

PARKWAY VILLAGE : EAST - SITE REPAIRS

SALEM, OREGON 97303



PROJECT TEAM:	PROJECT DESCRIPTION:	DRAWING SHEET INDEX:	PROJECT INFORMATION:
OWNER: SALEM HOUSING AUTHORITY 360 CHURCH STREET, SE SALEM, OREGON 97308-0808 CONTACT: ANDY WILCH 503.588.6448	THIS PROJECT INCLUDES REHABILITATION OF ELEMENTS OF AN EXISTING MULTI-FAMILY RESIDENTIAL DEVELOPMENT. THE ORIGINAL BLDGS WERE CONSTRUCTED IN 1997. SITE WORK: SITE RE-GRADING TO DIRECT SURFACE FLOW AWAY FROM BUILDINGS. CATCH BASINS AND AREA DRAINS UPGRADE TO CURRENT DEQ STANDARDS. REPLACEMENT OF DAMAGED EXISTING LANDSCAPING AND IRRIGATION. REPLACEMENT OF EXISTING LANDSCAPING WHERE DEMO IS REQUIRED FOR FOUNDATION AND DRAINAGE REPAIR. REMOVAL AND REPLACEMENT OF ALL SITE WALKWAYS. ACCESSIBLE IMPROVEMENTS TO WALKS AND PARKING. NEW ACCESSIBLE ROUTE THROUGH SITE.	GENERAL: AS0.01 COVER SHEET	ADDRESS & LOT DESCRIPTION: 3143-3167 7TH PLACE NE SALEM, OR 97303 TAX ACCT. #: 073W11CD01402
ARCHITECT: CARLETON HART ARCHITECTURE 322 NW 8TH AVENUE PORTLAND, OREGON 97209 CONTACT: DEVIN FOLLINGSTAD 503.206.3185	DEFERRED SUBMITTALS: • UTILITIES REQUIRED FOR FIRE SUPPRESSION	CIVIL: C0.0 CIVIL NOTES C1.0 OVERALL CIVIL SITE PLAN C1.1 CIVIL SITE PLAN SECTOR 'A' C1.2 CIVIL SITE PLAN SECTOR 'B' C1.3 CIVIL SITE PLAN SECTOR 'C' C1.4 CIVIL SITE PLAN SECTOR 'D' C2.0 CIVIL GRADING PLAN C2.1 CIVIL GRADING PLAN C2.2 CIVIL GRADING PLAN C2.3 CIVIL GRADING PLAN C2.4 CIVIL GRADING PLAN C3.0 CIVIL OVERALL UTILITY PLAN C4.0 CIVIL DETAILS C4.1 CIVIL DETAILS C4.2 CIVIL DETAILS	SITE: SITE AREA: 148,695 SF (3.41 AC.)
DEVELOPMENT CONSULTANT: HOUSING DEVELOPMENT CENTER 847 NE 19TH AVE., SUITE 150 PORTLAND, OREGON 97232 CONTACT: FRANCIE FITZPATRICK 503.528.5193		LANDSCAPE: L0.1 PLANTING REMOVAL AND PROTECTION PLAN L1.0 PLANTING LEGENDS L1.1 PLANTING PLAN L2.0 IRRIGATION LEGENDS L2.1 IRRIGATION PLAN L3.1 PLANTING DETAILS L4.1 IRRIGATION DETAILS	EXISTING IMPERVIOUS AREA: 65,986 SF (45%) PROPOSED IMPERVIOUS AREA: 76,061 SF (51%) MINIMUM OPEN SPACE: 44,601 SF (30%) PROPOSED OPEN SPACE: 72,634 SF (49%)
GENERAL CONTRACTOR: LMC CONSTRUCTION 19200 SW TETON AVENUE TUALATIN, OREGON 97062 CONTACT: RYAN DUFFIN 503.646.0521		ARCHITECTURAL: AS1.01 OVERALL SITE PLAN AS1.02 DEMOLITION SITE PLAN - EAST AS1.03 SITE PLAN - EAST AS1.10 SITE PLAN - SECTOR 'A' AS1.11 SITE PLAN - SECTOR 'B' AS1.12 SITE PLAN - SECTOR 'C' AS1.13 SITE PLAN - SECTOR 'D'	ZONING: RM2 - HIGH DENSITY MULTIFAMILY RESIDENTIAL ZONE NEIGHBORHOOD ASSOCIATION: HIGHLAND PARKING EXISTING: 107 SPACES PARKING MINIMUM ALLOWED: 69 SPACES PROPOSED PARKING: 91 SPACES (INCLUDING 18 GARAGE SPACES) PROPOSED ADA PARKING: 7 SPACES (INCLUDING 1 GARAGE SPACE)
CIVIL: MGH ASSOCIATES 104 WEST 9TH STREET, SUITE 207 VANCOUVER, WASHINGTON 98660 CONTACT: BILL BRANNAN 360.750.0399			EXISTING BUILDING AREAS (APPROXIMATE): BUILDING 3: 13,282 SF BUILDING 4: 12,168 SF BUILDING 5: 13,608 SF BUILDING 6: 8,520 SF TOTAL: 47,578 SF PARKING GARAGE 1: 1,349 SF PARKING GARAGE 2: 1,349 SF PARKING GARAGE 3: 1,471 SF TOTAL: 4,169 SF
LANDSCAPE DESIGN WALKER MACY LANDSCAPE ARCHITECTURE 111 SW OAK, SUITE 200 PORTLAND, OREGON 97204 CONTACT: GARY DATKA 503.228.3122			
	CODES AND REGULATIONS: THIS PROJECT DOES NOT ADD NEW ENCLOSED AREA TO EXISTING BLDGS AND DOES NOT CHANGE OCCUPANCY OR EGRESS PATHS. THE PROJECT SCOPE ASSUMES CODE COMPLIANCE BY REPLACING LIKE FOR LIKE.	VICINITY MAP: (NOT TO SCALE) 	COVER SHEET PROJ NO. 21348 01.10.14

PARKWAY VILLAGE : EAST
SITE REPAIRS
SALEM HOUSING AUTHORITY

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AS0.01

GENERAL NOTES

- ALL CONSTRUCTION, MATERIALS, AND WORKMANSHIP SHALL CONFORM TO THE LATEST STANDARDS AND PRACTICES OF THE OREGON STRUCTURAL SPECIALTY CODE (BUILDING CODE), OREGON PLUMBING SPECIALTY CODE (PLUMBING CODE), AND THE OREGON FIRE CODE (FIRE CODE), LATEST EDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING ALL WORK WITH THE OWNER.
- ALL PERMITS AND LICENSES NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
- ALL EXCAVATORS MUST COMPLY WITH THE RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER, INCLUDING NOTIFICATION OF ALL OWNERS OF UNDERGROUND UTILITIES AT LEAST 48 BUSINESS DAY HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090 AND ORS 757.541 TO 757.57. THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS 503-232-1987 AND THE LOCAL "CALL 48 HOURS BEFORE YOU DIG NUMBER" IS 503-246-6699.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS IS FOR INFORMATION ONLY AND IS NOT GUARANTEED TO BE ACCURATE. CONTRACTOR SHALL VERIFY ELEVATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF MGH ASSOCIATES. POTHOLE ALL CROSSINGS AS NECESSARY BEFORE CONSTRUCTION TO PREVENT GRADE AND ALIGNMENT CONFLICTS.
- THE ENGINEER OR OWNER IS NOT RESPONSIBLE FOR THE SAFETY OF THE CONTRACTOR OR HIS CREW. ALL O.S.H.A. REGULATIONS SHALL BE STRICTLY ADHERED TO IN THE PERFORMANCE OF THE WORK.
- TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE USED AS NEEDED. THE CONTRACTOR SHALL ADHERE TO THE CITY OF SALEM EROSION CONTROL STANDARDS AS NECESSARY FOR EROSION CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL ROADWAYS CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS.
- BEFORE BACKFILLING ANY SUBGRADE UTILITY IMPROVEMENTS CONTRACTOR TO SURVEY AND RECORD MEASUREMENTS OF EXACT LOCATION AND DEPTH.
- CONTRACTOR TO ADJUST ALL EXISTING OR NEW FLEXIBLE UTILITIES (WATER, GAS, TV, TELEPHONE, ELEC., ETC.) TO CLEAR ANY EXISTING OR NEW GRAVITY DRAIN UTILITIES (STORM DRAIN, SANITARY SEWER, ETC.) IF CONFLICT OCCURS.
- MHG ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR ANY DISCREPANCIES ENCOUNTERED BETWEEN THE CURRENT FIELD CONDITIONS AND THE INFORMATION SHOWN ON THE SURVEY MAP. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
- VACUUM CLEAN AND JET ALL EXISTING DRYWELLS.

GRADING NOTES

- ALL SURFACES SHALL HAVE MINIMUM 2.0% SLOPE AND SHALL MEET EXISTING GRADES SMOOTHLY AND EVENLY. MAINTAIN CONSTANT SLOPES UNLESS OTHERWISE NOTED ON PLANS.
- CONTRACTOR RESPONSIBLE FOR MAINTAINING EXISTING SITE AND DRAINAGE PATTERNS AND PROTECTION OF EXISTING ENGINEERED DRAINAGE FACILITIES.
- CONTRACTOR SHALL EXERCISE CARE IN ALL OPERATIONS TO PROTECT EXISTING UNDERGROUND UTILITIES. ANY DAMAGE RESULTING FROM THIS WORK MUST BE RESTORED AT THE CONTRACTOR'S EXPENSE TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL REPLACE AND RESTORE AREAS NOT SCHEDULED FOR CONSTRUCTION TO THEIR ORIGINAL CONDITION AND TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN AREAS ADJACENT TO EXISTING TREES IN ORDER TO MINIMIZE DISTURBANCES TO TREE ROOTS. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING AS INDICATED ON PLANS OR AT DRIP-LINE OF EXISTING TREES. SEE TREE PROTECTION SPECIFICATIONS AND NOTES. NO PARKING VEHICLES UNDER TREES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND DISPOSAL OF EXISTING AC, CURBS, SIDEWALKS AND OTHER SITE ELEMENTS WITHIN THE PROJECT AREA. DISPOSE OF DEMOLISHED ITEMS OFF-SITE IN A LEGAL MANNER.
- ACTUAL LINES AND GRADES OF EXCAVATION SHALL BE STAKED BY QUALIFIED SURVEYOR, BASED ON DIMENSIONS AND BEARINGS AS SHOWN ON THE PLANS. CONTRACTOR SHALL RETAIN A SURVEYOR LICENSED IN OREGON.
- ADJUST ALL INCIDENTAL STRUCTURES, MANHOLE LIDS, VALVE BOXES, ETC. TO FINISH GRADE.
- GRADING PLAN SHALL BE DESIGNED TO NOT ADVERSELY IMPACT HISTORIC SURFACE DRAINAGE FLOWS TO OF FROM ADJACENT PROPERTIES.

MATERIAL NOTES

- MATERIALS SHALL BE NEW. THE USE OF MANUFACTURER'S NAMES, MODELS, AND NUMBERS IS INTENDED TO ESTABLISH STYLE, QUALITY, APPEARANCE, AND USEFULNESS. PROPOSED SUBSTITUTIONS WILL REQUIRE WRITTEN APPROVAL FROM THE PROJECT ENGINEER PRIOR TO INSTALLATION.
- ALL ON-SITE STORM PIPE MATERIALS, FITTINGS SHALL CONFORM TO THE OREGON STATE PLUMBING SPECIALTY CODE, LATEST EDITION.
- ON-SITE STORM SEWER PIPE SHALL BE PVC PIPE CONFORMING TO ASTM D3034 SDR 35, OR HDPE PIPE (ADS 'N-12' OR APPROVED EQUAL) CONFORMING TO AASHTO M252 W/WATERTIGHT JOINTS.
- ON-SITE STORM SEWER PIPE WITH LESS THAN 2' OF COVER SHALL BE HDPE PIPE.
- ON-SITE AREA DRAINS SHALL BE MANUFACTURED BY LYNCH CO., INC. OR APPROVED EQUAL UNLESS OTHERWISE NOTED ON THE PLANS.

UTILITY NOTES

- ALL TRENCH BACKFILL SHALL BE AS SHOWN ON THE PIPE BEDDING AND BACKFILL DETAIL. FLOODING OR JETTING THE BACKILLED TRENCHES WITH WATER IS NOT PERMITTED.
- CONNECTIONS TO EXISTING UTILITIES SHALL CONFORM WITH THE CITY OF SALEM ENGINEERING DESIGN MANUAL AND STANDARD DRAWINGS.
- BEGIN LAYING STORM PIPE AT THE LOW POINT OF THE SYSTEM TRUE TO GRADE AND ALIGNMENT INDICATED WITH UNBROKEN CONTINUITY OF INVERT. ESTABLISH LINE AND GRADE FOR THE STORM AND SANITARY SEWER PIPE BY THE USE OF A LASER.
- CONTRACTOR SHALL PREVENT SEDIMENTS FROM ENTERING THE STORM DRAINAGE SYSTEM.

PAVING NOTES

- STREET SIGNS AND STRIPING TO BE INSTALLED BY THE CONTRACTOR PER MUTCD
- ALL PAVEMENT SHALL BE CUT STRAIGHT PRIOR TO PAVING. EXISTING PAVEMENT SHALL BE REMOVED AS NECESSARY TO PROVIDE A SMOOTH TRANSITION FOR BOTH RIDE AND DRAINAGE.
- PAVING WILL NOT BE ALLOWED DURING WET OR COLD WEATHER, PER CITY OF SALEM TECHNICAL SPECIFICATIONS.
- CONTRACTOR TO INSTALL ADA WHEELCHAIR RAMPS AND SIDEWALKS AS SHOWN ON PLANS AND ON THE DETAIL SHEETS.
- ALL CONSTRUCTION WITHIN THE CITY OF SALEM RIGHT-OF-WAY SHALL HAVE AN APPROVED TRAFFIC CONTROL PLAN AND RIGHT-OF-WAY PERMIT PRIOR TO ANY ON-SITE CONSTRUCTION ACTIVITY.

SEDIMENT FENCE NOTES

- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND BOTH ENDS SECURELY FASTENED TO THE POST, OR OVERLAP 2"x2" POSTS AND ATTACH AS SHOWN ON DETAIL SHEET.
- THE FILTER FABRIC FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS WHERE FEASIBLE. THE FENCE POSTS SHALL BE SPACED A MAXIMUM OF 6-FEET APART AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 24-INCHES.
- THE FILTER FABRIC SHALL HAVE A MINIMUM VERTICAL BURIAL OF 6-INCHES. ALL EXCAVATED MATERIAL FROM FILTER FABRIC FENCE INSTALLATION SHALL BE BACKFILLED AND COMPAKTED ALONG THE ENTIRE DISTURBED AREA.
- STANDARD OR HEAVY DUTY FILTER FABRIC SHALL HAVE MANUFACTURED STITCHED LOOPS FOR 2"x2" POST INSTALLATION. STITCHED LOOPS SHALL BE INSTALLED ON THE DOWNSHILL SIDE OF THE SLOPED AREA.
- FILTER FABRIC FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY PROTECTED AND STABILIZED.
- FILTER FABRIC FENCES SHALL BE INSPECTED BY CONTRACTOR IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. THE TRAPPED SEDIMENT SHALL BE REMOVED BEFORE IT REACHES ONE THIRD OF THE ABOVE GROUND FENCE HEIGHT.

EROSION CONTROL NOTES

- IT IS THE INTENT OF THESE PLANS AND SPECIFICATIONS TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT LEAVE THE WORK SITE. THE CONTRACTOR SHALL USE ALL AVAILABLE MEANS TO ACHIEVE THIS RESULT.
- THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED, AND VEGETATION/LANDSCAPING IS ESTABLISHED.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT LEAVE THE SITE.
- THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE INSPECTOR DURING STORM RUNOFF OR SNOWMELT AND AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT OF GREATER THAN 0.5 INCHES OF RAIN PER 24-HOUR PERIOD.
- THE ESC FACILITIES ON SITES INACTIVE FOR MORE THAN 7 CONSECUTIVE CALENDAR DAYS SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE EVERY 2 WEEKS.
- ALL STORM INLETS SHALL BE PROTECTED TO PREVENT SEDIMENT FROM LEAVING THE PROJECT SITE. CLEANING OF CATCH BASINS SHALL OCCUR WHEN DESIGN CAPACITY HAS BEEN REDUCED BY FIFTY PERCENT. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- ALL AREAS DISTURBED BY CONSTRUCTION OF THIS PROJECT, NOT RECEIVING A HARD, DURABLE SURFACE SHALL BE GRASSED AND/OR LANDSCAPED AT EARLIEST PRACTICABLE TIME.
- IN GENERAL, CONSTRUCTION SHALL PROGRESS FROM DOWNSTREAM TO UPSTREAM. THE CONTRACTOR SHALL CONSTRUCT ESC FACILITIES IN CONJUNCTION WITH ALL CLEARING, GRADING AND OTHER LAND ALTERATION ACTIVITIES.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. THE LOCATION OF THESE ENTRANCES SHALL BE COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION OR RELOCATION. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL EXISTING PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- TEMPORARY EROSION CONTROL MEASURES SHALL REMAIN FUNCTIONAL AND IN PLACE UNTIL THEIR REMOVAL IS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL COMPLETELY RESTORE ALL AREAS DISTURBED BY REMOVAL OF TEMPORARY EROSION CONTROL MEASURES. REMOVED MATERIALS SHALL BECOME PROPERTY OF THE CONTRACTOR TO BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND JURISDICTIONS.
- CONTRACTOR WILL PROVIDE TRUCKS THAT ARE WELL SEALED FOR TRANSPORTATION OF SATURATED SOILS/MATERIAL FROM THE SITE. A TRUCK MUST NOT LEAK LIQUIDS AT ANY RATE GREATER THAN 1 GAL./HR.
- EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE CITY OF SALEM EROSION AND SEDIMENT CONTROL PLANS TECHNICAL GUIDANCE HANDBOOK. DUST CONTROL MEASURES SHALL BE IMPLEMENTED DURING CONSTRUCTION.
- SUPPLEMENTARY WET WEATHER MEASURES SHALL BE IN PLACE AND FUNCTIONING BY OCTOBER 1 AND REMAIN OPERATIONAL UNTIL MAY 31.
- SUPPLEMENTARY WET WEATHER MEASURES ARE IN ADDITION TO BASE MEASURES.

ABBREVIATIONS

BS	BOTTOM OF STAIR	MIN.	MINIMUM
COS	CITY OF SALEM	N.	NORTHING
CGTG	CLEAN OUT TO GRADE	NO.	NUMBER
CT	CURB TAPER	NTS	NOT TO SCALE
DS	DOWNSPOUT	ROW	RIGHT-OF-WAY
RD	ROOF DRAIN	S=	SLOPE EQUALS
E:	EASTING	SD	STORM DRAIN
(E)	EXISTING	SS	SANITARY SEWER
EX.	EXISTING	STD.	STANDARD
F	FIRE	TC	TOP OF CURB
FF	FINISHED FLOOR	TP	TOP OF PAVEMENT
H	HEIGHT	TS	TOP OF STAIR
IE	INVERT ELEVATION	MOW	MOW STRIP
LF	LINEAL FEET	TYP.	TYPICAL
		MAX.	WATER

SURVEYOR

MULTI/TECH ENGINEERING SERVICES, INC.
1155 13TH ST.
SALEM, OR 97302
(503) 363-9227
CONTACT: ROBERT HAMMAN

SURVEY

SURVEY PROVIDED BY MULTI/TECH ENGINEERING SERVICES, INC.
DATED JUNE 2010. ALL ELEVATIONS ARE BASED UPON THE CITY OF SALEM
CONTROL MONUMENT NO. 1088 BRASS DISK IN A CONCRETE POST AT THE
INTERSECTION OF 4TH STREET AND LOCUST STREET.
ELEVATION IS 148.23, NGVD 47.

ARCITECT/ENGINEER

ARCHITECT:
CARLETON HART ARCHITECTURE
322 NW 8TH AVE.
PORTLAND, OR 97209
(503)206-3185
CONTACT: DEVIN FOLLINGSTAD

ENGINEER:
MGH ASSOCIATES, INC.
104 W. 9TH STREET, SUITE 207
VANCOUVER, WA 98660
(360)718-9500
CONTACT: WILLIAM BRANNAN, PE

LEGEND

EXISTING	PROPOSED	DESCRIPTION
○	□	MANHOLE
	○	CATCH BASIN
○	○	DRYWELL
○	○	CLEAN OUT
○	○	FIRE HYDRANT
○	○	FIRE DEPARTMENT CONNECTION
○	○	WATER VAULT
○	○	WATER METER
○	○	WATER VALVE
○	○	LIGHT POLE
○	○	POWER POLE
○	○	ANCHOR POLE
○	○	LIGHTING PULL BOX
○	○	GAS VALVE
○	○	SIGN
○	○	TREE
—	—	PROPERTY LINE
—	—	CENTERLINE
—	—	CONTOUR
—	—	SAWCUT LINE
—	—	EDGE OF PAVEMENT
—	—	CURB
—	—	STORM DRAIN
—	—	SANITARY SEWER
—	—	PUBLIC WATER (BY CITY)
—	—	PRIVATE WATER
—	—	OVERHEAD UTILITIES
—	—	GAS
—	—	FENCE



EXPIRES 12-31-13

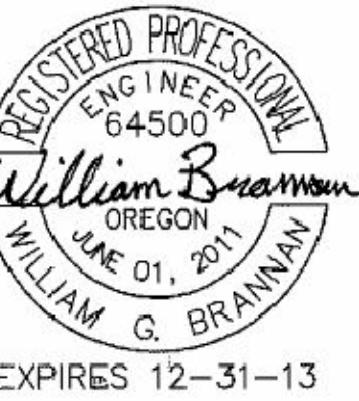
SHANGRI-LA NE

77 TH PLACE NE

PARKWAY VILLAGE WEST

SALEM PARKWAY

OVERALL CIVIL SITE PLAN



CARLETON HART ARCHITECTURE
322 nw 8th avenue portland, oregon 97209
t 503 243 2252 | f 503 243 3261 | carletonhart.com

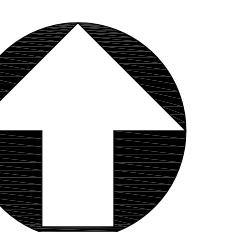
PARKWAY VILLAGE : EAST SITE REPAIRS SALEM HOUSING AUTHORITY

PERMIT REVIEW/BID SET

OVERALL CIVIL SITE PLAN

PROJ NO.

01.10.2014

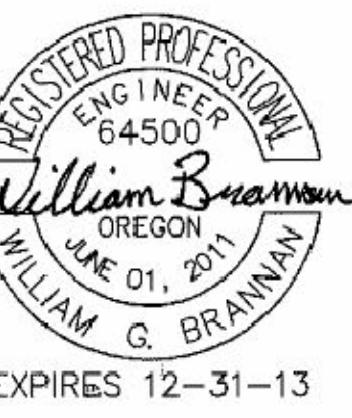


GRAPHIC SCALE

40 80

1 inch = 40 ft

C1.0



CARLETON HART ARCHITECTURE
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+503.243.2252 | f 503.243.3261 | carletonhart.com

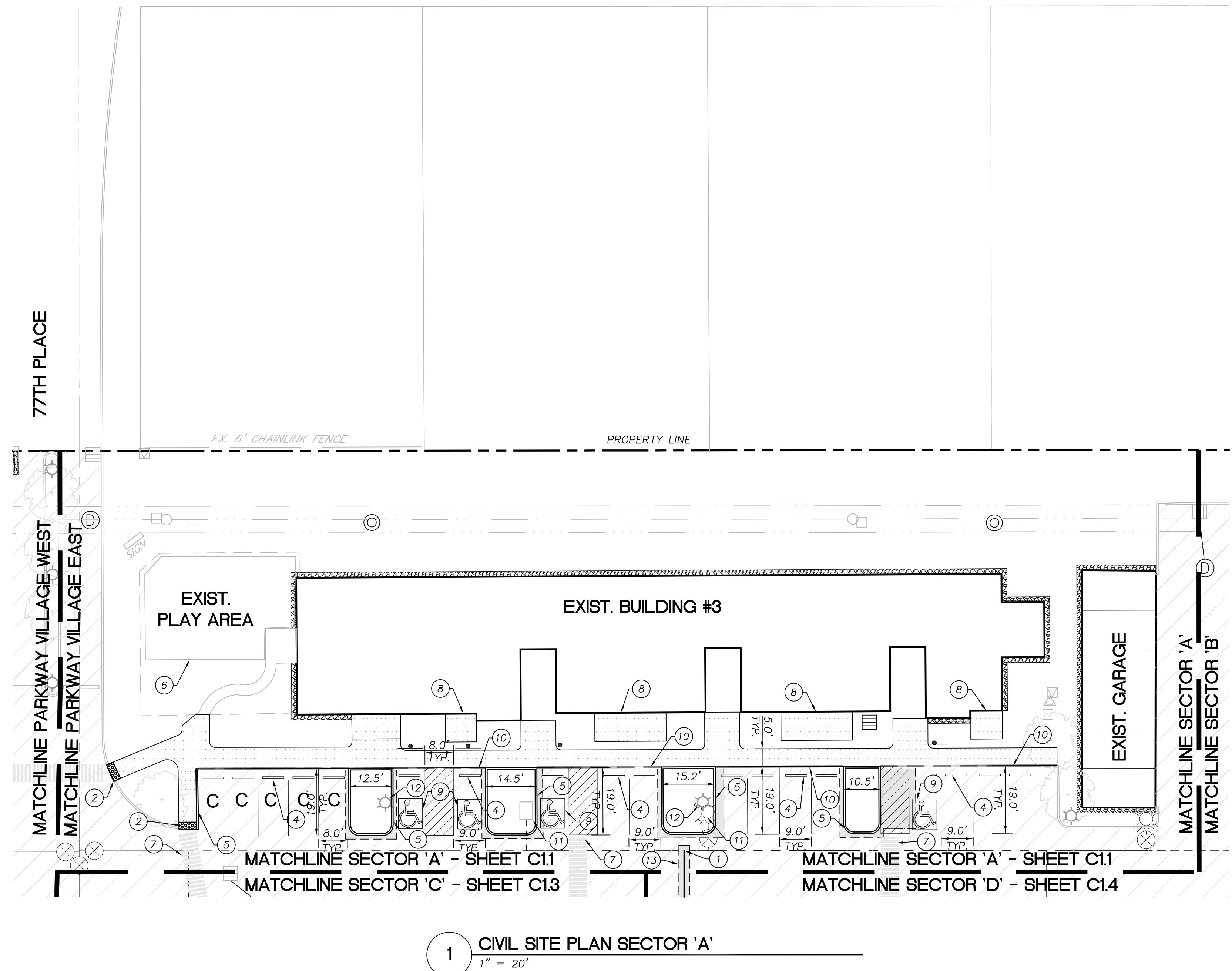
PARKWAY VILLAGE : EAST
SITE REPAIRS
SALEM HOUSING AUTHORITY

PERMIT REVIEW/BID SET

SHANGRI-LA STREET

LEGEND		
ITEM	DESCRIPTION	REFERENCE
[Dotted Box]	NEW SIDEWALK	6 C4.0
[Solid Line]	NEW CURB	7 C4.0
[Hatched Box]	SEAL COAT/RESTRIP PAVEMENT, SEAL MISCELLANEOUS PAVEMENT CRACKS. CONTRACTOR SHALL COORDINATE WITH OWNER TO DETERMINE SCOPE FOR ALLIGATED PAVEMENT REMOVAL, DIG OUT, AND PATCH.	5 C4.1
[Gravel Strip]	GRAVEL DRAIN STRIP	1 C4.1
(○)	EXISTING DRYWELL-ROOF RUNOFF	
(D)	EXISTING DRYWELL-ASPHALT PAVEMENT RUNOFF	

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GENERAL NOTES

1. SIDEWALK REMOVAL TO BE AT NEAREST JOINT AND IN WHOLE PANELS ONLY.
2. SIDEWALK SHALL HAVE A 2.0% MAX CROSS SLOPE.
3. REFER TO SHEET C3.0 FOR PUBLIC WATER EASEMENT.

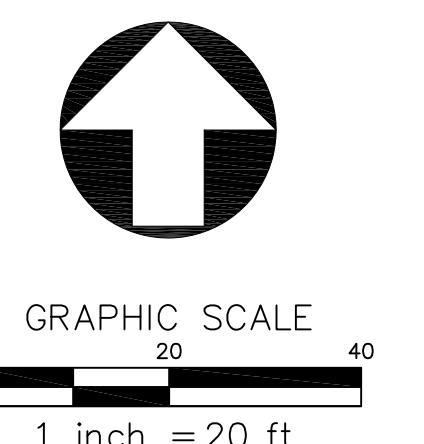
KEY NOTES

- ① 4" FIRE LINE CONNECTION TO EXISTING 8" WATER MAIN.
- ② TRUNCATED DOME STRIP, REFER TO 7/C4.1
- ③ REGRADE LANDSCAPE AROUND BUILDINGS. WORK SCOPE INCLUDES GRADING, LANDSCAPE, AREA DRAINS PIPED TO DRYWELLS
- ④ INSTALL PRECAST CONCRETE WHEELSTOPS AT ALL SIDEWALKS LESS THAN 7 FEET WIDE AT HEAD OF PARKING STALL AND 2' FROM SIDEWALK, REFER TO DET. 3/C4.1
- ⑤ RECONSTRUCT PARKING LOT ISLANDS. REMOVE TREES, ROOTS, CUT AND PATCH ASPHALT, AND REBUILD CURBS. REFER TO DET. 7/C4.0 AND 5/C4.1
- ⑥ REPLACE AND UPGRADE PLAY EQUIPMENT TO ADA STANDARDS, REFER TO ARCH. PLANS.
- ⑦ STRIPE ALL ADA CROSSINGS WITH 12" WIDE WHITE PAINT STRIPES AND YELLOW TACTILE DOME TILING AT CURB RAMPS,
- ⑧ NEW CONCRETE PATIO.
- ⑨ ACCESSIBLE STALLS, REFER TO DET. 3,4,5/C4.0
- ⑩ FLUSH PAVEMENT, SEE DET. 4/C4.1. REMOVE EXISTING CURB.
- ⑪ PROTECT EXISTING WATER UTILITY
- ⑫ PROTECT EXISTING LIGHT FIXTURE
- ⑬ SAWCUT, TYP.

CIVIL SITE PLAN
SECTOR 'A'

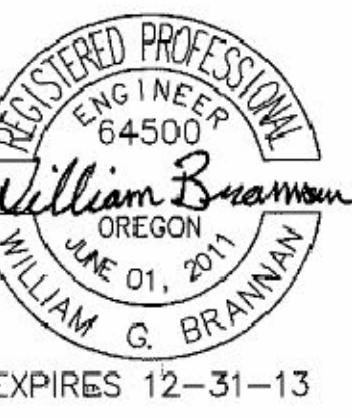
PROJ NO.
21348

01.10.2014



PLANNING & ENGINEERING
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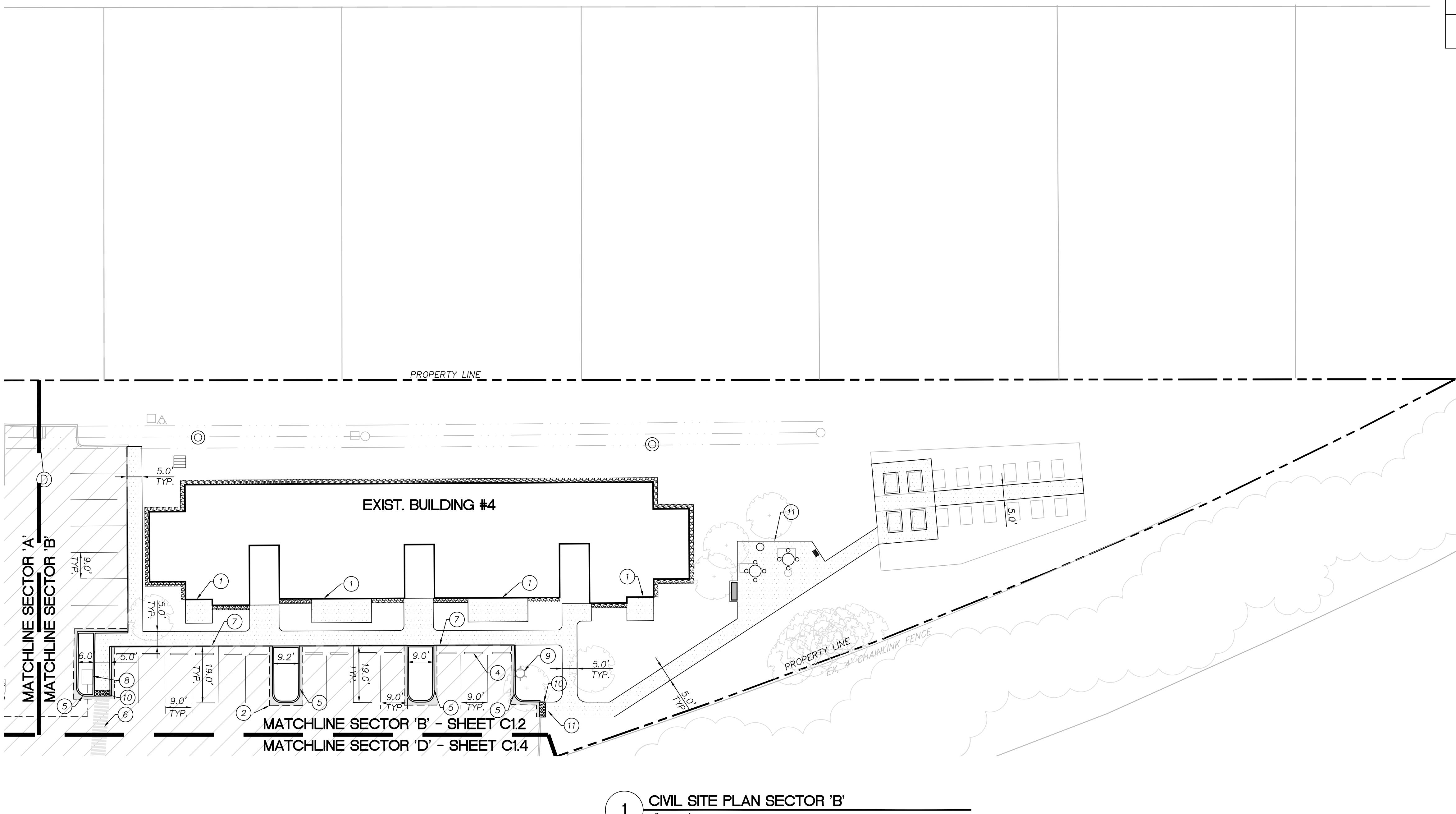
C1.1



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322 NW 8th Avenue Portland, Oregon 97209
+ 503 243 2252 | f 503 243 3261 | carletonhart.com

SHANGRI-LA STREET

LEGEND		
ITEM	DESCRIPTION	REFERENCE
[Dotted Pattern]	NEW SIDEWALK	(6) C4.0
[Solid Line]	NEW CURB	(7) C4.0
[Hatched Pattern]	SEAL COAT/RESTRIP PAVEMENT SEAL MISCELLANEOUS PAVEMENT CRACKS. CONTRACTOR SHALL COORDINATE WITH OWNER TO TO DETERMINE SCOPE FOR ALLIGATED PAVEMENT REMOVAL, DIG OUT, AND PATCH.	(5) C4.1
[Dashed Line]	GRAVEL DRAIN STRIP	(1) C4.1
(◎)	EXISTING DRYWELL-ROOF RUNOFF	
(◎)	EXISTING DRYWELL-ASPHALT PAVEMENT RUNOFF	



GENERAL NOTES

1. SIDEWALK REMOVAL TO BE AT NEAREST JOINT AND IN WHOLE PANELS ONLY.
2. SIDEWALK SHALL HAVE A 2.0% MAX CROSS SLOPE.
3. REFER TO C3.0 FOR PUBLIC WATER EASEMENT.

KEY NOTES

- ① NEW CONCRETE PATIO.
- ② SAWCUT, TYP.
- ③ REGRADE LANDSCAPE AROUND BUILDINGS. WORK SCOPE INCLUDES GRADING, LANDSCAPE, AREA DRAINS PIPED TO DRYWELLS
- ④ INSTALL PRECAST CONCRETE WHEELSTOP AT ALL SIDEWALKS LESS THAN 7 FEET WIDE AT HEAD OF PARKING STALL AND 2' FROM SIDEWALK, REFER TO DET. 3/C4.1
- ⑤ RECONSTRUCT PARKING LOT ISLANDS. REMOVE TREES, ROOTS, CUT AND PATCH ASPHALT, AND REBUILD CURBS, REFER TO DET. 7/C4.0 AND 5/C4.1
- ⑥ STRIPE ALL ADA CROSSINGS WITH 12" WIDE WHITE PAINT STRIPES AND YELLOW TACTILE DOME TILING AT CURB RAMPS,
- ⑦ FLUSH PAVEMENT, SEE DET. 4/C4.1
- ⑧ PROTECT EXISTING WATER UTILITY
- ⑨ PROTECT EXISTING LIGHT FIXTURE
- ⑩ TRUNCATED DOME STRIP, REFER TO 7/C4.1
- ⑪ 25'X25' CONCRETE PATIO

PARKWAY VILLAGE : EAST
SITE REPairs
SALEM HOUSING AUTHORITY

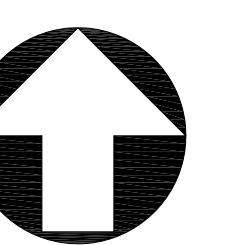
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CIVIL SITE PLAN
SECTOR 'B'

PROJ NO.

21348

01.10.2014

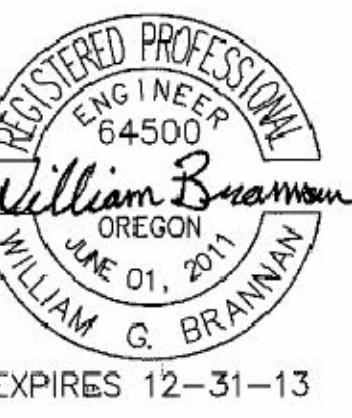


GRAPHIC SCALE
0 20 40
1 inch = 20 ft.

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PARKWAY VILLAGE : EAST
SITE REPAIRS
SALEM HOUSING AUTHORITY

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CIVIL SITE PLAN
SECTOR 'C'

PROJ NO.
21348

01.10.2014

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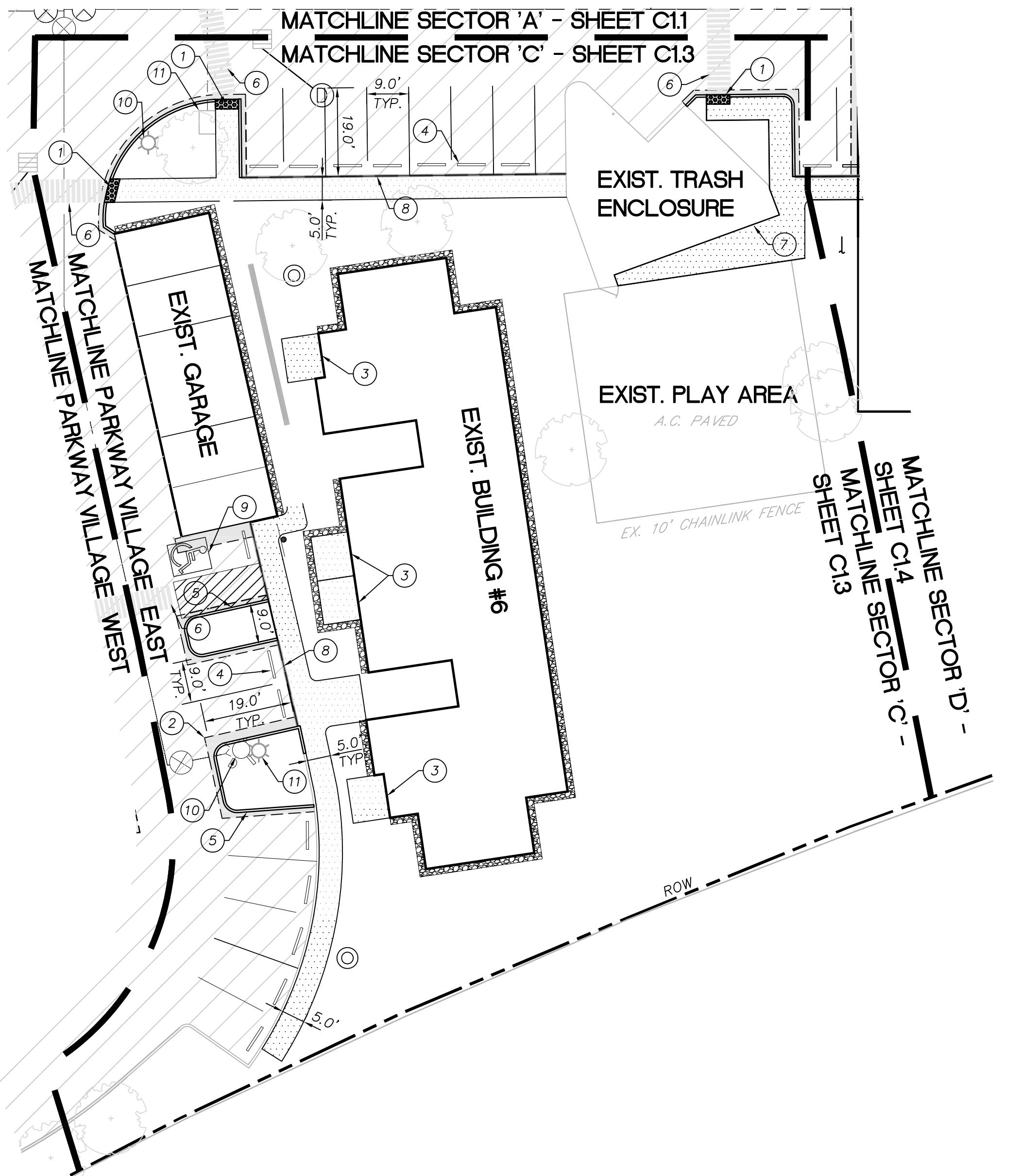
LEGEND		
ITEM	DESCRIPTION	REFERENCE
	NEW SIDEWALK	(6) C4.0
	NEW CURB	(7) C4.0
	SEAL COAT/RESTRIP PAVEMENT, SEAL MISCELLANEOUS PAVEMENT CRACKS. CONTRACTOR SHALL COORDINATE WITH OWNER TO DETERMINE SCOPE FOR ALLIGATED PAVEMENT REMOVAL, DIG OUT, AND PATCH.	(5) C4.1
	GRAVEL DRAIN STRIP	(1) C4.1
	EXISTING DRYWELL-ROOF RUNOFF	
	EXISTING DRYWELL-ASPHALT PAVEMENT RUNOFF	

GENERAL NOTES

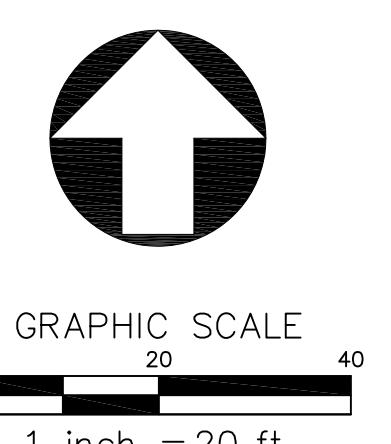
1. SIDEWALK REMOVAL TO BE AT NEAREST JOINT AND IN WHOLE PANELS ONLY.
2. SIDEWALK SHALL HAVE A 2.0% MAX CROSS SLOPE.
3. REFER TO SHEET C3.0 FOR PUBLIC WATER EASEMENT.

KEY NOTES

- (1) TRUNCATED DOME STRIP, REFER TO 7/C4.1
- (2) SAWCUT, TYP.
- (3) NEW CONCRETE PATIO.
- (4) INSTALL PRECAST CONCRETE WHEELSTOP AT ALL SIDEWALKS LESS THAN 7 FEET WIDE AT HEAD OF PARKING STALL AND 2' FROM SIDEWALK, REFER TO DET. 3/C4.1
- (5) RECONSTRUCT PARKING LOT ISLANDS. REMOVE TREES, ROOTS, CUT AND PATCH ASPHALT, AND REBUILD CURBS. REFER TO DET. 7/C4.0 AND 5/C4.1
- (6) STRIPE ALL ADA CROSSINGS WITH 12" WIDE WHITE PAINT STRIPES AND YELLOW TACTILE DOME TILING AT CURB RAMPS
- (7) UPGRADE TRASH ENCLOSURE AND BINS TO ADA STANDARDS.
- (8) FLUSH PAVEMENT, SEE DET. 4/C4.1. REMOVE EXISTING CURB.
- (9) ACCESSIBLE STALL, REFER TO DET. 3,4,5/C4.0
- (10) PROTECT EXISTING WATER UTILITY
- (11) PROTECT EXISTING LIGHT FIXTURE



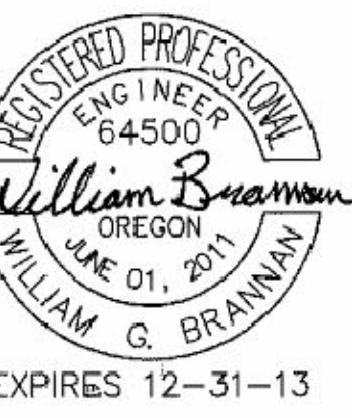
1 CIVIL SITE PLAN SECTOR 'C'



GRAPHIC SCALE
0 20 40
1 inch = 20 ft.

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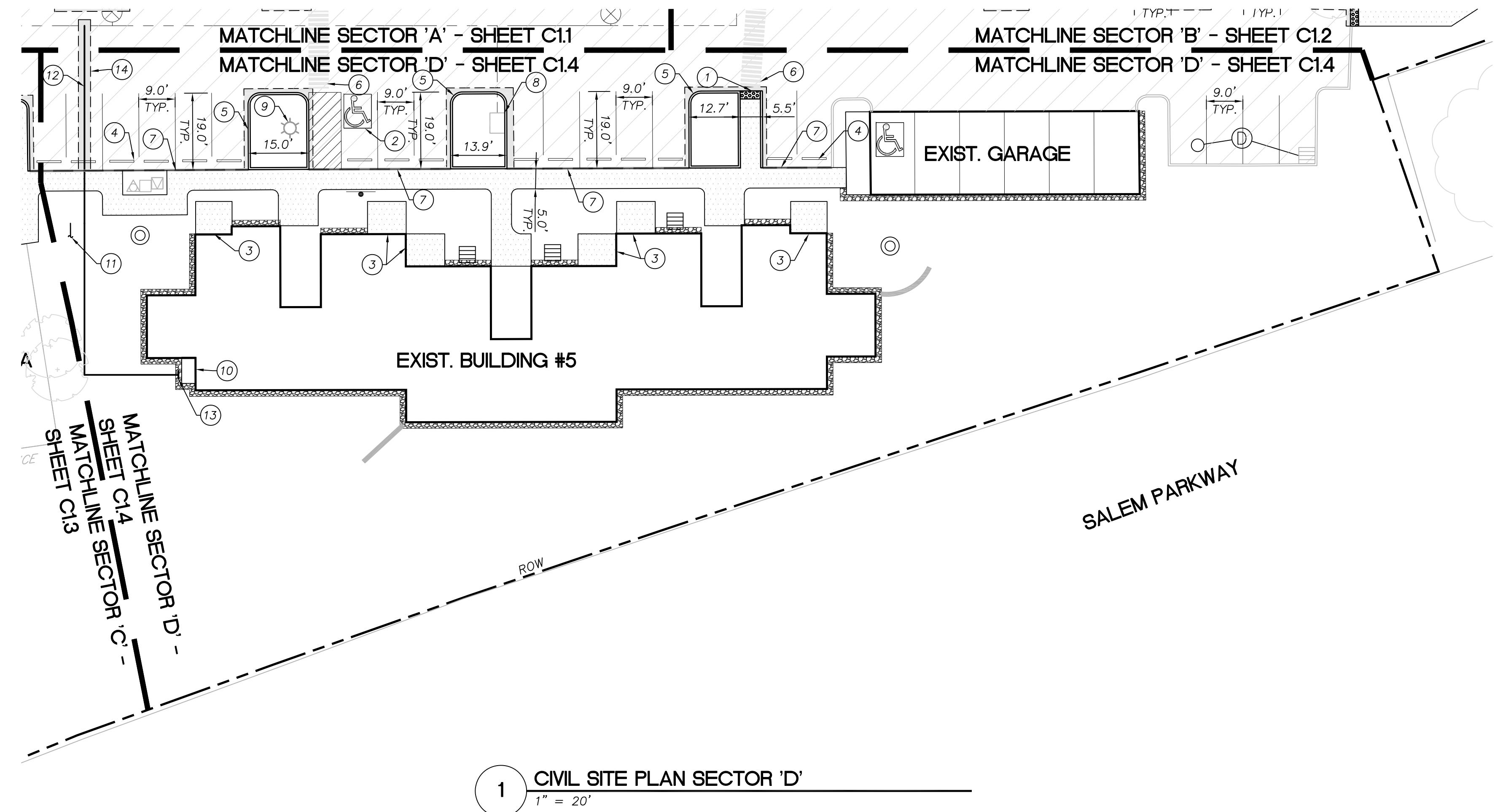
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PARKWAY VILLAGE : EAST
SITE REPAIRS
SALEM HOUSING AUTHORITY

PERMIT REVIEW/BID SET

LEGEND		
ITEM	DESCRIPTION	REFERENCE
[Dotted Box]	NEW SIDEWALK	(6) C4.0
[Solid Line]	NEW CURB	(7) C4.0
[Hatched Box]	SEAL COAT/RESTRIP PAVEMENT, SEAL MISCELLANEOUS PAVEMENT CRACKS. CONTRACTOR SHALL COORDINATE WITH OWNER TO DETERMINE SCOPE FOR ALLIGATED PAVEMENT REMOVAL, DIG OUT, AND PATCH.	(5) C4.1
[Dashed Box]	GRAVEL DRAIN STRIP	(1) C4.1
(○)	EXISTING DRYWELL-ROOF RUNOFF	
(D)	EXISTING DRYWELL-ASPHALT PAVEMENT RUNOFF	

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GENERAL NOTES

1. SIDEWALK REMOVAL TO BE AT NEAREST JOINT AND IN WHOLE PANELS ONLY.
2. SIDEWALK SHALL HAVE A 2.0% MAX CROSS SLOPE.
3. ALL 4" WATER JOINTS SHALL BE MECHANICALLY RESTRAINED WITH "MEGA LUG" OR "FIELD LOK" GASKETS.
3. REFER TO C3.0 FOR PUBLIC WATER EASEMENT.

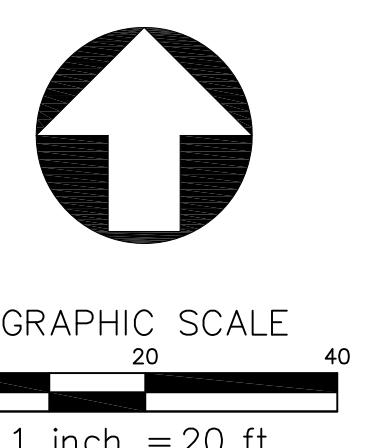
KEY NOTES

- ① TRUNCATED DOME STRIP, REFER TO 7/C4.1
- ② ACCESSIBLE STALL, REFER TO DET. 3,4,5/C4.0
- ③ NEW CONCRETE PATIO.
- ④ INSTALL PRECAST CONCRETE WHEELTOPS AT ALL SIDEWALKS LESS THAN 7 FEET WIDE AT HEAD OF PARKING STALL AND 2' FROM SIDEWALK, REFER TO DET. 3/C4.1
- ⑤ RECONSTRUCT PARKING LOT ISLANDS. REMOVE TREES, ROOTS, CUT AND PATCH ASPHALT, AND REBUILD CURBS. REFER TO DET. 7/C4.0 AND 5/C4.1
- ⑥ STRIPE ALL ADA CROSSINGS WITH 12" WIDE WHITE PAINT STRIPES AND YELLOW TACTILE DOME TILING AT CURB RAMPS.
- ⑦ FLUSH PAVEMENT, SEE DET. 4/C4.1. REMOVE EXISTING CURB.
- ⑧ PROTECT EXISTING WATER UTILITY.
- ⑨ PROTECT EXISTING LIGHT FIXTURE.
- ⑩ 4" FIRE BACKWATER VALVE IN ACCESSIBLE VAULT, DET. 3/C4.3
- ⑪ POWER SOURCE CONNECTION FOR VAULT SUMP PUMP.
- ⑫ 4" FIRE LINE.
- ⑬ 4" FIRE CONNECTION TO BUILDING.
- ⑭ SAWCUT, TYP.

CIVIL SITE PLAN
SECTOR 'D'

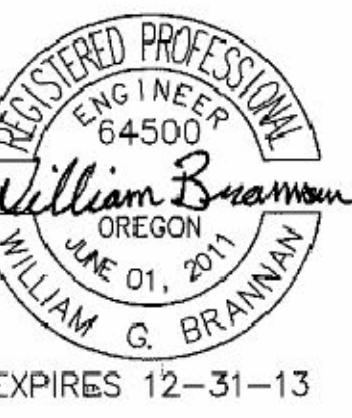
PROJ NO.
21348

01.10.2014



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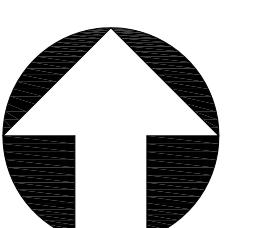
PARKWAY VILLAGE : EAST
SITE REPAIRS
SALEM HOUSING AUTHORITY

PERMIT REVIEW/BID SET

OVERALL CIVIL
GRADING PLAN

PROJ NO.
21348

01.10.2014



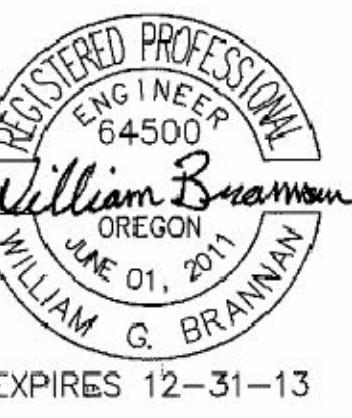
GRAPHIC SCALE
0 40 80
1 inch = 40 ft.

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SHANGRI-LA NE





SHANGRI-LA STREET

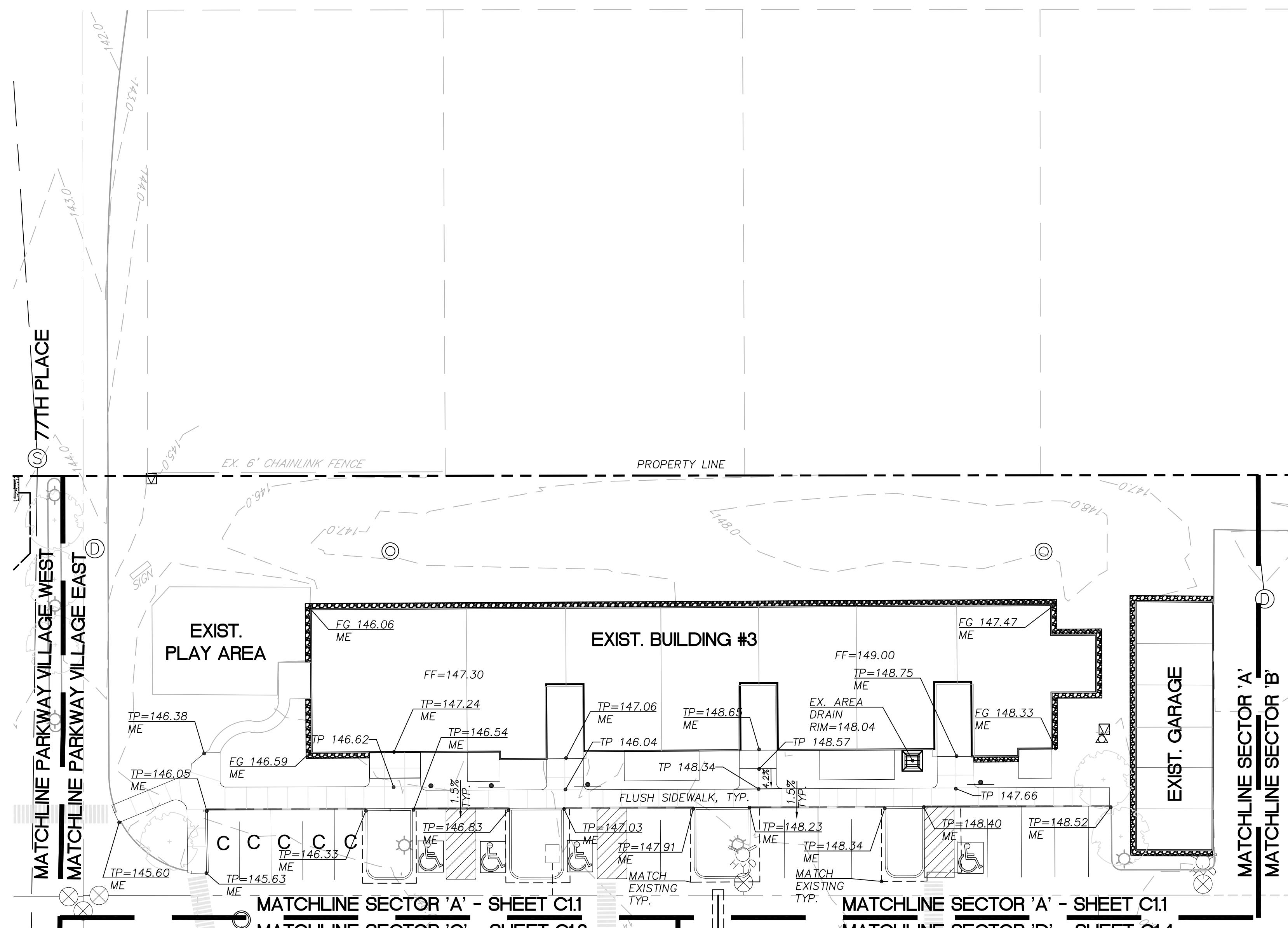
LEGEND

FG = FINISH GRADE
 ME = MATCH EXISTING
 TP = TOP OF PAVEMENT
 TC = TOP OF CURB
 EXP = EXPOSURE

FILTER FABRIC INLET PROTECTION
 2 C4.0

GENERAL NOTES

- SIDEWALKS SHALL HAVE A 2.0% MAX CROSS SLOPE.



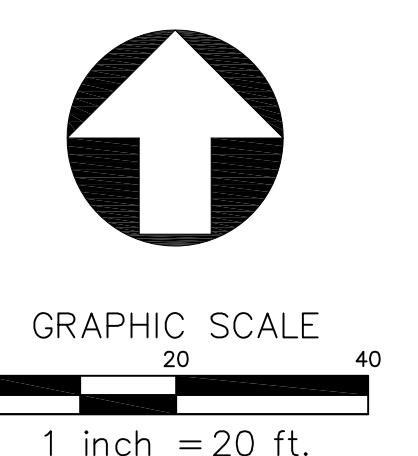
PARKWAY VILLAGE : EAST
SITE REPAIRS
SALEM HOUSING AUTHORITY

PERMIT REVIEW/BID SET

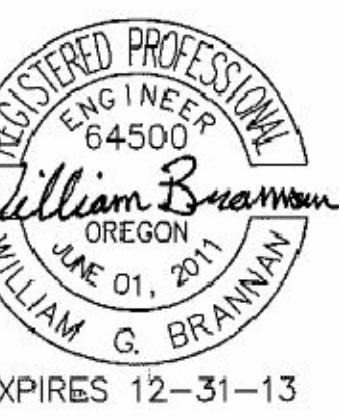
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PARKWAY VILLAGE : EAST
SITE REPAIRS
SALEM HOUSING AUTHORITY

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CIVIL GRADING PLAN
SECTOR 'B'

PROJ NO.
21348

01.10.2014

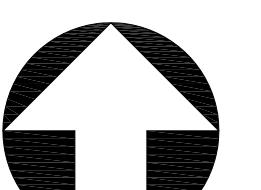
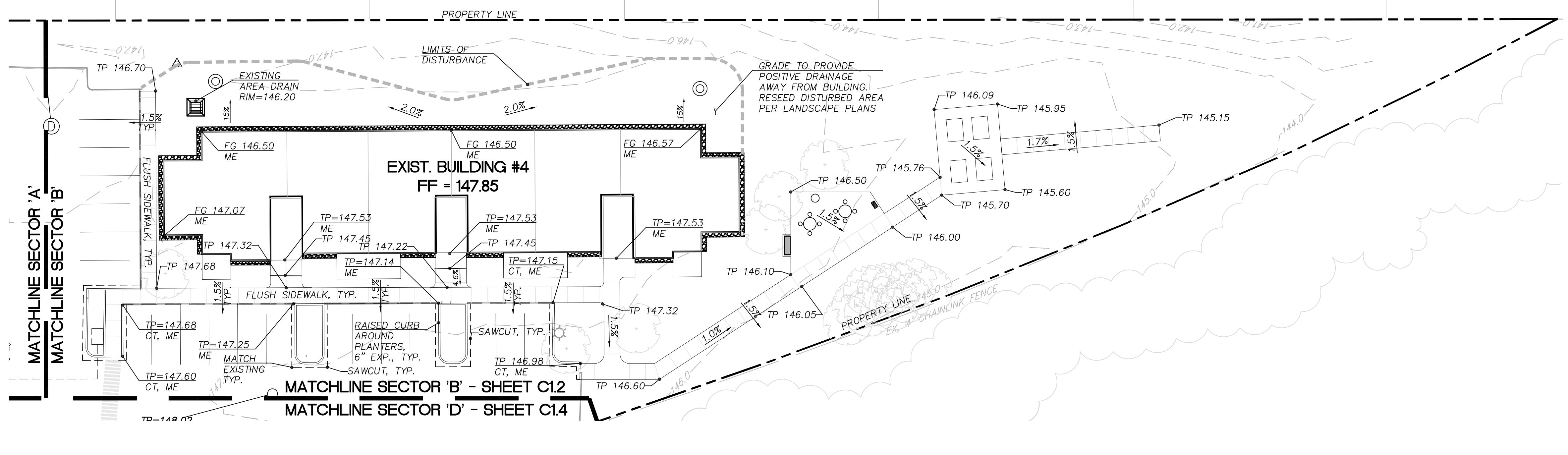
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SHANGRI-LA STREET

LEGEND	
FG	FINISH GRADE
ME	MATCH EXISTING
TP	TOP OF PAVEMENT
TC	TOP OF CURB
EXP	EXPOSURE
	FILTER FABRIC INLET PROTECTION
	2 C4.0

GENERAL NOTES

- SIDEWALKS SHALL HAVE A 2.0% MAX CROSS SLOPE.



GRAPHIC SCALE
0 20 40
1 inch = 20 ft.

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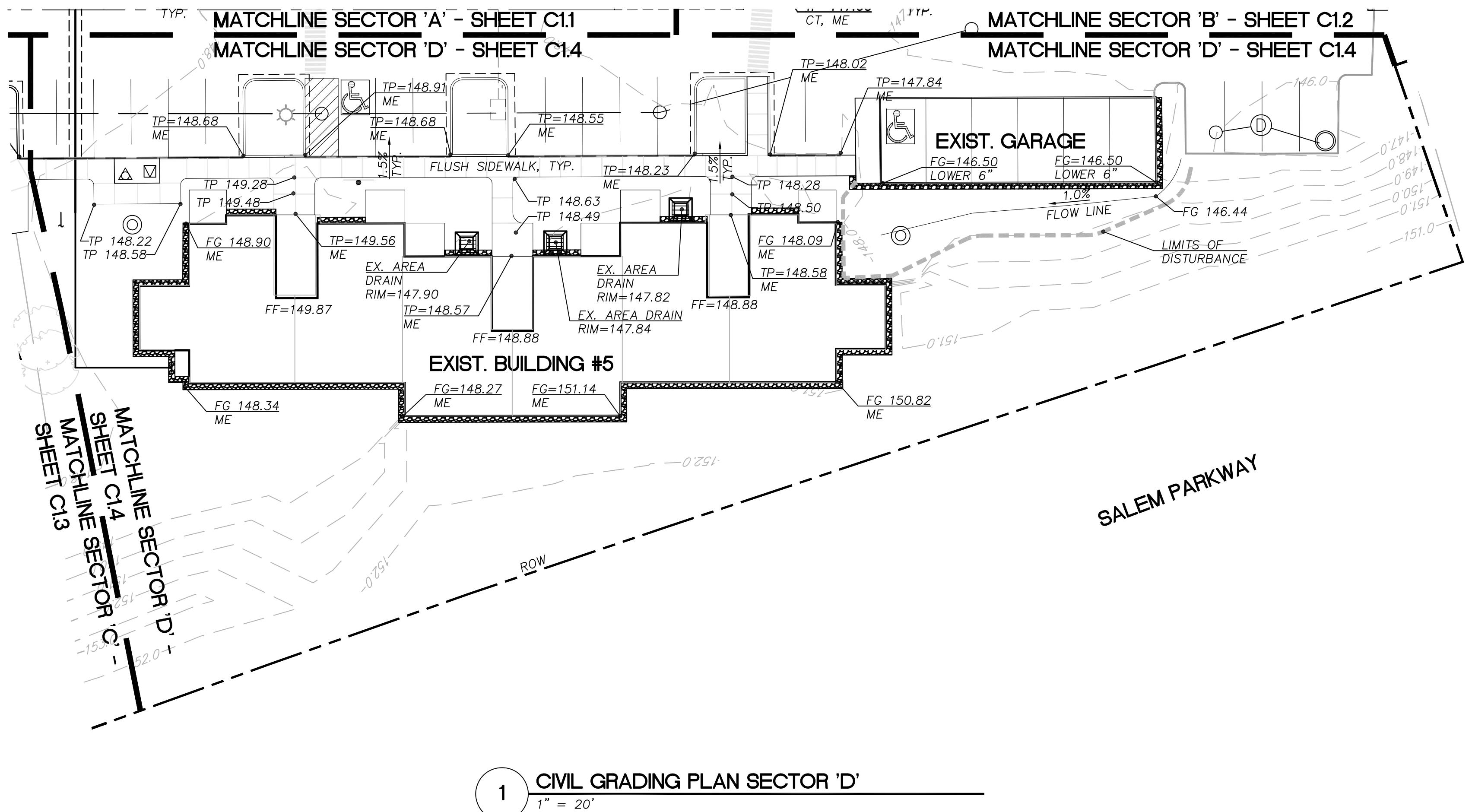
C2.2



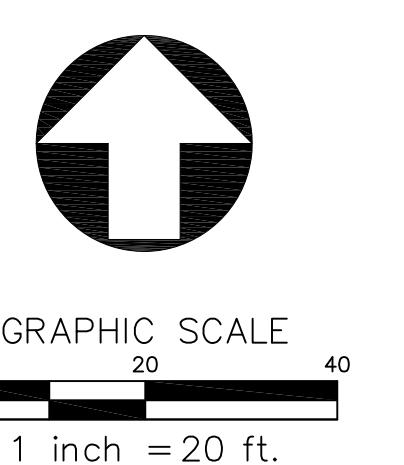
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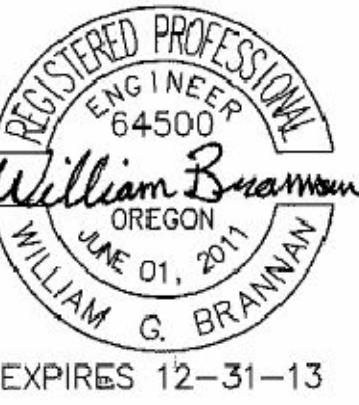
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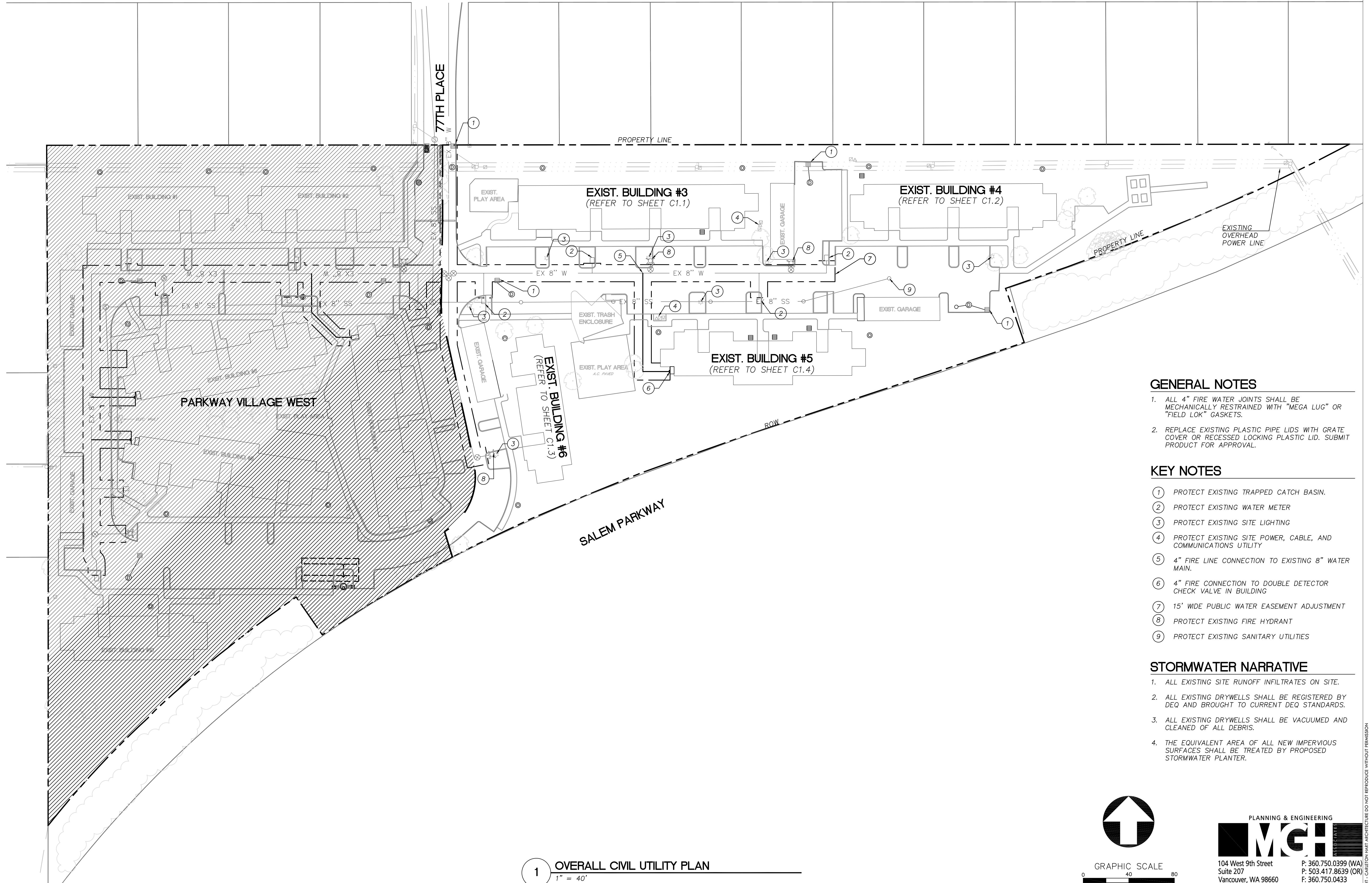


EXPIRES 12-31-13

EXPIRES 12-31-13

SHANGRI-LA STREET

OVERALL CIVIL UTILITY PLAN



GENERAL NOTES

- ALL 4" FIRE WATER JOINTS SHALL BE MECHANICALLY RESTRAINED WITH "MEGA LUG" OR "FIELD LOK" GASKETS.
 - REPLACE EXISTING PLASTIC PIPE LIDS WITH GRATE COVER OR RECESSED LOCKING PLASTIC LID. SUBMIT PRODUCT FOR APPROVAL

KEY NOTES

- 1 PROTECT EXISTING TRAPPED CATCH BASIN.
 - 2 PROTECT EXISTING WATER METER
 - 3 PROTECT EXISTING SITE LIGHTING
 - 4 PROTECT EXISTING SITE POWER, CABLE, AND COMMUNICATIONS UTILITY
 - 5 4" FIRE LINE CONNECTION TO EXISTING 8" WATER MAIN.
 - 6 4" FIRE CONNECTION TO DOUBLE DETECTOR CHECK VALVE IN BUILDING
 - 7 15' WIDE PUBLIC WATER EASEMENT ADJUSTMENT
 - 8 PROTECT EXISTING FIRE HYDRANT
 - 9 PROTECT EXISTING SANITARY UTILITIES

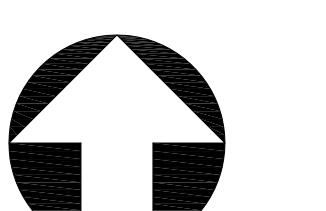
STORMWATER NARRATIVE

- 1. ALL EXISTING SITE RUNOFF INFILTRATES ON SITE.
 - 2. ALL EXISTING DRYWELLS SHALL BE REGISTERED BY DEQ AND BROUGHT TO CURRENT DEQ STANDARDS.
 - 3. ALL EXISTING DRYWELLS SHALL BE VACUUMED AND CLEANED OF ALL DEBRIS.
 - 4. THE EQUIVALENT AREA OF ALL NEW IMPERVIOUS SURFACES SHALL BE TREATED BY PROPOSED STORMWATER PLANTER.

OVERALL CIVIL UTILITY PLAN

PROJ NO.
21248

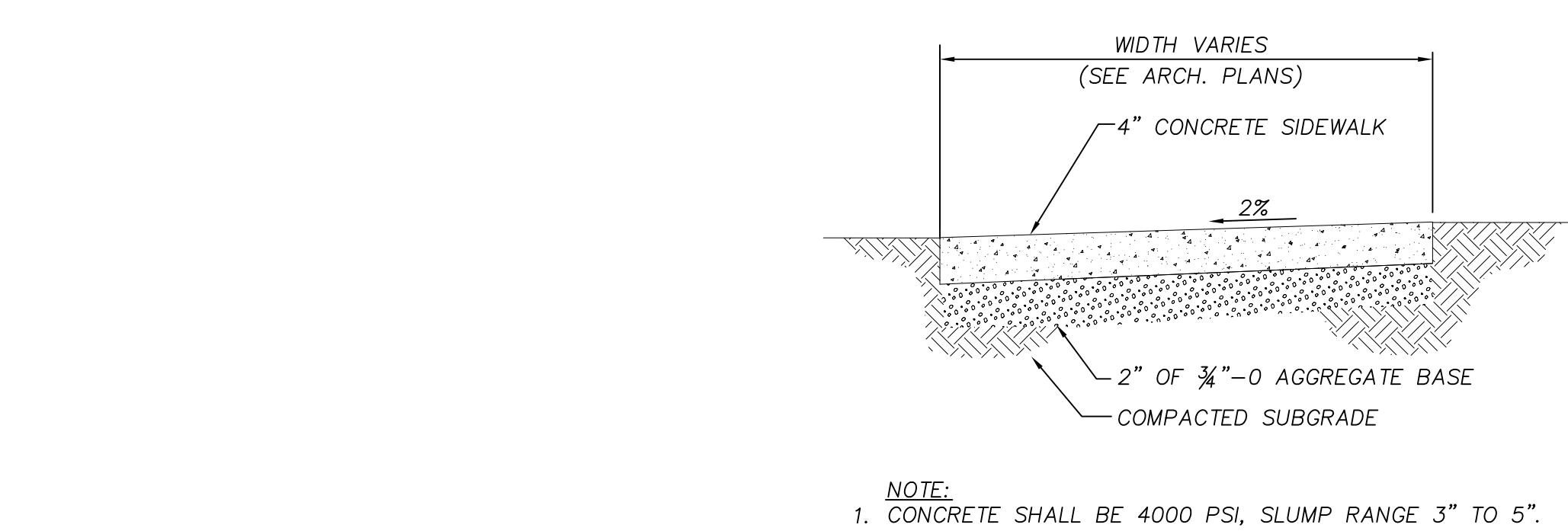
11.10.2014



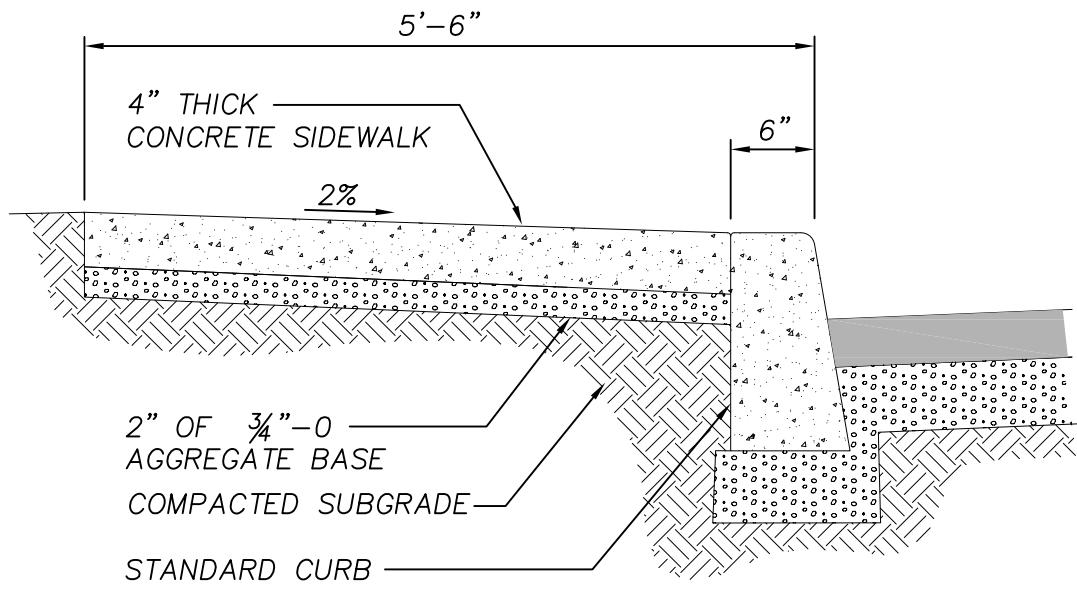
A graphic scale diagram consisting of a horizontal line with tick marks at 0, 40, and 80. The segment between 0 and 40 is shaded black, while the segments before 0 and after 80 are shaded grey. Dashed lines extend from the 0 and 80 marks upwards and outwards.

The logo consists of three large, bold, black letters 'M', 'G', and 'H' arranged vertically. To the right of the 'H' is a vertical bar with horizontal black and white stripes. To the left of the 'M' is a solid black vertical bar. The word 'ASSOCIATES' is written vertically next to the striped bar. At the bottom left, there is contact information: 'West 9th Street', '207', 'Spokane, WA 98660', and 'www.mghassociates.com'. At the bottom right, there is a registered trademark symbol (®) followed by the slogan 'IF MAKING PLACES®'.

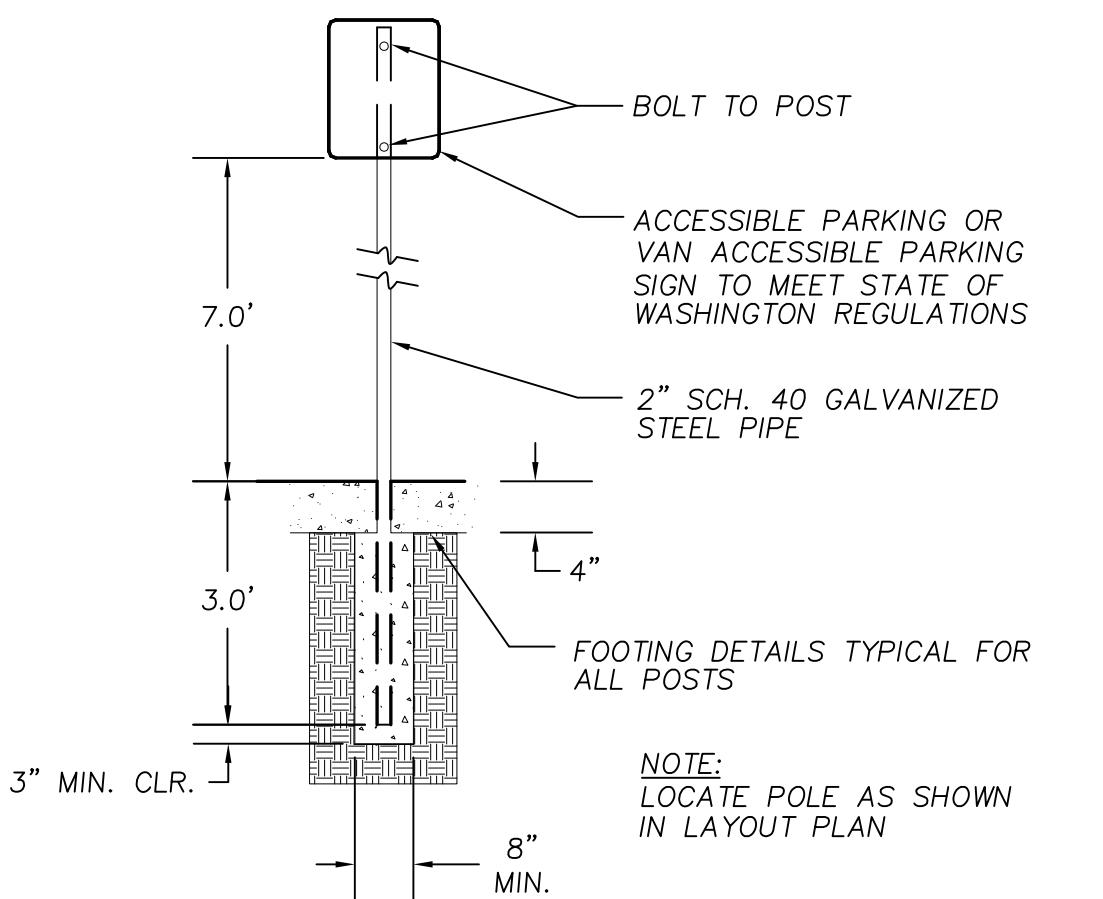
C3.0



IN LANDSCAPE



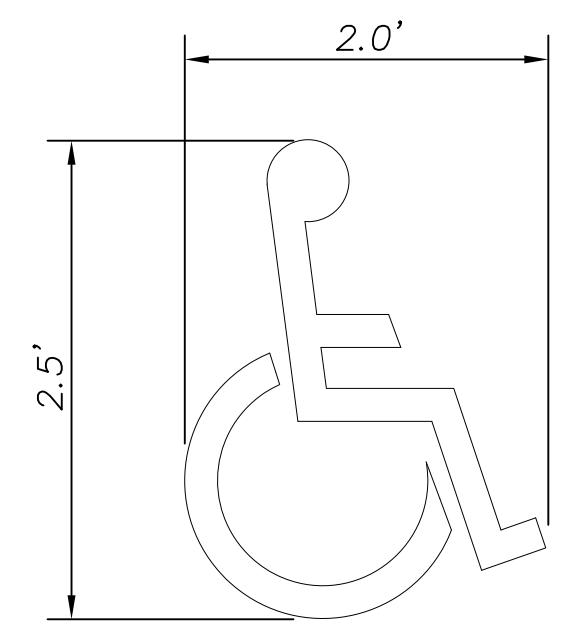
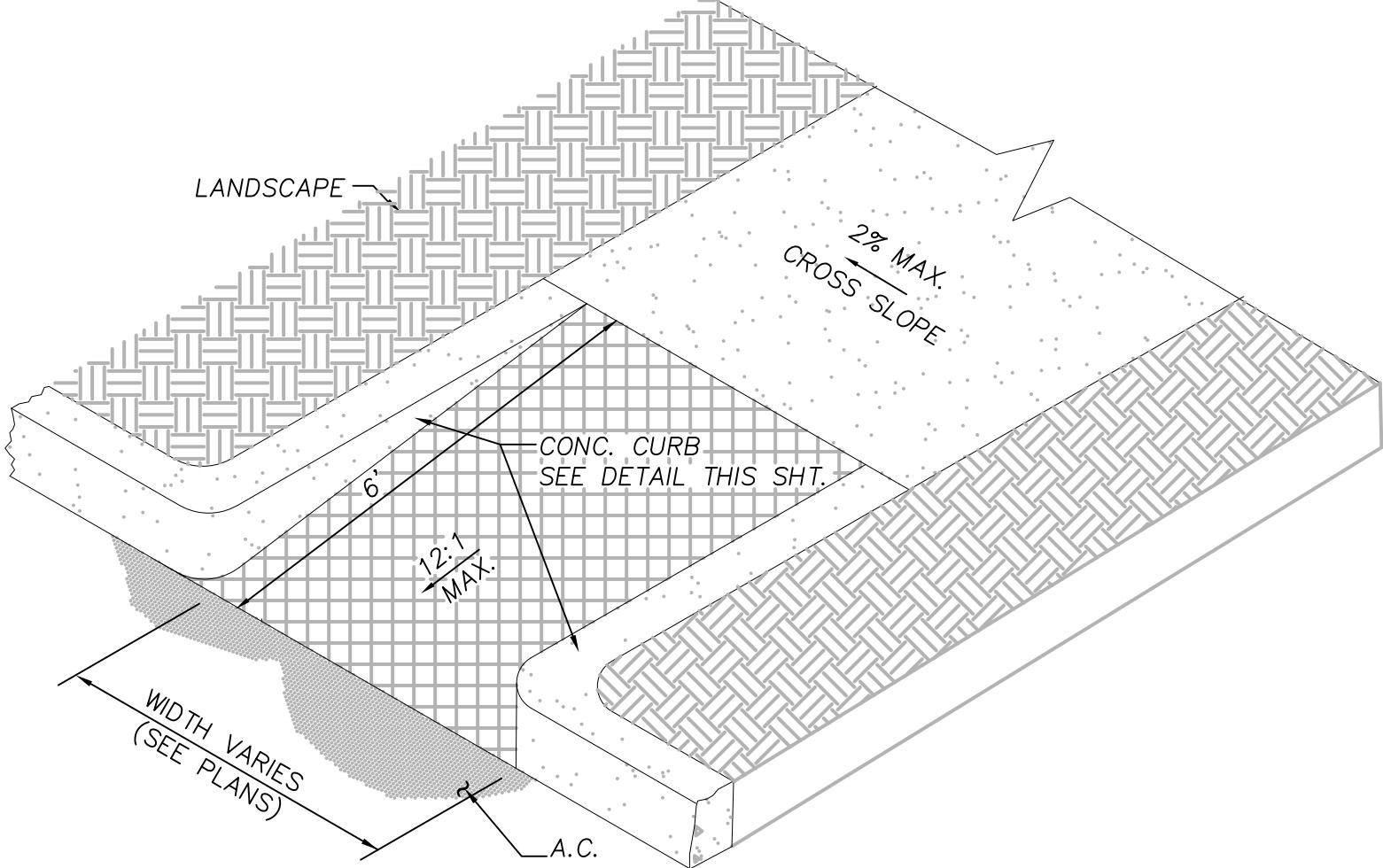
AT STANDARD 16" CURB



3
NTS

ACCESSIBLE SIGN POST
NTS

6
NTS
CONCRETE SIDEWALK



5
NTS
ACCESSIBLE PARKING EMBLEM

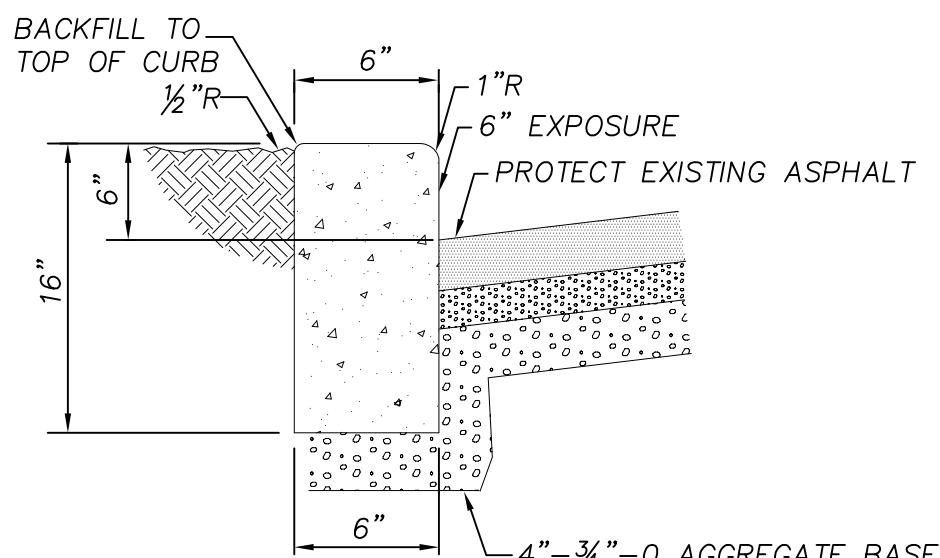


WHEELCHAIR
ONLY

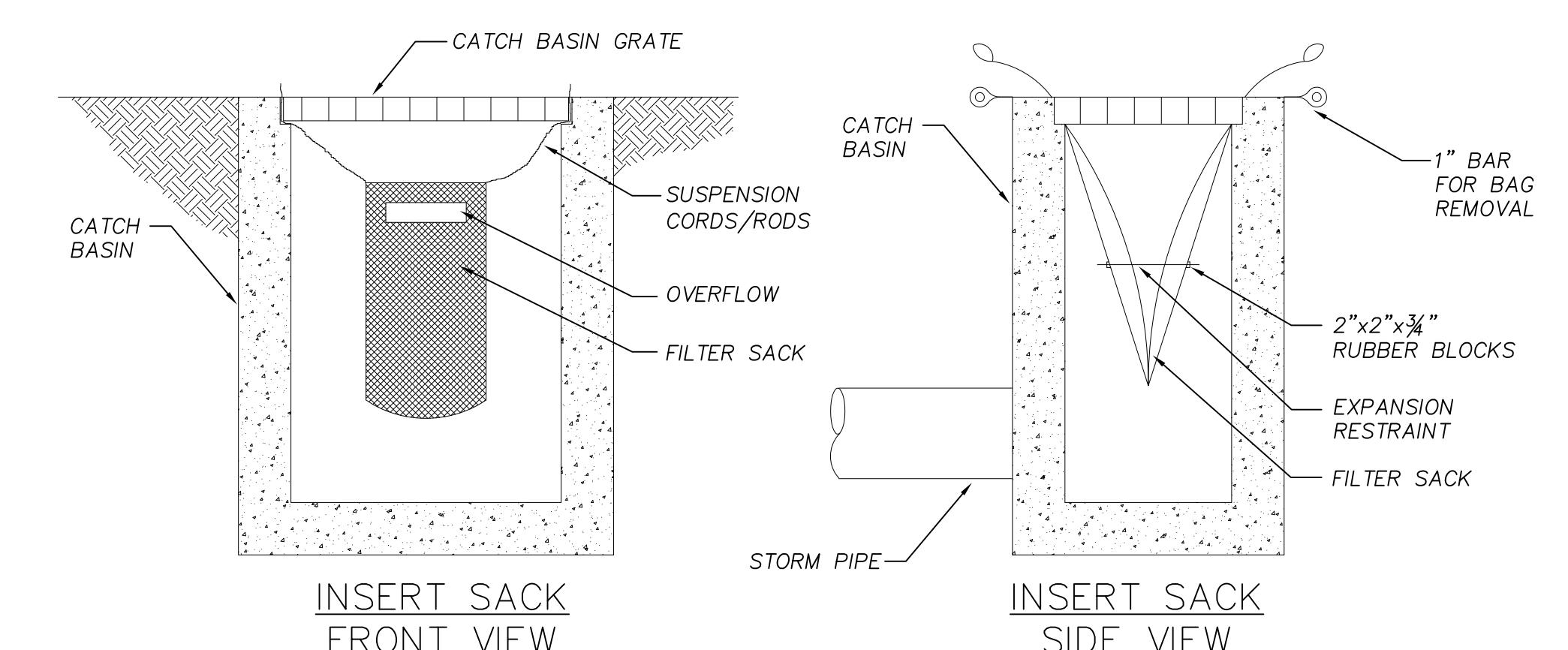
STANDARD

NOTE:
1. INSTALL OREGON APPROVED ACCESSIBLE STALL SIGNS.

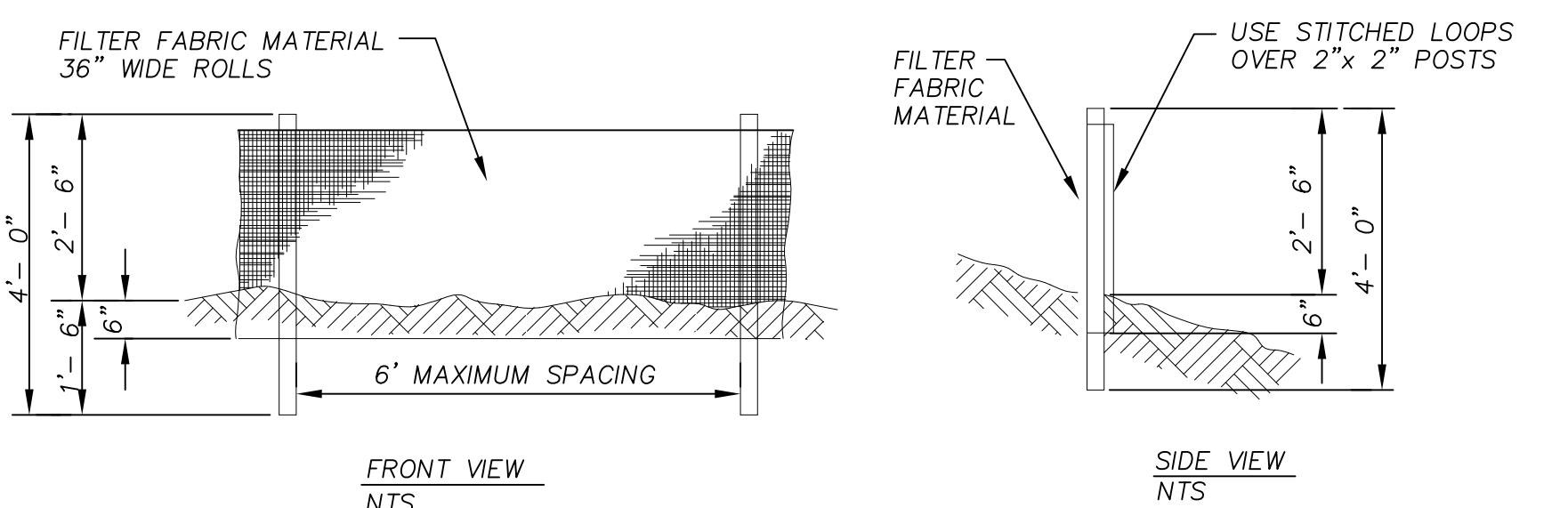
7
NTS
STANDARD CONCRETE CURB



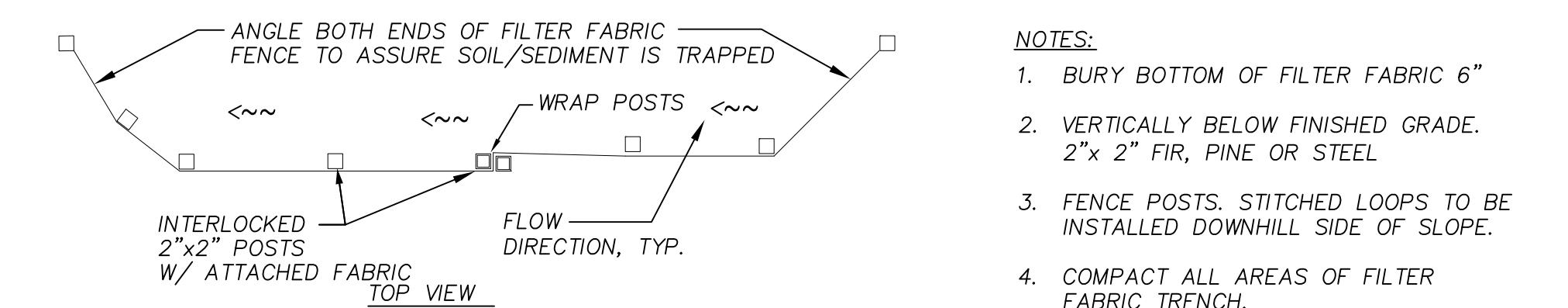
4
NTS
ACCESSIBLE PARKING SIGN



2
NTS
FILTER FABRIC INLET PROTECTION



1
NTS
SEDIMENT FENCE

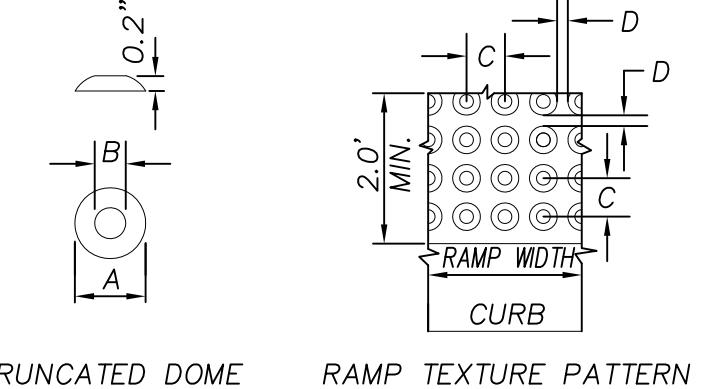


CIVIL DETAILS

PROJ NO.

21348

01.10.2014

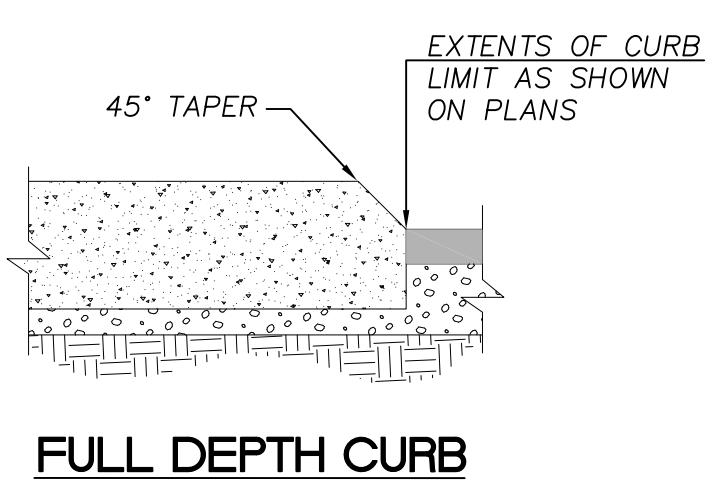


TRUNCATED DOME RAMP TEXTURE PATTERN

DIMENSIONS
 $A = 0.9 \text{ INCHES (MIN.) TO } 1.4 \text{ INCHES (MAX.)}$,
 $B = 50\% \text{ OF } 'A' \text{ (MIN.) TO } 65\% \text{ OF } 'A' \text{ (MAX.)}$,
 $C = 1.6 \text{ INCHES O.C. (MIN.) TO } 2.4 \text{ INCHES O.C. (MAX.)}$,
 $D = 0.65 \text{ INCHES (MIN.)}$.

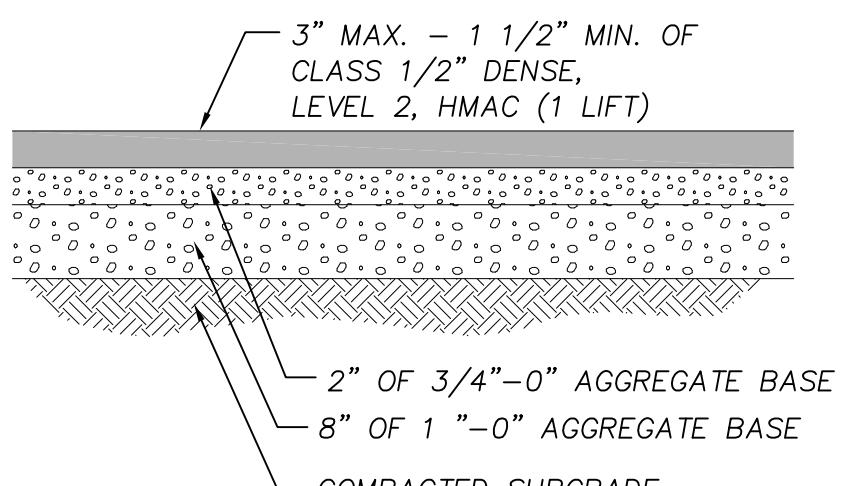
- NOTES:**
1. ARRANGE DOMES USING IN-LINE-PATTERN ONLY AS SHOWN IN DETAIL.
 2. THE TRUNCATED DOME RAMP TEXTURE SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT.
 3. THE TEXTURE SURFACE SHALL EXTEND 2.0' MIN. IN THE DIRECTION OF TRAVEL AND THE FULL WIDTH OF THE CURB RAMP, LANDING, OR BLENDED TRANSITION.
 4. THE TEXTURE SURFACE SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE IS 6 INCHES MIN. AND 8 INCHES MAX. FROM THE CURB LINE.

7 TRUNCATED DOME TEXTURE NTS



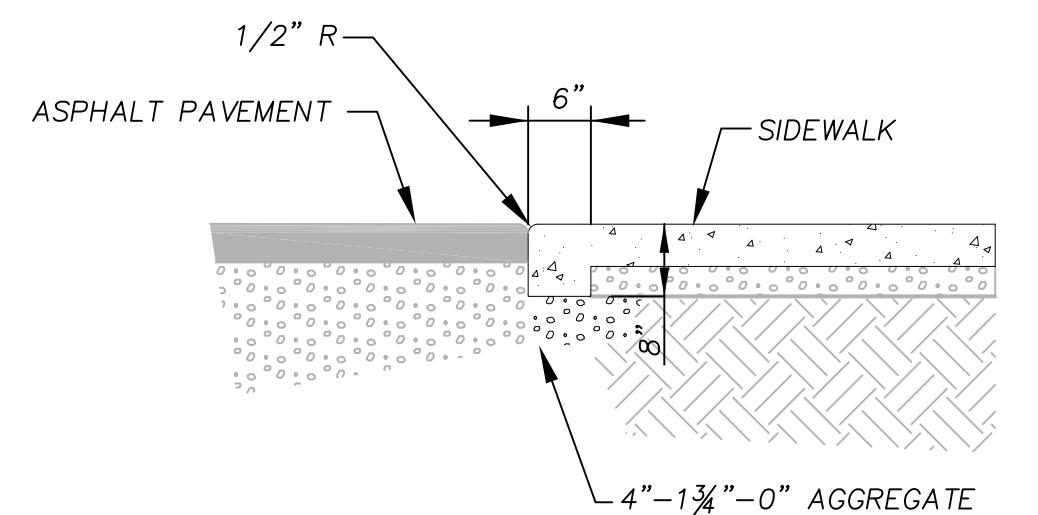
FULL DEPTH CURB

6 CURB TAPER NTS



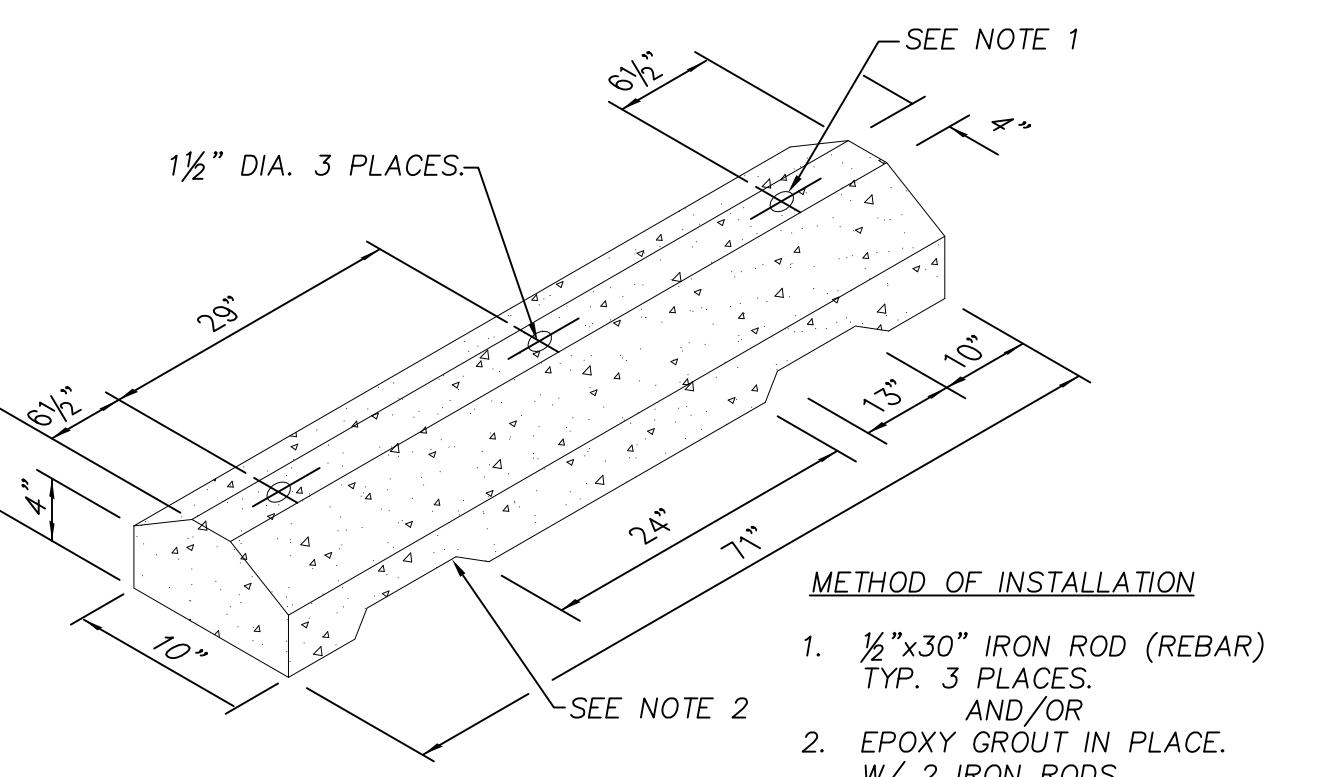
- NOTES:**
1. AGGREGATE BASE AND THE UPPER 12" OF THE SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY DETERMINED IN ACCORDANCE WITH ASTM D1557.
 2. AC PAVEMENT SHALL BE COMPACTED TO 91% OF THE RICE DENSITY OF THE MIX.

5 TYPICAL PAVEMENT SECTION - MATCH EXISTING NTS



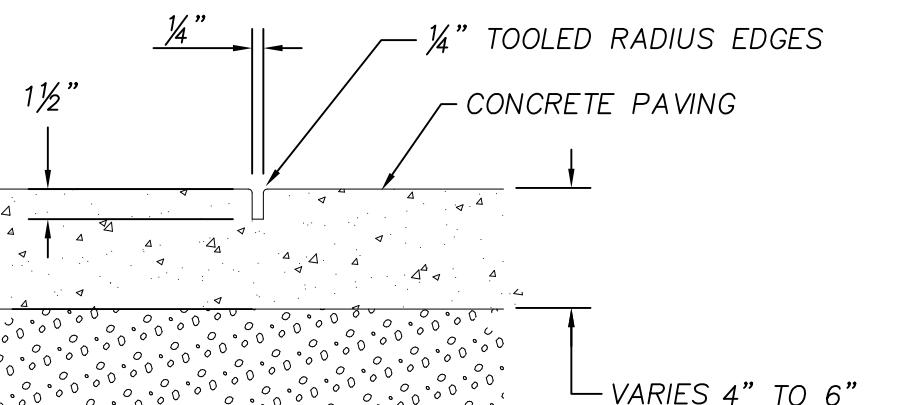
- NOTES:**
1. SET ADJACENT SURFACES FLUSH WITH SIDEWALK.

4 FLUSH PAVEMENT NTS



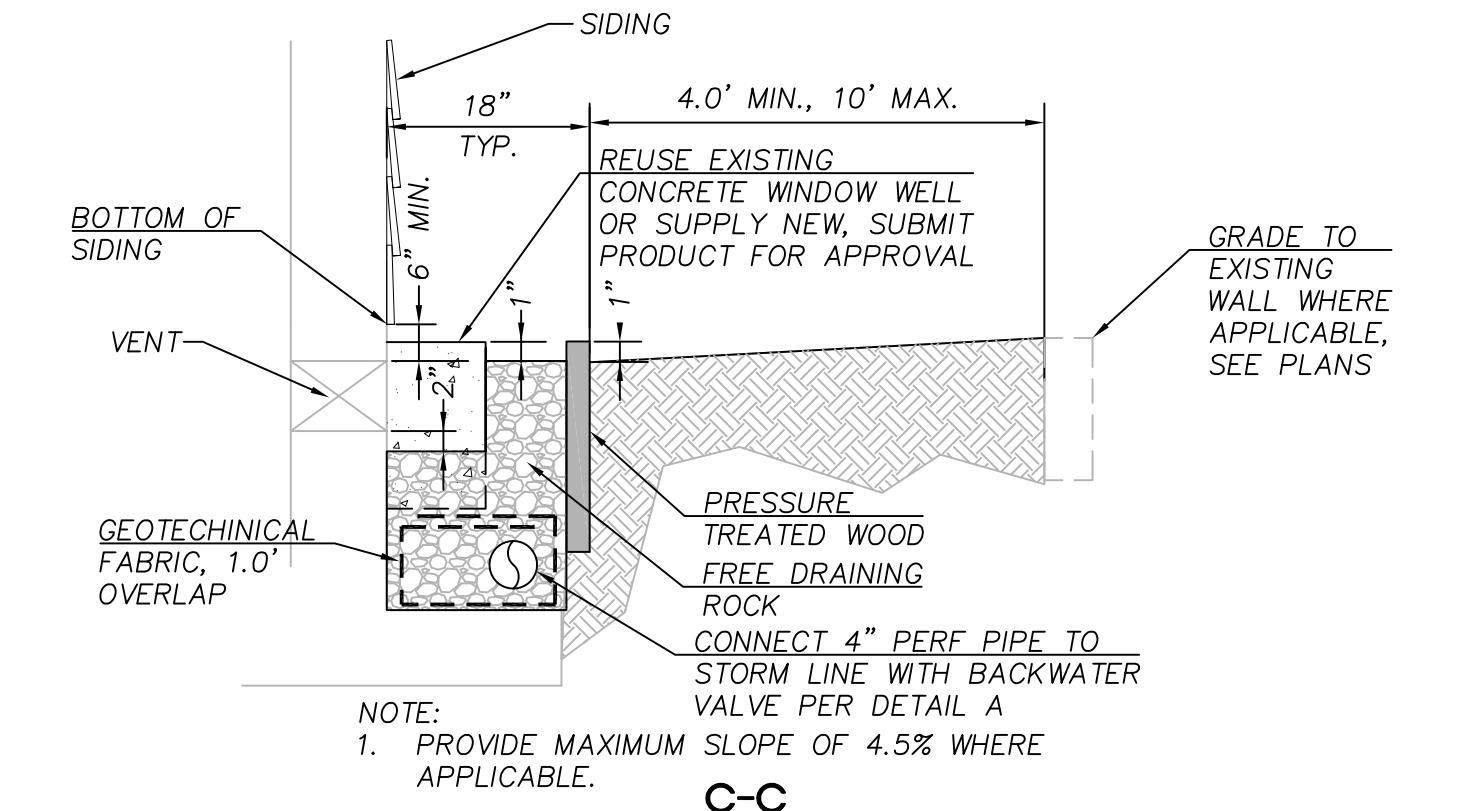
- METHOD OF INSTALLATION**
1. $\frac{1}{8}'' \times 30''$ IRON ROD (REBAR) TYP. 3 PLACES. AND/OR
 2. EPOXY GROUT IN PLACE. W/ 2 IRON RODS.

3 PRECAST CONCRETE WHEELSTOP NTS

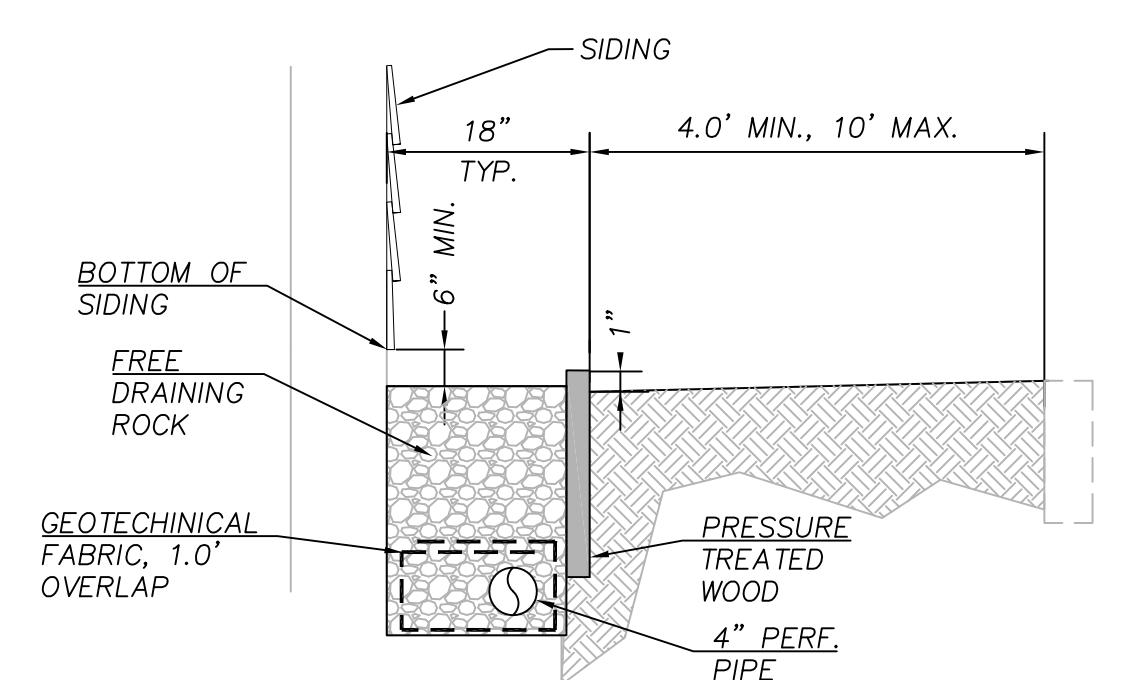


- NOTE:**
1. NO SHINERS ON TOOLED JOINTS.
 2. PLACE SCORE JOINTS AT MAXIMUM 15.0' ON CENTER.

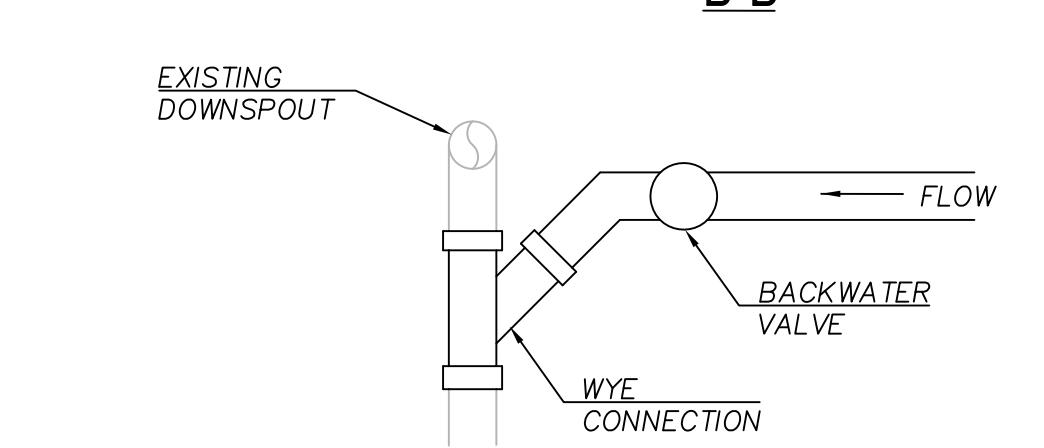
2 SCORE JOINT NTS



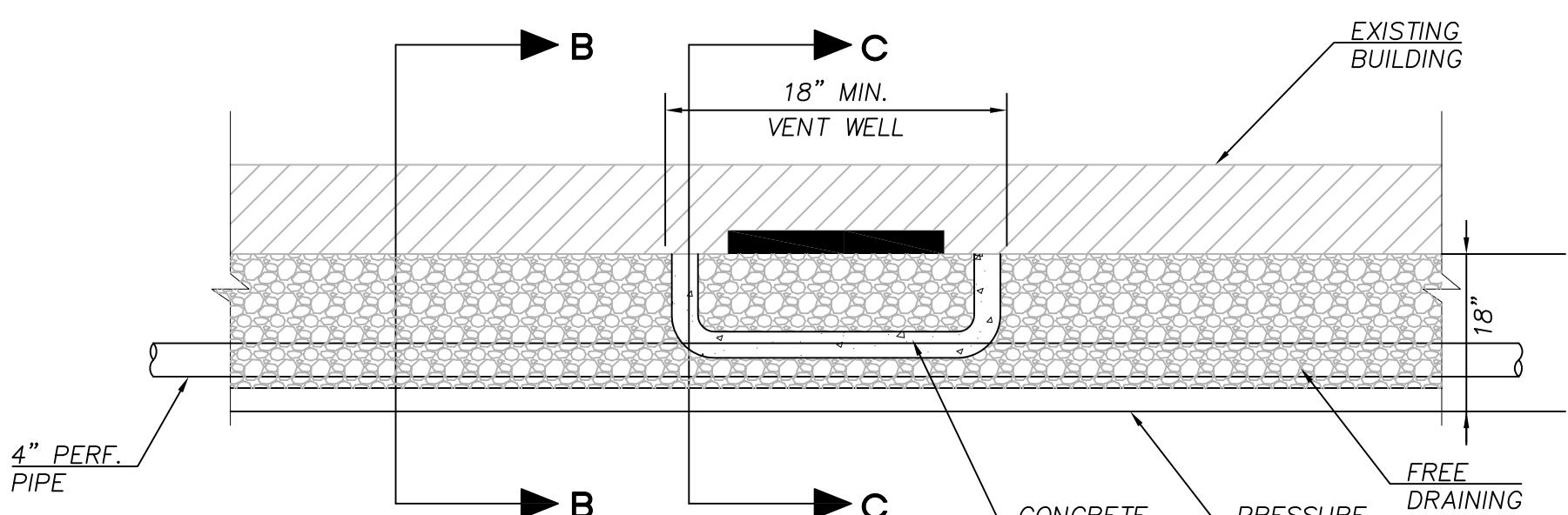
- NOTE:**
1. PROVIDE MAXIMUM SLOPE OF 4.5% WHERE APPLICABLE.



- NOTE:**
1. PROVIDE MAXIMUM SLOPE OF 4.5% WHERE APPLICABLE.

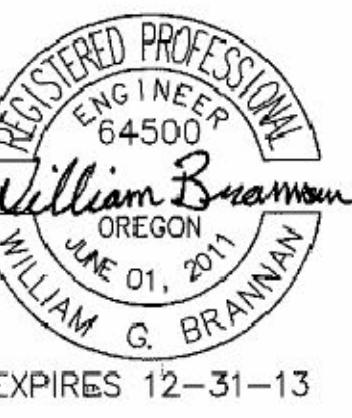


DETAIL A



- NOTE:**
1. PERFORATED PIPE SHALL CONNECT TO NEAREST EXISTING STORM DRAIN LINE WITH A BACKWATER VALVE IN ACCESSIBLE VAULT.
 2. VENT WELLS SHALL RUN THE LENGTH OF MULTIPLE VENTS WHERE APPLICABLE.

1 REGRADE AT SIDING AND VENT NTS



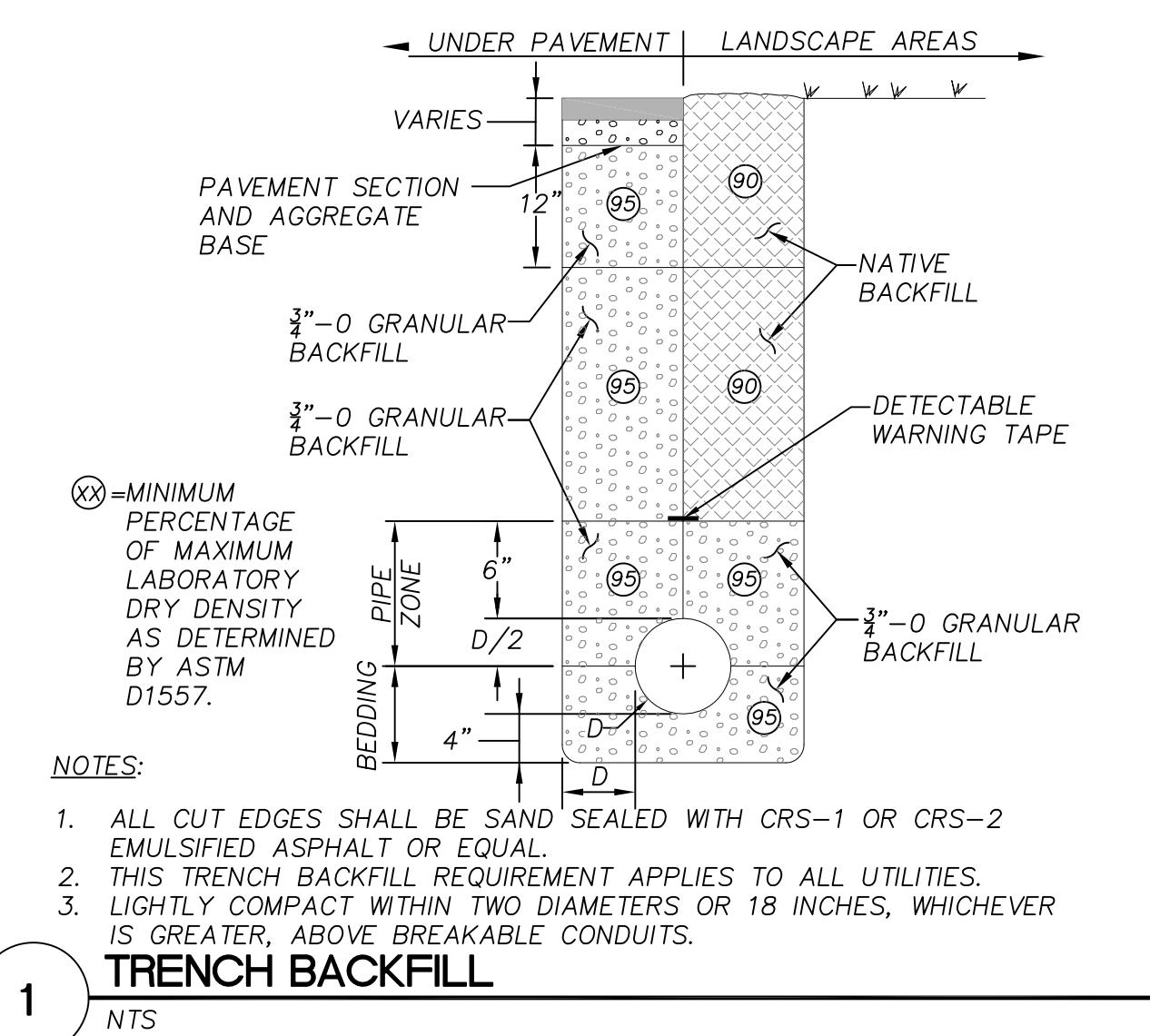
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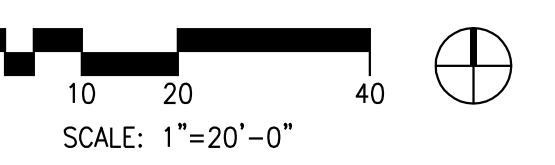
PARKWAY VILLAGE : EAST
SITE REPAIRS
SALEM HOUSING AUTHORITY

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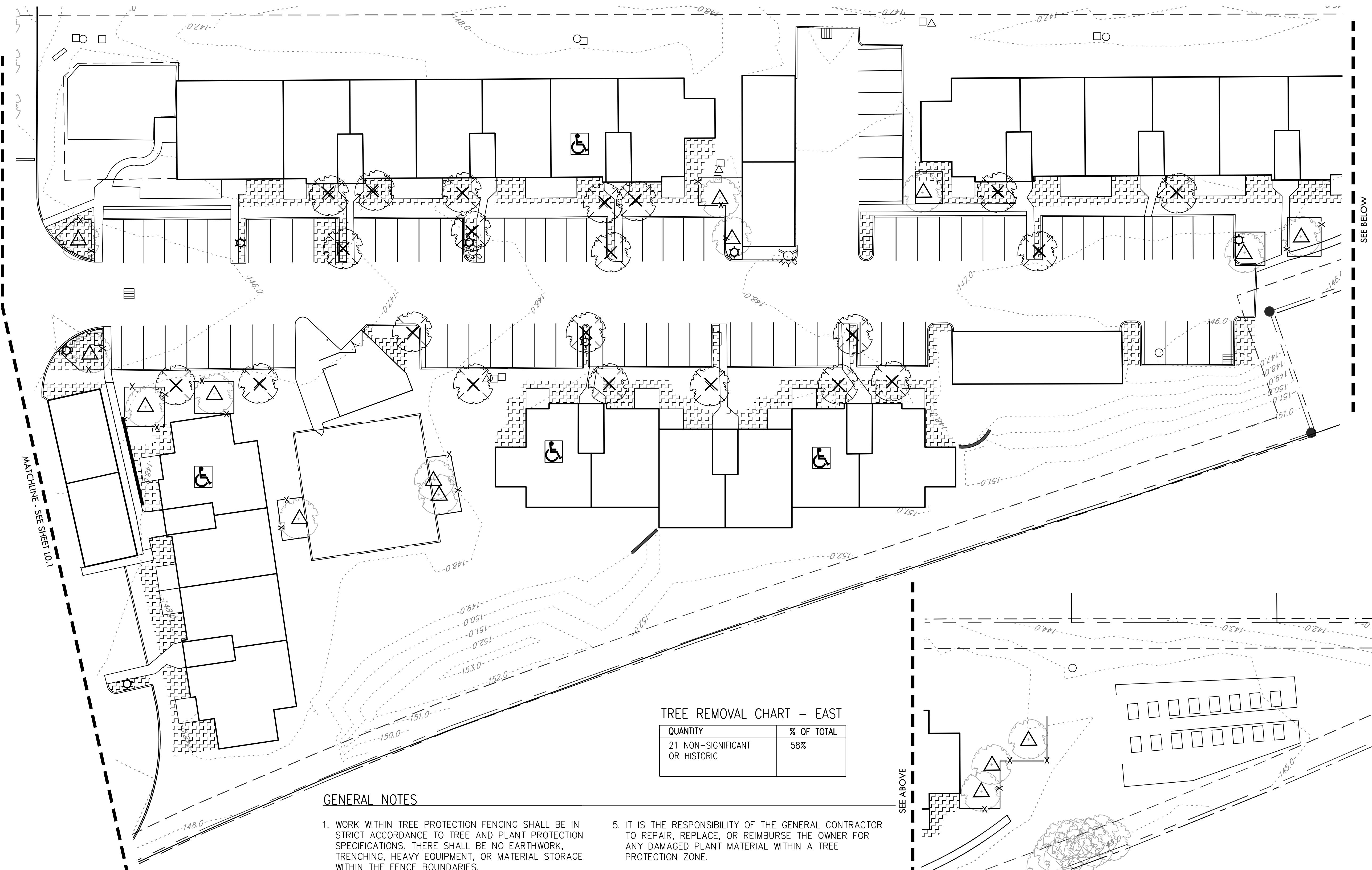
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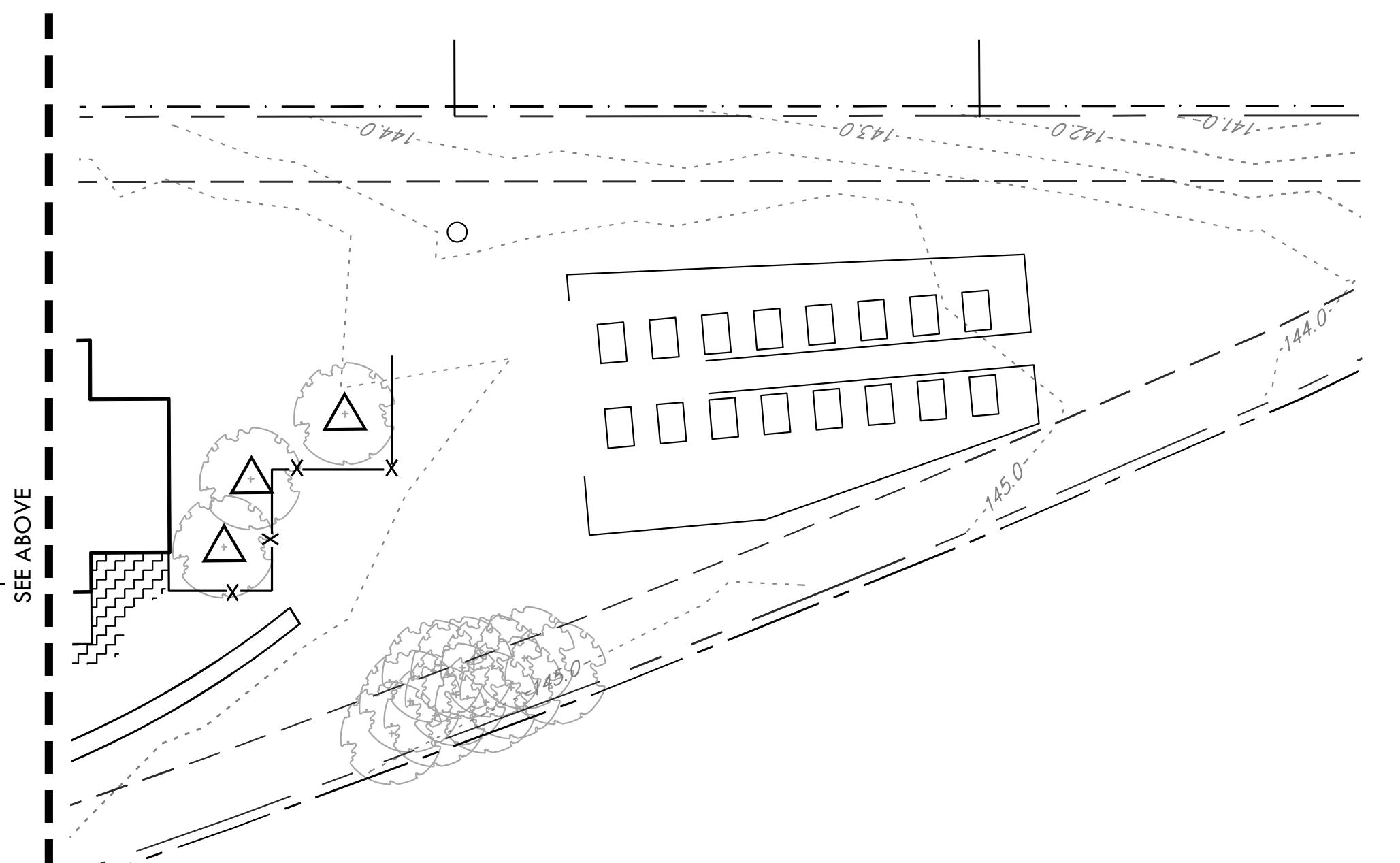


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LEGEND

- EXISTING TREE TO REMAIN, PRESERVE AND PROTECT
- EX. TREE TO BE REMOVED SEE CIVIL DEMOLITION PLAN
- TREE PROTECTION FENCE
- CLEAR AND GRUB EXISTING PLANT MATERIAL



SEE ABOVE

SEE BELOW

TREE REMOVAL CHART - EAST

QUANTITY	% OF TOTAL	REPLACEMENT VALUE	TOTAL REPLACED
21 NON-SIGNIFICANT OR HISTORIC	54%	1 TREE REPLACEMENT PER EACH TREE REMOVED (1:1)	26 AS REQUIRED TO MEET TREE REPLACEMENT REQ'T AND FOR MULTIPLE FAMILY LANDSCAPING REQ'T

PLANTING REQUIREMENTS - EAST

REQUIREMENT	GENERAL SITE	QUANTITY	REQUIRED	PROVIDED	TOTAL
FOR EVERY TWO THOUSAND (2,000) SQUARE FEET OF GROSS SITE AREA, PLANT AT LEAST ONE (1) TREE OR PRESERVE AT LEAST ONE EXISTING TREE.	155,333 SF	78 TREES	16 EXISTING	42 TREES	
			26 PROPOSED		
EXTERIOR BUILDING REQUIREMENTS					
PROVIDE A MINIMUM TWO (2) PLANT UNITS ADJACENT THE PRIMARY ENTRY WAY OF A DWELLING UNIT OR COMBINATION OF DWELLING UNITS.	11 ENTRIES	22 SHRUBS	22 PROPOSED	22 TOTAL	
DISTRIBUTE SHRUBS AT A MINIMUM DENSITY OF ONE (1) PLANT UNIT PER FIFTEEN (15) LINEAR FEET OF EACH EXTERIOR WALL, ASSUMED FRONT FAÇADE ONLY FOR EXISTING RENOVATION.	700 LF	47 SHRUBS	47 PROPOSED	47 TOTAL	
PARKING LOT LANDSCAPING					
PLANT ONE (1) CANOPY TREE EVERY FIFTY (50) FEET ALONG THE PERIMETER OF PARKING AREAS.	857 LF	17 TREES	8 EXISTING	27 TREES	
PLANT ONE (1) CANOPY TREE OR EQUIVALENT PLANTING UNITS WITHIN PLANTER BAYS WITH MINIMUM OF 5-FOOT WIDTH.	18 BAYS	18 TREES	18 PROPOSED	15 TREES	
MINIMUM REQUIRED LANDSCAPING FOR PARKING AREAS LESS THAN 50,000SF.	33,944 SF	5% OF TOTAL	3,845 SF	3,845 SF	
		1,700 SF			

SITE PLANT SCHEDULE

SYMB	KEY	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION	SPACING	DTL/REF
TREES						
ACFR		ACER X FREEMANII 'JEFFSRED'	AUTUMN BLAZE MAPLE	1.5" CAL./B&B	AS SHOWN	1/L4.1
CACA		CARPINUS CAROLINIANA 'PALISADE CCSQU'	PALISADE AMERICAN HORNBEEAM	1.5" CAL./B&B	AS SHOWN	1/L4.1
CEJA		CERCIDiphyllum JAPONICUM	KATSURA TREE	1.5" CAL./B&B	AS SHOWN	1/L4.1
COAL		CORNUS ALTERNIFOLIA	PAGODA DOGWOOD	1.5" CAL./B&B	AS SHOWN	1/L4.1
GLTR		GLEDTISIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	1.5" CAL./B&B	AS SHOWN	1/L4.1
FRAM		FRAXINUS AMERICANA 'AUTUMN APPLAUSE'	AUTUMN APPLAUSE ASH	1.5" CAL./B&B	AS SHOWN	1/L4.1
SHRUBS AND GROUND COVERS						
AB		ABELIA GRANDIFLORA	GLOSSY ABELIA	2 GAL. CONT.	AS SHOWN	2/L4.1
LP		LONICERA PILEATA	PRIVET HONEYSUCKLE	1 GAL. CONT.	AS SHOWN	2/L4.1
MG		LAVANDULA ANGUSTIFOLIA 'HIDCOTE'	HIDCOTE LAVENDER	1 GAL. CONT.	AS SHOWN	2/L4.1
MA		MAHONIA NERVOSA	MAHONIA	1 GAL. CONT.	AS SHOWN	2/L4.1
ND		NANDINA DOMESTICA 'GULF STREAM'	GULF STREAM HEAVENLY BAMBOO	1 GAL. CONT.	AS SHOWN	2/L4.1
PH		PIERIS JAPONICA 'LITTLE HEATH'	LITTLE HEATH ANDROMEDA	1 GAL. CONT.	AS SHOWN	2/L4.1
PT		PINUS MUGO VAR TYROLEAN	DWARF MUGO PINE	2 GAL. CONT.	AS SHOWN	2/L4.1
PS		POLYSTICHUM MUNITUM	WESTERN SWORD FERN	1 GAL. CONT.	AS SHOWN	2/L4.1
PR		PRUNUS LAUROCERASUS 'MT VERNON'	DWARF ENGLISH LAUREL	1 GAL. CONT.	AS SHOWN	2/L4.1
RD		RHODODENDRON 'GLACIER'	GLACIER EVERGREEN AZALEA	2 GAL. CONT.	AS SHOWN	2/L4.1
VB		VIBURNUM DAVIDII	DAVID'S VIBURNUM	1 GAL. CONT.	AS SHOWN	2/L4.1
VT		VIBURNUM TINUS	KOREAN SPICE VIBURNUM	2 GAL. CONT.	AS SHOWN	2/L4.1
PERENNIALS AND GRASSES						
HD		HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	1 GAL. CONT.	AS SHOWN	2/L4.1

LEGEND

	RESEED TURF LAWN WITHIN LIMITS OF DISTURBANCE (SEE CIVIL DRAWINGS FOR ADDITIONAL LIMITS OF DISTURBANCE)
	WOOD MULCH
	EXISTING TREES

PLANTING NOTES:

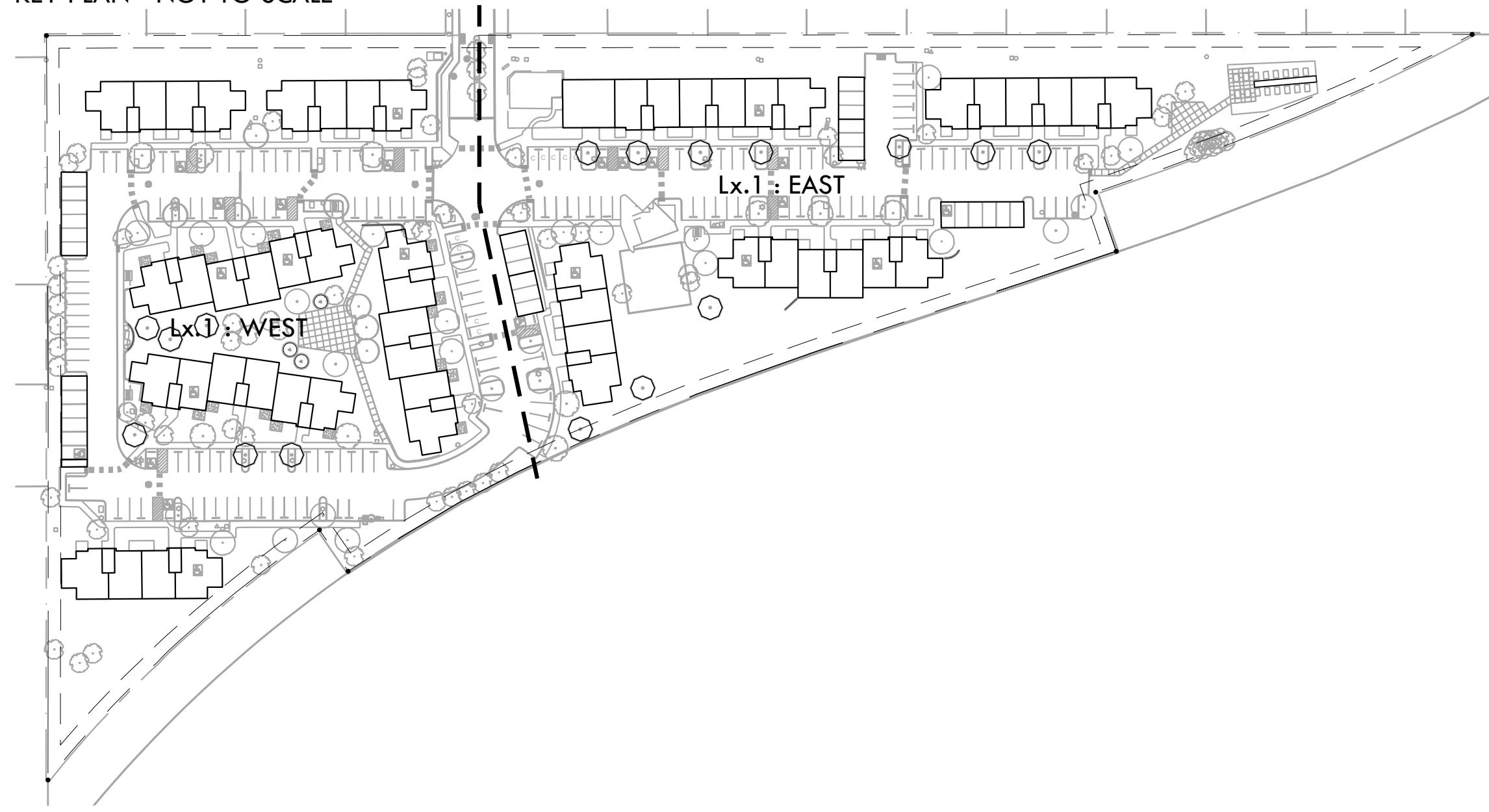
- CONTRACTOR TO VERIFY LOCATION OF EXISTING TREES INDICATED TO REMAIN PRIOR TO SOIL PREPARATION. PROTECT ALL TREES AND SHRUBS INDICATED TO REMAIN. COORDINATE WITH THE OWNER'S REPRESENTATIVE.
- PLANTING AREAS TO BE SUFICIENTLY CLEANED OF ALL CONSTRUCTION MATERIALS, INCLUDING IMPORTED ROCK, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE BEFORE BEGINNING ANY LANDSCAPE WORK.
- IDENTIFY ALL PLANTING AREAS IN FIELD WITH WHITE FIELD-MARKING CHALK OR APPROVED EQUAL. PLANTING BEDS TO BE ADJUSTED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLANT LOCATION.
- FOR PLANTING OCCURRING IN MASSES OF SAME PLANT SPECIES, LABELING REFERS TO ALL ADJACENT IDENTICAL SYMBOLS. REFER TO DETAILS AND LEGEND FOR SPACING INFORMATION.
- THE OWNER'S REPRESENTATIVE WILL APPROVE INDIVIDUAL PLANT MATERIAL AND LOCATION OF PLANT MATERIAL PRIOR TO INSTALLATION. REFER TO SPECIFICATIONS FOR PROCEDURE.
- SHRUBS AND GROUNDCOVER TO BE PLANTED A MINIMUM OF ONE HALF THEIR ON CENTER SPACING AWAY FROM PAVEMENT EDGES; UNLESS OTHERWISE NOTED.
- ALL AREAS DISTURBED BY CONSTRUCTION NOT RECEIVING PLANT MATERIAL OR LAWN AS SHOWN ON THE PLANS TO RECEIVE WOOD MULCH AS STATED IN THE SPECIFICATIONS, COORDINATE WITH OWNERS REPRESENTATIVE.
- ALL PROPOSED PLANTING AREAS AND ADJACENT EXISTING PLANTING AREAS WITHIN THE LIMIT OF WORK TO RECEIVE WOOD MULCH AS STATED IN THE SPECIFICATIONS.
- ALL TREES IN LAWN TO RECEIVE 4-FOOT MIN. DIAMETER BARK MULCH RING. MULCH DEPTH TO BE MAX. 3-INCHES UNLESS NOTED OTHERWISE.

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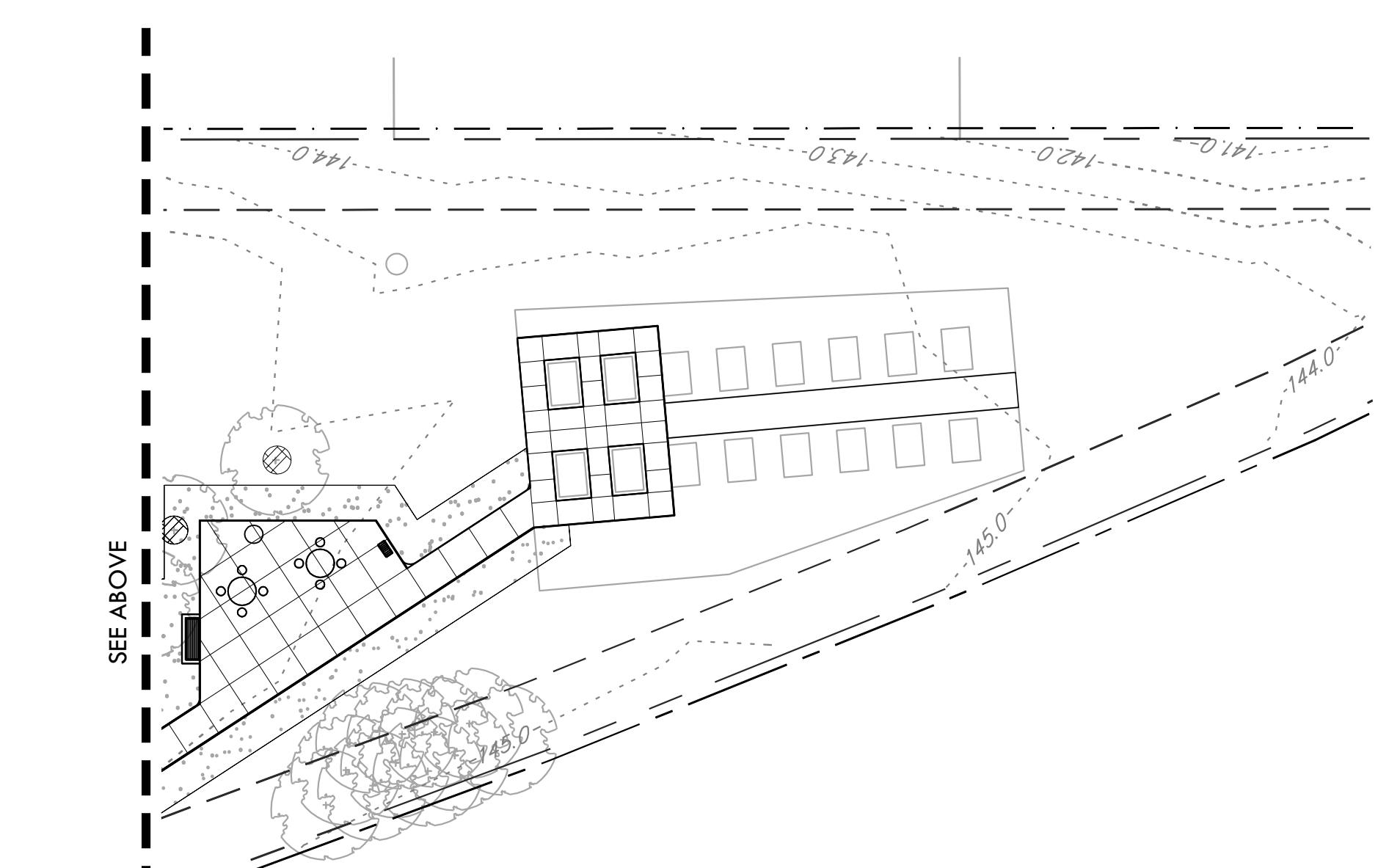
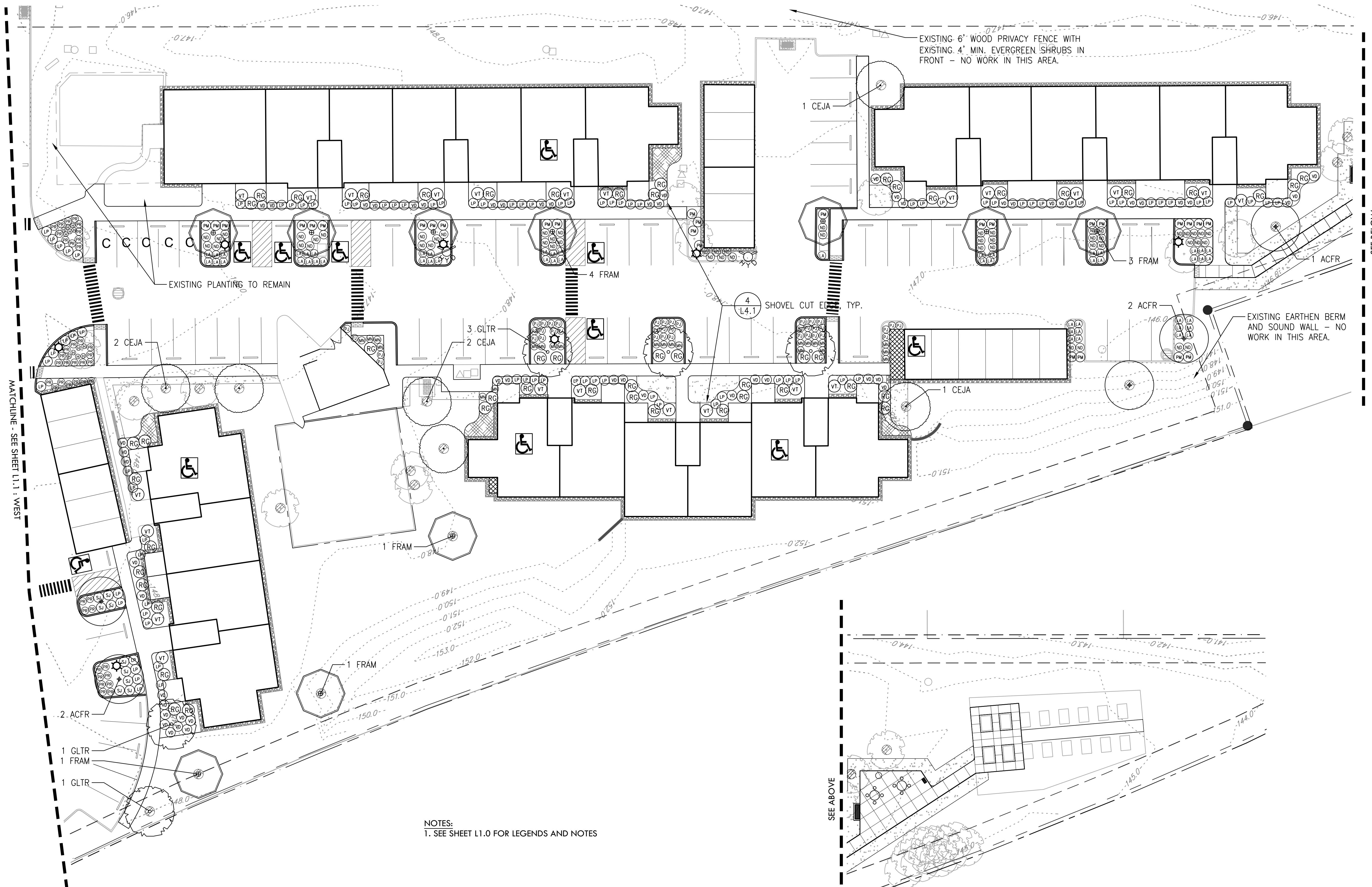
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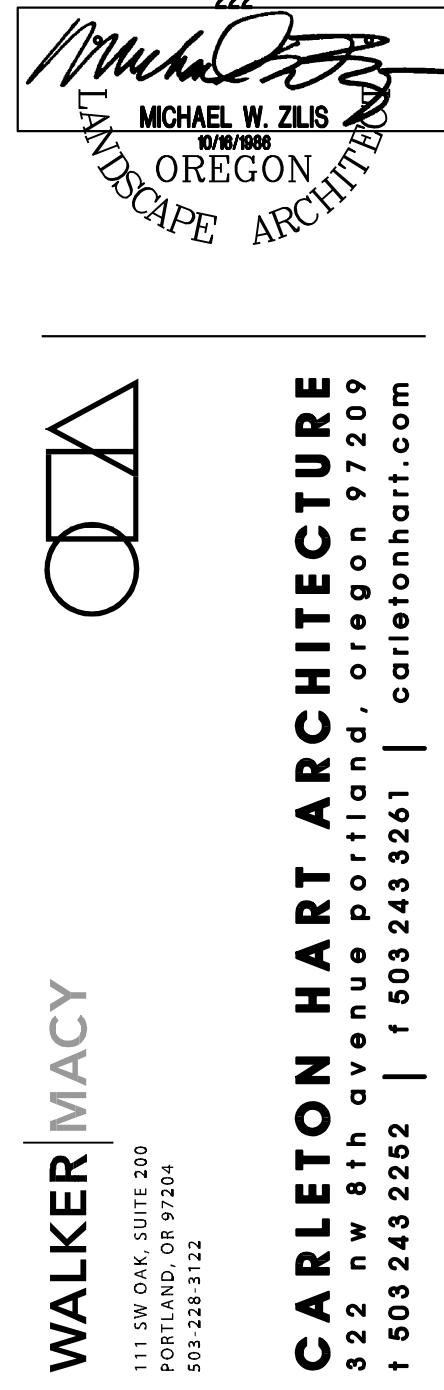
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KEY PLAN - NOT TO SCALE

PLANTING LEGENDS
PROJ NO.
21348
01.10.14

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GENERAL IRRIGATION NOTES

- INSPECT THE SITE AND VERIFY CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY DISCREPANCIES AFFECTING SYSTEM PERFORMANCE PRIOR TO BEGINNING WORK.
- INSTALL IRRIGATION SYSTEM IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
- IRRIGATION HEADS AND PIPES ARE TO BE PLACED WITHIN LANDSCAPED AREAS WITH THEIR LOCATIONS MODIFIED AS REQUIRED TO AVOID PLANT MATERIALS, UTILITIES AND OTHER OBSTRUCTIONS. PLACE LINES IN COMMON TRENCHES WHERE POSSIBLE.
- COORDINATE ALL IRRIGATION WORK WITH OTHER TRADES INVOLVED.
- ALL VALVE BOXES WILL BE PLACED IN A MANNER WHICH FACILITATES ACCESS FOR MAINTENANCE. LOCATE VALVE BOXES IN SHRUB AND GROUNDCOVER AREAS WHEREVER POSSIBLE. SIZE BOXES TO ACCOMMODATE COMPLETE VALVE ASSEMBLY INCLUDING UNIONS.
- ALL COMPONENTS OF IRRIGATION SYSTEM SHALL BE INSTALLED AND ADJUSTED TO PROVIDE 100 PERCENT HEAD-TO-HEAD COVERAGE AND ELIMINATE OVERSPRAY ONTO BUILDINGS, ROADS, AND PATHS. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE WORKING SYSTEM.
- INSTALL ALL IRRIGATION PIPES AND CONTROL WIRES IN SEPARATE PVC SLEEVES BELOW ALL PAVED SURFACES. COORDINATE PLACEMENT OF SLEEVES WITH APPLICABLE TRADES.

LATERAL LINE SIZING CHART

SCHEDULE 40 PVC

3/4"	UP TO 8 GPM	2"	UP TO 50 GPM
1"	UP TO 12 GPM	2-1/2"	UP TO 70 GPM
1-1/2"	UP TO 30 GPM		

NOTE: VELOCITY THROUGH PIPE IS NOT TO EXCEED 4.5 FEET PER SECOND (FPS) IN ACCORDANCE WITH INDUSTRY STANDARD. PRESSURE LOSS DUE TO PIPE FRICTION IN ANY ONE CIRCUIT IS NOT TO EXCEED 10% OF AVAILABLE STATIC PRESSURE.

IRRIGATION EQUIPMENT SCHEDULE - AS NECESSARY

SYMBOL	DESCRIPTION	MANUF.	TYPE / MODEL	DTL/SHEET
●	REMOTE CONTROL VALVE	HUNTER	ICV-XXXG	8/L3.1
▲	QUICK COUPLING VALVE	HUNTER	HQ-44RC	6/L3.1
■	ISOLATION VALVE	APOLLO	70-100-10	5/L3.1
•—•	LOW VOLUME TEMP.	HUNTER	SOLO DRIP OR EQUAL	9/L3.1
SHRUB: 2'-17'	SPRAYHEADS	HUNTER	PROS-06-"CV" AS REQ'D. WITH PRO ADJUSTABLE & FIXED NOZZLES	2/L3.1
LAWN: 13'-30'	ROTATORHEADS	HUNTER	PRS40-"CV" AS REQ'D. WITH MP2000 & MP3000 NOZZLES ON 6" POP-UP	1/L3.1
LAWN: 17'-46'	ROTARHEADS	HUNTER	I-20-06	1/L3.1
— — —	MAINLINE - SIZE TO MATCH EX.	—	SCH 40 PVC	4/L3.1
— — —	LATERAL LINE, SIZE PER FLOW	—	SCH 40 PVC	4/L3.1
— — —	SLEEVE, MIN. SIZE 2X PIPE DIA.	—	CLASS 200 PVC	3/L3.1

USE DRAIN
CHECK VALVE IN
SPRAY & ROTOR
HEAD BODIES
TO PREVENT
LOW HEAD
DRAINAGE

EXISTING IRRIGATION EQUIPMENT

SYMBOL	DESCRIPTION	MANUF.	TYPE
C-1	EXISTING CONTROLLER "1"	VERIFY IN FIELD	PROTECT & REUSE
C-2	EXISTING CONTROLLER "2"	VERIFY IN FIELD	PROTECT & REUSE
	BACKFLOW PREVENTER	VERIFY IN FIELD	PROTECT & REUSE
	METER	VERIFY IN FIELD	PROTECT & REUSE

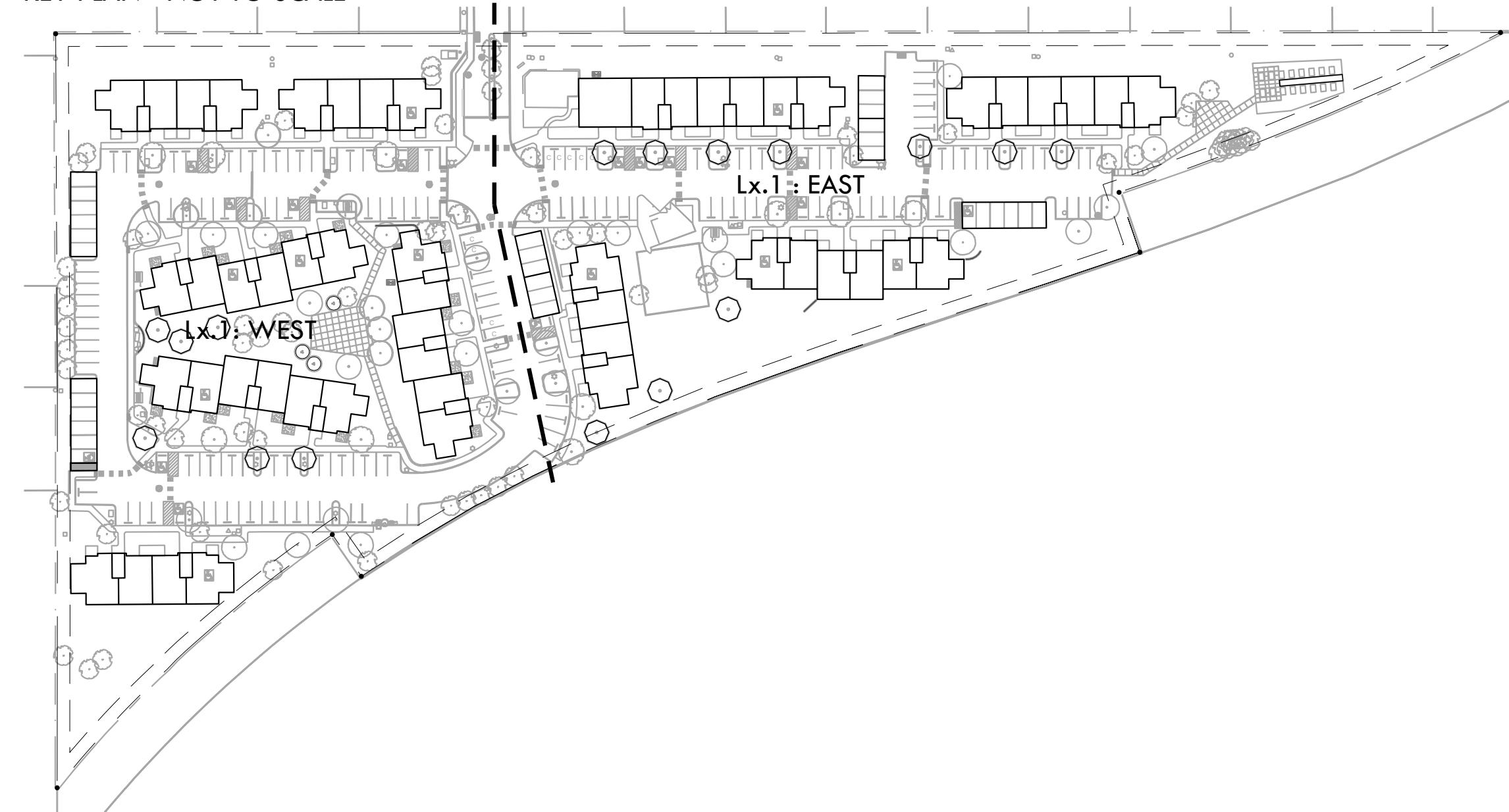
IRRIGATION METHOD KEY

- POP-UP HEADS FOR PLANTING AREAS: 6" MIN. POP-UP HEIGHT
- POP-UP HEADS FOR LAWN AREAS: 6" MIN. POP-UP HEIGHT

DESIGN BUILD IRRIGATION NOTES

- SUBMIT SHOP DRAWINGS (IRRIGATION PLANS) TO ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.
- USE THIS SCHEMATIC IRRIGATION PLAN AND SPECIFICATION SECTION 328510 "PLANTING IRRIGATION - DESIGN-BUILD" AS BASIS OF DESIGN.
- LOCATE ALL EXISTING IRRIGATION POINTS-OF CONNECTION (P.O.C.) AND DETERMINE STATIC WATER PRESSURE AT EACH THE P.O.C. PRIOR TO PREPARING SHOP DRAWINGS.
- TEST ALL EXISTING BACKFLOW PREVENTION DEVICES AT EXISTING P.O.C.'S AND REPAIR OR REPLACE BACKFLOWS NOT PROVIDING PROTECTION FROM CROSS CONTAMINATION
- LOCATE ALL EXISTING IRRIGATION CONTROLLERS AND TEST FOR PROPER FUNCTIONING.
- ESTABLISH MINIMUM OPERATING PRESSURE (PSI) AND MAXIMUM DEMAND (GPM) REQUIRED FOR IRRIGATION SYSTEM DESIGN, AND PROVIDE INFORMATION IN AN IRRIGATION LEGEND.
- PROVIDE IRRIGATION LEGEND ON SHOP DRAWINGS SHOWING PROPOSED EQUIPMENT DESCRIPTION, MANUFACTURER, MODEL NUMBER, SIZE, AND REMARKS AS NECESSARY.
- IRRIGATION VALVES ARE TO BE LABELED WITH STATION NUMBER, VALVE SIZE AND TOTAL GPM ON THE SHOP DRAWING.
- IRRIGATION LATERALS ARE TO BE SIZED ON THE SHOP DRAWING BEGINNING AT THE VALVE AND CONTINUING IN DIRECTION OF FLOW TO THE LAST HEAD. LABEL REDUCTIONS IN PIPE SIZE BEGINNING DOWNSTREAM OF NEAREST FITTING.
- ALL LAWNS AND PLANTING AREAS TO BE AUTOMATICALLY IRRIGATED WITH OVERHEAD IRRIGATION.
- LAWNS AND PLANTING AREAS WITH DIFFERENT SOLAR EXPOSURES SHALL BE VALVED SEPARATELY.
- LAWNS AND PLANTING AREAS WITH DIFFERENT GRADIENTS OF SLOPE SHALL BE VALVED SEPARATELY.
- FINISH LAWN AREAS SHALL BE VALVED SEPARATELY FROM PLANTING AREAS.
- TREE BUBBLERS SHALL BE VALVED SEPARATELY.
- DAYLIGHT MAINLINE MANUAL DRAIN VALVE INTO DRAINAGE SYSTEM.
- LOCATE QUICK COUPLING VALVES AT ENDS OF ALL MAINLINE RUNS TO FACILITATE DRAINING OF MAINLINE.
- USE TRIANGULAR SPACING FOR HEAD LAYOUT WHEREVER POSSIBLE.

KEY PLAN - NOT TO SCALE



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 Michael W. Zilis
 07/08/08
 MICHAEL W. ZILIS
 OREGON
 LANDSCAPE ARCHITECT

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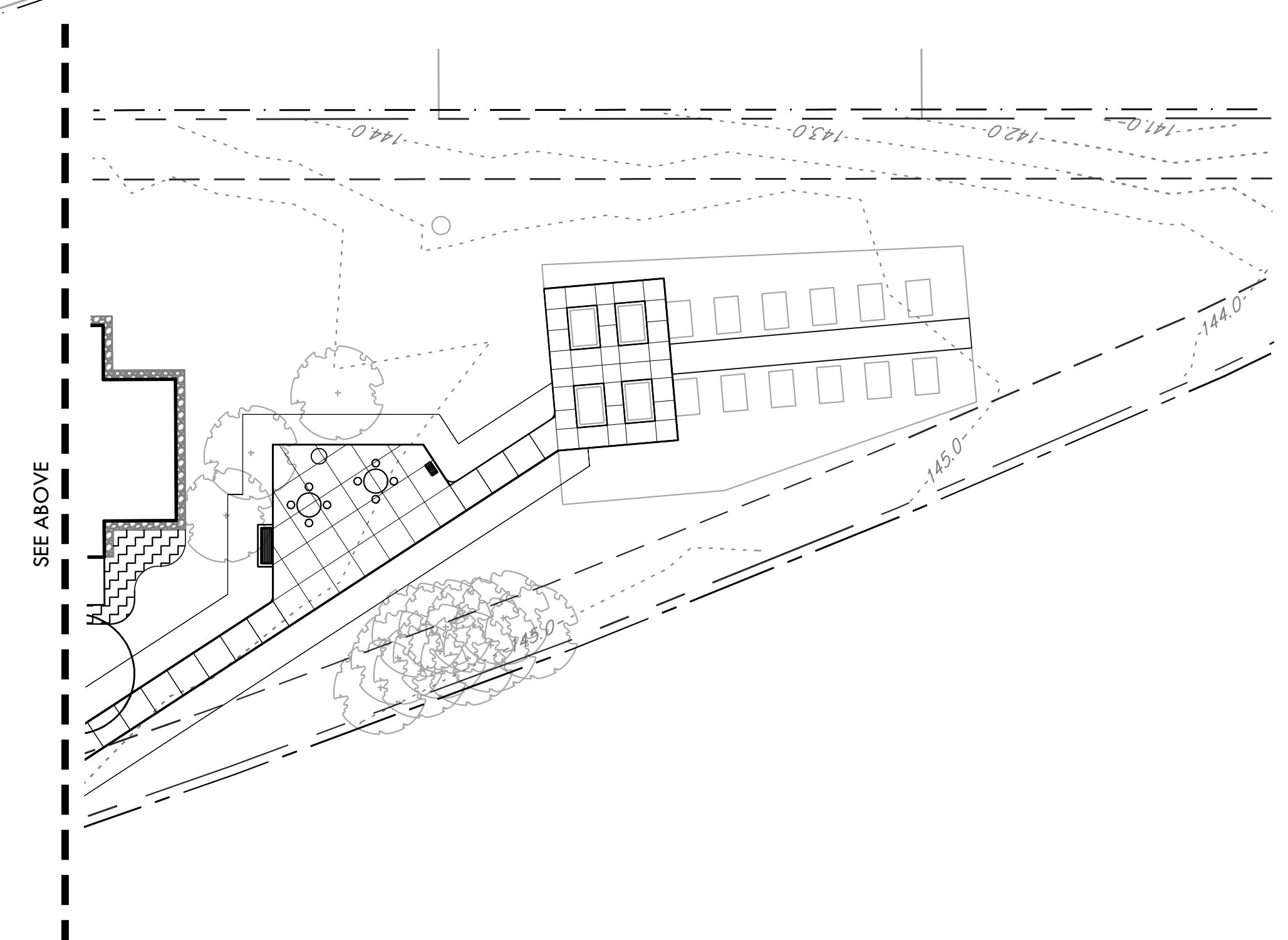
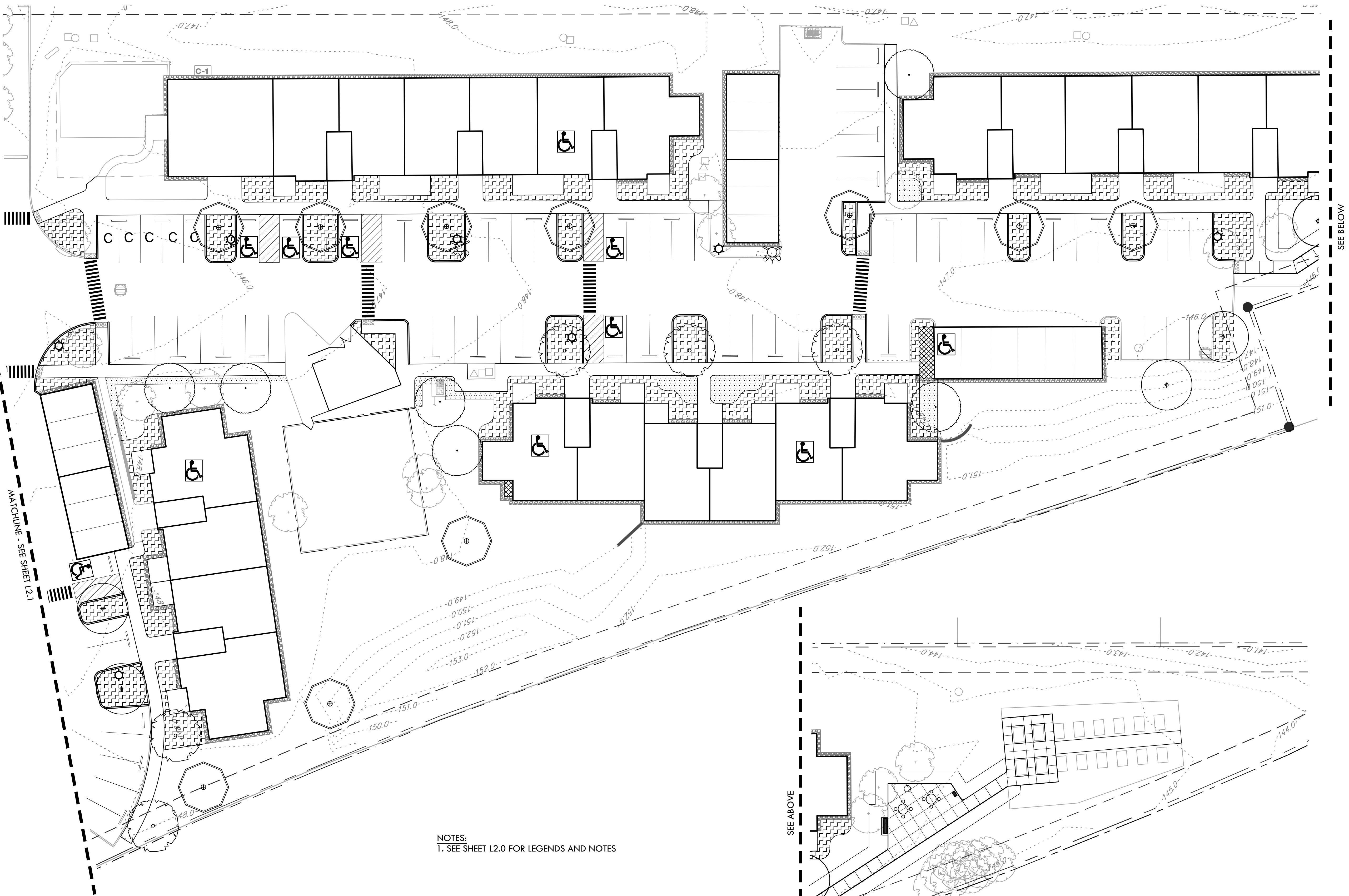
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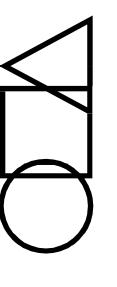
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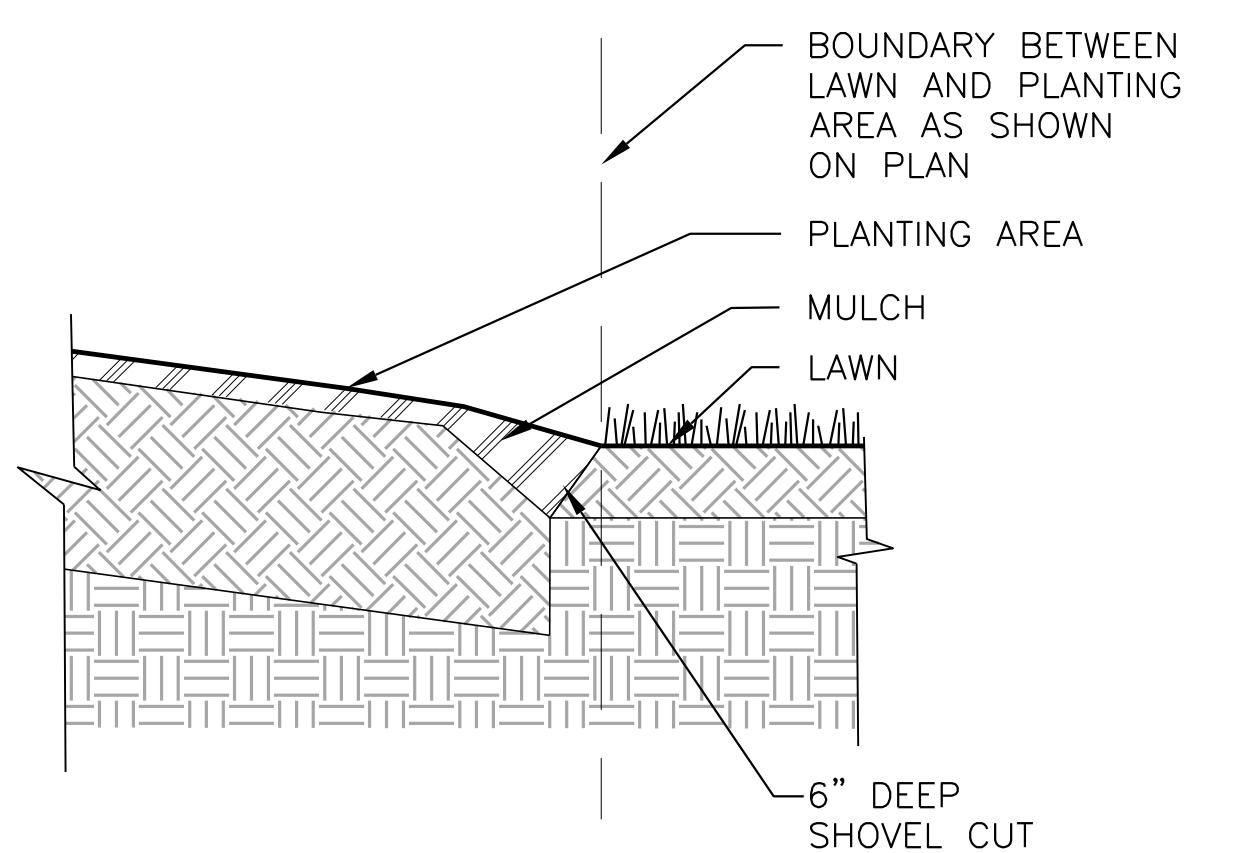
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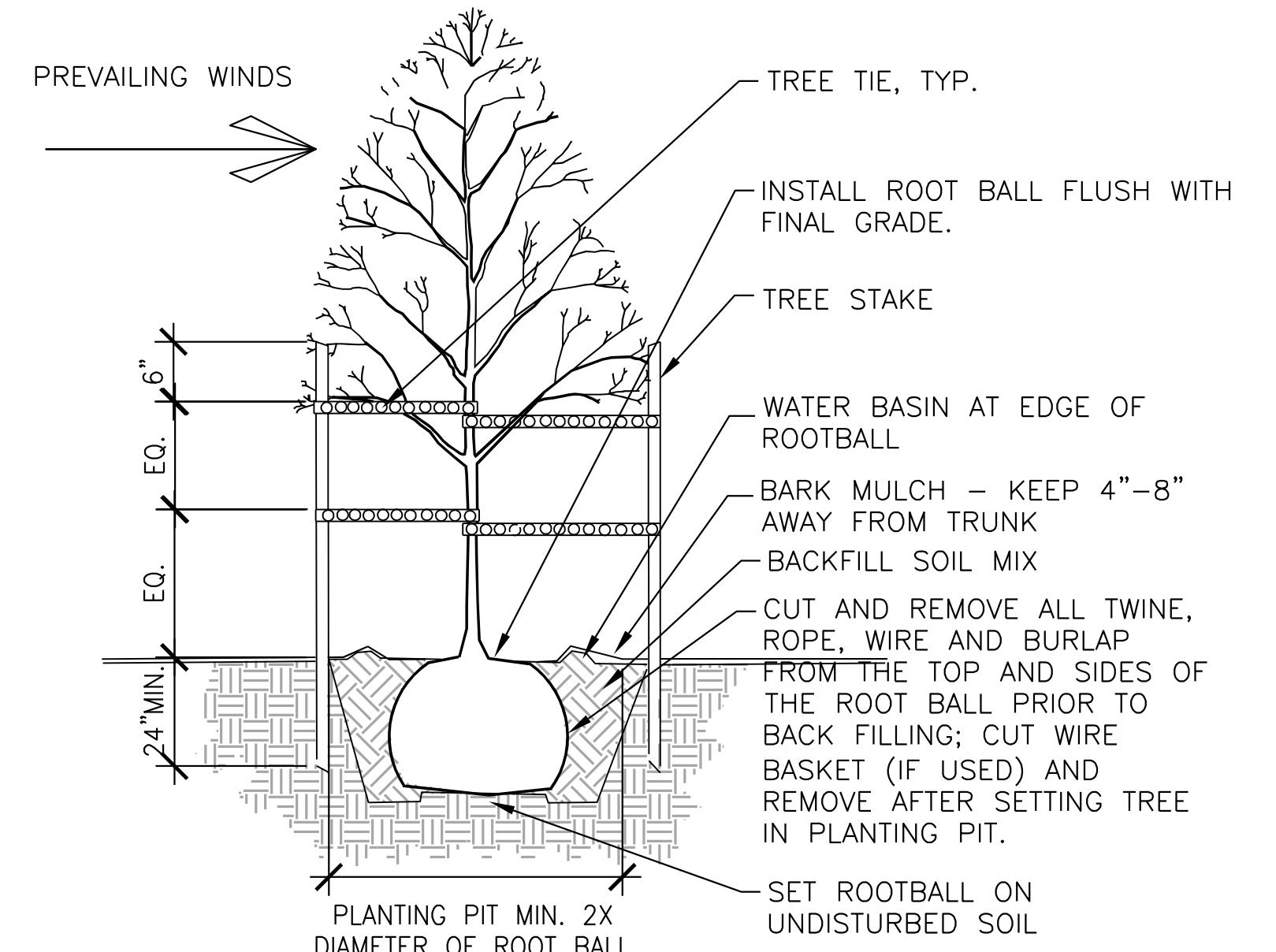


4 SHOVEL CUT PLANTING EDGE
SCALE: NTS SECTION

NOTES:
1. INSTALL ROOT BARRIER PER MANUFACTURER'S RECOMMENDATIONS.
2. SEE PLANTING DETAIL FOR ADDITIONAL INFORMATION

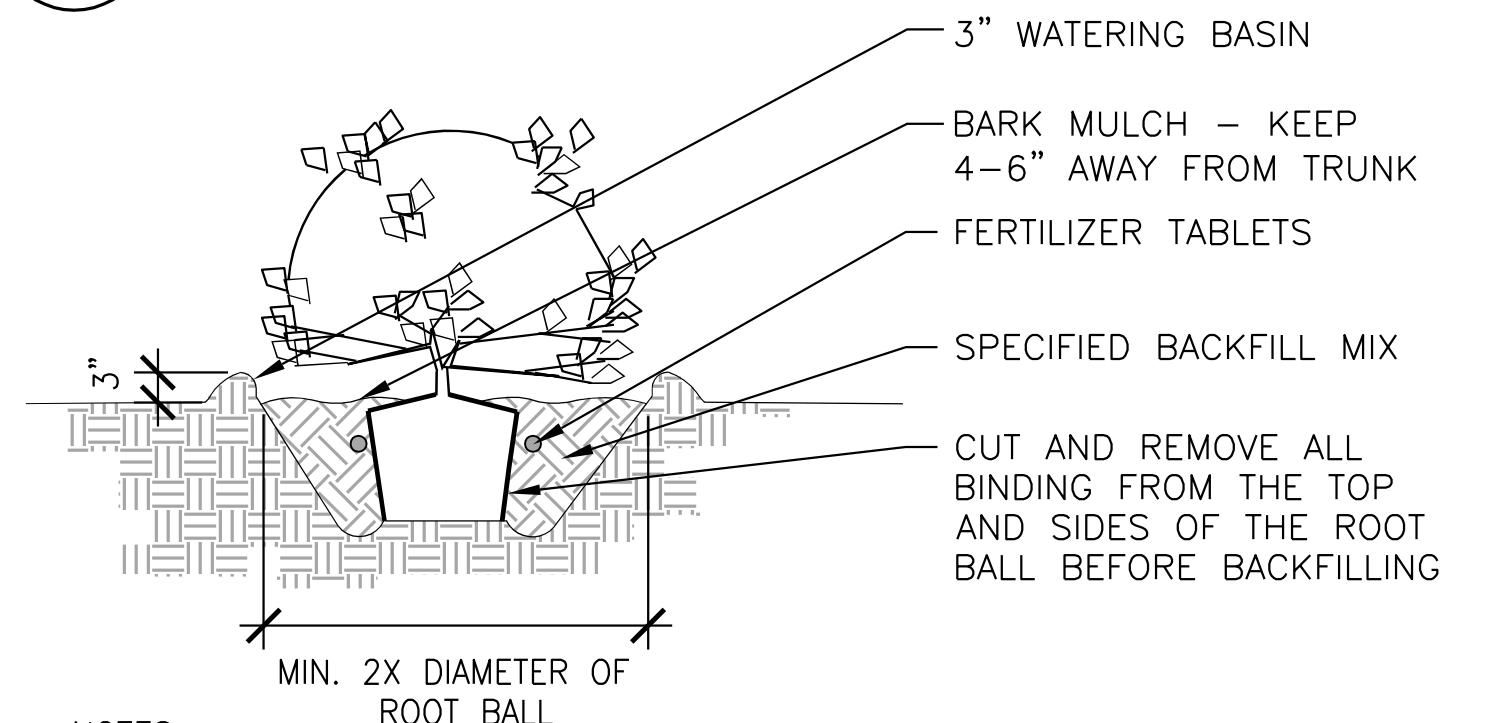
ADJACENT PAVING
EXTENDED ROOT BARRIER 1/2" MIN. ABOVE FINISH GRADE
MULCH
ROOTBALL
CONCRETE CURB - SEE CIVIL
PLANTING BACKFILL MIX
SHORT ROOT BARRIER - SET 1/2" ABOVE FINISH GRADE PER MANUFACTURER'S RECOMMENDATIONS

5 LINEAR ROOT BARRIER
SCALE: NTS SECTION



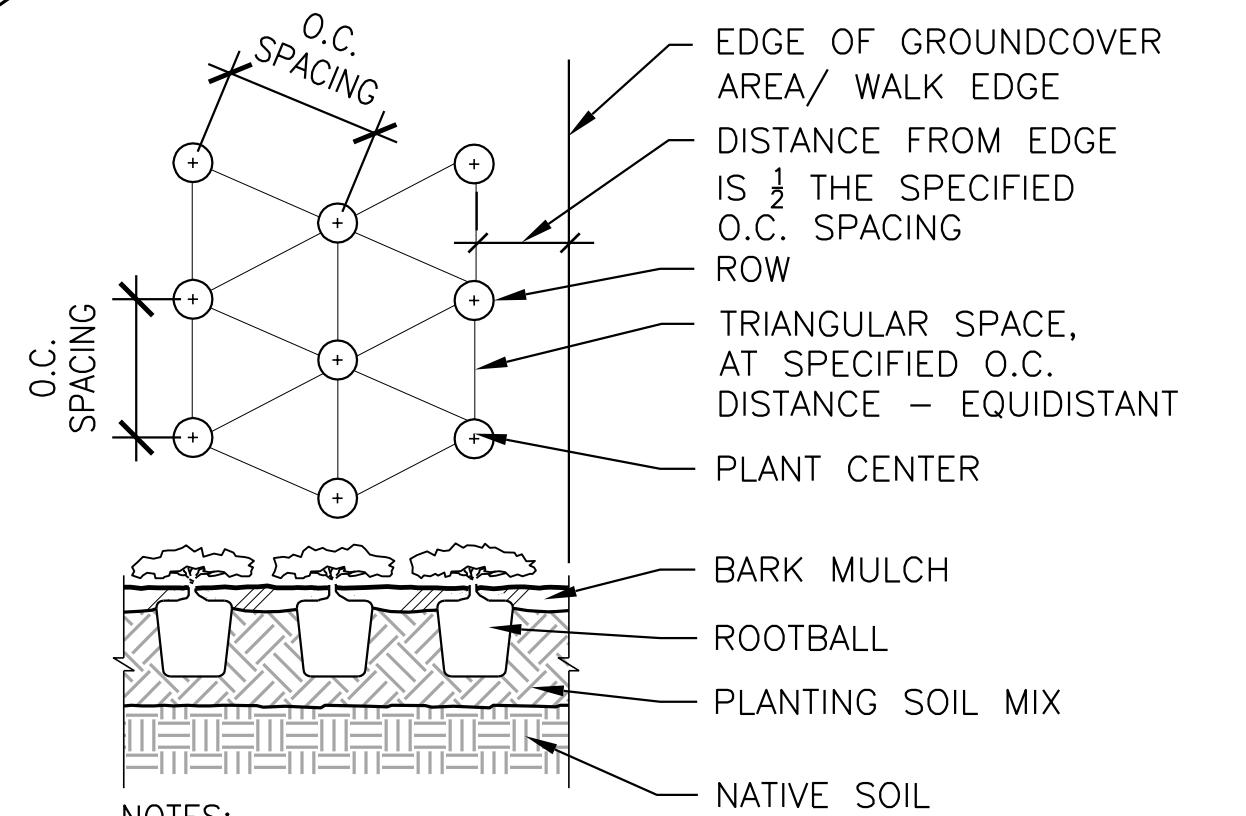
NOTES:
1. 24" MIN. TOPSOIL DEPTH FOR ALL PLANTING AREAS.
2. 36" MIN. TOPSOIL DEPTH FOR ALL PLANTING AREAS ABOVE ROCK OR FILL MATERIALS.

1 DECIDUOUS TREE PLANTING AND STAKING
SCALE: NTS SECTION



NOTES:
1. 24" MIN. TOPSOIL DEPTH FOR ALL PLANTING AREAS.
2. 36" MIN. TOPSOIL DEPTH FOR ALL PLANTING AREAS ABOVE ROCK OR FILL MATERIALS.

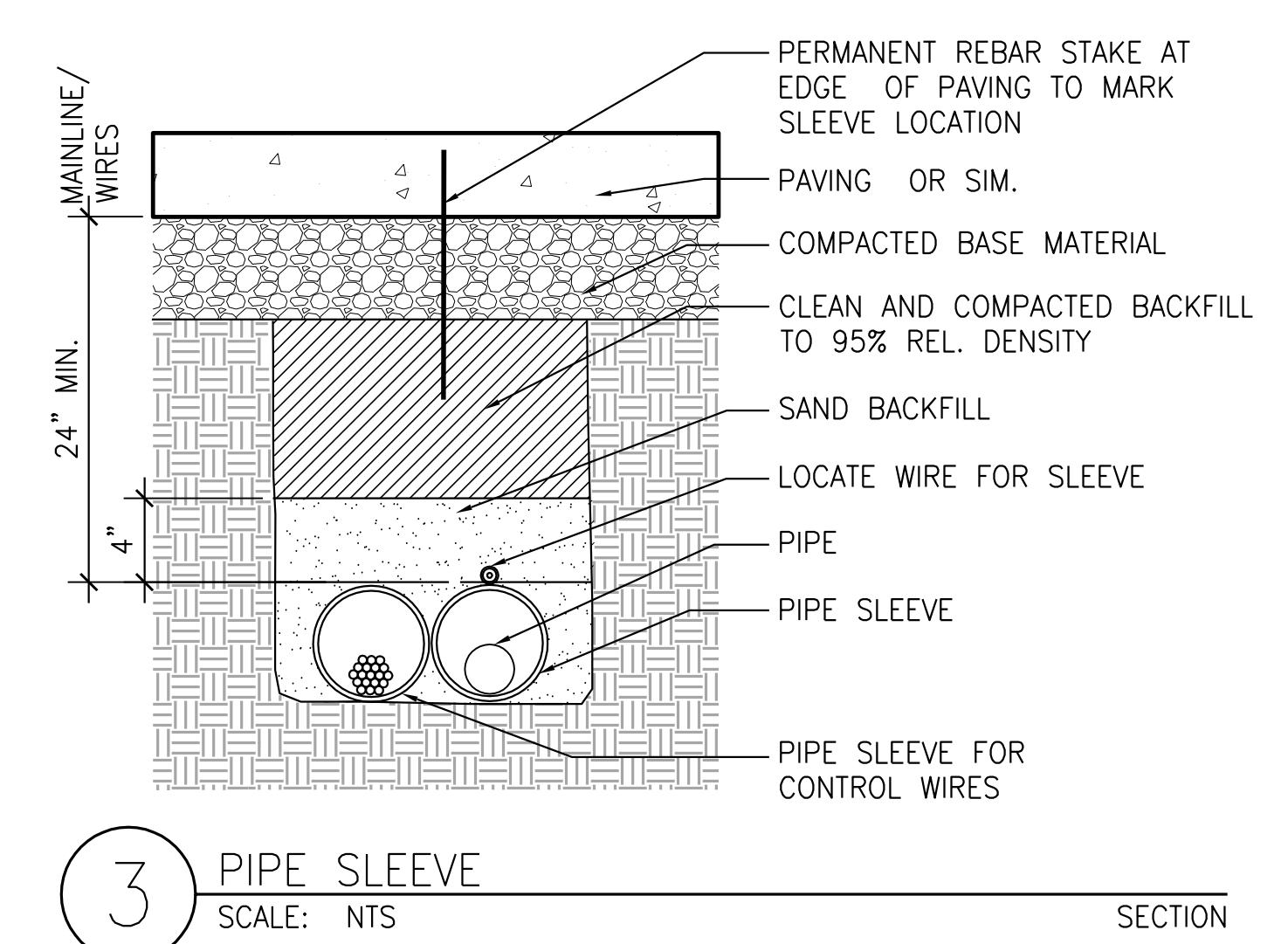
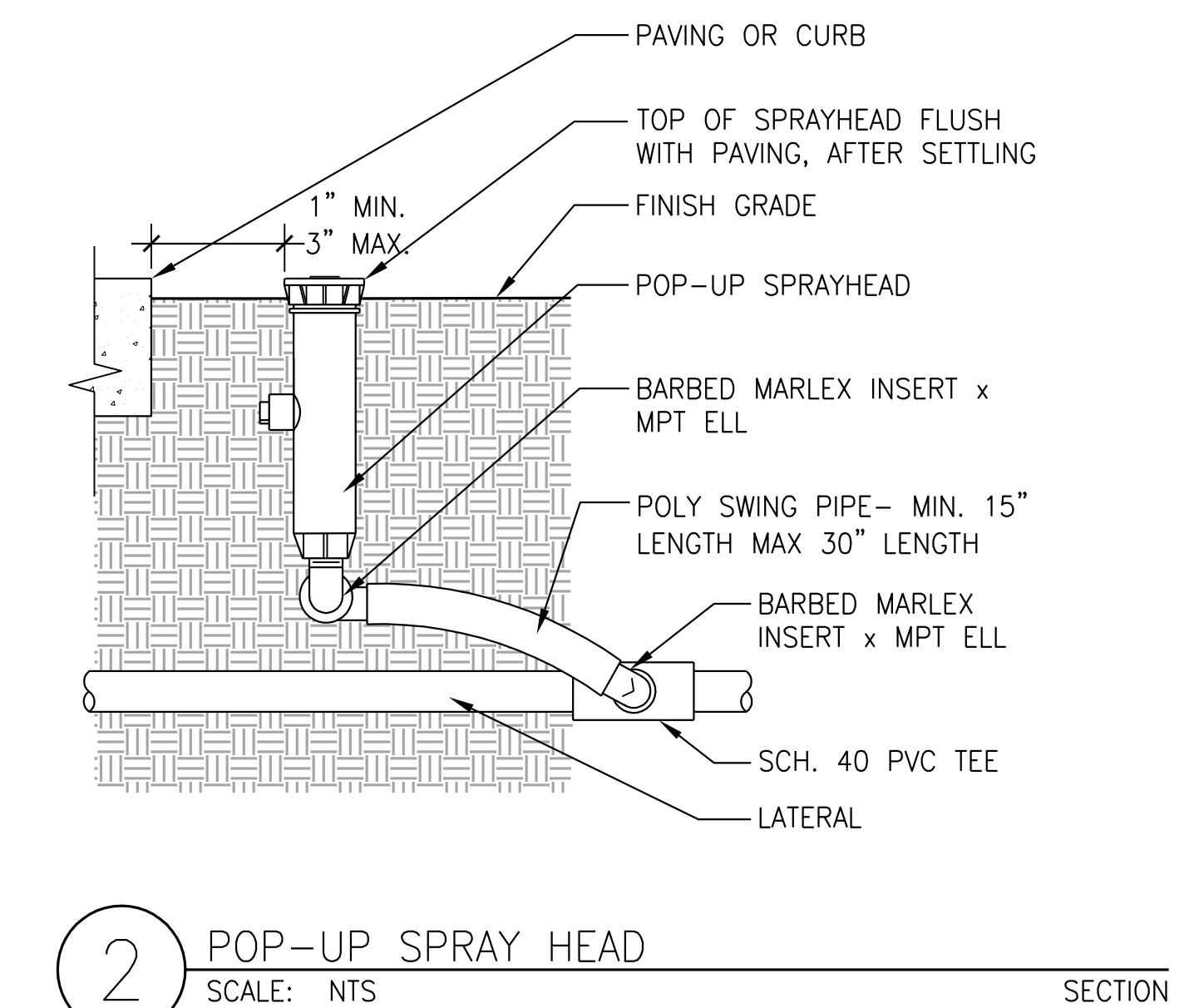
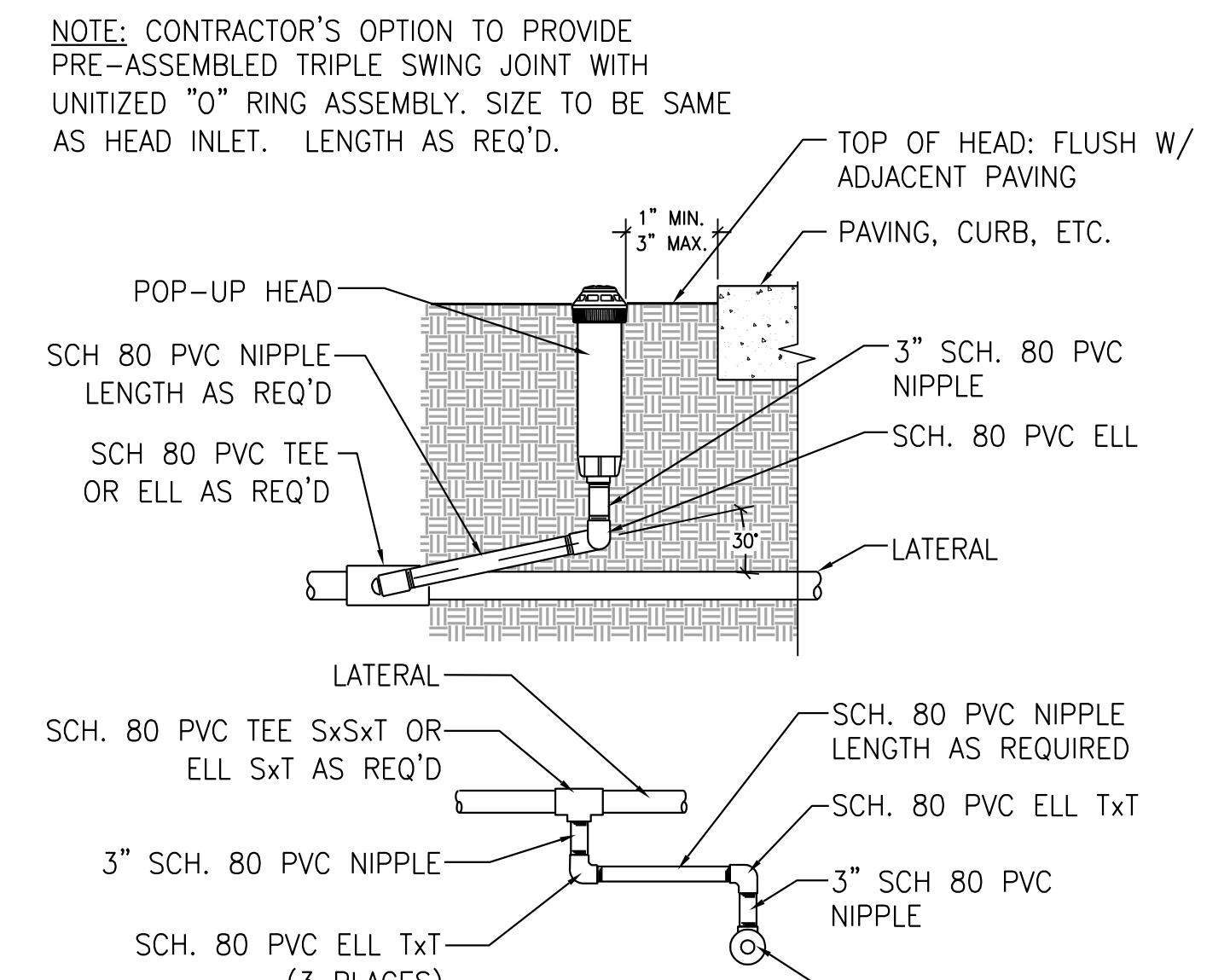
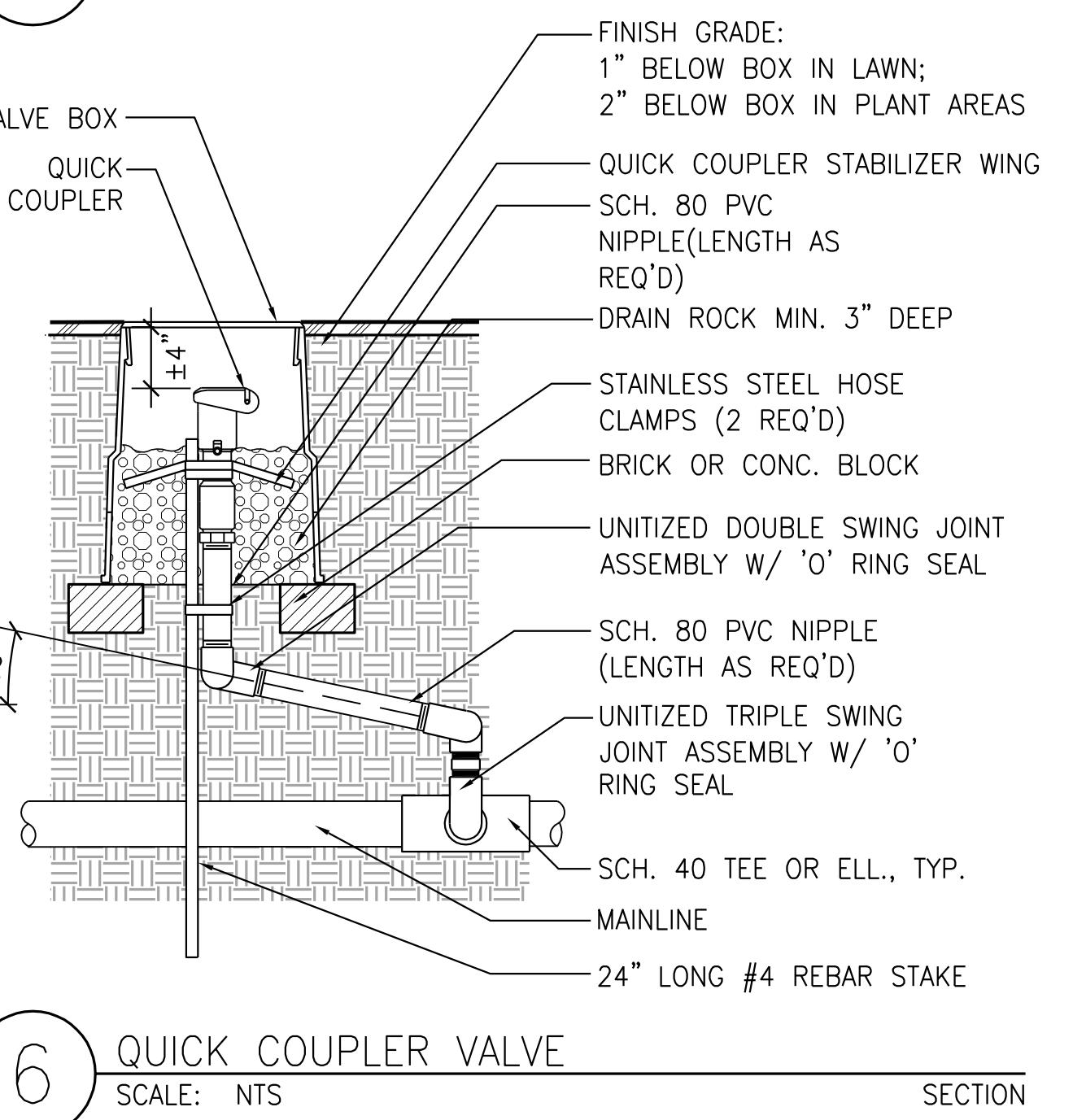
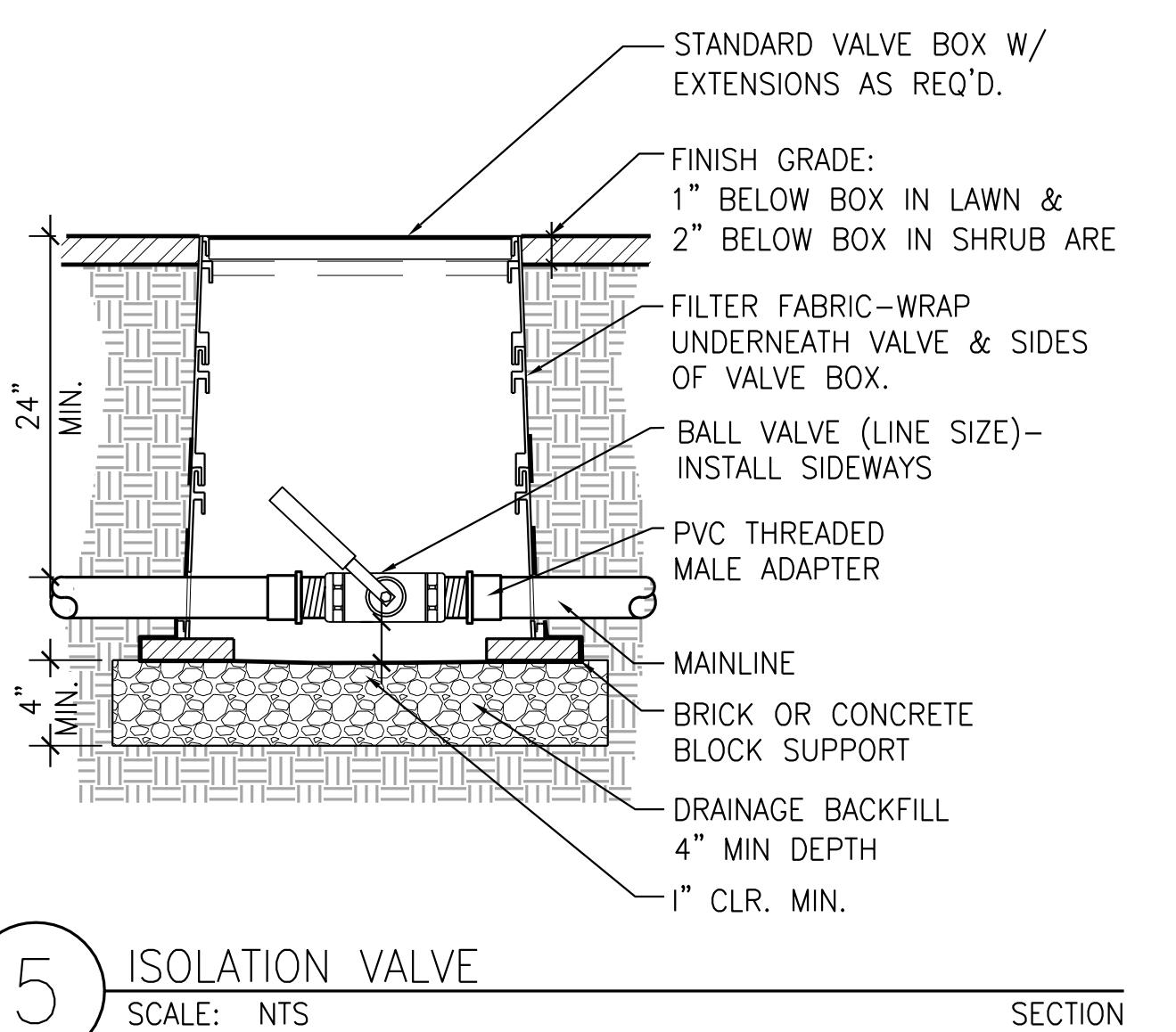
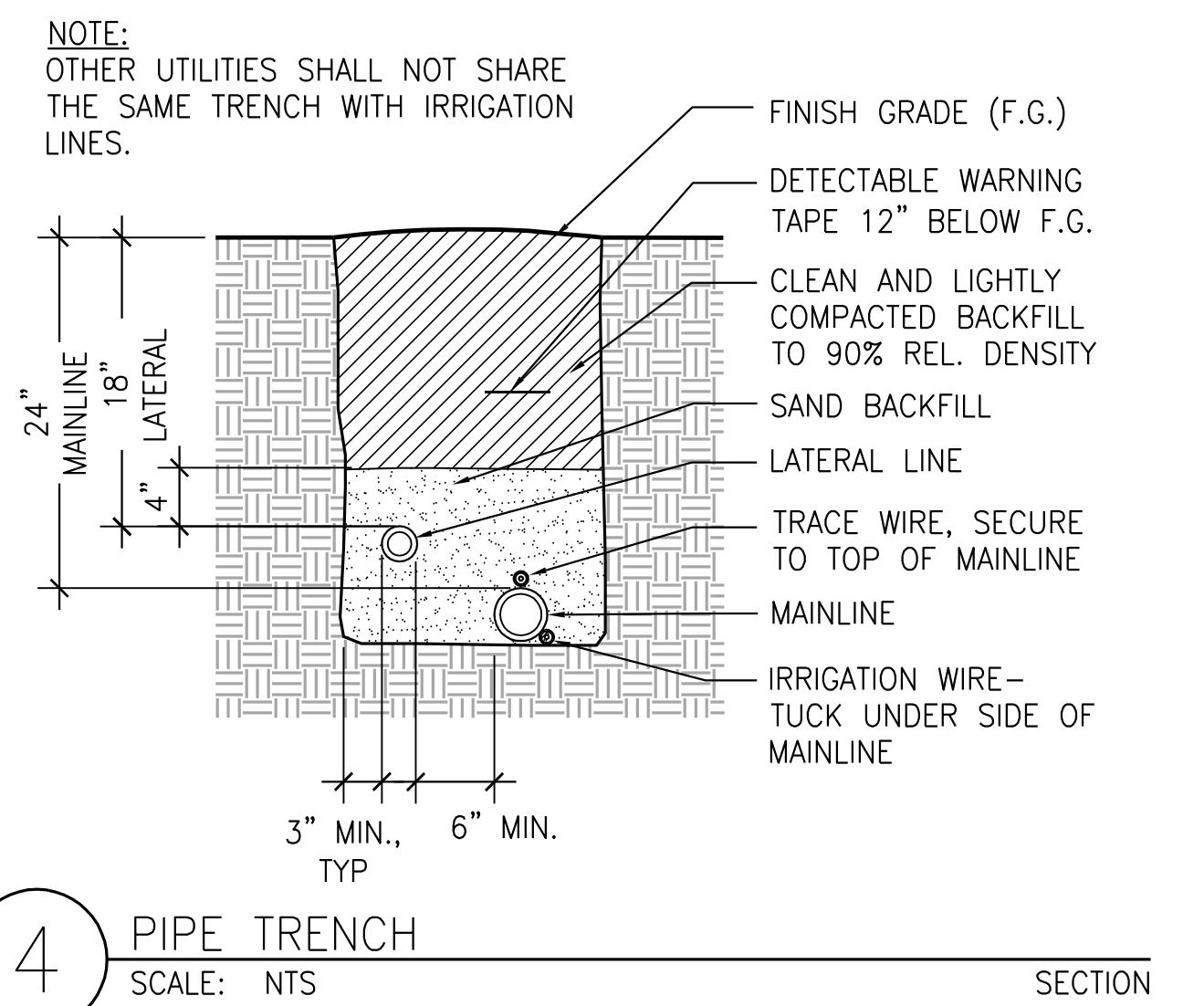
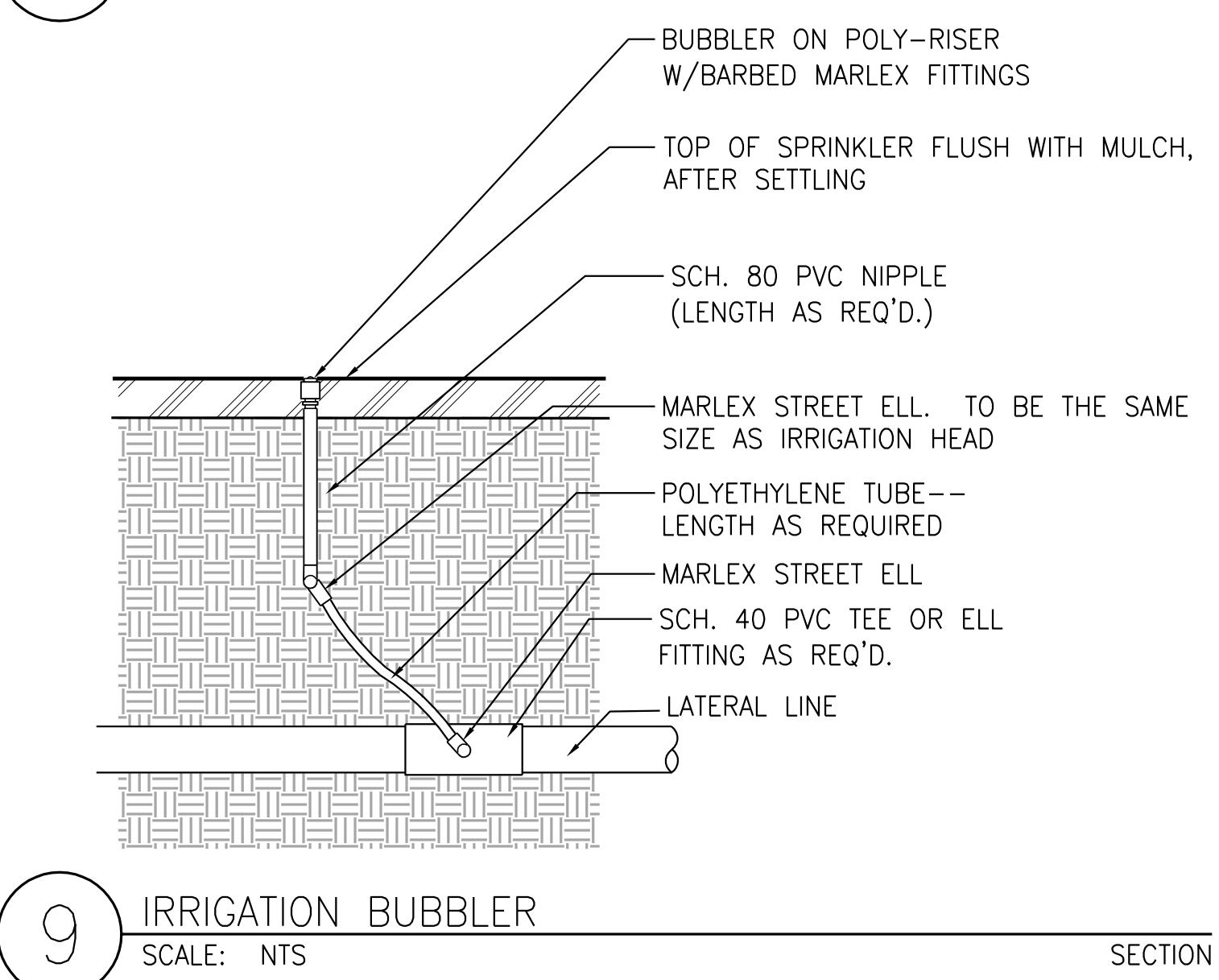
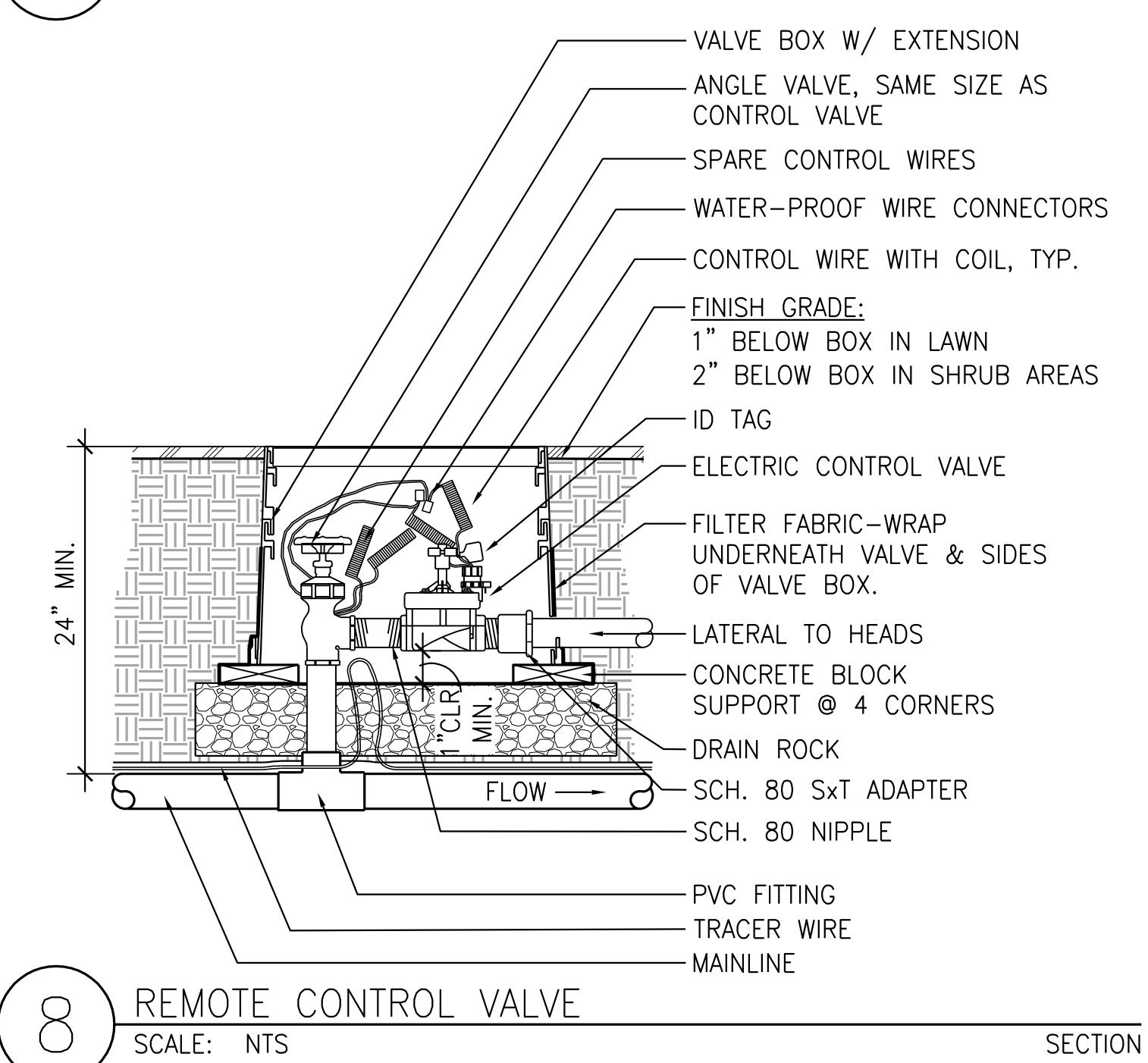
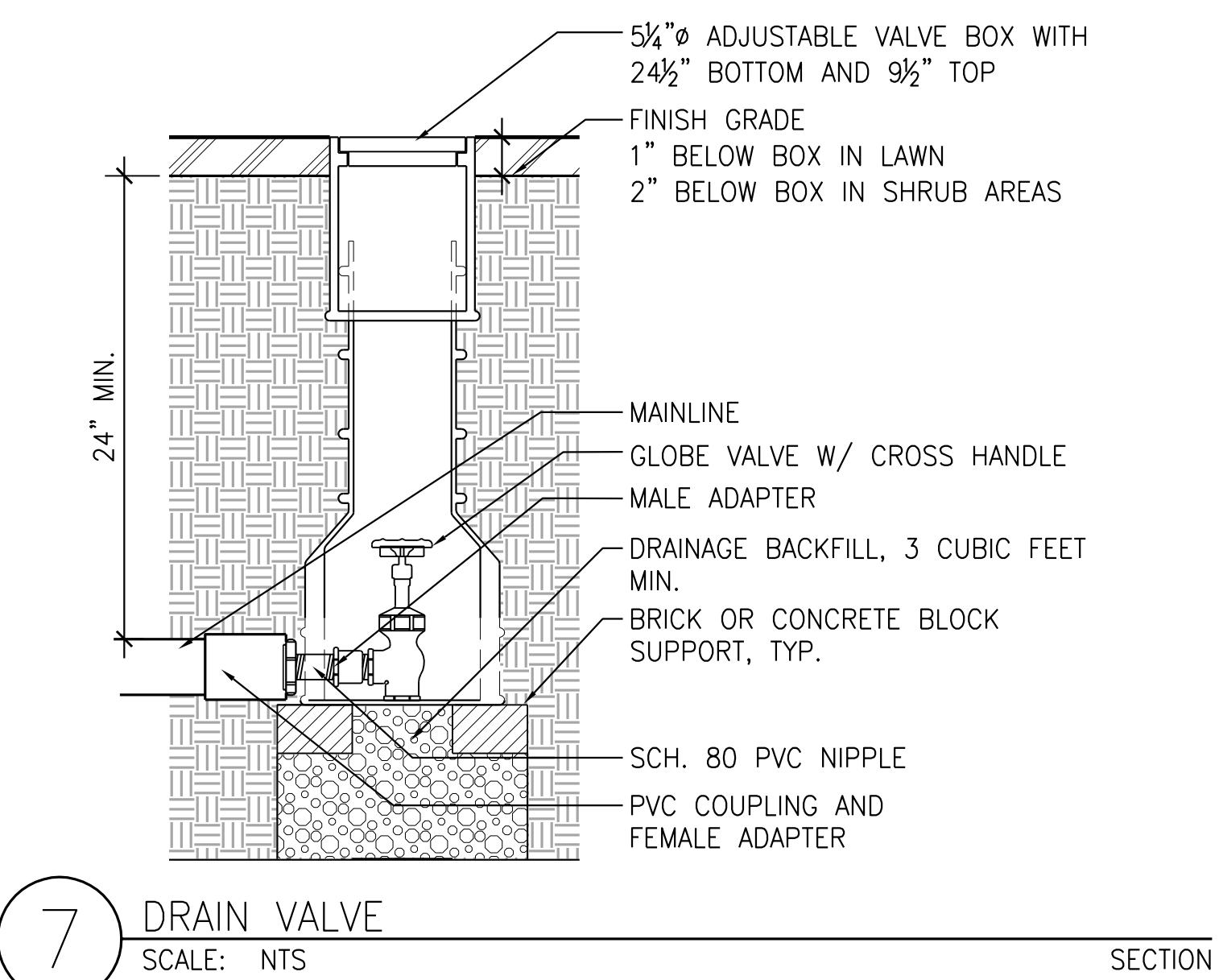
2 SHRUB AND GROUND COVER PLANTING
SCALE: NTS SECTION



NOTES:
1. 24" MIN. TOPSOIL DEPTH FOR ALL PLANTING AREAS.
2. 36" MIN. TOPSOIL DEPTH FOR ALL PLANTING AREAS ABOVE ROCK OR FILL MATERIALS.
3. KEEP COMPOST APPROX. 2" OFF PLANT TRUNK OR STEM.
4. SEE PLANT SCHEDULE FOR EACH PLANT'S APPROPRIATE O.C. SPACING.

3 SHRUB AND GROUND COVER SPACING
SCALE: NTS SECTION

PLANTING DETAILS
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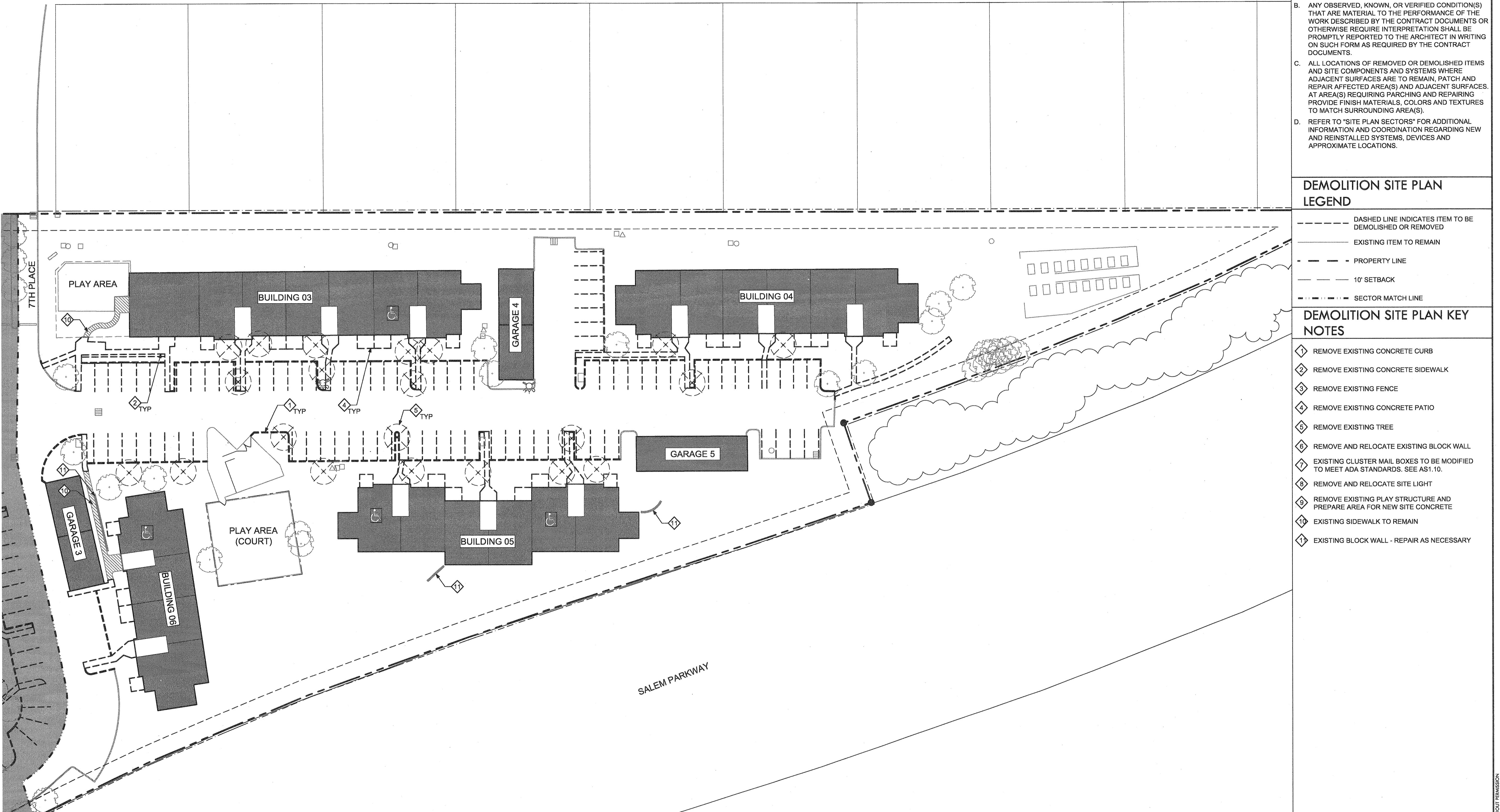
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• REGISTERED ARCHITECT
BRIAN D'CARLETON
PORTLAND, OREGON
2018
STATE OF OREGON

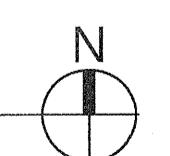
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1 DEMOLITION SITE PLAN - EAST



SCALE: 1" = 30'-0"

GENERAL DEMOLITION SITE PLAN NOTES	
A.	DESCRIPTION OF DEMOLITION WORK IS NOT INTENDED TO BE ALL INCLUSIVE. FIELD VERIFICATION OF AREAS, MATERIALS AND SYSTEMS SCHEDULED FOR DEMOLITION AND NEW WORK IS REQUIRED PRIOR TO COMMENCEMENT OF ANY WORK
B.	ANY OBSERVED, KNOWN, OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON SUCH FORM AS REQUIRED BY THE CONTRACT DOCUMENTS.
C.	ALL LOCATIONS OF REMOVED OR DEMOLISHED ITEMS AND SITE COMPONENTS AND SYSTEMS WHERE ADJACENT SURFACES ARE TO REMAIN, PATCH AND REPAIR AFFECTED AREA(S) AND ADJACENT SURFACES. AT AREA(S) REQUIRING PARCHING AND REPAIRING PROVIDE FINISH MATERIALS, COLORS AND TEXTURES TO MATCH SURROUNDING AREA(S).
D.	REFER TO "SITE PLAN SECTORS" FOR ADDITIONAL INFORMATION AND COORDINATION REGARDING NEW AND REINSTALLED SYSTEMS, DEVICES AND APPROXIMATE LOCATIONS.

DEMOLITION SITE PLAN LEGEND

- - - DASHED LINE INDICATES ITEM TO BE DEMOLISHED OR REMOVED
- - - EXISTING ITEM TO REMAIN
- - - PROPERTY LINE
- - - 10' SETBACK
- - - SECTOR MATCH LINE

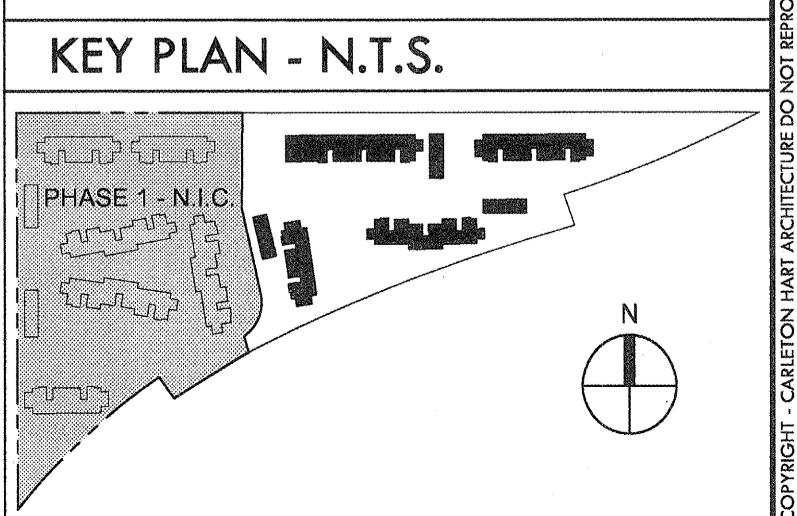
DEMOLITION SITE PLAN KEY NOTES

- ① REMOVE EXISTING CONCRETE CURB
- ② REMOVE EXISTING CONCRETE SIDEWALK
- ③ REMOVE EXISTING FENCE
- ④ REMOVE EXISTING CONCRETE PATIO
- ⑤ REMOVE EXISTING TREE
- ⑥ REMOVE AND RELOCATE EXISTING BLOCK WALL
- ⑦ EXISTING CLUSTER MAIL BOXES TO BE MODIFIED TO MEET ADA STANDARDS. SEE AS1.10.
- ⑧ REMOVE AND RELOCATE SITE LIGHT
- ⑨ REMOVE EXISTING PLAY STRUCTURE AND PREPARE AREA FOR NEW SITE CONCRETE
- ⑩ EXISTING SIDEWALK TO REMAIN
- ⑪ EXISTING BLOCK WALL - REPAIR AS NECESSARY

DEMOLITION SITE PLAN - EAST

PROJ NO.
21348

01.10.14



AS1.02

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REGISTERED ARCHITECT
BRIAN D. CARLETON
PORTLAND, OREGON
2018
STATE OF OREGON

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PARKWAY VILLAGE : EAST
SITE REPAIRS
SALEM HOUSING AUTHORITY

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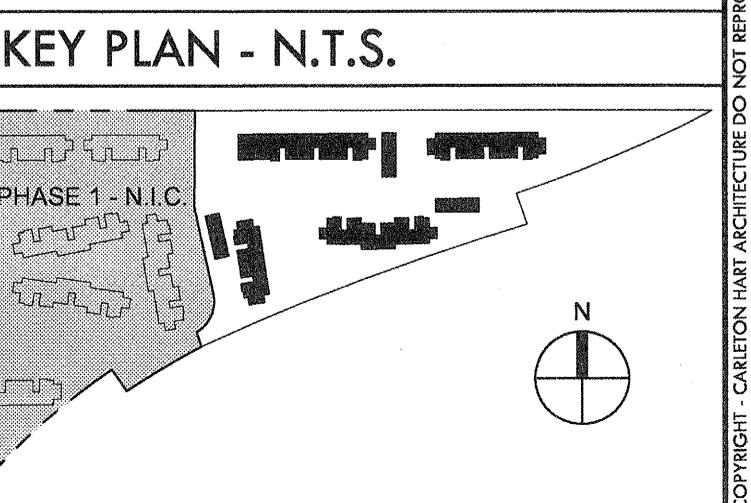
GENERAL SITE PLAN NOTES	
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C.	REFER TO CIVIL FOR ADDITIONAL WORK. COORDINATE WORK SHOWN ON ARCHITECTURAL PLANS WITH CIVIL PLANS.

SITE PLAN LEGEND	
- - -	PROPERTY LINE
- - -	10' SETBACK
- - -	SECTOR MATCH LINE
C	COMPACT PARKING STALL
	ACCESSIBLE DWELLING UNIT
	SIGHT & HEARING ACCESSIBLE DWELLING UNIT
S&H	

SITE PLAN KEY NOTES	
NOTE: NOT ALL KEY NOTES MAY BE USED ON THIS SHEET.	
①	NEW CONCRETE CURB
②	NEW CONCRETE SIDEWALK
③	NEW FENCE
④	NEW CONCRETE PATIO
⑤	NEW WHEEL STOP
⑥	NEW STRIPING AT ACCESSIBLE CROSS-WALK
⑦	ACCESSIBLE STALL - PROVIDE STRIPING AND SIGNAGE AS REQUIRED
⑧	EXISTING CLUSTER MAIL BOXES TO BE MODIFIED TO MEET ADA STANDARDS. SEE AS1.10.
⑨	RELOCATED EXISTING BLOCK WALL
⑩	RELOCATED SITE LIGHT
⑪	EXISTING SIDEWALK TO REMAIN
⑫	EXISTING BLOCK WALL - REPAIR AS NECESSARY
⑬	EXISTING GARBAGE/RECYCLING AREA
⑭	NEW GRAVEL PATH
⑮	NEW FIRE RISER ROOM - SEE ARCHITECTURAL DRAWING SET
⑯	NEW EXTENDED GARAGE FOR ACCESSIBLE PARKING - SEE ARCHITECTURAL DRAWING SET

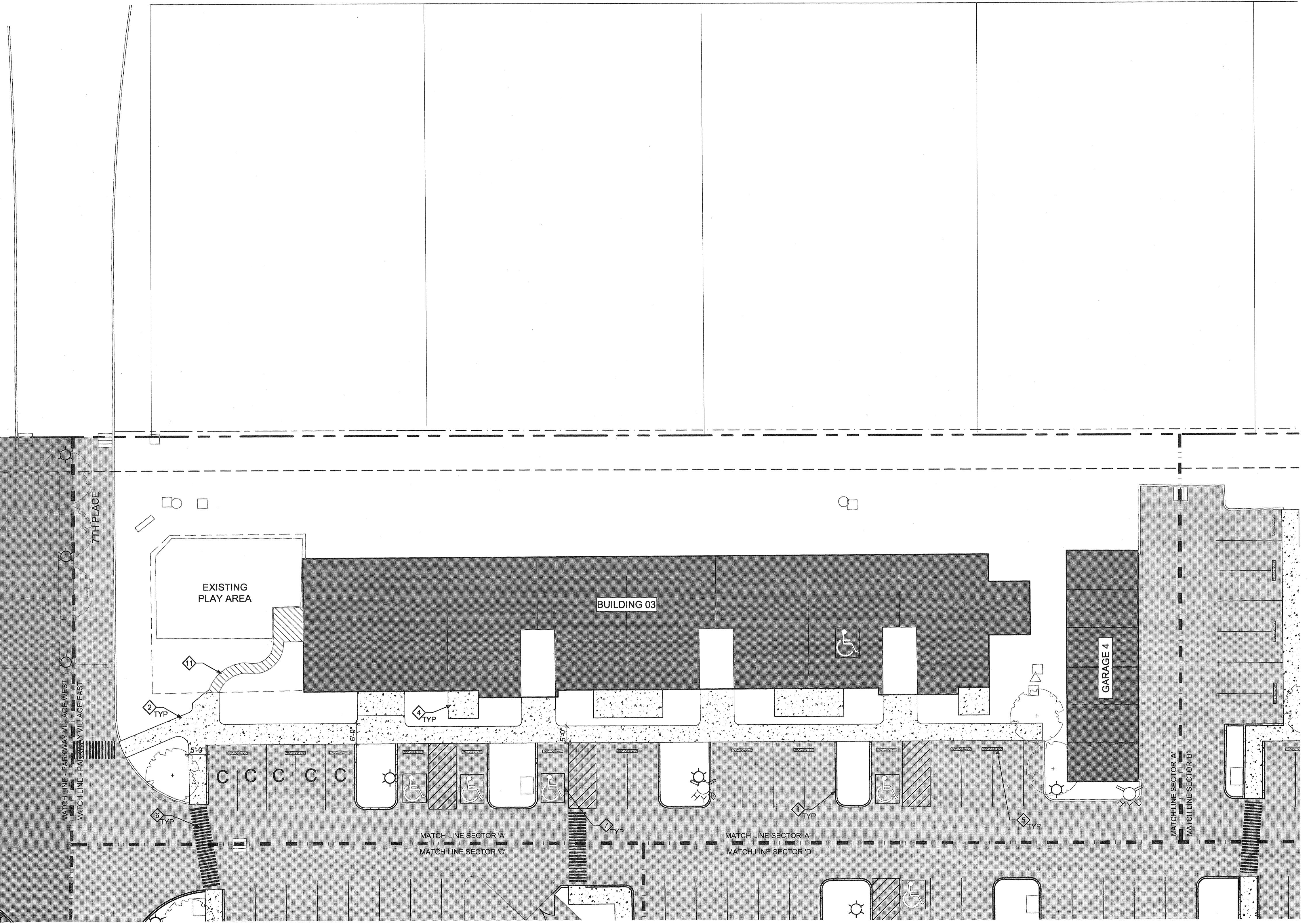
SITE PLAN - EAST

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AS1.03

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1 SITE PLAN - SECTOR 'A'
SCALE: 1/16" = 1'-0"

GENERAL SITE PLAN NOTES	
A.	ANY OBSERVED, KNOWN, OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON SUCH FORM AS REQUIRED BY THE CONTRACT DOCUMENTS.
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SITE PLAN LEGEND	
- - -	PROPERTY LINE
—	10' SETBACK
- - - -	SECTOR MATCH LINE
C	COMPACT PARKING STALL
	ACCESSIBLE DWELLING UNIT
	SIGHT & HEARING ACCESSIBLE DWELLING UNIT

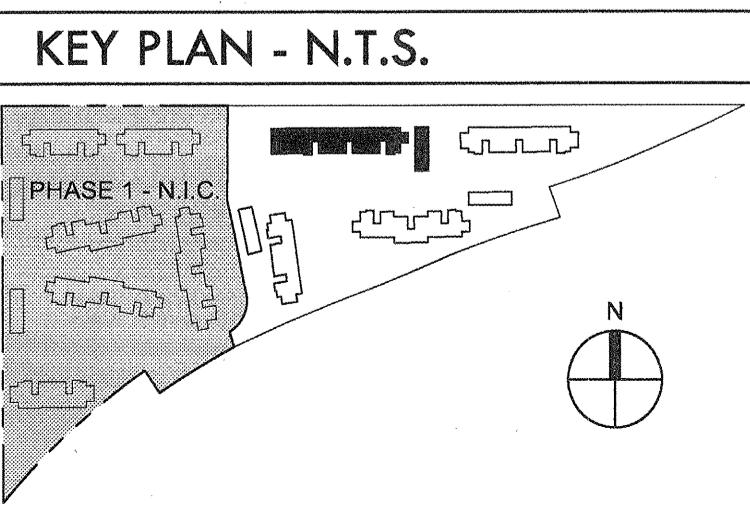
SITE PLAN KEY NOTES	
NOTE: NOT ALL KEY NOTES MAY BE USED ON THIS SHEET.	
①	NEW CONCRETE CURB
②	NEW CONCRETE SIDEWALK
③	NEW FENCE
④	NEW CONCRETE PATIO
⑤	NEW WHEEL STOP
⑥	NEW STRIPING AT ACCESSIBLE CROSS-WALK
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⑩	RELOCATED SITE LIGHT
⑪	EXISTING SIDEWALK TO REMAIN
⑫	EXISTING BLOCK WALL - REPAIR AS NECESSARY
⑬	EXISTING GARBAGE/RECYCLING AREA
⑭	NEW GRAVEL PATH
⑮	NEW FIRE RISER ROOM - SEE ARCHITECTURAL DRAWING SET
⑯	NEW EXTENDED GARAGE FOR ACCESSIBLE PARKING - SEE ARCHITECTURAL DRAWING SET

PARKWAY VILLAGE : EAST
SITE REPAIRS
SALEM HOUSING AUTHORITY
PERMIT REVIEW / BID SET

SITE PLAN - SECTOR 'A'
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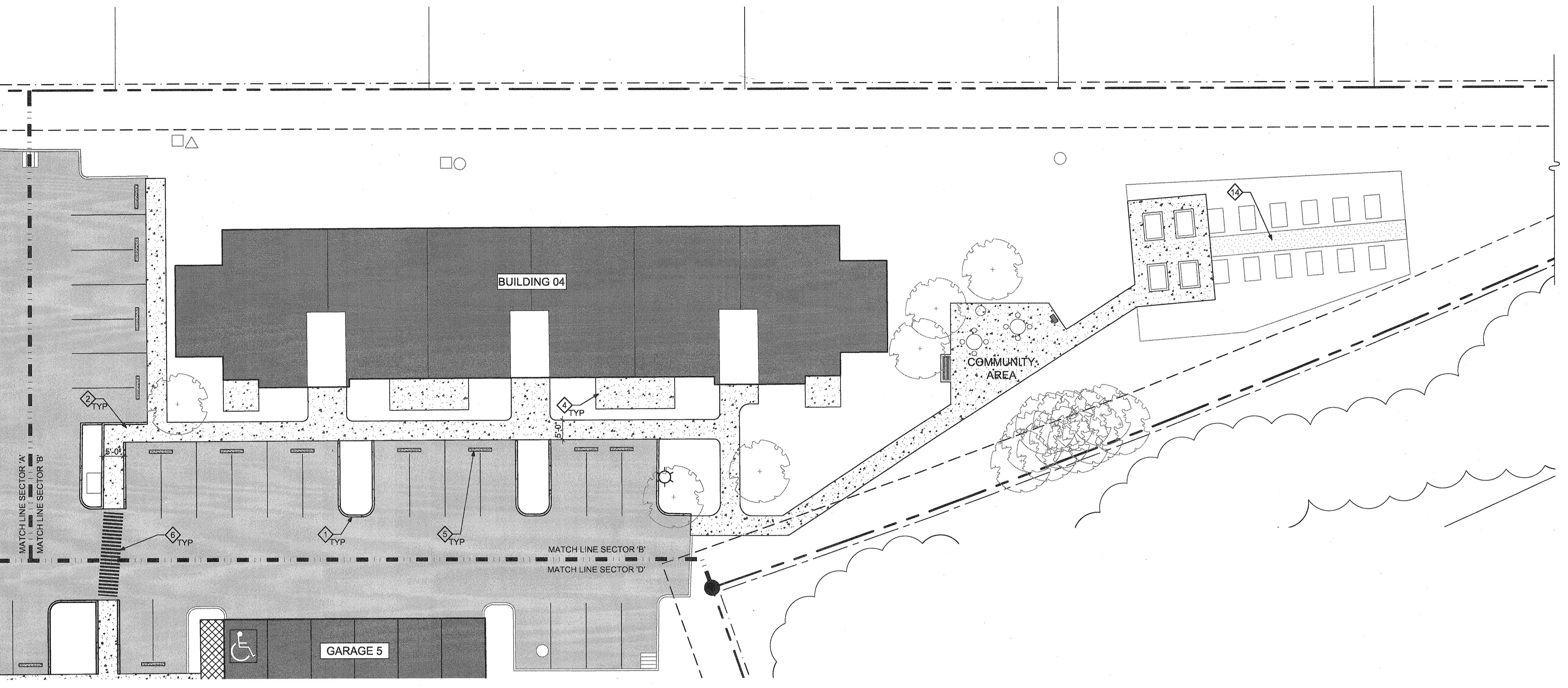




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1 SITE PLAN - SECTOR 'B'

SCALE: 1/16" = 1'-0"

GENERAL SITE PLAN NOTES

- A. ANY OBSERVED, KNOWN, OR VERIFIED CONDITION(S) THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON SUCH FORM AS REQUIRED BY THE CONTRACT DOCUMENTS.
- B. REFER TO "SITE PLAN SECTORS" FOR ADDITIONAL INFORMATION AND COORDINATION REGARDING NEW AND REINSTALLED SYSTEMS, DEVICES AND APPROXIMATE LOCATIONS.
- C. REFER TO CIVIL FOR ADDITIONAL WORK. COORDINATE WORK SHOWN ON ARCHITECTURAL PLANS WITH CIVIL PLANS.

SITE PLAN LEGEND

- - -	PROPERTY LINE
— — —	10' SETBACK
- - - - -	SECTOR MATCH LINE
C	COMPACT PARKING STALL
	ACCESSIBLE DWELLING UNIT
	SIGHT & HEARING ACCESSIBLE DWELLING UNIT

SITE PLAN KEY NOTES

NOTE: NOT ALL KEY NOTES MAY BE USED ON THIS SHEET.

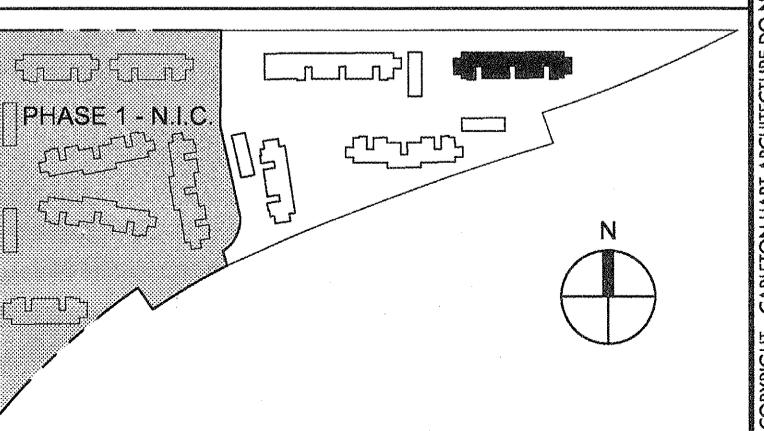
- ① NEW CONCRETE CURB
- ② NEW CONCRETE SIDEWALK
- ③ NEW FENCE
- ④ NEW CONCRETE PATIO
- ⑤ NEW WHEEL STOP
- ⑥ NEW STRIPING AT ACCESSIBLE CROSS-WALK
- ⑦ ACCESSIBLE STALL - PROVIDE STRIPING AND SIGNAGE AS REQUIRED
- ⑧ EXISTING CLUSTER MAIL BOXES TO BE MODIFIED TO MEET ADA STANDARDS. SEE AS1.10.
- ⑨ RELOCATED EXISTING BLOCK WALL
- ⑩ RELOCATED SITE LIGHT
- ⑪ EXISTING SIDEWALK TO REMAIN
- ⑫ EXISTING BLOCK WALL - REPAIR AS NECESSARY
- ⑬ EXISTING GARBAGE/RECYCLING AREA
- ⑭ NEW GRAVEL PATH
- ⑮ NEW FIRE RISER ROOM - SEE ARCHITECTURAL DRAWING SET
- ⑯ NEW EXTENDED GARAGE FOR ACCESSIBLE PARKING - SEE ARCHITECTURAL DRAWING SET

SITE PLAN - SECTOR 'B'

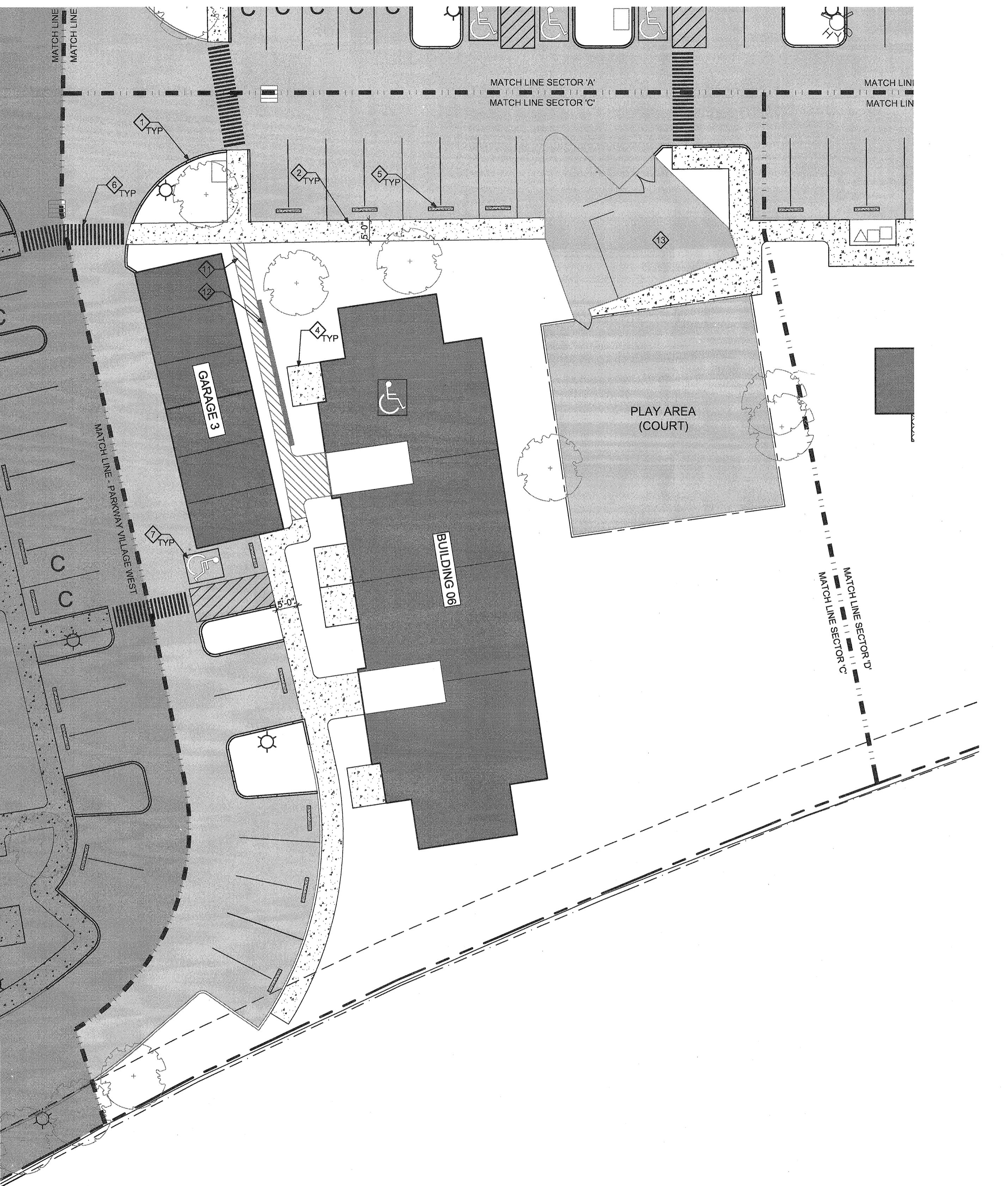
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KEY PLAN - N.T.S.



AS1.11



1 SITE PLAN - SECTOR 'C'

SCALE: 1/16" = 1'-0"



GENERAL SITE PLAN NOTES	
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SITE PLAN LEGEND	
- - -	PROPERTY LINE
- - -	10' SETBACK
- - -	SECTOR MATCH LINE
C	COMPACT PARKING STALL
	ACCESSIBLE DWELLING UNIT
	SIGHT & HEARING ACCESSIBLE DWELLING UNIT

SITE PLAN KEY NOTES	
NOTE: NOT ALL KEY NOTES MAY BE USED ON THIS SHEET.	
①	NEW CONCRETE CURB
②	NEW CONCRETE SIDEWALK
③	NEW FENCE
④	NEW CONCRETE PATIO
⑤	NEW WHEEL STOP
⑥	NEW STRIPING AT ACCESSIBLE CROSS-WALK
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⑨	RELOCATED EXISTING BLOCK WALL
⑩	RELOCATED SITE LIGHT
⑪	EXISTING SIDEWALK TO REMAIN
⑫	EXISTING BLOCK WALL - REPAIR AS NECESSARY
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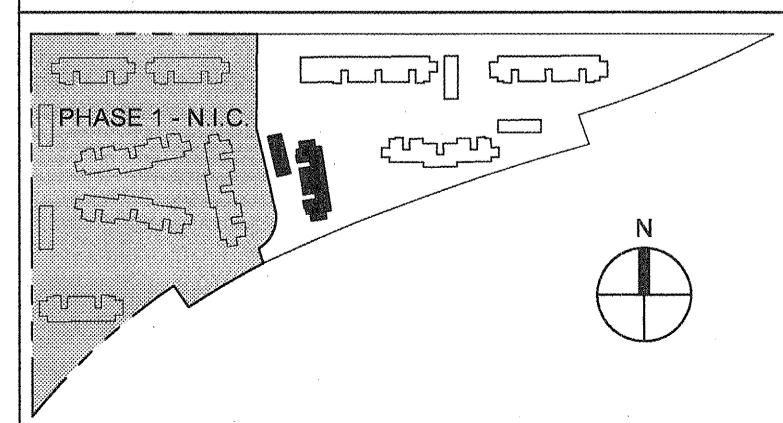
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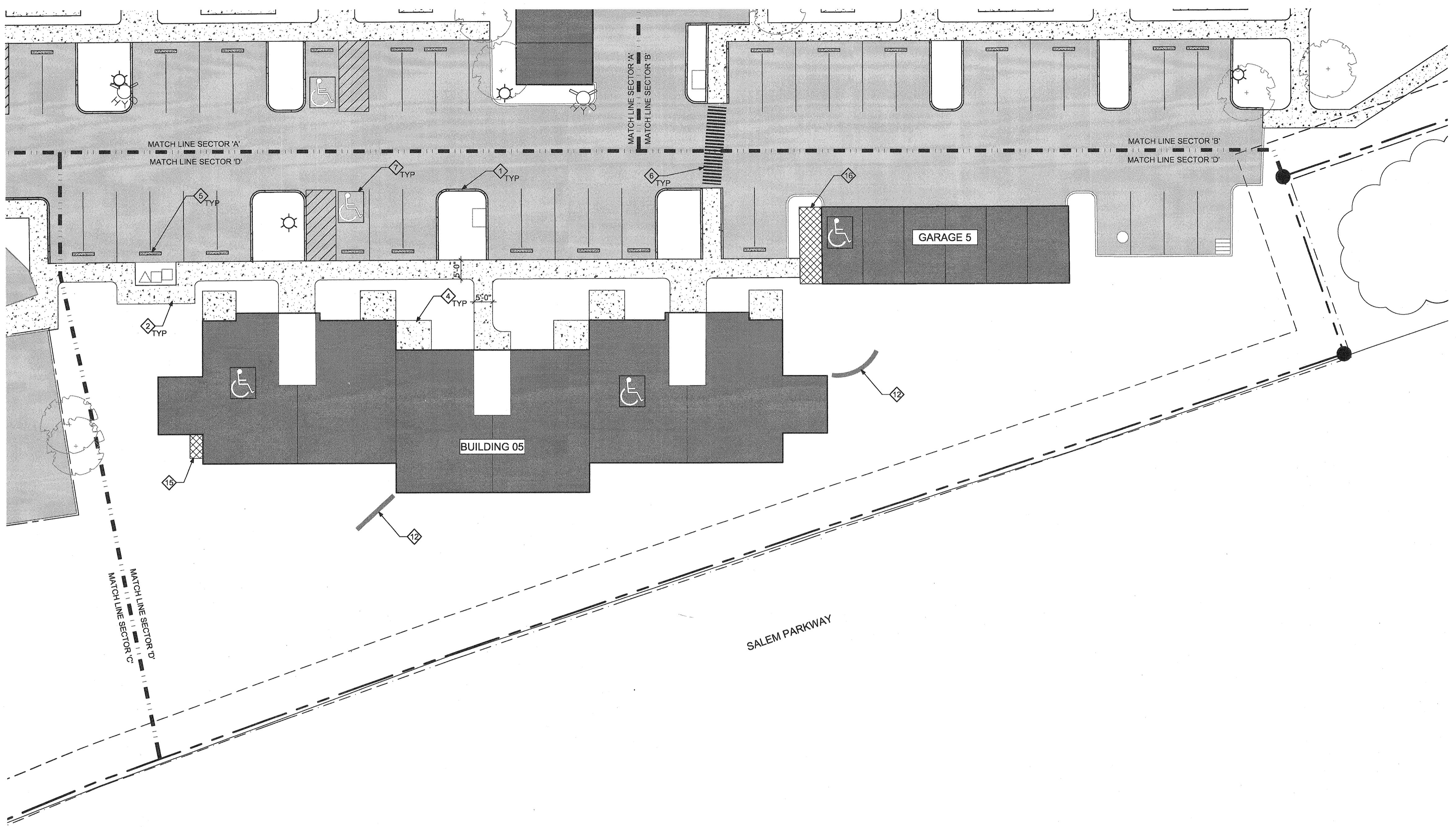
AS1.12



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1

GENERAL SITE PLAN NOTES	
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SITE PLAN LEGEND

- - -	PROPERTY LINE
—	10' SETBACK
- - - - -	SECTOR MATCH LINE
C	COMPACT PARKING STALL
	ACCESSIBLE DWELLING UNIT
	SIGHT & HEARING ACCESSIBLE DWELLING UNIT

SITE PLAN KEY NOTES

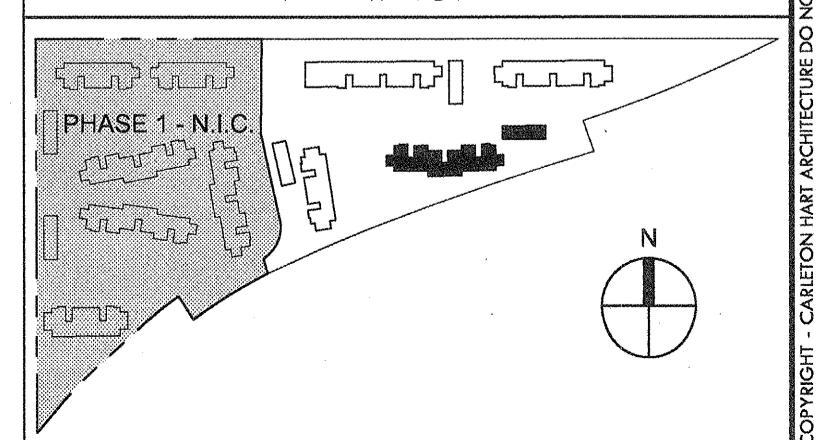
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 - ③ NEW FENCE
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 - ⑤ NEW WHEEL STOP
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 - ⑩ RELOCATED SITE LIGHT
 - ⑪ EXISTING SIDEWALK TO REMAIN
 - ⑫ EXISTING BLOCK WALL - REPAIR AS NECESSARY
 - ⑬ EXISTING GARBAGE/RECYCLING AREA
 - ⑭ NEW GRAVEL PATH
 - ⑮ NEW FIRE RISER ROOM - SEE ARCHITECTURAL DRAWING SET
 - ⑯ NEW EXTENDED GARAGE FOR ACCESSIBLE PARKING - SEE ARCHITECTURAL DRAWING SET

SITE PLAN -
SECTOR 'D'

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KEY PLAN - N.T.S.



AS1.13