

FIXING CARPENTER NOTES

1. 450w SHELF & RAIL TO ROBES & WIR TO BE 1700afl. (U.O.N.)
2. 4x450w (U.O.N.) SHELVES TO PANTRY, LINEN & WIL TO BE 500, 900, 1300 & 1700afl.

CONCRETOR NOTE

1. GARAGE & FREESTANDING EXTERNAL BRICK PIER FOOTINGS TO BE AT -3c U.O.N.

Note:

Owner to supply - builder to install:

Towel Rails, Toilet Roll Holders & Towel Rings.
Shower Mixers & Grates.
All Basins including pop plug & Basin Wastes & Mixers.
Freestanding Bath incl. pop plug & Waste.
Bath Mixer & Spout
Laundry Trough & Benchtop Mixer.
Kitchen Sink & Benchtop Mixer.

Oven and Induction Hotplate.
Floor & Shower Wastes.

GENERAL NOTES

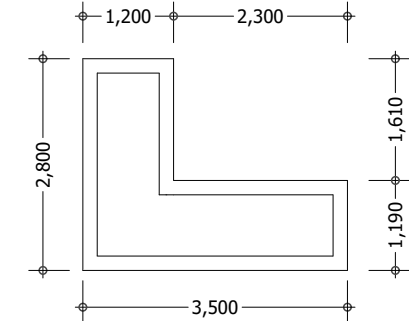
RENDERED BRICKWORK.

COLORBOND ROOF.

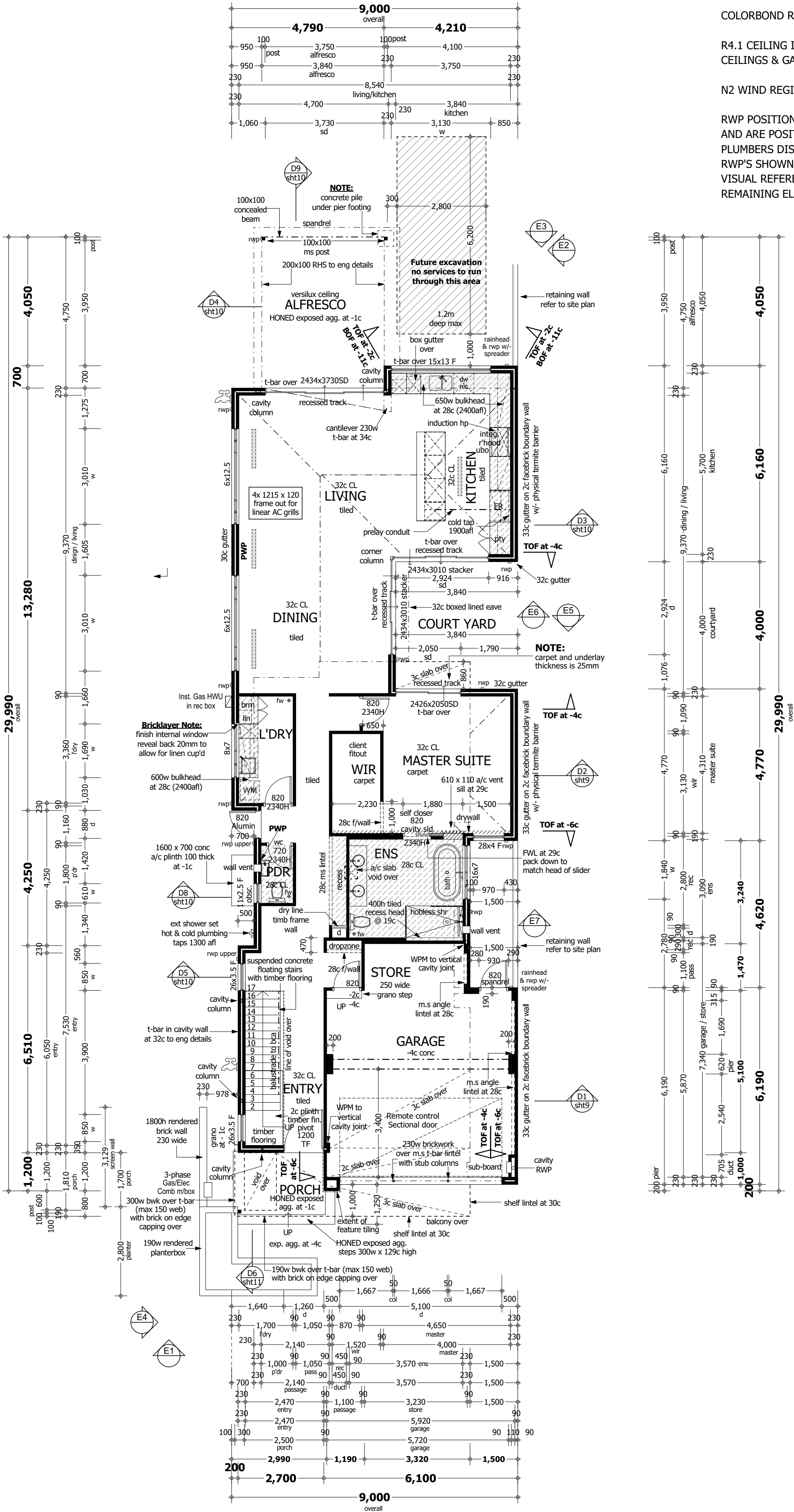
R4.1 CEILING INSULATION TO INTERNAL CEILINGS & GARAGE ONLY.

N2 WIND REGION.

RWP POSITIONS SHOWN ARE APPROX AND ARE POSITIONED AT THE ROOF PLUMBERS DISCRETION.
RWP'S SHOWN ON FRONT ELEVATION FOR VISUAL REFERENCE, REFER TO PLANS FOR REMAINING ELEVATIONS.



front planter dimensions
1:100



GROUND FLOOR PLAN
1:100

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PROPOSED RESIDENCE ADDRESS:
Lot 12 (#37) Beachton Street
North Beach
FOR:
Marcus and Lisa Tieleman

SIGNATURES:

OWNER: _____
OWNER: _____
BUILDER: _____
DATE: _____

AMENDMENTS:

25/6/19	Vince	Engineers
28/6/19	GM	screen added
4/7/19	VM	Void win increased, rear wall relocated
5/7/19	Vince	Alfresco o/hang, void win/balcony
28/08/19	RS	Prestart PSV01
10/09/19	RS	Prestart PSV02
10/10/19	RS	Prestart PSV03
4/12/19	GM	PSV04

Custom

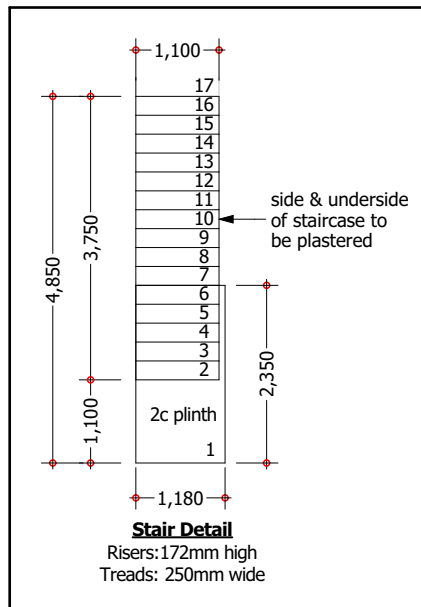
SHEET1 OF 17
DRN: Vince
DATE: 25/04/19
SCALE: 1:100, 1:1
CONTRACT NO:
18055

Area Calc

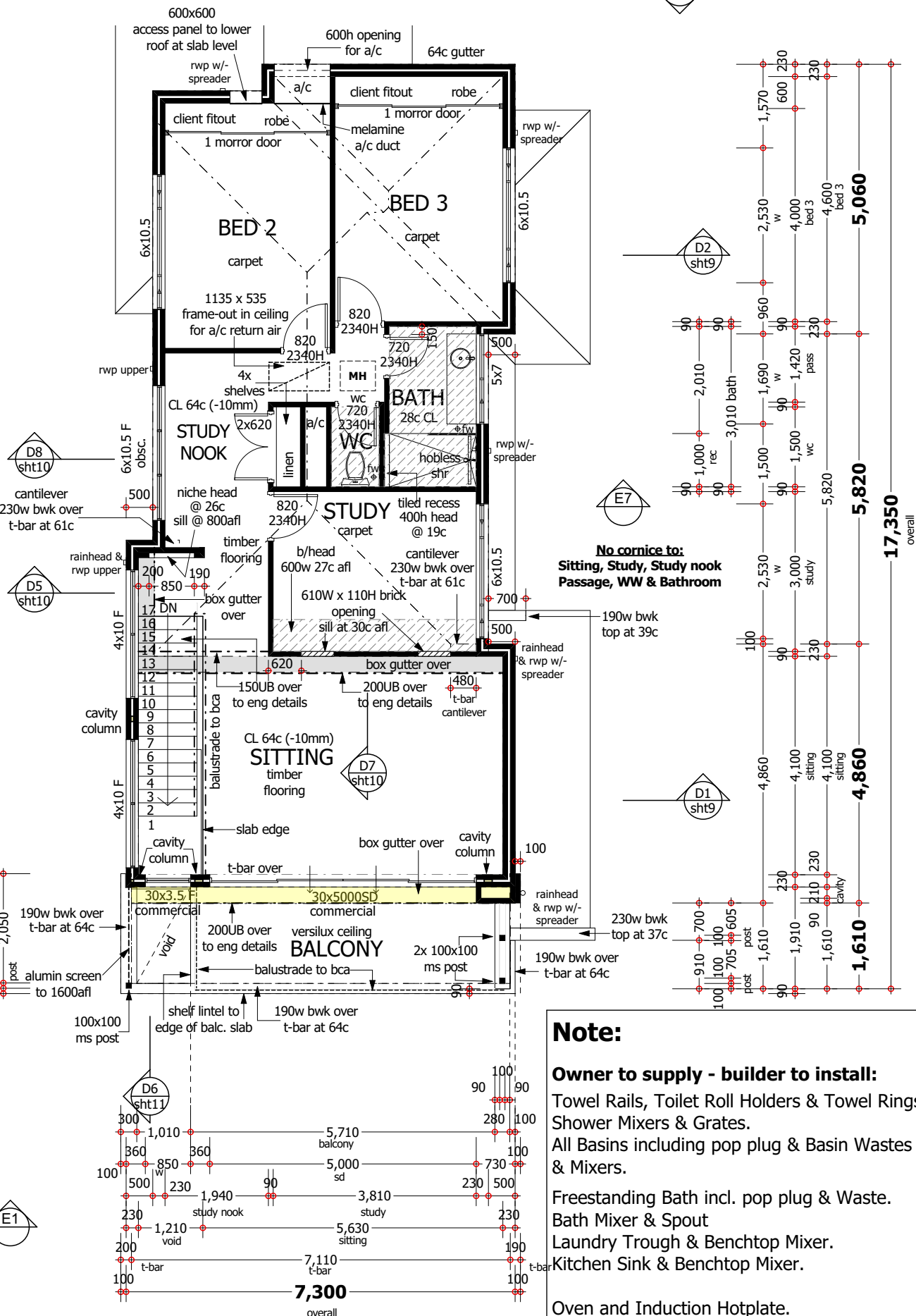
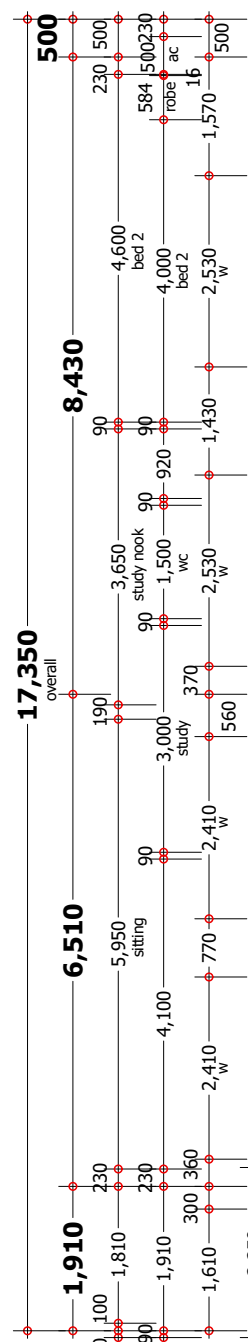
. PORCH	3.00	
. STORE	4.88	
. BALCONY	11.99	
. ALFRESCO	21.27	
. GARAGE	36.89	
. UPPER FLOOR	104.32	46.48
. GROUND FLOOR	157.07	76.16
Total	339.42 m²	

1. 450w SHELF & RAIL TO ROBES & WIR TO BE 1700af. (U.O.N.)
2. 4x450w (U.O.N.) SHELVES TO PANTRY, LINEN & WIL TO BE 500, 900, 1300 & 1700af.

1. GARAGE & FREESTANDING EXTERNAL BRICK
PIER FOOTINGS TO BE AT -3c U.O.N.



1:100



1:100


RENDERED BRICKWORK.

COLORBOND ROOF.

R4.1 CEILING INSULATION TO INTERNAL CEILINGS & GARAGE ONLY.

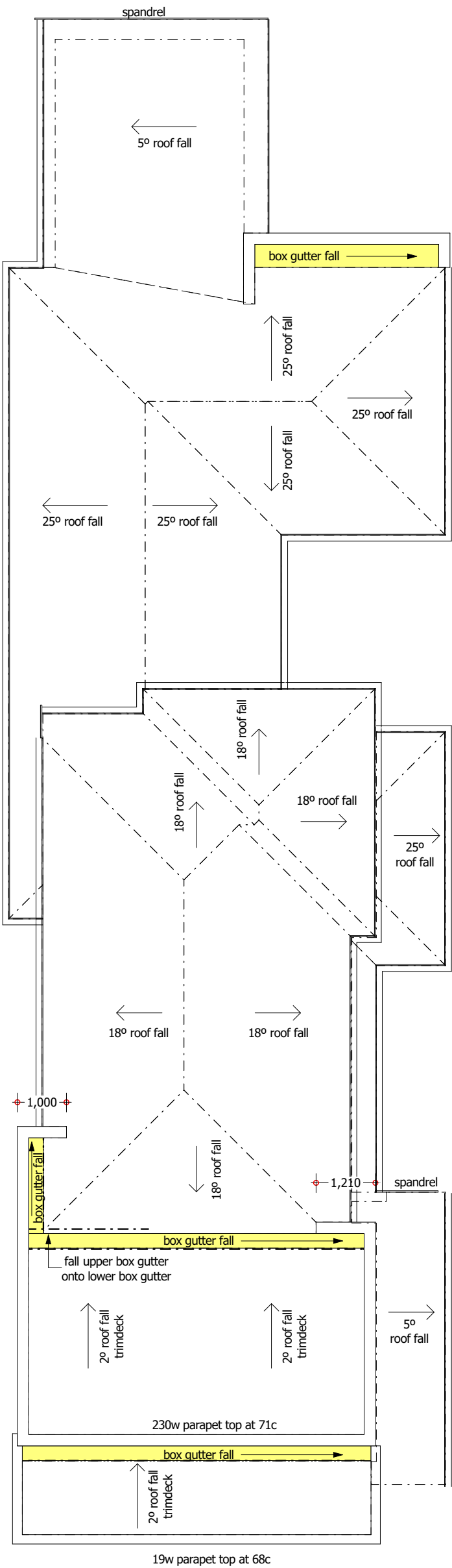
N2 WIND REGION.

RWP POSITIONS SHOWN ARE APPROX
AND ARE POSITIONED AT THE ROOF
PLUMBERS DISCRETION.
RWP'S SHOWN ON FRONT ELEVATION FOR
VISUAL REFERENCE, REFER TO PLANS FOR
REMAINING ELEVATIONS.

<div></div> <div>PROPOSED RESIDENCE ADDRESS: Lot 12 (#37) Beachton Street North Beach</div> <div>FOR: Marcus and Lisa Tieleman</div> <div>F:\OneDrive\COAST HOMES JOB\S\18055 Tieleman\D - Prestat Drawings\18055 Tieleman - Prestat Drawings V22.pln</div>	SIGNATURES:		AMENDMENTS:		Custom	
			25/6/19	Vince	Engineers	
	OWNER:		28/6/19	GM	screen added	SHEET: 2 OF 17
			4/7/19	VM		
			5/7/19	Vince	Void win increased, rear wall relocated	DRN: Vince
					Alfresco o/hang, void win/balcony	
	OWNER:		28/08/19	RS	Prestat PSV01	DATE: 25/04/19
			10/09/19	RS	Prestat PSV02	
			10/10/19	RS	Prestat PSV03	SCALE:1:100, 1:1
	BUILDER:		4/12/19	GM	P-SVO 4	
						CONTRACT NO:
						18055
	DATE:					

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Roof Plan
1:100

© copyright

	PROPOSED RESIDENCE ADDRESS: Lot 12 (#37) Beachton Street North Beach FOR: Marcus and Lisa Tieleman	SIGNATURES:		AMENDMENTS:			Custom
		OWNER: _____	25/6/19	Vince	Engineers	SHEET: 3 OF 17	
			28/6/19	GM	screen added		
			4/7/19	VM	Void win increased, rear rwall relocated		
			5/7/19	Vince	Alfresco o/hang, void win/balcony		
		OWNER: _____	28/08/19	RS	Prestart PSVO1	DRN: Vince	
			10/09/19	RS	Prestart PSVO2		
		BUILDER: _____	10/10/19	RS	Prestart PSVO3	DATE: 25/04/19	
			4/12/19	GM	PSVO 4		
		DATE: _____				SCALE:1:100	
				CONTRACT NO:			
				18055			



GENERAL NOTES

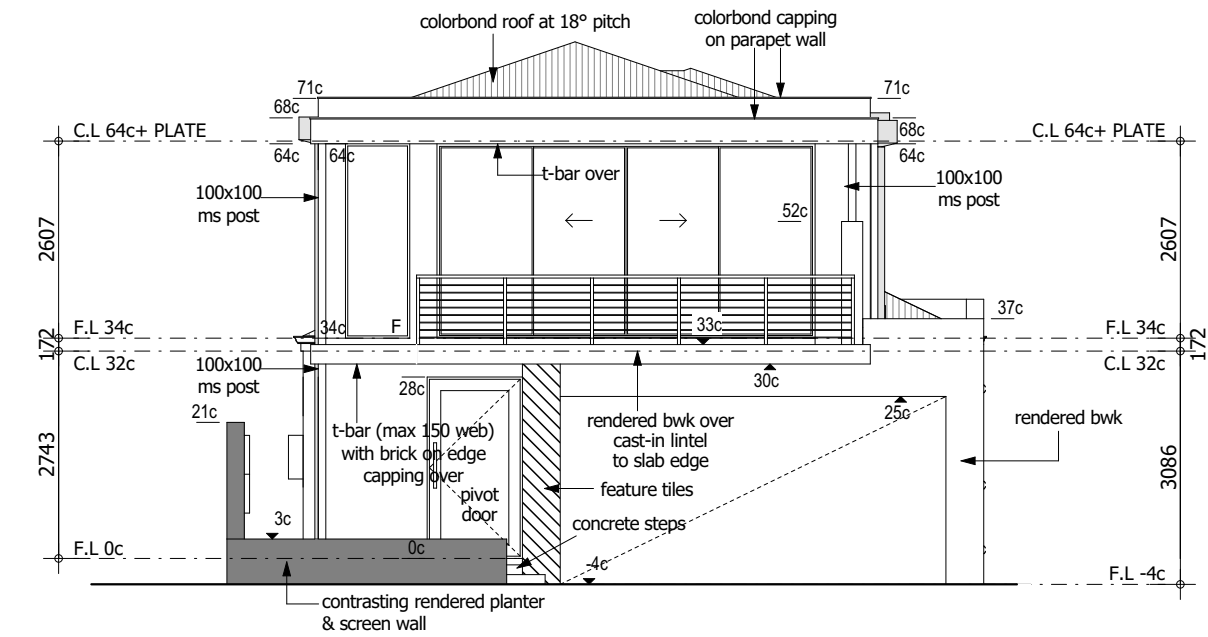
RENDERED BRICKWORK.

COLORBOND ROOF.

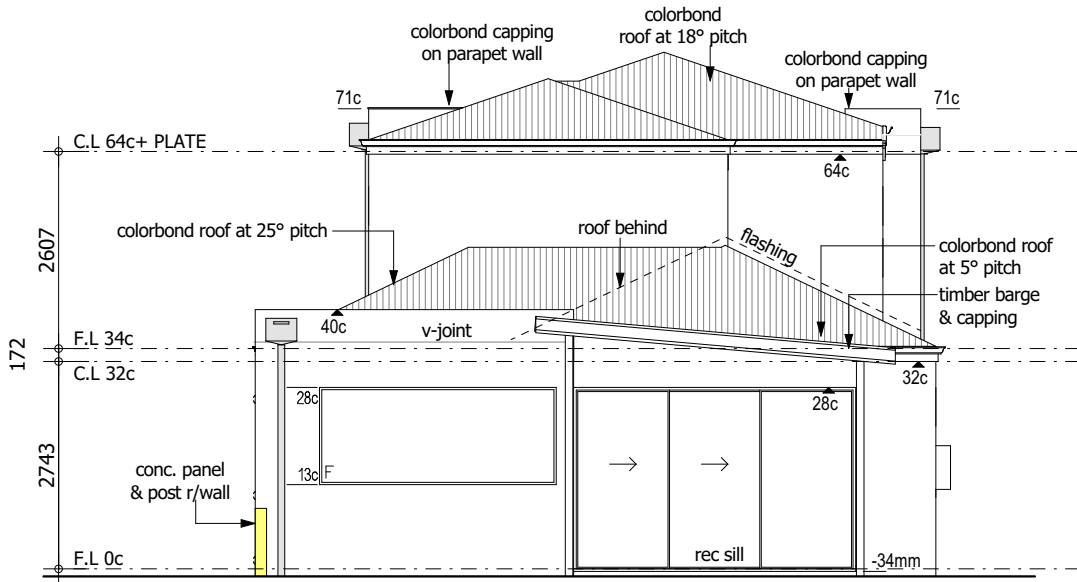
R4.1 CEILING INSULATION TO INTERNAL CEILINGS & GARAGE ONLY.

N2 WIND REGION.

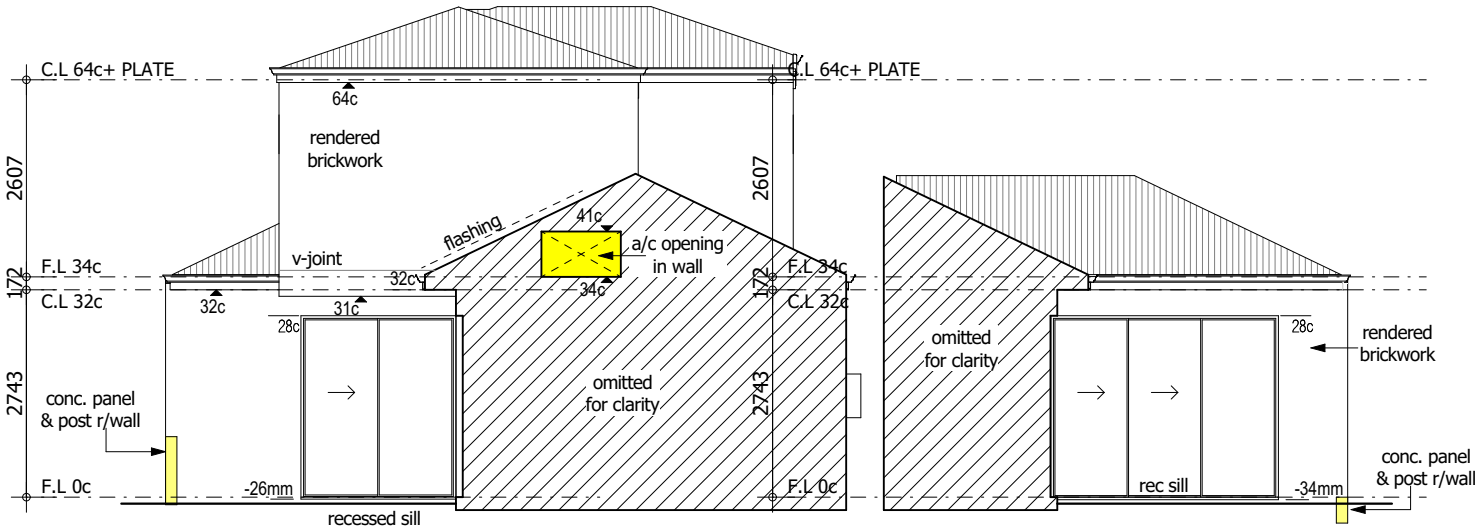
RWP POSITIONS SHOWN ARE APPROX AND ARE POSITIONED AT THE ROOF PLUMBERS DISCRETION. RWP'S SHOWN ON FRONT ELEVATION FOR VISUAL REFERENCE, REFER TO PLANS FOR REMAINING ELEVATIONS.



E1 FRONT ELEVATION
1:100

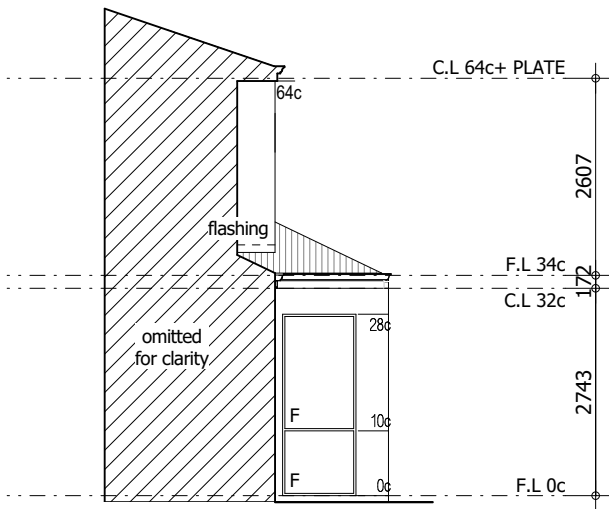


E3 REAR ELEVATION
1:100



E5 Side Elevation
1:100

E6 Side Elevation
1:100



E7 Side Elevation
1:100

Custom		AMENDMENTS:	
SHEET: 5	OF 17	25/6/19	Vince
DRN: Vince	DATE: 25/04/19	28/6/19	GM
SCALE: 1:100	CONTRACT NO: 18055	4/7/19	VM
		5/7/19	Vince
		28/08/19	RS
		10/09/19	RS
		10/10/19	RS
		4/12/19	GM

SIGNATURES:	
OWNER:	
OWNER:	
BUILDER:	
DATE:	

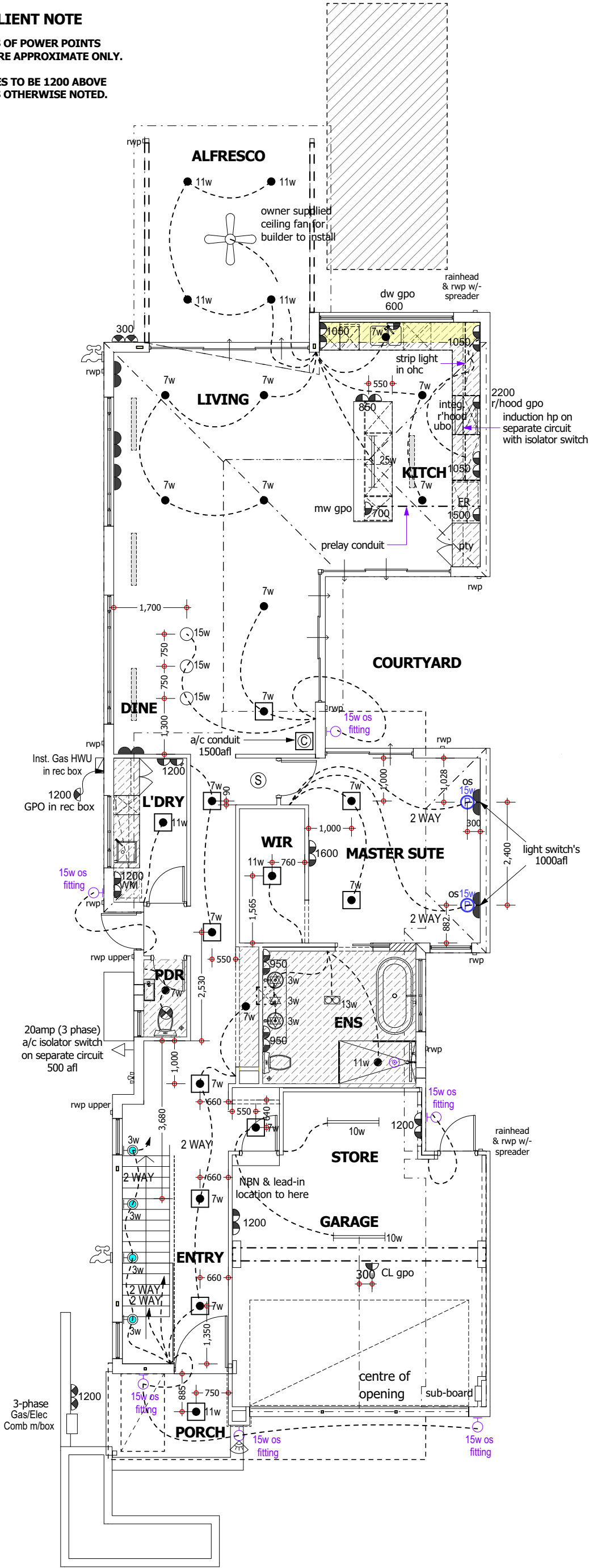
PROPOSED RESIDENCE ADDRESS:
Lot 12 (#37) Beachton Street
North Beach
FOR:
Marcus and Lisa Tieleman



ELECTRICIAN/CLIENT NOTE

NOTE ALL POSITIONS OF POWER POINTS & LIGHTS ON PLAN ARE APPROXIMATE ONLY.

LIGHT SWITCH PLATES TO BE 1200 ABOVE FLOOR LEVEL UNLESS OTHERWISE NOTED.



ELECTRICAL LEGEND		
No.	2D Plan Preview	TYPE
6	2 WAY	2 WAY SWITCH
1		Ceiling Fan
3		CEILING LIGHT (15w)
1		CONDUIT (Under Slab)
17		DOUBLE GPO @ 300 AFL
14		DOUBLE GPO @ NOTED HT
2		Exhaust Fan
2		Fan/Light/Heater (13w)
2		H.WIRED SMOKE DETECTOR
1		ISOLATION SWITCH
2		LED Batten
1		MOTION SENSOR
3		PENDENT LIGHT (15w) - OWNER SUPPLIED
26		RECESSED LED DOWN-LIGHT (7w)
9		RECESSED LED DOWN-LIGHT (7w) (Under Slab)
7		RECESSED LED DOWN-LIGHT (11w)
3		RECESSED LED DOWN-LIGHT (11w) (Under Slab)
6		SINGLE GPO @ NOTED HT
1		SINGLE WATER PROOF GPO
5		STARLIGHT (3w)
4		Step Light (3w) 250 above step
1		STRIP LIGHT LED
1		STRIX PENDANT SUPPLIED BY OWNER (25w)
6		WALL LIGHT @ 2000 AFL - OWNER SUPPLIED

Note:
Refer to separeate plans for INTELLIGENT HOME:

- Cabling Plans
- Extras
- Pit & pipe Design

Note:
Antennae by builder through INTELLIGENT HOME.

Note:
All pendant light positions to be confirmed on site with owner and electrician.

GROUND FLOOR ELECTRICAL PLAN
1:100

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PROPOSED RESIDENCE ADDRESS:
Lot 12 (#37) Beachton Street
North Beach

FOR:
Marcus and Lisa Tieleman

SIGNATURES:

OWNER: _____

OWNER: _____

BUILDER: _____

DATE: _____

AMENDMENTS:

25/6/19	Vince	Engineers
28/6/19	GM	screen added
4/7/19	VM	Void win increased, rear rwall relocated
5/7/19	Vince	Alfresco o/hang, void win/balcony
28/08/19	RS	Prestart PSV01
10/09/19	RS	Prestart PSV02
10/10/19	RS	Prestart PSV03
4/12/19	GM	PSVO 4

Custom

SHEET: 7 OF 17

DRN: Vince

DATE: 25/04/19

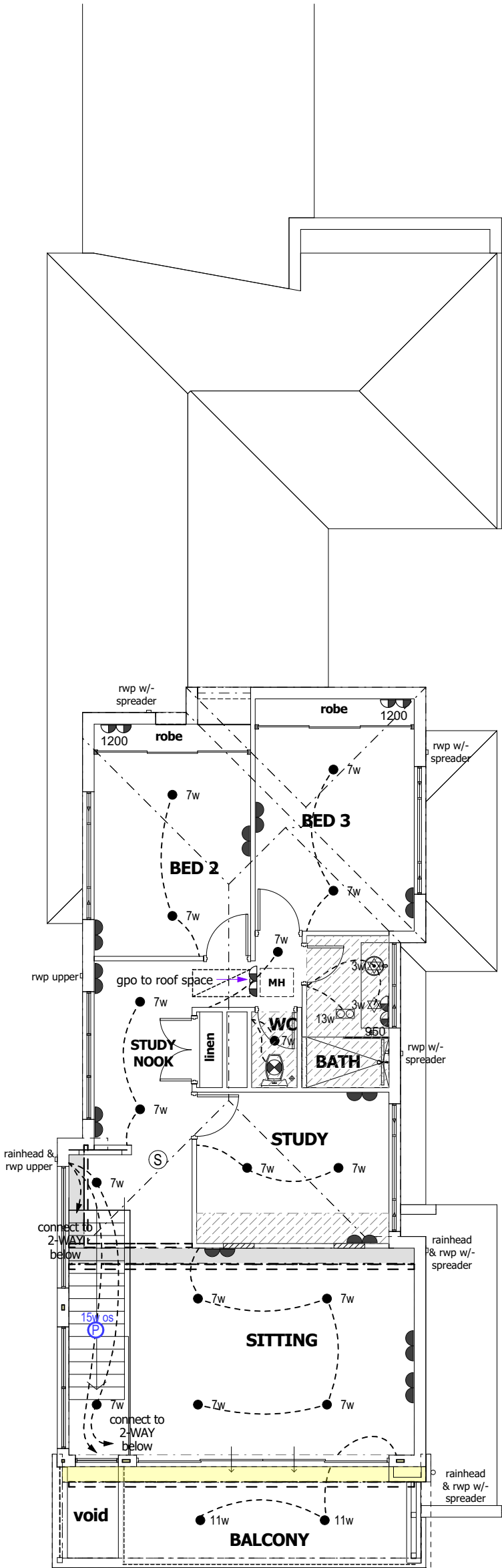
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CONTRACT NO:
18055

ELECTRICIAN/CLIENT NOTE

NOTE ALL POSITIONS OF POWER POINTS
& LIGHTS ON PLAN ARE APPROXIMATE ONLY.

LIGHT SWITCH PLATES TO BE 1200 ABOVE
FLOOR LEVEL UNLESS OTHERWISE NOTED.



ELECTRICAL LEGEND

No.	2D Plan Preview	TYPE
6	2 WAY	2 WAY SWITCH
1		Ceiling Fan
3		CEILING LIGHT (15w)
1		CONDUIT (Under Slab)
17		DOUBLE GPO @ 300 AFL
14		DOUBLE GPO @ NOTED HT
2		Exhaust Fan
2		Fan/Light/Heater (13w)
2		H.WIRED SMOKE DETECTOR
1		ISOLATION SWITCH
2		LED Batten
1		MOTION SENSOR
3		PENDENT LIGHT (15w) - OWNER SUPPLIED
26		RECESSED LED DOWN-LIGHT (7w)
9		RECESSED LED DOWN-LIGHT (7w) (Under Slab)
7		RECESSED LED DOWN-LIGHT (11w)
3		RECESSED LED DOWN-LIGHT (11w) (Under Slab)
6		SINGLE GPO @ NOTED HT
1		SINGLE WATER PROOF GPO
5		STARLIGHT (3w)
4		Step Light (3w) 250 above step
1		STRIP LIGHT LED
1		STRIX PENDANT SUPPLIED BY OWNER (25w)
6		WALL LIGHT @ 2000 AFL - OWNER SUPPLIED

Note:
Refer to seperate plans for INTELLIGENT HOME:

- Cabling Plans
- Extras
- Pit & pipe Design

Note:
Antennae by builder through INTELLIGENT HOME.

Note:
All pendant light positions to be confirmed
on site with owner and electrician.

FIRST FLOOR ELECTRICAL PLAN
1:100

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PROPOSED RESIDENCE ADDRESS:
Lot 12 (#37) Beachton Street
North Beach
FOR:
Marcus and Lisa Tieleman

SIGNATURES:

OWNER: _____

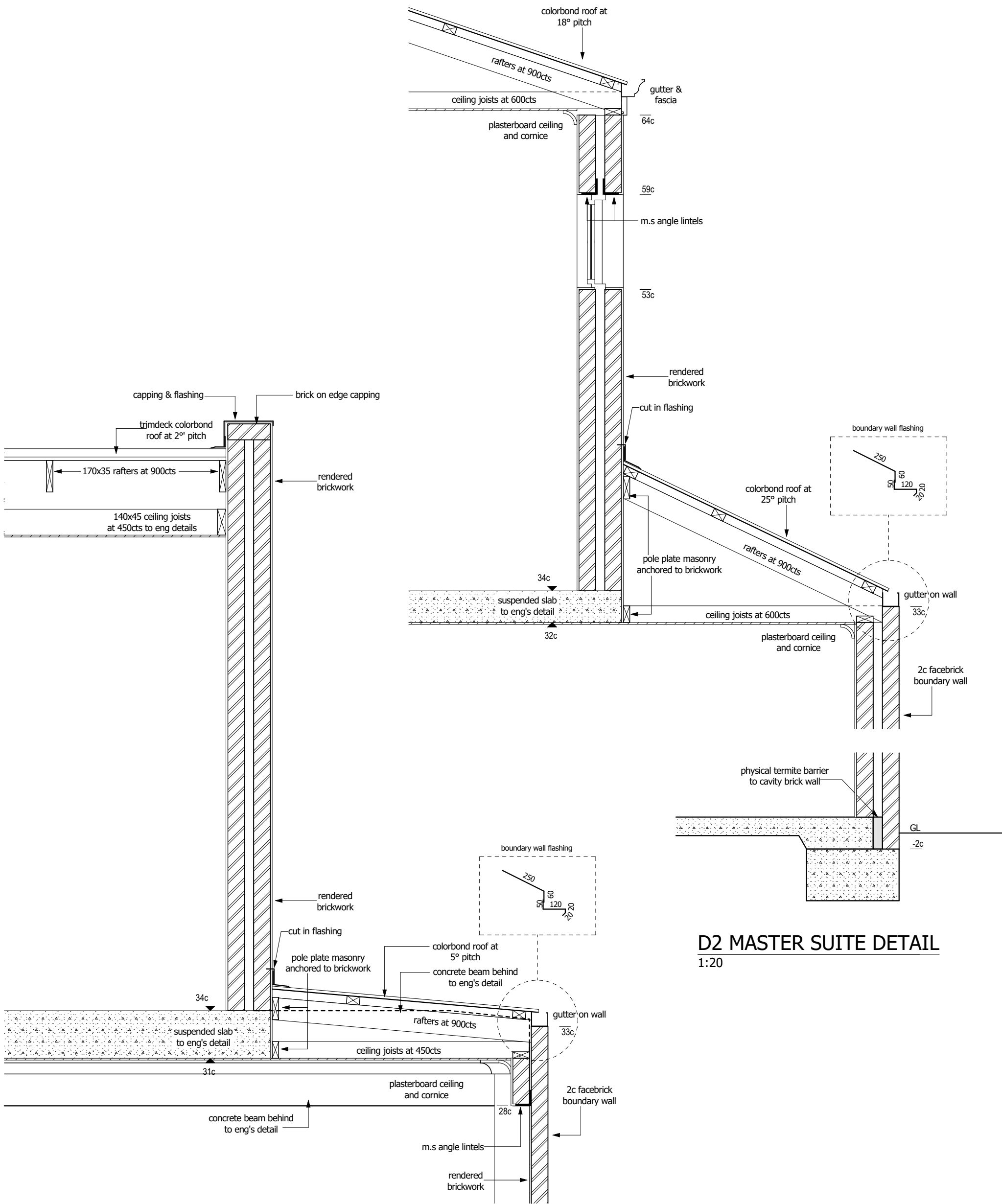
OWNER: _____

BUILDER: _____

DATE: _____

AMENDMENTS:		
25/6/19	Vince	Engineers
28/6/19	GM	screen added
4/7/19	VM	Void win increased, rear rwall relocated
5/7/19	Vince	Alfresco o/hang, void win/balcony
28/08/19	RS	Prestart PSV01
10/09/19	RS	Prestart PSV02
10/10/19	RS	Prestart PSV03
4/12/19	GM	PSVO 4

Custom
SHEET: 8 OF 17
DRN: Vince
DATE: 25/04/19
SCALE:1:100, 1:1
CONTRACT NO: 18055



D1 GARAGE DETAIL
1:20

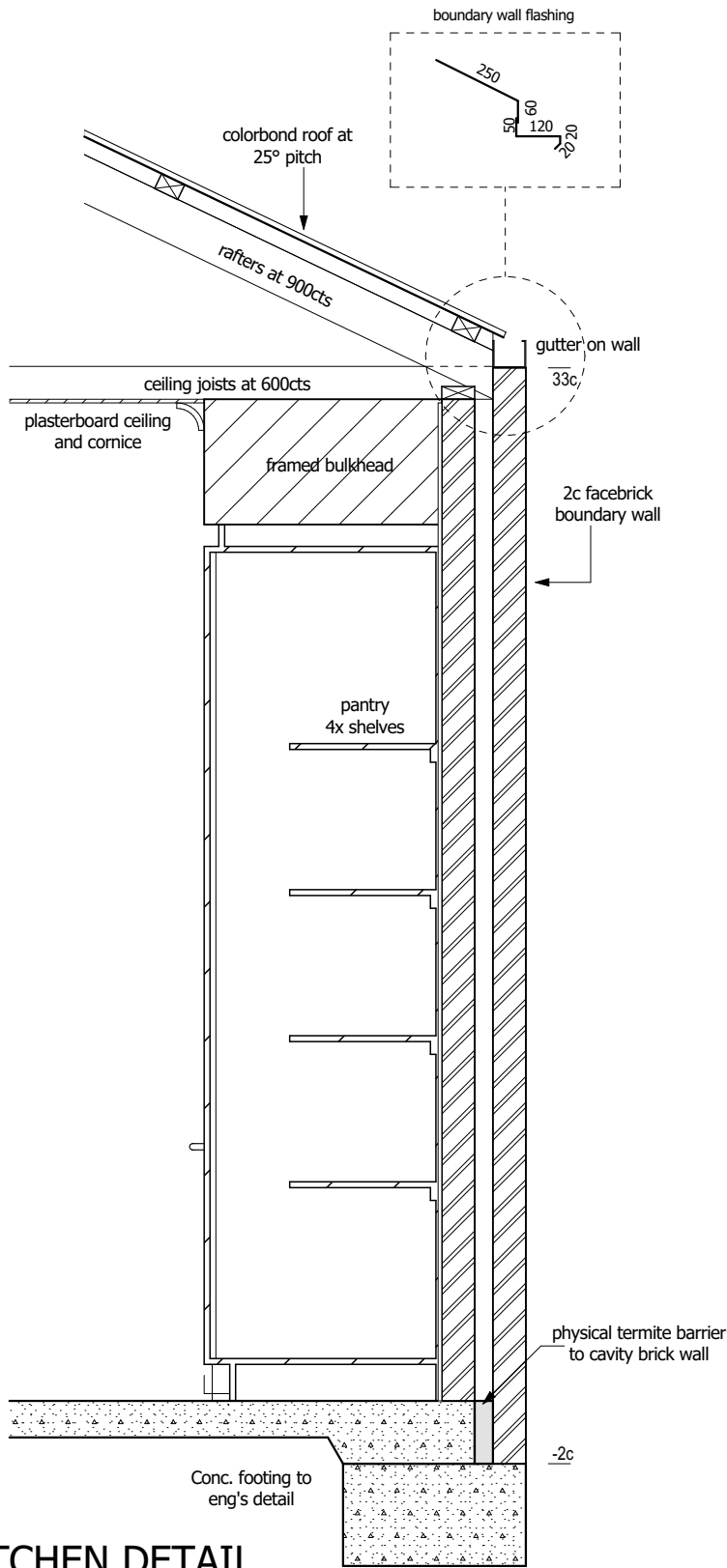
D2 MASTER SUITE DETAIL
1:20

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	PROPOSED RESIDENCE ADDRESS: Lot 12 (#37) Beachton Street North Beach FOR: Marcus and Lisa Tieleman	SIGNATURES:		AMENDMENTS:			Custom
		OWNER: _____	25/6/19	Vince	Engineers	SHEET: 9 OF 17	
			28/6/19	GM	screen added		
			4/7/19	VM	Void win increased, rear rwall relocated		
			5/7/19	Vince	Alfresco o/hang, void win/balcony		
		OWNER: _____	28/08/19	RS	Prestart PSVO1	DRN: Vince	
			10/09/19	RS	Prestart PSVO2		
			10/10/19	RS	Prestart PSVO3		
			4/12/19	GM	PSVO 4		
		BUILDER: _____				DATE: 25/04/19	
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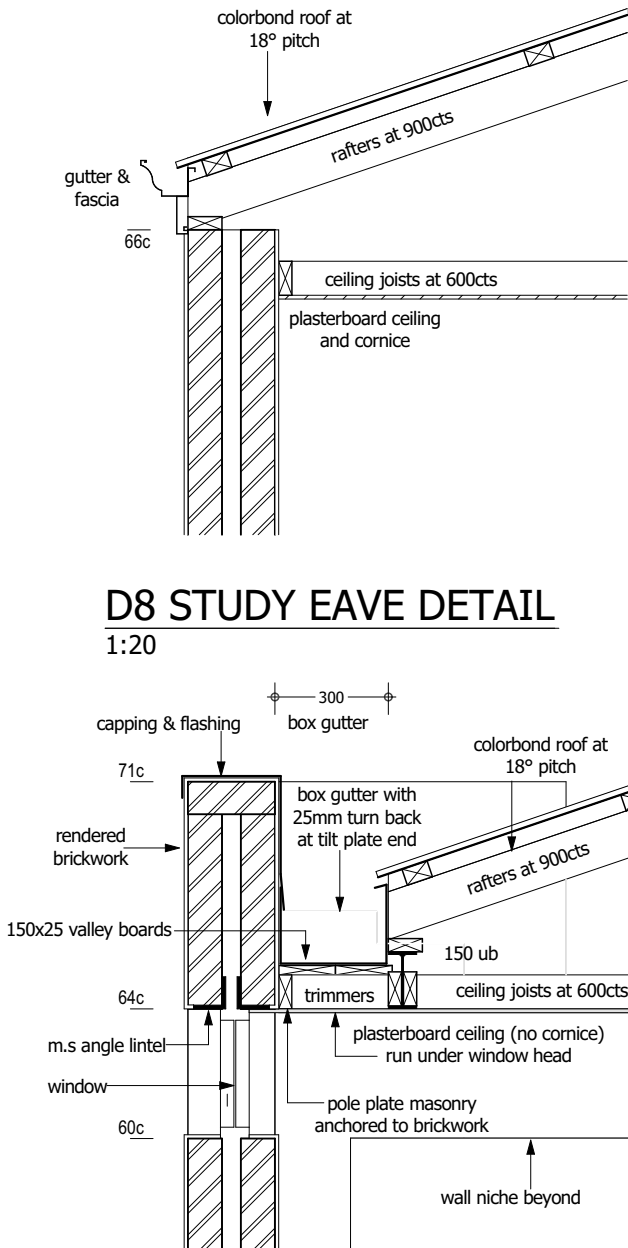
D3 KITCHEN DETAIL

1:20



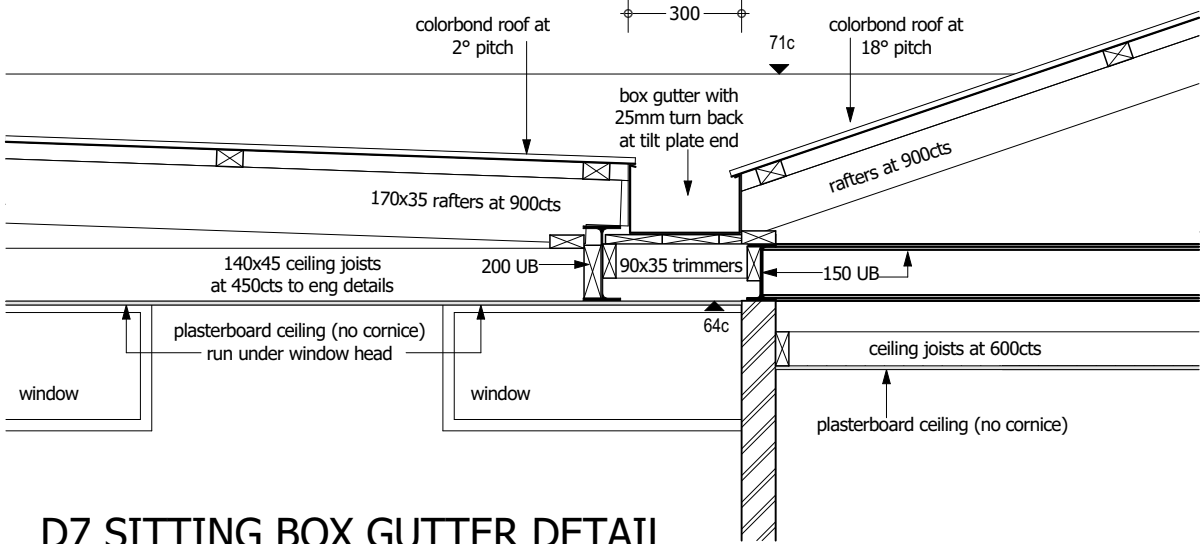
D8 STUDY EAVE DETAIL

1:20



D5 STAIR BOX GUTTER DETAIL

1:20

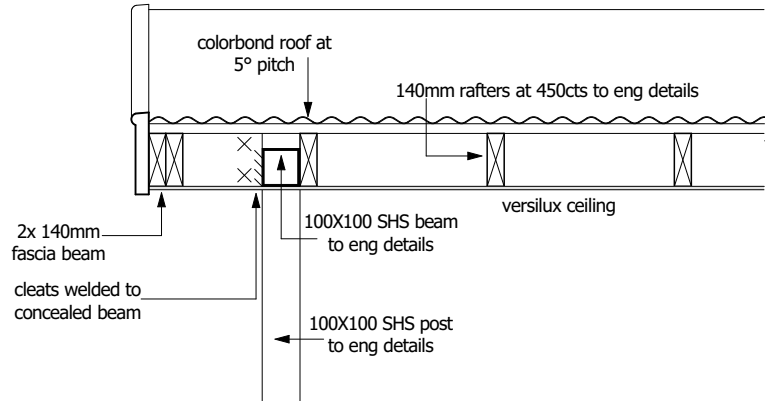


D7 SITTING BOX GUTTER DETAIL

1:20

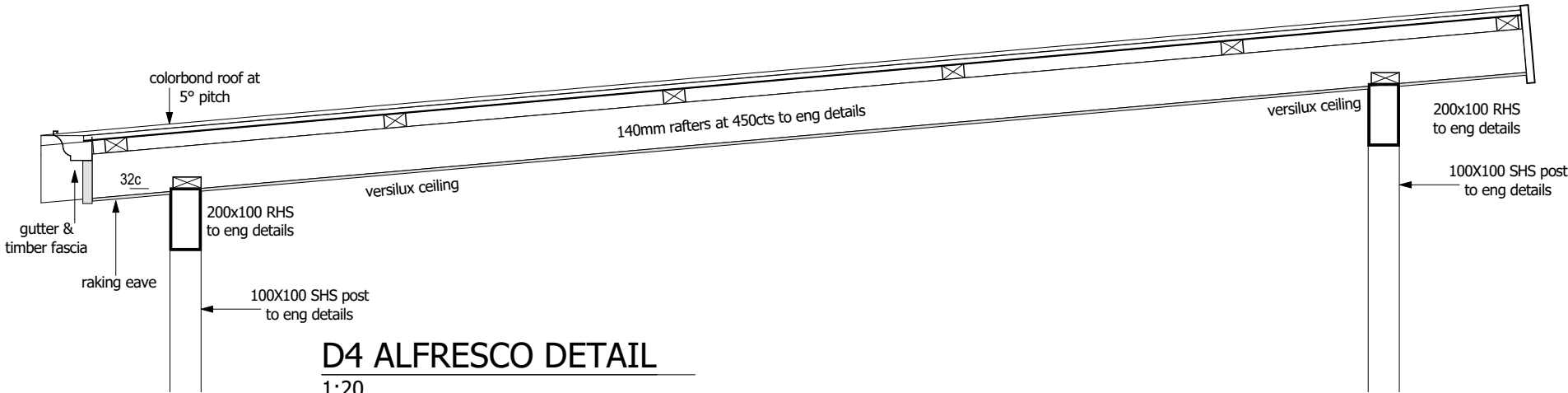
D9 ALFRESCO OVERHANG DETAIL

1:20



D4 ALFRESCO DETAIL

1:20



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PROPOSED RESIDENCE ADDRESS:
Lot 12 (#37) Beachton Street
North Beach
FOR:
Marcus and Lisa Tieleman

SIGNATURES:

OWNER: _____
OWNER: _____
BUILDER: _____
DATE: _____

AMENDMENTS:

25/6/19	Vince	Engineers
28/6/19	GM	screen added
4/7/19	VM	Void win increased, rear rwall relocated
5/7/19	Vince	Alfresco o/hang, void win/balcony
28/08/19	RS	Prestart PSV01
10/09/19	RS	Prestart PSV02
10/10/19	RS	Prestart PSV03
4/12/19	GM	PSVO 4

Custom

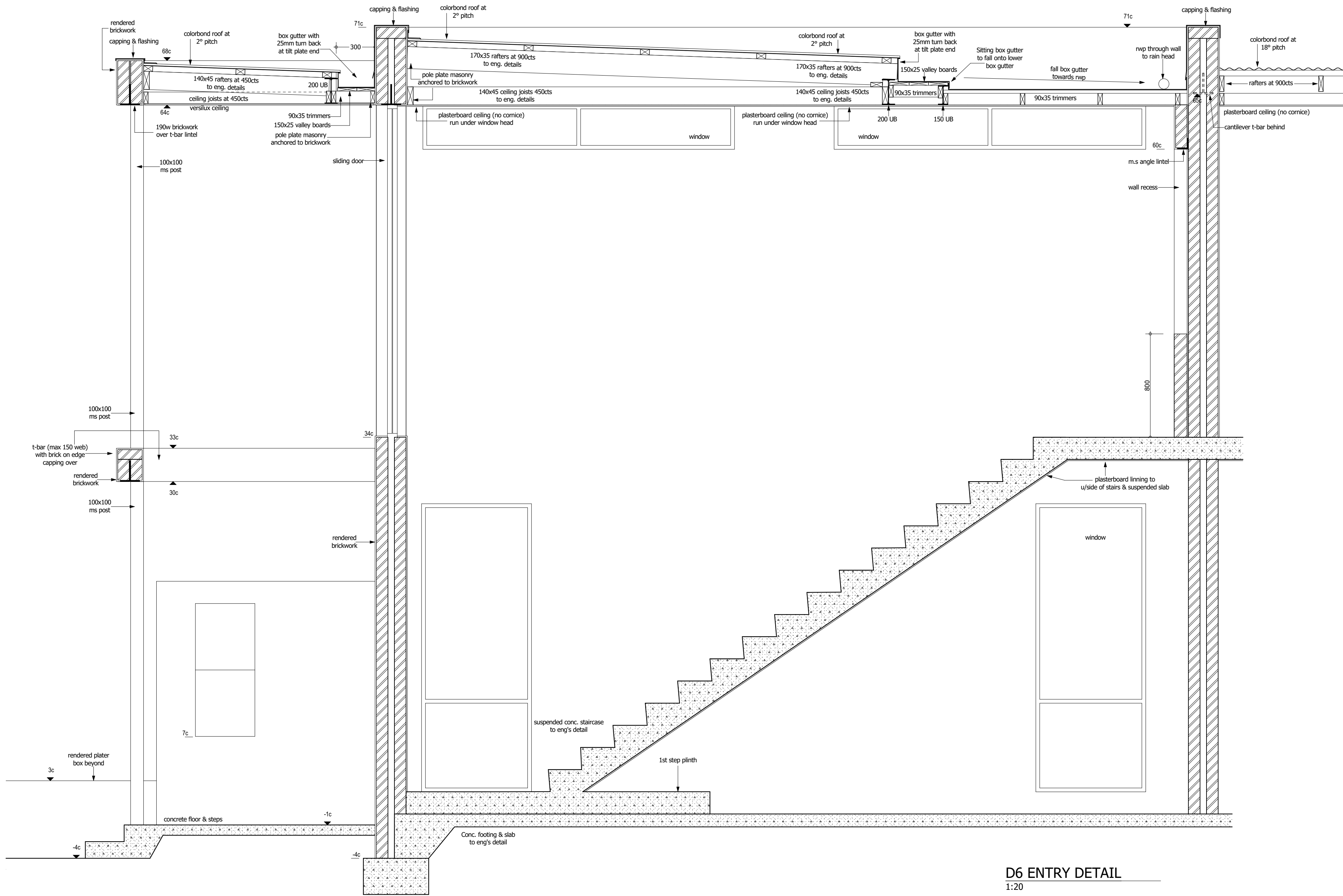
SHEET: 10 OF 17

DRN: Vince

DATE: 25/04/19


SCALE:1:20, 1:100

CONTRACT NO:
18055

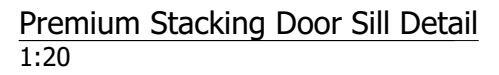



D6 ENTRY DETAIL
1:20

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	PROPOSED RESIDENCE ADDRESS: Lot 12 (#37) Beachton Street North Beach FOR: Marcus and Lisa Tieleman	SIGNATURES:		AMENDMENTS:		Custom
		OWNER:	25/6/19	Vince	Engineers	SHEET: 11 OF 17
			28/6/19	GM	screen added	
		OWNER:	4/7/19	VM	Void win increased, rear wall relocated	DRN: Vince
			5/7/19	Vince	Alfresco o/hang, void win/balcony	
		BUILDER:	28/08/19	RS	Prestart PSVO1	DATE: 25/04/19
			10/09/19	RS	Prestart PSVO2	
		DATE:	10/10/19	RS	Prestart PSVO3	SCALE: 1:100, 1:20
			4/12/19	GM	PSVO 4	
						CONTRACT NO: 18055

1. GARAGE & FREESTANDING EXTERNAL BRICK
PIER FOOTINGS TO BE AT -3c U.O.N.



 COAST HOMES	PROPOSED RESIDENCE ADDRESS: Lot 12 (#37) Beachton Street North Beach FOR: Marcus and Lisa Tieleman		SIGNATURES:		AMENDMENTS:	Custom
			OWNER:	_____	25/6/19 Vince Engineers 28/6/19 GM screen added 4/7/19 VM Vold win increased, rear wall relocated 5/7/19 Vince Alfresco o/hang, void win/balcony	SHEET: 12 OF 17
			OWNER:	_____	28/08/19 RS Prestart PSV01 10/09/19 RS Prestart PSV02	DRN: Vince
			BUILDER:	_____	10/10/19 RS Prestart PSV03 4/12/19 GM PSVO 4	DATE: 25/04/19
			DATE:	_____		SCALE: 1:100, 1:20
				_____		CONTRACT NO: 18055
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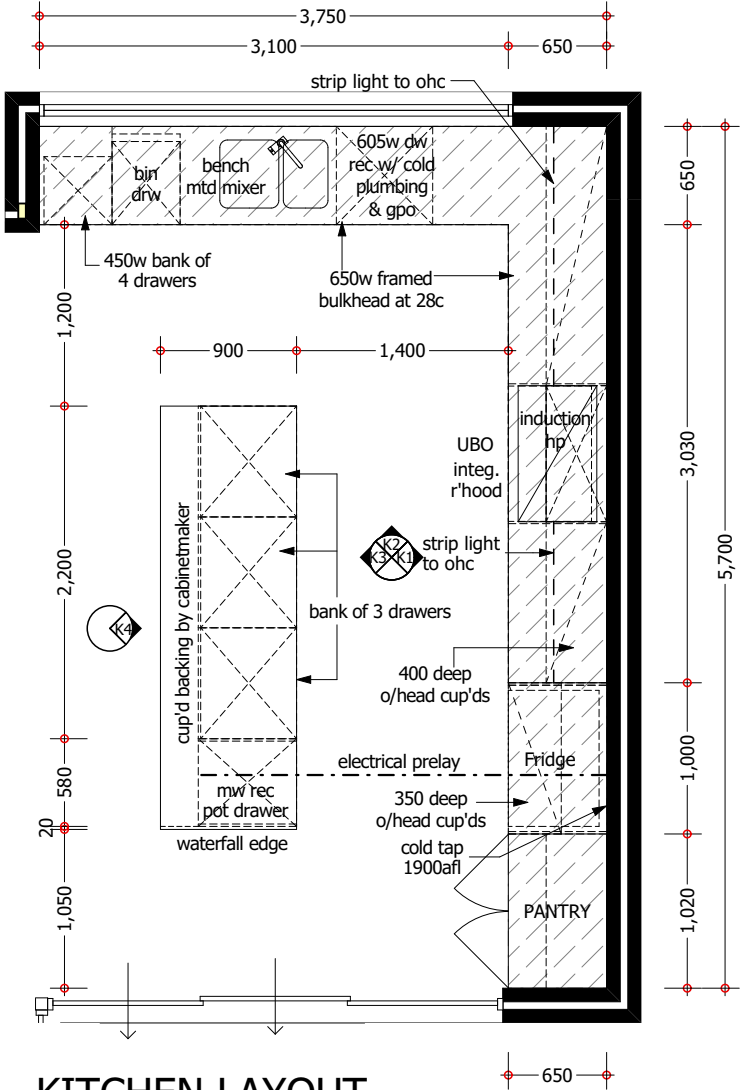


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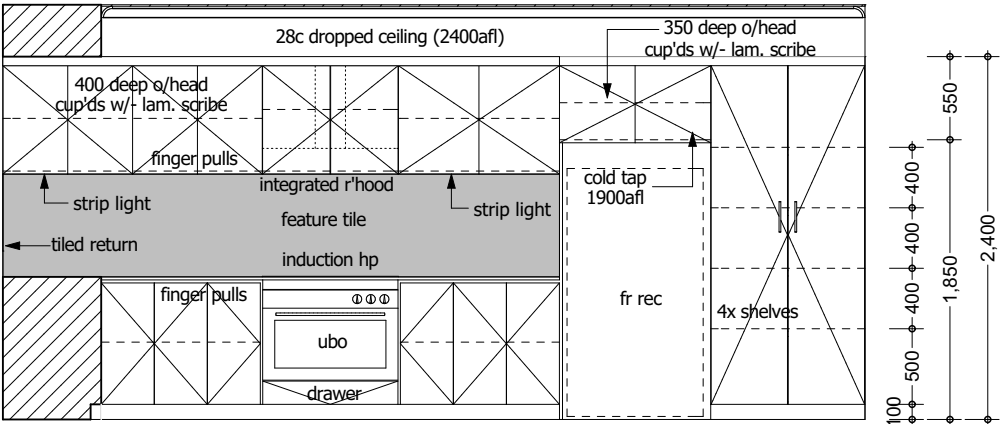
GENERAL NOTES

MITRED TILES THROUGHOUT.

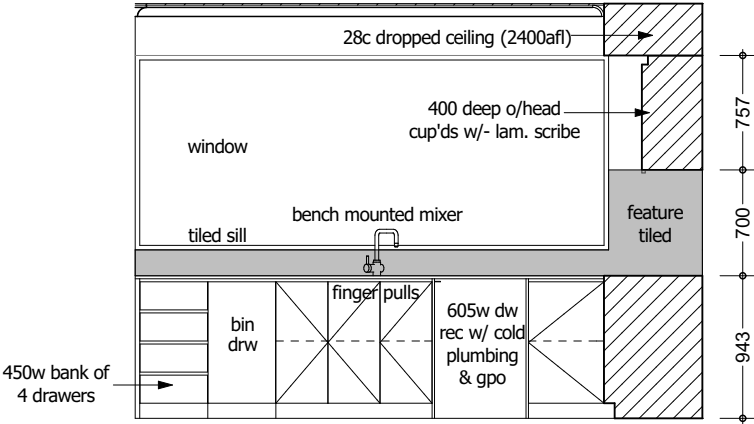
DIMENSIONS FOR CABINETWORK
ARE SUBJECT TO CABINETMAKER
REQUIREMENTS.



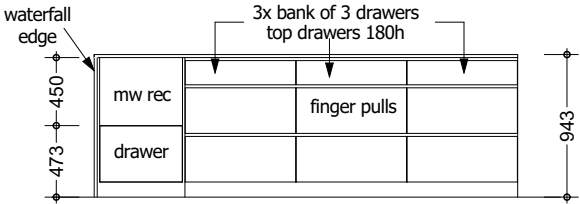
KITCHEN LAYOUT
1:50



K1 KITCHEN
1:50



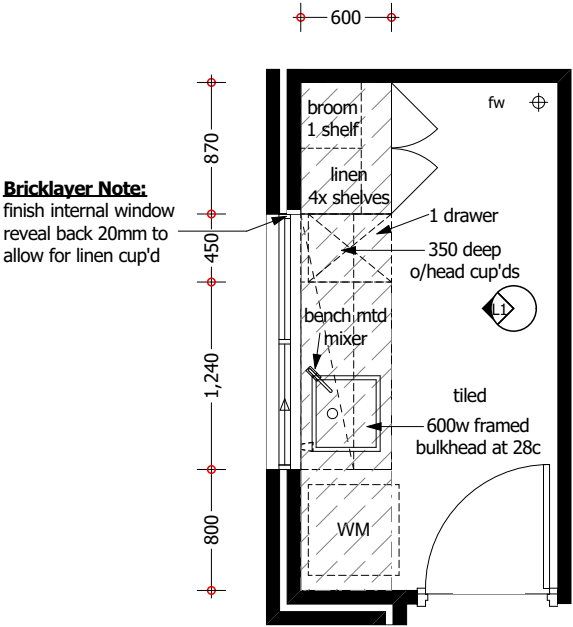
K2 KITCHEN
1:50



K3 KITCHEN
1:50

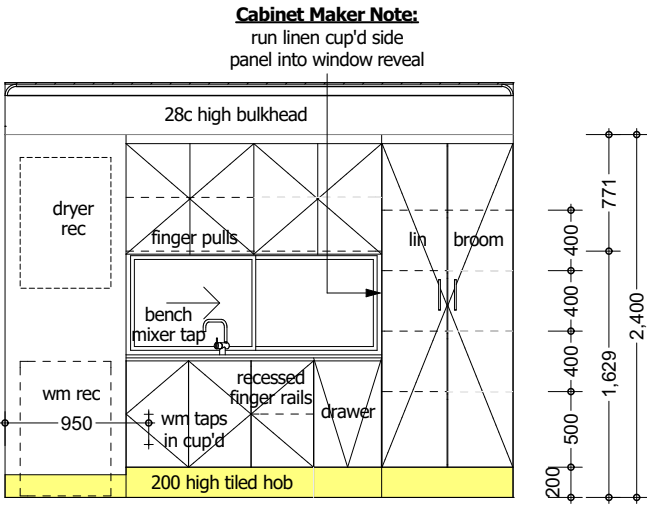


K4 KITCHEN
1:50



Bricklayer Note:
finish internal window
reveal back 20mm to
allow for linen cup'd

LAUNDRY LAYOUT
1:50



Cabinet Maker Note:
run linen cup'd side
panel into window reveal

L1 LAUNDRY
1:50

Note:

Owner to supply - builder to install:
Towel Rails, Toilet Roll Holders & Towel Rings.
Shower Mixers & Grates.
All Basins including pop plug & Basin Wastes & Mixers.
Freestanding Bath incl. pop plug & Waste.
Bath Mixer & Spout
Laundry Trough & Benchtop Mixer.
Kitchen Sink & Benchtop Mixer.

Oven and Induction Hotplate.
Floor & Shower Wastes.

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PROPOSED RESIDENCE ADDRESS:
Lot 12 (#37) Beachton Street
North Beach
FOR:
Marcus and Lisa Tieleman

SIGNATURES:
OWNER: _____
OWNER: _____
BUILDER: _____
DATE: _____

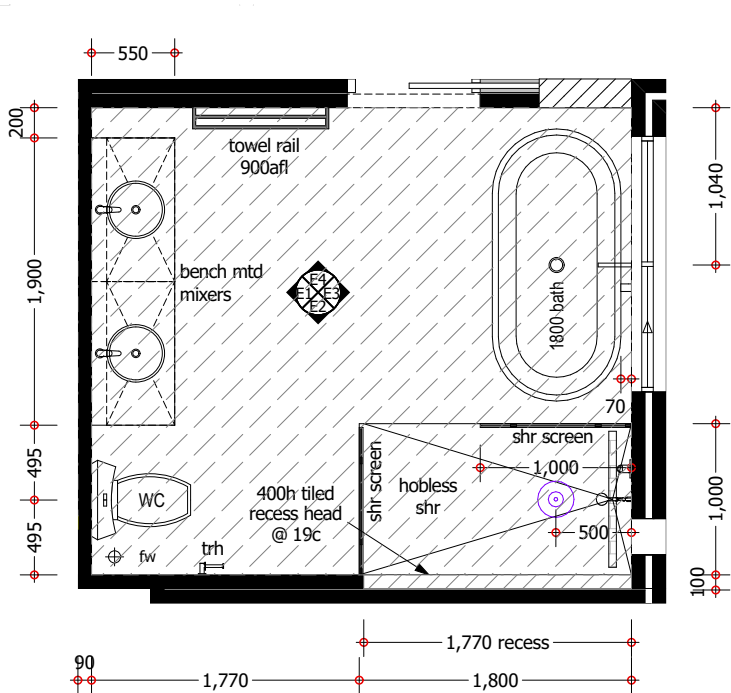
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10/10/19	RS	Prestart PSV03
4/12/19	GM	PSVO 4

Custom
SHEET: 14 OF 17
DRN: Vince
DATE: 25/04/19
SCALE: 1:50, 1:100
CONTRACT NO:
18055

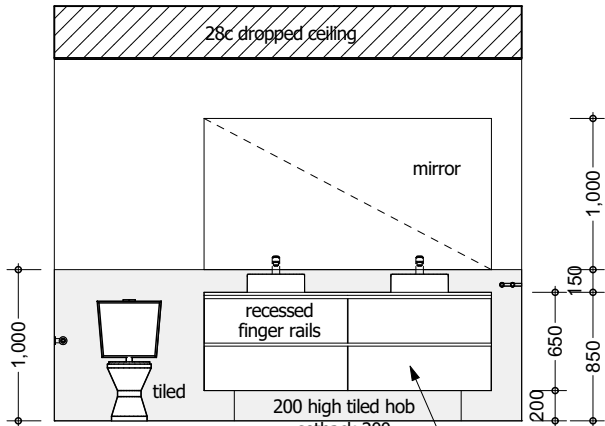
GENERAL NOTES

MITRED TILES THROUGHOUT.

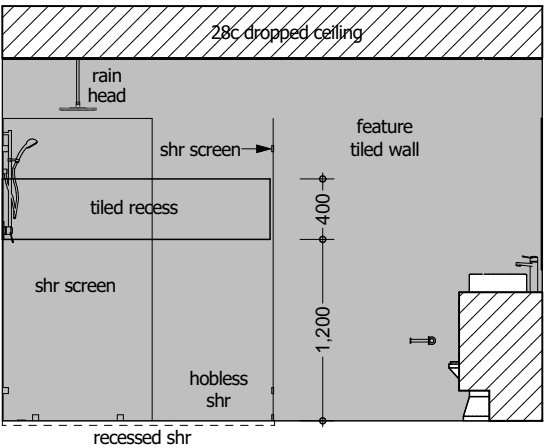
DIMENSIONS FOR CABINETWORK
ARE SUBJECT TO CABINETMAKER
REQUIREMENTS.



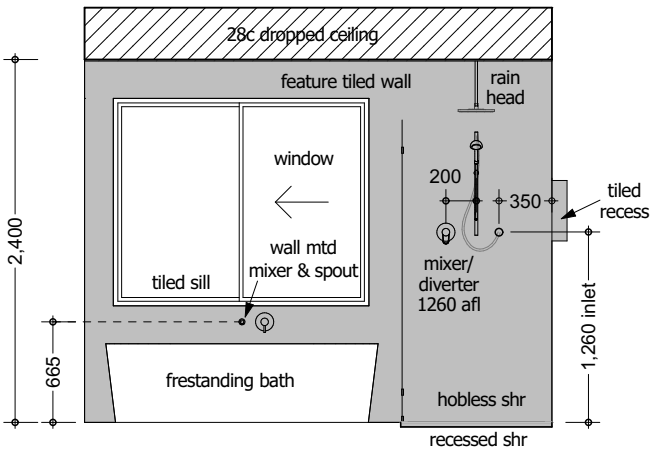
ENSUITE LAYOUT
1:50



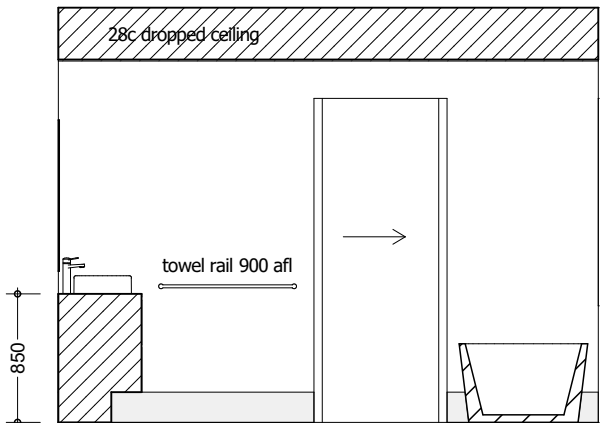
E1 ENSUITE
1:50



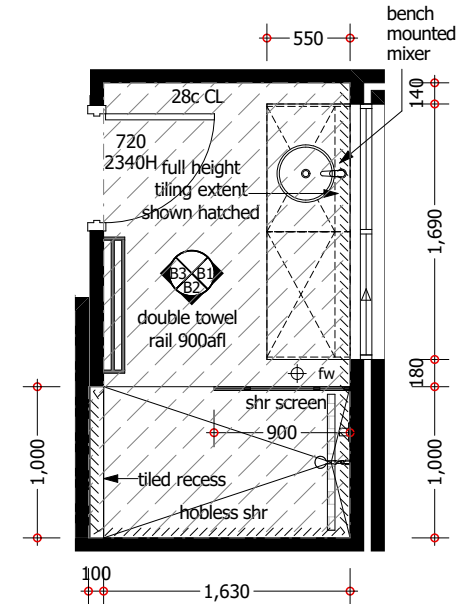
E2 ENSUITE
1:50



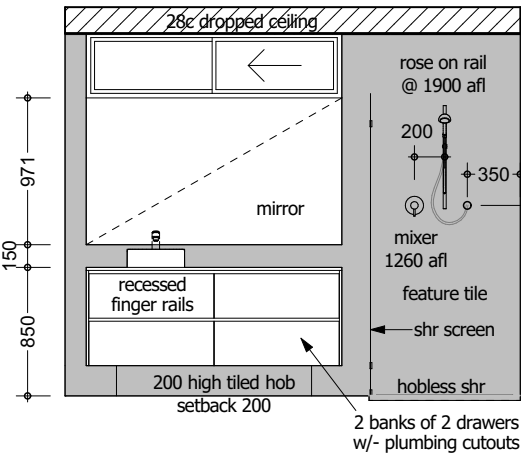
E3 ENSUITE
1:50



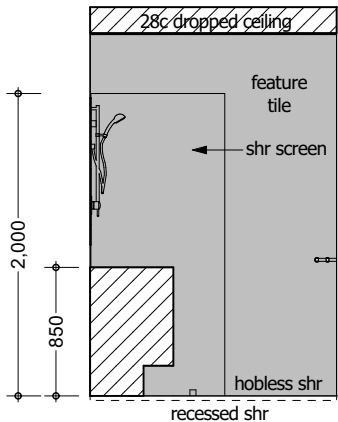
E4 ENSUITE
1:50



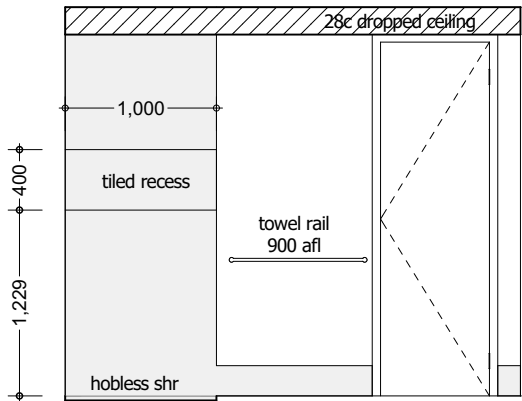
BATHROOM LAYOUT
1:50



B1 BATHROOM
1:50

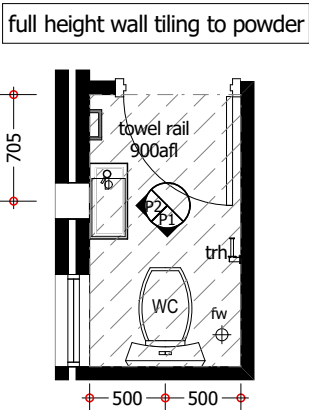


B2 BATHROOM
1:50

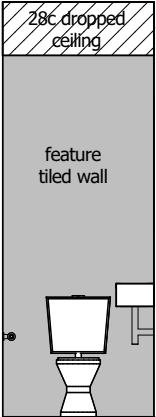


B3 BATHROOM
1:50

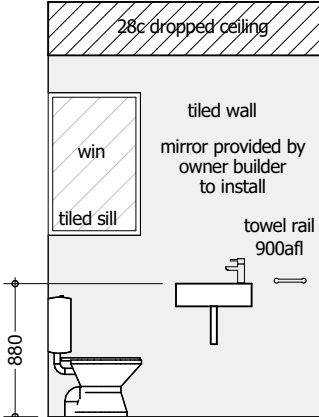
Note:
Owner to supply - builder to install:
Towel Rails, Toilet Roll Holders & Towel Rings.
Shower Mixers & Grates.
All Basins including pop plug & Basin Wastes & Mixers.
Freestanding Bath incl. pop plug & Waste.
Bath Mixer & Spout
Laundry Trough & Benchtop Mixer.
Kitchen Sink & Benchtop Mixer.
Oven and Induction Hotplate.
Floor & Shower Wastes.



POWDER LAYOUT
1:50



P1 POWDER
1:50



P2 POWDER
1:50

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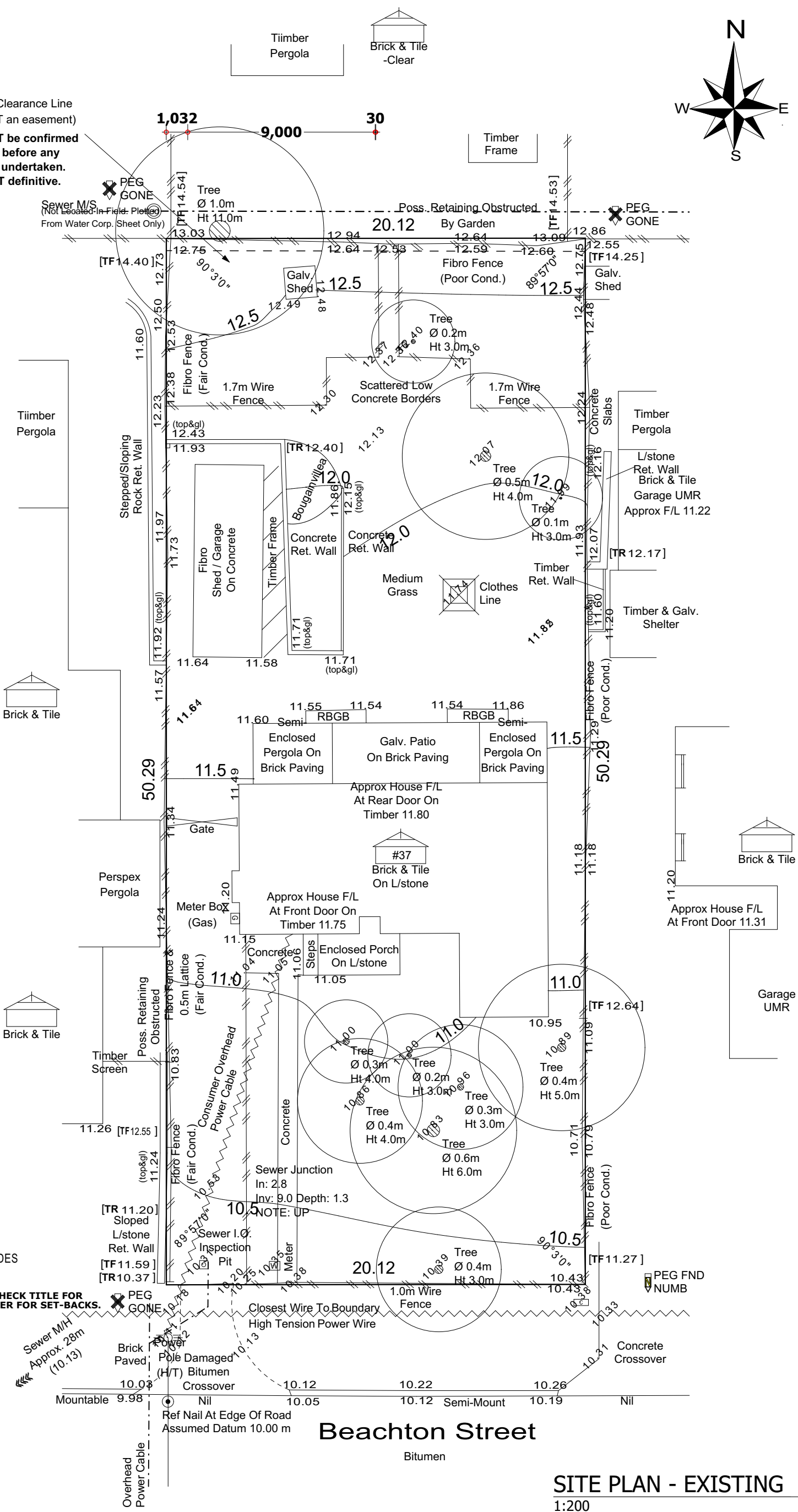
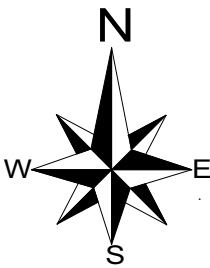
PROPOSED RESIDENCE ADDRESS:
Lot 12 (#37) Beachton Street
North Beach
FOR:
Marcus and Lisa Tieleman

SIGNATURES:
OWNER: _____
OWNER: _____
BUILDER: _____
DATE: _____

AMENDMENTS:		
25/6/19	Vince	Engineers
28/6/19	GM	screen added
4/7/19	VM	Void win increased, rear rwall relocated
5/7/19	Vince	Alfresco o/hang, void win/balcony
28/08/19	RS	Prestart PSV01
10/09/19	RS	Prestart PSV02
10/10/19	RS	Prestart PSV03
4/12/19	GM	PSVO 4

Custom
SHEET: 15 OF 17
DRN: Vince
DATE: 25/04/19
SCALE: 1:50, 1:100
CONTRACT NO:
18055

NOTE:
Approx. Sewer Clearance Line
(This line is NOT an easement)
Setbacks MUST be confirmed by Water Corp. before any design work is undertaken.
This line is NOT definitive.



NOTE/BEWARE: ADVISE TRADES
O/Head power lines
DISCLAIMER:
HIGH TENSION POWER LINES. CHECK TITLE FOR
EASEMENTS AND WESTERN POWER FOR SET-BACKS.



SITE PLAN - EXISTING
1:200

SEC Dome	Power Pole
Phone Pits	Water Conn.
Top Pillar/Post	Top Wall
Top Retaining	Top Fence

OLD AREA	Plan 3500
----------	-----------

Builder : Coast Homes
CLIENT : Tieleman
LOT 12 #37 Beachton Street, North Beach

87-89 Guthrie Street, Osborne Park, Western Australia	Telephone: (08) 9446 7361	Facsimile: (08) 9445 2998
Email : perth@cottage.com.au	Website: www.cottage.com.au	
J/N:	DATE:	SCALE:
448903	06 Feb 19	1:200
		B. Saliba

COTTAGE & ENGINEERING SURVEYS
Licensed Surveyors

COAST HOMES

PROPOSED RESIDENCE ADDRESS:
Lot 12 (#37) Beachton Street
North Beach
FOR:
Marcus and Lisa Tieleman

SIGNATURES:
OWNER: _____
OWNER: _____
BUILDER: _____
DATE: _____

AMENDMENTS:		
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4/12/19	GM	PSVO 4

Custom
SHEET: 17 OF 17
DRN: Vince
DATE: 25/04/19
SCALE: 1:200, 1:1
CONTRACT NO:
18055