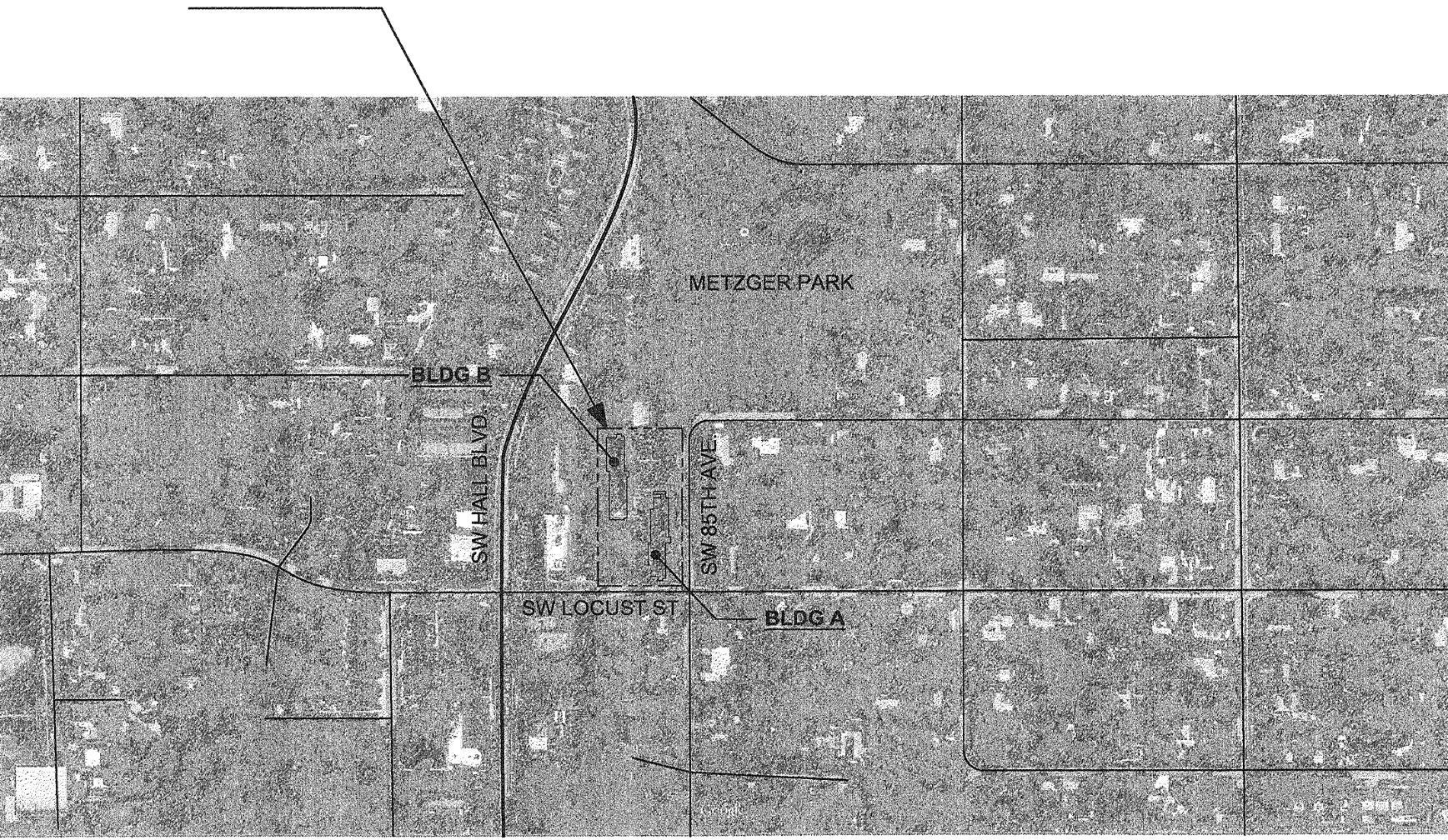


# METZGER PARK APARTMENTS

10025 & 10045 SW 85TH AVE | TIGARD OREGON 97223

PROJECT TEAM:	PROJECT DESCRIPTION:	DRAWING SHEET INDEX:	PROJECT INFORMATION:																																
<b>OWNER:</b> COMMUNITY PARTNERS FOR AFFORDABLE HOUSING 6380 SW CAPITOL HWY. #151 PORTLAND, OR 97239 CONTACT: SHANNON WILSON 503.293.4038	<b>THIS PROJECT INCLUDES REHABILITATION OF ELEMENTS OF AN EXISTING 32 APARTMENT, MULTI-FAMILY RESIDENTIAL DEVELOPMENT. THE ORIGINAL FACILITY WAS CONSTRUCTED IN 1973.</b>	<b>ARCHITECTURAL:</b>  G1.01 COVER SHEET, INDEX & PROJECT INFORMATION G1.02 GENERAL INFORMATION/ABBREVIATIONS  SURVEY (FOR REFERENCE ONLY)  A1.01 PROPOSED SITE PLAN A1.02 SITE PLAN-DEMOLITION A1.03 ENLARGED SITE PLAN - DEMOLITION A1.04 SITE DETAILS  C0.00 CIVIL COVER C1.00 LAYOUT AND PAVING PLAN C2.00 GRADING AND EROSION CONTROL PLAN C3.00 CIVIL DETAILS C3.01 CIVIL DETAILS  A2.01 BUILDING A - GROUND FLOOR PLAN A2.02 BUILDING A - SECOND FLOOR PLAN A2.03 BUILDING A - THIRD FLOOR PLAN A2.04 BUILDING B - GROUND FLOOR PLAN A2.05 BUILDING B - SECOND FLOOR PLAN  A2.10 BID ALTERNATE: UNIT ACCESSIBILITY UPDATES A2.11 STAIR PLANS - BUILDING A A2.12 STAIR PLANS - BUILDING B  A3.01 BUILDING A - EXTERIOR ELEVATIONS A3.02 BUILDING B - EXTERIOR ELEVATIONS  A4.01 BUILDING SECTIONS - 'A' & 'B'  A5.00 EXTERIOR DETAILS: WALL ASSEMBLIES A5.01 EXTERIOR DETAILS: BASE FLASHING A5.02 EXTERIOR DETAILS A5.03 EXTERIOR DETAILS A5.04 EXTERIOR DETAILS A5.10 EXTERIOR DETAILS A5.11 EXTERIOR DETAILS  A5.20 WINDOW INSTALLATION SEQUENCE A5.21 WINDOW INSTALLATION SEQUENCE - NO RAINSCREEN  A6.01 INTERIOR ELEVATIONS  A7.01 INTERIOR DETAILS  A8.01 DOOR & WINDOW SCHEDULES A8.02 FINISH SCHEDULE	<b>ADDRESS:</b> 10025 & 10045 SW 85TH AVE TIGARD, OR 97223  <b>LEGAL DESCRIPTION:</b> METZGER ACRE TRACTS, BLOCK 23, LOT 1 & 6, ACRES: 1.54, LOW INCOME HOUSING-POTENTIAL ADDITIONAL TAX  <b>SITE:</b> SITE AREA: APPROX. 67,070SF (+/- 1.54 ACRE)  <b>ZONING:</b> WASHINGTON COUNTY R-15 DISTRICT																																
<b>DEVELOPMENT CONSULTANT:</b> VIEWPOINT REAL ESTATE CONSULTING 4207 SE WOODSTOCK #426 PORTLAND, OREGON 97206 CONTACT: MELINDA JONES 503.754.3747			<b>EXISTING BUILDING/CODES INFORMATION:</b>  THIS PROJECT DOES NOT ADD NEW ENCLOSED AREA TO EXISTING BUILDINGS AND DOES NOT CHANGE OCCUPANCY OR EGRESS PATHS. THE PROJECT SCOPE ASSUMES CODE COMPLIANCE BY REPLACING LIKE FOR LIKE.																																
<b>ARCHITECT:</b> CARLETON HART ARCHITECTURE 322 NW 8TH AVENUE PORTLAND, OREGON 97209 CONTACT: CHRISTIAN STERNER 503.206.3188			<b>APPLICABLE CODES:</b> - 2014 OREGON STRUCTURAL SPECIALTY CODE (OSSC) - UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS) - WASHINGTON COUNTY COMMUNITY DEVELOPMENT CODE																																
<b>GENERAL CONTRACTOR:</b> LMC CONSTRUCTION 19200 SW TETON AVENUE TUALATIN, OREGON 97062 CONTACT: RYAN DUFFIN 503.646.0521			<b>BUILDING DATA (APARTMENTS):</b> - OCCUPANCY (EXISTING): R-2 - CONSTRUCTION TYPE (EXISTING): V - REFER TO GENERAL WALL SECTIONS AND BUILDING ASSEMBLY DETAILS FOR FIRE RESISTIVE CONSTRUCTION INFORMATION. - EXISTING FIRE RESISTANT CONSTRUCTION BETWEEN UNITS TO REMAIN. ANY NEW PENETRATIONS AT SUCH WALLS TO BE 1 HOUR FIRE RATED.																																
<b>CIVIL:</b> MGH ASSOCIATES, INC. 104 W 9TH STREET, SUITE 207 VANCOUVER, WA 98660 CONTACT: BILL BRANNON 360-718-9500			<b>DWELLING UNIT MATRIX:</b>																																
<b>STRUCTURAL:</b> TM RIPPEY CONSULTING ENGINEERS 7650 SW BEVELAND ST., SUITE 100 TIGARD, OREGON 97223 CONTACT: DOUG GANNETT 503.443.3900			<table border="1"> <thead> <tr> <th>TYPE</th><th>DESCRIPTION</th><th>APPROX. AREA</th><th>QUANTITY</th></tr> </thead> <tbody> <tr> <td>A</td><td>1 BED/1BATH</td><td>601 SF</td><td>6</td></tr> <tr> <td>E</td><td>1 BED/1BATH</td><td>600 SF</td><td>4</td></tr> <tr> <td>F</td><td>1 BED/1BATH</td><td>600 SF</td><td>2</td></tr> <tr> <td>B</td><td>2 BED/1 BATH</td><td>751 SF</td><td>12</td></tr> <tr> <td>C</td><td>3 BED/1BATH</td><td>935 SF</td><td>4</td></tr> <tr> <td>D</td><td>3 BED/1BATH</td><td>907 SF</td><td>4</td></tr> <tr> <td colspan="3"></td><td>TOTAL 32</td></tr> </tbody> </table>	TYPE	DESCRIPTION	APPROX. AREA	QUANTITY	A	1 BED/1BATH	601 SF	6	E	1 BED/1BATH	600 SF	4	F	1 BED/1BATH	600 SF	2	B	2 BED/1 BATH	751 SF	12	C	3 BED/1BATH	935 SF	4	D	3 BED/1BATH	907 SF	4				TOTAL 32
TYPE	DESCRIPTION	APPROX. AREA	QUANTITY																																
A	1 BED/1BATH	601 SF	6																																
E	1 BED/1BATH	600 SF	4																																
F	1 BED/1BATH	600 SF	2																																
B	2 BED/1 BATH	751 SF	12																																
C	3 BED/1BATH	935 SF	4																																
D	3 BED/1BATH	907 SF	4																																
			TOTAL 32																																
		<b>VICINITY MAP: (NOT TO SCALE)</b>	<b>BUILDING A #10045:</b> • 3 STORIES (LOWEST STORY IS PARTIAL BASEMENT) • 20 DWELLING UNITS, 1 COMMON LAUNDRY ROOM & BATHROOM, MANAGERS OFFICE																																
			<b>GROSS FLOOR AREA:</b> 1ST FLOOR: 4,369 SF 2ND FLOOR: 5,335 SF 3RD FLOOR: 6,069 SF <b>TOTAL:</b> 15,773 SF																																
			<b>COVER INDEX</b>																																
			<b>BUILDING B #10025:</b> • 2 STORIES • 12 DWELLING UNITS																																
			<b>GROSS FLOOR AREA:</b> 1ST FLOOR: 5,542 SF 2ND FLOOR: 6,378 SF <b>TOTAL:</b> 11,920 SF																																
			<b>PROJ NO.</b> 21344																																
			10.22.14																																

METZGER PARK APARTMENTS  
10025 & 10045 SW 85TH AVE  
TIGARD, OR 97223

COPYRIGHT CARLETON HART ARCHITECTURE DO NOT REPRODUCE WITHOUT PERMISSION

G1.01

# METZGER PARK APARTMENTS

10025 & 10045 SW 85TH AVE | TIGARD OREGON 97223



CARLETON HART ARCHITECTURE  
322 NW 8th Avenue Portland, Oregon 97209  
+ 503 243 2252 | + 503 243 3261 | carletonhart.com

METZGER PARK APARTMENTS  
10025 & 10045 SW 85TH AVE  
TIGARD, OR 97223

BID SET

## ABBREVIATIONS: (NOTE: NOT ALL ABBREVIATIONS MAY BE USED ON THIS PROJECT).

A.B.	AIR BARRIER OR ANCHOR BOLT	F.D.	FLOOR DRAIN	P.	PAINT
ABBR.	ABBREVIATION	FDN.	FOUNDATION	PREFIN.	PREFINISHED
ACC.	ACCESSIBLE	F.E.	FIRE EXTINGUISHER	P.L.	PROPERTY LINE
A.C.	AIR CONDITIONING	F.E.C.	FIRE EXTINGUISHER CABINET	PLAM.	PLASTIC LAMINATE
A.D.	AREA DRAIN	FIN.	FINISH	PWD.	PLYWOOD
ADJ.	ADJUSTABLE	F.F.	FINISHED FLOOR	PR.	PAIR
A.F.F.	ABOVE FINISH FLOOR	F.F.E.	FINISHED FLOOR ELEVATION	PRPT.	PARAPET
AGG.	AGGREGATE	F.H.	FIRE HYDRANT	P.T.	PRESSURE TREATED
A.H.U.	AIR HANDLING UNIT	FLASHG.	FLASHING		
ALT.	ALTERNATE	FLUOR.	FLUORESCENT	Q.T.	QUARRY TILE
AL.	ALUMINUM	F.O.	FURNISHED BY OWNER	R.	RADIUS OR RISER
A.P.	ACCESS PANEL	F.O.B.	FACE OF BRICK	R.B.	RUBBER BASE
A.T.	ACOUSTICAL TILE PANEL	F.O.C.	FACE OF CONCRETE	RD.	ROOF DRAIN
B.	BOTTOM	F.O.I.C.	FURNISHED BY OWNER/ INSTALLED BY CONTRACTOR	REF.	REFERENCE
BD.	BOARD	F.O.I.O.	FURNISHED BY OWNER/ INSTALLED BY OWNER	RFR.	REFRIGERATOR
B.F.	BIFOLD	F.O.M.	FACE OF MASONRY	REQ.	REQUIRED OR REQUIREMENTS
BLDG.	BUILDING	F.O.S.	FACE OF STUD	REV.	REVERSE OR REVISED
BLKG.	BLOCKING	FP.	FIREPLACE	R.O.	ROUGH OPENING
B.O.	BY OWNER	F.R.T.	FIRE RETARDANT TREATED	RM.	ROOM
B.O.F.	BOTTOM OF FOOTING	FRMG.	FRAMING	R & S	ROD & SHELF
BR	BEDROOM	FT.	FOOT OR FEET	S.	SINK OR SOUTH
BTW	BETWEEN	FTG.	FOOTING	S.A.M.	SELF ADHERED MEMBRANE
B.U.	BUILT UP	FUT.	FUTURE	S.A.M.F.	SELF ADHERED MEMBRANE FLASHING
C.I.P.	CAST IN PLACE	F.V.	FIELD VERIFY	S.C.	SOLID CORE
C.H.	CONDUCTOR HEAD	GA.	GAUGE	S.G.D.	SLIDING GLASS DOOR
C.J.	CONTROL JOINT	GALV.	GALVANIZED	SH.	SHELF
CLG	CEILING	GL.	GLASS	SHR.	SHOWER
CLR.	CLEAR	GL.	GRID LINE	SHT.	SHEET
C.M.U.	CONCRETE MASONRY UNIT	CMGC	CONSTRUCTION MANAGEMENT/	SIM.	SIMILAR
CMGC	GENERAL CONTRACTOR	G.M.U.	GLASS MASONRY UNIT	S.O.G.	SLAB ON GRADE
COL	COLUMN	GYP.	GYPSUM	S.G.	SAFETY GLASS
CONN.	CONCRETE	H.B.	HOSE BIB	SPEC.	SPECIFICATION
CONN.	CONNECTION	H.C.	HOLLOW CORE	S/R	SHELF AND ROD
CONT.	CONTINUOUS	HDR.	HEADER	SQ.	SQUARE
C.P.	CEMENT PLASTER	H.M.	HOLLOW METAL	S.S.	STAINLESS STEEL
CL	CENTERLINE	HORIZ.	HORIZONTAL	ST.	STAIN
CPT.	CARPET	HT.	HEIGHT	STD.	STANDARD
CTSK.	COUNTERSINK	I.D.	INSIDE DIAMETER	STL.	STEEL
C.T.	CERAMIC TILE	INFO.	INFORMATION	STRUCT.	STRUCTURAL
CONTR.	CONTRACTOR	INSUL.	INSULATION	SUSP.	SUSPENDED
DBL.	DOUBLE	INT.	INTERIOR	S.V.	sheet vinyl
DET.	DETAIL	JAN.	JANITOR	T.	TOP OF TREAD
D.F.	DRINKING FOUNTAIN	JT.	JOINT	T.B.R.	TO BE REMOVED
DIAG.	DIAGONAL	LAV.	LAVATORY	T/G.	TONGUE AND GROOVE
DISP.	DISPENSER	LT.	LIGHT	T.G.	TEMPERED GLASS
DIA.	DIAMETER	L.W.C.	LIGHT WEIGHT CONCRETE	T.I.	TENANT IMPROVEMENT
DIM.	DIMENSION	MANF.	MANUFACTURER	T.O.C.	TOP OF CURB
DN.	DOWN	MATL.	MATERIAL	T.O.F.	TOP OF FRAMING
D.P.	DIMENSION POINT	MAX.	MAXIMUM	T.O.P.	TOP OF PLATE
DR.	DOOR	MECH.	MECHANICAL	T.O.PLY.	TOP OF PLYWOOD
DS.	DOWNSPOUT	MH.	MANHOLE	T.O.S.	TOP OF SLAB
DWG.	DRAWING	M.O.	MASONRY OPENING	T.O.W.	TOP OF WALL
D.W.	DISHWASHER	MIN.	MINIMUM	TP.	TOILET PAPER DISPENSER
DWR.	DRAWER	MTL.	METAL	T.S.	TUBE SECTION
E.	EAST	N.	NORTH	TYP.	TYPICAL
EA.	EACH	N.I.C.	NOT IN CONTRACT	V.B.	VAPOR BARRIER
E.I.F.S.	EXTERIOR INSULATION AND FINISH SYSTEM	NO.	NUMBER	V.C.T.	VINYL COMPOSITION TILE
E.J.	EXPANSION JOINT	NOM.	NOMINAL	VERT.	VERTICAL
ELEC.	ELECTRICAL	N.T.S.	NOT TO SCALE	VIN.	VINYL
ELEV.	ELEVATION OR ELEVATOR	OA.	OVERALL	W.	WEST
ENCL.	ENCLOSURE	O.C.	ON CENTER	W.C.	WATER CLOSET
E.P.	ELECTRICAL PANEL	O.D.	OUTSIDE DIAMETER	WD.	WOOD
EQ.	EQUAL	OFF.	OFFICE	W/D	WASHER & DRYER
EQUIP.	EQUIPMENT	OH.D.	OVERHEAD DOOR	W.G.	WIRE GLASS
E.W.	EACH WAY	OPG.	OPENING	W.H.	WATER HEATER
E.W.C.	ELECTRIC WATER COOLER	OPP.	OPPOSITE	WP.	WATERPROOF
EX.	EXISTING			W/	WITH
EXP.	EXPOSED OR EXPANSION			W/O	WITHOUT
EXT.	EXTERIOR			W.R.B.	WATER RESISTIVE BARRIER
				W.R.G.B.	WATER RESISTANT GYP. BOARD
				WSCT.	WAISNCOT
				WT.	WEIGHT
				W.W.F.	WELDED WIRE FABRIC

## DRAWING SYMBOLS:

SYMBOL	DESCRIPTION
	DETAIL REFERENCE SYMBOL
	BUILDING SECTION REFERENCE SYMBOL
	EXTERIOR ELEVATION REFERENCE SYMBOL
	INTERIOR ELEVATION REFERENCE SYMBOL
	DIMENSION LINE - FACE OF STUD OR C.L. OPENING, U.O.N.
	DOOR SYMBOL
	WINDOW SYMBOL
	KEYNOTE SYMBOL

## HATCH PATTERN LEGEND:

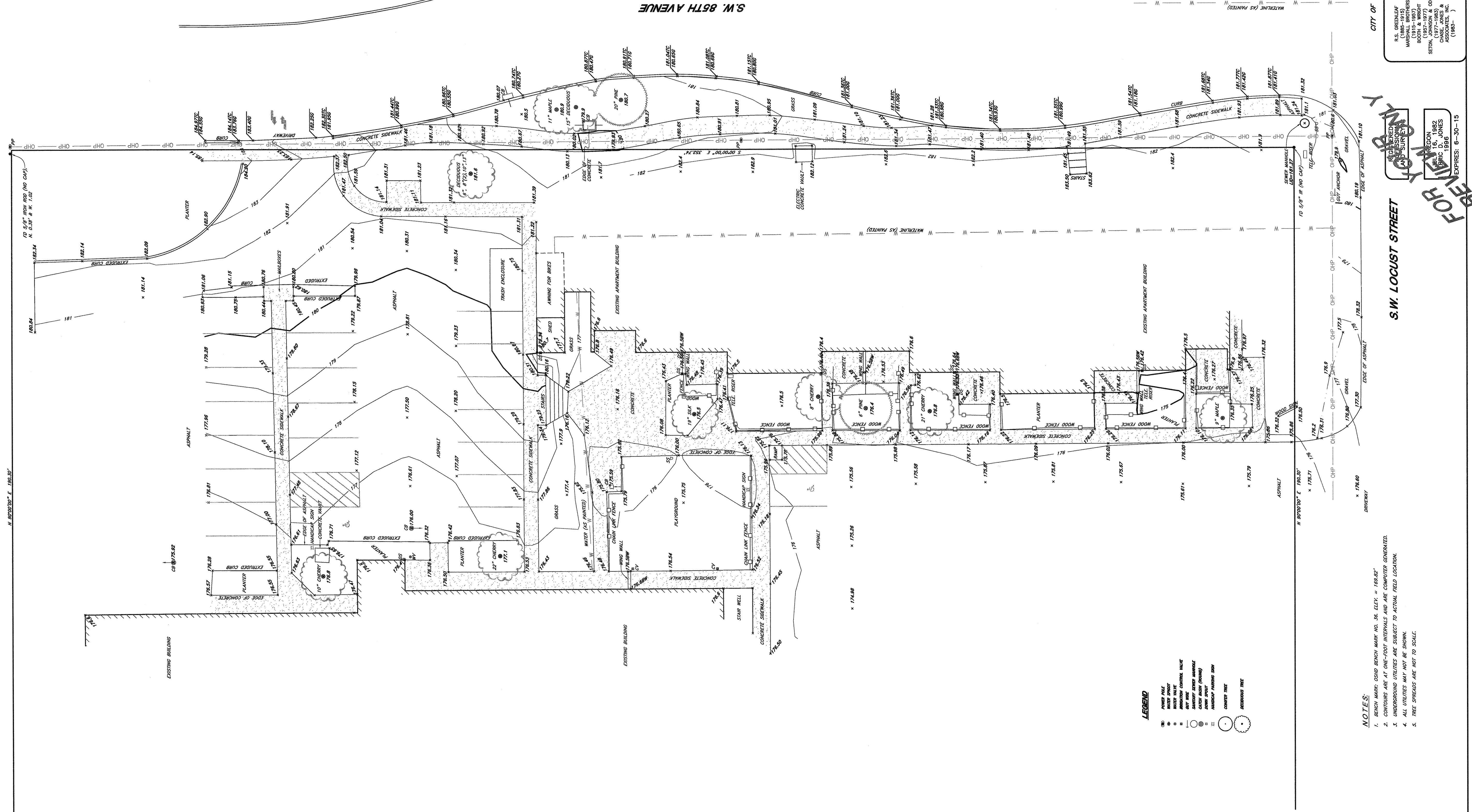
	INDICATES GYPSUM BOARD
	INDICATES EXISTING INSULATION
	INDICATES CONCRETE
	INDICATES NEW FIBER CEMENT LAP SIDING

GENERAL INFORMATION/  
ABBREVIATIONS

PROJ NO.  
21344

10.22.14

G1.02



NOTES:

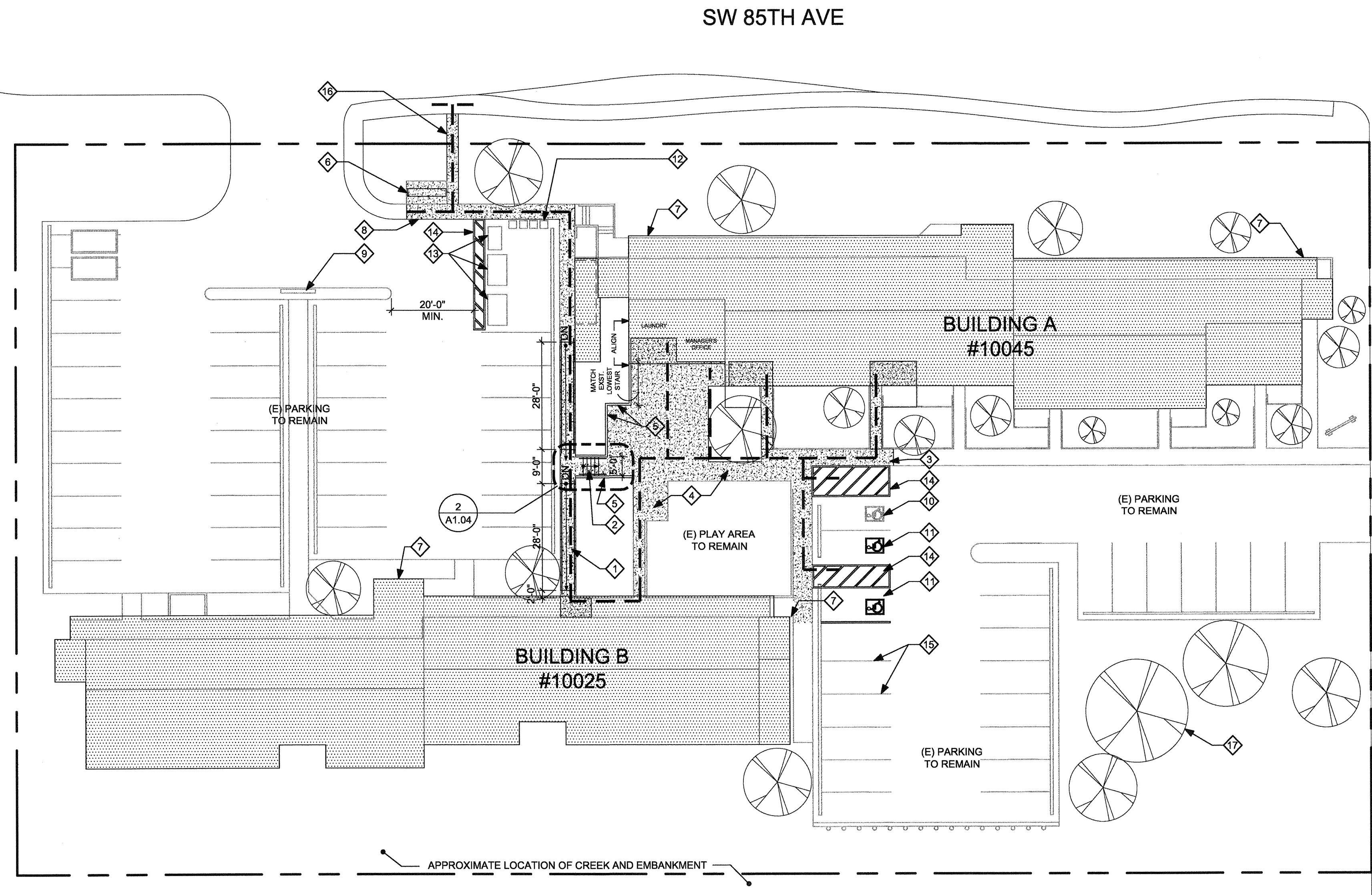
BENCH MARK: OSHD BENCH MARK NO. 36. ELEV. = 169.82'.

CONTOURS ARE AT ONE-FOOT INTERVALS AND ARE COMPUTER GENERATED.

UNDERGROUND UTILITIES ARE SUBJECT TO ACTUAL FIELD LOCATION.

ALL UTILITIES MAY NOT BE SHOWN.

TREE SPREADS ARE NOT TO SCALE.



**SITE PLAN - PROPOSED**

1 SCALE: 1" = 20'-0"

GENERAL NOTES	
1. REPLACE ALL LANDSCAPING DAMAGED BY WORK.	
2. EXISTING HOSE BIB LOCATIONS TO REMAIN. MODIFY AS REQUIRED TO FIT DEPTH OF NEW SIDING.	
3. SEE DEMOLITION PLANS, SHEET A1.02	
KEY NOTES - NEW	
<ul style="list-style-type: none"> <li>① REMOVE EXISTING RAMP AND REPLACE WITH NEW RAMP, LANDING AND HANDRAILS PER ACCESSIBILITY REQUIREMENTS. REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.</li> <li>② NEW CONCRETE STAIRS TO REPLACE EXISTING CONCRETE STAIRS. ALIGN STAIRS WITH LANDING BETWEEN RAMPS. REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.</li> <li>③ REMOVE EXISTING CURB RAMP AND REPLACE WITH NEW ACCESSIBLE RAMP. REFER TO CIVIL PLANS</li> <li>④ REMOVE AND REPLACE EXISTING CONCRETE COURTYARD. REFER TO CIVIL PLANS FOR REVISED GRADES TO CORRECT ACCESSIBILITY AND DRAINAGE CONCERNs.</li> <li>⑤ NEW CONCRETE CHEEK WALL CURB TO RETAIN LANDSCAPE. REFER TO CIVIL PLANS.</li> <li>⑥ NEW LOCATION OF MAILBOXES PER SPEC. ON (N) CONCRETE PAD. NEW LOCATION APPROVED BY STATION MANAGER, TIGARD POST OFFICE. PROVIDE 6' CIRCLE IN FRONT OF MAILBOXES PER OSSC 1111.7</li> <li>⑦ NEW 10" HIGH BUILDING ADDRESS SIGNAGE AT EXISTING ADDRESS NUMBER LOCATIONS</li> <li>⑧ REMOVE EXISTING CONCRETE SIDEWALK AND LANDING. REINSTALL PER ACCESSIBILITY REQUIREMENTS. REFER TO CIVIL PLANS.</li> <li>⑨ EXISTING LOCATION OF MAILBOXES</li> <li>⑩ EXISTING ACCESSIBLE PARKING STALL AND AISLE TO REMAIN. REFER TO CIVIL FOR ASPHALT OVERLAY REQUIREMENTS.</li> <li>⑪ RELOCATED ACCESSIBLE PARKING STALL. REFER TO CIVIL FOR ASPHALT OVERLAY REQUIREMENTS.</li> <li>⑫ RELOCATED ACCESSIBLE, ROLLING REFUSE BINS. PROVIDE WHEELSTOPS BEHIND TO PREVENT MOVEMENT OF BINS AWAY FROM ACCESSIBLE PATH.</li> <li>⑬ (E) REFUSE DUMPSTERS, NO WORK</li> <li>⑭ (N) PAINTED STRIPING</li> <li>⑮ (E) PAINTED STRIPING TO REMAIN</li> <li>⑯ NEW CONCRETE WALK TO R.O.W. SEE CIVIL DRAWINGS.</li> <li>⑰ EXISTING TREES TO REMAIN.</li> </ul>	
LEGEND	
<ul style="list-style-type: none"> <li>— PROPERTY LINE (APPROXIMATE LOCATION)</li> <li>■ NEW CONCRETE WALK OR PATIO</li> <li>— ACCESSIBLE SITE ROUTE</li> </ul>	

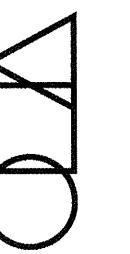
PROPOSED SITE PLAN

PROJ. NO.  
21344

10.22.14

A1.01

REGISTERED ARCHITECT  
BRIAN D. CARLETON  
PORTLAND, OREGON  
2918  
STATE OF OREGON



CARLETON HART ARCHITECTURE  
322 nw 8th avenue Portland, Oregon 97209  
+ 503 243 2252 | f 503 243 3261 | carletonhart.com

METZGER PARK APARTMENTS  
10025 & 10045 SW 85TH AVE  
TIGARD, OR 97223

BID SET

#### GENERAL NOTES

1. REPLACE ALL LANDSCAPING DAMAGED BY WORK.
2. EXISTING HOSE BIB LOCATIONS TO REMAIN. MODIFY AS REQUIRED TO FIT DEPTH OF NEW SIDING.
3. SEE DEMOLITION PLANS, SHEET A1.02

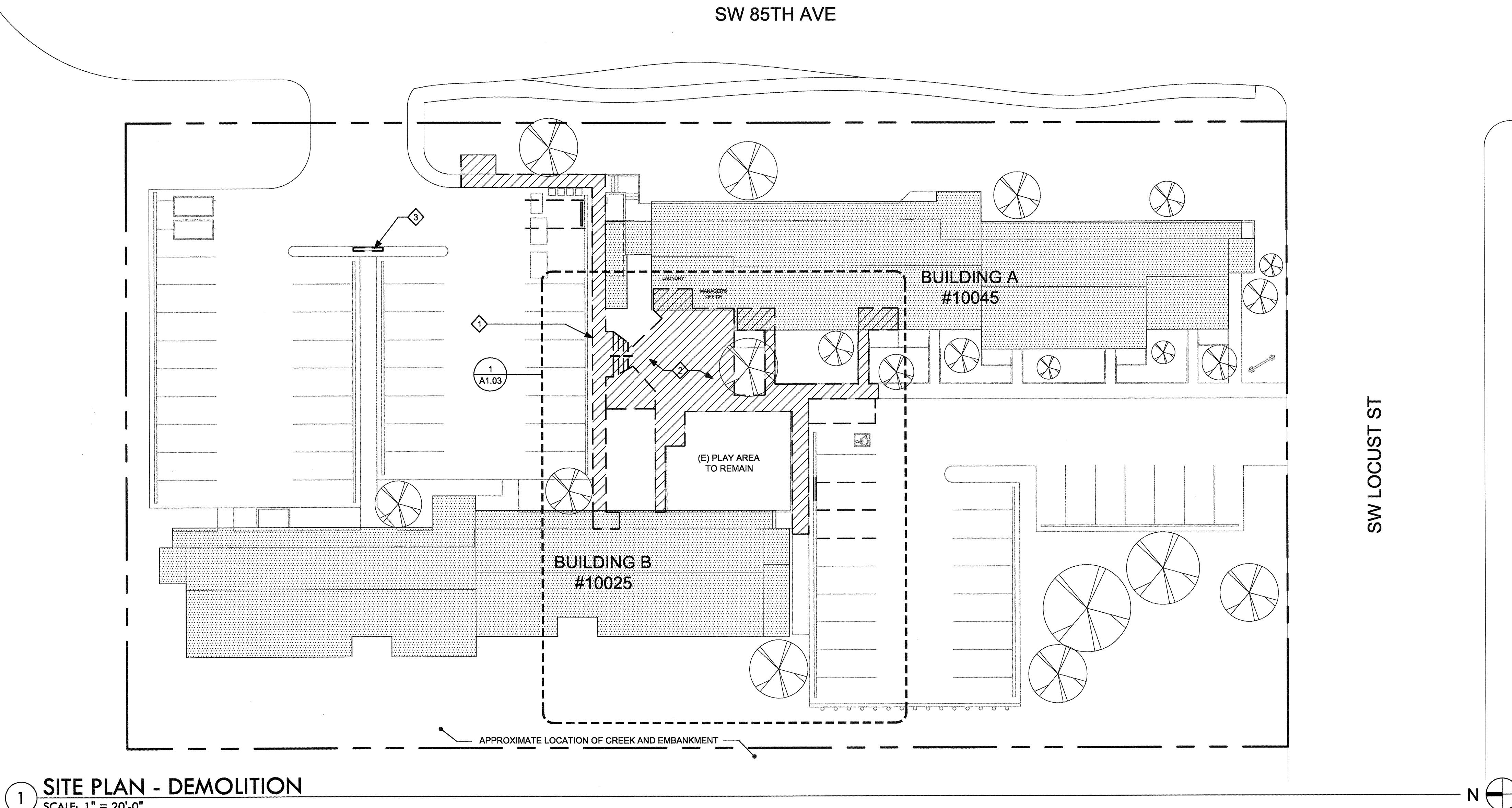
#### KEY NOTES - NEW

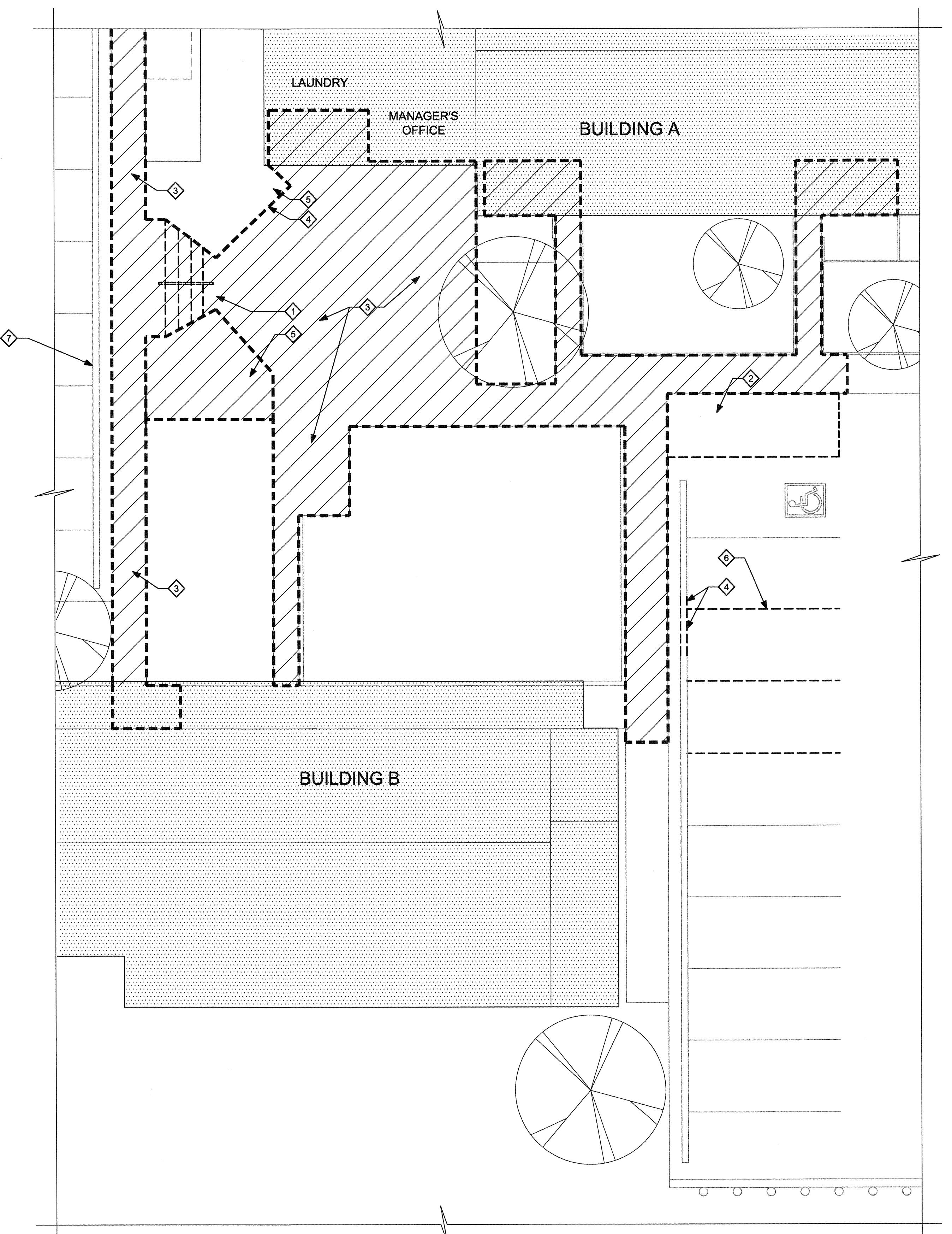
- ◆ AREA OF CONCRETE TO BE REMOVED AND REPLACED IS SHOWN AS DASHED LINE
- ◆ REMOVE AND REPLACE EXISTING CONCRETE COURTYARD. REFER TO CIVIL PLANS FOR REVISED GRADES TO CORRECT ACCESSIBILITY AND DRAINAGE CONCERNs.
- ◆ MAILBOXES TO BE REMOVED

SITE PLAN-DEMOLITION  
PROJ NO.  
21344  
10.22.14

#### LEGEND

- PROPERTY LINE (APPROXIMATE LOCATION)
- AREA OF DEMOLITION





1 ENLARGED SITE PLAN - DEMOLITION  
SCALE: 1/8" = 1'-0"

N

GENERAL NOTES	
<ol style="list-style-type: none"> <li>REPLACE ALL LANDSCAPING DAMAGED BY WORK.</li> <li>JET AND INSPECT ALL SITE SANITARY LINES FROM BUILDINGS TO STREET CONNECTION.</li> <li>REGRADE AROUND BUILDINGS AS REQUIRED TO ACHIEVE 2% SLOPE FOR 4'-0" AWAY FROM BUILDING PERIMETER AND MAINTAIN 6" MIN. CLEARANCE FROM SIDING.</li> <li>EXISTING HOSE BIB LOCATIONS TO REMAIN. PROVIDE NEW FROST-FREE HOSE BIBS.</li> <li>SEE CIVIL DRAWINGS FOR MORE INFORMATION</li> </ol>	
KEY NOTES - DEMOLITION	
<ul style="list-style-type: none"> <li>① DEMO EXISTING NON-COMPLIANT EXTERIOR CONCRETE STAIR</li> <li>② DEMO EXISTING NON-COMPLIANT RAMP</li> <li>③ DEMO CONCRETE AREA, SEE A1.01 AND CIVIL DRAWINGS FOR REPLACED CONCRETE</li> <li>④ DEMO CURB THIS AREA</li> <li>⑤ DEMO PLANTING AREA</li> <li>⑥ RE-STRIPE AS NECESSARY, SEE DIMENSIONS ON CIVIL DRAWINGS</li> <li>⑦ (E) WHEELSTOP TO REMAIN</li> </ul>	

METZGER PARK APARTMENTS  
10025 & 10045 SW 85TH AVE  
TIGARD, OR 97223

BID SET

ENLARGED SITE PLAN - DEMOLITION

PROJ NO.  
21344

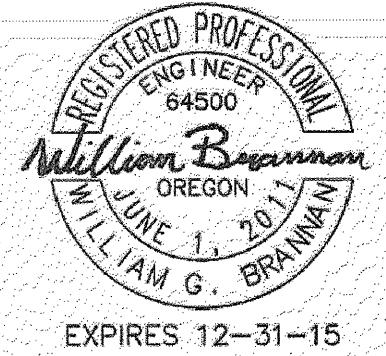
10.22.14

COPYRIGHT CARLETON HART ARCHITECTURE DO NOT REPRODUCE WITHOUT PERMISSION

LEGEND	
	AREA OF DEMOLITION
	ELEMENT TO BE DEMOLISHED

A1.03





## GENERAL CONSTRUCTION NOTES

- ALL PROPOSED EXCAVATION LIMITS SHALL BE MARKED WITH WHITE PAINT AS PER THE OREGON UTILITIES COORDINATING COUNCIL RECOMMENDATIONS.
- NOTIFY THE WASHINGTON COUNTY INSPECTION DIVISION 48 HOURS PRIOR TO BEGINNING CONSTRUCTION AT 503-846-3699.
- ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS 503-232-1987.) LOCATE REQUESTS SHALL BE MADE 48 HOURS PRIOR TO ANY WORK TAKING PLACE AND AFTER THE PROPOSED EXCAVATION LIMITS HAVE BEEN MARKED WITH WHITE PAINT. THE ONE CALL NUMBER IS 503-246-6699.
- THE CONTRACTOR, OR OWNER AS CONTRACTOR, IS RESPONSIBLE FOR EROSION CONTROL IN ACCORDANCE WITH OAR 340-41-445, AND MUST PROMPTLY REMOVE ALL DEBRIS, ASPHALT CONCRETE AND ROCKS FROM THE PROJECT SITE.
- THE OWNER, OR OWNER AS CONTRACTOR, IS TO INCLUDE ANY SUBCONTRACTORS ON THE PERMIT APPLICATIONS. THE CONTRACTOR AND/OR OWNER AS CONTRACTOR SHALL HAVE A COPY OF THE CITY PERMIT, APPROVED PLANS AND ALL ATTACHMENTS ON HAND AT THE WORK SITE. ALL WORK SHALL CONFORM TO THE PERMIT TERMS, CONDITIONS AND PROVISIONS; THE FRANCHISE AGREEMENT; AND TO THE CITY OF HILLSBORO'S STANDARD AND SPECIFICATIONS. ANY CHANGES TO THE PROPOSED WORK MUST BE APPROVED BY THE CITY, IN ADVANCE OF WORK PERFORMANCE.
- PLEASE PROVIDE THE COUNTY THE NAME, ADDRESS, TELEPHONE AND LICENSE NUMBER OF THE CONSTRUCTION CONTRACTOR(S) AND THE NAME AND TELEPHONE NUMBERS (OFFICE AND MOBILE) OF THE CONTRACTOR'S CONTACT PERSON, INCLUDING AFTER-HOURS TELEPHONE NUMBER(S) FOR EMERGENCIES.
- ALL CONSTRUCTION SITES ARE TO BE RESTORED TO THEIR ORIGINAL CONDITIONS. THE OWNER AND/OR THE HOLDER SHALL BE RESPONSIBLE FOR REPAIR OF EXISTING FACILITIES (ROAD, CURBS, ETC.) AS MAY BE NECESSARY TO REPAIR DETERIORATION OF DAMAGE WHICH OCCURRED IN CONJUNCTION WITH THE WORK AUTHORIZED BY THE PERMIT. THE EXTENT OF THIS REPAIR, IF NEEDED, WILL BE DETERMINED DURING CONSTRUCTION BY CITY INSPECTION STAFF. CORRECTIVE WORK SHALL BE DONE AT THE PERMIT HOLDER'S EXPENSE.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB SITE MAINTENANCE AND CLEANING THROUGH CONSTRUCTION UP TO COMPLETION OF THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL IN ACCORDANCE WITH OAR 340-41-455, AND MUST REMOVE ALL DEBRIS, ASPHALT CONCRETE AND ROCKS FROM THE PROJECT SITE. THE PERMITTEE SHALL BE HELD RESPONSIBLE FOR ANY VIOLATIONS OF THE RULES SHOULD ANY VISIBLE OR MEASURABLE EROSION ENTERS THE STORM DRAIN SYSTEM.
- NO OVERNIGHT STORAGE OF EQUIPMENT, MATERIALS OR VEHICLES WILL BE ALLOWED IN THE PUBLIC RIGHT OF WAY. SIGNIFICANT CHANGES TO THESE PLANS MUST BE APPROVED BY THE WASHINGTON COUNTY ENGINEER AND THE ENGINEER OF RECORD PRIOR TO IMPLEMENTATION. ALL OTHER CHANGES MUST BE APPROVED BY THE COUNTY INSPECTOR AND THE ENGINEER OF RECORD.

## PAVING NOTES

- ASPHALT PAVEMENT SHALL BE PROTECTED DURING NEW CURB INSTALLATION.
- ALL PAVEMENT SHALL BE CUT STRAIGHT PRIOR TO PAVING. EXISTING PAVEMENT SHALL BE REMOVED AS NECESSARY TO PROVIDE A SMOOTH TRANSITION FOR BOTH RIDE AND DRAINAGE.

## SURVEY NOTES

SURVEY PROVIDED BY CHASE JONES AND ASSOCIATES, INC. DATED JULY 24, 2014. BENCH MARK ELEVATIONS ARE BASED ON OSHD BENCH MARK NO. 36. ELEV. = 169.82'

## GRADING NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING SITE AND DRAINAGE PATTERNS AND PROTECTION OF EXISTING ENGINEERED DRAINAGE FACILITIES.
- CONTRACTOR SHALL EXERCISE CARE IN ALL OPERATIONS TO PROTECT EXISTING UNDERGROUND UTILITIES. ANY DAMAGE RESULTING FROM THIS WORK MUST BE RESTORED AT THE CONTRACTOR'S EXPENSE TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL REPLACE AND RESTORE AREAS NOT SCHEDULED FOR CONSTRUCTION TO THEIR ORIGINAL CONDITION AND TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN AREAS ADJACENT TO EXISTING TREES IN ORDER TO MINIMIZE DISTURBANCES TO TREE ROOTS. SEE TREE PROTECTION SPECIFICATIONS. NO PARKING VEHICLES UNDER TREES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND DISPOSAL OF EXISTING AC, CURBS, SIDEWALKS AND OTHER SITE ELEMENTS WITHIN THE PROJECT AREA.
- ACTUAL LINES AND GRADES OF EXCAVATION SHALL BE STAKED BY QUALIFIED SURVEYOR, BASED ON DIMENSIONS AND BEARINGS AS SHOWN ON THE PLANS.
- ADJUST ALL INCIDENTAL STRUCTURES, MANHOLE LIDS, VALVE BOXES, ETC. TO FINISH GRADE.

## STANDARD EROSION AND SEDIMENT CONTROL PLAN DRAWING NOTES

- APPLY TEMPORARY AND PERMANENT SOIL STABILIZATION MEASURES ON ALL DISTURBED AREAS AS GRADING PROGRESSES. (SCH A.5.b.i.6.)
- CONSTRUCTION ACTIVITIES MUST AVOID OR MINIMIZE EXCAVATION AND CREATION OF BARE GROUND FROM OCTOBER 1 THROUGH MAY 31 EACH YEAR. (SCH A.7.a.i)
- DURING WET WEATHER PERIODS TEMPORARY STABILIZATION OF THE SITE MUST OCCUR AT THE END OF EACH WORK DAY IF RAINFALL IS FORECAST IN THE NEXT 24 HOURS. (SCH A.7.a.ii.)
- ALL EROSION AND SEDIMENT CONTROLS NOT IN THE DIRECT PATH OF WORK MUST BE INSTALLED PRIOR TO ANY LAND DISTURBANCE. (SCH A.7.c.ii.)
- PRESERVE EXISTING VEGETATION AND RE-VEGETATE OPEN AREAS WHEN PRACTICABLE BEFORE AND AFTER GRADING OR CONSTRUCTION (SCHA.7.c.iii.1)
- ALL TEMPORARY SEDIMENT CONTROLS MUST REMAIN IN PLACE UNTIL PERMANENT VEGETATION OR OTHER PERMANENT COVERING OF EXPOSED SOIL IS ESTABLISHED. (SCH A.7.c.iii.3)
- SEDIMENT CONTROLS MUST BE INSTALLED AND MAINTAINED ON ALL DOWN GRADIENT SIDES OF THE CONSTRUCTION SITE AT ALL TIMES DURING CONSTRUCTION. (SCH A.7.d.i.(1))
- ALL ACTIVE CATCH BASINS MUST HAVE SEDIMENT CONTROLS INSTALLED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. (SCH A.7.d.i.(2))
- WATER-TIGHT TRUCKS MUST BE USED TO TRANSPORT SATURATED SOILS FROM THE CONSTRUCTION SITE. AN APPROVED EQUIVALENT IS TO DRAIN THE SOIL ON-SITE AT A DESIGNATED LOCATION USING APPROPRIATE BMP's. SOIL MUST BE DRAINED SUFFICIENTLY FOR MINIMAL SPILLAGE. (SCH A.7.d.iii.3)
- TEMPORARY STABILIZATION OR COVERING OF SOIL STOCKPILES MUST OCCUR AT THE END OF EACH WORK DAY OR OTHER BMP'S MUST BE IMPLEMENTED TO PREVENT TURBID DISCHARGES TO SURFACE WATERS. (SCH A.7.e.ii.2.)
- DEVELOP AND MAINTAIN ON SITE A WRITTEN SPILL PREVENTION AND RESPONSE PROCEDURE. (SCH A.7.e.iii.3)
- ANY USE OF TOXIC OR OTHER HAZARDOUS MATERIALS MUST INCLUDE PROPER STORAGE, APPLICATION, AND DISPOSAL. (SCH A.7.e.iii.2)
- THE PERMITTEE MUST PROPERLY PREVENT AND MANAGE HAZARDOUS WASTE, USED OILS, CONTAMINATED SOILS, CONCRETE WASTE, SANITARY WASTE, LIQUID WASTE, OR OTHER TOXIC SUBSTANCES DISCOVERED OR GENERATED DURING CONSTRUCTION. (SCH A.7.e.i.1 AND SCH A.7.e.iii.4)
- SIGNIFICANT AMOUNTS OF SEDIMENT WHICH LEAVE THE SITE MUST BE CLEANED UP WITHIN 24 HOURS AND PLACED BACK ON THE SITE AND STABILIZED OR PROPERLY DISPOSED. THE CAUSE OF THE SEDIMENT RELEASE MUST BE FOUND AND PREVENTED FROM CAUSING A REOCURRENCE OF THE DISCHARGED WITHIN THE SAME 24 HOURS. ANY IN-STREAM CLEAN UP OF SEDIMENT SHALL BE PERFORMED ACCORDING TO THE OREGON DIVISION OF STATE LANDS REQUIRED TIME FRAME. (SCH A.7.f.i.1)
- SEDIMENT MUST NOT BE INTENTIONALLY WASHED INTO STORM SEWERS, DRAINAGEWAYS, OR WATERBODIES. DRY SWEEPING MUST BE USED TO CLEAN UP RELEASED SEDIMENTS. (SCH A.7.f.i.2)
- THE APPLICATION RATE OF FERTILIZERS USED TO REESTABLISH VEGETATION MUST FOLLOW THE MANUFACTURER'S RECOMMENDATIONS. NUTRIENT RELEASES FROM FERTILIZERS TO SURFACE WATERS MUST BE MINIMIZED. TIME RELEASE FERTILIZERS SHOULD BE USED AND CARE SHOULD BE TAKEN IN THE APPLICATION OF FERTILIZERS WITHIN ANY WATER WAY RIPARIAN ZONE. (SCH A.7.f.i.3)
- SEDIMENT MUST BE REMOVED FROM BEHIND SEDIMENT FENCE WHEN IT HAS REACHED A HEIGHT OF  $\frac{1}{3}$  THE HEIGHT OF THE FENCE ABOVE THE GROUND, AND BEFORE FENCE REMOVAL. (SCH A.7.f.ii.1)
- SEDIMENT MUST BE REMOVED FROM BEHIND BIO BAGS AND OTHER BARRIERS WHEN IT HAS REACHED A HEIGHT OF TWO (2) INCHES AND BEFORE BMP REMOVAL. (SCH A.7.f.ii.2.)
- CLEANING OF TRAPPED CATCH BASINS MUST OCCUR WHEN THE SEDIMENT RETENTION CAPACITY HAS BEEN REDUCED BY FIFTY (50) PERCENT, AND AT COMPLETION OF PROJECT. (SCH A.7.f.ii.3)
- REMOVAL OF TRAPPED SEDIMENT IN A SEDIMENT BASIN OR SEDIMENT TRAP MUST OCCUR WHEN THE SEDIMENT RETENTION CAPACITY HAS BEEN REDUCED BY FIFTY (50) PERCENT, AND AT COMPLETION OF PROJECT. (SCH A.7.f.ii.3&4)
- DEQ MUST APPROVE OF ANY TREATMENT SYSTEM AND OPERATIONAL PLAN THAT MAY BE NECESSARY TO TREAT CONTAMINATED CONSTRUCTION DEWATERING OR SEDIMENT AND TURBIDITY IN STORMWATER RUNOFF. (SCH A.7.f.iii.)
- SHOULD ALL CONSTRUCTION ACTIVITIES CEASE FOR THIRTY (30) DAYS OR MORE, THE ENTIRE SITE MUST BE TEMPORARILY STABILIZED USING VEGETATION OR A HEAVY MULCH LAYER, TEMPORARY SEEDING, OR OTHER METHOD. (SCH A.8.a.)
- SHOULD CONSTRUCTION ACTIVITIES CEASE FOR FIFTEEN (15) DAYS OR MORE ON ANY SIGNIFICANT PORTION OF A CONSTRUCTION SITE, TEMPORARY STABILIZATION IS REQUIRED FOR THAT PORTION OF THE SITE WITH STRAW, COMPOST, OR OTHER TACKIFIED COVERING THAT WILL PREVENT SOIL OR WIND EROSION UNTIL WORK RESUMES ON THAT PORTION OF THE SITE. (SCH A.8.b.)

## LOCAL AGENCY-SPECIFIC EROSION CONTROL NOTES

- OWNER OR DESIGNATED PERSON SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES, IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
- PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE BOUNDARIES OF THE CLEARING LIMITS, VEGETATED BUFFERS, AND ANY SENSITIVE AREAS SHOWN ON THIS PLAN SHALL BE CLEARLY DELINEATED IN THE FIELD. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE IS PERMITTED BEYOND THE CLEARING LIMITS. THE OWNER/PERMITTER MUST MAINTAIN THE DELINEATION FOR THE DURATION OF THE PROJECT. NOTE: VEGETATED CORRIDORS TO BE DELINEATED WITH ORANGE CONSTRUCTION FENCE OR APPROVED EQUAL.
- PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE BMP'S THAT MUST BE INSTALLED ARE A GRAVEL CONSTRUCTION ENTRANCE, PERIMETER SEDIMENT CONTROL, AND INLET PROTECTION. THESE BMP'S MUST BE MAINTAINED FOR THE DURATION OF THE PROJECT.
- IF VEGETATIVE SEED MIXES ARE SPECIFIED, SEEDING MUST TAKE PLACE NO LATER THAN SEPTEMBER 1; THE TYPE AND PERCENTAGES OF SEED IN THE MIX MUST BE IDENTIFIED ON THE PLANS.
- ALL PUMPING OF SEDIMENT/LADEN WATER SHALL BE DISCHARGED OVER AN UNDISTurbed, PREFERABLY VEGETATED AREA, AND THROUGH A SEDIMENT CONTROL BMP i.e. (FILTER BAG).
- THE ESC PLAN MUST BE KEPT ON SITE. ALL MEASURES SHOWN ON THE PLAN MUST BE INSTALLED PROPERLY TO ENSURE THAT SEDIMENT OR SEDIMENT/LADEN WATER DOES NOT ENTER A SURFACE WATER SYSTEM, ROADWAY, OR OTHER PROPERTIES.
- THE ESC MEASURES SHOWN ON THIS PLAN ARE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE MEASURES SHALL BE UPGRADED AS NEEDED TO COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL EROSION CONTROL REGULATIONS. CHANGES TO THE APPROVED ESC PLAN MUST BE SUBMITTED IN THE FORM OF AN ACTION PLAN TO DEQ PER THE 1200 C PERMIT.
- IN AREAS SUBJECT TO WIND EROSION, APPROPRIATE BMP'S MUST BE USED WHICH MAY INCLUDE THE APPLICATION OF FINE WATER SPRAYING, PLASTIC SHEETING, MULCHING, OR OTHER APPROVED MEASURES.
- ALL EXPOSED SOILS MUST BE COVERED DURING THE WET WEATHER PERIOD.

## LEGEND

EXISTING	PROPOSED	DESCRIPTION
●		MONUMENT FOUND
◎		STORM MANHOLE
■		CATCH BASIN
□	■	AREA DRAIN
◎		SANITARY SEWER MANHOLE
•	•	CLEAN OUT
●	●	SIGN
●		CONIFEROUS TREE
		DECIDUOUS TREE
— — — —	— — — —	PROPERTY LINE
— — — —	— — — —	CENTERLINE
— — — —	— — — —	SAWCUT LINE
— — — —	— — — —	EDGE OF PAVEMENT
— — — —	— — — —	CURB
X" SD	X" SS	SANITARY SEWER
X" W		WATER

## ARCHITECT/ENGINEER/SURVEYOR

ARCHITECT: CARLETON HART ARCHITECTURE  
322 NW 8th AVE.  
PORTLAND, OR 97209  
(503) 243-3261  
CONTACT: CHRISTIAN STERNER

ENGINEER: MGH ASSOCIATES, INC.  
104 W. 9TH STREET  
VANCOUVER, WA 98660  
(360) 718-9500  
CONTACT: WILLIAM BRANNAN, PE

SURVEYOR: CHASE JONES AND ASSOCIATES INC

716 SE 11TH AVE

PORTLAND, OREGON 97214

(503) 228-9844

CONTACT: BRADY McGARRY

CONTACT: CHRISTIAN STERNER

CONTACT: WILLIAM BRANNAN, PE

CONTACT: BRADY McGARRY

CONTACT: CHRISTIAN STERNER

CONTACT: WILLIAM BRANNAN, PE

CONTACT: BRADY McGARRY

CONTACT: CHRISTIAN STERNER

CONTACT: WILLIAM BRANNAN, PE

CONTACT: BRADY McGARRY

CONTACT: CHRISTIAN STERNER

CONTACT: WILLIAM BRANNAN, PE

CONTACT: BRADY McGARRY

CONTACT: CHRISTIAN STERNER

CONTACT: WILLIAM BRANNAN, PE

CONTACT: BRADY McGARRY

CONTACT: CHRISTIAN STERNER

CONTACT: WILLIAM BRANNAN, PE

CONTACT: BRADY McGARRY

CONTACT: CHRISTIAN STERNER

CONTACT: WILLIAM BRANNAN, PE

CONTACT: BRADY McGARRY

CONTACT: CHRISTIAN STERNER

CONTACT: WILLIAM BRANNAN, PE

CONTACT: BRADY McGARRY

CONTACT: CHRISTIAN STERNER

CONTACT: WILLIAM BRANNAN, PE

CONTACT: BRADY McGARRY

CONTACT: CHRISTIAN STERNER

CONTACT: WILLIAM BRANNAN, PE

CONTACT: BRADY McGARRY

CONTACT: CHRISTIAN STERNER

CONTACT: WILLIAM BRANNAN, PE

CONTACT: BRADY McGARRY

CONTACT: CHRISTIAN STERNER

CONTACT: WILLIAM BRANNAN, PE

CONTACT: BRADY McGARRY

CONTACT: CHRISTIAN STERNER

CONTACT: WILLIAM BRANNAN, PE

CONTACT: BRADY McGARRY

CONTACT: CHRISTIAN STERNER

CONTACT: WILLIAM BRANNAN, PE

CONTACT: BRADY McGARRY

CONTACT: CHRISTIAN STERNER

CONTACT: WILLIAM BRANNAN, PE

CONTACT: BRADY McGARRY

CONTACT: CHRISTIAN STERNER

CONTACT: WILLIAM BRANNAN, PE

CONTACT: BRADY McGARRY

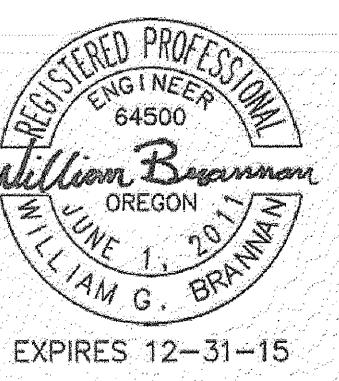
CONTACT: CHRISTIAN STERNER

CONTACT: WILLIAM BRANNAN, PE

CONTACT: BRADY McGARRY

CONTACT: CHRISTIAN STERNER

CONTACT: WILLIAM BRANNAN, PE



**CARLETON HART ARCHITECTURE**  
322 nw 8th avenue portland, oregon 97209  
t 503 243 2252 | f 503 243 3261 | carletonhart.com

**METZGER PARK APARTMENTS**  
10025 & 10045 SW 85TH AVE  
TIGARD, OR 97223

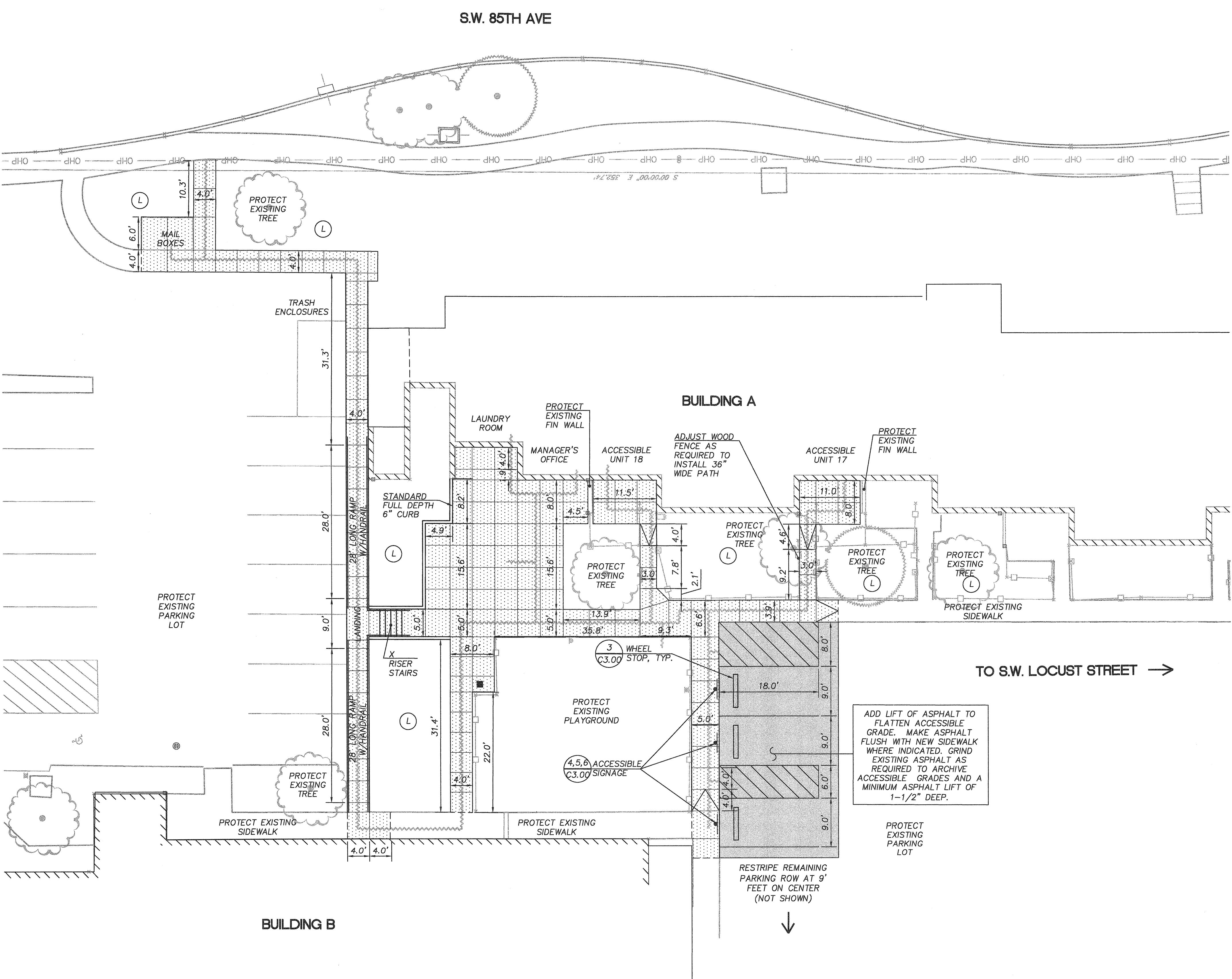
PERMIT SET

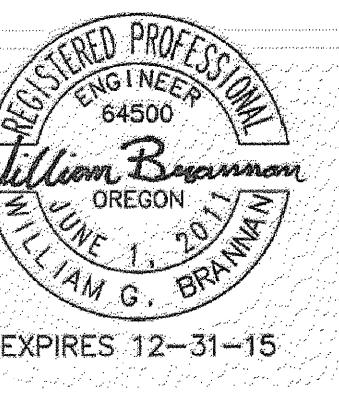
COPYRIGHT - CARLETON HART ARCHITECTURE DO NOT REPRODUCE WITHOUT PERMISSION

**C1.00**

SHEET NOTES		
1. INSTALL SCORE AND EXPANSION JOINTS PER DETAILS 1 AND 2 ON SHEET C3.01.		

SHEET LEGEND		
ITEM	DESCRIPTION	REFERENCE
	CONCRETE SIDEWALK	7 C3.00
	ASPHALT PAVEMENT	3 C3.01
	STANDARD CURB	
	ACCESSIBLE ROUTE	
	LANDSCAPING	8 C3.00





CARLTON HART ARCHITECTURE  
322 NW 8th Avenue, Portland, Oregon 97209  
t 503 243 2252 | f 503 243 3261 | carltonhart.com

### METZGER PARK APARTMENTS

10025 & 10045 SW 85TH AVE

TIGARD, OR 97223

PERMIT SET

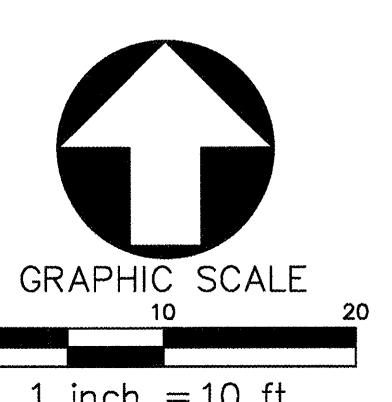
GRADING AND EROSION CONTROL PLAN

PROJ NO.

21344

10.17.14

COPYRIGHT - CARLTON HART ARCHITECTURE DO NOT REPRODUCE WITHOUT PERMISSION



GRAPHIC SCALE  
0 10 20  
1 inch = 10 ft.

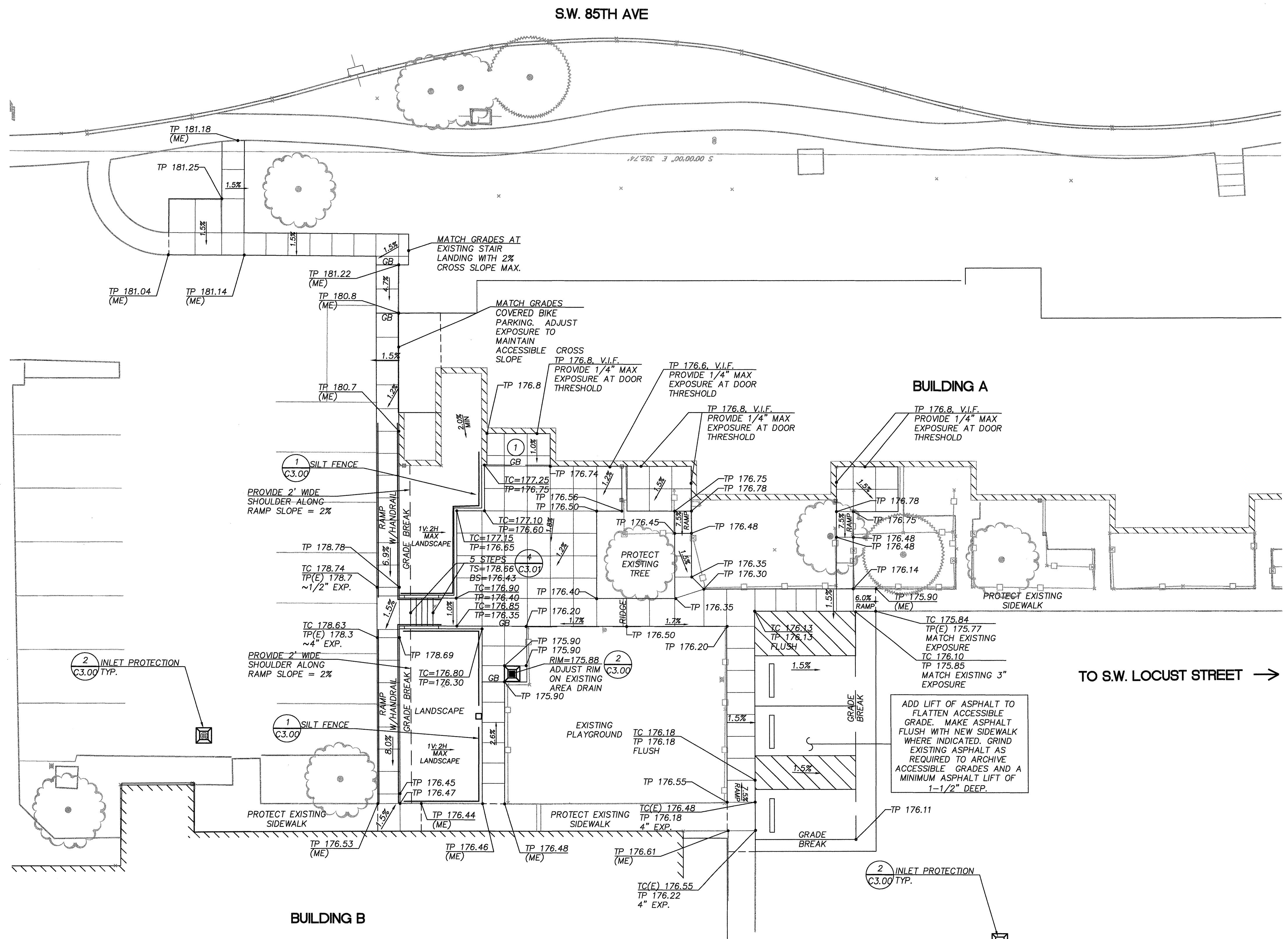
C2.00

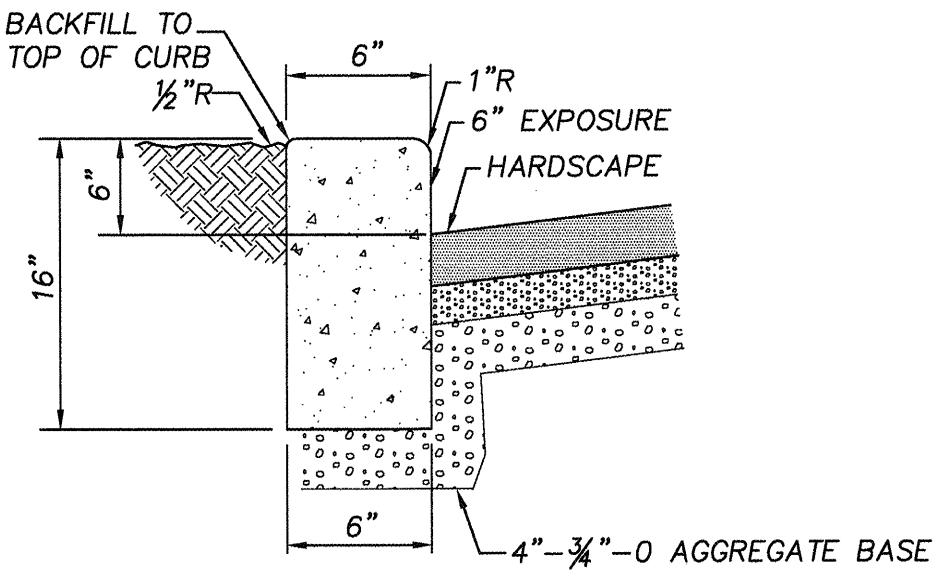
LEGEND		
ITEM	DESCRIPTION	REFERENCE
TC XX.XX	GRADE AT TOP OF CURB	
TP XX.XX	GRADE AT TOP OF PAVEMENT	
FF XX.XX	FINISH FLOOR ELEVATION	
FG XX.XX	FINISHED GRADE	
(E) (ME)	EXISTING, MATCH EXISTING	
TS XX.XX	TOP OF STEP	
BS XX.XX	BOTTOM OF STEP	
	INLET PROTECTION	2 C3.00
	SEDIMENT FENCE	1 C3.00

### SHEET NOTES

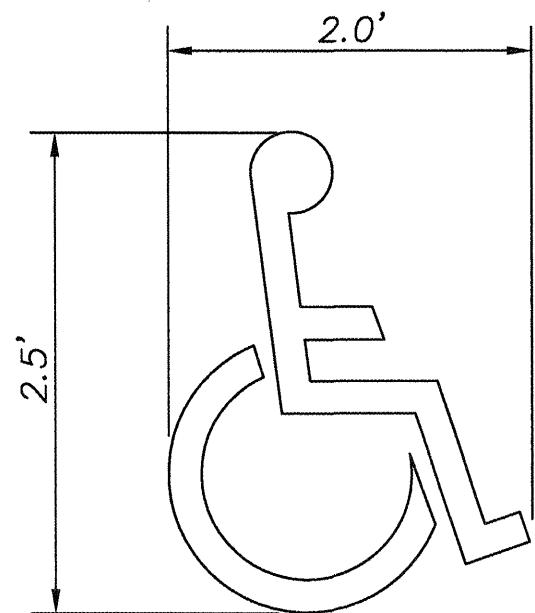
1. GRADES FOR NEW TOP OF PAVEMENT IN PARKING AREA INCLUDE THE 1/4" GRIND AND OVERLAY.
2. REFER TO ARCH. PLANS FOR HAND RAIL DETAILS.
3. FIELD VERIFY FINISHED FLOOR OF THE LAUNDRY ROOM, MANAGER'S OFFICE AND UNITS 18 AND 17 PRIOR TO THE START OF CONSTRUCTION. PROVIDE FINISH FLOOR ELEVATIONS TO THE CIVIL ENGINEER IF THEY ARE NOT AS ASSUMED ON THE PLANS.

CIVIL ENGINEER = WILLIAM BRANNAN, PE  
BILL.BRANNAN@GHASSOCIATES.COM  
DIRECT = 360-718-9500

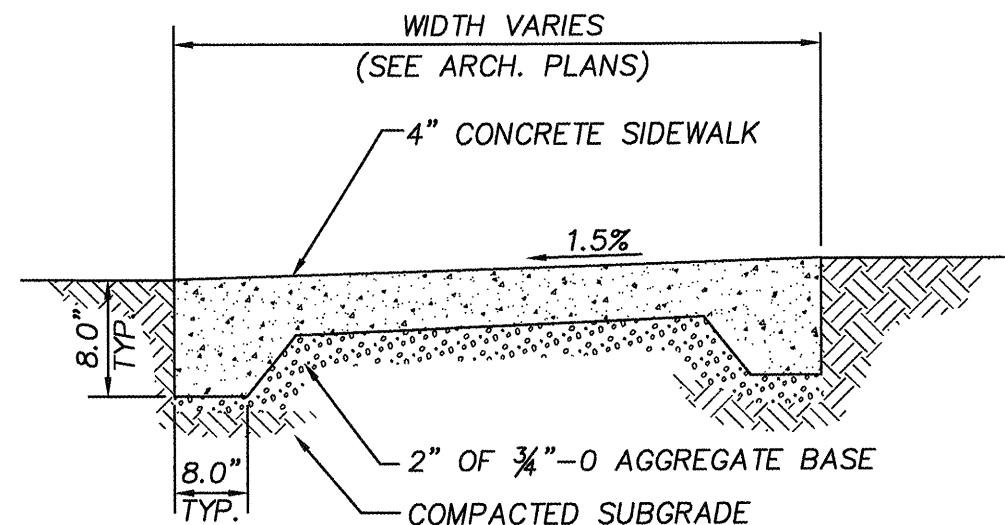




**8** STANDARD CONCRETE CURB  
NTS

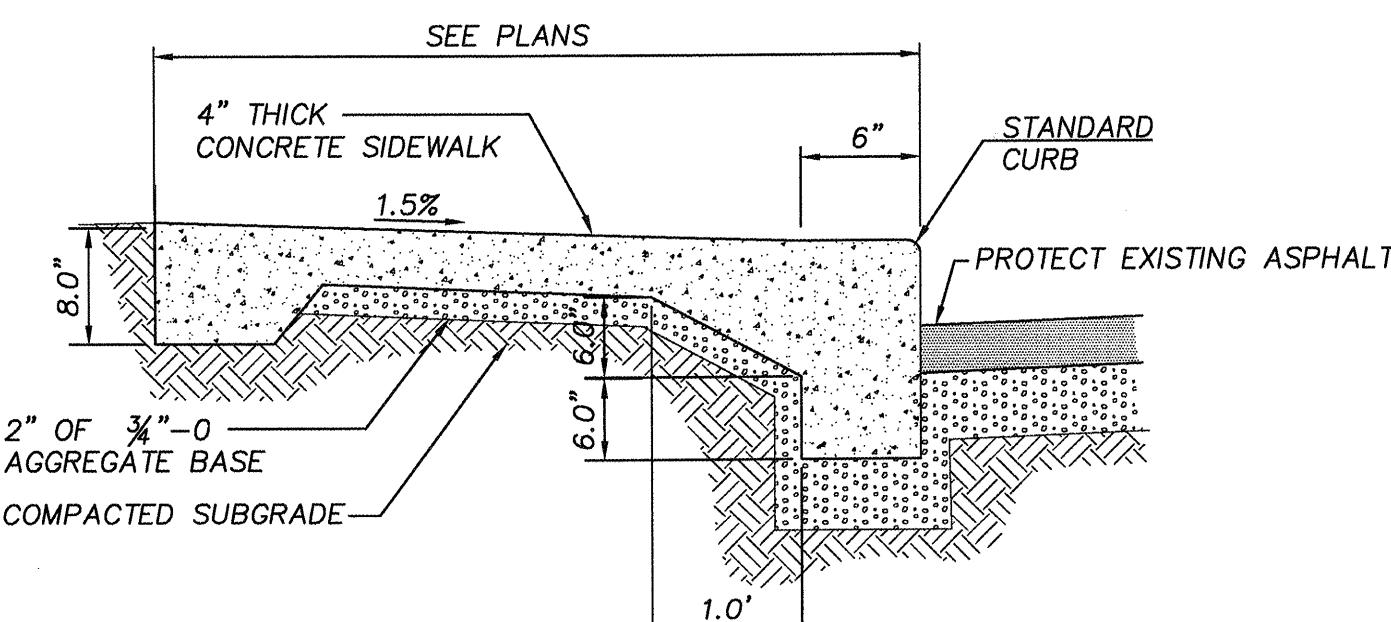


**6** ACCESSIBLE PARKING EMBLEM  
NTS



**NOTE:**  
1. CONCRETE SHALL BE 4000 PSI, SLUMP RANGE 3" TO 5".

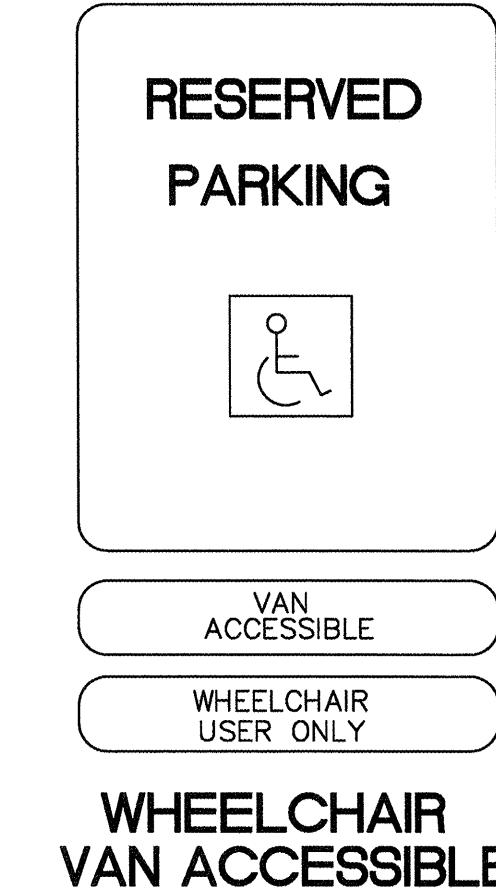
#### IN LANDSCAPE



**NOTE:**  
1. CONCRETE SHALL BE 4000 PSI, SLUMP RANGE 3" TO 5".

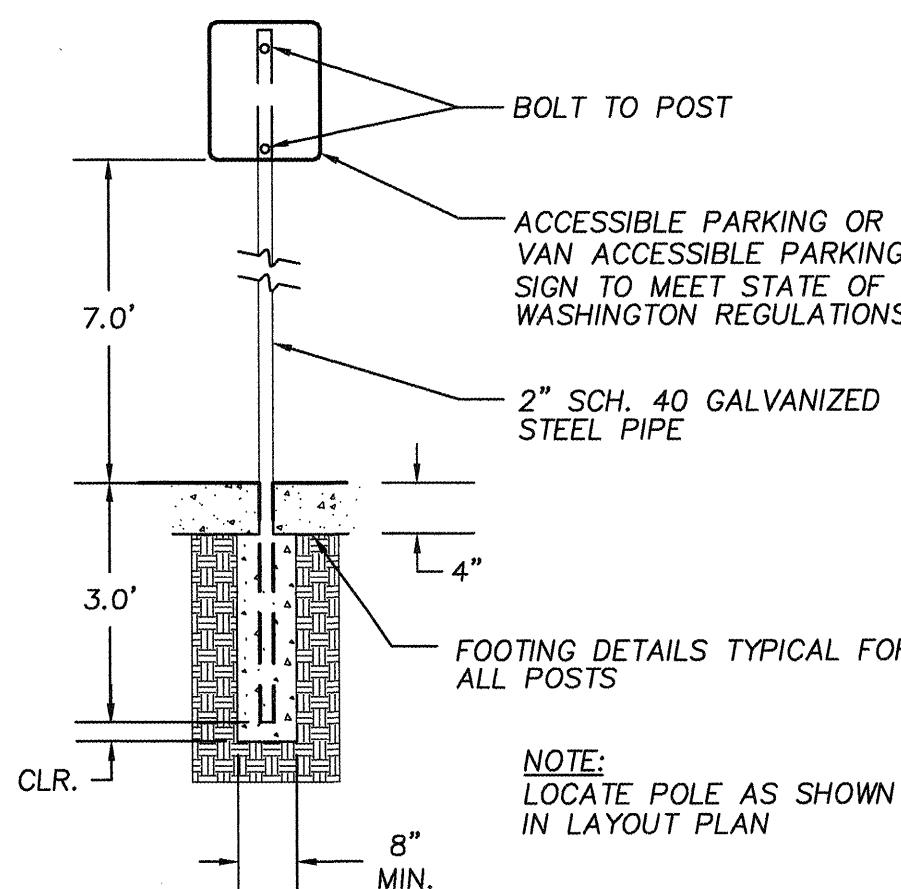
#### MONOLITHIC SIDEWALK AND STANDARD 16" CURB

**7** 4" CONCRETE SIDEWALK  
NTS

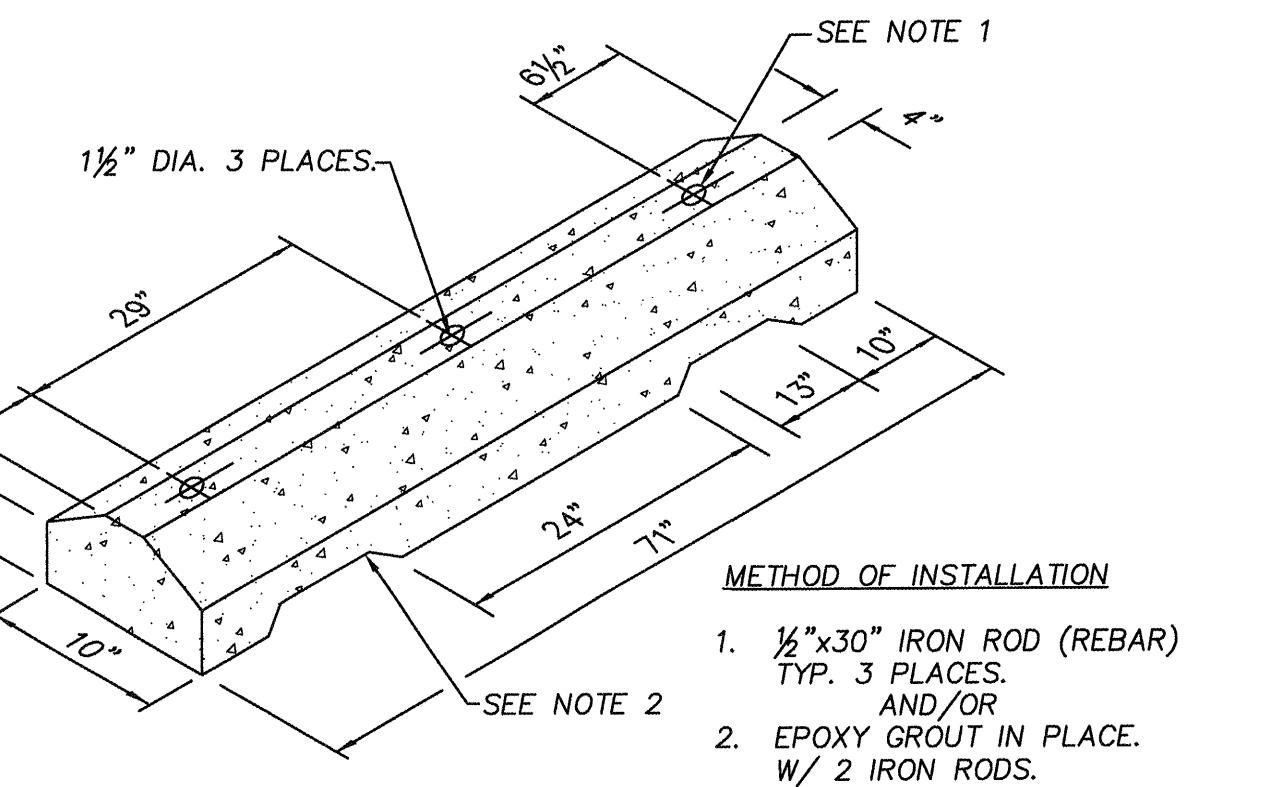


**NOTE:**  
1. INSTALL WASHINGTON APPROVED ACCESSIBLE STALL SIGNS.

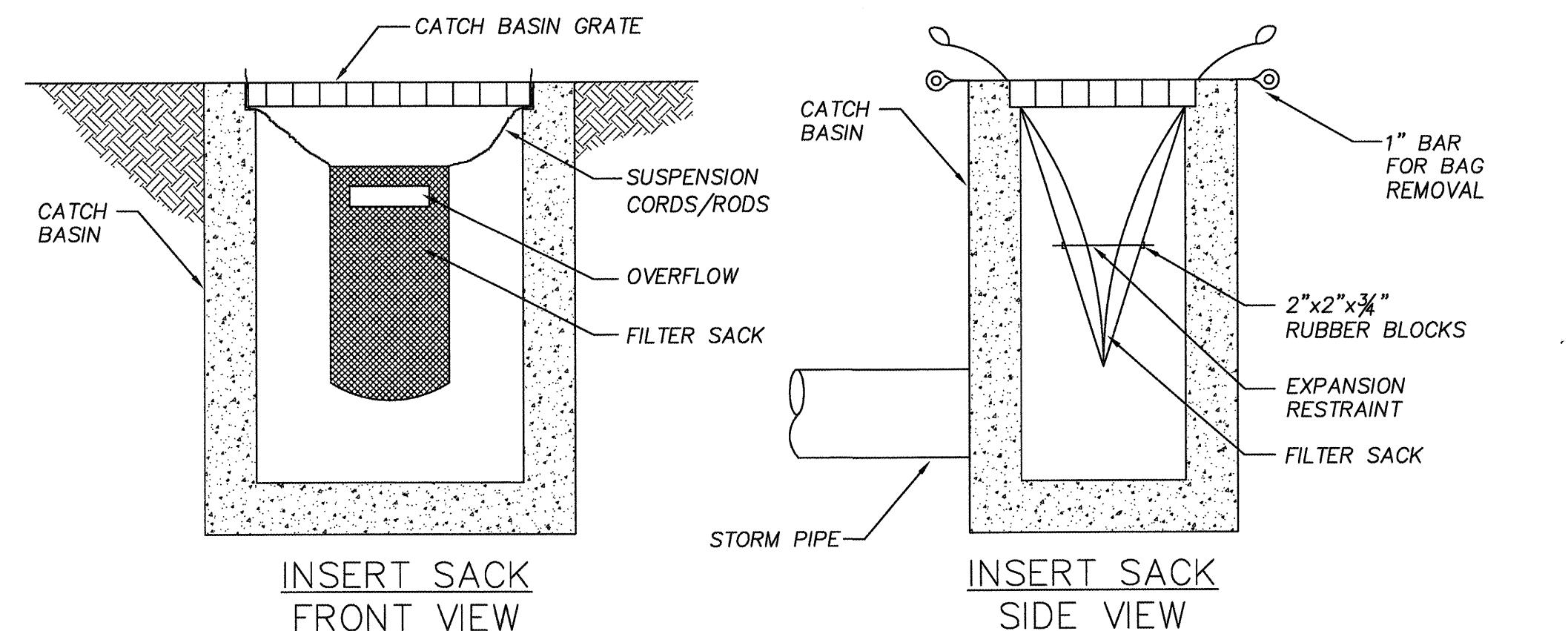
**5** ACCESSIBLE PARKING SIGN  
NTS



**4** ACCESSIBLE SIGN POST  
NTS

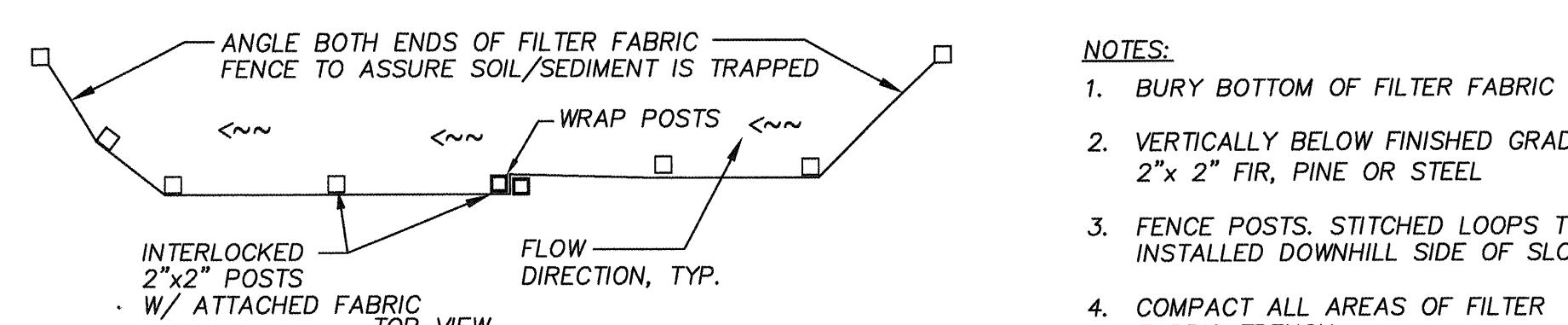
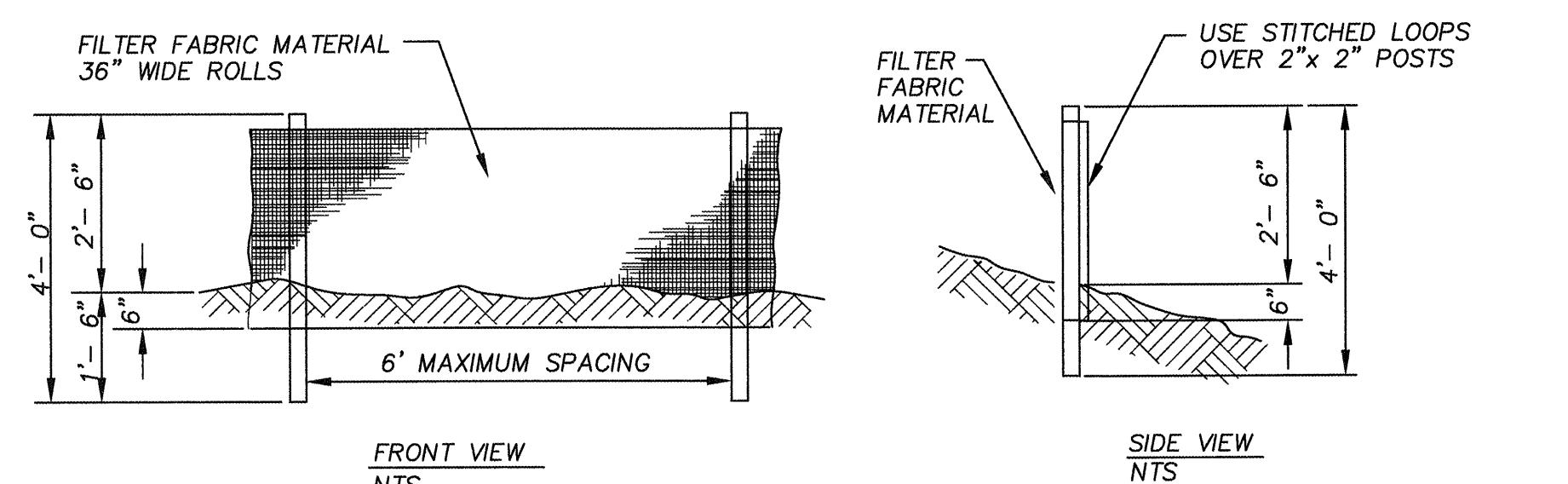


**3** WHEEL STOP  
NTS

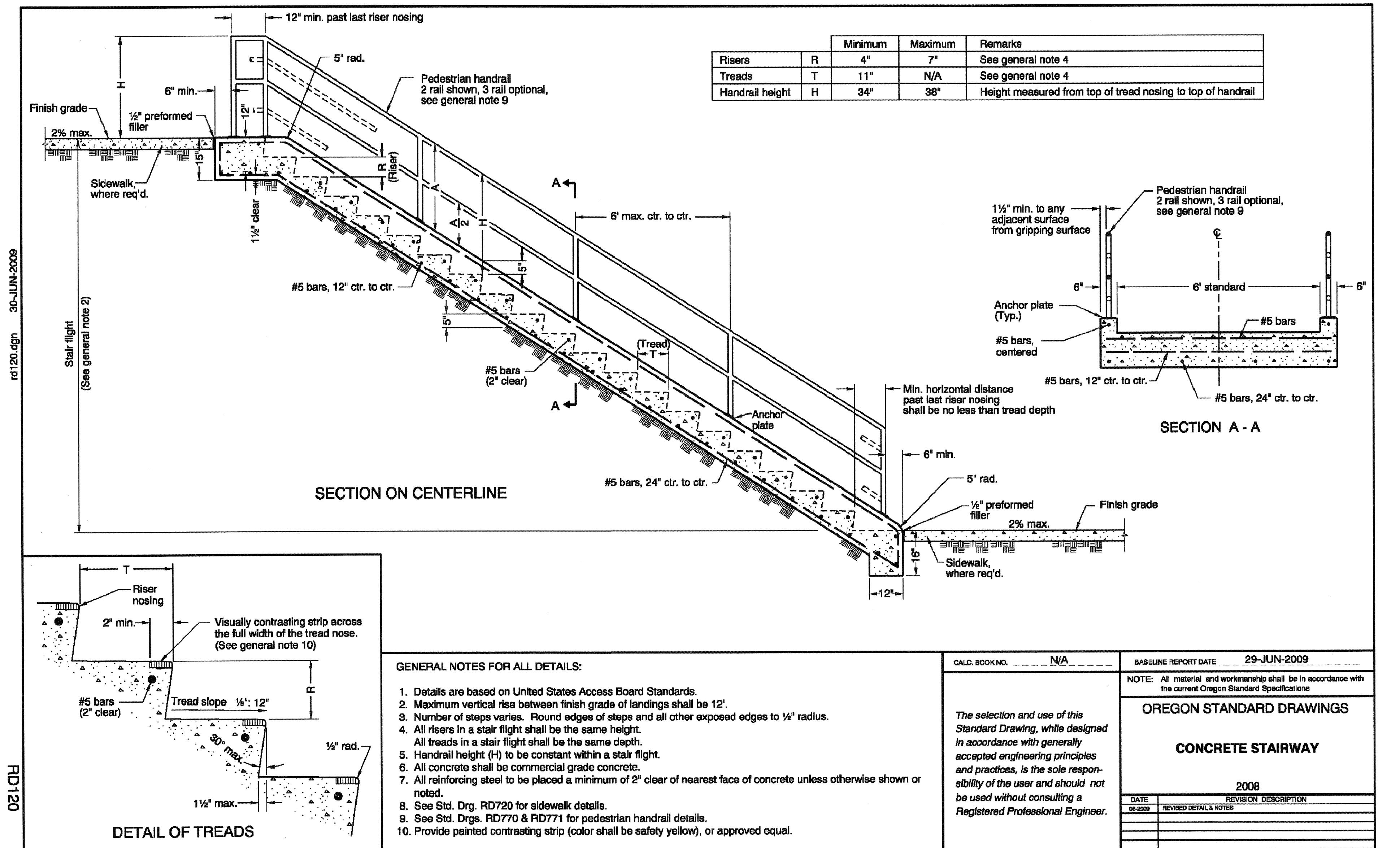
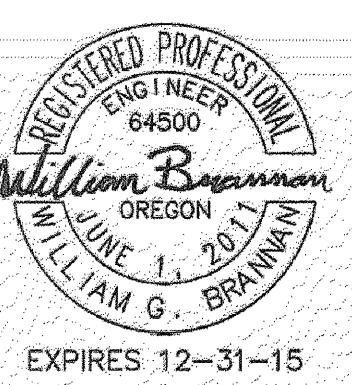


**NOTE:**  
REPLACE BIOFILTER BAGS WITH INSERT SACKS AFTER THE FIRST LIFT OF PAVING.

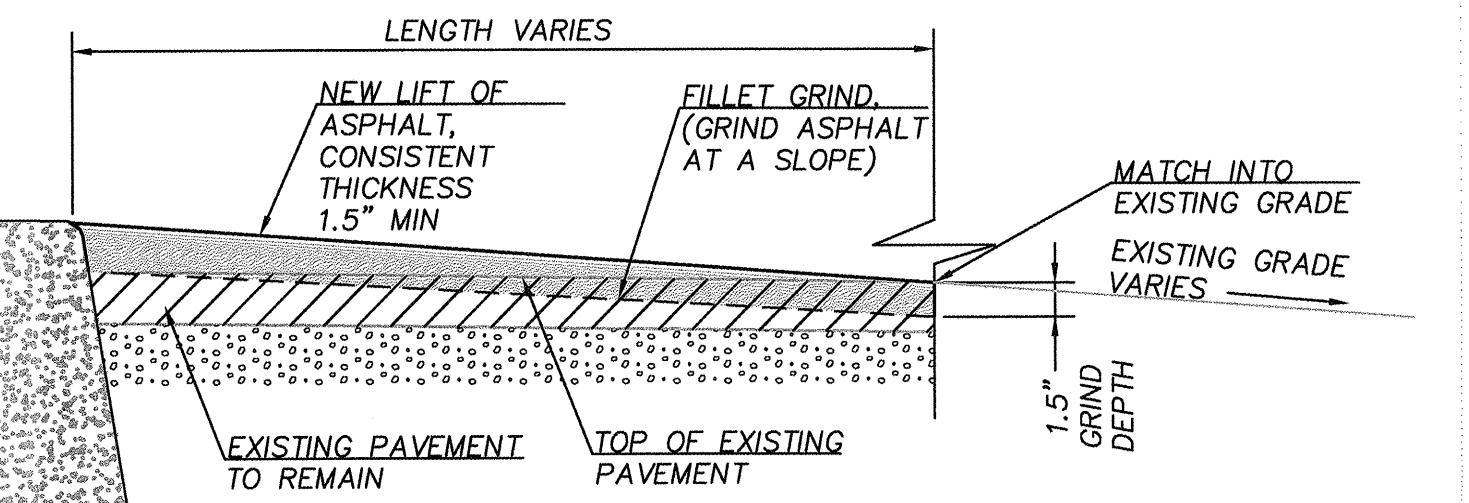
**2** FILTER FABRIC INLET PROTECTION  
NTS



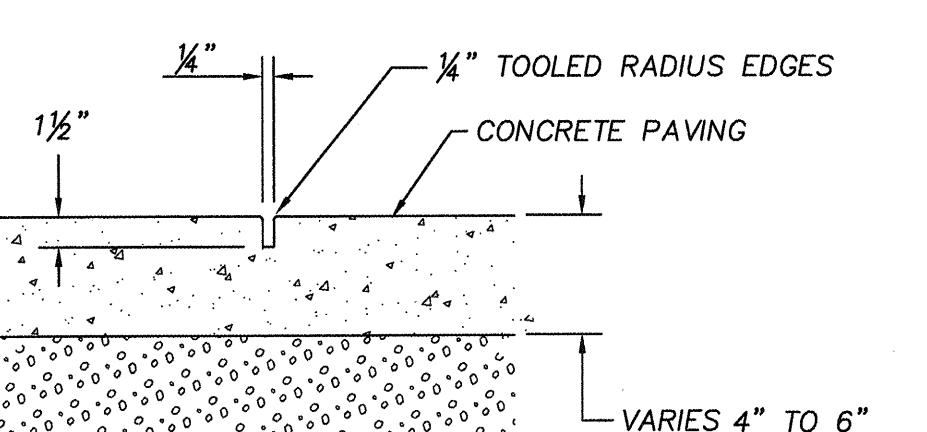
**1** SEDIMENT FENCE  
NTS



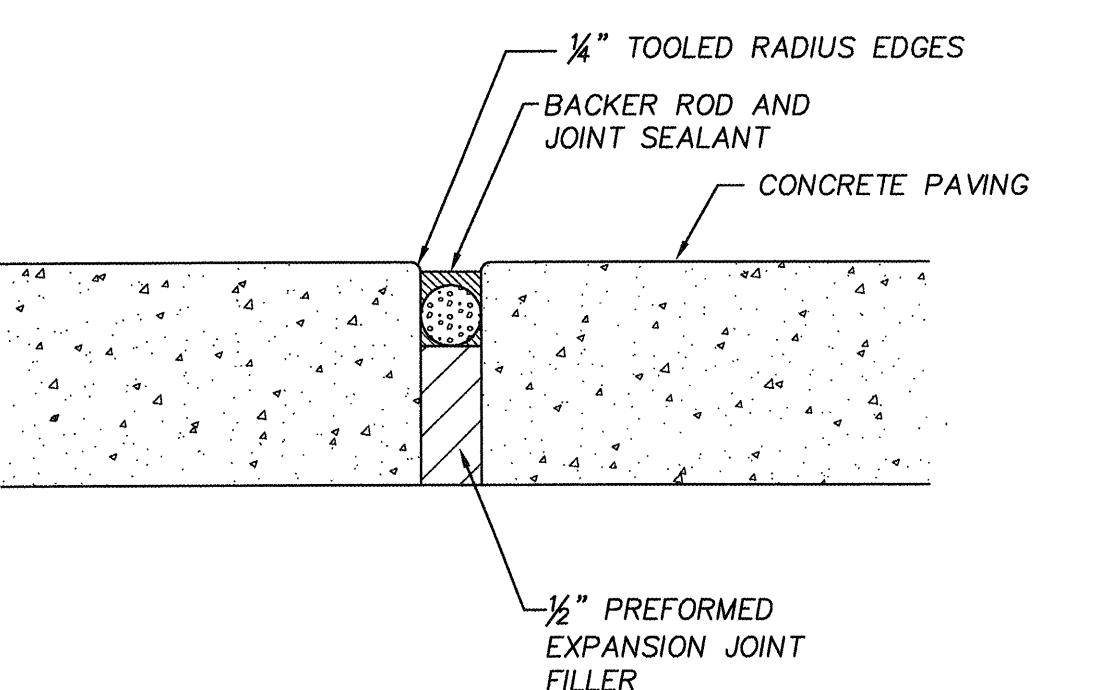
**4 STAIRS**  
NTS



**3 ASPHALT OVERLAY WITH FILLET GRIND**



**2 SCORE JOINT**



NOTE: PLACE EXPANSION JOINTS ALONG EXISTING BUILDING FACE AND AT A MAXIMUM 20' ON CENTER

**1 EXPANSION JOINT**  
NTS



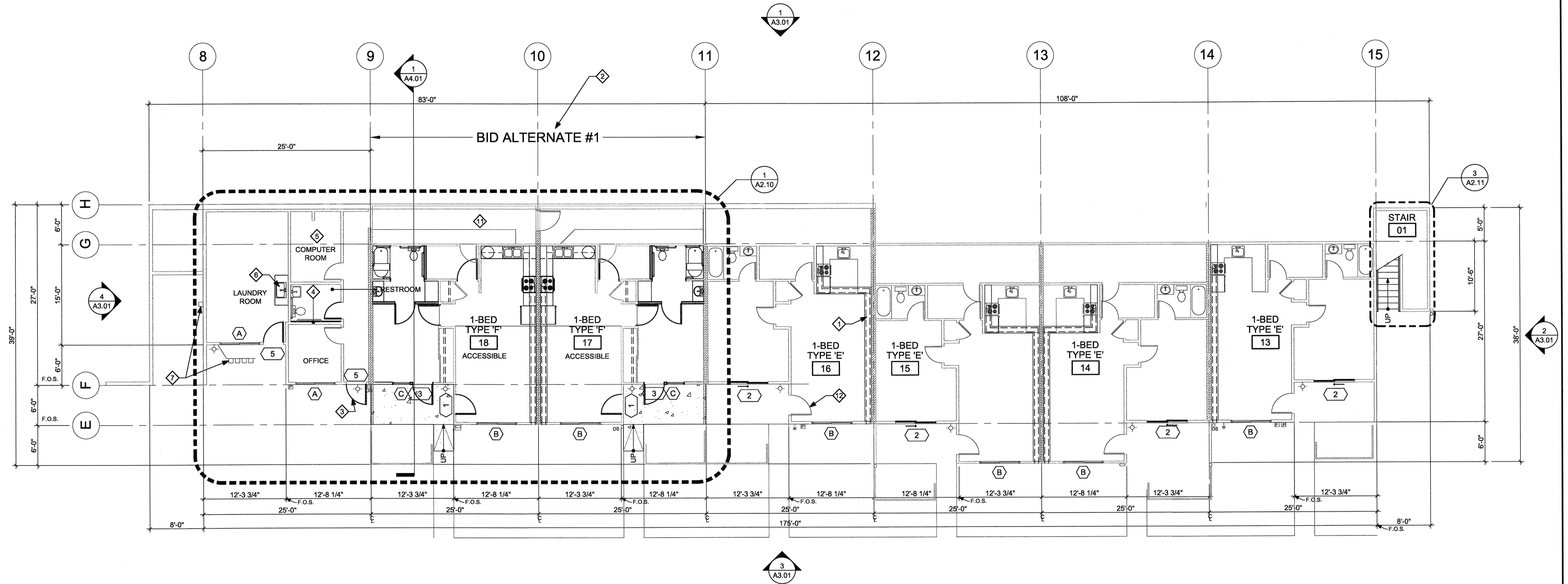
10025 & 10045 SW 85TH AVE  
TIGARD, OR 97223

**CARLETON HART ARCHITECTURE**  
322 nw 8th avenue portland, oregon 97209  
† 503 243 2252 | 1 503 243 3261 | carletonhart.com

NG A, #10045  
ND FLOOR PLAN

PROJ NO.  
21344

10.22.14



## **1 GROUND FLOOR PLAN - BUILDING A**

SCALE: 1/8" = 1'-0"



## **GENERAL PLAN NOTES**

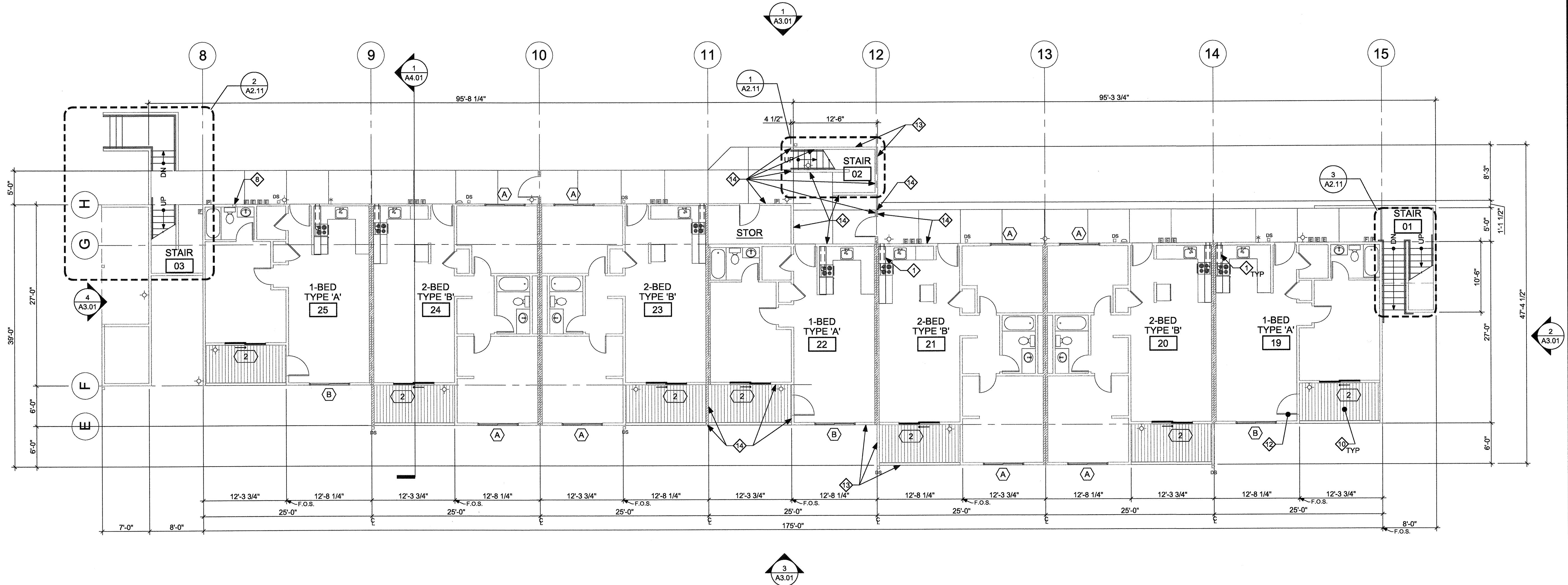
1. NOT ALL KEYNOTES PERTAIN TO ALL PLAN SHEETS
  2. ALL EXISTING CONDITIONS AND DIMENSIONS TO BE FIELD VERIFIED. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
  3. EXISTING ROOFING TO REMAIN.
  4. REMOVE EXISTING SIDING AND WRB. REPLACE EXISTING DAMAGED GYPSUM SHEATHING, BATT INSULATION, AND FRAMING MEMBERS AS REQUIRED. PROVIDE NEW WRB/AB, PLYWOOD FURRING STRIPS, PRE-FINISHED CEMENTITIOUS LAP SIDING AND FLASHINGS. SEE ASSEMBLY DETAIL 1/A5.00. EXCEPTION: NO RAINSCREEN AT WALLS IN COVERED LOCATIONS (COVERED WALKWAYS, BALCONIES AND THEIR RETURN WALLS, SEE A2.02 FOR TYPICAL LOCATIONS AND NOTES. SEE ASSEMBLY DETAIL 3/A5.00 AND DETAILS ON SHEET A5.11.
  5. REMOVE AND REPLACE ALL EXISTING WINDOWS AND SLIDING DOORS WITH NEW VINYL WINDOWS AND SLIDING DOORS.
  6. REMOVE EXISTING WINDOW BLINDS, SALVAGE AND REINSTALL AFTER WINDOW INSTALLATION.
  7. EXISTING SMOKE DETECTORS TO REMAIN.
  8. BUILDING DIMENSIONS SHOWN FOR REFERENCE ONLY.
  9. PROVIDE COMPLETE REPLACEMENT OF ALL EXISTING BUILDING DOMESTIC WATER PLUMBING. PROVIDE NEW TUB/SHOWER SURROUNDS IN ALL UNITS. TOUCH UP WALLS AND CEILINGS AS REQUIRED.
  10. PROVIDE DUCTED RANGE HOODS VENTED TO EXTERIOR THROUGH NEW SOFFIT IN LIEU OF RECIRCULATING AT GROUND FLOOR UNITS. (LOWER TWO FLOORS AT BUILDING 'A' AND LOWER FLOOR AT BUILDING 'B'.)
  11. REPLACE (E) WOOD FENCING AS REQUIRED DUE TO ROT OR OTHER UNACCEPTABLE CONDITION.
  12. ALL MECHANICAL, ELECTRICAL AND PLUMBING TO BE BIDDER - DESIGNED.
  13. DIMENSIONS ARE TO GRIDLINE OR FACE OF STUD, U.O.N.
  14. FIRESTOP ALL PENETRATIONS AT FIRE RATED ASSEMBLIES.
  15. REFERENCE EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR WORK.
  16. MODIFY EXISTING BATHROOM EXHAUST VENTS AT ATTIC. ROUTE SEPARATELY THROUGH ROOF.
  17. EXISTING LIGHTING TO REMAIN AND BE RE-INSTALLED SAME LOCATIONS.
  18. SEE SHEET A2.10 FOR NOTES AND INTERIOR DOOR TAGS.

PLAN KEY NOTES

- 1 DUCTED RANGE EXHAUST, NEW SOFFIT AT 7'-0" MIN.
  - 2 BID ALTERNATE #1: ACCESSIBLE UPGRADES TO UNITS #17 AND #18 AS SHOWN ON SHEETS A2.10 AND A6.01. BASE BID FOR THESE UNITS IS SIMILAR TO ALL OTHER UNITS INCLUDING NEW KITCHEN EXHAUST VENTING, NEW TUB SURROUNDS, NEW WINDOWS AND SLIDING DOORS, SEE PLANS.
  - 3 REVERSE SWING OF DOOR TO OPEN TO EXTERIOR.
  - 4 RESTROOM: FURR WALL TO ENSURE 1'-6" DIMENSION OF TOILET CENTERLINE TO FINISH WALL. REVERSE SWING OF DOOR AND PROVIDE NEW LOCKSET. PROVIDE NEW MIRROR AT ACCESSIBLE HEIGHT. PROVIDE NEW SINK WITHOUT INTEGRAL BACKSPLASH. RELOCATE REAR GRAB BAR AND ADD VERTICAL GRAB BAR. RELOCATE TOILET SEAT COVER DISPENSER TO ACCESSIBLE HEIGHT.
  - 5 COMPUTER ROOM: RELOCATE SIGNAGE ON DOOR TO 60" AFF OR LOWER. PROVIDE LEVER HANDLE AT DOOR. PROVIDE 48" HIGH CABINETRY.
  - 6 LAUNDRY ROOM: REMOVE EXISTING LAUNDRY SINK AND PROVIDE NEW ACCESSIBLE SINK.

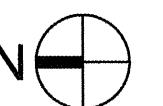
## **LEGEND**

	EXISTING INTERIOR WALL TO REMAIN	
=====	NEW INTERIOR WALL	
	WINDOW TYPE; SEE SHEET A9.01, WINDOW SCHEDULE	(E) DOWNSPOUT
	DOOR TYPE; SEE SHEET A9.01, DOOR SCHEDULE	(E) LOCAL FIRE ALARM BELL
	ELECTRIC METER	(E) WALL-MOUNTED LIGHT
	LOCAL FIRE ALARM PULL	(E) HOSE BIB
	FIRE EXTINGUISHER CABINET	



## 1 SECOND FLOOR PLAN - BUILDING A

SCALE: 1/8" = 1'-0"



### GENERAL PLAN NOTES

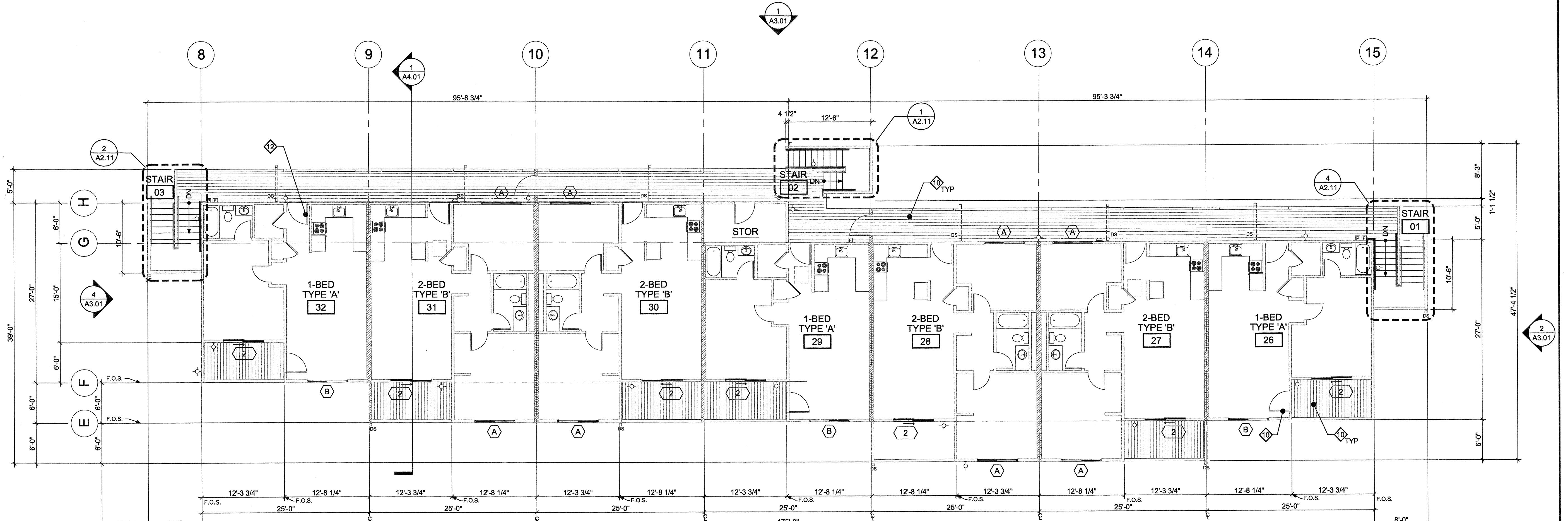
- NOT ALL KEYNOTES PERTAIN TO ALL PLAN SHEETS
- ALL EXISTING CONDITIONS AND DIMENSIONS TO BE FIELD VERIFIED. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- EXISTING ROOFING TO REMAIN.
- REMOVE EXISTING SIDING AND WRB. REPLACE EXISTING DAMAGED GYPSUM SHEATHING, BATT INSULATION, AND FRAMING MEMBERS AS REQUIRED. PROVIDE NEW WRB/AB, PLYWOOD FURRING STRIPS, PRE-FINISHED CEMENTITIOUS LAP SIDING AND FLASHINGS. SEE ASSEMBLY DETAIL 1/A5.00. EXCEPTION: NO RAINSCREEN AT WALLS IN COVERED LOCATIONS (COVERED WALKWAYS, BALCONIES AND THEIR RETURN WALLS, SEE A2.02 FOR TYPICAL LOCATIONS AND NOTES. SEE ASSEMBLY DETAIL 3/A5.00 AND DETAILS ON SHEET A5.11).
- REMOVE AND REPLACE ALL EXISTING WINDOWS AND SLIDING DOORS WITH NEW VINYL WINDOWS AND SLIDING DOORS.
- REMOVE EXISTING WINDOW BLINDS, SALVAGE AND REINSTALL AFTER WINDOW INSTALLATION.
- EXISTING SMOKE DETECTORS TO REMAIN.
- BUILDING DIMENSIONS SHOWN FOR REFERENCE ONLY.
- PROVIDE COMPLETE REPLACEMENT OF ALL EXISTING BUILDING DOMESTIC WATER PLUMBING. PROVIDE NEW TUB/SHOWER SURROUNDS IN ALL UNITS. TOUCH UP WALLS AND CEILINGS AS REQUIRED.
- PROVIDE DUCTED RANGE HOODS VENTED TO EXTERIOR THROUGH NEW SOFFIT IN LIEU OF RECIRCULATING AT ALL GROUND FLOOR UNITS. (LOWER TWO FLOORS AT BUILDING 'A' AND LOWER FLOOR AT BUILDING 'B'.)
- REPLACE (E) WOOD FENCING AS REQUIRED DUE TO ROT OR OTHER UNACCEPTABLE CONDITION.
- ALL MECHANICAL, ELECTRICAL AND PLUMBING TO BE BIDDER - DESIGNED.
- DIMENSIONS ARE TO GRIDLINE OR FACE OF STUD, U.O.N.
- FIRESTOP ALL PENETRATIONS AT FIRE RATED ASSEMBLIES.
- REFERENCE EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR WORK.
- MODIFY EXISTING BATHROOM EXHAUST VENTS AT ATTIC. ROUTE SEPARATELY THROUGH ROOF.
- EXISTING LIGHTING TO REMAIN AND BE RE-INSTALLED AT SAME LOCATIONS.
- SEE SHEET A2.10 FOR NOTES AND INTERIOR DOOR TAGS.

### PLAN KEY NOTES

- DUCTED RANGE EXHAUST, NEW SOFFIT AT 7'-0" MIN.
- BID ALTERNATE #1: ACCESSIBLE UPGRADES TO UNITS #17 AND #18 AS SHOWN ON SHEETS A2.10 AND A6.01. BASE BID FOR THESE UNITS IS SIMILAR TO ALL OTHER UNITS INCLUDING NEW KITCHEN EXHAUST VENTING, NEW TUB SURROUNDS, NEW WINDOWS AND SLIDING DOORS, SEE PLANS.
- REVERSE SWING OF DOOR TO OPEN TO EXTERIOR.
- RESTROOM: FURR WALL TO ENSURE 1'-6" DIMENSION OF TOILET CENTERLINE TO FINISH WALL. REVERSE SWING OF DOOR. PROVIDE NEW MIRROR AT ACCESSIBLE HEIGHT. PROVIDE NEW SINK WITHOUT INTEGRAL BACKSPLASH. RELOCATE REAR GRAB BAR AND ADD VERTICAL GRAB BAR. RELOCATE TOILET SEAT COVER DISPENSER TO ACCESSIBLE HEIGHT.
- COMPUTER ROOM: RELOCATE SIGNAGE ON DOOR TO 60" AFF OR LOWER. PROVIDE LEVER HANDLE AT DOOR. PROVIDE 48" HIGH CABINETRY.
- LAUNDRY ROOM: REMOVE EXISTING LAUNDRY SINK AND PROVIDE NEW ACCESSIBLE SINK.

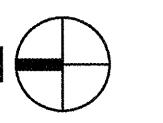
### LEGEND

	EXISTING INTERIOR WALL TO REMAIN
	NEW INTERIOR WALL
	(E) LOCAL FIRE ALARM BELL
	(E) WALL-MOUNTED LIGHT
	(E) HOSE BIB
	DS (E) DOWNSPOUT
	WINDOW TYPE; SEE SHEET A9.01, WINDOW SCHEDULE
	DOOR TYPE; SEE SHEET A9.01, DOOR SCHEDULE
	ELECTRIC METER
	FIRE EXTINGUISHER CABINET



### 1 THIRD FLOOR PLAN - BUILDING A

SCALE: 1/8" = 1'-0"



#### GENERAL PLAN NOTES

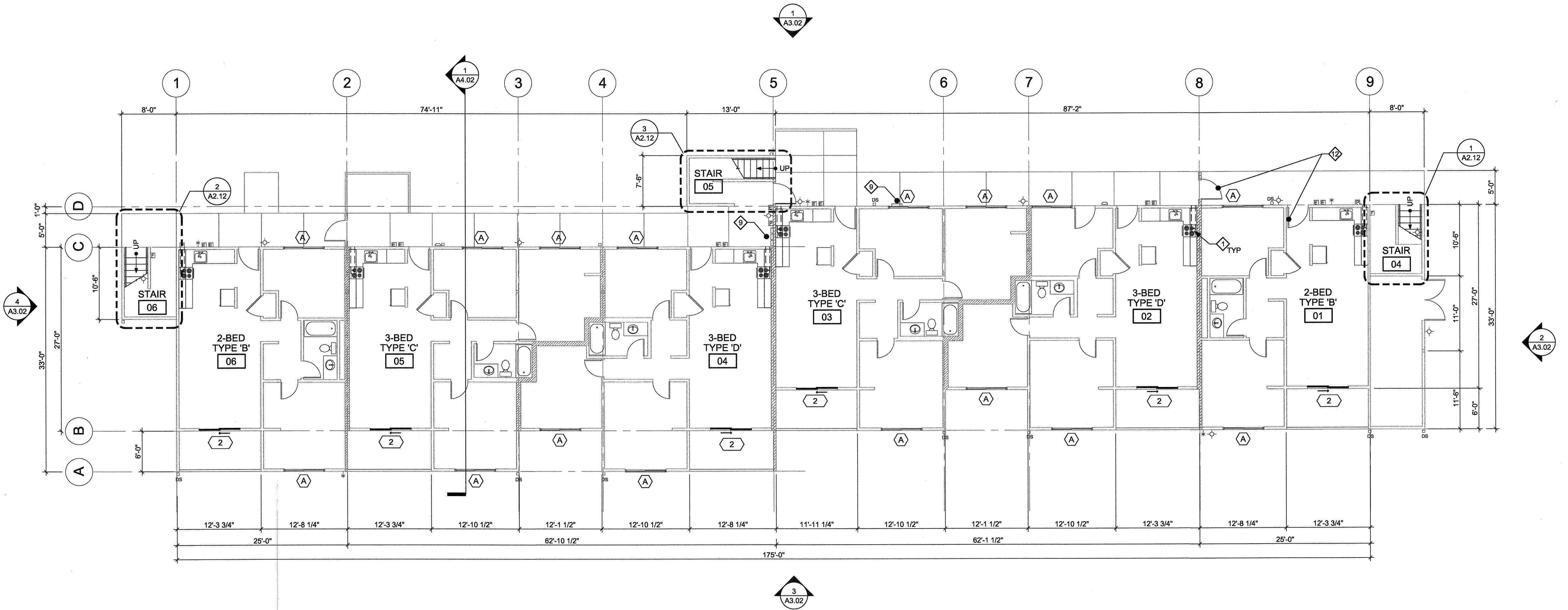
- NOT ALL KEYNOTES PERTAIN TO ALL PLAN SHEETS
- ALL EXISTING CONDITIONS AND DIMENSIONS TO BE FIELD VERIFIED. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- EXISTING ROOFING TO REMAIN.
- REMOVE EXISTING SIDING AND WRB. REPLACE EXISTING DAMAGED GYPSUM SHEATHING, BATT INSULATION, AND FRAMING MEMBERS AS REQUIRED. PROVIDE NEW WRB/AB, PLYWOOD FURRING STRIPS, PRE-FINISHED CEMENTITIOUS LAP SIDING AND FLASHINGS. SEE ASSEMBLY DETAIL 1/A5.00. EXCEPTION: NO RAINSCREEN AT WALLS IN COVERED LOCATIONS (COVERED WALKWAYS, BALCONIES AND THEIR RETURN WALLS, SEE A2.02 FOR TYPICAL LOCATIONS AND NOTES. SEE ASSEMBLY DETAIL 3/A5.00 AND DETAILS ON SHEET A5.11).
- REMOVE AND REPLACE ALL EXISTING WINDOWS AND SLIDING DOORS WITH NEW VINYL WINDOWS AND SLIDING DOORS.
- REMOVE EXISTING WINDOW BLINDS, SALVAGE AND REINSTALL AFTER WINDOW INSTALLATION.
- EXISTING SMOKE DETECTORS TO REMAIN.
- BUILDING DIMENSIONS SHOWN FOR REFERENCE ONLY.
- PROVIDE COMPLETE REPLACEMENT OF ALL EXISTING BUILDING DOMESTIC WATER PLUMBING. PROVIDE NEW TUB/SHOWER SURROUNDS IN ALL UNITS. TOUCH UP WALLS AND CEILINGS AS REQUIRED.
- PROVIDE DUCTED RANGE HOODS VENTED TO EXTERIOR THROUGH NEW SOFFIT IN LIEU OF RECIRCULATING AT ALL GROUND FLOOR UNITS. (LOWER TWO FLOORS AT BUILDING 'A' AND LOWER FLOOR AT BUILDING 'B').
- REPLACE (E) WOOD FENCING AS REQUIRED DUE TO ROT OR OTHER UNACCEPTABLE CONDITION.
- ALL MECHANICAL, ELECTRICAL AND PLUMBING TO BE BIDDER - DESIGNED.
- DIMENSIONS ARE TO GRIDLINE OR FACE OF STUD, U.O.N.
- FIRESTOP ALL PENETRATIONS AT FIRE RATED ASSEMBLIES.
- REFERENCE EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR WORK.
- MODIFY EXISTING BATHROOM EXHAUST VENTS AT ATTIC. ROUTE SEPARATELY THROUGH ROOF.
- EXISTING LIGHTING TO REMAIN AND BE RE-INSTALLED AT SAME LOCATIONS.
- SEE SHEET A2.10 FOR NOTES AND INTERIOR DOOR TAGS.

#### PLAN KEY NOTES

- ① DUCTED RANGE EXHAUST, NEW SOFFIT AT 7'-0" MIN.
- ② BID ALTERNATE #1: ACCESSIBLE UPGRADES TO UNITS #17 AND #18 AS SHOWN ON SHEETS A2.10 AND A6.01. BASE BID FOR THESE UNITS IS SIMILAR TO ALL OTHER UNITS INCLUDING NEW KITCHEN EXHAUST VENTING, NEW TUB SURROUNDS, NEW WINDOWS AND SLIDING DOORS, SEE PLANS.
- ③ REVERSE SWING OF DOOR TO OPEN TO EXTERIOR.
- ④ RESTROOM: FUR WALL TO ENSURE 1'-6" DIMENSION OF TOILET CENTERLINE TO FINISH WALL. REVERSE SWING OF DOOR. PROVIDE NEW MIRROR AT ACCESSIBLE HEIGHT. PROVIDE NEW SINK WITHOUT INTEGRAL BACKSPASH. RELOCATE REAR GRAB BAR AND ADD VERTICAL GRAB BAR. RELOCATE TOILET SEAT COVER DISPENSER TO ACCESSIBLE HEIGHT.
- ⑤ COMPUTER ROOM: RELOCATE SIGNAGE ON DOOR TO 60" AFF OR LOWER. PROVIDE LEVER HANDLE AT DOOR. PROVIDE 48" HIGH CABINETRY.
- ⑥ LAUNDRY ROOM: REMOVE EXISTING LAUNDRY SINK AND PROVIDE NEW ACCESSIBLE SINK.
- ⑦ LAUNDRY ROOM VENTS
- ⑧ VENT, CONTRACTOR TO VERIFY FUNCTION
- ⑨ ELECTRICAL PANELS, CONTRACTOR TO VERIFY FUNCTION
- ⑩ NEW SPACED COMPOSITE DECKING
- ⑪ EXISTING NON-ACCESSIBLE BUILDING STORAGE AREA TO REMAIN.
- ⑫ EXISTING DOOR TO BE RE-INSTALLED, TYP.
- ⑬ TYPICAL EXTERIOR WALL LOCATION WITH RAINSCREEN, SEE 1/A5.00.
- ⑭ TYPICAL EXTERIOR WALL LOCATION WITH NO RAINSCREEN, SEE 3/A5.00.

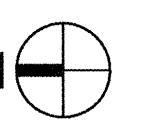
#### LEGEND

	EXISTING INTERIOR WALL TO REMAIN
	NEW INTERIOR WALL
	(E) DOWNSPOUT
	(E) LOCAL FIRE ALARM BELL
	(E) WALL-MOUNTED LIGHT
	(E) HOSE BIB
	ELECTRIC METER
	FIRE EXTINGUISHER CABINET
	WINDOW TYPE; SEE SHEET A9.01, WINDOW SCHEDULE
	DOOR TYPE; SEE SHEET A9.01, DOOR SCHEDULE
	LOCAL FIRE ALARM PULL



### GROUND FLOOR PLAN - BUILDING B

1 SCALE: 1/8" = 1'-0"



#### GENERAL PLAN NOTES

- NOT ALL KEYNOTES PERTAIN TO ALL PLAN SHEETS
- ALL EXISTING CONDITIONS AND DIMENSIONS TO BE FIELD VERIFIED. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- EXISTING ROOFING TO REMAIN.
- REMOVE EXISTING SIDING AND WRB. REPLACE EXISTING DAMAGED GYPSUM SHEATHING, BATT INSULATION, AND FRAMING MEMBERS AS REQUIRED. PROVIDE NEW WRB/AB, LAP SIDING AND FLASHINGS. SEE ASSEMBLY DETAIL 1/A5.00. EXCEPTION: NO RAINSCREEN AT WALLS IN COVERED LOCATIONS (COVERED WALKWAYS, BALCONIES AND THEIR RETURN WALLS, SEE A2.02 FOR TYPICAL LOCATIONS AND NOTES. SEE ASSEMBLY DETAIL 3/A5.00 AND DETAILS ON SHEET A5.11).
- REMOVE AND REPLACE ALL EXISTING WINDOWS AND SLIDING DOORS WITH NEW VINYL WINDOWS AND SLIDING DOORS.
- REMOVE EXISTING WINDOW BLINDS, SALVAGE AND REINSTALL AFTER WINDOW INSTALLATION.
- EXISTING SMOKE DETECTORS TO REMAIN.
- BUILDING DIMENSIONS SHOWN FOR REFERENCE ONLY.
- PROVIDE COMPLETE REPLACEMENT OF ALL EXISTING BUILDING DOMESTIC WATER PLUMBING. PROVIDE NEW TUB/SHOWER SURROUNDS IN ALL UNITS. TOUCH UP WALLS AND CEILINGS AS REQUIRED.
- PROVIDE DUCTED RANGE HOODS VENTED TO EXTERIOR THROUGH NEW SOFFIT IN LIEU OF RECIRCULATING AT ALL GROUND FLOOR UNITS. (LOWER TWO FLOORS AT BUILDING 'A' AND LOWER FLOOR AT BUILDING 'B'.)
- REPLACE (E) WOOD FENCING AS REQUIRED DUE TO ROT OR OTHER UNACCEPTABLE CONDITION.
- ALL MECHANICAL, ELECTRICAL AND PLUMBING TO BE BIDDER - DESIGNED.
- DIMENSIONS ARE TO GRIDLINE OR FACE OF STUD, U.O.N.
- FIRESTOP ALL PENETRATIONS AT FIRE RATED ASSEMBLIES.
- REFERENCE EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR WORK.
- MODIFY EXISTING BATHROOM EXHAUST VENTS AT ATTIC. ROUTE SEPARATELY THROUGH ROOF.
- EXISTING LIGHTING TO REMAIN AND BE RE-INSTALLED AT SAME LOCATIONS.
- SEE SHEET A2.10 FOR NOTES AND INTERIOR DOOR TAGS.

#### PLAN KEY NOTES

- ① DUCTED RANGE EXHAUST, NEW SOFFIT AT 7'-0" MIN.
- ② BID ALTERNATE #1: ACCESSIBLE UPGRADES TO UNITS #17 AND #18 AS SHOWN ON SHEETS A2.10 AND A6.01. BASE BID FOR THESE UNITS IS SIMILAR TO ALL OTHER UNITS INCLUDING NEW KITCHEN EXHAUST VENTING, NEW TUB SURROUNDS, NEW WINDOWS AND SLIDING DOORS, SEE PLANS.
- ③ REVERSE SWING OF DOOR TO OPEN TO EXTERIOR.
- ④ RESTROOM: FURR WALL TO ENSURE 1'-6" DIMENSION OF TOILET CENTERLINE TO FINISH WALL. REVERSE SWING OF DOOR. PROVIDE NEW MIRROR AT ACCESSIBLE HEIGHT. PROVIDE NEW SINK WITHOUT INTEGRAL BACKSPASH. RELOCATE REAR GRAB BAR AND ADD VERTICAL GRAB BAR. RELOCATE TOILET SEAT COVER DISPENSER TO ACCESSIBLE HEIGHT.
- ⑤ COMPUTER ROOM: RELOCATE SIGNAGE ON DOOR TO 60" AFF OR LOWER. PROVIDE LEVER HANDLE AT DOOR. PROVIDE 48" HIGH CABINETRY.
- ⑥ LAUNDRY ROOM: REMOVE EXISTING LAUNDRY SINK AND PROVIDE NEW ACCESSIBLE SINK.
- ⑦ LAUNDRY ROOM VENTS
- ⑧ VENT, CONTRACTOR TO VERIFY FUNCTION
- ⑨ ELECTRICAL PANELS, CONTRACTOR TO VERIFY FUNCTION
- ⑩ NEW SPACED COMPOSITE DECKING
- ⑪ EXISTING NON-ACCESSIBLE BUILDING STORAGE AREA TO REMAIN.
- ⑫ EXISTING DOOR TO BE RE-INSTALLED, TYP.
- ⑬ TYPICAL EXTERIOR WALL LOCATION WITH RAINSCREEN, SEE 1/A5.00.
- ⑭ TYPICAL EXTERIOR WALL LOCATION WITH NO RAINSCREEN, SEE 3/A5.00.

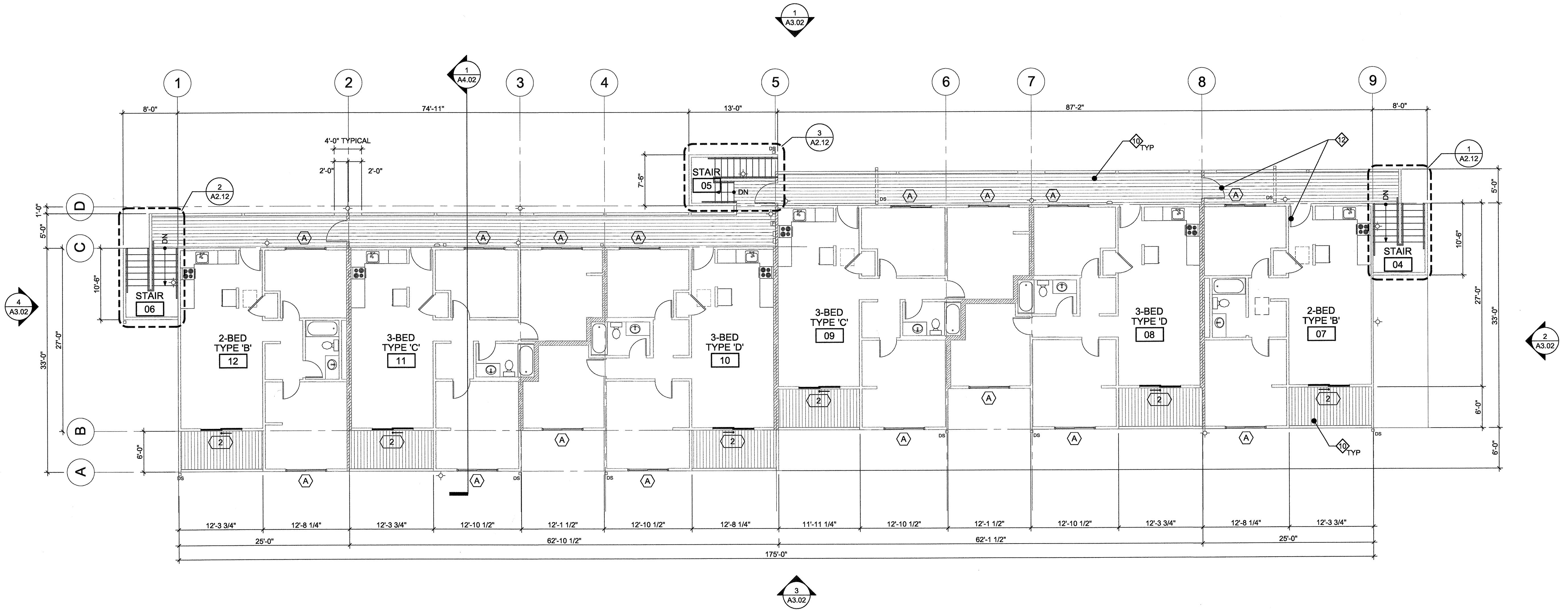
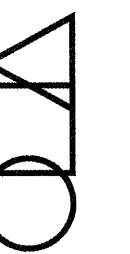
#### LEGEND

	EXISTING INTERIOR WALL TO REMAIN
	NEW INTERIOR WALL
	WINDOW TYPE; SEE SHEET A9.01, WINDOW SCHEDULE
	DOOR TYPE; SEE SHEET A9.01, DOOR SCHEDULE
	ELECTRIC METER
	LOCAL FIRE ALARM PULL
	FIRE EXTINGUISHER CABINET
	(E) DOWNSPOUT
	(E) LOCAL FIRE ALARM BELL
	(E) WALL-MOUNTED LIGHT
	(E) HOSE BIB

BUILDING B, #10025  
GROUND FLOOR PLAN

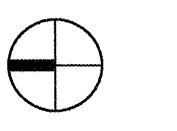
PROJ. NO.  
21344

10.22.14



## SECOND FLOOR PLAN - BUILDING B

1 SCALE: 1/8" = 1'-0"



### GENERAL PLAN NOTES

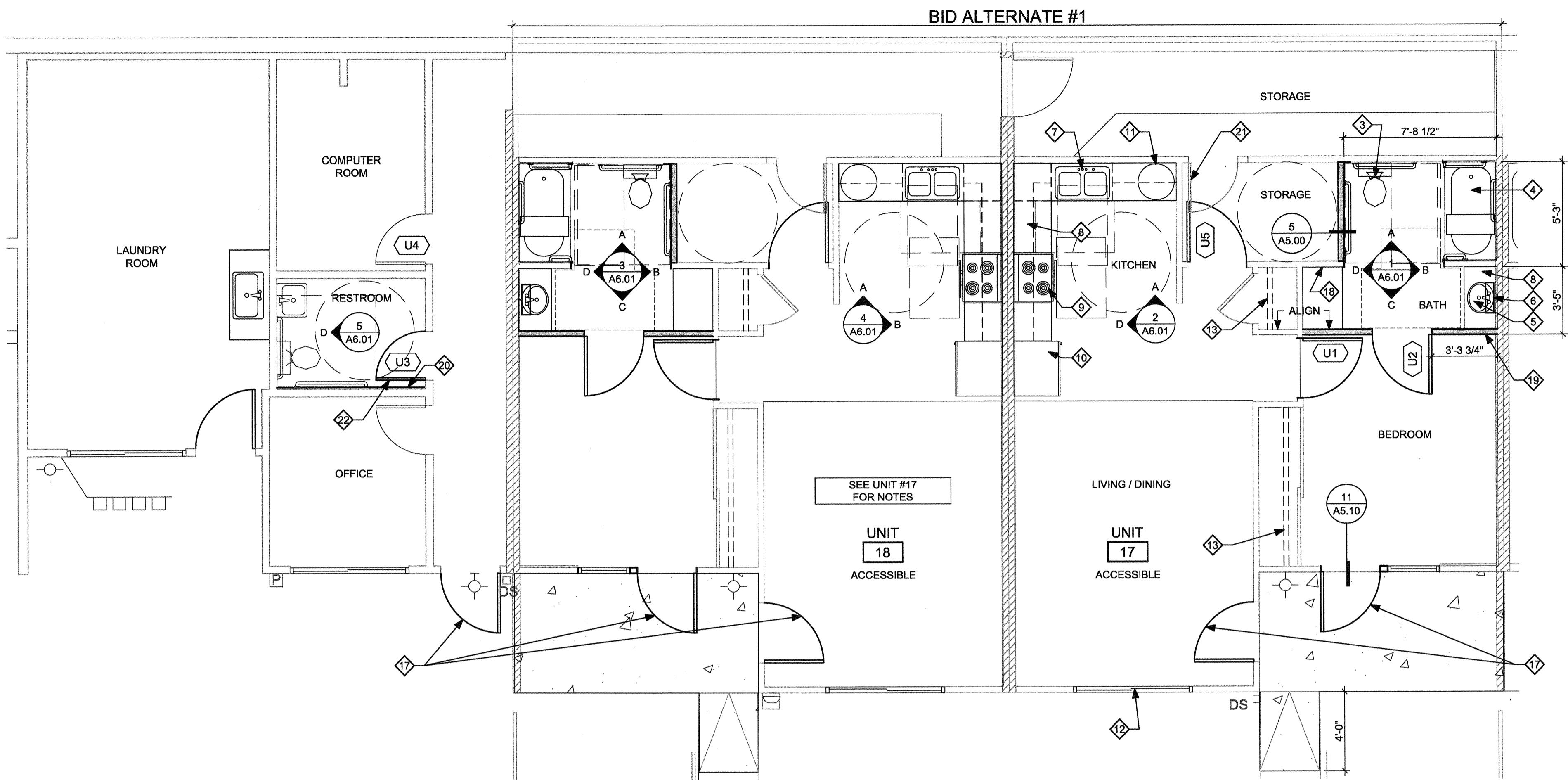
- NOT ALL KEYNOTES PERTAIN TO ALL PLAN SHEETS
- ALL EXISTING CONDITIONS AND DIMENSIONS TO BE FIELD VERIFIED. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- EXISTING ROOFING TO REMAIN.
- REMOVE EXISTING SIDING AND WRB. REPLACE EXISTING DAMAGED GYPSUM SHEATHING, BATT INSULATION, AND FRAMING MEMBERS AS REQUIRED. PROVIDE NEW WRB/AB, PLYWOOD FURRING STRIPS, PRE-FINISHED CEMENTITIOUS LAP SIDING AND FLASHINGS. SEE ASSEMBLY DETAIL 1/A5.00. EXCEPTION: NO RAINSCREEN AT WALLS IN COVERED LOCATIONS (COVERED WALKWAYS, BALCONIES AND THEIR RETURN WALLS, SEE A2.02 FOR TYPICAL LOCATIONS AND NOTES. SEE ASSEMBLY DETAIL 3/A5.00 AND DETAILS ON SHEET A5.11).
- REMOVE AND REPLACE ALL EXISTING WINDOWS AND SLIDING DOORS WITH NEW VINYL WINDOWS AND SLIDING DOORS.
- REMOVE EXISTING WINDOW BLINDS, SALVAGE AND REINSTALL AFTER WINDOW INSTALLATION.
- EXISTING SMOKE DETECTORS TO REMAIN.
- BUILDING DIMENSIONS SHOWN FOR REFERENCE ONLY.
- PROVIDE COMPLETE REPLACEMENT OF ALL EXISTING BUILDING DOMESTIC WATER PLUMBING. PROVIDE NEW TUB/SHOWER SURROUNDS IN ALL UNITS. TOUCH UP WALLS AND CEILINGS AS REQUIRED.
- PROVIDE DUCTED RANGE HOODS VENTED TO EXTERIOR THROUGH NEW SOFFIT IN LIEU OF RECIRCULATING AT ALL GROUND FLOOR UNITS. (LOWER TWO FLOORS AT BUILDING 'A' AND LOWER FLOOR AT BUILDING 'B').
- REPLACE (E) WOOD FENCING AS REQUIRED DUE TO ROT OR OTHER UNACCEPTABLE CONDITION.
- ALL MECHANICAL, ELECTRICAL AND PLUMBING TO BE BIDDER - DESIGNED.
- DIMENSIONS ARE TO GRIDLINE OR FACE OF STUD, U.O.N.
- FIRESTOP ALL PENETRATIONS AT FIRE RATED ASSEMBLIES.
- REFERENCE EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR WORK.
- MODIFY EXISTING BATHROOM EXHAUST VENTS AT ATTIC. ROUTE SEPARATELY THROUGH ROOF.
- EXISTING LIGHTING TO REMAIN AND BE RE-INSTALLED AT SAME LOCATIONS.
- SEE SHEET A2.10 FOR NOTES AND INTERIOR DOOR TAGS.
- DUCTED RANGE EXHAUST, NEW SOFFIT AT 7'-0" MIN.
- BID ALTERNATE #1: ACCESSIBLE UPGRADES TO UNITS #17 AND #18 AS SHOWN ON SHEETS A2.10 AND A6.01. BASE BID FOR THESE UNITS IS SIMILAR TO ALL OTHER UNITS INCLUDING NEW KITCHEN EXHAUST VENTING, NEW TUB SURROUNDS, NEW WINDOWS AND SLIDING DOORS, SEE PLANS.
- REVERSE SWING OF DOOR TO OPEN TO EXTERIOR.
- RESTROOM: FURR WALL TO ENSURE 1'-6" DIMENSION OF TOILET CENTERLINE TO FINISH WALL. REVERSE SWING OF DOOR. PROVIDE NEW MIRROR AT ACCESSIBLE HEIGHT. PROVIDE NEW SINK WITHOUT INTEGRAL BACKSPLASH. RELOCATE REAR GRAB BAR AND ADD VERTICAL GRAB BAR. RELOCATE LEVER TOILET SEAT COVER DISPENSER TO ACCESSIBLE HEIGHT.
- COMPUTER ROOM: RELOCATE SIGNAGE ON DOOR TO 60" AFF OR LOWER. PROVIDE LEVER HANDLE AT DOOR. PROVIDE 48" HIGH CABINETRY.
- LAUNDRY ROOM: REMOVE EXISTING LAUNDRY SINK AND PROVIDE NEW ACCESSIBLE SINK.

### PLAN KEY NOTES

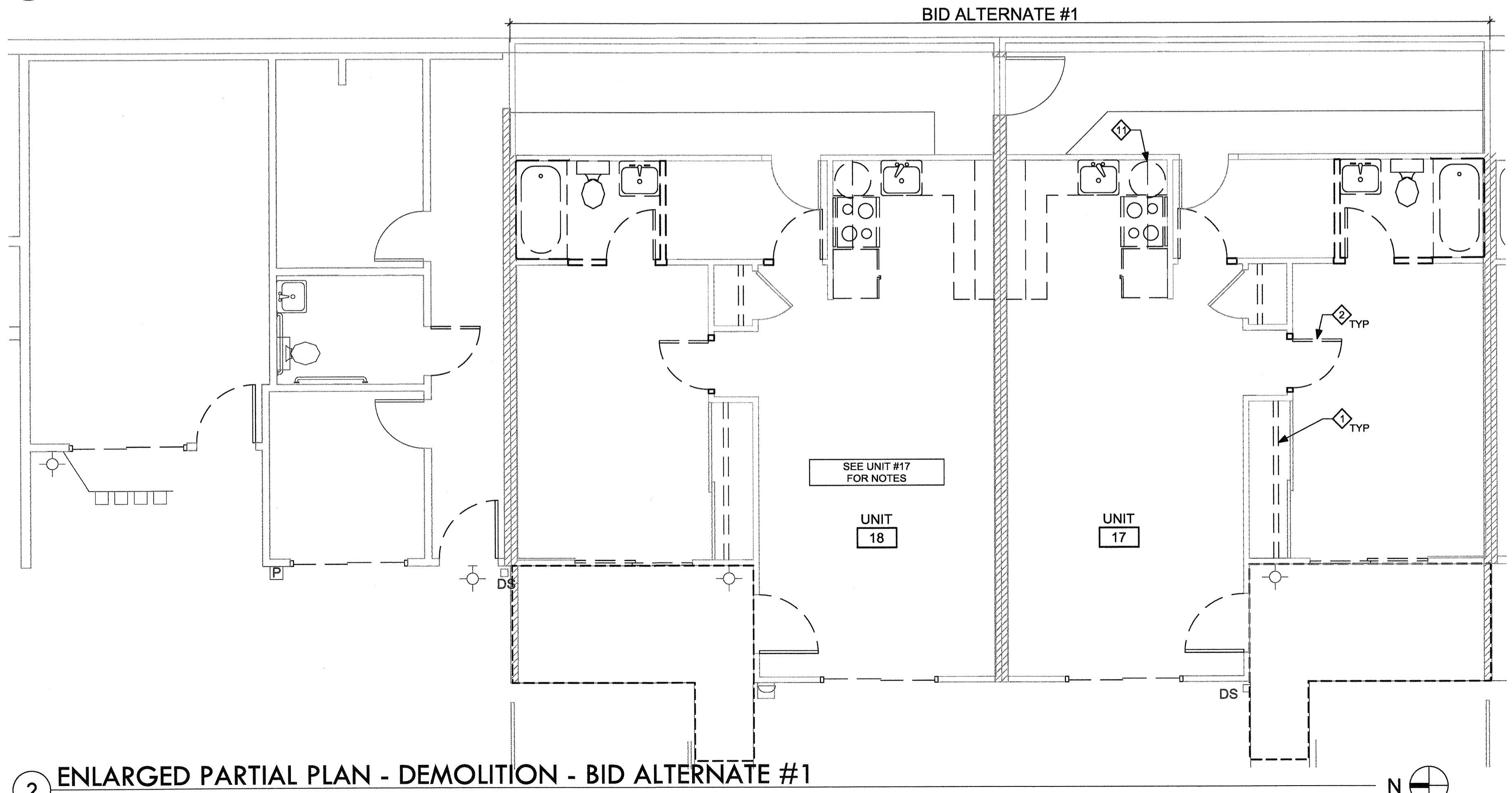
- ① DUCTED RANGE EXHAUST, NEW SOFFIT AT 7'-0" MIN.
- ② BID ALTERNATE #1: ACCESSIBLE UPGRADES TO UNITS #17 AND #18 AS SHOWN ON SHEETS A2.10 AND A6.01. BASE BID FOR THESE UNITS IS SIMILAR TO ALL OTHER UNITS INCLUDING NEW KITCHEN EXHAUST VENTING, NEW TUB SURROUNDS, NEW WINDOWS AND SLIDING DOORS, SEE PLANS.
- ③ REVERSE SWING OF DOOR TO OPEN TO EXTERIOR.
- ④ RESTROOM: FURR WALL TO ENSURE 1'-6" DIMENSION OF TOILET CENTERLINE TO FINISH WALL. REVERSE SWING OF DOOR. PROVIDE NEW MIRROR AT ACCESSIBLE HEIGHT. PROVIDE NEW SINK WITHOUT INTEGRAL BACKSPLASH. RELOCATE REAR GRAB BAR AND ADD VERTICAL GRAB BAR. RELOCATE LEVER TOILET SEAT COVER DISPENSER TO ACCESSIBLE HEIGHT.
- ⑤ COMPUTER ROOM: RELOCATE SIGNAGE ON DOOR TO 60" AFF OR LOWER. PROVIDE LEVER HANDLE AT DOOR. PROVIDE 48" HIGH CABINETRY.
- ⑥ LAUNDRY ROOM: REMOVE EXISTING LAUNDRY SINK AND PROVIDE NEW ACCESSIBLE SINK.
- ⑦ LAUNDRY ROOM VENTS
- ⑧ VENT, CONTRACTOR TO VERIFY FUNCTION
- ⑨ ELECTRICAL PANELS, CONTRACTOR TO VERIFY FUNCTION
- ⑩ NEW SPACED COMPOSITE DECKING
- ⑪ EXISTING NON-ACCESSIBLE BUILDING STORAGE AREA TO REMAIN.
- ⑫ EXISTING DOOR TO BE RE-INSTALLED, TYP.
- ⑬ TYPICAL EXTERIOR WALL LOCATION WITH RAINSCREEN, SEE 1/A5.00.
- ⑭ TYPICAL EXTERIOR WALL LOCATION WITH NO RAINSCREEN, SEE 3/A5.00.

### LEGEND

	EXISTING INTERIOR WALL TO REMAIN
	NEW INTERIOR WALL
	(E) DOWNSPOUT
	(E) LOCAL FIRE ALARM BELL
	(E) WALL-MOUNTED LIGHT
	ELECTRIC METER
	(E) HOSE BIB
	DOOR TYPE; SEE SHEET A9.01, DOOR SCHEDULE
	WINDOW TYPE; SEE SHEET A9.01, WINDOW SCHEDULE
	LOCAL FIRE ALARM PULL
	(E) FIRE EXTINGUISHER CABINET



1 ENLARGED PARTIAL PLAN - PROPOSED - BID ALTERNATE #1  
SCALE: 1/4" = 1'-0"



2 ENLARGED PARTIAL PLAN - DEMOLITION - BID ALTERNATE #1  
SCALE: 1/4" = 1'-0"

LEGEND	
EXISTING INTERIOR WALL TO REMAIN	
EXISTING INTERIOR WALL TO DEMOLISH	
NEW INTERIOR WALL	
WINDOW TYPE; SEE SHEET A8.1, WINDOW SCHEDULE	
DOOR TYPE; SEE SHEET A8.1, DOOR SCHEDULE	

GENERAL NOTES - ACCESSIBLE UNITS	
1. ALL EXISTING CONDITIONS AND DIMENSIONS TO BE FIELD VERIFIED. NOTIFY ARCHITECT OF ANY DISCREPANCIES.	
2. FOR EXTERIOR WORK, SEE EXTERIOR ELEVATIONS.	
3. FOR ITEMS TO BE REPLACED IN ACCESSIBLE AND NON-ACCESSIBLE UNITS, SEE BUILDING PLANS.	
4. PAINT WALLS AND CEILINGS THROUGHOUT UNIT.	
5. REMOVE AND REPLACE ALL BATHROOM AND KITCHEN FIXTURES, CASEWORK AND FINISHES. RELOCATE PLUMBING, MECHANICAL, AND ELECTRICAL AS NECESSARY FOR RECONFIGURED SPACES.	
6. PROVIDE NEW BATH ACCESSORIES, INCLUDING GRAB BARS. PROVIDE BLOCKING AS REQUIRED.	
7. EXISTING SMOKE DETECTORS TO REMAIN. RELOCATE AS REQUIRED.	
8. RELOCATE THERMOSTATS, BREAKER PANELS AND OUTLETS TO MEET 15" LOW / 48" HIGH ACCESSIBLE REACH RANGES.	
9. PROVIDE ACCESSIBLE THRESHOLD AT ENTRY.	
10. COUNTERS AT KITCHEN TO BE 24" DEEP MAX.	
11. PROVIDE NEW WINDOW COVERINGS IN ACCESSIBLE UNITS PER SPEC.	

KEY NOTES - ACCESSIBLE UNITS	
① REMOVE EXISTING ROD AND SHELF. SALVAGE FOR REINSTALLATION.	
② REMOVE EXISTING INTERIOR DOOR AND FRAME. REPLACE AS NECESSARY AND PROVIDE NEW STAINED WOOD DOORS AND FRAMES. MATCH COLOR TO EXISTING DOORS AND FRAMES IN UNIT.	
③ NEW SINGLE-FLUSH 1.28 GPF TOILET, ACCESSIBLE HEIGHT. INSTAL AT 18" CL TO WALL.	
④ NEW FIBERGLASS TUB/SHOWER WITH GRAB BARS. NEW ACCESSIBLE SHOWERHEAD. MAX 1.75 GPM FLOW RATE.	
⑤ NEW ACCESSIBLE VANITY. INSTALL NEW FAUCET WITH LEVER HANDLE AND MAX 0.5 GPM FLOW RATE.	
⑥ NEW VANITY LIGHT.	
⑦ NEW KITCHEN SINK. NEW FAUCET WITH LEVER HANDLE AND MAX 2.0 GPM FLOW RATE.	
⑧ NEW CABINETS. NEW POST-FORMED PLAM COUNTERTOP WITH INTEGRAL BACKSPLASH.	
⑨ NEW DROP-IN ACCESSIBLE RANGE WITH FRONT CONTROLS AND SELF-CLEANING OVEN. NEW RANGE HOOD AND PROVIDE NEW SOFFIT TO VENT TO EXTERIOR.	
⑩ NEW ACCESSIBLE REFRIGERATOR.	
⑪ REMOVE EXISTING WATER HEATER. SALVAGE FOR REINSTALLATION IN NEW CABINETRY. PROVIDE EARTHQUAKE STRAPPING AND DRAIN PAN.	
⑫ LOWER WINDOW TO ALLOW FOR MAX 4'-0" REACH TO WINDOWS OPERABLE PARTS.	
⑬ RELOCATE EXISTING ROD AND SHELF TO 54" AFF.	
⑭ NEW ROD AND SHELF TO 54" AFF.	
⑮ STAINED WOOD BI-FOLD CLOSET DOOR. MATCH COLOR TO EXISTING DOORS IN UNIT.	
⑯ NEW FIBERGLASS EXTERIOR DOOR. SEE BUILDING PLANS.	
⑰ NEW FIBERGLASS EXTERIOR DOOR. SEE BUILDING PLANS FOR DOOR TAGS.	
⑱ FULL HEIGHT CABINET. SEE 10/A7.01	
⑲ (N) WALL LOCATION MAY REQUIRE (N) STRUCTURAL BEAM, CONSULT WITH ARCHITECT AT START OF DEMOLITION.	
⑳ FURR WALL TO ENSURE 1'-6" DIMENSION OF TOILET CENTERLINE TO FINISH WALL. SEE A2.01 FOR OTHER NOTES PERTAINING TO THIS AREA.	
㉑ (E) INTERIOR DOOR TO REMAIN, TYP.	
㉒ PROVIDE NEW LOCKSET AT REVERSED BATHROOM DOOR.	



REGISTERED ARCHITECT  
BRIAN D. CARLETON  
PORTLAND, OREGON  
2918  
STATE OF OREGON

CARLETON HART ARCHITECTURE  
322 NW 8TH AVENUE PORTLAND, OREGON 97209  
T 503 243 2252 | F 503 243 3261 | carletonhart.com

METZGER PARK APARTMENTS  
10025 & 10045 SW 85TH AVE  
TIGARD, OR 97223

BID SET

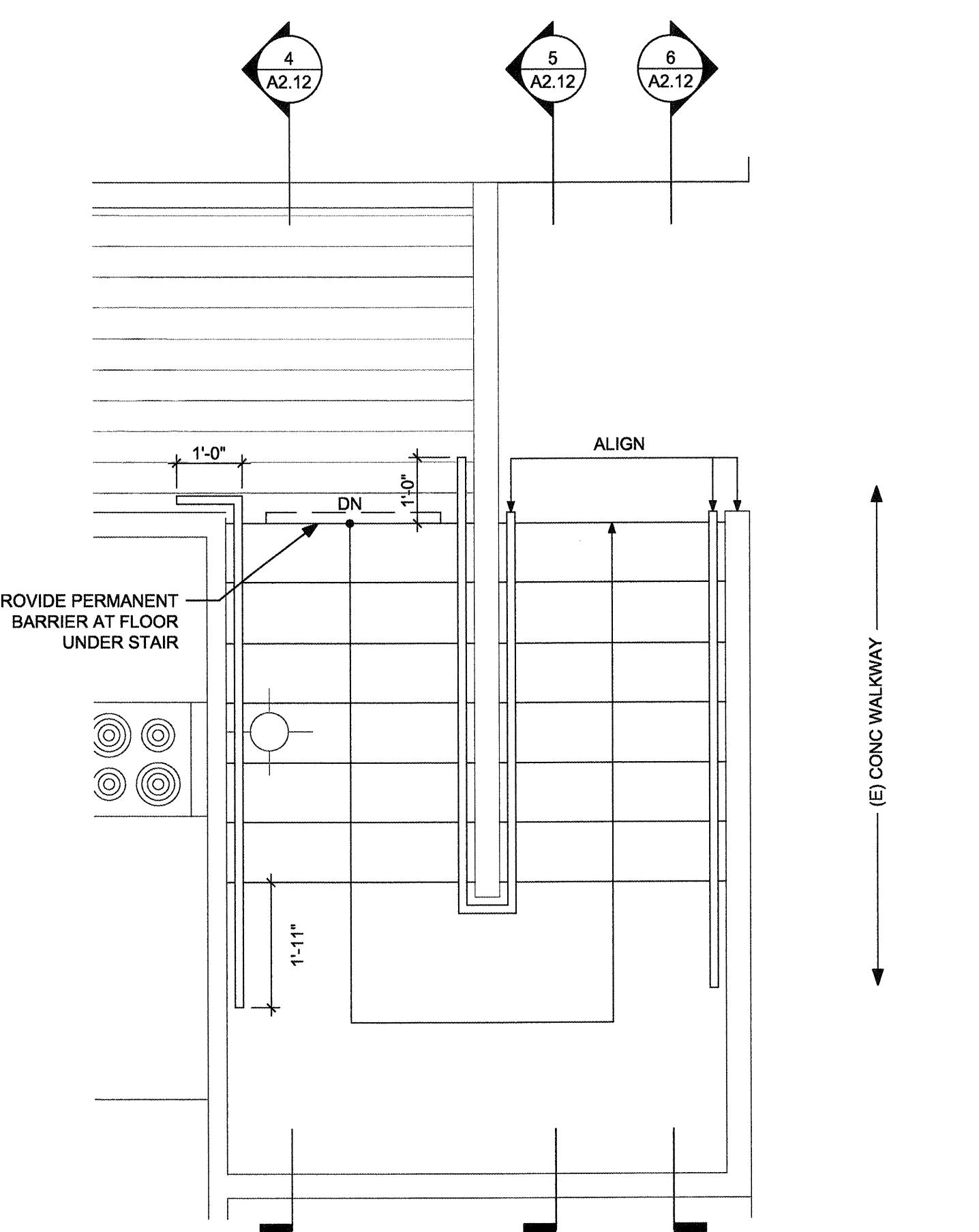
STAIR PLANS  
BUILDING B  
PROJ NO.  
21344  
10.22.14

A2.12

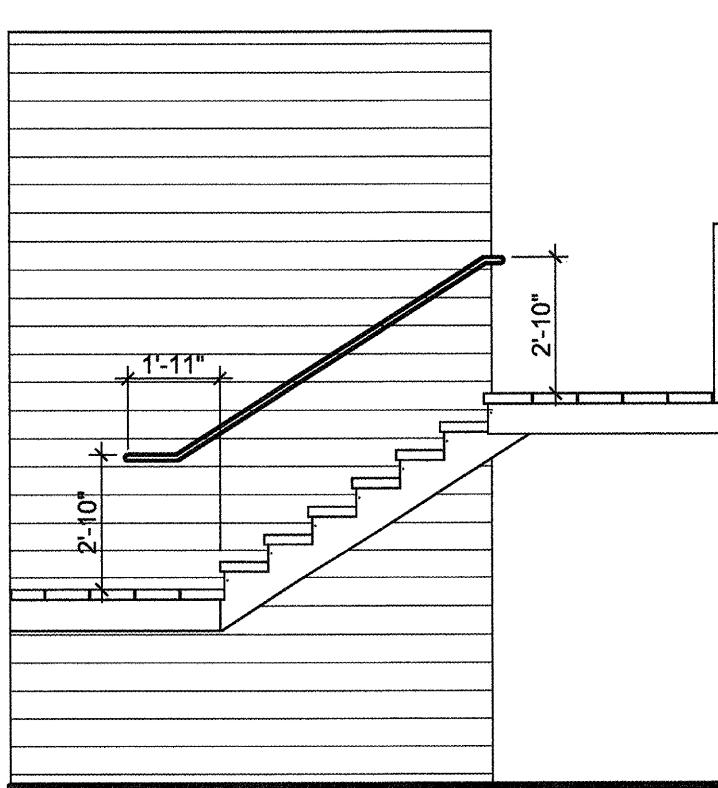
GENERAL NOTES	
A.	FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES
B.	ALL DIMENSIONS TO FINISH UNLESS OTHERWISE NOTED
C.	REPLACE ANY DAMAGED(E) TREADS WITH 3X WOOD TO MATCH (E) TREADS. PAINT TO MATCH (E).
D.	NOT ALL NOTES PERTAIN TO ALL SHEETS.

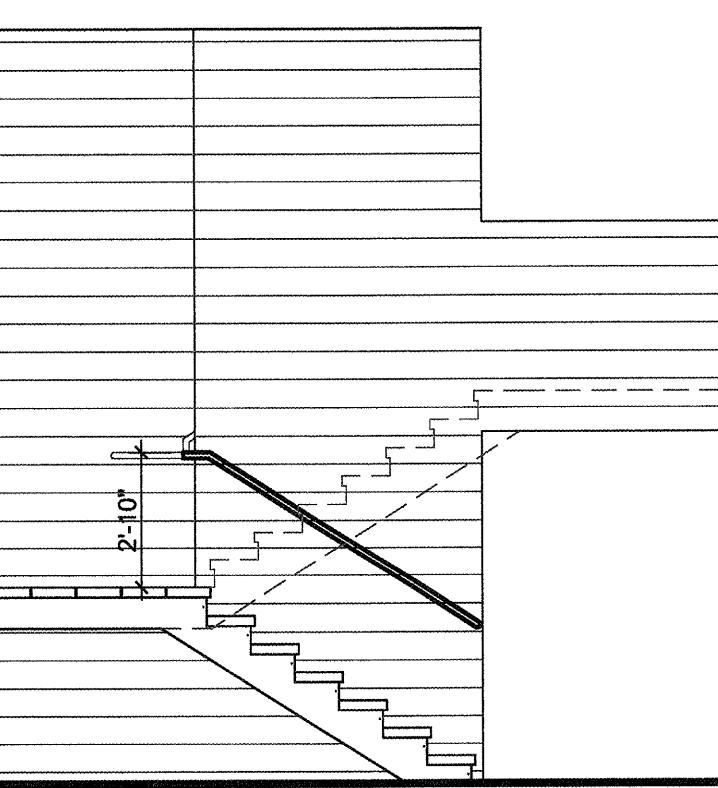
KEYNOTES	
①	HANDRAILS TO BE MOUNTED BETWEEN 30"-34"
②	INTERMEDIATE LANDING STRUCTURE TO REMAIN, TYP.
③	PROVIDE CANE DETECTION/BARRIER AT UNDER STAIR LOCATIONS ADJACENT TO WALKWAY, 27" HIGH, AT LOCATIONS WITH 80" AND LESS HEADROOM, TYP.
④	PROTECT AREA FROM PEDESTRIAN TRAFFIC, SEE KEYNOTE #3.



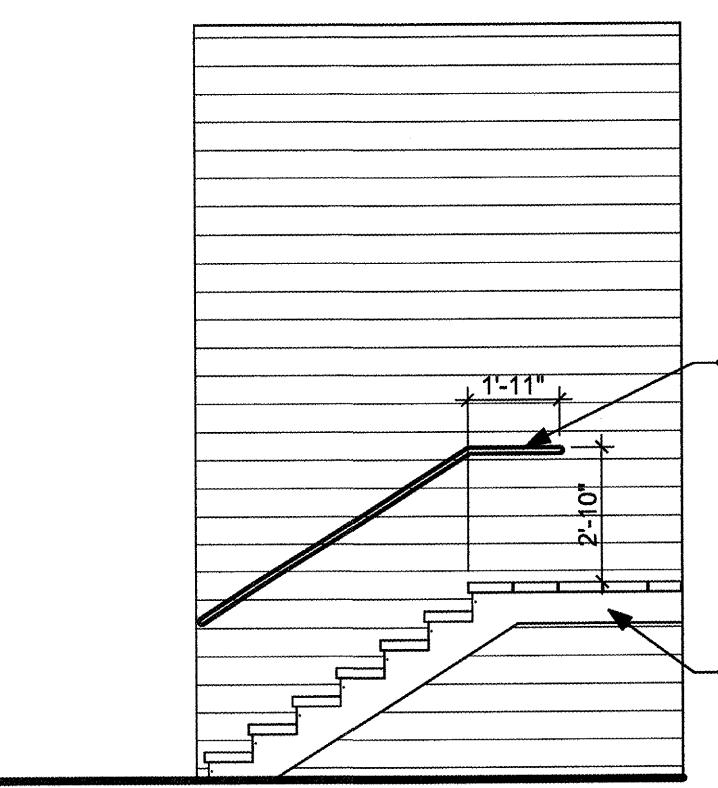
1 STAIR 04 - SECOND FLOOR  
SCALE: 1/2" = 1'-0"



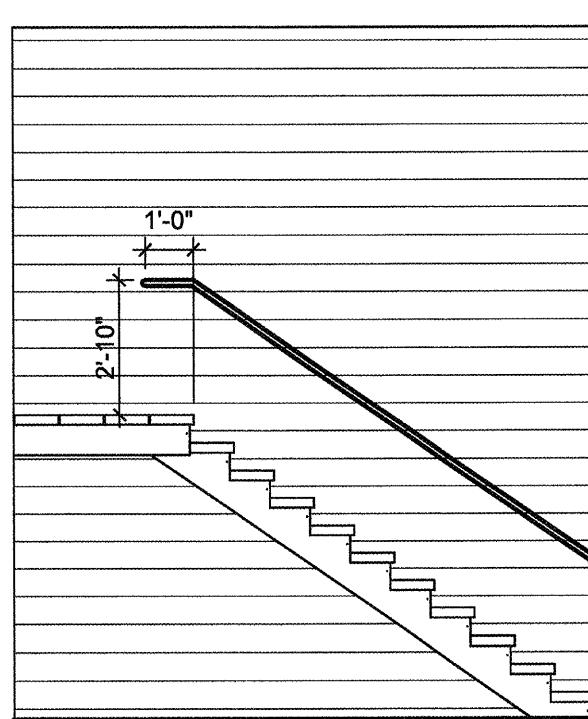
4 STAIR 04 - SECTION  
SCALE: 1/4" = 1'-0"



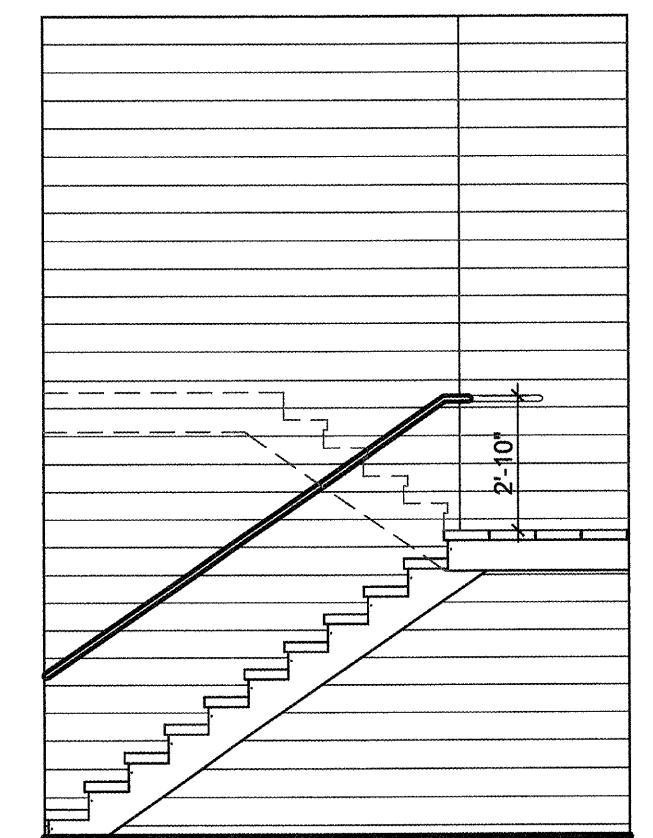
5 STAIR 04 - SECTION  
SCALE: 1/4" = 1'-0"



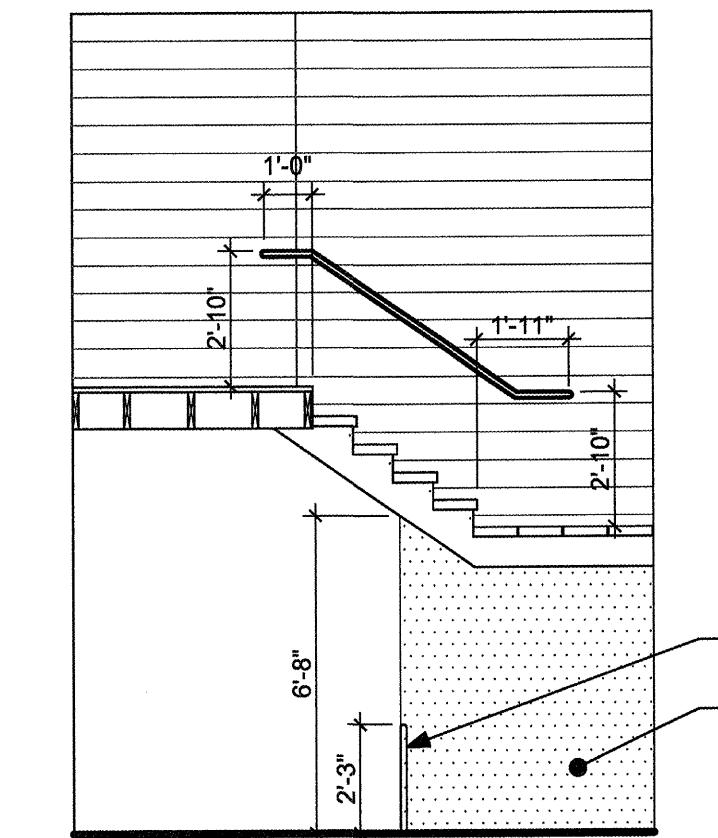
6 STAIR 04 - SECTION  
SCALE: 1/4" = 1'-0"



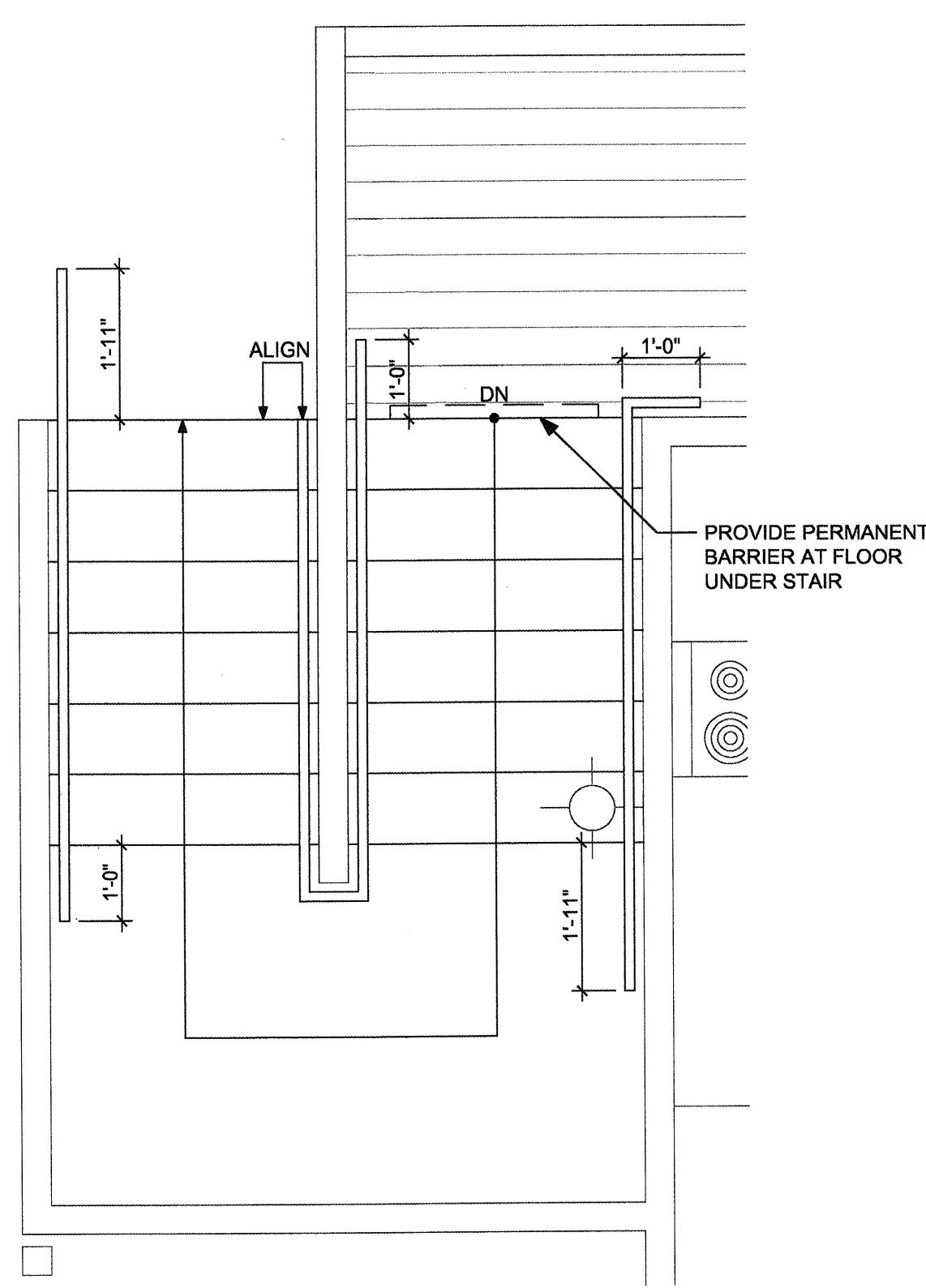
7 STAIR 05 - SECTION  
SCALE: 1/4" = 1'-0"



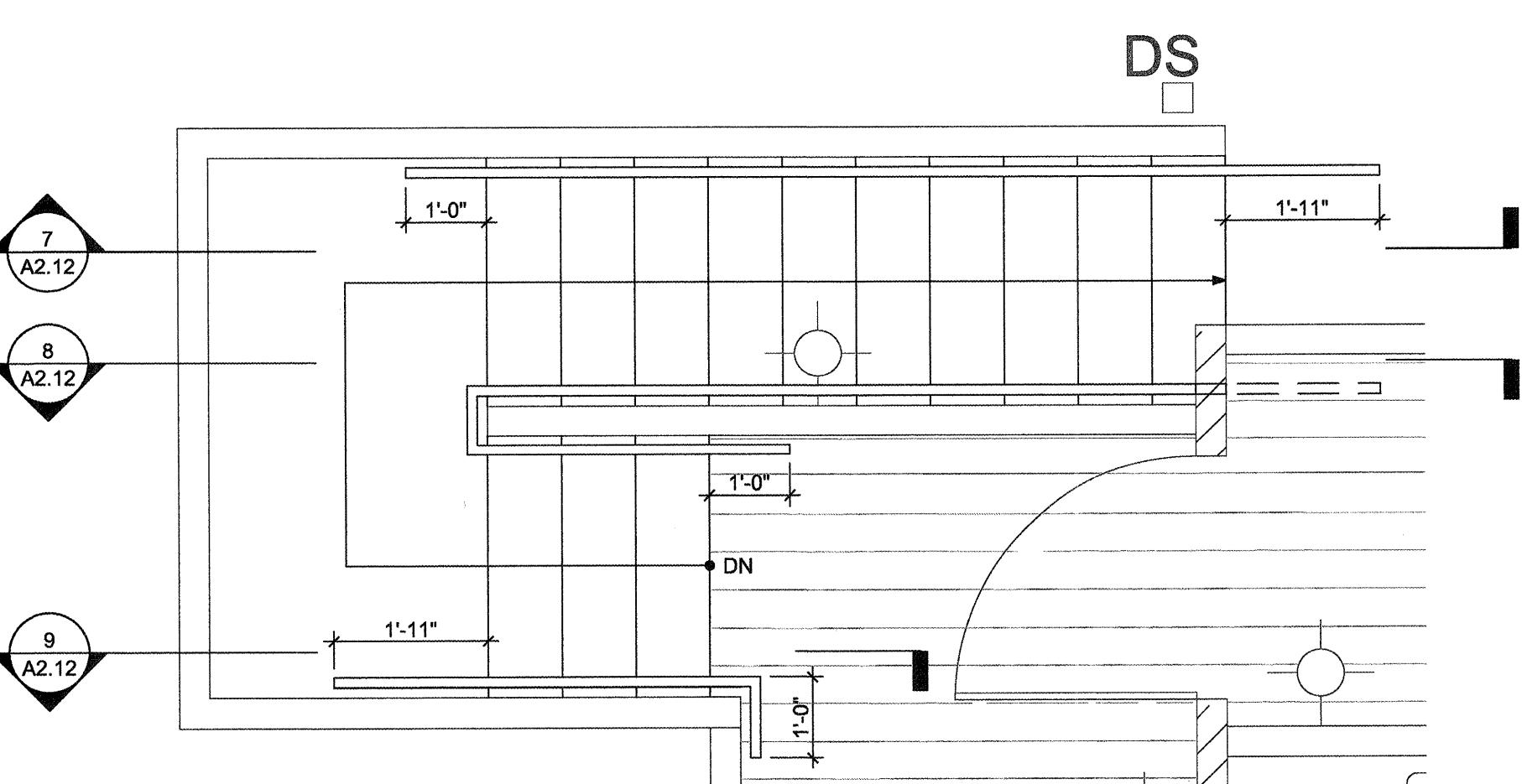
8 STAIR 05 - SECTION  
SCALE: 1/4" = 1'-0"



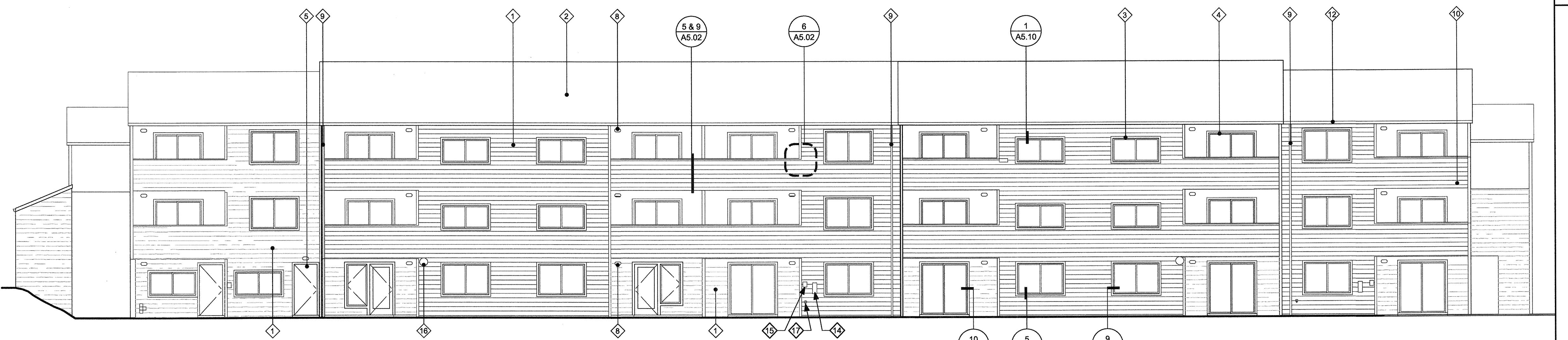
9 STAIR 05 - SECTION  
SCALE: 1/4" = 1'-0"



2 STAIR 06 - SECOND FLOOR  
SCALE: 1/2" = 1'-0"

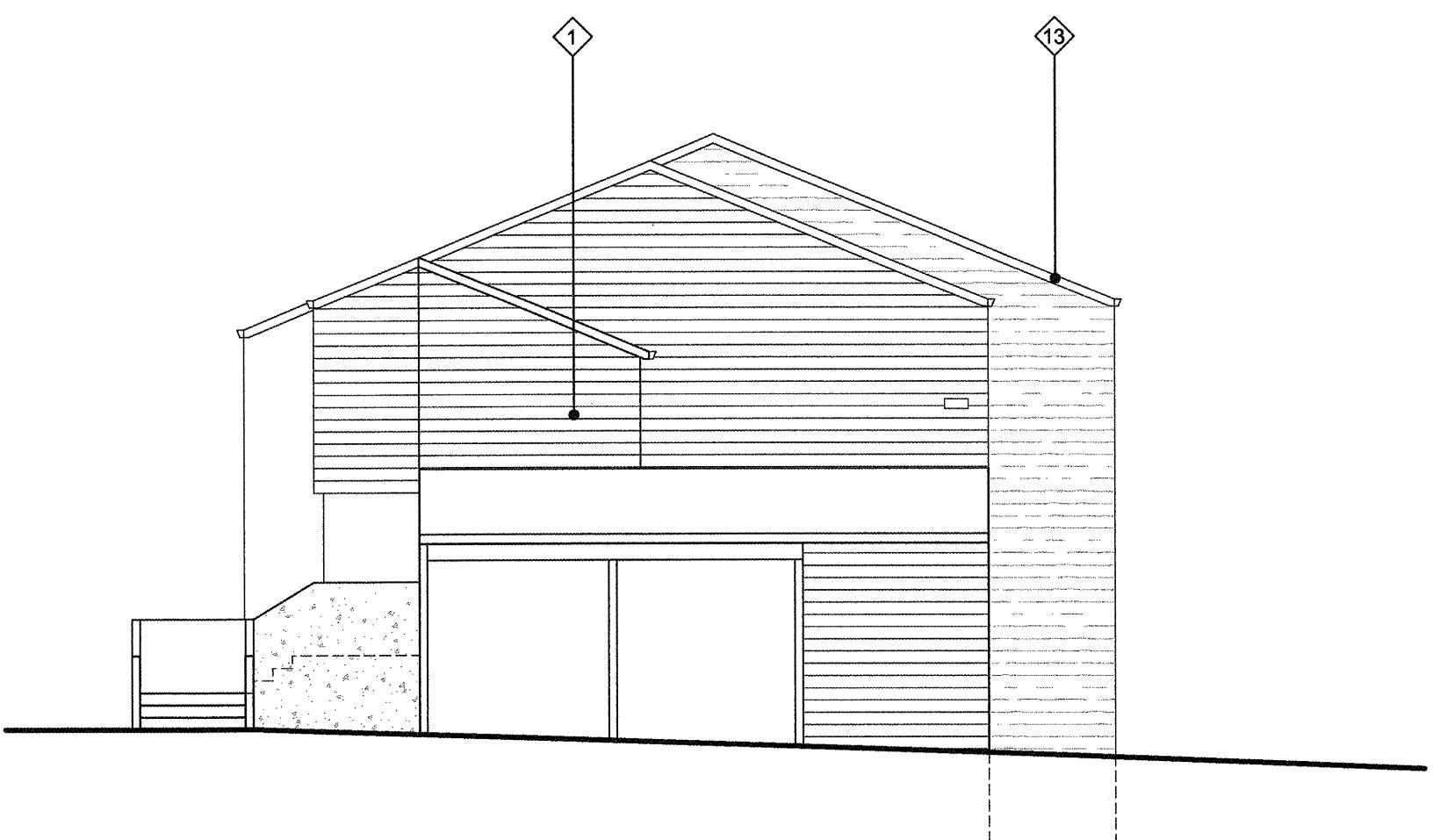


3 STAIR 05 - SECOND FLOOR  
SCALE: 1/2" = 1'-0"



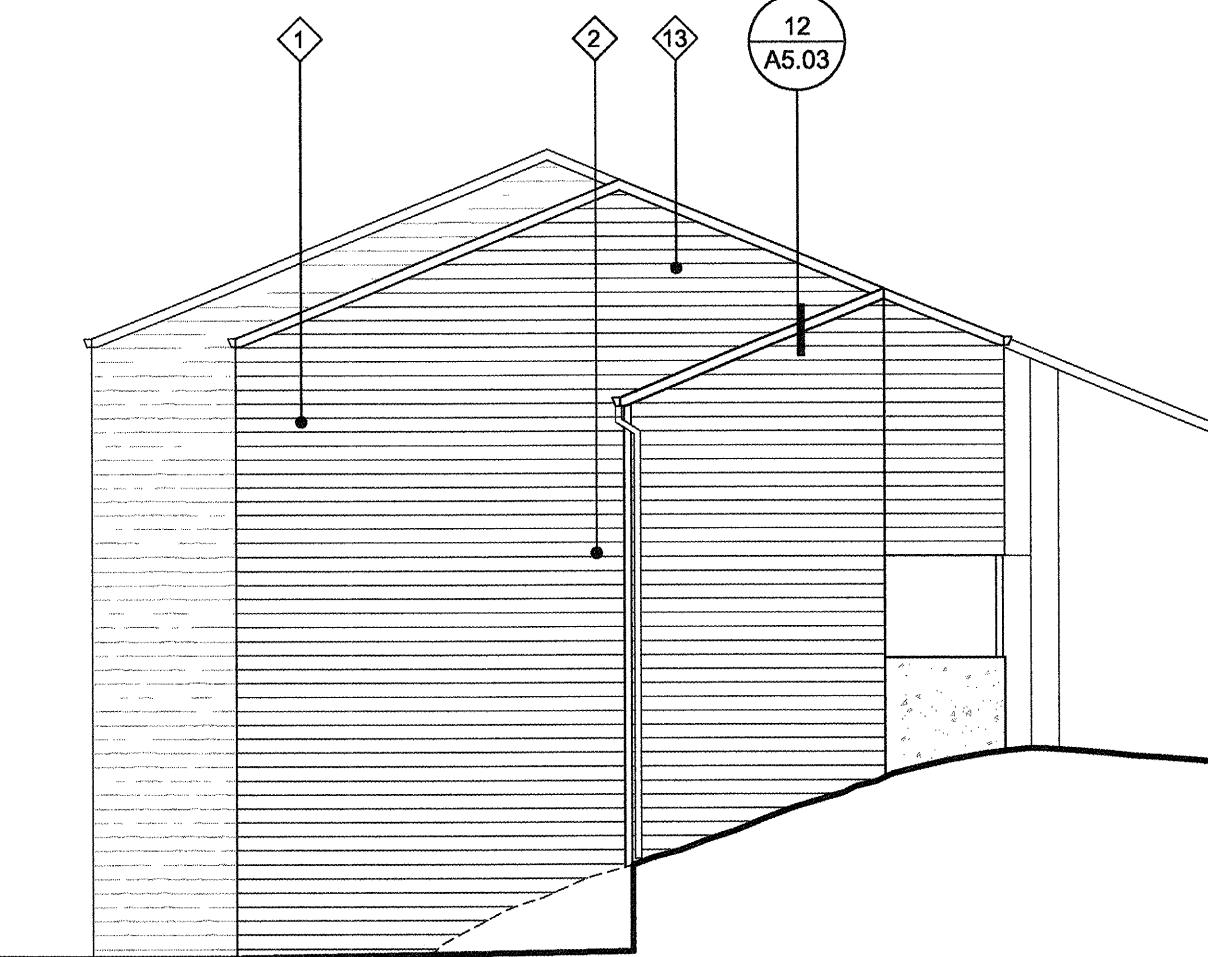
1 BUILDING A - WEST ELEVATION

SCALE: 1/8" = 1'-0"



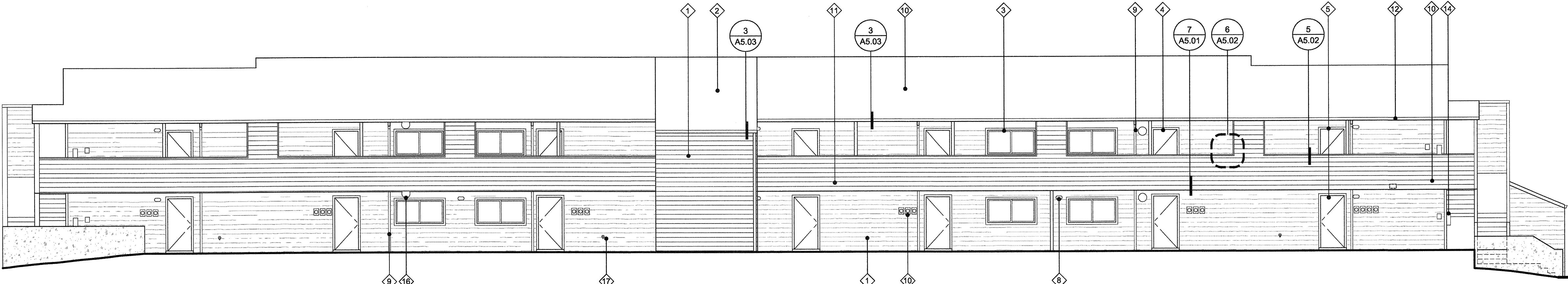
2 BUILDING A - NORTH ELEVATION

SCALE: 1/8" = 1'-0"



3 BUILDING A - SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



4 BUILDING A - EAST ELEVATION

SCALE: 1/8" = 1'-0"

#### GENERAL NOTES

1. PROVIDE CLOSED RISERS AT ALL EXTERIOR STAIRS. ADD WALL-MOUNTED STEEL HANDRAIL AT STAIRWAY LOCATIONS WITH ONLY ONE EXISTING HANDRAIL. PROVIDE CANE DETECTION AT WALKWAYS UNDER STAIRWAYS. SELECTIVELY REPLACE TREADS (20) AND LANDINGS (2) WITH NEW TO MATCH EXISTING.
2. PROVIDE NEW UNIT SIGNAGE AT ALL UNIT ENTRIES
3. FENCES NOT SHOWN FOR CLARITY
4. PROVIDE NEW ROOF EXHAUST CAP & FLASHINGS AT MIS-ROUTED KITCHEN EXHAUSTS WHERE OCCURS

#### KEY NOTES

- ① REMOVE EXISTING SIDING AND WRB. REPLACE EXISTING DAMAGED GYPSUM SHEATHING, BATT INSULATION, AND FRAMING MEMBERS AS REQUIRED. PROVIDE NEW WRB/AB, PLYWOOD FURRING STRIPS, PRE-FINISHED CEMENTITIOUS LAP SIDING AND FLASHINGS, TYP.
- ② EXISTING ROOFING TO REMAIN.
- ③ REMOVE AND REPLACE ALL EXISTING WINDOWS WITH NEW VINYL WINDOWS, TYP.
- ④ REMOVE AND REPLACE ALL EXISTING SLIDING DOORS AT NON-ACCESSIBLE UNITS WITH NEW SLIDING VINYL DOORS, TYP. AT ACCESSIBLE UNITS, REPLACE SLIDING VINYL DOOR WITH FIBERGLASS SWING DOOR AND SIDELIGHT.
- ⑤ REMOVE AND REPLACE ALL EXTERIOR SWING DOORS WITH NEW FIBERGLASS DOORS, TYP.
- ⑥ PROVIDE DUCTED RANGE HOODS VENTED TO EXTERIOR THROUGH NEW SOFFIT IN LIEU OF RECIRCULATING AT ALL GROUND FLOOR UNITS, TYP. (LOWER TWO FLOORS AT BUILDING A.)
- ⑦ NOT USED
- ⑧ (E) LIGHT FIXTURE TO BE REINSTALLED IN (E) LOCATION, TYP.
- ⑨ PROVIDE NEW PRE-FINISHED GUTTERS AND DOWNSPOUTS, TYP.
- ⑩ ELECTRIC METER, TYP.
- ⑪ EXISTING EXTERIOR WALKWAY AND DECK STRUCTURE TO REMAIN. REMOVE EXISTING PLYWOOD DECKING AND PROVIDE NEW TREX SPACED DECKING, TYP.
- ⑫ OVERLAY EXISTING FASCIA W/ PRE-FINISHED FIBER-CEMENT TRIM, TYP.
- ⑬ MODIFY RAKE TO COORDINATE WITH DEPTH OF NEW SIDING, TYP.
- ⑭ FIRE EQUIPMENT CABINET, TYP. SEE 3/A5.03
- ⑮ FIRE ALARM PULL, TYP. SEE 6/A5.03 SIM.
- ⑯ FIRE ALARM BELL (LOCAL), TYP. SEE 6/A5.03 SIM.
- ⑰ HOSE BIB, TYP. SEE 7/A5.03

BUILDING A #10045  
EXTERIOR ELEVATIONS

PROJ NO.  
21344

10.22.14

#### GENERAL NOTES

1. PROVIDE CLOSED RISERS AT ALL EXTERIOR STAIRS. ADD WALL-MOUNTED STEEL HANDRAIL AT STAIRWAY LOCATIONS WITH ONLY ONE EXISTING HANDRAIL. PROVIDE CANE DETECTION AT WALKWAYS UNDER STAIRWAYS. SELECTIVELY REPLACE TREADS (20) AND LANDINGS (2) WITH NEW TO MATCH EXISTING.
2. PROVIDE NEW UNIT SIGNAGE AT ALL UNIT ENTRIES
3. FENCES NOT SHOWN FOR CLARITY
4. PROVIDE NEW ROOF EXHAUST CAP & FLASHINGS AT MIS-ROUTED KITCHEN EXHAUSTS WHERE OCCURS

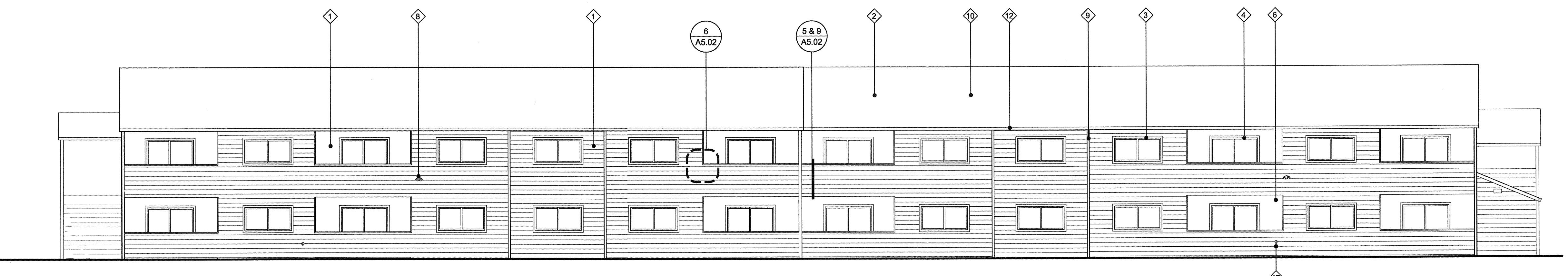
#### KEY NOTES

- ① REMOVE EXISTING SIDING AND WRB. REPLACE EXISTING DAMAGED GYPSUM SHEATHING, BATT INSULATION, AND FRAMING MEMBERS AS REQUIRED. PROVIDE NEW WRB/AB, PLYWOOD FURRING STRIPS, PRE-FINISHED CEMENTITIOUS LAP SIDING AND FLASHINGS, TYP.
- ② EXISTING ROOFING TO REMAIN.
- ③ REMOVE AND REPLACE ALL EXISTING WINDOWS WITH NEW VINYL WINDOWS, TYP.
- ④ REMOVE AND REPLACE ALL EXISTING SLIDING DOORS AT NON-ACCESSIBLE UNITS WITH NEW SLIDING VINYL DOORS, TYP. AT ACCESSIBLE UNITS, REPLACE SLIDING VINYL DOOR WITH FIBERGLASS SWING DOOR AND SIDELIGHT.
- ⑤ REMOVE AND REPLACE ALL EXTERIOR SWING DOORS WITH NEW FIBERGLASS DOORS, TYP.
- ⑥ PROVIDE DUCTED RANGE HOODS VENTED TO EXTERIOR THROUGH NEW SOFFIT IN LIEU OF RECIRCULATING AT ALL GROUND FLOOR UNITS, TYP. (LOWER TWO FLOORS AT BUILDING A.)
- ⑦ NOT USED
- ⑧ (E) LIGHT FIXTURE TO BE REINSTALLED IN (E) LOCATION, TYP.
- ⑨ PROVIDE NEW PRE-FINISHED GUTTERS AND DOWNSPOUTS, TYP.
- ⑩ ELECTRIC METER, TYP
- ⑪ EXISTING EXTERIOR WALKWAY AND DECK STRUCTURE TO REMAIN. REMOVE EXISTING PLYWOOD DECKING AND PROVIDE NEW TREX SPACED DECKING, TYP.
- ⑫ OVERLAY EXISTING FASCIA W/ PRE-FINISHED FIBER-CEMENT TRIM, TYP.
- ⑬ MODIFY RAKE TO COORDINATE WITH DEPTH OF NEW SIDING, TYP.
- ⑭ FIRE EQUIPMENT CABINET, TYP. SEE 3/A5.03
- ⑮ FIRE ALARM PULL, TYP. SEE 6/A5.03 SIM.
- ⑯ FIRE ALARM BELL (LOCAL), TYP. SEE 6/A5.03 SIM.
- ⑰ HOSE BIB, TYP. SEE 7/A5.03

BUILDING B #10025  
EXTERIOR ELEVATIONS

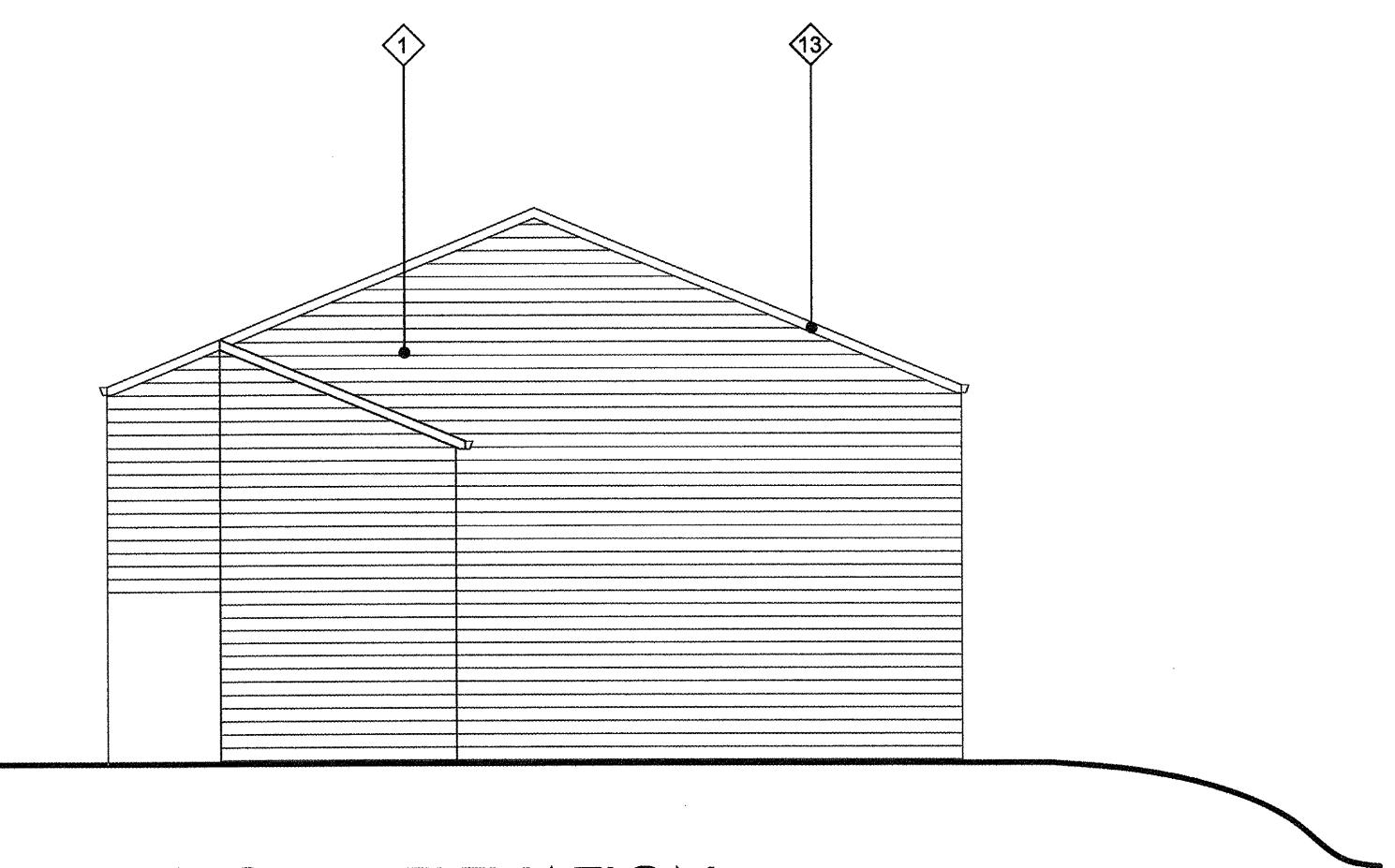
PROJ NO.  
21344

10.22.14



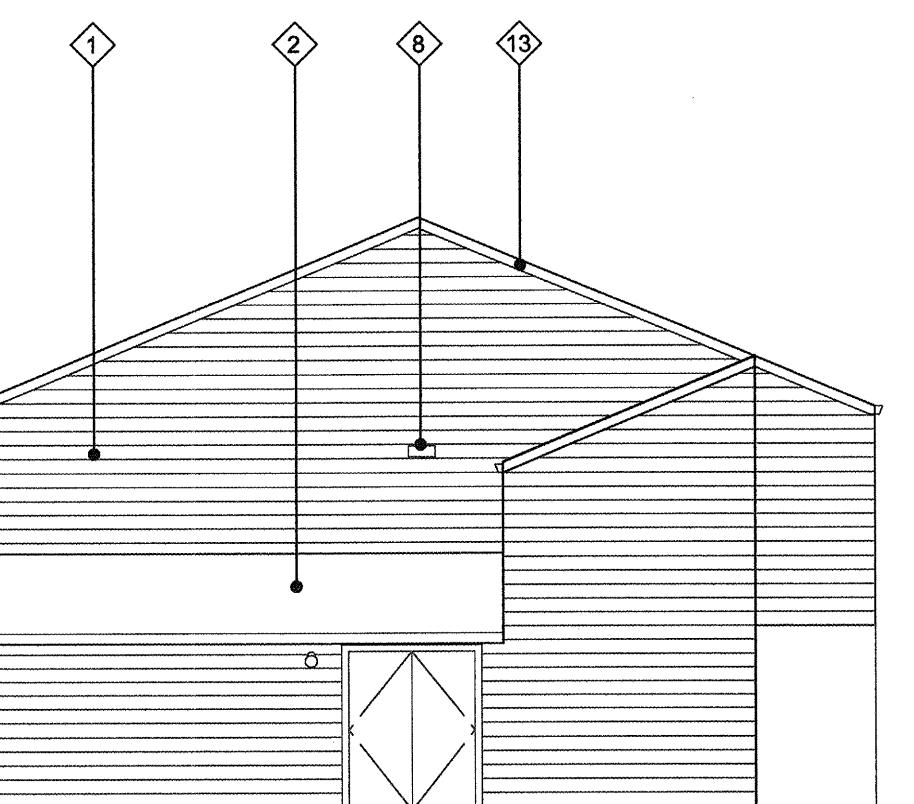
1 BUILDING B - WEST ELEVATION

SCALE: 1/8" = 1'-0"



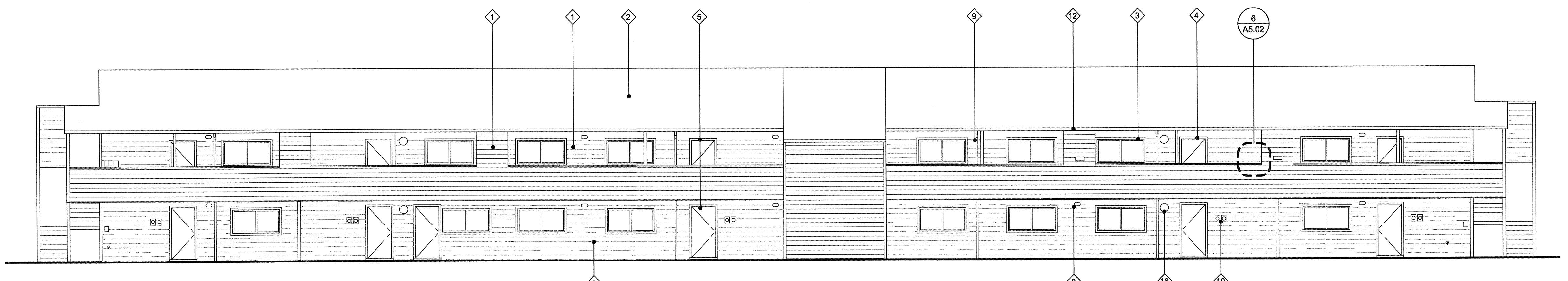
2 BUILDING B - NORTH ELEVATION

SCALE: 1/8" = 1'-0"



3 BUILDING B - SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



4 BUILDING B - EAST ELEVATION

SCALE: 1/8" = 1'-0"

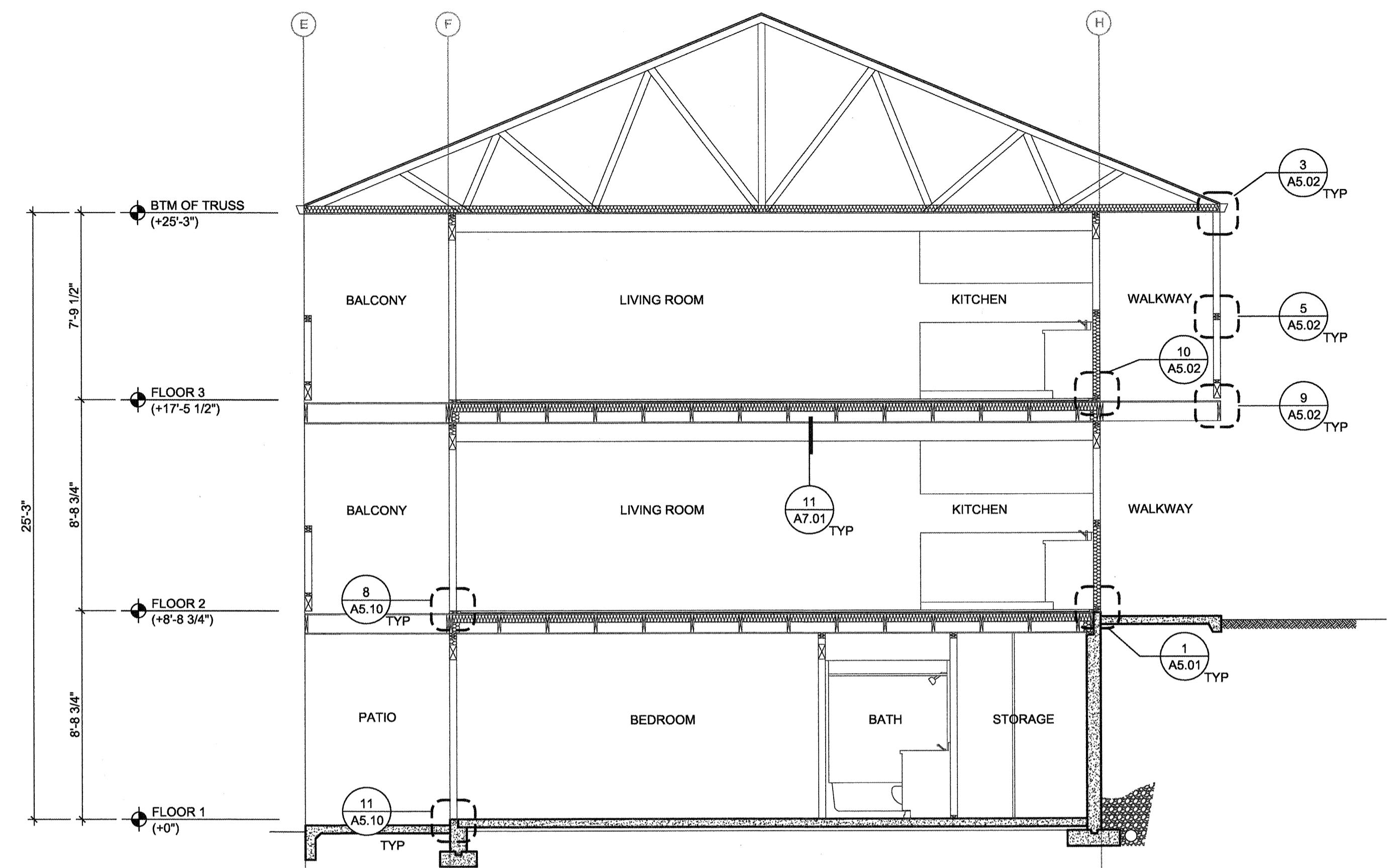
REGISTERED ARCHITECT  
BRIAN D. HARTZEN  
PORTLAND, OREGON  
2918  
STATE OF OREGON



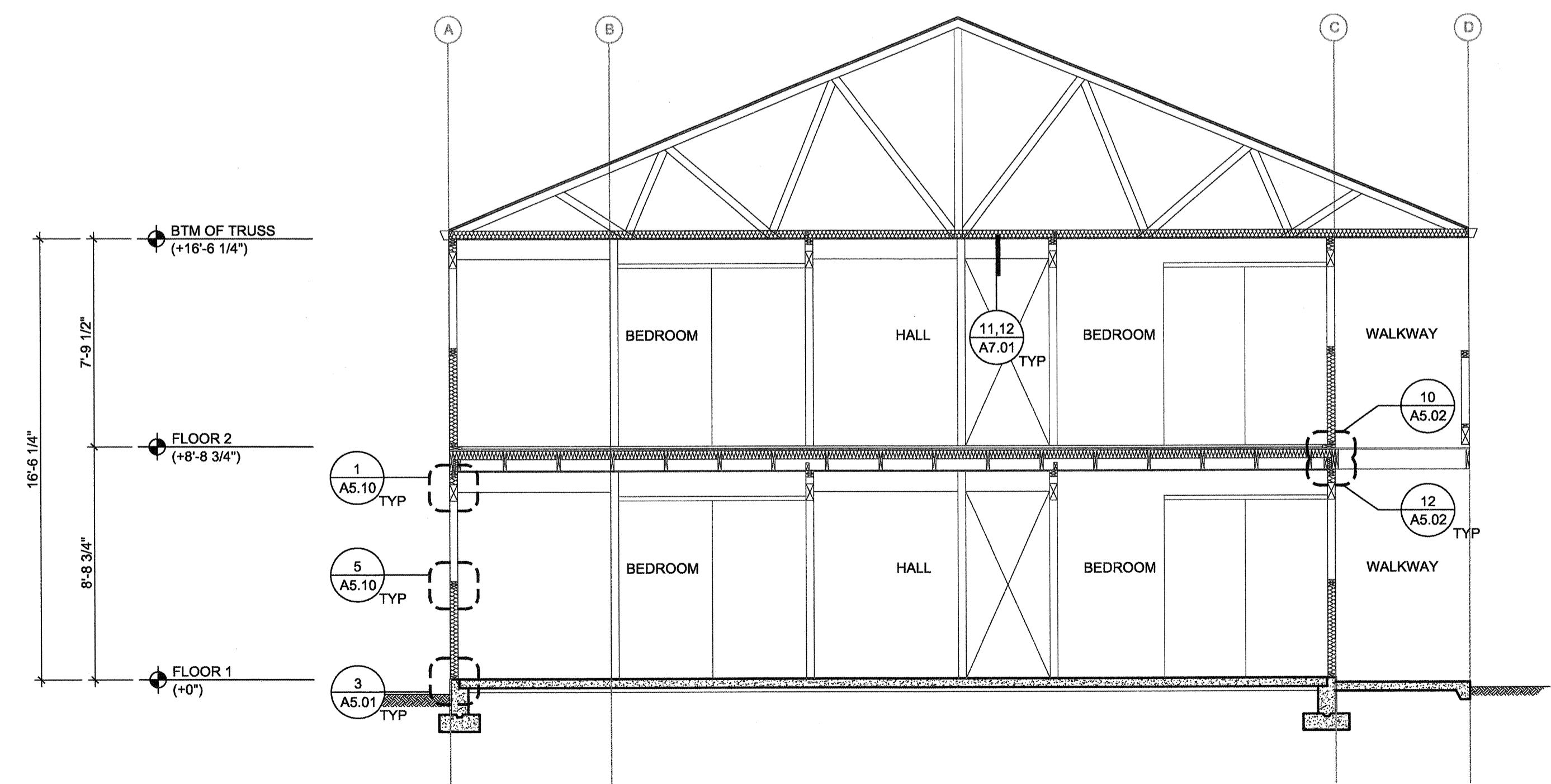
CARLETON HART ARCHITECTURE  
322 nw 8th avenue Portland, Oregon 97209  
+ 503 243 2262 | 1 503 243 3261 | carletonhart.com

BID SET

METZGER PARK APARTMENTS  
10025 & 10045 SW 85TH AVE  
TIGARD, OR 97223



1 BUILDING 'A' SECTION - LOOKING NORTH  
SCALE: 1/4" = 1'-0"



2 BUILDING 'B' SECTION - LOOKING NORTH  
SCALE: 1/4" = 1'-0"

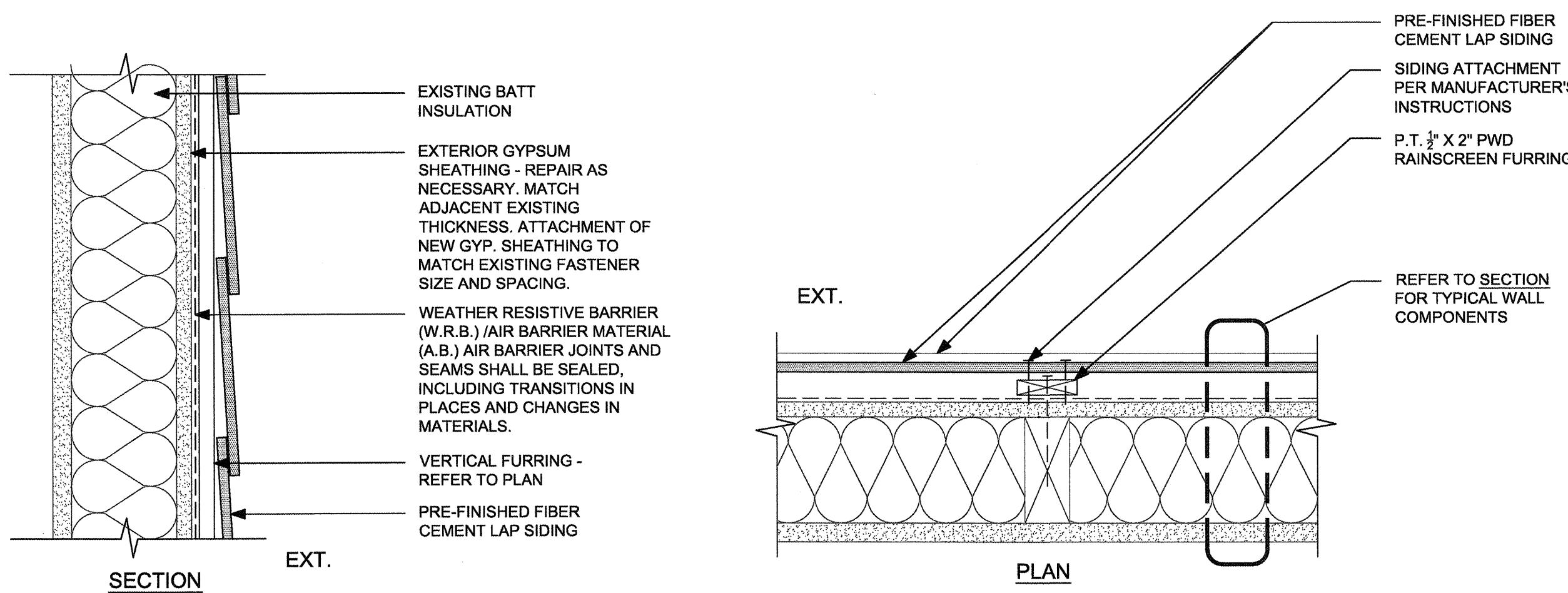
BUILDING SECTIONS -  
'A' & 'B'

PROJ NO.  
21344

10.22.14

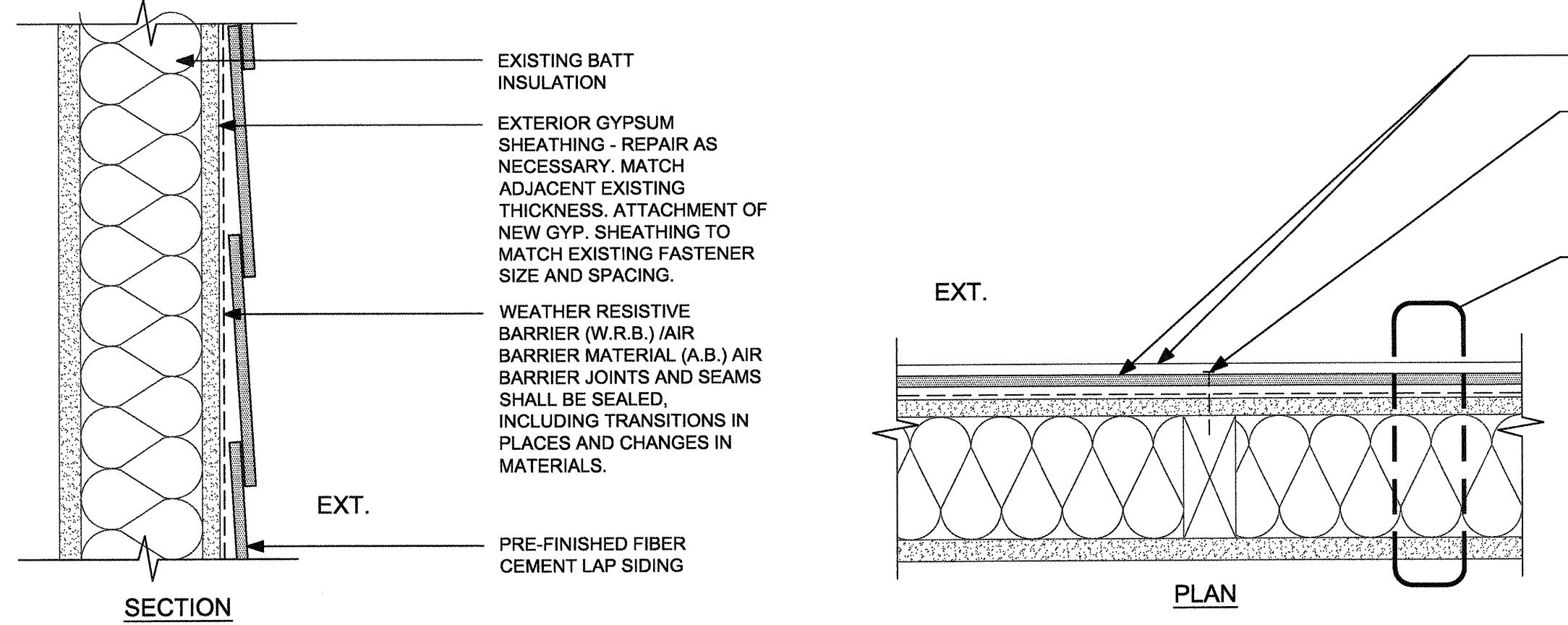
COPYRIGHT - CARLETON HART ARCHITECTURE DO NOT REPRODUCE WITHOUT PERMISSION

A4.01



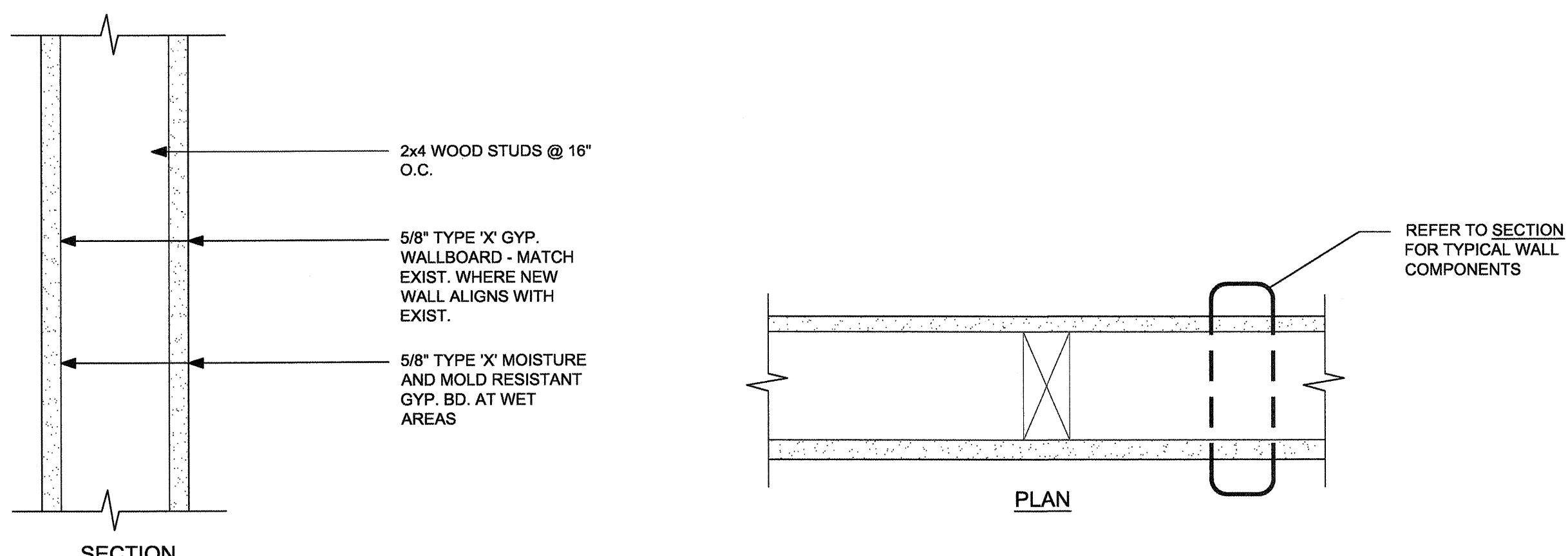
1 TYPICAL EXTERIOR WALL ASSEMBLY

SCALE: 3" = 1'-0"



3 TYPICAL EXTERIOR WALL ASSEMBLY AT COVERED LOCATIONS, SEE PLANS

SCALE: 3" = 1'-0"



5 TYP. NEW INTERIOR PARTITION - NOT RATED

SCALE: 1 1/2" = 1'-0"

METZGER PARK APARTMENTS  
10025 & 10045 SW 85TH AVE  
TIGARD, OR 97223

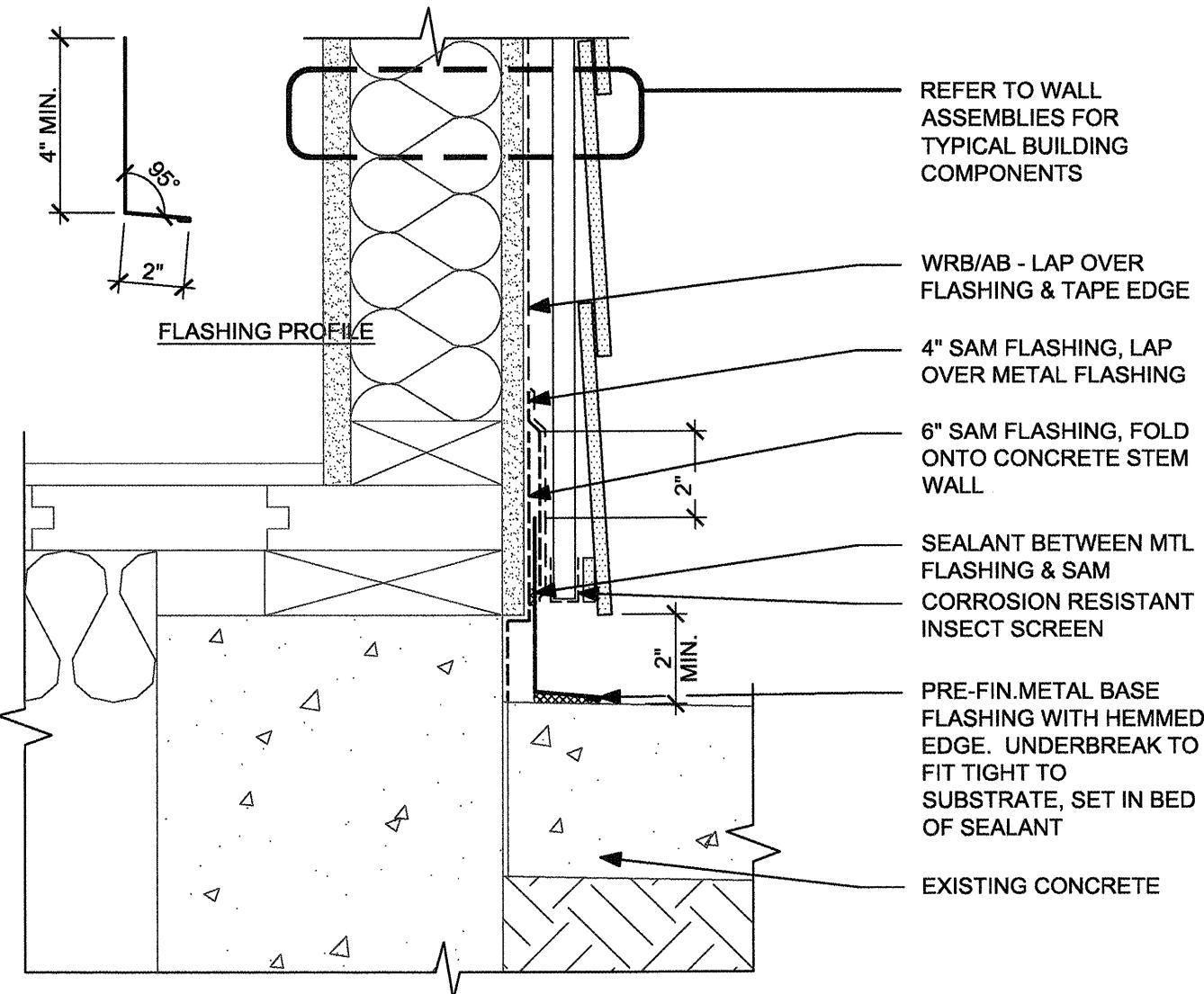
BID SET

EXTERIOR DETAILS  
WALL ASSEMBLY

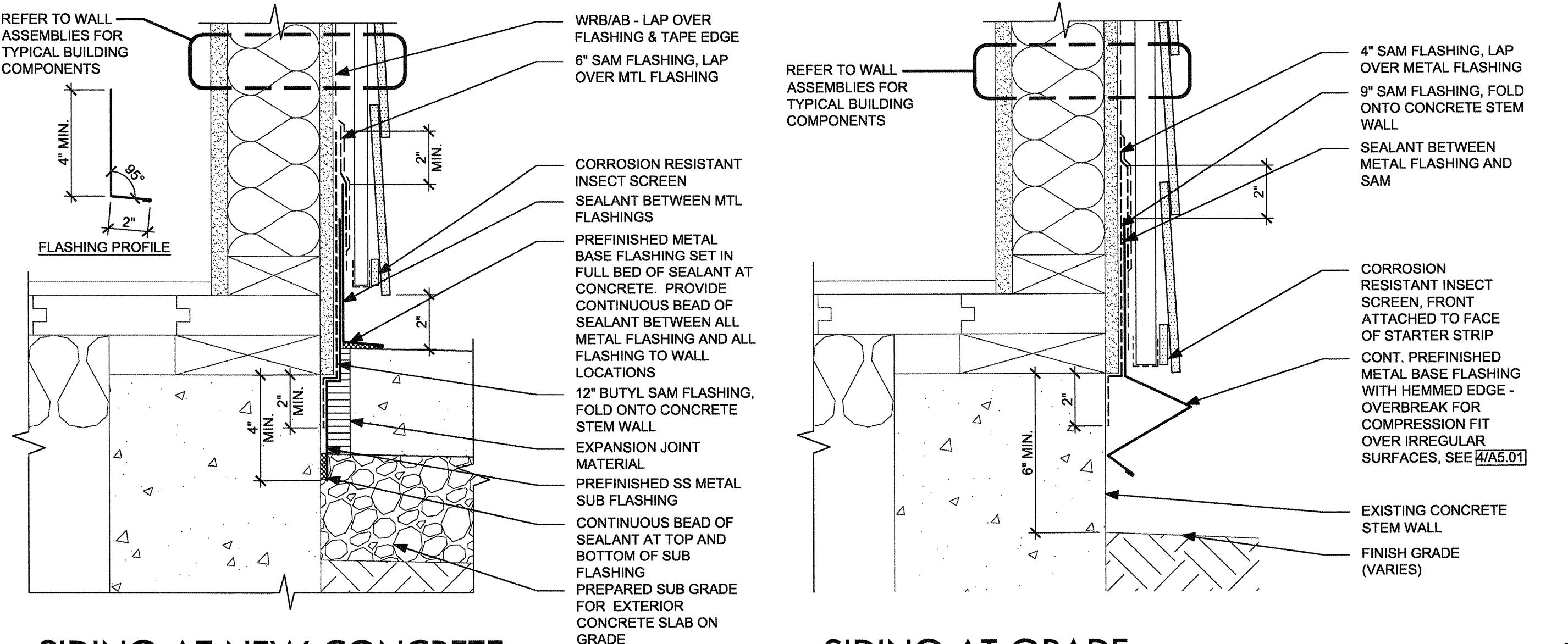
PROJ NO.  
21344

10.22.14

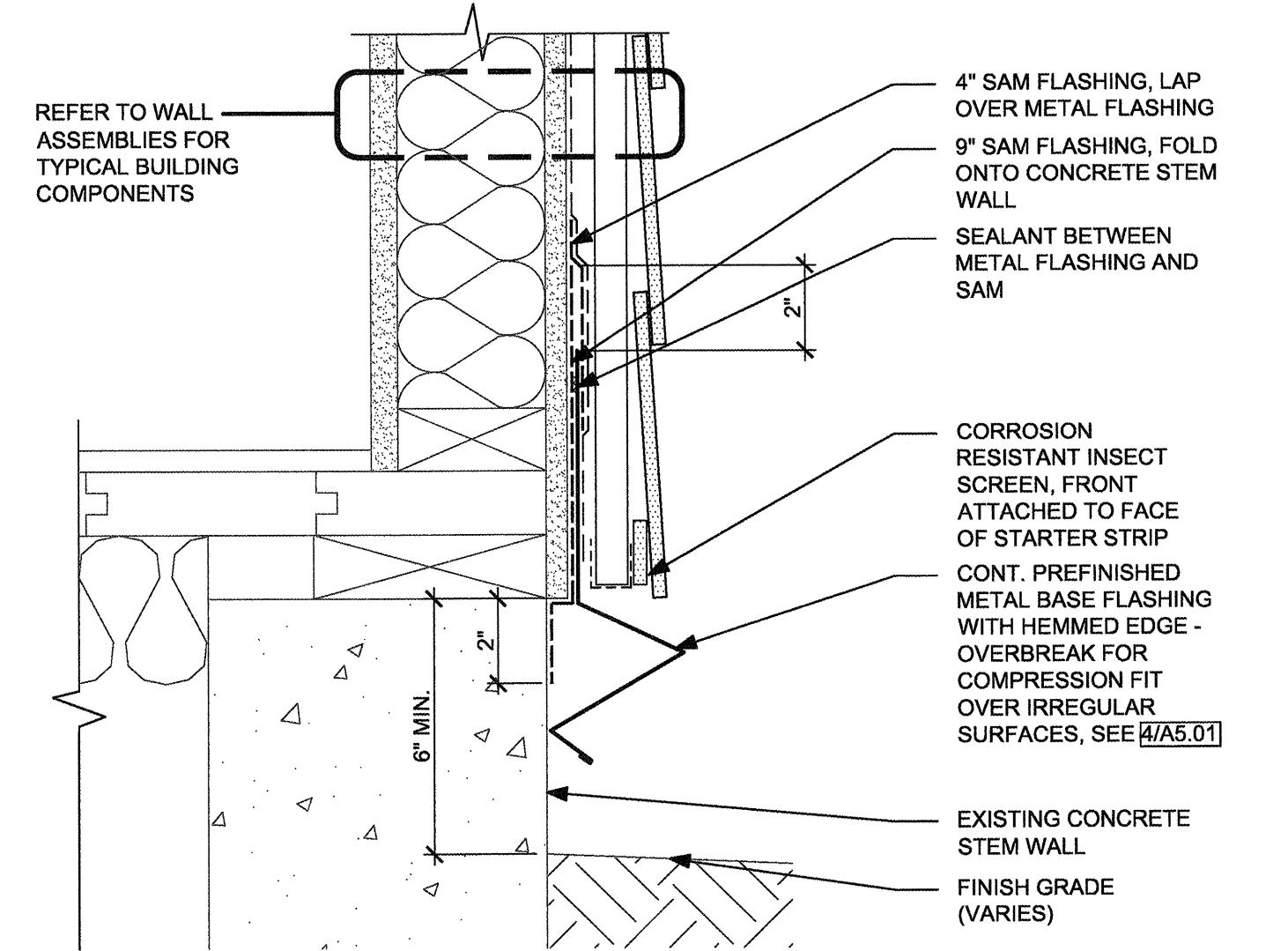
A5.00



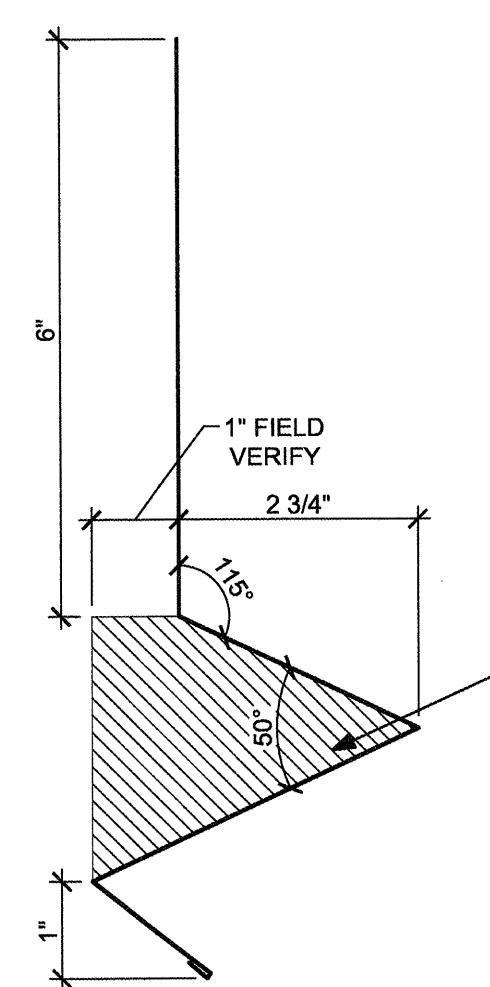
**1 SIDING AT EXISTING CONCRETE**  
SCALE: 3" = 1'-0"



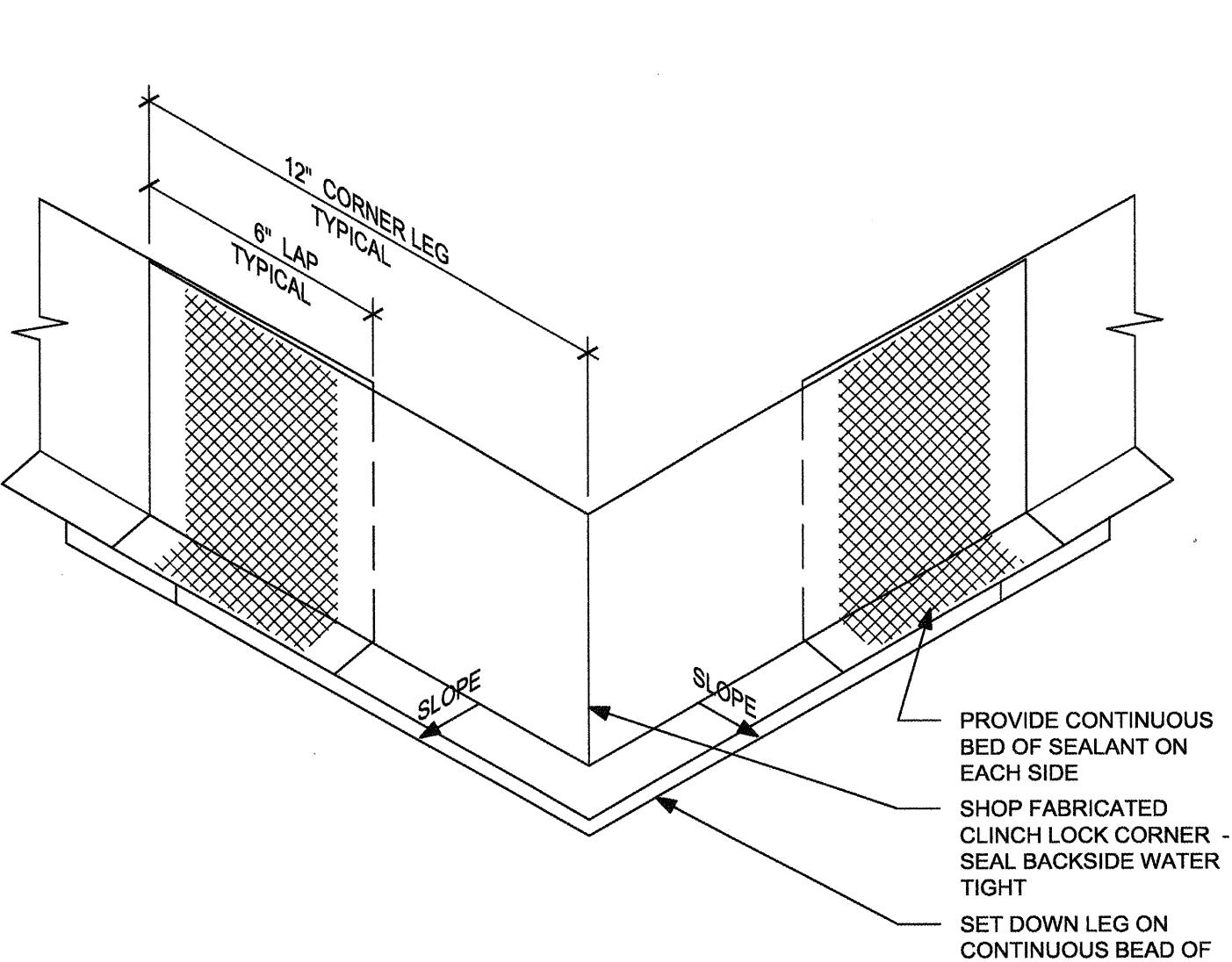
**2 SIDING AT NEW CONCRETE**  
SCALE: 3" = 1'-0"



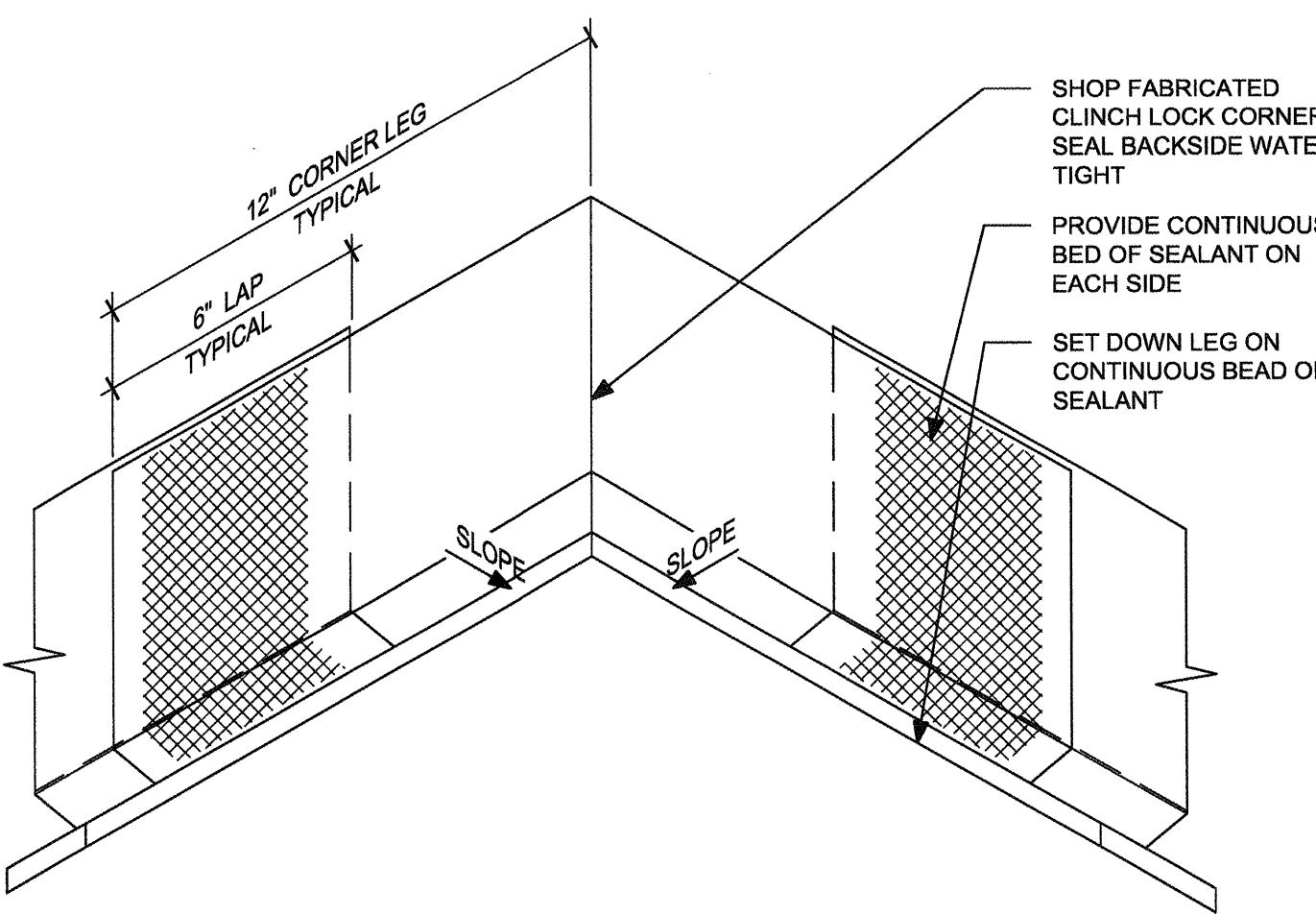
**3 SIDING AT GRADE**  
SCALE: 3" = 1'-0"



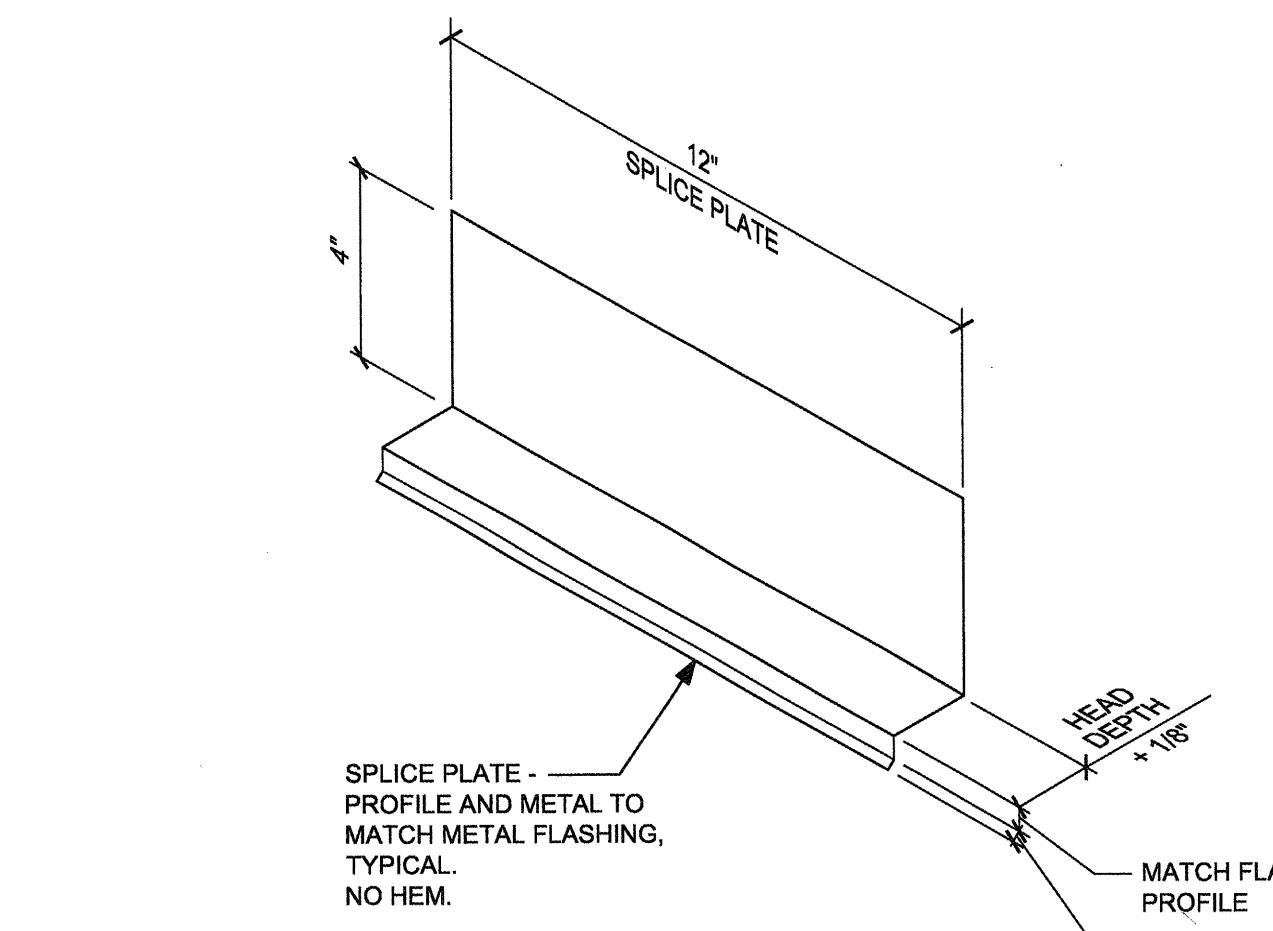
**4 TYPICAL BASE FLASHING PROFILE**  
SCALE: 6" = 1'-0"



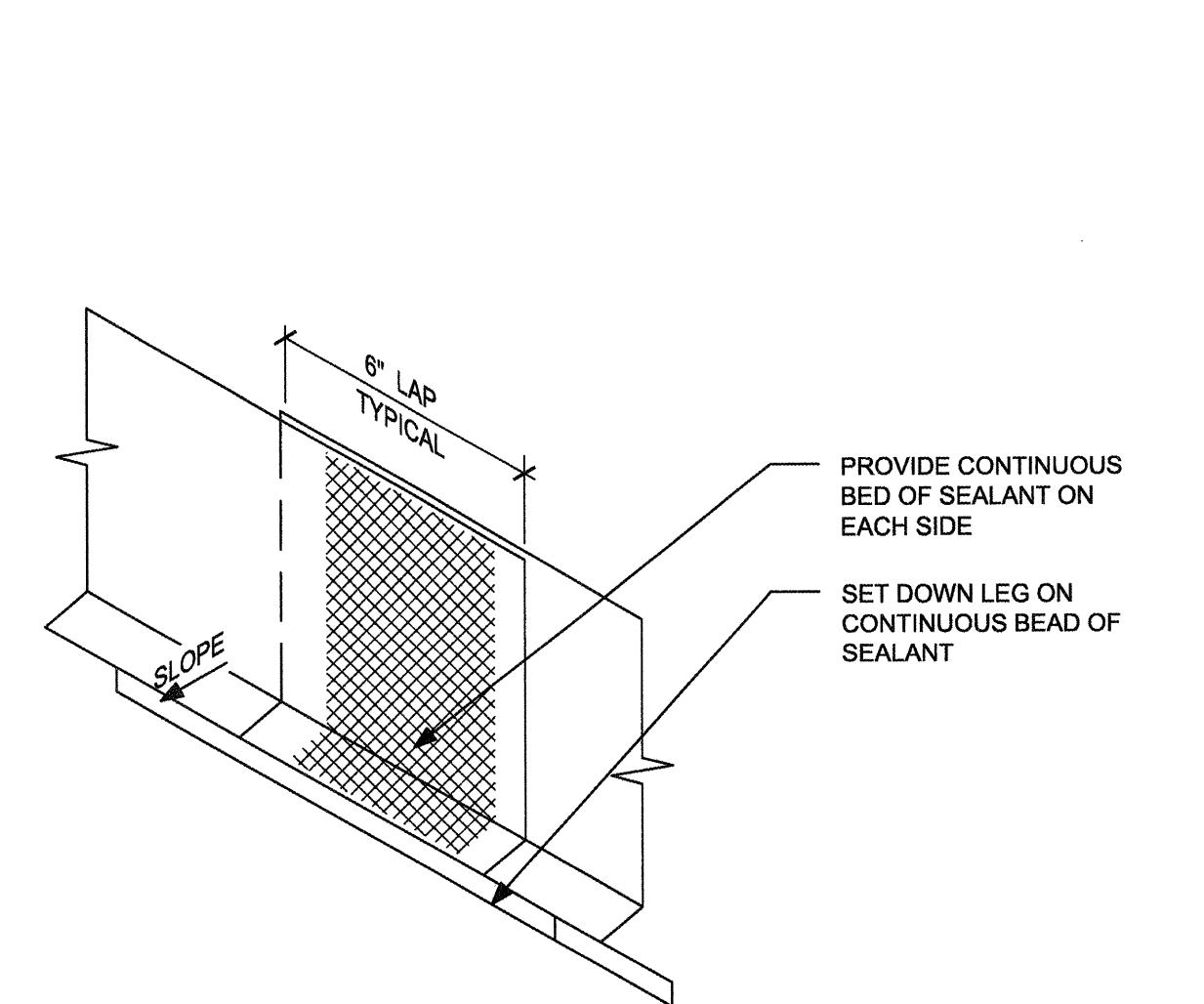
**5 BASE FLASHING - OUTSIDE CORNER**  
SCALE: 3" = 1'-0"



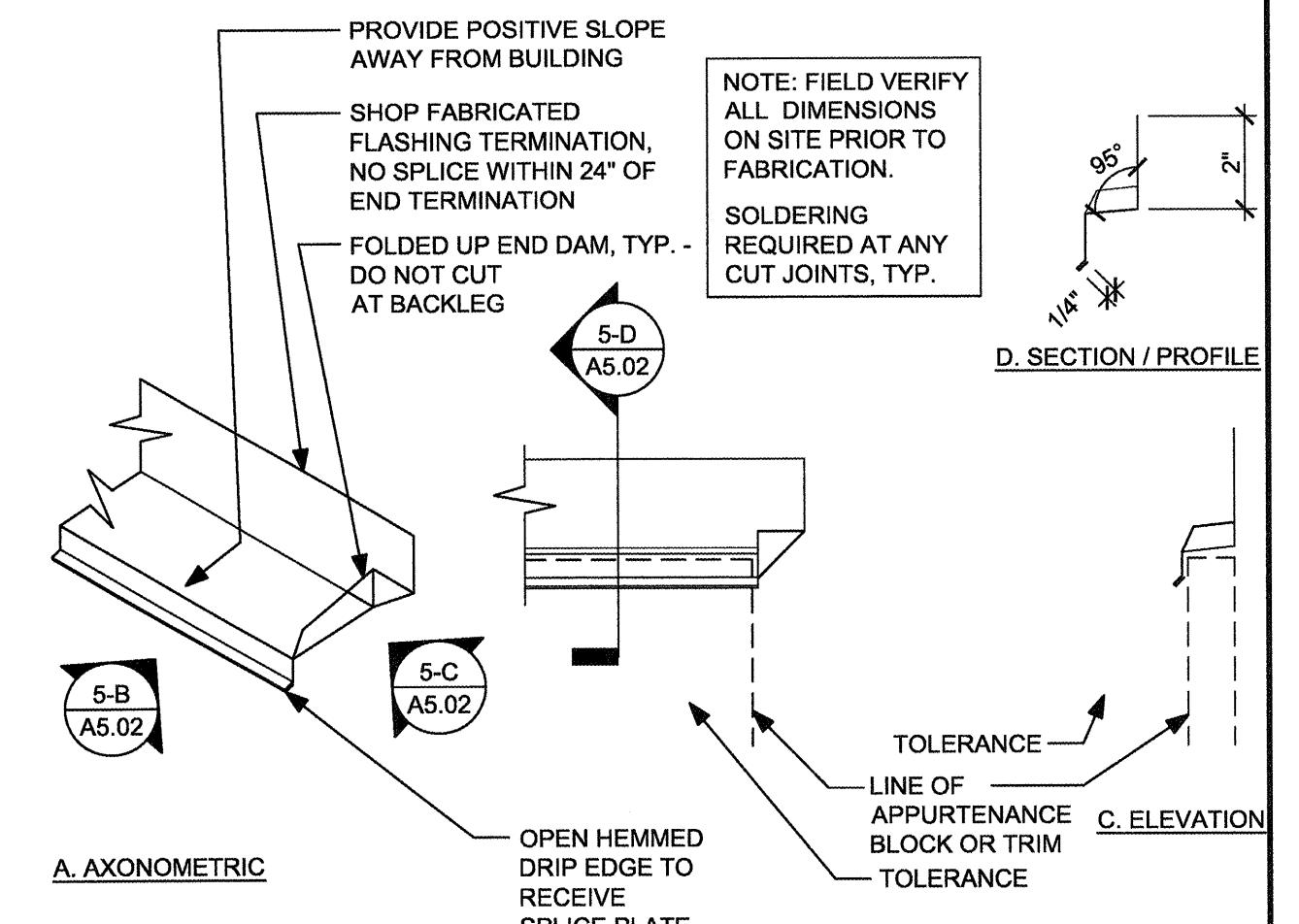
**6 BASE FLASHING - INSIDE CORNER**  
SCALE: 3" = 1'-0"



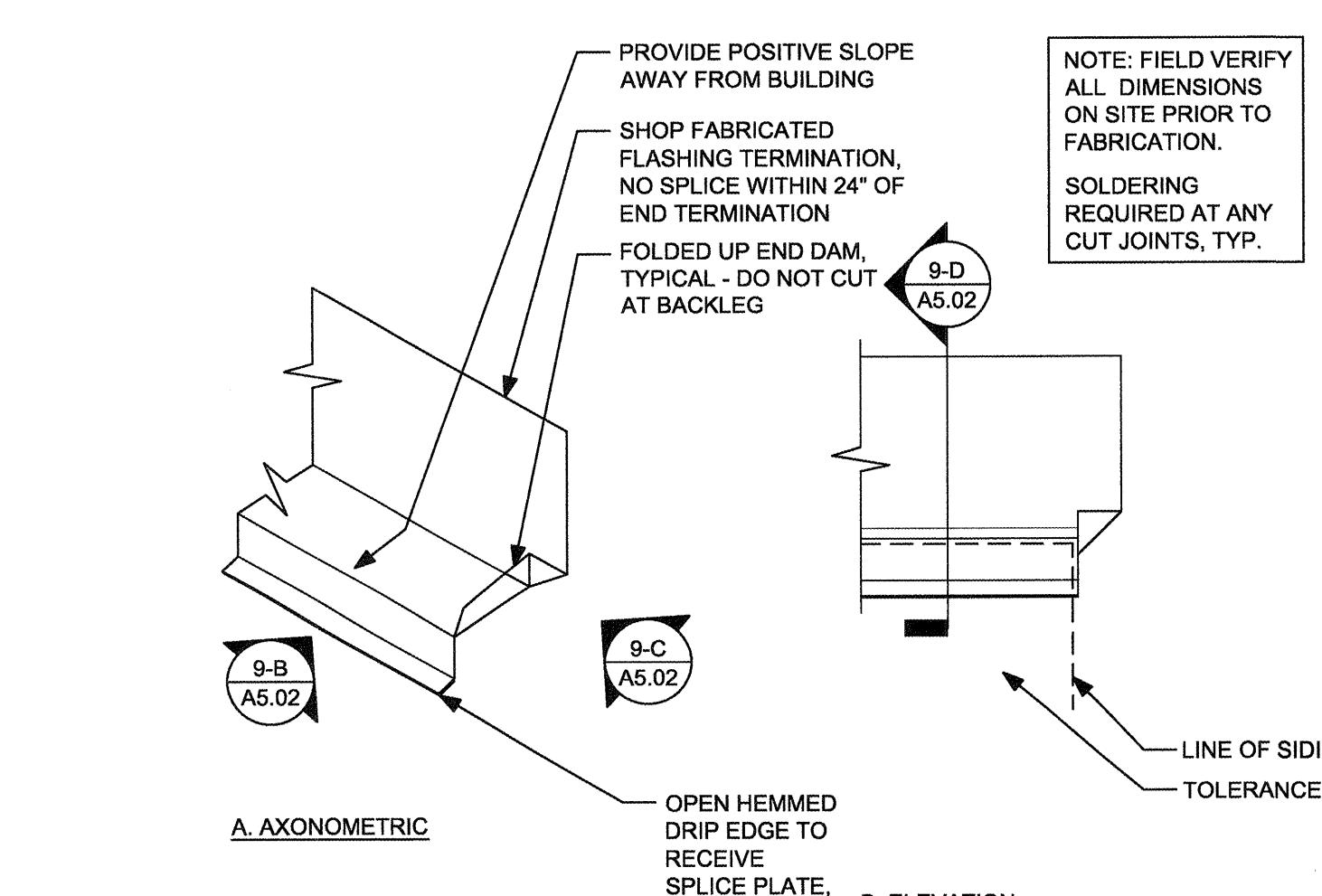
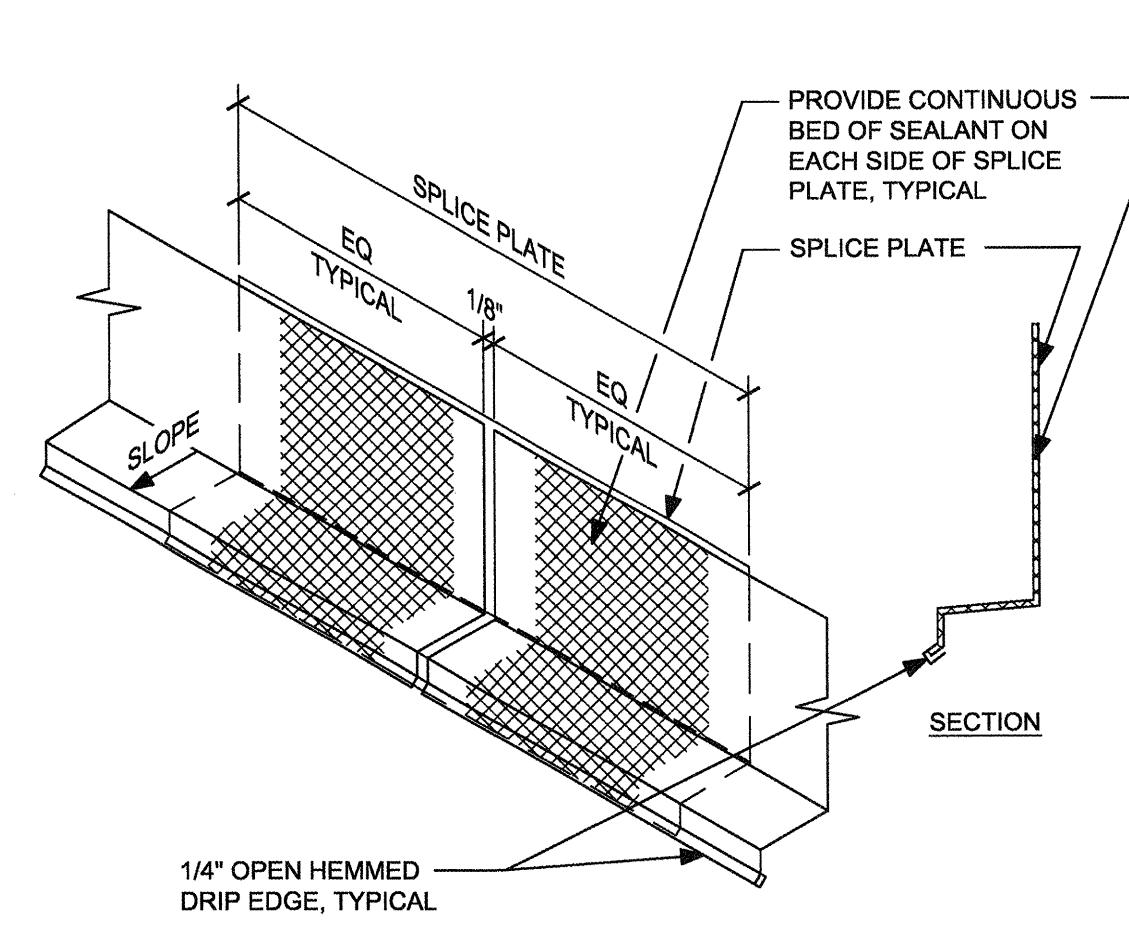
**9 DETAIL - SPLICE PLATE AND FIELD JOINT AT FLASHING**  
SCALE: 3" = 1'-0"



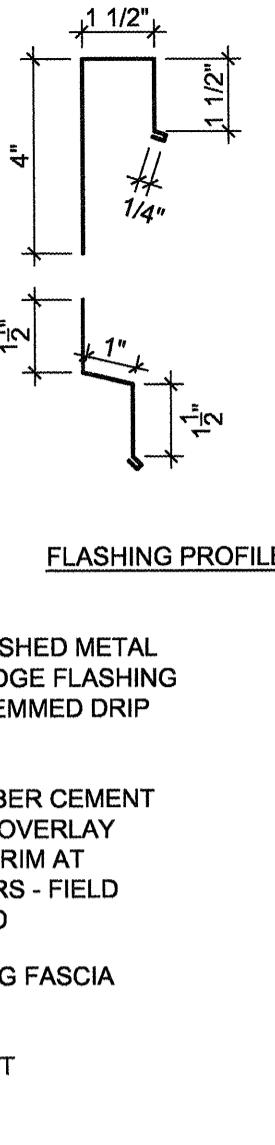
**7 BASE FLASHING - OVERLAP**  
SCALE: 3" = 1'-0"



**8 TYP. HEAD FLASHING & TERMINATION**  
SCALE: 3" = 1'-0"



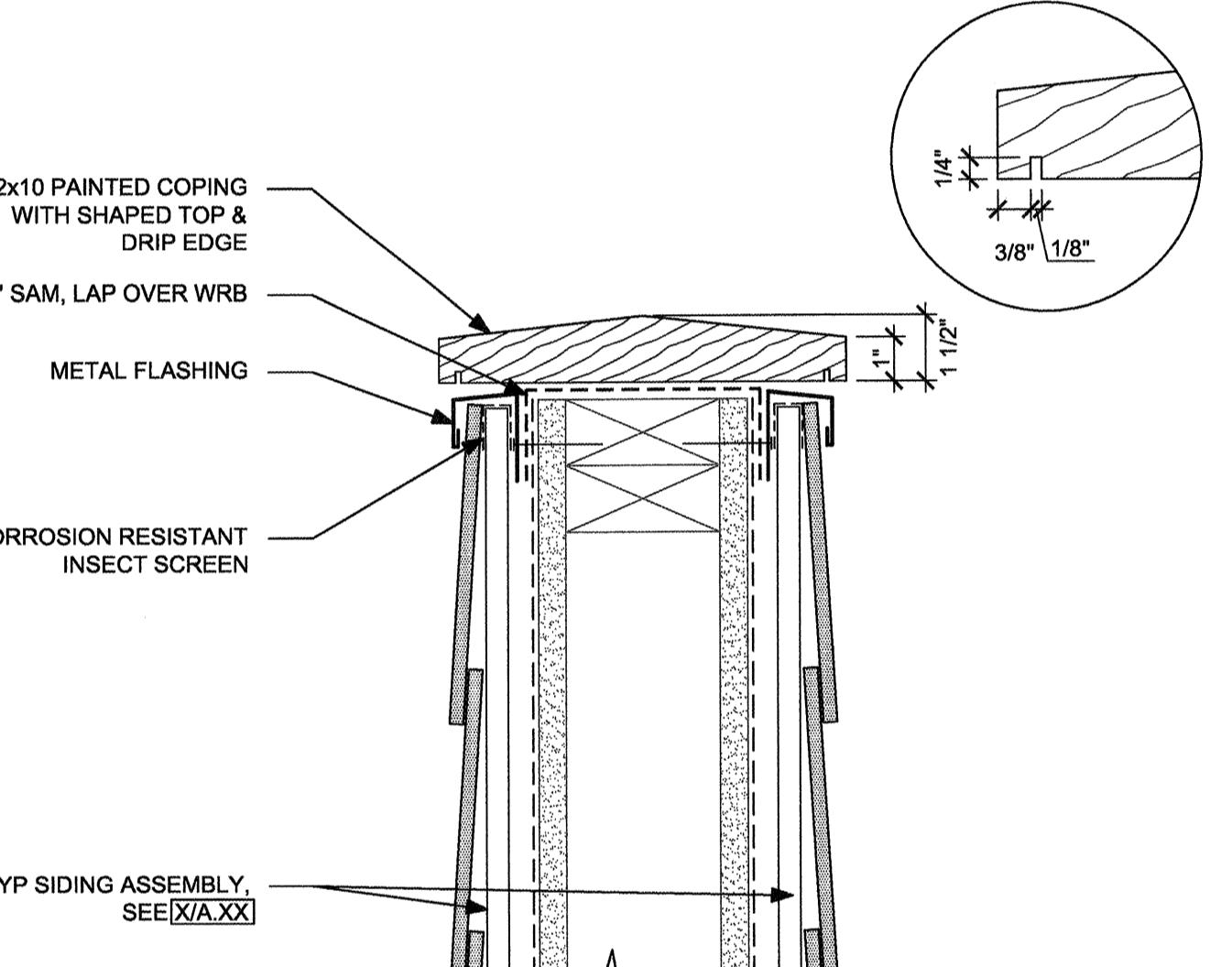
**12 TYPICAL THROUGH WALL FLASHING PROFILE AND TERMINATION**  
SCALE: 3" = 1'-0"



A circular registration stamp for Brian D. Carleton, Registered Architect, State of Oregon. The outer ring contains the words "REGISTERED ARCHITECT" at the top and "STATE OF OREGON" at the bottom. The center of the circle contains the name "BRIAN D. CARLETON", the initials "R.D.C.", the city "PORTLAND, OREGON", the year "1918", and the number "R-112".

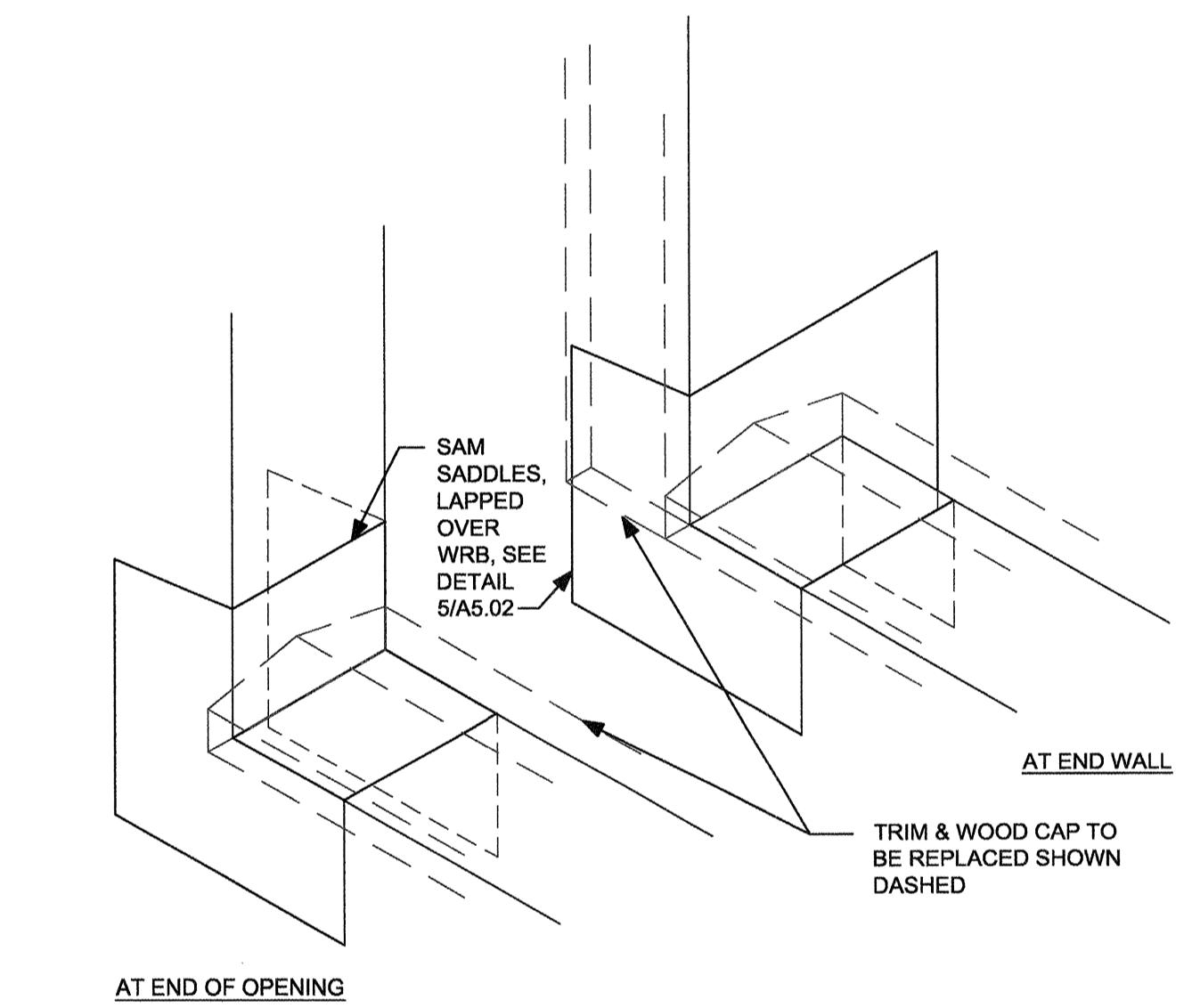
## ① LAP INSIDE CORNER

SCALE: 6" = 1'-0"



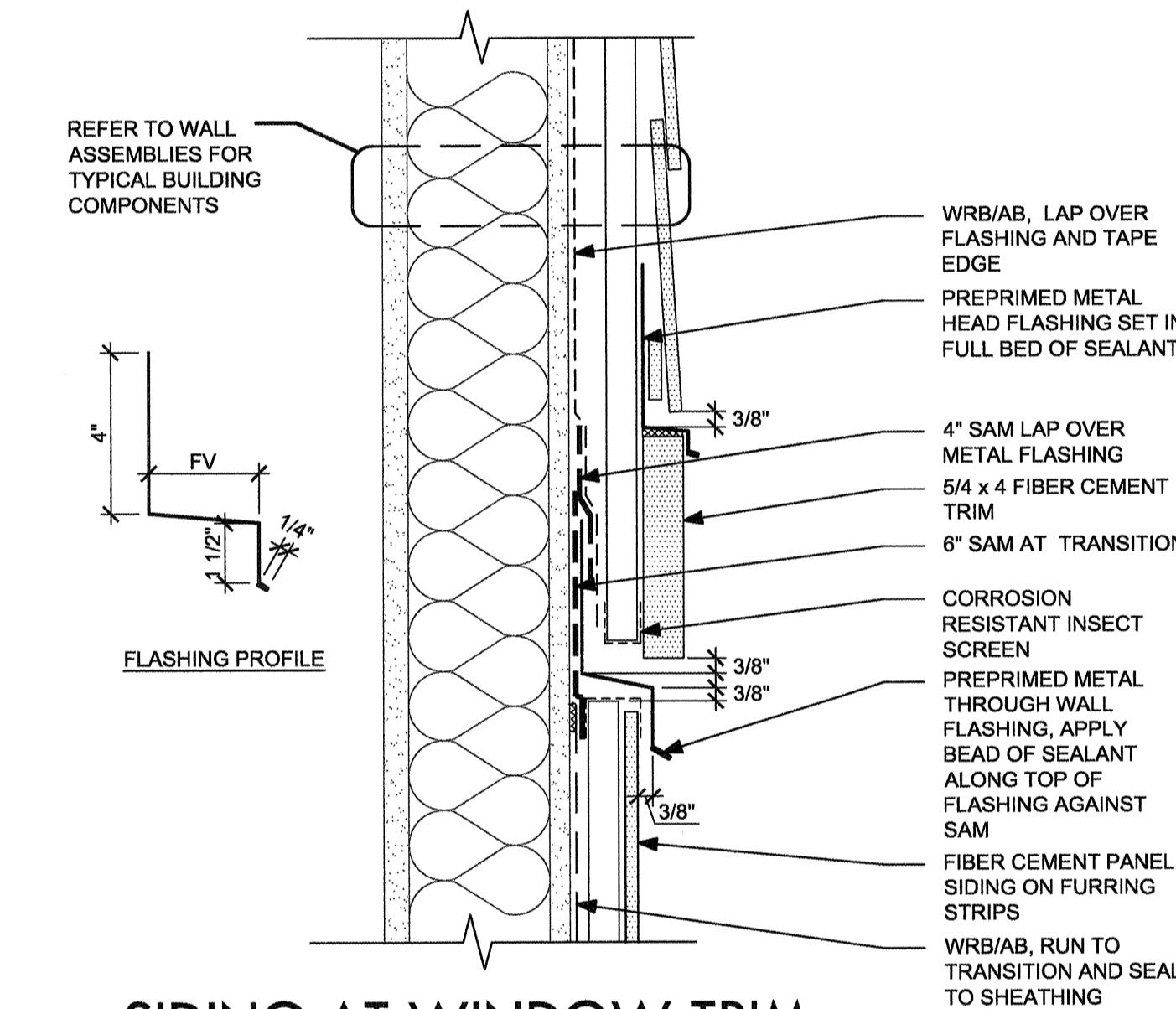
## **2 SIDING AT OUTSIDE CORNER**

SCALE: 6"-1'-0"



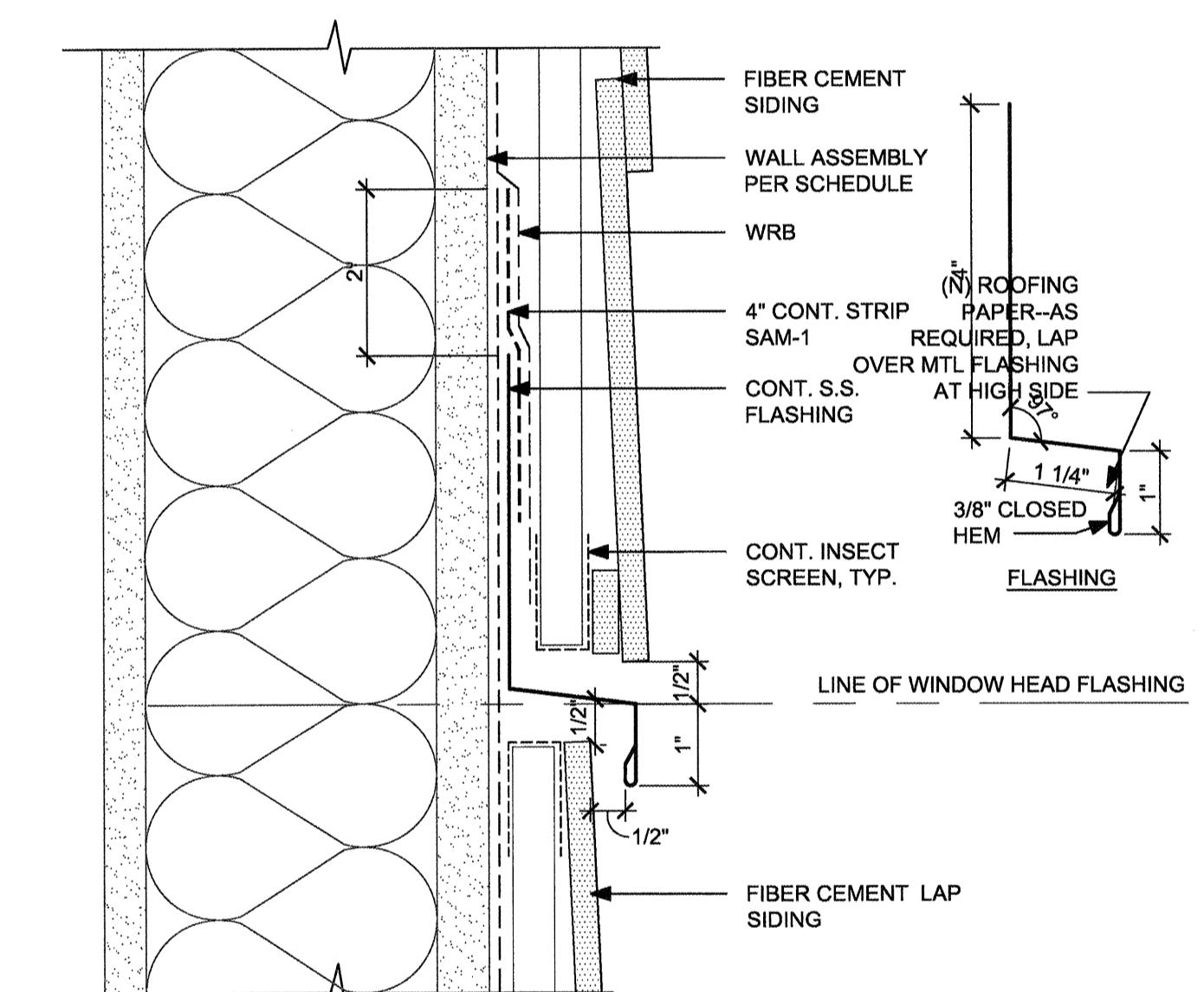
## SECTION @ SOFFIT EAVE

SCALE: 6" = 1'-0"



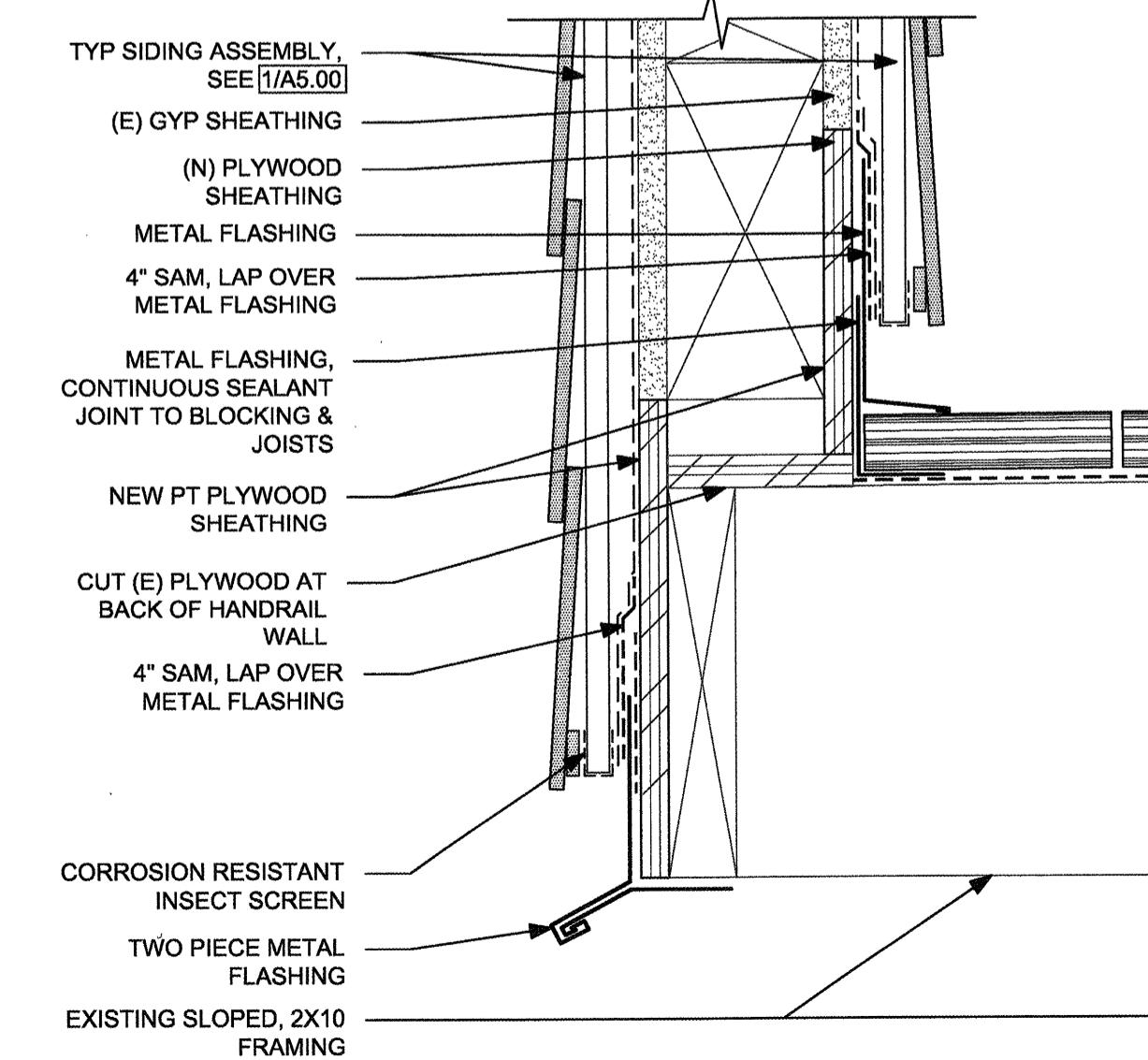
**TYPICAL RAKE**

12 SCALE: 3" = 1'-0"



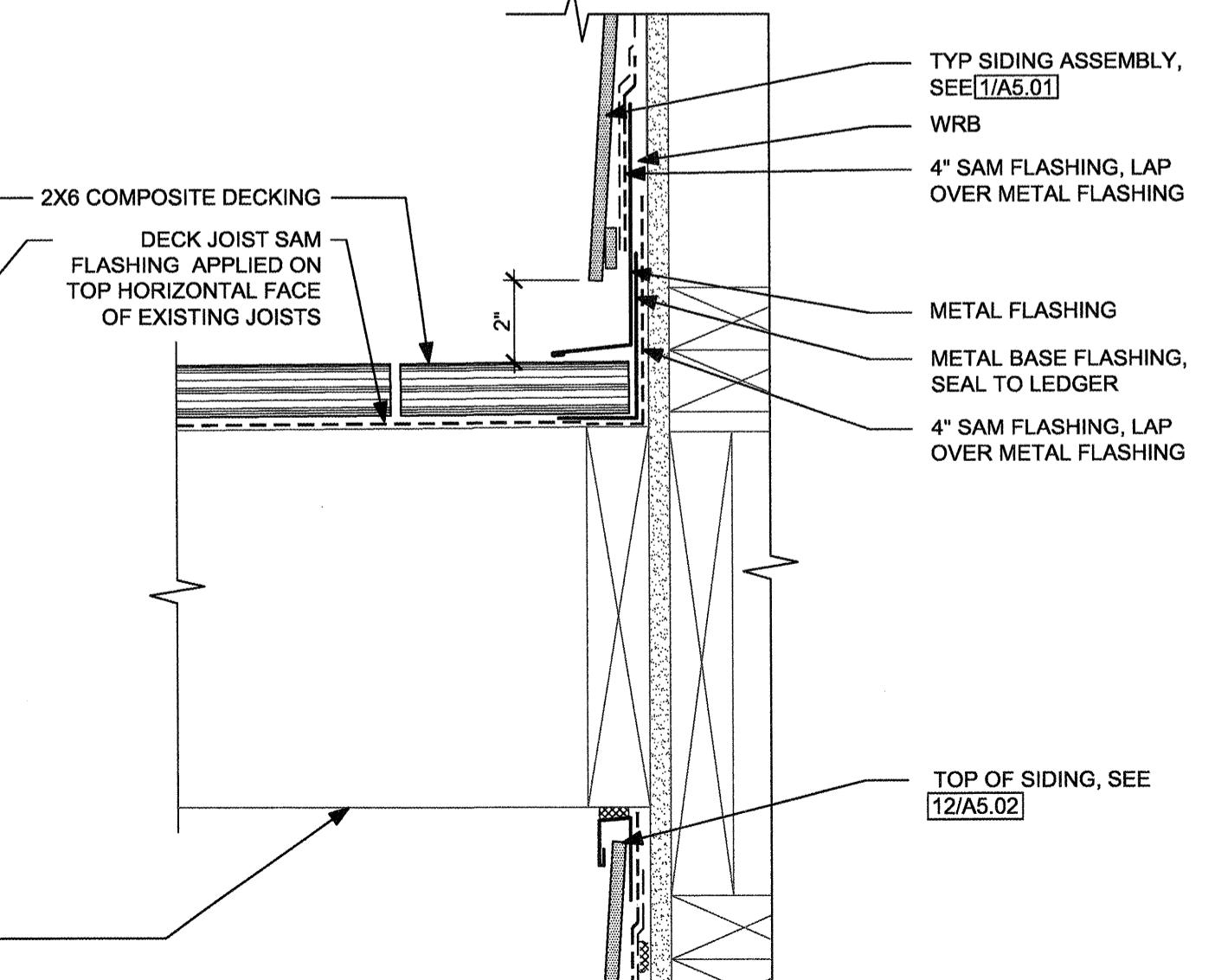
## WALKWAY AT GUARD WALL

5 SCALE: 3" = 1'-0"



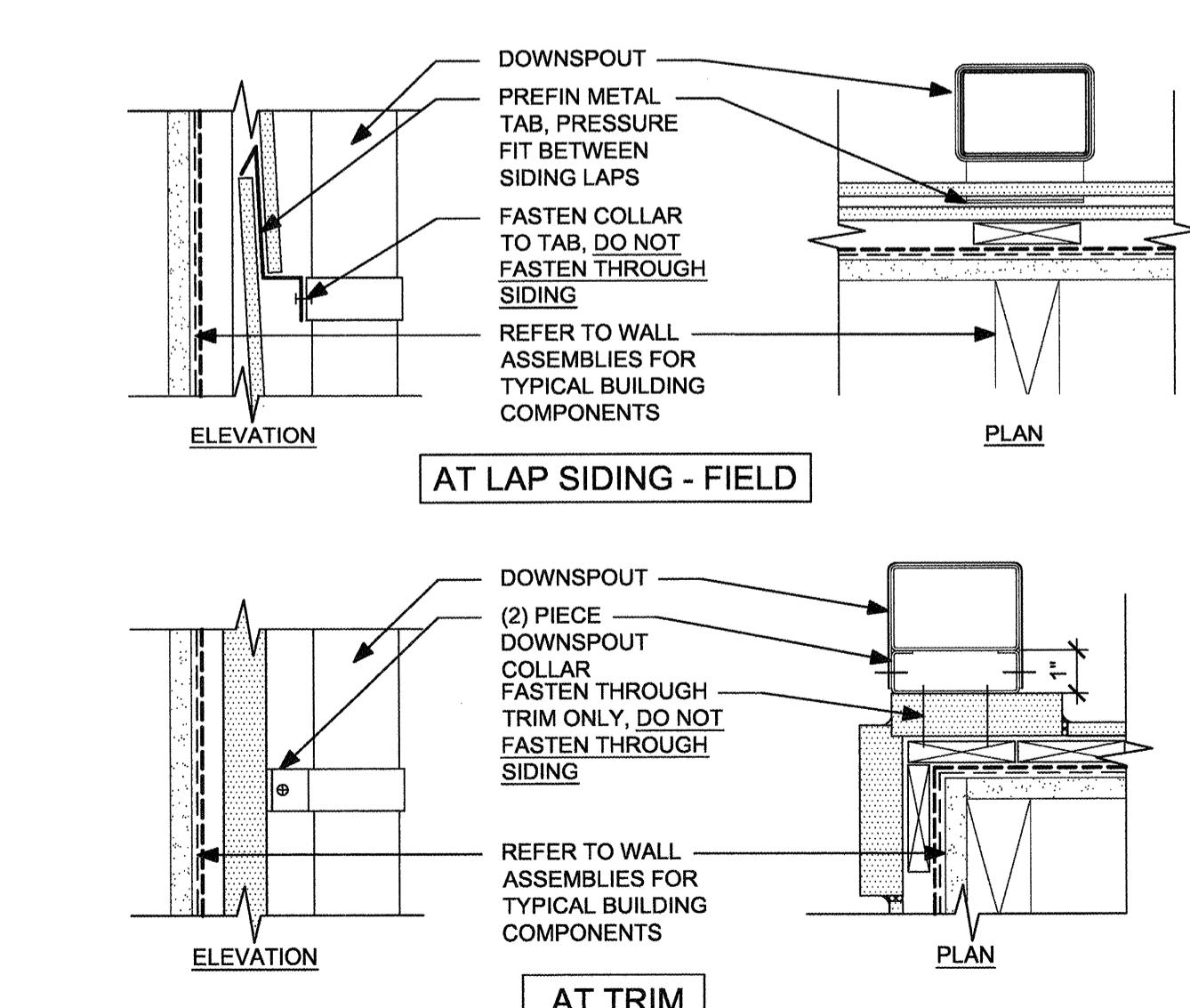
## **SADDLE FLASHING AT GUARDWALL**

SCALE: 3" = 1'



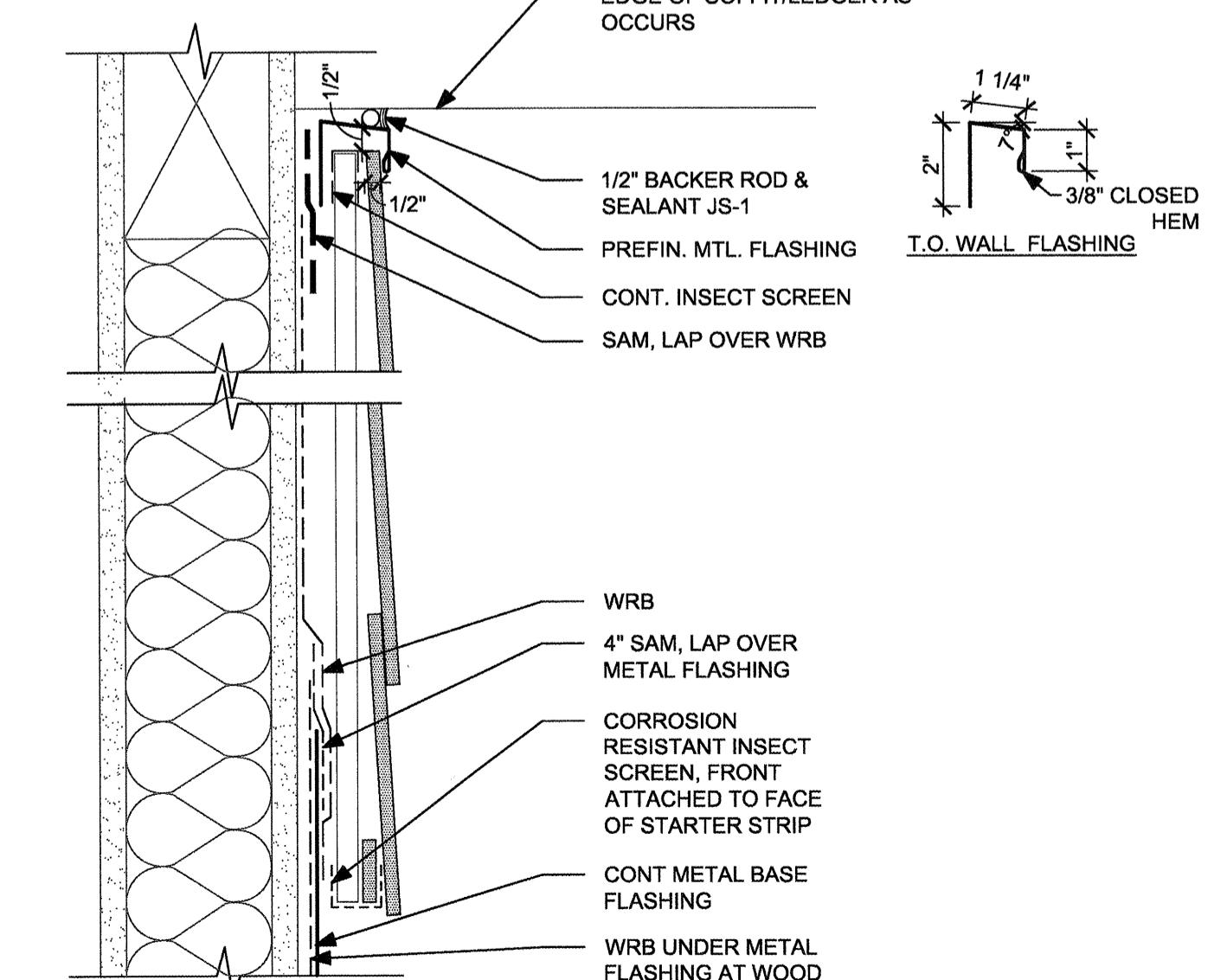
## **7 SIDING AT WINDOW TRIM**

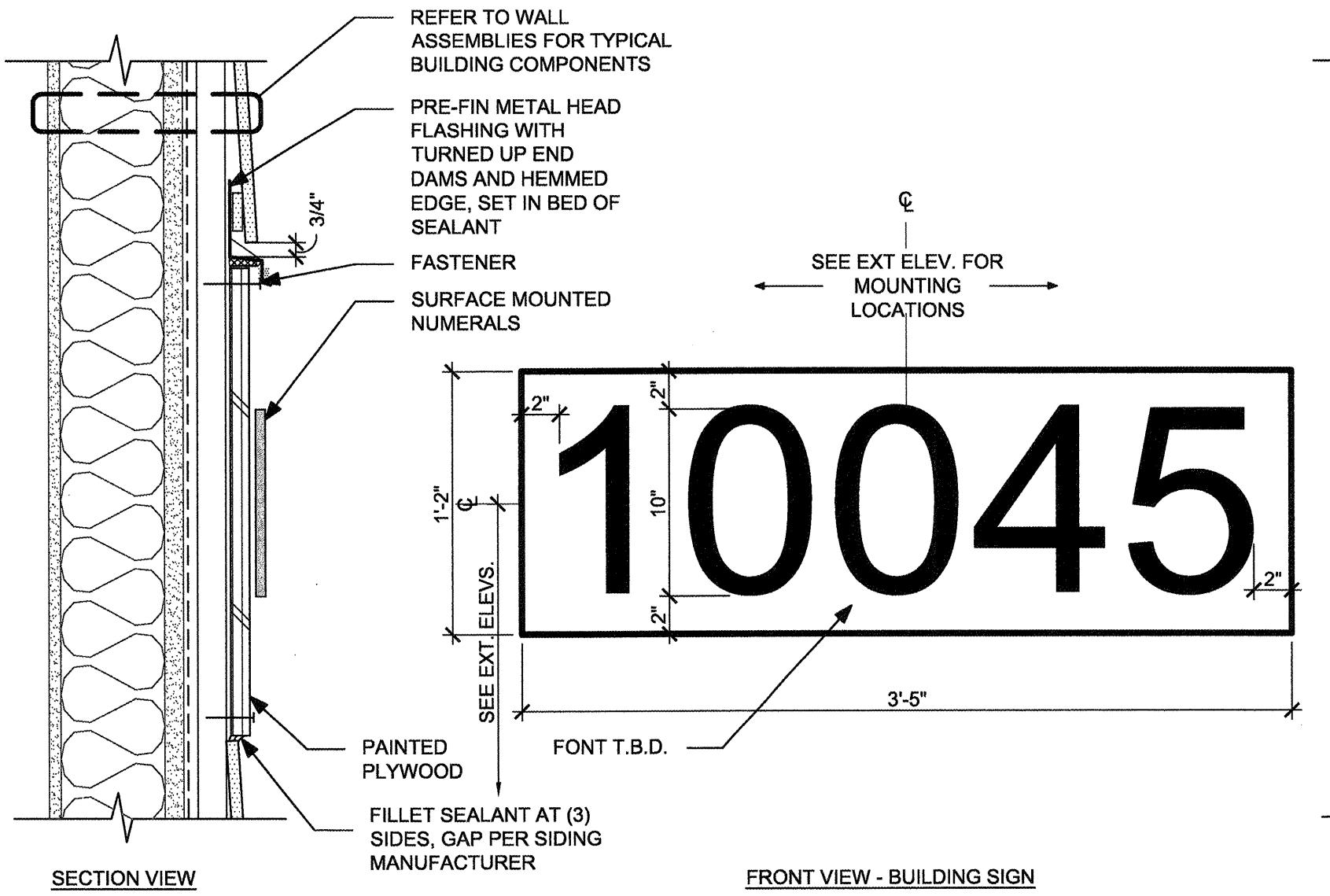
SCALE: 3" = 1'-0"



**SECTION @ THRU-WALL JOINT**

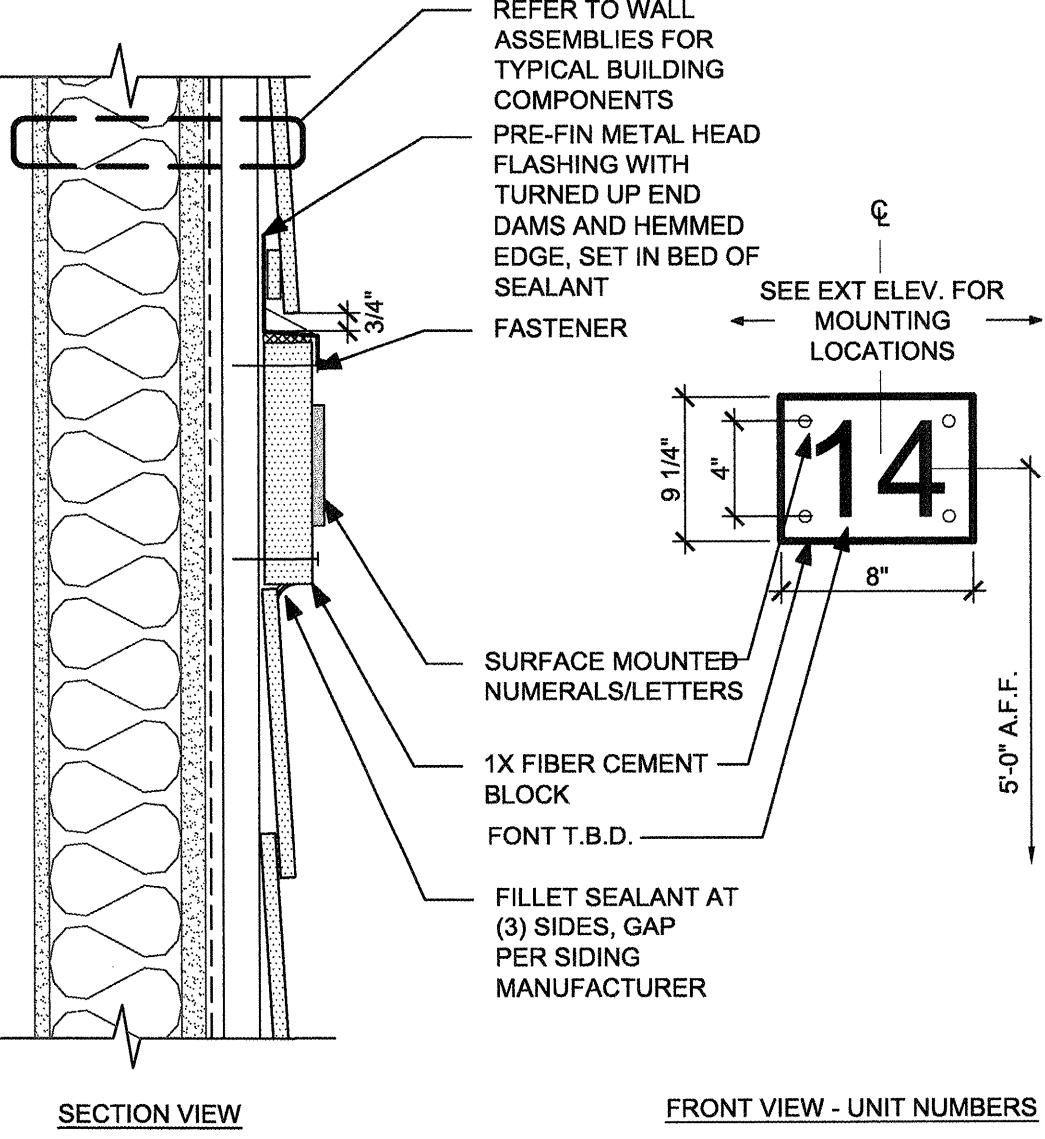
SCALE: 6" = 1'-0" @ FIBER CEMENT SIDING - OCCURS AT DOOR & WINDOW HEADS, TYP. EA. FLOOR



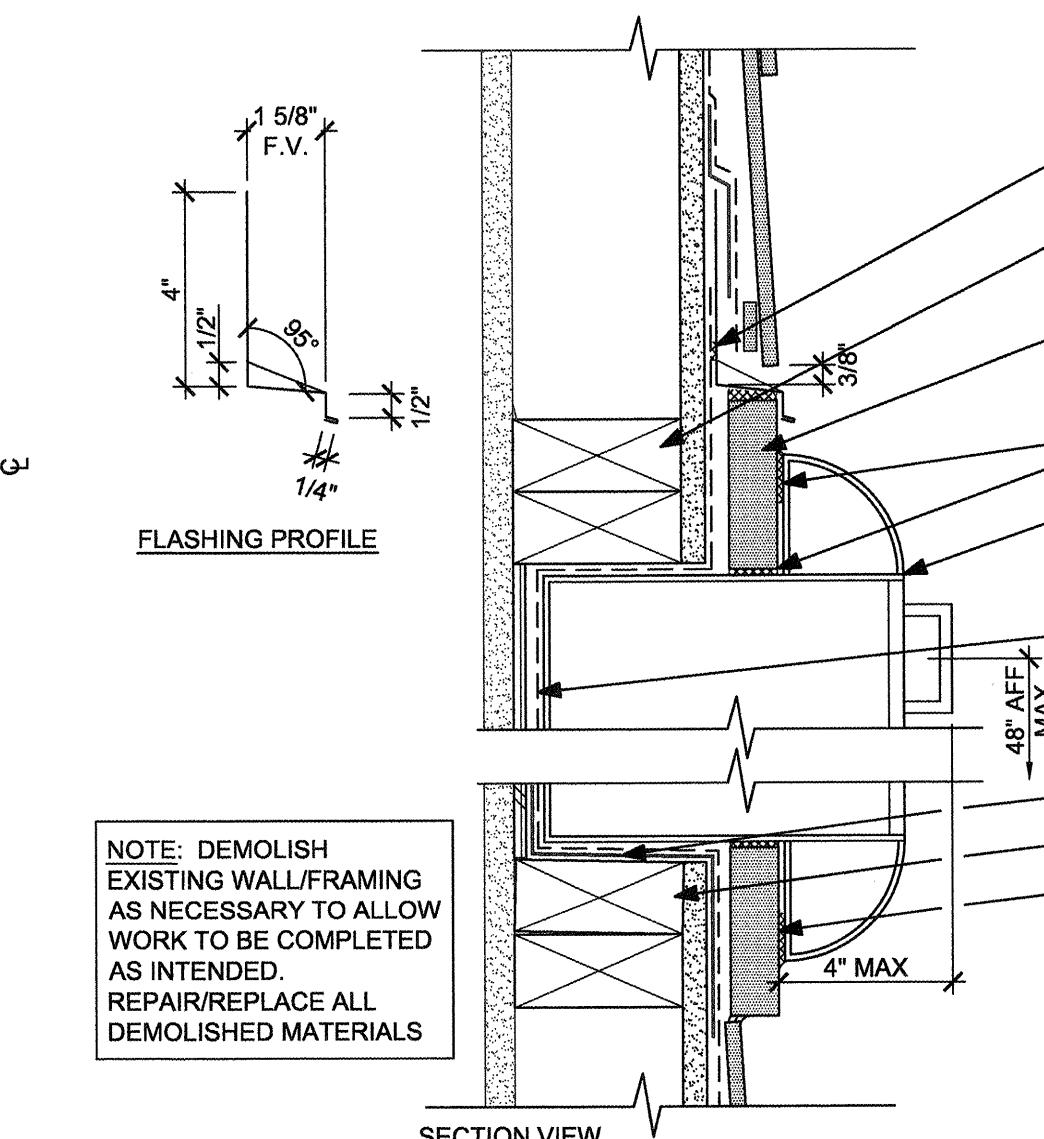


1 BUILDING SIGNAGE

SCALE: 1 1/2" = 1'-0"



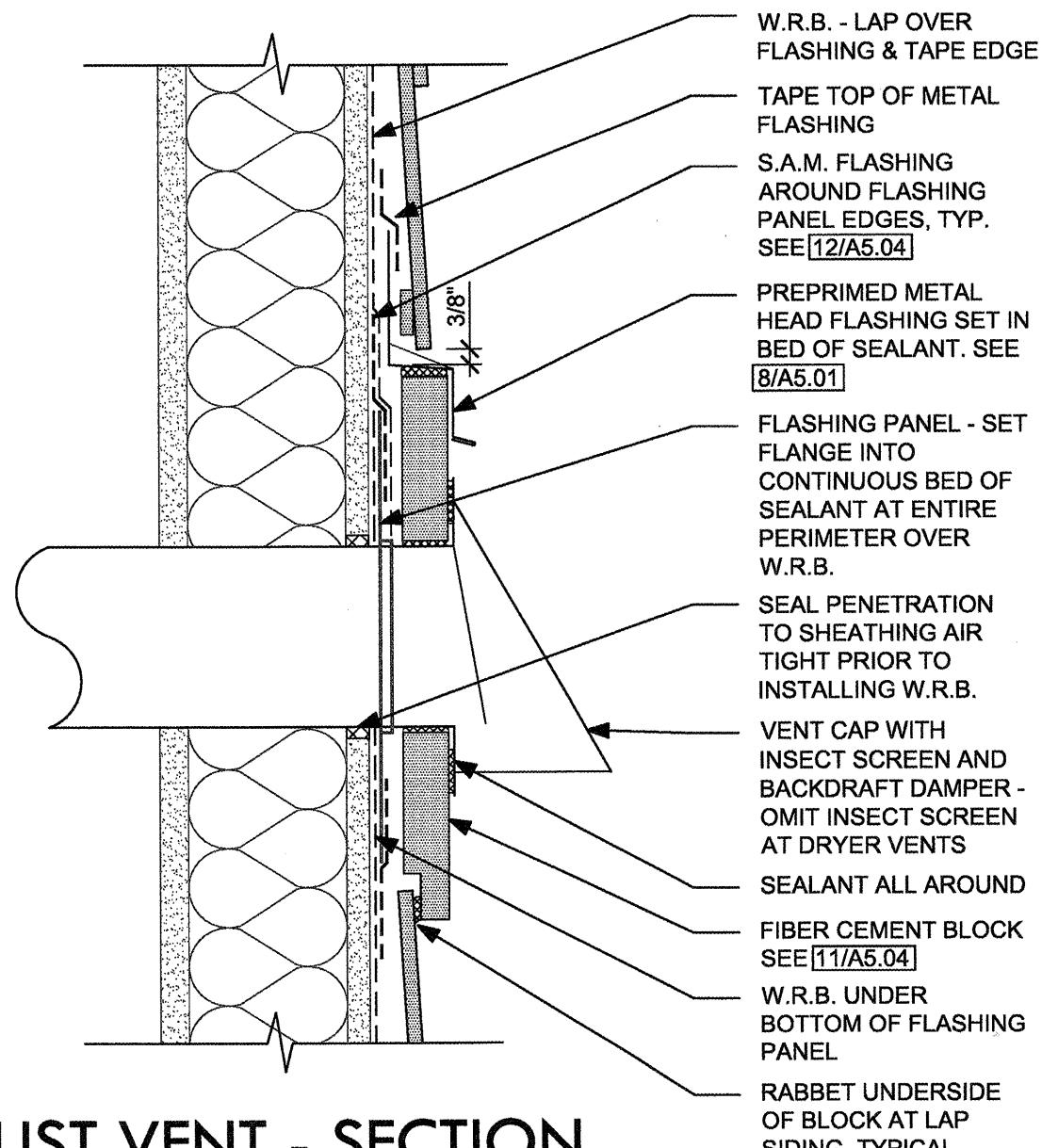
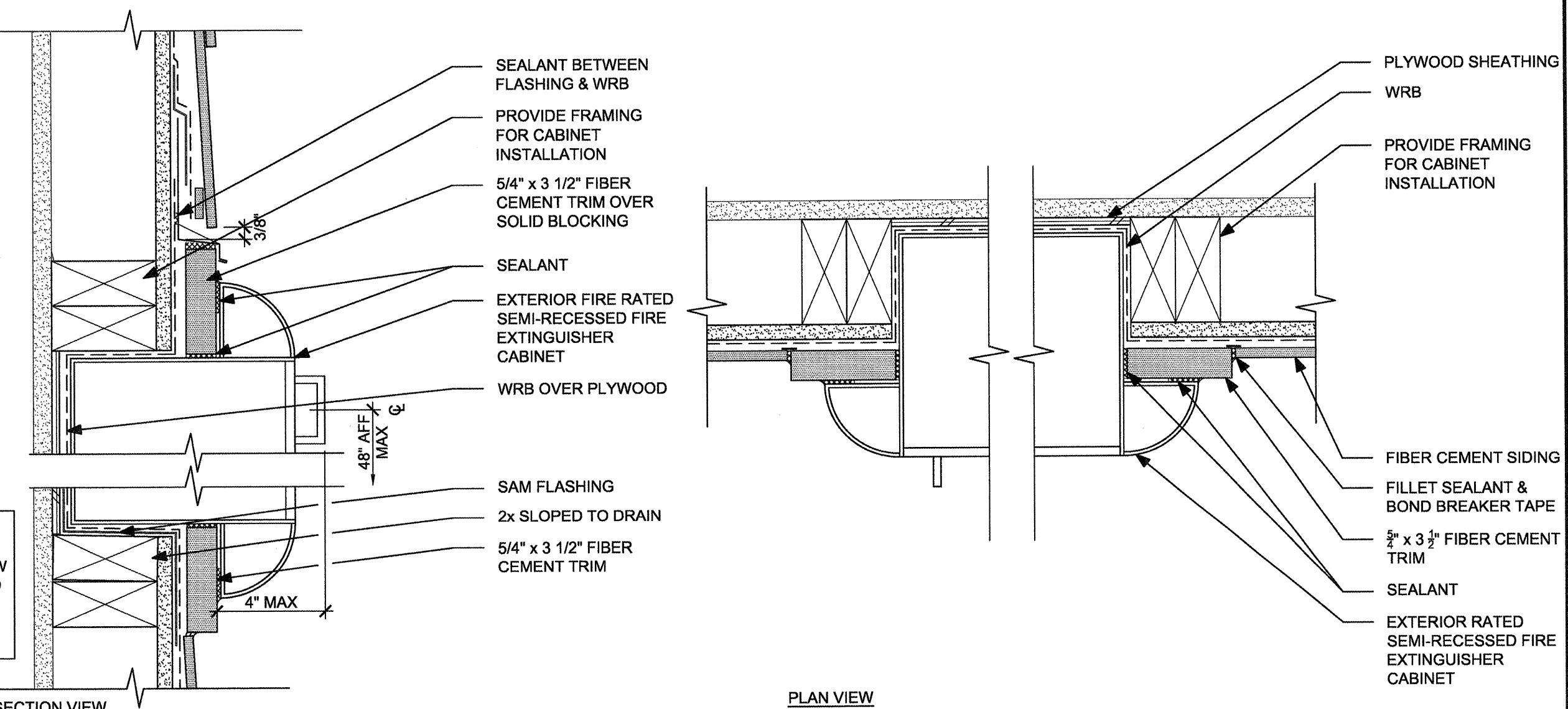
SECTION VIEW



NOTE: DEMOLISH EXISTING WALL/FRAMING AS NECESSARY TO ALLOW WORK TO BE COMPLETED AS INTENDED. REPAIR/REPLACE ALL DEMOLISHED MATERIALS

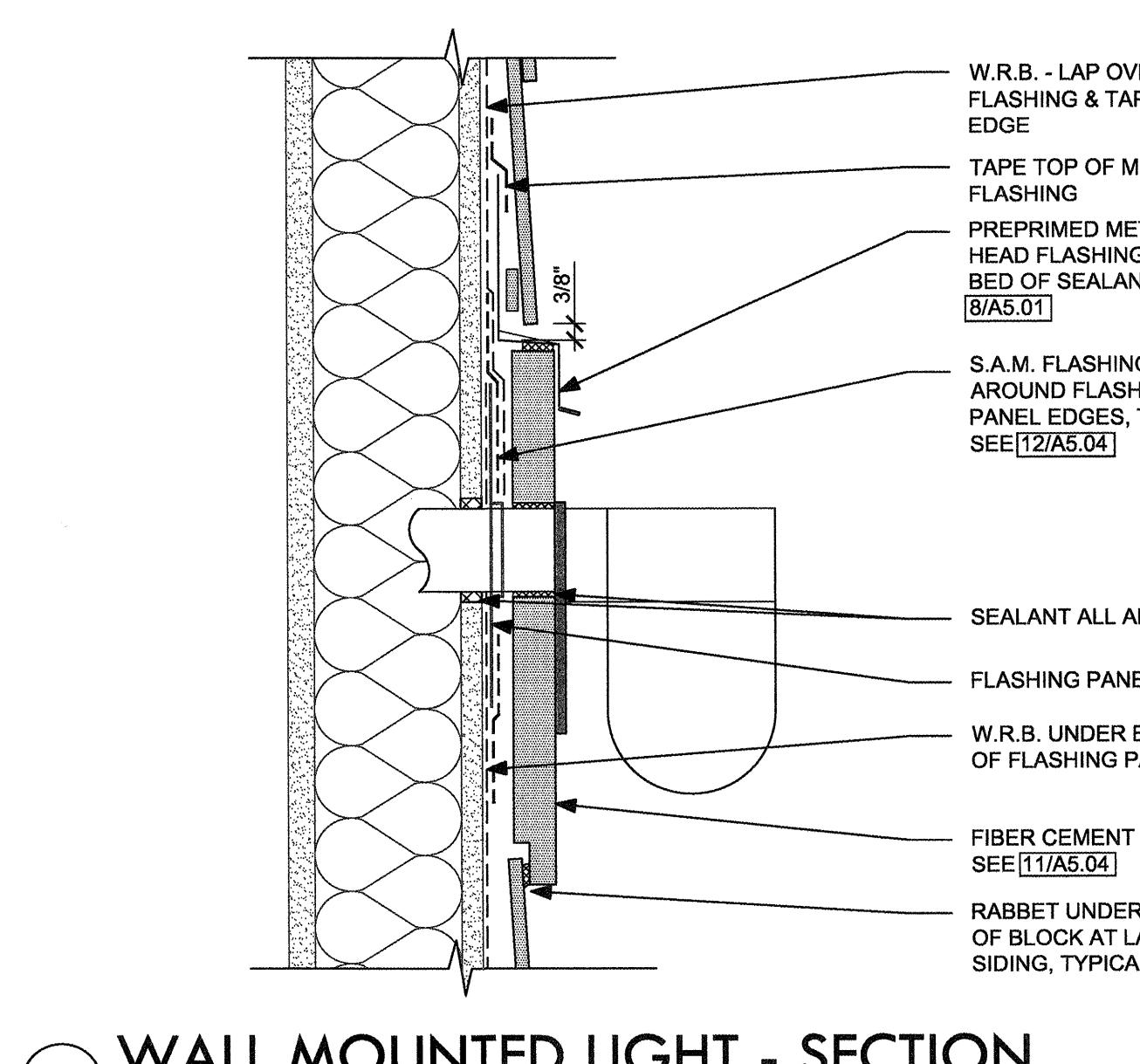
3 SEMI-RECESSED FIRE EXTINGUISHER CABINET

SCALE: 3" = 1'-0" WHERE EXISTING CABINETS ARE INSTALLED ON WALKWAYS WALLS



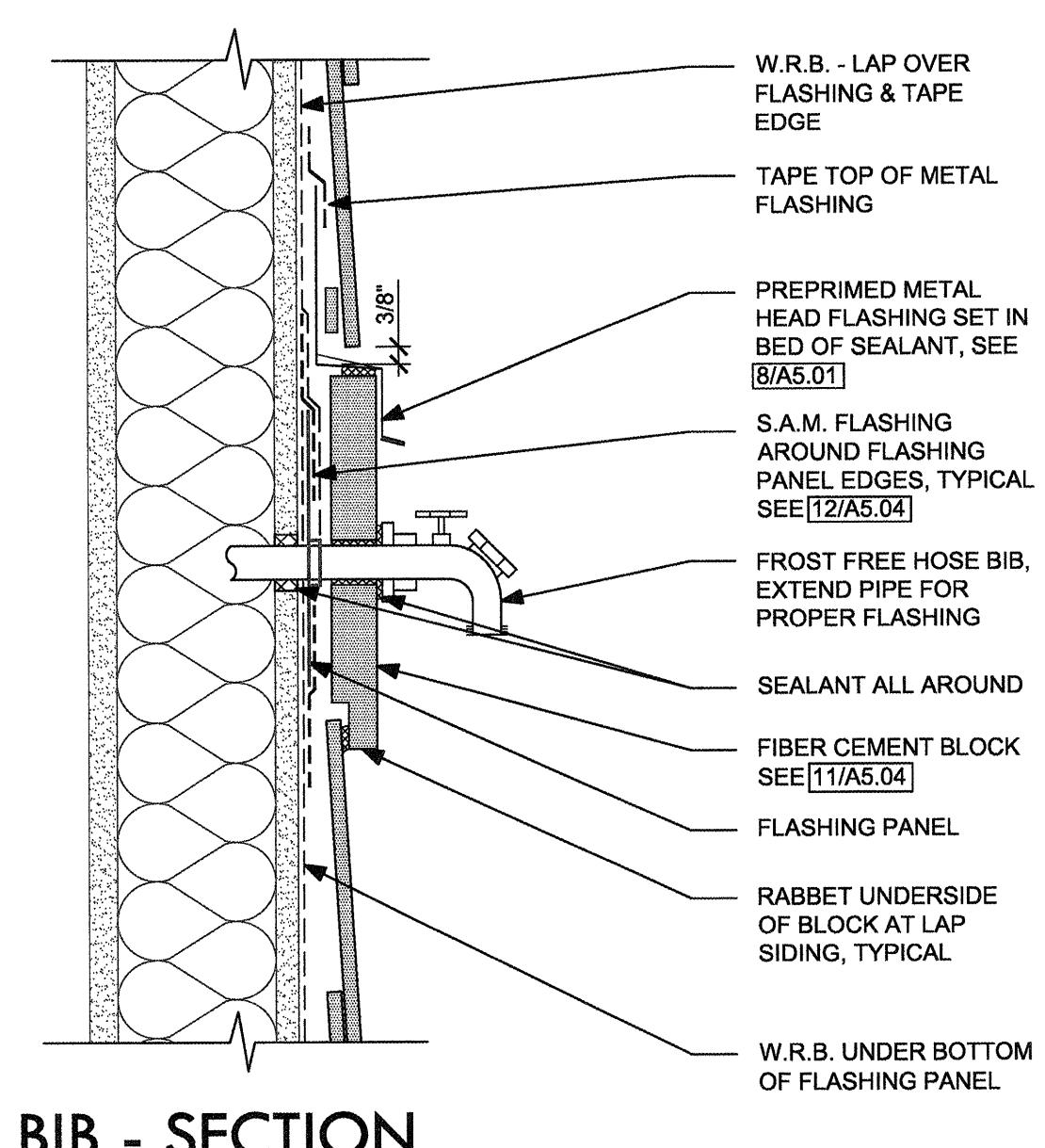
5 EXHAUST VENT - SECTION

SCALE: 3" = 1'-0"



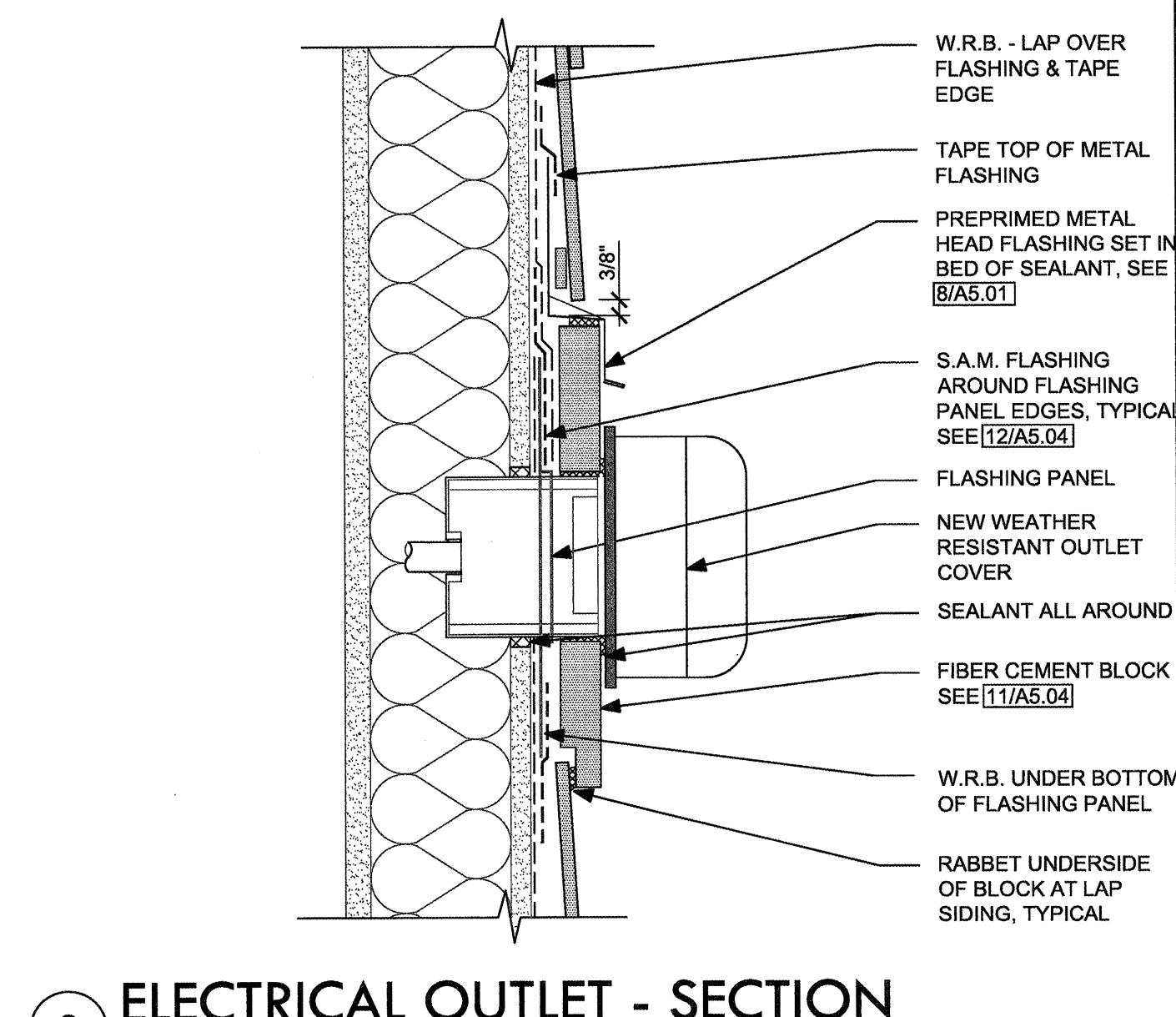
6 WALL MOUNTED LIGHT - SECTION

SCALE: 3" = 1'-0"



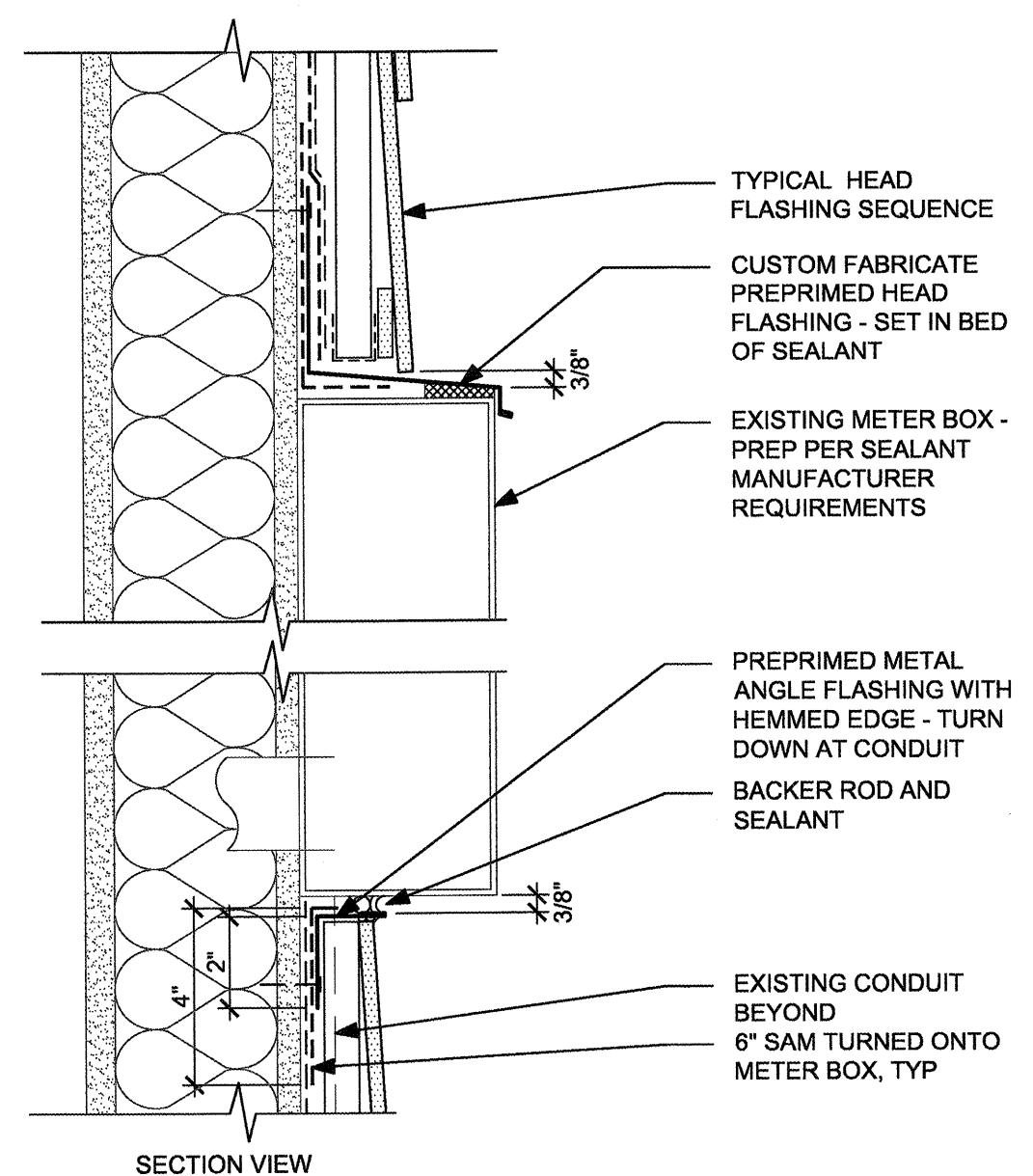
7 HOSE BIB - SECTION

SCALE: 3" = 1'-0"



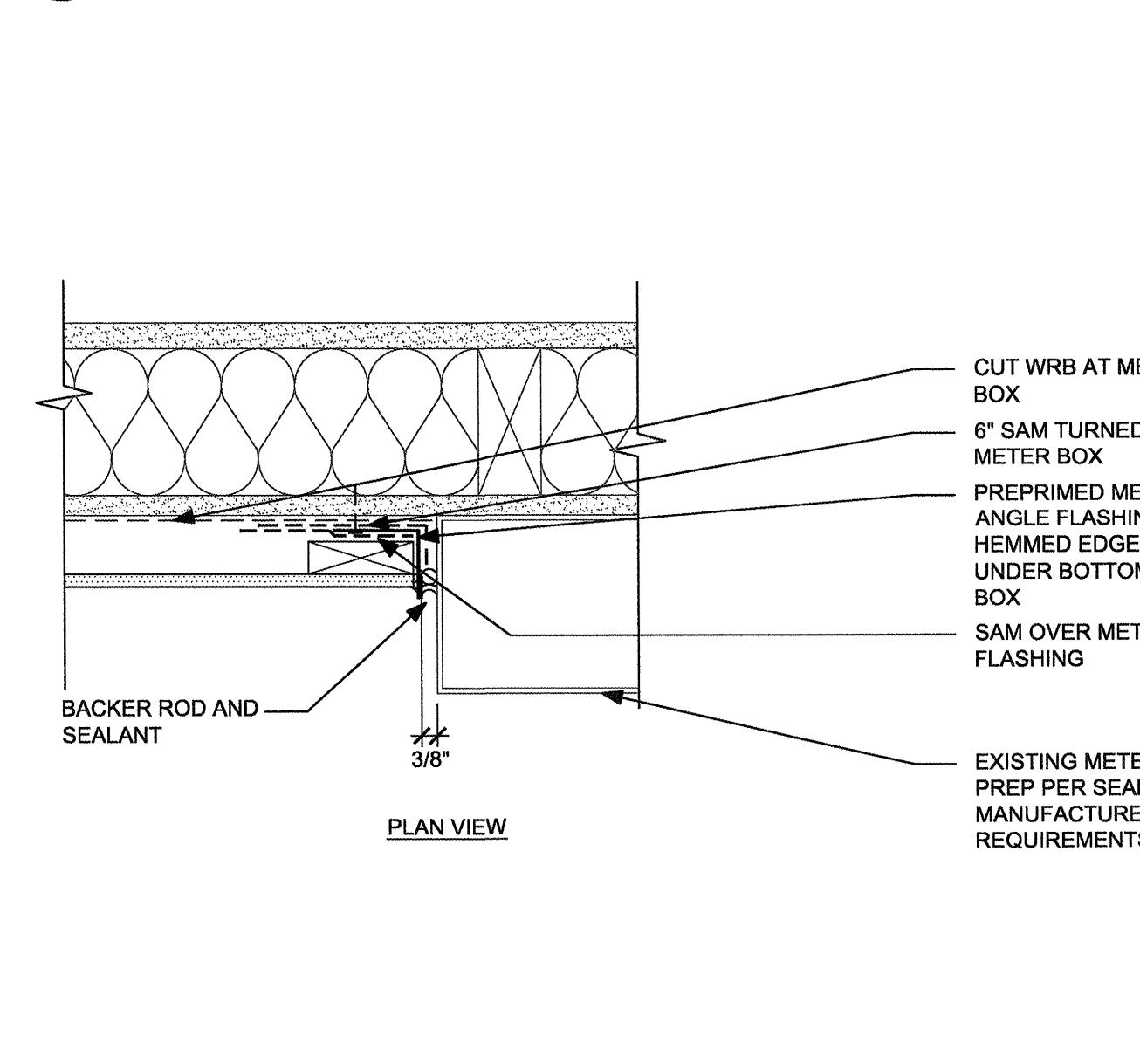
8 ELECTRICAL OUTLET - SECTION

SCALE: 3" = 1'-0"



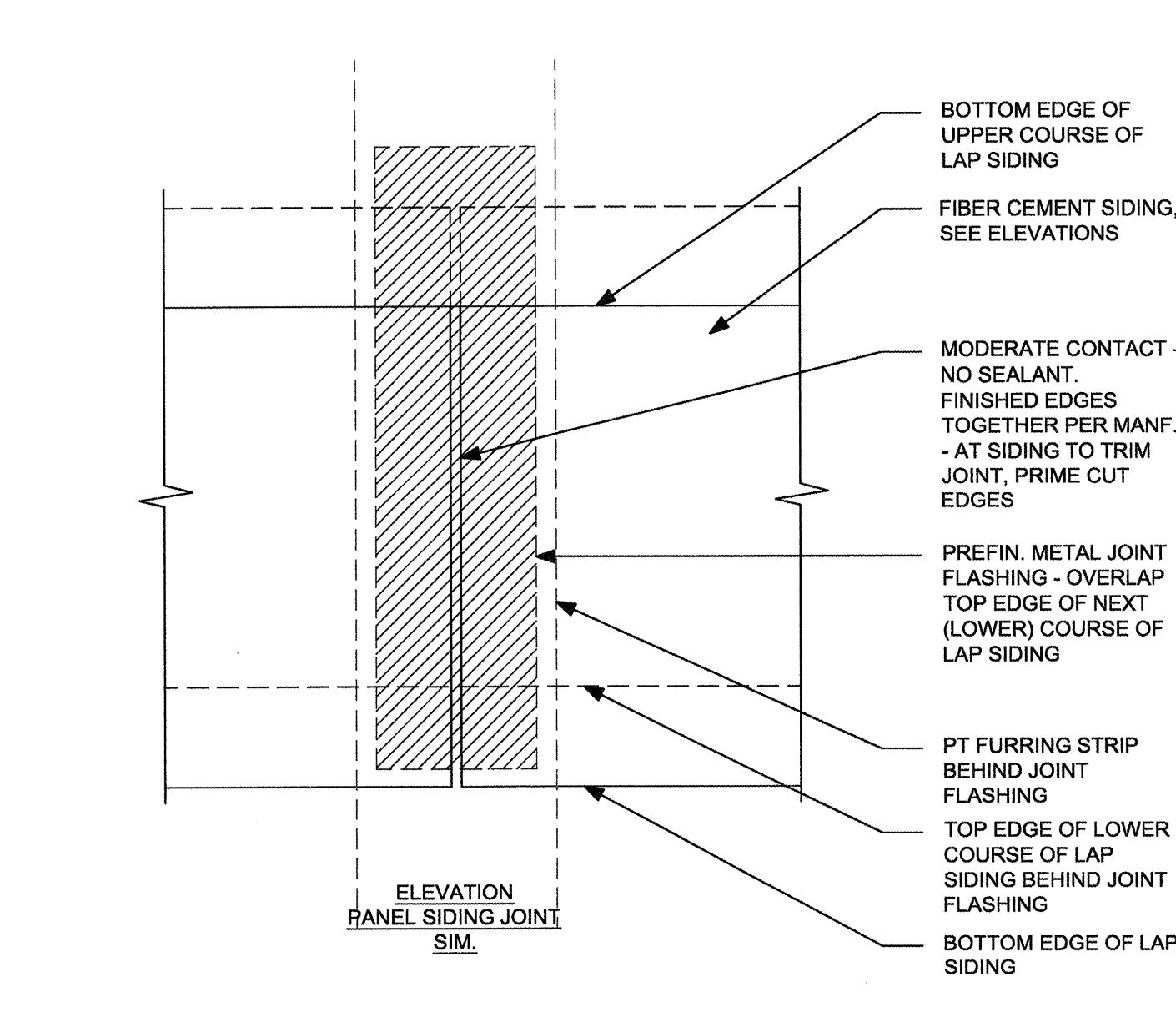
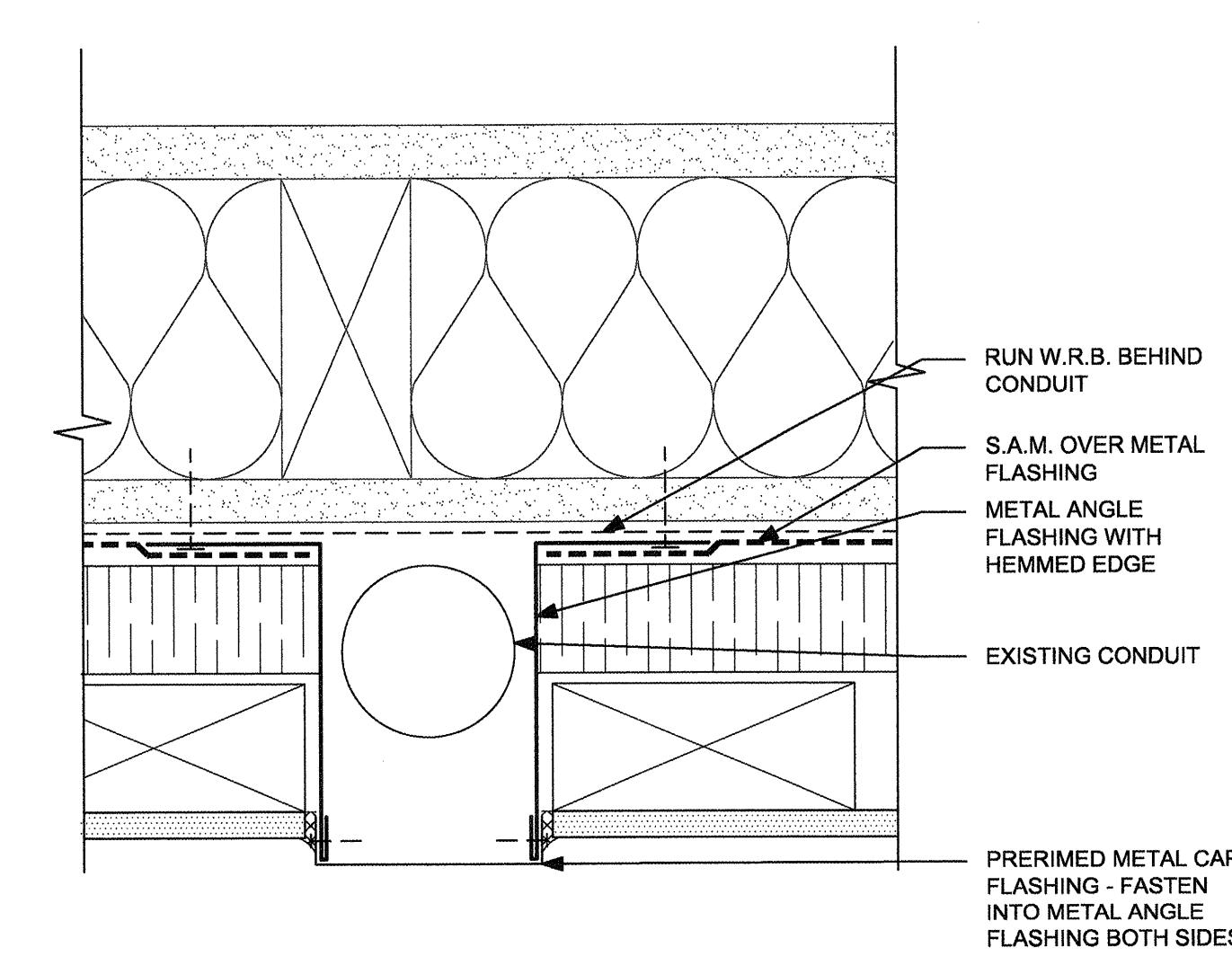
9 EQUIPMENT BOX

SCALE: 3" = 1'-0"



11 METER BOX - PLAN @ CONDUIT

SCALE: 6" = 1'-0"



12 FIELD BUTT JOINT AT LAP SIDING

SCALE: 6"-1'-0"

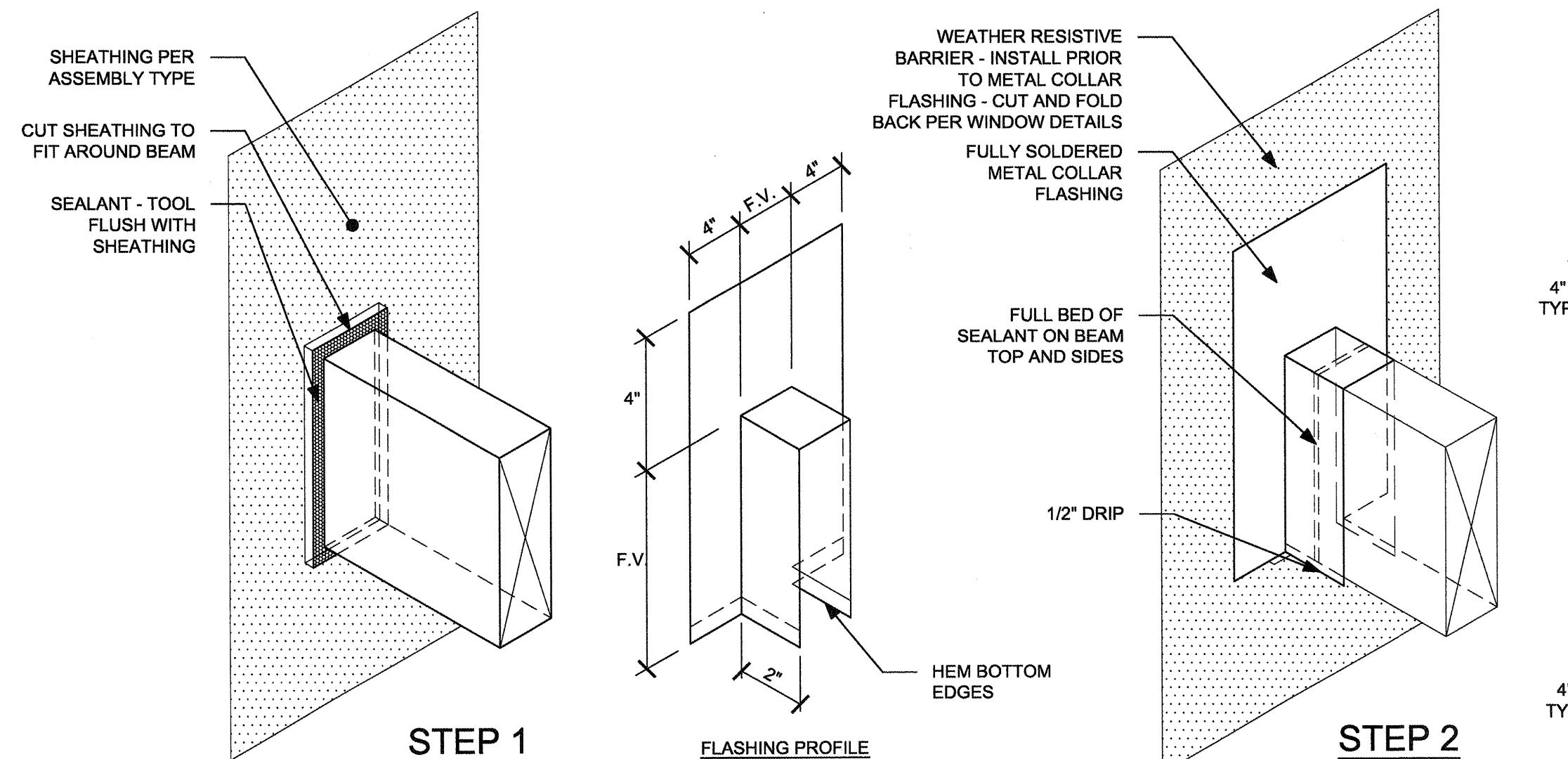


CARLETON HART  
322 nw 8th avenue portland, oregon 97209  
† 503 243 2252 | f 503 243 3261 | carletonhart.com

BID SET

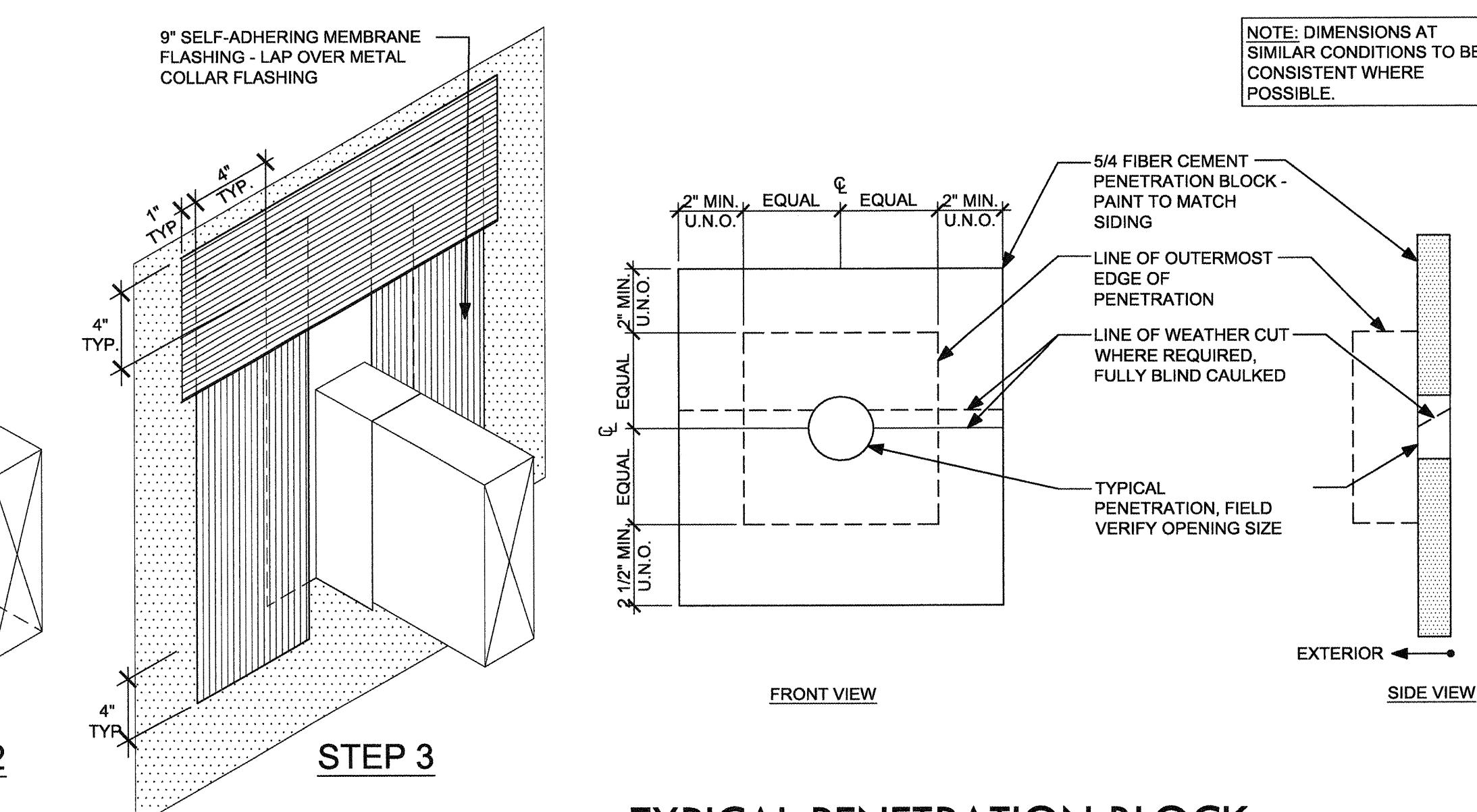
# 1 STAIR STRINGER AT WALL

SCALE: 3" = 1'-0"



# FLASHING AT BEAM TO WALL INTERSECTION

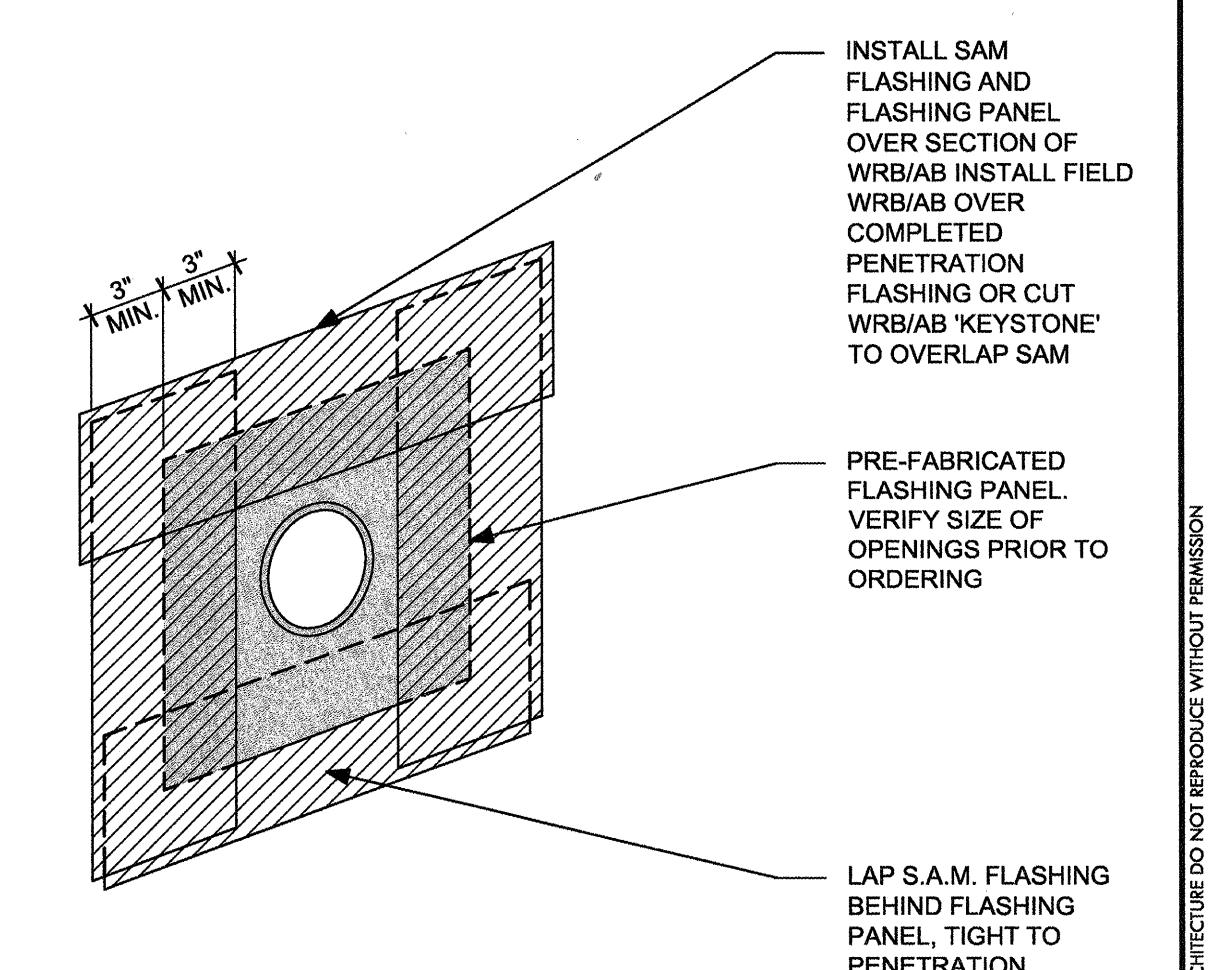
9 SCALE: N.T.S.



# 11 TYPICAL PENETRATION BLOCK

SCALE: 3" = 1'-0"

SCALE: 3" = 1'-0"

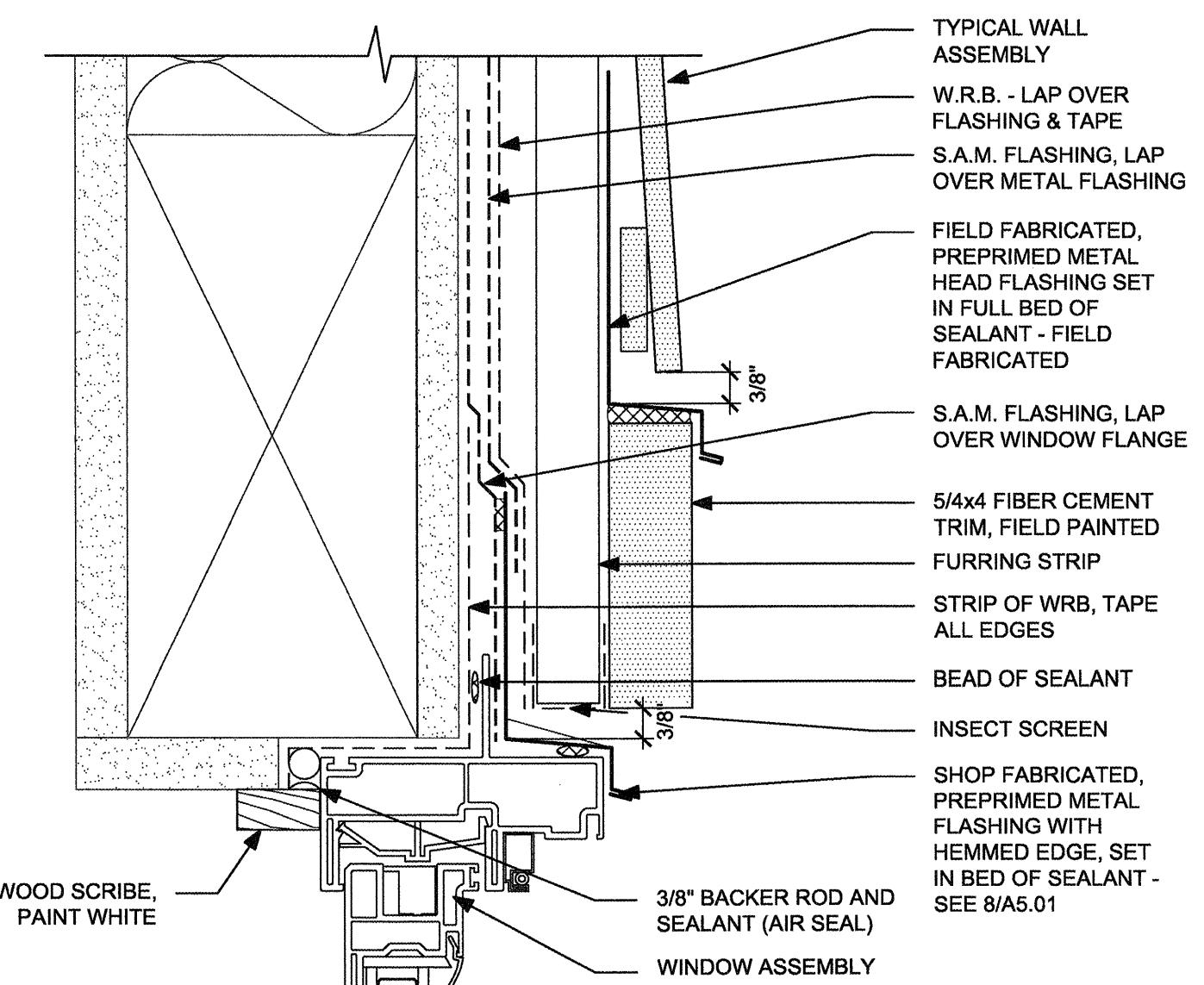


# 12 TYPICAL FLASHING PANEL

SCALE: N.T.S.

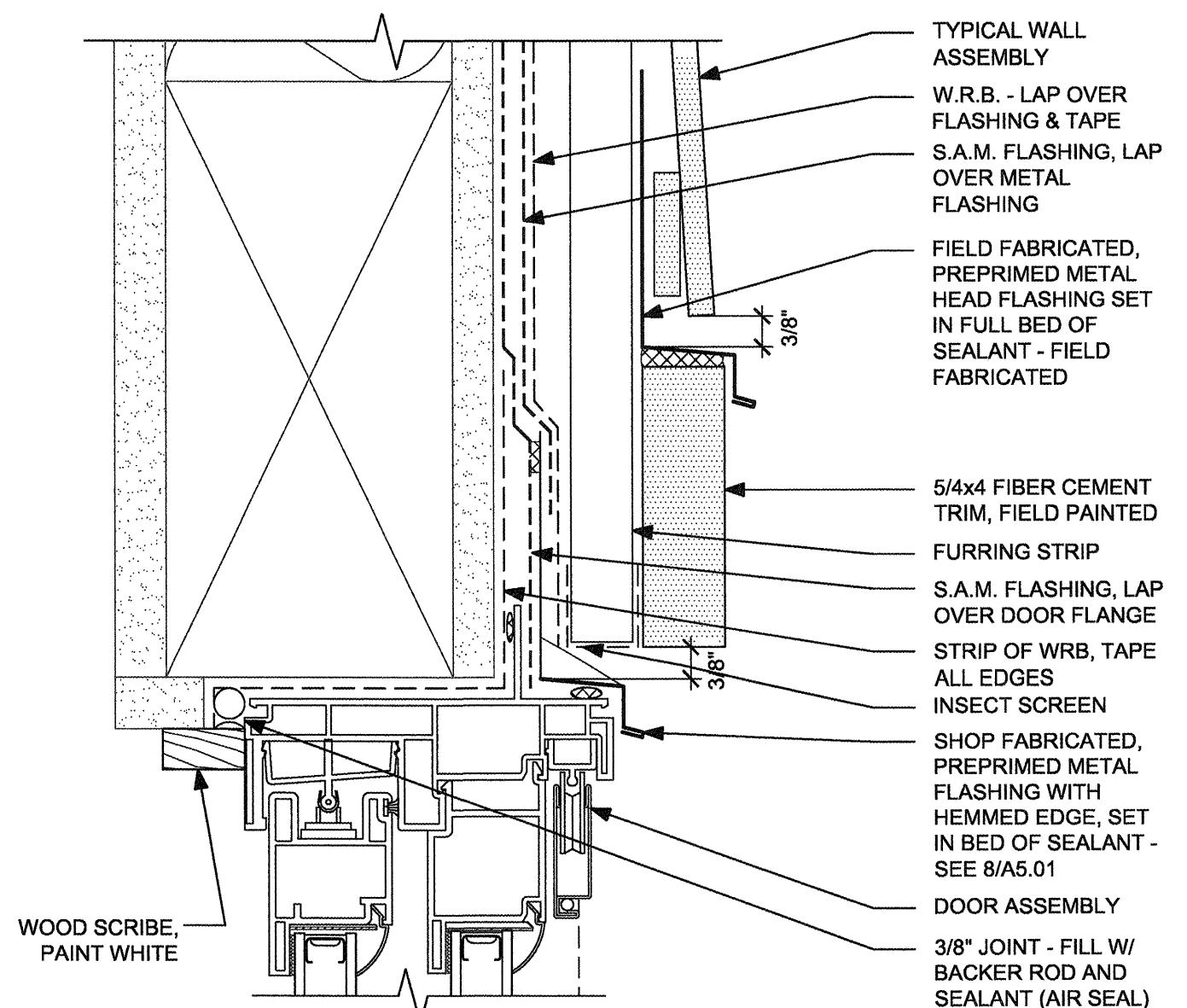
SCALE: N.T.S.

# A5.04



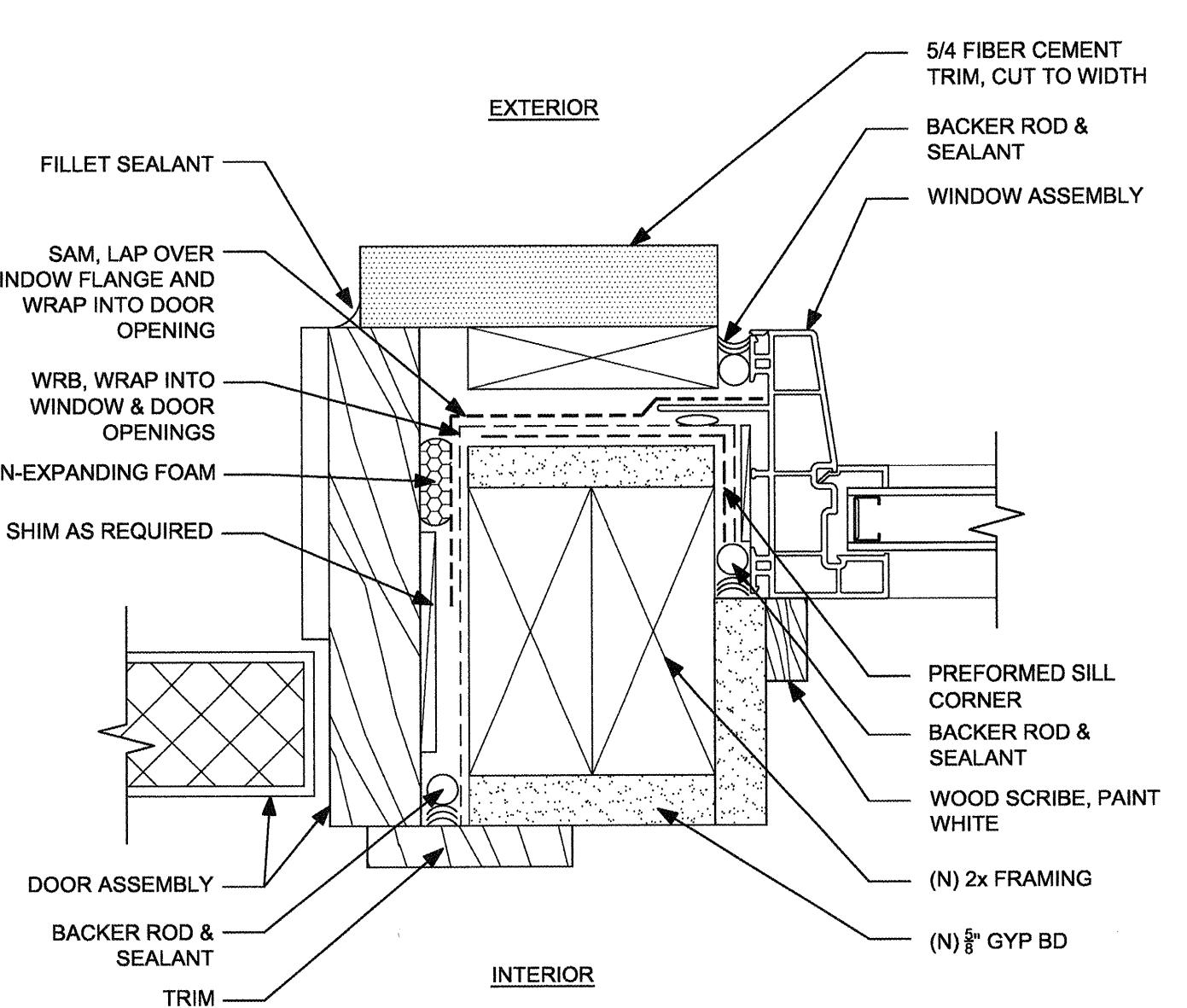
**1 WINDOW HEAD @ LAP SIDING**

SCALE: 6" = 1'-0"



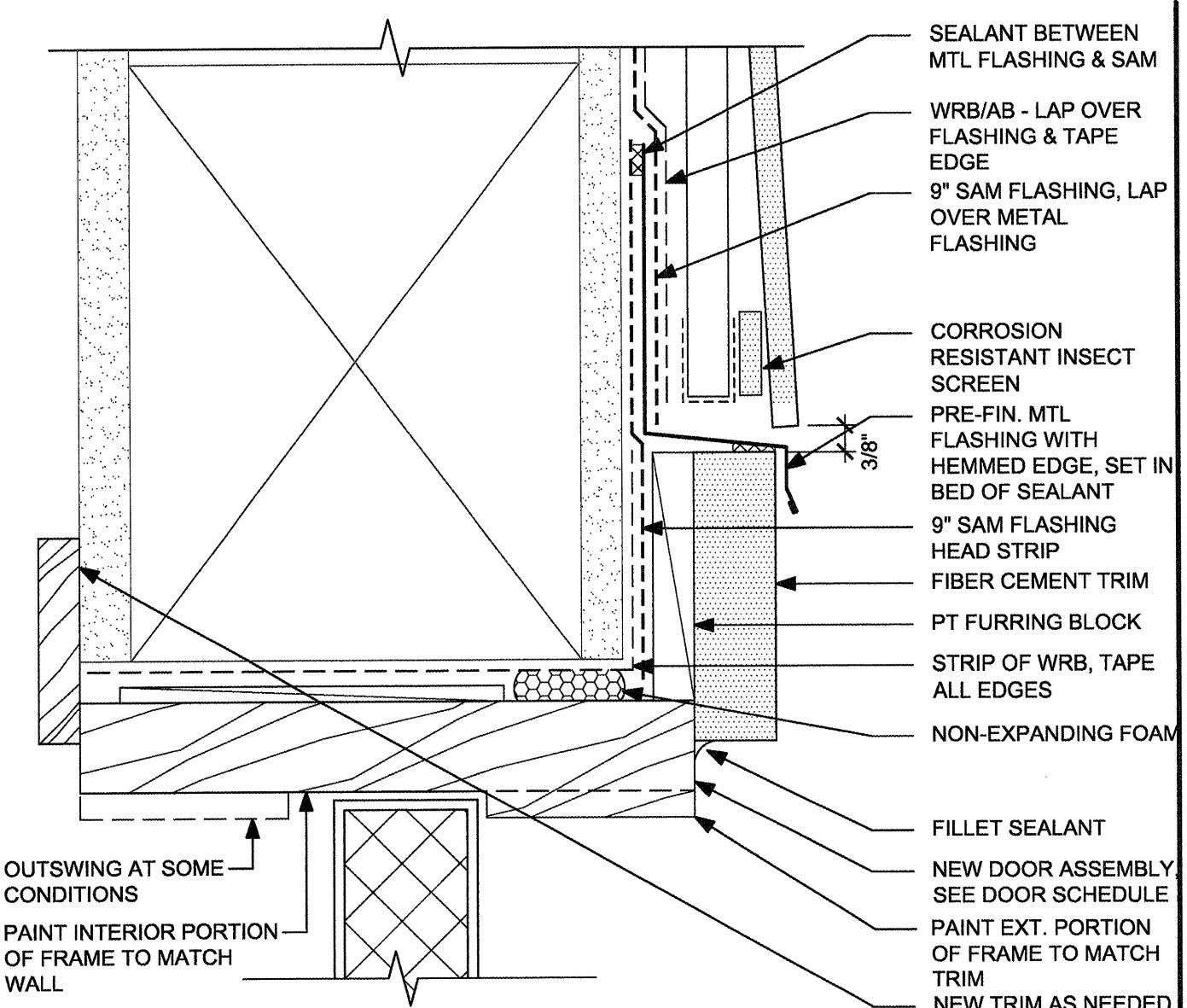
**2 SLIDING DOOR HEAD @ LAP SIDING**

SCALE: 6" = 1'-0"



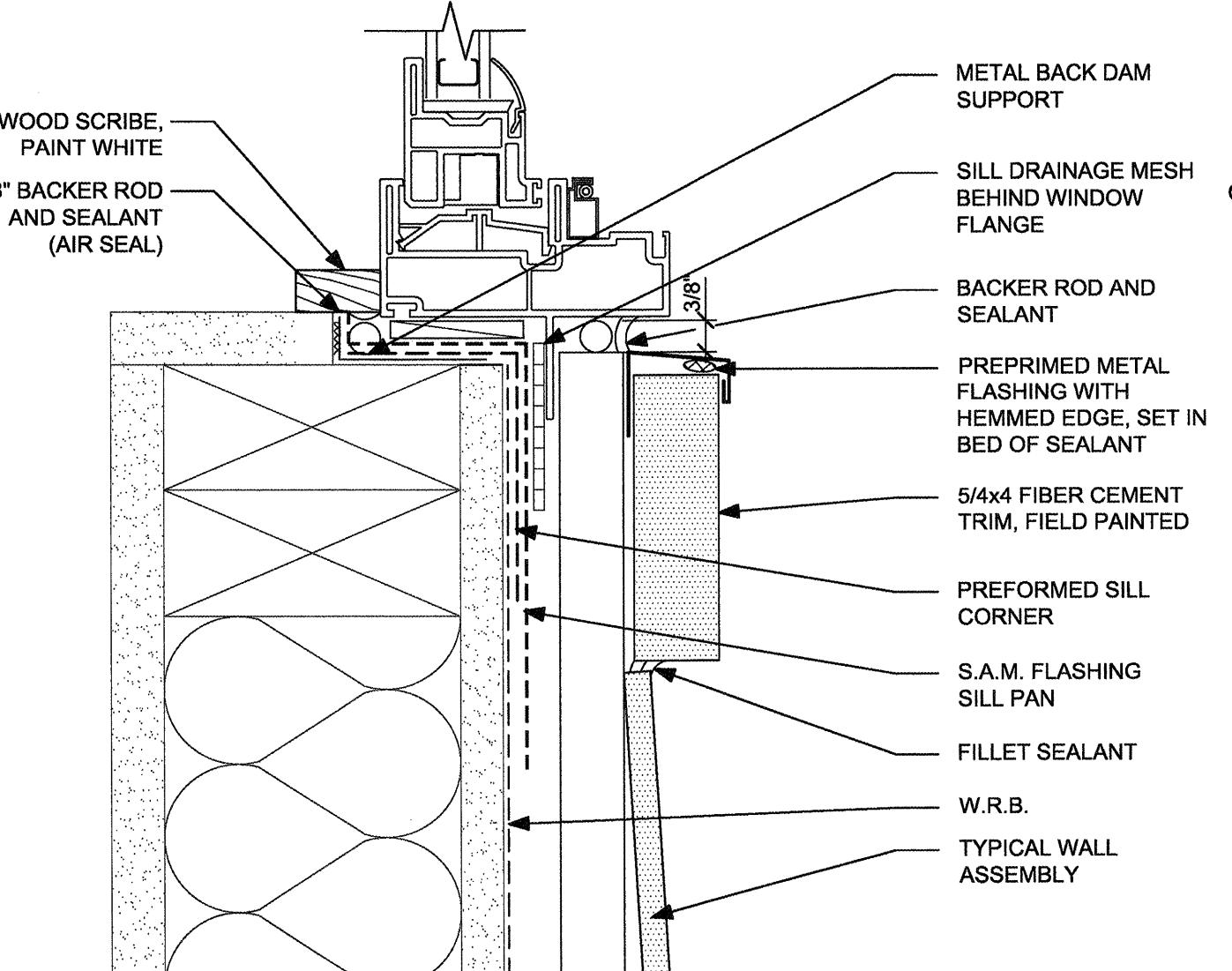
**3 DOOR/WINDOW MULLION**

SCALE: 6" = 1'-0"



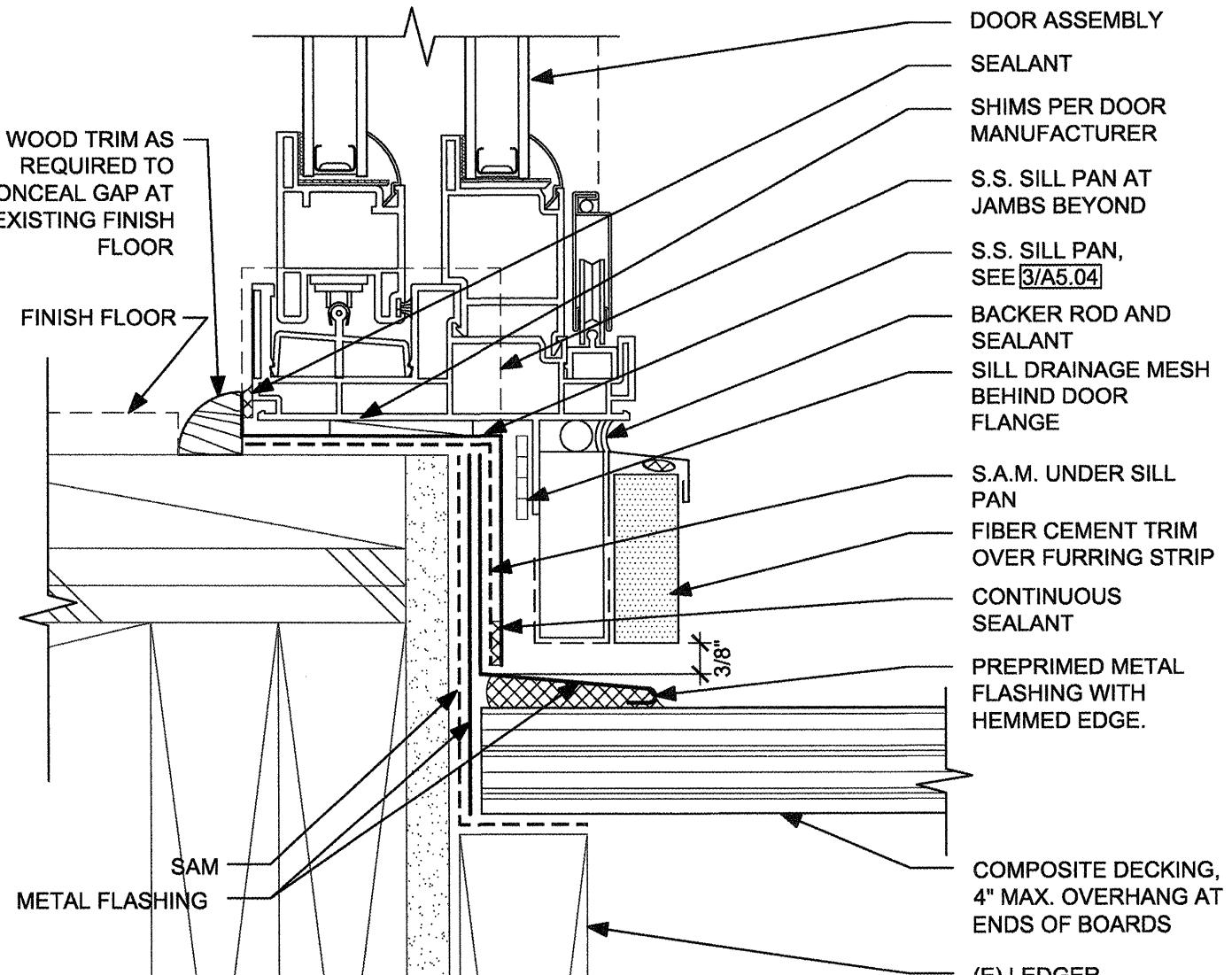
**4 TYPICAL DOOR HEAD**

SCALE: 6" = 1'-0"



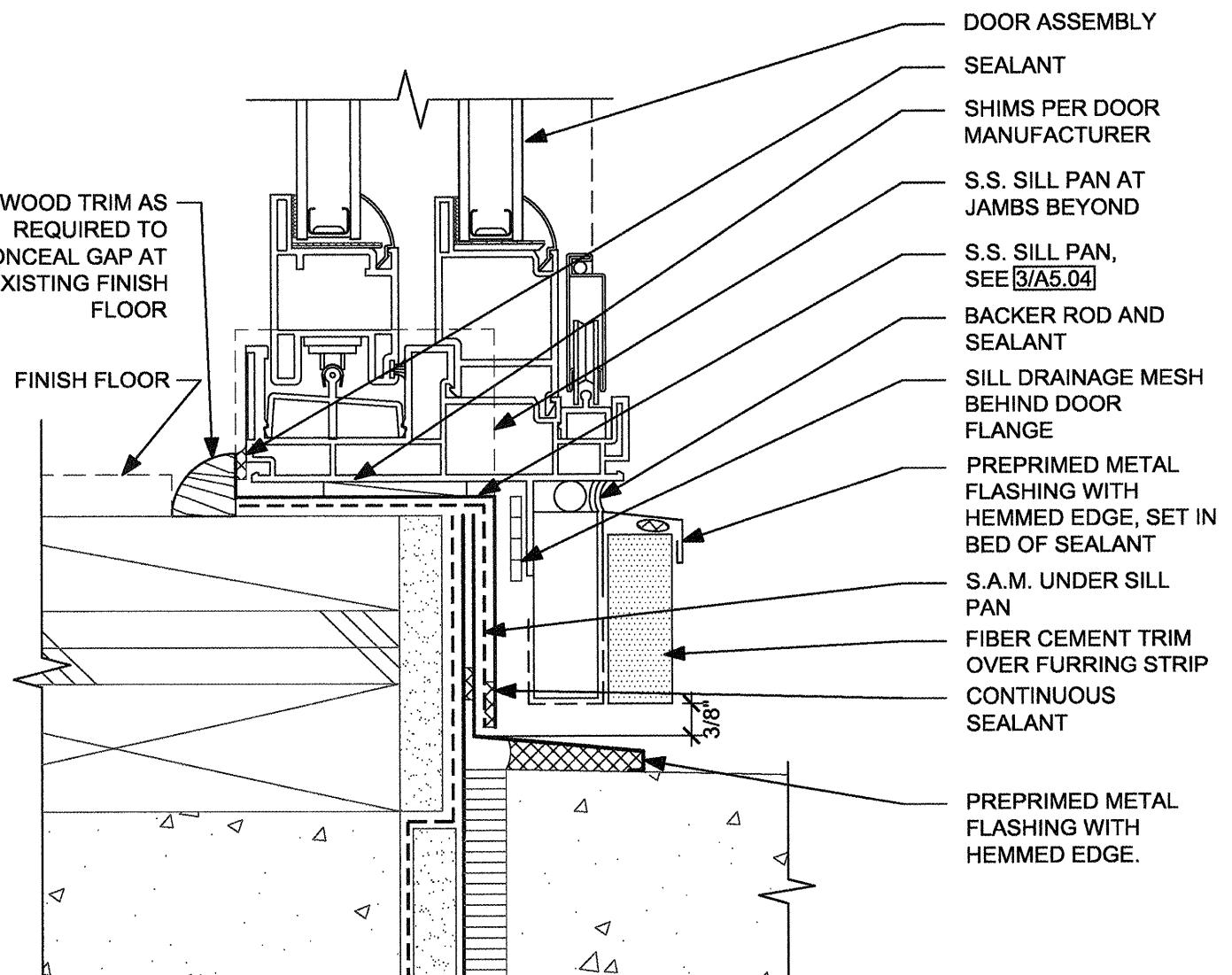
**5 WINDOW SILL @ LAP SIDING**

SCALE: 6" = 1'-0"



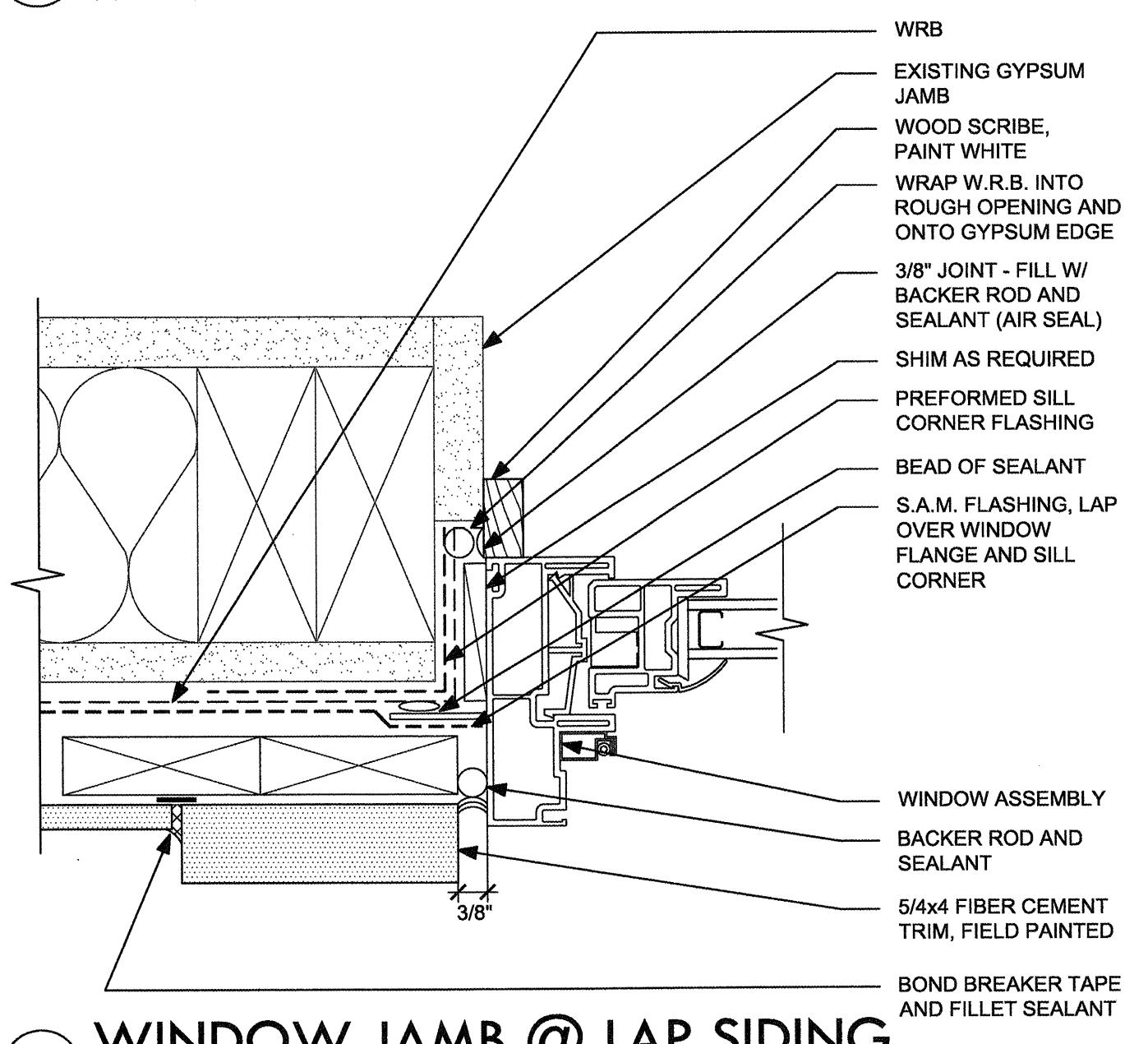
**6 SLIDING DOOR THRESHOLD @ DECK**

SCALE: 6" = 1'-0"



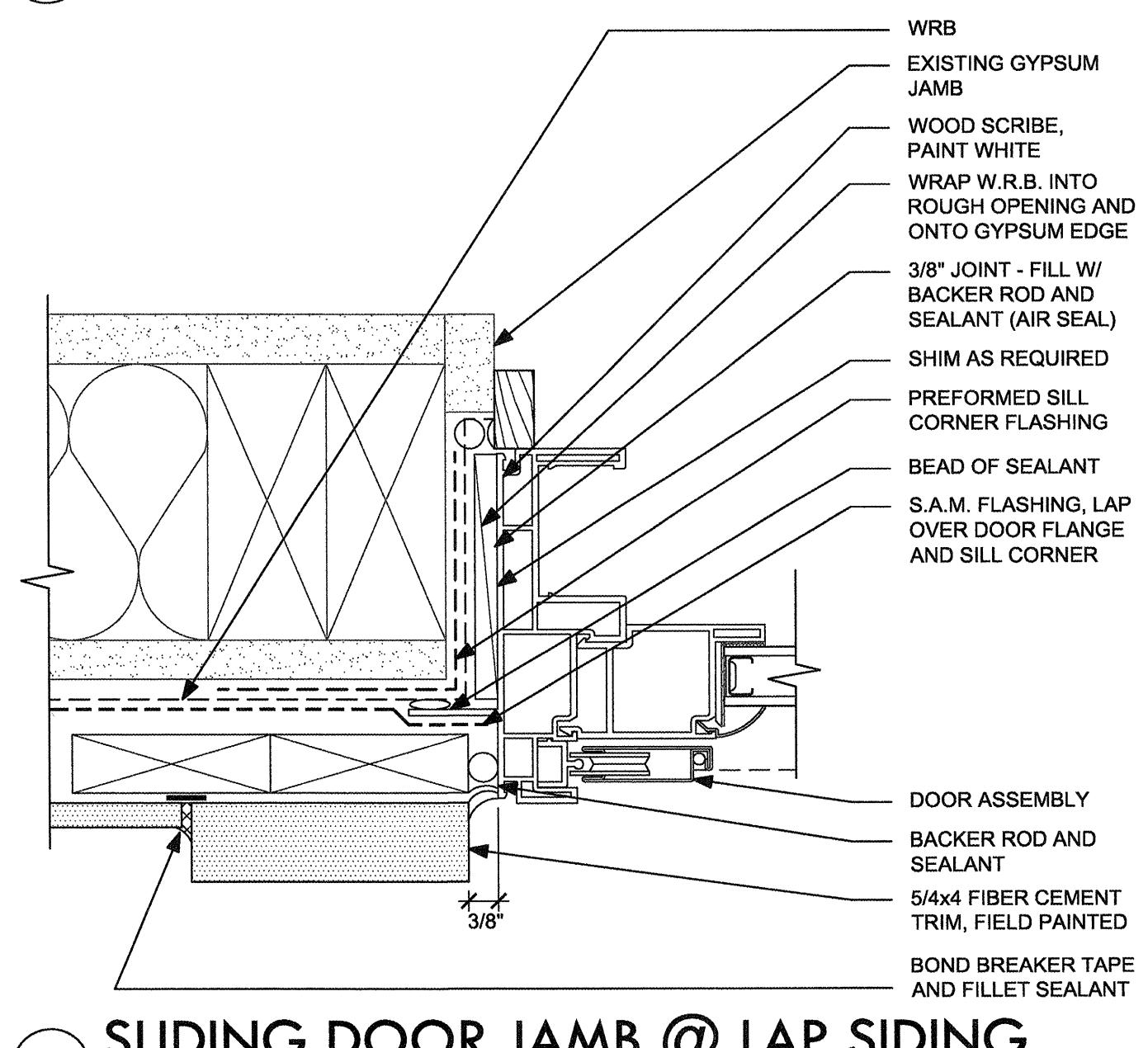
**7 SLIDING DOOR THRESHOLD @ CONC.**

SCALE: 6" = 1'-0"



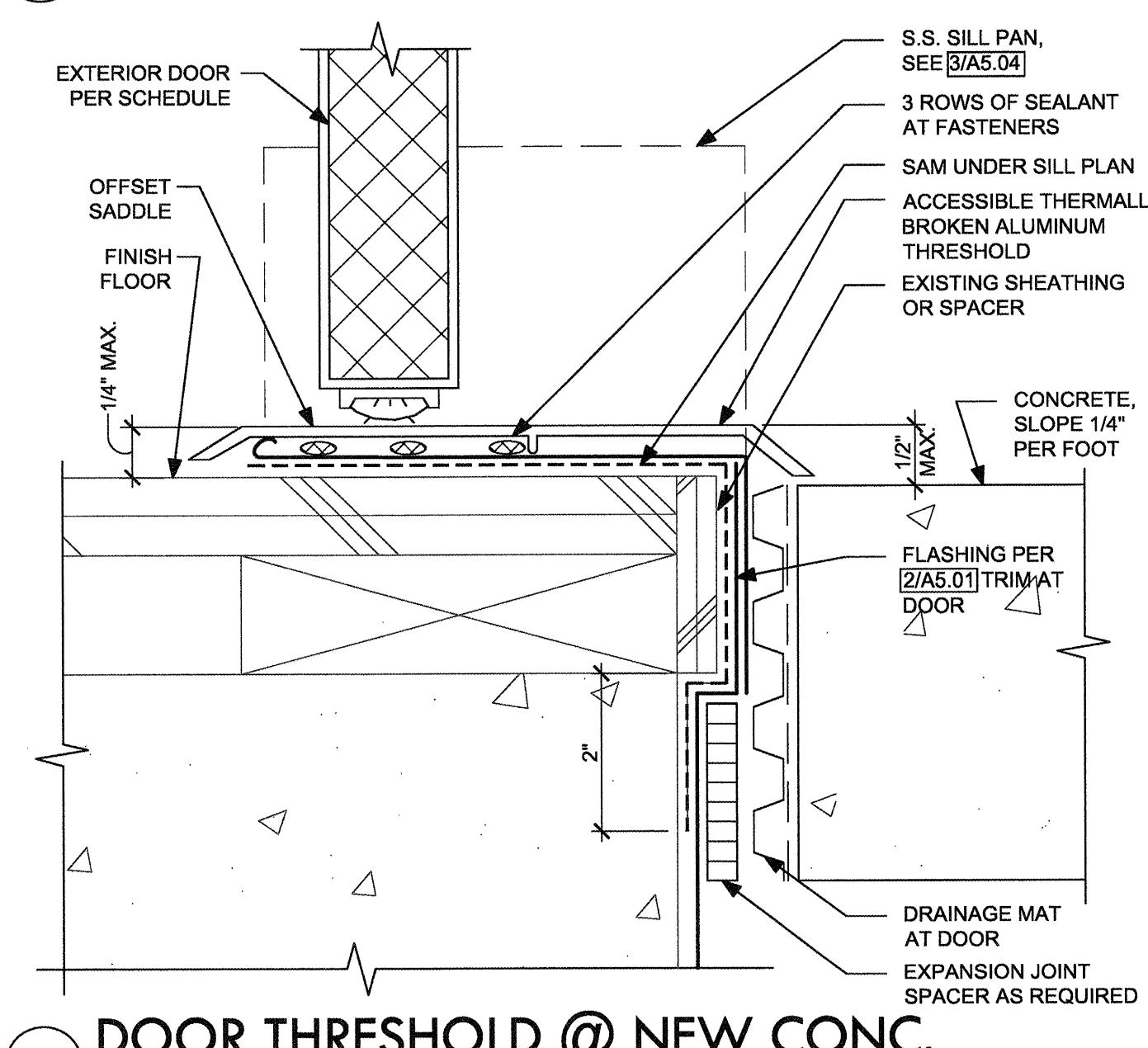
**9 WINDOW JAMB @ LAP SIDING**

SCALE: 6" = 1'-0"



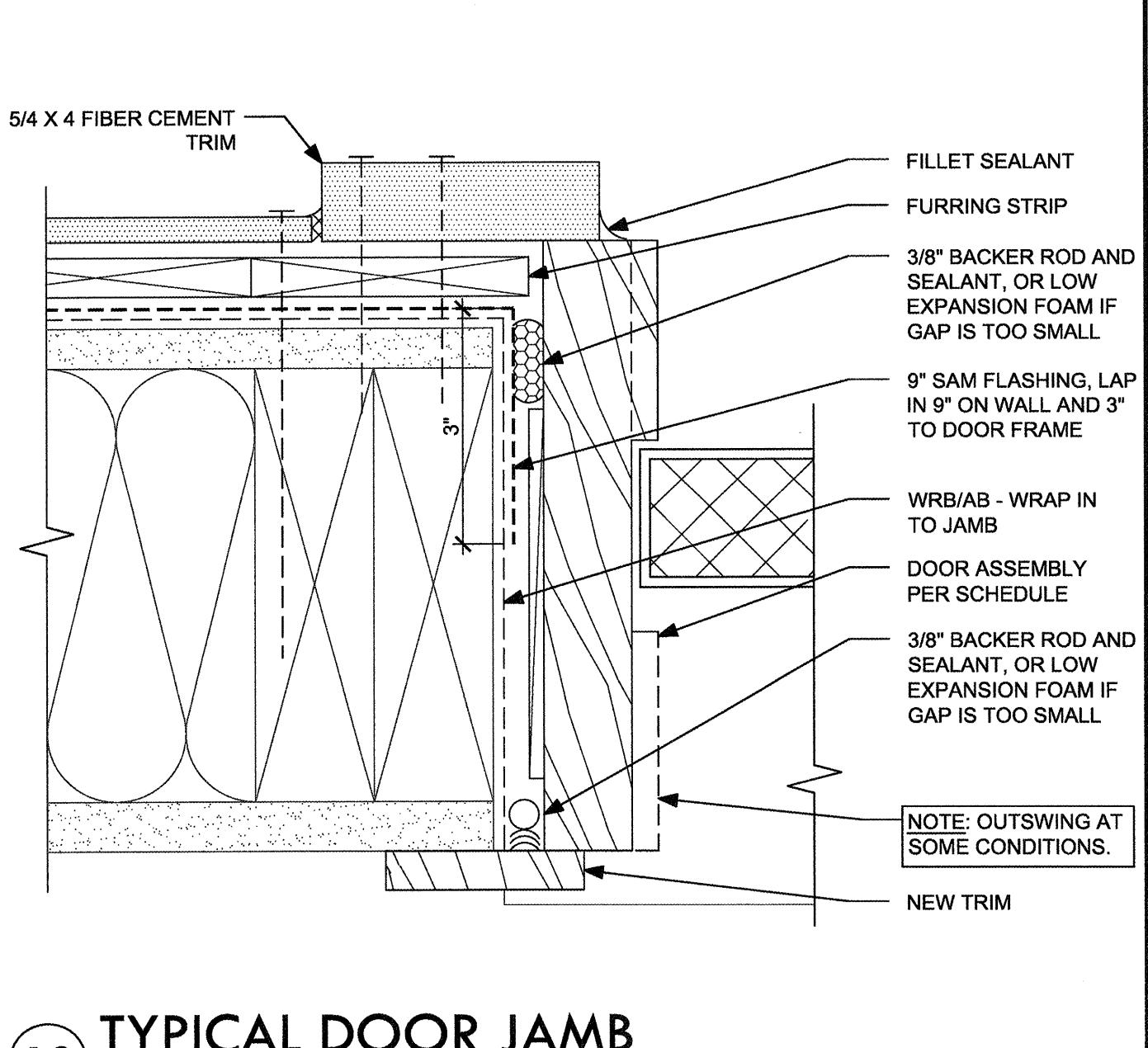
**10 SLIDING DOOR JAMB @ LAP SIDING**

SCALE: 6" = 1'-0"



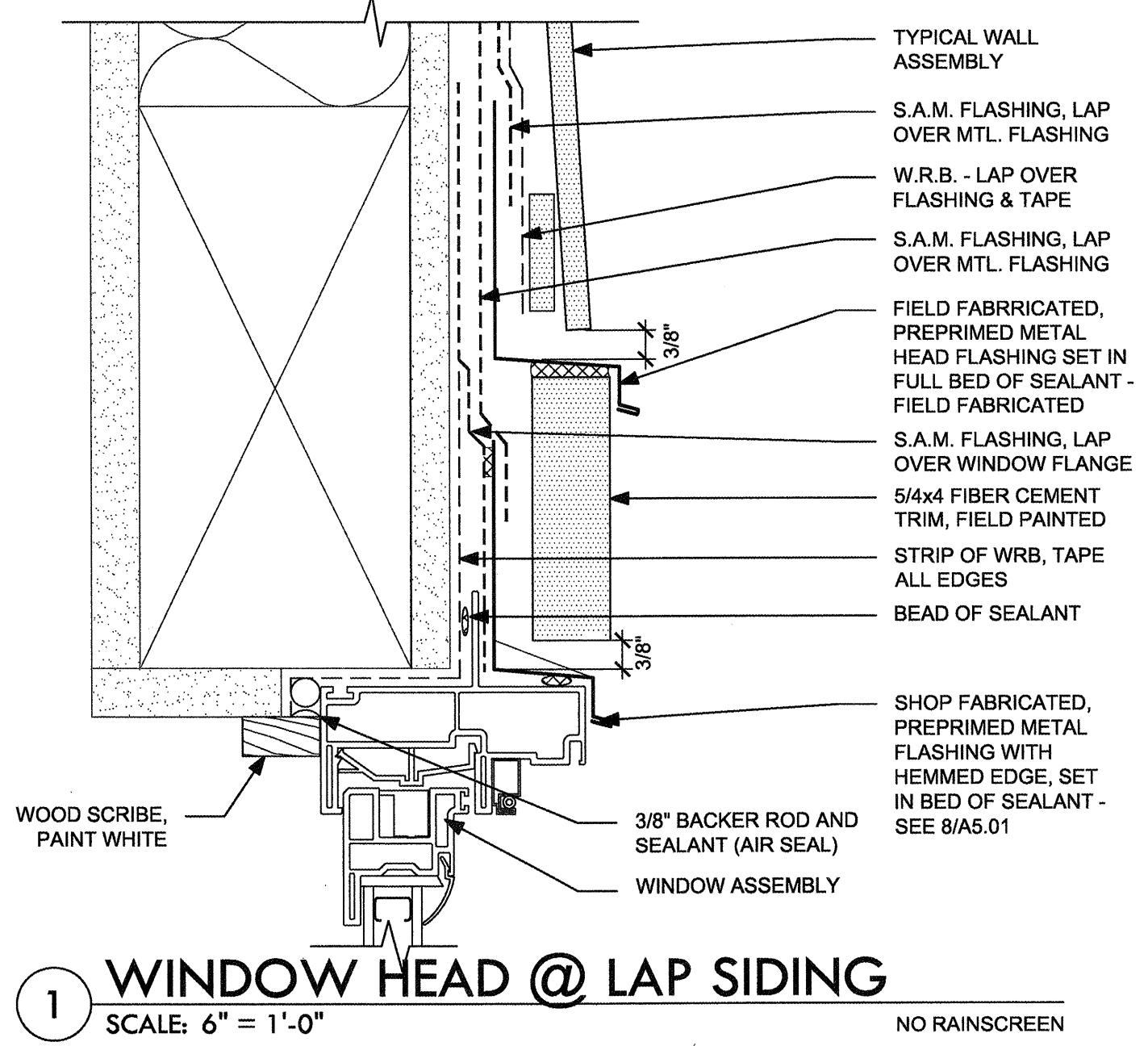
**11 DOOR THRESHOLD @ NEW CONC.  
AT ACCESSIBLE DOORS**

SCALE: 6" = 1'-0"



**12 TYPICAL DOOR JAMB**

SCALE: 6" = 1'-0"



1 WINDOW HEAD @ LAP SIDING

SCALE: 6" = 1'-0"

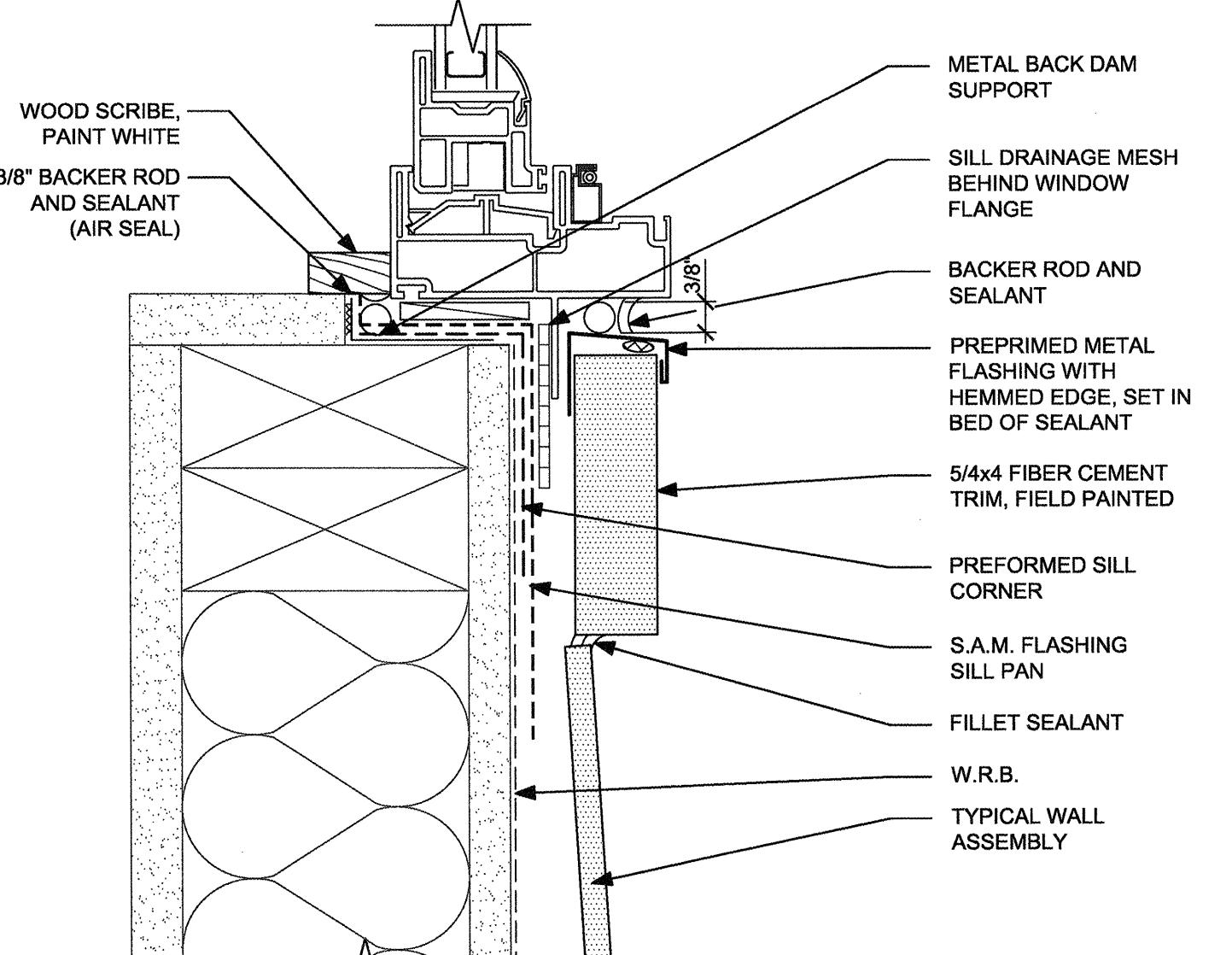
NO RAINSCREEN

2 SLIDING DOOR HEAD @ LAP SIDING

SCALE: 6" = 1'-0"

NO RAINSCREEN

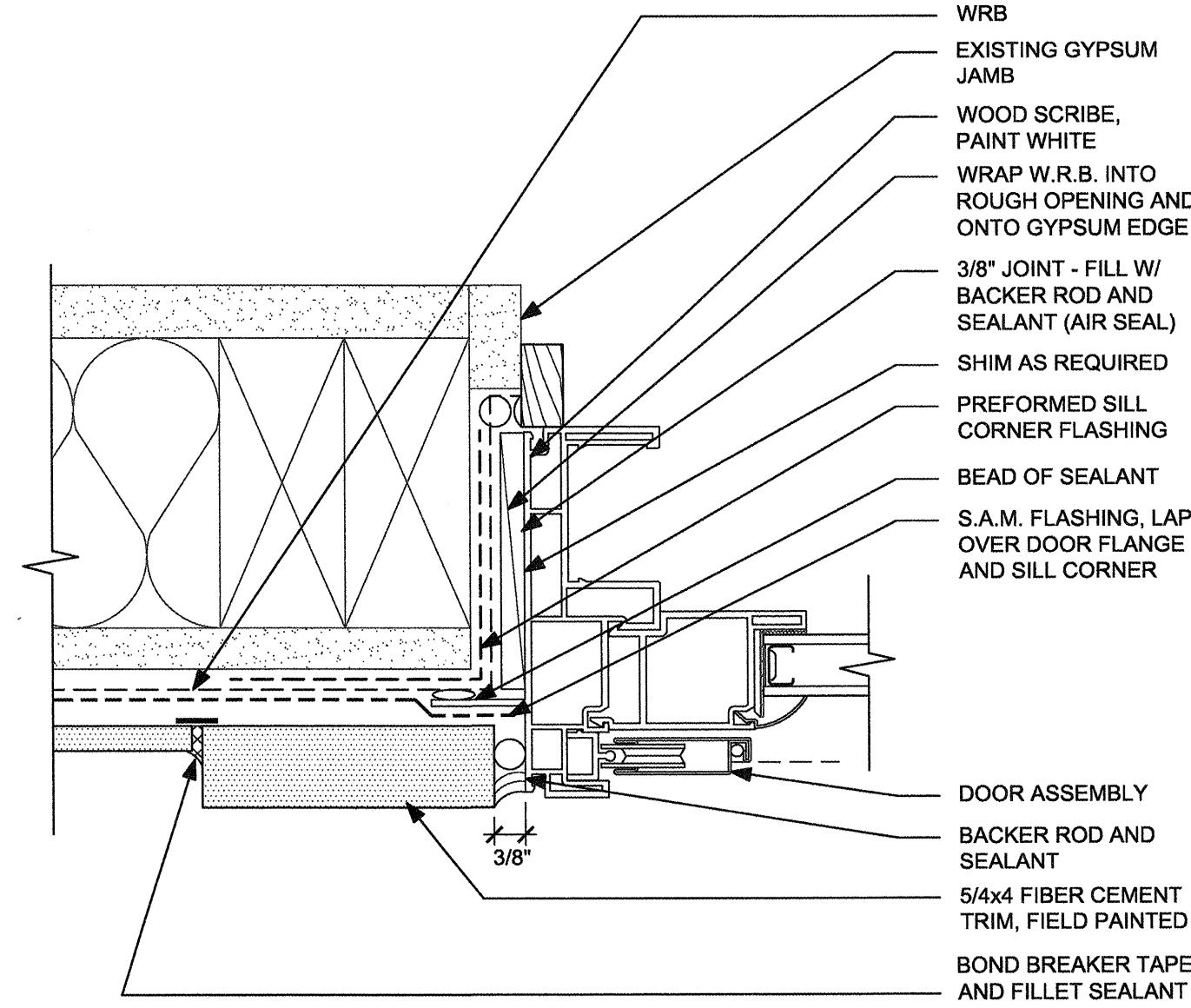
WOOD SCRIBE, PAINT WHITE, 3/8" BACKER ROD AND SEALANT (AIR SEAL), METAL BACK DAM SUPPORT, SILL DRAINAGE MESH BEHIND WINDOW FLANGE, BACKER ROD AND SEALANT, PREPRIMED METAL FLASHING WITH HEMMED EDGE, SET IN BED OF SEALANT, 5/4x4 FIBER CEMENT TRIM, FIELD PAINTED, PREFORMED SILL CORNER, S.A.M. FLASHING SILL PAN, FILLET SEALANT, W.R.B., TYPICAL WALL ASSEMBLY.



5 WINDOW SILL @ LAP SIDING

SCALE: 6" = 1'-0"

NO RAINSCREEN



9 WINDOW JAMB @ LAP SIDING

SCALE: 6" = 1'-0"

NO RAINSCREEN

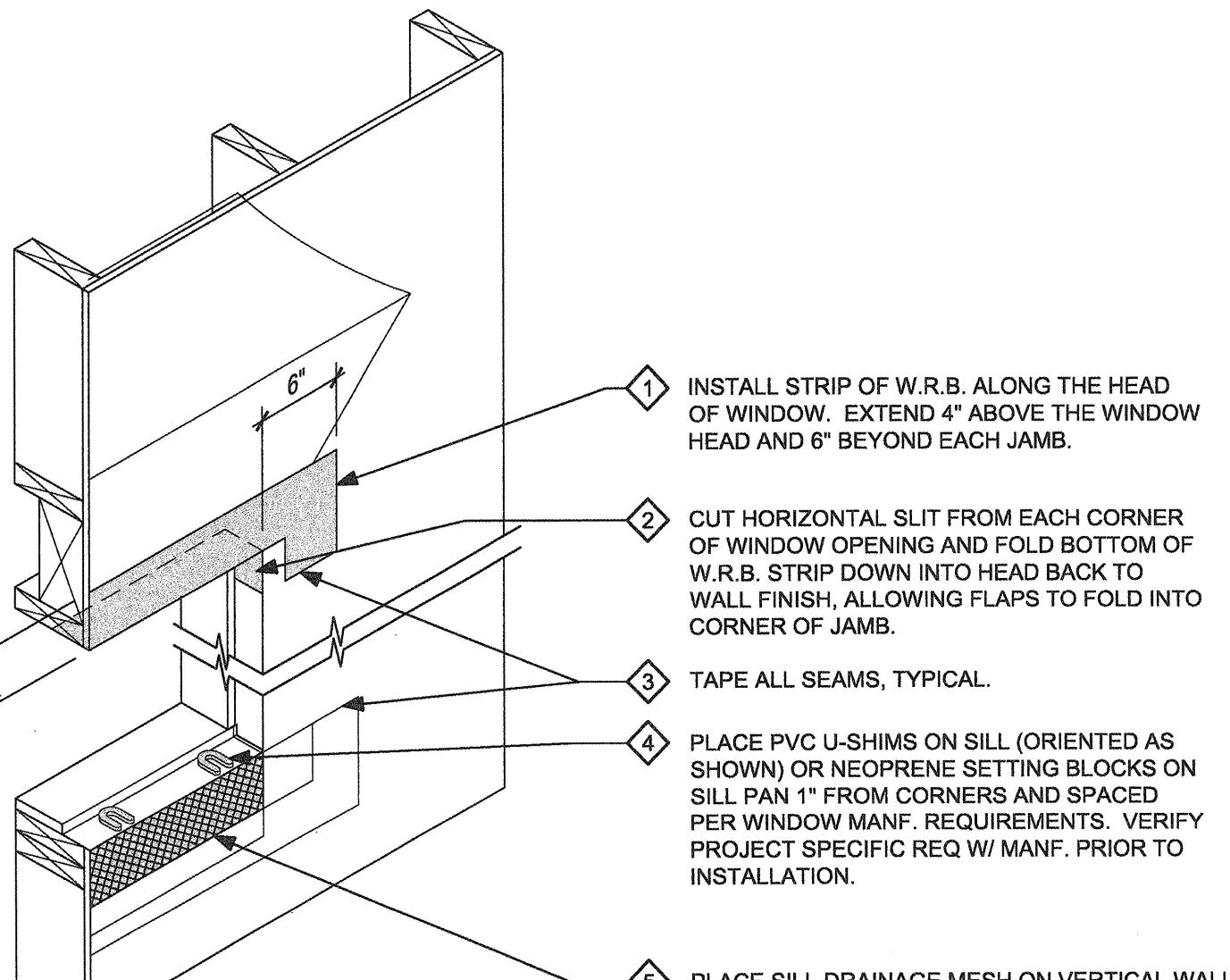
10 SLIDING DOOR JAMB @ LAP SIDING

SCALE: 6" = 1'-0"

NO RAINSCREEN

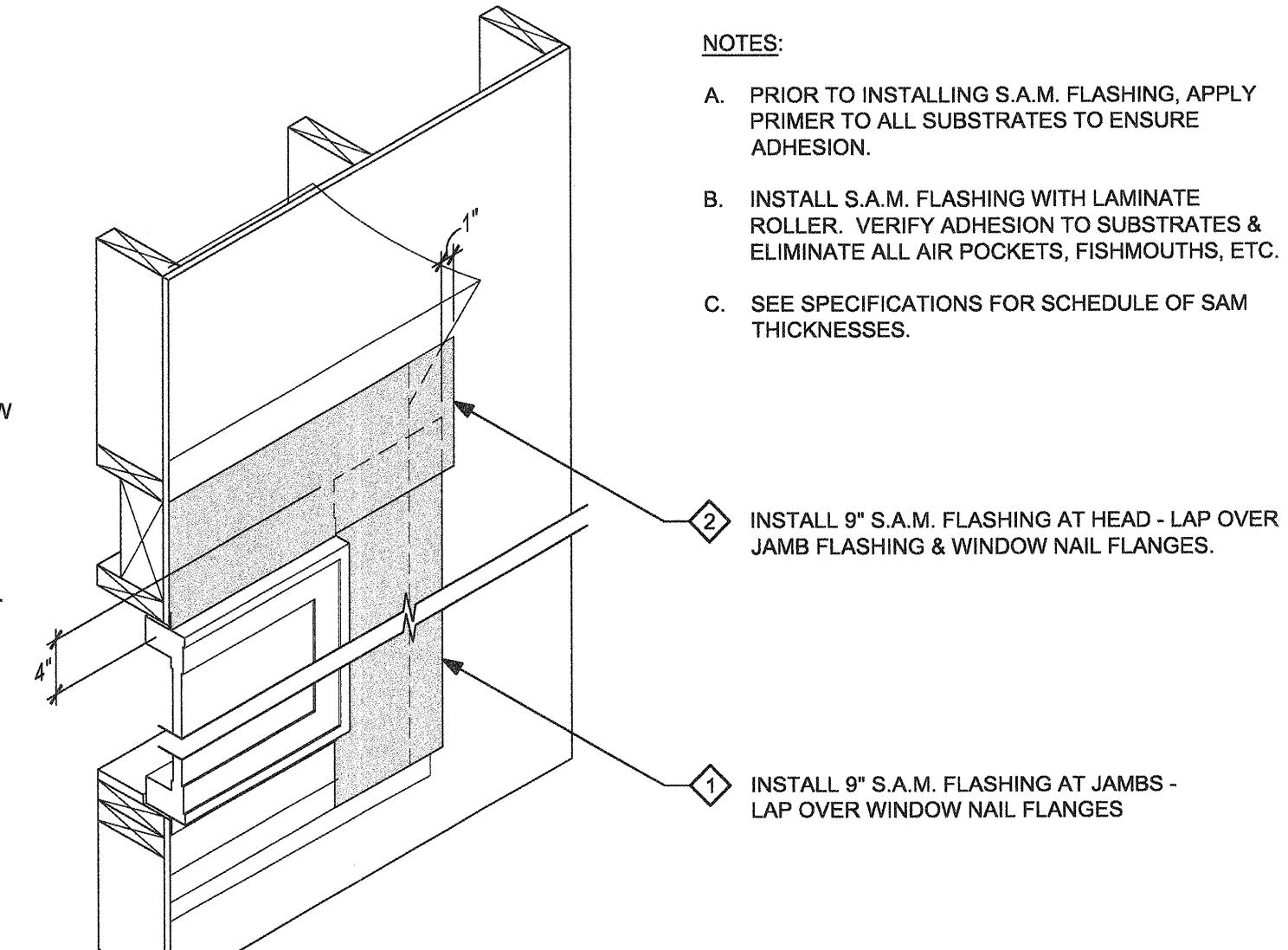
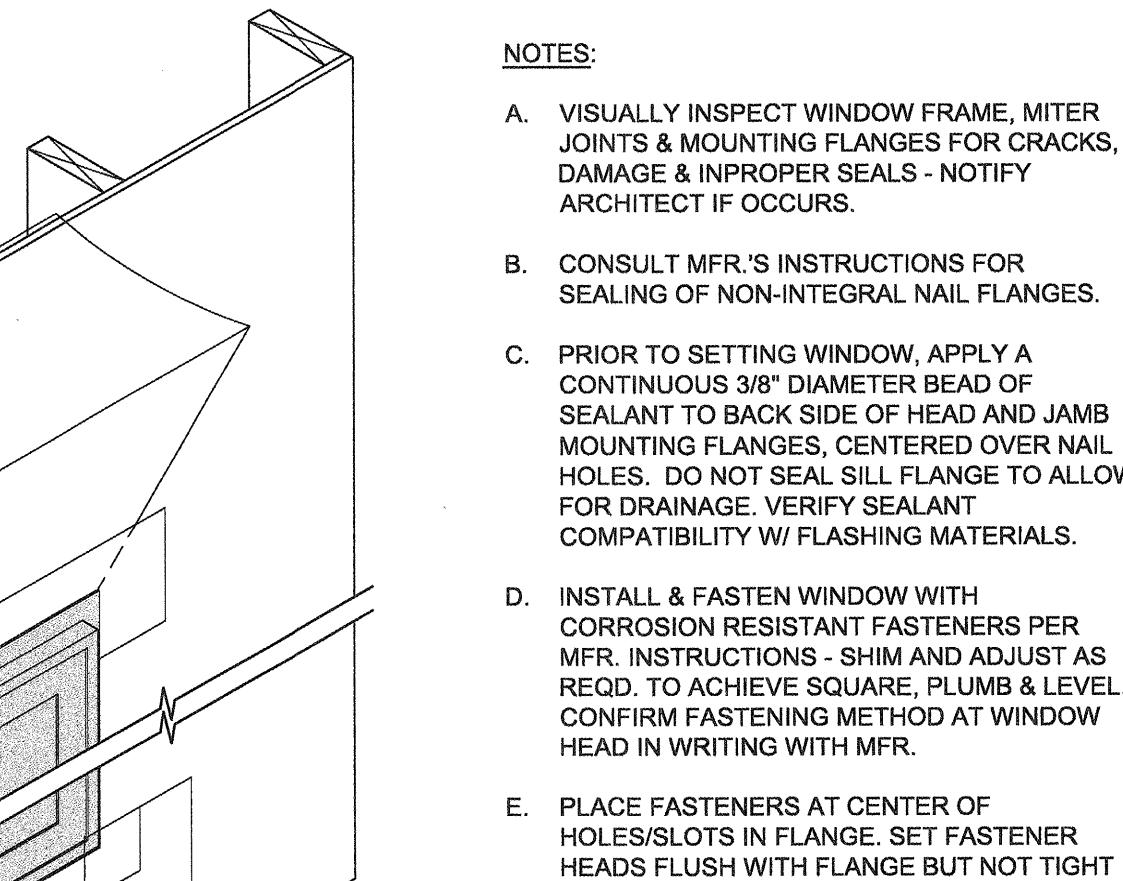
## 1 STEP 1 - W.R.B. INSTALLATION

SCALE: N.T.S.



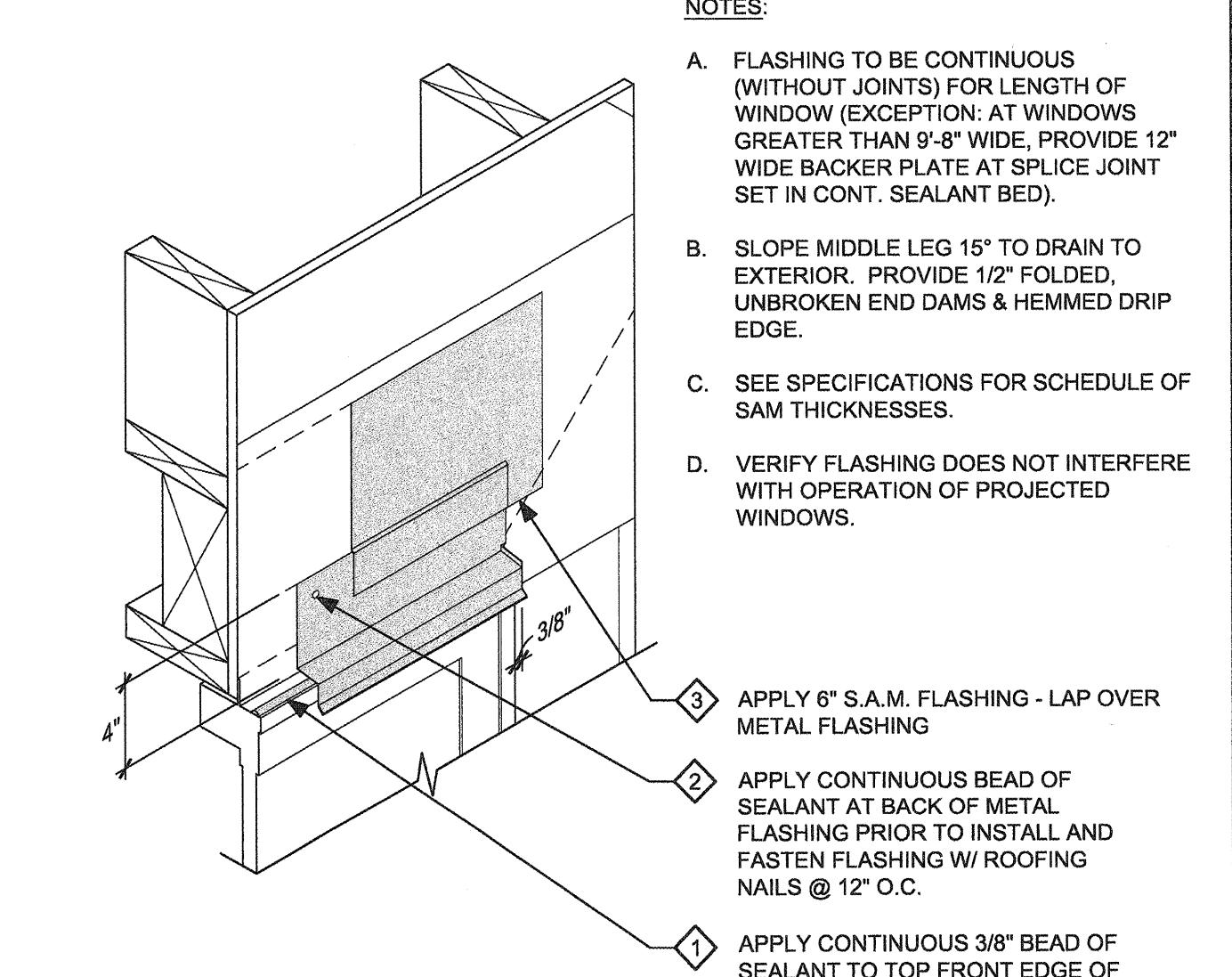
## 2 STEP 2: S.A.M. FLASHING @ SILL

SCALE: N.T.S. ENLARGED



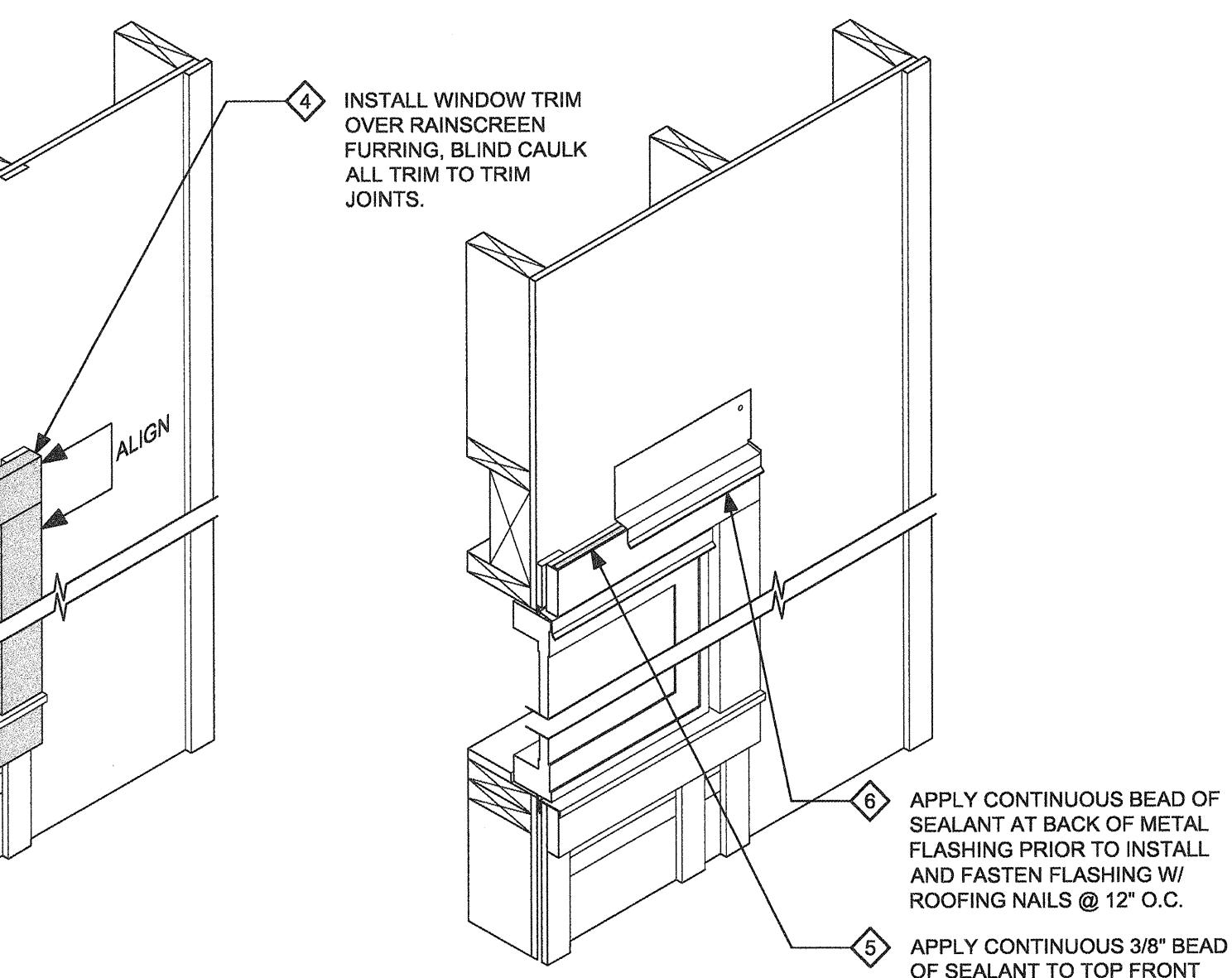
## 3 STEP 3 - W.R.B. FOLDED @ JAMBS

SCALE: N.T.S.



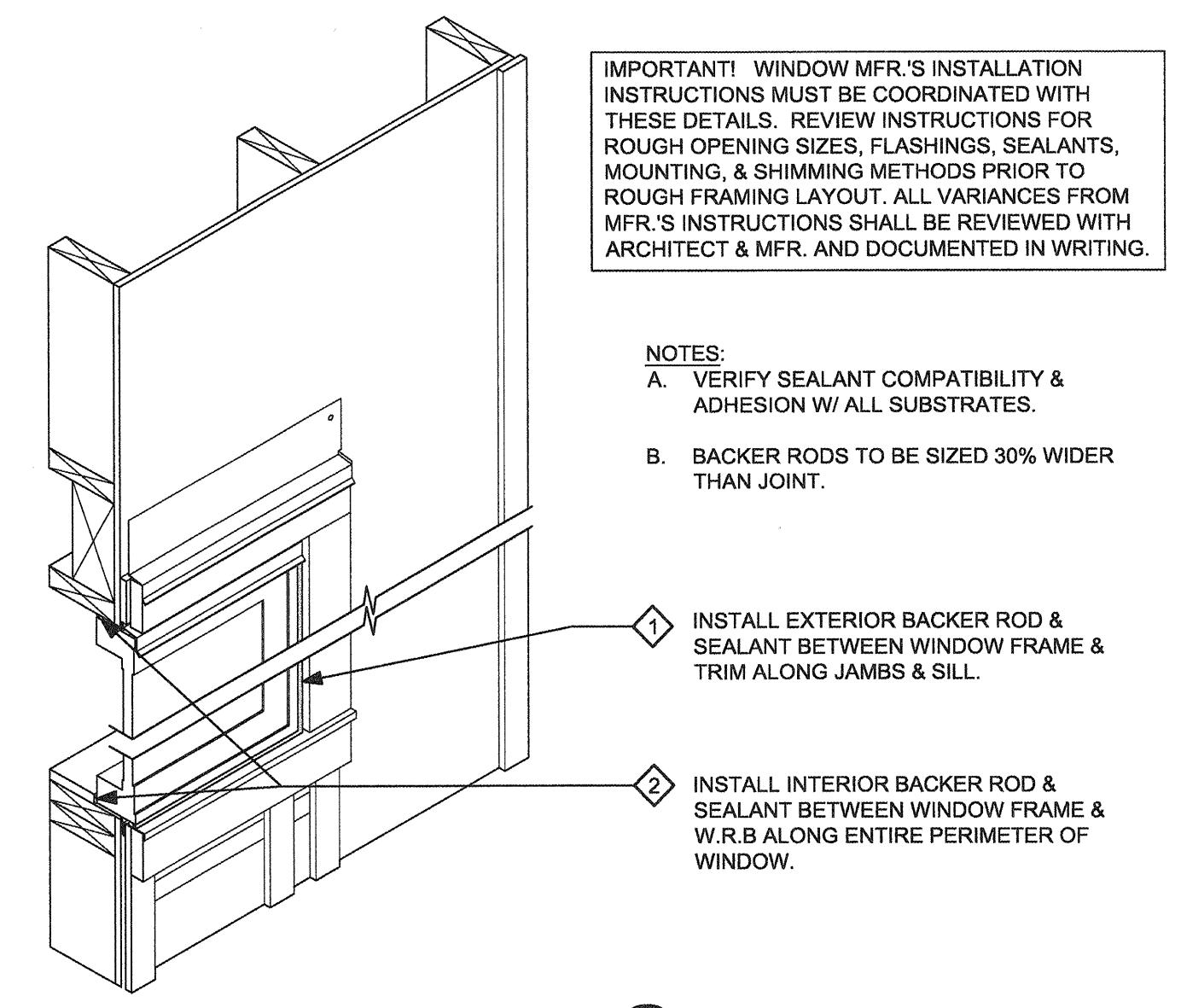
## 4 STEP 4 - W.R.B. WRAP @ HEAD

SCALE: N.T.S.



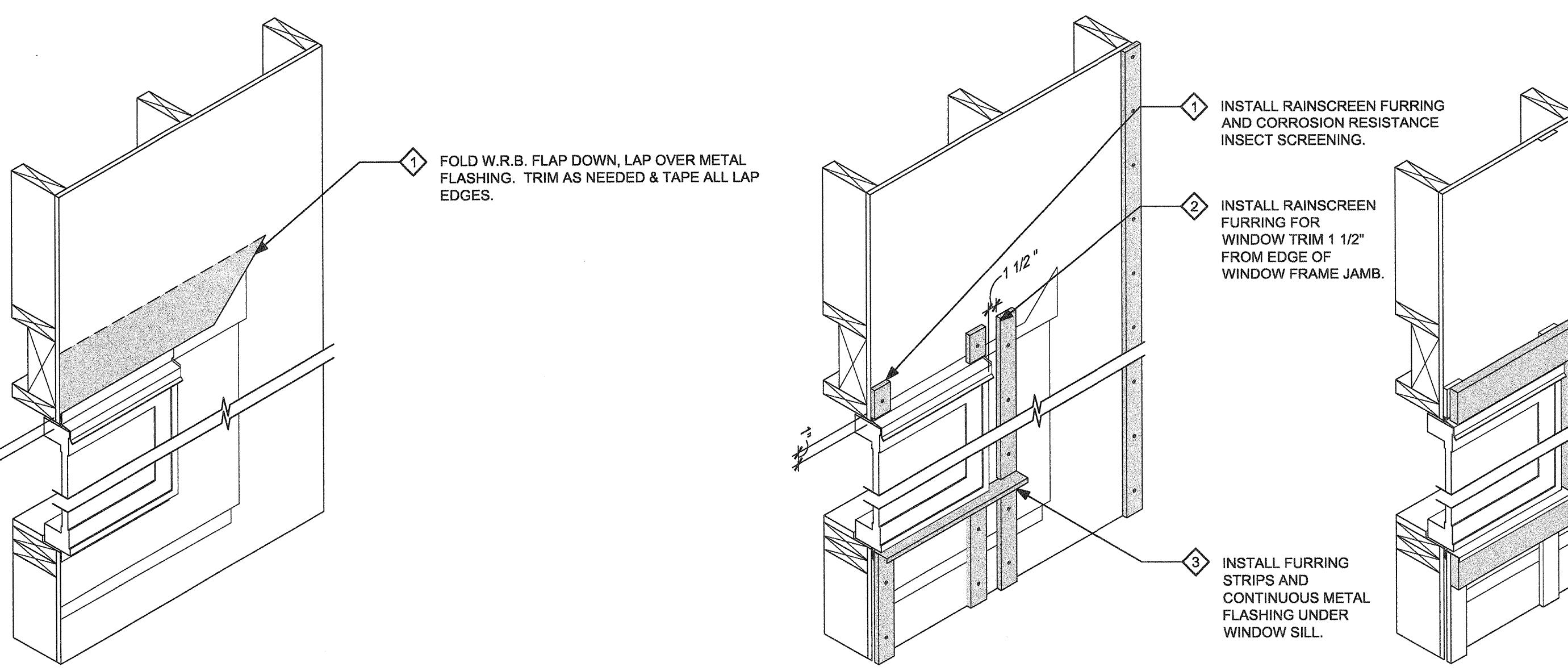
## 5 STEP 5 - WINDOW INSTALLATION

SCALE: N.T.S.



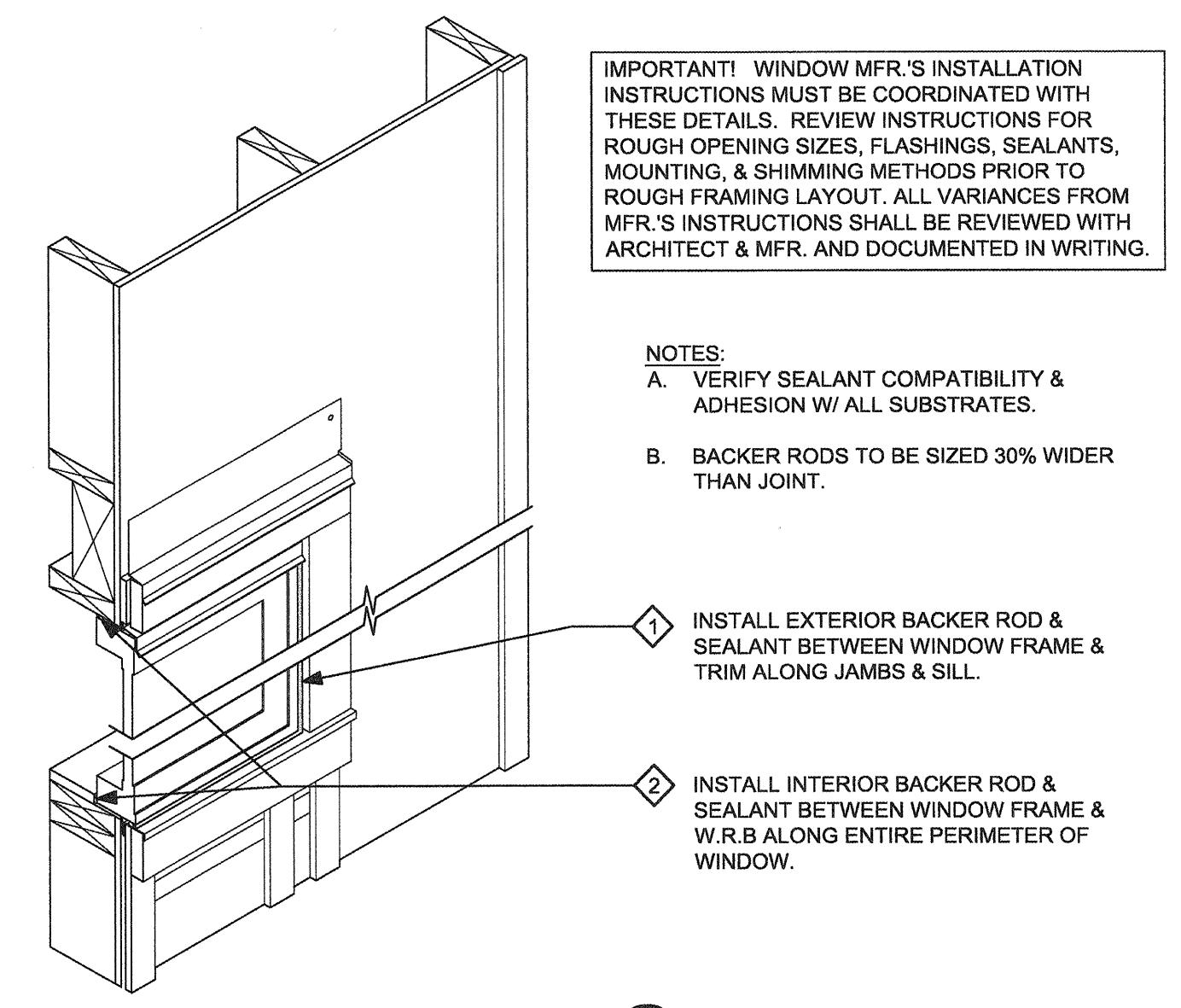
## 6 STEP 6 - S.A.M. FLASHING

SCALE: N.T.S.



## 7 STEP 7: HEAD FLASHING

SCALE: N.T.S. ENLARGED



## 8 STEP 8 - W.R.B. LAP @ HEAD

SCALE: N.T.S.

## 9 STEP 9 - FURRING STRIPS & FLASHINGS

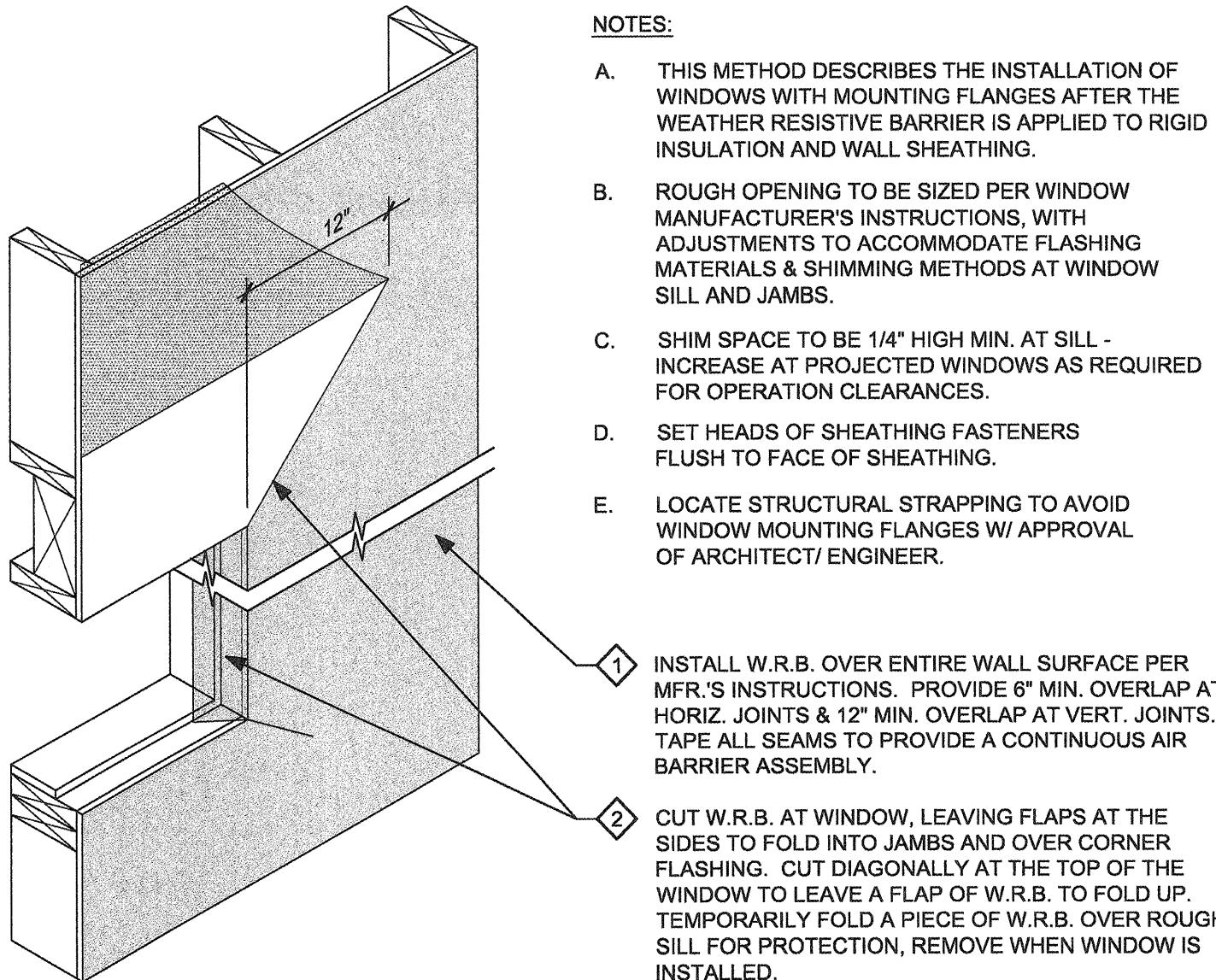
SCALE: N.T.S.

## 10 STEP 10 - SEALANT @ INT. & EXT.

SCALE: N.T.S.

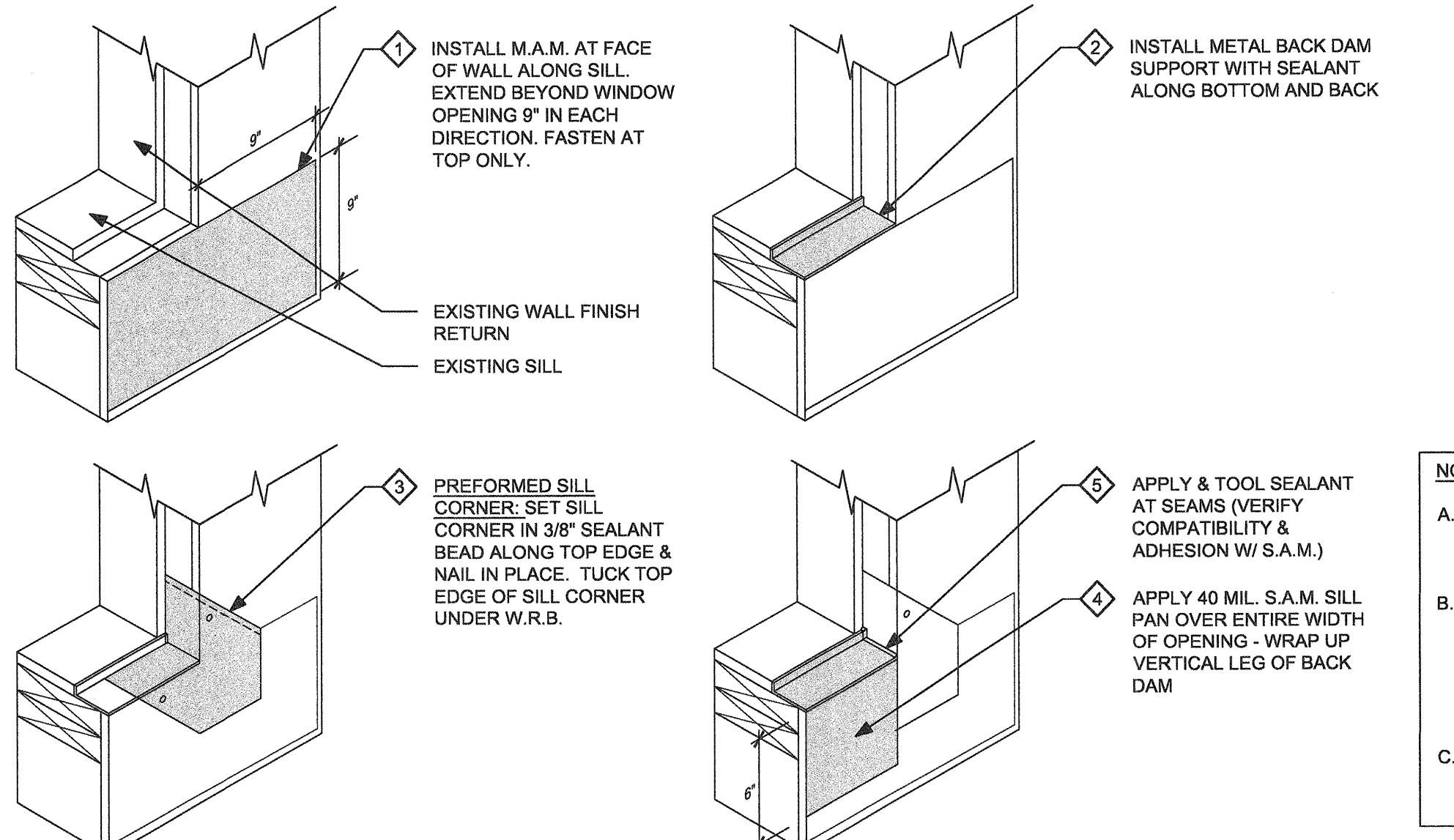
NOTES:

- A. THIS METHOD DESCRIBES THE INSTALLATION OF WINDOWS WITH MOUNTING FLANGES AFTER THE WEATHER RESISTIVE BARRIER IS APPLIED TO RIGID INSULATION AND WALL SHEATHING.
- B. ROUGH OPENING TO BE SIZED PER WINDOW MANUFACTURER'S INSTRUCTIONS, WITH ADJUSTMENTS TO ACCOMMODATE FLASHING MATERIALS & SHIMMING METHODS AT WINDOW SILL AND JAMBS.
- C. SHIM SPACE TO BE 1/4" HIGH MIN. AT SILL - INCREASE AT PROJECTED WINDOWS AS REQUIRED FOR OPERATION CLEARANCES.
- D. SET HEADS OF SHEATHING FASTENERS FLUSH TO FACE OF SHEATHING.
- E. LOCATE STRUCTURAL STRAPPING TO AVOID WINDOW MOUNTING FLANGES W/ APPROVAL OF ARCHITECT/ ENGINEER.



**1 STEP 1 - W.R.B. INSTALLATION**

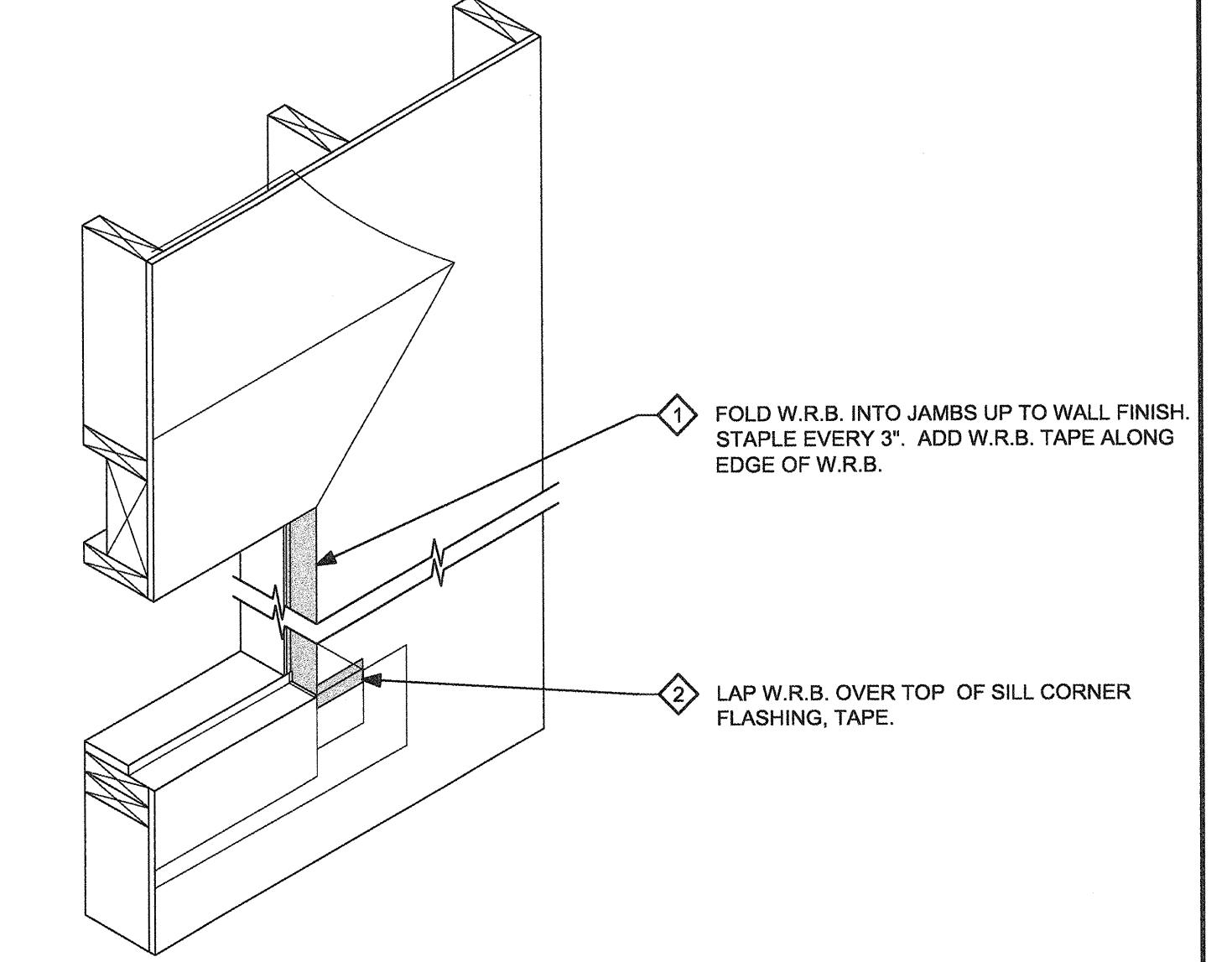
SCALE: N.T.S.



**2 STEP 2: S.A.M. FLASHING @ SILL**

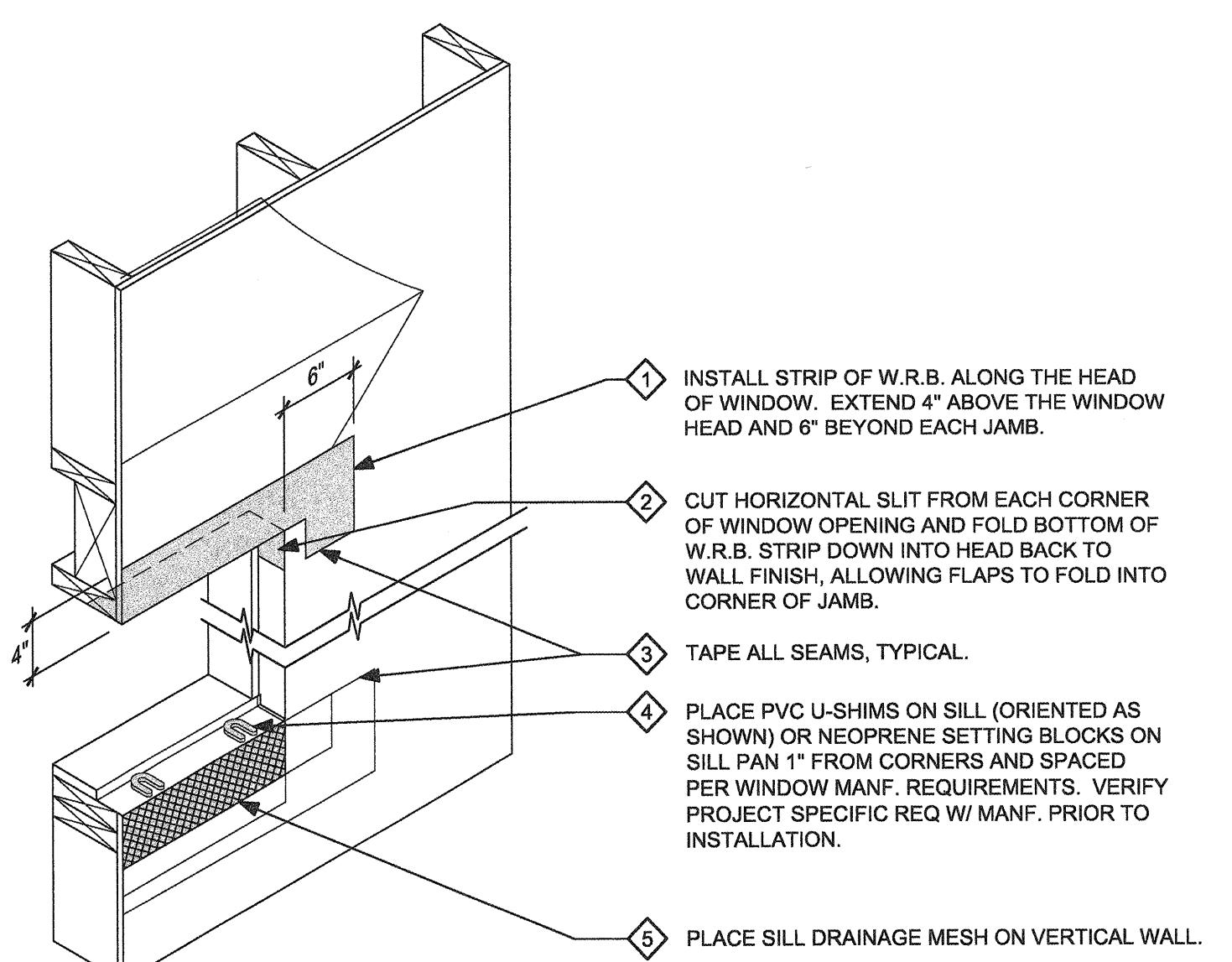
SCALE: N.T.S.

NOTES:  
A. VERIFY THICKNESS & WIDTH WITH WINDOW FRAME PROFILE  
B. PROVIDE 3/8" WIDE GAP BETWEEN BACK OF FRAME & BACK DAM TO ALLOW FOR BACKER ROD AND SEALANT AIR SEAL  
C. SEE SPECIFICATIONS FOR SCHEDULE OF SAM THICKNESSES



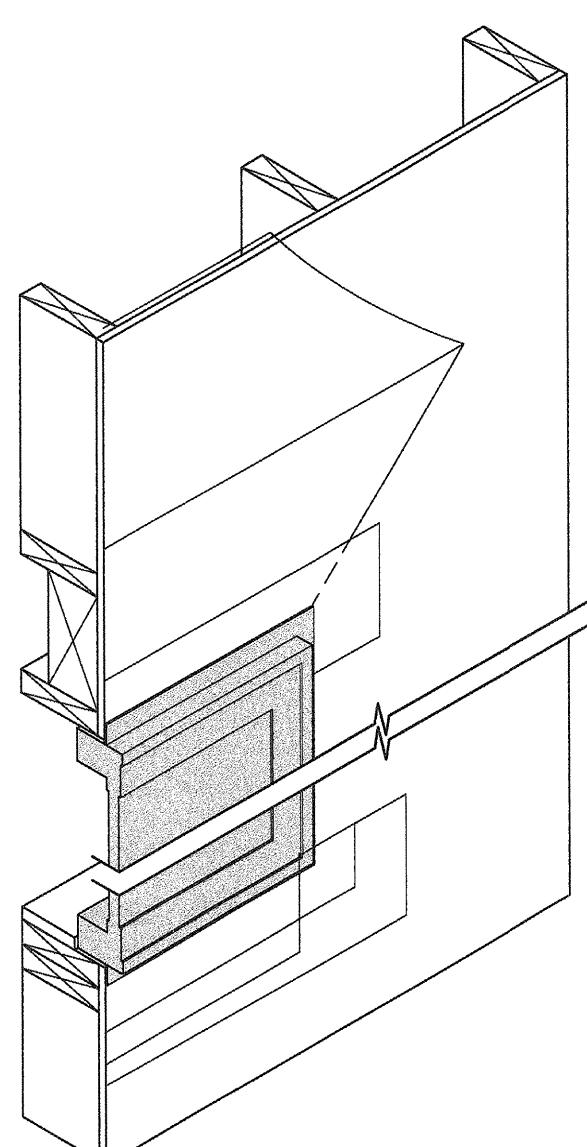
**3 STEP 3 - W.R.B. FOLDED @ JAMBS**

SCALE: N.T.S.



**4 STEP 4 - W.R.B. WRAP @ HEAD**

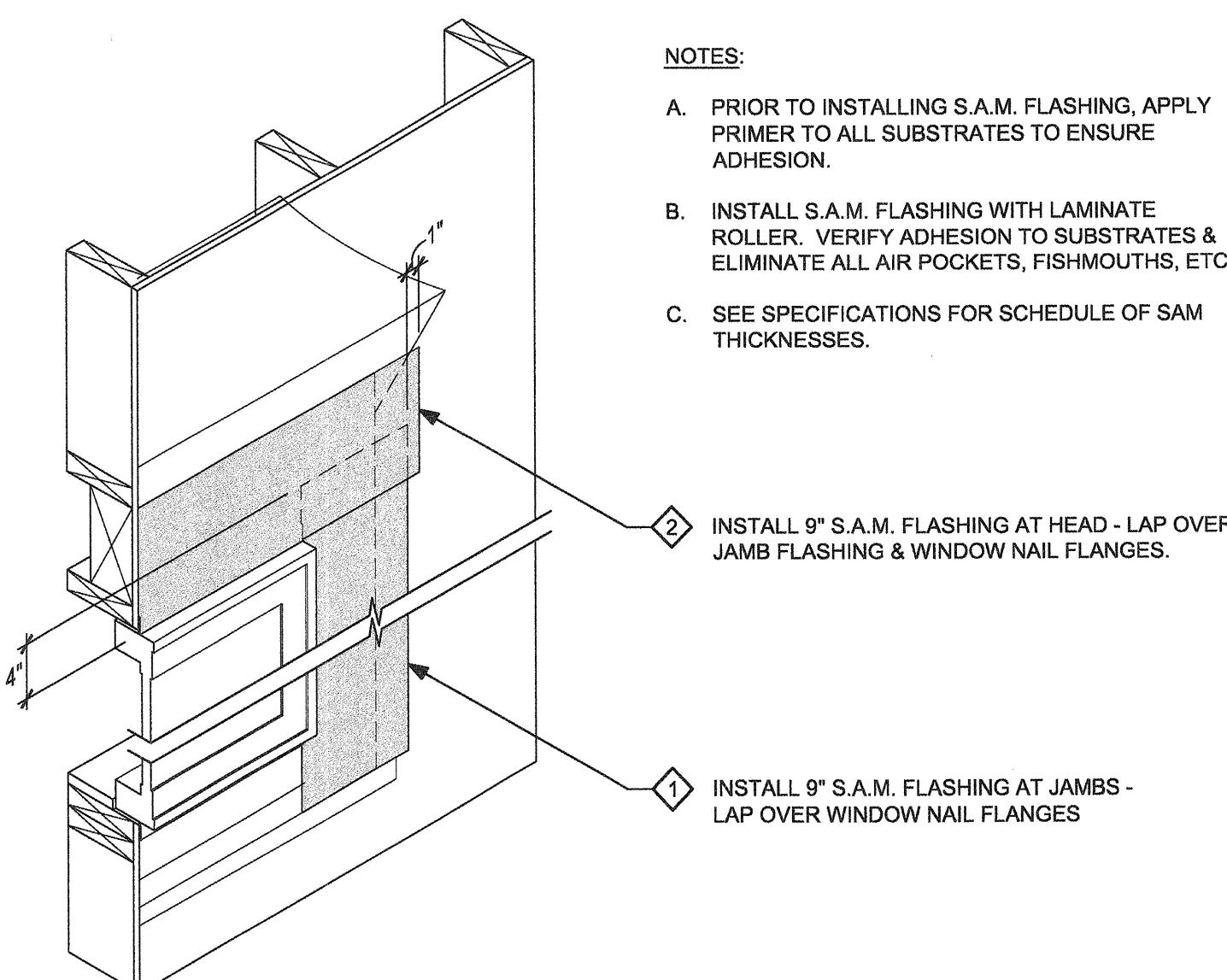
SCALE: N.T.S.



**5 STEP 5 - WINDOW INSTALLATION**

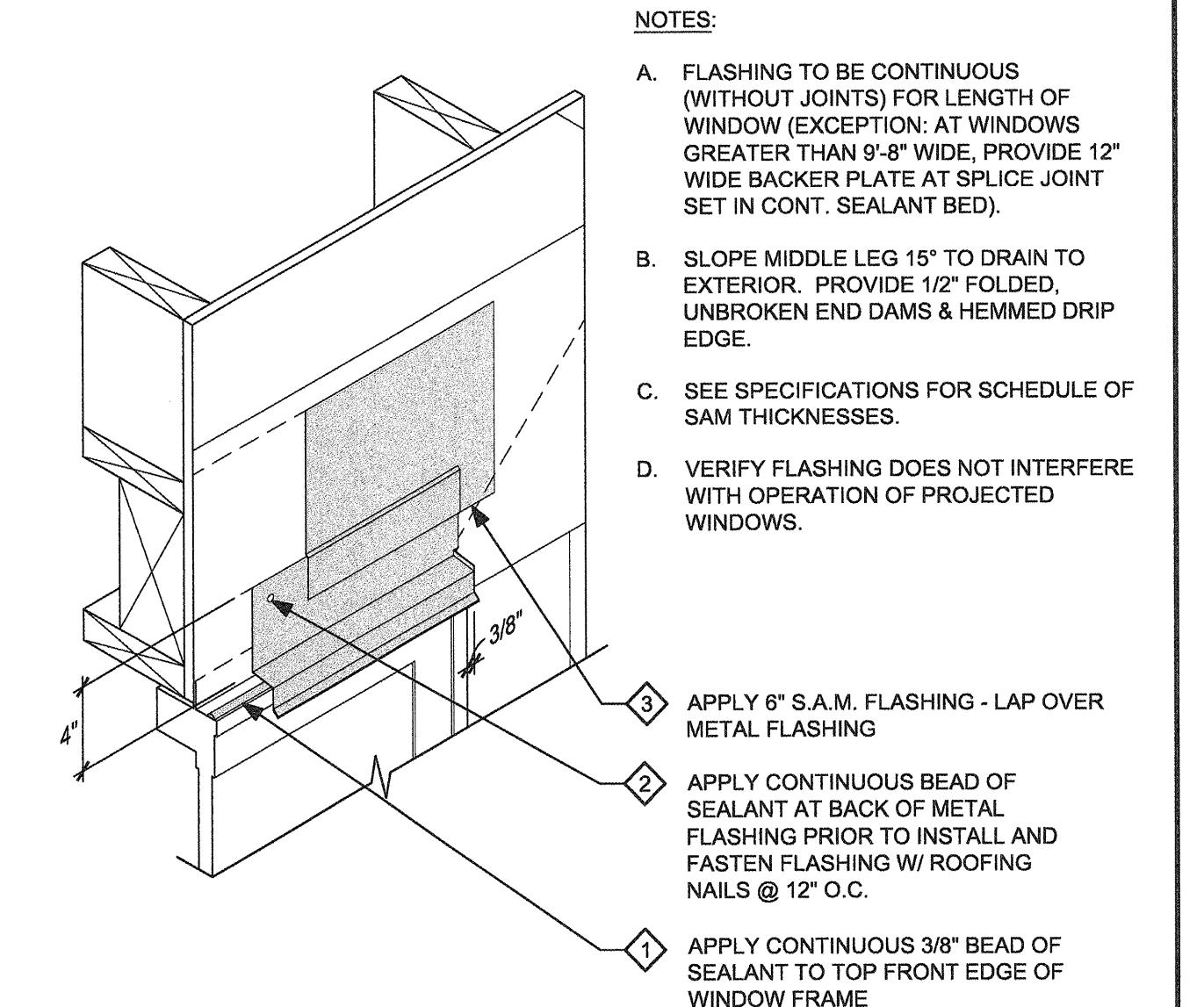
SCALE: N.T.S.

NOTES:  
A. VISUALLY INSPECT WINDOW FRAME, MITER JOINTS & MOUNTING FLANGES FOR CRACKS, DAMAGE & IMPROPER SEALS - NOTIFY ARCHITECT IF OCCURS.  
B. CONSULT MFR'S INSTRUCTIONS FOR SEALING OF NON-INTEGRAL NAIL FLANGES.  
C. PRIOR TO SETTING WINDOW, APPLY A CONTINUOUS 3/8" DIAMETER BEAD OF SEALANT TO BACK SIDE OF HEAD AND JAMB MOUNTING FLANGES, CENTERED OVER NAIL HOLES. DO NOT SEAL SILL FLANGE TO ALLOW FOR DRAINAGE. VERIFY SEALANT COMPATIBILITY W/ FLASHING MATERIALS.  
D. INSTALL & FASTEN WINDOW WITH CORROSION RESISTANT FASTENERS PER MFR. INSTRUCTIONS - SHIM AND ADJUST AS RECD. TO ACHIEVE SQUARE, PLUMB & LEVEL. CONFIRM FASTENING METHOD AT WINDOW HEAD IN WRITING WITH MFR.  
E. PLACE FASTENERS AT CENTER OF HOLES/SLOTS IN FLANGE, SET FASTENER HEADS FLUSH WITH FLANGE BUT NOT TIGHT (DO NOT BEND OVER).



**6 STEP 6 - S.A.M. FLASHING**

SCALE: N.T.S.

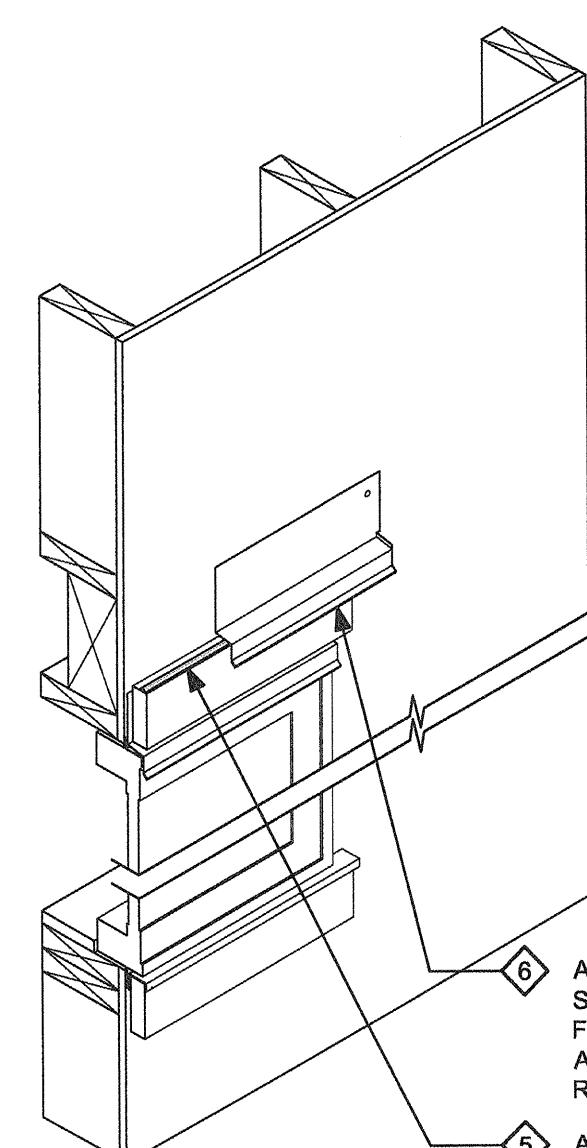


**7 STEP 7: HEAD FLASHING**

SCALE: N.T.S.

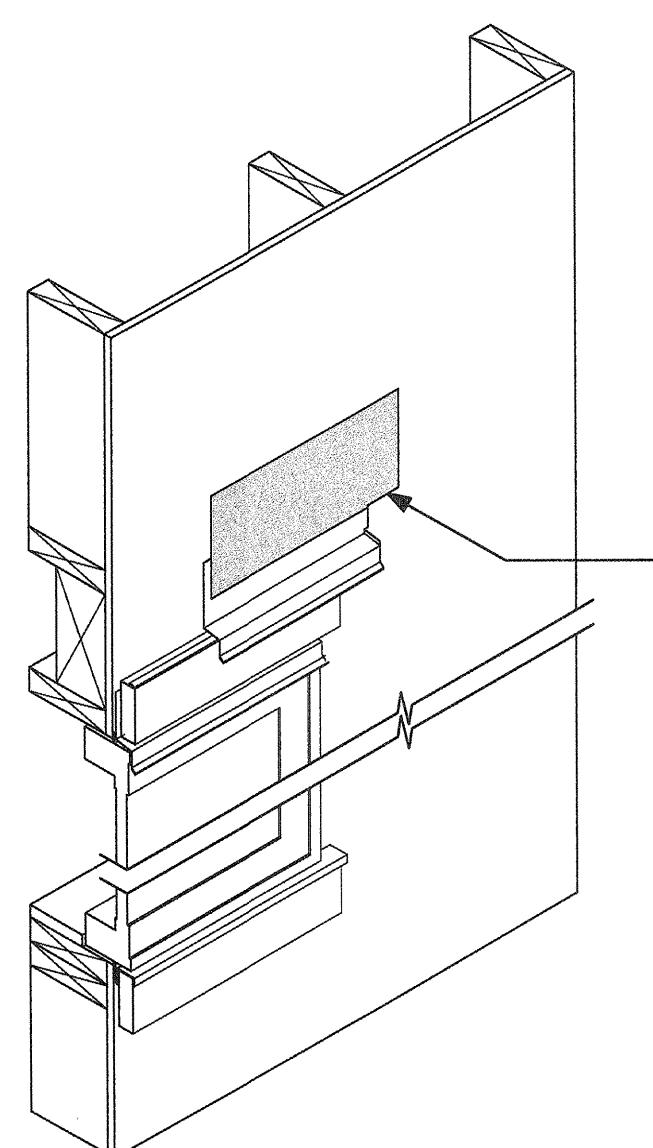
NOTES:  
A. FLASHING TO BE CONTINUOUS (WITHOUT JOINTS) FOR LENGTH OF WINDOW (EXCEPTION: AT WINDOWS GREATER THAN 9'8" WIDE, PROVIDE 12" WIDE BACKER PLATE AT SPLICE JOINT SET IN CONT. SEALANT BED).  
B. SLOPE MIDDLE LEG 15° TO DRAIN TO EXTERIOR. PROVIDE 1/2" FOLDED, UNBROKEN END DAMS & HEMMED DRIP EDGE.  
C. SEE SPECIFICATIONS FOR SCHEDULE OF SAM THICKNESSES.  
D. VERIFY FLASHING DOES NOT INTERFERE WITH OPERATION OF PROJECTED WINDOWS.

IMPORTANT! WINDOW MFR'S INSTALLATION INSTRUCTIONS MUST BE COORDINATED WITH THESE DETAILS. REVIEW INSTRUCTIONS FOR ROUGH OPENING SIZES, FLASHINGS, SEALANTS, MOUNTING, & SHIMMING METHODS PRIOR TO ROUGH FRAMING LAYOUT. ALL VARIANCES FROM MFR'S INSTRUCTIONS SHALL BE REVIEWED WITH ARCHITECT & MFR. AND DOCUMENTED IN WRITING.



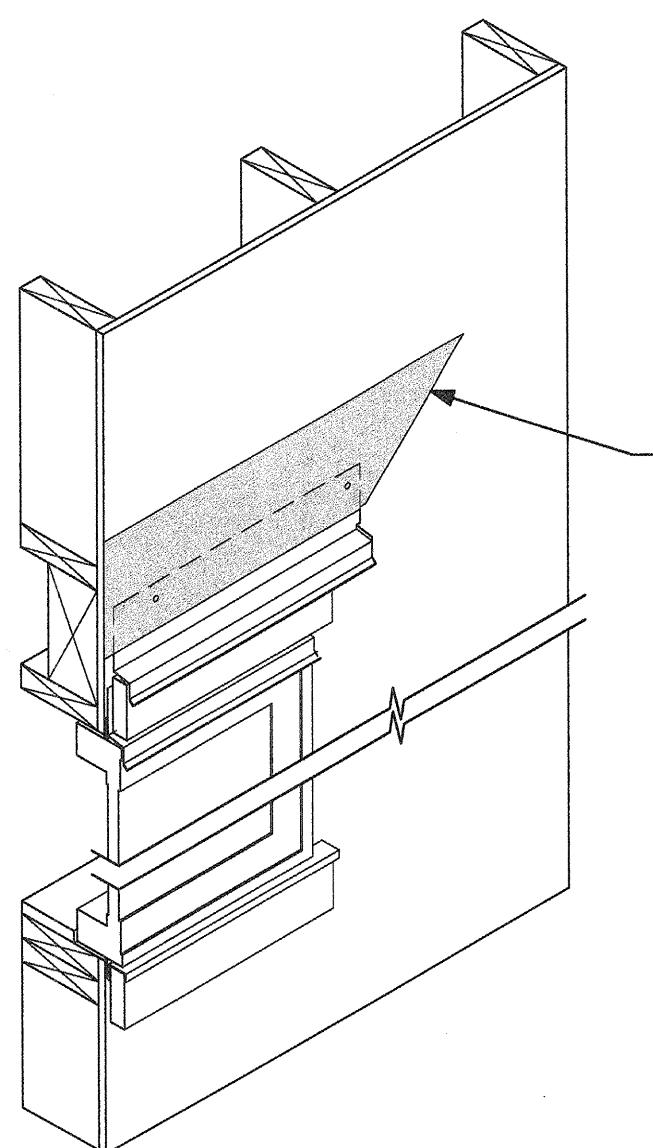
**8 STEP 8 - FLASHINGS**

SCALE: N.T.S.



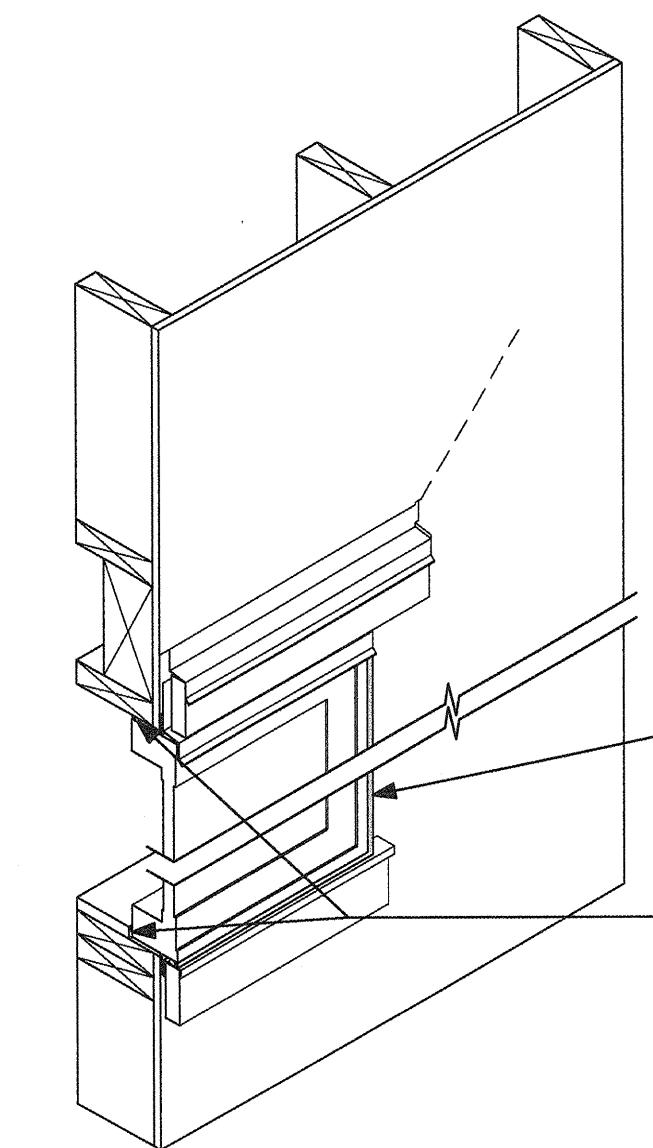
**9 STEP 9 - FLASHINGS**

SCALE: N.T.S.



**10 STEP 10 - W.R.B. LAB @ HEAD**

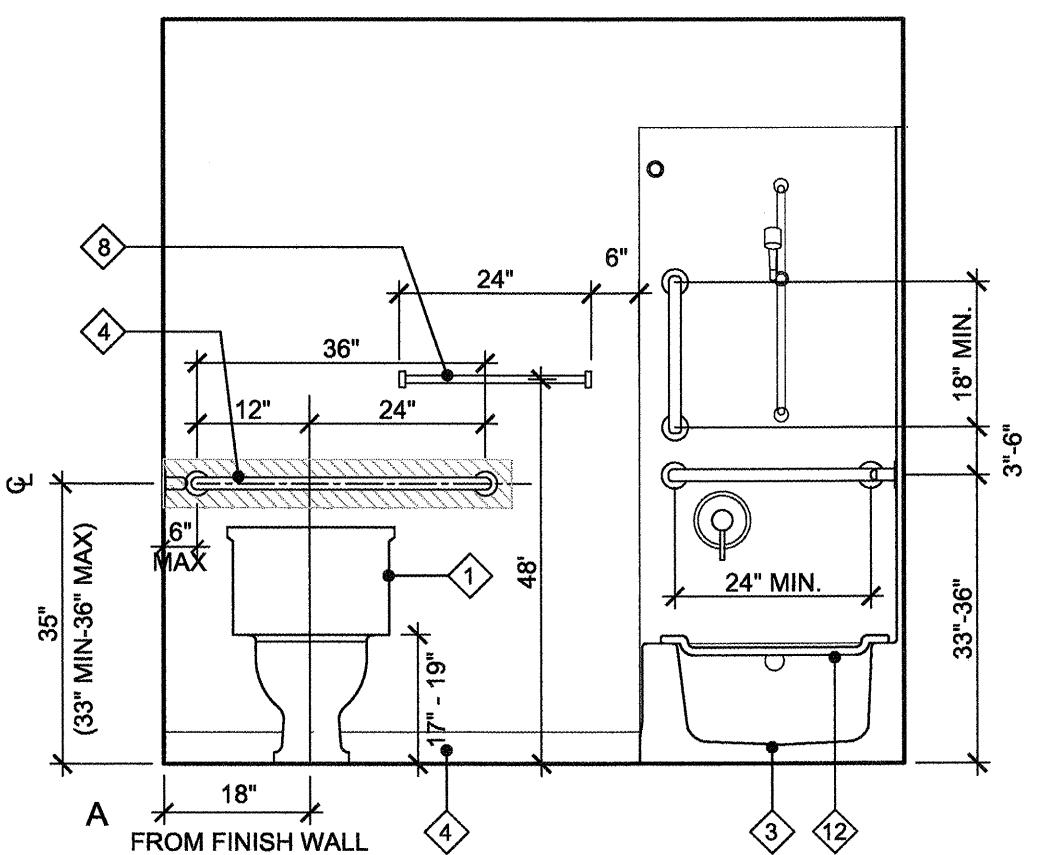
SCALE: N.T.S.



**11 STEP 11 - SEALANT @ INT. & EXT.**

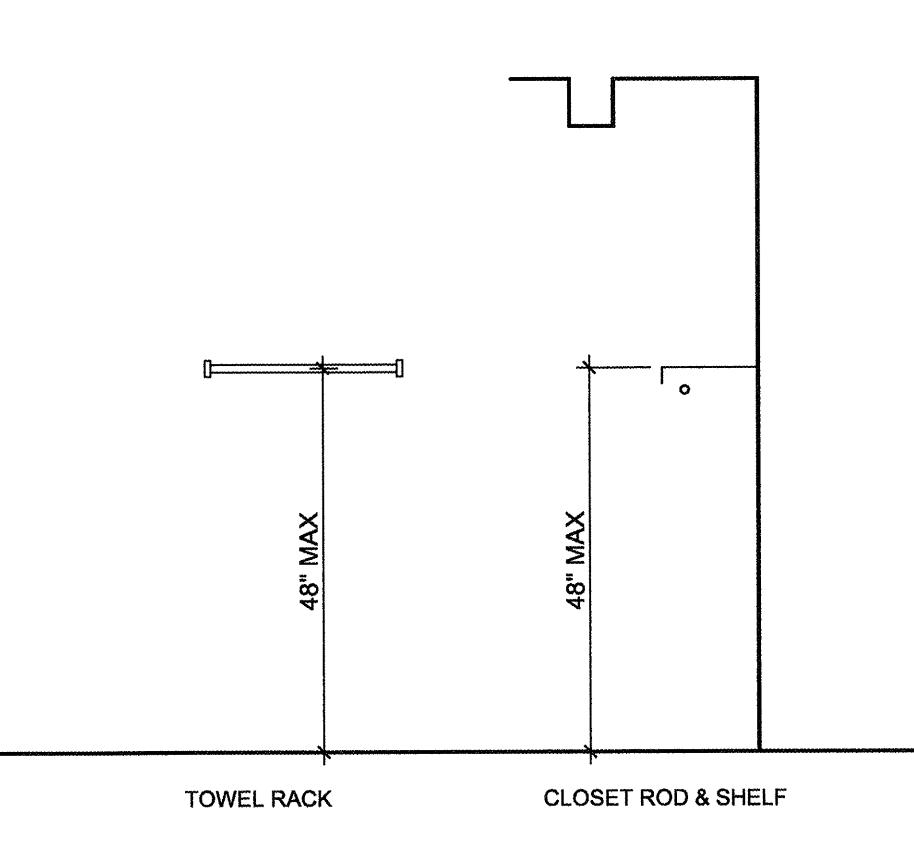
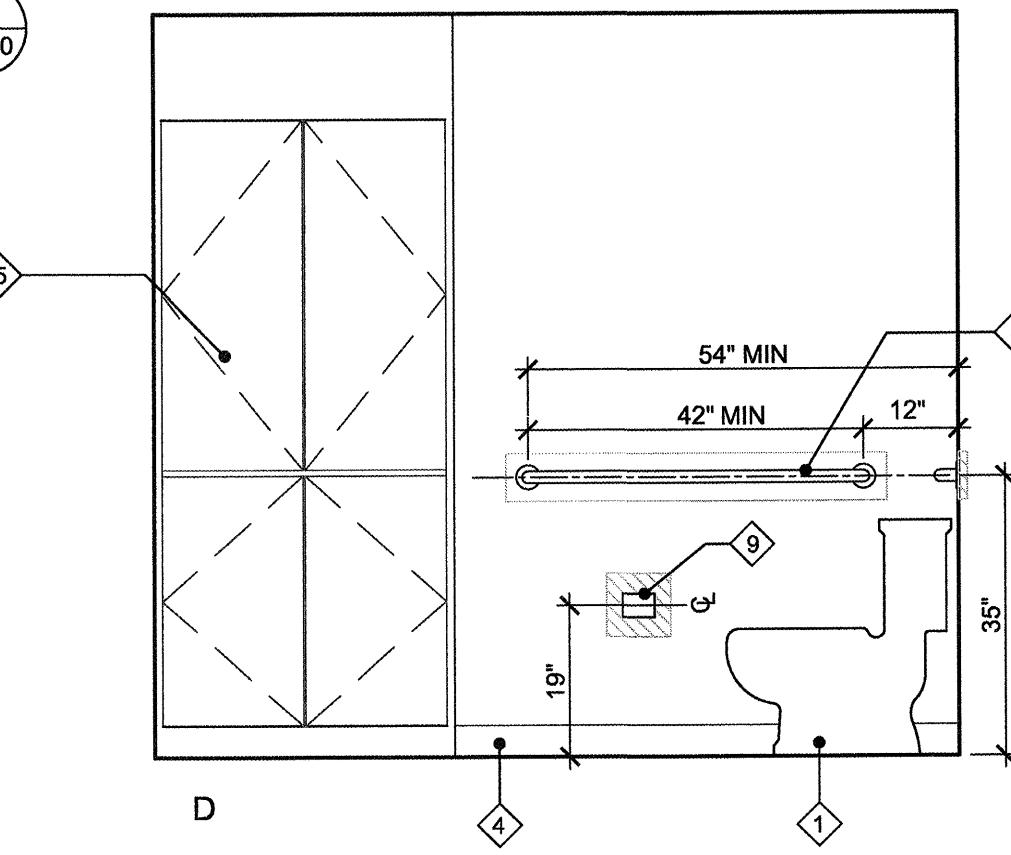
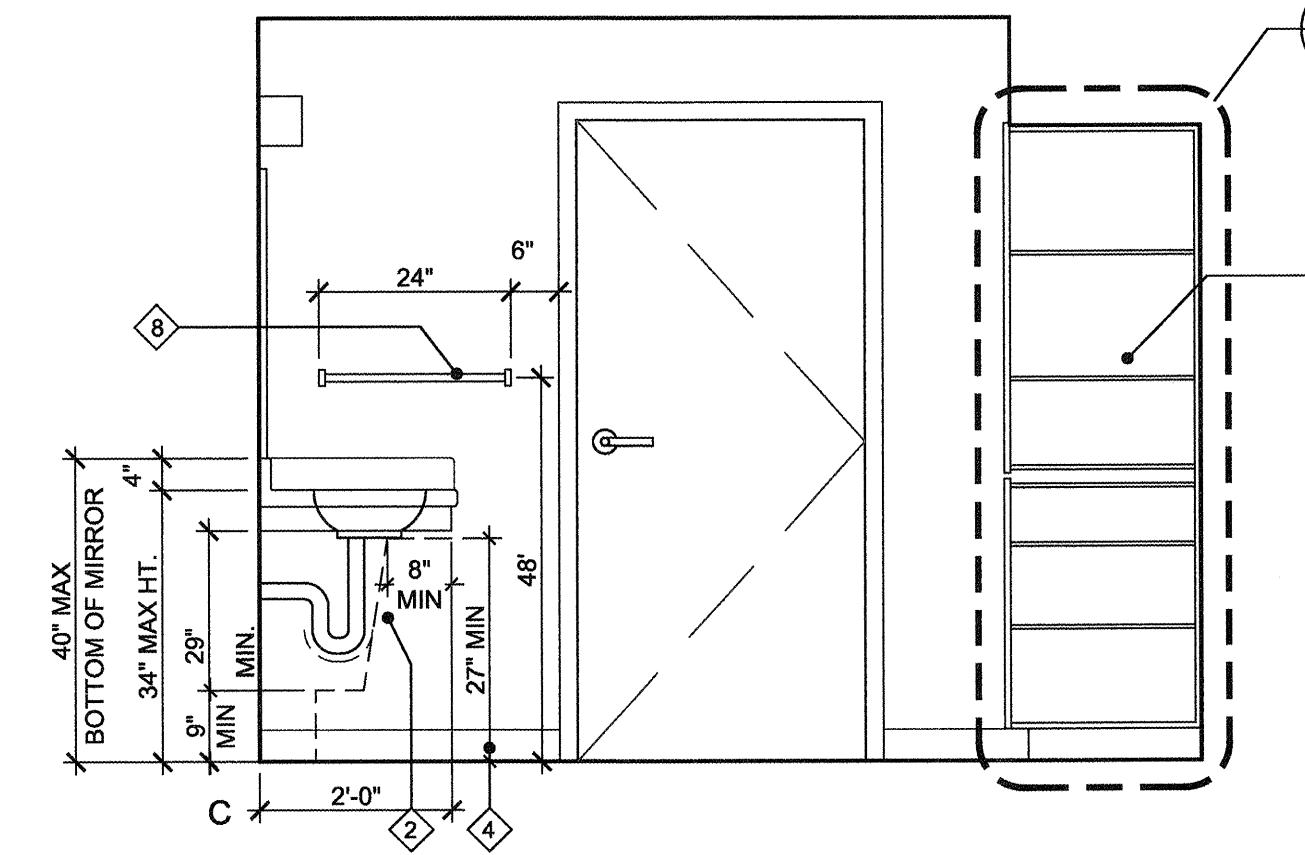
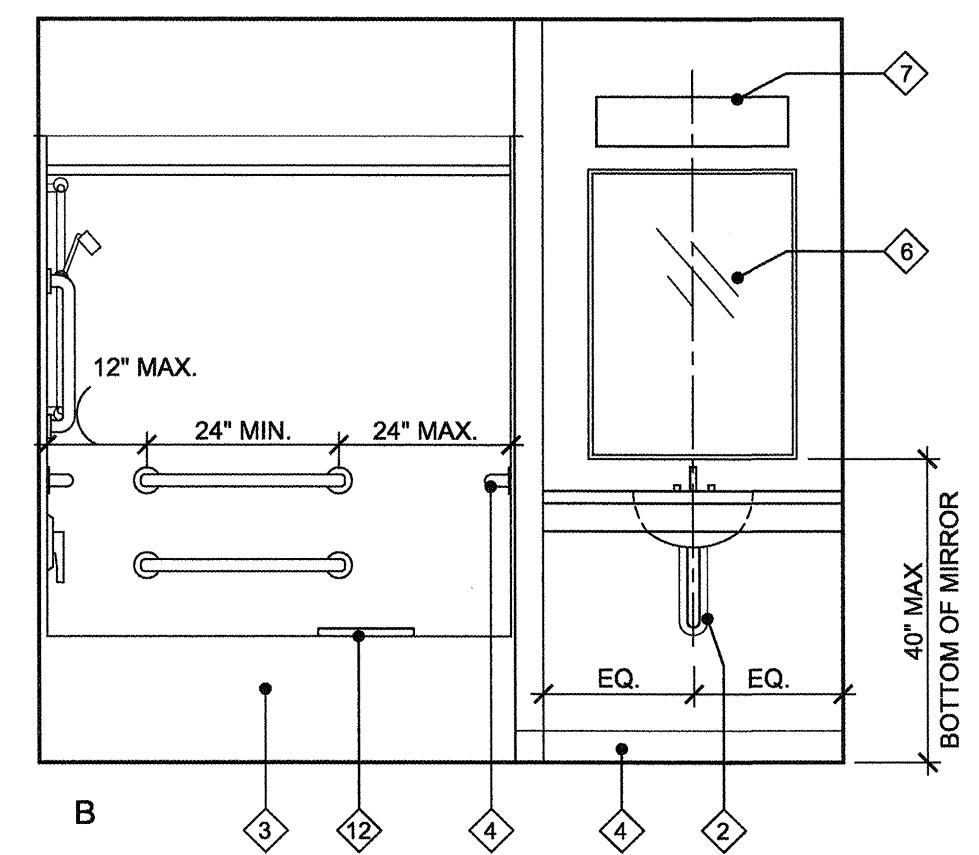
SCALE: N.T.S.

WINDOW INSTALLATION  
SEQUENCE -  
NO RAINSCREEN  
PROJ NO.  
21344  
10.22.14



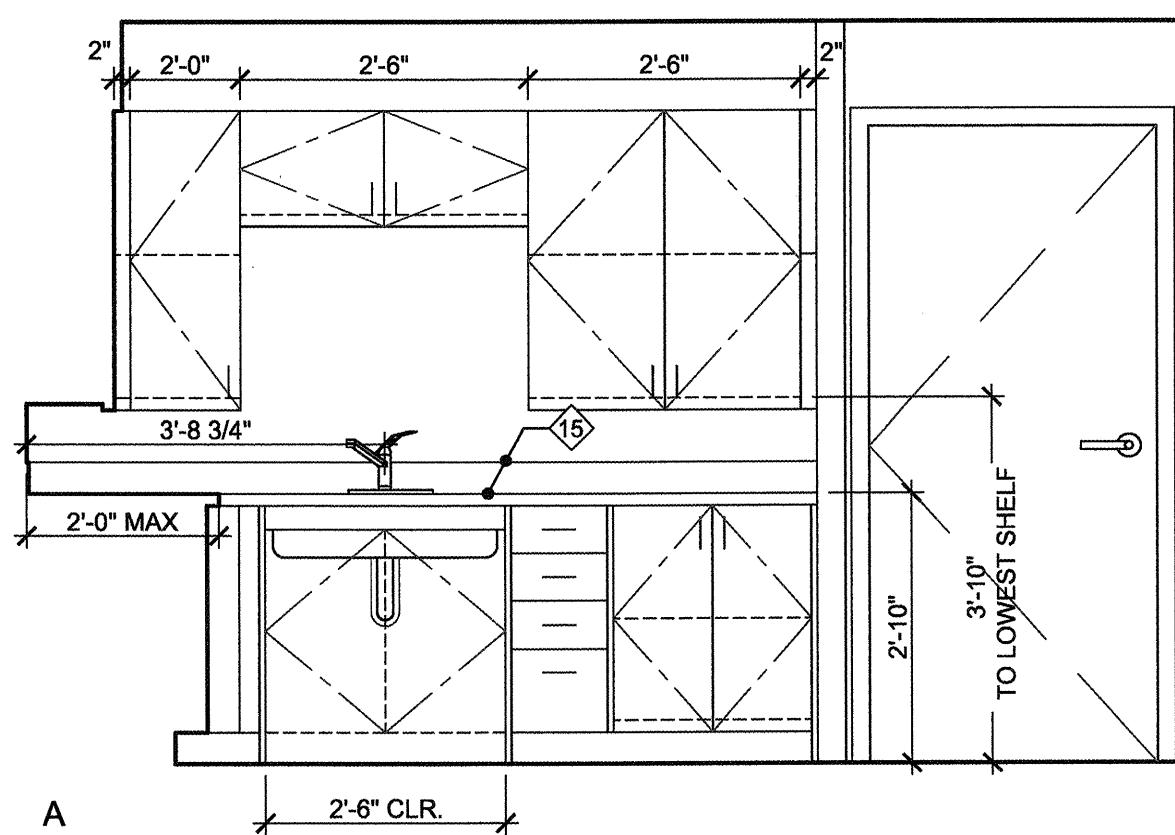
**1 INTERIOR ELEVATION-ACCESSIBLE BATHROOM, UNIT #17**

SCALE: 1/2" = 1'-0"



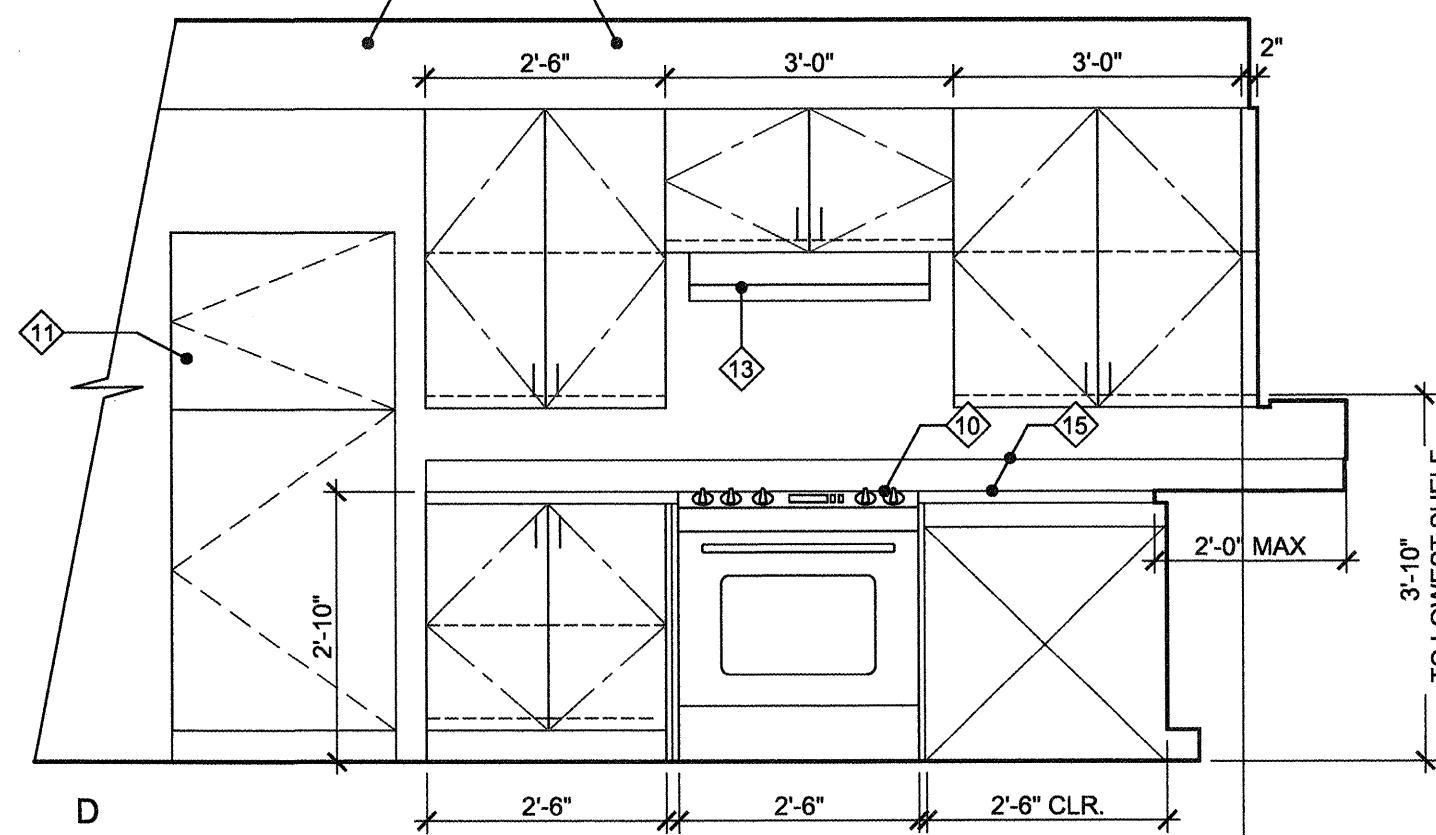
**6 MOUNTING HEIGHT, TYP.**

SCALE: 1/2" = 1'-0"



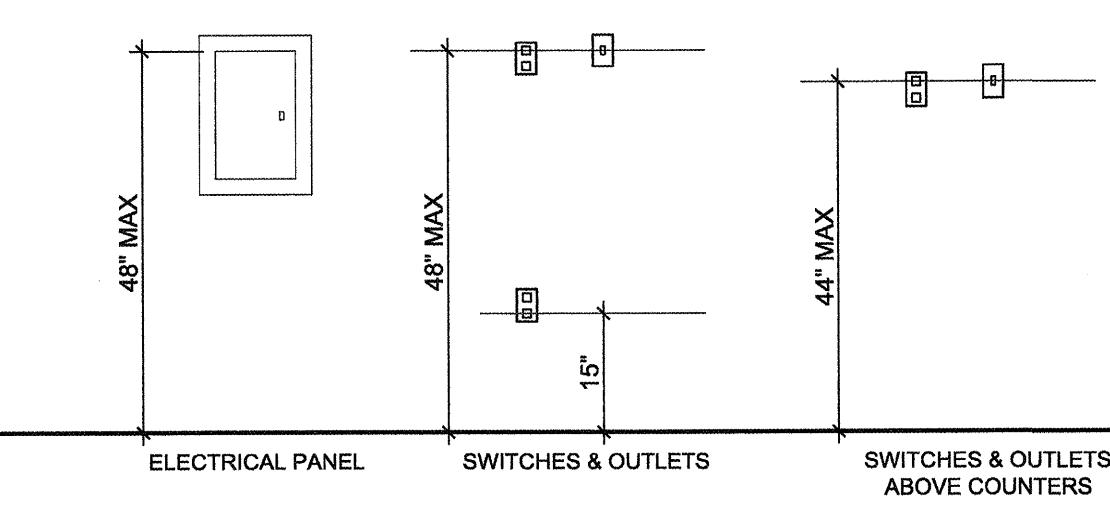
**2 INTERIOR ELEVATION-ACCESSIBLE KITCHEN, UNIT #17**

SCALE: 1/2" = 1'-0"



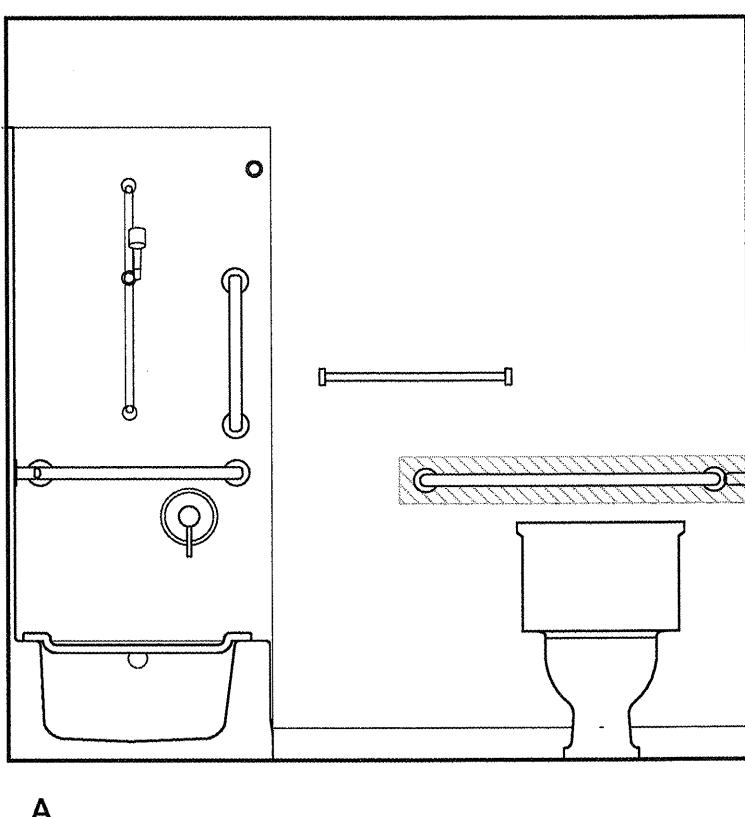
**7 ELEC. CONTROL DEVICES, TYP.**

SCALE: 1/2" = 1'-0"



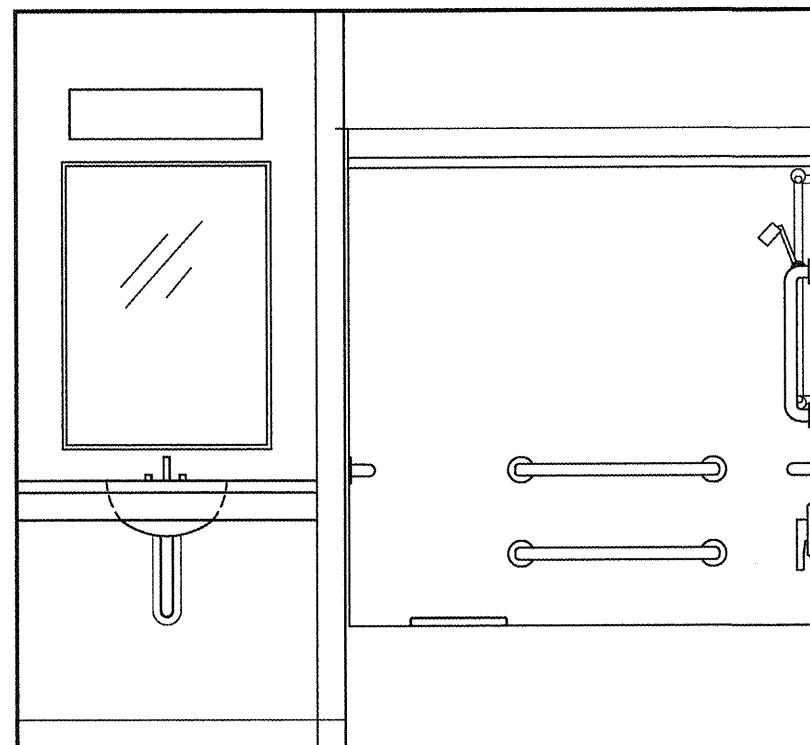
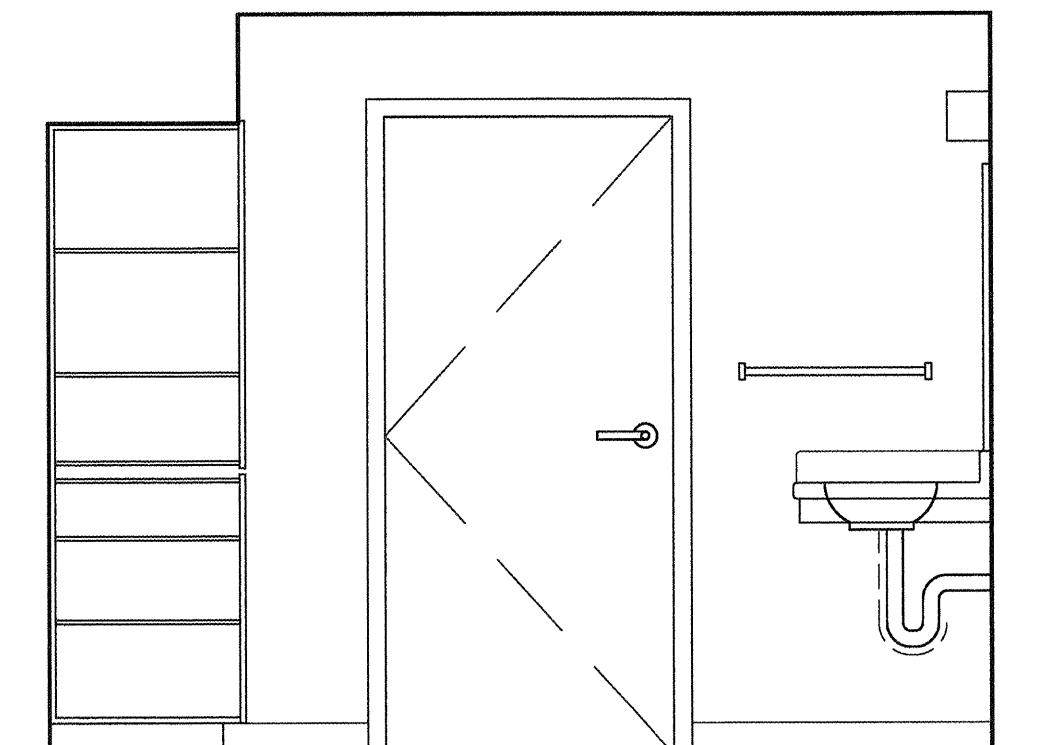
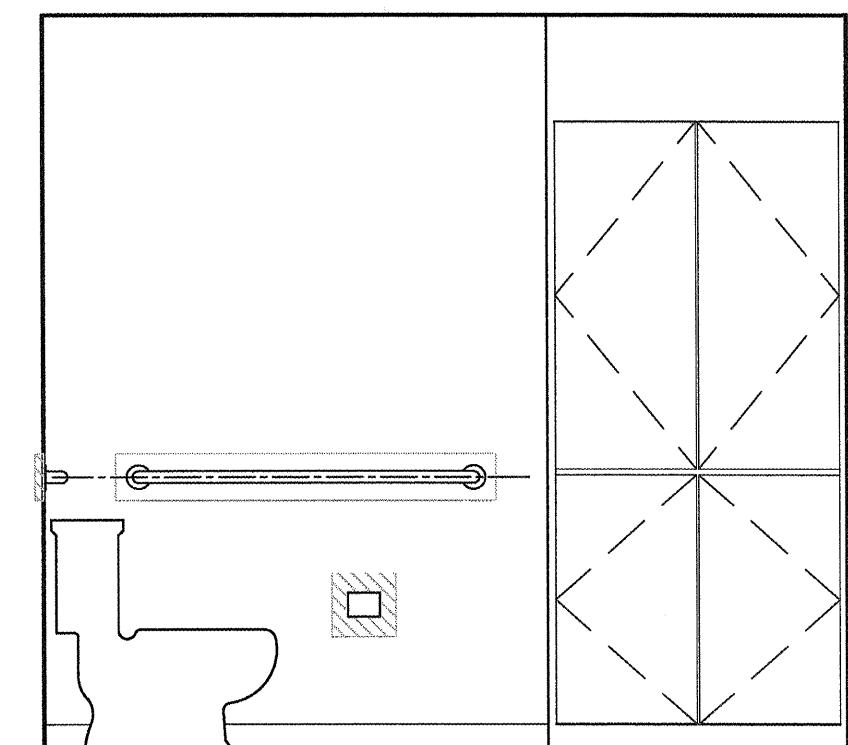
**8 FIRE EXTINGUISHER CAB., TYP.**

SCALE: 1/2" = 1'-0"



**3 INTERIOR ELEVATION-ACCESSIBLE BATHROOM, UNIT #18, NOTES SIM TO UNIT #17**

SCALE: 1/2" = 1'-0"



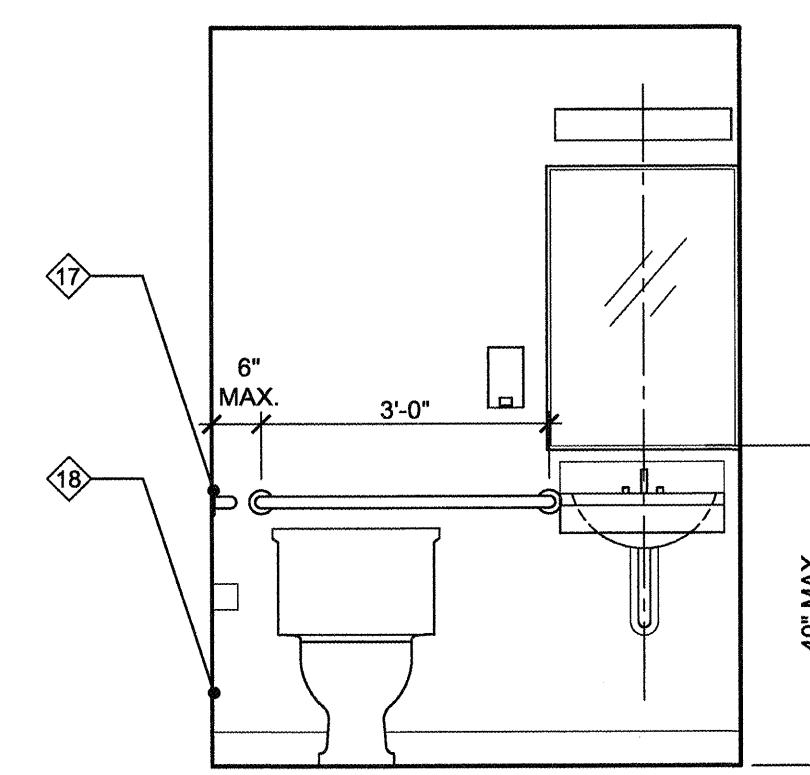
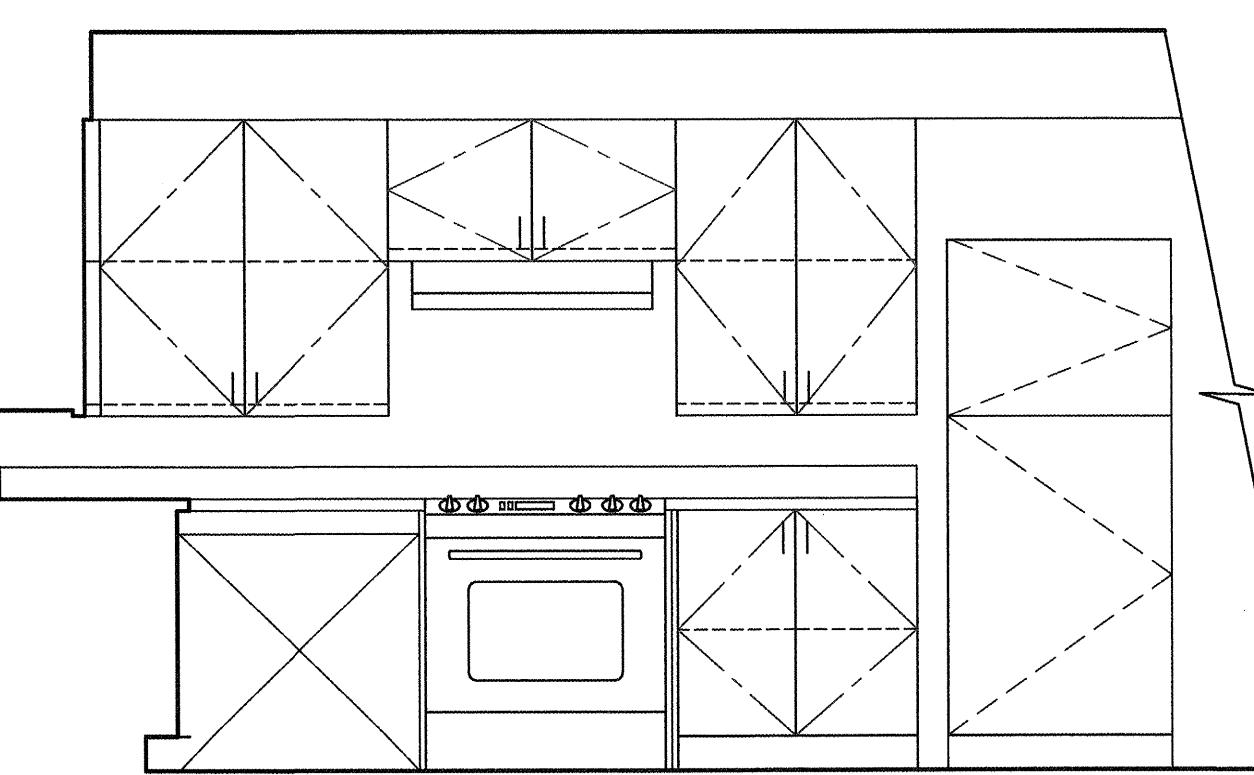
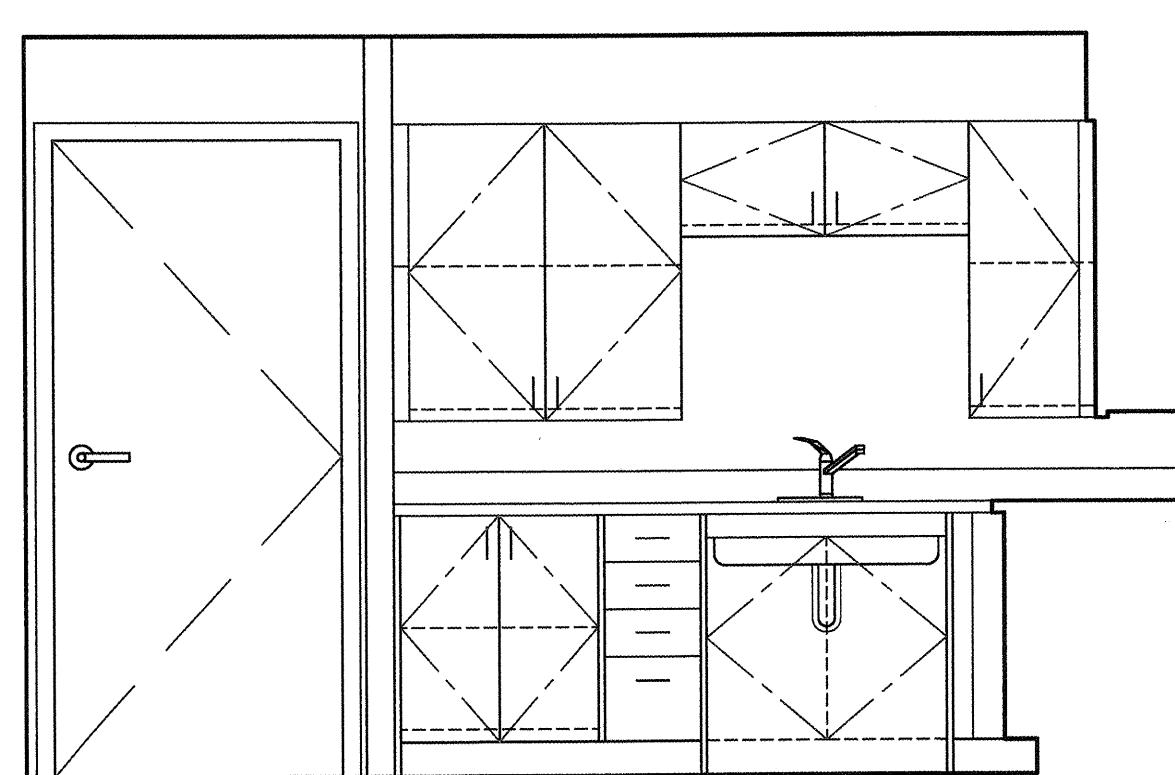
D

#### GENERAL NOTES

1. FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES
2. ALL DIMENSIONS TO FINISH UNLESS OTHERWISE NOTED

#### KEYNOTES

- ① ACCESSIBLE TOILET
- ② ACCESSIBLE SINK AND FAUCET, OPEN BELOW. WRAP EXPOSED PIPES
- ③ FIBERGLASS TUB/SHOWER WITH BENCH, GRAB BARS AND REMOVABLE SEAT FOR ACCESSIBILITY
- ④ GRAB BAR WITH BLOCKING
- ⑤ WOOD CASEWORK
- ⑥ MIRROR
- ⑦ ENERGY-EFFICIENT LIGHT
- ⑧ TOWEL BAR
- ⑨ TOILET PAPER HOLDER
- ⑩ ACCESSIBLE DROP-IN, SELF-CLEANING RANGE
- ⑪ ENERGY STAR REFRIGERATOR WITH FREEZER @ 48" A.F.F. MAX
- ⑫ REMOVABLE TUB SEAT
- ⑬ RANGE EXHAUST HOOD VENTED TO EXTERIOR. PROVIDE WALL SWITCH FOR FAN & LIGHT
- ⑭ SOFFIT
- ⑮ PLASTIC LAMINATE COUNTERTOP WITH INTEGRAL BACK-SPASH
- ⑯ 4" RUBBER BASE
- ⑰ RE-INSTALL EXISTING GRAB BARS
- ⑱ FURR EXISTING WALL TO ENSURE 18" DIMENSION TO CENTERLINE OF WATER CLOSET

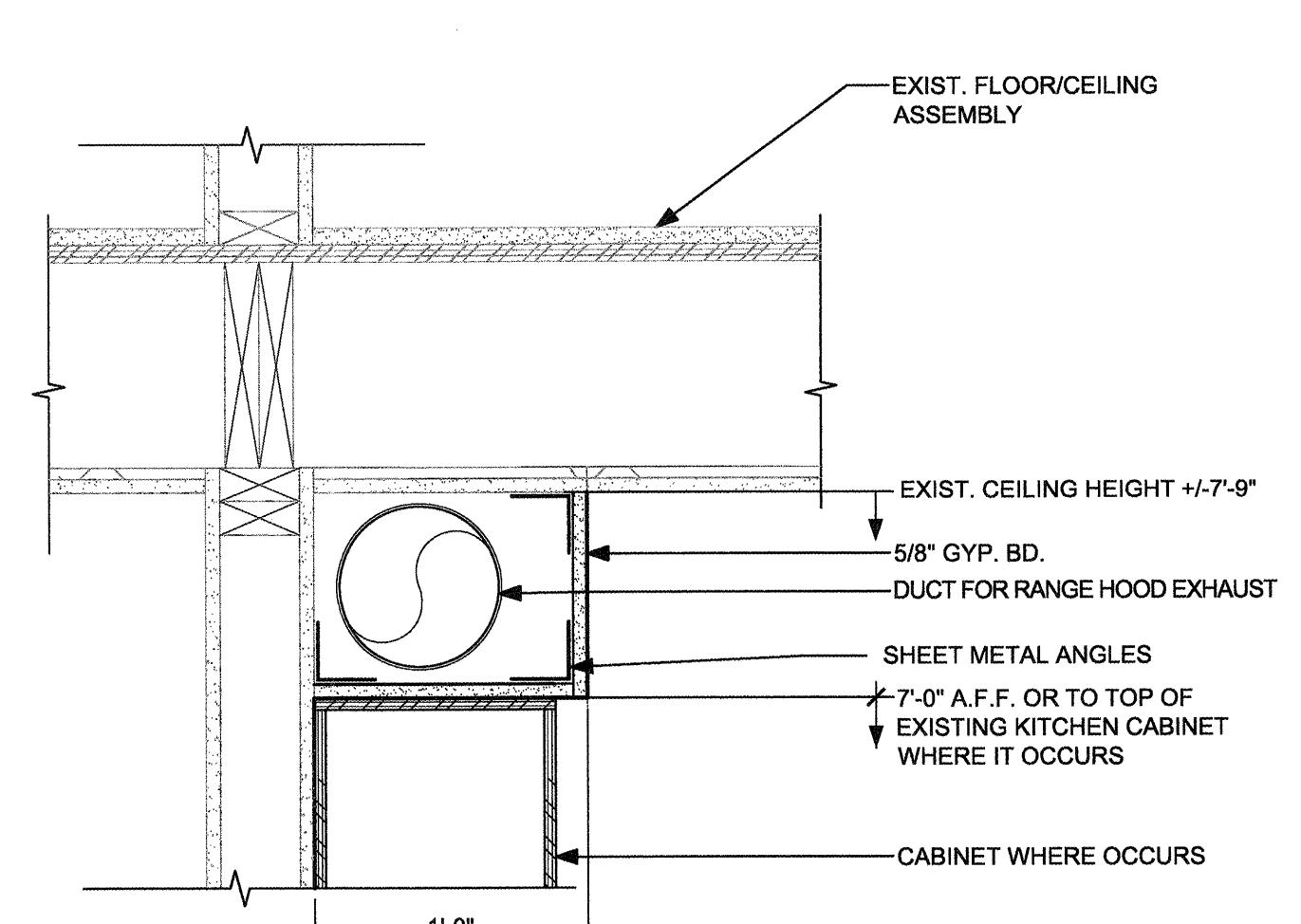
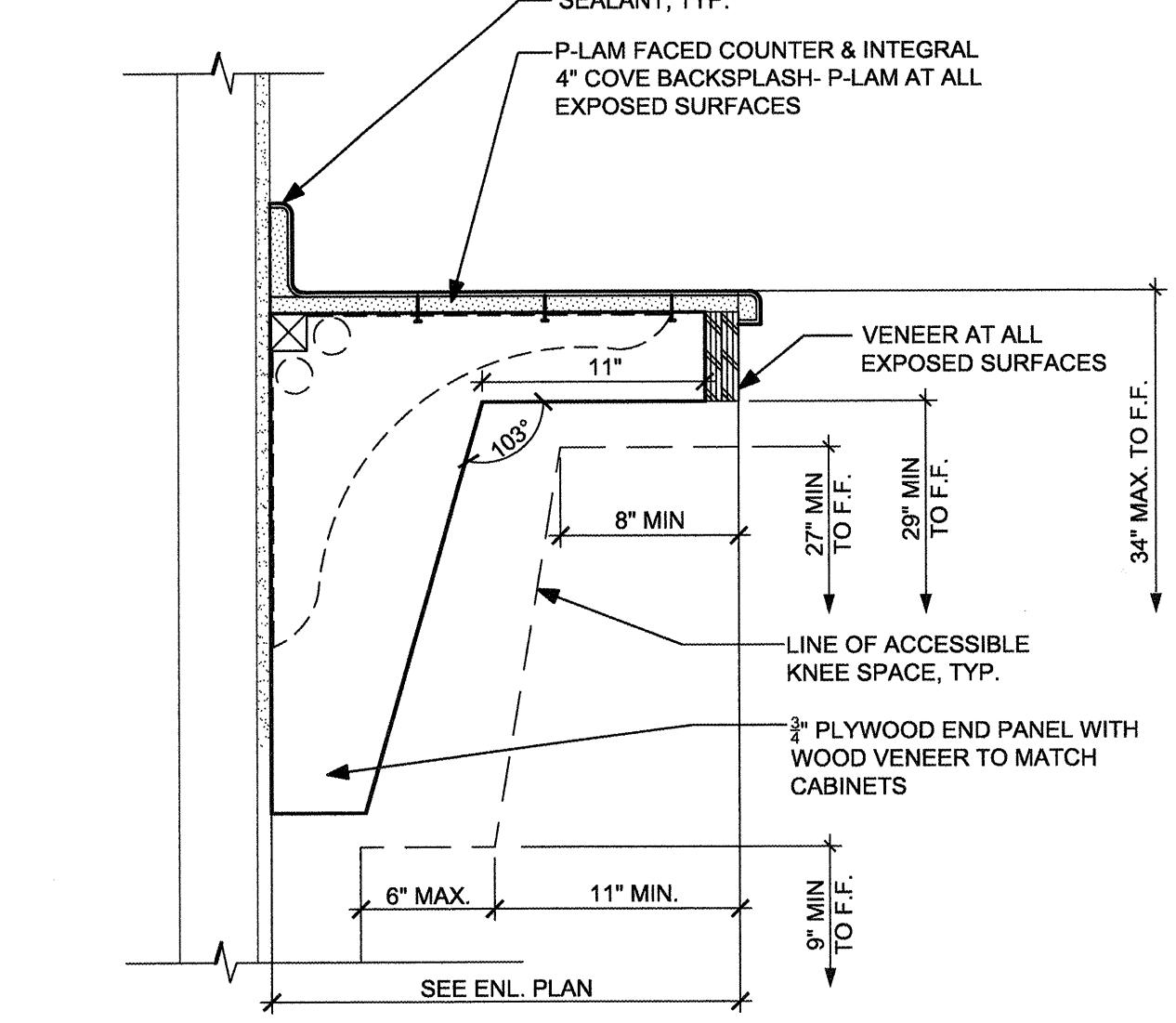
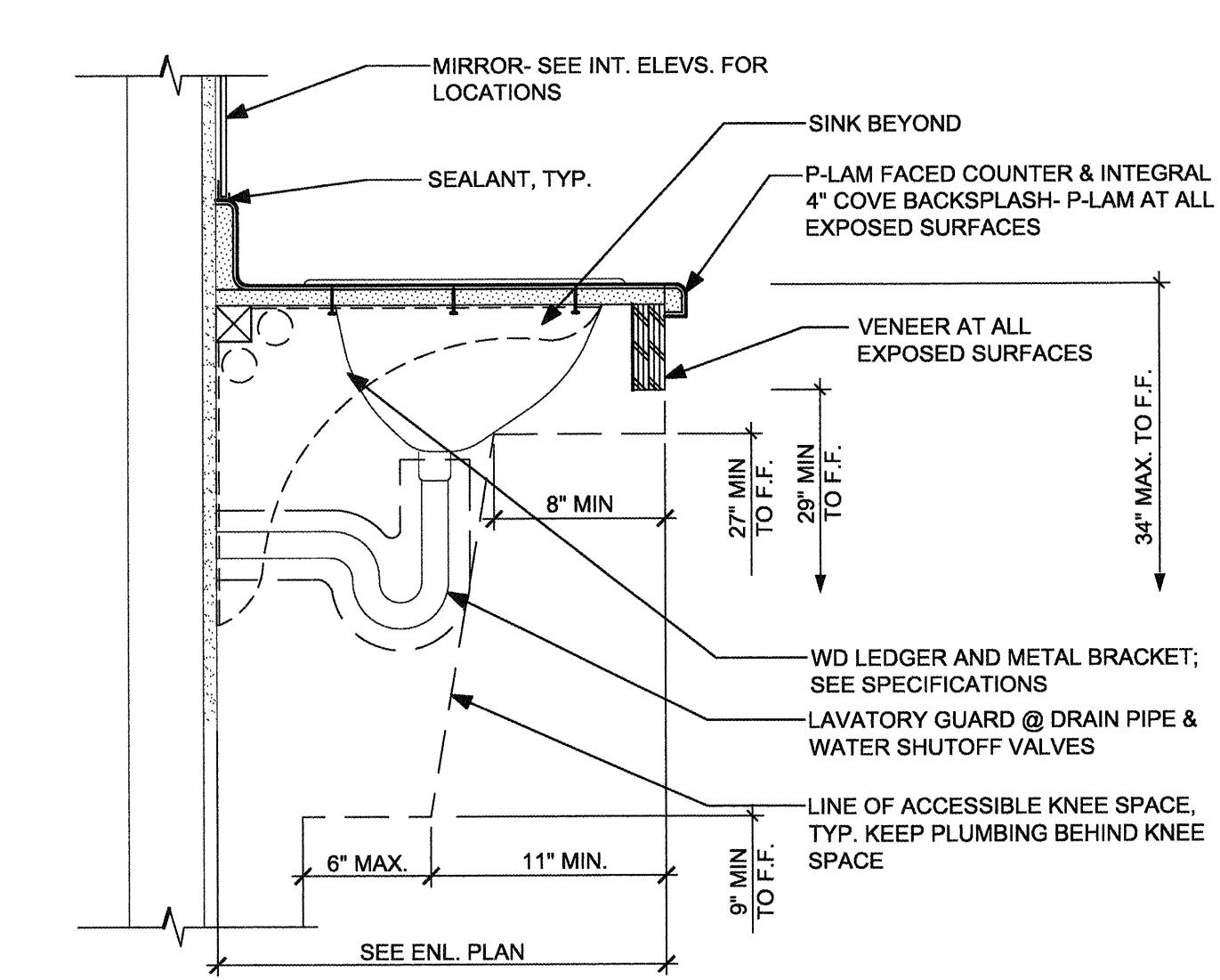
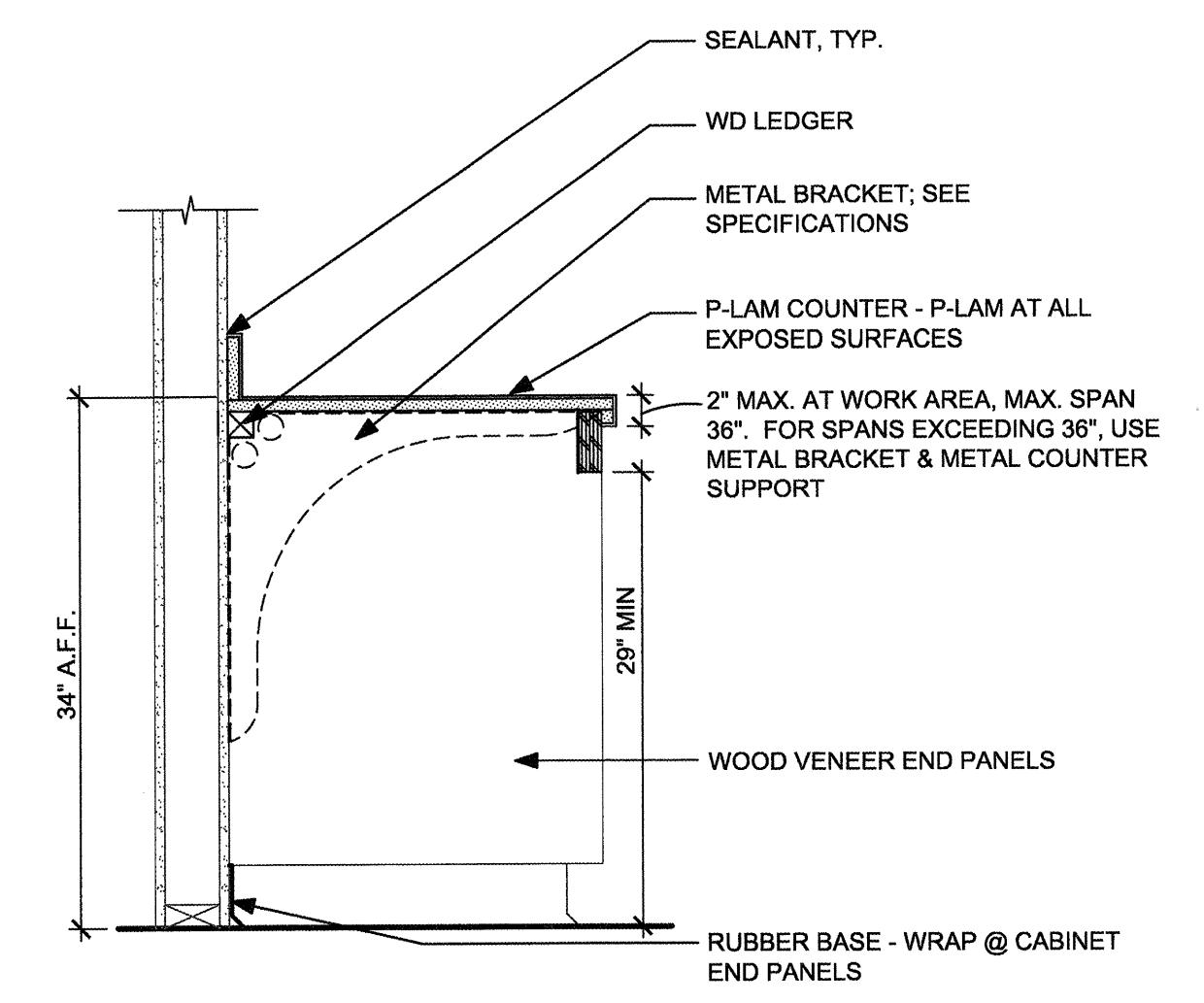
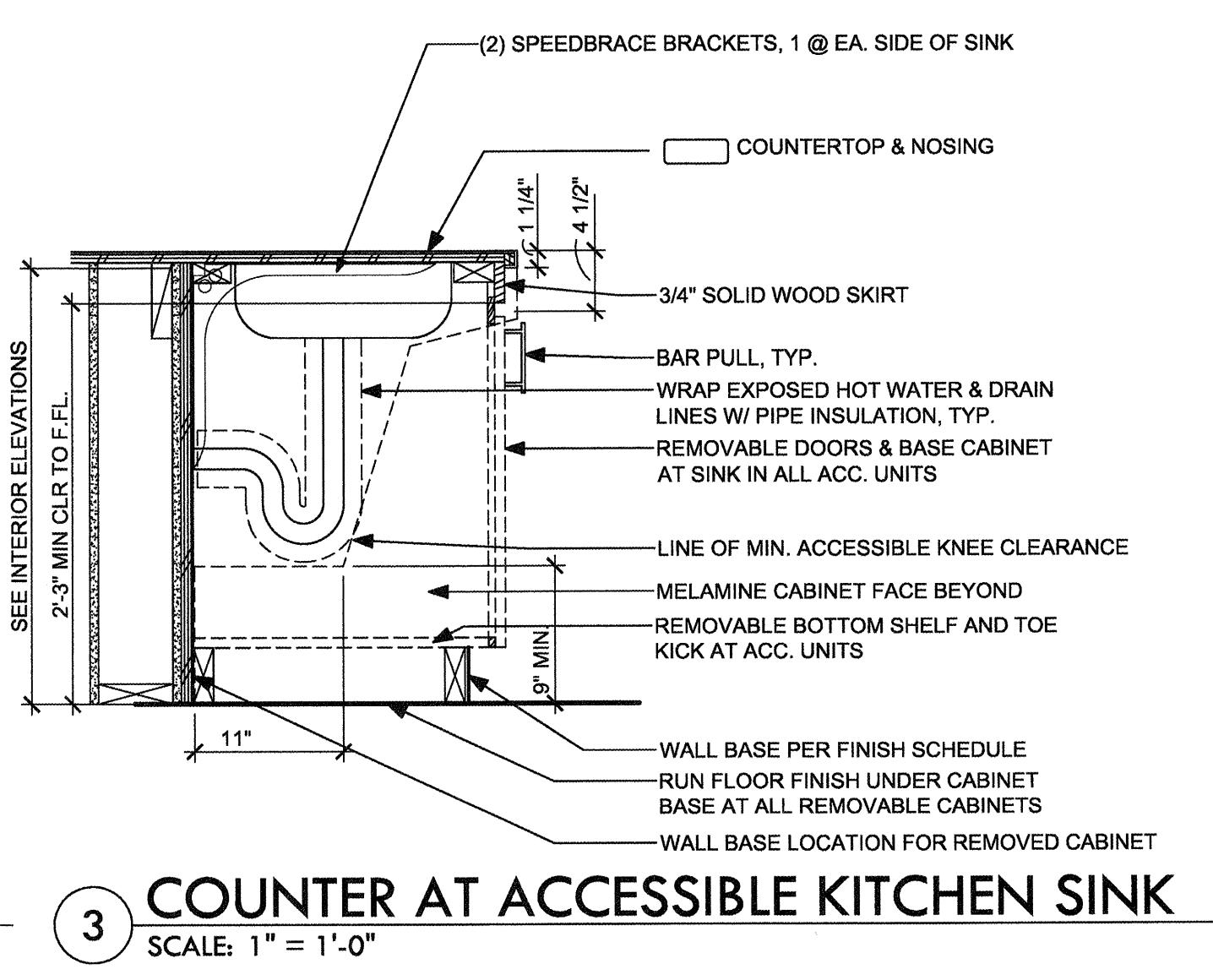
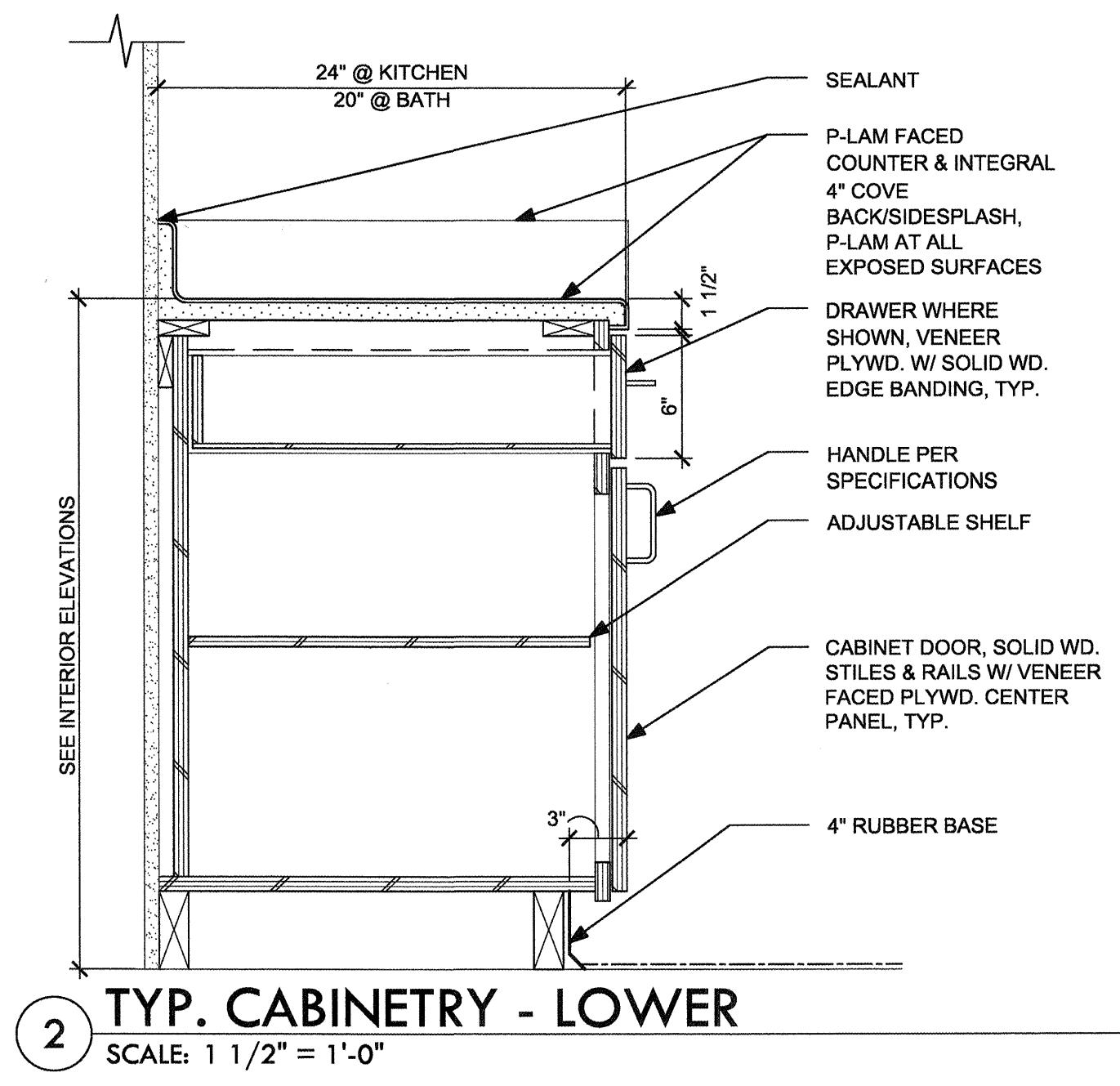
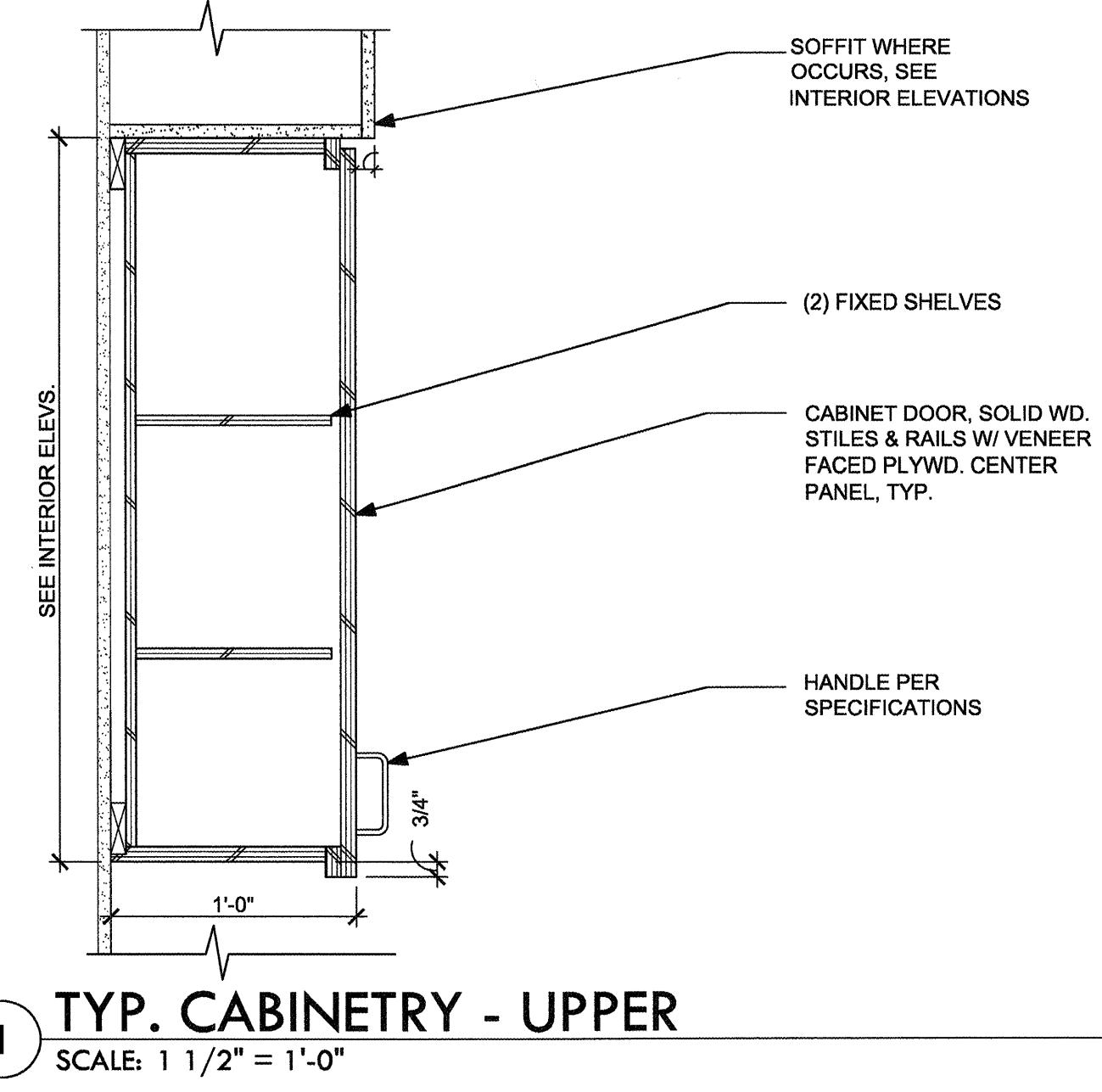


**5 COMMON RESTROOM**

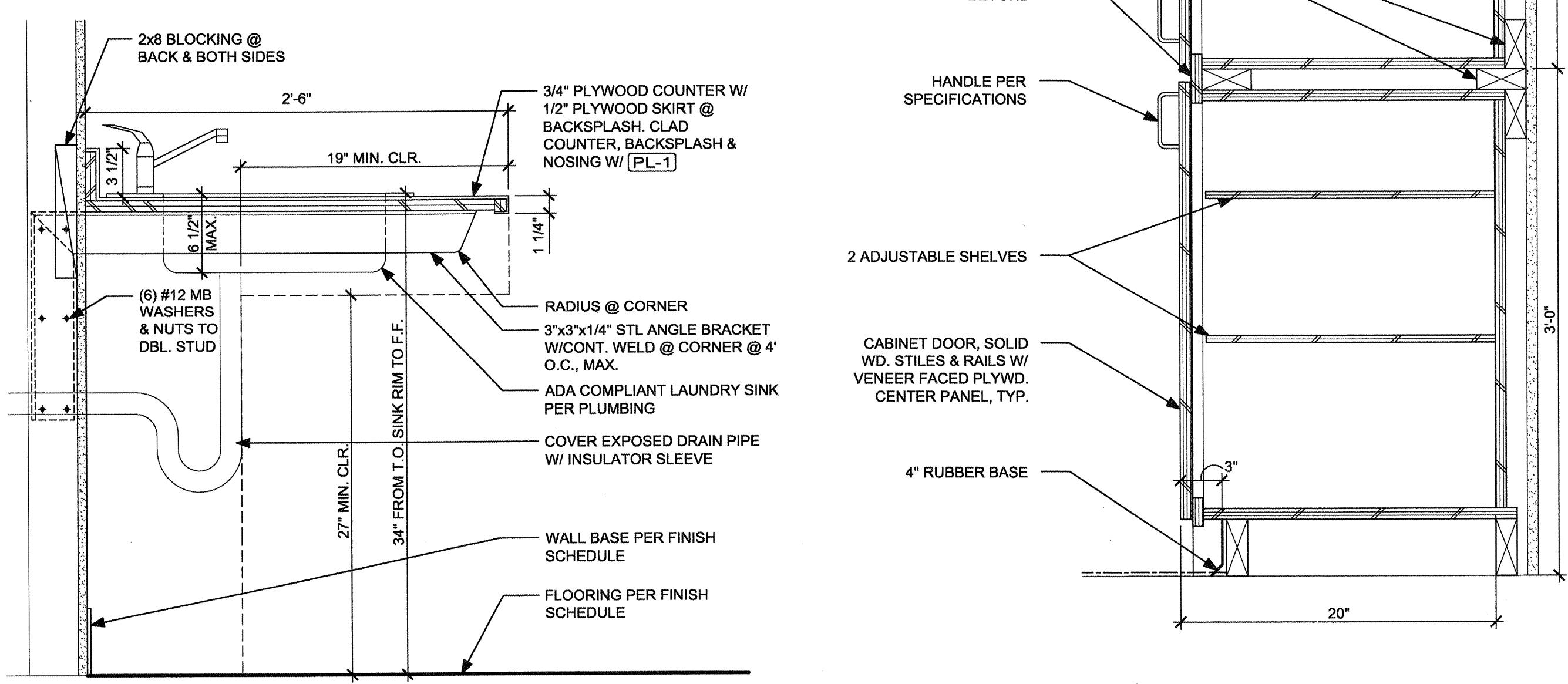
SCALE: 1/2" = 1'-0"

**4 INTERIOR ELEVATION-ACCESSIBLE KITCHEN, UNIT #18, NOTES SIM TO UNIT #17**

SCALE: 1/2" = 1'-0"



**5 INTERIOR DOOR HEAD (JAMB SIM.)**  
SCALE: 3" = 1'-0"



**10 FULL HEIGHT CABINET**  
SCALE: 1 1/2" = 1'-0"

## DOOR SCHEDULE

DOOR SCHEDULE															
DOOR MARK	LOCATION	OPENING WIDTH x HEIGHT	NO. LEAVES	TYPE	DOOR			FRAME		DETAIL			HDWR SET	FIRE RTG.	NOTES
					MAT'L	CORE	FINISH	MAT'L	FINISH	HEAD	JAMB	THRESH			
1	UNIT ENTRY-ACCESS. UNITS	3'-0" x 6'-8"	1	A	FG	INSUL	FACT	FG	FACT	2/A5.10	12/A5.10	8 & 11/A5.10	01	-	1
2	PATIO/BALCONY DOOR - SLIDE	6'-0" x 6'-8"	2	B	VIN	IG	FACT	VIN	FACT	2/A5.10	10/A5.10	6 & 7/A5.10	-	-	
3	PATIO DOOR - SWING	3'-0" x 6'-8"	1	C	VIN	IG	FACT	VIN	FACT	1/A8.1	12/A5.10	8 & 11/A5.10	01	-	
4	NOT USED														
5	OFFICE / LAUNDRY	3'-0" x 6'-8"	1	D	FG	INSUL	FACT	FG	FACT	2/A5.10	12/A5.10	11/A5.10	01	-	

UNIT INTERIORS

U1	BEDROOM	3'-0" x 6'-8"	1	A	WD	HC	MATCH	WD	MATCH	5/A7.01	5/A7.01	-	03	-	2
U2	BATHROOM - SWING	3'-0" x 6'-8"	1	A	WD	HC	MATCH	WD	MATCH	5/A7.01	5/A7.01	-	02	-	2
U3	COMMON RESTROOM	RE USE EXISTING	-	-	-	-	-	-	-	-	-	-	04	-	
U4	COMPUTER ROOM	EXISTING TO REMAIN	-	-	-	-	-	-	-	-	-	-	05	-	
U5	CLOSET / STORAGE	3'-0" x 6'-8"	1	A	WD	HC	MATCH	WD	MATCH	5/A7.01	5/A7.01	-	03	-	2

**GENERAL NOTES:**

- FIELD VERIFY ALL DIMENSIONS PRIOR TO PURCHASING OF DOORS, FRAMES AND HARDWARE.
  - DOORS THROUGHOUT TO BE 1 3/4" THICK EXCEPT HOLLOW CORE DOORS IN UNIT INTERIORS (NOT INCLUDING UNIT ENTRY OR BALCONY) WHICH ARE TO BE 1 3/8". ALL GLAZING IN DOORS TO BE TEMPERED GLASS (T.G.).
  - MATCH FINISH OF INTERIOR DOOR AND FRAME TO FINISH OF EXISTING DOORS AND FRAMES TO REMAIN IN UNIT.

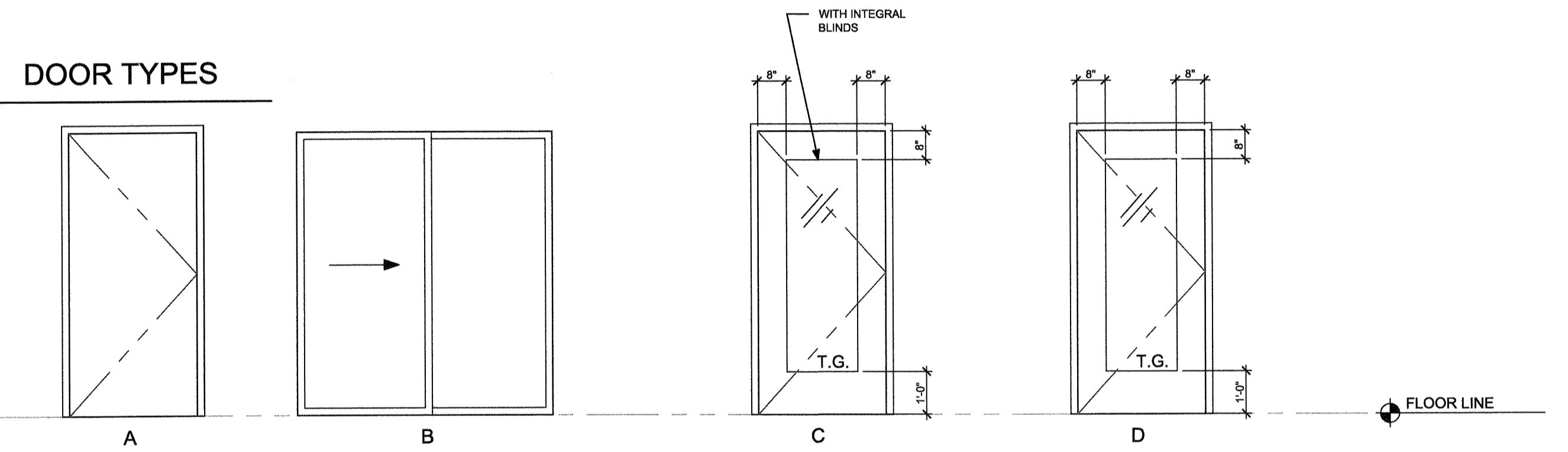
## NOTES:

- NOTES:

  1. PROVIDE (2) DOOR VIEWERS @ EA. ACCESSIBLE UNIT ENTRY DOOR, 1 @ STANDARD HEIGHT, & 1 @ WHEELCHAIR ACCESSIBLE HEIGHT.
  2. ORIENTATION OF DOOR SWING PER PLANS IN ORDER TO ACHIEVE PROPER ACCESSIBILITY CLEARANCES.

**ABBREVIATIONS:** FACT - FACTORY, FG - FIBERGLASS, HC - HOLLOW CORE, IG - INSULATED GLASS, INSUL - INSULATED, MATCH - MATCH EXISTING, PT - PAINT, VIN - VINYL, WD - WOOD

## DOOR TYPES



## WINDOW SCHEDULE

WINDOW MARK	OPENING (R.O.) WIDTH x HEIGHT	HEAD HEIGHT	GLASS TYPE	FRAME TYPE	FRAME MAT'L	DETAIL			NOTES
						HEAD	JAMB	SILL	
A	6'-0" x 3'-0" <sup>1</sup>	EXISTING <sup>2</sup>	IG	SLIDER	VIN	1/A5.10	9/A5.10	5/A5.10	1, 2
B	6'-0" x 4'-0" <sup>1</sup>	EXISTING <sup>2</sup>	IG	SLIDER	VIN	1/A5.10	9/A5.10	5/A5.10	1, 2
C	2'-7 1/2" x 4'-0" <sup>1</sup>	SEE DRAWING	IG	CASEMENT	VIN	1/A5.11	9/A5.11	5/A5.11	1, 2

**GENERAL NOTES:**

- FIELD VERIFY ALL DIMENSIONS PRIOR TO PURCHASING OF WINDOWS.
  - SAFETY GLAZING REQUIRED AT THE FOLLOWING CONDITIONS:
    - GLAZING LOCATED ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE IS WITHIN A 24-INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.

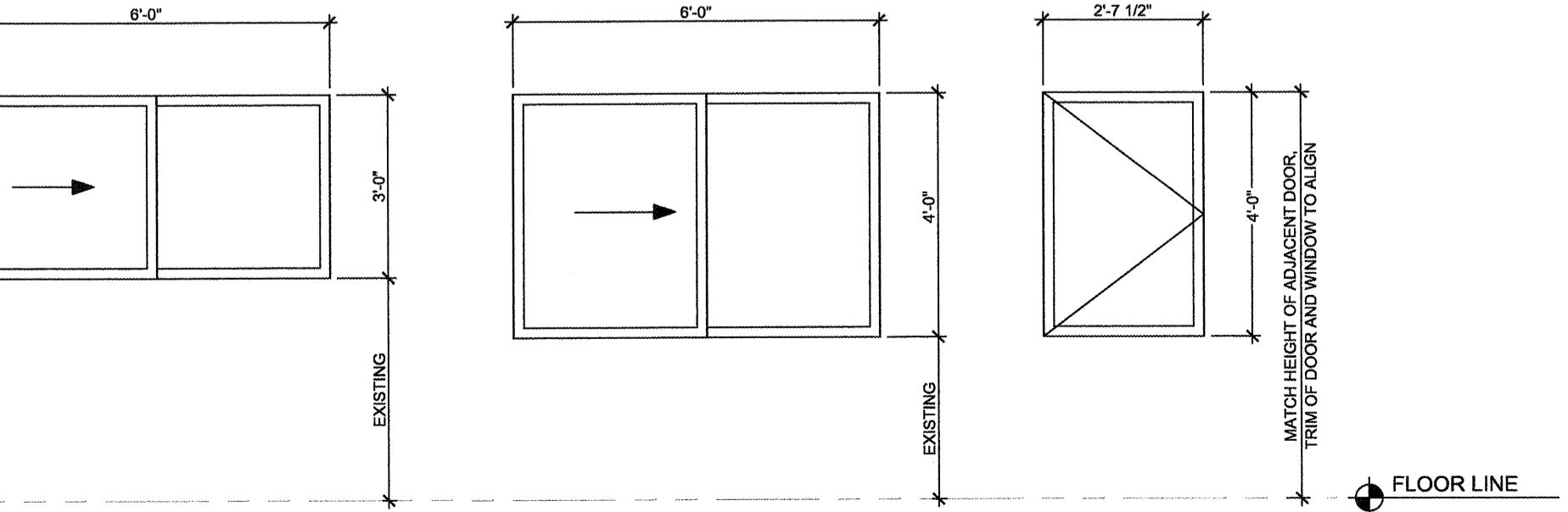
## NOTES

- NOTES:**

  1. FIELD VERIFY EXISTING WINDOW OPENING DIMENSIONS.
  2. AT ACCESSIBLE UNITS, REVISE FRAMING AND LOWER WINDOW TO ALLOW FOR 4'-0" MAXIMUM REACH TO WINDOW'S OPERABLE PARTS.

**ABBREVIATIONS:** IG - INSULATED GLASS, VIN - VINYL

## WINDOW TYPES



CODE	DESCRIPTION	PRODUCT	COLOR	GENERAL LOCATION
<b>CARPET</b>				
CPT-1	CARPET	PATCRAFT, TO THE POINT	TO BE DETERMINED	ACCESSIBLE UNITS
<b>SHEET VINYL</b>				
SHV-1	SHEET VINYL	MANNINGTON RESIDENTIAL, MUIR'S POINT	3842 RIVERSTONE BLEND	ACCESSIBLE UNITS
<b>BASE</b>				
B-1	RUBBER BASE	4" COVE BASE	TO BE DETERMINED	ACCESSIBLE UNITS
<b>PAINT</b>				
PT-1	PAINT	INTERIOR SATIN LATEX	MILLER POLAR WHITE 4478	ACCESSIBLE UNITS
PT-2	PAINT	INTERIOR SEMI-GLOSS ACRYLIC ENAMEL	TO BE DETERMINED	INTERIOR FACE OF EXTERIOR DOOR
PT-3	PAINT	EXTERIOR SEMI-GLOSS ACRYLIC ENAMEL	TO BE DETERMINED	EXTERIOR FACE OF EXTERIOR DOOR
PT-4	PAINT	EXTERIOR SATIN LATEX	TO BE DETERMINED	SIDING-BODY COLOR A
PT-5	PAINT	EXTERIOR SATIN LATEX	TO BE DETERMINED	SIDING-BODY COLOR B
PT-6	PAINT	EXTERIOR SATIN LATEX	TO BE DETERMINED	EXTERIOR TRIM, SOFFITS, UndERSIDE OF EAVES
<b>P.LAM</b>				
PL-1	PLASTIC LAMINATE	HIGH PRESSURE DECORATIVE LAMINATE	TO BE DETERMINED	ACCESSIBLE UNIT KITCHENS
PL-2	PLASTIC LAMINATE	HIGH PRESSURE DECORATIVE LAMINATE	TO BE DETERMINED	ACCESSIBLE UNIT BATHROOMS

1 FINISH LEGEND

SCALE: N/A

COMMUNITY BUILDING

LOCATION	FLOOR	BASE	WALLS/CEILINGS	NEW SOFFIT	CABINETRY Counter/bksplsh	REMARKS
BATHROOM	E.T.R. *	E.T.R.	E.T.R./ MATCH EXIST.			PAINT FURRED-OUT WALL TO MATCH EXISTING ADJ.
<b>ACCESSIBLE UNITS</b>						
LOCATION	FLOOR	BASE	WALLS/CEILINGS	NEW SOFFIT	CABINETRY Counter/bksplsh	REMARKS
LIVING/DINING	SHV-1	B-1	PT-1	PT-1		
KITCHEN	SHV-1	B-1	PT-1	PT-1	PL-1	
BEDROOM	CPT-1	B-1	PT-1	PT-1		
BATHROOM	SHV-1	B-1	PT-1	PT-1	PL-2	
STORAGE	SHV-1	B-1	PT-1	PT-1		
<b>NON-ACCESSIBLE UNITS</b>						
LOCATION	FLOOR	BASE	WALLS/CEILINGS	NEW SOFFIT	CABINETRY Counter/bksplsh	REMARKS
LIVING/DINING	E.T.R.	E.T.R.	E.T.R.	MATCH EXIST.	E.T.R.	
KITCHEN	E.T.R.	E.T.R.	E.T.R.	MATCH EXIST.	E.T.R.	
HALL, BEDROOMS, STOR.	E.T.R.	E.T.R.	E.T.R.	MATCH EXIST.	E.T.R.	

\*E.T.R. = EXISTING TO REMAIN

2 FINISH SCHEDULE

SCALE: N/A

