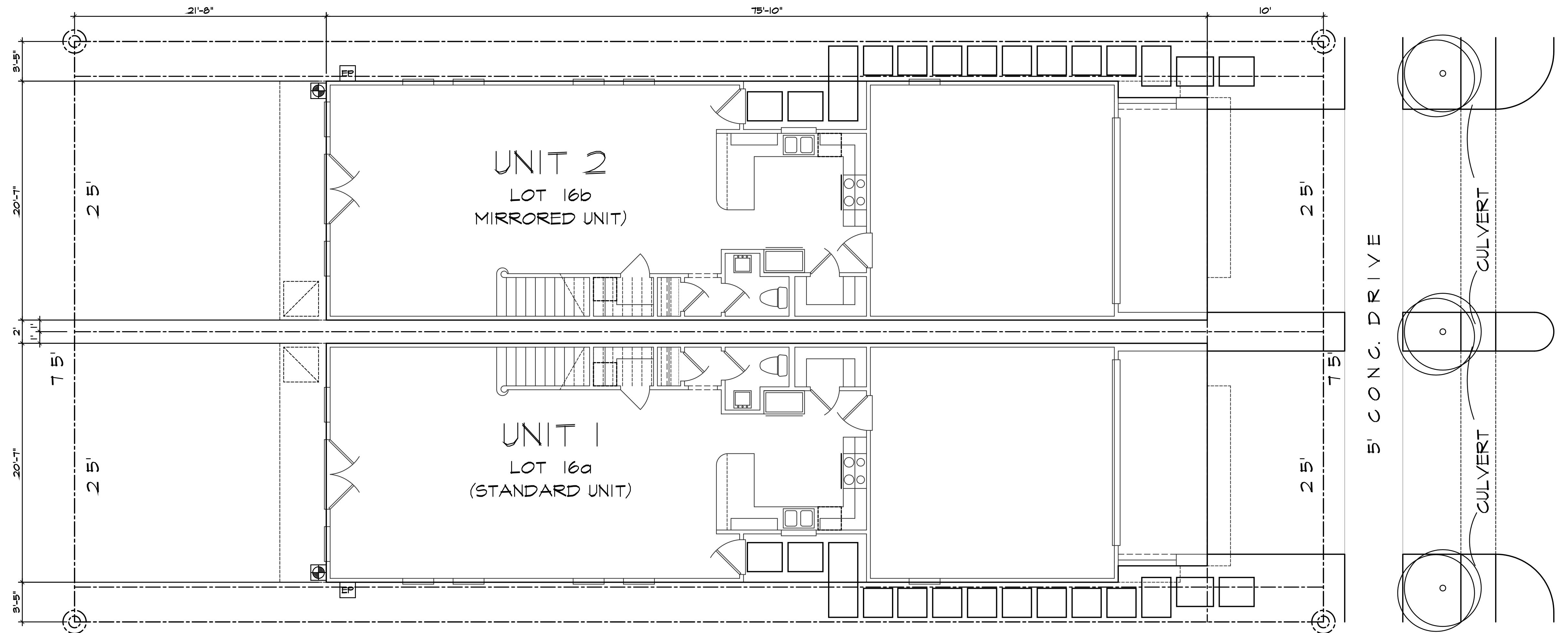


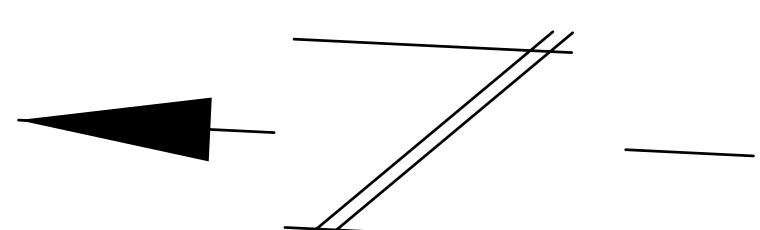
# EIGEL STREET TERRACE

LKL

4123 EIGEL STREET, HOUSTON, TEXAS 77007



**NOTE:**  
EXISTING OBSTRUCTION (POLES, SIGNS, ETC.)  
SHALL BE REMOVED/RELOCATED FROM  
PROPOSED DRIVeway/SIDEWALK



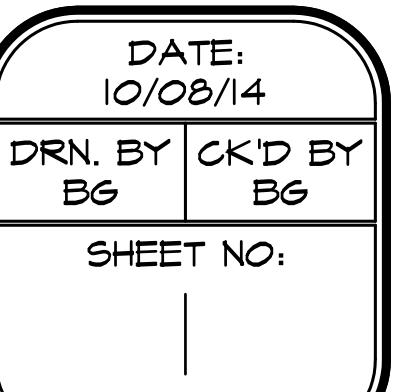
**Notes:**

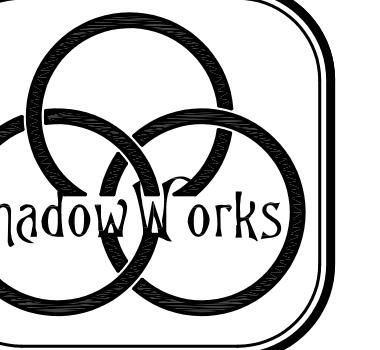
- ① (R401.5). All new buildings constructed within this jurisdiction shall have the finished floor of the building not less than 12 inches above the nearest sanitary sewer manhole rim, or, where no sewer is available, the finished floor shall not be less than 4 inches above the crown of the street.
- ② (R401.3). Lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches within the first ten feet.
- ③ (R403.1.7.3). On graded sites, the top of any exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of any approved drainage device a minimum of 12 inches plus 2 percent.

2-E

Exception. Where lots lines, walls, slopes or other physical barriers prohibit 6" of fall within 10 feet, drains or swales shall be constructed to ensure drainage away from the structure. Impervious surfaces within 10 feet of the building foundation shall be sloped a minimum of 2 percent away from the building.

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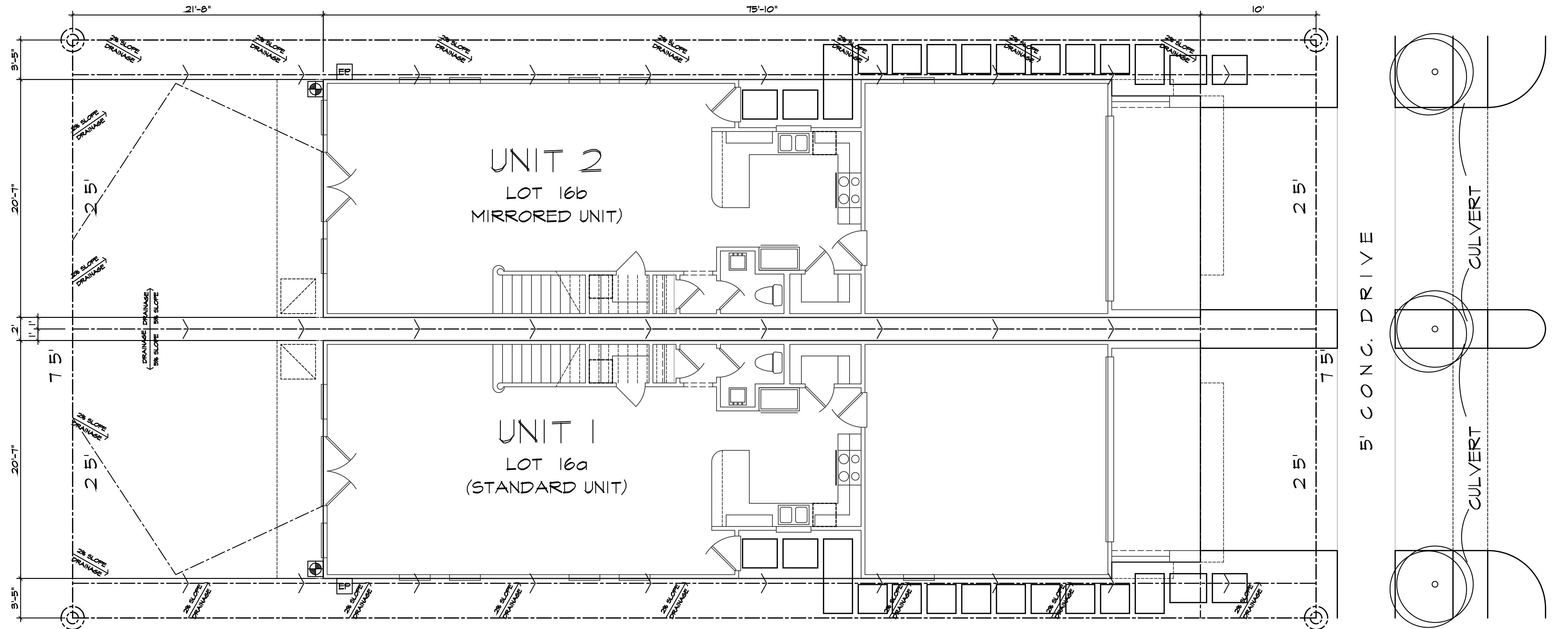




# EIGEL STREET TERRACE

42 ELLIS, HOUSON, LASH, 1901

A diagram consisting of three horizontal black lines. The top and bottom lines each have a vertical double bar at both ends. The middle line has a vertical double bar at its right end and a single vertical line at its left end.



Notes:  
)( R401.5. All new buildings constructed within this jurisdiction shall have the finished floor of the building not less than 12 inches above the nearest sanitary sewer manhole rim, or, where no sewer is available, the finished floor shall not be less than 4 inches above the crown of the street.

(R401.3). Lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches within the first ten feet.

**Exception.** Where lots lines, walls, slopes or other physical barriers prohibit 6" of fall within 10 feet, drains or swales shall be constructed to ensure drainage away from the structure. Impervious surfaces within 10 feet of the building foundation shall be sloped a minimum of 2 percent away from the building.

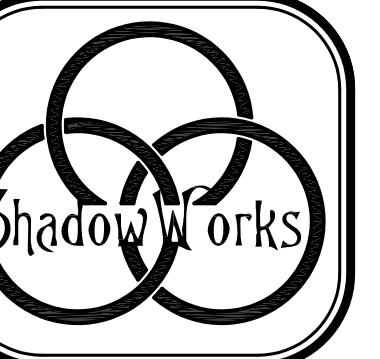
(R403.1.7.3). on graded sites, the top of any exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of any approved drainage device a minimum of 12 inches plus 2 percent.

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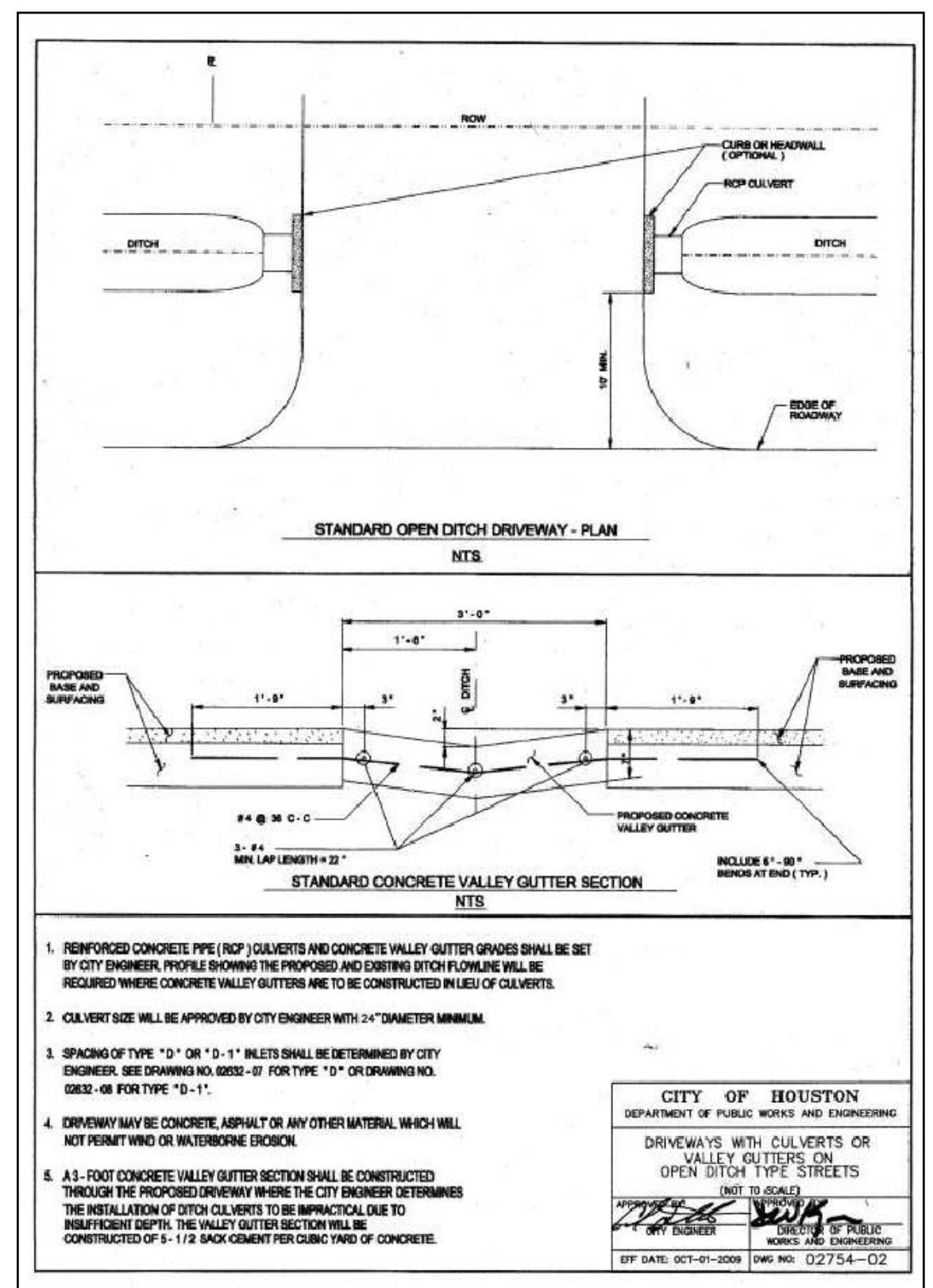
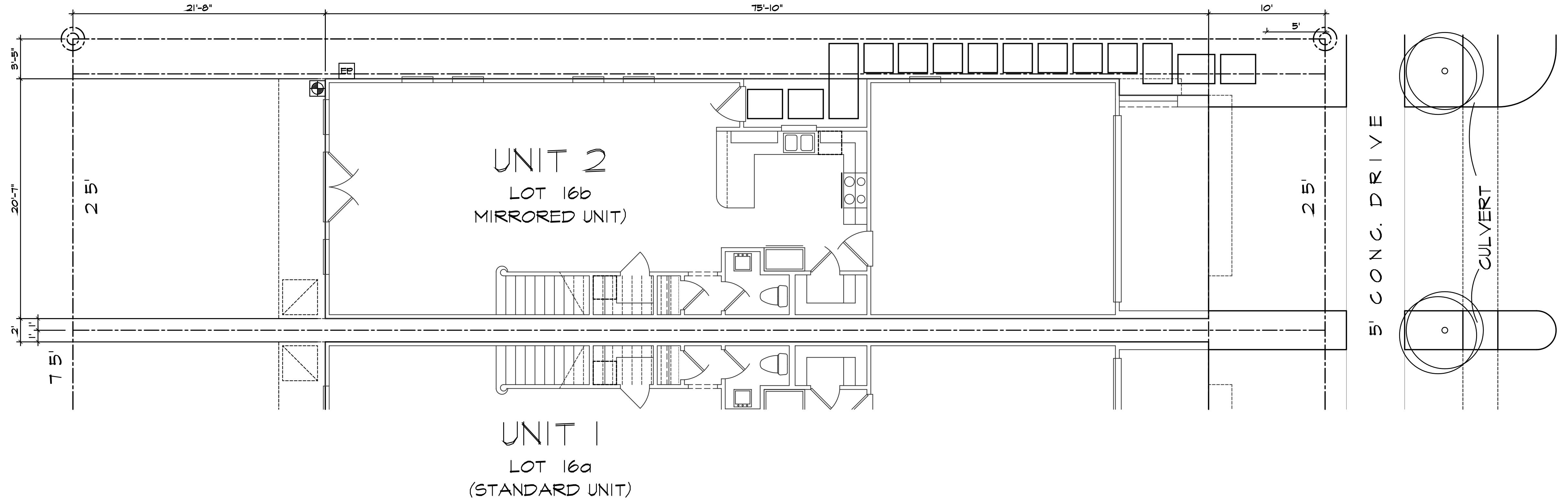
BY CK'D BY  
BG

123 EIGEL ST.

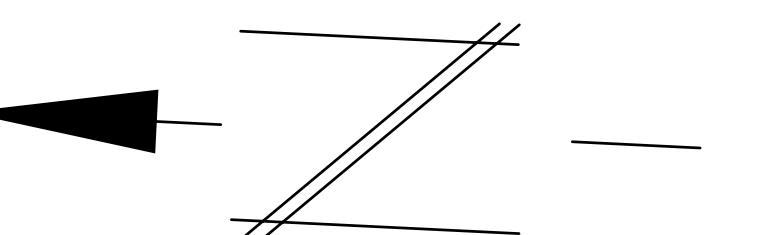


~~ENTRANCE~~ TERRACE STREET STREETS GATE

A diagram showing a V-shaped potential well. It consists of two horizontal lines at the top and bottom, with a single downward-pointing V-shape in the center representing the potential barrier.



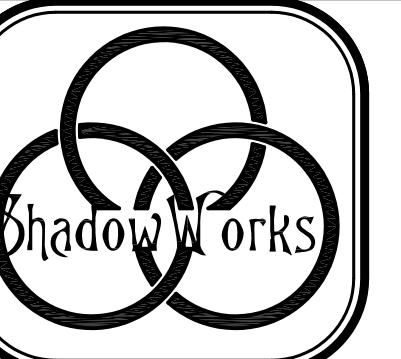
**NOTE:**  
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SHALL BE REMOVED/RELOCATED FROM  
PROPOSED DRIVEWAY/SIDEWALK



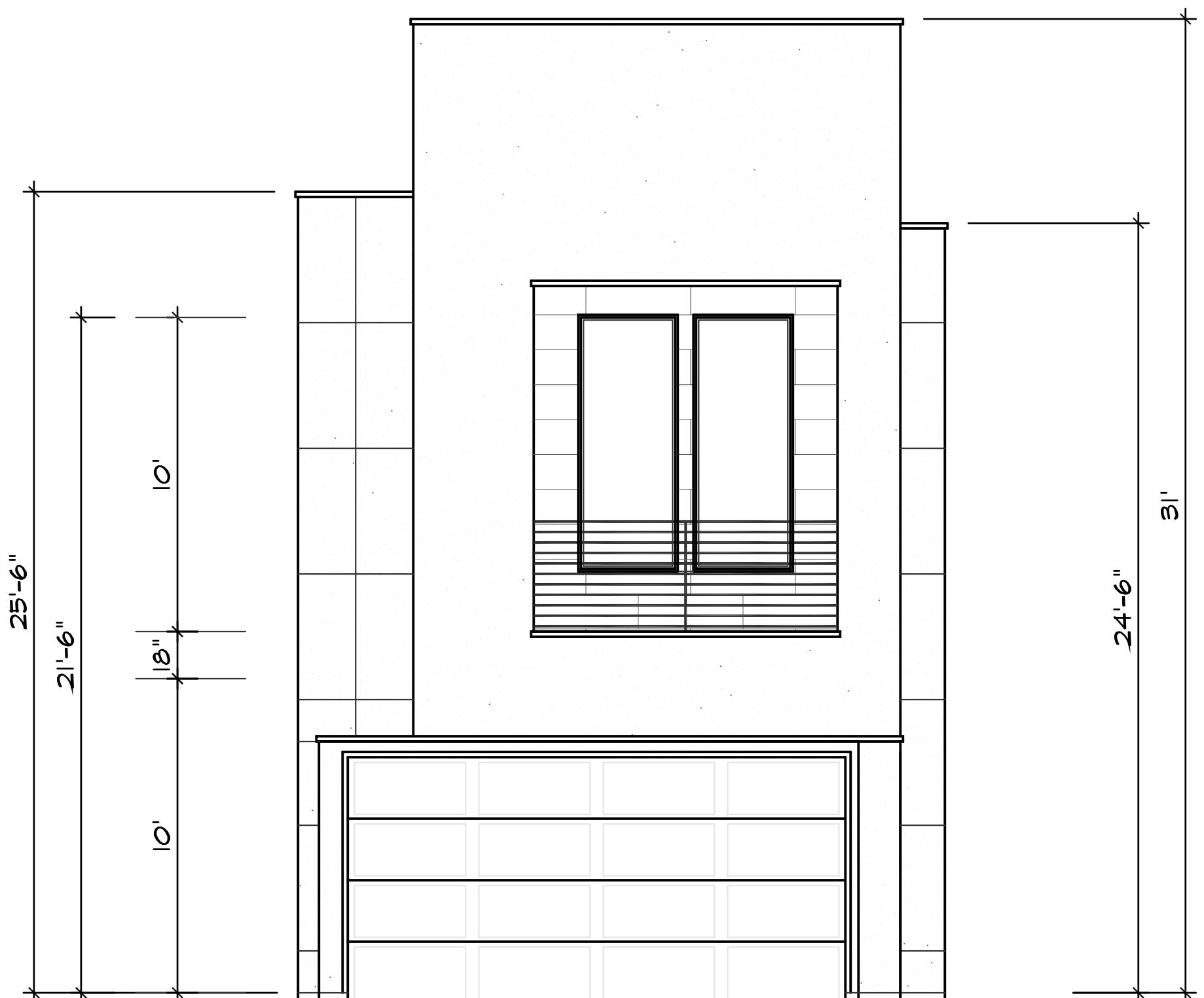
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3.a	
4123 EIGEL ST.	



# LKL EIGEL STREET TERRACE



## ELEVATIONS

SCALE:  $\frac{1}{4}'' = 1'-0''$

### GENERAL NOTES:

GALVANIZED FLASHING (26 GAUGE) AT ALL VALLEYS, HIPS AND RIDGES. PROVIDE FOR VENTILATION PROJECTIONS THRU ROOF WITH FLANGES AND EXTEND 8" BEYOND SLEEVE.

GALVANIZED IRON FLASHING AT ALL ROOF TO WALL AND ROOF TO CHIMNEY INTERFACES.

CHIMNEY TERMINATIONS TO BE MIN. 24" ABOVE ANY ROOF SURFACES WITHIN A 10'-0" RADIUS.

PROVIDE CHIMNEY FLUE SPARK ARRESTORS WITH MAX. 1/2" GAP MESH WHICH COMPLIES WITH I.R.C. R100.6.1 OR EQUAL CODE REQUIREMENTS.

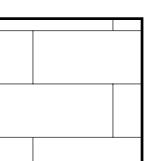
ROOF GUTTERS AND DOWN SPOUTS PER SPECIFICATIONS SEE BUILDER.

CONTINUOUS GALVANIZED IRON EAVE FLASHING.

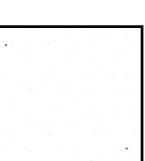
ATTIC VENTILATION TYPE AND AMOUNT PER SPECIFICATIONS SEE BUILDER.

APPLIED CRICKET ROOFING SHALL BE APPLIED OVER MAIN ROOF DECK AND FRAME.

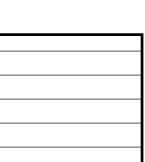
ROOF PLATE HEIGHTS SHOWN ARE AT EXTERIOR FRAME WALL CONDITIONS, ADJUST ROOF PLATE HEIGHT FROM HEIGHT SHOWN AT CONDITIONS WHERE THE ROOF IS SUPPORTED BY BEAMS CENTERED OVER LOAD BEARING COLUMNS.



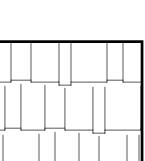
WOOD



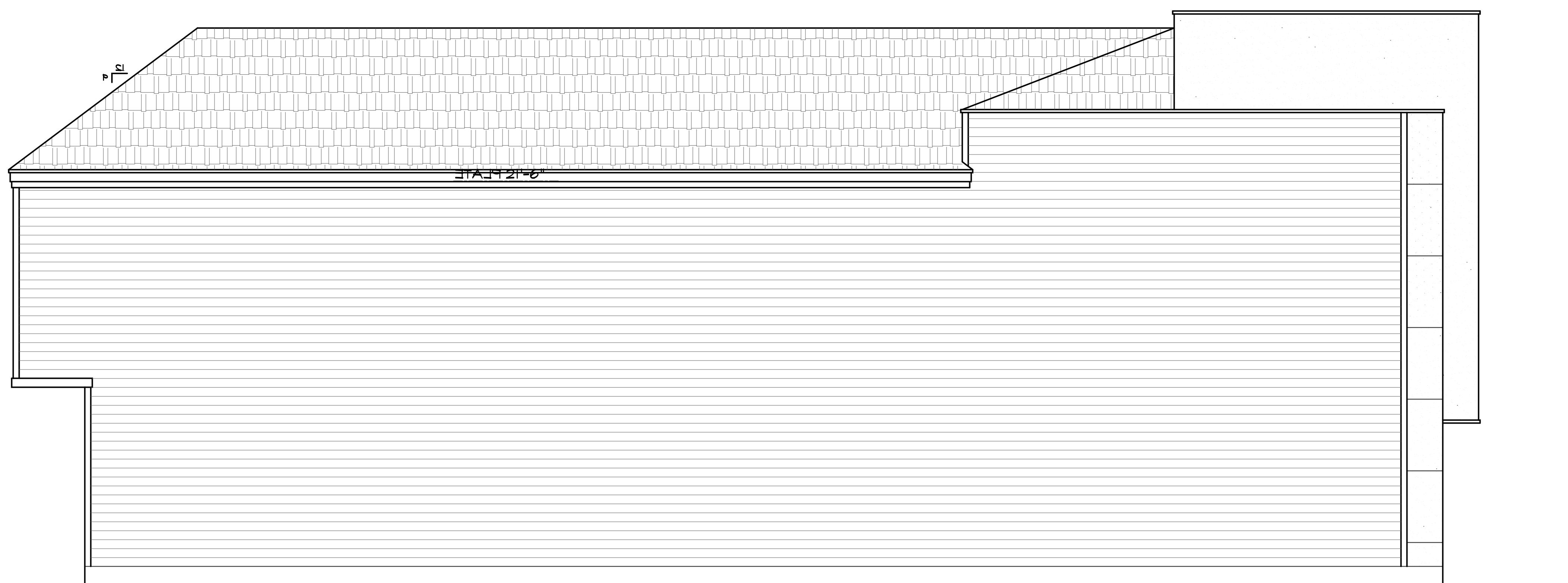
STUCCO



HARDIE BOARD



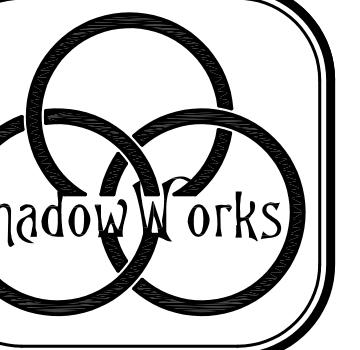
COMPOSITION SHINGLES



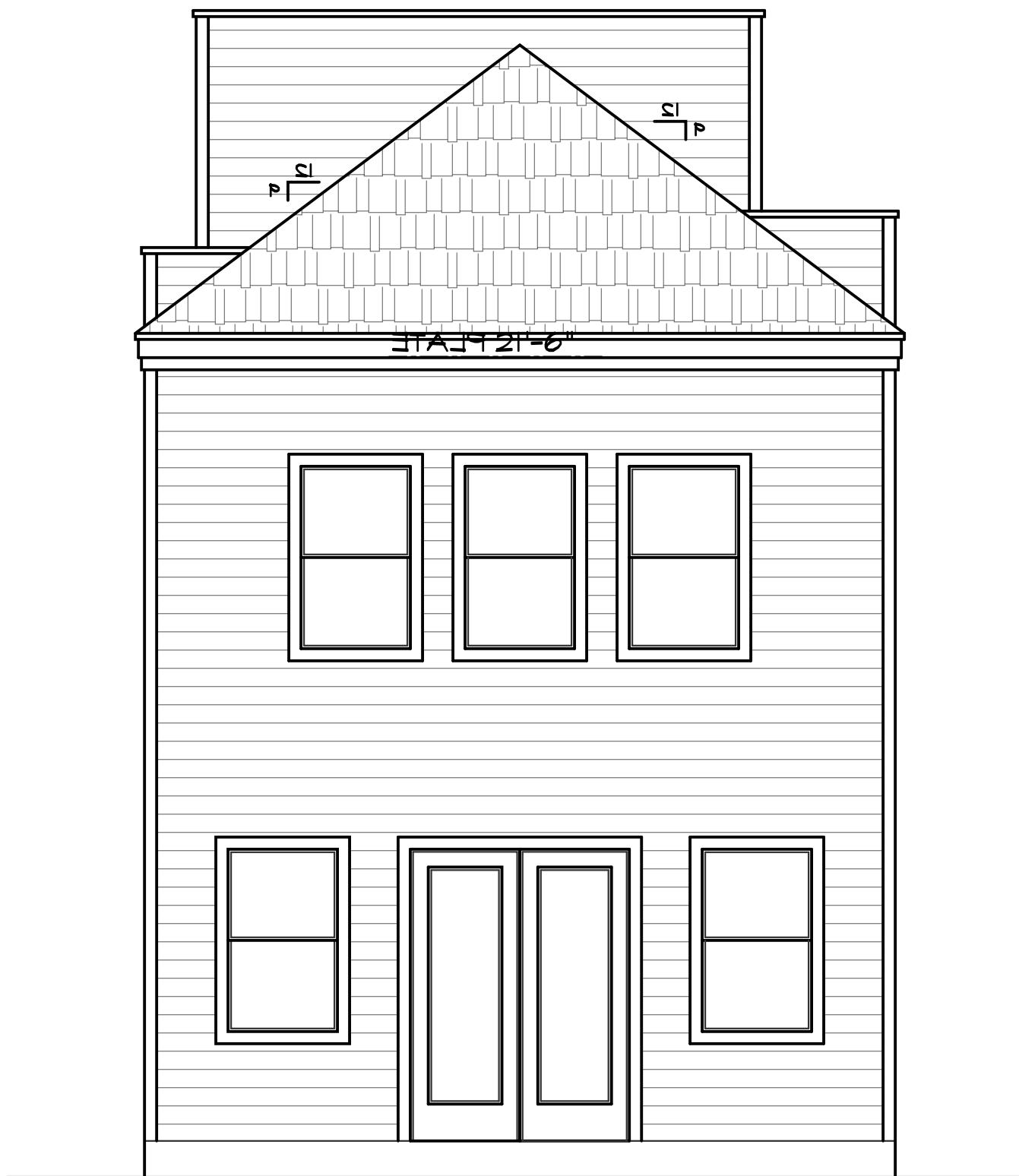
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BG BG  
SHEET NO.:  
4  
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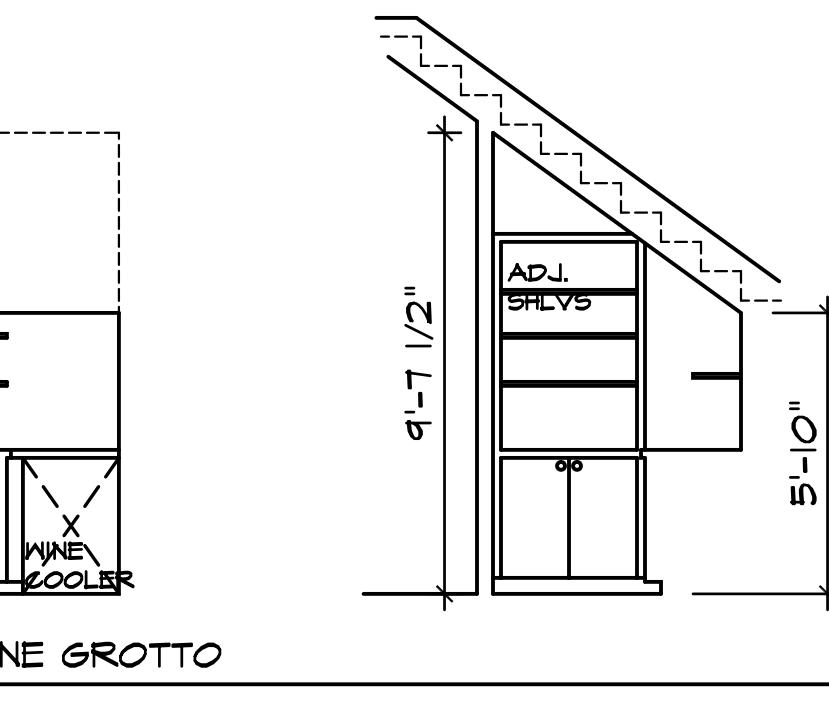
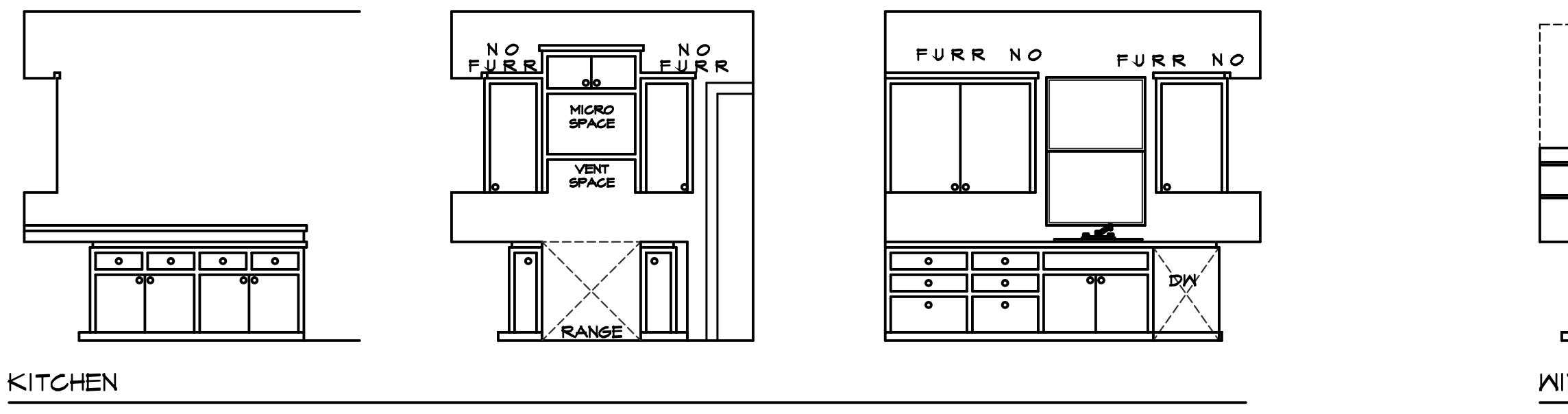


# GEL STREET TERRACE



**REAR ELEVATION**

**SCALE:** 1/4" = 1'-0"



# ELEVATIONS

SCALE: 1/4" = 1'-0"

## **GENERAL NOTES:**

GALVANIZED FLASHING (26 GAUGE) AT ALL VALLEYS, HIPS AND RIDGES. PROVIDE FOR VENTILATION PROJECTIONS THRU ROOF WITH FLANGES AND EXTEND 8" BEYOND SLEEVE.

**GALVANIZED IRON FLASHING AT ALL ROOF TO WALL  
AND ROOF TO CHIMNEY INTERFACES.**

CHIMNEY TERMINATIONS TO BE MIN. 24" ABOVE ANY  
ROOF SURFACES WITHIN A 10'-0" RADIUS.

PROVIDE CHIMNEY FLUE SPARK ARRESTORS WITH MAX. 1/2" GAP MESH WHICH COMPLIES WITH I.R.C. R1001.6.1 OR EQUAL CODE REQUIREMENTS.

ROOF GUTTERS AND DOWN SPOUTS PER  
SPECIFICATIONS SEE BUILDER.

## **CONTINUOUS GALVANIZED IRON EAVE FLASHING.**

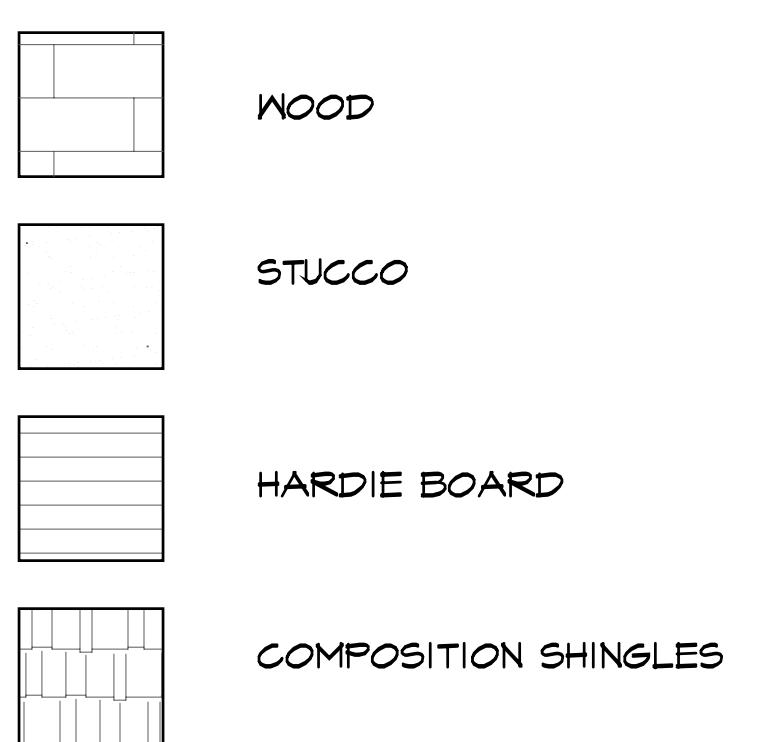
ATTIC VENTILATION TYPE AND AMOUNT PER  
SPECIFICATIONS SEE BUILDER.

**APPLIED CRICKET ROOFING SHALL BE APPLIED OVER MAIN ROOF DECK AND FRAME.**



**RIGHT ELEVATION**

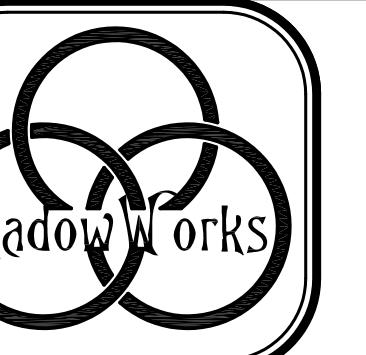
**SCALE:** 1/4" = 1'-0"



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PROFESSIONAL ENGINEER SHOULD BE CONSULTED REGARDING THE FRAMING AND FOUNDATION  
PROBLEMS. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE "ENGINEER OF RECORD"  
SHALL BEAR THE RESPONSIBILITY FOR THE STRUCTURAL DESIGN. SHADOWWORKS WILL NOT BE  
HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY AND/OR ANY PROBLEMS WHICH  
MAY ARISE.

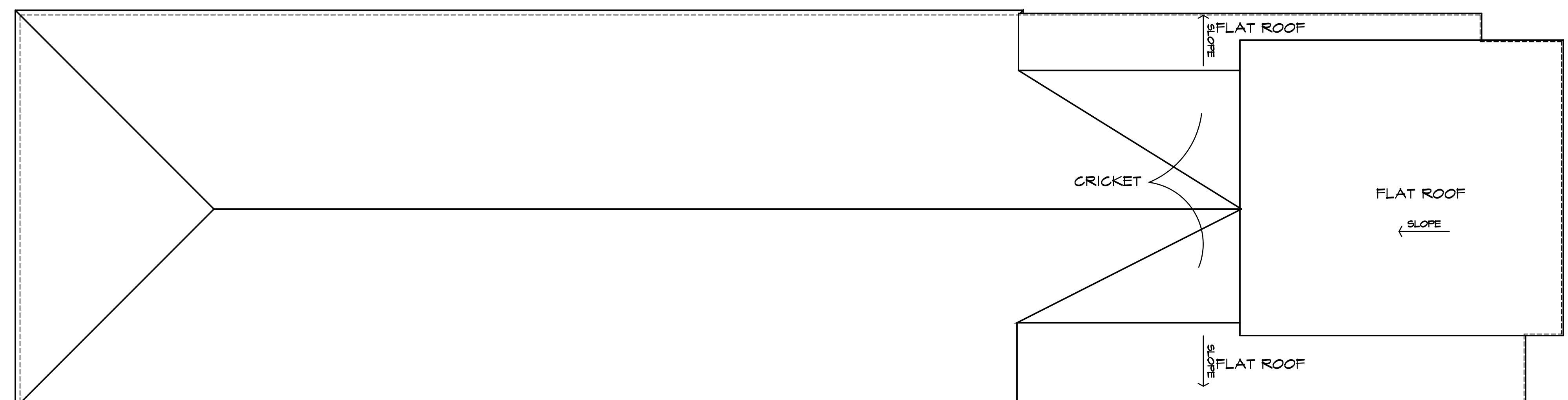
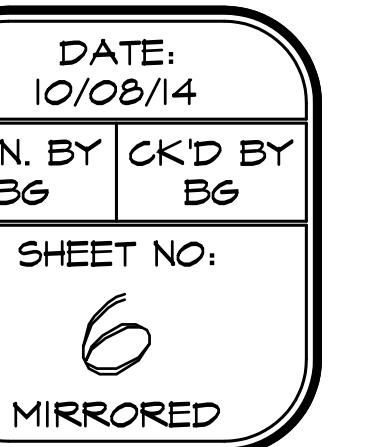
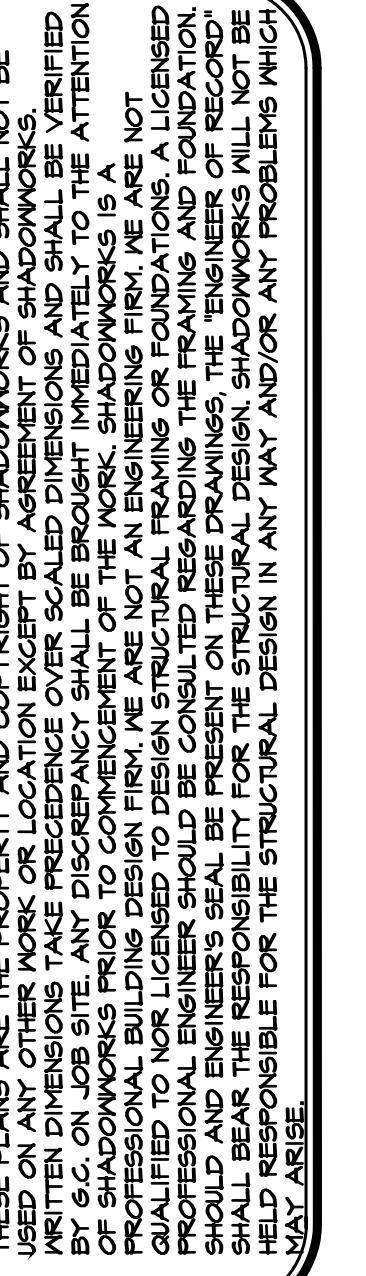
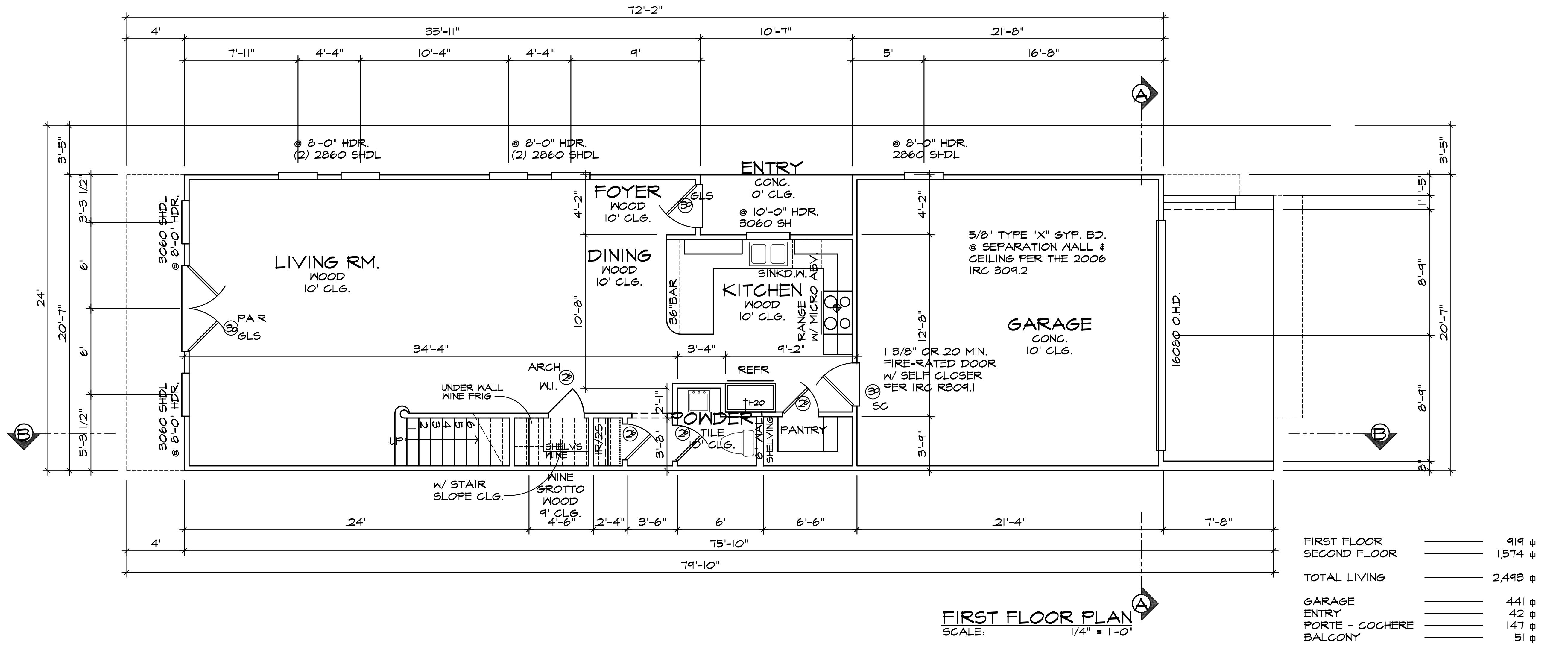
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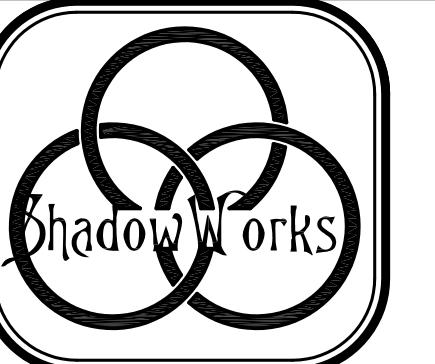


~~ONE THREE STREET TERRACE~~

A diagram showing a horizontal line with two vertical tick marks at its ends. A V-shaped cutout is made into the line, starting from the left tick mark and ending at the right tick mark.



# ROOF PLAN



# GEEL STREET TERACE

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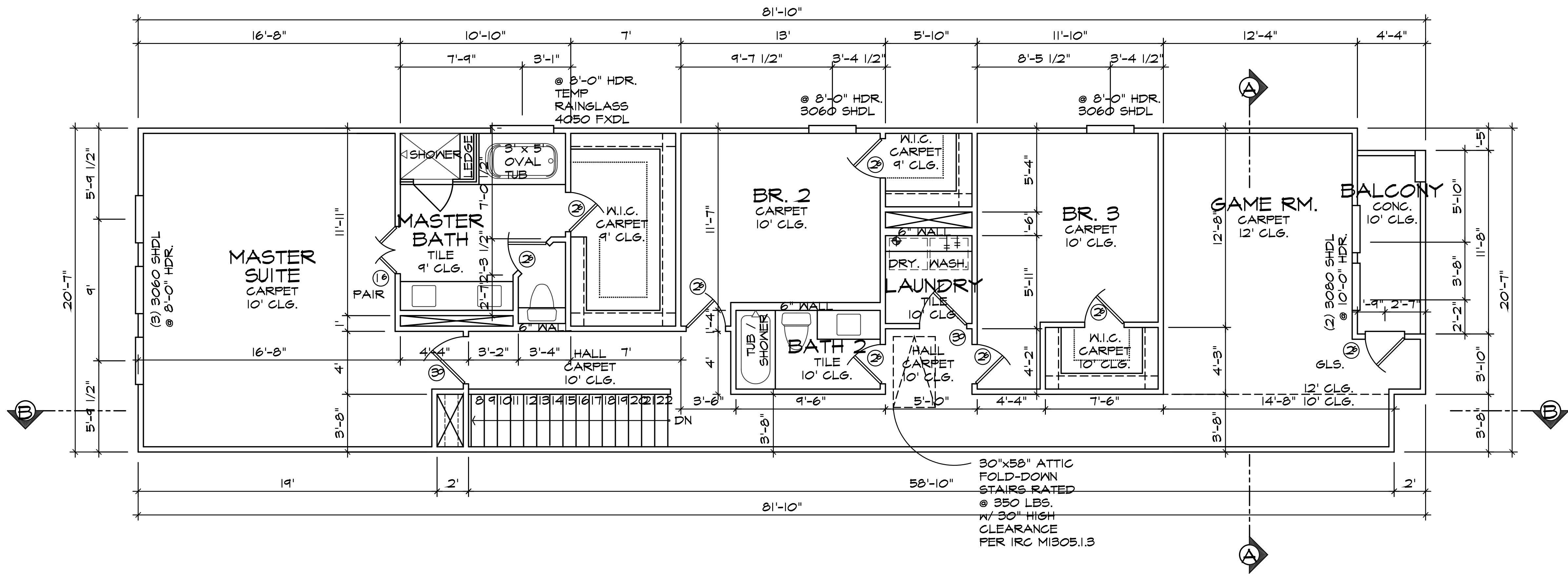
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1

**SECOND FLOOR PLAN**

---

**SCALE:** 1/4" = 1'-0"



PROVIDE VENTILATION AT ALL BATHS AND UTILITY RMS. THROUGH NATURAL OR MECHANICAL MEANS WHICH COMPLY W/IRC R317.1 OR EQUAL.

ATTIC WATER HEATER LOCATED OVER WALL PARTITION BELOW. PROVIDE MIN. 2'-0" WIDE DECKED SERVICE WALK FROM ATTIC STAIRS. PROVIDE 26 GAUGE METAL DRAIN PAN (SIZE PER WATER HEATER CAPACITY AND CITY REQ.) FASTENED TO FLOOR DECK BELOW. PAN DRAIN LINE AND WATER HEATER PRESSURE RELIEF LINE SHALL BE VENTED TO EXTERIOR, NOT INTO SANITARY SEWER. CLEARANCE FROM TOP OF WATER HEATER TO BOTTOM OF RAFTERS SHALL NOT BE LESS THAN 12". GAS EQUIPMENT SHALL BE PROVIDED APPROPRIATE ATTIC VENTILATION FOR COMBUSTION AIR AND MIN. 4" DIA. PREFAB FLUE FLASHED WHERE IT IS VENTED THROUGH THE ROOF DECK.

ALL PREFABRICATED METAL FIREPLACES AND APPLIANCES ARE TO BE U.L. AND I.C.B.O. APPROVED AND A COPY OF THE MANUF. INSTALLATION MANUAL SHALL BE AVAILABLE AT THE JOB SITE FOR THE BUILDING INSPECTORS REVIEW.

THESE DRAWINGS, FOR THIS DESIGN, HAVE BEEN DEVELOPED AND ISSUED WITHOUT KNOWLEDGE OR REFERENCE TO A SPECIFIC GEOGRAPHIC LOCATION. THEREFORE, SUPPLEMENTAL TO THESE DOCUMENTS IS THE OWNER AND HIS BUILDER(S) RESPONSIBILITY FOR FOLLOWING MATERIAL AND EQUIPMENT MANUFACTURER'S INSTRUCTIONS, AND USING RECOGNIZED STANDARDS FOR EACH BUILDING CRAFT TRADE. AS WELL AS COMPLIANCE IN FULL WITH ALL GOVERNING CODE REQUIREMENTS FOR THE GEOGRAPHICAL AREA IN WHICH THIS HOUSE IS TO BE BUILT.

CONTRACTOR AND/OR OWNER SHALL VERIFY ALL DIMENSIONS, DETAILS AND DRAWINGS. EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THESE DRAWINGS AND/OR SPECIFICATIONS TO AVOID MISTAKES. CDS WILL NOT BE LIABLE FOR ERRORS AFTER CONSTRUCTION HAS STARTED.

**GENERAL NOTES**

10'-0" CEILINGS @ FIRST FLOOR UNLESS NOTED OTHERWISE.

9'-0" CEILINGS @ SECOND FLOOR UNLESS NOTED OTHERWISE.

8'-0" HEADER HEIGHTS @ FIRST FLOOR UNLESS NOTED OTHERWISE.

7'-0" HEADER HEIGHTS @ SECOND FLOOR UNLESS NOTED OTHERWISE.

ALL ANGLES TO BE 45 DEG. UNLESS NOTED OTHERWISE.

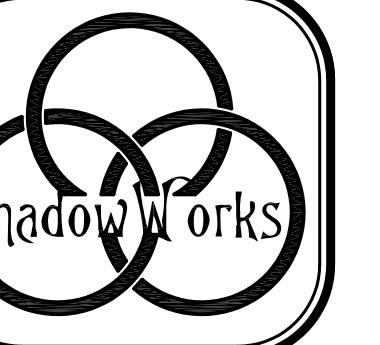
2 X 4 STUDS AT ALL EXTERIOR WALLS @ FIRST FLOOR UNLESS NOTED OTHERWISE.

VERIFY ALL EXTERIOR AND INTERIOR TRIM & DETAILS W/ OWNER.

WALL STUDS @ FIRST FLOOR SHALL BE #2 DOUGLAS FIR 2x4 @ 16" O.C  
UNLESS NOTED OTHERWISE

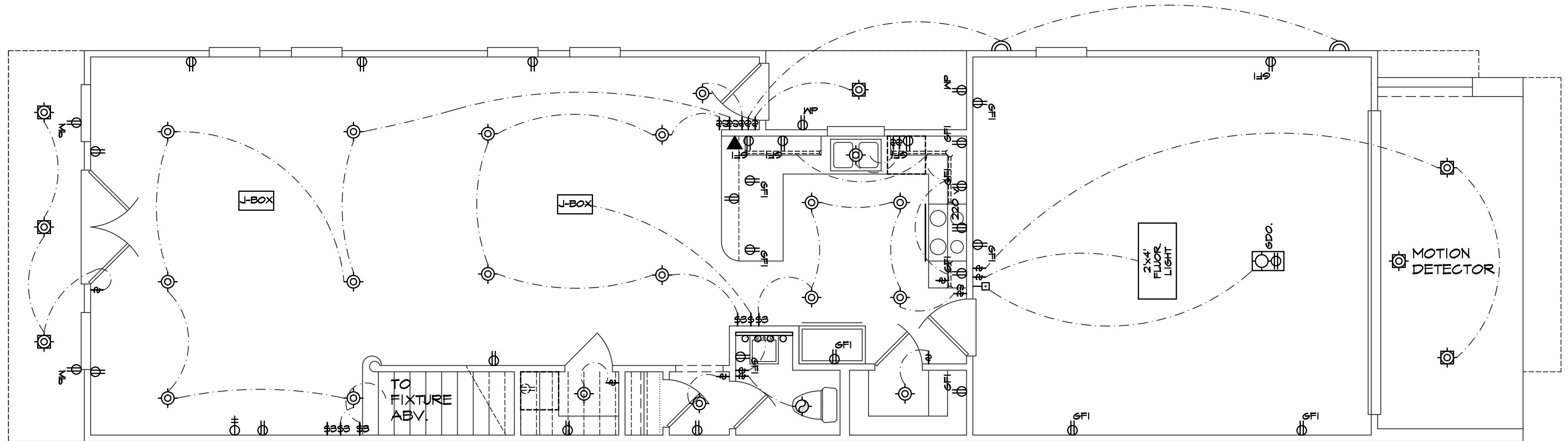
WALLS & CEILING'S SHALL BE 1/2" ASTM-36 GYPSUM WALLBOARD W/  
RECESSED LONGITUDINAL EDGE SAND INSTALLED IN ACCORDANCE W/  
"AMERICAN STANDARD NOTES FOR THE APPLICATION AND FINISHING OF  
GYPSUM WALLBOARD".

ENCLOSE UNDERSIDE OF STAIRWELLS, WALLS AND CEILINGS OF  
ATTACHED GARAGES W/ 5/8" TYPE "X" FIRE RATED GYPSUM BOARD.



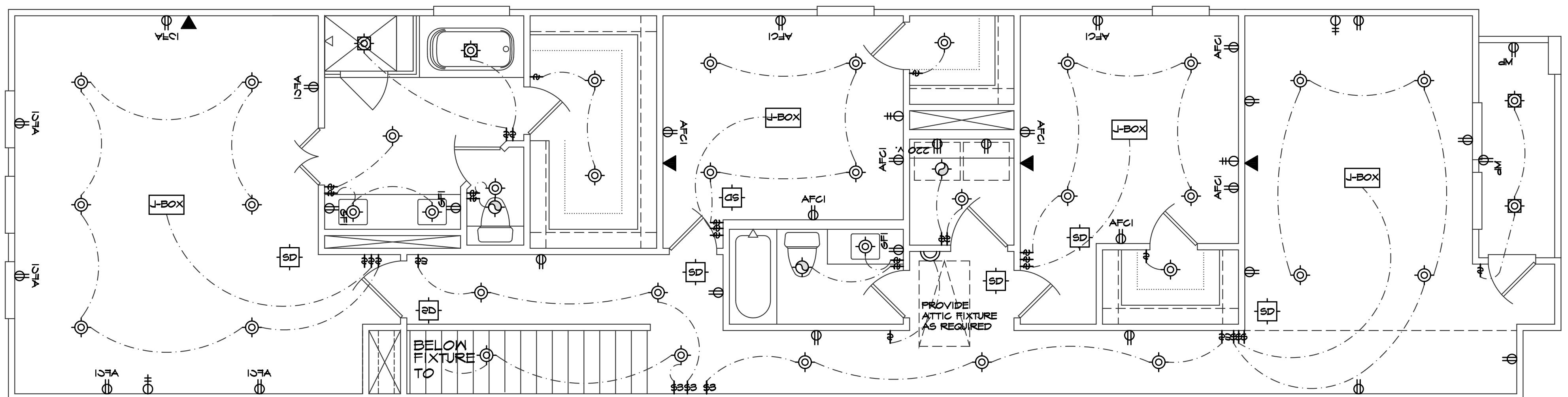
# GEEL STREET TERRACE

A diagram showing a horizontal line with two vertical tick marks at its ends. A diagonal line starts from the left tick mark, goes down and to the right, then turns sharply up and to the right again to end at the right tick mark. This creates a V-shaped cutout in the horizontal line.



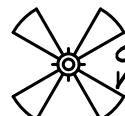
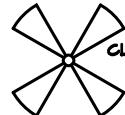
**FIRST FLOOR  
ELECTRICAL PLAN**

**SCALE:** 1/4" = 1'-0"



SECOND FLOOR  
ELECTRIC PLAN

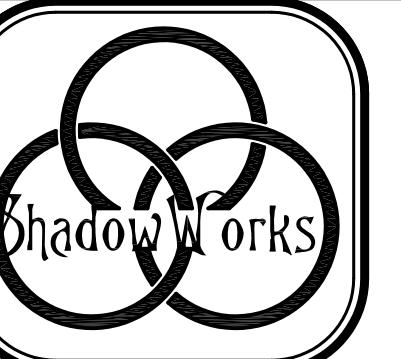
# ELECTRICAL SYMBOLS

symbol	description
 CLG. FAN W/ LIGHT	ceiling fan w/ light kit
 CLG. FAN	ceiling fan w/o light kit
 2'x4' FLUOR. LIGHT	fluorescent light fixture
	ceiling light fixture
	recessed light
•LV.	low-voltage recessed light
	recessed eyeball spot light
(s)	speakers recessed in clg.
	recessed weatherproof light
	wall mounted light - sconces
	ceiling light w/ pull chain
 SD	ceiling mounted smoke detector inter-connected as per the IRC R313.3
 SD	wall mounted smoke detector inter-connected as per the IRC R313.3
	exhaust fan
	telephone jack
	television / cable jack
	110 volt electrical outlet
 AFCI	Arc-fault Circuit Interrupters outlet
 220 v.	220 volt electrical outlet
 WP	110 volt exterior weatherproof outlet
	light switch
	3 way light switch
	push-button switch
	exterior flood lights
	make-up light bar
	under-cabinet lighting
-o-o-o-o-	low volt strip lights
 gdo	garage door opener w/ integral light

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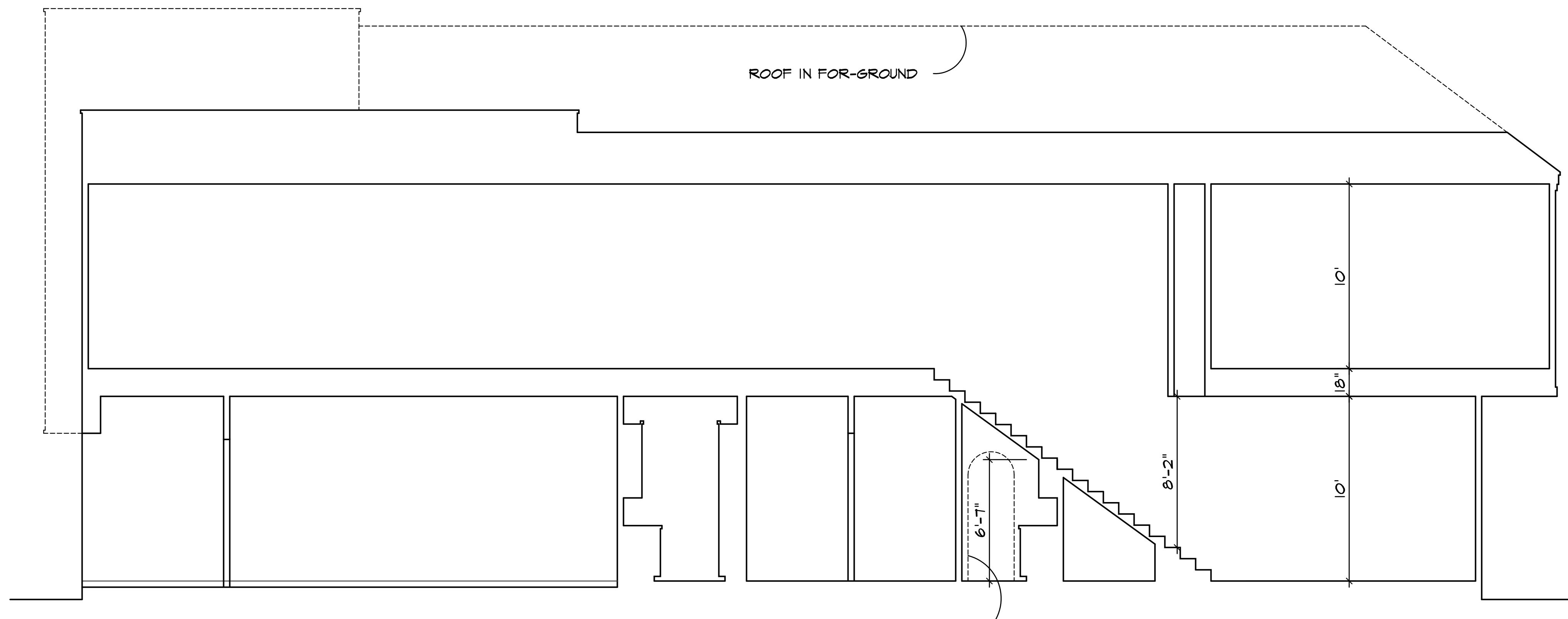
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# EIGEL STREET TERRACE

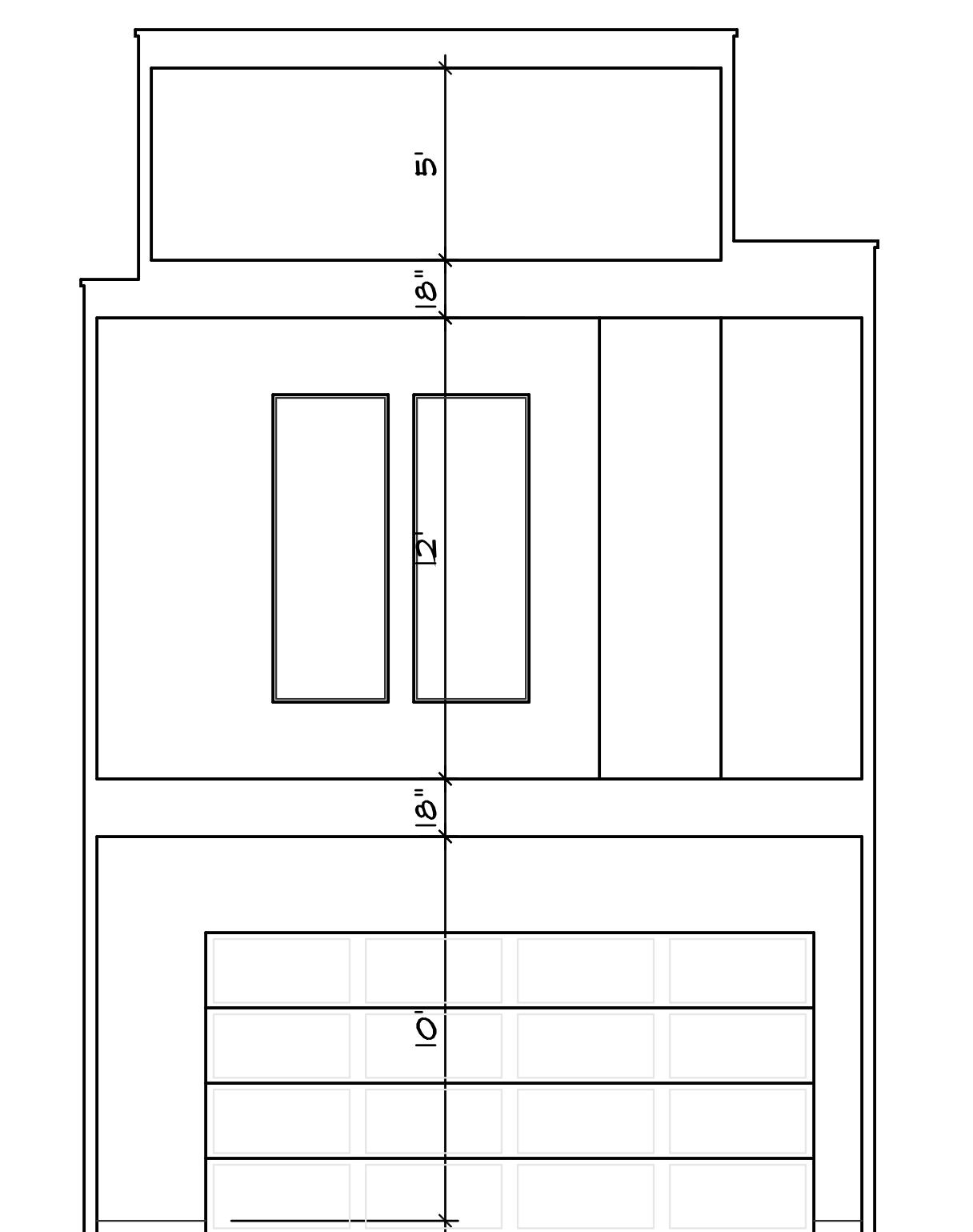
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**CROSS SECTION B-B**

SCALE: 1/4" = 1'-0"

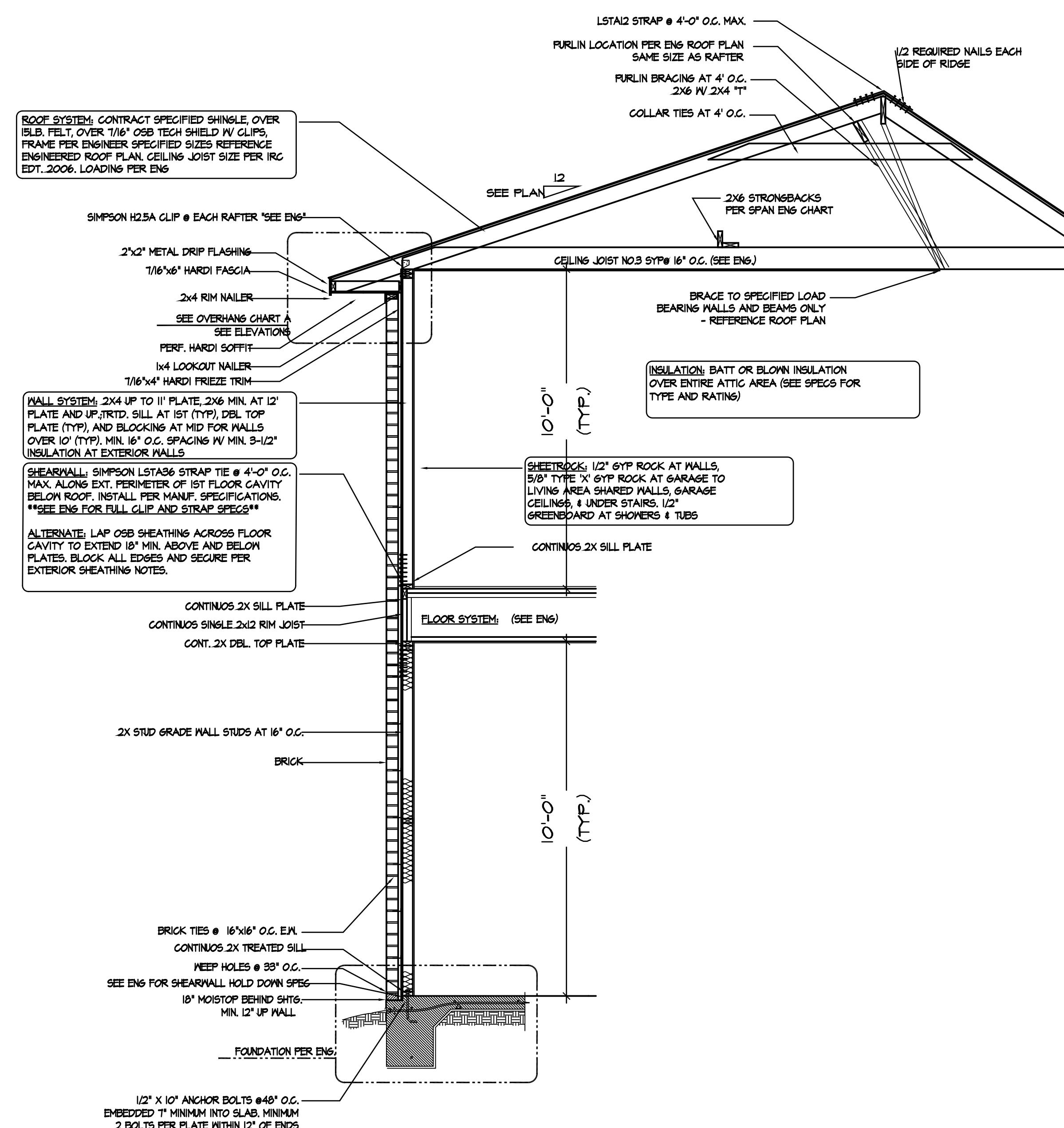
NOTE:  
REFER TO ENGINEERING DRAWINGS  
FOR FRAMING MEMBER SIZE AND  
LOCATIONS.



**CROSS SECTION A-A**

SCALE: 1/4" = 1'-0"

NOTE:  
REFER TO ENGINEERING DRAWINGS  
FOR FRAMING MEMBER SIZE AND  
LOCATIONS.



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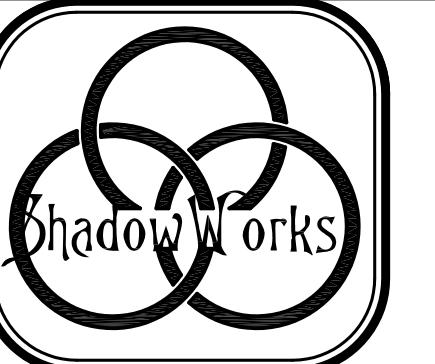
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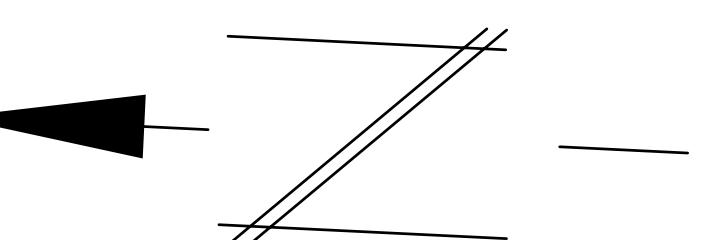
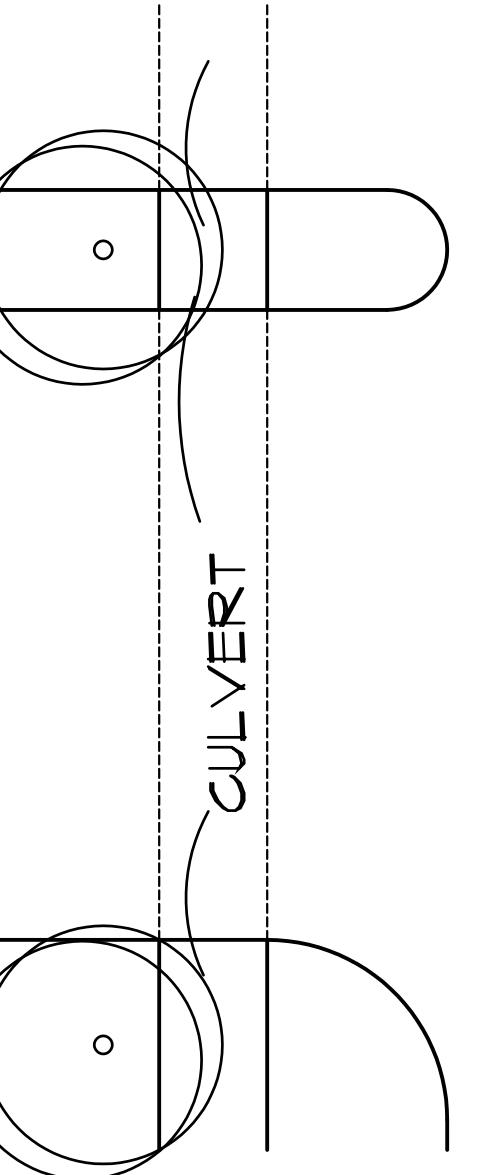
~~E~~ GEL STREET TERRACE

## **REVISIONS:**

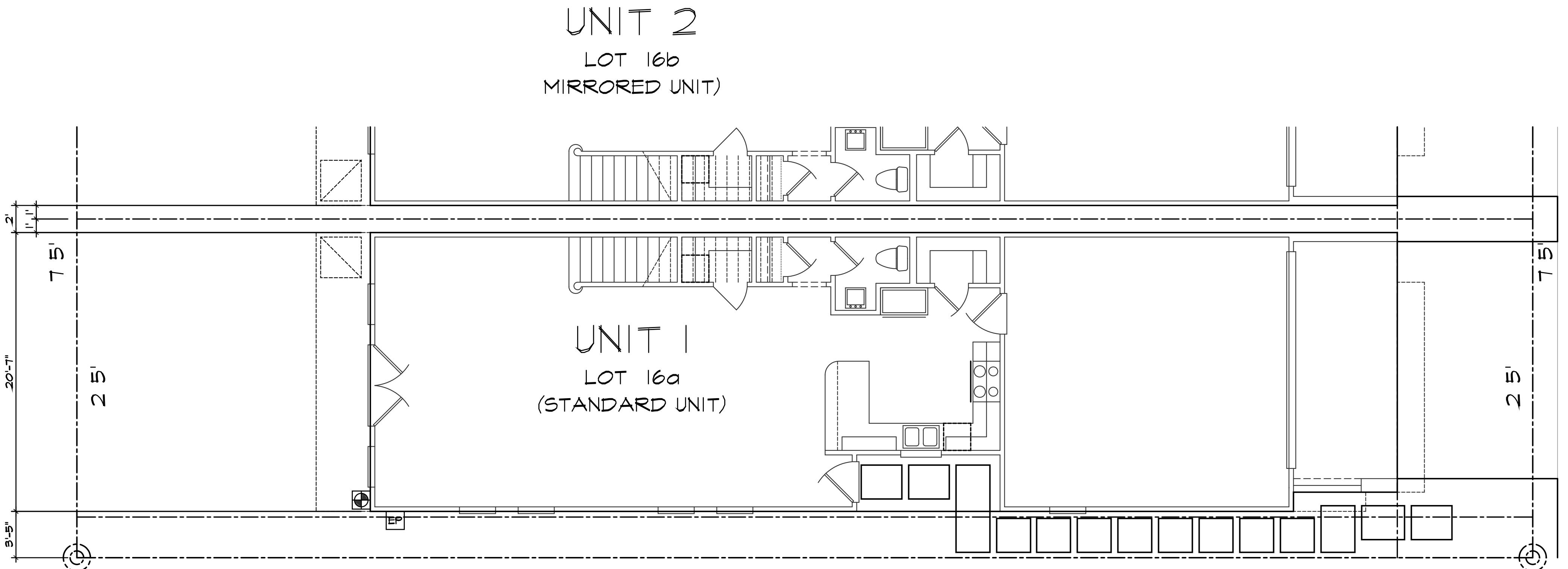
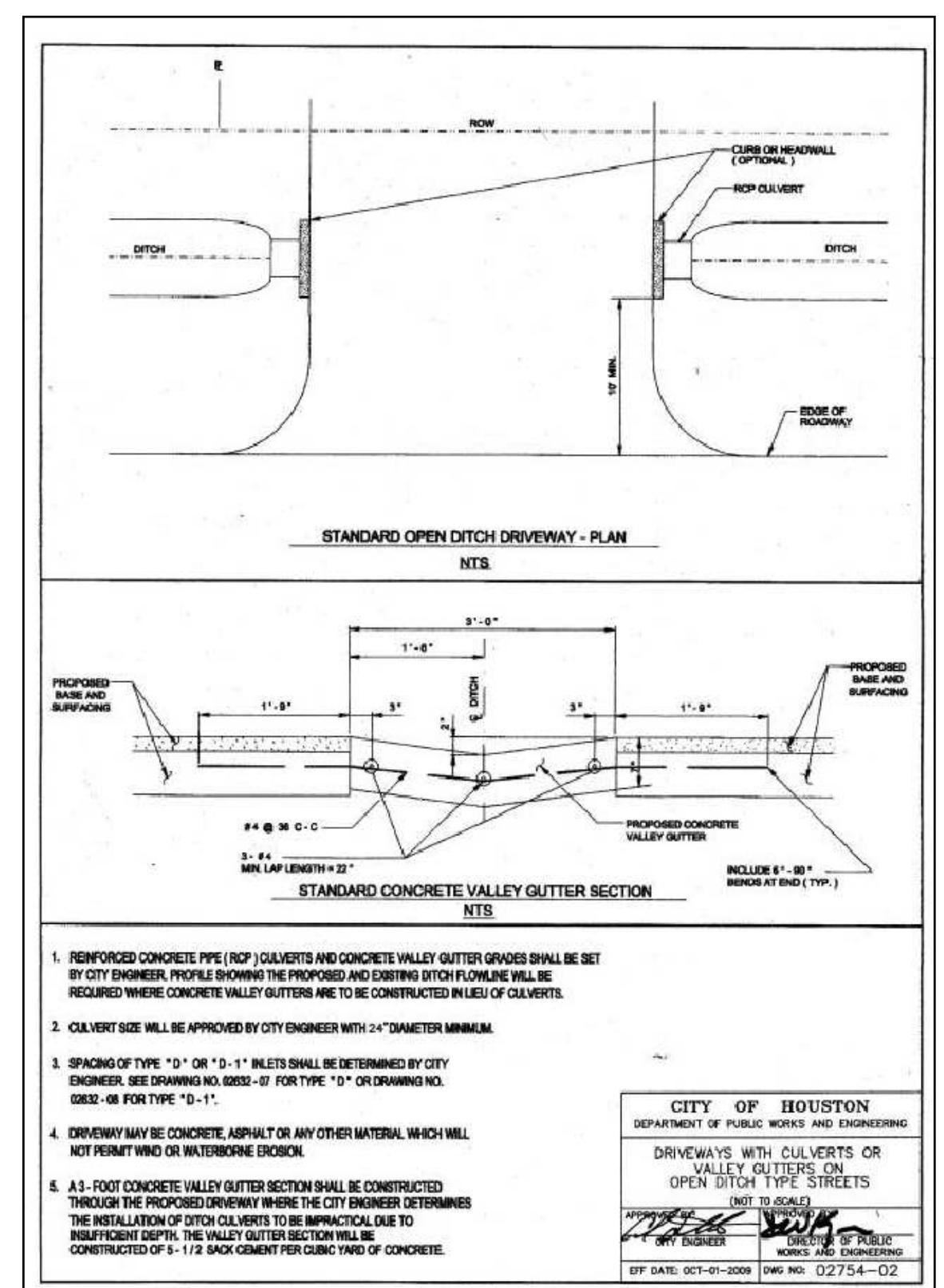
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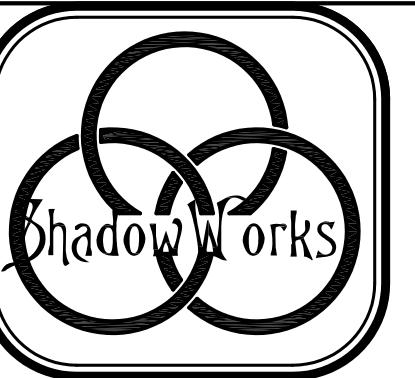
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**NOTE:**  
EXISTING OBSTRUCTION (POLES, SIGNS, ETC.)  
SHALL BE REMOVED/RELOCATED FROM  
PROPOSED DRIVEWAY/SIDEWALK

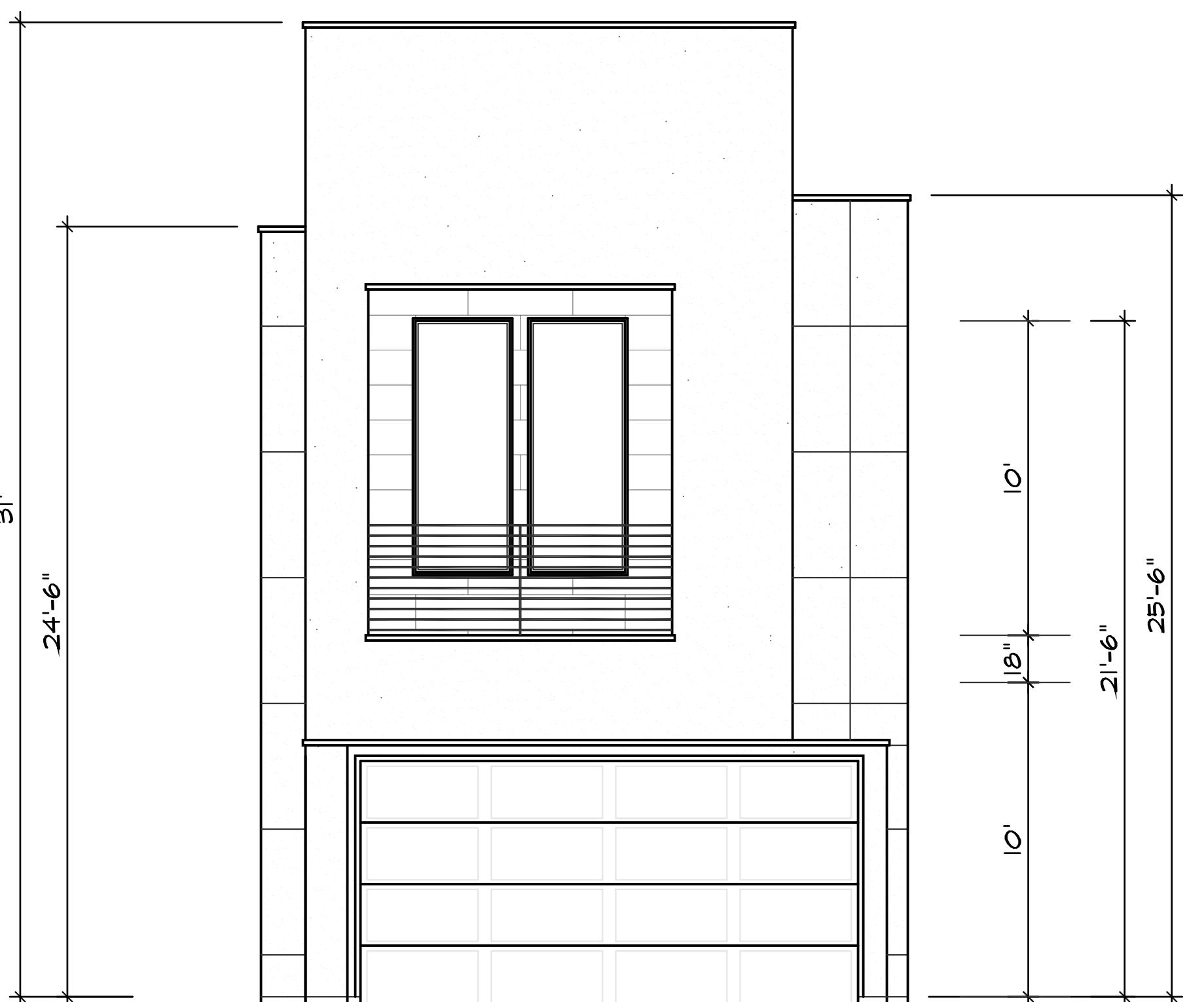


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# EDGE STREET TERRACE

A diagram consisting of three horizontal black lines. The top and bottom lines each have a vertical double bar at both ends. The middle line has a vertical double bar at its right end and a single vertical line at its left end.



# FRONT ELEVATION

# ELEVATIONS

SCALE:  $1/4" = 1'-0"$

## **GENERAL NOTES:**

SALVANIZED FLASHING (26 GAUGE) AT ALL VALLEYS,  
HIPS AND RIDGES. PROVIDE FOR VENTILATION  
PROJECTIONS THRU ROOF WITH FLANGES AND  
EXTEND 8" BEYOND SLEEVE.

**GALVANIZED IRON FLASHING AT ALL ROOF TO WALL  
AND ROOF TO CHIMNEY INTERFACES.**

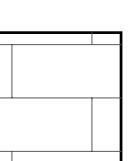
**CHIMNEY TERMINATIONS TO BE MIN. 24" ABOVE ANY  
ROOF SURFACES WITHIN A 10'-0" RADIUS.**

PROVIDE CHIMNEY FLUE SPARK ARRESTORS  
MAX. 1/2" GAP MESH WHICH COMPLIES WITH  
R1001.6.1 OR EQUAL CODE REQUIREMENTS.

ROOF GUTTERS AND DOWN SPOUTS PER

**CONTINUOUS GALVANIZED IRON EAVE FLASHING.**

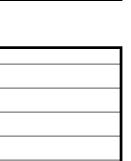
APPLIED CRICKET ROOFING SHALL BE APPLIED  
OVER MAIN ROOF DECK AND FRAME.



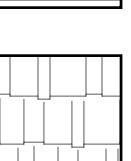
Woor



STK60



HAPPY BOARDS



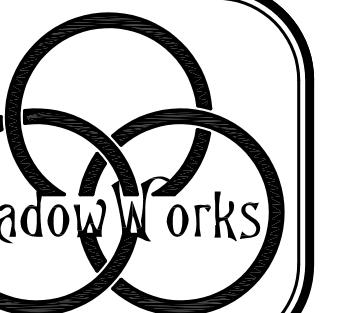
# LEFT ELEVATION

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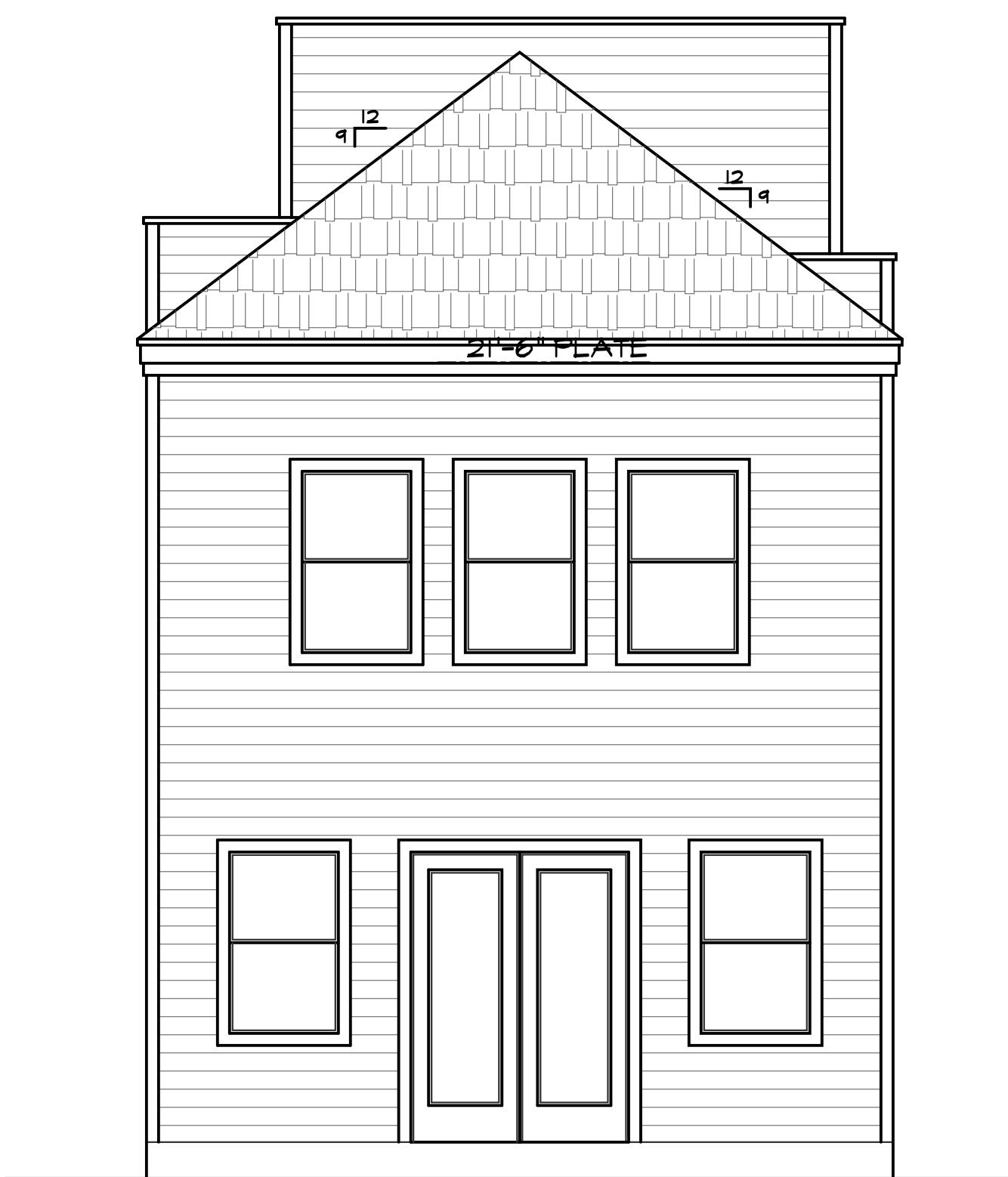
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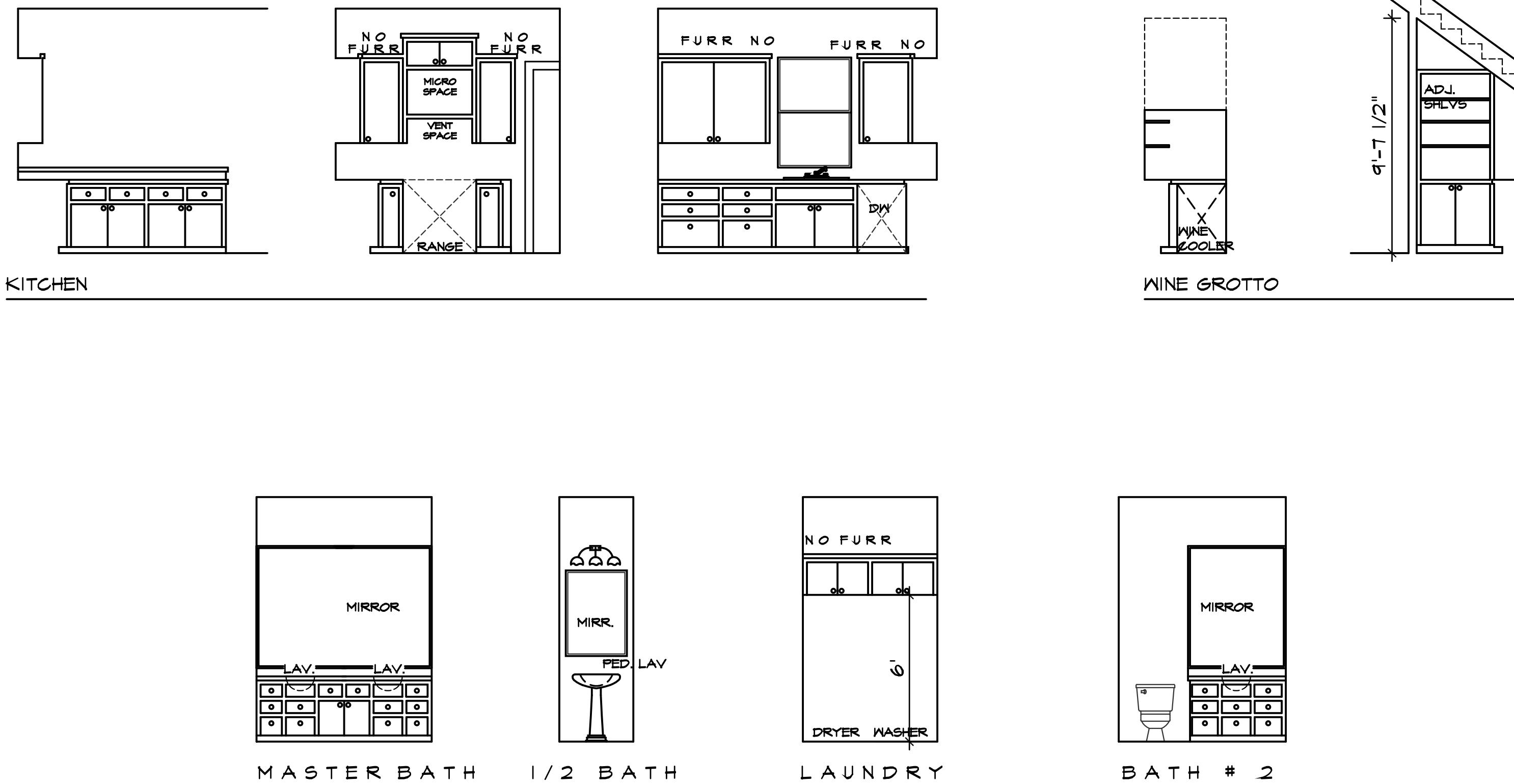
# EIGEL STREET TERRACE

LVL



**REAR ELEVATION**

SCALE:  $1/4'' = 1'-0''$



## ELEVATIONS

SCALE:  $1/4'' = 1'-0''$

### GENERAL NOTES:

GALVANIZED FLASHING (26 GAUGE) AT ALL VALLEYS, HIPS AND RIDGES. PROVIDE FOR VENTILATION PROJECTIONS THRU ROOF WITH FLANGES AND EXTEND 8" BEYOND SLEEVE.

GALVANIZED IRON FLASHING AT ALL ROOF TO WALL AND ROOF TO CHIMNEY INTERFACES.

CHIMNEY TERMINATIONS TO BE MIN. 24" ABOVE ANY ROOF SURFACES WITHIN A 10'-0" RADIUS.

PROVIDE CHIMNEY FLUE SPARK ARRESTORS WITH MAX. 1/2" GAP MESH WHICH COMPLIES WITH I.R.C. R100.6.1 OR EQUAL CODE REQUIREMENTS.

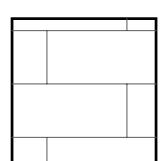
ROOF GUTTERS AND DOWN SPOUTS PER SPECIFICATIONS SEE BUILDER.

CONTINUOUS GALVANIZED IRON EAVE FLASHING.

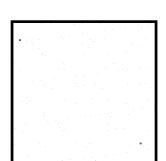
ATTIC VENTILATION TYPE AND AMOUNT PER SPECIFICATIONS SEE BUILDER.

APPLIED CRICKET ROOFING SHALL BE APPLIED OVER MAIN ROOF DECK AND FRAME.

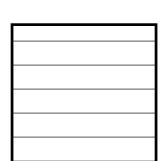
ROOF PLATE HEIGHTS SHOWN ARE AT EXTERIOR FRAME WALL CONDITIONS, ADJUST ROOF PLATE HEIGHT FROM HEIGHT SHOWN AT CONDITIONS WHERE THE ROOF IS SUPPORTED BY BEAMS CENTERED OVER LOAD BEARING COLUMNS.



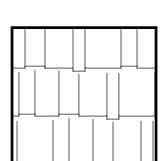
WOOD



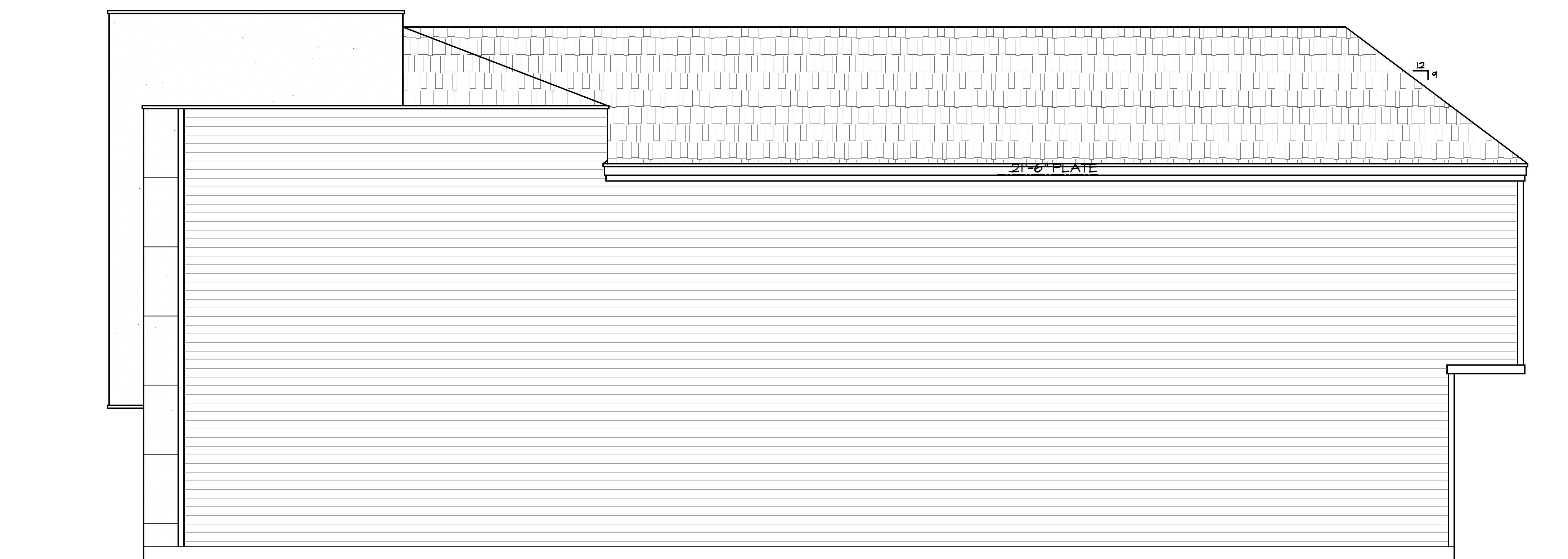
STUCCO



HARDIE BOARD



COMPOSITION SHINGLES



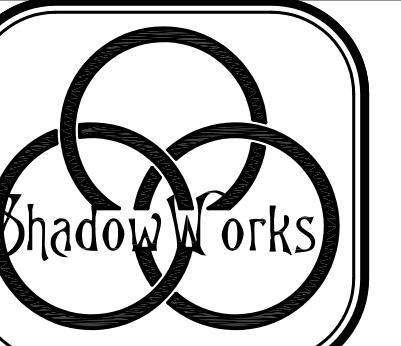
**RIGHT ELEVATION**

SCALE:  $1/4'' = 1'-0''$

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Ex. 9'0" means 9 feet 0 inches. All dimensions are to be read as follows:  
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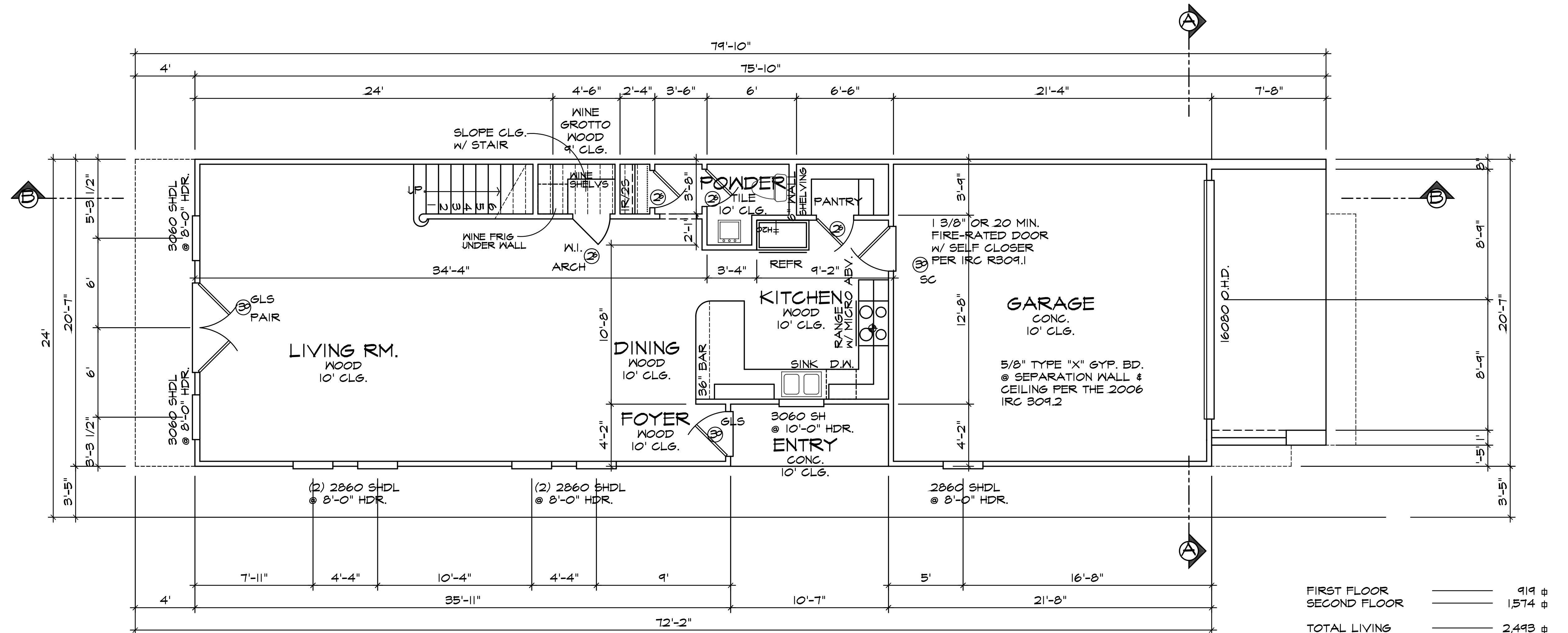
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DRN. BY BG CK'D BY BG  
SHEET NO: 5  
4128 EIGEL ST.



# EIGEL STREET TERRACE

LKL

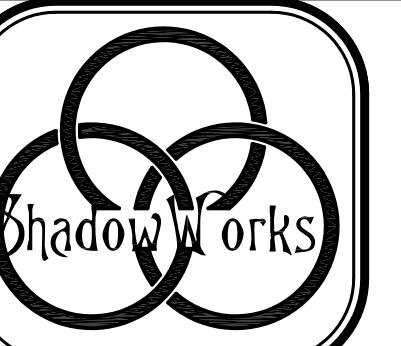


FIRST FLOOR	919 $\phi$
SECOND FLOOR	1,574 $\phi$
TOTAL LIVING	2,493 $\phi$
GARAGE	441 $\phi$
ENTRY	42 $\phi$
PORTE - COCHERE	147 $\phi$
BALCONY	51 $\phi$
TOTAL COVERED	3,174 $\phi$

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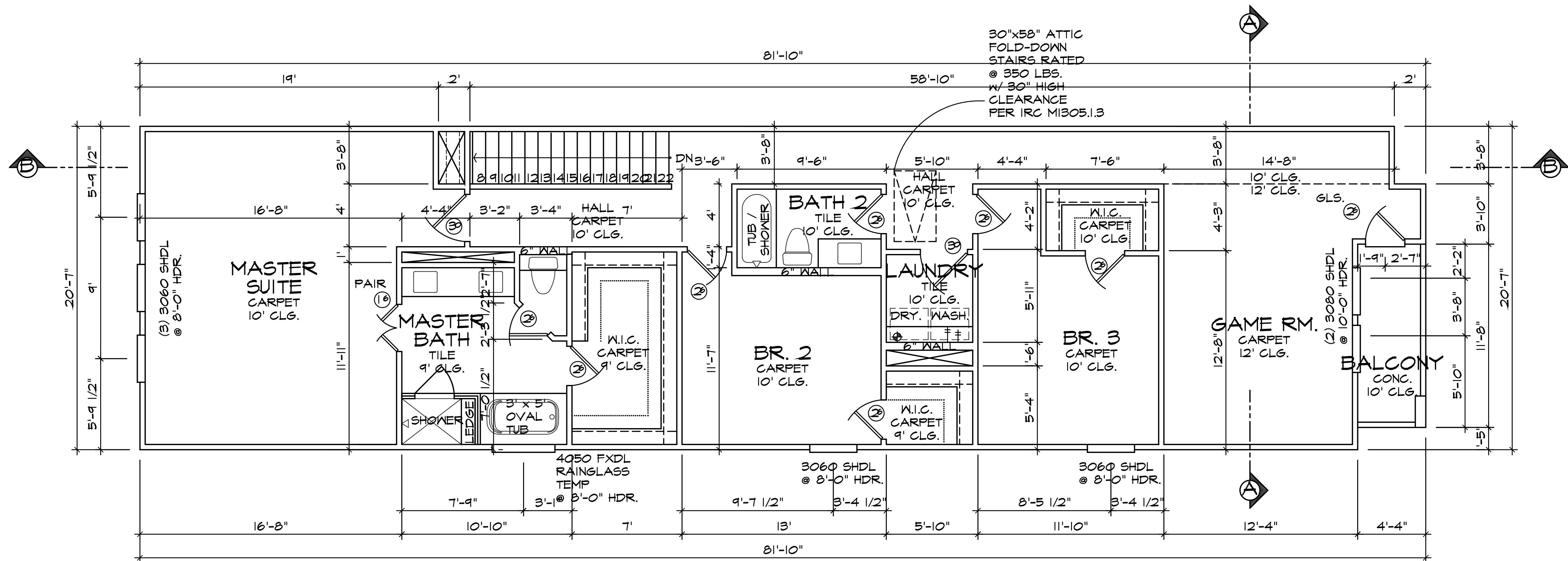
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4128 EIGEL ST.	



# EIGEL STREET TERRACE

LKL



SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES**

10'-0" CEILINGS @ FIRST FLOOR UNLESS NOTED OTHERWISE.  
9'-0" CEILINGS @ SECOND FLOOR UNLESS NOTED OTHERWISE.  
8'-0" HEADER HEIGHTS @ FIRST FLOOR UNLESS NOTED OTHERWISE.  
7'-0" HEADER HEIGHTS @ SECOND FLOOR UNLESS NOTED OTHERWISE.  
ALL ANGLES TO BE 45 DEG. UNLESS NOTED OTHERWISE.  
2 X 4 STUDS AT ALL EXTERIOR WALLS @ FIRST FLOOR UNLESS NOTED OTHERWISE.  
VERIFY ALL EXTERIOR AND INTERIOR TRIM & DETAILS W/ OWNER.  
WALL STUDS @ FIRST FLOOR SHALL BE #2 DOUGLAS FIR 2x4 @ 16" O.C. UNLESS NOTED OTHERWISE.  
WALLS & CEILING'S SHALL BE 1/2" ASTM-36 GYPSUM WALLBOARD W/ RECESSED LONGITUDINAL EDGE SAND INSTALLED IN ACCORDANCE W/ "AMERICAN STANDARD NOTES FOR THE APPLICATION AND FINISHING OF GYPSUM WALLBOARD".  
ENCLOSE UNDERSIDE OF STAIRWELLS, WALLS AND CEILINGS OF ATTACHED GARAGES W/ 5/8" TYPE "X" FIRE RATED GYPSUM BOARD.

REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL FURRING AND FRAMING INFORMATION.

INTERIOR DOORS SHALL BE 1 3/8" HOLLOW CORE.

EXTERIOR DOORS SHALL BE 1 3/4" SOLID CORE. REFER TO EXTERIOR ELEVATIONS AND OWNER.

ALL BEDROOM WINDOWS TO BE MAX. 44" ABOVE FIN. FLR. W/ A MIN. 24" HIGH AND 20" WIDE OPENING WHICH PROVIDES A MIN. OF 5.7 SQ. FT. NET CLEAR OPENING.

STAIRWAYS SHALL COMPLY W/ I.R.C. - R311.2.2 OR EQUAL. MIN. WIDTH BETWEEN HANDRAILS SHALL BE 30", HEIGHT ABOVE NOSE OF TREAD SHALL BE MIN. 34" AND MAX. 38", HAND GRIPPING PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1 1/2" AND NOT MORE THAN 2" IN CROSS SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT SMOOTH GRIPPING SURFACE. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL. HANDRAILS SHALL BE CONTINUOUS TO THE FULL LENGTH OF THE STAIRS AND SHALL TERMINATE IN A NEWEL POST OR SAFETY TERMINAL.

ALL GUARDRAILS SHALL COMPLY W/ I.R.C. - 311.5.6.3 OR EQUAL. MIN. HEIGHT ABOVE FIN. FLR. TO BE 42" W/ BALUSTERS AT MAX. 4" O.C.

APPROVED SMOKE DETECTORS REQUIRE 120V. CONNECTION TO HOUSE WIRING AND BATTERY BACKUP. LOCATIONS SHALL COMPLY W/ I.R.C. - R318.1 OR EQUAL.

PROVIDE VENTILATION AT ALL BATHS AND UTILITY RMS. THROUGH NATURAL OR MECHANICAL MEANS WHICH COMPLY W/ IRC R317.1 OR EQUAL.

ATTIC WATER HEATER LOCATED OVER WALL PARTITION BELOW. PROVIDE MIN. 2'-0" WIDE DECKED SERVICE WALK FROM ATTIC STAIRS. PROVIDE 26 GAUGE METAL DRAIN PAN (SIZE PER WATER HEATER CAPACITY AND CITY REQ.) FASTENED TO FLOOR DECK BELOW. PAN DRAIN LINE AND WATER HEATER PRESSURE RELIEF LINE SHALL BE VENTED TO EXTERIOR, NOT INTO SANITARY SEWER. CLEARANCE FROM TOP OF WATER HEATER TO BOTTOM OF RAFTERS SHALL NOT BE LESS THAN 12". GAS EQUIPMENT SHALL BE PROVIDED APPROPRIATE ATTIC VENTILATION FOR COMBUSTION AIR AND MIN. 4" DIA. PREFAB FLUE FLASHED WHERE IT IS VENTED THROUGH THE ROOF DECK.

ALL PREFABRICATED METAL FIREPLACES AND APPLIANCES ARE TO BE U.L. AND I.C.B.O. APPROVED AND A COPY OF THE MANUF. INSTALLATION MANUAL SHALL BE AVAILABLE AT THE JOB SITE FOR THE BUILDING INSPECTORS REVIEW.

THESE DRAWINGS, FOR THIS DESIGN, HAVE BEEN DEVELOPED AND ISSUED WITHOUT KNOWLEDGE OR REFERENCE TO A SPECIFIC GEOGRAPHIC LOCATION. THEREFORE, SUPPLEMENTAL TO THESE DOCUMENTS IS THE OWNER AND HIS BUILDER(S) RESPONSIBILITY FOR FOLLOWING MATERIAL AND EQUIPMENT MANUFACTURER'S INSTRUCTIONS, AND USING RECOGNIZED STANDARDS FOR EACH BUILDING CRAFT TRADE, AS WELL AS COMPLIANCE IN FULL WITH ALL GOVERNING CODE REQUIREMENTS FOR THE GEOGRAPHICAL AREA IN WHICH THIS HOUSE IS TO BE BUILT.

CONTRACTOR AND/OR OWNER SHALL VERIFY ALL DIMENSIONS, DETAILS AND DRAWINGS. EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THESE DRAWINGS AND/OR SPECIFICATIONS TO AVOID MISTAKES. CDS WILL NOT BE LIABLE FOR ERRORS AFTER CONSTRUCTION HAS STARTED.

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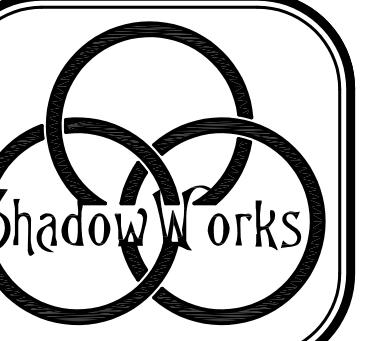
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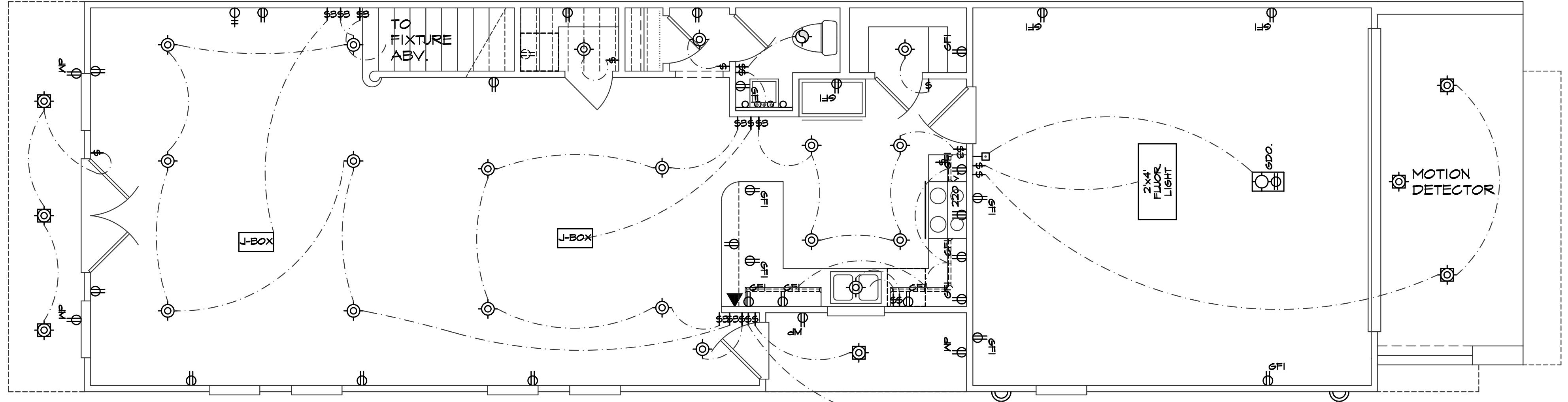
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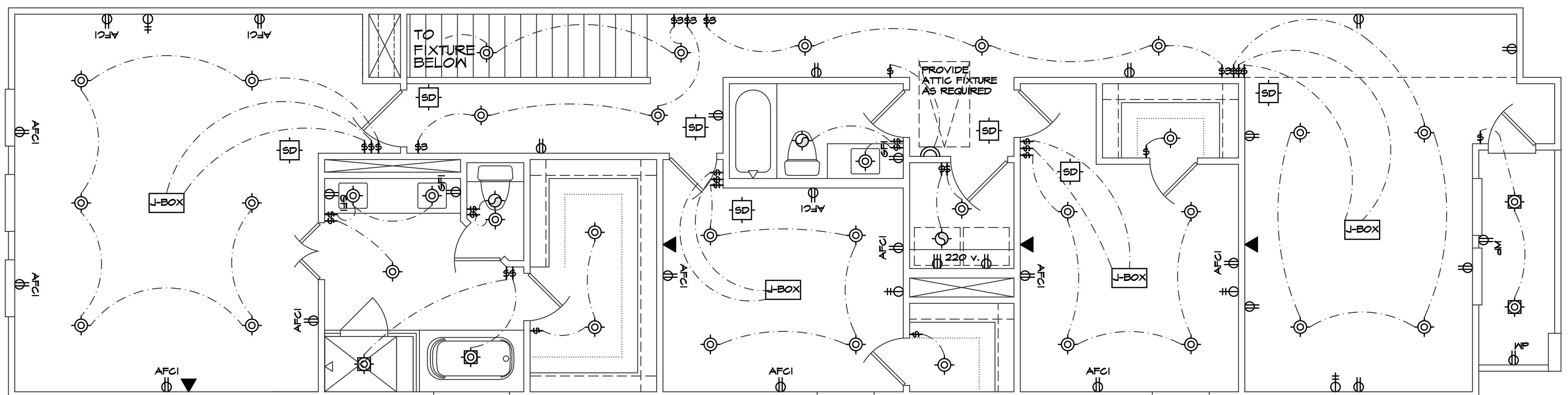
# EIGEL STREET TERRACE

LKL



FIRST FLOOR  
ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR  
ELECTRIC PLAN

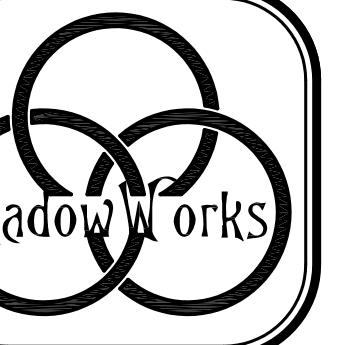
SCALE: 1/4" = 1'-0"

ELECTRICAL SYMBOLS	
symbol	description
CLE. FAN w/ LIGHT	ceiling fan w/ light kit
CLE. FAN	ceiling fan w/o light kit
2x4' FLUOR. LIGHT	fluorescent light fixture
CLG. LIGHT	ceiling light fixture
RECESSED LIGHT	recessed light
LOW-VOLTAGE RECESSED LIGHT	low-voltage recessed light
RECESSED SPOT LIGHT	recessed eyeball spot light
SPKRS. RECESSED IN CLG.	speakers recessed in clg.
RECESSED WEATHERPROOF LIGHT	recessed weatherproof light
WALL MOUNTED LIGHT - SCONCES	wall mounted light - sconces
CLG. LIGHT w/ PULL CHAIN	ceiling light w/ pull chain
SD	ceiling mounted smoke detector inter-connected as per the IRC R313.3
WD	wall mounted smoke detector inter-connected as per the IRC R313.3
EXHAUST FAN	exhaust fan
TELEPHONE JACK	telephone jack
TV/CABLE JACK	television / cable jack
110 VOLT ELECTRICAL OUTLET	110 volt electrical outlet
AFCI	Arc-fault Circuit Interrupters outlet
220 V.	220 volt electrical outlet
110 VOLT EXTERIOR WEATHERPROOF OUTLET	110 volt exterior weatherproof outlet
LIGHT SWITCH	light switch
3 WAY LIGHT SWITCH	3 way light switch
PUSH-BUTTON SWITCH	push-button switch
EXTERIOR FLOOD LIGHTS	exterior flood lights
MAKE-UP LIGHT BAR	make-up light bar
UNDER-CABINET LIGHTING	under-cabinet lighting
LOW VOLT STRIP LIGHTS	low volt strip lights
GARAGE DOOR OPENER w/ INTEGRAL LIGHT	garage door opener w/ integral light

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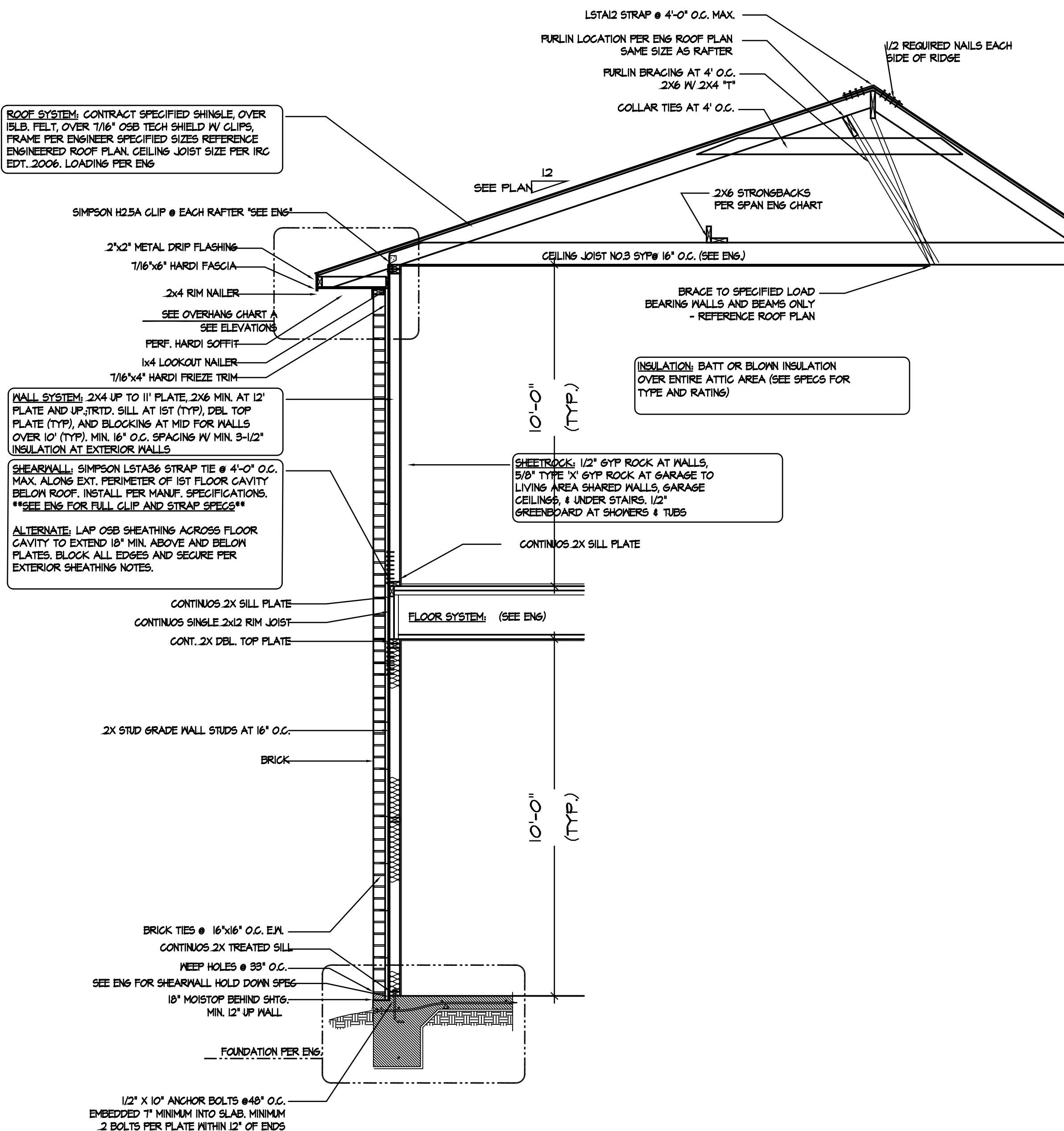
# GEL STREET TERRACE

A diagram showing a horizontal line with two vertical tick marks at its ends. A V-shaped cutout is made into the line, starting from the left tick mark and ending at the right tick mark.

This architectural elevation drawing illustrates a building's facade with several distinct sections. The leftmost section is a vertical wall. To its right is a two-story section with a central entrance. A vertical dimension line indicates a height of 8' 0" from the base of this section to the top of the second-story roofline. Above this, a stepped roof section rises to a total height of 10' 0". A vertical dimension line for this section shows a height of 8' 2" from the base to the peak. The rightmost section is a single-story wall. A callout bubble points to this section with the label "ROOF IN FOR-GROUND". A vertical dimension line for this section shows a height of 8' 7" from the base to the peak. The entire drawing is enclosed in a dashed rectangular border.

CROSS SECTION B-B

**NOTE:**  
REFER TO ENGINEERING DRAWINGS  
FOR FRAMING MEMBER SIZE AND  
LOCATIONS.



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