



NOTE: IF HOUSE REMAINING, SURVEY OF BOUNDARIES FOR HOUSE POSITION REQUIRED.

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AUSTRALIAN HEIGHT DATUM (AHD) DERIVED FROM SEWER MANHOLE 2955 LID LEVEL.

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ALL DIMENSIONS TO BRICKWORK.

LOT No: 321
AREA : 647m²

LOCATION
REF.(PSD) :
228 - J - 5

LOCAL AUTHORITY : TOWN OF CAMBRIDGE

JOB No : 67370

I/WE THE OWNER/S AGREE TO THE CONTENTS OF THIS DOCUMENT AND ALL INITIALISED SHEETS

VARIATIONS - all sheets

OWNER /S :

DETAILS

DWN

DATE

CHK

WITNESS :

BUILDER :

WITNESS :

DATE :

SURVEYOR SITE INSPECTION REPORT

ELECTRICITY:	OVERHEAD	GAS:	NOT SIGHTED
TELECOM:	YES	WATER:	YES (LHS)
SEWERAGE:	YES, ABOUT 2.5m DEEP (TO INVERT)		
ROAD:	BITUMEN		
KERB:	BARRIER (cracked)		
FOOTPATH:	CONCRETE		
VEGETATION:	ESTABLISHED GARDENS & TREES		
SOIL:	SAND		
VIEWS:	NIL		
REPEG:	REQUIRED	REPEG TYPE:	OLD SURVEY AREA

ONLY OBVIOUS VISIBLE SERVICES HAVE BEEN LOCATED. PRIOR TO ANY EXCAVATION, CONSTRUCTION OR DEMOLITION THE RELEVANT SERVICE AUTHORITIES MUST BE CONTACTED TO CONFIRM THE LOCATION OF ALL UNDERGROUND SERVICES.

TITLE DETAILS

LOT NOS:	321	C/T VOL:	1880
PLAN:	133(3)	FOL:	191

LEGEND

T.B.M.	TREE	HYDRANT
POWER DOME	PALM TREE	STOP VALVE
TELECOM PIT	TREE STUMP	TAP
COMMUNICATION PIT	POWER POLE	PRE-LAID WATER PIPE
IRRIGATION	STREET LAMP	WATER METER
FENCE END	GRATED DRAIN	SEWERAGE MANHOLE
PILLAR	SIDE ENTRY PIT	SEWERAGE MANHOLE
TOP OF RETAINING WALL	DRAINAGE MANHOLE	SEWERAGE INSPECTION LID

NOTES:

ALL SEWER DETAILS PLOTTED FROM INFORMATION SUPPLIED BY WATER CORPORATION SPATIAL INFORMATION MANAGEMENT. REFER TO THE DISCLAIMER NOTE ON WATER CORP E-PLAN.

BLOCK LOCATED MORE THAN 1 KILOMETRE FROM THE OCEAN.

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LICENSED LAND & ENGINEERING SURVEYORS
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SHOP 7 / 1 NORTH BEACH ROAD
NORTH BEACH WA 6020
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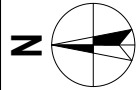
REF NO: 67370 FILE NO: 1357 DATE: 23.03.17 DRAWN: AC

SITE PLAN 1:200 at A3



CONSTRUCTION NOTES
CONCRETOR NOTE: - FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPENING.
CONCRETOR / BRICKLAYER NOTE: - B'WALL ON LOT B'DRY HAS BEEN CALCULATED TO BE SET INSIDE THE B'DRY BY 100mm.
CONCRETOR / ELECTRICIAN NOTE: - CONDUIT IN SLAB FOR ISLAND BENCH IN KITCHEN AREA.
PLUMBER NOTE: - REFER TO PLUMBING PLAN FOR SEWER AND STORMWATER LAYOUTS.
BRICKPAVER NOTE: - BRICK PAVING TO DRIVEWAYS, CROSSEOVERS, PATHS, CARBAYS. EXTENT AS INDICATED. - WIDTHS OF BRICK PAVED PATHS TO BE APPROX. 1.0m WIDE UNLESS OTHERWISE INDICATED.
CLIENT NOTE: - ALL FENCING BY CLIENT

BUILDER:	CLIENT(S):	WITNESS:



Tangent Nominees Pty Ltd (A.C.N. 008 865 585).
Trustee For Summit Homes Group Trust.



242 Leach Highway Myaree, W.A. 6154.
T: (08) 93170100 Web: www.summitprojects.com.au

PROPOSED RESIDENCE FOR:
GOLD FIELD PTY LTD ATF YEOVIL FAMILY TRUST

ADDRESS:
**LOT 321 (#24) ST LEONARDS AVENUE,
WEST LEEDERVILLE.**

DRAWN:	JUS	SCALE	1: 200	Issue Name	Drawn	Date	Issue Name	Drawn	Date
DESIGNED:	AC			V002	PR	29-OCT-18			
CHECKED:	DM			JEL	PR	30-NOV-18			
DATE:	14/05/18	SHEET	2 OF 16						
MODEL:		SIZE	A3						
SPECIAL		COPYRIGHT	2018 ©						
SITE PLAN				JOB NO: 153198					



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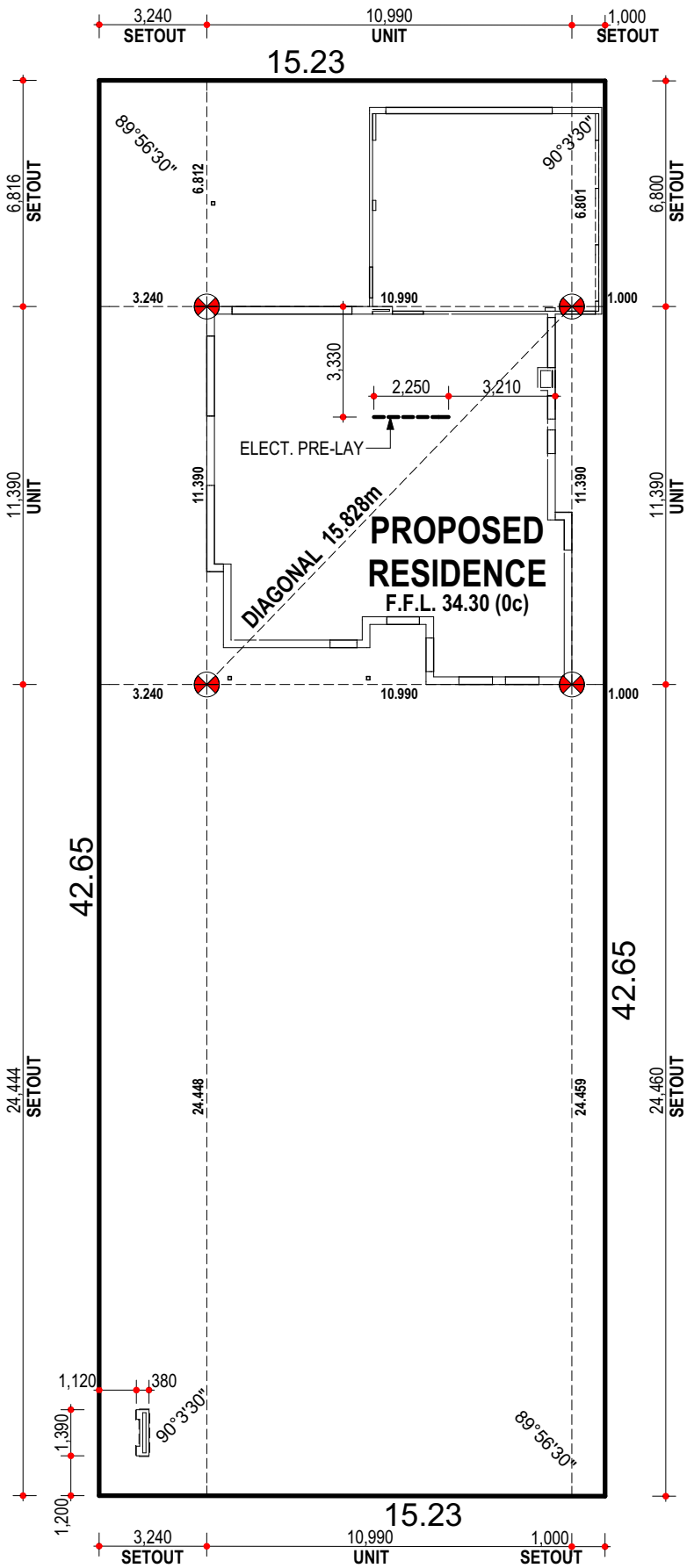
LOT No: 321
AREA : 647m²
LOCATION REF.(PSD) : 228 - J - 5

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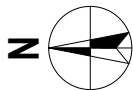
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admin@lestersurveys.com.au

REF NO: 67370 FILE NO: 1357 DATE: 23.03.17 DRAWN: AC

SITE PLAN 1:200 at A3



BUILDER: _____
CLIENT(S): _____
WITNESS: _____



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CHECKED: DM
DATE: 14/05/18
MODEL: SPECIAL

SCALE
1: 200
SHEET
3 OF 16
SIZE
A3
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Issue Name	Drawn	Date	Issue Name	Drawn	Date
V002	PR	29-OCT-18			
JEL	PR	30-NOV-18			

SETOUT PLAN

JOB NO: 153198



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GAS: NOT SIGHTED

TELECOM: YES

WATER: YES (LHS)

SEWERAGE: YES, ABOUT 2.5m DEEP (TO INVERT)

ROAD: BITUMEN

KERB: BARRIER (cracked)

FOOTPATH: CONCRETE

VEGETATION: ESTABLISHED GARDENS & TREES

SOIL: SAND

VIEWS: NIL

REPEG: REQUIRED

REPEG TYPE: OLD SURVEY AREA

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PLAN: 133(3)

FOL: 191

LEGEND



T.B.M.



POWER DOME



TELECOM PIT



COMMUNICATION PIT



IRRIGATION



FENCE END



PILLAR



TOP OF RETAINING WALL



TREE



PALM TREE



TREE STUMP



POWER POLE



STREET LAMP



GRATED DRAIN



SIDE ENTRY PIT



DRAINAGE MANHOLE



HYDRANT



STOP VALVE



TAP



PRE-LAID WATER PIPE



WATER METER



SEWERAGE MANHOLE



SEWERAGE MANHOLE



SEWERAGE INSPECTION LID

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SITE PLAN 1:200 at A3

0 5 10 15

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DATE: 14/05/18

MODEL: SPECIAL

JUS

AC

DM

14/05/18

SPECIAL

SCALE

1: 200

SHEET

4 OF 16

SIZE

A3

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Issue Name

Drawn

Date

V002

PR

29-OCT-18

JEL

PR

30-NOV-18

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STRATA PLAN

JOB NO: 153198



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LOT No: 321
AREA : 647m²
LOCATION REF.(PSD) : 228-J-5

PLUMBER NOTE:

- CONNECT ALL DOWNPIPES TO STORMWATER SOAKWELLS AS PER SHIRE REQUIREMENTS.
- PART 3.1.2 DRAINAGE: ALL STORMWATER & SURFACE WATER DRAINAGE TO COMPLY W/ A.S. 3500.3:2003, CLAUSE 3.1.2.1 & 3.1.2.5 BCA VOL. 2 & LOCAL AUTHORITY REQUIREMENTS.
- CONSTRUCT NEW HOUSE DRAIN FOR EXISTING UNIT 1 AND CUT OFF OR REMOVE EXISTING HOUSE DRAIN PRIOR TO EARTHWORKS.
- REFLUX VALVE REQUIRED.

SEWER JUNCTION
RL 31.69 (TO INVERT)

REFLUX VALVE

15.23

BRICK BUILDING

PEG GONE

approximate position of sewer main & junction

SMH
33.96

BITUMEN LANEWAY

33.90

SHED

SEWER & STORMWATER PRE-LAY

GARAGE
R.L. 34.214 (-1c)
GRANO

ALFRESCO
R.L. 34.214 (-1c)
B'PAVING

PLUMBING DUCT

PROPOSED RESIDENCE
F.F.L. 34.30 (0c)

PORCH
R.L. 34.214 (-1c)
B'PAVING

PERGOLA

PERGOLA
decking

FL 34.72

BUILDING POSITION NOT GUARANTEED DUE TO BOUNDARY PEGS MISSING. REPEG RECOMMENDED BEFORE CONSTRUCTION. IF HOUSE IS REMAINING, REPEG RECOMMENDED BEFORE DESIGN.

BRICK & METAL ROOF HOUSE

FL 34.86

VERANDAH
decking

VERANDAH

EXISTING LOW BRICK WALL

PEG GONE

concrete slabs

existing low picket fence

CAUTION: live overhead power lines

concrete footpath

EXISTING RENDERED BRICK SCREEN WALL WITH PILLARS

PEG GONE

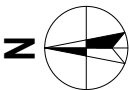
TBM 34.45
(APPROX. AHD)

ST LEONARDS AVENUE

1:20 YEAR STORM EVENT

Soak Well Type	No.	
SW 1200x1200	1	1.4 m3
SW 1500x1500	1	2.7 m3
Total Capacity		4.0 m3
Roof Area GF		111.6 m2
Paved Area		54.8 m2
Roof Area UF		109.7 m2
Total Area		276.1 m2
Capacity Required (Area x 0.0130)		3.6 m3
Extra Capacity Provided		0.4 m3

Capacity Required (Area x 0.0130) 3.6 m3
Extra Capacity Provided 0.4 m3



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SCALE
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SITE PLAN 1:200 at A3



- RENDERED BRICK U.N.O

JOB NO. 153198

SITE CLASSIFICATION - CLASS 'A'
(REFER TO SITE REPORT FOR
DETAILS) WIND LOAD - N1
CORROSION CLASSIFICATION - R3

BRICK NOTE
- RENDERED BRICK U.N.O

ROOF NOTE

- COLORBOND ROOF, PITCH AT 25° W/- 500W EAVES UNO
- STEEL ROOF FRAME TO NASH STANDARDS
- CEILINGS AT 31c + PLATE UNLESS NOTED OTHERWISE

ROOF PLUMBER NOTE

- PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)
- FINAL POSITIONS OF RWP'S TO BE DETERMINED ON SITE

ROOF INSULATION NOTE

- R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL PLASTERBOARD CEILINGS IF APPL.

ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS INDICATED ON PLAN

FIXING CARPENTER NOTE

- 4 No. 450D SHELVES TO PANTRY AND LINEN UNO
- 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO
- 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY
- PROVIDE MID-SHELF SUPPORT WHERE NOTED "MSS" TO ANY SHELF OVER 1.8m LONG.
- PROVIDE MDF CAPPING TO LOW WALL.
- SEE ROBE LAYOUTS SHEET FOR MORE DETAILS.

TRADES / SUPERVISOR NOTE

- REFER TO STRUCTURAL ENGINEERS DETAILS
- ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS & STANDARD SPECIFICATION.

STAIR CONSTRUCTION

STAIRWAY TREADS NON-SLIP TO TABLE 3.9.1.1 BCA VOL. 2

HANDRAIL CONSTRUCTION

HANDRAILS TO COMPLY W/- CLAUSE 3.9.2.3 & 3.9.2.4 BCA VOL. 2

RENDER WALL NOTE

- PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED WALLS & H/FLEX / VERSILUX CEILINGS

AIRCON NOTE

- PROVIDE REVERSE CYCLE AIR CONDITIONING. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

PLUMBER NOTE

- NO HOBBS TO SHOWERS UNLESS SHOWN OTHERWISE.
- PLUMBER TO INSTALL REFLUX VALVE.
- BATHROOM BASIN AND FLOOR WASTE SLAB PENETRATIONS REQUIRE OFF CENTERING. REFER TO BATHROOM ROOM LAYOUT PLAN AND NOTE ON THIS SHEET

ENGINEER NOTE

- NOTE BLOCKOUTS TO DUCTS.
- CONFIRM ROOF BEAMS AND SIZES.

CONCRETOR/ENGINEER NOTE

- CONC STAIRS TO HAVE 172 RISERS & 250 GOINGS.

WINDOW NOTE

- PROTECTION OF OPENABLE WINDOWS
- BEDROOM WINDOWS TO COMPLY W/- CLAUSE 3.9.2.5 BCA VOL. 2

PRESTART NOTE

- NOTE LOCATION OF PLUMBING FIXTURES ON UPPER STOREY. DISCUSS POSSIBLE SOUND INSULATION OF WASTE PIPES IN BULKHEADS AND/OR DUCTS.

PLUMBER/GENERAL NOTE

- 2 STOREY FLOOR CONSTRUCTION TO BE SUSPENDED SLAB. REFER TO ENGINEERS DETAILS & SECTIONS.

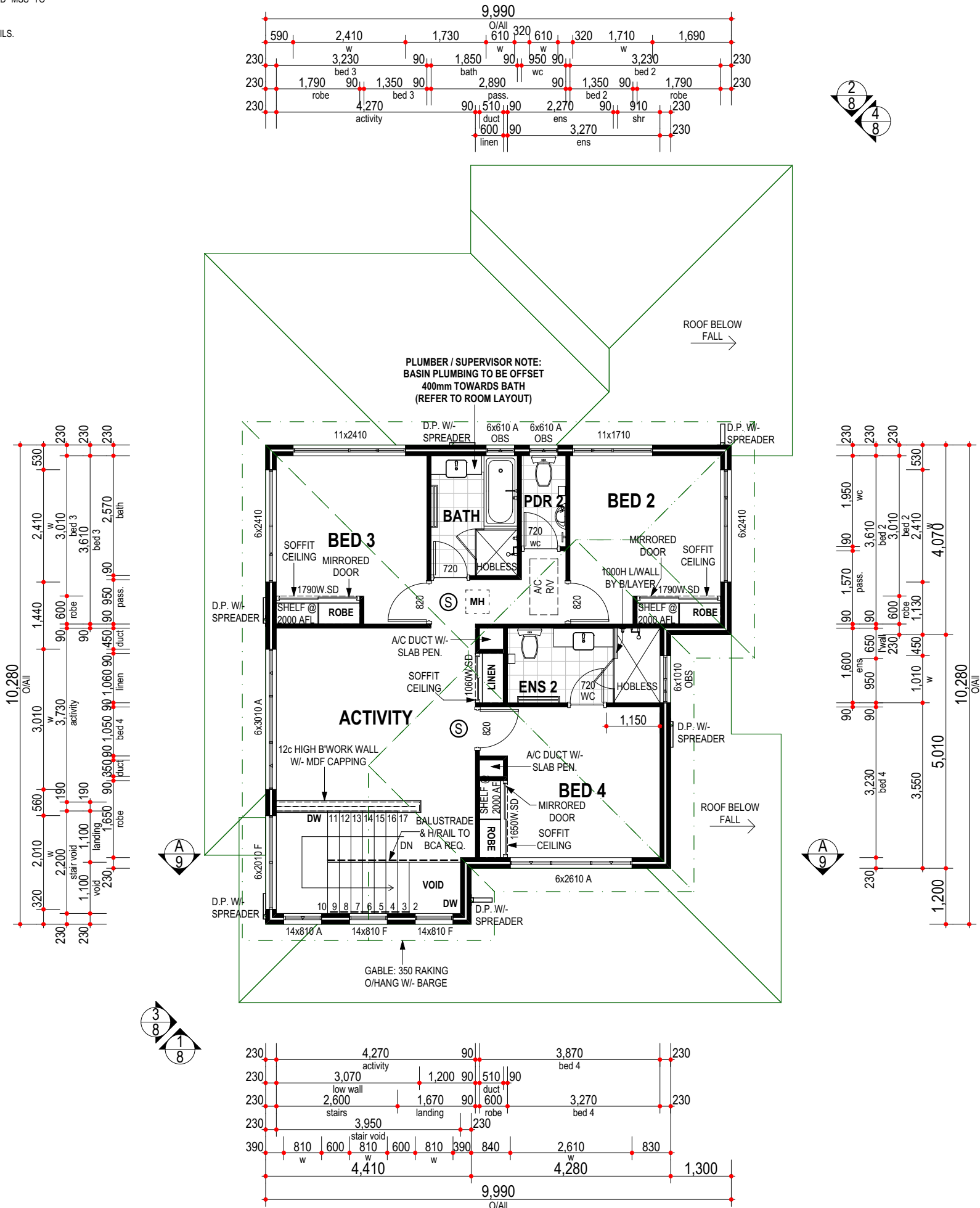
PLASTERBOARD NOTE

- PROVIDE PLASTERBOARD TO WALLS WHERE INDICATED BY "DW"

SANITARY COMPARTMENTS NOTE

- WHERE INDICATED BY "WC" DOORS TO SANITARY FACILITIES ARE INSTALLED WITH LIFT-OFF HINGES AS PER PART 3.8.3.3 OF B.C.A. (VOL. 2)

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SUMMIT
PROJECTS

242 Leach Highway Myaree, W.A. 6154.
T: (08) 93170100 Web: www.summitprojects.com.au

PROPOSED RESIDENCE FOR:
GOLD FIELD PTY LTD ATF YEOVIL FAMILY TRUST

ADDRESS:
**LOT 321 (#24) ST LEONARDS AVENUE,
WEST LEEDERVILLE.**

DRAWN:	JUS	SCALE	1: 100	Issue Name	Drawn	Date	Issue Name	Drawn	Date
DESIGNED:	AC	SHEET	7 OF 16	V002	PR	29-OCT-18			
CHECKED:	DM	SIZE	A3	JEL	PR	30-NOV-18			
DATE:	14/05/18	COPYRIGHT	2018 ©						
MODEL:	SPECIAL								
UF PLAN							JOB NO: 153198		

UF PLAN		Area m ²	Perim. L/m
1. FLOOR PLAN		89.49	40.54
2. ROOF		109.68	44.14

GENERAL NOTE

- ROOF PITCH AS INDICATED.
- ROOF COVER TO BE COLORBOND.
- EXTERNAL BRICKWORK TO BE RENDER UNLESS OTHERWISE NOTED.
- 2c HIGH HEBEL MOULDING BANDS W/- 25mm PROJ. AS INDICATED.

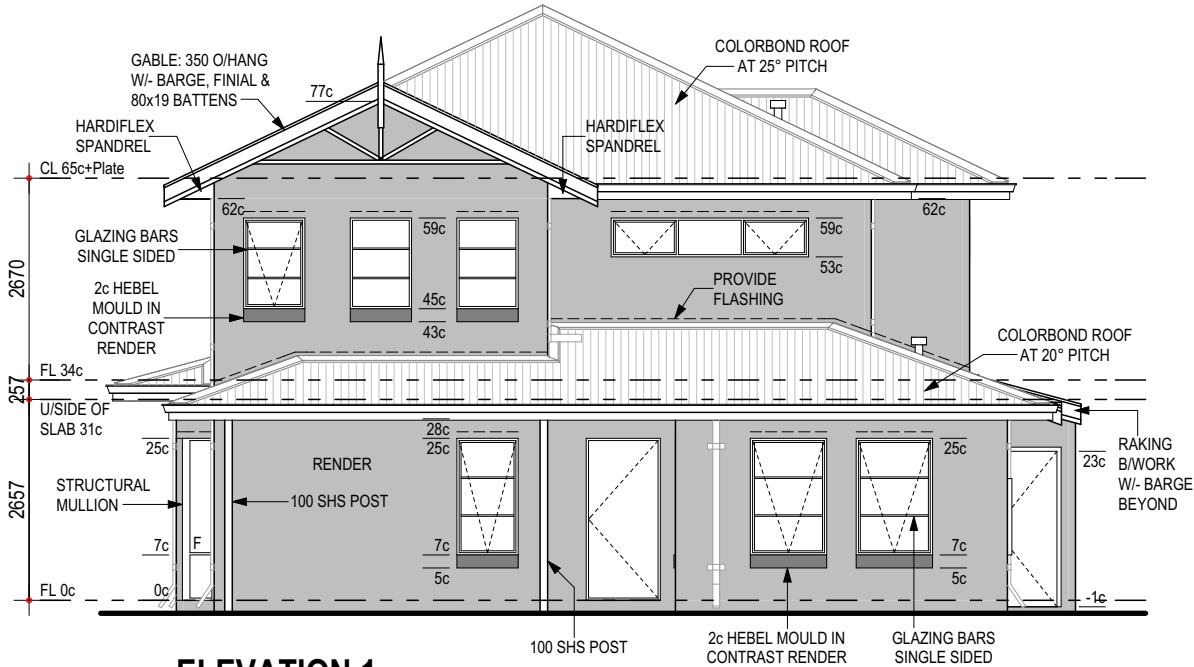
WINDOW SUPPLIER NOTE

- SHADED WINDOWS INDICATES OBSCURE GLAZING.
- GLAZING DESIGNED AND CONSTRUCTED IN ACCORDANCE TO AS1288.
- PROTECTION OF OPENABLE WINDOWS BEDROOM WINDOWS TO COMPLY W/- CLAUSE 3.9.2.5 BCA VOL. 2

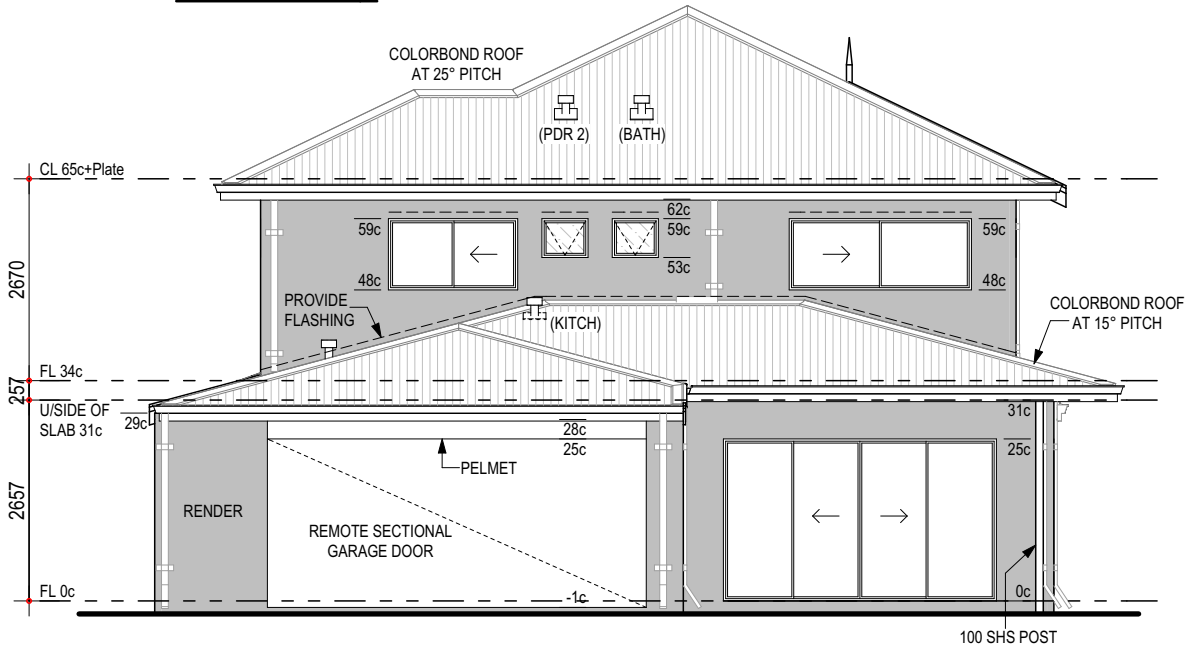
BRICK LAYER NOTE

- REFER TO ELEVATIONS & DETAIL OVER FOR FLASHING IN BRICK WORK OVER DOORS & WINDOWS AS INDICATED BY DASHED LINE.

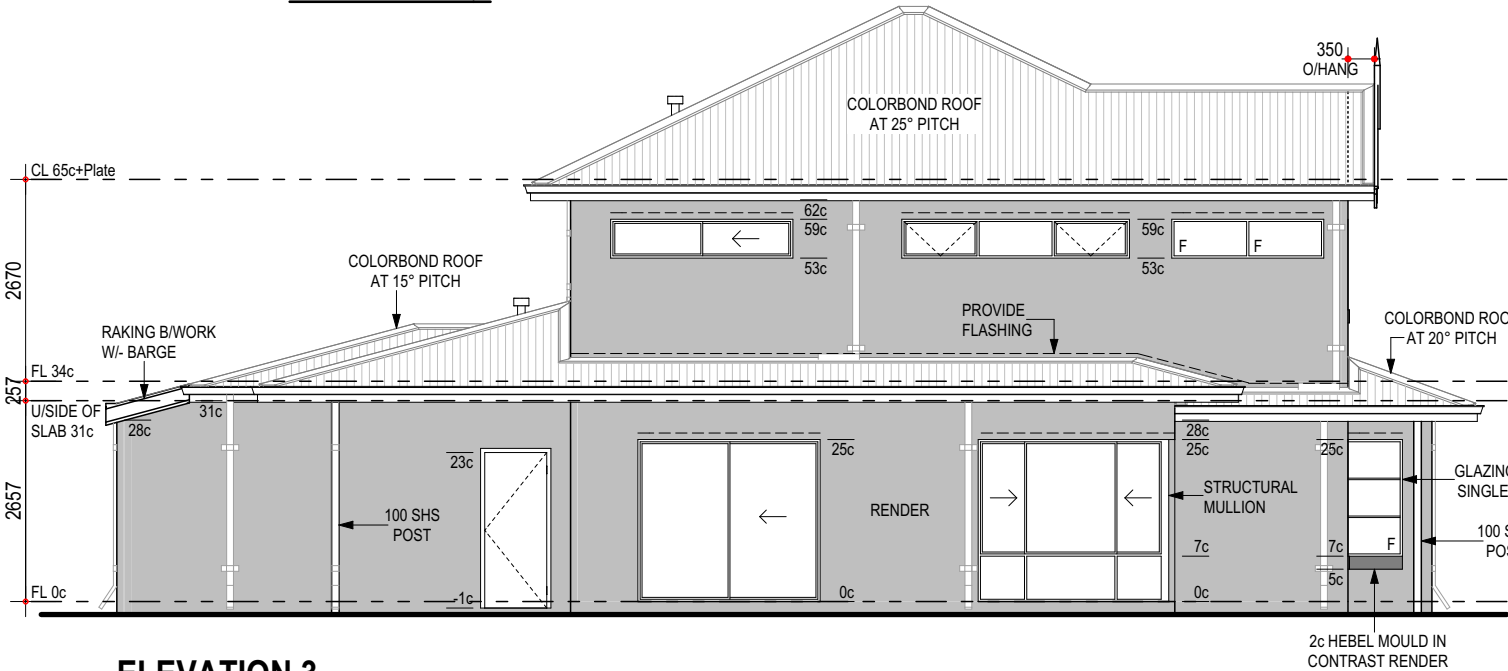
DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.



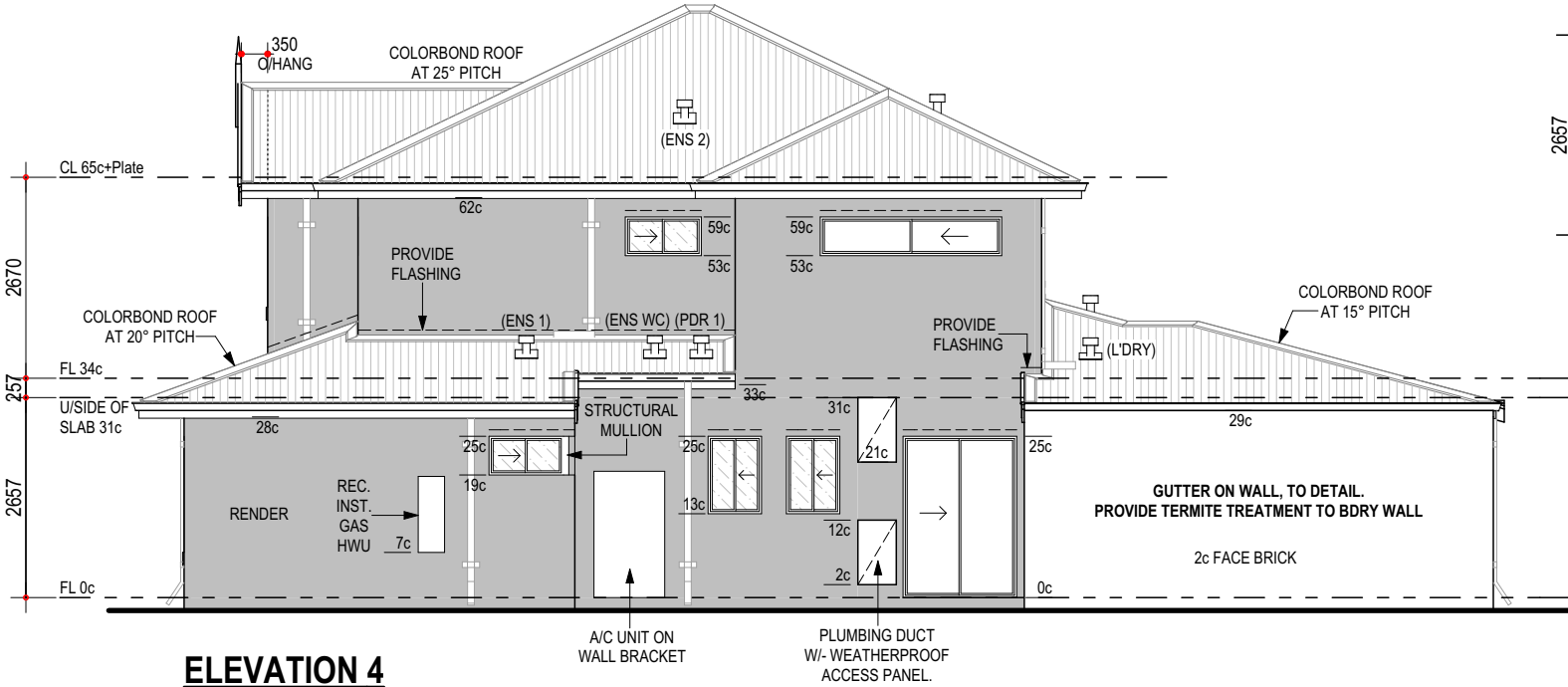
ELEVATION 1



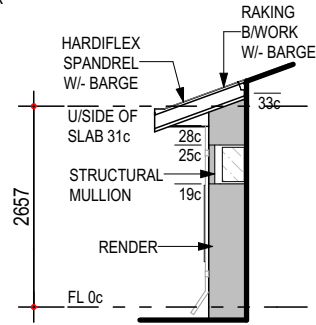
ELEVATION 2



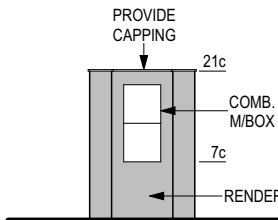
ELEVATION 3



ELEVATION 4



ELEVATION 5



ELEVATION 6

WITNESS:	CLIENT(S):	BUILDER:

Tangent Nominees Pty Ltd (A.C.N. 008 865 585).
Trustee For Summit Homes Group Trust.



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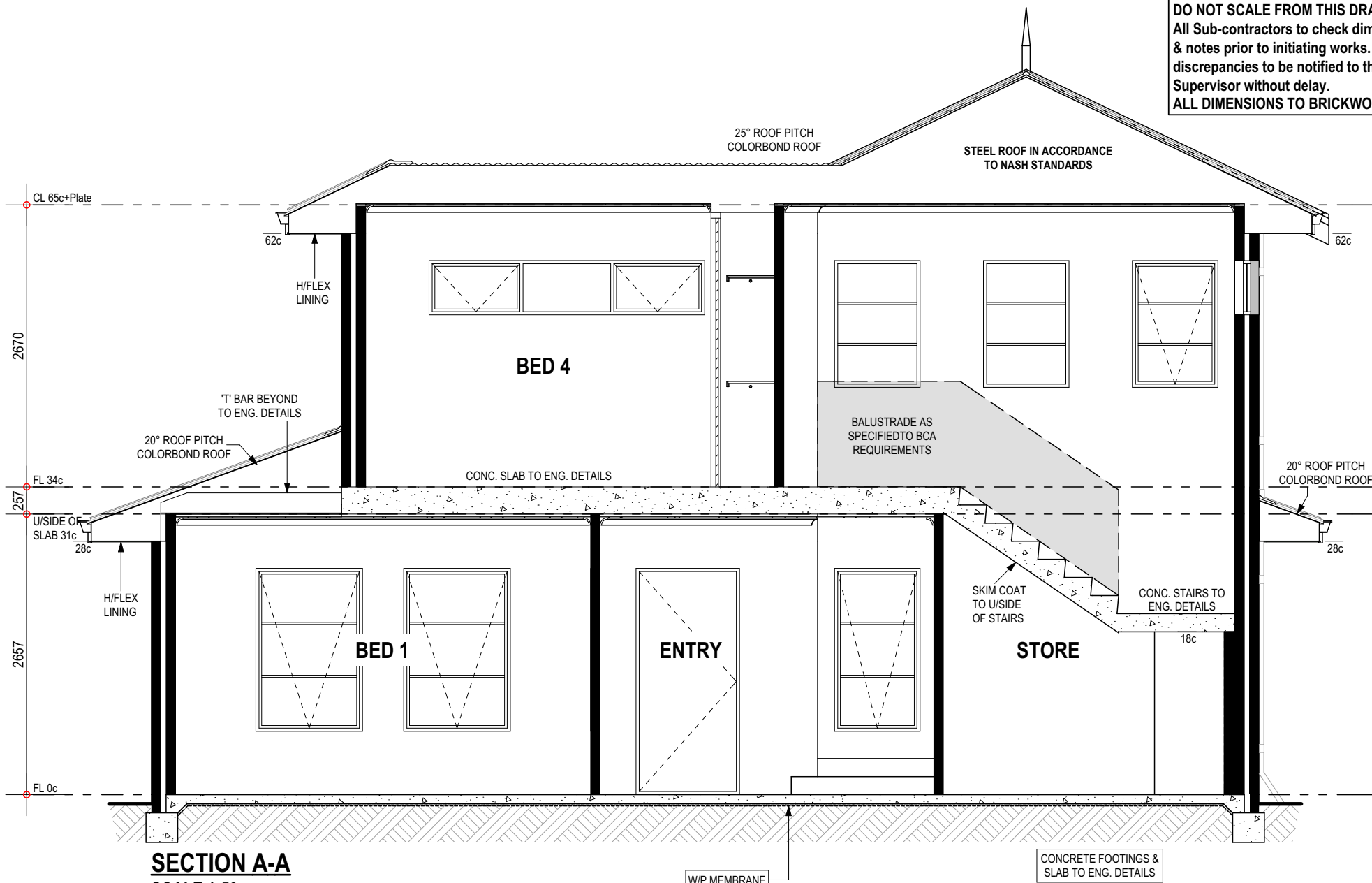
DRAWN:	JUS	SCALE	1: 100
DESIGNED:	AC	SHEET	8 OF 16
CHECKED:	DM	SIZE	A3
DATE:	14/05/18	COPYRIGHT	2018 ©
MODEL:			
SPECIAL			

ELEVATIONS

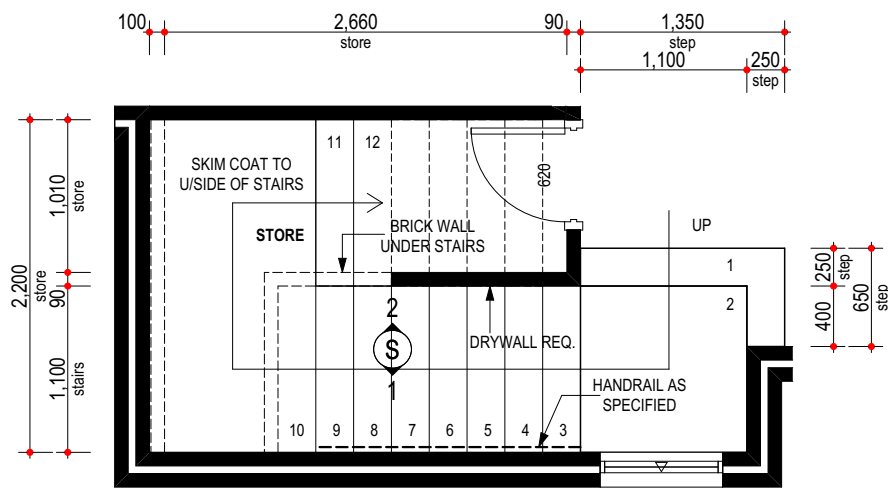
Issue Name	Drawn	Date	Issue Name	Drawn	Date
V002	PR	29-OCT-18			
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JOB NO: 153198

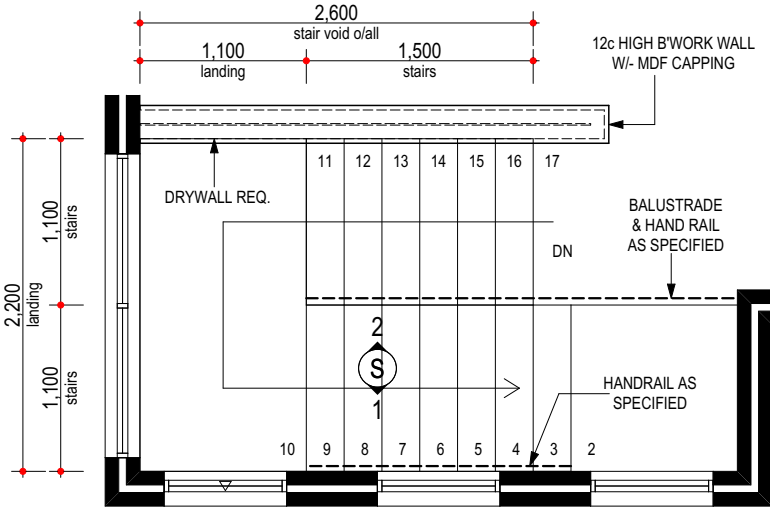
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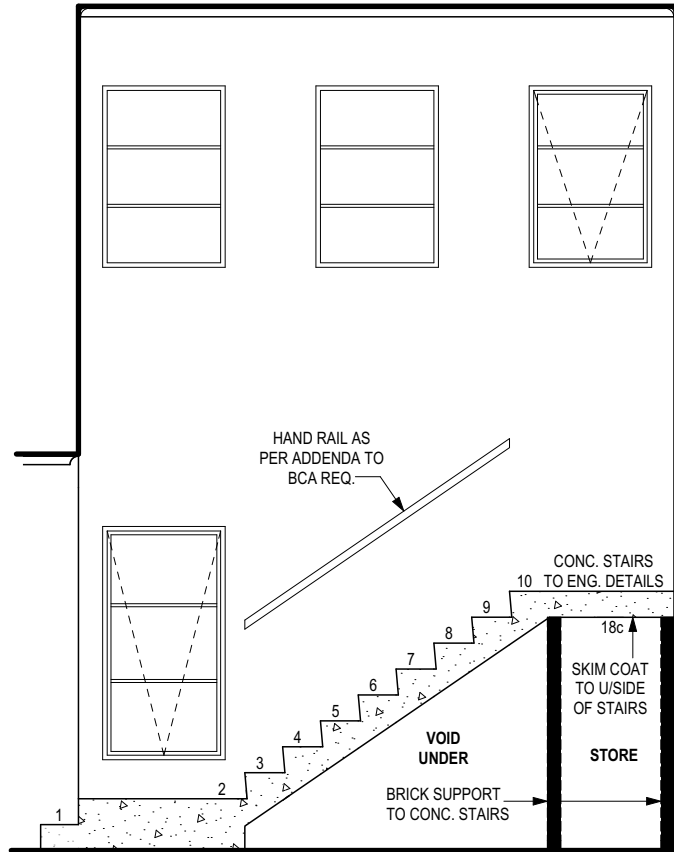
SECTION A-A
SCALE 1:50



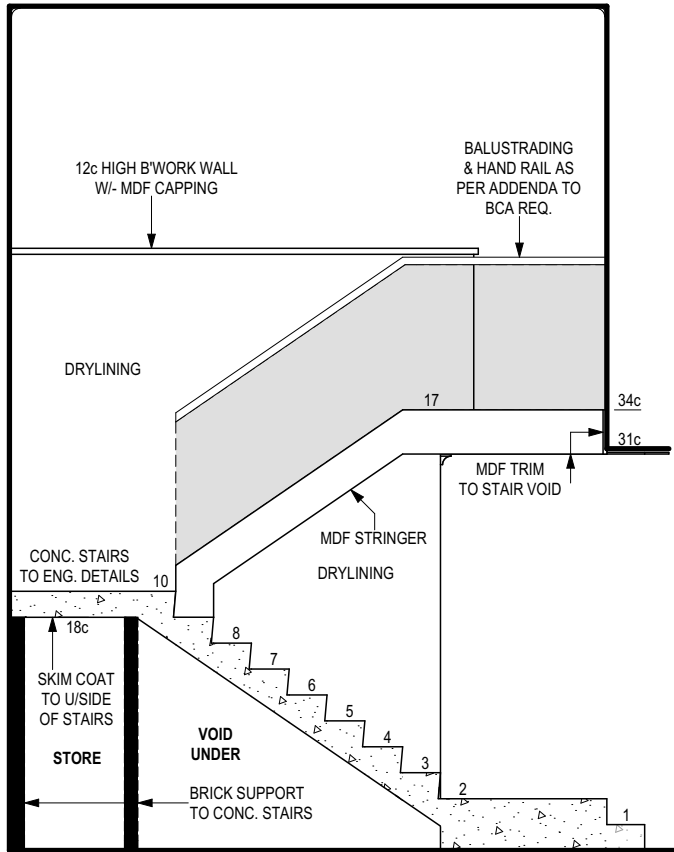
STAIR PLAN - GF
SCALE 1:50



STAIR PLAN - UF
SCALE 1:50



S1 VIEW

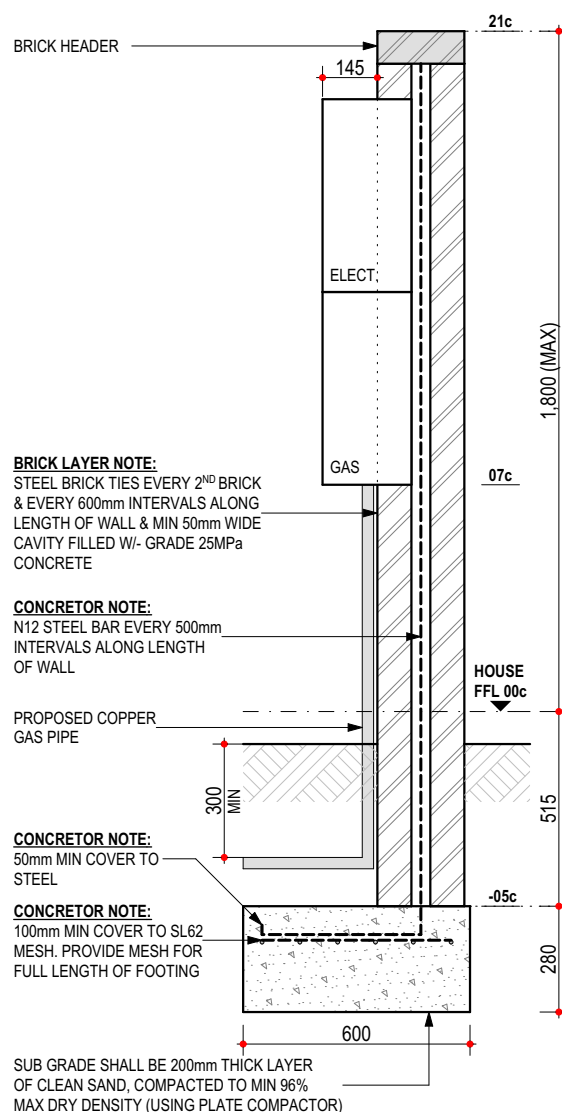


S2 VIEW

BUILDER: _____
CLIENT(S): _____
WITNESS: _____

JOB NO. 153198

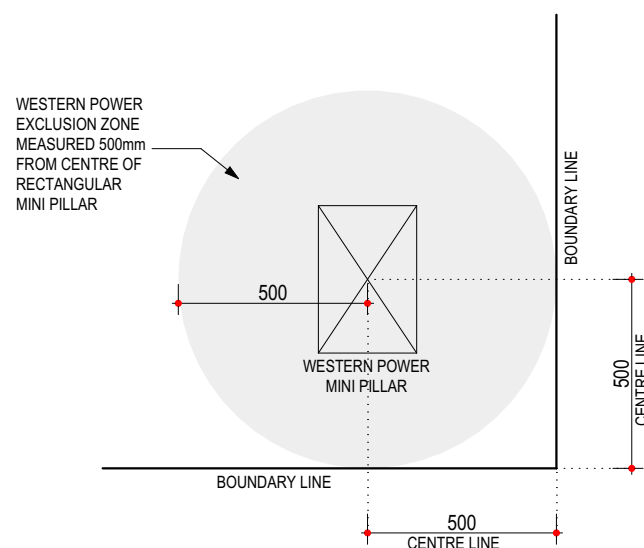
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TYPICAL FREESTANDING COMB. M/BOX

NOTES:

- NOTES:**
- THIS IS A GENERIC DETAIL REFER TO ENGINEERS DRAWINGS FOR FOOTING, REINFORCEMENT AND SLAB DETAILS
 - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 - SCALE 1 : 20



WESTERN POWER MINI PILLAR EXCLUSION ZONE

NOTES:

- NOTES:**
- EXCLUSION ZONE TO BE FREE OF ALL UNDERGROUND SERVICES OR PIPE WORK.
 - EXCLUSION ZONE MUSTY NOT BE IMPEDED VERTICALLY.
 - SCALE 1 : 20

BUILDER:	/	/
CLIENT(S):	/	/
	/	/
WITNESS:	/	/

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DATE:	14/05/18	11 OF 16	
MODEL:		SIZE	COPYRIGHT
SPECIAL		A3	2018 ©

DETAILS

[illegible]

JOB NO: 153198

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ALL DIMENSIONS TO BRICKWORK.

REFER TO ADDENDUM FOR FITOUT SPECIFICATION

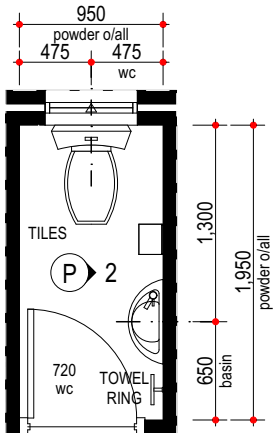
WET AREAS CONSTRUCTED IN ACCORDANCE WITH
PART 3.8.1 OF B.C.A. (VOL 2)

TILER NOTE

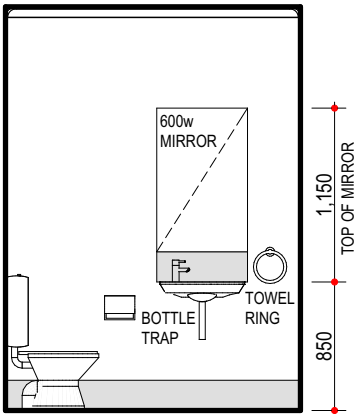
- SHADING DENOTES EXTENT OF TILING
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
- REFER TO COLOUR SCHEDULE FOR LOCATION OF BOARDER TILES IF APPLICABLE.
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES
- PROVIDE MITRED TILING THROUGHOUT WHERE APPLICABLE

WALL FINISH NOTE

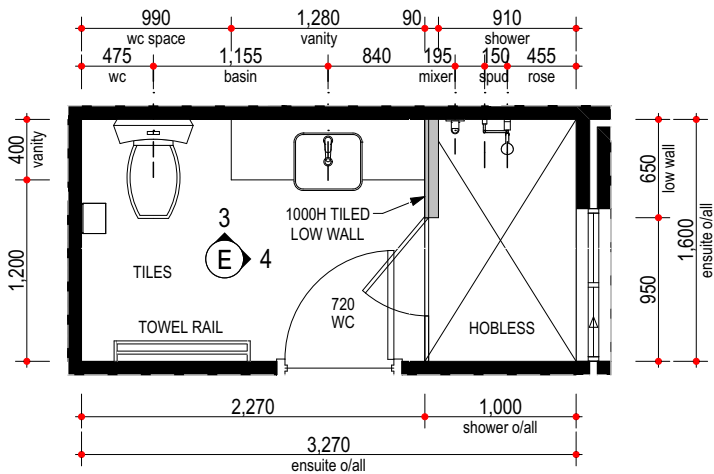
- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES



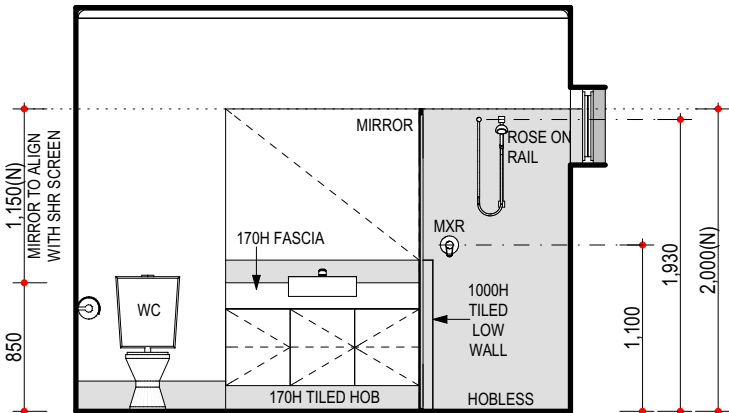
PDR 2 PLAN



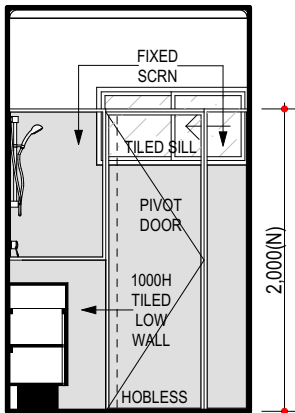
P2 VIEW



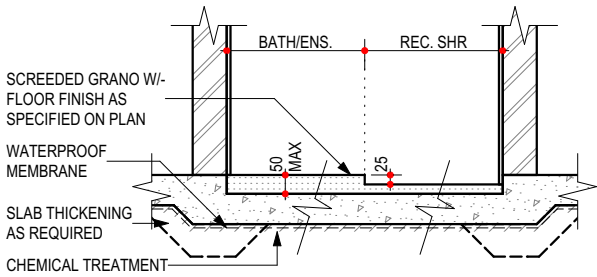
ENSUITE 2 PLAN



E3 VIEW



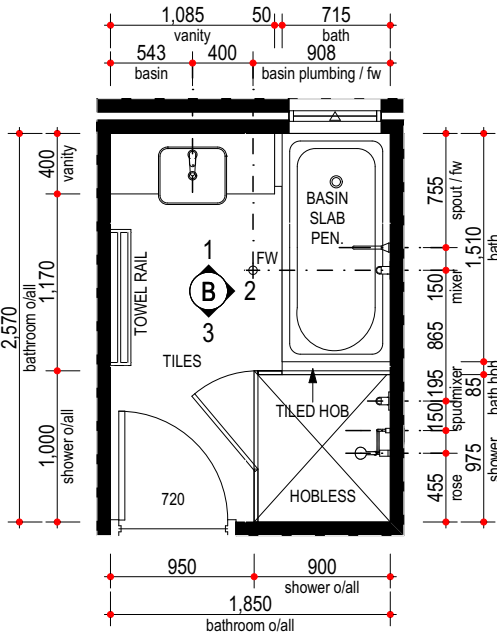
E4 VIEW



RECESSED SHOWER DETAIL (NO HOB)

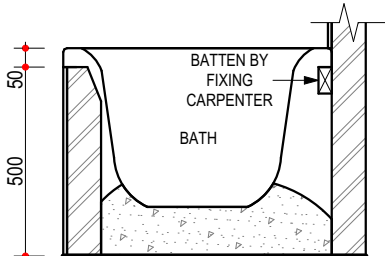
NOTES:

- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- SCALE 1 : 20



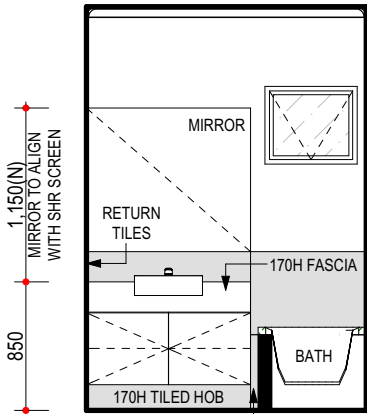
BATH PLAN

PLUMBER / SUPERVISOR NOTE:
BASIN PLUMBING TO BE OFFSET 400mm TOWARDS
BATH TO ENSURE PLUMBING IS CONCEALED IN
DROPPED CEILING BELOW

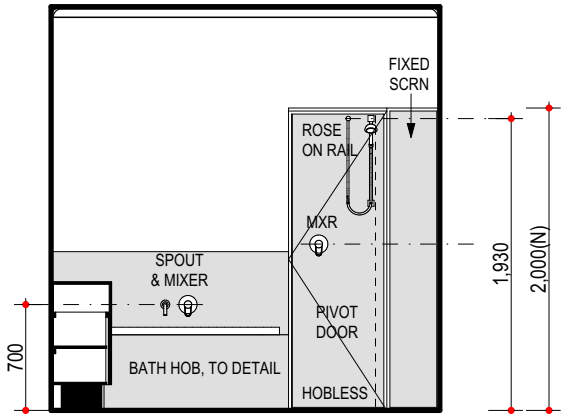


TYPICAL BATH HOB SECTION

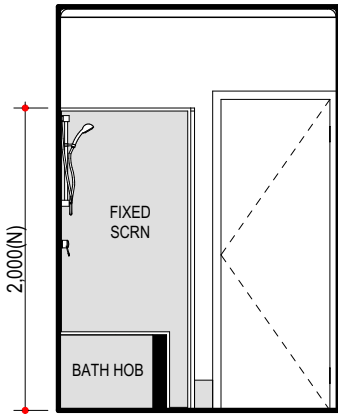
- SCALE 1 : 20



B1 VIEW



B2 VIEW



B3 VIEW

WITNESS:
CLIENT(S):
BUILDER:
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CHECKED: DM
DATE: 14/05/18
MODEL: SPECIAL
SCALE: 1: 50
SHEET: 13 OF 16
SIZE: A3
COPYRIGHT: 2018 ©
BATHROOM - ENSUITE LAYOUTS

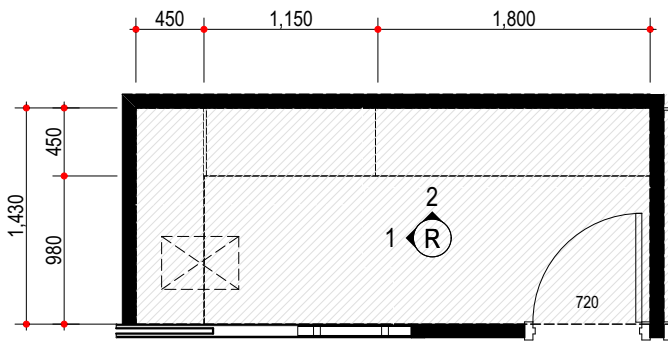
Issue Name	Drawn	Date	Issue Name	Drawn	Date
V002	PR	29-OCT-18			
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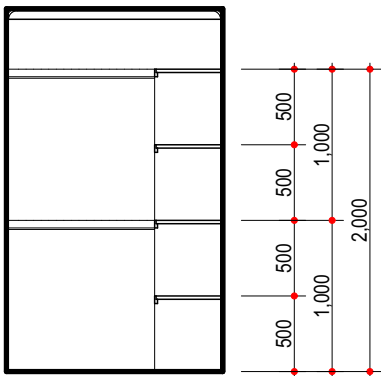
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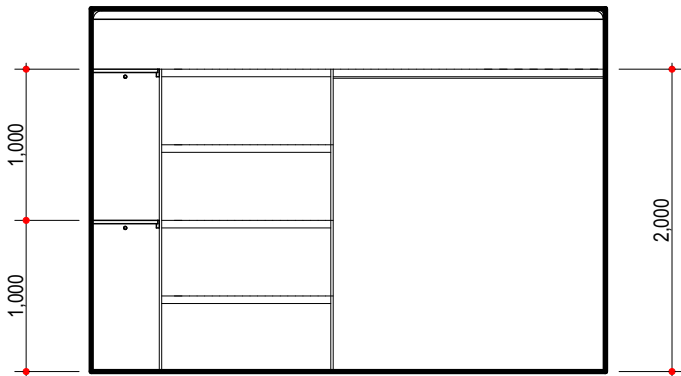
WET AREAS CONSTRUCTED IN ACCORDANCE WITH
PART 3.8.1 OF B.C.A. (VOL 2)



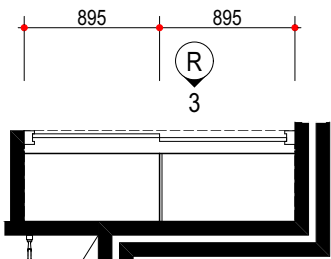
BED 1 ROBE PLAN
SCALE 1:50



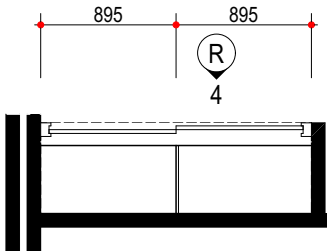
R1 VIEW



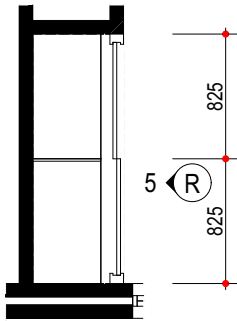
R2 VIEW



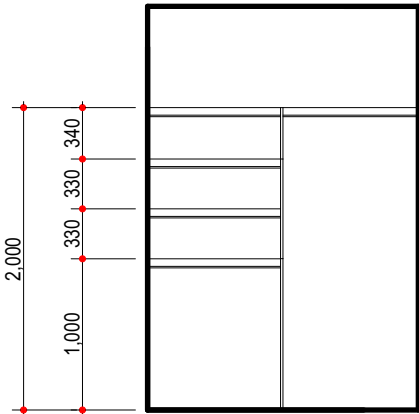
BED 2 ROBE PLAN
SCALE 1:50



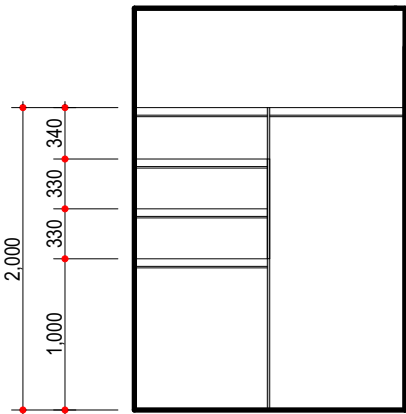
BED 3 ROBE PLAN
SCALE 1:50



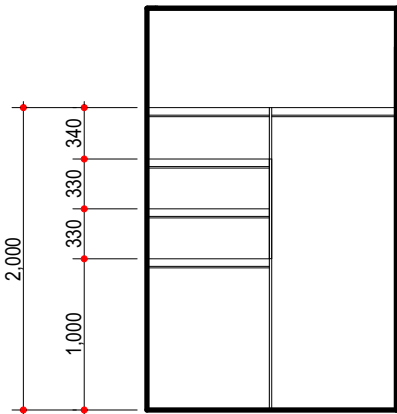
BED 4 ROBE PLAN
SCALE 1:50



R3 VIEW



R4 VIEW



R5 VIEW

WITNESS: _____

CLIENT(S): _____

BUILDER: _____

ELECTRICAL LEGEND

Ground Floor

Qty	Sym.	Description	Watts	Insulation Penetrations
2		EXTERNAL WALL LIGHT @ 2000 AFL Perimeter Lighting	22*	*
1		EXTERNAL UP/DOWN LIGHT @ 1800 AFL Perimeter Lighting	11*	*
1		RECESSED LED DOWN-LIGHT (11w) External	11*	*
1		CEILING LIGHT (11w) Class 10	11*	*
1		CEILING LIGHT (11w) Class 1 External	11*	*
1		WALL LIGHT @ 1800 AFL	11	
8		RECESSED LED DOWN-LIGHT (11w)	88	0.076
1		H.WIRED SMOKE DETECTOR	0	
3		EXHAUST FAN FLUMED	0	0.136
9		CEILING LIGHT (11w)	99	
1		2 WAY SWITCH	0	
1		W/P SGPO INSTALLED IN HWU	0	
1		SINGLE GPO IN/ON CEILING	0	
1		SINGLE GPO FOR R/H (REFER TO PLAN FOR R/H TYPE)	0	
3		SINGLE GPO @ NOTED HT	0	
1		NBN LEAD IN CONDUIT (25mm) W/- BLANK FACE PLATE AT 1500 AFL	0	
1		DOUBLE WATER PROOF GPO	0	
6		DOUBLE GPO @ NOTED HT	0	
6		DOUBLE GPO @ 200 AFL	0	
1		DOUBLE GPO @ 1500 AFL W/ 20mm CONDUIT FOR PSU CONNECTION	0	
1		DGPO @ NOTED HT	0	
1		CONDUIT FOR NBN (25mm)	0	
2		CONDUIT 20mm	0	
1		CONDUIT (32mm)	0	
1		D2 (2x DATA/PHONE) FOR NBN PROVISION @ 1500 AFL	0	
1		C1 (TV) + D2 (PH/DATA)	0	

* NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. Subtotal: 198 0.212 PERIMETER LIGHTING MIN. 40 LUMENS/W.

Total Class 1 Wattage= 297

Wattage Calculations (Class 1)

Story Name	Area	Allowed Wattage	Actual Wattage	
0 Ground Floor	101.81 Sqm	509 w	198 w	
2 Upper Floor	80.38 Sqm	402 w	99 w	
	182.19 sqm	911 w	297 w	PASS

Recessed Fitting Penetrations (Class 1)

Story Name	Area	Maximum Penetrations	Actual Penetrations	
0 Ground Floor	14.86 Sqm	0.074 Sqm	0.134 Sqm	
2 Upper Floor	80.38 Sqm	0.402 Sqm	0.087 Sqm	
Vents\RangeHoods			0.078 Sqm	
	95.24 sqm	0.476 sqm	0.453 sqm	PASS
	0.48 % R4.0 Insulation Adjustment Not Required			

LIGHT AND VENTILATION CALC.

Room Name	Opn %	Light	Vent.
2 BED 1			
Min. Ventilation = 1.10 Min. Light= 1.47 Total Area= 14.66			
W13 Fixed	0 %	1.56 m2	0.00 m2
W12 Awning	100 %	1.56 m2	1.56 m2
W11 Awning	100 %	1.56 m2	1.56 m2
Totals		Light 4.68 m2	Vent 3.12 m2
1 LIVING KITCHEN DINING			
Min. Ventilation = 3.53 Min. Light= 4.71 Total Area= 47.10			
W05 Sliding Door	50 %	7.74 m2	3.87 m2
W04 Sliding Door	50 %	5.16 m2	2.58 m2
W03 Sliding	34 %	5.49 m2	1.86 m2
W02 Fixed	0 %	1.07 m2	0.00 m2
Totals		Light 19.46 m2	Vent 8.31 m2

Inputs for Airmovement and Light are Valid



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ALL DIMENSIONS TO BRICKWORK.

REFER TO ADDENDUM FOR ELEC. SPECIFICATION

ELECTRICAL NOTE

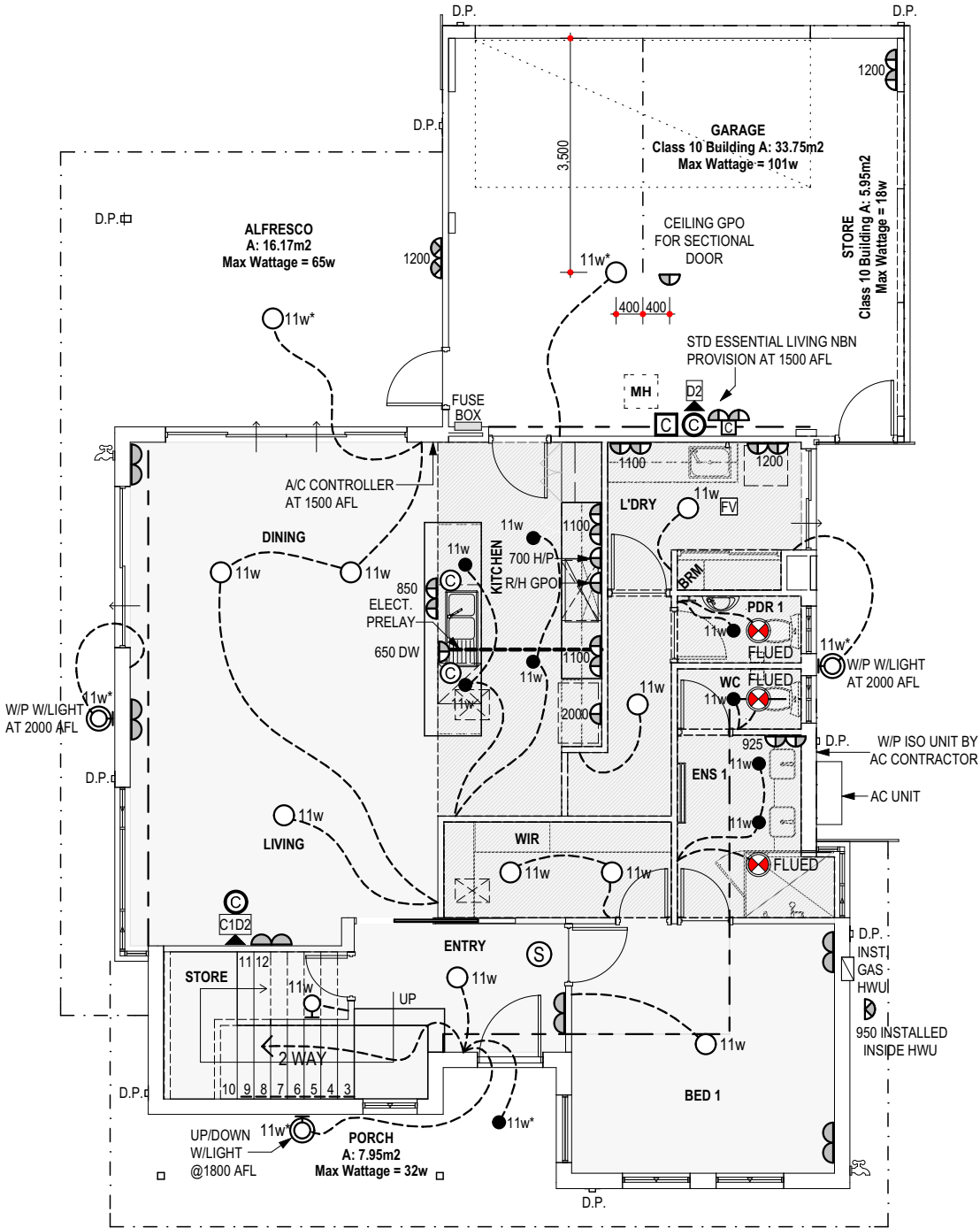
- INTERCONNECTED SMOKE DETECTORS TO AS3786-2014
- FINAL POSITION OF ELECTRICAL ITEMS SUCH AS GPO'S, LIGHT SWITCHES ETC. MAY VARY ON SITE DUE TO ELECTRICAL REGULATIONS. LIGHT SWITCH HEIGHT TO BE AT 1200 AFL U.N.O.
- PROVIDE LOCKABLE M/BOX WITH VIEWING PANEL TO ELECTRIC M/BOX ONLY, GAS M/BOX TO REMAIN UNLOCKED

CLIENT / PRESTART NOTE

- CLIENT TO CONFIRM W/- ADMINISTRATOR POSITIONING OF ALL TV, PHONE AND ROOM GPO POSITIONS.

AIRCON NOTE

- PROVIDE REVERSE CYCLE AIR CONDITIONING. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.



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ELECTRICAL PLAN

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V002	PR	29-OCT-18			
JEL	PR	30-NOV-18			

JOB NO: 153198

ELECTRICAL LEGEND

Upper Floor

Qty	Sym.	Description	Watts	Insulation Penetrations
1	⊖ 11w	WALL LIGHT @ 1800 AFL	11	
3	○ 11w	RECESSED LED DOWN-LIGHT (11w)	33	0.029
2	Ⓢ	H.WIRED SMOKE DETECTOR	0	
3	⊗	EXHAUST FAN FLUMED	0	0.136
5	○ 11w	CEILING LIGHT (11w)	55	
2	⌒	DOUBLE GPO @ NOTED HT	0	
7	⌒	DOUBLE GPO @ 200 AFL	0	
1	Ⓢ	CONDUIT FOR NBN (25mm)	0	
2	Ⓢ	CONDUIT 20mm	0	
1	Ⓢ ▲ C1(TV)	C1 (TV) + CONDUIT BY O.N.C	0	

* NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. Subtotal: 99 0.164
PERIMETER LIGHTING MIN. 40 LUMENS/W.

Total Class 1 Wattage= 297

Wattage Calculations (Class 1)

Story Name	Area	Allowed Wattage	Actual Wattage	
0 Ground Floor	101.81 Sqm	509 w	198 w	
2 Upper Floor	80.38 Sqm	402 w	99 w	
	182.19 sqm	911 w	297 w	PASS

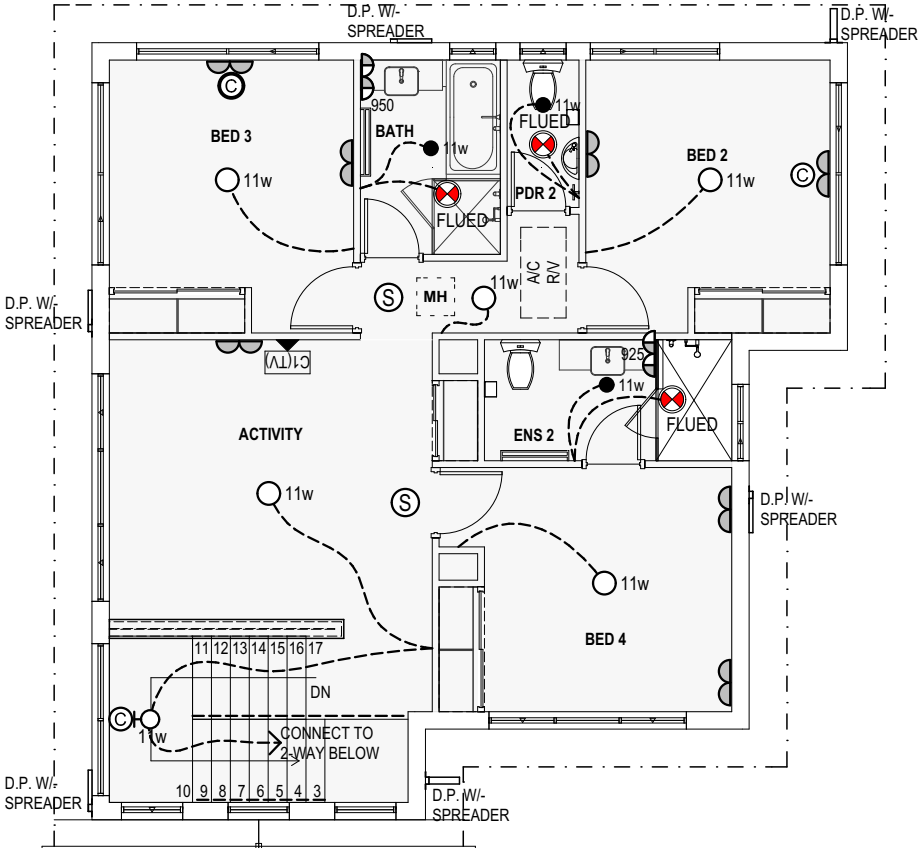
Recessed Fitting Penetrations (Class 1)

Story Name	Area	Maximum Penetrations	Actual Penetrations	
0 Ground Floor	14.86 Sqm	0.074 Sqm	0.134 Sqm	
2 Upper Floor	80.38 Sqm	0.402 Sqm	0.087 Sqm	
Vents\RangeHoods			0.078 Sqm	
	95.24 sqm	0.476 sqm	0.453 sqm	PASS
	0.48 % R4.0 Insulation Adjustment Not Required			

LIGHT AND VENTILATION CALCULATIONS

Room Name	Opn %	Light	Vent.
4 BED 4			
Min. Ventilation = 0.84 Min. Light= 1.12 Total Area= 11.19			
W26 Awning	67 %	1.34 m2	0.89 m2
Totals		Light 1.34 m2	Vent 0.89 m2
3 BED 3			
Min. Ventilation = 0.79 Min. Light= 1.05 Total Area= 10.53			
W20 Sliding	50 %	2.27 m2	1.14 m2
W19 Sliding	50 %	1.24 m2	0.62 m2
Totals		Light 3.51 m2	Vent 1.76 m2
2 BED 2			
Min. Ventilation = 0.79 Min. Light= 1.05 Total Area= 10.53			
W24 Sliding	50 %	1.24 m2	0.62 m2
W23 Sliding	50 %	1.61 m2	0.81 m2
Totals		Light 2.85 m2	Vent 1.43 m2
1 ACTIVITY			
Min. Ventilation = 1.93 Min. Light= 2.57 Total Area= 25.75			
W18 Awning	67 %	1.55 m2	1.03 m2
W17 Fixed	0 %	1.03 m2	0.00 m2
W16 Awning	100 %	0.97 m2	0.97 m2
W15 Fixed	0 %	0.97 m2	0.00 m2
W14 Fixed	0 %	0.97 m2	0.00 m2
Totals		Light 5.50 m2	Vent 2.00 m2

Inputs for Airmovement and Light are Valid



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ALL DIMENSIONS TO BRICKWORK.

REFER TO ADDENDUM FOR ELEC. SPECIFICATION

ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO AS3786-2014
- FINAL POSITION OF ELECTRICAL ITEMS SUCH AS GPO'S, LIGHT SWITCHES ETC. MAY VARY ON SITE DUE TO ELECTRICAL REGULATIONS. LIGHT SWITCH HEIGHT TO BE AT 1200 AFL U.N.O.

CLIENT / PRESTART NOTE

- CLIENT TO CONFIRM W/- ADMINISTRATOR POSITIONING OF ALL TV, PHONE AND ROOM GPO POSITIONS.

AIRCON NOTE

- PROVIDE REVERSE CYCLE AIR CONDITIONING. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

BUILDER:	_____
CLIENT(S):	_____
WITNESS:	_____

Tangent Nominees Pty Ltd (A.C.N. 008 865 585).
Trustee For Summit Homes Group Trust.



242 Leach Highway Myaree, W.A. 6154.
T: (08) 93170100 Web: www.summitprojects.com.au

PROPOSED RESIDENCE FOR:
GOLD FIELD PTY LTD ATF YEOVIL FAMILY TRUST

ADDRESS:
LOT 321 (#24) ST LEONARDS AVENUE,
WEST LEEDERVILLE.

DRAWN:	JUS	SCALE
DESIGNED:	AC	1: 100
CHECKED:	DM	SHEET
DATE:	14/05/18	16 OF 16
MODEL:		SIZE COPYRIGHT
SPECIAL	A3	2018 ©

UPPER ELECTRICAL PLAN

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V002	PR	29-OCT-18			
JEL	PR	30-NOV-18			

JOB NO: 153198