

ASPEN VILLAS APARTMENTS

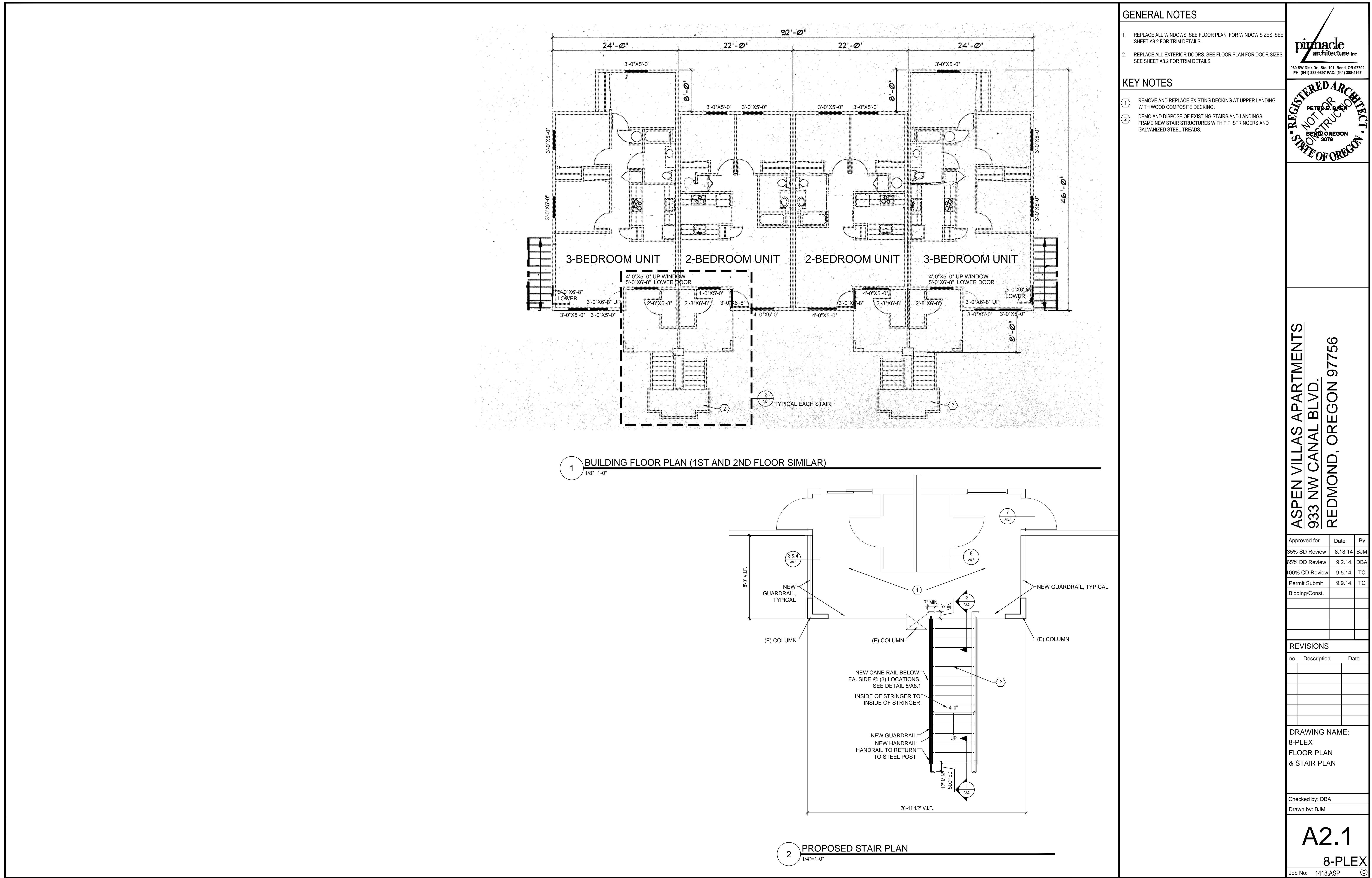
**933 NW CANAL BLVD.
REDMOND, OR 97756**

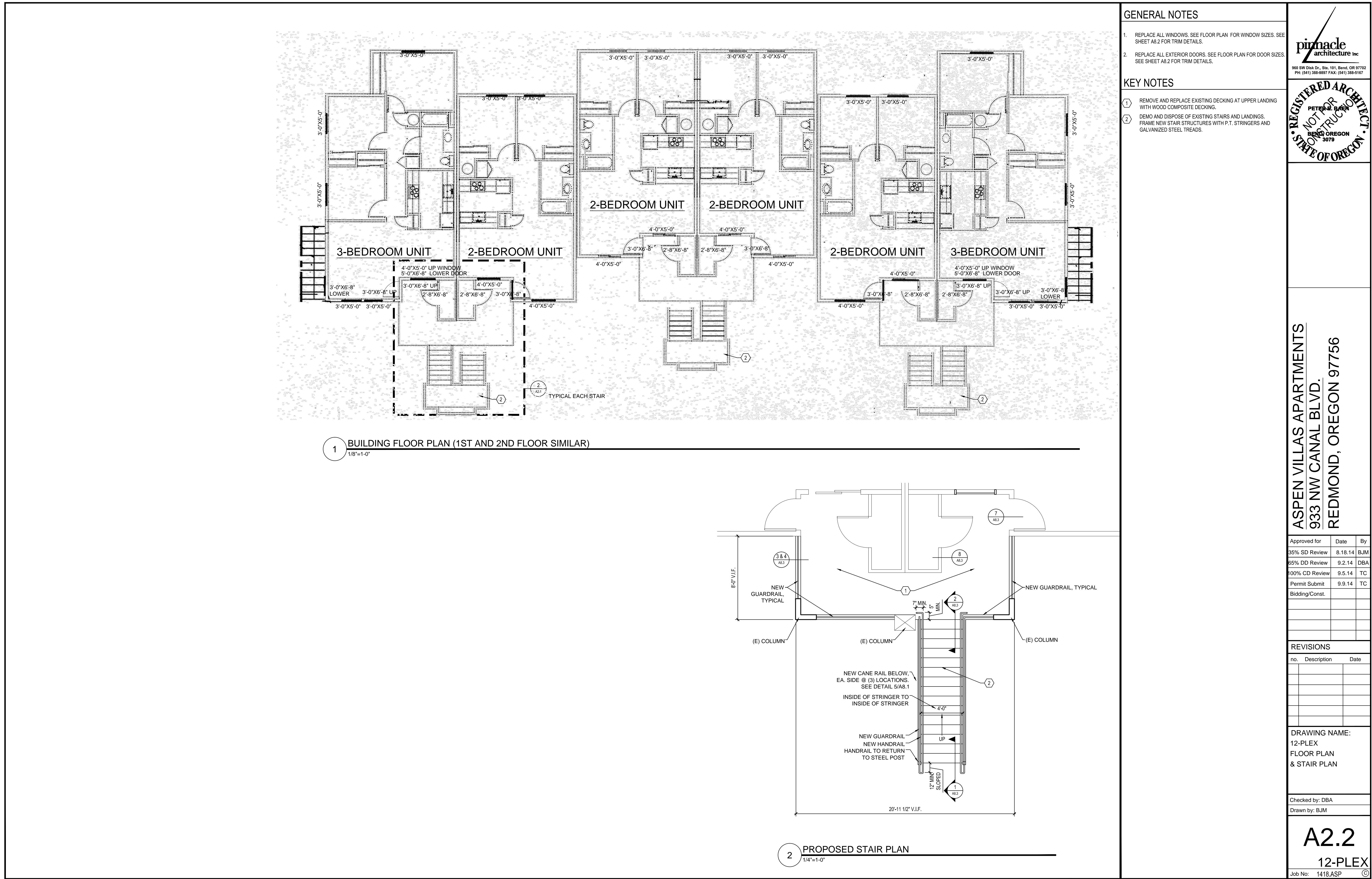
CONSTRUCTION DOCUMENTS

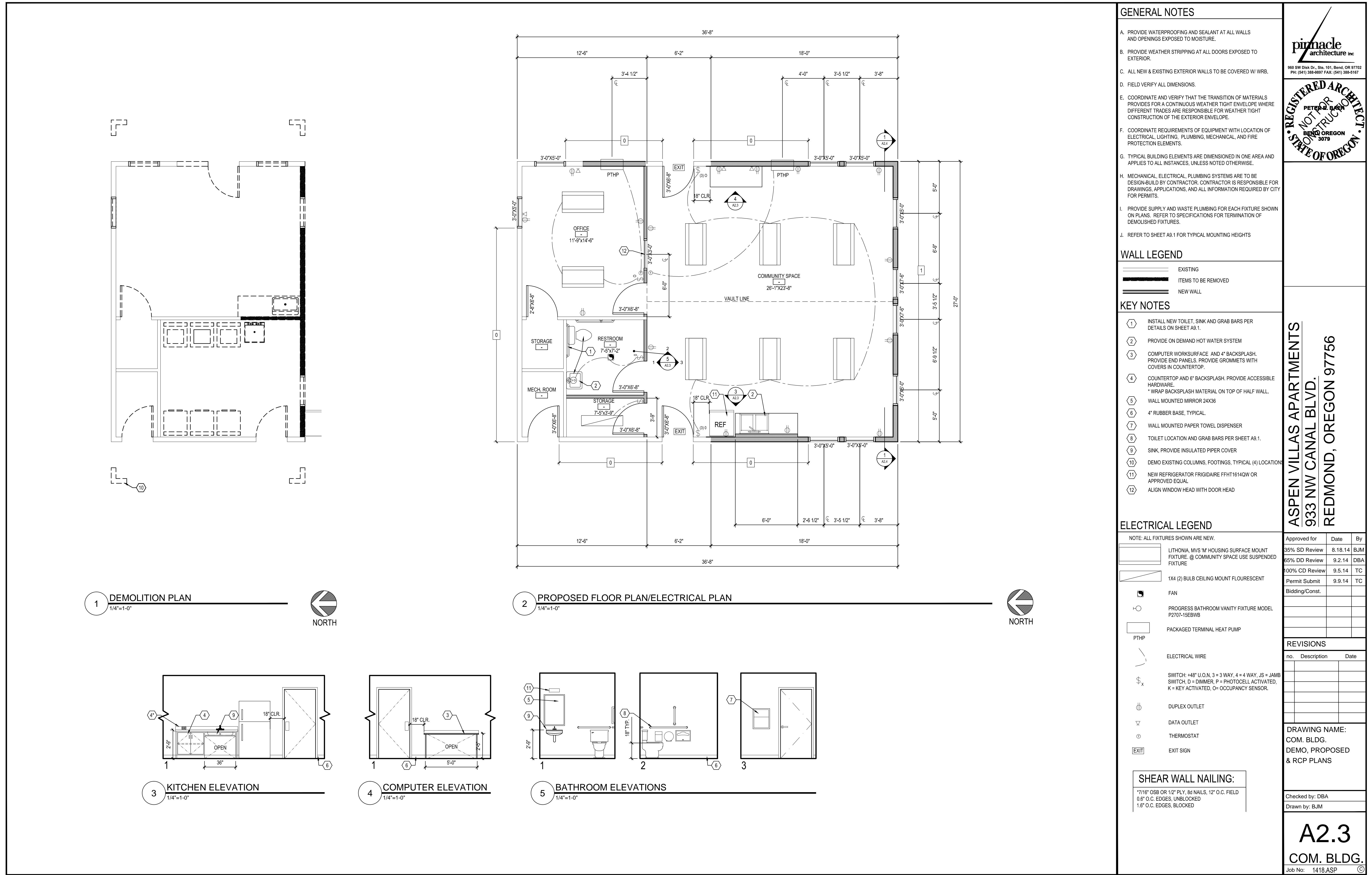


Project Contact Information			Project Information	Building Information	Drawing Index		
OWNER: PAULINA PEAK PARTNERS, LLC 405 SW 6TH ST. REDMOND, OR 97756 541.323.7412 CONTACT: KEITH WOODEN EMAIL: KWOODEN@HOUSING-WORKS.COM	ARCHITECT: PINNACLE ARCHITECTURE, INC. 960 SW DISK DRIVE, STE 101 BEND, OR 97702 541.388.9897 CONTACT: DOUGLAS ALLEY EMAIL: DOUGLAS_ALLEY@PARCH.BIZ	CONTRACTOR: LMC CONSTRUCTION 8324 SW NIMBUS AVE BEAVERTON, OR 97008 503.646.0521 CONTACT: NAME RYAN DUFFIN EMAIL: RYAND@LMCINCORPORATED.COM	DESCRIPTION: REMODEL OF EXISTING APARTMENT COMPLEX LOT SIZE: 191,103 SQ. FT. (4.38 ACRES)	BUILDING A1 1ST FLOOR (2) 2-BEDROOM (2) 3-BEDROOM 2ND FLOOR (2) 2-BEDROOM (2) 3-BEDROOM BUILDING A2 1ST FLOOR (2) 2-BEDROOM (2) 3-BEDROOM 2ND FLOOR (2) 2-BEDROOM (2) 3-BEDROOM BUILDING B1 1ST FLOOR (4) 2-BEDROOM (2) 3-BEDROOM 2ND FLOOR (4) 2-BEDROOM (2) 3-BEDROOM BUILDING B2 1ST FLOOR (4) 2-BEDROOM (2) 3-BEDROOM 2ND FLOOR (4) 2-BEDROOM (2) 3-BEDROOM 40 TOTAL UNITS 35,088 SF	GENERAL DRAWINGS G0.1 COVER SHEET G0.2 GENERAL NOTES AND CONVENTIONS ARCHITECTURAL DRAWINGS A1.1 PROPOSED SITE PLAN A1.2 SITE DETAILS A2.1 8-PLEX FLOOR PLAN & STAIR PLAN A2.2 12-PLEX FLOOR PLAN & STAIR PLAN A2.3 COM. BLDG. DEMO, PROPOSED, AND RCP PLANS A2.4 COM. BLDG. SECTION, FOUNDATION PLAN & ROOF FRAMING PLAN A3.1 8-PLEX ELEVATIONS A3.2 12-PLEX ELEVATIONS A3.3 COM. BLDG ELEVATIONS A8.1 DETAILS A8.2 DETAILS A8.3 DETAILS A9.1 GENERAL ACCESSIBILITY DETAILS	Approved for Date By 35% SD Review 8.18.14 BJM 65% DD Review 9.2.14 DBA 100% CD Review 9.5.14 TC Permit Submit 9.9.14 TC Bidding/Const.	ASPEN VII 933 NW C / REDMOND
STRUCTURAL ENGINEER: PIONEER ENGINEERING 250 EAST 17TH AVE EUGENE, OR 97401 541.746.5841 CONTACT: ADAM CLOUGH EMAIL: ADAM@PIONEERENGR.COM			CODES FOLLOWED 2010 OSSC APPENDIX N		REVISIONS no. Description Date		
			BUILDING INFORMATION (16) THREE BEDROOM UNITS @ 999 SQ FT EA (24) TWO BEDROOM UNITS @ 796 SQ FT EA		DRAWING NAME: COVER SHEET		
					Checked by: DBA Drawn by: BJM		
					G0.1		
					Job No: 1418.ASP	©	

GENERAL NOTES		HATCH PATTERNS		DRAWING SYMBOLS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																				
1. THIS DESIGN IS AN ORIGINAL UNPUBLISHED WORK AND MAY NOT BE DUPLICATED, PUBLISHED AND/OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.		SECTION	ELEVATION	DETAIL MARKER	COORDINATES (HORIZONTAL REFERENCE)	COORDINATES (VERTICAL REFERENCE)	ROOM TAG																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																	
2. THESE SHEETS -LISTED BY DRAWING INDEX, ALL ACCOMPANYING SPECIFICATIONS FOR MATERIALS, WORKMANSHIP, QUALITY, AND NOTES HAVE BEEN PREPARED SOLELY FOR THE CONSTRUCTION AND FINISH OF PROJECT IMPROVEMENTS, COMPLETE AND READY FOR OCCUPANCY AND USE.			EARTH		BRICK		NORTH/SOUTH GRID EAST/WEST GRID	NOTE: SEE ARCHITECTURAL SITE PLAN FOR DATUM REFERENCE MAIN FLOOR ACTUAL/REAL ELEVATION = 100'-0" = DATUM																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
3. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH PERTINENT JURISDICTIONAL CODES, RESTRICTIONS, COVENANTS, AND/OR ORDINANCES. ANY CONFLICT BETWEEN DESIGN AND REQUIREMENT SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING.			ROCK FILL		CONCRETE BLOCK			ROOM # - INDICATED ON FLOOR PLAN - FIRST LTR/# INDICATES LEVEL ON WHICH ROOM OCCURS, SECOND AND THIRD DIGITS IDENTIFY ROOM, FOURTH LTR INDICATES SECONDARY FUNCTION (SPACE)																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
4. ANY AND ALL PROPOSED CHANGES, MODIFICATIONS AND/OR SUBSTITUTIONS SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING. ANY DEVIATION FROM THE CONTRACT DOCUMENTS, WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT, BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.			CONCRETE		4" CMU VENEER			ROOM SQUARE FOOTAGE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
5. IN THE EVENT OF CONFLICT BETWEEN THE DESIGN DOCUMENTS AND/OR JURISDICTIONAL REQUIREMENTS, THE MORE RESTRICTIVE FROM THE STANDPOINT OF SAFETY AND PHYSICAL SECURITY SHALL APPLY, BEFORE PROCEEDING WITH WORK NOTIFY ARCHITECT OF ANY CONFLICT.			CMU		CEDAR/F.C. SHINGLES																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
6. ANY INSTALLATION OR WORK NECESSARY TO THE FUNCTIONING, SAFETY AND/OR PHYSICAL SECURITY OF DESIGN THAT IS TO BE ENCAPSULATED OR OTHERWISE PERMANENTLY OBSCURED FROM INSPECTION SHALL BE REPORTED TO THE ARCHITECT A MINIMUM OF TWO (2) WORKING DAYS BEFORE ENCLOSURE.			MANUFACTURED STONE		VERTICAL SIDING																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
7. ANY INSTALLATION, FINISH, OR COMPONENT INTENDED TO PROVIDE ENCLOSURE, WEATHERABILITY OR APPEARANCE QUALITY SHALL BE PROVIDED AS A REPRESENTATIVE SAMPLE PRIOR TO PROCEEDING WITH COMPLETION. WORK PERFORMED WITHOUT WRITTEN APPROVAL OF SUCH SAMPLE BY THE ARCHITECT SHALL BE DONE AT THE RISK OF THE CONTRACTOR. A MINIMUM OF TWO (2) WORKING DAYS NOTICE SHALL BE GIVEN.			MASONRY		MANUFACTURED STONE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
8. BUILDING DESIGN IS GENERALLY PREDICATED UPON PROVISIONS OF THE CURRENT EDITION OF THE IBC AND/OR AMENDMENTS AS MAY HAVE BEEN LOCALLY ENACTED. ALL REQUIREMENTS OF THE JURISDICTIONAL FIRE SAFETY/PREVENTION DISTRICT SHALL BE ACCOMMODATED BY THIS DESIGN AND ANY CONSEQUENT CONSTRUCTION.			STEEL		STUCCO																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
9. ANY DAMAGE, DISRUPTION OR COMPROMISE OF AMBIENT RIGHTS-OF-WAY, UTILITIES, OR ENVIRONMENTAL QUALITY SHALL BE IMMEDIATELY RECTIFIED BY THE CONTRACTOR TO THE SATISFACTION OF THE ARCHITECT AT NO COST TO THE OWNER.			ALUMINUM		LAP SIDING																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
10. ALL WORK SHALL BE INSPECTED BY GOVERNING AGENCIES IN ACCORDANCE WITH THEIR REQUIREMENTS. JURISDICTIONAL APPROVAL SHALL BE SECURED BEFORE PROCEEDING WITH WORK.			METAL LATH		BOARD AND BATTEN																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
11. ALL PENETRATIONS OF FIRE-RESISTIVE FLOORS OR SHAFT WALLS SHALL BE PROTECTED BY MATERIALS AND CONSTRUCTION THAT CONFORMS TO UNDERWRITERS LABORATORIES LISTINGS FOR "THROUGH-PENETRATION FIRE STOP SYSTEMS". THE CONTRACTOR SHALL SUBMIT SHOP DRAWING DETAILS, PROVIDED BY THE SUPPLIER OF THE FIRE STOP MATERIAL, THAT INDICATE COMPLETE CONFORMANCE WITH THE UL LISTING. DRAWINGS SHALL REMAIN AVAILABLE AT THE WORK SITE TO ARCHITECT, OWNER, AND INSPECTORS. DRAWINGS SHALL BE SPECIFIC FOR EACH PENETRATION, WITH APPROPRIATE UL # AND ALL VARIATIONS CLEARLY DEFINED.			WOOD, FINISH		ASPHALT ROOFING																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
12. THIS DESIGN PURPORTS TO PERMIT FULL ACCOMMODATION ACCESS, AND/OR ADAPTABILITY FOR HANDICAPPED PERSONS AS PROVIDED FOR BY PROVISIONS OF FEDERAL LAW AND LOCAL STIPULATION. ANY DEVOTION OR COMPROMISE SHALL BE REPORTED TO THE ARCHITECT/ BEFORE PROCEEDING WITH WORK.			MDF		STANDING SEAM METAL ROOFING																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
13. DIMENSIONS (ON ARCHITECTURAL DRAWINGS) ARE TAKEN TO:			SITE PLAN		BUILDING SECTION																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
A. COORDINATE GRID LINES			ACOUSTIC TILE		DETAIL TAG																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
B. FACE OF CONCRETE OR CONCRETE MASONRY UNITS (CMU) - F.O.C.			PAVING																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
C. FACE OF VERTICAL STUD OR COLUMN - F.O.S. UNLESS NOTATED WITH ± INDICATING THAT DIMENSION IS TO CENTERLINE.			GYPSUM BOARD																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
D. TOP SURFACE OF FLOOR (WITHOUT FINISH), WALL, TRIM, CAP, RAILING, ETC. ABOVE NEAREST REFERENCE LEVEL - A.F.F.			INSULATION, BATT																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
E. SEE SITE PLAN FOR ELEVATION (DATUM) REFERENCE: MAIN (GROUND) FLOOR ELEVATION, ACTUAL (REAL)=100'-0"=DATUM. CENTER OF HORIZONTAL OPENING OF DOOR & WINDOW LOCATIONS, UNLESS NOTED OTHERWISE.			PAVERS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
F. CENTER OF HORIZONTAL OPENING OF DOOR & WINDOW LOCATIONS, UNLESS NOTED OTHERWISE.			INSULATION, RIGID																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
G. CENTER OF HORIZONTAL OPENING OF DOOR & WINDOW LOCATIONS, UNLESS NOTED OTHERWISE.			SHRUB BEDS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
H. CENTER OF HORIZONTAL OPENING OF DOOR & WINDOW LOCATIONS, UNLESS NOTED OTHERWISE.			XERI-SCAPING																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
I. CENTER OF HORIZONTAL OPENING OF DOOR & WINDOW LOCATIONS, UNLESS NOTED OTHERWISE.			GLULAM		TACTILE SURFACE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
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<table border="1"> <tr><td>&</td><td>AND</td><td>CAB</td><td>CABINET</td><td>DIM</td><td>DIMENSION</td><td>FHC</td><td>FIRE HOSE CABINET</td><td>HR</td><td>HOUR</td><td>OC</td><td>ON CENTER</td><td>RO</td><td>ROUGH OPENING</td><td>THRU</td><td>THROUGH</td></tr> <tr><td>@</td><td>ANGLE</td><td>CB</td><td>CATCH BASIN OR CHALKBOARD</td><td>DISP</td><td>DISPENSER</td><td>FIN</td><td>FINISH</td><td>HVAC</td><td>HEATING, VENTILATION, AIR</td><td>OD</td><td>OUTSIDE DIAMETER</td><td>RVS</td><td>TOP OF</td><td></td><td></td></tr> <tr><td>€</td><td>CENTERLINE</td><td>CBB</td><td>CEMENT BACKER BOARD</td><td>DIV</td><td>DIVISION OR DIVIDE</td><td>FIN FLR</td><td>FINISH FLOOR</td><td>ID</td><td>CONDITIONING</td><td>OFCI</td><td>OWNER FURNISHED CONTRACTOR</td><td>RWL</td><td>RAIN WATER LEADER</td><td>TOC</td><td>TOP OF CURB</td></tr> <tr><td>Ø</td><td>DIAMETER</td><td>CEM</td><td>CEMENT</td><td>DN</td><td>DOWN</td><td>FLR</td><td>FLOOR</td><td>INSUL</td><td>INSULATION</td><td>INSTALLED</td><td>SELF ADHERED MEMBRANE</td><td>TOL</td><td>TOLERANCE</td><td></td><td></td></tr> <tr><td>±</td><td>PLUS OR MINUS</td><td>CER</td><td>CERAMIC</td><td>DR</td><td>DOOR</td><td>FLUOR</td><td>FLUORESCENT</td><td>OFF</td><td>OFFICE</td><td>OFFICE</td><td>SOLID CORE</td><td>TOS</td><td>TOP OF STEEL</td><td></td><td></td></tr> <tr><td>°</td><td>DEGREE</td><td>CFCI</td><td>CONTRACTOR INSTALLED</td><td>DS</td><td>DOWNSPOUT</td><td>FMT</td><td>FORMED METAL TRIM</td><td>INT</td><td>INTERIOR</td><td>OFOI</td><td>OWNER FURNISHED OWNER INSTALLED</td><td>SCHED</td><td>SCHEDULE</td><td>TOW</td><td>TOP OF WALL</td></tr> <tr><td>#</td><td>POUND OR NUMBER</td><td>CG</td><td>CORNER GUARD</td><td>DWG</td><td>DRAWING</td><td>FOC</td><td>FACE OF CONCRETE OR CURB</td><td>JS</td><td>JOINT SEALANT</td><td>OPNG</td><td>OPENING</td><td>SD</td><td>STORM DRAIN OR SOAP DISPENSER</td><td>TPTN</td><td>TOILET PAPER DISPENSER</td></tr> <tr><td>(E)</td><td>EXISTING</td><td>CI</td><td>CAST IRON</td><td>EA</td><td>EACH</td><td>FOS</td><td>FACE OF FINISH</td><td>JT</td><td>JOINT</td><td>OPP</td><td>OPPOSITE</td><td>SECT</td><td>SECTION</td><td>TPTN</td><td>TOILET PARTITION</td></tr> <tr><td>AB</td><td>ANCHOR BOLT</td><td>CIP</td><td>CAST-IN-PLACE</td><td>EF</td><td>EACH FACE</td><td>FP</td><td>FIREPROOF</td><td>LAB</td><td>LABORATORY</td><td>P?</td><td>PAINT COLOR</td><td>SHT</td><td>SHOWER</td><td>TR</td><td>TRASH RECEPTACLE</td></tr> <tr><td>A/C</td><td>AIR CONDITIONING</td><td>CJ</td><td>CONSTRUCTION OR CONTROL JOINT</td><td>EJ</td><td>EXPANSION JOINT</td><td>FT</td><td>FOOT OR FEET</td><td>LINO</td><td>LINOLEUM</td><td>PBD</td><td>PARTICLE BOARD</td><td>SHT</td><td>SHEET</td><td>TYP</td><td>TYPICAL</td></tr> <tr><td>ACST</td><td>ACOUSTICAL</td><td>CLG</td><td>CEILING</td><td>EL</td><td>ELEVATION</td><td>FTG</td><td>FOOTING</td><td>LAM</td><td>LAMINATE</td><td>PC</td><td>PRECAST</td><td>SIM</td><td>SIMILAR</td><td>UNFIN</td><td>UNFINISHED</td></tr> <tr><td>ACT</td><td>ACOUSTICAL CEILING TILE</td><td>CLO</td><td>CLOSET</td><td>ELEC</td><td>ELECTRICAL</td><td>FUS</td><td>FOLDING UTILITY SHELF</td><td>LAV</td><td>LAVATORY</td><td>PERF</td><td>PERFORATED</td><td>SKLT</td><td>SKYLIGHT</td><td>UNO</td><td>UNLESS NOTED OTHERWISE</td></tr> <tr><td>ACW</td><td>ALUMINUM CURTAIN WALL</td><td>CLR</td><td>CLEAR</td><td>ELEV</td><td>ELEVATOR</td><td>G</td><td>GROUND</td><td>LKR</td><td>LOCKER</td><td>PL</td><td>PROPERTY LINE</td><td>SND</td><td>SANITARY NAPKIN DISPOSAL</td><td>UR</td><td>URINAL</td></tr> <tr><td>AD</td><td>AREA DRAIN</td><td>CMU</td><td>CONCRETE MASONRY UNIT</td><td>EP</td><td>ELECTRICAL PANEL</td><td>GA</td><td>GAUGE</td><td>LS</td><td>INTERIOR LIGHTSHELF</td><td>PLAM</td><td>PLASTIC LAMINATE</td><td>SNDU</td><td>SANITARY NAPKIN DISPENSER UNIT</td><td>US</td><td>UTILITY SHELF</td></tr> <tr><td>ADJ</td><td>ADJUSTABLE OR</td><td>CNTR</td><td>COUNTER</td><td>EQ</td><td>EQUAL</td><td>GALV</td><td>GALVANIZED</td><td>LT</td><td>LIGHT</td><td>PLAS</td><td>PLASTER</td><td>SPEC</td><td>SPECIFICATION</td><td>VCT</td><td>VINYL COMPOSITION TILE</td></tr> <tr><td>ADJ.</td><td>ADJACENT</td><td>CO</td><td>CLEANOUT</td><td>EQUIP</td><td>EQUIPMENT</td><td>GRAB BAR</td><td>GRAB BAR</td><td>MAX</td><td>MAXIMUM</td><td>PLYWD</td><td>PLYWOOD</td><td>SQ</td><td>SQUARE</td><td>VERT</td><td>VERTICAL</td></tr> <tr><td>AFF</td><td>ABOVE FINISHED FLOOR</td><td>COL</td><td>COLUMN</td><td>EST</td><td>ESTIMATE</td><td>GL</td><td>GLASS</td><td>MB</td><td>MARKER BOARD</td><td>PNL</td><td>PANEL</td><td>SS</td><td>SUNSCREEN</td><td>VEST</td><td>VESTIBULE</td></tr> <tr><td>AGG</td><td>AGGREGATE</td><td>CONC</td><td>CONCRETE</td><td>EWC</td><td>ELECTRIC WATER COOLER</td><td>GL BLK</td><td>GLASS BLOCK</td><td>MECH</td><td>MECHANICAL</td><td>PR</td><td>PAIR</td><td>SST</td><td>STAINLESS STEEL</td><td>VIF</td><td>VERIFY IN FIELD</td></tr> <tr><td>AHU</td><td>AIR HANDLING UNIT</td><td>CONN</td><td>CONNECTION</td><td>EWH</td><td>ELECTRIC WATER HEATER</td><td>GLZ CMU</td><td>GLAZED CMU</td><td>MEMB</td><td>MEMBRANE</td><td>PT</td><td>PROJECTION SCREEN</td><td>STA</td><td>STATION</td><td>W/</td><td>WITH</td></tr> <tr><td>ALUM</td><td>ALUMINUM</td><td>CONSTR</td><td>CONSTRUCTION</td><td>EXH</td><td>EXHAUST</td><td>GR</td><td>GRADE</td><td>MFR</td><td>MANUFACTURER</td><td>PTAC</td><td>PACKAGED TERMINAL AIR CONDITIONER</td><td>STD</td><td>STANDARD</td><td>WRB</td><td>WEATHER RESISTIVE BARRIER</td></tr> <tr><td>APPROX</td><td>APPROXIMATE</td><td>CONT</td><td>CONTINUOUS</td><td>(E)</td><td>EXISTING</td><td>GWB</td><td>GYPSUM WALL BOARD</td><td>MH</td><td>MATERIAL</td><td>PID</td><td>PAPER TOWEL DISPENSER</td><td>STOR</td><td>STORAGE</td><td></td><td></td></tr> <tr><td>ARCH</td><td>ARCHITECTURAL</td><td>CPT</td><td>CARPET</td><td>EXP</td><td>EXPOSED OR EXPANSION</td><td>GWB-IR</td><td>GYPSUM WALL BOARD - IMPACT RESISTANT</td><td>MIN</td><td>MINIMUM</td><td>PTHP</td><td>PACKAGED TERMINAL HEAT PUMP</td><td>STRUCT</td><td>STRUCTURAL</td><td></td><td></td></tr> <tr><td>AST</td><td>ALUMINUM STOREFRONT</td><td>CSK</td><td>COUNTERSUNK</td><td>FA</td><td>Fire ALARM</td><td>GWB-IR</td><td>GYPSUM WALL BOARD - WATER RESISTANT</td><td>MISC</td><td>MISCELLANEOUS</td><td>PTN</td><td>PARTITION</td><td>SUSP</td><td>SUSPEND</td><td></td><td></td></tr> <tr><td>ASPH</td><td>ASPHALT</td><td>CT</td><td>CERAMIC TILE</td><td>FB</td><td>FLAT BAR</td><td>HOSE BIBB</td><td>HOSE BIBB</td><td>MO</td><td>MASONRY OPENING</td><td>QT</td><td>QUARRY TILE</td><td>SV</td><td>SHEET VINYL</td><td></td><td></td></tr> <tr><td>AWP</td><td>ACOUSTICAL WALL PANEL</td><td>CTR</td><td>CENTER</td><td>FD</td><td>FLOOR DRAIN</td><td>HD</td><td>HANDLE</td><td>MP</td><td>METAL PANEL</td><td>R</td><td>RADIUS OR RISER</td><td>SYMM</td><td>SYMMETRICAL</td><td></td><td></td></tr> <tr><td>BCS</td><td>BABY CHANGING 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VENTILATION, AIR	OD	OUTSIDE DIAMETER	RVS	TOP OF			€	CENTERLINE	CBB	CEMENT BACKER BOARD	DIV	DIVISION OR DIVIDE	FIN FLR	FINISH FLOOR	ID	CONDITIONING	OFCI	OWNER FURNISHED CONTRACTOR	RWL	RAIN WATER LEADER	TOC	TOP OF CURB	Ø	DIAMETER	CEM	CEMENT	DN	DOWN	FLR	FLOOR	INSUL	INSULATION	INSTALLED	SELF ADHERED MEMBRANE	TOL	TOLERANCE			±	PLUS OR MINUS	CER	CERAMIC	DR	DOOR	FLUOR	FLUORESCENT	OFF	OFFICE	OFFICE	SOLID CORE	TOS	TOP OF STEEL			°	DEGREE	CFCI	CONTRACTOR INSTALLED	DS	DOWNSPOUT	FMT	FORMED METAL TRIM	INT	INTERIOR	OFOI	OWNER FURNISHED OWNER INSTALLED	SCHED	SCHEDULE	TOW	TOP OF WALL	#	POUND OR NUMBER	CG	CORNER GUARD	DWG	DRAWING	FOC	FACE OF CONCRETE OR CURB	JS	JOINT SEALANT	OPNG	OPENING	SD	STORM DRAIN OR SOAP DISPENSER	TPTN	TOILET PAPER DISPENSER	(E)	EXISTING	CI	CAST IRON	EA	EACH	FOS	FACE OF FINISH	JT	JOINT	OPP	OPPOSITE	SECT	SECTION	TPTN	TOILET PARTITION	AB	ANCHOR BOLT	CIP	CAST-IN-PLACE	EF	EACH FACE	FP	FIREPROOF	LAB	LABORATORY	P?	PAINT COLOR	SHT	SHOWER	TR	TRASH RECEPTACLE	A/C	AIR CONDITIONING	CJ	CONSTRUCTION OR CONTROL JOINT	EJ	EXPANSION JOINT	FT	FOOT OR FEET	LINO	LINOLEUM	PBD	PARTICLE BOARD	SHT	SHEET	TYP	TYPICAL	ACST	ACOUSTICAL	CLG	CEILING	EL	ELEVATION	FTG	FOOTING	LAM	LAMINATE	PC	PRECAST	SIM	SIMILAR	UNFIN	UNFINISHED	ACT	ACOUSTICAL CEILING TILE	CLO	CLOSET	ELEC	ELECTRICAL	FUS	FOLDING UTILITY SHELF	LAV	LAVATORY	PERF	PERFORATED	SKLT	SKYLIGHT	UNO	UNLESS NOTED OTHERWISE	ACW	ALUMINUM CURTAIN WALL	CLR	CLEAR	ELEV	ELEVATOR	G	GROUND	LKR	LOCKER	PL	PROPERTY LINE	SND	SANITARY NAPKIN DISPOSAL	UR	URINAL	AD	AREA DRAIN	CMU	CONCRETE MASONRY UNIT	EP	ELECTRICAL PANEL	GA	GAUGE	LS	INTERIOR LIGHTSHELF	PLAM	PLASTIC LAMINATE	SNDU	SANITARY NAPKIN DISPENSER UNIT	US	UTILITY SHELF	ADJ	ADJUSTABLE OR	CNTR	COUNTER	EQ	EQUAL	GALV	GALVANIZED	LT	LIGHT	PLAS	PLASTER	SPEC	SPECIFICATION	VCT	VINYL COMPOSITION TILE	ADJ.	ADJACENT	CO	CLEANOUT	EQUIP	EQUIPMENT	GRAB BAR	GRAB BAR	MAX	MAXIMUM	PLYWD	PLYWOOD	SQ	SQUARE	VERT	VERTICAL	AFF	ABOVE FINISHED FLOOR	COL	COLUMN	EST	ESTIMATE	GL	GLASS	MB	MARKER BOARD	PNL	PANEL	SS	SUNSCREEN	VEST	VESTIBULE	AGG	AGGREGATE	CONC	CONCRETE	EWC	ELECTRIC WATER COOLER	GL BLK	GLASS BLOCK	MECH	MECHANICAL	PR	PAIR	SST	STAINLESS STEEL	VIF	VERIFY IN FIELD	AHU	AIR HANDLING UNIT	CONN	CONNECTION	EWH	ELECTRIC WATER HEATER	GLZ CMU	GLAZED CMU	MEMB	MEMBRANE	PT	PROJECTION SCREEN	STA	STATION	W/	WITH	ALUM	ALUMINUM	CONSTR	CONSTRUCTION	EXH	EXHAUST	GR	GRADE	MFR	MANUFACTURER	PTAC	PACKAGED TERMINAL AIR CONDITIONER	STD	STANDARD	WRB	WEATHER RESISTIVE BARRIER	APPROX	APPROXIMATE	CONT	CONTINUOUS	(E)	EXISTING	GWB	GYPSUM WALL BOARD	MH	MATERIAL	PID	PAPER TOWEL DISPENSER	STOR	STORAGE			ARCH	ARCHITECTURAL	CPT	CARPET	EXP	EXPOSED OR EXPANSION	GWB-IR	GYPSUM WALL BOARD - IMPACT RESISTANT	MIN	MINIMUM	PTHP	PACKAGED TERMINAL HEAT PUMP	STRUCT	STRUCTURAL			AST	ALUMINUM STOREFRONT	CSK	COUNTERSUNK	FA	Fire ALARM	GWB-IR	GYPSUM WALL BOARD - WATER RESISTANT	MISC	MISCELLANEOUS	PTN	PARTITION	SUSP	SUSPEND			ASPH	ASPHALT	CT	CERAMIC TILE	FB	FLAT BAR	HOSE BIBB	HOSE BIBB	MO	MASONRY OPENING	QT	QUARRY TILE	SV	SHEET VINYL			AWP	ACOUSTICAL WALL PANEL	CTR	CENTER	FD	FLOOR DRAIN	HD	HANDLE	MP	METAL PANEL	R	RADIUS OR RISER	SYMM	SYMMETRICAL			BCS	BABY CHANGING STATION	DEPT	DEPARTMENT	FE	FIRE EXTINGUISHER	HC	HOLLOW CORE	MS	METAL SIDING	RA	RETURN AIR	T	TREAD			BD	BOARD	DBL	DOUBLE	FDTN	FOUNDATION	HD	HAND DRIVER	MTD	MOUNDED	RB	ROBE HOOK	T&G	TONGUE & GROOVE			BLDG	BUILDING	DET	DETAIL	FEC	FIRE EXTINGUISHER CABINET	HDM	HARDWOOD	MU	MIRROR UNIT	RD	ROOF DRAIN	TBD	TO BE DETERMINED			BLKG	BLOCKING	DIA	DIA	FGS	FRAMELESS GLASS SYSTEM	HGT	HEIGHT	MULL	MULLION	REF	REFRIGERATOR	TCD	TOILET COVER			BM	BEAM					HM	HOLLOW METAL	NIC	NOT IN CONTRACT	REINF	REINFORCED	TEL	TELEPHONE			BOT	BOTTOM					HORIZ	HORIZONTAL	NO	NUMBER	REQD	REQUIRED	RESIL	RESILIENT	THK	THICKNESS							NTS	NOT TO SCALE	NOM	NOMINAL	RM	ROOM											OA	OVERALL	NTS	NOT TO SCALE														
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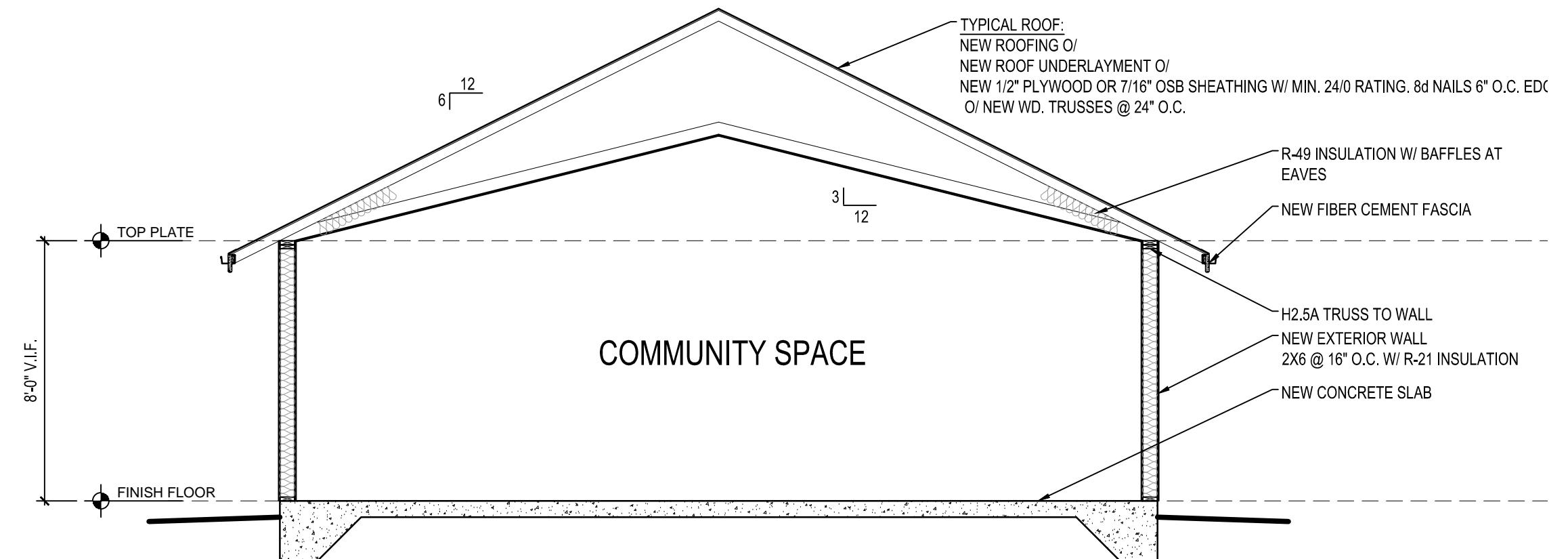




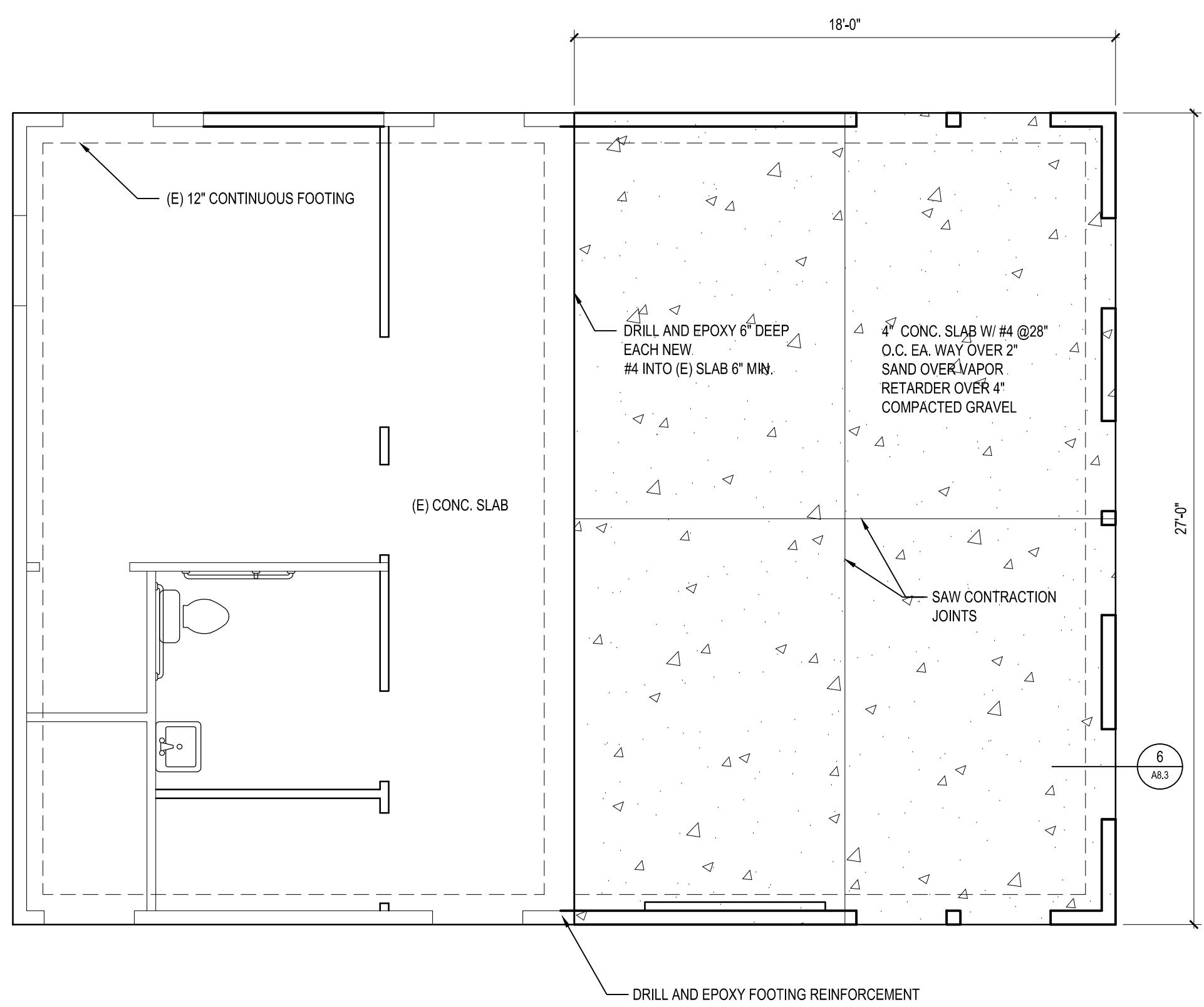


Approved for	Date	By
35% SD Review	8.18.14	BJM
65% DD Review	9.2.14	DBA
100% CD Review	9.5.14	TC
Permit Submit	9.9.14	TC
Bidding/Const.		
REVISIONS		
no.	Description	Date
DRAWING NAME:		
COM. BLDG. SECTION, FOUNDATION PLAN, & ROOF FRAMING PLAN		
Checked by: DBA		
Drawn by: BJM		

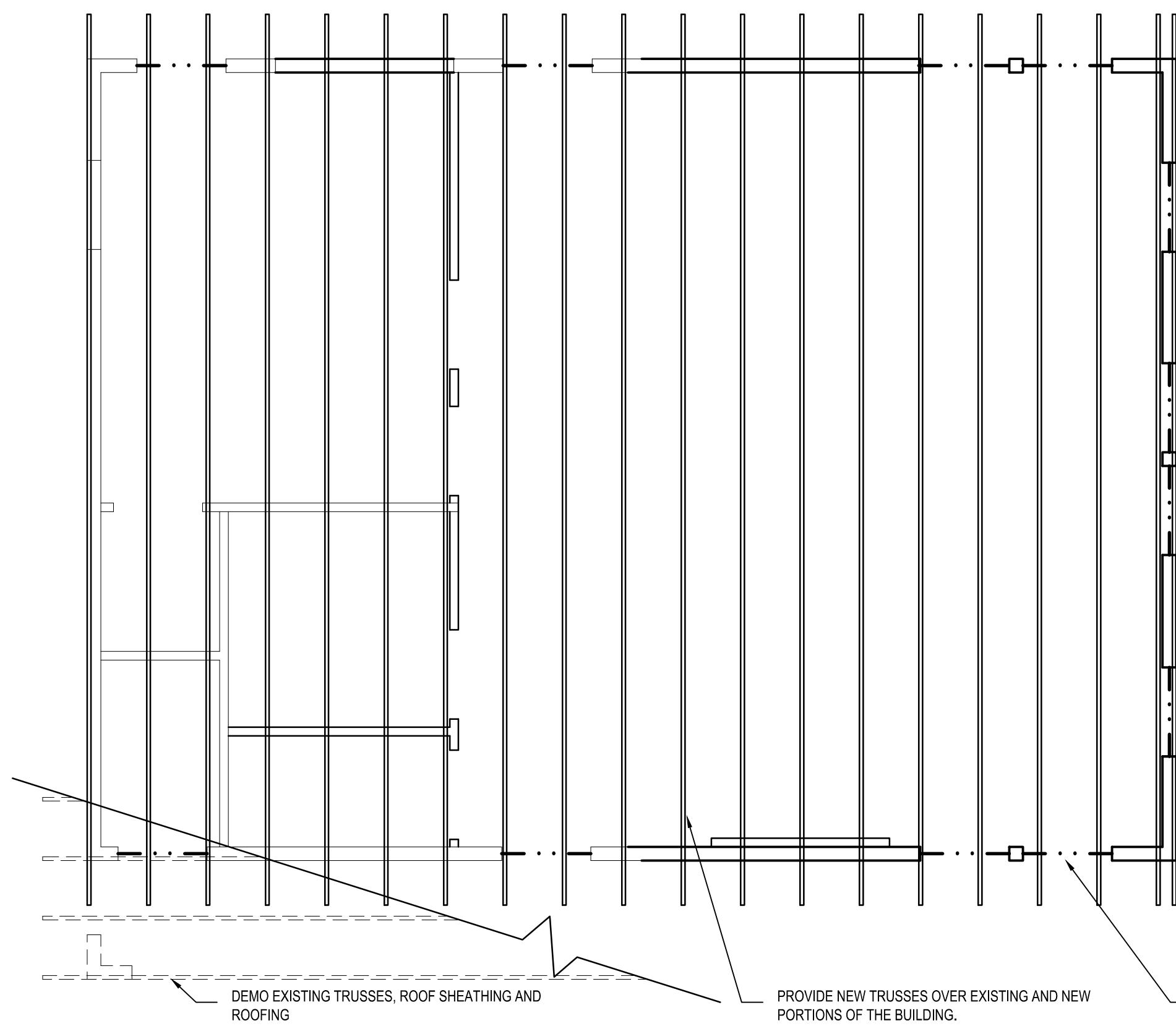
A2.4
COM. BLDG.
Job No.: 1418.ASP



SECTION
1/4"=1'-0"



FOUNDATION PLAN
1/4"=1'-0"



ROOF FRAMING PLAN
1/4"=1'-0"



REGISTERED ARCHITECT
NOT FOR STATE OF OREGON
STRUCTURAL

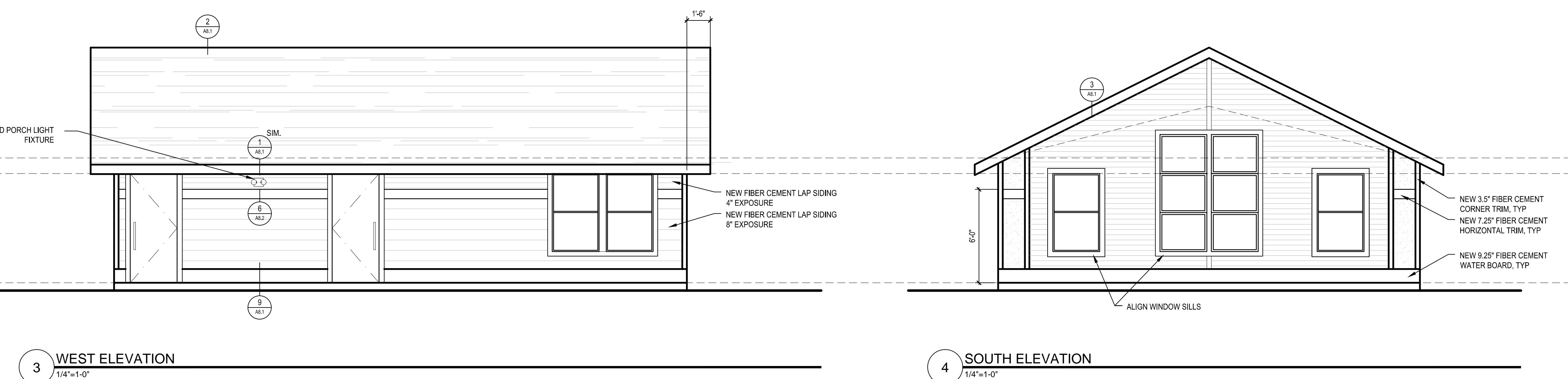
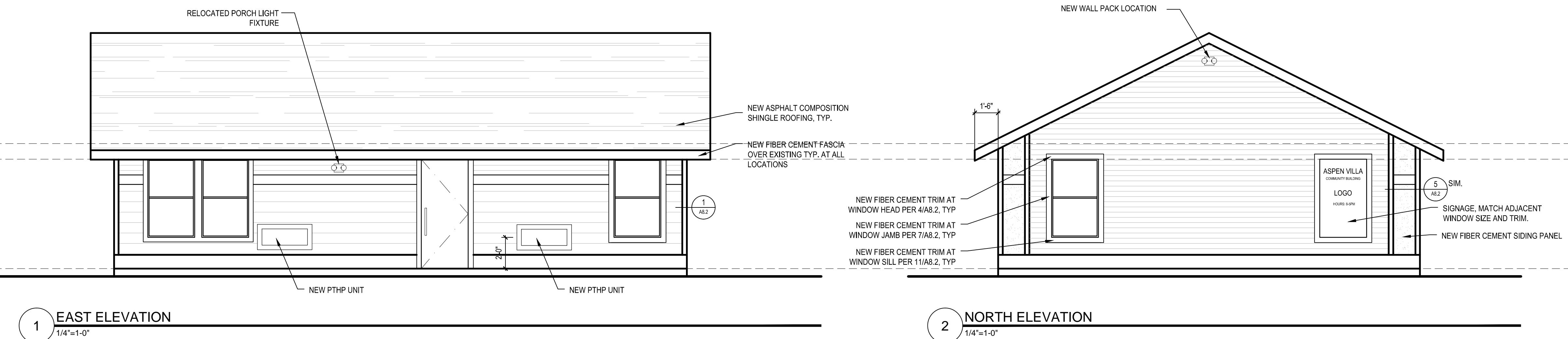




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GENERAL NOTES

- COORDINATE ALL ROOF VENTS TO ENSURE PROPER WEATHER TIGHT EXTERIOR ENCLOSURE. SEE DETAIL 10 & 11/A8.1.
- FOR ROOF FLASHING AND INSTALLATION DETAILS REFER TO DRAWINGS 4.7 & 8/A8.1.
- FOR ALL FIXTURES INCLUDING BUT NOT LIMITED TO EXISTING HOSE BIBS, CONDENSATE DRAINS, AND LIGHTS PROVIDE APPURTEINANCE BLOCKS PER DETAIL 9 & 10/A8.2.
- FOR UTILITY METERS FLASHING SEE DETAIL 8/A8.2
- EXTEND EAVES 6" FOR 12" OVERHANG. INSTALL 18" OVERHANGS AT GABLE ENDS. SEE EAVE AND RAKE DETAILS 1&3 A8.1.
- REPLACE ALL (E) WALL PACKS WITH COOPER WKP WAL-PAK FULL CUT-OFF. CONTRACTOR TO VERIFY QUANTITIES PRIOR TO BIDDING. SEE ELEVATIONS FOR RELOCATED LIGHTS.
- REPLACE ALL (E) PORCH LIGHTS AT EACH EXTERIOR DOOR WITH COOPER 632-WP. CONTRACTOR TO VERIFY QUANTITIES PRIOR TO BIDDING. SEE ELEVATIONS FOR RELOCATED LIGHTS.
- REPLACE ALL (E) WALL VENTS WITH SIMILAR SIZED AND TYPE PRIMEX OR APPROVED EQUAL. COLOR TO BE DARK BROWN.



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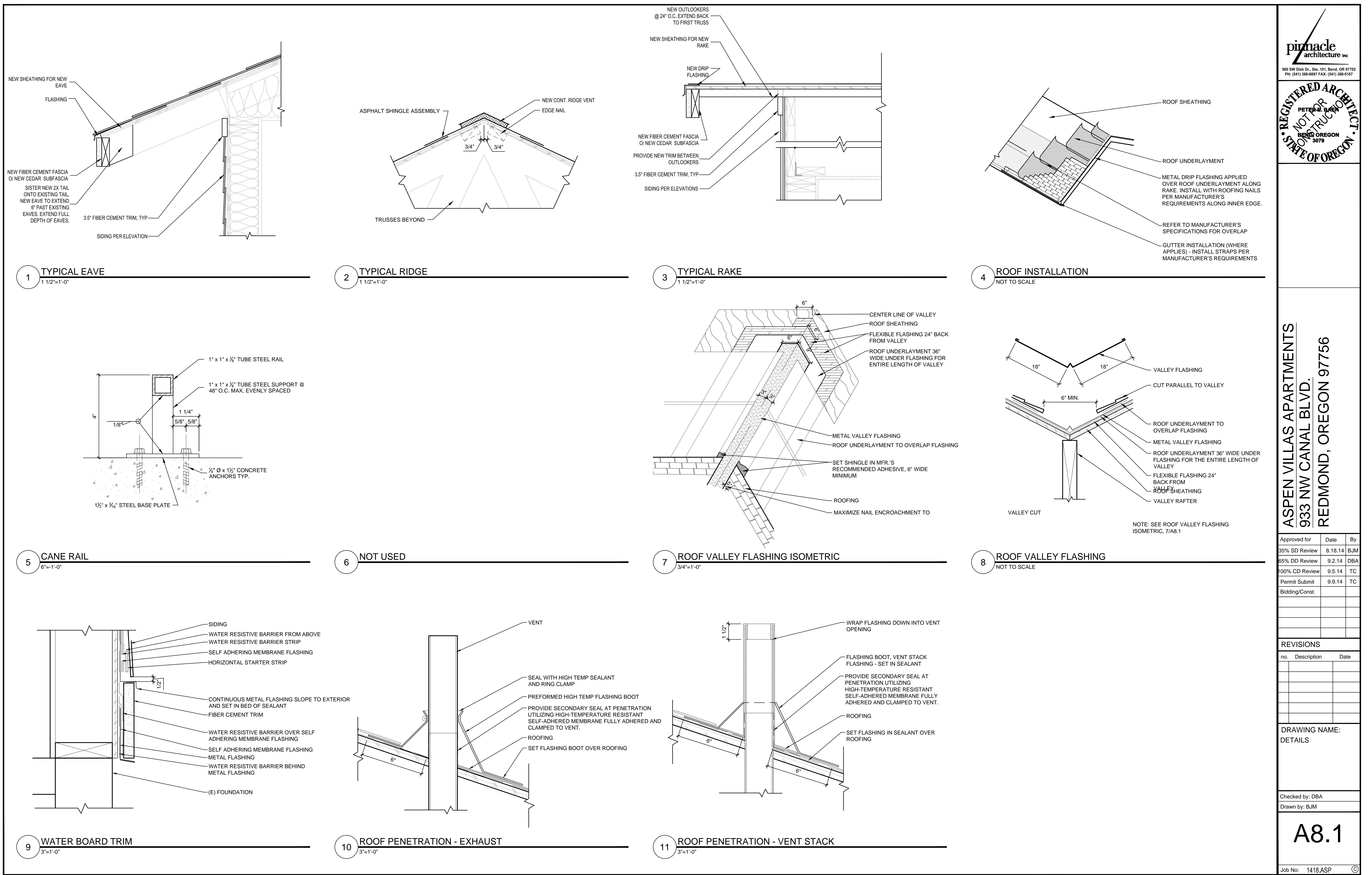
REVISIONS		
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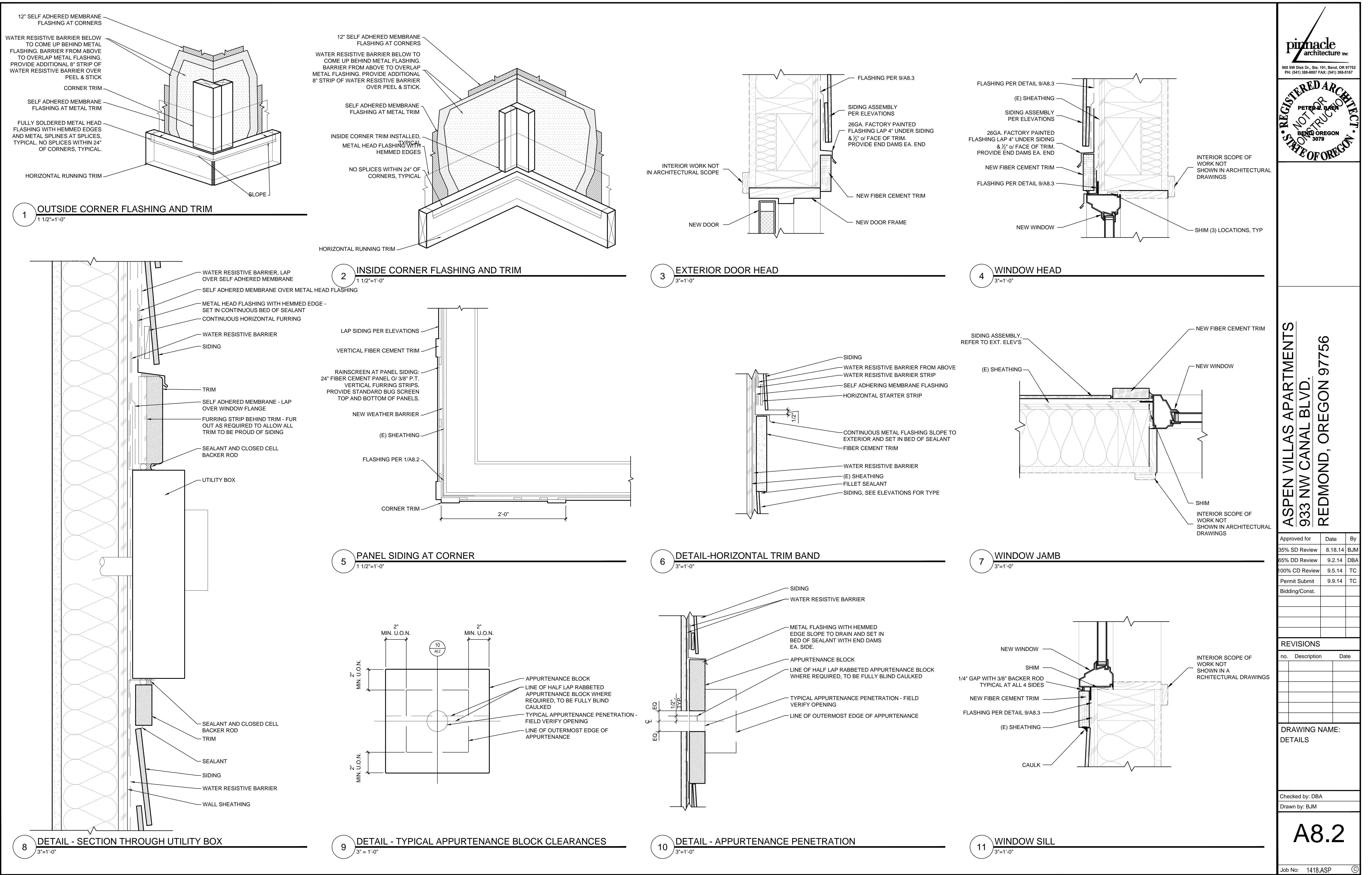
DRAWING NAME:
COM. BLDG.
ELEVATIONS

Checked by: DBA
Drawn by: BJM

A3.3
COM. BLDG.
Job No: 1418.ASP
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ACCESSIBLE SIGNAGE FOR PEOPLE WITH DISABILITIES

1. ACCESSIBLE SIGNS SHOULD IDENTIFY ROOMS AND SPACES, INCLUDING UNIT NUMBERS, LAUNDRY, PUBLIC BATHROOM AND OFFICES.

A. LETTERS AND NUMERALS: RAISED 1/2 IN. MINIMUM, UPPERCASE, SANS SERIF, 5/8 TO 2 IN. IN HEIGHT, AND ACCOMPANIED BY GRADE 2 BRAILLE.

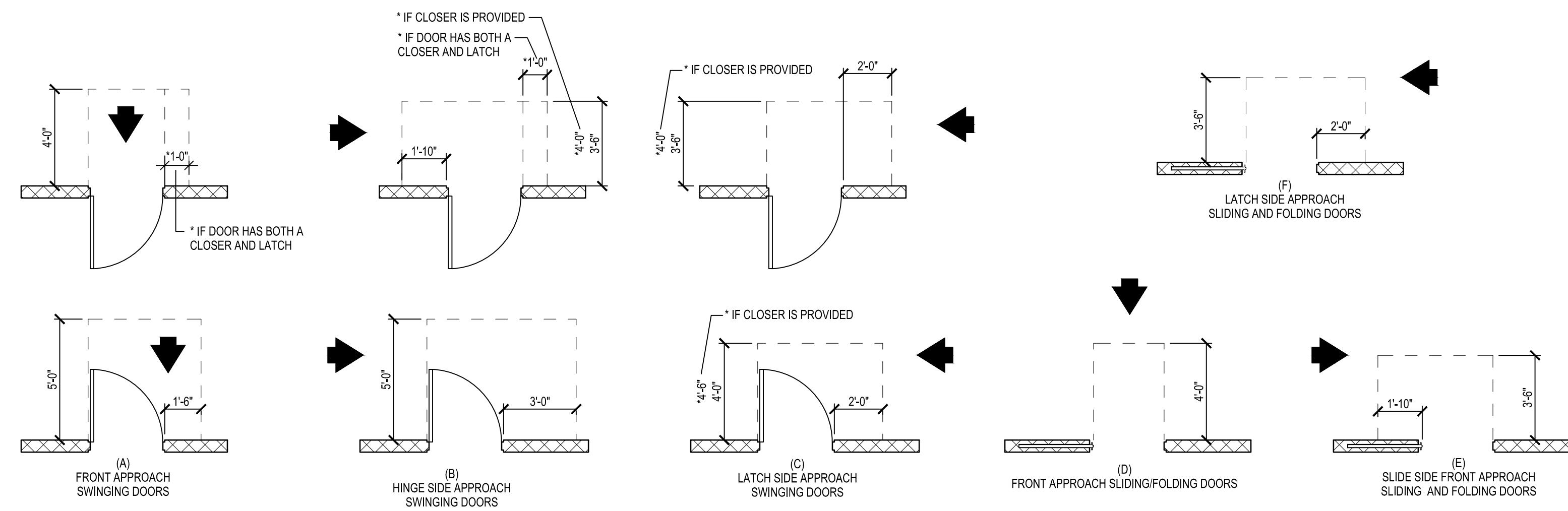
B. PICTOGRAM BORDERS SHOULD BE AT LEAST 6 IN. HIGH.

C. SURFACES SHOULD HAVE A NONGLARE FINISH; LEVEL OF SHEEN MUST BE "EGGHELL" OR LESS.

D. PROVIDE CONTRAST BETWEEN THE CHARACTERS AND BACKGROUND.

E. MOUNTING: 60 IN. ABOVE FINISHED FLOOR TO CENTERLINE OF SIGN, PREFERABLY ON THE LATCH SIDE OF DOOR OR THE CLOSEST WALL SPACE. DO NOT MOUNT WITHIN THE SWINGING PATH OF A DOOR OR WHERE A PERSON CANNOT APPROACH WITHIN 3 IN. OF THE SIGN.

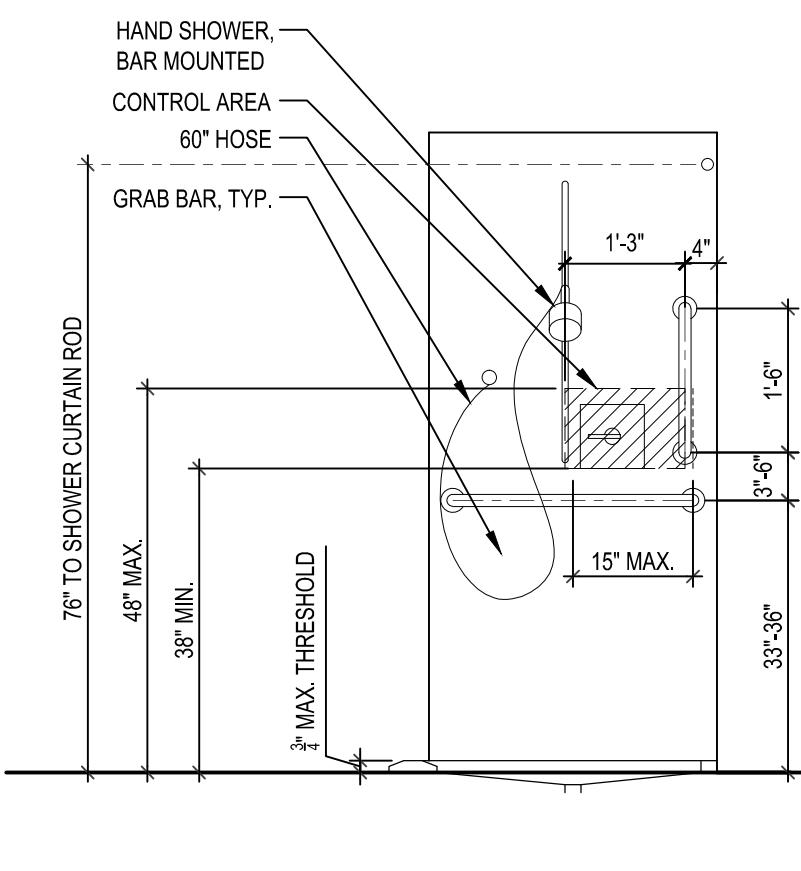
2. IDENTIFY SUCH ACCESSIBLE FEATURES AS ASSISTIVE LISTENING DEVICES, PARKING, AND TEXT TELEPHONES. WHEN NOT ALL SUCH FEATURES ARE ACCESSIBLE, IDENTIFY THE ACCESSIBLE ONES (E.G., TOILET ROOMS AND PARKING) USE PICTOGRAMS AT LEAST 6 IN. HIGH ACCCOMPANIED BY A VERBAL DESCRIPTION.



1 SIGNAGE

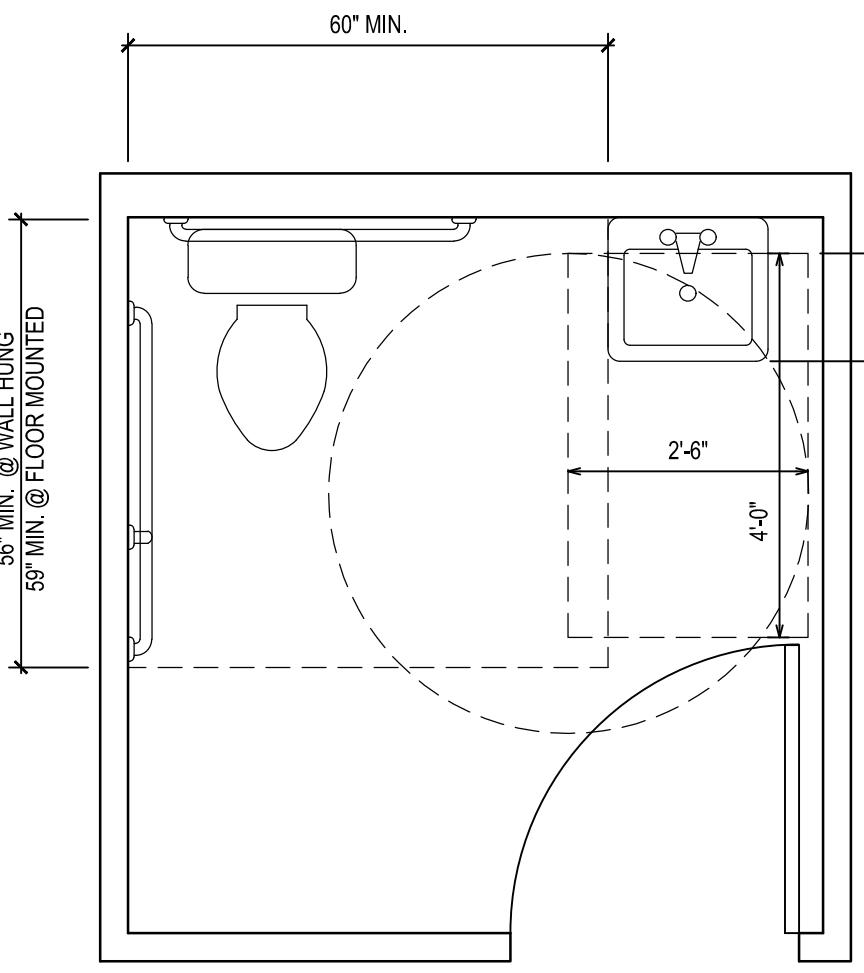
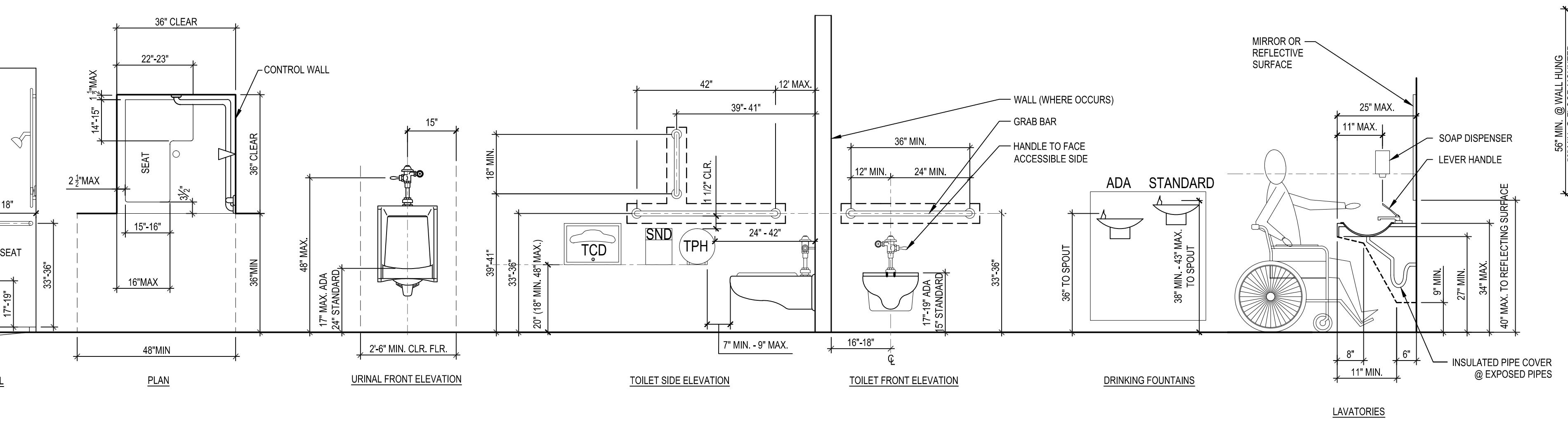
SCALE: 1/4" = 1'-0"

- NOTE:
1. PROVIDE BACKING PLATES AND SUPPORT FOR ALL WALL MOUNTED ACCESSORIES.
2. FOLLOW MOUNTING HEIGHTS INDICATED IN THIS DETAIL UNLESS NOTED OTHERWISE IN PROJECT DETAILS. NOTIFY ARCHITECT OF DISCREPANCIES.
3. PROVIDE WOOD 2X REINFORCEMENT AT ALL GRAB BAR LOCATIONS & WALL MOUNTED ACCESSORIES.



2 DOOR MANEUVERING CLEARANCES

SCALE: 1/4" = 1'-0"



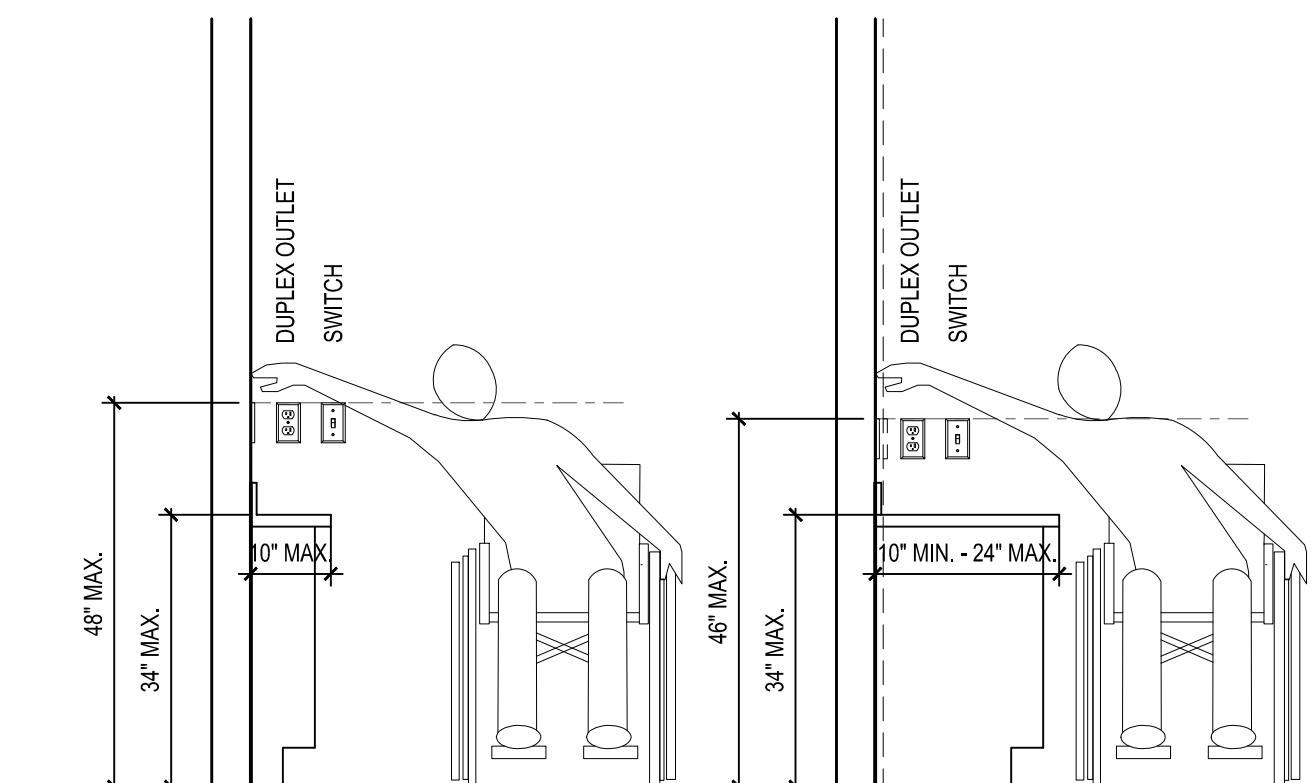
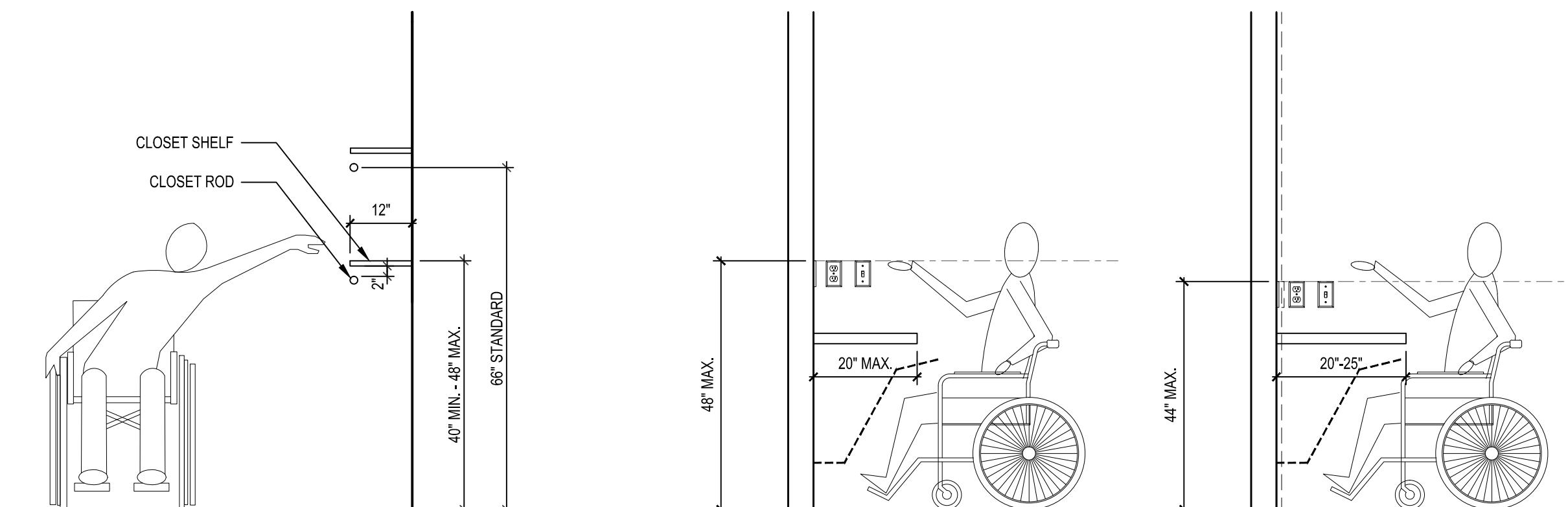
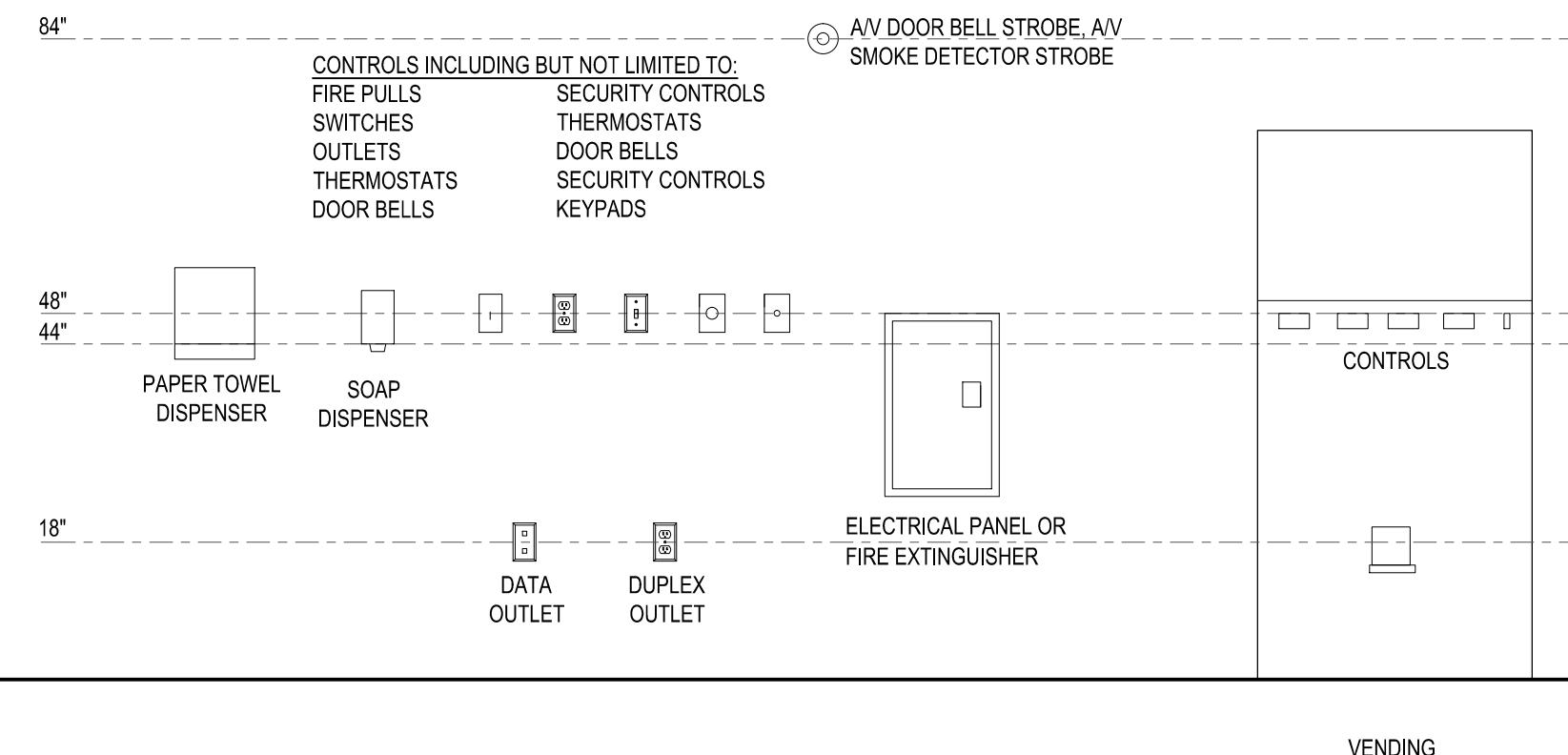
3 MOUNTING HEIGHTS

1/2"=1'-0"

REACH RANGES APPLY TO OPERABLE PARTS OF CONTROLS

FORWARD REACH:
UNOBSTRUCTED HIGH FORWARD REACH = 48" MAX.
UNOBSTRUCTED LOW FORWARD REACH = 15" MIN.
HIGH FORWARD REACH OVER OBSTRUCTION <20" = 48"
HIGH FORWARD REACH OVER OBSTRUCTION 20"-25" = 44"

SIDE REACH:
UNOBSTRUCTED HIGH SIDE REACH = 48" MAX.
UNOBSTRUCTED LOW SIDE REACH = 15" MIN.
HIGH SIDE REACH OVER OBSTRUCTION <34" HIGH, <10" DEEP = 48"
HIGH SIDE REACH OVER OBSTRUCTION 34" HIGH MAX., 24" DEEP MAX = 46"



4 REACH RANGES

1/2"=1'-0"

FORWARD REACH:
HIGH FORWARD REACH OVER OBSTRUCTION <20" = 48"
HIGH FORWARD REACH OVER OBSTRUCTION 20"-25" = 44"

"WHEN COUNTERTOP DEPTH EXCEEDS 24" PROVIDE MOUNTING BLOCK FOR CONTROLS

SIDE REACH:
HIGH SIDE REACH OVER OBSTRUCTION <34" HIGH, <10" DEEP = 48"
HIGH SIDE REACH OVER OBSTRUCTION 34" HIGH MAX., 24" DEEP MAX = 46"

"WHEN COUNTERTOP DEPTH EXCEEDS 24" PROVIDE MOUNTING BLOCK FOR CONTROLS

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REVISIONS		
no.	Description	Date

DRAWING NAME:
GENERAL
ACCESSIBILITY
DETAILS

Checked by: DBA
Drawn by: BJM

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A9.1