



1 KEY PLAN  
R1.0 N.T.S.

ROUGH CARPENTRY

- ALL DIMENSIONAL LUMBER TO SURFACED FOUR SIDES ("SFS").
- PLYWOOD TO BE DOUGLAS FIR SHEATHING GRADE.
- MOISTURE CONTENT OF ALL TIMBER ELEMENTS SHALL NOT EXCEED 19% AT THE TIME OF CONSTRUCTION OR FABRICATION.
- ALL FASTENERS AND CONNECTION HARDWARE THROUGH PRESERVATIVE TREATED MATERIALS OR OUTSIDE OF THE MOISTURE BARRIER TO BE HOT DIPPED GALVANIZED OR STAINLESS STEEL AS SPECIFIED.
- WOOD FRAMING IN CONTACT WITH CONCRETE TO BE PRESERVATIVE TREATED TO CAN/CSA 080.

MASONRY RESTORATION NOTES

- MASONRY WORK TO CSA A371-14 AND ITS REFERENCED DOCUMENTS.
- BRICK REMOVAL: THE INTENT IS TO REMOVE BRICKS AND MINIMIZE DAMAGE. CUT OUT EXISTING MORTAR JOINTS UTILIZING PLUNGE CUTTERS AND A ROTATING SAW. WASH MORTAR FROM BRICK USING A DILUTED MURIATIC ACID WASH. CAREFULLY DISMANTLE, CLEAN, AND STORE BRICKS FOR RE-USE. UNDER NO CIRCUMSTANCES SHALL JACKHAMMER OR CHISEL BE USED TO REMOVE MASONRY.
- NEW BRICK REPLACEMENT IF REQUIRED:
  - CLAY BRICK: TO CSA-A82, TO MATCH EXISTING BRICK
  - GRADE: SW
  - COMPRESSIVE STRENGTH: 30MPa MIN.
  - SIZE: TO MATCH EXISTING
  - COLOUR AND TEXTURE: TO MATCH EXISTING, APPROVED BY OWNER
- MORTAR MATERIALS:
  - MORTAL MATERIALS SHALL CONFORM TO CSA-A179.
  - PORTLAND CEMENT TO CAN3-A5 TYPE 10.
  - HYDRATED LIME TO CSA-A179, TYPE N.
  - MORTAR COLOUR ADMIXTURES: METALLIC OXIDE PIGMENTS. COLOUR WILL BE SELECTED BY CONSULTANT FROM MANUFACTURERS STANDARD RANGE. PIGMENTS SHALL NOT EXCEED 10-15% BY WEIGHT OF CEMENT CONTENT.
  - MORTAR AGGREGATE: WASHED, CLEAN, SHARP AND FREE OF ORGANIC MATERIALS AND CONFORM TO CSA A82.56.
  - WATER: POTABLE, FREE OF DELETERIOUS MATTER AND ACIDS AND ALKALIS.
  - ADMIXTURES FOR MORTAR SHALL NOT BE USED WITHOUT WRITTEN APPROVAL FROM CONSULTANT.
  - POINTING MORTAR: PREMIXED, TO REQUIREMENTS OF THIS SECTION. COLOUR TO MATCH EXISTING, ALL AGGREGATE PASSING 1.18mm SIEVE.MIX MORTAR IN ACCORDANCE WITH CSA-A179, USING MAXIMUM AMOUNT OF WATER CONSISTENT WITH WORKABILITY. PROVIDE MINIMUM COMPRESSIVE STRENGTH AFTER 28 DAYS OF 5 MPa (TYPE N) MORTAR FOR ALL MASONRY CONSTRUCTION. DO NOT RE-TEMPER MORTAR.
- PROVIDE PLASTIC OR GALVANIZED STEEL WEEP/VENTS AT WEEP HOLES MINIMUM 600mm O/C.
- ENVIRONMENTAL REQUIREMENTS:
  - MINIMUM 5 DEGREES CELSIUS PRIOR TO, DURING, AND 48 HOURS AFTER COMPLETION OF MASONRY WORK.
  - MAXIMUM 32 DEGREES CELSIUS PRIOR TO, DURING, AND 48 HOURS AFTER COMPLETION OF MASONRY WORK.
  - SEE SPECIFICATION SECTION 04 01 02 BRICK MASONRY RESTORATION REPAIRS FOR ADDITIONAL INFORMATION.


LIST OF DRAWINGS

- |      |                              |
|------|------------------------------|
| R1.0 | GENERAL NOTES AND KEY PLAN   |
| R2.0 | ROOF LAYOUT AND ASSEMBLIES   |
| R3.0 | TYPICAL SECTIONS AND DETAILS |
| R3.1 | TYPICAL SECTIONS AND DETAILS |
| R3.2 | TYPICAL SECTIONS AND DETAILS |

DRAWINGS

- THIS SET OF DRAWINGS SHOWS THE COMPLETED PROJECT. THE DRAWINGS DO NOT SHOW COMPONENTS THAT MAY BE NECESSARY FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SAFETY IN AND ABOUT THE JOB SITE DURING CONSTRUCTION, AND THE DESIGN AND ERECTION OF ALL TEMPORARY STRUCTURES, FORMWORK, FALSE WORK, SHORING, ETC. REQUIRED TO COMPLETE THE WORK.
- THE USE OF THESE DRAWINGS IS LIMITED TO THAT IDENTIFIED IN THE REVISIONS COLUMN. DO NOT CONSTRUCT FROM THESE DRAWINGS UNLESS MARKED "ISSUED FOR CONSTRUCTION" IN THE REVISIONS COLUMN, BY READ JONES CHRISTOFFERSEN LTD. THE DRAWINGS SHALL NOT BE USED FOR PRICING, COSTING, OR TENDER UNLESS SO INDICATED IN THE REVISION COLUMN. PRICING OR COSTING DRAWINGS ARE NOT COMPLETE AND ANY PRICES BASED ON PRICING OR COSTING DRAWINGS MUST INCLUDE ALLOWANCES FOR THIS.
- THE INFORMATION ON THESE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PROJECT OR WORKS. THE INFORMATION ON THESE DRAWINGS APPLIES SOLELY TO THIS PROJECT.
- GENERAL NOTES SHALL BE READ IN CONJUNCTION WITH THE TYPICAL DETAILS AN PROJECT SPECIFICATIONS.

GENERAL

- SECTION MARK SHOWN THUS  MEANS SECTION #4 ON DRAWING R3.0.
- DO NOT CUT OR DRILL ANY OPENINGS IN STRUCTURAL MEMBERS WITHOUT WRITTEN PERMISSION OF RJC.

DESIGN CODE

- THE COMPLETED BASE BUILDING STRUCTURE SHOWN ON THE STRUCTURAL DRAWINGS HAS BEEN DESIGNED IN SUBSTANTIAL ACCORDANCE WITH THE NATIONAL BUILDING CODE - 2023 ALBERTA EDITION WHICH IS BASED ON THE NATIONAL BUILDING CODE OF CANADA 2020.

DESIGN LOADS

		LIVE LOAD	SUPERIMPOSED DEAD LOAD (S.D.L.)
A.	MECHANICAL ROOM ROOF (AS NOTED ON ABUGOV & SUNDERLAND STRUCTURAL DRAWINGS DATED JUNE 7, 1977 "MAIN ROOF AND MECH" DESIGN LOADS)	3.59 kPa	1.20 kPa

FIELD REVIEW BY READ JONES CHRISTOFFERSEN (RJC)

- READ JONES CHRISTOFFERSEN PROVIDES FIELD REVIEW ONLY FOR THE WORK SHOWN ON THESE STRUCTURAL DRAWINGS. THIS REVIEW IS NOT A "FULL TIME" REVIEW BUT IS CONDUCTED WITH SUCH FREQUENCY AS RJC DEEMS APPROPRIATE TO OBSERVE VARIOUS STAGES OF THE WORK AND TO ASCERTAIN THAT THE WORK IS IN GENERAL CONFORMANCE WITH THE PLANS AND SUPPORTING DOCUMENTS PREPARED BY READ JONES CHRISTOFFERSEN. FIELD REVIEW BY READ JONES CHRISTOFFERSEN IS NOT CARRIED OUT FOR THE CONTRACTOR'S BENEFIT. NOR DOES IT MAKE READ JONES CHRISTOFFERSEN GUARANTORS OF THE CONTRACTOR'S WORK. IT REMAINS THE CONTRACTOR'S RESPONSIBILITY TO BUILD THE WORK IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. RJC SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.  
  
RJC WILL REVIEW SHOP DRAWINGS PERTAINING TO WORK SHOWN ON RJC'S DRAWINGS. THE EXTENT OF THIS REVIEW IS AT THE SOLE DISCRETION OF RJC'S ENGINEER AND IS FOR THE SOLE PURPOSE OF ASCERTAINING GENERAL CONFORMANCE WITH THE STRUCTURAL DESIGN CONCEPT. THE REVIEW IS NOT AN APPROVAL OF THE DESIGN, DETAILS, AND DIMENSIONS INHERENT IN THE SHOP DRAWINGS, RESPONSIBILITY FOR WHICH SHALL REMAIN WITH THE CONTRACTOR OR SUBCONTRACTOR SUBMITTING THEM. SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR'S OR SUBCONTRACTOR'S RESPONSIBILITY FOR ERRORS AND OMISSIONS IN THE SHOP DRAWINGS OR FOR MEETING ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- PROVIDE 24 HOURS ADVANCE NOTICE OF EACH REQUIRED FIELD REVIEW. FIELD REVIEWS SHALL BE SCHEDULED TO BE CARRIED OUT DURING NORMAL BUSINESS HOURS UNLESS SPECIAL ARRANGEMENTS ARE MADE WITH RJC.
- THE WORK TO BE REVIEWED SHALL BE GENERALLY COMPLETE.

RENOVATIONS

- THE CONTRACT DOCUMENTS ARE BASED ON ASSUMED AS-BUILT DIMENSIONS FOR THE EXISTING BUILDING STRUCTURE AND ASSUMPTIONS IN ACCORDANCE WITH DETAILING AND PLACING PRACTICE. THESE ASSUMPTIONS MAY VARY FROM THE ACTUAL ON-SITE CONDITIONS. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE CONSULTANT OF ANY ACTUAL VARIATIONS FROM THE ASSUMED CONDITIONS.
- MINOR MODIFICATIONS WILL BE REQUIRED TO THE WORK INDICATED ON THESE DRAWINGS TO REFLECT ACTUAL SITE CONDITIONS. THE CONTRACTOR WILL COOPERATE WITH THE CONSULTANT AND RJC IN THIS REGARD. MINOR MODIFICATIONS WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR AND WILL NOT RESULT IN A CHANGE IN THE CONTRACT PRICE.
- ENSURE THAT ALL NECESSARY JOB DIMENSIONS ARE TAKEN AND ALL TRADES ARE COORDINATED FOR THE PROPER EXECUTION OF THE WORK. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS OF SUCH DIMENSIONS, AND FOR COORDINATION.
- COMMENCEMENT OF CONSTRUCTION OR ANY PART THEREOF CONSTITUTES ACCEPTANCE OF EXISTING CONDITIONS AND MEANS DIMENSIONS AND ELEVATIONS HAVE BEEN CONSIDERED, VERIFIED AND ARE ACCEPTABLE.
- THE CONTRACTOR IS RESPONSIBLE FOR SAFETY IN AND ABOUT THE JOB SITE DURING CONSTRUCTION, AND THE DESIGN AND ERECTION OF ALL TEMPORARY STRUCTURES, FORMWORK, FALSEWORK, SHORING, BRACING, ETC.. REQUIRED TO COMPLETE THE WORK (SUBMIT SHORING DRAWINGS SEALED BY A SPECIALTY STRUCTURAL ENGINEER).



Creative Thinking  
Practical Results

Read Jones Christoffersen Ltd.  
Engineers  
rjc.ca

1816 Crowchild Trail NW, Suite 200  
Calgary, AB T2M 3Y7 Canada  
tel 403-283-5073  
fax 403-270-8402

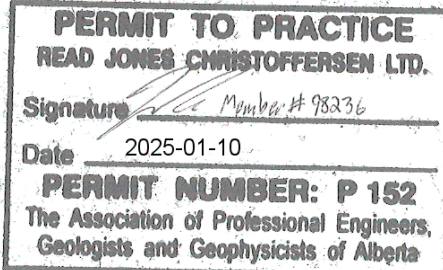
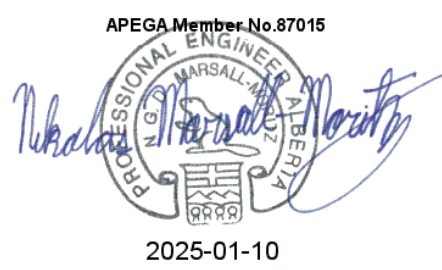
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2	ISSUED FOR TENDER	JAN. 8, 2024	NMM
1	ISSUED FOR CLIENT REVIEW	OCT. 15, 2024	NMM
No.	Revision	Date	By

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
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Seal



Project Name

ROXBORO HOUSE  
CONDOMINIUM -  
MECHANICAL ROOM ROOF  
REPLACEMENT

330 26TH AVENUE SW, CALGARY, AB

Sheet Title

GENERAL NOTES AND KEY  
PLAN

Drawn By	CJN	Scale	AS NOTED
Designed By	MS	Date	JANUARY 2025
RJC Project Number	CAL.016362.0059		

Sheet Number	Revision
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R1.0







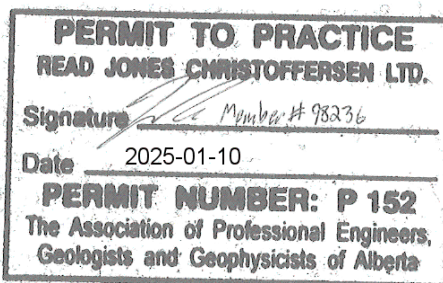
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330 26TH AVENUE SW, CALGARY, AB

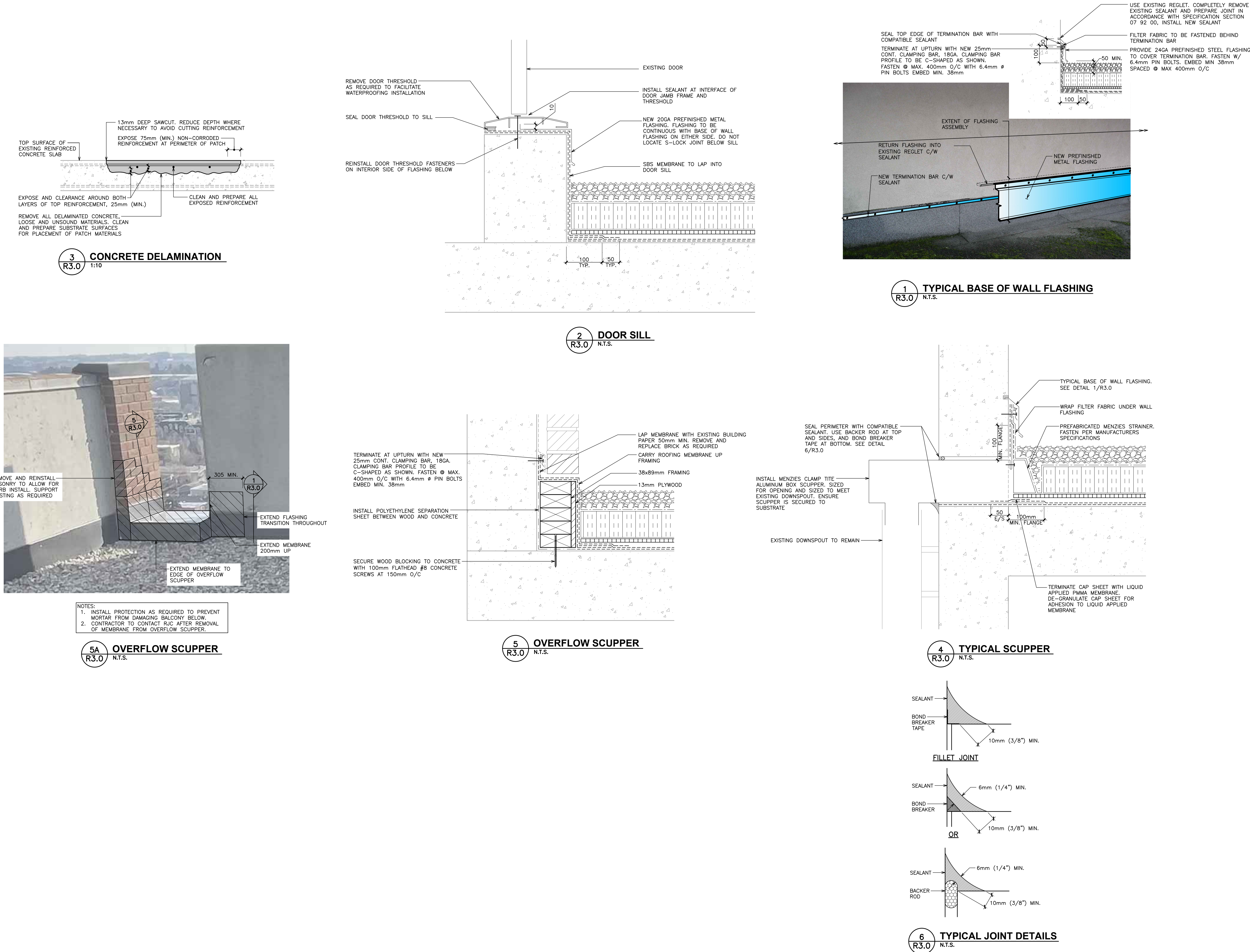
Sheet Title

**TYPICAL SECTIONS AND  
DETAILS**

Drawn By **CJN** Scale **AS NOTED**  
Designed By **MS** Date **JANUARY 2025**  
RJC Project Number **CAL.016362.0059**

Sheet Number Revision

**R3.0**





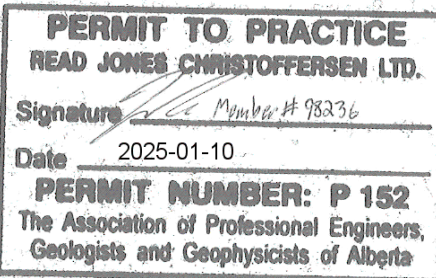
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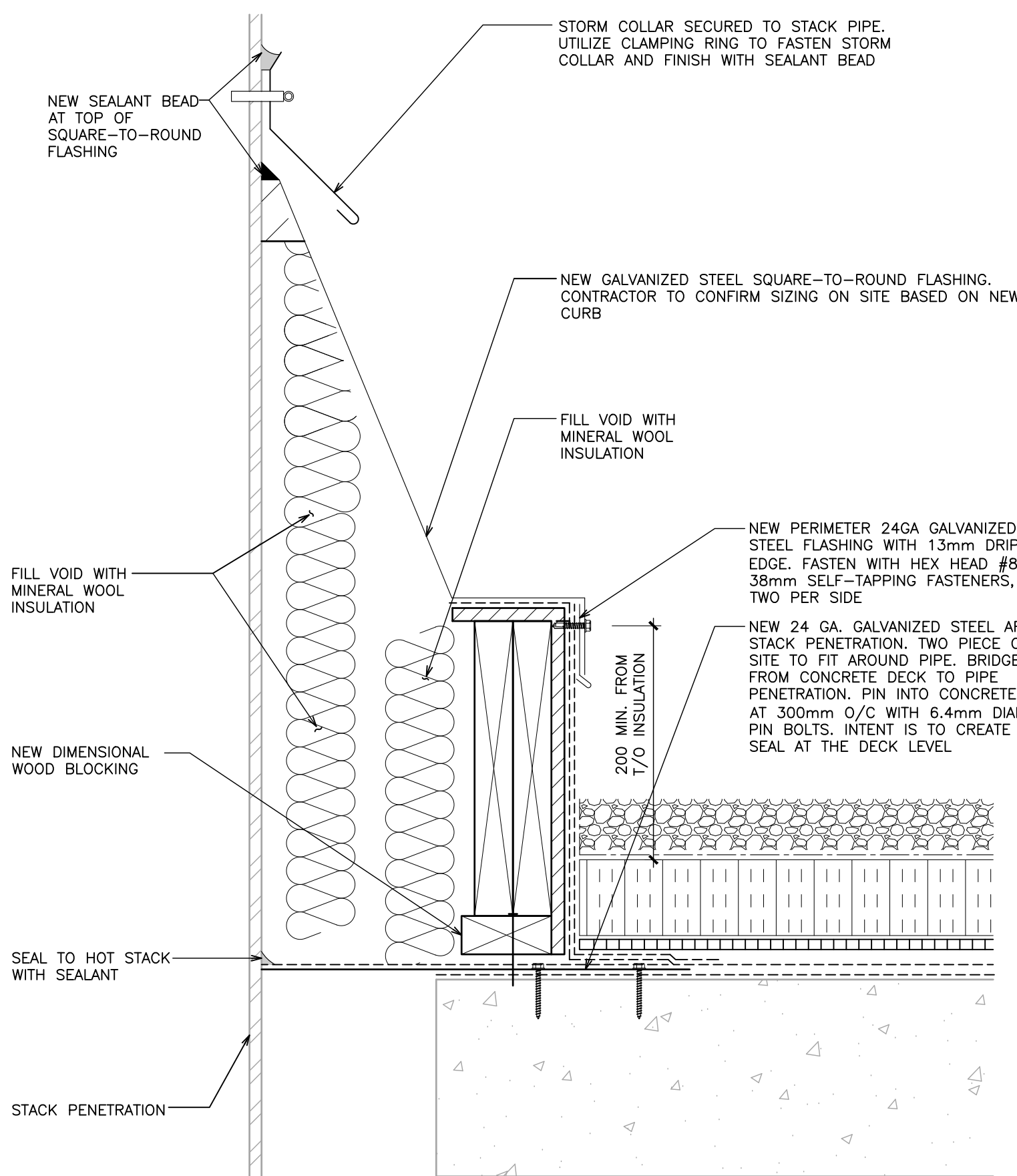


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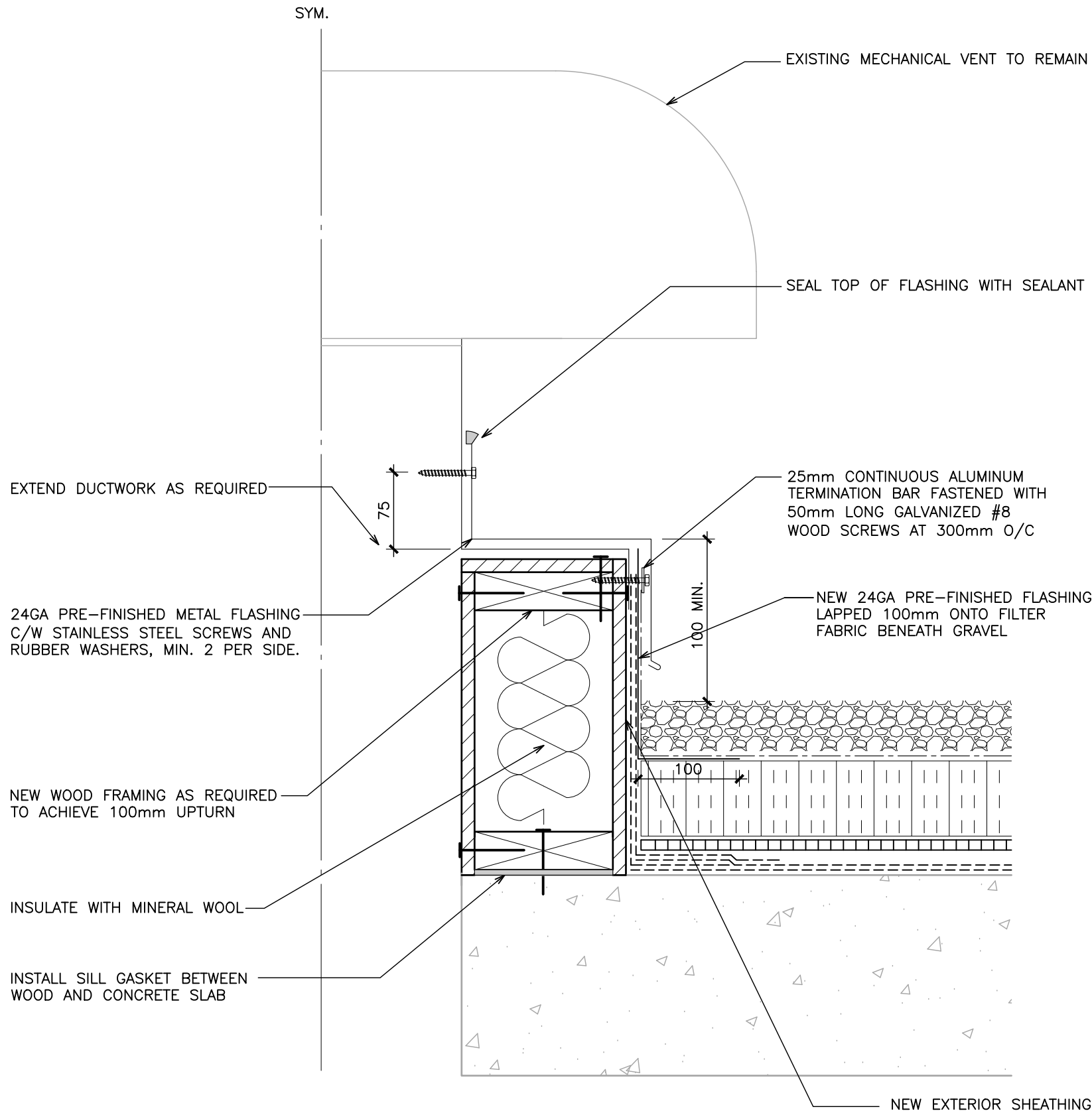
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**R3.1**

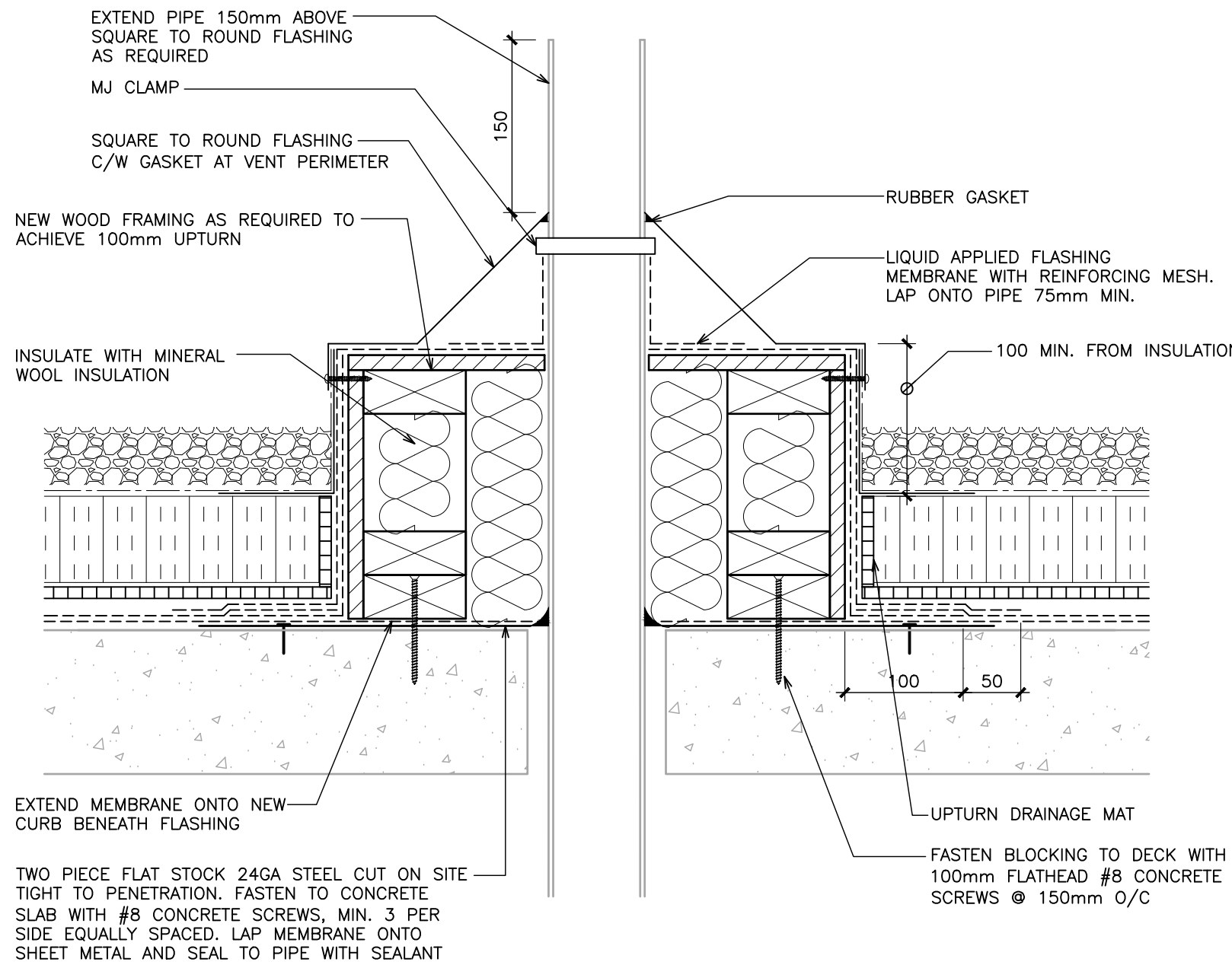


**3 HOT STACK PENETRATION**  
R3.1 N.T.S.

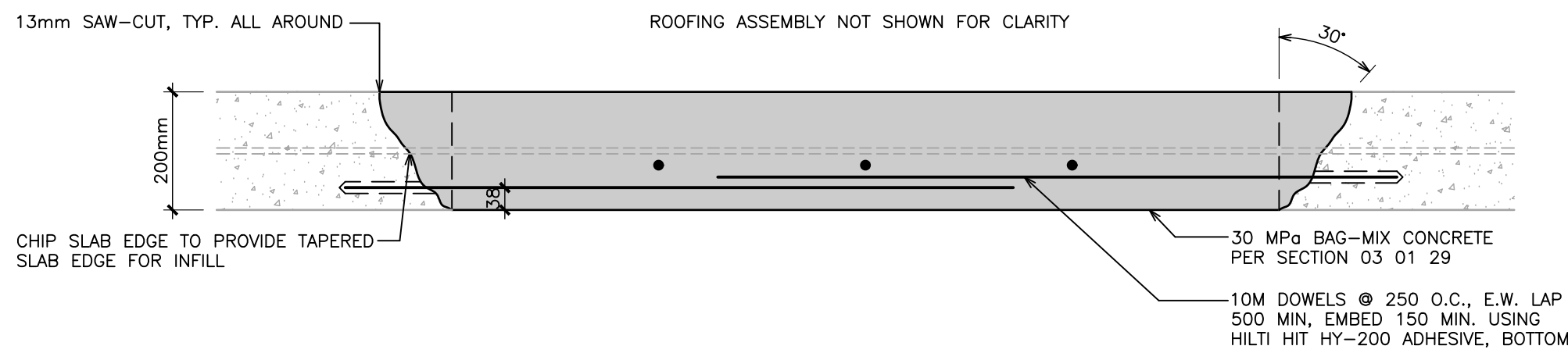
NOTE:  
1. DIMENSIONS OF CURB TO MATCH EXISTING. DETAIL WIDTH AS SHOWN IS NOT TO SCALE.



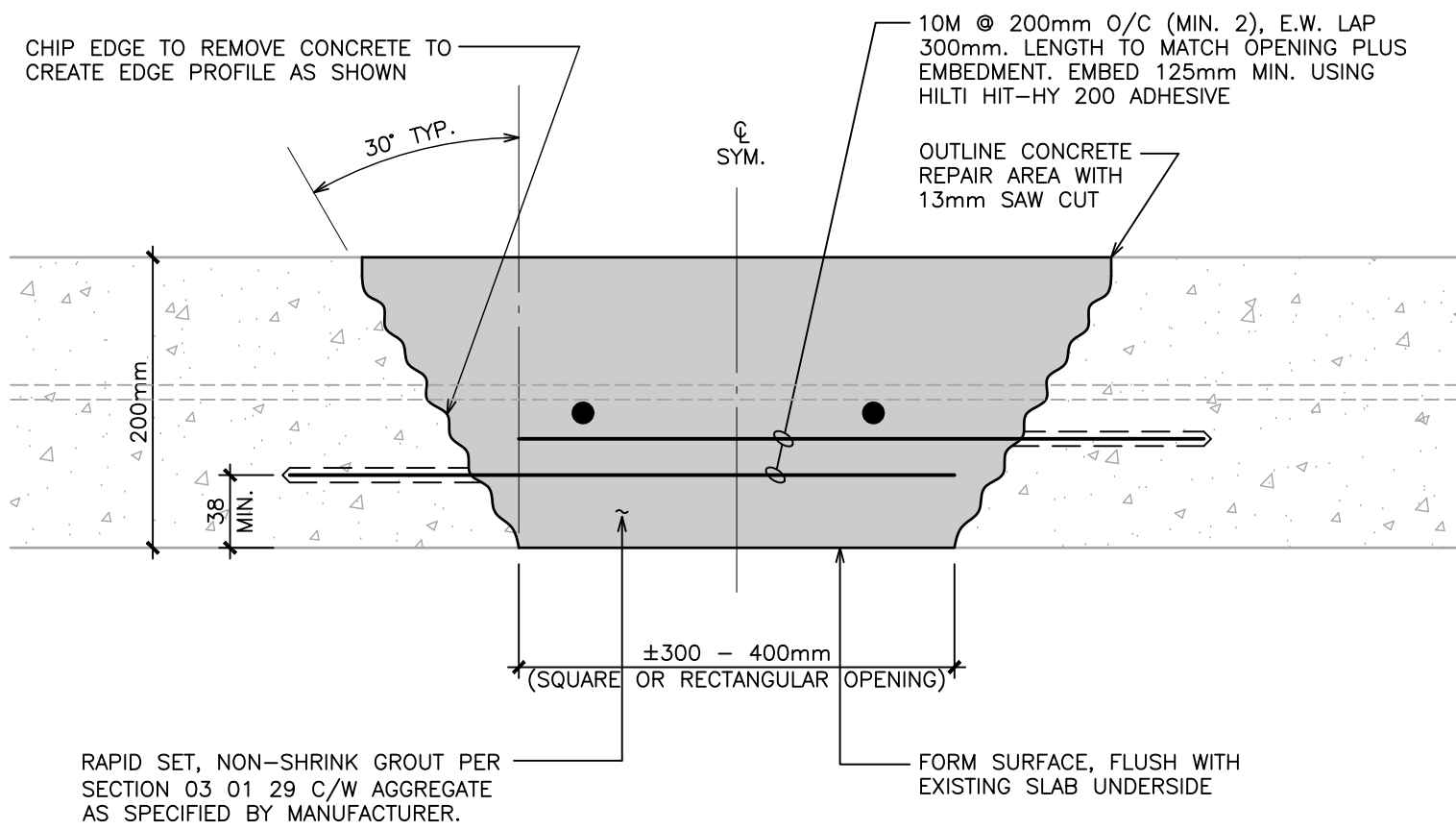
**2 MECHANICAL VENT PENETRATION**  
R3.1 N.T.S.



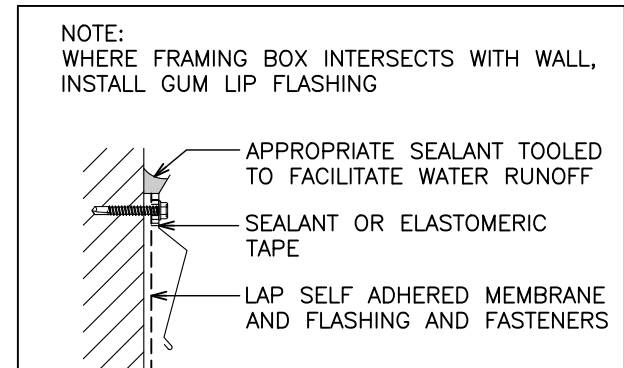
**1 VENT PENETRATION**  
R3.1 1:5



**5 TYPICAL SLAB OPENING INFILL DETAIL (LARGER THAN 400mm IN DIA.)**  
R3.1 N.T.S.



**6 TYPICAL SLAB OPENING INFILL DETAIL (UP TO 400mm IN DIA. OR MAX DIMENSION)**  
R3.1 N.T.S.



**4 TWIN DUCT PENETRATION**  
R3.1 N.T.S.



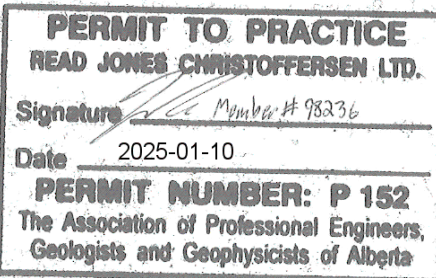
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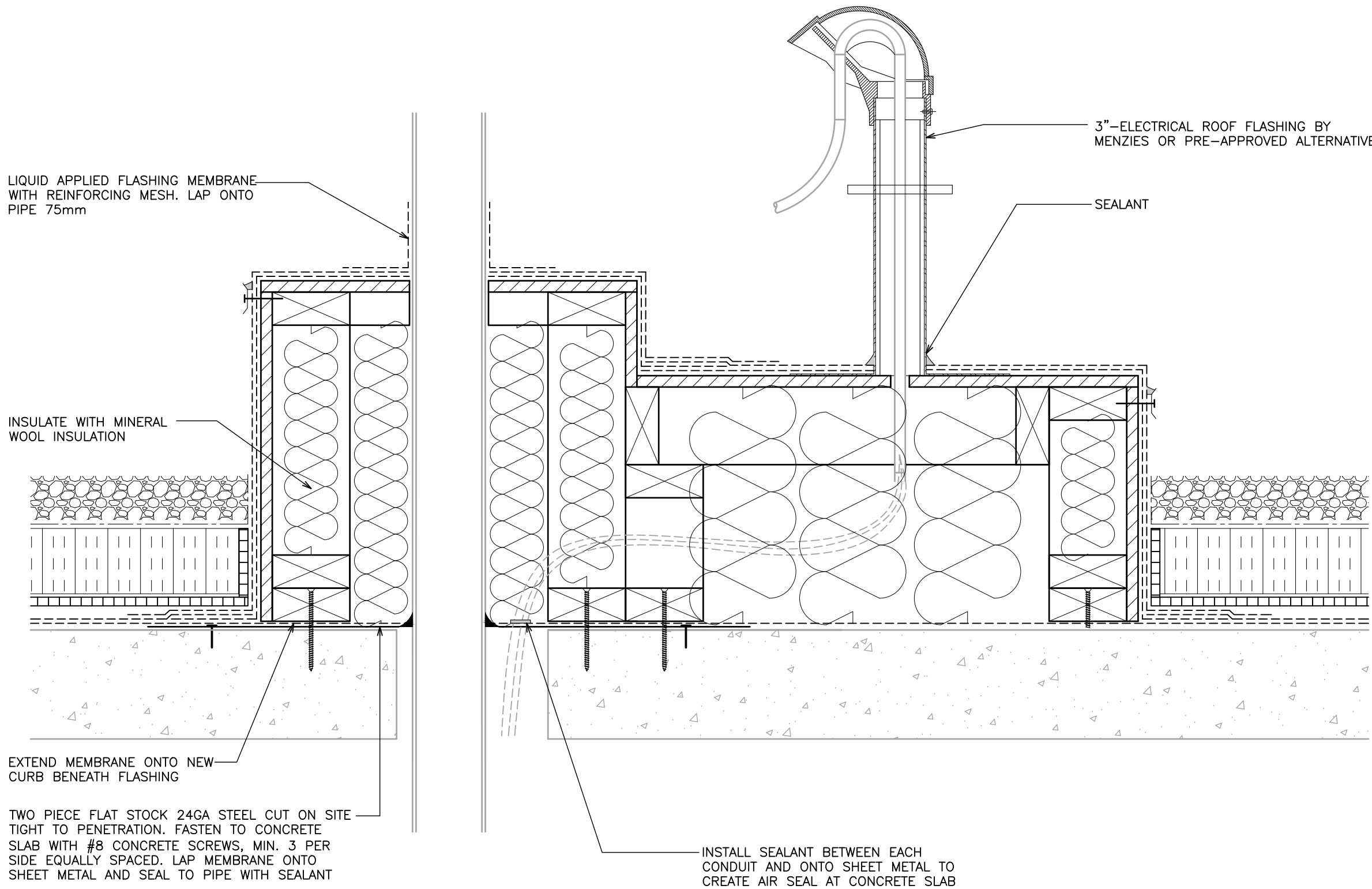


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Sheet Title  
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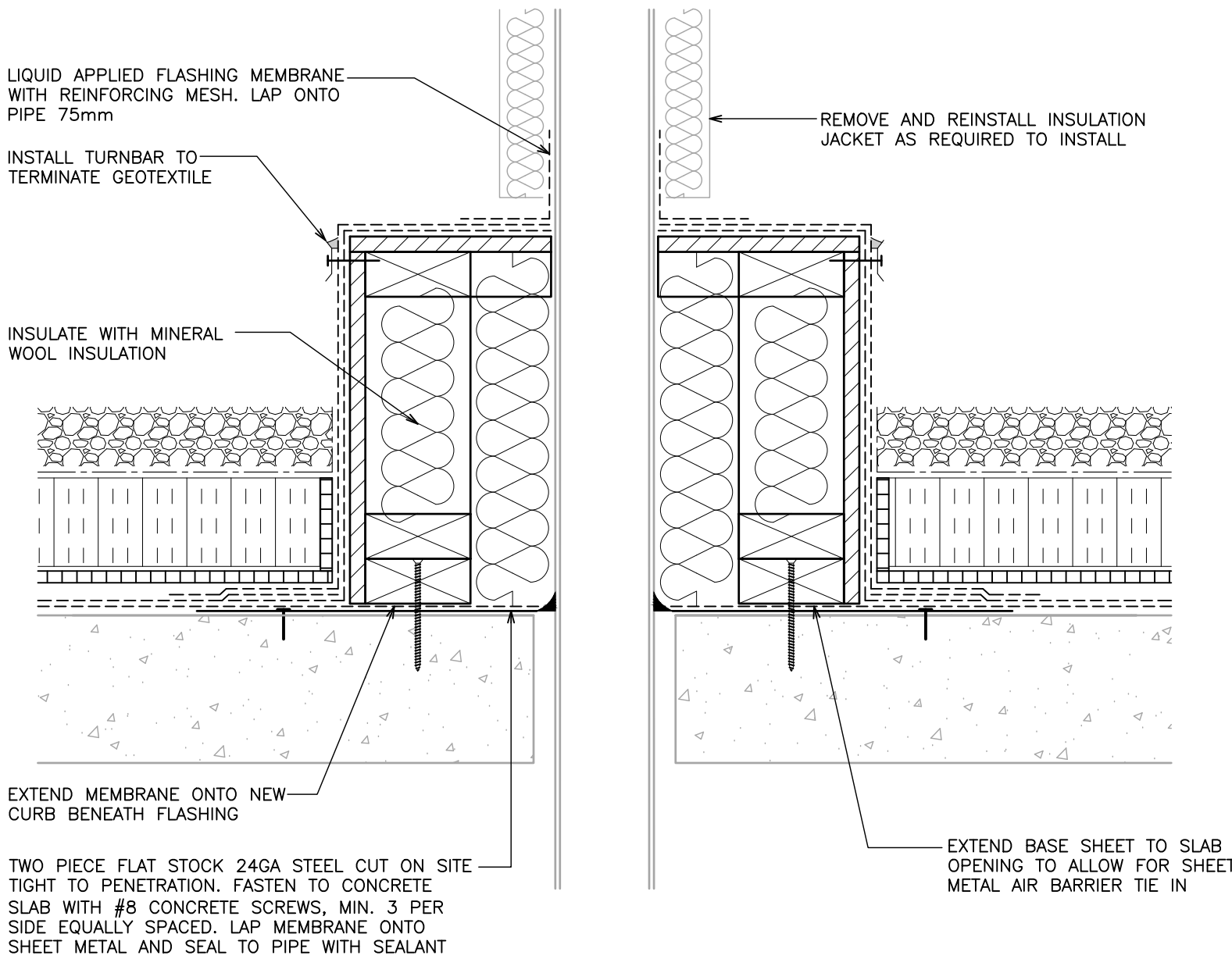
Drawn By C.J.N. Scale AS NOTED  
Designed By MS Date JANUARY 2025  
RJC Project Number CAL.016362.0059

Sheet Number Revision

R3.2



2 PIPE PENETRATION W/ ELECTRICAL CONDUITS  
R3.2 1:5



1 PIPE PENETRATION  
R3.2 1:5