



A. SINGH & A. KAUR
LOT 244, 68 GUINEVERE PARADE GLEN
WAVERLEY

ROTHBURY GRAND THEATRE ATRIUM 51 (30.3) - LH

CLASSIQUE

JOB No: J1031117 TOTAL SHEET No. 13

AFFINITY
LUXURY LIVING

SHEET LIST

No.	SHEET NAME	No.	SHEET NAME
0A	GENERAL SPECIFICATION		
1A	DEMOLITION PLAN		
1B	OVERLOOKING PLAN		
1C (B)	OVERSHADOWING (10am)		
1C (C)	OVERSHADOWING (11am)		
1C (D)	OVERSHADOWING (12noon)		
1C (E)	OVERSHADOWING (1pm)		
1C (F)	OVERSHADOWING (2pm)		
1C (G)	OVERSHADOWING (3pm)		
2	GROUND FLOOR PLAN		
2A	FIRST FLOOR PLAN		
3	ELEVATIONS		
3A	ELEVATIONS		



IMPORTANT NOTE: IMAGES ARE FOR ILLUSTRATIVE PURPOSES ONLY, ARE ARTIST IMPRESSIONS AND MAY DEPICT UPGRADE OPTIONS

FRAMING SPECIFICATIONS

PREFAB FRAMING SCHEDULE

- AS SPECIFIED IN THE MANUFACTURERS PREFAB FRAME DESIGN, IF APPLICABLE OR...

SINGLE STOREY FRAMING SCHEDULE

- 90 X 35 MGP10 PINE BOTTOM PLATE (CONCRETE SLAB)
- 90 X 35 F5 PINE STUDS @ 600 CTS - NOT NOTCHED FOR BRACING - MAX. STUD HEIGHT 2700MM
- 90 X 35 MGP10 PINE TOP PLATE - TRUSSES TO SIT DIRECTLY OVER STUD SUPPORT

DOUBLE STOREY FRAMING SCHEDULE

GROUND FLOOR

- 90 X 35 MGP10 BOTTOM PLATE (CONCRETE SLAB)
- 90 X 35 F5 STUDS @ 450 CTS - NOT NOTCHED FOR BRACING - MAX. STUD HEIGHT 2700MM
- 90 X 35 MGP10 TOP PLATE - FLOOR JOIST TO SIT DIRECTLY OVER STUD SUPPORT

FIRST FLOOR

- 90 X 35 MGP10 BOTTOM PLATE (HYJOIST RIMBOARD TO PERIMETER)
- 90 X 35 F5 STUDS @ 600 CTS - MAX. STUD HEIGHT 2700MM
- 90 X 35 MGP10 TOP PLATE - TRUSSES TO SIT DIRECTLY OVER STUD SUPPORT
- NOGGINS 70 X 35 MERCH. PINE

STUDS FOR CONCENTRATED POINT LOADS

- GIRDER TRUSSES - 3/90 X 45 F5 PINE
- STEEL BEAMS - BY ENGINEER - 90 X 45 F5 PINE OR F17 KDHW WHERE REQUIRED
- FLOOR BEAMS - FLOOR, ROOF & POINT LOAD - BY ENGINEER - 90 X 45 F5 PINE OR F17 KDHW WHERE REQUIRED
- FLOOR BEAMS - FLOOR LOAD ONLY - 90 X 35 F5 PINE

LINTELS

F17 KDHW OR EQUIVALENT & SMARTFRAME LVL - 3MM MAX. LONG TERM DEFLECTION

FLOOR BEAMS

SMARTFRAME LVL TO BE SPECIFIED FOR BEAMS IN FOOR SPACE SUPPORTING FLOOR JOIST

GARAGE BEAM

- SMARTFRAME LVL 15 400MM X 58MM
- STUDS AT SIDES OF OPENINGS - GUIDE ONLY, SUBJECT TO RLW & TRUSS DESIGN - AUTOBEAM TO CONFIRM
- UP TO 1800MM - 2/90 X 35 F5
- 1800MM - 2700MM - 3/90 X 35 F5
- 2700MM - 3000MM - 4/90 X 35 F5 OR 3/90 X 45 F5/F17 KDHW

PORCH BEAMS

AS ABOVE, BUT LONG TERM DEFLECTION INCREASED TO 10MM MAX.

ALFRESCO BEAMS

- SUPA 17 - LIMITED TO 190, 240 OR 290 X 45MM BEAMS - 10MM MAX. LONG TERM DEFLECTION
- LVL 14 - REFER TO MATERIAL GUIDES FOR SIZE, 10mm MAX. LONG TERM DEFLECTION.
- GL13 TREATED - WHERE SPANS EXCEED THE ABOVE BEAM LIMITATIONS

FRAMING BRACKETS

- DUNNINGS BCA44 GALVANISED HEAVY DUTY ANGLE 100 X 100 X 140 X 3MM THICK
- WITH 2 M10 BOLTS TO EACH SIDE - OR
- SPLIT HANGER SPH180 W/- 4 NO. NO. 14 X 30MM TYPE 17 HEX HEAD SCREWS

ALL FRAMING TO COMPLY & BE INSTALLED IN ACCORDANCE WITH AS1684.
ROOF TRUSSES TO BE INSTALLED IN ACCORDANCE WITH AS4440.

GENERAL SPECIFICATIONS

GENERAL

- ALL BUILDINGS AND WORKS TO BE IN ACCORDANCE WITH THE BUILDING ACT 1993, BUILDING REGULATIONS 2018, BUILDING CODE OF AUSTRALIA 2019 (BCA) AND ALL BCA ADOPTED AUSTRALIAN STANDARDS.
- BUILDING/S ON ALLOTMENTS WITHIN THE DESIGNATED BUSHFIRE AREA TO BE CONSTRUCTED IN ACCORDANCE WITH AS 3959 FOR THE APPROPRIATE BAL LEVEL CALCULATED FOR THE SITE.
- THE FFL TO AHD OF A DWELLING IS TO BE CONFIRMED BY A LICENSED LAND SURVEYOR PRIOR TO THE FRAME INSPECTION FOR ALLOTMENTS DESIGNATED LAND LIABLE TO FLOOD &/OR DESIGNATED LAND - OVERLAND FLOW.
- BUILDINGS MUST COMPLY WITH CLAUSE 3.10.3 BCA AND ABCB FLOOD HAZARD MANAGEMENT STANDARD WHEN A SITE IS DESIGNATED AS LAND LIABLE TO FLOOD.
- PERFORMANCE SOLUTIONS PURSUANT TO PART 2 BCA APPLY WITH THE CONSTRUCTION OF THIS BUILDING AS AN ALTERNATIVE TO THE DEEMED TO SATISFY REQUIREMENTS OF THE BCA.
- DOORWAYS TO SANITARY COMPARTMENTS WHERE THE DOOR IS WITHIN 1200MM OF THE PAN MUST BE FITTED WITH LIFT OFF HINGES.
- ANTI-PONDING DEVICE/BOARDS TO BE INSTALLED PURSUANT TO CLAUSE 3.5.2.5. BCA.
- BALCONIES TO HAVE A MINIMUM STEP DOWN OF 50mm FROM FIRST FLOOR LEVEL TO BALCONY FINISHED SURFACE LEVEL.
- REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.

SITE WORKS/SITING

- BUILDINGS AND ALL SITE WORKS TO BE CONSTRUCTED AND MAINTAINED WITHIN THE TITLE BOUNDARIES.
- EARTHWORKS (UN-RETAINED) SHALL NOT EXCEED 2000MM MAX.
- SLOPE RATIOS FOR EARTHWORKS

SOIL CLASS	SITE CUT MAX RATIO	SITE FILL MAX RATIO
STABLE ROCK - CLASS A	8:1	2:3
SAND - CLASS A	1:2	1:1
FIRM CLAY - CLASS M-E	1:1	1:2
SOFT CLAY - CLASS M-E	2:3	NOT SUITABLE

- SLOPE RATIOS FOR FILLED SOFT CLAY (CLASS M-E) AND ALL EARTHWORKS FOR CLASS P SITES MUST BE SPECIFIED BY THE DESIGNING ENGINEER AND NOMINATED ON THE SITE PLAN.

TERMITE TREATMENT

- TERMITE TREATMENT TO BE PROVIDED WHERE NOMINATED BY THE RELEVANT MUNICIPALITY AS AN AFFECTED AREA PURSUANT TO PART 3.1.4 BCA AND AS3660.

DRAINAGE

- SURFACE DRAINAGE TO COMPLY WITH CLAUSE 3.1.3.3 BCA
- STORMWATER DRAINAGE TO COMPLY WITH CLAUSE 3.1.3.5 BCA AND CONNECTED TO THE RELEVANT MUNICIPALITY'S APPROVED LEGAL POINT OF DISCHARGE.
- STEP DOWNS/FREEBOARD
 - STEP DOWNS ABOVE EXTERNAL CONCRETE OR BALCONIES THAT ARE SLOPED AWAY FROM THE DWELLING TO BE 50MM MIN.
 - STEP DOWNS ABOVE ALL OTHER SURFACES TO BE 150MM

FOUNDATIONS

- ALL FOUNDATIONS TO BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEER'S CERTIFIED DESIGN, PART 2.3 BCA AND AS 2870.
- CONCRETE TO BE MANUFACTURED TO AS 3600

WALL CLADDING

- BRICKWORK TO COMPLY WITH PART 3.3 BCA, AS 3700 & AS 4773
- ARTICULATION JOINTS WITH A MIN WIDTH OF 10MM TO BE PROVIDED AS SPECIFIED IN THE ENGINEER'S DESIGN AND CLAUSE 3.3.5.13 BCA.
- HEBEL PANELS TO BE PROVIDED AND INSTALLED PURSUANT TO THE NATA TESTING AUTHORITY APPROVED MANUFACTURER'S SPECIFICATIONS
- FOAMBOARD WALL CLADDING TO BE PROVIDED AND INSTALLED PURSUANT TO THE NATA TESTING AUTHORITY APPROVED MANUFACTURER'S SPECIFICATIONS
- ANGLE LINTELS

SPAN	MIN. END BEARING (MM)	4 COURSES (MM)	FULL WALL OR GABLE (MM)
2000	115	76 x 76 x 5	76 x 76 x 5
2000 - 3000	130	76 x 76 x 6.5	102 x 76 x 6.5
3000 - 4000	150	152 x 102 x 10	152 x 102 x 10

NOTE: IN CAVITY BRICKWORK, A SEPARATE LINTEL WILL BE REQUIRED FOR EACH SKIN OF BRICKWORK.

GLAZING

- THE TYPE GLASS AND INSTALLATION OF ALL GLAZING (WINDOWS, DOORS, SHOWER SCREENS, BALUSTRADES AND ROOF LIGHTS) TO BE IN ACCORDANCE WITH PART 3.6 BCA AND AS 1288.

GUTTERS & DOWNPIPES

- ALL GUTTERS AND DOWNPIPES ARE TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH AS 3500.3
- PLUMBERS FOR GUTTERS AND DOWNPIPES TO CLEARLY SPECIFY COMPLIANCE TO AS 3500.3 IN THE PLUMBING COMPLIANCE CERTIFICATE.

WATERPROOFING

- ALL WET AREAS TO COMPLY WITH CLAUSE 3.8.1.2 BCA AND AS 3740
- BALCONY WATERPROOFING TO BE PROVIDED PURSUANT TO CLAUSE 3.8.1.3, BCA AND AS 4654 PARTS 1 & 2.
- ALL FLOOR WATERPROOFING IN WET AREAS TO TERMINATE AT A WATERSTOP IN ACCORDANCE WITH AS3740.

SMOKE ALARMS

- INTERCONNECTED CEILING MOUNTED SMOKE ALARMS WIRED DIRECTLY TO MAINS WITH BATTERY BACKUP AND INSTALLED IN ACCORDANCE WITH PART 3.7.5 BCA AND AS 3886
- SMOKE DETECTORS TO BE 300mm CLEAR OF WALLS, DOORS & BULKHEADS.

GLAZING

- THE TYPE GLASS AND INSTALLATION OF ALL GLAZING (WINDOWS, DOORS, SHOWER SCREENS, BALUSTRADES AND ROOF LIGHTS) TO BE IN ACCORDANCE WITH PART 3.6 BCA AND AS 2047.

STAIRS

- STEP SIZES
 - RISERS - 115MM MIN & 190MM MAX.
 - GOING - 240MM MIN & 355MM MAX
- OPEN RISERS - 125MM MAX GAP BETWEEN TOP OF TREAD TO UNDERSIDE OF TREAD ABOVE.
- MAX. NUMBER OF RISERS IN A STAIRWAY BEFORE REQUIRING A LANDING - 18 RISERS
- DOORWAY THRESHOLDS - 230MM MAX TO ADJOINING SURFACE.
- SLIP-RESISTANCE - TREADS AND LANDINGS MUST HAVE A SURFACE OR NOSING STRIP WITH A SLIP RESISTANCE OF NOT LESS THAN THAT SPECIFIED IN CLAUSE 3.9.1.4, BCA.
- HEADROOM HEIGHT ABOVE STAIRS TO BE 2000MM MIN.

LANDINGS

- MIN. LENGTH - 750MM
- LANDING REQUIRED WHERE A DOORWAY THRESHOLD OPENS ONTO A STAIRWAY THAT EXCEEDS 3 RISERS OR 570MM IN HEIGHT.

BALUSTRADES (BARRIERS) & HANDRAILS

- BALUSTRADES TO BE PROVIDED WHERE ADJOINING FLOOR OR GROUND LEVEL DIFFERS MORE THAN 1000MM OR 5 RISERS IN HEIGHT.
- BALUSTRADE HEIGHT ABOVE LANDINGS/BALCONIES/DECKS - 1000MM
- BALUSTRADE HEIGHT ABOVE STAIR NOSINGS - 865MM
- OPENINGS IN BALUSTRADE - 125MM MAX.
- HANDRAILS MUST BE LOCATED ALONG AT LEAST ONE SIDE OF A STAIRWAY AND BE CONTINUOUS ALONG THE LENGTH OF THE STAIRWAY AND HAVE NO OBSTRUCTIONS AS TO BREAK A HANDHOLD EXCEPT FOR A NEWEL POST.
- FIRST FLOOR BEDROOM WINDOWS WITHIN 1700MM OF THE FFL TO BE RESTRICTED TO A MAX OPENING OF 125MM.
- TOP HANDRAIL REQUIRED TO ALL GLASS BALUSTRADE.

ENERGY EFFICIENCY

- DWELLING AND GARAGE TO COMPLY WITH PART 3.12, BCA AND THE SITE SPECIFIC 6 STAR ENERGY REPORT.
- DOOR FROM THE DWELLING TO THE GARAGE TO BE FITTED WITH SEAL TO RESTRICT AIR INFILTRATION IN ACCORDANCE WITH PART 3.12.3.3 OF THE BCA 2019 VOL.2.
- THE DWELLING IS TO BE PROVIDED WITH A 2000 LITRE WATER TANK CONNECTED TO THE SANITARY FLUSHING SYSTEMS OF THE BUILDING OR A SOLAR WATER HEATER SYSTEM INSTALLED IN ACCORDANCE WITH THE PLUMBING REGULATIONS PURSUANT TO CLAUSE 3.12.0(A), BCA.

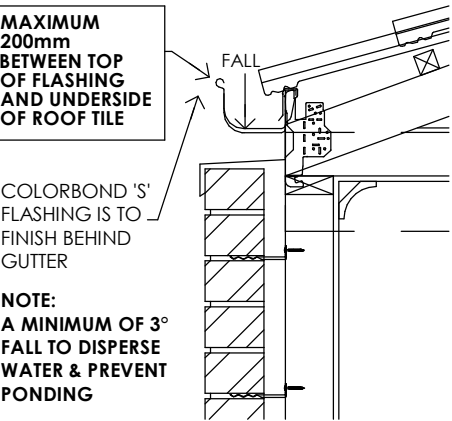
CONDENSATION MANAGEMENT

- PLIABLE BUILDING MEMBRANE - WALL SISALATION TO BE A VAPOUR PERMEABLE MEMBRANE TO COMPLY WITH AS 4200.1 AND INSTALLED PURSUANT TO AS 4200.2.
- ALL EXHAUST FANS SHOWN ON THE PLANS ACHIEVE A MIN 40L/S FLOW RATE.
- EXHAUST FANS TO BE DUCTED TO THE EXTERNAL WALL OR THROUGH THE ROOF SPACE DIRECTLY TO A ROOF VENT. NO FANS TO DISCHARGE DIRECTLY INTO THE ROOF SPACE.

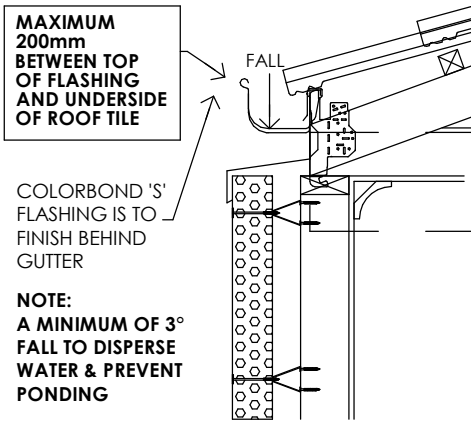
APPLIANCES NOTE

- APPLIANCES SHOWN IN THE DRAWINGS ARE GENERIC ONLY . FINAL APPEARANCE OF APPLIANCES MAY VARY.

GENERIC BRICK VENEER 'S' FLASHING DETAIL



GENERIC HEBEL 'S' FLASHING DETAIL



IMPORTANT NOTE:

GENERAL SPECIFICATIONS TO COMPLY WITH
NCC (BCA 2019) .

DRAWING TITLE:

GENERAL SPECIFICATION

HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51
(30.3)-LH

FACADE: ALL

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AFFINITY

LUXURY LIVING

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CLIENT:

A. SINGH & A. KAUR

ADDRESS:

LOT 244, 68 GUINEVERE PARADE
SUBURB: GLEN WAVERLEY

JOB DATE: 05.06.2024

MASTER DATE: 23.05.2024

DRAWN: CL/JDV

CHECKED: DJM

JOB No: J1031117

ISSUE: SITING_PRE

SCALE:

SHEET No: 0A

****PRELIMINARY ONLY****
CONFIRM 2ND SOIL/SURVEY AFTER
HOUSE HAS BEEN DEMOLISHED

SITE SCRAPE LEVEL
65.2 AHD

SITE AREA:	650.63 m²	MELWAYS:	XXX XX
POS:	163.61 m²	PERMEABILITY:	62.18%
CONC. AREA:	0.00 m²	CONC. AREA:	0.00%
BUILDING AREA:	246.06 m²	SITE COVERAGE:	37.82%

HOUSE FFL: 65.585
SLAB TYPE: WAFFLE **SLAB HEIGHT: 385mm**

AREA TOTALS:	346.36 m²	53.23%
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ABOVE 650 SQM: MINIMUM PERCENTAGE OF GARDEN AREA REQUIRED IS 35%

DRIVEWAY SHOWN ON PLAN IS INDICATIVE ONLY. THE DRIVEWAY IS THE RESPONSIBILITY OF THE OWNER AND IS NOT INCLUDED IN THE CONTRACT BUILDING WORKS BY THE BUILDER

BUILDING PLATFORM LEVEL: 65.2

NOTE: REFER TO NOTES & CONDITIONS OF TENDER DOCUMENT FOR FURTHER REFERENCE

STORMWATER DRAIN LAYOUTS IS FOR INDICATIVE PURPOSES ONLY & WILL BE INSTALLED AS PER THE DRAINAGE SUB-CONTRACTORS DISCRETION.

- SITE DRAINAGE SHALL COMPLY WITH NCC 3.1.2 'DRAINAGE' AND AS 3500 PLUMBING AND DRAINAGE CODE
- GRADE SURFACE AVOID FROM FOOTINGS AT 120 MIN FALL
- PROVIDE CUT TOE OR SPOON DRAINS AS NECESSARY TO COLLECT AND CHANNEL WATER RUN-OFF AROUND THE BUILDING DURING CONSTRUCTION
- TEMPORARY DOWNPIPES CONNECTED TO THE STORMWATER SYSTEM SHALL BE INSTALLED AS SOON AS THE ROOF CLADDING IS COMPLETED. FROM TIME TO TIME TEMPORARY DOWNPIPES MAY BE EXCLUDED OR REMOVED FOR OPERATIONAL REASONS.
- ALL STORMWATER DRAINS SHALL BE DIRECTED TO THE COUNCIL NOMINATED LEGAL POINT OF DISCHARGE
- DOWNPIPES, RAIN HEDGES, OVERFLOWS AND SPREADERS ARE INDICATIVE LOCATIONS ONLY.

BAL NIL

ALL HOMES TO COMPLY WITH AS 3959-2009 (BAL)

MAXIMUM DESIGN GUST WIND SPEED FOR THIS SITE IS: **N1 -26m/s**

IMPORTANT NOTE:
THE WIND SPEED CALCULATION IS TAKEN FROM THE JOB SPECIFIC SOIL REPORT
(FRONT PAGE)
STANDARD HOMES ARE DESIGNED TO SUIT A MINIMUM WIND GUST SPEED OF 33 m/s

PROVISION OR RELOCATION OF THE DRIVEWAY CROSSING TO ALLOW VEHICLE ACCESS TO THE GARAGE IS THE RESPONSIBILITY OF THE OWNER

DEEPENING OF FOOTINGS MAY BE REQ'D DUE TO ADJOINING EASEMENTS. SITING IS
SUBJECT TO OBTAINING ALL RELEVANT PIPE DETAILS

PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660

IT IS THE RESPONSIBILITY OF THE OWNER TO UNDERTAKE ANY TREE REMOVAL INCLUDING OBTAINING ANY NECESSARY PERMITS, & TO PROVIDE A SITE CLEAR OF ANY VEGETATION & DEBRIS, TO THE SATISFACTION OF THE BUILDER PRIOR TO COMMENCEMENT OF WORKS

PROVIDE TREE ROOT PROTECTION IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS

REPORT & CONSENT REQUIRED FOR DAYLIGHT TO EXISTING HABITABLE WINDOWS NOT
COMPLYING WITH RESCODE BUILDING REGULATION - reg. 81

REPORT AND CONSENT REQUIRED DUE TO LAND BEING LIABLE TO FLOODING UNDER REGULATION 153

THIS SITING IS BASED ON INFORMATION RECEIVED AT THE TIME OF TENDER
SIGNING & IS SUBJECT TO RECEIVING ALL PROPERTY SERVICE INFORMATION
FROM RELEVANT AUTHORITIES

DATE:

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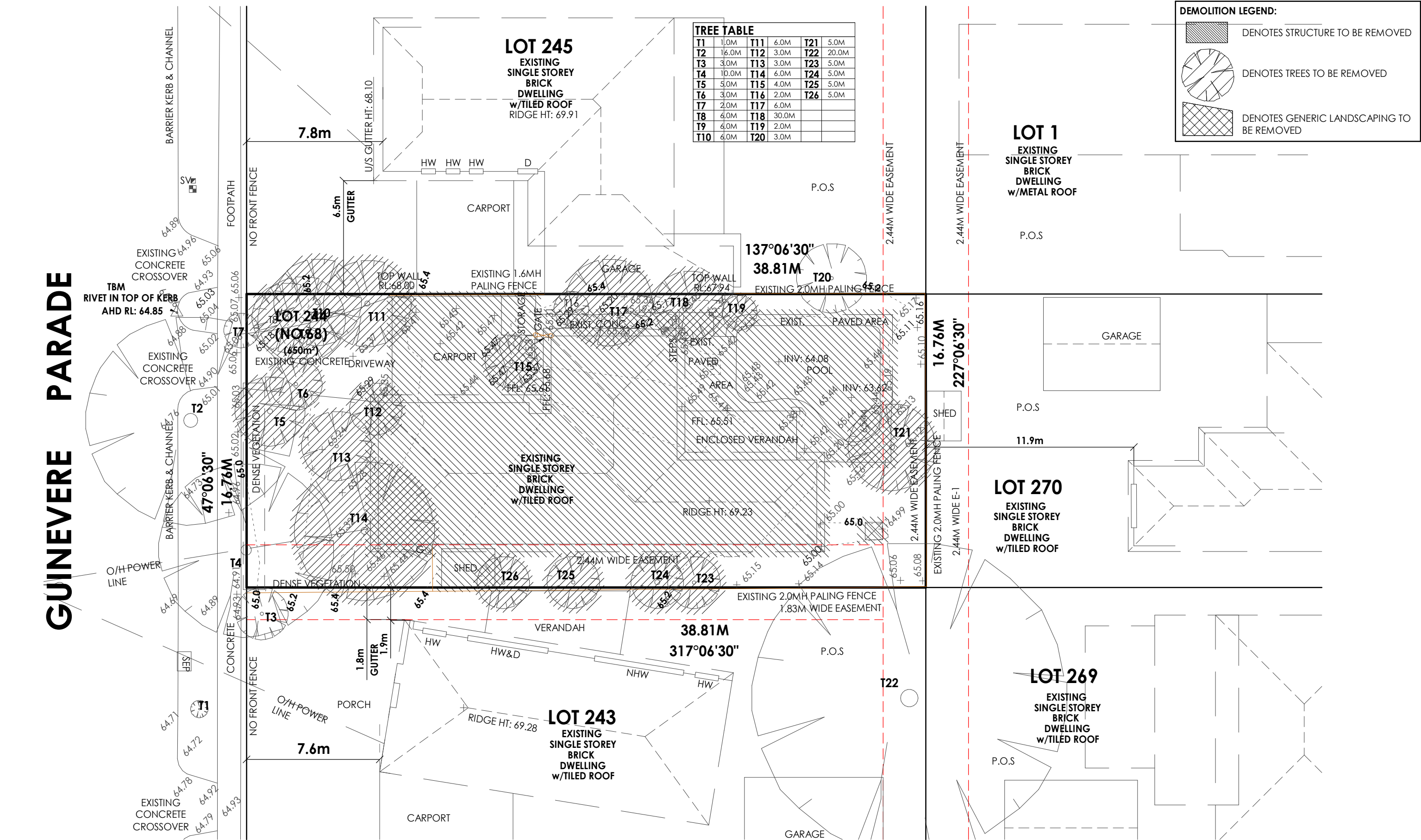


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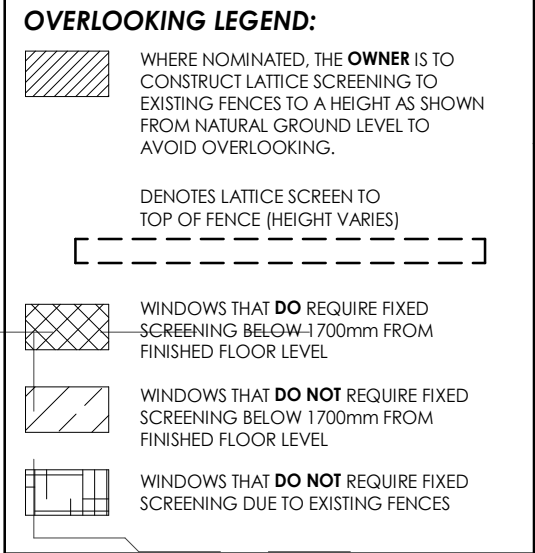
LUXURY LIVING

JOB No: J1031117	ISSUE: SITING_PRE
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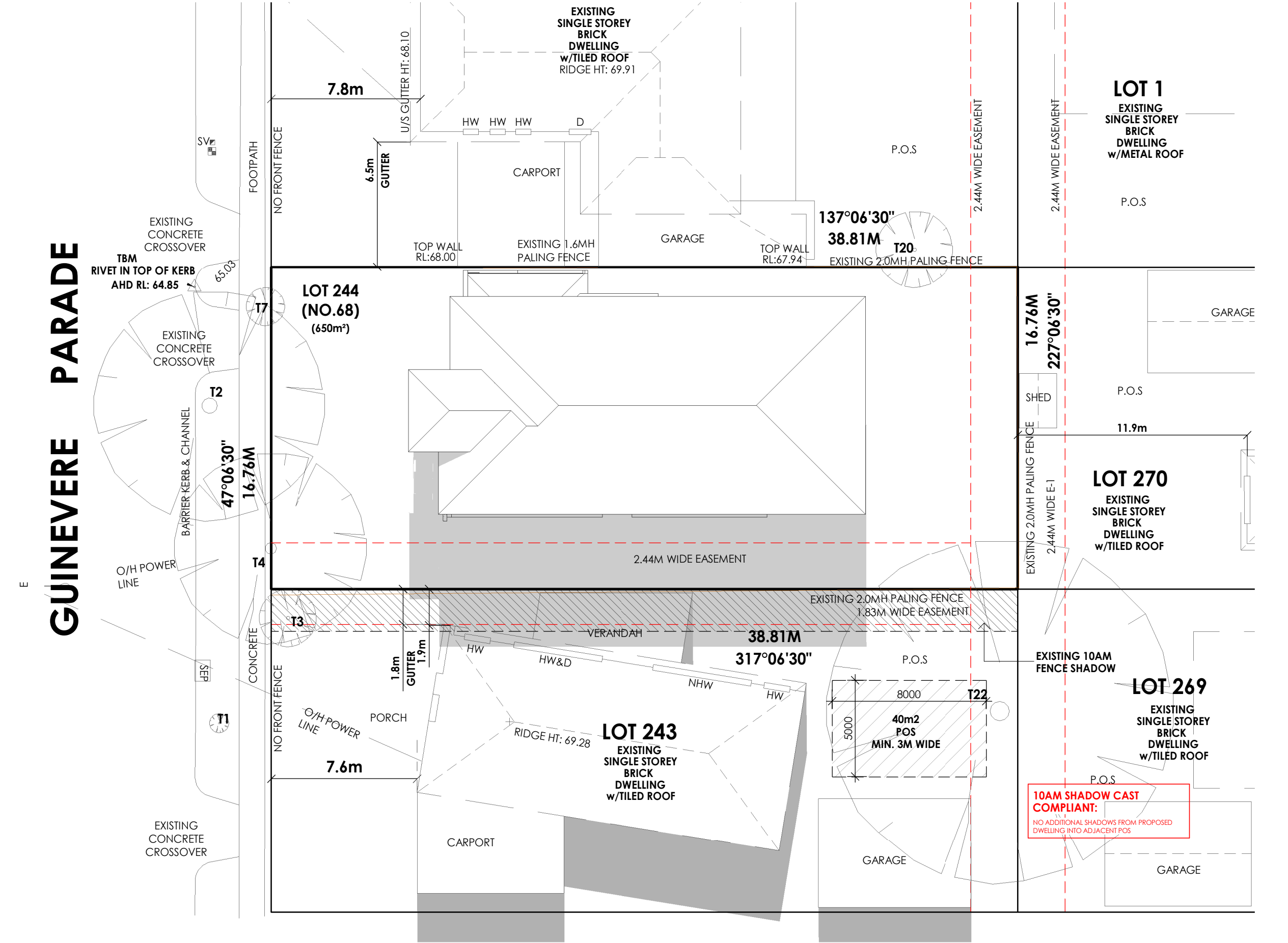
GUINEVERE PARADE



W



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OVERSHADOWING LEGEND:
GREY HATCH DENOTES SHADOW CAST AT 10am
ON SEPTEMBER 22 (EQUINOX)

SEPTEMBER 22 (EQUINOX)

TIME OF DAY	SHADOW LENGTH OF A 1.0m OBJECT
7:00 am	6.31 m
8:00 am	2.61 m
9:00 am	1.60 m
10:00 am	1.15 m
11:00 am	0.87 m
12:00 noon	0.78 m
1:00 pm	0.84 m
2:00 pm	1.00 m
3:00 pm	1.38 m
4:00 pm	2.14 m
5:00 pm	4.01 m

DRAWING LEGEND:

- METER BOX
- TREE TO BE RETAINED
- TREE TO BE REMOVED
- HAB HABITABLE WINDOW
- NH NON-HABITABLE WINDOW
- SURVEY PEG
- P.O.S. PRIVATE OPEN SPACE
- DP DOWN PIPE LOCATIONS
- ELECTRICITY PIT
- HD LEGAL POINT OF DISCHARGE
- S/W PIT STORM WATER PIT
- G.W.T. GAS - WATER - TELSTRA
- NEIGHB'S APP'X SETBACKS

NORTH

CLIENT SIGNATURE:
CLIENT SIGNATURE:
BUILDER:
DATE:

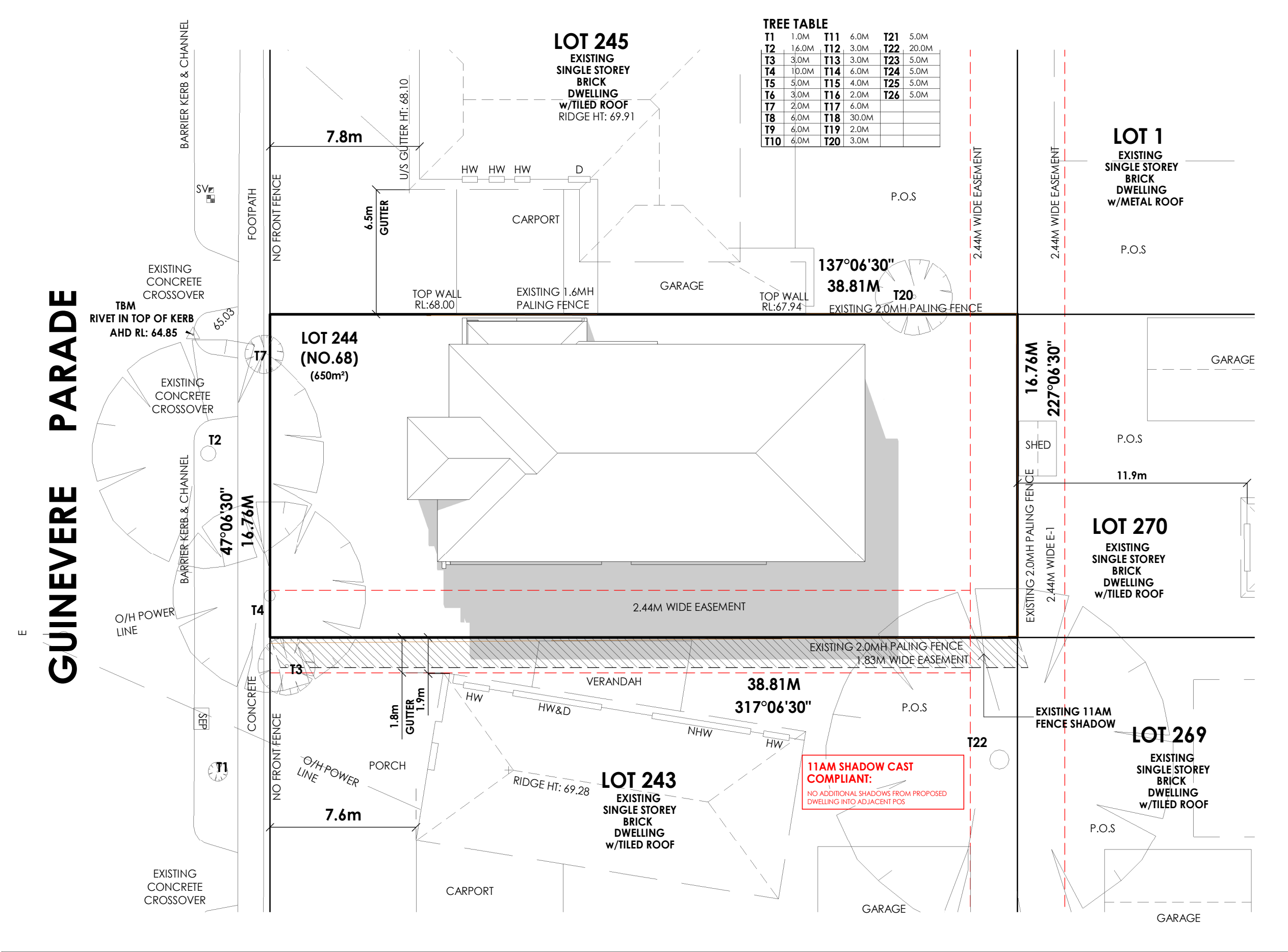
DRAWING TITLE:
OVERSHADOWING (10am)
HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51 (30.3)-LH
FACADE: CLASSIQUE
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SCALE: 1 : 200 SHEET No: 1C (B)

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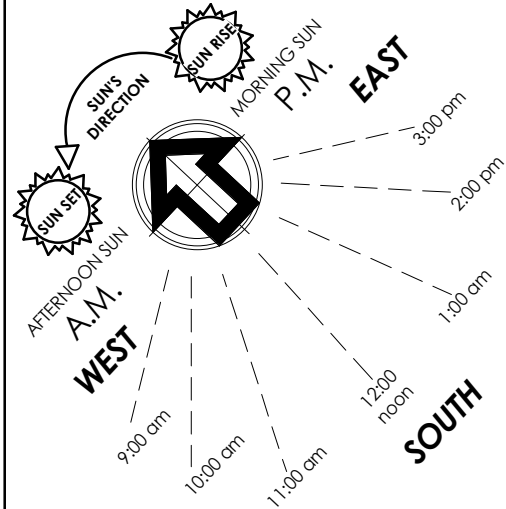
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T1	1.0M	T11	6.0M	T21	5.0M
T2	16.0M	T12	3.0M	T22	20.0M
T3	3.0M	T13	3.0M	T23	5.0M
T4	10.0M	T14	6.0M	T24	5.0M
T5	5.0M	T15	4.0M	T25	5.0M
T6	3.0M	T16	2.0M	T26	5.0M
T7	2.0M	T17	6.0M		
T8	6.0M	T18	30.0M		
T9	6.0M	T19	2.0M		
T10	6.0M	T20	3.0M		

OVERSHADOWING LEGEND:

GREY HATCH DENOTES SHADOW CAST AT 11am ON SEPTEMBER 22 (EQUINOX)

SEPTEMBER 22 (EQUINOX)

TIME OF DAY	SHADOW LENGTH OF A 1.0m OBJECT
7:00 am	6.31 m
8:00 am	2.61 m
9:00 am	1.60 m
10:00 am	1.15 m
11:00 am	0.87 m
12:00 noon	0.78 m
1:00 pm	0.84 m
2:00 pm	1.00 m
3:00 pm	1.38 m
4:00 pm	2.14 m
5:00 pm	4.01 m



METER BOX

TREE TO BE RETAINED

TREE TO BE REMOVED

HAB

HABITABLE WINDOW

NH

NON-HABITABLE WINDOW

SURVEY PEG

P.O.S.

PRIVATE OPEN SPACE

DP

DOWN PIPE LOCATIONS

HD

ELECTRICITY PIT

HD

LEGAL POINT OF DISCHARGE

S/W PIT

STORM WATER PIT

G.W.T.

GAS - WATER - TELSTRA

Approx.Xx

NEIGHB'S APP'X SETBACKS

NORTH

CLIENT SIGNATURE:

CLIENT SIGNATURE:

BUILDER:

DATE:

DRAWING TITLE:

OVERSHADOWING (11am)

HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51 (30.3)-LH

FACADE: CLASSIQUE

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CARLISLE

Lifes better

AFFINITY

LUXURY LIVING

CLIENT:

A. SINGH & A. KAUR

ADDRESS:

LOT 244, 68 GUINEVERE PARADE

SUBURB: GLEN WAVERLEY

JOB DATE:

05.06.2024

MASTER DATE:

23.05.2024

DRAWN:

CL/JDV

CHECKED:

DJM

JOB No:

J1031117

ISSUE:

SITING_PRE

SCALE:

1 : 200

SHEET No:

1C (C)

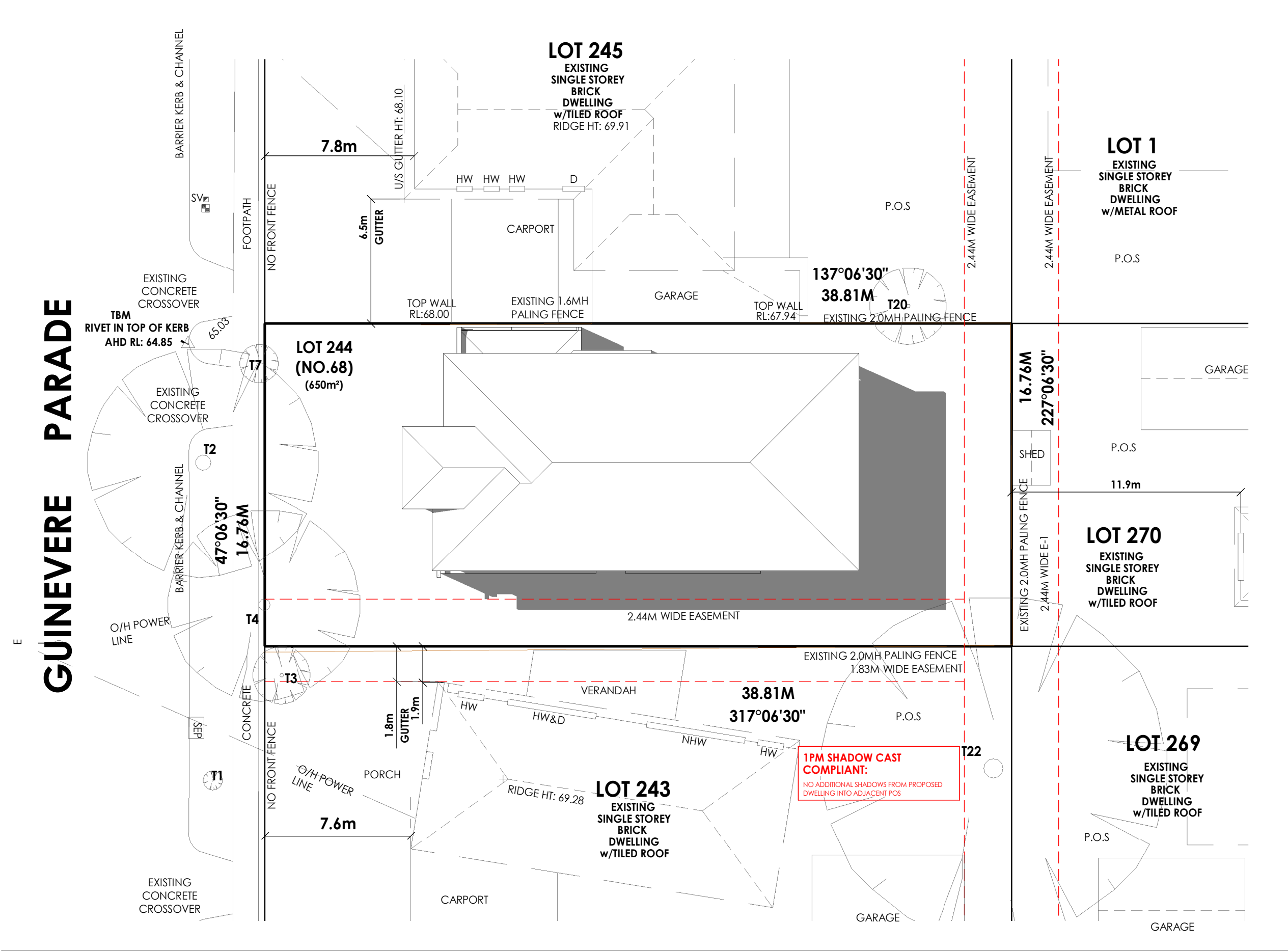
631 Springvale Road Mulgrave Victoria 3170

T 03 8561 4777

F 03 9561 5320

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OVERSHADOWING LEGEND:

GREY HATCH DENOTES SHADOW CAST AT **1pm**
ON SEPTEMBER 22 (EQUINOX)

SEPTEMBER 22 (EQUINOX)

TIME OF DAY	SHADOW LENGTH OF A 1.0m OBJECT
7:00 am	6.31 m
8:00 am	2.61 m
9:00 am	1.60 m
10:00 am	1.15 m
11:00 am	0.87 m
12:00 noon	0.78 m
1:00 pm	0.84 m
2:00 pm	1.00 m
3:00 pm	1.38 m
4:00 pm	2.14 m
5:00 pm	4.01 m

DRAWING LEGEND:

METER BOX

TREE TO BE RETAINED

TREE TO BE REMOVED

HAB HABITABLE WINDOW

NH NON-HABITABLE WINDOW

SURVEY PEG

P.O.S. PRIVATE OPEN SPACE

DP ● DOWN PIPE LOCATIONS

HO ○ LEGAL POINT OF DISCHARGE

S/W PIT □ STORM WATER PIT

G.W.T. GAS - WATER - TELSTRA

Approx.XX

NEIGHB'S APP'X SETBACKS

NORTH

CLIENT SIGNATURE:
.....
CLIENT SIGNATURE:
.....
BUILDER:
.....
DATE:
.....

DRAWING TITLE:
OVERSHADOWING (1pm)

HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51 (30.3)-LH

FACADE: CLASSIQUE

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LUXURY LIVING

CLIENT:
A. SINGH & A. KAUR

ADDRESS:
LOT 244, 68 GUINEVERE PARADE
SUBURB: GLEN WAVERLEY

JOB DATE: 05.06.2024

MASTER DATE: 23.05.2024

DRAWN: CL/JDV

CHECKED: DJM

JOB No: J1031117

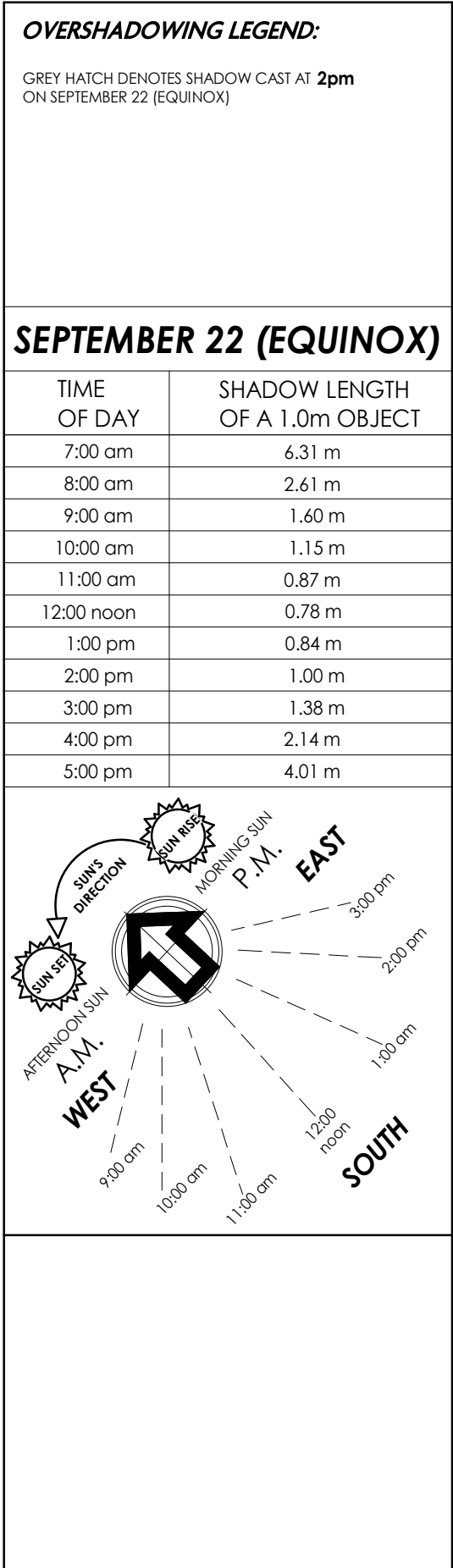
ISSUE: SITING_PRE

SCALE: 1 : 200

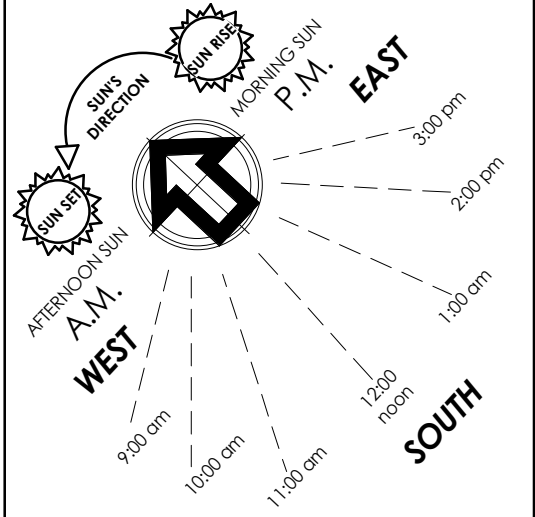
SHEET No: 1C (E)














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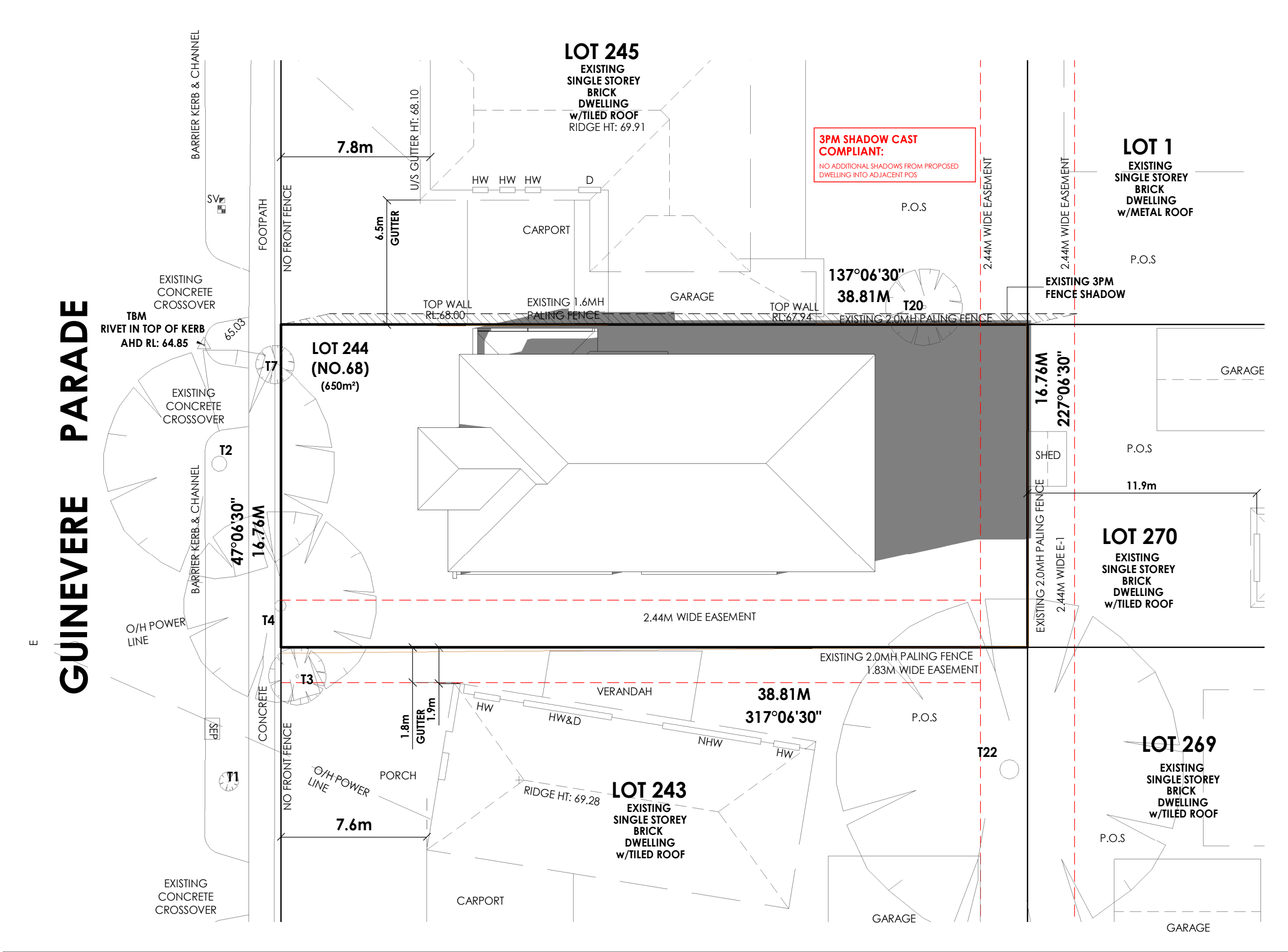
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TIME OF DAY	SHADOW LENGTH OF A 1.0m OBJECT
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4:00 pm	2.14 m
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DRAWING LEGEND: <div> METER BOX</div> <div> TREE TO BE RETAINED</div> <div> TREE TO BE REMOVED</div> <div>HAB HABITABLE WINDOW</div> <div>NH NON-HABITABLE WINDOW</div> <div> SURVEY PEG</div> <div>P.O.S. PRIVATE OPEN SPACE</div> <div>DP  DOWN PIPE LOCATIONS</div> <div> ELECTRICITY PIT</div> <div>HDO  LEGAL POINT OF DISCHARGE</div> <div>S/W PIT  STORM WATER PIT</div> <div> G.W.T. GAS - WATER - TELSTRA</div> <div> Approx.XX NEIGHB'S APP'X SETBACKS</div>		NORTH 		CLIENT SIGNATURE: _____ CLIENT SIGNATURE: _____ BUILDER: _____ DATE: _____		DRAWING TITLE: OVERSHADOWING (2pm) HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51 (30.3)-LH FACADE: CLASSIQUE <small>"THIS WORK IS EXCLUSIVELY OWNED BY CARLISLE HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF CARLISLE HOMES PTY LTD"</small> <small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small> <div> COPYRIGHT 2023</div>		<div>CARLISLE <i>Lifes better</i></div> <div>AFFINITY LUXURY LIVING</div>		CLIENT: A. SINGH & A. KAUR ADDRESS: LOT 244, 68 GUINEVERE PARADE SUBURB: GLEN WAVERLEY JOB DATE: 05.06.2024 DRAWN: CL/JDV JOB No: J1031117 SCALE: 1 : 200 MASTER DATE: 23.05.2024 CHECKED: DJM ISSUE: SITING_PRE SHEET No: 1C (F)	
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OVERSHADOWING LEGEND:

GREY HATCH DENOTES SHADOW CAST AT **3pm**
ON SEPTEMBER 22 (EQUINOX)

SEPTEMBER 22 (EQUINOX)

TIME OF DAY	SHADOW LENGTH OF A 1.0m OBJECT
7:00 am	6.31 m
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P.O.S. PRIVATE OPEN SPACE

DP DOWN PIPE LOCATIONS

ELECTRICITY PIT

HDO LEGAL POINT OF DISCHARGE

S/W PIT STORM WATER PIT

G.W.T. GAS - WATER - TELSTRA

NEIGHB'S APP'X SETBACKS

NORTH

CLIENT SIGNATURE:
.....
CLIENT SIGNATURE:
.....
BUILDER:
.....
DATE:
.....

DRAWING TITLE:
OVERSHADOWING (3pm)

HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51 (30.3)-LH

FACADE: CLASSIQUE

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CLIENT:
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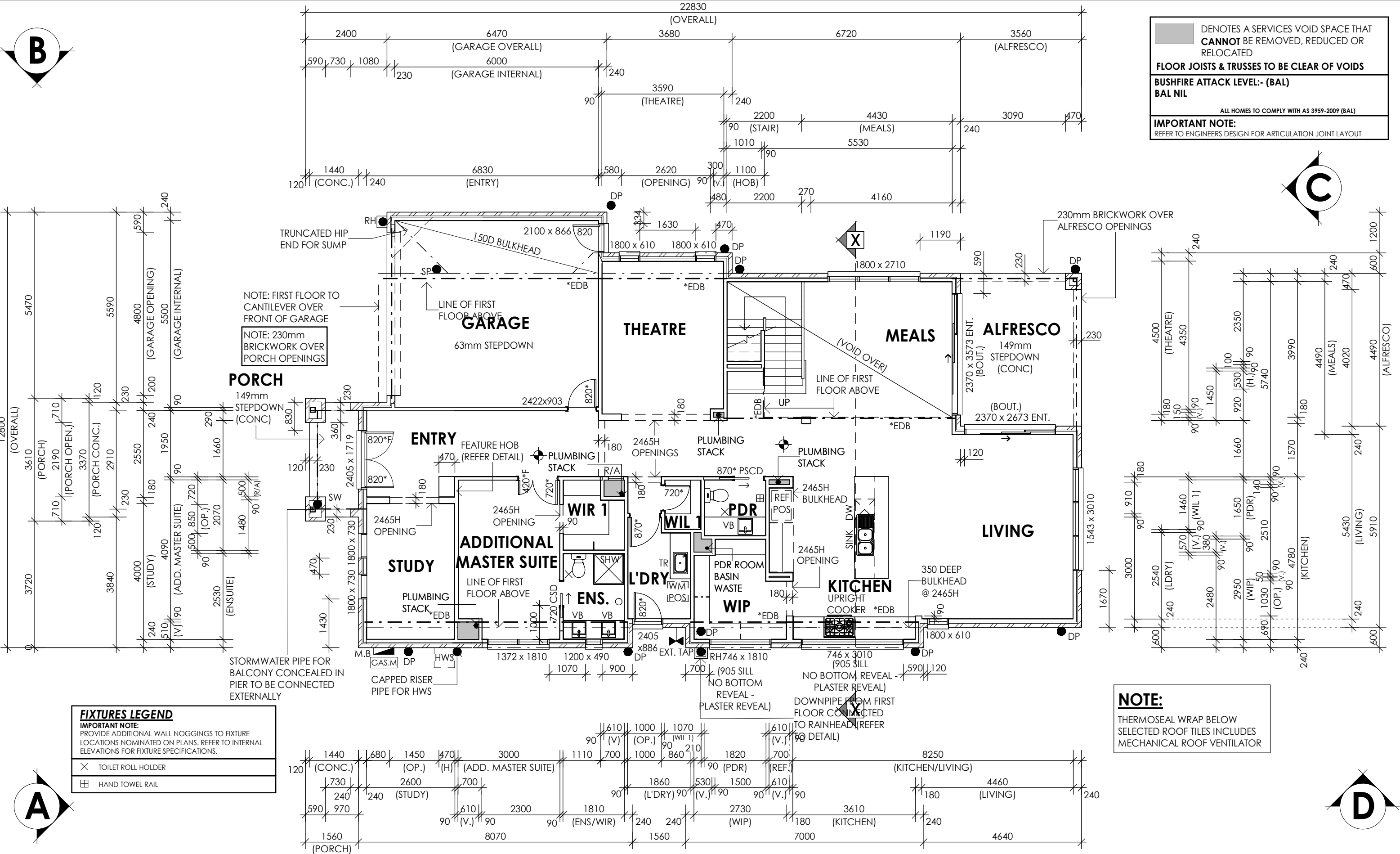
ADDRESS:
LOT 244, 68 GUINEVERE PARADE
SUBURB: GLEN WAVERLEY

JOB DATE: 05.06.2024 **MASTER DATE:** 23.05.2024

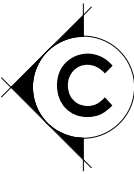
DRAWN: CL/JDV **CHECKED:** DJM

JOB No: J1031117 **ISSUE:** SITING_PRE

SCALE: 1 : 200 **SHEET No:** 1C (G)



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■ DENOTES A SERVICES VOID SPACE THAT
CANNOT BE REMOVED, REDUCED OR
RELOCATED

FLOOR JOISTS & TRUSSES TO BE CLEAR OF VOIDS

BUSHFIRE ATTACK LEVEL:- (BAL)
BAL NIL

ALL HOMES TO COMPLY WITH AS 3959-2009 (BAL)

IMPORTANT NOTE:
REFER TO ENGINEERS DESIGN FOR ARTICULATION JOINT LAYOUT

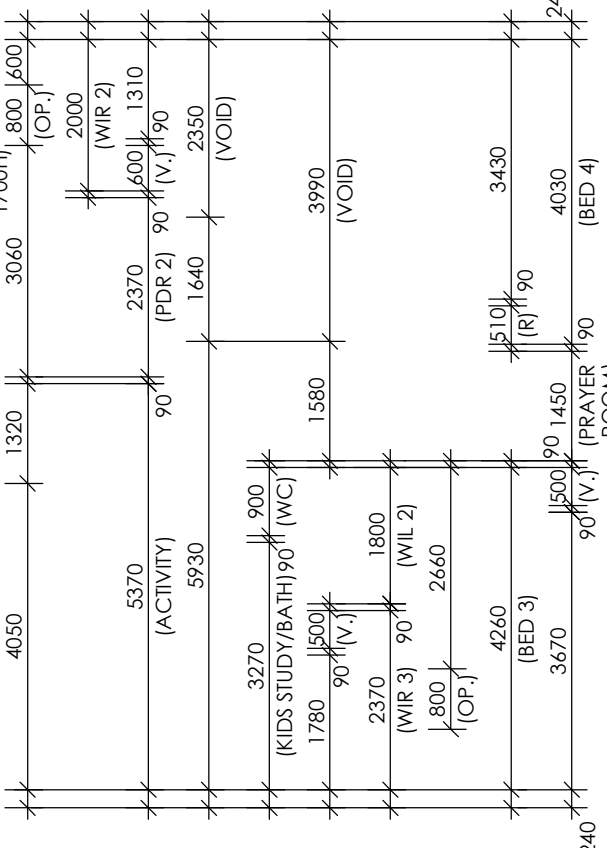
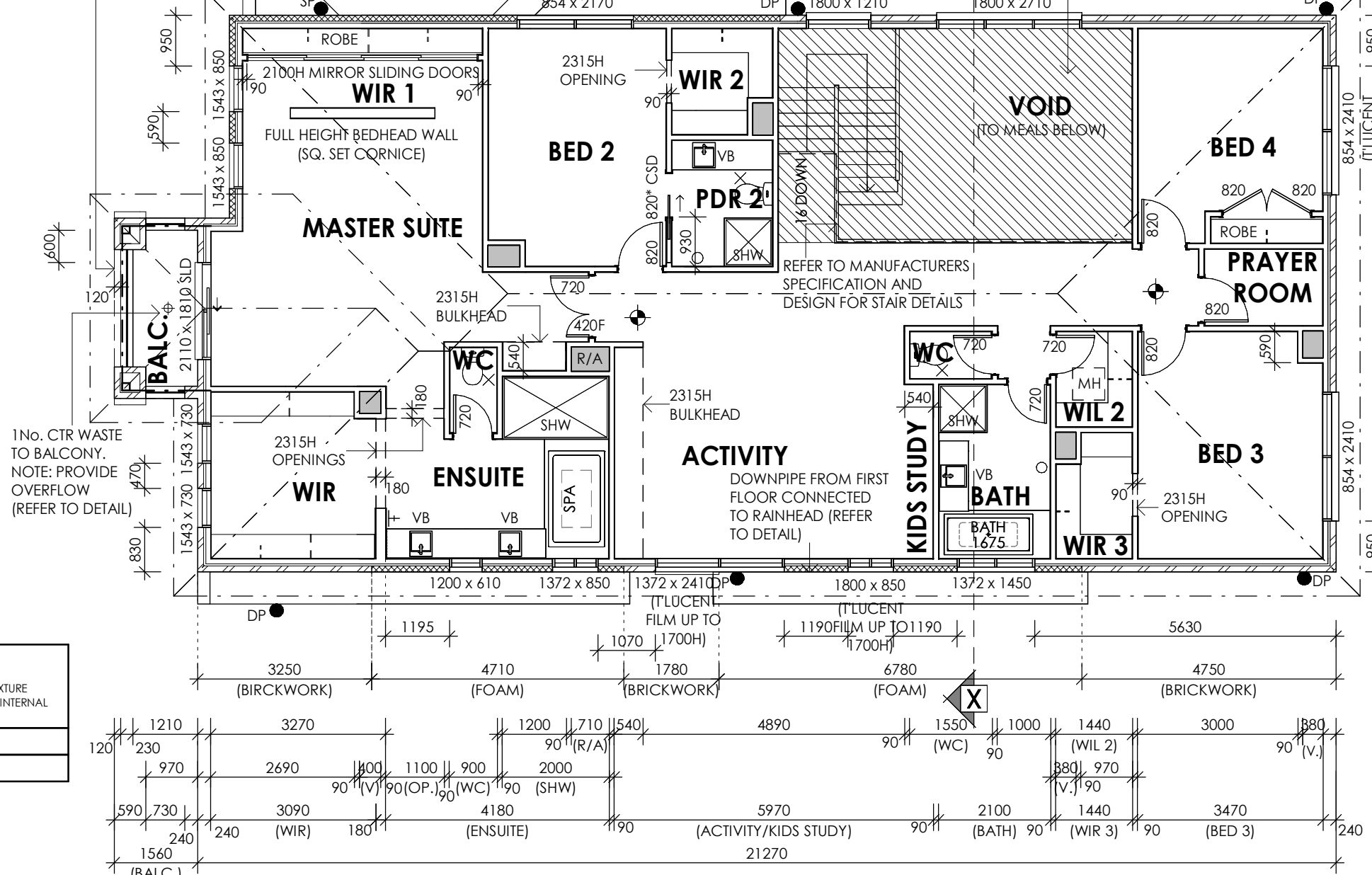
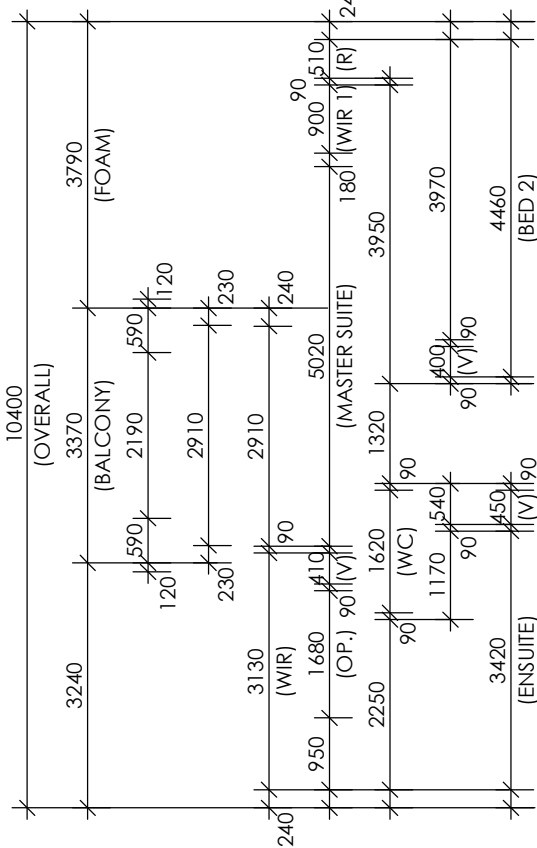
NOTE:

THERMOSEAL WRAP BELOW
SELECTED ROOF TILES INCLUDES
MECHANICAL ROOF VENTILATOR

EXCLUSION ZONE: NO EXTERNAL
FIXTURES TO BE INSTALLED TO
THIS AREA OF THE ROOF

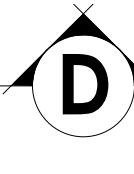
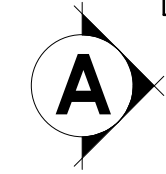
NOTE: 230mm
BRICKWORK ABOVE
BALCONY SIDE
OPENINGS ONLY

100mm RENDERED FOAM
FIXED TO 45mm BATTENS
OVER FRONT BALCONY
OPENING ONLY (TO FINISH
FLUSH WITH BRICKWORK)



FIXTURES LEGEND	
IMPORTANT NOTE: PROVIDE ADDITIONAL WALL NOGGINGS TO FIXTURE LOCATIONS NOMINATED ON PLANS. REFER TO INTERNAL ELEVATIONS FOR FIXTURE SPECIFICATIONS.	
✕	TOILET ROLL HOLDER
○	TOWEL RAIL

■ DENOTES RENDERED FOAM (REFER TO
ELEVATIONS FOR FIXING METHOD)



LEGEND:	
✱	DENOTES 2340H INTERNAL DOORS
⬢	HARDWIRED INTERCONNECTED SMOKE DETECTOR(S) WITH BATTERY BACKUP as per BCA 3.7.5 & to comply with AS3786
*EDB	DENOTES ENGINEER DESIGNED BEAM. (REFER TO ENGINEERS DETAILS)
DP	DENOTES DOWNSPIRE LOCATIONS
•	(DG) DENOTES DOUBLE GLAZED WINDOWS & DOORS
■	DENOTES REINFORCEMENT TO SELECTED WC, BATH/SPA & SHOWER
■	WALLS TO COMPLY WITH NCC 4.2. REFER TO INTERNAL ELEVATIONS FOR REINFORCEMENT DETAILS.
■	DENOTES WC CIRCULATION SPACE (1200L x 900W). CIRCULATION SPACE TO COMPLY WITH NCC 4.2

CLIENT SIGNATURE:

CLIENT SIGNATURE:

BUILDER:

DATE:

DRAWING TITLE:

FIRST FLOOR PLAN

HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51
(30.3)-LH

FACADE: CLASSIQUE

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LUXURY LIVING

CLIENT:

A. SINGH & A. KAUR

ADDRESS:

**LOT 244, 68 GUINEVERE PARADE
SUBURB: GLEN WAVERLEY**

JOB DATE: 05.06.2024

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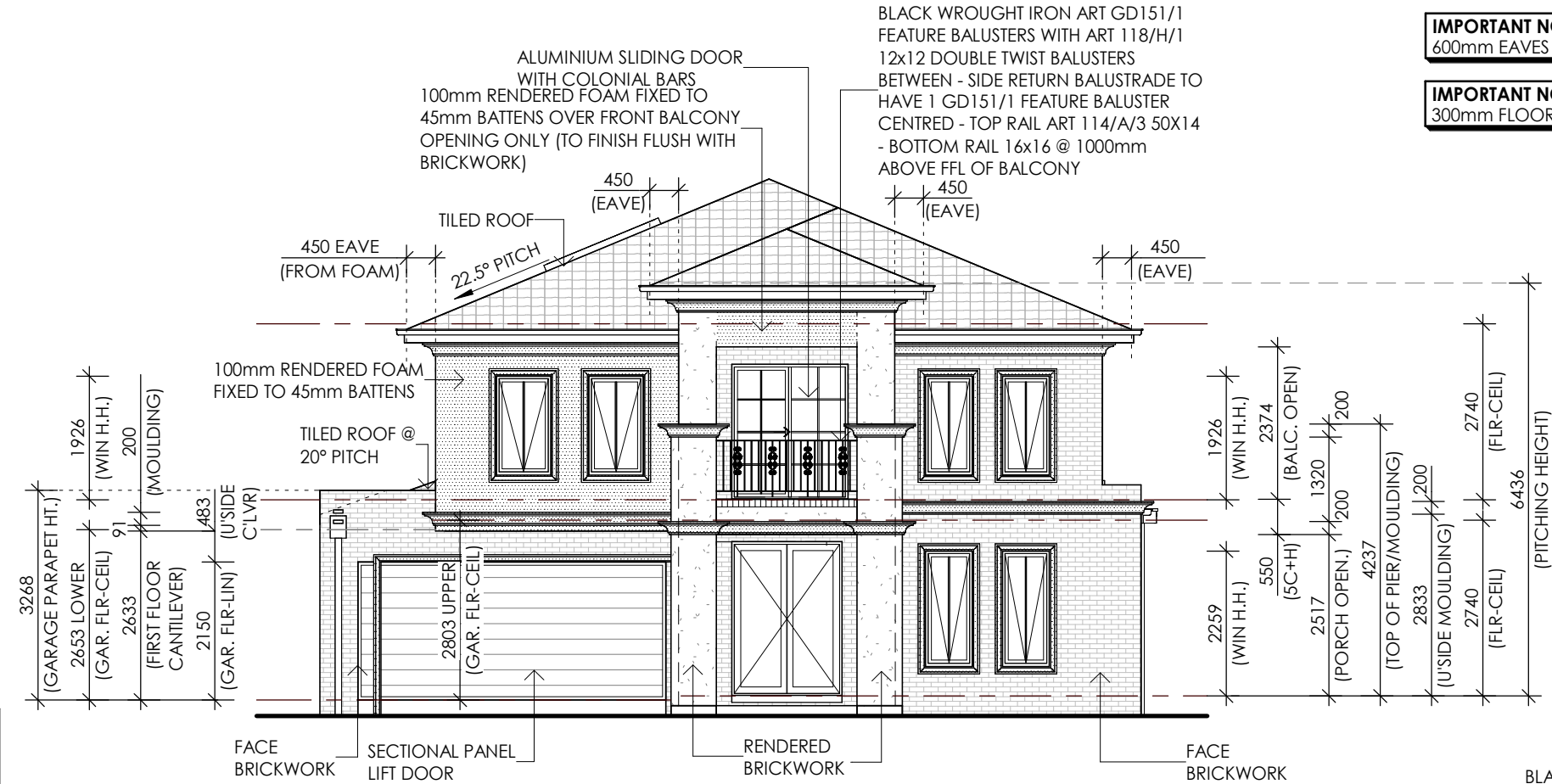
SCALE: 1 : 100

SHEET No: 2A

NOTE: ALUMINIUM FRAMED
WINDOWS TO FRONT FACADE
(UNLESS NOTED OTHERWISE).

-  RENDERED BRICKWORK
-  RENDERED FOAM

NOTE:
THERMOSEAL WRAP BELOW SELECTED ROOF TILES
INCLUDES MECHANICAL ROOF VENTILATOR



IMPORTANT NOTE:
600mm EAVES FROM FRAME

IMPORTANT NOTE:
300mm FLOOR THICKNESS

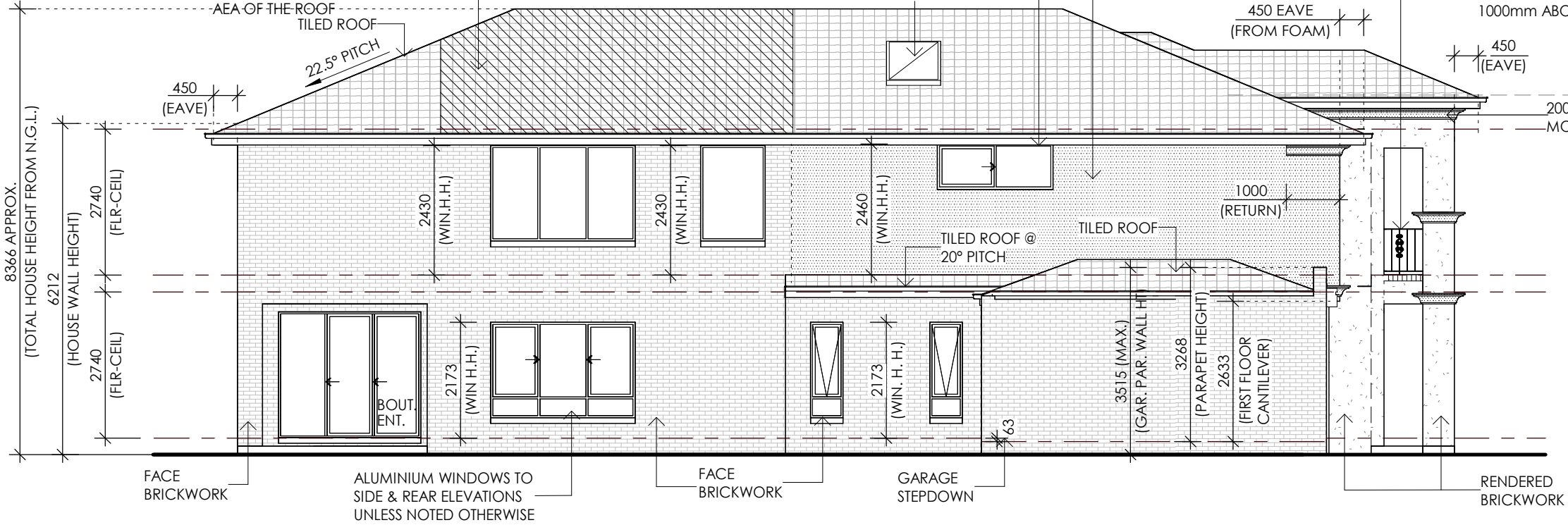
IMPORTANT NOTE: REFER TO ENGINEERS DESIGN FOR ARTICULATION JOINT LAYOUT		
BUSHFIRE ATTACK LEVEL:- (BAL) BAL NIL		
ALL HOMES TO COMPLY WITH AS 3959-2009 (BAL)		
FACADE MATERIAL COVERAGE		
MATERIAL NAME	AREA m²	%
RENDERED BRICKWORK	7.66 m²	19.54 %
FACE BRICKWORK	16.43 m²	41.90 %
RENDERED FOAM	15.12 m²	38.56 %

NOTE:
- 200 x 200 SELECTED MOULDINGS
TO FACADE
- 115 x 40 SELECTED MOULDINGS
TO FACADE WINDOWS (AS
SHOWN) AND TO GARAGE DOOR

ELEVATION - A

SCALE: 1 : 100

EXCLUSION ZONE: NO EXTERNAL
FIXTURES TO BE INSTALLED TO THIS
AEA OF THE ROOF



ELEVATION - B

SCALE: 1 : 100

GARAGE WALL HEIGHT CALCULATION

WALL AREA ABOVE NGL = 20.15m²

WALL LENGTH = 6.47m

20.15m² / 6.47m = 3114mm AVE. WALL HT.

GENERAL NOTES:

- ALL FIRST FLOOR WINDOWS TO BE RESTRICTED TO A MAXIMUM 125mm OPENING
- DOORS TO WC, POWDER ROOM WC, & ENSUITE WC TO BE FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH B.C.A. 10.4.2
- WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST BRICK COURSE (UNLESS NOTED OTHERWISE)
- ALL GLAZING TO COMPLY WITH A.S. 1288-2006 (Amdf 1-2008) (REFER TO ENERGY RATING FOR ALL GLAZING VALUES)
- FOAM SYSTEM REFER TO ATTACHED SPECIFICATIONS (WHERE APPLICABLE)

CLIENT SIGNATURE:

CLIENT SIGNATURE:

BUILDER:

DATE:

DRAWING TITLE:

ELEVATIONS

HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51
(30.3)-LH

FACADE: CLASSIQUE

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CLIENT:

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SUBURB: GLEN WAVERLEY

JOB DATE: 05.06.2024

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CHECKED: DJM

JOB No: J1031117

ISSUE: SITING_PRE

SCALE: 1 : 100

SHEET No: 3

RENDERED BRICKWORK

RENDERED FOAM

ROOF VENTILATOR

450 (EAVE)

22.5° PITCH

2740 (FLR-CEIL)

1700 (L.O.S)

2430 (WIN H.H.)

2173 (WIN H.H.)

1900 (EX. FENCE)

UPPER FLOOR WINDOWS TO LINE UP WITH UNDERSIDE OF EAVES UNLESS NOTED OTHERWISE

PROVIDE TRANSLUCENT FILM 1700MM AFFL WITH SHORT CHAIN WINDER TO BED 3 WINDOW

450 (EAVE)

1700 (L.O.S)

20° PITCH

2653 (GAR. FLR-CEIL)

FACE BRICKWORK

ALUMINIUM WINDOWS TO SIDE & REAR ELEVATIONS UNLESS NOTED OTHERWISE

FACE BRICKWORK

ELEVATION - C

SCALE: 1 : 100

BLACK WROUGHT IRON ART GD151/1 FEATURE BALUSTERS WITH ART 118/H/1 12x12 DOUBLE TWIST BALUSTERS BETWEEN - SIDE RETURN BALUSTRADE TO HAVE 1 GD151/1 FEATURE BALUSTER CENTRED - TOP RAIL ART 114/A/3 50x14 - BOTTOM RAIL 16x16 @ MIN. 1000mm ABOVE BALCONY FFL

FLAT TRAY DECK ROOF (REFER TO DETAILS)

450 (EAVE)

200x200 SELECTED FOAM MOULDINGS TO FACADE

2517 (TOP OF PIER/MOULDING)

1320 (PORCH OPEN)

1200 (5C+H)

2374 (BALC. OPEN.)

5441 (BALCONY OPENING)

2833 (MOULDING)

3601 (APPROX.) (PAR. WALL FROM N.G.L.)

2173 (WIN H.H.)

2460 (WIN H.H.)

2430 (WIN H.H.)

1700 (T'LUCENT)

2460 (WIN H.H.)

1700 (FLR-CEIL)

2740 (FLR-CEIL)

6212 (HOUSE WALL HEIGHT)

8366 APPROX. (TOTAL/HOUSE HEIGHT FROM N.G.L.)

1900 (EX. FENCE)

100mm RENDERED FOAM FIXED TO 45mm BATTENS

ROOF VENTILATOR

UPPER FLOOR WINDOWS TO LINE UP WITH UNDERSIDE OF EAVES UNLESS NOTED OTHERWISE

NOTE: THERMOSEAL WRAP BELOW SELECTED ROOF TILES INCLUDES MECHANICAL ROOF VENTILATOR

22.5° PITCH

450 (EAVE)

1700 (FLR-CEIL)

2740 (FLR-CEIL)

6212 (HOUSE WALL HEIGHT)

8366 APPROX. (TOTAL/HOUSE HEIGHT FROM N.G.L.)

1900 (EX. FENCE)

RENDERED BRICKWORK

GAS METER (DASHED LINE DENOTES PROTECTED AREA AROUND)

FACE BRICKWORK

FACE BRICKWORK

ELEVATION - D

SCALE: 1 : 100

GENERAL NOTES:

- ALL FIRST FLOOR WINDOWS TO BE RESTRICTED TO A MAXIMUM 125mm OPENING
- DOORS TO WC, POWDER ROOM WC, & ENSUITE WC TO BE FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH B.C.A. 10.4.2
- WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST BRICK COURSE (UNLESS NOTED OTHERWISE)
- ALL GLAZING TO COMPLY WITH A.S. 1288-2006 (Amdt 1-2008) (REFER TO ENERGY RATING FOR ALL GLAZING VALUES)
- FOAM SYSTEM REFER TO ATTACHED SPECIFICATIONS (WHERE APPLICABLE)

CLIENT SIGNATURE:

CLIENT SIGNATURE:

BUILDER:

DATE:

DRAWING TITLE:

ELEVATIONS

HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51 (30.3)-LH

FACADE: CLASSIQUE

CARLISLE

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ISSUE: SITING_PRE

SCALE: 1 : 100

SHEET No: 3A

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