LEGEND DENADA SERVICES ELECTRICITY DOME •  $\bigcirc$ AUS POST

NOTE: CONTOUR INTERVAL 0.5m HEIGHT DATUM - SITE ORIGIN - NAIL AT KERB RL10.00m SURVEYED ON: 23/10/2019

DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

**CLIENT NOTE:** 

BW/GL - BOTTOM OF WALL/GROUND LEVEL TW/GL - TOP OF WALL/GROUND LEVEL TW - TOP OF WALL PF - PEG FOUND PG - PEG GONE

- TRUNK DIAMETER
- TREE HEIGHT
- TREE CANOPY RADIUS

TELSTRA PIT

WATER METER LOT DETAIL

TREE DETAIL

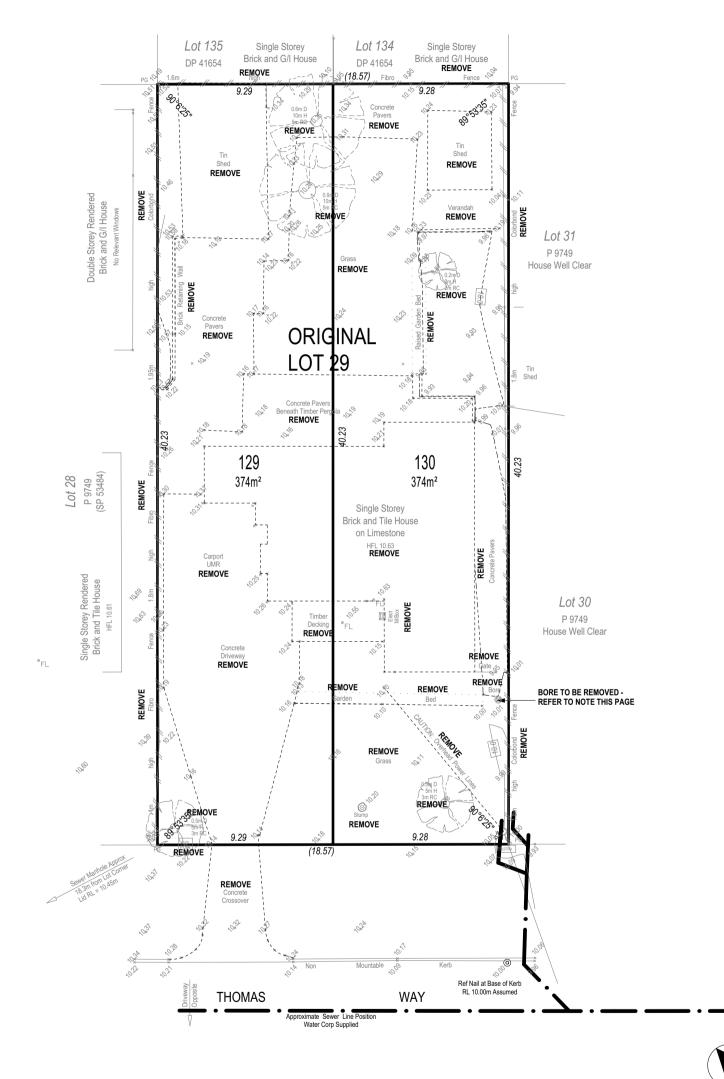
- ALL DEMOLITION BY CLIENT UNLESS OTHERWISE NOTED.
- BORE TO BE REMOVED, CAPPED, FILLED WITH CLEAN SAND & COMPACTED.

COMPACTED.

ALL TREES/SHRUBS TO BE LOPPED (TRIMMED) TO WITHIN 2m
OF THE BUILDING ENVELOPE.

- EXISTING BUILDING, TREES AND ALL RUBBLE TO BE REMOVED
BY CLIENT PRIOR TO CONSTRUCTION.

TELSTRA



DRAWN: DMA SCALE: 1:100 DMA DMA DMA 21/09/20 09/10/20 23/10/20 DESIGNED: RC SHEET: I OF 10 CHECKED: DMA SIZE: A3 **DEVELOPMENTS** MODEL: JOB N° **SPECIAL DEMOLITION PLAN** 159231



Scale 1:200

PROPOSED RESIDENCE FOR: REZVANDEH / HEKMAT

ADDRESS: SSL2 (#19B) THOMAS WAY

KARDINYA **BUILT AROUND PEOPLE** 

DO NOT SCALE FROM THIS DRAWING LEGEND DENADA All Sub-contractors to check dimensions CONTOUR INTERVAL 0.5m SERVICES HEIGHT DATUM - SITE & notes prior to initiating works. Any ELECTRICITY DOME € ORIGIN - NAIL AT KERB RL10.00m discrepancies to be notified to the Site  $\bigcirc$ SURVEYED ON: 23/10/2019 Supervisor without delay. AUS POST ALL DIMENSIONS TO BRICKWORK. TELSTRA PIT TELSTRA WATER METER LOT DETAIL BW/GL - BOTTOM OF WALL/GROUND LEVEI TW/GL - TOP OF WALL/GROUND LEVEL TW - TOP OF WALL PF - PEG FOUND PG - PEG GONE TREE DETAIL - TRUNK DIAMETER - TREE HEIGHT - TREE CANOPY RADIUS Lot 134 Lot 135 Single Storey Single Storey Brick and G/I House CLIENT NOTE: Brick and G/I House DP 41654 DP 41654 SUBDIVISION AND ASSOCIATED WORKS BY CLEINT.

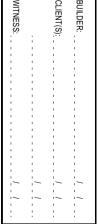
1800h C'BOND FENCE W/- CAPPING TO REAR B'DRY AS INDICATED BY: 4 (18.57) .4 90 F.St. 1.69395 2 **PRESTART / PLUMBER NOTE:** 4m2 STORE 4m2 STORE - SEWER & INVERT POSITION TO BE DETERMINED - WATER METER POSITIONS TO BE DETERMINED. **CONCRETOR NOTE:** FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPENING. 2 **ALFRESCO** ALFRESCO **CONCRETOR / BRICKLAYER NOTE:** R.L. 10.257 (-1c) B'PAVING R.L. 10.00 (-1c) B'PAVING Double Storey Rendered Brick and G/I House B'WALL ON COMMON STRATA B'DRY HAS BEEN CALCULATED 2 TO BE SET INSIDE THE B'DRY BY 5mm B'WALL ON COMMON LOT B'DRY HAS BEEN CALCULATED TO 1,500 Lot 31 BE SET ON THE B'DRY. **CONCRETOR / ELECTRICAN NOTE:** 1,500 1,005 1,005 CONDUIT IN SLAB FOR ISLAND BENCH IN KITCHEN AREA House Well Clear **PLUMBER NOTE:** 2 150 x 150 150 x 150 PAVING GRATE PAVING GRATE REFER TO PLUMBING PLAN FOR SEWER AND STORMWATER 150 x 150 150 x 150 ď 1 PAVING GRATE PAVING GRATE FENCING CONTRACTOR NOTE:

-1800h C'BOND FENCE W/- CAPPING AS INDICATED BY:

-1800h C'BOND FENCE W/- CAPPING & RETAINING PLINTH AS:

-2 INST. INST GAS HWU 600h C'BOND FENCE W/- CAPPING & RETAINING PLINTH AS: 1,000 1,000 1,505 1,505 **BRICKPAVER NOTE:** - BRICK PAVING TO DRIVEWAYS, PATHS, CARBAYS. EXTENT AS INDICATED. 2 - WIDTHS OF BRICK PAVED PATHS TO BE APPROX. 1.0m WIDE UNLESS OTHERWISE INDICATED.

- MAINTAIN NOMINATED PAVING LEVELS FOR STORMWATER ७ 🕏 ₹ • PROPOSED **PROPOSED** RUN OFF. - PRE-LAY 900mm PVC RETIC SLEEVE UNDER DRIVEWAY PRIOR TO PAVING FOR LANDSCAPING. UNIT 1 UNIT 2 1 2 **GENERAL NOTE:** 40.23 F.F.L. 10.343 (0c) F.F.L. 10.086 (0c) CLOTHESLINES INDICATED AS PER ADDENDA Lot 28 P 9749 (SP 53484) (CONTRACT #159231) (CONTRACT #158766) 1,500 1,500 2 150 x 150 PAVING GRATE 150 x 150 PAVING GRATE  $\mathbb{D}$ đ 1,200 1,200 e Storey Rendered k and Tile House HFL 10.61 **PORCH PORCH** 1 R.L. 10.00 (-1c) B'PAVING 100° 2 R.L. 10.257 (-1c) Lot 30 **B'PAVING** 1,60 1,605 1000 FUSE BOX P 9749 House Well Clear **GARAGE GARAGE** R.L. 10.257 (-1c) GRANO R.L. 10.00 (-1c) GRANO 1,105 CUT OFF DRAIN COMB COMB CUT OFF DRAIN 2 **B'PAVED B'PAVED** DRIVE 6,635 6,019 6,015 DRIVE **EXISTING WATER METER** 90Ømm PVC ASSUMED POSITION OF RETIC PRE-LA 90Ømm PVC % PRE-CAST LETTERBOX PRE-CAST LETTERBOX U1 EXISTING WATER METER RETIC PRE-LAY 9.29 9.28 RL 10.20 (18.57) RL 10.10 500 4.50m WIDE GRANO CROSSOVER BY 4.250m WIDE GRANO CROSSOVER BY 1,150 ASSUMED POSITON OF BUILDER TO EXISTING POWER DOME **BUILDER TO** SHIRE REQ'S SHIRE REQ'S Ref Nail at Base of Kerb **THOMAS** WAY



ADDRESS:

PROPOSED RESIDENCE FOR: DRAWN: DMA SCALE: 1:100 DMA DMA DMA 21/09/20 **REZVANDEH / HEKMAT** DESIGNED: RC SHEET: 2 OF 10 CHECKED: DMA SIZE: A3 **DEVELOPMENTS** MODEL: SSL2 (#19B) THOMAS WAY JOB N° SITE PLAN **SPECIAL** 159231

HOMES GROUP BUILD | RENOVATE | DEVELOP

0 1 2 3 4 5 6 7 8 9 10

Scale 1:200

KARDINYA BUILT AROUND PEOPLE

LEGEND SERVICES ELECTRICITY DOME 0 AUS POST TELSTRA PIT TELSTRA WATER METER LOT DETAIL BW/GL - BOTTOM OF WALL/GROUND LEVEL TW/GL - TOP OF WALL/GROUND LEVEL TW - TOP OF WALL PF - PEG FOUND PG - PEG GONE TREE DETAIL

0.3m D - TRUNK DIAMETER 5m H - TREE HEIGHT 2m RC - TREE CANOPY RADIUS

DENADA

NOTE: CONTOUR INTERVAL 0.5m HEIGHT DATUM - SITE ORIGIN - NAIL AT KERB RL10.00m SURVEYED ON: 23/10/2019

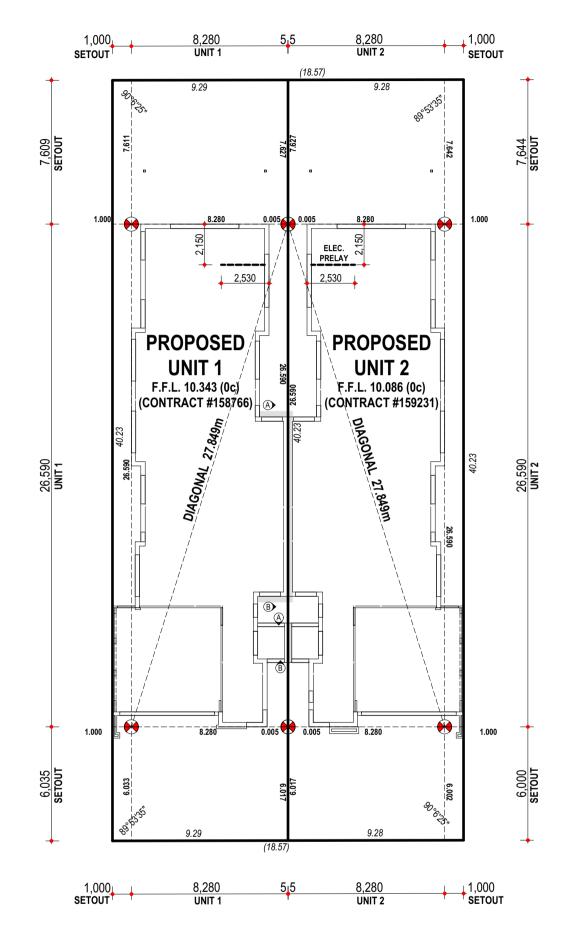
DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
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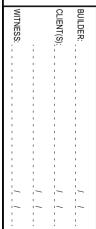
CONCRETOR / BRICKLAYER NOTE:

- B'WALL ON COMMON STRATA B'DRY HAS BEEN CALCULATED TO BE SET INSIDE THE B'DRY BY5mm.

BE WALL ON COMMON LOT B'DRY HAS BEEN CALCULATED TO BE SET ON THE B'DRY.

TOP OF FOOTING ... -5 BETWEEN A-B (REFER TO FLOOR PLAN ... ELEVATORS).





PROPOSED RESIDENCE FOR: REZVANDEH / HEKMAT

ADDRESS: SSL2 (#19B) THOMAS WAY KARDINYA

DRAWN: DMA DESIGNED: RC CHECKED: DMA MODEL:

**SPECIAL** 

SCALE: 1:100 SHEET: 3 OF 10 SIZE: **DEVELOPMENTS** 

JOB N°

159231

DMA DMA DMA

SETOUT PLAN

21/09/20 09/10/20 23/10/20



Scale 1:200

**BUILT AROUND PEOPLE** 

LEGEND SERVICES ELECTRICITY DOME  $\bigcirc$ AUS POST TELSTRA PIT TELSTRA WATER METER LOT DETAIL BW/GL - BOTTOM OF WALL/GROUND LEVEI TW/GL - TOP OF WALL/GROUND LEVEL TW - TOP OF WALL PF - PEG FOUND PG - PEG GONE TREE DETAIL

DENADA

CONTOUR INTERVAL 0.5m HEIGHT DATUM - SITE ORIGIN - NAIL AT KERB RL10.00m SURVEYED ON: 23/10/2019

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**PLUMBER NOTE:** 

- TRUNK DIAMETER - TREE HEIGHT - TREE CANOPY RADIUS

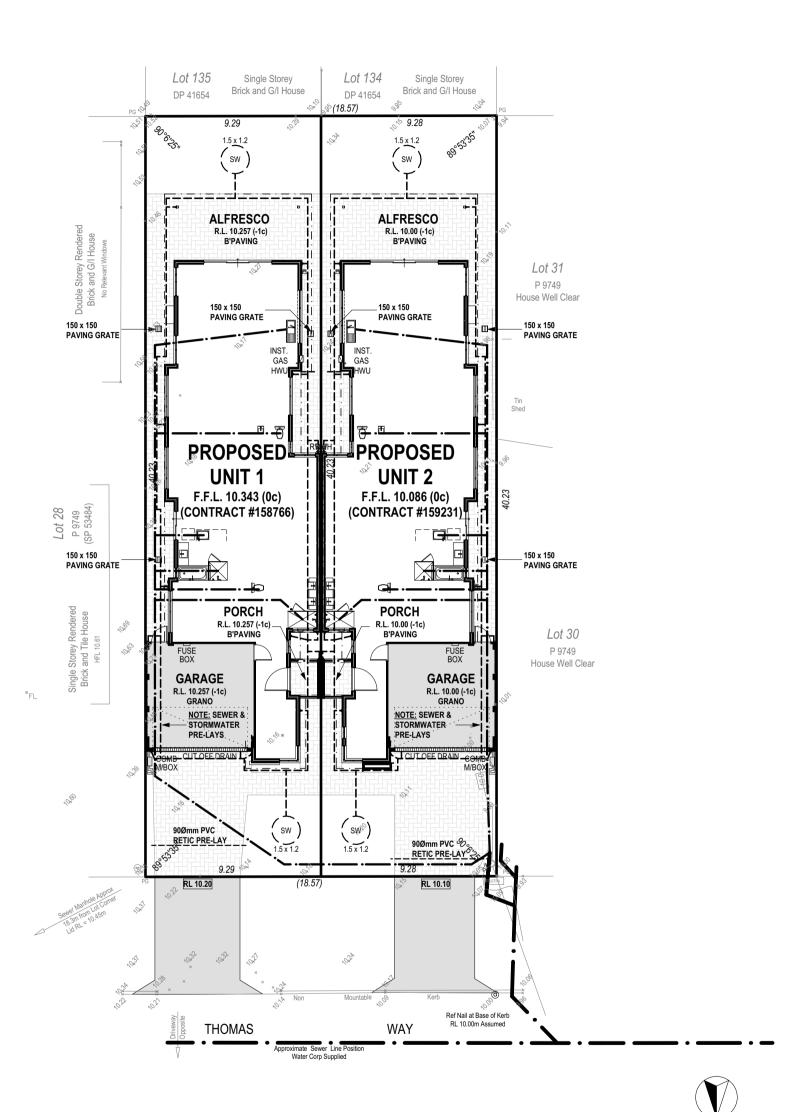
CONNECT ALL DOWNPIPES TO STORMWATER SOAKWELLS AS PER SHIRE REQUIREMENTS. ALL STORMWATER & SUFFACE WATER DRAINAGE TO COMPLY W/- NCC VOL 2, A.S. 3500.3:2003 & LOCAL AUTHORITY REQUIREMENTS. REFLUX VALVE REQUIRED.

#### 1:20 YEAR STORM EVENT - UNIT 1

	Soak Well Type	No.	
	SW 1500x1200	2	4.2 m3
	Total Ca	apacity	4.2 m3
	Roof Ar	ea GF	238.3 m2
	Pave	d Area	60.0 m2
	Tota	al Area	298.3 m2
a	pacity Required (Area x 0	.0130)	3.9 m3
	Extra Capacity Pr	ovided	0.4 m3

### 1:20 YEAR STORM EVENT - UNIT 2

	NO.	Soak well Type
4.2 m3	2	SW 1500x1200
4.2 m3	Total 0	Capacity
238.3 m2	Roof A	rea GF
60.0 m2	Paved	Area
298.3 m2	Total A	Area
3.9 m3 Capacity Required (Area x 0.0		ity Required (Area x 0.0130)
0.4 m3	Extra (	Capacity Provided



PROPOSED RESIDENCE FOR: **REZVANDEH / HEKMAT** 

ADDRESS: SSL2 (#19B) THOMAS WAY KARDINYA

DRAWN: DESIGNED: RC CHECKED: MODEL:

**SPECIAL** 

SCALE: 1:100 SHEET: 4 OF 10 SIZE: **DEVELOPMENTS** 

JOB N°

159231

DMA DMA DMA 21/09/20 09/10/20 23/10/20

PLUMBING PLAN



0 1 2 3 4 5 6 7 8 9 10

Scale 1:200

BUILT AROUND PEOPLE

# SITE CLASSIFICATION - CLASS 'A' (REFER TO SITE REPORT FOR DETAILS) WIND LOAD - N1 CORROSION CLASSIFICATION - R3 **BRICK NOTE**

**ROOF NOTE** - <u>COLORBOND</u> ROOF, PITCH AT 25° W/- 500W EAVES UNO - STEEL ROOF FRAME TO NASH STANDARDS - CEILINGS AT 30c + PLATE UNLESS NOTED OTHERWISE ROOF PLUMBER NOTE

- PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS) - FINAL POSITIONS OF RWP'S TO BE DETERMINED ON SITE - RWP'S IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER SYSTEM (NO KICK)

ROOF INSULATION NOTE - R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL PLASTERBOARD OR VERSILUX CEILINGS IF APPL.

ELECTRICAL NOTE - INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS INDICATED ON PLAN

FIXING CARPENTER NOTE - 4 No. 450D SHELVES TO PANTRY AND LINEN UNO - 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO - 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY - PROVIDE MID-SHELF SUPPORT WHERE NOTED "MSS" TO ANY SHELF OVER 1.8m LONG.

**CEILING MATERIAL NOTE** PORCH - PLASTERBOARD C.L.

- GARAGE - HARDIFLEX C.L. - ALFRESCO (INC. AREAS SHOWN HATCHED) - VERSILUX C.L. **GARAGE NOTE** SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF

FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OP'NG RENDER WALL NOTE PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED WALLS & H/FLEX / VERSILUX CEILINGS

TRADES / SUPERVISOR NOTE - REFER TO STRUCTURAL ENGINEERS DETAILS - ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS & STANDARD SPECIFICATION.

2,860 Ifresco o/al

5,890 2,810 w

DOOR NOTE TOILET DOOR TO COMPLY W/- CLAUSE 3.8.3.3 OF THE B.C.A VOL. 2 **ROOF PLUMBER / CONC. NOTE BOUNDARY WALL** 

PLASTERBOARD NOTE - PROVIDE PLASTERBOARD TO ALL INTERNAL WALLS UNLESS NOTED

OTHERWISE
- PROVIDE PLASTERBOARD TO WALLS WHERE INDICATED BY "DW"
- WET AREA PLASTERBOARD TO BATHROOM & ENSUITE. CONCRETOR/BRK LAYER NOTE

- NOTE BRICK WALL ON STRATA BOUNDARY HAS BEEN CALCULATED TO BE SET INSIDE THE BOUNDARY BY 5mm.
- NOTE BRICKWALL ON LOT BOUNDARY HAS BEEN CALCULATED TO BE SET ON BOUNDARY.

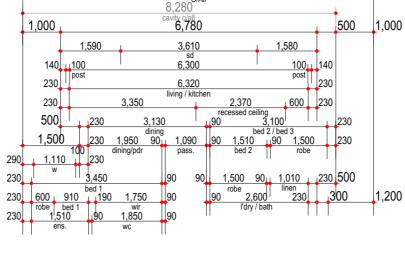
- ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c UNLESS

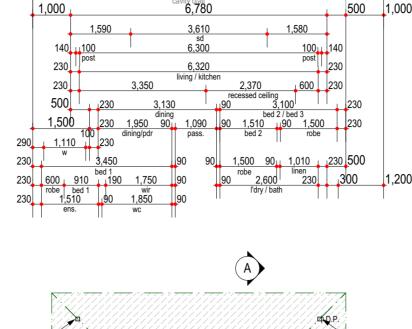
AIRCON NOTE PROVIDE REVERSE CYCLE AIR CONDITIONING, OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET. PLUMBER NOTE

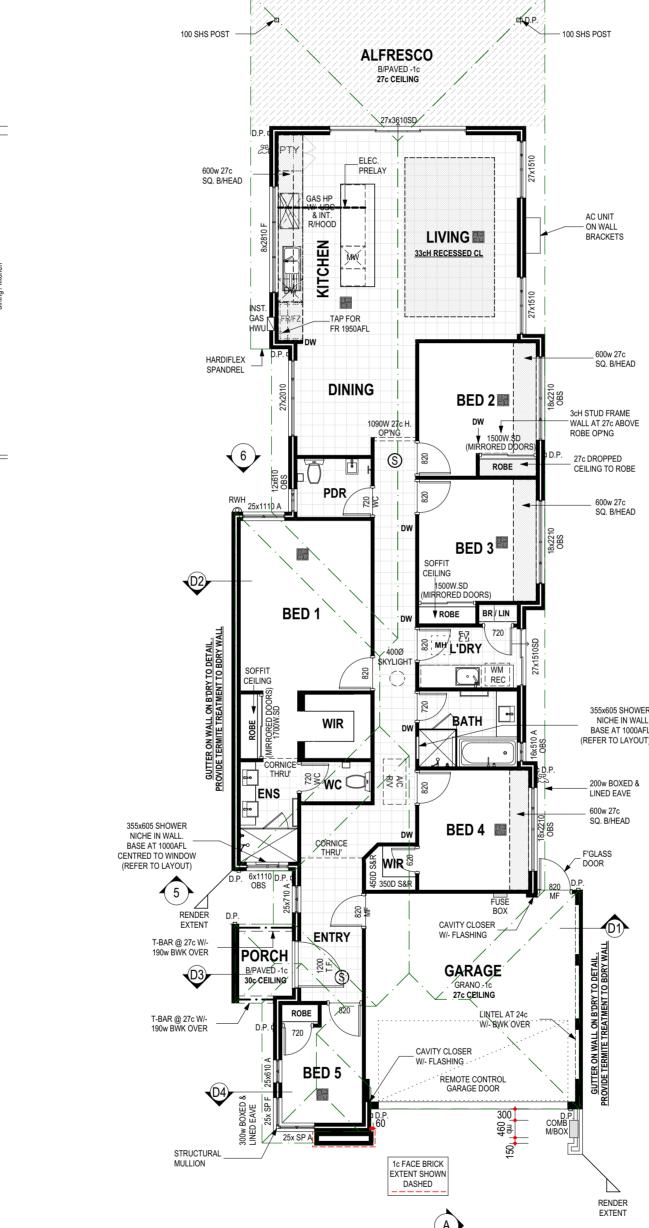
- NO HORS TO SHOWERS LINI ESS SHOWN OTHERWISE

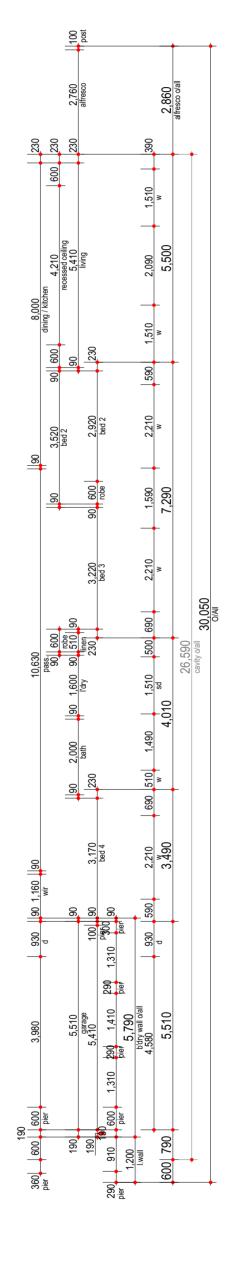
- PLUMBER TO INSTALL REFLUX VALVE.

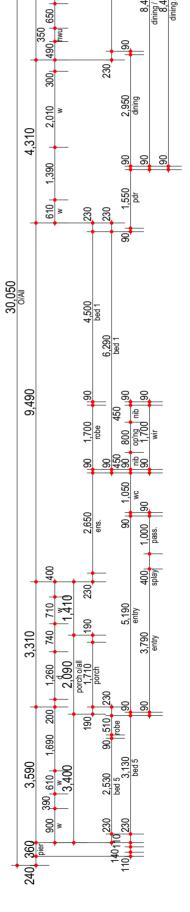
9,280 8,280 Vity of 6,780 1,000 500 1,580 100 140 post 6,300 140 11100 6,320 living / kitcher 230 230 230 600 230 500 230 1,950 90 1,090 dining/pdr pass 1,500 1,500 290 1,110 230 1,500 90, 1,010 , 230 500 robe 2,600 l'dry / bath 230 600 910 bed 1 1,750 robe bed 1 1,510 1,850 190

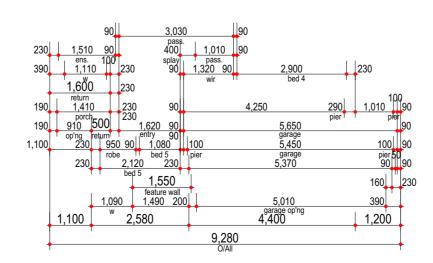








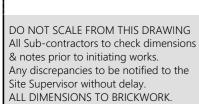






**UNIT 2 FLOOR PLAN** 

Perim. L/m 72.62 23.06 7.38 19.28 Area m² 163.36 1. FLOOR PLAN 2. GARAGE 3 . PORCH 4 . ALFRESCO 5. TOTAL AREA 32.80 3.25 19.39 218.80 82.66 6. ROOF 82.10



BUILDER:	
CLIENT(S):	/ /
	/ /
\M/ITNIFCC·	/ /

PROPOSED RESIDENCE FOR: **REZVANDEH / HEKMAT** SSL2 (#19B) THOMAS WAY DRAWN: CHECKED: DATE: 19/06/20 MODEL:

**SPECIAL** 

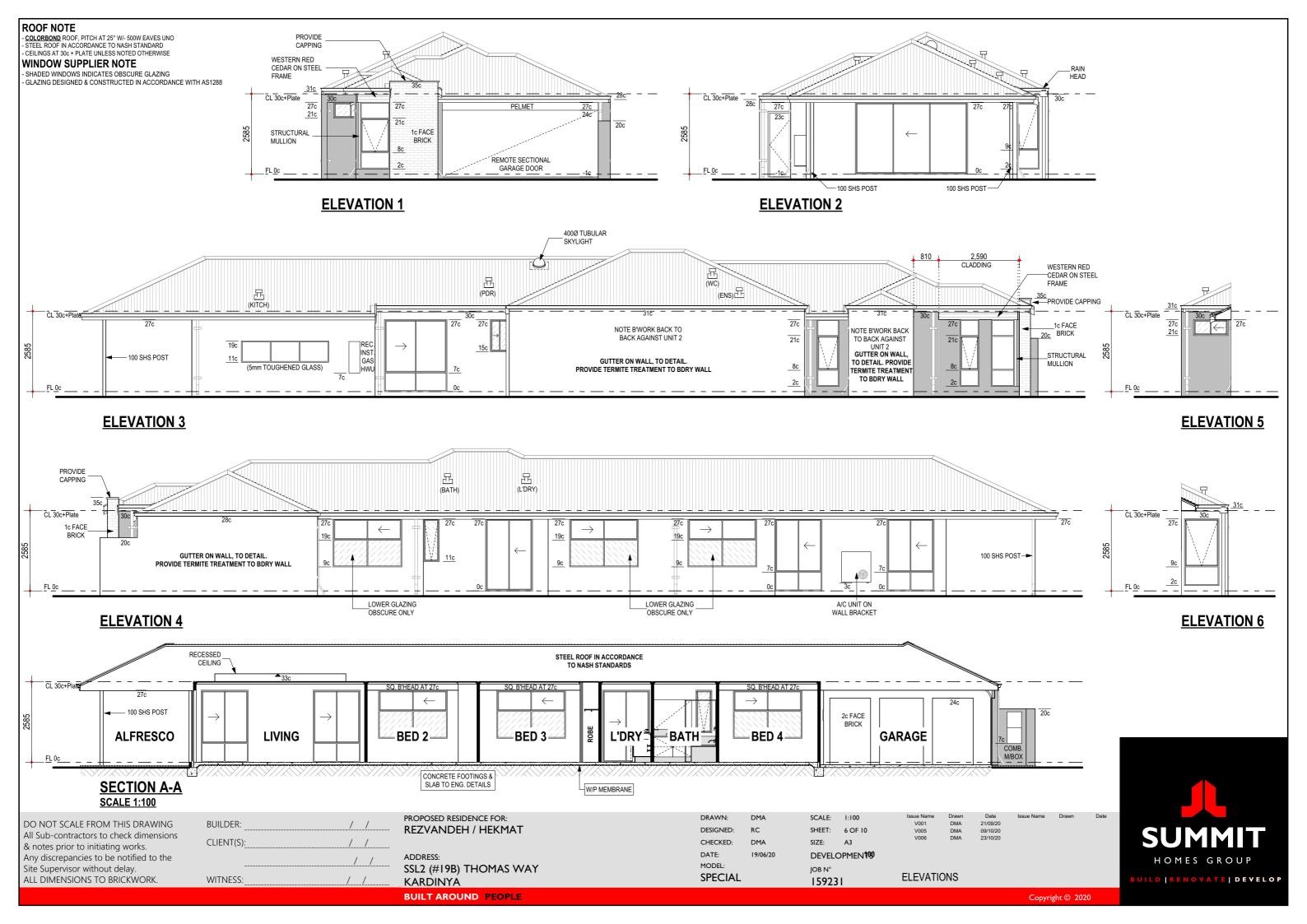
SCALE: 1:100 A2 SIZE: **DEVELOPMENTS** JOB N°

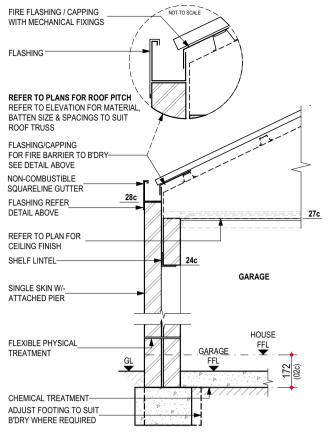
159231

FLOOR PLAN

21/09/20 09/10/20 23/10/20 DMA DMA DMA



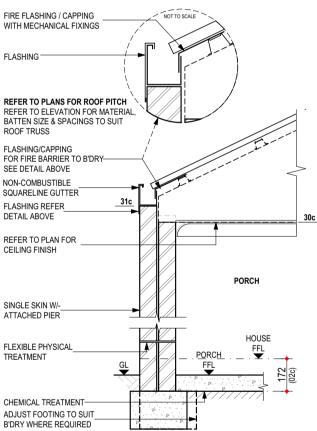




#### **D01 - GUTTER ON WALL/FLASHING DETAIL TO GARAGE** W/- TERMITE TREATMENT

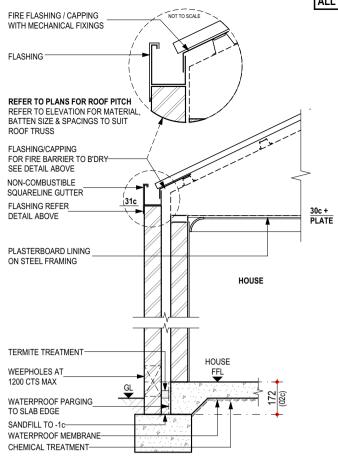
#### **NOTES:**

- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC



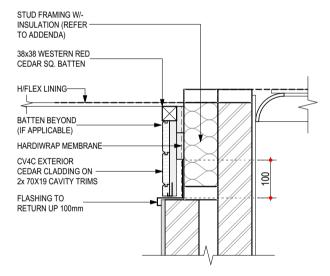
#### **D03 - GUTTER ON WALL/FLASHING DETAIL TO PORCH** W/- TERMITE TREATMENT

- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY, REFER TO PLANS REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC
- SCALE 1:20



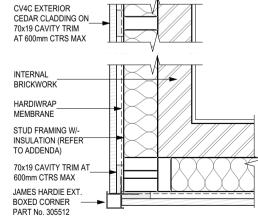
#### D02 - GUTTER ON WALL / FLASHING DETAIL TO HOUSE **W/- TERMITE TREATMENT**

- NOTES:
   REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC



#### **D04 - CLADDING (MINOR CLADDING BELOW EAVE DETAIL)**

- NOTES:
   WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- REFER TO ADDENDUM FOR CLADDING SPECIFICATION - SCALE 1:10



### **TYPICAL 18mm CEDAR CLADDING** (PLAN VIEW EXTERNAL CORNER)

### NOTES:

- -WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- CAVITY TRIM SCREWED TO FRAME W/- 40mm SCREWS - CEDAR CLADDING TO BE FIXED HORIZONTALLY
- SCALE 1:10

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PROPOSED RESIDENCE FOR: DRAWN: DMA SCALE: AS NOTED DMA DMA DMA V001 21/09/20 REZVANDEH / HEKMAT DESIGNED: RC SHEET: 7 OF 10 09/10/20 23/10/20 V005 CHECKED: DMA SIZE: **DEVELOPMENTS** ADDRESS: SSL2 (#19B) THOMAS WAY MODEL: JOB N° **SPECIAL DETAILS** 159231 KARDINYA



DO NOT SCALE FROM THIS DRAWING **BENCHTOP NOTE TILER NOTE** - SHADING DENOTES EXTENT OF TILING - ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE All Sub-contractors to check dimensions - LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION & notes prior to initiating works. Any SELECTION SHEET **WALL FINISH NOTE** discrepancies to be notified to the Site WALL FINISH NOTE

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES

- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES Supervisor without delay. WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES - ALL WINDOW SILLS IN WET AREAS TO BE TILED ALL DIMENSIONS TO BRICKWORK. CABINETMAKER NOTE REFER TO ADDENDUM FOR FITOUT SPECIFICATION - REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS WET AREAS CONSTRUCTED IN ACCORDANCE WITH PART 3.8.1 OF B.C.A. (VOL 2) 400 250 2,300 27c SQUARE BULHEAD 400D O/HEAD CB'RD W/- FIXED PANEL BULKHEAD AT 27c 430 651 950 Pd ,300 AMINATED PTY FRIDGE COLD WATER TAP W/- 4 EQUAL SHELVES ELECTRICAL R/HOOD 1,920 prelay PRELAY 989 LAMINATED 20 % PANEL 950 ,850 FR/FZ COLD UBO FIXED 943 900 g\_ TAP UBO & INT. R/HOOD **PANELS** 1,620 DW NO SHELF FOR FUTURE BIN STORE 1,320 sink K1 VIEW bench 249all 1 **(K)** 2 600 m/w rec. REC 450 drawers 4 x 450W 605 £66. 16 400D O/HEADS 1,000 z / o/hea **DRAWERS** TAP AT 1950AFL FOR FR/FZ 200 tap REC POT **KITCHEN PLAN K2 VIEW** 1,010 400 450 500 LINEN TOWEL RING 720 2 Û 1,000 P 720 WC 1 TILES 1,600 l'dry o/all TILES 600 benchtop 1,950 powder o/a **PDR PLAN** 1,100 wm taps 834 16 wm space 2,500 benchtop o/al 2,600 l'dry o/all 100 **L'DRY PLAN** 1,150 TOP OF MIR TOWEL RING BUILDER: CLIENT(S): e WM TAPS CONCEALED IN CUP'D BOTTLE TRAP 850 BASIN LINEN BR.∤′ 500 | 400 | 400 RETURN\_ TILES END PANEL NO SHELF REC SHELF P1 VIEW 170H TILED HOB 50mm HOLE 50mm FIXED PANEL TO SIDE OF **L2 VIEW** CABINET L1 VIEW PROPOSED RESIDENCE FOR: DRAWN: DMA SCALE: 1:50 V001 V005 V006 DMA DMA DMA 21/09/20 09/10/20 23/10/20 REZVANDEH / HEKMAT DESIGNED: RC SHEET: 8 OF 10 CHECKED: DMA SIZE: A3 **DEVELOPMENTS** ADDRESS: MODEL: SSL2 (#19B) THOMAS WAY JOB N° **ROOM LAYOUTS SPECIAL** BUILD | RENOVATE | DEVELOP 159231 KARDINYA BUILT AROUND PEOPLE Copyright © 2020

## **BENCHTOP NOTE**

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION **WALL FINISH NOTE** 

## WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

CABINETMAKER NOTE
- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

#### **TILER NOTE**

- SHADING DENOTES EXTENT OF TILING - ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET

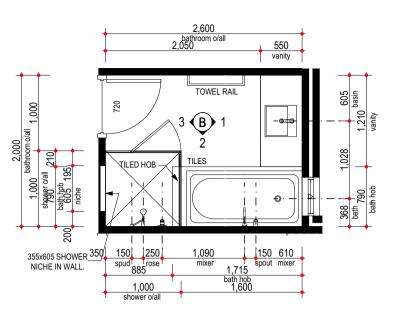
WALL FINISH NOTE

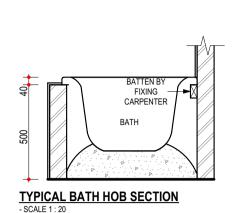
- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES

- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES - ALL WINDOW SILLS IN WET AREAS TO BE TILED

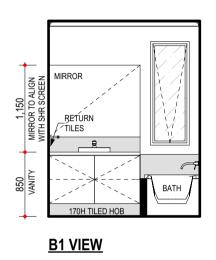
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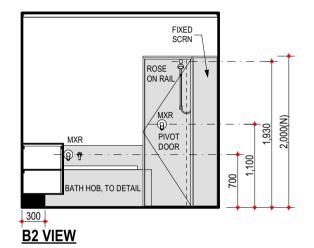
REFER TO ADDENDUM FOR FITOUT SPECIFICATION WET AREAS CONSTRUCTED IN ACCORDANCE WITH

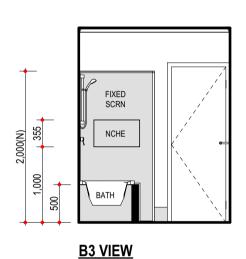




### **BATH PLAN**





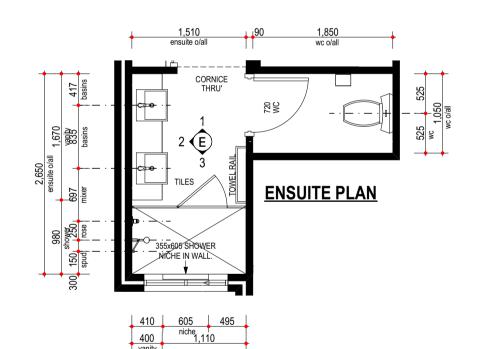


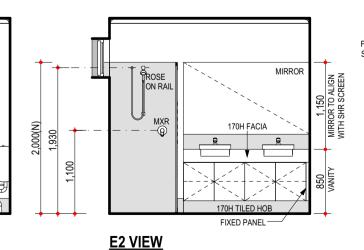
BATH/ENS REC. SHR SCREEDED GRANO W/-FLOOR FINISH AS SPECIFIED ON PLAN WATERPROOF MEMBRANE SLAB THICKENING AS REQUIRED

## RECESSED SHOWER DETAIL (NO HOB)

NOTES: - REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS

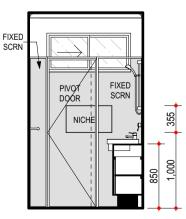
CORNICE THRU'





400

1,510



WITNESS:	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	CLIENT(S):	BUILDER:	058	
				E1 VIEW	<u>!</u>

PROPOSED RESIDENCE FOR: REZVANDEH / HEKMAT

ADDRESS: SSL2 (#19B) THOMAS WAY KARDINYA

DRAWN: DESIGNED: RC CHECKED: DATE:

MODEL:

**SPECIAL** 

DMA SCALE: 1:50 SHEET: 9 OF 10 DMA SIZE: **DEVELOPMENTS** 

JOB N°

159231

V001 V005 V006

**ROOM LAYOUTS** 

DMA DMA DMA 21/09/20 09/10/20 23/10/20

E3 VIEW



HOMES GROUP

BUILD | RENOVATE | DEVELOP

### **ELECTRICAL LEGEND**

Groun	d Floor			Insulation
Qty	Sym.	Description	Watts	Penetrations
7	<b>1</b> 1w*	EXTERNAL WALL LIGHT @ 2100 AFL (WIRING ONLY - CLIENT TO INSTALL LIGHT LATER) Perimeter Lighting	77*	*
1	O11w*	CEILING LIGHT (11w) Class 10	11*	*
1	● 7w*	RECESSED LED DOWN-LIGHT ( 7w) Class 1 Veranda	7*	*
5	● 7w	RECESSED LED DOWN-LIGHT ( 7w)	35	
12		PLUG BASE	0	
2	S	H.WIRED SMOKE DETECTOR	0	
4	•	EXHAUST FAN	0	0.181
1	◯ 11w	CEILING LIGHT (11w)	11	
1	2 WAY	2 WAY SWITCH	0	
1	•	W/P SGPO INSTALLED IN HWU	0	
1		SINGLE GPO IN/ON CEILING	0	
1	•	SINGLE GPO FOR R/H (REFER TO PLAN FOR R/H TYPE)	0	
5		SINGLE GPO @ NOTED HT	0	
1	С	NBN LEAD IN CONDUIT (25mm) W/- BLANK FACE PLATE AT 1500 AFL	0	
1		DOUBLE WATER PROOF GPO	0	
9		DOUBLE GPO @ NOTED HT	0	
15		DOUBLE GPO @ 200 AFL	0	
1		DOUBLE GPO @ 1500 AFL W/ 20mm CONDUIT FOR PSU CONNECTION	0	
1	<b>©</b>	CONDUIT FOR NBN (25mm)	0	
2	©	CONDUIT 20mm	0	
2	0	CONDUIT (32mm)	0	
1	D2	D2 (2x DATA/PHONE) FOR NBN PROVISION @ 1500 AFL	0	

NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. 46 PERIMETER LIGHTING MIN. 40 LUMENS/W. Total Class 1 Wattage= 46

C1 (TV) + D2 (PH/DATA)

0.181

Wattage Calculations (Cla	ass 1)	Allowed	Actual	
Story Name	Area	Wattage	Wattage	
0   Ground Floor	148.32 Sqm	742 w	46 w	
	148.32 sqm	742 w	46 w	PAS

Recessed Fitting Penet	rations (Class 1)	Maximum	Actual	
Story Name	Area	Penetrations	Penetrations	
Total Insulation Area Vents\RangeHoods	148.32 sqm	0.742 sqm	0.181 sqm 0.078 Sqm	
	148.32 sqm 0.17 % R4.0 Ir	0.742 sqm	0.258 sqm nt Not Required	PASS

**CLIENT NOTE: MAX WATTAGE AND** PENETRATIONS MUST NOT BE EXCEEDED

C1D2

### LIGHT AND VENTILATION CALC.

Room Name	Opn %	Light		Vent.
6   BED 5 Min. Ventilation = 0.45   Min. Li				
W17   Awning	52 %	1.31 m2		0.68 m2
W16   Fixed	0 %	1.93 m2		0.00 m2
W15   Awning	45 %	2.34 m2		1.05 m2
Totals	Light	5.57 m2	Vent	1.73 m2
5   BED 4 Min. Ventilation = 0.69   Min. Li	ight= 0.92 To	otal Area= 9.19		
W14   Sliding	22 %	3.41 m2		0.76 m2
Totals	Light	3.41 m2	Vent	0.76 m2
4   BED 3 Min. Ventilation = 0.75   Min. Li	ight= 1.00 To	otal Area= 9.98		
W11   Sliding	22 %	3.41 m2		0.76 m2
Totals	Light	3.41 m2	Vent	0.76 m2
3   BED 2 Min. Ventilation = 0.75   Min. Li	ight= 1.00 To	otal Area= 9.96		
W10   Sliding	22 %	3.41 m2		0.76 m2
Totals	Light	3.41 m2	Vent	0.76 m2
2   BED 1				
Min. Ventilation = 1.52   Min. Li	ght= 2.03 To	otal Area= 20.28		
	ight= 2.03 To	otal Area= 20.28 2.38 m2	1	1.71 m2
Min. Ventilation = 1.52   Min. Li	72 %			1.71 m2 1.71 m2
Min. Ventilation = 1.52   Min. Li W03   Awning	72 % Light	2.38 m2 2.38 m2 NING	Vent	
Min. Ventilation = 1.52   Min. Li W03   Awning Totals	72 % Light	2.38 m2 2.38 m2 NING	Vent	
Min. Ventilation = 1.52   Min. Li W03   Awning Totals 1   LIVING   KITCH Min. Ventilation = 3.24   Min. Li	72 % Light HEN   DI ight= 4.32 To 37 %	2.38 m2 2.38 m2 NING otal Area= 43.21	Vent	1.71 m2
Min. Ventilation = 1.52   Min. Li W03   Awning  Totals  1   LIVING   KITCH Min. Ventilation = 3.24   Min. Li W09   Sliding	72 % Light HEN   DI ight= 4.32 To 37 % 37 %	2.38 m2 2.38 m2 NING otal Area= 43.21 3.49 m2	Vent	1.71 m2 1.29 m2
Min. Ventilation = 1.52   Min. Li W03   Awning Totals  1   LIVING   KITCH Min. Ventilation = 3.24   Min. Li  W09   Sliding W08   Sliding	72 %  Light  HEN   DI  ight= 4.32 To  37 %  37 %  33 %	2.38 m2 2.38 m2 NING otal Area= 43.21 3.49 m2 3.49 m2	Vent	1.71 m2 1.29 m2 1.29 m2
Min. Ventilation = 1.52   Min. Li W03   Awning Totals  1   LIVING   KITCH Min. Ventilation = 3.24   Min. Li W09   Sliding W08   Sliding W07   Sliding Door	72 %  Light  HEN   DI  ight= 4.32 To  37 %  37 %  33 %  0 %	2.38 m2 NING otal Area= 43.21 3.49 m2 3.49 m2 8.35 m2	Vent	1.71 m2 1.29 m2 1.29 m2 2.78 m2

ФD.Р. ALFRESCO A: 18.59m2 W/P W/LIGHT ELECT A/C CONTROLLER **PRELAY** AT 1500 AFL 700 H/P I R/H-GPO I 11w\* W/P W/LIGHT AT 2100 AFL -AC UNIT W/P ISO UNIT BY €50 MW TAC CONTRACTOR 650 DW 950 INSTALLED GAS INSIDE HWU BED 2 DINING 950 (3) W/P W/LIGHT AT 2100 AFL RWH BED 1 2 WAY **4**00Ø W skYLIGH⊺ ·W/P W/LIGHT I AT 2100 AFL wc -R & (†1W D.P. WIR © 1200 D.P. STD ESSENTIAL PORCH 4004400

ENTRY

BED 5

W/P W/LIGHT AT 2100 AFL

PROVISION AT 1500 AFL

CEILING GPO FOR SECTIONAL

> GARAGE Class 10 Building A: 30.49m2 Max Wattage = 91w

**ELECTRICAL NOTE** 

- INTERCONNECTED SMOKE DETECTORS TO AS3786-2014 - FINAL POSITION OF ELECTRICAL ITEMS SUCH AS GPO'S, LIGHT SWITCHES ETC. MAY VARY ON SITE DUE TO ELECTRICAL REQULATIONS. LIGHT SWITCH HEIGHT TO

DO NOT SCALE FROM THIS DRAWING

All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

BE AT 1200 AFL U.N.O.

- NEUTRAL CABLING REQUIRED TO ALL LIGHT SWITCHES.

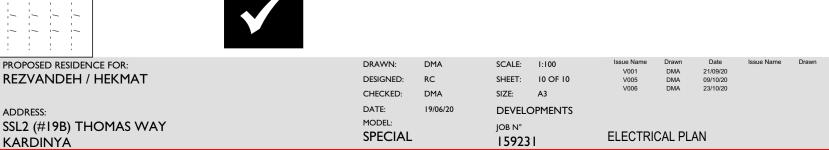
- ALL EXHAUST FANS TO BE FLUED TO EXTERNAL AIR

#### **AIRCON NOTE**

PROVIDE REVERSE CYCLE AIR CONDITIONING. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
 EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

#### TV ANTENNA NOTE

- PROVIDE TV ANTENNA AS PER ADDENDA



W/P W/LIGHT

AT 2100 AFL

11w\*



**BUILT AROUND PEOPLE** 

BUILDER:

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AT 2100 AFL