

DENOTES A SERVICES VOID SPACE THAT  
CANNOT BE REMOVED, REDUCED OR  
RELOCATED

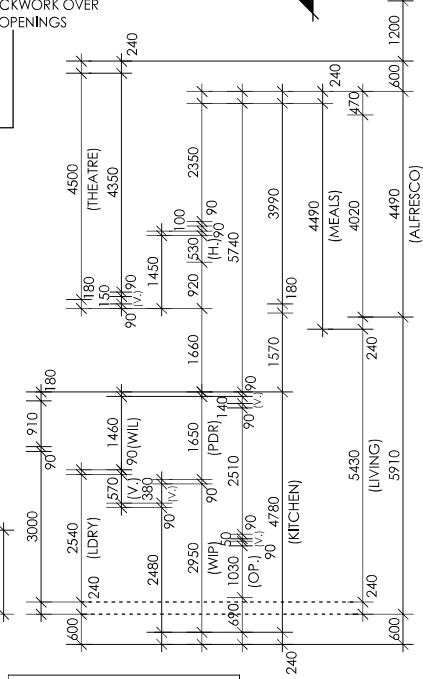
FLOOR JOISTS & TRUSSES TO BE CLEAR OF VOIDS

BUSHFIRE ATTACK LEVEL:- (BAL)

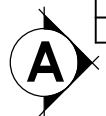
SELECT BAL  
LEVEL

ALL HOMES TO COMPLY WITH AS 3959-2009 (BAL)

IMPORTANT NOTE:  
REFER TO ENGINEERS DESIGN FOR ARTICULATION JOINT LAYOUT



NOTE:  
THERMOSEAL WRAP BELOW  
SELECTED ROOF TILES INCLUDES  
MECHANICAL ROOF VENTILATOR



**FIXTURES LEGEND**

IMPORTANT NOTE:  
PROVIDE ADDITIONAL WALL NOGGINGS TO FIXTURE  
LOCATIONS NOMINATED ON PLANS. REFER TO INTERNAL  
ELEVATIONS FOR FIXTURE SPECIFICATIONS.

X TOILET ROLL HOLDER

■ HAND TOWEL RAIL



**LEGEND:**

- \* DENOTES 240mm INTERNAL DOORS
- HARDWOOD INTERCONNECTED SMOKE DETECTORS WITH BATTERY BACKUP as per BCA 3.7.3.6, to comply with AS3786
- \*EDB DENOTES ENGINEER DESIGNED BEAM. (REFER TO ENGINEERS DRAWINGS)
- DENOTES DOWNPIPE LOCATIONS
- (DGL) DENOTES DOUBLE GLAZED WINDOWS & DOORS
- DENOTES REINFORCEMENT TO SELECTED WC, BATHROOM & SHOWER WALLS TO COMPLY WITH NCC 4.4.2, REFER TO INTERNAL ELEVATIONS FOR REINFORCEMENT DETAILS
- DENOTES W/C CIRCULATION SPACE (1200 x 4000) CIRCULATION SPACE TO COMPLY WITH NCC 4.2

AREAS TABLE:		
GROUND FLOOR	187.04	m <sup>2</sup>
FIRST FLOOR	218.97	m <sup>2</sup>
<b>SUB TOTAL:</b>	<b>406.01</b>	<b>43.70</b>
GARAGE	36.01	m <sup>2</sup>
ALFRESCO	15.98	m <sup>2</sup>
PORCH	5.14	m <sup>2</sup>
BALCONY	4.99	m <sup>2</sup>
<b>TOTAL</b>	<b>468.14</b>	<b>50.39</b>

CLIENT SIGNATURE:  
*[Signature]*

CLIENT SIGNATURE:  
*[Signature]*

DATE:

**DRAWING TITLE:**

**GROUND FLOOR PLAN**

HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51 (30.3)-LH

FACADE: CLASSIQUE

THIS WORK IS EXCLUSIVELY OWNED BY CARLISLE HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (INCLUDING ELECTRONIC OR MECHANICAL), INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

DO NOT SCALE DRAWINGS. WHEN DIMENSIONS TAKE PRECEDENCE, CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS

© COPYRIGHT 2023

**AFFINITY**

LUXURY LIVING

631 Springvale Road Mulgrave Victoria 3170 T 03 8561 4777 F 03 9561 5320

**CLIENT:** CARLISLE HOMES PTY. LTD.

**ADDRESS:** 631 SPRINGVALE ROAD

**SUBURB:** MULGRAVE

**JOB DATE:** ---

**MASTER DATE:** 12.01.2024

**DRAWN:** HL/DT/HL

**CHECKED:** Checker

**JOB No:** Proj. Number

**ISSUE:** MASTER

**SCALE:** 1 : 100

**SHEET No:** 2

