

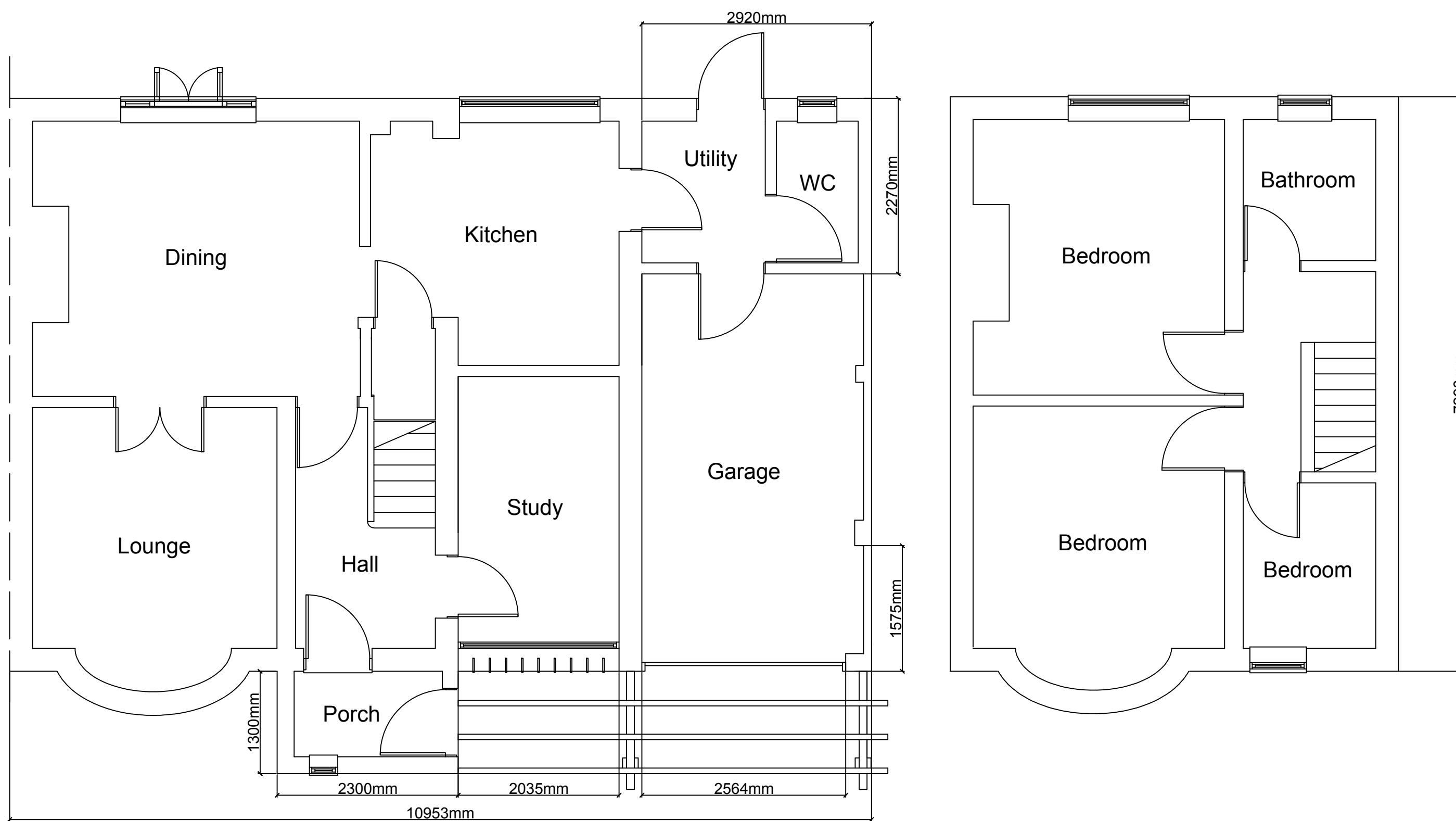
Project: Partial demolition & rebuild of garage and single-storey side extension plus construction of front porch.

Client name and address: James Mullaney, 564 Stannington Road, Stannington, S6 6AB

Page 1 of 8: Existing elevations and plans.

Scale at A1: 1:50

Date: September 2023



Project: Partial demolition & rebuild of garage and single-storey side extension plus construction of front porch.

Client name and address: James Mullaney, 564 Stannington Road, Stannington, S6 6AB

Page 2 of 8: Proposed elevations and plans.

Scale at A1: 1:50

Date: September 2023



Project: Partial demolition & rebuild of garage and single-storey side extension plus construction of front porch.

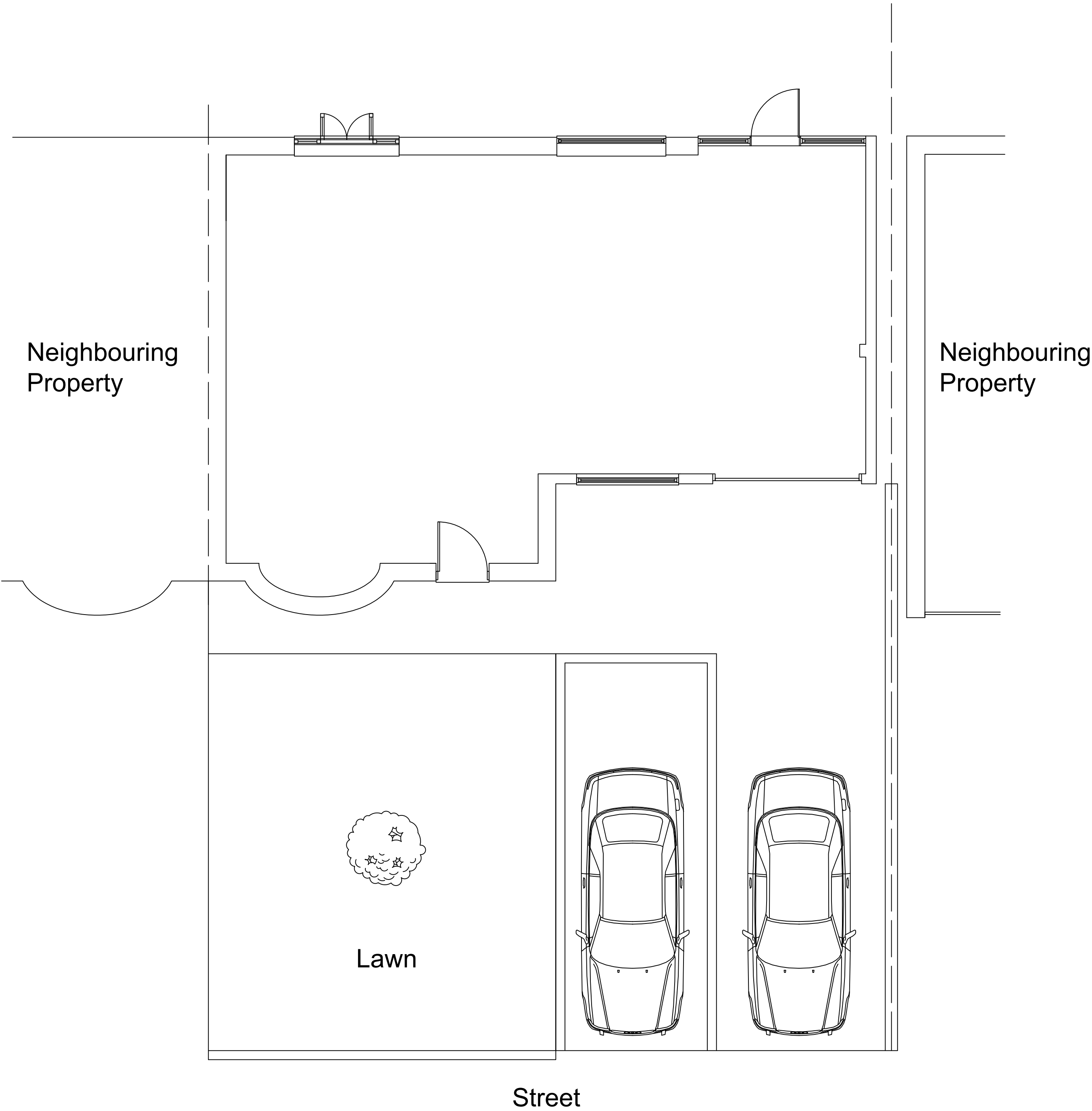
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Page 3 of 8: Appearance from street.

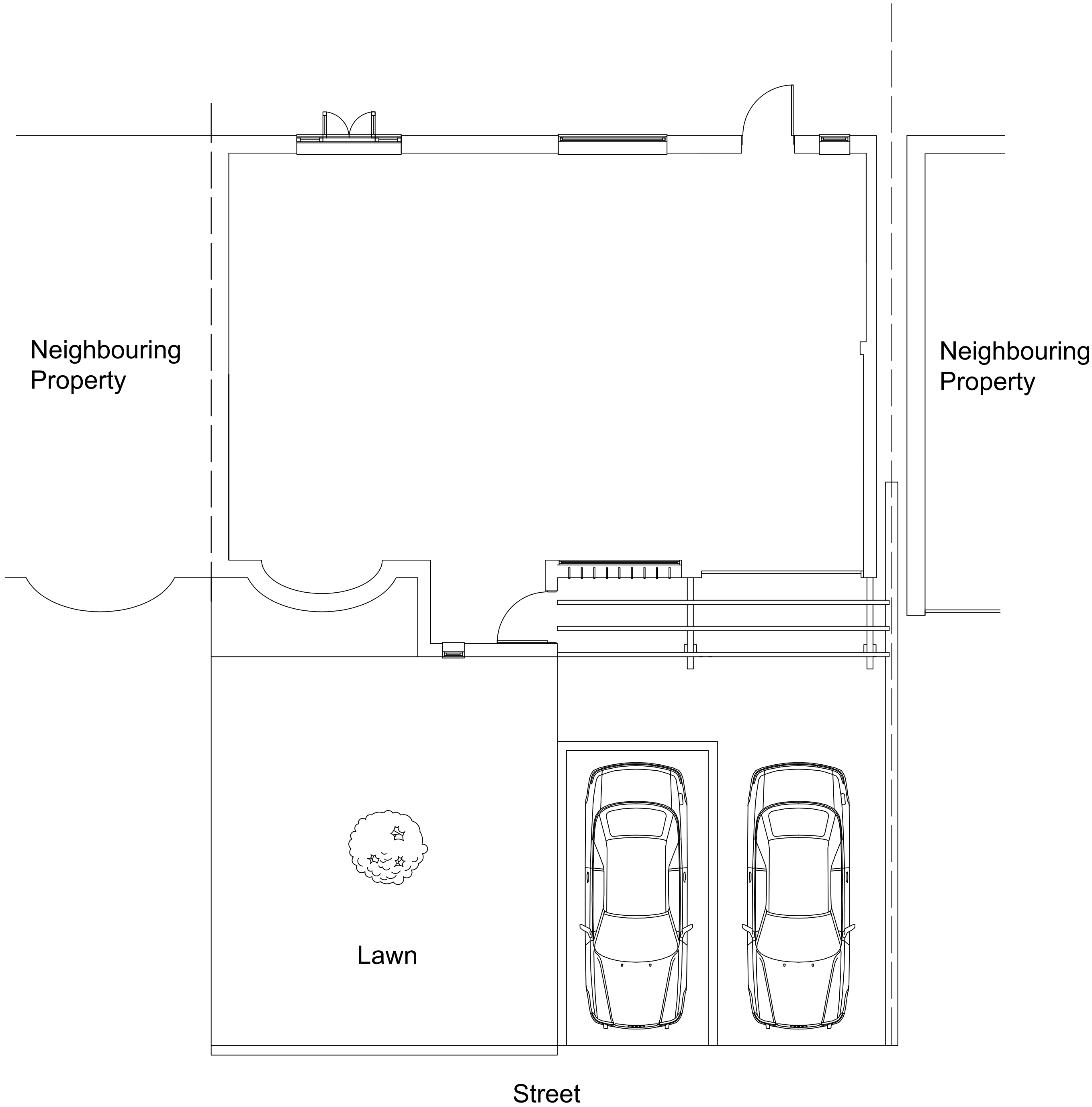
Scale at A1: 1:20

Date: September 2023

Existing



Proposed



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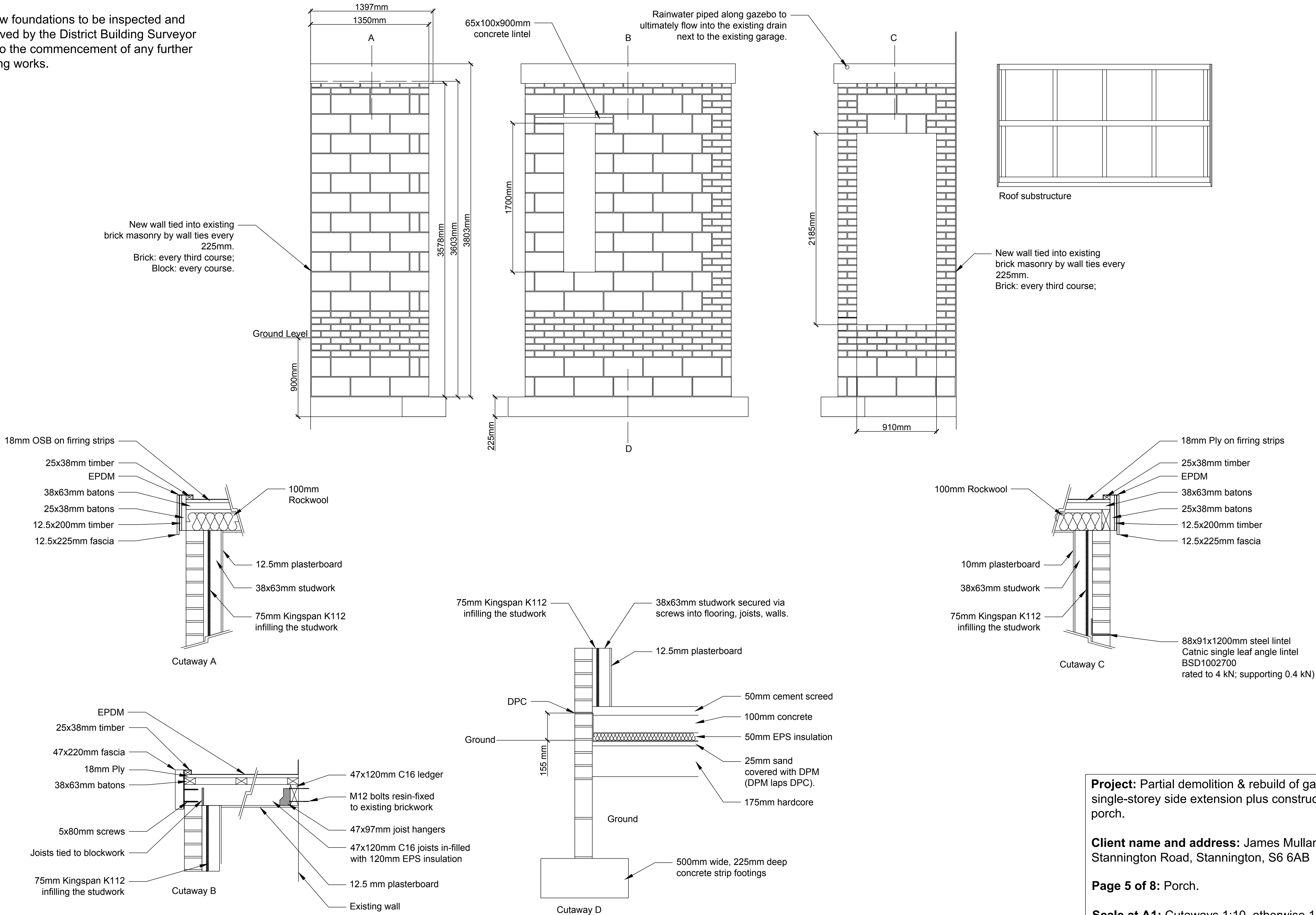
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Page 4 of 8: Front garden and drive.

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All new foundations to be inspected and approved by the District Building Surveyor prior to the commencement of any further building works.



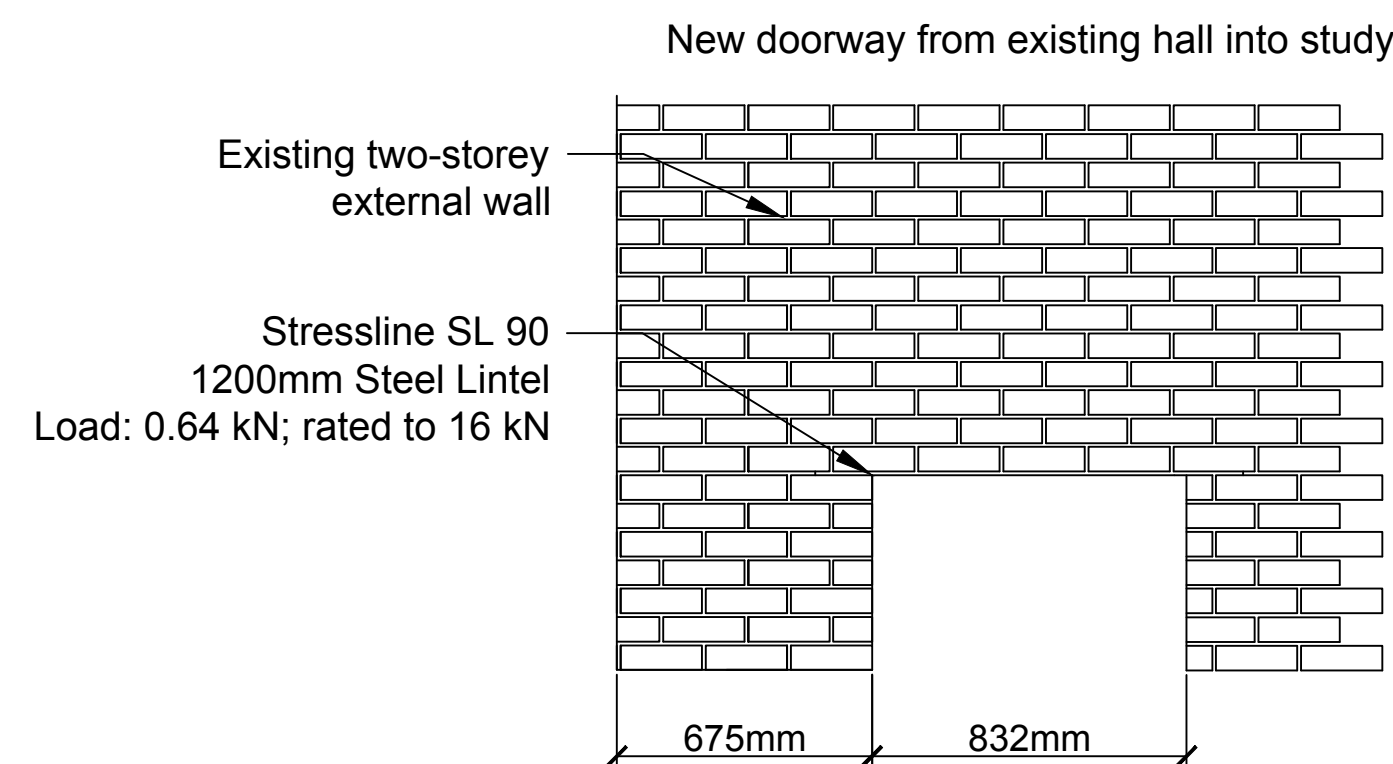
Project: Partial demolition & rebuild of garage and single-storey side extension plus construction of front porch.

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Page 5 of 8: Porch.

Scale at A1: Cutaways 1:10, otherwise 1:20

Date: September 2023



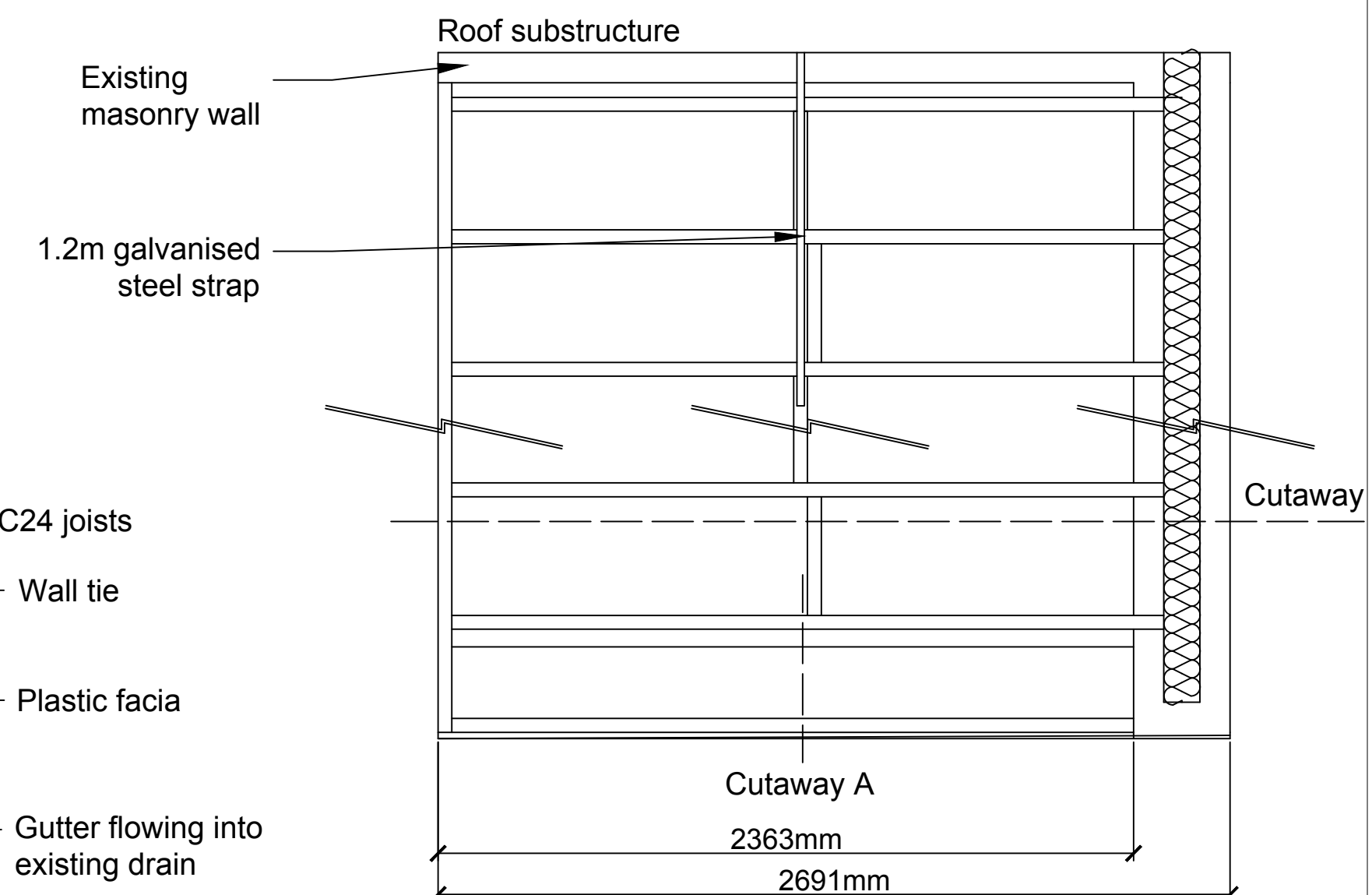
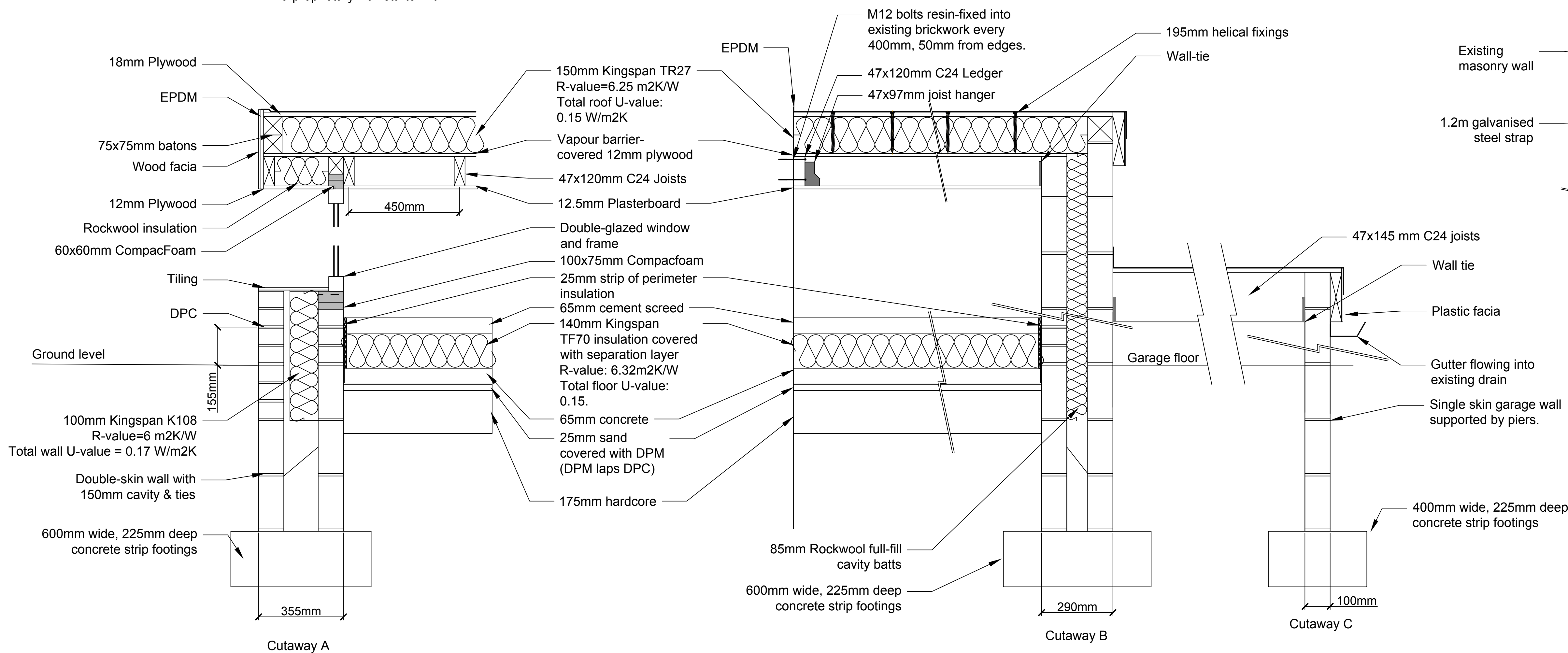
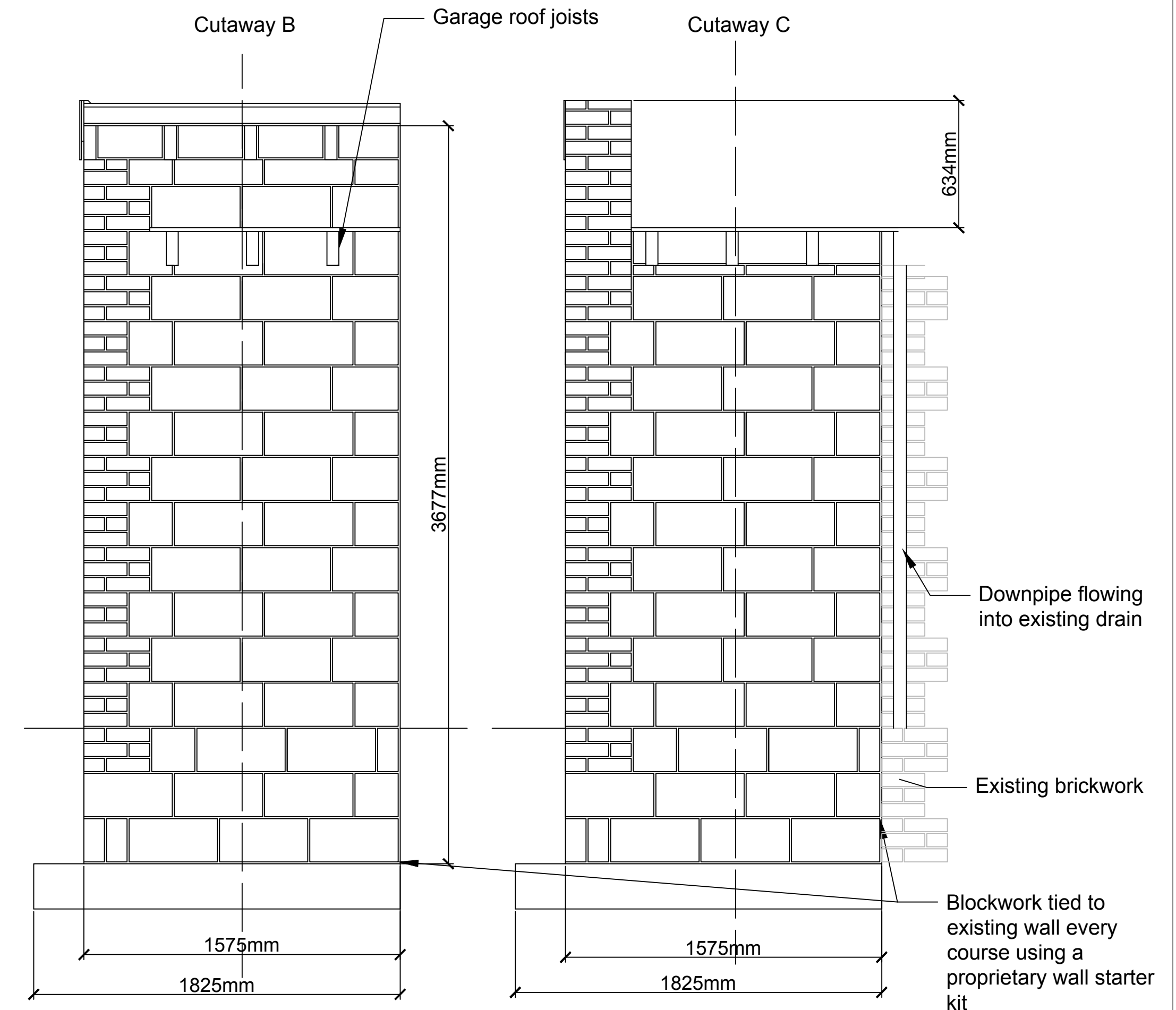
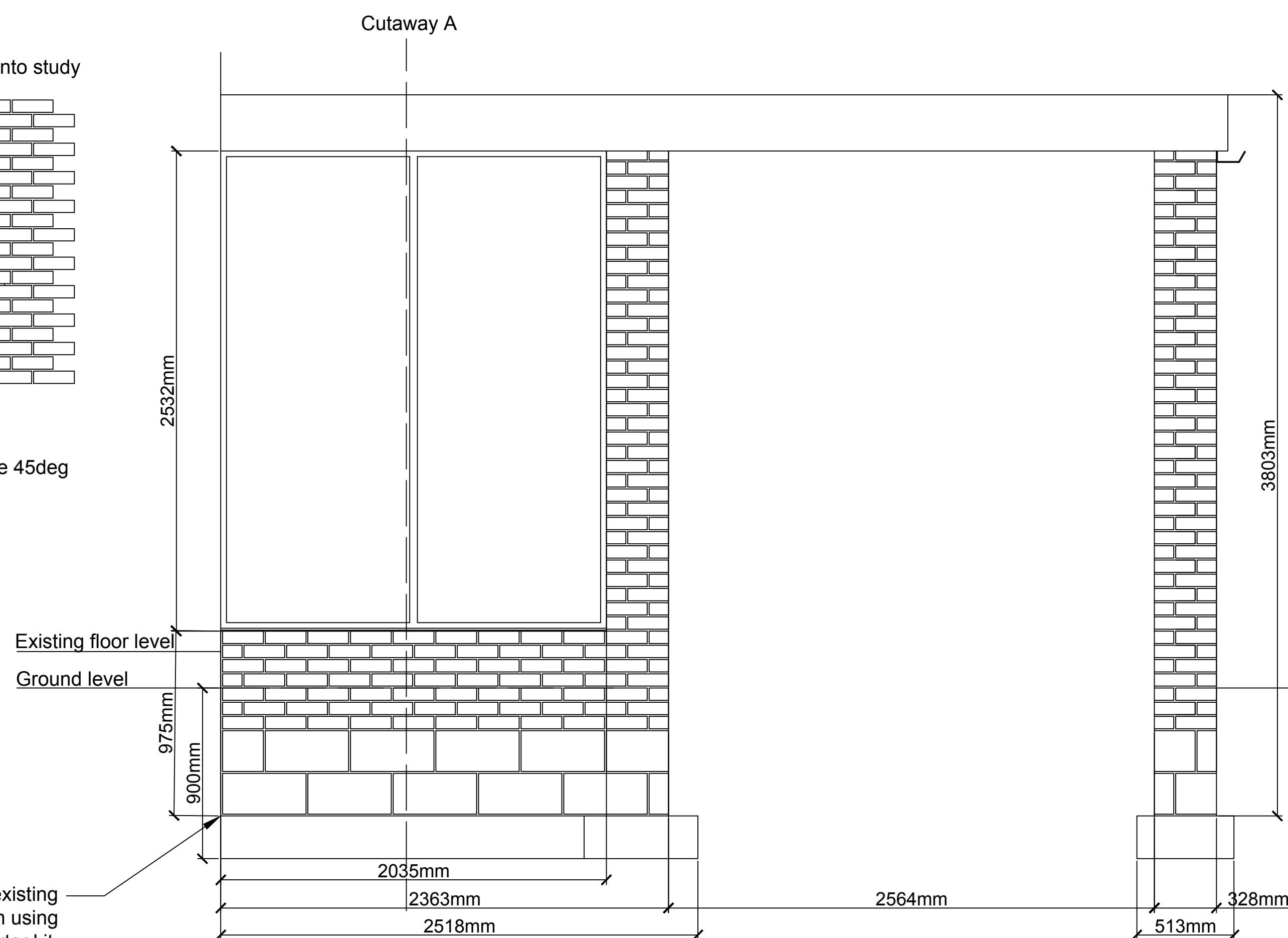
First floor joists are more than 400mm above lintel, so are outside the 45deg load triangle.

All new foundations to be inspected and approved by the District Building Surveyor prior to the commencement of any further building works.

The study window will be constructed from safety glazing due to it being less than 800 mm from the floor.

The study window will include an opening mechanism to allow purge ventilation.

New wall tied to existing wall every 215mm using a proprietary wall starter kit.



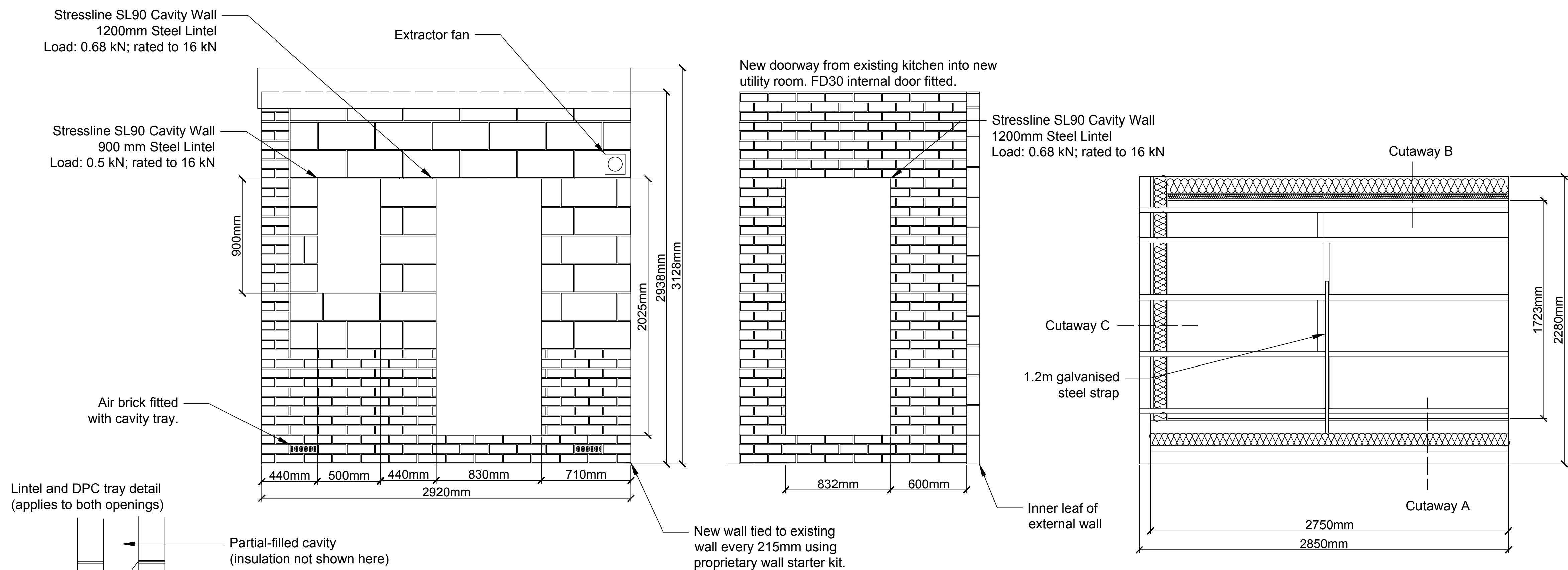
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Page 6 of 8: Alterations to existing extension.

Scale at A1: Cutaways 1:10, otherwise 1:20

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The door between the garage and utility room will be FD30 compliant and fitted with smoke seals and a self-closing mechanism.

Applicable throughout

All windows are double-glazed, include trickle vents, achieve a U-value of 1.4 and installed by FENSA-approved fitters.

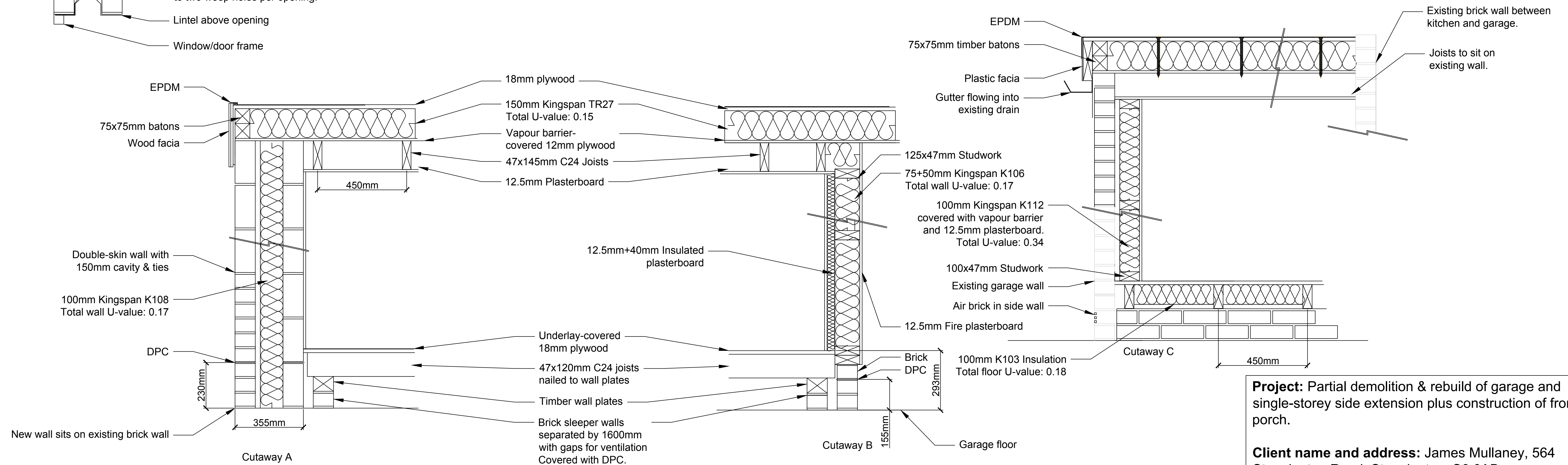
All U-values are in units of W/sq. m K

All concrete blocks are 7N Dense Concrete.

All lintels have at least 150mm end bearings.

All new electrical wiring and fittings to be approved by a qualified electrician.

All new walls will be bonded to existing walls using a proprietary wall started kit.



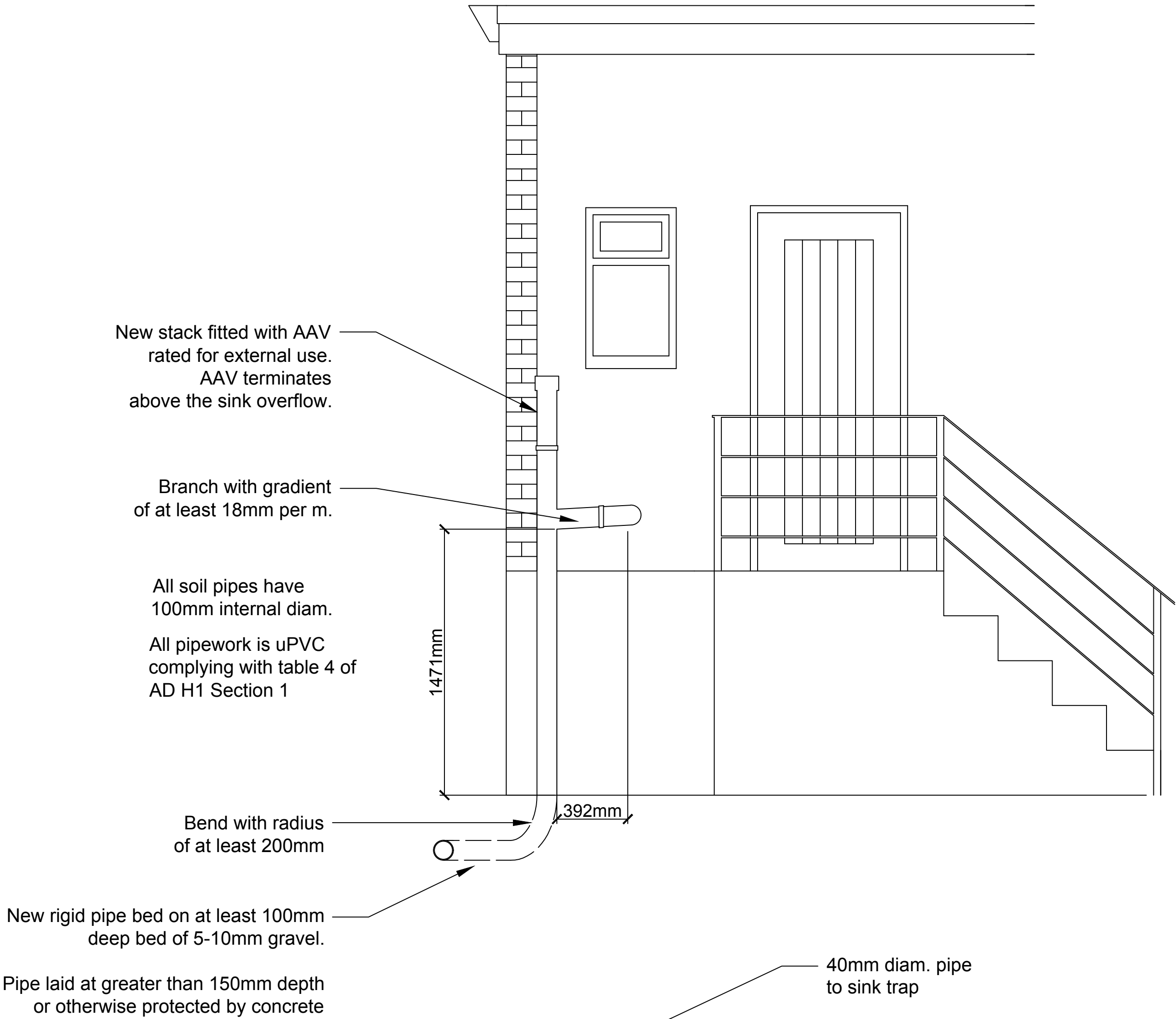
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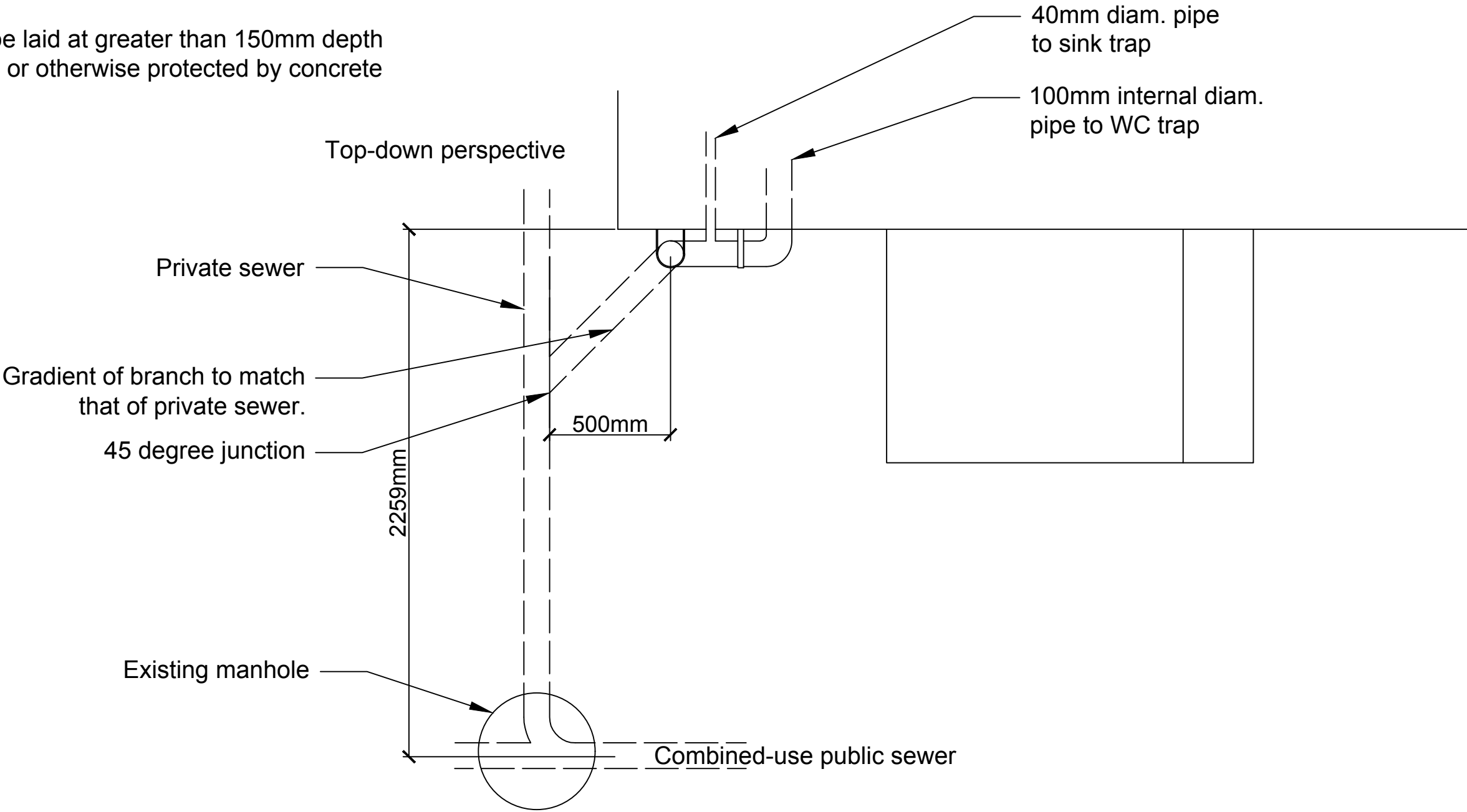
Page 7 of 8: Utility room and w/c (collectively "rear room").
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Rear perspective



Top-down perspective



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Page 8 of 8: W/C connection
Scale at A1: 1:20

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