

LEGEND

SERVICES

ELECTRICITY DOME

ELECTRIC SUPPLY POLE

MAILBOX

TELSTRA PIT

WATER METER

LOT DETAIL

BWGL - BOTTOM OF WALL/GROUND LEVEL

TWGL - TOP OF WALL/GROUND LEVEL

TW - TOP OF WALL

PF - PEG FOUND

PG - PEG GONE

TREE DETAIL

0.3m D - TRUNK DIAMETER

5m H - TREE HEIGHT

2m RC - TREE CANOPY RADIUS

DENADA

SURVEYS

FOOTPATH: None

WATER: Meter Located

GAS: Not Visible

TELSTRA: Located

RE-PEG: Recommended

ROAD: Bitumen

KERB: Non Mountable

ELECTRICITY: Overhead

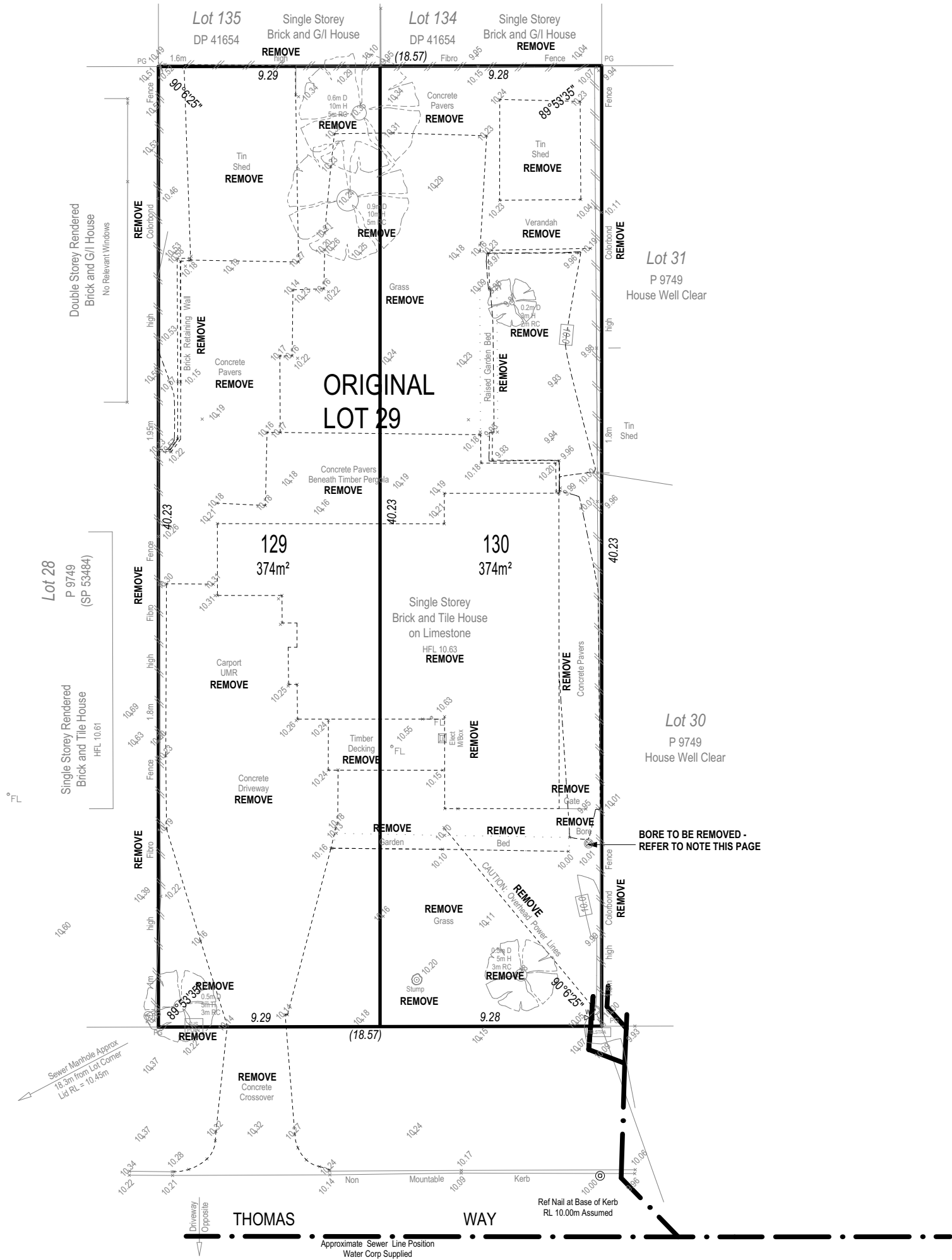
VEGETATION: Lawn/Garden

SEWER: M/H Located

NOTE:  
CONTOUR INTERVAL 0.5m  
HEIGHT DATUM - SITE  
ORIGIN - NAIL AT KERB RL10.00m  
SURVEYED ON: 23/10/2019

DO NOT SCALE FROM THIS DRAWING  
All Sub-contractors to check dimensions  
& notes prior to initiating works. Any  
discrepancies to be notified to the Site  
Supervisor without delay.  
ALL DIMENSIONS TO BRICKWORK.

**CLIENT NOTE:**  
- ALL DEMOLITION BY CLIENT UNLESS OTHERWISE NOTED.  
- BORE TO BE REMOVED, CAPPED, FILLED WITH CLEAN SAND & COMPACTED.  
- ALL TREES/SHRUBS TO BE LOPPED (TRIMMED) TO WITHIN 2m OF THE BUILDING ENVELOPE.  
- EXISTING BUILDING, TREES AND ALL RUBBLE TO BE REMOVED BY CLIENT PRIOR TO CONSTRUCTION.



BUILDER:	_____
CLIENT(S):	_____
WITNESS:	_____

PROPOSED RESIDENCE FOR:  
REZVANDEH / HEKMAT

ADDRESS:  
SSL1 (#19A) THOMAS WAY  
KARDINYA

DRAWN: DMA  
DESIGNED: RC  
CHECKED: DMA  
DATE: 18/06/20  
MODEL:  
SPECIAL

SCALE: 1:100  
SHEET: 1 OF 10  
SIZE: A3  
DEVELOPMENTS  
JOB N°  
158766

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V001	DMA	21/09/20			
V005	DMA	09/10/20			
V006	DMA	23/10/20			
JEL	DMA	18/11/20			

DEMOLITION PLAN



Scale 1:200  
0 1 2 3 4 5 6 7 8 9 10

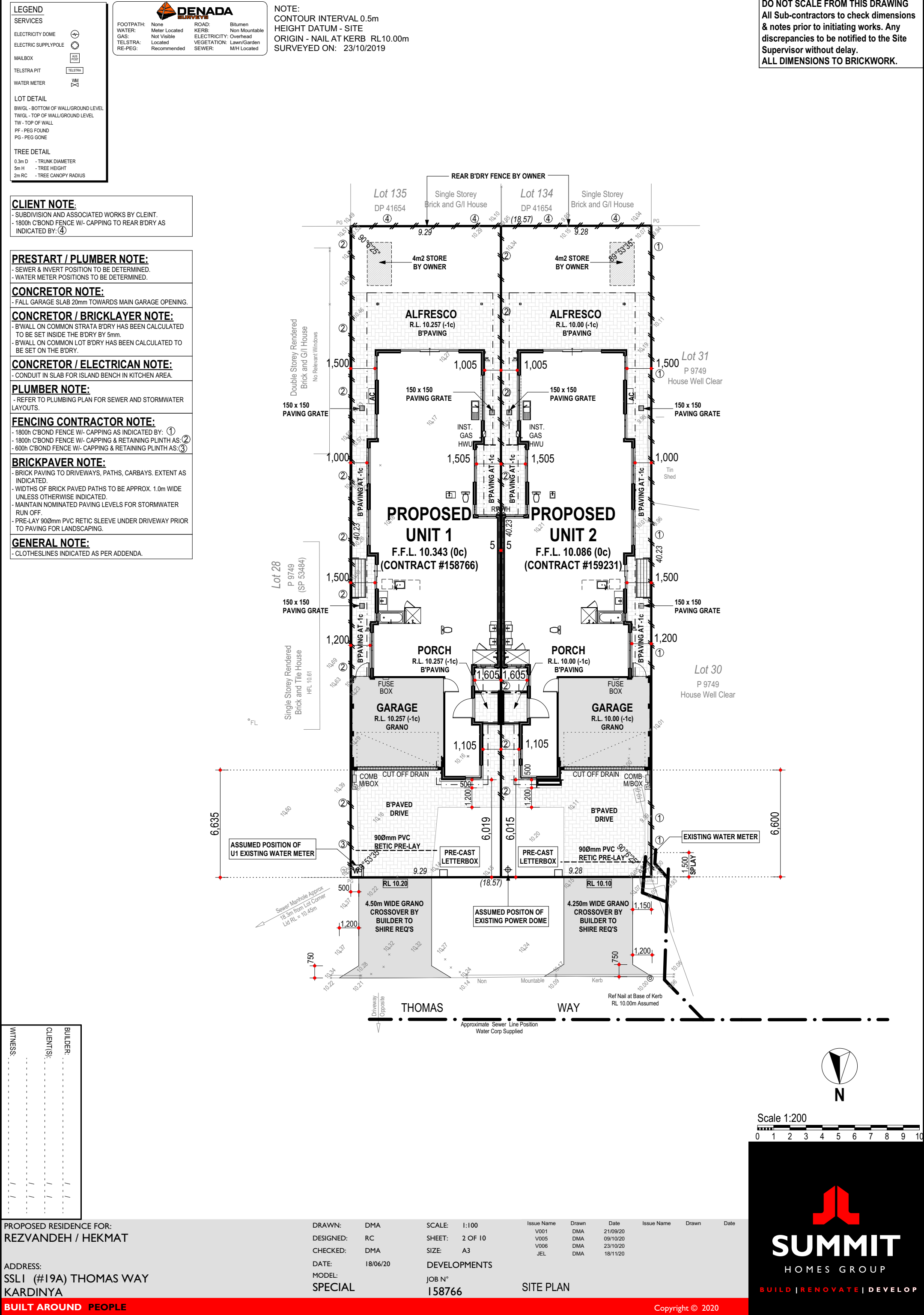


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HOMES GROUP

BUILD | RENOVATE | DEVELOP

BUILT AROUND PEOPLE

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LEGEND

SERVICES

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MAILBOX

TEL STRA PIT

WATER METER

LOT DETAIL

BWGL - BOTTOM OF WALL/GROUND LEVEL

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TREE DETAIL

0.3m D - TRUNK DIAMETER

5m H - TREE HEIGHT

2m RC - TREE CANOPY RADIUS

DENADA

SURVEYS

FOOTPATH: None

WATER: Meter Located

GAS: Not Visible

TEL STRA: Located

RE-PEG: Recommended

ROAD: Bitumen

KERB: Non Mountable

ELECTRICITY: Overhead

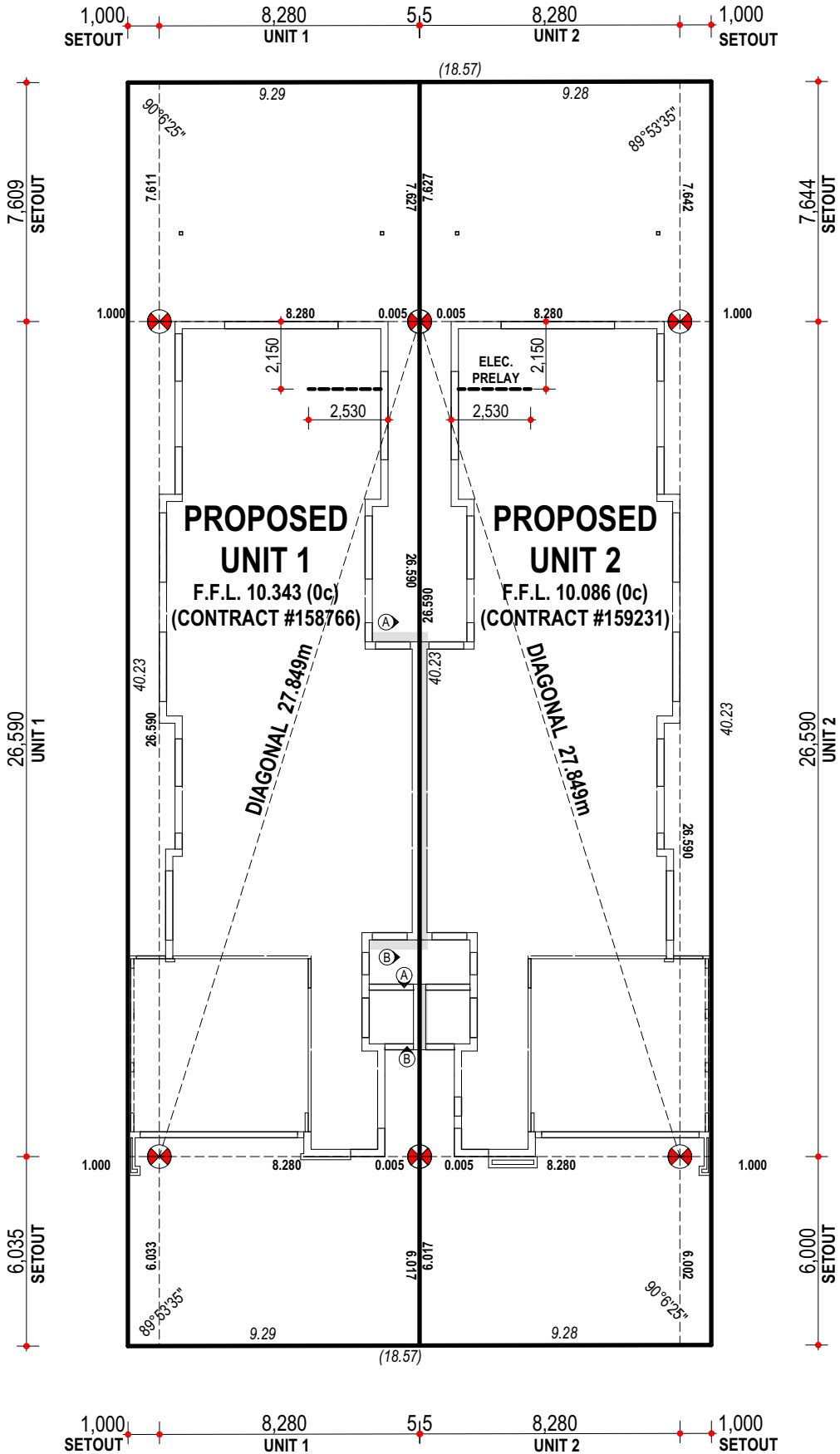
VEGETATION: Lawn/Garden

SEWER: M/H Located

NOTE:  
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HEIGHT DATUM - SITE  
ORIGIN - NAIL AT KERB RL10.00m  
SURVEYED ON: 23/10/2019

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ALL DIMENSIONS TO BRICKWORK.

**CONCRETOR / BRICKLAYER NOTE:**  
- B'WALL ON COMMON STRATA B'DRY HAS BEEN CALCULATED TO BE SET INSIDE THE B'DRY BY 5mm.  
- B'WALL ON COMMON LOT B'DRY HAS BEEN CALCULATED TO BE SET ON THE B'DRY.  
- TOP OF FOOTING @ -5 BETWEEN A-B (REFER TO FLOOR PLAN & ELEVATIONS)



BUILDER:	_____
CLIENT(S):	_____
WITNESS:	_____

PROPOSED RESIDENCE FOR:  
REZVANDEH / HEKMAT

ADDRESS:  
SSL1 (#19A) THOMAS WAY  
KARDINYA

DRAWN: DMA  
DESIGNED: RC  
CHECKED: DMA  
DATE: 18/06/20  
MODEL:  
SPECIAL

SCALE: 1:100  
SHEET: 3 OF 10  
SIZE: A3  
DEVELOPMENTS  
JOB N°  
158766

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V001	DMA	21/09/20			
V005	DMA	09/10/20			
V006	DMA	23/10/20			
JEL	DMA	18/11/20			

SETOUT PLAN



Scale 1:200  
0 1 2 3 4 5 6 7 8 9 10



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TREE DETAIL

0.3m D - TRUNK DIAMETER

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DENADA

SURVEYS

FOOTPATH: None

WATER: Meter Located

GAS: Not Visible

TELSTRA: Located

RE-PEG: Recommended

ROAD: Bitumen

KERB: Non Mountable

ELECTRICITY: Overhead

VEGETATION: Lawn/Garden

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PLUMBER NOTE:

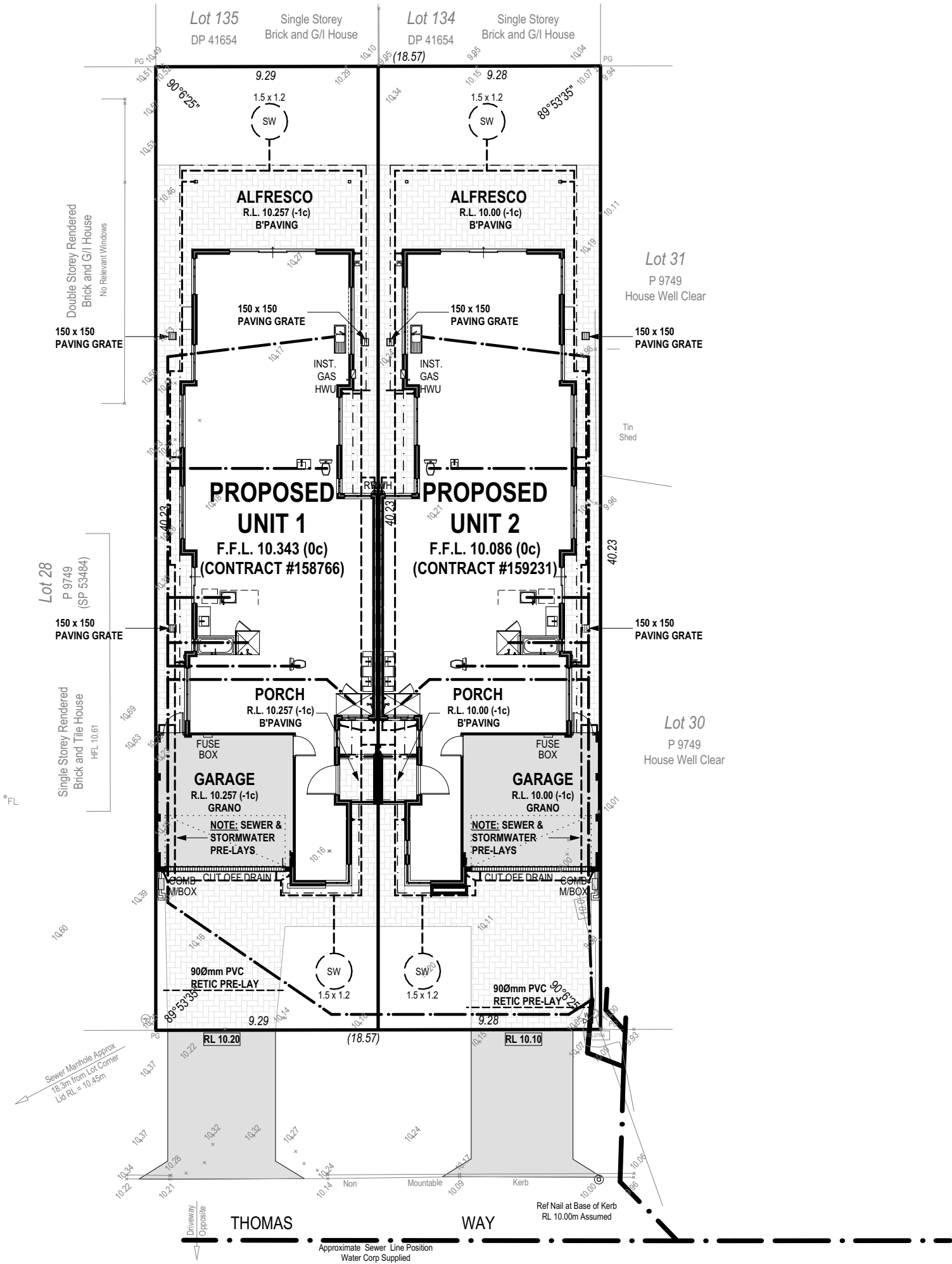
- CONNECT ALL DOWNPIPES TO STORMWATER SOAKWELLS AS PER SHIRE REQUIREMENTS.
- ALL STORMWATER & SURFACE WATER DRAINAGE TO COMPLY W/- NCC VOL 2, A.S. 3500.3:2003 & LOCAL AUTHORITY REQUIREMENTS.
- REFLUX VALVE REQUIRED.

1:20 YEAR STORM EVENT - UNIT 1

Soak Well Type	No.	
SW 1500x1200	2	4.2 m3
Total Capacity		4.2 m3
Roof Area GF		238.3 m2
Paved Area		60.0 m2
Total Area		298.3 m2
Capacity Required (Area x 0.0130)		3.9 m3
Extra Capacity Provided		0.4 m3

1:20 YEAR STORM EVENT - UNIT 2

No.	Soak Well Type	
4.2 m3	2	SW 1500x1200
4.2 m3		Total Capacity
238.3 m2		Roof Area GF
60.0 m2		Paved Area
298.3 m2		Total Area
3.9 m3		Capacity Required (Area x 0.0130)
0.4 m3		Extra Capacity Provided





SITE CLASSIFICATION - CLASS 'A'  
(REFER TO SITE REPORT FOR  
DETAILS) WIND LOAD - N1  
CORROSION CLASSIFICATION - R3

BRICK NOTE

- 2c FACE BRICK TO BE LAID IN THIRD BOND UNO

ROOF NOTE

- COLORED ROOF, PITCH AT 25° W/ 500W EAVES UNO
- STEEL ROOF FRAME TO NASH STANDARDS
- CEILINGS AT 30c + PLATE UNLESS NOTED OTHERWISE

ROOF PLUMBER NOTE

- PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)
- FINAL POSITIONS OF RWPS TO BE DETERMINED ON SITE
- RWPS IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER SYSTEM (NO KICK)

ROOF INSULATION NOTE

- R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL PLASTERBOARD OR VERSILUX CEILINGS IF APPL.

ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS INDICATED ON PLAN

FIXING CARPENTER NOTE

- 4 No. 450D SHELVES TO PANTRY AND LINEN UNO
- 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO
- 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY
- PROVIDE MID-SHELF SUPPORT WHERE NOTED "MSS" TO ANY SHELF OVER 1.8m LONG.

CEILING MATERIAL NOTE

- PORCH - PLASTERBOARD C.L.
- GARAGE - HARDIFLEX C.L.
- ALFRESCO (INC. AREAS SHOWN HATCHED) - VERSILUX C.L.

GARAGE NOTE

- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPNG

RENDER WALL NOTE

- PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED WALLS & HIFLEX / VERSILUX CEILINGS

TRADES / SUPERVISOR NOTE

- REFER TO STRUCTURAL ENGINEERS DETAILS
- ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS & STANDARD SPECIFICATION.

DOOR NOTE

- TOILET DOOR TO COMPLY W/ CLAUSE 3.8.3.3 OF THE B.C.A VOL. 2

ROOF PLUMBER / CONC. NOTE

- PRE-LAY RWP & STORMWATER PIPE IN GARAGE FROM GUTTER ON BOUNDARY WALL

PLASTERBOARD NOTE

- PROVIDE PLASTERBOARD TO WALLS WHERE INDICATED BY "DW"

CONCRETE/BRK LAYER NOTE

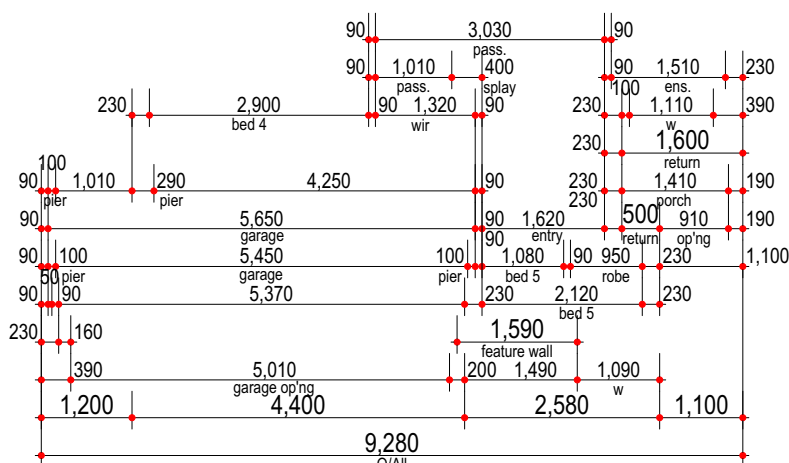
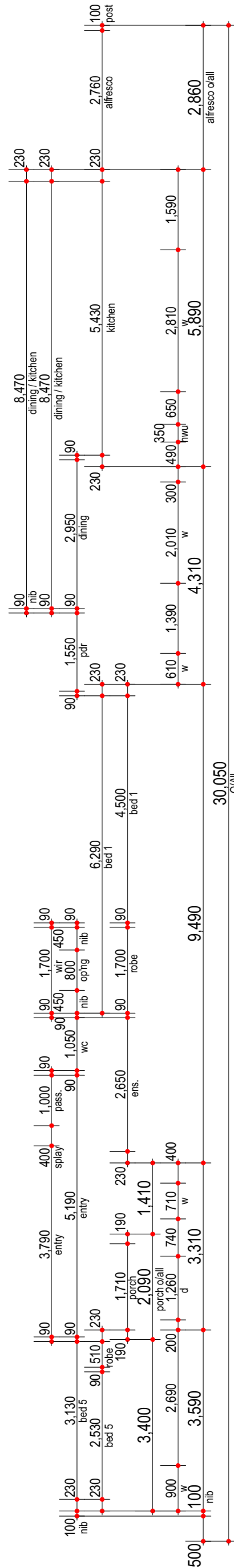
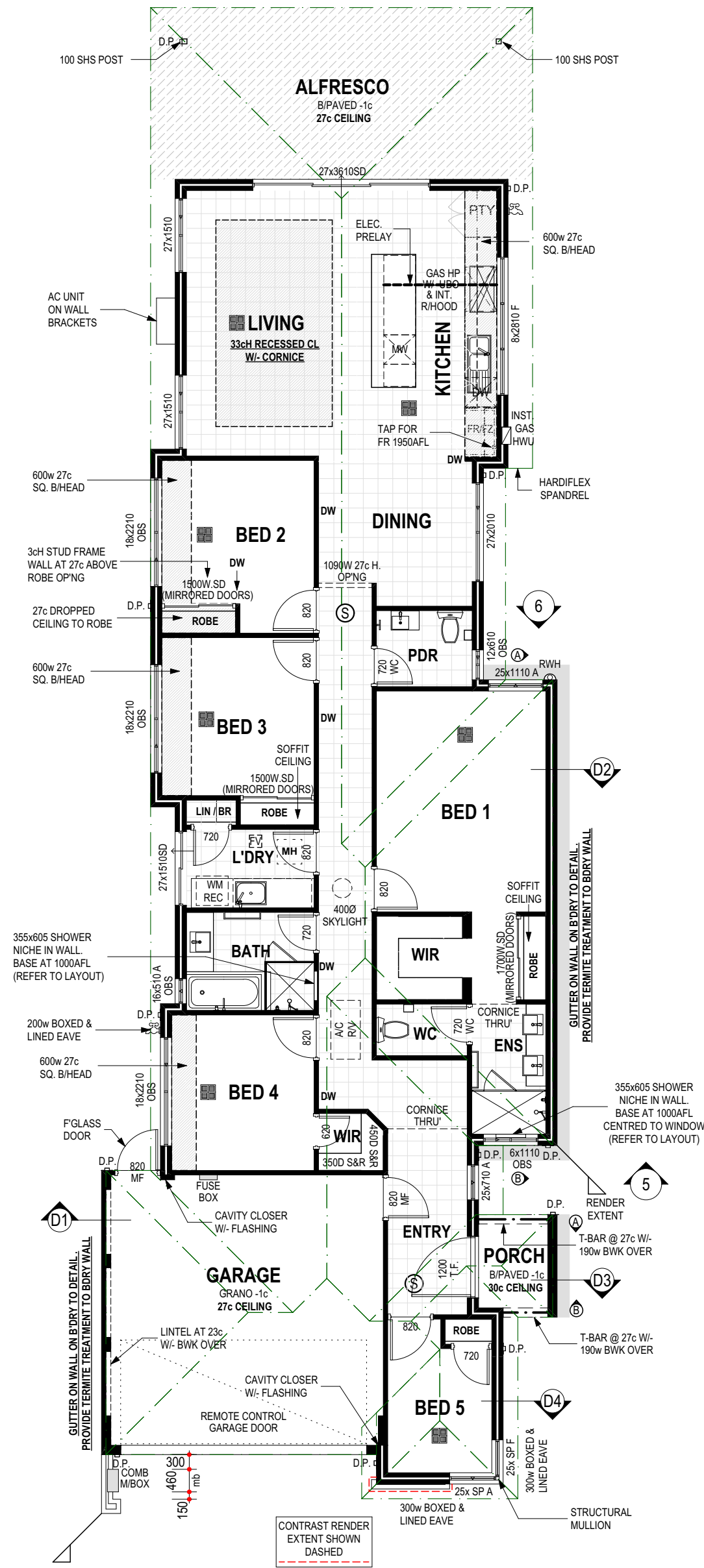
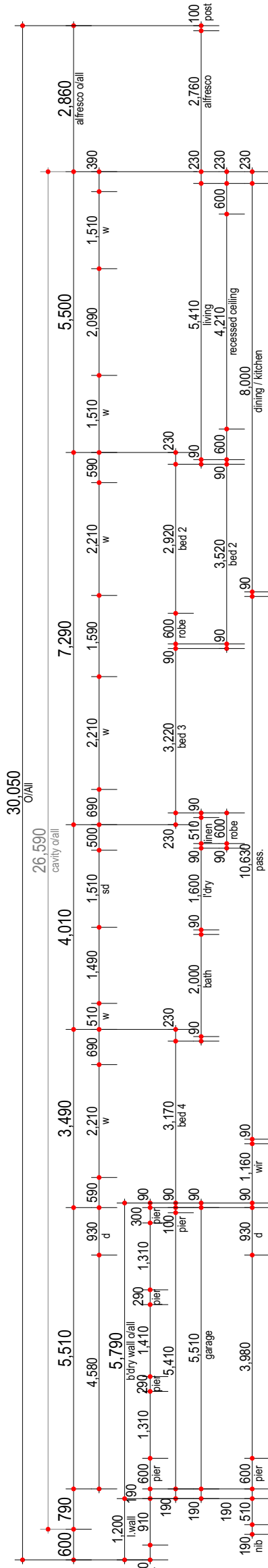
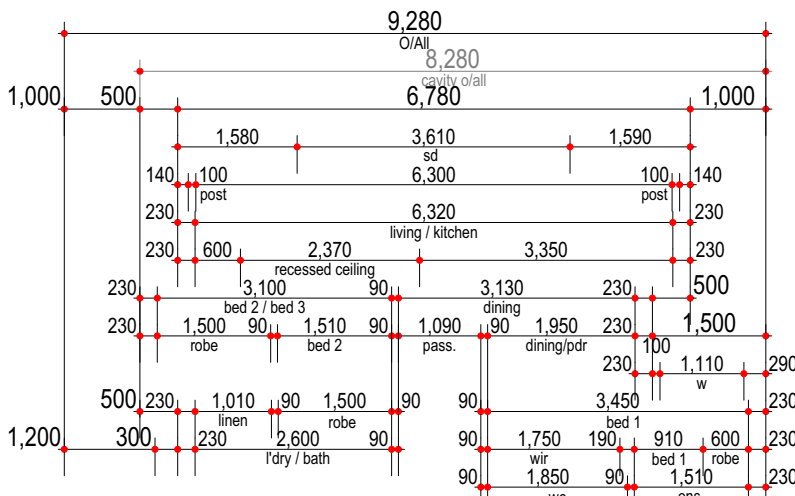
- NOTE BRICK WALL ON STRATA BOUNDARY HAS BEEN CALCULATED TO BE SET INSIDE THE BOUNDARY BY 5mm.
- NOTE BRICKWALL ON LOT BOUNDARY HAS BEEN CALCULATED TO BE SET ON BOUNDARY.
- ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c UNLESS NOTED OTHERWISE.
- DROPPED FOOTINGS AS SPECIFIED BY MARKERS
- TOP OF FOOTING DROPS FROM -2c TO -3c BETWEEN A-B.
- REFER TO ELEVATIONS FOR EXTENT.

AIRCON NOTE

- PROVIDE REVERSE CYCLE AIR CONDITIONING. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

PLUMBER NOTE

- NO HOBBS TO SHOWERS UNLESS SHOWN OTHERWISE.
- PLUMBER TO INSTALL REFLUX VALVE.



UNIT 1 FLOOR PLAN		Area m²	Perim. L/m
1. FLOOR PLAN		163.36	72.62
2. GARAGE		32.80	23.06
3. PORCH		3.25	7.38
4. ALFRESCO		19.39	19.28
5. TOTAL AREA		218.80	82.66
6. ROOF		238.25	82.10

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BUILDER: \_\_\_\_\_ / /  
CLIENT(S): \_\_\_\_\_ / /  
WITNESS: \_\_\_\_\_ / /

PROPOSED RESIDENCE FOR:  
**REZVANDEH / HEKMAT**

ADDRESS:  
**SSL1 (#19A) THOMAS WAY  
KARDINYA**

DRAWN: DMA  
DESIGNED: RC  
CHECKED: DMA  
DATE: 18/06/20  
MODEL: SPECIAL

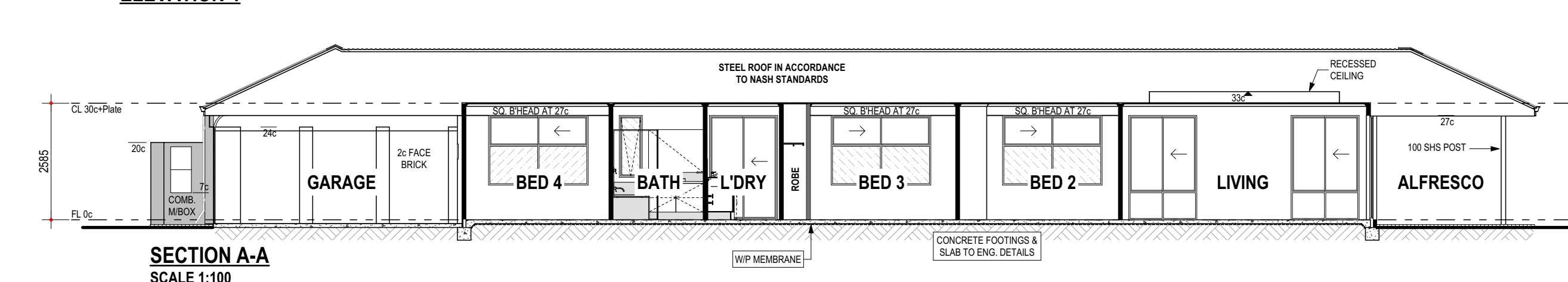
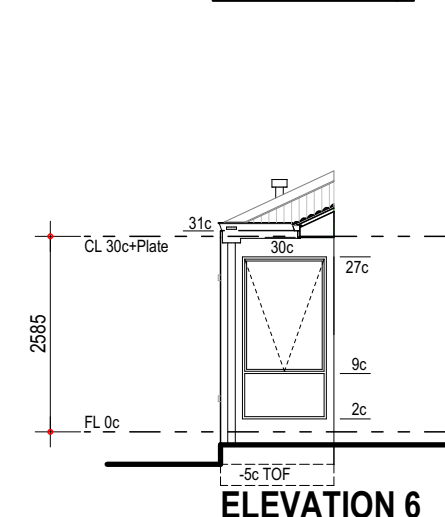
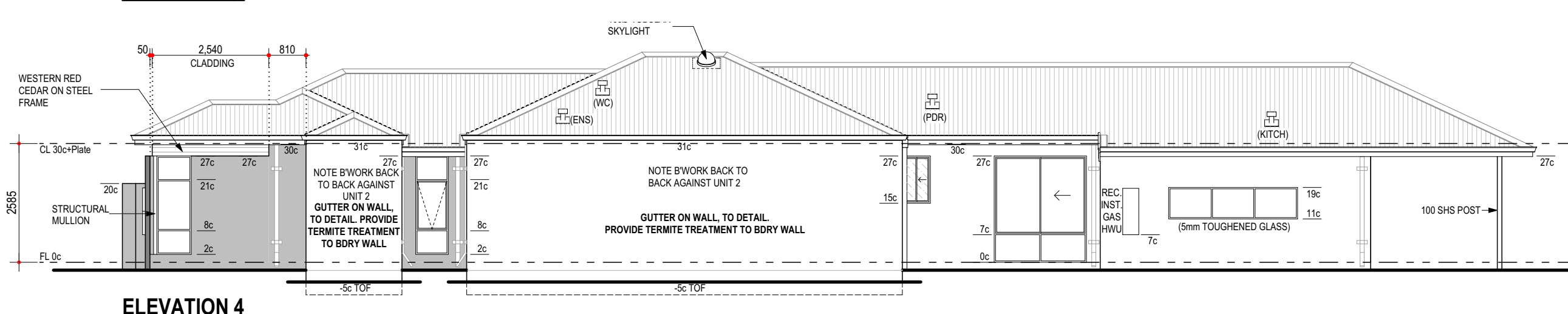
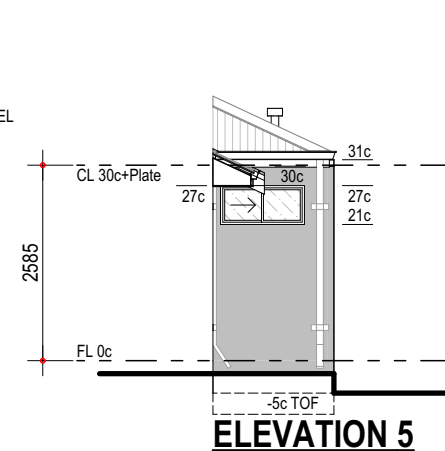
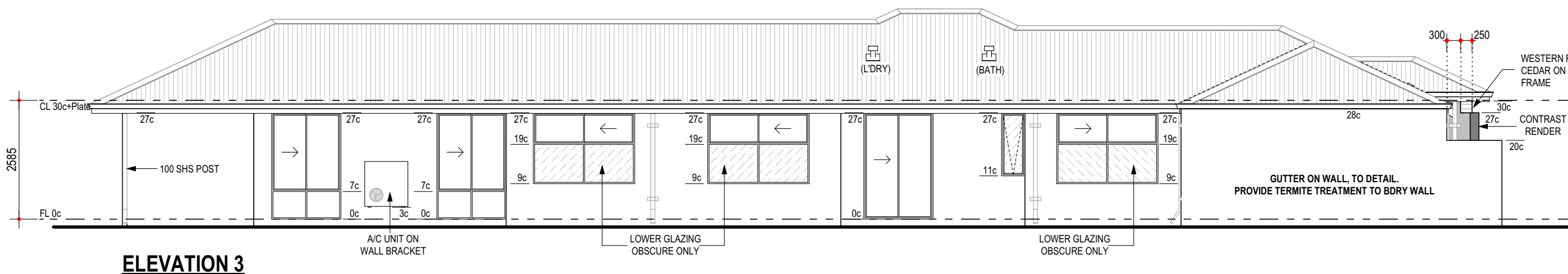
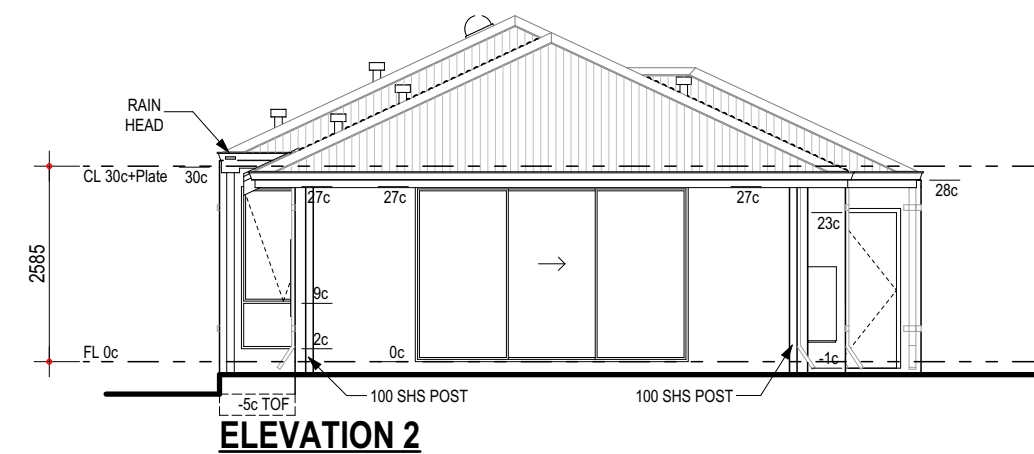
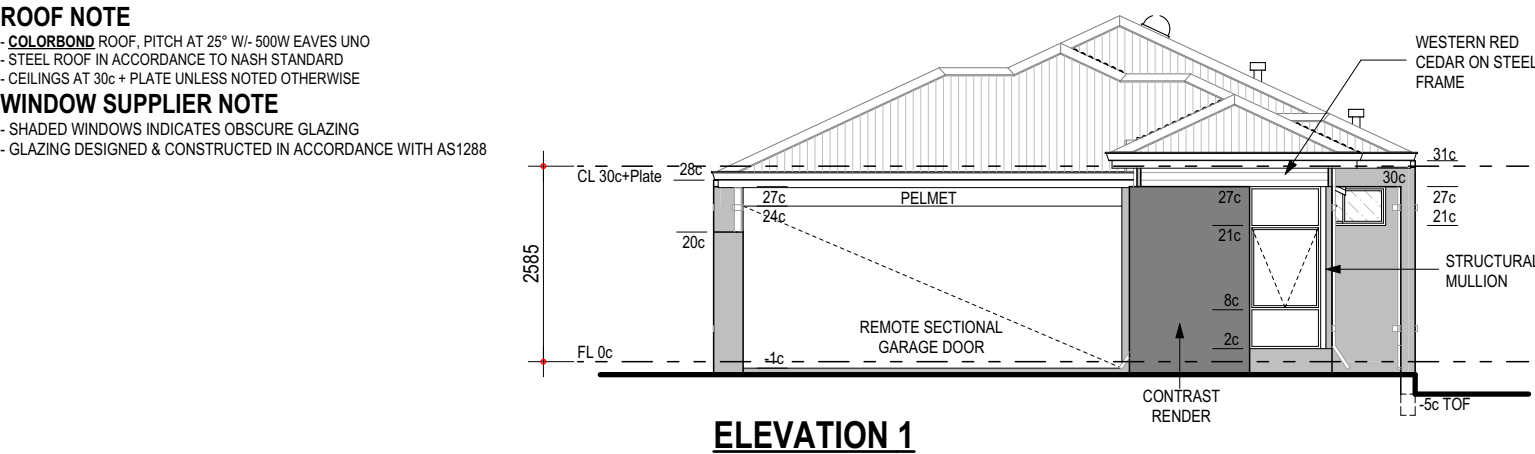
SCALE: 1:100  
SHEET: 5 OF 10  
SIZE: A2  
DEVELOPMENTS  
JOB N°  
158766

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V001	DMA	21/09/20			
V005	DMA	09/10/20			
V006	DMA	23/10/20			
JEL	DMA	18/11/20			



**ROOF NOTE**  
- COLORBOND ROOF, PITCH AT 25° W/- 500W EAVES UNO  
- STEEL ROOF IN ACCORDANCE TO NASH STANDARD  
- CEILINGS AT 30c + PLATE UNLESS NOTED OTHERWISE

**WINDOW SUPPLIER NOTE**  
- SHADED WINDOWS INDICATES OBSCURE GLAZING  
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288



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BUILDER: \_\_\_\_\_ / /  
CLIENT(S): \_\_\_\_\_ / /  
WITNESS: \_\_\_\_\_ / /

PROPOSED RESIDENCE FOR:  
**REZVANDEH / HEKMAT**

ADDRESS:  
**SSL1 (#19A) THOMAS WAY  
KARDINYA**

DRAWN: DMA  
DESIGNED: RC  
CHECKED: DMA  
DATE: 18/06/20  
MODEL: SPECIAL

SCALE: 1:100  
SHEET: 6 OF 10  
SIZE: A3  
DEVELOPMENT  
JOB N°  
158766

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V001	DMA	21/09/20			
V005	DMA	09/10/20			
V006	DMA	23/10/20			
JEL	DMA	18/11/20			

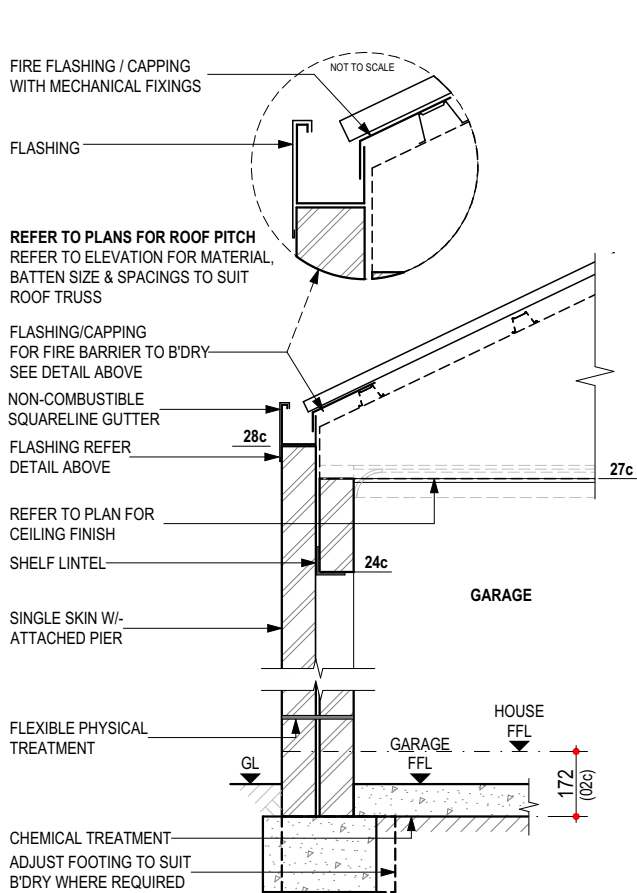
ELEVATIONS



BUILT AROUND PEOPLE

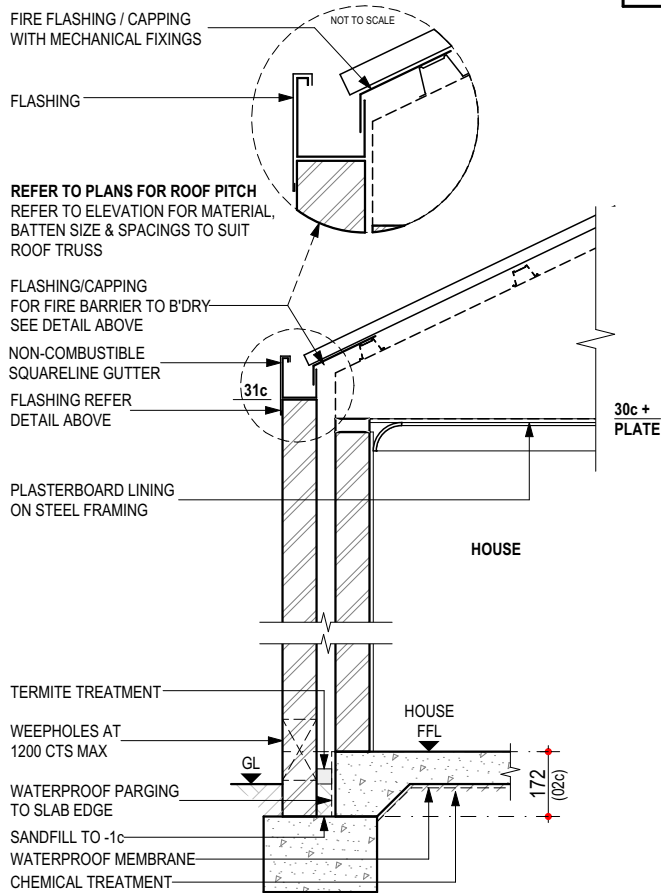
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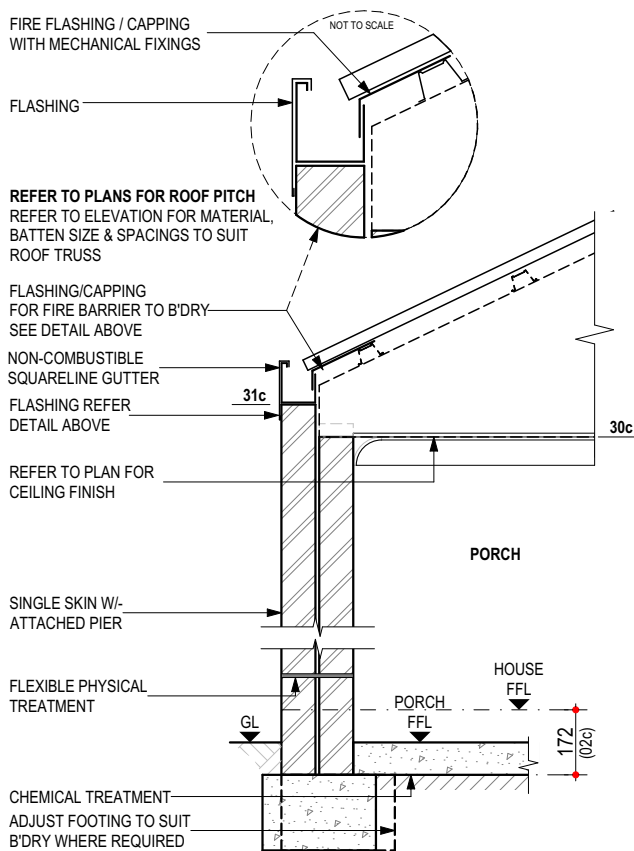
**D01 - GUTTER ON WALL/FLASHING DETAIL TO GARAGE  
W/- TERMITE TREATMENT**

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
  - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
  - REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
  - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
  - SCALE 1 : 20



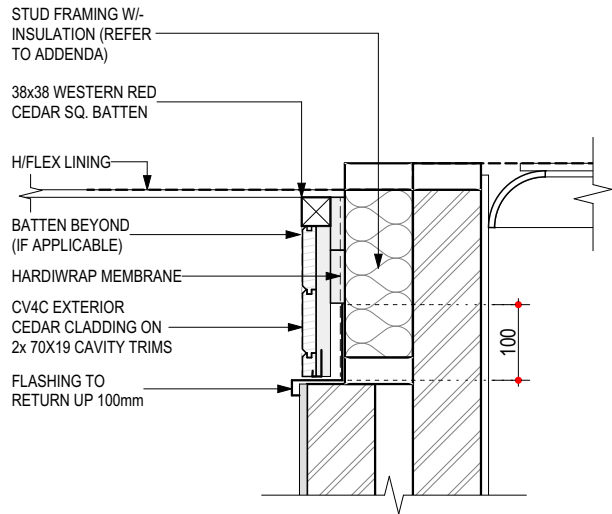
**D02 - GUTTER ON WALL / FLASHING DETAIL TO HOUSE  
W/- TERMITE TREATMENT**

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
  - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
  - REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
  - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
  - SCALE 1 : 20



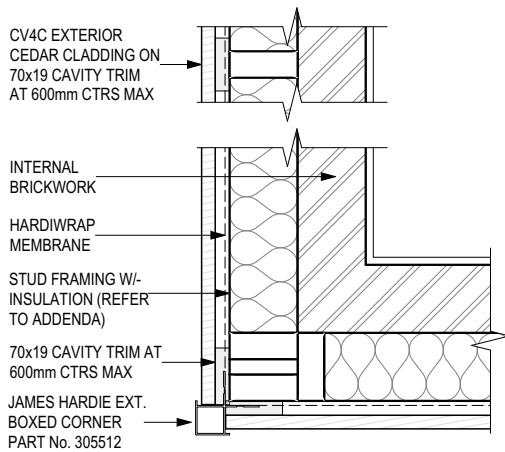
**D03 - GUTTER ON WALL/FLASHING DETAIL TO PORCH  
W/- TERMITE TREATMENT**

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
  - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
  - REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
  - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
  - SCALE 1 : 20



**D04 - CLADDING (MINOR CLADDING  
BELOW EAVE DETAIL)**

- NOTES:**
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
  - REFER TO ADDENDUM FOR CLADDING SPECIFICATION
  - SCALE 1 : 10



**TYPICAL 18mm CEDAR CLADDING  
(PLAN VIEW EXTERNAL CORNER)**

- NOTES:**
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
  - CAVITY TRIM SCREWED TO FRAME W/- 40mm SCREWS
  - CEDAR CLADDING TO BE FIXED HORIZONTALLY
  - SCALE 1 : 10

BUILDER:	_____
CLIENT(S):	_____
WITNESS:	_____

PROPOSED RESIDENCE FOR:  
REZVANDEH / HEKMAT

ADDRESS:  
SSLI (#19A) THOMAS WAY  
KARDINYA

DRAWN: DMA  
DESIGNED: RC  
CHECKED: DMA  
DATE: 18/06/20  
MODEL:  
SPECIAL

SCALE: AS NOTED  
SHEET: 7 OF 10  
SIZE: A3  
DEVELOPMENTS  
JOB N°  
I58766

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V001	DMA	21/09/20			
V005	DMA	09/10/20			
V006	DMA	23/10/20			
JEL	DMA	18/11/20			

DETAILS





BENCHTOP NOTE

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

WALL FINISH NOTE

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

CABINETMAKER NOTE

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

TILER NOTE

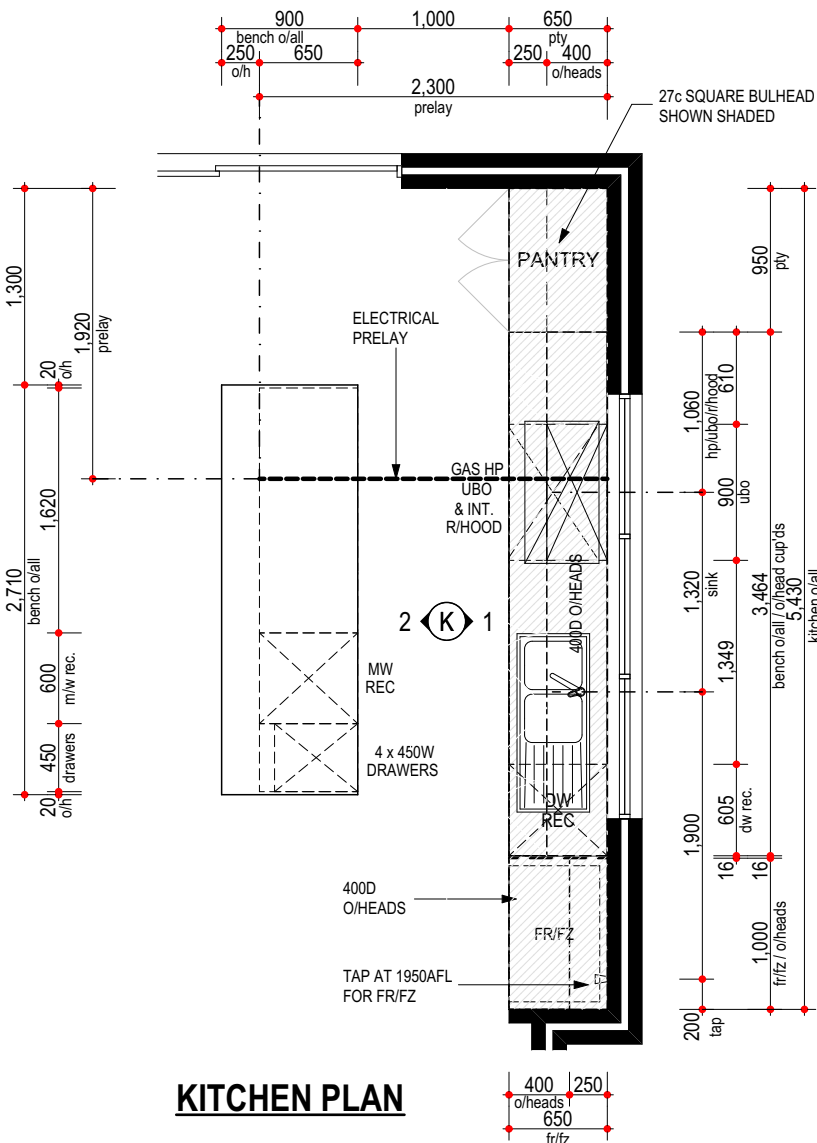
- SHADING DENOTES EXTENT OF TILING  
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET  
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES  
- ALL WINDOW SILLS IN WET AREAS TO BE TILED

DO NOT SCALE FROM THIS DRAWING

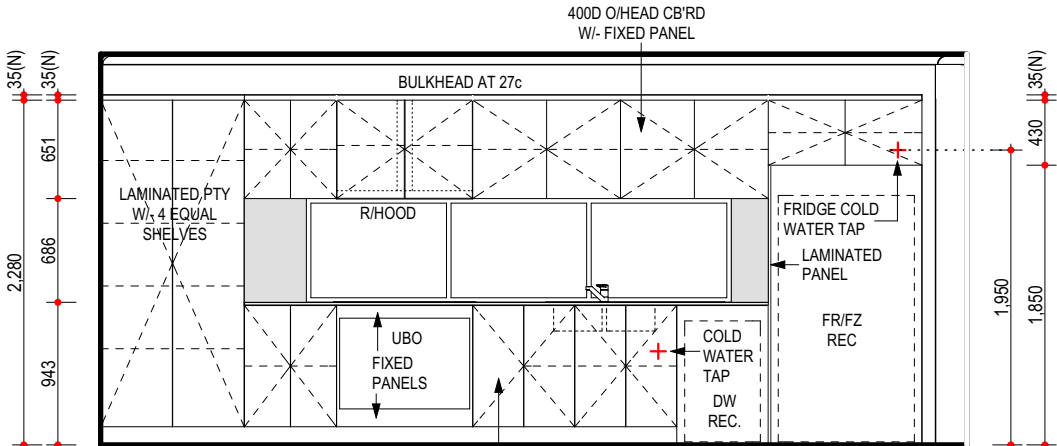
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REFER TO ADDENDUM FOR FITOUT SPECIFICATION

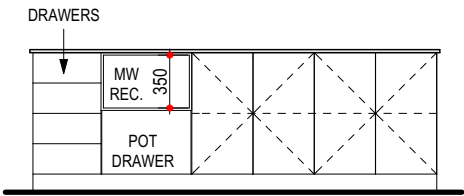
WET AREAS CONSTRUCTED IN ACCORDANCE WITH PART 3.8.1 OF B.C.A. (VOL 2)



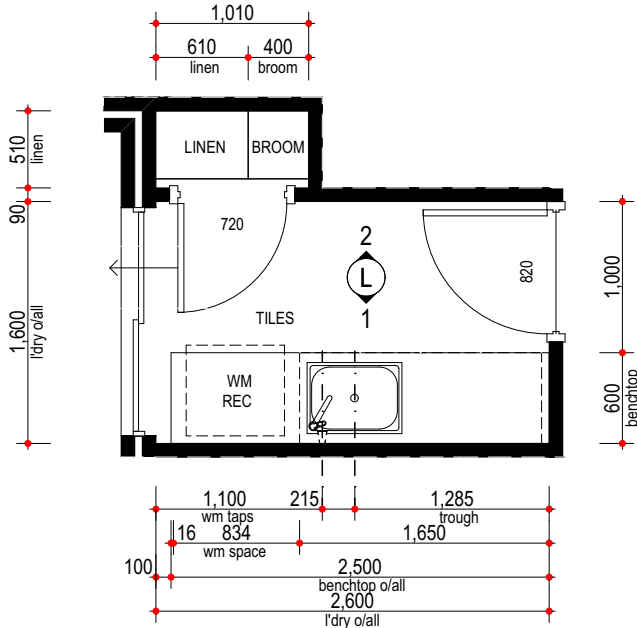
KITCHEN PLAN



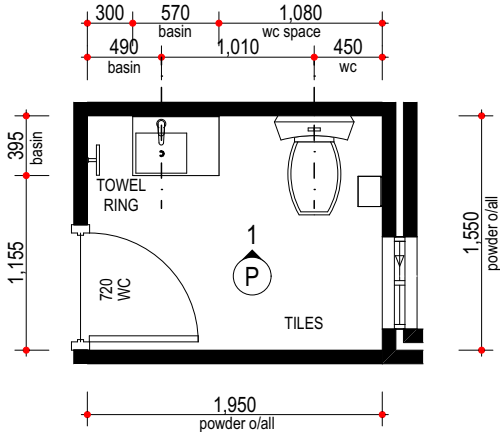
K1 VIEW



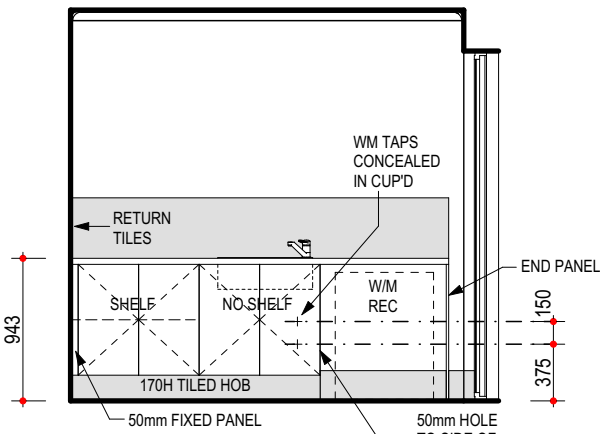
K2 VIEW



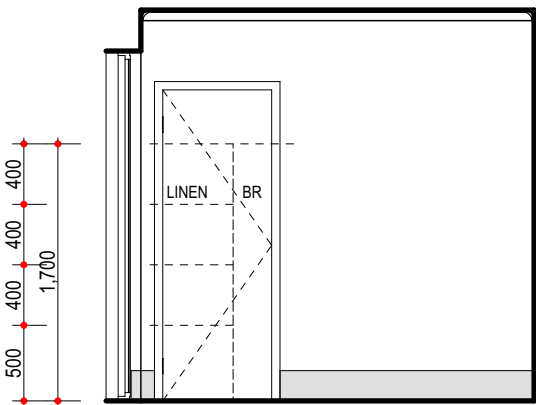
L'DRY PLAN



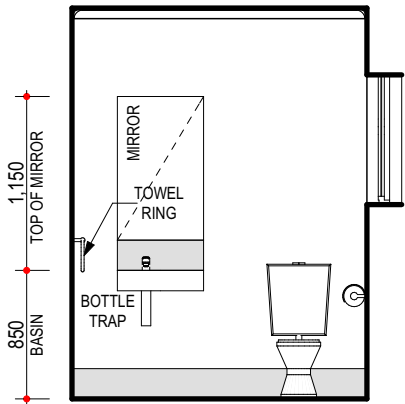
PDR PLAN



L1 VIEW



L2 VIEW



P1 VIEW

BUILDER:	
CLIENT(S):	
WITNESS:	

PROPOSED RESIDENCE FOR:  
REZVANDEH / HEKMAT

ADDRESS:  
SSL1 (#19A) THOMAS WAY  
KARDINYA

DRAWN: DMA  
DESIGNED: RC  
CHECKED: DMA  
DATE: 18/06/20  
MODEL: SPECIAL

SCALE: 1:50  
SHEET: 8 OF 10  
SIZE: A3  
DEVELOPMENTS  
JOB N° 158766

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V001	DMA	21/09/20			
V005	DMA	09/10/20			
V006	DMA	23/10/20			
JEL	DMA	18/11/20			

ROOM LAYOUTS



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BUILD | RENOVATE | DEVELOP



BENCHTOP NOTE

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

WALL FINISH NOTE

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

CABINETMAKER NOTE

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

TILER NOTE

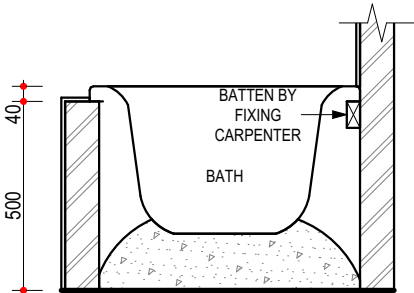
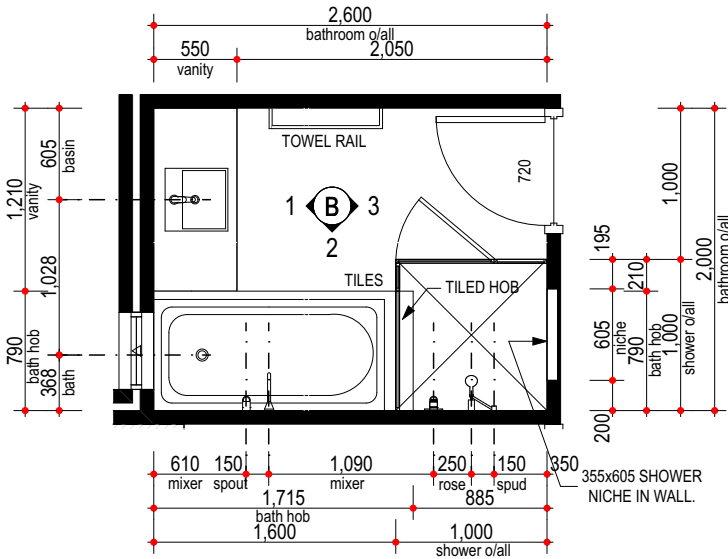
- SHADING DENOTES EXTENT OF TILING  
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET  
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES  
- ALL WINDOW SILLS IN WET AREAS TO BE TILED

DO NOT SCALE FROM THIS DRAWING

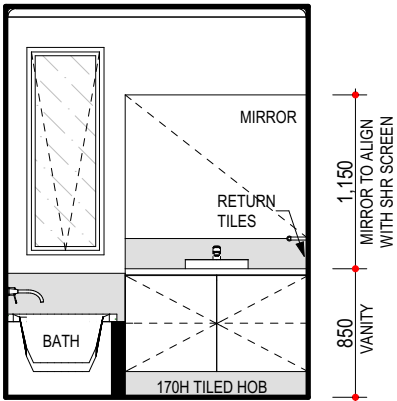
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.  
ALL DIMENSIONS TO BRICKWORK.

REFER TO ADDENDUM FOR FITOUT SPECIFICATION

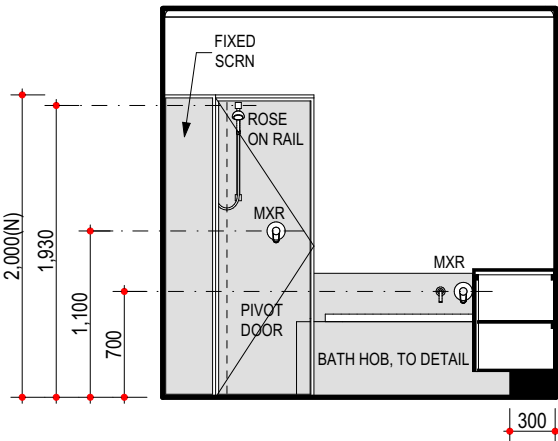
WET AREAS CONSTRUCTED IN ACCORDANCE WITH PART 3.8.1 OF B.C.A. (VOL 2)



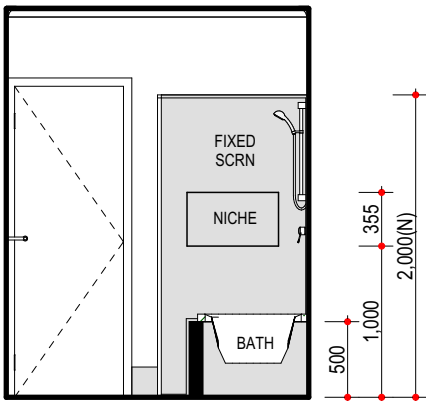
BATH PLAN



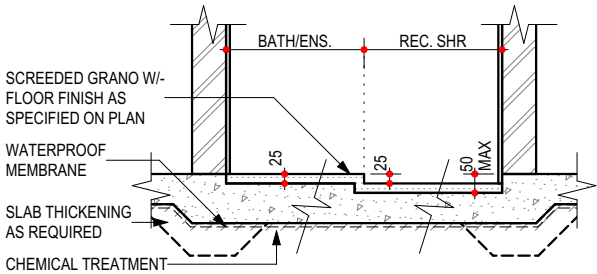
B1 VIEW



B2 VIEW



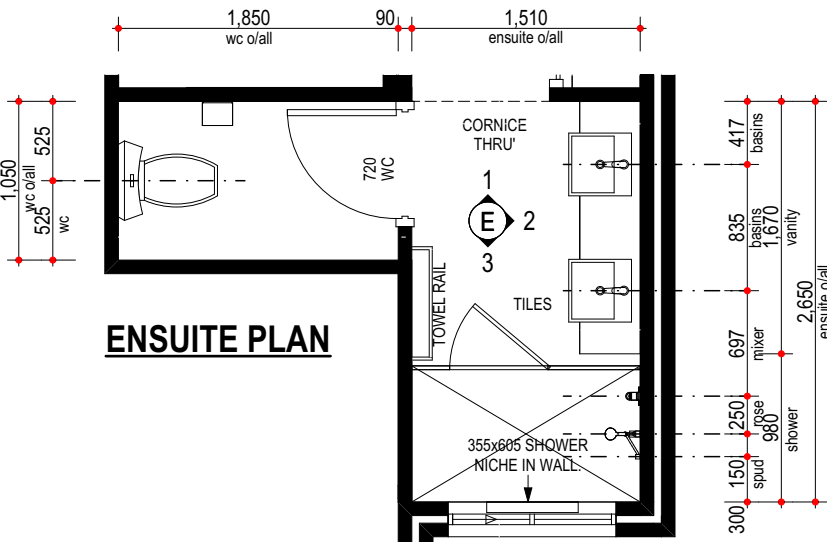
B3 VIEW



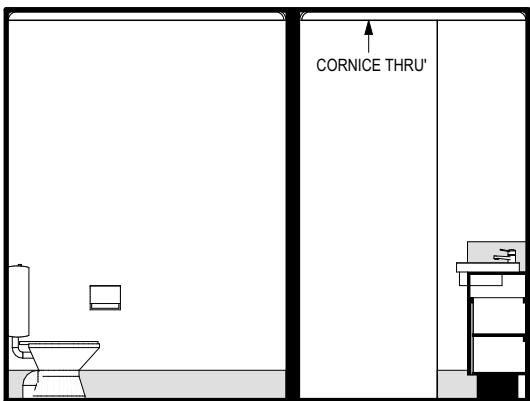
RECESSED SHOWER DETAIL (NO HOB)

NOTES:

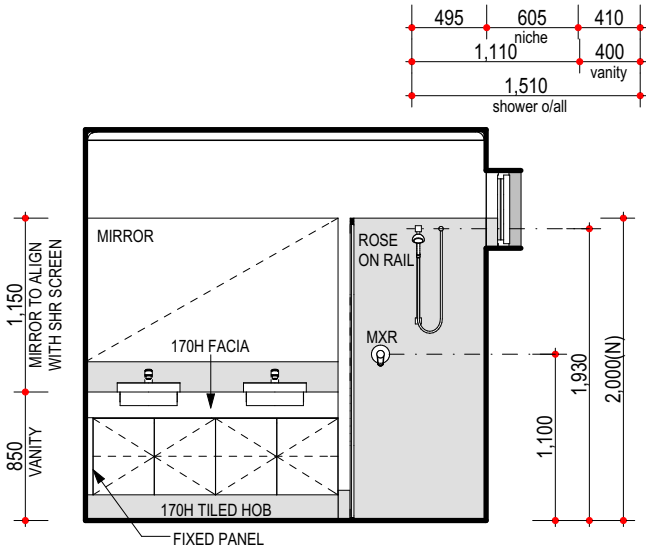
- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS  
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS  
- SCALE 1 : 20



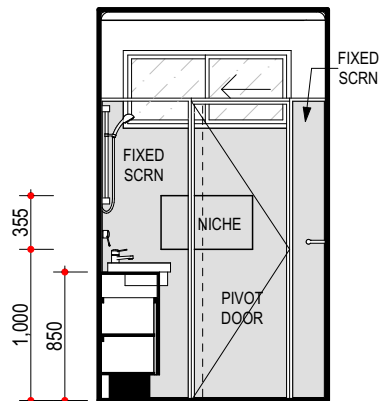
ENSUITE PLAN



E1 VIEW



E2 VIEW



E3 VIEW

WITNESS: \_\_\_\_\_

CLIENT(S): \_\_\_\_\_

BUILDER: \_\_\_\_\_

PROPOSED RESIDENCE FOR:  
REZVANDEH / HEKMAT

ADDRESS:  
SSLI (#19A) THOMAS WAY  
KARDINYA

DRAWN: DMA  
DESIGNED: RC  
CHECKED: DMA  
DATE: 18/06/20  
MODEL: SPECIAL

SCALE: 1:50  
SHEET: 9 OF 10  
SIZE: A3  
DEVELOPMENTS  
JOB N° 158766

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V001	DMA	21/09/20			
V005	DMA	09/10/20			
V006	DMA	23/10/20			
JEL	DMA	18/11/20			

ROOM LAYOUTS



SUMMIT  
HOMES GROUP

BUILD | RENOVATE | DEVELOP

## Ground Floor

* NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO.	Subtotal:	46	0.181
PERIMETER LIGHTING MIN. 40 LUMENS/W.			

## Wattage Calculations (Class 1)

148.32 sqm      742 w      46 w      PASS

### Recessed Fitting Penetrations (Class 1)

148.32 sqm      0.742 sqm      0.258 sqm      PASS  
0.17 % R4.0 Insulation Adjustment Not Required

**CLIENT NOTE: MAX WATTAGE AND PENETRATIONS MUST NOT BE EXCEEDED**

## LIGHT AND VENTILATION CALC.

### Inputs for Airmovement and Light are Valid



158788

ELECTRICAL PLAN



**DO NOT SCALE FROM THIS DRAWING**  
All Sub-contractors to check dimensions  
& notes prior to initiating works. Any  
discrepancies to be notified to the Site  
Supervisor without delay.  
**ALL DIMENSIONS TO BRICKWORK.**

## ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO AS3786-2014
- FINAL POSITION OF ELECTRICAL ITEMS SUCH AS GPO'S, LIGHT SWITCHES ETC. MAY VARY ON SITE DUE TO ELECTRICAL REGULATIONS. LIGHT SWITCH HEIGHT TO BE AT 1200 AFL U.N.O.
- NEUTRAL CABLING REQUIRED TO ALL LIGHT SWITCHES
- ALL EXHAUST FANS TO BE FLUED TO EXTERNAL AIR

## AIRCON NOTE

- PROVIDE REVERSE CYCLE AIR CONDITIONING. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

## TV ANTENNA NOTE

- PROVIDE TV ANTENNA AS PER ADDENDUM

**SUMMIT**  
HOMES GROUP

**BUILD | RENOVATE | DEVELOP**