

PROPERTY COMMERCIALIZADORA JS LLC

NEW BUILDING - SHOPPING CENTER

300 CHIQUITA BLVD S, CAPE CORAL, FL. 33991



ARCHITECTURAL NOTES	SCOPE OF WORK	AERIAL VIEW	LOCATION SKETCH	ZONING INFORMATION																																				
<ul style="list-style-type: none"> * NOT ALL REQUIREMENTS & NOTES MAY APPLY TO THIS PROJECT. - THE CONTRACTOR SHALL INSPECT ALL EXISTING CONDITIONS, VERIFY ALL ON SITE DIMENSIONS, EQUIPMENT AND BUILDING SERVICE REQUIREMENTS PRIOR TO COMMENCEMENT OF WORK. ORIGINAL BUILDING PLANS SHOULD BE REVIEWED TO ASSESS THE ENTIRE SCOPE OF THE PROJECT. - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH ALL OTHER TRADES INCLUDING THE EXISTING STRUCTURAL ELEMENTS OF THE BUILDING. - THE CONTRACTOR SHALL PROVIDE ALL ELEMENTS OF THE SYSTEMS AS INTENDED BY THE DESIGN TO RESULT IN COMPLETE AND WORKABLE SYSTEMS IN ACCORDANCE WITH ALL STATE AND LOCAL CODES, SAFETY STANDARDS AND GOVERNING ORDINANCES. - ALL FINISH MATERIALS CHOSEN FOR THIS SPACE WILL BE DETERMINED BY CHOICE OF OTHERS - ALL CONSTRUCTION SHALL CONFORM TO ALL CODE REGULATIONS AND RESTRICTIONS HAVING JURISDICTION - THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS FROM PROJECT SITE - DRAWINGS ARE DIAGRAMMATIC, DO NOT SCALE FOR EXACT LOCATION OF OPENINGS, FIXTURES, EQUIPMENT, ETC. WITH PROGRESS OF THE CONSTRUCTION. - ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE - REQUIRED INSURANCE SHALL BE PROVIDED BY CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK - CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTIONS AND TESTS. - CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON JOB PRIOR TO BEGINNING CONSTRUCTION. - DIMENSIONS SHALL TAKE PRECEDENCE OVER DRAWINGS. 	<p>NEW SHOPPING CENTER BUILDING</p> <ul style="list-style-type: none"> • PROPOSED 1-STORY COMMERCIAL WITH 10 TENANTS SPACE, 1 & 1 ADMINISTRATION OFFICE, AS SHOWN ON PLANS. <p>DRAWING INDEX</p> <table border="1"> <thead> <tr> <th>ARCHITECTURAL</th> <th>ELECTRICAL</th> </tr> </thead> <tbody> <tr> <td>A-0 COVERED SHEET</td> <td>E-1</td> </tr> <tr> <td>A-1 SITE PLAN</td> <td>E-2</td> </tr> <tr> <td>A-2 GENERAL FLOOR PLAN & ROOF PLAN</td> <td>E-3</td> </tr> <tr> <td>A-3 PARTIAL FLOOR PLAN PART "A" & NOTES</td> <td></td> </tr> <tr> <td>A-4 PARTIAL FLOOR PLAN PART "B" & NOTES</td> <td></td> </tr> <tr> <td>A-5 PARTIAL FLOOR PLAN PART "C" & NOTES</td> <td></td> </tr> <tr> <td>A-6 ELEVATION</td> <td></td> </tr> <tr> <td>A-7 ELEVATIONS</td> <td></td> </tr> <tr> <td>A-8 ELEVATIONS & TYPICAL SECTION</td> <td></td> </tr> <tr> <td>A-9 SECTIONS</td> <td></td> </tr> <tr> <td>A-10 DETAILS</td> <td></td> </tr> </tbody> </table> <p>LIFE SAFETY</p> <table border="1"> <tbody> <tr> <td>LS-01 LIFE SAFETY PLAN PART "A" & NOTES</td> <td></td> </tr> <tr> <td>LS-02 LIFE SAFETY PLAN PART "B"</td> <td></td> </tr> <tr> <td>LS-03 LIFE SAFETY PLAN PART "C"</td> <td></td> </tr> </tbody> </table> <p>GENERAL FINISH NOTES</p> <p>SECURITY AND FORCE PROTECTION</p> <ul style="list-style-type: none"> * NOT ALL REQUIREMENTS & NOTES MAY APPLY TO THIS PROJECT. 1. UNLESS OTHERWISE NOTED EXTEND ALL FRAMING, AND GYPSUM BD. 6" ABOVE CEILING, ALL WALLS ARE REQUIRED TO BE ANCHORED TO DECK ABOVE. 2. UNLESS OTHERWISE NOTED ALL CONCRETE WALLS WITHIN FINISHED SPACES SHALL HAVE 5/8" GYP. BD OVER 7/8" METAL FURRING AT 16" O.C. VERTICAL (TYPICAL) W/ R-5.0 RIGID BOARD INSULATION TO UNDERSIDE OF ROOF STRUCTURE. 3. CERAMIC FLOOR TILE IN TOILET ROOM / EXISTING TO REMAIN 4. NEW FLOORING AT EXISTING CONCRETE SLAB 5. SUSPENDED ACOUSTICAL TILE CEILINGS UNLESS OTHERWISE NOTED, WILL BE AS FOLLOWS: "ARMSTRONG" CORTEGA MEDIUM TEXTURE ANGLED REGULAR EDGE #704 24" x 24" x 5/8" WITH 9/16" GRID, COLOR WILL BE WHITE. 6. VINYL WALL BASE, COLOR SHALL BE SELECTED BY TENANT 7. ALL GYPSUM BOARD SHALL BE TAPE, SPACKLED AND SANDED SMOOTH TO RECEIVE PRIMER AND TWO COATS EGGSHELL INTERIOR LATEX PAINT SHERWIN WILLIAMS, OR BENJAMIN MOORE, COLORS TO MATCH EXISTING AS SELECTED BY TENANT 7. NO DOOR IN ANY MEANS OF ESCAPE SHALL BE LOCKED AGAINST EGRESS WHEN THE BUILDING IS OCCUPIED. ALL LOCKING DEVICES WHICH IMPEDE OR PROHIBIT EGRESS OR WHICH CANNOT BE EASILY DISENGAGED SHALL BE PROHIBITED. 	ARCHITECTURAL	ELECTRICAL	A-0 COVERED SHEET	E-1	A-1 SITE PLAN	E-2	A-2 GENERAL FLOOR PLAN & ROOF PLAN	E-3	A-3 PARTIAL FLOOR PLAN PART "A" & NOTES		A-4 PARTIAL FLOOR PLAN PART "B" & NOTES		A-5 PARTIAL FLOOR PLAN PART "C" & NOTES		A-6 ELEVATION		A-7 ELEVATIONS		A-8 ELEVATIONS & TYPICAL SECTION		A-9 SECTIONS		A-10 DETAILS		LS-01 LIFE SAFETY PLAN PART "A" & NOTES		LS-02 LIFE SAFETY PLAN PART "B"		LS-03 LIFE SAFETY PLAN PART "C"				<p>OCCUPANCY/USE: VACANT LOT (CP) COMMERCIAL AND PROFESSIONAL SERVICES -RETAIL < 30,000 SF. PER TENANT</p> <p>ZONING CLASSIFICATION: C - COMMERCIAL</p> <p>APPLICABLE BUILDING CODE:</p> <p>FLORIDA BUILDING CODE 8TH EDITION (2023) - BUILDING FLORIDA BUILDING CODE 8TH EDITION (2023) - EXISTING BUILDING FLORIDA FIRE PREVENTION CODE 8TH EDITION NFPA 101-2021 NATIONAL ELECTRICAL CODE EDITION / NEC 2020</p> <p>CLASSIFICATION</p> <p>OCCUPANCY GROUP: (CP) COMMERCIAL AND PROFESSIONAL SERVICES -RETAIL < 30,000 SF. PER TENANT</p> <p>PROJECT CONSTRUCTION: NEW CONSTRUCTION</p> <p>CONSTRUCTION TYPE: TYPE II-B; Sprinklers, Fire Alarm</p> <p>UNIT AREA: 10,204 SF.</p> <p>LOT AREA: 40,000 SF. (0.92 ACRES)</p> <p>PARKING REQUIREMENTS:</p> <table border="1"> <tr> <td>RETAIL LARGE CONSUMER GOODS 1 SPACE / 500 SF. OF GROSS FLOOR AREA</td> <td>REQUIRED</td> <td>PROVIDED</td> </tr> <tr> <td>21</td> <td>37</td> <td></td> </tr> </table>	RETAIL LARGE CONSUMER GOODS 1 SPACE / 500 SF. OF GROSS FLOOR AREA	REQUIRED	PROVIDED	21	37	
ARCHITECTURAL	ELECTRICAL																																							
A-0 COVERED SHEET	E-1																																							
A-1 SITE PLAN	E-2																																							
A-2 GENERAL FLOOR PLAN & ROOF PLAN	E-3																																							
A-3 PARTIAL FLOOR PLAN PART "A" & NOTES																																								
A-4 PARTIAL FLOOR PLAN PART "B" & NOTES																																								
A-5 PARTIAL FLOOR PLAN PART "C" & NOTES																																								
A-6 ELEVATION																																								
A-7 ELEVATIONS																																								
A-8 ELEVATIONS & TYPICAL SECTION																																								
A-9 SECTIONS																																								
A-10 DETAILS																																								
LS-01 LIFE SAFETY PLAN PART "A" & NOTES																																								
LS-02 LIFE SAFETY PLAN PART "B"																																								
LS-03 LIFE SAFETY PLAN PART "C"																																								
RETAIL LARGE CONSUMER GOODS 1 SPACE / 500 SF. OF GROSS FLOOR AREA	REQUIRED	PROVIDED																																						
21	37																																							
STRAD ID: 1044-23-C2-03980.0470 FOLIO ID: 108195 PROPERTY ADDRESS: 300 CHIQUITA BLVD S, FL 33991. TOTAL LOT AREA (SF): 40,000 FLOOD ZONE: X BASE FLOOD ELEVATION: N/A	<p>PROPERTY INFORMATION</p> <p>COMMUNITY: LEE COUNTY CITY OF CAPE CORAL: 125095 MAP & PANEL #: 12071 C 0244 LOT 47, 48, 49, 50, 51, 52, 53, 54, BLOCK 3680 EXISTING CONDITION: VACANT LOT OF "CAPE CORAL UNIT 50" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 17, AT PAGE 159, OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA.</p> <p>FLOOD ZONE: X ELEVATION: N/A</p>	<p>NORTH SIDE "206 CHIQUITA BLVD S" LOT 46 OCCUPANCY "C" VACANT</p> <p>SOUTH SIDE "312 CHIQUITA BLVD S" LOT 55 OCCUPANCY "C" RESIDENCE</p> <p>WEST SIDE "207, 211, 215, 303, 307, CHIQUITA BLVD S" LOT 11-18 OCCUPANCY "C" VACANT</p>																																						

PROJECT NAME

COMMERCIALIZADORA JS LLC
PROPERTY

NEW SHOPPING CENTER

PROJECT ADDRESS

300 CHIQUITA BLVD S
CAPE CORAL FL 33991

REVISION

Project No: 2024-438

Scale: AS NOTED

Date: 11-06-24

Draw: C.M.

Checked: J.V. / O.P.

CADD File: 300 CHIQUITA BLVD S 05-06-25.dwg

DRAWN



DRAWING TITLE

COVERED SHEET

A-0

NOTE: CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION & SITE CONDITIONS

**COMMERCIALIZADORA JS LLC
PROPERTY**

NEW SHOPPING CENTER

PROJECT ADDRESS

300 CHIQUITA BLVD S
CAPE CORAL FL 33991

REVISION

Project No: 2024-438
Scale: AS NOTED
Date: 11-06-24
Draw: C.M.
Checked: J.V. / O.P.
CADD File: 300 CHIQUITA BLVD S 05-06-25.dwg



DRAWN

JOSE VALERO

DRAFTING SERVICES
300 CHIQUITA BLVD S
www.jvds.pro

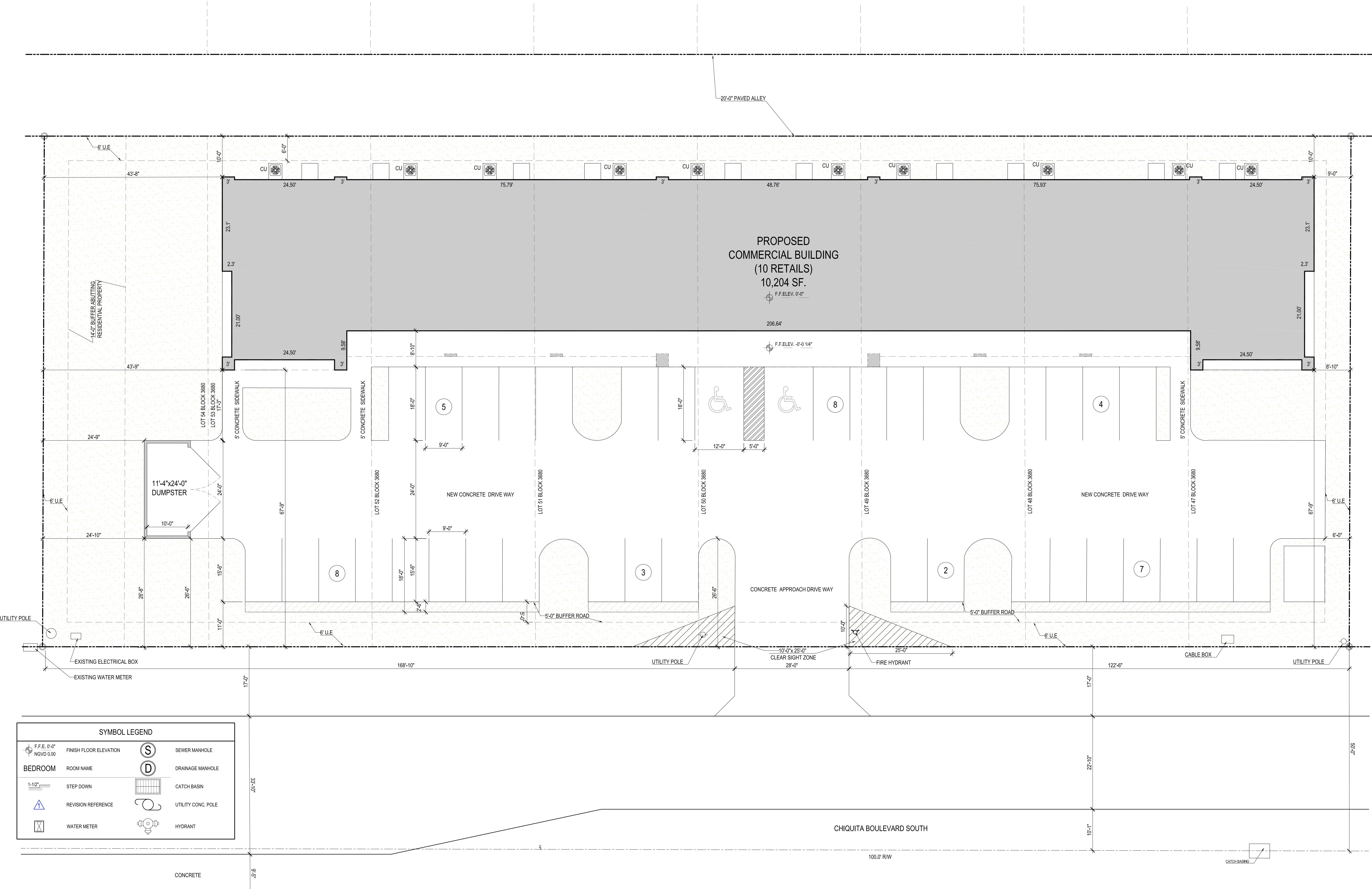
NOTE: CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION & SITE CONDITIONS

DRAWING TITLE

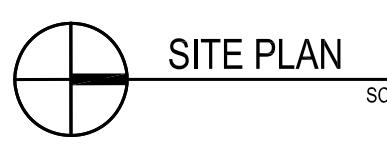
SITE PLAN

SHEET NO.

A-1



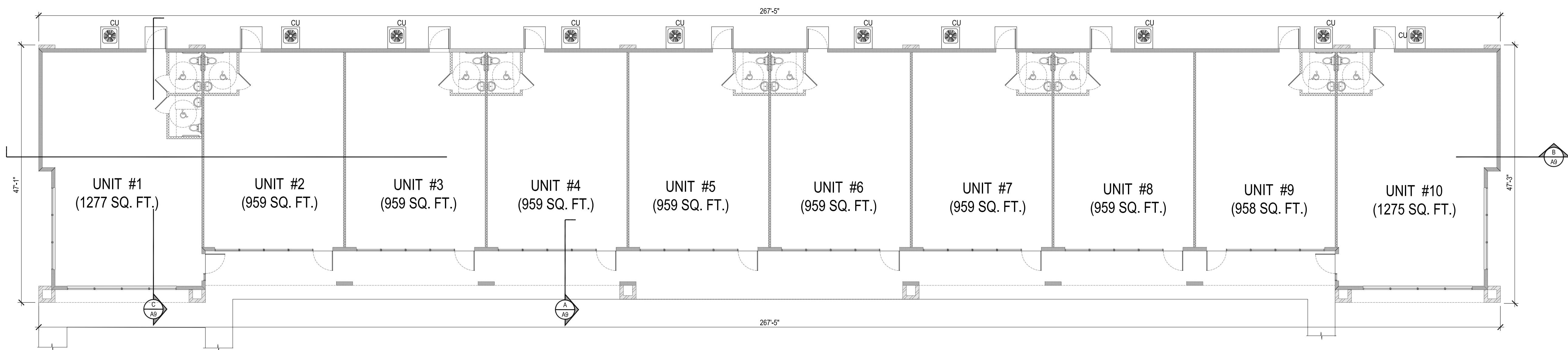
SYMBOL LEGEND	
F.F.E. 0'-0" NGVD 0.00	FINISH FLOOR ELEVATION
BEDROOM	ROOM NAME
1-1/2"	STEP DOWN
△	REVISION REFERENCE
CONCRETE	WATER METER
(S)	SEWER MANHOLE
(D)	DRAINAGE MANHOLE
10'-0" x 12'-0"	CATCH BASIN
CONCRETE	UTILITY CONC. POLE
HYDRANT	HYDRANT



SITE PLAN

SCALE 3/32=1'-0"

NOTE: CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION & SITE CONDITIONS



GENERAL FLOOR PLAN
SCALE 3/32=1'-0"

PROJECT NAME

COMMERCIALIZADORA JS LLC PROPERTY

NEW SHOPPING CENTER

PROJECT ADDRESS

300 CHIQUITA BLVD S
CAPE CORAL FL 33991

REVISION

Project No: 2024-438

Scale: AS NOTED

Date: 11-06-24

Drawn: C.M.

Checked: J.V. / O.P.

CADD File: 300 CHIQUITA BLVD S 05-06-25.dwg

DRAWN

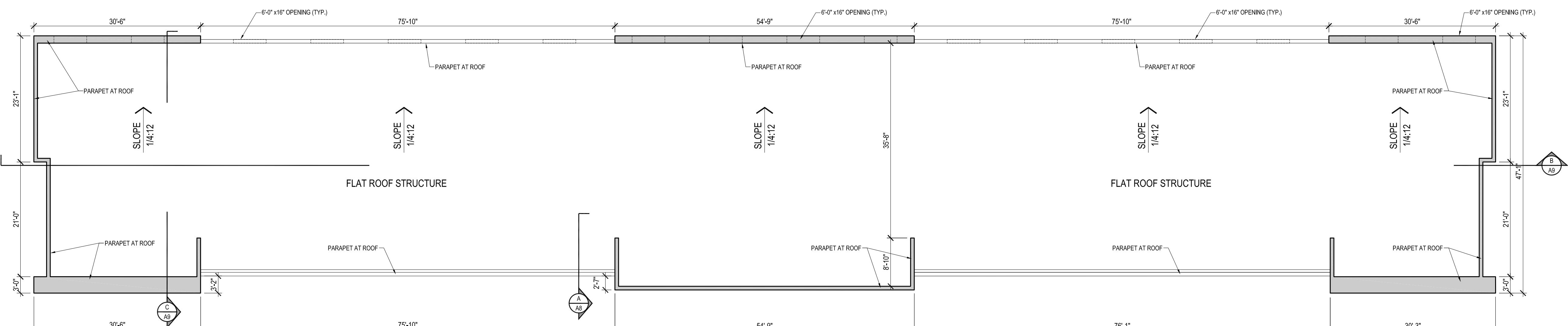


DRAWING TITLE

GENERAL FLOOR PLAN &
ROOF PLAN

A-2

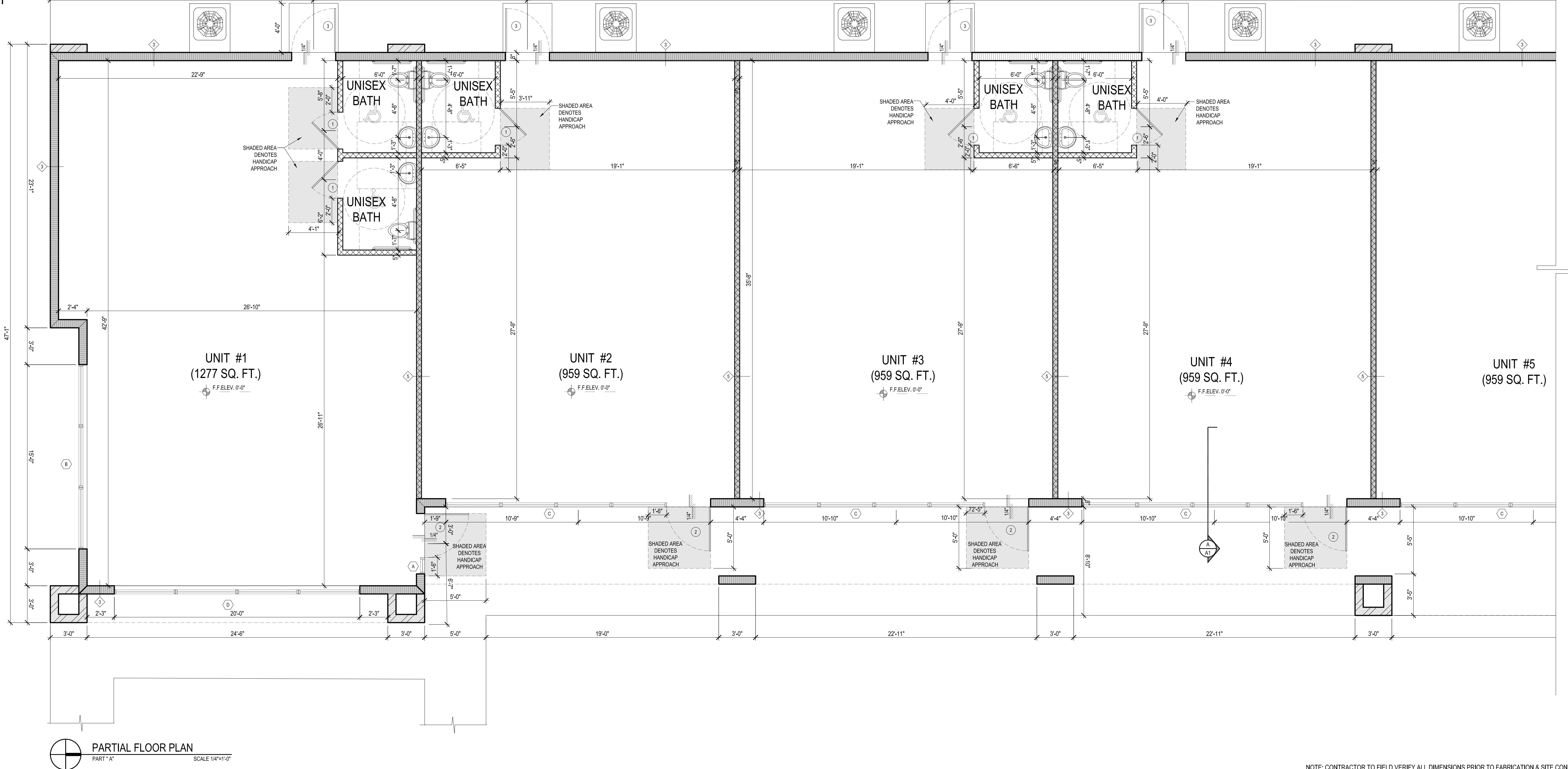
NOTE: CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION & SITE CONDITIONS



GENERAL ROOF PLAN
SCALE 3/32=1'-0"

SHEET NO.

CONSTRUCTION NOTES		DOORS SCHEDULE									
* NOT ALL REQUIREMENTS & NOTES MAY APPLY TO THIS PROJECT.											
BATHROOM FLOORS AND BASE TO BE OF IMPERVIOUS MATERIAL AS PER R307.2 F.B.C.											
IN AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE, THE MODE OF OPERATION SHALL NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT, SUCH CLEAR OPENING SHALL BE NOT LESS THAN 20" IN WIDTH, AND 24" IN HEIGHT, 5.7 SQ. FT. IN AREA THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" ABOVE THE FINISHED FLOOR AND NO PART OF THE OPERATING MECHANISM SHALL BE PLACED HIGHER THAN 44" ABOVE FINISHED FLOOR.											
REFER TO STRUCTURAL DRAWINGS FOR CONCRETE FILLED BLOCK CELL LOCATION, SIZE AND REINFORCING.											
EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY.											
R307.2 BATHTUB AND SHOWER SPACES, BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET (1829 MM) ABOVE THE FLOOR.											
GLAZING IN SLIDING & SWING DOORS SHALL BE SAFETY GLAZING CAT. I IF LESS THAN 9 S.F. PER R4410.2.3.1.3.1 OR CAT II IF GREATER THAN 9 S.F. PER R4410.2.3.1.2											
ALL NEW CONSTRUCTION AND FINISH MATERIALS BELOW BASE FLOOR ELEVATION SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL (ASCE 24-05 CH. 5.0)											
STRUCTURE FOR FLOOD RESISTANT DESIGN AND CONSTRUCTION CATEGORY II (ASCE 24-05 CH. 5.0)											
FRC SEC 1816.1.7 TERMITE PROTECTION PRIOR TO THE BUILDING FINAL INSPECTION A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENTS. THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.											
PRODUCT CONTROL APPROVAL AND SHOP DRAWING NOTES											
ALL APPROVED SHOP DRAWINGS SHALL BE REVIEWED BY THE A/E OF RECORD AND SUBMITTED AND PROCESSED AT THE BUILDING DEPARTMENT.											
SEPARATE SUB-PERMITS REQUIRED: AS INDICATE ON DE DRAWINGS FOR: WINDOW, DOORS, ROOFING, WATERPROOFING, RAILINGS, FENCES POOLS / WATER - FEATURES, PREFABRICATE STAIRS AND ELEVATORS.											



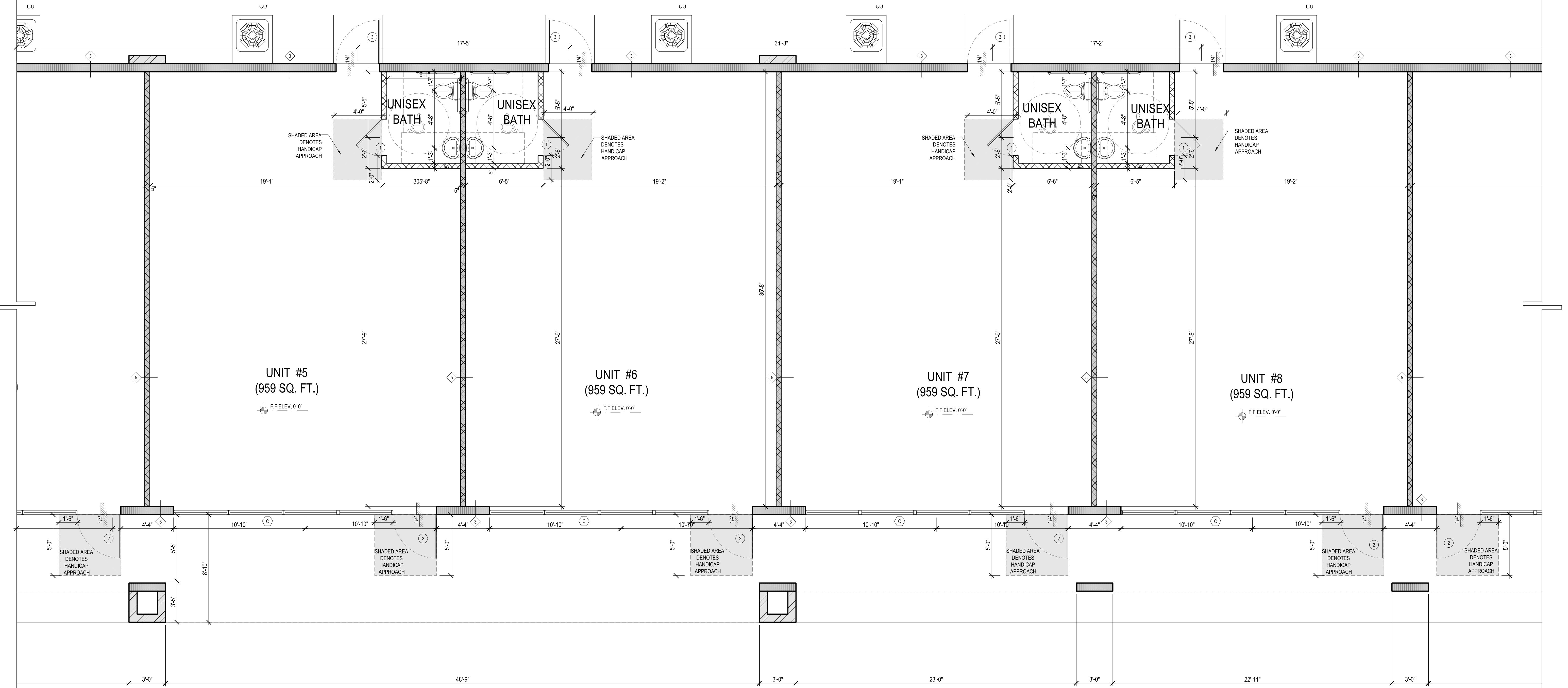
CONSTRUCTION NOTES		DOORS SCHEDULE		PARTITION ASSEMBLY LEGEND				
No.	SIZE	W	H	THK.	MATERIAL	FRAME	CONF.	REMARKS
(1)	3'-0"	7'-0"	1'-3/8"	WOOD	WOOD	-	SWING DOOR	
(2)	3'-7"	8'-0"	1'-3/8"	GLASS	ALUM.	X	OUTSWING DOOR SELF CLOSING DOOR - PANIC HARDWARE	
(3)	3'-7"	8'-0"	1'-3/8"	ALUM.	ALUM.	-	OUTSWING DOOR SELF CLOSING DOOR - PANIC HARDWARE	

NOT ALL REQUIREMENTS & NOTES MAY APPLY TO THIS PROJECT.
BATHROOM FLOORS AND BASE TO BE OF IMPERVIOUS MATERIAL AS PER R307.2 F.B.C.
IN AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE, THE MODE OF OPERATION SHALL NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT. SUCH CLEAR OPENING SHALL BE NOT LESS THAN 20" IN WIDTH, AND 24" IN HEIGHT, 5.7 SQ. FT. IN AREA THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 4" ABOVE THE FINISHED FLOOR AND NO PART OF THE OPERATING MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE FINISHED FLOOR.
REFER TO STRUCTURAL DRAWINGS FOR CONCRETE FILLED BLOCK CELL LOCATION, SIZE AND REINFORCING.
EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY.
R307.2 BATHTUB AND SHOWER SPACES, BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET (1829 MM) ABOVE THE FLOOR.
GLAZING IN SLIDING & SWING DOORS SHALL BE SAFETY GLAZING CAT. I IF LESS THAN 9 SF. PER R410.2.3.1.1 OR CAT II IF GREATER THAN 9 SF. PER R410.2.3.1.2.
ALL NEW CONSTRUCTION AND FINISH MATERIALS BELOW BASE FLOOD ELEVATION SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL (ASCE 24-05 CH. 5.0)
STRUCTURE FOR FLOOD RESISTANT DESIGN AND CONSTRUCTION CATEGORY II (ASCE 24-05 CH. 5.0)
FBC SEC 1816.1.7 TERMITE PROTECTION, PRIOR TO THE BUILDING FINAL INSPECTION A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENTS: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES".

PRODUCT CONTROL APPROVAL AND SHOP DRAWING NOTES

ALL APPROVED SHOP DRAWINGS SHALL BE REVIEWED BY THE A/E OF RECORD AND SUBMITTED AND PROCESSED AT THE BUILDING DEPARTMENT.

SEPARATE SUB-PERMITS REQUIRED: AS INDICATE ON DE DRAWINGS FOR: WINDOW, DOORS, ROOFING, WATERPROOFING, RAILINGS, FENCES POOLS / WATER - FEATURES, PREFABRICATE STAIRS AND ELEVATORS.



CONSTRUCTION NOTES	
* NOT ALL REQUIREMENTS & NOTES MAY APPLY TO THIS PROJECT.	
BATHROOM FLOORS AND BASE TO BE OF IMPERVIOUS MATERIAL AS PER R307.2 F.B.C.	
IN AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE, THE MODE OF OPERATION SHALL NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT, SUCH CLEAR OPENING SHALL BE NOT LESS THAN 20" IN WIDTH, 5.7 SQ. FT. IN AREA THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" ABOVE THE FINISHED FLOOR AND NO PART OF THE OPERATING MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE FINISHED FLOOR.	
REFER TO STRUCTURAL DRAWINGS FOR CONCRETE FILLED BLOCK CELL LOCATION, SIZE AND REINFORCING.	
EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY.	
R307.2 BATHTUB AND SHOWER SPACES, BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET (1829 MM) ABOVE THE FLOOR.	
GLAZING IN SLIDING & SWING DOORS SHALL BE SAFETY GLAZING CAT. I IF LESS THAN 9 S.F. PER R4410.2.3.1.3.1 OR CAT II IF GREATER THAN 9 S.F. PER R4410.2.3.1.2	
ALL NEW CONSTRUCTION AND FINISH MATERIALS BELOW BASE FLOOD ELEVATION SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL (ASCE 24-05 CH. 5.0)	
STRUCTURE FOR FLOOD RESISTANT DESIGN AND CONSTRUCTION CATEGORY II (ASCE 24-05 CH. 5.0)	
FBC SEC 1816.1.7 TERMITE PROTECTION, PRIOR TO THE BUILDING FINAL INSPECTION A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENTS: THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.	
PRODUCT CONTROL APPROVAL AND SHOP DRAWING NOTES	
ALL APPROVED SHOP DRAWINGS SHALL BE REVIEWED BY THE A/E OF RECORD AND SUBMITTED AND PROCESSED AT THE BUILDING DEPARTMENT.	
SEPARATE SUB-PERMITS REQUIRED AS INDICATE ON DE DRAWINGS FOR: WINDOW, DOORS, ROOFING, WATERPROOFING, RAILINGS, FENCES POOLS / WATER - FEATURES, PREFABRICATE STAIRS AND ELEVATORS.	

DOORS SCHEDULE					
No.	W	H	THK.	MATERIAL	FRAME
(1)	5'-0"	7'-0"	1-3/8"	WOOD	WOOD
(2)	3'-7"	8'-0"	1-3/8"	GLASS	ALUM.
(3)	3'-7"	8'-0"	1-3/8"	ALUM.	ALUM.

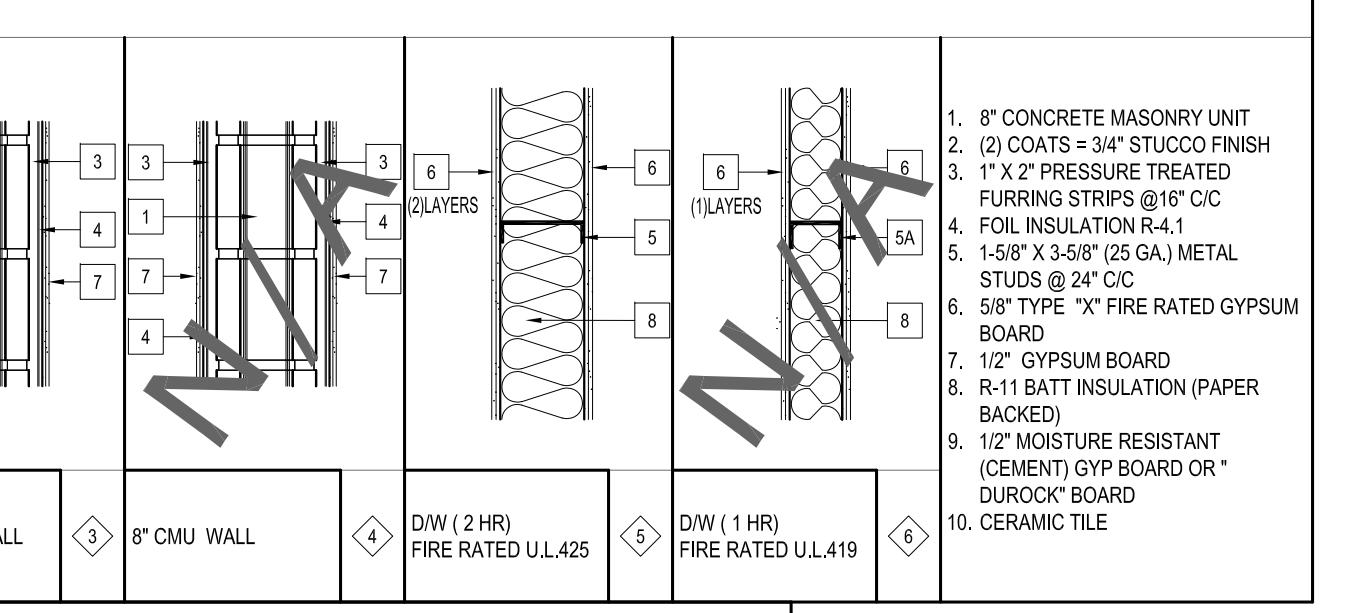
SWING DOOR
OUTSWING DOOR - SELF CLOSING DOOR - PANIC HARDWARE
OUTSWING DOOR - SELF CLOSING DOOR - PANIC HARDWARE

WINDOWS SCHEDULE

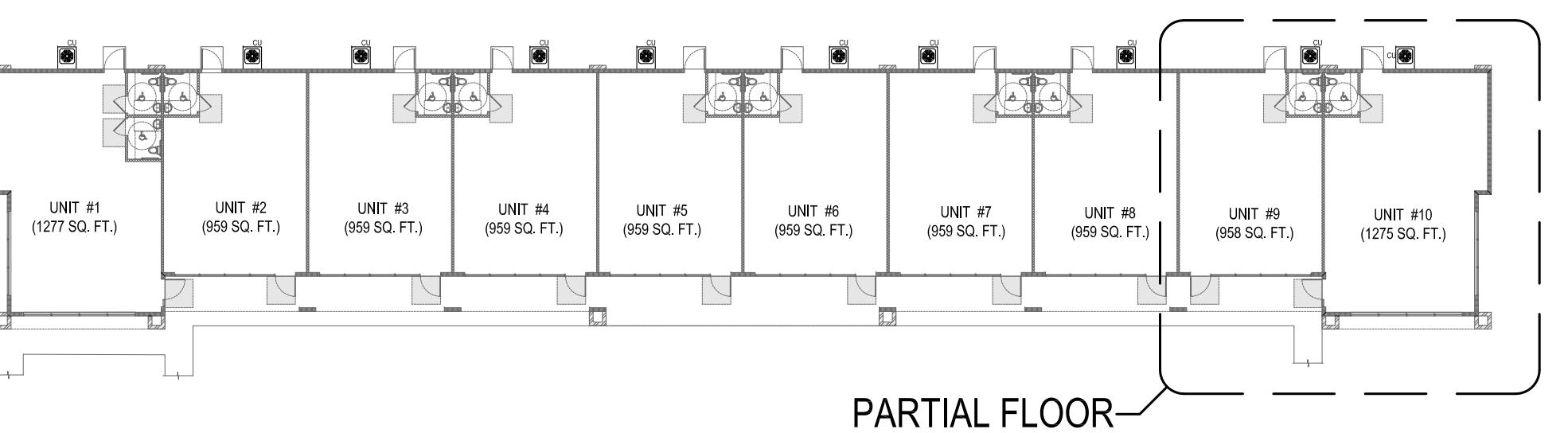
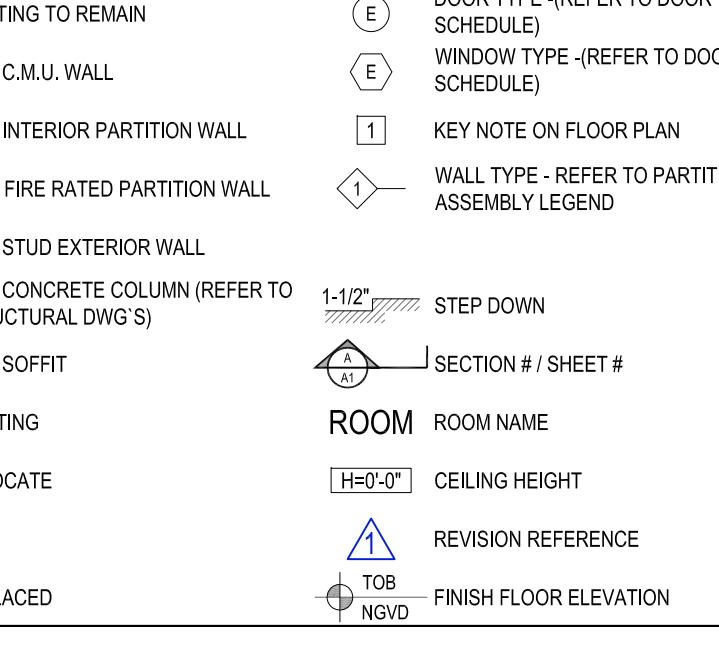
No.	W	H	THK.	MATERIAL	REMARKS	NOTES
(A)	W.P.	16"	120"	AL/GLASS	ALL IMPACT RESISTANT, SAFETY GLASS CAT. II NOA:	
(B)	W.P.	180"	108"	AL/GLASS	ALL IMPACT RESISTANT, SAFETY GLASS CAT. II NOA:	
(C)	FIXED	216"	120"	AL/GLASS	ALL IMPACT RESISTANT, SAFETY GLASS CAT. II NOA:	
(D)	FIXED	240"	108"	AL/GLASS	ALL IMPACT RESISTANT, SAFETY GLASS CAT. II NOA:	

1. ALL GLASS SHALL BE CLEAR WITH THE OPTION OF A LOW-E COATING AND SHALL HAVE A U=1 & SHGC<0.5 VALUES

PARTITION ASSEMBLY LEGEND



PLAN LEGEND



PARTIAL FLOOR PLAN PART "C"



PROJECT NAME
COMMERCIALIZADORA JS LLC PROPERTY

NEW SHOPPING CENTER

PROJECT ADDRESS

300 CHIQUITA BLVD S
CAPE CORAL FL 33991

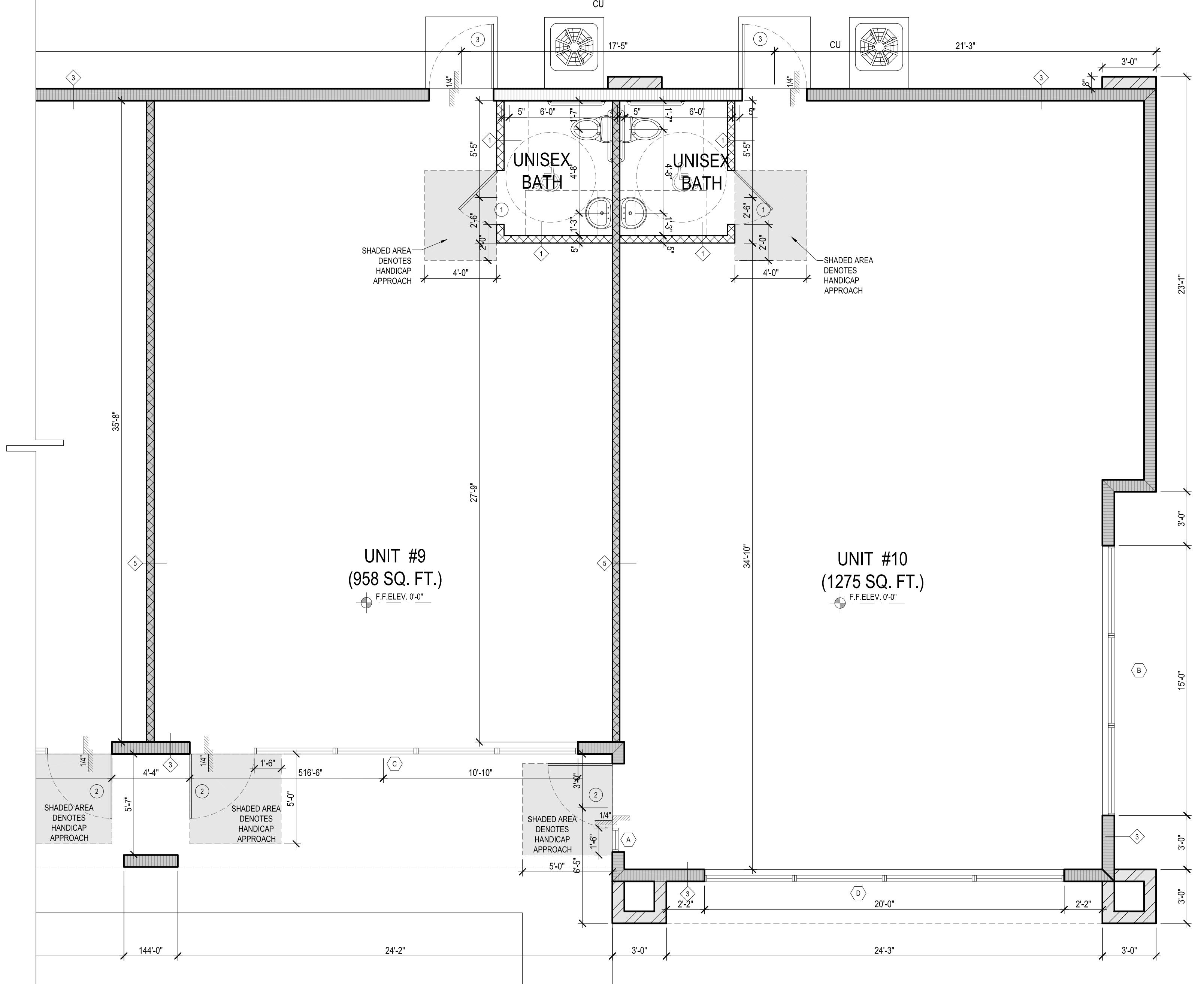
REVISION

Project No: 2024-438
Scale: AS NOTED
Date: 11-06-24
Draw: C.M.
Checked: J.V. / O.P.
CADD File: 300 CHIQUITA BLVD S 05-09-25.dwg

DRAWN
JOSE VALERO
DRAFTING SERVICES
300 CHIQUITA BLVD S
CAPE CORAL FL 33991
www.jvds.pro

DRAWING TITLE
PARTIAL FLOOR PLAN PART "C"

SHEET NO.



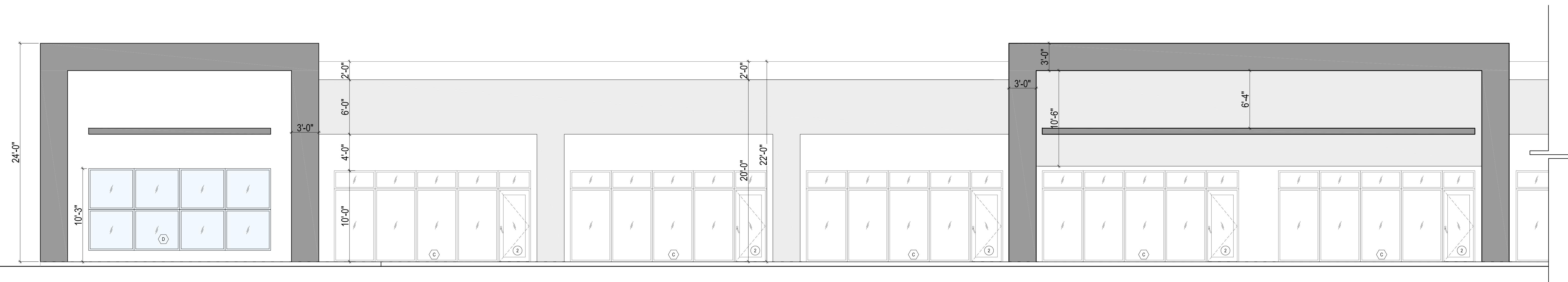
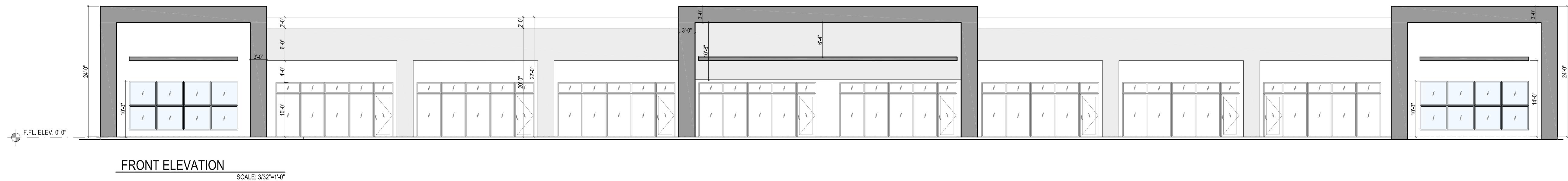
PARTIAL FLOOR PLAN
PART "C"

SCALE 1/4"=1'-0"

EXTERIOR WINDOWS & DOORS

SCALE: 3/8" = 1'-0"

NOTE: CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION & SITE CONDITIONS



COMMERCIALIZADORA JS LLC PROPERTY

NEW SHOPPING CENTER

PROJECT ADDRESS

300 CHIQUITA BLVD S
CAPE CORAL FL 33991

REVISION

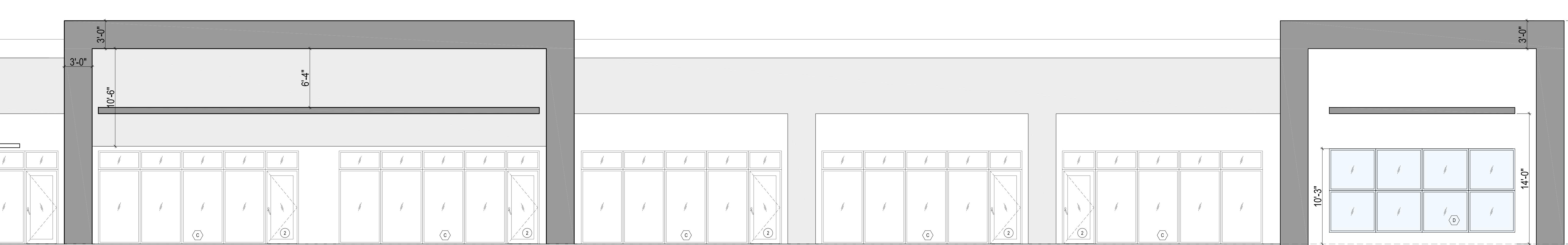
Project No: 2024-438
Scale: AS NOTED
Date: 11-06-24
Draw: C.M.
Checked: J.V. / O.P.
CADD File: 300 CHIQUITA BLVD S 05-09-25.dwg

DRAWN

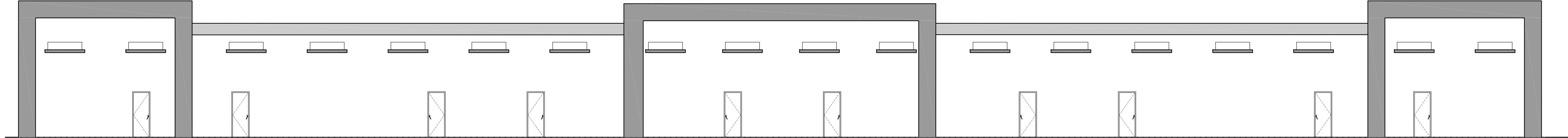


DRAWING TITLE

FRONT ELEVATION

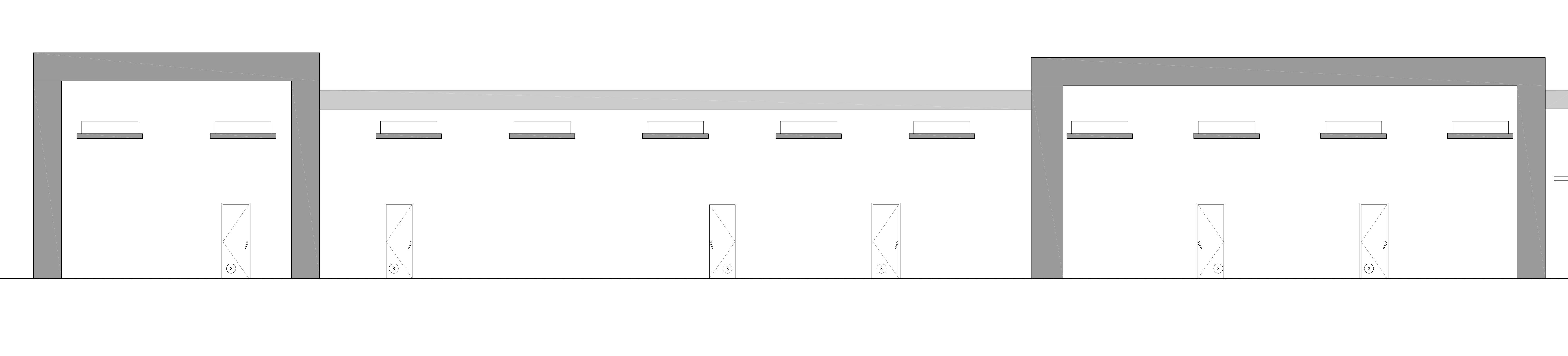


FRONT ELEVATION
SCALE: 1/4"=1'-0"



REAR ELEVATION

SCALE: 3/32"=1'-0"



REAR ELEVATION

PART "A" SCALE: 1/4"=1'-0"

PROJECT NAME
COMMERCIALIZADORA JS LLC
PROPERTY

NEW SHOPPING CENTER

PROJECT ADDRESS

300 CHIQUITA BLVD S
CAPE CORAL FL 33991

REVISION

Project No: 2024-438
Scale: AS NOTED
Date: 11-06-24
Drawn: C.M.
Checked: J.V. / O.P.
CADD File: 300 CHIQUITA BLVD S 05-09-25.dwg

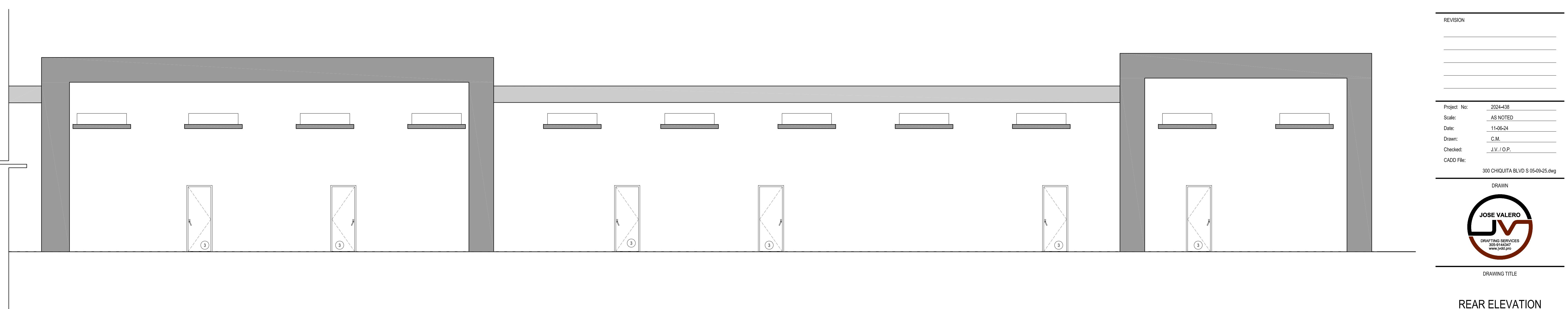


DRAWN

REAR ELEVATION

SHEET NO.

A-7



REAR ELEVATION

PART "B" SCALE: 1/4"=1'-0"

NOTE: CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION & SITE CONDITIONS

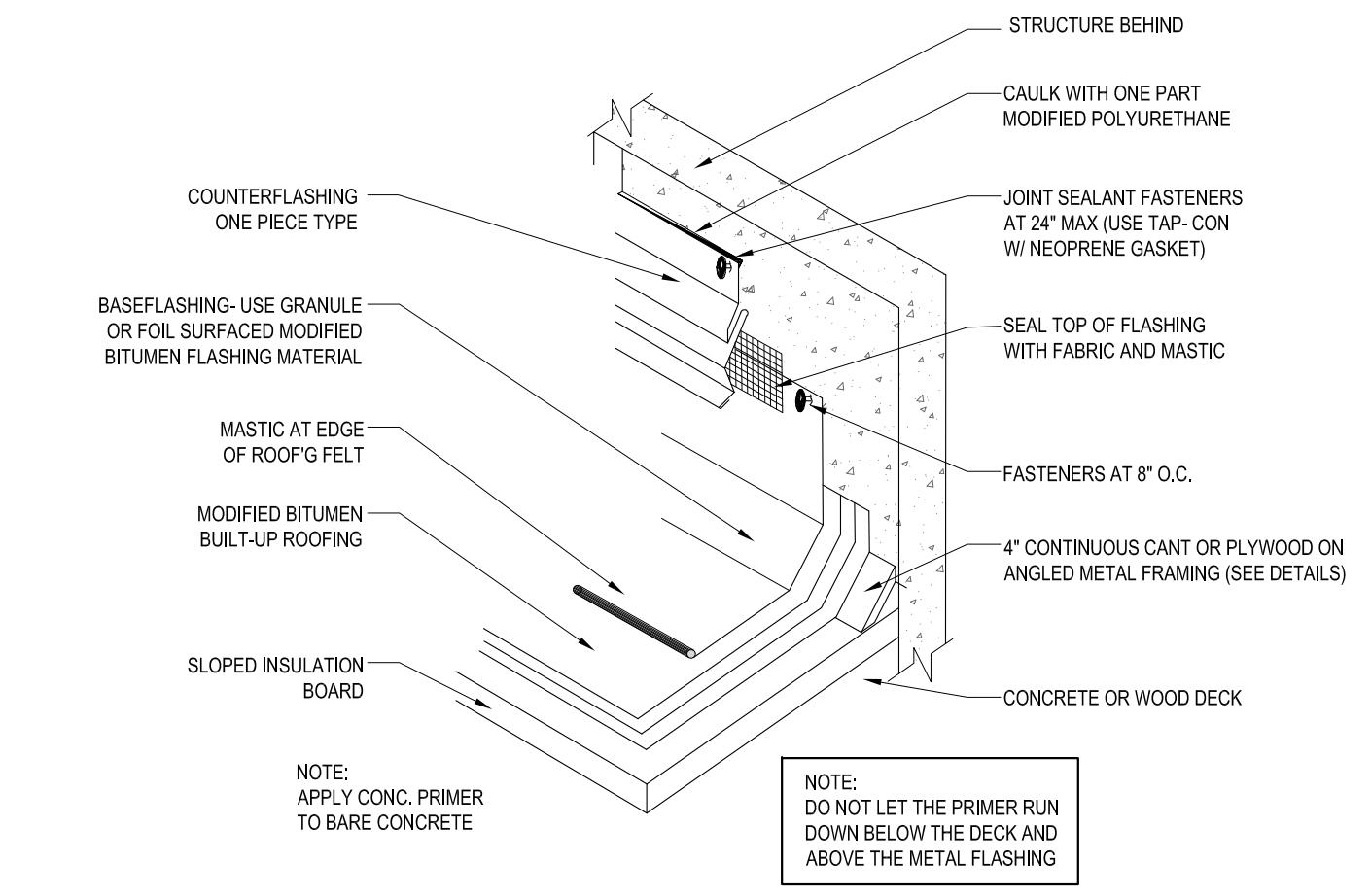


LEFT ELEVATION

SCALE: 1/4=1'-0"

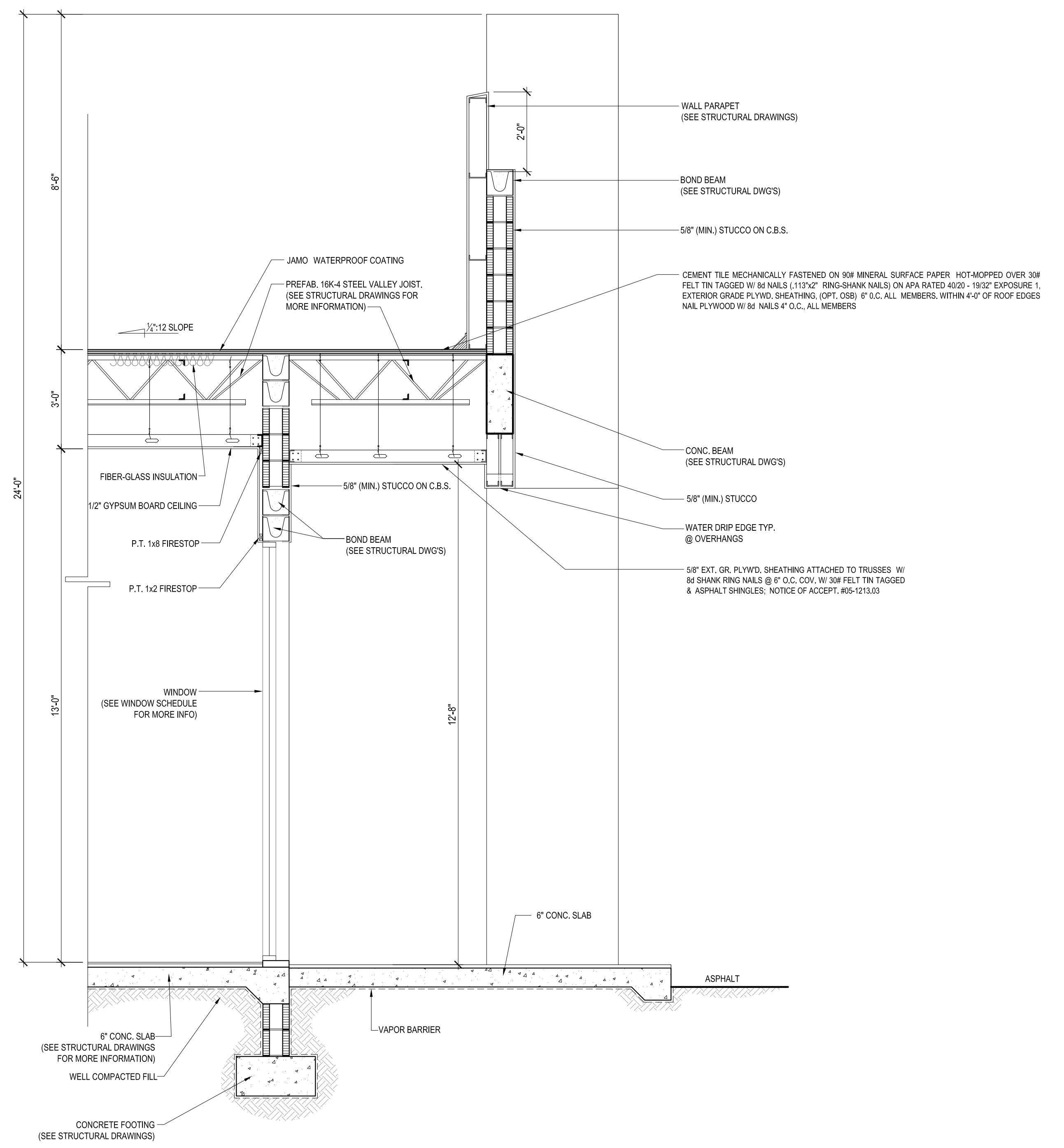
WATERPROOF NOTES		
PROVIDE WATERPROOFING MEMBRANE SYSTEM AT FLOOR IN ENTIRE OPEN TERRACES AND ROOF. ALL NEW WATERPROOF MEMBRANE SHALL BE JAMO WATERPROOF COATING (OR SIMILAR BY ROOFING CONTRACTOR) TO COMPLY WITH FBC 2020.		
PRODUCT JAMO WATERPROOF COATINGS NOA. 24-0517.01	TEST SPECIFICATION ASTM D 6083	PRODUCT DESCRIPTION READY-TO-USE ELASTOMERIC, WATERPROOFING AND CRACK PREVENTION MEMBRANE
THE WATERPROOFING SYSTEM MUST BE COMPLY TO FBC 1519.16 & FBC 1519.16.5		

THE WATERPROOFING SYSTEM MUST BE COMPLY TO FBC
1519.16 & FBC 1519.16.5



FLASHING DETAIL

N.T.S.



RIGHT, LEFT
ELEVATION &
SECTION "A"

SHEET NO.

A-8

NOTE: CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION & SITE CONDITIONS

PROJECT NAME
COMMERCIALIZADORA JS LLC PROPERTY

NEW SHOPPING CENTER

PROJECT ADDRESS

300 CHIQUITA BLVD S
CAPE CORAL FL 33991

REVISION

Project No: 2024-438
Scale: AS NOTED
Date: 11-06-24
Draw: C.M.
Checked: J.V. / O.P.
CADD File: 300 CHIQUITA BLVD S 05-09-25.dwg

DRAWN

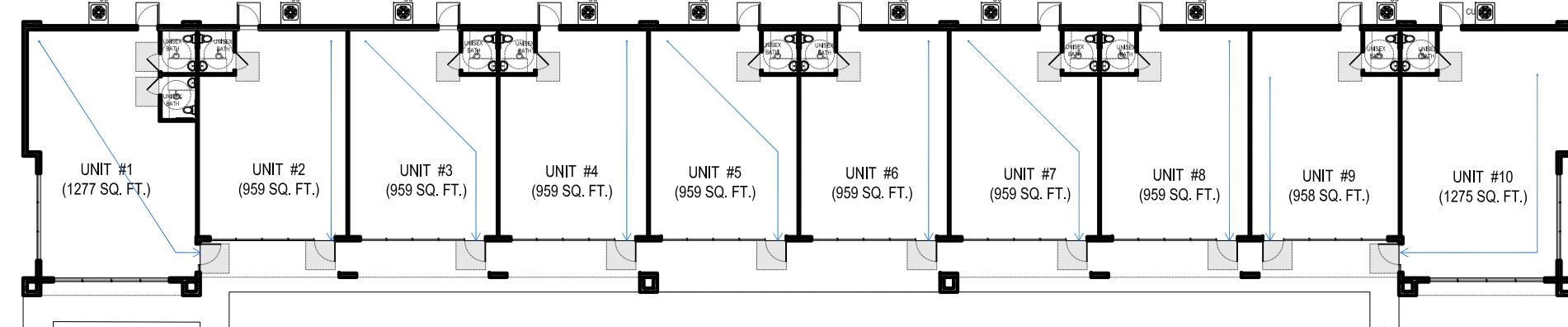


DRAWING TITLE

RIGHT, LEFT
ELEVATION &
SECTION "A"

SHEET NO.

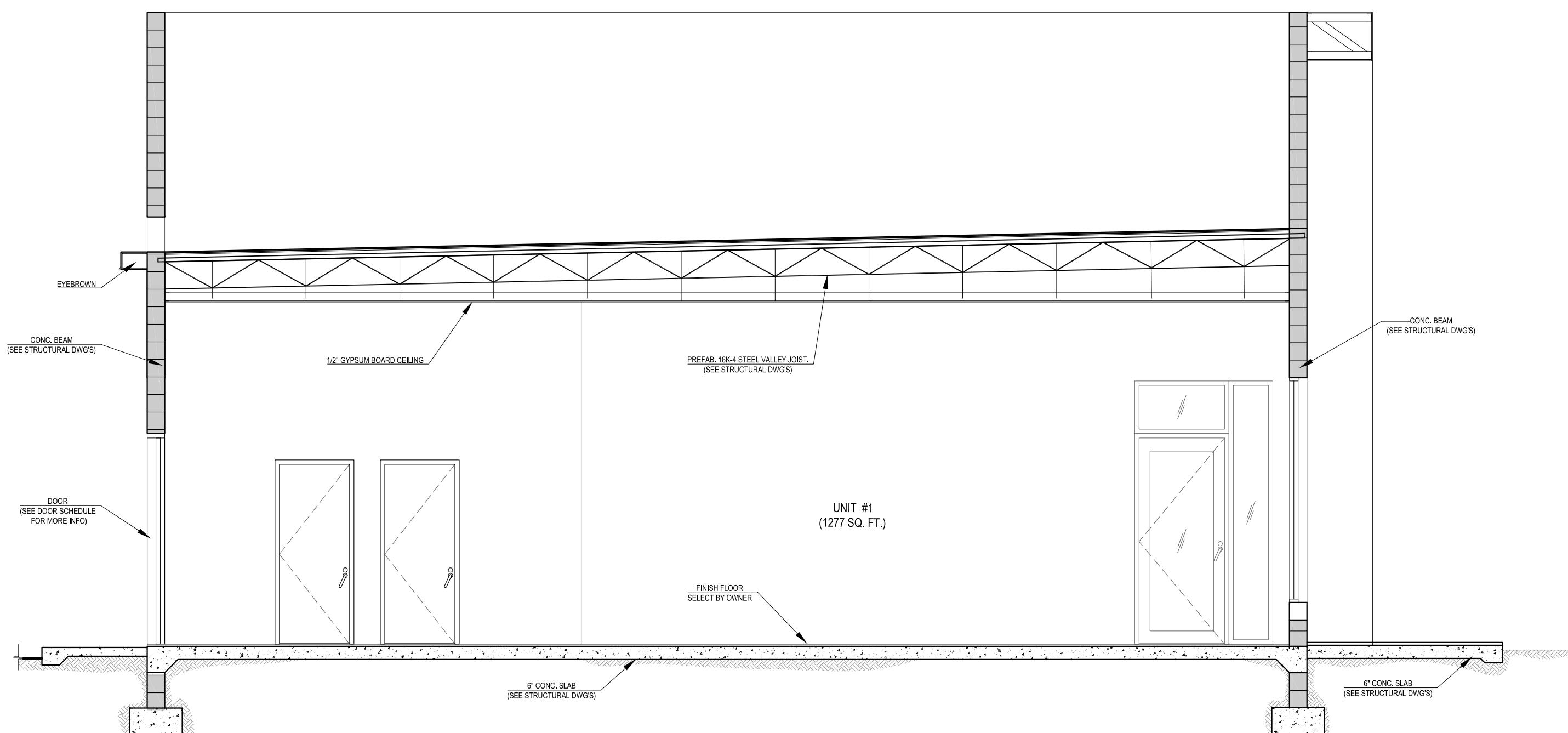
A-8



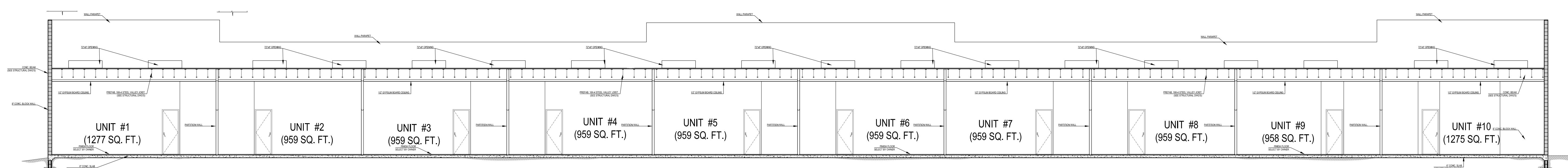
A circular symbol consisting of a circle divided into four quadrants by a horizontal and a vertical line intersecting at the center. A thick black bar is positioned horizontally across the middle of the circle.

KEY PLAN

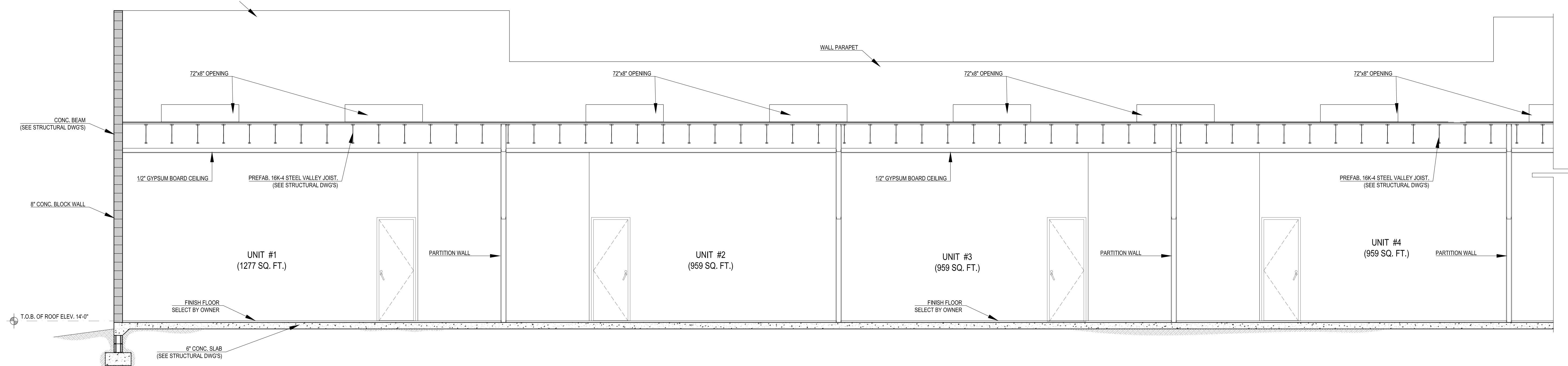
SCALE: N.T.S.



SECTION "C"



SECTION "B"



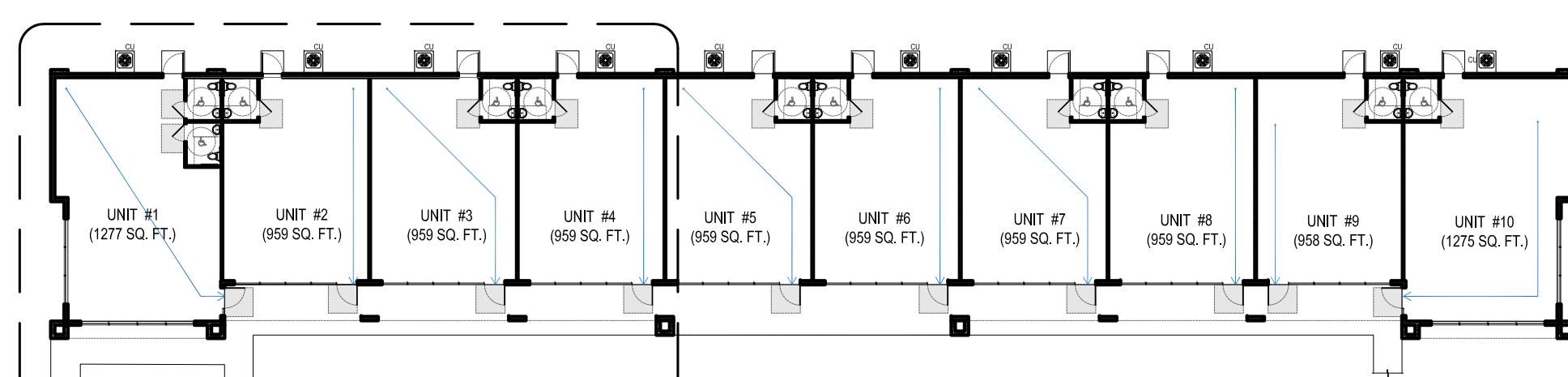
PARTIAL SECTION "B"

SCALE: 3/8"=1'-0"

NOTE: CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION & SITE CONDITIONS

A-9

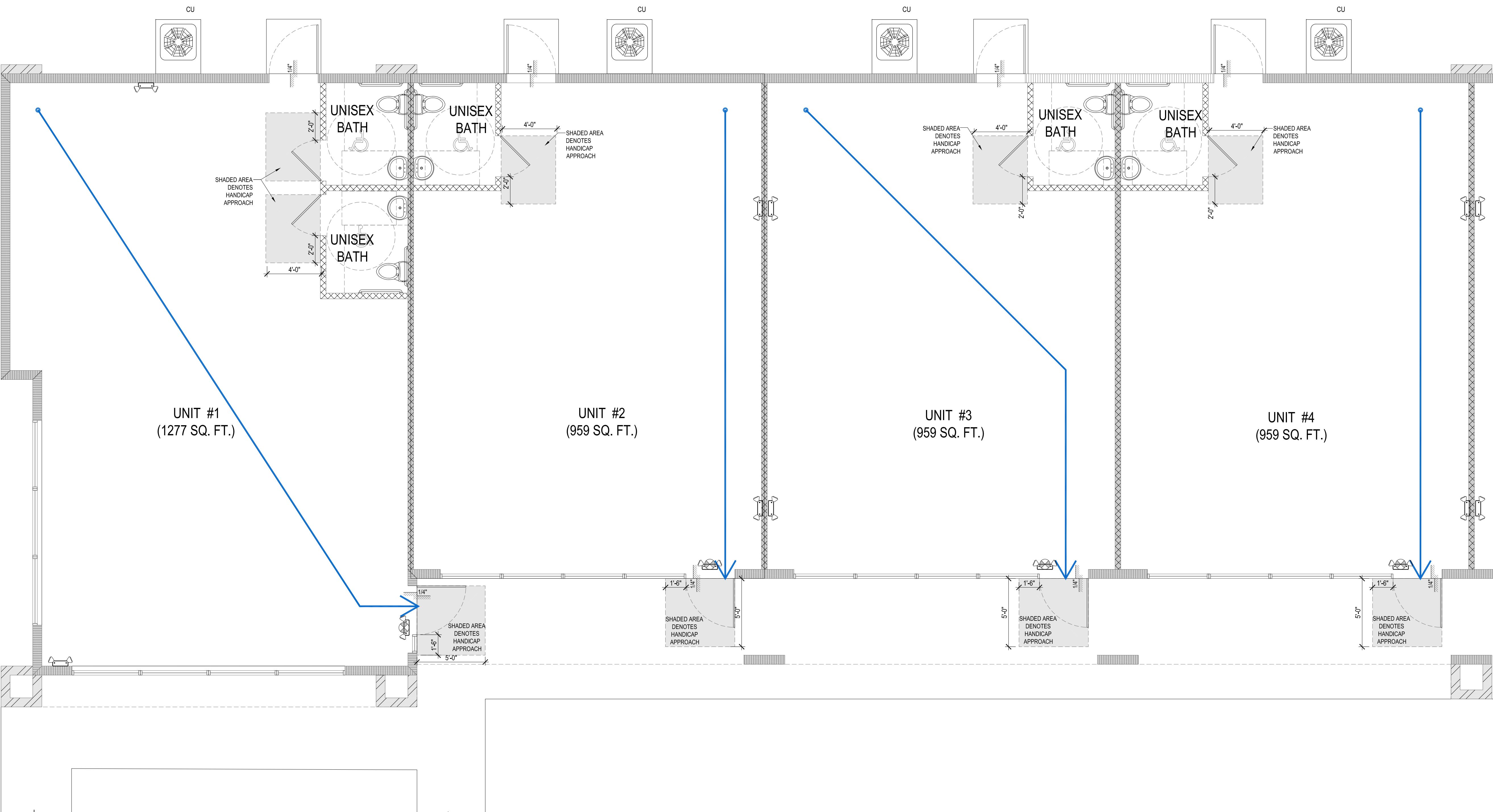
ZONING INFORMATION		FIRE PROTECTION LEGEND	
OCCUPANCY/ USE:	VACANT LOT (CP) COMMERCIAL AND PROFESSIONAL SERVICES -RETAIL < 30,000 SF. PER TENANT		EXIT LIGHT W/ 90 MIN BATTERY BACKUP
ZONING CLASSIFICATION:	C - COMMERCIAL		EMERGENCY LIGHT W/ 90 MIN BATTERY BACKUP
APPLICABLE BUILDING CODE:			EMERGENCY LIGHT/EXIT SIGN COMBO
FLORIDA BUILDING CODE 8TH EDITION (2023) - BUILDING FLORIDA BUILDING CODE 8TH EDITION (2023) - EXISTING BUILDING FLORIDA FIRE PREVENTION CODE 8TH EDITION NFPA 101-2021 NATIONAL ELECTRICAL CODE EDITION / NEC 2020			EMERGENCY STROBE LIGHT W/ HORN
CLASSIFICATION			EMERGENCY STROBE LIGHT W/ HORN & MANUAL PULL STATION
OCCUPANCY GROUP:	(CP) COMMERCIAL AND PROFESSIONAL SERVICES -RETAIL < 30,000 SF. PER TENANT	E	EXISTING DEVICE TO REMAIN
PROJECT CONSTRUCTION:	NEW CONSTRUCTION	N	NEW DEVICE
CONSTRUCTION TYPE:	TYPE II-B; Sprinklers, Fire Alarm	RL	RELOCATE DEVICE
UNIT AREA:	10,204 SF.	WP	WATER PROOF
LOT AREA:	40,000 SF. (0.92 ACRES)		FIRE EXTINGUISHER
PARKING REQUIREMENTS:			SMOKE DETECTOR
RETAIL, LARGE CONSUMER GOODS: 1 SPACE / 500 SF. OF GROSS FLOOR AREA	REQUIRED		SPEAKER FIRE ALARM
	PROVIDED	 TRAVEL PATH	
PLAN LEGEND			
		NEW C.M.U. WALL	
		NEW INTERIOR PARTITION WALL	
		NEW FIRE RATED PARTITION WALL	
		NEW CONCRETE COLUMN (REFER TO STRUCTURAL DWG'S)	



PARTIAL FLOOR
PLAN PART "A"



1



PROJECT NAME

COMMERCIALIZADORA JS LLC

PROPERTY

NEW SHOPPING CENTER

Digitized by srujanika@gmail.com

2024-438
AS NOTED
11-06-24
C.M.
J.V. / O.P.

600 CHIQUITA BEVD 6 00 0



JOSE VALERO

DRAWING TITLE

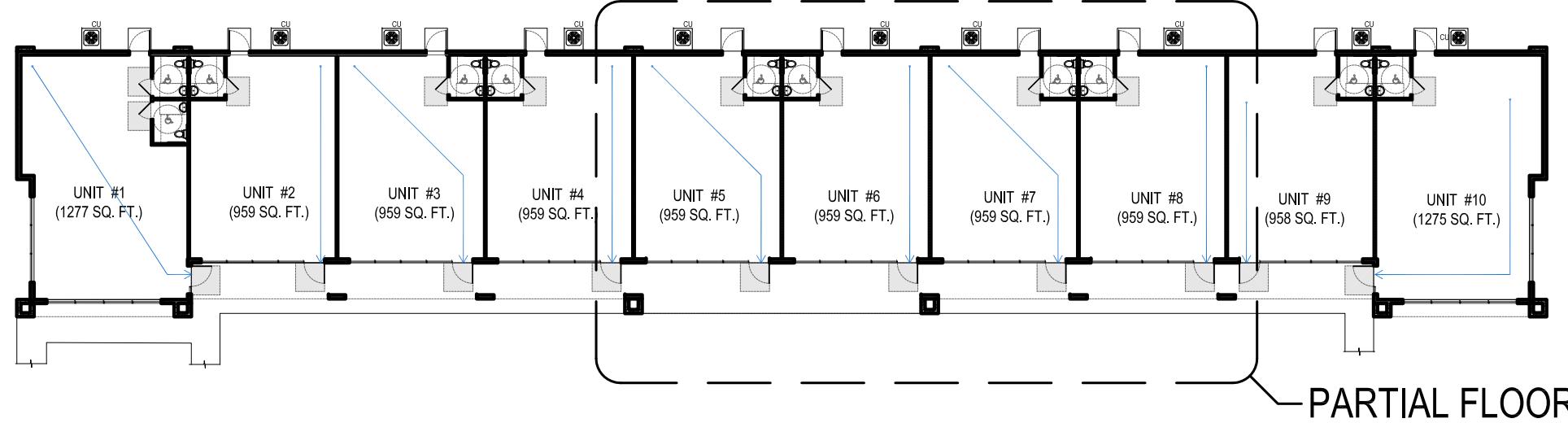
LIFE SAFETY PLAN PARTIAL "A"

SHEET NO

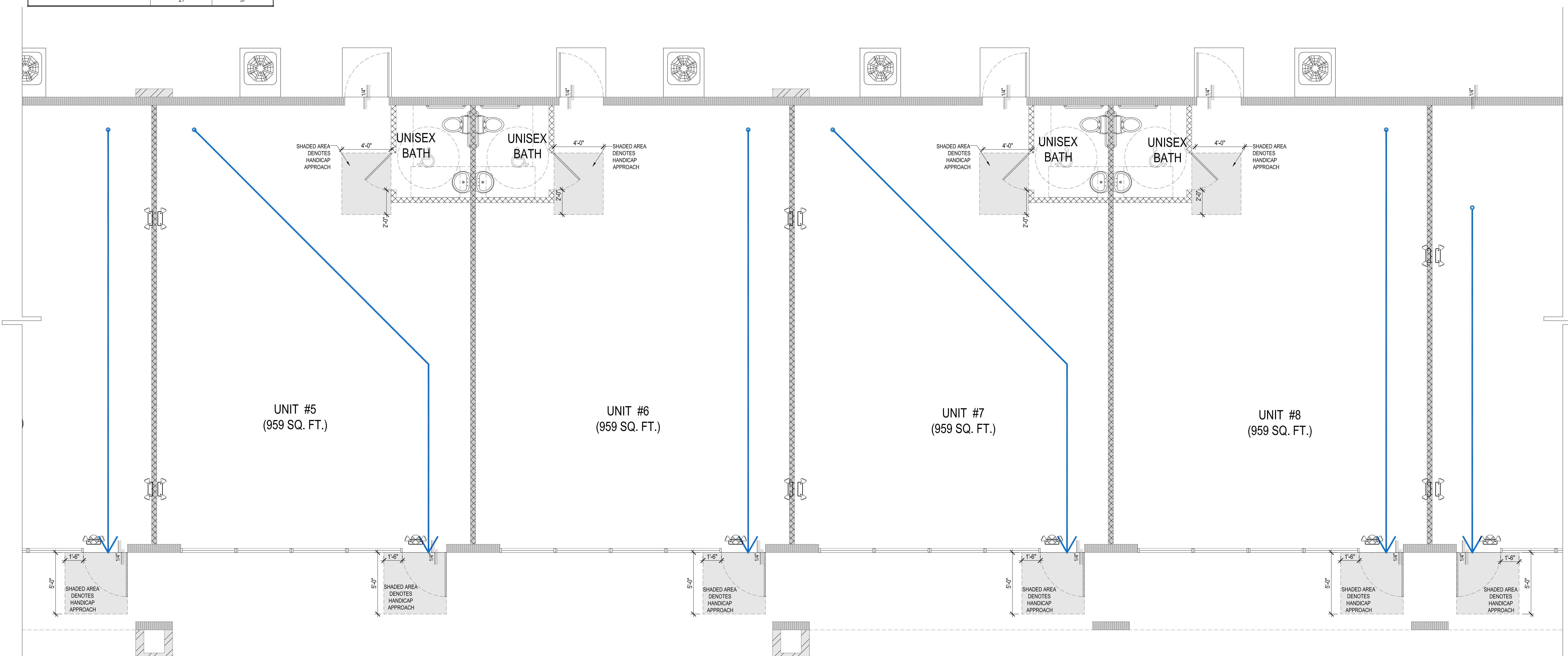
LS-1

NOTE: CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION & SITE CONDITIONS

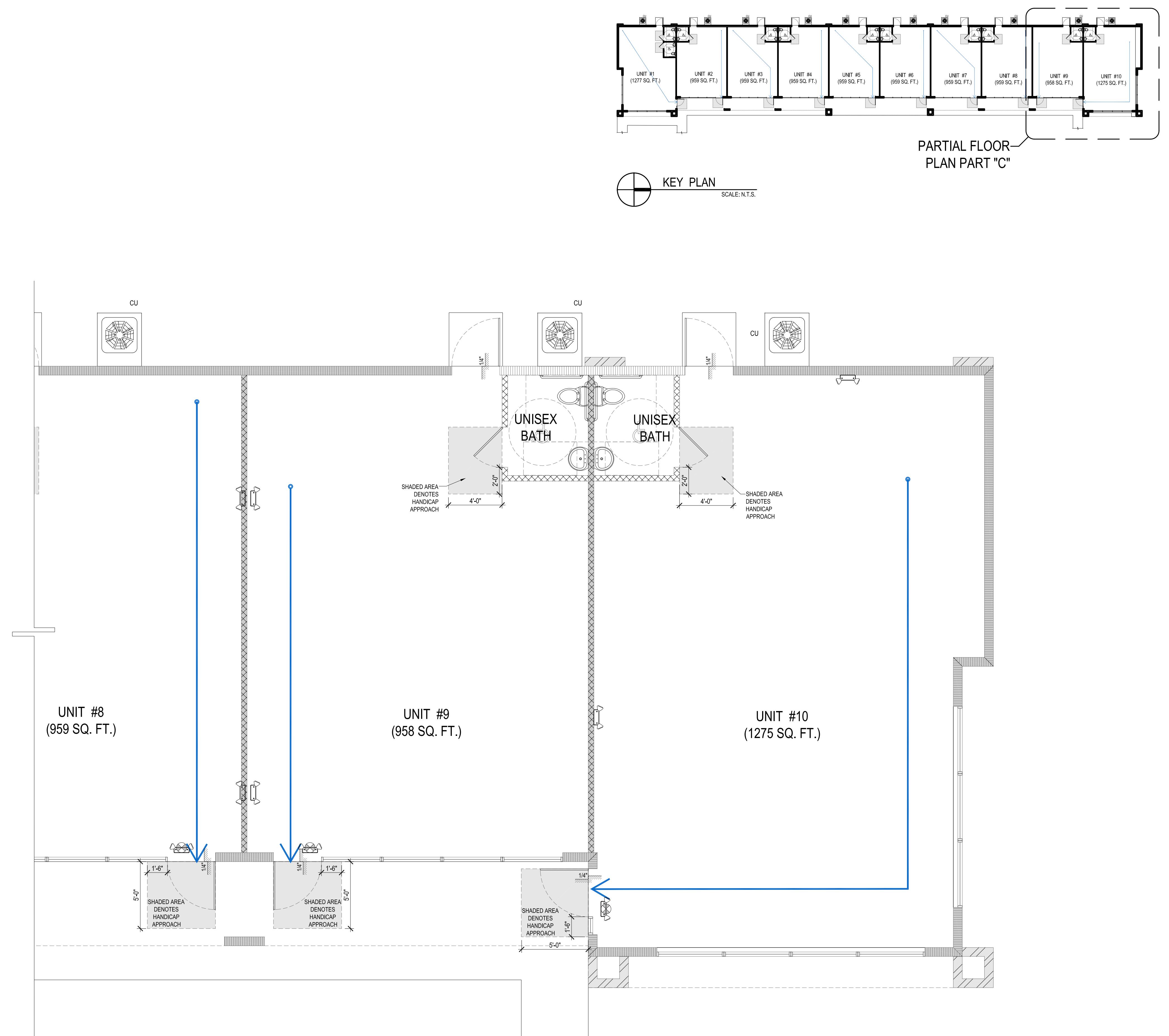
ZONING INFORMATION		FIRE PROTECTION LEGEND	
OCCUPANCY USE: VACANT LOT (CP) COMMERCIAL AND PROFESSIONAL SERVICES -RETAIL < 30,000 SF. PER TENANT			
ZONING CLASSIFICATION: C - COMMERCIAL			
APPLICABLE BUILDING CODE:			
FLORIDA BUILDING CODE 8TH EDITION (2023) - BUILDING FLORIDA BUILDING CODE 8TH EDITION (2023) - EXISTING BUILDING FLORIDA FIRE PREVENTION CODE 8TH EDITION NFPA 101-2021 NATIONAL ELECTRICAL CODE EDITION / NEC 2020			
CLASSIFICATION			
OCCUPANCY GROUP: (CP) COMMERCIAL AND PROFESSIONAL SERVICES -RETAIL < 30,000 SF. PER TENANT			
PROJECT CONSTRUCTION: NEW CONSTRUCTION		PLAN LEGEND	
CONSTRUCTION TYPE: TYPE II-B; Sprinklers, Fire Alarm			
UNIT AREA: 10,204 SF.			
LOT AREA: 40,000 SF. (0.92 ACRES)			
PARKING REQUIREMENTS:			
RETAIL, LARGE CONSUMER GOODS: 1 SPACE / 500 SF. OF GROSS FLOOR AREA	REQUIRED 21	PROVIDED 37	



KEY PLAN
SCALE: N.T.S.



ZONING INFORMATION		
OCCUPANCY/ USE:	VACANT LOT (CP) COMMERCIAL AND PROFESSIONAL SERVICES -RETAIL < 30,000 SF. PER TENANT	
ZONING CLASSIFICATION:		
APPLICABLE BUILDING CODE:		
FLORIDA BUILDING CODE 8TH EDITION (2023) - BUILDING FLORIDA BUILDING CODE 8TH EDITION (2023) - EXISTING BUILDING FLORIDA FIRE PREVENTION CODE 8TH EDITION NFPA 101-2021 NATIONAL ELECTRICAL CODE EDITION / NEC 2020		
CLASSIFICATION		
OCCUPANCY GROUP:	(CP) COMMERCIAL AND PROFESSIONAL SERVICES -RETAIL < 30,000 SF. PER TENANT	
PROJECT CONSTRUCTION:	NEW CONSTRUCTION	
CONSTRUCTION TYPE:	TYPE II-B; Sprinklers, Fire Alarm	
UNIT AREA:	10,204 SF.	
LOT AREA:	40,000 SF. (0.92 ACRES)	
PARKING REQUIREMENTS:		
RETAIL, LARGE CONSUMER GOODS: 1 SPACE / 500 SF. OF GROSS FLOOR AREA	REQUIRED 21	PROVIDED 37
FIRE PROTECTION LEGEND		
	EXIT LIGHT W/ 90 MIN BATTERY BACKUP	
	EMERGENCY LIGHT W/ 90 MIN BATTERY BACKUP	
	EMERGENCY STROBE LIGHT W/ HORN	
	EMERGENCY STROBE LIGHT W/ HORN & MANUAL PULL STATION	
E	EXISTING DEVICE TO REMAIN	
N	NEW DEVICE	
RL	RELOCATE DEVICE	
WP	WATER PROOF	
	FIRE EXTINGUISHER	
	SMOKE DETECTOR	
	SPEAKER FIRE ALARM	
	TRAVEL PATH	
PLAN LEGEND		
	NEW CMU WALL	
	NEW INTERIOR PARTITION WALL	
	NEW FIRE RATED PARTITION WALL	
	NEW CONCRETE COLUMN (REFER TO STRUCTURAL DWG'S)	



NOTE: CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION & SITE CONDITIONS

LS-3

COMMERCIALIZADORA JS LLC PROPERTY

NEW SHOPPING CENTER

PROJECT ADDRESS

300 CHIQUITA BLVD S
CAPE CORAL FL 33991

REVISION

Project No: 2024-438
Scale: AS NOTED
Date: 11-06-24
Drawn: C.M.
Checked: J.V. / O.P.
CADD File: 300 CHIQUITA BLVD S 05-09-25.dwg

DRAWN

JOSE VALERO
DRAFTING SERVICES
300 CHIQUITA BLVD S
CAPE CORAL FL 33991
www.jvds.pro

DRAWING TITLE

LIFE SAFETY PLAN
PARTIAL "C"

SHEET NO.