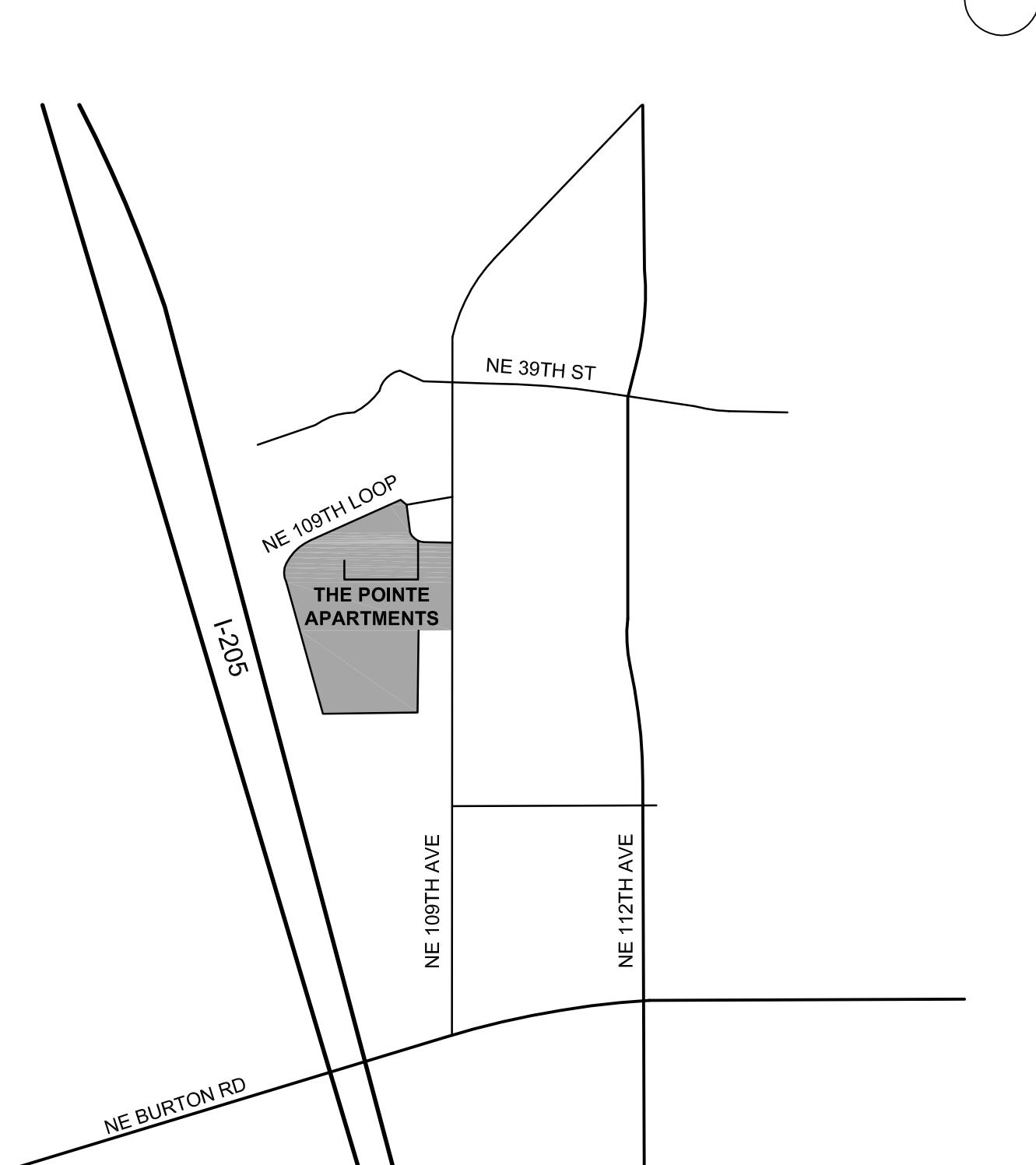


THE POINTE APARTMENTS CLUBHOUSE RENOVATION

3708 NE 109TH AVE
VANCOUVER, WA 98682

VICINITY MAP:



GENERAL PROJECT NOTES:

- A. ALL WORK SHALL BE IN CONFORMANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES, WHOMEVER IS MOST STRICT. SPECIFICATIONS AND STANDARDS MEAN, AND ARE INTENDED TO BE, THE ADOPTED EDITION, AMENDMENT OR REVISION OF SUCH REFERENCE DOCUMENTS IN EFFECT AS OF THE DATE OF THE CONTRACT DOCUMENTS.
- B. USE DIMENSIONS SHOWN. IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM DRAWINGS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CROSS-CHECK DETAILS AND DIMENSIONS SHOWN ON THE DRAWINGS FOR CONFORMITY WITH RELATED REQUIREMENTS ON THE CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND OTHER DRAWINGS AS APPLICABLE. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE COMMENCING WORK.
- C. ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNLESS NOTED OTHERWISE.
- D. CONTRACTOR'S NOTES AND DETAILS TYPICAL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE. WHERE NO SPECIFIC DETAIL IS SHOWN, THE CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR THE TYPICAL CONSTRUCTION ON THE PROJECT. VERIFY QUANTITY PRIOR TO BID.
- E. PROVIDE, FURNISH AND INSTALL ALL ITEMS INDICATED IN THE CONTRACT DOCUMENTS, COMPLETE AND READY FOR THEIR INTENDED USE, AT NO ADDITIONAL COST TO THE PROJECT.
- F. DISCREPANCIES IN ANY SCHEDULE OR DRAWING DO NOT RELIEVE THE CONTRACTOR FROM THE WORK INTENDED IN THE DRAWING OR DESCRIBED IN THE SPECIFICATIONS.
- G. A COMPLETE, CURRENT SET OF THE PERMITTED CONSTRUCTION DOCUMENTS MUST BE KEPT ON THE JOB SITE AND AVAILABLE TO THE BUILDING OFFICIAL FOR THE DURATION OF THE PROJECT.
- H. THE CONTRACTOR SHALL EVALUATE THE JOBSITE SAFETY THEREOF AND TAKE ALL REASONABLE AND LEGALLY POSSIBLE MEASURES TO ENSURE THE SAFETY OF SUCH MEANS, METHODS, TECHNIQUES, SERVICES OR PROCEDURES IN ORDER TO PROVIDE ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE CONTRACTOR'S EMPLOYEES AND THE PUBLIC IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. THE CONTRACTOR SHALL ALSO COMPLY WITH JOBSITE SAFETY REQUIREMENTS AS REQUIRED BY THE GOVERNING JURISDICTION.
- J. DO NOT NOTCH OR DRILL JOISTS, BEAMS, OR LOAD BEARING STUDS WITHOUT THE PRIOR APPROVAL OF THE STRUCTURAL ENGINEER, OR PER MANUFACTURER'S SPECIFICATIONS.
- K. EVENLY DISTRIBUTE CONSTRUCTION MATERIALS IF PLACED ON FRAMED FLOORS OR ROOF. LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT.
- L. ALL SEPARATING WALLS AND FLOOR-CEILING ASSEMBLIES, INCLUDING PENETRATIONS OR OPENINGS, TO MEET OR EXCEED AIRBORNE AND IMPACT SOUND INSULATION EQUAL TO SOUND TRANSMISSION CLASS AND IMPACT INSULATION CLASS REQUIRED

DRAWING INDEX:

ARCHITECTURAL

CS COVER SHEET

G0.30 FIRE, LIFE, SAFETY PLAN & CODE SUMMARY
G0.60 ACCESSIBILITY STANDARDS
G0.61 ACCESSIBILITY STANDARDS

A1.00 EXISTING SITE & NEW PARKING PLANS

A2.00 DEMOLITION FLOOR PLAN
A2.01 DEMOLITION REFLECTED CEILING PLAN

A2.10 FLOOR PLAN
A2.50 ROOF PLAN

A3.10 FINISH FLOOR PLAN

A4.10 REFLECTED CEILING PLAN

A5.10 ENLARGED FLOOR PLANS

A7.10 EXTERIOR ELEVATIONS AND SECTIONS

A8.10 INTERIOR ELEVATIONS

A11.10 EXTERIOR ELEVATIONS & DETAILS
A11.50 INTERIOR DETAILS

A12.20 DOOR & WINDOW SCHEDULE
A12.30 TYPICAL WINDOW INSTALLATION

A12.32 TYPICAL DOOR INSTALLATION

STRUCTURAL

S1.00 STRUCTURAL NOTES AND SCHEDULE
S2.01 1ST FLOOR AND ROOF FRAMING PLANS
S3.01 FOUNDATION AND FLOOR FRAMING DETAILS
S4.01 ROOF FRAMING DETAILS

DEFERRED SUBMITTALS:

1. FIRE ALARM AND DETECTION SYSTEM

DESIGN BUILD:

1. MECHANICAL DESIGN
2. PLUMBING DESIGN
3. ELECTRICAL DESIGN

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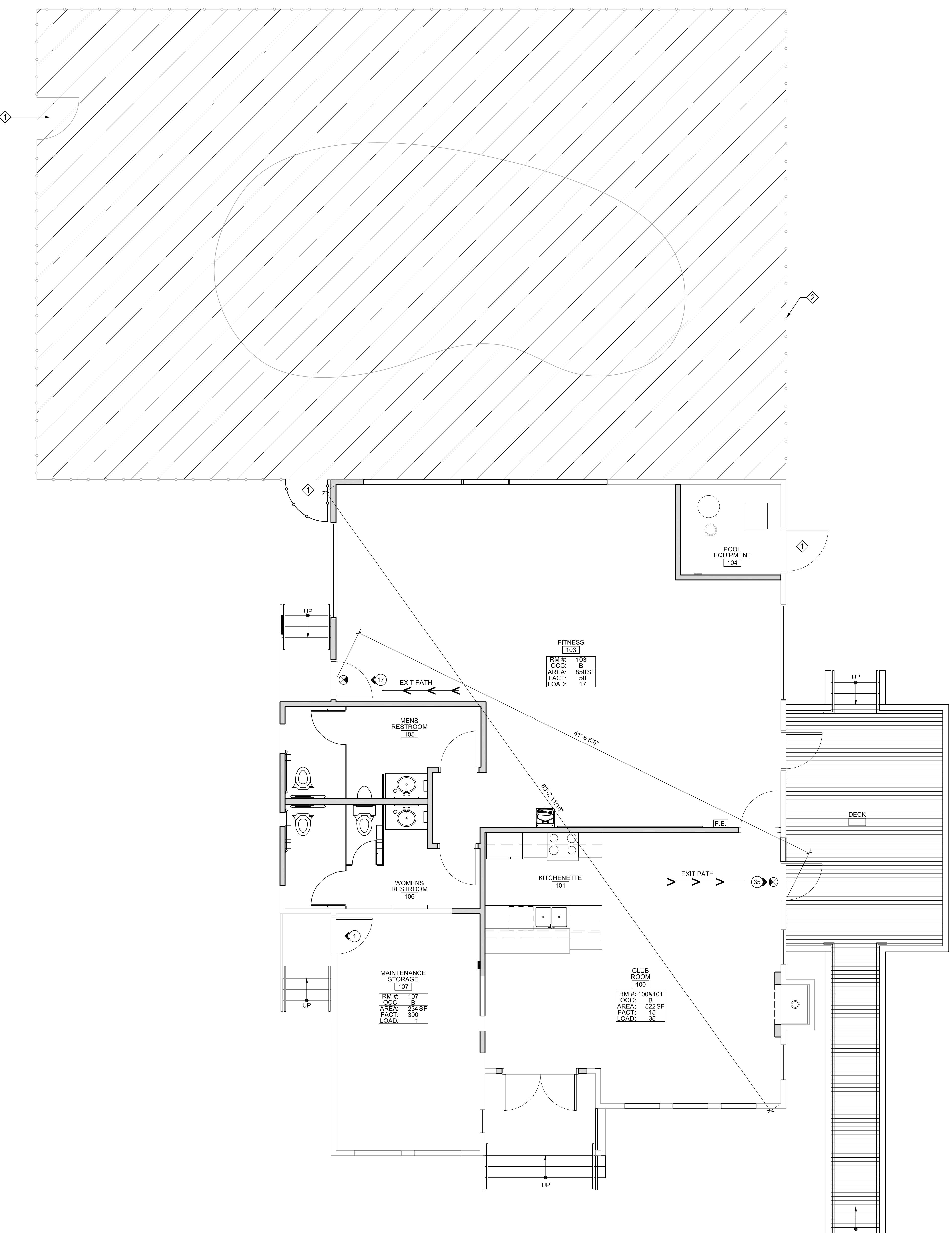
CONTACT:
SHEM STREETER

CONTRACTOR
TBD

PRICING SET

ARCHITECTURAL ABBREVIATIONS*

*NOTES: 1. NOT ALL ABBREVIATIONS MAY BE USED. 2. ABBREVIATIONS MAY BE USED IN CONJUNCTION WITH EACH OTHER.	
A.B.	ANCHOR BOLT
A.C.T.	ACOUSTICAL CEILING TILE
AHU	AIR HANDLING UNIT
AL.	ALUMINUM
BD.	BOARD
BLDG.	BUILDING
BLKG.	BLOCKING
BM.	BEAM
B.O.	BOTTOM OF
BRG.	BEARING
BPA	BONNEVILLE POWER ADMINISTRATION
C.L.	CENTER LINE
C.B.	CATCH BASIN
C.G.	CATCHER GUARD
C.J.	CONTROL JOINT
CLR.	CLEAR
C.M.U.	CONCRETE MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS
COT.	CONTRACTING OFFICER'S TECHNICAL REPRESENTATIVE
C.T.	CERAMIC TILE
C.F.C.I.	CONTRACTOR FURNISH, CONTRACTOR INSTALL
d	PENNY
DBL.	DOUBLE
D.F.	DRINKING FOUNTAIN
DIA.	DIAMETER
DN.	DOWN
D.S.	DOWN SPOUT
D.W.	DISHWASHER
E.	EXISTING
E.A.	EACH
E.J.	EXPANSION JOINT
ELEC.	ELECTRICAL
ELEV.	ELEVATION
ENAM.	ENAMEL
EXT.	EXTERIOR
F.D.	FLOOR DRAIN
FDN.	FOUNDATION
F.E.	FEAR EXTINGUISHER
F.E.C.	FEAR EXTINGUISHER CABINET
F.G.	FINISHED FLOOR
F.I.N.	FINISH
FLR.	FLOOR
F.O.C.	FACE OF CONCRETE
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
FTG.	FOOTING
F.J.	FINGER JOINTED
F.V.	FIELD VERIFY
G.A.	GAUGE
GA.	GAUGED
GLAV.	GALVANIZED
GB1	GRAB BAR - 36"
GB2	GRAB BAR - 42"
GLU-LAM	GLU-LAMINATED
H.D.	HAND DRYER
H.M.	HOLLOW METAL
HT.	HEIGHT
HORIZ.	HORIZONTAL
I.R.C.	REFLECTED CEILING PLAN
PL.	PLATE
PALM.	PLASTIC LAMINATE
PREFIN.	PRE FINISHED
P.S.I.	POUNDS PER SQUARE INCH
P.T.	PRESSURE TREATED
P.P.	PRE PRIMED
RCP.	REFLECTED CEILING PLAN
REF.	REFRIGERATOR
REINF.	REINFORCED
REQD.	REQUIRED
R.O.	ROUGH OPENING
R.S.	ROUGH SAW
SCUPPER BOX	S.B.
SEAT COVER DISPENSER	S.C.
SOAP DISPENSER	S.D.
SIMILAR	SIM.
SANITARY NAPKIN DISPENSER	S.N.D.
SQUARE	S.Q.
STAINLESS STEEL	S.S.
STANDARD	STD.
STEEL	STL.
SPRUCE PINE FUR	S.P.F.
TOP AND BOTTOM	TAB
TACK BOARD	T.B.
TOILET PAPER DISPENSER	T.D.
TUBE STEEL	T.S.
TYPICAL	T.Y.P.
TOP OF PLATE	T.O.P.
ON CENTER	O.C.
OPPOSITE	O.P.
OVERFLOW	O.F.
OWNER FURNISH CONTRACTOR INSTALL	O.F.C.I.
VERTICAL	V.C.T.
VINYL COMPOSITION TILE	V.C.
VINYL SAFETY FLOORING	V.S.F.
VINYL COVERED TACK BOARD	V.T.B.
WHITE BOARD	W.B.
WATER CLOSET	W.C.
WOOD	W.D.
WATER FOUNTAIN	W.F.
REFLECTED CEILING PLAN	RCP.
REFRIGERATOR	REF.
REINFORCED	REINF.
REQUIRED	REQD.
ROUGH OPENING	R.O.
ROUGH SAW	R.S.
NOT IN CONTRACT	N.I.C.
NUMBER	N.
NOMINAL	N.O.M.
NOT TO SCALE	N.T.S.
UNLESS OTHERWISE NOTED	U.O.N.
NOT IN CONTRACT	N.I.C.
NUMBER	N.
NOMINAL	N.O.M.
NOT TO SCALE	N.T.S.
OPPOSITE	O.P.
OVERFLOW	O.F.
OWNER FURNISH CONTRACTOR INSTALL	O.F.C.I.
VERTICAL	V.C.T.
VINYL SAFETY FLOORING	V.S.F.
VINYL COVERED TACK BOARD	V.T.B.
PLASTIC LAMINATE	PL.
PRE FINISHED	PALM.
POUNDS PER SQUARE INCH	P.S.I.
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PRE PRIMED	P.P.
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POUNDS PER SQUARE INCH	P.S.I.
PRESSURE TREATED	P.T.
PRE PRIMED	P.P.
REFLECTED CEILING PLAN	RCP.
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PRE FINISHED	PALM.
POUNDS PER SQUARE INCH	P.S.I.
PRESSURE TREATED	P.T.
PRE PRIMED	P.P.
REFLECTED CEILING PLAN	



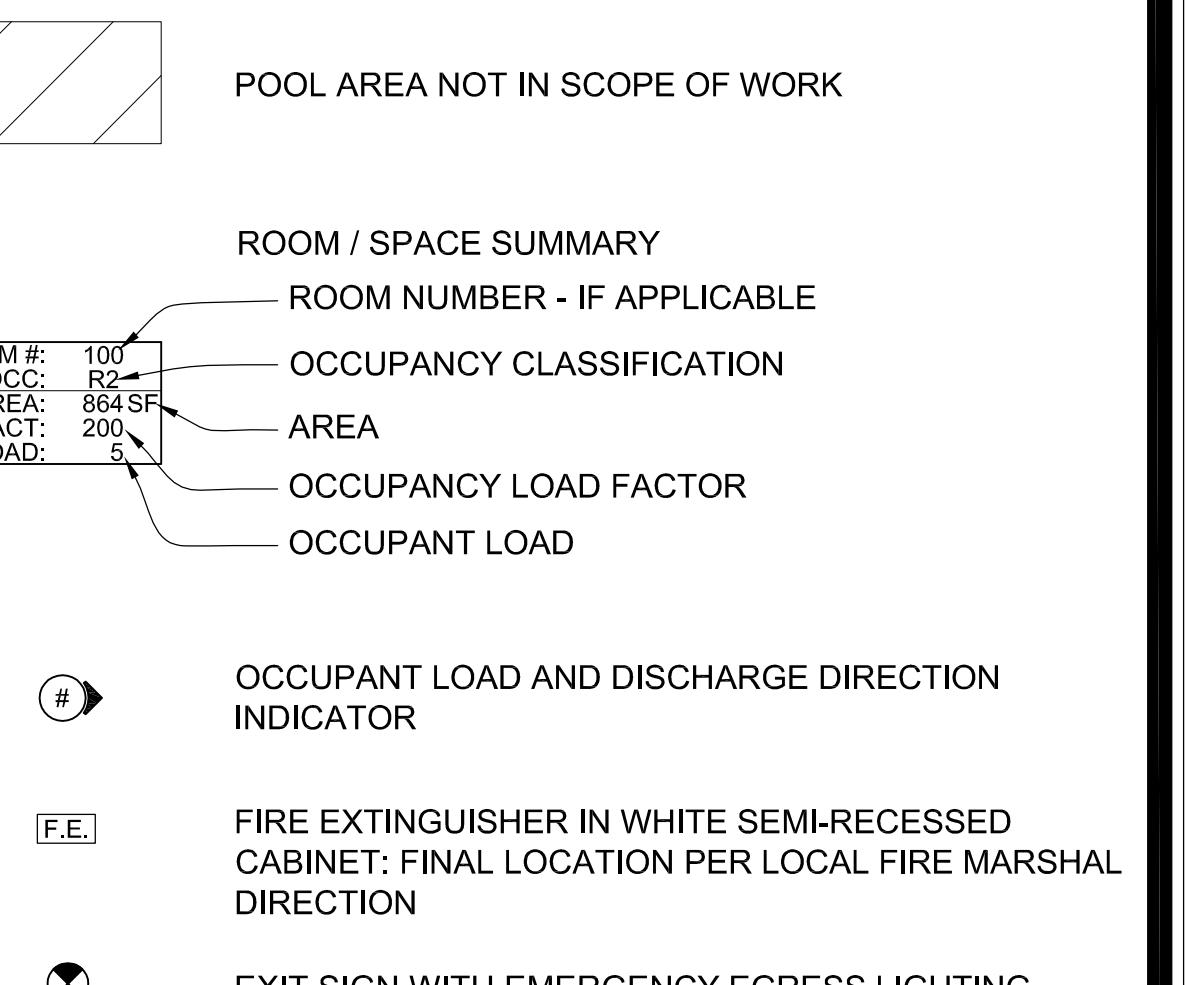
CLUBHOUSE - FIRE, LIFE & SAFETY PLAN

A2
G0.30
1/4"=1'-0"

FIRE AND LIFE SAFETY NOTES

- A. VERIFY STATUS OF EXISTING FIRE ALARM/DETECTION SYSTEM, CONFIGURE FIRE DETECTION, INTERNAL ALARM AND CENTRAL REPORTING SYSTEMS IN ACCORDANCE WITH NATIONAL FIRE PROTECTION ASSOCIATION AND IN COMPLIANCE WITH THE GOVERNING EDITIONS OF ADA, ANSI AND THE BUILDING CODE. THE EQUIPMENT FURNISHED SHALL BE COMPATIBLE AND BE UL LISTED, FM APPROVED OR LISTED BY A NATIONALLY RECOGNIZED TESTING LABORATORY IN ACCORDANCE WITH THE APPLICABLE NATIONAL FIRE PROTECTION ASSOCIATION STANDARDS. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- B. ALL INSULATION INDICATED ON PLANS SHALL COMPLY WITH OR EXCEED THE REQUIREMENTS THE MOST RESTRICTIVE PREVAILING BUILDING CODE (GOVERNING EDITION) FOR SMOKE DENSITY AND FLAME SPREAD.
- C. PROVIDE EMERGENCY EXIT ILLUMINATION AND SIGNAGE AS REQUIRED BY PREVAILING LOCAL JURISDICTION, BUILDING CODE, NFPA, OR NFPA (CURRENT EDITION). REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- D. PROVIDE EMERGENCY EGRESS LIGHTING WHERE REQUIRED TO MAINTAIN CODE SPECIFIED ILLUMINATION. EMERGENCY LIGHTING DESIGN TO BE SUBMITTED TO CITY OF VANCOUVER FOR APPROVAL VIA DEFERRED SUBMITTAL.
SECTION 1006.3.1 ILLUMINATION LEVEL UNDER EMERGENCY POWER
EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (1 LUX) AND A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOT CANDLE (6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED.

FIRE AND LIFE SAFETY LEGEND



PRICING SET

KEYNOTES

- ◆ WATER RECREATION FACILITY ACCESS DOOR/GATE REQUIRED TO BE CONTINUOUSLY LOCKED (PREVENTING ACCESS) AND ACCESSED VIA KEY, ELECTRONIC KEY CARD, OR SIMILAR ACCESS CONTROL DEVICE. CONTINUOUS LOCK FUNCTION IN ACCESS DIRECTION, ONLY. LOCK SHALL NOT AFFECT OR IMPEDE EGRESS.
- ◆ EXISTING FENCE PER BARRIER REQUIREMENTS OF CHAPTER 246-260 WASHINGTON ADMINISTRATIVE CODE.

CODE SUMMARY

- BUILDING CODES:
- INTERNATIONAL BUILDING CODE (2012) WITH WASHINGTON STATE AMENDMENTS

GENERAL BUILDING DESCRIPTION:

- SPRINKLED: NO
- NUMBER OF BUILDING STORIES: 1
- TOTAL BUILDING FLOOR AREA: 2,061 SF
- TYPE OF CONSTRUCTION: V-B
- OCCUPANCY GROUP: B, PER SECTION 303.1

OCCUPANT LOAD FACTORS

- NUMBER OF PROPOSED OCCUPANTS @ FIRST FLOOR: 53
- NUMBER OF EXITS REQUIRED (TABLE 1021.2(2)): 2
- NUMBER OF EXITS PROVIDED: 2
- MINIMUM EGRESS WIDTH: 44" @ STAIRS & RAMP, 34" @ DOORWAYS
- LOCKS & LATCHES (1008.1.9.3): WHERE LOCKS AND LATCHES ARE PROVIDED AT MAIN EXTERIOR DOORS, PROVIDE SIGNAGE STATING "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED."

SECTION 3403.1
ADDITIONS TO ANY BUILDING OR STRUCTURE SHALL COMPLY WITH THE REQUIREMENTS OF CURRENT ENFORCED CODE.

SECTION 3404.1
ALTERATIONS SHALL BE SUCH THAT THE EXISTING BUILDING OR STRUCTURE IS NO LESS COMPLYING WITH THE PROVISIONS OF THIS CODE THAN THE EXISTING BUILDING OR STRUCTURE WAS PRIOR TO THE ALTERATION.

- HEALTH CODE:
- WATER RECREATION FACILITIES, CHAPTER 246-260 WASHINGTON ADMINISTRATIVE CODE.
 - POOL EQUIPMENT ROOM TO BE CONTINUOUSLY LOCKED.
 - GATES AND DOORS PROVIDING ACCESS TO WATER RECREATION FACILITIES MUST BE SELF-CLOSING & SELF-LATCHING & BE CONTINUOUSLY LOCKED.

PLUMBING FIXTURE CALCULATIONS


OCCUPANT LOAD BASED ON B OCCUPANCY (PER TABLE 2902.1)	TOTAL AREA S.F. XX S.F. PER OCC	OCCUPANT LOAD FACTOR	OCCUPANT LOAD FACTOR PER SEX	(PER TABLE 2902.1) WATER CLOSET FIXTURES PER PERSON BY OCCUPANCY	REQUIRED AND PROVIDED
"B" OCCUPANCY	1,377 S.F. 200 S.F.	6.89	6.89 / 2 = 3.45	OCC. B = 1:1:1	1

THE POINTE APARTMENTS
CLUBHOUSE3708 NE 109TH AVENUE
VANCOUVER, WA 98682

REV DATE FILE
PIC: L. WARNOCK
PM: H. GREEN
PA:
DRAWN BY: KJ/AACR
JOB NO: 131570
DATE: 04/25/2014

G0.30

FIRE, LIFE & SAFETY
PLAN



REV DATE	FILE
PIC: L. WARNOCK	
PM: H. GREEN	
PA:	
DRAWN BY: KJ/AA/CR	
JOB NO: 131570	
DATE: 04/25/2014	

G0.60
ACCESSIBILITY
STANDARDS

PRELIMINARY
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SETTHE POINTE APARTMENTS
CLUBHOUSE3708 NE 109TH AVENUE
VANCOUVER, WA 98682

REV DATE FILE
PIC: L. WARNOCK
PM: H. GREEN
PA:
DRAWN BY: KJ/AICR
JOB NO: 131570
DATE: 04/25/2014

G0.61

ACCESSIBILITY
STANDARDS

1 2 3 4 5 6

APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

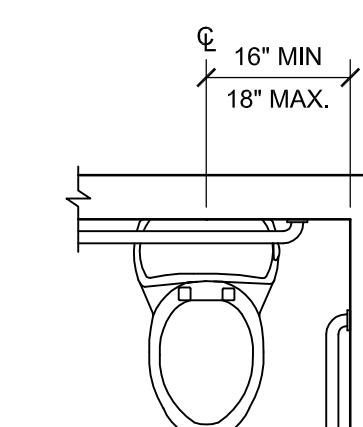
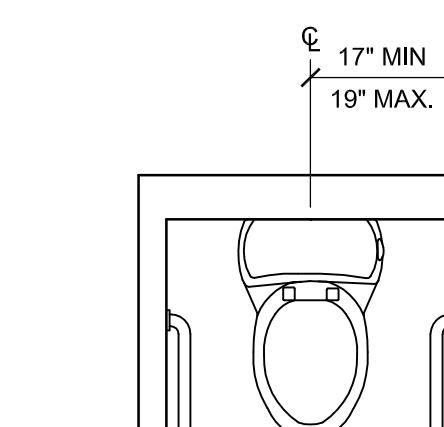


FIGURE 604.2 (ICC/ANSI A117.1-2009)

(a) ACCESSIBLE
WATER CLOSETS(b) AMBULATORY
ACCESSIBLE WATER CLOSETS

APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS - ACCESSIBLE UNIT

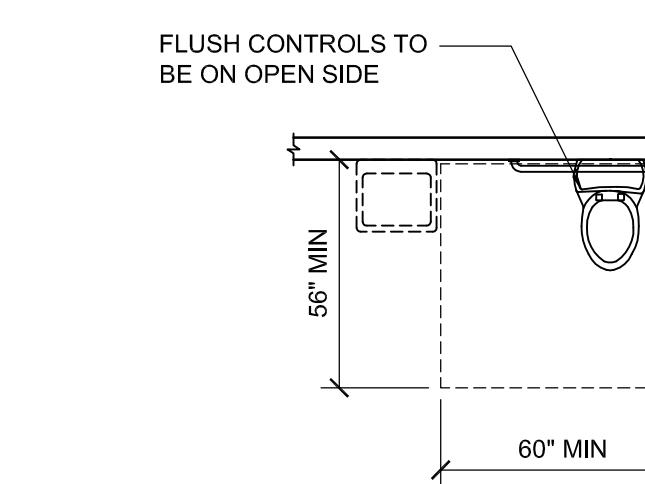
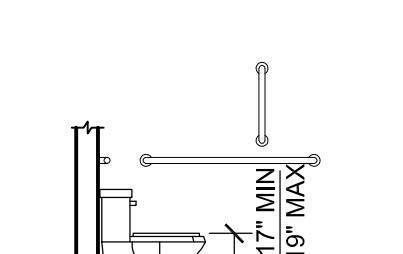


FIGURE 604.3 (ICC/ANSI A117.1-2009)

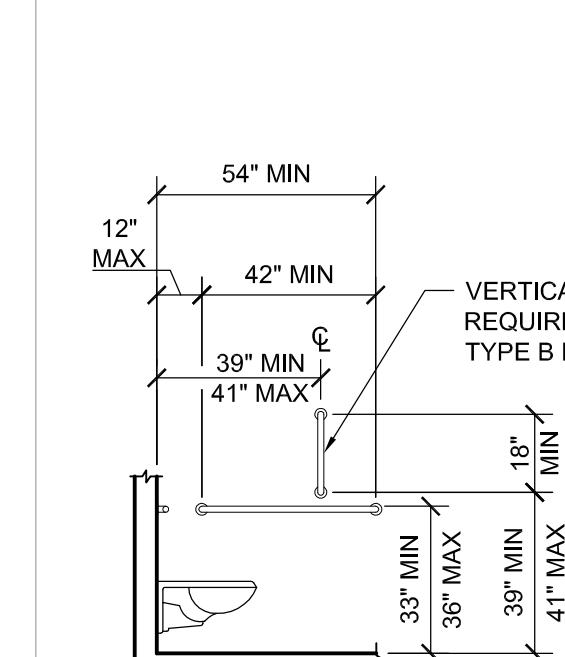
G0.61

APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS - ACCESSIBLE UNIT

FIGURE 604.4
ADULT
WATER CLOSET HEIGHT

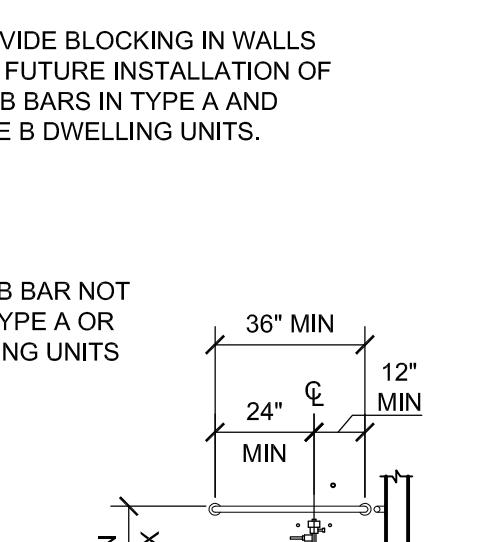
G0.61

APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS - ACCESSIBLE UNIT - TYPE "A" UNIT - TYPE "B" UNIT

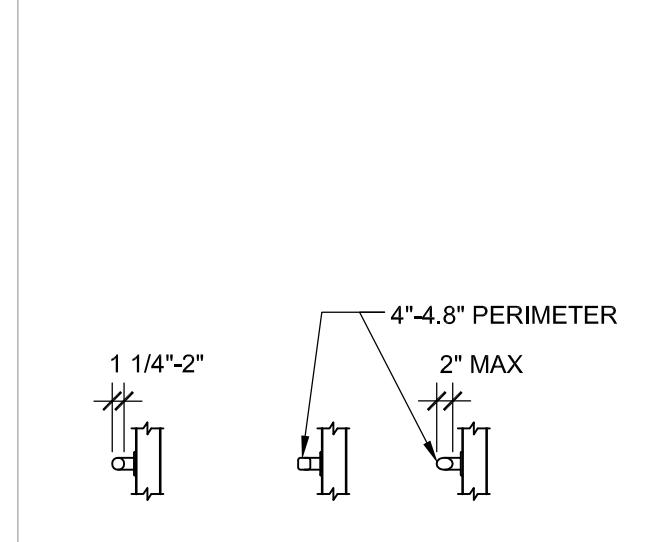
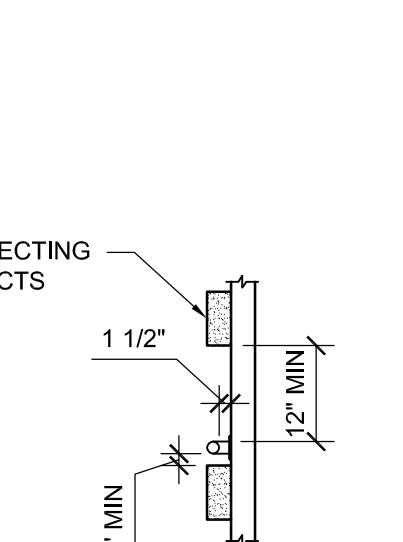
FIGURE 604.5.1
SIDE WALL GRAB BAR FOR
WATER CLOSET

G0.61

APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS - ACCESSIBLE UNIT

FIGURE 604.5.2
REAR WALL GRAB BAR FOR
WATER CLOSET

G0.61

FIG. 609.2
(A) CIRCULAR
(B) NONCIRCULAR
(C) PERIMETERFIG. 609.3
SPACING OF GRAB BARS

APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

WATER CLOSET LOCATION

FIGURE 604.2 (ICC/ANSI A117.1-2009)

G0.61

APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS - ACCESSIBLE UNIT - TYPE "A" UNIT

FIGURE 604.3 (ICC/ANSI A117.1-2009)

G0.61

APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.4 (ICC/ANSI A117.1-2009)

G0.61

APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS - ACCESSIBLE UNIT

FIGURE 604.7 (ICC/ANSI A117.1-2009)

G0.61

APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.10.7 (ICC/ANSI A117.1-2009)

G0.61

APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.2 (ICC/ANSI A117.1-2009)

G0.61

APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.5 (ICC/ANSI A117.1-2009)

G0.61

APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.8 (ICC/ANSI A117.1-2009)

G0.61

APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.9 (ICC/ANSI A117.1-2009)

G0.61

APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.10 (ICC/ANSI A117.1-2009)

G0.61

APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.11 (ICC/ANSI A117.1-2009)

G0.61

APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.12 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.13 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.14 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.15 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.16 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.17 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.18 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.19 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.20 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.21 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.22 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.23 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.24 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.25 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.26 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.27 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.28 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.29 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.30 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.31 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.32 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.33 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.34 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.35 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.36 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.37 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.38 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.39 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.40 (ICC/ANSI A117.1-2009)

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APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

FIGURE 604.8.41 (ICC/ANSI A117.1-2009)

G0.61

APPLIES TO - SITE/PUBLIC/COMMON ELEMENTS

PRELIMINARY
NOT FOR
CONSTRUCTION

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DEMOLITION RCP NOTES

- A. COORDINATE EXTENT OF ALL DEMOLITION WORK WITH NEW WORK. CONSULT WITH ARCHITECT UPON DISCOVERY OF SIGNIFICANT DISCREPANCIES.
- B. PATCH AND REPAIR EXISTING SURFACES THAT REMAIN. MATCHING SUBSTRATE AND FINISHES OF ADJACENT EXISTING SURFACES.
- C. PROVIDE SHORING AND BRACING AS REQUIRED.
- D. PROTECT ALL ITEMS FROM DAMAGE DURING DEMOLITION.
- E. OWNER SHALL HAVE RIGHT OF FIRST REFUSAL FOR EQUIPMENT AND MATERIALS REMOVED DURING DEMOLITION AND WILL PROMPTLY REMOVE SELECTED ITEMS. SALVAGEABLE / RECYCLABLE EQUIPMENT AND MATERIALS SHALL BE STOCKPILED AT AN OWNER PROVIDED ON-SITE LOCATION FOR FUTURE USE / RECYCLING. ALL OTHER DEMOLISHED MATERIALS ARE TO BE REMOVED DAILY. FEES ASSOCIATED WITH DISPOSAL SHALL BE INCLUDED IN THE CONTRACTOR'S BASE BID.
- F. ALL ITEMS NOT REUSED FOR NEW CONSTRUCTION TO BE RECYCLED TO THE MAXIMUM EXTENT ALLOWED PER LOCAL CODE. VERIFY WHICH ITEMS TO BE REUSED W/ BUILDING OWNER AND ARCHITECT PRIOR TO REMOVAL.
- G. REFER TO G0.30 FOR EXIT SIGNAGE. COORDINATE WITH FIRE MARSHAL.
- H. EXISTING LIGHTING, SPRINKLERS & SPEAKERS SHOWN ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY.
- J. REFERENCE MECHANICAL DRAWINGS FOR HVAC INFORMATION. CONTRACTOR TO COORDINATE WITH CLIENT FOR REQUIREMENTS.
- K. REFER TO STRUCTURAL DRAWINGS PRIOR TO COMMENCING ANY DEMOLITION WORK.
- L. REMOVE ALL EXISTING DUCTING, PLUMBING AND ELECTRICAL AS REQUIRED FOR NEW LAYOUT. REMOVE BACK TO POINT OF ORIGIN.

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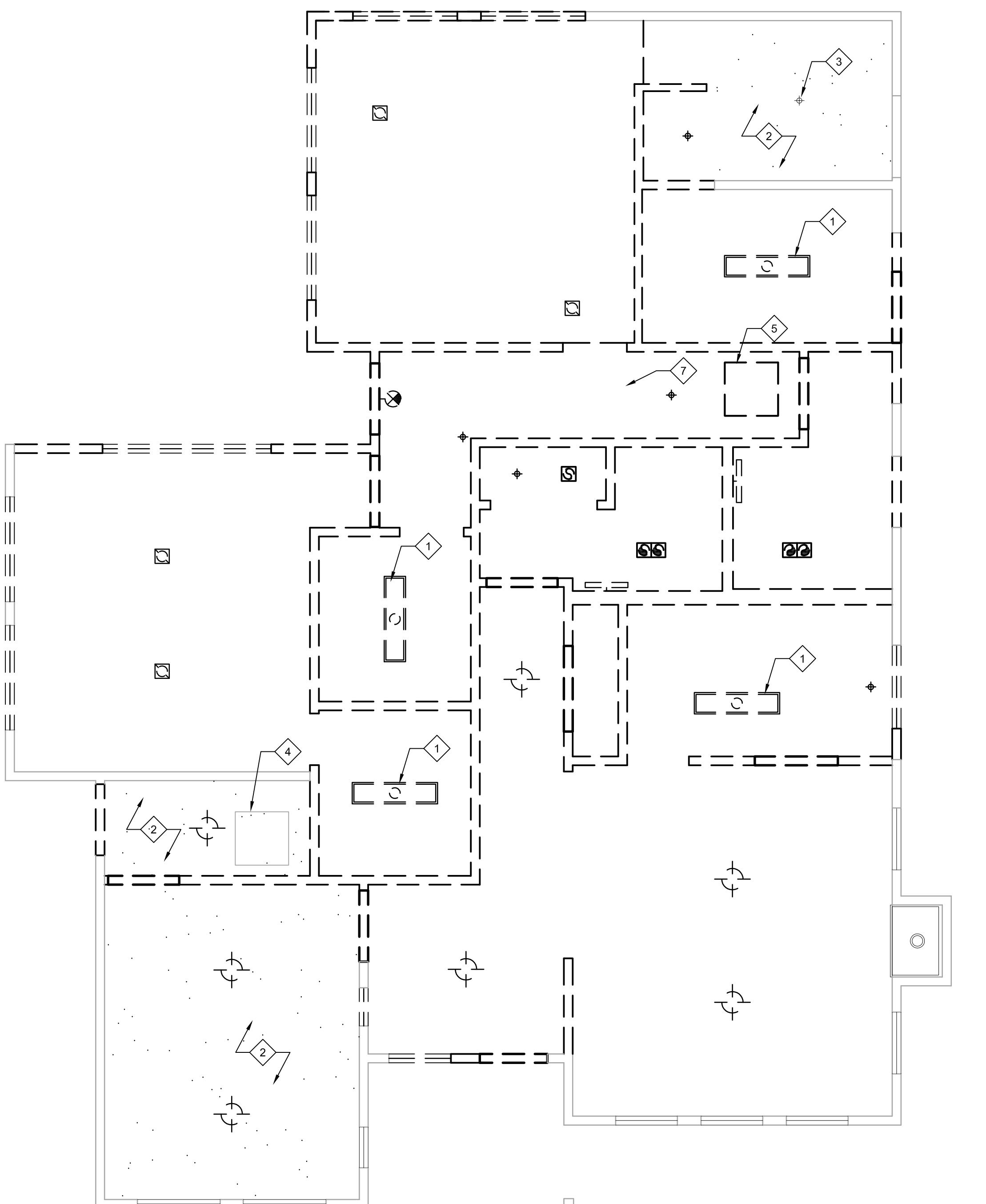
PRICING SET

THE POINTE APARTMENTS
CLUBHOUSE3708 NE 109TH AVENUE
VANCOUVER, WA 98682

REV DATE	FILE

PIC: L. WARNOCK
PM: H. GREEN
PA:
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DATE: 04/25/2014

A2.01

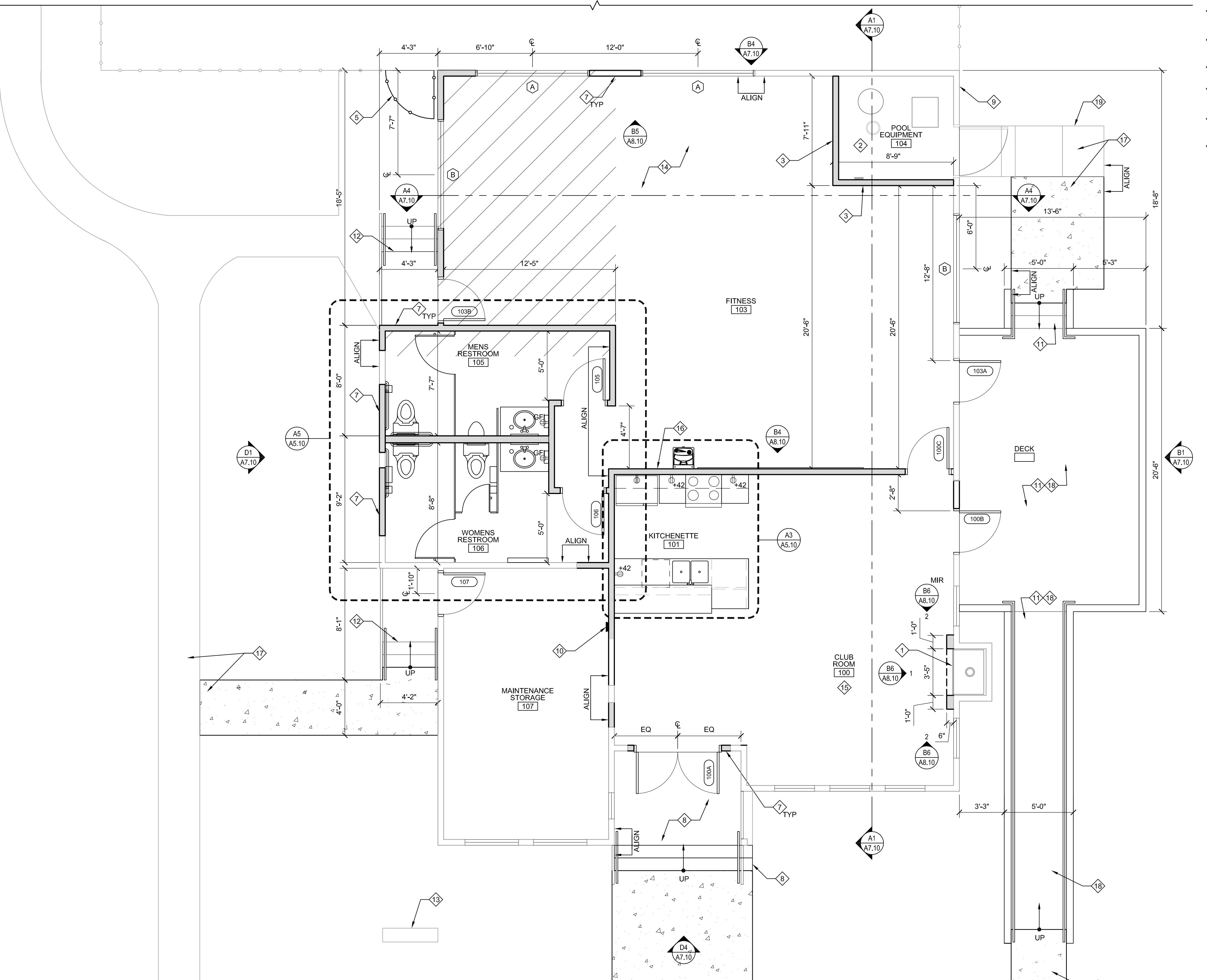
DEMOLITION
REFLECTED
CEILING PLAN

CLUBHOUSE - DEMOLITION REFLECTED CEILING PLAN

A1

A2.01

1/4"=1'-0"



KEYNOTES

- ◆ EXISTING FIREPLACE TO REMAIN; FURR OUT FOR THE SURROUND; REFER TO FINISH PLAN AND INTERIOR ELEVATION FOR MORE INFORMATION.
- ◆ PROVIDE SOUND-REDUCTION INSULATION WITHIN EXISTING AND NEW INTERIOR PARTITION.
- ◆ EXTEND PARTITION TO UNDERSIDE OF NEW FITNESS CEILING. PROVIDE SOUND BATT INSULATION WITHIN PARTITION BELOW CEILING OF POOL EQUIPMENT ROOM. APPLY ADDITIONAL LAYER OF 5/8" GYP. BOARD TO FITNESS SIDE OF PARTITION.
- ◆ REUSE SALVAGED WINDOW AT NEW LOCATION.
- ◆ RELOCATED POOL ACCESS GATE. ACCESS TO MEET REQUIREMENTS OF 246-260-031.4 OF WASHINGTON ADMINISTRATIVE CODE.
- ◆ LINE OF EXISTING ASPHALT.
- ◆ WALL INFILL AND NEW CONSTRUCTION TO MATCH ADJACENT EXISTING CONSTRUCTION FRAMING AND FINISH MATERIALS.
- ◆ EXISTING CONCRETE STAIR TO RECEIVE NEW STAMPED STAINED CEMENTITIOUS TOPPING. COLORS AND PARTITION TBD.
- ◆ PROVIDE NEW HOSE BIB COORDINATE FINAL LOCATION WITH OWNER.
- ◆ PROVIDE NEW ELECTRICAL PANEL. COORDINATE FINAL LOCATION WITH OWNER.
- ◆ NEW DECK, ADA RAMP & STAIRS. REFER TO EXTERIOR DETAILS AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. SURFACES TO BE TREX TRANSCEND PRODUCT, COLORS TBD:
 - 2X6 SQUARE EDGE DECK BOARDS
 - 42" HIGH TRANSCEND RAILING
 - 4" POST SLEEVE OVER 4X4 P.T. POSTS
 - FLAT POST SLEEVE CAP
 - BEVELLED TOP/BOTTOM RAILS
 - SQUARE BALUSTERS
 - ADA COMPLIANT HAND RAIL
- ◆ NEW CONCRETE STAIR AND LANDING WITH BLACK POWDER COATED HAND RAIL. REFER TO EXTERIOR DETAILS.
- ◆ PAINT EXISTING BRICK MONUMENT, COLOR TBD.
- ◆ PROVIDE ELECTRICAL, DATA AND CATV AS REQUIRED FOR NEW FITNESS LAYOUT. COORDINATE WITH FITNESS VENDOR.
- ◆ COORDINATE TV LOCATION AND OTHER AUDIO/VISUAL REQUIREMENTS WITH OWNER.
- ◆ PROVIDE WATERLINE FOR REFRIGERATOR.
- ◆ TOP SURFACE OF NEW CONCRETE WALKWAY TO ALIGN WITH ADJACENT SURFACE.
- ◆ PROVIDE WEED STOP FABRIC BENEATH GRAVEL BELOW NEW DECK, RAMP, AND STAIRS.
- ◆ EXISTING CONCRETE WALKWAY.

FLOOR PLAN AND POWER/DATA NOTES

- A. PROVIDE NECESSARY STRUCTURAL BLOCKING, BACKING, FRAMING WITHIN THE APPROPRIATE WALLS FOR WALL-MOUNTED FIXTURES, ACCESSORIES, FURNISHINGS AND EQUIPMENT. VERIFY CONDITIONS AT EXISTING WALLS TO RECEIVE FIXTURES. ADVISE ARCHITECT OF RECORD OF ANY CONDITIONS DETERIMENTAL TO INSTALLATION.
- B. STRUCTURAL, FIRE RESISTIVE AND SOUND RESISTIVE INTEGRITY IS TO BE MAINTAINED AT PENETRATIONS FOR ELECTRICAL, MECHANICAL, PLUMBING AND CONDUITS, PIPES AND SIMILAR SYSTEMS AND IS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF GOVERNING CODES, AUTHORITIES OR OWNER REQUIREMENTS, WHICHEVER IS MORE RESTRICTIVE.
- D. WALL ASSEMBLIES: PROVIDE TYPE "X" GYPSUM BOARD THROUGHOUT UNLESS NOTED OTHERWISE. PROVIDE WATER RESISTANT GYPSUM BOARD TYPE "X" AT ALL ROOMS WHERE PLUMBING FIXTURES OCCUR. PROVIDE GLASS-MAT WATER-RESISTANT GYPSUM BOARD TYPE "X" AT ALL HIGH HUMIDITY AREAS.
- E. APPLY VAPOR BARRIER AT INTERIOR SIDE OF ALL EXTERIOR WALLS BENEATH FINISH MATERIAL WHERE ALTERATIONS OCCUR, TYPICAL.
- F. ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISH, UNO
- G. CONTRACTOR TO COORDINATE FINAL HARDWARE REQUIREMENTS FOR DOORS WITH OWNER. ALL DOOR HANDLES, PULLS, LATCHES, LOCKS AND OPERATING DEVICES MUST MEET ADA REQUIREMENTS.
- H. REFER TO EQUIPMENT, APPLIANCE AND BATHROOM ACCESSORY SCHEDULE(S) FOR SPECIFICATIONS.
- J. EXTERIOR TO BE PAINTED; COLORS TBD. ASSUME (2) FIELD COLORS; (2) ACCENT COLORS.
- K. COORDINATE POWER AND DATA REQUIREMENTS FOR ALL NEW EQUIPMENT AND APPLIANCES.
- L. ELECTRICAL SUB-CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE WORKING CONDITIONS OF ALL EXISTING OUTLETS TO REMAIN.
- M. RE-USE EXISTING RECEPTACLE LOCATIONS FOR NEW POWER & DATA RECEPTACLES WHERE APPLICABLE. CONTRACTOR TO FIELD VERIFY.
- N. ALL EQUIPMENT SHOWN PROVIDED BY GC; UNLESS OTHERWISE NOTED.
- P. COORDINATE DATA REQUIREMENTS AND FINAL LOCATIONS WITH OWNER.
- Q. ALL EXISTING POWER AND DATA OUTLETS TO HAVE NEW FACE PLATES.
- R. PROVIDE ELECTRICAL OUTLETS AS NECESSARY TO MEET MINIMUM REQUIREMENT PER JURISDICTION HAVING AUTHORITY. ELECTRICAL AND DATA OUTLETS SHOWN IN PLAN DO NOT REPRESENT ALL WHICH MAY BE REQUIRED BY OWNER. COORDINATE ADDITIONAL REQUIREMENTS AND LOCATIONS WITH OWNER. SEE ELECTRICAL DRAWINGS.
- S. DOORS TO BE LOCATED 4" FROM ADJACENT PERPENDICULAR WALL ON HINGE SIDE.
- T. PROVIDE SOUND ATTENUATION INSULATION IN THE WALLS OF THE RESTROOMS.
- U. THRESHOLDS AT EXTERIOR DOORS TO BE MEET ACCESSIBILITY REQUIREMENTS.

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THE POINTE APARTMENTS CLUBHOUSE

3708 NE 109TH AVENUE
VANCOUVER, WA 98682

REV DATE FILE
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PA:
DRAWN BY: KJ/AICR
JOB NO: 131570
DATE: 04/25/2014

PARTITION & UTILITY LEGEND

- NEW CONCRETE WALKWAY. HEIGHT TO MATCH EXISTING CONCRETE WALKWAYS. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING CONSTRUCTION TO REMAIN
- NEW INTERIOR PARTITION TO STRUCTURE; SEE DETAIL D6/A11.50
- DUPLEX OUTLET
- GFI GROUND FAULT INTERRUPTER DUPLEX OUTLET
- DEDICATED CIRCUIT
- FLOOR OUTLET
- TELEPHONE/DATA JACK
- PANEL

- APPROXIMATE AREA OF NEW FOUNDATIONS AND FLOOR. REFER TO STRUCTURAL DRAWINGS.
- NEW CONCRETE WALKWAY. HEIGHT TO MATCH EXISTING CONCRETE WALKWAYS. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING CONSTRUCTION TO REMAIN
- NEW INTERIOR PARTITION TO STRUCTURE; SEE DETAIL E3/A11.50
- DUPLEX OUTLET
- GFI GROUND FAULT INTERRUPTER DUPLEX OUTLET
- 220 VOLT OUTLET
- POWER/DATA COMBINATION FLUSH FLOOR OUTLET, COOD. WITH FURNITURE LAYOUT AND ARCHITECT PRIOR TO LOCATING.
- TELEPHONE/DATA JACK
- NOTE: ELECTRICAL DEVICES ARE SHOWN FOR DESIGN INTENT. REFER TO ELECTRICAL DRAWINGS

A2.10

FLOOR
PLAN

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ROOF NOTES

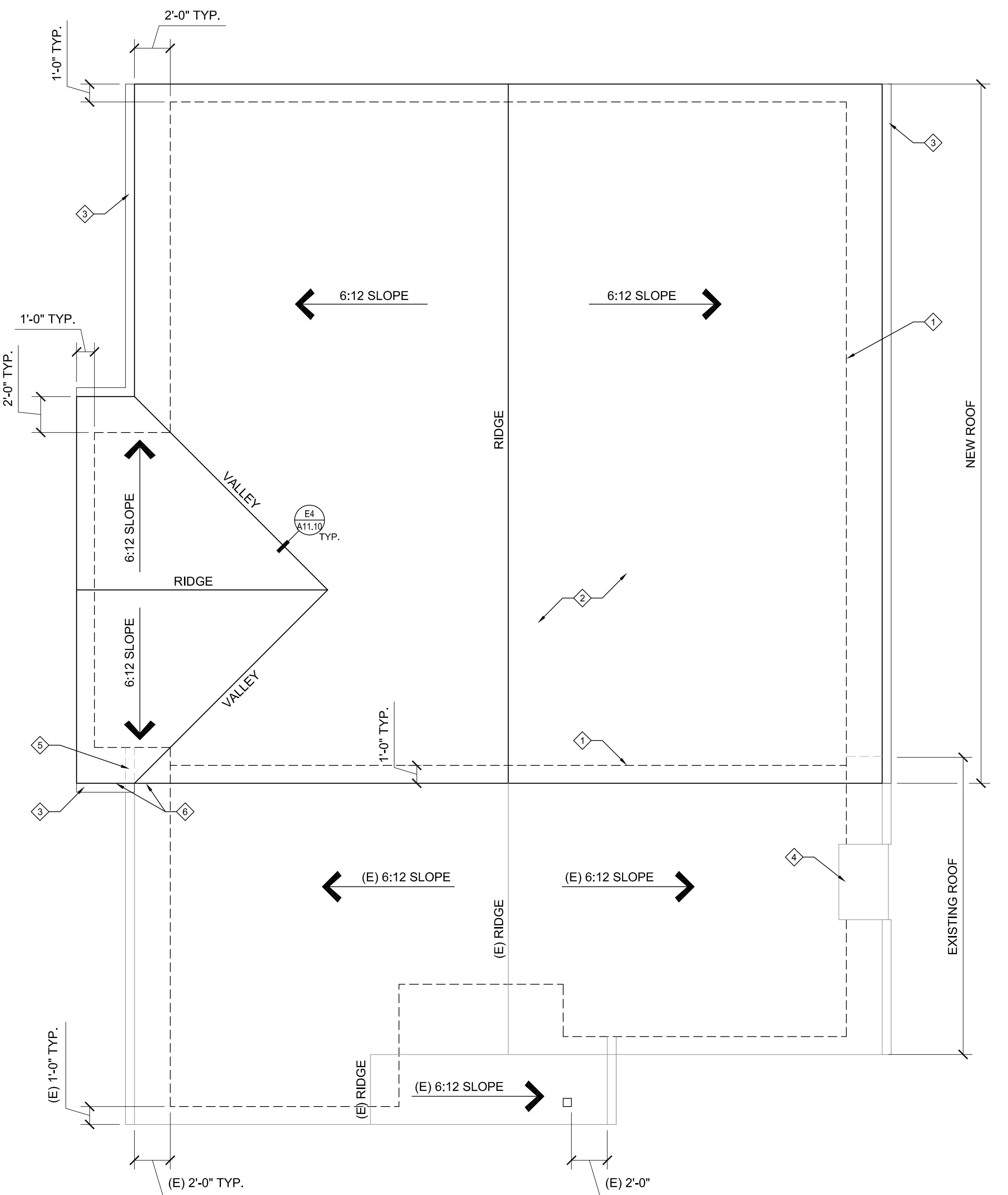
- A. PROVIDE PENETRATION FLASHING FOR ALL ROOF TOP EQUIPMENT AND RELATED CONDUIT AND PIPING. REFER TO THE PROJECT MANUAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS AND QUANTITIES OF PENETRATIONS NOT INDICATED ON THIS PLAN.
- B. PROVIDE A MINIMUM 1/2 INCH PER FOOT SLOPE ON CRICKETS AND A MINIMUM 1/4 INCH PER FOOT SLOPE ALONG BASE EDGE OF CRICKET, TYPICAL.
- C. COVER VENTILATION OPENINGS WITH CORROSION-RESISTANT INSECT SCREENING.
- D. PROTECT VENTILATION OPENINGS AGAINST THE ENTRANCE OF SNOW AND / OR RAIN. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR.
- E. PROVIDE PROTECTIVE WALK PADS.
- F. PROVIDE VENTING FOR CONCEALED SPACES PER BUILDING CODE.

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SETTHE POINTE APARTMENTS
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VANCOUVER, WA 98682

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JOB NO: 131570
DATE: 04/25/2014

A2.50

ROOF
PLAN

CLUBHOUSE - ROOF PLAN

A1

A2.50

1/4"=1'-0"

LIGHT FIXTURE SCHEDULE

	Fixture Type	Specification
L-01	DECORATIVE VANITY	KICHLER: 45151AP
L-02	RECESSED CAN	GOTHAM: AF 1/18TR 6WR MVOLT
L-03	RECESSED WALL WASHER	CONTRAST LIGHTING: NV2000LM MR16 75W TRIM: T-2000-1 ("ELECTRICAL CONTRACTOR TO SPECIFY")
L-04	EXTERIOR WALL SCONCE	TERON LIGHTING: ZENL-F140E-120V-TB-35K
L-05	LINEAR FLUORESCENT	LITHONIA LIGHTING: ST6 ("ELECTRICAL CONTRACTOR TO SPECIFY")
L-06	NOT USED	
L-07	UNDER CABINET FIXTURE	AMBIENCE LIGHTING SYSTEMS: 98593SW-171 ("ELECTRICAL CONTRACTOR TO SPECIFY")
L-08	NOT USED	
L-09	MINI PENDANTS	FEISS: P1305SHOG
L-10	SUSPENDED FLUORESCENT	FINEELITE: SERIES S12-ID-DCO-8-T8-SC-WSO-STO-120-AC-CE-C4-088
L-11	EXTERIOR SURFACE MOUNT	KICHLER: 49206BK

CEILING PLAN NOTES

- A. STRUCTURAL INFORMATION SHOWN IS DIAGRAMMATIC, SEE STRUCTURAL DRAWINGS.
- B. ALL WALLS EXTEND TO BOTTOM OF STRUCTURE, UNLESS NOTED OTHERWISE.
- C. ALL FIXTURES IC-RATED, UNLESS REQUIRED BY PREVAILING CODE TO MAINTAIN ONE HOUR RATING OR NOTED OTHERWISE.
- D. RECESSED FIXTURES TO BE LENSED WHERE REQUIRED BY PREVAILING CODE.
- E. CENTER LIGHT FIXTURES IN RESTROOMS OVER PLUMBING FIXTURE, UNLESS NOTED OTHERWISE.
- F. CONTRACTOR IS RESPONSIBLE FOR ALL ABOVE CEILING HANGER BARS, TRANSFORMERS, UNIT HEATERS AND OTHER NECESSARY ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION IN COMPLIANCE WITH APPLICABLE CODES AND COORDINATED WITH STRUCTURAL ENGINEER.
- G. PRIOR TO ORDERING OR INSTALLING, ALL EXISTING SIGNAGE LOCATIONS AND QUANTITIES APPROVED BY LOCAL FIRE MARSHAL, VERIFY WITH ARCHITECT.
- H. PAINT ALL GYP, BD, CEILING P-01; UNLESS OTHERWISE NOTED.
- J. SEE FLS PLAN FOR EXIT SIGNAGE. COORDINATE WITH FIRE MARSHAL.

CEILING PLAN LEGEND

	EXISTING GYPSUM BOARD CEILING
	OPEN CEILING WITH EXPOSED TRUSSES
	NEW GYPSUM BOARD CEILING @ 8'-0" A.F.F. TO MATCH EXISTING

LUMINAIRE

	VANITY
	RECESSED CAN
	RECESSED WALL WASHER
	EXTERIOR WALL SCONCE
	SURFACE MOUNT; RELOCATED SALVAGED
	NOT USED
	UNDER CABINET FIXTURE
	NOT USED
	MINI-PENDANTS
	SUSPENDED LINEAR FIXTURE
	EXTERIOR SURFACE MOUNT
	RECESSED VENTILATION

PRICING SET

THE POINTE APARTMENTS
CLUBHOUSE

3708 NE 109TH AVENUE
VANCOUVER, WA 98682

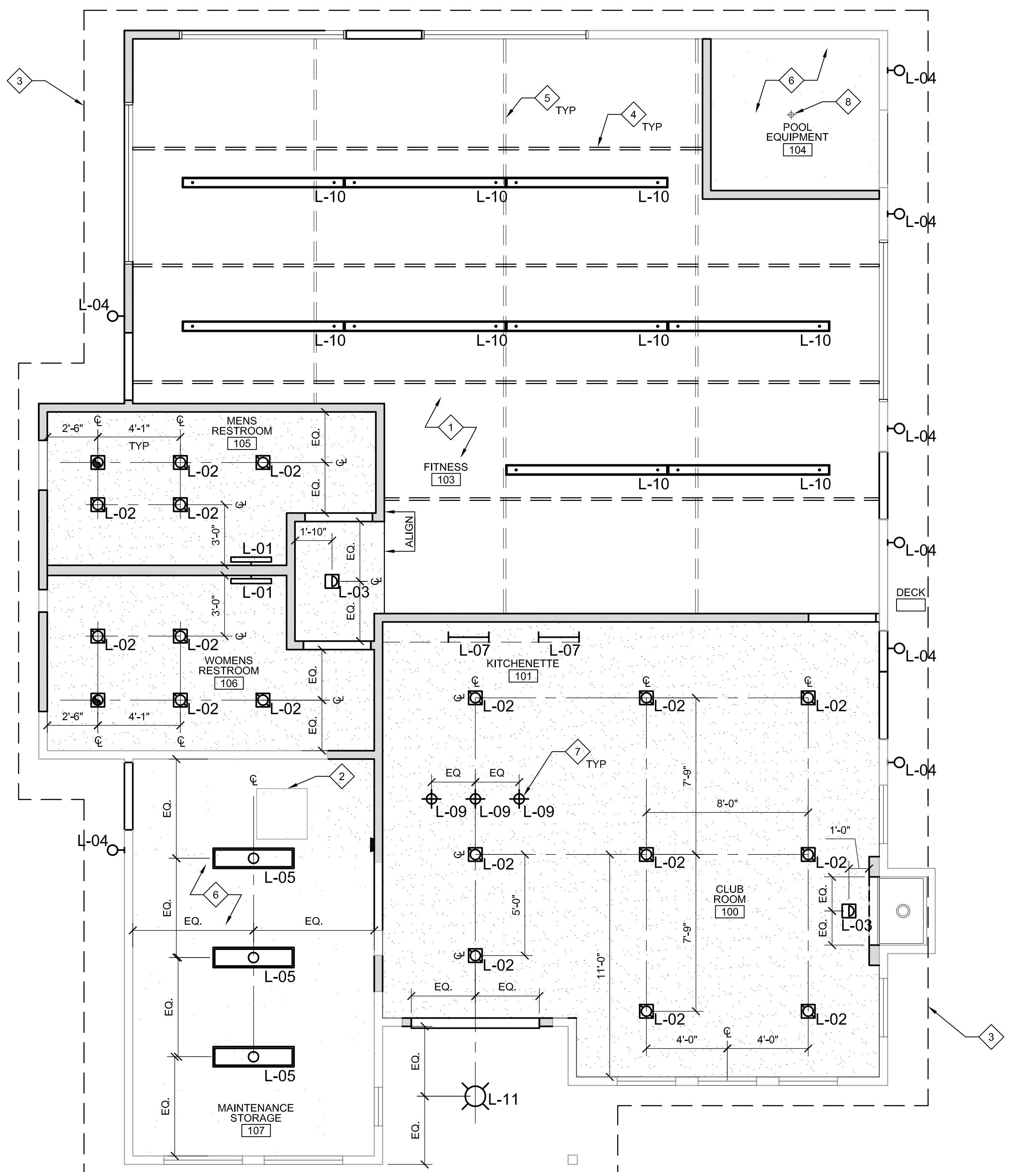
CEILING PLAN LEGEND

- ① PAINT OUT STRUCTURE AND CEILING. P-01.
- ② EXISTING ATTIC ACCESS TO REMAIN, VERIFY MINIMUM 22"X33" OPENING.
- ③ LINE OF ROOF ABOVE.
- ④ BOTTOM OF TRUSS.
- ⑤ CHORD BRACING PER STRUCTURAL.
- ⑥ EXISTING CEILING TO REMAIN IN THIS ROOM. PATCH AND REPAIR AS NECESSARY.
- ⑦ FIXTURES TO BE LOCATED IN FIELD AND COORDINATE WITH ARCHITECT.
- ⑧ EXISTING LIGHT FIXTURE TO REMAIN.

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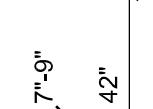
A4.10

REFLECTED
CEILING PLAN



A1 CLUBHOUSE - REFLECTED CEILING PLAN
A4.10 1/4"=1'-0"

GENERAL NOTES FOR ENLARGED PLANS

- 
 - A. SEE MEP DRAWINGS AND SPECIFICATIONS FOR PLUMBING & ELECTRICAL INFORMATION.
 - B. SEE SHEET G0.60 & G0.61 FOR ACCESSIBILITY REQUIREMENTS. ALL FIXTURES & ACCESSORIES NEED TO MEET CURRENT CODE.
 - C. PROVIDE BACKING FOR ALL WALL MOUNTED EQUIPMENT.
 - D. PROVIDE ELECTRICAL AND PLUMBING AS REQUIRED FOR EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS.

BATHROOM ACCESSORY, PLUMBING AND EQUIPMENT SCHEDULE

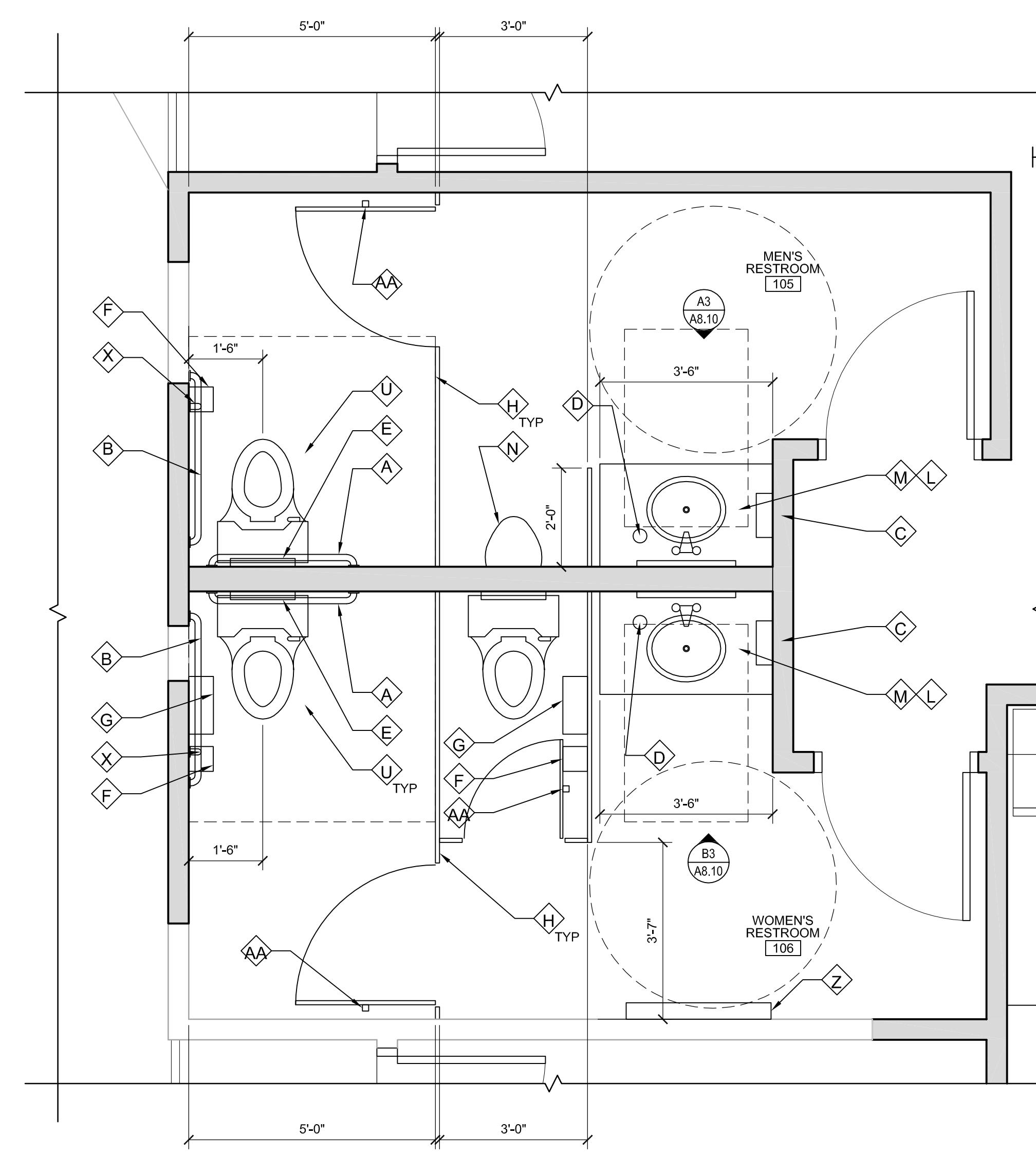
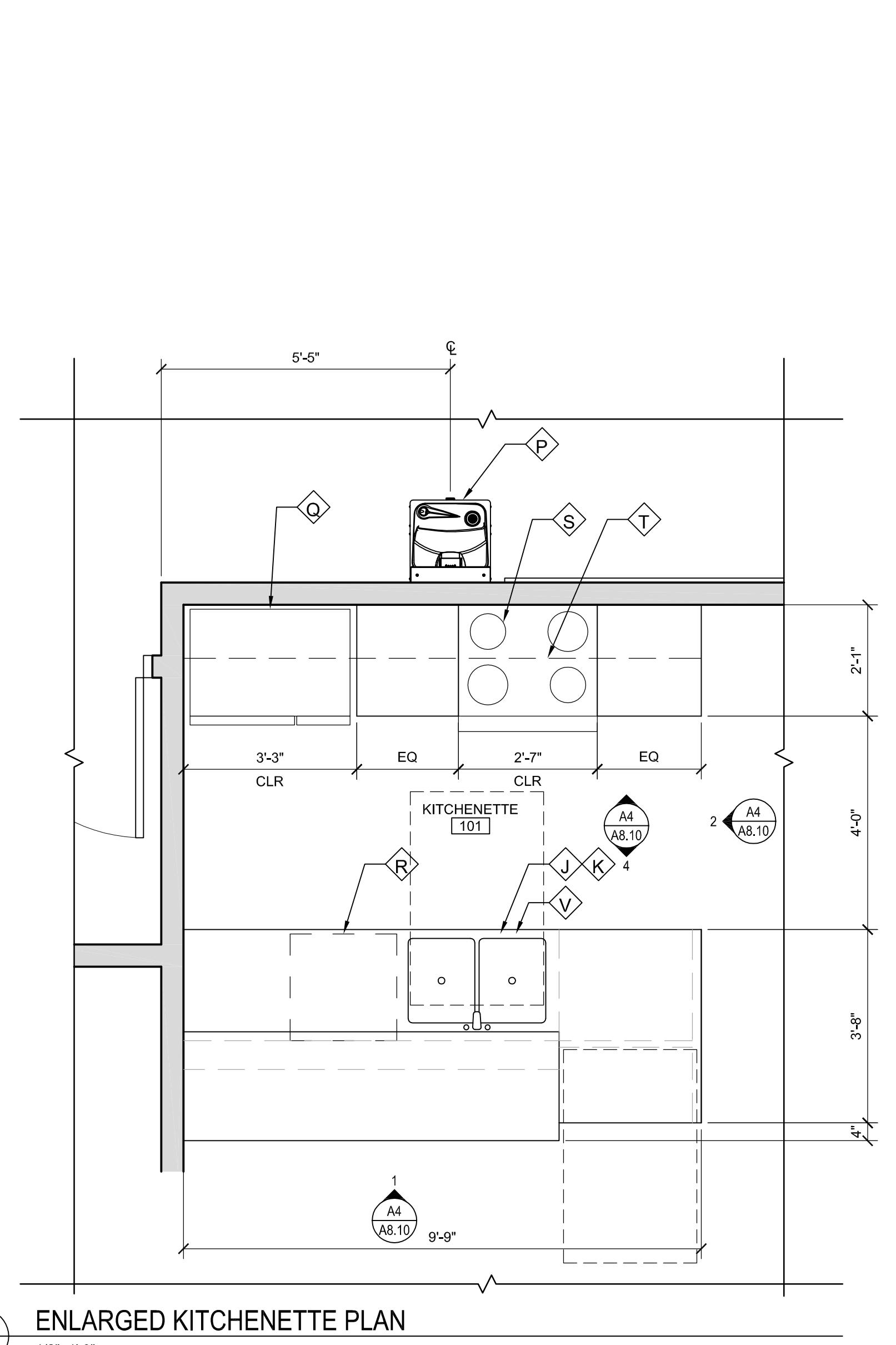
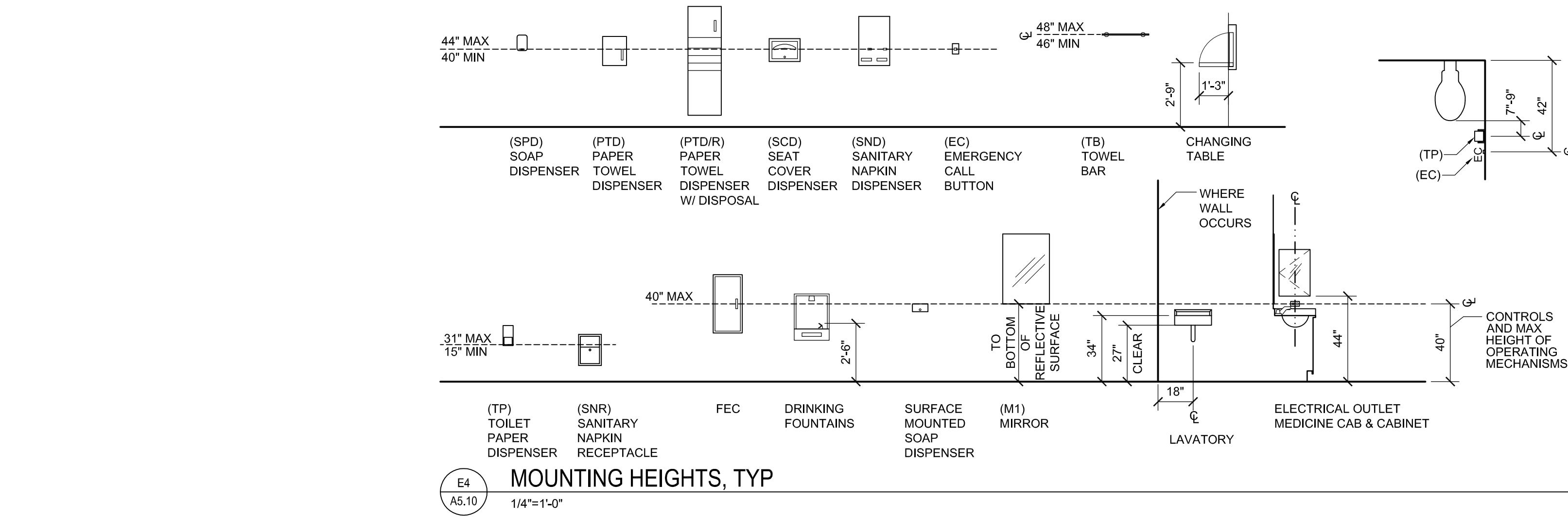
	TYPE	SPECIFICATION
(A)	GRAB BAR 36" (HORIZONTAL)	AMERICAN SPECIALTIES; SERIES 3400
(B)	GRAB BAR 48" (HORIZONTAL)	AMERICAN SPECIALTIES; SERIES 3400
(C)	SEMI-RECESSED PAPER TOWEL DISPENSER	AMERICAN SPECIALTIES; ROVAL 204523AC-6
(D)	AUTOMATIC DECK MOUNTED SOAP DISPENSER	AMERICAN SPECIALTIES; 20333
(E)	SURFACE-MOUNTED SEAT-COVER DISPENSER	AMERICAN SPECIALTIES; ROVAL 20477-SM
(F)	SURFACE-MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER	AMERICAN SPECIALTIES; ROVAL 20030
(G)	SURFACE-MOUNTED SANITARY NAPKIN DISPOSAL	AMERICAN SPECIALTIES; ROVAL 20852
(H)	TOILET PARTITION	BOBRICK; HPL CLASSICSERIES 1540; FLOOR ANCHORED
(J)	UNDERMOUNT KITCHEN SINK	ELKAY; LUSTERTONE UNDERMOUNT SINGLE BOW SINK, ELUHAD2816
(K)	KITCHEN FAUCET	AMERICAN STANDARD; ARCH 1-HANDLE PULL OUT KITCHEN FAUCET 4101.100
(L)	TOP MOUNT LAVATORY	KOHLER; PENNINGTON DROP-IN SINK K-2196-1-0
(M)	BATHROOM FAUCET	SLOAN; LUMINO EAF-225-P-ISM
(N)	URINAL	KOHLER; BARDON URINAL K-4904-ET-0
(P)	DRINKING FOUNTAIN	ELKAY; WALL MOUNT DRINKING FOUNTAIN EDFP214C
(Q)	REFRIGERATOR	GE; SIDE-BY-SIDE REFRIGERATOR GSL22JGDLS *NOTE: INCLUDE WATER FILTRATION SYSTEM IN ADJACENT CABINET, COORDINATE WITH OWNER.
(R)	DISHWASHER	GE; TALL TUB BUILT-IN DISHWASHER GLDA696FFSS
(S)	DROP-IN ELECTRIC RANGE	GE; 30" DROP IN ELECTRICAL RANGE JD360FSS
(T)	RANGE OVERHEAD VENTILATION	GE; PROFILE SERIES 30" DESIGNER HOOD JV936DSS
(U)	ADA FLOOR MOUNTED TOILET	KOHLER; HIGHLINE K-3519-0
(V)	TANKLESS WATER HEATER	CHRONOMITE; SR-30
(W)	NOT USED	
(X)	GRAB BAR 18" (VERTICAL)	AMERICAN SPECIALTIES; SERIES 3400
(Z)	SURFACE MOUNTED BABY CHANGING STATION	AMERICAN SPECIALTIES; 9013-9
(AA)	CLOTHES HOOK WITH BUMPER	BOBRICK; B-677

PRICING SET

THE POINTE APARTMENTS CLUBHOUSE

**3708 NE 109TH AVENUE
VANCOUVER, WA 98682**

REV DATE	FILE
PIC:	L. WARNOCK
PM:	H. GREEN
PA:	
DRAWN BY:	KJ/AA/CR
OB NO:	131570
DATE:	04/25/2014

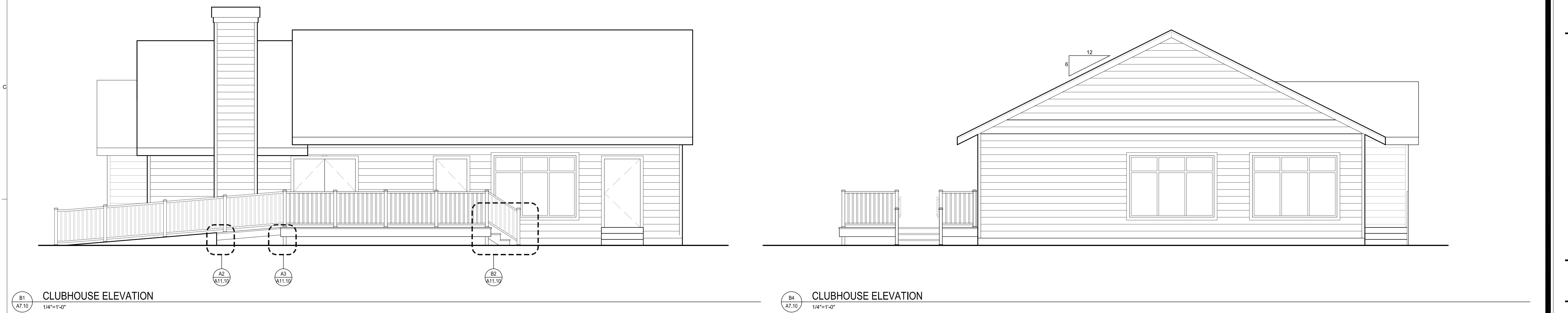


A3
A5.10 ENLARGED KITCHENETTE PLAN
1/2"=1'-0"

A5
A5.10 ENLARGED MEN'S AND WOMEN'S RESTROOM PLAN
1/2"=1'-0"

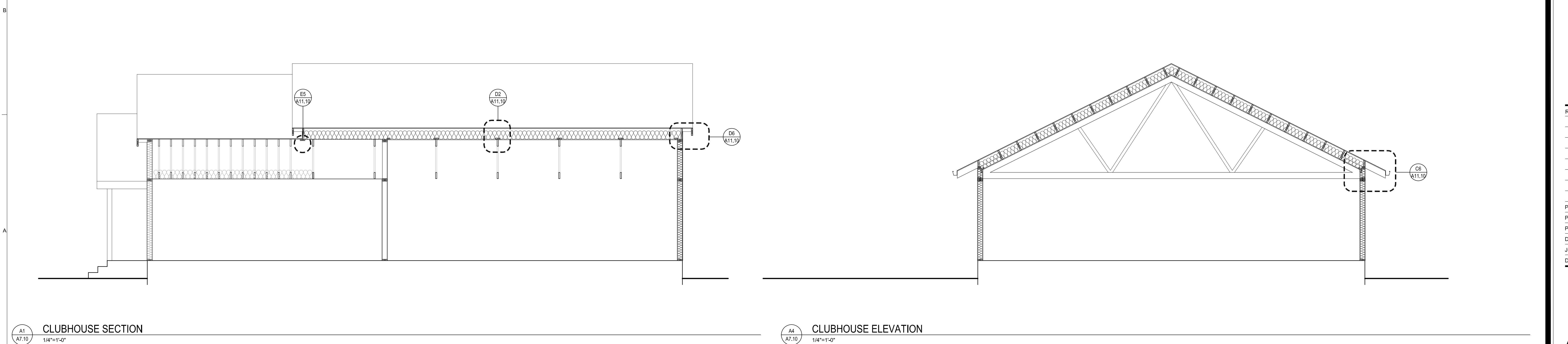


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A7.10

EXTERIOR
ELEVATIONS
AND SECTIONS

KEYNOTES

- ① INSTALL MIRRORS USING MIRROR MASTIC. OVERALL OUTSIDE TO BE FINISHED WITH BRUSHED STAINLESS STEEL J-CHANNEL.
- ② MITER CORNERS.
- ③ PRE-FAB TRUSS, SEE STRUCTURAL DRAWINGS.
- ④ LINEAR PENDANT LIGHT FIXTURES, SEE RCP.

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THE POINTE APARTMENTS
CLUBHOUSE

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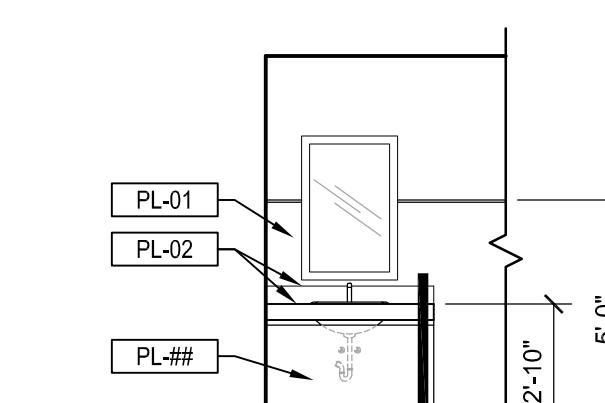
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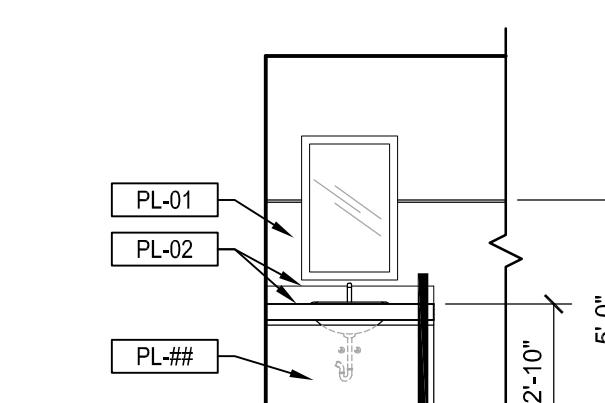
A8.10

INTERIOR
ELEVATIONS

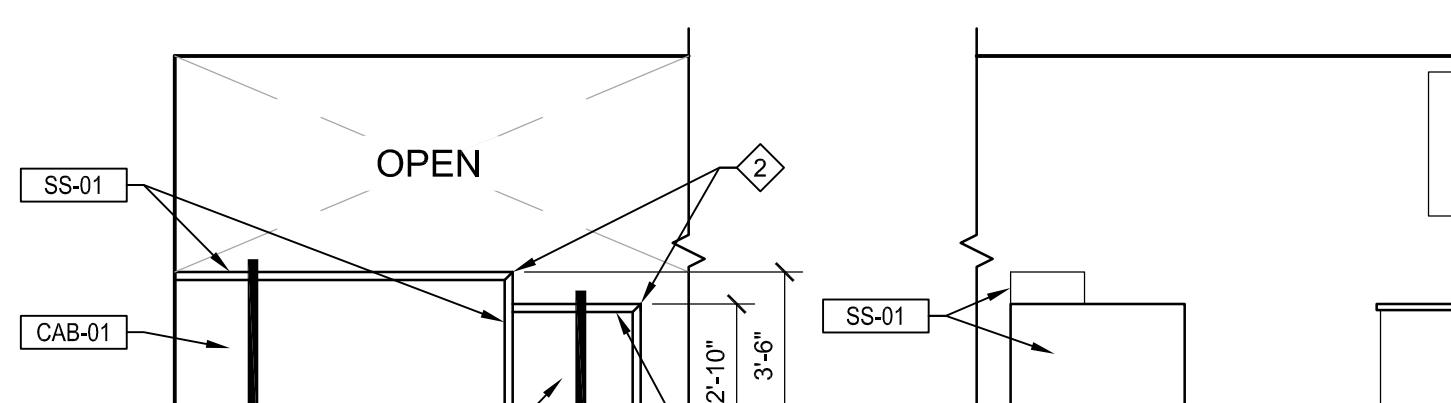
WOMEN'S RESTROOM
A8.10
SCALE: 1/4"=1'-0"



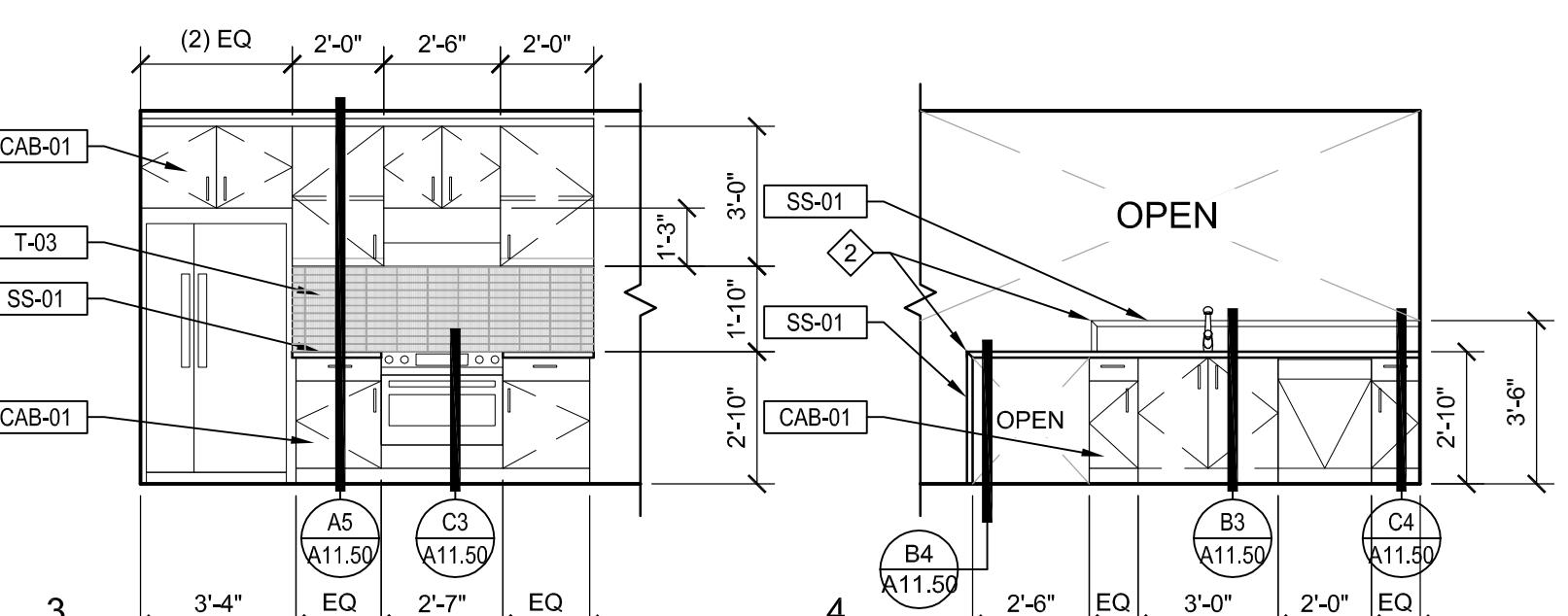
MEN'S RESTROOM
A8.10
SCALE: 1/4"=1'-0"



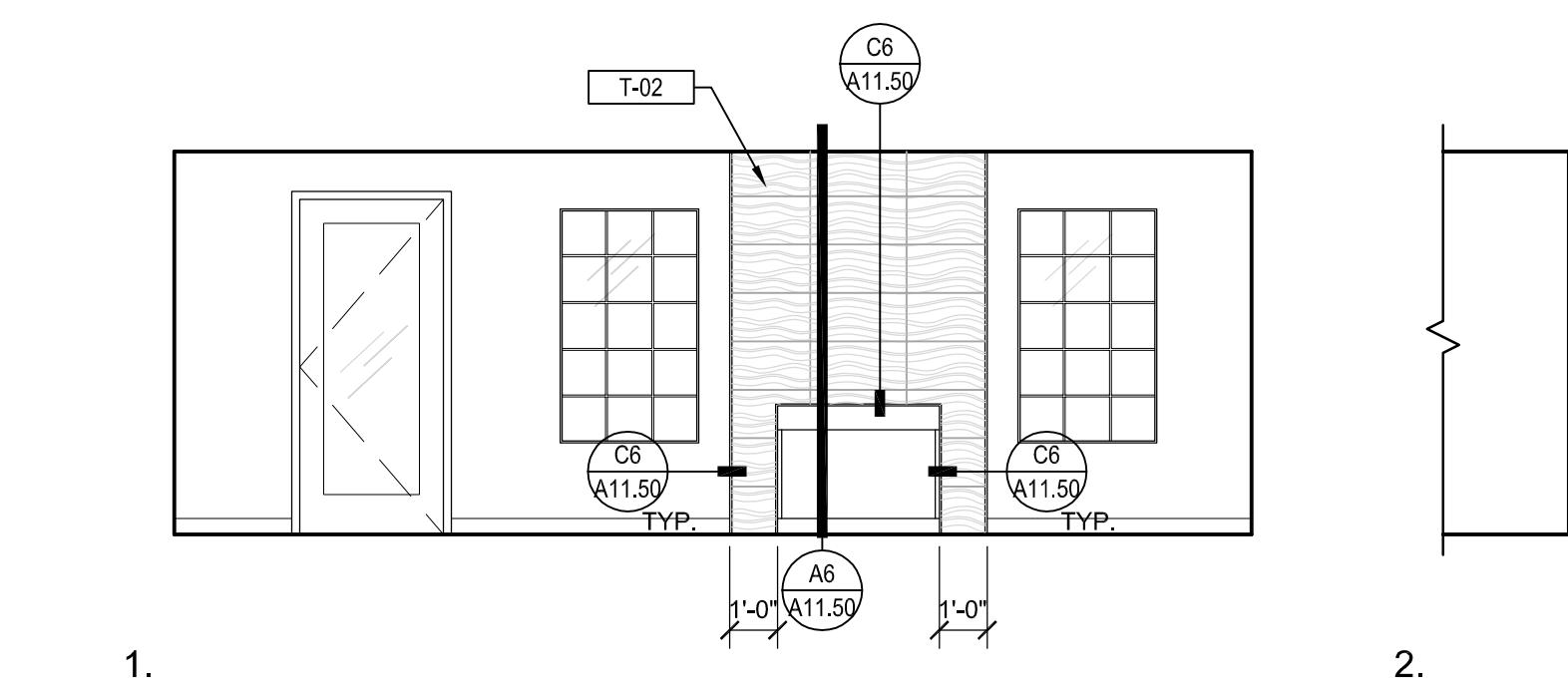
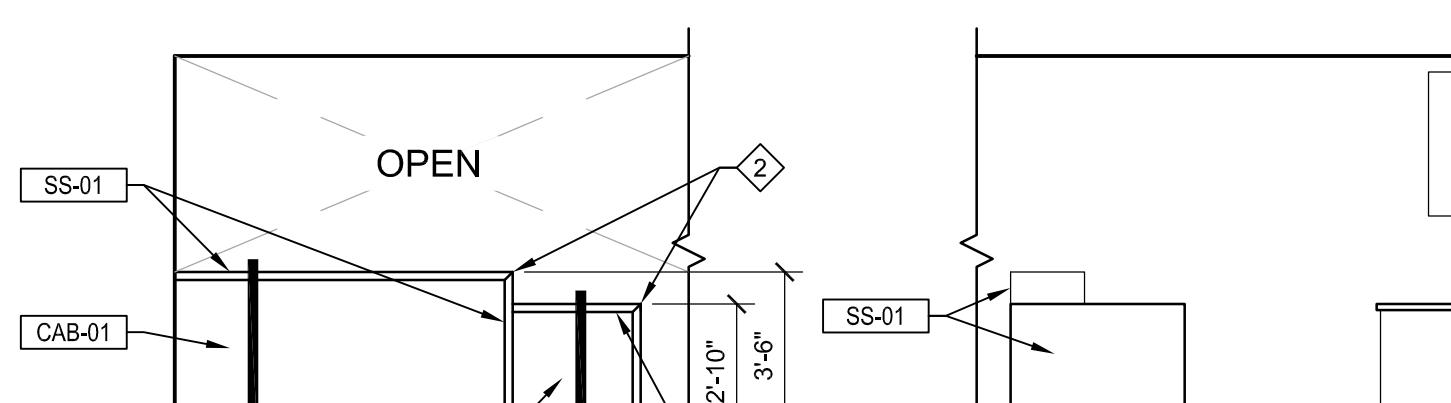
FITNESS
A8.10
SCALE: 1/4"=1'-0"



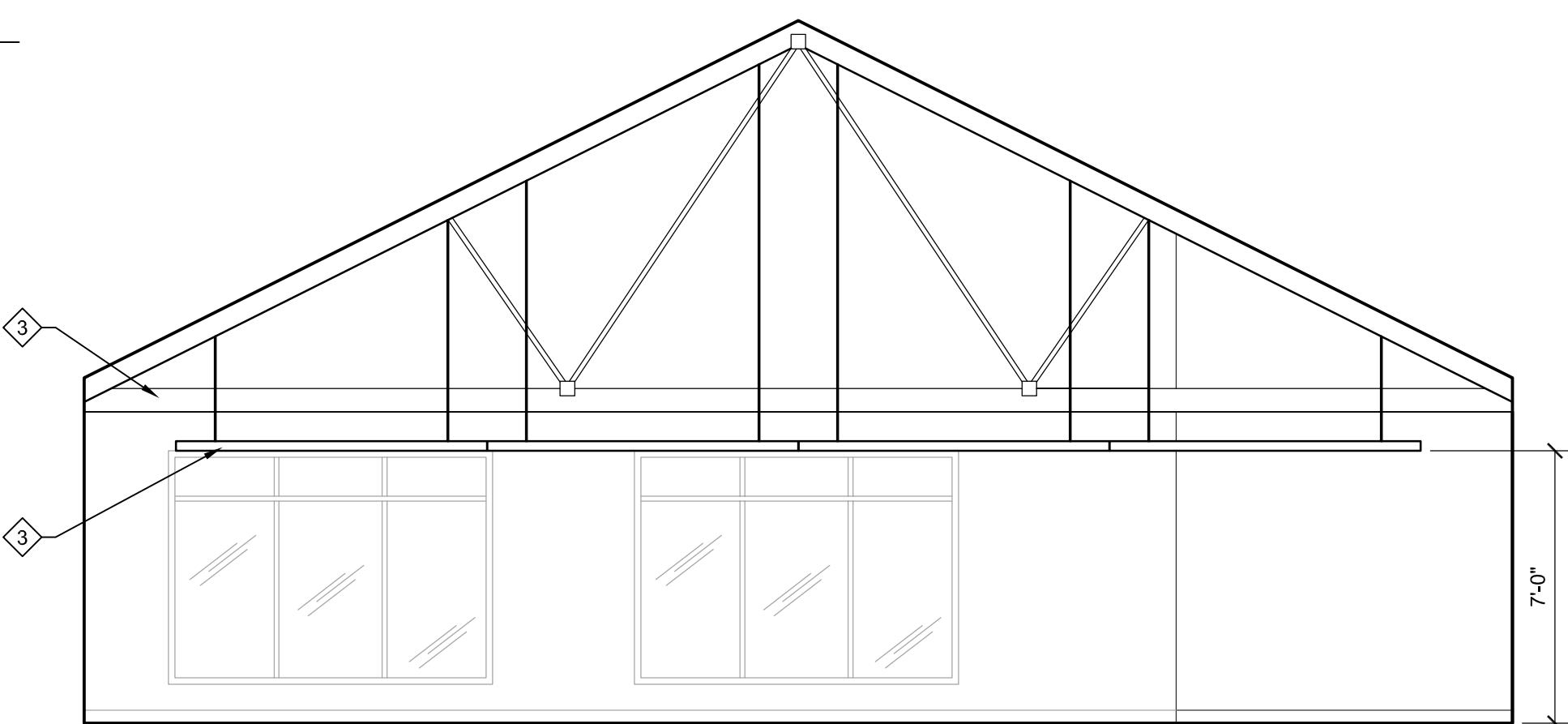
FITNESS
A8.10
SCALE: 1/4"=1'-0"



KITCHENETTE
A8.10
SCALE: 1/4"=1'-0"



FIREPLACE AT CLUB ROOM
A8.10
SCALE: 1/4"=1'-0"



A8.10

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
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SET**

**THE POINTE APARTMENTS
CLUBHOUSE**


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A11.10
EXTERIOR
ELEVATIONS
AND DETAILS



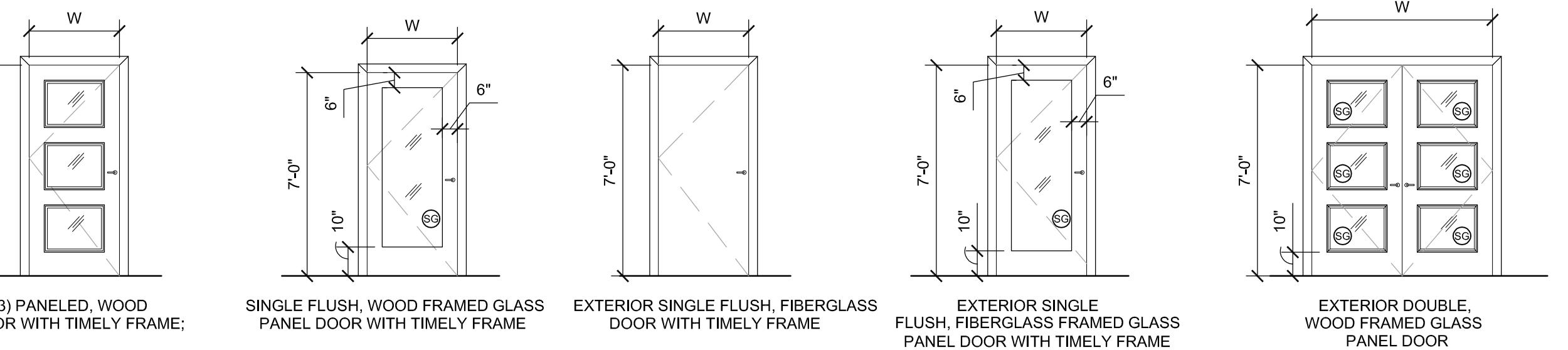
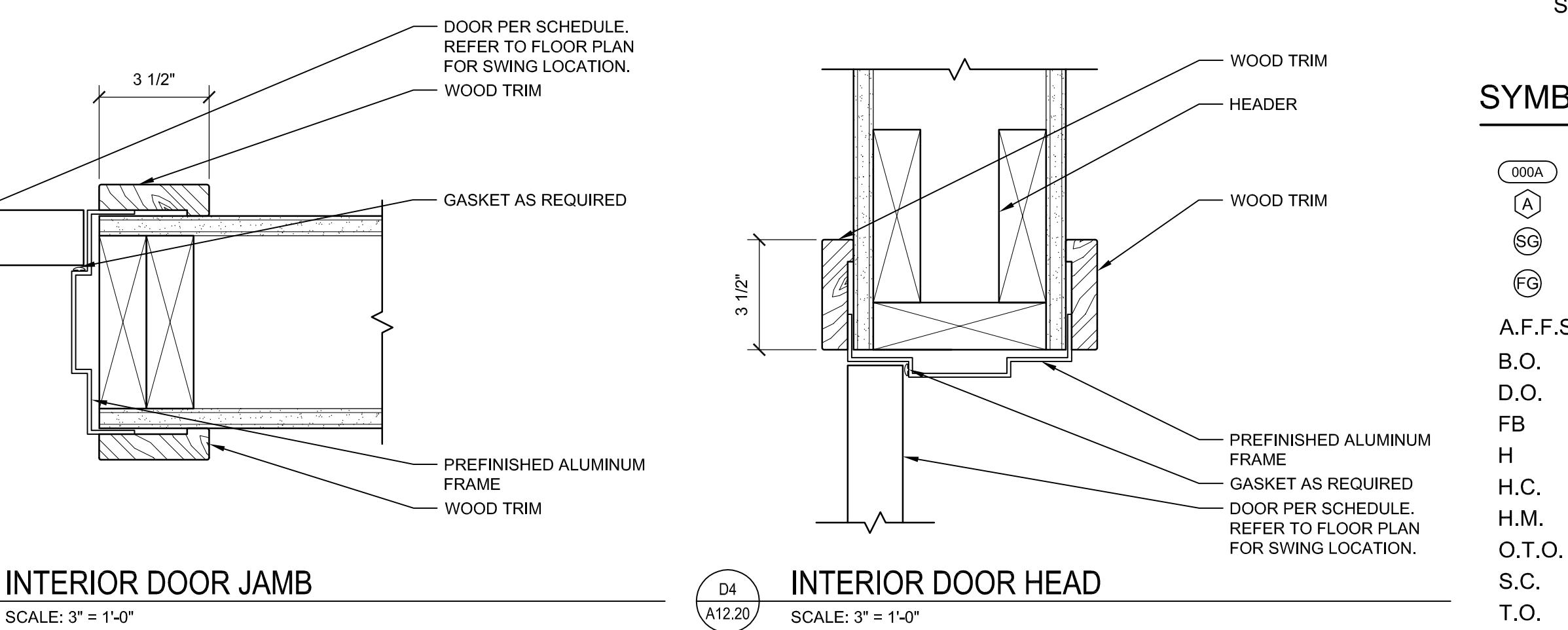
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INTERIOR/EXTERIOR DOOR SCHEDULE													
DOOR NUMBER	ROOM NAME				DOOR			FRAME		DETAILS		REMARKS	
		WIDTH	HEIGHT	THICKNESS	TYPE	MATL	FINISH	GLAZ	MATL	TRIM COLOR	HEAD	JAMB	
100A	CLUB ROOM	6'-0"	7'-0"	MANUF	E	WD	TBD	YES	ALUM	WD-01	-	-	1, 2, 3, 4, 5, 6, 7, 9
100B	CLUB ROOM	6'-0"	7'-0"	MANUF	D	FG	TBD	YES	ALUM	WD-01	-	-	2, 3, 5, 6, 7, 9
100C	CLUB ROOM	3'-0"	7'-0"	MANUF	B	WD	TBD	YES	ALUM	WD-01	-	-	2, 3, 5, 7
103A	FITNESS	6'-0"	7'-0"	MANUF	D	FG	TBD	YES	ALUM	WD-01	-	-	2, 3, 5, 6, 7
103B	FITNESS	3'-0"	7'-0"	MANUF	D	FG	TBD	YES	ALUM	WD-01	-	-	2, 3, 5, 6, 7
105	MENS RESTROOM	3'-0"	7'-0"	MANUF	C	WD	TBD	NO	ALUM	WD-01	-	-	7, 8
106	WOMENS RESTROOM	3'-0"	7'-0"	MANUF	C	WD	TBD	NO	ALUM	WD-01	-	-	7, 8
107	MAINTENANCE ROOM	3'-0"	7'-0"	MANUF	C	FG	TBD	NO	ALUM	TBD	-	-	5, 6, 7

DOOR SCHEDULE REMARKS:

1. SEE SHEET A2.10 FOR FINISH SCHEDULE.
2. PROVIDE SAFETY GLAZING AT ALL WINDOWS.
3. FRAME TRIM TO BE WOOD; TRIM BOTH SIDES.
4. TRUSTILE DOORS; TS3000 WITH TEMPERED GLASS PANELS.
5. DOORS TO REMAIN LOCKED FROM OUTSIDE AT ALL HOURS.
6. ALL EXTERIOR TRIM TO BE FINISHED TO MATCH ADJACENT EXISTING.
7. CLOSER.
8. DOOR FINISH TO MATCH TRUSTILE DOORS; TS3000.
9. EXTERIOR DOORS TO HAVE ALUMINUM THRESHOLDS MEETING ADA REQUIREMENTS.

C3 TYPICAL DOOR TYPES
A12.20
SCALE: NTS

DOOR FRAME NOTES

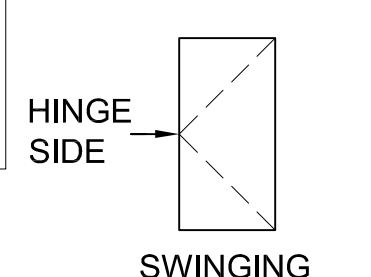
- A. PROVIDE THE APPROPRIATE JAMB ANCHOR FOR LABELED OR NON-LABELED FRAMES.
- B. PROVIDED A MINIMUM OF THREE ANCHORS PER JAMB OR SPACE AT 24 INCHES MAXIMUM ON CENTER, WHICH EVER IS A GREATER QUANTITY.
- C. SINGLE SOURCE DOORS AND FRAME WITH MATCHING LABELS.
- D. PROVIDE RUBBER DOOR SILENCERS (3 PER JAMB) WHERE LIGHT / SOUND GASKETS OR WEATHER-STRIPPING IS NOT OTHERWISE REQUIRED.

DOOR NOTES

- A. CONTRACTOR RESPONSIBLE FOR THE PROPER INSTALLATION AND OPERATION OF SCHEDULED DOORS AND HARDWARE COMPLIANT WITH REQUIREMENTS OF THE ADA, ANSI, AND BUILDING CODE(S). REPLACE ANY NON-COMPLIANT HARDWARE.
- B. DOOR INSTALLATION AND OPERATION, INCLUDING DOOR HARDWARE, SHALL COMPLY WITH ADA, ANSI, AND BUILDING CODE REQUIREMENTS.
- C. COORDINATE THE INSTALLATION OF HARDWARE WITH THE PROPER SIDE OF DOOR. SEE PLANS FOR INDIVIDUAL DOOR SWING DIRECTION AND RELATION IN FRAME.
- D. PROVIDE MANEUVERING CLEARANCES AT DOORS AS PRESCRIBED BY PREVAILING FEDERAL, STATE, OR LOCAL CODE/REGULATION.
- E. GLASS USED IN DOORS AND GLAZING, LOCATED WITHIN A 24 INCH ARC OF THE NEAREST VERTICAL EDGE OF A DOOR AND UP TO 60 INCHES ABOVE FINISH FLOOR OR IN AREAS SUBJECT TO HUMAN IMPACT OR OTHER HAZARDOUS LOCATIONS, SHALL BE TEMPERED OR OF AN APPROVED SAFETY GLAZING MATERIAL PER THE BUILDING CODE REQUIREMENTS.

DOOR OPERATION LEGEND:

NOTE: NOT ALL DOOR STYLES MAY BE USED ON THIS PROJECT.



SYMBOLS AND ABBREVIATIONS:

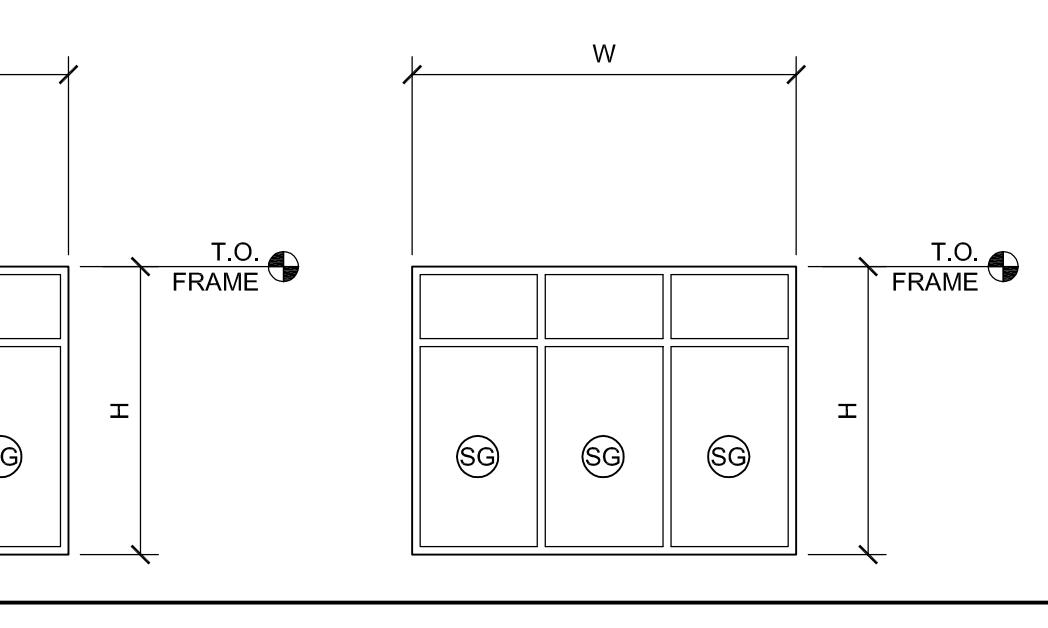
(000A)	DOOR TAG (SEE PLANS)
(A)	WINDOW TAG (SEE PLANS)
(SG)	SAFETY GLAZING
(FG)	FIRE RATED GLAZING
A.F.S.	ABOVE FINISH FLOOR SUBSTRATE
B.O.	BOTTOM OF
D.O.	DOOR OPENING (NOMINAL)
FB	FIBERGLASS
H	HEIGHT (NOMINAL)
H.C.	HOLLOW CORE
H.M.	HOLLOW METAL
O.T.O.	OUT TO OUT
S.C.	SOLID CORE
T.O.	TOP OF
W	NOMINAL OPENING WIDTH
WD	WOOD

PRICING SET

WINDOW SCHEDULE						
WINDOW TYPE	FRAME DIMENSION (O.T.O.)		FRAME		WINDOW SCHEDULE REMARK REFERENCE NUMBERS	
	WIDTH	HEIGHT	TOP OF FRAME (A.F.S.)	MATERIAL		
A	8'-4"	6'-0"	7'-0"	FB	-	1, 2, 3
B	8'-0"	6'-0"	7'-0"	FB	-	1, 2, 3

WINDOW SCHEDULE REMARKS:

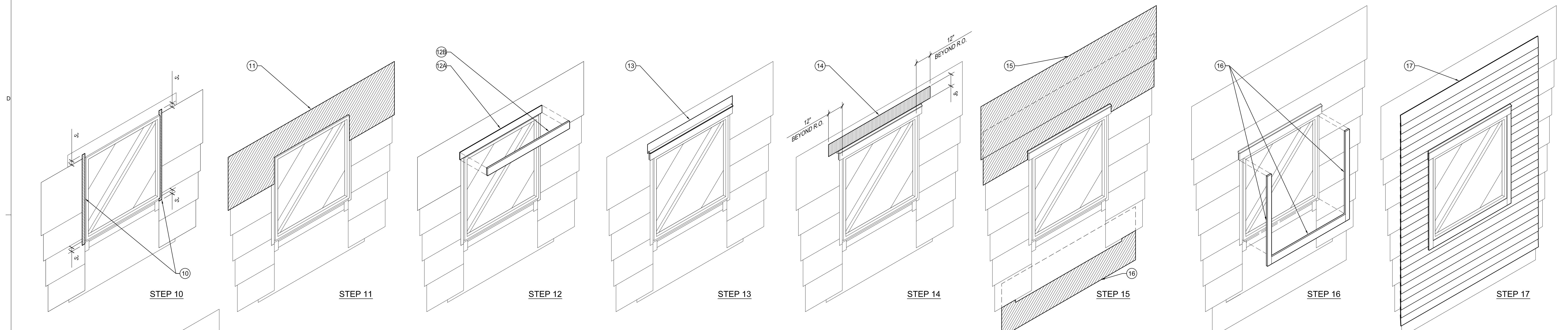
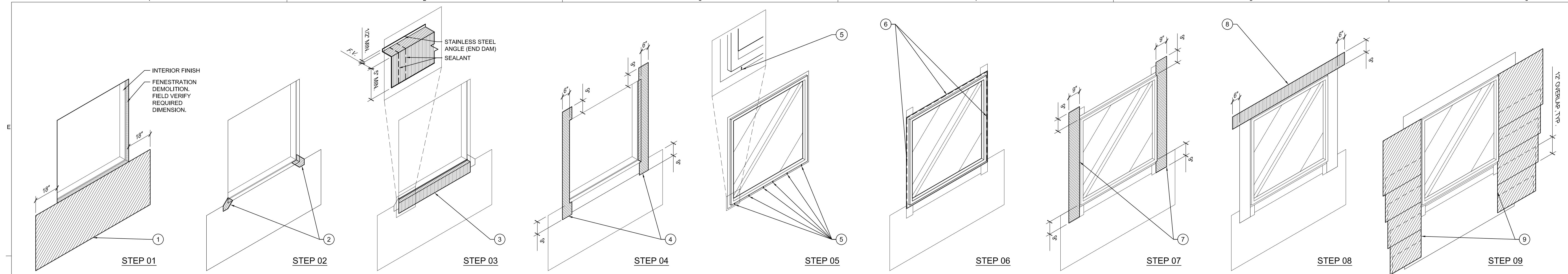
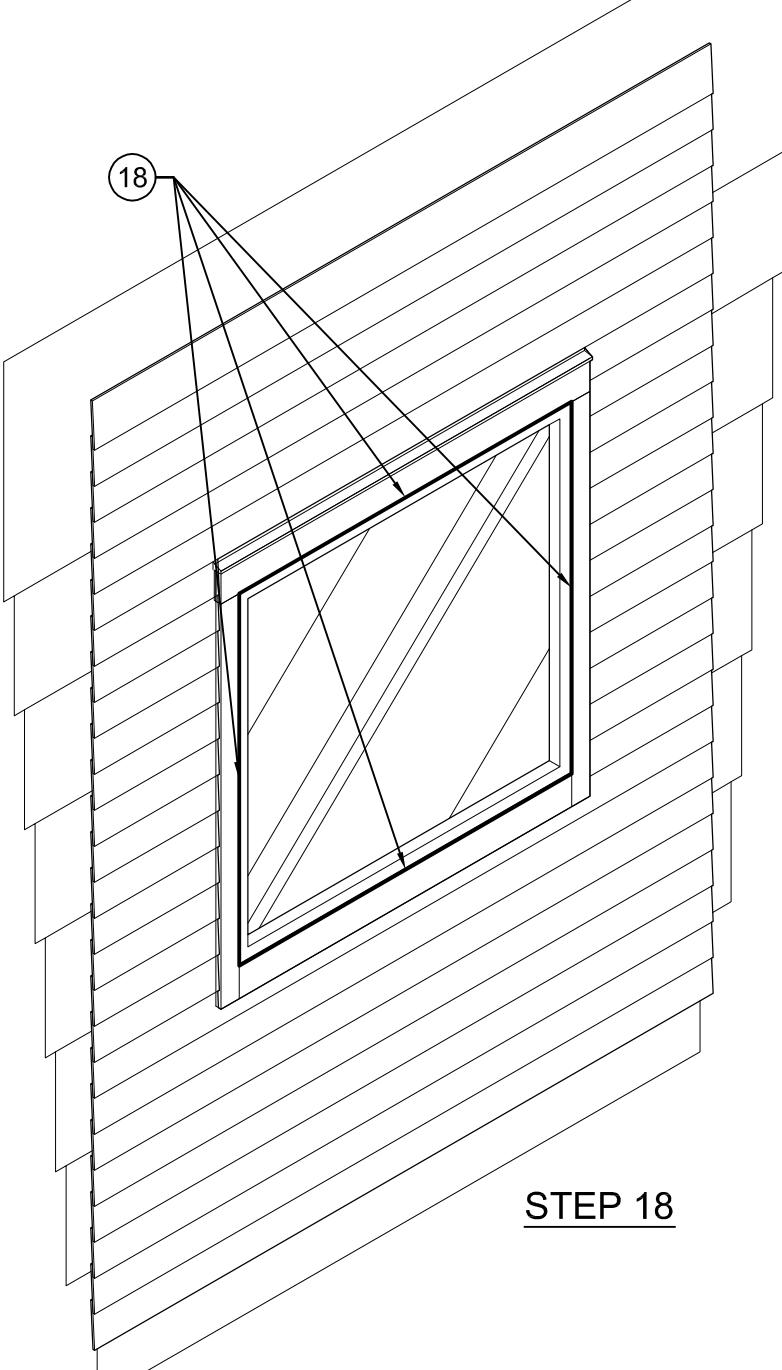
1. PROVIDE SAFETY GLAZING AT ALL WINDOWS.
2. EXTERIOR FRAME TO MATCH ADJACENT; INTERIOR TO BE ALUMINUM FRAME; FINISH TBD
3. ALL WINDOWS TO BE NON-OPERATIONAL.

A3 EXTERIOR WINDOW TYPES
A12.20
SCALE: 1/4" = 1'-0"THE POINTE APARTMENTS
CLUBHOUSE3708 NE 109TH AVENUE
VANCOUVER, WA 98682

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DOOR &
WINDOW
SCHEDULE

PRICING
SET

TYPICAL NEW WINDOW INSTALLATION INSTRUCTIONS

1. INSTALL WEATHER RESISTANT BARRIER (60 MIL MIN.) AT WINDOW SILL. LEAVE LOOSE AT BOTTOM EDGE. EXTEND 18" BEYOND VERTICAL EDGES OF ROUGH OPENING.
2. INSTALL MEMBRANE CORNER FLASHING WITH SPRAY ADHESIVE TO HOLD IN PLACE. USE SPRAY-ON PRIMER AS NEEDED FOR PROPER ADHESION OF MEMBRANE CORNER FLASHING. APPLY CONTINUOUS BEAD OF SEALANT ON TOP HEADING VERTICAL EDGE OF EACH CORNER.
3. INSTALL CONTINUOUS FLEXIBLE FLASHING AT ROUGH OPENING SILL. WRAP INTO ROUGH OPENING DEPTH OF VINYL EXTRUSION. MAINTAIN MINIMUM 5" EXPOSURE AT EXTERIOR VERTICAL LEG. EXTEND TIGHT TO JAMBS. MAINTAIN MINIMUM 3" OVERLAP AT PREFORMED CORNERS.
4. INSTALL 6" CONTINUOUS FLEXIBLE FLASHING VERTICALLY ALONG ROUGH OPENING JAMBS. WRAP CONTINUOUS FLEXIBLE FLASHING INTO EXISTING OPENING. MAINTAIN MINIMUM 4" EXPOSURE AT EXTERIOR VERTICAL FACE. LAP OVER PRE-FORMED CORNERS, SILL AND WEATHER RESISTANT BARRIER.
5. NOTCH OR DRILL 1/4" WEEPS AT WINDOW SILL FLANGE. WEEPS TO BE 6" FROM EITHER EDGE OF ROUGH OPENING AND 12" ON CENTER IN FIELD, OR AS MANUFACTURER RECOMMENDS. ALL MODIFICATIONS TO SILL FLANGE ARE TO BE APPROVED BY WINDOW MANUFACTURER.
6. CLEAN VINYL WINDOW PRIOR TO INSTALLATION. INSTALL WINDOW WITH 3/8" CONTINUOUS BEAD OF APPROVED SEALANT BEHIND WINDOW ASSEMBLY MOUNTING FLANGE AT THE HEAD AND JAMBS ONLY. DO NOT SEAL BOTTOM FLANGE. SHIM AND ADJUST AS REQUIRED TO ACHIEVE SQUARE, PLUMB, AND LEVEL WINDOW ASSEMBLY INSTALLATION. ENSURE COMPLETE SEAL BETWEEN PENETRATION FLASHING AND WINDOW ASSEMBLY MOUNTING FLANGES. SEALANT SHOULD FLOW OUT BEYOND THE EDGE OF THE WINDOW ASSEMBLY MOUNTING FLANGE HEAD AND JAMBS. FILL NAIL HOLES AT WINDOW ASSEMBLY MOUNTING FLANGES AND REMOVE EXCESS MATERIAL. INSTALL WINDOW ASSEMBLY PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
7. INSTALL 9" CONTINUOUS FLEXIBLE FLASHING AT ROUGH OPENING JAMBS OVER WINDOW ASSEMBLY MOUNTING FLANGE. EXTEND 9" BEYOND TOP AND BOTTOM EDGES OF ROUGH OPENING.
8. INSTALL 9" CONTINUOUS FLEXIBLE FLASHING OVER WINDOW ASSEMBLY MOUNTING FLANGE AT WINDOW HEAD. EXTEND 6" BEYOND EDGE OF VERTICALLY APPLIED CONTINUOUS FLEXIBLE FLASHING.
9. INSTALL WEATHER RESISTANT BARRIER (60 MIL MIN.) AT ROUGH OPENING JAMBS TO WITHIN 1" OF THE WINDOW ASSEMBLY. FEATHER INTO EXISTING PER MFR.
10. INSTALL 2-1/2" SHEATHING TAPE AT THE WINDOW JAMBS UP TO THE WINDOW ASSEMBLY FRAME.
11. INSTALL WEATHER RESISTANT BARRIER (60 MIL MIN.) AT HEAD TO WITHIN 1" OF WINDOW ASSEMBLY.
12. A) INSTALL HORIZONTAL FURRING STRIP TO RECEIVE SCHEDULED FULLY PRE-PRIMED HEAD TRIM.
12. B) INSTALL FULLY PRE-PRIMED HEAD TRIM TO MATCH EXISTING SIZE. MAINTAIN EQUAL MINIMUM 3/8" JOINT BETWEEN TRIM AND WINDOW EXTRUSION
13. INSTALL FULLY-SOLDERED METAL HEAD FLASHING WITH TURNED-UP AND DOWN-TURNED END DAMS WITH HEMMED DRIP EDGE. SET IN FULL BED OF SEALANT. EXTEND FLASHING PAST HEAD TRIM EDGE 1" EACH SIDE.
14. INSTALL 9" CONTINUOUS FLEXIBLE FLASHING OVER METAL HEAD FLASHING. EXTEND 12" BEYOND EDGE OF WINDOW ASSEMBLY FRAME ROUGH OPENING EACH SIDE.
15. LAP WEATHER RESISTANT BARRIER (60 MIL MIN.) AT WINDOW HEAD. LAP WEATHER RESISTANT BARRIER UNDER THE WEATHER RESISTANT BARRIER PREVIOUSLY INSTALLED AT SILL(STEP 1).
16. INSTALL FULLY PRE-PRIMED JAMB AND SILL TRIM TO MATCH EXISTING SIZE. PROVIDE BLIND SEAL AT CONNECTING BUTT JOINTS PRIOR TO INSTALLATION. PROVIDE MINIMUM 3/8" GAP BETWEEN TRIM AND WINDOW ASSEMBLY FRAME TO RECEIVE BACKER ROD AND SEALANT.
17. INSTALL SIDING SYSTEM TO MATCH EXISTING. MAINTAIN MINIMUM AND CONSISTENT WEEP PROVISION CLEARANCE AT WINDOW HEAD FLASHING.
18. INSTALL BACKER ROD AND SEALANT BETWEEN TRIM AND WINDOW EXTRUSION AROUND FULL PERIMETER OF WINDOW.

NOTE:
WHERE WINDOW IS NOT LOCATED AT NEW CONSTRUCTION, CUT WINDOW INTO EXISTING EXTERIOR WALL. CONSTRUCTION AND FINISH MATERIALS TO MATCH EXISTING. G.C. TO BE FAMILIAR WITH EXISTING FRAMING AND MATERIALS PRIOR TO DEMOLITION.

TYPICAL NEW WINDOW INSTALLATION AXONOMETRIC

B1
A12.30

3/8" = 1'-0"

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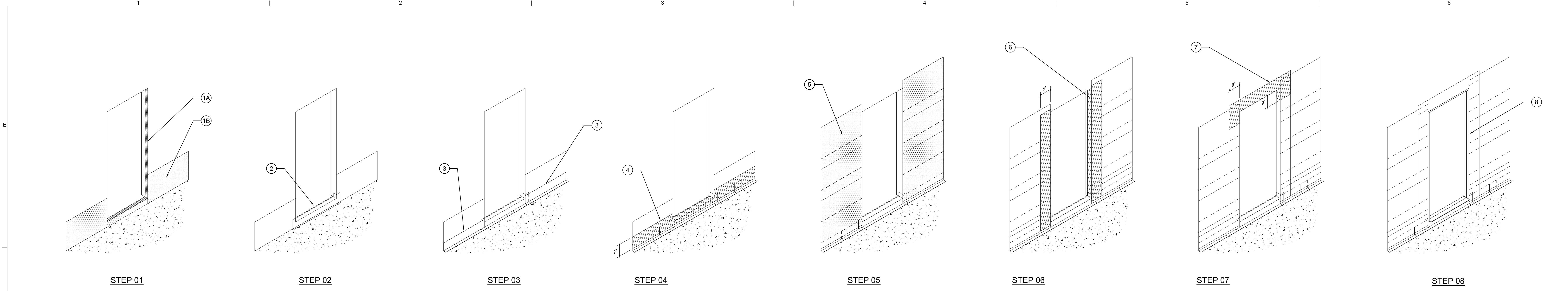
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AXONOMETRIC
TYP. WINDOW
INSTALLATION

PRELIMINARY
NOT FOR
CONSTRUCTION

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STEP 01

STEP 02

STEP 03

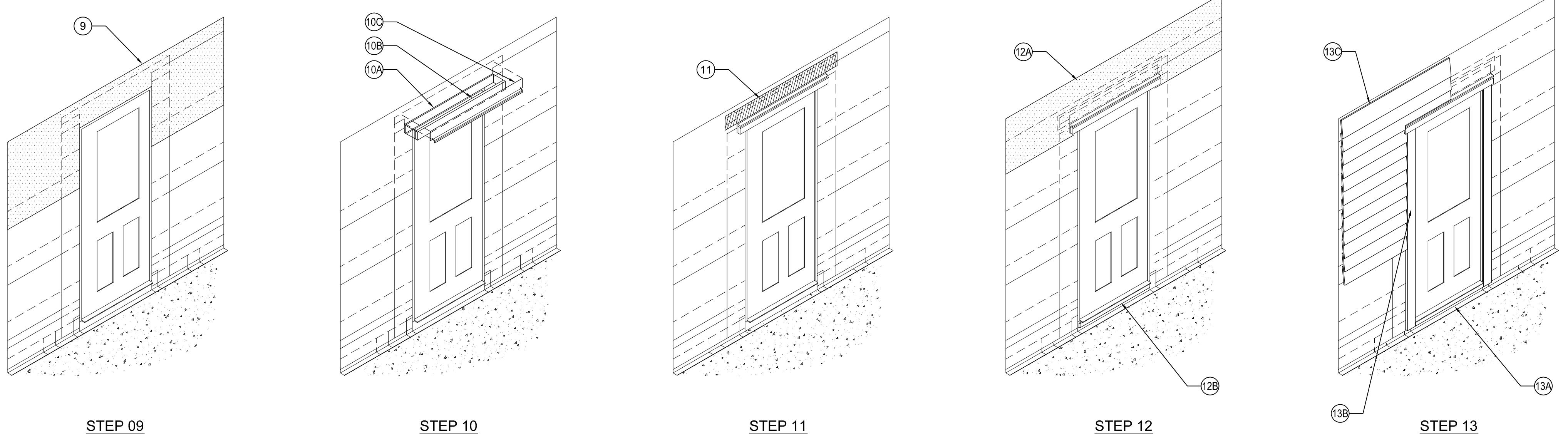
STEP 04

STEP 05

STEP 06

STEP 07

STEP 08



STEP 09

STEP 10

STEP 11

STEP 12

STEP 13

TYPICAL DOOR INSTALLATION INSTRUCTIONS

1. A) FENESTRATION DEMOLITION, FIELD VERIFY REQUIRED DIMENSION.
1. B) INSTALL WEATHER RESISTANT BARRIER (60 MIL MIN.) AT WALLS ADJACENT TO DOOR ROUGH OPENING.
2. INSTALL FULLY SOLDERED METAL THRESHOLD PAN AT ROUGH OPENING.
3. INSTALL METAL BASE FLASHING PER DETAIL XXXX. LAP AS SPECIFIED. SET LAPPING MEMBERS IN FULL BED OF SEALANT (BOTH HORIZONTAL AND VERTICAL LEGS).
4. INSTALL FLEXIBLE FLASHING - LAP OVER METAL BASE FLASHING.
5. INSTALL WEATHER BARRIER (60 MIL MIN.) AT SIDES UP TO ROUGH OPENING.
6. INSTALL FLEXIBLE FLASHING AT JAMBS OF ROUGH OPENING. EXTEND INTO OPENING A MINIMUM OF 2".
7. INSTALL FLEXIBLE FLASHING AT HEAD OF ROUGH OPENING. EXTEND INTO OPENING A MINIMUM OF 2".
8. INSTALL NEW PRE-HUNG DOOR AND ATTACHED METAL THRESHOLD. INSTALL PER MANUFACTURER'S SPECIFICATIONS. INSTAL DOOR JAMB PER MANUFACTURER'S SPECIFICATIONS. SHIM AND ADJUST AS REQUIRED TO ACHIEVE SQUARE, PLUMB AND LEVEL INSTALLATION. INSTALL DOOR ASSEMBLY PER MANUFACTURER'S SPECIFICATIONS, SHIM AND ADJUST AS REQUIRED TO ACHIEVE SQUARE, PLUMB AND LEVEL INSTALLATION.
9. INSTALL WEATHER RESISTANT BARRIER (60 MIL MIN.) AT HEAD. LAP OVER PREVIOUSLY INSTALLED WEATHER RESISTANT BARRIER(S) AND HEAD FLASHING ASSEMBLY.
10. A) INSTALL FURRING STRIP(S) AT DOOR HEAD AS NEEDED TO MATCH EXISTING CONDITION.
10. B) INSTALL HORIZONTAL PRE-PRIMED HEAD TRIM OVER FURRING.
10. C) INSTALL METAL HEAD FLASHING. PROVIDE FULLY SOLDERED TURNED UP AND DOWN END DAMS.
11. INSTALL FLEXIBLE FLASHING - LAP OVER METAL HEAD FLASHING. EXTEND FLEXIBLE FLASHING PAST HEAD FLASHING EACH SIDE.
12. A) LAP WEATHER RESISTANT BARRIER (60 MIL MIN.) OVER FLEXIBLE FLASHING.
12. B) INSTALL HORIZONTAL FURRING AT DOOR THRESHOLD AS NEEDED TO MATCH EXISTING.
13. A) INSTALL DOOR THRESHOLD TRIM AS NEEDED TO MATCH EXISTING.
13. B) INSTALL REMAINING DOOR TRIM.
13. C) INSTALL SIDING TO MATCH EXISTING, PER MANUFACTURER'S SPECIFICATIONS.

PRICING
SET

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A12.32

AXONOMETRIC
TYPICAL DOOR
INSTALLATION