



CARLISLE HOMES PTY. LTD.
631 SPRINGVALE ROAD MULGRAVE

ROTHBURY GRAND THEATRE ATRIUM 51 (30.3) - LH

CLASSIQUE

JOB No: Prj. Number TOTAL SHEET No. 34

AFFINITY
LUXURY LIVING

SHEET LIST

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1B	OVERLOOKING PLAN	7C	INTERNAL ELEVATIONS
1C	OVERSHADOWING PLAN	8A	INTERNAL ELEVATIONS
1C (2)	OVERSHADOWING PLAN	8A	G.F. HEATING & COOLING PLAN
1C (A)	OVERSHADOWING (9am)	8B	F.F. HEATING & COOLING PLAN
1C (B)	OVERSHADOWING (10am)		
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IMPORTANT NOTE: IMAGES ARE FOR ILLUSTRATIVE PURPOSES ONLY, ARE ARTIST IMPRESSIONS AND MAY DEPICT UPGRADE OPTIONS

FRAMING SPECIFICATIONS

PREFAB FRAMING SCHEDULE

- AS SPECIFIED IN THE MANUFACTURERS PREFAB FRAME DESIGN, IF APPLICABLE OR...

SINGLE STOREY FRAMING SCHEDULE

- 90 X 35 MGP10 PINE BOTTOM PLATE (CONCRETE SLAB)
- 90 X 35 F5 PINE STUDS @ 600 CTS - NOT NOTCHED FOR BRACING - MAX. STUD HEIGHT 2700MM
- 90 X 35 MGP10 PINE TOP PLATE - TRUSSES TO SIT DIRECTLY OVER STUD SUPPORT

DOUBLE STOREY FRAMING SCHEDULE

GROUND FLOOR

- 90 X 35 MGP10 BOTTOM PLATE (CONCRETE SLAB)
- 90 X 35 F5 STUDS @ 450 CTS - NOT NOTCHED FOR BRACING - MAX. STUD HEIGHT 2700MM
- 90 X 35 MGP10 TOP PLATE - FLOOR JOIST TO SIT DIRECTLY OVER STUD SUPPORT

FIRST FLOOR

- 90 X 35 MGP10 BOTTOM PLATE (HYJOIST RIMBOARD TO PERIMETER)
- 90 X 35 F5 STUDS @ 600 CTS - MAX. STUD HEIGHT 2700MM
- 90 X 35 MGP10 TOP PLATE - TRUSSES TO SIT DIRECTLY OVER STUD SUPPORT
- NOGGINS 70 X 35 MERCH. PINE

STUDS FOR CONCENTRATED POINT LOADS

- GIRDER TRUSSES - 3/90 X 45 F5 PINE
- STEEL BEAMS - BY ENGINEER - 90 X 45 F5 PINE OR F17 KDHW WHERE REQUIRED
- FLOOR BEAMS - FLOOR, ROOF & POINT LOAD - BY ENGINEER - 90 X 45 F5 PINE OR F17 KDHW WHERE REQUIRED
- FLOOR BEAMS - FLOOR LOAD ONLY - 90 X 35 F5 PINE

LINTELS

F17 KDHW OR EQUIVALENT & SMARTFRAME LVL - 3MM MAX. LONG TERM DEFLECTION

FLOOR BEAMS

SMARTFRAME LVL TO BE SPECIFIED FOR BEAMS IN FOOR SPACE SUPPORTING FLOOR JOIST

GARAGE BEAM

- SMARTFRAME LVL 15 400MM X 58MM
- STUDS AT SIDES OF OPENINGS - GUIDE ONLY, SUBJECT TO RLW & TRUSS DESIGN - AUTOBEAM TO CONFIRM
- UP TO 1800MM - 2/90 X 35 F5
- 1800MM - 2700MM - 3/90 X 35 F5
- 2700MM - 3000MM - 4/90 X 35 F5 OR 3/90 X 45 F5/F17 KDHW

PORCH BEAMS

AS ABOVE, BUT LONG TERM DEFLECTION INCREASED TO 10MM MAX.

ALFRESCO BEAMS

- SUPA 17 - LIMITED TO 190, 240 OR 290 X 45MM BEAMS - 10MM MAX. LONG TERM DEFLECTION
- LVL 14 - REFER TO MATERIAL GUIDES FOR SIZE, 10mm MAX. LONG TERM DEFLECTION.
- GL13 TREATED - WHERE SPANS EXCEED THE ABOVE BEAM LIMITATIONS

FRAMING BRACKETS

- DUNNINGS BCA44 GALVANISED HEAVY DUTY ANGLE 100 X 100 X 140 X 3MM THICK
- WITH 2 M10 BOLTS TO EACH SIDE - OR
- SPLIT HANGER SPH180 W/- 4 NO. NO. 14 X 30MM TYPE 17 HEX HEAD SCREWS

ALL FRAMING TO COMPLY & BE INSTALLED IN ACCORDANCE WITH AS1684.
ROOF TRUSSES TO BE INSTALLED IN ACCORDANCE WITH AS4440.

GENERAL SPECIFICATIONS

GENERAL

- ALL BUILDINGS AND WORKS TO BE IN ACCORDANCE WITH THE BUILDING ACT 1993, BUILDING REGULATIONS 2018, BUILDING CODE OF AUSTRALIA 2019 (BCA) AND ALL BCA ADOPTED AUSTRALIAN STANDARDS.
- BUILDING/S ON ALLOTMENTS WITHIN THE DESIGNATED BUSHFIRE AREA TO BE CONSTRUCTED IN ACCORDANCE WITH AS 3959 FOR THE APPROPRIATE BAL LEVEL CALCULATED FOR THE SITE.
- THE FFL TO AHD OF A DWELLING IS TO BE CONFIRMED BY A LICENSED LAND SURVEYOR PRIOR TO THE FRAME INSPECTION FOR ALLOTMENTS DESIGNATED LAND LIABLE TO FLOOD &/OR DESIGNATED LAND - OVERLAND FLOW.
- BUILDINGS MUST COMPLY WITH CLAUSE 3.10.3 BCA AND ABCB FLOOD HAZARD MANAGEMENT STANDARD WHEN A SITE IS DESIGNATED AS LAND LIABLE TO FLOOD.
- PERFORMANCE SOLUTIONS PURSUANT TO PART 2 BCA APPLY WITH THE CONSTRUCTION OF THIS BUILDING AS AN ALTERNATIVE TO THE DEEMED TO SATISFY REQUIREMENTS OF THE BCA.
- DOORWAYS TO SANITARY COMPARTMENTS WHERE THE DOOR IS WITHIN 1200MM OF THE PAN MUST BE FITTED WITH LIFT OFF HINGES.
- ANTI-PONDING DEVICE/BOARDS TO BE INSTALLED PURSUANT TO CLAUSE 3.5.2.5. BCA.
- BALCONIES TO HAVE A MINIMUM STEP DOWN OF 50mm FROM FIRST FLOOR LEVEL TO BALCONY FINISHED SURFACE LEVEL.
- REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.

SITE WORKS/SITING

- BUILDINGS AND ALL SITE WORKS TO BE CONSTRUCTED AND MAINTAINED WITHIN THE TITLE BOUNDARIES.
- EARTHWORKS (UN-RETAINED) SHALL NOT EXCEED 2000MM MAX.
- SLOPE RATIOS FOR EARTHWORKS

SOIL CLASS	SITE CUT MAX RATIO	SITE FILL MAX RATIO
STABLE ROCK - CLASS A	8:1	2:3
SAND - CLASS A	1:2	1:1
FIRM CLAY - CLASS M-E	1:1	1:2
SOFT CLAY - CLASS M-E	2:3	NOT SUITABLE

- SLOPE RATIOS FOR FILLED SOFT CLAY (CLASS M-E) AND ALL EARTHWORKS FOR CLASS P SITES MUST BE SPECIFIED BY THE DESIGNING ENGINEER AND NOMINATED ON THE SITE PLAN.

TERMITE TREATMENT

- TERMITE TREATMENT TO BE PROVIDED WHERE NOMINATED BY THE RELEVANT MUNICIPALITY AS AN AFFECTED AREA PURSUANT TO PART 3.1.4 BCA AND AS3660.

DRAINAGE

- SURFACE DRAINAGE TO COMPLY WITH CLAUSE 3.1.3.3 BCA
- STORMWATER DRAINAGE TO COMPLY WITH CLAUSE 3.1.3.5 BCA AND CONNECTED TO THE RELEVANT MUNICIPALITY'S APPROVED LEGAL POINT OF DISCHARGE.
- STEP DOWNS/FREEBOARD
 - STEP DOWNS ABOVE EXTERNAL CONCRETE OR BALCONIES THAT ARE SLOPED AWAY FROM THE DWELLING TO BE 50MM MIN.
 - STEP DOWNS ABOVE ALL OTHER SURFACES TO BE 150MM

FOUNDATIONS

- ALL FOUNDATIONS TO BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEER'S CERTIFIED DESIGN, PART 2.3 BCA AND AS 2870.
- CONCRETE TO BE MANUFACTURED TO AS 3600

WALL CLADDING

- BRICKWORK TO COMPLY WITH PART 3.3 BCA, AS 3700 & AS 4773
- ARTICULATION JOINTS WITH A MIN WIDTH OF 10MM TO BE PROVIDED AS SPECIFIED IN THE ENGINEER'S DESIGN AND CLAUSE 3.3.5.13 BCA.
- HEBEL PANELS TO BE PROVIDED AND INSTALLED PURSUANT TO THE NATA TESTING AUTHORITY APPROVED MANUFACTURER'S SPECIFICATIONS
- FOAMBOARD WALL CLADDING TO BE PROVIDED AND INSTALLED PURSUANT TO THE NATA TESTING AUTHORITY APPROVED MANUFACTURER'S SPECIFICATIONS
- ANGLE LINTELS

SPAN	MIN. END BEARING (MM)	4 COURSES (MM)	FULL WALL OR GABLE (MM)
2000	115	76 x 76 x 5	76 x 76 x 5
2000 - 3000	130	76 x 76 x 6.5	102 x 76 x 6.5
3000 - 4000	150	152 x 102 x 10	152 x 102 x 10

NOTE: IN CAVITY BRICKWORK, A SEPARATE LINTEL WILL BE REQUIRED FOR EACH SKIN OF BRICKWORK.

GLAZING

- THE TYPE GLASS AND INSTALLATION OF ALL GLAZING (WINDOWS, DOORS, SHOWER SCREENS, BALUSTRADES AND ROOF LIGHTS) TO BE IN ACCORDANCE WITH PART 3.6 BCA AND AS 1288.

GUTTERS & DOWNPIPES

- ALL GUTTERS AND DOWNPIPES ARE TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH AS 3500.3
- PLUMBERS FOR GUTTERS AND DOWNPIPES TO CLEARLY SPECIFY COMPLIANCE TO AS 3500.3 IN THE PLUMBING COMPLIANCE CERTIFICATE.

WATERPROOFING

- ALL WET AREAS TO COMPLY WITH CLAUSE 3.8.1.2 BCA AND AS 3740
- BALCONY WATERPROOFING TO BE PROVIDED PURSUANT TO CLAUSE 3.8.1.3, BCA AND AS 4654 PARTS 1 & 2.
- ALL FLOOR WATERPROOFING IN WET AREAS TO TERMINATE AT A WATERSTOP IN ACCORDANCE WITH AS3740.

SMOKE ALARMS

- INTERCONNECTED CEILING MOUNTED SMOKE ALARMS WIRED DIRECTLY TO MAINS WITH BATTERY BACKUP AND INSTALLED IN ACCORDANCE WITH PART 3.7.5 BCA AND AS 3886
- SMOKE DETECTORS TO BE 300mm CLEAR OF WALLS, DOORS & BULKHEADS.

GLAZING

- THE TYPE GLASS AND INSTALLATION OF ALL GLAZING (WINDOWS, DOORS, SHOWER SCREENS, BALUSTRADES AND ROOF LIGHTS) TO BE IN ACCORDANCE WITH PART 3.6 BCA AND AS 2047.

STAIRS

- STEP SIZES
 - RISERS - 115MM MIN & 190MM MAX.
 - GOING - 240MM MIN & 355MM MAX
- OPEN RISERS - 125MM MAX GAP BETWEEN TOP OF TREAD TO UNDERSIDE OF TREAD ABOVE.
- MAX. NUMBER OF RISERS IN A STAIRWAY BEFORE REQUIRING A LANDING - 18 RISERS
- DOORWAY THRESHOLDS - 230MM MAX TO ADJOINING SURFACE.
- SLIP-RESISTANCE - TREADS AND LANDINGS MUST HAVE A SURFACE OR NOSING STRIP WITH A SLIP RESISTANCE OF NOT LESS THAN THAT SPECIFIED IN CLAUSE 3.9.1.4, BCA.
- HEADROOM HEIGHT ABOVE STAIRS TO BE 2000MM MIN.

LANDINGS

- MIN. LENGTH - 750MM
- LANDING REQUIRED WHERE A DOORWAY THRESHOLD OPENS ONTO A STAIRWAY THAT EXCEEDS 3 RISERS OR 570MM IN HEIGHT.

BALUSTRADES (BARRIERS) & HANDRAILS

- BALUSTRADES TO BE PROVIDED WHERE ADJOINING FLOOR OR GROUND LEVEL DIFFERS MORE THAN 1000MM OR 5 RISERS IN HEIGHT.
- BALUSTRADE HEIGHT ABOVE LANDINGS/BALCONIES/DECKS - 1000MM
- BALUSTRADE HEIGHT ABOVE STAIR NOSINGS - 865MM
- OPENINGS IN BALUSTRADE - 125MM MAX.
- HANDRAILS MUST BE LOCATED ALONG AT LEAST ONE SIDE OF A STAIRWAY AND BE CONTINUOUS ALONG THE LENGTH OF THE STAIRWAY AND HAVE NO OBSTRUCTIONS AS TO BREAK A HANDHOLD EXCEPT FOR A NEWEL POST.
- FIRST FLOOR BEDROOM WINDOWS WITHIN 1700MM OF THE FFL TO BE RESTRICTED TO A MAX OPENING OF 125MM.
- TOP HANDRAIL REQUIRED TO ALL GLASS BALUSTRADE.

ENERGY EFFICIENCY

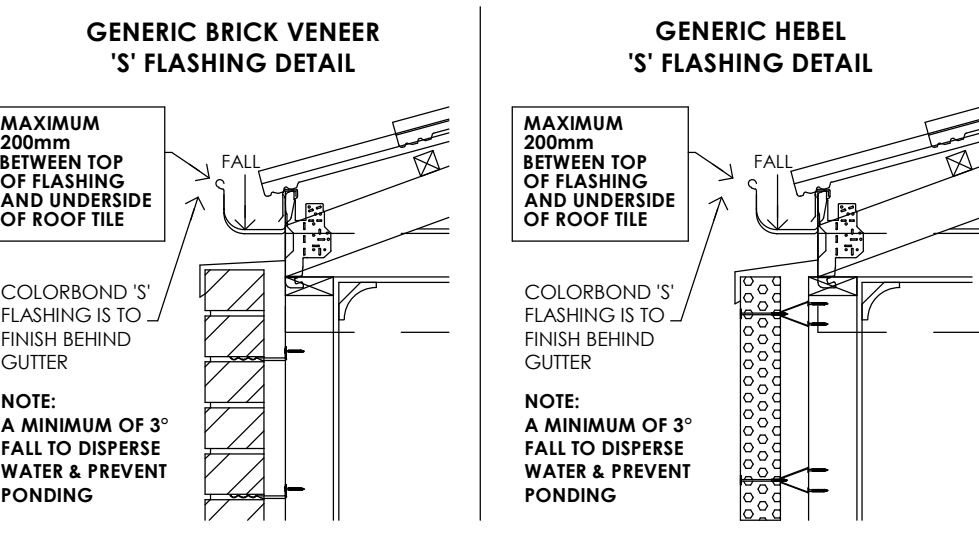
- DWELLING AND GARAGE TO COMPLY WITH PART 3.12, BCA AND THE SITE SPECIFIC 6 STAR ENERGY REPORT.
- DOOR FROM THE DWELLING TO THE GARAGE TO BE FITTED WITH SEAL TO RESTRICT AIR INFILTRATION IN ACCORDANCE WITH PART 3.12.3.3 OF THE BCA 2019 VOL.2.
- THE DWELLING IS TO BE PROVIDED WITH A 2000 LITRE WATER TANK CONNECTED TO THE SANITARY FLUSHING SYSTEMS OF THE BUILDING OR A SOLAR WATER HEATER SYSTEM INSTALLED IN ACCORDANCE WITH THE PLUMBING REGULATIONS PURSUANT TO CLAUSE 3.12.0(A), BCA.

CONDENSATION MANAGEMENT

- PLIABLE BUILDING MEMBRANE - WALL SISALATION TO BE A VAPOUR PERMEABLE MEMBRANE TO COMPLY WITH AS 4200.1 AND INSTALLED PURSUANT TO AS 4200.2.
- ALL EXHAUST FANS SHOWN ON THE PLANS ACHIEVE A MIN 40L/S FLOW RATE.
- EXHAUST FANS TO BE DUCTED TO THE EXTERNAL WALL OR THROUGH THE ROOF SPACE DIRECTLY TO A ROOF VENT. NO FANS TO DISCHARGE DIRECTLY INTO THE ROOF SPACE.

APPLIANCES NOTE

- APPLIANCES SHOWN IN THE DRAWINGS ARE GENERIC ONLY . FINAL APPEARANCE OF APPLIANCES MAY VARY.



IMPORTANT NOTE:

GENERAL SPECIFICATIONS TO COMPLY WITH
NCC (BCA 2019) .

DRAWING TITLE:

GENERAL SPECIFICATION

HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51
(30.3)-LH

FACADE: ALL

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631 Springvale Road Mulgrave Victoria 3170 T 03 8561 4777 F 03 9561 5320

CLIENT:

CARLISLE HOMES PTY. LTD.

ADDRESS:

631 SPRINGVALE ROAD
SUBURB: MULGRAVE

JOB DATE: --.--.--

MASTER DATE: 12.01.2024

DRAWN: HL/DT/HL

CHECKED: MT(B)

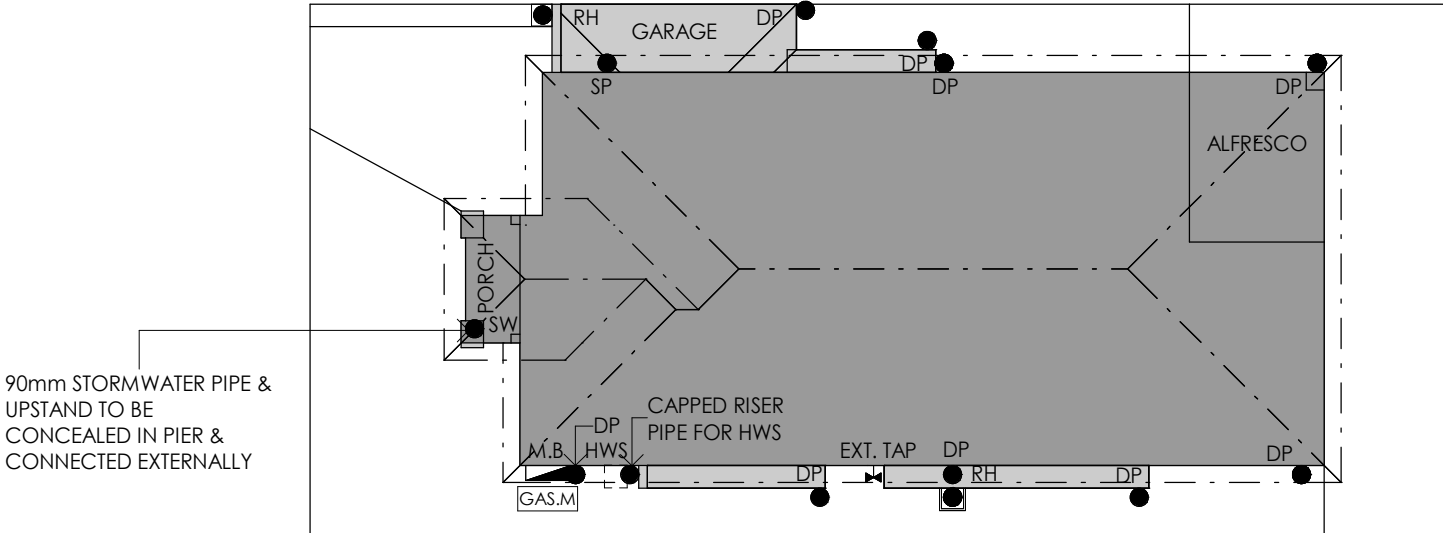
JOB No: Prj. Number

ISSUE: MASTER

SCALE:

SHEET No: 0A

IMPORTANT NOTE:
SITE DATA SHOWN ON PLAN REPRESENTS THE 'DESIGNED TO SUIT' LOT SIZE & IS **INDICATIVE ONLY**. LOT SIZE INFOMATION WILL VARY ONCE THE HOUSE TYPE IS APPLIED TO A CLIENT SPECIFIC SITE.



SITE PLAN INFORMATION:

SITE AREA:	420.00 m²	MELWAYS:	XXX XX
POS:	66.77 m²	PERMEABILITY:	41.86%
CONC. AREA:	0.00 m²	CONC. AREA:	0.00%
BUILDING AREA:	244.17 m²	SITE COVERAGE:	58.14%

HOUSE INFORMATION:

HOUSE FFL: XXX.XX
SLAB TYPE: WAFFLE SLAB HEIGHT: XXXmm

GARDEN AREA:

AREA TOTALS: 144.96 m² 34.51%

NOTE: GARDEN AREA DOES NOT INCLUDE A DRIVEWAY, ANY AREA SET ASIDE FOR CAR PARKING, ANY BUILDING OR ROOFED AREA AND ANY AREA THAT HAS A DIMENSION OF LESS THAN 1 METRE

ENTER SITE AREA TOTAL IN PROPERTIES:

DRIVEWAY IMPORTANT NOTE:

DRIVEWAY SHOWN ON PLAN IS INDICATIVE ONLY. THE DRIVEWAY IS THE RESPONSIBILITY OF THE OWNER AND IS NOT INCLUDED IN THE CONTRACT BUILDING WORKS BY THE BUILDER

SITE SCRAPE NOTE

BUILDING PLATFORM LEVEL: 0
SCRAPE SITE TO REMOVE ALL SURFACE VEGETATION & PROVIDE LEVEL BUILDING PLATFORM. PROVIDE ADDITIONAL SCRAPE TO GARAGE AREA TO ACCOMODATE 63 mm STEPDOWN.

NOTE: REFER TO NOTES & CONDITIONS OF TENDER DOCUMENT FOR FURTHER REFERENCE

STORMWATER LAYOUT

STORMWATER DRAIN LAYOUTS IS FOR INDICITIVE PURPOSES ONLY & WILL BE INSTALLED AS PER THE DRAINAGE SUB-CONTRACTORS DISCRETION.

SWD TO BE 100mm DIAMETER PVC

DRAINAGE NOTES

- SITE DRAINAGE SHALL COMPLY WITH NCC 3.1.2 'DRAINAGE' AND AS 3500 PLUMBING AND DRAINAGE CODE
- GRADE SURFACE AWAY FROM FOOTINGS AT 1:20 MIN FALL
- PROVIDE CUT TOE OR SPOON DRAINS AS NECESSARY TO COLLECT AND CHANNEL WATER RUN-OFF AWAY FROM THE BUILDING DURING CONSTRUCTION
- TEMPORARY DOWNPIPES CONNECTED TO THE STORMWATER SYSTEM SHALL BE INSTALLED AS SOON AS THE ROOF CLADDING IS COMPLETED. FROM TIME TO TIME TEMPORARY DOWNPIPES MAY BE EXCLUDED OR REMOVED FOR OPERATIONAL REASONS.
- ALL STORMWATER DRAINS SHALL BE DIRECTED TO THE COUNCIL NOMINATED LEGAL POINT OF DISCHARGE
- DOWNPIPES, RAIN HEADS, OVERFLOWS AND SPREADERS ARE INDICATIVE LOCATIONS ONLY.

BUSHFIRE ATTACK LEVEL:- (BAL)

SELECT BAL LEVEL
ALL HOMES TO COMPLY WITH AS 3959-2009 (BAL)

WIND SPEED ASSESSMENT:

MAXIMUM DESIGN GUST WIND SPEED FOR THIS SITE IS: **SELECT WIND SPEED & ENTER N-VAULE**
IMPORTANT NOTE:
THE WIND SPEED CALCULATION IS TAKEN FROM THE JOB SPECIFIC SOIL REPORT (FRONT PAGE)
STANDARD HOMES ARE DESIGNED TO SUIT A MINIMUM WIND GUST SPEED OF 33 m/s

SELECT RELEVANT NOTES FROM PROPERTIES

SELECT RELEVANT **RESCODE** NOTES FROM PROPERTIES

RETAINING WALLS NOTE

RETAINING WALLS TO BE LOCATED APPROX. 200MM OFF BOUNDARY UNLESS NOTED OTHERWISE

DRAWING LEGEND:

- METER BOX

TREE TO BE RETAINED

TREE TO BE REMOVED

HAB HABITABLE WINDOW

NH NON-HABITABLE WINDOW

SURVEY PEG
- P.O.S. PRIVATE OPEN SPACE

DP DOWN PIPE LOCATIONS

ELECTRICITY PIT

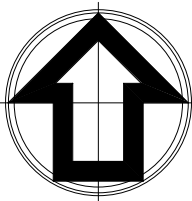
HD LEGAL POINT OF DISCHARGE

S/W PIT STORM WATER PIT

G.W.T. GAS - WATER - TELSTRA

Approx.XX NEIGHB'S APP'X SETBACKS

NORTH



CLIENT SIGNATURE:

Arshdeep Singh

CLIENT SIGNATURE:

Arshdeep Singh

BUILDER

DATE:

DRAWING TITLE:

SITE PLAN

HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51 (30.3)-LH

FACADE: CLASSIQUE

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ADDRESS:

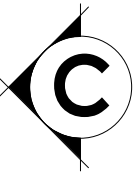
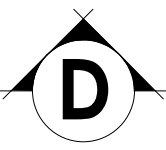
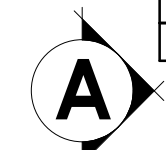
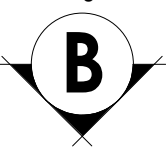
631 SPRINGVALE ROAD
SUBURB: MULGRAVE


JOB DATE: --/--/-- MASTER DATE: 12.01.2024

DRAWN: HL/DT/HL CHECKED: Checker

JOB No: Prj. Number ISSUE: MASTER

SCALE: 1 : 200 SHEET No: 1 TOTAL No: 34



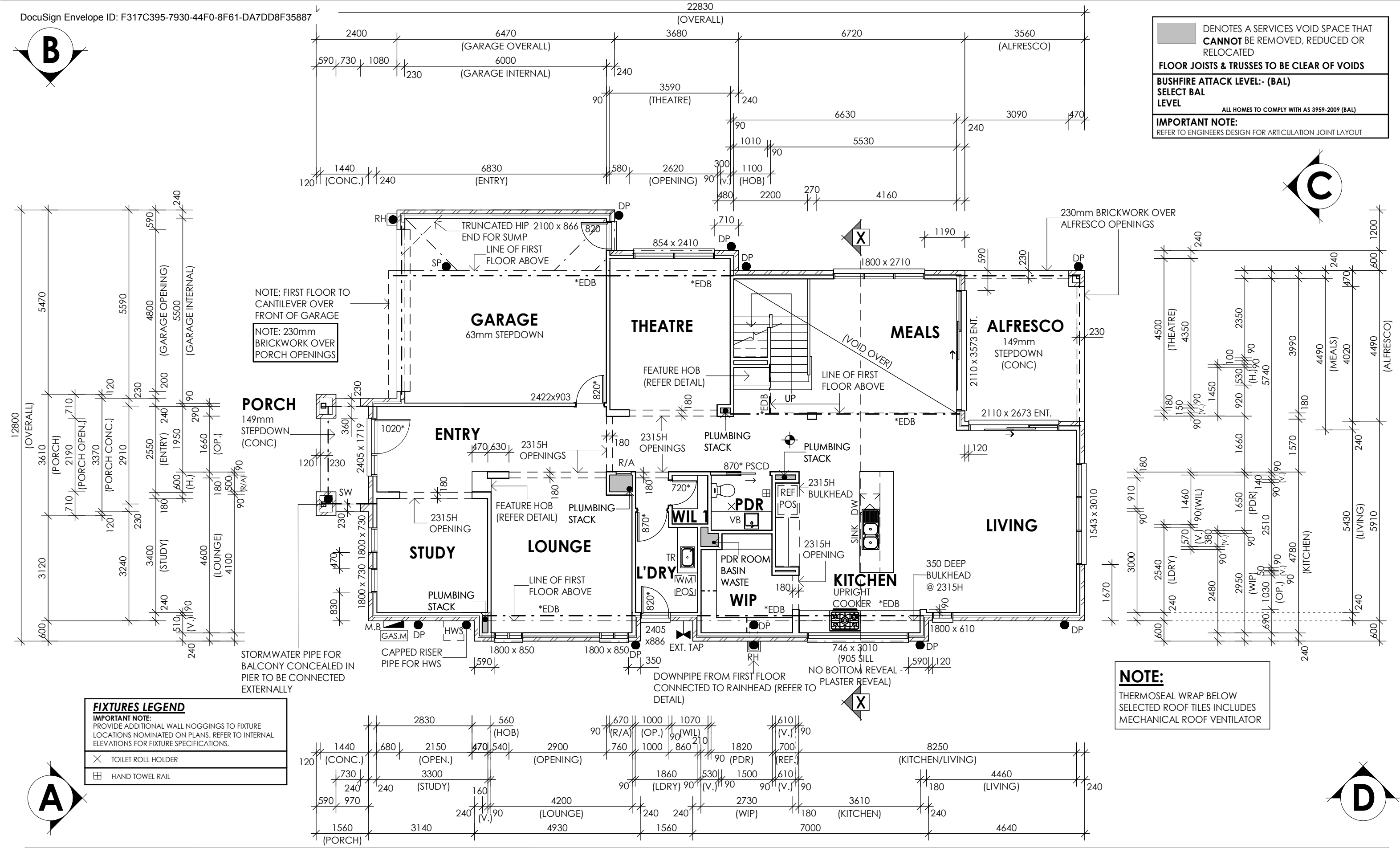
 DENOTES A SERVICES VOID SPACE THAT **CANNOT** BE REMOVED, REDUCED OR RELOCATED

FLOOR JOISTS & TRUSSES TO BE CLEAR OF VOIDS

BUSHFIRE ATTACK LEVEL:- (BAL)
SELECT BAL
LEVEL

ALL HOMES TO COMPLY WITH AS 3959-2009 (BAL)

IMPORTANT NOTE:
REFER TO ENGINEERS DESIGN FOR ARTICULATION JOINT LAYOUT






FIXTURES LEGEND

IMPORTANT NOTE:
PROVIDE ADDITIONAL WALL NOGGINGS TO FIXTURE
LOCATIONS NOMINATED ON PLANS. REFER TO INTERNAL
ELEVATIONS FOR FIXTURE SPECIFICATIONS.

✕ TOILET ROLL HOLDER

 HAND TOWEL RAIL

LEGEND:

- * DENOTES 2340H INTERNAL DOORS
-  HARDWIRED INTERCONNECTED SMOKE DETECTOR(S) WITH BATTERY BACKUP as per BCA 3.7.5 & to comply with AS3786
- *EDB DENOTES ENGINEER DESIGNED BEAM. (REFER TO ENGINEERS DETAILS)
- DP  DENOTES DOWNPIPE LOCATIONS
- (DG) DENOTES DOUBLE GLAZED WINDOWS & DOORS
-  DENOTES REINFORCEMENT TO SELECTED WC, BATH/SPA & SHOWER WALLS TO COMPLY WITH NCC 4.2. REFER TO INTERNAL ELEVATIONS FOR REINFORCEMENT DETAILS.

DENOTES WC CIRCULATION SPACE (1200L x 900W).
CIRCULATION SPACE TO COMPLY WITH NCC 4.2

AREAS TABLE:

GROUND FLOOR	187.04	M ²	20.13	SQ ³
FIRST FLOOR	218.97	M ²	23.57	SQ ³
SUB TOTAL:	406.01	M ²	43.70	SQ ³
GARAGE	36.01	M ²	3.88	SQ ³
ALFRESCO	15.98	M ²	1.72	SQ ³
PORCH	5.14	M ²	0.55	SQ ³
BALCONY	4.99	M ²	0.54	SQ ³

		M ²	SQ's
		M ²	SQ's
TOTAL	448.14		50.38

CLIENT SIGNATURE: _____

Arshdeep Singh

CLIENT SIGNATURE:

DocuSigned by:
Amrith Kan
PUNDEP
11/23/2023 11:44:15

BUILDER.

DATE:

DRAWING TITLE:

GROUND FLOOR PLAN

HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51
(30.3)-LH

FACADE: CLASSIQUE

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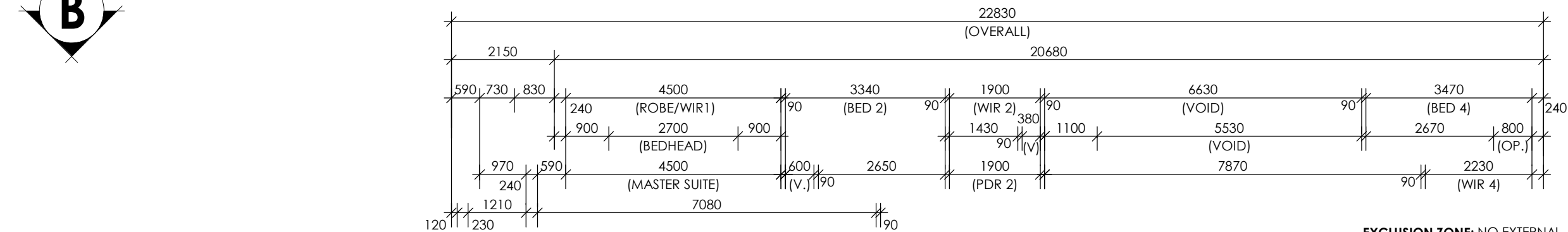
ADDRESS:
631 SPRINGVALE ROAD
SUBURB: MULGRAVE

JOB DATE: --.--	MASTER DATE: 12.01.2024
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DRAWN: HL/DT/HL	CHECKED: Checker
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JOB No: Prj. Number	ISSUE: MASTER
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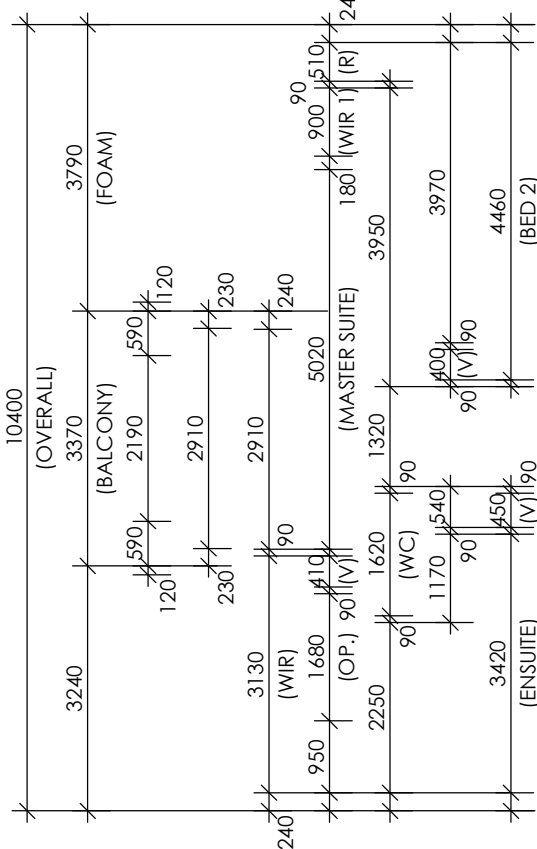
SCALE: 1 : 100	SHEET No: 2
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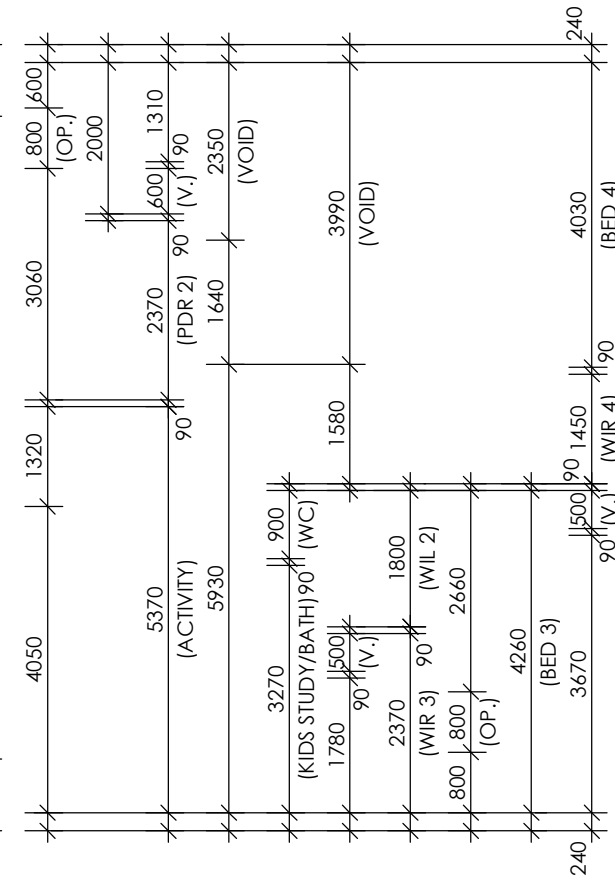
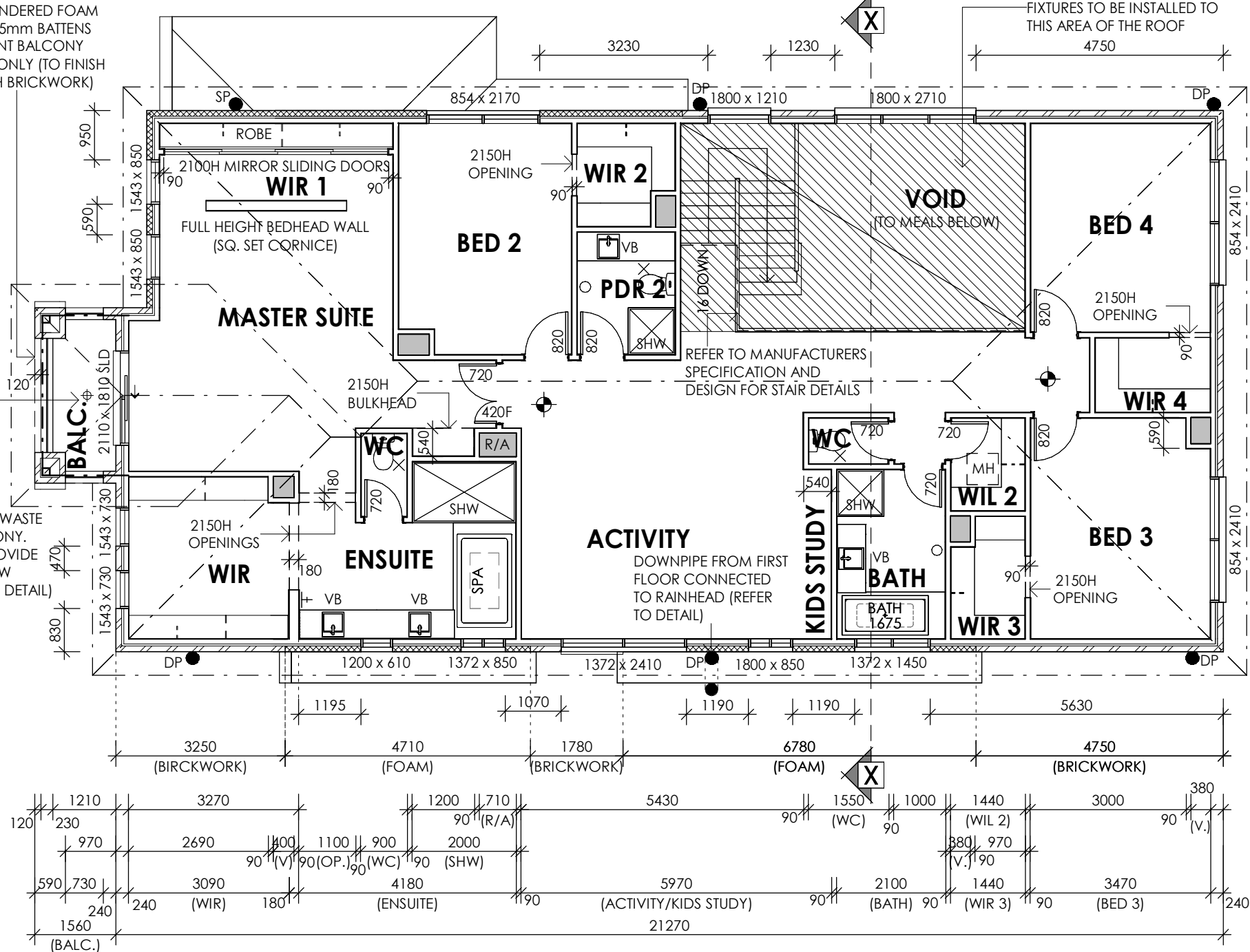
NOTE:
THERMOSEAL WRAP BELOW
SELECTED ROOF TILES INCLUDES
MECHANICAL ROOF VENTILATOR

NOTE: 230mm
BRICKWORK ABOVE
BALCONY SIDE
OPENINGS ONLY

100mm RENDERED FOAM
FIXED TO 45mm BATTENS
OVER FRONT BALCONY
OPENING ONLY (TO FINISH
FLUSH WITH BRICKWORK)



1 No. CTR WASTE
TO BALCONY.
NOTE: PROVIDE
OVERFLOW
(REFER TO DETAIL)



FIXTURES LEGEND

IMPORTANT NOTE:
PROVIDE ADDITIONAL WALL NOGGINGS TO FIXTURE
LOCATIONS NOMINATED ON PLANS. REFER TO INTERNAL
ELEVATIONS FOR FIXTURE SPECIFICATIONS.


✕ TOILET ROLL HOLDER

☐ TOWEL RAIL


 DENOTES RENDERED FOAM (REFER TO ELEVATIONS FOR FIXING METHOD)

LEGEND:


* DENOTES 2340H INTERNAL DOORS

 HARDWIRED INTERCONNECTED SMOKE DETECTOR(S) WITH BATTERY BACKUP as per BCA 3.7.5.4 to comply with AS3786

*EDB DENOTES ENGINEER DESIGNED BEAM. (REFER TO ENGINEERS DETAILS)

DP  DENOTES DOWNPIPE LOCATIONS

• (DG) DENOTES DOUBLE GLAZED WINDOWS & DOORS

 DENOTES REINFORCEMENT TO SELECTED WC, BATH/SPA & SHOWER WALLS TO COMPLY WITH NCC 4.2 REFER TO INTERNAL ELEVATIONS FOR REINFORCEMENT DETAILS

DENOTES WC CIRCULATION SPACE (1200L x 900W).
CIRCULATION SPACE TO COMPLY WITH NCC 4.2

CLIENT SIGNATURE: _____

Arshdeep Singh

6D9D0E39B0A2457
CLIENT SIGNATURE:

DocuSigned by:
Amrabet Kan

BUILDER: 8DC47F72DEC444E..

DATE:

DRAWING TITLE:

FIRST FLOOR PLAN

**HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51
(30.3)-LH**

FACADE: CLASSIQUE

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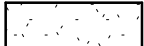
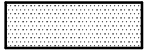
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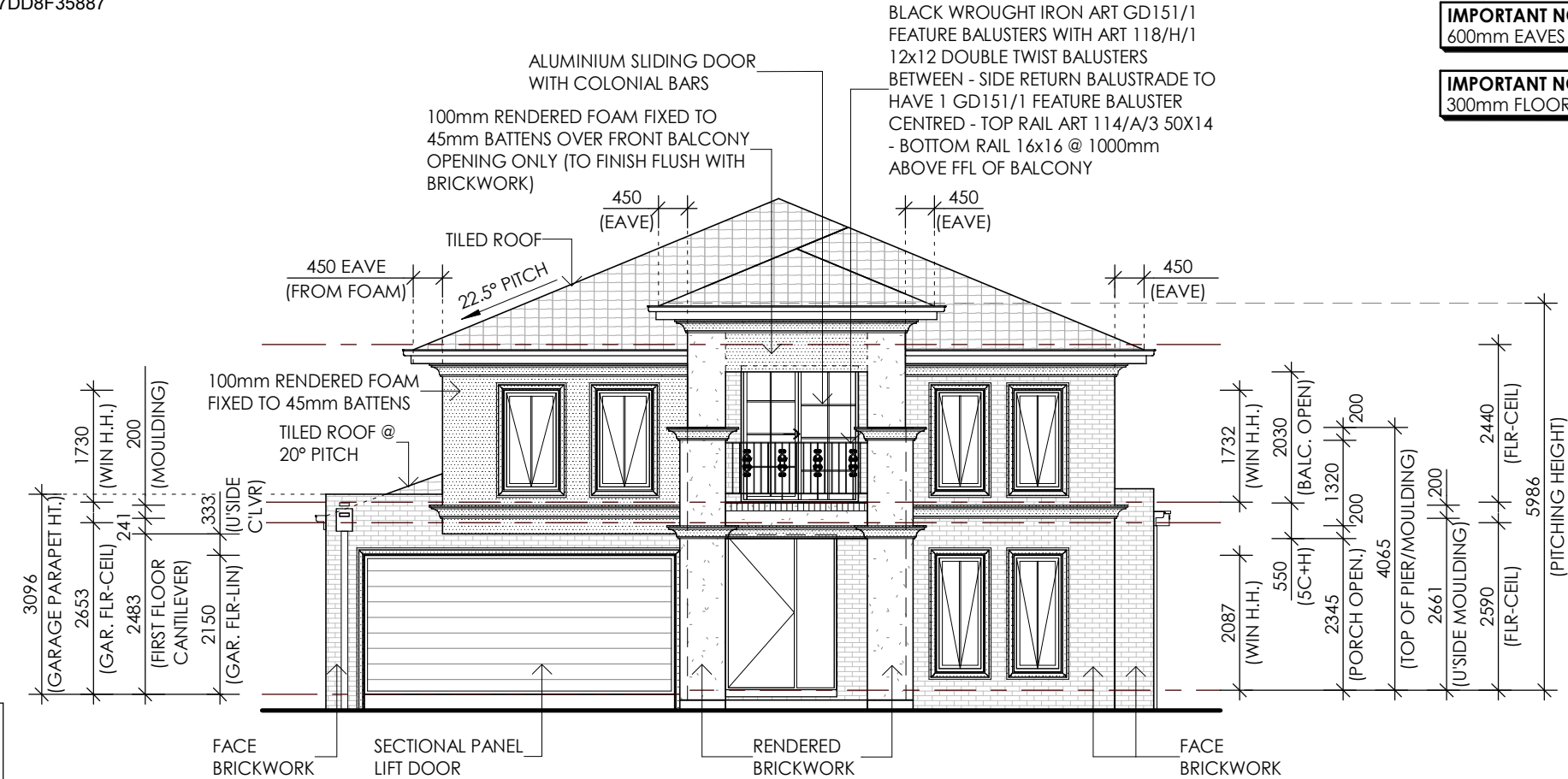
JOB No:	Pri Number	ISSUE:	MASTER
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SCALE: 1 : 100	SHEET No: 2A
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NOTE: ALUMINIUM FRAMED
WINDOWS TO FRONT FACADE
(UNLESS NOTED OTHERWISE).

-  RENDERED BRICKWORK
-  RENDERED FOAM

NOTE:
THERMOSEAL WRAP BELOW SELECTED ROOF TILES
INCLUDES MECHANICAL ROOF VENTILATOR



IMPORTANT NOTE:
600mm EAVES FROM FRAME

IMPORTANT NOTE:
300mm FLOOR THICKNESS

IMPORTANT NOTE: REFER TO ENGINEERS DESIGN FOR ARTICULATION JOINT LAYOUT		
BUSHFIRE ATTACK LEVEL:- (BAL) SELECT BAL LEVEL ALL HOMES TO COMPLY WITH AS 3959-2009 (BAL)		
FACADE MATERIAL COVERAGE		
MATERIAL NAME	AREA m²	%
RENDERED BRICKWORK	7.66 m²	19.54 %
FACE BRICKWORK	16.43 m²	41.90 %
RENDERED FOAM	15.12 m²	38.56 %

NOTE:
- 200 x 200 SELECTED MOULDINGS
TO FACADE
- 115 x 40 SELECTED MOULDINGS
TO FACADE WINDOWS (AS
SHOWN) AND TO GARAGE DOOR

ELEVATION - A

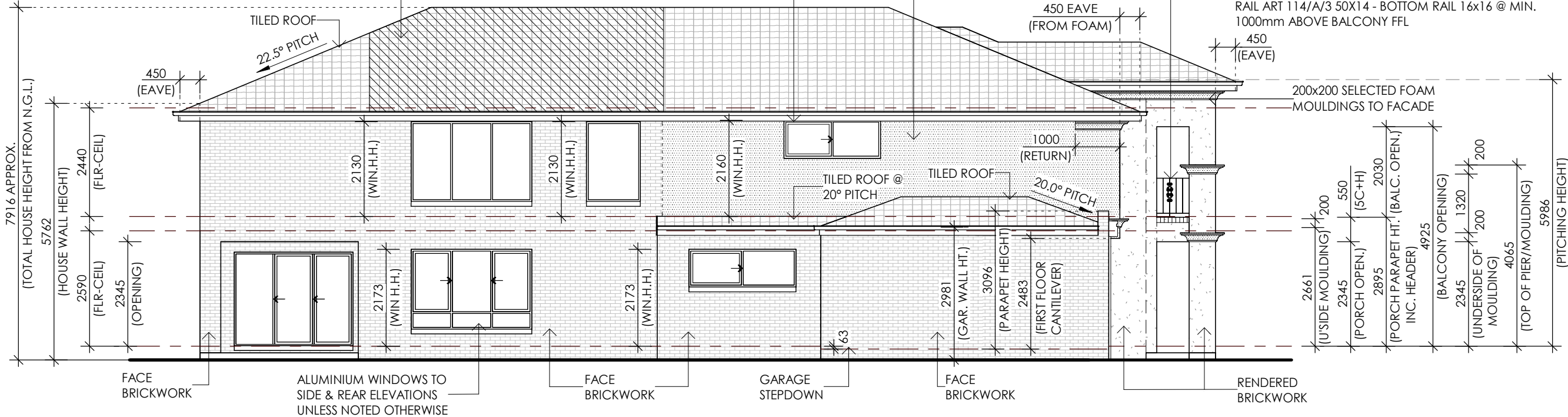
EXCLUSION ZONE: NO EXTERNAL
FIXTURES TO BE INSTALLED TO THIS
AEA OF THE ROOF

SCALE: 1 : 100

UPPER FLOOR WINDOWS TO LINE UP
WITH UNDERSIDE OF EAVES UNLESS
NOTED OTHERWISE

100mm RENDERED FOAM
FIXED TO 45mm BATTENS

BLACK WROUGHT IRON ART GD151/1 FEATURE
BALUSTERS WITH ART 118/H/1 12x12 DOUBLE TWIST
BALUSTERS BETWEEN - SIDE RETURN BALUSTRADE TO
HAVE 1 GD151/1 FEATURE BALUSTER CENTRED - TOP
RAIL ART 114/A/3 50X14 - BOTTOM RAIL 16x16 @ MIN.
1000mm ABOVE BALCONY FFL



ELEVATION - B

SCALE: 1 : 100

GENERAL NOTES:

- ALL FIRST FLOOR WINDOWS TO BE RESTRICTED TO A MAXIMUM 125mm OPENING
- DOORS TO WC, POWDER ROOM WC, & ENSUITE WC TO BE FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH B.C.A. 3.8.3
- WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST BRICK COURSE (UNLESS NOTED OTHERWISE)
- ALL GLAZING TO COMPLY WITH AS 1288-2006 (Amdt 1-2008) (REFER TO ENERGY RATING FOR ALL GLAZING VALUES)
- FOAM SYSTEM REFER TO ATTACHED SPECIFICATIONS (WHERE APPLICABLE)
- * DENOTES DOUBLE GLAZED WINDOWS & DOORS

CLIENT SIGNATURE:

DocuSigned by:
Arshdeep Singh

CLIENT SIGNATURE:

DocuSigned by:
Arshdeep Singh

BUILDER

DATE:

DRAWING TITLE:

ELEVATIONS

HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51
(30.3)-LH

FACADE: CLASSIQUE

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SHEET No: 3

IMPORTANT NOTE:
600mm EAVES FROM FRAME

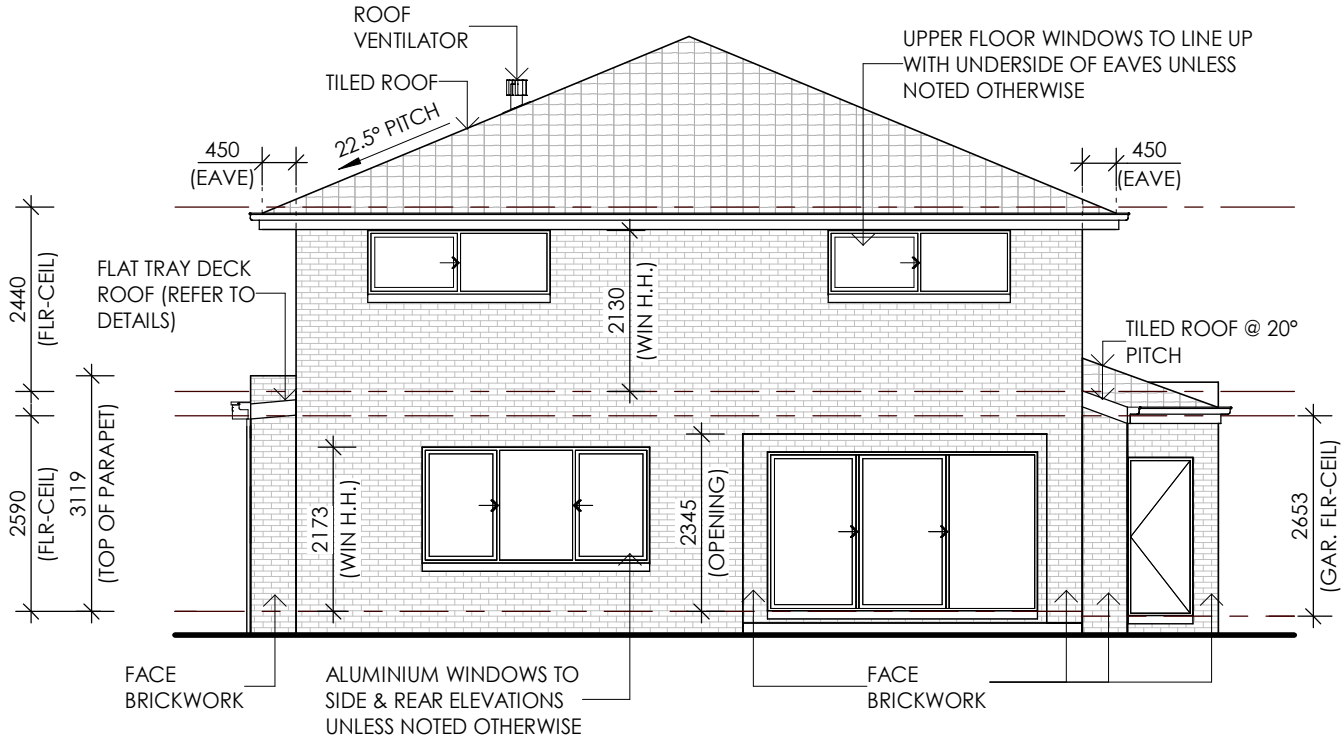
IMPORTANT NOTE:
300mm FLOOR THICKNESS

IMPORTANT NOTE:
REFER TO ENGINEERS DESIGN FOR ARTICULATION JOINT LAYOUT

BUSHFIRE ATTACK LEVEL:- (BAL)
SELECT BAL
LEVEL
ALL HOMES TO COMPLY WITH AS 3959-2009 (BAL)

RENDERED BRICKWORK

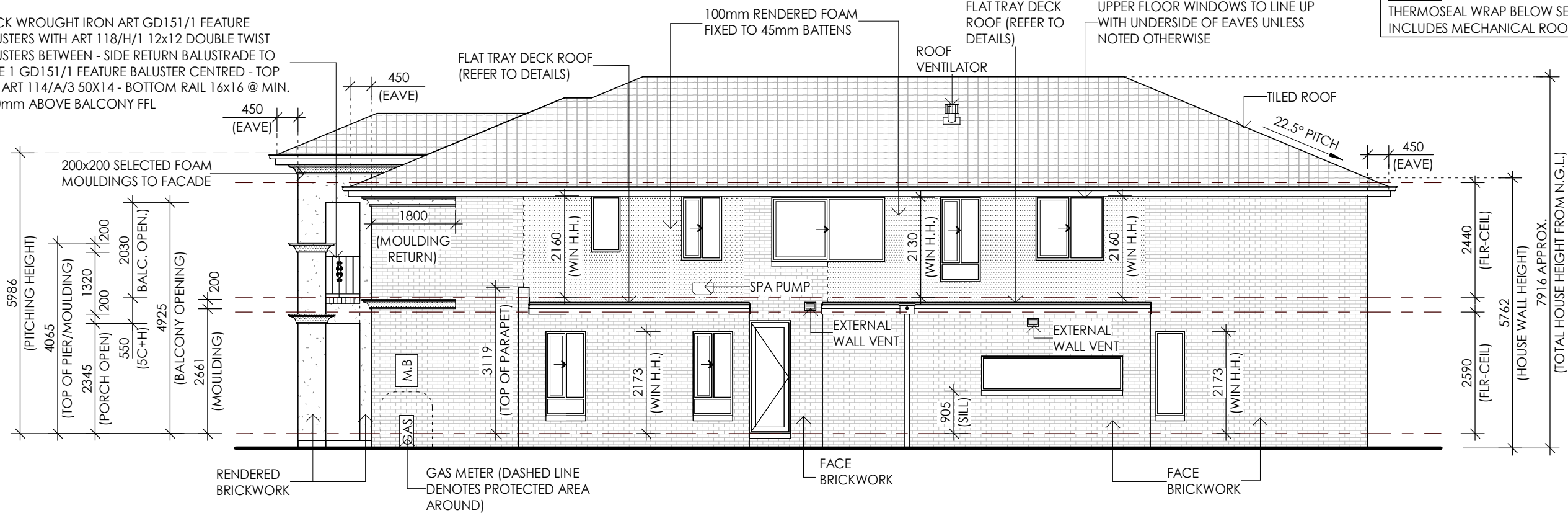
RENDERED FOAM



ELEVATION - C

SCALE: 1 : 100

BLACK WROUGHT IRON ART GD151/1 FEATURE BALUSTERS WITH ART 118/H/1 12x12 DOUBLE TWIST BALUSTERS BETWEEN - SIDE RETURN BALUSTRADE TO HAVE 1 GD151/1 FEATURE BALUSTER CENTRED - TOP RAIL ART 114/A/3 50X14 - BOTTOM RAIL 16x16 @ MIN. 1000mm ABOVE BALCONY FFL



NOTE:
THERMOSEAL WRAP BELOW SELECTED ROOF TILES INCLUDES MECHANICAL ROOF VENTILATOR

ELEVATION - D

SCALE: 1 : 100

GENERAL NOTES:

- ALL FIRST FLOOR WINDOWS TO BE RESTRICTED TO A MAXIMUM 125mm OPENING
- DOORS TO WC, POWDER ROOM WC, & ENSUITE WC TO BE FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH B.C.A. 3.8.3
- WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST BRICK COURSE (UNLESS NOTED OTHERWISE)
- ALL GLAZING TO COMPLY WITH A.S. 1288-2006 (Amdt 1-2008) (REFER TO ENERGY RATING FOR ALL GLAZING VALUES)
- FOAM SYSTEM REFER TO ATTACHED SPECIFICATIONS (WHERE APPLICABLE)
- * DENOTES DOUBLE GLAZED WINDOWS & DOORS

CLIENT SIGNATURE:

Arshdeep Singh

CLIENT SIGNATURE:

Arshdeep Singh

BUILDER

DATE:

DRAWING TITLE:

ELEVATIONS

HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51 (30.3)-LH

FACADE: CLASSIQUE

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SHEET No: 3A

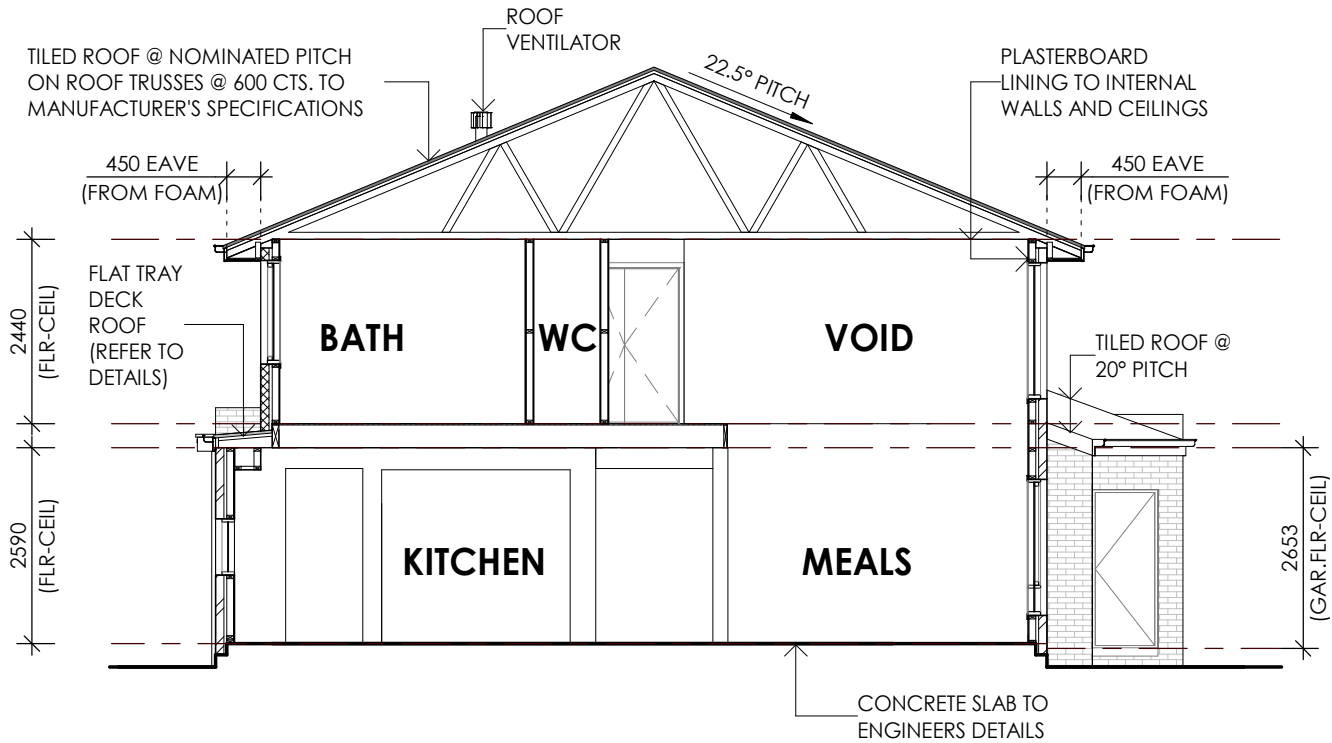
IMPORTANT NOTE:
600mm EAVES FROM FRAME

IMPORTANT NOTE:
300mm FLOOR THICKNESS

IMPORTANT NOTE:
REFER TO ENGINEERS DESIGN FOR ARTICULATION JOINT LAYOUT

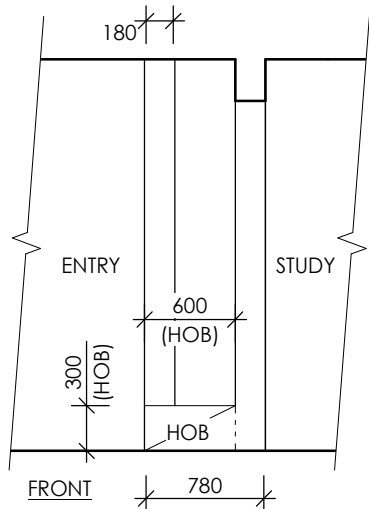
BUSHFIRE ATTACK LEVEL:- (BAL)
SELECT BAL
LEVEL

ALL HOMES TO COMPLY WITH AS 3959-2009 (BAL)



SECTION - X-X

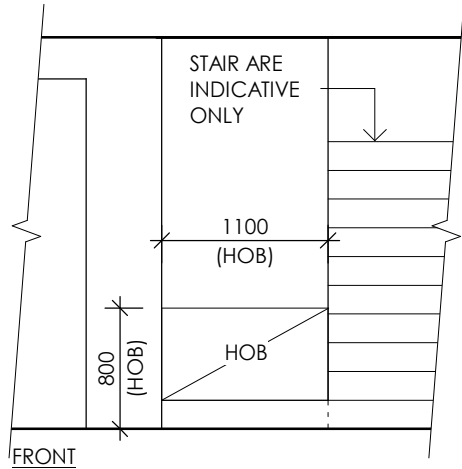
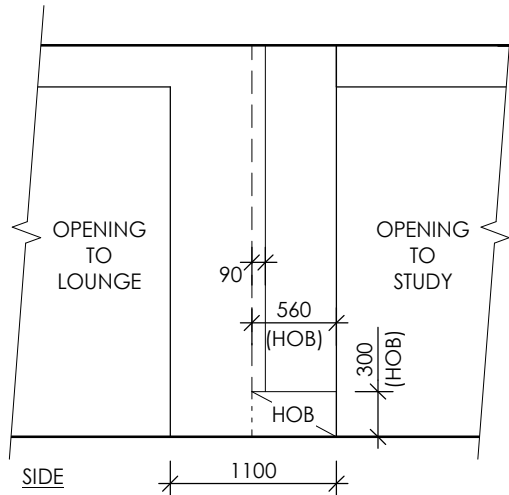
SCALE: 1 : 100



ENTRY HOB DETAILS

SCALE: 1 : 50

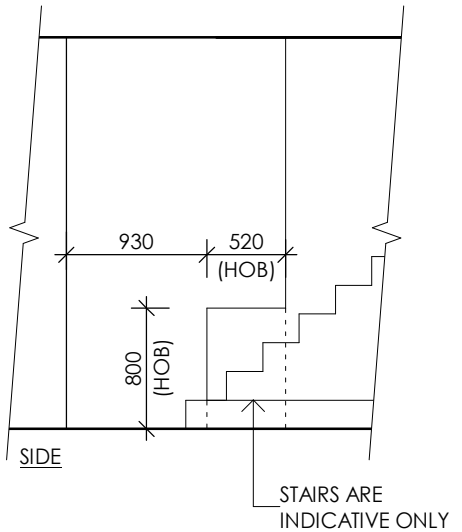
NOTE: DIMENSIONS SHOWN ARE TO FRAME



STAIR HOB DETAILS

SCALE: 1 : 50

NOTE: DIMENSIONS SHOWN ARE TO FRAME



GENERAL NOTES:

- TRUSSES INSTALLED AT 600mm CENTRES TO MANUFACTURERS SPECIFICATIONS
- DOORS TO ALL WC, POWDER ROOM & ENSUITE WC TO BE FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH B.C.A. 3.8.3
- CONCRETE SLAB AS PER ENGINEERS DESIGN. WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST BRICK COURSE (UNLESS NOTED OTHERWISE)
- ALL GLAZING TO COMPLY WITH A.S. 1288-2006 TIMBER TRUSSES TO BE DESIGNED & INSTALLED AS PER MANUFACTURERS SPECIFICATIONS
- ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH A.S. 1684 - 2006, TIMBER FRAMING CODE OF ENGINEERS STRUCTURAL COMPUTATIONS & DETAILS
- * DENOTES DOUBLE GLAZED WINDOWS & DOORS

THERMAL PERFORMANCE NOTES:

- SELECT EXTERNAL WALL INSULATION (EXCLUDES EXTERNAL GARAGE WALLS)
- SELECT EXTERNAL WALL INSULATION TO UNCONDITIONED ZONES
- SELECT EXTERNAL GARAGE WALL INSULATION
- CEILING INSULATION BELOW ALL ROOFS (EXCLUDES GARAGE CEILING INSULATION 500mm OUTER PERIMETER)
- NON-REFLECTIVE SISALATION TO GROUND FLOOR EXTERNAL WALLS (EXCLUDES EXTERNAL GARAGE WALLS). ANTI-GLARE TO UPPER FLOORS
- SELECT DOOR INSULATION PROVIDED TO FLOORS ABOVE ANY ALFRESCO, GARAGE OR OPEN AREA UNDER UPPER FLOORS
- ALL EXHAUST FANS TO BE SELF CLOSING
- ALL DOWNLIGHTS TO BE FULLY SEALED
- REFER TO ENERGY RATING REPORT FOR EXACT DETAILS

CLIENT SIGNATURE:
DocuSigned by:
Arshdeep Singh
CLIENT SIGNATURE:
DocuSigned by:
Anasudh Kam
BUILDER
DATE:

DRAWING TITLE:

SECTION/DETAIL(s)

HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51 (30.3)-LH

FACADE: CLASSIQUE

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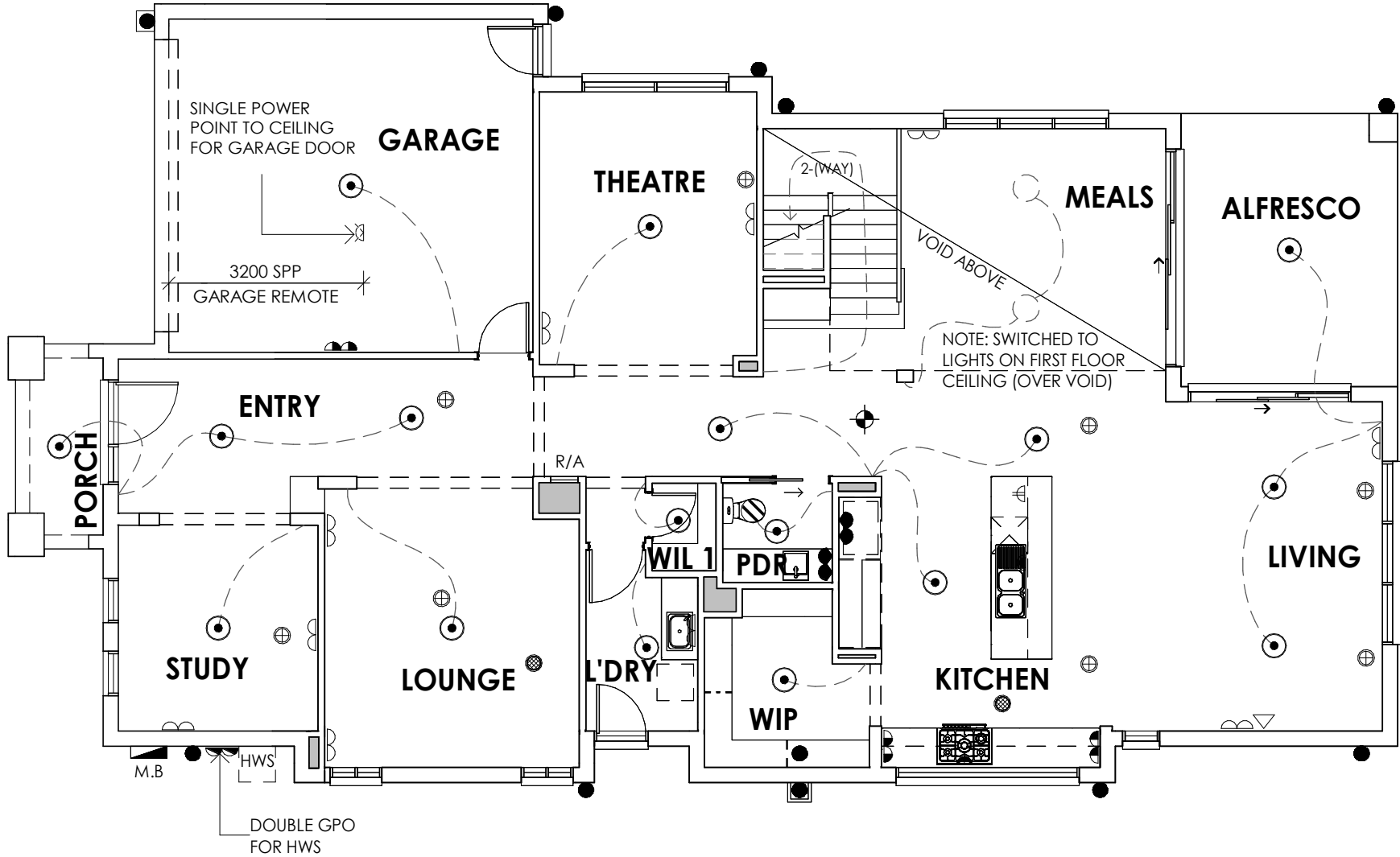
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JOB No: Prj. Number
ISSUE: MASTER
SCALE: As indicated
SHEET No: 4

ELECTRICAL QUANTITIES		
COUNT	TYPE	QUANTITIES NOTE: HEATING, COOLING & EVAP ARE NOT INCLUDED IN THIS TABLE. REFER TO ADDITIONAL SCHEDULES
17	Ceiling Batten Light	
1	Ceiling Exhaust Fan Switched With Light	
2	Ceiling Speaker Grille	
10	Double P.Point - 300mm	
3	Double P.Point - 1100mm	
2	Double P.Point - 1350mm	
1	Double P.Point - External (Height Varies)	
1	Single P.Point - for Dishwasher	
1	Single P.Point - for Microwave	
1	Single P.Point to Ceiling - for Garage Door	
1	Television Point	
1	Two Way Light Switch	
1	UBO R'Hood Connections	



HEATING & COOLING	
COUNT	TYPE
8	Ceiling Heating Duct

ELECTRICAL LEGEND	
	SINGLE GPO - 300mm
	DOUBLE GPO - 300mm
	SINGLE GPO - 1100mm
	DOUBLE GPO - 1100mm
	SINGLE GPO - 1350mm
	DOUBLE GPO - 1350mm
	SINGLE GPO - INTERNAL (Height Varies)
	DOUBLE GPO - INTERNAL (Height Varies)
	SINGLE GPO - EXTERNAL (Height Varies)
	DOUBLE GPO - EXTERNAL (Height Varies)
	SINGLE GPO TO CEILING
	DOUBLE GPO TO CEILING
	DOUBLE GPO WITH INTEGRATED LIGHT SWITCH
	SINGLE GPO - FOR DISHWASHER
	SINGLE GPO - FOR MICROWAVE
	UBO & RHOD CONNECTIONS
	SINGLE USB WITH GPO - INTERNAL (Height Varies)
	DOUBLE USB WITH GPO - INTERNAL (Height Varies)
	CEILING LIGHT BATTEN HOLDER
	SPEC DOWNLIGHT
	LED DOWNLIGHT
	LED DOWNLIGHT TO KITCHEN OVERHEAD CUPBOARD
	LED DOWNLIGHT (CLASSIC PLUS)
	LED DOWNLIGHT (ADVANCED WIDE BEAM)
	LED DOWNLIGHT (CLASSIC MAXI)
	EXTERNAL LIGHT POINT - (HEIGHT VARIES)
	MOTION SENSOR
	2 GLOBE
	ISOLATOR
	HEATER/FAN (NO LIGHT)
	HEATER/FAN & LIGHT
	JUNCTION BOX (Height Varies)
	CEILING FAN
	CEILING FAN WITH LIGHT
	LED SPOTLIGHT - SINGLE (HEIGHT VARIES)
	LED SPOTLIGHT - DOUBLE (HEIGHT VARIES)
	1200 LED BATTEN LIGHT
	WALL LIGHT BATTEN HOLDER (Height Varies)
	DIMMER LIGHT SWITCH
	2-(WAY) TWO WAY LIGHT SWITCH
	CEILING EXHAUST FAN
	CEILING EXHAUST FAN SWITCHED WITH LIGHT
	TELEVISION POINT @ 300mm(H) UNLESS NOTED OTHERWISE
	HARDWIRED INTERCONNECTED SMOKE DETECTOR(S) WITH BATTERY BACKUP AS PER BCA 3.7.2 & TO COMPLY WITH AS3786
	METER BOX (APPX. LOCATION)
	TELEPHONE POINT @ 300mm(H) UNLESS NOTED OTHERWISE
	CEILING HEATING DUCT OUTLET (APPX. LOCATION)
	WALL HEATING DUCT OUTLET TO FIRST FLOOR (APPX. LOCATION)
	GROUND FLOOR CEILING SPEAKER GRILLE LOCATED UNDER FIRST FLOOR BATH/SPA WASTE (APPX. LOCATION)
	HEATING UNIT Inc. DOUBLE P.POINT & LIGHT POINT (APPX. LOCATION) EXACT LOCATION SUBJECT TO CONTRACTORS DISCRETION
	EVAP. COOLING DUCT OUTLET (APPX. LOCATION)
	COOLING UNIT (APPX. LOCATION) EXACT LOCATION SUBJECT TO CONTRACTORS DISCRETION
	AIR-CONDITIONER UNIT Inc. ISOLATOR (APPX. LOCATION) EXACT LOCATION SUBJECT TO CONTRACTORS DISCRETION
	THERMOSTAT
	RETURN AIR (IN WALL)

GENERAL NOTES:

- ALL ELECTRICAL ITEMS ARE IN APPROXIMATE LOCATIONS ONLY & MAY BE VARIED TO SUIT
- PROVIDE SINGLE P. POINT WITHIN 1.6M OF THE MANHOLE FOR THE HEATING UNIT

ALL EXTERNAL ARTIFICIAL LIGHTING AROUND THE PERIMETER OF A BUILDING MUST BE CONTROLLED BY A DAYLIGHT SENSOR

IMPORTANT NOTE:

JUNCTION BOXES PROVIDED FOR FUTURE LIGHT POINTS BY CLIENTS (CLIENTS SELECTED ELECTRICAL CONTRACTOR) NEED TO COMPLY WITH THE FOLLOWING BUILDING REGULATION

ARTIFICIAL LIGHTING AROUND THE PERIMETER OF A BUILDING MUST:

- BE CONTROLLED BY A DAYLIGHT SENSOR; OR
- HAVE AN AVERAGE LIGHT SOURCE EFFICACY OF NOT LESS THAN 40 LUMENS/W.

REFER TO ELECTRICAL BUILDING COMPLIANCE SUMMARY SHEET, BUILDING REG. 3.12.5.5

DOCUMENT SUBMITTED SEPARATELY TO WORKING DRAWINGS (TO FORM PART OF BUILDING PERMIT APPLICATION.)

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CLIENT SIGNATURE:

DocuSigned by:

BUILDER

DATE:

DRAWING TITLE:

G.F. ELECTRICAL PLAN

HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51 (30.3)-LH

FACADE: CLASSIQUE

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ISSUE: MASTER

SCALE: 1 : 100

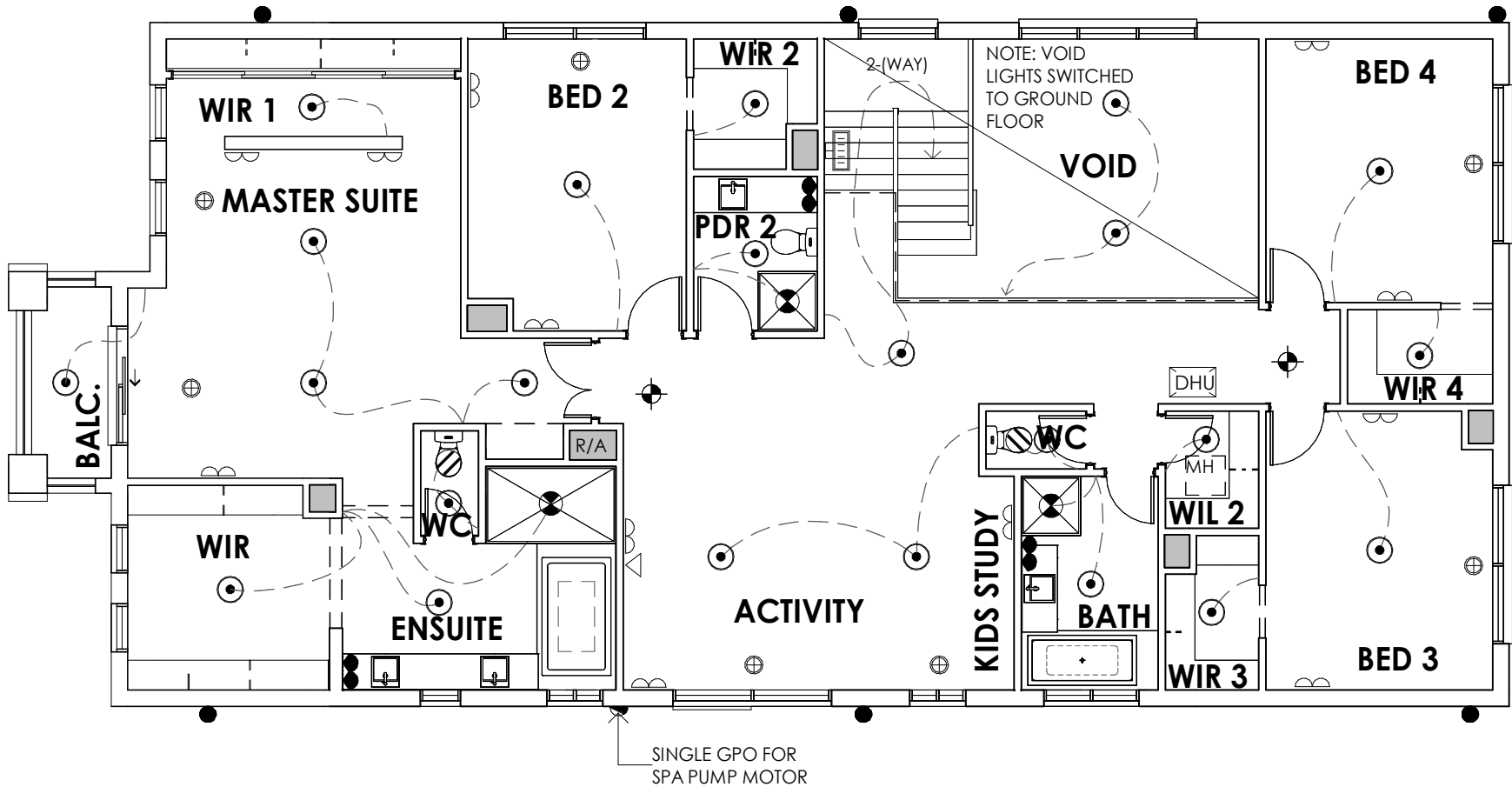
SHEET No: 5

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Y:\DESIGN & DEVELOPMENT\02 MASTER documentation\01 PRELIMINARY DRAWING\01 PRELIMINARY REVIT\01 Affinity Collection\02 Double Storey\KIRSTEN\Rothbury Grand Theatre Atrium 51 (30.3) - LH_2020.rvt

PRINT Date & Time: 18/01/2024 4:10:26 PM

ELECTRICAL QUANTITIES		
COUNT	TYPE	QUANTITIES NOTE: HEATING, COOLING & EVAP ARE NOT INCLUDED IN THIS TABLE. REFER TO ADDITIONAL SCHEDULES
23	Ceiling Batten Light	
3	Ceiling Exhaust Fan	
2	Ceiling Exhaust Fan Switched With Light	
12	Double P.Point - 300mm	
3	Double P.Point - 1350mm	
1	Single P.Point - External (Height Varies)	
1	Television Point	



</

HEATING & COOLING	
COUNT	TYPE
7	Ceiling Heating Duct
1	Heating Unit - Inc. Double P.Point & Light Point
1	Wall Heating Duct

GENERAL NOTES:

- ALL ELECTRICAL ITEMS ARE IN APPROXIMATE LOCATIONS ONLY & MAY BE VARIED TO SUIT
- PROVIDE SINGLE P. POINT WITHIN 1.6M OF THE MANHOLE FOR THE HEATING UNIT

ALL EXTERNAL ARTIFICIAL LIGHTING AROUND THE PERIMETER OF A BUILDING MUST BE CONTROLLED BY A DAYLIGHT SENSOR

IMPORTANT NOTE:

JUNCTION BOXES PROVIDED FOR FUTURE LIGHT POINTS BY CLIENTS (CLIENTS SELECTED ELECTRICAL CONTRACTOR) NEED TO COMPLY WITH THE FOLLOWING BUILDING REGULATION

ARTIFICIAL LIGHTING AROUND THE PERIMETER OF A BUILDING MUST:

- BE CONTROLLED BY A DAYLIGHT SENSOR; OR
- HAVE AN AVERAGE LIGHT SOURCE EFFICACY OF NOT LESS THAN 40 LUMENS/W.

REFER TO ELECTRICAL BUILDING COMPLIANCE SUMMARY SHEET, BUILDING REG. 3.12.5.5

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BUILDER

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F.F. ELECTRICAL PLAN

HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51 (30.3)-LH

FACADE: CLASSIQUE

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SCALE: 1 : 100

SHEET No: 5A



KITCHEN INTERNALS

ROTHBURY GRAND THEATRE ATRIUM 51 (30.3) - LH

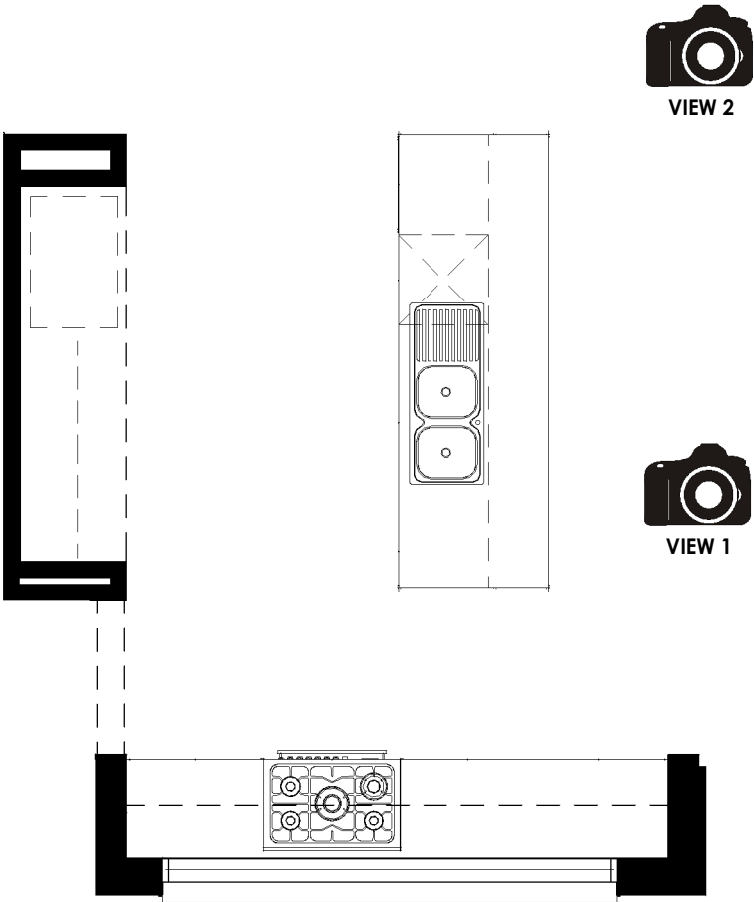
FACADE: ALL

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SHEET No: 6

NCC 2022



VIEW 1



VIEW 2

IMPORTANT NOTE: IMAGES ARE FOR ILLUSTRATIVE PURPOSES ONLY, ARE ARTIST IMPRESSIONS AND MAY DEPICT UPGRADE OPTIONS

IMPORTANT NOTE FOR COLOUR SELECTION:
VERTICAL GRAINED / PATTERNED LAMINATE
MAXIMUM CARCASS SIZE 1200MM

KITCHEN BENCHTOP DETAILS
20mm CAESARSTONE BENCHTOP
16mm SHADOWLINE
ZERO OVERHANG

NOTE:
REFER TO SHEET No. 6C FOR KITCHEN
JOINERY DETAILS

KITCHEN

SCALE: 1 : 50

BENCHTOP JOIN UP TO THE
DISCRETION OF THE MANUFACTURER

Figure 10: Sectional elevation of a wall and roof assembly. The diagram shows a cross-section of a wall with a roof on top. The roof has a 350mm thick concrete slab (B'HEAD) and a 300mm thick concrete slab (O'HEAD). The wall has a 650mm thick concrete slab (TOP) and a 600mm thick concrete slab (BOTTOM). The wall is 2300mm high (PLASTER) and 2315mm high (FRAME). The roof is 674mm high (APPROX.) and 690mm high (MIN). The wall has a 120mm thick concrete slab (EQ) and a 16mm thick concrete slab (EQ). The wall has a 120mm thick concrete slab (EQ) and a 16mm thick concrete slab (EQ). The wall has a 120mm thick concrete slab (EQ) and a 16mm thick concrete slab (EQ).

Technical drawing of a kitchen unit layout. The drawing shows a side elevation of a kitchen unit with various components and dimensions.

Dimensions (mm):

- Horizontal Dimensions (Top):** 25, 868, 16, 905, 16, 867, 25.
- Horizontal Dimensions (Bottom):** 25, 868, 16, 905, 16, 867, 25.
- Vertical Dimensions (Right):** 120, 16, 900, 710 (MIN), 2300 (PLASTER), 2315 (FRAME).
- Internal Vertical Dimensions (Right):** 674 (APPROX), 690, 20.

Components and Labels:

- 350D BULKHEAD:** Located at the top of the unit.
- SPLASHBACK:** Located on the left side of the unit.
- SPLASHBACK RETURN TO WINDOW REVEALS:** Located in the middle section of the unit.
- UPRIGHT COOKER:** Located in the center of the unit.
- 6No. EQUAL POT DRAWERS:** Located at the bottom of the unit.
- DETAIL 4:** A callout box pointing to a detail of the bulkhead.

Technical drawing of a stool showing dimensions and a detail callout. The drawing includes the following dimensions and labels:

- Top width: 3000 (TOP)
- Bottom width: 2968
- Left side height: 900
- Right side height: 864
- Right side detail height: 16, 120
- Detail callout: DETAIL 2
- Stool Space label pointing to the interior of the stool.

GENERAL NOTES:

- ALL TILE & CABINETRY DIMENSIONS ARE APPROXIMATE ONLY & MAY ALTER TO SUIT
- ALL INTERNAL ELEVATIONS ARE DIMENSIONED FROM PLASTER **NOT** FRAME

SHOWER MAINTENANCE:

THE OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF THE SHOWER RECESS AND THE AREA OUTSIDE THE SHOWER INCLUDING ENSURING:

- A. ALL EXCESS WATER WILL BE REMOVED FROM THE FLOOR OUTSIDE THE SHOWER AFTER SHOWERING
- B. A WATER MAT LOCATED IMMEDIATELY OUTSIDE THE SHOWER ENTRANCE IS TO BE USED DURING SHOWERING
- C. SHOWERPROOFING AND OTHER SEALS, INCLUDING PENETRATIONS, WALL AND FLOOR JUNCTIONS, SHOWER SCREEN JUNCTIONS ETC. WILL BE INSPECTED AND MAINTENANCE (AS NECESSARY) ON A REGULAR BASIS (AT LEAST EVERY 12 MONTHS)
- D. THE MAINTENANCE WORK ON THE WET AREA, INCLUDING ANY NECESSARY INSPECTION, IS TO BE CONDUCTED BY A COMPETENT PERSON, THE SELECTION AND EMPLOYMENT OF WHICH IS THE RESPONSIBILITY OF THE OWNER; AND
- E. THE **OWNER** IS RESPONSIBLE FOR ENSURING SUBSEQUENT OWNERS ARE ADVISED OF THE ABOVE INFORMATION

CLIENT SIGNATURE: _____

Arshdeep Singh

6D9D0E39B0A2457
CLIENT SIGNATURE:

DocuSigned by:
Amrabet Van

BUILDER:

DATE:

DRAWING TITLE:

KITCHEN ELEVATIONS

HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51
(30.3)-LH

FACADE: ALL

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LUXURY LIVING

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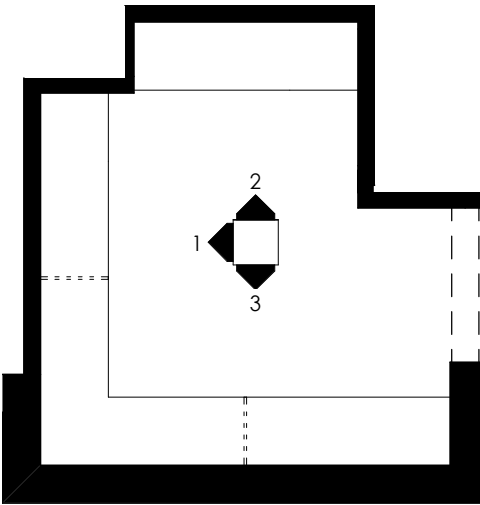
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SUBURB: MULGRAVE

JOB DATE: --.--.--	MASTER DATE: 12.01.2024
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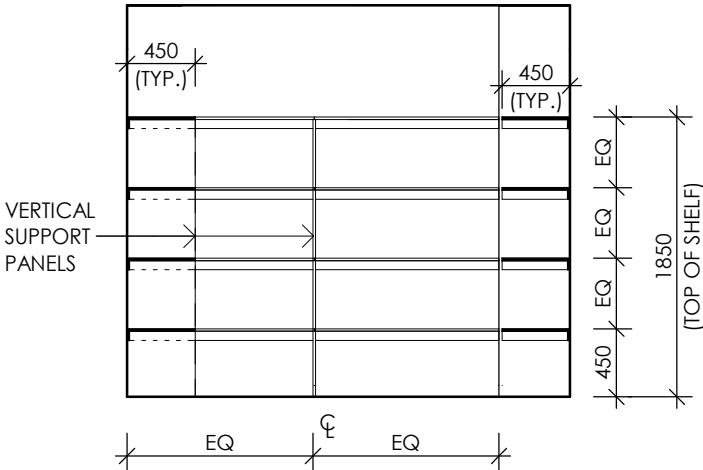
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JOB No: Prj. Number	ISSUE: MASTER
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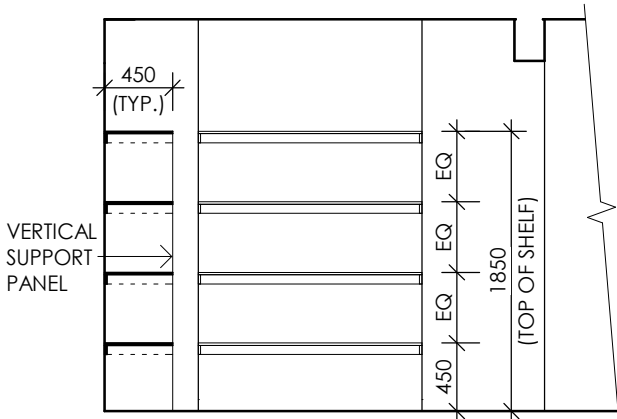
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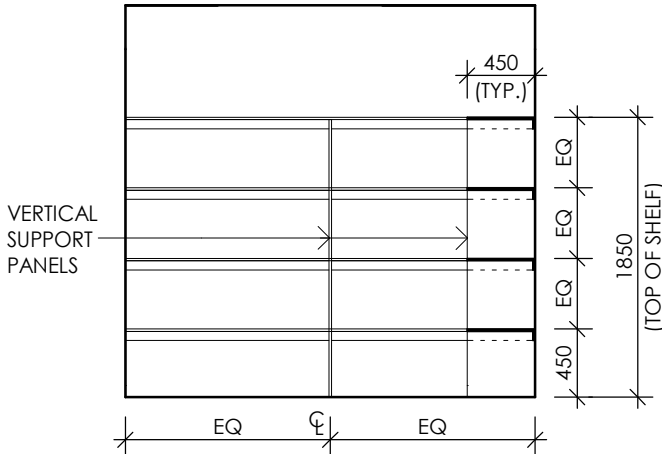
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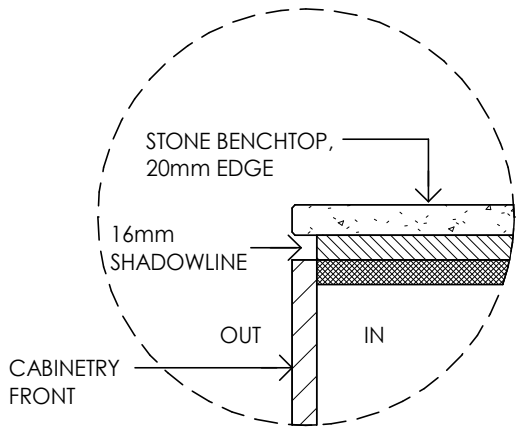


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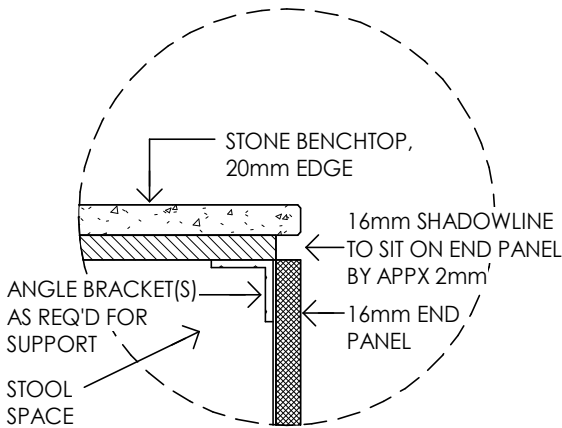


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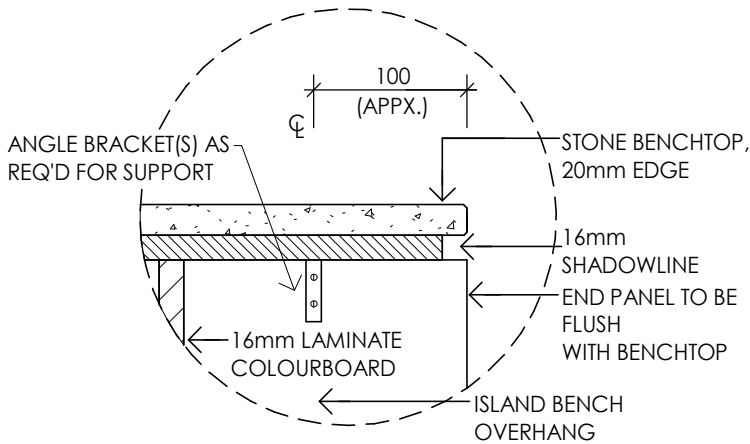
<div>GENERAL NOTES:</div> <ul style="list-style-type: none">ALL TILE & CABINETRY DIMENSIONS ARE APPROXIMATE ONLY & MAY ALTER TO SUITALL INTERNAL ELEVATIONS ARE DIMENSIONED FROM PLASTER NOT FRAME		<div>DocuSigned by: Arshdeep Singh</div> <div>DocuSigned by: Anand Kumar</div> <div>BUILDER</div> <div>DATE:</div>	<div>CLIENT SIGNATURE:</div> <div>DocuSigned by: Arshdeep Singh</div> <div>CLIENT SIGNATURE:</div> <div>DocuSigned by: Anand Kumar</div> <div>BUILDER</div> <div>DATE:</div>	<div>DRAWING TITLE:</div> <div>KITCHEN ELEVATIONS</div> <div>HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51 (30.3)-LH</div> <div>FACADE: ALL</div> <div><small>THIS WORK IS EXCLUSIVELY OWNED BY CARLISLE HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF CARLISLE HOMES PTY LTD</small></div> <div><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></div> <div><div>©</div> COPYRIGHT 2023</div>	<div><div><div><div><div></div></div><div>CARLISLE</div><div>Lives better</div></div><div>AFFINITY</div><div>LUXURY LIVING</div></div></div> <div>631 Springvale Road Mulgrave Victoria 3170 T 03 8561 4777 F 03 9561 5320</div>	<div>CLIENT:</div> <div>CARLISLE HOMES PTY. LTD.</div> <div>ADDRESS:</div> <div>631 SPRINGVALE ROAD</div> <div>SUBURB: MULGRAVE</div> <table><tr><td>JOB DATE: --.--</td><td>MASTER DATE: 12.01.2024</td></tr><tr><td>DRAWN: HL/DT/HL</td><td>CHECKED: MT(B)/KM(F)</td></tr><tr><td>JOB No: Prj. Number</td><td>ISSUE: MASTER</td></tr><tr><td>SCALE: 1 : 50</td><td>SHEET No: 6B</td></tr></table>	JOB DATE: --.--	MASTER DATE: 12.01.2024	DRAWN: HL/DT/HL	CHECKED: MT(B)/KM(F)	JOB No: Prj. Number	ISSUE: MASTER	SCALE: 1 : 50	SHEET No: 6B
JOB DATE: --.--	MASTER DATE: 12.01.2024													
DRAWN: HL/DT/HL	CHECKED: MT(B)/KM(F)													
JOB No: Prj. Number	ISSUE: MASTER													
SCALE: 1 : 50	SHEET No: 6B													
<div>SHOWER MAINTENANCE:</div> <div>THE OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF THE SHOWER RECESS AND THE AREA OUTSIDE THE SHOWER INCLUDING ENSURING:</div> <div>A. ALL EXCESS WATER WILL BE REMOVED FROM THE FLOOR OUTSIDE THE SHOWER AFTER SHOWERING</div> <div>B. A SHOWER MAT LOCATED IMMEDIATELY OUTSIDE THE SHOWER ENTRANCE IS TO BE USED DURING SHOWERING</div> <div>C. WATERPROOFING AND OTHER SEALS, INCLUDING PENETRATIONS, WALL AND FLOOR JUNCTIONS, SHOWER SCREEN JUNCTIONS ETC. WILL BE INSPECTED AND MAINTENANCE (AS NECESSARY) ON A REGULAR BASIS (AT LEAST EVERY 12 MONTHS)</div> <div>D. THE MAINTENANCE WORK ON THE WET AREA, INCLUDING ANY NECESSARY INSPECTION, IS TO BE CONDUCTED BY A COMPETENT PERSON, THE SELECTION AND EMPLOYMENT OF WHICH IS THE RESPONSIBILITY OF THE OWNER; AND</div> <div>E. THE OWNER IS RESPONSIBLE FOR ENSURING SUBSEQUENT OWNERS ARE ADVISED OF THE ABOVE INFORMATION</div>														



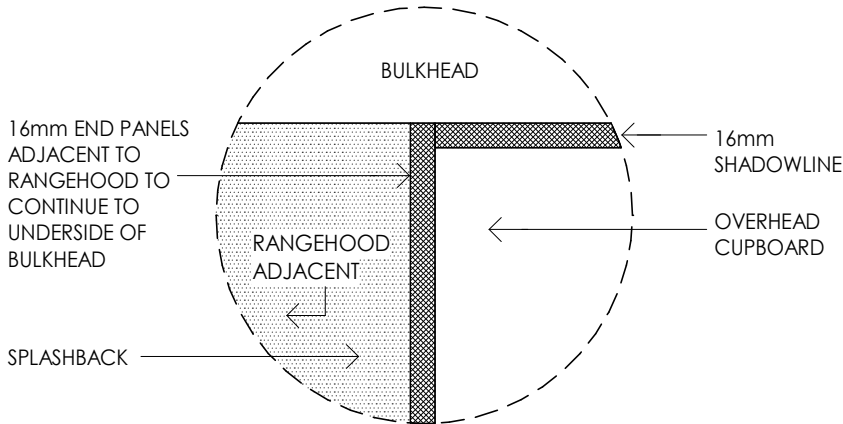
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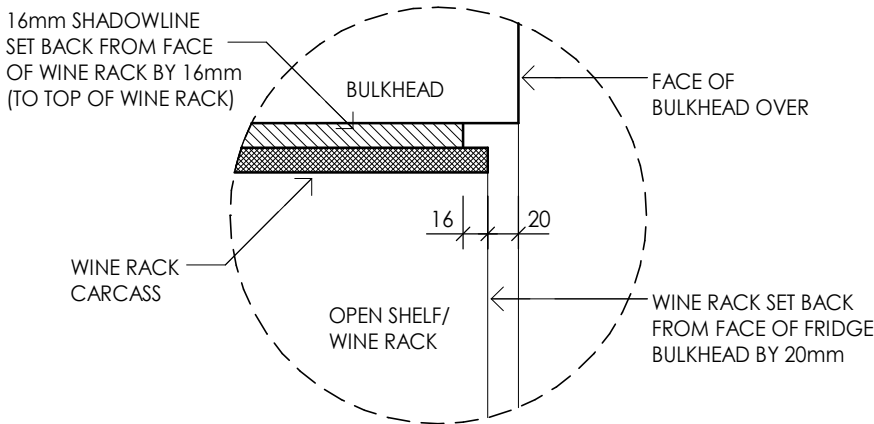
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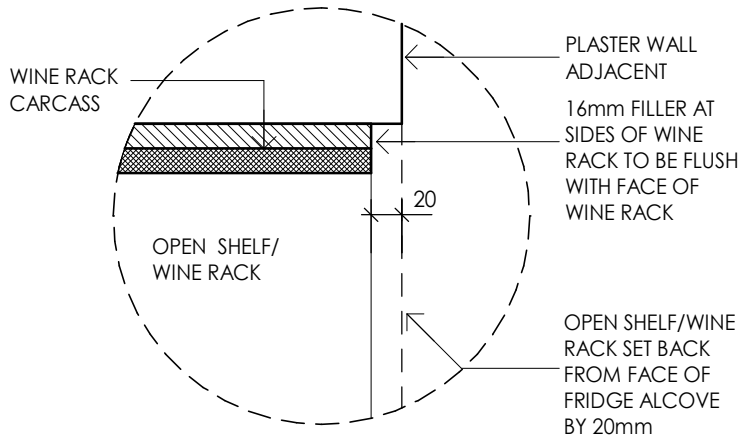
DETAIL 3





DETAIL 4

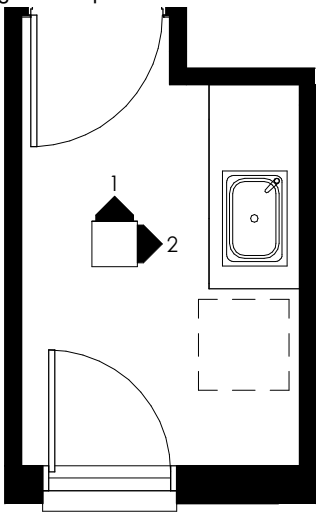


DETAIL 5
(WINE RACK SECTION)



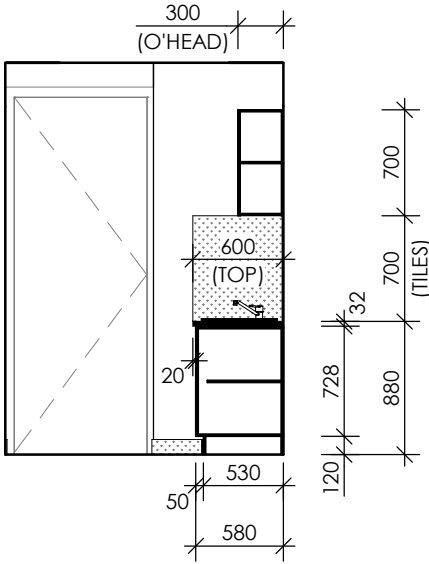
DETAIL 6
(WINE RACK PLAN)

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			HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51 (30.3)-LH FACADE: ALL <small>THIS WORK IS EXCLUSIVELY OWNED BY CARLISLE HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF CARLISLE HOMES PTY LTD</small> <small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small> © COPYRIGHT 2023	ADDRESS: 631 SPRINGVALE ROAD SUBURB: MULGRAVE JOB DATE: --- MASTER DATE: 12.01.2024 DRAWN: HL/DT/HL CHECKED: MT(B)/KM(F) JOB No: Prj. Number ISSUE: MASTER SCALE: SHEET No: 6C	631 Springvale Road Mulgrave Victoria 3170 T 03 8561 4777 F 03 9561 5320

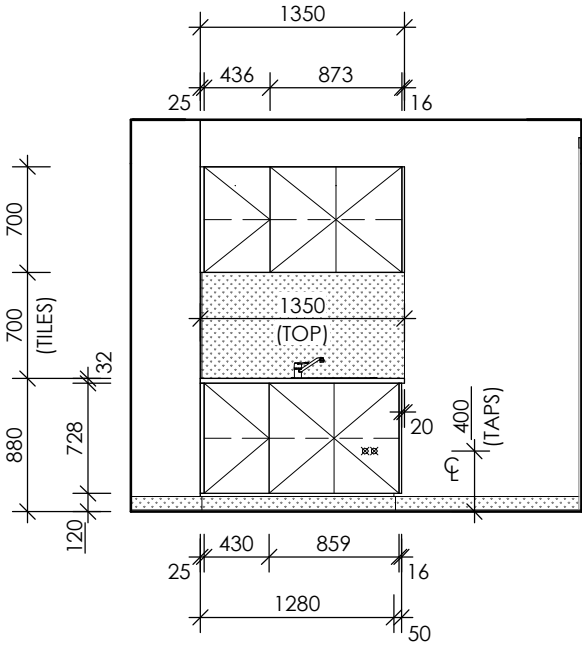


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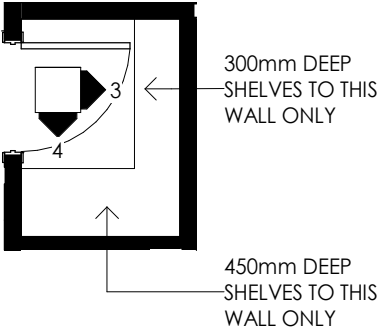
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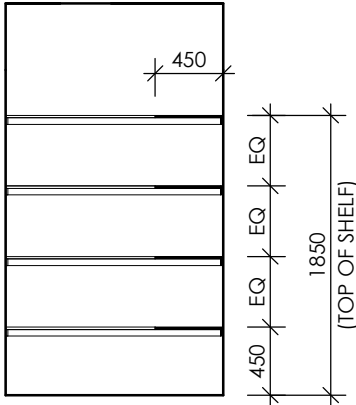


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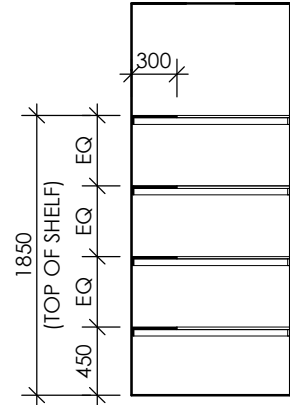


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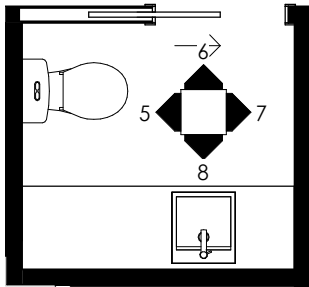
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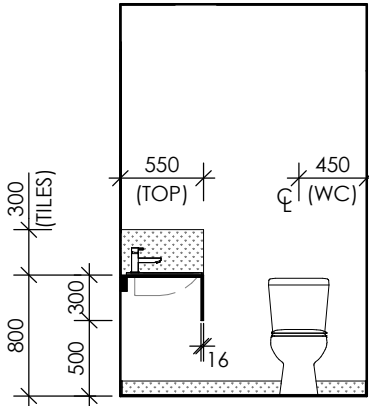


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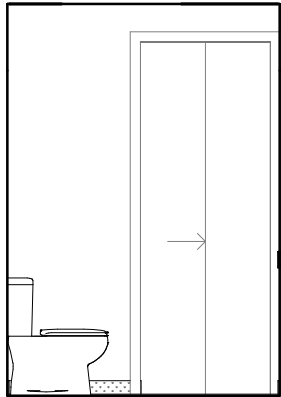


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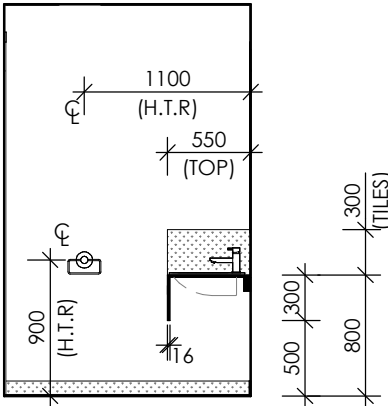
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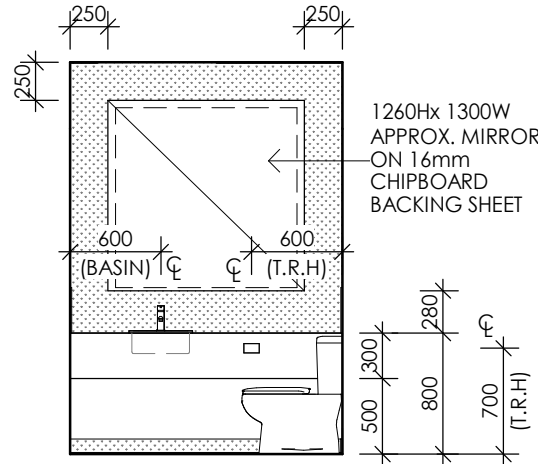
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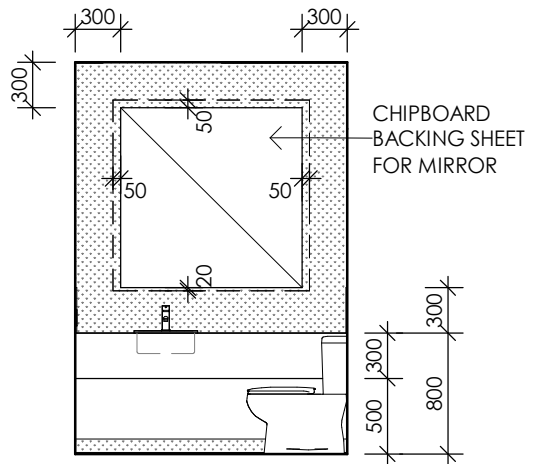
ELEVATION - 6



ELEVATION - 7




ELEVATION - 8

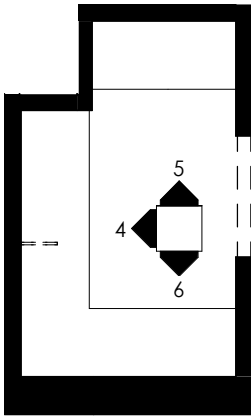


POWDER ROOM

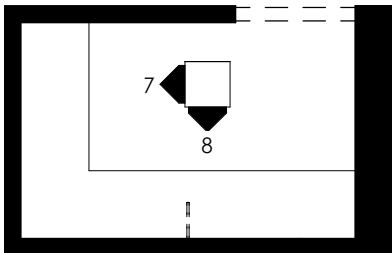
(TYPICAL CHIPOARD DETAIL)

<p>GENERAL NOTES:</p> <ul style="list-style-type: none">ALL TILE & CABINETRY DIMENSIONS ARE APPROXIMATE ONLY & MAY ALTER TO SUITALL INTERNAL ELEVATIONS ARE DIMENSIONED FROM PLASTER NOT FRAME <p>SHOWER MAINTENANCE:</p> <p>THE OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF THE SHOWER RECESS AND THE AREA OUTSIDE THE SHOWER INCLUDING ENSURING:</p> <p>A. ALL EXCESS WATER WILL BE REMOVED FROM THE FLOOR OUTSIDE THE SHOWER AFTER SHOWERING</p> <p>B. A SHOWER MAT LOCATED IMMEDIATELY OUTSIDE THE SHOWER ENTRANCE IS TO BE USED DURING SHOWERING</p> <p>C. WATERPROOFING AND OTHER SEALS, INCLUDING PENETRATIONS, WALL AND FLOOR JUNCTIONS, SHOWER SCREEN JUNCTIONS ETC. WILL BE INSPECTED AND MAINTENANCE (AS NECESSARY) ON A REGULAR BASIS (AT LEAST EVERY 12 MONTHS)</p> <p>D. THE MAINTENANCE WORK ON THE WET AREA, INCLUDING ANY NECESSARY INSPECTION, IS TO BE CONDUCTED BY A COMPETENT PERSON, THE SELECTION AND EMPLOYMENT OF WHICH IS THE RESPONSIBILITY OF THE OWNER; AND</p> <p>E. THE OWNER IS RESPONSIBLE FOR ENSURING SUBSEQUENT OWNERS ARE ADVISED OF THE ABOVE INFORMATION</p>		<p>CLIENT SIGNATURE:</p> <p>DocuSigned by:</p> <p>Arshdeep Singh</p> <p>CLIENT SIGNATURE:</p> <p>DocuSigned by:</p> <p>Arshdeep Singh</p> <p>BUILDER</p> <p>DATE:</p>	<p>DRAWING TITLE:</p> <p>INTERNAL ELEVATIONS</p> <p>HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51 (30.3)-LH</p> <p>FACADE: ALL</p> <p><small>THIS WORK IS EXCLUSIVELY OWNED BY CARLISLE HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF CARLISLE HOMES PTY LTD</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p> <p>© COPYRIGHT 2023</p>	<p></p> <p>CARLISLE</p> <p>Lives better</p> <p>AFFINITY</p> <p>LUXURY LIVING</p> <p>631 Springvale Road Mulgrave Victoria 3170 T 03 8561 4777 F 03 9561 5320</p>	<p>CLIENT:</p> <p>CARLISLE HOMES PTY. LTD.</p> <p>ADDRESS:</p> <p>631 SPRINGVALE ROAD</p> <p>SUBURB: MULGRAVE</p> <p>JOB DATE: ---</p> <p>MASTER DATE: 12.01.2024</p> <p>DRAWN: HL/DT/HL</p> <p>CHECKED: MT(B)/KM(F)</p> <p>JOB No: Prj. Number</p> <p>ISSUE: MASTER</p> <p>SCALE: 1 : 50</p> <p>SHEET No: 7</p>
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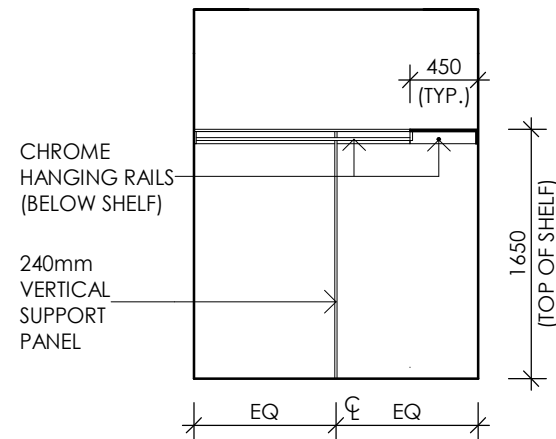
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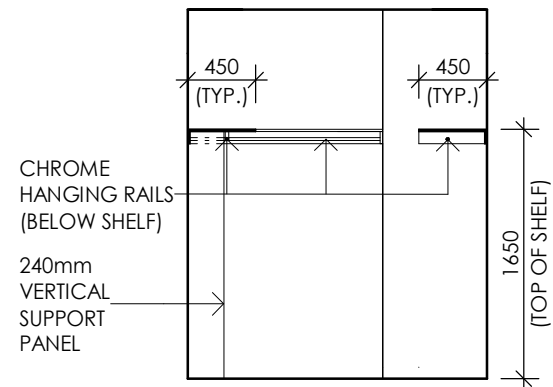
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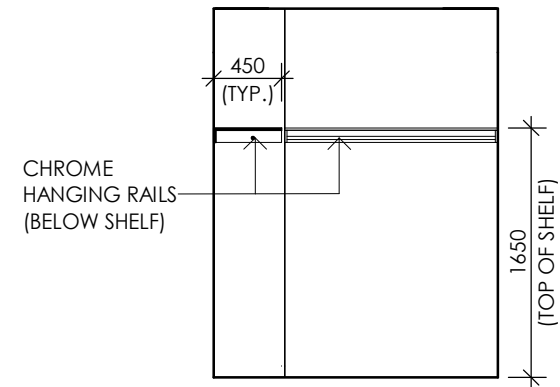
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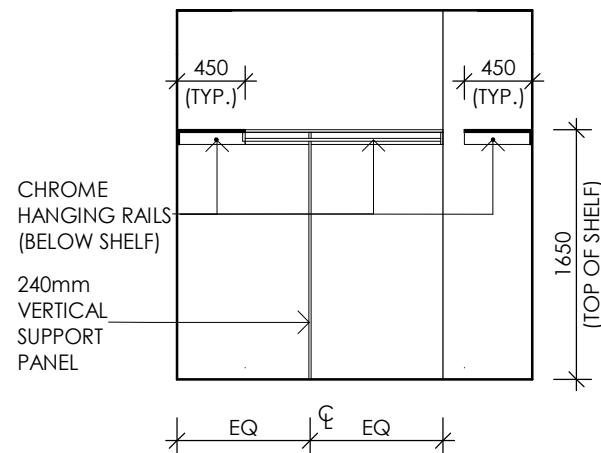
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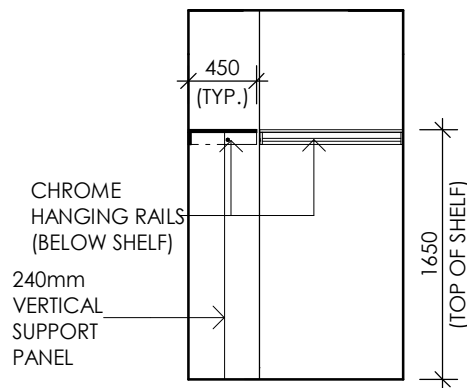
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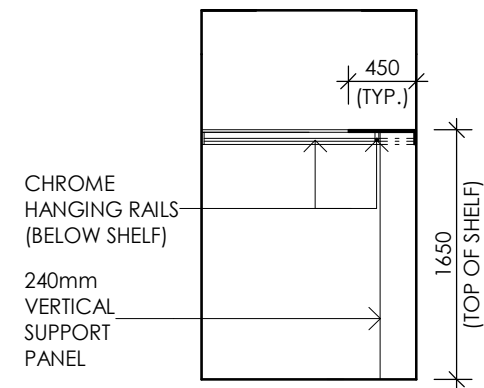
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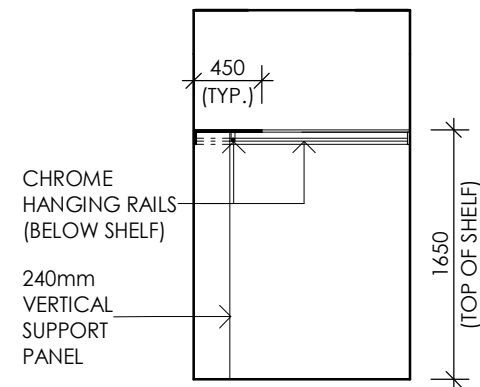
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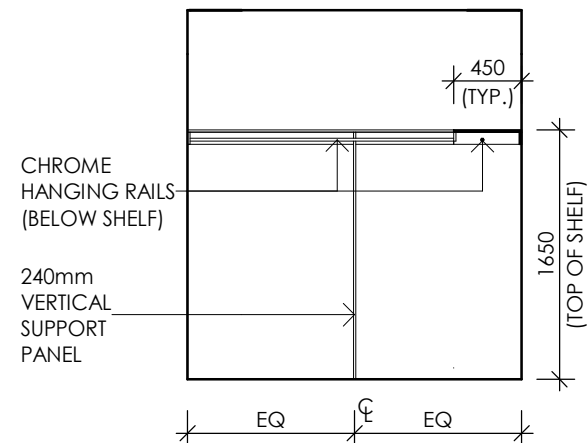
ELEVATION - 5



ELEVATION - 6

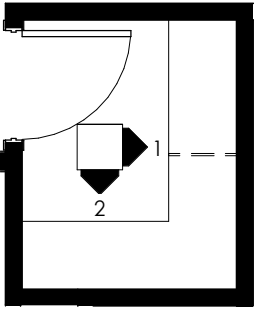


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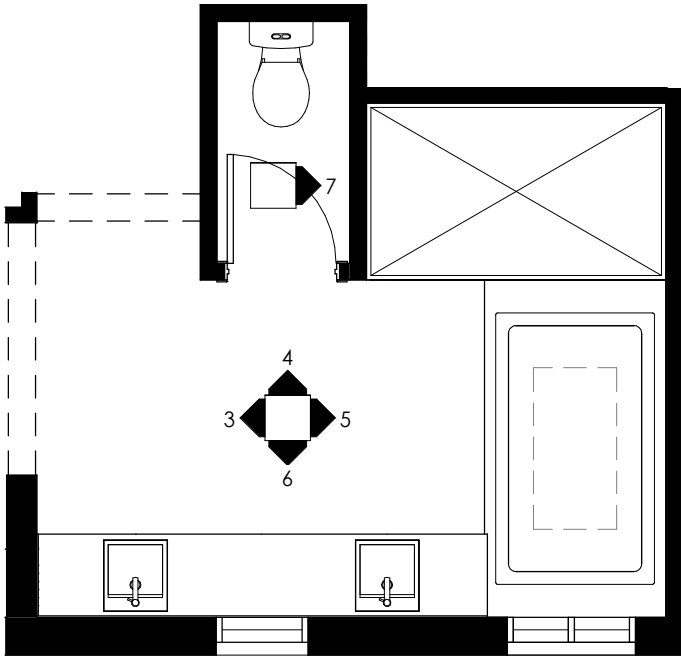
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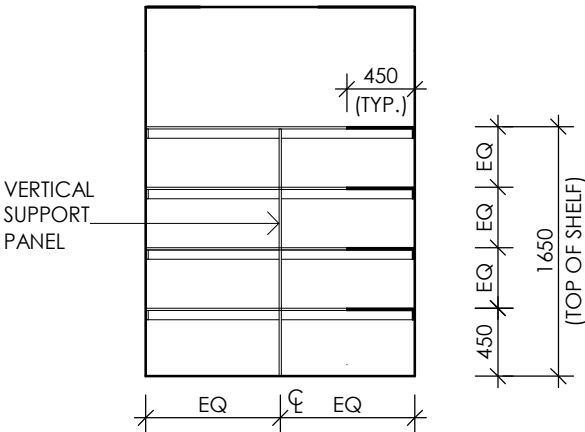
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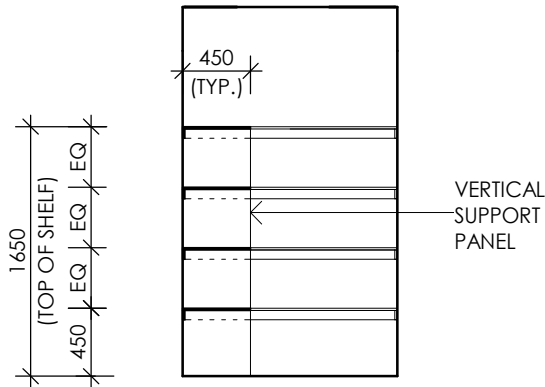


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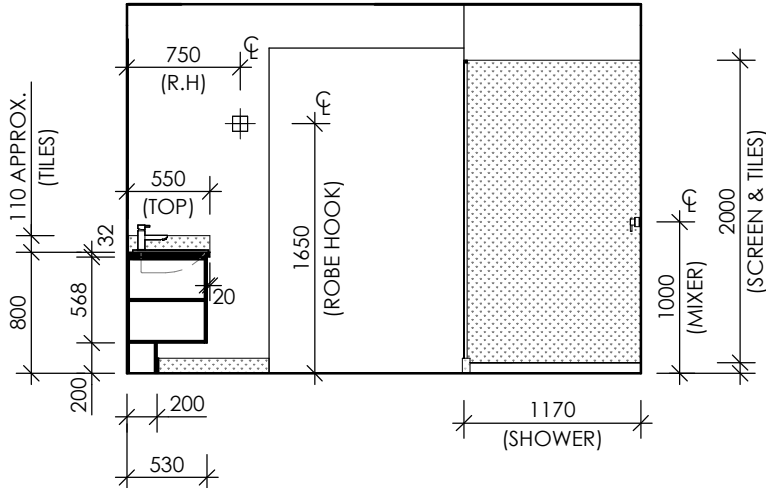
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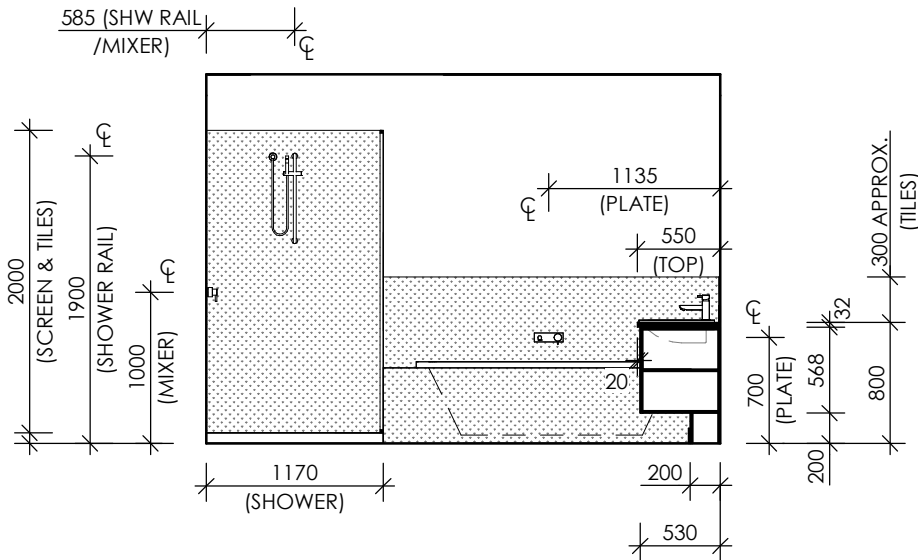


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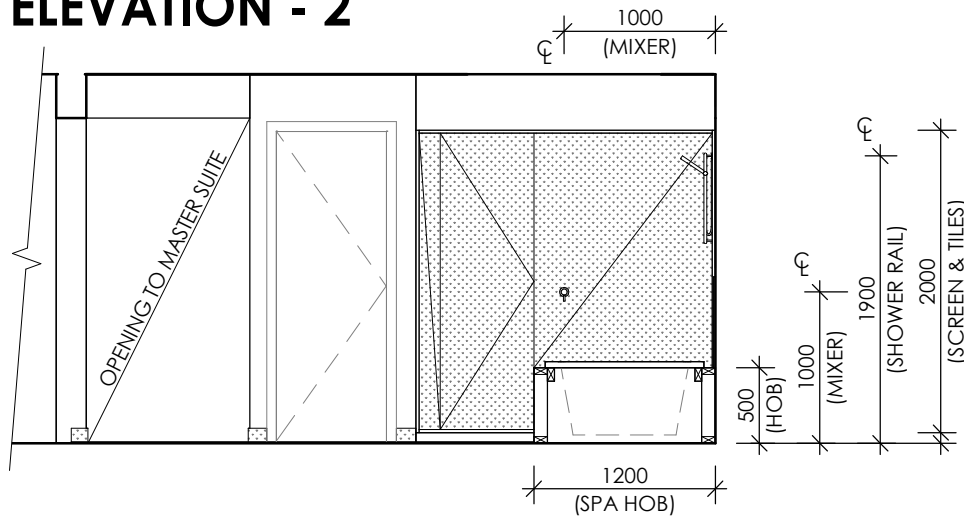


ELEVATION - 3

NOTE: SPA CENTERED TO HOB



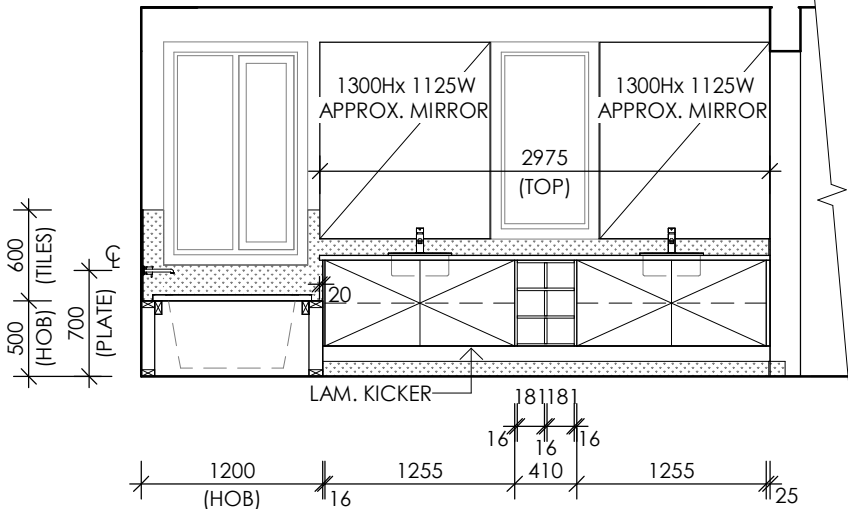
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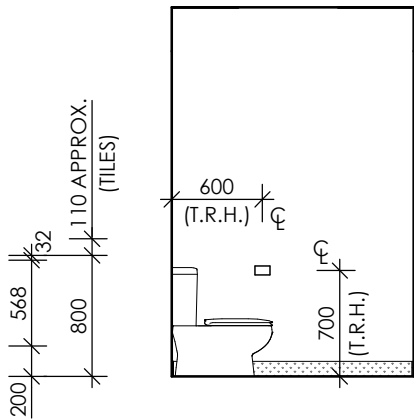
ELEVATION - 4

NOTE: BASINS CENTERED TO CUPBOARD DOORS

IMPORTANT NOTE:
MIRROR(S) TO LINE UP WITH
TOP/BOTTOM OF ARCHITRAVE.

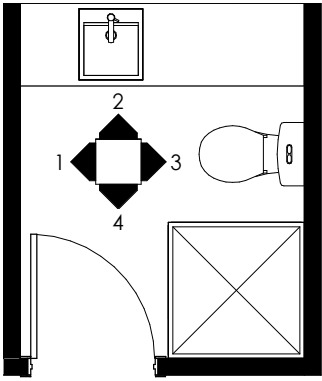


ELEVATION - 6



ELEVATION - 7

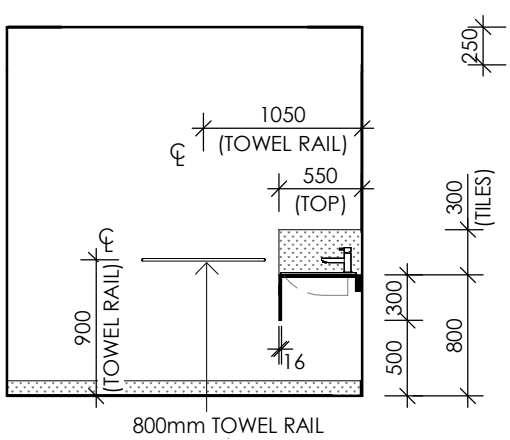
<div>GENERAL NOTES:</div> <ul style="list-style-type: none">ALL TILE & CABINETRY DIMENSIONS ARE APPROXIMATE ONLY & MAY ALTER TO SUITALL INTERNAL ELEVATIONS ARE DIMENSIONED FROM PLASTER NOT FRAME				<div>CLIENT SIGNATURE:</div> <div>DocuSigned by: Arshdeep Singh</div> <div>CLIENT SIGNATURE:</div> <div>DocuSigned by: Arshdeep Singh</div> <div>BUILDER:</div> <div>DATE:</div>		<div>DRAWING TITLE:</div> <div>INTERNAL ELEVATIONS</div> <div>HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51 (30.3)-LH</div> <div>FACADE: ALL</div> <div><small>THIS WORK IS EXCLUSIVELY OWNED BY CARLISLE HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF CARLISLE HOMES PTY LTD</small></div> <div><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></div> <div><div>© COPYRIGHT 2023</div></div>		<div><div><div><div></div></div><div>CARLISLE</div><div>Lives better</div></div><div>AFFINITY</div><div>LUXURY LIVING</div></div> <div>631 Springvale Road Mulgrave Victoria 3170 T 03 8561 4777 F 03 9561 5320</div>		<div>CLIENT:</div> <div>CARLISLE HOMES PTY. LTD.</div> <div>ADDRESS:</div> <div>631 SPRINGVALE ROAD</div> <div>SUBURB: MULGRAVE</div> <table><tr><td>JOB DATE: --/--/--</td><td>MASTER DATE: 12.01.2024</td></tr><tr><td>DRAWN: HL/DT/HL</td><td>CHECKED: MT(B)/KM(F)</td></tr><tr><td>JOB No: Prj. Number</td><td>ISSUE: MASTER</td></tr><tr><td>SCALE: 1 : 50</td><td>SHEET No: 7B</td></tr></table>		JOB DATE: --/--/--	MASTER DATE: 12.01.2024	DRAWN: HL/DT/HL	CHECKED: MT(B)/KM(F)	JOB No: Prj. Number	ISSUE: MASTER	SCALE: 1 : 50	SHEET No: 7B
JOB DATE: --/--/--	MASTER DATE: 12.01.2024																		
DRAWN: HL/DT/HL	CHECKED: MT(B)/KM(F)																		
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<div>SHOWER MAINTENANCE:</div> <div>THE OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF THE SHOWER RECESS AND THE AREA OUTSIDE THE SHOWER INCLUDING ENSURING:</div> <div>A. ALL EXCESS WATER WILL BE REMOVED FROM THE FLOOR OUTSIDE THE SHOWER AFTER SHOWERING</div> <div>B. A SHOWER MAT LOCATED IMMEDIATELY OUTSIDE THE SHOWER ENTRANCE IS TO BE USED DURING SHOWERING</div> <div>C. WATERPROOFING AND OTHER SEALS, INCLUDING PENETRATIONS, WALL AND FLOOR JUNCTIONS, SHOWER SCREEN JUNCTIONS ETC. WILL BE INSPECTED AND MAINTENANCE (AS NECESSARY) ON A REGULAR BASIS (AT LEAST EVERY 12 MONTHS)</div> <div>D. THE MAINTENANCE WORK ON THE WET AREA, INCLUDING ANY NECESSARY INSPECTION, IS TO BE CONDUCTED BY A COMPETENT PERSON, THE SELECTION AND EMPLOYMENT OF WHICH IS THE RESPONSIBILITY OF THE OWNER; AND</div> <div>E. THE OWNER IS RESPONSIBLE FOR ENSURING SUBSEQUENT OWNERS ARE ADVISED OF THE ABOVE INFORMATION</div>																			



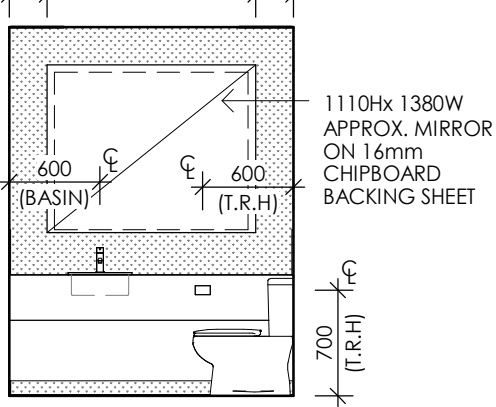
PDR 2

SCALE: 1 : 50

ELEVATION - 1

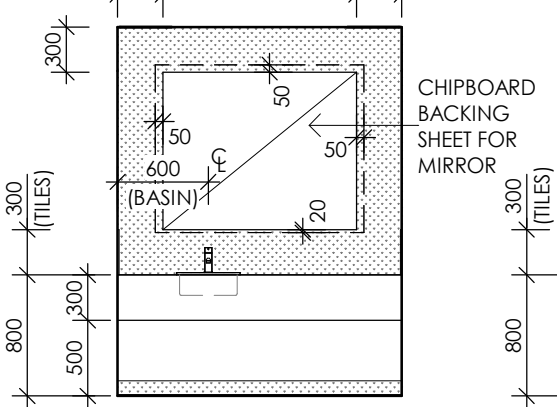


ELEVATION - 2

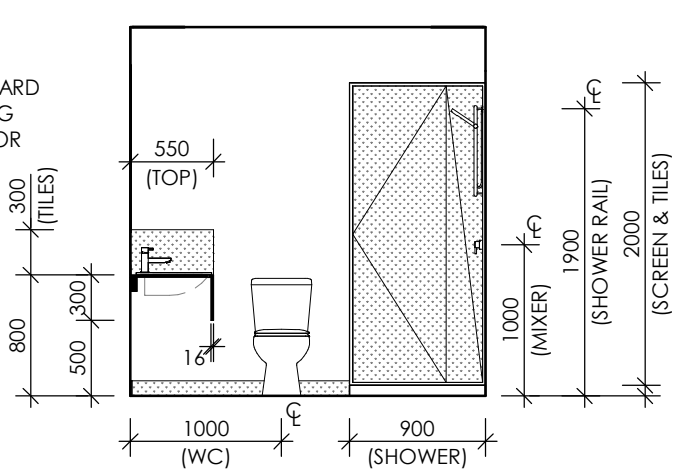


POWDER ROOM

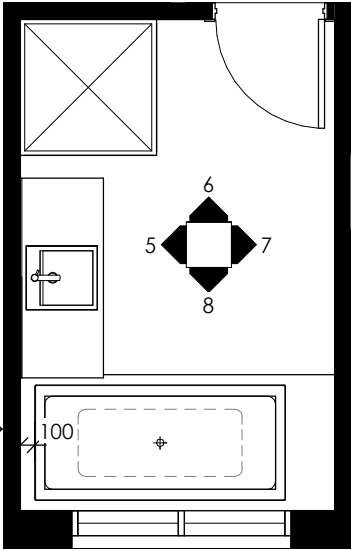
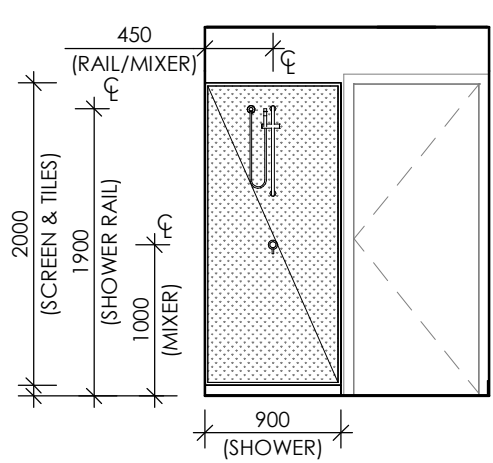
(TYPICAL CHIPOARD DETAIL)



ELEVATION - 3



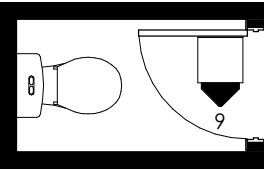
ELEVATION - 4



BATH

SCALE: 1 : 50

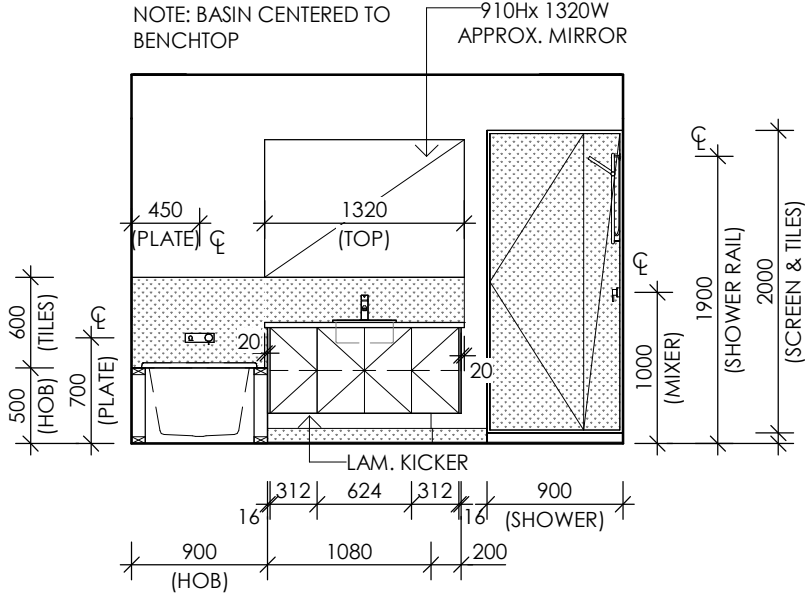
100mm SETOUT OF BATH ON HOB TO SUIT A STANDARD BATH SPOUT



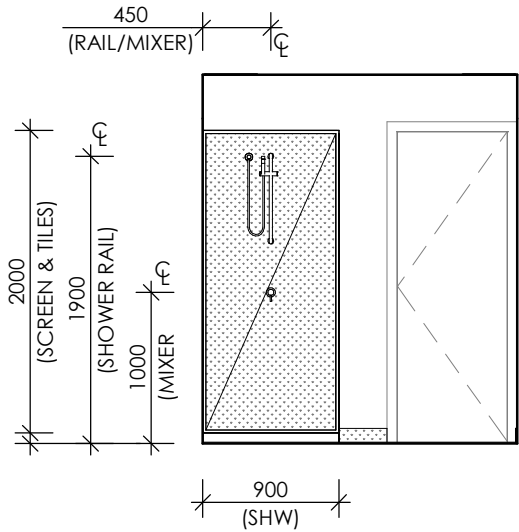
WC

SCALE: 1 : 50

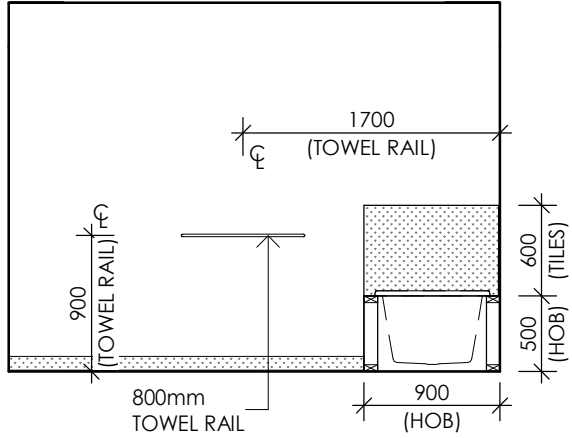
ELEVATION - 5



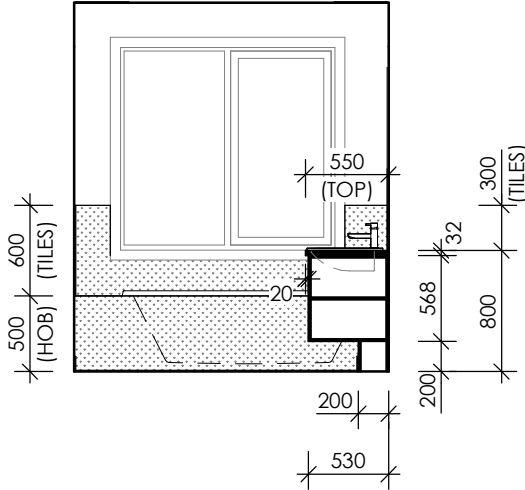
ELEVATION - 6



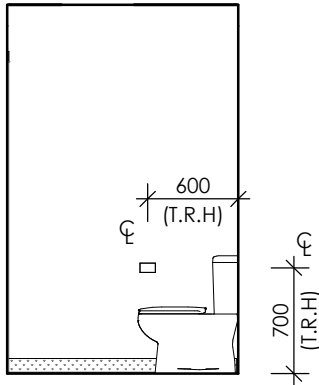
ELEVATION - 7



ELEVATION - 8



ELEVATION - 9



GENERAL NOTES: <ul style="list-style-type: none">ALL TILE & CABINETRY DIMENSIONS ARE APPROXIMATE ONLY & MAY ALTER TO SUITALL INTERNAL ELEVATIONS ARE DIMENSIONED FROM PLASTER NOT FRAME	
SHOWER MAINTENANCE: <p>THE OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF THE SHOWER RECESS AND THE AREA OUTSIDE THE SHOWER INCLUDING ENSURING:</p> <p>A. ALL EXCESS WATER WILL BE REMOVED FROM THE FLOOR OUTSIDE THE SHOWER AFTER SHOWERING</p> <p>B. A SHOWER MAT LOCATED IMMEDIATELY OUTSIDE THE SHOWER ENTRANCE IS TO BE USED DURING SHOWERING</p> <p>C. WATERPROOFING AND OTHER SEALS, INCLUDING PENETRATIONS, WALL AND FLOOR JUNCTIONS, SHOWER SCREEN JUNCTIONS ETC. WILL BE INSPECTED AND MAINTENANCE (AS NECESSARY) ON A REGULAR BASIS (AT LEAST EVERY 12 MONTHS)</p> <p>D. THE MAINTENANCE WORK ON THE WET AREA, INCLUDING ANY NECESSARY INSPECTION, IS TO BE CONDUCTED BY A COMPETENT PERSON, THE SELECTION AND EMPLOYMENT OF WHICH IS THE RESPONSIBILITY OF THE OWNER; AND</p> <p>E. THE OWNER IS RESPONSIBLE FOR ENSURING SUBSEQUENT OWNERS ARE ADVISED OF THE ABOVE INFORMATION</p>	

CLIENT SIGNATURE: DocuSigned by: Arshdeep Singh	CLIENT SIGNATURE: DocuSigned by: Anasudh Kam
BUILDER	BUILDER
DATE:	DATE:

DRAWING TITLE: INTERNAL ELEVATIONS
HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51 (30.3)-LH
FACADE: ALL
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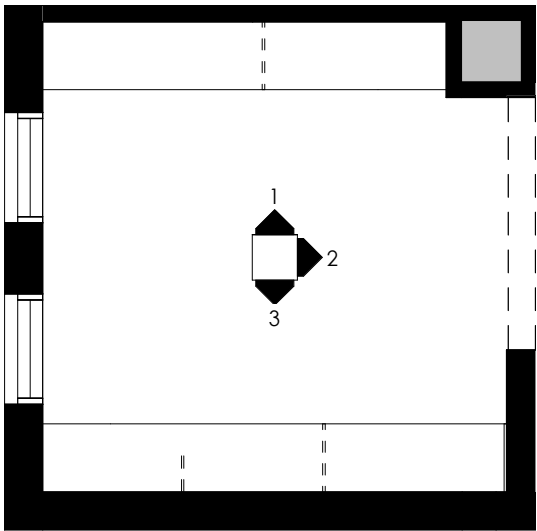


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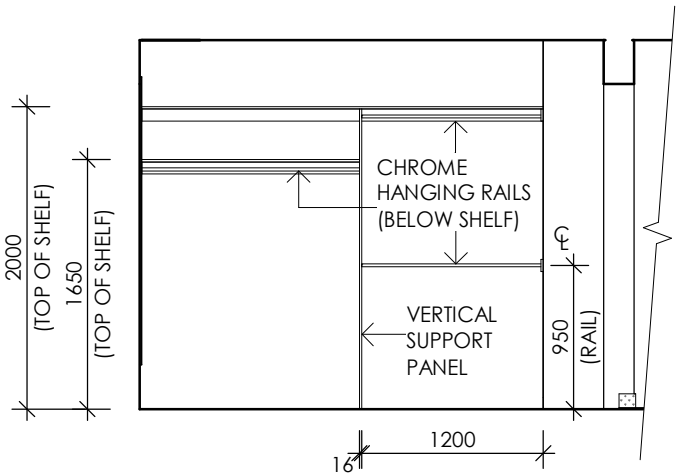
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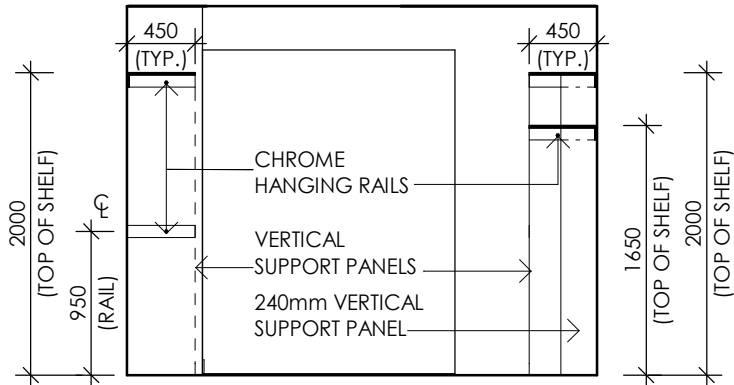
CLIENT: CARLISLE HOMES PTY. LTD.	
ADDRESS: 631 SPRINGVALE ROAD SUBURB: MULGRAVE	
JOB DATE: --.--	MASTER DATE: 12.01.2024
DRAWN: HL/DT/HL	CHECKED: MT(B)/KM(F)
JOB No: Prj. Number	ISSUE: MASTER
SCALE: 1 : 50	SHEET No: 7C



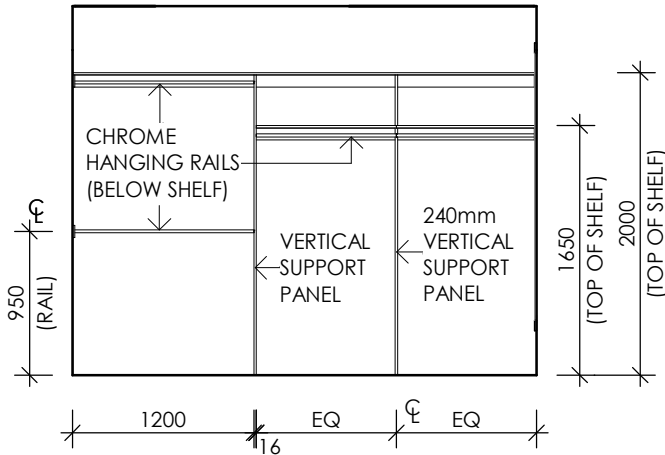
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SCALE: 1 : 50



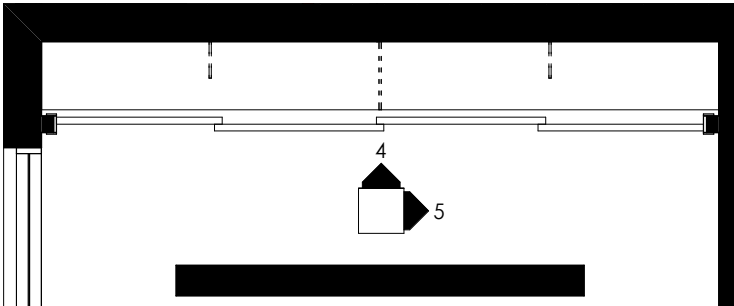
ELEVATION - 1



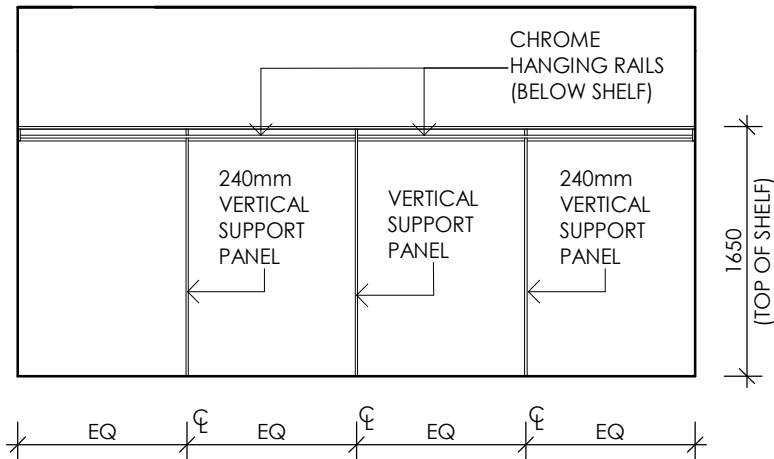
ELEVATION - 2



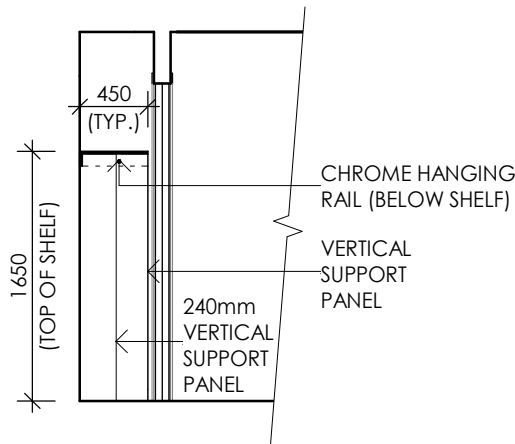
ELEVATION - 3





WIR 1
SCALE: 1 : 50




ELEVATION 4




ELEVATION - 5

GENERAL NOTES: <ul style="list-style-type: none">ALL TILE & CABINETRY DIMENSIONS ARE APPROXIMATE ONLY & MAY ALTER TO SUITALL INTERNAL ELEVATIONS ARE DIMENSIONED FROM PLASTER NOT FRAME		CLIENT SIGNATURE: <i>Arshdeep Singh</i> CLIENT SIGNATURE: <i>Arshdeep Singh</i> BUILDER: DATE:		DRAWING TITLE: INTERNAL ELEVATIONS HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51 (30.3)-LH FACADE: AKIRA (H) <small>THIS WORK IS EXCLUSIVELY OWNED BY CARLISLE HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF CARLISLE HOMES PTY LTD</small> <small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small> © COPYRIGHT 2023		CLIENT: CARLISLE HOMES PTY. LTD. ADDRESS: 631 SPRINGVALE ROAD SUBURB: MULGRAVE JOB DATE: --.--. MASTER DATE: 12.01.2024 DRAWN: HL/DT/HL CHECKED: Checker JOB No: Prj. Number ISSUE: MASTER SCALE: 1 : 50 SHEET No: 8A	
SHOWER MAINTENANCE: THE OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF THE SHOWER RECESS AND THE AREA OUTSIDE THE SHOWER INCLUDING ENSURING: A. ALL EXCESS WATER WILL BE REMOVED FROM THE FLOOR OUTSIDE THE SHOWER AFTER SHOWERING B. A SHOWER MAT LOCATED IMMEDIATELY OUTSIDE THE SHOWER ENTRANCE IS TO BE USED DURING SHOWERING C. WATERPROOFING AND OTHER SEALS, INCLUDING PENETRATIONS, WALL AND FLOOR JUNCTIONS, SHOWER SCREEN JUNCTIONS ETC., WILL BE INSPECTED AND MAINTENANCE (AS NECESSARY) ON A REGULAR BASIS (AT LEAST EVERY 12 MONTHS) D. THE MAINTENANCE WORK ON THE WET AREA, INCLUDING ANY NECESSARY INSPECTION, IS TO BE CONDUCTED BY A COMPETENT PERSON, THE SELECTION AND EMPLOYMENT OF WHICH IS THE RESPONSIBILITY OF THE OWNER; AND E. THE OWNER IS RESPONSIBLE FOR ENSURING SUBSEQUENT OWNERS ARE ADVISED OF THE ABOVE INFORMATION				  LUXURY LIVING 631 Springvale Road Mulgrave Victoria 3170 T 03 8561 4777 F 03 9561 5320		PRINT Date & Time: 18/01/2024 4:11:05 PM	


H&C LEGEND




HARDWIRED INTERCONNECTED SMOKE DETECTOR(S)
WITH BATTERY BACKUP AS PER BCA 3.7.2 & TO
COMPLY WITH AS3786




METER BOX (APPX. LOCATION)




CEILING HEATING DUCT OUTLET (APPX. LOCATION)




GROUND FLOOR CEILING - SPEAKER GRILLE LOCATED
UNDER FIRST FLOOR BATH/SPA WASTE(**APPX. LOCATION**)




HEATING UNIT Inc. DOUBLE P.POINT & LIGHT POINT (**APPX. LOCATION**) **EXACT LOCATION SUBJECT TO CONTRACTORS DISCRETION**




EVAP. COOLING DUCT OUTLET (**APPX. LOCATION**)




COOLING UNIT (**APPX. LOCATION**)
EXACT LOCATION SUBJECT TO CONTRACTORS DISCRETION



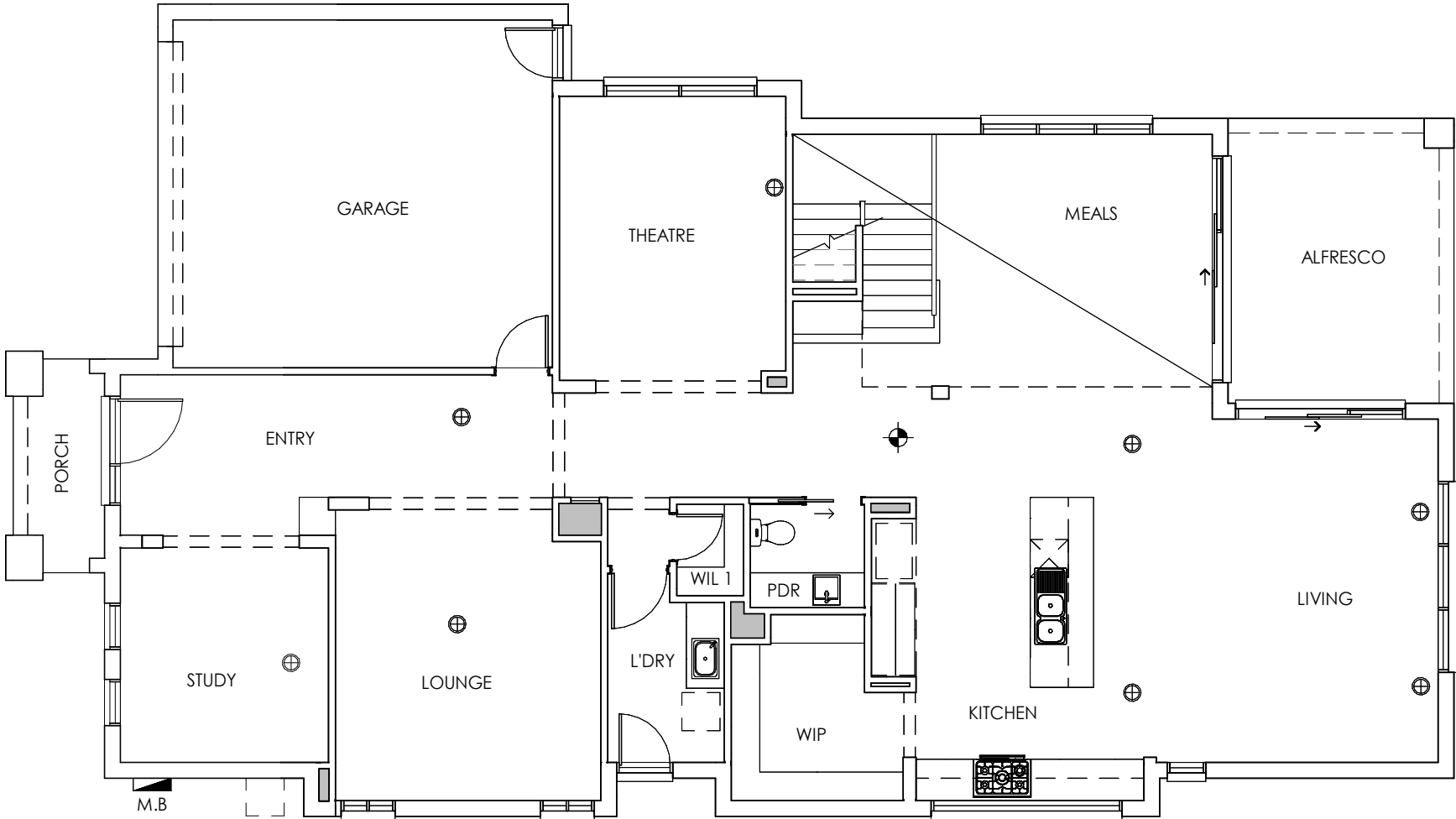
AIR-CONDITIONER UNIT Inc. ISOLATOR (**APPX. LOCATION**)
EXACT LOCATION SUBJECT TO CONTRACTORS DISCRETION



THERMOSTAT

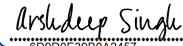


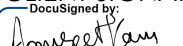
RETURN AIR (IN WALL)



HEATING & COOLING

COUNT	TYPE
8	Ceiling Heating Duct

CLIENT SIGNATURE:


CLIENT SIGNATURE:



DATE:

DRAWING TITLE:
G.F. HEATING & COOLING PLAN

HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51
(30.3)-LH

FACADE: CLASSIQUE


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MASTER DATE: 12.01.2024

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JOB No: Prj. Number

ISSUE: MASTER


SCALE: 1 : 100

SHEET No: 8A


Y:\DESIGN & DEVELOPMENT\02 MASTER documentation\01 PRELIMINARY DRAWING\01 PRELIMINARY REVIT\01 Affinity Collection\02 Double Storey\KIRSTEN\Rohtbury Grand Theatre Atrium 51 (30.3) - LH_2020.rvt

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H&C LEGEND




HARDWIRED INTERCONNECTED SMOKE DETECTOR(S)
WITH BATTERY BACKUP AS PER BCA 3.7.2 & TO
COMPLY WITH AS3786




METER BOX (APPX. LOCATION)




CEILING HEATING DUCT OUTLET (APPX. LOCATION)




GROUND FLOOR CEILING SPEAKER GRILLE LOCATED
UNDER FIRST FLOOR BATH/SPA WASTE(APPX. LOCATION)




HEATING UNIT Inc. DOUBLE P.POINT & LIGHT POINT (APPX.
LOCATION) EXACT LOCATION SUBJECT TO CONTRACTORS
DISCRETION




EVAP. COOLING DUCT OUTLET (APPX. LOCATION)




COOLING UNIT (APPX. LOCATION)
EXACT LOCATION SUBJECT TO CONTRACTORS DISCRETION



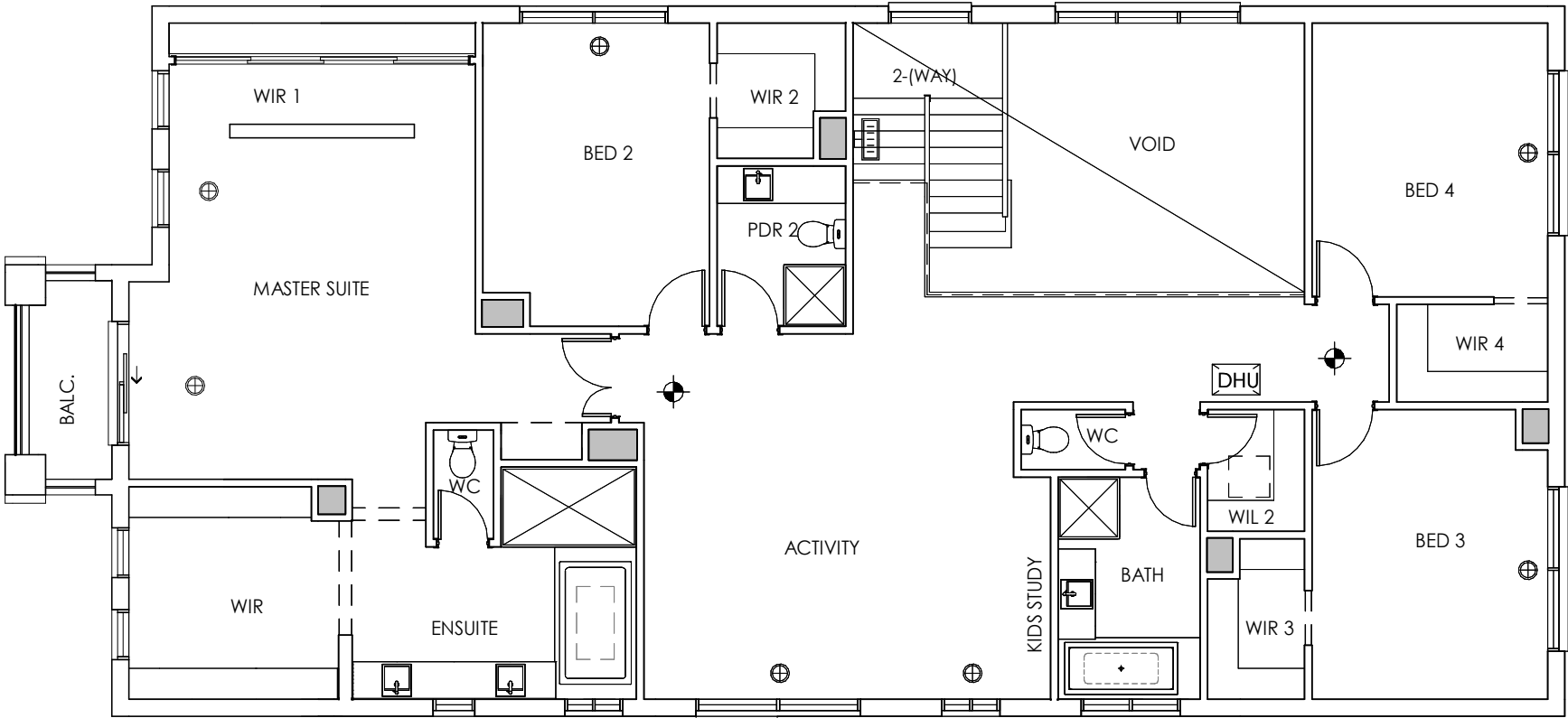
AIR-CONDITIONER UNIT Inc. ISOLATOR (APPX. LOCATION)
EXACT LOCATION SUBJECT TO CONTRACTORS DISCRETION



THERMOSTAT



RETURN AIR (IN WALL)



HEATING & COOLING	
COUNT	TYPE
7	Ceiling Heating Duct
1	Heating Unit - Inc. Double P.Point & Light Point
1	Wall Heating Duct

CLIENT SIGNATURE:

DocuSigned by:
Arshdeep Singh

CLIENT SIGNATURE:

DocuSigned by:
Arshdeep Singh

BUILDER

DATE:

DRAWING TITLE:


F.F. HEATING & COOLING PLAN


HOUSE: ROTHBURY GRAND THEATRE ATRIUM 51
(30.3)-LH

FACADE: CLASSIQUE

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631 SPRINGVALE ROAD

SUBURB: MULGRAVE

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MASTER DATE: 12.01.2024

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JOB No: Prj. Number

ISSUE: MASTER

SCALE: 1 : 100

SHEET No: 8B

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