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5 Attorneys for Petitioners
San Francisco Bay Area Renters Federation,
6 California Renters Legal Advocacy and
Education Fund, Sonja Trauss, and
7 Robert Tillman
8

9
10 **SUPERIOR COURT – STATE OF CALIFORNIA**

11 **COUNTY OF MARIN – UNLIMITED CIVIL JURISDICTION**

12 SAN FRANCISCO BAY AREA RENTERS
FEDERATION, CALIFORNIA RENTERS
13 LEGAL ADVOCACY AND EDUCATION
FUND, SONJA TRAUSS, and ROBERT
14 TILLMAN,

15 Petitioners,

16 vs.

17 CITY OF SAUSALITO, SAUSALITO CITY
18 COUNCIL, and CITY OF SAUSALITO
19 PLANNING COMMISSION,

20 Respondents.

21 McCOY ARCHITECTURE, INC., a California
22 Corporation, and DAVID HOLUB,

23 Real Parties in Interest.

24
25 Petitioners San Francisco Bay Area Renters Federation, California Renters Legal
26 Advocacy and Education Fund, Sonja Trauss, and Robert Tillman (“Petitioners”) allege
27 as follows:
28

FILED

NOV 02 2017

JAMES M. KIM, Court Executive Officer
MARIN COUNTY SUPERIOR COURT
By: J. Chen, Deputy

Case No. *CV* 1704052

**PETITION FOR WRIT OF
ADMINISTRATIVE MANDATE**

(CCP § 1094.5; Govt. Code § 65589.5)

1 1. Petitioner San Francisco Bay Area Renters Federation (the “Federation”) is
2 an unincorporated association of renters whose mission includes advocating for the
3 construction of housing to meet the needs of California residents, including in Sausalito,
4 through California’s Housing Accountability Act, Government Code § 65589.5 et seq.
5 (“HAA”). Its members are residents of the State of California and cut across
6 socioeconomic lines, including members with very low, low, moderate, middle, and
7 higher incomes. The Federation has a direct and substantial interest in ensuring that
8 Sausalito complies with state laws requiring that it participates in addressing the housing
9 needs of California residents. The Federation actively supports housing development
10 projects and opposes efforts to disapprove or reduce the density of housing development
11 projects. It acts on behalf of its members, though its actions benefit all similarly-situated
12 residents and intended residents. Members of the Federation were, are, will be, and
13 would be eligible to apply for residency in the housing development project at issue in
14 this petition (the “Project”). As potential residents of the Project, members of the
15 Federation are affected by Sausalito’s actions challenged herein. The San Francisco Bay
16 Area Renters Federation has a substantial interest in ensuring that Sausalito’s decisions
17 are in conformity with the requirements of law, and in having those requirements
18 properly executed and its public duties enforced. Its members, as well as the general
19 public, will be adversely affected by impacts resulting from the acts described herein and
20 are aggrieved by the acts, decisions, and omissions of Sausalito as alleged in this petition.
21 The San Francisco Bay Area Renters Federation is suing on its own behalf, on behalf of
22 its members, and on behalf of others affected by Sausalito’s acts pertaining to the Project,
23 as well as all potential applicants and residents of the Project.

24 2. Petitioner California Renters Legal Advocacy and Education Fund
25 (“CaRLA”) is a California nonprofit corporation founded, in part, to advocate for, and to
26 ensure compliance with the HAA and to educate interested persons, including local
27 governments and developers, about the HAA. Participating in, and supporting, litigation
28 of wrongful denials of housing projects is an important aspect of CaRLA’s mission and

1 is necessary to increase compliance with the HAA.

2 3. Petitioner Sonja Trauss is a natural person and a resident of the State of
3 California. She was, is, will be, and “would be eligible to apply for residency in the
4 development” Project. As a potential resident of the Project, Trauss is affected by
5 Sausalito’s actions challenged herein. She has a substantial interest in ensuring that
6 Sausalito’s decisions are in conformity with the requirements of law, that those
7 requirements are properly executed, and that the public duties of Sausalito are enforced.

8 4. Petitioner Robert Tillman is a natural person and a resident of Sausalito.
9 He was, is, will be, and “would be eligible to apply for residency in the development”
10 Project. As a potential resident of the Project, Tillman is affected by Sausalito’s actions
11 challenged herein. He has a substantial interest in ensuring that Sausalito’s decisions are
12 in conformity with the requirements of law, that those requirements are properly
13 executed, and that the public duties of Sausalito are enforced.

14 5. Respondent City of Sausalito (“Sausalito”) is a California municipal
15 corporation located within the County of Marin. Through its governing body, the
16 Sausalito City Council, Sausalito wrongfully denied the appeal of its Planning
17 Commission’s denial of the Project application, referenced below.

18 6. Respondent City of Sausalito Planning Commission is a municipal agency
19 of Sausalito and is the agency which initially denied the permit referenced herein.

20 7. Real Party in Interest McCoy Architecture, Inc., is a California corporation
21 in good standing and is able to appear as real party in this petition. It is the project
22 applicant for Real Party in Interest David Holub.

23 8. Real Party in Interest David Holub is a natural person who owns the
24 subject real property located at 446/448 Sausalito Boulevard - 77 Crescent Avenue,
25 Sausalito (APN: 065-222-19, the “Project Site”). It is a “through lot” fronting on both
26 Sausalito Boulevard and Crescent Avenue.

27 9. On January 19, 2016, Real Party In Interest McCoy Architecture filed
28 Application No. DR-CCPPM-EA-TRP 15-234, on behalf of property owner David

1 Holub, requesting Sausalito Planning Commission approval for certain construction on
2 the Project Site, which constitutes the “Project.” The Project application sought a permit
3 for substantial demolition and remodel of the existing two-unit residential dwelling and
4 construction of an additional new single-family residential dwelling (77 Crescent
5 Avenue) and related entitlements.

6 10. The Project constitutes a “housing development project” under
7 California’s Housing Accountability Act (“HAA,” Gov’t Code § 65589.5).

8 11. On December 15, 2016, the Planning Commission passed and adopted
9 Resolution No. 2016-23, which denied the Project application.

10 12. Real Party In Interest Holub filed a timely appeal of the Planning
11 Commission’s denial of the entitlements for the Project. On January 24, 2017, the City
12 Council conducted a duly-noticed public hearing on the appeal and remanded the Project
13 to the Planning Commission with directions for further review.

14 13. On May 31, 2017, the Planning Commission conducted a duly-noticed
15 public hearing on the appeal and forwarded a recommendation to the City Council
16 regarding design review findings.

17 14. On July 11, 2017, the City Council conducted a duly-noticed public
18 hearing on the appeal, considered the May 31, 2017 recommendation from the Planning
19 Commission, and continued the hearing for further consideration.

20 15. On September 11, 2017, the City Council denied the appeal and upheld the
21 decision of the Planning Commission denying the Project application.

22 16. The denial of the Project was based on three findings, including in
23 pertinent part:

24 1. “[T]he project is not consistent with *Objective LU-1.0-Protect and*
25 *Maintain the Character of Residential Neighborhoods*. . . . The project’s
26 maximum build out of the site is out of scale with the village like quality
27 of Sausalito and is not in harmony with neighboring structures.” (Italics
28 original.)

2. “In comparison to the neighborhood, the project’s overall floor area and building coverage are high and out of scale.”

3. “[T]he overwhelming development of three living units in two looming structures on one parcel contribute to the lack of consistency between the project and the requisite Design Review and Heightened Design Review Findings.”

(Resolution No. 5665, Attachment 1: Findings, attached hereto as Exhibit A.)

17. The findings used to deny the Project are based on subjective criteria.

18. The Project’s denial was not based on any failure to comply with “*objective*” general plan and zoning standards and criteria, including design review standards, in effect at the time that the housing development project’s application was determined to be complete.” (Gov’t Code § 65589.5(j), emphasis added.)

19. In denying the Project, Sausalito and its Planning Commission failed to make the findings required by Government Code § 65589.5(j); nor could it validly make such findings.

20. This petition raises an issue of great, and broad, public importance in that Sausalito violated the HAA during a time when the San Francisco Bay Area is experiencing a housing crisis, including an undersupply of housing of all types and affordability levels.

21. Petitioners are entitled to relief by administrative mandate to reverse the September 11, 2017 Sausalito City Council appeal denial, and to order Sausalito to reverse the Planning Commission’s denial of the Project.

WHEREFORE: Petitioners prays for relief as follows:

1. For an order overturning the Sausalito City Council’s denial of the appeal of the denial of Project DR-CCPPM-EA-TRP 15-234;

2. For an order commanding the Sausalito City Council and Planning Commission to approve Project DR-CCPPM-EA-TRP 15-234;

1 3. For costs as allowed by law, including attorney's fees under CCP § 1021.5
2 and the HAA; and

3 4. For such other and further relief as the Court deems warranted based on
4 the facts established at trial.

5
6 Date: November 2, 2017

ZACKS, FREEDMAN & PATTERSON, PC

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8
9 By: 

10 Ryan J. Patterson

11 Attorneys for Petitioners San Francisco Bay
12 Area Renters Federation, California Renters
13 Legal Advocacy and Education Fund, Sonja
14 Trauss, and Robert Tillman
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VERIFICATION

I, Sonja Trauss, declare as follows:

1. I am a natural person and a resident of the State of California. I am a petitioner, the Founder of the San Francisco Bay Area Renters Federation, and the Secretary of the California Renters Legal Advocacy and Education Fund, and I am authorized to verify this Petition for Writ of Administrative Mandate on behalf of these entities.

2. I have read the foregoing Petition for Writ of Administrative Mandamus and know its contents. The matters stated in the Petition for Writ of Administrative Mandate are true from my own knowledge having reviewed the administrative history of the Project, the denials, and the appeals.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

Executed on November 2, 2017



Sonja Trauss

EXHIBIT A

RESOLUTION NO. 5665

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SAUSALITO DENYING AN APPEAL WITHOUT PREJUDICE OF THE DECISION OF THE PLANNING COMMISSION TO DENY A DESIGN REVIEW PERMIT, SUBJECT TO HEIGHTENED DESIGN REVIEW, FOR SUBSTANTIAL DEMOLITION AND REMODEL OF THE EXISTING TWO-UNIT RESIDENTIAL DWELLING (446/448 SAUSALITO BOULEVARD) AND CONSTRUCTION OF A NEW SINGLE-FAMILY RESIDENTIAL DWELLING (77 CRESCENT AVENUE); A TREE REMOVAL PERMIT FOR THE REMOVAL OF THREE PROTECTED TREES AND SIX HERITAGE TREES; A PARCEL MAP AND CONDOMINIUM CONVERSION PERMIT TO CONVERT THE PROPERTY INTO A THREE-UNIT CONDOMINIUM COVENANT; AND A RECOMMENDATION FOR CITY COUNCIL APPROVAL OF AN ENCROACHMENT AGREEMENT FOR IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAYS FRONTING 446/448 SAUSALITO BOULEVARD AND 77 CRESCENT AVENUE

DR-CCP-PM-EA-TRP 15-234

WHEREAS, on January 19, 2016, an application was filed by McCoy Architecture, on behalf of property owner David Holub, requesting Planning Commission approval of the following at 446/448 Sausalito Boulevard and 77 Crescent Avenue (APN: 065-222-19):

- **Design Review Permit**, subject to Heightened Design Review, for substantial demolition and remodel of the existing two-unit residential dwelling (446/448 Sausalito Boulevard) and construction of a new single-family residential dwelling (77 Crescent Avenue);
- **Tree Removal Permit** for the removal of three protected trees and six heritage trees;
- **Parcel Map and Condominium Conversion Permit** to convert the property into a three-unit condominium covenant; and
- **Encroachment Agreement** for improvements in the public right-of-ways fronting 446/448 Sausalito Boulevard and 77 Crescent Avenue: an existing parking deck, parallel public parking space, unit access stairs, landscaping, driveway, and retaining walls; and

WHEREAS, the Planning Commission conducted duly-noticed public hearings, considered the information contained in the Staff Reports, and considered testimony by all interested persons on June 22, 2016, September 21, 2016, November 16, 2016, and December 15, 2016; and

WHEREAS, on December 15, 2016, the Planning Commission passed and adopted Resolution No. 2016-23 which denied without prejudice the entitlements for the project (DR-CCP-PM-EA-TRP 15-234) at 446/448 Sausalito Boulevard and 77 Crescent Avenue; and

WHEREAS, property owner David Holub filed a timely appeal of the Planning Commission's denial of the entitlements for the project (DR-CCP-PM-EA-TRP 15-234) at 446/448 Sausalito Boulevard and 77 Crescent Avenue; and

WHEREAS, on January 24, 2017, the City Council conducted a duly-noticed public hearing on the appeal, considered the information contained in the Staff Report, considered testimony by all interested persons, and remanded the project to the Planning Commission with specific direction for review; and

WHEREAS, on May 31, 2017, the Planning Commission conducted a duly-noticed public hearing on the appeal, considered the information contained in the Staff Report, considered testimony

by all interested persons, and forwarded a recommendation to the City Council that the required Design Review Findings for project approval cannot be made; and

WHEREAS, on July 11, 2017, the City Council conducted a duly-noticed public hearing on the appeal, considered the May 31, 2017 recommendation from the Planning Commission, considered the information contained in the Staff Report, considered testimony by all interested persons, and continued the public hearing for further consideration; and

WHEREAS, on September 11, 2017, the City Council conducted a duly-noticed public hearing on the appeal, considered the information contained in the Staff Report, and considered testimony by all interested persons.

NOW, THEREFORE, THE CITY COUNCIL HEREBY RESOLVES AS FOLLOWS:

The City Council denies the appeal and upholds the decision of the Planning Commission denying the entitlements for the project (DR-CCP-PM-EA-TRP 15-234) at 446/448 Sausalito Boulevard and 77 Crescent Avenue based upon the Findings within this Resolution provided as **Attachment 1**. The project plans are provided as **Attachment 2**. The project is denied without prejudice.

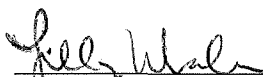
RESOLUTION PASSED AND ADOPTED, at the special meeting of the City of Sausalito City Council on the 11th day of September 2017, by the following vote:

YES:	Councilmember:	Hoffman, Withy
NOES:	Councilmember:	Burns
ABSENT:	Councilmember:	Cox
ABSTAIN:	Councilmember:	None



Ray Withy
Mayor

Attest:



Lily Whalen
City Clerk

ATTACHMENT 1: FINDINGS

DESIGN REVIEW PERMIT FINDINGS

In accordance with Sausalito Municipal Code Section 10.54.050.D (Design Review Permit Findings), the Design Review Permit is denied as the following requisite Findings cannot be made:

1. *The proposed project is consistent with the General Plan, any applicable specific plans and this chapter.*

The project is not consistent with all applicable policies, standards, and regulations of the General Plan and Zoning Ordinance. Under the General Plan Land Use Element, the project is not consistent with *Objective LU-1.0-Protect and Maintain the Character of Residential Neighborhoods*. The scale and mass of the three living units on a single parcel is excessive and does not meet the General Plan's intent to reflect the predominant land use, scale, density, and intensity of existing development. Under the General Plan Community Design and Historical Preservation Element, the project is not consistent with *Objective CD-1.0-Scale and Architectural Diversity*. The project's maximum build out of the site is out of scale with the village like quality of Sausalito and is not in harmony with neighboring structures. The project is not consistent with the stated purposes of Sausalito Municipal Code Chapter 10.54 (Design Review Procedures) to incorporate site considerations and adjacent uses into the design of the new construction and alteration of existing structure due to its excessive scale and mass and maximum buildout. The subject through-lot parcel is a transition lot between the General Plan Medium High Density Residential designation and the Medium Low Density Residential designation.

3. *The proposed project is consistent with the general scale of structures and buildings in the surrounding neighborhood and/or district.*

The project includes the remodel of an existing two-unit residential structure and the creation of a new single-family residence. According to the County of Marin, surrounding parcels contain a mixture of single-family structures (approximately 62%) and two-family structures (approximately 33%). The project's overall bulk and mass on a single through-lot parcel is not consistent with the general scale of structures and buildings in the surrounding neighborhood. The design of the new 77 Crescent Avenue structure is not consistent with other nearby single-family residences which have a typical design of, at maximum, two living levels above a street-level garage. 77 Crescent Avenue's design of three living levels above a street-level garage is inconsistent with the design and general scale of structures and buildings in the vicinity. The project's overall floor area (4,915 square feet; 0.579 floor area ratio) is 89.1% of total permitted floor area for the site. The project's overall building coverage (3,680 square feet; 43.3%) is 86.7% of the total permitted building coverage. In comparison to the neighborhood, the project's overall floor area and building coverage are high and out of scale.

12. *The project site is consistent with the guidelines for heightened review for projects which exceed 80% of the maximum allowed Floor Area Ratio and/or site coverage, as specified in subsection E (Heightened Design Review Findings).*

The project is subject to Heightened Design Review as the overall building coverage and floor area exceed 80% of the total permitted improvements for the site. The maximum build out of the site at 89.1% of the total permitted floor area is out of scale with other properties in the surrounding neighborhood. Project features such as the imposition of three living levels above

a street-level garage for 77 Crescent Avenue, the minimal stepping back of the massing for the new 77 Crescent Avenue structure to relate to the hillside, and the overwhelming development of three living units in two looming structures on one parcel contribute to the lack of consistency between the project and the requisite Design Review and Heightened Design Review Findings.

**ATTACHMENT 2: PROJECT PLANS PREPARED BY MCCOY ARCHITECTURE
ENTITLED "ADDITIONS & ALTERATIONS TO THE HOLUB RESIDENCE" WITH
AN ISSUE DATE OF MAY 11, 2016 [*sic*] AND DATE-STAMPED RECEIVED MAY 24,
2017**



Quercus agrifolia



Canarothus 'Dark Star'



Myrica californica

Metrosideros arbutifolia



Acer palmatum



Woodwardia floribunda



Myrica californica

IRRIGATION NOTES:

1. All proposed plant material will require supplemental water through an automated irrigation system for an establishment period of three years minimum.
2. All requirements of the Marin Municipal Water District for landscape irrigation must be applied if necessary.
3. Drip irrigation methods must be applied. No overhead irrigation on slopes greater than 5:1.

PLANTING NOTES:

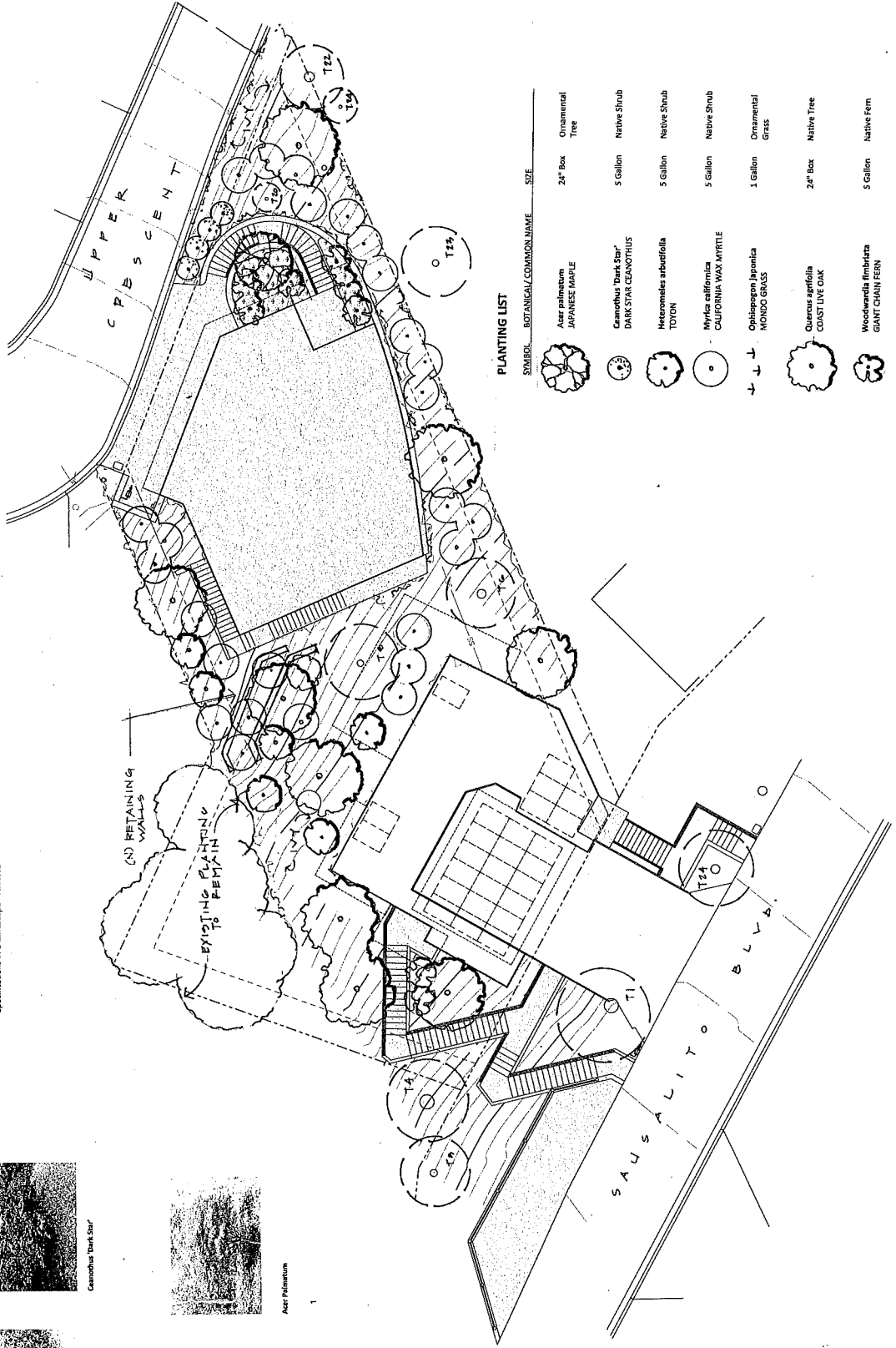
1. All new plantings on slopes greater than 4:1 must be installed according to the specifications of a Landscape Architect.

RETAINING WALLS:

1. All proposed retaining walls to be constructed must follow the specifications of a Landscape Architect (if less than 3 feet in height from natural grade) or a Civil Engineer (if 3 feet or greater in height from natural grade).

GENERAL NOTES:

1. This plan is for Planning Approval purposes and not intended for construction or installation purposes.
2. The existing ivy (ground cover) is to remain.
3. See PROTECTION PLAN Sheet T-1 for Existing and Replacement Trees.



PLANTING LIST

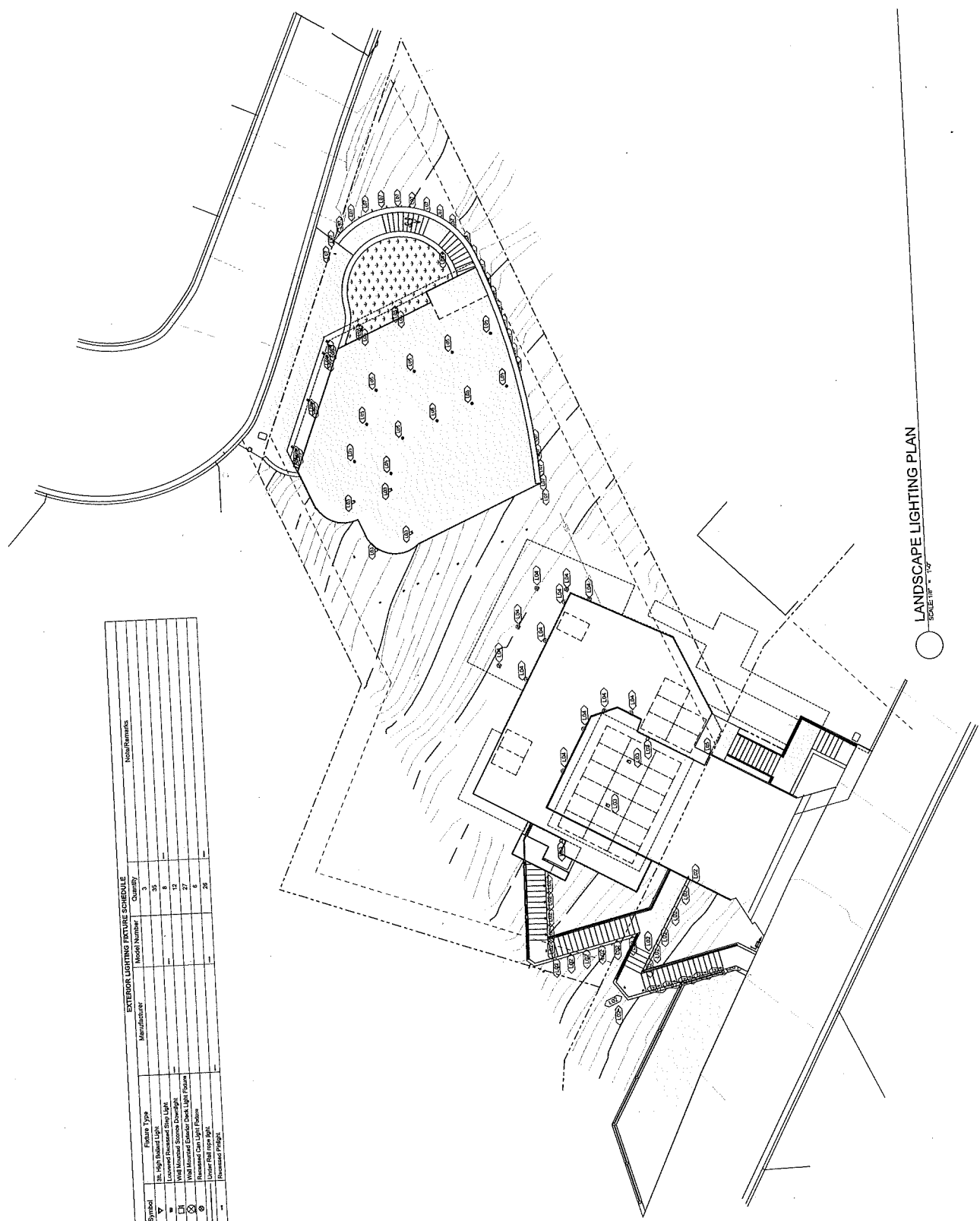
SYMBOL	BOTANICAL / COMMON NAME	SIZE
	Acer palmatum JAPANESE MAPLE	24" Box Ornamental Tree
	Canarothus 'Dark Star' DARK STAR Ceanothus	5 Gallon Native Shrub
	Metrosideros arbutifolia TOYON	5 Gallon Native Shrub
	Myrica californica CALIFORNIA WAX MYRTLE	5 Gallon Native Shrub
	Ophiopogon japonicus MONDO GRASS	1 Gallon Ornamental Grass
	Quercus agrifolia COAST LIVE OAK	24" Box Native Tree
	Woodwardia floribunda GIANT CHAIN FERN	5 Gallon Native Fern

Owner:
David Holub
446 Sausalito Blvd
Sausalito, CA 94965

Holub Residence
446 Sausalito Blvd
Sausalito, CA 94965
A.P.N.: 085-222-19

MARK	DATE	DESCRIPTION
01/16	3/20/16	PLANNING DESIGN REVIEW
02/16	4/20/16	PLANNING DESIGN REVIEW
03/16	6/07/16	PLANNING DESIGN REVIEW
04/16	8/18/16	PLANNING DESIGN REVIEW
05/16	10/14/16	PLANNING DESIGN REVIEW
06/16	04/05/17	PLANNING DESIGN REVIEW
07/16		PLANNING DESIGN REVIEW

PROJECT #	1001
CAD FILE	1001_Holub_Residence_Lighting.dwg
DRAWN BY	JAL
CHECKED BY	JAL
DATE	04/05/17
PROJECT	446 Sausalito Blvd
SHEET	8 OF 38



LANDSCAPE LIGHTING PLAN
SCALE: 1/8" = 1'-0"

ID	Symbol	Fixture Type	Manufacturer	Model Number	Quantity	Notes/Remarks
L01	▽	2in. High Trench Light		5		
L02	■	Uncovered Square Downlight		8		
L03	□	Uncovered Square Downlight		12		
L04	○	Wall Mounted Square Down Light Fixture		27		
L05	⊙	Recessed Can Light Fixture		6		
L06	—	Under Rill from Rpt.		28		
L07	—	Recessed Pallet				

6

COUNTY RECORDER'S STATEMENT
This map was filed on 15th day of January, 2016, at 7:55 A.M., in Book 2016
of Maps at Page 6, at the Request of the County Surveyor.

Serial Number 2016-1031 ALVARO M. BENAVIDES
County Surveyor
Fee: \$10 Deputy County Recorder

COUNTY SURVEYOR'S STATEMENT
This map has been prepared in accordance with Section 8796 of the Professional Land
Surveyor's Act this 15th day of January, 2016, at 7:55 A.M.
County Surveyor ALVARO M. BENAVIDES
By Deputy

SURVEYOR'S STATEMENT
This map correctly represents a survey made by me or under my direction
at the request of ALVARO M. BENAVIDES, County Surveyor, at
the request of ALVARO M. BENAVIDES, County Surveyor, at
My License Expires 12/31/15

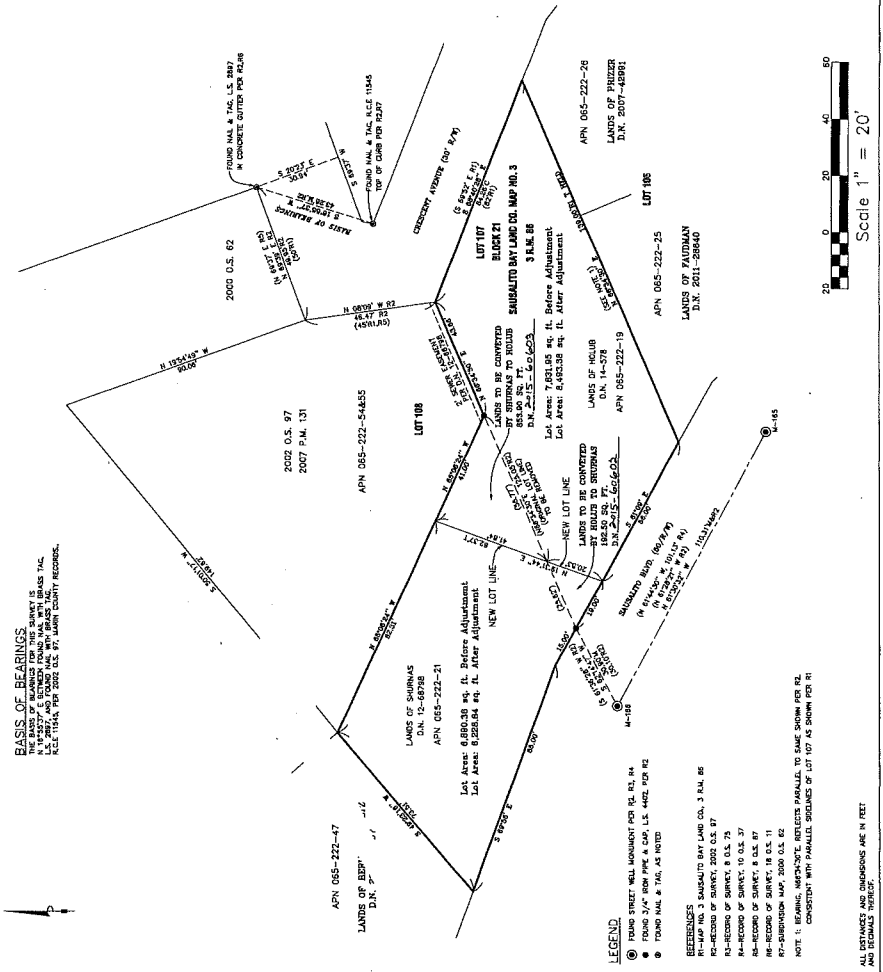


RECORD OF SURVEY
Lot Line Adjustment

LANDS OF HOLUB
D.N. 2014-000578
LANDS OF SHURNAS
D.N. 2012-008798

SAUSALITO COUNTY OF MARIN CALIFORNIA
SCALE: 1" = 20' DATE: DECEMBER, 2015
STEPHEN FLATLAND LAND SURVEYOR
P.O. BOX 1837 SAN ANSELMO, CA
PH: (415) 457-5081

A.P.N. 085-222-19A21 SHEET 1 OF 1



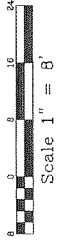
REVISIONS	DATE	BY

STEPHEN J. FLATLAND
PROFESSIONAL LAND SURVEYOR
P.O. BOX 1837
SAN ANSELMO, CALIFORNIA 94960
(415) 457-5081

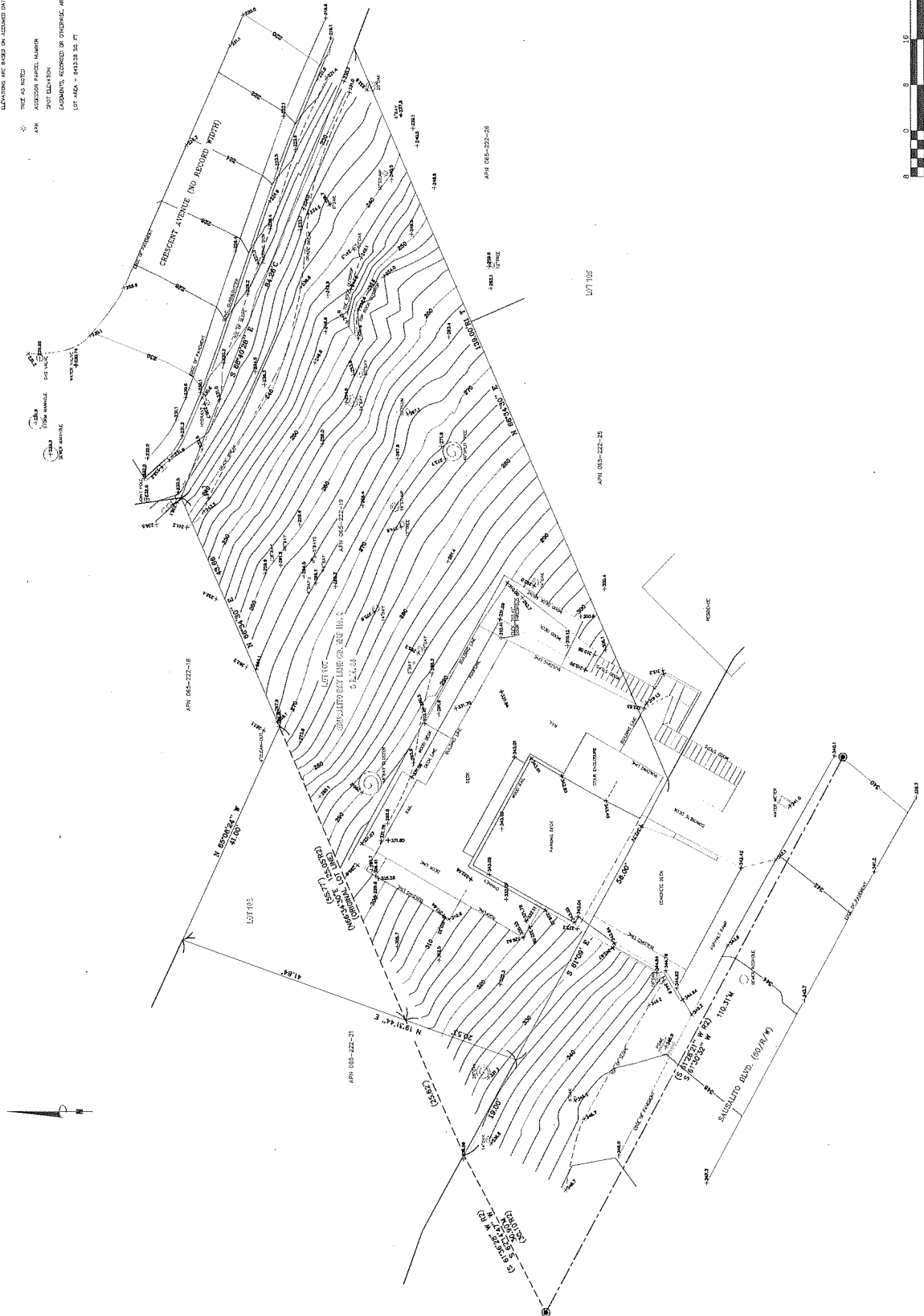
BOUNDARY & TOPOGRAPHIC SURVEY

FOR: DAVID HOLUB
446 SAUSALITO BLVD.
SAUSALITO, CALIFORNIA
APN 085-222-19

DATE: JAN. 2015
SCALE: 1"=8'
DRAWN:
CHECKED:
JOB NO: 146417



NOTES:
ELEVATIONS ARE BASED ON ASSUMED DATUM
① TIE TO ADJACENT
APN
ADJACENT MAPS, NUMBER
SPOT ELEVATION
ELEVATIONS, RECORDS OR OTHERWISE, ARE NOT IN THE SCOPE OF SERVICES
LOT AREA = 8443.38 SQ. FT.



MCCOY
ARCHITECTURE

1417 Bridgeway, Suite 1
Sausalito CA, 94865
Phone: 415.332.9910
john@mccoysarchitecture.com

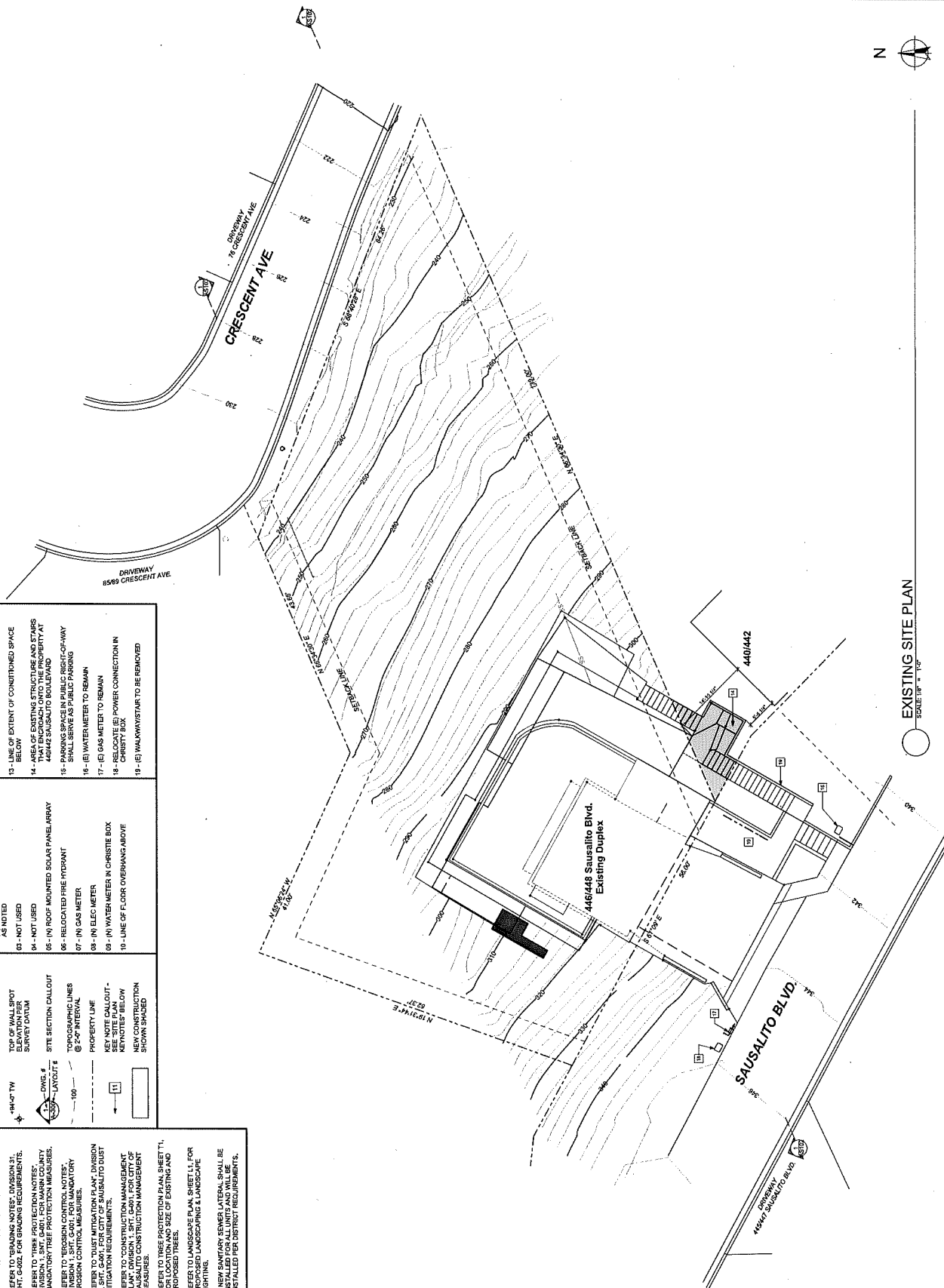
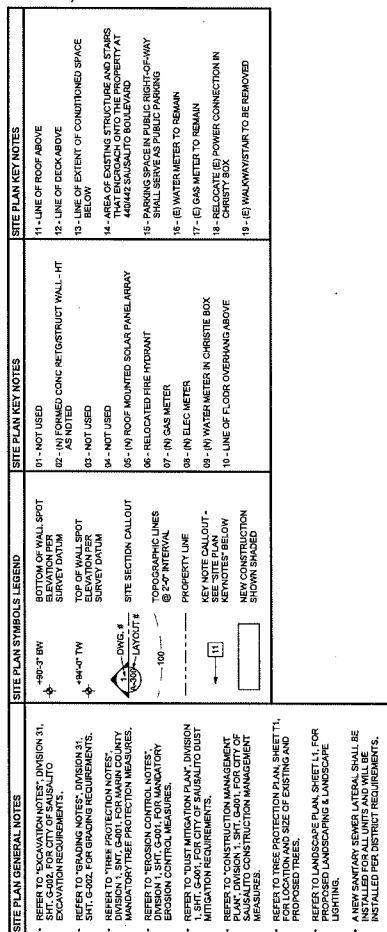
1417 Bridgeway, Suite 1
Sausalito CA, 94965
Phone: 415.332.9910

Owner:
David Holub
446 Sausalito Blvd
Sausalito, CA 94965

Holub Residence
446 Sausalito Blvd
Sausalito CA 94965
A.P.N.: 065-222-19

DATE	DESCRIPTION
3/28/16	PLANNING DESIGN REVIEW
4/20/16	PLANNING DESIGN REVIEW
6/27/16	PLANNING DESIGN REVIEW
8/16/16	PLANNING DESIGN REVIEW
10/14/16	PLANNING DESIGN REVIEW
04/05/17	PLANNING DESIGN REVIEW
5/11/16	PLANNING DESIGN REVIEW

PROJECT #:	1401
AD FILE:	
RAWN BY:	UA
CHECKED BY:	JM
COPYRIGHT © 2014 INCOAT ARCHITECTURE INC.	
EXISTING SITE PLAN	
AS100	

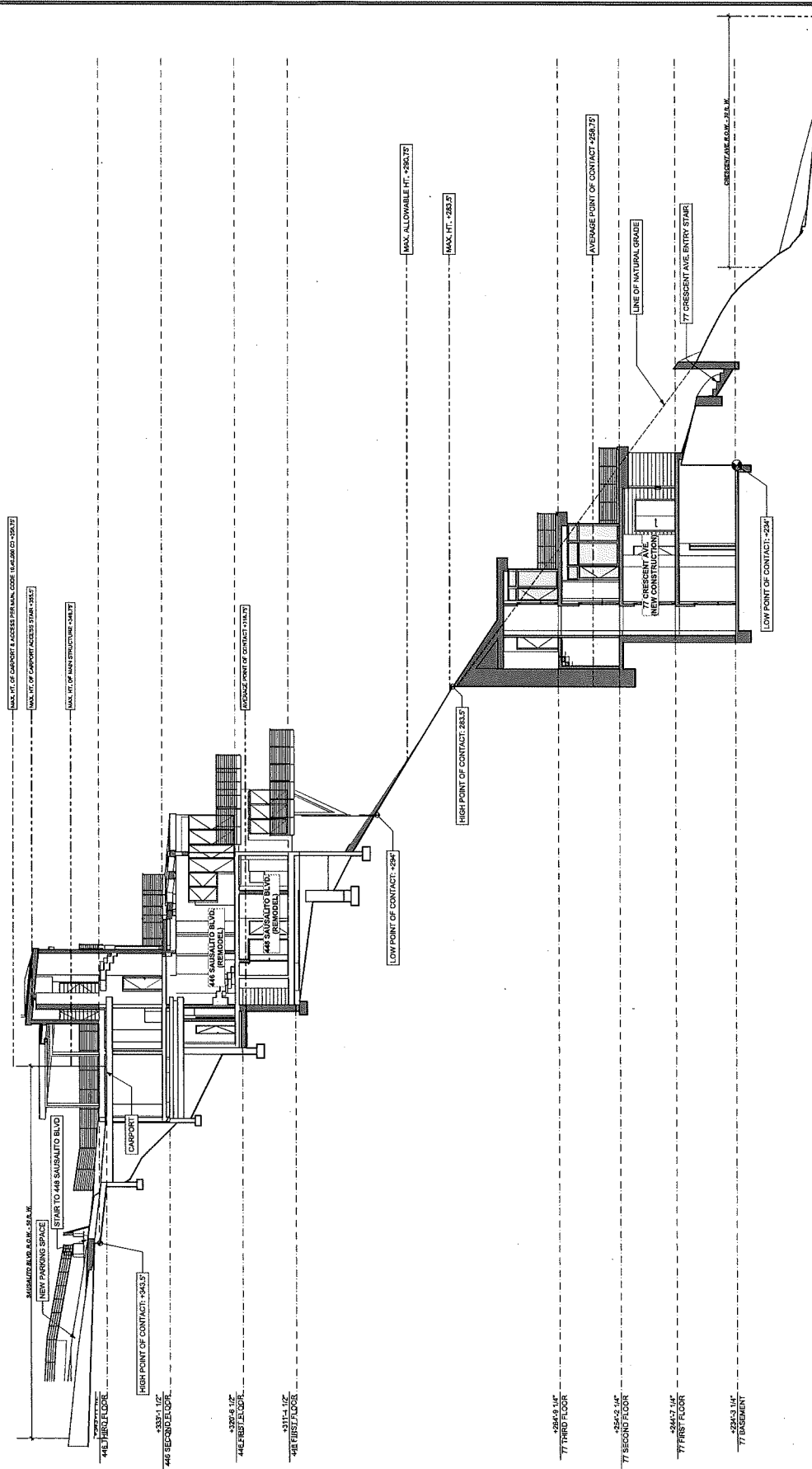


MARK	DATE	DESCRIPTION
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	4/20/16	PLANNING DESIGN REVIEW
	6/07/16	PLANNING DESIGN REVIEW
	8/10/16	PLANNING DESIGN REVIEW
	10/14/16	PLANNING DESIGN REVIEW
	04/05/17	PLANNING DESIGN REVIEW
	6/11/16	PLANNING DESIGN REVIEW

PROJECT #:	1401
AD FILE:	H&M Residence New Creek
DRAWN BY:	MA
CHECKED BY:	JM
COPYRIGHT © 2010 MCCOY ARCHITECTURE, INC.	

SITE SECTIONAS102

SHEET 14 OF 38



Site Section

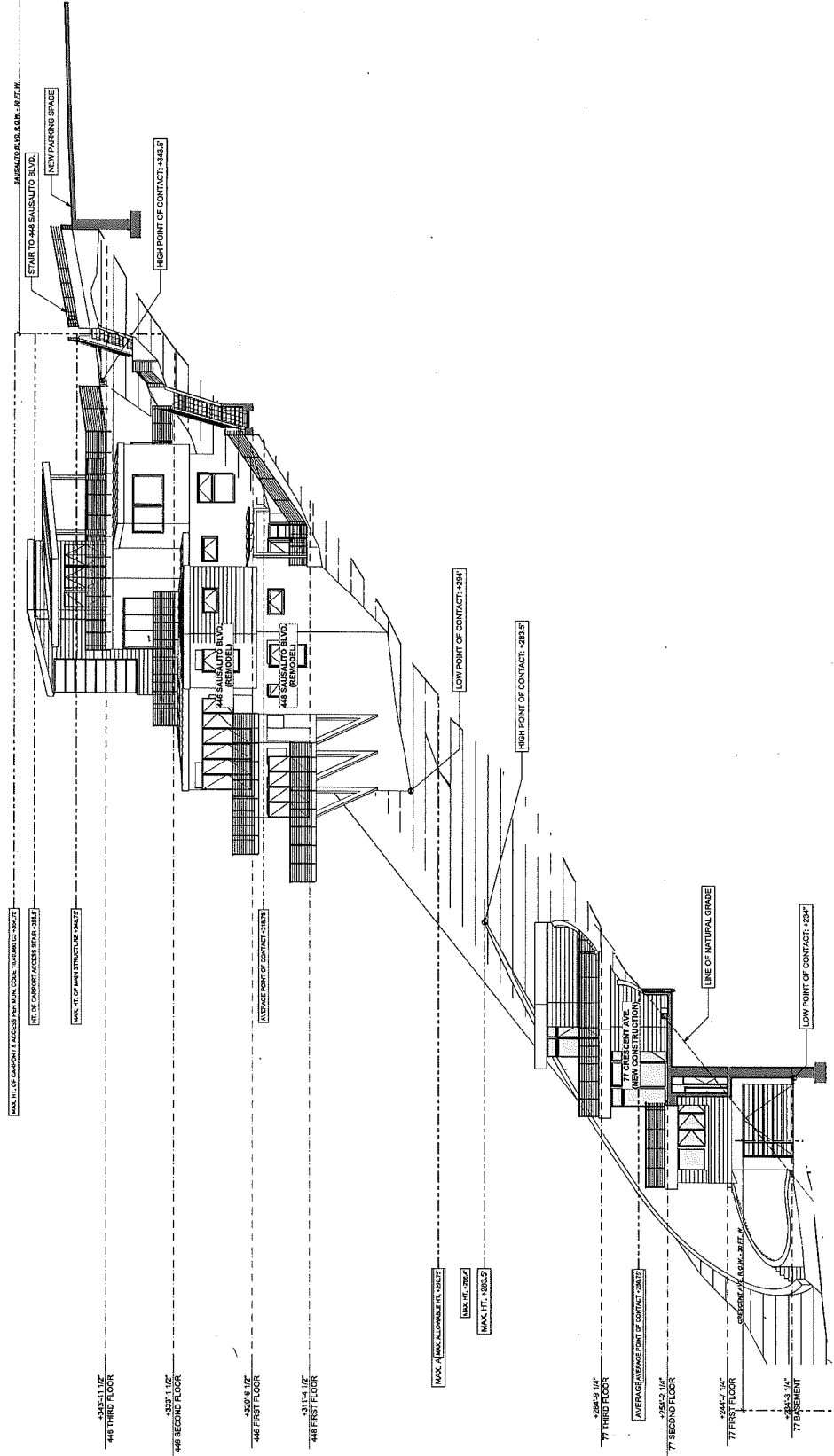
MARK	DATE	DESCRIPTION
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	4/20/16	PLANNING DESIGN REVIEW
	6/07/16	PLANNING DESIGN REVIEW
	8/16/16	PLANNING DESIGN REVIEW
	10/14/16	PLANNING DESIGN REVIEW
	04/05/17	PLANNING DESIGN REVIEW
	6/11/16	PLANNING DESIGN REVIEW

PROJECT #:	1421
CAD FILE:	1421b Residence New Crestmont
DRAWN BY:	MA
CHECKED BY:	JM

SITE SECTION

AS103

SHEET 15 OF 38



1

Owner:
David Holub
446 Sausalito Blvd
Sausalito, CA 94965

Holub Residence
446 Sausalito Blvd
Sausalito, CA 94965
A.P.N.: 065-222-19

ISSUES	DATE	MARK
PLANNING DESIGN REVIEW	6/8/17	

PROJECT #	1451
CAD FILE #	1451-Holub-Residence-New-Design.dwg
DATE	6/8/17
CREATED BY	JHM
CHECKED BY	JHM
DATE	6/8/17
DATE	6/8/17

STORY POLE PLAN

AS104

SHEET 16 OF 38

STORY POLE PLAN GENERAL NOTES

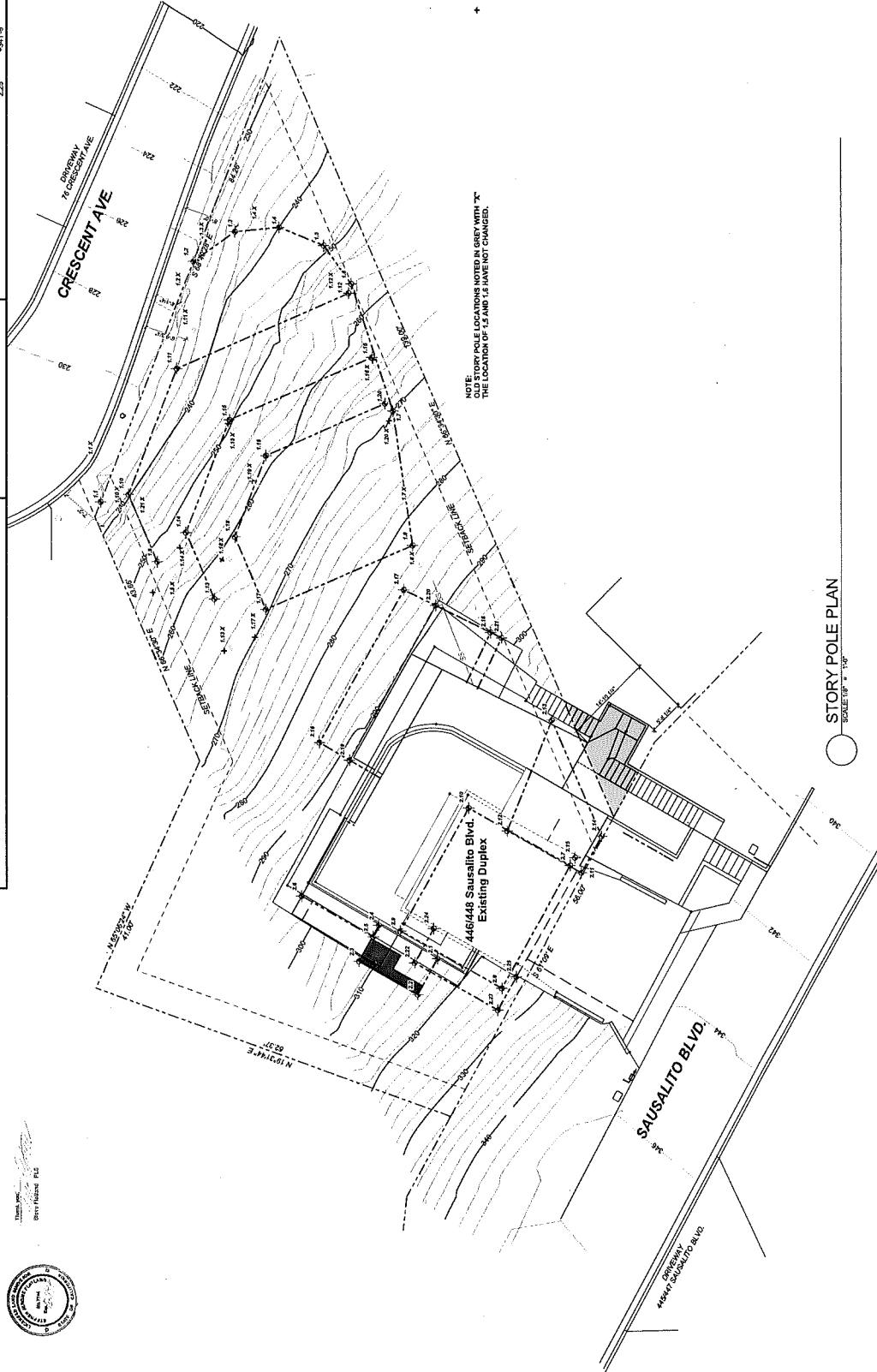
- STORY POLE ELEVATIONS BASED ON THE SURVEY PREPARED BY JAY L. HALLBERG ENGINEER (ICE 30465)
- STORY POLES SHALL BE INSTALLED WHERE THERE IS ANY CHANGE IN BUILDING FOOTPRINT, ROOF ELEVATION OR BUILDING BULK.
- STORY POLES SHALL BE CERTIFIED BY A REGISTERED LAND SURVEYOR OR CIVIL ENGINEER.
- THE INSTALLED STORY POLES SHALL BE CONNECTED BY A BRIGHT COLORED ROPE IN SUCH A MANNER AS TO SHOW THE BUILDING'S PROFILE AND TO BE VISIBLE FROM THE STREET.
- CONNECTING TO EACH BUILDING CORNER AT FINISH ROOF ELEVATION APPROPRIATE SUCH AS DOWNERS, BAYS AND DECKS NEED NOT BE SHOWN UNLESS, IN THE OPINION OF THE STAFF, THEY SHALL BE SHOWN TO SHOW THE BUILDING'S PROFILE AND TO BE VISIBLE FROM THE STREET.
- THE STORY POLE PLAN SHALL SHOW THE LOCATION OF THE CONNECTING TAPE AND RESPECTIVE ELEVATIONS.
- STORY POLES SHALL BE INSTALLED AT LEAST TEN (10) DAYS BEFORE A NOTICED PUBLIC HEARING ON THE PROJECT AND REMOVED 10 DAYS AFTER A FINAL APPROVAL OR DENIAL OF THE APPLICATION.
- THE STORY POLES SHALL BE MARKED IN ONE (1) FOOT INCREMENTS.

STORY POLE PLAN SYMBOLS LEGEND

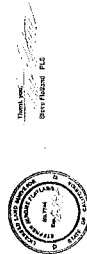
- CONNECTING ROPE
- STORY POLE CALLOUT
- TOPOGRAPHIC LINES @ 2'-0" INTERVAL
- PROPERTY LINE

STORY POLE LIST

POLE #	TOPOGRAPHIC	POLE #	TOPOGRAPHIC
1.1	+224'-5"	2.1	+321'-1"
1.2	+222'-9"	2.2	+320'-3"
1.3	+221'-1"	2.3	+319'-1"
1.4	+220'-5"	2.4	+318'-5"
1.5	+219'-9"	2.5	+317'-9"
1.6	+218'-3"	2.6	+317'-3"
1.7	+217'-7"	2.7	+316'-7"
1.8	+216'-1"	2.8	+316'-1"
1.9	+215'-5"	2.9	+315'-5"
1.10	+214'-9"	2.10	+314'-9"
1.11	+213'-3"	2.11	+313'-3"
1.12	+212'-7"	2.12	+312'-7"
1.13	+211'-1"	2.13	+311'-1"
1.14	+210'-5"	2.14	+310'-5"
1.15	+209'-9"	2.15	+309'-9"
1.16	+208'-3"	2.16	+308'-3"
1.17	+207'-7"	2.17	+307'-7"
1.18	+206'-1"	2.18	+306'-1"
1.19	+205'-5"	2.19	+305'-5"
1.20	+204'-9"	2.20	+304'-9"
1.21	+203'-3"	2.21	+303'-3"
1.22	+202'-7"	2.22	+302'-7"
1.23	+201'-1"	2.23	+301'-1"
1.24	+200'-5"	2.24	+300'-5"
1.25	+199'-9"	2.25	+299'-9"

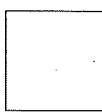


STORY POLE PLAN
SCALE: 1/8" = 1'-0"



Stephen Pauline, JAMES SWANSON
415.332.9910
1/10/2017

David Holub
446 Sausalito Blvd
Sausalito, CA 94965
On 6/8/17, I, David Holub, certify that the above information is true and correct to the best of my knowledge and belief, and that I am not providing any false or misleading information. I understand that providing false or misleading information is a violation of the law and may result in disciplinary action. I agree to provide true and accurate information and to update the information as needed. I understand that providing false or misleading information is a violation of the law and may result in disciplinary action. I agree to provide true and accurate information and to update the information as needed.



Owner:
David Holub
446 Sausalito Blvd
Sausalito, CA 94965

Holub Residence
446 Sausalito Blvd
Sausalito, CA 94965
A.P.N.: 065-222-19

MARK	DATE	DESCRIPTION
01/16	01/16	PLANNING DESIGN REVIEW
04/05/17	04/05/17	PLANNING DESIGN REVIEW
10/14/16	10/14/16	PLANNING DESIGN REVIEW
07/16/16	07/16/16	PLANNING DESIGN REVIEW
07/16/16	07/16/16	PLANNING DESIGN REVIEW
07/16/16	07/16/16	PLANNING DESIGN REVIEW
07/16/16	07/16/16	PLANNING DESIGN REVIEW
07/16/16	07/16/16	PLANNING DESIGN REVIEW
07/16/16	07/16/16	PLANNING DESIGN REVIEW
07/16/16	07/16/16	PLANNING DESIGN REVIEW

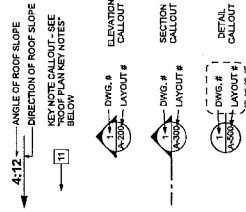
PROJECT #	1001
CAD FILE	1001
DRAWN BY	JM
CHECKED BY	JM
DATE	01/16/16

ROOF PLAN

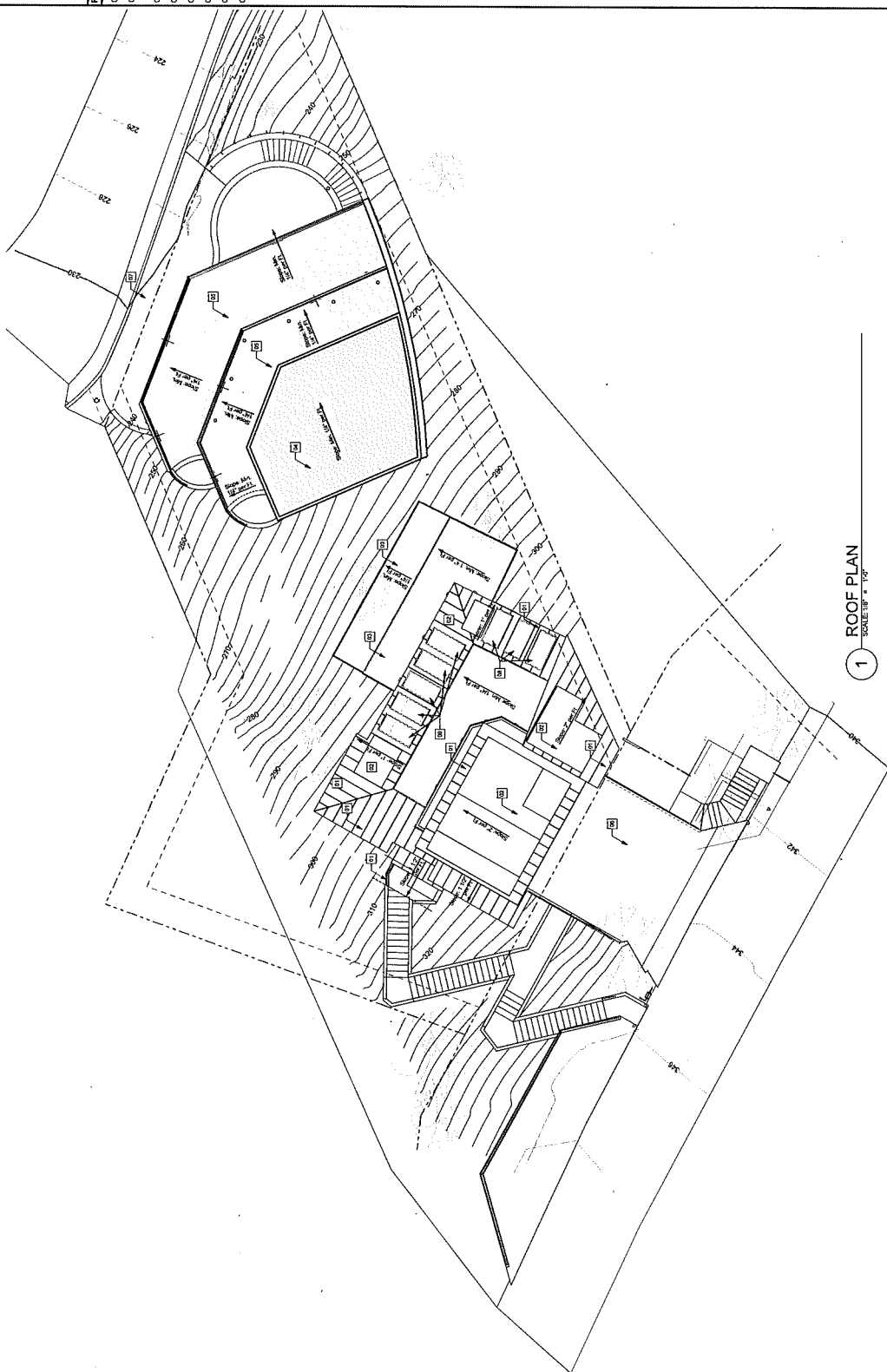
AS105

SHEET 17 OF 38

ROOF PLAN GENERAL NOTES
1. REFERS TO GENERAL NOTES SHT. C4001 & SHT. C4002 FOR FURTHER INFORMATION.
2. ROOF SHALL SLOPE NO WHITE, SILVER OR HIGHLY REFLECTIVE SURFACE.
3. ROOF PLAN SYMBOLS LEGEND



ROOF PLAN KEY NOTES
01 - (N) STANDING SEAM METAL ROOF
02 - (N) SOLAR PANELS MOUNTED ON STANDING SEAM METAL ROOF
03 - (N) WOOD ROOF DECK
04 - (N) EXTENSIVE GREEN ROOF SYSTEM
05 - (N) CERAMIC TILE ROOF DECK
06 - RESURFACE (R) DRIVEWAY
07 - (N) CONCRETE DRIVEWAY
08 - (N) SKYLIGHTS



City of Sausalito
420 Lincoln Avenue
Sausalito, CA 94965
Planning Department

To whom it may concern in the Sausalito Planning Department:

Regarding the proposed project at 446 & 448 Sausalito Boulevard and 77 Crescent Avenue, Holub Residence / DISCOP-PH-64-18P-15-SHA, I support the project and look forward to its timely completion. No new encroachments will be recorded against my property.

I hereby grant permission for work to be done on my property necessary to remove and relocate the stairs that currently run down from the street. The new access stairs will be relocated to the other side of the driveway. The existing stairs will be removed and the adjoining area to be re-landscaped to blend with surroundings and to protect against rain erosion. No trade or other worker's vehicles will use or block my driveway.

Regards,

David Kaufman
446 & 448 Sausalito Blvd.
Sausalito, CA 94965
Email: dkaufman@comcast.net

440/442 Letter Of Support

SCALE: 1/8" = 1'-0"

NEW PUBLIC PARKING SPACE

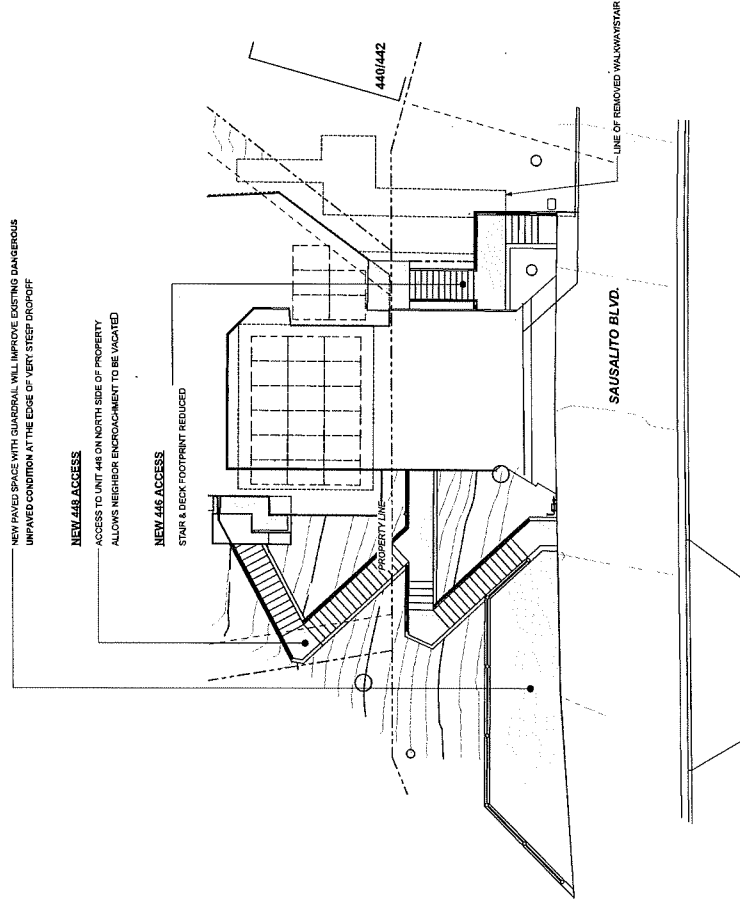
NEW PAVED SPACE WITH GUARDRAIL WILL IMPROVE EXISTING DANGEROUS UNPAVED CONDITION AT THE EDGE OF VERT STEEP DROPOFF

NEW 446 ACCESS

ACCESS TO UNIT 446 ON NORTH SIDE OF PROPERTY
ALLOWS NEIGHBOR ENCROACHMENT TO BE VACATED

NEW 448 ACCESS

STAIR & DECK FOOTPRINT REDUCED



446/448 Sausalito Blvd. Proposed Encroachments

SCALE: 1/8" = 1'-0"

EXISTING 446/448 ACCESS

ALL ACCESS TO UNIT 446 AND SECONDARY ACCESS TO UNIT 448 IN CURRENT ENCROACHMENT AGREEMENT TO BE REMOVED. CURRENT ACCESS STAIR OCCUPIES PUBLIC RIGHT-OF-WAY AND NEIGHBORING PROPERTY (448/443)

EXISTING 446 ACCESS

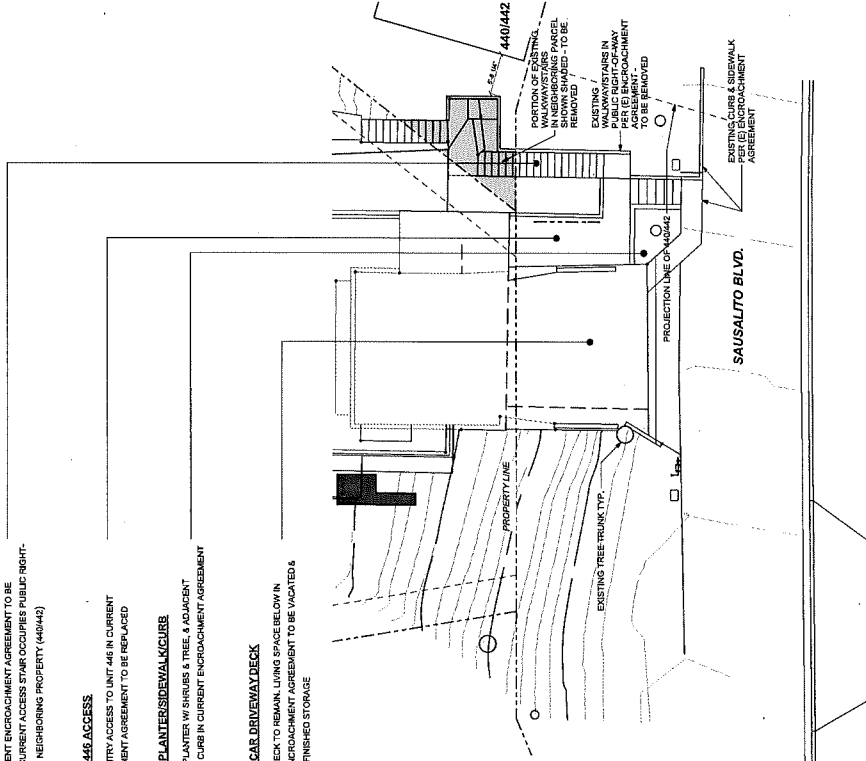
EXISTING ENTRY ACCESS TO UNIT 446 IN CURRENT ENCROACHMENT AGREEMENT TO BE REPLACED

EXISTING PLANTERSIDEWALKCURBS

CONCRETE PLANTER W/ SHRUBS & TREE, & ADJACENT SIDEWALK & CURB IN CURRENT ENCROACHMENT AGREEMENT TO REMAIN

EXISTING CAR DRIVEWAY DECK

DRIVEWAY DECK TO REMAIN. LIVING SPACE BELOW IN CURRENT ENCROACHMENT AGREEMENT TO BE VACATED & USED AS UNFINISHED STORAGE



446/448 Sausalito Blvd. Existing Encroachments

SCALE: 1/8" = 1'-0"

MCCOY
ARCHITECTURE

1417 Bridgeway, Suite 1
Sausalito, CA 94965
Phone: 415.332.8910
john@mccoymccoyarchitecture.com

Owner:
David Holub
446 Sausalito Blvd
Sausalito, CA 94965

Holub Residence
446 Sausalito Blvd
Sausalito, CA 94965
A.P.N.: 085-222-18

MARK	DATE	DESCRIPTION
5/11/18	PLANNING DESIGN REVIEW	
6/05/17	PLANNING DESIGN REVIEW	
1/14/18	PLANNING DESIGN REVIEW	
6/16/18	PLANNING DESIGN REVIEW	
6/27/16	PLANNING DESIGN REVIEW	
4/20/16	PLANNING DESIGN REVIEW	
3/28/16	PLANNING DESIGN REVIEW	

PROJECT #	1451
CAD FILE	446/448 Sausalito Blvd. Proposed Encroachments
DRAWN BY	JM
CHECKED BY	JM
ENCROACHMENTS	446/448 SAUSALITO BLVD.
AS106	
SHEET 15	OF 38

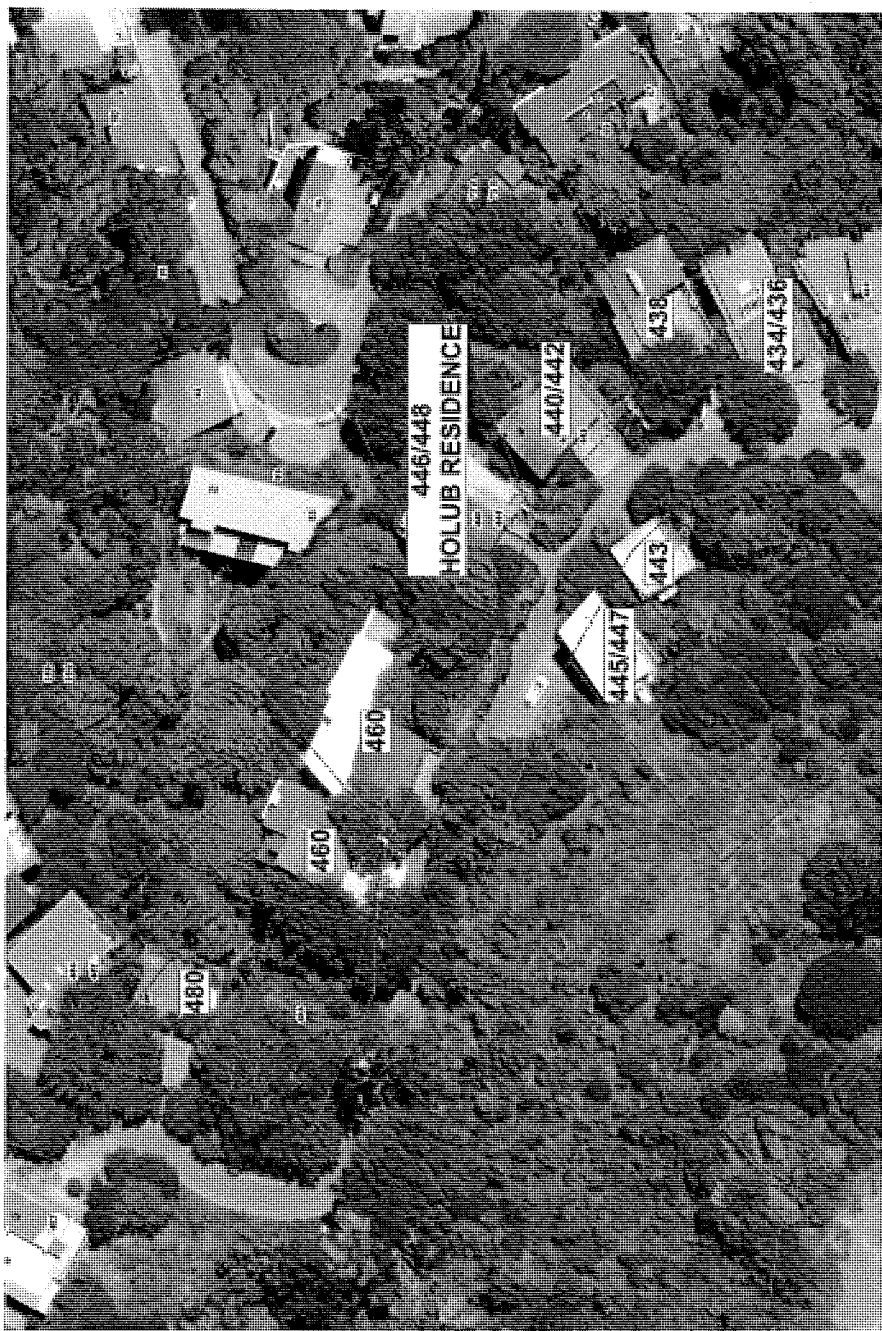


Holub Residence
446 Sausalito Blvd
Sausalito, CA 94965
A.P.N.: 065-222-19

Owner:
David Holub
446 Sausalito Blvd
Sausalito, CA 94965

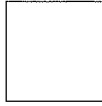
MARK	DATE	DESCRIPTION
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	04/05/17	PLANNING DESIGN REVIEW
	10/14/16	PLANNING DESIGN REVIEW
	01/16/16	PLANNING DESIGN REVIEW
	06/07/16	PLANNING DESIGN REVIEW
	02/01/16	PLANNING DESIGN REVIEW
	03/01/16	PLANNING DESIGN REVIEW

PROJECT #	1401
DATE FILE	10/14/16
DATE	03/01/16
CHECKED BY	John McCoy
DATE	03/01/16
PROJECT & PLAN APPROVED BY	
DATE	
NEIGHBORHOOD ENCROACHMENTS	
AS107	
SHEET 19	OF 35



1 NEIGHBORHOOD ENCROACHMENTS
SCALE 1" = 100'
Based on County of Marin data available at MarinMap.org

- 434/436: DRIVEWAY DECK, CARPORT, GUARDRAIL
- 438: DRIVEWAY DECK
- 440/442: DRIVEWAY DECK
- 443: DRIVEWAY, HOME
- 445/447: DRIVEWAY, HOME
- 452: DRIVEWAY, FENCE, GARAGE, ACCESS STAIR CONCRETE WALKWAY UTILITY CABINET
- 460: DRIVEWAY DECK, (2) ACCESS STAIRS
- 480: DRIVEWAY DECK, GARAGE, ACCESS STAIRS



Owner:
David Holub
446 Sausalito Blvd
Sausalito, CA 94965

Holub Residence
446 Sausalito Blvd
Sausalito, CA 94965
A.P.N.: 065-222-19

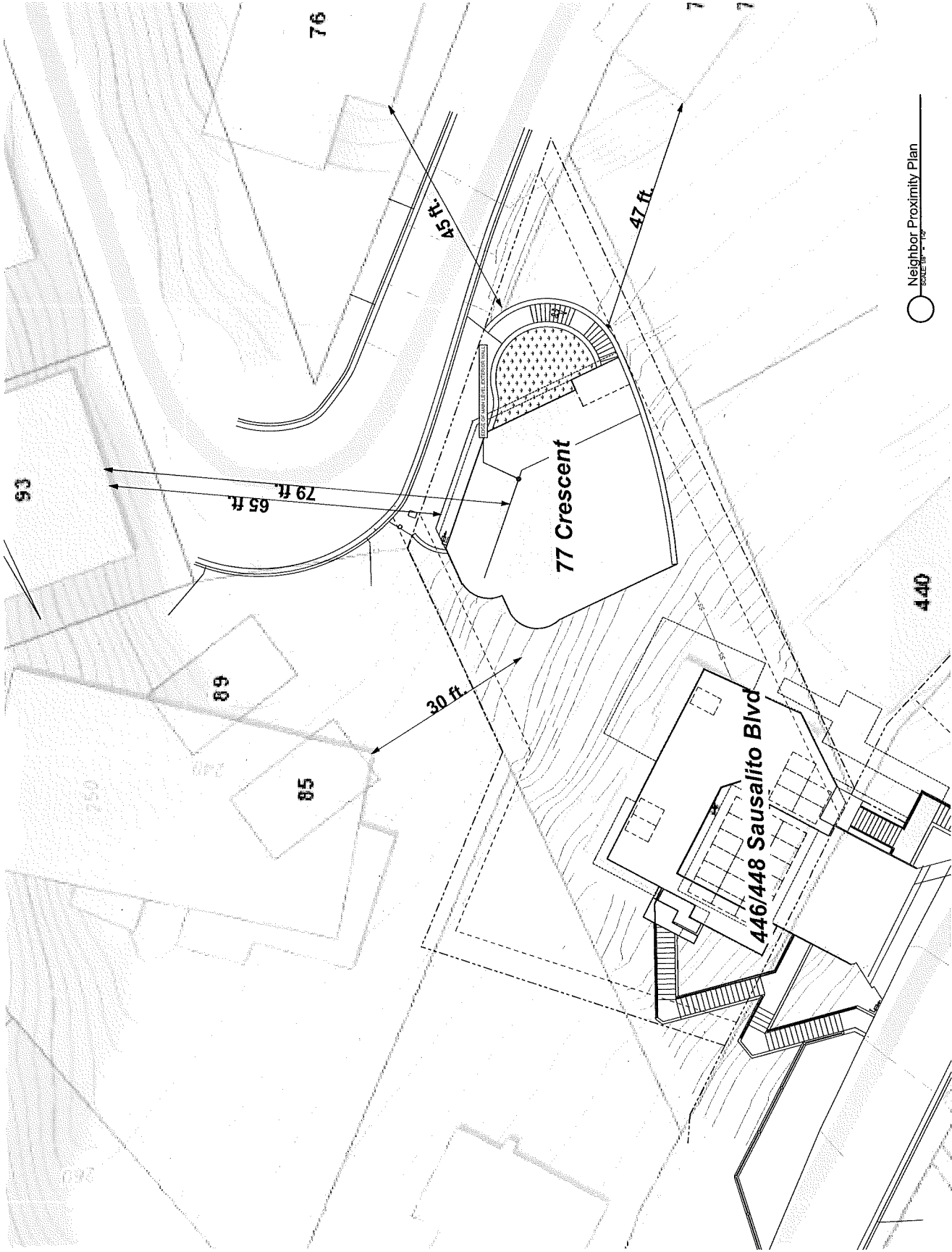
MARK	DATE	DESCRIPTION
		ISSUES
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	4/20/16	PLANNING DESIGN REVIEW
	5/20/16	PLANNING DESIGN REVIEW
	6/20/16	PLANNING DESIGN REVIEW
	7/20/16	PLANNING DESIGN REVIEW
	8/20/16	PLANNING DESIGN REVIEW
	9/20/16	PLANNING DESIGN REVIEW
	10/20/16	PLANNING DESIGN REVIEW
	11/20/16	PLANNING DESIGN REVIEW
	12/20/16	PLANNING DESIGN REVIEW

PROJECT #	141
DRAWN BY	John McCoy
CHECKED BY	John McCoy
DATE	1/1/17

NEIGHBOR PROXIMITY
PLAN

AS108

SHEET 20 OF 38





Owner:
David Holub
446 Sausalito Blvd
Sausalito, CA 94965

Holub Residence
446 Sausalito Blvd
Sausalito, CA 94965
A.P.N.: 065-222-19

ISSUES	
MARK	DATE
	3/20/16
	PLANNING DESIGN REVIEW
	4/20/16
	PLANNING DESIGN REVIEW
	6/20/16
	PLANNING DESIGN REVIEW
	7/16/16
	PLANNING DESIGN REVIEW
	10/14/16
	PLANNING DESIGN REVIEW
	04/05/17
	PLANNING DESIGN REVIEW
	6/11/16
	PLANNING DESIGN REVIEW

PROJECT #	1417
OWNER	David Holub
DESIGNED BY	John McCoy
DRAWN BY	John McCoy
CHECKED BY	John McCoy
DATE	3/20/16
77 CRESCENT AVE RENDERING	
1A	
SHEET 21	OF 38



77 Crescent Ave From North

Owner:
David Holub
446 Sausalito Blvd
Sausalito, CA 94965

Holub Residence
446 Sausalito Blvd
Sausalito, CA 94965
A.P.N.: 065-222-19

MARK	DATE	DESCRIPTION
01/18	01/18	PLANNING DESIGN REVIEW
02/05/17	02/05/17	PLANNING DESIGN REVIEW
10/14/16	10/14/16	PLANNING DESIGN REVIEW
6/16/16	6/16/16	PLANNING DESIGN REVIEW
6/07/16	6/07/16	PLANNING DESIGN REVIEW
4/20/16	4/20/16	PLANNING DESIGN REVIEW
3/09/16	3/09/16	PLANNING DESIGN REVIEW

PROJECT #	DATE	DESCRIPTION
1417	1417	1417
1417	1417	1417
1417	1417	1417
1417	1417	1417
1417	1417	1417
1417	1417	1417
1417	1417	1417

77 CRESCENT
BASEMENT PLAN

1A-200

SHEET 22 OF 28

FLOOR PLAN SYMBOLS LEGEND

KEY NOTE CALLOUT - SEE FLOOR PLAN KEY NOTES BELOW

11

DWG. # 11-2000 - LAYOUT #

DWG. # 11-2000 - LAYOUT #

DWG. # 11-2000 - LAYOUT #

DWG. # 11-2000 - LAYOUT #

FLOOR PLAN GENERAL NOTES

REFER TO "GENERAL NOTES" SHT. 0-001 & SHT. 0-002 FOR FURTHER INFORMATION.

FLOOR PLAN SYMBOLS LEGEND

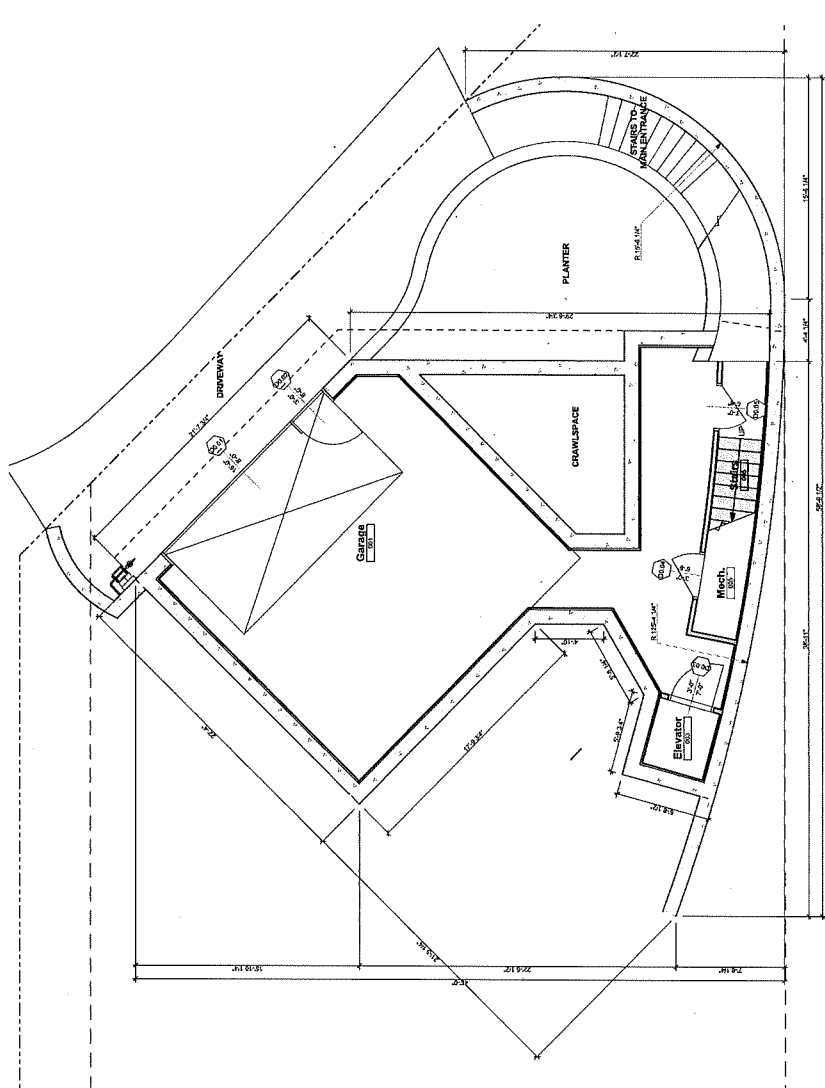
(E) EXTERIOR CONCRETE/BRICK WALL

(E) INTERIOR WOOD FRAMED WALL

(I) 2X4 WOOD FRAMED WALL - SEE STRUCTURAL PLANS

NEW WINDOW CALLOUT - SEE WINDOW SCHEDULE, SHT. A-000

NEW DOOR CALLOUT - SEE WINDOW SCHEDULE, SHT. A-000



BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"

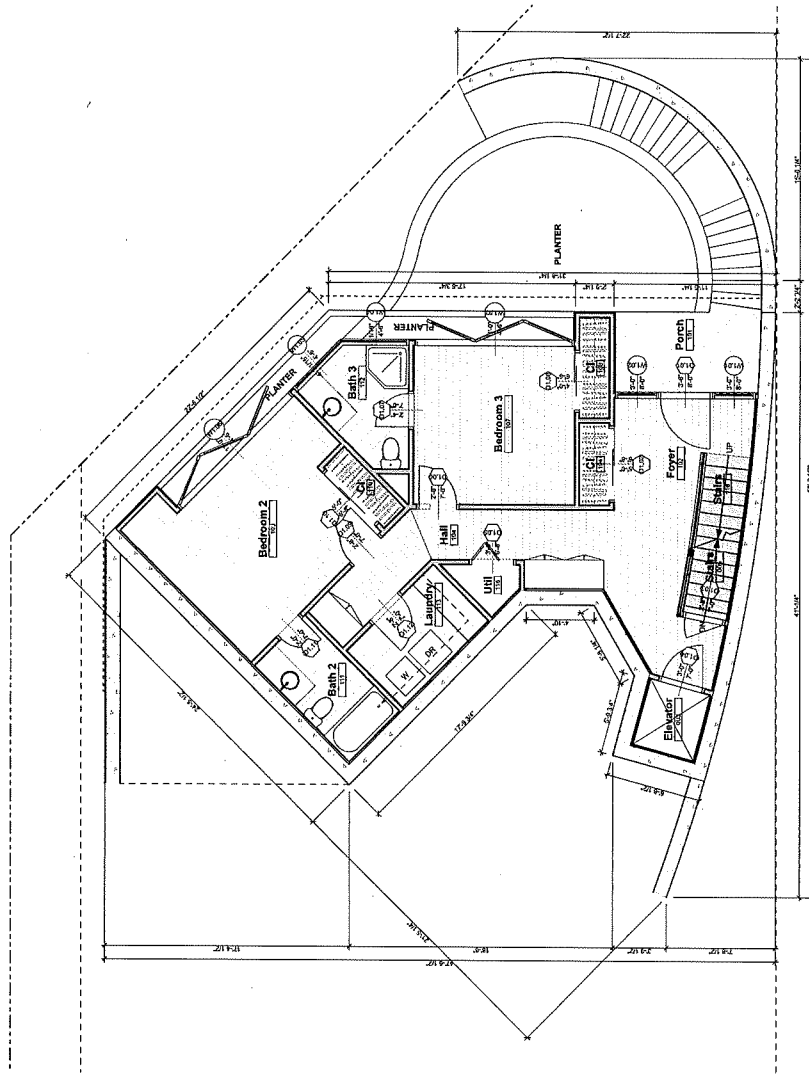
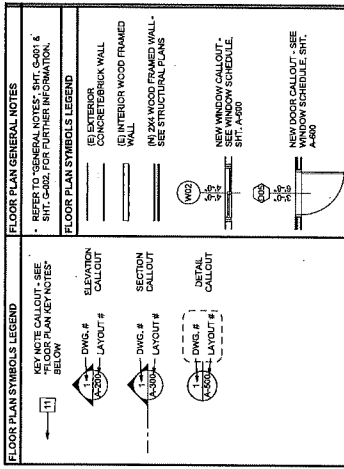
MARK	DATE	ISSUES
	30/08/16	PLANNING DESIGN REVIEW
	4/02/16	PLANNING DESIGN REVIEW
	6/07/16	PLANNING DESIGN REVIEW
	8/16/16	PLANNING DESIGN REVIEW
	10/14/16	PLANNING DESIGN REVIEW
	04/05/17	PLANNING DESIGN REVIEW
	5/11/16	PLANNING DESIGN REVIEW

PROJECT #:	1491
CAD FILE:	Haklo Residence New Concept
DRAWN BY:	MA
CHECKED BY:	JM

**77 CRESCENT FIRST
FLOOR PLAN**

1A-201

SHEET 23 OF 30



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



Owner:
David Holub
446 Sausalito Blvd
Sausalito, CA 94965

Holub Residence
446 Sausalito Blvd
Sausalito, CA 94965
A.P.N. 065-222-19

MARK	DATE	DESCRIPTION
1	8/1/16	PLANNING DESIGN REVIEW
2	8/1/16	PLANNING DESIGN REVIEW
3	8/1/16	PLANNING DESIGN REVIEW
4	8/1/16	PLANNING DESIGN REVIEW
5	8/1/16	PLANNING DESIGN REVIEW
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99	8/1/16	PLANNING DESIGN REVIEW
100	8/1/16	PLANNING DESIGN REVIEW

PROJECT #:	1401
CAD FILE:	1401-Residence-New-Crescent.dwg
DRAWN BY:	MA
CHECKED BY:	MA
DATE:	8/1/16
77 CRESCENT SECOND FLOOR PLAN	
1A-202	
SHEET 24	OF 35

FLOOR PLAN SYMBOLS LEGEND

NEW NOTE CALLOUT - SEE FLOOR PLAN KEY NOTES BELOW

11

DWG. # 11-2000 - LAYOUT #

DWG. # 11-2000 - LAYOUT #

DWG. # 11-2000 - LAYOUT #

DWG. # 11-2000 - LAYOUT #

ELEVATION CALLOUT

SECTION CALLOUT

DETAIL CALLOUT

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES - SHT. C-001 & SHT. C-002 FOR FURTHER INFORMATION.

FLOOR PLAN SYMBOLS LEGEND

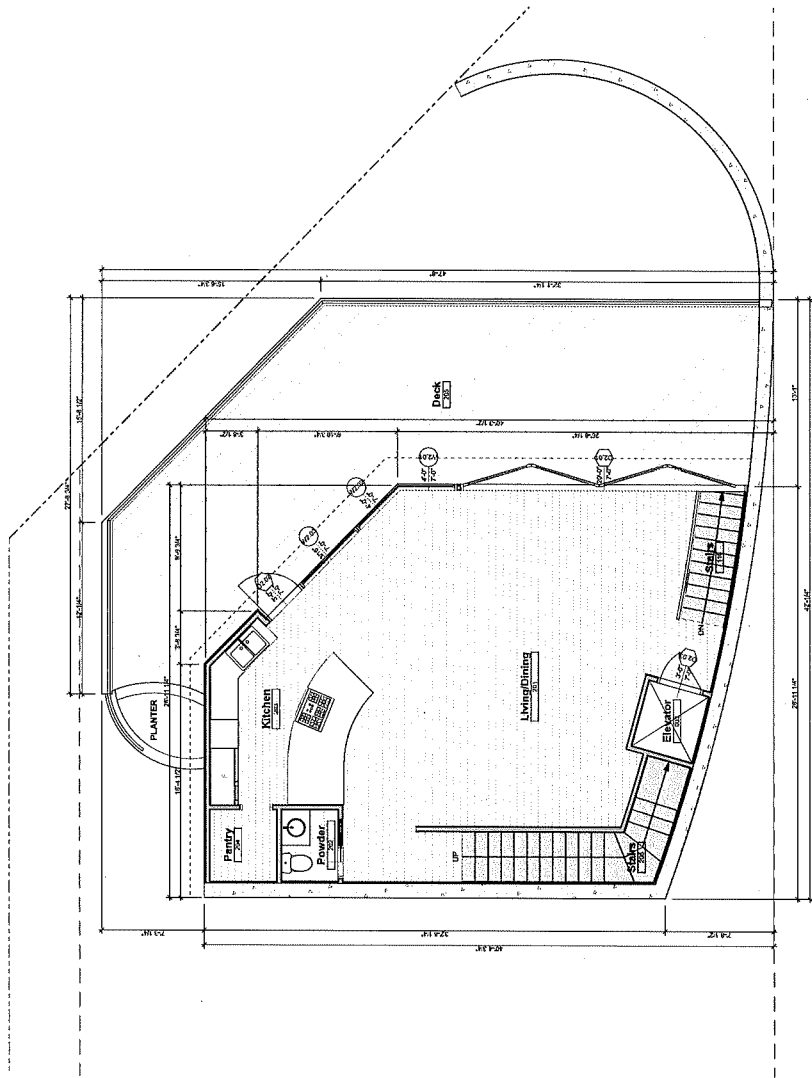
(E) EXTERIOR CONCRETE/BRICK WALL

(I) INTERIOR WOOD FRAMED WALL

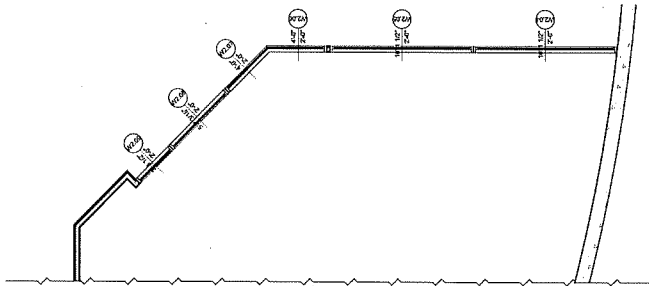
(W) 2X4 WOOD FRAMED WALL - SEE STRUCTURAL PLAN

NEW WINDOW CALLOUT - SEE WINDOW SCHEDULE, SHT. A-000

NEW DOOR CALLOUT - SEE WINDOW SCHEDULE, SHT. A-000



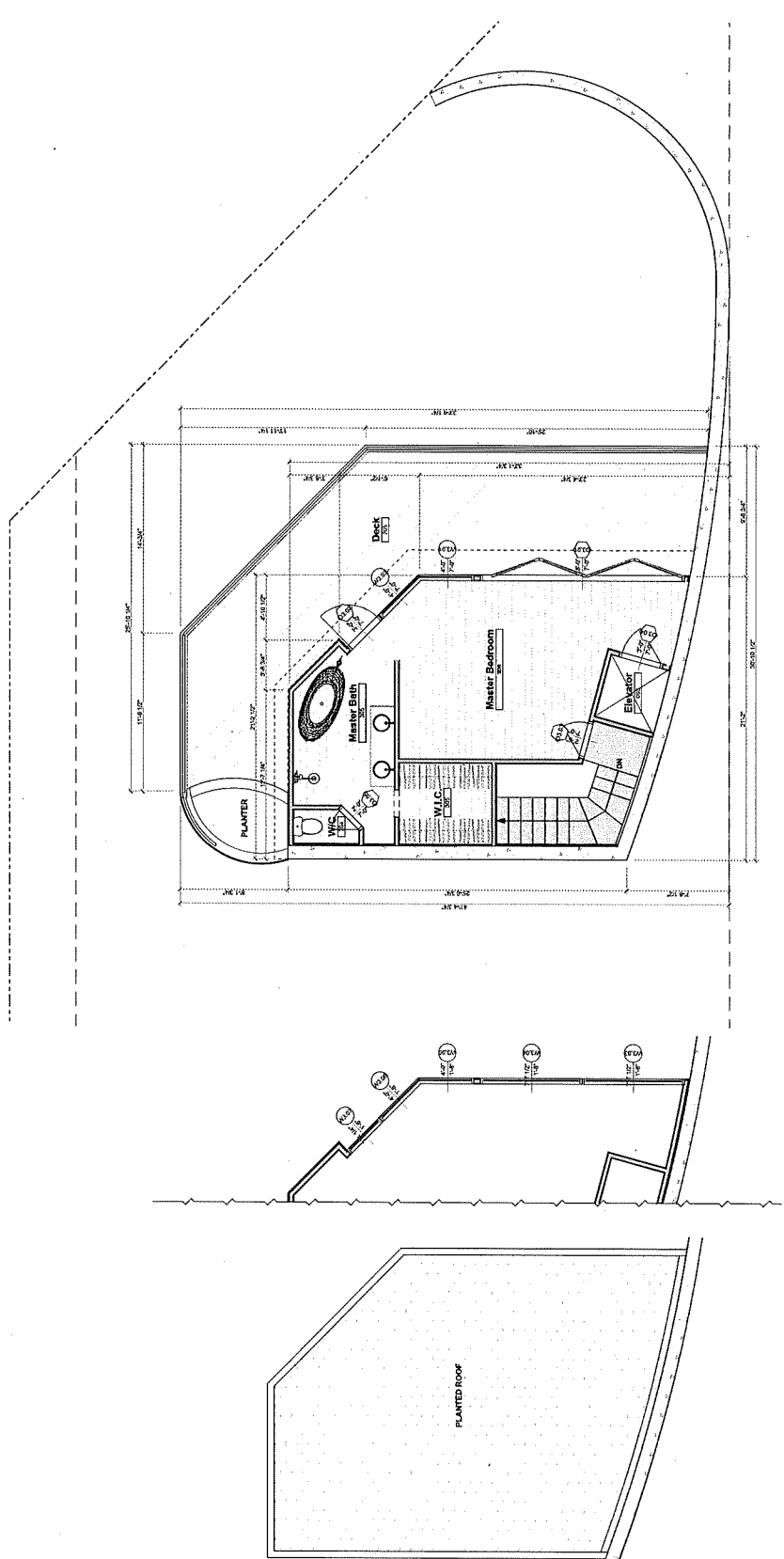
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



CLERESTORY
SCALE: 1/8" = 1'-0"

MARK	DATE	DESCRIPTION
	6/11/16	PLANNING DESIGN REVIEW
	10/14/16	PLANNING DESIGN REVIEW
	6/18/16	PLANNING DESIGN REVIEW
	6/27/16	PLANNING DESIGN REVIEW
	4/29/16	PLANNING DESIGN REVIEW
	3/29/16	PLANNING DESIGN REVIEW

FLOOR PLAN SYMBOLS LEGEND	FLOOR PLAN GENERAL NOTES
KEY NOTE CALLOUT - SEE FLOOR PLAN KEY NOTES BELOW	REFER TO 'GENERAL NOTES', SHT. C-601 & SHT. C-602 FOR UTILITY INFORMATION.
1- DWG. # - ELEVATION CALLOUT #	
2- DWG. # - LAYOUT #	
3- DWG. # - SECTION CALLOUT #	
4- DWG. # - DETAIL CALLOUT #	
(E) EXTERIOR CONCRETE/BRICK WALL	
(I) INTERIOR WOOD FRAMED WALL	
(N) 2X4 WOOD FRAMED WALL - SEE STRUCTURAL PLANS	
NEW WINDOW CALLOUT - SEE WINDOW SCHEDULE, SHT. A-400	
NEW DOOR CALLOUT - SEE WINDOW SCHEDULE, SHT. A-400	



CLERESTORY THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

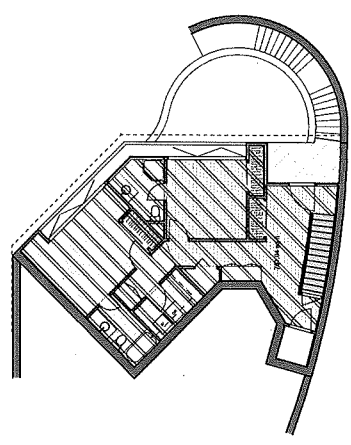
ROOF PLAN
SCALE: 1/4" = 1'-0"



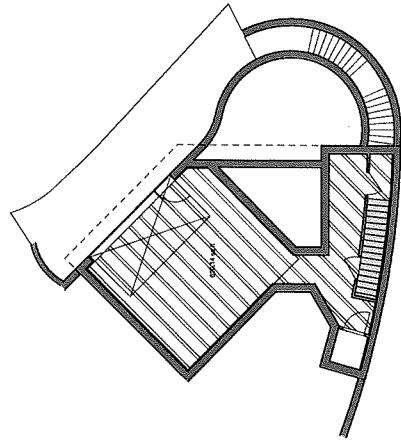
Owner:
David Holub
446 Sausalito Blvd
Sausalito, CA 94965
A.P.N.: 065-222-19
Holub Residence

ISSUES	
MARK	DATE
	3/20/16
	4/20/16
	6/07/16
	9/16/16
	10/14/16
	04/05/17
	07/1/16
PLANNING DESIGN REVIEW	

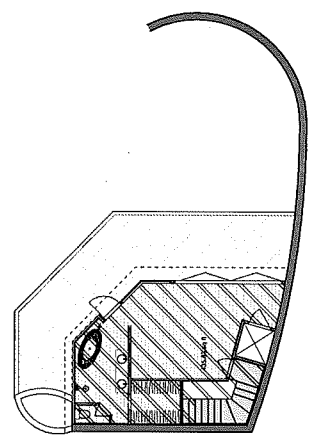
PROJECT #:	1501
PROJECT NAME:	446 Sausalito Blvd. Holub Residence
DRAWN BY:	MA
CHECKED BY:	MA
DATE PREPARED BY:	MA
FLOOR AREA MAPS	
1A-204	
SHEET	26 OF 38



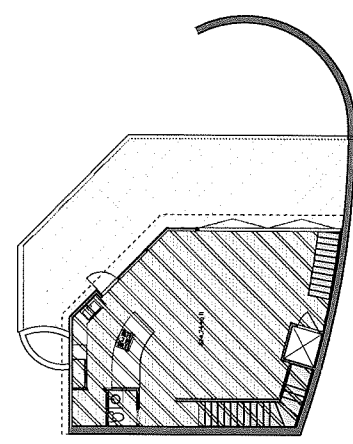
NOTE: AREA COUNTED TOWARD FLOOR AREA CALCULATION SHOWN DIAGONALLY HATCHED
FIRST FLOOR AREA MAP
SCALE: 1/8" = 1'-0"
FLOOR AREA = 751 S.F.



NOTE: AREA COUNTED TOWARD FLOOR AREA CALCULATION SHOWN DIAGONALLY HATCHED
BASEMENT AREA MAP
SCALE: 1/8" = 1'-0"
FLOOR AREA = 556 S.F.



NOTE: AREA COUNTED TOWARD FLOOR AREA CALCULATION SHOWN DIAGONALLY HATCHED
THIRD FLOOR AREA MAP
SCALE: 1/8" = 1'-0"
FLOOR AREA = 438 S.F.



NOTE: AREA COUNTED TOWARD FLOOR AREA CALCULATION SHOWN DIAGONALLY HATCHED
SECOND FLOOR AREA MAP
SCALE: 1/8" = 1'-0"
FLOOR AREA = 824 S.F.

FLOOR AREA
GARAGE: 556 S.F.
FIRST FLOOR: 751 S.F.
SECOND FLOOR: 824 S.F.
THIRD FLOOR: 438 S.F.
TOTAL: 2667 S.F.
LESS ALLOWANCES: -750 S.F.
NET FLOOR AREA: 1917 S.F.

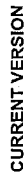
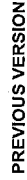
MARK	DATE	ISSUES	DESCRIPTION
	3/07/16		PLANNING DESIGN REVIEW
	4/20/16		PLANNING DESIGN REVIEW
	6/07/16		PLANNING DESIGN REVIEW
	9/10/16		PLANNING DESIGN REVIEW
	10/14/16		PLANNING DESIGN REVIEW
	10/05/17		PLANNING DESIGN REVIEW
	6/11/16		PLANNING DESIGN REVIEW

PROJECT #:	1401
CAD FILE:	Hold Resistance Near Crest
DRAWN BY:	MA

CHECKED BY: JIM
COMPANY: 6384 MCCOY ARCHITECTURE, INC.
77 CRESCENT
EXTERIOR ELEVATIONS

1A-300

SHEET 27 OF 38



NORTH ELEVATION
SCALE: 1/16" = 1'-0"

Owner:
David Holub
446 Sausalito Blvd
Sausalito, CA 94965

Holub Residence
446 Sausalito Blvd
Sausalito, CA 94965
A.P.N.: 065-222-19

MARK	DATE	DESCRIPTION
04/20/17	04/20/17	PLANNING DESIGN REVIEW
06/07/16	06/07/16	PLANNING DESIGN REVIEW
06/07/16	06/07/16	PLANNING DESIGN REVIEW
06/07/16	06/07/16	PLANNING DESIGN REVIEW
06/07/16	06/07/16	PLANNING DESIGN REVIEW
06/07/16	06/07/16	PLANNING DESIGN REVIEW
06/07/16	06/07/16	PLANNING DESIGN REVIEW
06/07/16	06/07/16	PLANNING DESIGN REVIEW
06/07/16	06/07/16	PLANNING DESIGN REVIEW
06/07/16	06/07/16	PLANNING DESIGN REVIEW

PROJECT #	1417
CAD FILE	1417-Holub-Residence-Rev-01.dwg
DRAWN BY	MA
CHECKED BY	MA
DATE	06/07/16

77 CRESCENT
EXTERIOR ELEVATIONS

1A-301

SHEET 28 OF 38

EXTERIOR ELEVATION KEY NOTES	EXTERIOR ELEVATION GENERAL NOTES
01 - EXTERIOR WALL FINISH TO BE HORIZONTAL WOOD SING 02 - NOT USED 03 - ROOF FINISH TO BE PLANTED "GREEN" ROOF 04 - GUARDRAILS & STAIR HANDRAILS TO BE FINISHED W/ STAINLESS STEEL 05 - DECK FINISH TO BE LIGHT BUFF TILE 06 - DOOR & WINDOW DOORS TO BE ALUMINUM W/ DARK FINISH	07 - FORMED CONCRETE WALL W/ VERTICAL FORMBOARD FINISH 08 - STAINLESS STEEL PASCATUM REFER TO "GENERAL NOTES", SHT. G-001 & SHT. G-002 FOR FURTHER INFORMATION. EXTERIOR ELEVATION SYMBOLS LEGEND KEY NOTE CALLOUT - SEE "GENERAL NOTES" BELOW 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100 101 102 103 104 105 106 107 108 109 110 111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200 201 202 203 204 205 206 207 208 209 210 211 212 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227 228 229 230 231 232 233 234 235 236 237 238 239 240 241 242 243 244 245 246 247 248 249 250 251 252 253 254 255 256 257 258 259 260 261 262 263 264 265 266 267 268 269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290 291 292 293 294 295 296 297 298 299 300 301 302 303 304 305 306 307 308 309 310 311 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 353 354 355 356 357 358 359 360 361 362 363 364 365 366 367 368 369 370 371 372 373 374 375 376 377 378 379 380 381 382 383 384 385 386 387 388 389 390 391 392 393 394 395 396 397 398 399 400 401 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427 428 429 430 431 432 433 434 435 436 437 438 439 440 441 442 443 444 445 446 447 448 449 450 451 452 453 454 455 456 457 458 459 460 461 462 463 464 465 466 467 468 469 470 471 472 473 474 475 476 477 478 479 480 481 482 483 484 485 486 487 488 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 510 511 512 513 514 515 516 517 518 519 520 521 522 523 524 525 526 527 528 529 530 531 532 533 534 535 536 537 538 539 540 541 542 543 544 545 546 547 548 549 550 551 552 553 554 555 556 557 558 559 560 561 562 563 564 565 566 567 568 569 570 571 572 573 574 575 576 577 578 579 580 581 582 583 584 585 586 587 588 589 590 591 592 593 594 595 596 597 598 599 600 601 602 603 604 605 606 607 608 609 610 611 612 613 614 615 616 617 618 619 620 621 622 623 624 625 626 627 628 629 630 631 632 633 634 635 636 637 638 639 640 641 642 643 644 645 646 647 648 649 650 651 652 653 654 655 656 657 658 659 660 661 662 663 664 665 666 667 668 669 670 671 672 673 674 675 676 677 678 679 680 681 682 683 684 685 686 687 688 689 690 691 692 693 694 695 696 697 698 699 700 701 702 703 704 705 706 707 708 709 710 711 712 713 714 715 716 717 718 719 720 721 722 723 724 725 726 727 728 729 730 731 732 733 734 735 736 737 738 739 740 741 742 743 744 745 746 747 748 749 750 751 752 753 754 755 756 757 758 759 760 761 762 763 764 765 766 767 768 769 770 771 772 773 774 775 776 777 778 779 780 781 782 783 784 785 786 787 788 789 790 791 792 793 794 795 796 797 798 799 800 801 802 803 804 805 806 807 808 809 810 811 812 813 814 815 816 817 818 819 820 821 822 823 824 825 826 827 828 829 830 831 832 833 834 835 836 837 838 839 840 841 842 843 844 845 846 847 848 849 850 851 852 853 854 855 856 857 858 859 860 861 862 863 864 865 866 867 868 869 870 871 872 873 874 875 876 877 878 879 880 881 882 883 884 885 886 887 888 889 890 891 892 893 894 895 896 897 898 899 900 901 902 903 904 905 906 907 908 909 910 911 912 913 914 915 916 917 918 919 920 921 922 923 924 925 926 927 928 929 930 931 932 933 934 935 936 937 938 939 940 941 942 943 944 945 946 947 948 949 950 951 952 953 954 955 956 957 958 959 960 961 962 963 964 965 966 967 968 969 970 971 972 973 974 975 976 977 978 979 980 981 982 983 984 985 986 987 988 989 990 991 992 993 994 995 996 997 998 999 1000

PREVIOUS VERSION

CURRENT VERSION

MAX ALLOWABLE HT. - 280.75'

HIGH POINT OF CONTACT - 283.5'

MAX HT. - 283.6'

274.65' 1st FLOOR LINE

254.65' 1st FLOOR

AVERAGE POINT OF CONTACT - 258.75'

254.65' 1st FLOOR

254.65' 1st FLOOR

254.65' 1st FLOOR

254.65' 1st FLOOR

NORTHEAST ELEVATION
SCALE 3/8" = 1'-0"

LOW POINT OF CONTACT - 223.5'



Owner:
David Holub
446 Sausalito Blvd
Sausalito, CA 94965

446 Sausalito Blvd
Sausalito, CA 94965
A.P.N.: 065-222-19

Holub Residence

MARK	DATE	DESCRIPTION
	3/20/16	PLANNING DESIGN REVIEW
	4/20/16	PLANNING DESIGN REVIEW
	6/07/16	PLANNING DESIGN REVIEW
	8/19/16	PLANNING DESIGN REVIEW
	10/14/16	PLANNING DESIGN REVIEW
	04/05/17	PLANNING DESIGN REVIEW
	8/17/16	PLANNING DESIGN REVIEW

PROJECT #:	140
CAD FILE:	Holub Residence - New Construction
DRAWN BY:	MA
CHECKED BY:	MA
DATE:	8/1/16
COMPANY:	77 CRESCENT 77 CRESCENT EXTERIOR ELEVATIONS
1A-302	
SHEET 29	OF 29

EXTERIOR ELEVATION KEY NOTES	EXTERIOR ELEVATION GENERAL NOTES
01 - EXTERIOR WALL FINISH TO BE HORIZONTAL WOOD Siding	07 - FORMED CONCRETE WALL W/ VERTICAL FORMBOARD FINISH
02 - NOT USED	08 - STAINLESS STEEL PASCANYUM
03 - ROOF FINISH TO BE PLANTED "GREEN" ROOF	
04 - GUARDRAILS & STAIR HANDRAILS TO BE STAINLESS STEEL CABLE INFILL & POSTS W/ DARK FINISH WOOD TOP RAIL	
05 - DECK FINISH TO BE LIGHT BUFF TILE	
06 - DOORS & WINDOWS TO BE ALUMINUM W/ DARK FINISH	

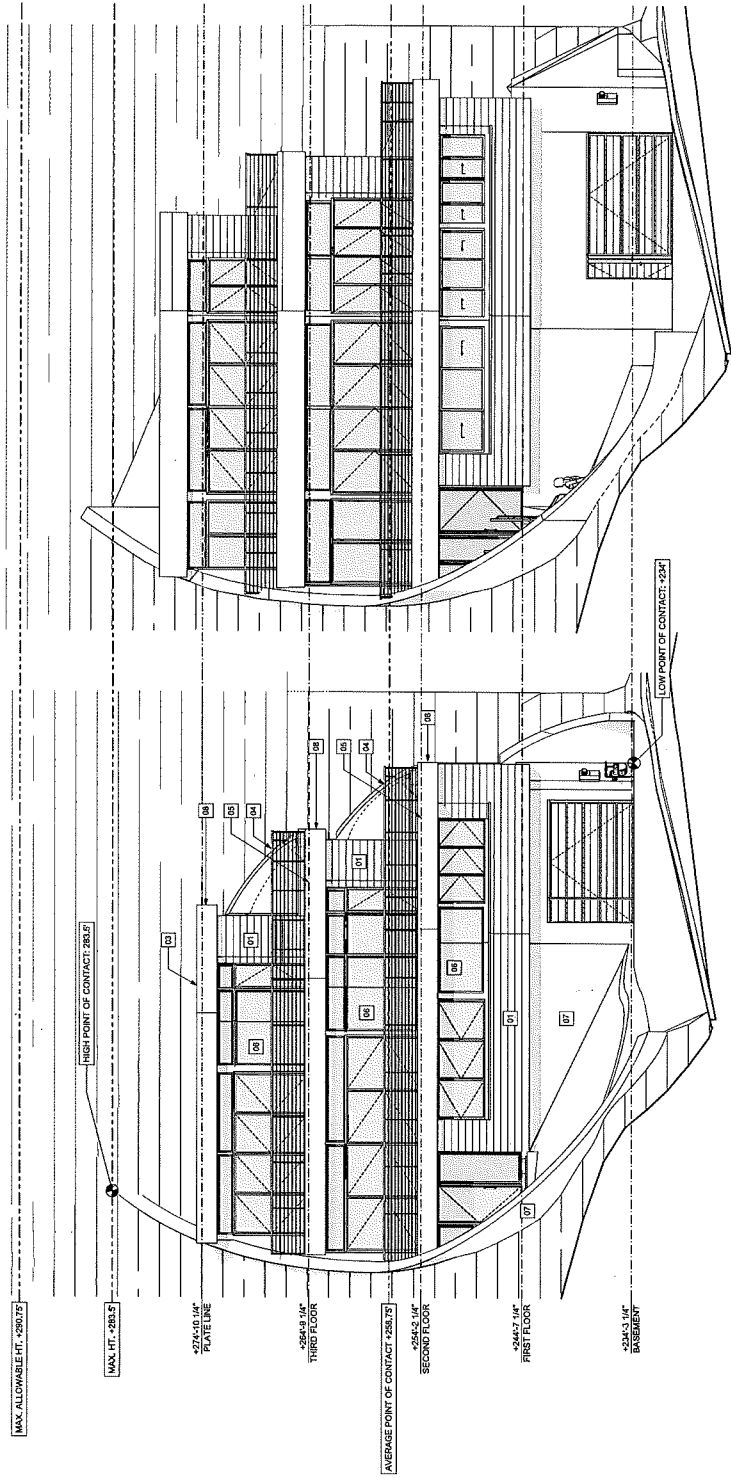
EXTERIOR ELEVATION SYMBOLS LEGEND

KEY NOTE CALLOUT - SEE
"FLOOR PLAN KEY NOTES"

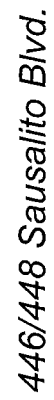
DETAIL
CALLOUT

PREVIOUS VERSION

CURRENT VERSION



3 EAST ELEVATION
SCALE 3/8" = 1'-0"



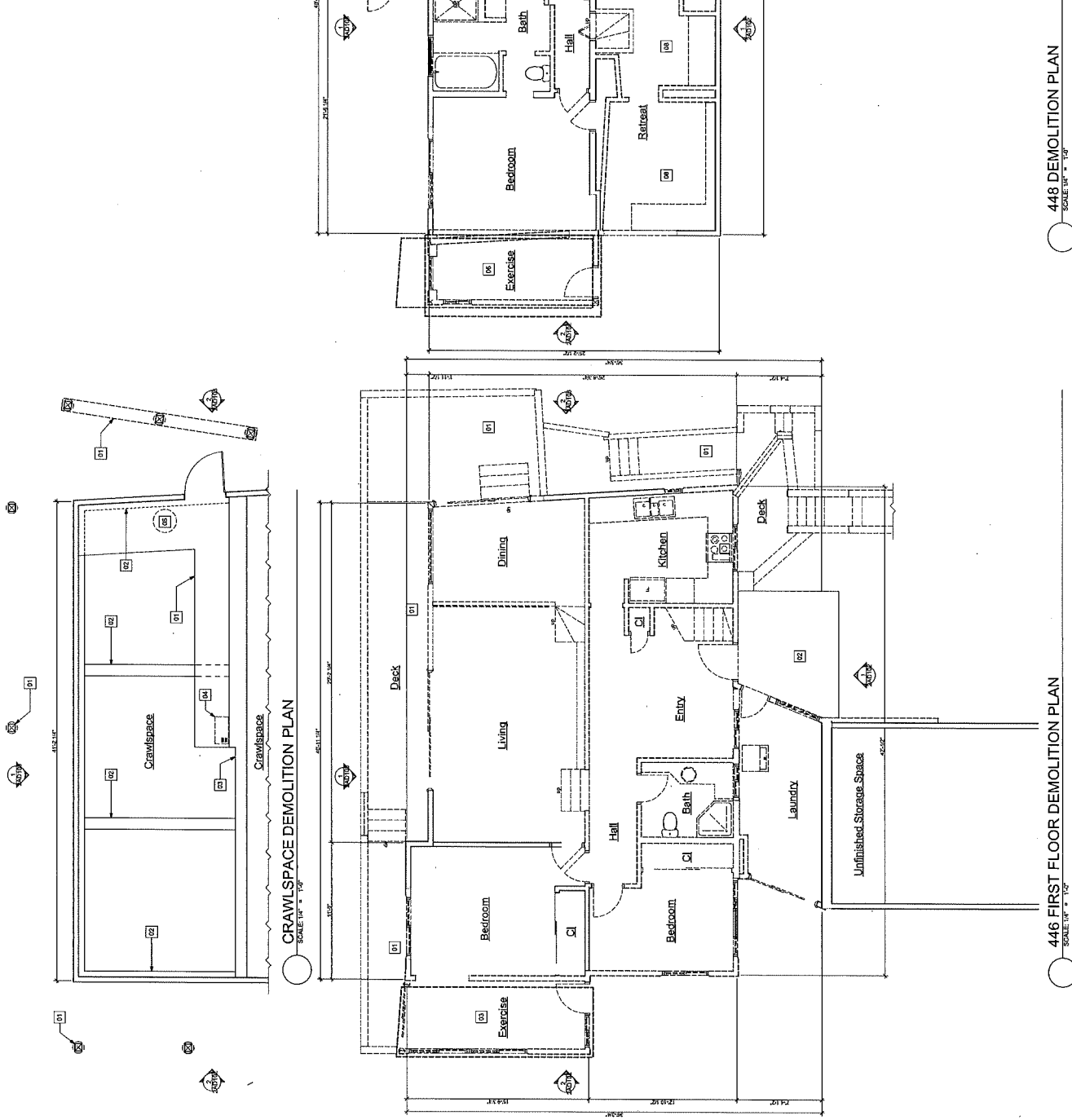
PROJECT #:	1451
CAD FILE:	Habibi Replacement Noyer Cresting
DRAWN BY:	MA
CHECKED BY:	JM
COPYRIGHT © 2014 MCCOY ARCHITECTURE INC.	
SAUSALITO BLVD. RENDERING	
2A	
SHEET 30	OF 38

McCOY
ARCHITECTURE

MARK	DATE	DESCRIPTION
1	03/16	ISSUES
2	03/16	PLANNING DESIGN REVIEW
3	04/16	PLANNING DESIGN REVIEW
4	05/16	PLANNING DESIGN REVIEW
5	06/16	PLANNING DESIGN REVIEW
6	07/16	PLANNING DESIGN REVIEW
7	08/16	PLANNING DESIGN REVIEW
8	09/16	PLANNING DESIGN REVIEW
9	10/16	PLANNING DESIGN REVIEW
10	11/16	PLANNING DESIGN REVIEW
11	12/16	PLANNING DESIGN REVIEW
12	01/17	PLANNING DESIGN REVIEW
13	02/17	PLANNING DESIGN REVIEW
14	03/17	PLANNING DESIGN REVIEW
15	04/17	PLANNING DESIGN REVIEW
16	05/17	PLANNING DESIGN REVIEW
17	06/17	PLANNING DESIGN REVIEW
18	07/17	PLANNING DESIGN REVIEW
19	08/17	PLANNING DESIGN REVIEW
20	09/17	PLANNING DESIGN REVIEW
21	10/17	PLANNING DESIGN REVIEW
22	11/17	PLANNING DESIGN REVIEW
23	12/17	PLANNING DESIGN REVIEW
24	01/18	PLANNING DESIGN REVIEW
25	02/18	PLANNING DESIGN REVIEW
26	03/18	PLANNING DESIGN REVIEW
27	04/18	PLANNING DESIGN REVIEW
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29	06/18	PLANNING DESIGN REVIEW
30	07/18	PLANNING DESIGN REVIEW
31	08/18	PLANNING DESIGN REVIEW
32	09/18	PLANNING DESIGN REVIEW
33	10/18	PLANNING DESIGN REVIEW
34	11/18	PLANNING DESIGN REVIEW
35	12/18	PLANNING DESIGN REVIEW
36	01/19	PLANNING DESIGN REVIEW
37	02/19	PLANNING DESIGN REVIEW
38	03/19	PLANNING DESIGN REVIEW
39	04/19	PLANNING DESIGN REVIEW
40	05/19	PLANNING DESIGN REVIEW
41	06/19	PLANNING DESIGN REVIEW
42	07/19	PLANNING DESIGN REVIEW
43	08/19	PLANNING DESIGN REVIEW
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46	11/19	PLANNING DESIGN REVIEW
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48	01/20	PLANNING DESIGN REVIEW
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57	10/20	PLANNING DESIGN REVIEW
58	11/20	PLANNING DESIGN REVIEW
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60	01/21	PLANNING DESIGN REVIEW
61	02/21	PLANNING DESIGN REVIEW
62	03/21	PLANNING DESIGN REVIEW
63	04/21	PLANNING DESIGN REVIEW
64	05/21	PLANNING DESIGN REVIEW
65	06/21	PLANNING DESIGN REVIEW
66	07/21	PLANNING DESIGN REVIEW
67	08/21	PLANNING DESIGN REVIEW
68	09/21	PLANNING DESIGN REVIEW
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70	11/21	PLANNING DESIGN REVIEW
71	12/21	PLANNING DESIGN REVIEW
72	01/22	PLANNING DESIGN REVIEW
73	02/22	PLANNING DESIGN REVIEW
74	03/22	PLANNING DESIGN REVIEW
75	04/22	PLANNING DESIGN REVIEW
76	05/22	PLANNING DESIGN REVIEW
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80	09/22	PLANNING DESIGN REVIEW
81	10/22	PLANNING DESIGN REVIEW
82	11/22	PLANNING DESIGN REVIEW
83	12/22	PLANNING DESIGN REVIEW
84	01/23	PLANNING DESIGN REVIEW
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86	03/23	PLANNING DESIGN REVIEW
87	04/23	PLANNING DESIGN REVIEW
88	05/23	PLANNING DESIGN REVIEW
89	06/23	PLANNING DESIGN REVIEW
90	07/23	PLANNING DESIGN REVIEW
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97	02/24	PLANNING DESIGN REVIEW
98	03/24	PLANNING DESIGN REVIEW
99	04/24	PLANNING DESIGN REVIEW
100	05/24	PLANNING DESIGN REVIEW

PROJECT #	1001
DATE	03/16
DESIGNED BY	JA
CHECKED BY	JA
CONVERTED TO 2014 PROJECT ARCHITECTURE	JA
44648 SAUSALITO	
DEMOLITION PLANS	
2AD100	
SHEET 31	OF 35

DEMOLITION PLAN KEY NOTES	DEMOLITION PLAN GENERAL NOTES
01 - (E) POSTITS TO BE REMOVED TYP	REFER TO DEMOLITION NOTES, DIVISION 1, SHT. 3001, FOR DEMOLITION REQUIREMENTS.
02 - EXISTING GRADE BWTG TO REMAIN	
03 - (E) RETAIN WALL TO REMAIN	
04 - (E) FURNACE TO BE REMOVED	
05 - (E) WATER HEATER TO BE REMOVED	
06 - REMOVE ADDITION BUILDING WING	
07 - (E) TWO DECKSTAIRS TO BE REMOVED	
08 - REMOVE (E) FLOOR & ROCK BELOW STRUCTURE FOR LEVEL (N) LEVEL FLOOR SURFACE	
	DEMOLITION PLAN SYMBOLS LEGEND
	(E) EXTERIOR WALL TO REMAIN
	(E) INTERIOR WALL TO REMAIN
	(E) WALL TO BE DEMOLISHED
	ELEMENTS SHOWN DASHED TO BE REMOVED
	KEY NOTE CALLOUT - SEE DEMOLITION PLAN KEY NOTES BELOW



MARK	DATE	DESCRIPTION
	5/17/16	PLANNING DESIGN REVIEW
	6/05/17	PLANNING DESIGN REVIEW
	10/14/16	PLANNING DESIGN REVIEW
	6/16/16	PLANNING DESIGN REVIEW
	6/07/16	PLANNING DESIGN REVIEW
	4/20/16	PLANNING DESIGN REVIEW
	3/09/16	PLANNING DESIGN REVIEW

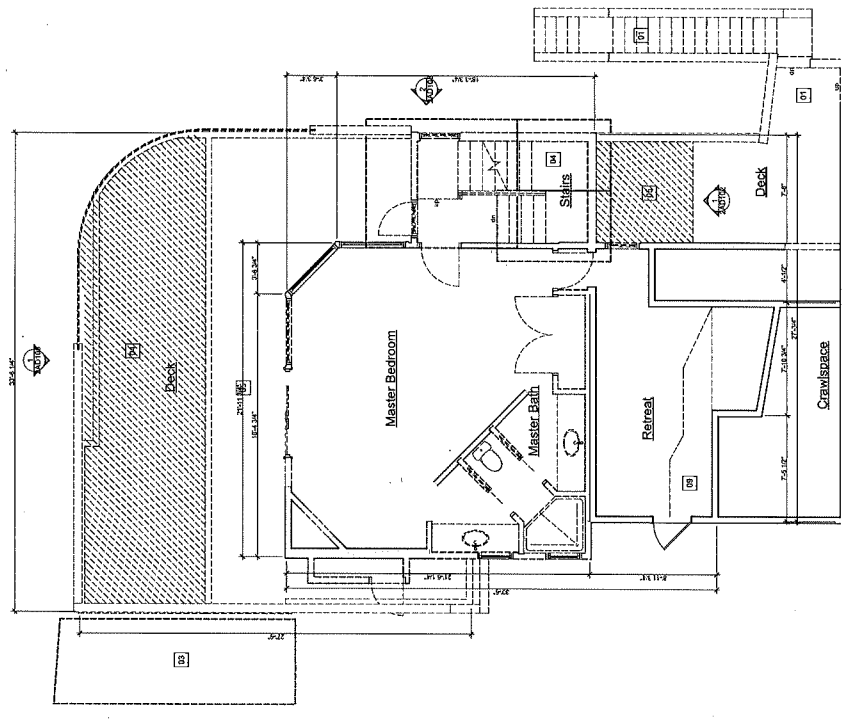
PROJECT #	1480
DATE FILED	1/14/16
DATE CHECKED	1/14/16
CHECKED BY	JM
DATE	1/14/16
BY	JM
PROJECT #	1480
DATE FILED	1/14/16
DATE CHECKED	1/14/16
CHECKED BY	JM
DATE	1/14/16
BY	JM

446/448 SAUSALITO
DEMOLITION PLANS

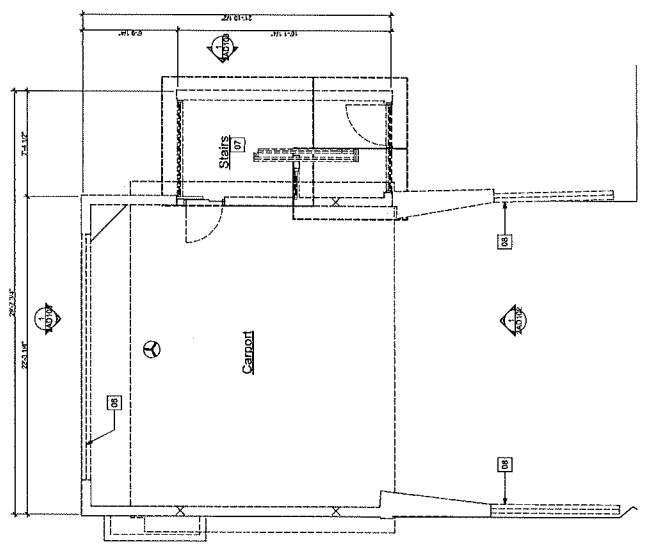
2AD101

SHEET 22 OF 38

DEMOLITION PLAN KEY NOTES	DEMOLITION PLAN GENERAL NOTES
01 - (E) W/DC DECKSTAIRS/RAILINGS TO BE REMOVED 02 - REMOVE (E) STAIRWELL 03 - REMOVE ADDITION BUILDING WING 04 - PORTION OF (E) DECK TO BE REMOVED 05 - PORTION OF DECK TO REMAIN (RAILINGS TO BE REMOVED) - SEE NEW PLANS 07 - REMOVE (E) STAIR TOWER 08 - REMOVE (E) RAILING @ CAR DECK 09 - REMOVE (E) FLOOR & ROCK BELOW STRUCTURE FOR LEVEL (N) LEVEL FLOOR SURFACE	REFER TO "DEMOLITION NOTES" DIVISION 1, SHT. 0401, FOR DEMOLITION REQUIREMENTS. DEMOLITION PLAN SYMBOLS LEGEND (E) EXTERIOR WALL TO REMAIN (I) INTERIOR WALL TO REMAIN (E) WALL TO BE DEMOLISHED ELEMENTS SHOWN DASHED TO BE REMOVED KEY NOTE CALLOUT - SEE DEMOLITION PLAN KEY NOTES BELOW



446 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



CARPORT DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

ISSUES	DATE	DESCRIPTION
	3/30/16	PLANNING DESIGN REVIEW
	4/20/16	PLANNING DESIGN REVIEW
	6/07/16	PLANNING DESIGN REVIEW
	8/16/16	PLANNING DESIGN REVIEW
	10/14/16	PLANNING DESIGN REVIEW
	04/05/17	PLANNING DESIGN REVIEW
	6/11/16	PLANNING DESIGN REVIEW

PROJECT #:	5431
CAD FILE:	Moby Residence New Crest
DRAWN BY:	MA

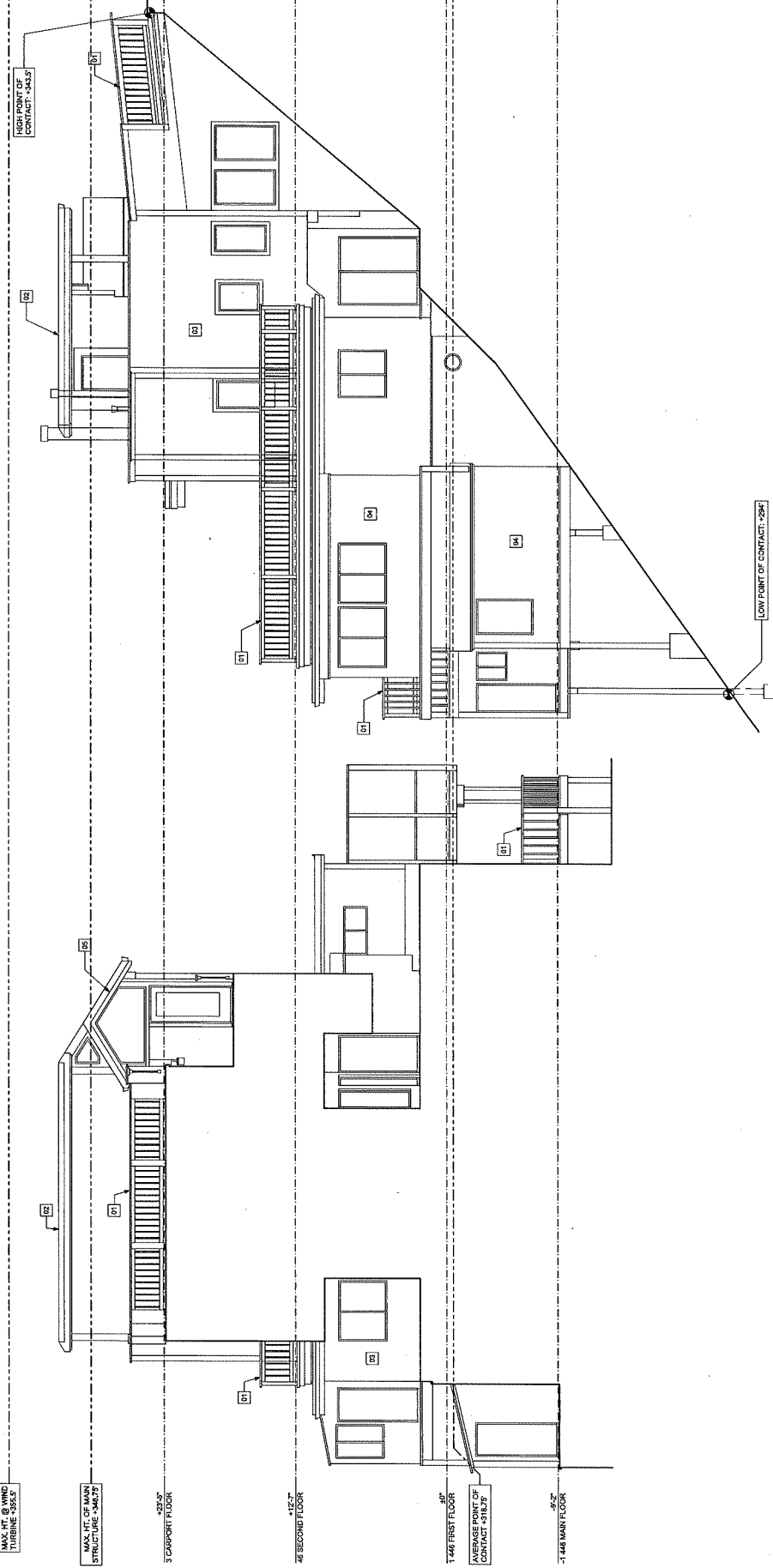
446/448 SAUSALITO
EXISTING ELEVATIONS

EXISTING WEST ELEVATION

4-11

EXISTING SOUTH ELEVATION

10

MAX. HT. OF CARPORT &
ACCESS PER MUN. CODE

MAX. HT. @ WIND
TURBINE +355.5'

MAX. HT. OF MAIN
STRUCTURE + 349.75'+23'-5"
CARPORT FLOOR

+12.7"

+0" 446 FIRST FLOOR

AVERAGE POINT OF
CONTACT: 0.48 TC

-9'-2"
-1 448 MAIN FLOOR

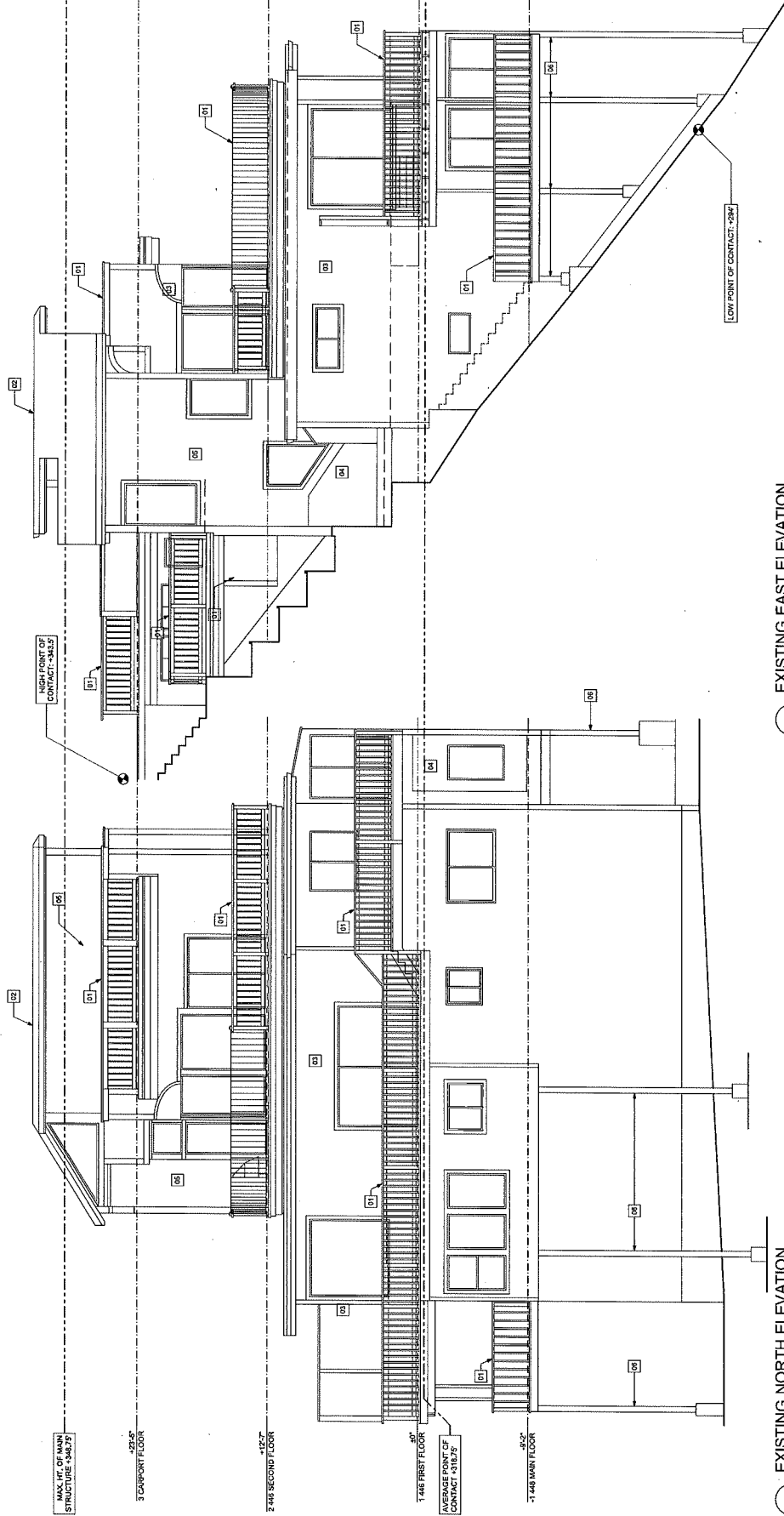
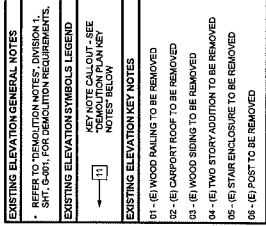
ISSUES	DATE	MARK
DESCRIPTION		
PLANNING DESIGN REVIEW	30/8/16	
PLANNING DESIGN REVIEW	4/20/16	
PLANNING DESIGN REVIEW	6/07/16	
PLANNING DESIGN REVIEW	8/16/16	
PLANNING DESIGN REVIEW	10/14/16	
PLANNING DESIGN REVIEW	4/05/17	
PLANNING DESIGN REVIEW	6/1/16	

PROJECT #:	1401
CAD FILE:	Habitat Replication New Crested
DRAWN BY:	MA
CHECKED BY:	JAI

**446/448 SAUSALITO
EXISTING ELEVATIONS**

2AD103

SHEET 34 OF 38



2 EXISTING EAST ELEVATION

1 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"

MARK	DATE	DESCRIPTION
1	6/11/16	PLANNING DESIGN REVIEW
2	6/11/16	PLANNING DESIGN REVIEW
3	6/11/16	PLANNING DESIGN REVIEW
4	6/11/16	PLANNING DESIGN REVIEW
5	6/11/16	PLANNING DESIGN REVIEW
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FLOOR PLAN GENERAL NOTES

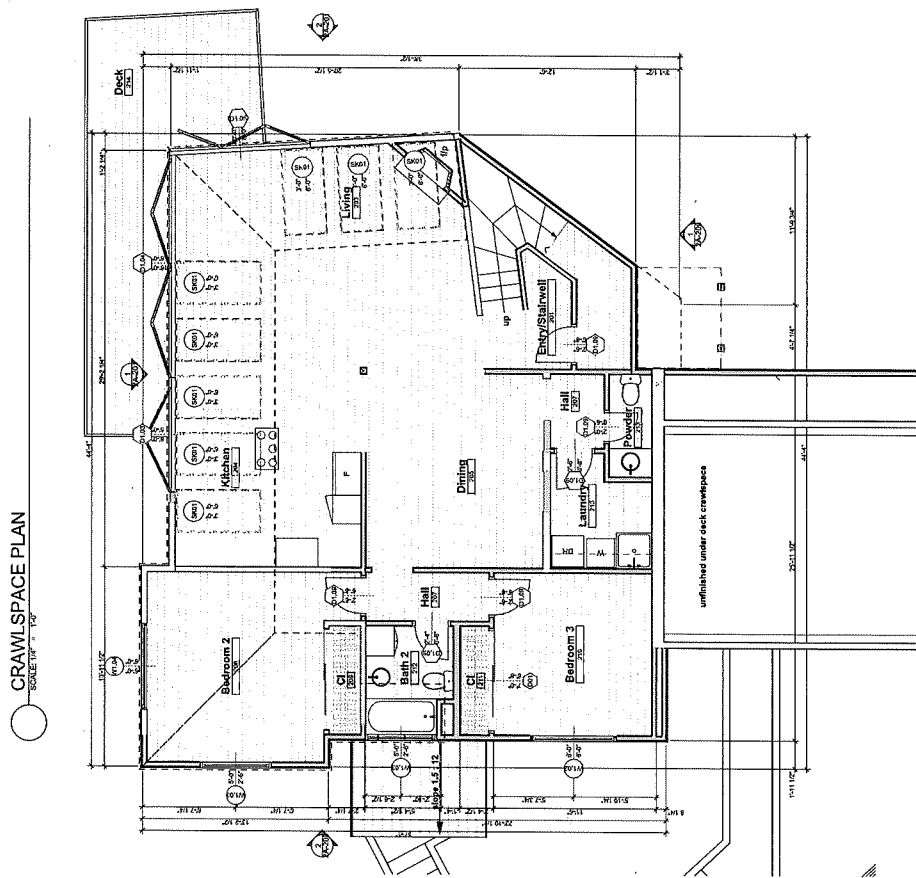
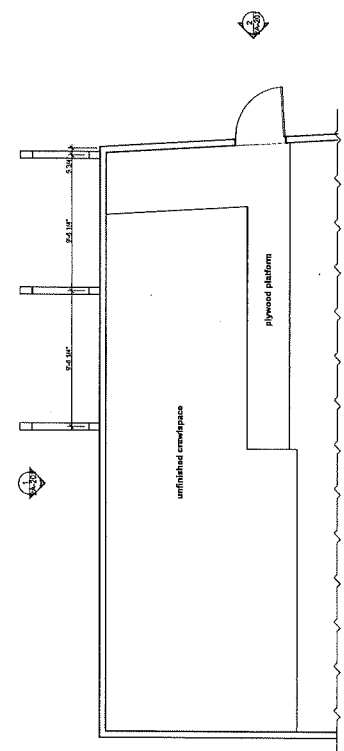
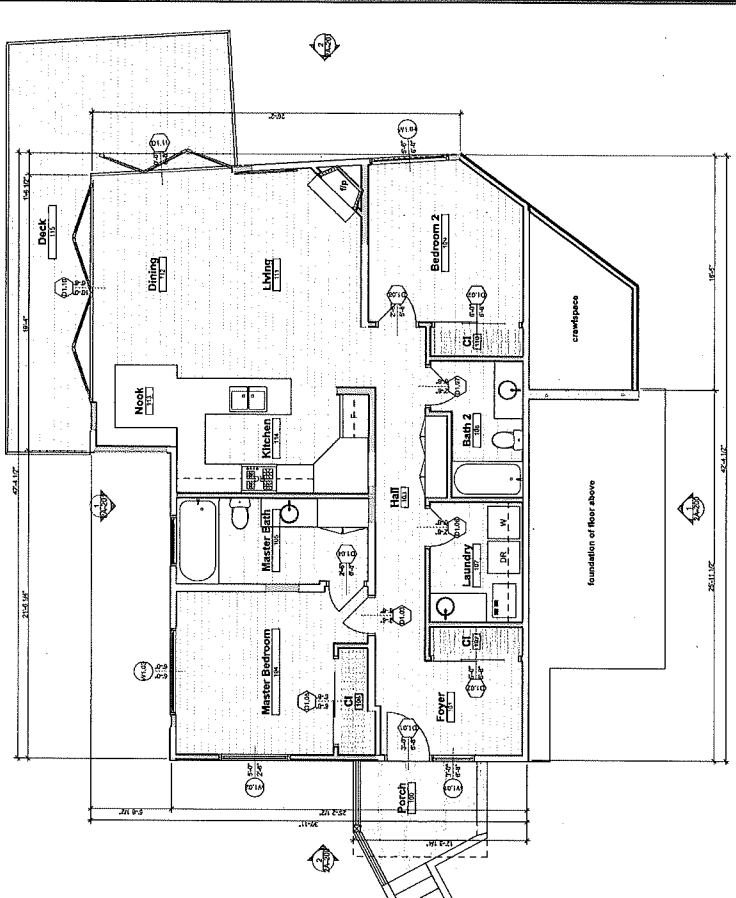
- REFER TO GENERAL NOTES SET 404 & 405 FOR FURTHER INFORMATION.
- SEE STRUCTURAL PLANS

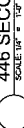
FLOOR PLAN SYMBOLS LEGEND

- KEY NOTE CALLOUT - SEE GENERAL NOTES BELOW
- 1-1 - DWG. # - ELEVATION CALLOUT
- 2-2 - DWG. # - SECTION CALLOUT
- 3-3 - DWG. # - DETAIL CALLOUT

FLOOR PLAN SYMBOLS LEGEND

- (E) EXTERIOR CONCRETE/BRICK WALL
- (I) INTERIOR WOOD FRAMED WALL
- (N) 2x4 WOOD FRAMED WALL - SEE STRUCTURAL PLANS
- NEW WINDOW CALLOUT - SEE WINDOW SCHEDULE, SHT. 406
- NEW DOOR CALLOUT - SEE WINDOW SCHEDULE, SHT. 406





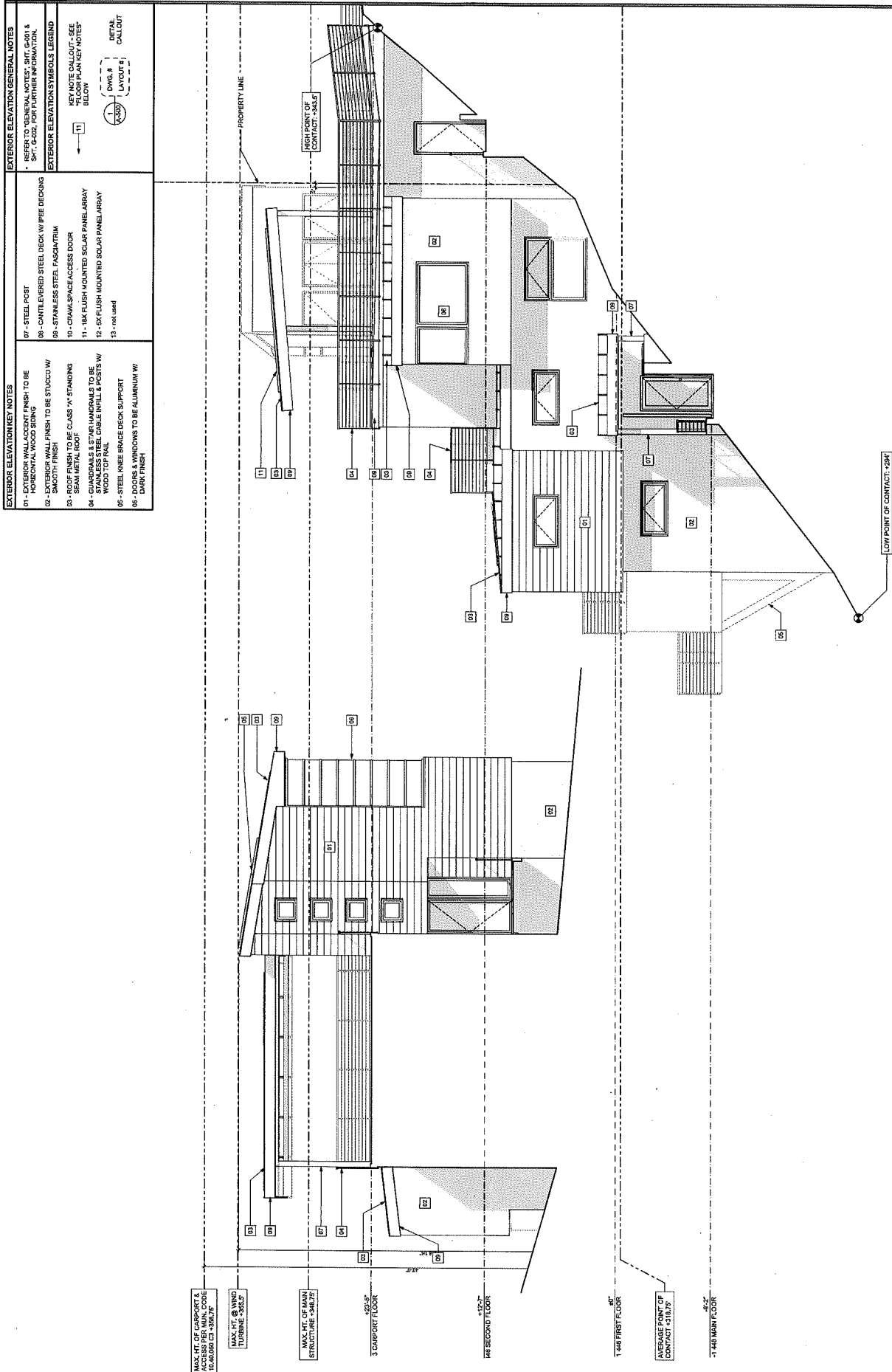
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		10/11/16	PLANNING DESIGN REVIEW
		04/05/17	PLANNING DESIGN REVIEW
		6/1/18	PLANNING DESIGN REVIEW

PROJECT #:	1401
CAD FILE:	
DRAWN BY:	MA
CHECKED BY:	JL

**446/448 SAUSALITO
EXTERIOR ELEVATIONS**

2A-200

SHEET 37 OF 38



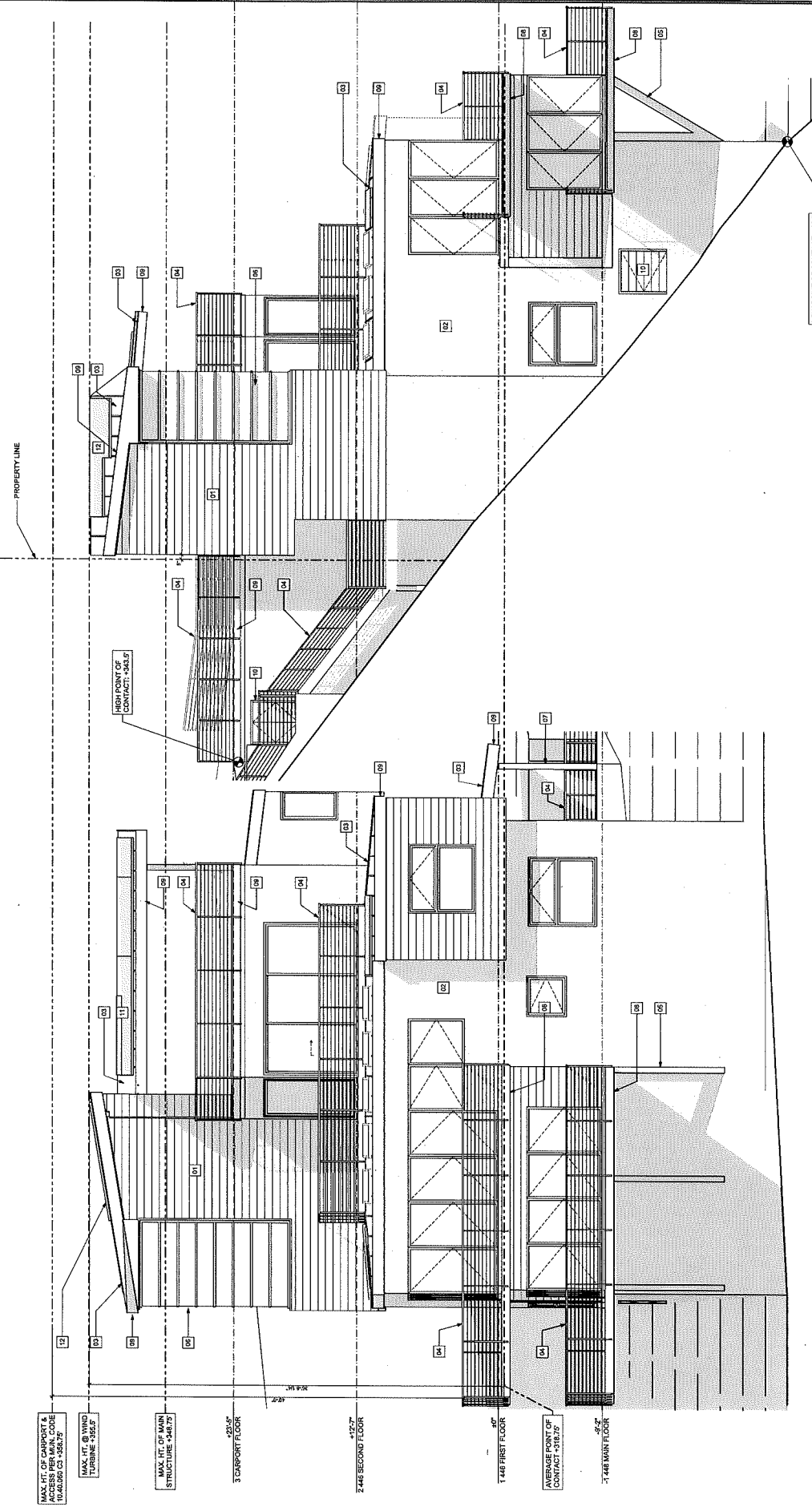
WEST ELEVATION

1 SOUTH ELEVATION

MARK	DATE	DESCRIPTION
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	04/05/17	PLANNING DESIGN REVIEW
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	07/16/16	PLANNING DESIGN REVIEW
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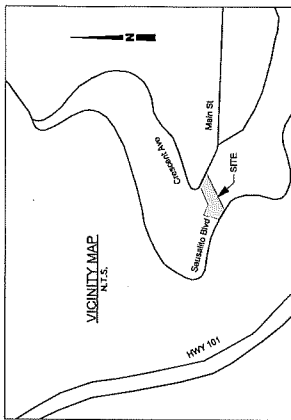
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DATE FILED	04/05/17
DESIGNED BY	MA
CHECKED BY	MA
DATE	04/05/17
PROJECT	446 Sausalito Blvd
CLIENT	David Holub
ARCHITECT	McCOY ARCHITECTURE
2A-201	
SHEET 38	OF 38

EXTERIOR ELEVATION KEY NOTES	EXTERIOR ELEVATION GENERAL NOTES
01 - EXTERIOR WALL ACCENT FINISH TO BE STUCCO W/ WOOD GRAIN PATTERN	07 - STEEL POST
02 - EXTERIOR WALL FINISH TO BE STUCCO W/ SMOOTH FINISH	08 - CANTILEVERED STEEL DECK W/ PEE DECKING
03 - ROOF FINISH TO BE GLASS 1/4" STANDING SEAM METAL ROOF	09 - STAINLESS STEEL PASCATINUM
04 - GUARDRAILS & STAIR HANDRAILS TO BE STAINLESS STEEL CABLE INFILL & POSTS W/ WOOD TOP RAIL	10 - CRANK SPACE ACCESS DOOR
05 - STEEL KNEE BRACE DECK SUPPORT DARK FINISH	11 - 18X FLUSH MOUNTED SOLAR PANEL ARRAY
	12 - 5X FLUSH MOUNTED SOLAR PANEL ARRAY
	13 - not used



2 EAST ELEVATION
SCALE 1/4" = 1'-0"

1 NORTH ELEVATION
SCALE 1/4" = 1'-0"



TENTATIVE PARCEL MAP
446/448 SAUSALITO BLVD AND 77 CRESCENT AVE
A CONDOMINIUM PROJECT

BEING A PORTION OF LOT 107
3 R.M. 86
CITY OF SAUSALITO COUNTY OF MARIN CALIFORNIA

SCALE: 1" = 10' DATE: JANUARY 2016

STEVE FLATLAND LAND SURVEYOR
P.O. BOX 1837 SAN ANSELMO, CA
PH: (415) 457-5081

RECORD OWNER/SUBDIVIDER: DAVID HOLUB
446 SAUSALITO BLVD.
SAUSALITO, CA 94965

TAM-1

LEGAL DESCRIPTION:

The land referred to is situated in the County of Marin, City of Sausalito, State of California, and is described as follows:

3.

2. THE PARCEL IS A CONDOMINIUM PROJECT AS THAT TERM IS DEFINED IN SECTION 1351 OF THE CALIFORNIA CIVIL CODE AND THE SUBDIVISION DEPICTED HEREIN IS SUBJECT TO THE PROVISIONS OF THE DAVIS-STIRLING COMMON INTEREST DEVELOPMENT ACT, TITLE 6 PART 4, DIVISION 2 OF THE CALIFORNIA CIVIL CODE.

3. A CONDOMINIUM PLAN AND DECLARATION OF COVENANTS CONDITIONS AND RESTRICTIONS WILL BE RECORDED SUBSEQUENT TO THE RECORDING OF THIS PARCEL MAP.

BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY IS S 15° 55' 37" E BETWEEN FOUND NAIL WITH BRASS TAG, L.S. 2897, AND FOUND NAIL WITH BRASS TAG, R.C.E. 11545. PER 2002 O.S. 97.

MARIN COUNTY RECORDS.

DOCUMENT REFERENCES:

R1 SUBDIVISION MAP, 3 R.M. 66
R2 RECORD OF SURVEY, 2002 O.S. 97

thence continuing along said Southeastly line of 25.62 feet to the TRUE POINT OF BEGINNING, N 86° 34' 30" E, a distance of 55.77 feet to the most Northeastly corner of said Lands of Davey; thence along the Northeastly line of said Lands of Davey, N 85° 06' 24" W, a distance of 41.00 feet; thence leaving said Northeastly line, S 19° 31' 44" W, a distance of 41.84 feet to the TRUE POINT OF BEGINNING.

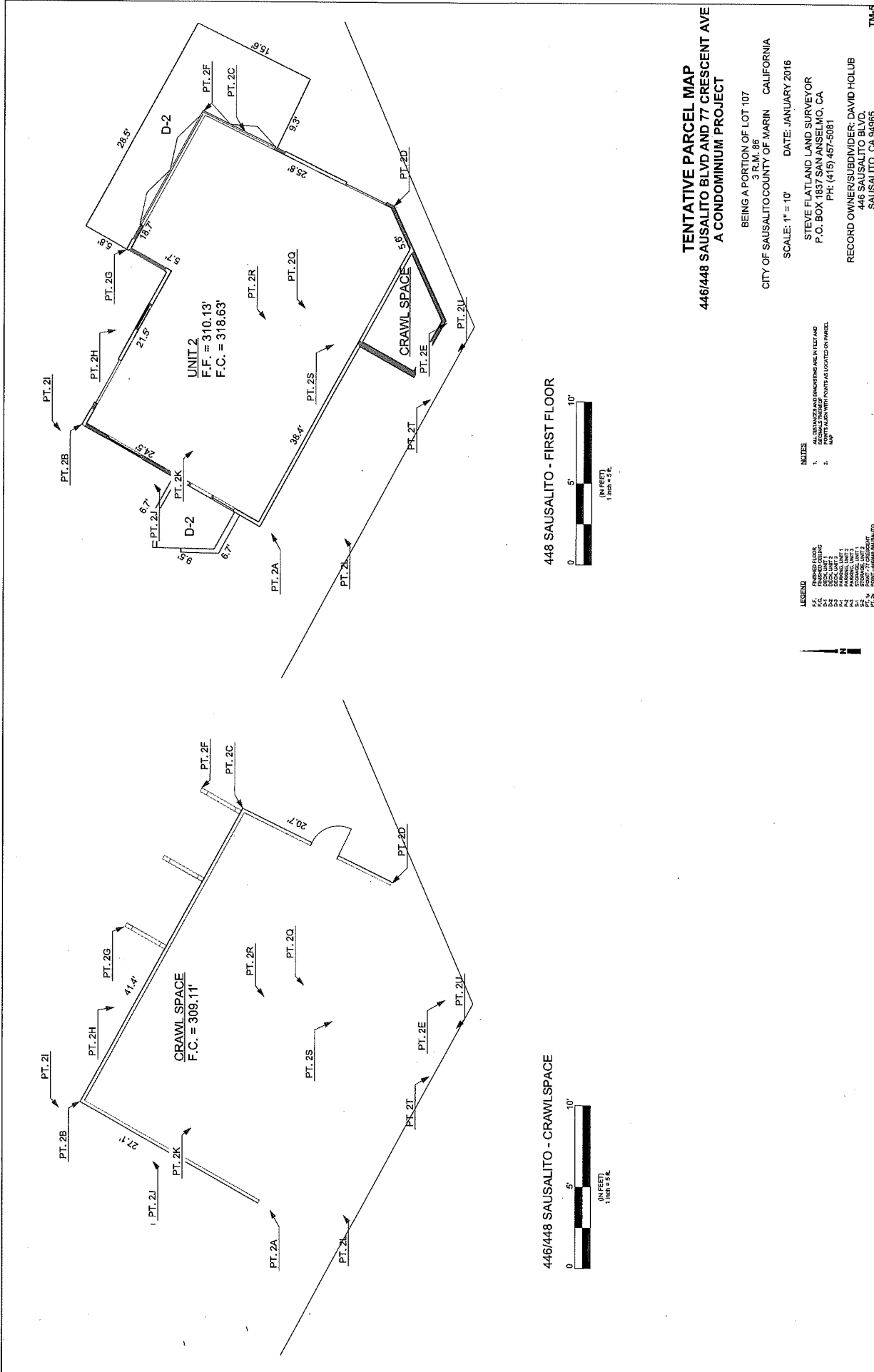
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LEGEND	
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F.C.	FINISHED CEILING
D-1	DECK, UNIT 1
D-2	DECK, UNIT 2
D-3	DECK, UNIT 3
P-1	PARKING, UNIT 1
P-2	PARKING, UNIT 2
P-3	PARKING, UNIT 3
S-1	STORAGE, UNIT 1
S-2	STORAGE, UNIT 2
PT. 1x	POINT - 77 CRESCENT
PT. 2x	POINT - 446/448 94th



LEGEND

F.F.	FINISHED FLOOR
F.C.	FINISHED CEILING
D-1	DECK, UNIT 1
D-2	DECK, UNIT 2
D-3	DECK, UNIT 3
P-1	PARKING, UNIT 1
P-2	PARKING, UNIT 2
P-3	PARKING, UNIT 3
S-1	STORAGE, UNIT 1
S-2	STORAGE, UNIT 2
S-3	STORAGE, UNIT 3
Pt. 1	POINT - 77 CRESCENT
Pt. 2	POINT - 4404th SAUSALITA



TENTATIVE PARCEL MAP
446/448 SAUSALITO BLVD AND 77 CRESCENT AVE
A CONDOMINIUM PROJECT

BEING A PORTION OF LOT 107
3 R.M. 38
CITY OF SAUSALITO COUNTY OF MARIN CALIFORNIA
SCALE: 1" = 10' DATE: JANUARY 2016
STEVE FLATLAND LAND SURVEYOR
P.O. BOX 1837 SAN ANSELMO, CA
PH: (415) 457-5081
RECORD OWNER/SUBDIVIDER: DAVID HOLUB
446 SAUSALITO BLVD.
SAUSALITO, CA 94965

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448 SAUSALITO - FIRST FLOOR

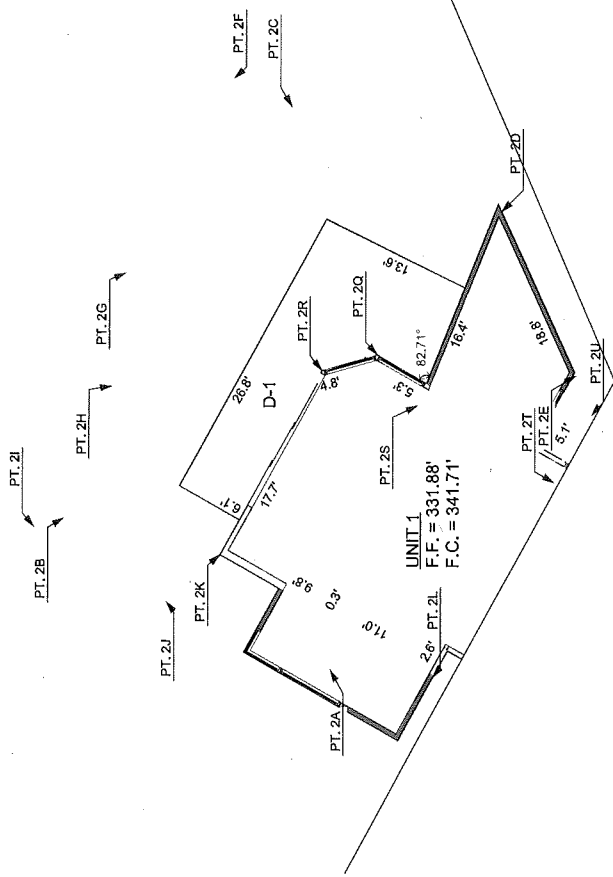
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(IN FEET)
1 inch = 5 ft.

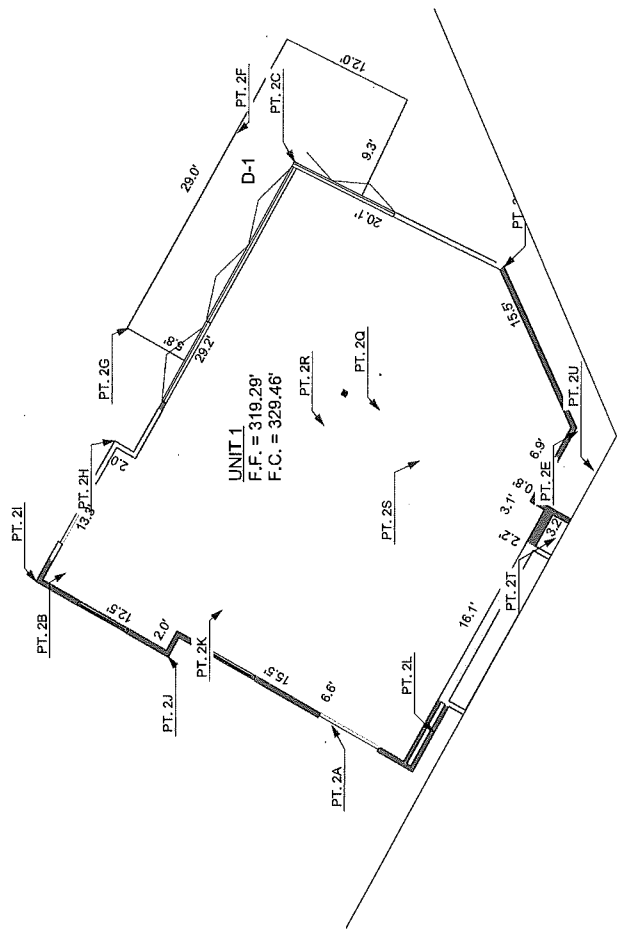
446/448 SAUSALITO - CRAWL SPACE

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(IN FEET)
1 inch = 5 ft.



446 SAUSALITO - SECOND FLOOR



446 SAUSALITO - FIRST FLOOR



TENTATIVE PARCEL MAP
446/448 SAUSALITO BLVD AND 77 CRESCENT AVE
A CONDOMINIUM PROJECT

BEING A PORTION OF LOT 107
3 R.M. 86
CITY OF SAUSALITO COUNTY OF MARIN CALIFORNIA
SCALE: 1" = 10' DATE: JANUARY 2016
STEVE FLATLAND LAND SURVEYOR
P.O. BOX 1837 SAN ANSELMO, CA
PH: (415) 457-5081
RECORD OWNERS/DIVIDDER: DAVID HOLUB
446 SAUSALITO BLVD.
SAUSALITO, CA 94965

- LEGEND**
- 1. EXISTING BUILDING
 - 2. PROPOSED BUILDING
 - 3. EXISTING DRIVE
 - 4. PROPOSED DRIVE
 - 5. EXISTING SIDEWALK
 - 6. PROPOSED SIDEWALK
 - 7. EXISTING PARKING
 - 8. PROPOSED PARKING
 - 9. EXISTING UTILITY
 - 10. PROPOSED UTILITY
 - 11. EXISTING FENCE
 - 12. PROPOSED FENCE
 - 13. EXISTING WALL
 - 14. PROPOSED WALL
 - 15. EXISTING CURB
 - 16. PROPOSED CURB
 - 17. EXISTING GROUND
 - 18. PROPOSED GROUND
 - 19. EXISTING PLANT
 - 20. PROPOSED PLANT
 - 21. EXISTING SIGN
 - 22. PROPOSED SIGN
 - 23. EXISTING LIGHT
 - 24. PROPOSED LIGHT
 - 25. EXISTING POLE
 - 26. PROPOSED POLE
 - 27. EXISTING TOWER
 - 28. PROPOSED TOWER
 - 29. EXISTING STRUCTURE
 - 30. PROPOSED STRUCTURE
 - 31. EXISTING EQUIPMENT
 - 32. PROPOSED EQUIPMENT
 - 33. EXISTING MATERIAL
 - 34. PROPOSED MATERIAL
 - 35. EXISTING FINISH
 - 36. PROPOSED FINISH
 - 37. EXISTING COLOR
 - 38. PROPOSED COLOR
 - 39. EXISTING TEXTURE
 - 40. PROPOSED TEXTURE
 - 41. EXISTING PATTERN
 - 42. PROPOSED PATTERN
 - 43. EXISTING SHAPE
 - 44. PROPOSED SHAPE
 - 45. EXISTING SIZE
 - 46. PROPOSED SIZE
 - 47. EXISTING WEIGHT
 - 48. PROPOSED WEIGHT
 - 49. EXISTING LENGTH
 - 50. PROPOSED LENGTH
 - 51. EXISTING WIDTH
 - 52. PROPOSED WIDTH
 - 53. EXISTING HEIGHT
 - 54. PROPOSED HEIGHT
 - 55. EXISTING DEPTH
 - 56. PROPOSED DEPTH
 - 57. EXISTING VOLUME
 - 58. PROPOSED VOLUME
 - 59. EXISTING AREA
 - 60. PROPOSED AREA
 - 61. EXISTING PERIMETER
 - 62. PROPOSED PERIMETER
 - 63. EXISTING SURFACE
 - 64. PROPOSED SURFACE
 - 65. EXISTING INTERIOR
 - 66. PROPOSED INTERIOR
 - 67. EXISTING EXTERIOR
 - 68. PROPOSED EXTERIOR
 - 69. EXISTING BASE
 - 70. PROPOSED BASE
 - 71. EXISTING TOP
 - 72. PROPOSED TOP
 - 73. EXISTING BOTTOM
 - 74. PROPOSED BOTTOM
 - 75. EXISTING MIDDLE
 - 76. PROPOSED MIDDLE
 - 77. EXISTING END
 - 78. PROPOSED END
 - 79. EXISTING JUNCTION
 - 80. PROPOSED JUNCTION
 - 81. EXISTING CORNER
 - 82. PROPOSED CORNER
 - 83. EXISTING EDGE
 - 84. PROPOSED EDGE
 - 85. EXISTING FACE
 - 86. PROPOSED FACE
 - 87. EXISTING SURFACE
 - 88. PROPOSED SURFACE
 - 89. EXISTING INTERIOR
 - 90. PROPOSED INTERIOR
 - 91. EXISTING EXTERIOR
 - 92. PROPOSED EXTERIOR
 - 93. EXISTING BASE
 - 94. PROPOSED BASE
 - 95. EXISTING TOP
 - 96. PROPOSED TOP
 - 97. EXISTING BOTTOM
 - 98. PROPOSED BOTTOM
 - 99. EXISTING MIDDLE
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 - 103. EXISTING JUNCTION
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 - 210. PROPOSED INTERIOR
 - 211. EXISTING EXTERIOR
 - 212. PROPOSED EXTERIOR
 - 213. EXISTING BASE

