CABLE WIRING TO BE INTEGRATED INTO BUILDING ENCLOSURE
- ⑩ EXISTING ROUND LOUVER TO BE REMOVED
- ⑪ EXISTING FOUNDATION VENT TO REMAIN
- ⑫ DOOR NOT SHOWN FOR CLARITY
- ⑬ REMOVE EXISTING LIGHT FIXTURE. INSTALL NEW ENERGY STAR LIGHT FIXTURE IN SAME LOCATION
- ⑭ NEW EXTERIOR ENERGY STAR LIGHT FIXTURE AND LAMP

EXTERIOR ELEVATIONS BUILDING 08

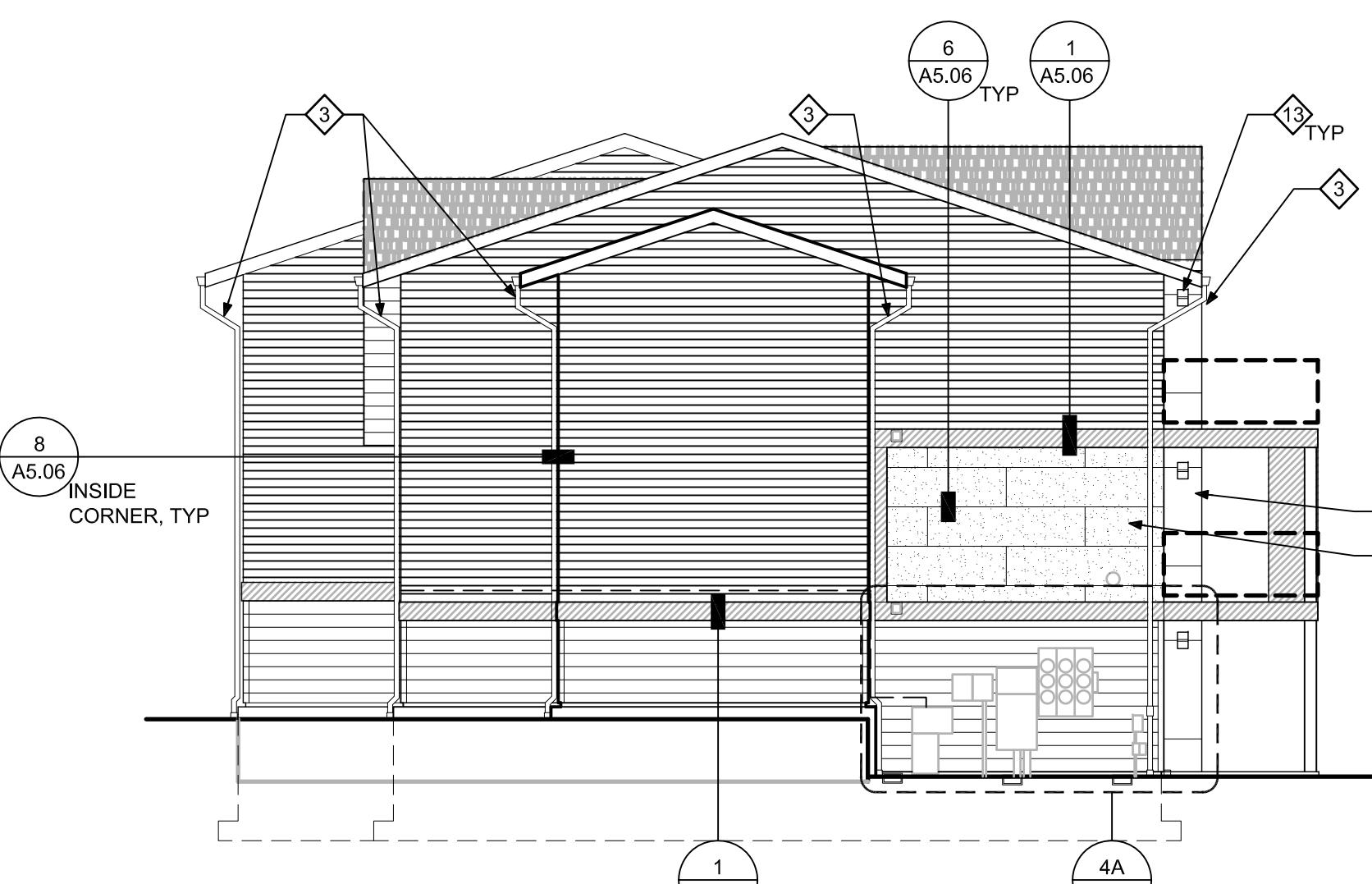
PROJ NO.
21345
01.21.14

02.06.14 ADDENDUM #1

COPYRIGHT - CARLETON HART ARCHITECTURE DO NOT REPRODUCE WITHOUT PERMISSION

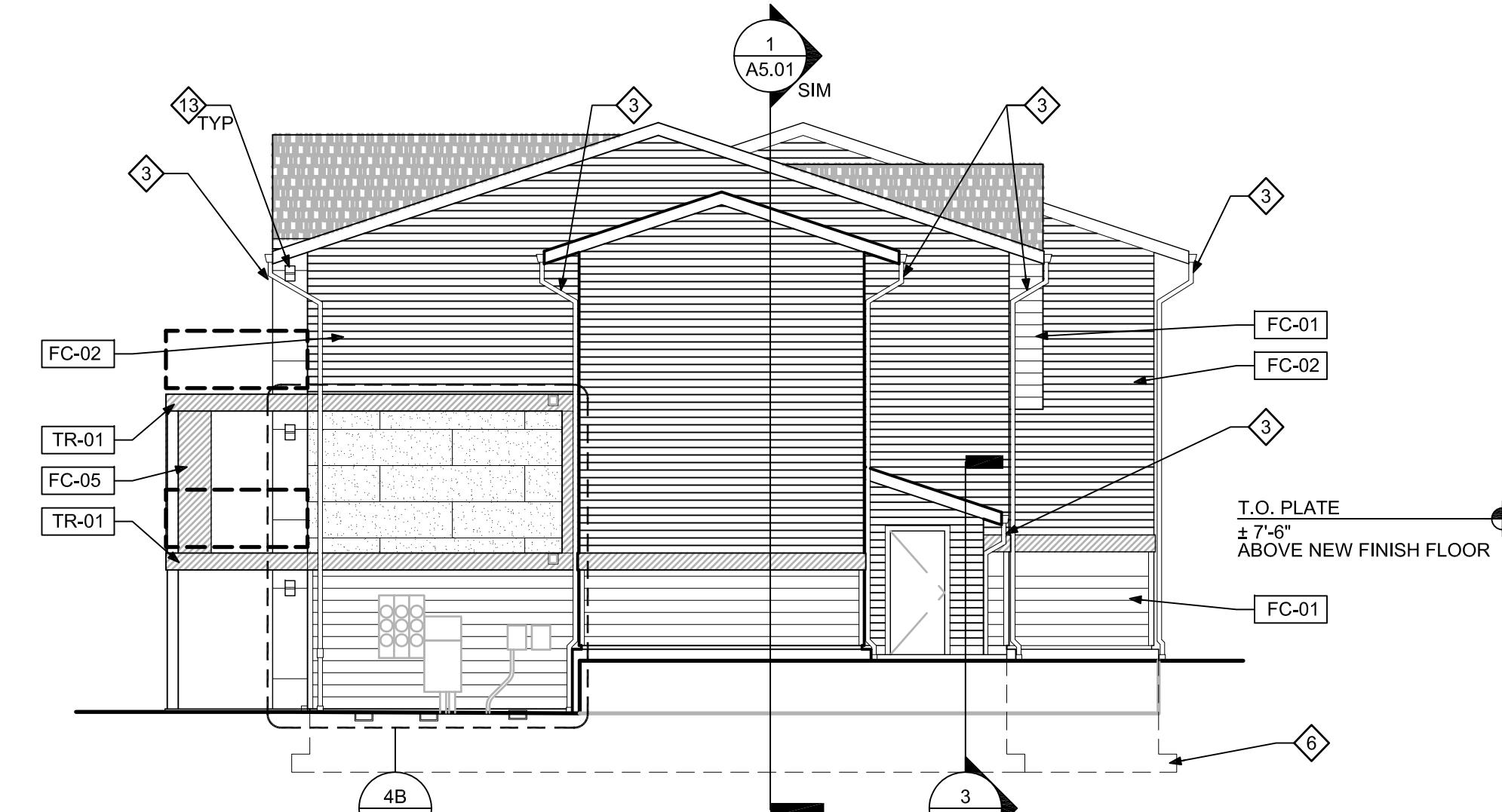


A3.31



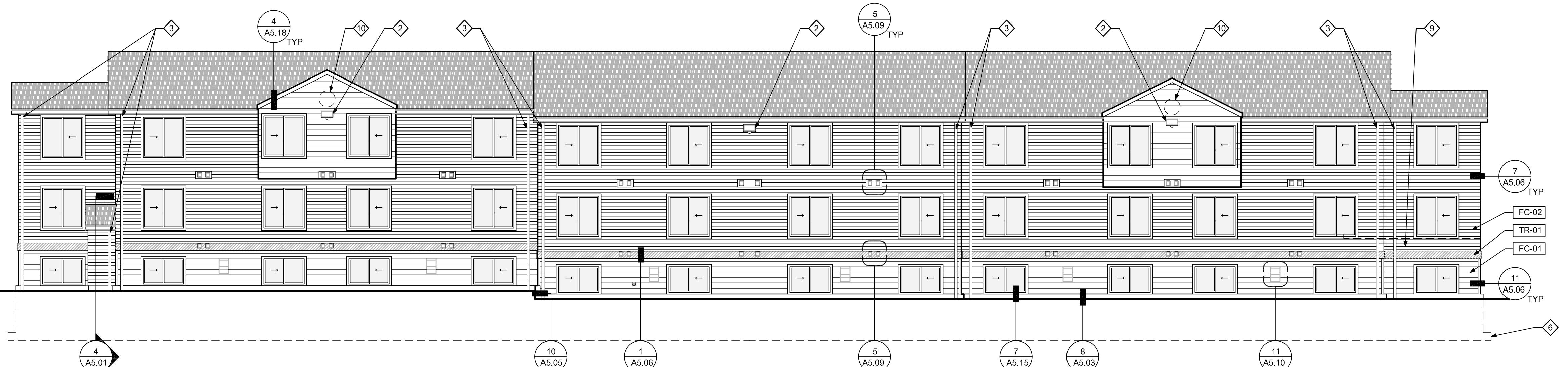
3 BUILDING 08 - EAST ELEVATION

SCALE: 1/8" = 1'-0"



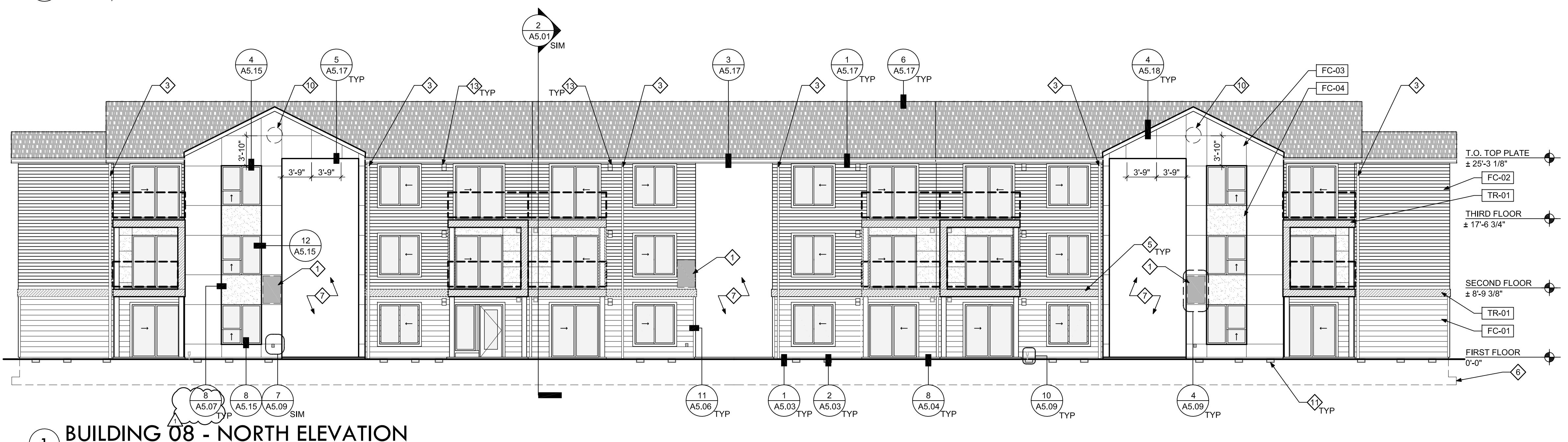
4 BUILDING 08 - WEST ELEVATION

SCALE: 1/8" = 1'-0"



2 BUILDING 08 - SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



1 BUILDING 08 - NORTH ELEVATION

SCALE: 1/8" = 1'-0"

GENERAL ELEVATION NOTES

- ANY OBSERVED, KNOWN, OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON SUCH FORM AS REQUIRED BY THE CONTRACT DOCUMENTS.
- EXISTING ENTRY STAIR AND GUARDRAIL ASSEMBLIES ARE TO REMAIN IN PLACE. PROTECT DURING CONSTRUCTION.
- REFER TO EXTERIOR FINISH SCHEDULE FOR FINISH MATERIALS, COLORS, AND TEXTURES.
- EXISTING DIMENSIONS SHOWN ARE FOR REFERENCE ONLY AND MUST BE VERIFIED IN FIELD.
- EXISTING VOICE/DATA CABLEING SHALL BE FIELD VERIFIED AND INTEGRATED INTO NEW CLADDING ASSEMBLY TO THE GREATEST EXTENT POSSIBLE.
- NOT ALL APPURTENANCES MAY BE INDICATED. CONTRACTOR TO FIELD VERIFY SIZES, QUANTITIES, LOCATIONS, AND TYPES PRIOR TO COMMENCEMENT OF WORK.
- PAINT ALL APPURTENANCE BLOCKS AND ASSOCIATED METAL FLASHING TO MATCH ADJACENT SIDING.
- PAINT ALL ELECTRICAL EQUIPMENT AND ASSOCIATED MOUNTING PANELS AND METAL FLASHING TO MATCH ADJACENT SIDING. MASK OFF AND PROTECT LATCHES, LOCKS, LABELS, TAGS, VIEW PANELS, ETC.
- PAINT UNDERSIDE OF EAVES AND RAKES TO MATCH ADJACENT SIDING COLOR.
- PAINT ALL METAL VENT COVERS TO MATCH ADJACENT SIDING. PROTECT AND CLEAN OPERABLE PARTS TO ENSURE PROPER FUNCTION.
- GUTTERS AND DOWNSPOUTS TO BE PREFINISHED METAL.
- FASCIA AND BARGE RAFTERS PAINTED TO MATCH GUTTERS AND DOWNSPOUTS.
- INFORMATION WITHIN EXTERIOR ENTRY NOT SHOWN FOR CLARITY ON OVERALL ELEVATION.
- NEW GARAGE EXTENSION AND SIDE DOOR ONLY IN SPECIFIC LOCATIONS. REFER TO SITE PLAN.

EXTERIOR FINISH/MATERIALS LEGEND

FC-01	COLOR: PT-01 LAP, 8" EXPOSURE
FC-02	COLOR: PT-02 LAP, 5" EXPOSURE
FC-03	COLOR: PT-03 PANEL
FC-04	COLOR: PT-04 PANEL
FC-05	COLOR: PT-05 PANEL
TR-01	COLOR: PT-05 NOTE: TR-01 TO BE 12", ALL OTHER TRIM TO BE 4", UON ON ELEVATIONS AND DETAILS.
	GLAZED FENESTRATION
	ROOF SYSTEM
	NEW GUARDRAIL SYSTEM SHOWN DASHED FOR CLARITY

ELEVATION KEY NOTES

- ① APPROXIMATE LOCATION OF BUILDING SIGNAGE
- ② REMOVE AND REINSTALL EXISTING MOUNTED LIGHT
- ③ NEW DOWNSPOUT CONNECTED TO EXISTING STORM SYSTEM, UNLESS NOTED OTHERWISE - REFER TO PLANS
- ④ MECHANICAL PENETRATION AT WALL
- ⑤ FIBER CEMENT TRIM - TYPICAL
- ⑥ APPROXIMATE LINE OF CONCRETE FOOTING/STEM WALL
- ⑦ EXTERIOR ENTRY
- ⑧ EXISTING CONDUIT/WIRING TO BE INTEGRATED INTO BUILDING ENCLOSURE
- ⑨ EXISTING TELEPHONE/CABLE WIRING TO BE INTEGRATED INTO BUILDING ENCLOSURE
- ⑩ EXISTING ROUND LOUVER TO BE REMOVED
- ⑪ EXISTING FOUNDATION VENT TO REMAIN
- ⑫ DOOR NOT SHOWN FOR CLARITY
- ⑬ REMOVE EXISTING LIGHT FIXTURE. INSTALL NEW ENERGY STAR LIGHT FIXTURE IN SAME LOCATION
- ⑭ NEW EXTERIOR ENERGY STAR LIGHT FIXTURE AND LAMP

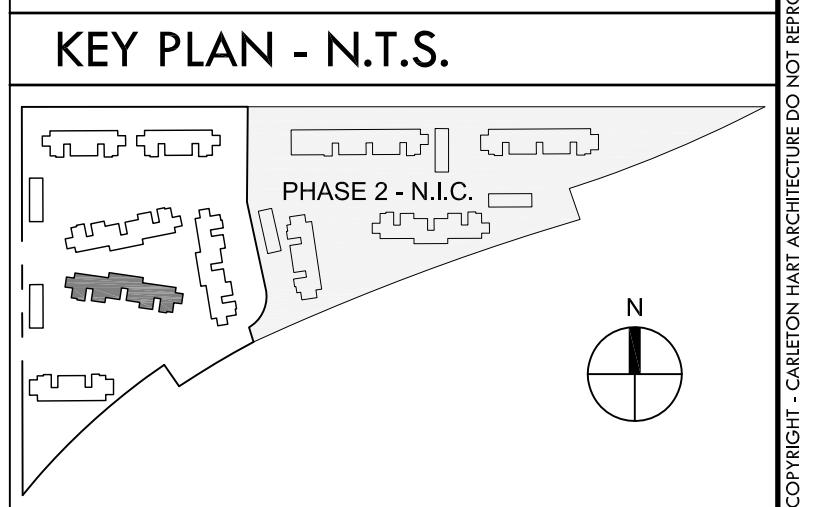
EXTERIOR ELEVATIONS BUILDING 09

PROJ NO.

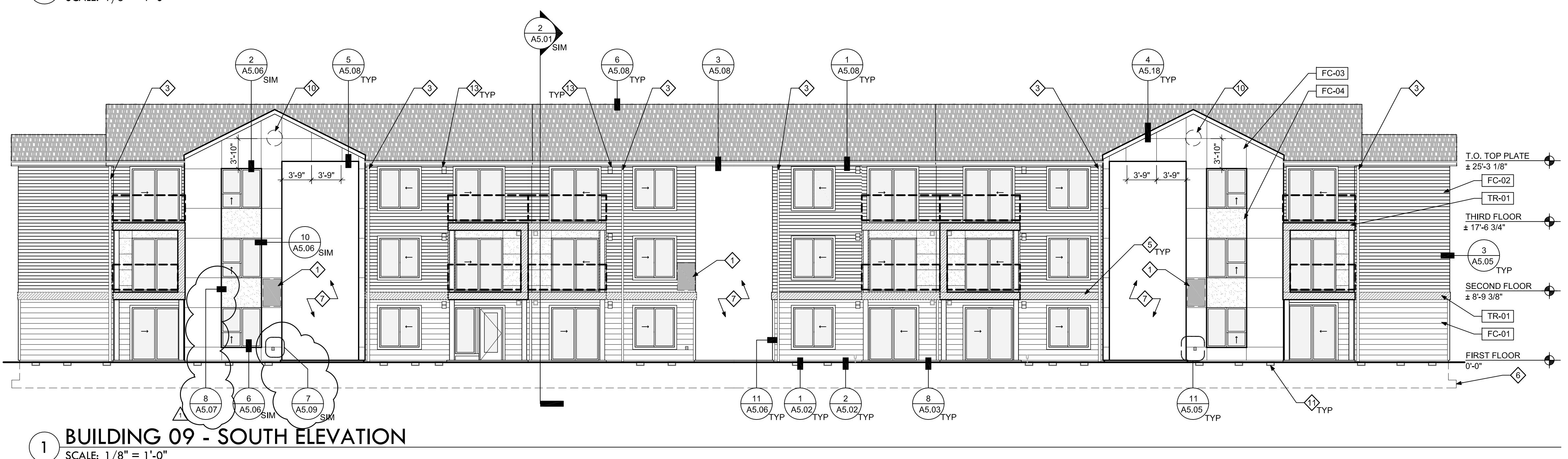
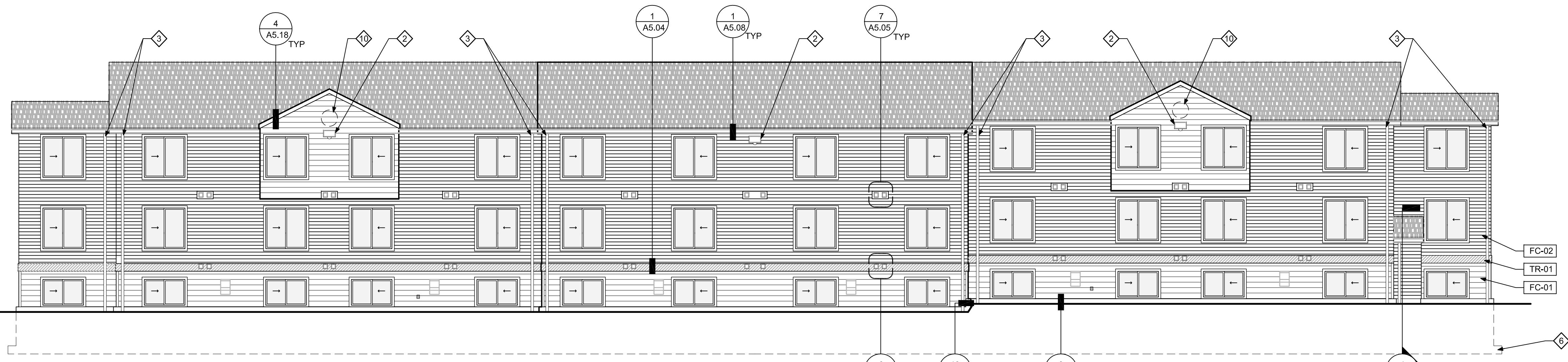
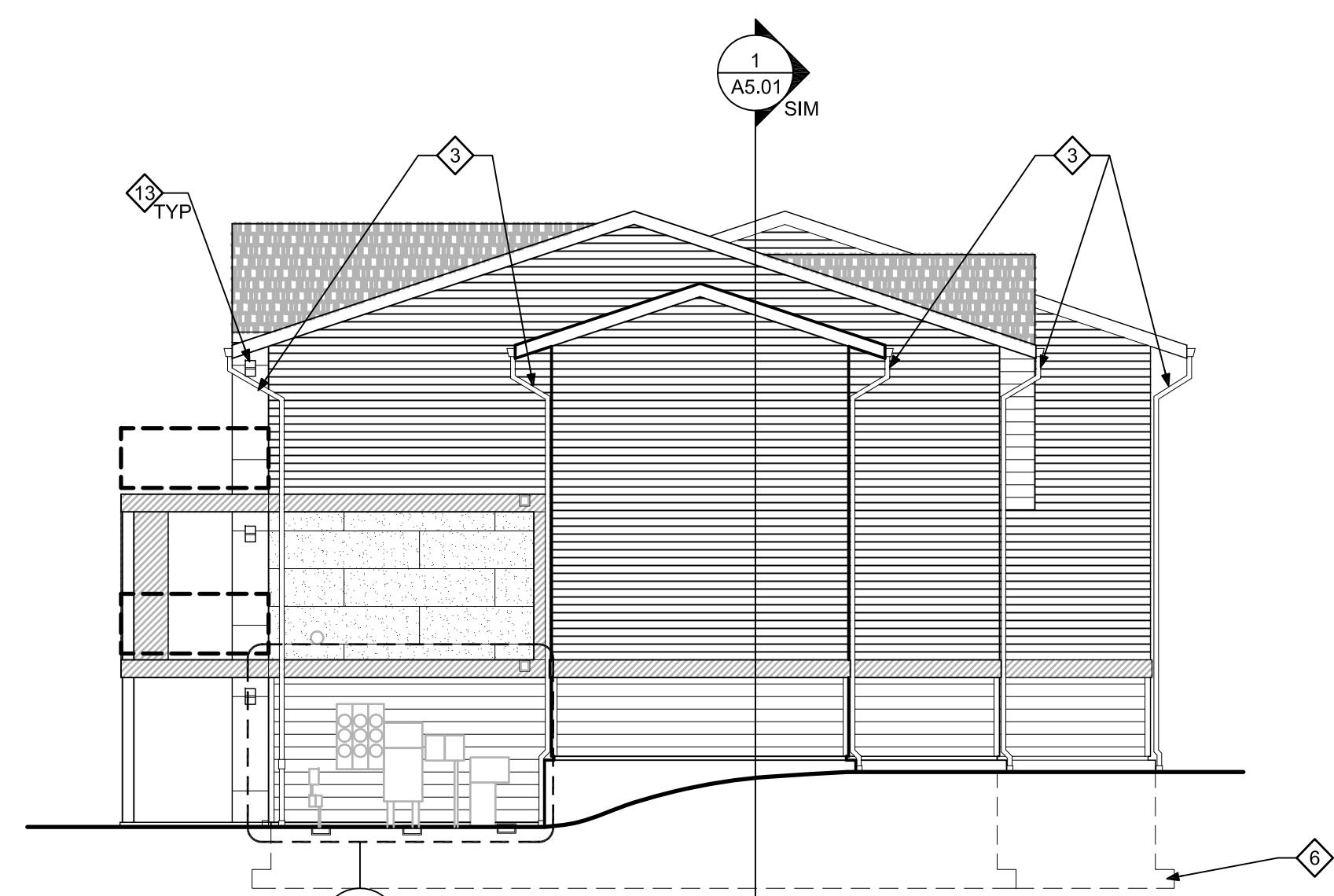
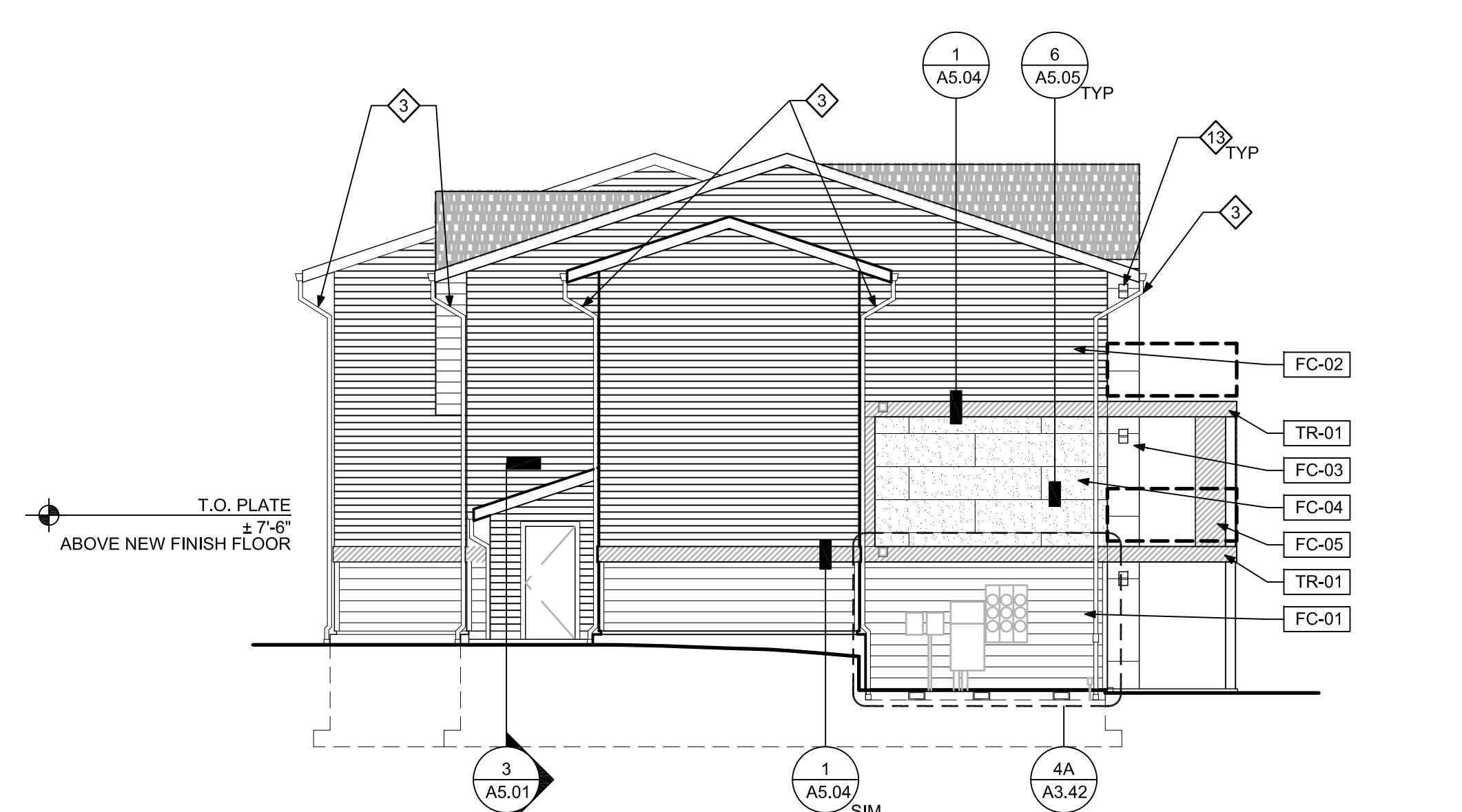
01.21.14

02.06.14 ADDENDUM #1

COPRIGHT - CARLETON HART ARCHITECTURE DO NOT REPRODUCE WITHOUT PERMISSION



A3.41

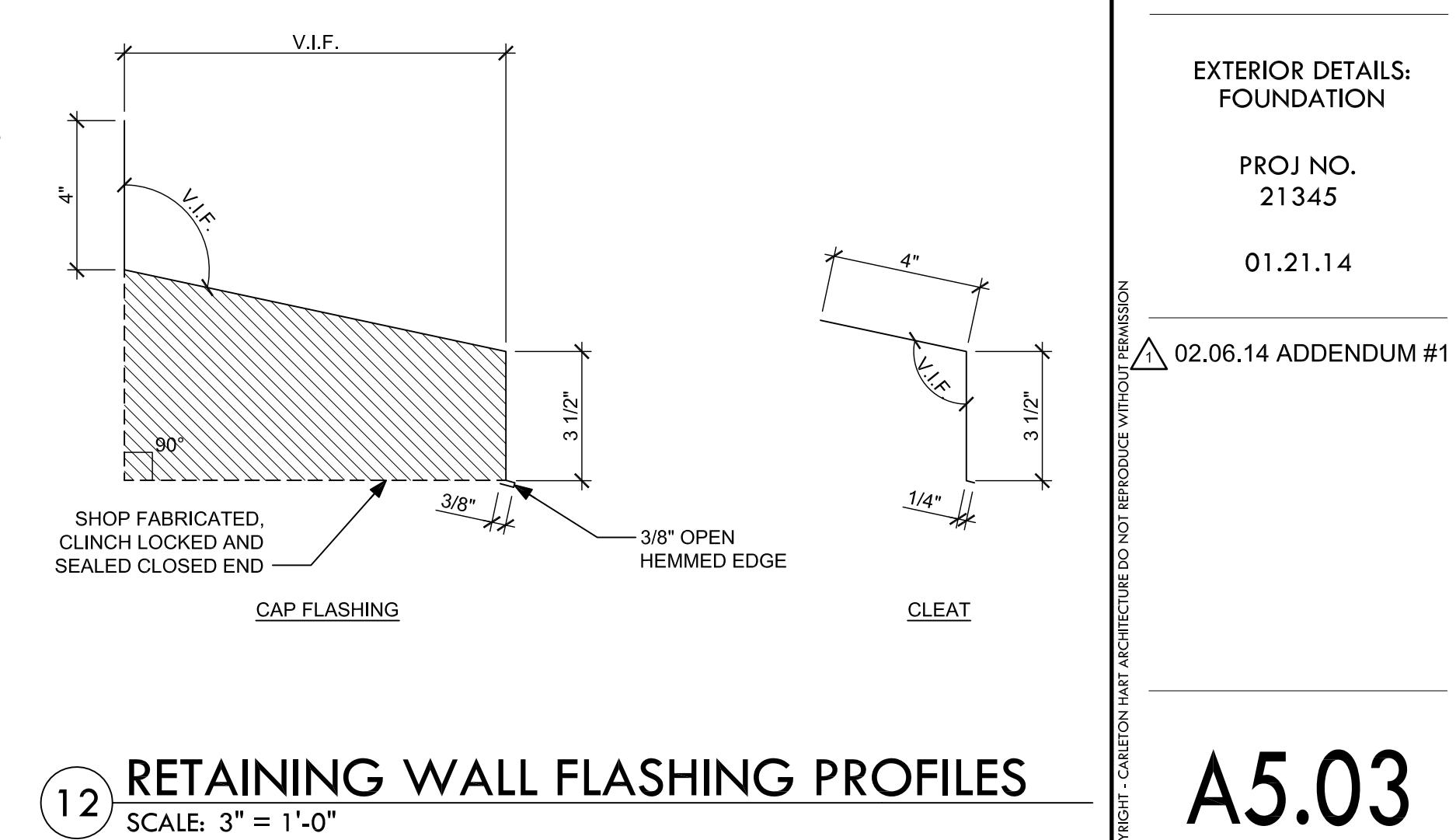
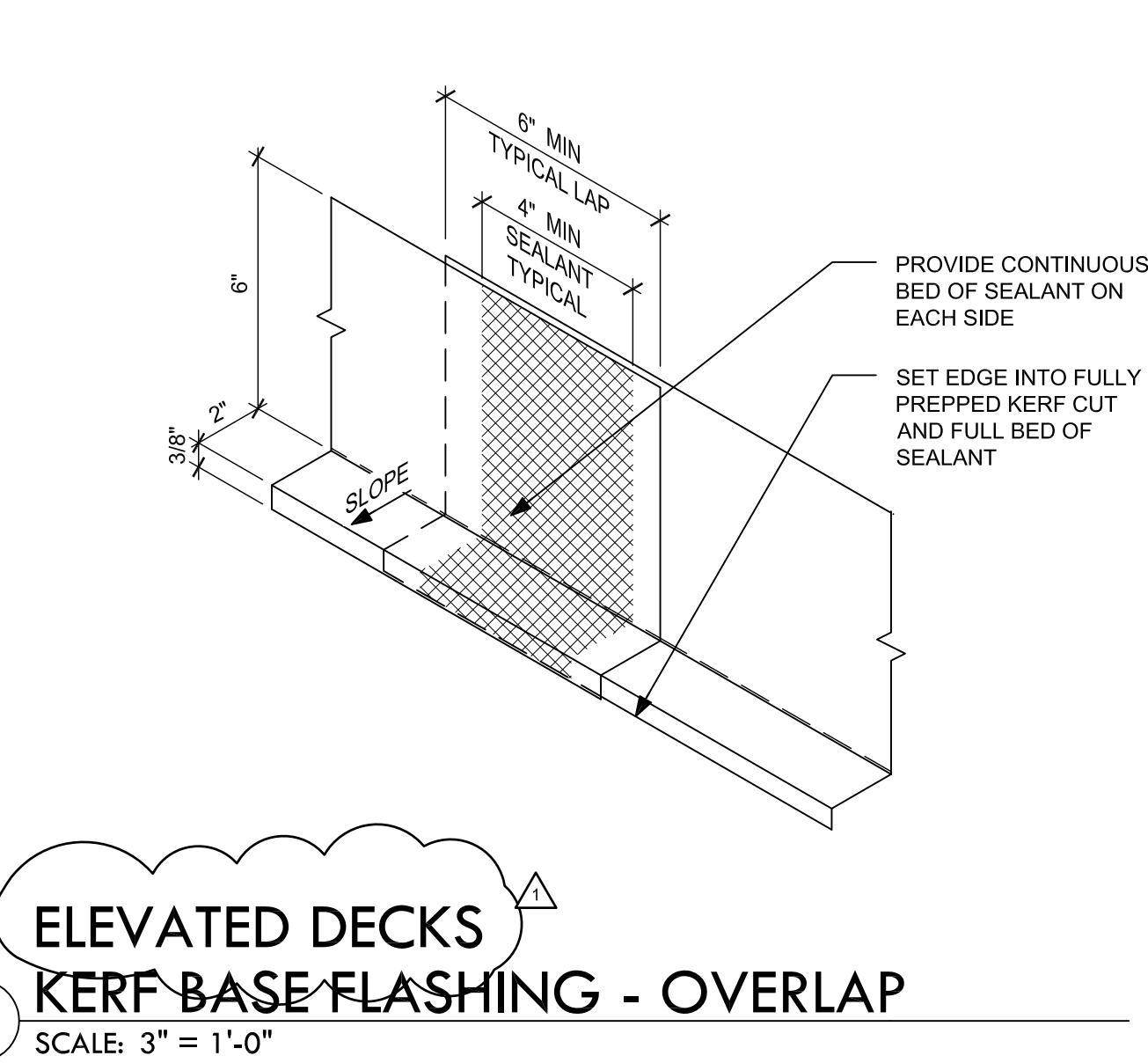
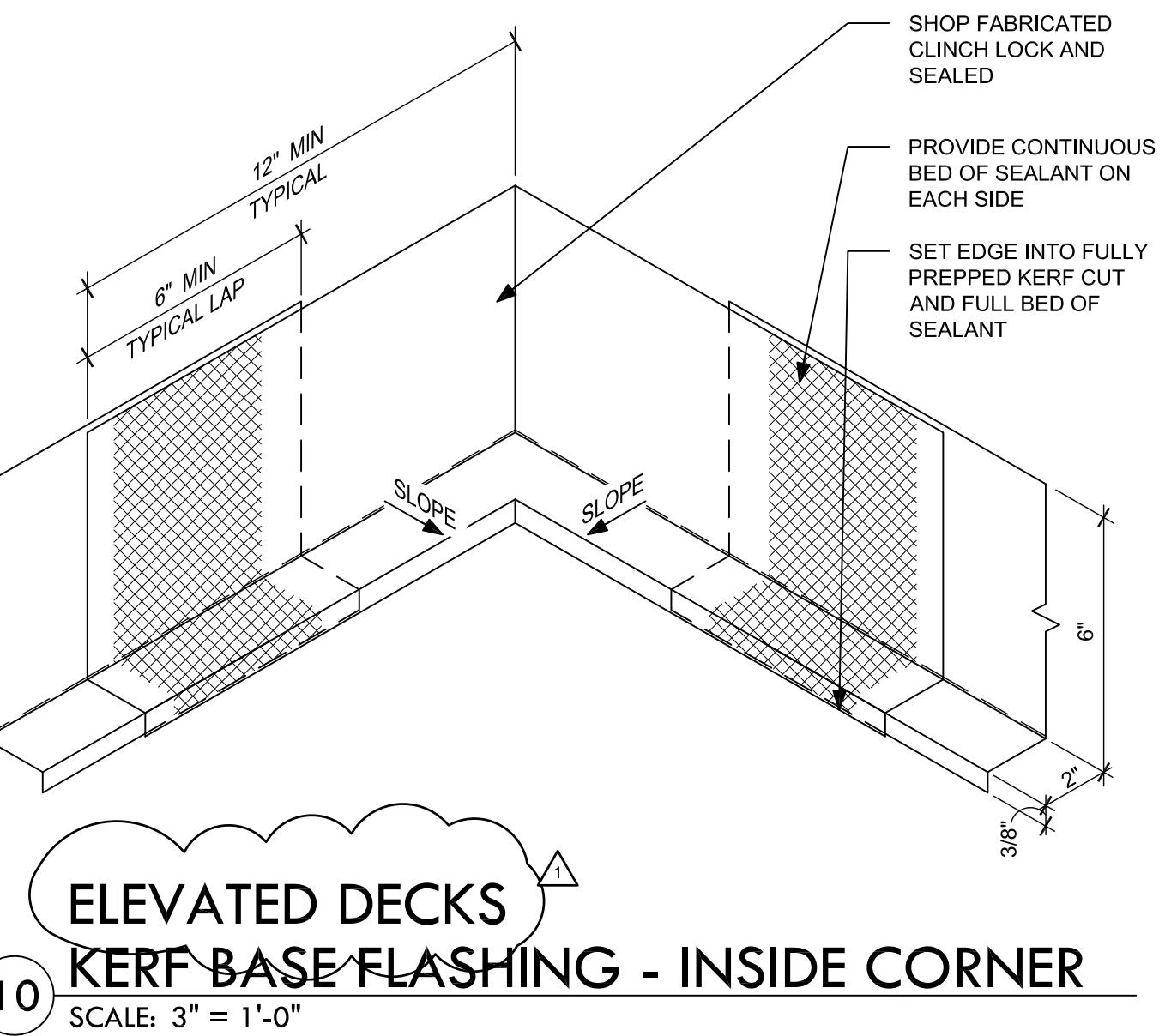
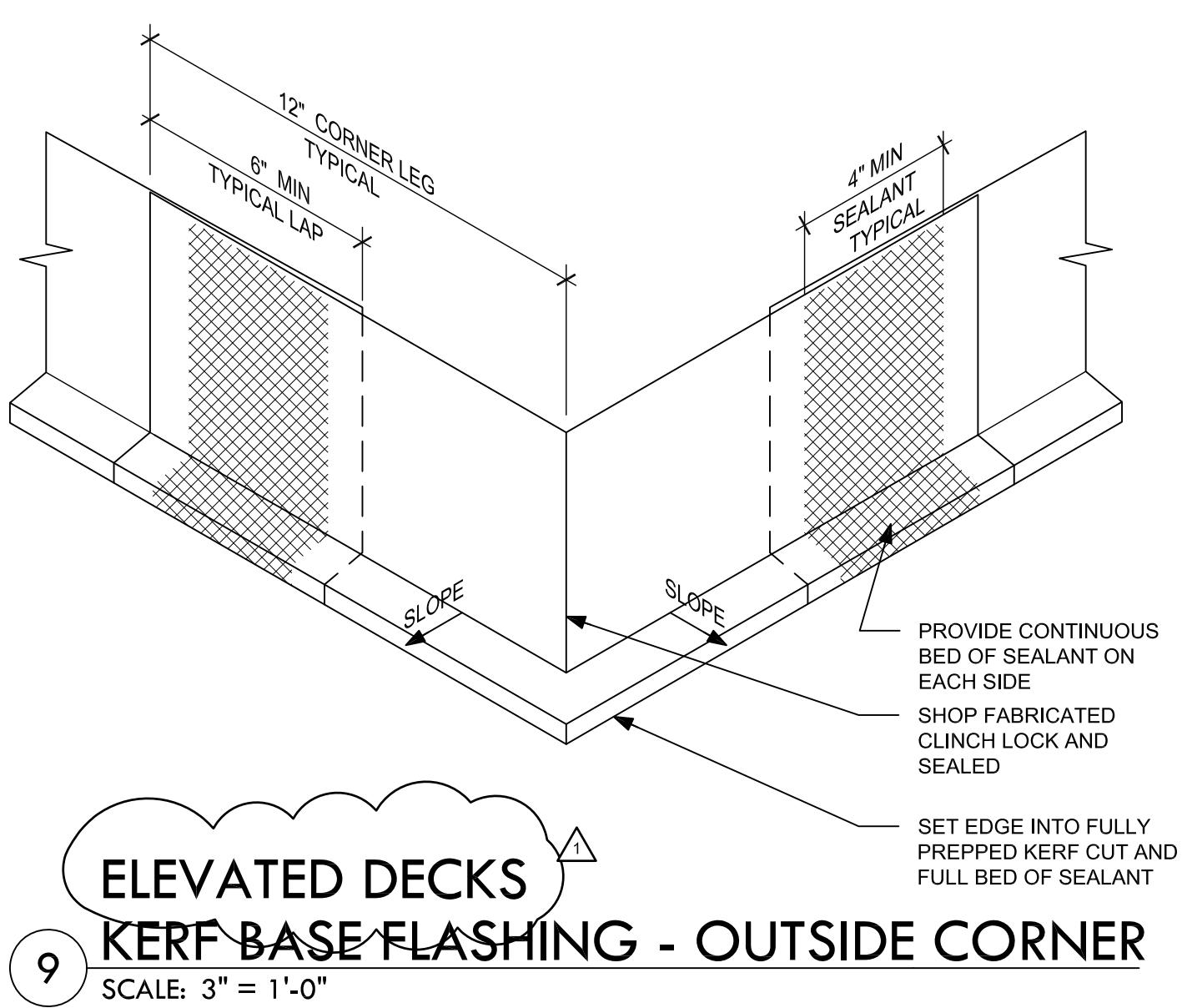
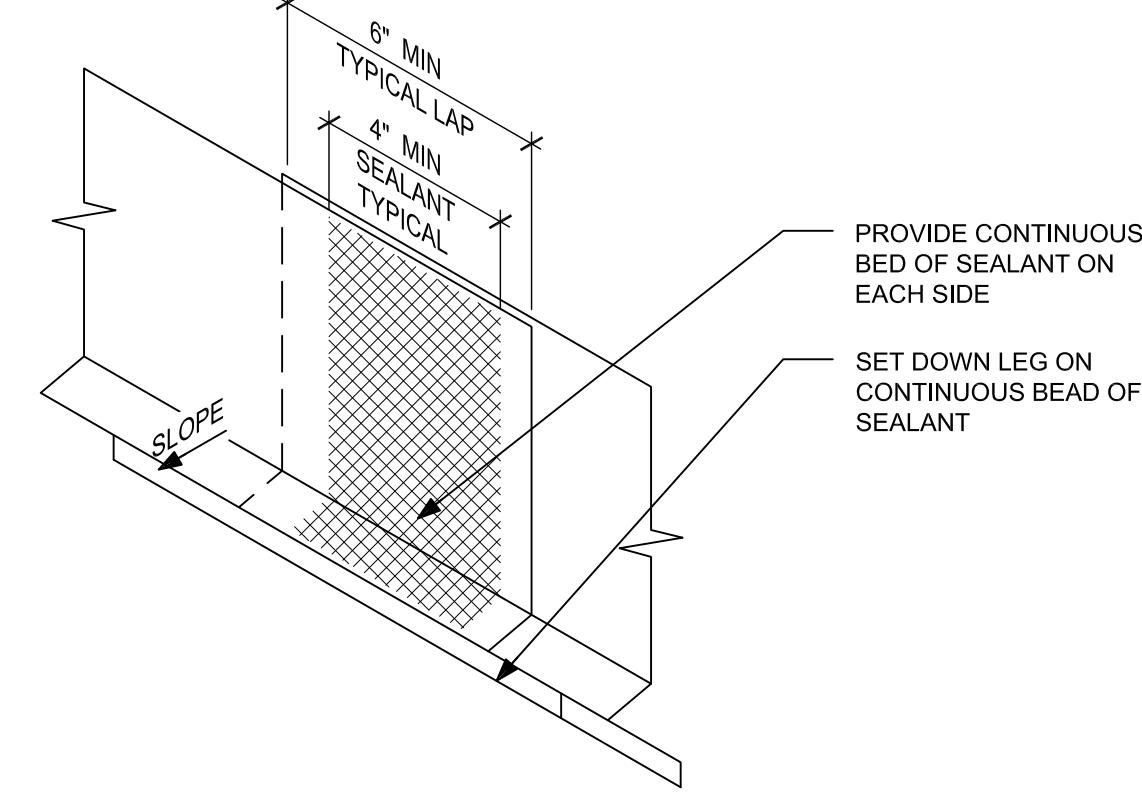
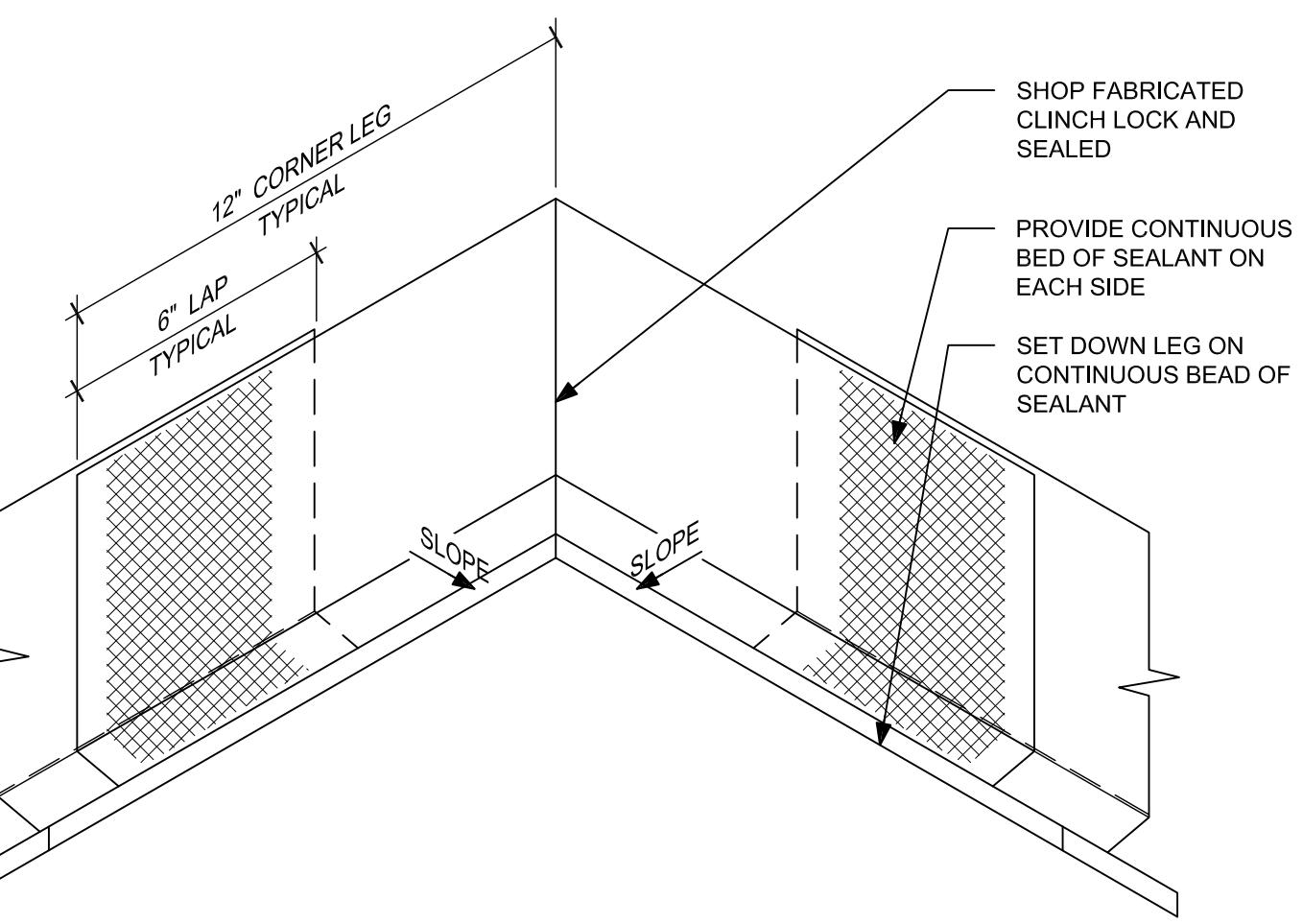
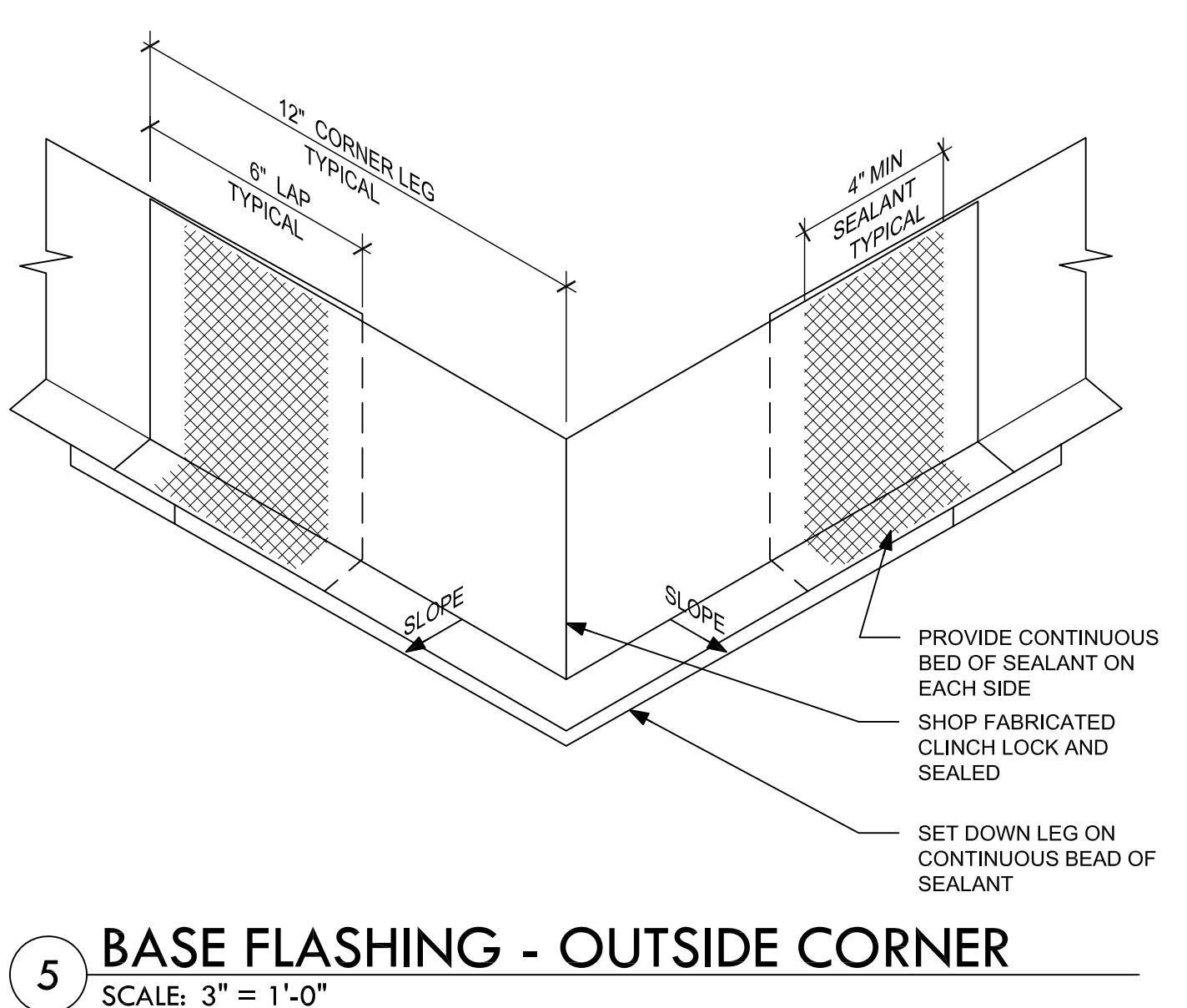
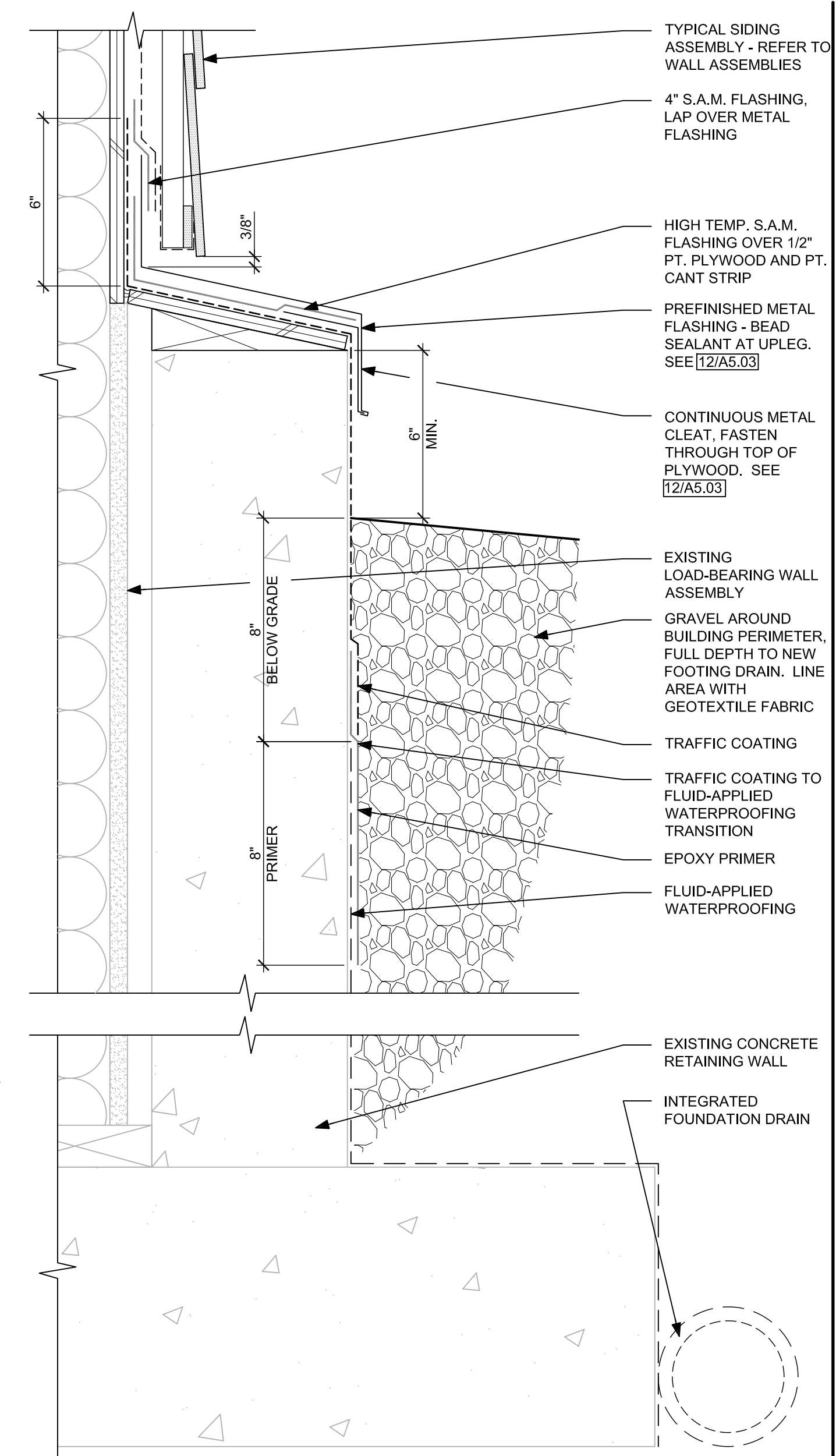
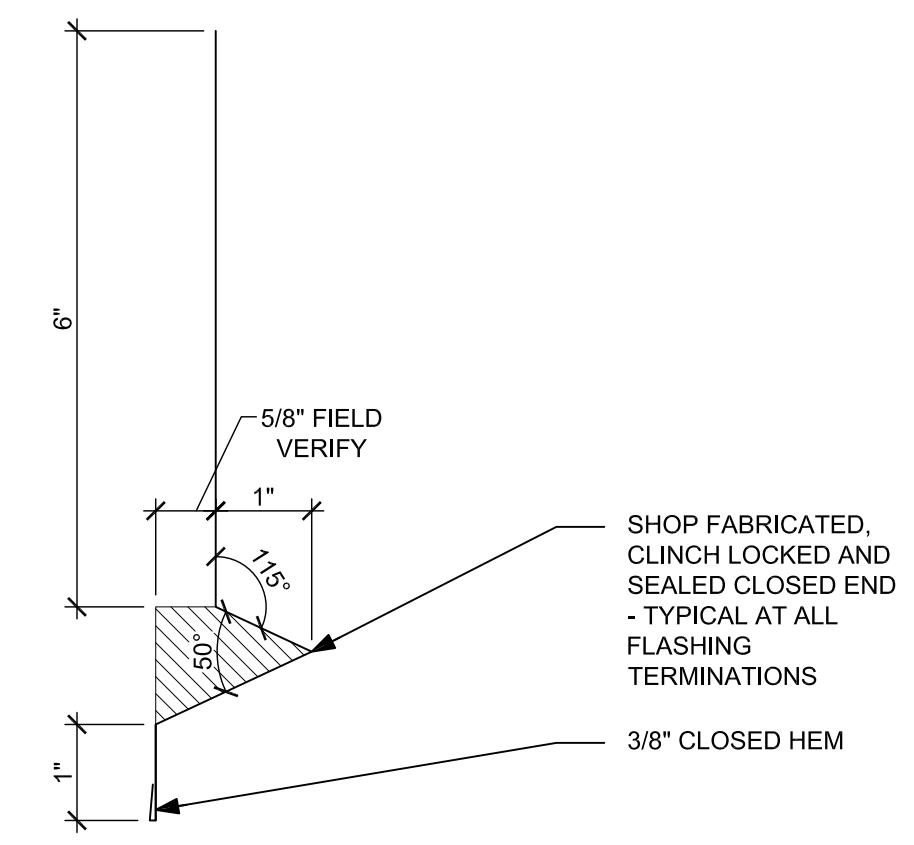
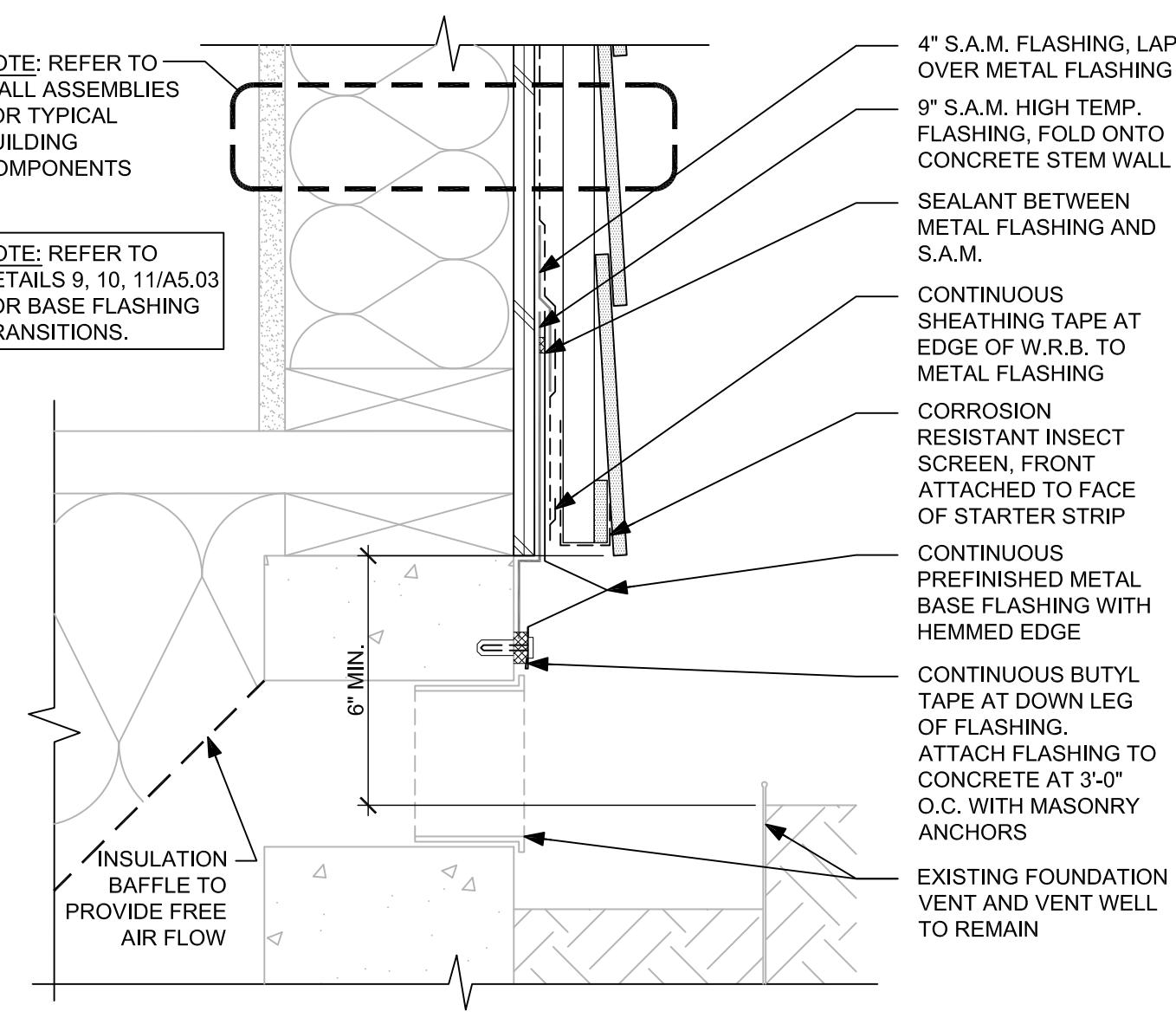
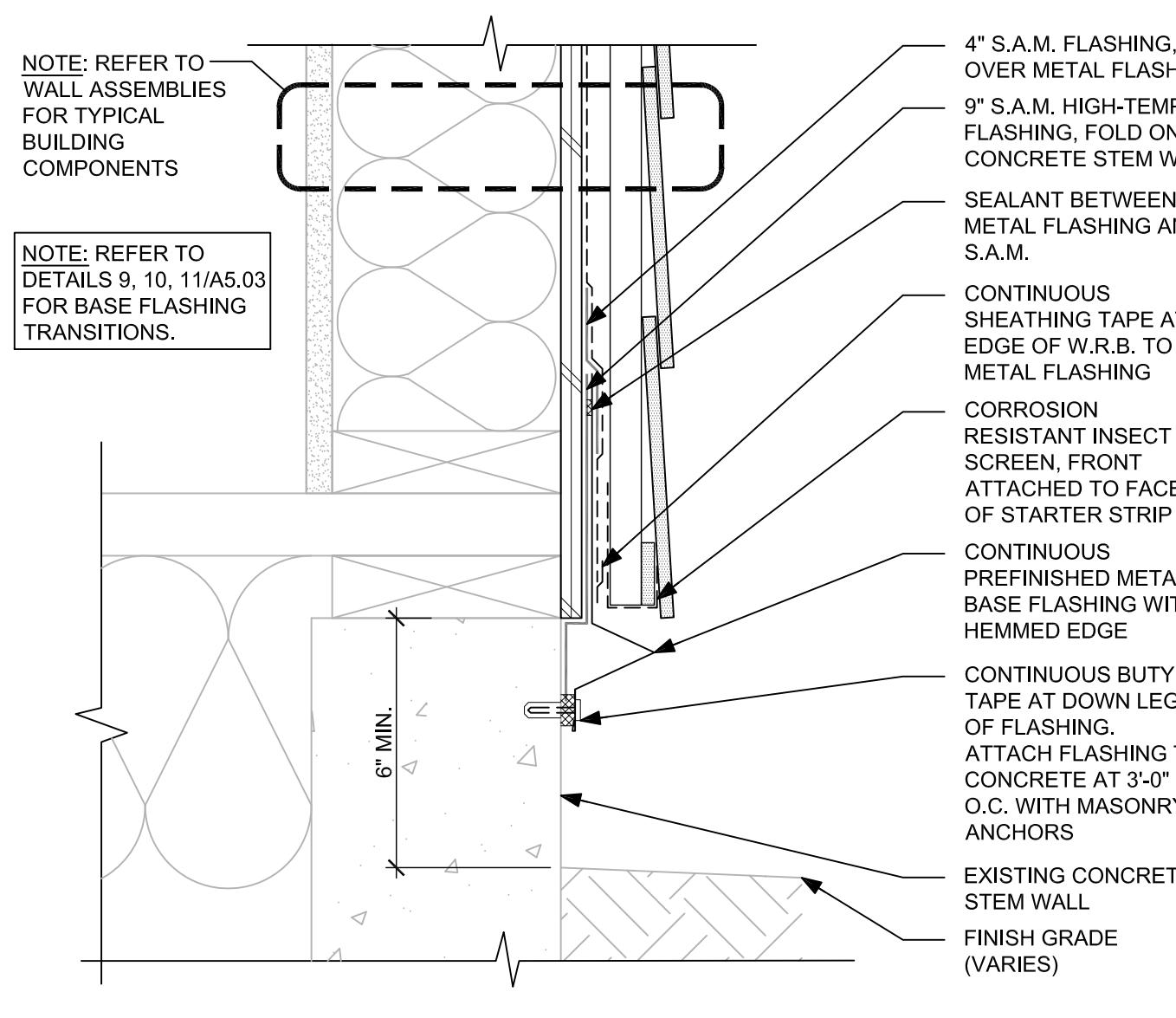


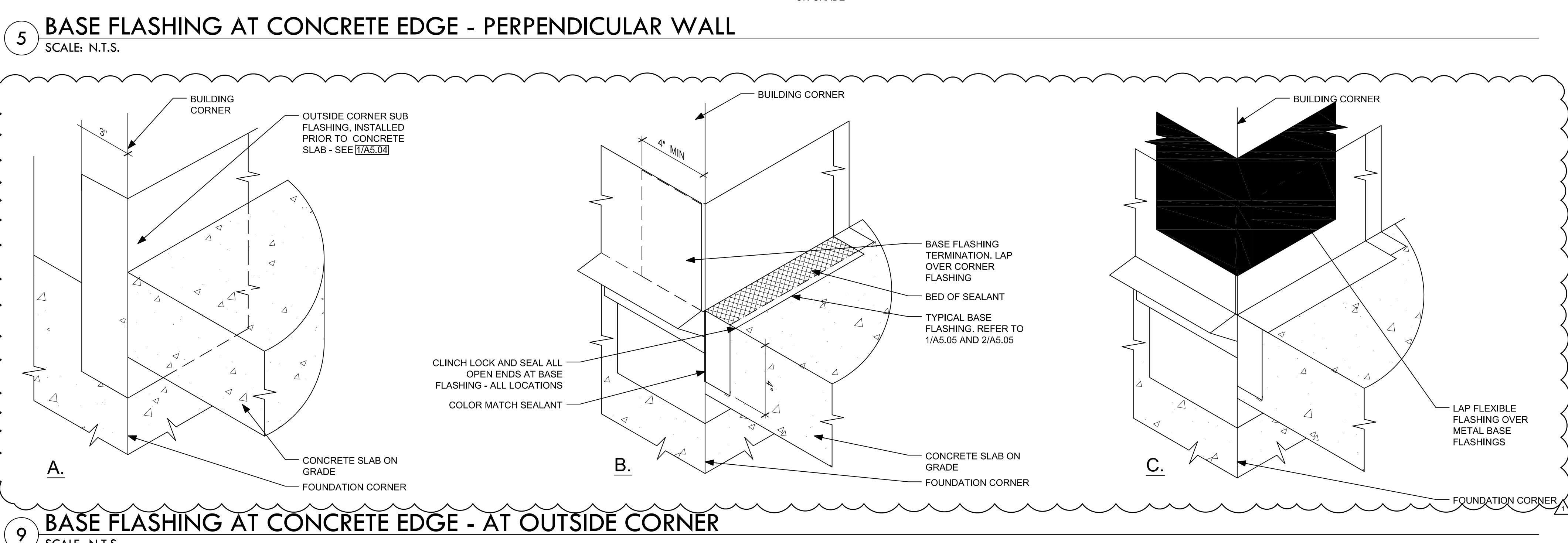
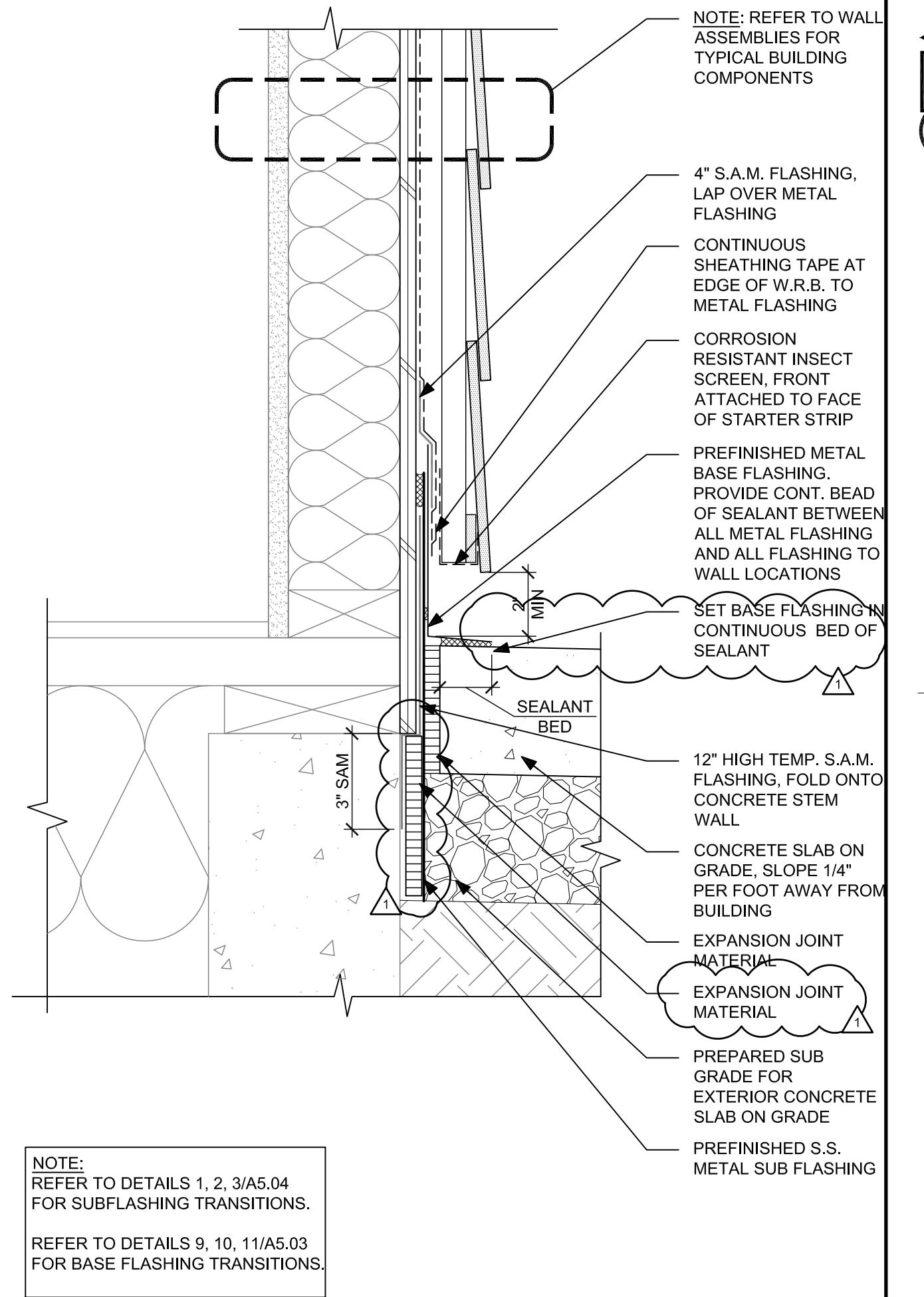
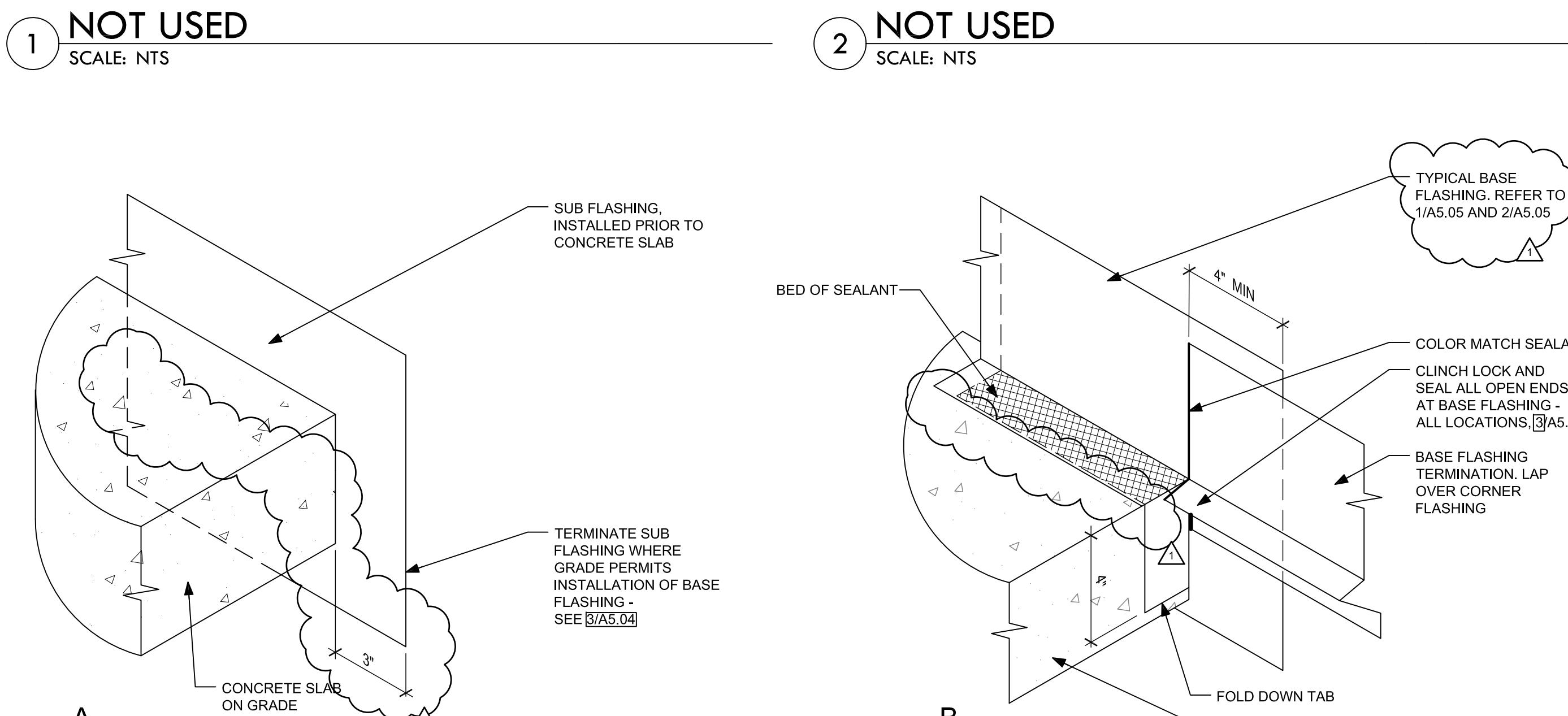
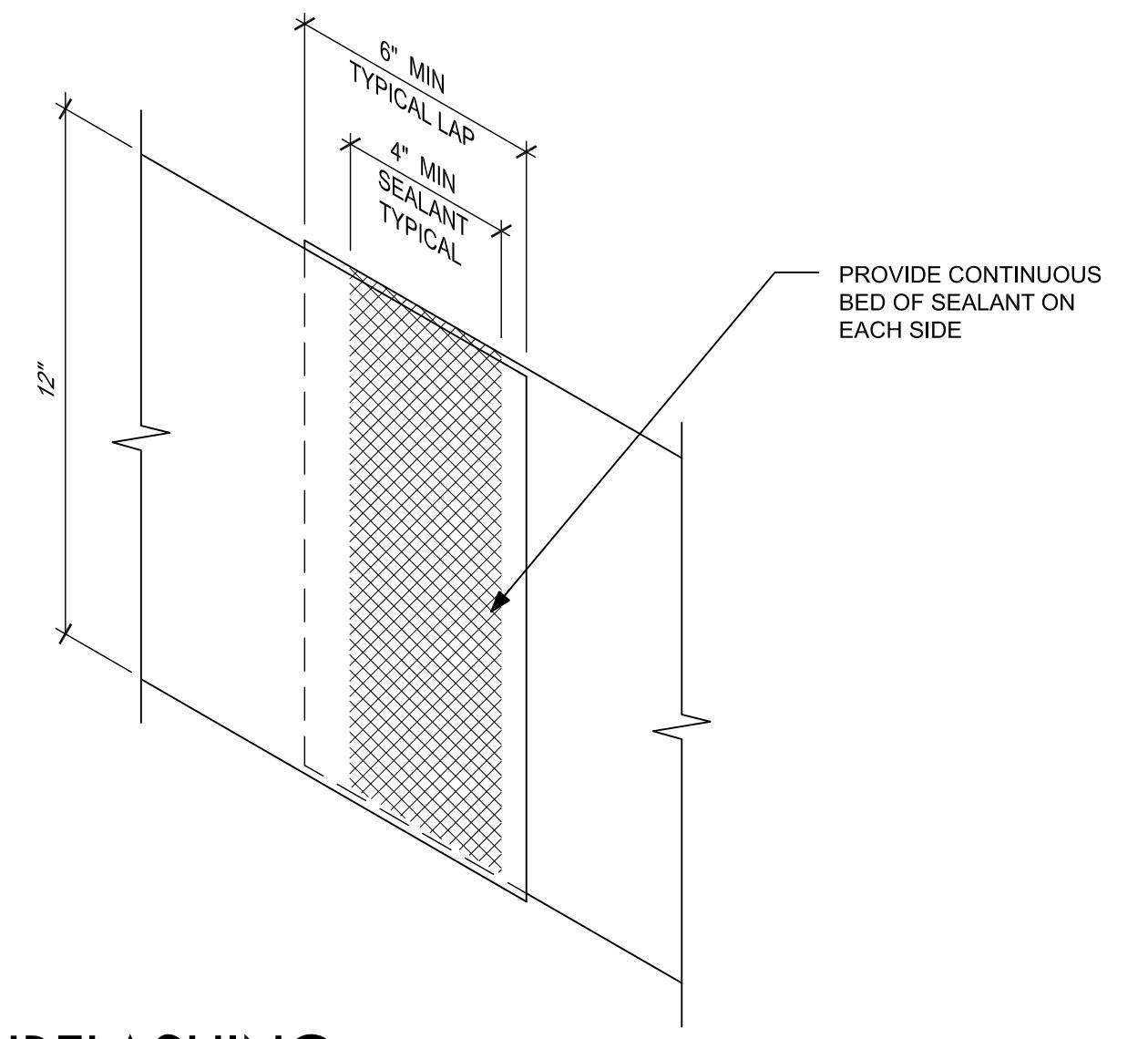
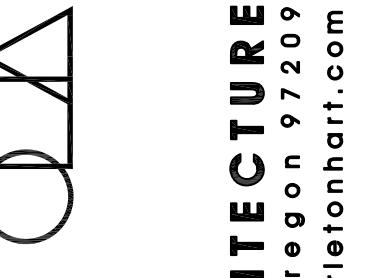
REGISTERED ARCHITECT
BRIAN D. CARLETON
PORTLAND, OREGON
2018
STATE OF OREGON

CARLETON HART ARCHITECTURE
322 NW 8th Avenue Portland, Oregon 97209
carletonhart.com

PARKWAY VILLAGE : WEST
APARTMENT REHABILITATION
SALEM HOUSING AUTHORITY

PERMIT REVIEW / BID SET





REGISTERED ARCHITECT
BRIAN D. CARLETON
PORTLAND, OREGON
2018

PARKWAY VILLAGE : WEST

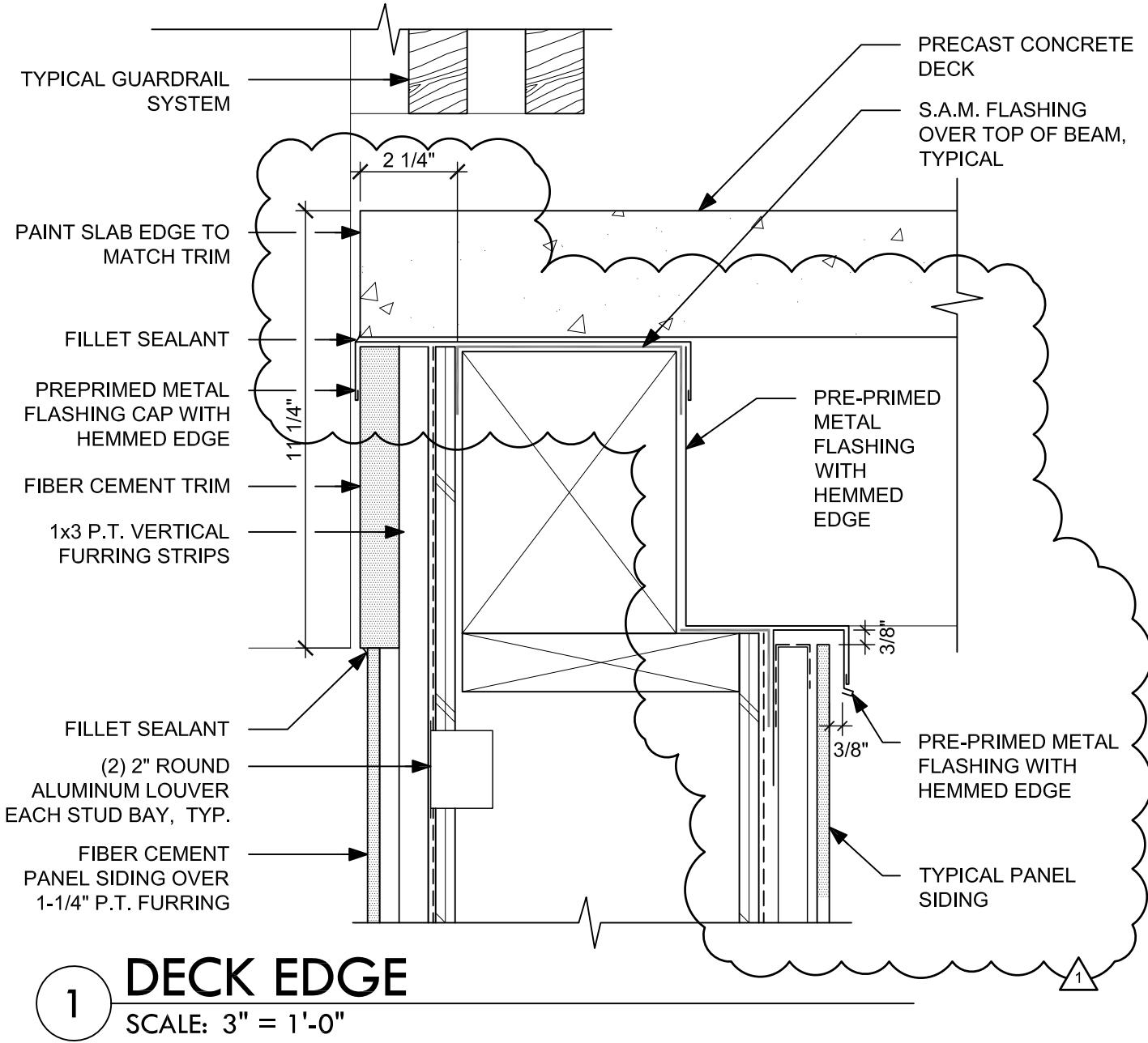
APARTMENT REHABILITATION

SALEM HOUSING AUTHORITY

PERMIT REVIEW / BID SET

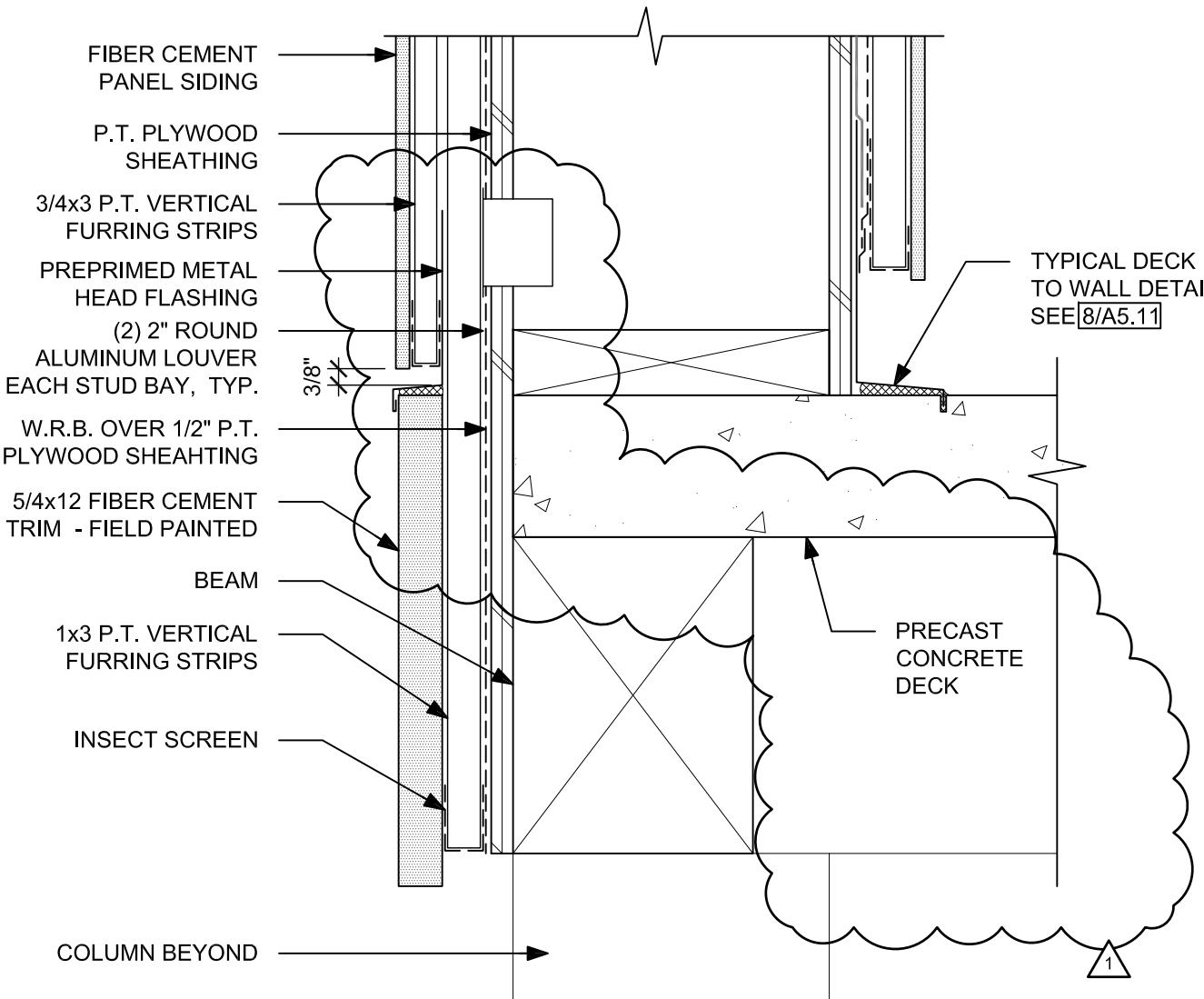
CARLETON HART ARCHITECTURE

322 nw 8th avenue portland, oregon 97209 | t 503 243 3261 | f 503 243 2252 | carletonhart.com



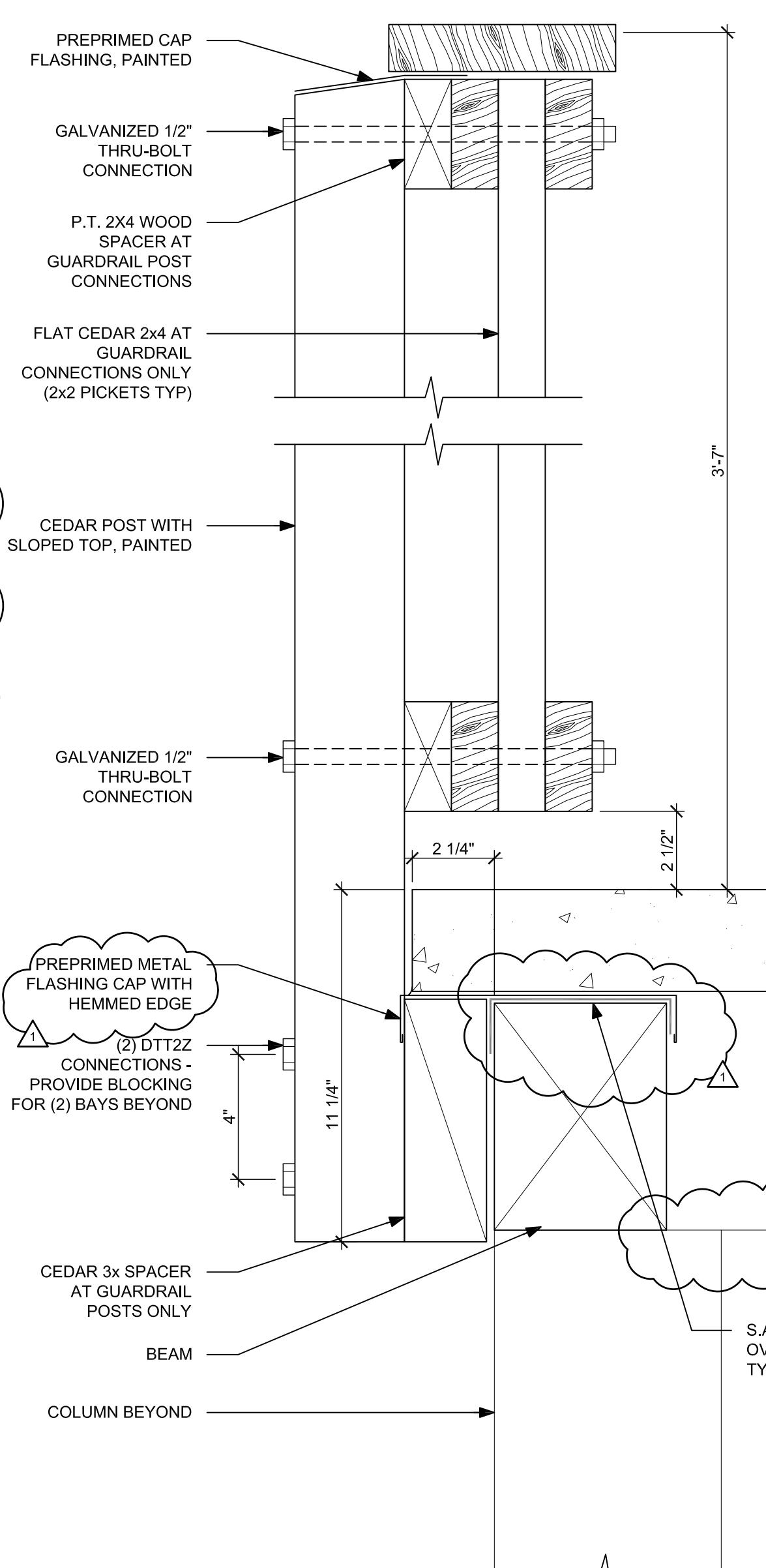
1 DECK EDGE

SCALE: 3" = 1'-0"



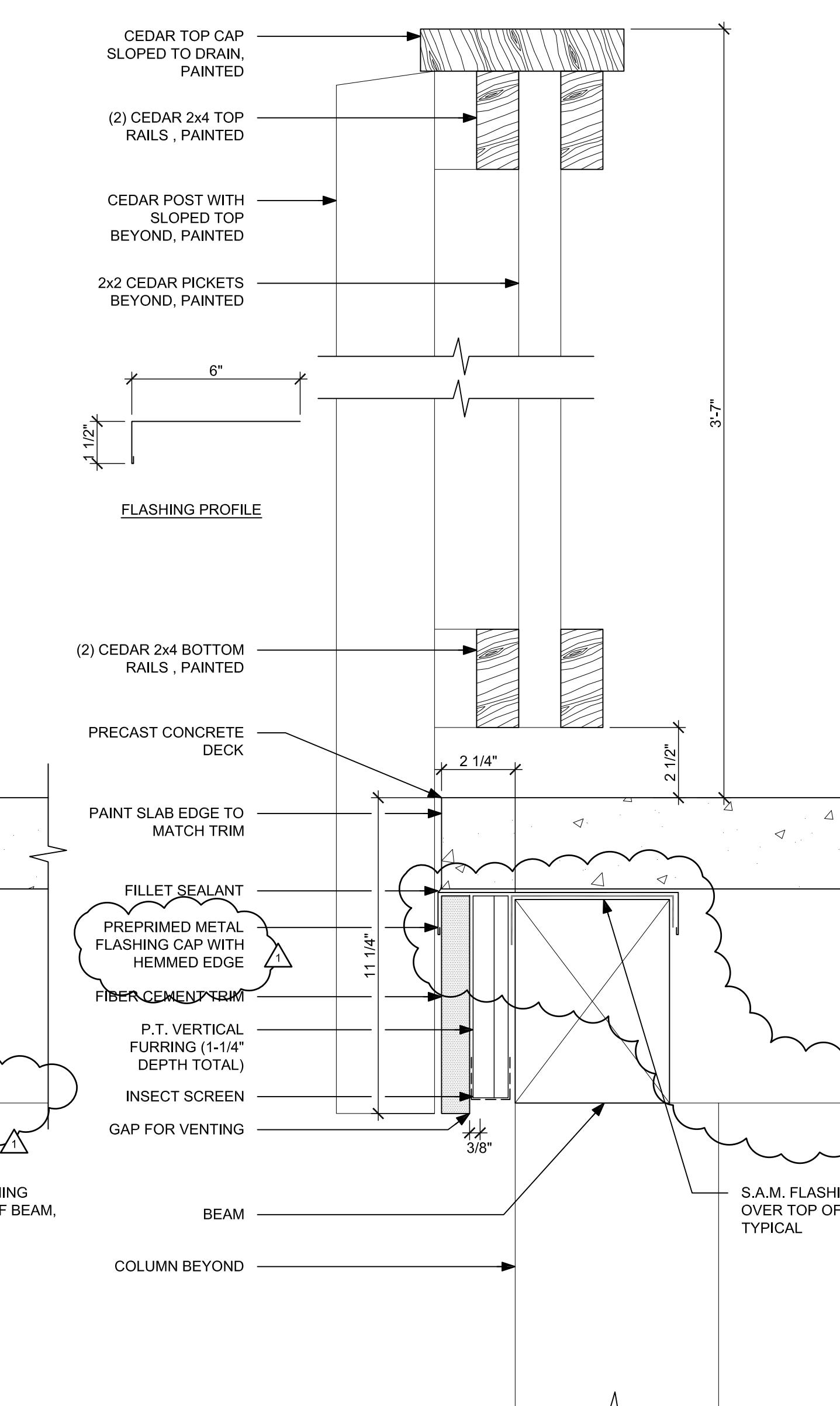
5 DECK EDGE AT FIN WALL

SCALE: 3" = 1'-0"



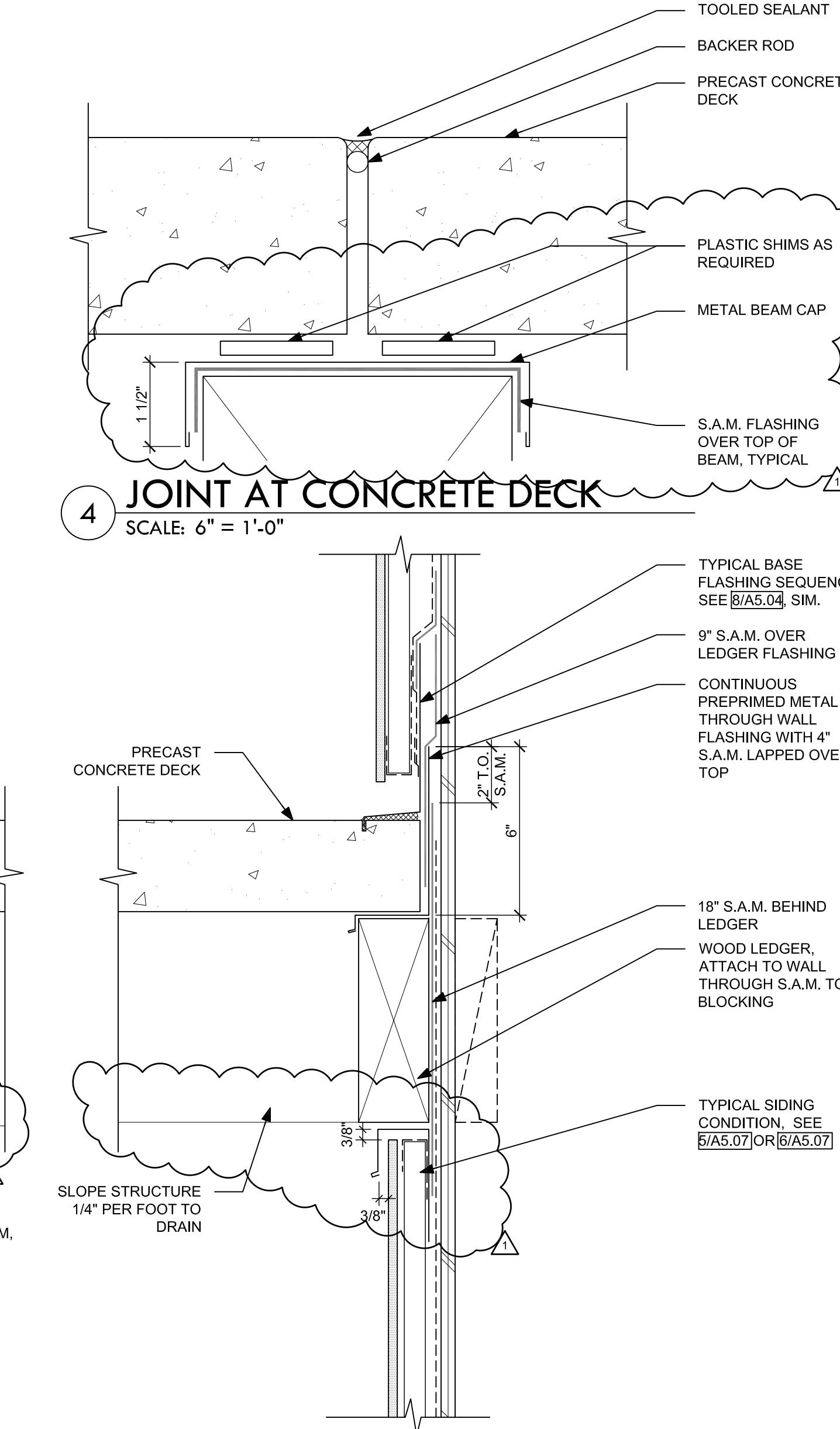
6 GUARDRAIL CONNECTION

SCALE: 3" = 1'-0"



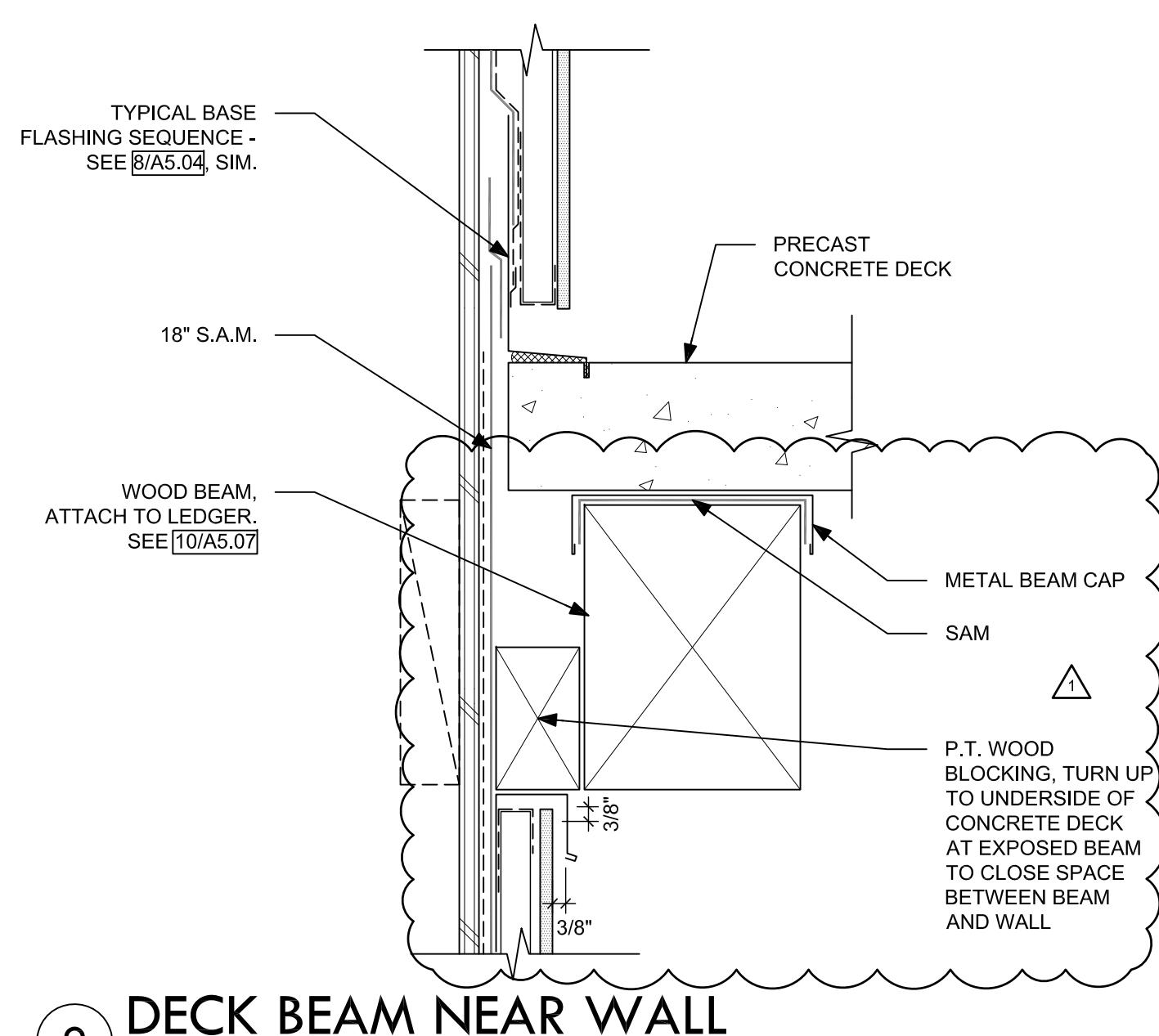
7 DECK EDGE AT GUARDRAIL

SCALE: 3" = 1'-0"



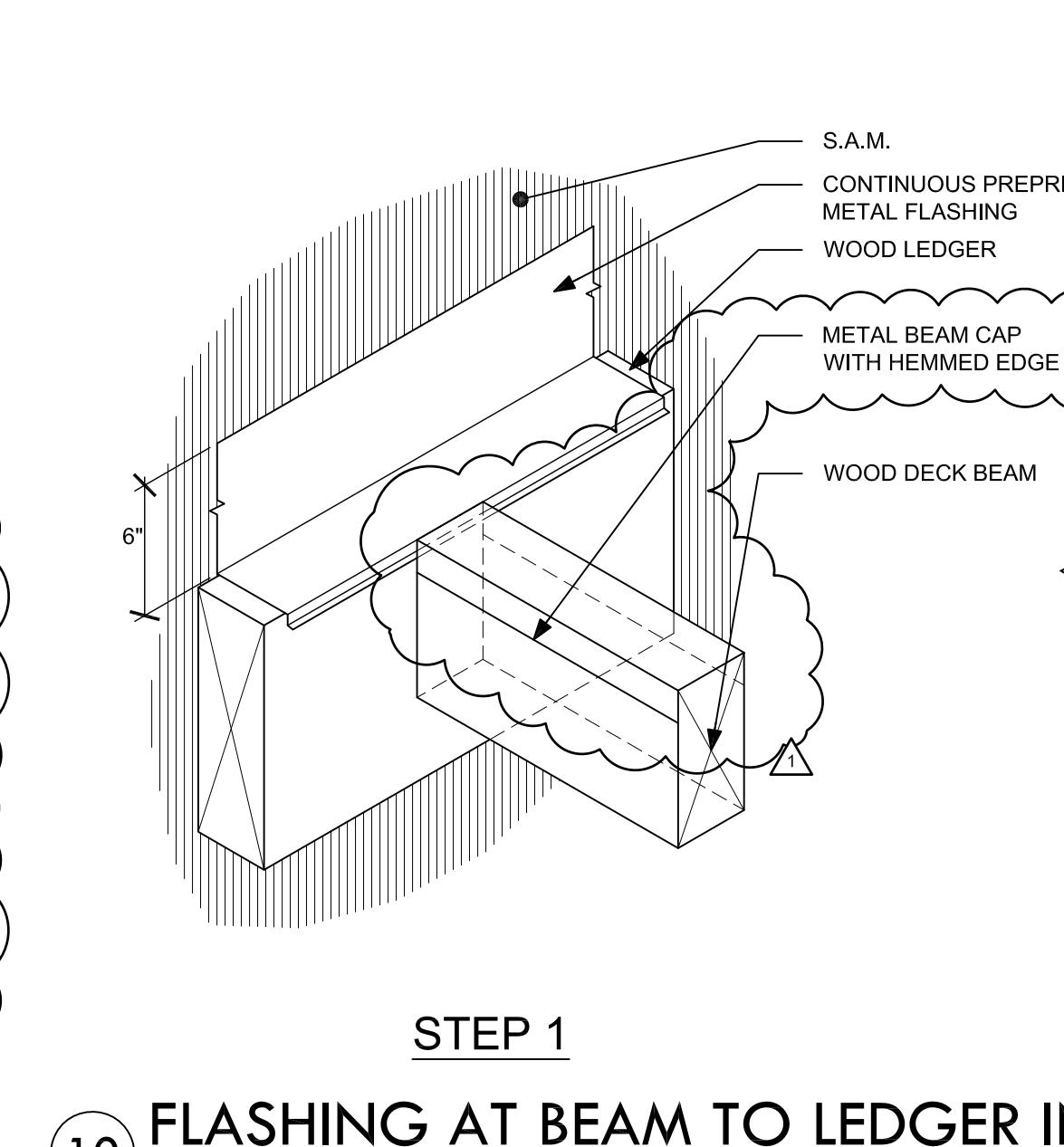
8 DECK LEDGER AT WALL

SCALE: 3" = 1'-0"



9 DECK BEAM NEAR WALL

SCALE: 3" = 1'-0"

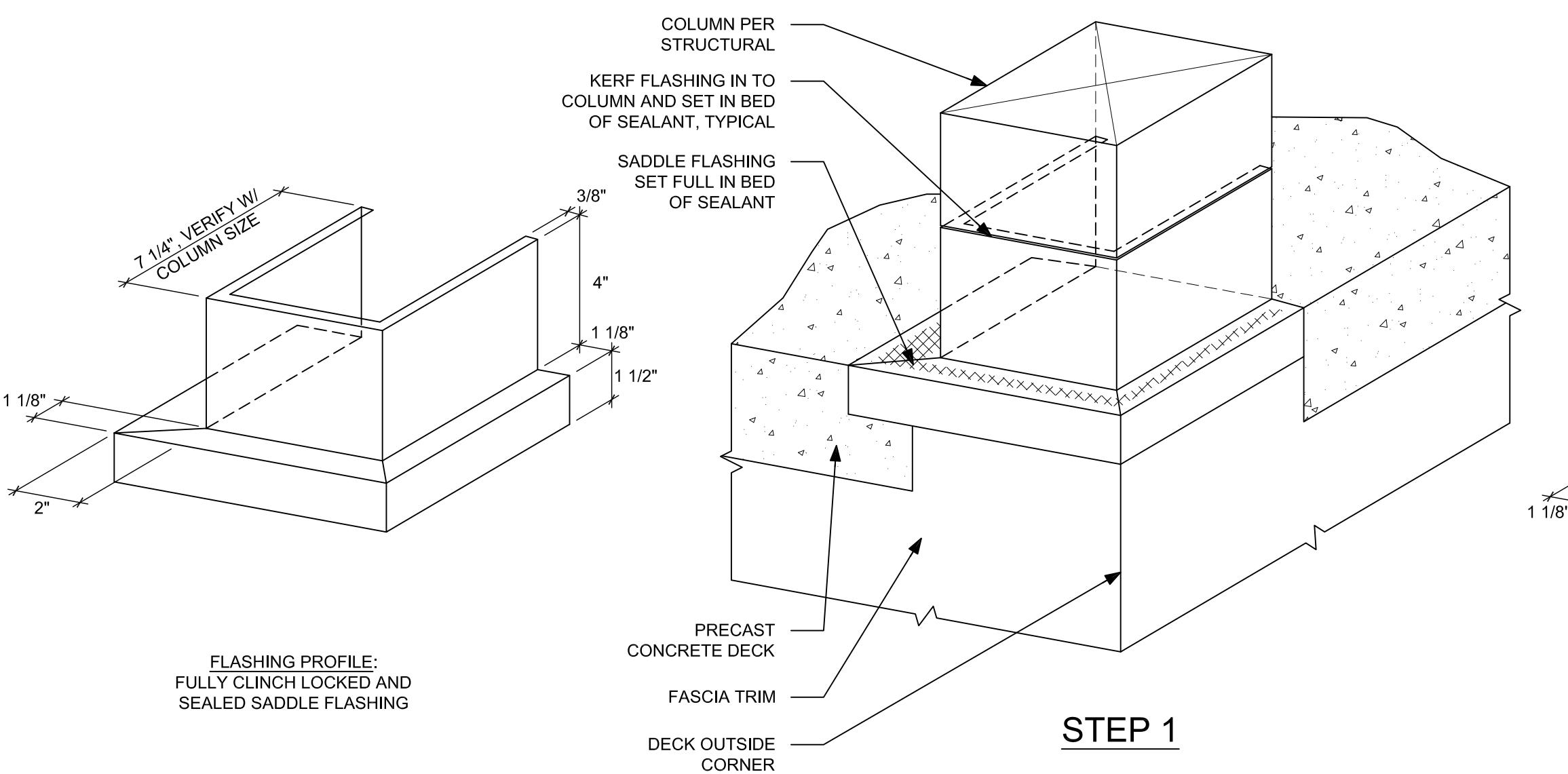


10 FLASHING AT BEAM TO LEDGER INTERSECTION

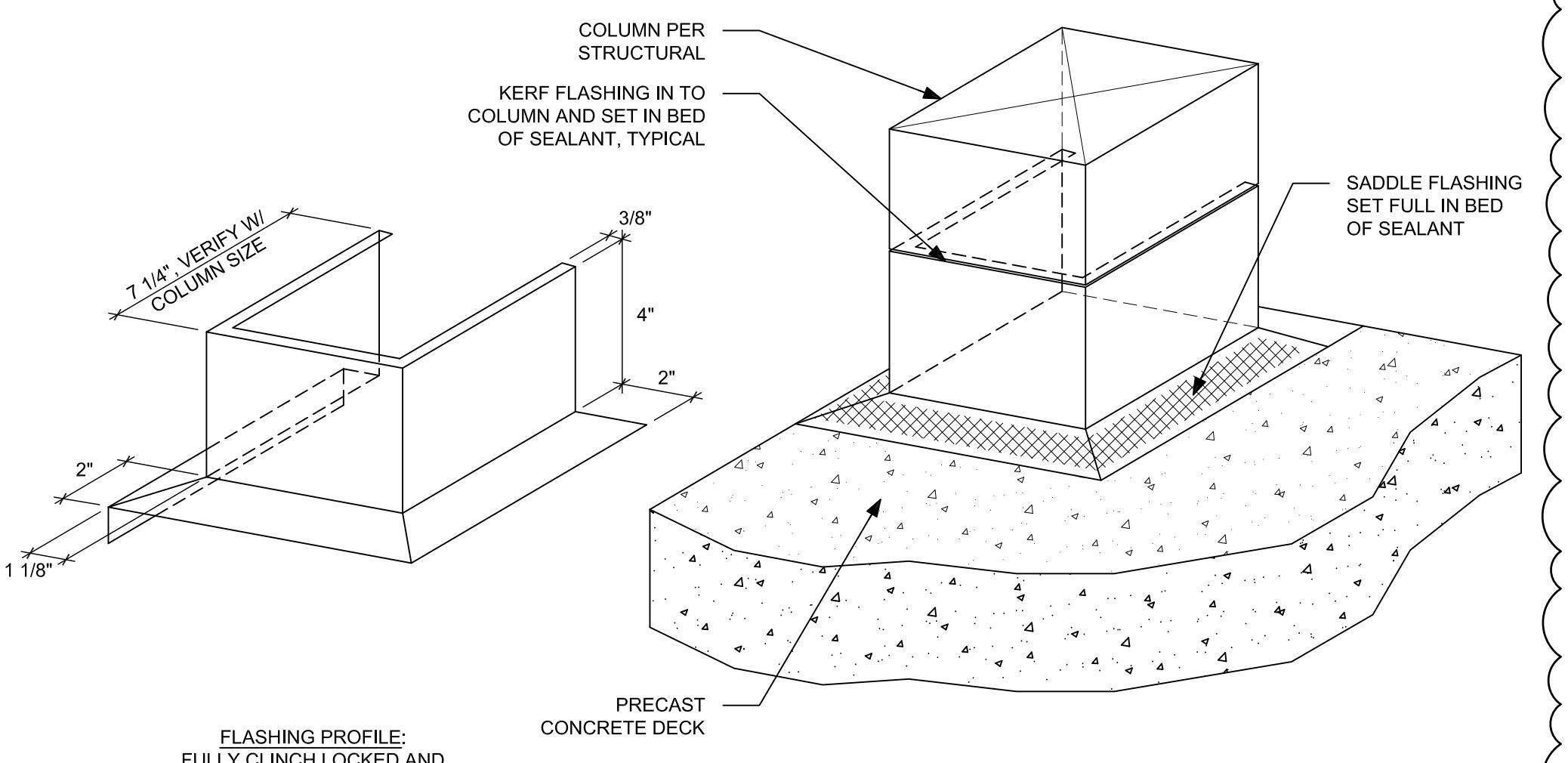
SCALE: N.T.S.

NOTE: SIDING APPLICATION NOT SHOWN FOR CLARITY

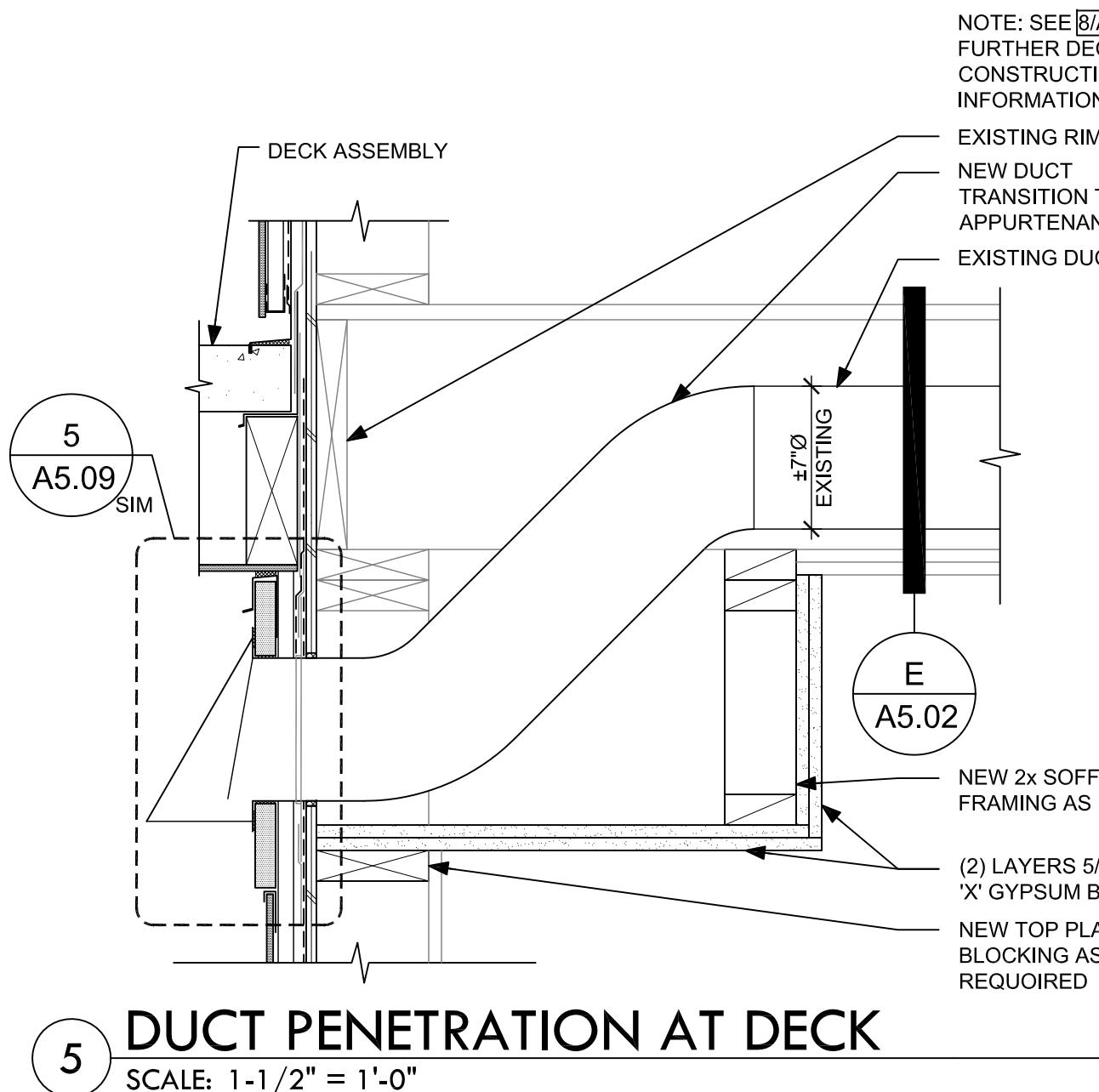
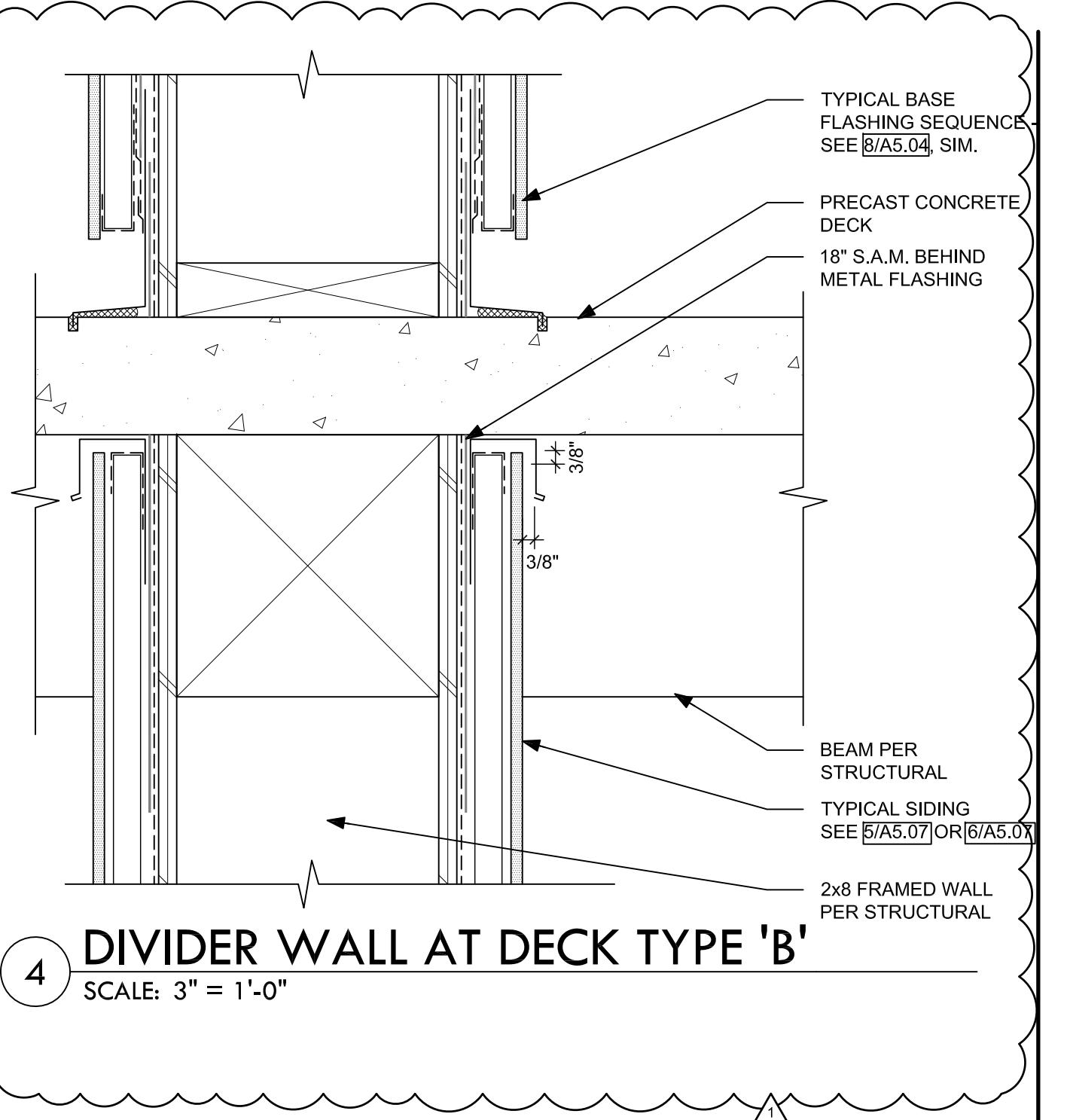
COPYRIGHT - CARLETON HART ARCHITECTURE DO NOT REPRODUCE WITHOUT PERMISSION

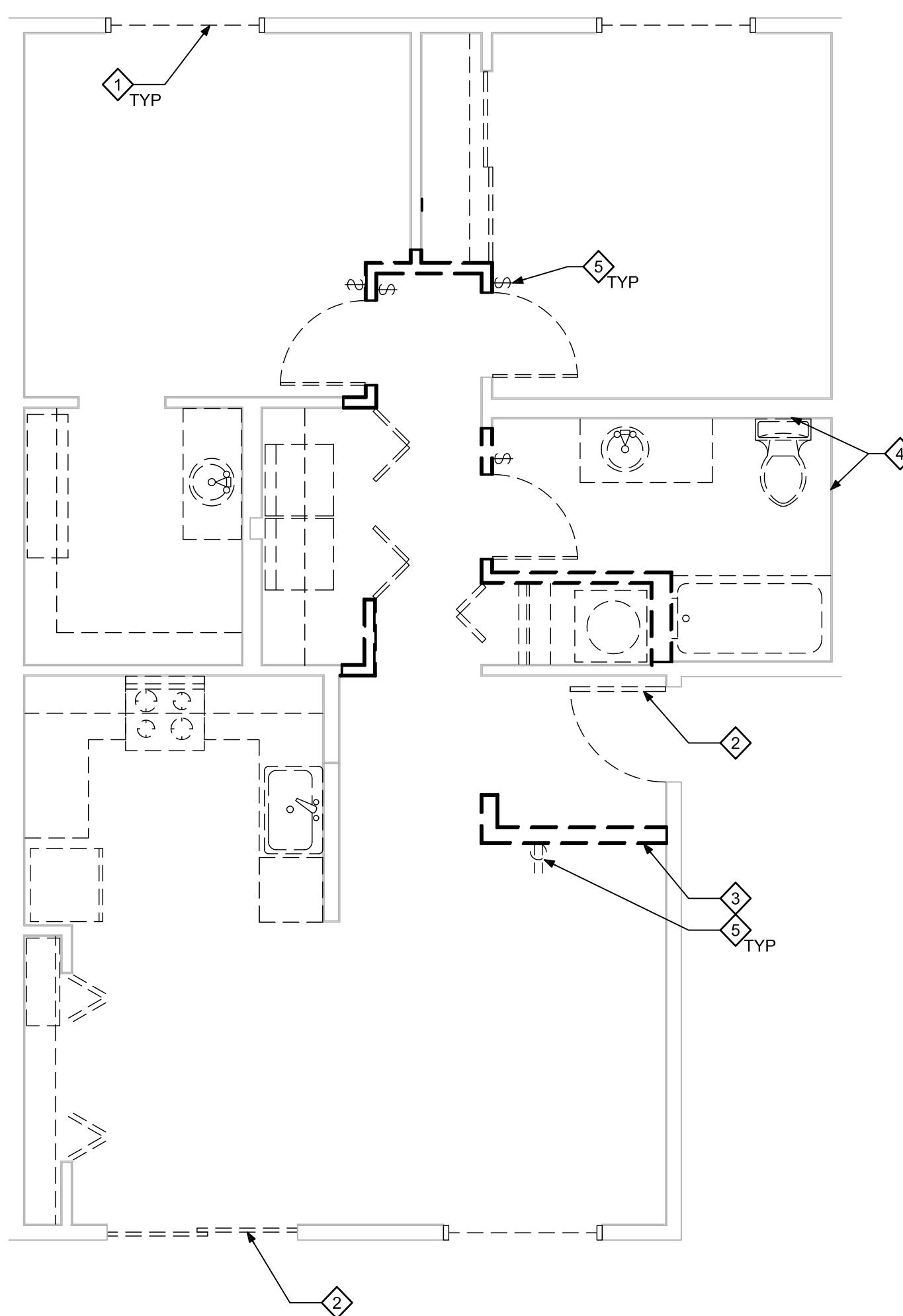


1 2-Piece Flashing at Deck Column
SCALE: N.T.S.



2
(VIEW ROTATED 180°)



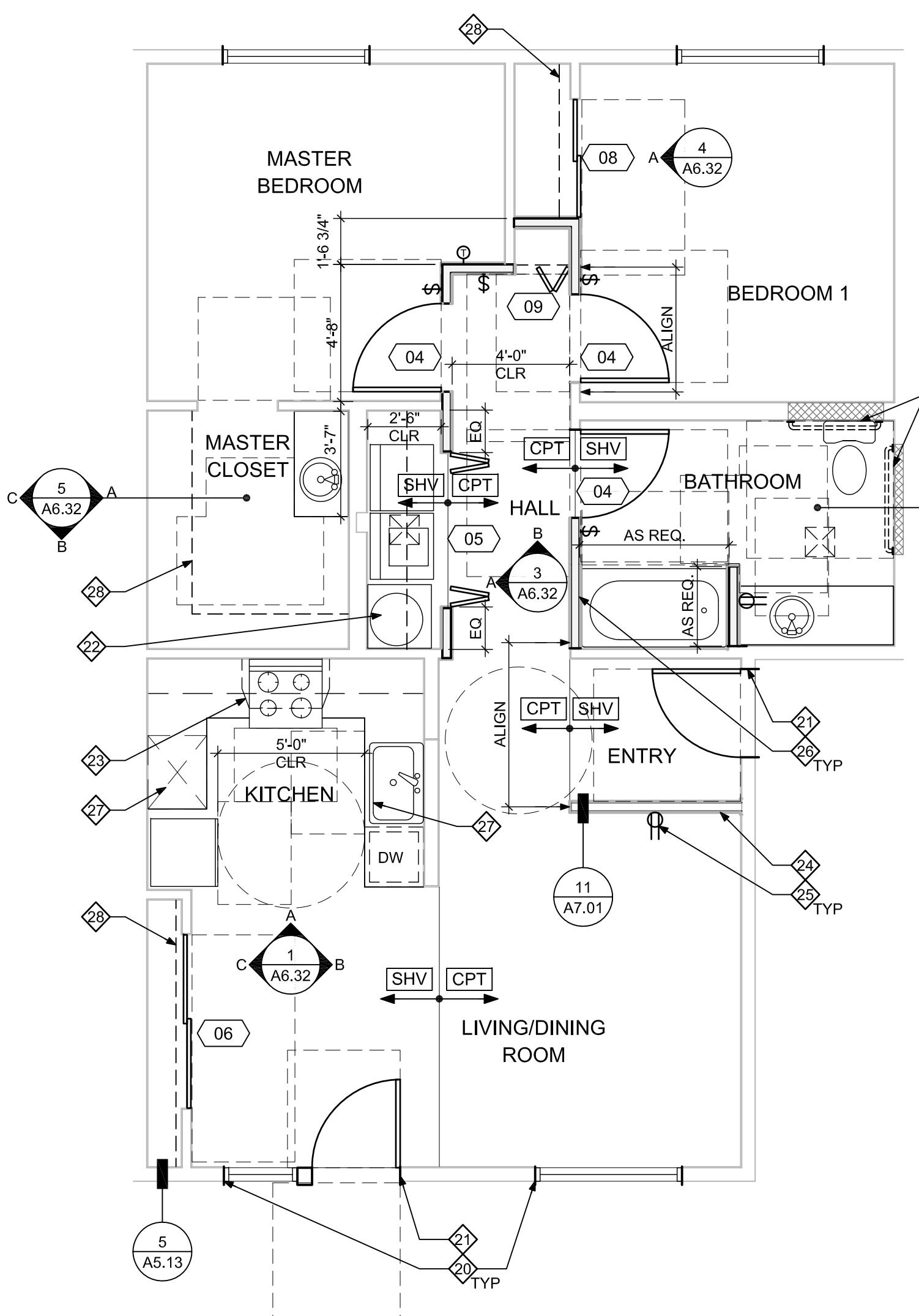


1 EXISTING 2 BEDROOM UNIT PLAN - DEMOLITION

SCALE: 1/4" = 1'-0"

2 ACCESSIBLE 2 BEDROOM UNIT PLAN

SCALE: 1/4" = 1'-0"



DEMOLITION UNIT PLAN KEY NOTES

- ◆ REMOVE (E) EXTERIOR WINDOWS & INTERIOR WOOD SILL, CUT & REMOVE (E) INTERIOR GYP BOARD AS NECESSARY TO ALLOW COMPLETE INSTALLATION OF WRB & ASSOCIATED FLASHINGS, TYP.
- ◆ REMOVE (E) EXTERIOR DOORS & INTERIOR WOOD TRIM, CUT & REMOVE (E) INTERIOR GYP BOARD AS NECESSARY TO ALLOW COMPLETE INSTALLATION OF WRB & ASSOCIATED FLASHINGS, TYP.
- ◆ REMOVE (E) INTERIOR PARTITION IN ITS ENTIRETY, TYP.
- ◆ REMOVE (E) GYP BOARD TO ALLOW WORK TO INTERIOR OF WALL.
- ◆ REMOVE (E) ELECTRICAL CONTROL DEVICE (SWITCH, OUTLET OR THERMOSTAT) & REINSTALL AT ACCEPTABLE HEIGHT IN SAME GENERAL AREA, TYP.

NEW UNIT PLAN KEY NOTES

- ◆ PATCH GYP BOARD AT NEW EXTERIOR WINDOWS & INSTALL NEW PAINT GRADE WOOD SILL, TYP.
- ◆ PATCH GYP BOARD AT NEW EXTERIOR DOORS, TYP.
- ◆ RELOCATED WATER HEATER WITH NEW WATER SUPPLY, POWER & METAL DRIP PAN. ROUTE PRESSURE RELIEF TO EXTERIOR OF BUILDING ENCLosURE.
- ◆ NEW RANGE HOOD, PROVIDE CONNECTION TO (E) METAL DUCT. SEAL ALL DUCT CONNECTIONS & PROVIDE SWITCH AT COUNTER HEIGHT.
- ◆ NEW INTERIOR HALF-WALL PARTITION
- ◆ NEW / REINSTALLED ELECTRICAL CONTROL DEVICE, TYP.
- ◆ NEW GYP BOARD WALL PATCH, TYP.
- ◆ PROVIDE 30" WIDE CLEAR FLOOR AREA UNDER SINK AND WORK AREA. CONTINUE FLOORING BELOW EACH AREA
- ◆ NEW SHELVING. REFER TO INTERIOR ELEVATIONS

UNIT PLAN LEGEND

- DASHED LINE INDICATES WALL/FLOOR TO BE DEMOLISHED
 - DASHED LINE INDICATES ITEM TO BE REMOVED
 - EXISTING ITEM TO REMAIN
 - NEW SHELVING
 - EXISTING WALL TO REMAIN
 - NEW WALL - PARTIAL HEIGHT, NEW HEIGHT TO MATCH EXISTING
 - NEW WALL - FULL HEIGHT
 - NEW BLOCKING FOR GRAB BAR SUPPORT
 - 30" CLEAR WORK SURFACE AT ACCESSIBLE KITCHENS
 - NEW GRAB BAR INSTALLATION AT ACCESSIBLE UNITS
 - NEW VENTILATION FAN
 - NEW THERMOSTAT
 - NEW POWER OUTLET
 - NEW LIGHT SWITCH
- NEW DOOR LOCATION, TYPICAL
-
- SEE PLAN
- 1'-6" MIN
1'-0" MIN

- GENERAL UNIT PLAN NOTES**
- A. DESCRIPTION OF DEMOLITION WORK IS NOT INTENDED TO BE ALL INCLUSIVE. FIELD VERIFICATION OF AREAS, MATERIALS AND SYSTEMS SCHEDULED FOR DEMOLITION AND NEW WORK IS REQUIRED PRIOR TO COMMENCEMENT OF ANY WORK.
 - B. ANY OBSERVED, KNOWN OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING AS A REQUEST FOR INTERPRETATION IN SUCH FORM AS THE ARCHITECT MAY REQUIRE.
 - C. PRESERVE AND PROTECT (E) DATA, TELEPHONE, ELECTRICAL DEVICES (SWITCHES, OUTLETS, ETC.) AND ASSOCIATED CONDUIT AND CONDUCTORS FROM DEVICE LOCATION TO PANEL OR EQUIPMENT. SYSTEMS ARE TO REMAIN IN PLACE U.O.N.
 - D. AT LOCATIONS OF REMOVED OR DEMOLISHED ITEMS AND BUILDING COMPONENTS AND SYSTEMS WHERE ADJACENT SURFACES ARE TO REMAIN, PATCH AND REPAIR AFFECTED SURFACES. PROVIDE FINISH MATERIALS, COLORS AND TEXTURES TO MATCH SURROUNDING SURFACES OR AS INDICATED ON THE FINISH SCHEDULE. PATCHING AND REPAIR TO BE APPLIED FROM CORNER TO CORNER (SIDE/SIDE; TOP/BOTTOM).
 - E. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION AND COORDINATION REGARDING NEW AND REINSTALLED SYSTEMS, DEVICES AND ACCESSORIES MOUNTING HEIGHTS AND APPROXIMATE LOCATIONS.
 - F. REFER TO FLOOR PLANS & EXTERIOR ELEVATIONS FOR ALL EXTERIOR SCOPE OF WORK.
 - G. DIMENSIONS ARE TO FACE OF STUD U.O.N.
 - H. FOR WORK AT (E) WALLS, REMOVE (E) GYP BOARD TO EXPOSE FRAMING & INTERIOR WALL COMPONENTS. REMOVE ENOUGH MATERIAL FROM FRAMING MEMBER TO PERMIT REMOVAL TO ALLOW CLEARANCE TO PERFORM THE WORK, TYP.
 - I. AT ALL ACCESSIBLE UNITS, ITEMS TO BE REMOVED & STORED IN A PROTECTED LOCATION FOR RE-INSTALLATION INCLUDE & ARE NOT LIMITED TO THE FOLLOWING:
 - WATER HEATER - PROVIDE NEW SUPPLY, POWER & DRIP PAN
 - J. AT ALL ACCESSIBLE UNITS, ITEMS TO BE REMOVED & REPLACED WITH NEW INCLUDE & ARE NOT LIMITED TO THE FOLLOWING:
 - INTERIOR DOORS, FRAMES & HARDWARE
 - SHELVING, CLOSET RODS & HARDWARE/LEDGERS
 - COUNTERTOPS, UPPER & LOWER CABINETS
 - ALL FLOOR FINISHES AND BASES
 - ALL BATHROOM ACCESSORIES
 - ALL WINDOW COVERINGS & HARDWARE
 - SINKS, FAUCETS & EXPOSED CONNECTIONS
 - LAVATORIES, FAUCETS & EXPOSED CONNECTIONS
 - TOILETS & SUPPLY LINES
 - BATHTUBS, SURROUNDS, CONTROLS & SHOWERHEADS
 - REFRIGERATORS
 - RANGES
 - RANGE HOODS, PROTECT SOFFITS & DUCTING
 - DISHWASHERS & SUPPLY/WASTE LINES
 - WASHERS & DRYERS
 - VENTILATION FANS IN BATHROOMS & LAUNDRY AREAS
 - K. AT ACCESSIBLE UNITS, ELECTRICAL CONTROL DEVICES SUCH AS SWITCHES, OUTLETS, PANELS & THERMOSTATS THAT DO NOT COMPLY WITH REQUIRED REACH RANGES OF 15" MIN AFF & 48" MAX AFF MUST BE RELOCATED TO COMPLY.
 - L. PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS AT ALL UNITS.
 - M. ALL BATHROOM BASE CABINETRY IN ADAPTABLE UNITS TO BE 34" HIGH WITH A REMOVABLE BASE. SEE INTERIOR ELEVATIONS FOR ACCESSIBLE UNITS.
 - N. ALL KITCHEN CABINETRY IN ADAPTABLE UNITS TO BE 36" HIGH WITH A REMOVABLE BASE. SEE INTERIOR ELEVATIONS FOR ACCESSIBLE UNITS.
 - O. SIGHT & HEARING IMPAIRED UNITS SHALL HAVE VISIBLE NOTIFICATION APPLIANCES TIED TO THE SMOKE DETECTION/ALARM SYSTEM & A HARD-WIRED ELECTRIC DOORBELL.

ENLARGED UNIT PLANS
2 BEDROOM
ACCESSIBLE
PROJ NO.
21345
01.21.14

02.06.14 ADDENDUM #1



CARLETON HART ARCHITECTURE
32 nw 8th avenue portland, oregon 97209 | carletonhart.com

PARKWAY VILLAGE : WEST
APARTMENT REHABILITATION
SALEM HOUSING AUTHORITY

PERMIT REVIEW / BID SET

ENLARGED UNIT PLANS
2 BEDROOM
1ST FLOOR
PROJ. NO.
21345

01.21.14

02.06.14 ADDENDUM #1

COPYRIGHT - CARLETON HART ARCHITECTURE DO NOT REPRODUCE WITHOUT PERMISSION

GENERAL UNIT PLAN NOTES

- A. DESCRIPTION OF DEMOLITION WORK IS NOT INTENDED TO BE ALL INCLUSIVE. FIELD VERIFICATION OF AREAS, MATERIALS AND SYSTEMS SCHEDULED FOR DEMOLITION AND NEW WORK IS REQUIRED PRIOR TO COMMENCEMENT OF ANY WORK.
- B. ANY OBSERVED, KNOWN OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING AS A REQUEST FOR INTERPRETATION IN SUCH FORM AS THE ARCHITECT MAY REQUIRE.
- C. PRESERVE AND PROTECT (E) DATA, TELEPHONE, ELECTRICAL DEVICES (SWITCHES, OUTLETS, ETC.) AND ASSOCIATED CONDUIT AND CONDUCTORS FROM DEVICE LOCATION TO PANEL OR EQUIPMENT. SYSTEMS ARE TO REMAIN IN PLACE U.O.N.
- D. AT LOCATIONS OF REMOVED OR DEMOLISHED ITEMS AND BUILDING COMPONENTS AND SYSTEMS WHERE ADJACENT SURFACES ARE TO REMAIN, PATCH AND REPAIR AFFECTED SURFACES. PROVIDE FINISH MATERIALS, COLORS AND TEXTURES TO MATCH SURROUNDING SURFACES OR AS INDICATED ON THE FINISH SCHEDULE. PATCHING AND REPAIR TO BE APPLIED FROM CORNER TO CORNER (SIDE/SIDE; TOP/BOTTOM).
- E. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION AND COORDINATION REGARDING NEW AND REINSTALLED SYSTEMS, DEVICES AND ACCESSORIES MOUNTING HEIGHTS AND APPROXIMATE LOCATIONS.
- F. REFER TO FLOOR PLANS & EXTERIOR ELEVATIONS FOR ALL EXTERIOR SCOPE OF WORK.
- G. DIMENSIONS ARE TO FACE OF STUD U.O.N.

DEMOLITION UNIT PLAN KEY NOTES

REMOVE (E) EXTERIOR WINDOWS & INTERIOR WOOD SILL. CUT & REMOVE (E) INTERIOR GYP BOARD AS NECESSARY TO ALLOW COMPLETE INSTALLATION OF WRB & ASSOCIATED FLASHINGS, TYP.

REMOVE (E) EXTERIOR DOORS & INTERIOR WOOD TRIM. CUT & REMOVE (E) INTERIOR GYP BOARD AS NECESSARY TO ALLOW COMPLETE INSTALLATION OF WRB & ASSOCIATED FLASHING, TYP.

- I. AT ALL 1ST FLOOR NON-ACCESSIBLE UNITS, ITEMS TO BE REMOVED & STORED IN A PROTECTED LOCATION FOR RE-INSTALLATION INCLUDE & ARE NOT LIMITED TO THE FOLLOWING:

- WATER HEATER - PROVIDE NEW SUPPLY, POWER & Drip PAN
- WASHER & DRYER - EXCEPT AT ACCESSIBLE UNITS
- REFRIGERATOR, RANGE & DISHWASHER - EXCEPT AT ACCESSIBLE UNITS
- GARBAGE DISPOSALS AT SINKS

- J. AT ALL 1ST FLOOR NON-ACCESSIBLE UNITS, ITEMS TO BE REMOVED & REPLACED WITH NEW INCLUDE & ARE NOT LIMITED TO THE FOLLOWING:

- COUNTERTOPS, UPPER & LOWER CABINETS
- ALL FLOOR FINISHES AND BASES
- SINKS, FAUCETS & EXPOSED CONNECTIONS
- LAVATORIES, FAUCETS & EXPOSED CONNECTIONS
- TOILETS & SUPPLY LINES
- BATHTUBS, SURROUNDS, CONTROLS & SHOWERHEADS
- RANGE HOODS, PROTECT SOFFITS & DUCTING
- VENTILATION FANS IN BATHROOMS & LAUNDRY AREAS

- K. SIGHT & HEARING IMPAIRED UNITS SHALL HAVE VISIBLE NOTIFICATION APPLIANCES TIED TO THE SMOKE DETECTION/ALARM SYSTEM & A HARD-WIRED ELECTRIC DOORBELL.

NEW UNIT PLAN KEY NOTES

PATCH GYP BOARD AT NEW EXTERIOR WINDOWS & INSTALL NEW PAINT GRADE WOOD SILL, TYP.

PATCH GYP BOARD AT NEW EXTERIOR DOORS, TYP.

EXISTING WATER HEATER TO BE REINSTALLED. PROVIDE NEW SUPPLY, POWER & METAL Drip PAN. ROUTE PRESSURE RELIEF TO EXTERIOR OF BUILDING ENCLOSURE.

NEW RANGE HOOD, PROVIDE CONNECTION TO (E) METAL Duct. SEAL ALL Duct CONNECTIONS.

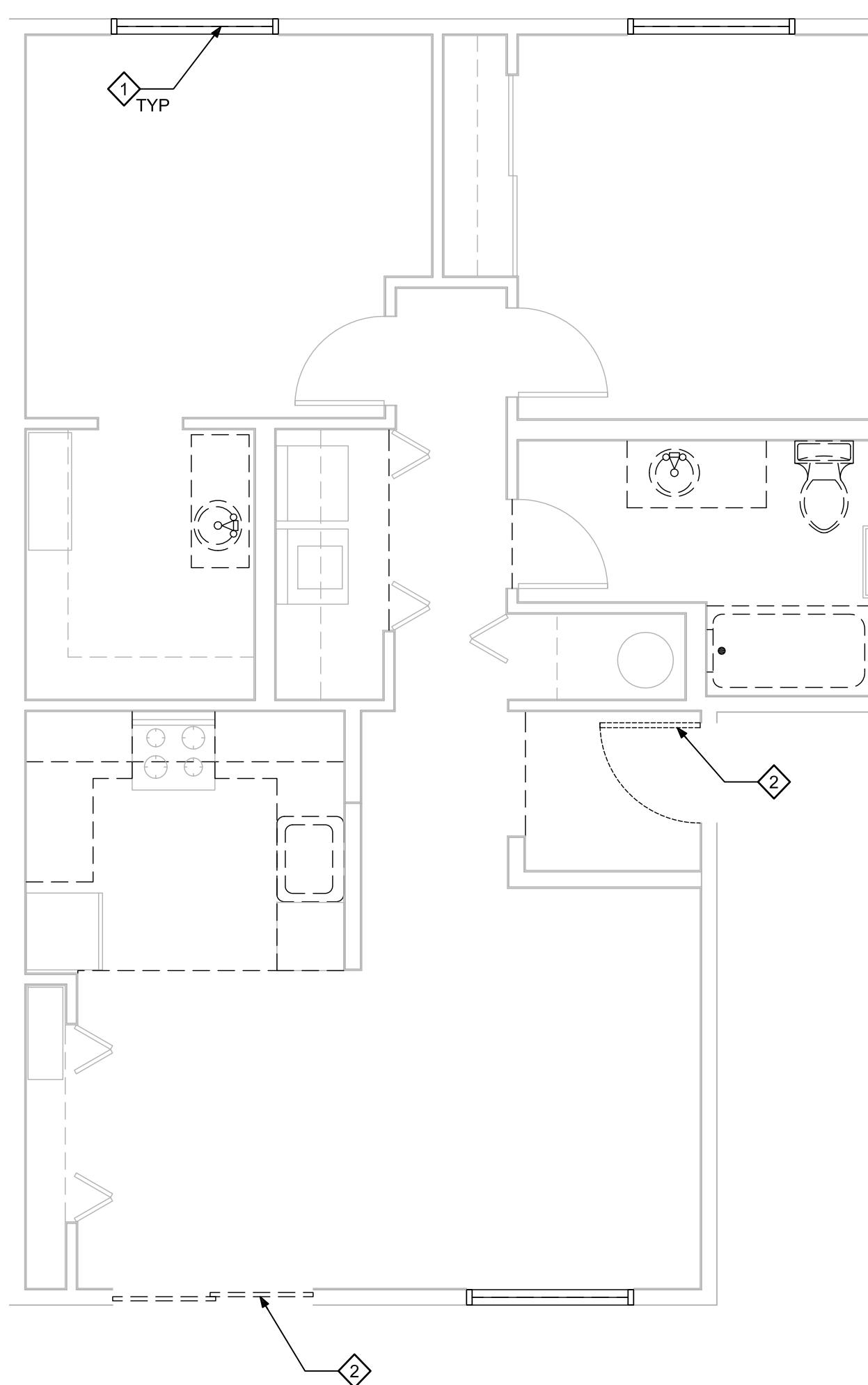
UNIT PLAN LEGEND

— DASHED LINE INDICATES ITEM TO BE REMOVED

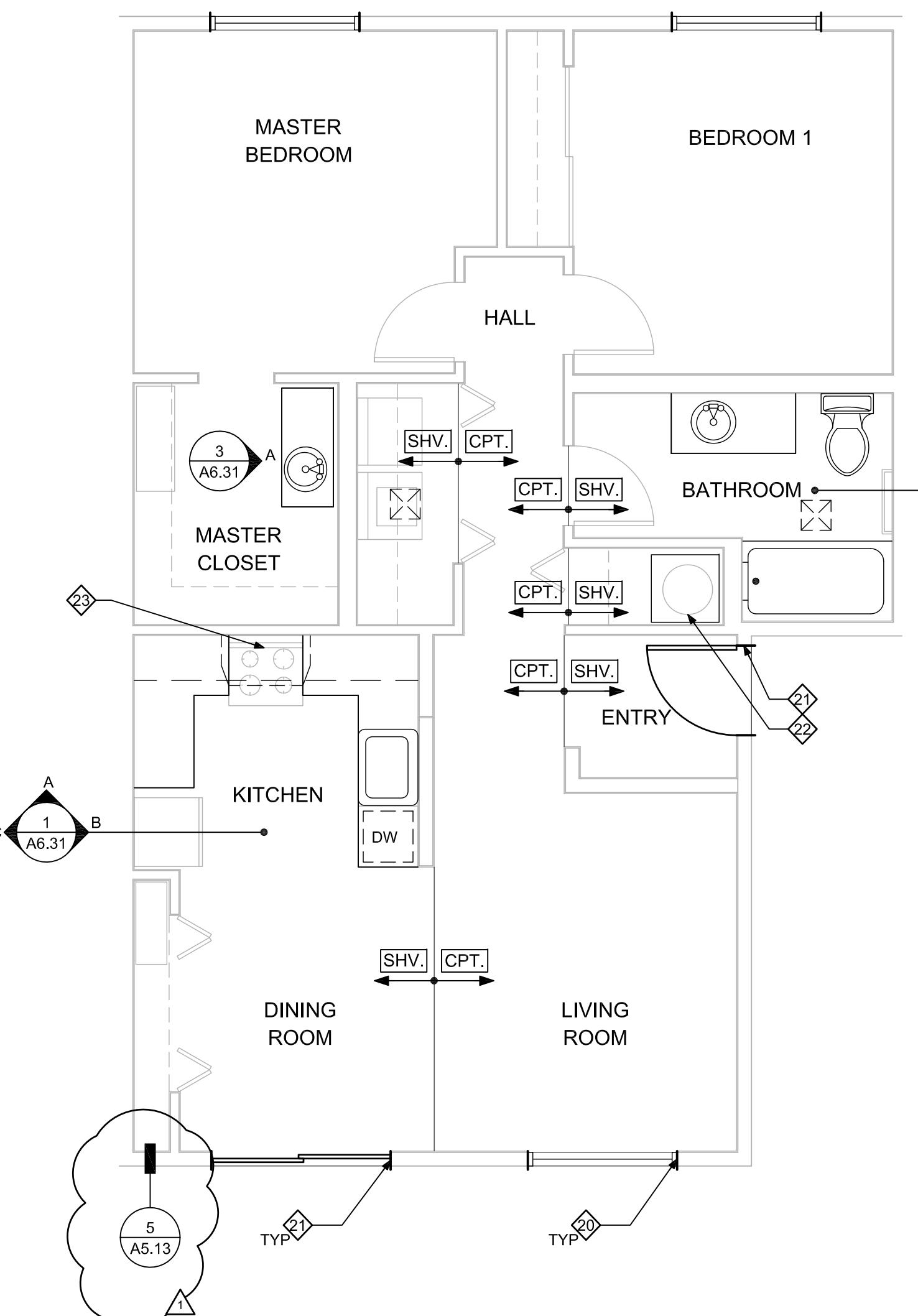
— EXISTING ITEM TO REMAIN

— EXISTING WALL TO REMAIN

NEW VENTILATION FAN



1 TYPICAL EXISTING 2 BEDROOM UNIT PLAN - DEMO
SCALE: 1/4" = 1'-0"



2 TYPICAL NEW 2 BEDROOM UNIT PLAN
SCALE: 1/4" = 1'-0"

A6.02

GENERAL UNIT PLAN NOTES

- A. DESCRIPTION OF DEMOLITION WORK IS NOT INTENDED TO BE ALL INCLUSIVE. FIELD VERIFICATION OF AREAS, MATERIALS AND SYSTEMS SCHEDULED FOR DEMOLITION AND NEW WORK IS REQUIRED PRIOR TO COMMENCEMENT OF ANY WORK.
- B. ANY OBSERVED, KNOWN OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING AS A REQUEST FOR INTERPRETATION IN SUCH FORM AS THE ARCHITECT MAY REQUIRE.
- C. PRESERVE AND PROTECT (E) DATA, TELEPHONE, ELECTRICAL DEVICES (SWITCHES, OUTLETS, ETC.) AND ASSOCIATED CONDUIT AND CONDUCTORS FROM DEVICE LOCATION TO PANEL OR EQUIPMENT. SYSTEMS ARE TO REMAIN IN PLACE U.O.N.
- D. AT LOCATIONS OF REMOVED OR DEMOLISHED ITEMS AND BUILDING COMPONENTS AND SYSTEMS WHERE ADJACENT SURFACES ARE TO REMAIN, PATCH AND REPAIR AFFECTED SURFACES. PROVIDE FINISH MATERIALS, COLORS AND TEXTURES TO MATCH SURROUNDING SURFACES OR AS INDICATED ON THE FINISH SCHEDULE. PATCHING AND REPAIR TO BE APPLIED FROM CORNER TO CORNER (SIDE/SIDE; TOP/BOTTOM).
- E. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION AND COORDINATION REGARDING NEW AND REINSTALLED SYSTEMS, DEVICES AND ACCESSORIES MOUNTING HEIGHTS AND APPROXIMATE LOCATIONS.
- F. REFER TO FLOOR PLANS & EXTERIOR ELEVATIONS FOR ALL EXTERIOR SCOPE OF WORK.
- G. DIMENSIONS ARE TO FACE OF STUD U.O.N.

H. FOR WORK AT (E) WALLS, REMOVE (E) GYP BOARD TO EXPOSE FRAMING & INTERIOR WALL COMPONENTS. REMOVE ENOUGH MATERIAL FROM FRAMING MEMBER TO PERMIT MEMBER TO ALLOW CLEARANCE TO PERFORM THE WORK, TYP.

I. AT ALL ACCESSIBLE UNITS, ITEMS TO BE REMOVED & STORED IN A PROTECTED LOCATION FOR RE-INSTALLATION INCLUDE & ARE NOT LIMITED TO THE FOLLOWING:

- WATER HEATER - PROVIDE NEW SUPPLY, POWER & Drip PAN

J. AT ALL ACCESSIBLE UNITS, ITEMS TO BE REMOVED & REPLACED WITH NEW INCLUDE & ARE NOT LIMITED TO THE FOLLOWING:

- INTERIOR DOORS, FRAMES & HARDWARE
- SHELVING, CLOSET RODS & HARDWARE/LEDGERS
- COUNTERTOPS, UPPER & LOWER CABINETS
- ALL FLOOR FINISHES AND BASES
- ALL BATHROOM ACCESSORIES
- ALL WINDOW COVERINGS & HARDWARE
- SINKS, FAUCETS & EXPOSED CONNECTIONS
- LAVATORIES, FAUCETS & EXPOSED CONNECTIONS
- TOILETS & SUPPLY LINES
- BATHTUBS, SURROUNDS, CONTROLS & SHOWERHEADS
- REFRIGERATORS
- RANGES
- RANGE HOODS, PROTECT SOFFITS & DUCTING
- DISHWASHERS & SUPPLY/WASTE LINES
- WASHERS & DRYERS
- VENTILATION FANS IN BATHROOMS & LAUNDRY AREAS

DEMOLITION UNIT PLAN KEY NOTES

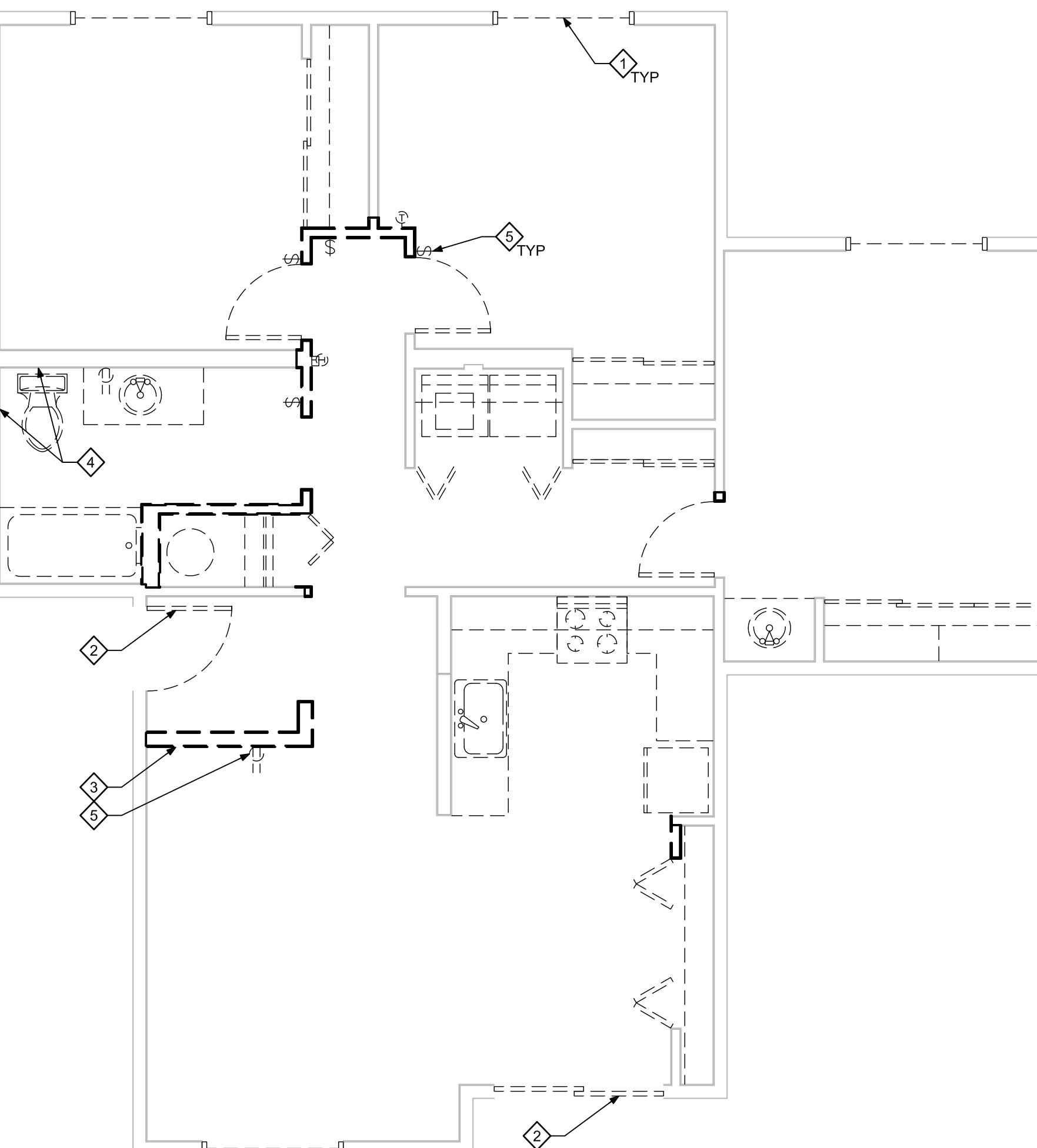
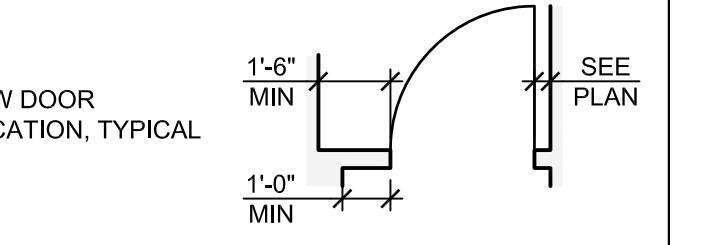
- ◇ REMOVE (E) EXTERIOR WINDOWS & INTERIOR WOOD SILL, CUT & REMOVE (E) INTERIOR GYP BOARD AS NECESSARY TO ALLOW COMPLETE INSTALLATION OF WRB & ASSOCIATED FLASHINGS, TYP.
- ◇ REMOVE (E) EXTERIOR DOORS & INTERIOR WOOD TRIM, CUT & REMOVE (E) INTERIOR GYP BOARD AS NECESSARY TO ALLOW COMPLETE INSTALLATION OF WRB & ASSOCIATED FLASHINGS, TYP.
- ◇ REMOVE (E) INTERIOR PARTITION IN ITS ENTIRETY, TYP.
- ◇ REMOVE (E) GYP BOARD TO ALLOW WORK TO INTERIOR OF WALL.
- ◇ REMOVE (E) ELECTRICAL CONTROL DEVICE (SWITCH, OUTLET OR THERMOSTAT) & REINSTALL AT ACCEPTABLE HEIGHT IN SAME GENERAL AREA, TYP.

NEW UNIT PLAN KEY NOTES

- ◇ PATCH GYP BOARD AT NEW EXTERIOR WINDOWS & INSTALL NEW PAINT GRADE WOOD SILL, TYP.
- ◇ PATCH GYP BOARD AT NEW EXTERIOR DOORS, TYP.
- ◇ RELOCATED WATER HEATER WITH NEW WATER SUPPLY, POWER & METAL Drip PAN. ROUTE PRESSURE RELIEF TO EXTERIOR OF BUILDING ENCLOSURE.
- ◇ NEW RANGE HOOD, PROVIDE CONNECTION TO (E) METAL Duct. SEAL ALL Duct CONNECTIONS & PROVIDE SWITCH AT COUNTER HEIGHT.
- ◇ NEW INTERIOR HALF-WALL PARTITION
- ◇ NEW / REINSTALLED ELECTRICAL CONTROL DEVICE, TYP.
- ◇ NEW GYP BOARD WALL PATCH, TYP.
- ◇ PROVIDE 30" WIDE CLEAR FLOOR AREA UNDER SINK AND WORK AREA. CONTINUE FLOORING BELOW EACH AREA
- ◇ NEW SHELVING. REFER TO INTERIOR ELEVATIONS

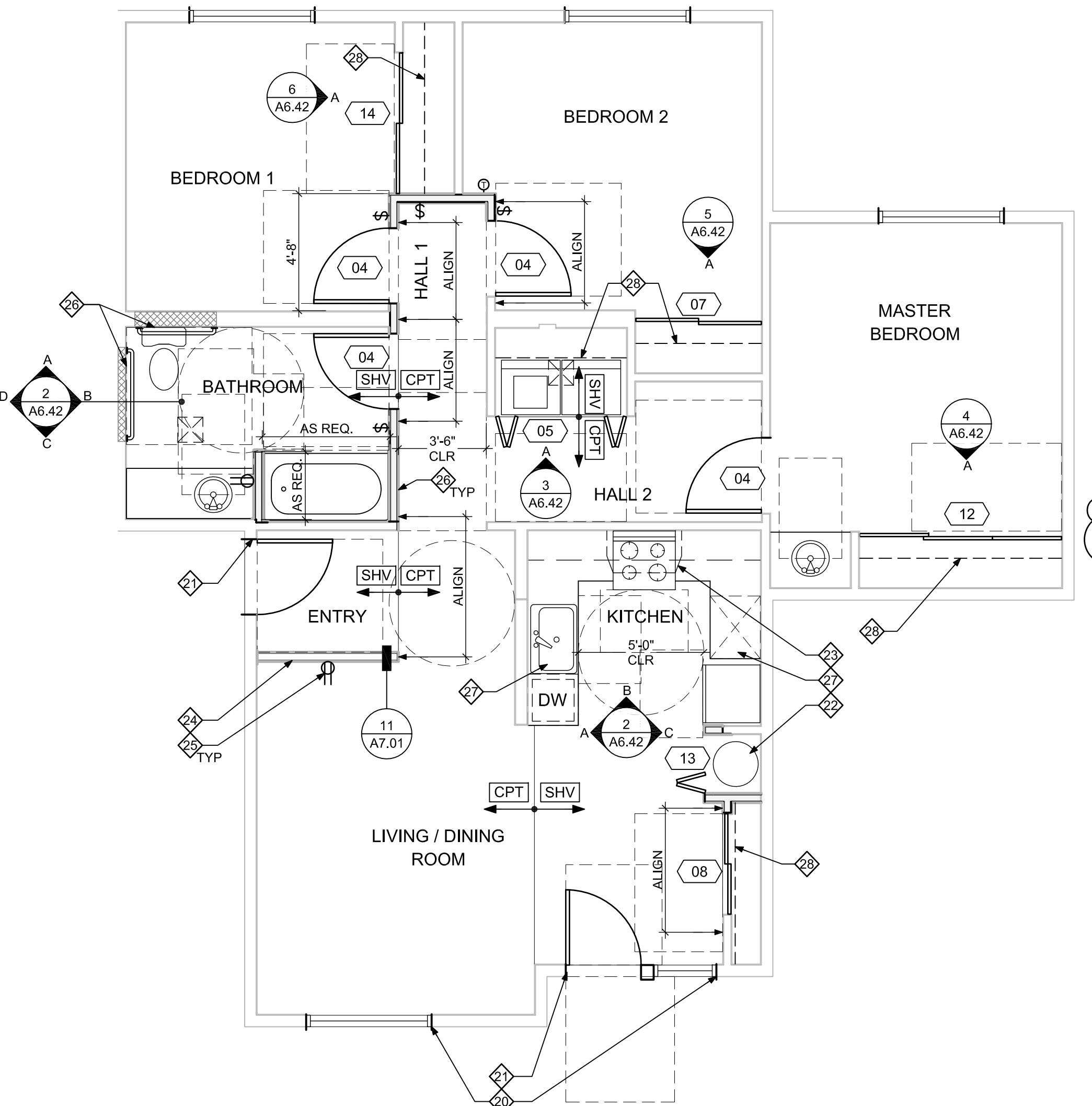
UNIT PLAN LEGEND

- DASHED LINE INDICATES WALL/FLOOR TO BE DEMOLISHED
- DASHED LINE INDICATES ITEM TO BE REMOVED
- EXISTING ITEM TO REMAIN
- NEW SHELVING
- EXISTING WALL TO REMAIN
- NEW WALL - PARTIAL HEIGHT, NEW HEIGHT TO MATCH EXISTING
- NEW WALL - FULL HEIGHT
- NEW BLOCKING FOR GRAB BAR SUPPORT
- 30" CLEAR WORK SURFACE AT ACCESSIBLE KITCHENS
- NEW GRAB BAR INSTALLATION AT ACCESSIBLE UNITS
- NEW VENTILATION FAN
- NEW THERMOSTAT
- NEW POWER OUTLET
- NEW LIGHT SWITCH



1 EXISTING 3 BED 1 BATH UNIT PLAN - DEMOLITION

SCALE: 1/4" = 1'-0"



2 ACCESSIBLE 3 BED 1 BATH UNIT PLAN

SCALE: 1/4" = 1'-0"



CARLETON HART ARCHITECTURE
322 NW 8th Avenue Portland, Oregon 97209
carletonhart.com

PARKWAY VILLAGE : WEST
APARTMENT REHABILITATION
SALEM HOUSING AUTHORITY

PERMIT REVIEW / BID SET

322 NW 8th Avenue Portland, Oregon 97209
t 503 243 3261 | f 503 243 2252

GENERAL UNIT PLAN NOTES

- A. DESCRIPTION OF DEMOLITION WORK IS NOT INTENDED TO BE ALL INCLUSIVE. FIELD VERIFICATION OF AREAS, MATERIALS AND SYSTEMS SCHEDULED FOR DEMOLITION AND NEW WORK IS REQUIRED PRIOR TO COMMENCEMENT OF ANY WORK.
- B. ANY OBSERVED, KNOWN OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING AS A REQUEST FOR INTERPRETATION IN SUCH FORM AS THE ARCHITECT MAY REQUIRE.
- C. PRESERVE AND PROTECT (E) DATA, TELEPHONE, ELECTRICAL DEVICES (SWITCHES, OUTLETS, ETC.) AND ASSOCIATED CONDUIT AND CONDUCTORS FROM DEVICE LOCATION TO PANEL OR EQUIPMENT. SYSTEMS ARE TO REMAIN IN PLACE U.O.N.
- D. AT LOCATIONS OF REMOVED OR DEMOLISHED ITEMS AND BUILDING COMPONENTS AND SYSTEMS WHERE ADJACENT SURFACES ARE TO REMAIN, PATCH AND REPAIR AFFECTED SURFACES. PROVIDE FINISH MATERIALS, COLORS AND TEXTURES TO MATCH SURROUNDING SURFACES OR AS INDICATED ON THE FINISH SCHEDULE. PATCHING AND REPAIR TO BE APPLIED FROM CORNER TO CORNER (SIDE/SIDE; TOP/BOTTOM).
- E. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION AND COORDINATION REGARDING NEW AND REINSTALLED SYSTEMS, DEVICES AND ACCESSORIES MOUNTING HEIGHTS AND APPROXIMATE LOCATIONS.
- F. REFER TO FLOOR PLANS & EXTERIOR ELEVATIONS FOR ALL EXTERIOR SCOPE OF WORK.
- G. DIMENSIONS ARE TO FACE OF STUD U.O.N.

H. FOR WORK AT (E) WALLS, REMOVE (E) GYP BOARD TO EXPOSE FRAMING & INTERIOR WALL COMPONENTS. REMOVE ENOUGH MATERIAL FROM FRAMING MEMBER TO FRAMING MEMBER TO ALLOW CLEARANCE TO PERFORM THE WORK, TYP.

I. AT ALL 1ST FLOOR NON-ACCESSIBLE UNITS, ITEMS TO BE REMOVED & STORED IN A PROTECTED LOCATION FOR RE-INSTALLATION INCLUDE & ARE NOT LIMITED TO THE FOLLOWING:

- WATER HEATER - PROVIDE NEW SUPPLY, POWER & DRIP PAN
- WASHER & DRYER - EXCEPT AT ACCESSIBLE UNITS
- REFRIGERATOR, RANGE & DISHWASHER - EXCEPT AT ACCESSIBLE UNITS
- GARBAGE DISPOSALS AT SINKS

J. AT ALL 1ST FLOOR NON-ACCESSIBLE UNITS, ITEMS TO BE REMOVED & REPLACED WITH NEW INCLUDE & ARE NOT LIMITED TO THE FOLLOWING:

- COUNTERTOPS, UPPER & LOWER CABINETS
- ALL FLOOR FINISHES AND BASES
- SINKS, FAUCETS & EXPOSED CONNECTIONS
- LAVATORIES, FAUCETS & EXPOSED CONNECTIONS
- TOILETS & SUPPLY LINES
- BATHTUBS, SURROUNDS, CONTROLS & SHOWERHEADS
- RANGE HOODS, PROTECT SOFFITS & DUCTING
- VENTILATION FANS IN BATHROOMS & LAUNDRY AREAS

K. SIGHT & HEARING IMPAIRED UNITS SHALL HAVE VISIBLE NOTIFICATION APPLIANCES TIED TO THE SMOKE DETECTION/ALARM SYSTEM & A HARD-WIRED ELECTRIC DOORBELL.

DEMOLITION UNIT PLAN KEY NOTES

REMOVE (E) EXTERIOR WINDOWS & INTERIOR WOOD SILL. CUT & REMOVE (E) INTERIOR GYP BOARD AS NECESSARY TO ALLOW COMPLETE INSTALLATION OF WRB & ASSOCIATED FLASHINGS, TYP.

REMOVE (E) EXTERIOR DOORS & INTERIOR WOOD TRIM. CUT & REMOVE (E) INTERIOR GYP BOARD AS NECESSARY TO ALLOW COMPLETE INSTALLATION OF WRB & ASSOCIATED FLASHING, TYP.

AT ALL 1ST FLOOR NON-ACCESSIBLE UNITS, ITEMS TO BE REMOVED & STORED IN A PROTECTED LOCATION FOR RE-INSTALLATION INCLUDE & ARE NOT LIMITED TO THE FOLLOWING:

- WATER HEATER - PROVIDE NEW SUPPLY, POWER & DRIP PAN
- WASHER & DRYER - EXCEPT AT ACCESSIBLE UNITS
- REFRIGERATOR, RANGE & DISHWASHER - EXCEPT AT ACCESSIBLE UNITS
- GARBAGE DISPOSALS AT SINKS

NEW UNIT PLAN KEY NOTES

PATCH GYP BOARD AT NEW EXTERIOR WINDOWS & INSTALL NEW PAINT GRADE WOOD SILL, TYP.

PATCH GYP BOARD AT NEW EXTERIOR DOORS, TYP.

EXISTING WATER HEATER TO BE REINSTALLED. PROVIDE NEW SUPPLY, POWER & METAL DRIP PAN. ROUTE PRESSURE RELIEF TO EXTERIOR OF BUILDING ENCLOSURE.

NEW RANGE HOOD, PROVIDE CONNECTION TO (E) METAL DUCT. SEAL ALL DUCT CONNECTIONS.

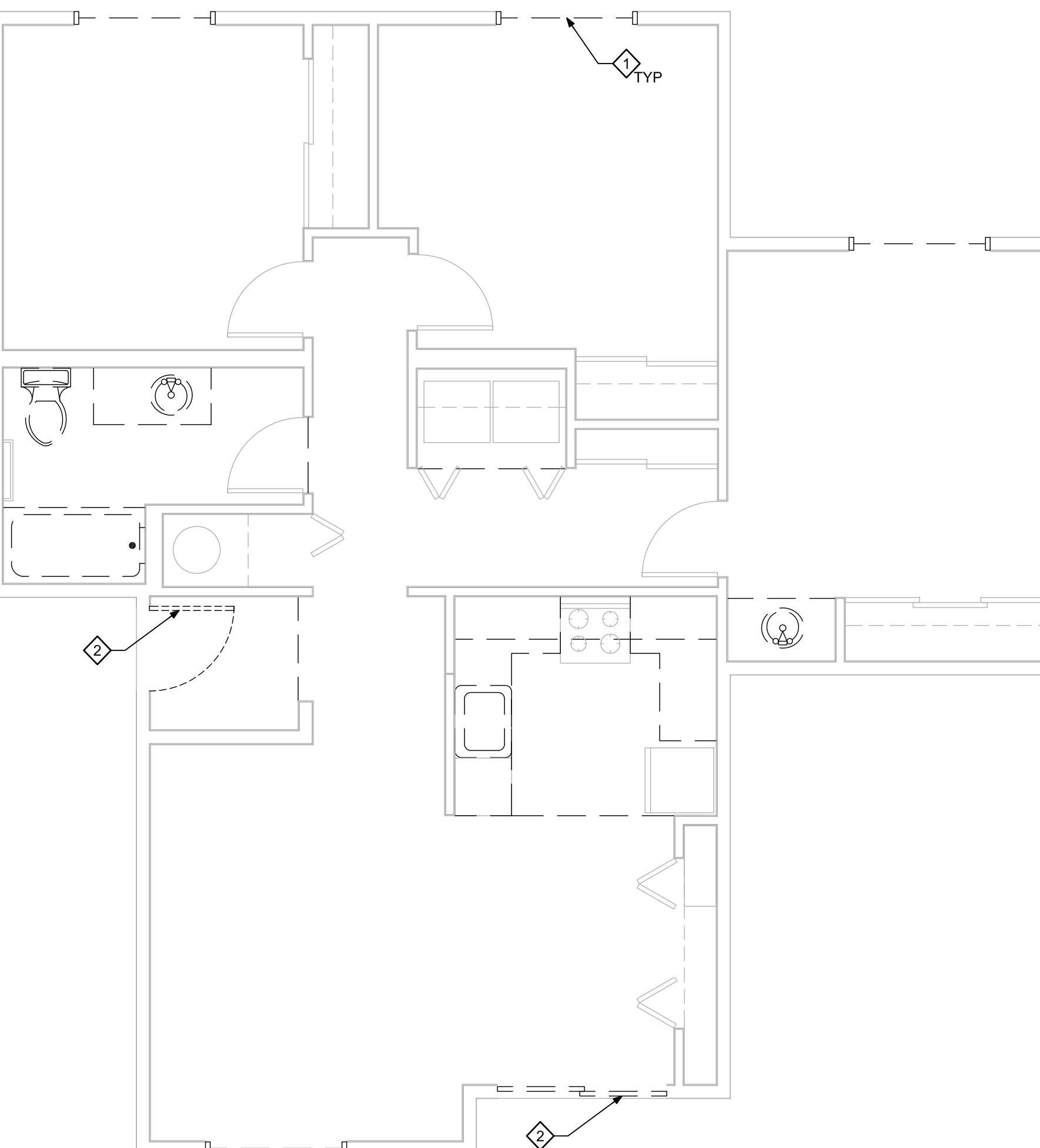
UNIT PLAN LEGEND

DASHED LINE INDICATES ITEM TO BE REMOVED

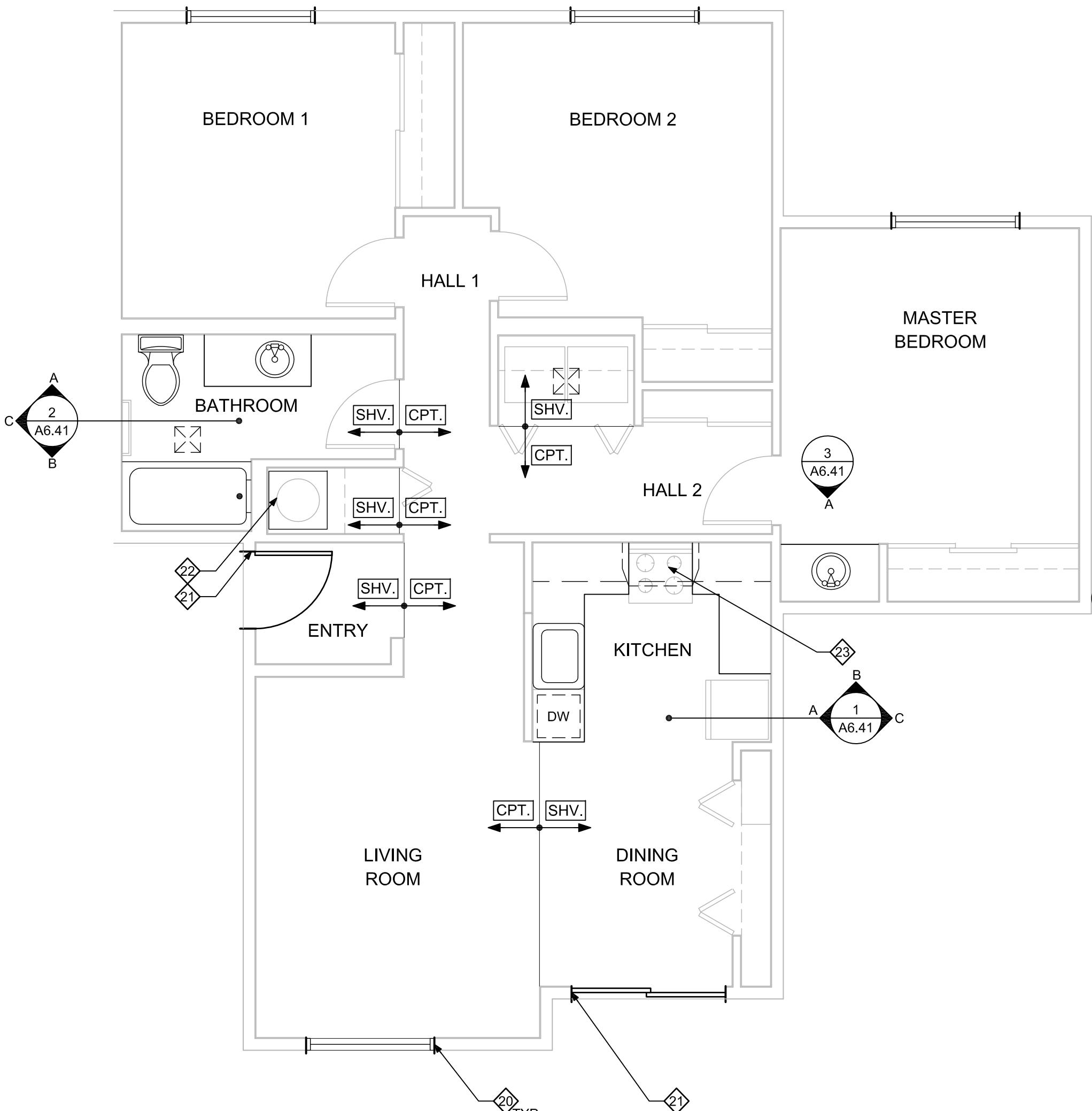
EXISTING ITEM TO REMAIN

EXISTING WALL TO REMAIN

NEW VENTILATION FAN



1 TYPICAL EXISTING 3 BED 1 BATH UNIT PLAN - DEMO
SCALE: 1/4" = 1'-0"



2 TYPICAL NEW 3 BED 1 BATH UNIT PLAN
SCALE: 1/4" = 1'-0"

GENERAL UNIT PLAN NOTES

- A. DESCRIPTION OF DEMOLITION WORK IS NOT INTENDED TO BE ALL INCLUSIVE. FIELD VERIFICATION OF AREAS, MATERIALS AND SYSTEMS SCHEDULED FOR DEMOLITION AND NEW WORK IS REQUIRED PRIOR TO COMMENCEMENT OF ANY WORK.
- B. ANY OBSERVED, KNOWN OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING AS A REQUEST FOR INTERPRETATION IN SUCH FORM AS THE ARCHITECT MAY REQUIRE.
- C. PRESERVE AND PROTECT (E) DATA, TELEPHONE, ELECTRICAL DEVICES (SWITCHES, OUTLETS, ETC.) AND ASSOCIATED CONDUIT AND CONDUCTORS FROM DEVICE LOCATION TO PANEL OR EQUIPMENT. SYSTEMS ARE TO REMAIN IN PLACE U.O.N.
- D. AT LOCATIONS OF REMOVED OR DEMOLISHED ITEMS AND BUILDING COMPONENTS AND SYSTEMS WHERE ADJACENT SURFACES ARE TO REMAIN, PATCH AND REPAIR AFFECTED SURFACES. PROVIDE FINISH MATERIALS, COLORS AND TEXTURES TO MATCH SURROUNDING SURFACES OR AS INDICATED ON THE FINISH SCHEDULE. PATCHING AND REPAIR TO BE APPLIED FROM CORNER TO CORNER (SIDE/SIDE; TOP/BOTTOM).
- E. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION AND COORDINATION REGARDING NEW AND REINSTALLED SYSTEMS, DEVICES AND ACCESSORIES MOUNTING HEIGHTS AND APPROXIMATE LOCATIONS.
- F. REFER TO FLOOR PLANS & EXTERIOR ELEVATIONS FOR ALL EXTERIOR SCOPE OF WORK.
- G. DIMENSIONS ARE TO FACE OF STUD U.O.N.

H. FOR WORK AT (E) WALLS, REMOVE (E) GYP BOARD TO EXPOSE FRAMING & INTERIOR WALL COMPONENTS. REMOVE ENOUGH MATERIAL FROM FRAMING MEMBER TO PERFORM THE WORK, TYP.

I. AT ALL ACCESSIBLE UNITS, ITEMS TO BE REMOVED & STORED IN A PROTECTED LOCATION FOR RE-INSTALLATION INCLUDE & ARE NOT LIMITED TO THE FOLLOWING:

- WATER HEATER - PROVIDE NEW SUPPLY, POWER & DRIP PAN

J. AT ALL ACCESSIBLE UNITS, ITEMS TO BE REMOVED & REPLACED WITH NEW INCLUDE & ARE NOT LIMITED TO THE FOLLOWING:

- INTERIOR DOORS, FRAMES & HARDWARE
- SHELVING, CLOSET RODS & HARDWARE/LEDGERS
- COUNTERTOPS, UPPER & LOWER CABINETS
- ALL FLOOR FINISHES AND BASES
- ALL BATHROOM ACCESSORIES
- ALL WINDOW COVERINGS & HARDWARE
- SINKS, FAUCETS & EXPOSED CONNECTIONS
- LAVATORIES, FAUCETS & EXPOSED CONNECTIONS
- TOILETS & SUPPLY LINES
- BATHTUBS, SURROUNDS, CONTROLS & SHOWERHEADS
- REFRIGERATORS
- RANGES
- RANGE HOODS, PROTECT SOFFITS & DUCTING
- DISHWASHERS & SUPPLY/WASTE LINES
- WASHERS & DRYERS
- VENTILATION FANS IN BATHROOMS & LAUNDRY AREAS

DEMOLITION UNIT PLAN KEY NOTES



REMOVE (E) EXTERIOR WINDOWS & INTERIOR WOOD SILL, CUT & REMOVE (E) INTERIOR GYP BOARD AS NECESSARY TO ALLOW COMPLETE INSTALLATION OF WRB & ASSOCIATED FLASHINGS, TYP.



REMOVE (E) EXTERIOR DOORS & INTERIOR WOOD TRIM, CUT & REMOVE (E) INTERIOR GYP BOARD AS NECESSARY TO ALLOW COMPLETE INSTALLATION OF WRB & ASSOCIATED FLASHINGS, TYP.



REMOVE (E) INTERIOR PARTITION IN ITS ENTIRETY, TYP.



REMOVE (E) GYP BOARD TO ALLOW WORK TO INTERIOR OF WALL.



REMOVE (E) ELECTRICAL CONTROL DEVICE (SWITCH, OUTLET OR THERMOSTAT) & REINSTALL AT ACCEPTABLE HEIGHT IN SAME GENERAL AREA, TYP.

NEW UNIT PLAN KEY NOTES



PATCH GYP BOARD AT NEW EXTERIOR WINDOWS & INSTALL NEW PAINT GRADE WOOD SILL, TYP.



PATCH GYP BOARD AT NEW EXTERIOR DOORS, TYP.



RELOCATED WATER HEATER WITH NEW WATER SUPPLY, POWER & METAL DRIP PAN. ROUTE PRESSURE RELIEF TO EXTERIOR OF BUILDING ENCLOSURE.



NEW RANGE HOOD, PROVIDE CONNECTION TO (E) METAL DUCT. SEAL ALL DUCT CONNECTIONS & PROVIDE SWITCH AT COUNTER HEIGHT.



NEW INTERIOR HALF-WALL PARTITION



NEW / REINSTALLED ELECTRICAL CONTROL DEVICE, TYP.



NEW GYP BOARD WALL PATCH, TYP.



PROVIDE 30" WIDE CLEAR FLOOR AREA UNDER SINK AND WORK AREA. CONTINUE FLOORING BELOW EACH AREA



NEW SHELVING. REFER TO INTERIOR ELEVATIONS

UNIT PLAN LEGEND

— DASHED LINE INDICATES WALL/FLOOR TO BE DEMOLISHED

— DASHED LINE INDICATES ITEM TO BE REMOVED

— EXISTING ITEM TO REMAIN

— NEW SHELVING

— EXISTING WALL TO REMAIN

— NEW WALL - PARTIAL HEIGHT, NEW HEIGHT TO MATCH EXISTING

— NEW WALL - FULL HEIGHT

— NEW BLOCKING FOR GRAB BAR SUPPORT

— 30" CLEAR WORK SURFACE AT ACCESSIBLE KITCHENS

— NEW GRAB BAR INSTALLATION AT ACCESSIBLE UNITS

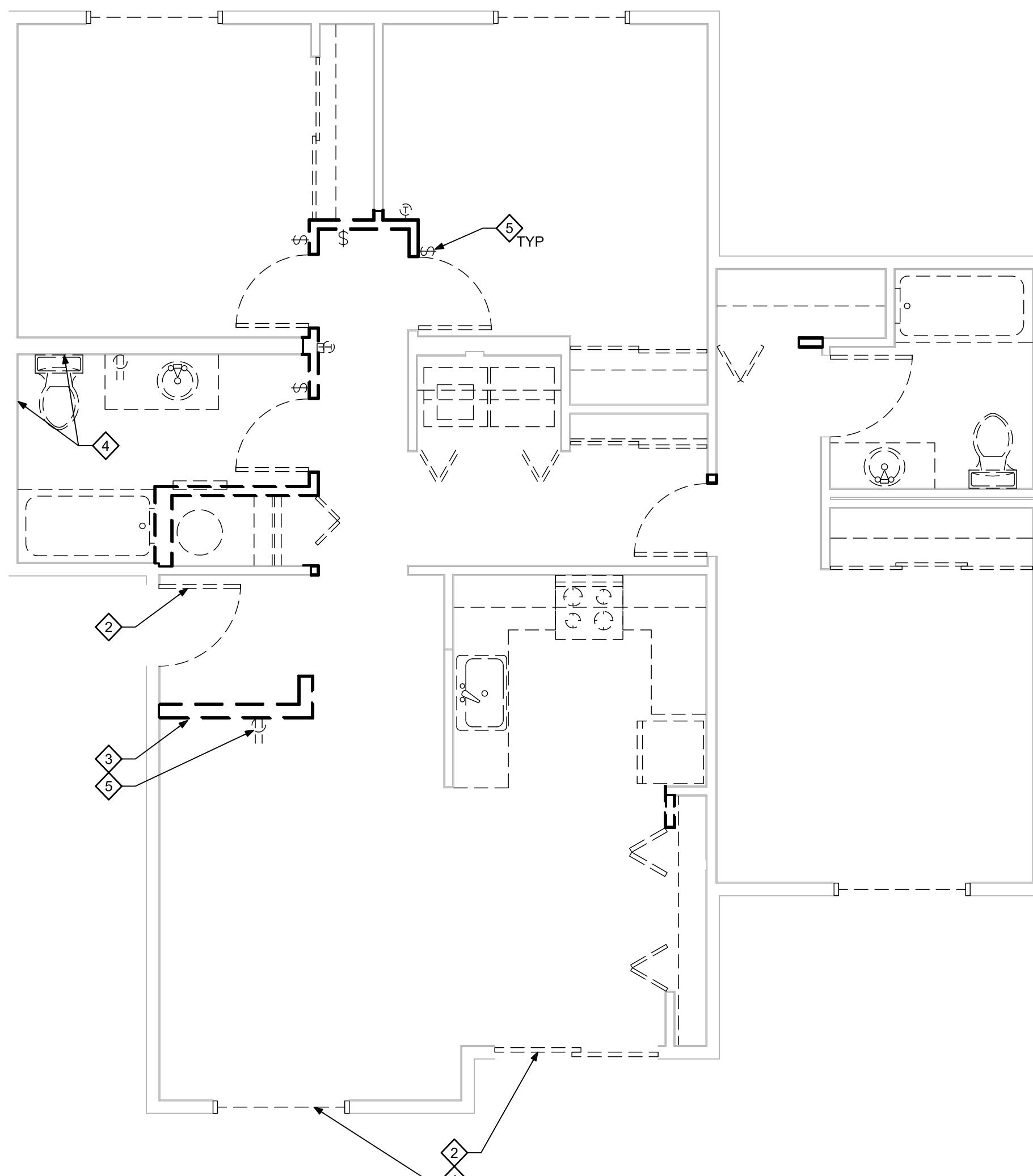
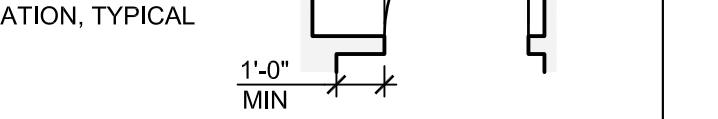
— NEW VENTILATION FAN

— NEW THERMOSTAT

— NEW POWER OUTLET

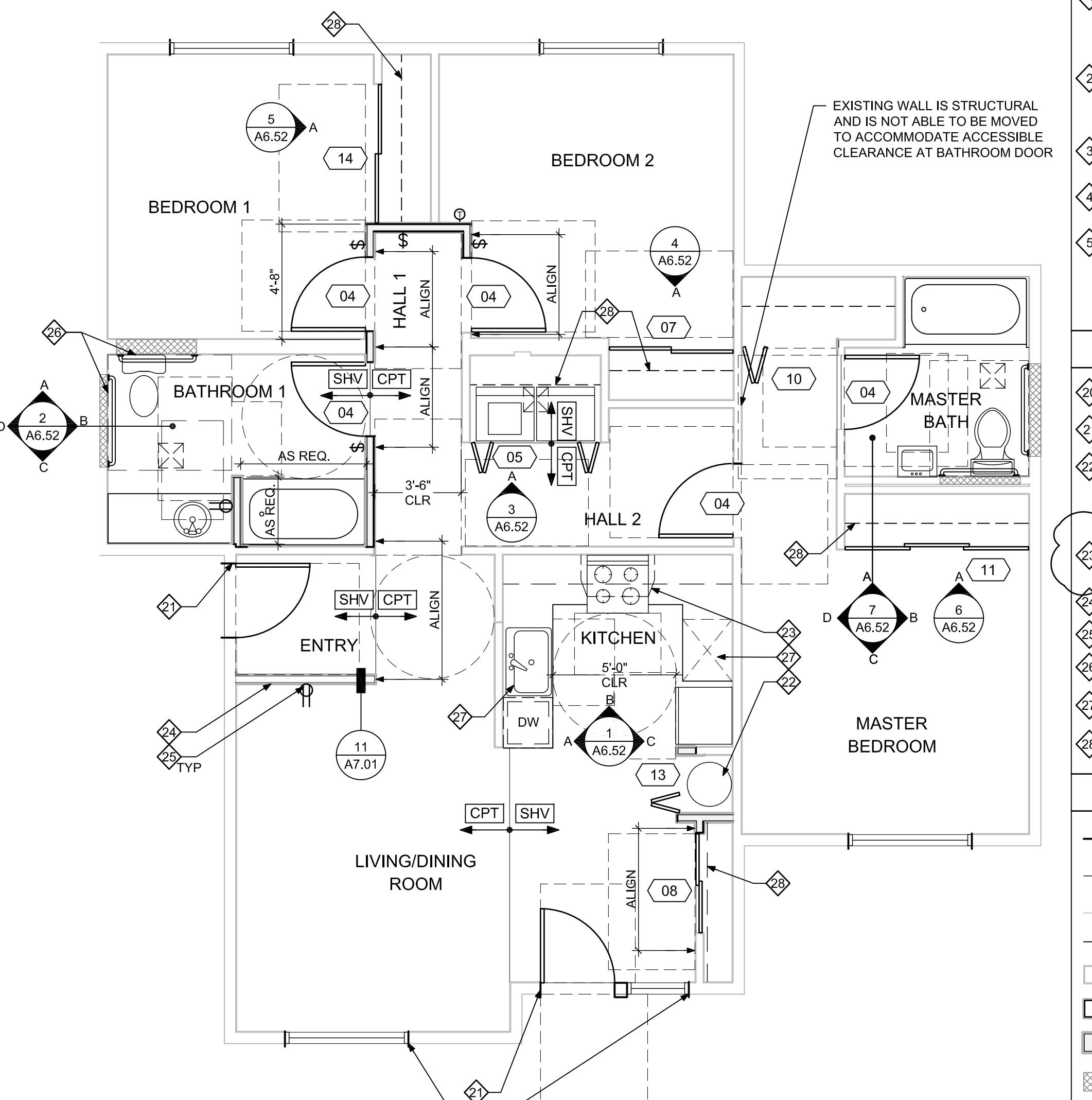
— NEW LIGHT SWITCH

NEW DOOR LOCATION, TYPICAL



1 EXISTING 3 BED 2 BATH UNIT PLAN - DEMOLITION

SCALE: 1/4" = 1'-0"



2 ACCESSIBLE 3 BED 2 BATH UNIT PLAN - NEW

SCALE: 1/4" = 1'-0"



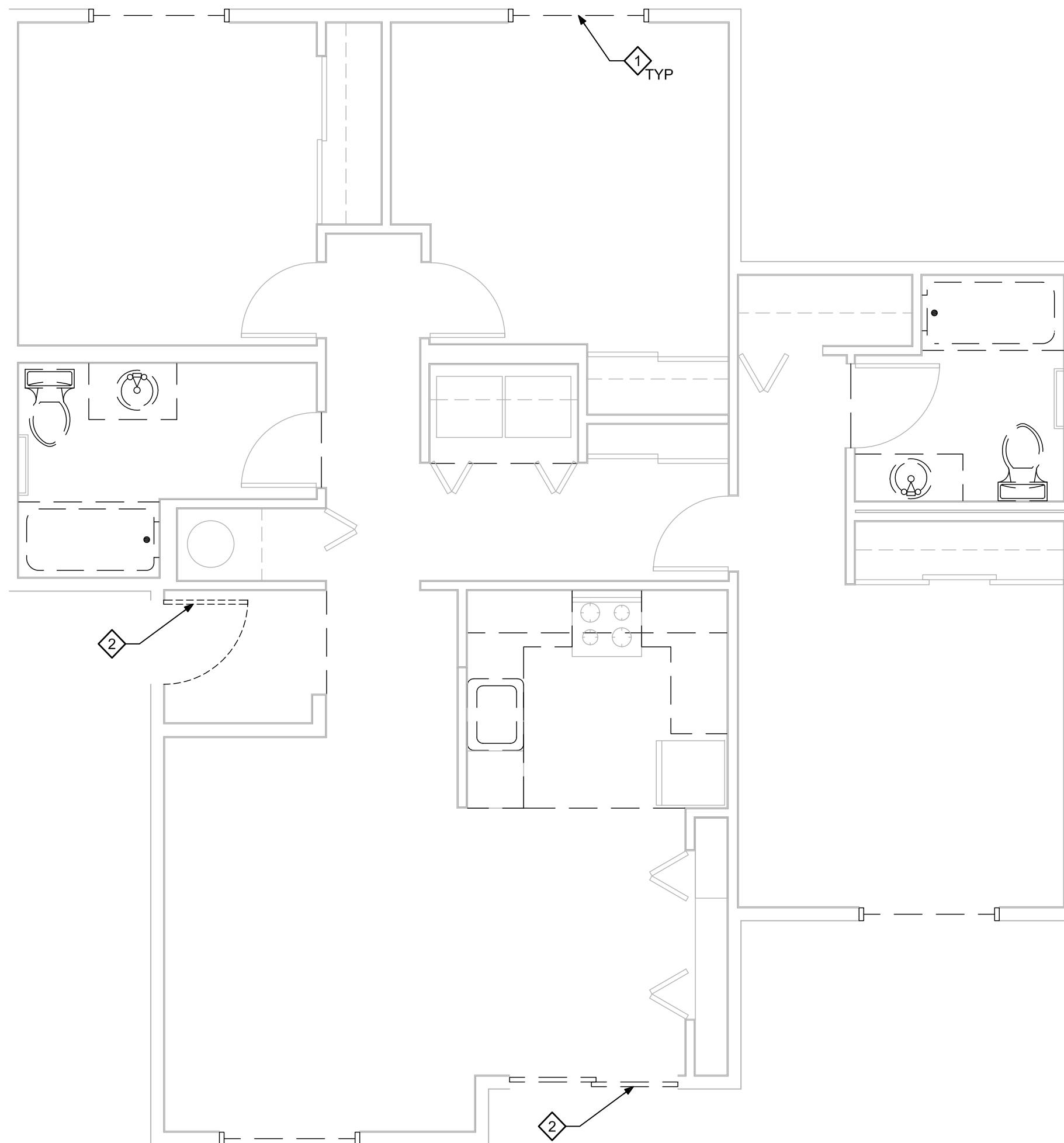
CARLETON HART ARCHITECTURE
322 NW 8th Avenue Portland, Oregon 97209 | carletonhart.com

PARKWAY VILLAGE : WEST

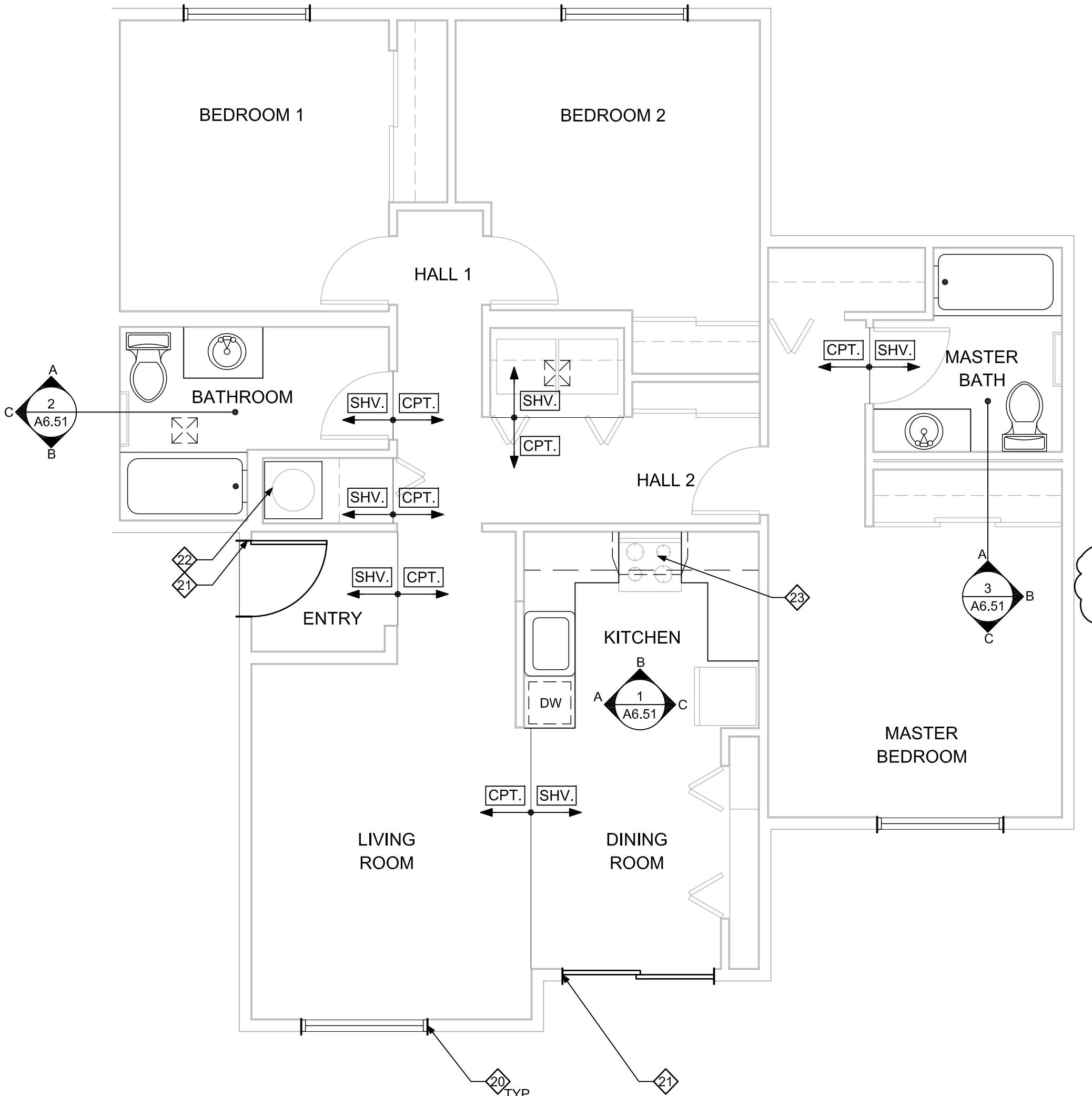
APARTMENT REHABILITATION

SALEM HOUSING AUTHORITY

PERMIT REVIEW / BID SET



1 TYPICAL EXISTING 3 BED 2 BATH UNIT PLAN - DEMO
SCALE: 1/4" = 1'-0"



2 TYPICAL NEW 3 BED 2 BATH UNIT PLAN
SCALE: 1/4" = 1'-0"

DEMOLITION UNIT PLAN KEY NOTES

- A. DESCRIPTION OF DEMOLITION WORK IS NOT INTENDED TO BE ALL INCLUSIVE. FIELD VERIFICATION OF AREAS, MATERIALS AND SYSTEMS SCHEDULED FOR DEMOLITION AND NEW WORK IS REQUIRED PRIOR TO COMMENCEMENT OF ANY WORK.
- B. ANY OBSERVED, KNOWN OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING AS A REQUEST FOR INTERPRETATION IN SUCH FORM AS THE ARCHITECT MAY REQUIRE.
- C. PRESERVE AND PROTECT (E) DATA, TELEPHONE, ELECTRICAL DEVICES (SWITCHES, OUTLETS, ETC.) AND ASSOCIATED CONDUIT AND CONDUCTORS FROM DEVICE LOCATION TO PANEL OR EQUIPMENT. SYSTEMS ARE TO REMAIN IN PLACE U.O.N.
- D. AT LOCATIONS OF REMOVED OR DEMOLISHED ITEMS AND BUILDING COMPONENTS AND SYSTEMS WHERE ADJACENT SURFACES ARE TO REMAIN, PATCH AND REPAIR AFFECTED SURFACES. PROVIDE FINISH MATERIALS, COLORS AND TEXTURES TO MATCH SURROUNDING SURFACES OR AS INDICATED ON THE FINISH SCHEDULE. PATCHING AND REPAIR TO BE APPLIED FROM CORNER TO CORNER (SIDE/SIDE; TOP/BOTTOM).
- E. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION AND COORDINATION REGARDING NEW AND REINSTALLED SYSTEMS, DEVICES AND ACCESSORIES MOUNTING HEIGHTS AND APPROXIMATE LOCATIONS.
- F. REFER TO FLOOR PLANS & EXTERIOR ELEVATIONS FOR ALL EXTERIOR SCOPE OF WORK.
- G. DIMENSIONS ARE TO FACE OF STUD U.O.N.

H. FOR WORK AT (E) WALLS, REMOVE (E) GYP BOARD TO EXPOSE FRAMING & INTERIOR WALL COMPONENTS. REMOVE ENOUGH MATERIAL FROM FRAMING MEMBER TO FRAMING MEMBER TO ALLOW CLEARANCE TO PERFORM THE WORK, TYP.

- I. AT ALL 1ST FLOOR NON-ACCESSIBLE UNITS, ITEMS TO BE REMOVED & STORED IN A PROTECTED LOCATION FOR RE-INSTALLATION INCLUDE & ARE NOT LIMITED TO THE FOLLOWING:

- WATER HEATER - PROVIDE NEW SUPPLY, POWER & Drip PAN
- WASHER & DRYER - EXCEPT AT ACCESSIBLE UNITS
- REFRIGERATOR, RANGE & DISHWASHER - EXCEPT AT ACCESSIBLE UNITS
- GARBAGE DISPOSALS AT SINKS

- J. AT ALL 1ST FLOOR NON-ACCESSIBLE UNITS, ITEMS TO BE REMOVED & REPLACED WITH NEW INCLUDE & ARE NOT LIMITED TO THE FOLLOWING:

- COUNTERTOPS, UPPER & LOWER CABINETS
- ALL FLOOR FINISHES AND BASES
- SINKS, FAUCETS & EXPOSED CONNECTIONS
- LAVATORIES, FAUCETS & EXPOSED CONNECTIONS
- TOILETS & SUPPLY LINES
- BATHTUBS, SURROUNDS, CONTROLS & SHOWERHEADS
- RANGE HOODS, PROTECT SOFFITS & DUCTING
- VENTILATION FANS IN BATHROOMS & LAUNDRY AREAS

- K. SIGHT & HEARING IMPAIRED UNITS SHALL HAVE VISIBLE NOTIFICATION APPLIANCES TIED TO THE SMOKE DETECTION/ALARM SYSTEM & A HARD-WIRED ELECTRIC DOORBELL.

NEW UNIT PLAN KEY NOTES

- 20 PATCH GYP BOARD AT NEW EXTERIOR WINDOWS & INSTALL NEW PAINT GRADE WOOD SILL, TYP.
- 21 PATCH GYP BOARD AT NEW EXTERIOR DOORS, TYP.
- 22 EXISTING WATER HEATER TO BE REINSTALLED. PROVIDE NEW SUPPLY, POWER & METAL Drip PAN. ROUTE PRESSURE RELIEF TO EXTERIOR OF BUILDING ENCLOSURE.
- 23 NEW RANGE HOOD, PROVIDE CONNECTION TO (E) METAL DUCT. SEAL ALL DUCT CONNECTIONS.

UNIT PLAN LEGEND

- - - DASHED LINE INDICATES ITEM TO BE REMOVED
- EXISTING ITEM TO REMAIN
- EXISTING WALL TO REMAIN
- NEW VENTILATION FAN

ENLARGED UNIT PLANS
3 BEDROOM 2 BATH
1ST FLOOR
PROJ NO.
21345

01.21.14

02.06.14 ADDENDUM #1

COPYRIGHT - CARLETON HART ARCHITECTURE DO NOT REPRODUCE WITHOUT PERMISSION

A6.22



GENERAL INTERIOR FINISH NOTES

A. COORDINATE EXTENT OF FINISH MATERIALS, COLORS, AND TEXTURES WITH ENLARGED UNIT PLANS, INTERIOR ELEVATIONS AND SPECIFICATIONS.

FINISH LEGEND					
CODE	DESCRIPTION	MANUFACTURER	PRODUCT	COLOR/FINISH	GENERAL LOCATION
FLOOR					
CPT-1	CARPET	SEE SPECIFICATIONS	SEE SPECIFICATIONS	TBD	UNIT LIVING ROOM & BEDROOM
SV-1	sheet vinyl	SEE SPECIFICATIONS	SEE SPECIFICATIONS	TBD	UNIT KITCHEN & BATH
BASE					
B-1	PAINT GRADE WOOD BASE	SEE SPECIFICATIONS	PROFILE TO MATCH EXISTING	PAINT, TBD	AT CARPET
B-2	4" RUBBER BASE	SEE SPECIFICATIONS	4" COVE BASE	TBD	AT SHEET VINYL
PAINT					
PT-01	PAINT	SEE SPECIFICATIONS	SEE SPECIFICATIONS	TBD	EXTERIOR SIDING AND TRIM - REFER TO EXTERIOR ELEVATIONS.
PT-02	PAINT	SEE SPECIFICATIONS	SEE SPECIFICATIONS	TBD	EXTERIOR SIDING AND TRIM - REFER TO EXTERIOR ELEVATIONS.
PT-03	PAINT	SEE SPECIFICATIONS	SEE SPECIFICATIONS	TBD	EXTERIOR SIDING AND TRIM - REFER TO EXTERIOR ELEVATIONS.
PT-04	PAINT	SEE SPECIFICATIONS	SEE SPECIFICATIONS	TBD	EXTERIOR SIDING AND TRIM - REFER TO EXTERIOR ELEVATIONS.
PT-05	PAINT	SEE SPECIFICATIONS	SEE SPECIFICATIONS	TBD	EXTERIOR SIDING AND TRIM - REFER TO EXTERIOR ELEVATIONS.
PT-06	PAINT	SEE SPECIFICATIONS	SEE SPECIFICATIONS	TBD	NEW / EXISTING EXTERIOR FIBERGLASS DOORS
PT-07	PAINT	SEE SPECIFICATIONS	SEE SPECIFICATIONS	TBD	FASCIA AND BARGE RAFTERS - MATCH GUTTERS / DOWNSPOUTS
PT-08	PAINT	SEE SPECIFICATIONS	SEE SPECIFICATIONS	TBD	INTERIOR UNIT CEILINGS / WALLS
P.LAM					
PL-1	PLASTIC LAMINATE	TBD - SEE SPECS.	SEE SPECIFICATIONS	TBD	UNIT COUNTERTOPS & INTEGRAL BACKSPLASH
PL-2	PLASTIC LAMINATE	TBD - SEE SPECS.	SEE SPECIFICATIONS	TBD	BACKSPLASH BEHIND STOVE

1 FINISH LEGEND

SCALE: NOT TO SCALE

UNITS (ALL GROUND FLOOR UNITS)		FLOOR	BASE	WALLS	CEILING	CABINETRY	REMARKS
LOCATION				WALL	SOFFIT	Counter/bksplsh	
ENTRY							
KITCHEN	SV-1	B-2	PT-08	PT-08	PT-08	PL-1/PL-2	-
LIVING/DINING	CPT-1	B-1	PT-08	PT-08	PT-08	N/A	-
BEDROOM/BEDROOM CLOSET	CPT-1	B-1	PT-08	N/A	PT-08	N/A	-
BATHROOM	SV-1	B-2	PT-08	PT-08	PT-08	PL-1	-
HALL	CPT-1	B-1	PT-08	N/A	PT-08	N/A	

2 ROOM FINISH SCHEDULE

SCALE: NOT TO SCALE

PARKWAY VILLAGE : WEST
APARTMENT REHABILITATION
SALEM HOUSING AUTHORITY

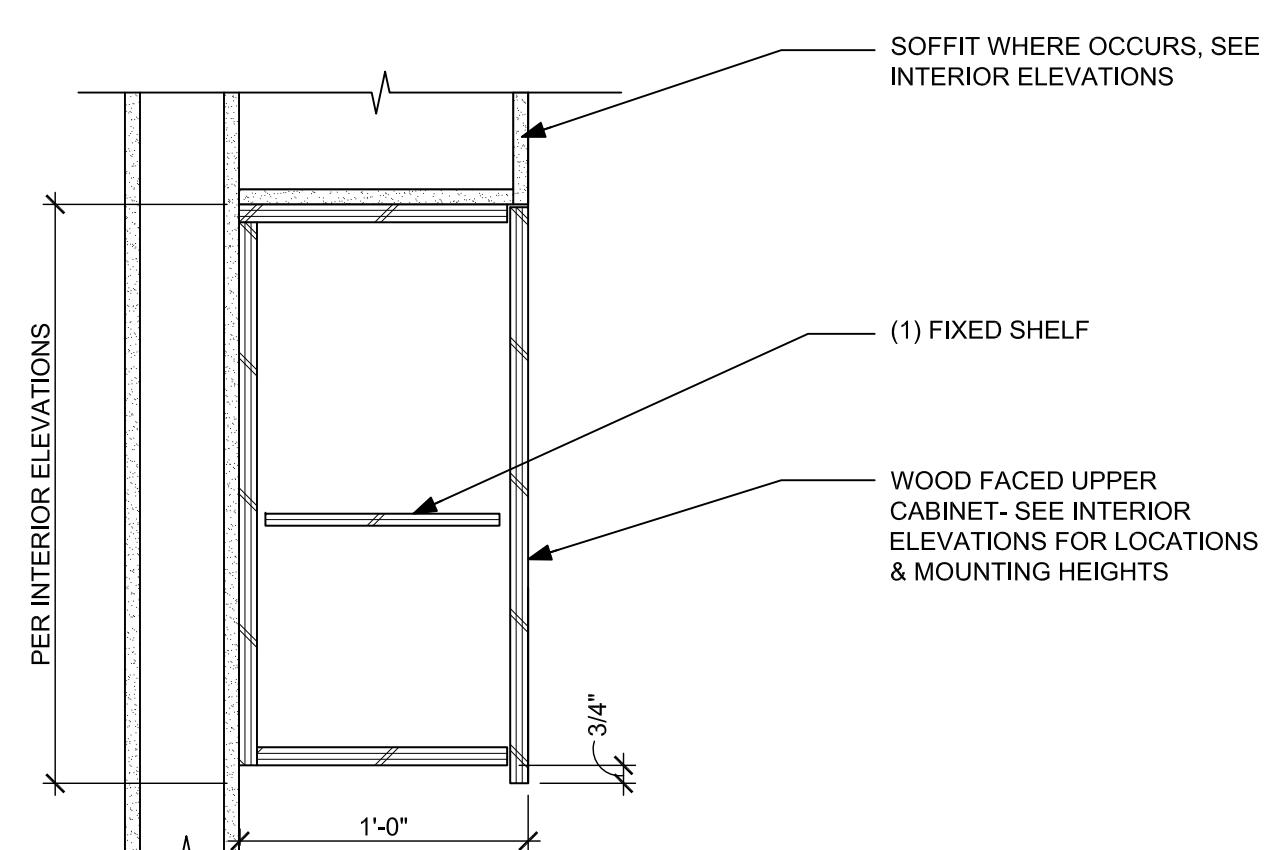
PERMIT REVIEW / BID SET

FINISH
SCHEDULES

PROJ NO.
21345

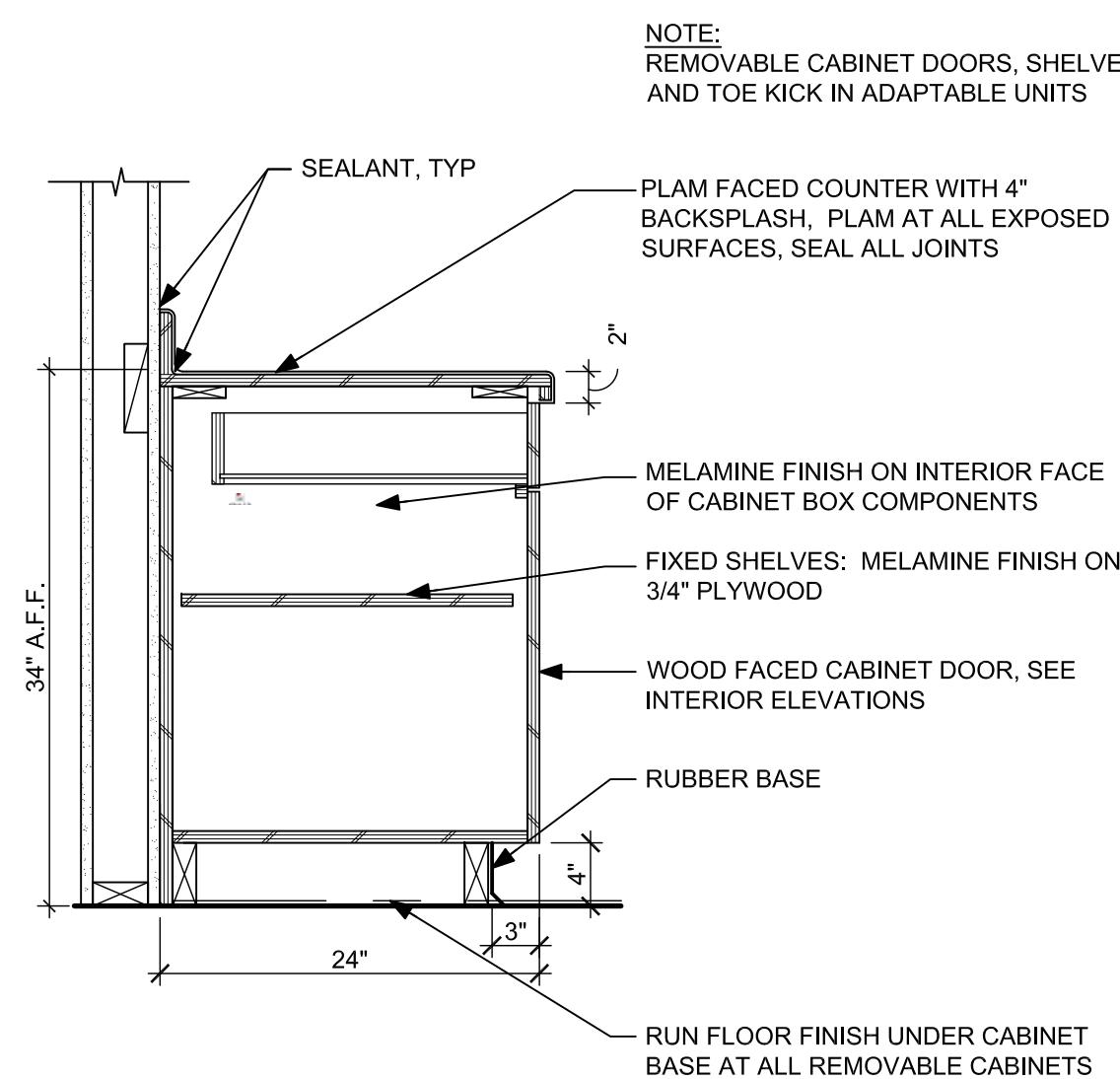
01.21.14

02.06.14 ADDENDUM #1



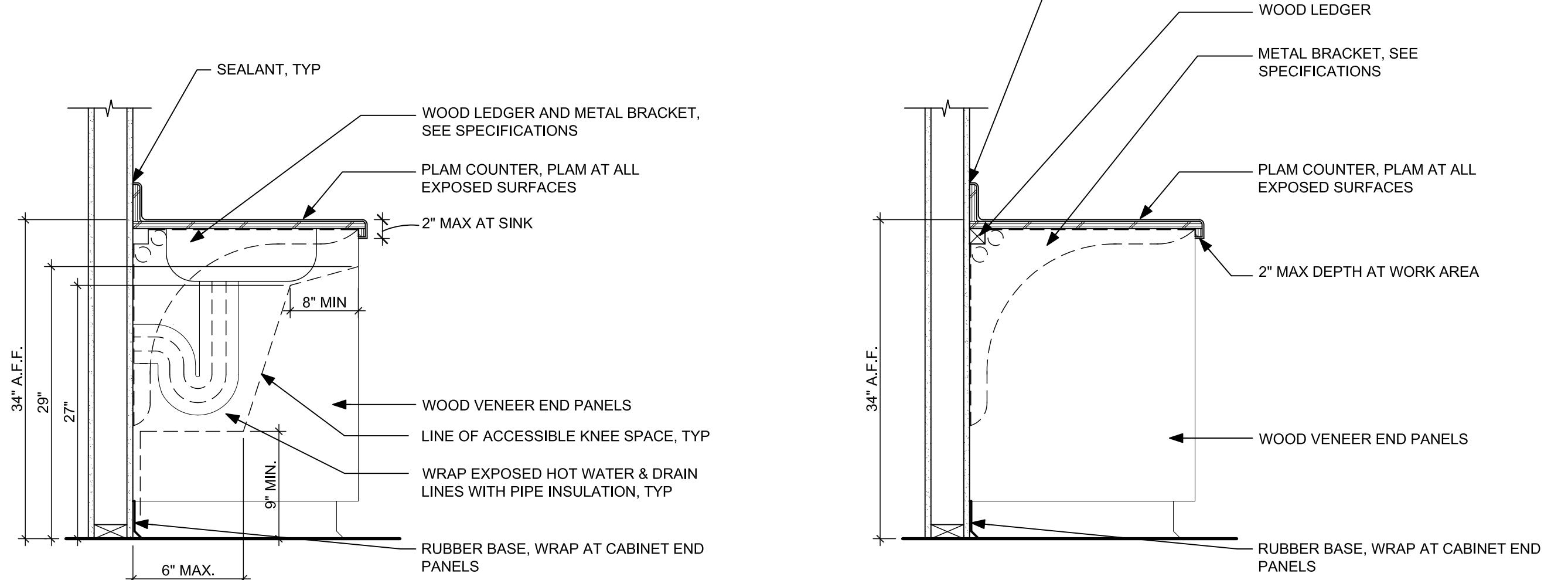
1 KITCHEN CABINERY - UPPER

SCALE: 1 1/2" = 1'-0"



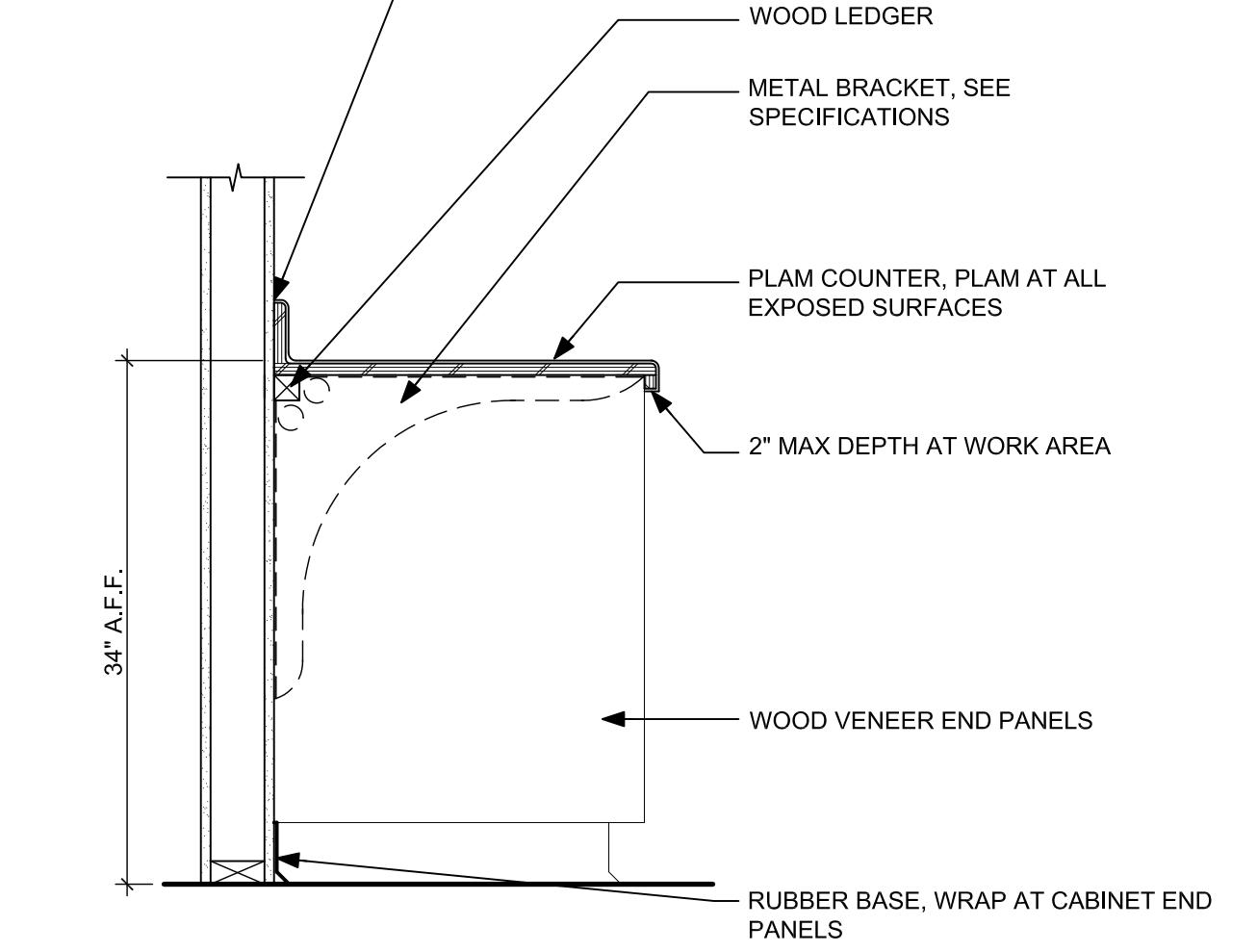
2 KITCHEN CABINET - LOWER

SCALE: 1" = 1'-0"



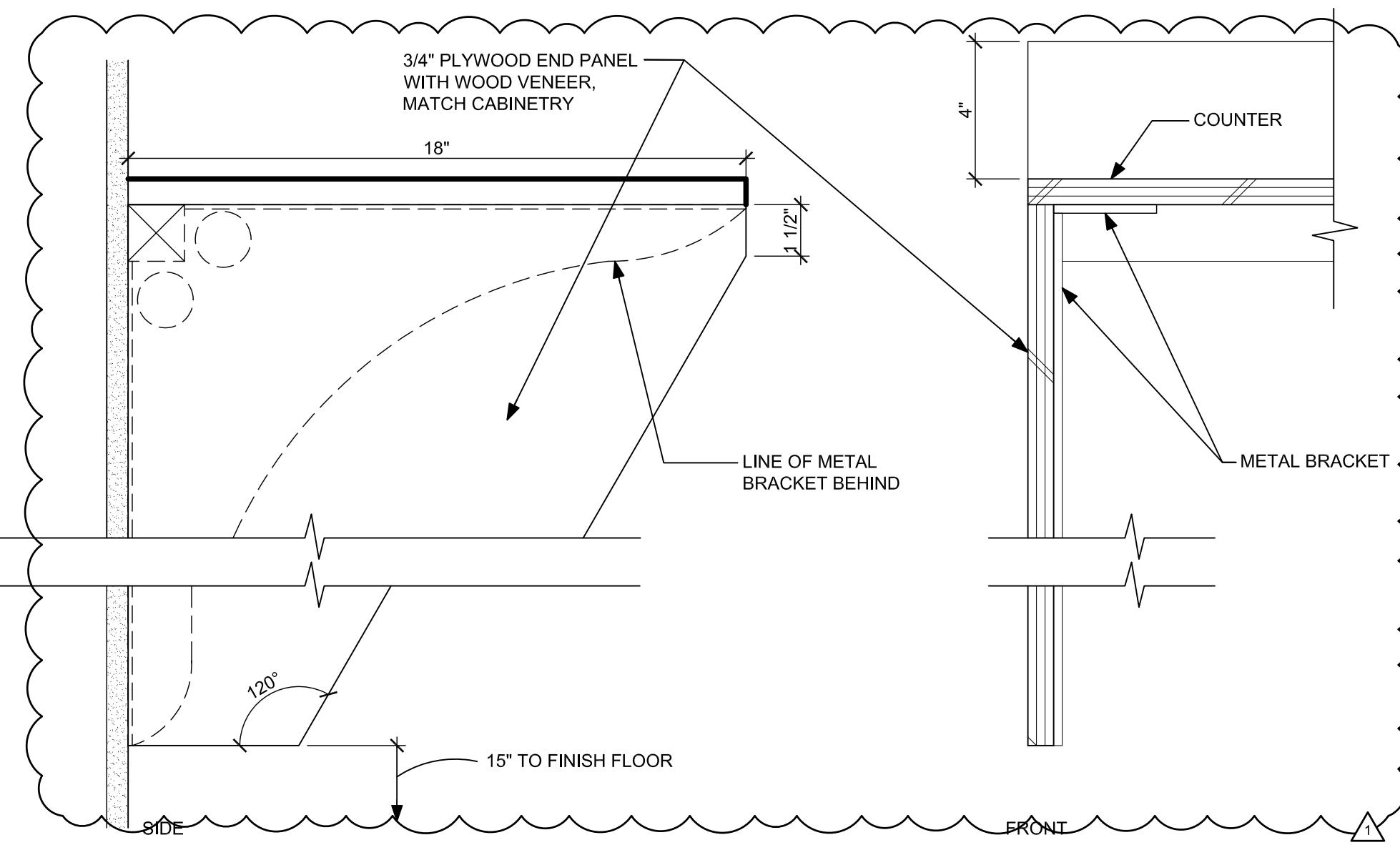
3 COUNTER AT ACCESSIBLE KITCHEN SINK

SCALE: 1" = 1'-0"



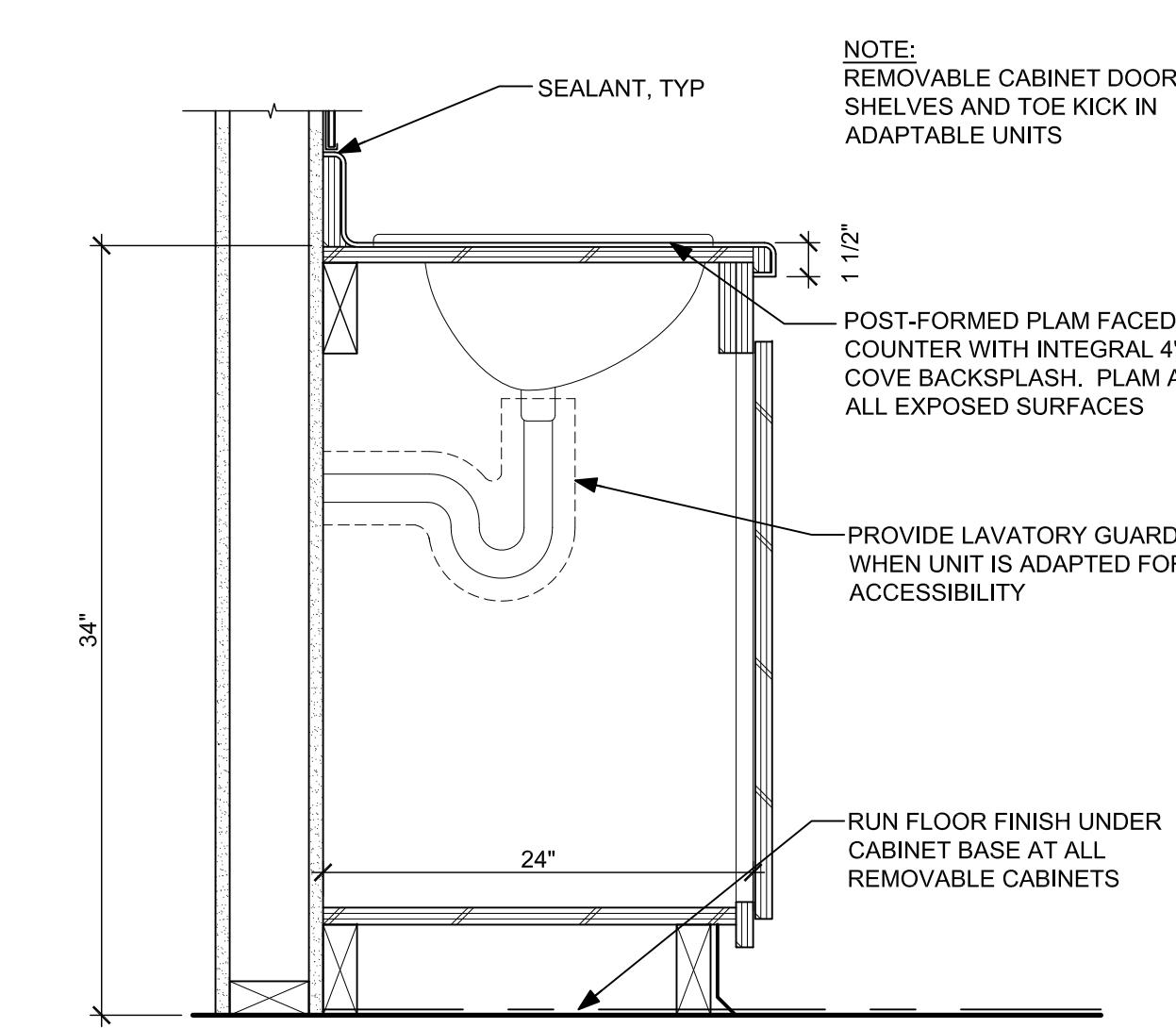
4 COUNTER AT ACCESSIBLE WORK AREA

SCALE: 1" = 1'-0"



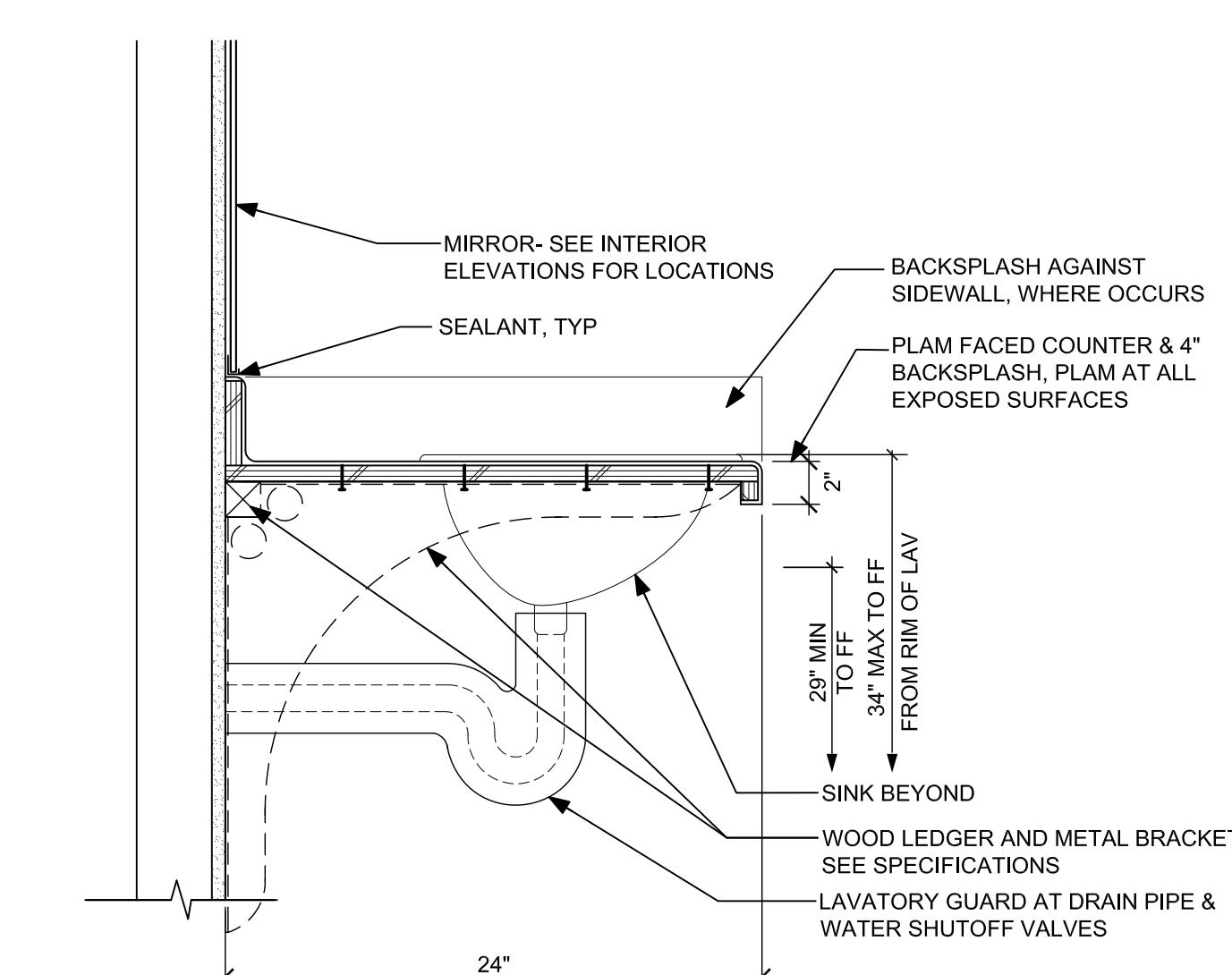
7 COUNTER END PANEL

SCALE: 3" = 1'-0"



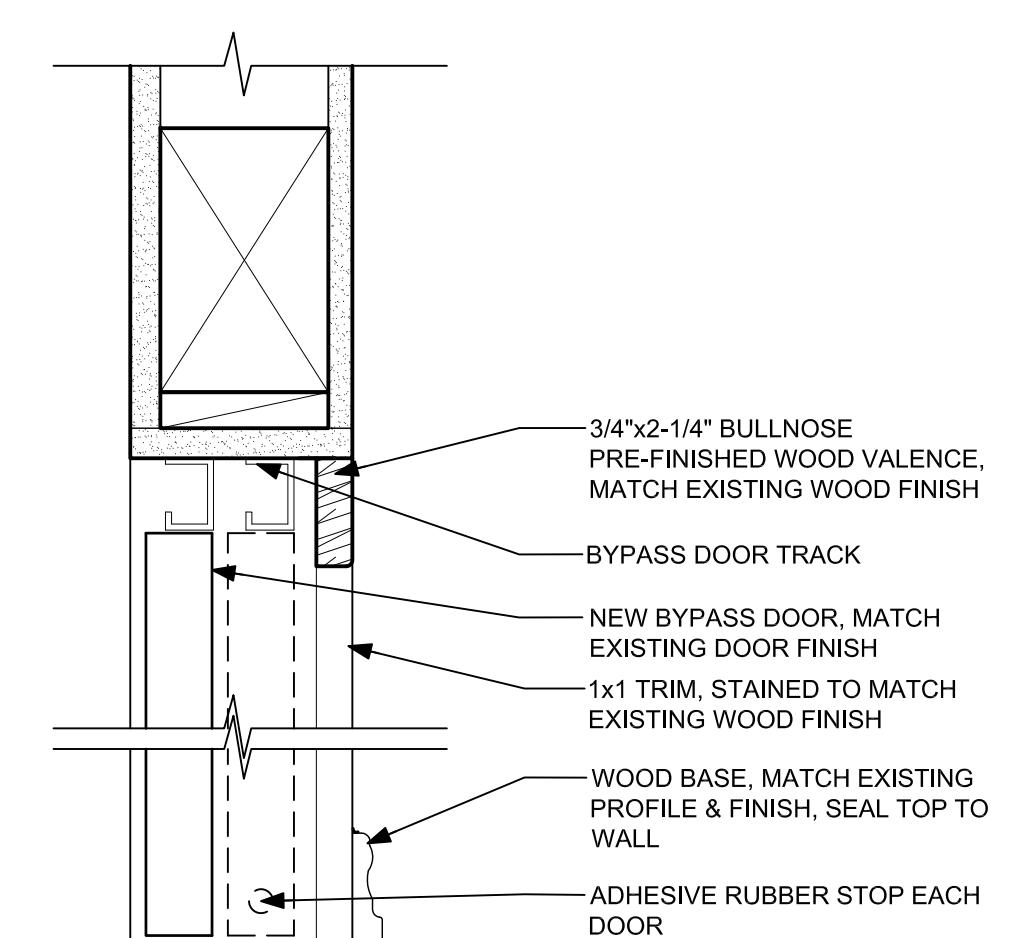
5 BATHROOM VANITY/CABINET

SCALE: 1 1/2" = 1'-0"



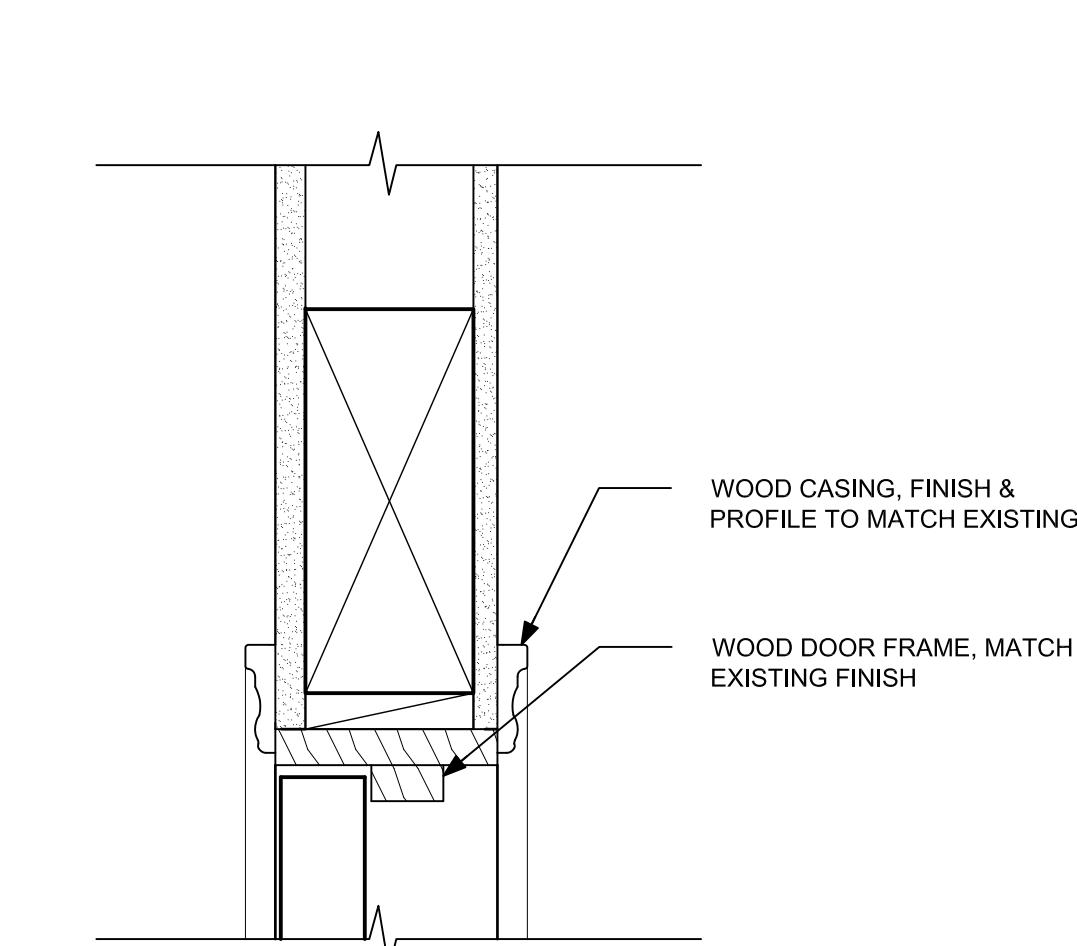
6 COUNTER AT ACCESSIBLE LAVATORY

SCALE: 1 1/2" = 1'-0"



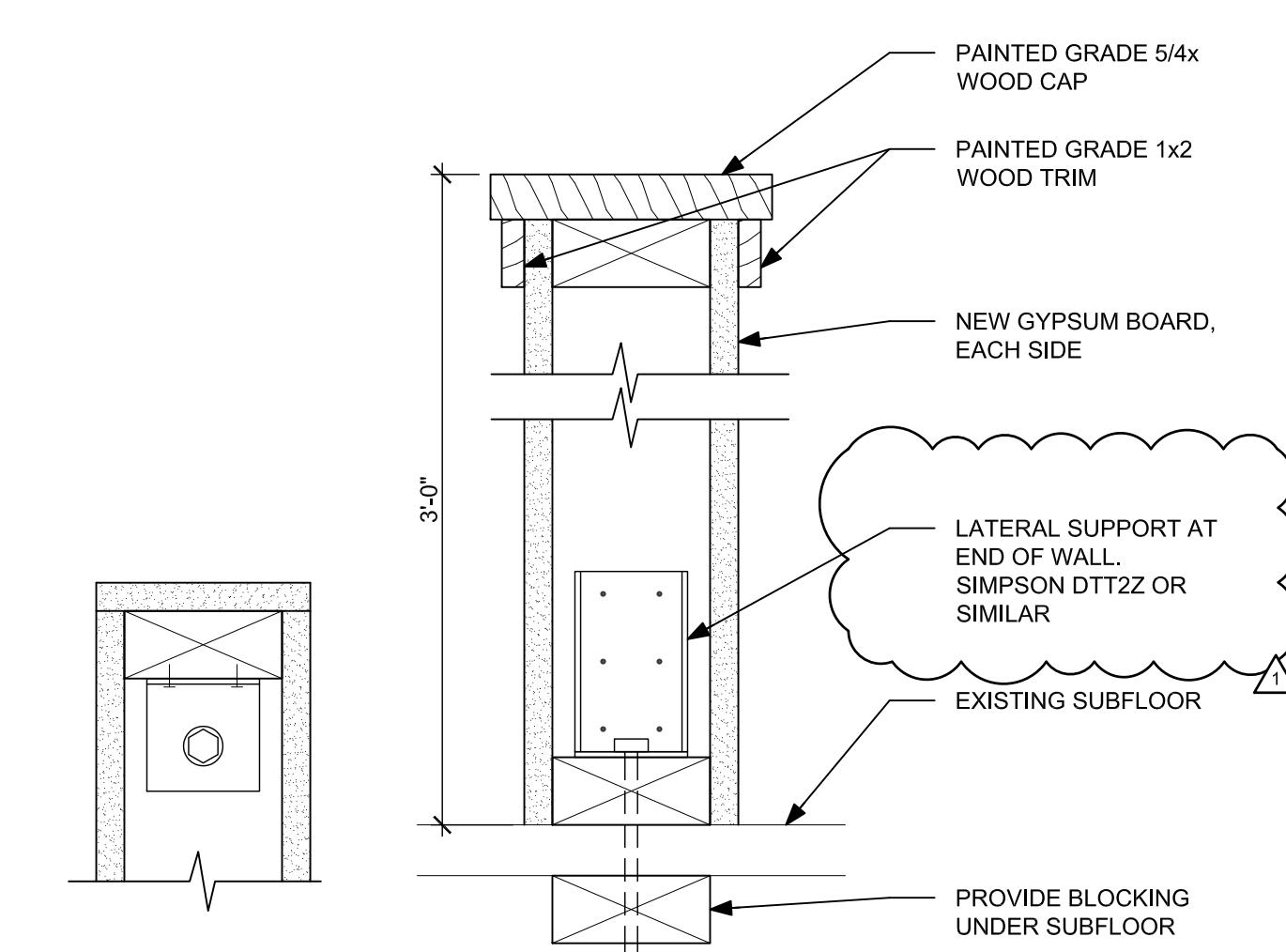
9 BYPASS DOOR HEAD/SILL

SCALE: 3" = 1'-0"



10 DOOR HEAD (JAMB SIM.)

SCALE: 3" = 1'-0"



11 WALL CAP AT PARTIAL HEIGHT WALLS

SCALE: 3" = 1'-0"



EXP: 6/30/15

PARKWAY VILLAGE : WEST
APARTMENT REHABILITATION
SALEM HOUSING AUTHORITY

PERMIT REVIEW / BID SET

COPYRIGHT - CARLETON HART ARCHITECTURE DO NOT REPRODUCE WITHOUT PERMISSION

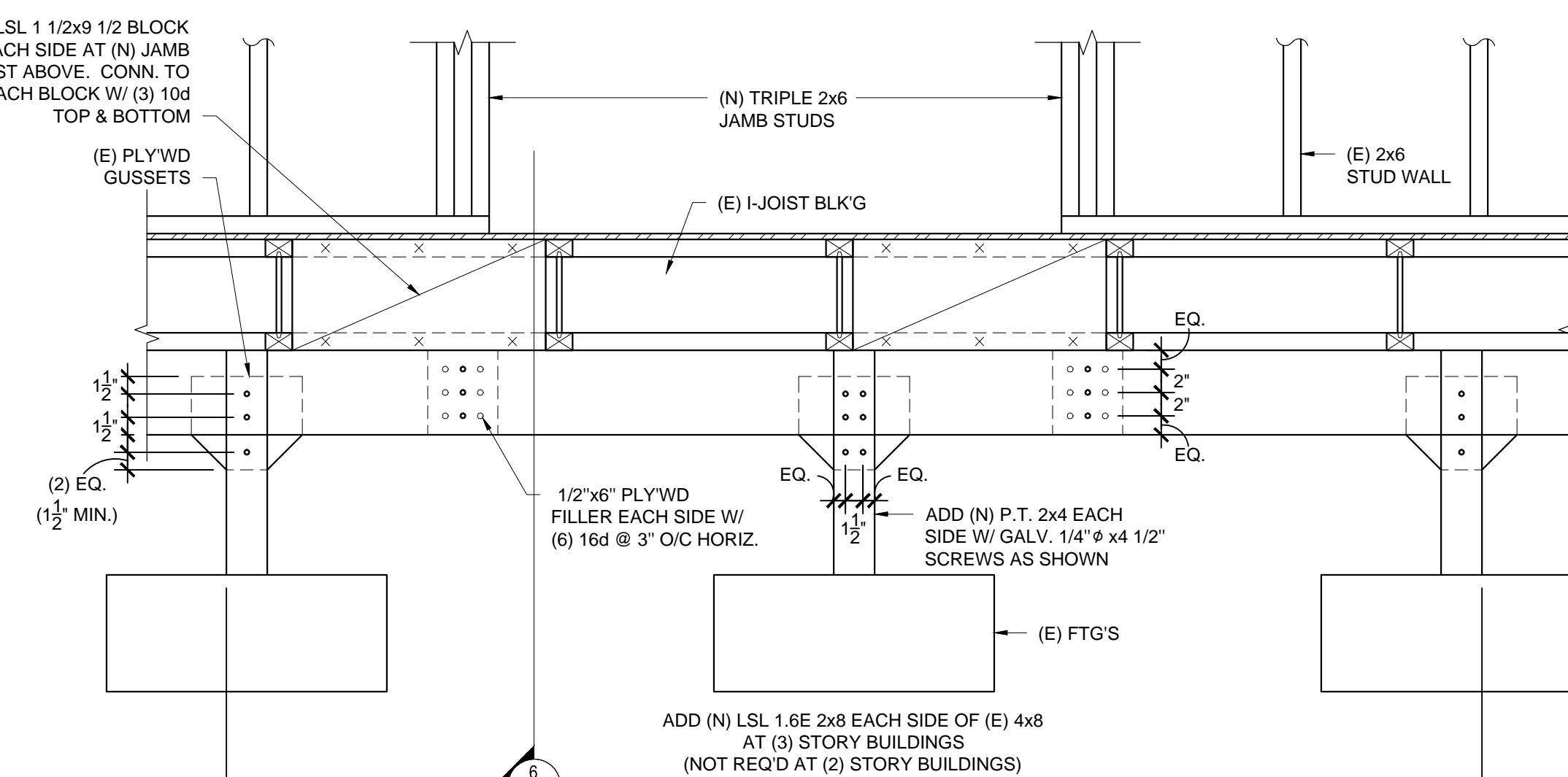
S5.01

T.M.
T.M. RUPPEY
CONSULTING ENGINEERS

EX-12-1899

7680 SW Belmont, Suite 100
Tigard, Oregon 97223
Phone: (503) 445-3900
Fax: (503) 445-3700

REGISTERED PROFESSIONAL
ENGINEER
44079PE
D. GANNETT
OREGON

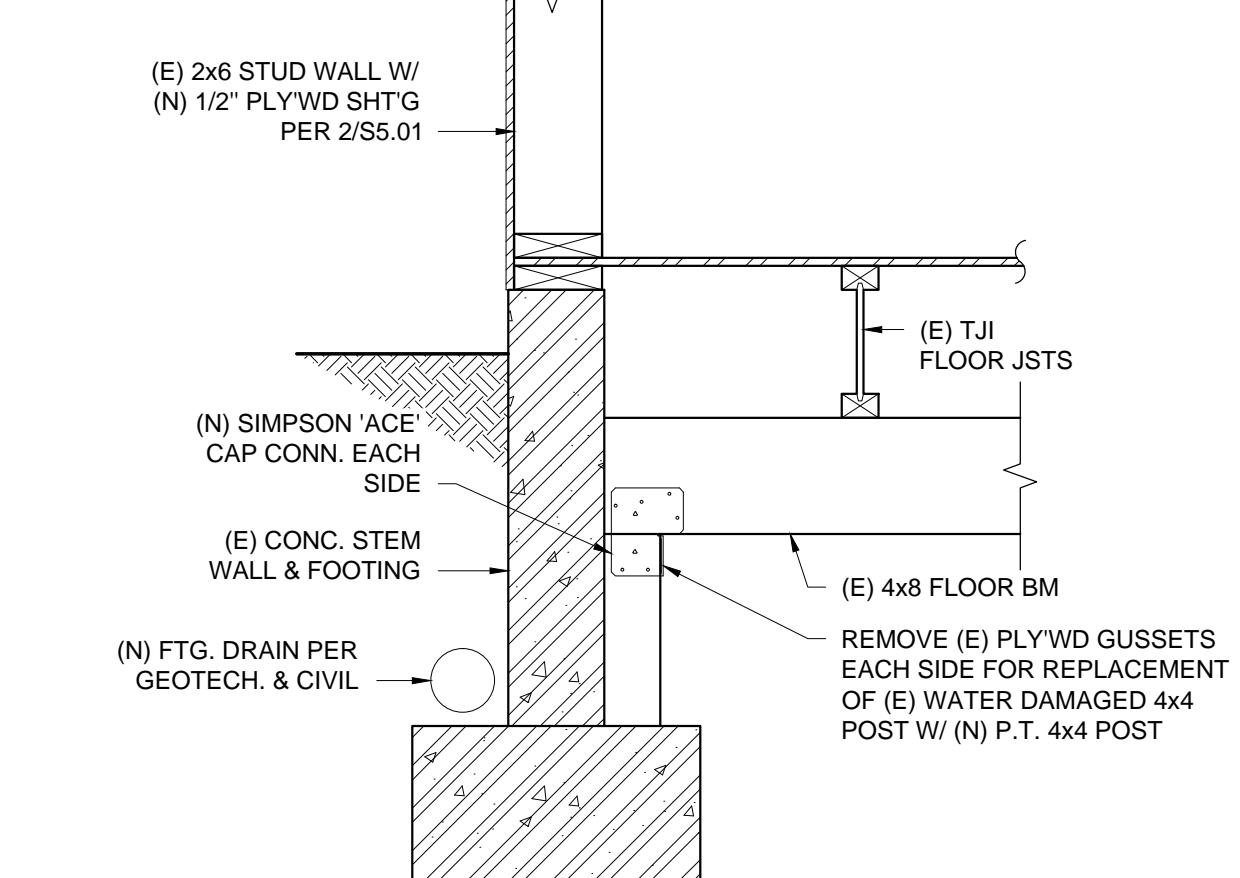


5 TYP. CRAWLSPACE BM UPGRADE AT WIDENED HALL OPENING

SCALE: 1" = 1'-0"

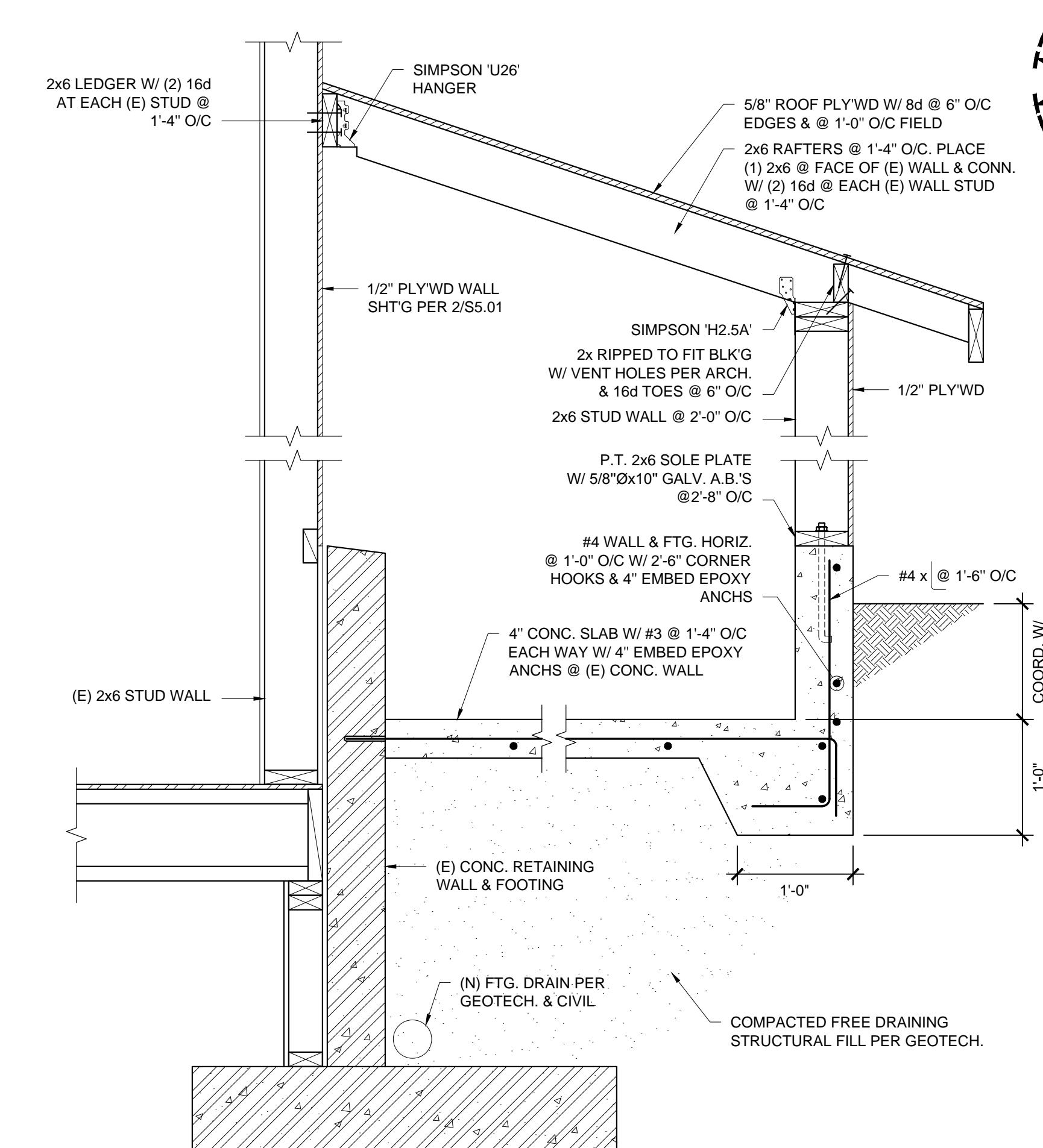
6 (E) CRAWLSPACE BM UPGRADE

SCALE: 1" = 1'-0"



3 TYP. WATER DAMAGED 4x4 CRAWLSPACE POST REPLACEMENT

SCALE: 1" = 1'-0"



7 TYP. (N) FIRE RISER ROOM FRAMING

SCALE: 1" = 1'-0"

FOUNDATION AND CRAWLSPACE DETAILS

TMR PROJ NO.
13350
01.21.14

02.06.14 ADDENDUM #1

1 DECK FOUNDATION SECTION

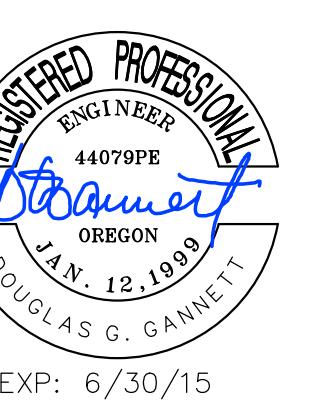
SCALE: 1" = 1'-0"

2 TYP. SCREEN WALL FOUND.

SCALE: 1" = 1'-0"

4 TYP. WATER DAMAGED CRAWLSPACE CRIPPLE WALL REPAIR

SCALE: 1" = 1'-0"



EXP: 6/30/15

PARKWAY VILLAGE : WEST
APARTMENT REHABILITATION
SALEM HOUSING AUTHORITY

PERMIT REVIEW / BID SET

DECK, FLOOR & ROOF
FRAMING DETAILS

TMR PROJ NO.
13350
01.21.14

02.0614 ADDENDUM #1

COPYRIGHT - CARLETON HART ARCHITECTURE DO NOT REPRODUCE WITHOUT PERMISSION

S6.01

