

REGISTERED  
222  
Michael W. Zilis  
MICHAEL W. ZILIS  
LANDSCAPE ARCHITECT  
OREGON

TREE REMOVAL CHART - EAST

QUANTITY	% OF TOTAL	REPLACEMENT VALUE	TOTAL REPLACED
21 NON-SIGNIFICANT OR HISTORIC	54%	1 TREE REPLACEMENT PER EACH TREE REMOVED (1:1)	26 AS REQUIRED TO MEET TREE REPLACEMENT REQ'T AND FOR MULTIPLE FAMILY LANDSCAPING REQ'T

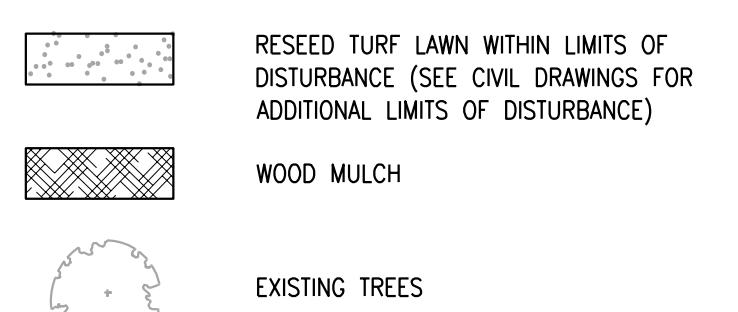
PLANTING REQUIREMENTS - EAST

REQUIREMENT	GENERAL SITE	QUANTITY	REQUIRED	PROVIDED	TOTAL
FOR EVERY TWO THOUSAND (2,000) SQUARE FEET OF GROSS SITE AREA, PLANT AT LEAST ONE (1) TREE OR PRESERVE AT LEAST ONE EXISTING TREE.	155,333 SF	78 TREES	16 EXISTING	42 TREES	
			26 PROPOSED		
EXTERIOR BUILDING REQUIREMENTS					
PROVIDE A MINIMUM TWO (2) PLANT UNITS ADJACENT THE PRIMARY ENTRY WAY OF A DWELLING UNIT OR COMBINATION OF DWELLING UNITS.	11 ENTRIES	22 SHRUBS	22 PROPOSED	22 TOTAL	
DISTRIBUTE SHRUBS AT A MINIMUM DENSITY OF ONE (1) PLANT UNIT PER FIFTEEN (15) LINEAR FEET OF EACH EXTERIOR WALL, ASSUMED FRONT FAÇADE ONLY FOR EXISTING RENOVATION.	700 LF	47 SHRUBS	47 PROPOSED	47 TOTAL	
PARKING LOT LANDSCAPING					
PLANT ONE (1) CANOPY TREE EVERY FIFTY (50) FEET ALONG THE PERIMETER OF PARKING AREAS.	857 LF	17 TREES	8 EXISTING	27 TREES	
PLANT ONE (1) CANOPY TREE OR EQUIVALENT PLANTING UNITS WITHIN PLANTER BAYS WITH MINIMUM OF 5-FOOT WIDTH.	18 BAYS	18 TREES	18 PROPOSED	15 TREES	
MINIMUM REQUIRED LANDSCAPING FOR PARKING AREAS LESS THAN 50,000SF.	33,944 SF	5% OF TOTAL	3,845 SF	3,845 SF	
		1,700 SF			

SITE PLANT SCHEDULE

SYMB	KEY	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION	SPACING	DTL/REF
<b>TREES</b>						
ACFR		ACER X FREEMANII 'JEFFSRED'	AUTUMN BLAZE MAPLE	1.5" CAL./B&B	AS SHOWN	1/L4.1
CACA		CARPINUS CAROLINIANA 'PALISADE CCSQU'	PALISADE AMERICAN HORNBEAM	1.5" CAL./B&B	AS SHOWN	1/L4.1
CEJA		CERCIDiphyllum JAPONICUM	KATSURA TREE	1.5" CAL./B&B	AS SHOWN	1/L4.1
COAL		CORNUS ALTERNIFOLIA	PAGODA DOGWOOD	1.5" CAL./B&B	AS SHOWN	1/L4.1
GLTR		GLEDTISIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	1.5" CAL./B&B	AS SHOWN	1/L4.1
FRAM		FRAXINUS AMERICANA 'AUTUMN APPLAUSE'	AUTUMN APPLAUSE ASH	1.5" CAL./B&B	AS SHOWN	1/L4.1
<b>SHRUBS AND GROUND COVERS</b>						
ABELIA		ABELIA GRANDIFLORA	GLOSSY ABELIA	2 GAL. CONT.	AS SHOWN	2/L4.1
LONICERA		LONICERA PILEATA	PRIVET HONEYSUCKLE	1 GAL. CONT.	AS SHOWN	2/L4.1
LAVANDULA		LAVANDULA ANGUSTIFOLIA 'HIDCOTE'	HIDCOTE LAVENDER	1 GAL. CONT.	AS SHOWN	2/L4.1
MAHONIA		MAHONIA NERVOSA	MAHONIA	1 GAL. CONT.	AS SHOWN	2/L4.1
NANDINA		NANDINA DOMESTICA 'GULF STREAM'	GULF STREAM HEAVENLY BAMBOO	1 GAL. CONT.	AS SHOWN	2/L4.1
PIERIS		PIERIS JAPONICA 'LITTLE HEATH'	LITTLE HEATH ANDROMEDA	1 GAL. CONT.	AS SHOWN	2/L4.1
PINUS		PINUS MUGO VAR 'TYROLEAN'	DAWAR MUGO PINE	2 GAL. CONT.	AS SHOWN	2/L4.1
PRUNUS		PRUNUS LAURIFOLIUS 'MT VERNON'	DAWAR ENGLISH LAUREL	1 GAL. CONT.	AS SHOWN	2/L4.1
RHOODENDRON		RHOODENDRON 'GLACIER'	GLACIER EVERGREEN AZALEA	2 GAL. CONT.	AS SHOWN	2/L4.1
SPIRAEA		SPIRAEA JAPONICA 'LIMEMOUND'	LIMEMOUND SPIREA	2 GAL. CONT.	AS SHOWN	2/L4.1
VIBURNUM		VIBURNUM DAVIDI	DAVID'S VIBURNUM	1 GAL. CONT.	AS SHOWN	2/L4.1
VIBURNUM		VIBURNUM TINUS	KOREAN SPICE VIBURNUM	2 GAL. CONT.	AS SHOWN	2/L4.1
<b>PERENNIALS AND GRASSES</b>						
HEMEROCALLIS		HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	1 GAL. CONT.	AS SHOWN	2/L4.1

LEGEND



PLANTING NOTES:

- CONTRACTOR TO VERIFY LOCATION OF EXISTING TREES INDICATED TO REMAIN PRIOR TO SOIL PREPARATION. PROTECT ALL TREES AND SHRUBS INDICATED TO REMAIN. COORDINATE WITH THE OWNER'S REPRESENTATIVE.
- PLANTING AREAS TO BE SUFICIENTLY CLEANED OF ALL CONSTRUCTION MATERIALS, INCLUDING IMPORTED ROCK, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE BEFORE BEGINNING ANY LANDSCAPE WORK.
- IDENTIFY ALL PLANTING AREAS FIELD WITH WHITE FIELD-MARKING CHALK OR APPROVED EQUAL. PLANTING BEDS TO BE ADJUSTED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLANT LOCATION.
- FOR PLANTING OCCURRING IN MASSES OF SAME PLANT SPECIES, LABELING REFERS TO ALL ADJACENT IDENTICAL SYMBOLS. REFER TO DETAILS AND LEGEND FOR SPACING INFORMATION.
- THE OWNER'S REPRESENTATIVE WILL APPROVE INDIVIDUAL PLANT MATERIAL AND LOCATION OF PLANT MATERIAL PRIOR TO INSTALLATION. REFER TO SPECIFICATIONS FOR PROCEDURE.
- SHRUBS AND GROUNDCOVER TO BE PLANTED A MINIMUM OF ONE HALF THEIR ON CENTER SPACING AWAY FROM PAVEMENT EDGES; UNLESS OTHERWISE NOTED.
- ALL AREAS DISTURBED BY CONSTRUCTION NOT RECEIVING PLANT MATERIAL OR LAWN AS SHOWN ON THE PLANS TO RECEIVE WOOD MULCH AS STATED IN THE SPECIFICATIONS, COORDINATE WITH OWNERS REPRESENTATIVE.
- ALL PROPOSED PLANTING AREAS AND ADJACENT EXISTING PLANTING AREAS WITHIN THE LIMIT OF WORK TO RECEIVE WOOD MULCH AS STATED IN THE SPECIFICATIONS.
- ALL TREES IN LAWN TO RECEIVE 4-FOOT MIN. DIAMETER BARK MULCH RING. MULCH DEPTH TO BE MAX. 3-INCHES UNLESS NOTED OTHERWISE.

WALKER | MACY

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PARKWAY VILLAGE : EAST  
SITE REPAIRS  
SALEM HOUSING AUTHORITY

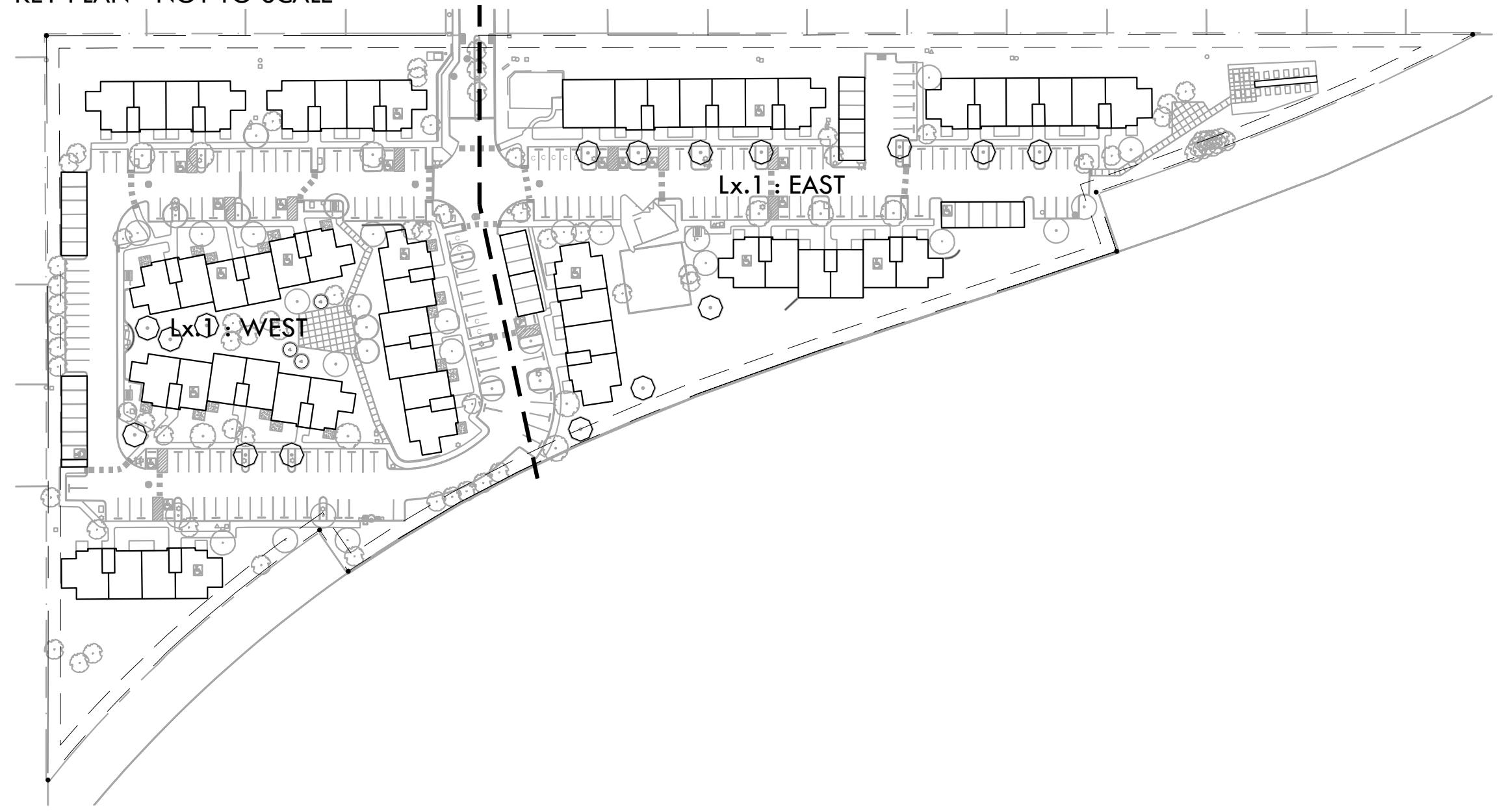
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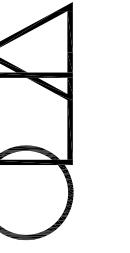
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KEY PLAN - NOT TO SCALE



L1.0



**PARKWAY VILLAGE : EAST**  
APARTMENT REHABILITATION  
SALEM HOUSING AUTHORITY

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**BUILDING MATRIX**

**BUILDING 1 - 3113/ 3115**

UNIT # 111, 112, 113, 114,  
211, 212, 213, 214

**BUILDING 2 - 3103/ 3105**

UNIT # 101, 102, 103, 104,  
201, 202, 203, 204

**BUILDING 3 - 3147/ 3149/ 3151**

UNIT # 135, 136, 137, 138, 139, 140,  
235, 236, 237, 238, 239, 240

**BUILDING 4 - 3163/ 3165/ 3167**

UNIT # 147, 148, 149, 150, 151, 152,  
247, 248, 249, 250, 251, 252

**BUILDING 5 - 3163/ 3165/ 3167**

UNIT # 141, 142, 143, 144, 145, 146,  
241, 242, 243, 244, 245, 246,  
343, 344

**BUILDING 6 - 3137/ 3139**

UNIT # 131, 132, 133, 134,  
231, 232, 233, 234

**BUILDING 7 - 3131/ 3133/ 3135**

UNIT # 125, 126, 127, 128, 129, 130,  
225, 226, 227, 228, 229, 230,  
325, 326, 327, 328, 329, 330

**BUILDING 8 - 3107/ 3109/ 3111**

UNIT # 105, 106, 107, 108, 109, 110,  
205, 206, 207, 208, 209, 210,  
325, 306, 307, 308, 309, 310

**BUILDING 9 - 3125/ 3127/ 3129**

UNIT # 119, 120, 121, 122, 123, 124,  
219, 220, 221, 222, 223, 224,  
319, 320, 321, 322, 323, 324

**BUILDING 10 - 3121/ 3123**

UNIT # 115, 116, 117, 118,  
215, 216, 217, 218

**GARAGE 01 - 3117**

**GARAGE 02 - 3119**

**GARAGE 03 - 3159**

**GARAGE 04 - 3161**

**GARAGE 05 - 3141**

**GENERAL SITE PLAN NOTES**

A. SITE WORK DESCRIBED UNDER SEPARATE PACKAGE.  
SITE INFORMATION PROVIDED IS FOR REFERENCE  
ONLY.

**SITE PLAN LEGEND**

- - - PROPERTY LINE
- 10' SETBACK
- PARKING AREA
- EXISTING BUILDING
- NEW SIDEWALKS
- ▨ EXISTING CONCRETE TO REMAIN
- ▨ NEW STRIPED ADA PARKING AISLE

- C COMPACT PARKING STALL
- NEW CONCRETE WHEEL STOP
- EXISTING TREE

- ACCESIBLE UNIT - SEE FLOOR PLANS
- SIGHT AND HEARING ACCESSIBLE UNIT -  
SEE FLOOR PLANS

SITE PLAN  
EAST

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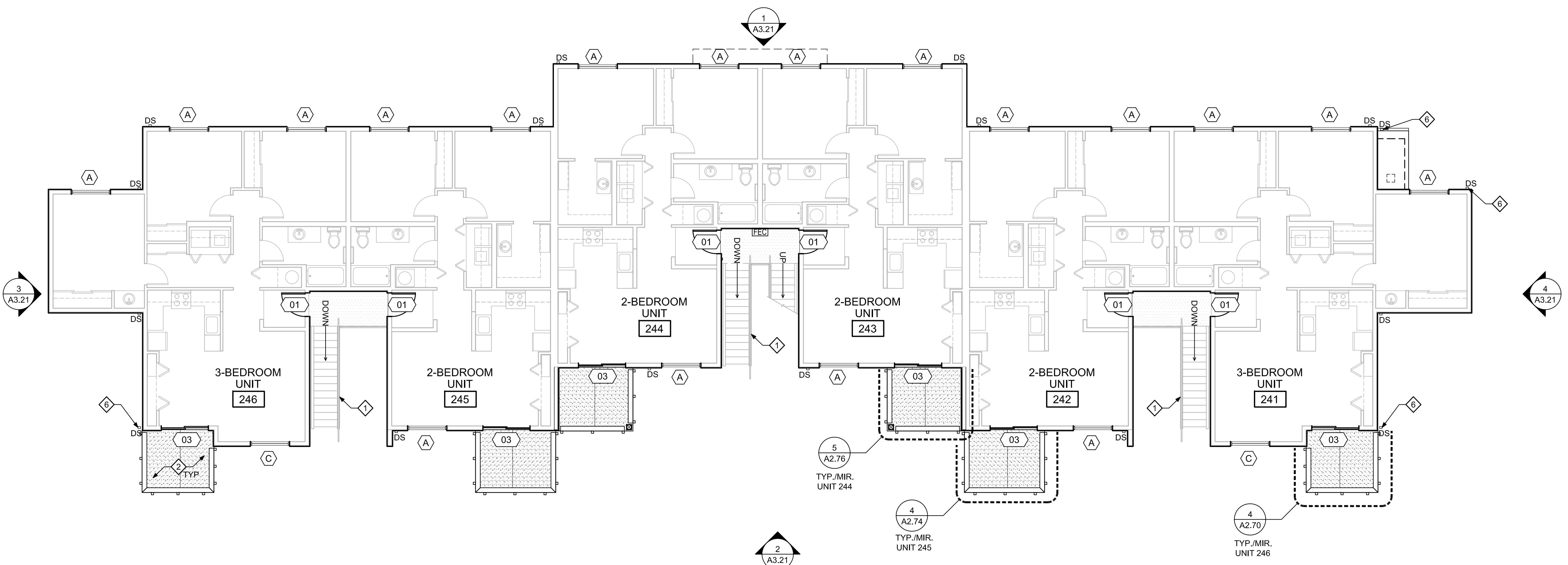
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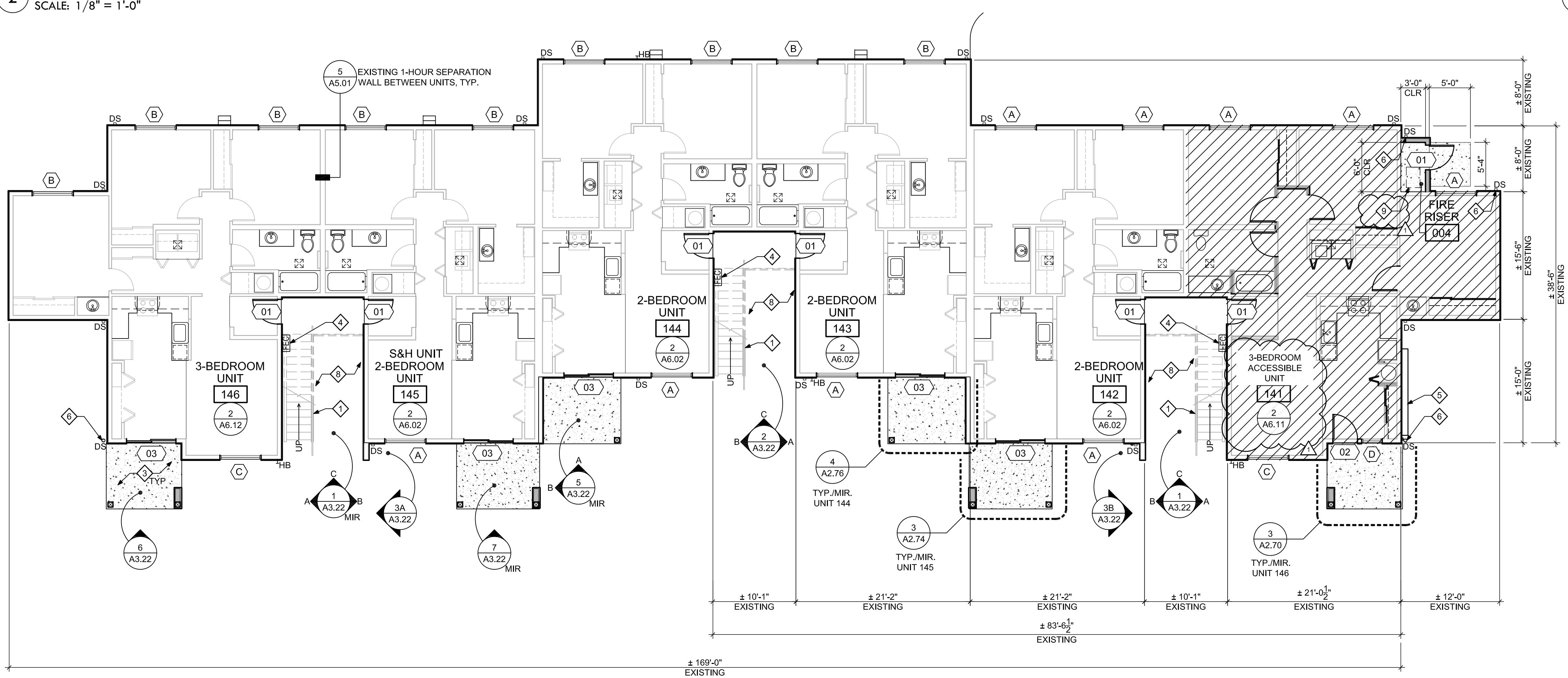
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## 2 BUILDING 05 - SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



## 1 BUILDING 05 - FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

- GENERAL PLAN NOTES**
- A. ANY OBSERVED, KNOWN, OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON SUCH FORM AS REQUIRED BY THE CONTRACT DOCUMENTS.
  - B. REFER TO ENLARGED PLANS FOR DETAILED SCOPE OF INTERIOR WORK.
  - C. PRIMARY INTERIOR SCOPE OF WORK IS LIMITED TO GROUND FLOOR UNITS. SECOND AND THIRD FLOOR INTERIOR WORK CONSISTS PRIMARILY OF PATCHING/PAINTING AS REQUIRED FOR NEW DUCT WORK, WINDOW REPLACEMENT, NEW FIRE SPRINKLERS (3-STORY BUILDINGS), ETC.
  - D. REFER TO EXTERIOR FINISH SCHEDULES FOR FINISH MATERIALS, COLORS, AND TEXTURES.
  - E. EXISTING DIMENSIONS SHOWN ARE FOR REFERENCE ONLY AND MUST BE VERIFIED IN FIELD.
  - F. ALL BUILDINGS ARE TO RECEIVE NEW GUTTERS AND DOWNSPOUTS. INSTALL DOWNSPOUTS IN SAME LOCATIONS AS EXISTING, UNLESS NOTED OTHERWISE.
  - G. ALL UNITS TO RECEIVE CARBON MONOXIDE DETECTORS.

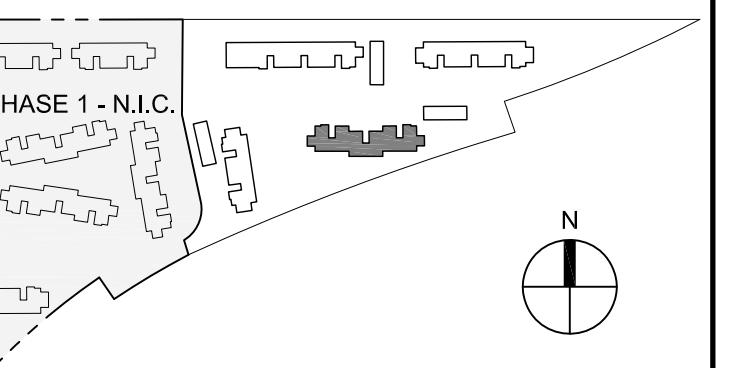
## FLOOR PLAN LEGEND

	CONCRETE SLAB-ON-GRADE
	ELEVATED FRAMED DECK WITH PRECAST CONCRETE DECKING
	ACCESSIBLE UNIT
	DS APPROXIMATE DOWNSPOUT LOCATION
	HB APPROXIMATE EXISTING HOSE BIB LOCATION - INSTALL NEW FROST FREE HOSE BIB

## FLOOR PLAN KEY NOTES

- ① EXISTING STAIR ASSEMBLY TO REMAIN
- ② NEW DECK AND GUARDRAIL ASSEMBLY - REFER TO ENLARGED DECK PLAN SHEETS
- ③ NEW SLAB-ON-GRADE CONCRETE PATIO
- ④ EXISTING FIRE EXTINGUISHER AND CABINET. REMOVE, CLEAN, PROTECT AND REINSTALL.
- ⑤ EXISTING BUILDING POWER, VOICE, DATA AND CABLE
- ⑥ APPURTENANCES TO BE INTEGRATED INTO BUILDING ENCLOSURE.
- ⑦ RAIN DRAIN BOOT AND DOWNSPOUT TO BE RELOCATED
- ⑧ CRAWL SPACE VENT FAN
- ⑨ EXISTING CONCRETE TO REMAIN
- ⑩ 20"x30" ATTIC ACCESS HATCH ABOVE. SEE DETAIL 5/A5.1.8

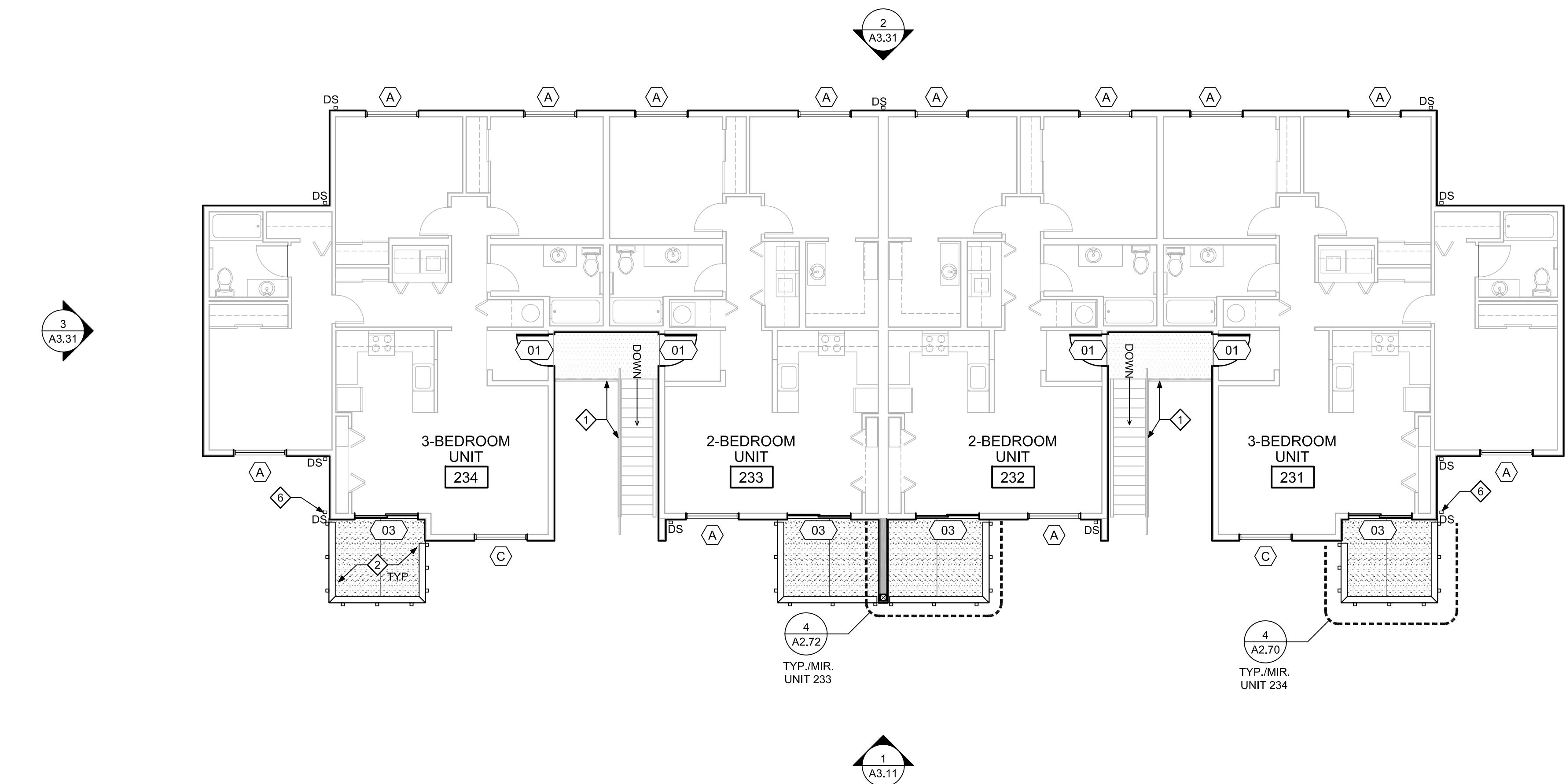
## KEY PLAN - N.T.S.



FLOOR PLANS  
BUILDING 05

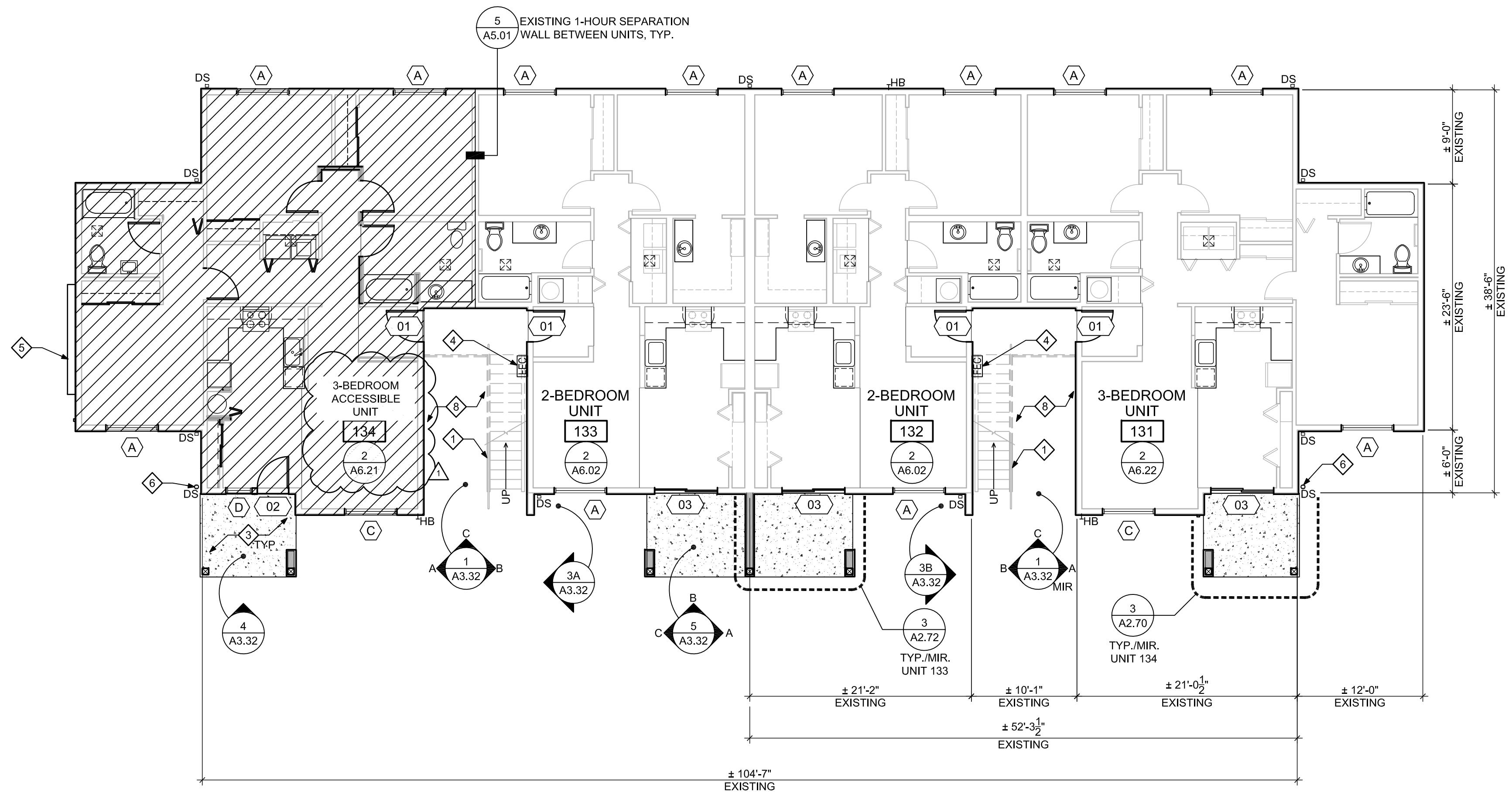
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## 2 BUILDING 06 - SECOND FLOOR PLAN

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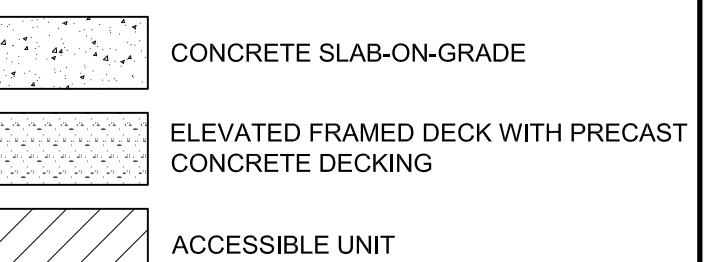


## 1 BUILDING 06 - FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

- GENERAL PLAN NOTES**
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  - B. REFER TO ENLARGED PLANS FOR DETAILED SCOPE OF INTERIOR WORK.
  - C. PRIMARY INTERIOR SCOPE OF WORK IS LIMITED TO GROUND FLOOR UNITS. SECOND AND THIRD FLOOR INTERIOR WORK CONSISTS PRIMARILY OF PATCHING/PAINTING AS REQUIRED FOR NEW DUCT WORK, WINDOW REPLACEMENT, NEW FIRE SPRINKLERS (3-STORY BUILDINGS), ETC.
  - D. REFER TO EXTERIOR FINISH SCHEDULES FOR FINISH MATERIALS, COLORS, AND TEXTURES.
  - E. EXISTING DIMENSIONS SHOWN ARE FOR REFERENCE ONLY AND MUST BE VERIFIED IN FIELD.
  - F. ALL BUILDINGS ARE TO RECEIVE NEW GUTTERS AND DOWNSPOUTS. INSTALL DOWNSPOUTS IN SAME LOCATIONS AS EXISTING, UNLESS NOTED OTHERWISE.
  - G. ALL UNITS TO RECEIVE CARBON MONOXIDE DETECTORS.

## FLOOR PLAN LEGEND

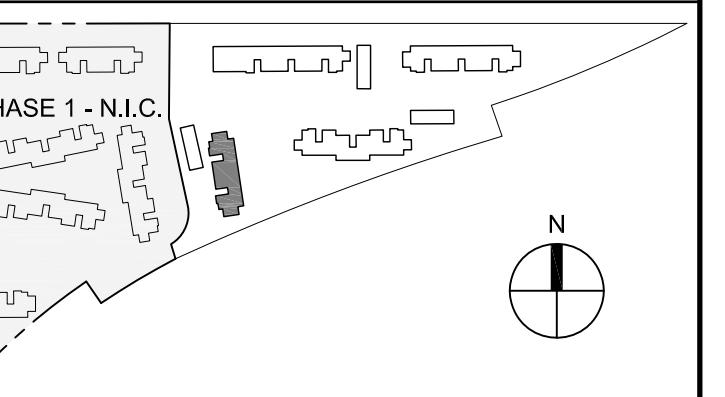


DS APPROXIMATE DOWNSPOUT LOCATION  
HB APPROXIMATE EXISTING HOSE BIB LOCATION - INSTALL NEW FROST FREE HOSE BIB

## FLOOR PLAN KEY NOTES

- 1 EXISTING STAIR ASSEMBLY TO REMAIN
- 2 NEW DECK AND GUARDRAIL ASSEMBLY - REFER TO ENLARGED DECK PLAN SHEETS
- 3 NEW SLAB-ON-GRADE CONCRETE PATIO
- 4 EXISTING FIRE EXTINGUISHER AND CABINET. REMOVE, CLEAN, PROTECT AND REINSTALL.
- 5 EXISTING BUILDING POWER, VOICE, DATA AND CABLE
- 6 TV APPURTENANCES TO BE INTEGRATED INTO BUILDING ENCLOSURE.
- 7 RAIN DRAIN BOOT AND DOWNSPOUT TO BE RELOCATED
- 8 CRAWL SPACE VENT FAN
- 9 EXISTING CONCRETE TO REMAIN
- 10 20'x30' ATTIC ACCESS HATCH ABOVE. SEE DETAIL 5(A5.1.8)

## KEY PLAN - N.T.S.



FLOOR PLANS  
BUILDING 06

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# GENERAL PLAN NOTES

- ANY OBSERVED, KNOWN, OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON SUCH FORM AS REQUIRED BY THE CONTRACT DOCUMENTS.

REFER TO EXTERIOR FINISH SCHEDULES FOR FINISH MATERIALS, COLORS, AND TEXTURES.

EXISTING DIMENSIONS SHOWN ARE FOR REFERENCE ONLY AND MUST BE VERIFIED IN FIELD.

ALL BUILDINGS ARE TO RECEIVE NEW GUTTERS AND DOWNSPOUTS. INSTALL DOWNSPOUTS IN SAME LOCATIONS AS EXISTING, UNLESS NOTED OTHERWISE.

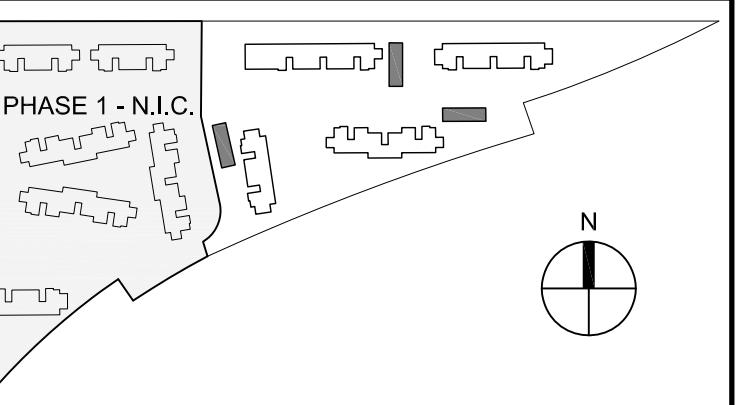
## FLOOR PLAN LEGEND

The image shows an architectural floor plan of a building's foundation. A rectangular area representing a concrete slab is shown with a grid of small circles indicating rebar placement. A vertical line labeled "NEW WALL - FULL HEIGHT" extends upwards from the bottom left corner of the slab. A horizontal line labeled "APPROXIMATE DOWNSPOUT LOCATION" extends from the top edge of the slab towards the right. The background features a hatched pattern representing earth or ground level.

## FLOOR PLAN KEY NOTES

- 1 EXISTING GARAGE STALL
  - 2 EXISTING GARAGE DOOR TO REMAIN
  - 3 EXISTING WALL TO BE REMOVED
  - 4 RAIN DRAIN BOOT AND DOWNSPOUT TO BE  
RELOCATED AT NEW ADDITION ONLY
  - 5 NEW CONCRETE SLAB ON GRADE WITH TURN DOWN  
FOOTING
  - 6 NEW UNINSULATED WALL
  - 7 EXISTING GARAGE DOOR TO REMAIN, DOOR TO  
RECEIVE AUTOMATIC OPENER
  - 8 NEW DOOR TO HAVE ACCESSIBLE THRESHOLD

## **KEY PLAN - N.T.S.**



## ROOF PLAN LEGEND

— — — — DASHED LINE INDICATES ITEM BELOW  
\_\_\_\_\_ DS GUTTER AND APPROXIMATE LOCATION  
OF DOWNSPOUT

## ROOF PLAN KEY NOTES

- 1 ROOFING ASSEMBLY
  - 2 NEW METAL GUTTER
  - 3 STATIC ROOF VENT, INSTALL ONE PER GARAGE BAY,  
CENTERED, TYP.
  - 4 NOT ALL ROOF PENETRATIONS SHOWN.  
CONTRACTOR TO VERIFY EXISTING MECHANICAL AND  
PLUMBING VENTS AND TERMINATE ABOVE FINISHED  
ROOFING WITH APPROVED CAP VENT DUCT  
TERMINATION OR PIPE VENT FLASHING - TYP.

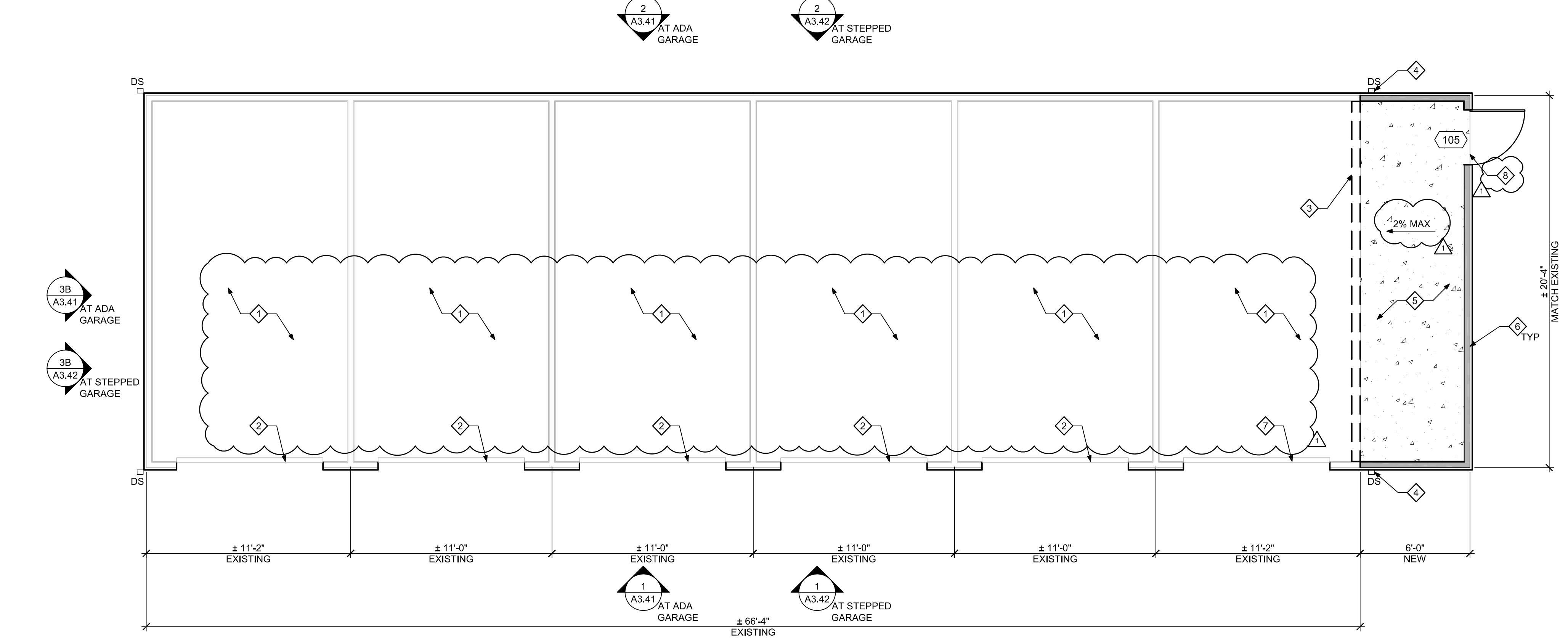
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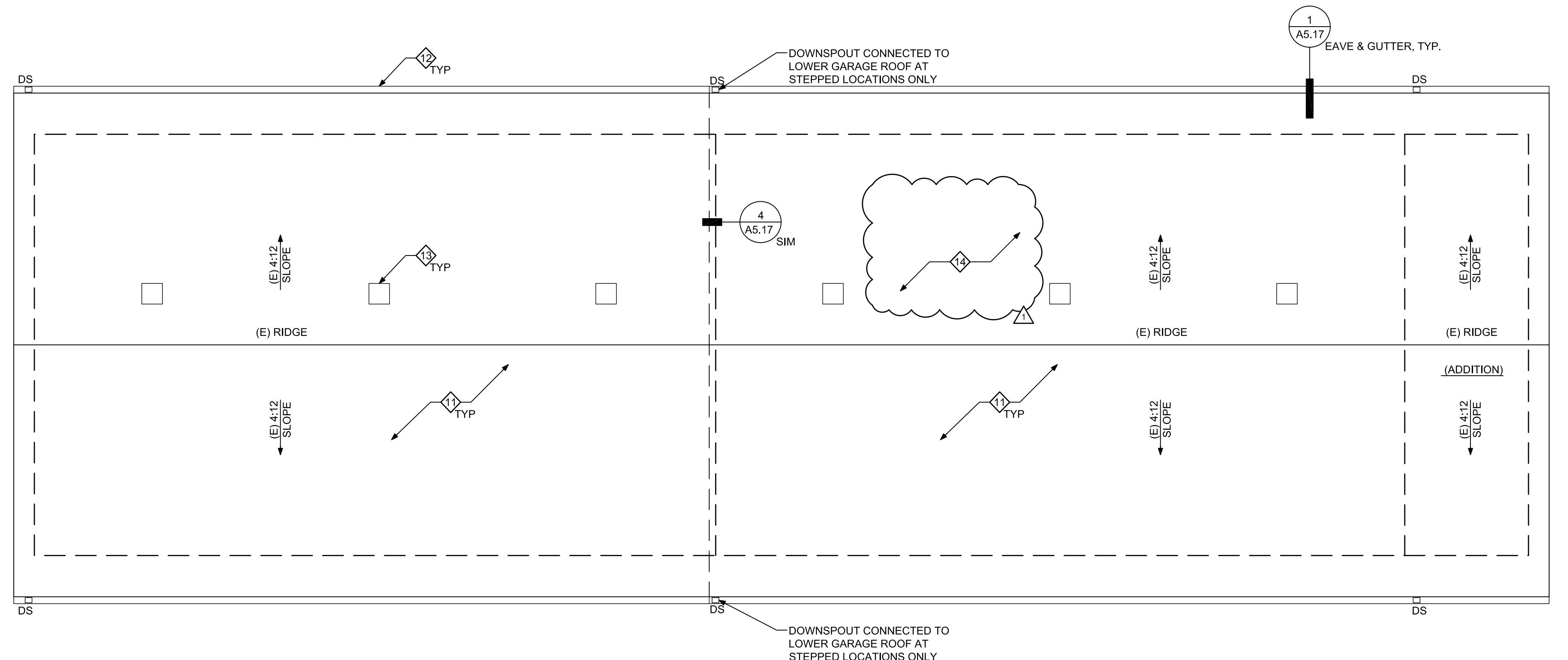
# GARAGE FLOOR PLAN

SCALE: 1/4" = 1'-0"



# GARAGE FLOOR PLAN

SCALE: 1/4" = 1'-0"



# 1 GARAGE ROOF PLAN

SCALE: 1/4" = 1'-0"



**GENERAL ELEVATION NOTES**

- ANY OBSERVED, KNOWN, OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON SUCH FORM AS REQUIRED BY THE CONTRACT DOCUMENTS.
- EXISTING ENTRY STAIR AND GUARDRAIL ASSEMBLIES ARE TO REMAIN IN PLACE. PROTECT DURING CONSTRUCTION.
- REFER TO EXTERIOR FINISH SCHEDULE FOR FINISH MATERIALS, COLORS, AND TEXTURES.
- EXISTING DIMENSIONS SHOWN ARE FOR REFERENCE ONLY AND MUST BE VERIFIED IN FIELD.
- EXISTING VOICE/DATA CABLEING SHALL BE FIELD VERIFIED AND INTEGRATED INTO NEW CLADDING ASSEMBLY TO THE GREATEST EXTENT POSSIBLE.
- NOT ALL APPURTENANCES MAY BE INDICATED. CONTRACTOR TO FIELD VERIFY SIZES, QUANTITIES, LOCATIONS, AND TYPES PRIOR TO COMMENCEMENT OF WORK.
- PAINT ALL APPURTENANCE BLOCKS AND ASSOCIATED METAL FLASHING TO MATCH ADJACENT SIDING.
- PAINT ALL ELECTRICAL EQUIPMENT AND ASSOCIATED MOUNTING PANELS AND METAL FLASHING TO MATCH ADJACENT SIDING. MASK OFF AND PROTECT LATCHES, LOCKS, LABELS, TAGS, VIEW PANELS, ETC.
- PAINT UNDERSIDE OF EAVES AND RAKES TO MATCH ADJACENT SIDING COLOR.
- PAINT ALL METAL VENT COVERS TO MATCH ADJACENT SIDING. PROTECT AND CLEAN OPERABLE PARTS TO ENSURE PROPER FUNCTION.
- GUTTERS AND DOWNSPOUTS TO BE PREFINISHED METAL.
- FASCIA AND BARGE RAFTERS PAINTED TO MATCH GUTTERS AND DOWNSPOUTS.
- INFORMATION WITHIN EXTERIOR ENTRY NOT SHOWN FOR CLARITY ON OVERALL ELEVATION.
- NEW GARAGE EXTENSION AND SIDE DOOR ONLY IN SPECIFIC LOCATIONS. REFER TO SITE PLAN.

**EXTERIOR FINISH/MATERIALS LEGEND**

	FC-01 COLOR: PT-01 LAP, 8" EXPOSURE
	FC-02 COLOR: PT-02 LAP, 5" EXPOSURE
	FC-03 COLOR: PT-03 PANEL
	FC-04 COLOR: PT-04 PANEL
	FC-05 COLOR: PT-05 PANEL
	TR-01 COLOR: PT-05 NOTE: TR-01 TO BE 12", ALL OTHER TRIM TO BE 4", UON ON ELEVATIONS AND DETAILS.
	GLAZED FENESTRATION
	ROOF SYSTEM
	NEW GUARDRAIL SYSTEM SHOWN DASHED FOR CLARITY

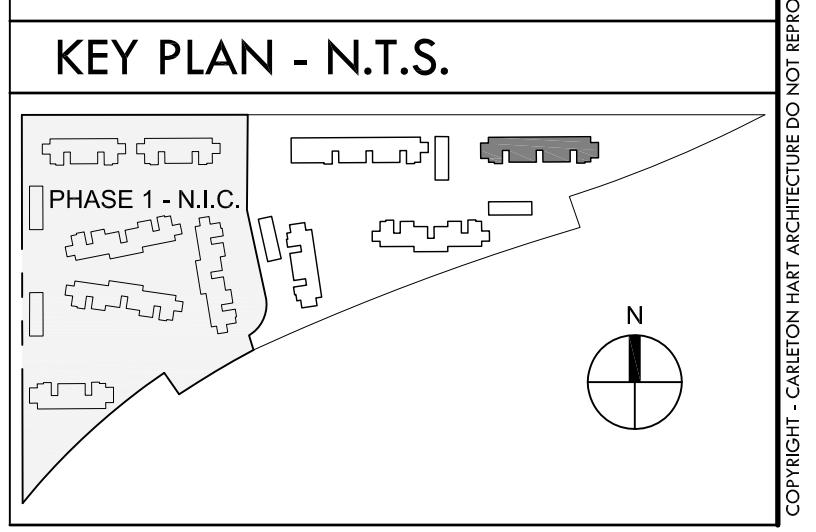
**ELEVATION KEY NOTES**

- ① APPROXIMATE LOCATION OF BUILDING SIGNAGE
- ② REMOVE AND REINSTALL EXISTING MOUNTED LIGHT  
NEW DOWNSPOUT CONNECTED TO EXISTING STORM  
SYSTEM, UNLESS NOTED OTHERWISE - REFER TO  
PLANS
- ③ MECHANICAL PENETRATION AT WALL
- ④ FIBER CEMENT TRIM - TYPICAL
- ⑤ APPROXIMATE LINE OF CONCRETE FOOTING/STEM  
WALL
- ⑥ EXTERIOR ENTRY
- ⑦ EXISTING CONDUIT/WIRING TO BE INTEGRATED INTO  
BUILDING ENCLOSURE
- ⑧ EXISTING TELEPHONE/CABLE WIRING TO BE  
INTEGRATED INTO BUILDING ENCLOSURE
- ⑨ EXISTING ROUND LOUVER TO BE REMOVED
- ⑩ EXISTING FOUNDATION VENT TO REMAIN
- ⑪ DOOR NOT SHOWN FOR CLARITY
- ⑫ REMOVE EXISTING LIGHT FIXTURE. INSTALL NEW  
ENERGY STAR LIGHT FIXTURE IN SAME LOCATION
- ⑬ NEW EXTERIOR ENERGY STAR LIGHT FIXTURE AND  
LAMP

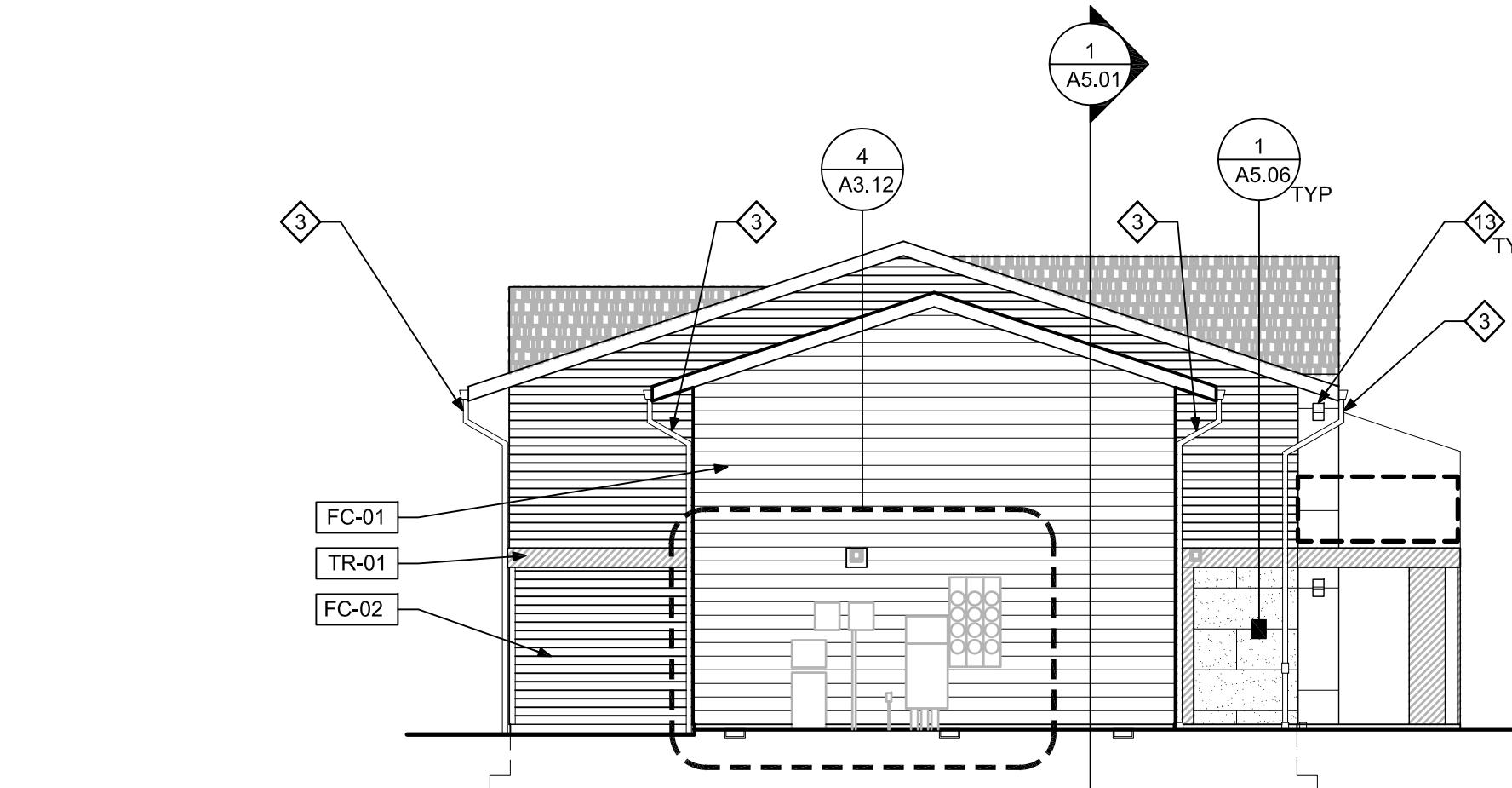
EXTERIOR ELEVATIONS  
BUILDING 04

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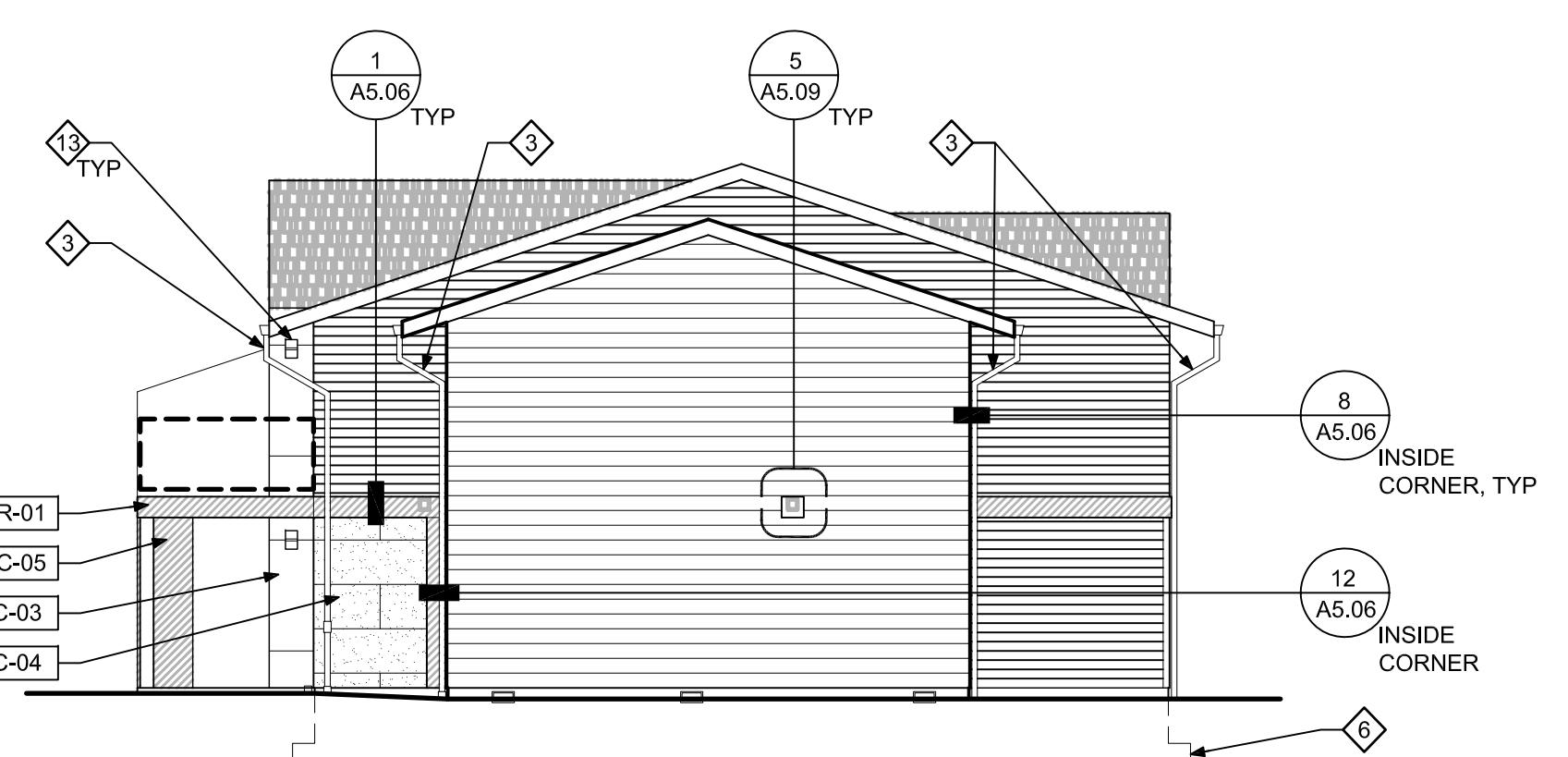


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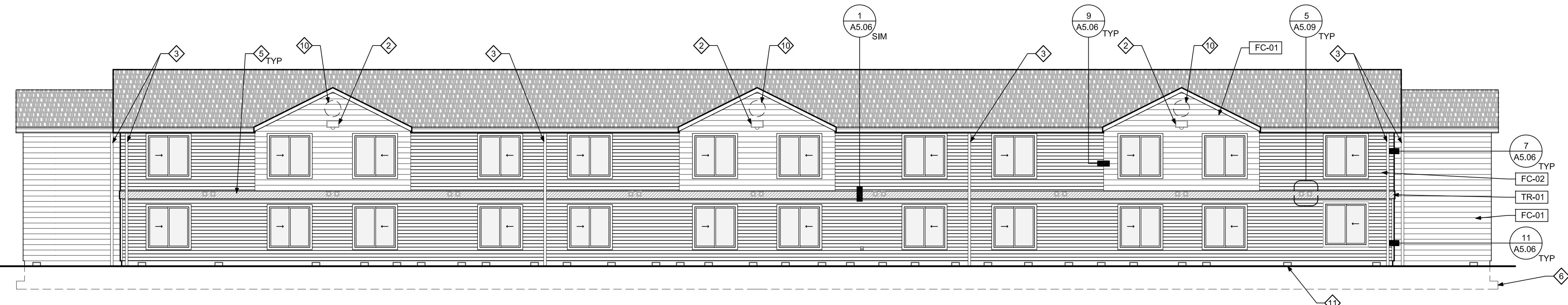
**3 BUILDING 04 - WEST ELEVATION**

SCALE: 1/8" = 1'-0"



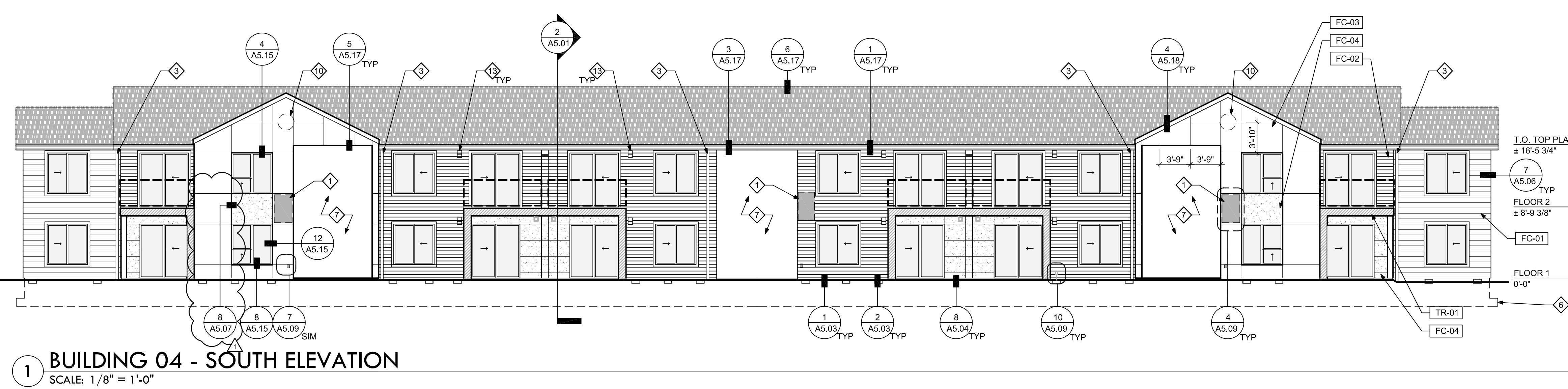
**4 BUILDING 04 - EAST ELEVATION**

SCALE: 1/8" = 1'-0"



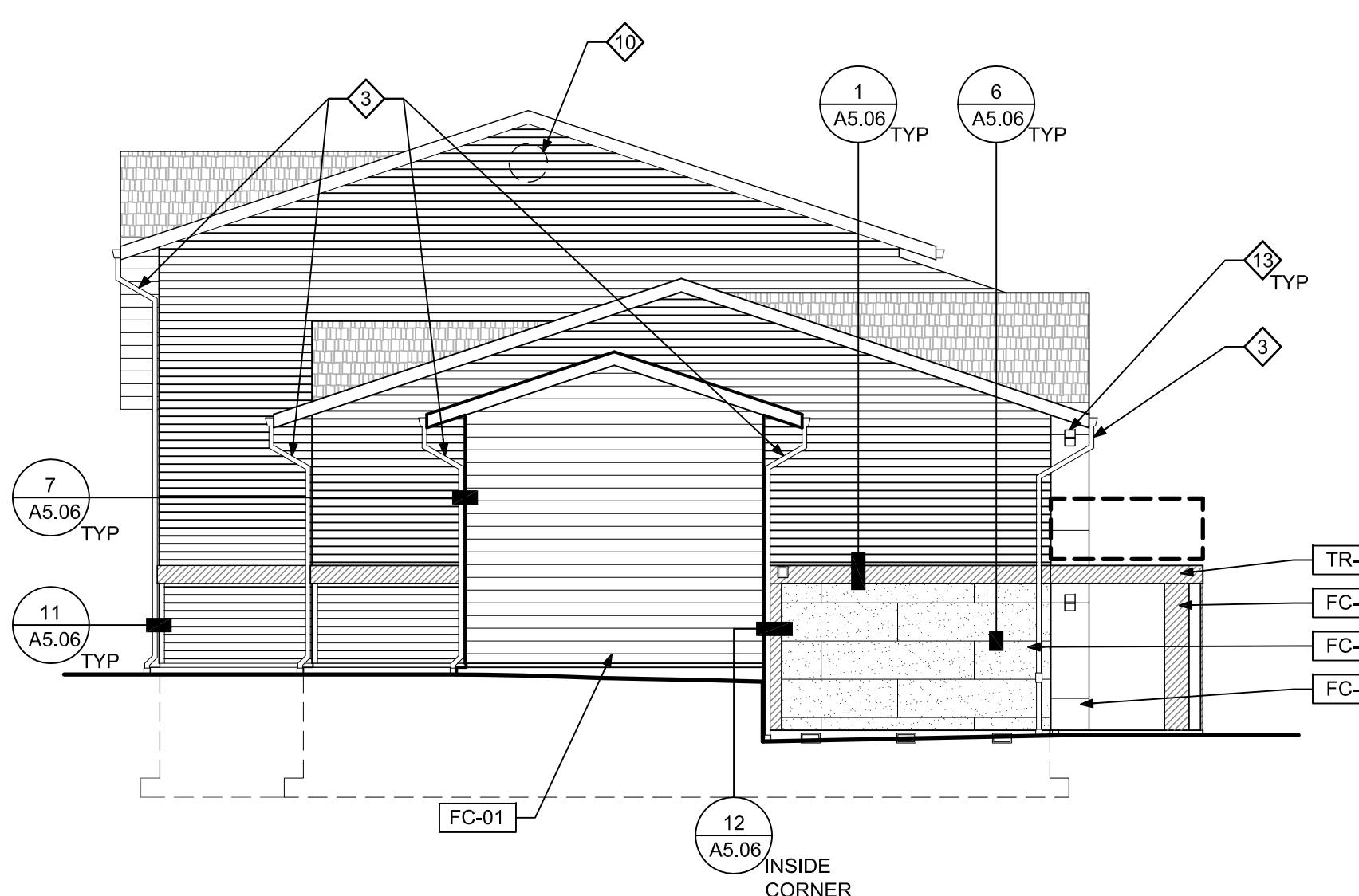
**2 BUILDING 04 - NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



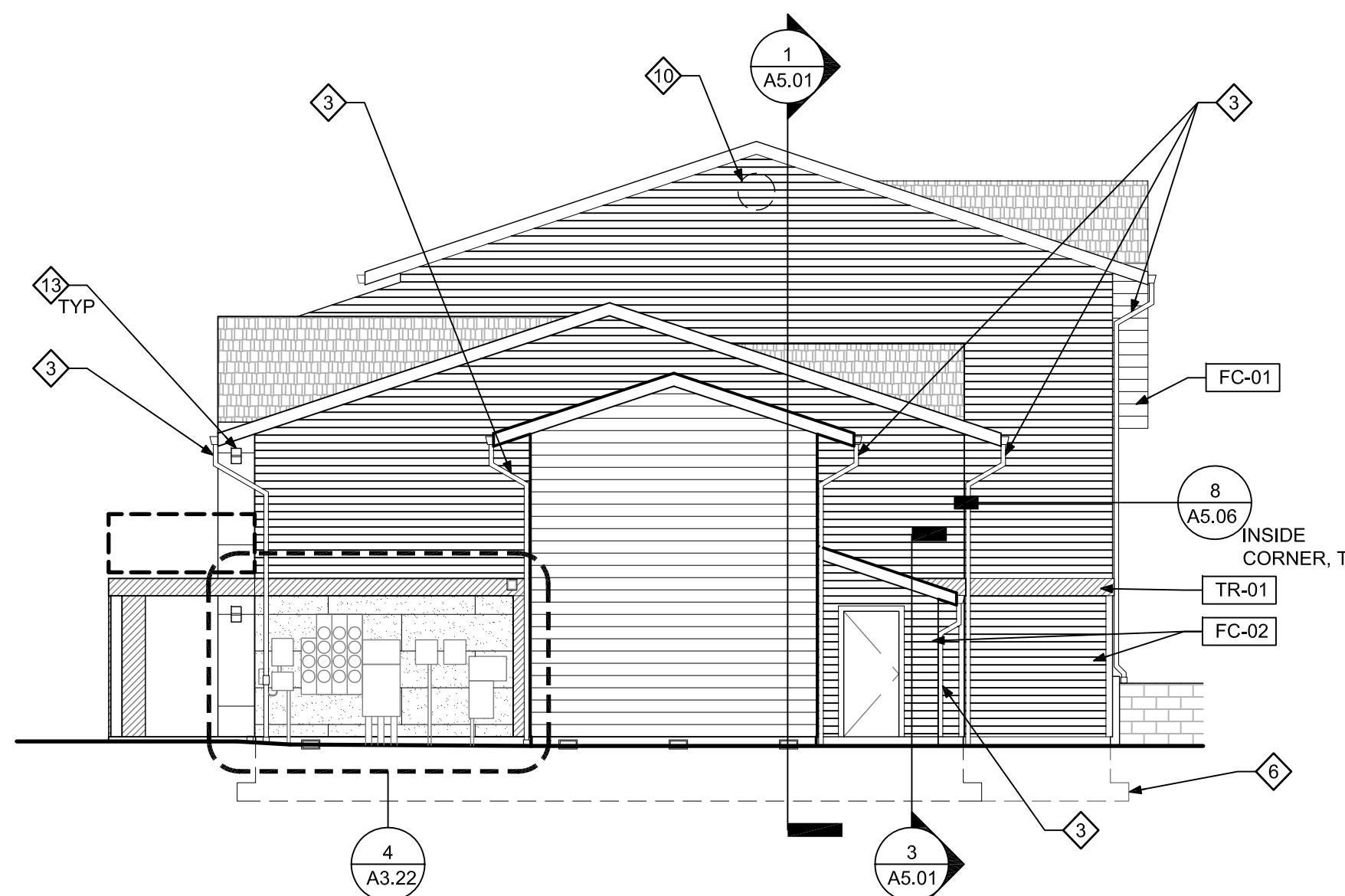
**1 BUILDING 04 - SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



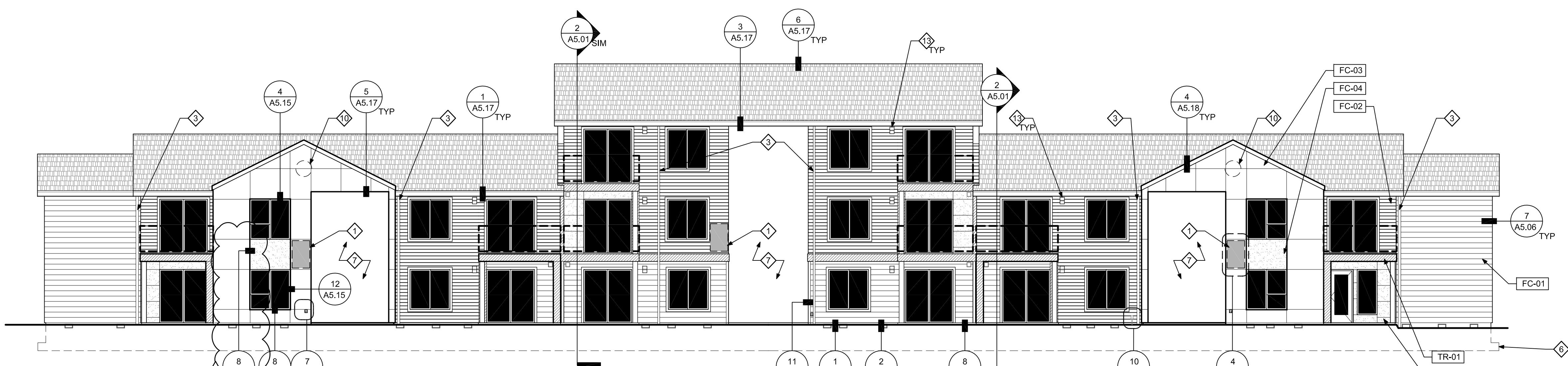
4 BUILDING 05 - EAST ELEVATION

SCALE: 1/8" = 1'-0"



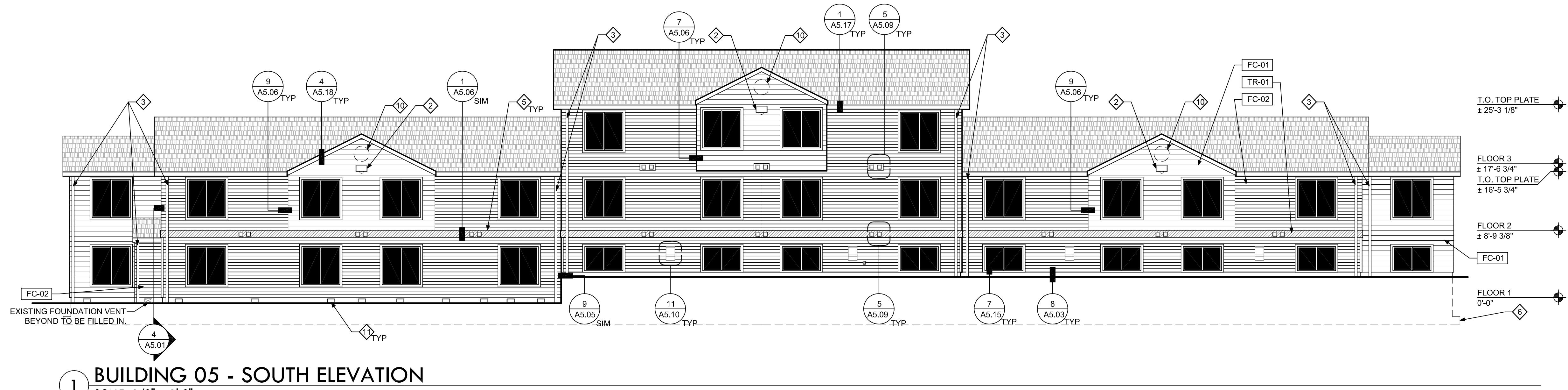
4 BUILDING 05 - WEST ELEVATION

SCALE: 1/8" = 1'-0"



2 BUILDING 05 - NORTH ELEVATION

SCALE: 1/8" = 1'-0"



1 BUILDING 05 - SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

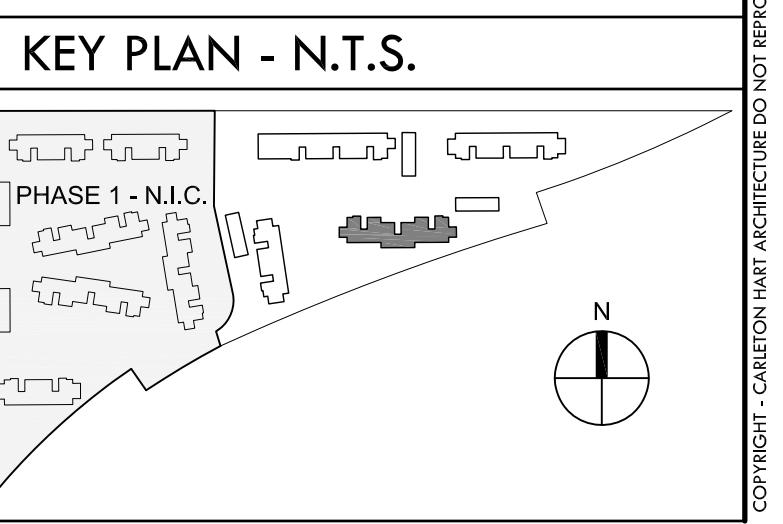
- GENERAL ELEVATION NOTES**
- ANY OBSERVED, KNOWN, OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON SUCH FORM AS REQUIRED BY THE CONTRACT DOCUMENTS.
  - EXISTING ENTRY STAIR AND GUARDRAIL ASSEMBLIES ARE TO REMAIN IN PLACE. PROTECT DURING CONSTRUCTION.
  - REFER TO EXTERIOR FINISH SCHEDULE FOR FINISH MATERIALS, COLORS, AND TEXTURES.
  - EXISTING DIMENSIONS SHOWN ARE FOR REFERENCE ONLY AND MUST BE VERIFIED IN FIELD.
  - EXISTING VOICE/DATA CABLEING SHALL BE FIELD VERIFIED AND INTEGRATED INTO NEW CLADDING ASSEMBLY TO THE GREATEST EXTENT POSSIBLE.
  - NOT ALL APPURTENANCES MAY BE INDICATED. CONTRACTOR TO FIELD VERIFY SIZES, QUANTITIES, LOCATIONS, AND TYPES PRIOR TO COMMENCEMENT OF WORK.
  - PAINT ALL APPURTENANCE BLOCKS AND ASSOCIATED METAL FLASHING TO MATCH ADJACENT SIDING.
  - PAINT ALL ELECTRICAL EQUIPMENT AND ASSOCIATED MOUNTING PANELS AND METAL FLASHING TO MATCH ADJACENT SIDING. MASK OFF AND PROTECT LATCHES, LOCKS, LABELS, TAGS, VIEW PANELS, ETC.
  - PAINT UNDERSIDE OF EAVES AND RAKES TO MATCH ADJACENT SIDING COLOR.
  - PAINT ALL METAL VENT COVERS TO MATCH ADJACENT SIDING. PROTECT AND CLEAN OPERABLE PARTS TO ENSURE PROPER FUNCTION.
  - GUTTERS AND DOWNSPOUTS TO BE PREFINISHED METAL.
  - FASCIA AND BARGE RAFTERS PAINTED TO MATCH GUTTERS AND DOWNSPOUTS.
  - INFORMATION WITHIN EXTERIOR ENTRY NOT SHOWN FOR CLARITY ON OVERALL ELEVATION.
  - NEW GARAGE EXTENSION AND SIDE DOOR ONLY IN SPECIFIC LOCATIONS. REFER TO SITE PLAN.

**EXTERIOR FINISH/MATERIALS LEGEND**

FC-01	COLOR: PT-01 LAP, 8" EXPOSURE
FC-02	COLOR: PT-02 LAP, 5" EXPOSURE
FC-03	COLOR: PT-03 PANEL
FC-04	COLOR: PT-04 PANEL
FC-05	COLOR: PT-05 PANEL
TR-01	COLOR: PT-05 NOTE: TR-01 TO BE 12", ALL OTHER TRIM TO BE 4", UON ON ELEVATIONS AND DETAILS.
GLAZED FENESTRATION	
ROOF SYSTEM	
NEW GUARDRAIL SYSTEM SHOWN DASHED FOR CLARITY	

**ELEVATION KEY NOTES**

- ① APPROXIMATE LOCATION OF BUILDING SIGNAGE
  - ② REMOVE AND REINSTALL EXISTING MOUNTED LIGHT
  - ③ NEW DOWNSPOUT CONNECTED TO EXISTING STORM SYSTEM, UNLESS NOTED OTHERWISE - REFER TO PLANS
  - ④ MECHANICAL PENETRATION AT WALL
  - ⑤ FIBER CEMENT TRIM - TYPICAL
  - ⑥ APPROXIMATE LINE OF CONCRETE FOOTING/STEM WALL
  - ⑦ EXTERIOR ENTRY
  - ⑧ EXISTING CONDUIT/WIRING TO BE INTEGRATED INTO BUILDING ENCLOSURE
  - ⑨ EXISTING TELEPHONE/CABLE WIRING TO BE INTEGRATED INTO BUILDING ENCLOSURE
  - ⑩ EXISTING ROUND LOUVER TO BE REMOVED
  - ⑪ EXISTING FOUNDATION VENT TO REMAIN
  - ⑫ DOOR NOT SHOWN FOR CLARITY
  - ⑬ REMOVE EXISTING LIGHT FIXTURE. INSTALL NEW ENERGY STAR LIGHT FIXTURE IN SAME LOCATION
  - ⑭ NEW EXTERIOR ENERGY STAR LIGHT FIXTURE AND LAMP
- EXTERIOR ELEVATIONS BUILDING 05
- PROJ NO. 21348  
01.21.14
- 02.06.14 ADDENDUM #1



**GENERAL ELEVATION NOTES**

- A. ANY OBSERVED, KNOWN, OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON SUCH FORM AS REQUIRED BY THE CONTRACT DOCUMENTS.
- B. EXISTING ENTRY STAIR AND GUARDRAIL ASSEMBLIES ARE TO REMAIN IN PLACE. PROTECT DURING CONSTRUCTION.
- C. REFER TO EXTERIOR FINISH SCHEDULE FOR FINISH MATERIALS, COLORS, AND TEXTURES.
- D. EXISTING DIMENSIONS SHOWN ARE FOR REFERENCE ONLY AND MUST BE VERIFIED IN FIELD.
- E. EXISTING VOICE/DATA CABLEING SHALL BE FIELD VERIFIED AND INTEGRATED INTO NEW CLADDING ASSEMBLY TO THE GREATEST EXTENT POSSIBLE.
- F. NOT ALL APPURTENANCES MAY BE INDICATED. CONTRACTOR TO FIELD VERIFY SIZES, QUANTITIES, LOCATIONS, AND TYPES PRIOR TO COMMENCEMENT OF WORK.
- G. PAINT ALL APPURTENANCE BLOCKS AND ASSOCIATED METAL FLASHING TO MATCH ADJACENT SIDING.
- H. PAINT ALL ELECTRICAL EQUIPMENT AND ASSOCIATED MOUNTING PANELS AND METAL FLASHING TO MATCH ADJACENT SIDING. MASK OFF AND PROTECT LATCHES, LOCKS, LABELS, TAGS, VIEW PANELS, ETC.
- I. PAINT UNDERSIDE OF EAVES AND RAKES TO MATCH ADJACENT SIDING COLOR.
- J. PAINT ALL METAL VENT COVERS TO MATCH ADJACENT SIDING. PROTECT AND CLEAN OPERABLE PARTS TO ENSURE PROPER FUNCTION.
- K. GUTTERS AND DOWNSPOUTS TO BE PREFINISHED METAL.
- L. FASCIA AND BARGE RAFTERS PAINTED TO MATCH GUTTERS AND DOWNSPOUTS.
- M. INFORMATION WITHIN EXTERIOR ENTRY NOT SHOWN FOR CLARITY ON OVERALL ELEVATION.
- N. NEW GARAGE EXTENSION AND SIDE DOOR ONLY IN SPECIFIC LOCATIONS. REFER TO SITE PLAN.

**EXTERIOR FINISH/MATERIALS LEGEND**

FC-01	COLOR: PT-01 LAP, 8" EXPOSURE
FC-02	COLOR: PT-02 LAP, 5" EXPOSURE
FC-03	COLOR: PT-03 PANEL
FC-04	COLOR: PT-04 PANEL
FC-05	COLOR: PT-05 PANEL
TR-01	COLOR: PT-05 NOTE: TR-01 TO BE 12", ALL OTHER TRIM TO BE 4", UON ON ELEVATIONS AND DETAILS.
GLAZED FENESTRATION	
ROOF SYSTEM	
NEW GUARDRAIL SYSTEM SHOWN DASHED FOR CLARITY	

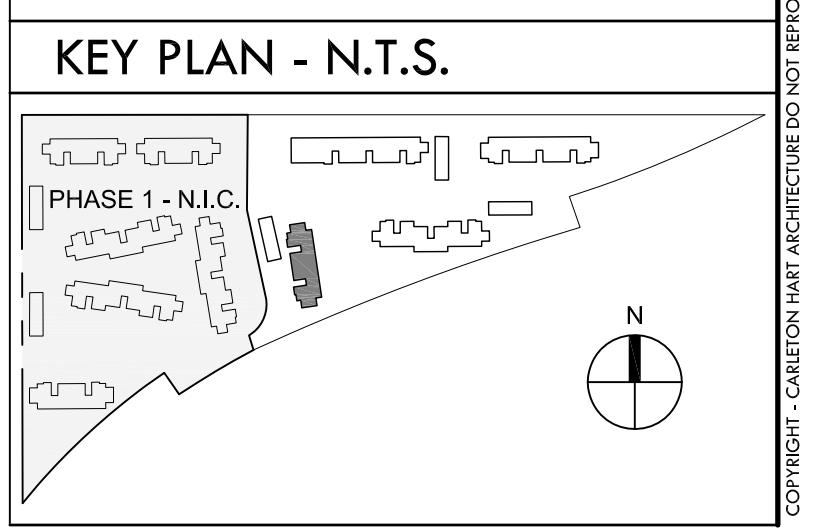
**ELEVATION KEY NOTES**

- ① APPROXIMATE LOCATION OF BUILDING SIGNAGE
- ② REMOVE AND REINSTALL EXISTING MOUNTED LIGHT
- ③ NEW DOWNSPOUT CONNECTED TO EXISTING STORM SYSTEM, UNLESS NOTED OTHERWISE - REFER TO PLANS
- ④ MECHANICAL PENETRATION AT WALL
- ⑤ FIBER CEMENT TRIM - TYPICAL
- ⑥ APPROXIMATE LINE OF CONCRETE FOOTING/STEM WALL
- ⑦ EXTERIOR ENTRY
- ⑧ EXISTING CONDUIT/WIRING TO BE INTEGRATED INTO BUILDING ENCLOSURE
- ⑨ EXISTING TELEPHONE/CABLE WIRING TO BE INTEGRATED INTO BUILDING ENCLOSURE
- ⑩ EXISTING ROUND LOUVER TO BE REMOVED
- ⑪ EXISTING FOUNDATION VENT TO REMAIN
- ⑫ DOOR NOT SHOWN FOR CLARITY
- ⑬ REMOVE EXISTING LIGHT FIXTURE. INSTALL NEW ENERGY STAR LIGHT FIXTURE IN SAME LOCATION
- ⑭ NEW EXTERIOR ENERGY STAR LIGHT FIXTURE AND LAMP

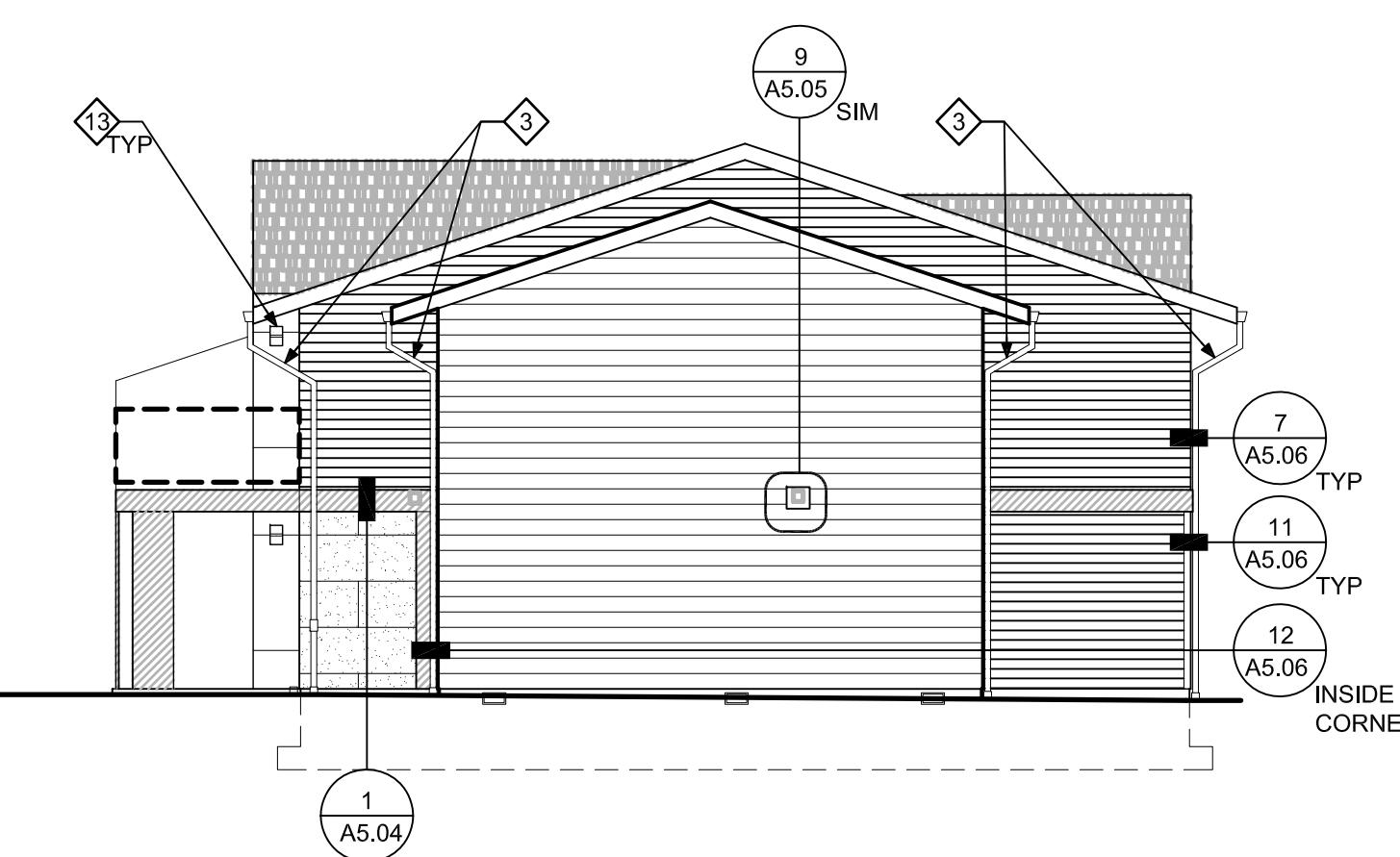
EXTERIOR ELEVATIONS  
BUILDING 06

PROJ NO.  
21348  
01.21.14

02.06.14 ADDENDUM #1

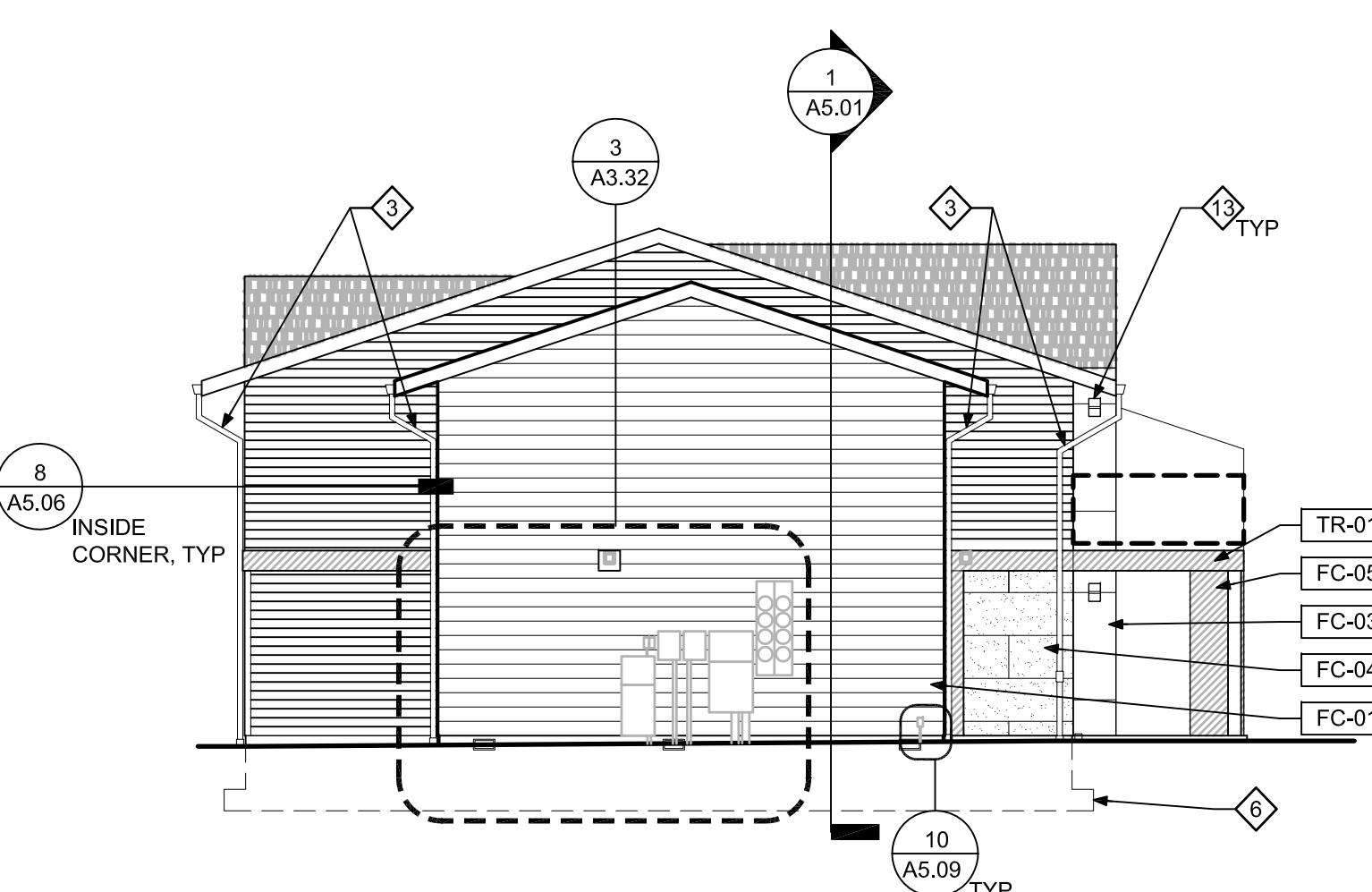


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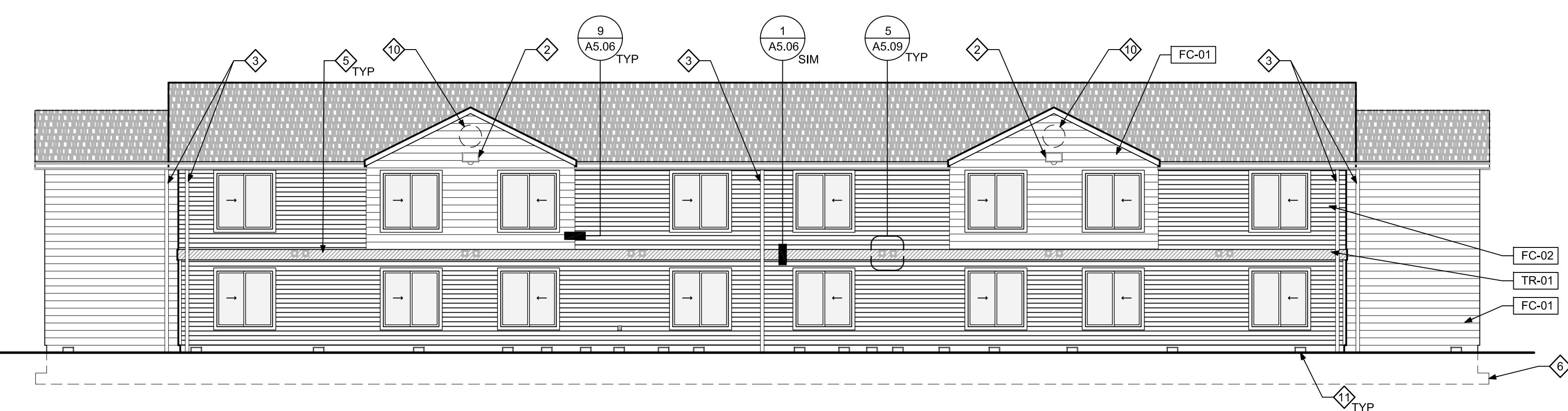
**3 BUILDING 06 - NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



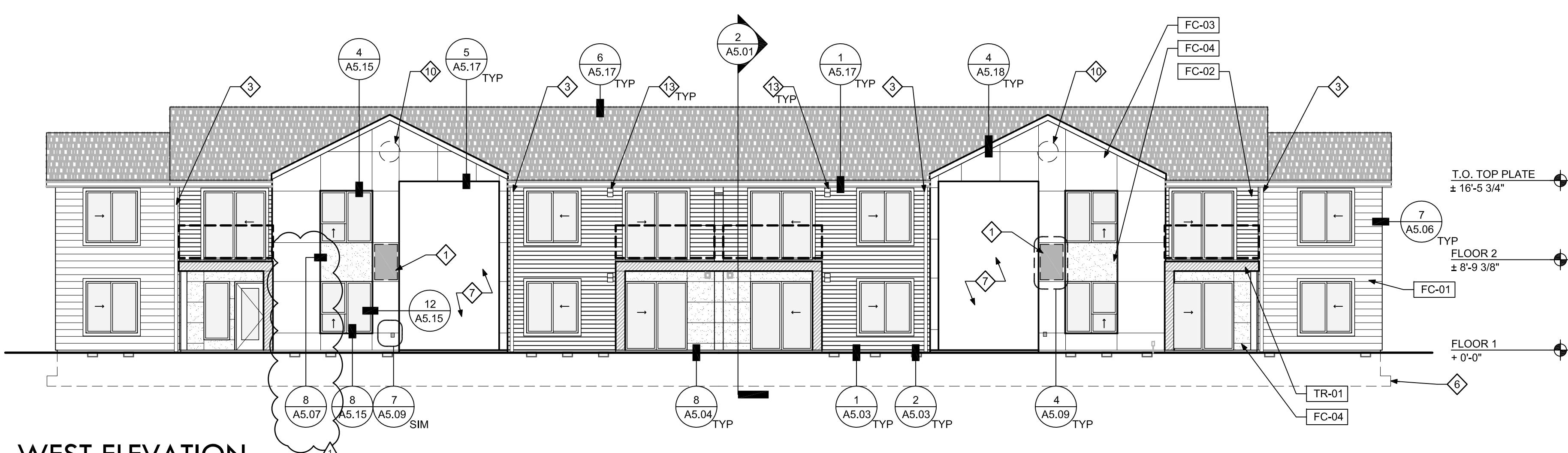
**4 BUILDING 06 - SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**2 BUILDING 06 - EAST ELEVATION**

SCALE: 1/8" = 1'-0"



REGISTERED ARCHITECT  
BRIAN D. CARLETON  
PORTLAND, OREGON  
2018  
STATE OF OREGON

CARLETON HART ARCHITECTURE  
322 NW 8th Avenue Portland, Oregon 97209  
carletonhart.com

PARKWAY VILLAGE : EAST  
APARTMENT REHABILITATION  
SALEM HOUSING AUTHORITY

PERMIT REVIEW / BID SET

EXTERIOR DETAILS:  
FOUNDATION

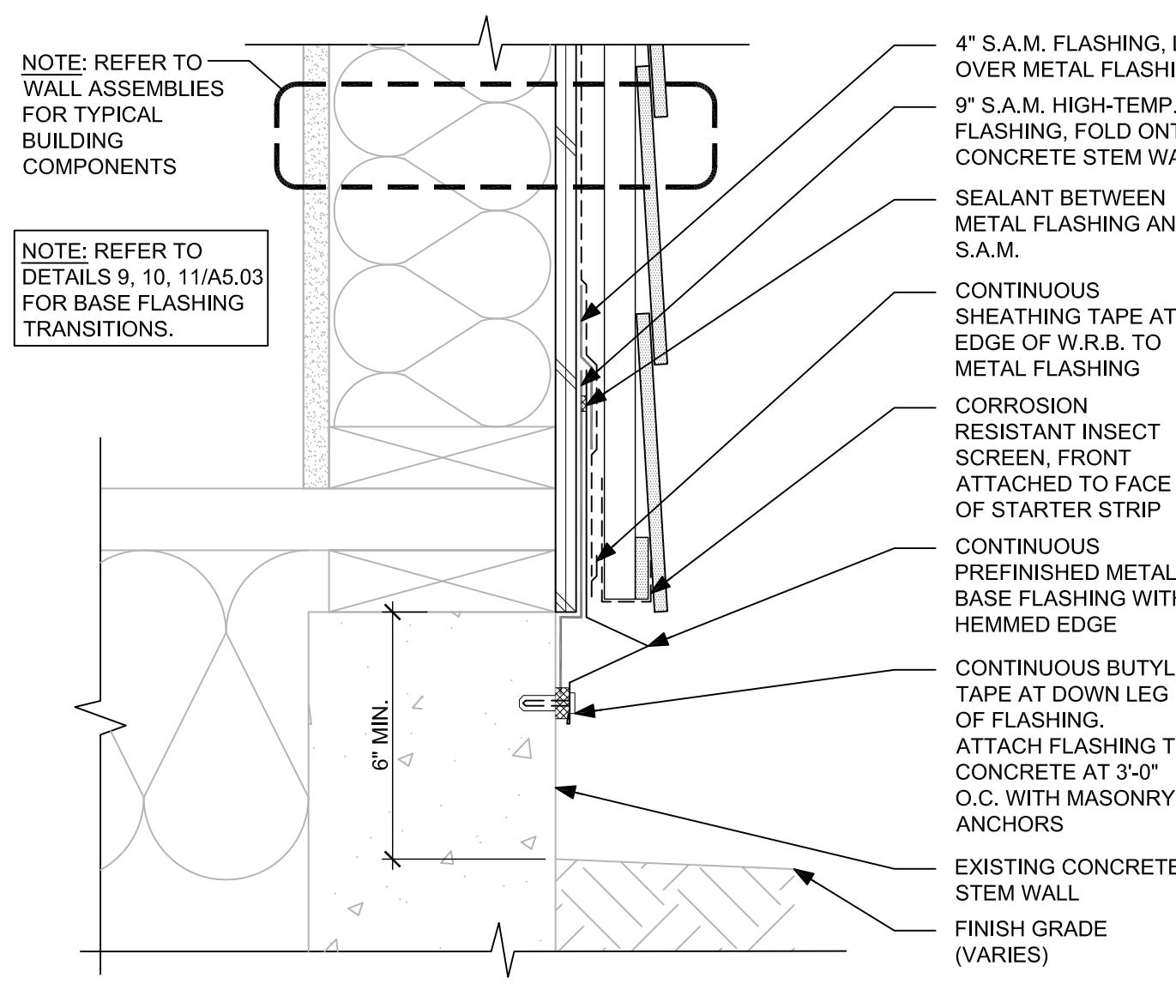
PROJ NO.  
21348

01.21.14

02.06.14 ADDENDUM #1

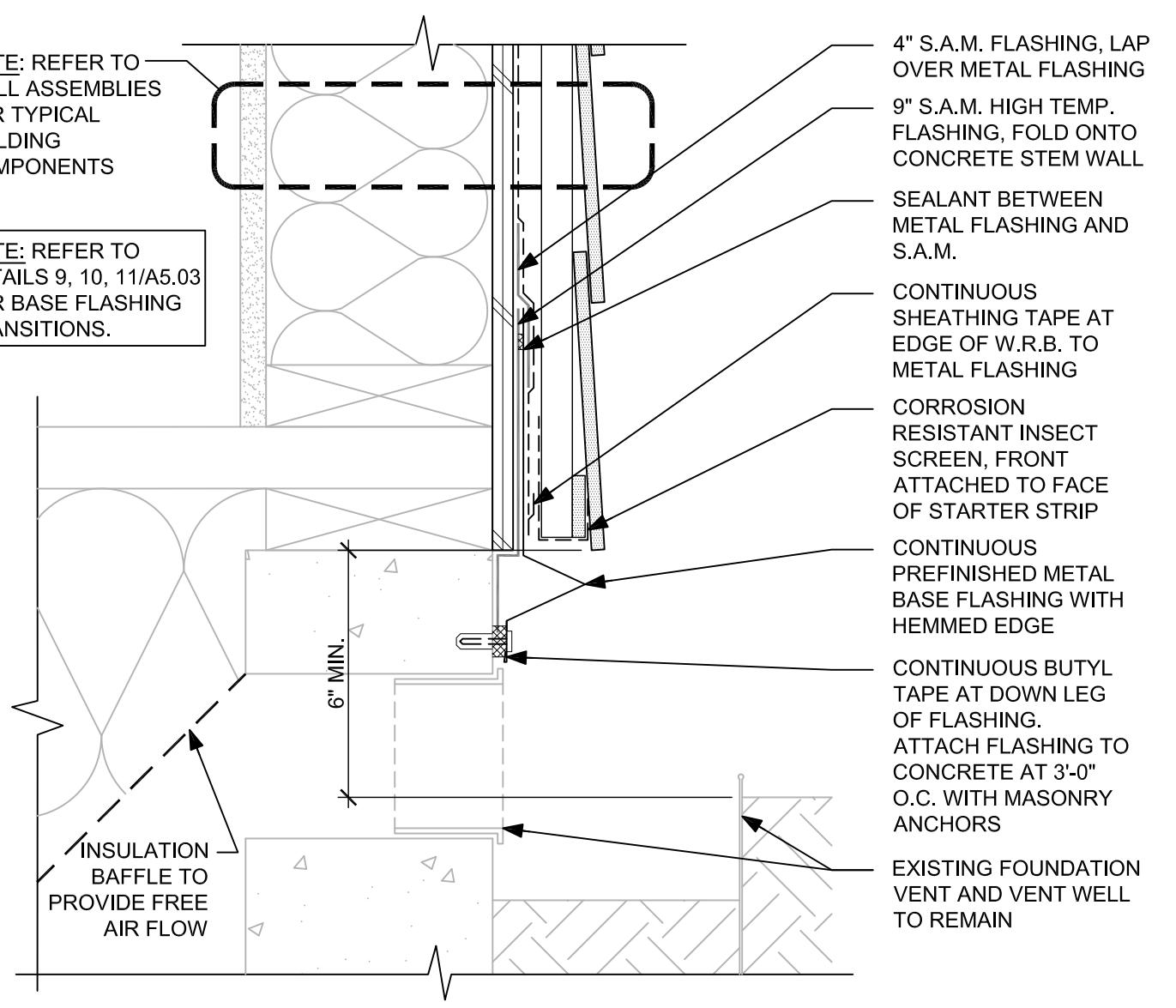
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A5.03



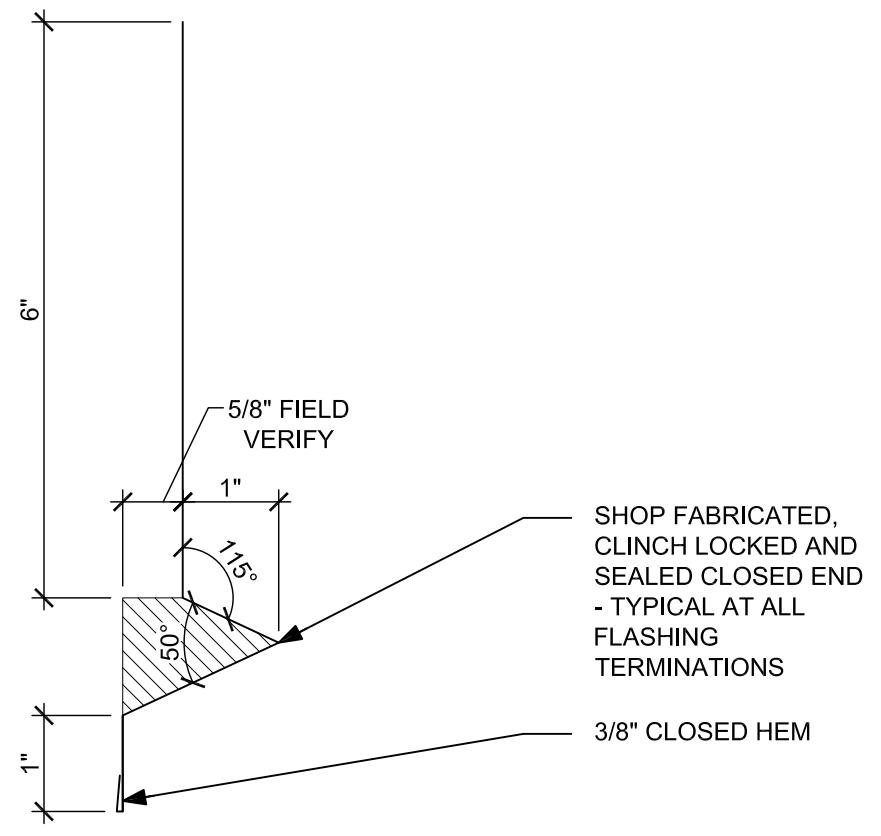
**1 SIDING AT GRADE**

SCALE: 3" = 1'-0"



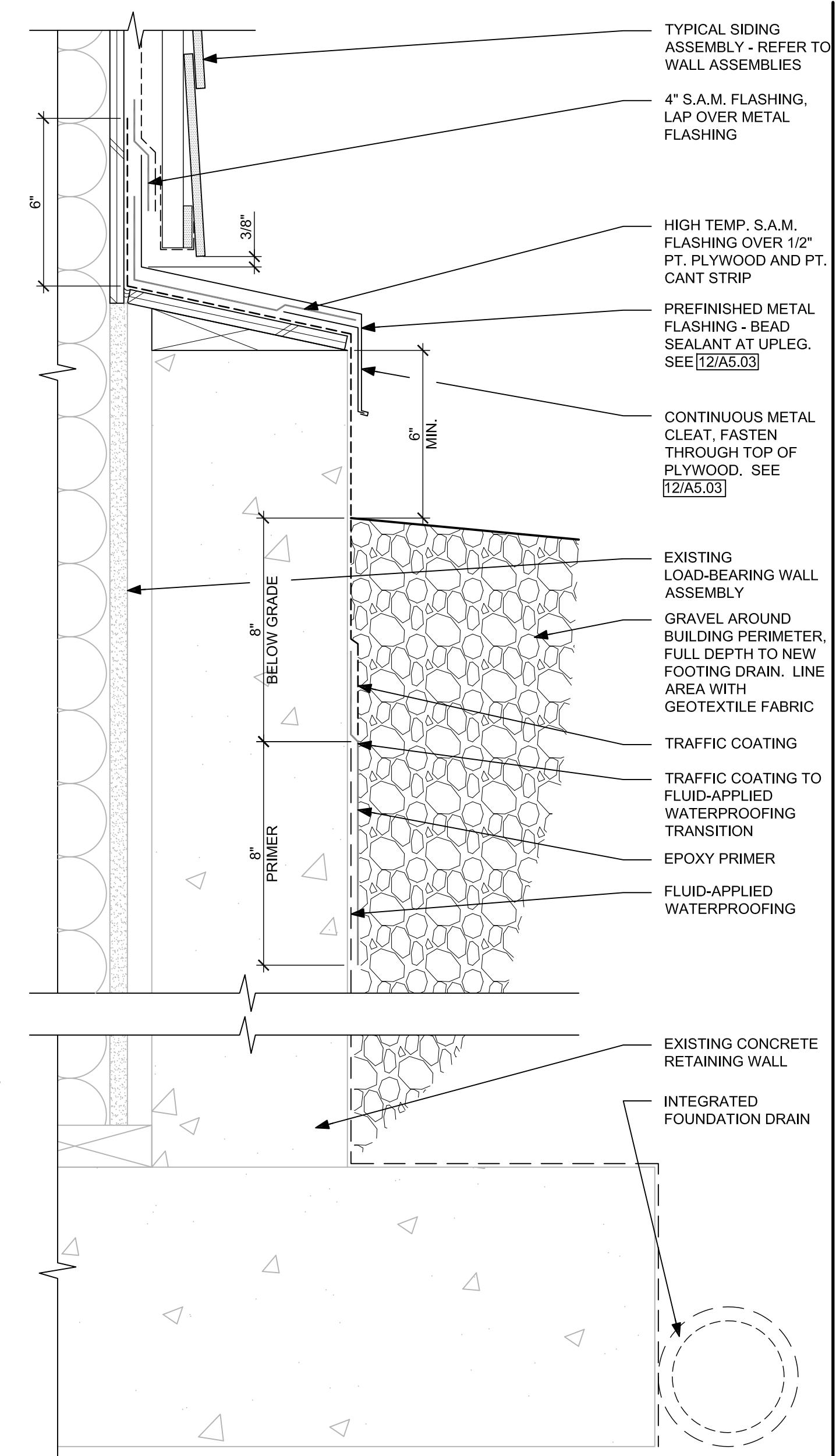
**2 FOUNDATION VENT AT GRADE**

SCALE: 3" = 1'-0"



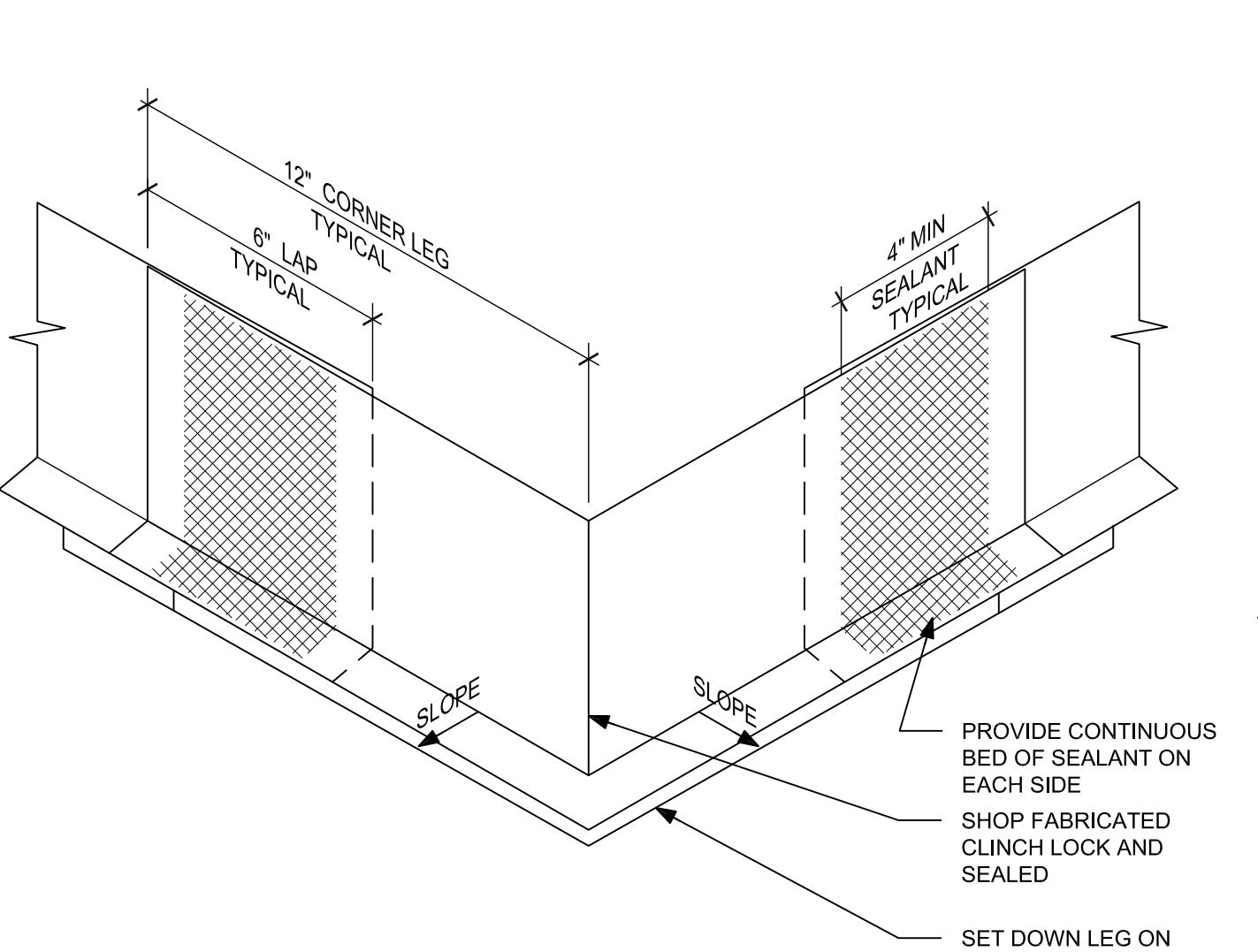
**3 TYPICAL BASE FLASHING PROFILE**

SCALE: 6" = 1'-0"



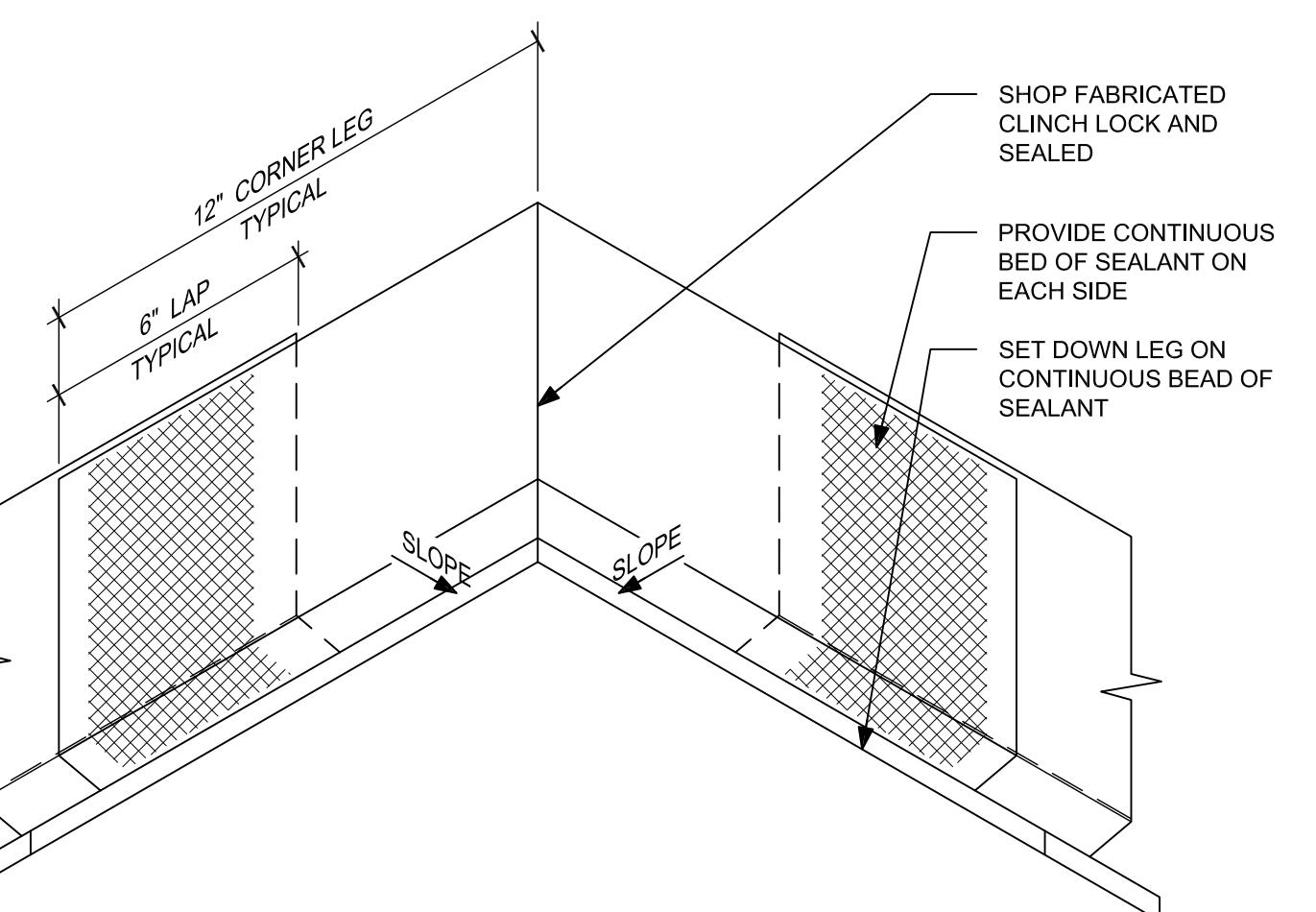
**8 RETAINING WALL SECTION - TYPICAL**

SCALE: 3" = 1'-0"



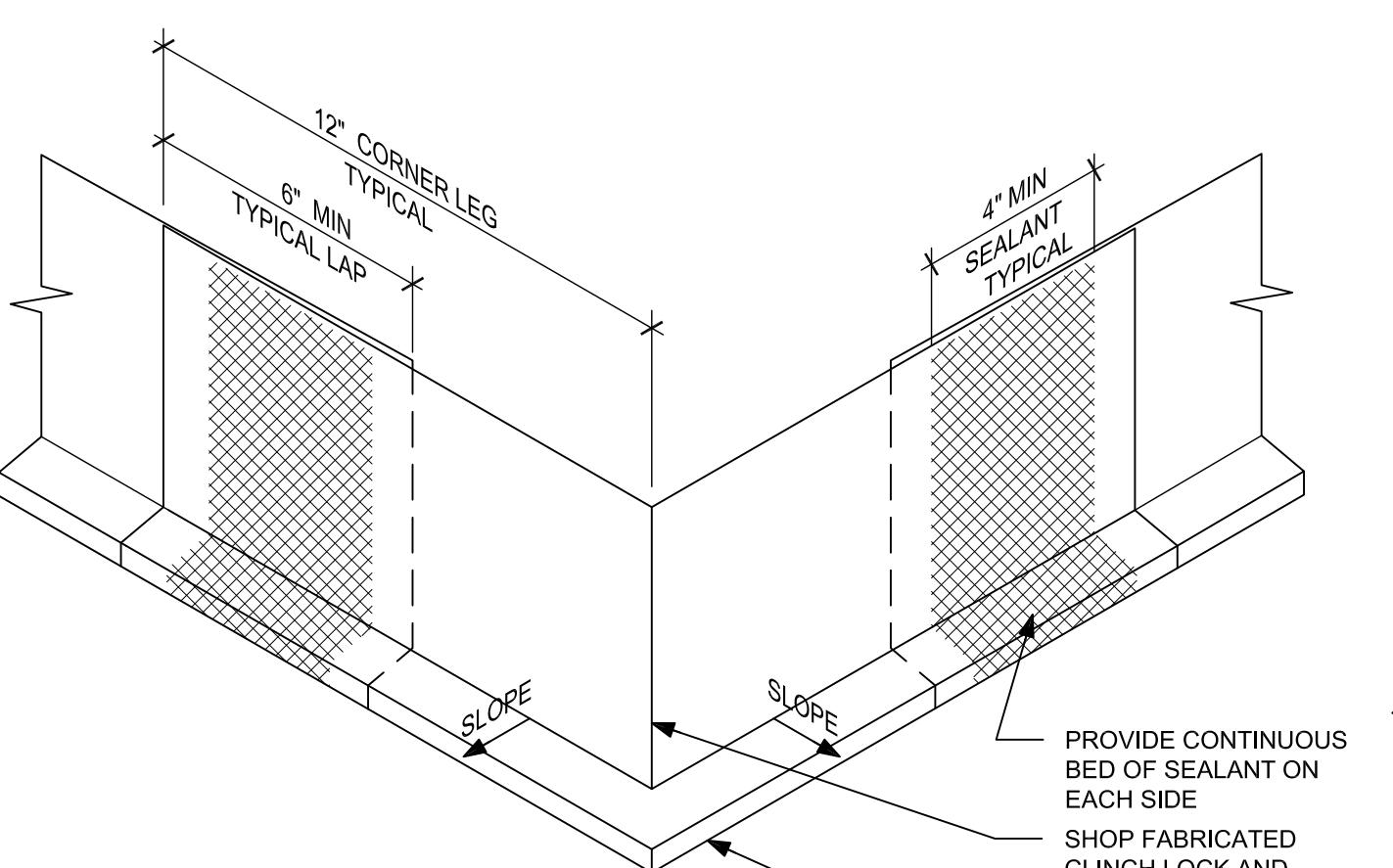
**5 BASE FLASHING - OUTSIDE CORNER**

SCALE: 3" = 1'-0"



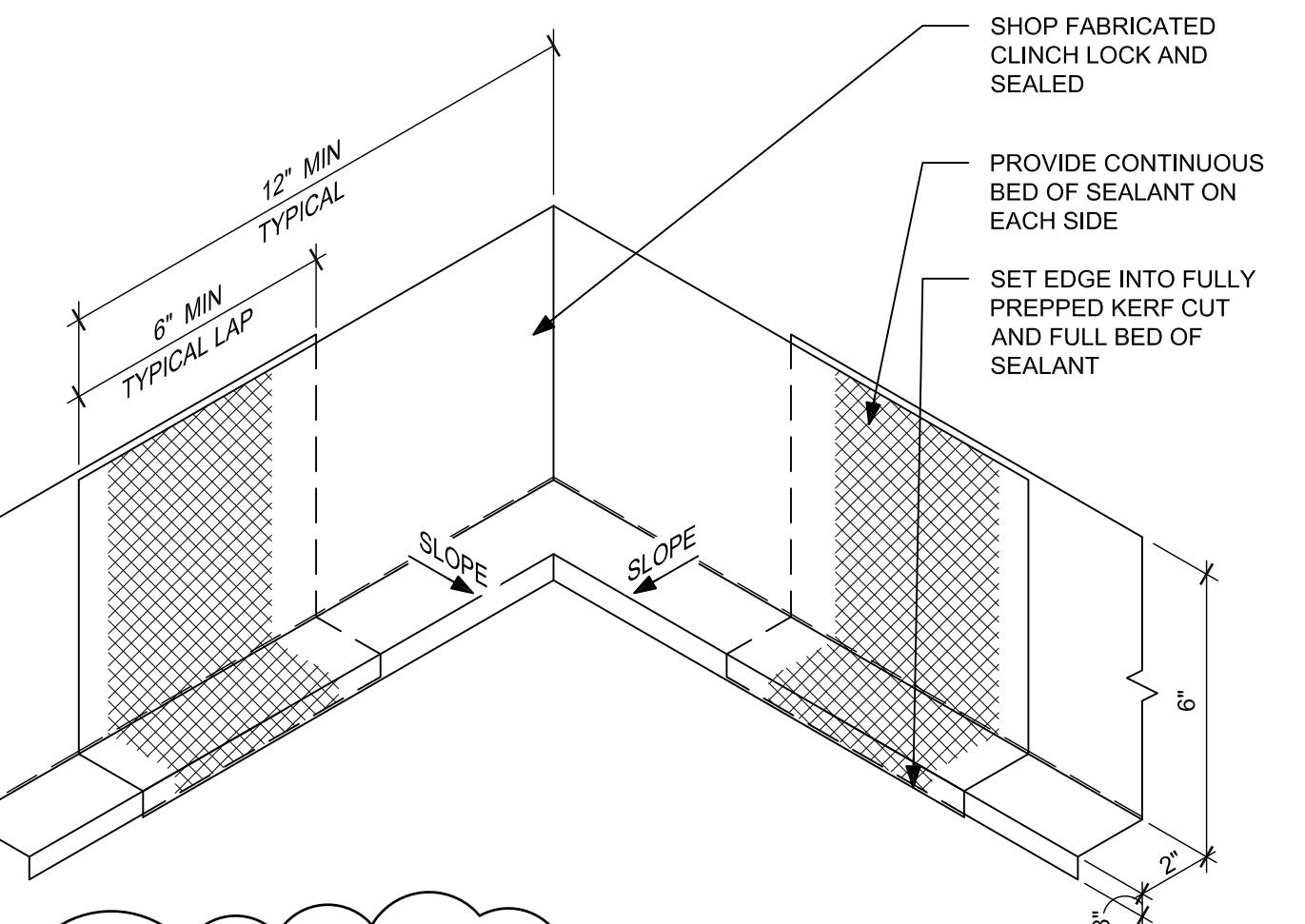
**6 BASE FLASHING - INSIDE CORNER**

SCALE: 3" = 1'-0"



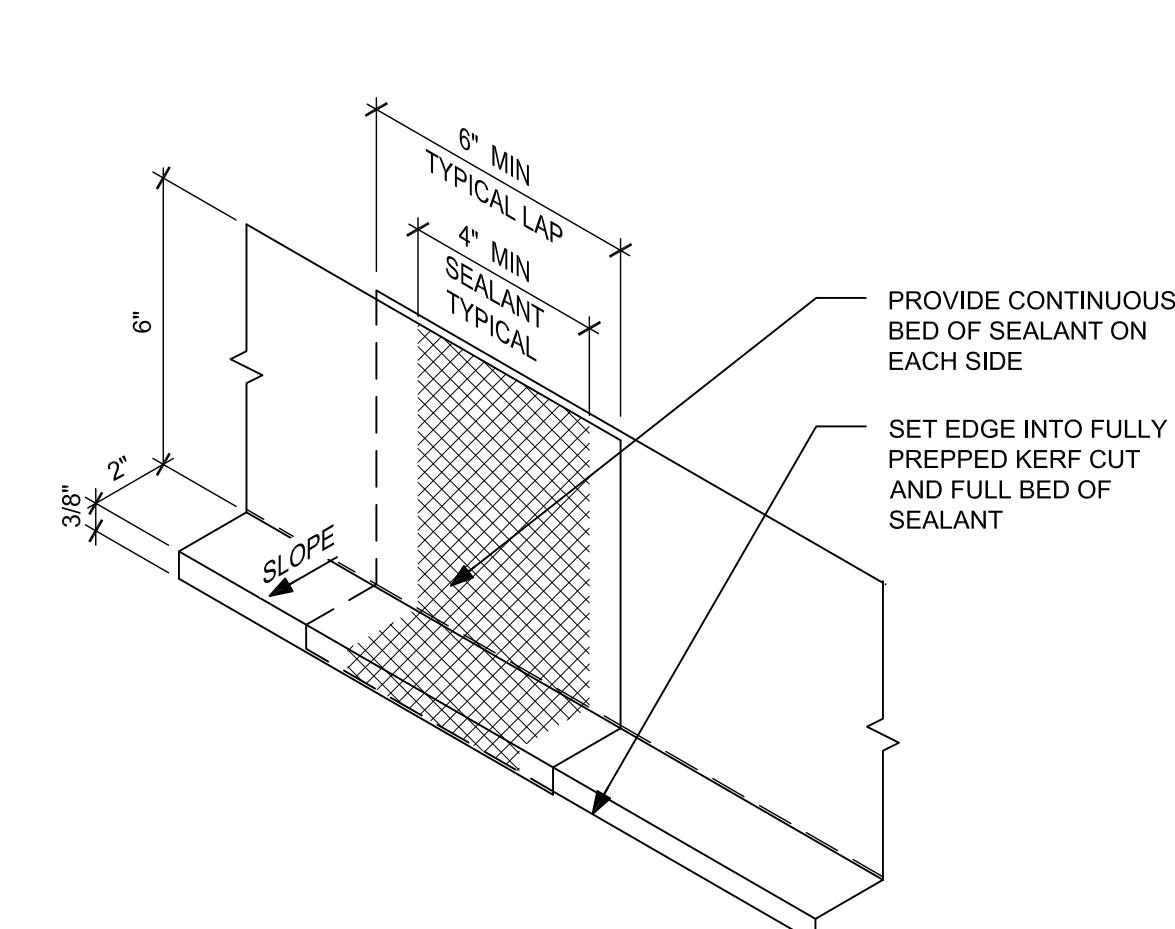
**9 ELEVATED DECKS  
KERF BASE FLASHING - OUTSIDE CORNER**

SCALE: 3" = 1'-0"



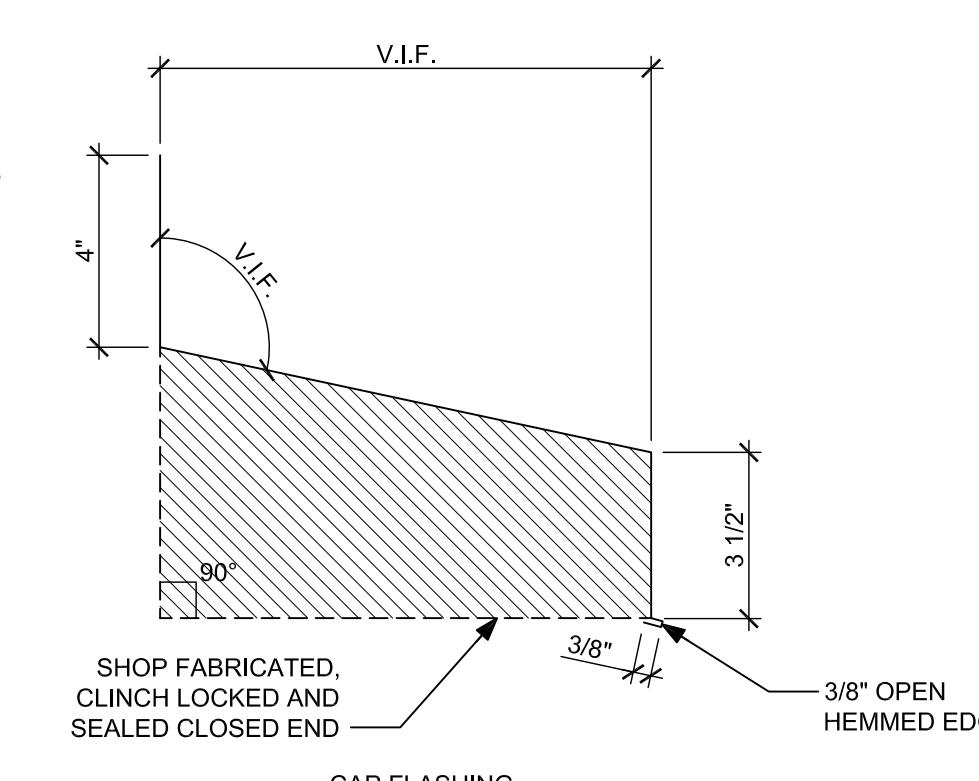
**10 ELEVATED DECKS  
KERF BASE FLASHING - INSIDE CORNER**

SCALE: 3" = 1'-0"



**11 ELEVATED DECKS  
KERF BASE FLASHING - OVERLAP**

SCALE: 3" = 1'-0"

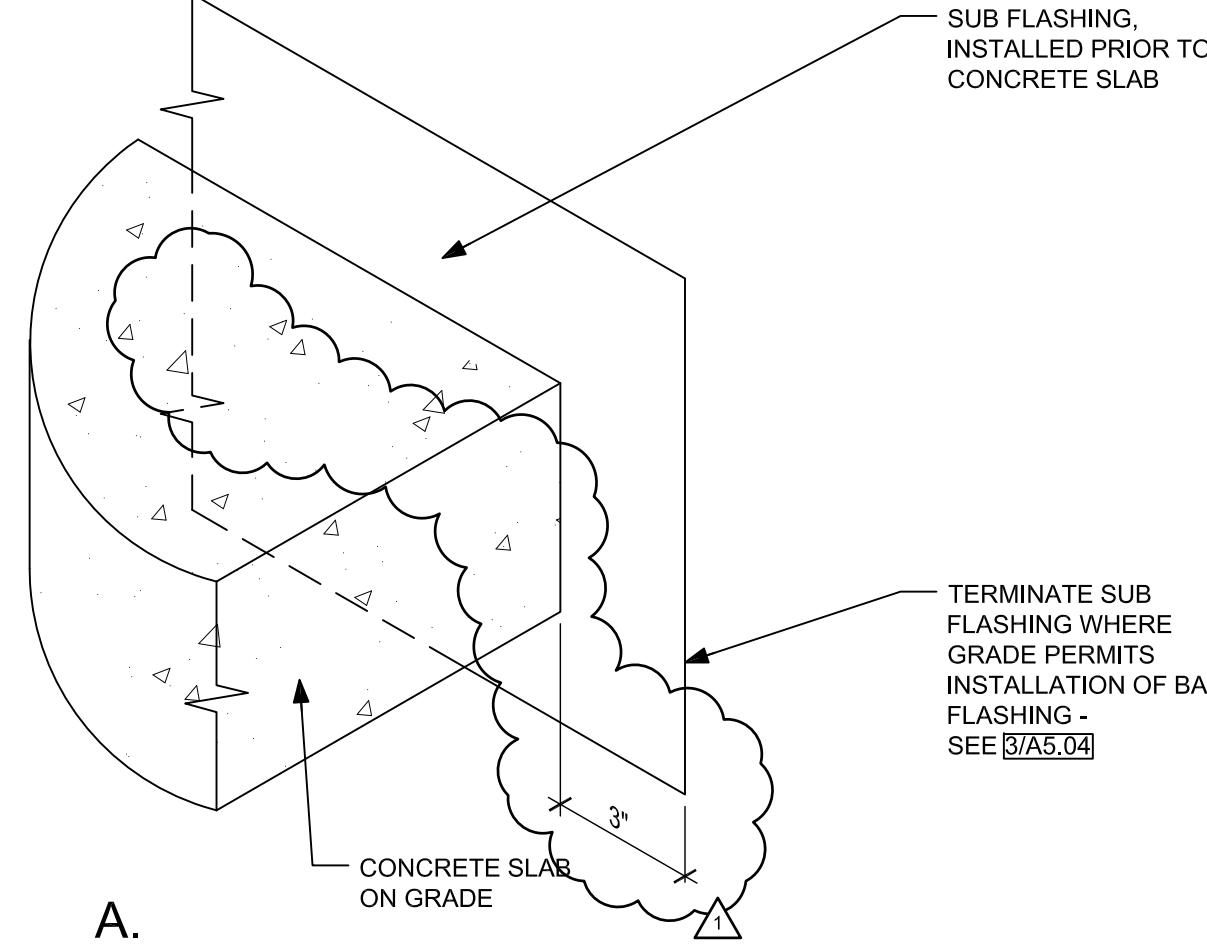


**12 RETAINING WALL FLASHING PROFILES**

SCALE: 3" = 1'-0"

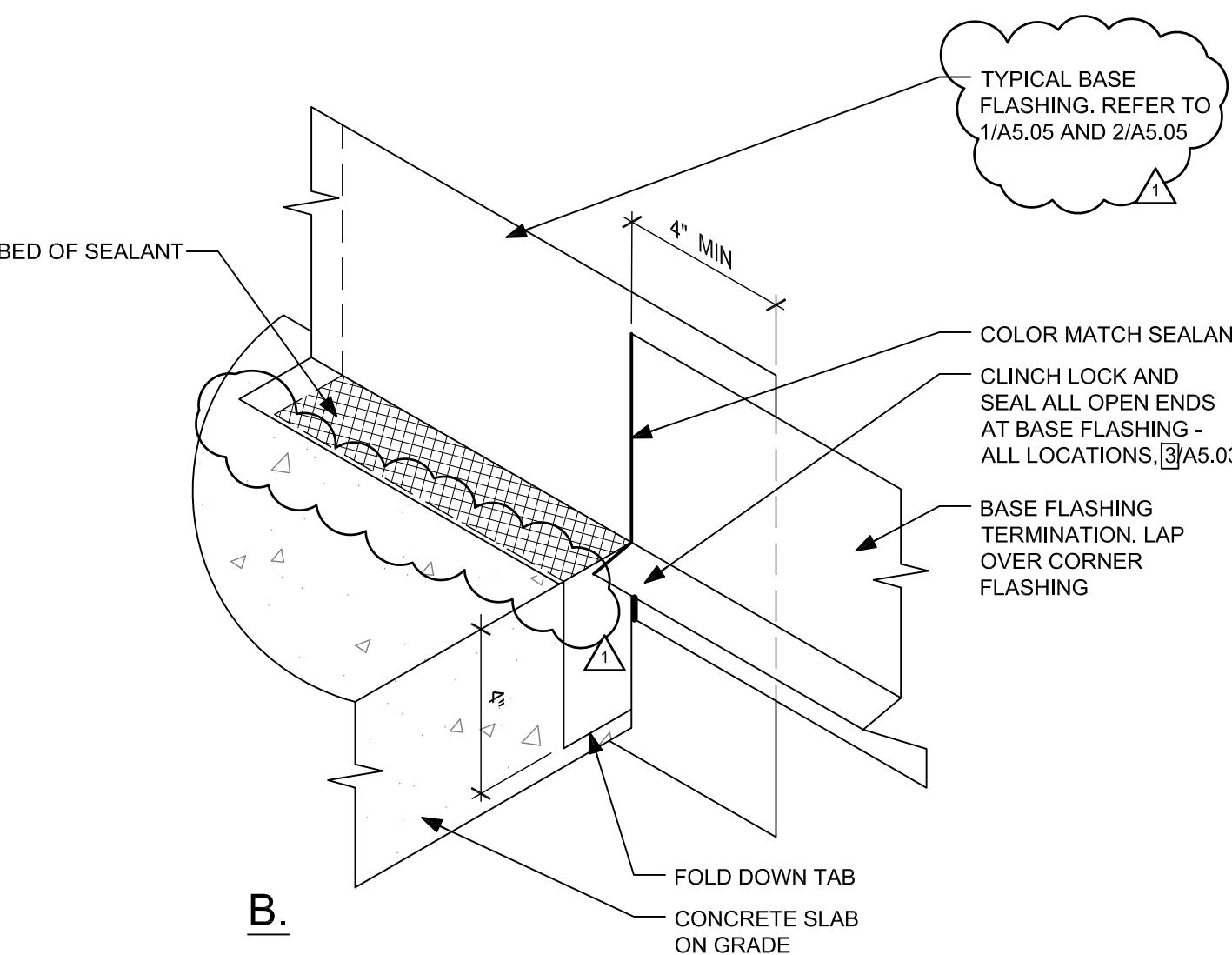
**1 NOT USED**

SCALE: NTS



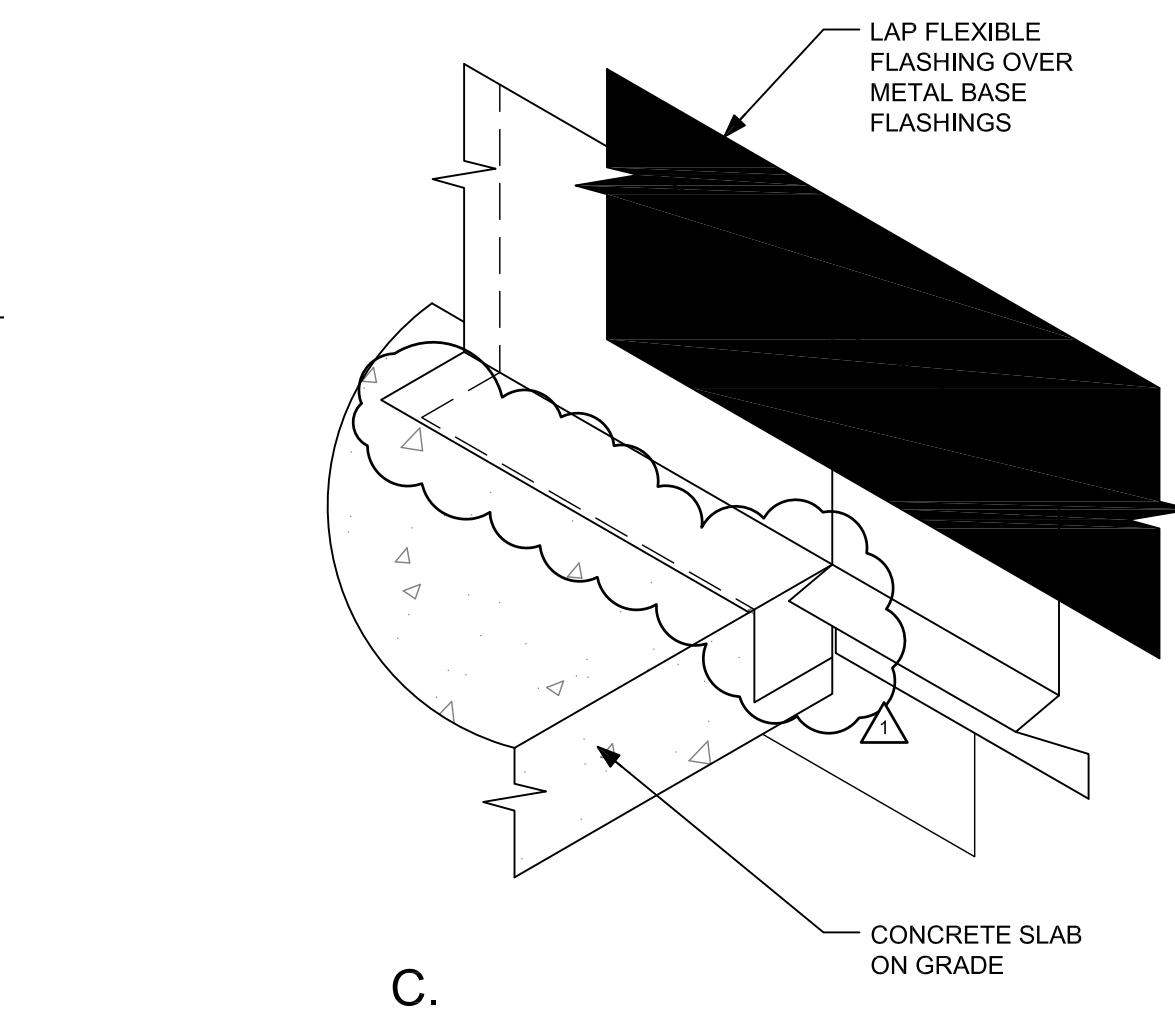
**2 NOT USED**

SCALE: NTS



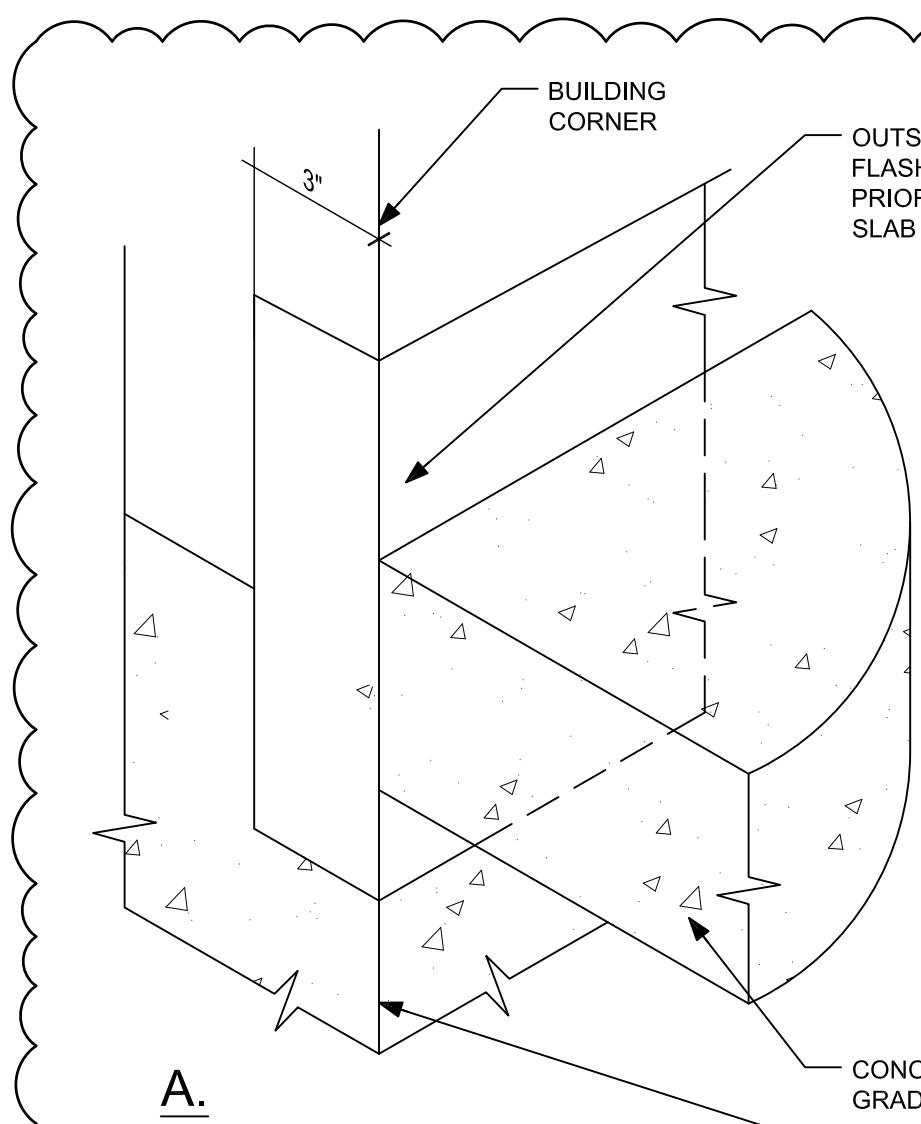
**3 SUBFLASHING**

SCALE: 3" = 1'-0"



**5 BASE FLASHING AT CONCRETE EDGE - PERPENDICULAR WALL**

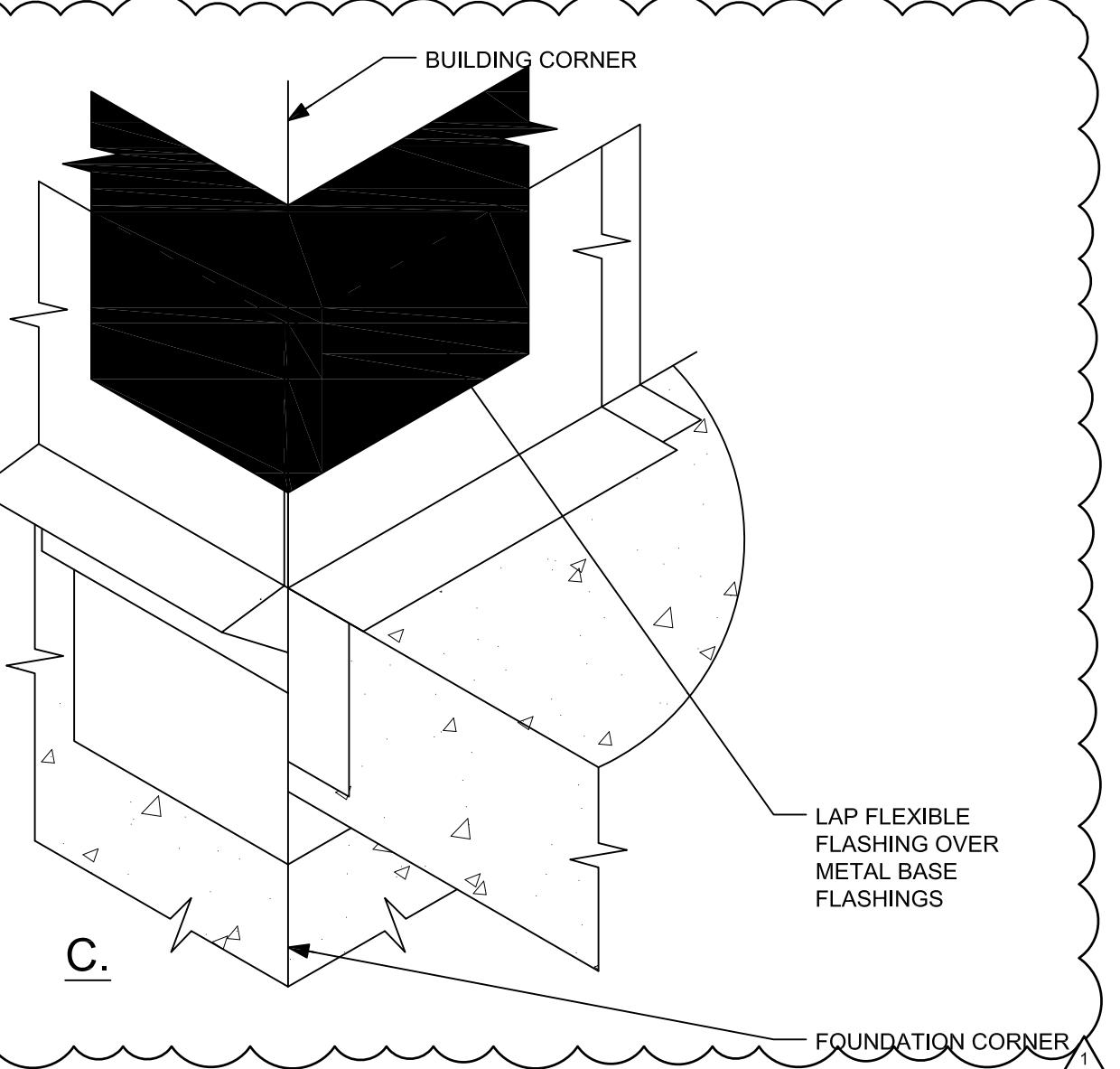
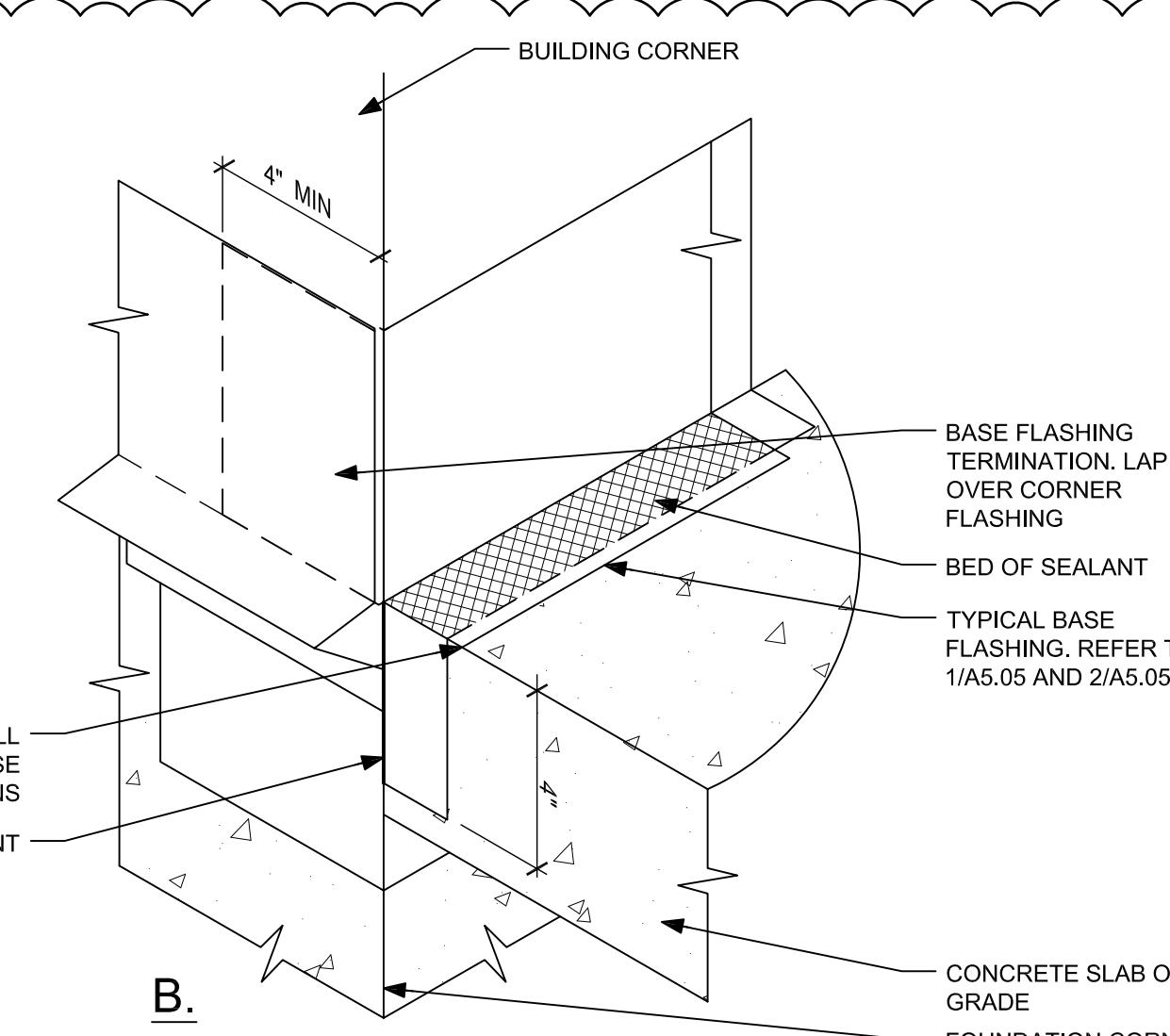
SCALE: N.T.S.



FOUNDATION CORNER

CONCRETE SLAB ON GRADE

FOUNDATION CORNER

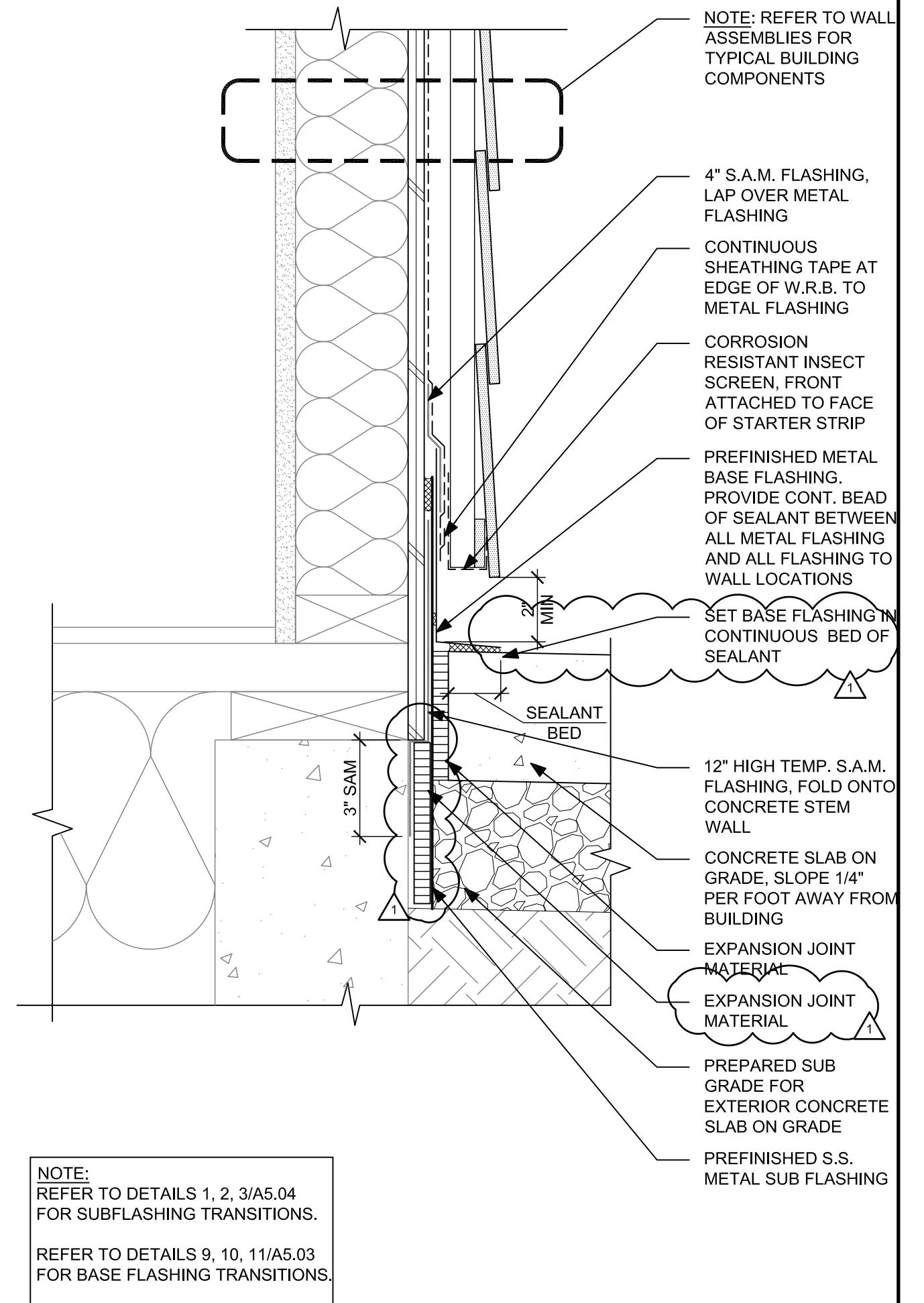


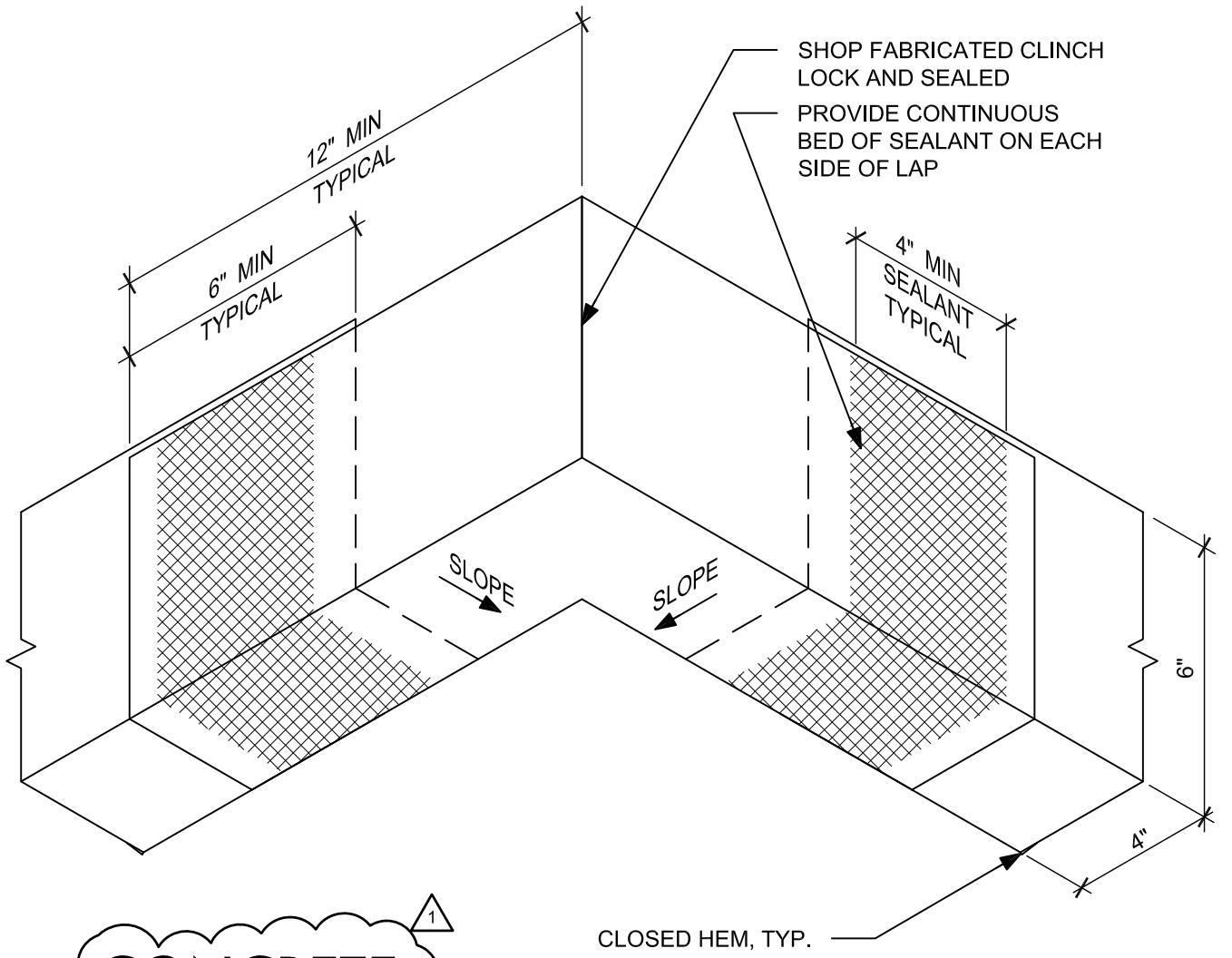
**9 BASE FLASHING AT CONCRETE EDGE - AT OUTSIDE CORNER**

SCALE: N.T.S.

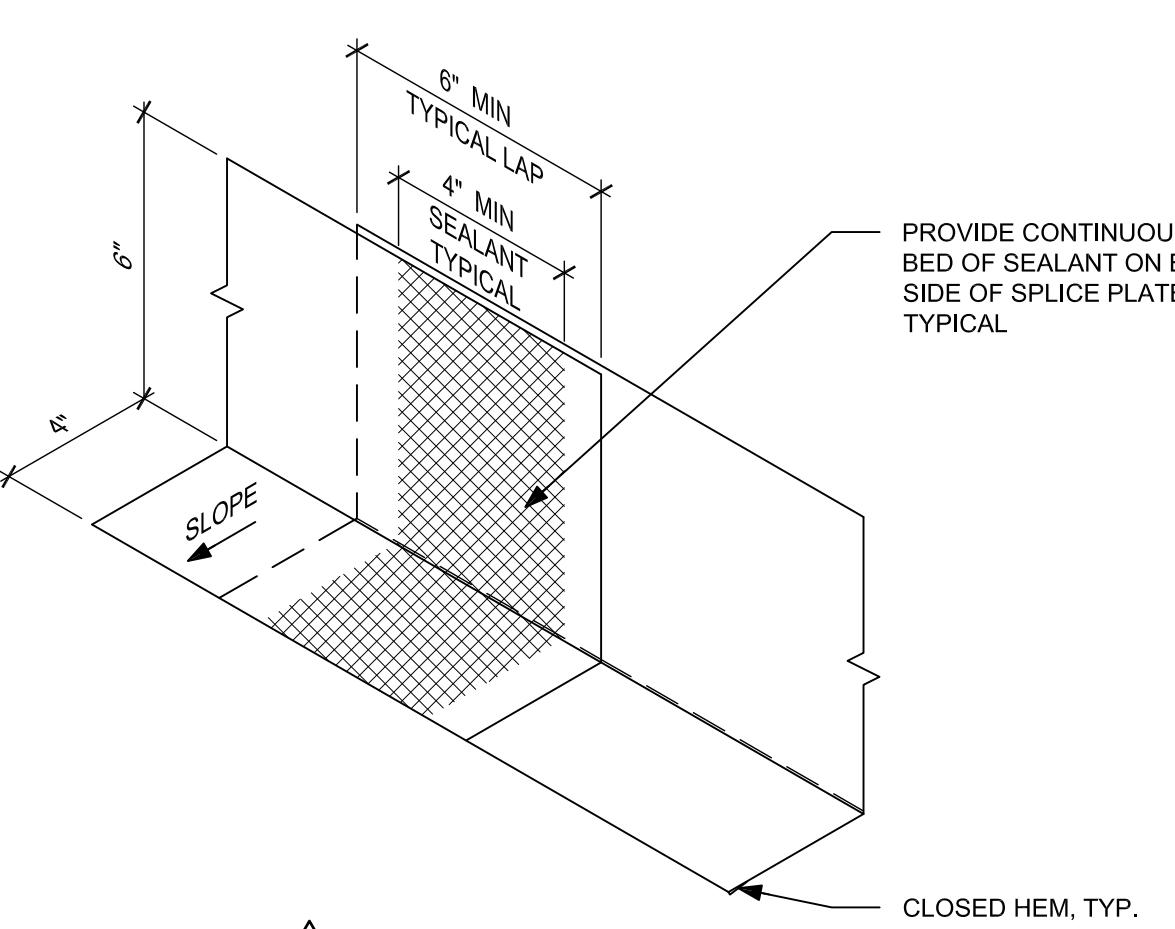
**12 NOT USED**

SCALE: NTS

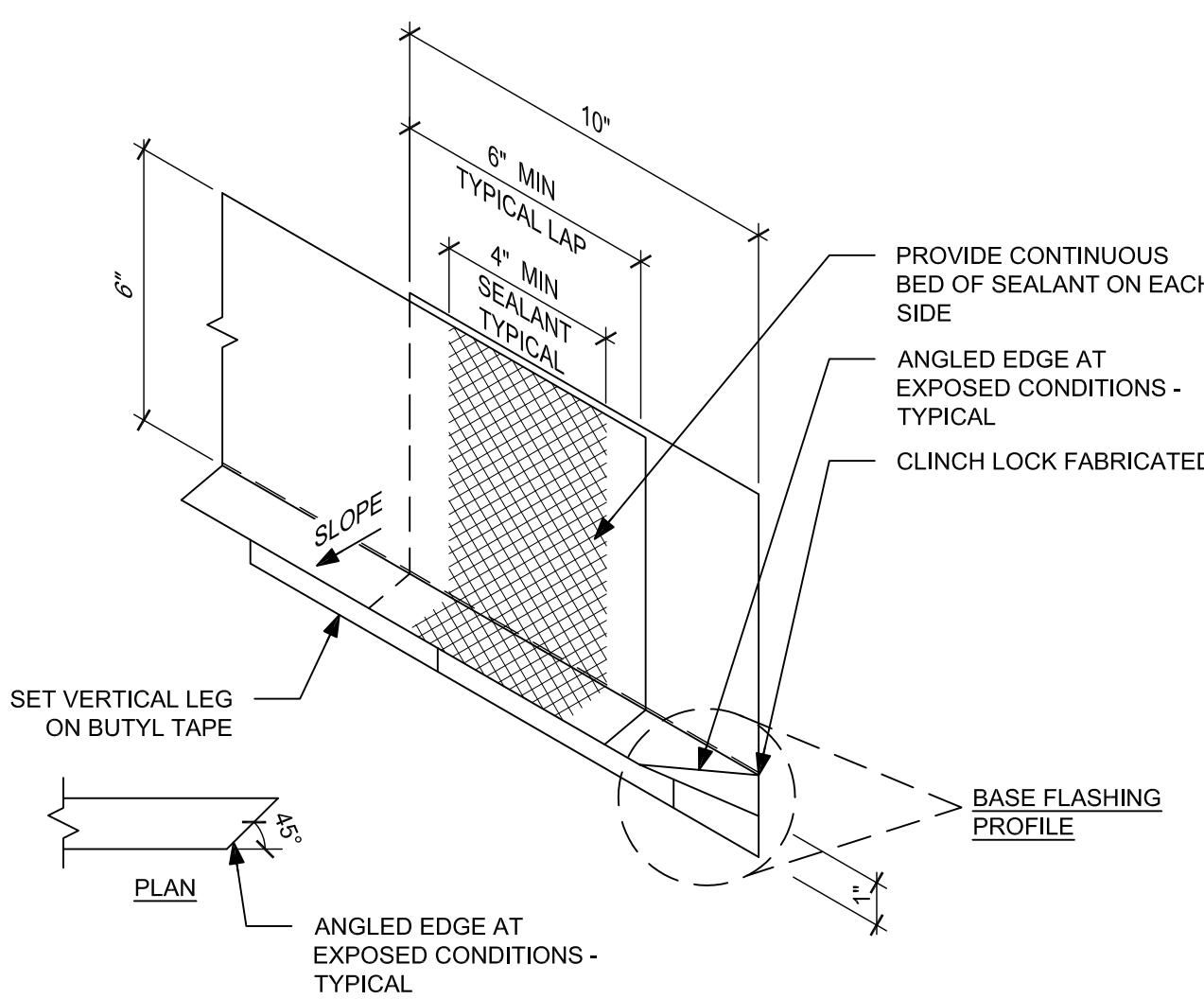




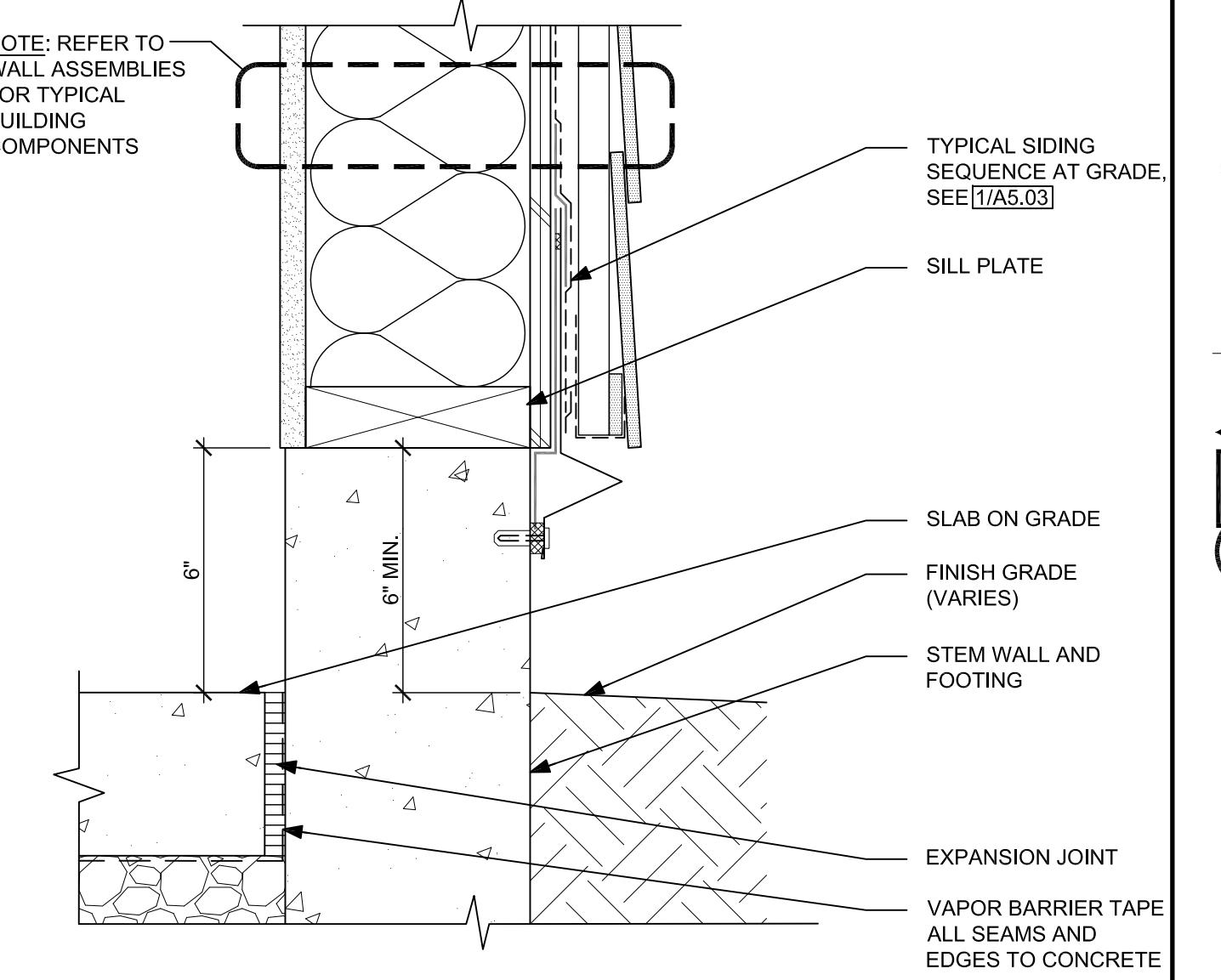
**CONCRETE DECK BASE FLASHING - INSIDE CORNER**  
SCALE: 3" = 1'-0"



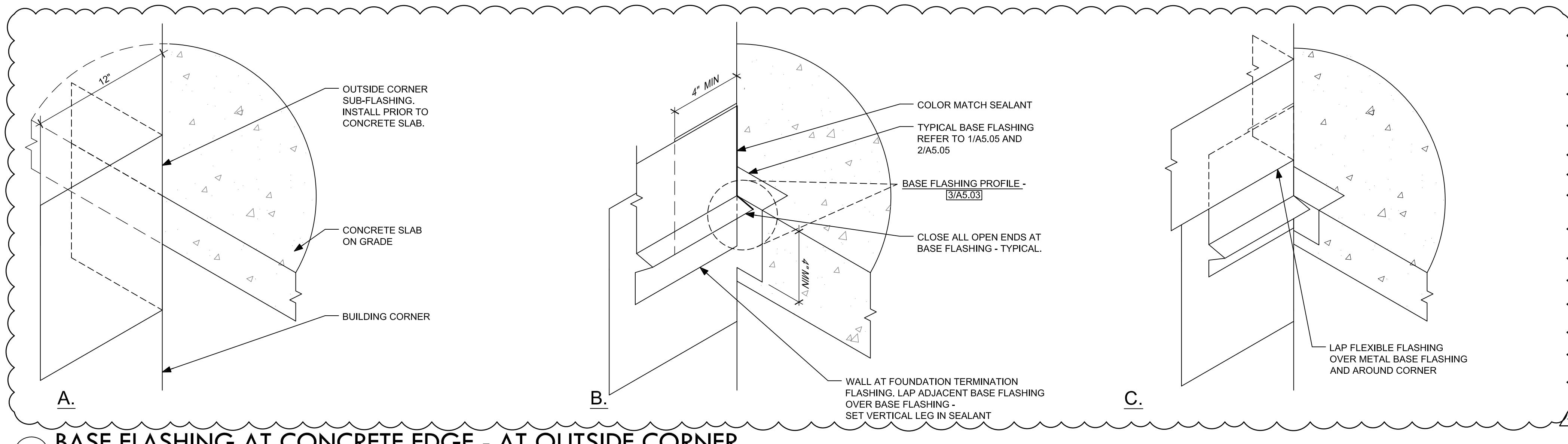
**CONCRETE DECK BASE FLASHING**  
SCALE: 3" = 1'-0"



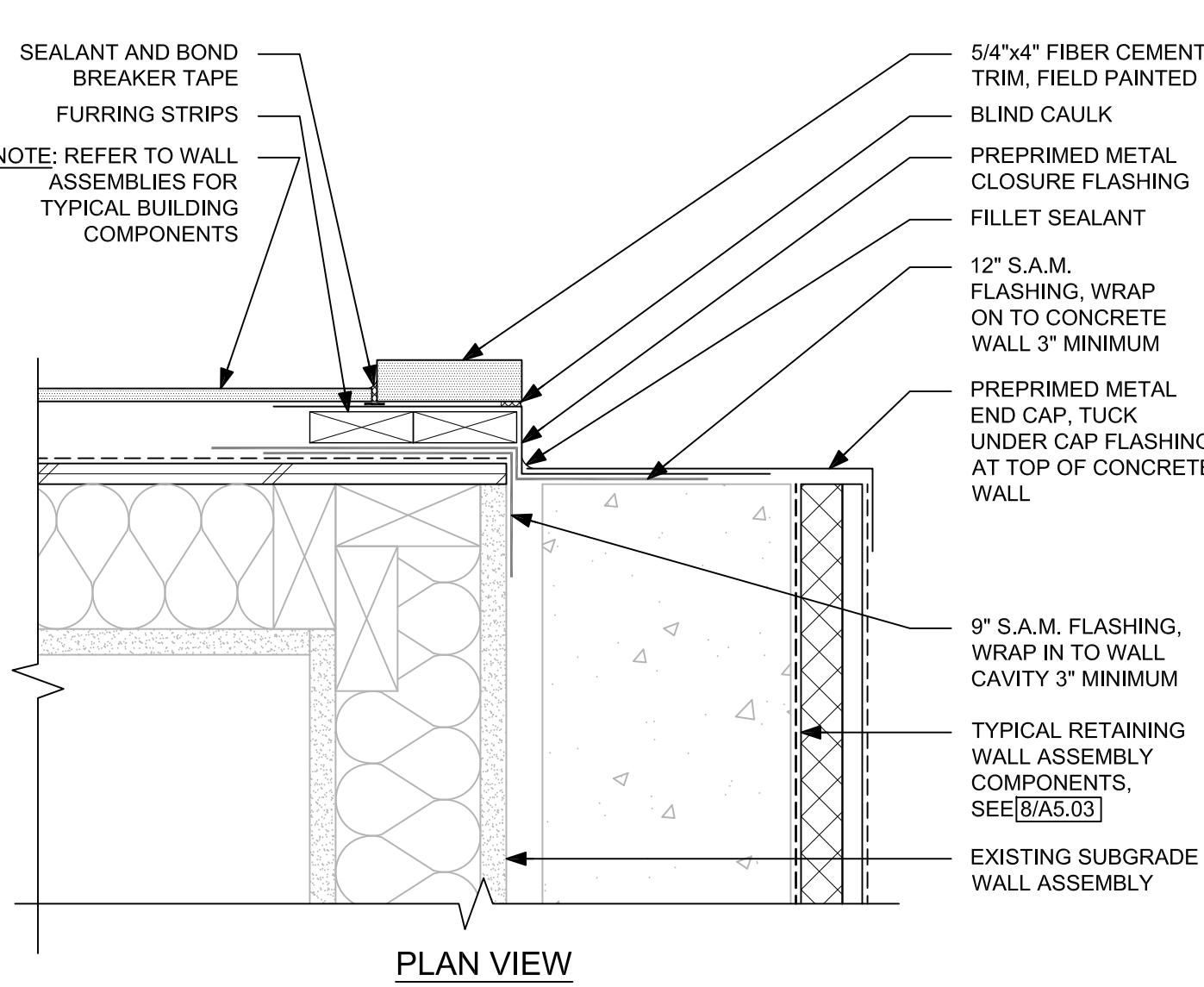
**WALL @ FOUNDATION TERMINATION**  
SCALE: 3" = 1'-0"



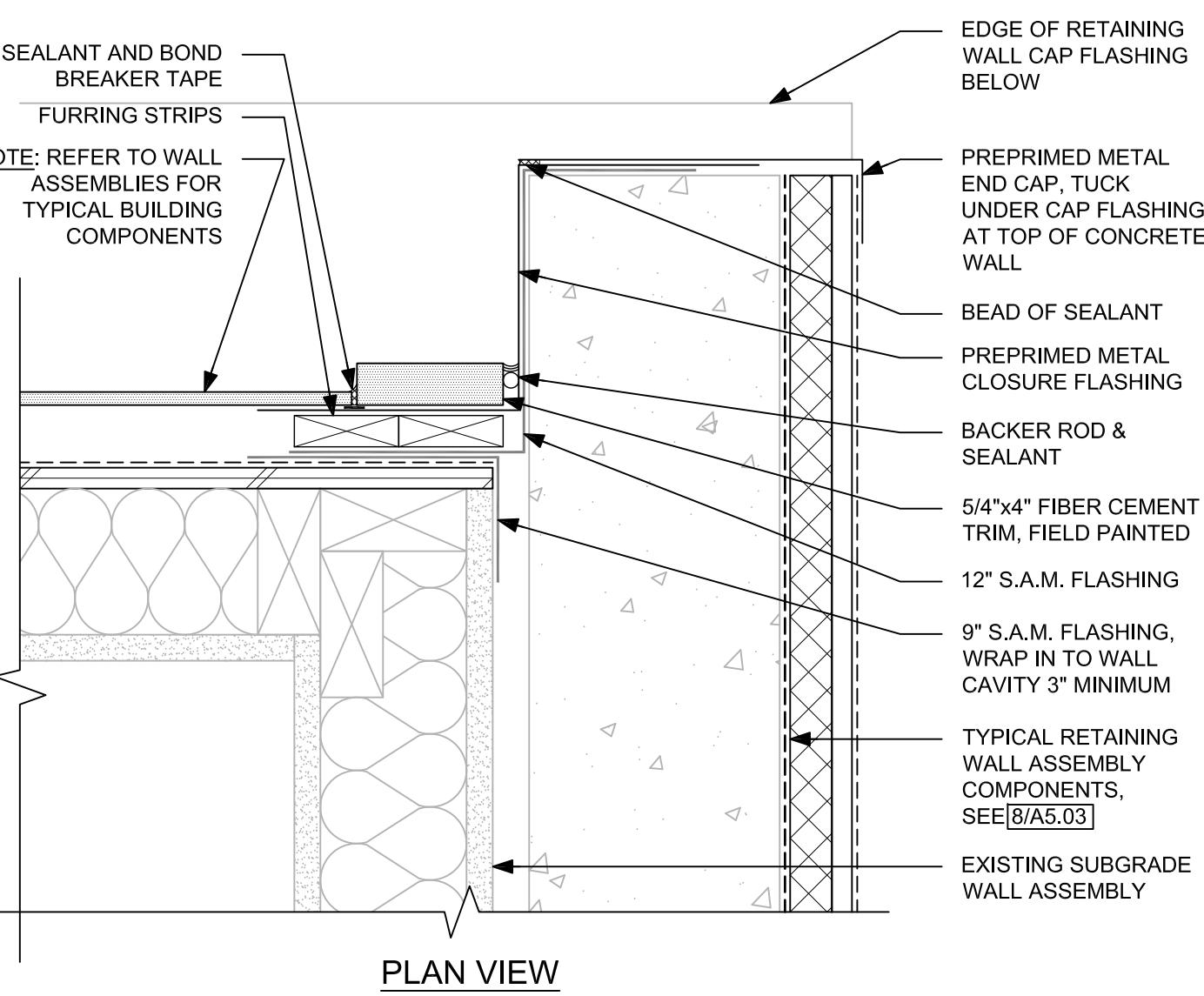
**FOUNDATION AT FIRE RISER ROOM**  
SCALE: 3" = 1'-0"



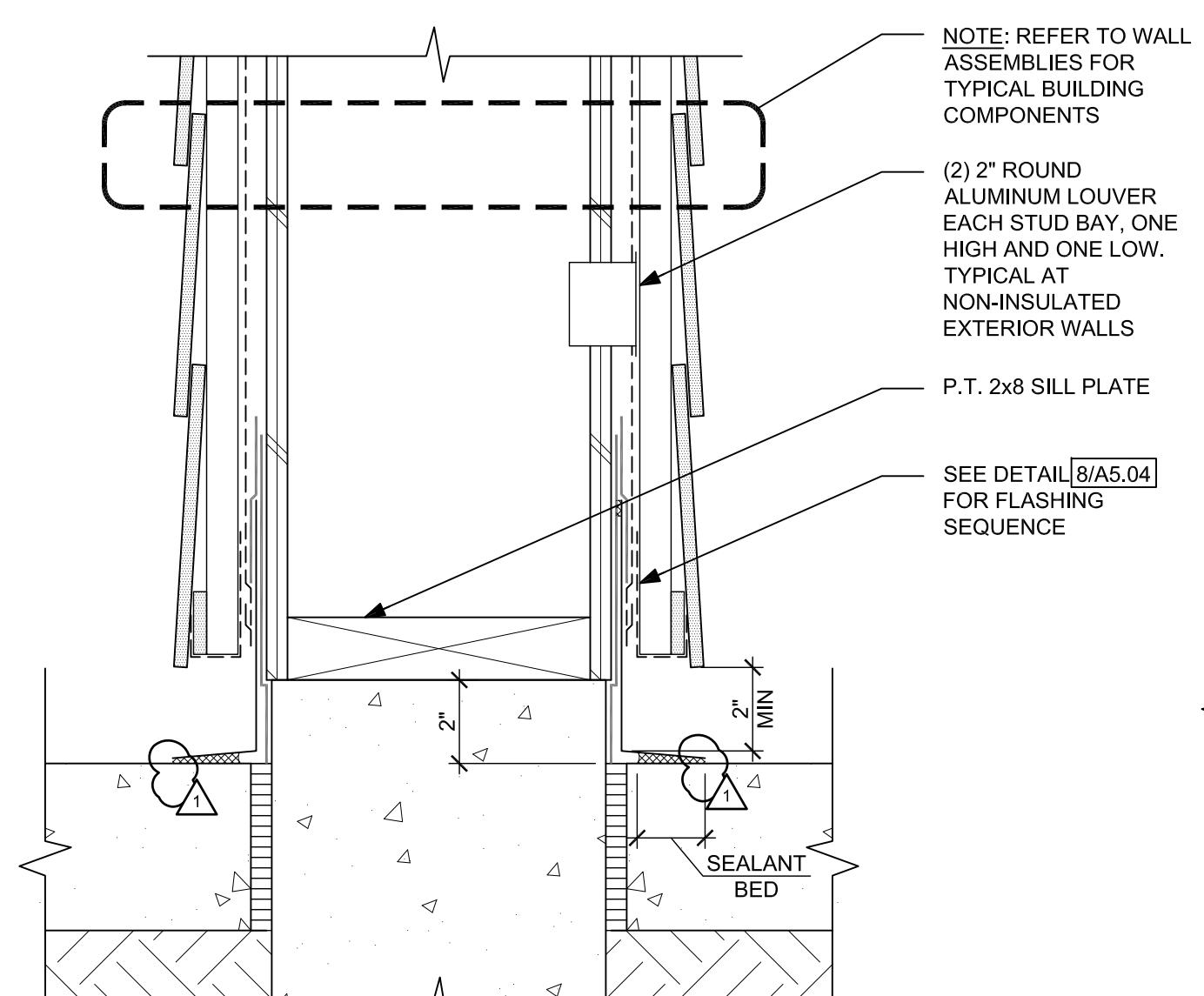
**BASE FLASHING AT CONCRETE EDGE - AT OUTSIDE CORNER**  
SCALE: N.T.S.



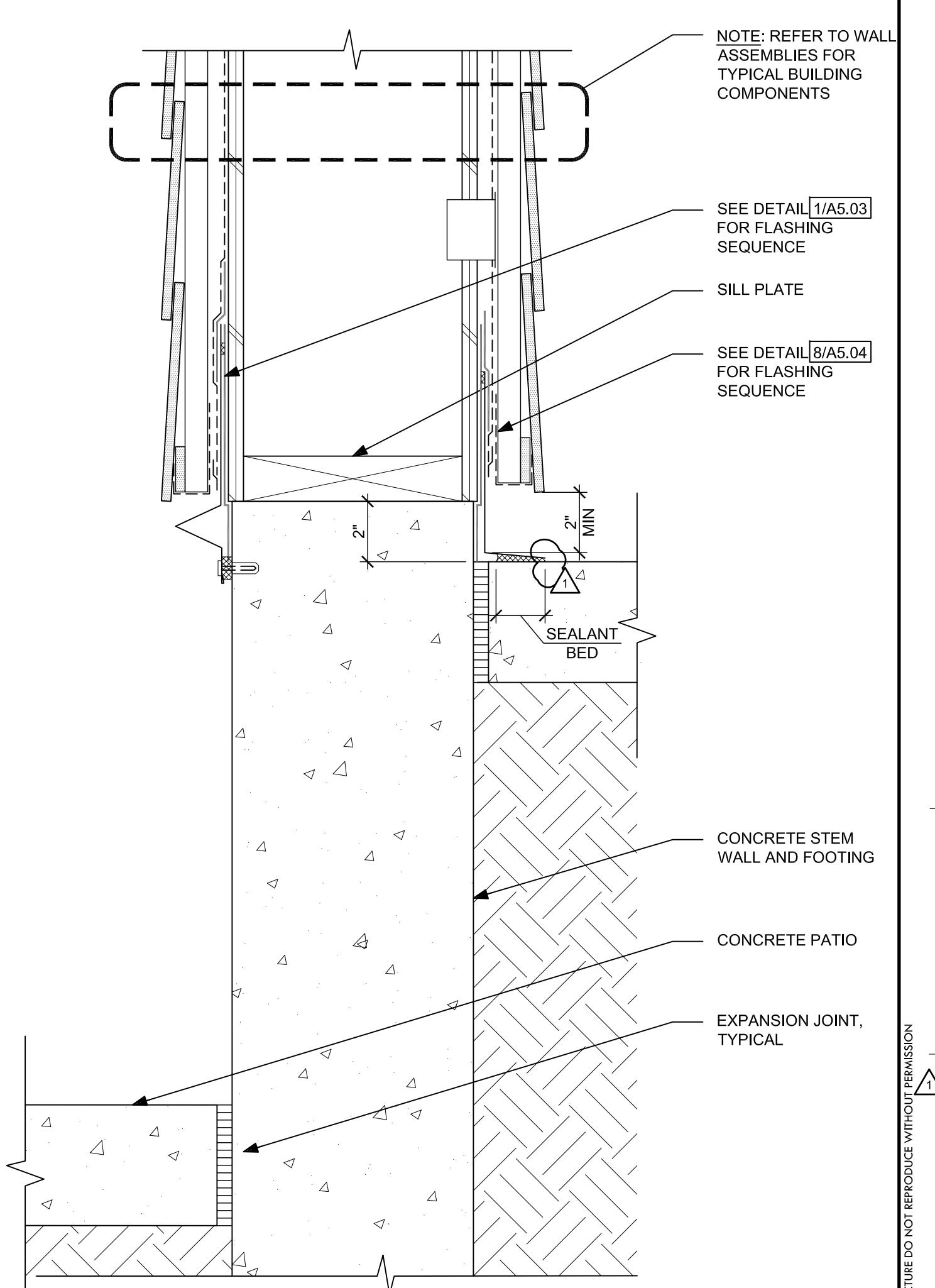
**RETAINING WALL TERMINATION**  
SCALE: 3" = 1'-0"



**RETAINING WALL STEP**  
SCALE: 3" = 1'-0"



**FOUNDATION AT PATIO SCREEN WALL**  
SCALE: 3" = 1'-0"



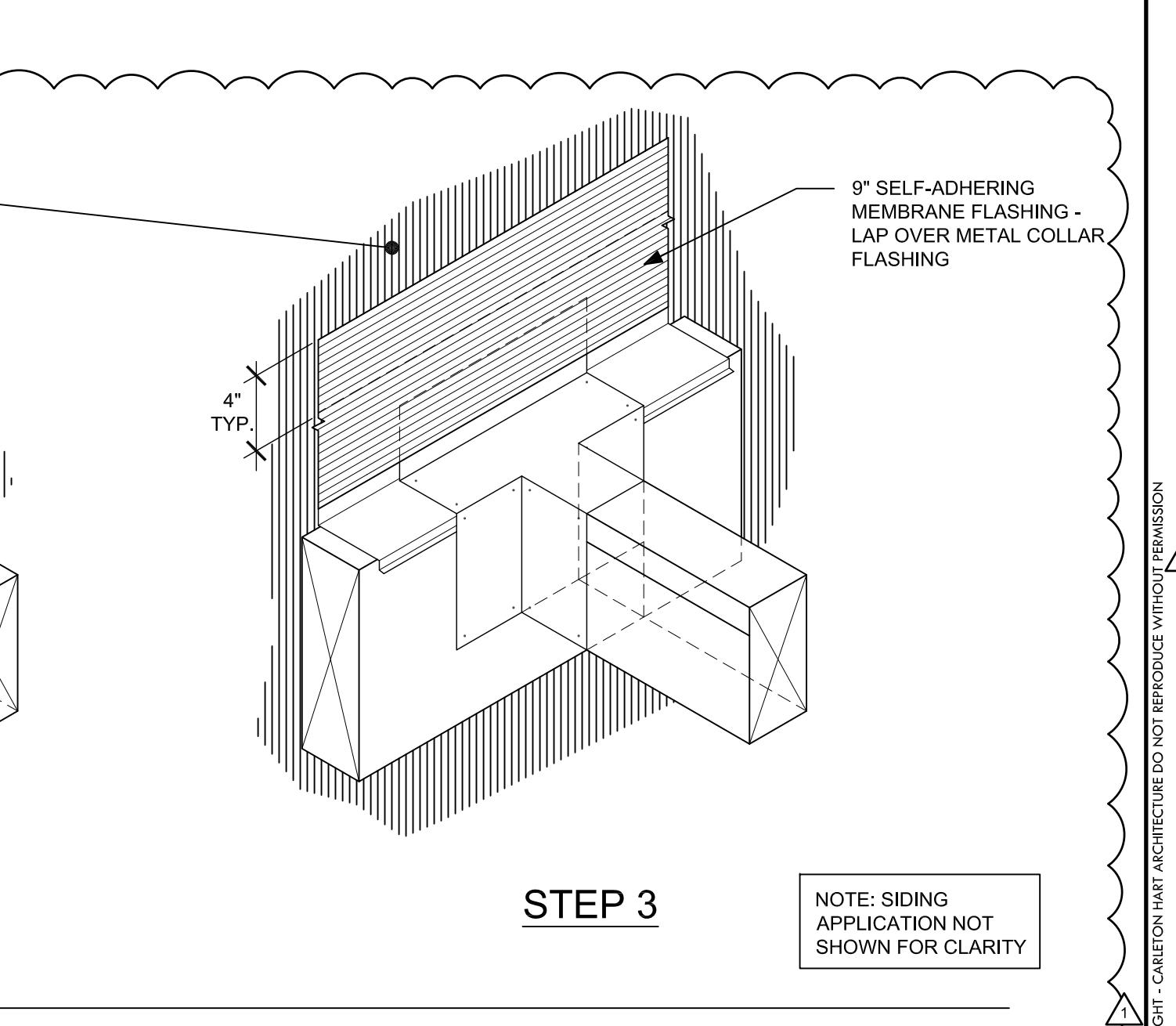
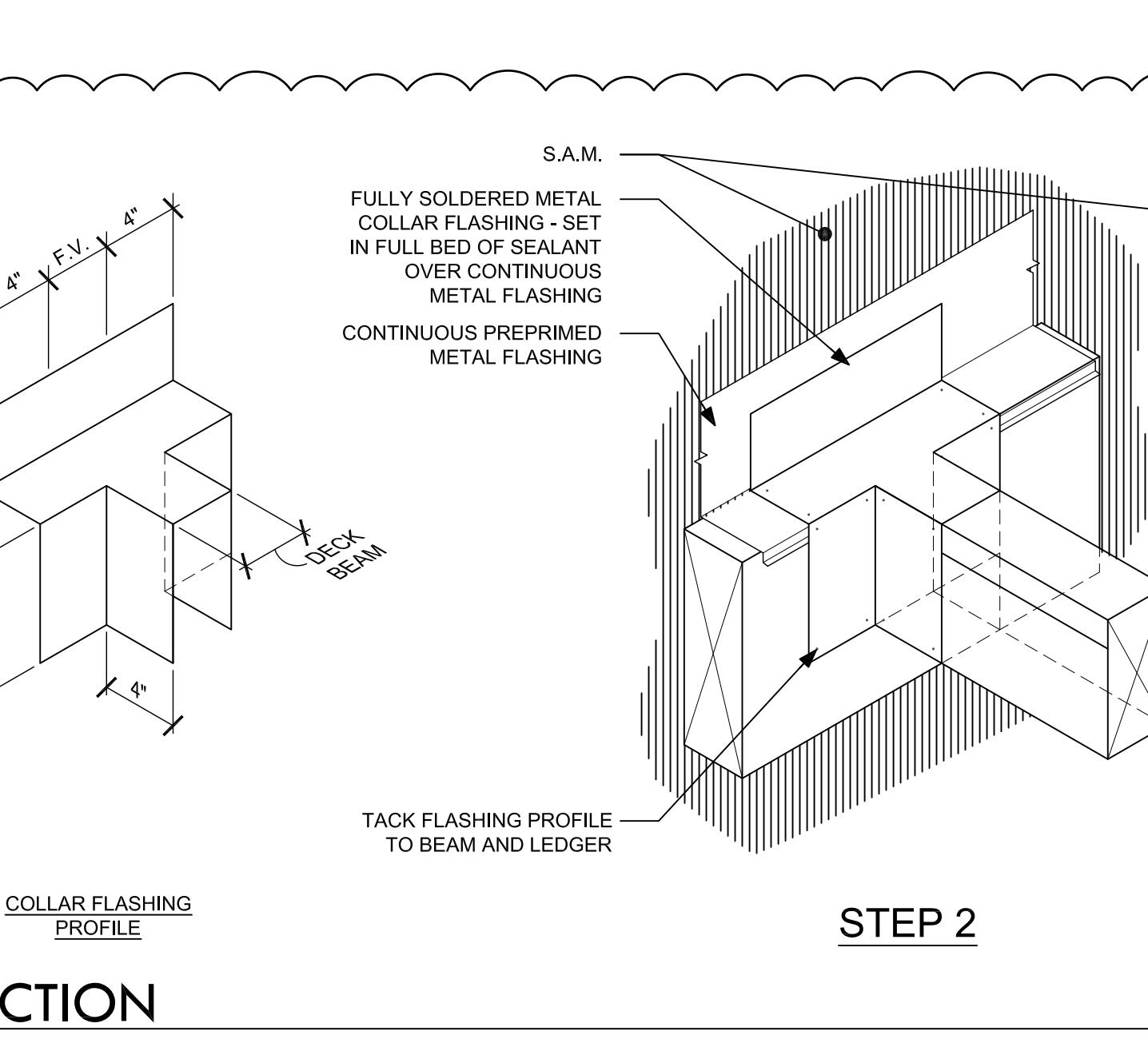
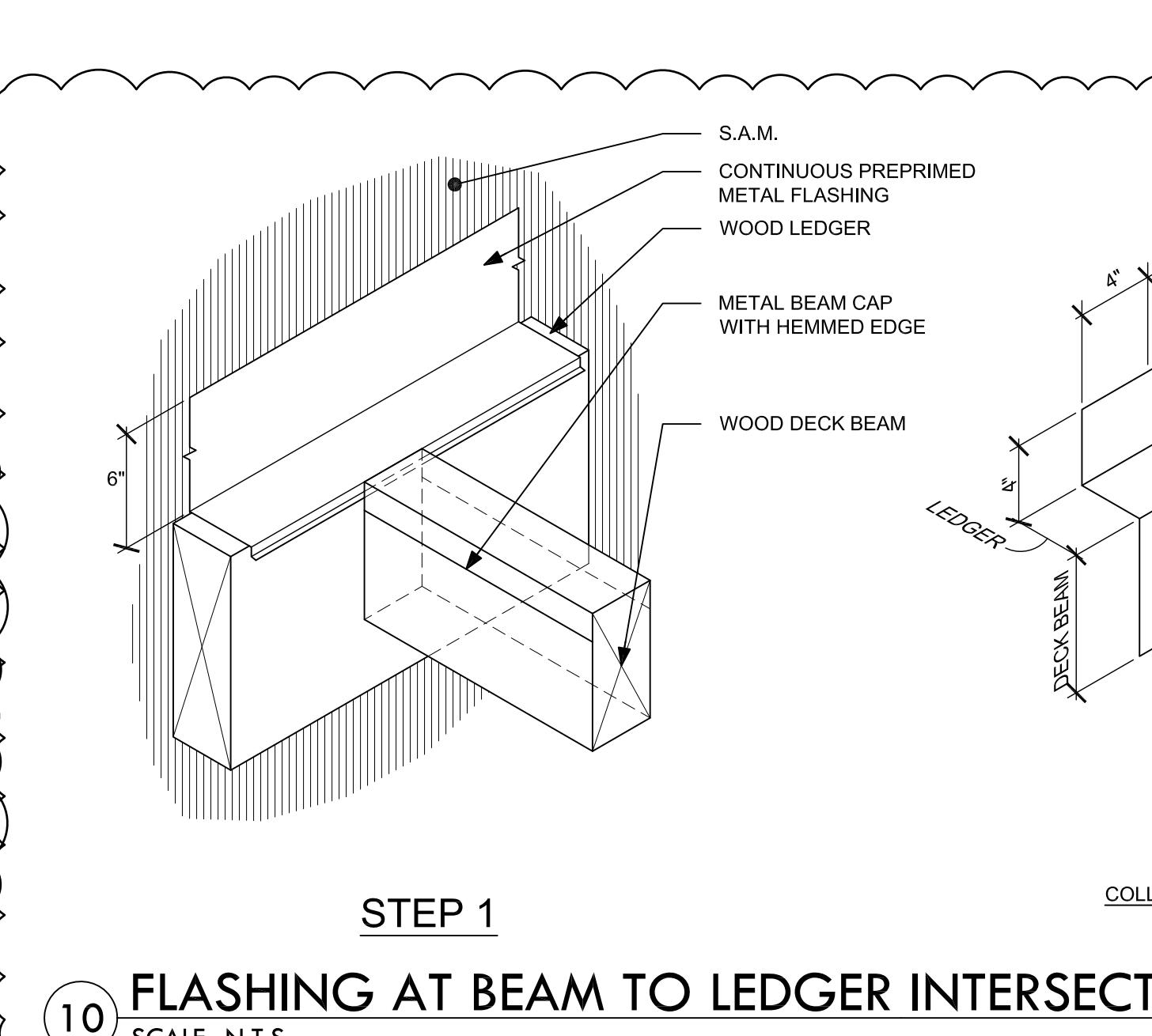
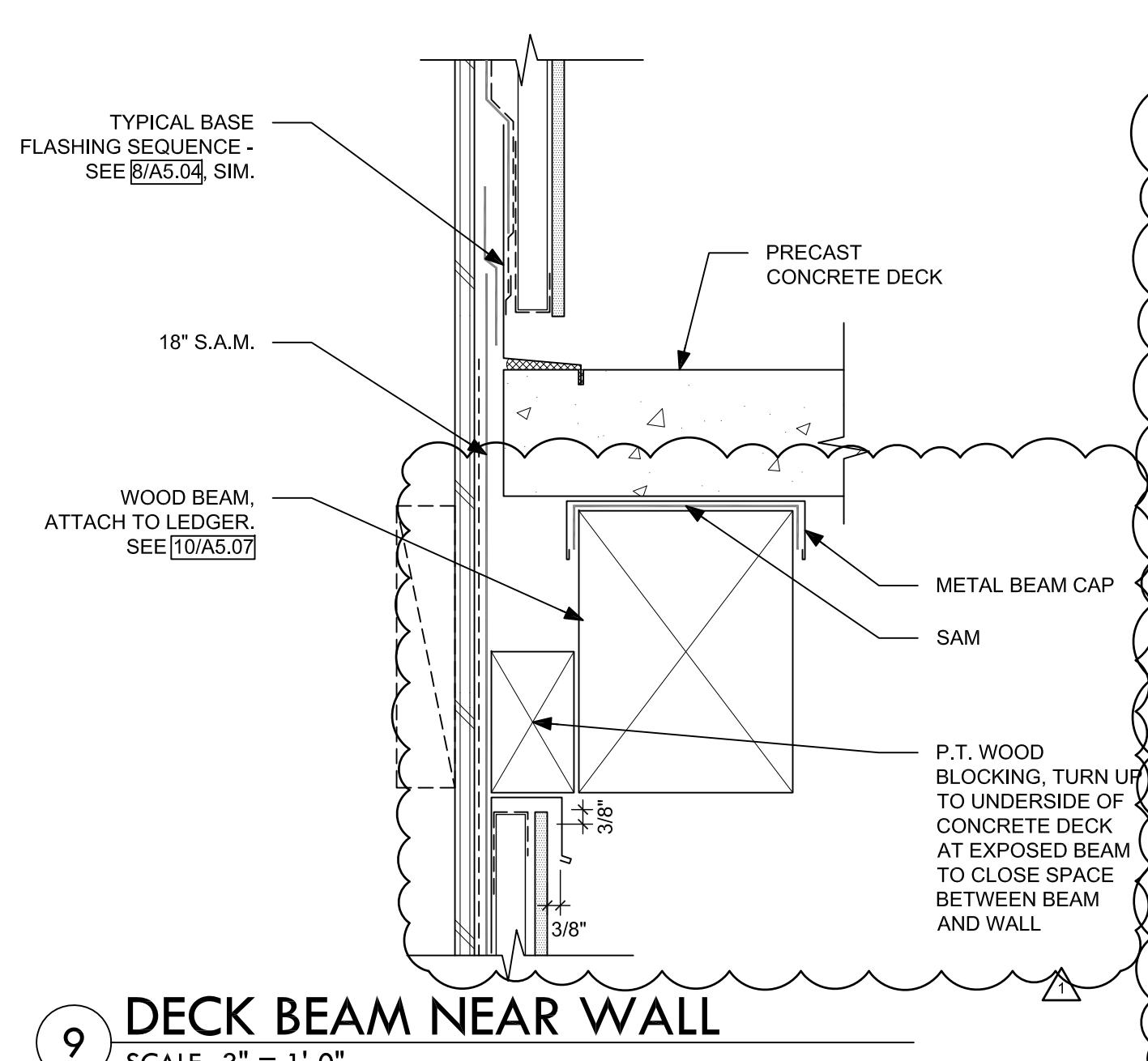
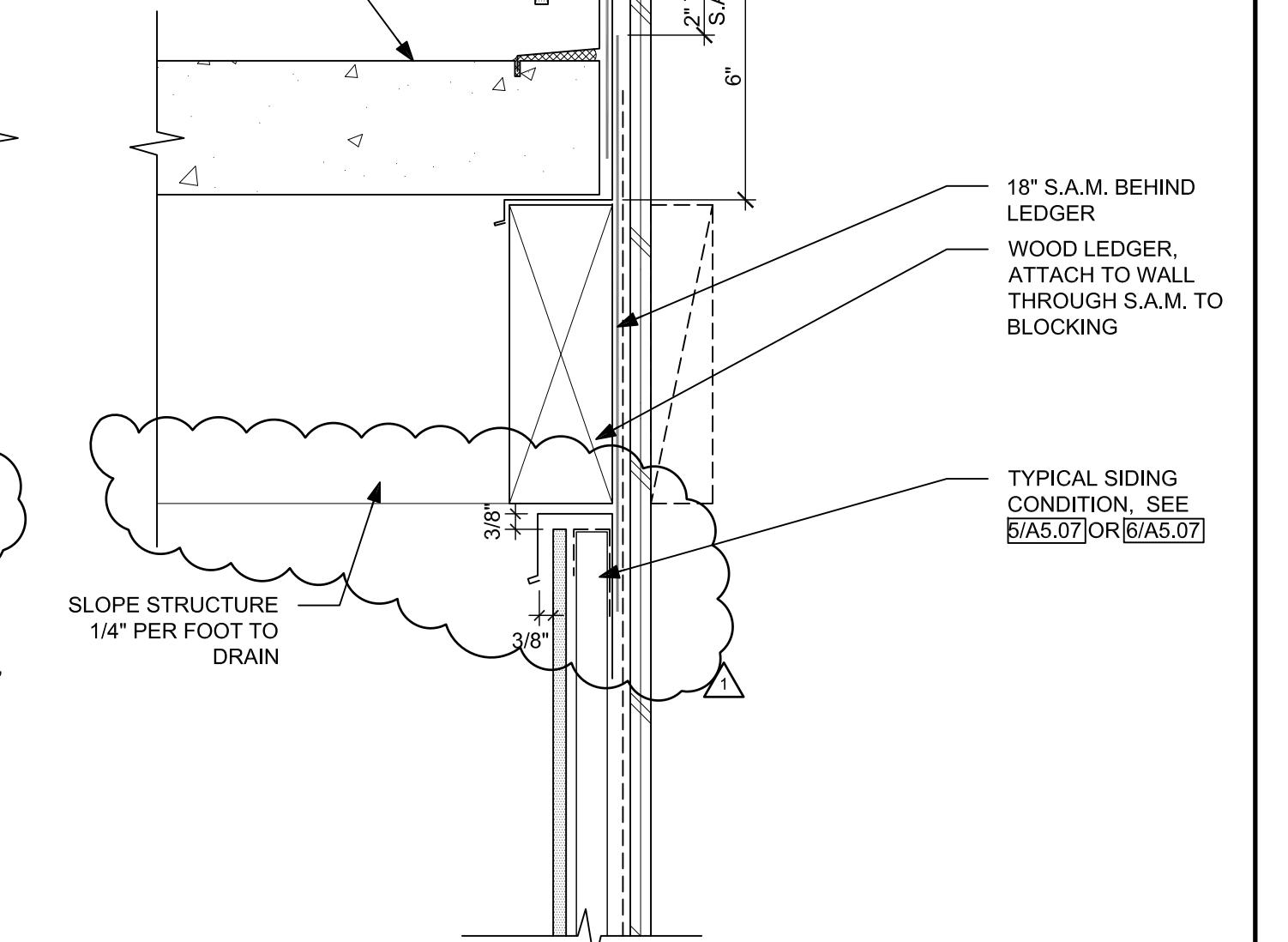
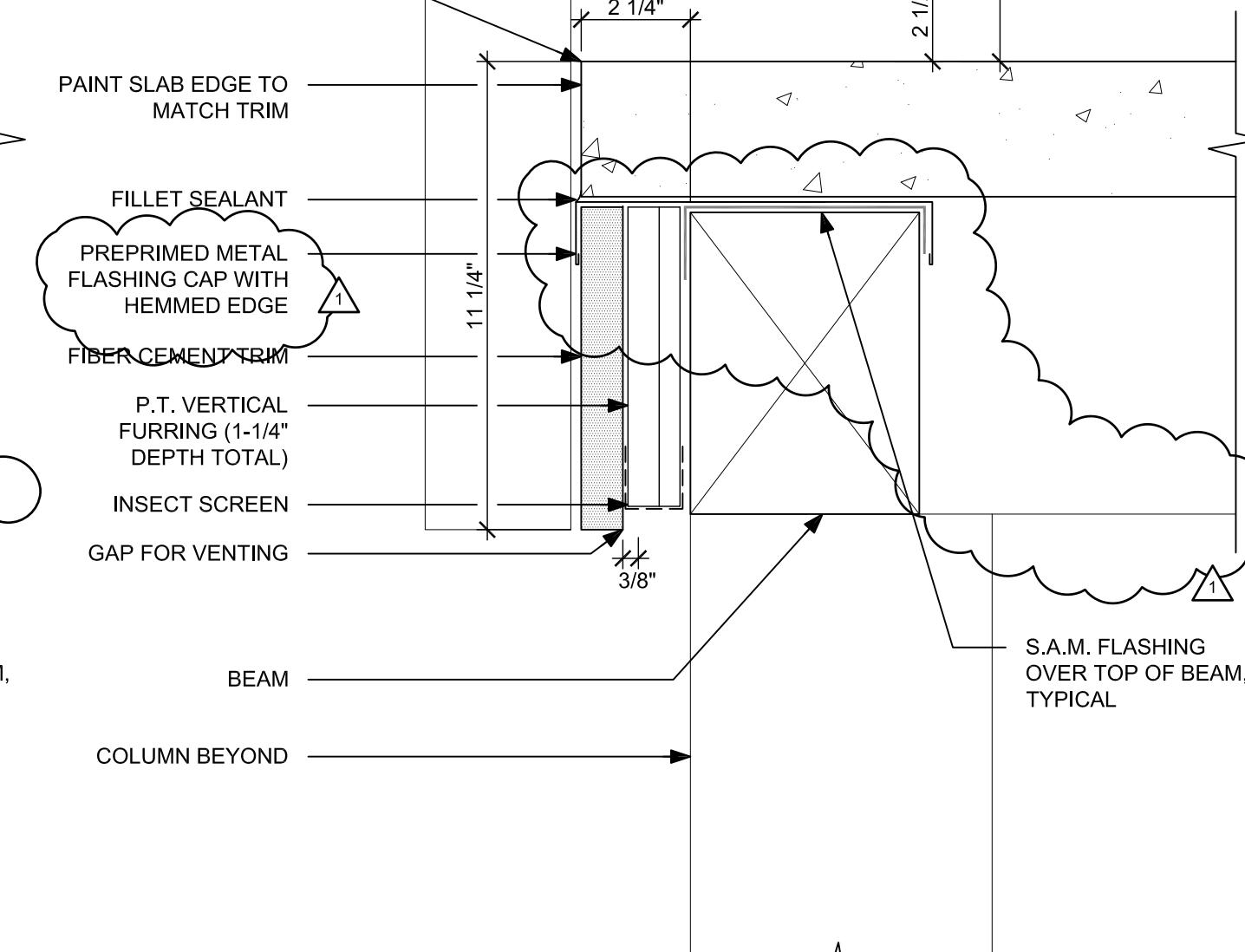
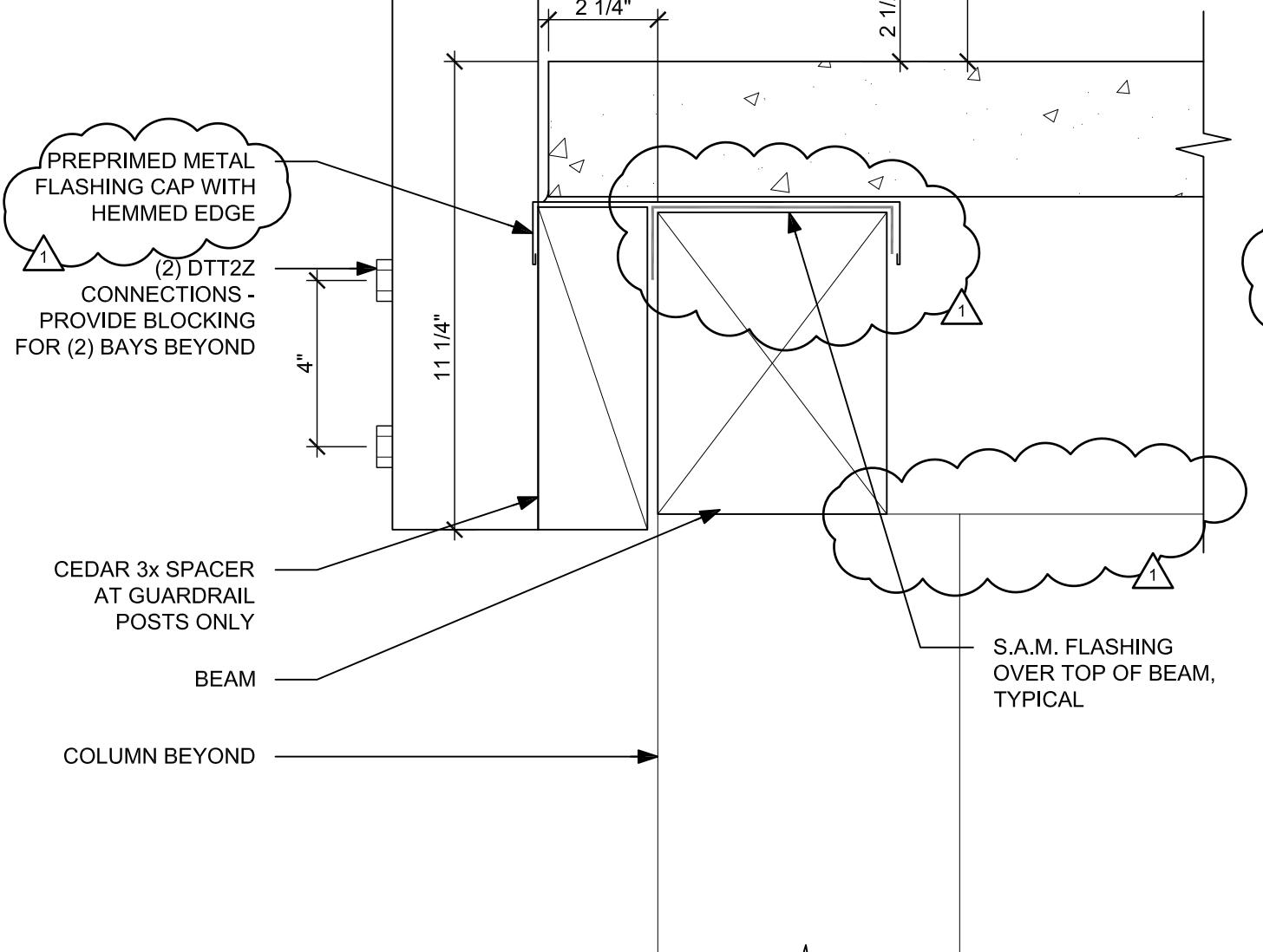
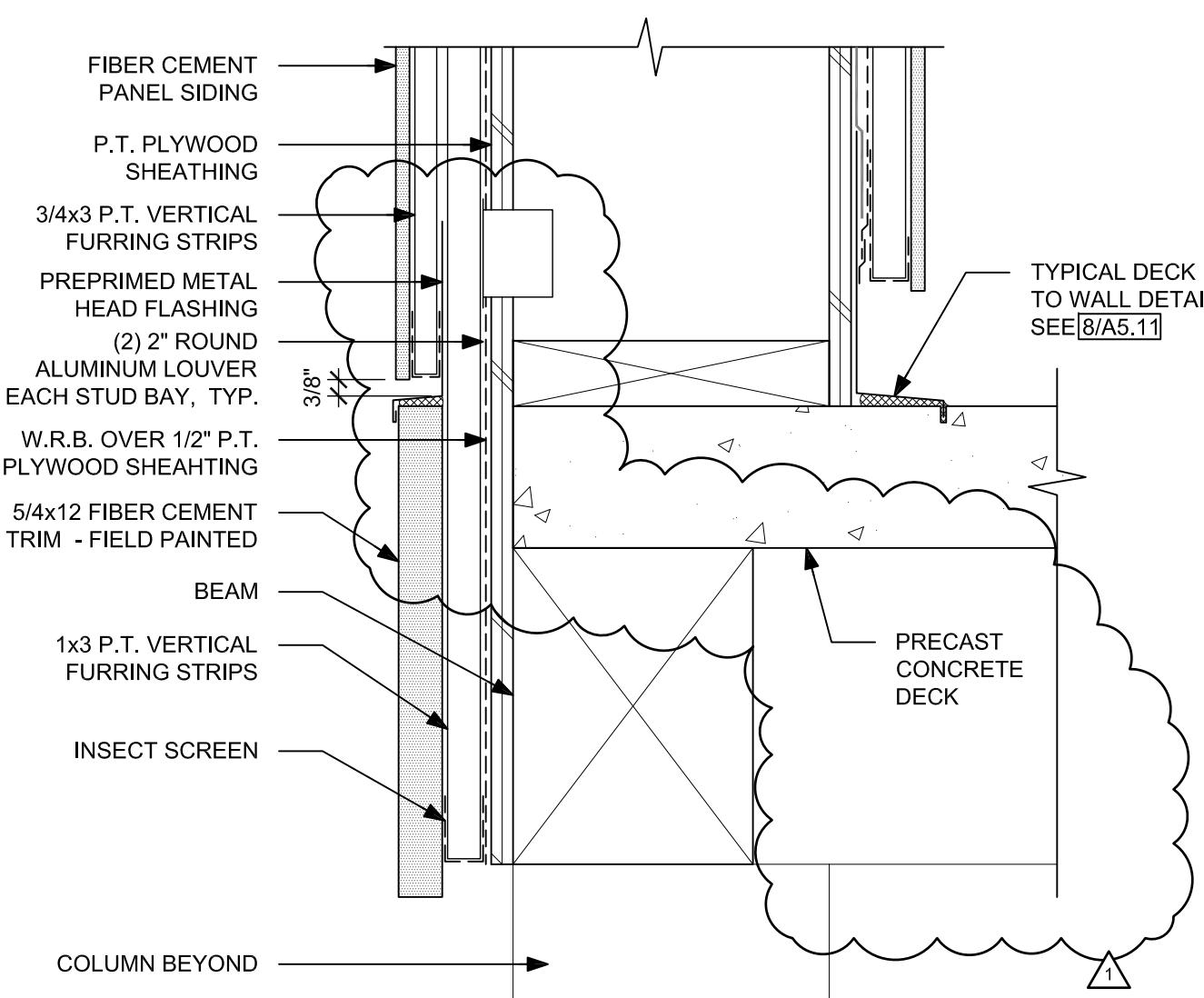
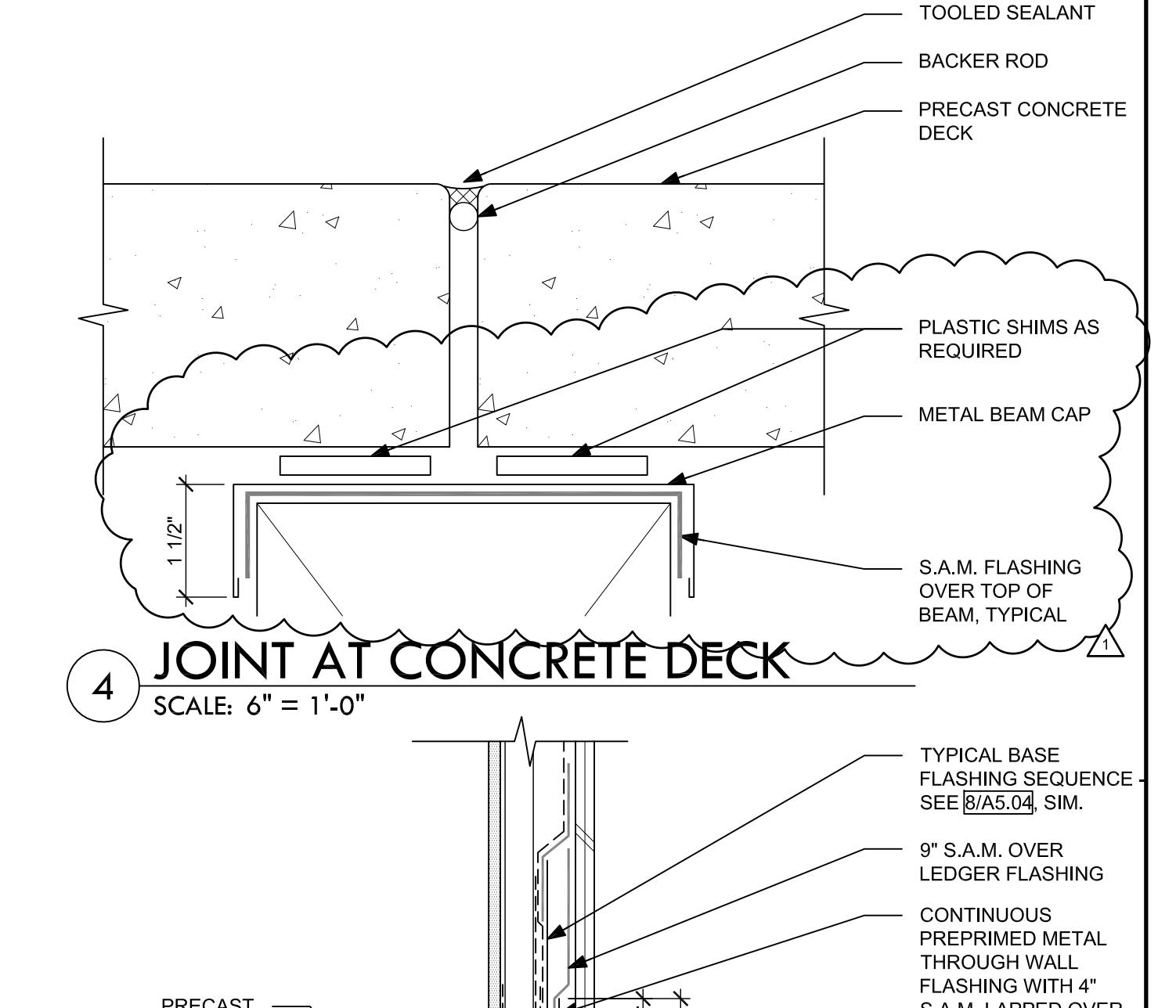
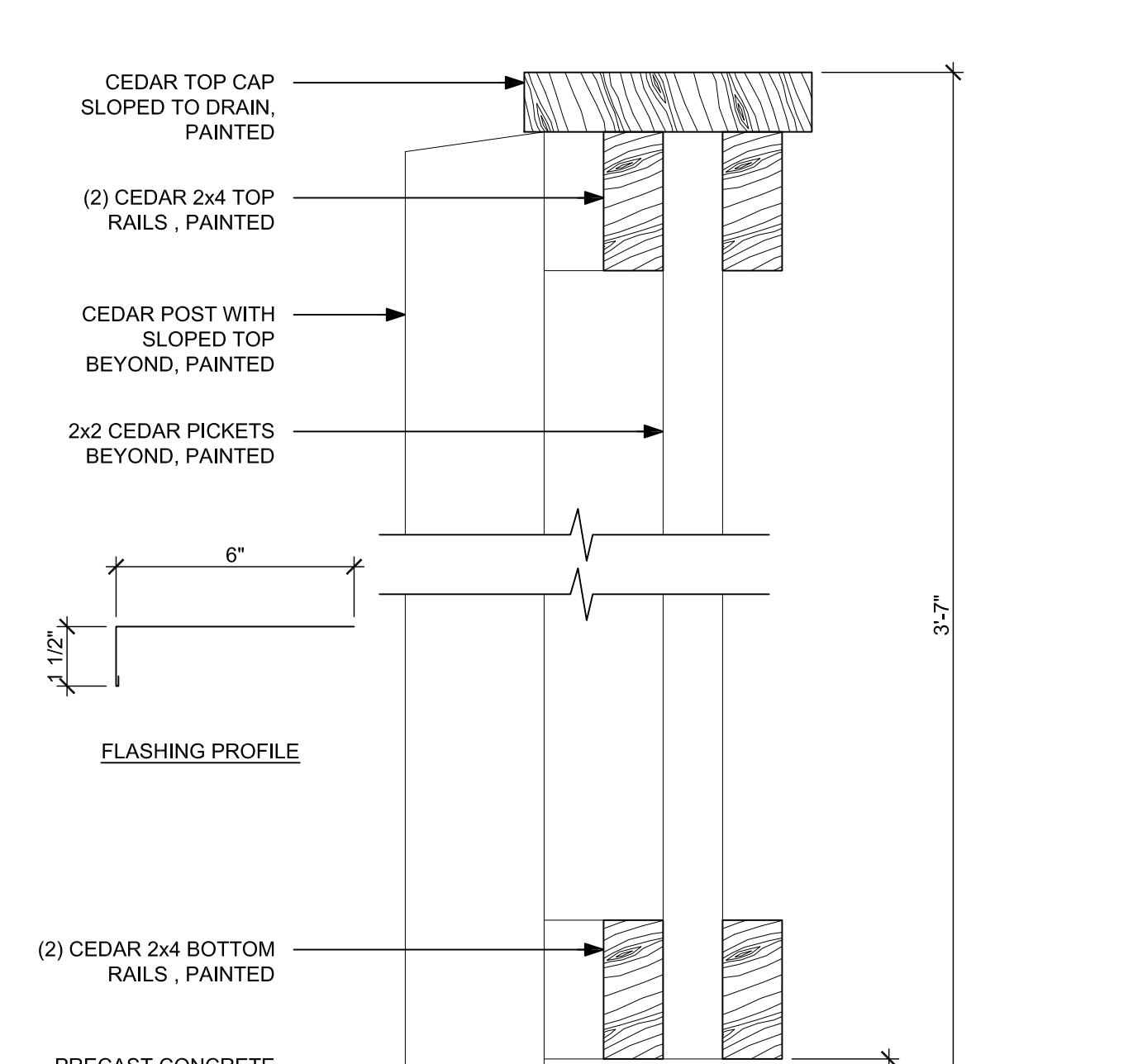
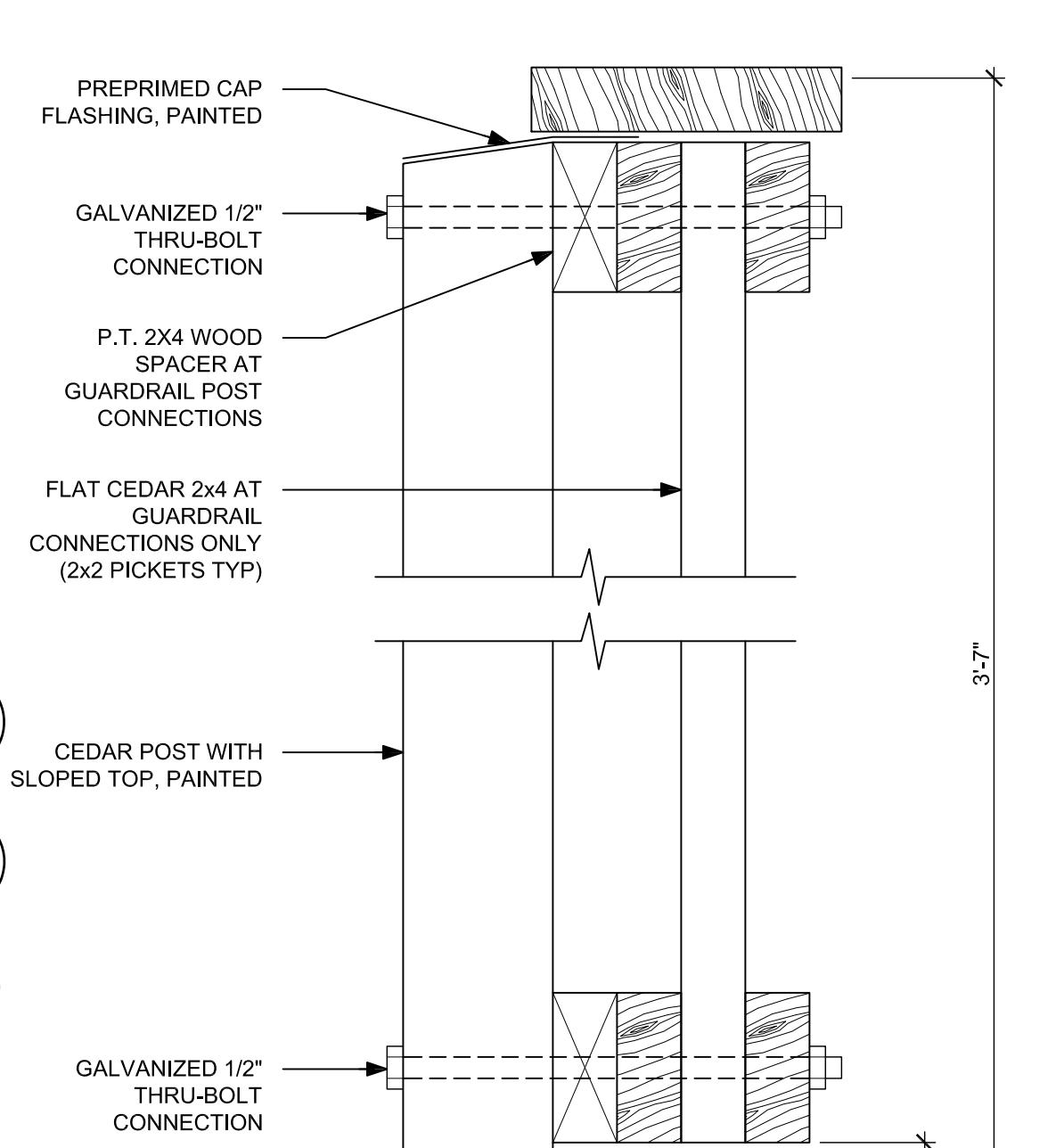
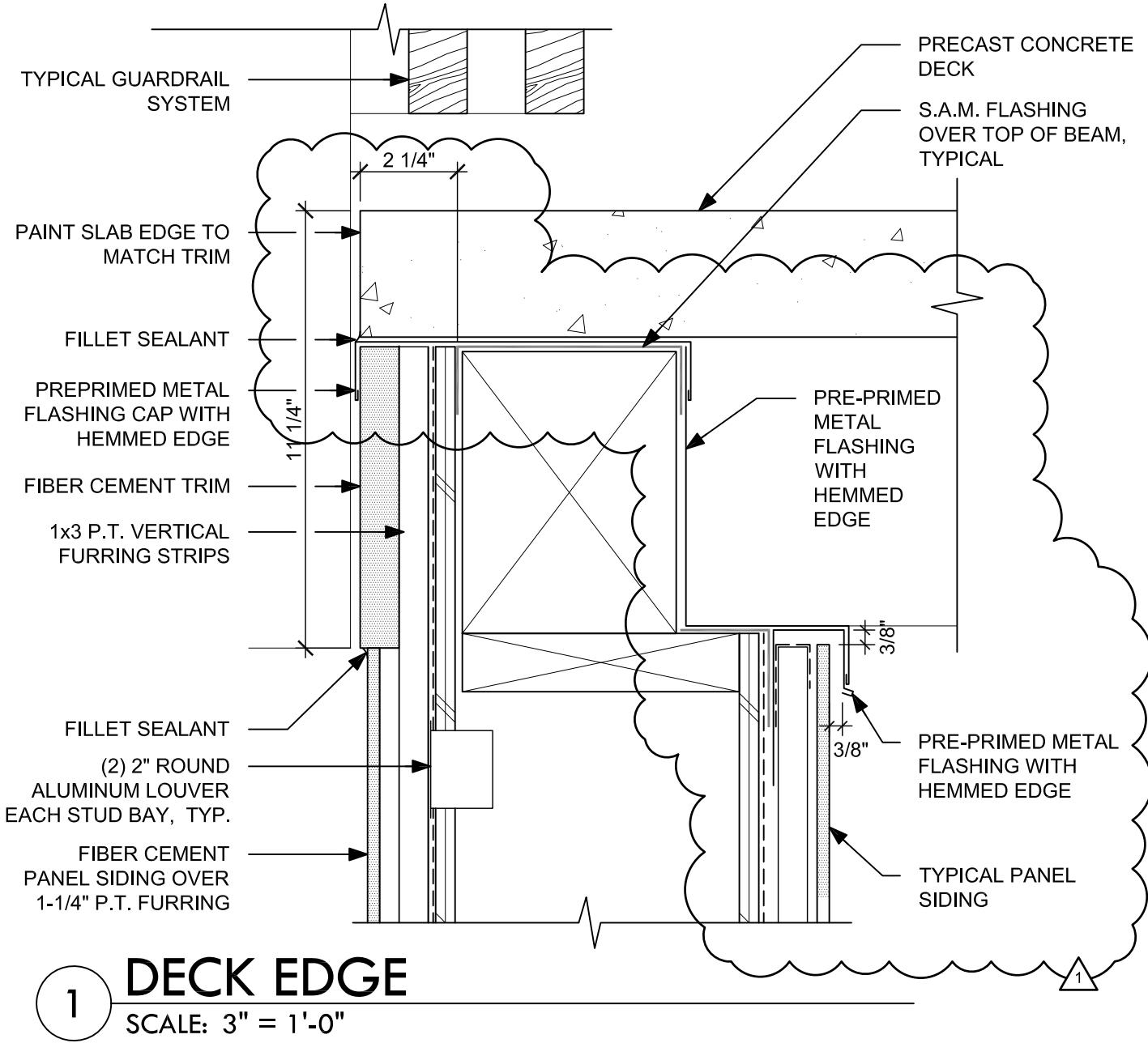
**FOUNDATION AT PATIO STEP**  
SCALE: 3" = 1'-0"

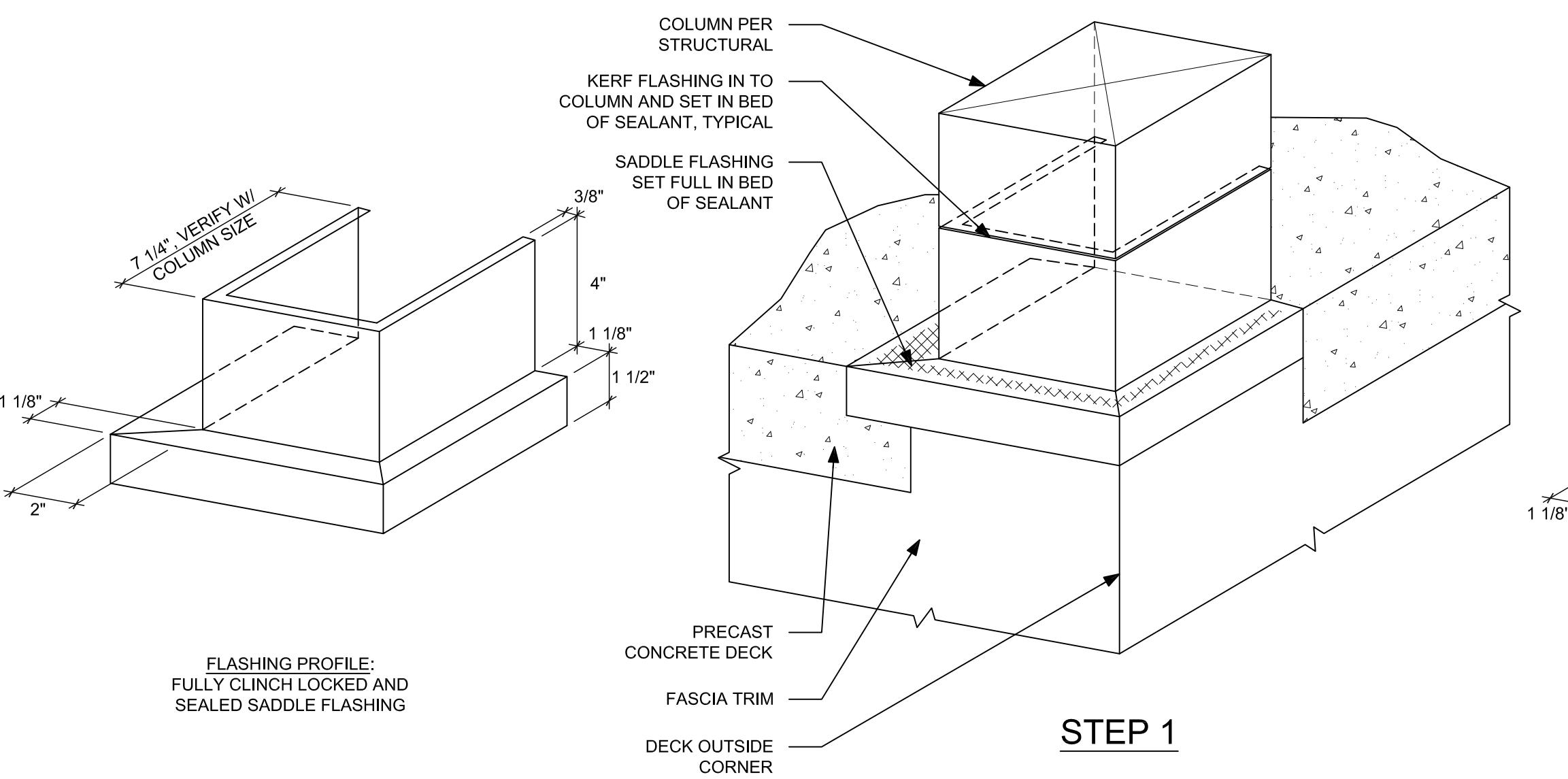
REGISTERED ARCHITECT  
BRIAN D. CARLETON  
PORTLAND, OREGON  
2018

CARLETON HART ARCHITECTURE  
322 NW 8TH AVENUE PORTLAND, OREGON 97209  
+503 243 3261 carletonhart.com

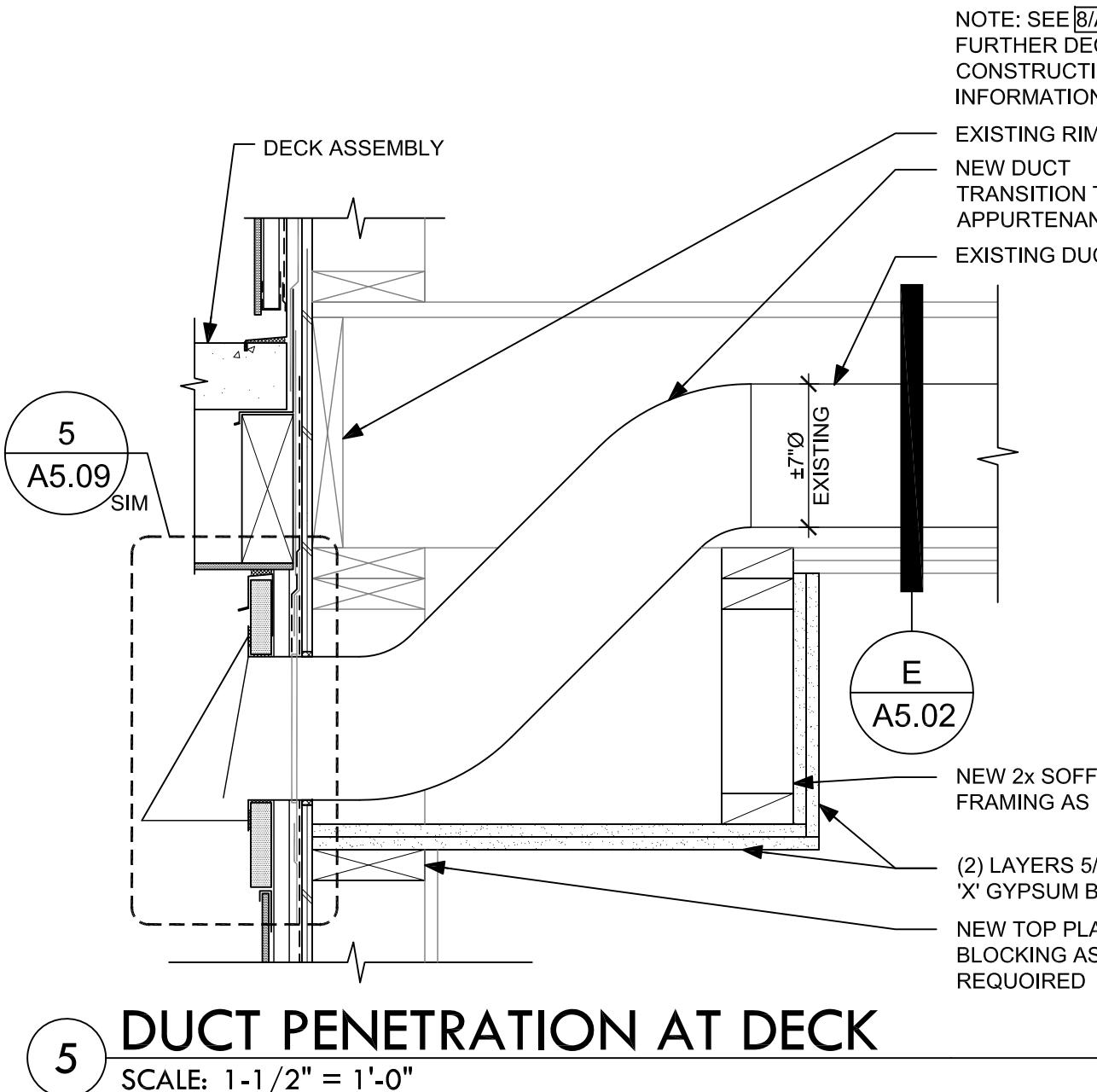
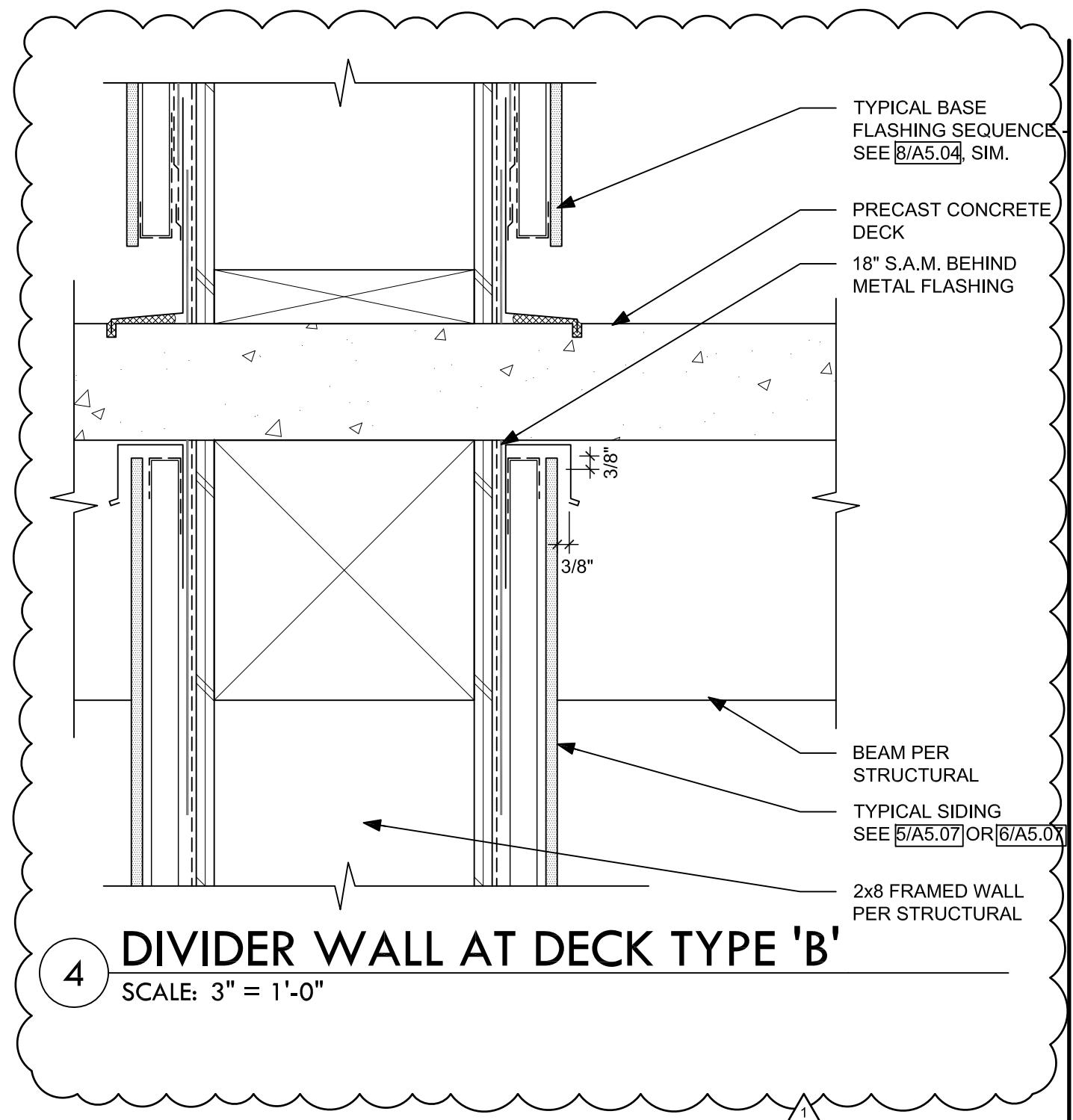
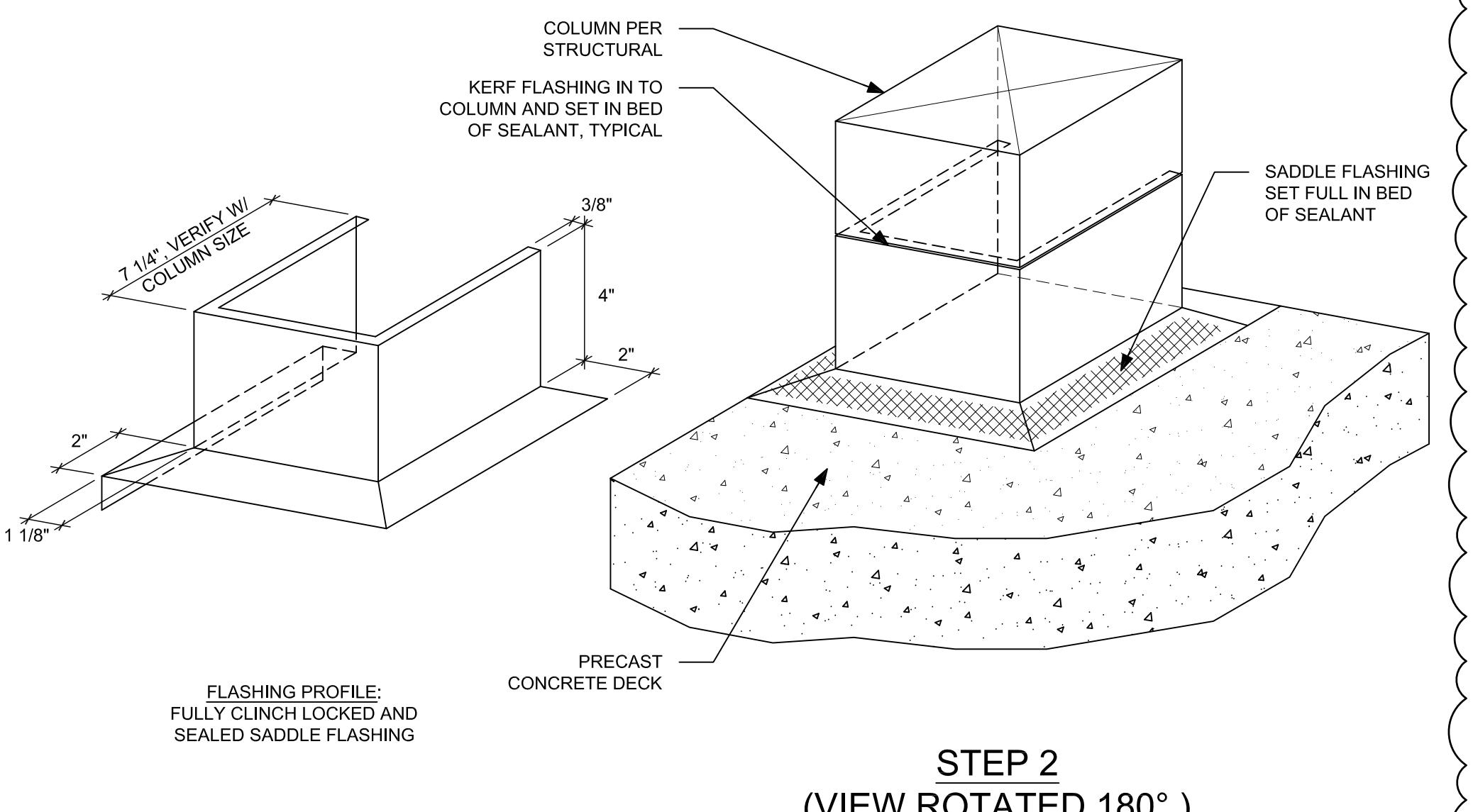
PARKWAY VILLAGE : EAST  
APARTMENT REHABILITATION  
SALEM HOUSING AUTHORITY

PERMIT REVIEW / BID SET



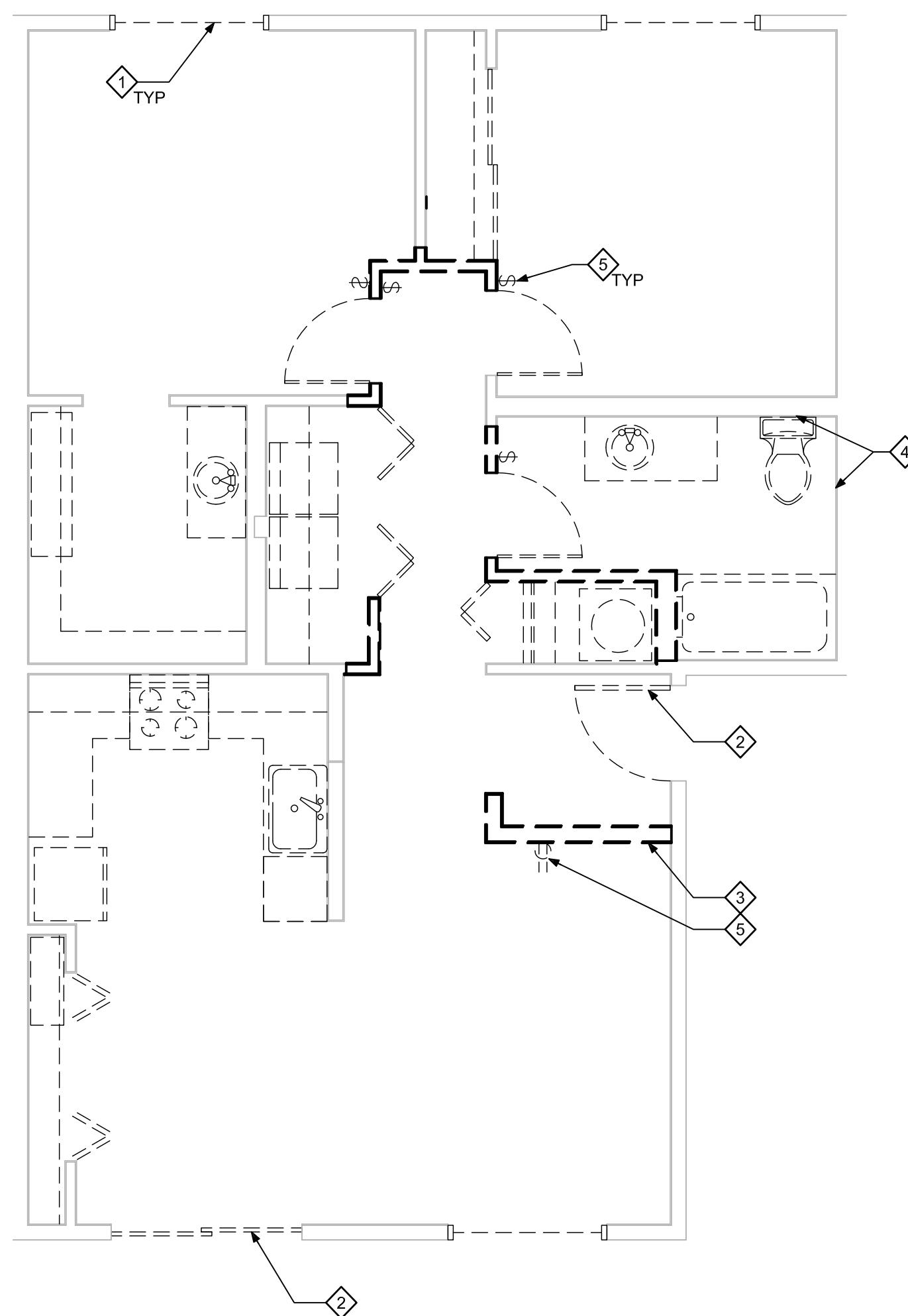


**1 2-Piece Flashing at Deck Column**  
SCALE: N.T.S.





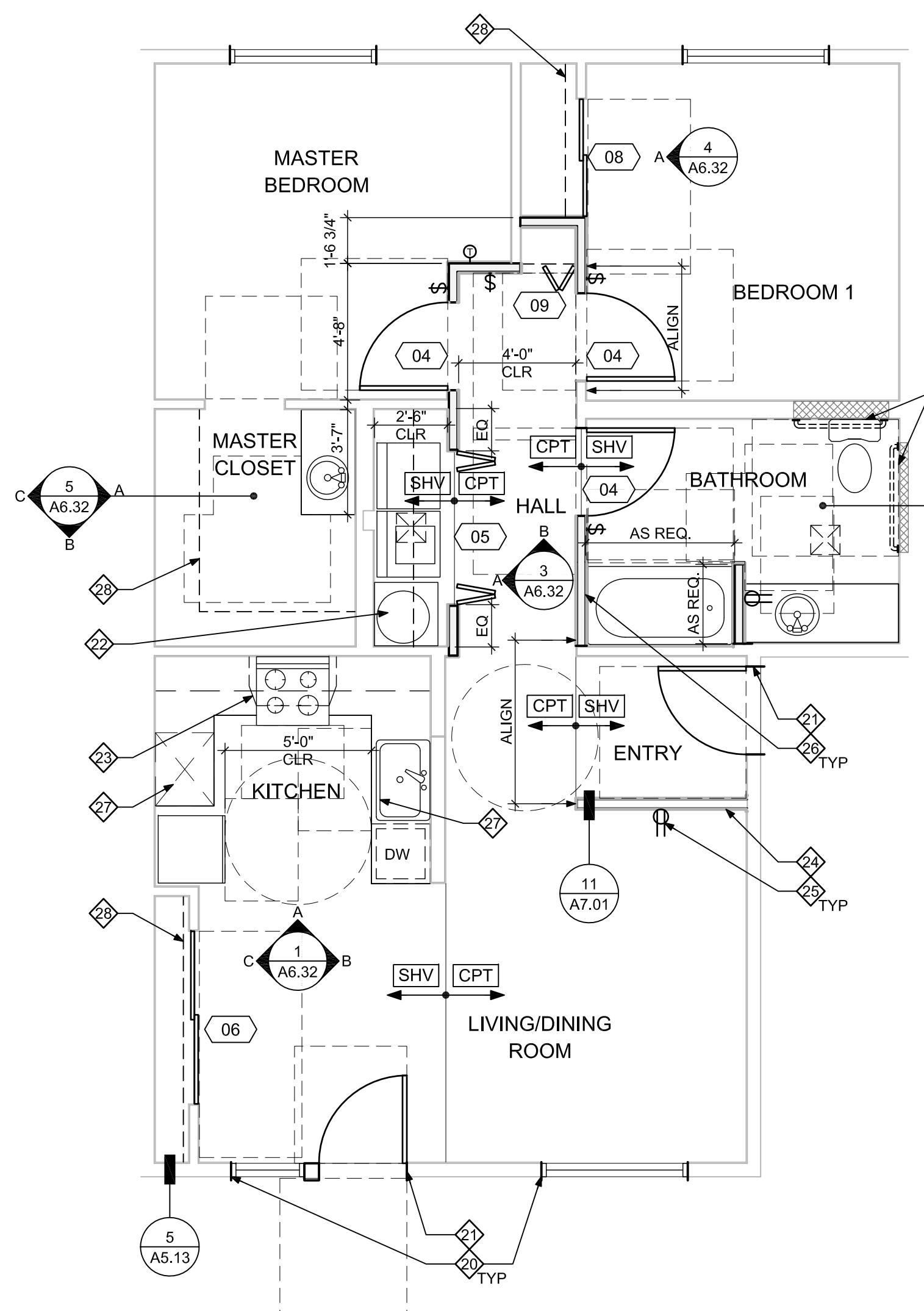
**1 EXISTING 2 BEDROOM UNIT PLAN - DEMOLITION**



SCALE: 1/4" = 1'-0"

**2 ACCESSIBLE 2 BEDROOM UNIT PLAN**

SCALE: 1/4" = 1'-0"



SEE PLAN

**DEMOLITION UNIT PLAN KEY NOTES**

- ◆ REMOVE (E) EXTERIOR WINDOWS & INTERIOR WOOD SILL, CUT & REMOVE (E) INTERIOR GYP BOARD AS NECESSARY TO ALLOW COMPLETE INSTALLATION OF WRB & ASSOCIATED FLASHINGS, TYP.
- ◆ REMOVE (E) EXTERIOR DOORS & INTERIOR WOOD TRIM, CUT & REMOVE (E) INTERIOR GYP BOARD AS NECESSARY TO ALLOW COMPLETE INSTALLATION OF WRB & ASSOCIATED FLASHINGS, TYP.
- ◆ REMOVE (E) INTERIOR PARTITION IN ITS ENTIRETY, TYP.
- ◆ REMOVE (E) GYP BOARD TO ALLOW WORK TO INTERIOR OF WALL.
- ◆ REMOVE (E) ELECTRICAL CONTROL DEVICE (SWITCH, OUTLET OR THERMOSTAT) & REINSTALL AT ACCEPTABLE HEIGHT IN SAME GENERAL AREA, TYP.

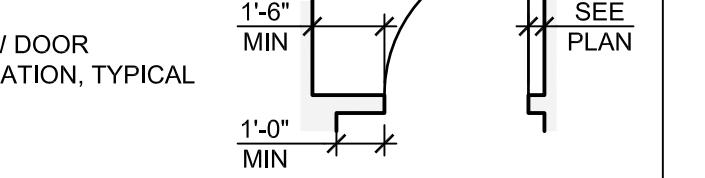
**NEW UNIT PLAN KEY NOTES**

- ◆ PATCH GYP BOARD AT NEW EXTERIOR WINDOWS & INSTALL NEW PAINT GRADE WOOD SILL, TYP.
- ◆ PATCH GYP BOARD AT NEW EXTERIOR DOORS, TYP.
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- ◆ NEW RANGE HOOD, PROVIDE CONNECTION TO (E) METAL DUCT. SEAL ALL DUCT CONNECTIONS & PROVIDE SWITCH AT COUNTER HEIGHT.
- ◆ NEW INTERIOR HALF-WALL PARTITION
- ◆ NEW / REINSTALLED ELECTRICAL CONTROL DEVICE, TYP.
- ◆ NEW GYP BOARD WALL PATCH, TYP.
- ◆ PROVIDE 30" WIDE CLEAR FLOOR AREA UNDER SINK AND WORK AREA. CONTINUE FLOORING BELOW EACH AREA
- ◆ NEW SHELVING. REFER TO INTERIOR ELEVATIONS

**UNIT PLAN LEGEND**

- DASHED LINE INDICATES WALL/FLOOR TO BE DEMOLISHED
- DASHED LINE INDICATES ITEM TO BE REMOVED
- EXISTING ITEM TO REMAIN
- NEW SHELVING
- EXISTING WALL TO REMAIN
- NEW WALL - PARTIAL HEIGHT, NEW HEIGHT TO MATCH EXISTING
- NEW WALL - FULL HEIGHT
- NEW BLOCKING FOR GRAB BAR SUPPORT
- 30" CLEAR WORK SURFACE AT ACCESSIBLE KITCHENS
- NEW GRAB BAR INSTALLATION AT ACCESSIBLE UNITS
- NEW VENTILATION FAN
- NEW THERMOSTAT
- NEW POWER OUTLET
- NEW LIGHT SWITCH

NEW DOOR LOCATION, TYPICAL



- GENERAL UNIT PLAN NOTES**
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  - F. REFER TO FLOOR PLANS & EXTERIOR ELEVATIONS FOR ALL EXTERIOR SCOPE OF WORK.
  - G. DIMENSIONS ARE TO FACE OF STUD U.O.N.
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    - SINKS, FAUCETS & EXPOSED CONNECTIONS
    - LAVATORIES, FAUCETS & EXPOSED CONNECTIONS
    - TOILETS & SUPPLY LINES
    - BATHTUBS, SURROUNDS, CONTROLS & SHOWERHEADS
    - REFRIGERATORS
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    - VENTILATION FANS IN BATHROOMS & LAUNDRY AREAS
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ENLARGED UNIT PLANS  
2 BEDROOM  
ACCESSIBLE  
PROJ NO.  
21348

01.21.14

02.06.14 ADDENDUM #1

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A6.01

REGISTERED ARCHITECT  
BRIAN D. CARLETON  
PORTLAND, OREGON  
2018  
STATE OF OREGON

CARLETON HART ARCHITECTURE  
322 NW 8th Avenue Portland, Oregon 97209  
carletonhart.com

PARKWAY VILLAGE : EAST  
APARTMENT REHABILITATION  
SALEM HOUSING AUTHORITY

PERMIT REVIEW / BID SET

ENLARGED UNIT PLANS  
2 BEDROOM  
1ST FLOOR  
PROJ. NO.  
21348

01.21.14

02.06.14 ADDENDUM #1

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- WASHER & DRYER - EXCEPT AT ACCESSIBLE UNITS
- REFRIGERATOR, RANGE & DISHWASHER - EXCEPT AT ACCESSIBLE UNITS
- GARBAGE DISPOSALS AT SINKS

- J. AT ALL 1ST FLOOR NON-ACCESSIBLE UNITS, ITEMS TO BE REMOVED & REPLACED WITH NEW INCLUDE & ARE NOT LIMITED TO THE FOLLOWING:

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- ALL FLOOR FINISHES AND BASES
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- LAVATORIES, FAUCETS & EXPOSED CONNECTIONS
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- VENTILATION FANS IN BATHROOMS & LAUNDRY AREAS

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- 21) PATCH GYP BOARD AT NEW EXTERIOR DOORS, TYP.

- 22) EXISTING WATER HEATER TO BE REINSTALLED. PROVIDE NEW SUPPLY, POWER & METAL Drip PAN. ROUTE PRESSURE RELIEF TO EXTERIOR OF BUILDING ENCLOSURE.

- 23) NEW RANGE HOOD, PROVIDE CONNECTION TO (E) METAL DUCT. SEAL ALL DUCT CONNECTIONS.

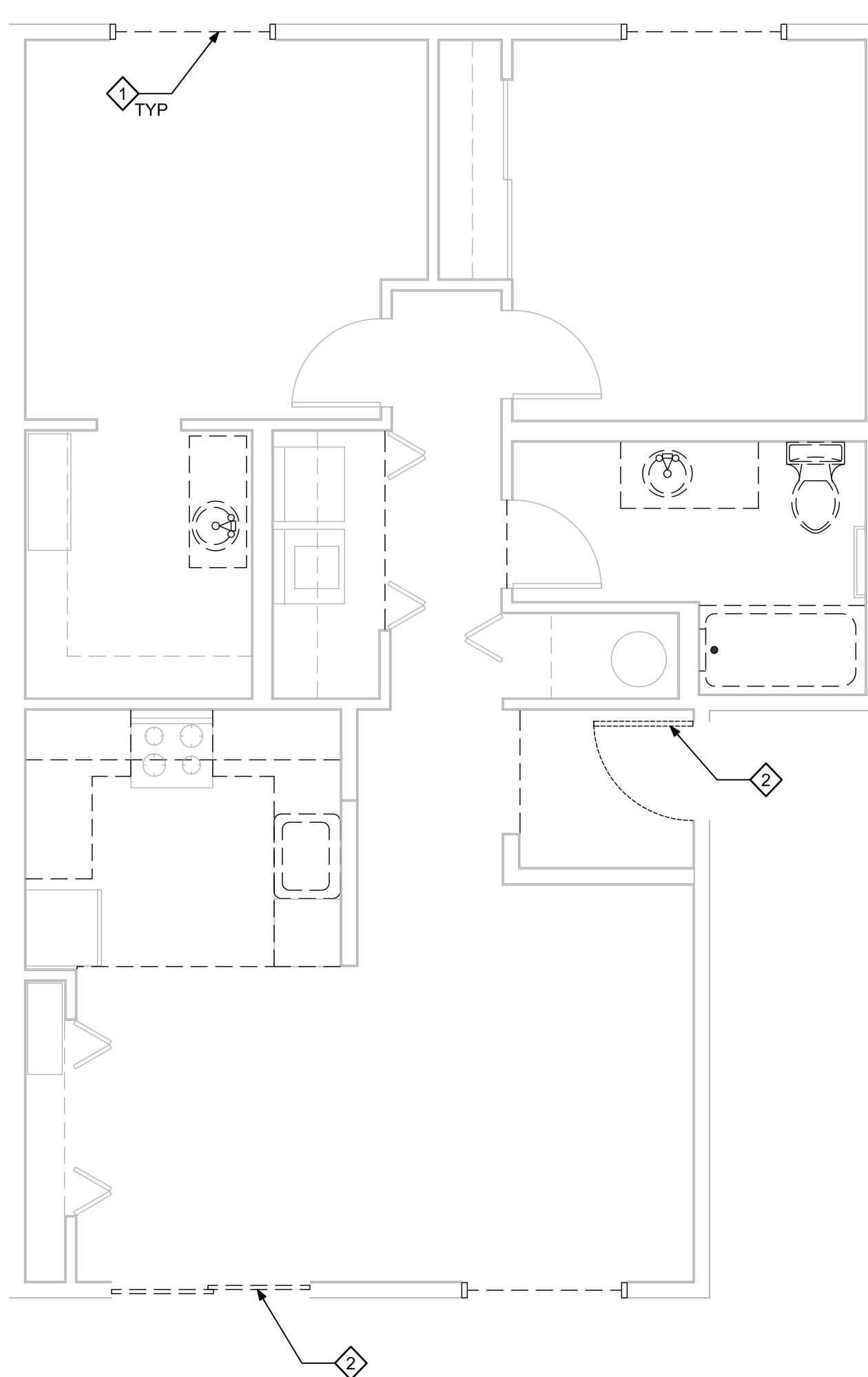
#### UNIT PLAN LEGEND

— DASHED LINE INDICATES ITEM TO BE REMOVED

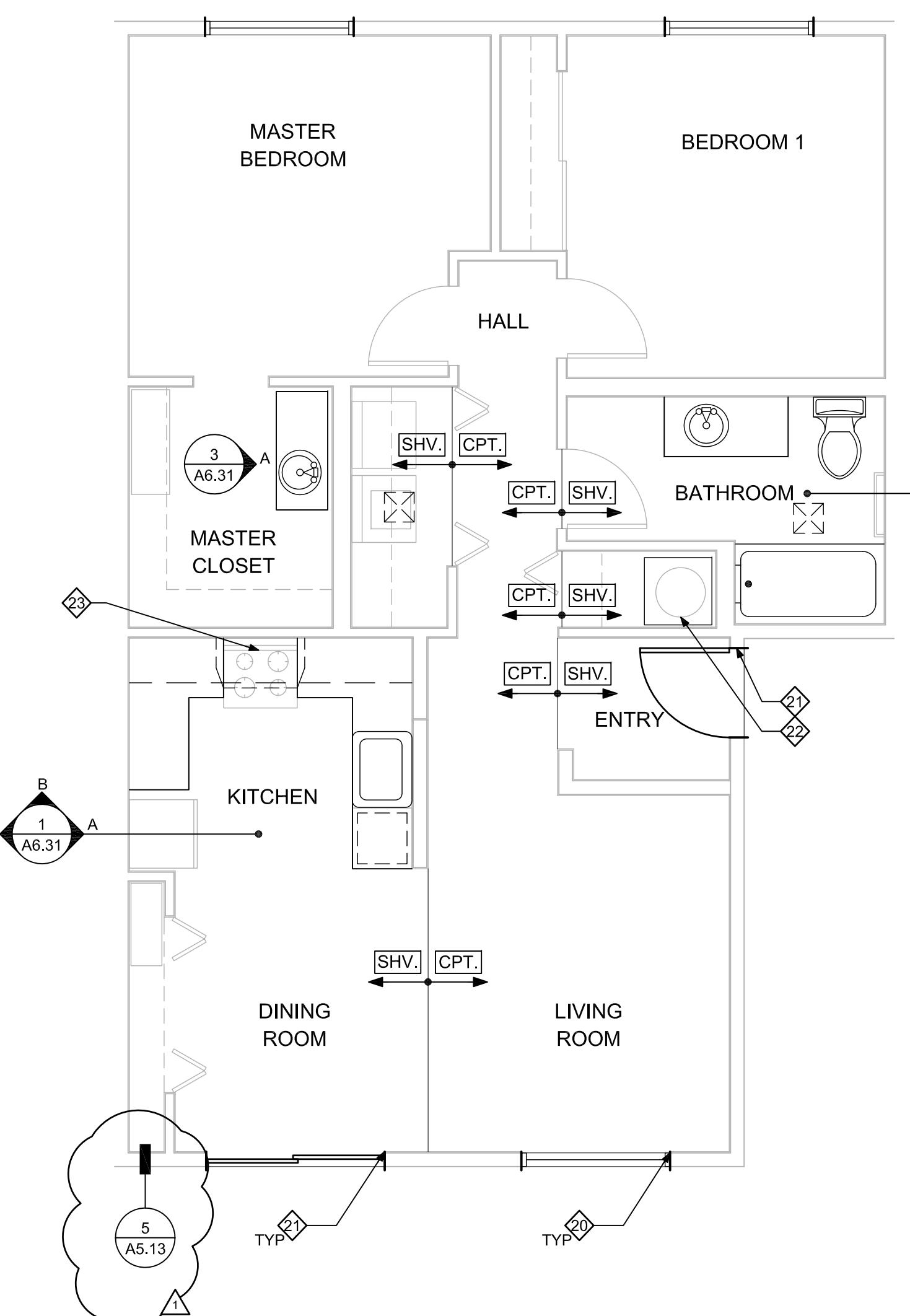
— EXISTING ITEM TO REMAIN

— EXISTING WALL TO REMAIN

NEW VENTILATION FAN



1 TYPICAL EXISTING 2 BEDROOM UNIT PLAN - DEMOLITION  
SCALE: 1/4" = 1'-0"



2 TYPICAL NEW 2 BEDROOM UNIT PLAN  
SCALE: 1/4" = 1'-0"

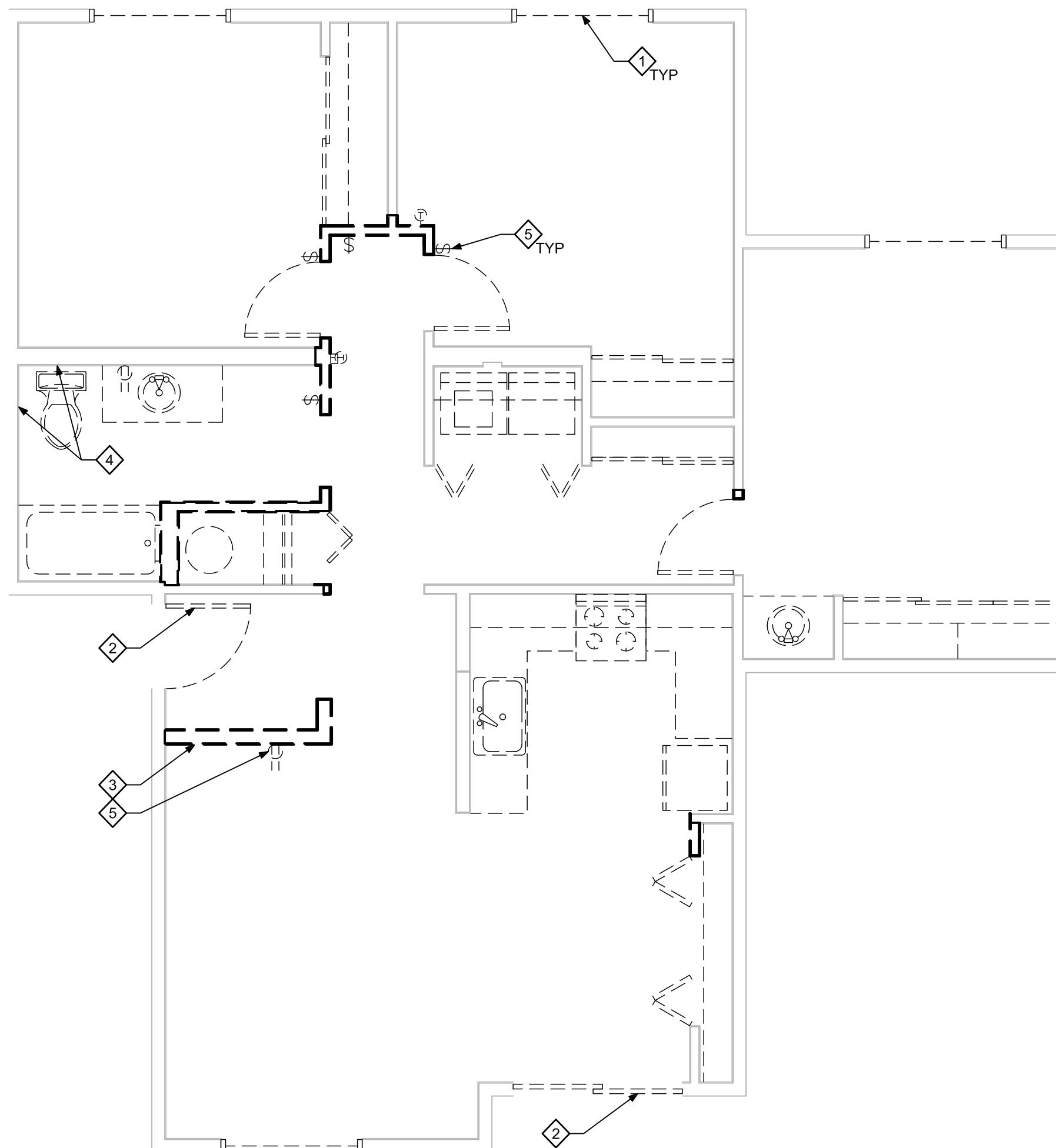
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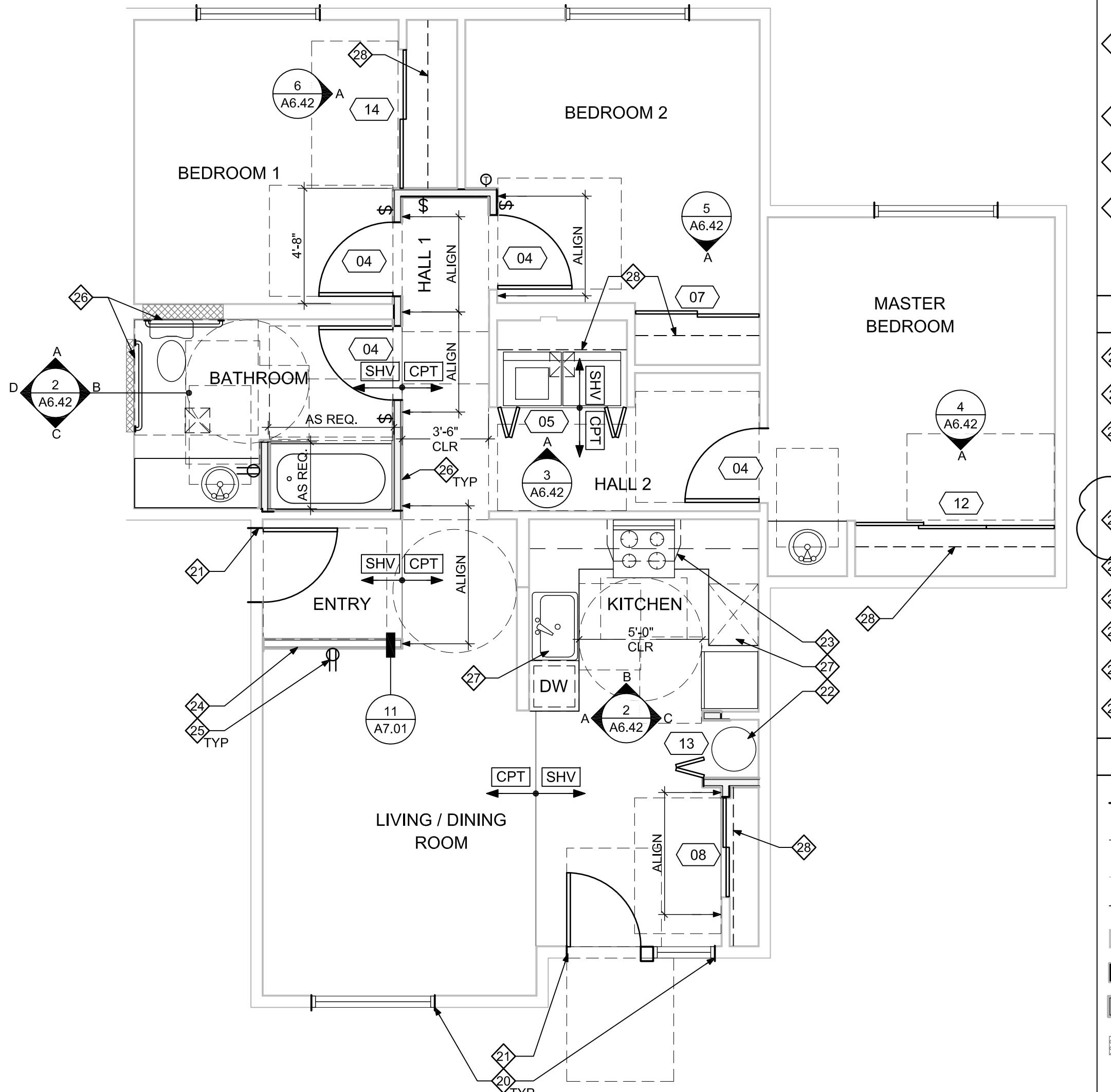
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322 NW 8th Avenue Portland, Oregon 97209 | carletonhart.com

## PARKWAY VILLAGE : EAST APARTMENT REHABILITATION SALEM HOUSING AUTHORITY

PERMIT REVIEW / BID SET



1 EXISTING 3 BED 1 BATH UNIT PLAN - DEMOLITION



2 ACCESSIBLE 3 BED 1 BATH UNIT PLAN

### DEMOLITION UNIT PLAN KEY NOTES

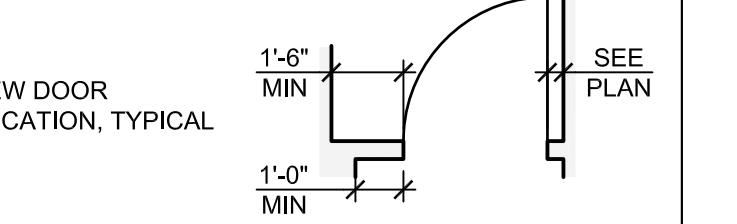
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### NEW UNIT PLAN KEY NOTES

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ENLARGED UNIT PLANS  
3 BEDROOM 1 BATH  
ACCESSIBLE  
PROJ NO.  
21348

01.21.14

02.06.14 ADDENDUM #1

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#### DEMOLITION UNIT PLAN KEY NOTES

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REMOVE (E) EXTERIOR DOORS & INTERIOR WOOD TRIM. CUT & REMOVE (E) INTERIOR GYP BOARD AS NECESSARY TO ALLOW COMPLETE INSTALLATION OF WRB & ASSOCIATED FLASHING, TYP.

AT ALL 1ST FLOOR NON-ACCESSIBLE UNITS, ITEMS TO BE REMOVED & STORED IN A PROTECTED LOCATION FOR RE-INSTALLATION INCLUDE & ARE NOT LIMITED TO THE FOLLOWING:

- WATER HEATER - PROVIDE NEW SUPPLY, POWER & Drip PAN
- WASHER & DRYER - EXCEPT AT ACCESSIBLE UNITS
- REFRIGERATOR, RANGE & DISHWASHER - EXCEPT AT ACCESSIBLE UNITS
- GARBAGE DISPOSALS AT SINKS

AT ALL 1ST FLOOR NON-ACCESSIBLE UNITS, ITEMS TO BE REMOVED & REPLACED WITH NEW INCLUDE & ARE NOT LIMITED TO THE FOLLOWING:

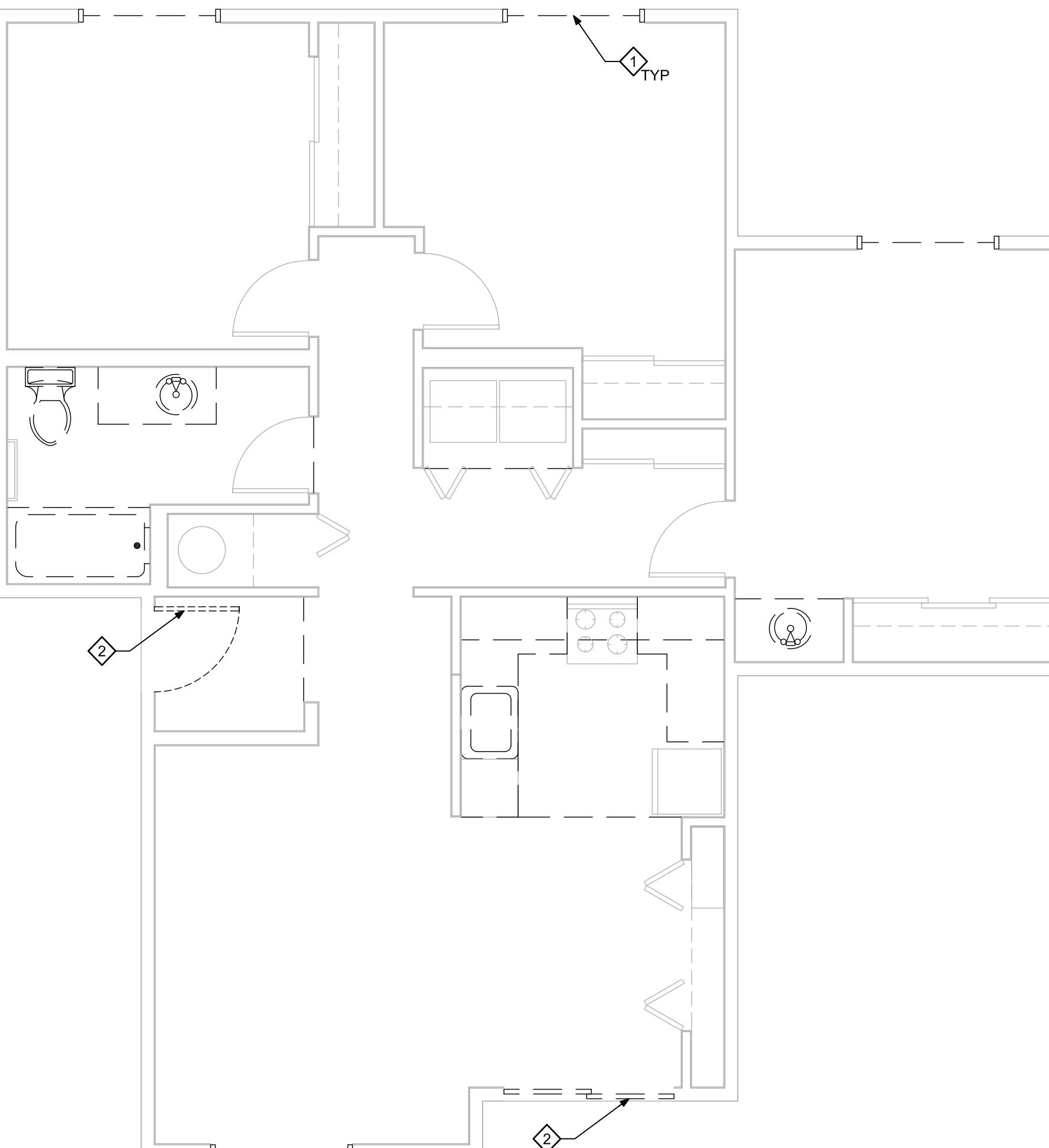
- COUNTERTOPS, UPPER & LOWER CABINETS
- ALL FLOOR FINISHES AND BASES
- SINKS, FAUCETS & EXPOSED CONNECTIONS
- LAVATORIES, FAUCETS & EXPOSED CONNECTIONS
- TOILETS & SUPPLY LINES
- BATHTUBS, SURROUNDS, CONTROLS & SHOWERHEADS
- RANGE HOODS, PROTECT SOFFITS & DUCTING
- VENTILATION FANS IN BATHROOMS & LAUNDRY AREAS

EXISTING WATER HEATER TO BE REINSTALLED. PROVIDE NEW SUPPLY, POWER & METAL Drip PAN. ROUTE PRESSURE RELIEF TO EXTERIOR OF BUILDING ENCLOSURE.

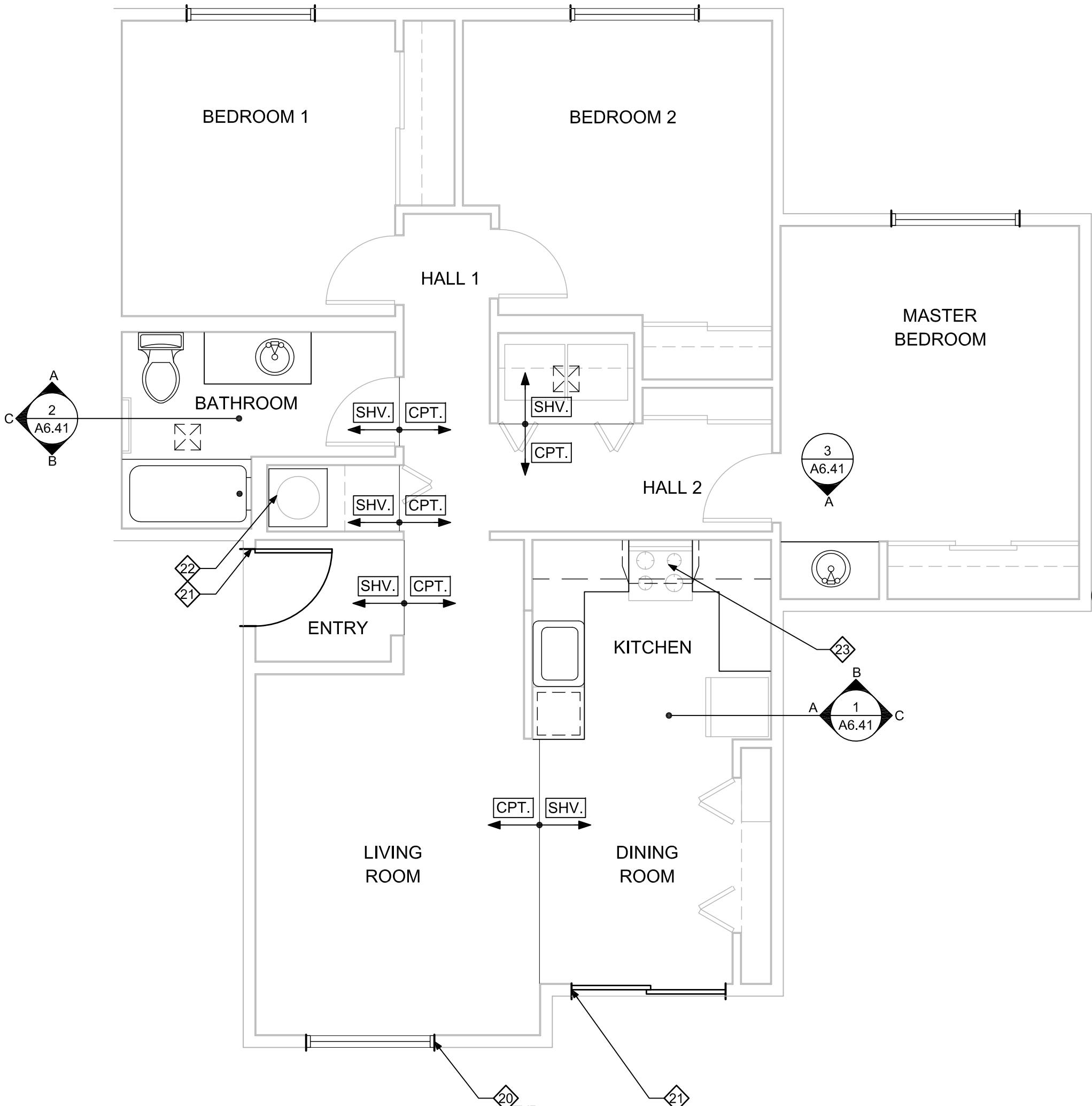
NEW RANGE HOOD, PROVIDE CONNECTION TO (E) METAL DUCT. SEAL ALL DUCT CONNECTIONS.

#### UNIT PLAN LEGEND

- - - - - DASHED LINE INDICATES ITEM TO BE REMOVED
- EXISTING ITEM TO REMAIN
- EXISTING WALL TO REMAIN
- NEW VENTILATION FAN



1 TYPICAL EXISTING 3 BED 1 BATH UNIT PLAN - DEMO  
SCALE: 1/4" = 1'-0"



2 TYPICAL NEW 3 BED 1 BATH UNIT PLAN  
SCALE: 1/4" = 1'-0"

## GENERAL UNIT PLAN NOTES

- A. DESCRIPTION OF DEMOLITION WORK IS NOT INTENDED TO BE ALL INCLUSIVE. FIELD VERIFICATION OF AREAS, MATERIALS AND SYSTEMS SCHEDULED FOR DEMOLITION AND NEW WORK IS REQUIRED PRIOR TO COMMENCEMENT OF ANY WORK.
- B. ANY OBSERVED, KNOWN OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING AS A REQUEST FOR INTERPRETATION IN SUCH FORM AS THE ARCHITECT MAY REQUIRE.
- C. PRESERVE AND PROTECT (E) DATA, TELEPHONE, ELECTRICAL DEVICES (SWITCHES, OUTLETS, ETC.) AND ASSOCIATED CONDUIT AND CONDUCTORS FROM DEVICE LOCATION TO PANEL OR EQUIPMENT. SYSTEMS ARE TO REMAIN IN PLACE U.O.N.
- D. AT LOCATIONS OF REMOVED OR DEMOLISHED ITEMS AND BUILDING COMPONENTS AND SYSTEMS WHERE ADJACENT SURFACES ARE TO REMAIN, PATCH AND REPAIR AFFECTED SURFACES. PROVIDE FINISH MATERIALS, COLORS AND TEXTURES TO MATCH SURROUNDING SURFACES OR AS INDICATED ON THE FINISH SCHEDULE. PATCHING AND REPAIR TO BE APPLIED FROM CORNER TO CORNER (SIDE/SIDE; TOP/BOTTOM).
- E. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION AND COORDINATION REGARDING NEW AND REINSTALLED SYSTEMS, DEVICES AND ACCESSORIES MOUNTING HEIGHTS AND APPROXIMATE LOCATIONS.
- F. REFER TO FLOOR PLANS & EXTERIOR ELEVATIONS FOR ALL EXTERIOR SCOPE OF WORK.
- G. DIMENSIONS ARE TO FACE OF STUD U.O.N.

H. FOR WORK AT (E) WALLS, REMOVE (E) GYP BOARD TO EXPOSE FRAMING & INTERIOR WALL COMPONENTS. REMOVE ENOUGH MATERIAL FROM FRAMING MEMBER TO PERFORM THE WORK, TYP.

I. AT ALL ACCESSIBLE UNITS, ITEMS TO BE REMOVED & STORED IN A PROTECTED LOCATION FOR RE-INSTALLATION INCLUDE & ARE NOT LIMITED TO THE FOLLOWING:

- WATER HEATER - PROVIDE NEW SUPPLY, POWER & DRIP PAN

J. AT ALL ACCESSIBLE UNITS, ITEMS TO BE REMOVED & REPLACED WITH NEW INCLUDE & ARE NOT LIMITED TO THE FOLLOWING:

- INTERIOR DOORS, FRAMES & HARDWARE
- SHELVING, CLOSET RODS & HARDWARE/LEDGERS
- COUNTERTOPS, UPPER & LOWER CABINETS
- ALL FLOOR FINISHES AND BASES
- ALL BATHROOM ACCESSORIES
- ALL WINDOW COVERINGS & HARDWARE
- SINKS, FAUCETS & EXPOSED CONNECTIONS
- LAVATORIES, FAUCETS & EXPOSED CONNECTIONS
- TOILETS & SUPPLY LINES
- BATHTUBS, SURROUNDS, CONTROLS & SHOWERHEADS
- REFRIGERATORS
- RANGES
- RANGE HOODS, PROTECT SOFFITS & DUCTING
- DISHWASHERS & SUPPLY/WASTE LINES
- WASHERS & DRYERS
- VENTILATION FANS IN BATHROOMS & LAUNDRY AREAS

## DEMOLITION UNIT PLAN KEY NOTES



REMOVE (E) EXTERIOR WINDOWS & INTERIOR WOOD SILL, CUT & REMOVE (E) INTERIOR GYP BOARD AS NECESSARY TO ALLOW COMPLETE INSTALLATION OF WRB & ASSOCIATED FLASHINGS, TYP.



REMOVE (E) EXTERIOR DOORS & INTERIOR WOOD TRIM, CUT & REMOVE (E) INTERIOR GYP BOARD AS NECESSARY TO ALLOW COMPLETE INSTALLATION OF WRB & ASSOCIATED FLASHINGS, TYP.



REMOVE (E) INTERIOR PARTITION IN ITS ENTIRETY, TYP.



REMOVE (E) GYP BOARD TO ALLOW WORK TO INTERIOR OF WALL.



REMOVE (E) ELECTRICAL CONTROL DEVICE (SWITCH, OUTLET OR THERMOSTAT) & REINSTALL AT ACCEPTABLE HEIGHT IN SAME GENERAL AREA, TYP.

## NEW UNIT PLAN KEY NOTES



PATCH GYP BOARD AT NEW EXTERIOR WINDOWS & INSTALL NEW PAINT GRADE WOOD SILL, TYP.



PATCH GYP BOARD AT NEW EXTERIOR DOORS, TYP.



RELOCATED WATER HEATER WITH NEW WATER SUPPLY, POWER & METAL DRIP PAN. ROUTE PRESSURE RELIEF TO EXTERIOR OF BUILDING ENCLOSURE.



NEW RANGE HOOD, PROVIDE CONNECTION TO (E) METAL DUCT. SEAL ALL DUCT CONNECTIONS & PROVIDE SWITCH AT COUNTER HEIGHT.



NEW INTERIOR HALF-WALL PARTITION



NEW / REINSTALLED ELECTRICAL CONTROL DEVICE, TYP.



NEW GYP BOARD WALL PATCH, TYP.



PROVIDE 30" WIDE CLEAR FLOOR AREA UNDER SINK AND WORK AREA. CONTINUE FLOORING BELOW EACH AREA



NEW SHELVING. REFER TO INTERIOR ELEVATIONS

## UNIT PLAN LEGEND

— DASHED LINE INDICATES WALL/FLOOR TO BE DEMOLISHED

— DASHED LINE INDICATES ITEM TO BE REMOVED

— EXISTING ITEM TO REMAIN

— NEW SHELVING

— EXISTING WALL TO REMAIN

— NEW WALL - PARTIAL HEIGHT, NEW HEIGHT TO MATCH EXISTING

— NEW WALL - FULL HEIGHT

— NEW BLOCKING FOR GRAB BAR SUPPORT

— 30" CLEAR WORK SURFACE AT ACCESSIBLE KITCHENS

— NEW GRAB BAR INSTALLATION AT ACCESSIBLE UNITS

— NEW VENTILATION FAN

— NEW THERMOSTAT

— NEW POWER OUTLET

— NEW LIGHT SWITCH

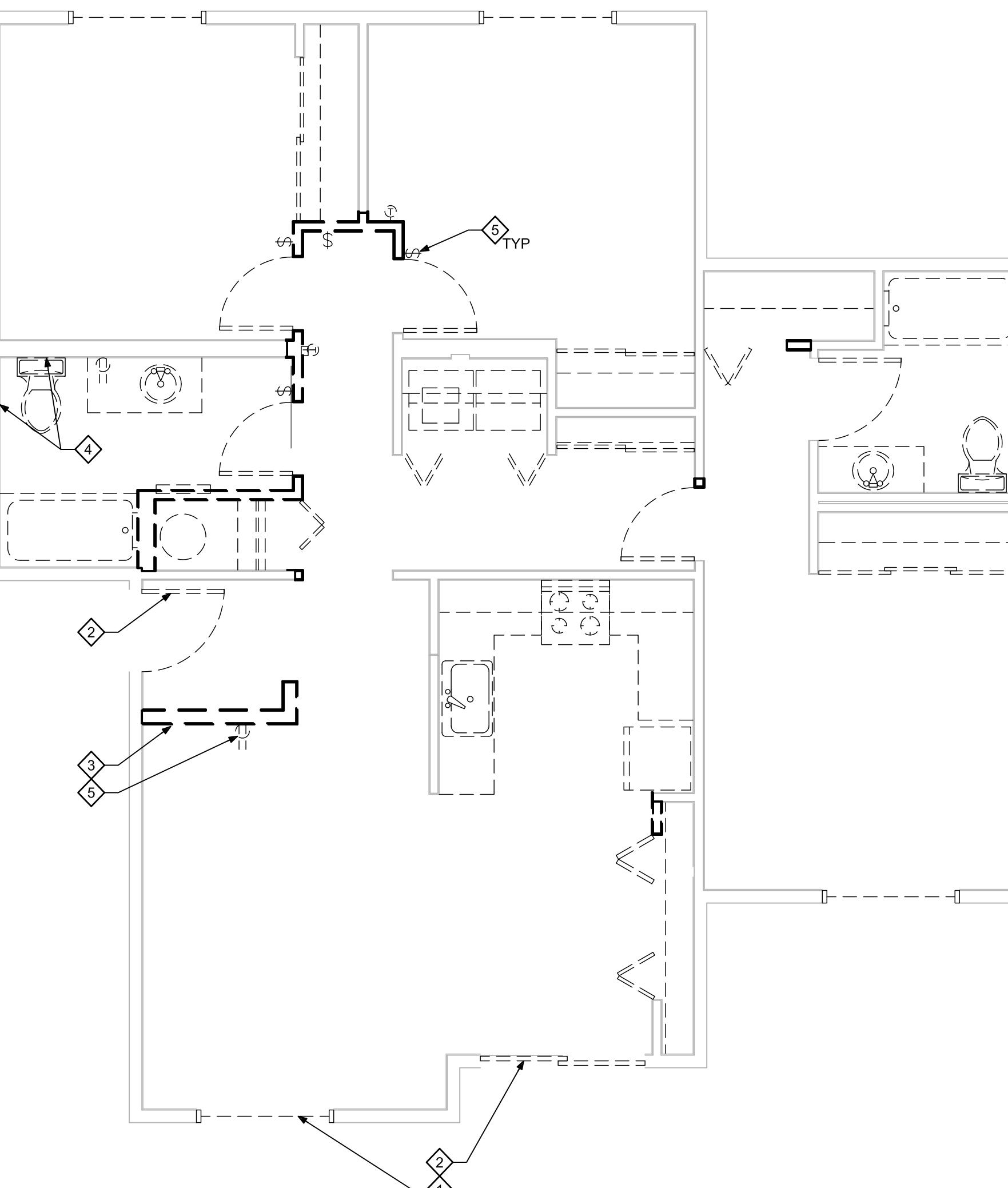
NEW DOOR LOCATION, TYPICAL

SEE PLAN

1'-6" MIN

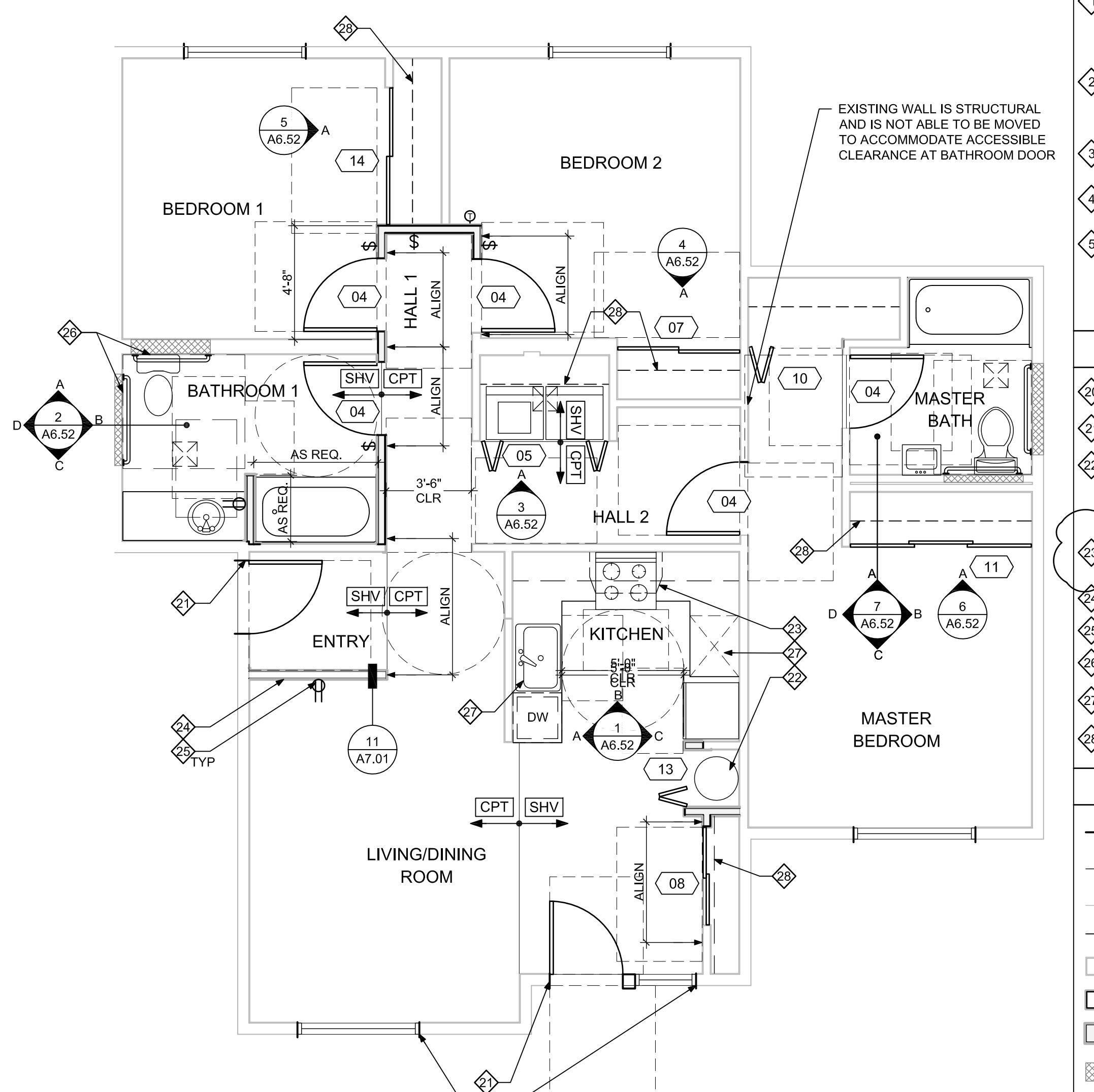
1'-0" MIN

SEE PLAN



1 EXISTING 3 BED 2 BATH UNIT PLAN - DEMOLITION

SCALE: 1/4" = 1'-0"



2 ACCESSIBLE 3 BED 2 BATH UNIT PLAN

SCALE: 1/4" = 1'-0"



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- GARBAGE DISPOSALS AT SINKS

J. AT ALL 1ST FLOOR NON-ACCESSIBLE UNITS, ITEMS TO BE REMOVED & REPLACED WITH NEW INCLUDE & ARE NOT LIMITED TO THE FOLLOWING:

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- ALL FLOOR FINISHES AND BASES
- SINKS, FAUCETS & EXPOSED CONNECTIONS
- LAVATORIES, FAUCETS & EXPOSED CONNECTIONS
- TOILETS & SUPPLY LINES
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- RANGE HOODS, PROTECT SOFFITS & DUCTING
- VENTILATION FANS IN BATHROOMS & LAUNDRY AREAS

K. SIGHT & HEARING IMPAIRED UNITS SHALL HAVE VISIBLE NOTIFICATION APPLIANCES TIED TO THE SMOKE DETECTION/ALARM SYSTEM & A HARD-WIRED ELECTRIC DOORBELL.

#### DEMOLITION UNIT PLAN KEY NOTES

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- GARBAGE DISPOSALS AT SINKS

#### NEW UNIT PLAN KEY NOTES

PATCH GYP BOARD AT NEW EXTERIOR WINDOWS & INSTALL NEW PAINT GRADE WOOD SILL, TYP.

PATCH GYP BOARD AT NEW EXTERIOR DOORS, TYP.

EXISTING WATER HEATER TO BE REINSTALLED. PROVIDE NEW SUPPLY, POWER & METAL Drip PAN. ROUTE PRESSURE RELIEF TO EXTERIOR OF BUILDING ENCLOSURE.

NEW RANGE HOOD, PROVIDE CONNECTION TO (E) METAL DUCT. SEAL ALL DUCT CONNECTIONS.

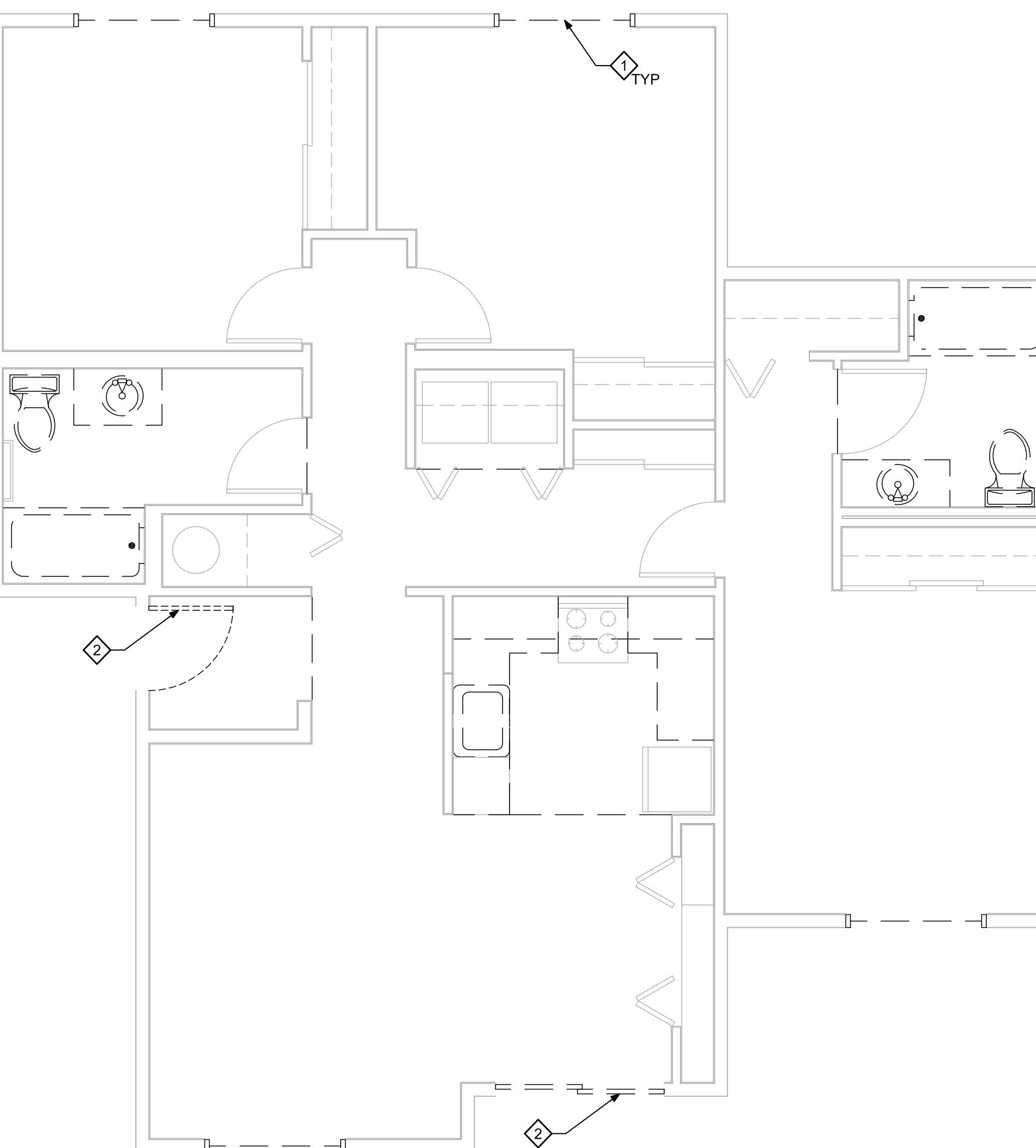
#### UNIT PLAN LEGEND

DASHED LINE INDICATES ITEM TO BE REMOVED

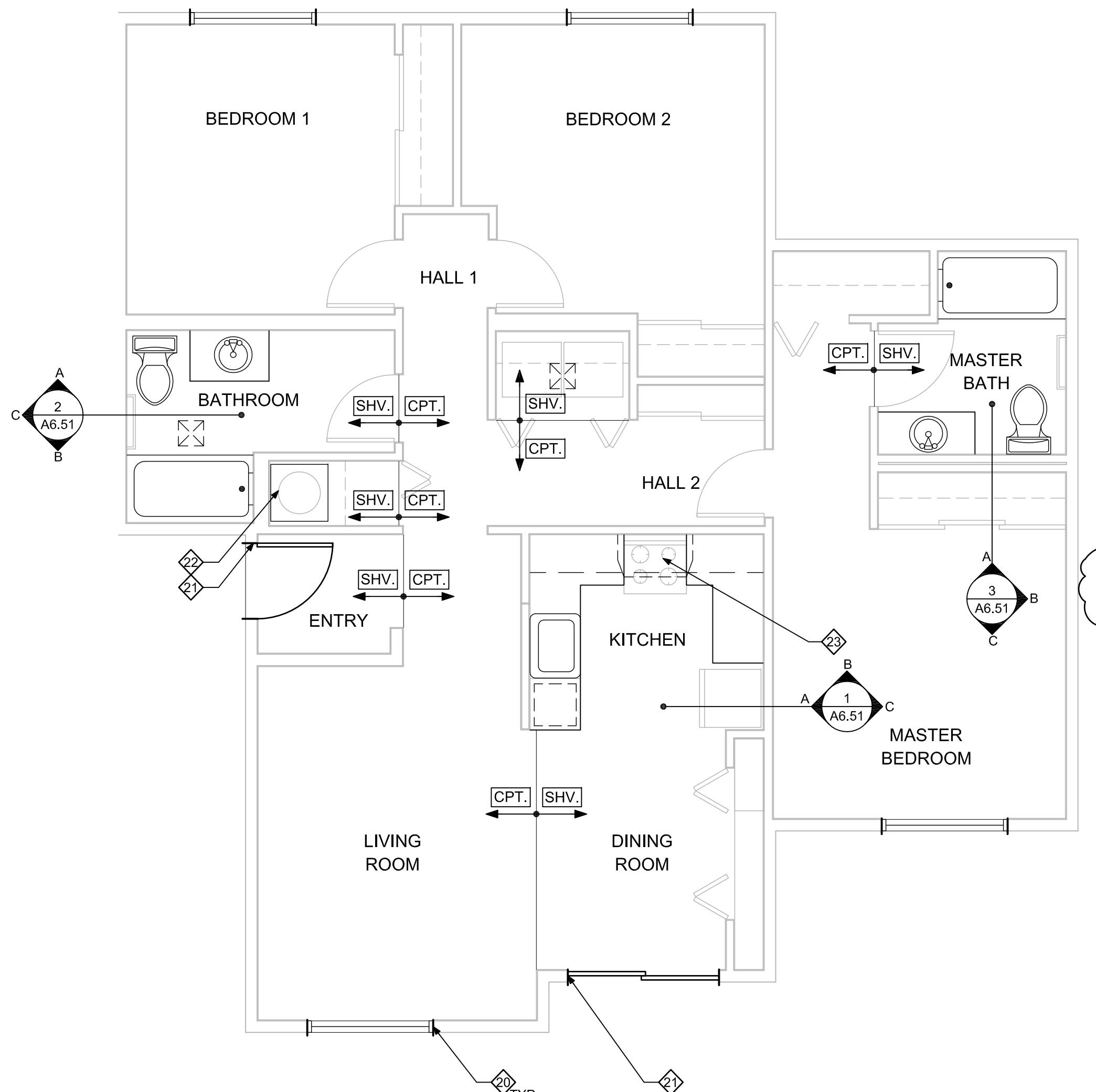
EXISTING ITEM TO REMAIN

EXISTING WALL TO REMAIN

NEW VENTILATION FAN



1 TYPICAL EXISTING 3 BED 2 BATH UNIT PLAN - DEMO  
SCALE: 1/4" = 1'-0"



2 TYPICAL NEW 3 BED 2 BATH UNIT PLAN  
SCALE: 1/4" = 1'-0"



### GENERAL INTERIOR FINISH NOTES

- A. COORDINATE EXTENT OF FINISH MATERIALS, COLORS, AND TEXTURES WITH ENLARGED UNIT PLANS, INTERIOR ELEVATIONS AND SPECIFICATIONS.

FINISH LEGEND					
CODE	DESCRIPTION	MANUFACTURER	PRODUCT	COLOR/FINISH	GENERAL LOCATION
<b>FLOOR</b>					
CPT-1	CARPET	SEE SPECIFICATIONS	SEE SPECIFICATIONS	TBD	UNIT LIVING ROOM & BEDROOM
SV-1	sheet vinyl	SEE SPECIFICATIONS	SEE SPECIFICATIONS	TBD	UNIT KITCHEN & BATH
<b>BASE</b>					
B-1	PAINT GRADE WOOD BASE	SEE SPECIFICATIONS	PROFILE TO MATCH EXISTING	PAINT, TBD	AT CARPET
B-2	4" RUBBER BASE	SEE SPECIFICATIONS	4" COVE BASE	TBD	AT SHEET VINYL
<b>PAINT</b>					
PT-01	PAINT	SEE SPECIFICATIONS	SEE SPECIFICATIONS	TBD	EXTERIOR SIDING AND TRIM - REFER TO EXTERIOR ELEVATIONS.
PT-02	PAINT	SEE SPECIFICATIONS	SEE SPECIFICATIONS	TBD	EXTERIOR SIDING AND TRIM - REFER TO EXTERIOR ELEVATIONS.
PT-03	PAINT	SEE SPECIFICATIONS	SEE SPECIFICATIONS	TBD	EXTERIOR SIDING AND TRIM - REFER TO EXTERIOR ELEVATIONS.
PT-04	PAINT	SEE SPECIFICATIONS	SEE SPECIFICATIONS	TBD	EXTERIOR SIDING AND TRIM - REFER TO EXTERIOR ELEVATIONS.
PT-05	PAINT	SEE SPECIFICATIONS	SEE SPECIFICATIONS	TBD	EXTERIOR SIDING AND TRIM - REFER TO EXTERIOR ELEVATIONS.
PT-06	PAINT	SEE SPECIFICATIONS	SEE SPECIFICATIONS	TBD	NEW / EXISTING EXTERIOR FIBERGLASS DOORS
PT-07	PAINT	SEE SPECIFICATIONS	SEE SPECIFICATIONS	TBD	FASCIA AND BARGE RAFTERS - MATCH GUTTERS / DOWNSPOUTS
PT-08	PAINT	SEE SPECIFICATIONS	SEE SPECIFICATIONS	TBD	INTERIOR UNIT CEILINGS / WALLS
<b>P.LAM</b>					
PL-1	PLASTIC LAMINATE	TBD - SEE SPECS.	SEE SPECIFICATIONS	TBD	UNIT COUNTERTOPS & INTEGRAL BACKSPLASH
PL-2	PLASTIC LAMINATE	TBD - SEE SPECS.	SEE SPECIFICATIONS	TBD	BACKSPLASH BEHIND STOVE

### 1 FINISH LEGEND

SCALE: NOT TO SCALE

UNITS (ALL GROUND FLOOR UNITS)		FLOOR	BASE	WALLS	CEILING	CABINETRY	REMARKS
LOCATION				WALL	SOFFIT	Counter/bksplsh	
ENTRY							
KITCHEN	SV-1	B-2	PT-08	PT-08	PT-08	PL-1/PL-2	-
LIVING/DINING	CPT-1	B-1	PT-08	PT-08	PT-08	N/A	-
BEDROOM/BEDROOM CLOSET	CPT-1	B-1	PT-08	N/A	PT-08	N/A	-
BATHROOM	SV-1	B-2	PT-08	PT-08	PT-08	PL-1	-
HALL	CPT-1	B-1	PT-08	N/A	PT-08	N/A	

### 2 ROOM FINISH SCHEDULE

SCALE: NOT TO SCALE

PARKWAY VILLAGE : EAST  
APARTMENT REHABILITATION  
SALEM HOUSING AUTHORITY

PERMIT REVIEW / BID SET

FINISH  
SCHEDULES

PROJ NO.  
21348

01.21.14

02.06.14 ADDENDUM #1





T.M.  
T.M. RUPPEY  
CONSULTING ENGINEERS

PARKWAY VILLAGE : EAST  
APARTMENT REHABILITATION  
SALEM HOUSING AUTHORITY

PERMIT REVIEW / BID SET

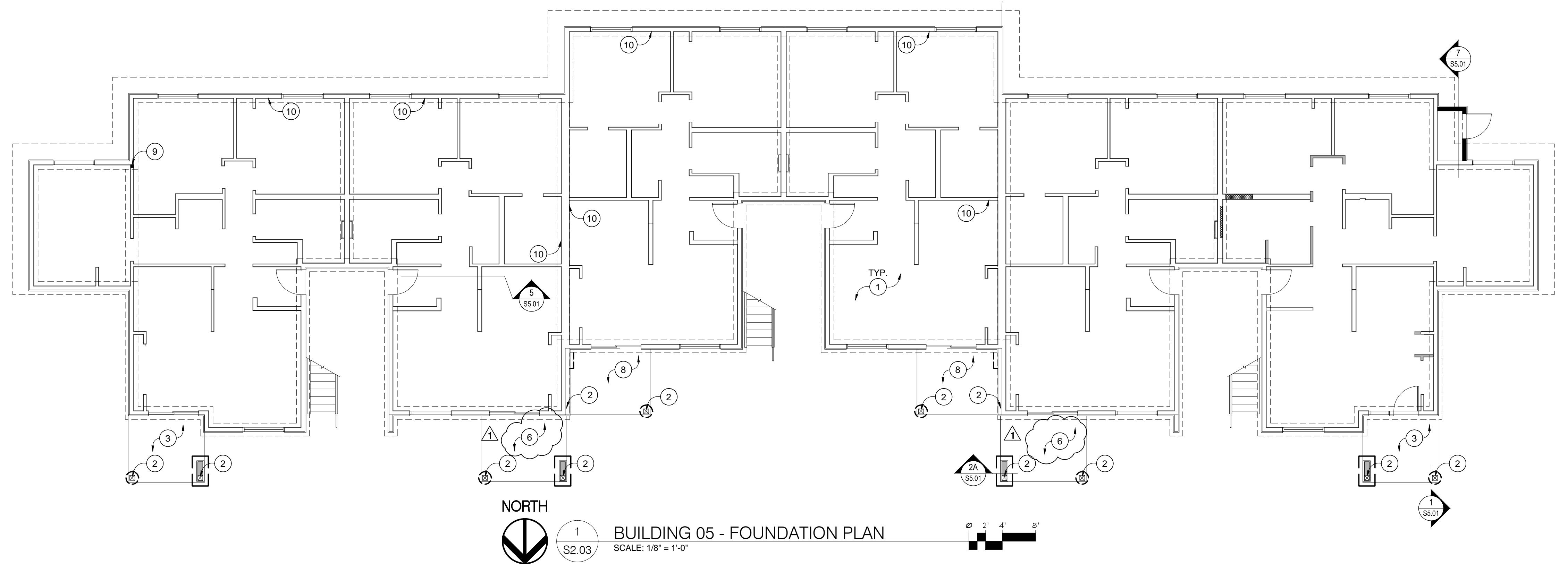
BUILDING 05  
FIRST FLOOR PLAN

TMR PROJ NO.  
13350

01.21.14

02.0614 ADDENDUM #1

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**S2.03**



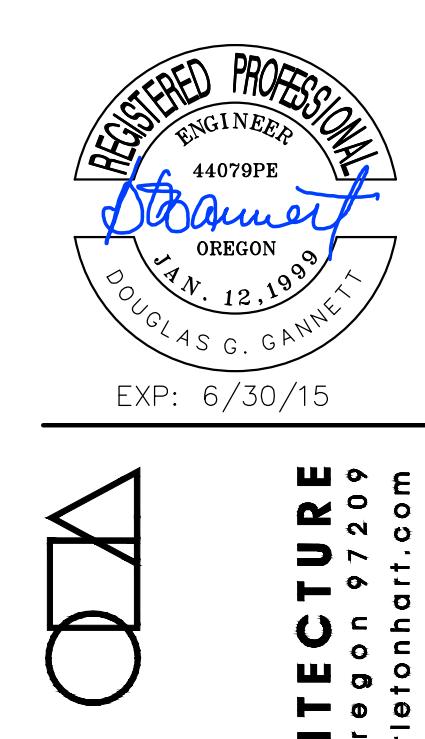
REGISTERED PROFESSIONAL  
ENGINEER  
44079PE

Douglas G. Gannett

OREGON

JAN. 12, 1999

EXPIRE: 6/30/15



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Tigard, Oregon 97223  
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+ 503 243 2252 | t 503 243 3261 | carletonhart.com

PARKWAY VILLAGE : EAST  
APARTMENT REHABILITATION  
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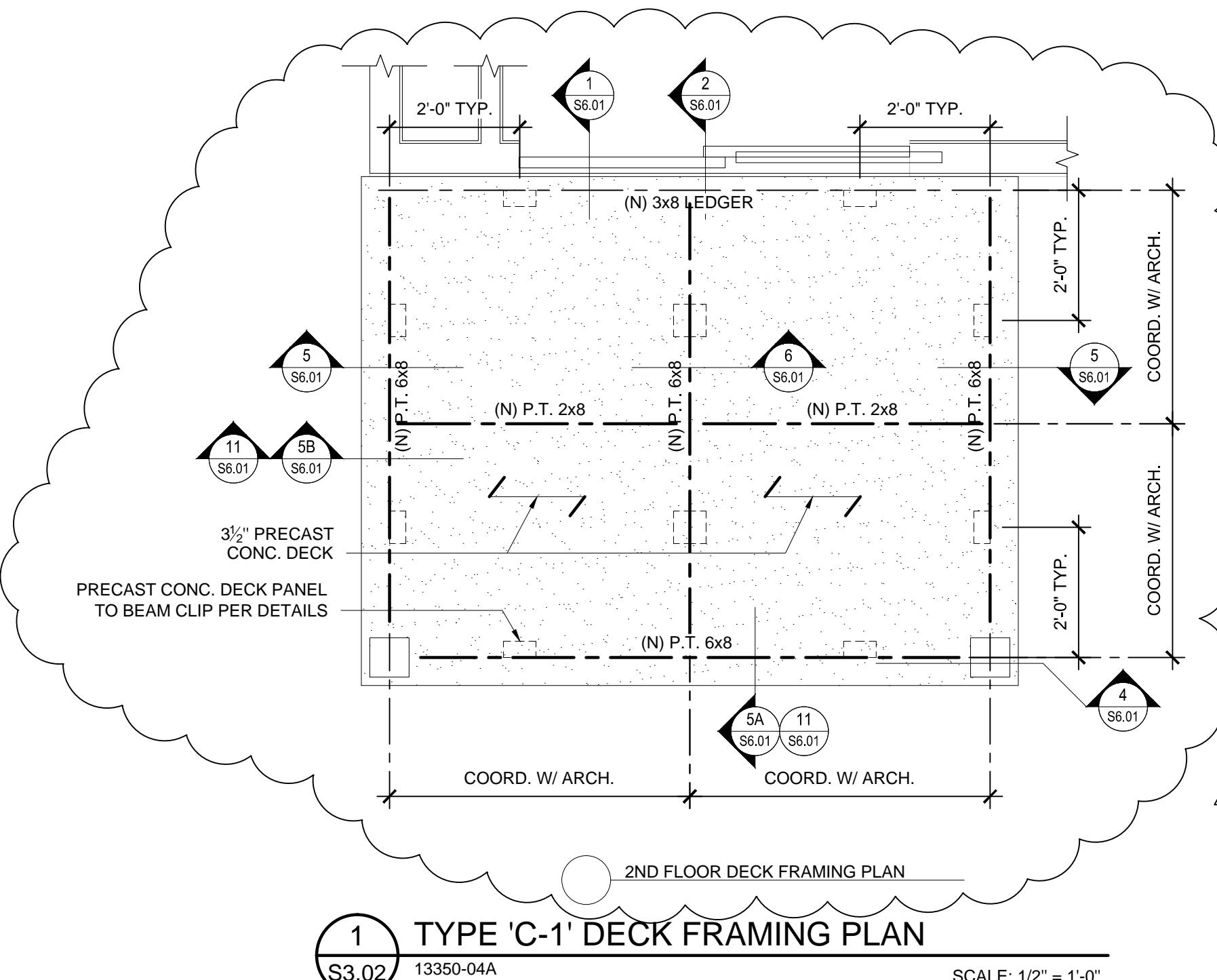
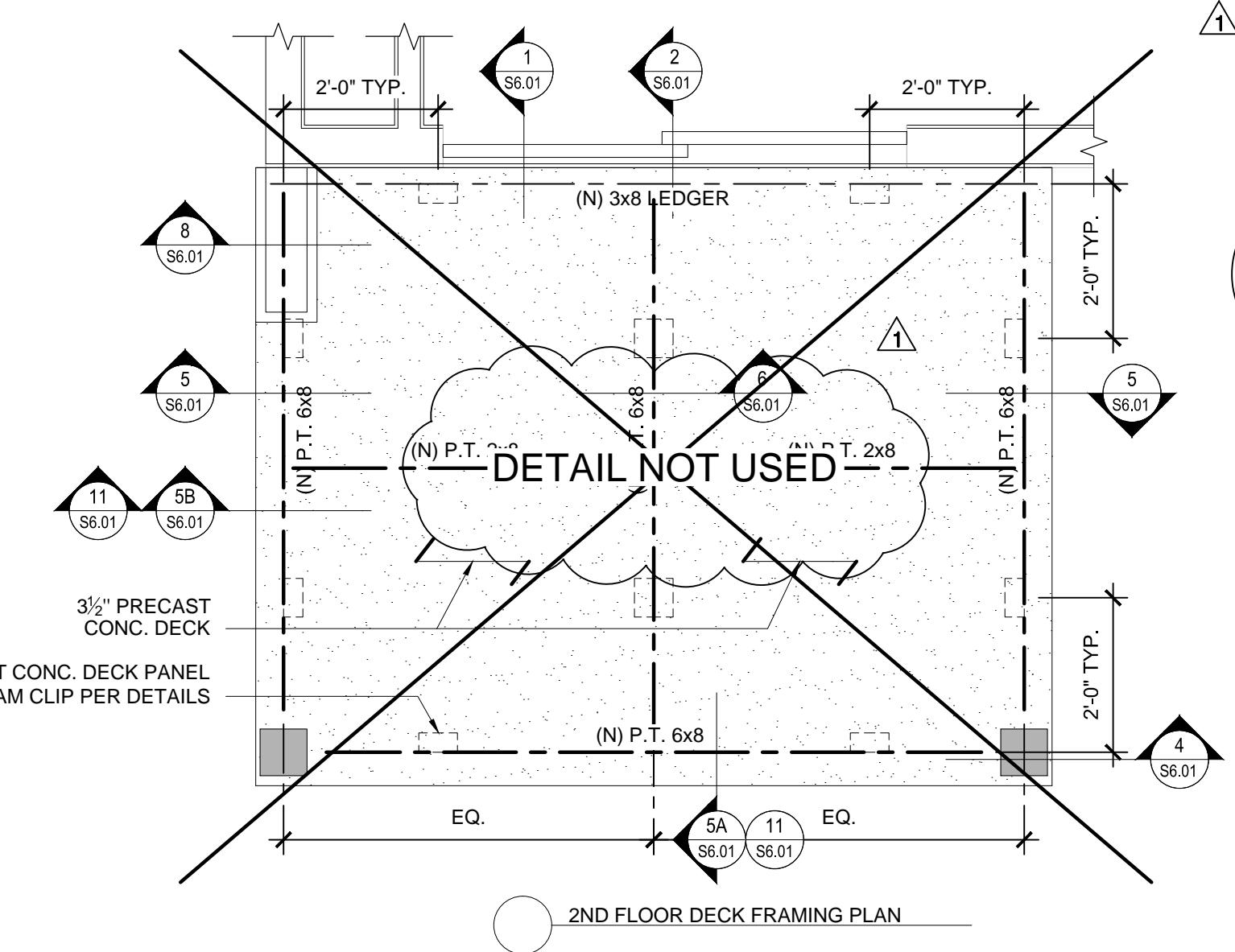
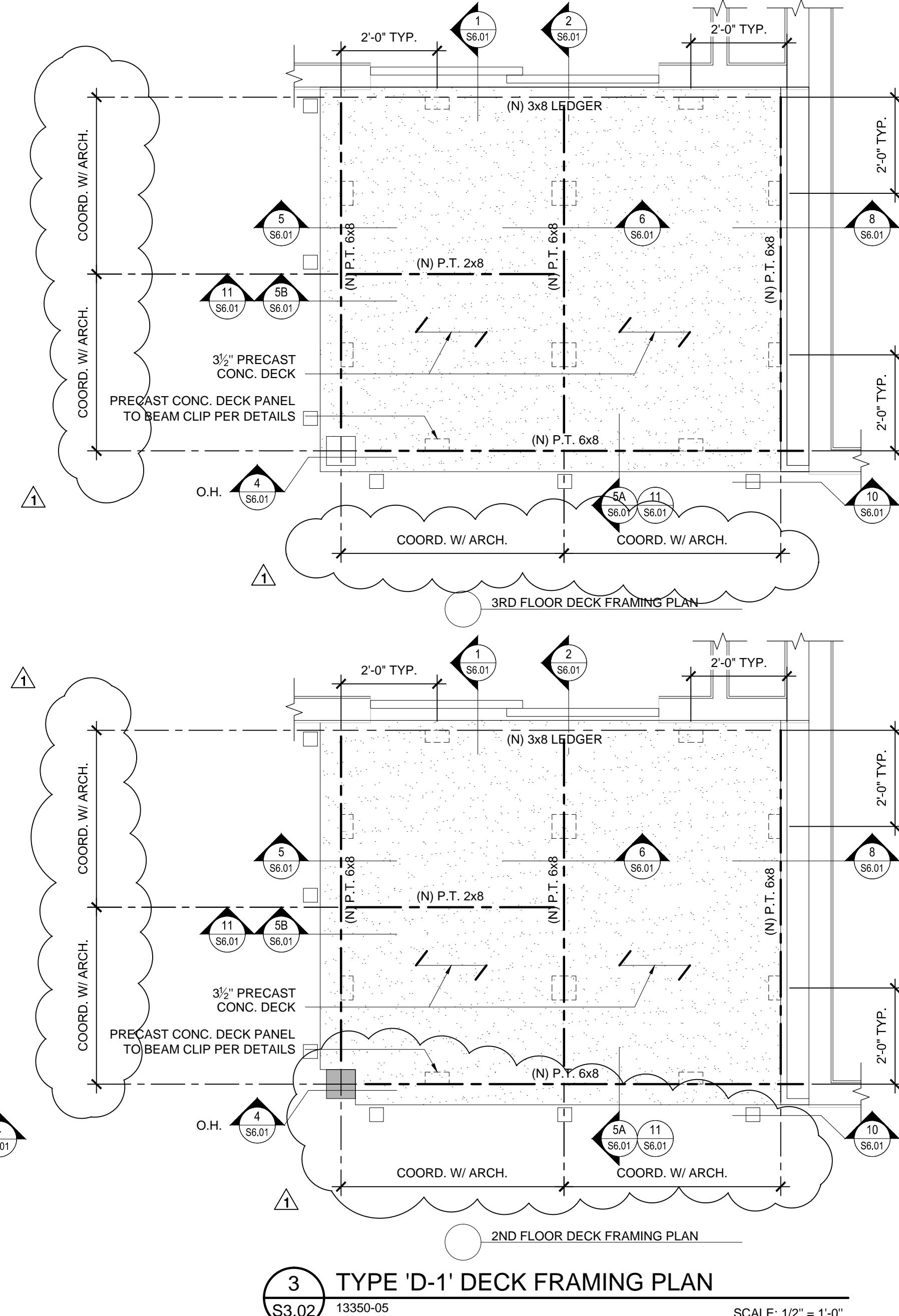
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DECK FRAMING PLANS

TMR PROJ NO.  
13350

01.21.14

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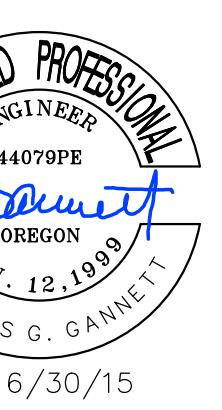
2 TYPE 'C-2' DECK FRAMING PLAN

S3.02 13350-04B SCALE: 1/2" = 1'-0"

3 TYPE 'D-1' DECK FRAMING PLAN

S3.02 13350-05 SCALE: 1/2" = 1'-0"

**S3.02**



EXP: 6/30/15

PARKWAY VILLAGE : EAST  
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PARKWAY VILLAGE : EAST  
APARTMENT REHABILITATION  
SALEM HOUSING AUTHORITY

PERMIT REVIEW / BID SET

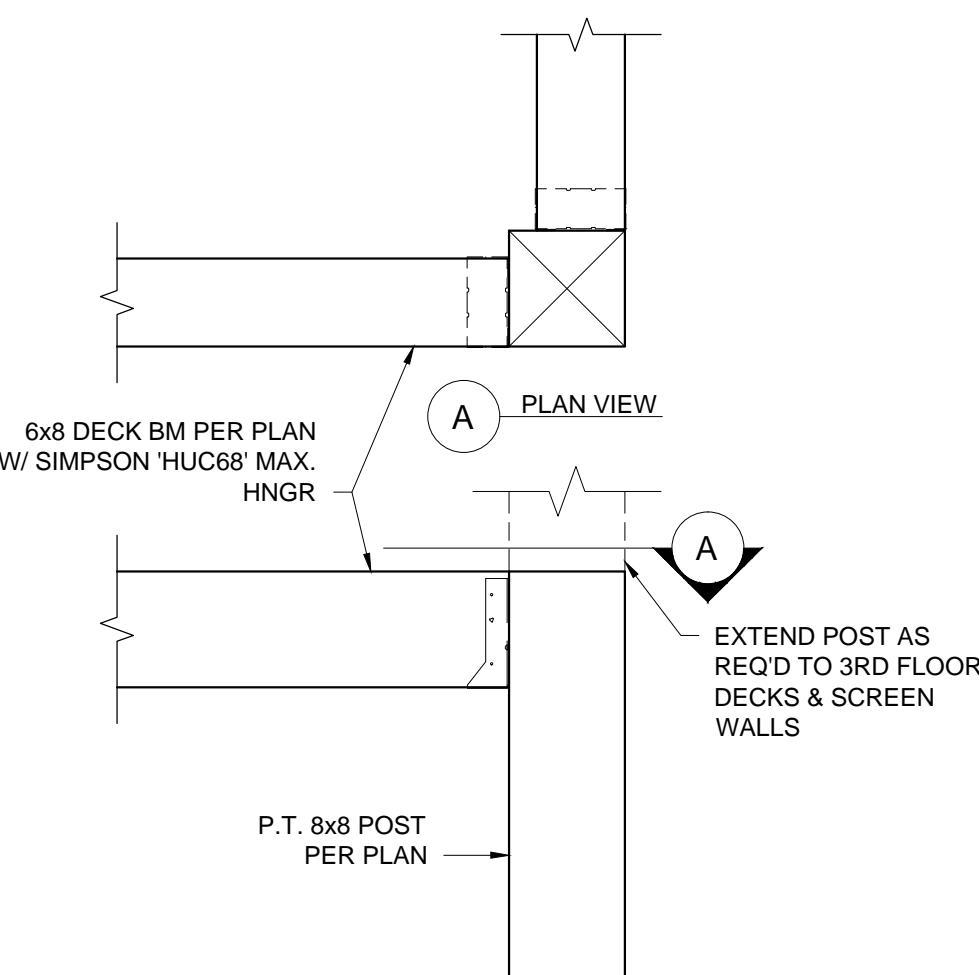
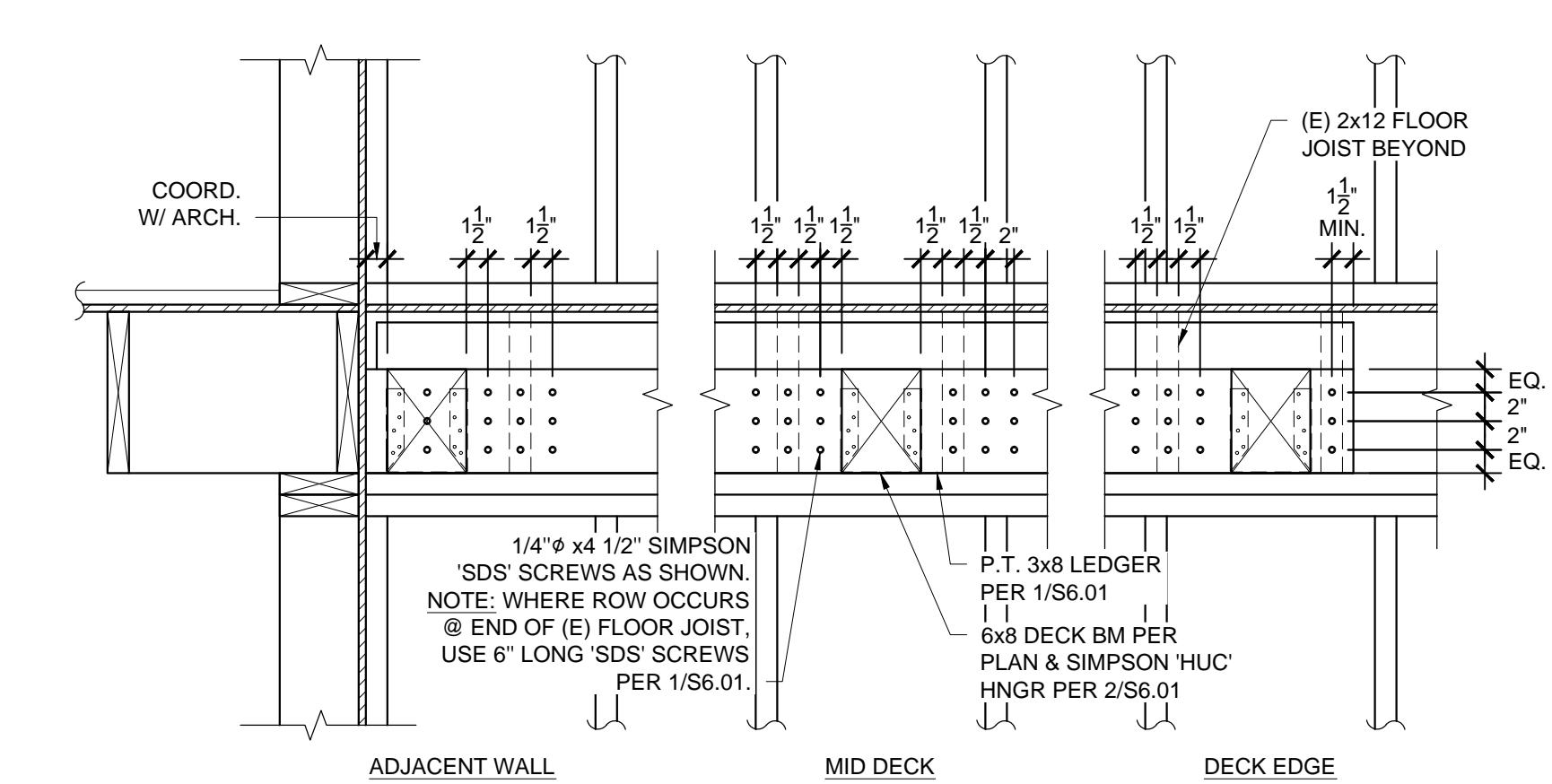
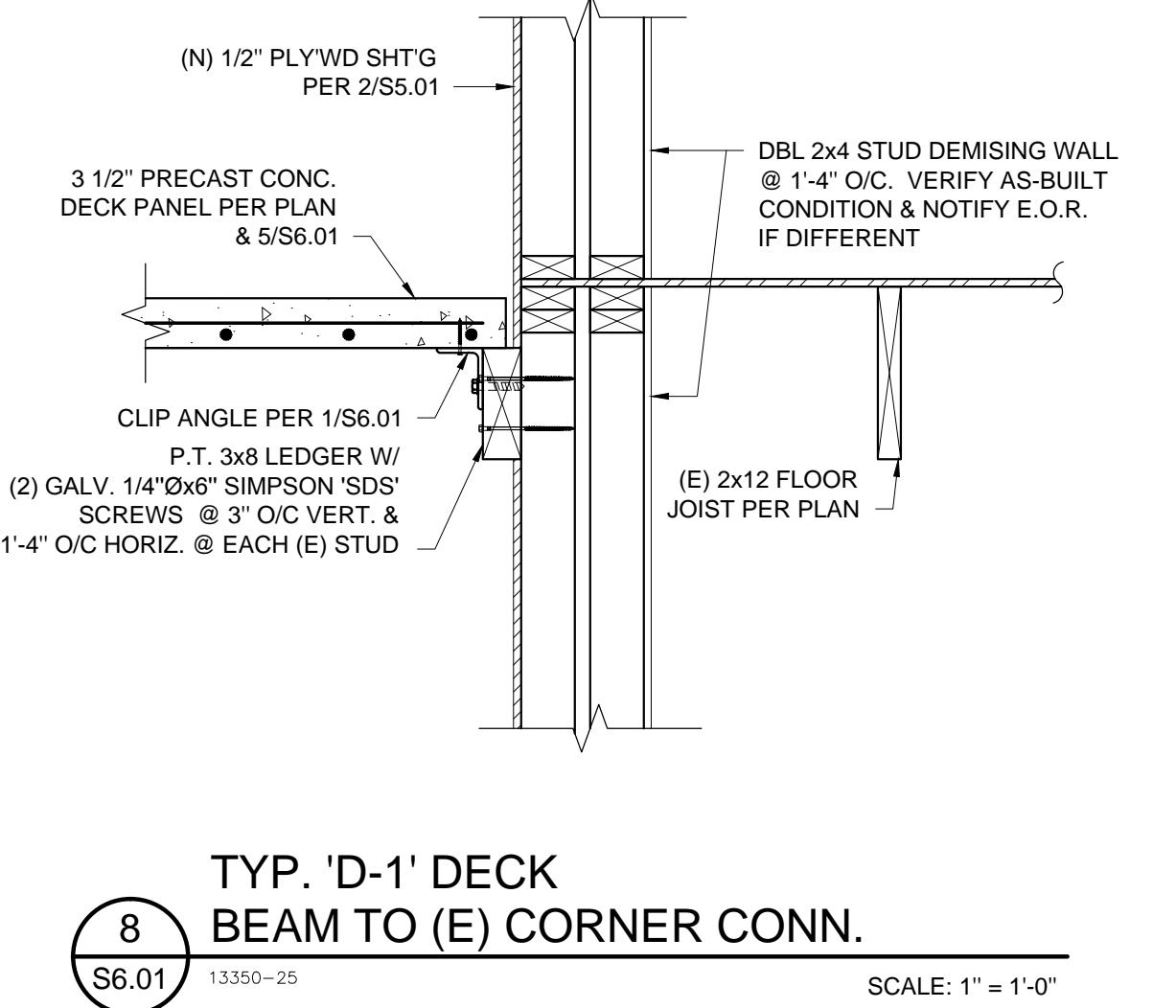
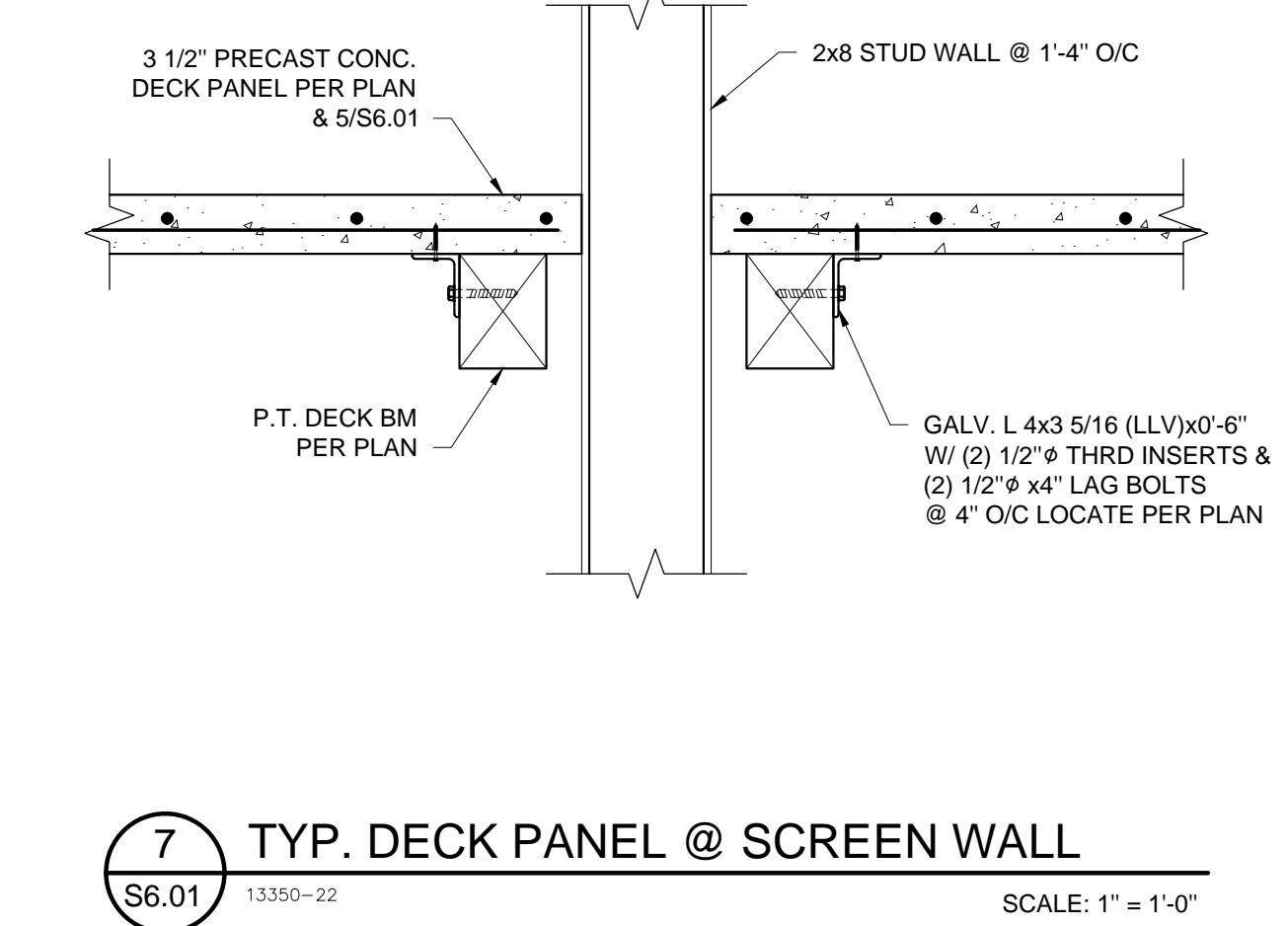
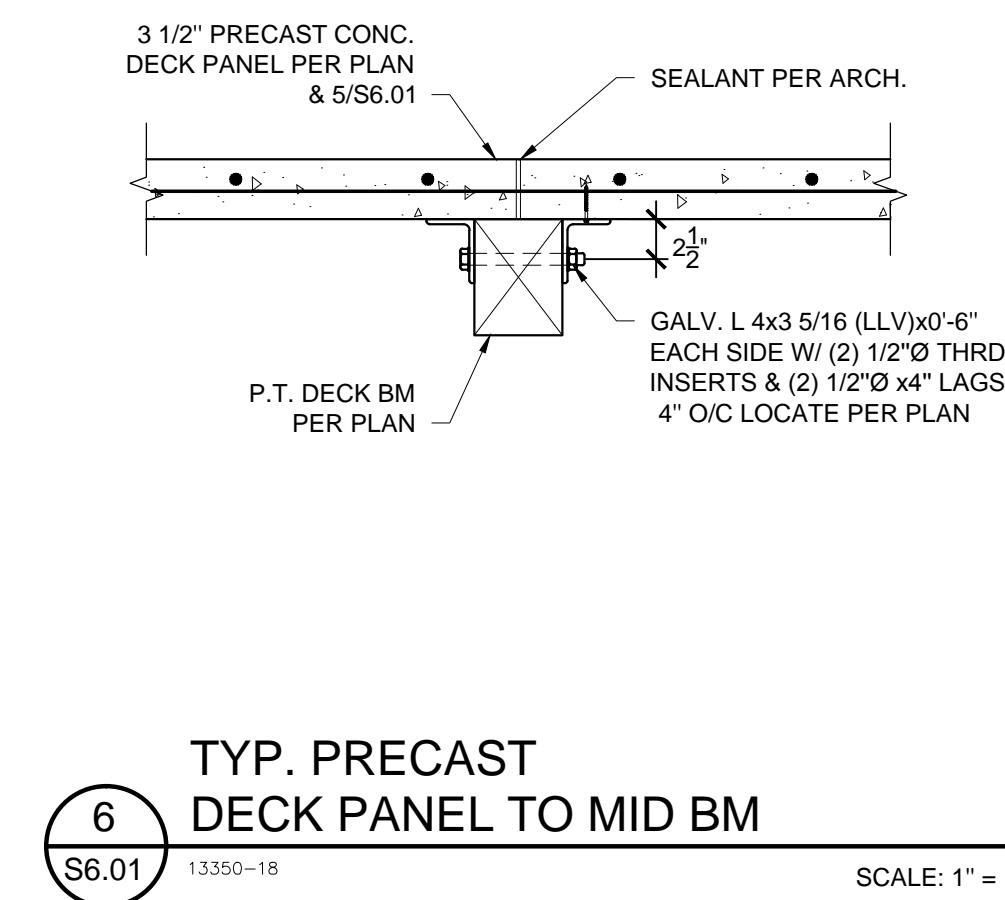
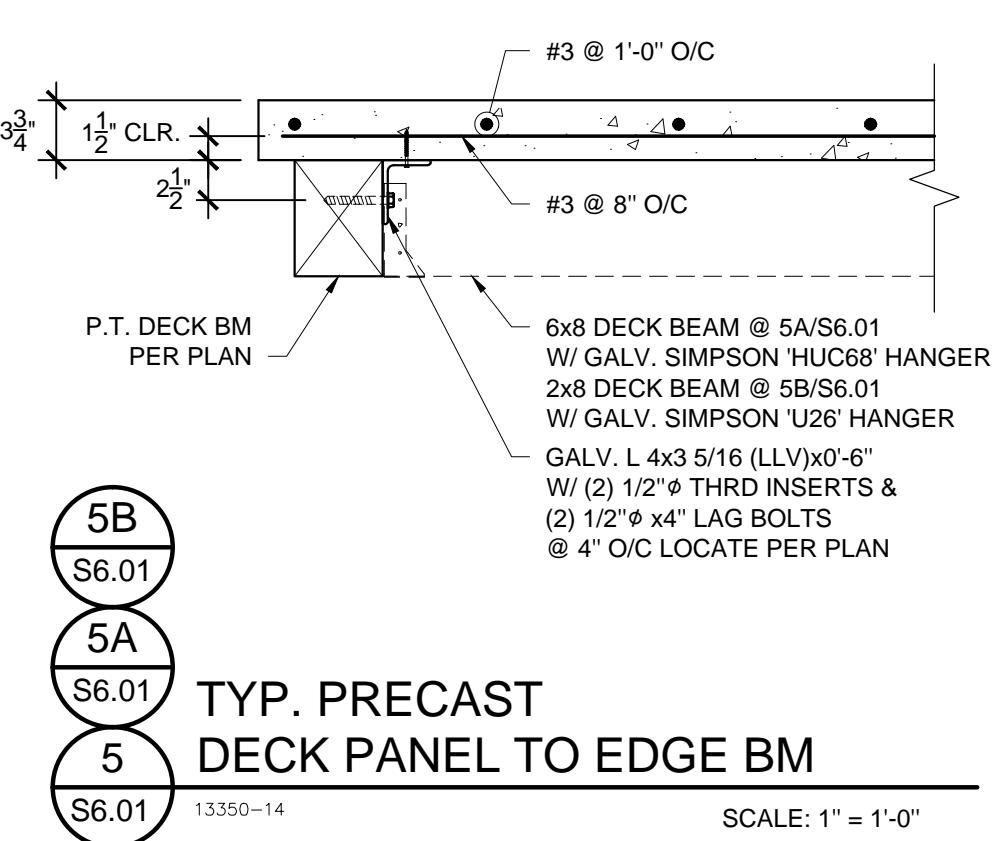
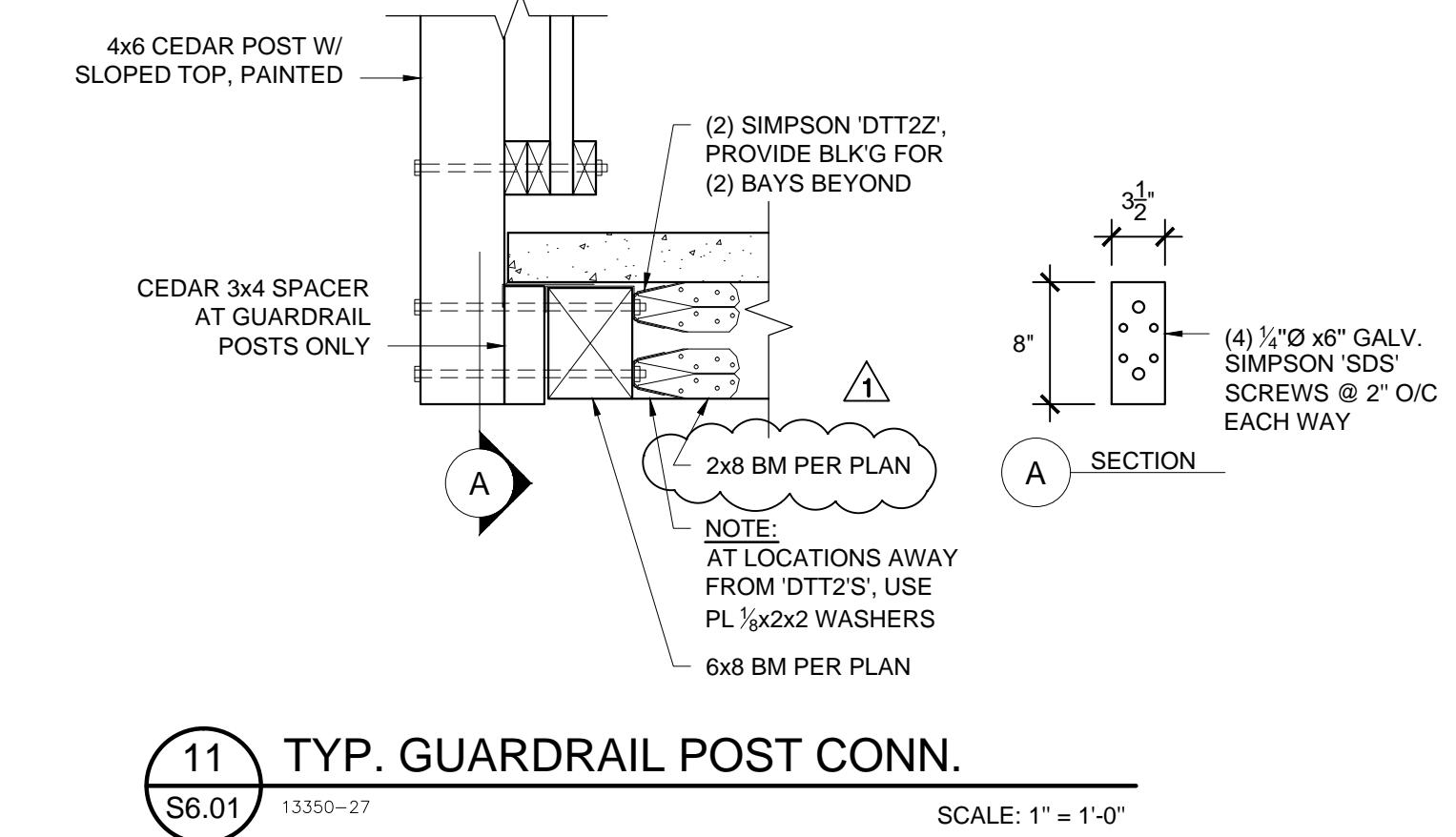
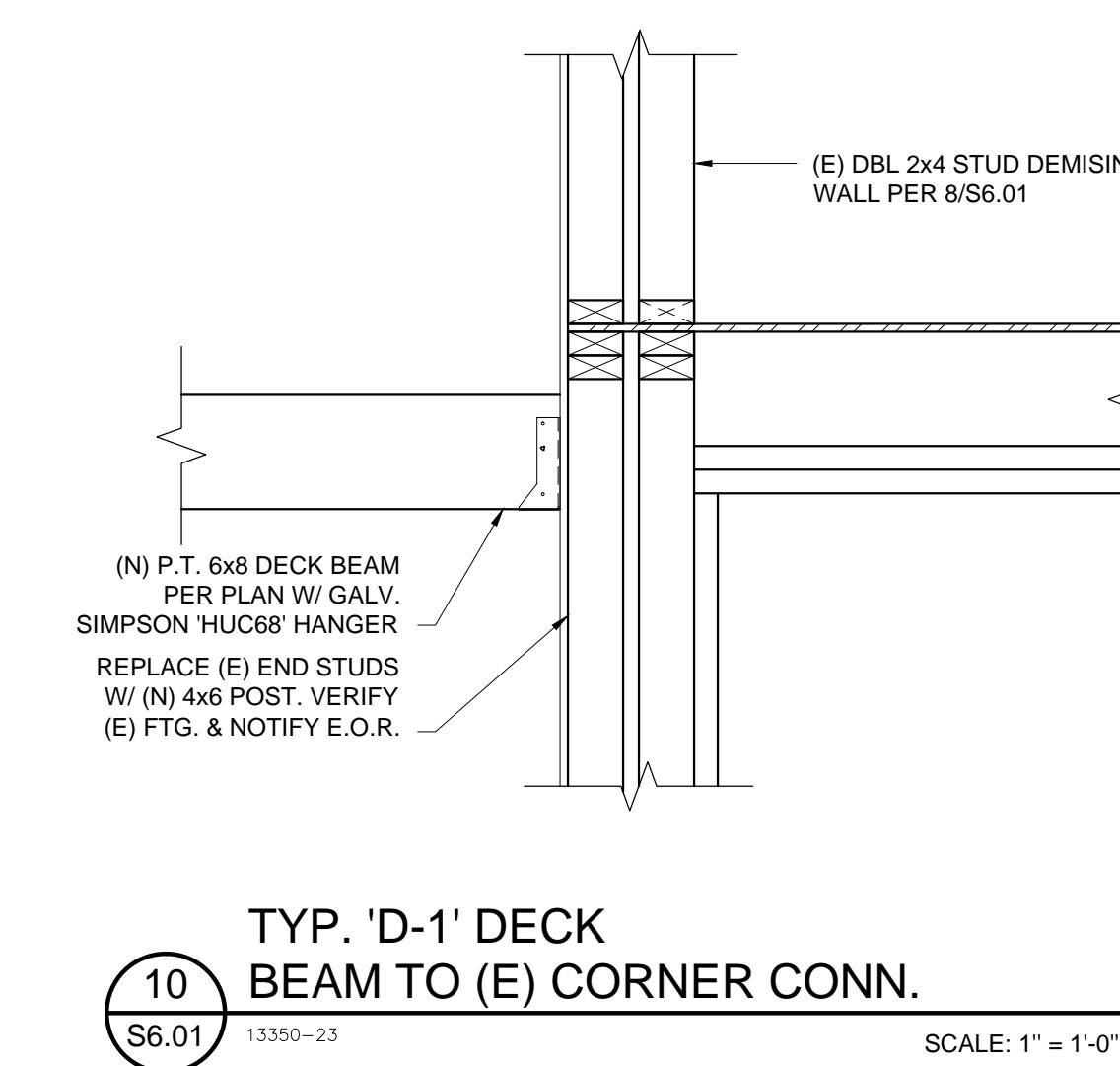
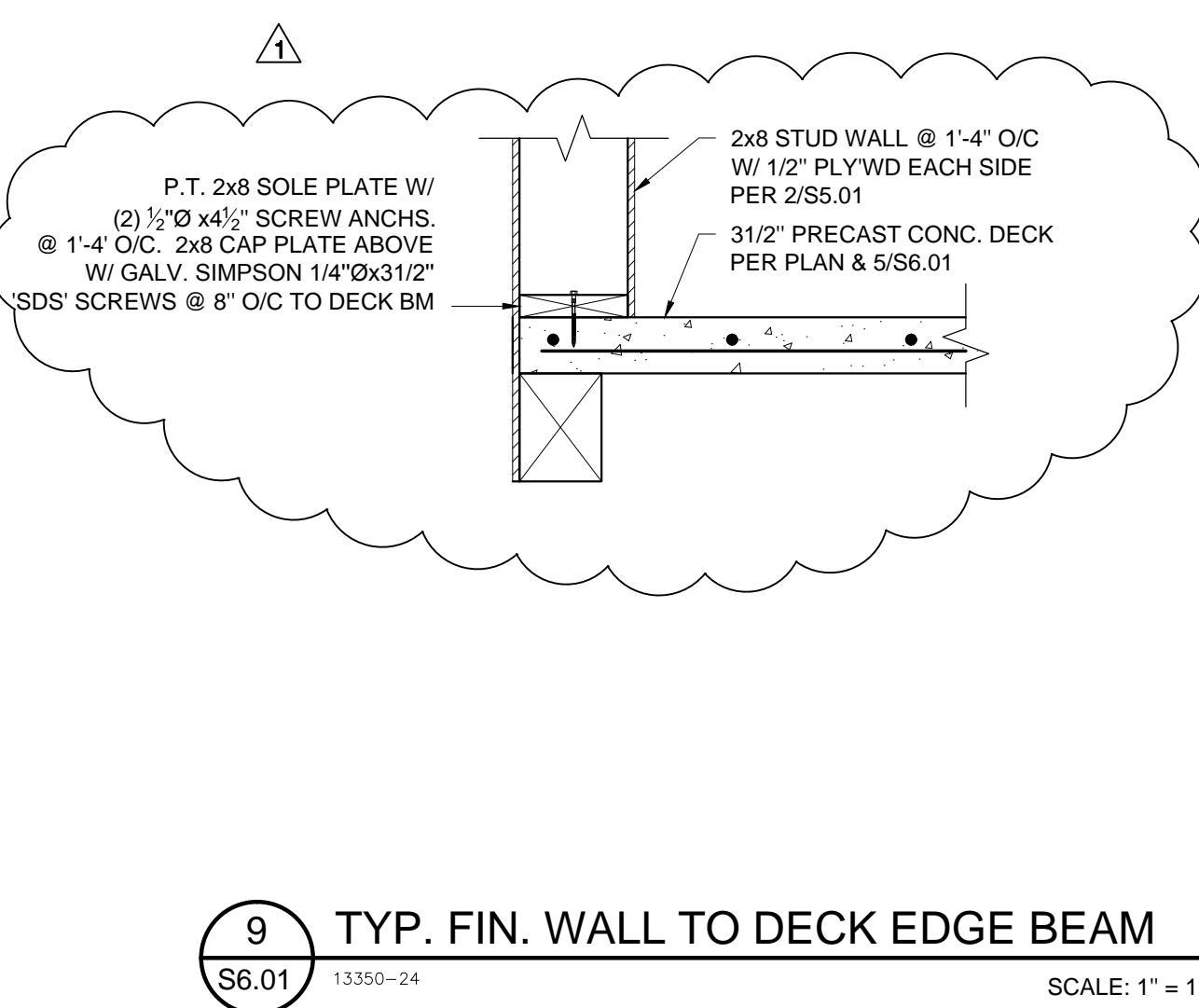
DECK, FLOOR & ROOF  
FRAMING DETAILS

TMR PROJ NO.  
13350  
01.21.14

02.0614 ADDENDUM #1

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S6.01



TYP.  
CONC. DECK PANEL TO WALL  
(S6.01 13350-11)

TYP. DECK BM TO WALL CONN.  
(S6.01 13350-12)

TYP. DECK BM TO LEDGER FRAMING ELEV.  
(S6.01 13350-12)

TYP.  
DECK BM TO POST CONN.  
(S6.01 13350-15)

S6.01