

NOTE:
TELSTRA/COMMS. PIT NOT LOCATED
ADJACENT TO LOT AT TIME OF
SURVEY. VERIFY AVAILABILITY WITH
TELSTRA.

Beware:
Advise trades overhead power lines.

NOTE:
All sewer details plotted from
information supplied by Water
Corporation.

SURVEYOR NOTES:

DISCLAIMER:
Plot boundaries drawn on survey are based on cadastral map plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

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CLIENT NOTE:

- ALL FENCING BY CLIENT.
- ALL RETAINING BY CLIENT.

PLUMBER NOTE:

- REFER TO PLUMBING PLAN FOR SEWER AND STORMWATER LAYOUTS.

BRICKPAVER NOTE:

BRICK PAVING TO CARBAY, PATHS. EXTENT AS INDICATED.
WIDTHS OF BRICK PAVED PATHS TO BE APPROX. 1.0m WIDE
UNLESS OTHERWISE INDICATED.
MAINTAIN NOMINATED PAVING LEVELS FOR STORMWATER
RUN OFF.



COTTAGE & ENGINEERING SURVEYS

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87-89 Guthrie Street, Osborne Park, Western Australia.
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998.
Email : perth@cottage.com.au Website: www.cottage.com.au

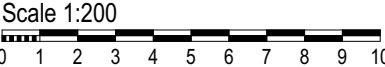
ADDRESS:
LOT 40 (#11A) JAVEZ DRIVE
QUINNS ROCKS

DRAWN:	DMA	SCALE:	1:200
DESIGNED:	RC	SHEET:	2 OF 12
CHECKED:	DMA	SIZE:	A3
DATE:	08/07/20	DEVELOPMENTS	
MODEL:		JOB N°	
SPECIAL		158717	

NO	Issue Name	Drawn	Date
F 12	V001	DMA	31/08/20
	V004	WW	29.09.2020
	AMEND.	DMA	01/10/20
	V005	DMA	07/10/20
ENTS	JEL	DMA	08/10/20
	V006	DMA	13/10/20
	V007	DMA	16/10/20

SITE PLAN

Issue Name	Drawn	Date



SUMMIT
HOMES GROUP

BUILD | RENOVATE | DEVELOP

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LEGEND		SEC Dome
		Power Pole
		Phone Pits
		Water Conn.
	[TP 10.00]	Top Pillar/Post
	[TW 10.00]	Top Wall
	[TR 10.00]	Top Retaining
	[TF 10.00]	Top Fence

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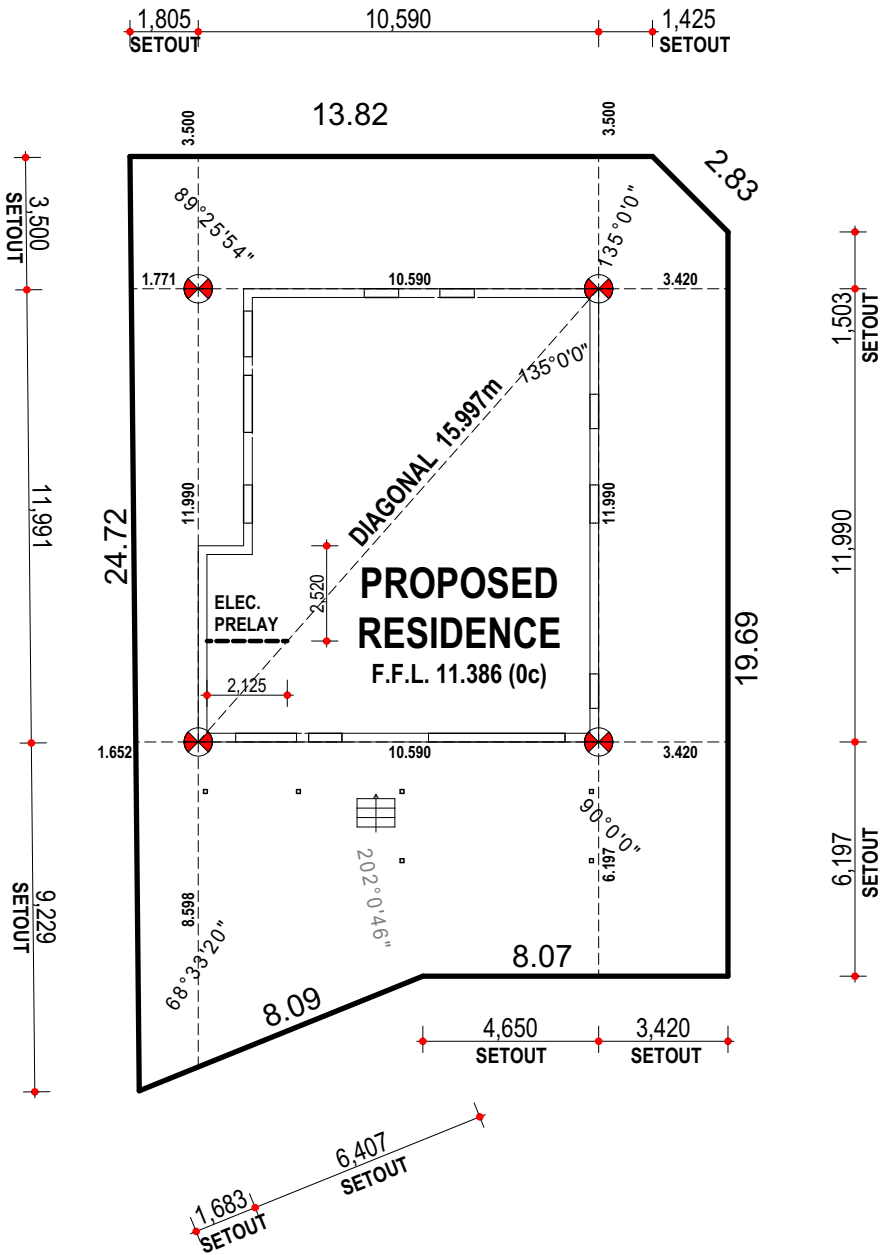
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ALL DIMENSIONS TO BRICKWORK.

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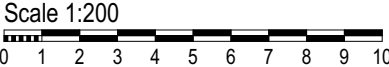
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BUILDER: _____
CLIENT(S): _____
WITNESS: _____



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©

AREA: 350m²	ROAD DESCR.: BITUMEN	GAS: YES	SSA/OLD AREAS: OLD A.	UNLODGED SS PLAN:
SHIRE: WANNEROO	KERBING: MOUNT	WATER: YES	C/JOB#: 463896	ORIGINAL LOT:
D.PLAN: 404791	FOOTPATH: CONC.	ELECTRICITY: OH/UG	DATE: 10 JUNE 20	LOT MISCLOSE: 0.007m
C/T VOLUMN: 2975	SOIL: RTS	PH/COMMS: YES	SCALE: 1:200	SSL 1 MISCLOSE:-
FOLIO: 147	DRAINAGE: GOOD	SEWER: YES	DRAWN: J. JEE	SSL 2 MISCLOSE:-
MSD REF: 189 06/30	VEGETATION: RTS	COASTAL: YES		

PROPOSED RESIDENCE FOR: JOHNSON / JOHNSON	DRAWN: DMA	SCALE: 1:200	Issue Name V001 DMA 31/08/20	Drawn DMA 29/09/2020	Date 31/08/20	Issue Name	Drawn	Date
ADDRESS: LOT 40 (#11A) JAVEZ DRIVE QUINNS ROCKS	DESIGNED: RC	SHEET: 3 OF 12	V004 WW 01/10/20	AMEND. DMA 08/10/20				
	CHECKED: DMA	SIZE: A3	JEL DMA 13/10/20	V006 DMA 16/10/20				
	DATE: 08/07/20	DEVELOPMENTS	V007 DMA					
	MODEL:	JOB N°						
	SPECIAL	158717						
		SETOUT PLAN						

SUMMIT
HOMES GROUP

BUILD | RENOVATE | DEVELOP

LEGEND		SEC Dome
		Power Pole
		Phone Pits
		Water Conn.
	[TP 10.00]	Top Pillar/Post
	[TW 10.00]	Top Wall
	[TR 10.00]	Top Retaining
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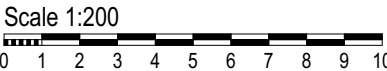
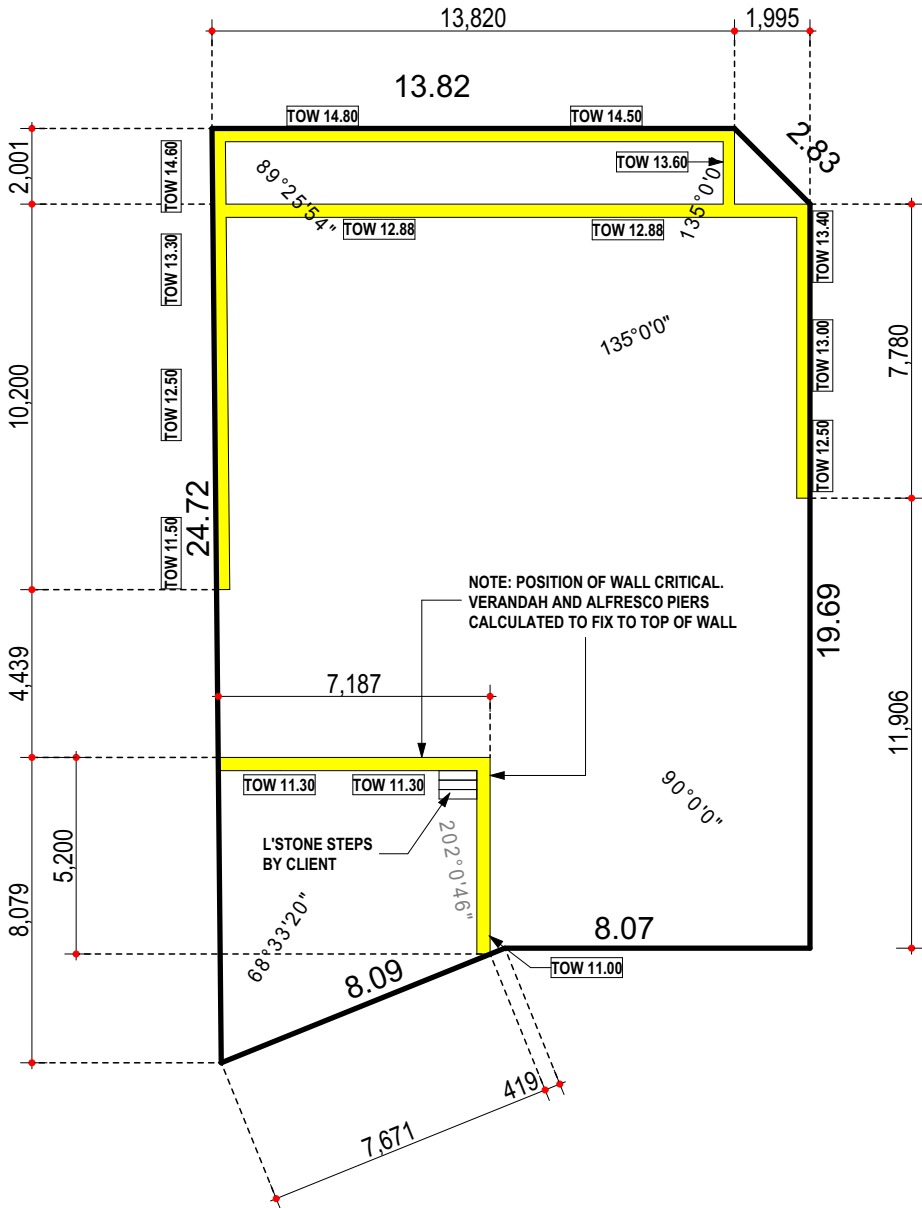
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CLIENTS / RETAINING CONTRACTOR

NOTE:
- TOP OF WALL (TOW) INDICATED FOR CLARITY ONLY.
- ENSURE BOTTOM OF RETAINING IS EMBEDDED SUFFICIENTLY
AS REQ. BY ENG. DETAIL.
- REFER TO NEIGHBOURS EXISTING LEVELS OR NOMINATED
PAVING / LANDSCAPING LEVELS FOR FULL REQ. RETAINING
HEIGHTS.
- REFER TO ENGINEERS DETAILS.
- POSITION OF WALL IS CRITICAL FOR HOUSE SETOUT.
- ALFRESCO AND VERNADAH POSTS TO BE FIXED TO TOP OF
WALL TO ENGINEERS DETAILS.
- CLIENT TO ENSURE WALL IS ENGINEERED TO SUIT.



BUILDER:
CLIENT(S):
WITNESS:

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AREA: 350m²	ROAD DESCR.: BITUMEN	GAS: YES	SSA/OLD AREAS: OLD A.	UNLODGED SS PLAN:
SHIRE: WANNEROO	KERBING: MOUNT	WATER: YES	C/JOB#: 463896	ORIGINAL LOT:
D.PLAN: 404791	FOOTPATH: CONC.	ELECTRICITY: OH/UG	DATE: 10 JUNE 20	LOT MISCLOSE: 0.007m
C/T VOLUMN: 2975	SOIL: RTS	PH/COMMS: YES	SCALE: 1:200	SSL 1 MISCLOSE:-
FOLIO: 147	DRAINAGE: GOOD	SEWER: YES	DRAWN: J. JEE	SSL 2 MISCLOSE:-
MSD REF: 189 06/30	VEGETATION: RTS	COASTAL: YES		

PROPOSED RESIDENCE FOR: JOHNSON / JOHNSON	DRAWN: DMA	SCALE: 1:200	Issue Name V001 DMA 31/08/20	Drawn DMA 31/08/20	Date 31/08/20	Issue Name	Drawn	Date
	DESIGNED: RC	SHEET: 4 OF 12	V004 WW 29.09.2020	WW 29.09.2020				
	CHECKED: DMA	SIZE: A3	AMEND. DMA 01/10/20	DMA 01/10/20				
	DATE: 08/07/20	DEVELOPMENTS	JEL DMA 08/10/20	DMA 08/10/20				
	MODEL:	JOB N°	V006 DMA 13/10/20	DMA 13/10/20				
	SPECIAL	158717	V007 DMA 16/10/20	DMA 16/10/20				
ADDRESS: LOT 40 (#11A) JAVEZ DRIVE QUINNS ROCKS								

SUMMIT
HOMES GROUP

BUILD | RENOVATE | DEVELOP

LEGEND		SEC Dome
		Power Pole
		Phone Pits
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	[TP 10.00]	Top Pillar/Post
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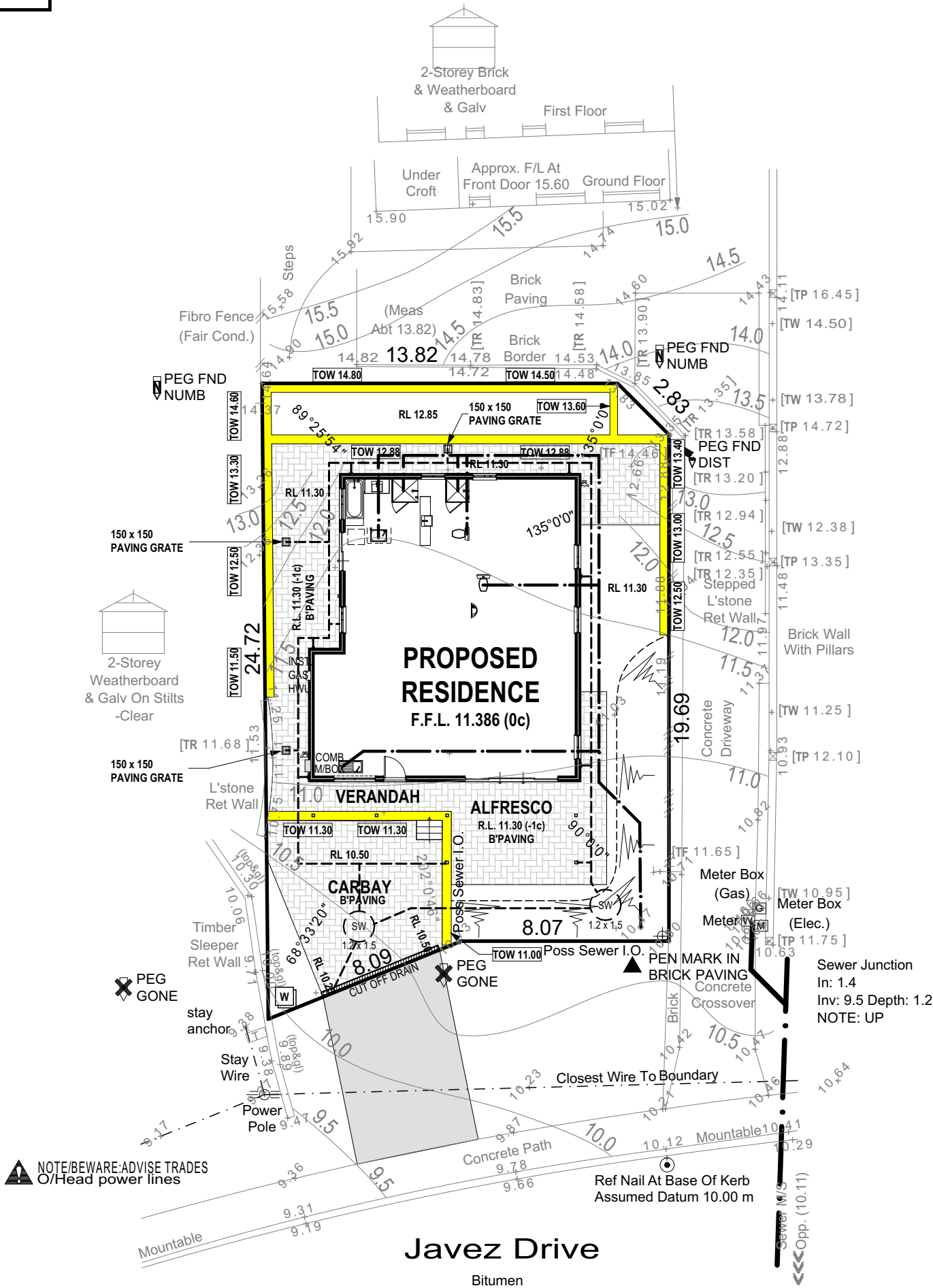
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PLUMBER NOTE:

- CONNECT ALL DOWNPIPES TO STORMWATER SOAKWELLS AS
PER SHIRE REQUIREMENTS.
- ALL STORMWATER & SURFACE WATER DRAINAGE TO COMPLY
W/- NCC VOL 2, A.S. 3500.3:2003 & LOCAL AUTHORITY
REQUIREMENTS.
- REFLUX VALVE REQUIRED.

1:20 YEAR STORM EVENT

Soak Well Type	No.	
SW 1200x1500	2	3.4 m3
Total Capacity		3.4 m3
Roof Area GF		160.0 m2
Paved Area		70.0 m2
Total Area		230.0 m2
Capacity Required (Area x 0.0130)		3.0 m3
Extra Capacity Provided		0.4 m3



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SHIRE: WANNEROO
D.PLAN: 404791
C/T VOLUMN: 2975
FOLIO: 147
MSD REF: 189 06/30

ROAD DESCR.: BITUMEN
KERBING: MOUNT
FOOTPATH: CONC.
SOIL: RTS
DRAINAGE: GOOD
VEGETATION: RTS

GAS: YES
WATER: YES
ELECTRICITY: OH/UG
PH/COMMS: YES
SEWER: YES
COASTAL: YES
SSA/OLD AREAS: OLD A.
C/JOB#: 463896
DATE: 10 JUNE 20
SCALE: 1:200
DRAWN: J. JEE

UNLODGED SS PLAN:
ORIGINAL LOT:
LOT MISCLOSE: 0.007m
SSL 1 MISCLOSE:-
SSL 2 MISCLOSE:-

PROPOSED RESIDENCE FOR:
JOHNSON / JOHNSON

ADDRESS:
**LOT 40 (#11A) JAVEZ DRIVE
QUINNS ROCKS**

DRAWN: DMA
DESIGNED: RC
CHECKED: DMA
DATE: 08/07/20
MODEL:
SPECIAL
SCALE: 1:200
SHEET: 5 OF 12
SIZE: A3
DEVELOPMENTS
JOB N°
158717

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V001	DMA	31/08/20			
V004	WW	29.09.2020			
AMEND.	DMA	01/10/20			
JEL	DMA	08/10/20			
V006	DMA	13/10/20			
V007	DMA	16/10/20			

PLUMBING PLAN



Scale 1:200
0 1 2 3 4 5 6 7 8 9 10



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BUILD | RENOVATE | DEVELOP

BUILT AROUND PEOPLE

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SITE CLASSIFICATION - CLASS 'A'
(REFER TO SITE REPORT FOR
DETAILS) WIND LOAD - N2
CORROSION CLASSIFICATION - R4

BRICK NOTE

- 2c FACE BRICK TO BE LAID IN THIRD BOND U.N.O

- ROOF NOTE**
- COLORBOND ROOF, PITCH AT 25° W/- 500W EAVES UNO
 - STEEL ROOF FRAME TO NASH STANDARDS
 - CEILINGS AT 31c + PLATE UNLESS NOTED OTHERWISE
- ROOF PLUMBER NOTE**
- PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)
 - FINAL POSITIONS OF RWP'S TO BE DETERMINED ON SITE
 - RWPS IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER SYSTEM (NO KICK)
- ROOF INSULATION NOTE**
- R4.0 CEILING INSULATION TO HOUSE & ANY EXTERNAL PLASTERBOARD OR VERSILUX CEILINGS IF APPL
 - R4.0 CEILING INSULATION TO RAKING CEILINGS

ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS INDICATED ON PLAN

FIXING CARPENTER NOTE

- 4 No. 450D SHELVES TO PANTRY AND LINEN UNO
- 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO
- 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY
- PROVIDE MDF NOSINGS TO WINDOWS NOTED (N).
- NOTE SKIRTING BOARDS THROUGHOUT EXCEPT TO WET AREAS, STAIRS (IF ANY), BIR'S & LIN.

CEILING MATERIAL NOTE

- V.DAH - HARDIFLEX C.L.
- ALFRESCO - PLASTERBOARD C.L.

TRADES / SUPERVISOR NOTE

- REFER TO STRUCTURAL ENGINEERS DETAILS
- ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS & STANDARD SPECIFICATION.
- PROVIDE PROTECTION AGAINST CORROSIVE ENVIRONMENTAL CONDITIONS AS PER THE RELEVANT AUSTRALIAN STANDARD AND/OR BCA

- DOOR NOTE**
- TOILET DOOR TO COMPLY W/- CLAUSE 3.8.3.3 OF THE B.C.A VOL. 2
- CONCRETOR/BRK LAYER NOTE**
- ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c UNLESS NOTED OTHERWISE.
- PLUMBER NOTE**
- NO HOBS TO SHOWERS UNLESS SHOWN OTHERWISE.
 - PLUMBER TO INSTALL REFLUX VALVE.
- BRICKLAYER NOTE**
- FRAME NOTED (N) FOR NOSING WILL HAVE A NOSING ANGLE ATTACHED TO SILL.

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ALL DIMENSIONS TO BRICKWORK.



WITNESS: _____

CLIENT(S): _____

BUILDER: _____

PROPOSED RESIDENCE FOR:
JOHNSON / JOHNSON

ADDRESS:
**LOT 40 (#11A) JAVEZ DRIVE
QUINNS ROCKS**

DRAWN: DMA SCALE: 1:100

DESIGNED: RC SHEET: 6 OF 12

CHECKED: DMA SIZE: A3

DATE: 08/07/20 DEVELOPMENTS

MODEL: JOB N°

SPECIAL 158717

Issue Name Drawn Date

V001 DMA 31/08/20

V004 WW 29.09.2020

AMEND. DMA 01/10/20

JEL DMA 08/10/20

V006 DMA 13/10/20

V007 DMA 16/10/20

FLOOR PLAN

FLOOR PLAN

	Area m²	Perim. L/m
1. FLOOR PLAN	118.81	45.16
2. ALFRESCO	17.19	17.16
3. V'DAH	7.80	13.40
4. TOTAL AREA	143.81	51.54
5. ROOF	158.40	53.54



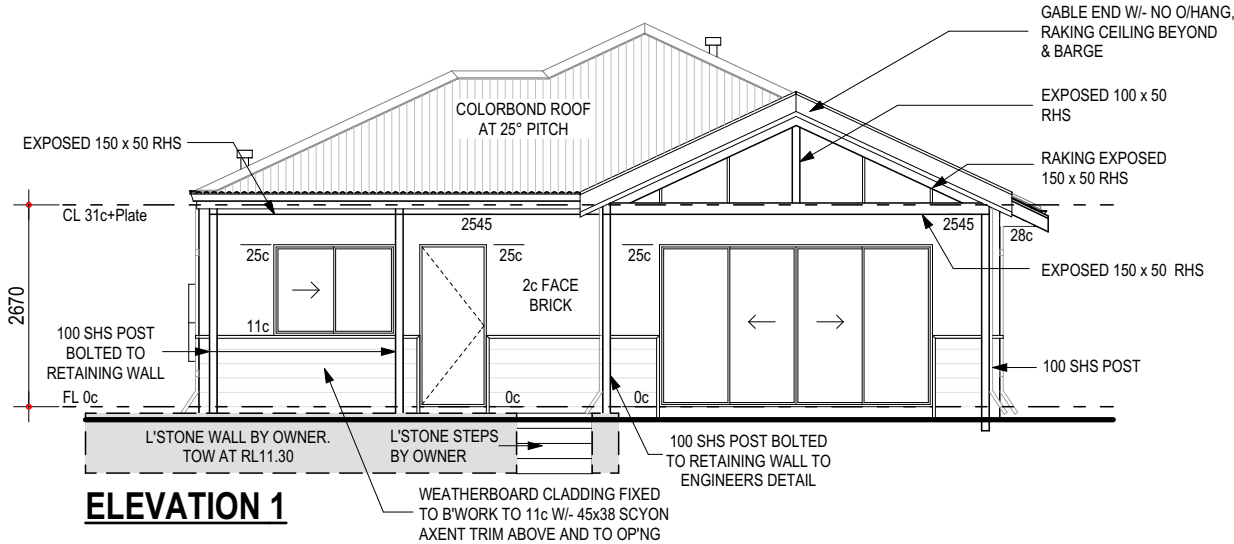
ROOF NOTE

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- STEEL ROOF IN ACCORDANCE TO NASH STANDARD
- CEILINGS AT 31c + PLATE UNLESS NOTED OTHERWISE

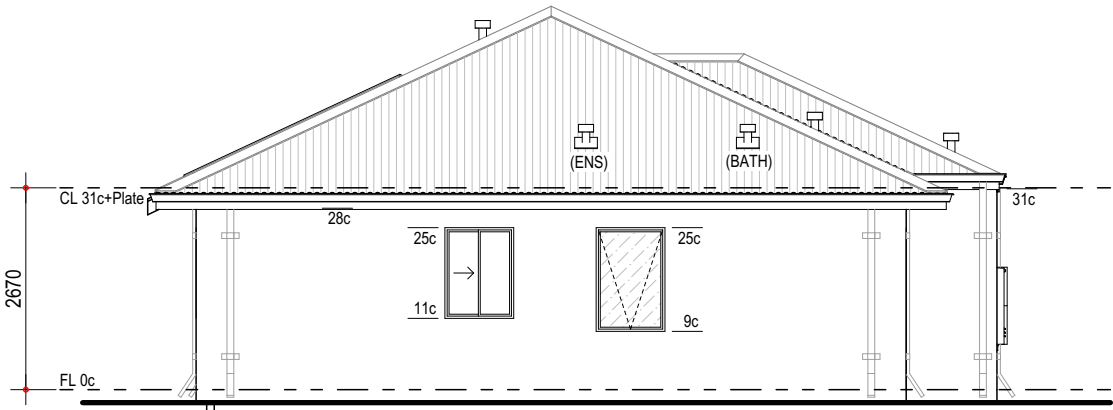
WINDOW SUPPLIER NOTE

- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288
- **FOR WINDOWS IN BRICK CONSTRUCTION:**
- WINDOW SUPPLIER TO SITE MEASURE FOR FINAL MEASUREMENTS IF DESIGN HAS A RAKING OR CLERESTORY WINDOWS PRIOR TO MANUFACTURE.

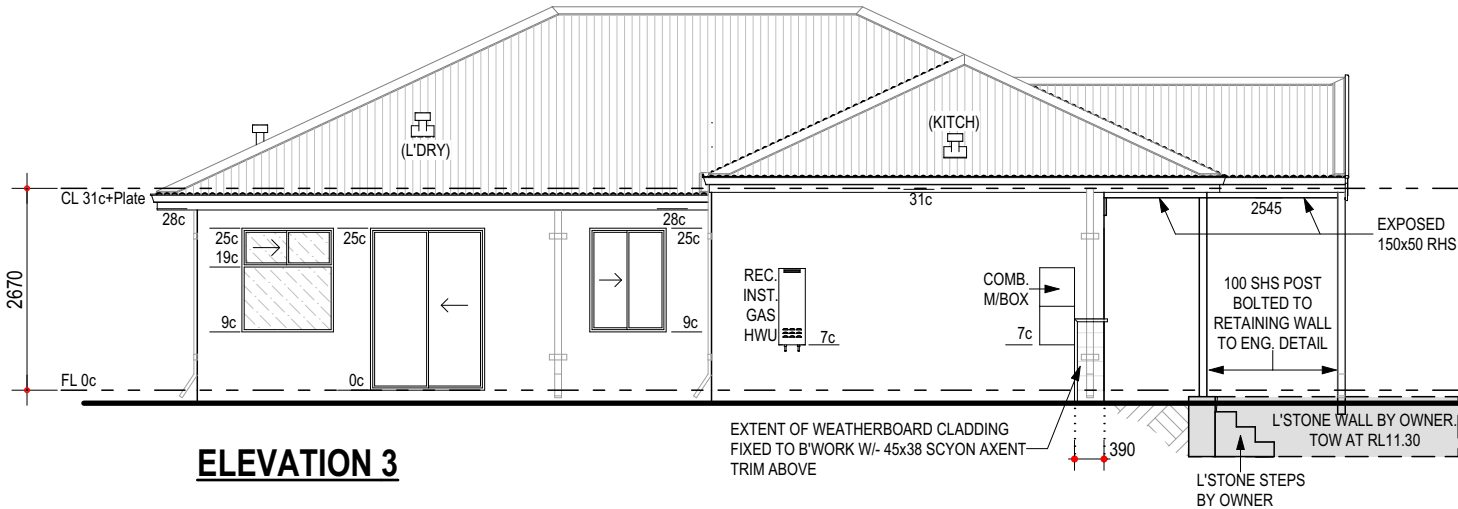
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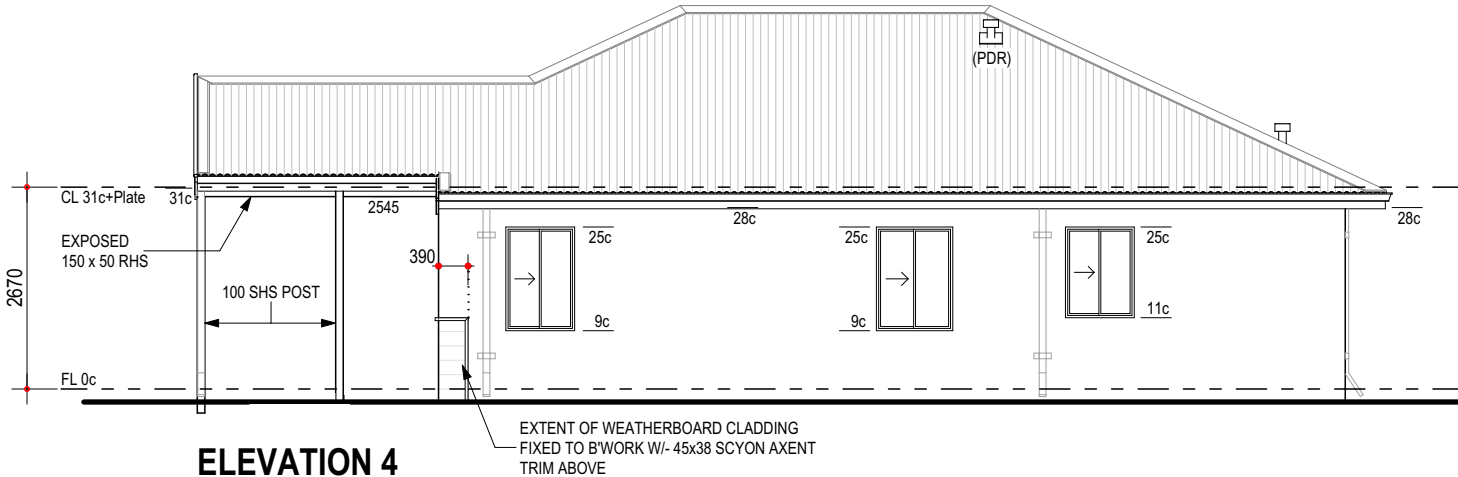
ELEVATION 1



ELEVATION 2



ELEVATION 3



ELEVATION 4

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JOHNSON / JOHNSON

ADDRESS:
LOT 40 (#11A) JAVEZ DRIVE
QUINNS ROCKS

DRAWN: DMA
DESIGNED: RC
CHECKED: DMA
DATE: 08/07/20
MODEL: SPECIAL

SCALE: 1:100
SHEET: 7 OF 12
SIZE: A3
DEVELOPMENTS
JOB N° 158717

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V001	DMA	31/08/20			
V004	WW	29.09.2020			
AMEND.	DMA	01/10/20			
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V006	DMA	13/10/20			
V007	DMA	16/10/20			

ELEVATIONS

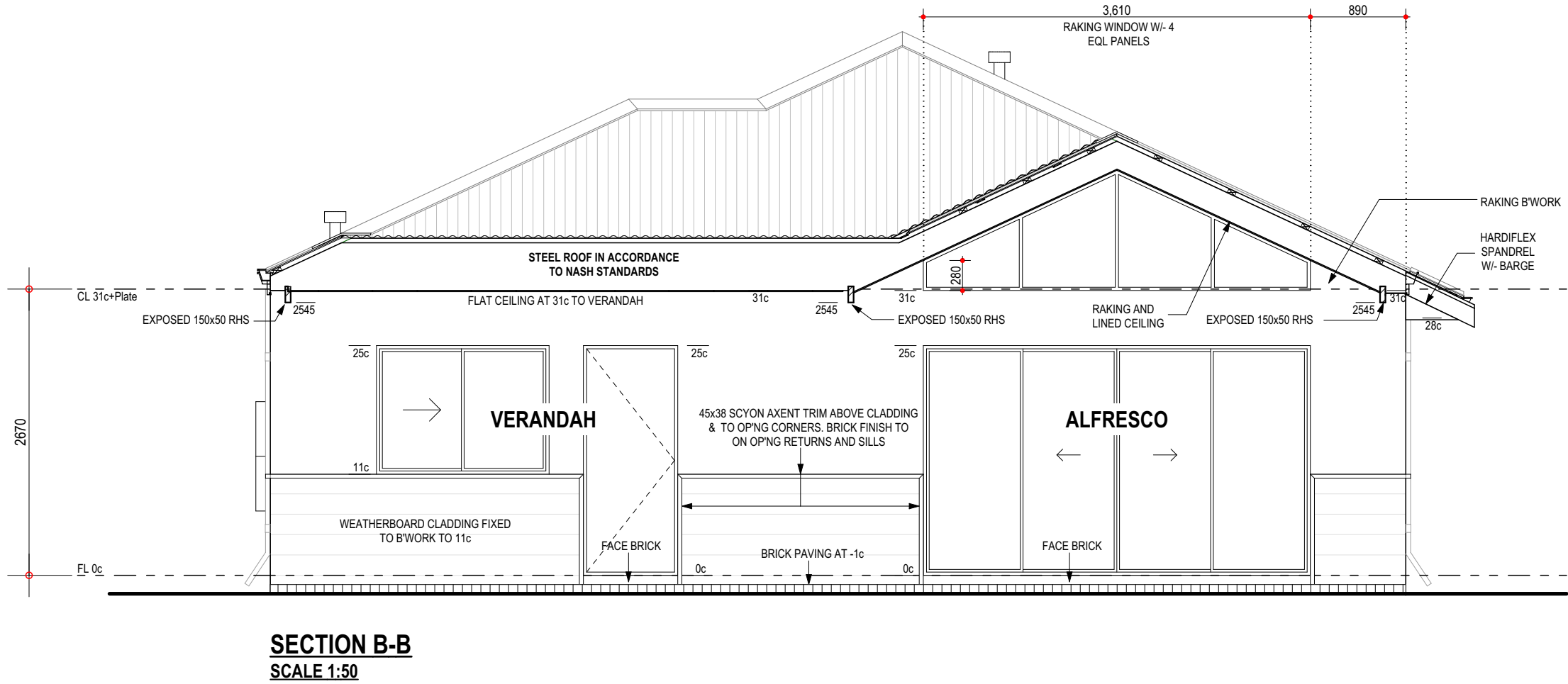
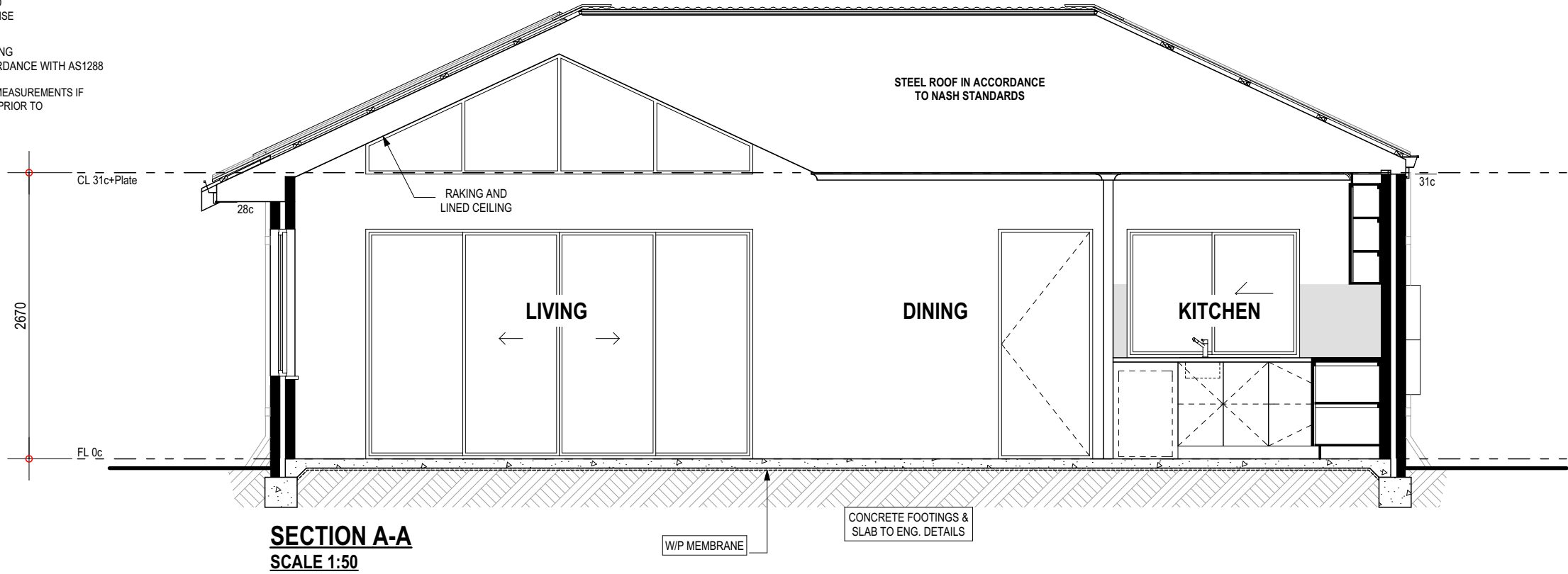


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WITNESS: _____ / /

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JOHNSON / JOHNSON

ADDRESS:
**LOT 40 (#11A) JAVEZ DRIVE
QUINNS ROCKS**

BUILT AROUND PEOPLE

DRAWN: DMA
DESIGNED: RC
CHECKED: DMA
DATE: 08/07/20
MODEL: SPECIAL

SCALE: 1:50
SHEET: 8 OF 12
SIZE: A3
DEVELOPMENTS
JOB N°
158717

Issue Name	Drawn	Date
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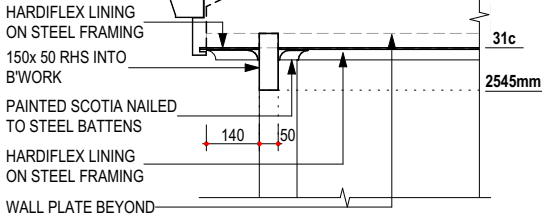
SECTIONS



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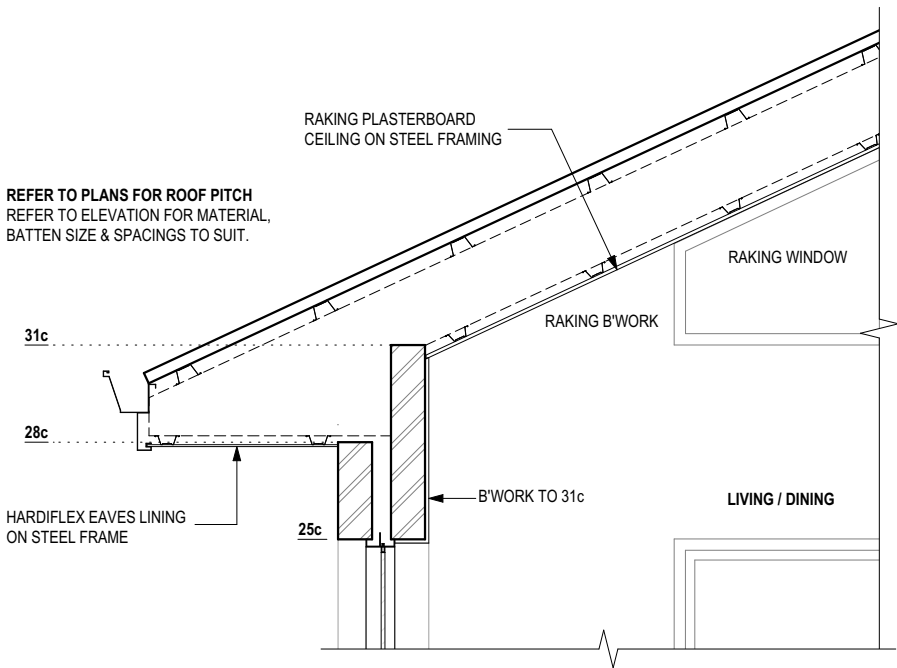
REFER TO PLANS FOR ROOF PITCH
REFER TO ELEVATION FOR MATERIAL,
BATTEN SIZE & SPACINGS TO SUIT
ROOF TRUSS



D01 - VERANDAH HARDIFLEX CEILING

- NOTES:
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS
 - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
 - SCALE 1 : 20

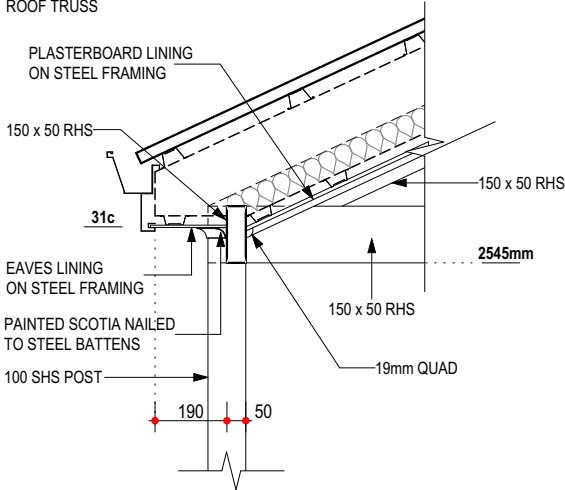
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D02 - RAKING CEILING TO LIVING

- NOTES:
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 - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
 - SCALE 1 : 20

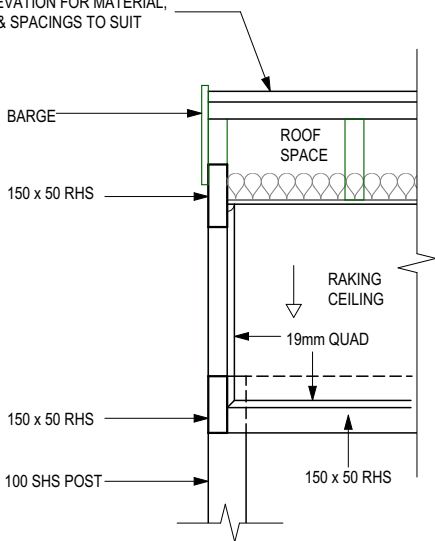
REFER TO PLANS FOR ROOF PITCH
REFER TO ELEVATION FOR MATERIAL,
BATTEN SIZE & SPACINGS TO SUIT
ROOF TRUSS



D03 - RAKING CEILING & EAVES TO TRUSS

- NOTES:
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
 - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
 - SCALE 1:20

REFER TO PLANS FOR ROOF PITCH
REFER TO ELEVATION FOR MATERIAL,
BATTEN SIZE & SPACINGS TO SUIT
ROOF TRUSS



D04 - RAKING CEILING & EAVES TO TRUSS

- NOTES:
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
 - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
 - SCALE 1:20

45x38 SCYON AXENT TRIM
FIXED TO BWK W/- 80mm
SCREWS

15/18mm TIMBER
BATTEN FIXED
TO B'WORK

EXTERNAL
BRICKWORK

D04 - PRIMELINE WEATHERBOARD CLADDING
(BELOW OP'NG)

- NOTES:
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 - SCALE 1 : 10

INTERNAL
BRICKWORK

EXTERNAL
BRICKWORK

15/18mm TIMBER
BATTEN FIXED
TO B'WORK

WEATHERBOARD
CLADDING

JAMES HARDIE EXT.
BOXED CORNER
PART No. 305512

D05 - WEATHERBOARD CLADDING
(PLAN VIEW EXTERNAL CORNER)

- NOTES:
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 - SCALE 1 : 10

BUILDER:	_____
CLIENT(S):	_____
WITNESS:	_____

PROPOSED RESIDENCE FOR:
JOHNSON / JOHNSON

ADDRESS:
LOT 40 (#11A) JAVEZ DRIVE
QUINNS ROCKS

DRAWN:	DMA	SCALE:	AS NOTED
DESIGNED:	RC	SHEET:	9 OF 12
CHECKED:	DMA	SIZE:	A3
DATE:	08/07/20	DEVELOPMENTS	
MODEL:		JOB N°	158717
SPECIAL			

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V001	DMA	31/08/20			
V004	WW	29.09.2020			
AMEND.	DMA	01/10/20			
JEL	DMA	08/10/20			
V006	DMA	13/10/20			
V007	DMA	16/10/20			

DETAILS



SUMMIT
HOMES GROUP

BUILD | RENOVATE | DEVELOP

BUILT AROUND PEOPLE

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- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

- SHADING DENOTES EXTENT OF TILING
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES
- ALL WINDOW SILLS IN WET AREAS TO BE TILED
- MITERED TILING THROUGHOUT WHERE APPLICABLE.

REFER TO ADDENDUM FOR FITOUT SPECIFICATION
WET AREAS CONSTRUCTED IN ACCORDANCE WITH PART 3.8.1 OF B.C.A. (VOL 2)

KITCHEN PLAN

K1 VIEW

K2 VIEW

K3 VIEW

K4 VIEW

L'DRY PLAN

L1 VIEW

BUILDER:	/	/
CLIENT(S):	/	/
	/	/
WITNESS:	/	/

PROPOSED RESIDENCE FOR:
JOHNSON / JOHNSON

ADDRESS:
LOT 40 (#11A) JAVEZ DRIVE
QUINNS ROCKS

DRAWN:	DMA
DESIGNED:	RC
CHECKED:	DMA
DATE:	08/07/20
MODEL:	
SPECIAL	

SCALE: 1:50
SHEET: 10 OF 12
SIZE: A3
DEVELOPMENTS
JOB N°
158717

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V001	DMA	31/08/20			
V004	WW	29.09.2020			
AMEND.	DMA	01/10/20			
JEL	DMA	08/10/20			
V006	DMA	13/10/20			
V007	DMA	16/10/20			

ROOM LAYOUTS



SUMMIT
HOMES GROUP

BUILD | RENOVATE | DEVELOP

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- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

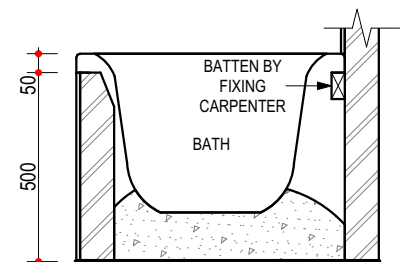
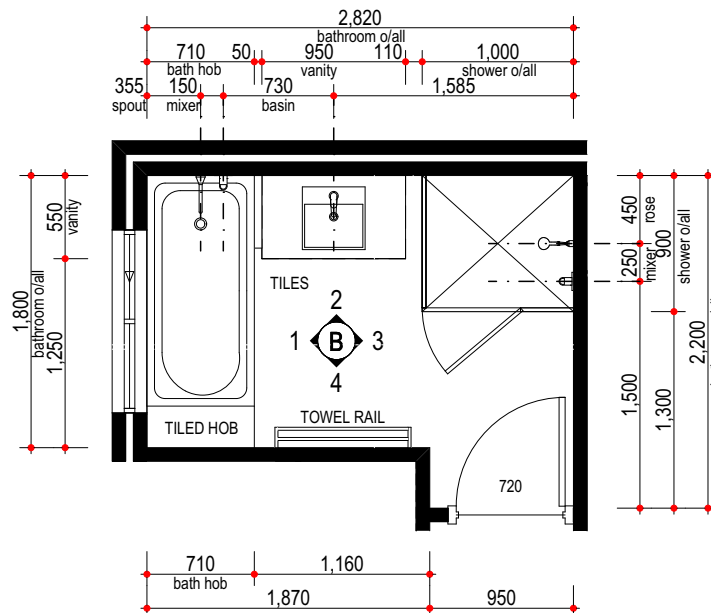
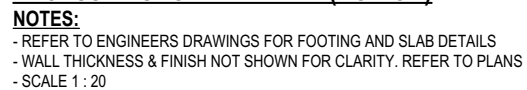
- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

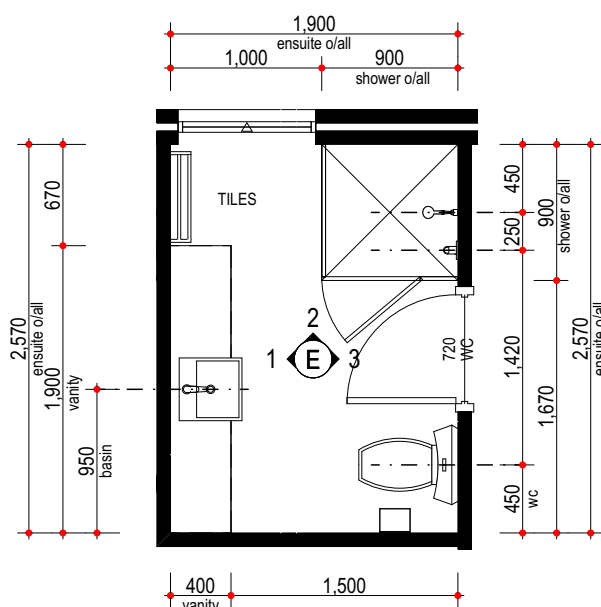
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REFER TO ADDENDUM FOR FITOUT SPECIFICATION

WET AREAS CONSTRUCTED IN ACCORDANCE WITH
PART 3.8.1 OF B.C.A. (VOL 2)



- SCALE 1 : 20



BUILDER:	/	/
CLIENT(S):	/	/
	/	/
WITNESS:	/	/

BUILT AROUND PEOPLE

ROOM LAYOUTS



BUILD | RENOVATE | DEVELOP

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Ground Floor

* NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. Subtotal: 132 0.136
PERIMETER LIGHTING MIN. 40 LUMENS/W.

Wattage Calculations (Class 1)

Recessed Fitting Penetrations (Class 1)

108.64 sqm 0.543 sqm 0.213 sqm
0.20 % R4.0 Insulation Adjustment Not Required

ELECTRICAL NOTE

CLIENT / PRESTART NOTE
- CLIENT TO CONFIRM W/- ADMINISTRATOR POSITIONING
OF ALL TV, PHONE AND ROOM GPO POSITIONS.

BUILT AROUND PEOPLE