

| | | |
|--------|--|-----------------|
| LEGEND | | SEC Dome |
| | | Power Pole |
| | | Phone Pits |
| | | Water Conn. |
| | | Top Pillar/Post |
| | | Top Wall |
| | | Top Retaining |
| | | Top Fence |

SURVEYOR NOTES:

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CLIENT NOTE:

- ALL DEMOLITION BY CLIENT UNLESS OTHERWISE NOTED.
- ALL TREES/SHRUBS TO BE LOPPED (TRIMMED) TO WITHIN 2m OF THE BUILDING ENVELOPE.
- EXISTING BUILDING, TREES AND ALL RUBBLE TO BE REMOVED BY CLIENT PRIOR TO CONSTRUCTION.

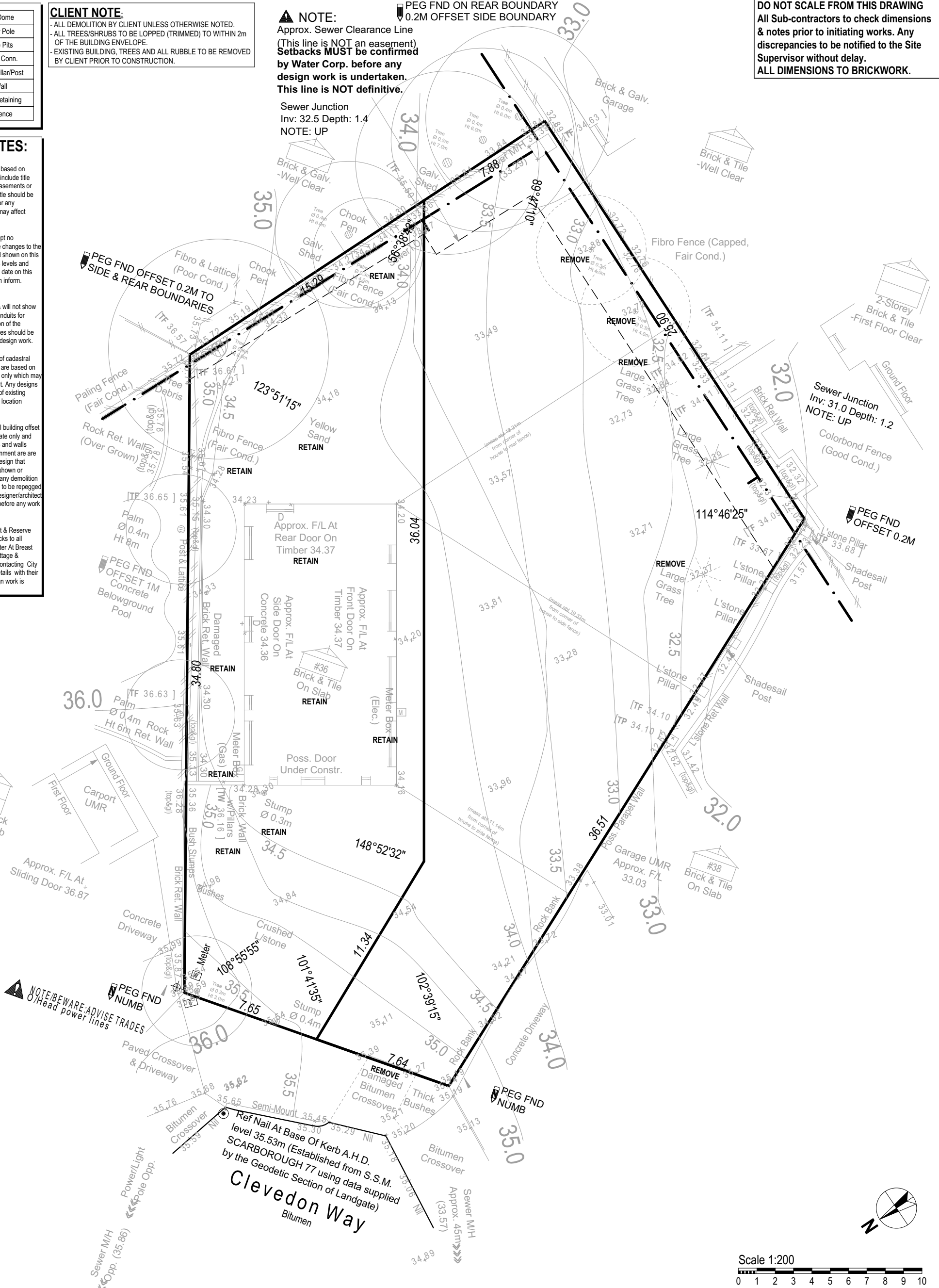
NOTE:

Approx. Sewer Clearance Line
(This line is NOT an easement)
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This line is NOT definitive.

Sewer Junction
Inv: 32.5 Depth: 1.4
NOTE: UP

PEG FND ON REAR BOUNDARY
0.2M OFFSET SIDE BOUNDARY

DO NOT SCALE FROM THIS DRAWING
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ALL DIMENSIONS TO BRICKWORK.



| | | |
|----------|------------|----------|
| BUILDER: | CLIENT(S): | WITNESS: |
| _____ | _____ | _____ |
| _____ | _____ | _____ |
| _____ | _____ | _____ |
| _____ | _____ | _____ |

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Email : perth@cottage.com.au Website: www.cottage.com.au

| | | | | | | | | | |
|-------------|-----------|--------------|------------|--------------|-----|----------------|-----------|-------------------|-------|
| AREA: | 1156m² | ROAD DESCR.: | BITUMEN | GAS: | YES | SSA/OLD AREAS: | OLD A. | UNLODGED SS PLAN: | N/A |
| SHIRE: | STIRLING | KERBING: | SEMI-MOUNT | WATER: | YES | C/JOB#: | 443012 | ORIGINAL LOT: | N/A |
| D.PLAN: | 9459 | FOOTPATH: | NIL | ELECTRICITY: | U/G | DATE: | 21 SEP 18 | LOT MISCLOSE: | 0.018 |
| C/T VOLUMN: | 289 | SOIL: | RTS | PH/COMMS: | YES | SCALE: | 1:200 | SSL 1 MISCLOSE:- | |
| FOLIO: | 58A | DRAINAGE: | POOR | SEWER: | YES | DRAWN: | B. SALIBA | SSL 2 MISCLOSE:- | |
| MSD REF: | 310 15/67 | VEGETATION: | RTS | COASTAL: | YES | | | | |

| | | | |
|---------------------------------------|------------------------------------------------------------|-----------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------|
| PROPOSED RESIDENCE FOR: MOLKENTHIN | DRAWN: PR DESIGNED: RC CHECKED: DM DATE: 18/02/19 | SCALE: 1:200 SHEET: 1 OF 11 SIZE: A3 SUMMIT PROJECTS JOB N° 155384 | Issue Name STRATA V02 JEL Drawn DMA JS PR Date 16/10/19 12/11/19 20-JAN-20 Issue Name Drawn Date |
|---------------------------------------|------------------------------------------------------------|-----------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------|

BUILT AROUND PEOPLE

Copyright © 2019

SUMMIT
HOMES GROUP

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| LEGEND | | SEC Dome |
| | | Power Pole |
| | | Phone Pits |
| | | Water Conn. |
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CLIENT NOTE:

- ALL FENCING BY CLIENT.
- PANEL AND POST RETAINING WALL BY CLIENT, AS INDICATED
- CROSSOVER AND DRIVEWAY TO EXISTING RESIDENCE BY CLIENT.
- PROPOSED NEW CARPORT TO EXISTING RESIDENCE BY CLIENT.

RETAINING CONTRACTOR NOTE:

- TOP OF WALL (TOW) INDICATED FOR CLARITY ONLY.
- ENSURE BOTTOM OF RETAINING IS EMBEDDED SUFFICIENTLY AS REQ. BY ENG. DETAIL.
- REFER TO NEIGHBOURS EXISTING LEVELS OR NOMINATED PAVING / LANDSCAPING LEVELS FOR FULL REQ. RETAINING HEIGHTS.
- REFER TO ENGINEERS DETAILS

PLUMBER NOTE:

- REFER TO PLUMBING PLAN FOR SEWER AND STORMWATER LAYOUTS.

BRICKPAVER NOTE:

- BRICK PAVING TO DRIVEWAYS, PATHS, CARBAYS. EXTENT AS INDICATED.
- WIDTHS OF BRICK PAVED PATHS TO BE APPROX. 1.0m WIDE UNLESS OTHERWISE INDICATED.
- MAINTAIN NOMINATED PAVING LEVELS FOR STORMWATER RUN OFF.

GENERAL NOTE:

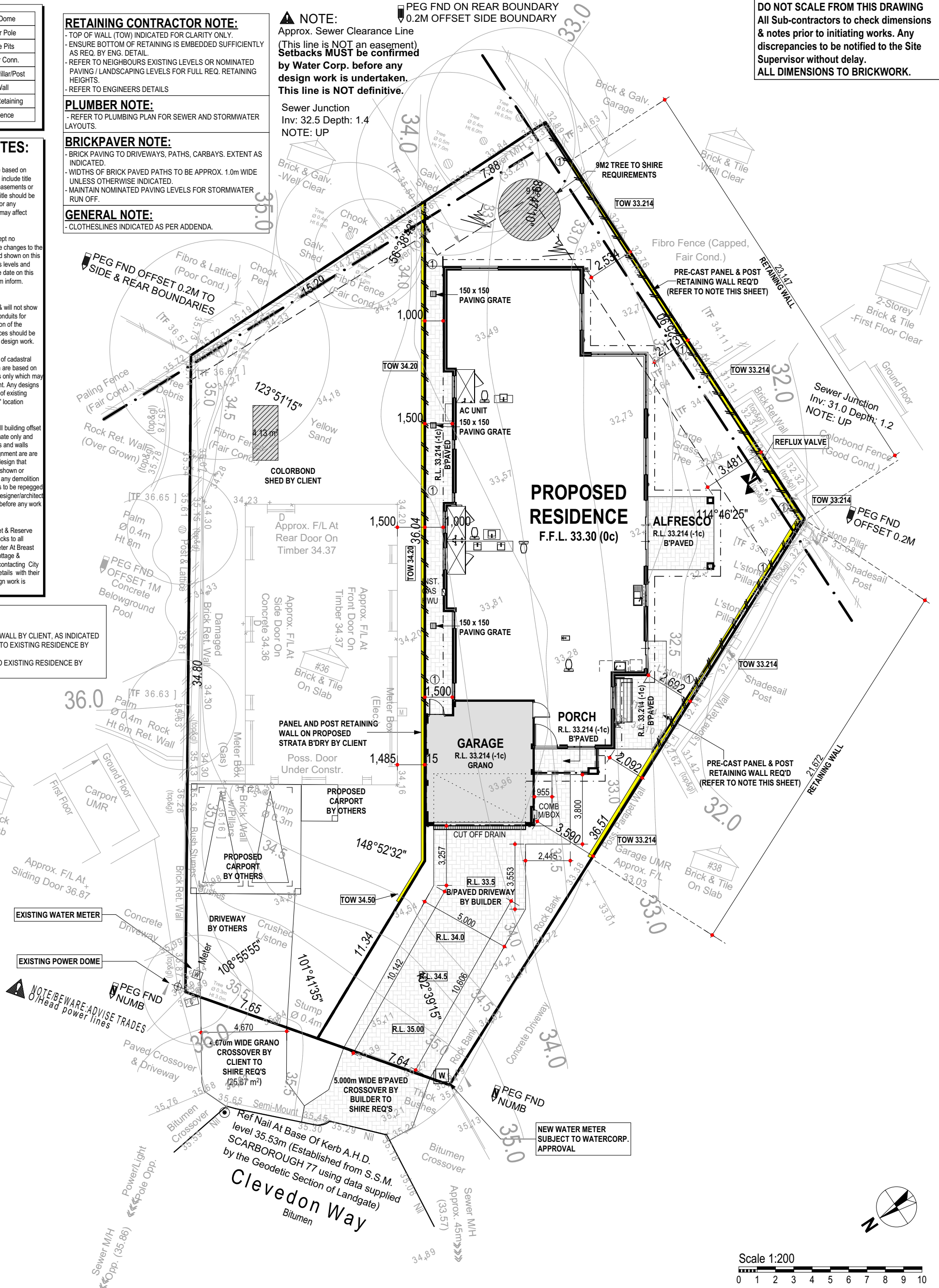
- CLOTHESLINES INDICATED AS PER ADDENDA.

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Sewer Junction
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NOTE: UP

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0.2M OFFSET SIDE BOUNDARY

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| WITNESS: | _____ |

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| | | | | | | | | | |
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| SHIRE: | STIRLING | KERBING: | SEMI-MOUNT | WATER: | YES | C/JOB#: | 443012 | ORIGINAL LOT: | N/A |
| D.P.LAN: | 9459 | FOOTPATH: | NIL | ELECTRICITY: | U/G | DATE: | 21 SEP 18 | LOT MISCLOSE: | 0.018 |
| C/T VOLUMN: | 289 | SOIL: | RTS | PH/COMMS: | YES | SCALE: | 1:200 | SSL 1 MISCLOSE:- | |
| FOLIO: | 58A | DRAINAGE: | POOR | SEWER: | YES | DRAWN: | B. SALIBA | SSL 2 MISCLOSE:- | |
| MSD REF: | 310 15/67 | VEGETATION: | RTS | COASTAL: | YES | | | | |

| | | | | | | | | | | |
|----------------------------|-----------|----------|-----------------|---------|------------|-------|------------|------------|-------|------|
| PROPOSED RESIDENCE FOR: | DRAWN: | PR | SCALE: | 1:200 | Issue Name | Drawn | Date | Issue Name | Drawn | Date |
| MOLKENTHIN | DESIGNED: | RC | SHEET: | 2 OF 11 | STRATA | DMA | 16/10/19 | | | |
| | CHECKED: | DM | SIZE: | A3 | V02 | JS | 12/11/19 | | | |
| ADDRESS: | DATE: | 18/02/19 | SUMMIT PROJECTS | | V005 | DMA | 17/01/20 | | | |
| LOT 79 (#36) CLEVEDON WAY, | | | JOB N° | | JEL | PR | 20-JAN-20 | | | |
| KARRINYUP. | | | 155384 | | V007 | WW | 30.01.2020 | | | |



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| LEGEND | | SEC Dome |
| | | Power Pole |
| | | Phone Pits |
| | | Water Conn. |
| | [TP 10.00] | Top Pillar/Post |
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ENGINEER NOTE:

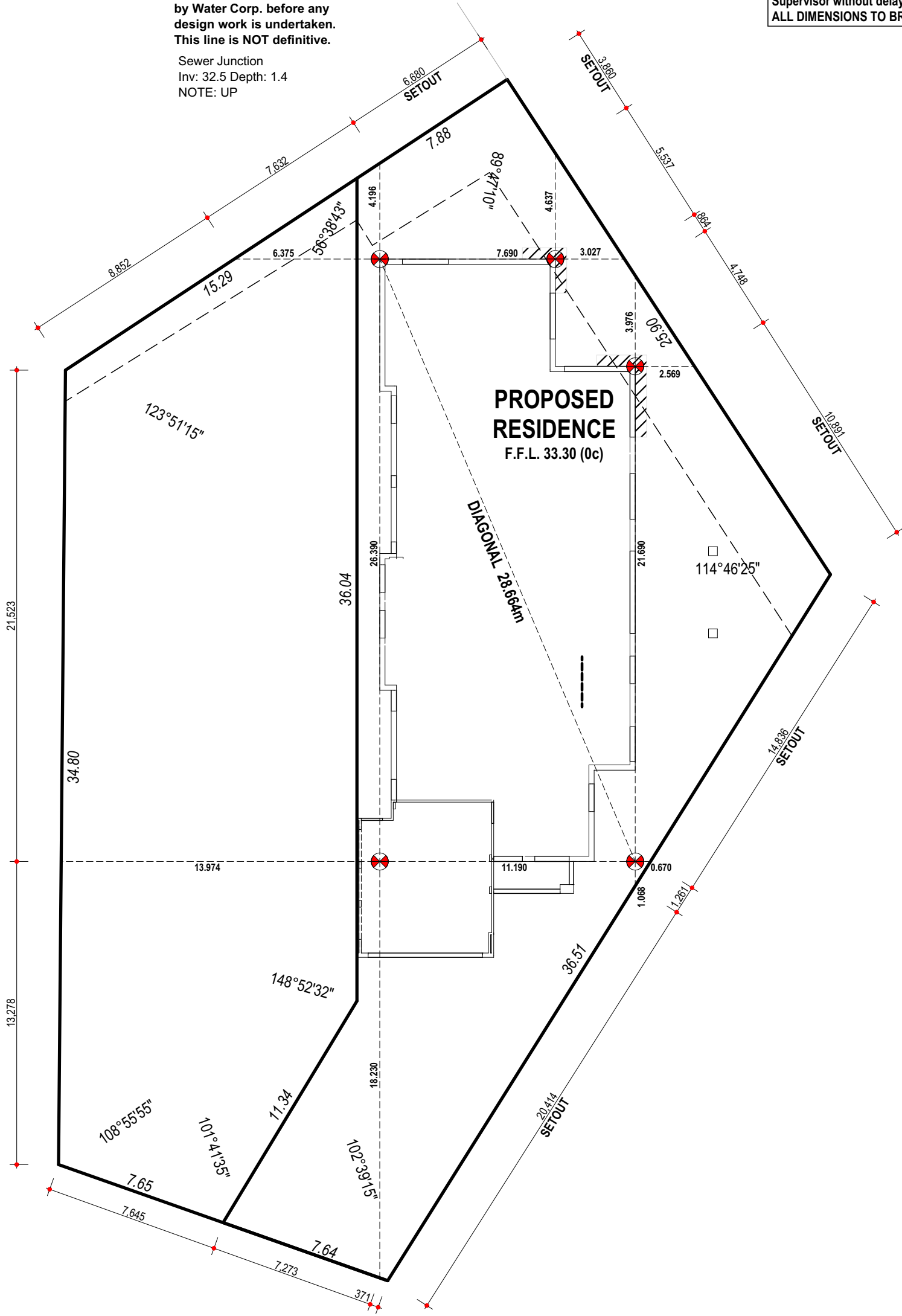
- PILING TO ENGINEER DETAILS AS INDICATED BY:

- CONFIRM EXTENT OF PILING.

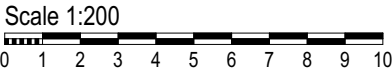
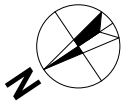
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Sewer Junction
Inv: 32.5 Depth: 1.4
NOTE: UP

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| C/T VOLUMN: | 289 | SOIL: | RTS | PH/COMMS: | YES | SCALE: | 1:200 | SSL 1 MISCLOSE:- | |
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| | | | | | | | | | | |
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| PROPOSED RESIDENCE FOR: | DRAWN: | PR | SCALE: | 1:200 | Issue Name | Drawn | Date | Issue Name | Drawn | Date |
| MOLKENTHIN | DESIGNED: | RC | SHEET: | 3 OF 11 | STRATA | DMA | 16/10/19 | | | |
| | CHECKED: | DM | SIZE: | A3 | V02 | JS | 12/11/19 | | | |
| ADDRESS: | DATE: | 18/02/19 | SUMMIT PROJECTS | | JEL | PR | 20-JAN-20 | | | |
| LOT 79 (#36) CLEVEDON WAY, | | | JOB N° | | | | | | | |
| KARRINYUP. | | | 155384 | | | | | | | |
| | | | SETOUT PLAN | | | | | | | |



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|--------|--------------|-----------------|
| LEGEND | | SEC Dome |
| | | Power Pole |
| | | Phone Pits |
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| | [TP 10.00] | Top Pillar/Post |
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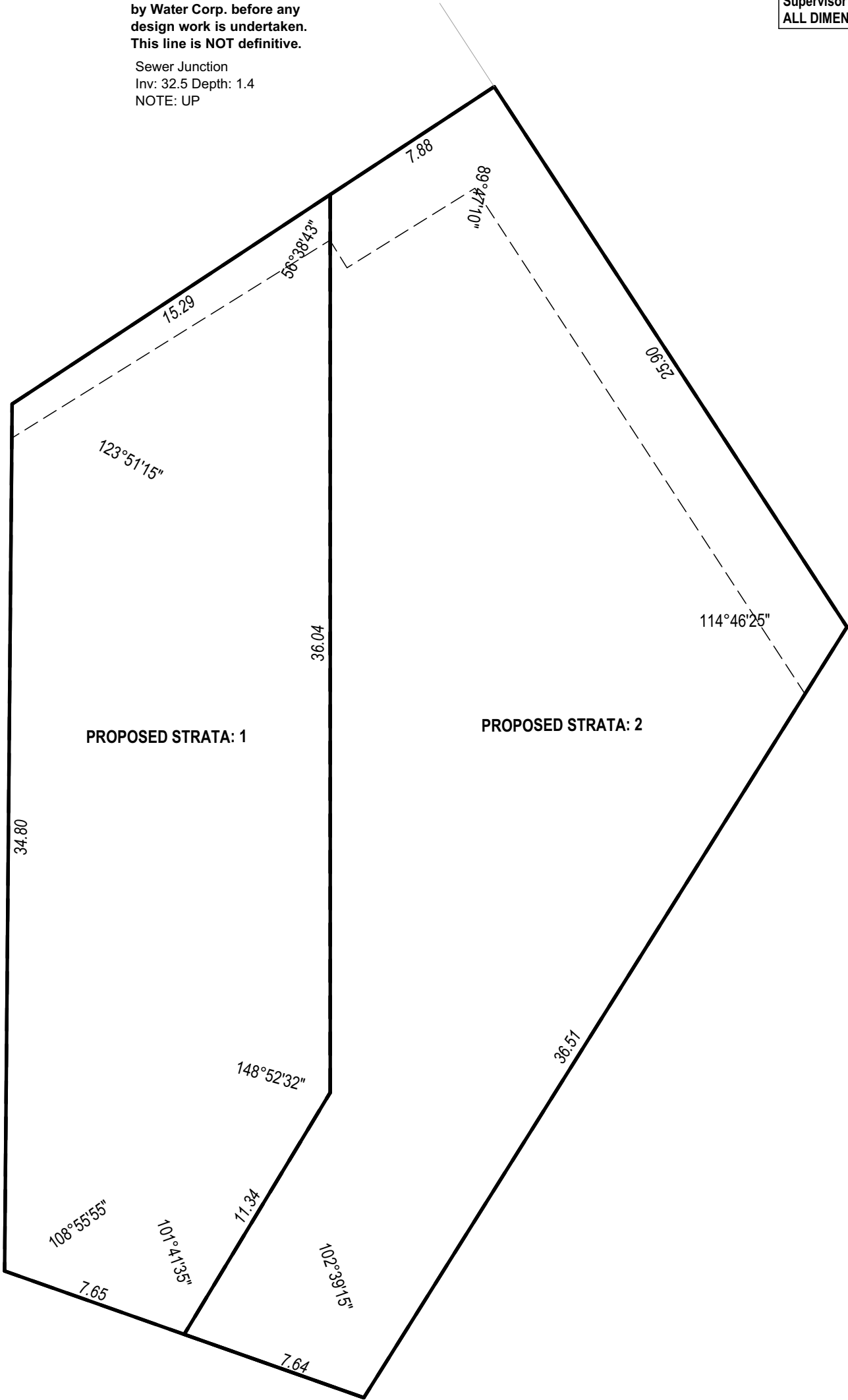
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PROPOSED STRATA: 1 498.91 m²
PROPOSED STRATA: 2 657.84 m²

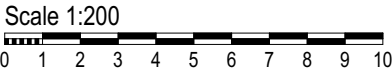
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| C/T VOLUMN: | 289 | SOIL: | RTS | PH/COMMS: | YES | SCALE: | 1:200 | SSL 1 MISCLOSE:- | |
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| | | | | | | | | |
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| PROPOSED RESIDENCE FOR: MOLKENTHIN | DRAWN: PR | SCALE: 1:200 | Issue Name STRATA V02 JEL | Drawn DMA JS PR | Date 16/10/19 12/11/19 20-JAN-20 | Issue Name | Drawn | Date |
| ADDRESS: LOT 79 (#36) CLEVEDON WAY, KARRINYUP. | DESIGNED: RC | SHEET: 4 OF 11 | | | | | | |
| | CHECKED: DM | SIZE: A3 | | | | | | |
| | DATE: 18/02/19 | SUMMIT PROJECTS | | | | | | |
| | | JOB N° 155384 | | | | | | |
| | | STRATA PLAN | | | | | | |



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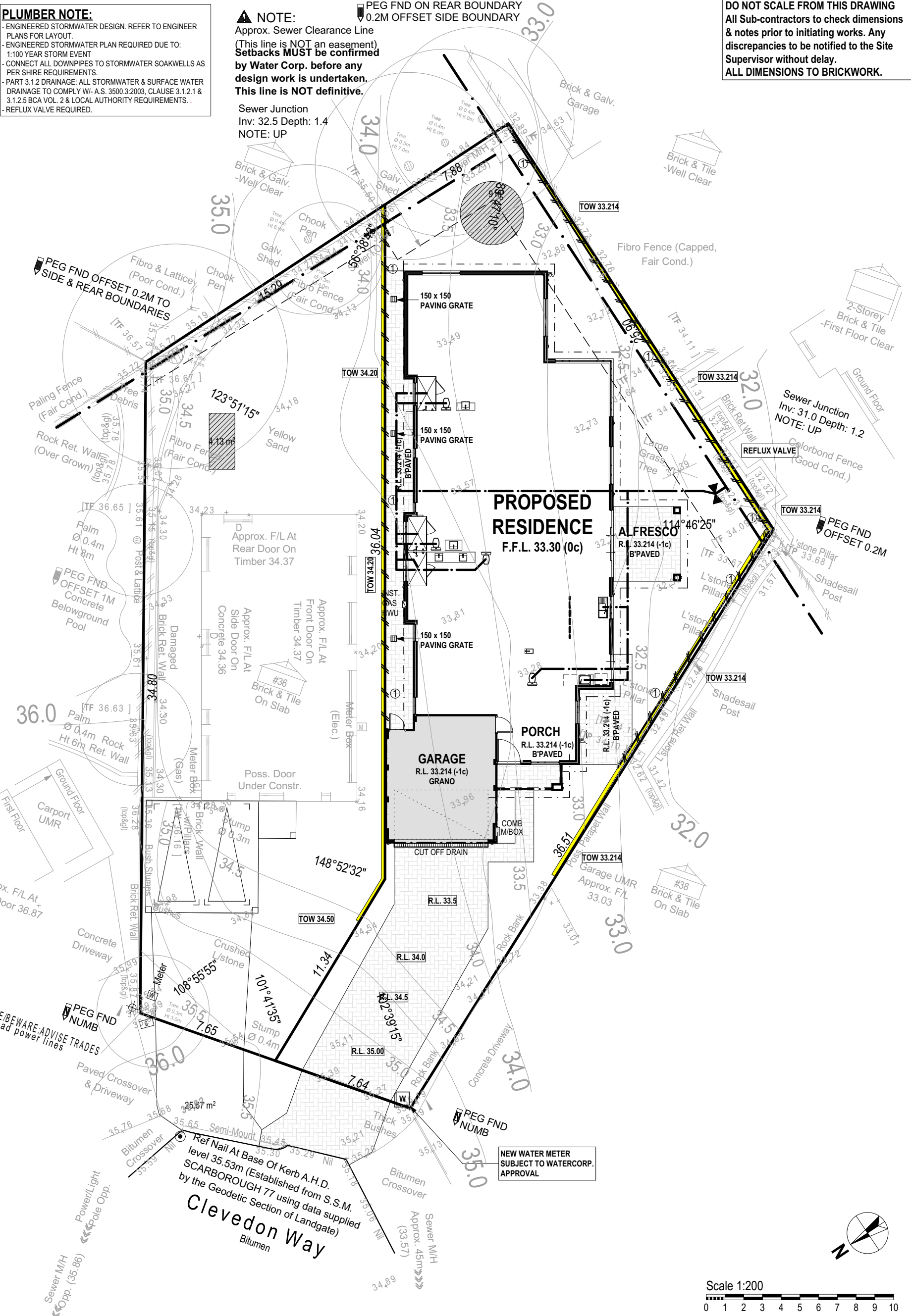
- ENGINEERED STORMWATER DESIGN. REFER TO ENGINEER PLANS FOR LAYOUT.
- ENGINEERED STORMWATER PLAN REQUIRED DUE TO: 1:100 YEAR STORM EVENT
- CONNECT ALL DOWNPIPES TO STORMWATER SOAKWELLS AS PER SHIRE REQUIREMENTS.
- PART 3.1.2 DRAINAGE: ALL STORMWATER & SURFACE WATER DRAINAGE TO COMPLY W/ A.S. 3500.3:2003, CLAUSE 3.1.2.1 & 3.1.2.5 BCA VOL. 2 & LOCAL AUTHORITY REQUIREMENTS.
- REFLUX VALVE REQUIRED.

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0.2M OFFSET SIDE BOUNDARY

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|------------------------------------------------------|----------------|------------------|----------------------|--------------|------------------|------------|-------|------|
| PROPOSED RESIDENCE FOR: MOLKENTHIN | DRAWN: PR | SCALE: 1:200 | Issue Name STRATA | Drawn DMA | Date 16/10/19 | Issue Name | Drawn | Date |
| ADDRESS: LOT 79 (#36) CLEVEDON WAY, KARRINYUP. | DESIGNED: RC | SHEET: 5 OF 11 | V02 | JS | 12/11/19 | | | |
| | CHECKED: DM | SIZE: A3 | AMEND. | DMA | 10/12/19 | | | |
| | DATE: 18/02/19 | SUMMIT PROJECTS | JEL | PR | 20-JAN-20 | | | |
| | | JOB N° 155384 | | | | | | |
| | | PLUMBING PLAN | | | | | | |



SITE CLASSIFICATION - CLASS A
(REFER TO SITE REPORT FOR
DETAILS) WIND LOAD - M1
CORROSION CLASSIFICATION - R3

BRICK NOTE

- 2c FACE BRICK TO BE LAID IN THIRD BOND UNO

ROOF NOTE

- COLORBOND ROOF, PITCH AT 30° W/ 960W EAVES UNO

- STEEL ROOF FRAME TO NASH STANDARDS

- CEILINGS AT 34c + PLATE UNLESS NOTED OTHERWISE

ROOF PLUMBER NOTE

- PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)

- FINAL POSITIONS OF R/WPS TO BE DETERMINED ON SITE

- R/WPS IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER SYSTEM (NO KICK)

ROOF INSULATION NOTE

- R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL PLASTERBOARD OR VERSILUX CEILINGS IF APPL.

CEILING MATERIAL NOTE

- PORCH (INC. AREAS SHOWN HATCHED) - PLASTERBOARD C.L.

- GARAGE - HARDIFLEX C.L.

- ALFRESCO - VERSILUX C.L. ()

ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS INDICATED ON PLAN

FIXING CARPENTER NOTE

- 4 No. 450D SHELVES TO PANTRY AND LINEN UNO

- 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO

- 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY

- PROVIDE MID-SHELF SUPPORT WHERE NOTED "MSS" TO ANY SHELF OVER 1.8m LONG.

SEWER EASEMENT NOTE

- PILING OR DROPPED FOOTING MAY BE REQUIRED (REFER TO ENGINEERS DETAILS) AS INDICATED BY

- CONFIRM EXTENT OF PILING.

TRADES / SUPERVISOR NOTE

- REFER TO STRUCTURAL ENGINEERS DETAILS

- ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS & STANDARD SPECIFICATION.

GARAGE NOTE

- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF

- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OP'NG

PLUMBER NOTE

- NO HOBBS TO SHOWERS UNLESS SHOWN OTHERWISE.

- PLUMBER TO INSTALL REFLUX VALVE IF REQUIRED.

PLASTERBOARD NOTE

- PROVIDE PLASTERBOARD TO WALLS WHERE INDICATED BY "DW"

ROOF PLUMBER / CONC. NOTE

- PRE-LAY RWP & STORMWATER PIPE IN GARAGE FROM GUTTER ON BOUNDARY WALL

RENDER WALL NOTE

- PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED WALLS & H/FLEX / VERSILUX CEILINGS

SANITARY COMPARTMENTS NOTE

- WHERE INDICATED BY "WC" DOORS TO SANITARY FACILITIES ARE INSTALLED WITH LIFT-OFF HINGES AS PER PART 3.8.3.3 OF B.C.A. (VOL. 2)

AIRCON NOTE

- PROVIDE REVERSE CYCLE AIR CONDITIONING. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.

- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

BRICKLAYER NOTE

- 1ST FACE BRICKWORK WHERE EVER POSSIBLE.

- FOR 2c GARAGE:

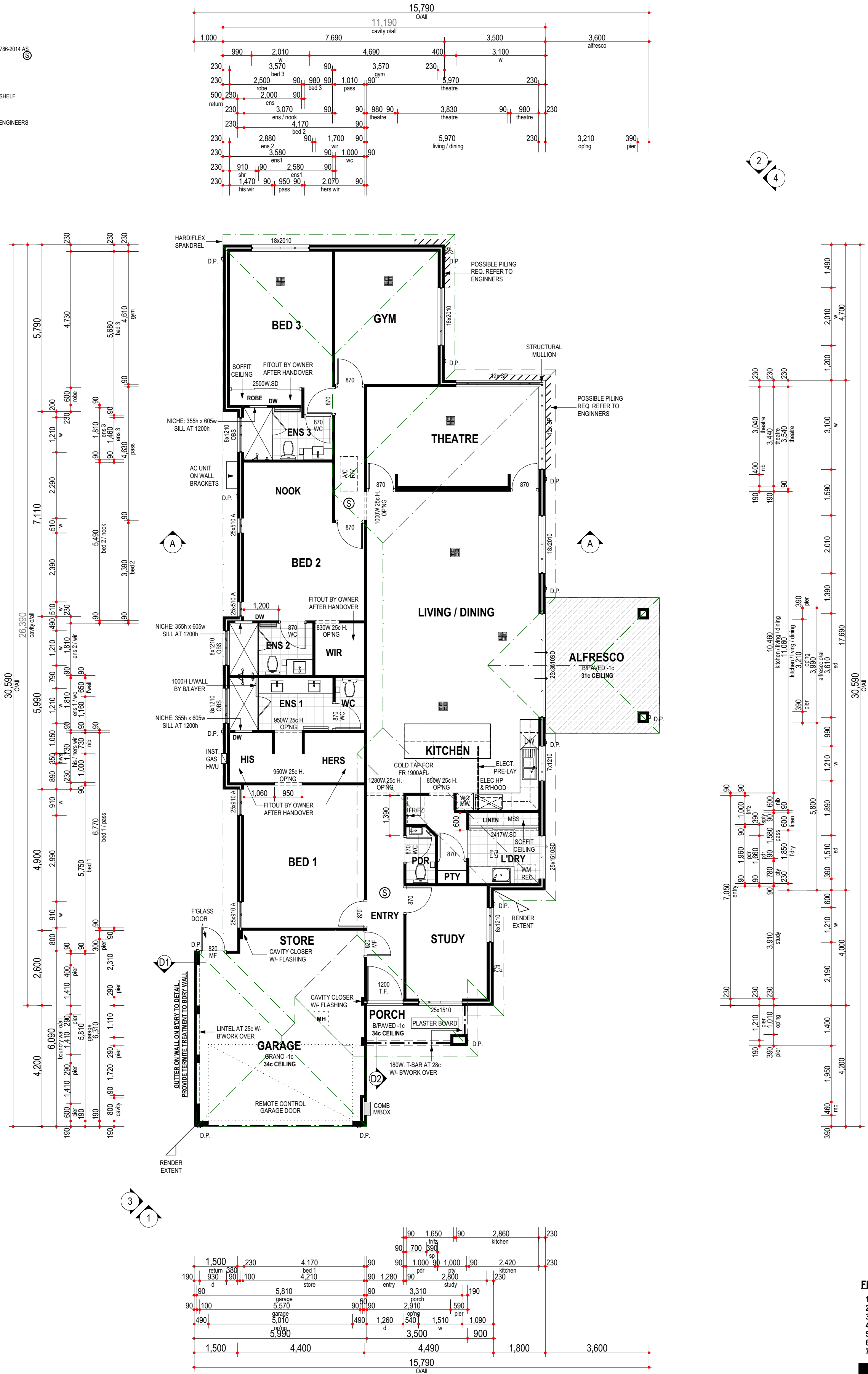
- 25c & 31c GARAGE HAS 4c LINTEL

- 28c & 34c GARAGE HAS 3c LINTEL

CONCRETOR/BRK LAYER NOTE

- NOTE BRICKWALL ON STRATA BOUNDARY HAS BEEN CALCULATED TO BE SET ON BOUNDARY.

- ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT 3c UNLESS NOTED OTHERWISE.



| FLOOR PLAN | | Area m² | Perim. L/m |
|---------------|--|---------|------------|
| 1. FLOOR PLAN | | 252.91 | 76.16 |
| 2. GARAGE | | 35.36 | 26.58 |
| 3. STORE | | 4.01 | 9.04 |
| 4. PORCH | | 4.90 | 9.80 |
| 5. ALFRESCO | | 14.36 | 15.18 |
| 6. TOTAL AREA | | 311.61 | 94.76 |
| 7. ROOF | | 336.53 | 94.02 |

DO NOT SCALE FROM THIS DRAWING

All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.

ALL DIMENSIONS TO BRICKWORK.

CLIENT(S):

WITNESS:

PROPOSED RESIDENCE FOR:

MOLKENTHIN

ADDRESS:

LOT 79 (#36) CLEVEDON WAY, KARRINYUP.

DRAWN: PR

DESIGNED: RC

CHECKED: DM

DATE: 18/02/19

SCALE: 1:100

SHEET: 6 OF 11

SIZE: A2

SUMMIT PROJECTS

JOB N° 155384

Issue Name: V02 JEL

Drawn: JS PR

Date: 12/1/19 20-JAN-20

Issue Name:

Drawn:

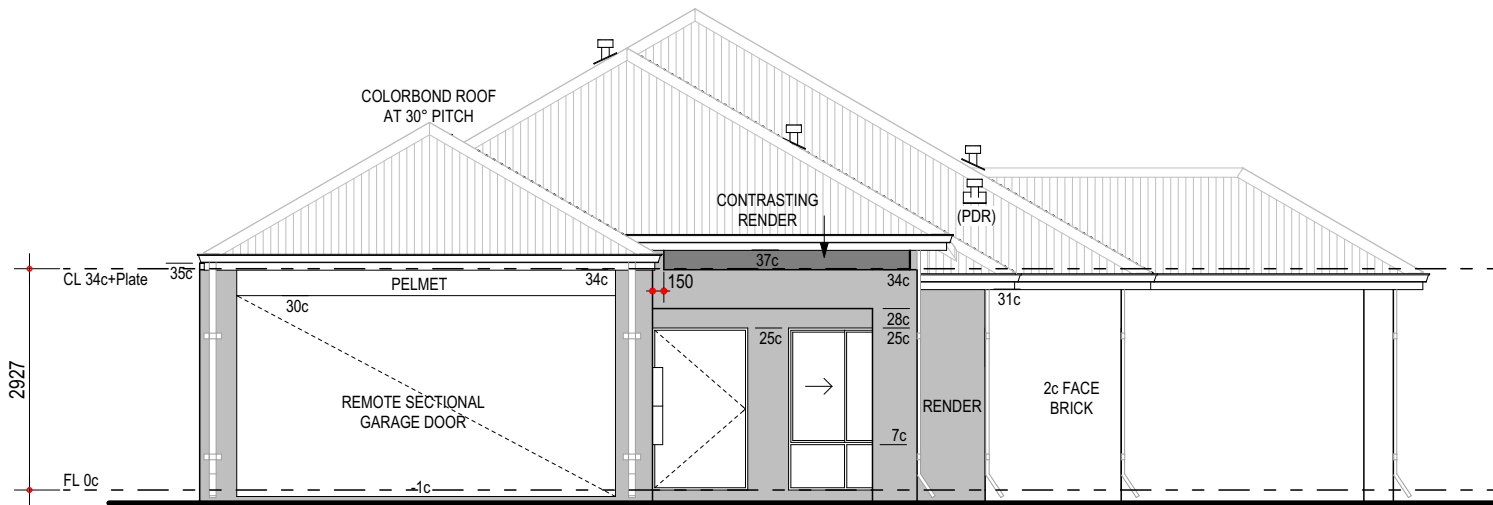
Date:

FLOOR PLAN

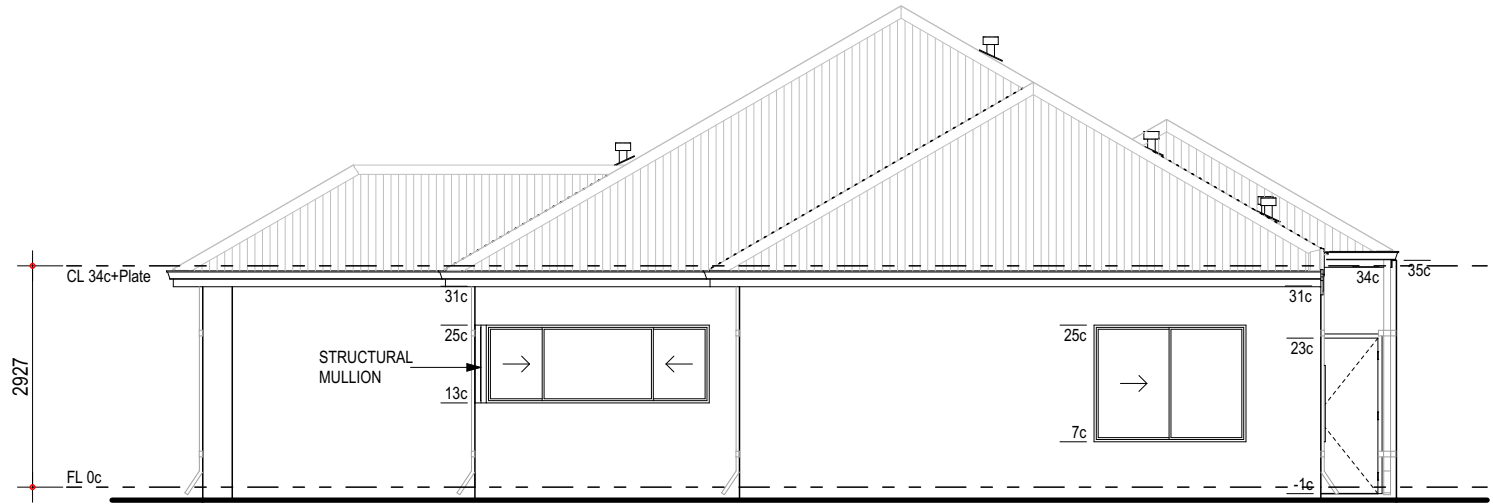


ROOF NOTE
- COLORBOND ROOF, PITCH AT 30° W/ 360W EAVES UNO
- STEEL ROOF IN ACCORDANCE TO NASH STANDARD
- CEILINGS AT 34c + PLATE UNLESS NOTED OTHERWISE

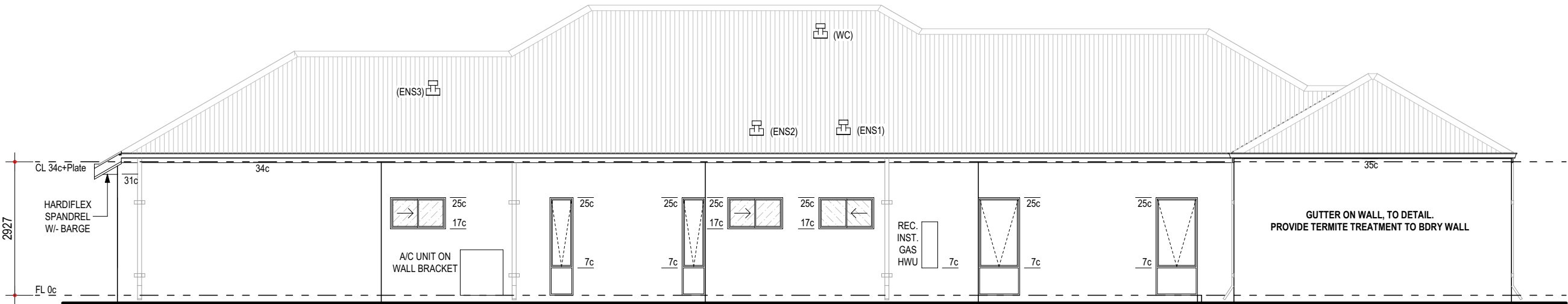
WINDOW SUPPLIER NOTE
- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288



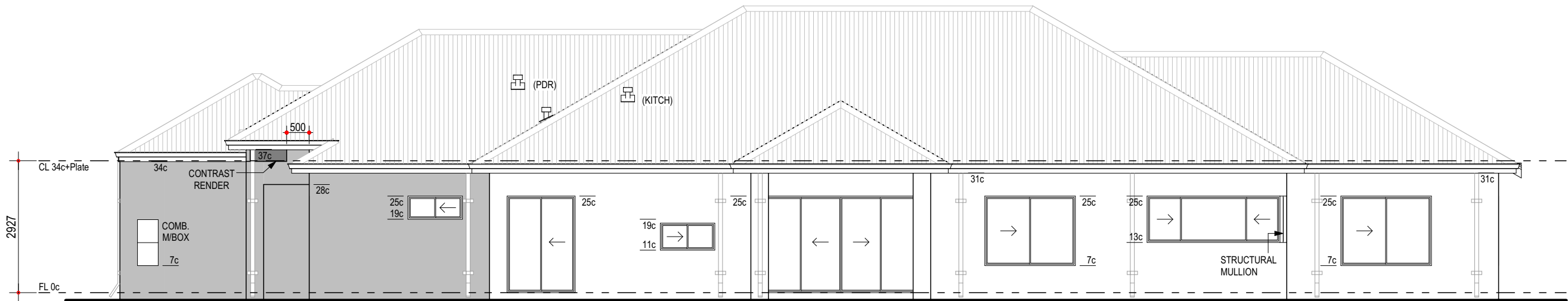
ELEVATION 1



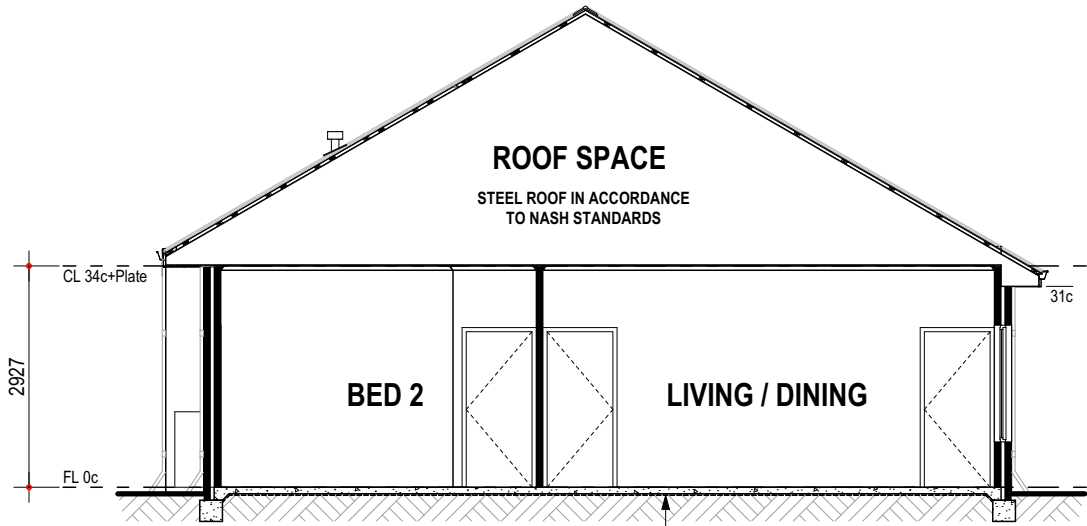
ELEVATION 2



ELEVATION 3



ELEVATION 4



SECTION A-A
SCALE 1:100

DO NOT SCALE FROM THIS DRAWING
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& notes prior to initiating works. Any
discrepancies to be notified to the Site
Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

BUILDER:
CLIENT(S):
WITNESS:

PROPOSED RESIDENCE FOR:
MOLKENTHIN

ADDRESS:
LOT 79 (#36) CLEVEDON WAY,
KARRINYUP.

DRAWN: PR
DESIGNED: RC
CHECKED: DM
DATE: 18/02/19

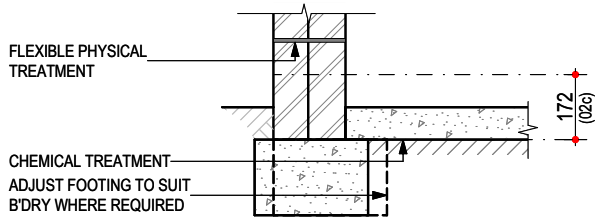
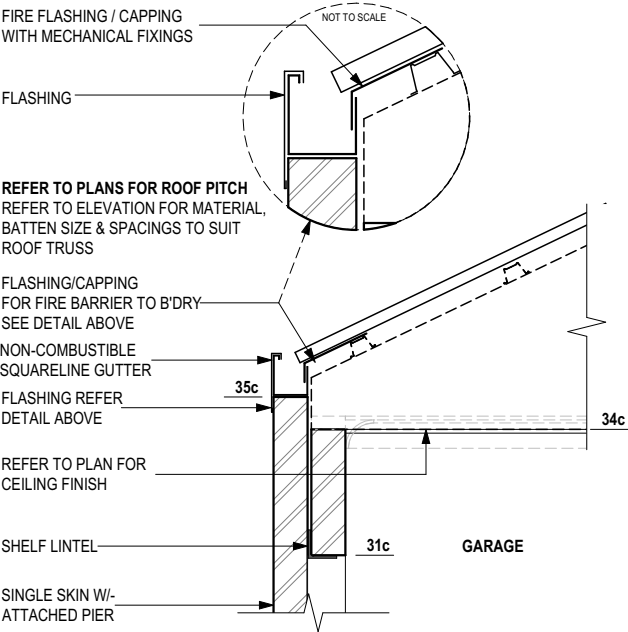
SCALE: 1:100
SHEET: 7 OF 11
SIZE: A2
SUMMIT PROJECTS
JOB N°
155384

| Issue Name | Drawn | Date | Issue Name | Drawn | Date |
|------------|-------|----------|------------|-------|-----------|
| V02 | JEL | 12/11/19 | J5 | PR | 20-JAN-20 |

ELEVATIONS - SECTION

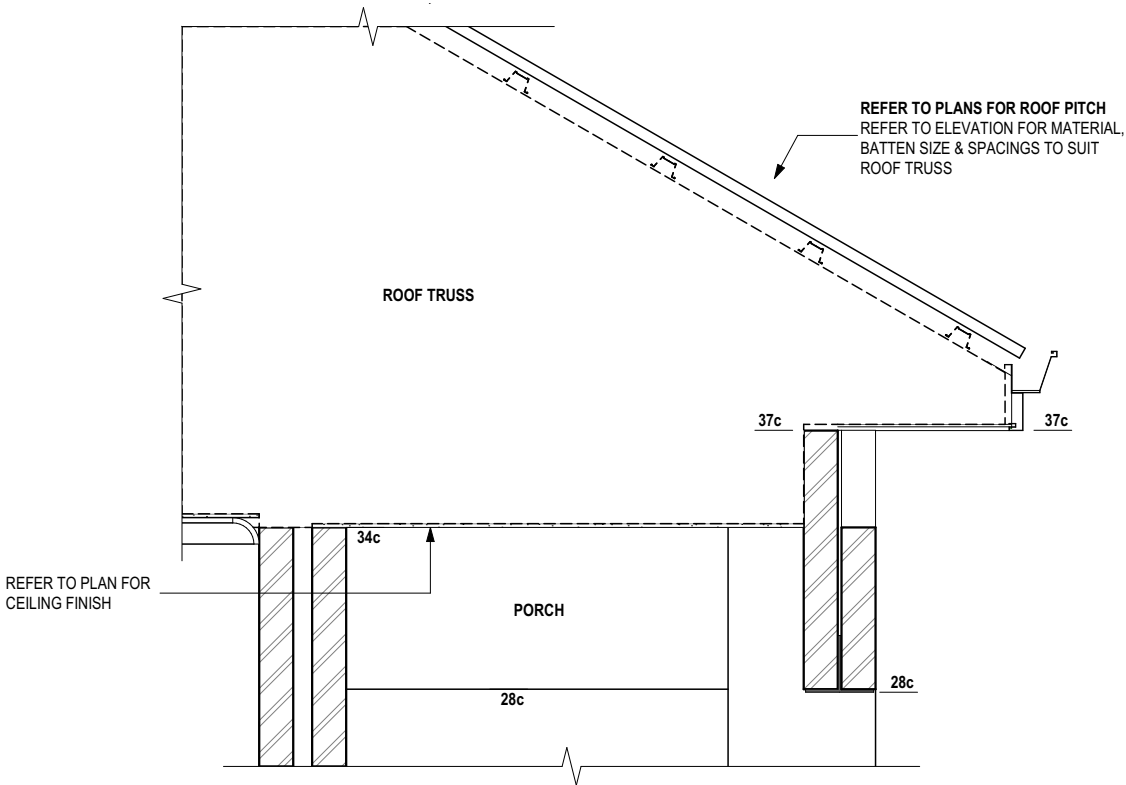


DO NOT SCALE FROM THIS DRAWING
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& notes prior to initiating works. Any
discrepancies to be notified to the Site
Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.



**D01 - GUTTER ON WALL/FLASHING DETAIL TO GARAGE
W/- TERMITE TREATMENT**

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
 - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 - REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
 - TIMBER ROOF CONSTRUCTED IN ACCORDANCE TO AS. 1684
 - SCALE 1 : 20



D02 - PORCH DETAIL

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
 - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 - REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
 - TIMBER ROOF CONSTRUCTED IN ACCORDANCE TO AS. 1684
 - SCALE 1 : 20

| | |
|------------|-------|
| BUILDER: | |
| CLIENT(S): | |
| WITNESS: | |

PROPOSED RESIDENCE FOR:
MOLKENTHIN

ADDRESS:
LOT 79 (#36) CLEVEDON WAY,
KARRINYUP.

| | | | | | | | | | |
|-----------|----------|-----------------|----------|------------|-------|-----------|------------|-------|------|
| DRAWN: | PR | SCALE: | AS NOTED | Issue Name | Drawn | Date | Issue Name | Drawn | Date |
| DESIGNED: | RC | SHEET: | 8 OF 11 | V02 | JS | 12/11/19 | | | |
| CHECKED: | DM | SIZE: | A3 | JEL | PR | 20-JAN-20 | | | |
| DATE: | 18/02/19 | SUMMIT PROJECTS | | | | | | | |
| | | JOB N° | | | | | | | |
| | | 155384 | | | | | | | |
| | | DETAILS | | | | | | | |

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

- SHADING DENOTES EXTENT OF TILING
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES
- ALL WINDOW SILLS IN WET AREAS TO BE TILED
- **MITRED TILES TO WET AREAS**

| |
|--------------------------------------------------------------------------|
| REFER TO ADDENDUM FOR FITOUT SPECIFICATION |
| WET AREAS CONSTRUCTED IN ACCORDANCE WITH PART 3.8.1 OF B.C.A. (VOL 2) |



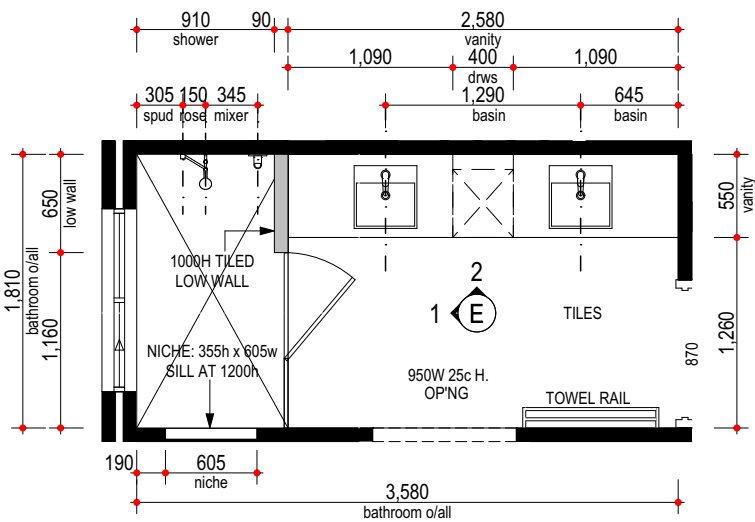
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|------------|---|---|
| BUILDER: | / | / |
| CLIENT(S): | / | / |
| | / | / |
| WITNESS: | / | / |

ADDRESS:
LOT 79 (#36) CLEVEDON WAY,
KARRINYUP.

SUMMIT PROJECTS
JOB N°
155384

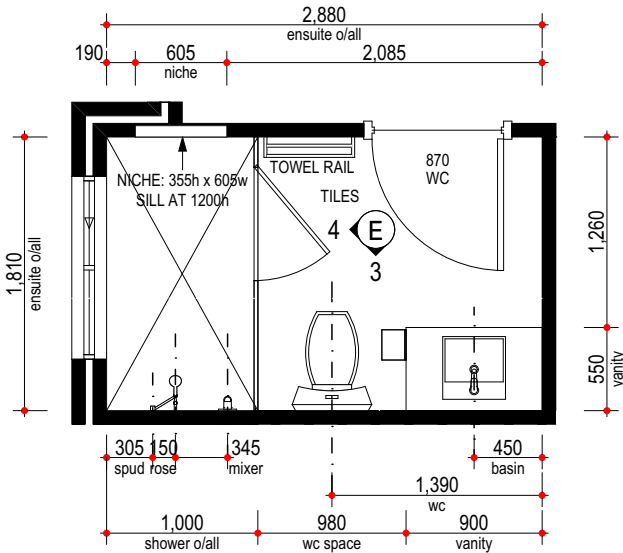
KITCHEN - L'DRY LAYOUTS





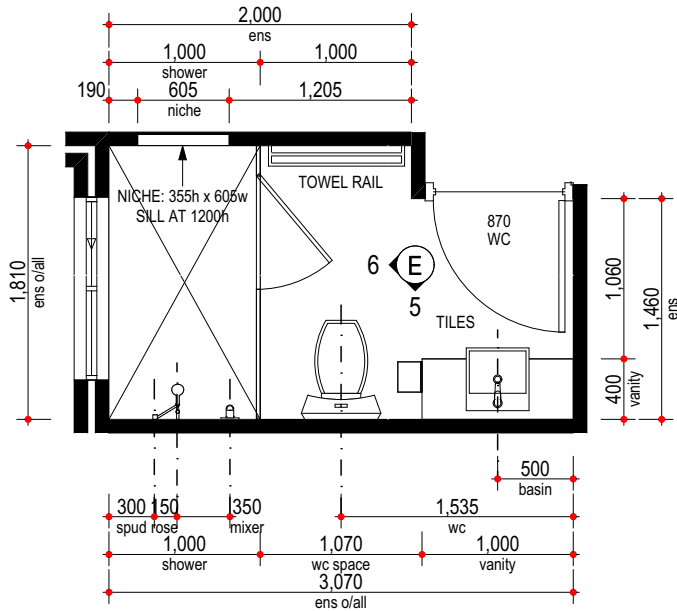
ENSUITE PLAN 1

PROVIDE 8mm ALUMINIUM ANGLE TO:
- LOW WALL
- ALONG TOP OF SHOWER TILING AND AROUND WINDOW
- NICHE



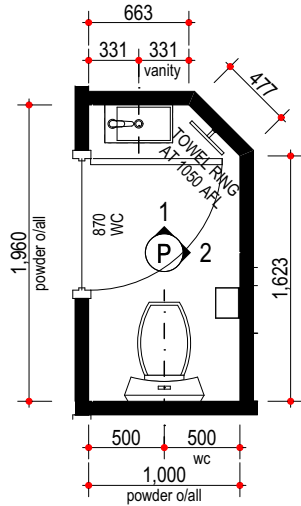
ENSUITE PLAN 2

PROVIDE 8mm ALUMINIUM ANGLE TO:
- ALONG TOP OF SHOWER TILING AND AROUND WINDOW
- NICHE



ENSUITE PLAN 3

PROVIDE 8mm ALUMINIUM ANGLE TO:
- ALONG TOP OF SHOWER TILING AND AROUND WINDOW
- NICHE



PDR PLAN

PROVIDE 8mm ALUMINIUM ANGLE TO:
- TOP OF WALL TILING

BENCHTOP NOTE

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

WALL FINISH NOTE

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

CABINETMAKER NOTE

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

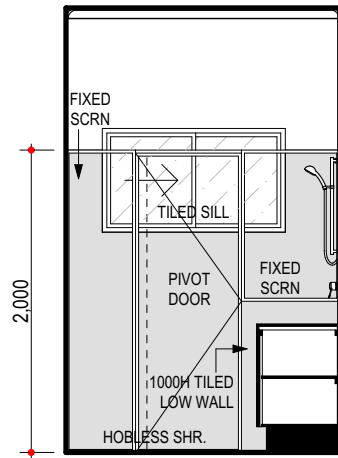
TILER NOTE

- SHADING DENOTES EXTENT OF TILING
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES
- ALL WINDOW SILLS IN WET AREAS TO BE TILED
- MITRED TILES TO WET AREAS

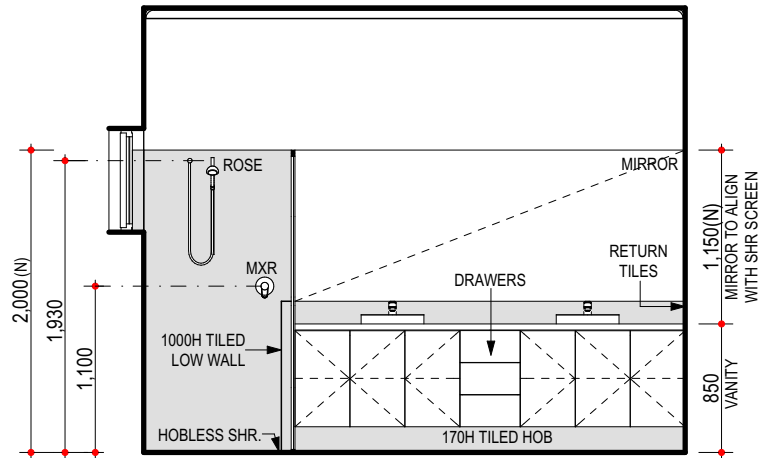
DO NOT SCALE FROM THIS DRAWING

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ALL DIMENSIONS TO BRICKWORK.

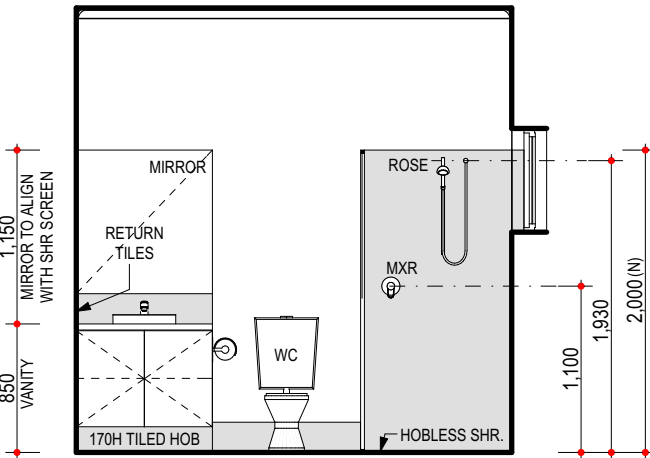
REFER TO ADDENDUM FOR FITOUT SPECIFICATION
WET AREAS CONSTRUCTED IN ACCORDANCE WITH PART 3.8.1 OF B.C.A. (VOL 2)



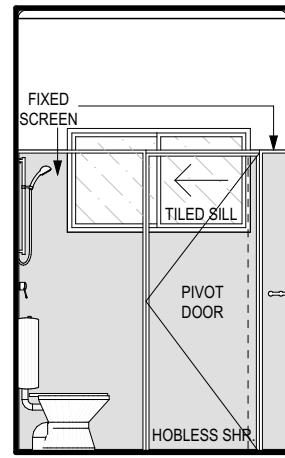
E1 VIEW



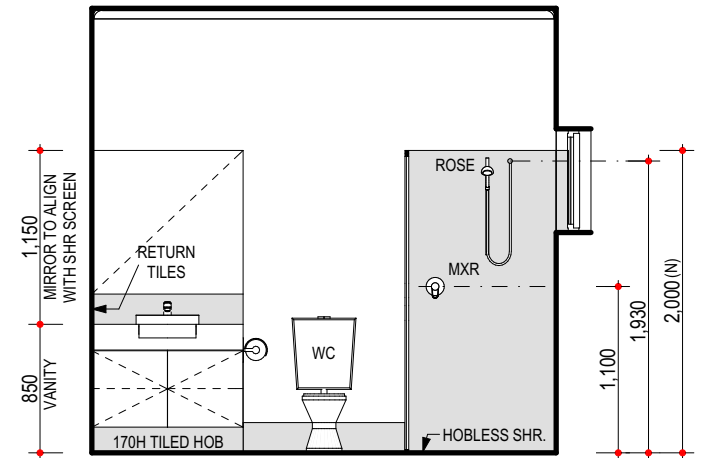
E2 VIEW



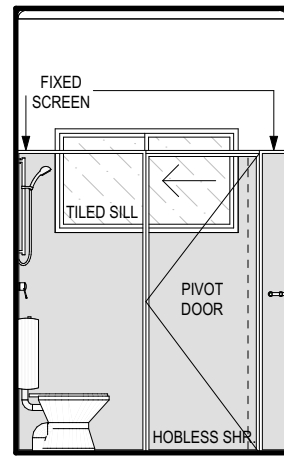
E3 VIEW



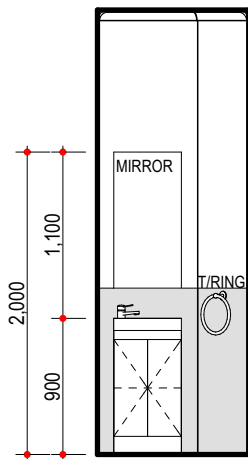
E4 VIEW



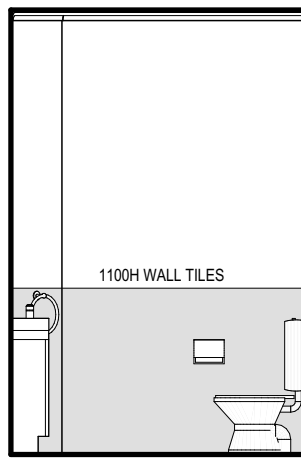
E5 VIEW



E6 VIEW



P1 VIEW



P2 VIEW

PROPOSED RESIDENCE FOR:
MOLKENTHIN

ADDRESS:
LOT 79 (#36) CLEVEDON WAY,
KARRINYUP.

BUILT AROUND PEOPLE

DRAWN: PR
DESIGNED: RC
CHECKED: DM
DATE: 18/02/19

SCALE: 1:50
SHEET: 10 OF 11
SIZE: A3
SUMMIT PROJECTS
JOB N° 155384

Issue Name V02 JEL
Drawn JS PR
Date 12/11/19 20-JAN-20
Issue Name
Drawn
Date






















BATHROOM - ENSUITE LAYOUTS

SUMMIT
HOMES GROUP

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ELECTRICAL LEGEND

Ground Floor

| Qty | Sym. | Description | Watts | Insulation Penetrations |
|-----|-----------------------------------------------------------------------------------|-------------------------------------------------------------|-------|-------------------------|
| 1 |  | EXTERNAL WALL LIGHT @ 2000 AFL Perimeter Lighting | 11* | * |
| 2 | 2 WAY | 2 WAY SWITCH Perimeter Lighting | 0* | * |
| 5 |  | RECESSED LED DOWN-LIGHT (11w) | 55 | |
| 22 |  | PLUG BASE | 0 | |
| 2 |  | H.WIRED SMOKE DETECTOR | 0 | |
| 5 |  | EXHAUST FAN FLUMED | 0 | 0.226 |
| 1 |  | CEILING LIGHT (11w) | 11 | |
| 1 |  | W/P SGPO INSTALLED IN HWU | 0 | |
| 1 |  | SINGLE GPO IN/ON CEILING | 0 | |
| 1 |  | SINGLE GPO FOR R/H (REFER TO PLAN FOR R/H TYPE) | 0 | |
| 3 |  | SINGLE GPO @ NOTED HT | 0 | |
| 1 |  | NBN LEAD IN CONDUIT (25mm) W/- BLANK FACE PLATE AT 1500 AFL | 0 | |
| 1 |  | DOUBLE WATER PROOF GPO | 0 | |
| 9 |  | DOUBLE GPO @ NOTED HT | 0 | |
| 20 |  | DOUBLE GPO @ 200 AFL | 0 | |
| 1 |  | DOUBLE GPO @ 1500 AFL W/ 20mm CONDUIT FOR PSU CONNECTION | 0 | |
| 4 |  | CONDUIT FOR NBN (25mm) | 0 | |
| 1 |  | CONDUIT (32mm) | 0 | |
| 1 |  | D2 (2x DATA/PHONE) FOR NBN PROVISION @ 1500 AFL | 0 | |
| 1 |  | D1 (INT) + CONDUIT BY O.N.C | 0 | |
| 1 |  | C1 (TV) + D2 (PH/DATA) | 0 | |
| 1 |  | C1 (TV) + D1 (DATA) | 0 | |

* NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. Subtotal: 66 0.226
PERIMETER LIGHTING MIN. 40 LUMENS/W.
Total Class 1 Wattage= 66

Wattage Calculations (Class 1)

| Story Name | Area | Allowed Wattage | Actual Wattage |
|------------------|------------|-----------------|----------------|
| 0 Ground Floor | 236.56 Sqm | 1183 w | 66 w |
| | 236.56 sqm | 1183 w | 66 w PASS |

Recessed Fitting Penetrations (Class 1)

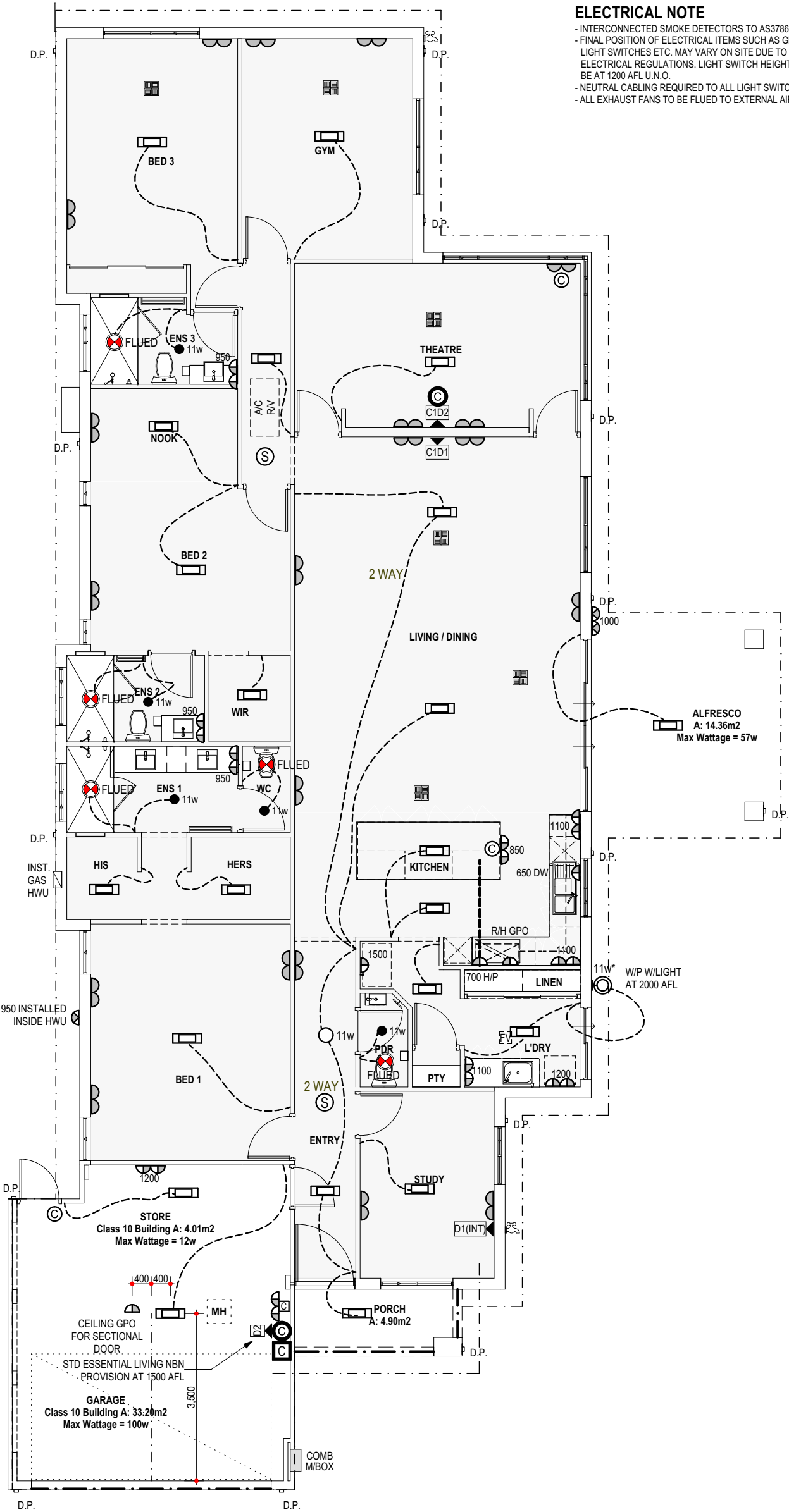
| Story Name | Area | Maximum Penetrations | Actual Penetrations |
|----------------------------------------|------------|----------------------|------------------------------------------------------------------|
| Total Insulation Area Vents\RangeHoods | 236.56 sqm | 1.183 sqm | 0.226 sqm 0.094 Sqm |
| | 236.56 sqm | 1.183 sqm | 0.320 sqm PASS 0.14 % R4.0 Insulation Adjustment Not Required |

CLIENT NOTE: MAX WATTAGE AND PENETRATIONS MUST NOT BE EXCEEDED

LIGHT AND VENTILATION CALC.

| Room Name | Opn % | Light | Vent. |
|--------------------------------------------------------------|-------|----------------|--------------|
| 7 STUDY | | | |
| Min. Ventilation = 0.82 Min. Light= 1.09 Total Area= 10.95 | | | |
| W17 Sliding | 36 % | 3.24 m2 | 1.16 m2 |
| W16 Sliding | 50 % | 0.62 m2 | 0.31 m2 |
| Totals | | Light 3.86 m2 | Vent 1.48 m2 |
| 6 THEATRE | | | |
| Min. Ventilation = 1.58 Min. Light= 2.10 Total Area= 21.04 | | | |
| W11 Sliding | 48 % | 3.19 m2 | 1.52 m2 |
| W10 Sliding | 48 % | 3.19 m2 | 1.52 m2 |
| Totals | | Light 6.38 m2 | Vent 3.04 m2 |
| 5 GYM | | | |
| Min. Ventilation = 1.23 Min. Light= 1.65 Total Area= 16.46 | | | |
| W09 Sliding | 50 % | 3.10 m2 | 1.55 m2 |
| Totals | | Light 3.10 m2 | Vent 1.55 m2 |
| 4 BED 3 | | | |
| Min. Ventilation = 1.34 Min. Light= 1.78 Total Area= 17.82 | | | |
| W08 Sliding | 50 % | 3.10 m2 | 1.55 m2 |
| Totals | | Light 3.10 m2 | Vent 1.55 m2 |
| 3 NOOK BED 2 | | | |
| Min. Ventilation = 1.54 Min. Light= 2.06 Total Area= 20.58 | | | |
| W06 Awning | 72 % | 1.09 m2 | 0.79 m2 |
| W05 Awning | 72 % | 1.09 m2 | 0.79 m2 |
| Totals | | Light 2.19 m2 | Vent 1.57 m2 |
| 2 BED 1 | | | |
| Min. Ventilation = 1.68 Min. Light= 2.24 Total Area= 22.37 | | | |
| W03 Awning | 72 % | 1.95 m2 | 1.40 m2 |
| W02 Awning | 72 % | 1.95 m2 | 1.40 m2 |
| Totals | | Light 3.90 m2 | Vent 2.81 m2 |
| 1 LIVING / DINING KITCHEN | | | |
| Min. Ventilation = 5.05 Min. Light= 6.73 Total Area= 67.33 | | | |
| W14 Sliding | 50 % | 0.83 m2 | 0.42 m2 |
| W13 Sliding Door | 50 % | 7.74 m2 | 3.87 m2 |
| W12 Sliding | 50 % | 3.10 m2 | 1.55 m2 |
| Totals | | Light 11.67 m2 | Vent 5.83 m2 |

Inputs for Airmovement and Light are Valid



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ALL DIMENSIONS TO BRICKWORK.

REFER TO ADDENDUM FOR ELEC. SPECIFICATION

ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO AS3786-2014
- FINAL POSITION OF ELECTRICAL ITEMS SUCH AS GPO'S, LIGHT SWITCHES ETC. MAY VARY ON SITE DUE TO ELECTRICAL REGULATIONS. LIGHT SWITCH HEIGHT TO BE AT 1200 AFL U.N.O.
- NEUTRAL CABLING REQUIRED TO ALL LIGHT SWITCHES.
- ALL EXHAUST FANS TO BE FLUED TO EXTERNAL AIR

PROPOSED RESIDENCE FOR:
MOLKENTHIN

ADDRESS:
LOT 79 (#36) CLEVEDON WAY,
KARRINYUP.

DRAWN: PR
DESIGNED: RC
CHECKED: DM
DATE: 18/02/19

SCALE: 1:100
SHEET: 11 OF 11
SIZE: A3
SUMMIT PROJECTS
JOB N° 155384

| Issue Name | Drawn | Date | Issue Name | Drawn | Date |
|------------|----------|-----------------------|------------|-------|------|
| V02 JEL | JS PR | 12/11/19 20-JAN-20 | | | |

ELECTRICAL PLAN



SUMMIT
HOMES GROUP