

PARKWAY VILLAGE : WEST - SITE REPAIRS

SALEM, OREGON 97303



PROJECT TEAM:	PROJECT DESCRIPTION:	DRAWING SHEET INDEX:	PROJECT INFORMATION:
OWNER: SALEM HOUSING AUTHORITY 360 CHURCH STREET, SE SALEM, OREGON 97308-0808 CONTACT: ANDY WILCH 503.588.6448	THIS PROJECT INCLUDES REHABILITATION OF ELEMENTS OF AN EXISTING MULTI-FAMILY RESIDENTIAL DEVELOPMENT. THE ORIGINAL BLDGS WERE CONSTRUCTED IN 1997. SITE WORK: SITE RE-GRADING TO DIRECT SURFACE FLOW AWAY FROM BUILDINGS, CATCH BASINS AND AREA DRAINS UPGRADE TO CURRENT DEQ STANDARDS. REPLACEMENT OF DAMAGED EXISTING LANDSCAPING AND IRRIGATION. REPLACEMENT OF EXISTING LANDSCAPING WHERE DEMO IS REQUIRED FOR FOUNDATION AND DRAINAGE REPAIR, REMOVAL AND REPLACEMENT OF ALL SITE WALKWAYS. ACCESSIBLE IMPROVEMENTS TO WALKS AND PARKING. NEW ACCESSIBLE ROUTE THROUGH SITE.	GENERAL: AS0.01 COVER SHEET	ADDRESS & LOT DESCRIPTION: 3103-3135 7TH PLACE NE SALEM, OR 97303 TAX ACCT. #: 073W11CD01402
ARCHITECT: CARLETON HART ARCHITECTURE 322 NW 8TH AVENUE PORTLAND, OREGON 97209 CONTACT: DEVIN FOLLINGSTAD 503.206.3185	DEFERRED SUBMITTALS: • UTILITIES REQUIRED FOR FIRE SUPPRESSION	CIVIL: C0.0 CIVIL NOTES C1.0 OVERALL CIVIL SITE PLAN C1.1 CIVIL SITE PLAN SECTOR 'A' C1.2 CIVIL SITE PLAN SECTOR 'B' C1.3 CIVIL SITE PLAN SECTOR 'C' C2.0 CIVIL GRADING PLAN C2.1 CIVIL GRADING PLAN C2.2 CIVIL GRADING PLAN C2.3 CIVIL GRADING PLAN C3.0 CIVIL OVERALL UTILITY PLAN C4.0 CIVIL DETAILS C4.1 CIVIL DETAILS C4.2 CIVIL DETAILS C4.3 CIVIL DETAILS C4.4 CIVIL DETAILS	SITE: TOTAL SITE AREA: 160,542 SF (3.68 AC.)
DEVELOPMENT CONSULTANT: HOUSING DEVELOPMENT CENTER 847 NE 19TH AVE, SUITE 150 PORTLAND, OREGON 97232 CONTACT: FRANCIE FITZPATRICK 503.528.5193		LANDSCAPE: L0.1 PLANTING REMOVAL AND PROTECTION PLAN L1.0 PLANTING LEGENDS L1.1 PLANTING PLAN L2.0 IRRIGATION LEGENDS L2.1 IRRIGATION PLAN L3.1 PLANTING DETAILS L4.1 IRRIGATION DETAILS	EXISTING IMPERVIOUS AREA: 83,252 SF (52%) PROPOSED IMPERVIOUS AREA: 95,114 SF (59%) MINIMUM OPEN SPACE: 48,163 SF (30%) PROPOSED OPEN SPACE: 65,428 SF (41%)
GENERAL CONTRACTOR: LMC CONSTRUCTION 19200 SW TETON AVENUE TUALATIN, OREGON 97062 CONTACT: RYAN DUFFIN 503.646.0521		ARCHITECTURAL: AS1.01 OVERALL SITE PLAN AS1.02 DEMOLITION SITE PLAN - WEST AS1.03 SITE PLAN - WEST AS1.10 SITE PLAN - SECTOR 'A' AS1.11 SITE PLAN - SECTOR 'B' AS1.12 SITE PLAN - SECTOR 'C'	ZONING: RM2 - HIGH DENSITY MULTIFAMILY RESIDENTIAL ZONE NEIGHBORHOOD ASSOCIATION: HIGHLAND PARKING EXISTING: 134 SPACES (INCLUDING 12 GARAGE SPACES) PARKING MIN. ALLOWED: 117 SPACES PROPOSED PARKING: 117 SPACES (INCLUDING 12 GARAGE SPACES) PROPOSED ADA PARKING: 7 SPACES (INCLUDING 1 GARAGE SPACE)
	CODES AND REGULATIONS:	VICINITY MAP: (NOT TO SCALE)	EXISTING BUILDING AREAS (APPROXIMATE): BUILDING 1: 8,136 SF BUILDING 2: 8,136 SF BUILDING 7: 17,676 SF BUILDING 8: 17,676 SF BUILDING 9: 17,676 SF BUILDING 10: 8,520 SF TOTAL: 77,820 SF PARKING GARAGE 1: 1,349 SF PARKING GARAGE 2: 1,471 SF TOTAL: 2,820 SF
	<small>THIS PROJECT DOES NOT ADD NEW ENCLOSED AREA TO EXISTING BLDGS AND DOES NOT CHANGE OCCUPANCY OR EGRESS PATHS. THE PROJECT SCOPE ASSUMES CODE COMPLIANCE BY REPLACING LIKE FOR LIKE.</small>		COVER SHEET PROJ NO. 21345 01.10.14
	<small>APPLICABLE CODES:</small> <ul style="list-style-type: none"> - 2010 OREGON STRUCTURAL SPECIALTY CODE (OSSC), INCLUDING APPENDIX N AND CHAPTER 34 - SECTION 3404 - ALTERATIONS - HUD FAIR HOUSING ACCESSIBILITY GUIDELINES - ADA ACCESSIBILITY GUIDELINES (ADAAG) - CITY OF SALEM REVISED CODE, TITLE X ZONING - CITY OF SALEM DEVELOPMENT DESIGN HANDBOOK OF JANUARY 2009 - UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS) - DEQ 		<small>Copyright: CARLETON HART ARCHITECTURE DO NOT REPRODUCE WITHOUT PERMISSION</small>

AS0.01

GENERAL NOTES

- ALL CONSTRUCTION, MATERIALS, AND WORKMANSHIP SHALL CONFORM TO THE LATEST STANDARDS AND PRACTICES OF THE OREGON STRUCTURAL SPECIALTY CODE (BUILDING CODE), OREGON PLUMBING SPECIALTY CODE (PLUMBING CODE), AND THE OREGON FIRE CODE (FIRE CODE), LATEST EDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING ALL WORK WITH THE OWNER.
- ALL PERMITS AND LICENSES NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
- ALL EXCAVATORS MUST COMPLY WITH THE RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER, INCLUDING NOTIFICATION OF ALL OWNERS OF UNDERGROUND UTILITIES AT LEAST 48 BUSINESS DAY HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090 AND ORS 757.541 TO 757.57. THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS 503-232-1987 AND THE LOCAL "CALL 48 HOURS BEFORE YOU DIG NUMBER" IS 503-246-6699.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS IS FOR INFORMATION ONLY AND IS NOT GUARANTEED TO BE ACCURATE. CONTRACTOR SHALL VERIFY ELEVATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF MGH ASSOCIATES. POTHOLE ALL CROSSINGS AS NECESSARY BEFORE CONSTRUCTION TO PREVENT GRADE AND ALIGNMENT CONFLICTS.
- THE ENGINEER OR OWNER IS NOT RESPONSIBLE FOR THE SAFETY OF THE CONTRACTOR OR HIS CREW. ALL O.S.H.A. REGULATIONS SHALL BE STRICTLY ADHERED TO IN THE PERFORMANCE OF THE WORK.
- TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE USED AS NEEDED. THE CONTRACTOR SHALL ADHERE TO THE CITY OF SALEM EROSION CONTROL STANDARDS AS NECESSARY FOR EROSION CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL ROADWAYS CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS.
- BEFORE BACKFILLING ANY SUBGRADE UTILITY IMPROVEMENTS CONTRACTOR TO SURVEY AND RECORD MEASUREMENTS OF EXACT LOCATION AND DEPTH.
- CONTRACTOR TO ADJUST ALL EXISTING OR NEW FLEXIBLE UTILITIES (WATER, GAS, TV, TELEPHONE, ELEC., ETC.) TO CLEAR ANY EXISTING OR NEW GRAVITY DRAIN UTILITIES (STORM DRAIN, SANITARY SEWER, ETC.) IF CONFLICT OCCURS.
- MHG ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR ANY DISCREPANCIES ENCOUNTERED BETWEEN THE CURRENT FIELD CONDITIONS AND THE INFORMATION SHOWN ON THE SURVEY MAP. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
- VACUUM CLEAN AND JET ALL EXISTING DRYWELLS.

GRADING NOTES

- ALL SURFACES SHALL HAVE MINIMUM 2.0% SLOPE AND SHALL MEET EXISTING GRADES SMOOTHLY AND EVENLY. MAINTAIN CONSTANT SLOPES UNLESS OTHERWISE NOTED ON PLANS.
- CONTRACTOR RESPONSIBLE FOR MAINTAINING EXISTING SITE AND DRAINAGE PATTERNS AND PROTECTION OF EXISTING ENGINEERED DRAINAGE FACILITIES.
- CONTRACTOR SHALL EXERCISE CARE IN ALL OPERATIONS TO PROTECT EXISTING UNDERGROUND UTILITIES. ANY DAMAGE RESULTING FROM THIS WORK MUST BE RESTORED AT THE CONTRACTOR'S EXPENSE TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL REPLACE AND RESTORE AREAS NOT SCHEDULED FOR CONSTRUCTION TO THEIR ORIGINAL CONDITION AND TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN AREAS ADJACENT TO EXISTING TREES IN ORDER TO MINIMIZE DISTURBANCES TO TREE ROOTS. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING AS INDICATED ON PLANS OR AT DRIP-LINE OF EXISTING TREES. SEE TREE PROTECTION SPECIFICATIONS AND NOTES. NO PARKING VEHICLES UNDER TREES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND DISPOSAL OF EXISTING AC, CURBS, SIDEWALKS AND OTHER SITE ELEMENTS WITHIN THE PROJECT AREA. DISPOSE OF DEMOLISHED ITEMS OFF-SITE IN A LEGAL MANNER.
- ACTUAL LINES AND GRADES OF EXCAVATION SHALL BE STAKED BY QUALIFIED SURVEYOR, BASED ON DIMENSIONS AND BEARINGS AS SHOWN ON THE PLANS. CONTRACTOR SHALL RETAIN A SURVEYOR LICENSED IN OREGON.
- ADJUST ALL INCIDENTAL STRUCTURES, MANHOLE LIDS, VALVE BOXES, ETC. TO FINISH GRADE.
- GRADING PLAN SHALL BE DESIGNED TO NOT ADVERSELY IMPACT HISTORIC SURFACE DRAINAGE FLOWS TO OF FROM ADJACENT PROPERTIES.

MATERIAL NOTES

- MATERIALS SHALL BE NEW. THE USE OF MANUFACTURER'S NAMES, MODELS, AND NUMBERS IS INTENDED TO ESTABLISH STYLE, QUALITY, APPEARANCE, AND USEFULNESS. PROPOSED SUBSTITUTIONS WILL REQUIRE WRITTEN APPROVAL FROM THE PROJECT ENGINEER PRIOR TO INSTALLATION.
- ALL ON-SITE STORM PIPE MATERIALS, FITTINGS SHALL CONFORM TO THE OREGON STATE PLUMBING SPECIALTY CODE, LATEST EDITION.
- ON-SITE STORM SEWER PIPE SHALL BE PVC PIPE CONFORMING TO ASTM D3034 SDR 35, OR HDPE PIPE (ADS 'N-12' OR APPROVED EQUAL) CONFORMING TO AASHTO M252 W/WATERTIGHT JOINTS.
- ON-SITE STORM SEWER PIPE WITH LESS THAN 2' OF COVER SHALL BE HDPE PIPE.
- ON-SITE AREA DRAINS SHALL BE MANUFACTURED BY LYNCH CO., INC. OR APPROVED EQUAL UNLESS OTHERWISE NOTED ON THE PLANS.

UTILITY NOTES

- ALL TRENCH BACKFILL SHALL BE AS SHOWN ON THE PIPE BEDDING AND BACKFILL DETAIL. FLOODING OR JETTING THE BACKILLED TRENCHES WITH WATER IS NOT PERMITTED.
- CONNECTIONS TO EXISTING UTILITIES SHALL CONFORM WITH THE CITY OF SALEM ENGINEERING DESIGN MANUAL AND STANDARD DRAWINGS.
- BEGIN LAYING STORM PIPE AT THE LOW POINT OF THE SYSTEM TRUE TO GRADE AND ALIGNMENT INDICATED WITH UNBROKEN CONTINUITY OF INVERT. ESTABLISH LINE AND GRADE FOR THE STORM AND SANITARY SEWER PIPE BY THE USE OF A LASER.
- CONTRACTOR SHALL PREVENT SEDIMENTS FROM ENTERING THE STORM DRAINAGE SYSTEM.

PAVING NOTES

- STREET SIGNS AND STRIPING TO BE INSTALLED BY THE CONTRACTOR PER MUTCD
- ALL PAVEMENT SHALL BE CUT STRAIGHT PRIOR TO PAVING. EXISTING PAVEMENT SHALL BE REMOVED AS NECESSARY TO PROVIDE A SMOOTH TRANSITION FOR BOTH RIDE AND DRAINAGE.
- PAVING WILL NOT BE ALLOWED DURING WET OR COLD WEATHER, PER CITY OF SALEM TECHNICAL SPECIFICATIONS.
- CONTRACTOR TO INSTALL ADA WHEELCHAIR RAMPS AND SIDEWALKS AS SHOWN ON PLANS AND ON THE DETAIL SHEETS.
- ALL CONSTRUCTION WITHIN THE CITY OF SALEM RIGHT-OF-WAY SHALL HAVE AN APPROVED TRAFFIC CONTROL PLAN AND RIGHT-OF-WAY PERMIT PRIOR TO ANY ON-SITE CONSTRUCTION ACTIVITY.

SEDIMENT FENCE NOTES

- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND BOTH ENDS SECURELY FASTENED TO THE POST, OR OVERLAP 2"x2" POSTS AND ATTACH AS SHOWN ON DETAIL SHEET.
- THE FILTER FABRIC FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS WHERE FEASIBLE. THE FENCE POSTS SHALL BE SPACED A MAXIMUM OF 6-FEET APART AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 24-INCHES.
- THE FILTER FABRIC SHALL HAVE A MINIMUM VERTICAL BURIAL OF 6-INCHES. ALL EXCAVATED MATERIAL FROM FILTER FABRIC FENCE INSTALLATION SHALL BE BACKFILLED AND COMPAKTED ALONG THE ENTIRE DISTURBED AREA.
- STANDARD OR HEAVY DUTY FILTER FABRIC SHALL HAVE MANUFACTURED STITCHED LOOPS FOR 2"x2" POST INSTALLATION. STITCHED LOOPS SHALL BE INSTALLED ON THE DOWNSHILL SIDE OF THE SLOPED AREA.
- FILTER FABRIC FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY PROTECTED AND STABILIZED.
- FILTER FABRIC FENCES SHALL BE INSPECTED BY CONTRACTOR IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. THE TRAPPED SEDIMENT SHALL BE REMOVED BEFORE IT REACHES ONE THIRD OF THE ABOVE GROUND FENCE HEIGHT.

EROSION CONTROL NOTES

- IT IS THE INTENT OF THESE PLANS AND SPECIFICATIONS TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT LEAVE THE WORK SITE. THE CONTRACTOR SHALL USE ALL AVAILABLE MEANS TO ACHIEVE THIS RESULT.
- THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED, AND VEGETATION/LANDSCAPING IS ESTABLISHED.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT LEAVE THE SITE.
- THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE INSPECTOR DURING STORM RUNOFF OR SNOWMELT AND AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT OF GREATER THAN 0.5 INCHES OF RAIN PER 24-HOUR PERIOD.
- THE ESC FACILITIES ON SITES INACTIVE FOR MORE THAN 7 CONSECUTIVE CALENDAR DAYS SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE EVERY 2 WEEKS.
- ALL STORM INLETS SHALL BE PROTECTED TO PREVENT SEDIMENT FROM LEAVING THE PROJECT SITE. CLEANING OF CATCH BASINS SHALL OCCUR WHEN DESIGN CAPACITY HAS BEEN REDUCED BY FIFTY PERCENT. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- ALL AREAS DISTURBED BY CONSTRUCTION OF THIS PROJECT, NOT RECEIVING A HARD, DURABLE SURFACE SHALL BE GRASSED AND/OR LANDSCAPED AT EARLIEST PRACTICABLE TIME.
- IN GENERAL, CONSTRUCTION SHALL PROGRESS FROM DOWNSTREAM TO UPSTREAM. THE CONTRACTOR SHALL CONSTRUCT ESC FACILITIES IN CONJUNCTION WITH ALL CLEARING, GRADING AND OTHER LAND ALTERATION ACTIVITIES.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. THE LOCATION OF THESE ENTRANCES SHALL BE COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION OR RELOCATION. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL EXISTING PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- TEMPORARY EROSION CONTROL MEASURES SHALL REMAIN FUNCTIONAL AND IN PLACE UNTIL THEIR REMOVAL IS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL COMPLETELY RESTORE ALL AREAS DISTURBED BY REMOVAL OF TEMPORARY EROSION CONTROL MEASURES. REMOVED MATERIALS SHALL BECOME PROPERTY OF THE CONTRACTOR TO BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND JURISDICTIONS.
- CONTRACTOR WILL PROVIDE TRUCKS THAT ARE WELL SEALED FOR TRANSPORTATION OF SATURATED SOILS/MATERIAL FROM THE SITE. A TRUCK MUST NOT LEAK LIQUIDS AT ANY RATE GREATER THAN 1 GAL./HR.
- EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE CITY OF SALEM EROSION AND SEDIMENT CONTROL PLANS TECHNICAL GUIDANCE HANDBOOK. DUST CONTROL MEASURES SHALL BE IMPLEMENTED DURING CONSTRUCTION.
- SUPPLEMENTARY WET WEATHER MEASURES SHALL BE IN PLACE AND FUNCTIONING BY OCTOBER 1 AND REMAIN OPERATIONAL UNTIL MAY 31.
- SUPPLEMENTARY WET WEATHER MEASURES ARE IN ADDITION TO BASE MEASURES.

ABBREVIATIONS

BS	BOTTOM OF STAIR	MIN.	MINIMUM
COS	CITY OF SALEM	N:	NORTHING
CGTG	CLEAN OUT TO GRADE	NO.	NUMBER
CT	CURB TAPER	NTS	NOT TO SCALE
DS	DOWNSPOUT	ROW	RIGHT-OF-WAY
RD	ROOF DRAIN	S=	SLOPE EQUALS
E:	EASTING	SD	STORM DRAIN
(E)	EXISTING	SS	SANITARY SEWER
EX.	EXISTING	STD.	STANDARD
F	FIRE	TC	TOP OF CURB
FF	FINISHED FLOOR	TP	TOP OF PAVEMENT
H	HEIGHT	TS	TOP OF STAIR
IE	INVERT ELEVATION	MOW	MOW STRIP
LF	LINEAL FEET	TYP.	TYPICAL
		MAX.	WATER

SURVEYOR

MULTI/TECH ENGINEERING SERVICES, INC.
1155 13TH ST.
SALEM, OR 97302
(503) 363-9227
CONTACT: ROBERT HAMMAN

SURVEY

SURVEY PROVIDED BY MULTI/TECH ENGINEERING SERVICES, INC.
DATED JUNE 2010. ALL ELEVATIONS ARE BASED UPON THE CITY OF SALEM
CONTROL MONUMENT NO. 1088 BRASS DISK IN A CONCRETE POST AT THE
INTERSECTION OF 4TH STREET AND LOCUST STREET.
ELEVATION IS 148.23, NGVD 47.

ARCHITECT/ENGINEER

ARCHITECT:
CARLETON HART ARCHITECTURE
322 NW 8TH AVE.
PORTLAND, OR 97209
(503)206-3185
CONTACT: DEVIN FOLLINGSTAD

ENGINEER:
MGH ASSOCIATES, INC.
104 W. 9TH STREET, SUITE 207
VANCOUVER, WA 98660
(360)718-9500
CONTACT: WILLIAM BRANNAN, PE

LEGEND

EXISTING	PROPOSED	DESCRIPTION
○	Q	MANHOLE
		CATCH BASIN
◎	●	DRYWELL
○	×	CLEAN OUT
○	★	FIRE HYDRANT
□		FIRE DEPARTMENT CONNECTION
□		WATER VAULT
□		WATER METER
□		WATER VALVE
□		LIGHT POLE
□		POWER POLE
□		ANCHOR POLE
□		LIGHTING PULL BOX
GV		GAS VALVE
—		SIGN
•		TREE
— - -		PROPERTY LINE
— 60 —		CENTERLINE
— - - - -		CONTOUR
— - - - -		SAWCUT LINE
— — —		EDGE OF PAVEMENT
— — —	X"	CURB
— X —	X"	STORM DRAIN
— X —	SS	SANITARY SEWER
— X —	W	PUBLIC WATER (BY CITY)
— X —	W	PRIVATE WATER
— X —	OH	OVERHEAD UTILITIES
— X —	G	GAS
— X —	X	FENCE

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PROJ NO.
21345

01.10.2014

CARLETON HART ARCHITECTURE

322 NW 8TH AVENUE PORTLAND, OREGON 97209 | t 503 243 2252 | f 503 243 3261 | carletonhart.com

PARKWAY VILLAGE : WEST
SITE REPAIRS
SALEM HOUSING AUTHORITY

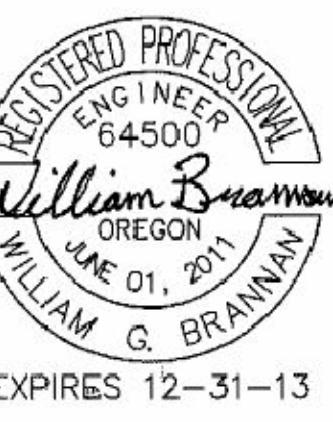
CIVIL NOTES

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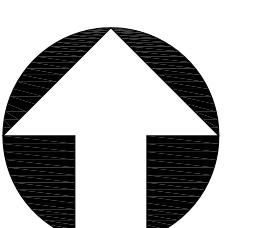
**PARKWAY VILLAGE : WEST
SITE REPAIRS
SALEM HOUSING AUTHORITY**

PERMIT REVIEW/BID SET

OVERALL CIVIL
SITE PLAN

PROJ NO.
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GRAPHIC SCALE
0 20 40
1 inch = 20 ft.

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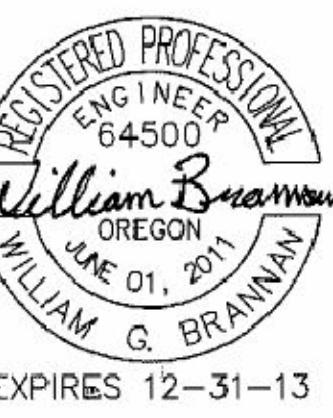
SHANGRI-LA AVENUE NE

77 TH PLACE NE

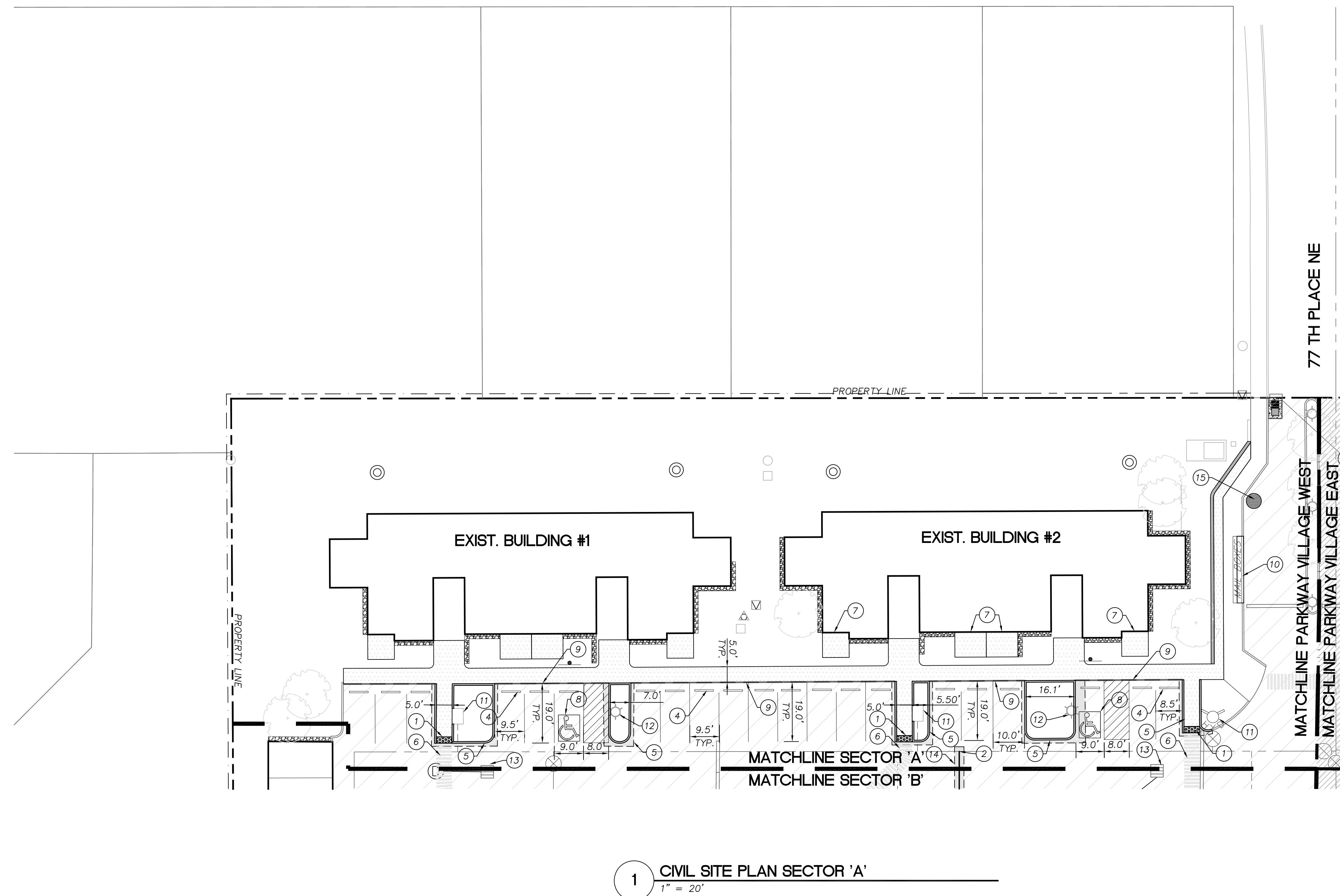
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OVERALL CIVIL SITE PLAN
1" = 40'





SHANGRI-LA AVENUE NE



LEGEND		
ITEM	DESCRIPTION	REFERENCE
6	NEW SIDEWALK	C4.0
7	NEW CURB	C4.0
5	SEAL COAT/RESTRIPE PAVEMENT. SEAL MISCELLANEOUS PAVEMENT CRACKS. CONTRACTOR SHALL COORDINATE WITH OWNER TO DETERMINE SCOPE FOR ALLIGATORATED PAVEMENT REMOVAL, DIG OUT, AND PATCH.	C4.1
1	GRAVEL DRAIN STRIP	C4.1
8	EXISTING DRYWELL-ROOF RUNOFF	
10	EXISTING DRYWELL-ASPHALT PAVEMENT RUNOFF	

GENERAL NOTES

1. SIDEWALK REMOVAL TO BE AT NEAREST JOINT AND IN WHOLE PANELS ONLY.
2. SIDEWALK SHALL HAVE A 2.0% MAX CROSS SLOPE.
3. ALL 4" WATER JOINTS SHALL BE MECHANICALLY RESTRAINED WITH "MEGA LUG" OR "FIELD LOK" GASKETS.
4. REFER TO C3.0 FOR PUBLIC WATER EASEMENT.

KEY NOTES

- 1 TRUNCATED DOME STRIP, REFER TO 7/C4.1
- 2 4" FIRE LINE CONNECTION TO EXISTING 8" WATER MAIN,
- 3 REGRADE LANDSCAPE AROUND BUILDINGS. WORK SCOPE INCLUDES GRADING, LANDSCAPE, AREA DRAINS PIPED TO DRYWELLS
- 4 INSTALL PRECAST CONCRETE WHEELSTOPS AT ALL SIDEWALKS LESS THAN 7 FEET WIDE AT HEAD OF PARKING STALL AND 2' FROM SIDEWALK, REFER TO DET. 3/C4.1
- 5 RECONSTRUCT PARKING LOT ISLANDS. REMOVE TREES, ROOTS, CUT AND PATCH ASPHALT, AND REBUILD CURBS. REFER TO DET. 7/C4.0 AND 5/C4.1
- 6 STRIPE ALL ADA CROSSINGS WITH 12" WIDE WHITE PAINT STRIPES AND YELLOW TACTILE DOME TILING AT CURB RAMPS,
- 7 NEW CONCRETE PATIO. REFER TO ARCH PLANS.
- 8 ACCESSIBLE STALLS, REFER TO DET. 3,4,5/C4.0
- 9 FLUSH PAVEMENT, SEE DET. 4/C4.1. REMOVE EXISTING CURB.
- 10 EXISTING MAILBOX CLUSTER AND SURROUNDING AREA SHALL BE MODIFIED TO CURRENT ADA STANDARDS.
- 11 PROTECT EXISTING WATER UTILITY
- 12 PROTECT EXISTING LIGHT FIXTURE
- 13 REMOVE EXISTING CATCH BASIN, REPLACE WITH CDS WATER QUALITY MANHOLE MODEL CDS2015-4, REFER TO DET. 1/C4.3. RECONNECT TO EXISTING CATCH BASIN LEAD.
- 14 SAWCUT, TYP.
- 15 INSTALL NEW DRYWELL, REFER TO DET. 2/C4.3 D=10.0'

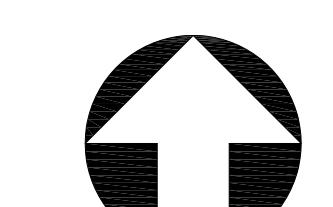
PARKWAY VILLAGE : WEST
SITE REPAIRS
SALEM HOUSING AUTHORITY

PERMIT REVIEW/BID SET

CIVIL SITE PLAN
SECTOR 'A'

PROJ NO.
21345

01.10.2014



GRAPHIC SCALE
0 20 40
1 inch = 20 ft.

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PARKWAY VILLAGE : WEST
SITE REPAIRS
SALEM HOUSING AUTHORITY

PERMIT REVIEW/BID SET

CIVIL SITE PLAN
SECTOR 'B'

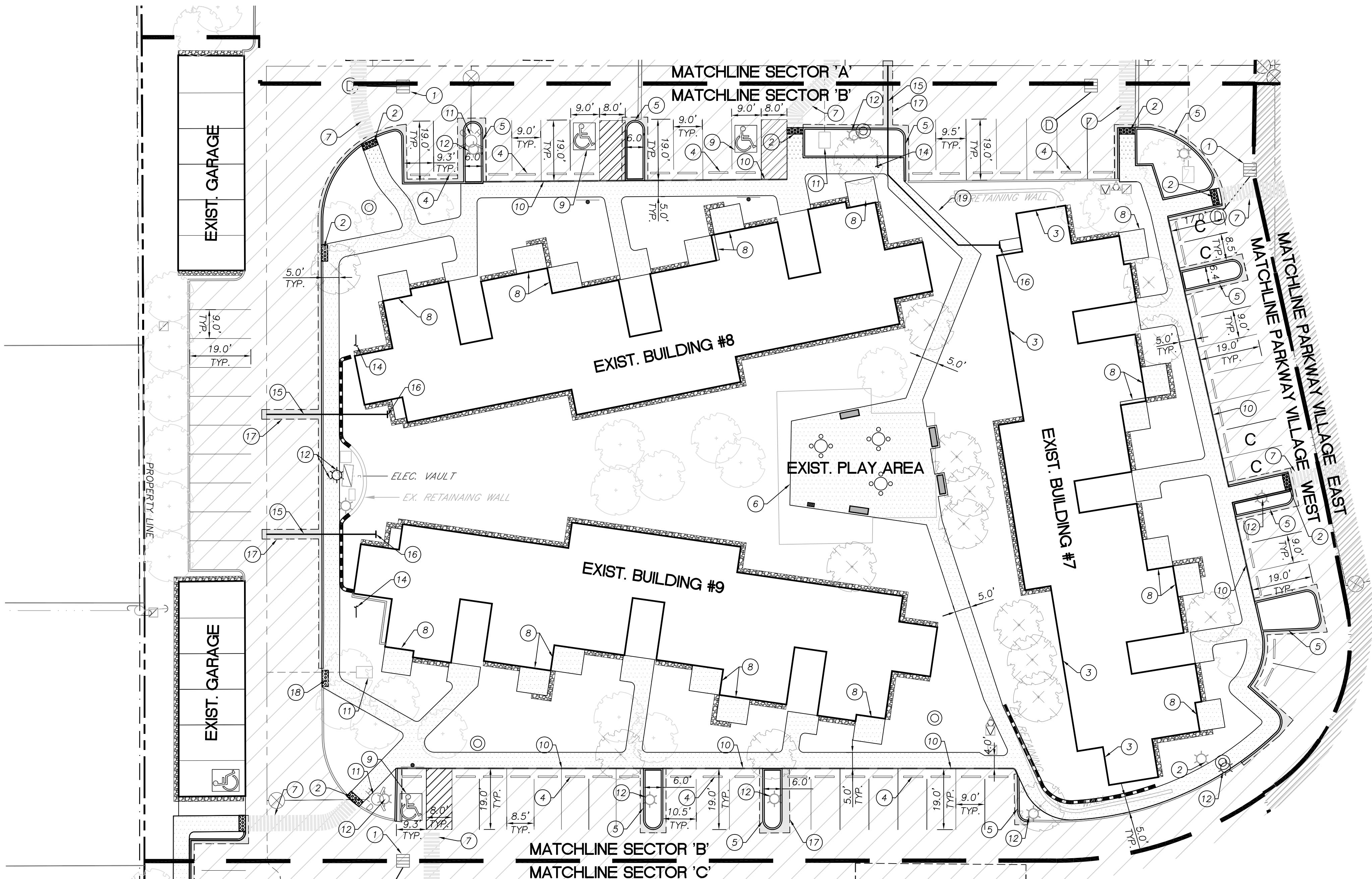
PROJ NO.
21345

01.10.2014

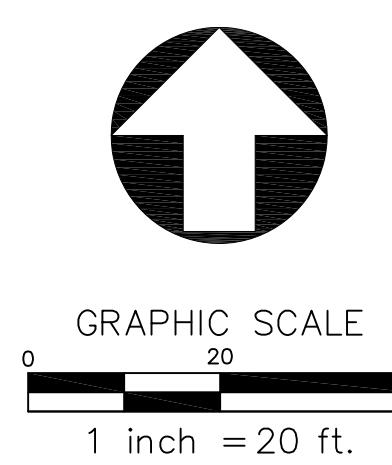
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C1.2

LEGEND		
ITEM	DESCRIPTION	REFERENCE
	NEW SIDEWALK	6 C4.0
	NEW CURB	7 C4.0
	SEAL COAT/RESTRIPE PAVEMENT, SEAL MISCELLANEOUS PAVEMENT CRACKS. CONTRACTOR SHALL COORDINATE WITH OWNER TO TO DETERMINE SCOPE FOR ALLIGATORED PAVEMENT REMOVAL, DIG OUT, AND PATCH.	5 C4.1
	GRAVEL DRAIN STRIP	1 C4.1
	SITE RETAINING WALL, DISASSEMBLE/ REASSEMBLE KEYSTONE WALL AS NEEDED TO PERFORM SCOPE OF WORK	
	EXISTING DRYWELL-ROOF RUNOFF	
	EXISTING DRYWELL-ASPHALT PAVEMENT RUNOFF	



1 CIVIL SITE PLAN SECTOR 'B'
1" = 20'



GRAPHIC SCALE
0 20 40
1 inch = 20 ft.

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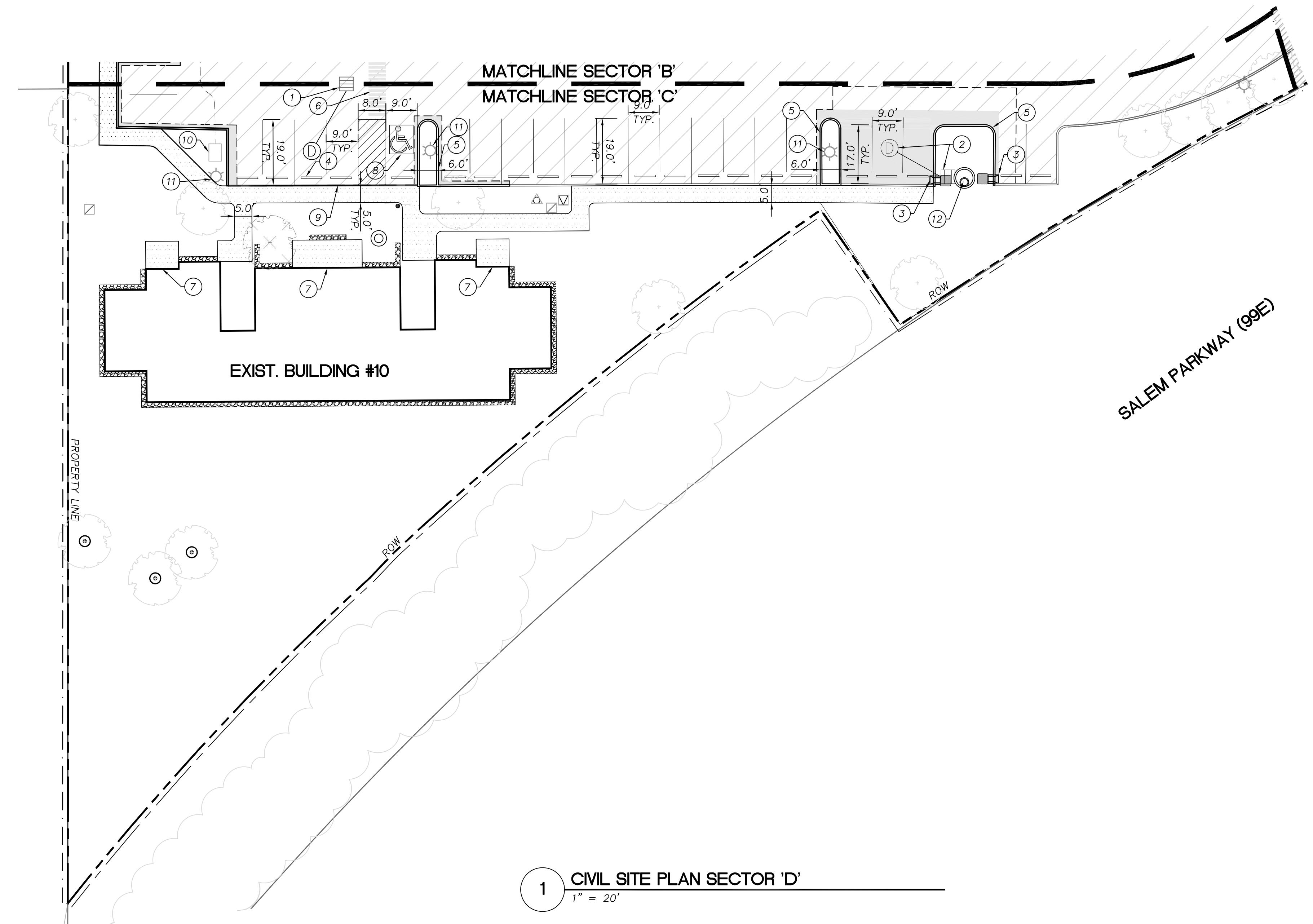
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PARKWAY VILLAGE : WEST
SITE REPAIRS
SALEM HOUSING AUTHORITY

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GENERAL NOTES

1. SIDEWALK REMOVAL TO BE AT NEAREST JOINT AND IN WHOLE PANELS ONLY.
2. SIDEWALK SHALL HAVE A 2.0% MAX CROSS SLOPE.
3. REFER TO C3.0 FOR PUBLIC WATER EASEMENT.

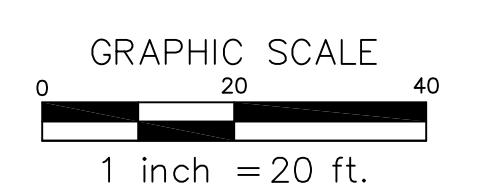
KEY NOTES

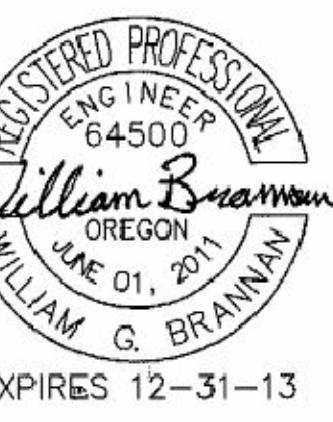
- (1) REMOVE EXISTING CATCH BASIN, REPLACE WITH CONTECH CATCH BASIN UNIT, WITH CONCRETE COLLAR, SAWCUT, PATCH, RECONNECT TO EXISTING CATCH BASIN LEAD.
- (2) REMOVE EXISTING DRYWELL AND ASSOCIATED CATCH BASIN.
- (3) CURB CUT, REFER TO DET. 4/C4.2
- (4) INSTALL PRECAST CONCRETE WHEELSTOP AT ALL SIDEWALKS LESS THAN 7 FEET WIDE AT HEAD OF PARKING STALL AND 2' FROM SIDEWALK. REFER TO DET. 3/C4.1
- (5) RECONSTRUCT PARKING LOT ISLANDS. REMOVE TREES, ROOTS, CUT AND PATCH ASPHALT, AND REBUILD CURBS. REFER TO DET. 5/C4.0 AND 5/C4.1
- (6) STRIPE ALL ADA CROSSINGS WITH 12" WIDE WHITE PAINT STRIPES AND YELLOW TACTILE DOME TILING AT CURB RAMPS.
- (7) NEW CONCRETE PATIO.
- (8) ACCESSIBLE STALLS, REFER TO DET. 3,4,5/C4.0
- (9) FLUSH PAVEMENT, SEE DET. 4/C4.1. REMOVE EXISTING CURB.
- (10) PROTECT EXISTING WATER UTILITY
- (11) PROTECT EXISTING LIGHT FIXTURE
- (12) INSTALL NEW WATER QUALITY MANHOLE, REFER TO DET. 1/C4.3

CIVIL SITE PLAN
SECTOR 'C'

PROJ NO.
21345

01.10.2014





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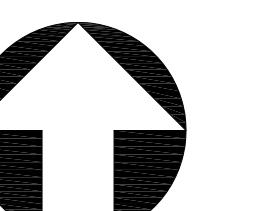
PARKWAY VILLAGE : WEST
SITE REPAIRS
SALEM HOUSING AUTHORITY

PERMIT REVIEW/BID SET

OVERALL CIVIL
GRADING PLAN

PROJ NO.
21345

01.10.2014

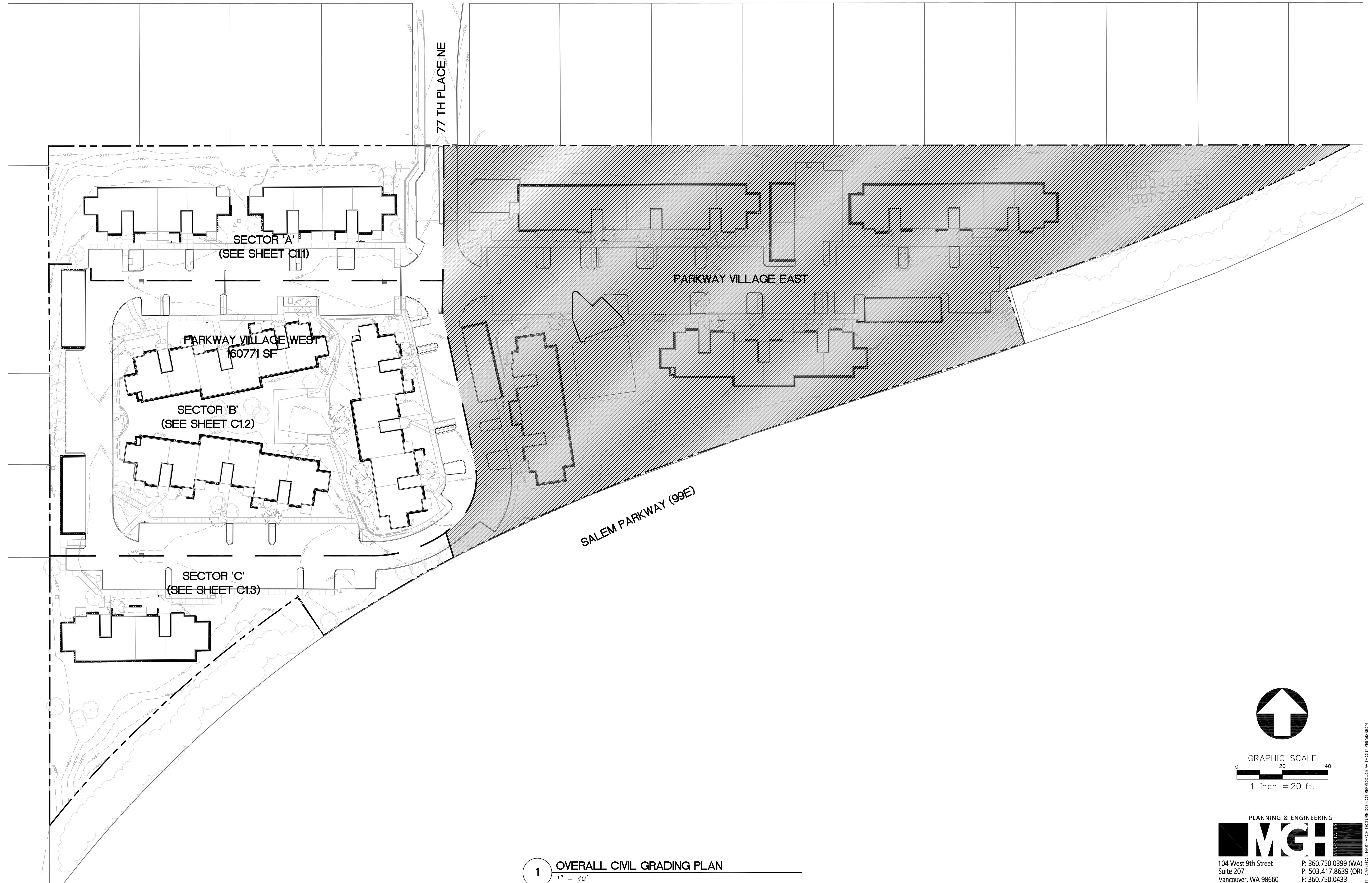


GRAPHIC SCALE
0 20 40
1 inch = 20 ft.

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C2.0

SHANGRI-LA AVENUE NE



SHANGRI-LA AVENUE NE

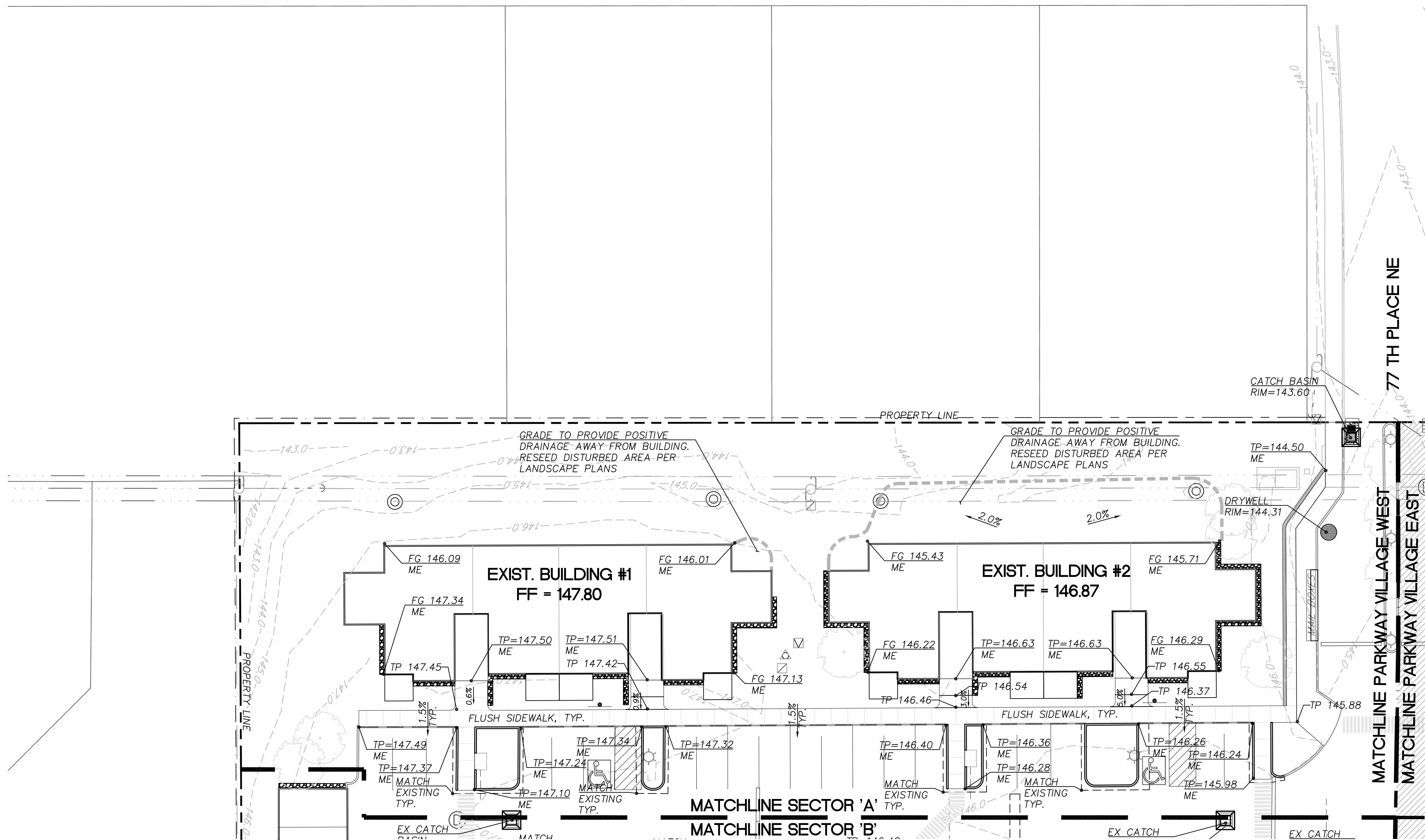
LEGEND

*FG = FINISH GRADE
ME = MATCH EXISTING
TP = TOP OF PAVEMENT
TC = TOP OF CURB
EXP = EXPOSURE*



GENERAL NOTES

1. SIDEWALKS SHALL HAVE A 2.0% MAX CROSS SLOPE.

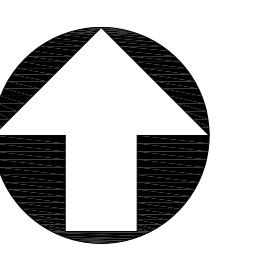


CIVIL GRADING PLAN SECTOR 'A'

WIL GRADING PLAN SECTOR 'A'

PROJ NO.
21345

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GRAPHIC SCALE

0 20 40

1 inch = 20 ft.

C2.1

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CIVIL GRADING PLAN
SECTOR 'B'

PROJ NO.
21345

01.10.2014

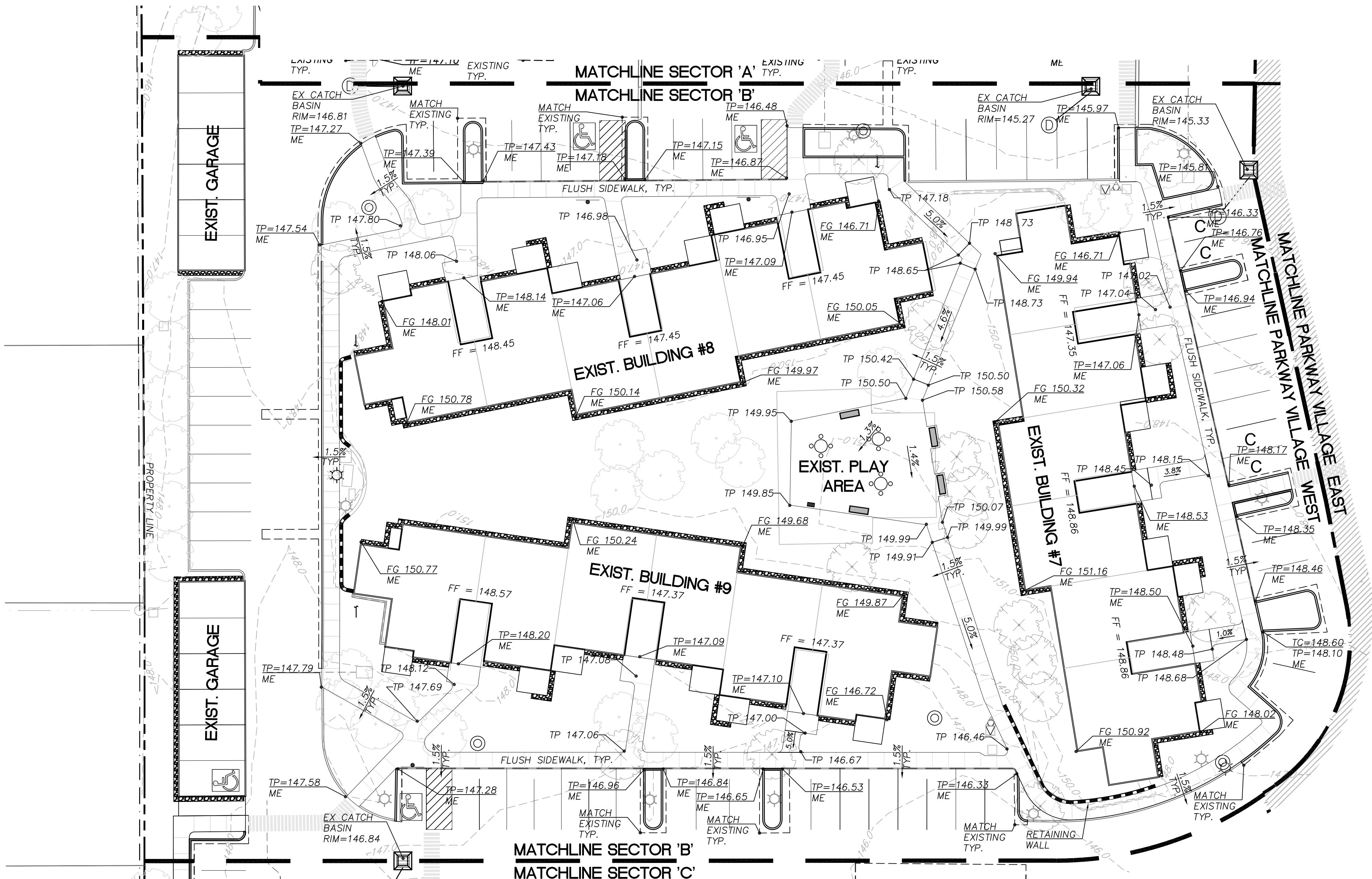
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C2.2

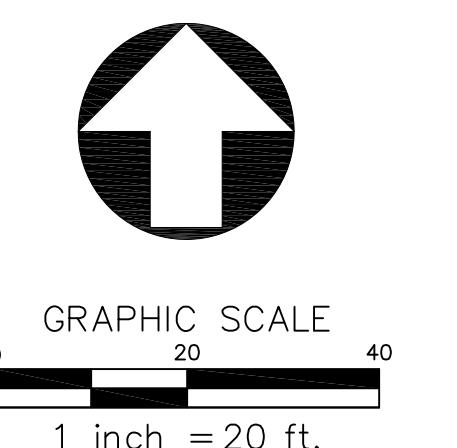
LEGEND	
FG = FINISH GRADE	
ME = MATCH EXISTING	
TP = TOP OF PAVEMENT	
TC = TOP OF CURB	
EXP = EXPOSURE	
<input type="checkbox"/> FILTER FABRIC INLET PROTECTION	2 C4.C

GENERAL NOTES

1. SIDEWALKS SHALL HAVE A 2.0% MAX CROSS SLOPE.



1 CIVIL GRADING PLAN SECTOR 'B'
1" = 20'



GRAPHIC SCALE
0 20 40
1 inch = 20 ft.

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LEGEND

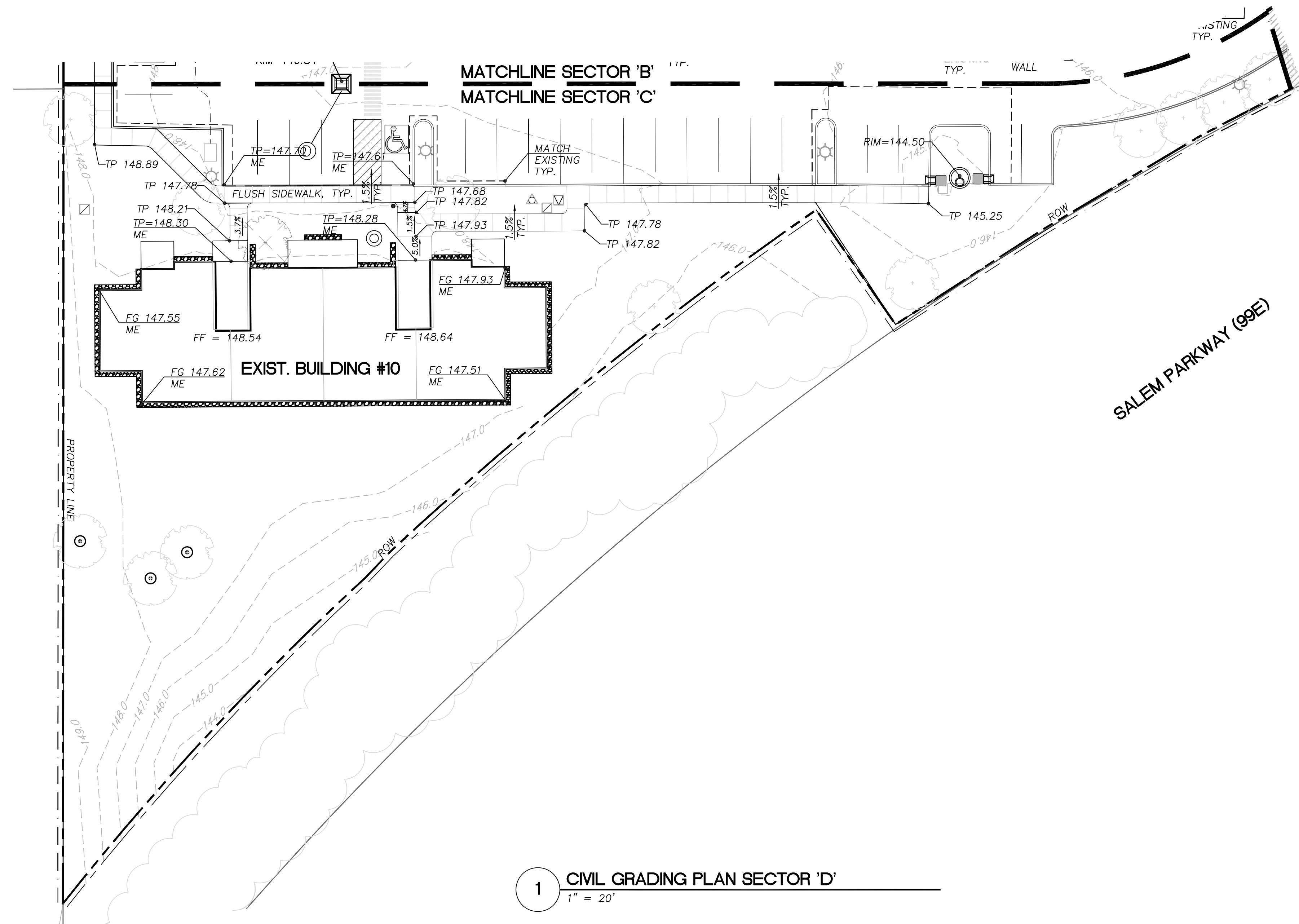
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 ME = MATCH EXISTING
 TP = TOP OF PAVEMENT
 TC = TOP OF CURB
 EXP = EXPOSURE

FILTER FABRIC INLET PROTECTION

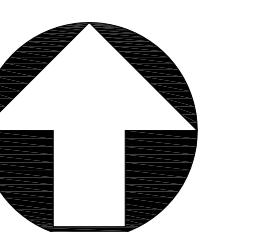
2
C4.0

GENERAL NOTES

- LOCATED ROOF DRAINS TO EXISTING DRYWELL. INSTALL LYNCH STYLE CATCH BASIN IN LINE PRIOR TO DRYWELL TO ACT AS SEDIMENT TRAP. SET RIM PER PLANS.
- SIDEWALKS SHALL HAVE A 2.0% MAX CROSS SLOPE.



GRAPHIC SCALE
0 20 40
1 inch = 20 ft.



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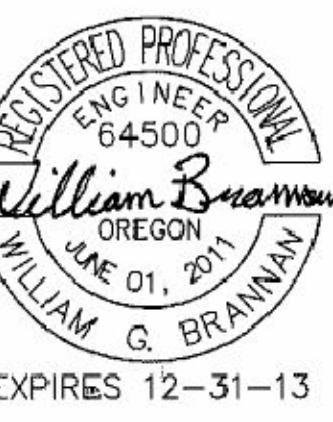
CIVIL GRADING PLAN
SECTOR 'C'

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C2.3

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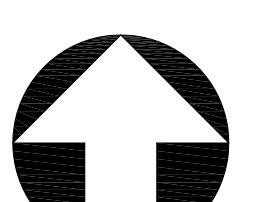
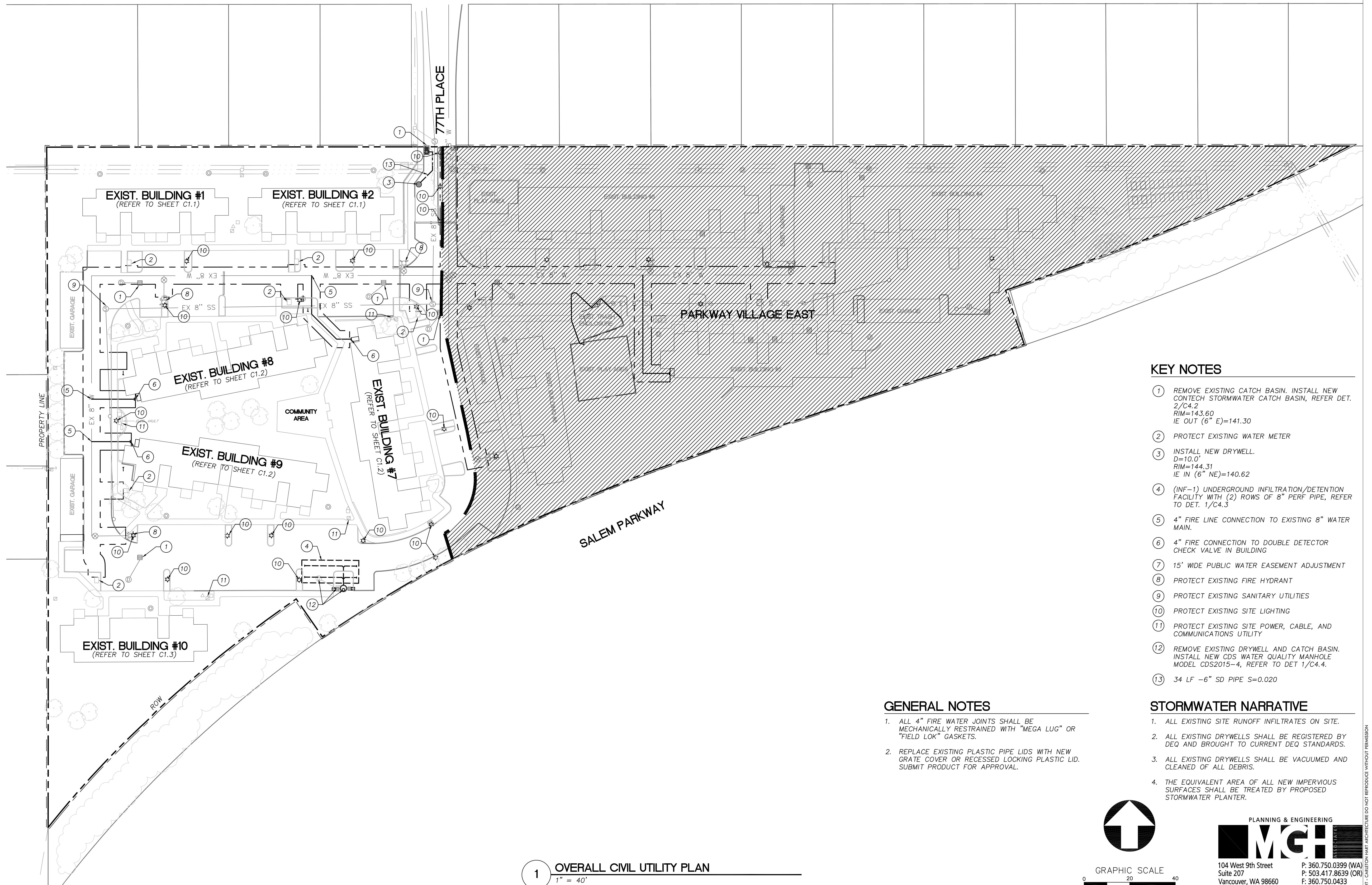
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OVERALL CIVIL
UTILITY PLAN
PROJ NO.
21345

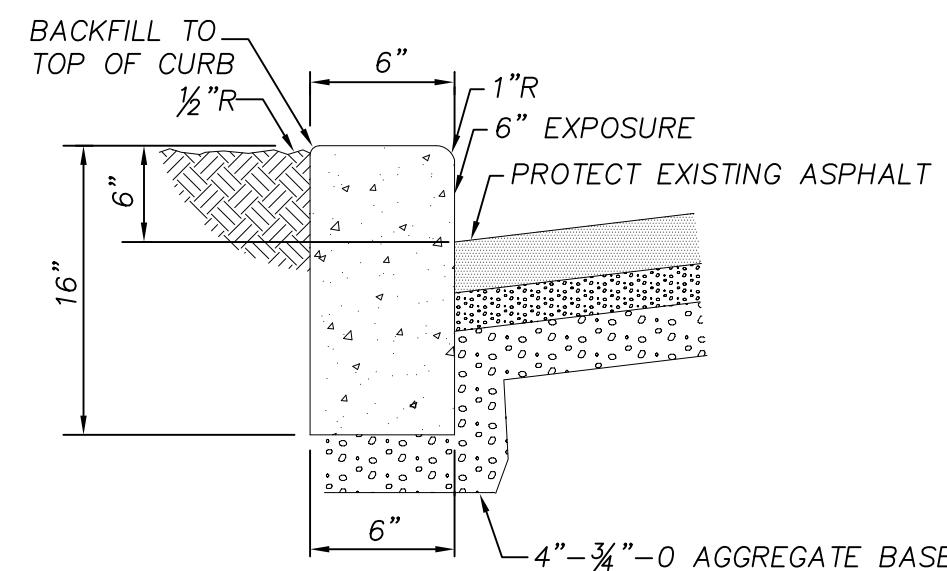
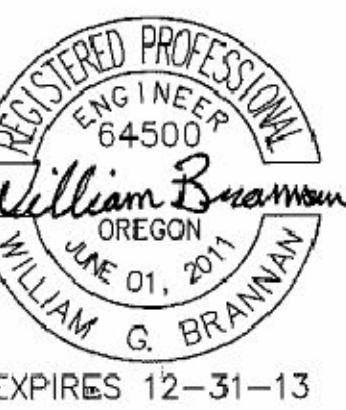
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C3.0

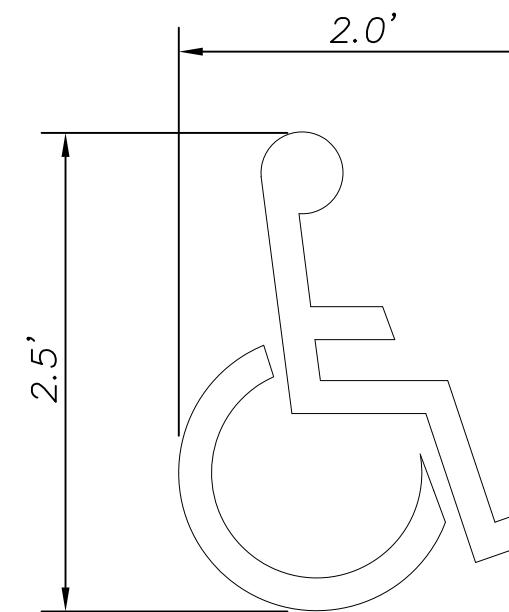
SHANGRI-LA STREET



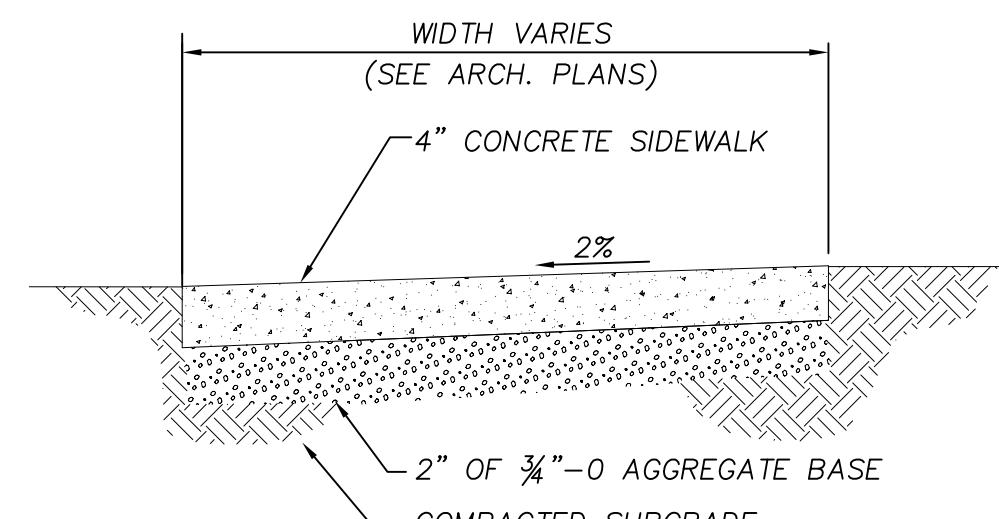
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7 STANDARD CONCRETE CURB
NTS

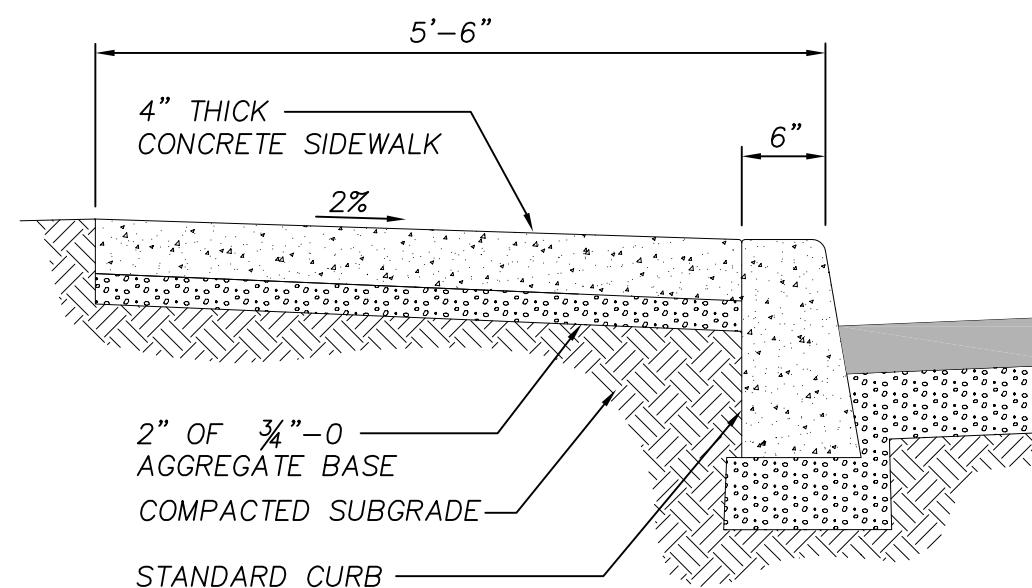


5 ACCESSIBLE PARKING EMBLEM
NTS



NOTE:
1. CONCRETE SHALL BE 4000 PSI, SLUMP RANGE 3" TO 5".

IN LANDSCAPE

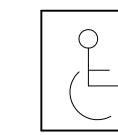


NOTE:
1. CONCRETE SHALL BE 4000 PSI, SLUMP RANGE 3" TO 5".

AT STANDARD 16" CURB

6 CONCRETE SIDEWALK
NTS

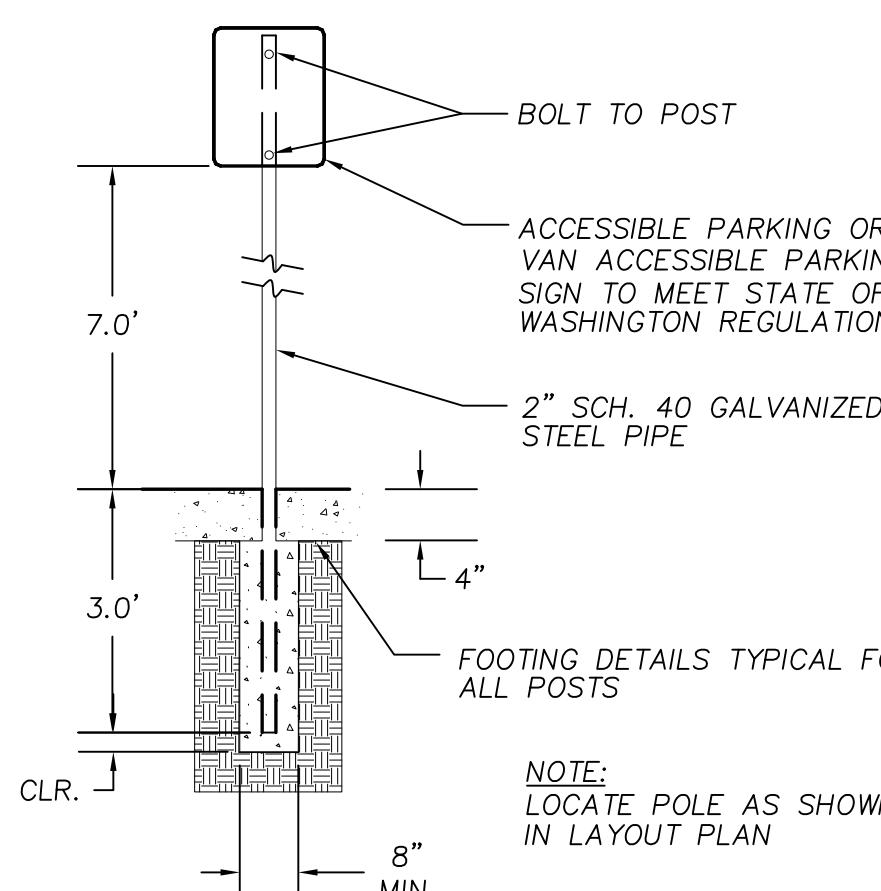
**RESERVED
PARKING**



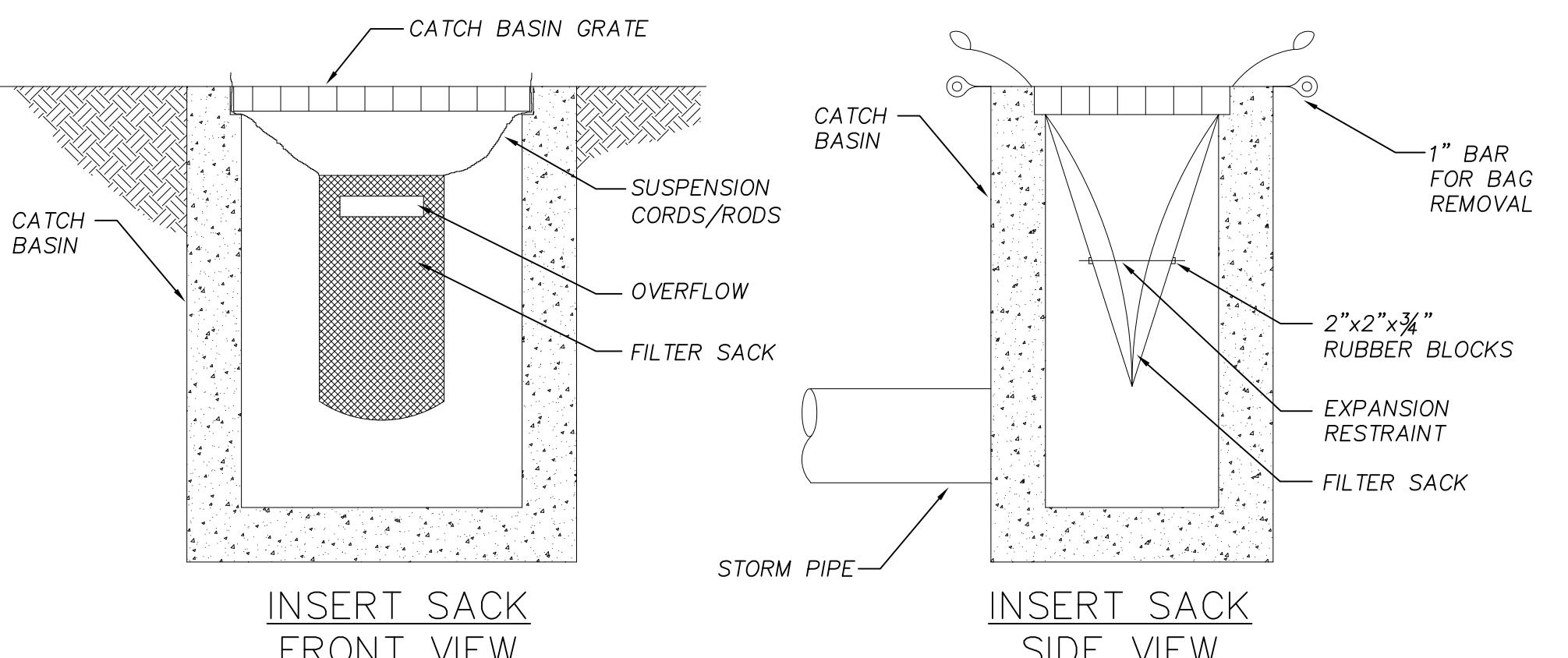
**WHEELCHAIR
VAN ACCESSIBLE**

NOTE:
1. INSTALL OREGON APPROVED ACCESSIBLE STALL SIGNS.

4 ACCESSIBLE PARKING SIGN
NTS

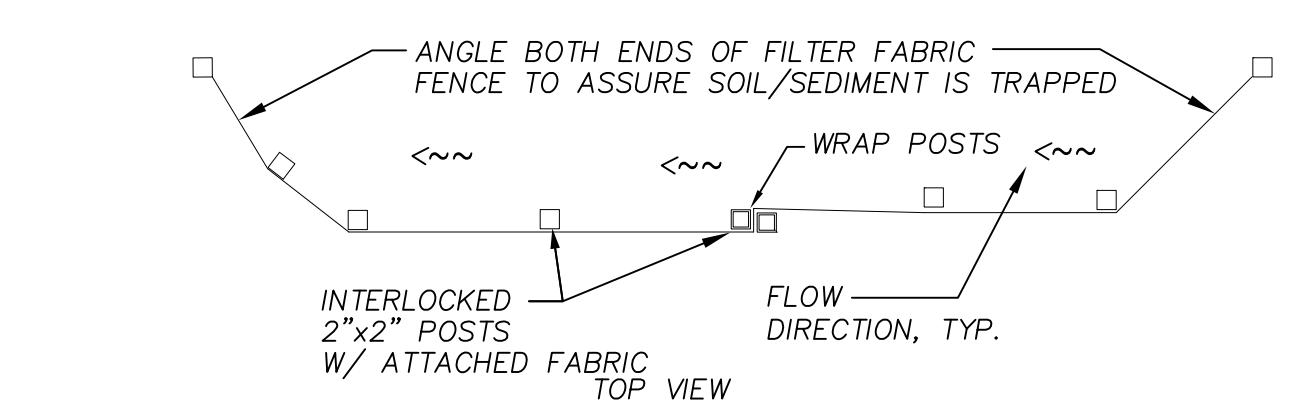
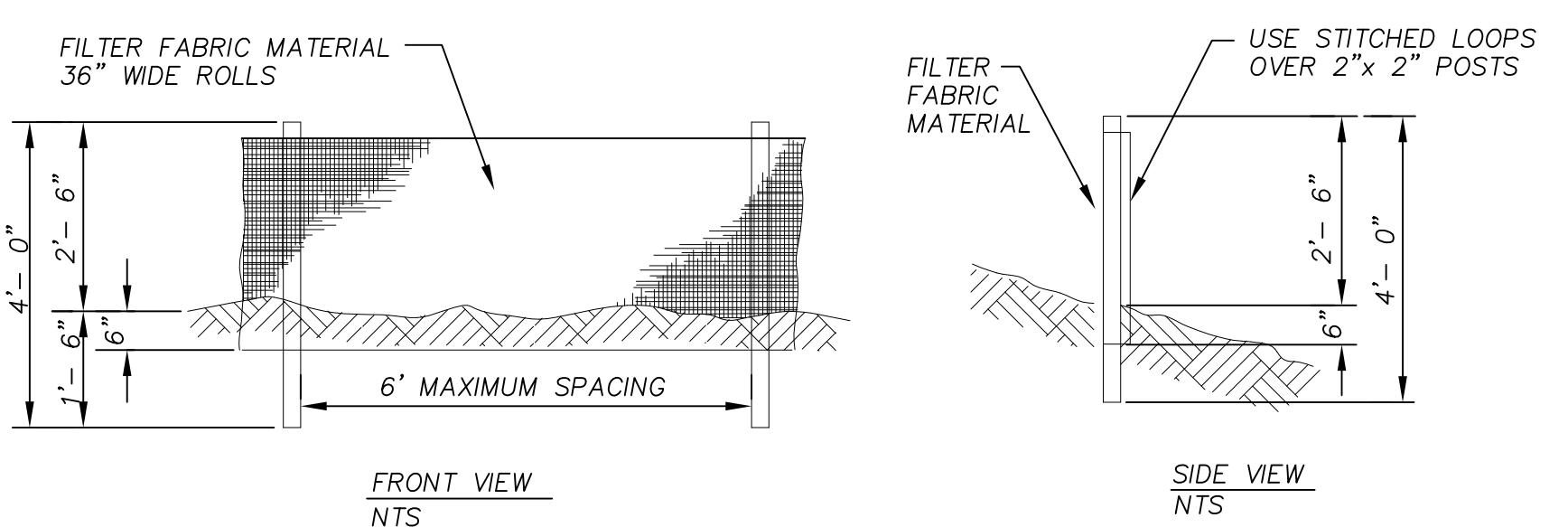


3 ACCESSIBLE SIGN POST
NTS



NOTE:
REPLACE BIOFILTER BAGS WITH INSERT SACKS AFTER THE FIRST LIFT OF PAVING.

2 FILTER FABRIC INLET PROTECTION
NTS



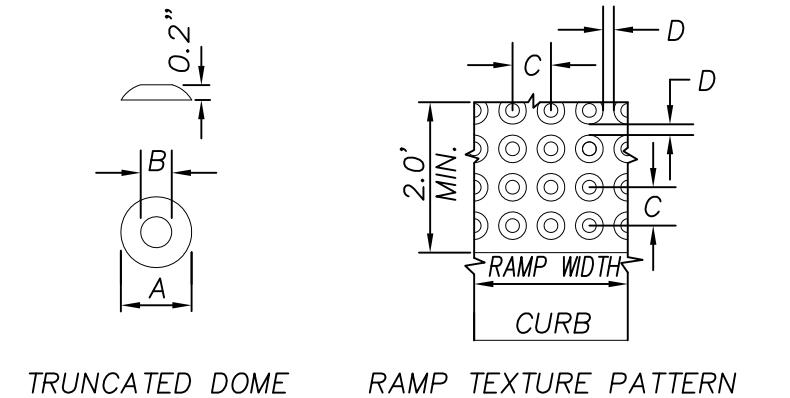
1 SEDIMENT FENCE
NTS

NOTES:
1. BURY BOTTOM OF FILTER FABRIC 6"
2. VERTICALLY BELOW FINISHED GRADE.
2"x 2" FIR, PINE OR STEEL
3. FENCE POSTS. STITCHED LOOPS TO BE
INSTALLED DOWNHILL SIDE OF SLOPE.
4. COMPACT ALL AREAS OF FILTER
FABRIC TRENCH.

CIVIL DETAILS

PROJ NO.
21345

01.10.2014



TRUNCATED DOME RAMP TEXTURE PATTERN

DIMENSIONS
 $A = 0.9$ INCHES (MIN.) TO 1.4 INCHES (MAX.).
 $B = 50\%$ OF ' A ' (MIN.) TO 65% OF ' A ' (MAX.).
 $C = 1.6$ INCHES O.C. (MIN.) TO 2.4 INCHES O.C. (MAX.).
 $D = 0.65$ INCHES (MIN.).

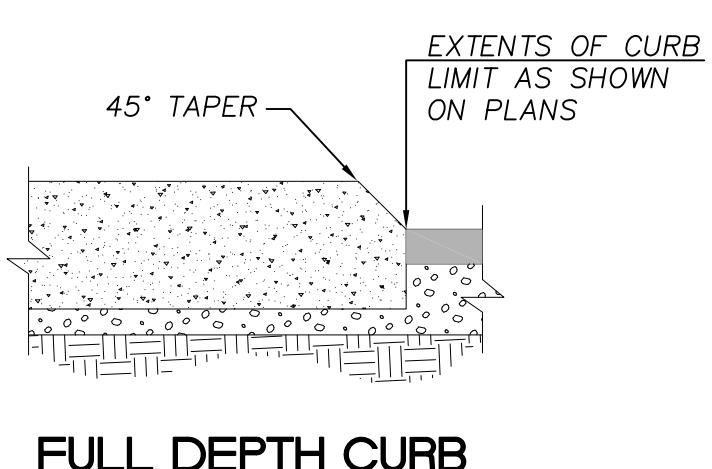
NOTES
1. ARRANGE DOMES USING IN-LINE-PATTERN ONLY AS SHOWN IN DETAIL.

2. THE TRUNCATED DOME RAMP TEXTURE SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT.

3. THE TEXTURE SURFACE SHALL EXTEND $2.0'$ MIN. IN THE DIRECTION OF TRAVEL AND THE FULL WIDTH OF THE CURB RAMP, LANDING, OR BLENDED TRANSITION.

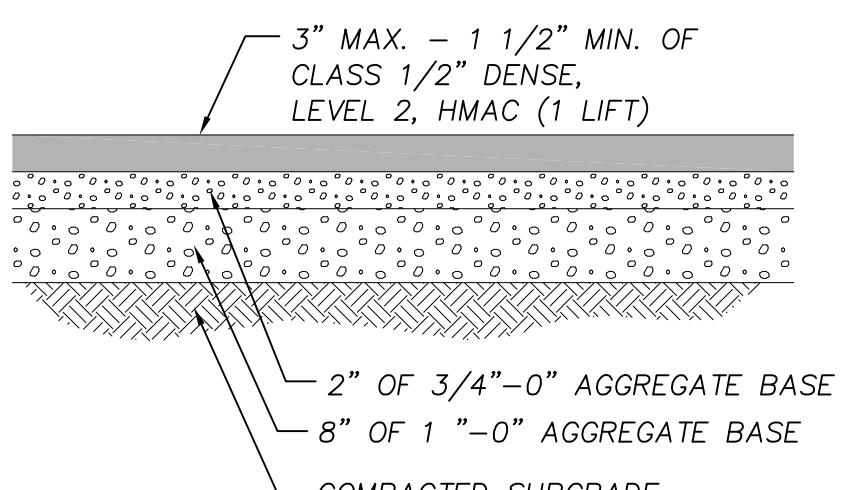
4. THE TEXTURE SURFACE SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE IS 6 INCHES MIN. AND 8 INCHES MAX. FROM THE CURB LINE.

7 TRUNCATED DOME TEXTURE NTS



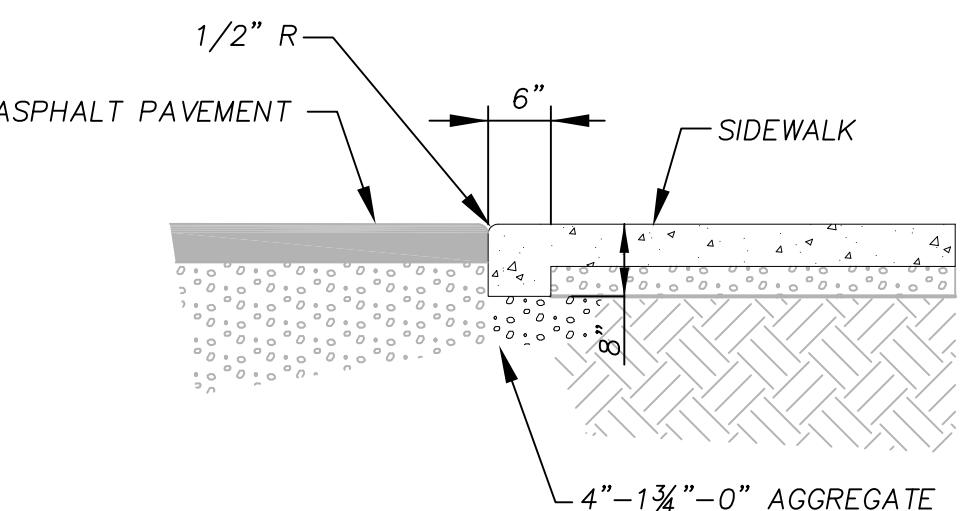
FULL DEPTH CURB

6 CURB TAPER NTS



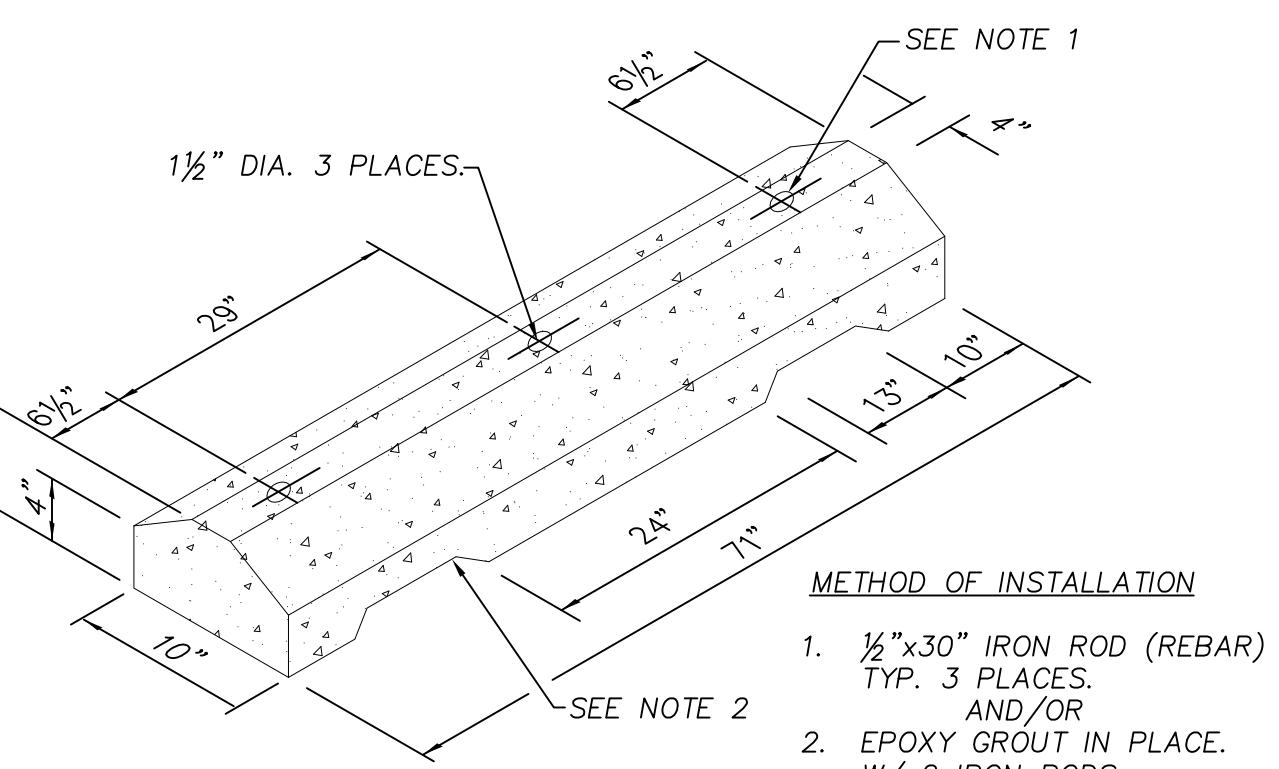
NOTES:
1. AGGREGATE BASE AND THE UPPER $12"$ OF THE SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY DETERMINED IN ACCORDANCE WITH ASTM D1557.
2. AC PAVEMENT SHALL BE COMPACTED TO 91% OF THE RICE DENSITY OF THE MIX.

5 TYPICAL PAVEMENT SECTION - MATCH EXISTING NTS

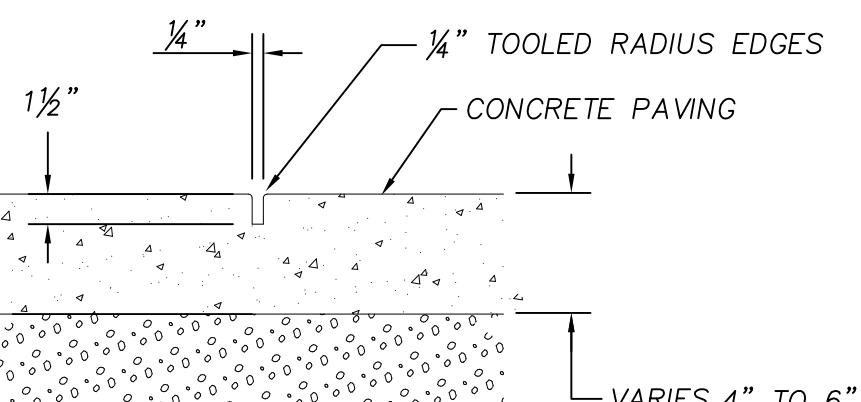


NOTES:
1. SET ADJACENT SURFACES FLUSH WITH SIDEWALK.

4 FLUSH PAVEMENT NTS

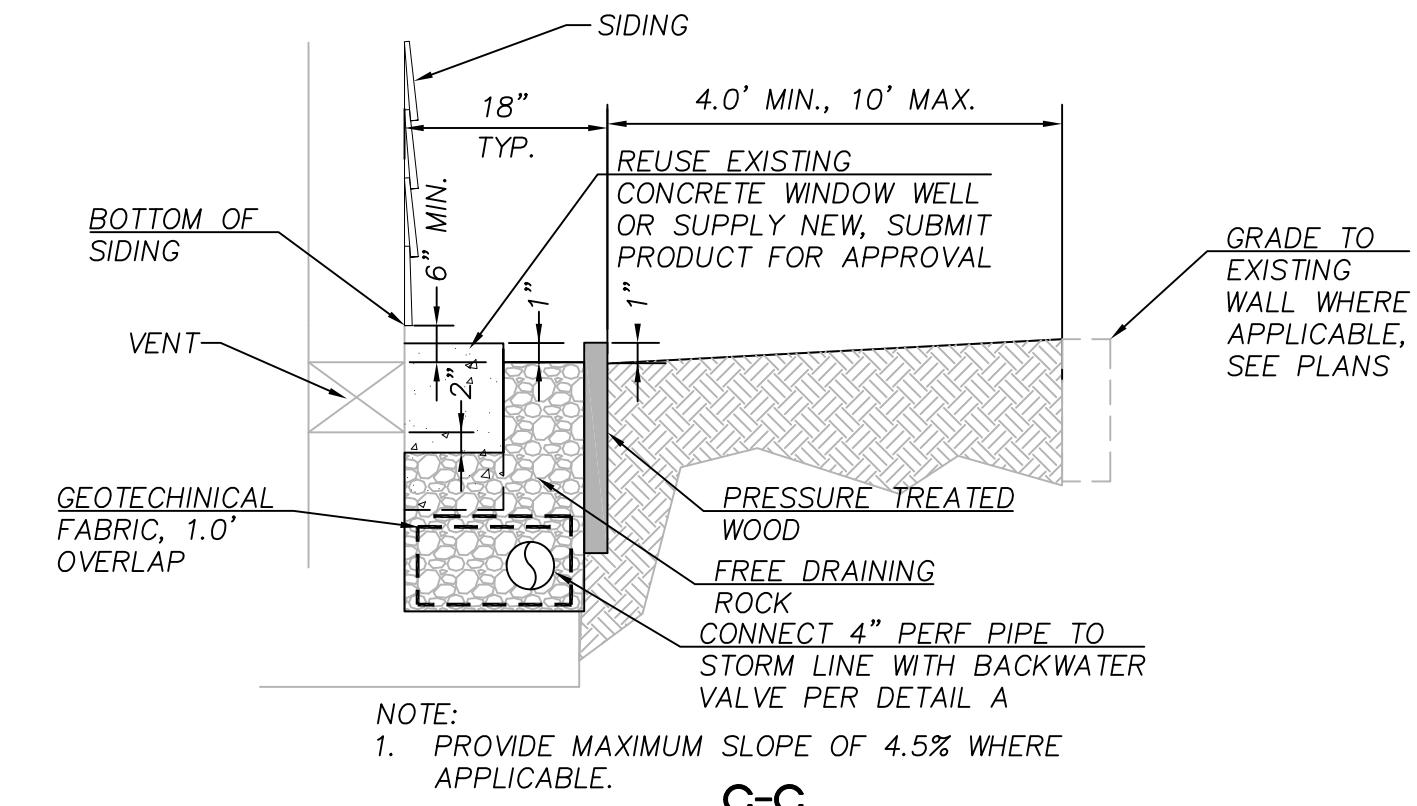


3 PRECAST CONCRETE WHEELSTOP NTS

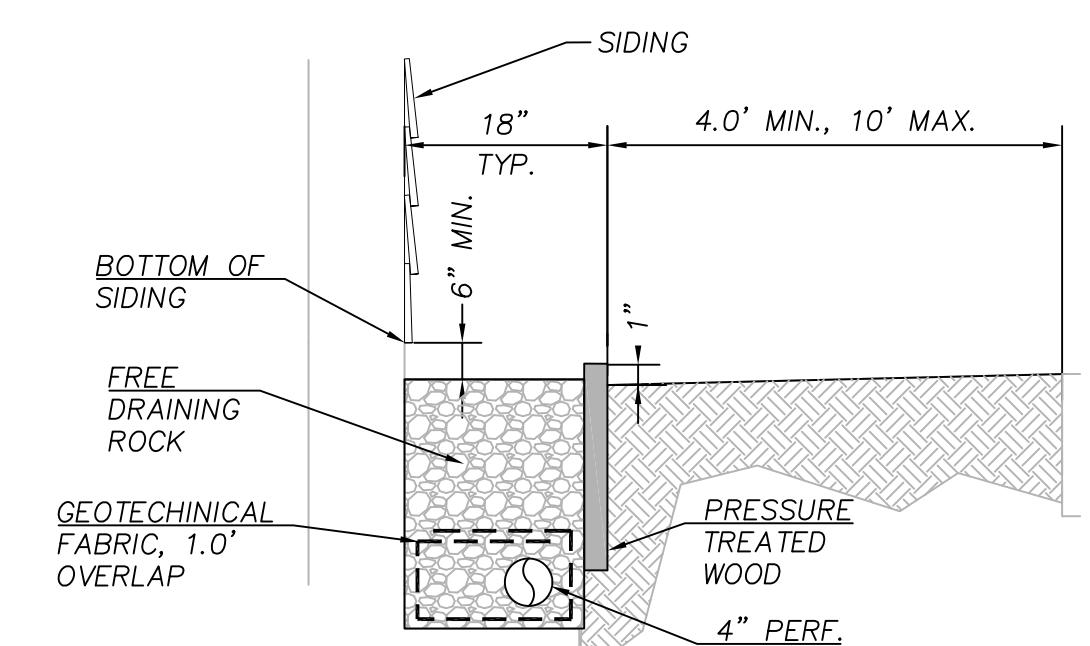


NOTE:
1. NO SHINERS ON TOOLED JOINTS.
2. PLACE SCORE JOINTS AT MAXIMUM $15.0'$ ON CENTER.

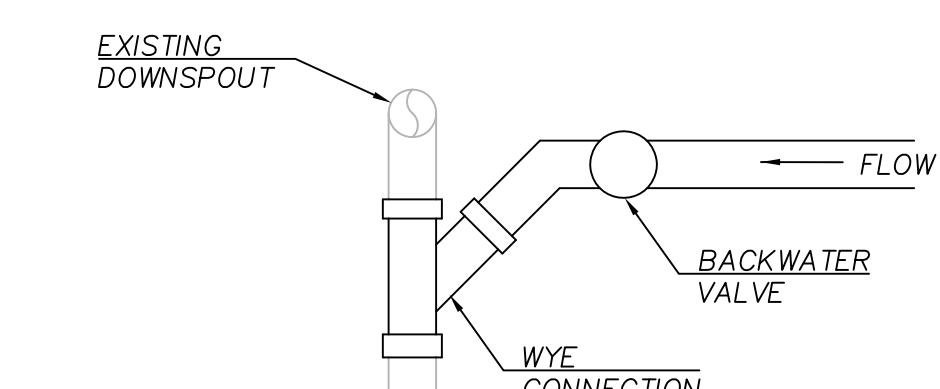
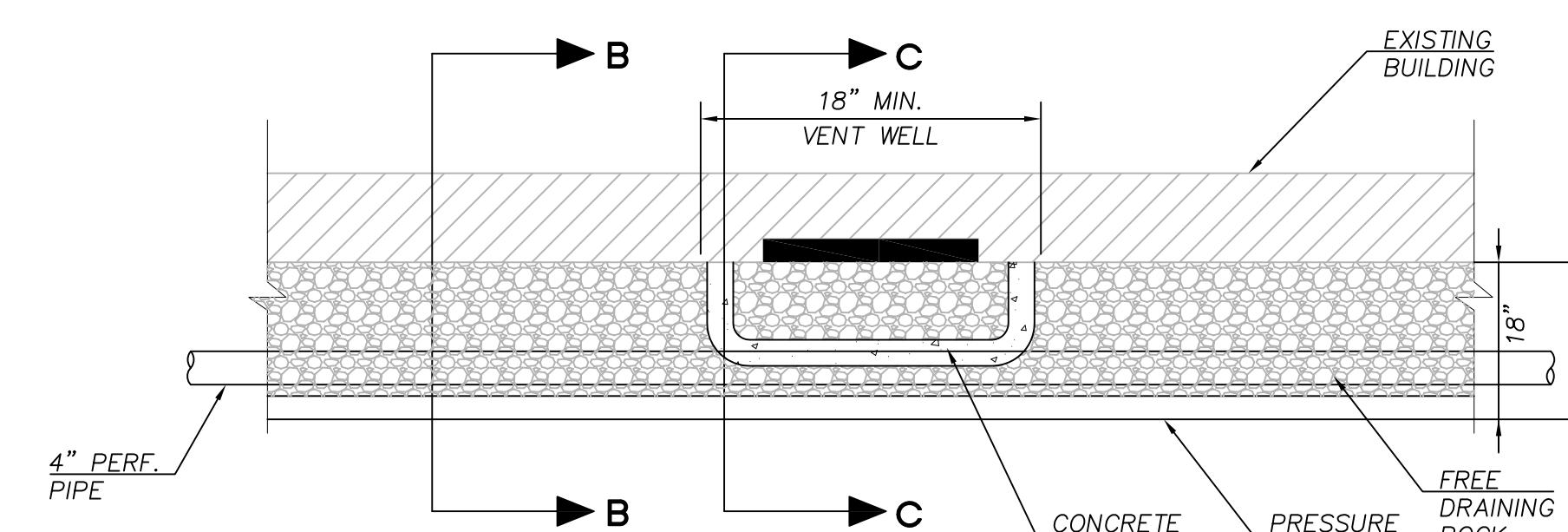
2 SCORE JOINT NTS



NOTE:
1. PROVIDE MAXIMUM SLOPE OF 4.5% WHERE APPLICABLE.

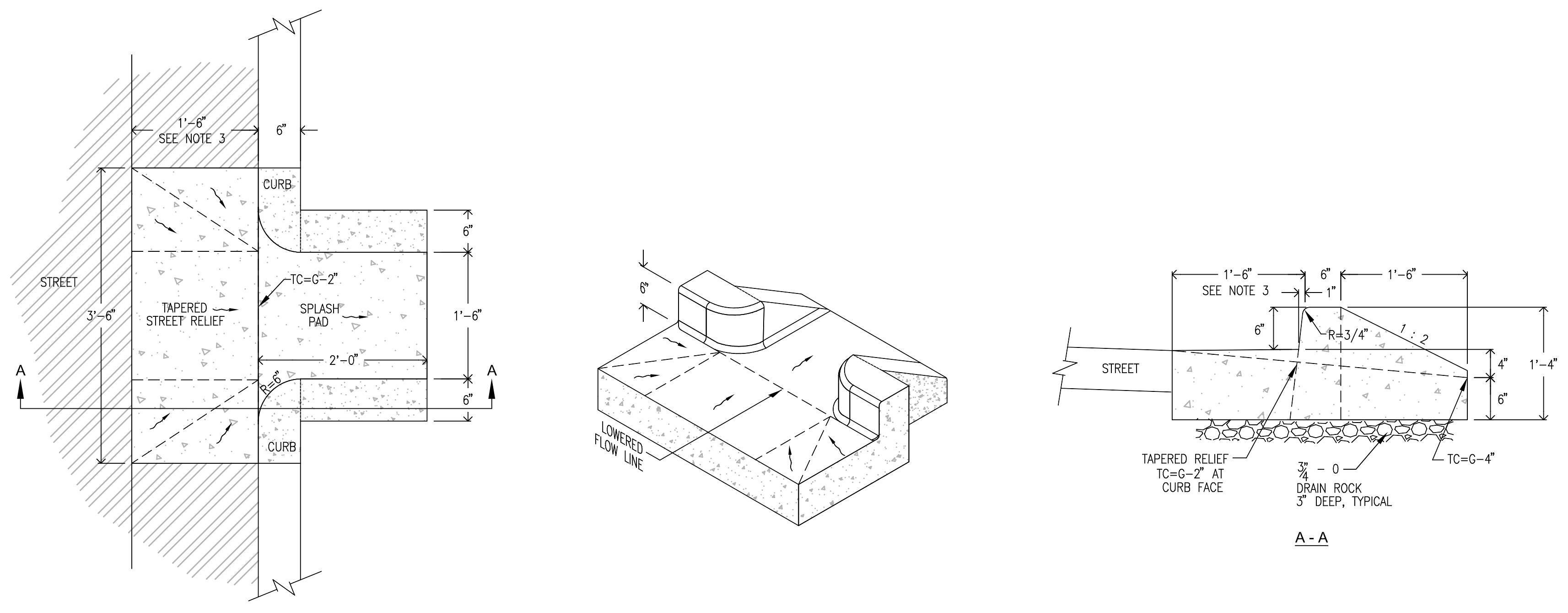
C-C

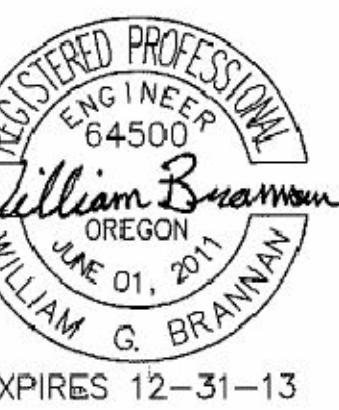
NOTE:
1. PROVIDE MAXIMUM SLOPE OF 4.5% WHERE APPLICABLE.

B-B**DETAIL A**

NOTE:
1. PERFORATED PIPE SHALL CONNECT TO NEAREST EXISTING STORM DRAIN LINE WITH A BACKWATER VALVE IN ACCESSIBLE VAULT.
2. VENT WELLS SHALL RUN THE LENGTH OF MULTIPLE VENTS WHERE APPLICABLE.

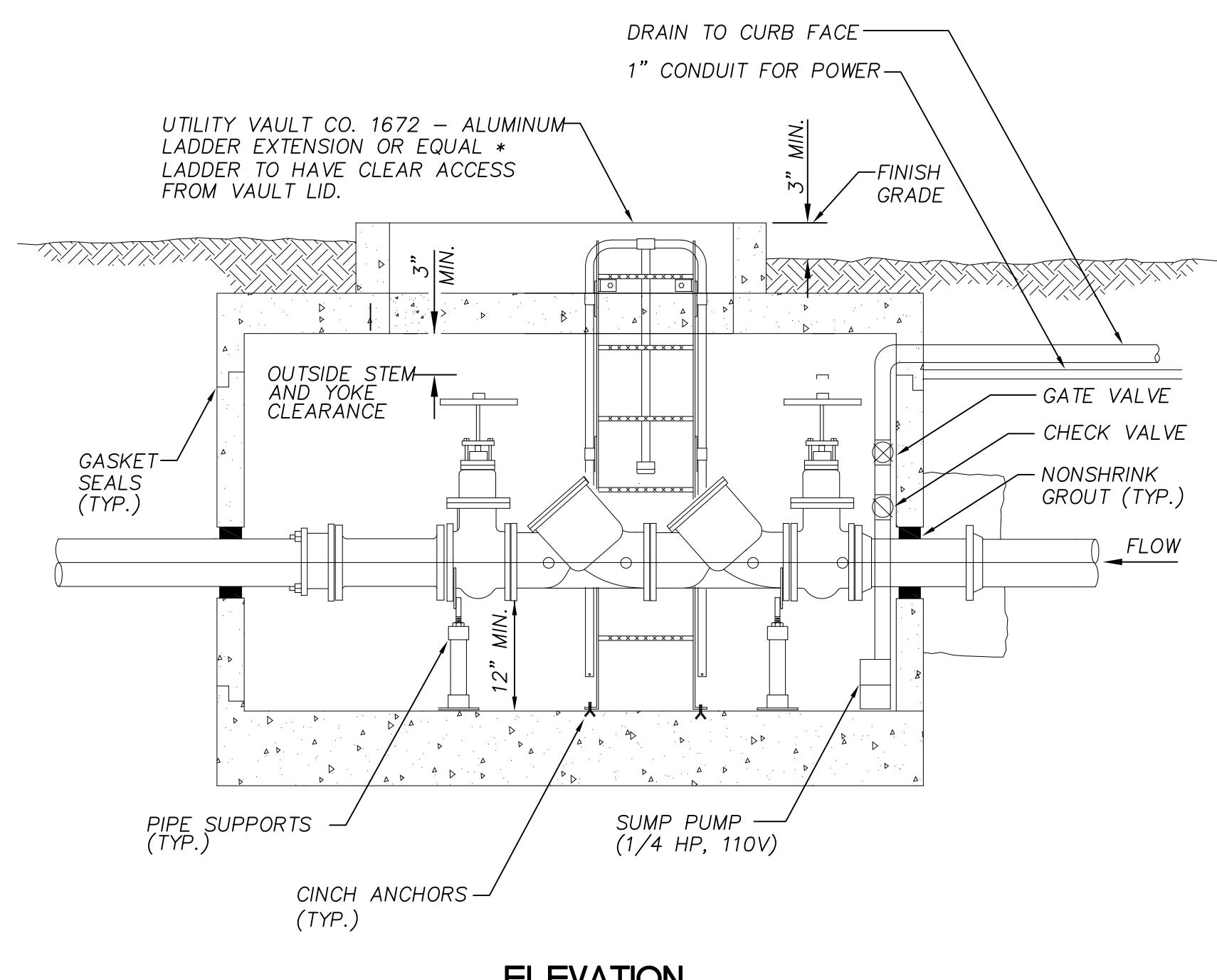
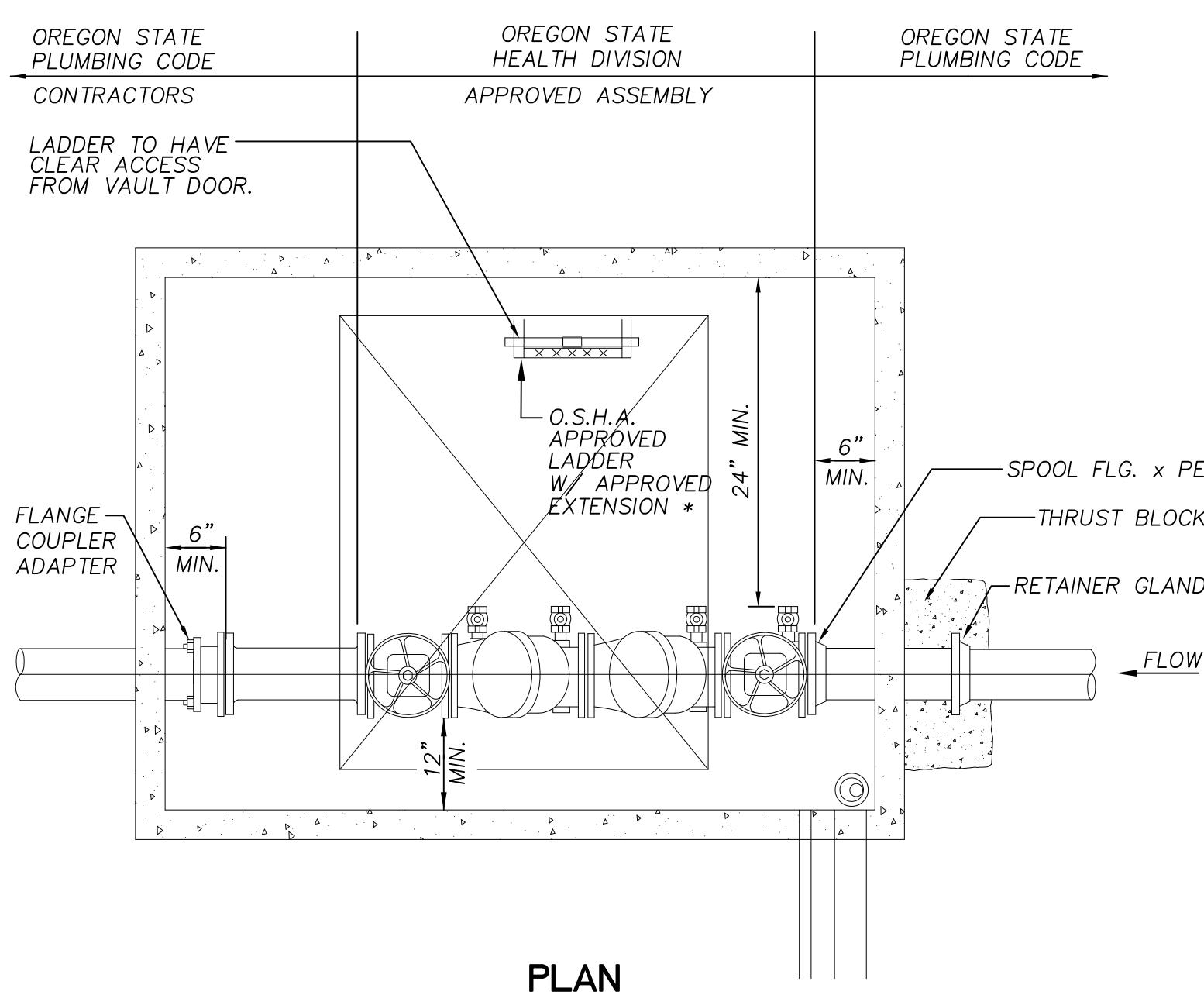
1 REGRADE AT SIDING AND VENT NTS





DRYWELL TESTING NOTES

- DRYWELL SHALL HAVE THE CAPACITY TO DISPOSE OF STORMWATER AT THE RATE OF 18 GPM.
- SHOULD DRYWELL FAIL TO TEST AT THE MINIMUM DESIGN RATE ADDITIONAL DRYWELLS MAY BE CONSTRUCTED, AS APPROVED, IN ORDER TO ACHIEVE THE REQUIRED MINIMUM DISPOSAL RATE. ALTERNATIVE DRYWELL LOCATIONS AND/OR ADDITIONAL DRYWELLS IN PIPED SERIES MUST BE PRE-APPROVED AND IDENTIFIED ON THE CONSTRUCTION DRAWINGS.
- INDICATED DRYWELL (AS NOTED ABOVE IN NOTE#1) SHALL BE TESTED BY THE CONTRACTOR, AS DIRECTED AND APPROVED BY THE BUREAU OF BUILDINGS INSPECTOR OR AUTHORIZED SPECIAL INSPECTOR THROUGH THE SPECIAL INSPECTION PROGRAM.
- DRYWELL SHALL BE TESTED AFTER CONSTRUCTION OF THE DRYWELL STRUCTURE (INCLUDING DRAIN ROCK AND PERIMETER BACKFILL) BUT PRIOR TO THE CONSTRUCTION OF THE TOP SLAB AND FINISH BACKFILL.
- NOTIFY BUREAU OF BUILDINGS INSPECTOR OR AUTHORIZED SPECIAL INSPECTOR 24 HOURS PRIOR TO BEGINNING DRYWELL TESTING.
- CONTRACTOR SHALL CONTACT CITY OF PORTLAND WATER BUREAU OR APPLICABLE WATER DISTRICT TO ARRANGE FOR DRYWELL TEST WATER SUPPLY. CONTRACTOR SHALL BEAR RESPONSIBILITY FOR SECURING ALL NECESSARY PERMITS, AUTHORIZATION AND ANY FEES.
- CONTRACTOR SHALL ARRANGE FOR THE PROVISION OF ALL DRYWELL TESTING EQUIPMENT, INCLUDING BUT NOT LIMITED TO FLOW METER (READING IN CUBIC FEET / MINUTE), PIPING, AND TRAFFIC CONTROL.
- CLEAN WATER SHALL BE PROVIDED TO TEST DRYWELL, AS APPROVED, INTRODUCTION OF SEDIMENT MAY RESULT IN FAILURE OF THE DRYWELL CAPACITY TEST.
- FILL DRYWELL WITH WATER AT AN INITIAL RATE OF 200 GPM. EVERY FIVE (5) MINUTES RECORD WATER ELEVATION. MEASURE HEIGHT FROM RIM OF TOP RING TO WATER SURFACE. WHEN WATER SURFACE IN DRYWELL REACHES A CONSTANT ELEVATION, INCREASE FLOW RATE TO 400 GPM AND RECORD ELEVATIONS. CONTINUE TO INCREASE FLOW RATE BY 200 GPM UNTIL THE WATER SURFACE RE-STABILIZES, UNTIL CAPACITY IS EXCEEDED OR DRYWELL OPERATES AT 600 gpm, WHICHEVER IS GREATER. MAXIMUM DRYWELL CAPACITY IS THE FLOW RATE FOR THE STABLE CONDITION SET PRIOR TO RATE AT WHICH CAPACITY WAS EXCEEDED.
- PROVIDE BUREAU OF BUILDINGS INSPECTOR OR AUTHORIZED SPECIAL INSPECTOR WITH RECORDED TEST DATA.

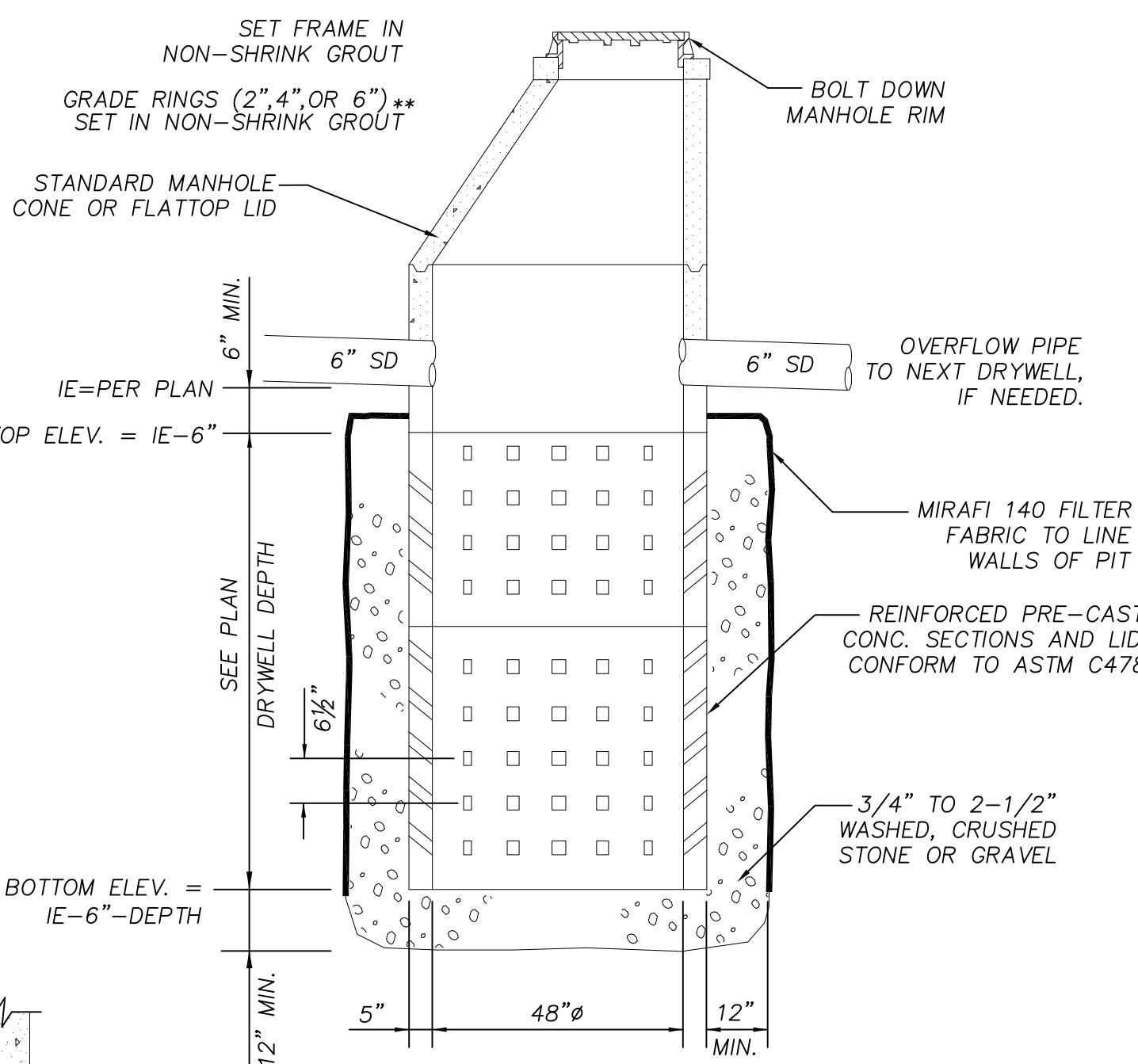


DOUBLE CHECK SIZE	UTILITY VANT	COVER
4"	577-LA	332P

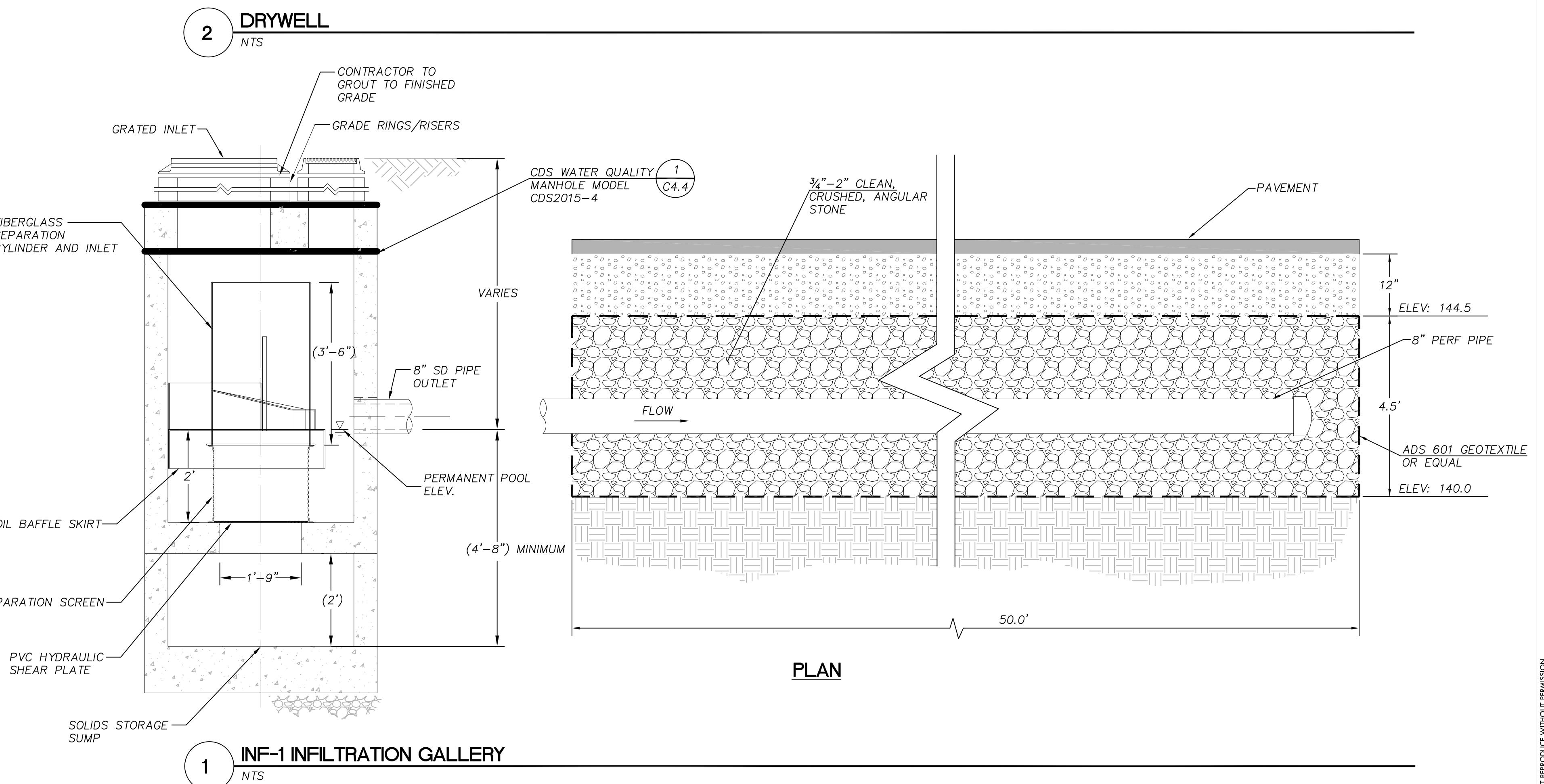
NOTES

- CONTRACTOR IS RESPONSIBLE FOR SIZING VAULTS THAT WILL ACCOMODATE SELECTED VALUES.
- PROVIDE 115V POWER SOURCE FOR 1/3 HP SUMP PUMP
- PROVIDE 2" DRAIN PIPE FORM SUMP PUMP TO PRIVATE CURB FACE

3 DOUBLE CHECK BACKFLOW PREVENTER NTS



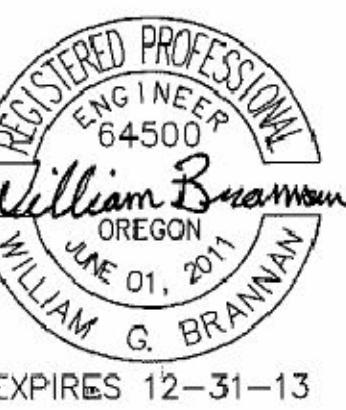
10. PROVIDE BUREAU OF BUILDINGS INSPECTOR OR AUTHORIZED SPECIAL INSPECTOR WITH RECORDED TEST DATA.



PARKWAY VILLAGE : WEST
SITE REPAIRS
SALEM HOUSING AUTHORITY

PERMIT REVIEW/BID SET

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1
CDS WQ MANHOLE - GRATED INLET (G DESIGNATION)

N.T.S.



CDS[®]
STORMWATER
SOLUTIONS
contechstormwater.com

THIS PRODUCT MAY BE PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: 5,788,402; 6,07,724; 6,11,506; 6,891,785; RELATED FOREIGN PATENTS, OR OTHER PATENTS PENDING.

PLAN VIEW
N.T.S.

SECTION A-A
N.T.S.

CDS2015-4 DESIGN NOTES

CDS2015-4 RATED TREATMENT CAPACITY IS 0.7 CFS, OR PER LOCAL REGULATIONS. MAXIMUM HYDRAULIC INTERNAL BYPASS CAPACITY IS 10.0 CFS. IF THE SITE CONDITIONS EXCEED 10.0 CFS, AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

THE STANDARD CDS2015-4 CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

DESIGNATION (MODEL SUFFIX)	CONFIGURATION DESCRIPTION
G	GRATED INLET ONLY (NO INLET PIPE)
GP	GRATED INLET WITH INLET PIPE OR PIPES
K	CURB INLET ONLY (NO INLET PIPE)
KP	CURB INLET WITH INLET PIPE OR PIPES

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	CDS-1		
WATER QUALITY FLOW RATE (CFS)	0.30		
PEAK FLOW RATE (CFS)	0.30		
RETURN PERIOD OF PEAK FLOW (YRS)	10		
SCREEN APERTURE (2400 OR 4700)	*		
PIPE DATA: I.E. MATERIAL DIAMETER			
INLET PIPE 1	*	*	
INLET PIPE 2	*	*	
OUTLET PIPE	142.25	PVC	8
RIM ELEVATION	144.50		
ANTI-FLOTATION BALLAST	WIDTH	HEIGHT	
NOTES/SPECIAL REQUIREMENTS:			
* PER ENGINEER OF RECORD			

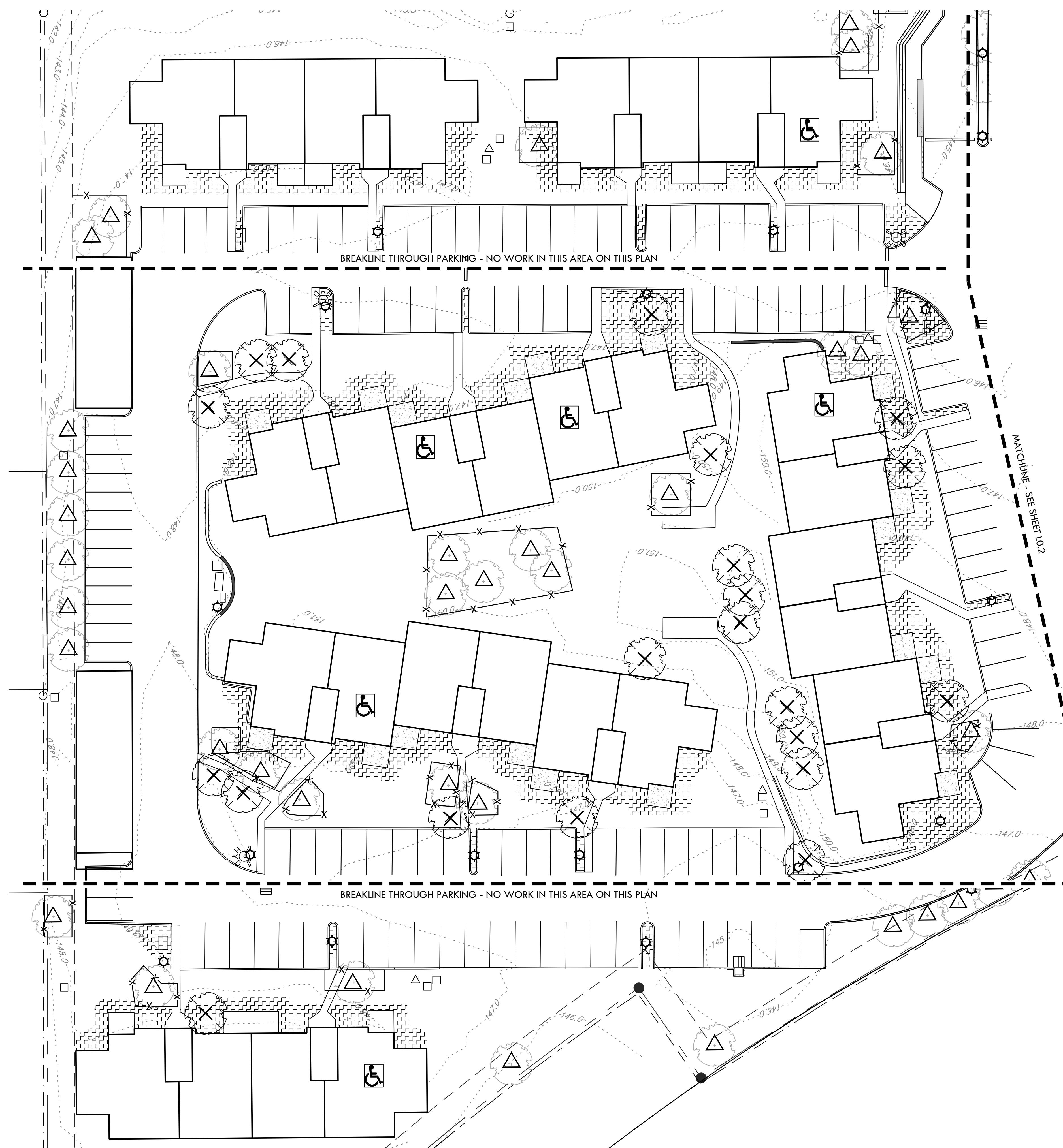
GENERAL NOTES

1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
3. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH STORMWATER SOLUTIONS REPRESENTATIVE. www.contechstormwater.com
4. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
5. STRUCTURE AND CASTINGS SHALL MEET AASHTO HS20 LOAD RATING.
6. PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

INSTALLATION NOTES

1. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
2. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
3. CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
4. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
5. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

CDS2015-4 PRECAST CONCRETE WATER QUALITY SYSTEM STANDARD DETAIL

**LEGEND**

- EXISTING TREE TO REMAIN, PRESERVE AND PROTECT
- EX. TREE TO BE REMOVED SEE CIVIL DEMOLITION PLAN
- TREE PROTECTION FENCE
- CLEAR AND GRUB EXISTING PLANT MATERIAL

GENERAL NOTES

1. WORK WITHIN TREE PROTECTION FENCING SHALL BE IN STRICT ACCORDANCE TO TREE AND PLANT PROTECTION SPECIFICATIONS. THERE SHALL BE NO EARTHWORK, TRENCHING, HEAVY EQUIPMENT, OR MATERIAL STORAGE WITHIN THE FENCE BOUNDARIES.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL SITE CONDITIONS BOTH ABOVE AND BELOW THE SURFACE OF THE GROUND PRIOR TO COMMENCING WORK. ANY DISCREPANCIES BETWEEN INFORMATION SHOWN ON THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BEGINNING WORK.
3. REFER TO CIVIL DRAWINGS FOR EXISTING UTILITIES DEMOLITION, ADJUSTMENT AND RELOCATION.
4. REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL DEMOLITION, ADJUSTMENT AND RELOCATION.
5. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REPAIR, REPLACE, OR REIMBURSE THE OWNER FOR ANY DAMAGED PLANT MATERIAL WITHIN A TREE PROTECTION ZONE.
6. CONDUCT WORK TO MINIMIZE DISTURBANCE OF ROADS, STREETS, WALKS AND ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, AND OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM THE OWNER'S REPRESENTATIVE.
7. CONTRACTOR SHALL EXERCISE CARE IN ALL OPERATIONS TO PROTECT EXISTING UNDERGROUND UTILITIES AND TO AVOID DISTURBING OR DAMAGING THEM. ANY DAMAGE RESULTING FROM THIS WORK MUST BE RESTORED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
8. EXISTING TREE CONDITIONS TO BE REVIEWED BY THE OWNER'S ARBORIST PRIOR TO COMMENCEMENT OF WORK. IF DISCREPANCIES ARISE NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY.

TREE REMOVAL CHART - EAST

QUANTITY	% OF TOTAL
21 NON-SIGNIFICANT OR HISTORIC	58%

PLANTING REMOVAL
AND PROTECTION PLANPROJ NO.
21345

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TREE REMOVAL CHART - WEST

QUANTITY	% OF TOTAL	REPLACEMENT VALUE	TOTAL REPLACED
21 NON-SIGNIFICANT OR HISTORIC	33%	1 TREE REPLACEMENT PER EACH TREE REMOVED (1:1)	38 AS REQUIRED TO MEET TREE REPLACEMENT REQ'T AND FOR MULTIPLE FAMILY LANDSCAPING REQ'T

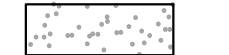
PLANTING REQUIREMENTS - WEST

REQUIREMENT	QUANTITY	REQUIRED	PROVIDED	TOTAL
GENERAL SITE				
FOR EVERY TWO THOUSAND (2,000) SQUARE FEET OF GROSS SITE AREA, PLANT AT LEAST ONE (1) TREE OR PRESERVE AT LEAST ONE EXISTING TREE.	154,427 SF	78 TREES	47 EXISTING 38 PROPOSED	85 TREES
EXTERIOR BUILDING REQUIREMENTS				
PROVIDE A MINIMUM TWO (2) PLANT UNITS ADJACENT THE PRIMARY ENTRY WAY OF A DWELLING UNIT OR COMBINATION OF DWELLING UNITS.	15 ENTRIES	30 SHRUBS	30 PROPOSED	30 TOTAL
DISTRIBUTE SHRUBS AT A MINIMUM DENSITY OF ONE (1) PLANT UNIT PER FIFTEEN (15) LINEAR FEET OF EACH EXTERIOR WALL, ASSUMED FRONT FAÇADE ONLY FOR EXISTING RENOVATION.	930 LF	62 SHRUBS	62 PROPOSED	62 TOTAL
PARKING LOT LANDSCAPING				
PLANT ONE (1) CANOPY TREE EVERY FIFTY (50) FEET ALONG THE PERIMETER OF PARKING AREAS.	1200 LF	20 TREES	12 EXISTING 10 PROPOSED	22 TREES
PLANT ONE (1) CANOPY TREE OR EQUIVALENT PLANTING UNITS WITHIN PLANTER BAYS WITH MINIMUM OF 5-FOOT WIDTH	12 BAYS	12 TREES	11 PROPOSED 10 PROPOSED	10 TREES
MINIMUM REQUIRED LANDSCAPING FOR PARKING AREAS LESS THAN 50,000SF.	43,255 SF	5% OF TOTAL	2,290 SF	2,290 SF

SITE PLANT SCHEDULE

SYMB	KEY	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION	SPACING	DTL/REF
		TREES				
ACFR		ACER X FREEMANII 'JEFFSRED'	AUTUMN BLAZE MAPLE	1.5" CAL./B&B	AS SHOWN	1/L4.1
CACA		CARPINUS CAROLINIANA 'PALISADE CCSQU'	PALISADE AMERICAN HORNBEEAM	1.5" CAL./B&B	AS SHOWN	1/L4.1
CEJA		CERCIDiphyllum JAPONICUM	KATSURA TREE	1.5" CAL./B&B	AS SHOWN	1/L4.1
COAL		CORNUS ALTERNIFOLIA	PAGODA DOGWOOD	1.5" CAL./B&B	AS SHOWN	1/L4.1
GLTR		GLEDTISIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	1.5" CAL./B&B	AS SHOWN	1/L4.1
FRAM		FRAXINUS AMERICANA 'AUTUMN APPLAUSE'	AUTUMN APPLAUSE ASH	1.5" CAL./B&B	AS SHOWN	1/L4.1
		SHRUBS AND GROUND COVERS				
AB		ABELIA GRANDIFLORA	GLOSSY ABELIA	2 GAL. CONT.	AS SHOWN	2/L4.1
LP		LONICERA PILEATA	PRIVET HONEYSUCKLE	1 GAL. CONT.	AS SHOWN	2/L4.1
MG		LAVANDULA ANGUSTIFOLIA 'HIDCOTE'	HIDCOTE LAVENDER	1 GAL. CONT.	AS SHOWN	2/L4.1
MA		MAHONIA NERVOSA	MAHONIA	1 GAL. CONT.	AS SHOWN	2/L4.1
ND		NANDINA DOMESTICA 'GULF STREAM'	GULF STREAM HEAVENLY BAMBOO	1 GAL. CONT.	AS SHOWN	2/L4.1
PH		PIERIS JAPONICA 'LITTLE HEATH'	LITTLE HEATH ANDROMEDA	1 GAL. CONT.	AS SHOWN	2/L4.1
PT		PINUS MUGO VAR TYROLEAN	DWARF MUGO PINE	2 GAL. CONT.	AS SHOWN	2/L4.1
PM		POLYSTICHUM MUNITUM	WESTERN SWORD FERN	1 GAL. CONT.	AS SHOWN	2/L4.1
PL		PRUNUS LAUROCERASUS 'MT VERNON'	DWARF ENGLISH LAUREL	1 GAL. CONT.	AS SHOWN	2/L4.1
RD		RHODODENDRON 'GLACIER'	GLACIER EVERGREEN AZALEA	2 GAL. CONT.	AS SHOWN	2/L4.1
VB		VIBURNUM DAVIDII	DAVID'S VIBURNUM	1 GAL. CONT.	AS SHOWN	2/L4.1
VT		VIBURNUM TINUS	KOREAN SPICE VIBURNUM	2 GAL. CONT.	AS SHOWN	2/L4.1
		PERENNIALS AND GRASSES				
		HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	1 GAL. CONT.	AS SHOWN	2/L4.1

LEGEND

	RESEED TURF LAWN WITHIN LIMITS OF DISTURBANCE (SEE CIVIL DRAWINGS FOR ADDITIONAL LIMITS OF DISTURBANCE)
	WOOD MULCH
	EXISTING TREES

PLANTING NOTES:

- CONTRACTOR TO VERIFY LOCATION OF EXISTING TREES INDICATED TO REMAIN PRIOR TO SOIL PREPARATION. PROTECT ALL TREES AND SHRUBS INDICATED TO REMAIN. COORDINATE WITH THE OWNER'S REPRESENTATIVE.
- PLANTING AREAS TO BE SUFICIENTLY CLEANED OF ALL CONSTRUCTION MATERIALS, INCLUDING IMPORTED ROCK, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE BEFORE BEGINNING ANY LANDSCAPE WORK.
- IDENTIFY ALL PLANTING AREAS FIELD WITH WHITE FIELD-MARKING CHALK OR APPROVED EQUAL. PLANTING BEDS TO BE ADJUSTED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLANT LOCATION.
- FOR PLANTING OCCURRING IN MASSES OF SAME PLANT SPECIES, LABELING REFERS TO ALL ADJACENT IDENTICAL SYMBOLS. REFER TO DETAILS AND LEGEND FOR SPACING INFORMATION.
- THE OWNER'S REPRESENTATIVE WILL APPROVE INDIVIDUAL PLANT MATERIAL AND LOCATION OF PLANT MATERIAL PRIOR TO INSTALLATION. REFER TO SPECIFICATIONS FOR PROCEDURE.
- SHRUBS AND GROUNDCOVER TO BE PLANTED A MINIMUM OF ONE HALF THEIR ON CENTER SPACING AWAY FROM PAVEMENT EDGES; UNLESS OTHERWISE NOTED.
- ALL AREAS DISTURBED BY CONSTRUCTION NOT RECEIVING PLANT MATERIAL OR LAWN AS SHOWN ON THE PLANS TO RECEIVE WOOD MULCH AS STATED IN THE SPECIFICATIONS, COORDINATE WITH OWNERS REPRESENTATIVE.
- ALL PROPOSED PLANTING AREAS AND ADJACENT EXISTING PLANTING AREAS WITHIN THE LIMIT OF WORK TO RECEIVE WOOD MULCH AS STATED IN THE SPECIFICATIONS.
- ALL TREES IN LAWN TO RECEIVE 4-FOOT MIN. DIAMETER BARK MULCH RING. MULCH DEPTH TO BE MAX. 3-INCHES UNLESS NOTED OTHERWISE.

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KEY PLAN - NOT TO SCALE



PLANTING PLAN

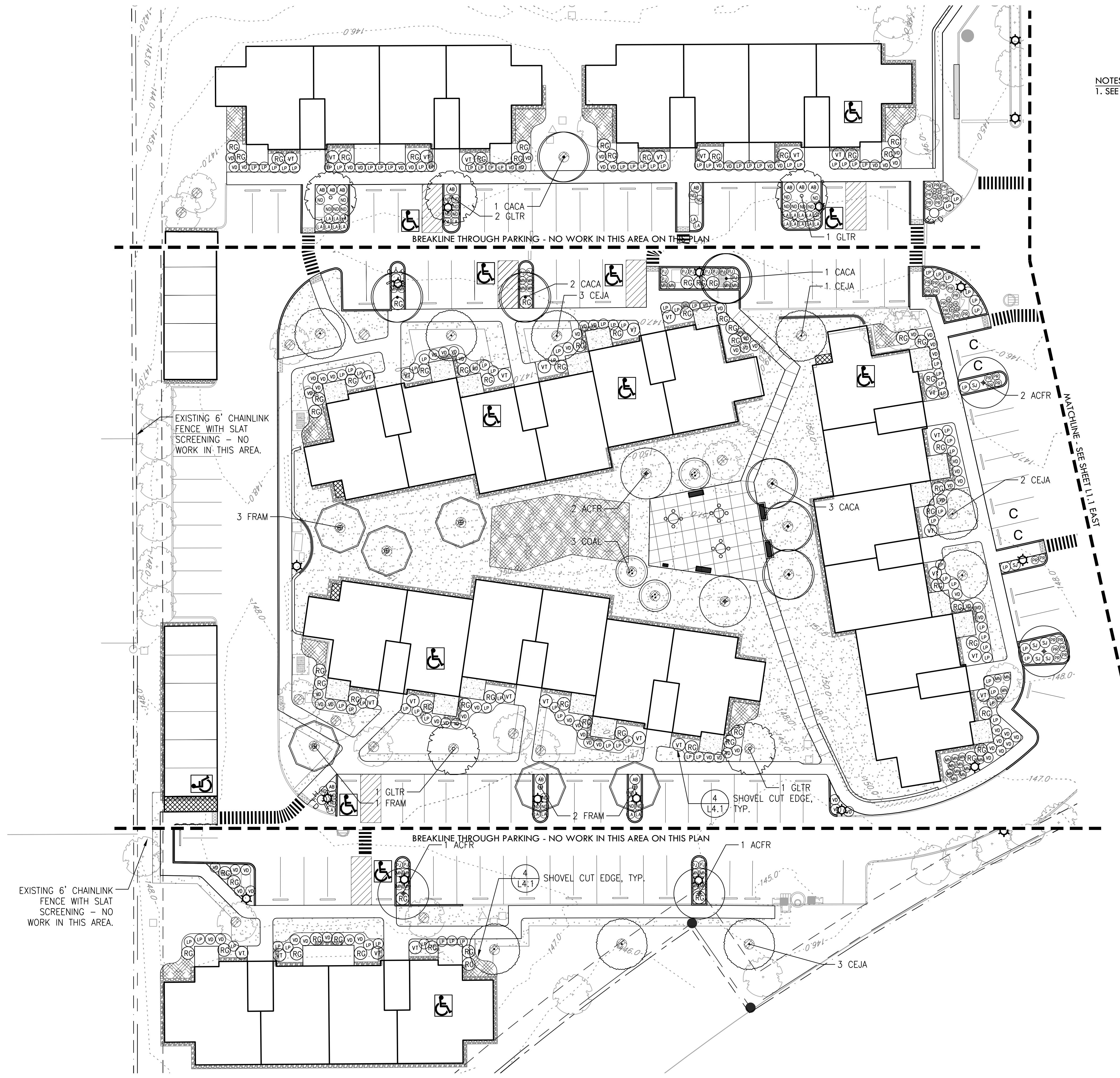
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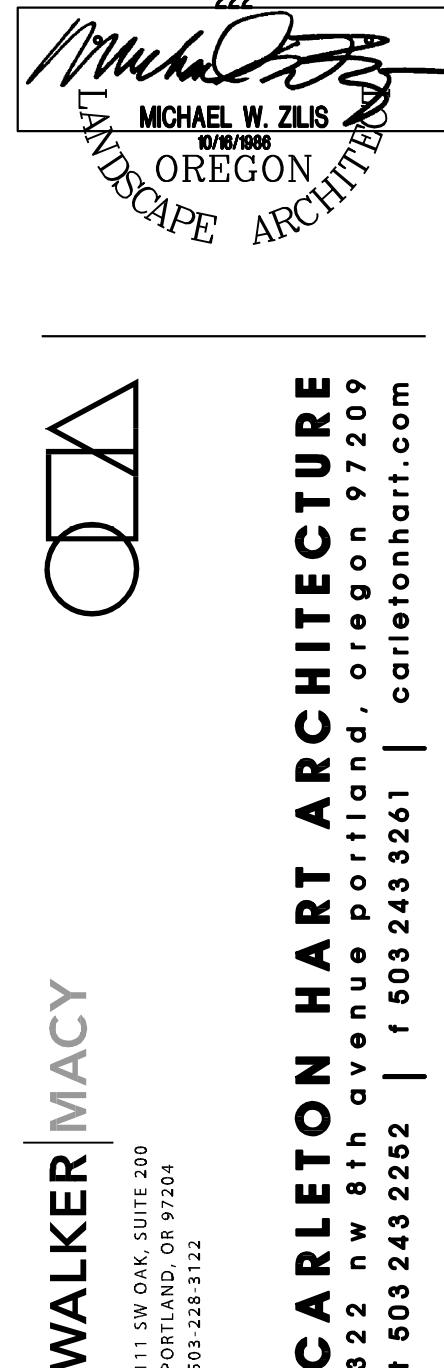
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NOTES:
1. SEE SHEET L1.0 FOR LEGENDS AND NOTES



**GENERAL IRRIGATION NOTES**

- INSPECT THE SITE AND VERIFY CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY DISCREPANCIES AFFECTING SYSTEM PERFORMANCE PRIOR TO BEGINNING WORK.
- INSTALL IRRIGATION SYSTEM IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
- IRRIGATION HEADS AND PIPES ARE TO BE PLACED WITHIN LANDSCAPED AREAS WITH THEIR LOCATIONS MODIFIED AS REQUIRED TO AVOID PLANT MATERIALS, UTILITIES AND OTHER OBSTRUCTIONS. PLACE LINES IN COMMON TRENCHES WHERE POSSIBLE.
- COORDINATE ALL IRRIGATION WORK WITH OTHER TRADES INVOLVED.
- ALL VALVE BOXES WILL BE PLACED IN A MANNER WHICH FACILITATES ACCESS FOR MAINTENANCE. LOCATE VALVE BOXES IN SHRUB AND GROUNDCOVER AREAS WHEREVER POSSIBLE. SIZE BOXES TO ACCOMMODATE COMPLETE VALVE ASSEMBLY INCLUDING UNIONS.
- ALL COMPONENTS OF IRRIGATION SYSTEM SHALL BE INSTALLED AND ADJUSTED TO PROVIDE 100 PERCENT HEAD-TO-HEAD COVERAGE AND ELIMINATE OVERSPRAY ONTO BUILDINGS, ROADS, AND PATHS. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE WORKING SYSTEM.
- INSTALL ALL IRRIGATION PIPES AND CONTROL WIRES IN SEPARATE PVC SLEEVES BELOW ALL PAVED SURFACES. COORDINATE PLACEMENT OF SLEEVES WITH APPLICABLE TRADES.

LATERAL LINE SIZING CHART

SCHEDULE 40 PVC

3/4"	UP TO 8 GPM	2"	UP TO 50 GPM
1"	UP TO 12 GPM	2-1/2"	UP TO 70 GPM
1-1/2"	UP TO 30 GPM		

NOTE: VELOCITY THROUGH PIPE IS NOT TO EXCEED 4.5 FEET PER SECOND (FPS) IN ACCORDANCE WITH INDUSTRY STANDARD. PRESSURE LOSS DUE TO PIPE FRICTION IN ANY ONE CIRCUIT IS NOT TO EXCEED 10% OF AVAILABLE STATIC PRESSURE.

IRRIGATION EQUIPMENT SCHEDULE - AS NECESSARY

SYMBOL	DESCRIPTION	MANUF.	TYPE / MODEL	DTL/SHEET
●	REMOTE CONTROL VALVE	HUNTER	ICV-XXXG	8/L3.1
▲	QUICK COUPLING VALVE	HUNTER	HQ-44RC	6/L3.1
■	ISOLATION VALVE	APOLLO	70-100-10	5/L3.1
••	LOW VOLUME TEMP.	HUNTER	SOLO DRIP OR EQUAL	9/L3.1
SHRUB: 2'-17'	SPRAYHEADS	HUNTER	PROS-06-"CV" AS REQ'D. WITH PRO ADJUSTABLE & FIXED NOZZLES	2/L3.1
LAWN: 13'-30'	ROTATORHEADS	HUNTER	PRS40-"CV" AS REQ'D. WITH MP2000 & MP3000 NOZZLES ON 6" POP-UP	1/L3.1
LAWN: 17'-46'	ROTARHEADS	HUNTER	I-20-06	1/L3.1
— — —	MAINLINE - SIZE TO MATCH EX.	—	SCH 40 PVC	4/L3.1
— — —	LATERAL LINE, SIZE PER FLOW	—	SCH 40 PVC	4/L3.1
— — —	SLEEVE, MIN. SIZE 2X PIPE DIA.	—	CLASS 200 PVC	3/L3.1

USE DRAIN
CHECK VALVE IN
SPRAY & ROTOR
HEAD BODIES
TO PREVENT
LOW HEAD
DRAINAGE

EXISTING IRRIGATION EQUIPMENT

SYMBOL	DESCRIPTION	MANUF.	TYPE
C-1	EXISTING CONTROLLER "1"	VERIFY IN FIELD	PROTECT & REUSE
C-2	EXISTING CONTROLLER "2"	VERIFY IN FIELD	PROTECT & REUSE
	BACKFLOW PREVENTER	VERIFY IN FIELD	PROTECT & REUSE
	METER	VERIFY IN FIELD	PROTECT & REUSE

IRRIGATION METHOD KEY

	POP-UP HEADS FOR PLANTING AREAS: 6" MIN. POP-UP HEIGHT
	POP-UP HEADS FOR LAWN AREAS: 6" MIN. POP-UP HEIGHT

DESIGN BUILD IRRIGATION NOTES

- SUBMIT SHOP DRAWINGS (IRRIGATION PLANS) TO ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.
- USE THIS SCHEMATIC IRRIGATION PLAN AND SPECIFICATION SECTION 328510 "PLANTING IRRIGATION - DESIGN-BUILD" AS BASIS OF DESIGN.
- LOCATE ALL EXISTING IRRIGATION POINTS-OF CONNECTION (P.O.C.) AND DETERMINE STATIC WATER PRESSURE AT EACH THE P.O.C. PRIOR TO PREPARING SHOP DRAWINGS.
- TEST ALL EXISTING BACKFLOW PREVENTION DEVICES AT EXISTING P.O.C.'S AND REPAIR OR REPLACE BACKFLOWS NOT PROVIDING PROTECTION FROM CROSS CONTAMINATION
- LOCATE ALL EXISTING IRRIGATION CONTROLLERS AND TEST FOR PROPER FUNCTIONING.
- ESTABLISH MINIMUM OPERATING PRESSURE (PSI) AND MAXIMUM DEMAND (GPM) REQUIRED FOR IRRIGATION SYSTEM DESIGN, AND PROVIDE INFORMATION IN AN IRRIGATION LEGEND.
- PROVIDE IRRIGATION LEGEND ON SHOP DRAWINGS SHOWING PROPOSED EQUIPMENT DESCRIPTION, MANUFACTURER, MODEL NUMBER, SIZE, AND REMARKS AS NECESSARY.
- IRRIGATION VALVES ARE TO BE LABELED WITH STATION NUMBER, VALVE SIZE AND TOTAL GPM ON THE SHOP DRAWING.
- IRRIGATION LATERALS ARE TO BE SIZED ON THE SHOP DRAWING BEGINNING AT THE VALVE AND CONTINUING IN DIRECTION OF FLOW TO THE LAST HEAD. LABEL REDUCTIONS IN PIPE SIZE BEGINNING DOWNSTREAM OF NEAREST FITTING.
- ALL LAWNS AND PLANTING AREAS TO BE AUTOMATICALLY IRRIGATED WITH OVERHEAD IRRIGATION.
- LAWNS AND PLANTING AREAS WITH DIFFERENT SOLAR EXPOSURES SHALL BE VALVED SEPARATELY.
- LAWNS AND PLANTING AREAS WITH DIFFERENT GRADIENTS OF SLOPE SHALL BE VALVED SEPARATELY.
- FINISH LAWN AREAS SHALL BE VALVED SEPARATELY FROM PLANTING AREAS.
- TREE BUBBLERS SHALL BE VALVED SEPARATELY.
- DAYLIGHT MAINLINE MANUAL DRAIN VALVE INTO DRAINAGE SYSTEM.
- LOCATE QUICK COUPLING VALVES AT ENDS OF ALL MAINLINE RUNS TO FACILITATE DRAINING OF MAINLINE.
- USE TRIANGULAR SPACING FOR HEAD LAYOUT WHEREVER POSSIBLE.

KEY PLAN - NOT TO SCALE



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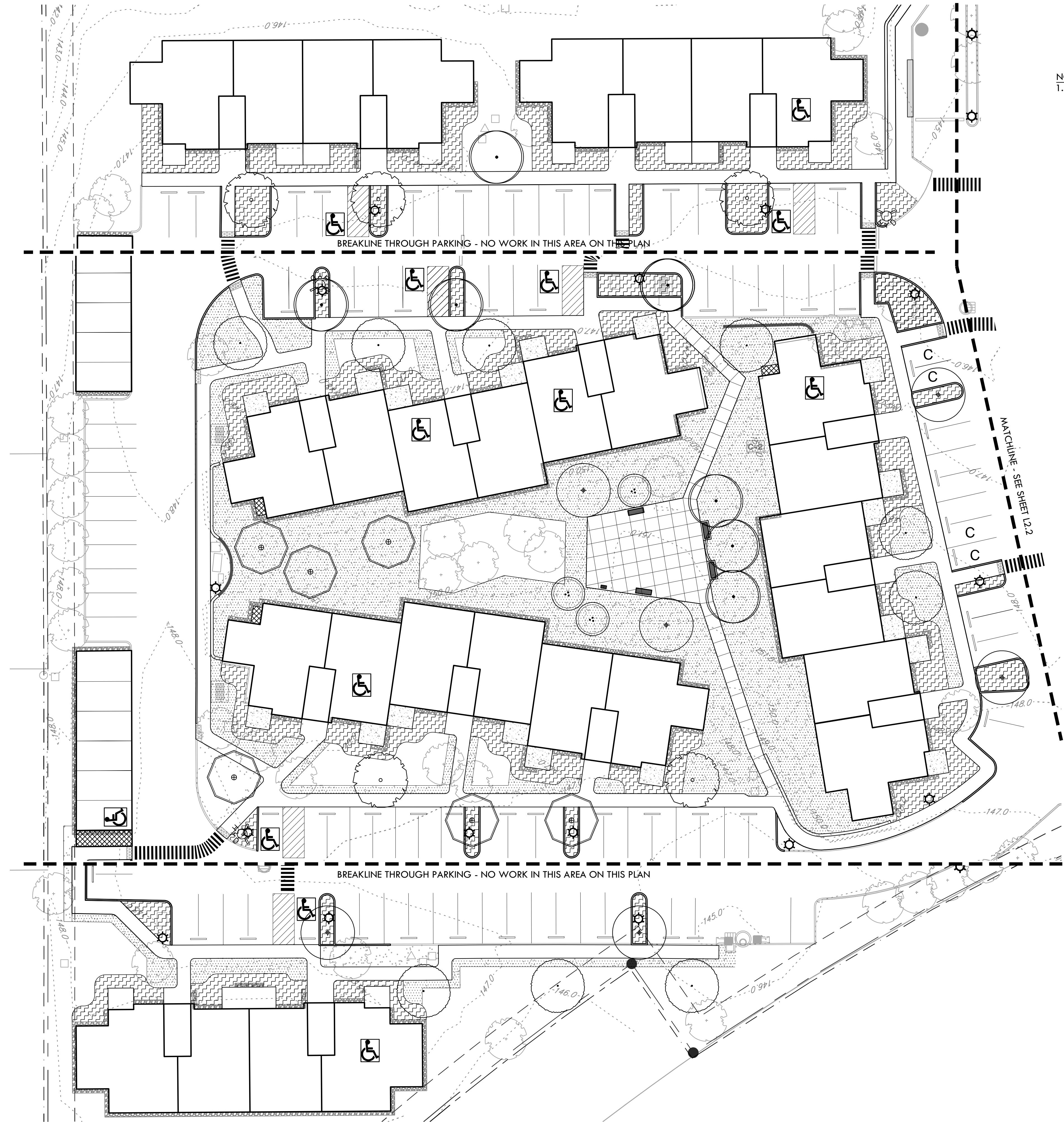
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L2.1

NOTES:
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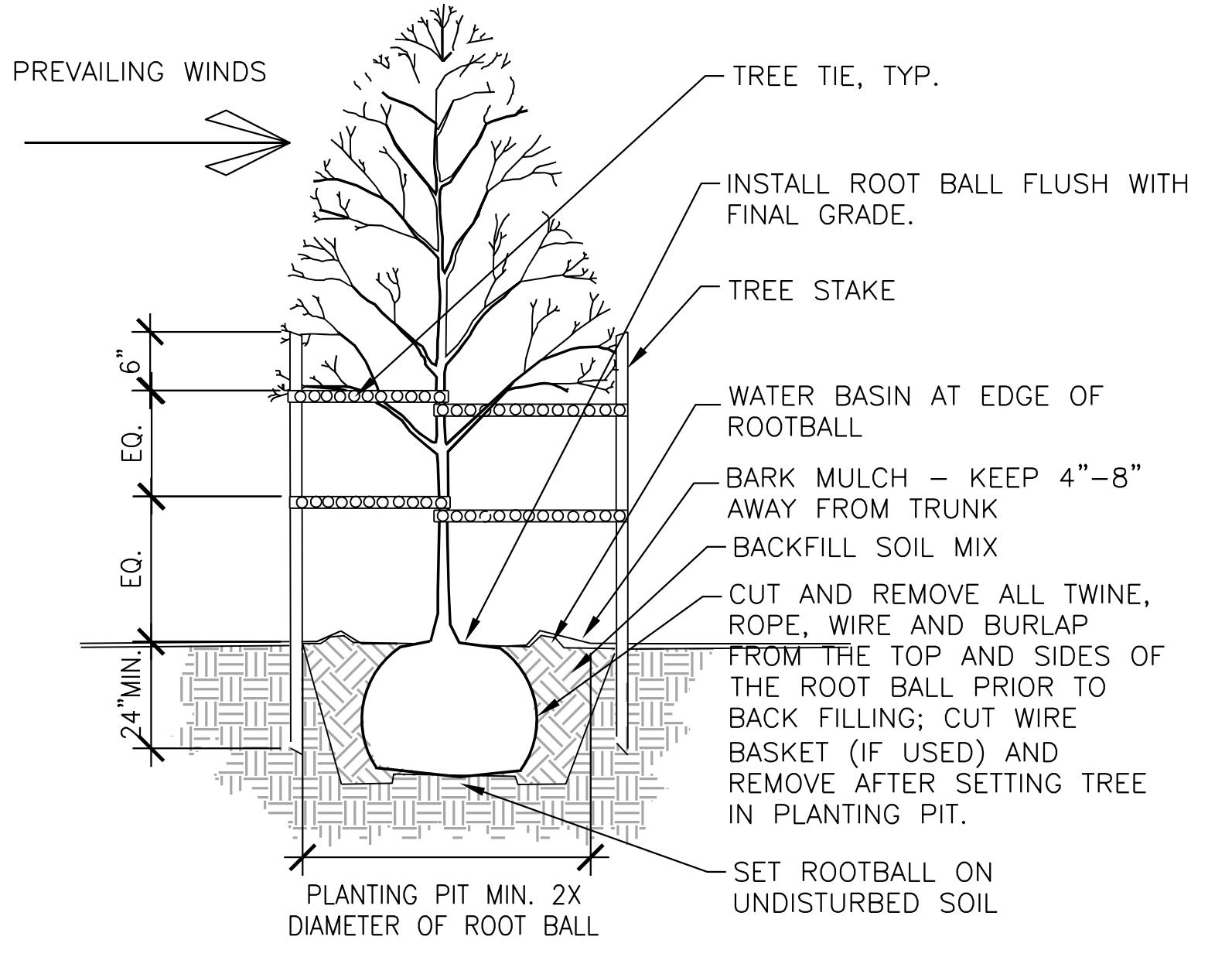
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IRRIGATION PLAN

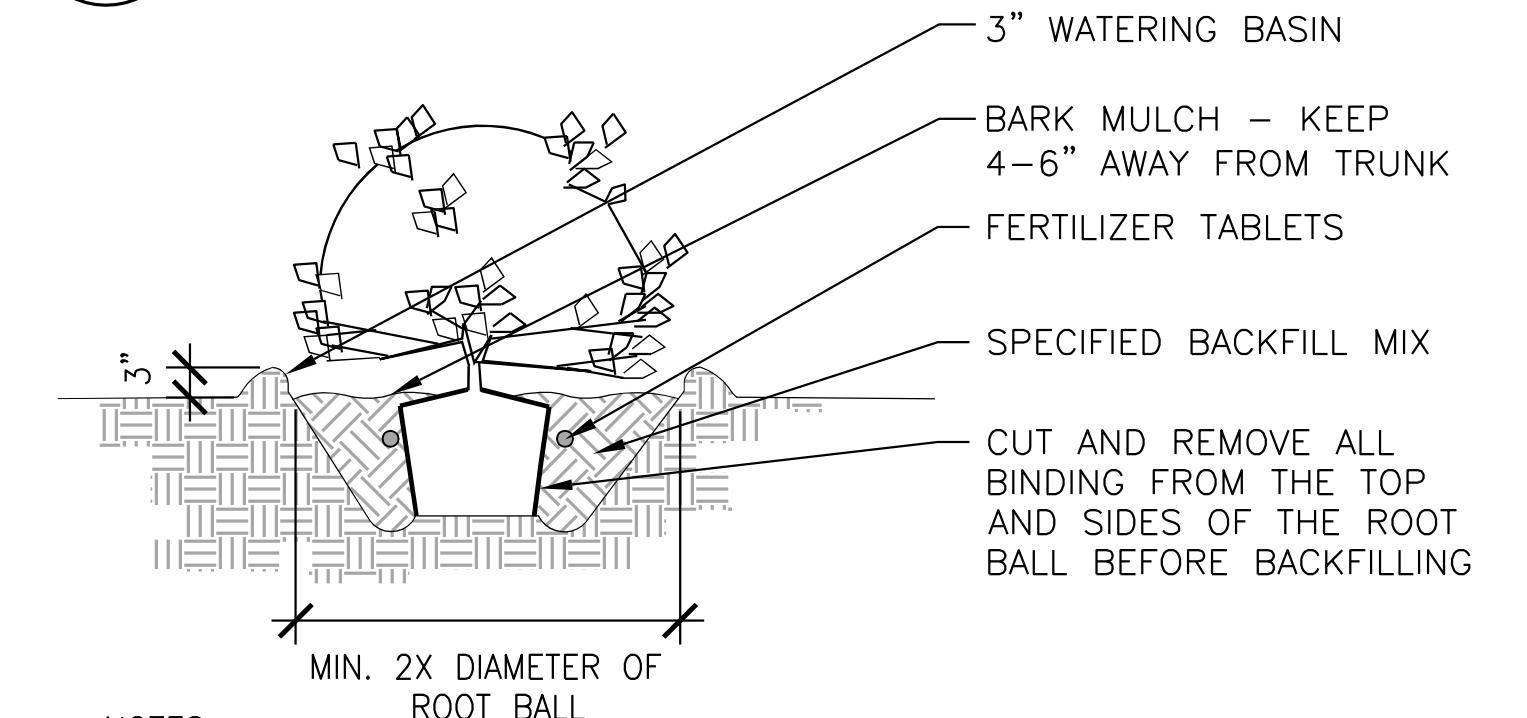
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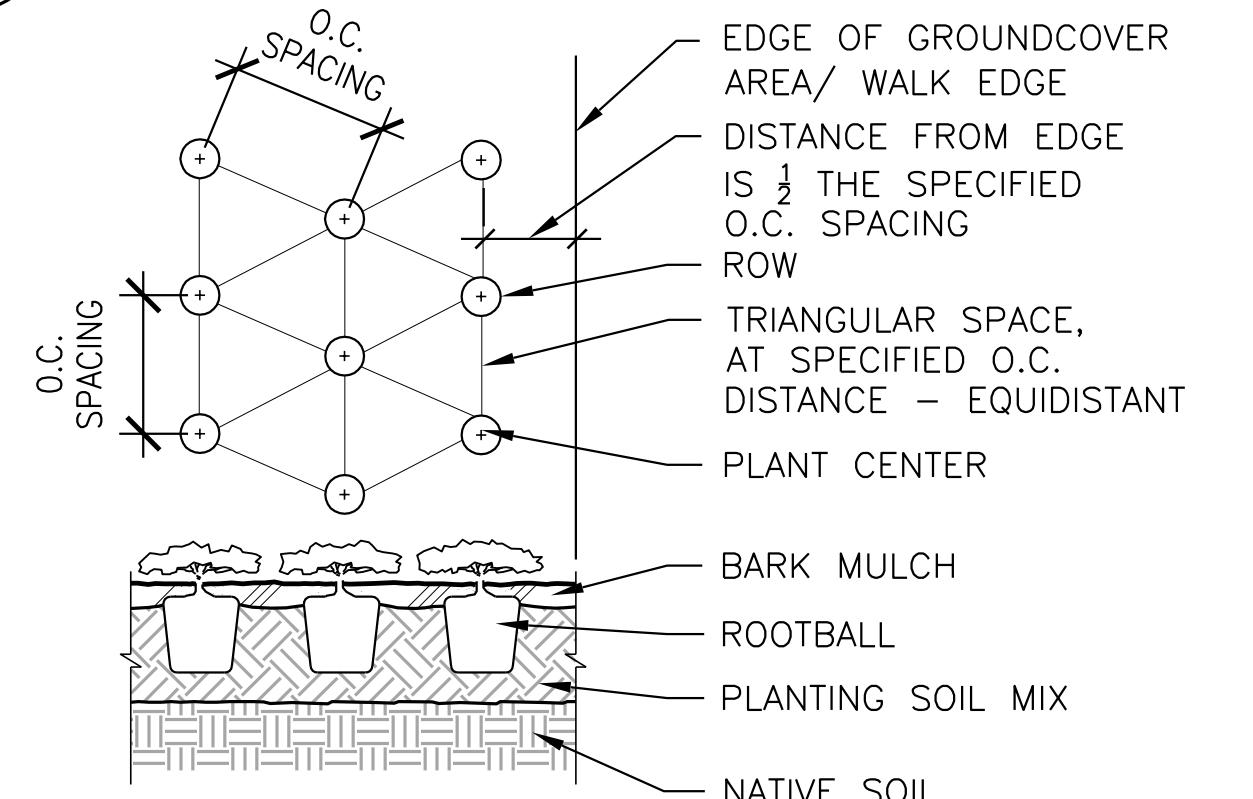
NOTES:
1. 24" MIN. TOPSOIL DEPTH FOR ALL PLANTING AREAS.
2. 36" MIN. TOPSOIL DEPTH FOR ALL PLANTING AREAS ABOVE ROCK OR FILL MATERIALS.

1 DECIDUOUS TREE PLANTING AND STAKING
SECTION



NOTES:
1. 24" MIN. TOPSOIL DEPTH FOR ALL PLANTING AREAS.
2. 36" MIN. TOPSOIL DEPTH FOR ALL PLANTING AREAS ABOVE ROCK OR FILL MATERIALS.

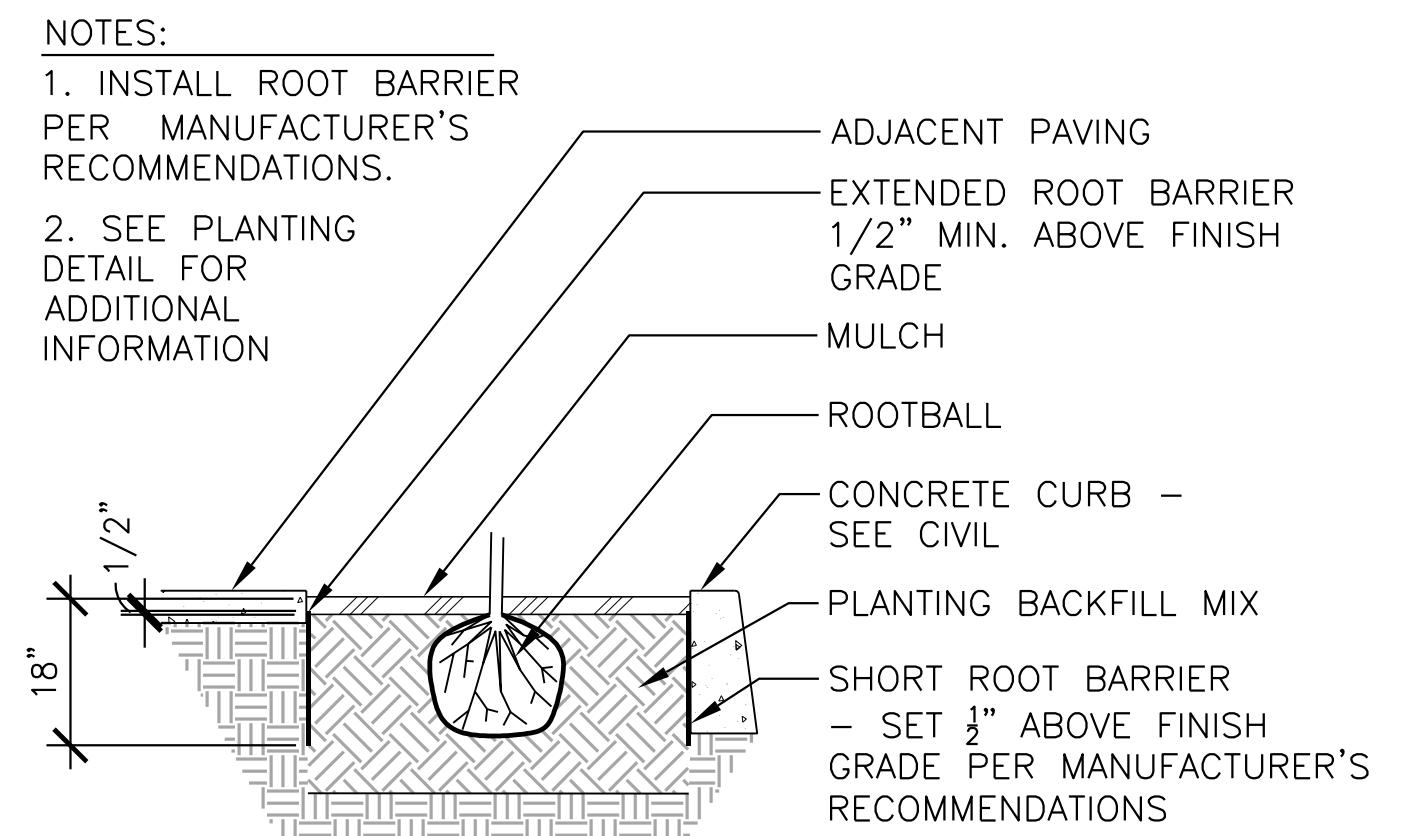
2 SHRUB AND GROUND COVER PLANTING
SECTION



NOTES:
1. 24" MIN. TOPSOIL DEPTH FOR ALL PLANTING AREAS.
2. 36" MIN. TOPSOIL DEPTH FOR ALL PLANTING AREAS ABOVE ROCK OR FILL MATERIALS.
3. KEEP COMPOST APPROX. 2" OFF PLANT TRUNK OR STEM.
4. SEE PLANT SCHEDULE FOR EACH PLANT'S APPROPRIATE O.C. SPACING.

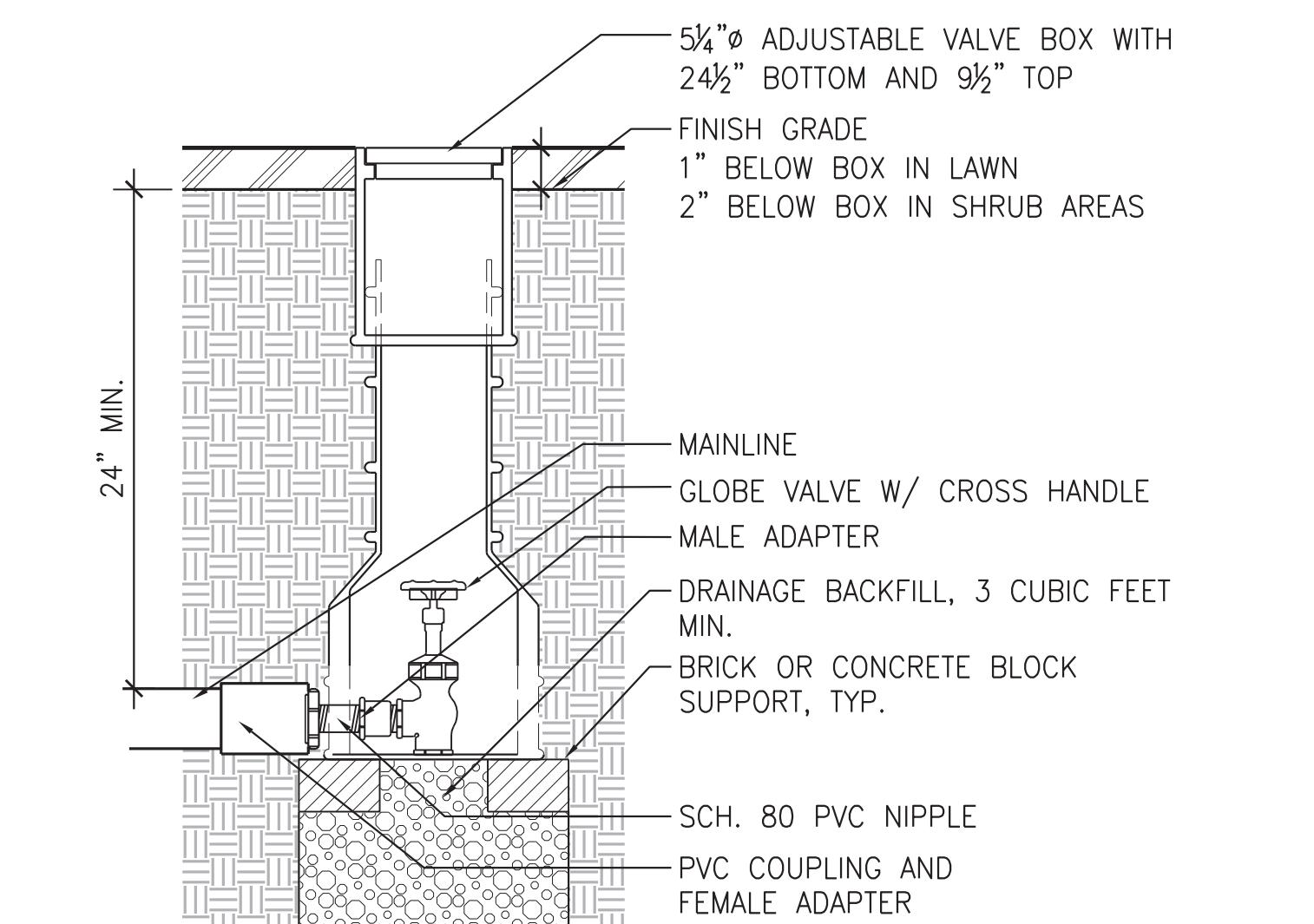
3 SHRUB AND GROUND COVER SPACING
SECTION

4 SHOVEL CUT PLANTING EDGE
SECTION

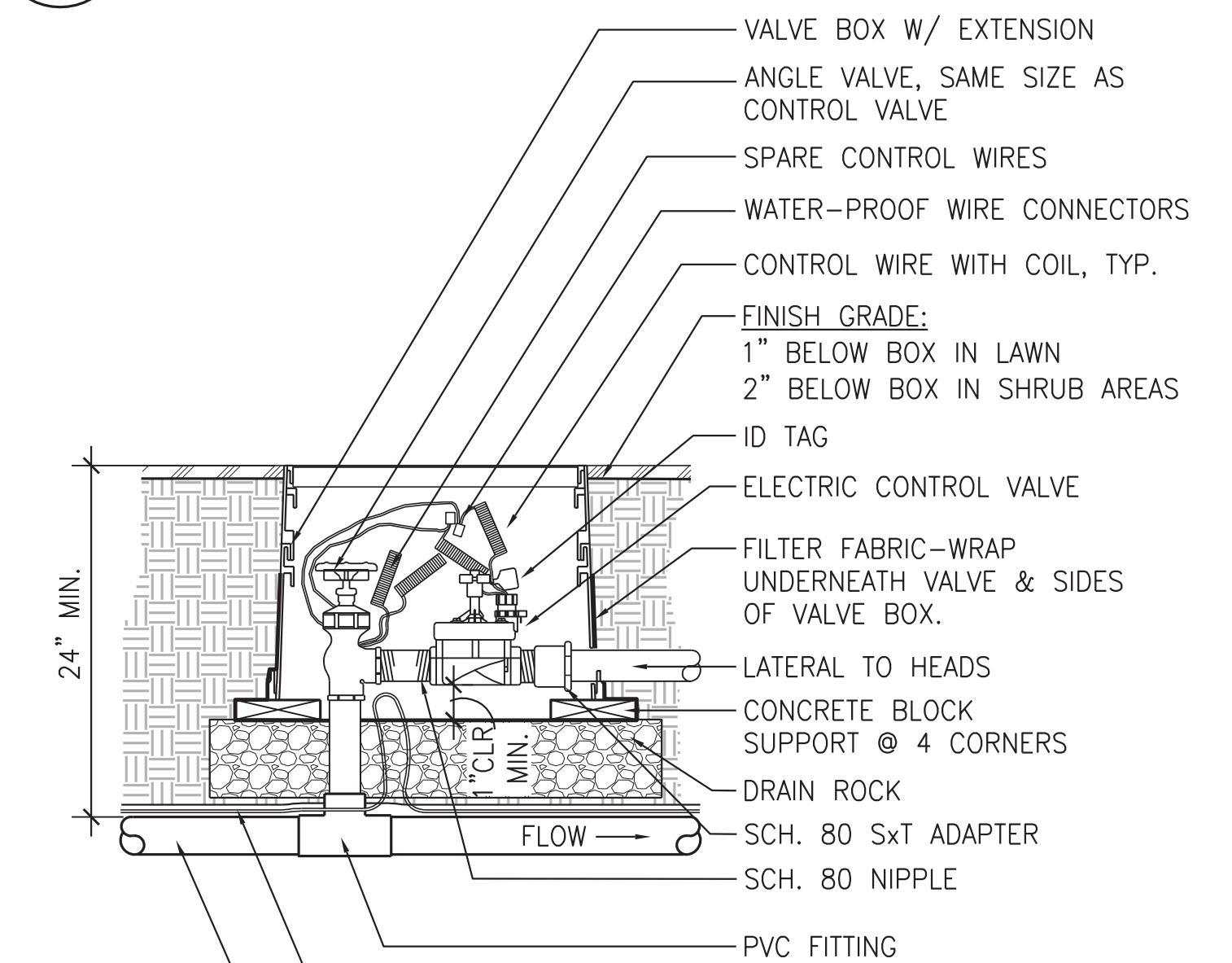


5 LINEAR ROOT BARRIER
SECTION

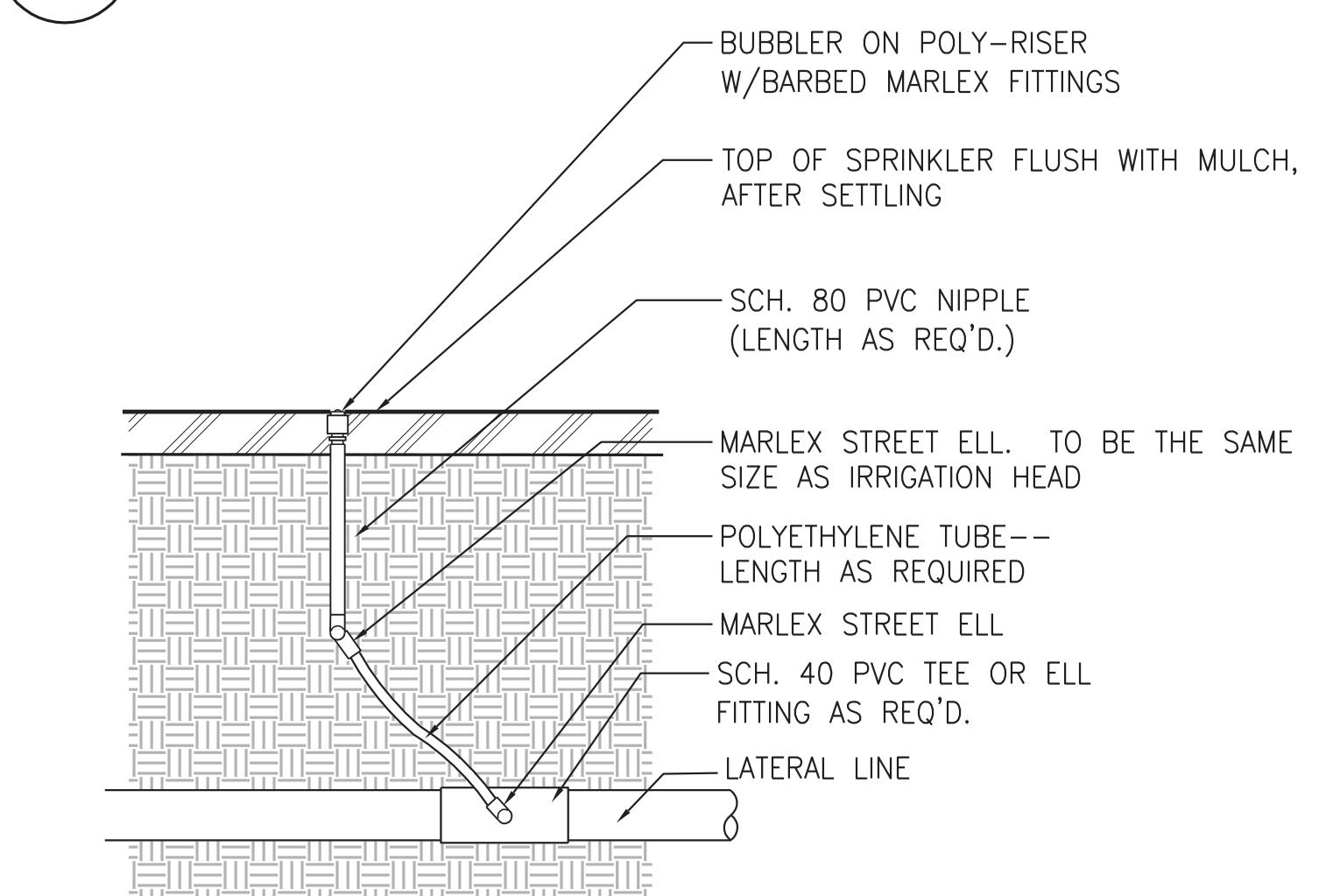
PLANTING DETAILS
PROJ NO.
21345
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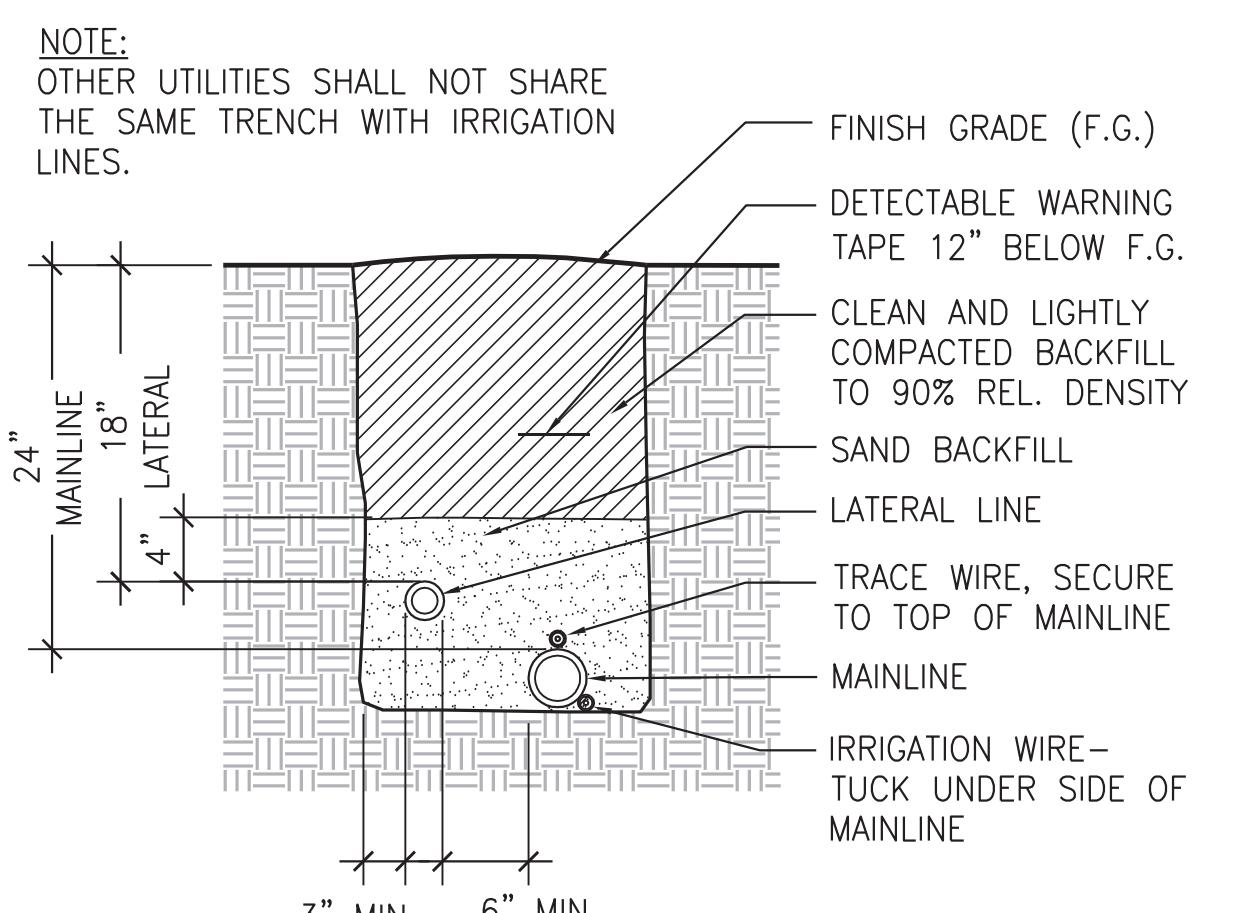
7 DRAIN VALVE
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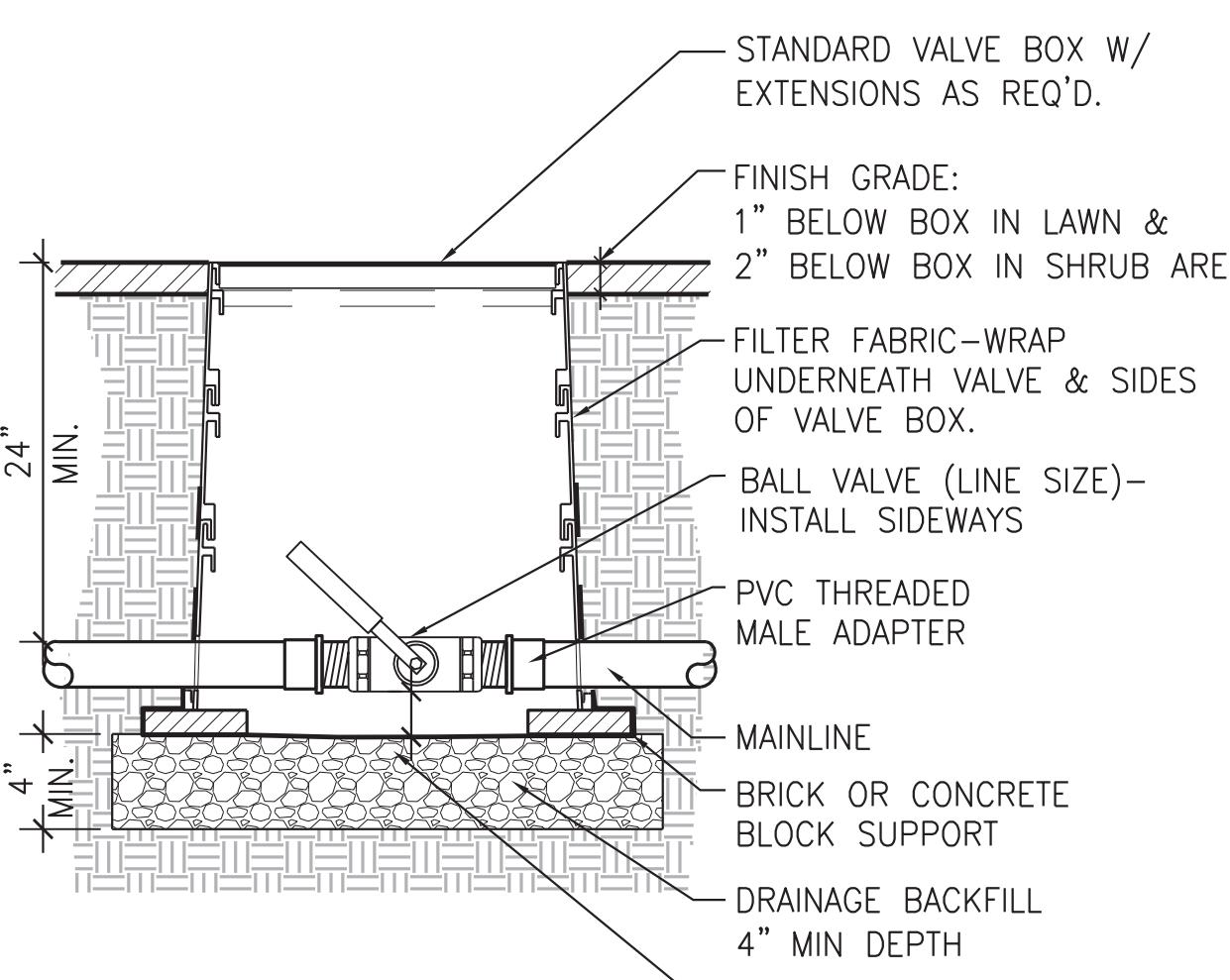
8 REMOTE CONTROL VALVE
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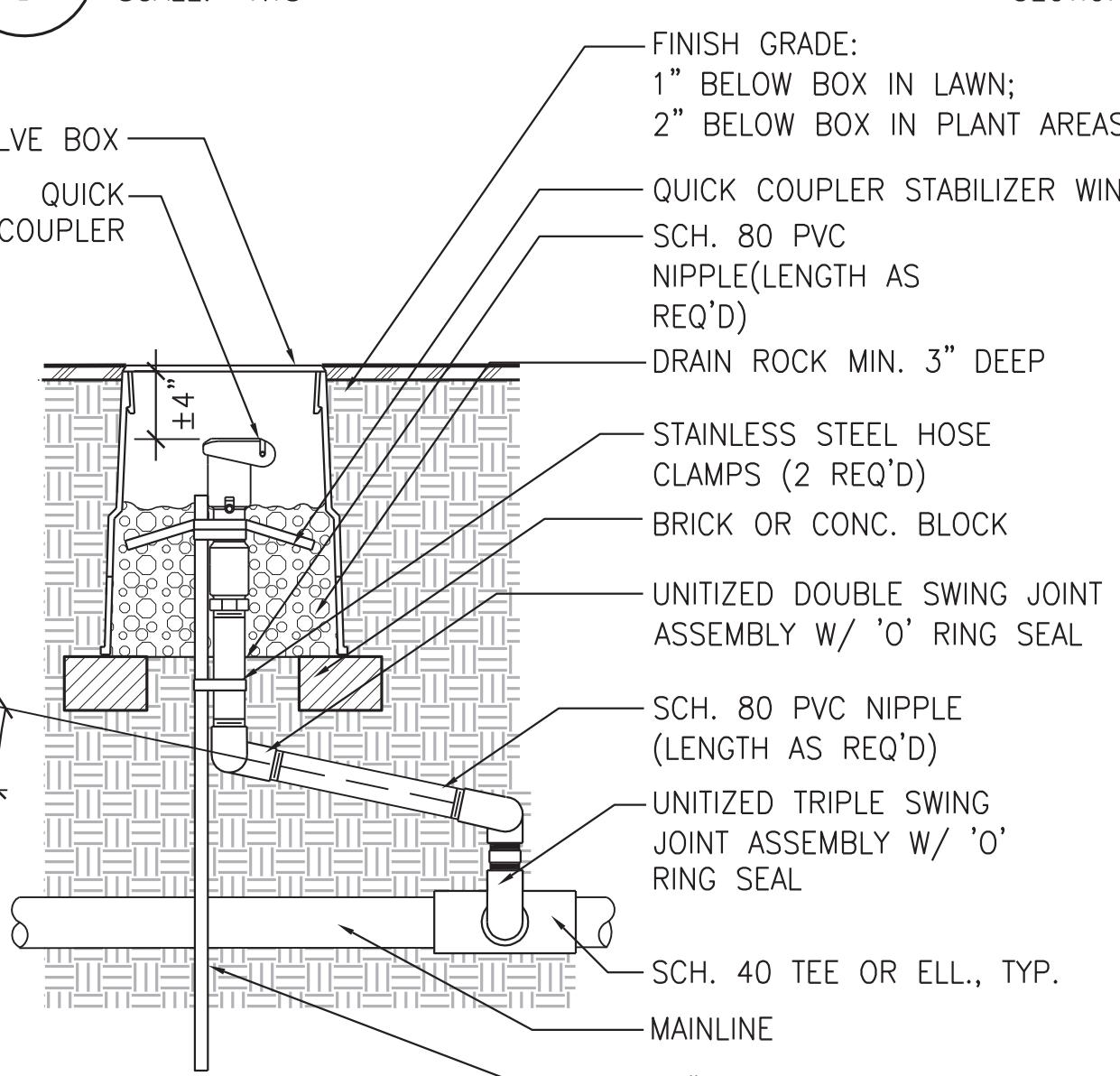
9 IRRIGATION BUBBLER
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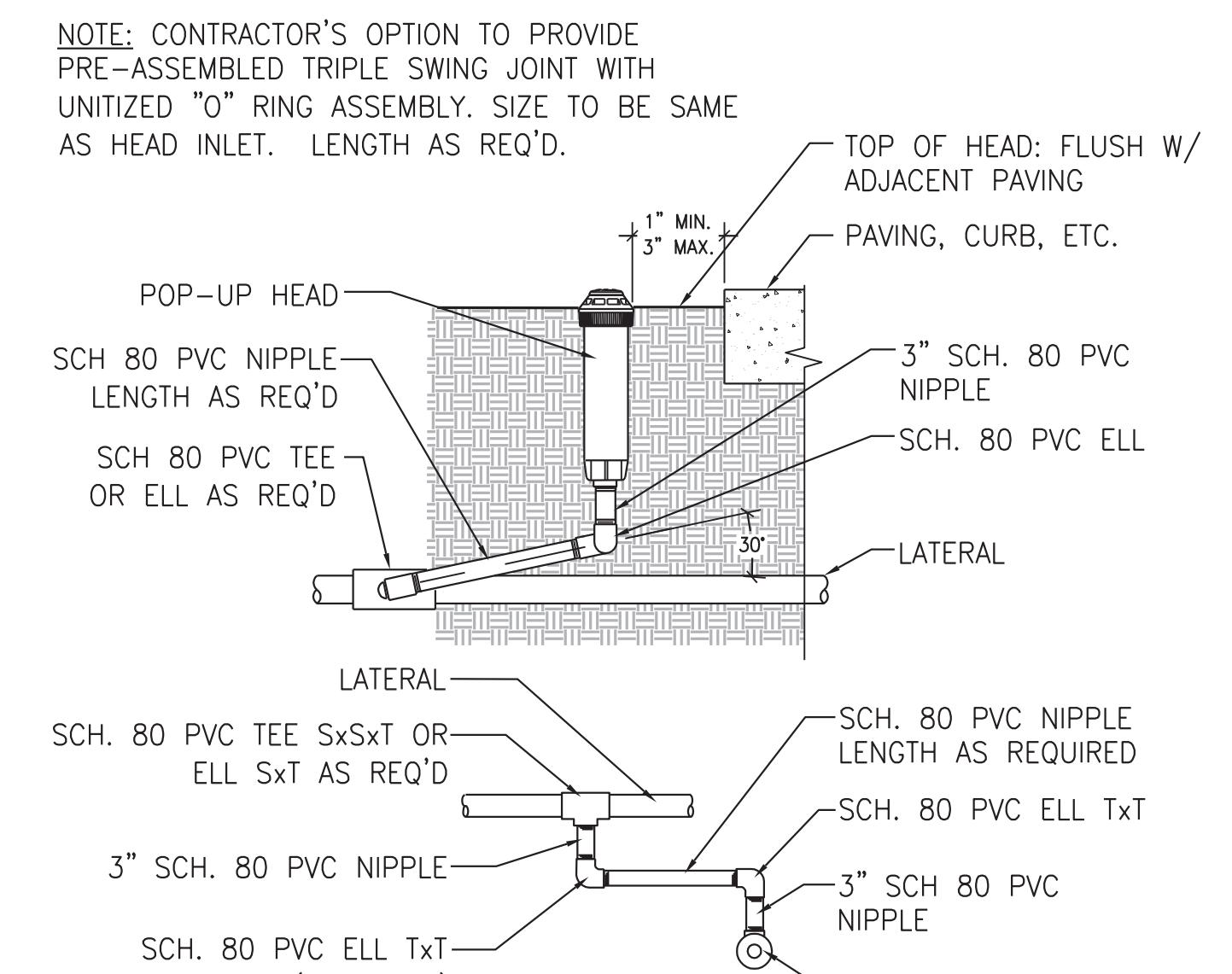
4 PIPE TRENCH
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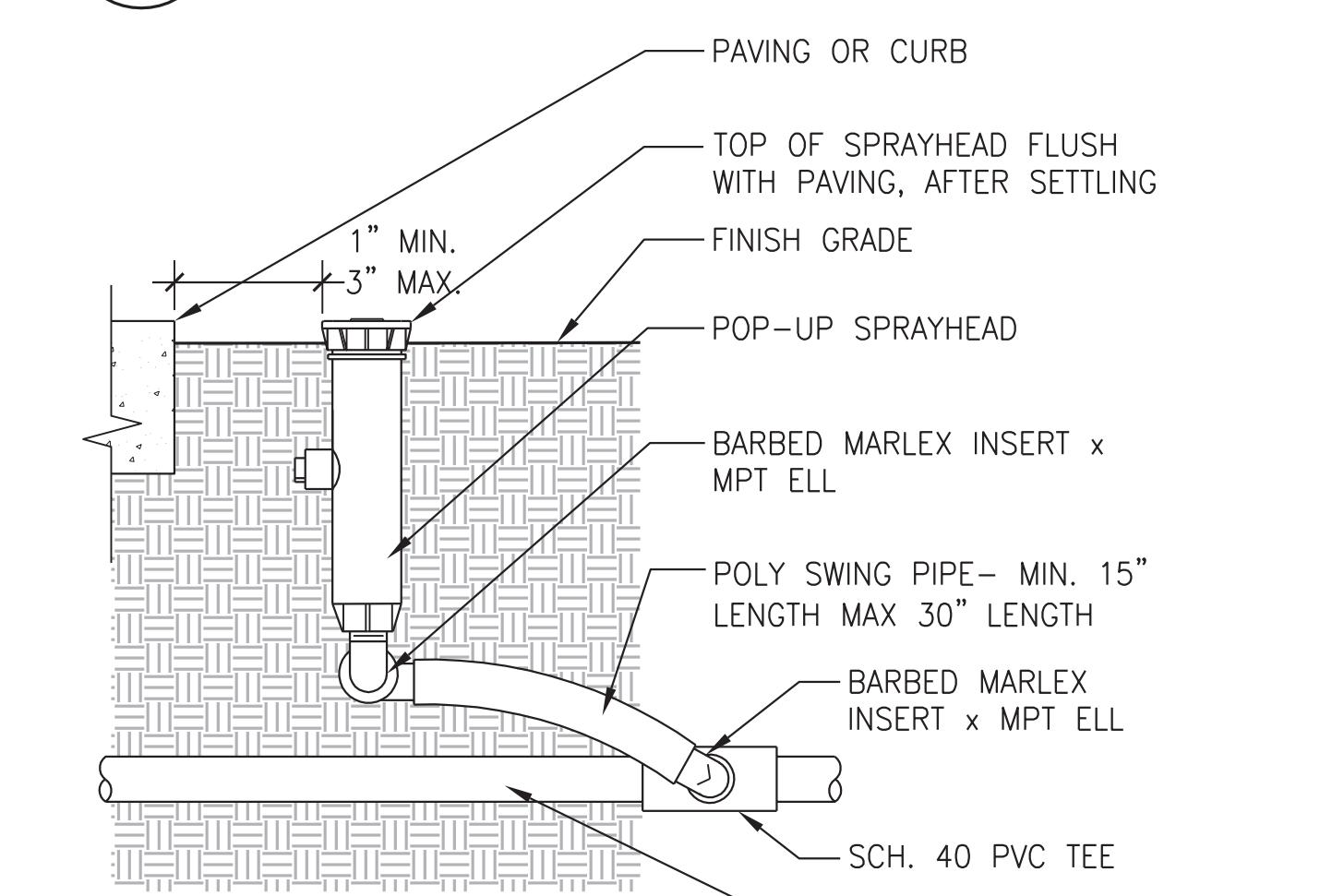
5 ISOLATION VALVE
SCALE: NTS



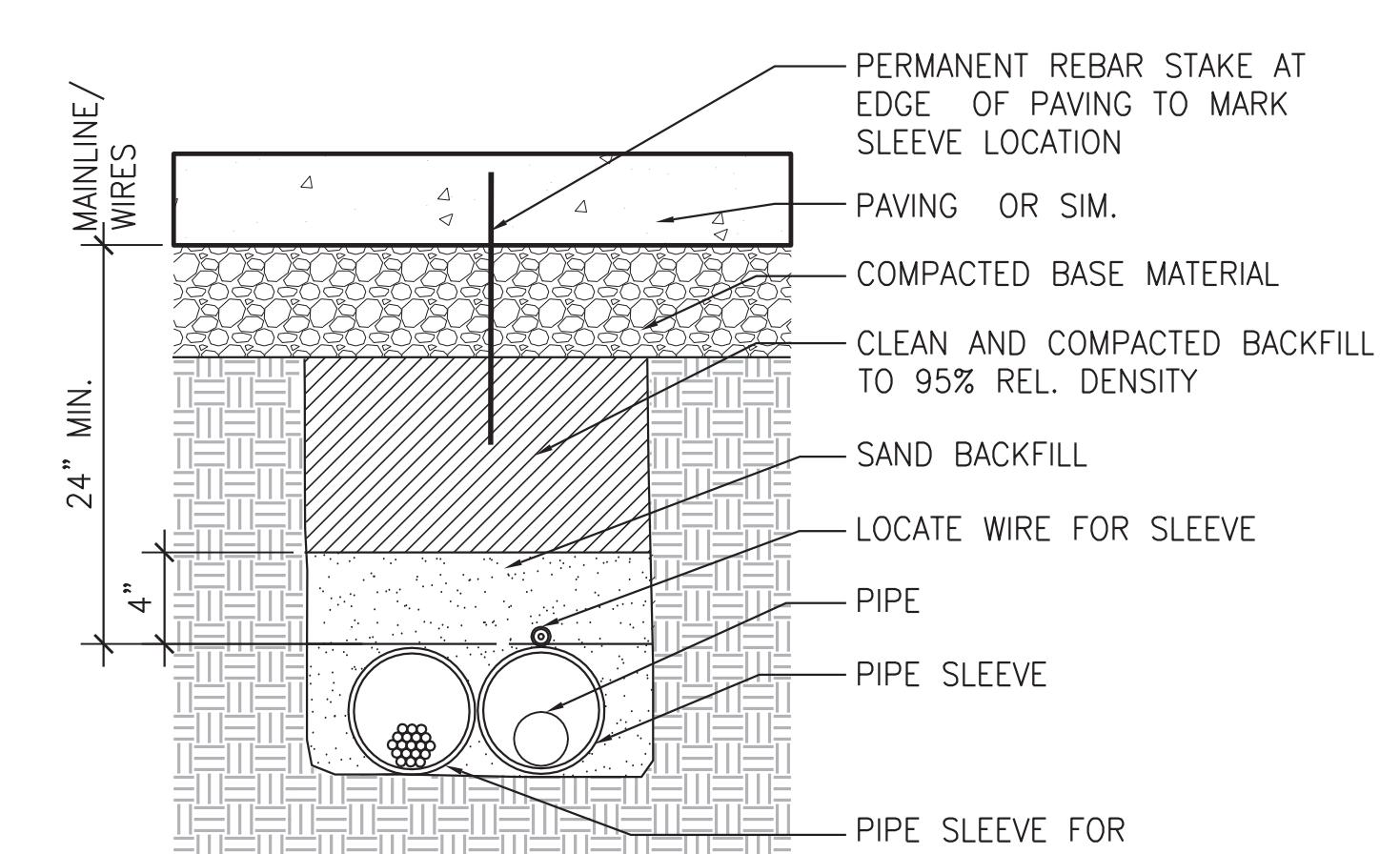
6 QUICK COUPLER VALVE
SCALE: NTS



1 POP-UP ROTOR HEAD
SCALE: NTS



2 POP-UP SPRAY HEAD
SCALE: NTS



3 PIPE SLEEVE
SCALE: NTS

REGISTERED ARCHITECT
BRIAN D. CARLETON
PORTLAND, OREGON
2018
STATE OF OREGON



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PARKWAY VILLAGE : WEST
SITE REPAIRS
SALEM HOUSING AUTHORITY

PERMIT REVIEW / BID SET

OVERALL SITE PLAN

PROJ NO.
21345

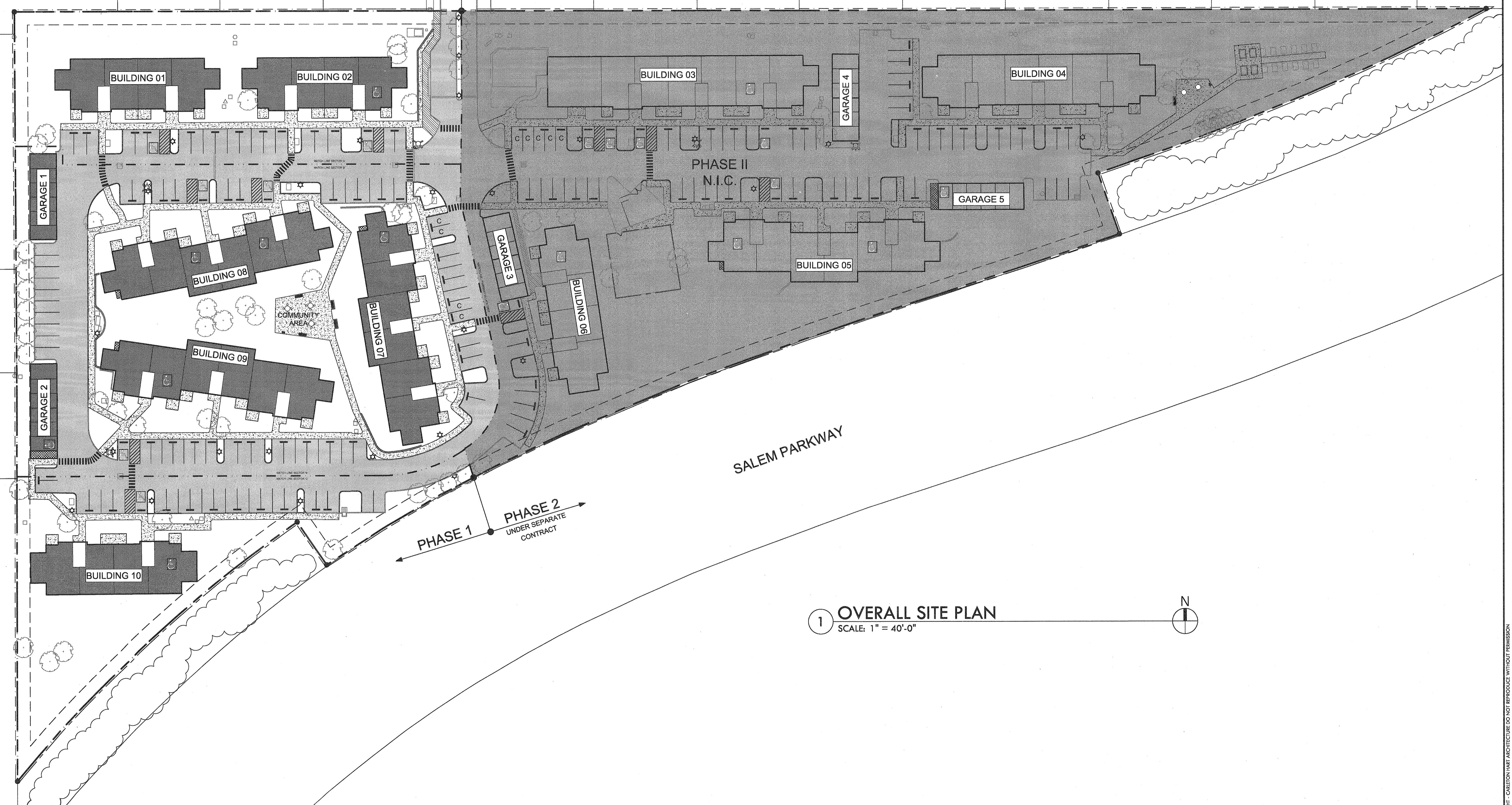
01.10.14

AS1.01

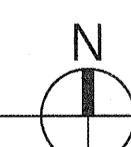
SHANGRI-LA STREET

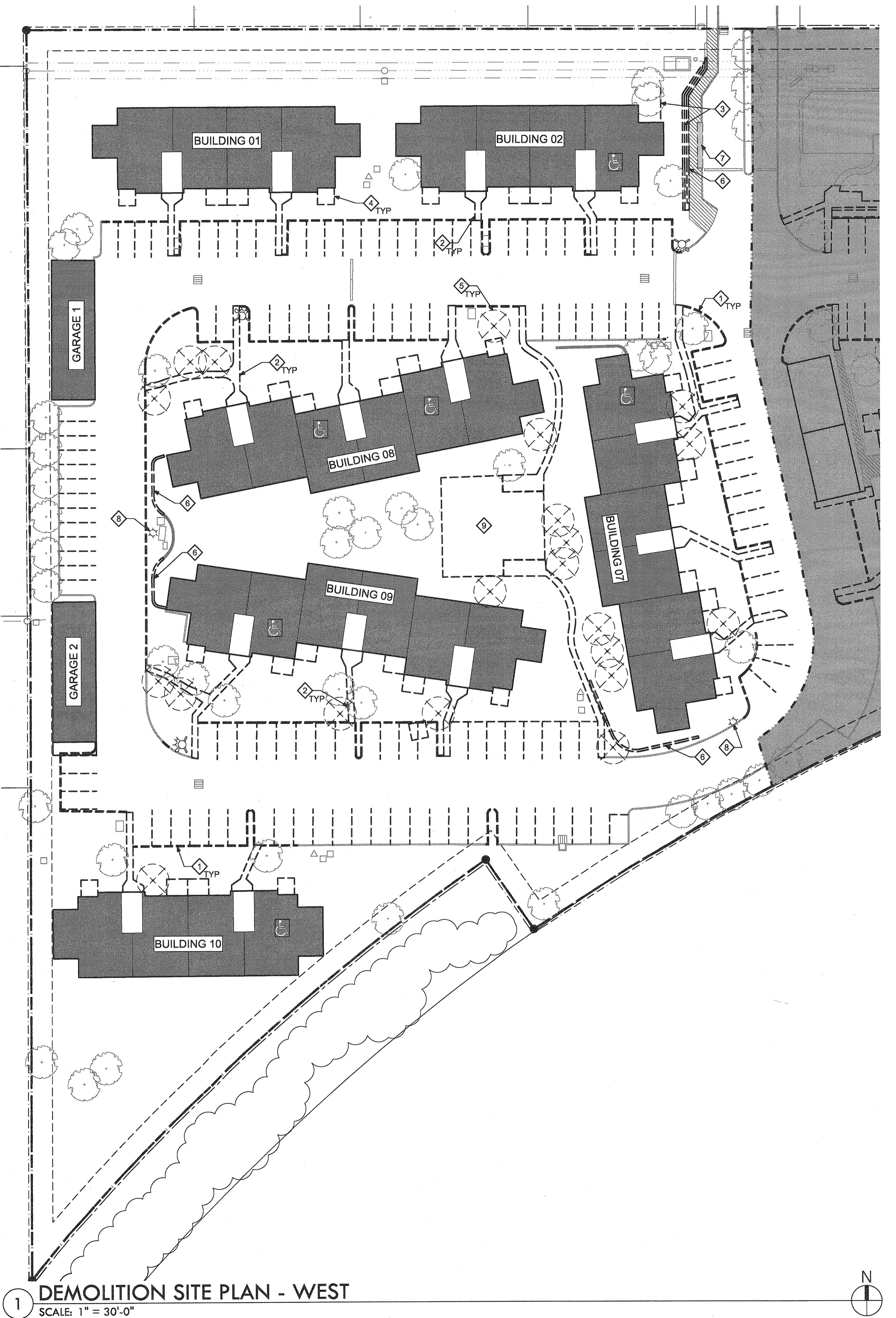
7TH PLACE

PHASE 1
PHASE 2
UNDER SEPARATE
CONTRACT



1 OVERALL SITE PLAN
SCALE: 1" = 40'-0"





GENERAL DEMOLITION SITE PLAN NOTES	
A.	DESCRIPTION OF DEMOLITION WORK IS NOT INTENDED TO BE ALL INCLUSIVE. FIELD VERIFICATION OF AREAS, MATERIALS AND SYSTEMS SCHEDULED FOR DEMOLITION AND NEW WORK IS REQUIRED PRIOR TO COMMENCEMENT OF ANY WORK
B.	ANY OBSERVED, KNOWN, OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON SUCH FORM AS REQUIRED BY THE CONTRACT DOCUMENTS.
C.	ALL LOCATIONS OF REMOVED OR DEMOLISHED ITEMS AND SITE COMPONENTS AND SYSTEMS WHERE ADJACENT SURFACES ARE TO REMAIN, PATCH AND REPAIR AFFECTED AREA(S) AND ADJACENT SURFACES. AT AREA(S) REQUIRING PATCHING AND REPAIRING PROVIDE FINISH MATERIALS, COLORS AND TEXTURES TO MATCH SURROUNDING AREA(S).
D.	REFER TO "SITE PLAN SECTORS" FOR ADDITIONAL INFORMATION AND COORDINATIONS REGARDING NEW AND REINSTALLED SYSTEMS, DEVICES AND APPROXIMATE LOCATIONS.
DEMOLITION SITE PLAN LEGEND	
DASHED LINE	INDICATES ITEM TO BE DEMOLISHED OR REMOVED
SOLID LINE	EXISTING ITEM TO REMAIN
DASH-DOT LINE	PROPERTY LINE
DASH-DOT-DOT LINE	10' SETBACK
DASH-DOT-DOT-DOT LINE	SECTOR MATCH LINE
DEMOLITION SITE PLAN KEY NOTES	
①	REMOVE EXISTING CONCRETE CURB
②	REMOVE EXISTING CONCRETE SIDEWALK
③	REMOVE EXISTING FENCE
④	REMOVE EXISTING CONCRETE PATIO
⑤	REMOVE EXISTING TREE
⑥	REMOVE AND RELOCATE EXISTING BLOCK WALL
⑦	EXISTING CLUSTER MAIL BOXES TO BE MODIFIED TO MEET ADA STANDARDS. SEE AS1.10.
⑧	REMOVE AND RELOCATE SITE LIGHT
⑨	REMOVE EXISTING PLAY STRUCTURE AND PREPARE AREA FOR NEW SITE CONCRETE
⑩	EXISTING SIDEWALK TO REMAIN
⑪	EXISTING BLOCK WALL - REPAIR AS NECESSARY
KEY PLAN - N.T.S.	

AS1.02

REGISTERED ARCHITECT
BRIAN D. CARLETON
PORTLAND, OREGON
2018

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PARKWAY VILLAGE : WEST
SITE REPAIRS
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GENERAL SITE PLAN NOTES	
A.	ANY OBSERVED, KNOWN, OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON SUCH FORM AS REQUIRED BY THE CONTRACT DOCUMENTS.
B.	REFER TO "SITE PLAN SECTORS" FOR ADDITIONAL INFORMATION AND COORDINATION REGARDING NEW AND REINSTALLED SYSTEMS, DEVICES AND APPROXIMATE LOCATIONS.
C.	REFER TO CIVIL FOR ADDITIONAL WORK. COORDINATE WORK SHOWN ON ARCHITECTURAL PLANS WITH CIVIL PLANS.
SITE PLAN LEGEND	
- - -	PROPERTY LINE
—	10' SETBACK
- - -	SECTOR MATCH LINE
C	COMPACT PARKING STALL
	ACCESSIBLE DWELLING UNIT
	SIGHT & HEARING ACCESSIBLE DWELLING UNIT
SITE PLAN KEY NOTES	
NOTE: NOT ALL KEY NOTES MAY BE USED ON THIS SHEET.	
①	NEW CONCRETE CURB
②	NEW CONCRETE SIDEWALK
③	NEW FENCE
④	NEW CONCRETE PATIO
⑤	NEW WHEEL STOP
⑥	NEW STRIPING AT ACCESSIBLE CROSS-WALK
⑦	ACCESSIBLE STALL - PROVIDE STRIPING AND SIGNAGE AS REQUIRED
⑧	EXISTING CLUSTER MAIL BOXES TO BE MODIFIED TO MEET ADA STANDARDS. SEE AS1.10.
⑨	RELOCATED EXISTING BLOCK WALL
⑩	RELOCATED SITE LIGHT
⑪	EXISTING SIDEWALK TO REMAIN
⑫	EXISTING BLOCK WALL - REPAIR AS NECESSARY
⑬	EXISTING GARBAGE/RECYCLING AREA
⑭	NEW GRAVEL PATH
⑮	NEW FIRE RISER ROOM - SEE ARCHITECTURAL DRAWING SET
⑯	NEW EXTENDED GARAGE FOR ACCESSIBLE PARKING - SEE ARCHITECTURAL DRAWING SET
SITE PLAN - WEST	
PROJ NO. 21345	
01.10.14	
KEY PLAN - N.T.S.	
<p>PHASE 2 - N.I.C.</p>	
AS1.03	



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C.	REFER TO CIVIL FOR ADDITIONAL WORK. COORDINATE WORK SHOWN ON ARCHITECTURAL PLANS WITH CIVIL PLANS.

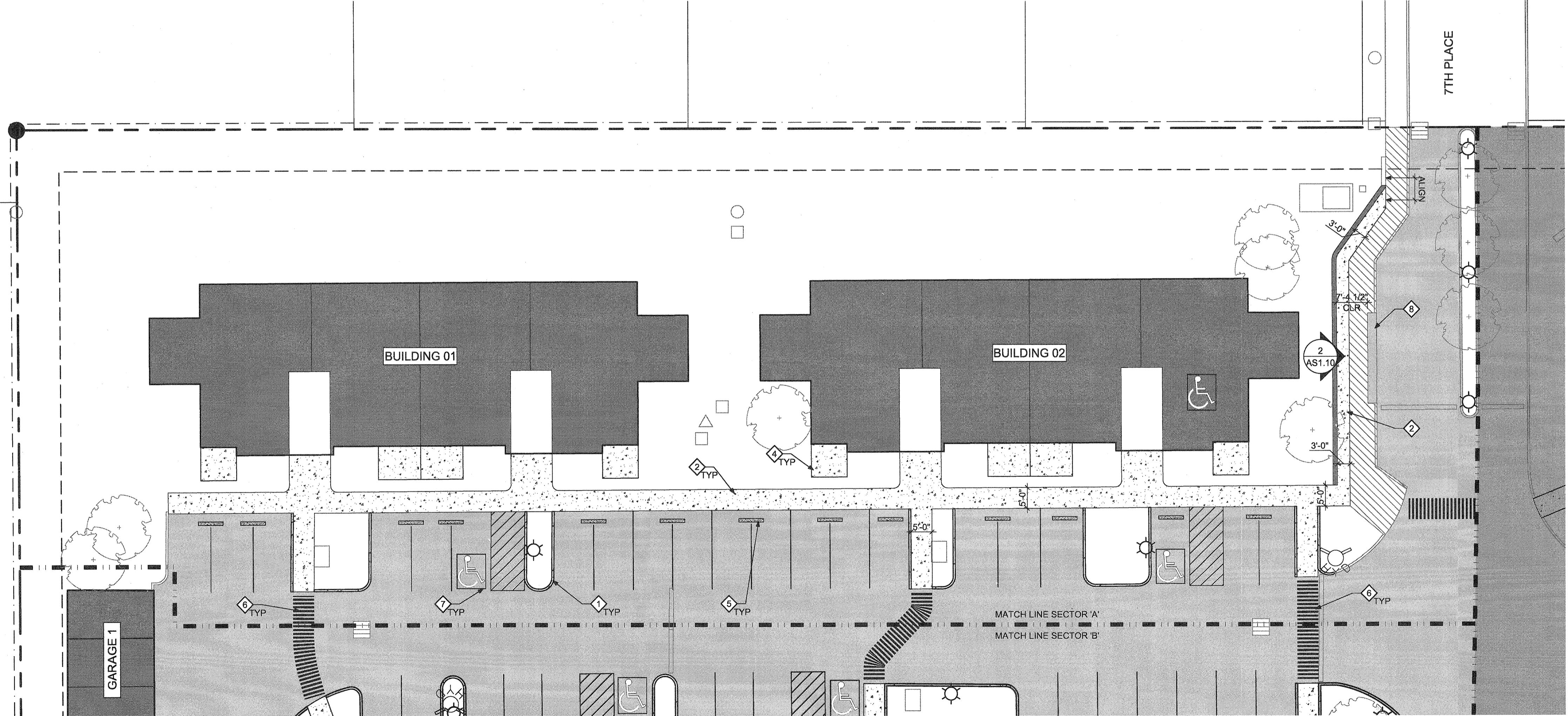
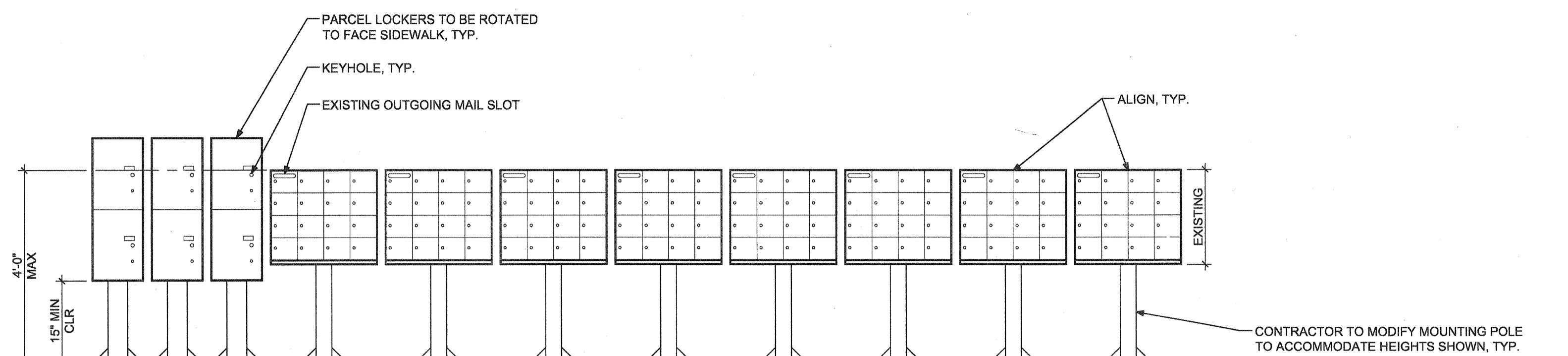
SITE PLAN LEGEND	
- - -	PROPERTY LINE
—	10' SETBACK
- - - - -	SECTOR MATCH LINE
C	COMPACT PARKING STALL
	ACCESSIBLE DWELLING UNIT
	SIGHT & HEARING ACCESSIBLE DWELLING UNIT
S&H	

SITE PLAN KEY NOTES	
NOTE: NOT ALL KEY NOTES MAY BE USED ON THIS SHEET.	
①	NEW CONCRETE CURB
②	NEW CONCRETE SIDEWALK
③	NEW FENCE
④	NEW CONCRETE PATIO
⑤	NEW WHEEL STOP
⑥	NEW STRIPING AT ACCESSIBLE CROSS-WALK
⑦	ACCESSIBLE STALL - PROVIDE STRIPING AND SIGNAGE AS REQUIRED
⑧	EXISTING CLUSTER MAIL BOXES TO BE MODIFIED TO MEET ADA STANDARDS. SEE AS1.10.
⑨	RELOCATED EXISTING BLOCK WALL
⑩	RELOCATED SITE LIGHT
⑪	EXISTING SIDEWALK TO REMAIN
⑫	EXISTING BLOCK WALL - REPAIR AS NECESSARY
⑬	EXISTING GARBAGE/RECYCLING AREA
⑭	NEW GRAVEL PATH
⑮	NEW FIRE RISER ROOM - SEE ARCHITECTURAL DRAWING SET
⑯	NEW EXTENDED GARAGE FOR ACCESSIBLE PARKING - SEE ARCHITECTURAL DRAWING SET

SITE PLAN - SECTOR 'A'
PROJ NO.
21345
01.10.14

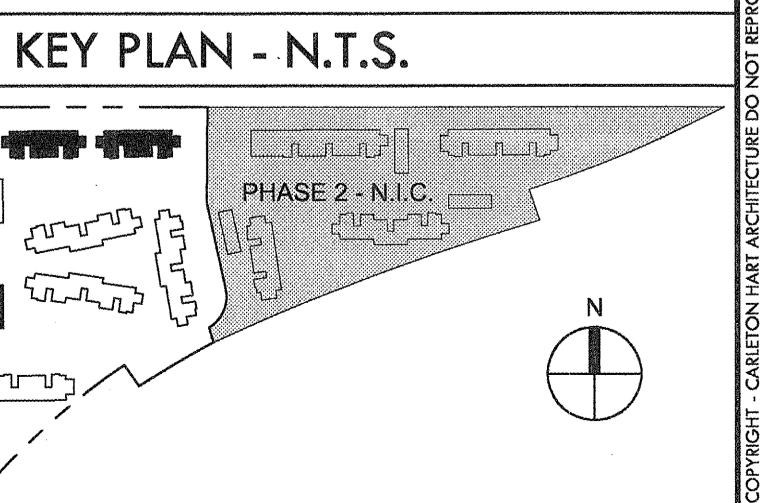
2 ELEVATION - CLUSTER MAILBOXES

SCALE: 1/2" = 1'-0"



1 SITE PLAN - SECTOR 'A'

SCALE: 1/16" = 1'-0"



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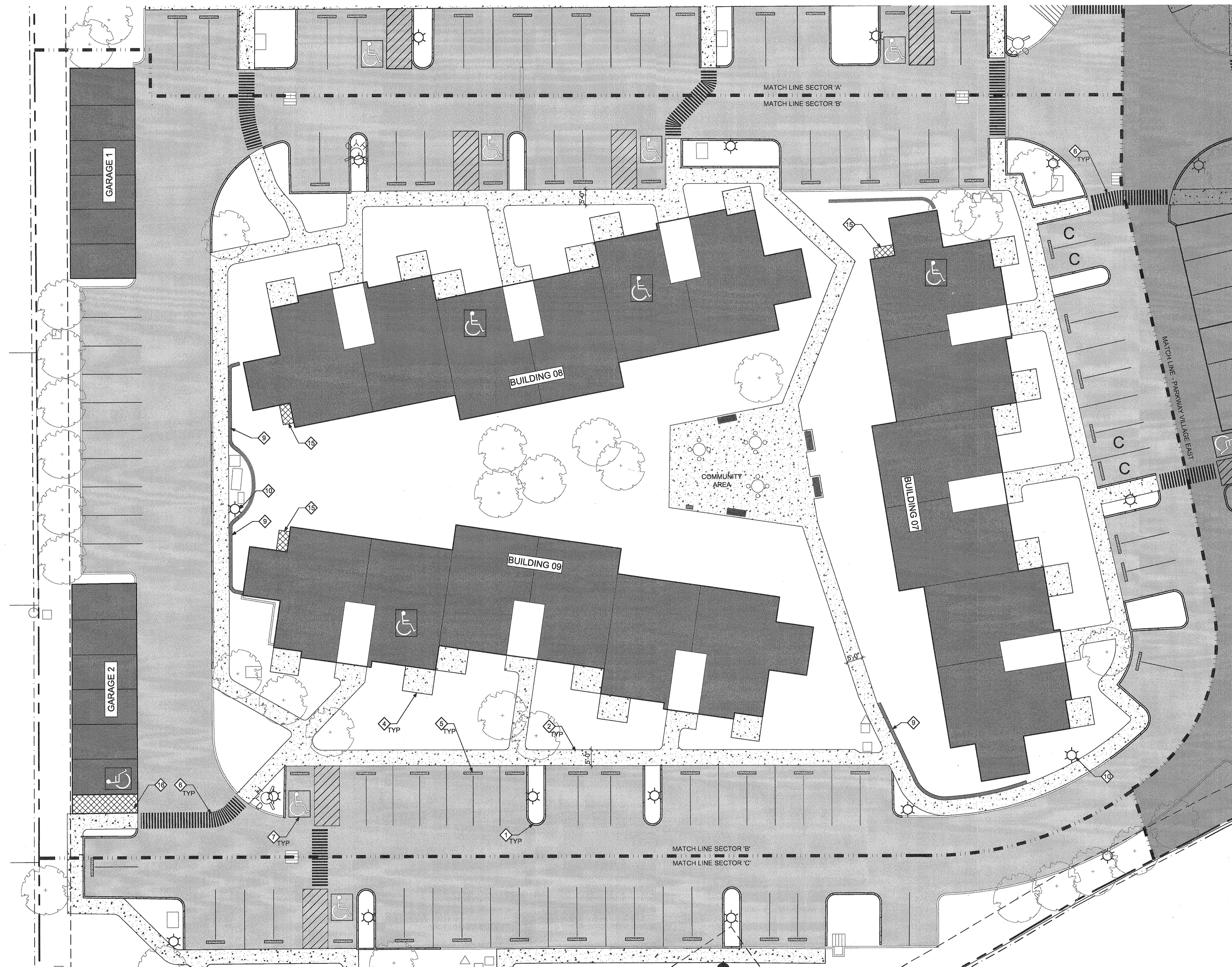
AS1.10



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SITE PLAN - SECTOR 'B'

SCALE: 1" = 30'-0"

GENERAL SITE PLAN NOTES

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- B. REFER TO "SITE PLAN SECTORS" FOR ADDITIONAL INFORMATION AND COORDINATION REGARDING NEW AND REINSTALLED SYSTEMS, DEVICES AND APPROXIMATE LOCATIONS.
- C. REFER TO CIVIL FOR ADDITIONAL WORK. COORDINATE WORK SHOWN ON ARCHITECTURAL PLANS WITH CIVIL PLANS.

SITE PLAN LEGEND

- - -	PROPERTY LINE
—	10' SETBACK
- - -	SECTOR MATCH LINE
C	COMPACT PARKING STALL
	ACCESSIBLE DWELLING UNIT
	SIGHT & HEARING ACCESSIBLE DWELLING UNIT

SITE PLAN KEY NOTES

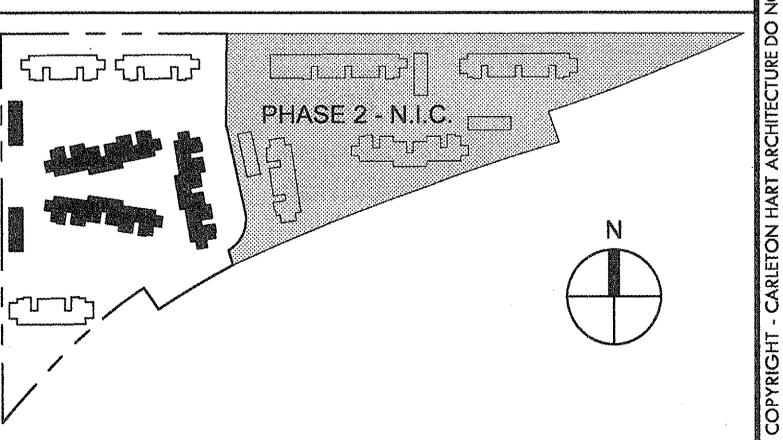
NOTE: NOT ALL KEY NOTES MAY BE USED ON THIS SHEET.

- ① NEW CONCRETE CURB
- ② NEW CONCRETE SIDEWALK
- ③ NEW FENCE
- ④ NEW CONCRETE PATIO
- ⑤ NEW WHEEL STOP
- ⑥ NEW STRIPING AT ACCESSIBLE CROSS-WALK
- ⑦ ACCESSIBLE STALL - PROVIDE STRIPING AND SIGNAGE AS REQUIRED
- ⑧ EXISTING CLUSTER MAIL BOXES TO BE MODIFIED TO MEET ADA STANDARDS. SEE AS1.10.
- ⑨ RELOCATED EXISTING BLOCK WALL
- ⑩ RELOCATED SITE LIGHT
- ⑪ EXISTING SIDEWALK TO REMAIN
- ⑫ EXISTING BLOCK WALL - REPAIR AS NECESSARY
- ⑬ EXISTING GARBAGE/RECYCLING AREA
- ⑭ NEW GRAVEL PATH
- ⑮ NEW FIRE RISER ROOM - SEE ARCHITECTURAL DRAWING SET
- ⑯ NEW EXTENDED GARAGE FOR ACCESSIBLE PARKING - SEE ARCHITECTURAL DRAWING SET

SITE PLAN - SECTOR 'B'
PROJ NO.
21345
01.10.14

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KEY PLAN - N.T.S.



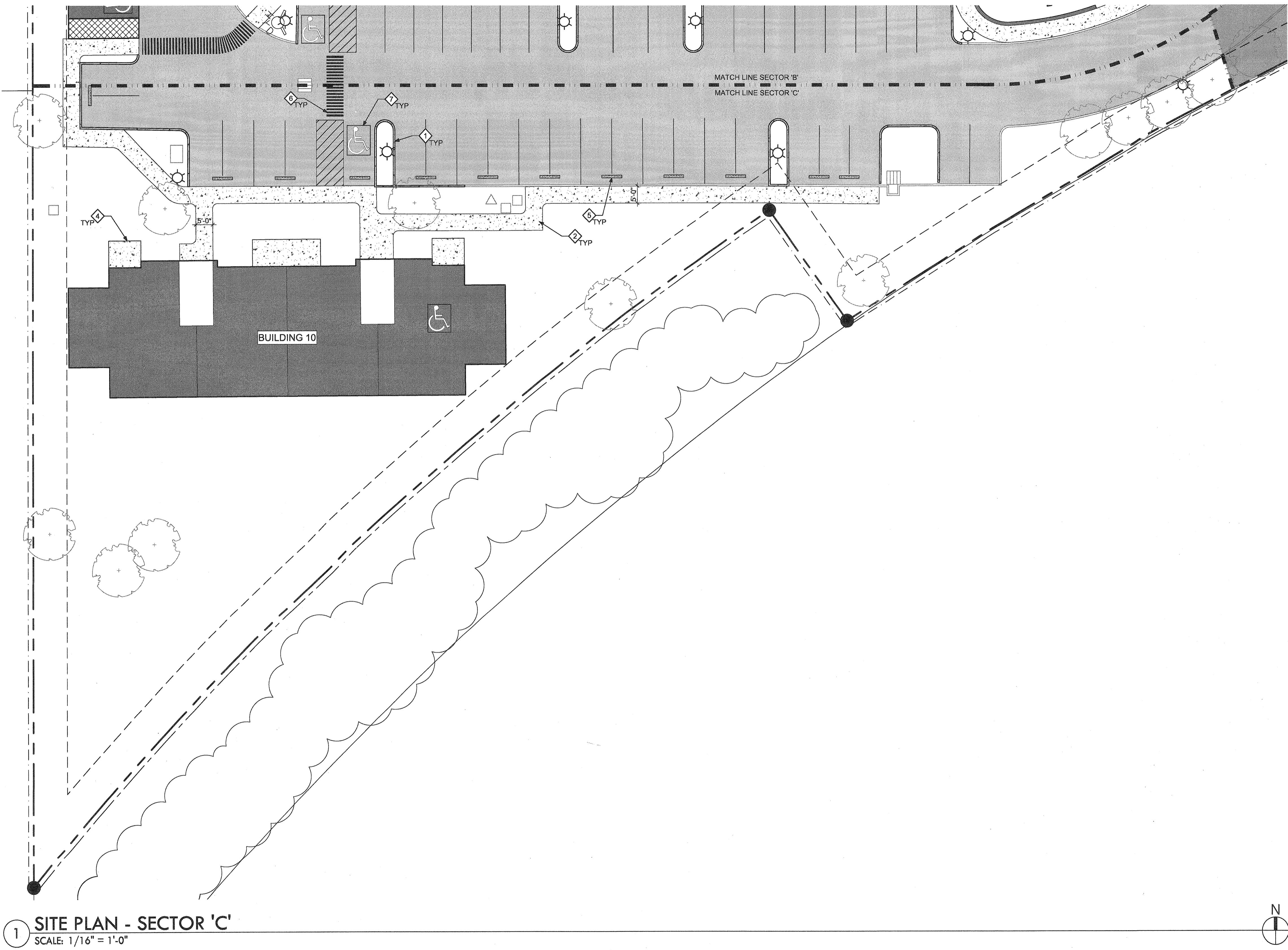
AS1.11



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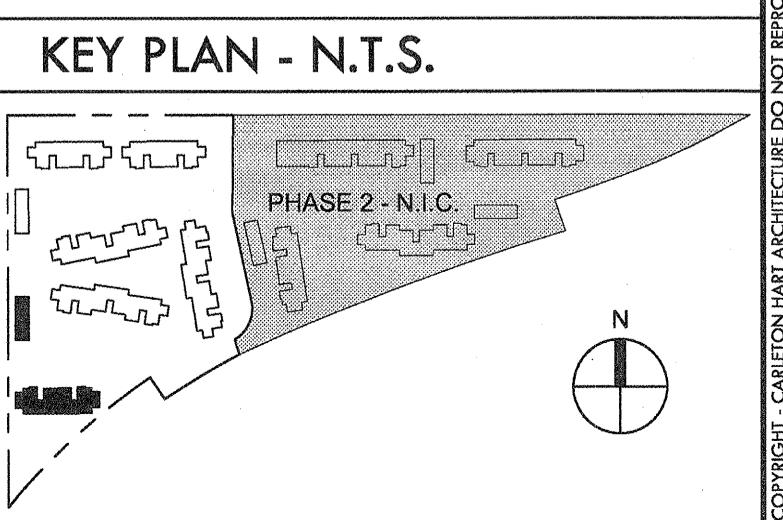


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SITE PLAN LEGEND	
- - -	PROPERTY LINE
—	10' SETBACK
- - -	SECTOR MATCH LINE
C	COMPACT PARKING STALL
	ACCESSIBLE DWELLING UNIT
	SIGHT & HEARING ACCESSIBLE DWELLING UNIT

SITE PLAN KEY NOTES	
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⑨	RELOCATED EXISTING BLOCK WALL
⑩	RELOCATED SITE LIGHT
⑪	EXISTING SIDEWALK TO REMAIN
⑫	EXISTING BLOCK WALL - REPAIR AS NECESSARY
⑬	EXISTING GARBAGE/RECYCLING AREA
⑭	NEW GRAVEL PATH
⑮	NEW FIRE RISER ROOM - SEE ARCHITECTURAL DRAWING SET
⑯	NEW EXTENDED GARAGE FOR ACCESSIBLE PARKING - SEE ARCHITECTURAL DRAWING SET

SITE PLAN - SECTOR 'C'
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01.10.14



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AS1.12