

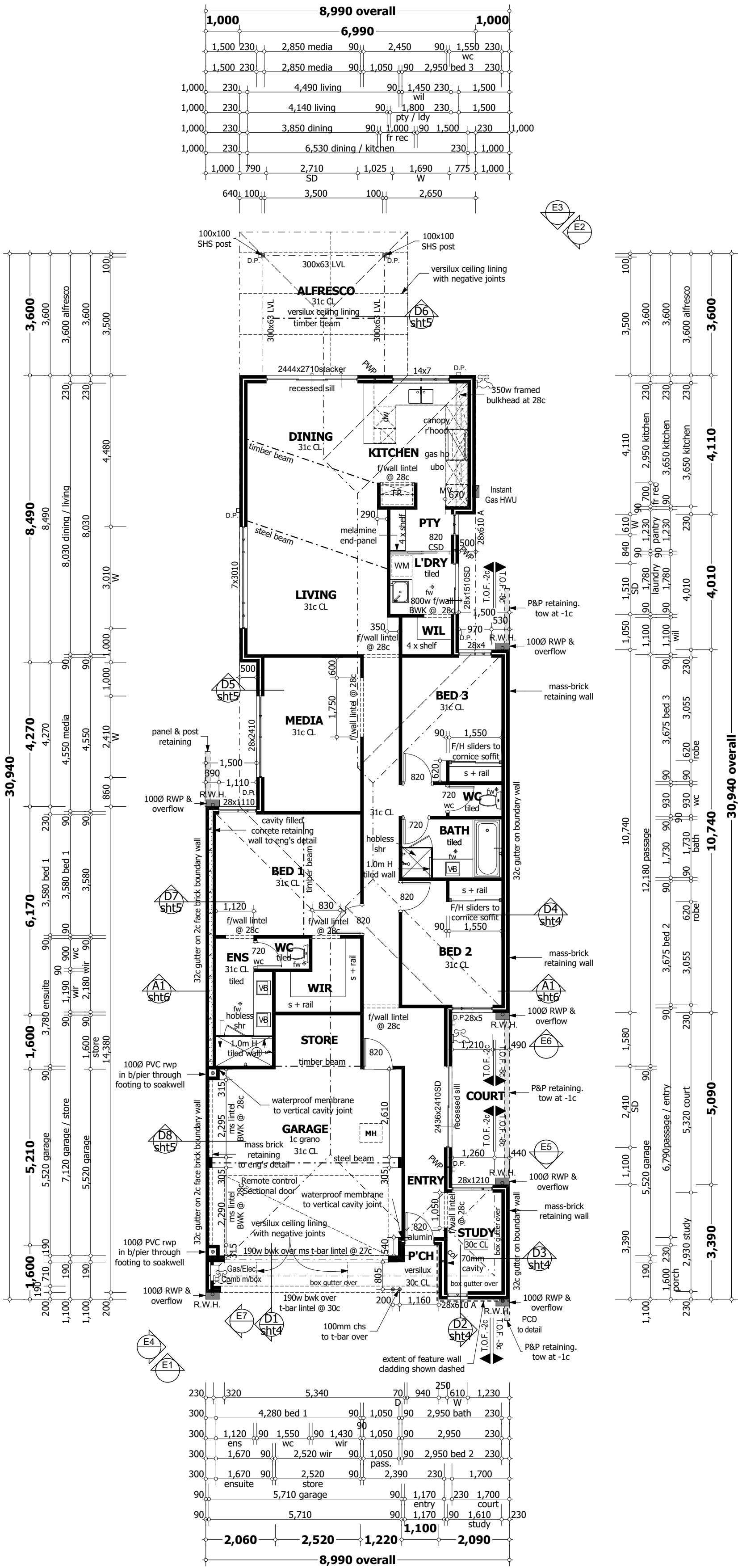
GENERAL NOTES

RENDERED BRICKWORK.

COLORBOND ROOF.

R4.1 CEILING INSULATION TO INTERNAL CEILINGS & GARAGE ONLY.

N1 WIND REGION.



GROUND FLOOR PLAN
1:100

© copyright



PROPOSED RESIDENCE ADDRESS:
Unit 1, LOT 617, (#11a) GWELUP ST
KARRINYUP
FOR:
GBN PROPERTY

SIGNATURES:

OWNER: _____
OWNER: _____
BUILDER: _____
DATE: _____

AMENDMENTS:

16/03/20	SS	PSV01
30/04/20	SS	Amendments
12/06/20	SS	Window transoms
03/07/20	SS	Update Wet Areas Tapware
22/7/20	GM	gpo's added

Custom

SHEET1 OF 14
DRN: SS
DATE: 14/01/20
SCALE:1:100 AT A2
CONTRACT NO:
19029

Area Calc	
. STORE	4.03
. PORCH	1.62
. GARAGE	33.16
. GROUND FLOOR	166.82
. ALFRESCO	13.32
	218.95 m ²



FOR:
GBN PROPERTY

OWNER: _____

OWNER: _____

BUILDER: _____

DATE: _____

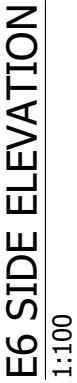
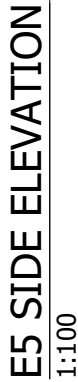
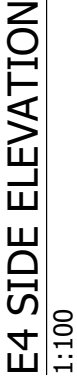
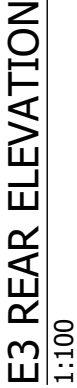
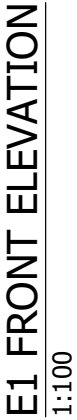
AMENDMENTS:		
16/03/20	SS	PSV01
30/04/20	SS	Amendments
12/06/20	SS	Window transoms
03/07/20	SS	Update Wet Areas Tapware
22/7/20	GM	gpo's added

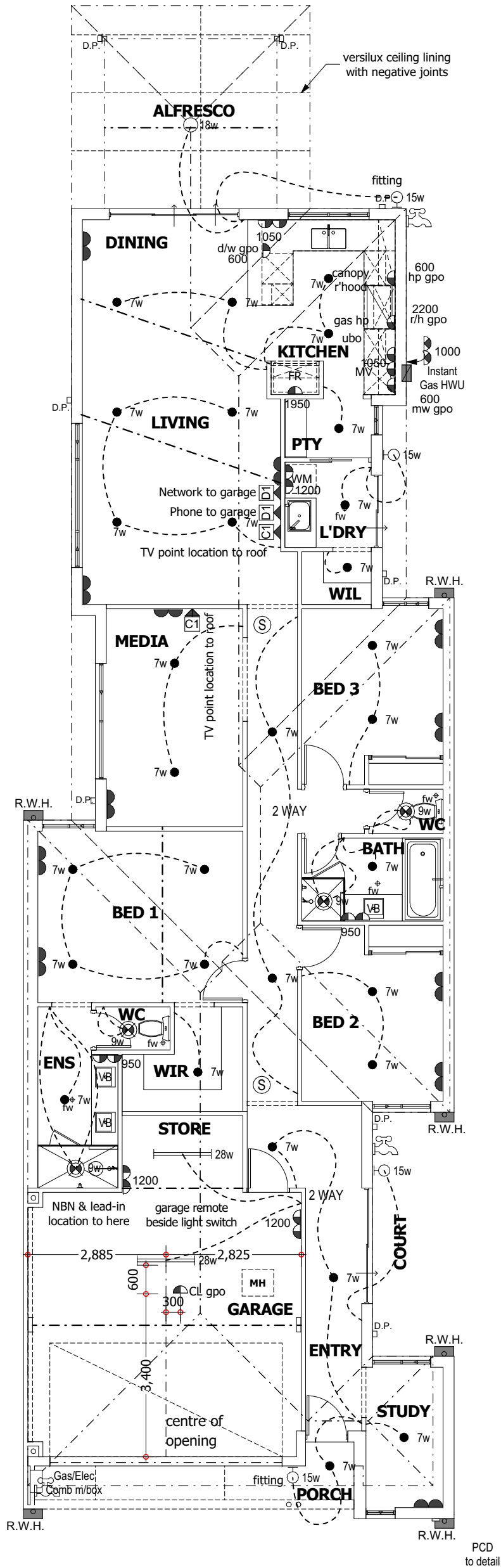
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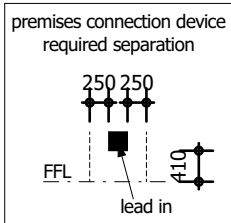
CONTRACT NO
19029

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ELECTRICAL LEGEND		
No.	SYMBOL	TYPE
2	2 WAY	2 WAY SWITCH
2	C1	C1
1	○ 18w	CEILING LIGHT (18w)
2	D1	D1
12	DOUBLE GPO @ 300 AFL	DOUBLE GPO @ 300 AFL
7	DOUBLE GPO @ NOTED HT	DOUBLE GPO @ NOTED HT
1	DOUBLE WATER PROOF GPO	DOUBLE WATER PROOF GPO
4	Fan/Light Combo (9w)	Fan/Light Combo (9w)
2	H.WIRED SMOKE DETECTOR	H.WIRED SMOKE DETECTOR
30	RECESSED LED DOWN-LIGHT (7w)	RECESSED LED DOWN-LIGHT (7w)
6	SINGLE GPO @ NOTED HT	SINGLE GPO @ NOTED HT
2	Slimline Batten (28w)	Slimline Batten (28w)
4	WALL LIGHT @ 2000 AFL	WALL LIGHT @ 2000 AFL

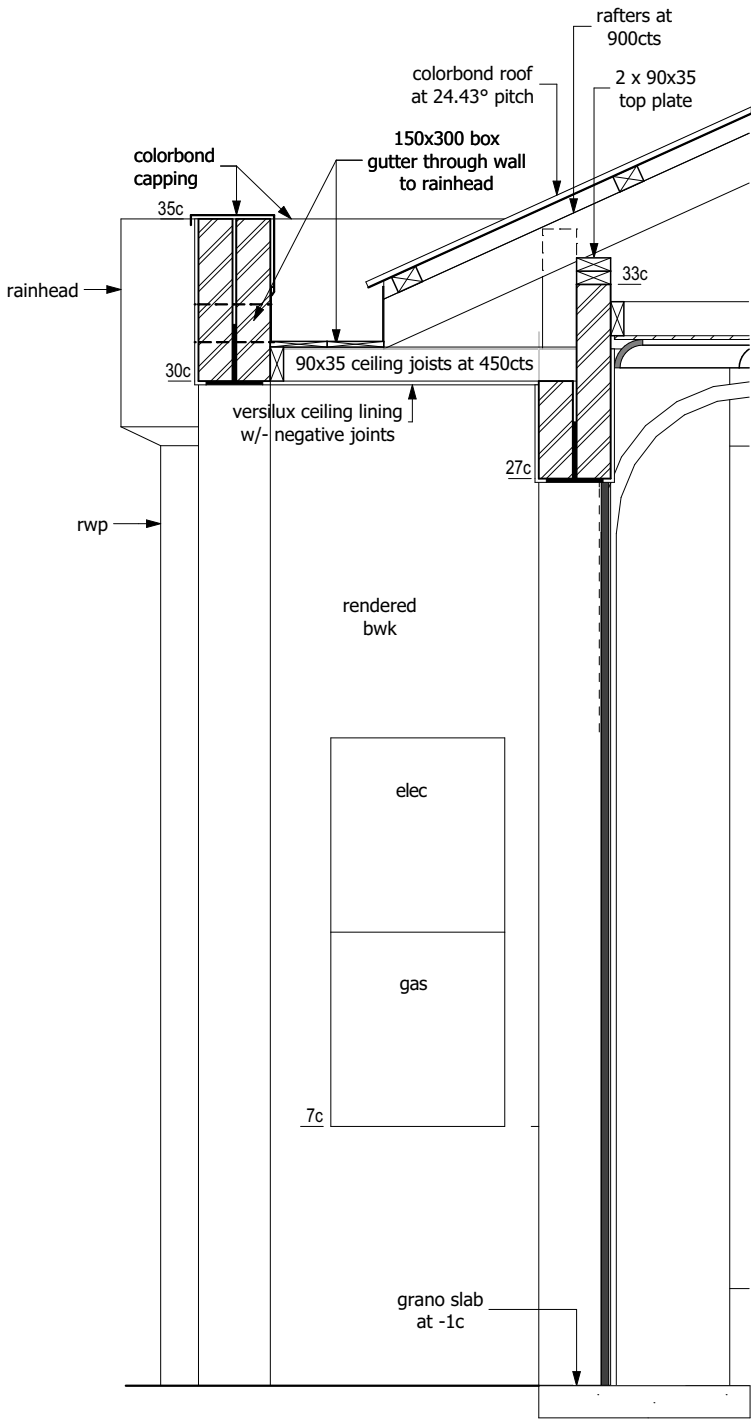


GROUND FLOOR ELECTRICAL PLAN

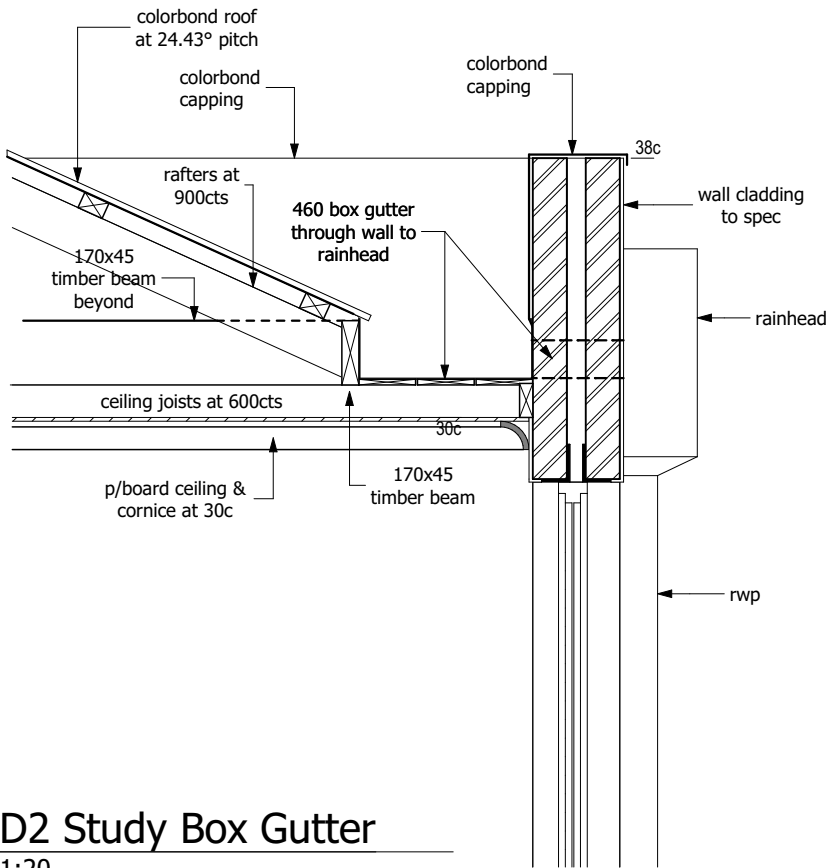
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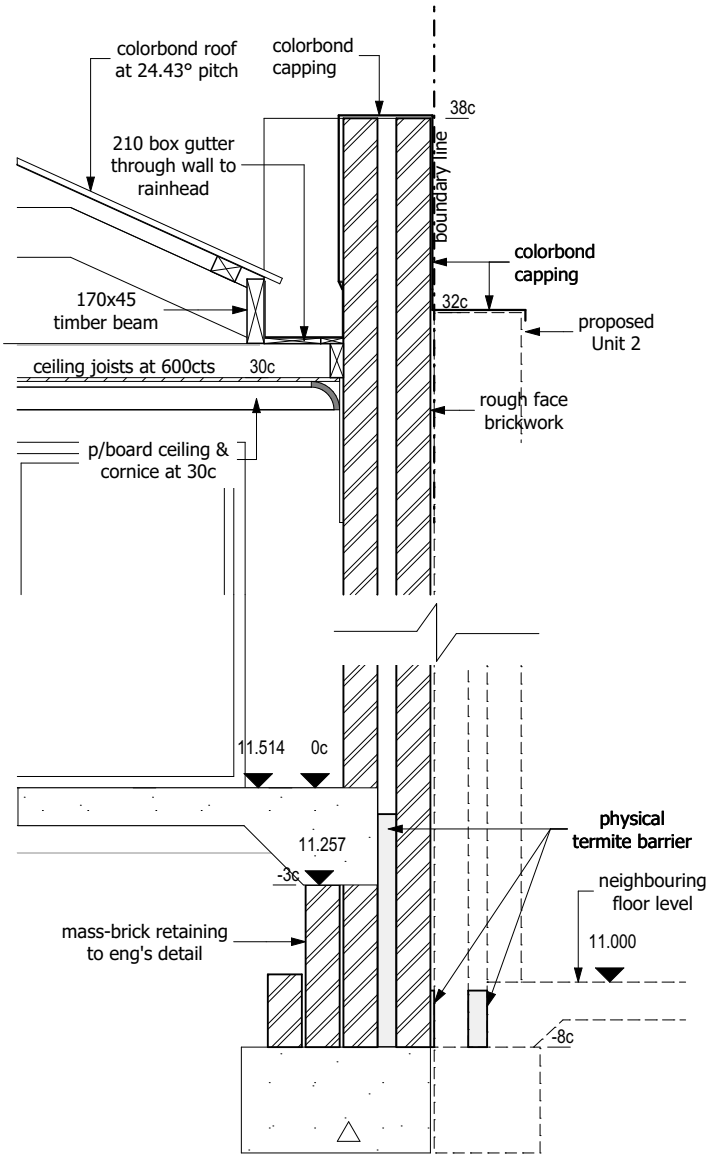
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		OWNER: _____		16/03/20 SS	PSV01	SHEET3 OF 14
		OWNER: _____		30/04/20 SS	Amendments	DRN: SS
		BUILDER: _____		12/06/20 SS	Window transoms	DATE: 14/01/20
		DATE: _____		03/07/20 SS	Update Wet Areas Tapware	SCALE:1:100, 1:1
				22/7/20 GM	gpo's added	CONTRACT NO: 19029



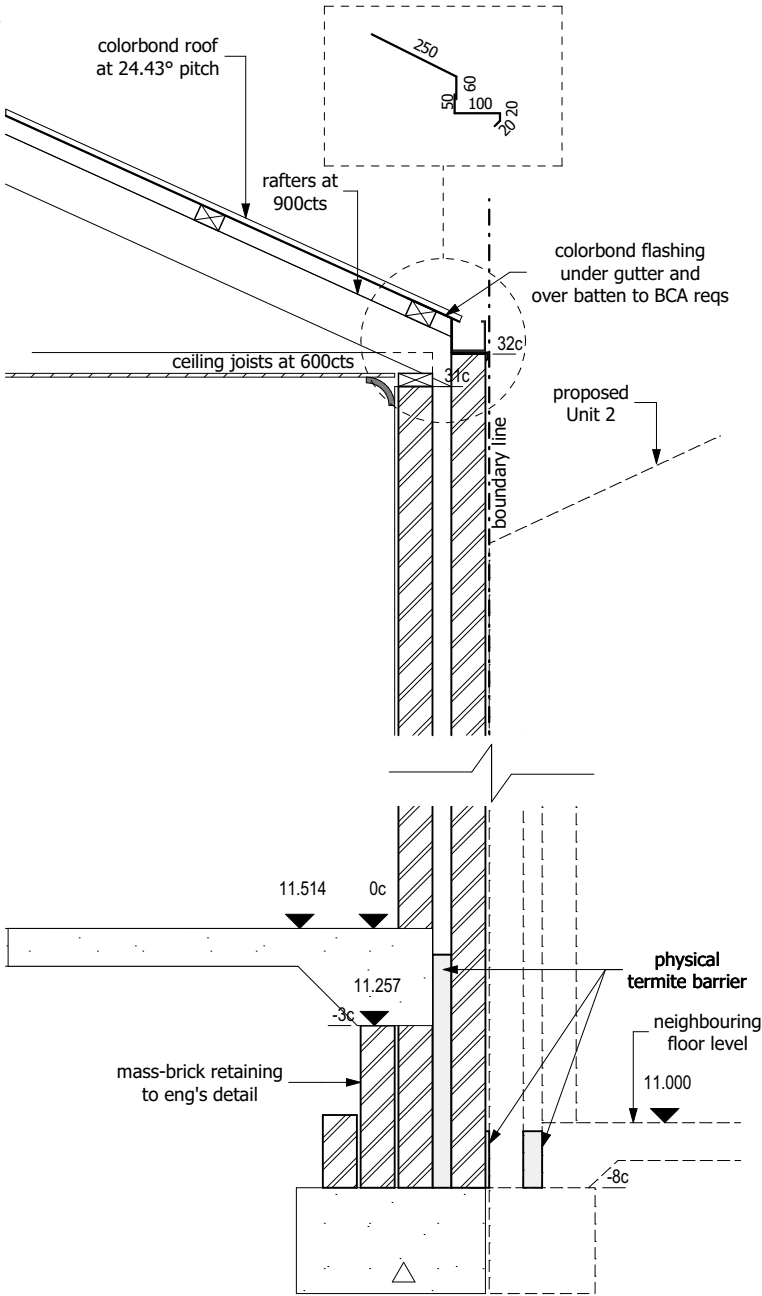
D1 Garage Box Gutter
1:20



D2 Study Box Gutter
1:20



D3 Study Boundary Wall
1:20



D4 Bed 2 Boundary Wall
1:20

© copyright



PROPOSED RESIDENCE ADDRESS:
Unit 1, LOT 617, (#11a) GWELUP ST
KARRINYUP
FOR:
GBN PROPERTY

SIGNATURES:
OWNER: _____
OWNER: _____
BUILDER: _____
DATE: _____

AMENDMENTS:		Custom
16/03/20	SS	PSV01
30/04/20	SS	Amendments
12/06/20	SS	Window transoms
03/07/20	SS	Update Wet Areas Tapware
22/7/20	GM	gpo's added

SHEET# OF 14
DRN: SS
DATE: 14/01/20
SCALE: 1:20, 1:100
CONTRACT NO:
19029



19029

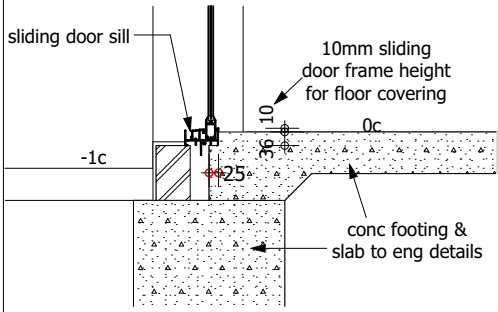
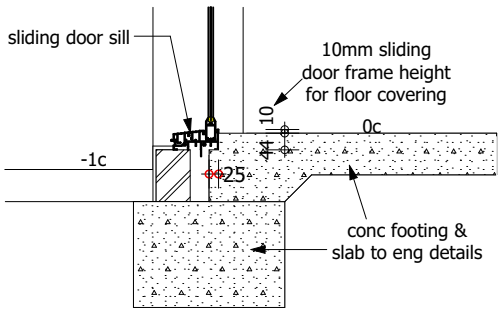
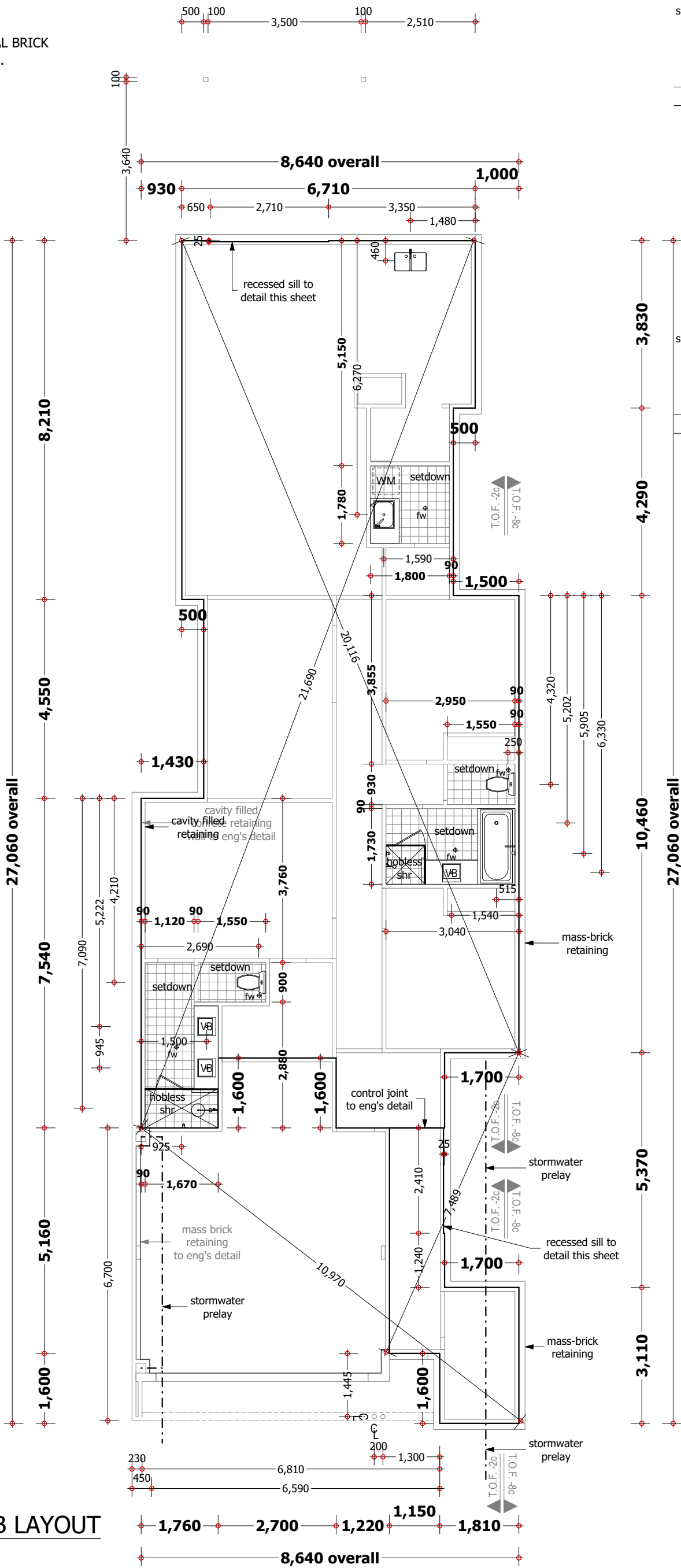
F:\OneDrive\COAST HOMES JOBS\19029 GBN\E - Construction Drawings\19029 Site Plan V23.pln



19029

CONCRETOR NOTE

1. GARAGE & FREESTANDING EXTERNAL BRICK
PIER FOOTINGS TO BE AT -3c U.O.N.



GROUND SLAB LAYOUT
1:100

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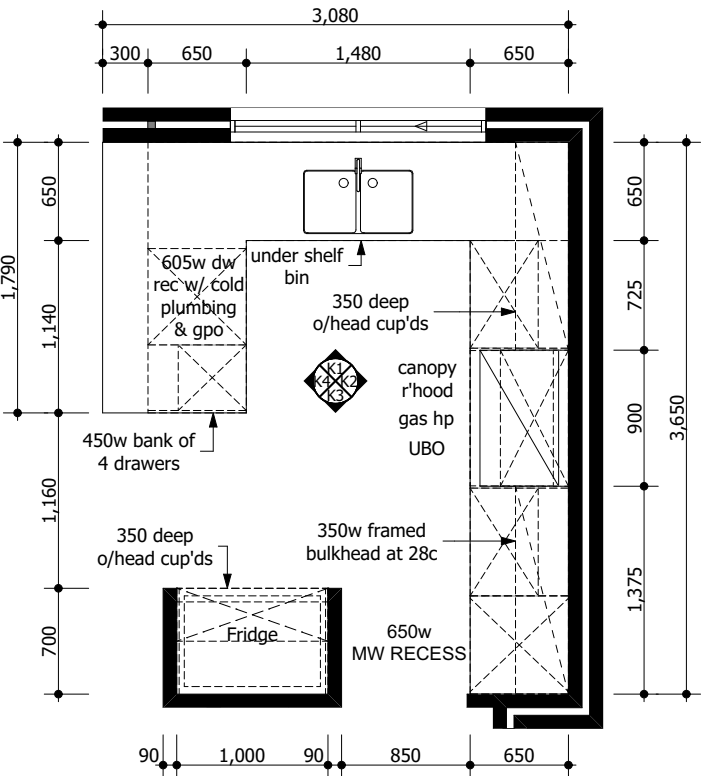


PROPOSED RESIDENCE ADDRESS:
Unit 1, LOT 617, (#11a) GWELUP ST
KARRINYUP
FOR:
GBN PROPERTY

SIGNATURES:
OWNER: _____
OWNER: _____
BUILDER: _____
DATE: _____

AMENDMENTS:	
16/03/20	SS PSV01
30/04/20	SS Amendments
12/06/20	SS Window transoms
03/07/20	SS Update Wet Areas Tapware
22/7/20	GM gpo's added

Custom
SHEET7 OF 14
DRN: SS
DATE: 14/01/20
SCALE:1:100, 1:20
CONTRACT NO:
19029



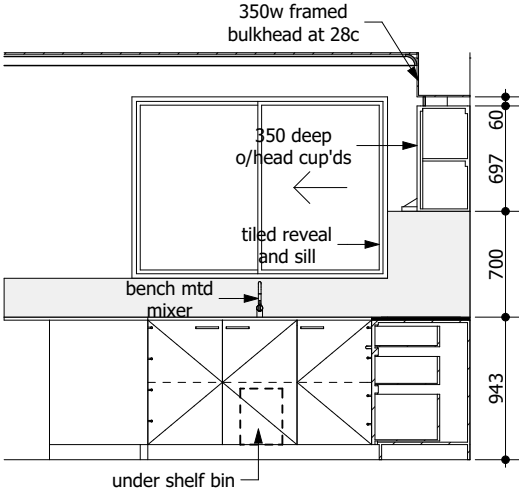
GENERAL NOTES

MITRED TILES THROUGHOUT.

DIMENSIONS FOR CABINETWORK ARE SUBJECT TO CABINETMAKER REQUIREMENTS.

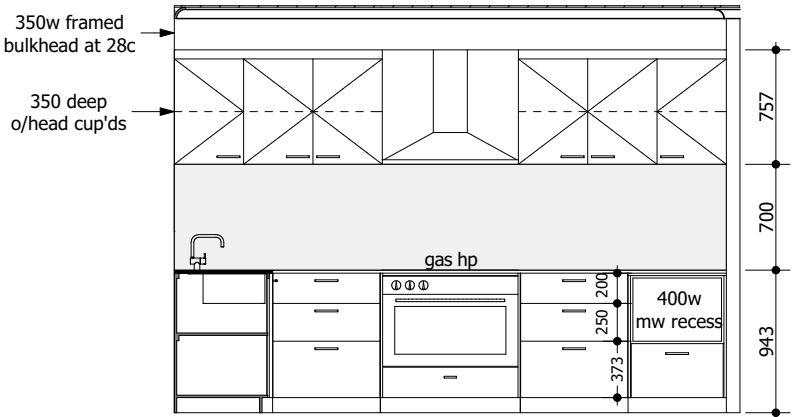
Kitchen Layout

1:50



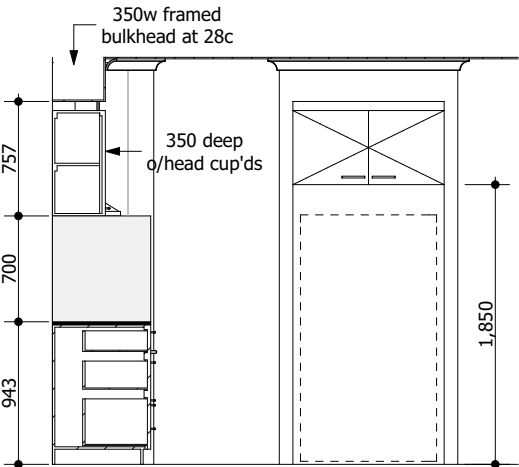
K1 KITCHEN

1:50



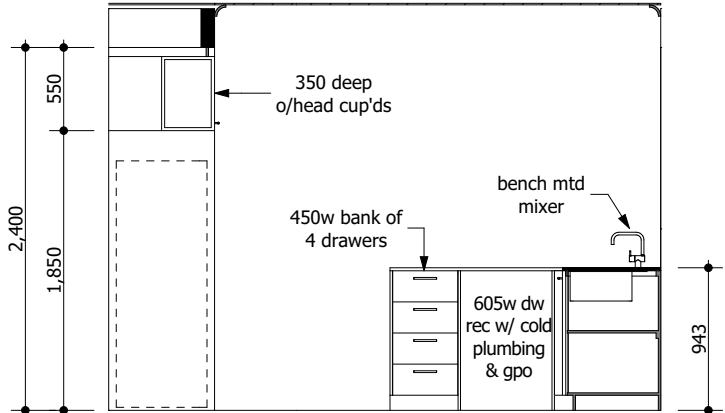
K2 KITCHEN

1:50



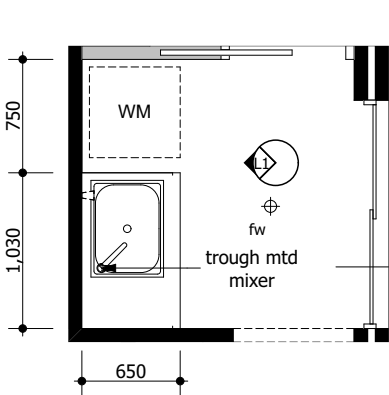
K3 KITCHEN

1:50



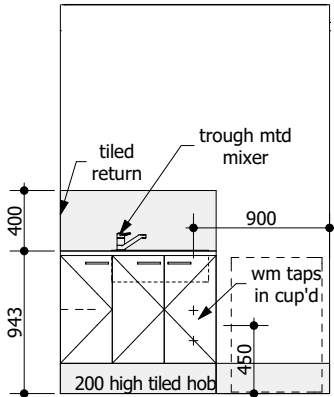
K4 KITCHEN

1:50



Laundry Layout

1:50



L1 LAUNDRY

1:50

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PROPOSED RESIDENCE ADDRESS:
Unit 1, LOT 617, (#11a) GWELUP ST
KARRINYUP
FOR:
GBN PROPERTY

SIGNATURES:

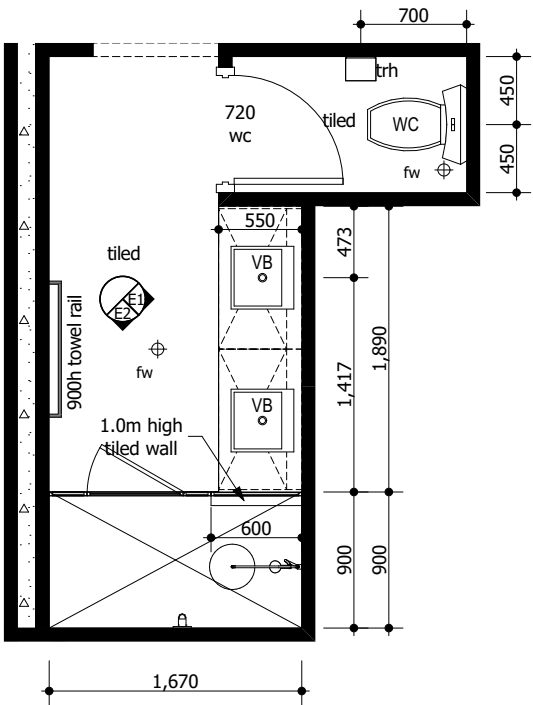
OWNER: _____

OWNER: _____

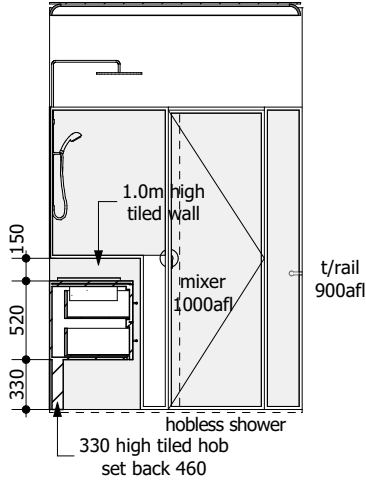
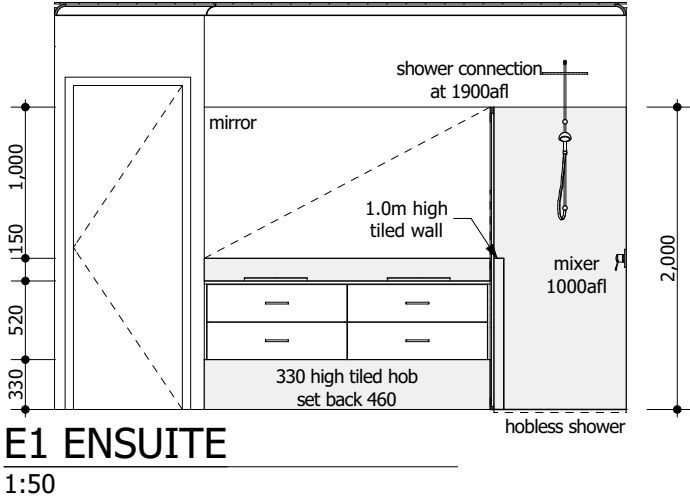
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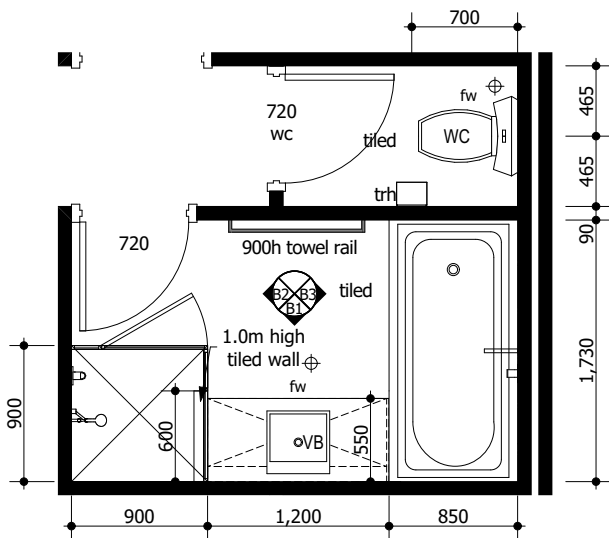
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30/04/20	SS	Amendments	
12/06/20	SS	Window transoms	DRN: SS
03/07/20	SS	Update Wet Areas Tapware	DATE: 14/01/20
22/7/20	GM	gpo's added	SCALE:1:50, 1:100
			CONTRACT NO: 19029



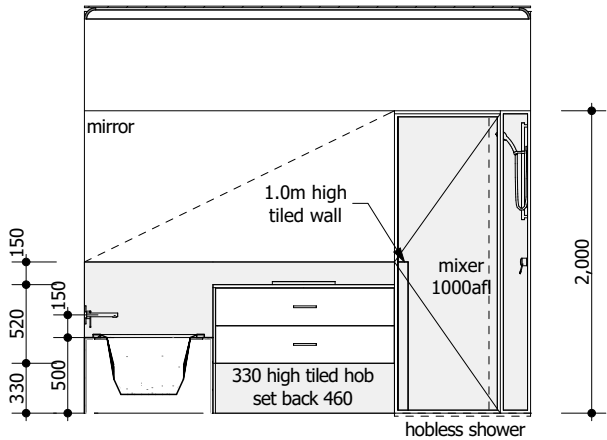
Ensuite Layout
1:50



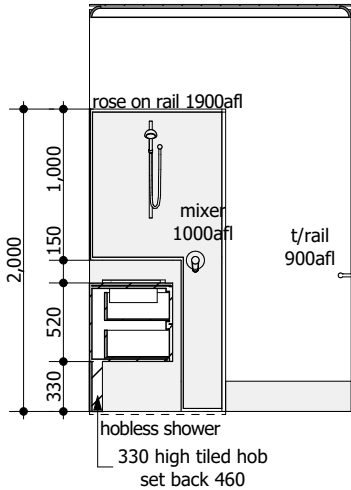
E2 ENSUITE
1:50



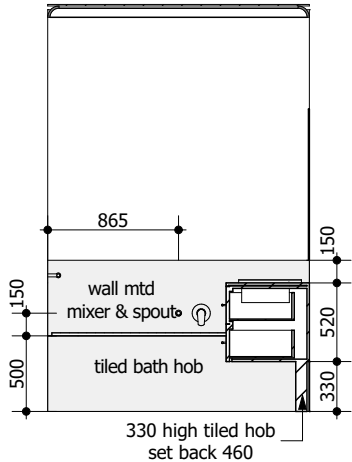
Bathroom Layout
1:50



B1 BATHROOM
1:50



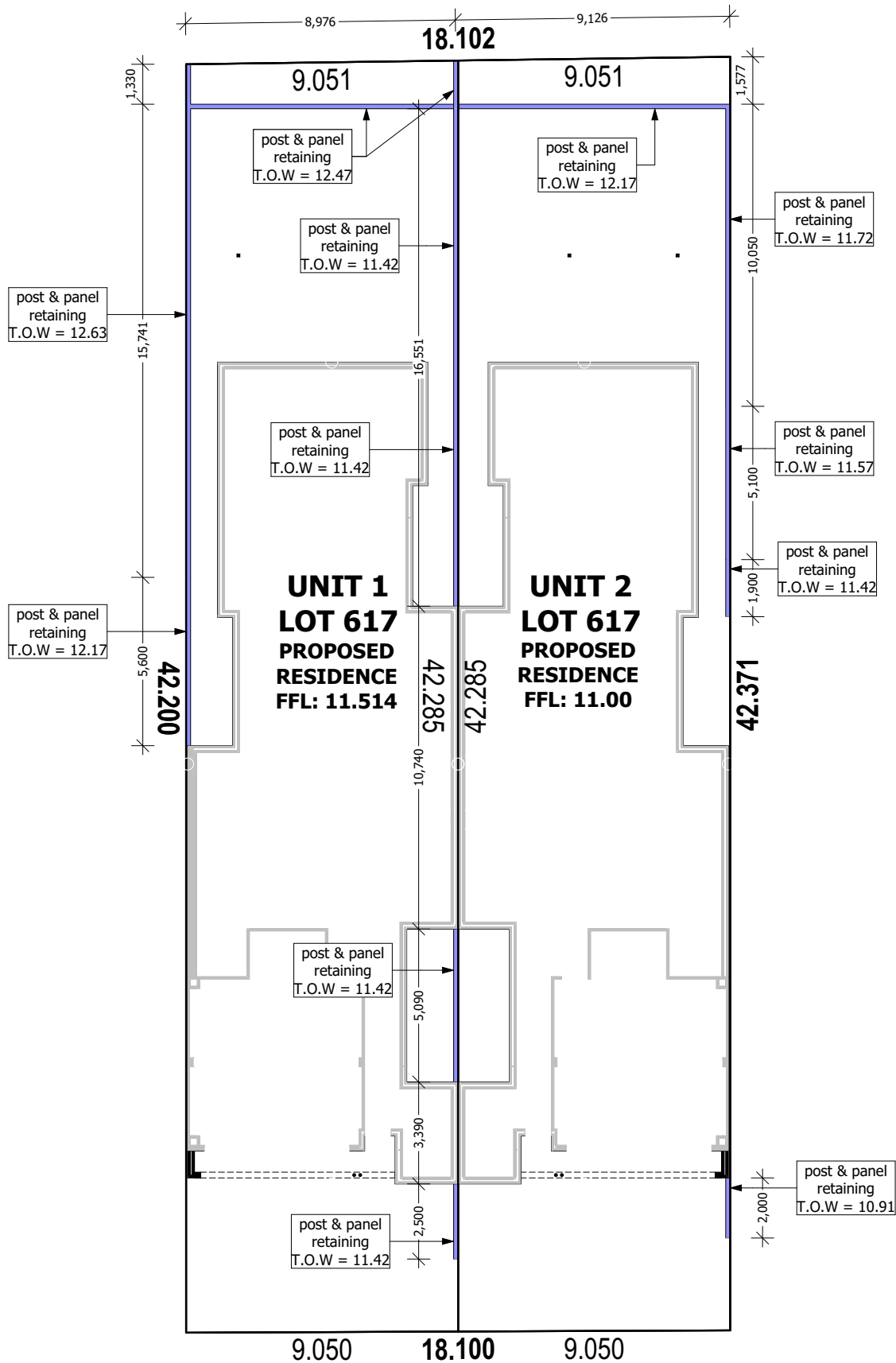
B2 BATHROOM
1:50



B3 BATHROOM
1:50


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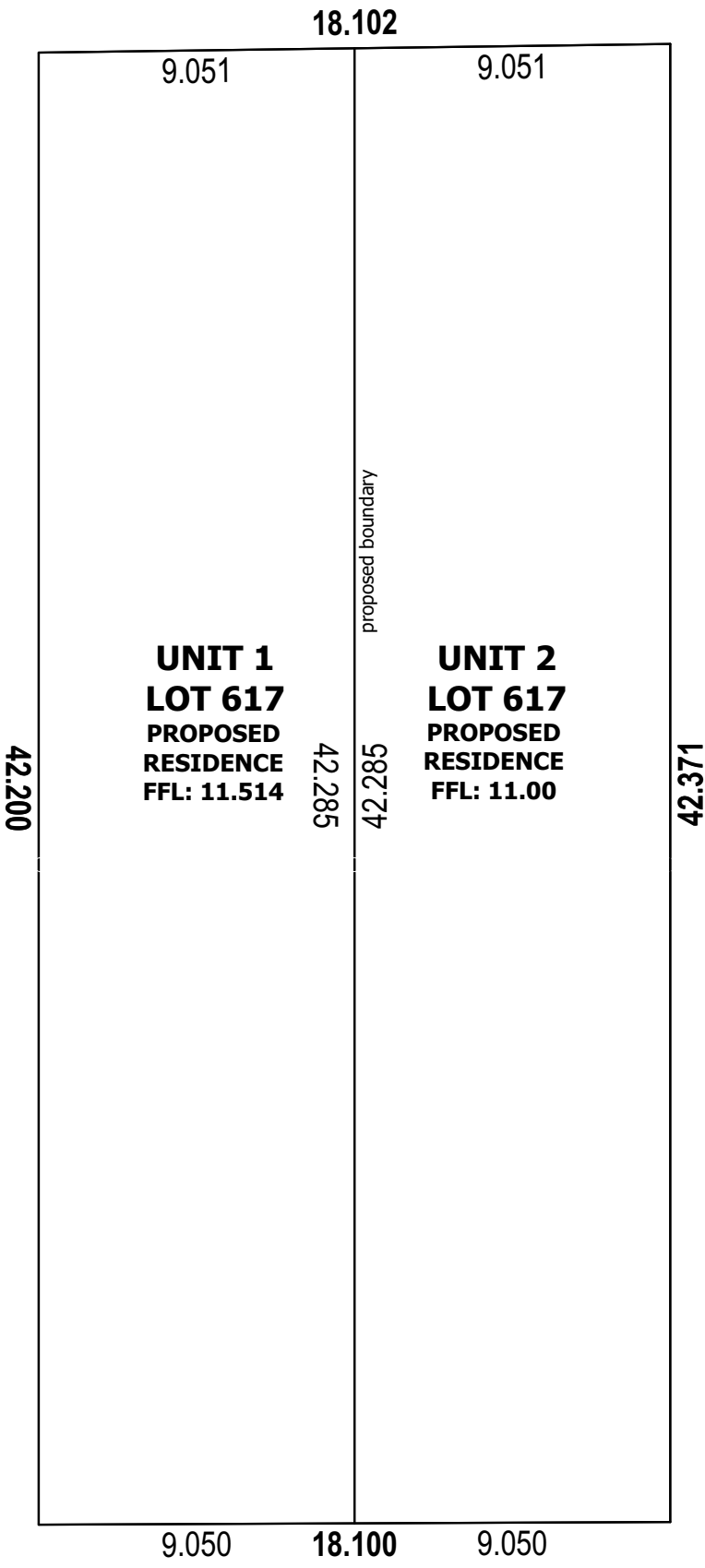
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				SHEET9 OF 14
				DRN: SS
				DATE: 14/01/20
				SCALE:1:50, 1:100
				CONTRACT NO: 19029



RETAINING WALL PLAN
1:200

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 C O A S T H O M E S	PROPOSED RESIDENCE ADDRESS: Unit 1, LOT 617, (#11a) GWELUP ST KARRINYUP FOR: GBN PROPERTY	SIGNATURES: OWNER: _____ OWNER: _____ BUILDER: _____ DATE: _____	AMENDMENTS:			Custom
			16/03/20	SS	PSVO1	SHEET10 OF 14
			30/04/20	SS	Amendments	
			12/06/20	SS	Window transoms	
			03/07/20	SS	Update Wet Areas Tapware	
			22/7/20	GM	gpo's added	
						DRN: SS
						DATE: 14/01/20
						SCALE:1:200, 1:1
						CONTRACT NO:
			19029			



TOTAL SITE COVERAGE	
ZONED	R30
% ALLOWED	55%
SITE AREA	765.36m ²
SITE COV. AREA	409.04m ²
SITE COV. =53.4%	

UNIT 1 SITE COVERAGE	
ZONED	R30
% ALLOWED	55%
SITE AREA	382.29m ²
SITE COV. AREA	204.52m ²
SITE COV. =53.5%	

UNIT 2 SITE COVERAGE	
ZONED	R30
% ALLOWED	55%
SITE AREA	383.07m ²
SITE COV. AREA	204.52m ²
SITE COV. =53.4%	

SUBDIVSION PLAN
1:200

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PROPOSED RESIDENCE ADDRESS:
Unit 1, LOT 617, (#11a) GWELUP ST
KARRINYUP
FOR:
GBN PROPERTY

SIGNATURES:

OWNER: _____

OWNER: _____

BUILDER: _____

DATE: _____

AMENDMENTS:			Custom
16/03/20	SS	PSV01	SHEET12 OF 14
30/04/20	SS	Amendments	
12/06/20	SS	Window transoms	DRN: SS
03/07/20	SS	Update Wet Areas Tapware	DATE: 14/01/20
22/7/20	GM	gpo's added	SCALE:1:200, 1:1
			CONTRACT NO: 19029

+	SEC Dome
≡	Power Pole
T C	Phone Pits
W	Water Conn.
TP 10.00	Top Pillar/Post
TW 10.00	Top Wall
TR 10.00	Top Retaining
TF 10.00	Top Fence

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

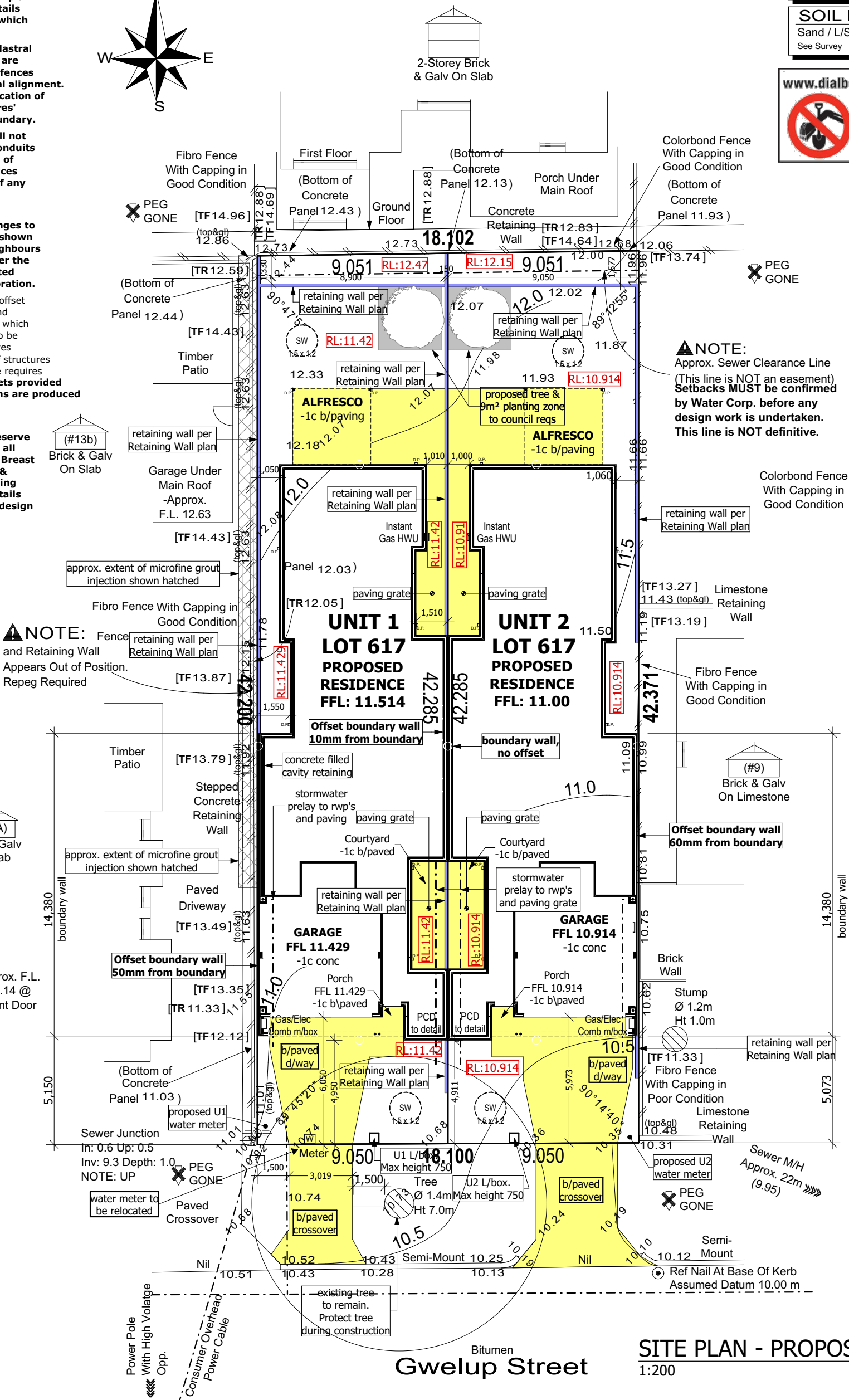
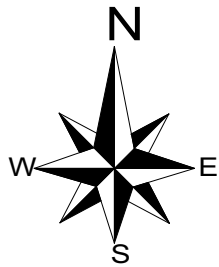
DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

DISCLAIMER:
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment and are to be verified when repegged. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

NOTE:
Changes to the City Of Stirling Street & Reserve Trees Policy require minimum setbacks to all crossovers dependant on the Diameter At Breast Height (DBH) of any verge trees. Cottage & Engineering Surveys recommends contacting City Of Stirling to verify any verge tree details with their tree audit database before any design work is undertaken.



LOT MISCLOSE
0.002 m

SOIL DESCRIPTION
Sand / L/Stone(Poss)
See Survey



TOTAL SITE COVERAGE

ZONED	R30
% ALLOWED	55%
SITE AREA	765.36m ²
SITE COV. AREA	409.04m ²

SITE COV. =53.4%

UNIT 1 SITE COVERAGE

ZONED	R30
% ALLOWED	55%
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SITE COV. AREA	204.52m ²

SITE COV. =53.5%

UNIT 2 SITE COVERAGE

ZONED	R30
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SITE AREA	383.07m ²
SITE COV. AREA	204.52m ²

SITE COV. =53.4%

SITE PLAN - PROPOSED
1:200

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PROPOSED RESIDENCE ADDRESS:
Unit 1, LOT 617, (#11a) GWELUP ST
KARRINYUP
FOR:
GBN PROPERTY

SIGNATURES:

OWNER: _____
OWNER: _____
BUILDER: _____
DATE: _____

AMENDMENTS:

16/03/20	SS	PSV01
30/04/20	SS	Amendments
12/06/20	SS	Window transoms
03/07/20	SS	Update Wet Areas Tapware
22/7/20	GM	gpo's added

Custom

SHEET13 OF 14

DRN: SS

DATE: 14/01/20

SCALE:1:200

CONTRACT NO:
19029

