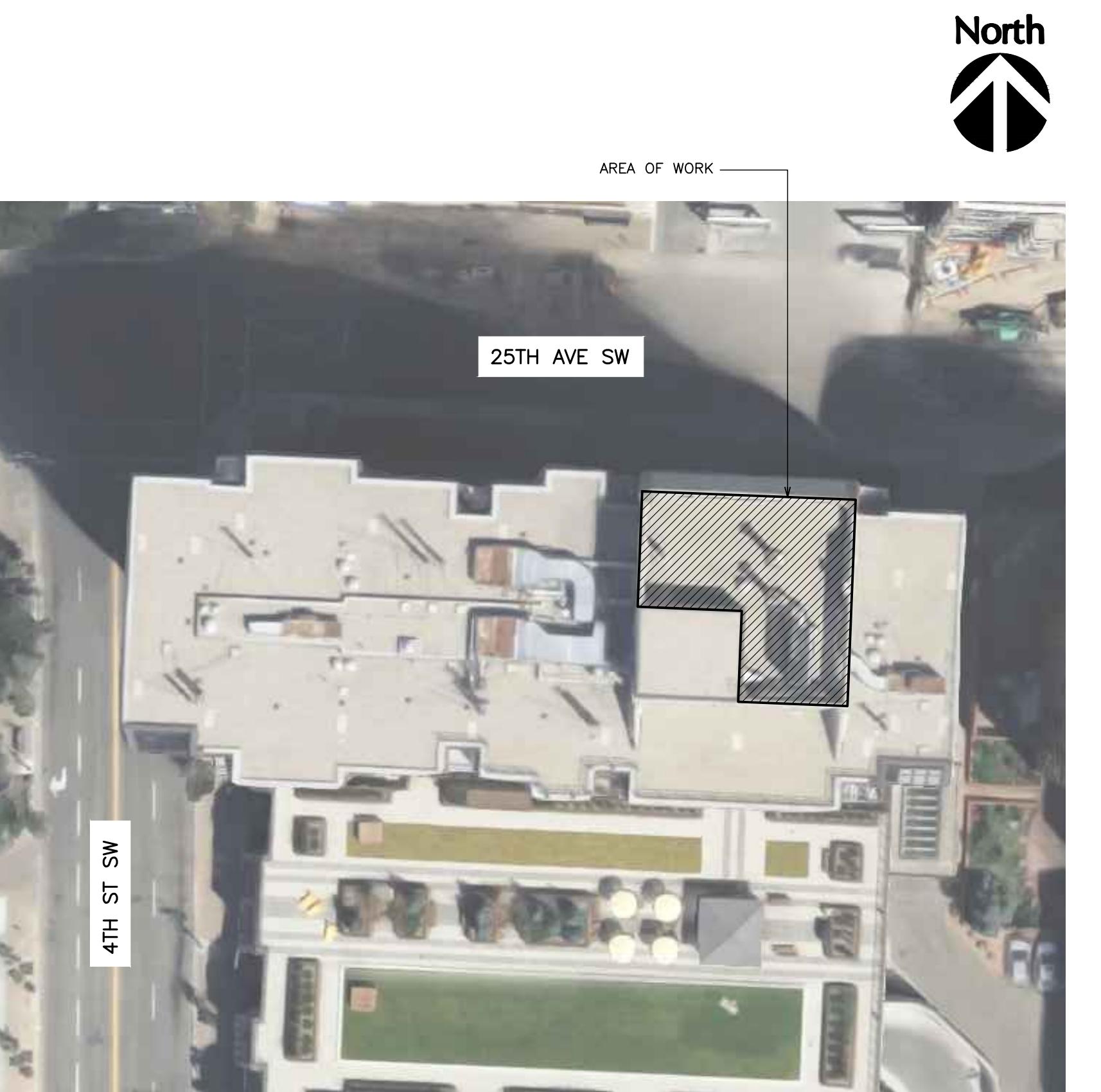


## PRELIMINARY NOT FOR CONSTRUCTION



**KEY PLAN**  
R1.0  
N.T.S.



ROUGH CARPENTRY	LIST OF DRAWINGS
<ol style="list-style-type: none"> <li>ALL DIMENSIONAL LUMBER TO SURFACED FOUR SIDES ("SFS").</li> <li>PLYWOOD TO BE DOUGLAS FIR SHEATHING GRADE.</li> <li>MOISTURE CONTENT OF ALL TIMBER ELEMENTS SHALL NOT EXCEED 19% AT THE TIME OF CONSTRUCTION OR FABRICATION.</li> <li>ALL FASTENERS AND CONNECTION HARDWARE THROUGH PRESERVATIVE TREATED MATERIALS OR OUTSIDE OF THE MOISTURE BARRIER TO BE HOT DIPPED GALVANIZED OR STAINLESS STEEL AS SPECIFIED.</li> <li>WOOD FRAMING IN CONTACT WITH CONCRETE TO BE PRESERVATIVE TREATED TO CAN/CSA O80.</li> </ol>	<p>R1.0 - GENERAL NOTES AND KEY PLAN R2.0 - ROOF LAYOUT AND ASSEMBLIES R3.0 - TYPICAL SECTIONS AND DETAILS R3.1 - TYPICAL SECTIONS AND DETAILS R3.2 - TYPICAL SECTIONS AND DETAILS</p>
<b>DRAWINGS</b>	
<p>1. THIS SET OF DRAWINGS SHOWS THE COMPLETED PROJECT. THE DRAWINGS DO NOT SHOW COMPONENTS THAT MAY BE NECESSARY FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SAFETY IN AND ABOUT THE JOB SITE DURING CONSTRUCTION AND DESIGN AND ERECTION OF ALL TEMPORARY STRUCTURES, FORMWORK, FALSE WORK, SHORING, ETC. REQUIRED TO COMPLETE THE WORK.</p> <p>2. THE USE OF THESE DRAWINGS IS LIMITED TO THAT IDENTIFIED IN THE REVISIONS COLUMN. DO NOT CONSTRUCT FROM THESE DRAWINGS UNLESS MARKED "ISSUED FOR CONSTRUCTION" IN THE REVISIONS COLUMN, BY READ JONES CHRISTOFFERSEN LTD. THE DRAWINGS SHALL NOT BE USED FOR PRICING, COSTING, OR TENDER UNLESS SO INDICATED IN THE REVISION COLUMN. PRICING OR COSTING DRAWINGS ARE NOT COMPLETE AND ANY PRICES BASED ON PRICING OR COSTING DRAWINGS MUST INCLUDE ALLOWANCES FOR THIS.</p> <p>3. THE INFORMATION ON THESE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PROJECT OR WORKS. THE INFORMATION ON THESE DRAWINGS APPLIES SOLELY TO THIS PROJECT.</p> <p>4. GENERAL NOTES SHALL BE READ IN CONJUNCTION WITH THE TYPICAL DETAILS AND PROJECT SPECIFICATIONS.</p>	
<b>MASONRY RESTORATION NOTES</b>	
<ol style="list-style-type: none"> <li>MASONRY WORK TO CSA A371-14 AND ITS REFERENCED DOCUMENTS.</li> <li>BRICK REMOVAL: THE INTENT IS TO REMOVE BRICKS AND MINIMIZE DAMAGE. CUT OUT EXPOSED MORTAR WITH DIAMOND BLADE CUTTERS AND ROTATE SW. WASH MORTAR FROM BRICK USING A DILUTED MURATIC ACID WASH. CAREFULLY DISMANTLE, CLEAN, AND STORE BRICKS FOR RE-USE. UNDER NO CIRCUMSTANCES SHALL JACKHAMMER OR CHISEL BE USED TO REMOVE MASONRY.</li> <li>NEW BRICK REPLACEMENT IF REQUIRED:             <ol style="list-style-type: none"> <li>CLAY BRICK: TO CSA-A82, TO MATCH EXISTING BRICK</li> <li>GRADE: SW</li> <li>COMPRESSIVE STRENGTH: 30MPa MIN.</li> <li>SIZE: TO MATCH EXISTING</li> <li>CLOUR AND TEXTURE: TO MATCH EXISTING, APPROVED BY OWNER</li> </ol> </li> <li>MORTAR MATERIALS:             <ul style="list-style-type: none"> <li>MORTAR MATERIALS SHALL CONFORM TO CSA-A179.</li> <li>PORTLAND CEMENT TO CAN3-A5 TYPE 10.</li> <li>HYDRATED LIME TO CSA-A179, TYPE N.</li> <li>MORTAR COLOUR ADMIXTURES: METALLIC OXIDE PIGMENTS. COLOUR WILL BE SELECTED BY CONSULTANT FROM MANUFACTURERS STANDARD RANGE. PIGMENTS SHALL NOT EXCEED 10-15% BY WEIGHT OF CEMENT CONTENT.</li> <li>MORTAR AGGREGATE: WASHED, CLEAN, SHARP AND FREE OF ORGANIC MATERIALS AND CONFORM TO CSA A82.36.</li> <li>WATER: POTABLE, FREE OF DELETERIOUS MATTER AND ACIDS AND ALKALIS.</li> <li>ADMIXTURES FOR MORTAR SHALL NOT BE USED WITHOUT WRITTEN APPROVAL FROM CONSULTANT.</li> <li>POINTING MORTAR: PREMIXED, TO REQUIREMENTS OF THIS SECTION, COLOUR MATCH EXISTING, ALL AGGREGATE PASSING 1.18mm SIEVE.</li> <li>MIX MORTAR IN ACCORDANCE WITH CSA-A179, USING MAXIMUM AMOUNT OF WATER CONSISTENT WITH WORKABILITY. PROVIDE MINIMUM COMPRESSIVE STRENGTH AFTER 28 DAYS OF 5 MPa (TYPE N) MORTAR FOR ALL MASONRY CONSTRUCTION. DO NOT RE-TEMPER MORTAR.</li> </ul> </li> <li>PROVIDE PLASTIC OR GALVANIZED STEEL WEEP/VENTS AT WEEP HOLES MINIMUM 600mm O/C.</li> <li>ENVIRONMENTAL REQUIREMENTS:             <ul style="list-style-type: none"> <li>MINIMUM 5 DEGREES CELSIUS PRIOR TO, DURING, AND 48 HOURS AFTER COMPLETION OF MASONRY WORK.</li> <li>MAXIMUM 32 DEGREES CELSIUS PRIOR TO, DURING, AND 48 HOURS AFTER COMPLETION OF MASONRY WORK.</li> <li>SEE SPECIFICATION SECTION 04 01 02 BRICK MASONRY RESTORATION REPAIRS FOR ADDITIONAL INFORMATION.</li> </ul> </li> </ol>	
<b>GENERAL</b>	
<ol style="list-style-type: none"> <li>SECTION MARK SHOWN THUS  MEANS SECTION #4 ON DRAWING R3.0.</li> <li>DO NOT CUT OR DRILL ANY OPENINGS IN STRUCTURAL MEMBERS WITHOUT WRITTEN PERMISSION OF RJC.</li> </ol>	
<b>DESIGN CODE</b>	
<p>1. THE COMPLETED BASE BUILDING STRUCTURE SHOWN ON THE STRUCTURAL DRAWINGS HAS BEEN DESIGNED IN SUBSTANTIAL ACCORDANCE WITH THE NATIONAL BUILDING CODE – 2023 ALBERTA EDITION WHICH IS BASED ON THE NATIONAL BUILDING CODE OF CANADA 2020.</p>	
<b>DESIGN LOADS</b>	
<p style="text-align: center;">LIVE SUPERIMPOSED LOAD DEAD LOAD (S.D.L.)</p> <p>A. MECHANICAL ROOM ROOF (AS NOTED ON  3.59 kPa 1.20 kPa AUTOCAD &amp; SUnderland STRUCTURAL DRAWINGS DATED NOV 7, 1977 MAIN ROOF AND MECH) DESIGN LOADS)</p>	
<b>FIELD REVIEW BY READ JONES CHRISTOFFERSEN (RJC)</b>	
<ol style="list-style-type: none"> <li>READ JONES CHRISTOFFERSEN PROVIDES FIELD REVIEW ONLY FOR THE WORK SHOWN ON THESE STRUCTURAL DRAWINGS. THIS REVIEW IS NOT A "FULL TIME" REVIEW BUT IS CONDUCTED WITH SUCH FREQUENCY AS RJC DEEMS APPROPRIATE TO OBSERVE VARIOUS STAGES OF THE WORK AND TO ASCERTAIN THAT THE WORK IS IN CONFORMITY WITH THE DESIGN AND DRAWINGS. DRAWINGS PREPARED BY READ JONES CHRISTOFFERSEN IS NOT CARRIED OUT FOR THE CONTRACTOR'S BENEFIT, NOR DOES IT MAKE READ JONES CHRISTOFFERSEN GUARANTORS OF THE CONTRACTOR'S WORK. IT REMAINS THE CONTRACTOR'S RESPONSIBILITY TO BUILD THE WORK CONFORMING WITH THE CONTRACT DOCUMENTS. RJC SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.</li> <li>RJC WILL REVIEW SHOP DRAWINGS PERTAINING TO WORK SHOWN ON RJC'S DRAWINGS. THE EXTENT OF THIS REVIEW IS AT THE SOLE DISCRETION OF RJC'S ENGINEER AND IS FOR THE SOLE PURPOSE OF ASCERTAINING GENERAL CONFORMANCE WITH THE STRUCTURAL DESIGN CONCEPT. THE REVIEW IS NOT AN APPROVAL OF THE DESIGN. DETAILED DESIGN INFORMATION IN THE SHOP DRAWINGS, RESPONSIBILITY FOR WHICH SHALL REMAIN WITH THE CONTRACTOR OR SUBCONTRACTOR SUBMITTING THEM. SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR'S OR SUBCONTRACTOR'S RESPONSIBILITY FOR ERRORS AND OMISSIONS IN THE SHOP DRAWINGS OR FOR MEETING ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS.</li> <li>PROVIDE 24 HOURS ADVANCE NOTICE OF EACH REQUIRED FIELD REVIEW. FIELD REVIEWS SHALL BE SCHEDULED TO BE CARRIED OUT DURING NORMAL BUSINESS HOURS UNLESS SPECIAL ARRANGEMENTS ARE MADE WITH RJC.</li> <li>THE WORK TO BE REVIEWED SHALL BE GENERALLY COMPLETE.</li> </ol>	
<b>RENOVATIONS</b>	
<ol style="list-style-type: none"> <li>THE CONTRACT DOCUMENTS ARE BASED ON ASSUMED AS-BUILT DIMENSIONS FOR THE EXISTING BUILDING STRUCTURE AND ASSUMPTIONS IN ACCORDANCE WITH DETAILING AND PLACING PRACTICE. THESE ASSUMPTIONS MAY VARY FROM THE ACTUAL ON-SITE CONDITIONS. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE CONSULTANT OF ANY ACTUAL VARIATIONS FROM THE ASSUMED CONDITIONS.</li> <li>MINOR MODIFICATIONS WILL BE REQUIRED TO THE WORK INDICATED ON THESE DRAWINGS TO REFLECT ACTUAL SITE CONDITIONS. THE CONTRACTOR WILL COOPERATE WITH THE CONSULTANT AND RJC IN THIS REGARD. MINOR MODIFICATIONS WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR AND WILL NOT RESULT IN A CHANGE IN THE CONTRACT PRICE.</li> <li>ENSURE THAT ALL NECESSARY JOB DIMENSIONS ARE TAKEN AND ALL TRADES ARE COORDINATED FOR THE PROPER EXECUTION OF THE WORK. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS OF SUCH DIMENSIONS, AND FOR COORDINATION.</li> <li>COMMENCEMENT OF CONSTRUCTION ON ANY PART THEREOF CONSTITUTES ACCEPTANCE OF EXISTING CONDITIONS AND MEANS DIMENSIONS AND ELEVATIONS HAVE BEEN CONSIDERED, VERIFIED AND ARE ACCEPTABLE.</li> <li>THE CONTRACTOR IS RESPONSIBLE FOR SAFETY IN AND ABOUT THE JOB SITE DURING CONSTRUCTION, AND THE DESIGN AND ERECTION OF ALL TEMPORARY STRUCTURES, FORMWORK, FALSEWORK, SHORING, BRACING, ETC., REQUIRED TO COMPLETE THE WORK (SUBMIT SHORING DRAWINGS SEALED BY A SPECIALTY STRUCTURAL ENGINEER).</li> </ol>	

2	ISSUED FOR TENDER	JAN 8, 2024	NMM
1	ISSUED FOR CLIENT REVIEW	OCT 15, 2024	NMM
No.	Revision	Date	By

**Drawing Notes**

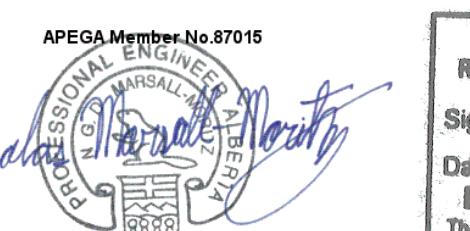
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**Seal**

APGA Member No 87015

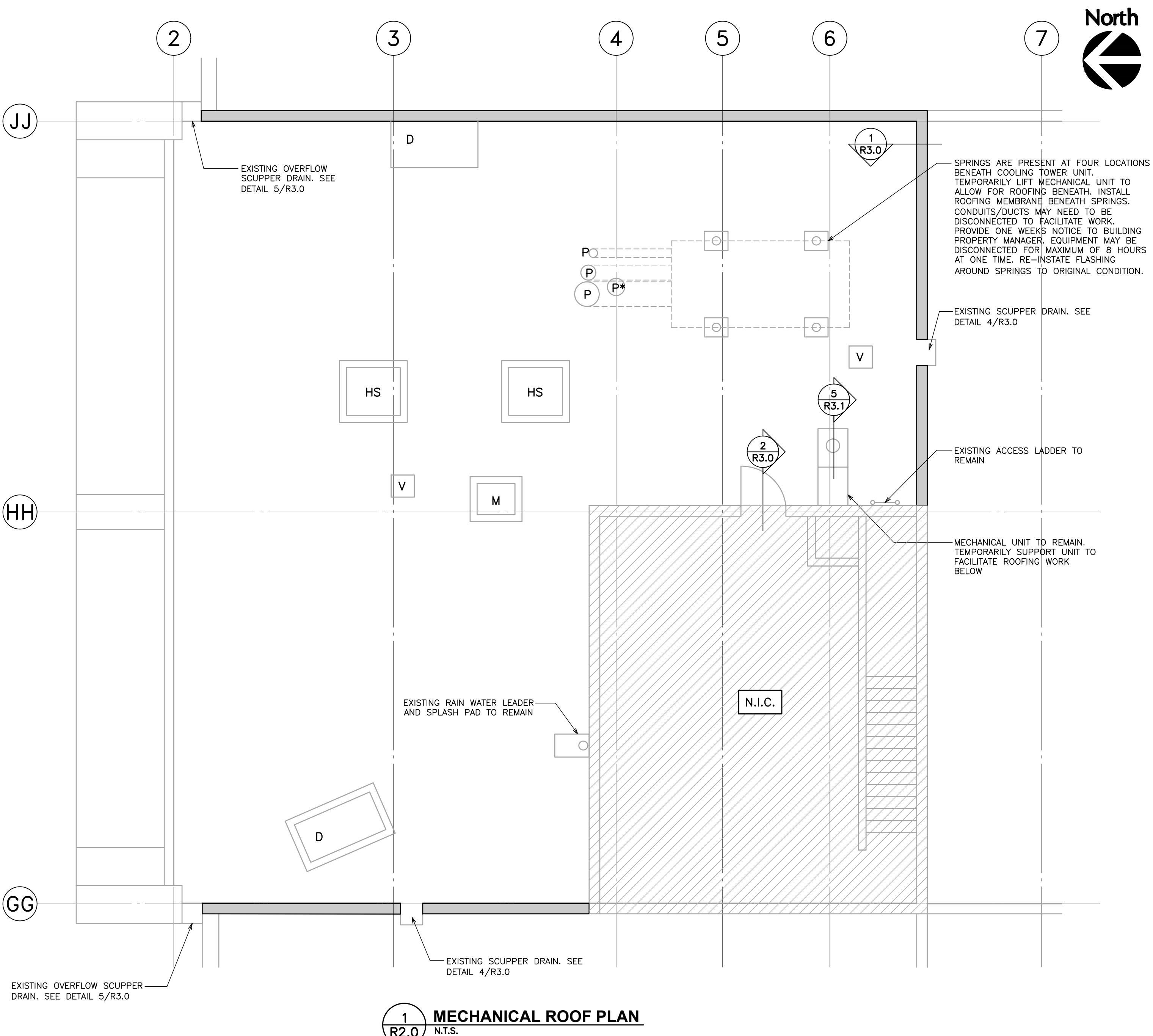


**PERMIT TO PRACTICE**  
READ JONES CHRISTOFFERSEN LTD.  
Signature   
Date 2025-01-10  
**PERMIT NUMBER: P 152**  
The Association of Professional Engineers,  
Geologists and Geophysicists of Alberta

**Project Name**  
**ROXBORO HOUSE  
CONDOMINIUM -  
MECHANICAL ROOM ROOF  
REPLACEMENT**  
**330 26TH AVENUE SW, CALGARY, AB**  
**Sheet Title**  
**GENERAL NOTES AND KEY  
PLAN**

Drawn By CJN Scale AS NOTED  
Designed By MS Date JANUARY 2025  
RJC Project Number CAL.016362.0059  
Sheet Number Revision  
**R1.0**

## PRELIMINARY NOT FOR CONSTRUCTION



1 MECHANICAL ROOF PLAN  
R2.0 N.T.S.

EXISTING AND NEW ROOF ASSEMBLIES	
EXISTING ROOF ASSEMBLY:	
<ul style="list-style-type: none"> <li>- GRAVEL BALLAST</li> <li>- FILTER FABRIC</li> <li>- 75mm XPS INSULATION</li> <li>- DRAINAGE MAT</li> <li>- POLYETHYLENE SEPARATION SHEET</li> <li>- TRA WATERPROOFING MEMBRANE</li> <li>- HOT RUBBERIZED WATERPROOFING MEMBRANE</li> <li>- CONCRETE ROOF SLAB</li> </ul>	
NEW ROOF ASSEMBLY:	
<ul style="list-style-type: none"> <li>- EXISTING GRAVEL BALLAST TO REMAIN. MOVE GRAVEL BALLAST AS REQUIRED TO FACILITATE ROOFING.</li> <li>- NEW 75mm XPS INSULATION</li> <li>- NEW DRAINAGE MAT</li> <li>- NEW 2-PLY SBS ROOFING MEMBRANE</li> <li>- EXISTING CONCRETE ROOF SLAB</li> </ul>	
NOTES:	
<ol style="list-style-type: none"> <li>1. 2-PLY SBS MEMBRANE IS ALSO PRESENT AT UPTURNS</li> <li>2. REMOVE TRA AND HOT RUBBERIZED WATERPROOFING MEMBRANE TO EXPOSE UNDERLYING CONCRETE ROOF SLAB AT ALL LOCATIONS. WELL BONDED HOT RUBBER WATERPROOFING LAITANCE OR RESIDUE MAY REMAIN, SUBJECT TO RJC APPROVAL.</li> </ol>	

LEGEND	
P	- PIPE PENETRATION, SEE DETAIL 1/R3.2
P*	- PIPE PENETRATION W/ ELECTRICAL CONDUIT, SEE 2/R3.2
M	- MECHANICAL VENT PENETRATION, SEE DETAIL 3/R3.10
HS	- HOT STACK PENETRATION, SEE DETAIL 3/R3.10
D	- TWIN DUCT PENETRATION, SEE DETAIL 4/R3.10
V	- VENT PENETRATION, SEE 1/R3.1
	- NEW PARAPET CAP FLASHING, (SEPARATE PRICE ITEM)

NOTES:

1. ROUTE AND SEAL CRACKS IN CONCRETE UPSTAND WALLS WITH SEALANT AS DIRECTED BY CONCRETE SUPPLIER.
2. NOTIFY RJC TO REVIEW EXPOSED SLAB FOLLOWING REMOVAL EXISTING ROOFING MEMBRANE TO IDENTIFY CONCRETE DELAMINATION REPAIRS PER DETAIL 3/R3.0.

2	ISSUED FOR TENDER	JAN. 8, 2024	NMM
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Signature	Mark H. 98336
Date	2025-01-10
<b>PERMIT NUMBER: P 152</b>	
The Association of Professional Engineers, Geologists and Geophysicists of Alberta	

Project Name  
**ROXBORO HOUSE  
CONDOMINIUM -  
MECHANICAL ROOM ROOF  
REPLACEMENT**

330 26TH AVENUE SW, CALGARY, AB

Sheet Title

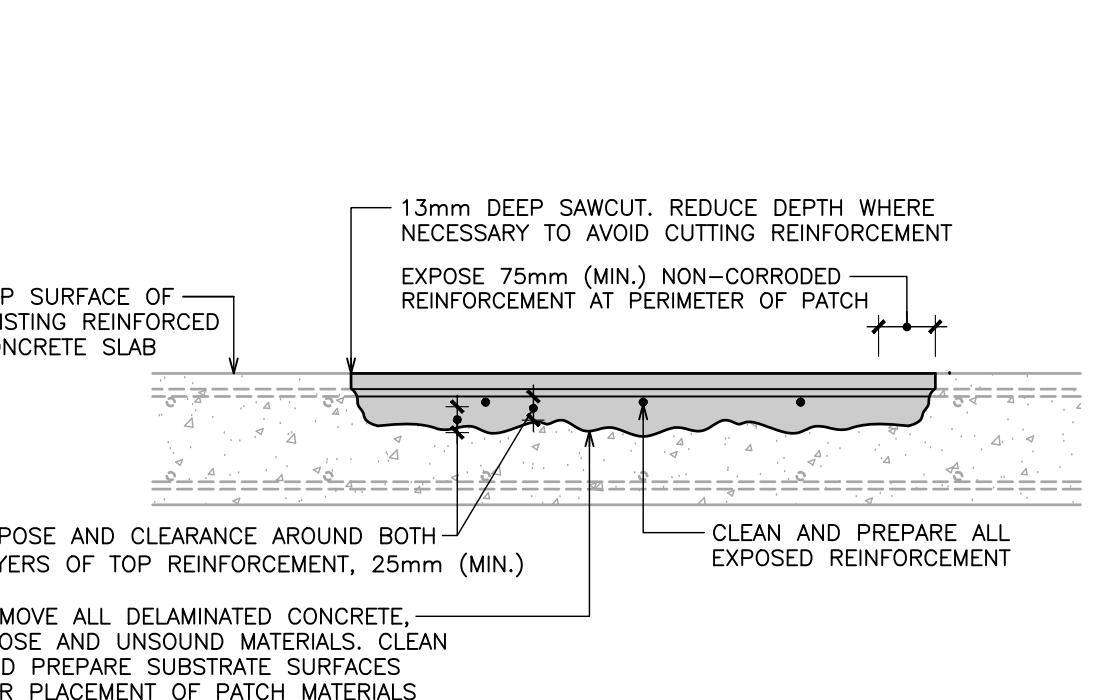
### ROOF LAYOUT AND ASSEMBLIES

Drawn By CJN Scale AS NOTED  
Designed By MS Date JANUARY 2025  
RJC Project Number CAL.016362.0059

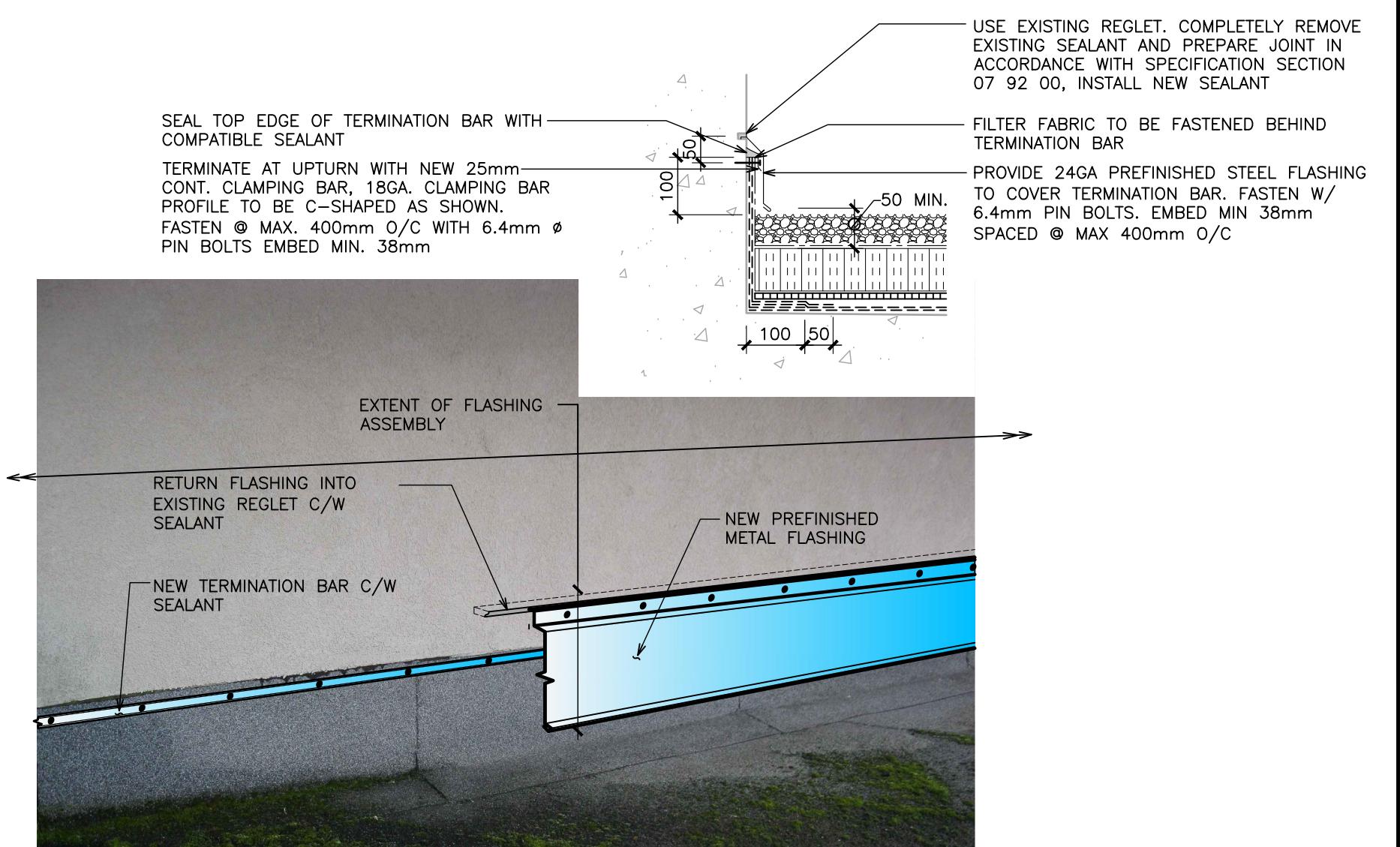
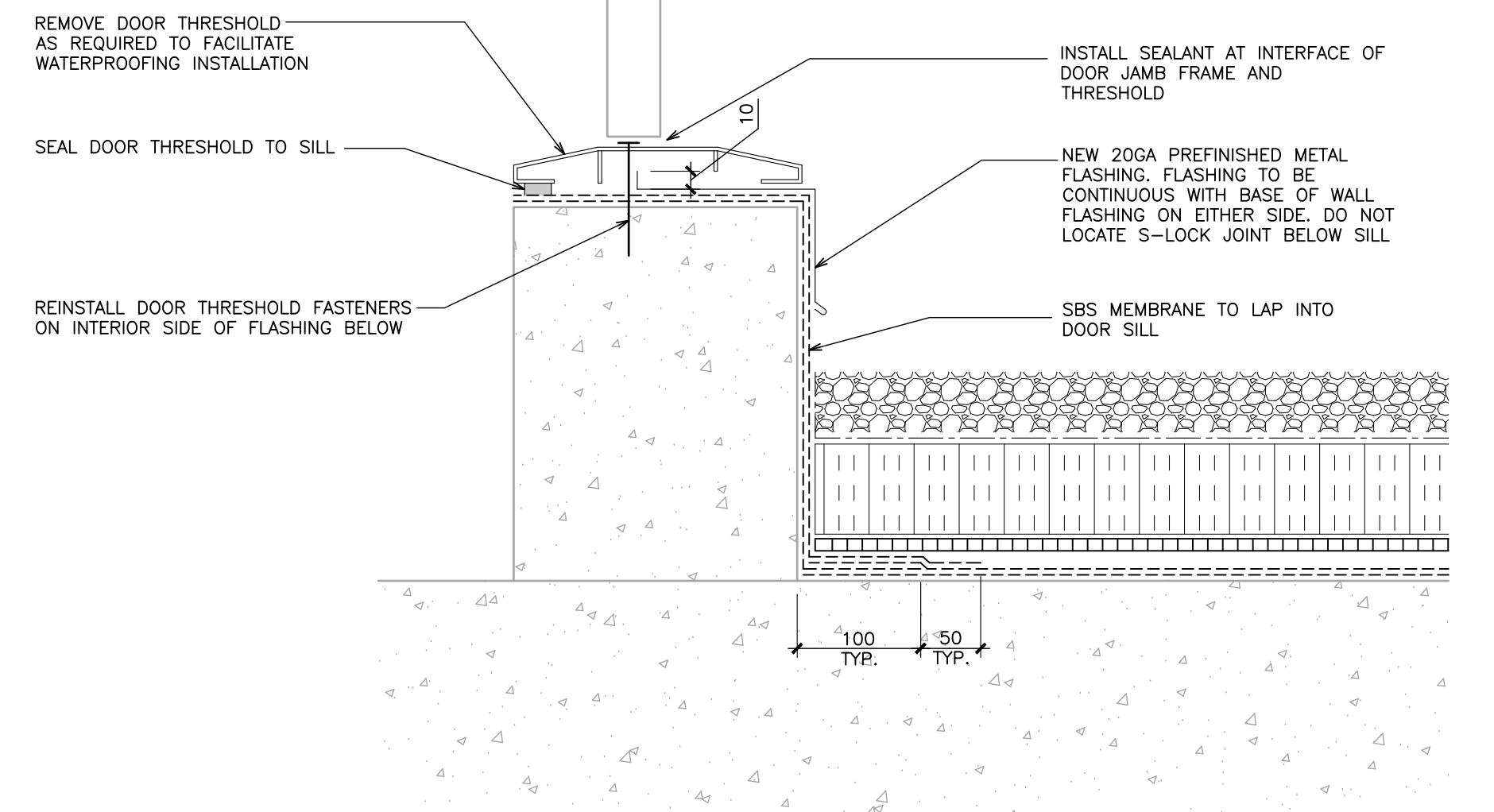
Sheet Number Revision

**R2.0**

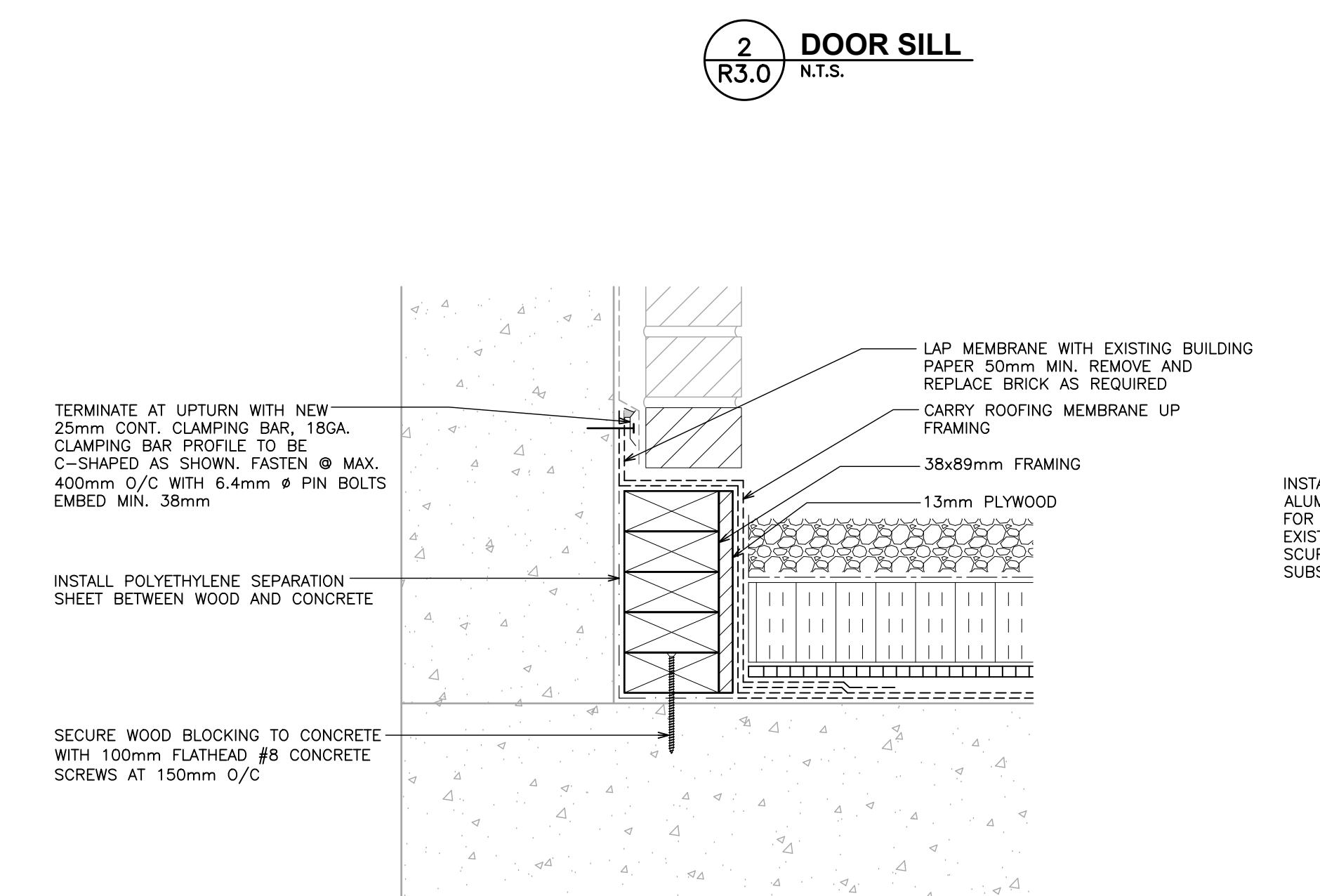
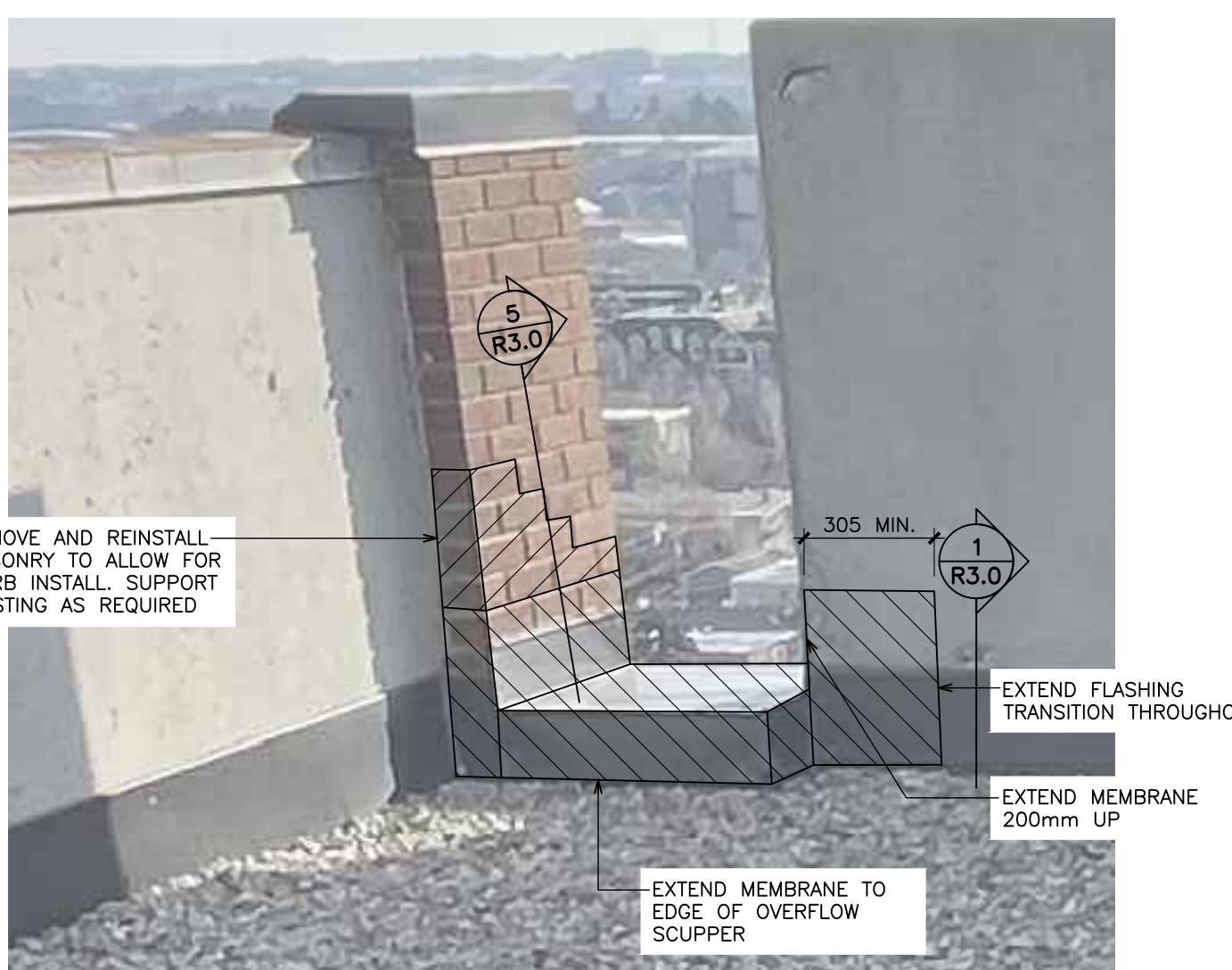
## PRELIMINARY NOT FOR CONSTRUCTION



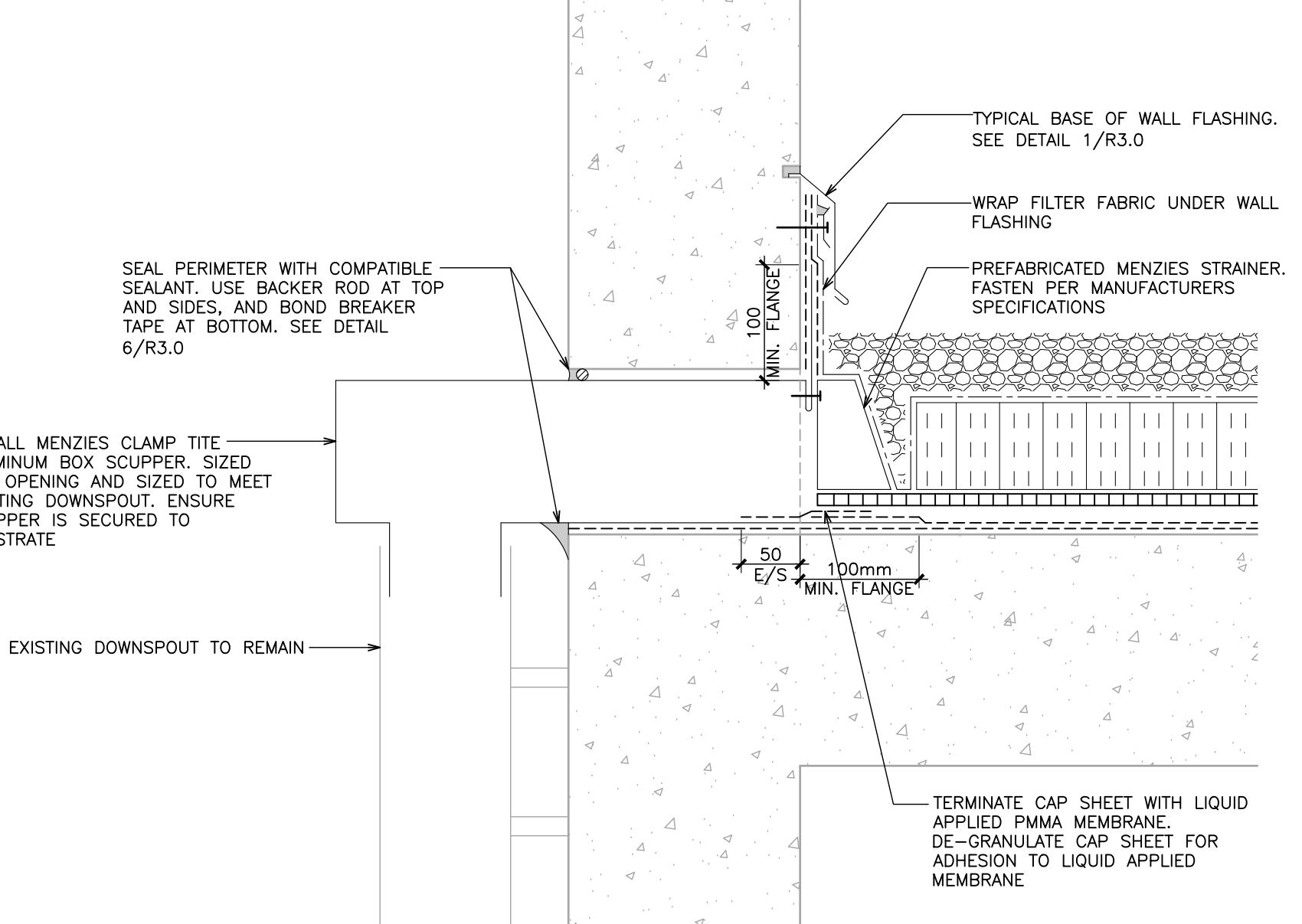
**3 CONCRETE DELAMINATION**  
R3.0 1:10



**1 TYPICAL BASE OF WALL FLASHING**  
R3.0 N.T.S.

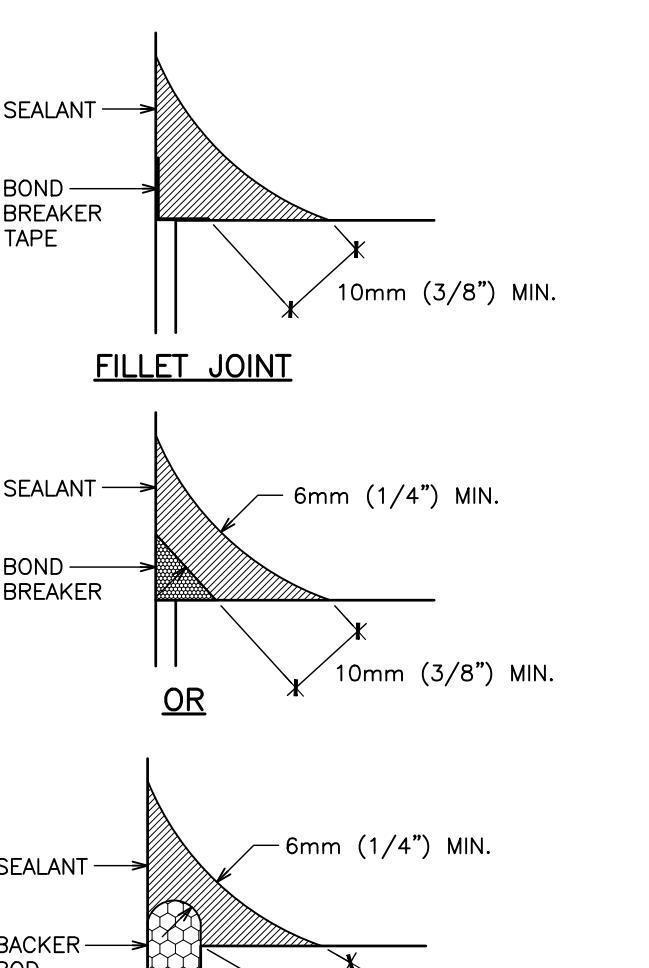


**2 DOOR SILL**  
R3.0 N.T.S.



**5 OVERFLOW SCUPPER**  
R3.0 N.T.S.

**4 TYPICAL SCUPPER**  
R3.0 N.T.S.



**6 TYPICAL JOINT DETAILS**  
R3.0 N.T.S.

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330 26TH AVENUE SW, CALGARY, AB

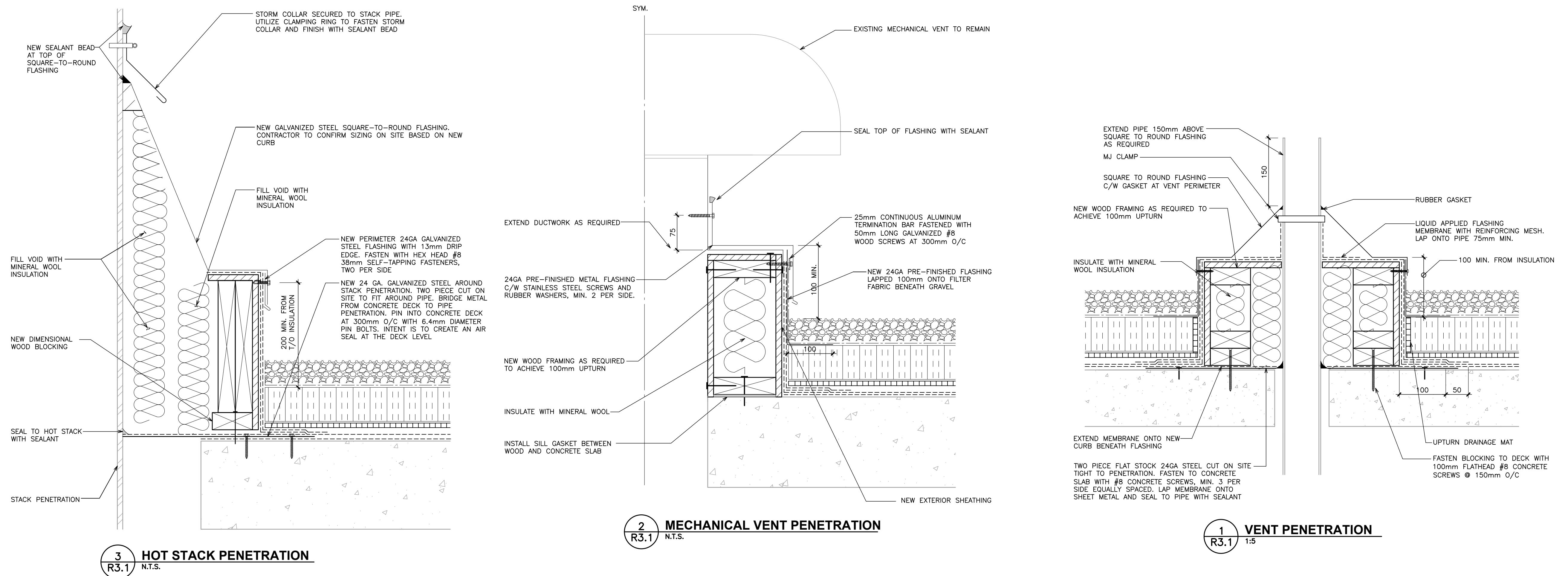
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## TYPICAL SECTIONS AND DETAILS

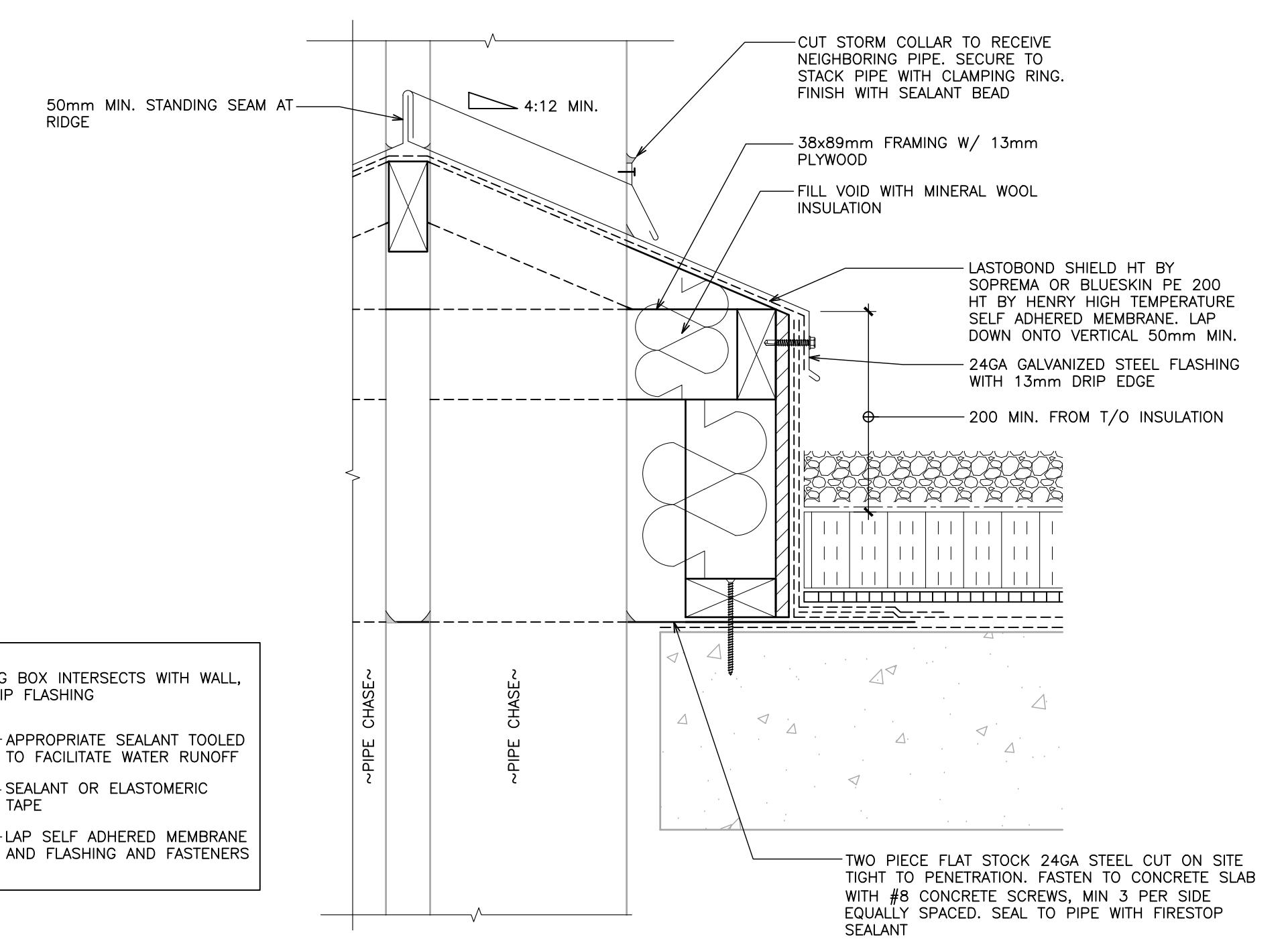
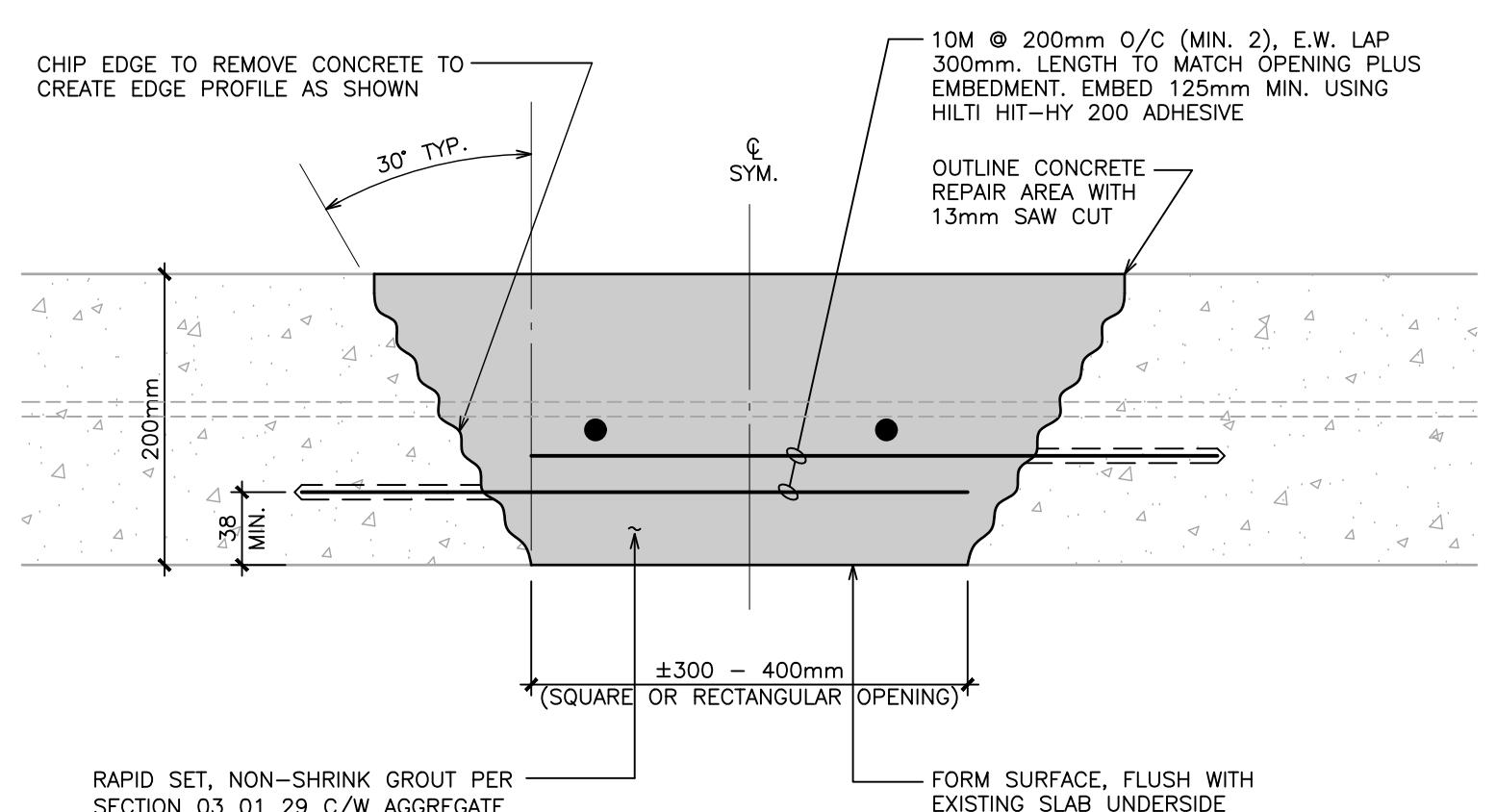
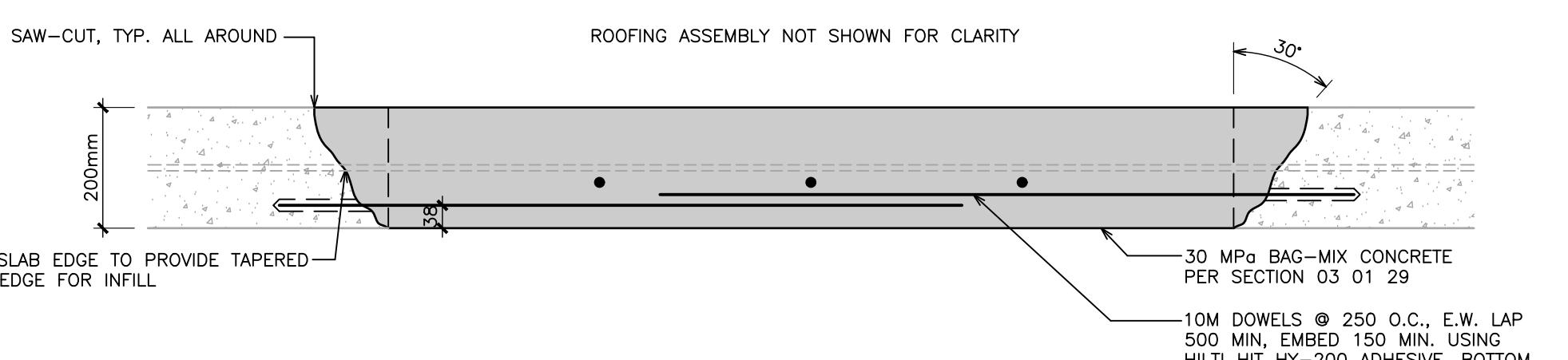
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RJC Project Number CAL.016362.0059

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**NOTE:**  
1. DIMENSIONS OF CURB TO MATCH EXISTING. DETAIL WIDTH AS SHOWN IS NOT TO SCALE.



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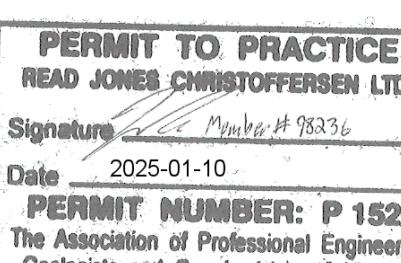
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Project Name  
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MECHANICAL ROOM ROOF  
REPLACEMENT**

330 26TH AVENUE SW, CALGARY, AB

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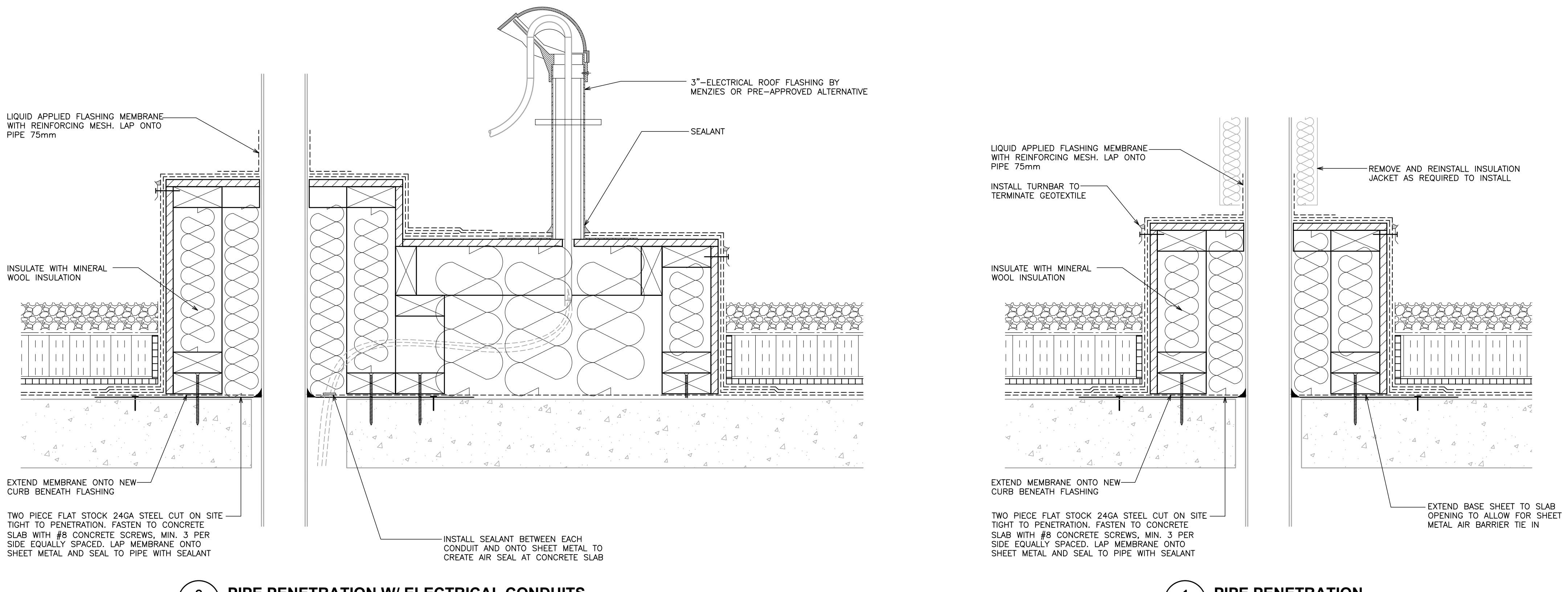
### TYPICAL SECTIONS AND DETAILS

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**R3.1**

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Date	2025-01-10
PERMIT NUMBER: P 152	
The Association of Professional Engineers, Geologists and Geophysicists of Alberta	

Project Name  
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330 26TH AVENUE SW, CALGARY, AB

Sheet Title  
**TYPICAL SECTIONS AND  
DETAILS**

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RJC Project Number **CAL.016362.0059**

Sheet Number Revision

**R3.2**