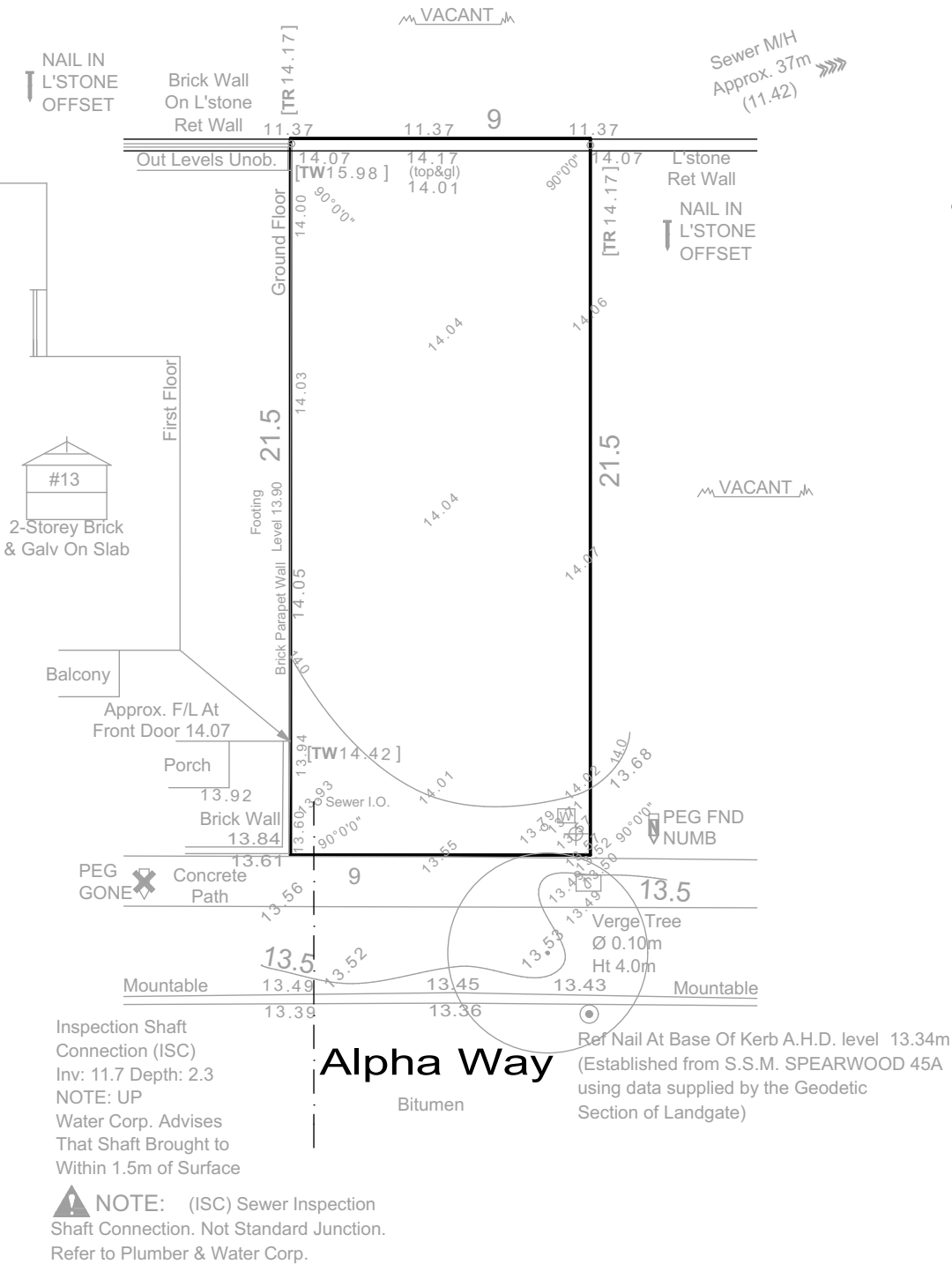


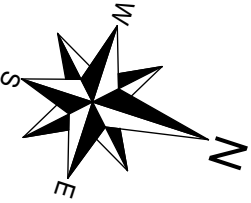
DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property. Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary. Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.



[TR 10.00] Top Retaining
[TF 10.00] Top Fence

DUG TO LEVEL
13.72 ON LOT
(SAND ONLY)



SITE SURVEY

SSA
AREA

LOT 834

COASTAL
YES
(Scaled from StreetSmart Directory
Only - Confirm With Shire)

#15 Alpha Way

Suburb North Coogee

Loc.Auth. CITY OF COCKBURN

D.Plan 402686 Volume 2854 Folio 618

Location Check Title

NOTE:
NOTIFICATION.
REFER TO SEC 70A T.L.A.
SEE DOCUMENT M783180
TRANSPORT NOISE

NOTE:
RESTRICTIVE COVENANT.
REFER TO SEC 136D T.L.A.
SEE DOCUMENT M793179

LOT MISCLOSE
0.000m

SOIL DESCRIPTION
Sand / L'Stone(Poss)
Light Grass Cover

Scale 1:200

0 2 4 6 8

Scale 1:200 Date: 21 May 19

Elec. ☒ U/Ground Water ☒ Yes Sewer ☒ Yes
Gas ☒ Check Your Lot With Alinta Call 13 13 58 Phone ☒ Yes
Road ☒ Bitumen Kerb ☒ Mountable Footpath ☒ Concrete
Drainage ☒ Good

NOTE : EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES. RETAINING NOT INCLUDED IN CONTRACT - REMAINS OWNERS RESPONSIBILITY. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. CHECK TITLE FOR EASEMENTS / COVENANTS ETC.



my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: Custom	Job No:19045	Drawing Name: EXISTING SITE PLAN	Sheet No: 1 of 22
Lot Address: LOT 834 (#15) ALPHA WAY, NORTH COOGEE		Council: COCKBURN	Specification: ULTRA
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT		VARIATIONS	
Client Name: K. JEFFREY		REV NO.	VARIATION
Signature: _____		1	WORKING DRAWINGS
Date: ____/____/____		2	A/C LAYOUT
Client Name: W. JEFFREY		3	VO 2
Signature: _____		4	PRESTART
Date: ____/____/____		5	VO 4 & 5
The home will be built to the dimensions on the working drawings within a reasonable tolerance		6	VO 6
This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed or copied without the permission in writing		7	SCHEDULING & ENGINEERING FIXUPS
		8	VO 9
		9	VO 10
		10	

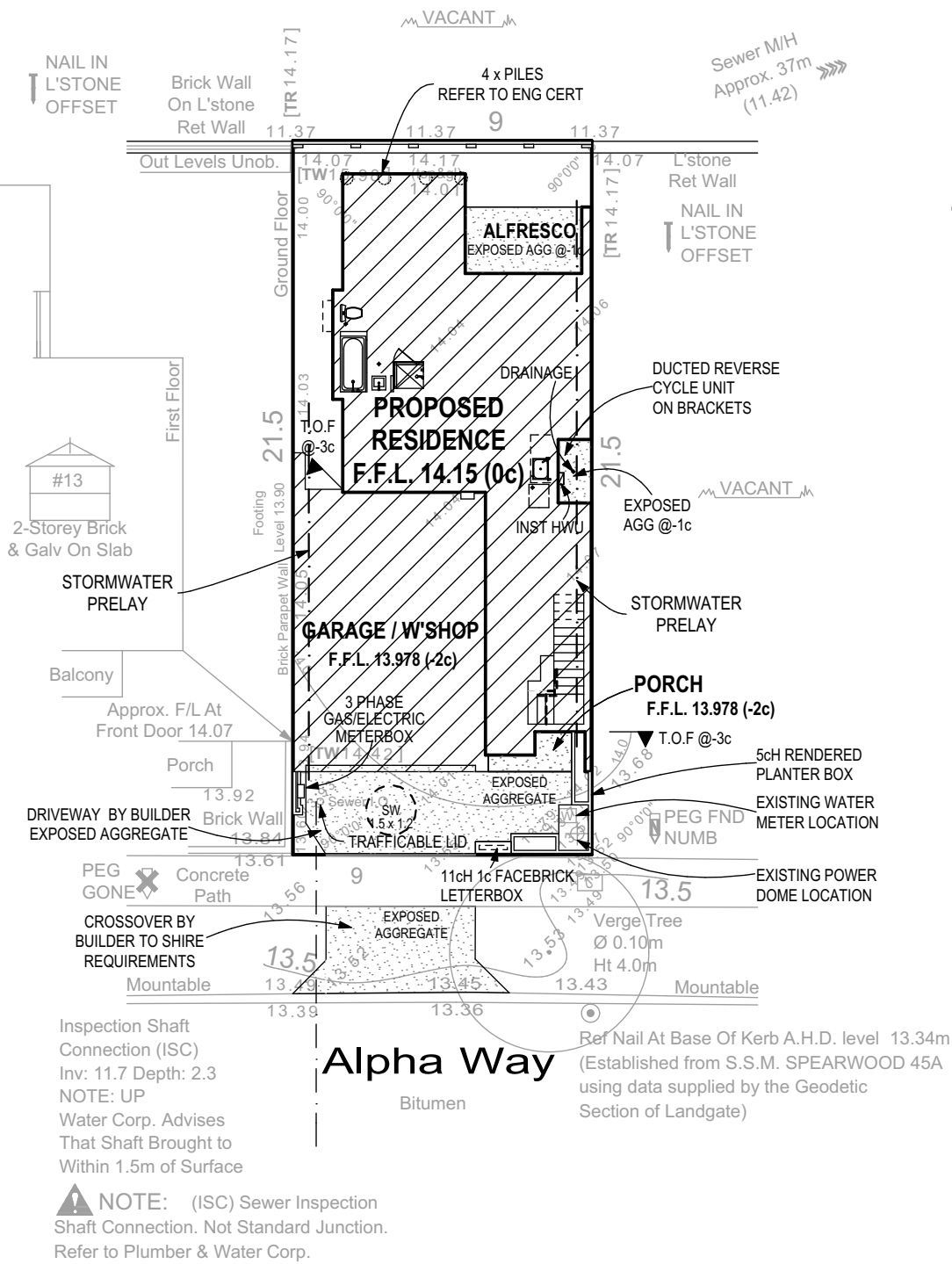
COTTAGE & ENGINEERING
SURVEYS
Licensed Surveyors

87-89 Guthrie Street, Osborne Park, Western Australia
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998
Email : perth@cottage.com.au Website: www.cottage.com.au
J/No: 453584 Drawn: J. Jee

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property. Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary. Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

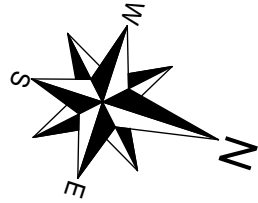
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No.	Soak Well Type
2.1 m3	1 SW 1500x1200
2.1 m3	Total Capacity
0.0 m2	Roof Area GF
162.5 m2	Roof Area UF
162.5 m2	Total Area
2.0 m3	Capacity Required (Area x 0.0125)
0.1 m3	Extra Capacity Provided



[TR 10.00] Top Retaining
[TF 10.00] Top Fence

DUG TO LEVEL
13.72 ON LOT
(SAND ONLY)



SITE SURVEY

SSA
AREA

LOT 834

COASTAL
YES
(Scaled from StreetSmart Directory
Only - Confirm With Shire)

#15 Alpha Way

Suburb North Coogee

Loc.Auth. CITY OF COCKBURN

D.Plan 402686 Volume 2854 Folio 618

Location Check Title

NOTE:
NOTIFICATION.
REFER TO SEC 70A T.L.A.
SEE DOCUMENT M783180
TRANSPORT NOISE

NOTE:
RESTRICTIVE COVENANT.
REFER TO SEC 136D T.L.A.
SEE DOCUMENT M793179

LOT MISCLOSE
0.000m

SOIL DESCRIPTION
Sand / L/Stone(Poss)
Light Grass Cover

Scale 1:200

0 2 4 6 8

Scale 1:200 Date: 21 May 19

Elec. ☒ U/Ground Water ☒ Yes Sewer ☒ Yes
Gas ☒ Check Your Lot With Alinta Phone ☒ Yes
Road ☒ Call 13 13 58 Comm ☒ Yes
Road ☒ Bitumen Kerb ☒ Mountable Drainage ☒ Good

REFER TO ENGINEERS
PLANS & ADDENDA

BAL 12.5

TERMITE TREATMENT IS TO BE
FULL TERMIMESH SYSTEM IN
ACCORDANCE WITH A.S. 3660.1

NOTE:
REFER TO SHEET 3 FOR
SETOUT & SETBACK DIMENSIONS

STORMWATER LAYOUT TO COMPLY
WITH BCA PART 3.1 & AS/NZ
3500.3.2003 PLUMBING & DRAINAGE
PART 3: STORMWATER DRAINAGE
& SHIRE REQUIREMENTS

COTTAGE & ENGINEERING
SURVEYS

Licensed Surveyors

87-89 Guthrie Street, Osborne Park, Western Australia
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998
Email : perth@cottage.com.au Website: www.cottage.com.au
J/No: 453584 Drawn: J. Jee

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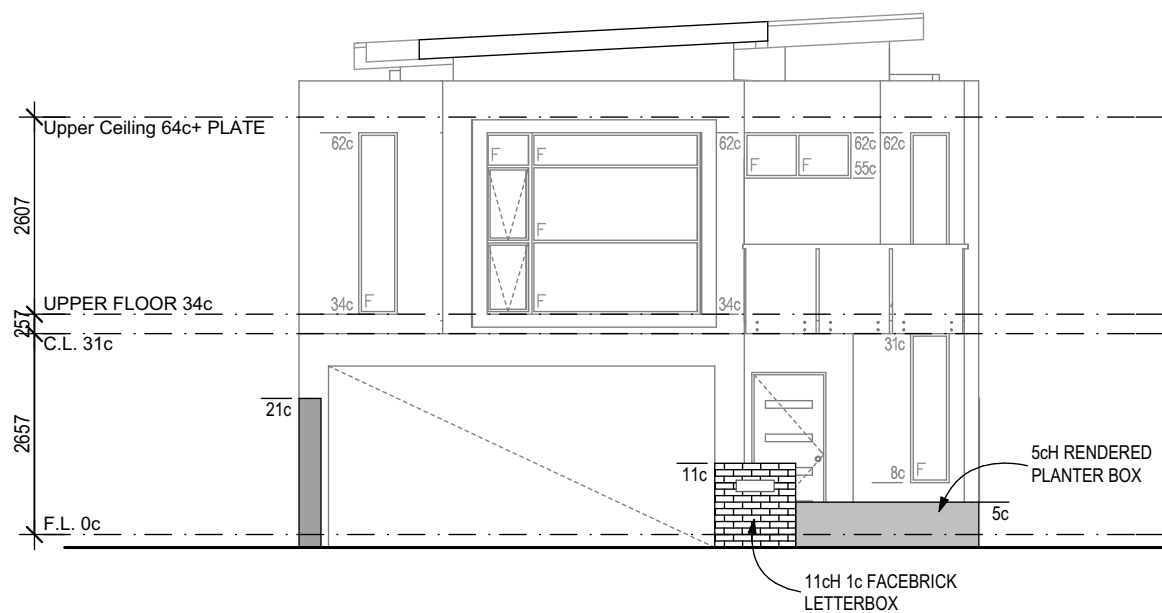
my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

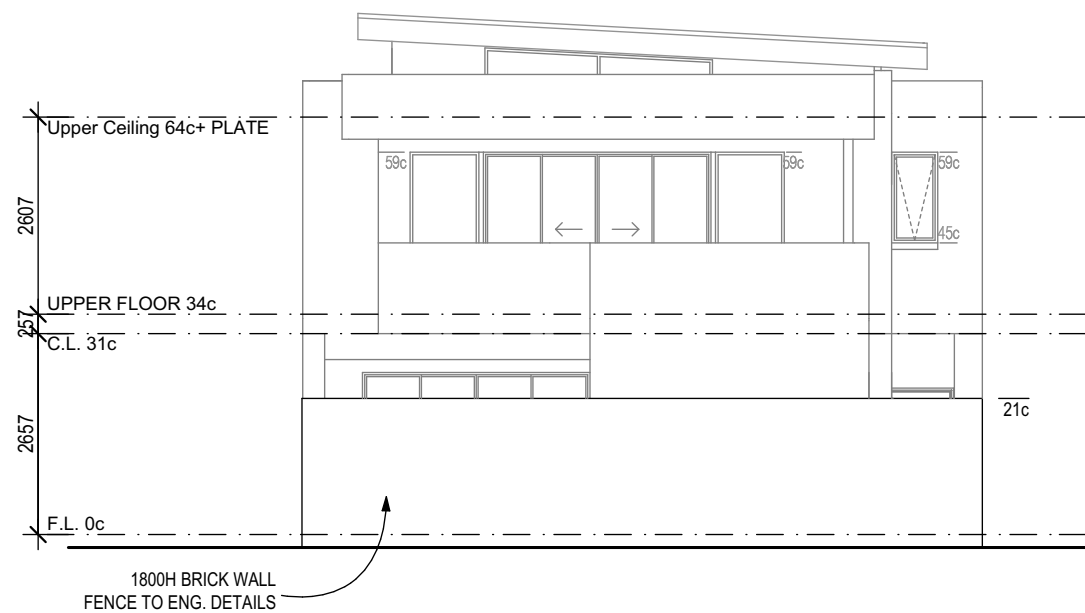
phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: Custom	Job No:19045	Drawing Name: SITE PLAN	Sheet No: 2 of 22
Lot Address: LOT 834 (#15) ALPHA WAY, NORTH COOGEE		Council: COCKBURN	Specification: ULTRA
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT		VARIATIONS	
Client Name: K. JEFFREY	Date: -----/-----/-----	REV NO.	VARIATION
Signature: -----		1	WORKING DRAWINGS
		2	A/C LAYOUT
		3	VO 2
Client Name: W. JEFFREY	Date: -----/-----/-----	4	PRESTART
Signature: -----		5	VO 4 & 5
		6	VO 6
		7	SCHEDULING & ENGINEERING FIXUPS
		8	VO 9
		9	VO 10
		10	
The home will be built to the dimensions on the working drawings within a reasonable tolerance		This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed or copied without the permission in writing	



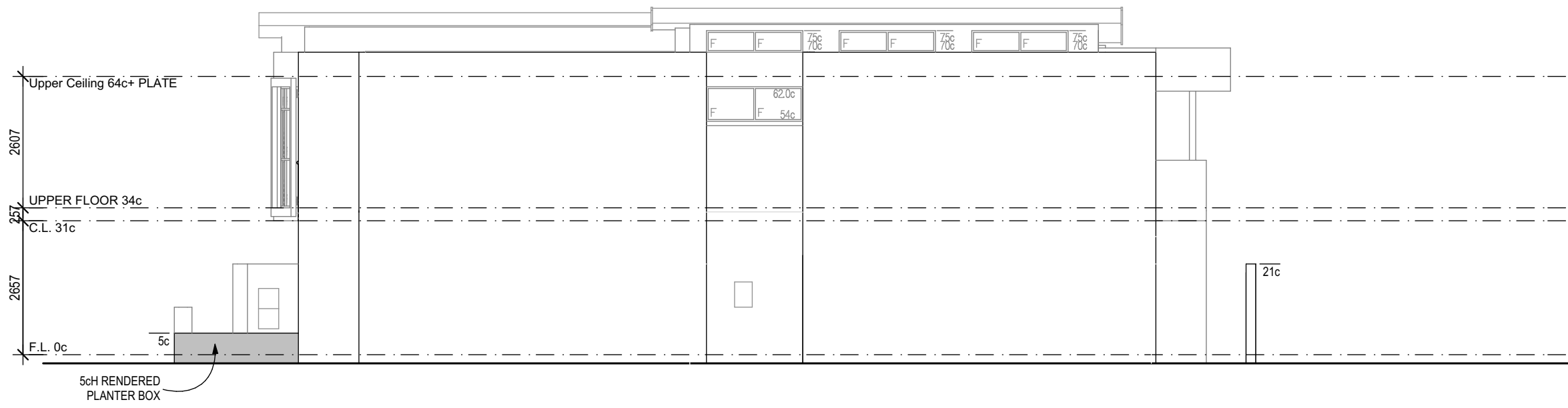
LANDSCAPE ELEVATION 1

1:100



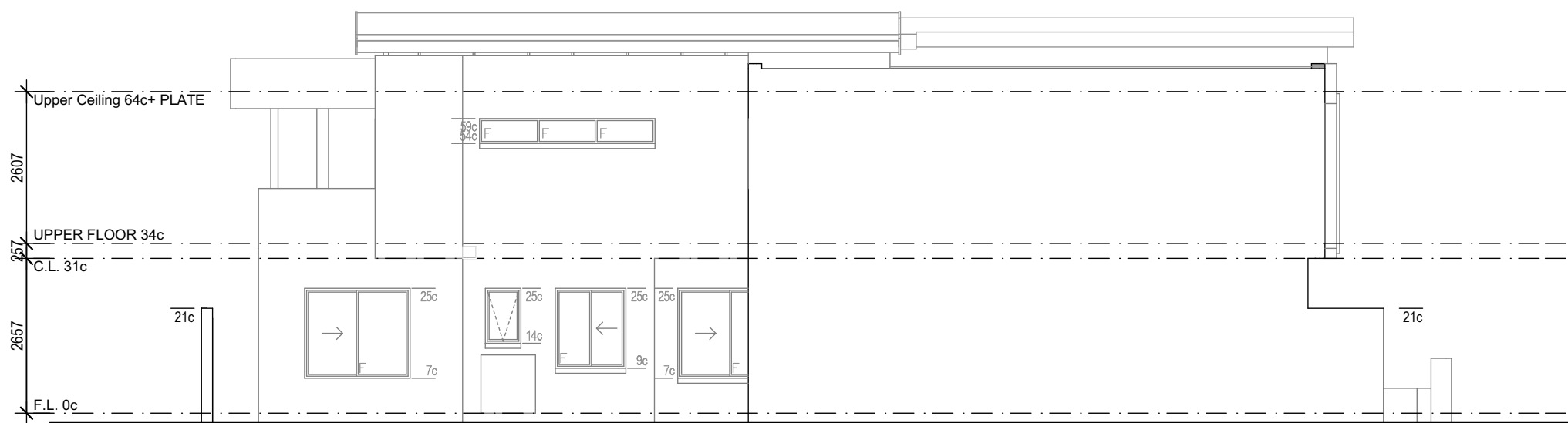
LANDSCAPE ELEVATION 3

1:100



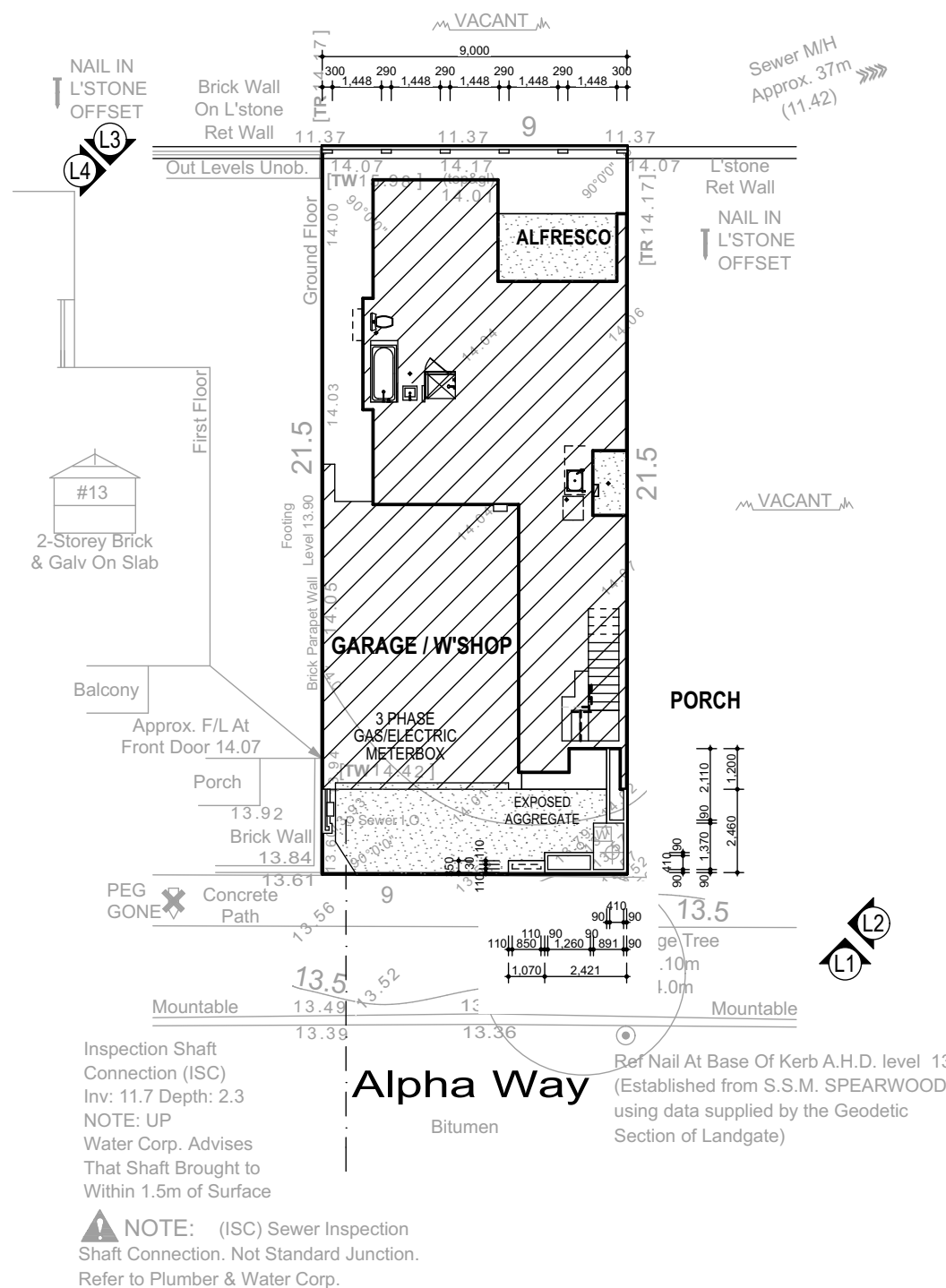
LANDSCAPE ELEVATION 2

1:100



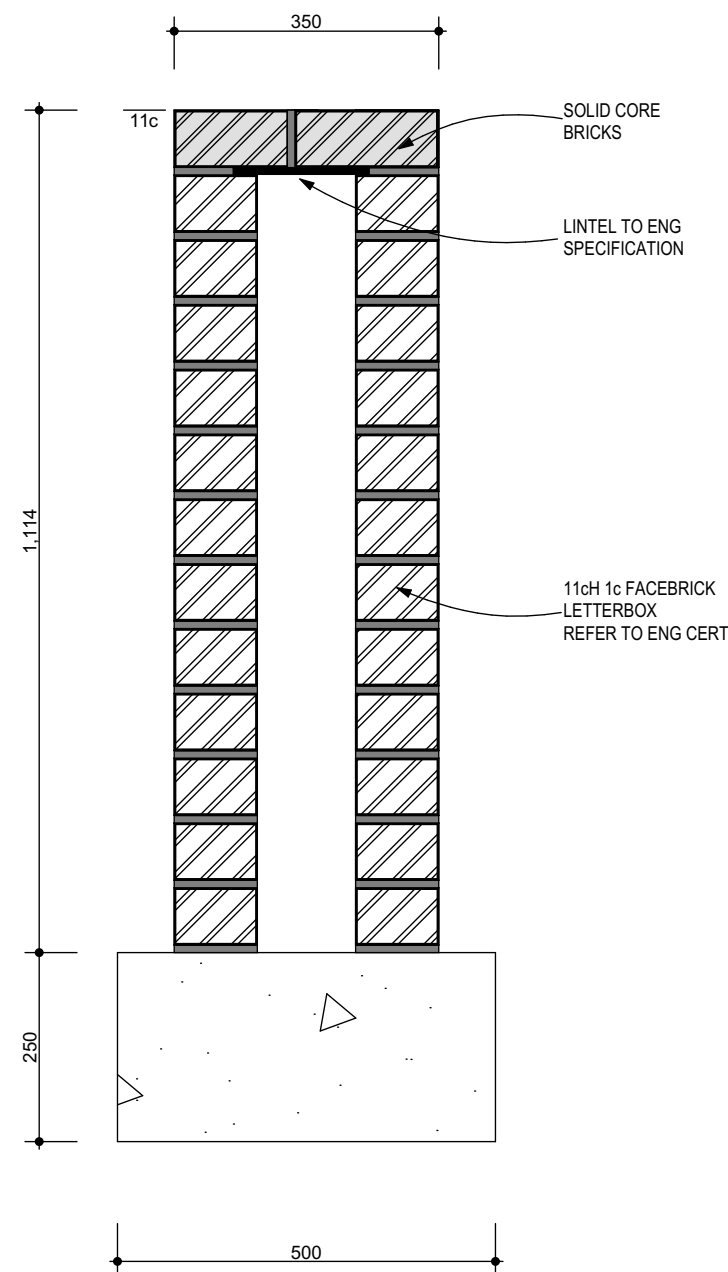
LANDSCAPE ELEVATION 4

1:100



Landscape Plan

1:200



LETTERBOX DETAIL

1:10



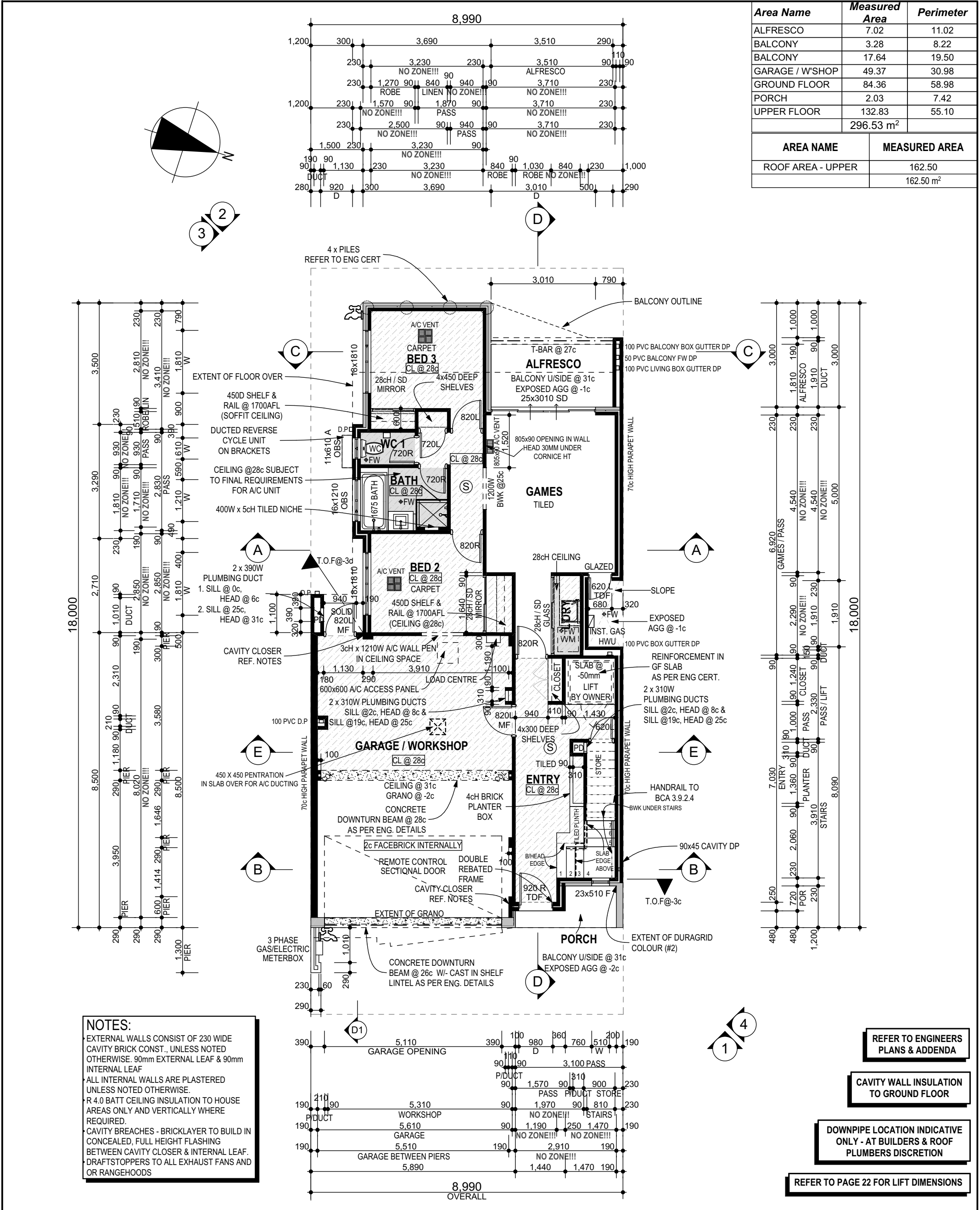
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WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

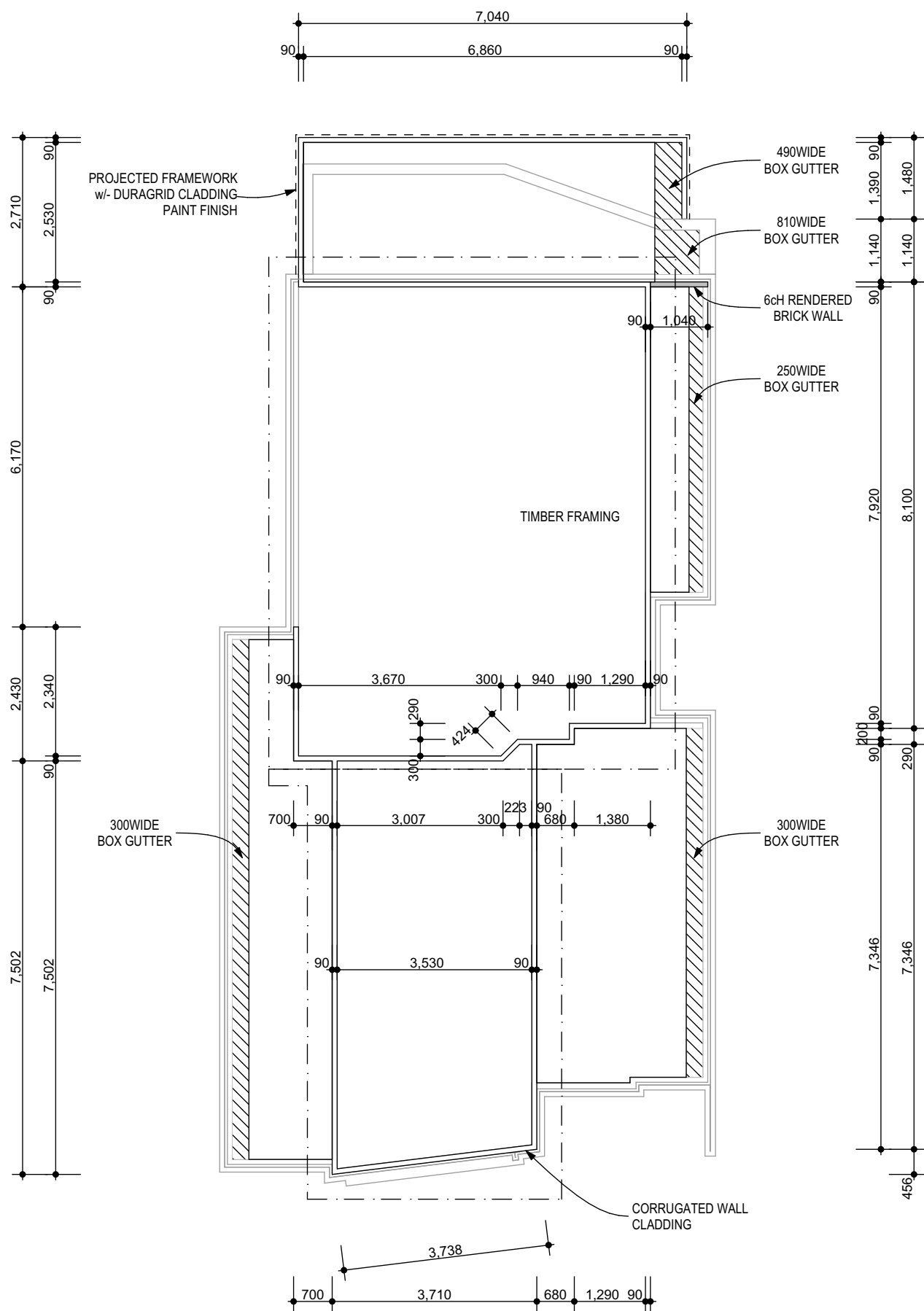
House Type: Custom	Job No:19045	Drawing Name: LANDSCAPE PLAN	Sheet No: 4 of 22
Lot Address:LOT 834 (#15) ALPHA WAY,NORTH COOGEE		Council: COCKBURN	Specification: ULTRA
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT		VARIATIONS	
Client Name: K. JEFFREY		REV NO.	DATE DRN.
Signature: _____		1	WORKING DRAWINGS
Date: _____		2	A/C LAYOUT
Client Name: W. JEFFREY		3	VO 2
Signature: _____		4	PRESTART
Date: _____		5	VO 4 & 5
The home will be built to the dimensions on the working drawings within a reasonable tolerance		6	VO 6
This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed or copied without the permission in writing		7	SCHEDULING & ENGINEERING FIXUPS
		8	VO 9
		9	VO 10
		10	





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WE TURN A HOUSE INTO A HOME
41 cedric st., stirling
phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: Custom	Job No: 19045	Drawing Name: GROUND FLOOR PLAN	Sheet No: 5 of 22
Lot Address: LOT 834 (#15) ALPHA WAY, NORTH COOGEE		Council: COCKBURN	Specification: ULTRA
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT		VARIATIONS	
Client Name: K. JEFFREY Signature: _____ Date: _____/_____/_____		REV NO.	VARIATION
Client Name: W. JEFFREY Signature: _____ Date: _____/_____/_____		1	WORKING DRAWINGS
The home will be built to the dimensions on the working drawings within a reasonable tolerance		2	A/C LAYOUT
		3	VO 2
This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed of copied without the permission in writing		4	PRESTART
		5	VO 4 & 5
		6	VO 6
		7	SCHEDULING & ENGINEERING FIXUPS
		8	VO 9
		9	VO 10
		10	



Roof Frame Layout

1:100

REFER TO ENGINEERS
PLANS & ADDENDA



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WE TURN A HOUSE INTO A HOME

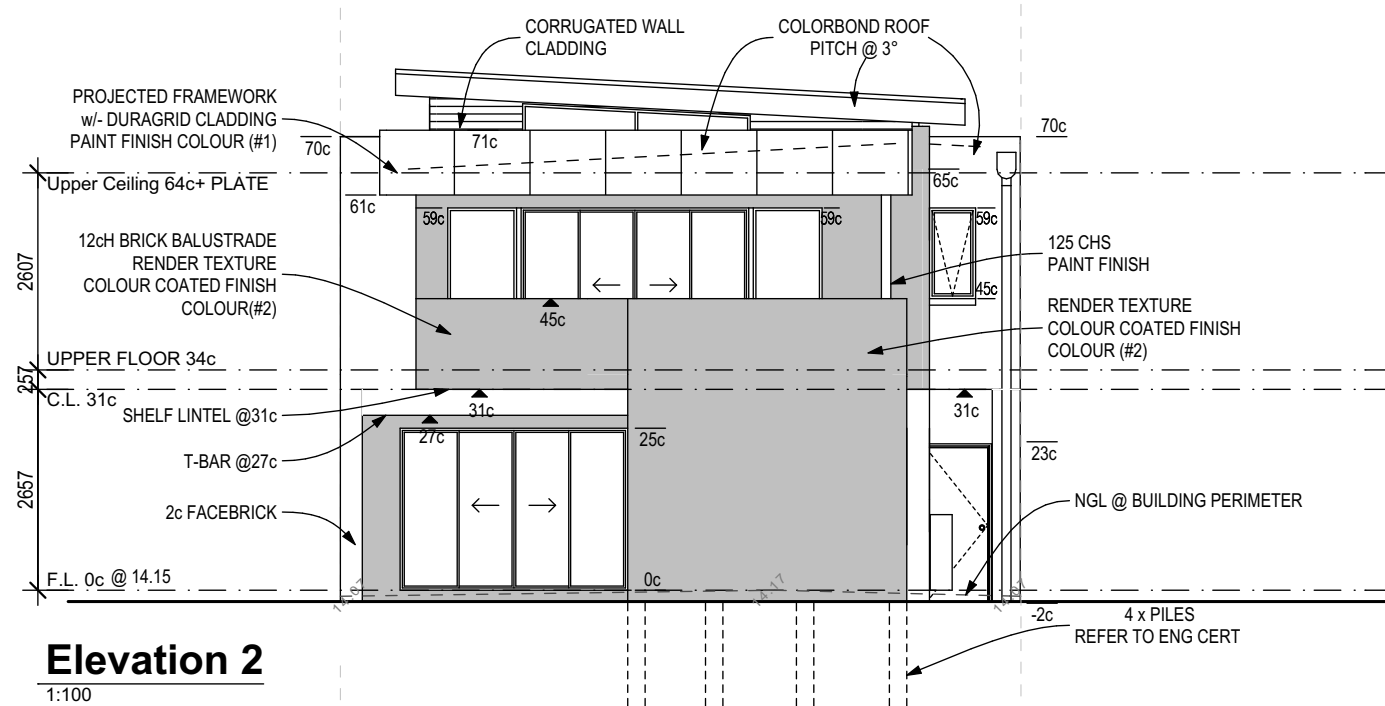
41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: Custom	Job No:19045	Drawing Name: ROOF TIMBER FRAME LAYOUT	Sheet No: 7 of 22
Lot Address:LOT 834 (#15) ALPHA WAY,NORTH COOGEE			Council: COCKBURN Specification: ULTRA
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT		VARIATIONS	
Client Name: K. JEFFREY		REV NO.	DATE DRN.
Signature: _____		1	09/08/19
Date: ____/____/____		2	18/09/19
		3	14/10/19
Client Name: W. JEFFREY		4	15/11/19
Signature: _____		5	28/11/19
Date: ____/____/____		6	17/12/19
		7	23/1/20
		8	19/2/20
		9	02/6/20
		10	
The home will be built to the dimensions on the working drawings within a reasonable tolerance		This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed or copied without the permission in writing	

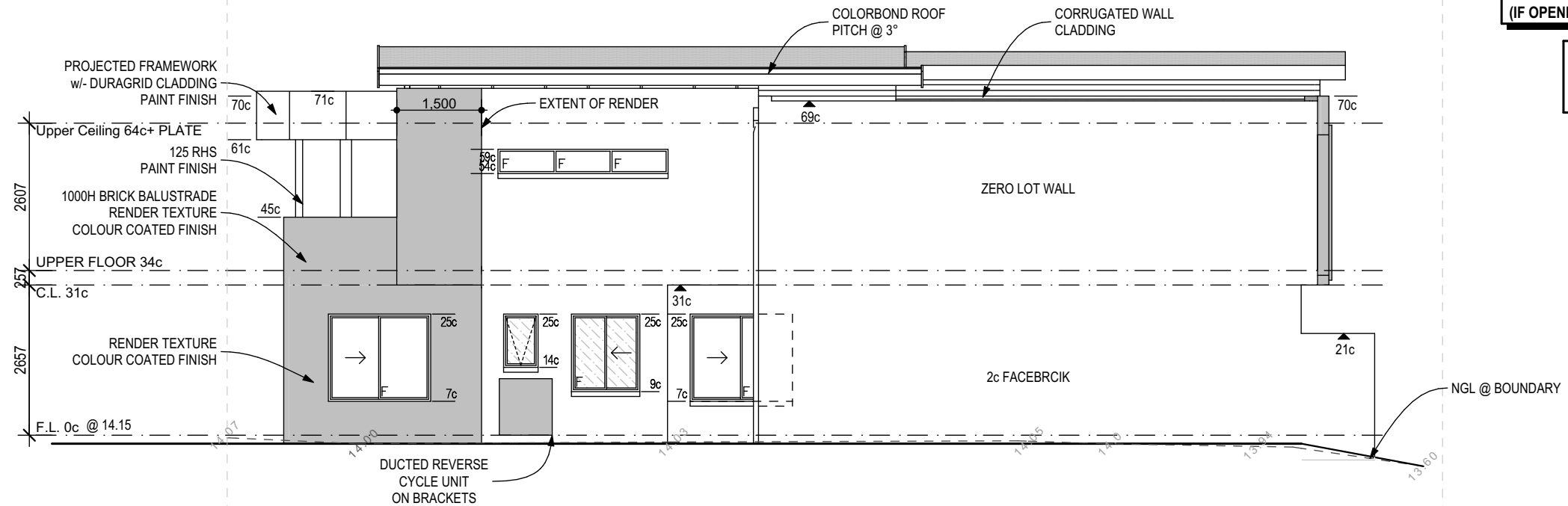
**REFER TO ENGINEERS
PLANS & ADDENDA**

Elevation 2



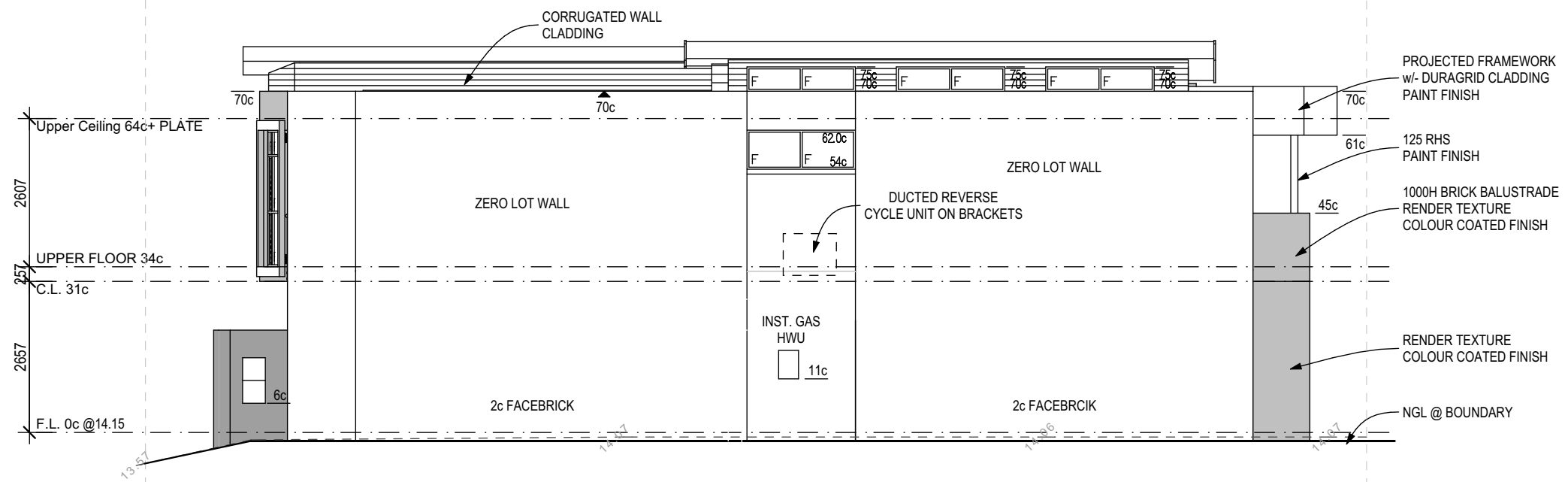
phone - (08) 9440 9200 fax - (08) 9440 9201

REV NO.	VARIATION	DATE DRN.	BY
1	WORKING DRAWINGS	09/08/19	MG
2	A/C LAYOUT	18/09/19	MG
3	VO 2	14/10/19	MG
4	PRESTART	15/11/19	MG
5	VO 4 & 5	28/11/19	MG
6	VO 6	17/12/19	AL
7	SCHEDULING & ENGINEERING FIXUPS	23/1/20	SA
8	VO 9	19/2/20	AL
9	VO 10	02/6/20	AL
10			



Elevation 3

1:100



Elevation 4

1:100

UPPER FLOOR BEDROOM WINDOW MUST HAVE 125mm MAX RESTRICTED OPENING OR FITTED WITH SUITABLE SCREEN (IF OPENING SILL IS UNDER 1700 AFL)

31c CEILING TO GROUND FLOOR
30c CEILING TO UPPER FLOOR
UNLESS OTHERWISE NOTED

COLORBOND ROOF @3 DEG

REFER TO ENGINEERS
PLANS & ADDENDA



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WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: Custom	Job No:19045	Drawing Name: ELEVATIONS 3-4	Sheet No: 9 of 22
Lot Address: LOT 834 (#15) ALPHA WAY, NORTH COOGEE		Council: COCKBURN	Specification: ULTRA
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT		VARIATIONS	
Client Name: K. JEFFREY	Date: -----/-----/-----	REV NO.	DATE DRN.
Signature: -----		1	09/08/19
		2	18/09/19
		3	14/10/19
Client Name: W. JEFFREY	Date: -----/-----/-----	4	15/11/19
Signature: -----		5	28/11/19
		6	17/12/19
		7	23/1/20
		8	19/2/20
		9	02/6/20
		10	
The home will be built to the dimensions on the working drawings within a reasonable tolerance		This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed or copied without the permission in writing	

- POWER POINT AND LIGHT LOCATIONS MAY CHANGE DUE TO ELECTRICAL LAWS OF WA
- DIMENSIONS SHOWN ARE TO THE CENTRELINE OF GPO's
- LIGHT SWITCHES ARE TO BE 1200 AFL OR OTHERWISE NOTED
- DRAFTSTOPPERS TO ALL EXHAUST FANS AND OR RANGEHOODS

- GARAGE CEILING GPO
- (2) ENTRY LIGHTS INSIDE
- (2) STAIR WALL LIGHTS
- (2) PORCH & BALCONY LIGHTS
- (2) KITCHEN ISLAND BENCH LIGHTS
- (1) MASTER BEDROOM LIGHT

F.L.

* NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO.	Subtotal:	165	0.201
PERIMETER LIGHTING MIN. 40 LUMENS/W.			

Wattage Calculations (Class 1)		Allowed Wattage	Actual Wattage
Story Name	Area		
2 UPPER FLOOR	0.00 Sqm	0 w	390 w
0 F.L.	0.00 Sqm	0 w	165 w
	0.00 sqm	0 w	555 w

Total Insulation Area	0.00 sqm	0.000 sqm	0.594 sqm	
	0.00 sqm	0.000 sqm	0.594 sqm	

CLIENT NOTE: MAX WATTAGE AND PENETRATIONS MUST NOT BE EXCEEDED



House Type: Custom		Job No:19045		Drawing Name: GF ELECTRICAL LAYOUTS		Sheet No: 10 of 22	
Lot Address:LOT 834 (#15) ALPHA WAY,NORTH COOGEE				Council: COCKBURN		Specification: ULTRA	
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT				VARIATIONS			
Client Name: K. JEFFREY Signature: _ _ _ _ _		Date: ____/____/____		REV NO.	VARIATION	DATE DRN.	BY
				1	WORKING DRAWINGS	09/08/19	MG
Client Name: W. JEFFREY Signature: _ _ _ _ _		Date: ____/____/____		2	A/C LAYOUT	18/09/19	MG
				3	VO 2	14/10/19	MG
				4	PRESTART	15/11/19	MG
				5	VO 4 & 5	28/11/19	MG
				6	VO 6	17/12/19	AL
				7	SCHEDULING & ENGINEERING FIXUPS	23/1/20	SA
				8	VO 9	19/2/20	AL
				9	VO 10	02/6/20	AL
The home will be built to the dimensions on the working drawings within a reasonable tolerance		This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed of or copied without the permission in writing		10			

ELECTRICAL NOTE :

- POWER POINT AND LIGHT LOCATIONS MAY CHANGE DUE TO ELECTRICAL LAWS OF WA
- DIMENSIONS SHOWN ARE TO THE CENTRELINE OF GPO's
- LIGHT SWITCHES ARE TO BE 1200 AFL OR OTHERWISE NOTED
- DRAFTSTOPPERS TO ALL EXHAUST FANS AND OR RANGEHOODS

ELECTRICAL LEGEND

UPPER FLOOR

Qty	Sym.	Description	Watts	Insulation Penetrations
1		WEATHER PROOF UP/DOWN WALL LIGHT 100L @ 1800 AFL Perimeter Lighting	0*	*
19	● 15w	RECESSED LED DOWN-LIGHT	285	0.252
4		LED DOWNLIGHT TO U/SIDE OF OHEADS	60	
2		LED 7STL WITH DRIVER	0	0.035
2		FAN/LIGHT COMBO (15w)	30	0.090
1	○ 15w	CEILING LIGHT (15w)	15	
1		2x HEATER/FAN/LIGHT	0	
1		TV POINT	0	
4		SINGLE GPO @ NOTED HT	0	
1		SINGLE CIRCUIT GPO	0	
8		DOUBLE GPO @ NOTED HT	0	
1		DOUBLE GPO @ NOTED HT W/USB	1	
4		DOUBLE GPO @ 300 AFL	0	
2	⊙	CONDUIT (32mm)	0	
1		A/C CONTROLLER	0	
3	⊙	25mm CONDUIT	0	
1		15 AMP LIFT POWER PROVISION	0	
1	▽	Phone Point	0	
1		CAMERA WIRE	0	
1		ALARM WIRE	0	

* NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. Subtotal: 391 0.378

PERIMETER LIGHTING MIN. 40 LUMENS/W.

Total Class 1 Wattage= 556

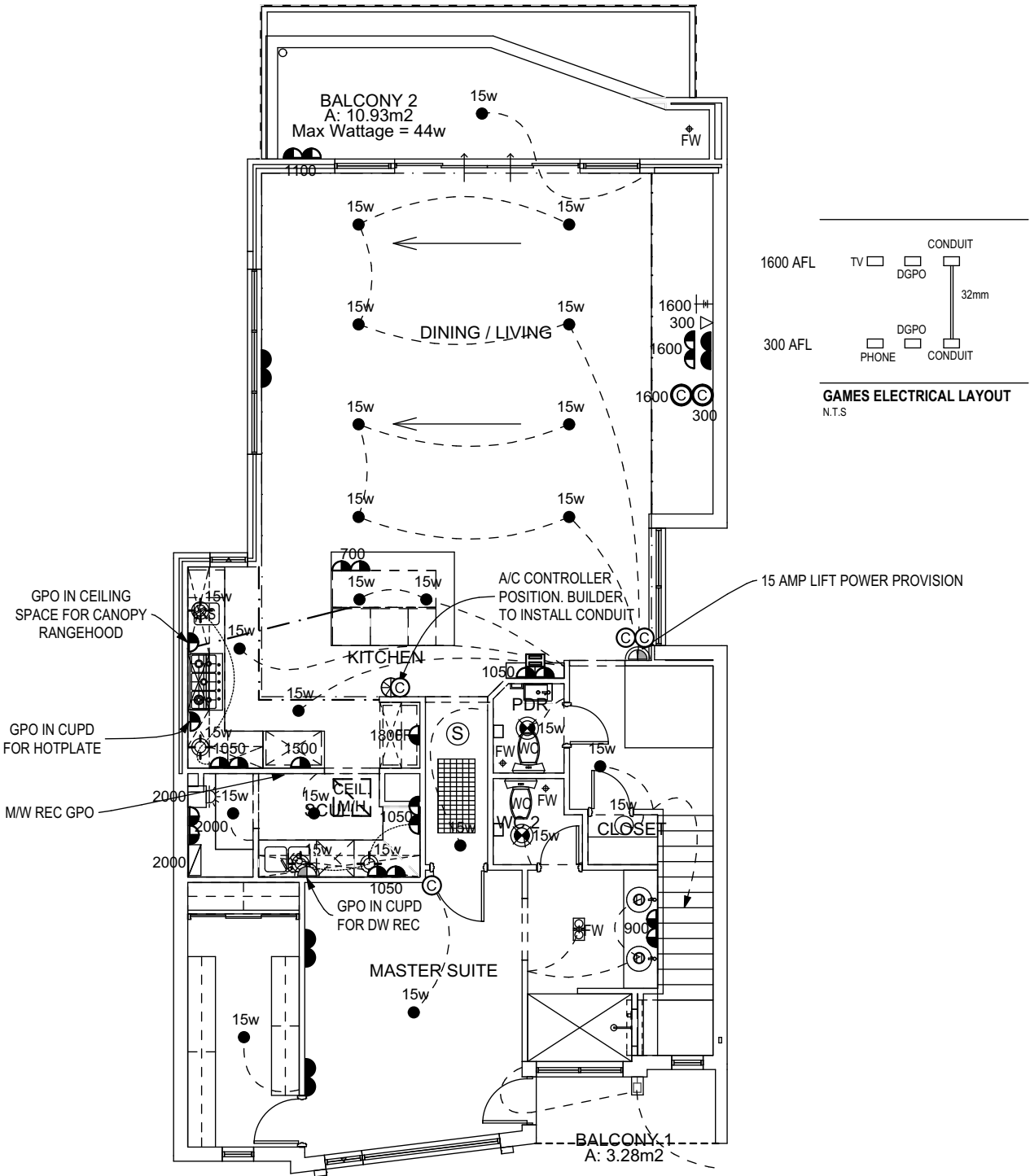
Wattage Calculations (Class 1)

Story Name	Area	Allowed Wattage	Actual Wattage
2 UPPER FLOOR	0.00 Sqm	0 w	391 w
0 F.L.	0.00 Sqm	0 w	165 w

Recessed Fitting Penetrations (Class 1)

Story Name	Area	Maximum Penetrations	Actual Penetrations
Total Insulation Area	0.00 sqm	0.000 sqm	0.579 sqm
	0.00 sqm	0.000 sqm	0.579 sqm

No Penetration Area Fill Found
Use '4D Insulation Area' or '4D Wattage and Insulation Area' Fills



REFER TO PAGE 22 FOR LIFT DIMENSIONS



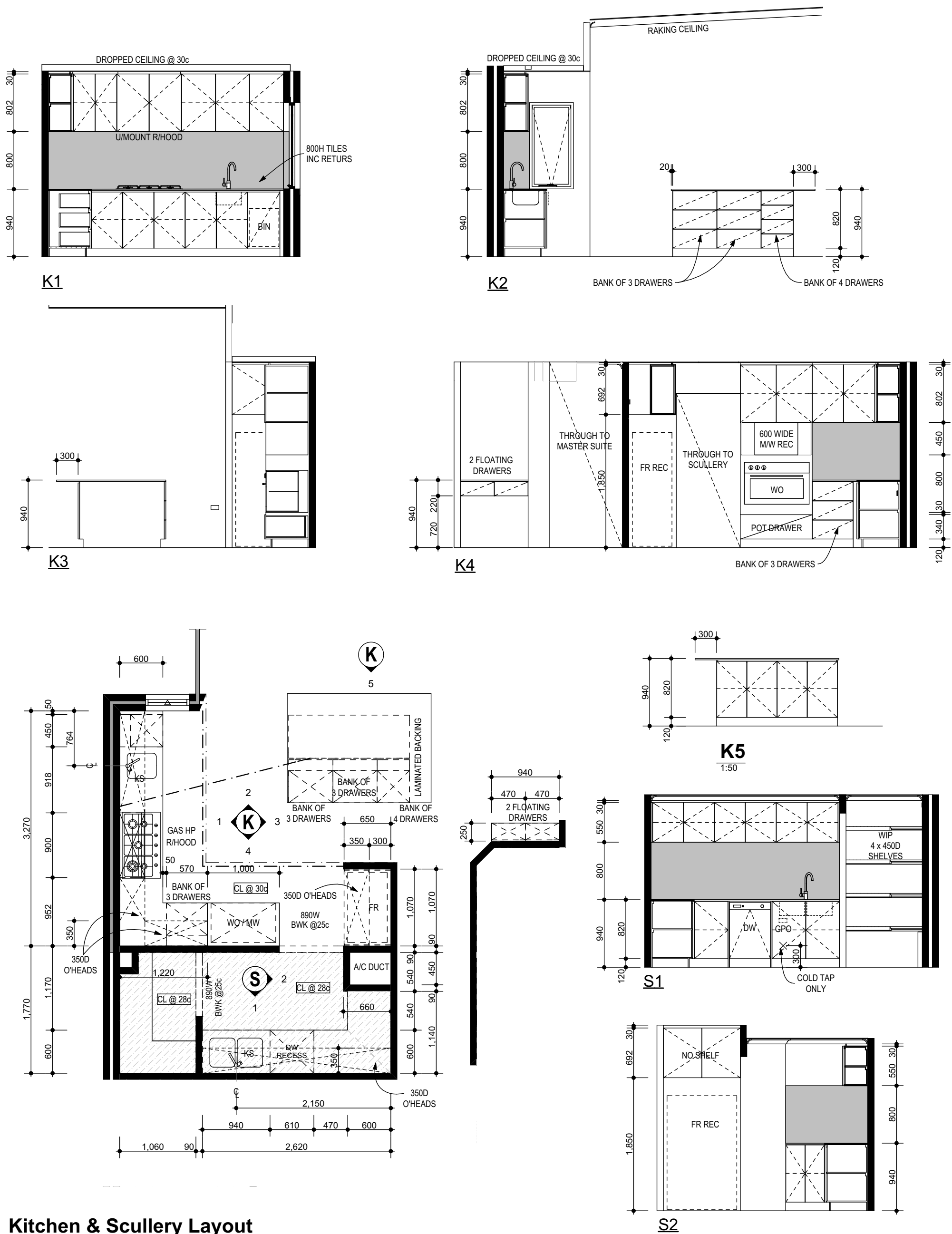
my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: Custom	Job No:19045	Drawing Name: UF ELECTRICAL LAYOUTS	Sheet No: 11 of 22
Lot Address:LOT 834 (#15) ALPHA WAY,NORTH COOGEE		Council: COCKBURN	Specification: ULTRA
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT		VARIATIONS	
Client Name: K. JEFFREY		REV NO.	VARIATION
Signature: _____		1	WORKING DRAWINGS
Date: _____/_____/_____		2	A/C LAYOUT
Client Name: W. JEFFREY		3	VO 2
Signature: _____		4	PRESTART
Date: _____/_____/_____		5	VO 4 & 5
The home will be built to the dimensions on the working drawings within a reasonable tolerance		6	VO 6
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		8	VO 9
		9	VO 10
		10	



Kitchen & Scullery Layout

1:50



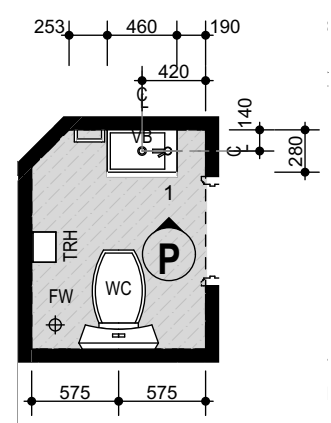
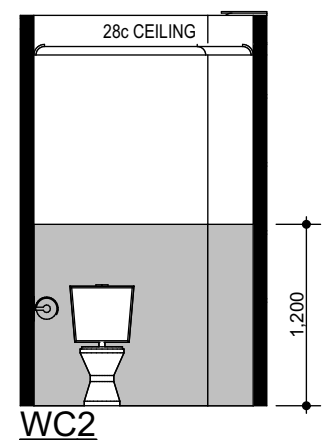
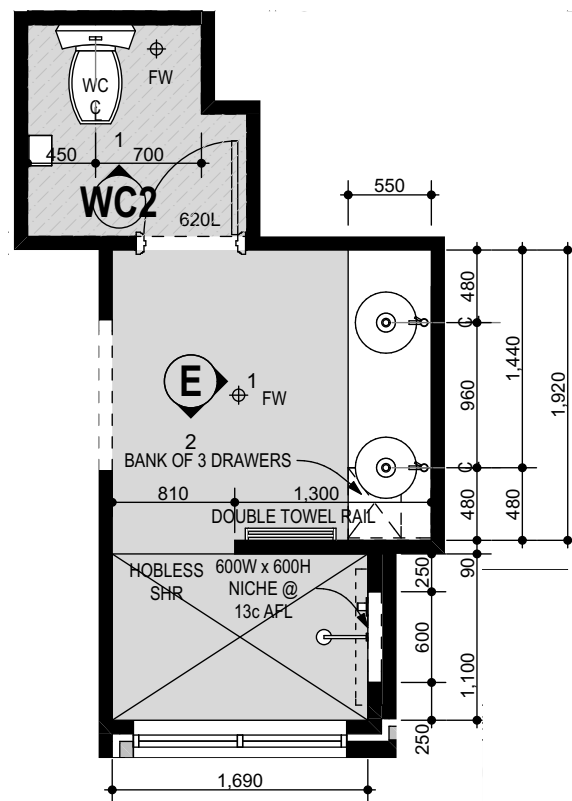
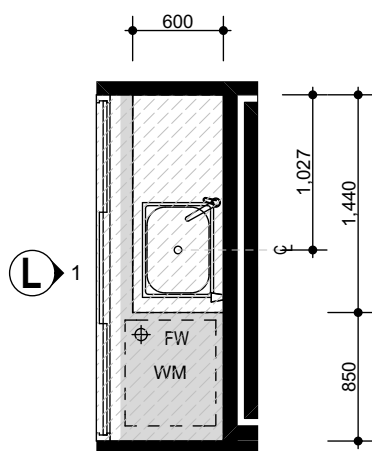
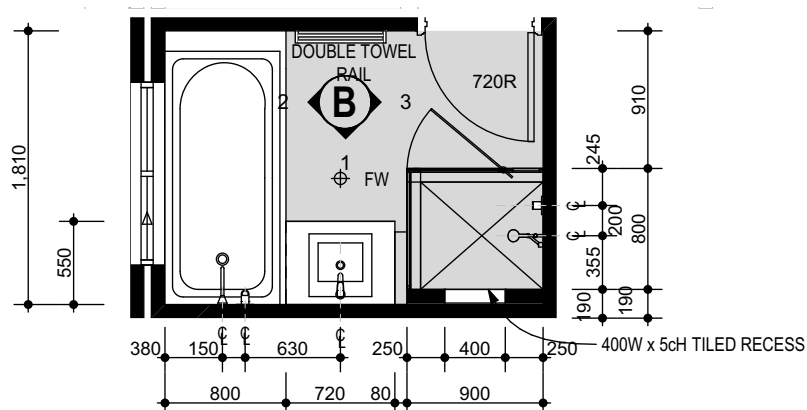
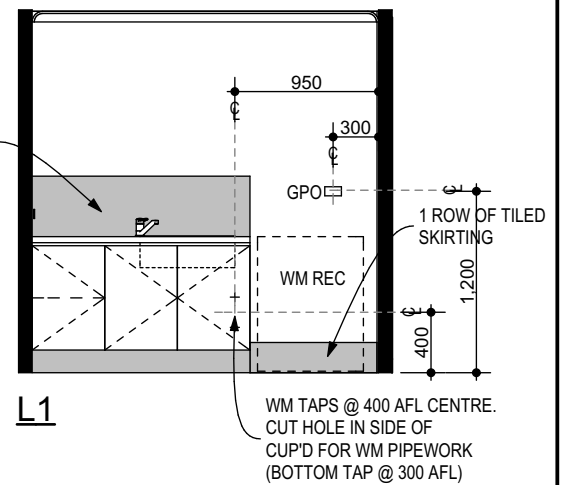
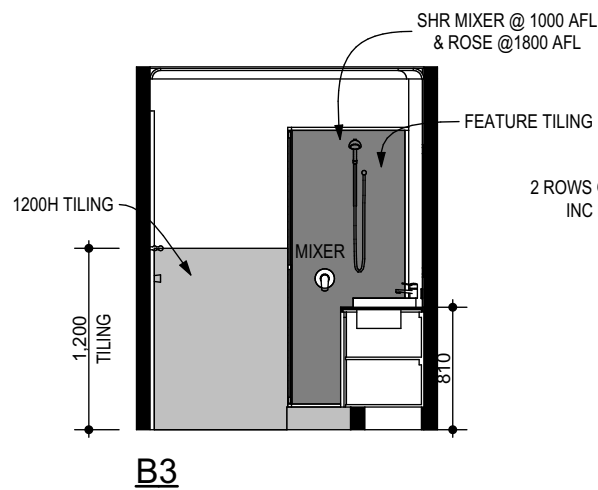
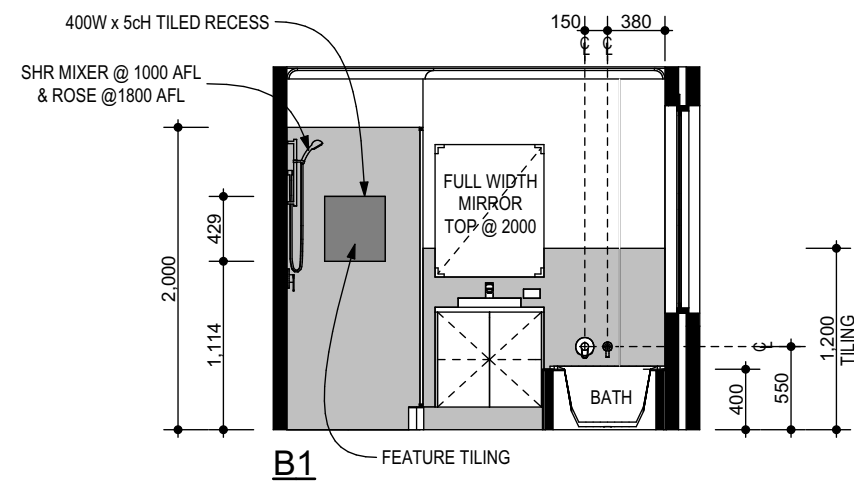
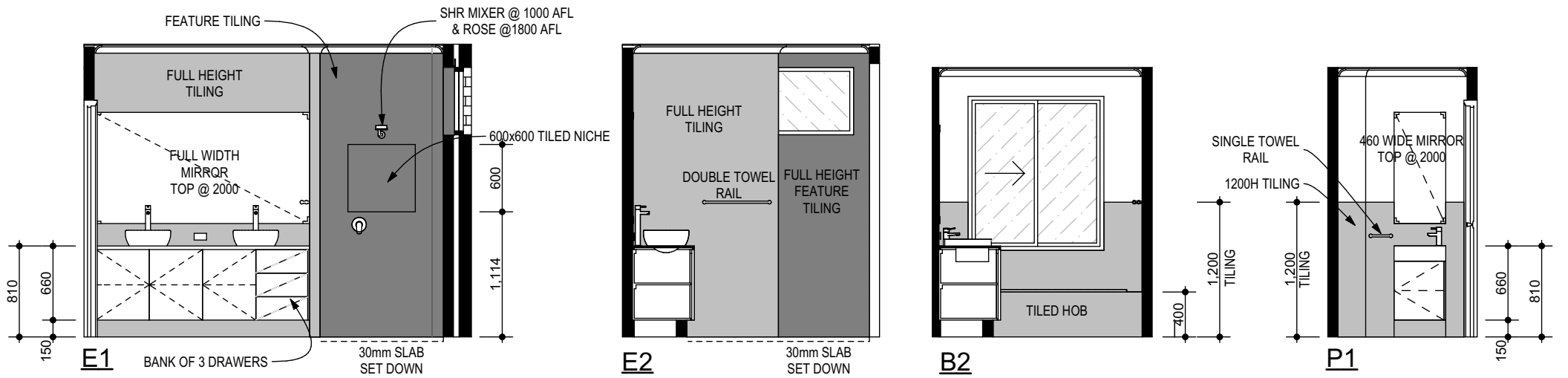
my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: Custom	Job No:19045	Drawing Name: ROOM LAYOUTS 1	Sheet No: 12 of 22
Lot Address:LOT 834 (#15) ALPHA WAY,NORTH COOGEE			Council: COCKBURN Specification: ULTRA
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT			VARIATIONS
Client Name: K. JEFFREY		Date: -----/-----/-----	REV NO. VARIATION DATE DRN. BY
Signature: -----			1 WORKING DRAWINGS 09/08/19 MG
Client Name: W. JEFFREY		Date: -----/-----/-----	2 A/C LAYOUT 18/09/19 MG
Signature: -----			3 VO 2 14/10/19 MG
The home will be built to the dimensions on the working drawings within a reasonable tolerance		This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed or copied without the permission in writing	4 PRESTART 15/11/19 MG
			5 VO 4 & 5 28/11/19 MG
			6 VO 6 17/12/19 AL
			7 SCHEDULING & ENGINEERING FIXUPS 23/1/20 SA
			8 VO 9 19/2/20 AL
			9 VO 10 02/6/20 AL
			10



Laundry Layout
1:50

Ensuite Layout
1:50

Pdr Layout
1:50

NOTE:
1200H WALL TILING TO UNSUITE WC,
POWDER ROOM & BATHROOM

REFLUX VALVE
REQUIRED

NOTE:
FULL HEIGHT
TILING TO ENSUITE

NOTE:
PROVIDE 12mm ANGLE TRIM TO ENSUITE,
LAID TO EDGES OF SHOWER NICHE

NOTE:
MITRED EDGE TILING
TO SHOWER HOBS



my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

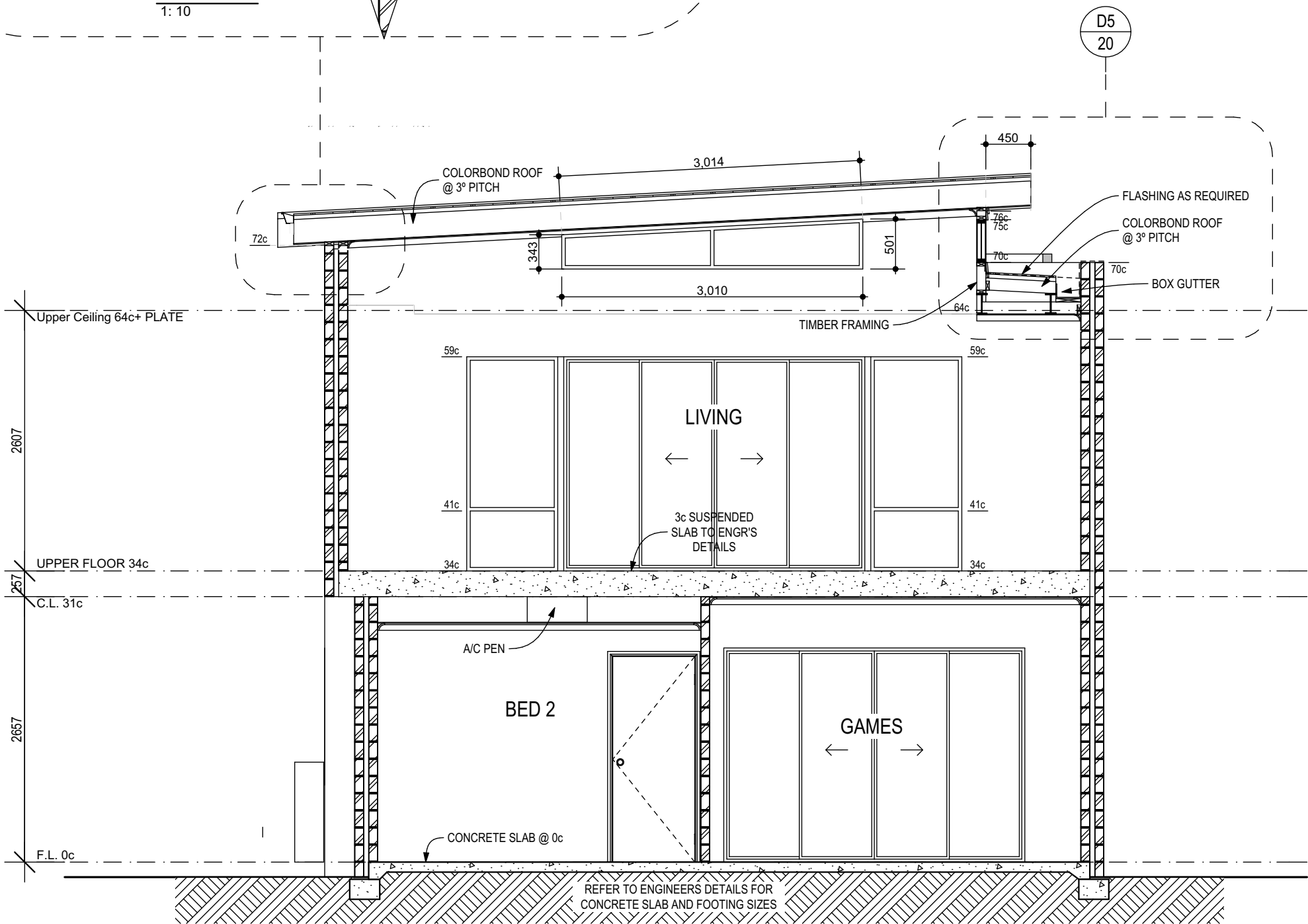
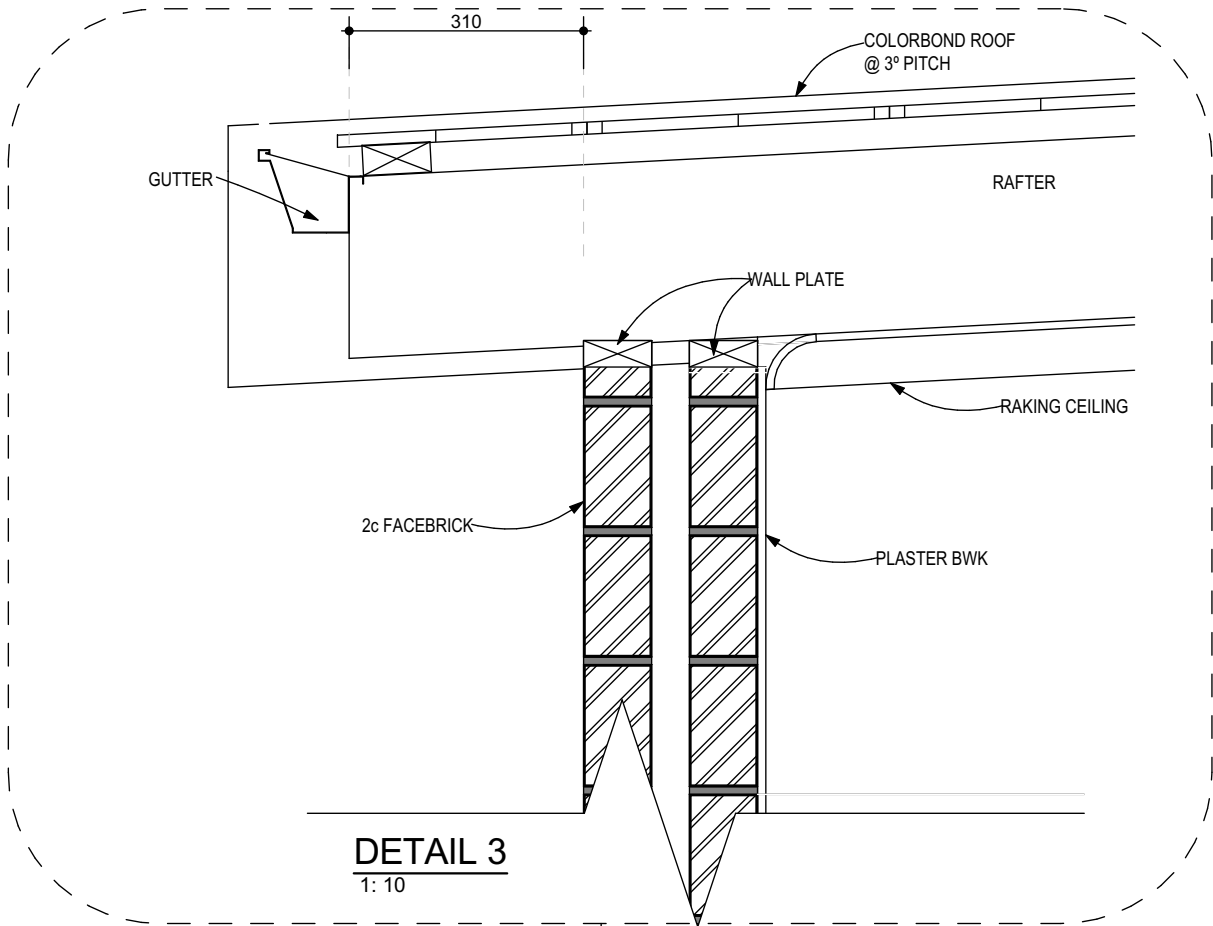
House Type: Custom	Job No:19045	Drawing Name: ROOM LAYOUTS 2	Sheet No: 13 of 22
Lot Address: LOT 834 (#15) ALPHA WAY, NORTH COOGEE		Council: COCKBURN	Specification: ULTRA
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT		VARIATIONS	
Client Name: K. JEFFREY		REV NO.	VARIATION
Signature: _____		1	WORKING DRAWINGS
Date: ____/____/____		2	A/C LAYOUT
Client Name: W. JEFFREY		3	VO 2
Signature: _____		4	PRESTART
Date: ____/____/____		5	VO 4 & 5
The home will be built to the dimensions on the working drawings within a reasonable tolerance		6	VO 6
This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed or copied without the permission in writing		7	SCHEDULING & ENGINEERING FIXUPS
		8	VO 9
		9	VO 10
		10	
		DATE DRN.	BY
		09/08/19	MG
		18/09/19	MG
		14/10/19	MG
		15/11/19	MG
		28/11/19	MG
		17/12/19	AL
		23/1/20	SA
		19/2/20	AL
		02/6/20	AL

UPPER FLOOR BEDROOM WINDOW MUST
HAVE 125mm MAX RESTRICTED OPENING
OR FITTED WITH SUITABLE SCREEN
(IF OPENING SILL IS UNDER 1700 AFL)

31c CEILING TO GROUND FLOOR
30c CEILING TO UPPER FLOOR
UNLESS OTHERWISE NOTED

COLORBOND ROOF @3 DEG

REFER TO ENGINEERS
PLANS & ADDENDA



Section A-A

1:50



my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: Custom

Job No:19045

Drawing Name: SECTION A-A

Sheet No: 15 of 22

Lot Address: LOT 834 (#15) ALPHA WAY, NORTH COOGEE

Council: COCKBURN

Specification: ULTRA

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT

Client Name: K. JEFFREY

Date: -----/-----/-----

Signature: -----

Client Name: W. JEFFREY

Date: -----/-----/-----

Signature: -----

The home will be built to the dimensions on the
working drawings
within a reasonable tolerance

This plan shall remain the sole property of the builder
and must not be given, lent, resold or otherwise
disposed or copied without the permission in writing

VARIATIONS

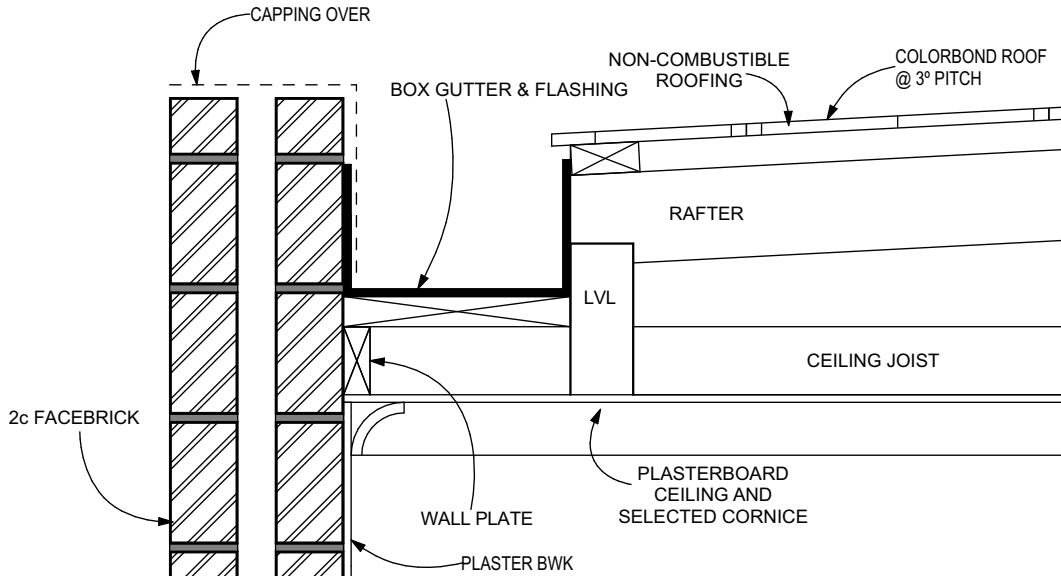
REV NO.	VARIATION	DATE DRN.	BY
1	WORKING DRAWINGS	09/08/19	MG
2	A/C LAYOUT	18/09/19	MG
3	VO 2	14/10/19	MG
4	PRESTART	15/11/19	MG
5	VO 4 & 5	28/11/19	MG
6	VO 6	17/12/19	AL
7	SCHEDULING & ENGINEERING FIXUPS	23/1/20	SA
8	VO 9	19/2/20	AL
9	VO 10	02/6/20	AL
10			

COLORBOND ROOF @3 DEG

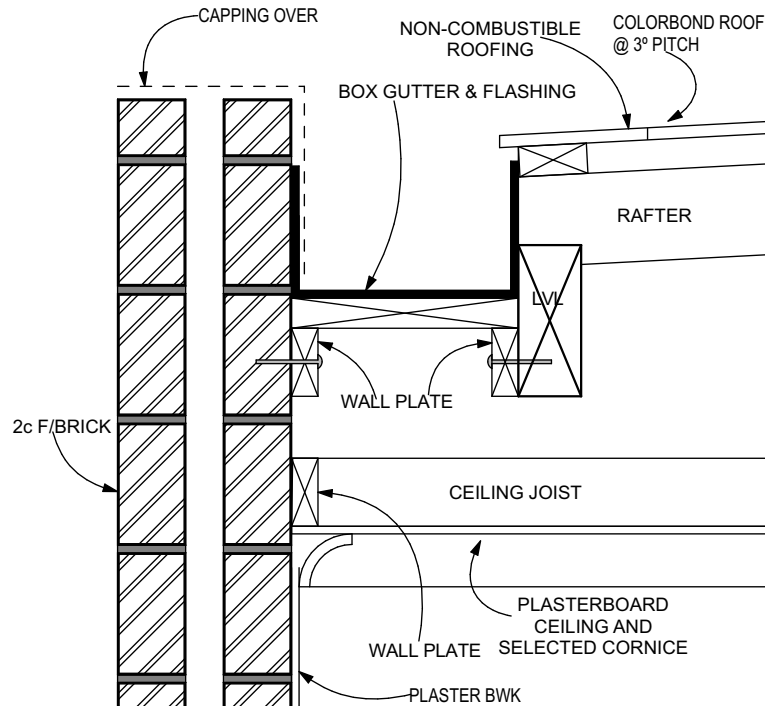
REFER TO ENGINEERS
PLANS & ADDENDA

31c CEILING TO GROUND FLOOR
30c CEILING TO UPPER FLOOR
UNLESS OTHERWISE NOTED

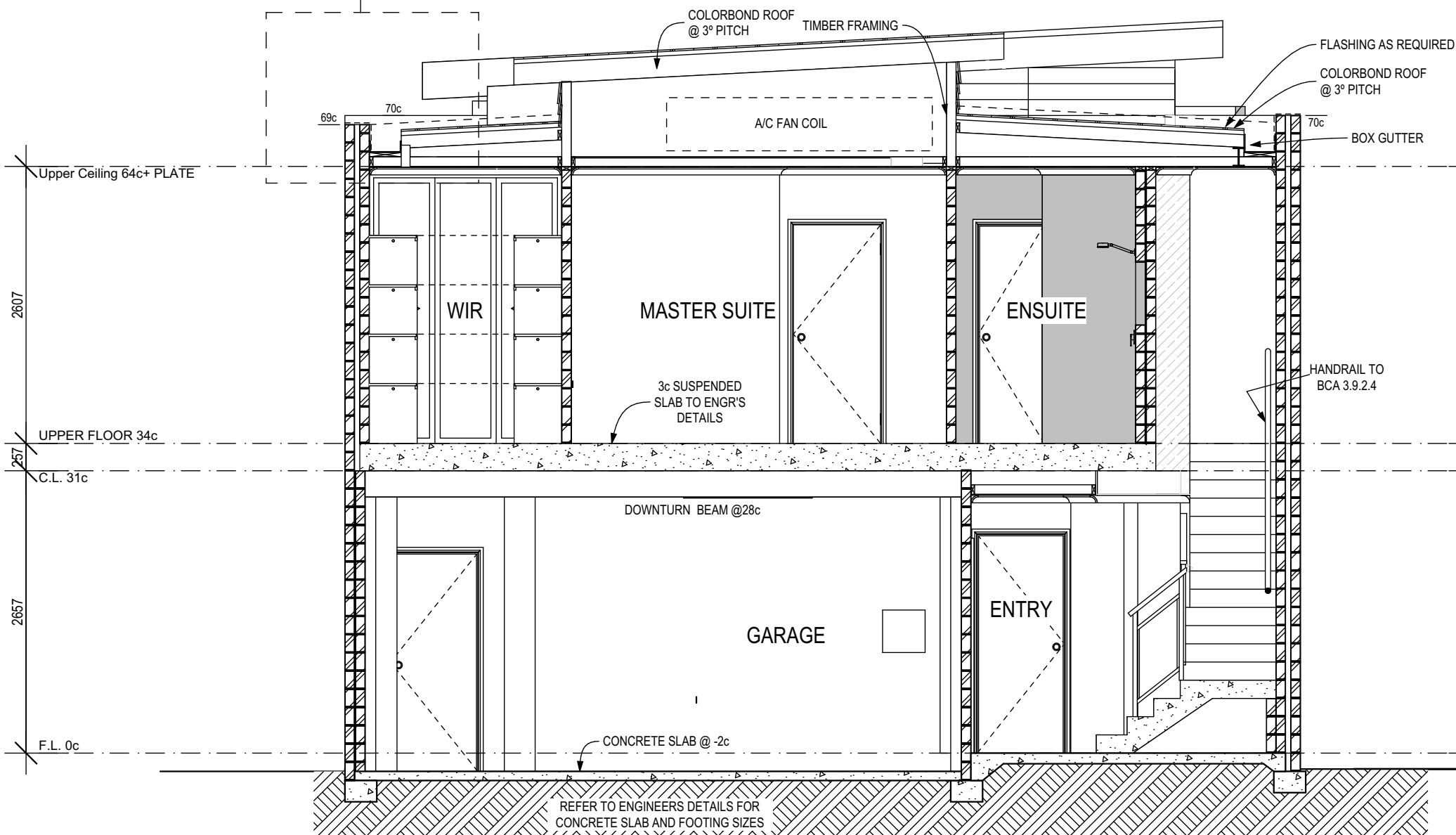
UPPER FLOOR BEDROOM WINDOW MUST
HAVE 125mm MAX RESTRICTED OPENING
OR FITTED WITH SUITABLE SCREEN
(IF OPENING SILL IS UNDER 1700 AFL)



DETAIL 2 WIR
1: 10



DETAIL 2 WIP
1: 10



Section B-B

1:50



my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: Custom

Job No:19045

Drawing Name: SECTION B-B

Sheet No: 16 of 22

Lot Address:LOT 834 (#15) ALPHA WAY,NORTH COOGEE

Council: COCKBURN

Specification: ULTRA

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT

Client Name: K. JEFFREY

Date: -----/-----/-----

Signature: -----

Client Name: W. JEFFREY

Date: -----/-----/-----

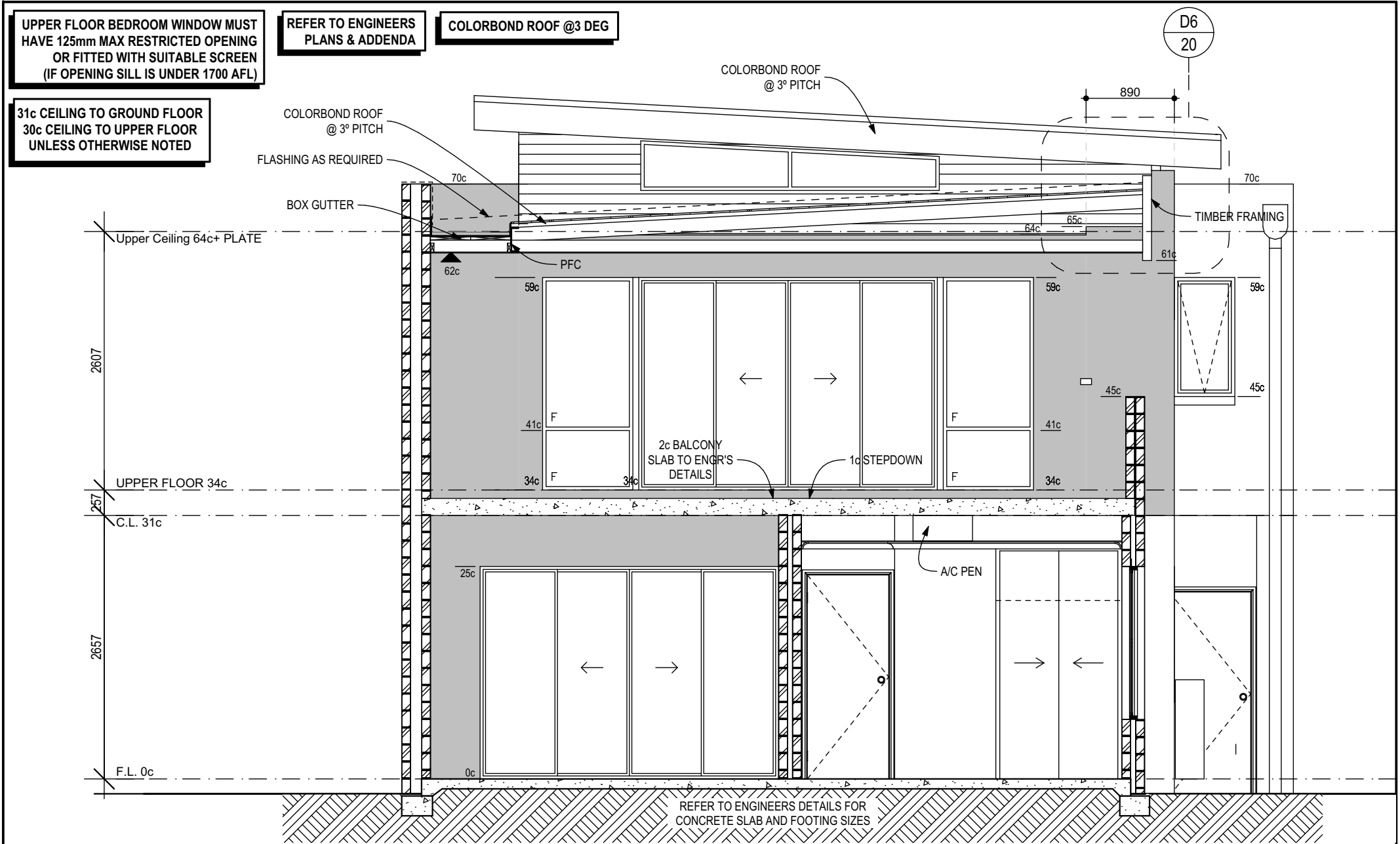
Signature: -----

The home will be built to the dimensions on the
working drawings
within a reasonable tolerance

This plan shall remain the sole property of the builder
and must not be given, lent, resold or otherwise
disposed or copied without the permission in writing

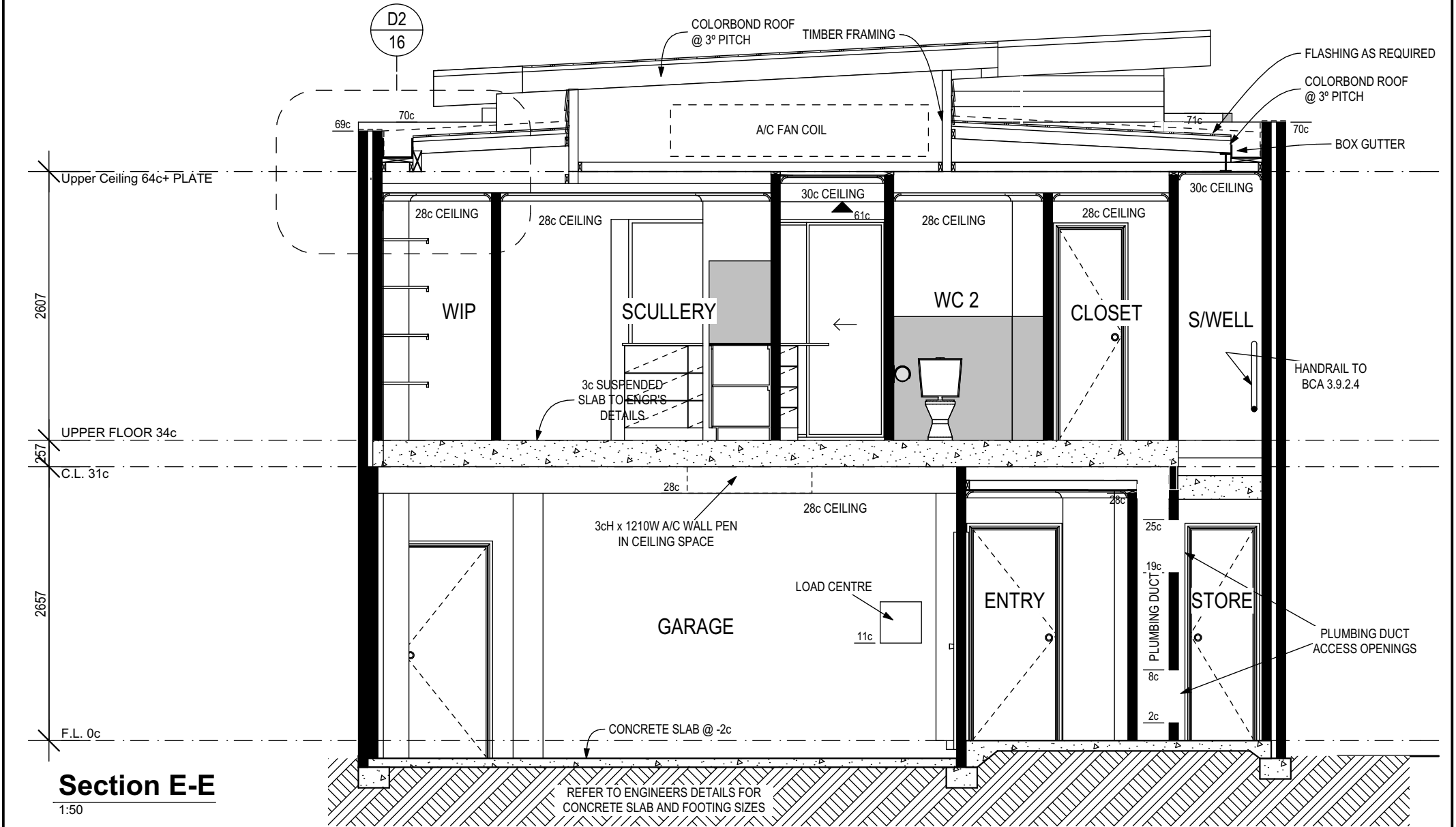
VARIATIONS

REV NO.	VARIATION	DATE DRN.	BY
1	WORKING DRAWINGS	09/08/19	MG
2	A/C LAYOUT	18/09/19	MG
3	VO 2	14/10/19	MG
4	PRESTART	15/11/19	MG
5	VO 4 & 5	28/11/19	MG
6	VO 6	17/12/19	AL
7	SCHEDULING & ENGINEERING FIXUPS	23/1/20	SA
8	VO 9	19/2/20	AL
9	VO 10	02/6/20	AL
10			



Section C

1:50



Section E-E

1:50



my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: Custom

Job No:19045

Drawing Name: SECTION C-C & E-E

Sheet No: 17 of 22

Lot Address:LOT 834 (#15) ALPHA WAY,NORTH COOGEE

Council: COCKBURN

Specification: ULTRA

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT

Client Name: K. JEFFREY

Date: -----/-----/-----

Signature: -----

Client Name: W. JEFFREY

Date: -----/-----/-----

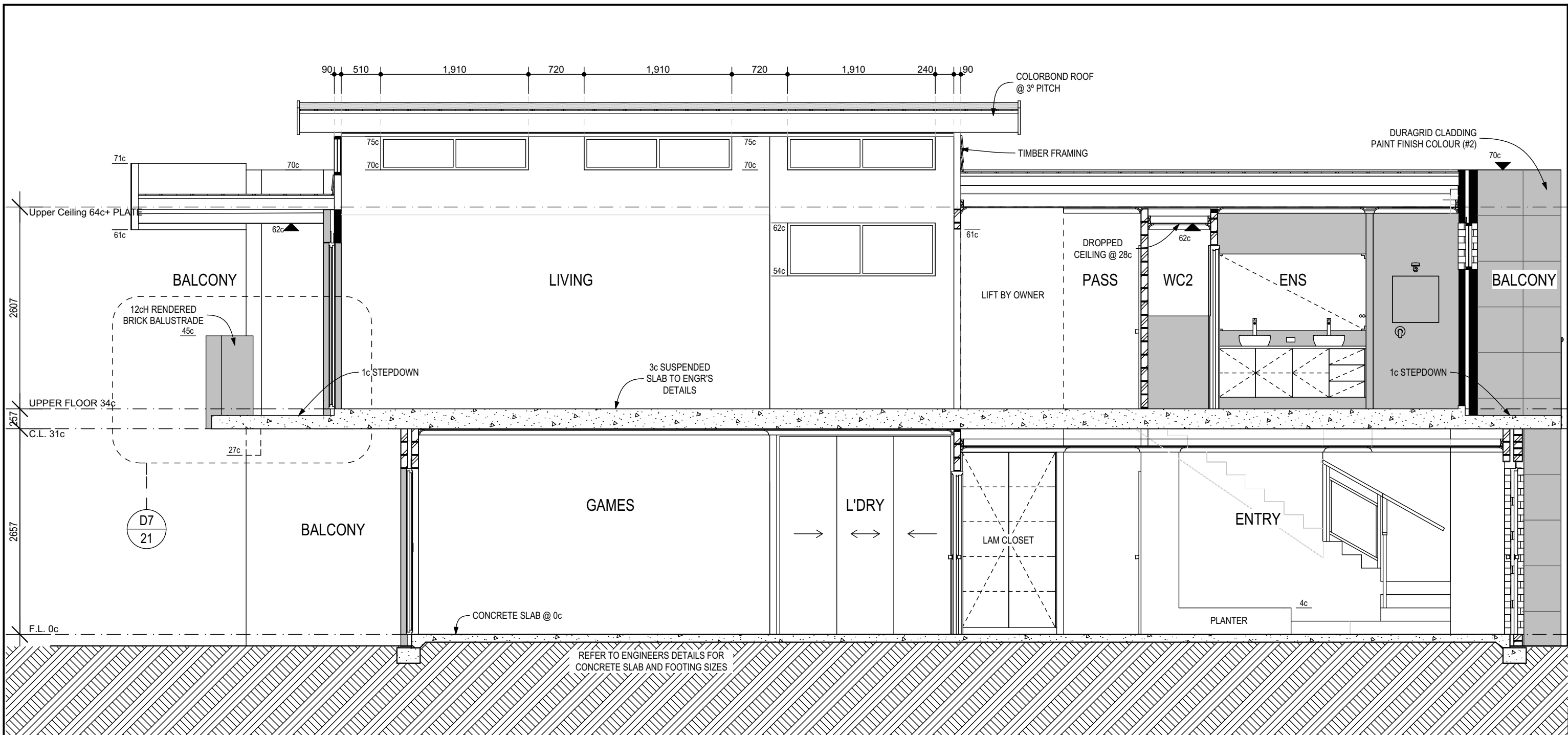
Signature: -----

The home will be built to the dimensions on the working drawings within a reasonable tolerance

This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed or copied without the permission in writing

VARIATIONS

REV NO.	VARIATION	DATE DRN.	BY
1	WORKING DRAWINGS	09/08/19	MG
2	A/C LAYOUT	18/09/19	MG
3	VO 2	14/10/19	MG
4	PRESTART	15/11/19	MG
5	VO 4 & 5	28/11/19	MG
6	VO 6	17/12/19	AL
7	SCHEDULING & ENGINEERING FIXUPS	23/1/20	SA
8	VO 9	19/2/20	AL
9	VO 10	02/6/20	AL
10			



Section D-D

1:50



my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: Custom

Job No:19045

Drawing Name: SECTION D-D

Sheet No: 18 of 22

Lot Address: LOT 834 (#15) ALPHA WAY, NORTH COOGEE

Council: COCKBURN

Specification: ULTRA

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT

Client Name: K. JEFFREY

Date: -----/-----/-----

Signature: -----

Client Name: W. JEFFREY

Date: -----/-----/-----

Signature: -----

The home will be built to the dimensions on the working drawings within a reasonable tolerance

This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed or copied without the permission in writing

VARIATIONS

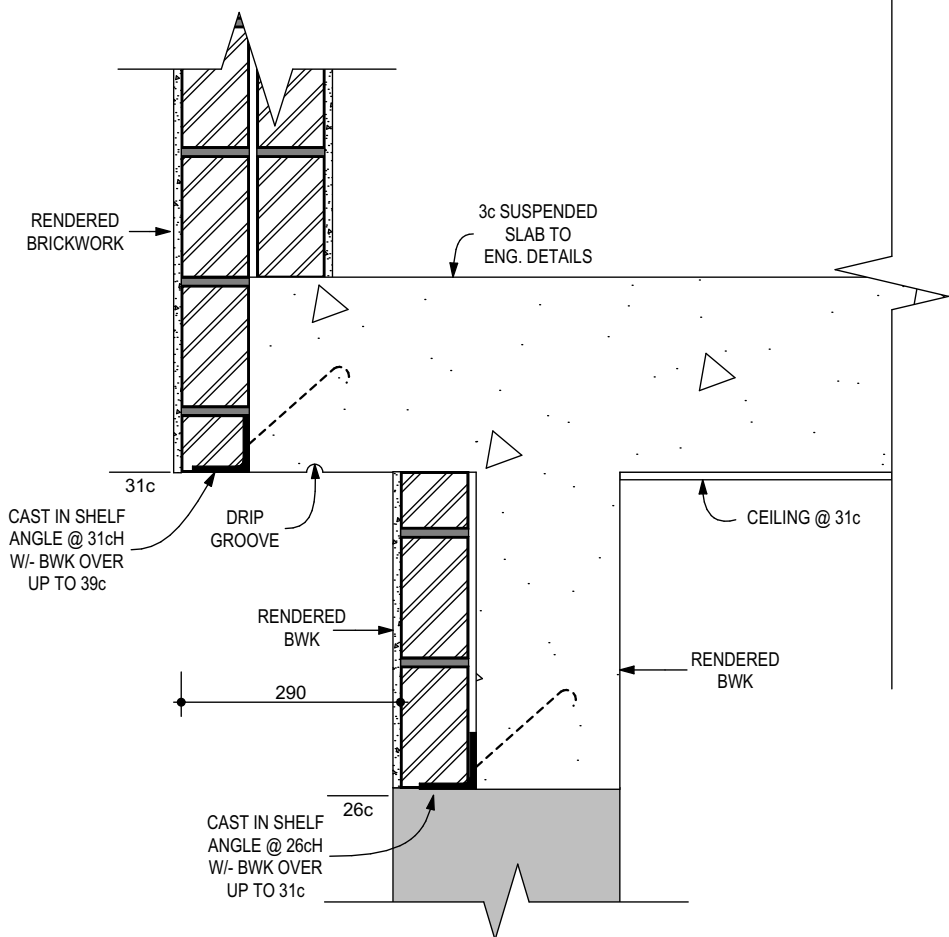
REV NO.	VARIATION	DATE DRN.	BY
1	WORKING DRAWINGS	09/08/19	MG
2	A/C LAYOUT	18/09/19	MG
3	VO 2	14/10/19	MG
4	PRESTART	15/11/19	MG
5	VO 4 & 5	28/11/19	MG
6	VO 6	17/12/19	AL
7	SCHEDULING & ENGINEERING FIXUPS	23/1/20	SA
8	VO 9	19/2/20	AL
9	VO 10	02/6/20	AL
10			

UPPER FLOOR BEDROOM WINDOW MUST HAVE 125mm MAX RESTRICTED OPENING OR FITTED WITH SUITABLE SCREEN (IF OPENING SILL IS UNDER 1700 AFL)

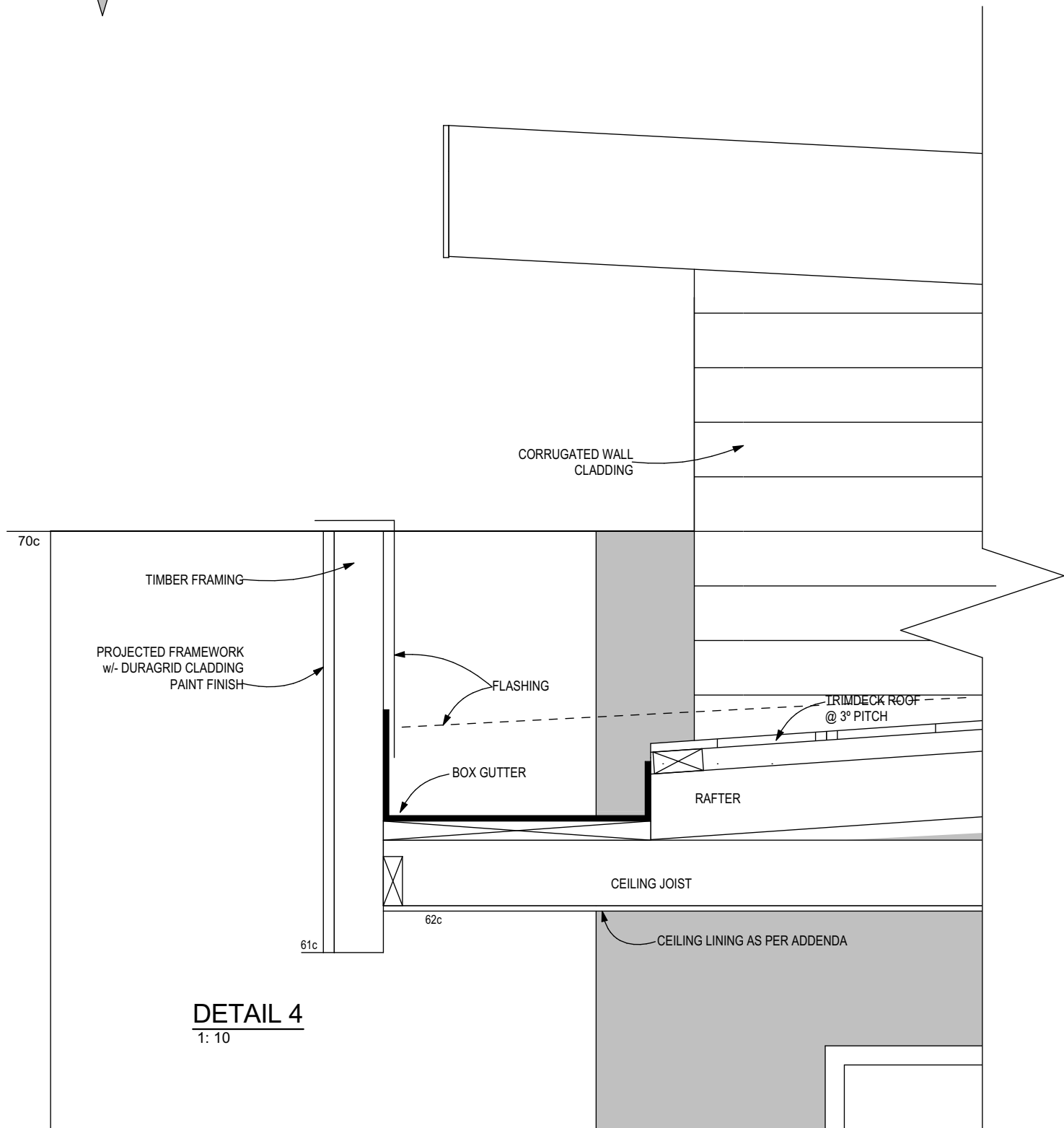
31c CEILING TO GROUND FLOOR
30c CEILING TO UPPER FLOOR
UNLESS OTHERWISE NOTED

COLORBOND ROOF @3 DEG

REFER TO ENGINEERS
PLANS & ADDENDA



DETAIL 1
1: 10



DETAIL 4
1: 10



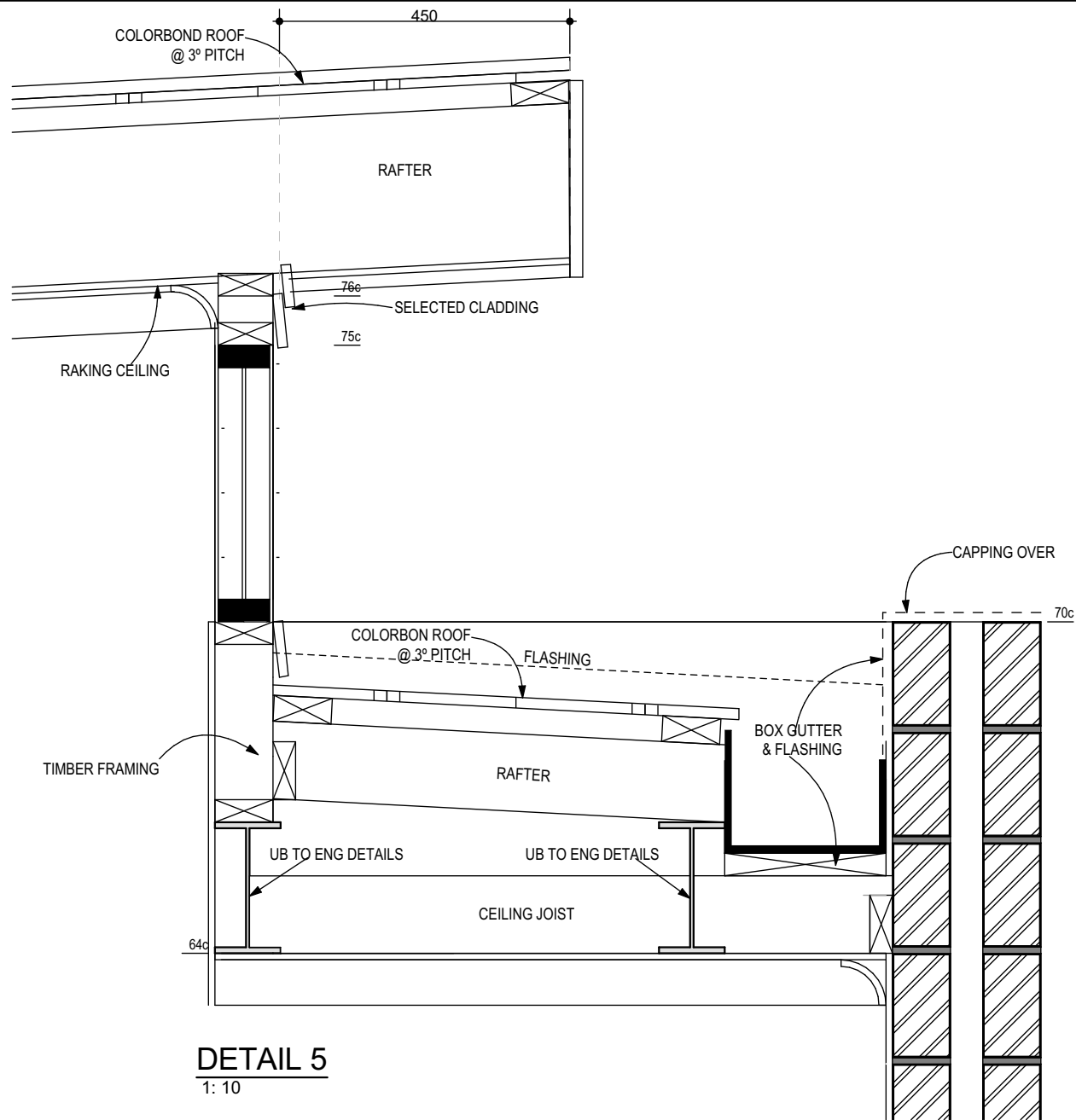
my homes wa

WE TURN A HOUSE INTO A HOME

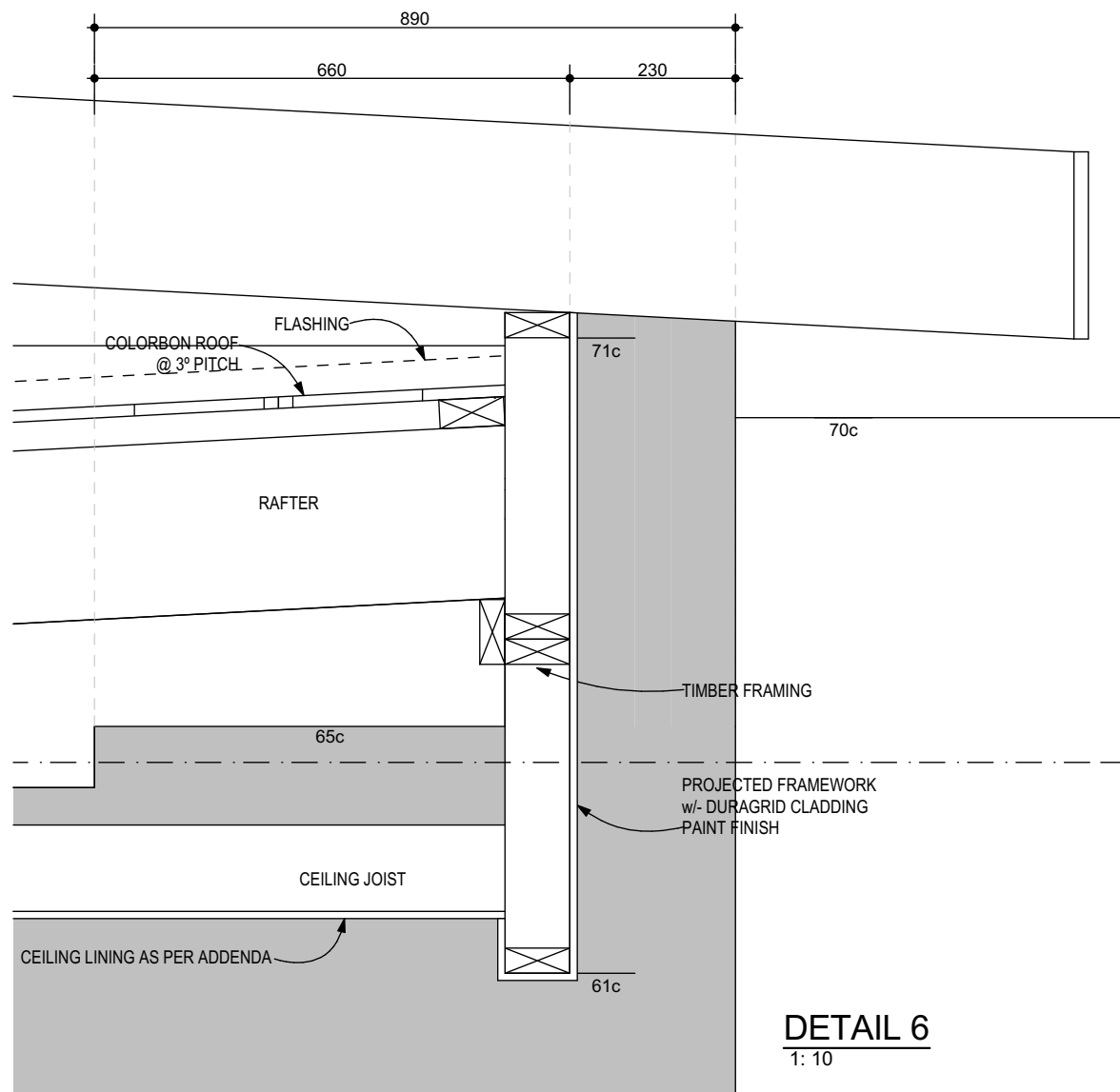
41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: Custom	Job No:19045	Drawing Name: DETAILS 1	Sheet No: 19 of 22
Lot Address:LOT 834 (#15) ALPHA WAY,NORTH COOGEE			Council: COCKBURN Specification: ULTRA
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT		VARIATIONS	
Client Name: K. JEFFREY		REV NO.	VARIATION
Signature: _____		1	WORKING DRAWINGS
Date: ____/____/____		2	A/C LAYOUT
Client Name: W. JEFFREY		3	VO 2
Signature: _____		4	PRESTART
Date: ____/____/____		5	VO 4 & 5
The home will be built to the dimensions on the working drawings within a reasonable tolerance		6	VO 6
This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed or copied without the permission in writing		7	SCHEDULING & ENGINEERING FIXUPS
		8	VO 9
		9	VO 10
		10	



DETAIL 5
1: 10



DETAIL 6
1: 10



my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: Custom

Job No:19045

Drawing Name: DETAILS 2

Sheet No: 20 of 22

Lot Address: LOT 834 (#15) ALPHA WAY, NORTH COOGEE

Council: COCKBURN

Specification: ULTRA

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT

Client Name: K. JEFFREY

Date: -----/-----/-----

Signature: -----

Client Name: W. JEFFREY

Date: -----/-----/-----

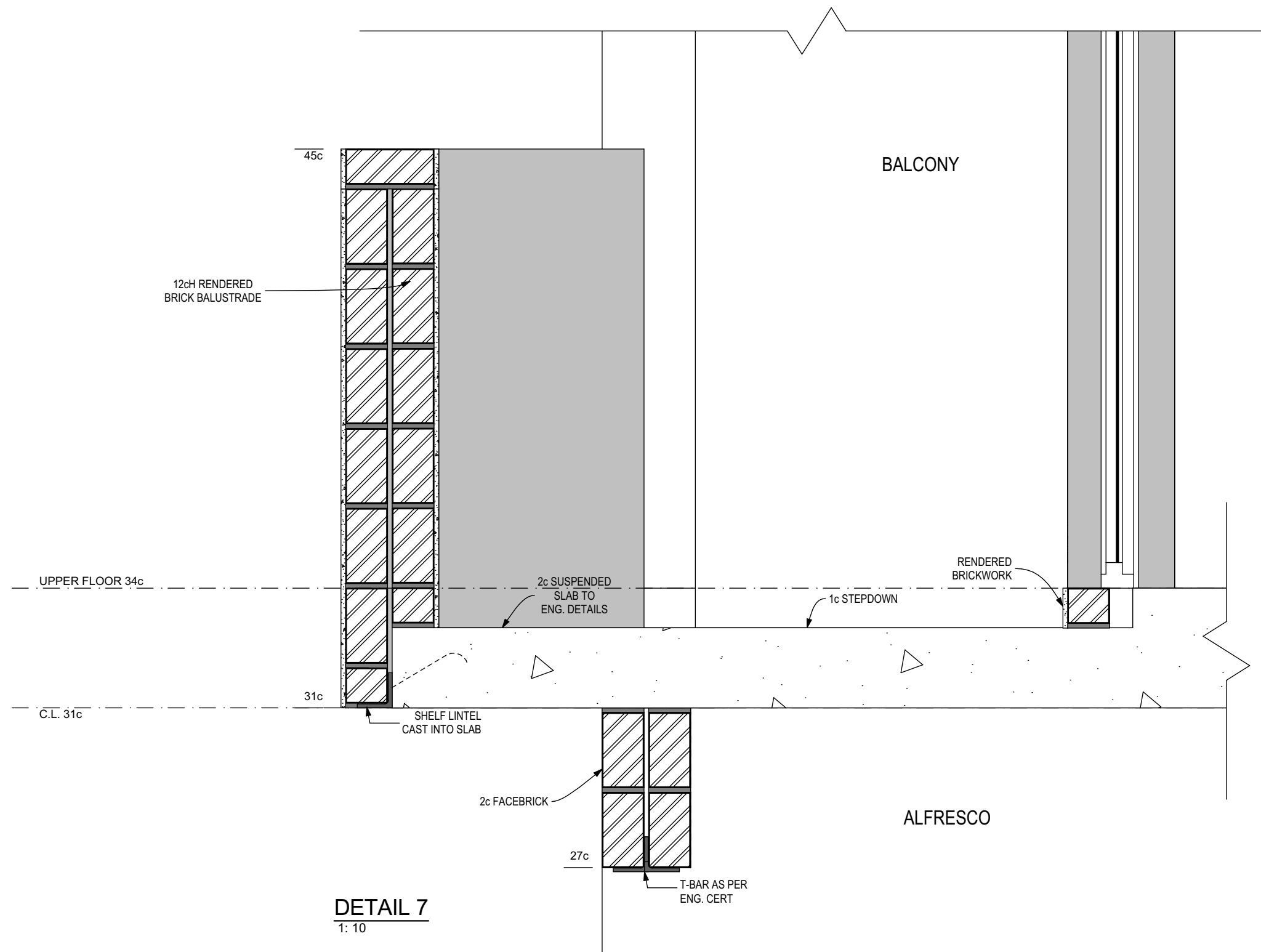
Signature: -----

The home will be built to the dimensions on the working drawings within a reasonable tolerance

This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed or copied without the permission in writing

VARIATIONS

REV NO.	VARIATION	DATE DRN.	BY
1	WORKING DRAWINGS	09/08/19	MG
2	A/C LAYOUT	18/09/19	MG
3	VO 2	14/10/19	MG
4	PRESTART	15/11/19	MG
5	VO 4 & 5	28/11/19	MG
6	VO 6	17/12/19	AL
7	SCHEDULING & ENGINEERING FIXUPS	23/1/20	SA
8	VO 9	19/2/20	AL
9	VO 10	02/6/20	AL
10			



my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: Custom	Job No:19045	Drawing Name: DETAILS 3	Sheet No: 21 of 22
Lot Address: LOT 834 (#15) ALPHA WAY, NORTH COOGEE		Council: COCKBURN	Specification: ULTRA
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT		VARIATIONS	
Client Name: K. JEFFREY		REV NO.	VARIATION
Signature: _____		1	WORKING DRAWINGS
Date: ____/____/____		2	A/C LAYOUT
		3	VO 2
Client Name: W. JEFFREY		4	PRESTART
Signature: _____		5	VO 4 & 5
Date: ____/____/____		6	VO 6
		7	SCHEDULING & ENGINEERING FIXUPS
		8	VO 9
		9	VO 10
		10	
The home will be built to the dimensions on the working drawings within a reasonable tolerance		DATE DRN.	BY
This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed or copied without the permission in writing		09/08/19	MG
		18/09/19	MG
		14/10/19	MG
		15/11/19	MG
		28/11/19	MG
		17/12/19	AL
		23/1/20	SA
		19/2/20	AL
		02/6/20	AL

