
564 STANNINGTON ROAD, S6 6AB



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PRE-APPLICATION SUPPORTING DOCUMENTATION

Summary

Alteration to existing extension and garage of single semi-detached dwellinghouse. Construction of porch. Change of appearance of main dwellinghouse through painted render and window frames.

Current property; see Fig. 1 (left).

The property is a 1940s-build three-bedroomed semi-detached dwellinghouse. At the time of construction, it consisted of the main house with a standalone garage. During the 1970's a single-storey extension was built in the space between the main house and the garage; the extension is approximately 0.5 m taller than the garage. The garage and extension are set-back from the main house by approximately 1.6 m. The original house is covered with pebbledash, while the 1970's extension is rendered and painted white.



Fig. 1 Left: Current appearance of 564 Stannington Road from the street. The property is a 1940's build dwellinghouse with adjoining single-storey extension and garage. **Right:** Proposed appearance of the same property from roughly the same vantage point following the proposed alterations to the existing extension and garage, the addition of a front porch, change of window frames, and replacing the current pebbledash with painted render.

Neighbouring properties; see Fig. 2

566 Stannington Road: The adjoining property has a similar layout to 564 Stannington Road, with an extension in the space between the main property and the garage. The house is rendered and painted green.

562 Stannington Road: The non-adjoining neighbouring property was originally built in the 1940's to the same design as 564. In the 1990's a two-storey extension was added that roughly doubled the area of the first floor. The front of the extension protrudes beyond the line of the main house by approximately 0.6 m. The house is rendered and painted cream.

560 Stannington Road: This property adjoins 562 Stannington Road. It has undergone modest alterations since its construction in the 1940's. It has a rear extension and its garage has been extended forward of the main property by approximately 1.2 m. It is rendered and painted cream.

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Fig. 2: Neighbouring properties of 564 Stannington Road.
Top left: Adjoining property 566 Stannington Road. **Top right:** Neighbouring non-adjoining properties 562 Stannington Road (left of chimney) and 560 Stannington Road (right of chimney).
Above: Panorama showing 564 in relation to its immediate neighbouring properties. **Bottom left:** 568 Stannington Road.

568 Stannington Road: The property two doors up has also undergone significant alterations since its construction in the 1940's with the construction of a first-floor extension above the garage. This property is pebbledashed.

Facing properties: The properties facing 564 are semi-detached houses of a more recent construction (1960s) and follow a different design. They are not rendered and have bay rather than bow windows. They have undergone various degrees of alteration since construction.

Proposed alterations to 564 Stannington Road; fig. 1 (right), fig. 3

Proposed is a series of modest alterations to the front and interior of the property that will improve the external appearance and interior layout. The existing extension and garage will be brought in-line with the main property, and the height of the garage will be increased to match the height of the existing extension. These changes will allow access to the extension — which is used as a study — from the hallway, rather than from the kitchen as is currently the case (see fig. 3). A utility room — accessed from the existing kitchen — and a downstairs WC — accessed from the new utility room — will be built at the back of the existing garage.

A porch will be added to the front of the property with the aim of improving the energy efficiency of the house; the new front door will face away from the prevailing wind and other elements. The porch will have a footprint of 1.3 x 2.3 m (area = 3 m²), and a height of 3.13 m.* A similar side-entry front porch was recently granted planning permission for 437 Wood Lane — a house of matching style that is five doors away from 564

*The height of the porch — which is outside permitted development rules — is to match the height of the existing extension.

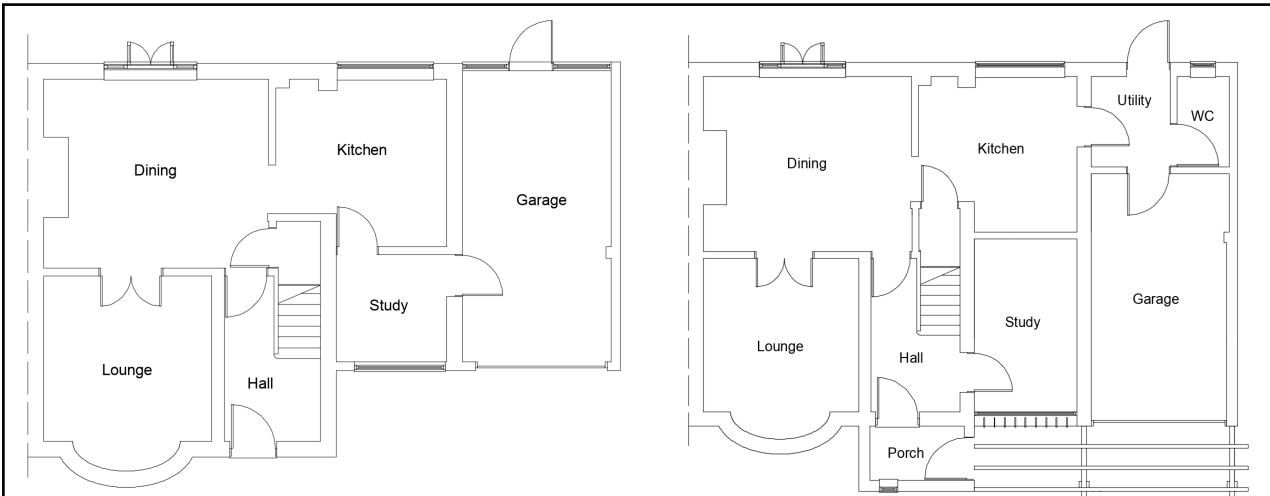


Fig. 3 Left: Under the **existing floorplan** one accesses the study from the kitchen, which also forms a through-route to the garage. **Right:** With the **proposed floorplan**, one will be able to access the study from the hallway. This alteration will allow a doorway to be constructed between the kitchen and a new utility room constructed at the back of the existing garage. Access to the garage will be from the new utility room.

Stannington Road. A wooden gazebo, painted grey to match the existing fascias, will link the new porch to the extension and garage. A climbing plant — such as a rose or wisteria — will be encouraged to grow over the gazebo to provide shade to the extension in the summer.

Inspired by a recent two-storey extension on Rupert Road in Nether Edge, the new extension will have floor-to-ceiling windows to help capture warmth during the winter months when the sun is low enough to miss the gazebo. Wooden louvers — painted grey to match the gazebo — will offer an element of privacy from the street. Wooden slats above the new garage door will evoke these louvers.

All current windows and window frames will be replaced with anthracite uPVC-framed windows. This will dramatically improve upon the existing windows which are now over 20 years old and, consequently, offer poor sound and thermal insulation. Both the main property and porch will be rendered and painted white. This will improve the appearance of the property as well as better match the neighbouring houses. All new exposed brickwork will use materials to match the current brickwork.

Further documents included with this pre-application are:

564_S66AB_Appearance.pdf: 1:20-scale CAD drawing showing the appearance of the property from the street following the proposed alterations.

564_S66AB_Existing.pdf: 1:50-scale CAD drawings showing the existing elevations and floorplans of the property.

564_S66AB_LocMap.pdf: 1:1250-scale location map showing the property boundaries and surrounding properties.

564_S66AB_PreAppForm.pdf: Pre-application form.

564_S66AB_Proposed.pdf: 1:50-scale CAD drawings showing the proposed elevations and floorplans of the property.

564_S66AB_SitePlan.pdf: 1:200-scale site plan showing the footprints of the existing property and proposed alterations.