

FIXING CARPENTER NOTES

1. 450w SHELF & RAIL TO ROBES & WIR TO BE 1700afl. (U.O.N.)
2. 4x450w (U.O.N.) SHELVES TO PANTRY, LINEN & WIL TO BE 500, 900, 1300 & 1700afl.

CONCRETOR NOTE

1. GARAGE & FREESTANDING EXTERNAL BRICK PIER FOOTINGS TO BE AT -3c U.O.N.

Note:

Owner to supply - builder to install:
Towel Rails, Toilet Roll Holders & Towel Rings.
Shower Mixers & Grates.
All Basins including pop plug & Basin Wastes & Mixers.
Freestanding Bath incl. pop plug & Waste.
Bath Mixer & Spout
Laundry Trough & Benchtop Mixer.
Kitchen Sink & Benchtop Mixer.

Oven and Induction Hotplate.
Floor & Shower Wastes.

GENERAL NOTES

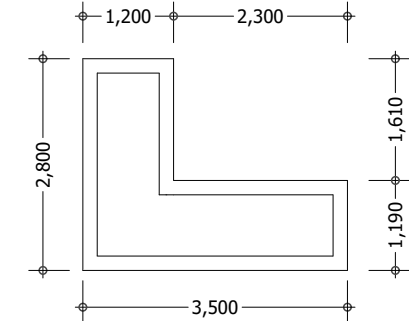
RENDERED BRICKWORK.

COLORBOND ROOF.

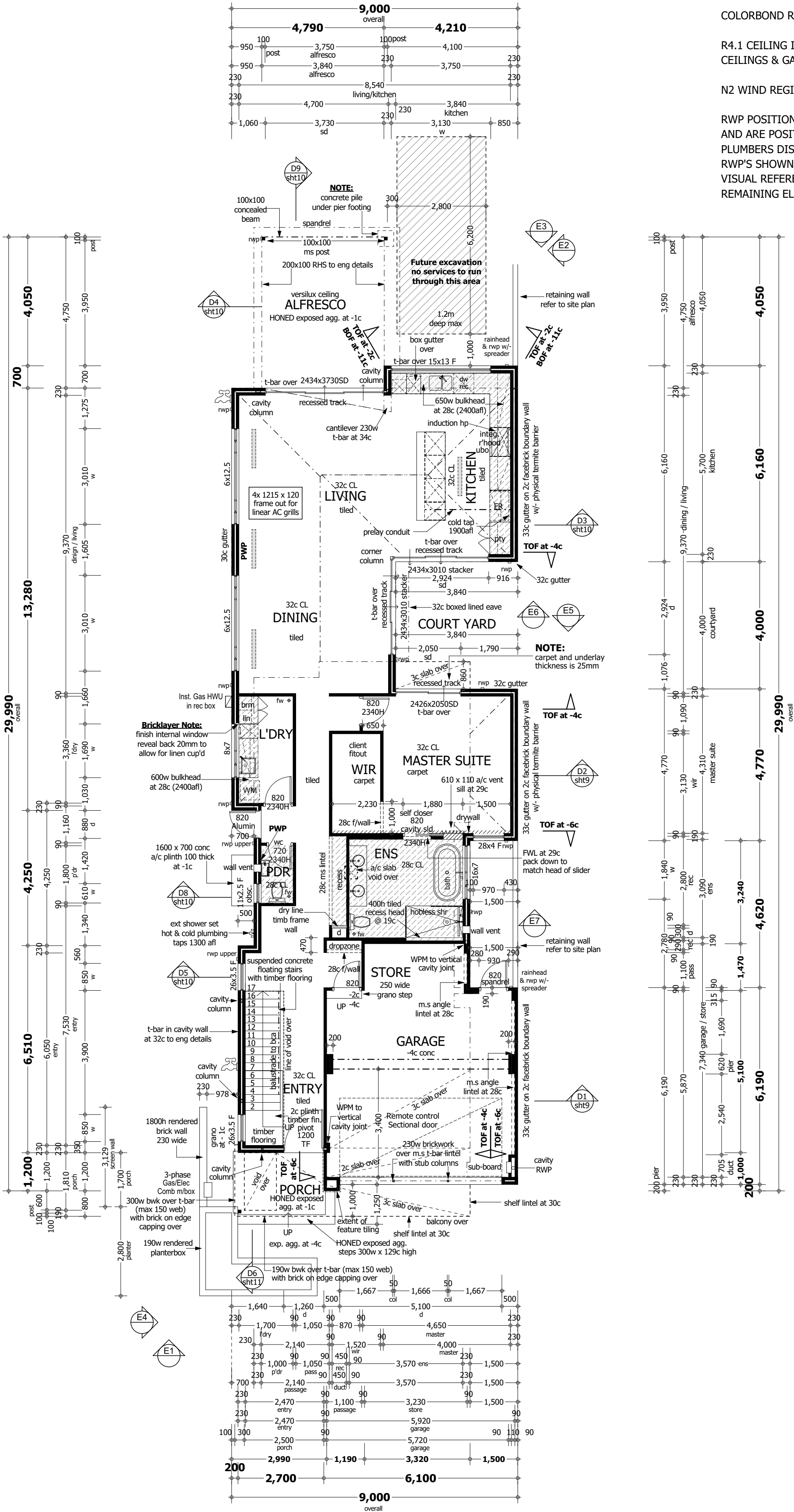
R4.1 CEILING INSULATION TO INTERNAL CEILINGS & GARAGE ONLY.

N2 WIND REGION.

RWP POSITIONS SHOWN ARE APPROX AND ARE POSITIONED AT THE ROOF PLUMBERS DISCRETION.
RWP'S SHOWN ON FRONT ELEVATION FOR VISUAL REFERENCE, REFER TO PLANS FOR REMAINING ELEVATIONS.



front planter dimensions
1:100



GROUND FLOOR PLAN
1:100

© copyright



PROPOSED RESIDENCE ADDRESS:
Lot 12 (#37) Beachton Street
North Beach
FOR:
Marcus and Lisa Tieleman

SIGNATURES:

OWNER: _____
OWNER: _____
BUILDER: _____
DATE: _____

AMENDMENTS:

25/6/19	Vince	Engineers
28/6/19	GM	screen added
4/7/19	VM	Void win increased, rear wall relocated
5/7/19	Vince	Alfresco o/hang, void win/balcony
28/08/19	RS	Prestart PSV01
10/09/19	RS	Prestart PSV02
10/10/19	RS	Prestart PSV03
4/12/19	GM	PSV0 4
30/05/20	SS	CV07

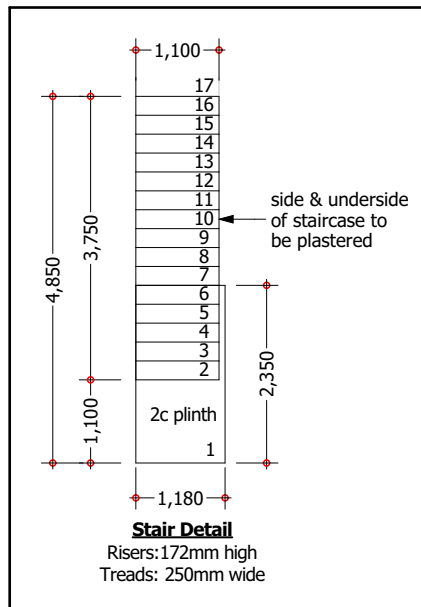
Custom

SHEET1 OF 17
DRN: Vince
DATE: 25/04/19
SCALE: 1:100, 1:1
CONTRACT NO:
18055

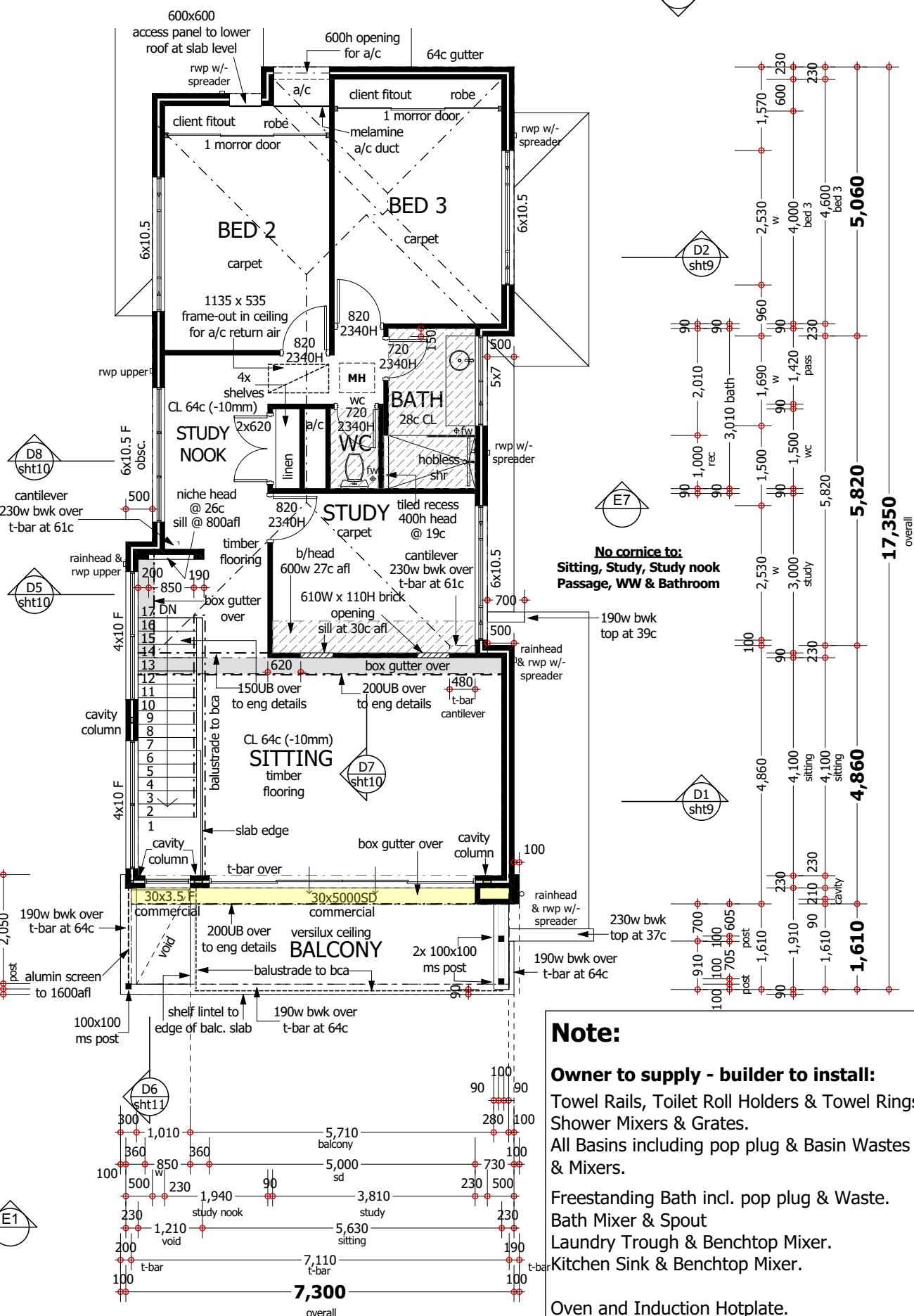
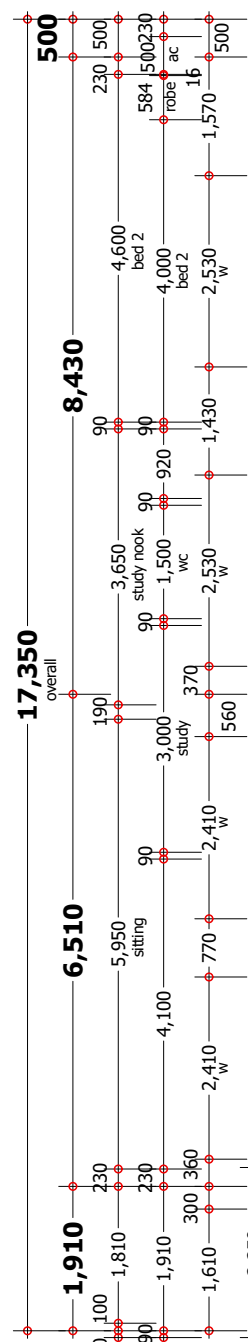
Area Calc	
. PORCH	3.00
. STORE	4.88
. BALCONY	11.99
. ALFRESCO	21.27
. GARAGE	36.89
. UPPER FLOOR	104.32
. GROUND FLOOR	157.07
Total	339.42 m²

1. 450w SHELF & RAIL TO ROBES & WIR TO BE 1700af. (U.O.N.)
2. 4x450w (U.O.N.) SHELVES TO PANTRY, LINEN & WIL TO BE 500, 900, 1300 & 1700af.

1. GARAGE & FREESTANDING EXTERNAL BRICK
PIER FOOTINGS TO BE AT -3c U.O.N.



1:100



1:100

RENDERED BRICKWORK.

COLORBOND ROOF.

R4.1 CEILING INSULATION TO INTERNAL CEILINGS & GARAGE ONLY.

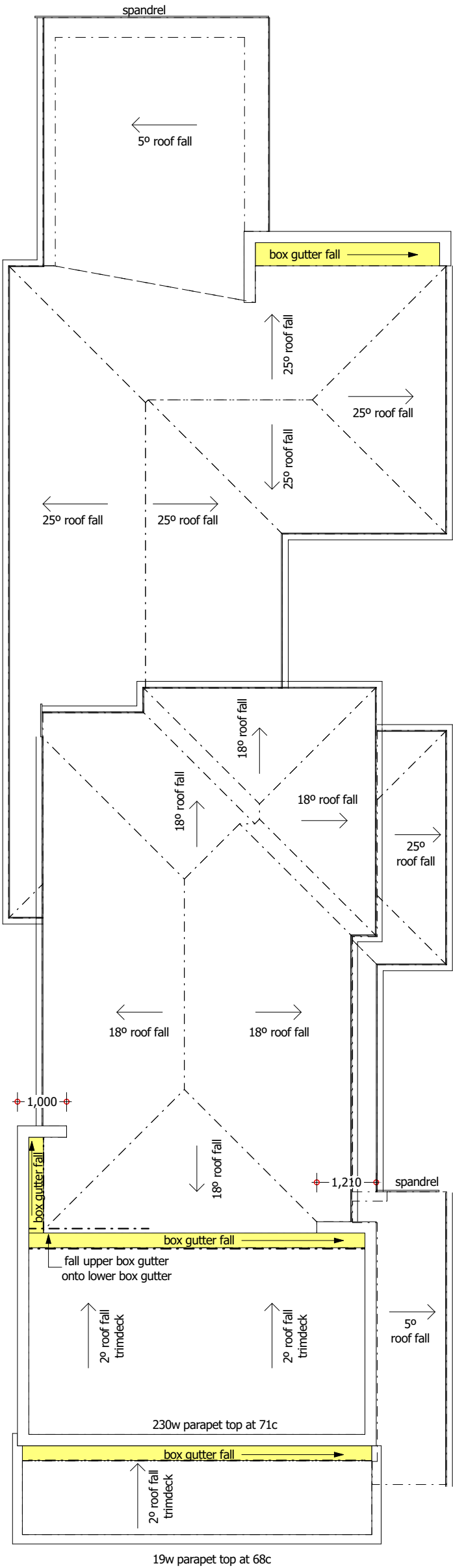
N2 WIND REGION.

RWP POSITIONS SHOWN ARE APPROX
AND ARE POSITIONED AT THE ROOF
PLUMBERS DISCRETION.
RWP'S SHOWN ON FRONT ELEVATION FOR
VISUAL REFERENCE, REFER TO PLANS FOR
REMAINING ELEVATIONS.

[illegible]

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E:\OneDrive\COAST HOMES\OBS\18055 Tielman\F - Construction Drawings\18055 Tielman - Construction Drawings_V23.pln



Roof Plan
1:100

© copyright



PROPOSED RESIDENCE ADDRESS:
Lot 12 (#37) Beachton Street
North Beach
FOR:
Marcus and Lisa Tieleman

SIGNATURES:

OWNER: _____

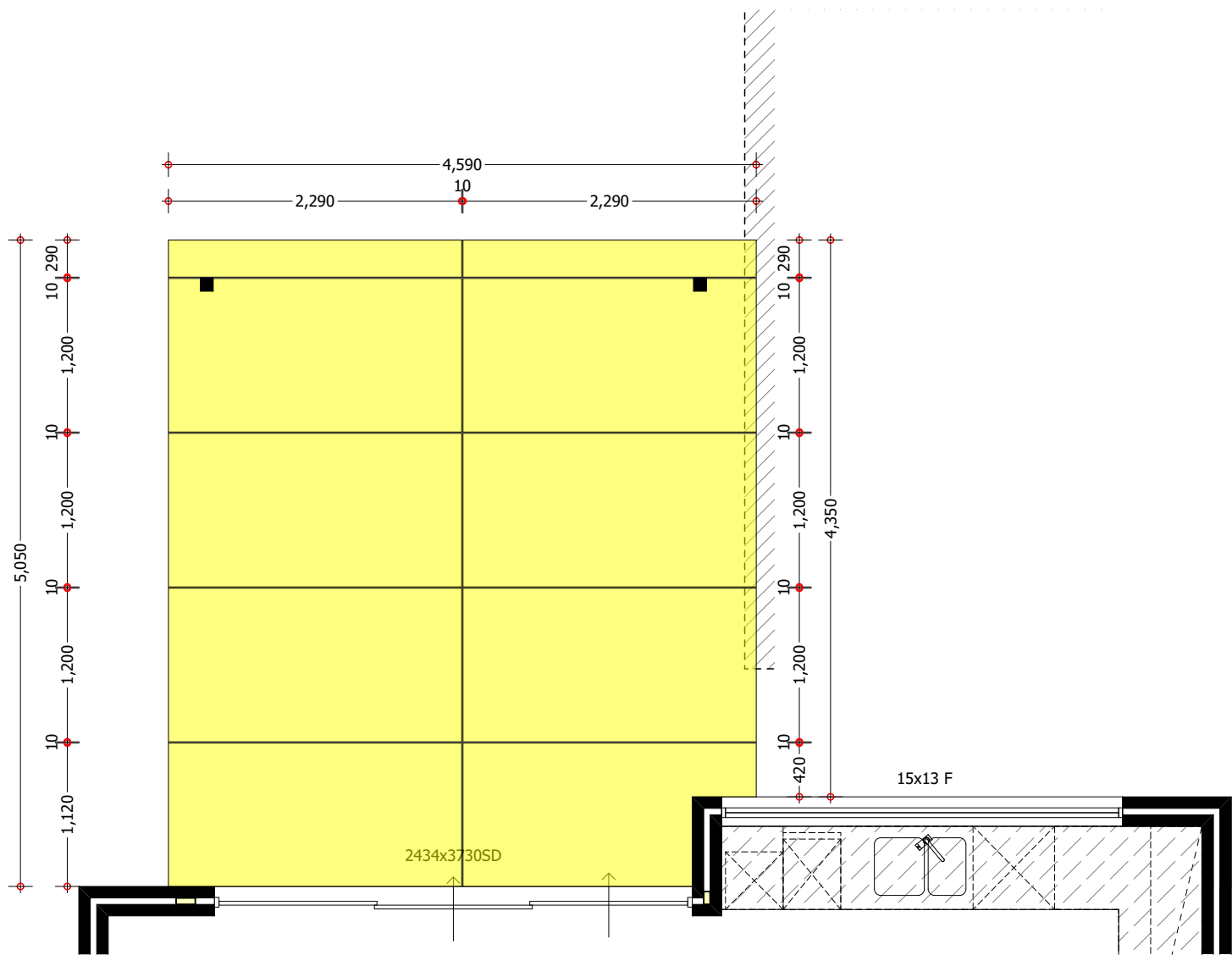
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BUILDER: _____

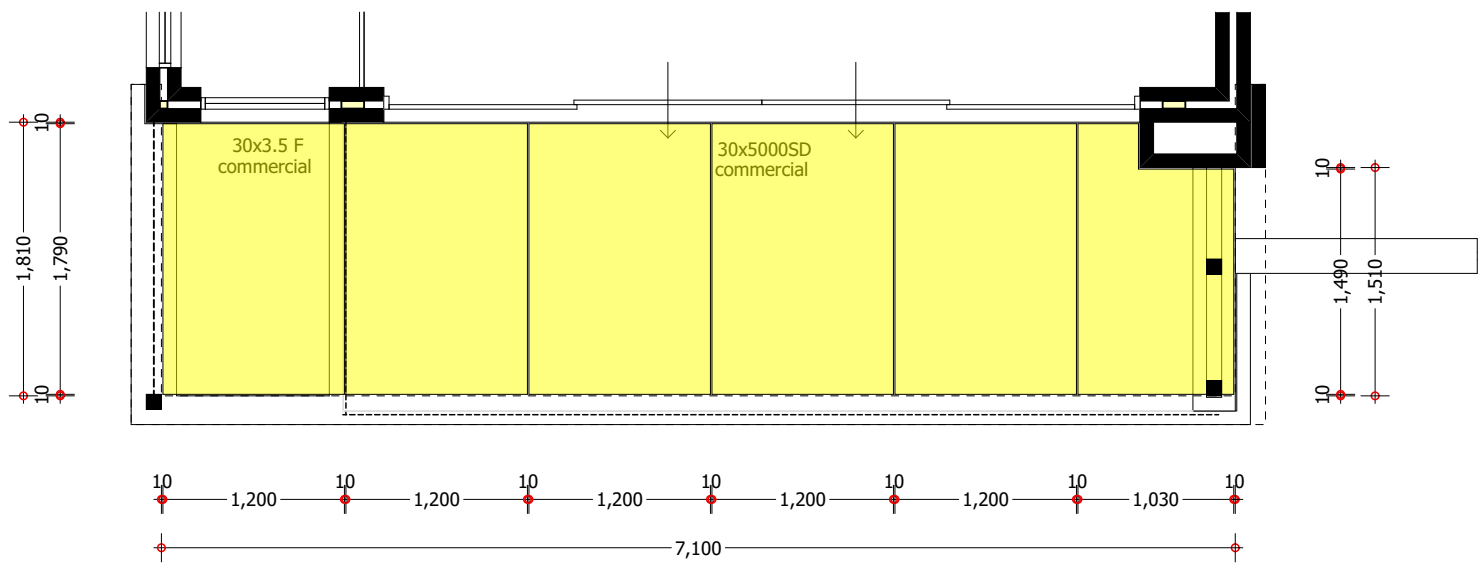
DATE: _____

AMENDMENTS:		
25/6/19	Vince	Engineers
28/6/19	GM	screen added
4/7/19	VM	Void win increased, rear rwall relocated
5/7/19	Vince	Alfresco o/hang, void win/balcony
28/08/19	RS	Prestart PSV01
10/09/19	RS	Prestart PSV02
10/10/19	RS	Prestart PSV03
4/12/19	GM	PSVO 4
30/05/20	SS	CV07

Custom
SHEET: 3 OF 17
DRN: Vince
DATE: 25/04/19
SCALE:1:100
CONTRACT NO: 18055



Alfresco Versilux Layout Plan
1:50



Balcony Versilux Plan layout
1:50

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PROPOSED RESIDENCE ADDRESS:
Lot 12 (#37) Beachton Street
North Beach
FOR:
Marcus and Lisa Tieleman

SIGNATURES:
OWNER: _____
OWNER: _____
BUILDER: _____
DATE: _____

AMENDMENTS:		
25/6/19	Vince	Engineers
28/6/19	GM	screen added
4/7/19	VM	Void win increased, rear rwall relocated
5/7/19	Vince	Alfresco o/hang, void win/balcony
28/08/19	RS	Prestart PSV01
10/09/19	RS	Prestart PSV02
10/10/19	RS	Prestart PSV03
4/12/19	GM	PSVO 4
30/05/20	SS	CV07

Custom
SHEET: 4 OF 17
DRN: Vince
DATE: 25/04/19
SCALE:1:100, 1:50
CONTRACT NO: 18055

GENERAL NOTES

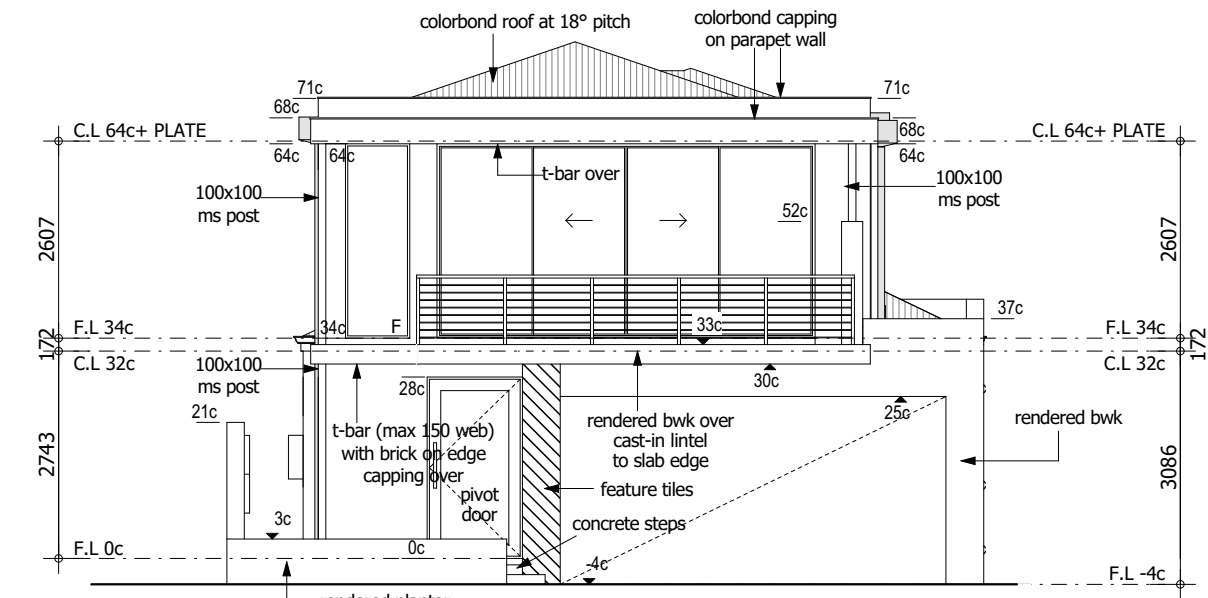
RENDERED BRICKWORK.

COLORBOND ROOF.

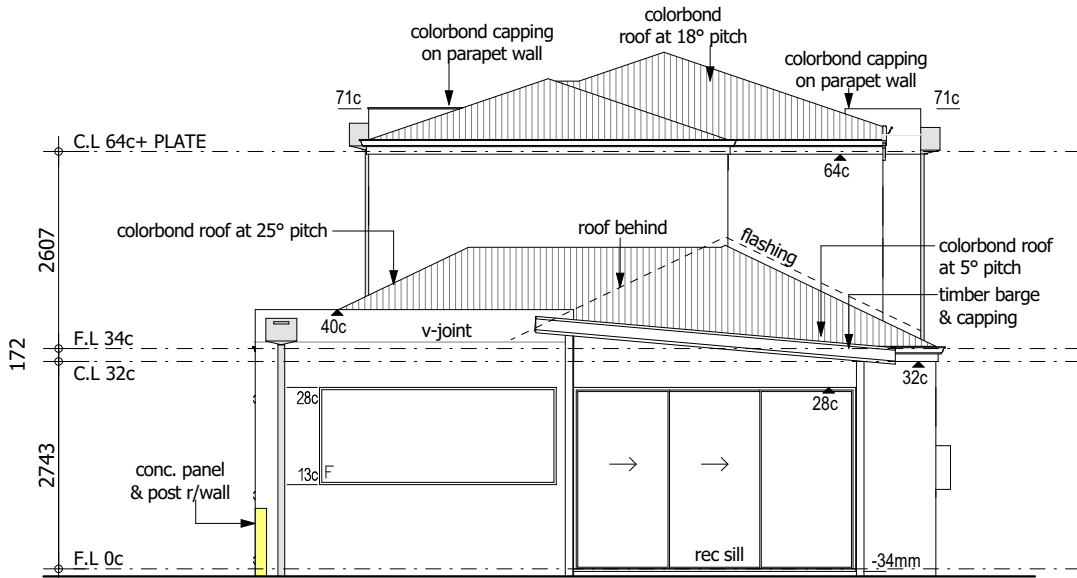
R4.1 CEILING INSULATION TO INTERNAL CEILINGS & GARAGE ONLY.

N2 WIND REGION.

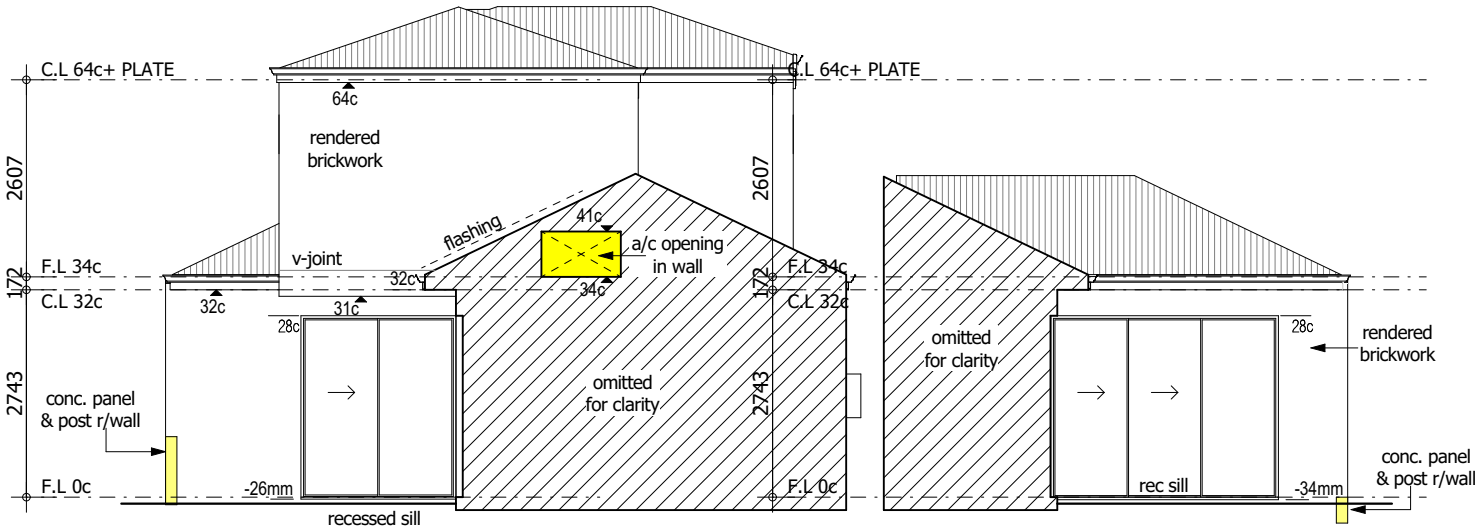
RWP POSITIONS SHOWN ARE APPROX AND ARE POSITIONED AT THE ROOF PLUMBERS DISCRETION. RWP'S SHOWN ON FRONT ELEVATION FOR VISUAL REFERENCE, REFER TO PLANS FOR REMAINING ELEVATIONS.



E1 FRONT ELEVATION
1:100

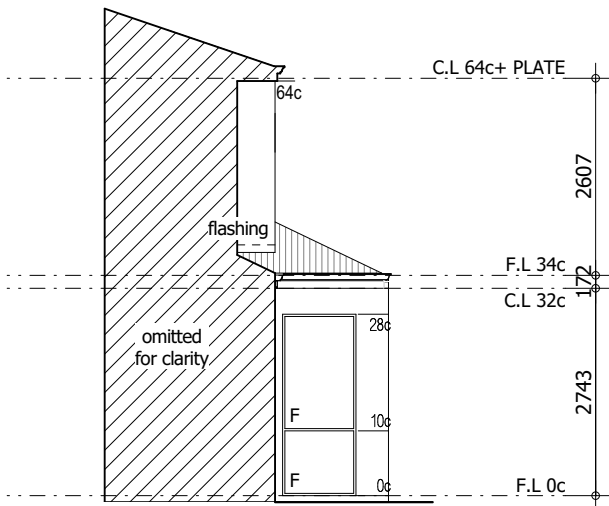


E3 REAR ELEVATION
1:100



E5 Side Elevation
1:100

E6 Side Elevation
1:100



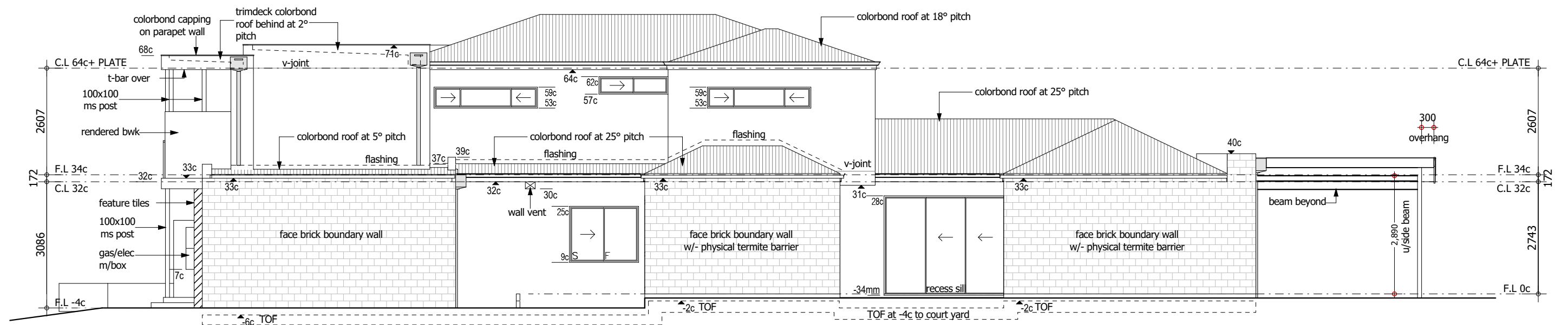
E7 Side Elevation
1:100

Custom		AMENDMENTS:	
SHEET: 5	OF 17	25/6/19 Vince	Engineers
DRN: Vince	DATE: 25/04/19	28/6/19 GM	screen added
SCALE: 1:100	CONTRACT NO: 18055	4/7/19 VM	Void win increased, rear rwall relocated
		5/7/19 Vince	Alfresco o/hang, void win/balcony
		28/08/19 RS	Prestart PSV01
		10/09/19 RS	Prestart PSV02
		10/10/19 RS	Prestart PSV03
		4/12/19 GM	PSVO 4
		30/05/20 SS	CV07

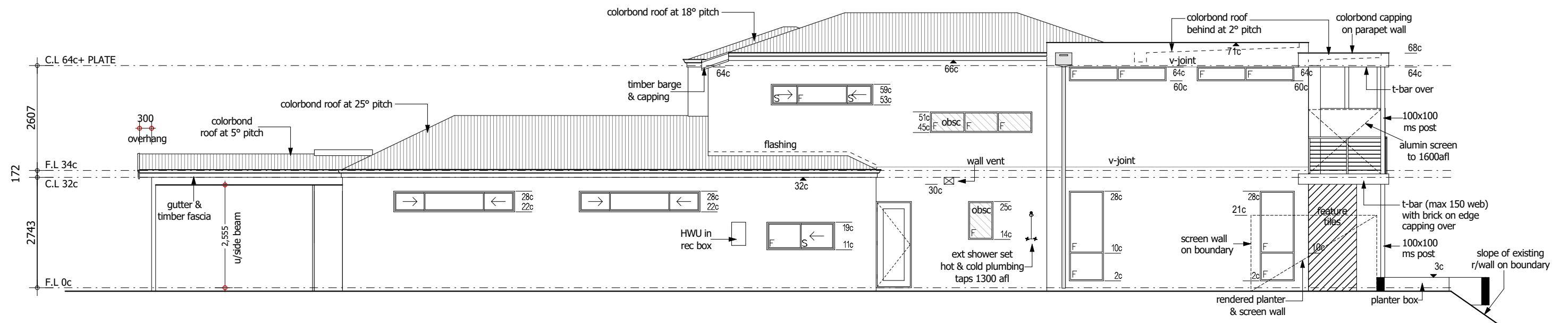
SIGNATURES:	
OWNER:	
OWNER:	
BUILDER:	
DATE:	

PROPOSED RESIDENCE ADDRESS:
Lot 12 (#37) Beachton Street
North Beach
FOR: Marcus and Lisa Tieleman





E2 SIDE ELEVATION
1:100



E4 SIDE ELEVATION
1:100

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PROPOSED RESIDENCE ADDRESS:
Lot 12 (#37) Beachton Street
North Beach
FOR:
Marcus and Lisa Tieleman

SIGNATURES:

OWNER: _____

OWNER: _____

BUILDER: _____

DATE: _____

AMENDMENTS:

25/6/19	Vince	Engineers
28/6/19	GM	screen added
4/7/19	VM	Void win increased, rear wall relocated
5/7/19	Vince	Alfresco o/hang, void win/balcony
28/08/19	RS	Prestart PSVO1
10/09/19	RS	Prestart PSVO2
10/10/19	RS	Prestart PSVO3
4/12/19	GM	PSVO 4
30/05/20	SS	CV07

Custom

SHEET6 OF 17

DRN: Vince

DATE: 25/04/19

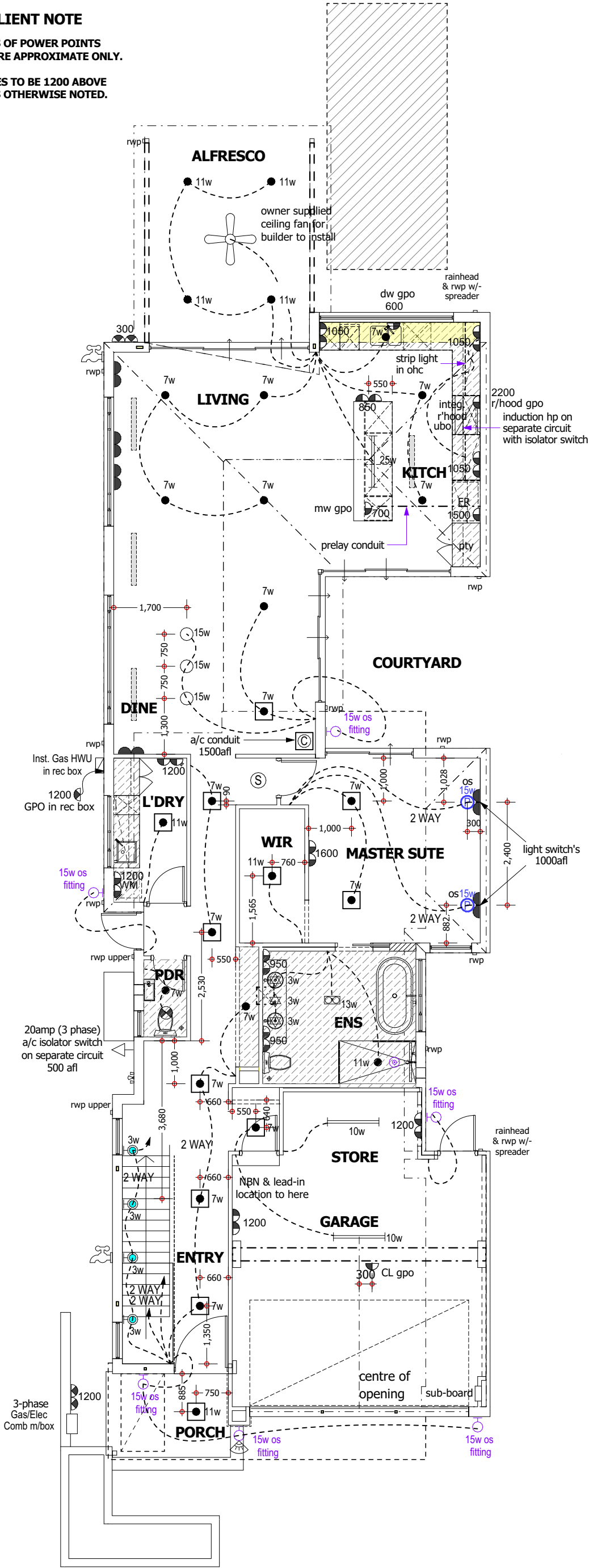
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CONTRACT NO:
18055

ELECTRICIAN/CLIENT NOTE

NOTE ALL POSITIONS OF POWER POINTS & LIGHTS ON PLAN ARE APPROXIMATE ONLY.

LIGHT SWITCH PLATES TO BE 1200 ABOVE FLOOR LEVEL UNLESS OTHERWISE NOTED.



ELECTRICAL LEGEND		
No.	2D Plan Preview	TYPE
6	2 WAY	2 WAY SWITCH
1		Ceiling Fan
3		CEILING LIGHT (15w)
1		CONDUIT (Under Slab)
17		DOUBLE GPO @ 300 AFL
14		DOUBLE GPO @ NOTED HT
2		Exhaust Fan
2		Fan/Light/Heater (13w)
2		H.WIRED SMOKE DETECTOR
1		ISOLATION SWITCH
2		LED Batten
1		MOTION SENSOR
3		PENDENT LIGHT (15w) - OWNER SUPPLIED
26		RECESSED LED DOWN-LIGHT (7w)
9		RECESSED LED DOWN-LIGHT (7w) (Under Slab)
7		RECESSED LED DOWN-LIGHT (11w)
3		RECESSED LED DOWN-LIGHT (11w) (Under Slab)
6		SINGLE GPO @ NOTED HT
1		SINGLE WATER PROOF GPO
5		STARLIGHT (3w)
4		Step Light (3w) 250 above step
1		STRIP LIGHT LED
1		STRIX PENDANT SUPPLIED BY OWNER (25w)
6		WALL LIGHT @ 2000 AFL - OWNER SUPPLIED

Note:
Refer to separeate plans for INTELLIGENT HOME:

- Cabling Plans
- Extras
- Pit & pipe Design

Note:
Antennae by builder through INTELLIGENT HOME.

Note:
All pendant light positions to be confirmed on site with owner and electrician.

GROUND FLOOR ELECTRICAL PLAN
1:100

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PROPOSED RESIDENCE ADDRESS:
Lot 12 (#37) Beachton Street
North Beach

FOR:
Marcus and Lisa Tieleman

SIGNATURES:

OWNER: _____

OWNER: _____

BUILDER: _____

DATE: _____

AMENDMENTS:

25/6/19	Vince	Engineers
28/6/19	GM	screen added
4/7/19	VM	Void win increased, rear rwall relocated
5/7/19	Vince	Alfresco o/hang, void win/balcony
28/08/19	RS	Prestart PSV01
10/09/19	RS	Prestart PSV02
10/10/19	RS	Prestart PSV03
4/12/19	GM	PSVO 4
30/05/20	SS	CV07

Custom

SHEET: 7 OF 17

DRN: Vince

DATE: 25/04/19

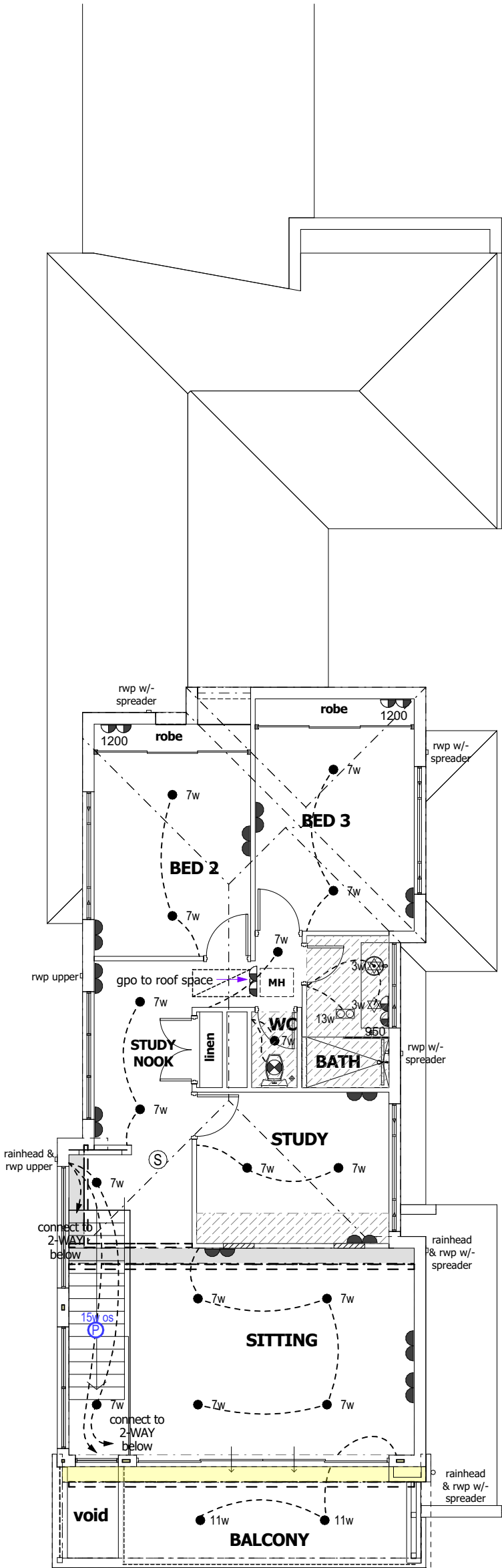
SCALE:1:100, 1:1

CONTRACT NO:
18055

ELECTRICIAN/CLIENT NOTE

NOTE ALL POSITIONS OF POWER POINTS & LIGHTS ON PLAN ARE APPROXIMATE ONLY.

LIGHT SWITCH PLATES TO BE 1200 ABOVE FLOOR LEVEL UNLESS OTHERWISE NOTED.



ELECTRICAL LEGEND		
No.	2D Plan Preview	TYPE
6	2 WAY	2 WAY SWITCH
1		Ceiling Fan
3		CEILING LIGHT (15w)
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17		DOUBLE GPO @ 300 AFL
14		DOUBLE GPO @ NOTED HT
2		Exhaust Fan
2		Fan/Light/Heater (13w)
2		H.WIRED SMOKE DETECTOR
1		ISOLATION SWITCH
2		LED Batten
1		MOTION SENSOR
3		PENDENT LIGHT (15w) - OWNER SUPPLIED
26		RECESSED LED DOWN-LIGHT (7w)
9		RECESSED LED DOWN-LIGHT (7w) (Under Slab)
7		RECESSED LED DOWN-LIGHT (11w)
3		RECESSED LED DOWN-LIGHT (11w) (Under Slab)
6		SINGLE GPO @ NOTED HT
1		SINGLE WATER PROOF GPO
5		STARLIGHT (3w)
4		Step Light (3w) 250 above step
1		STRIP LIGHT LED
1		STRIX PENDANT SUPPLIED BY OWNER (25w)
6		WALL LIGHT @ 2000 AFL - OWNER SUPPLIED

Note:
Refer to seperate plans for INTELLIGENT HOME:

- Cabling Plans
- Extras
- Pit & pipe Design

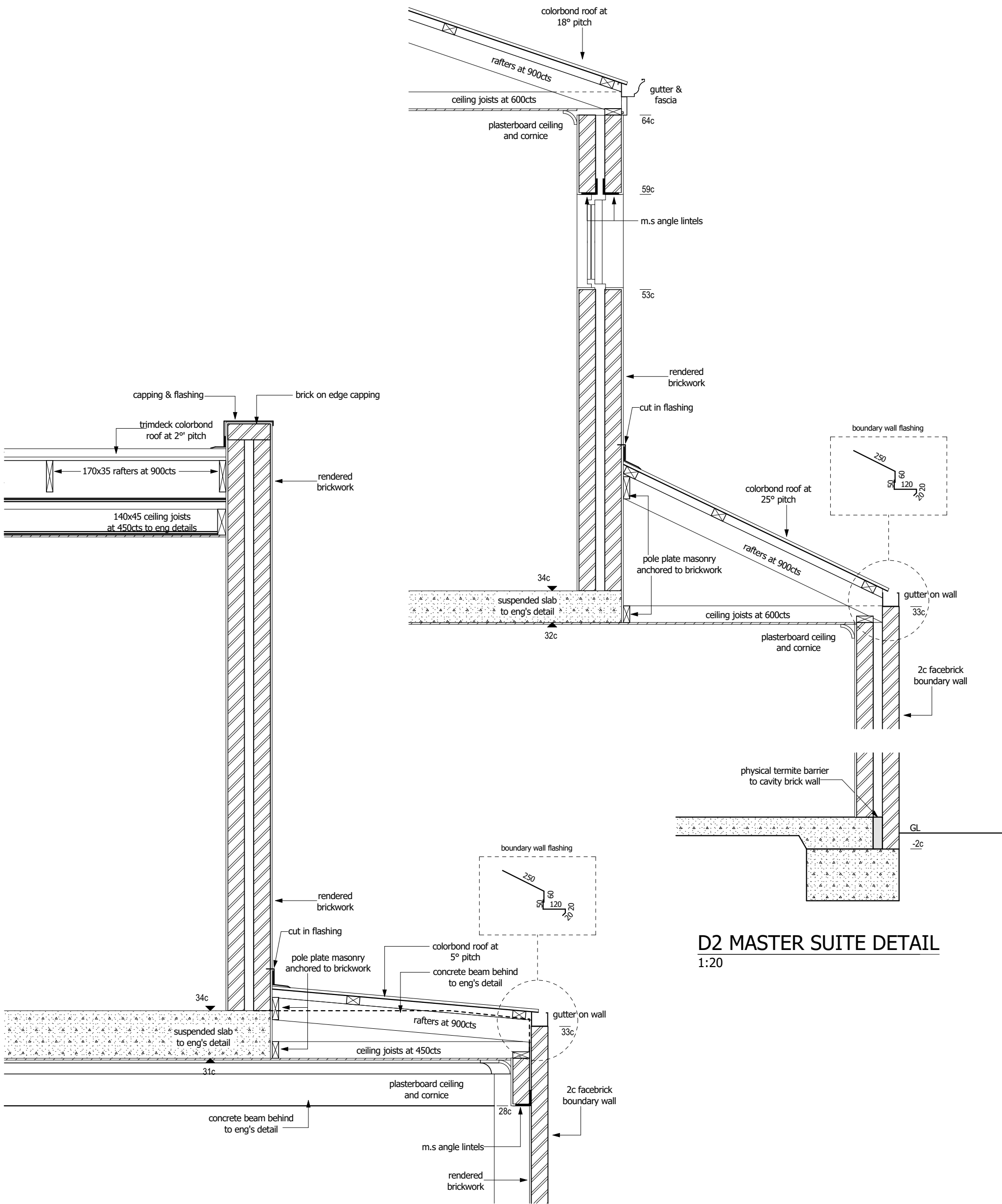
Note:
Antennae by builder through INTELLIGENT HOME.

Note:
All pendant light positions to be confirmed on site with owner and electrician.

FIRST FLOOR ELECTRICAL PLAN
1:100

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	PROPOSED RESIDENCE ADDRESS: Lot 12 (#37) Beachton Street North Beach FOR: Marcus and Lisa Tieleman	SIGNATURES:		AMENDMENTS:			Custom
		OWNER: _____	25/6/19	Vince	Engineers	SHEET: 8 OF 17	
			28/6/19	GM	screen added		
			4/7/19	VM	Void win increased, rear rwall relocated		
			5/7/19	Vince	Alfresco o/hang, void win/balcony		
		OWNER: _____	28/08/19	RS	Prestart PSV01	DRN: Vince	
			10/09/19	RS	Prestart PSV02		
			10/10/19	RS	Prestart PSV03		
			4/12/19	GM	PSVO 4		
		BUILDER: _____	30/05/20	SS	CV07	DATE: 25/04/19	
DATE: _____				SCALE:1:100, 1:1			
				CONTRACT NO: 18055			



D1 GARAGE DETAIL
1:20

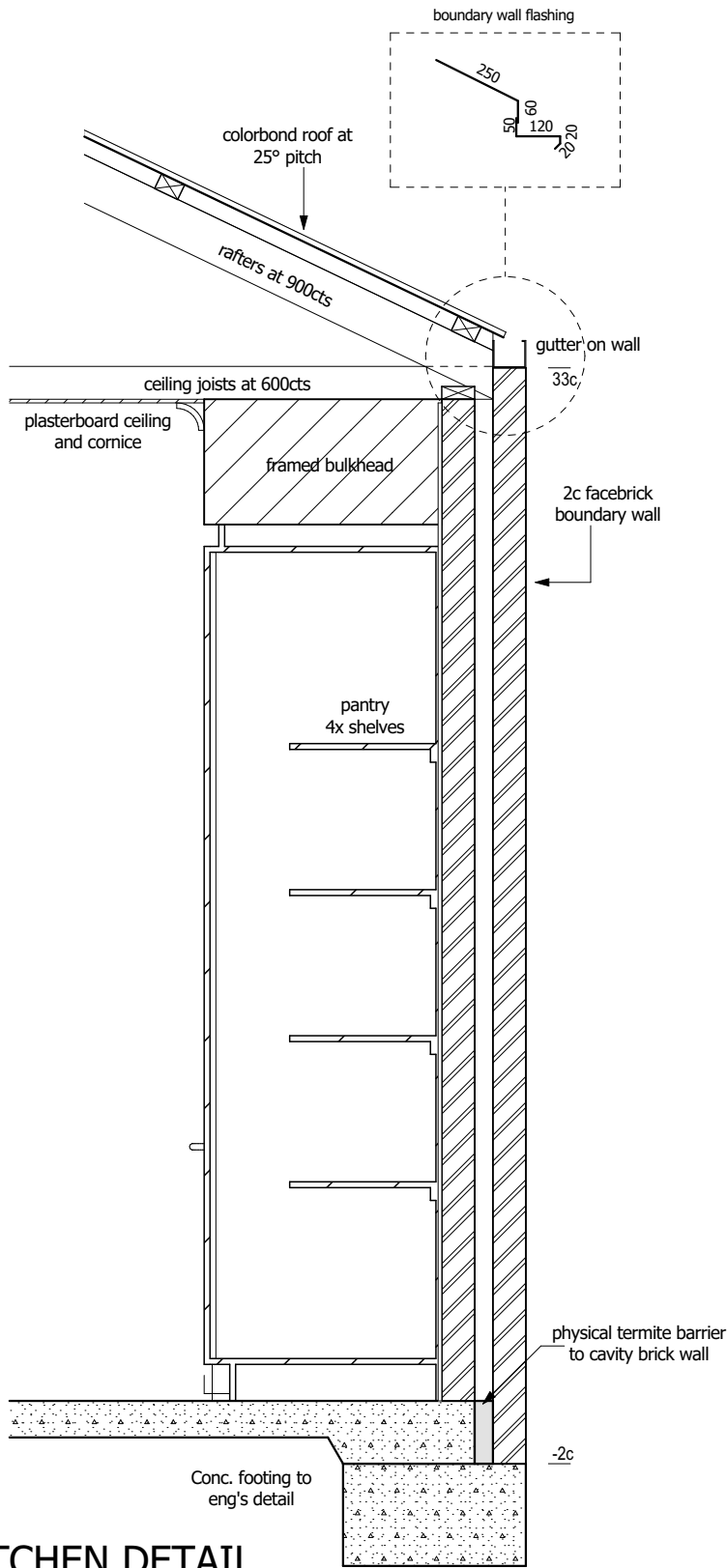
D2 MASTER SUITE DETAIL
1:20

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	PROPOSED RESIDENCE ADDRESS: Lot 12 (#37) Beachton Street North Beach FOR: Marcus and Lisa Tieleman	SIGNATURES:		AMENDMENTS:		Custom
		OWNER: _____	25/6/19	Vince	Engineers	SHEET: 9 OF 17
			28/6/19	GM	screen added	
			4/7/19	VM	Void win increased, rear rwall relocated	
			5/7/19	Vince	Alfresco o/hang, void win/balcony	
		OWNER: _____	28/08/19	RS	Prestart PSVO1	DRN: Vince
			10/09/19	RS	Prestart PSVO2	
		BUILDER: _____	10/10/19	RS	Prestart PSVO3	DATE: 25/04/19
			4/12/19	GM	PSVO 4	
		DATE: _____	30/05/20	SS	CV07	SCALE:1:20, 1:100

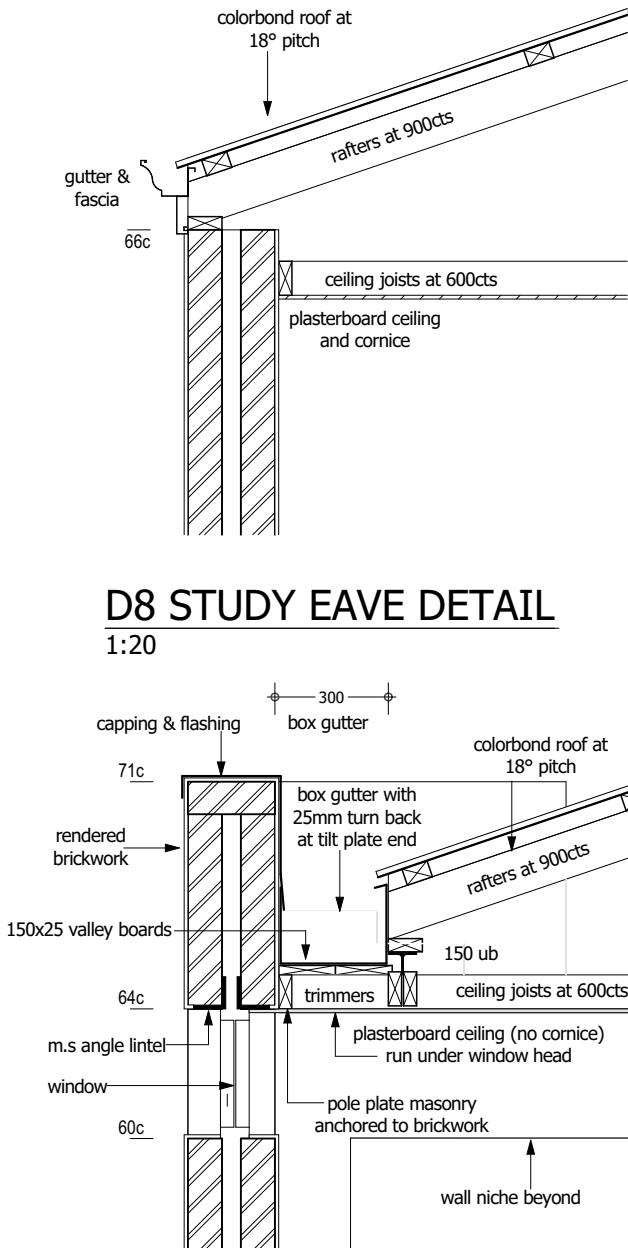
D3 KITCHEN DETAIL

1:20



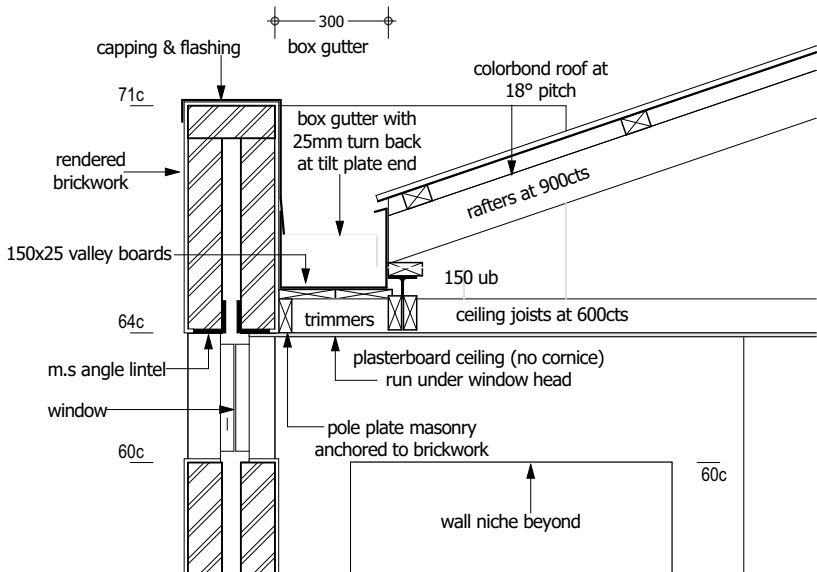
D8 STUDY EAVE DETAIL

1:20



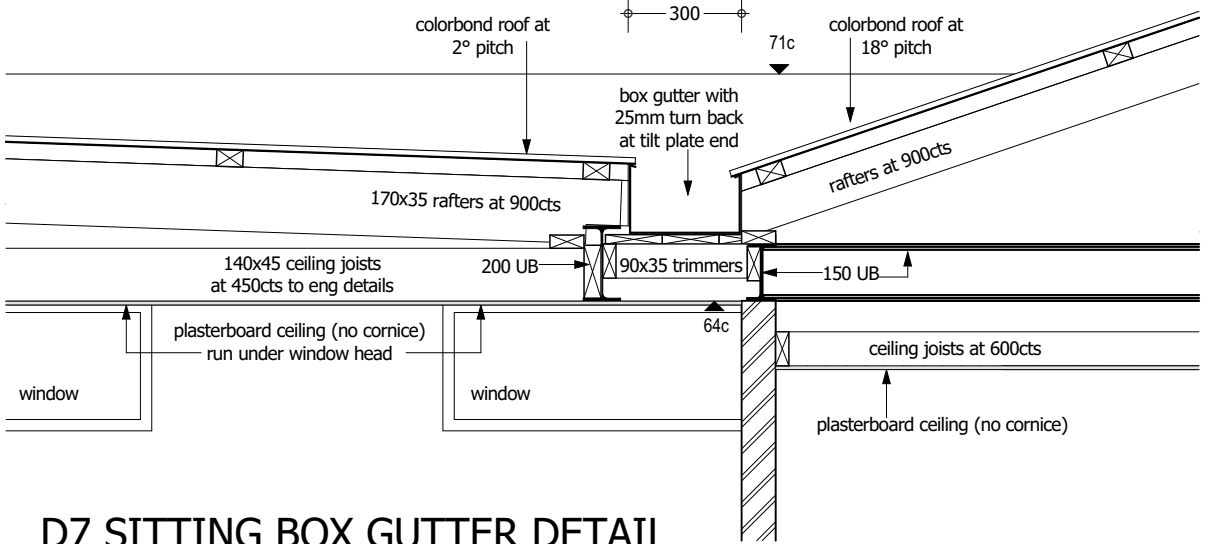
D5 STAIR BOX GUTTER DETAIL

1:20



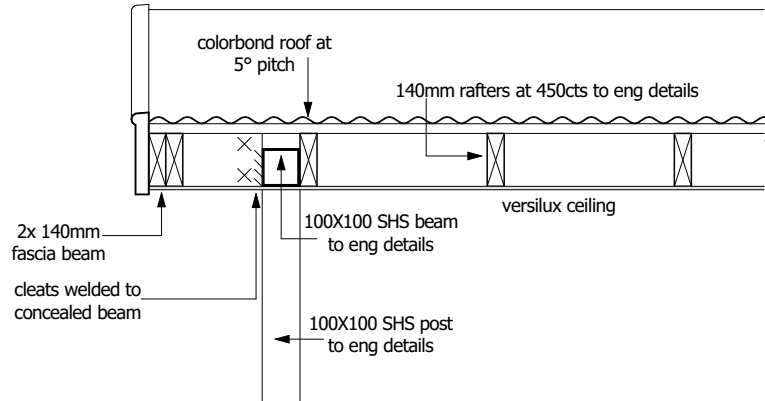
D7 SITTING BOX GUTTER DETAIL

1:20



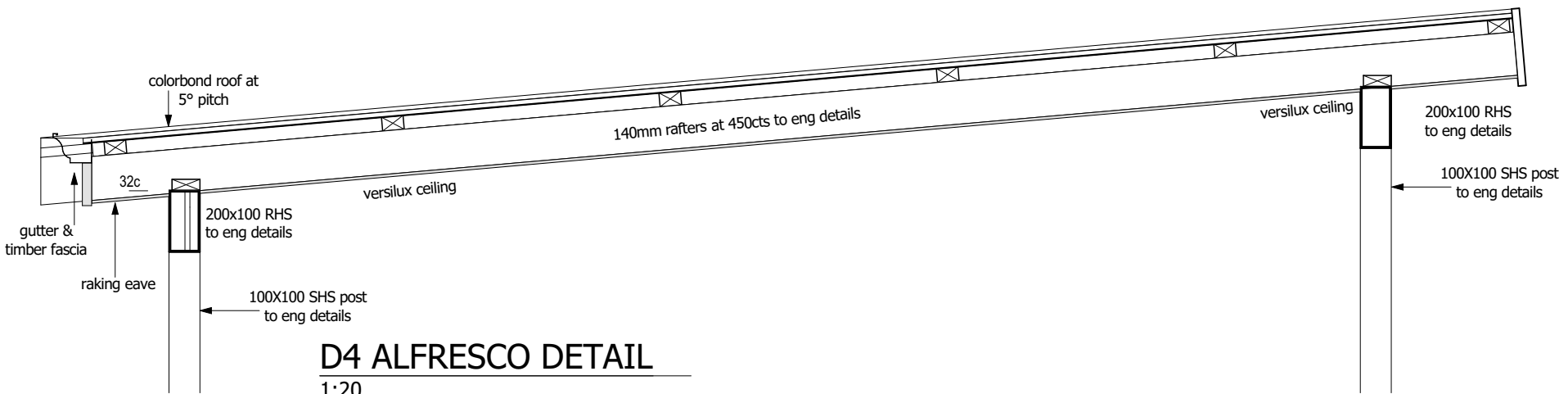
D9 ALFRESCO OVERHANG DETAIL

1:20



D4 ALFRESCO DETAIL

1:20



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PROPOSED RESIDENCE ADDRESS:
Lot 12 (#37) Beachton Street
North Beach
FOR:
Marcus and Lisa Tieleman

SIGNATURES:

OWNER: _____
OWNER: _____
BUILDER: _____
DATE: _____

AMENDMENTS:

25/6/19	Vince	Engineers
28/6/19	GM	screen added
4/7/19	VM	Void win increased, rear rwall relocated
5/7/19	Vince	Alfresco o/hang, void win/balcony
28/08/19	RS	Prestart PSV01
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4/12/19	GM	PSVO 4
30/05/20	SS	CV07

Custom

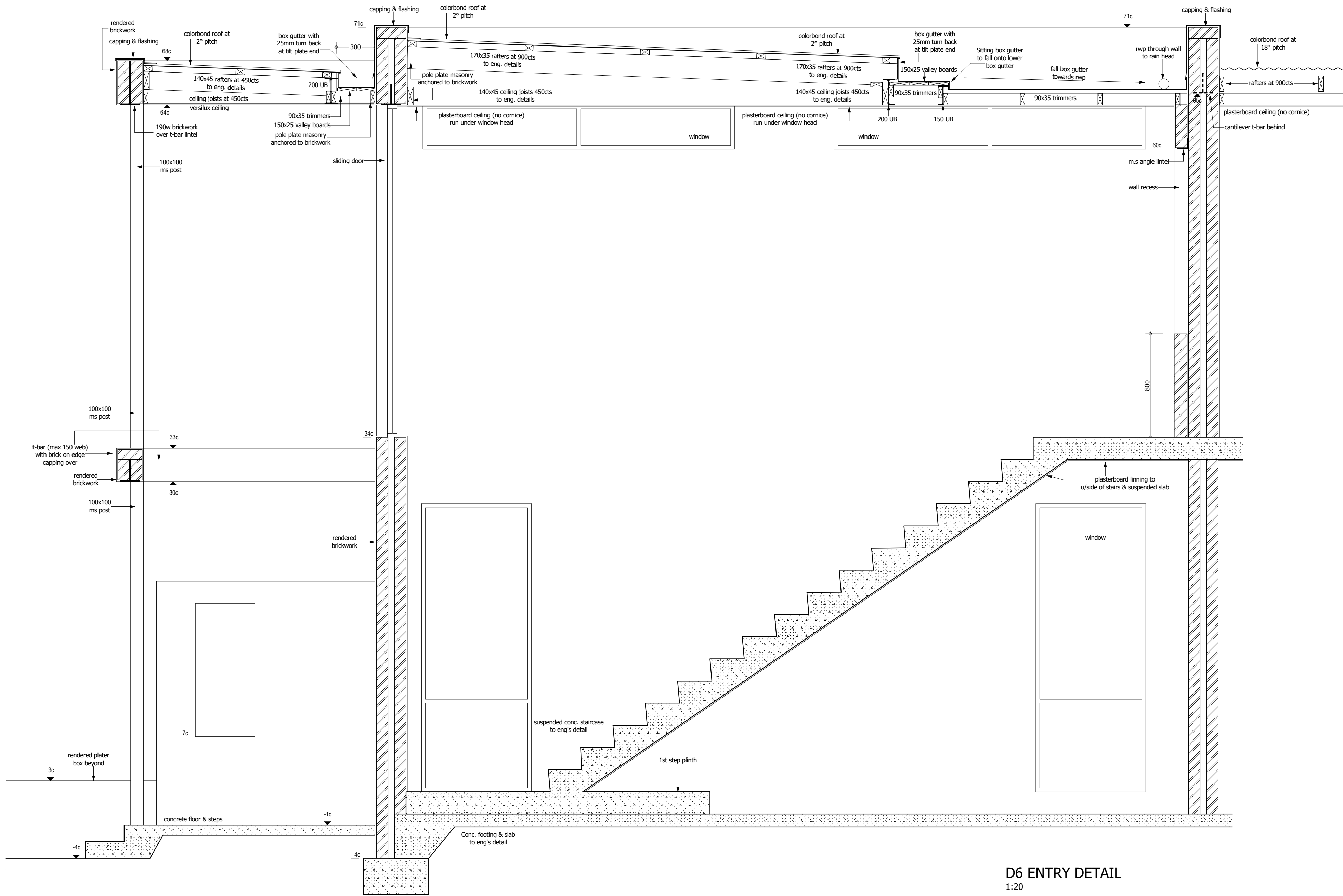
SHEET: 10 OF 17

DRN: Vince

DATE: 25/04/19


SCALE:1:20, 1:100

CONTRACT NO:
18055



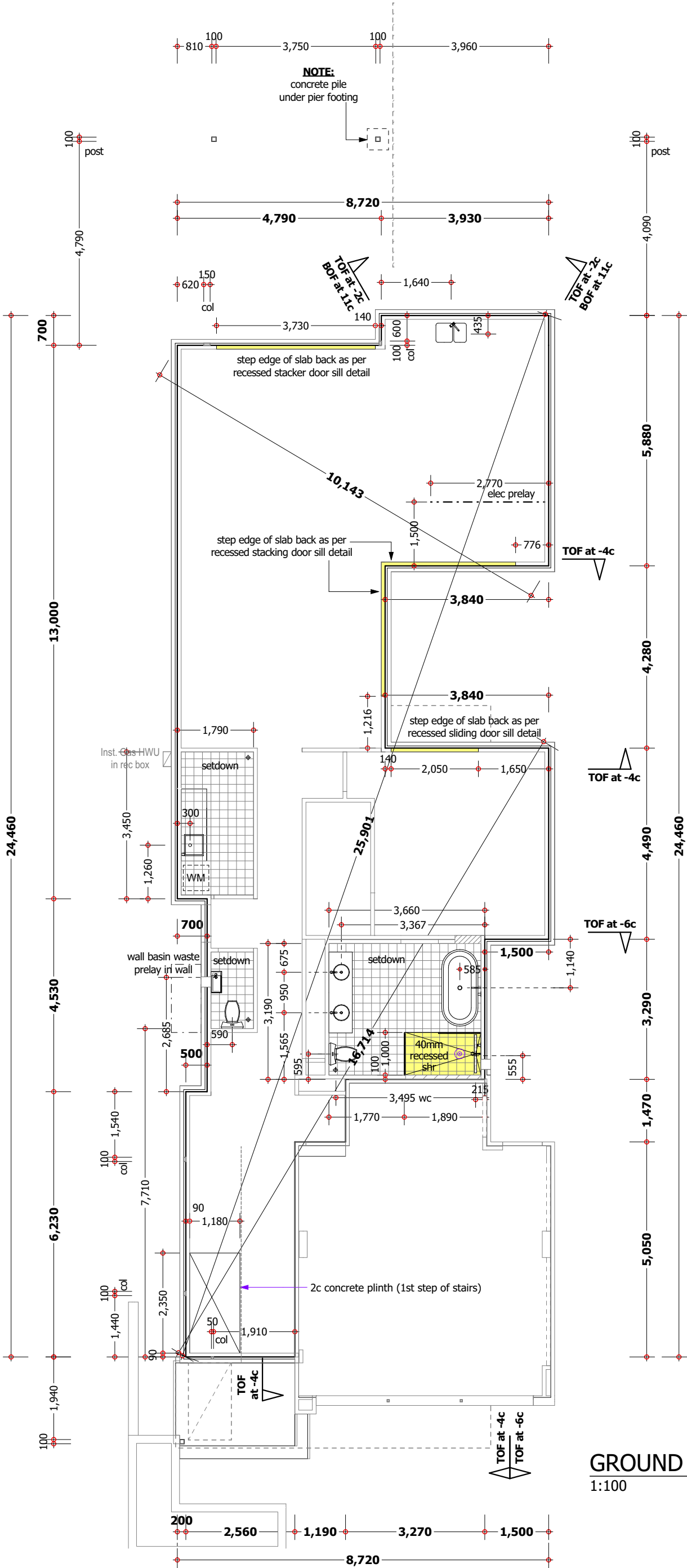
D6 ENTRY DETAIL
1:20

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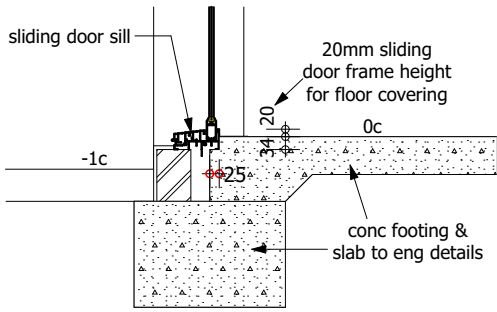
 COAST HOMES	<p>PROPOSED RESIDENCE ADDRESS: Lot 12 (#37) Beachton Street North Beach</p> <p>FOR: Marcus and Lisa Tieleman</p>	SIGNATURES:	AMENDMENTS:	Custom
		OWNER:	25/6/19 Vince Engineers	SHEET: 11 OF 17
			28/6/19 GM screen added	
		OWNER:	4/7/19 VM Void win increased, rear wall relocated	DRN: Vince
			5/7/19 Vince Alfresco o/hang, void win/balcony	
		BUILDER:	28/08/19 RS Prestart PSVO1	DATE: 25/04/19
			10/09/19 RS Prestart PSVO2	
		DATE:	10/10/19 RS Prestart PSVO3	SCALE: 1:100, 1:20
			4/12/19 GM PSVO 4	
			30/05/20 SS CV01	CONTRACT NO: 18055

CONCRETOR NOTE

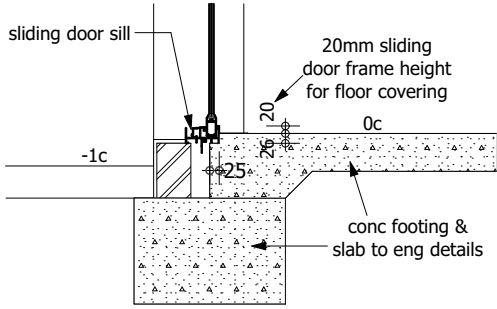
1. GARAGE & FREESTANDING EXTERNAL BRICK
PIER FOOTINGS TO BE AT -3c U.O.N.



GROUND SLAB LAYOUT
1:100



Premium Stacking Door Sill Detail
1:20



Premium Sliding Door Sill Detail
1:20

AMENDMENTS:		SIGNATURES:	
25/6/19	Vince	Engineers	Custom
28/6/19	GM	screen added	SHEET: 12 OF 17
4/7/19	VM	Void win increased, rear wall relocated	DRN: Vince
5/7/19	Vince	Alfresco o/hang, void win/balcony	DATE: 25/04/19
28/08/19	RS	Prestart PSV01	SCALE: 1:100, 1:20
10/09/19	RS	Prestart PSV02	CONTRACT NO: 18055
10/10/19	RS	Prestart PSV03	
4/12/19	GM	PSV0 4	
30/05/20	SS	CV07	

SIGNATURES:		AMENDMENTS:	
OWNER:		25/6/19	Vince
OWNER:		28/6/19	GM
BUILDER:		4/7/19	VM
DATE:		5/7/19	Vince
		28/08/19	RS
		10/09/19	RS
		10/10/19	RS
		4/12/19	GM
		30/05/20	SS

PROPOSED RESIDENCE ADDRESS:
Lot 12 (#37) Beachton Street
North Beach
FOR:
Marcus and Lisa Tieleman

COAST HOMES

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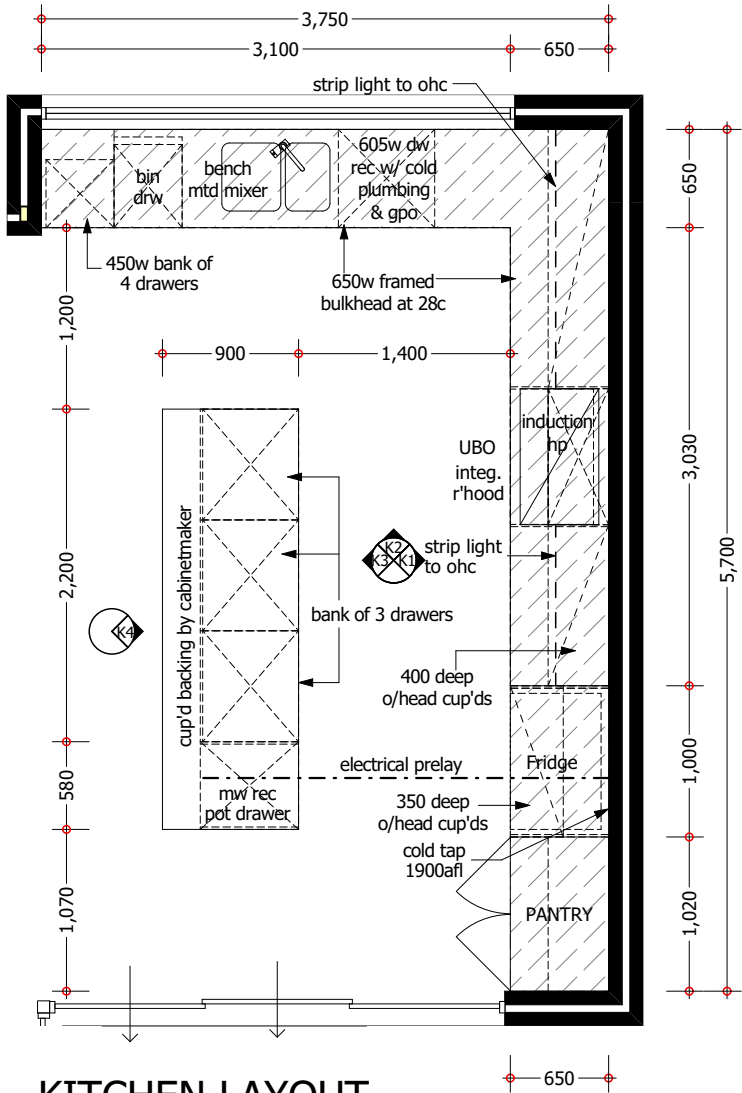


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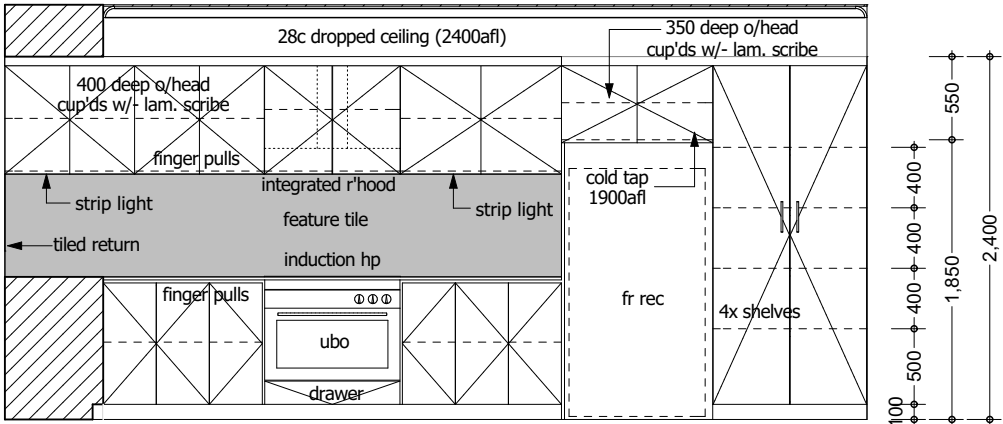
GENERAL NOTES

MITRED TILES THROUGHOUT.

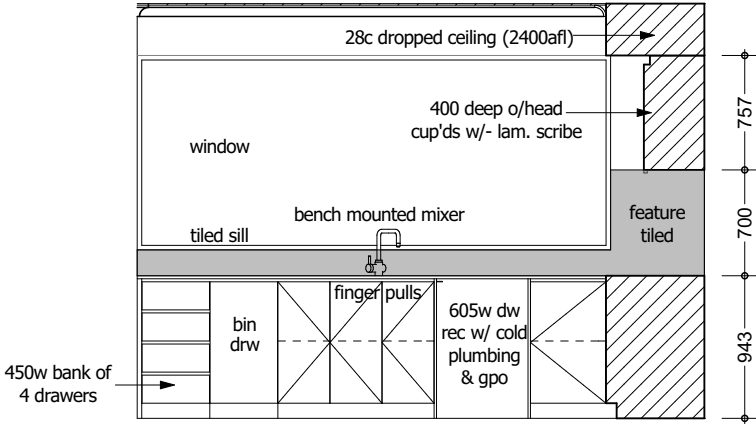
DIMENSIONS FOR CABINETWORK
ARE SUBJECT TO CABINETMAKER
REQUIREMENTS.



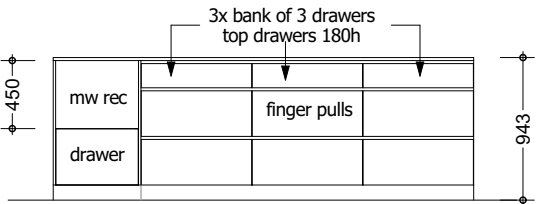
KITCHEN LAYOUT
1:50



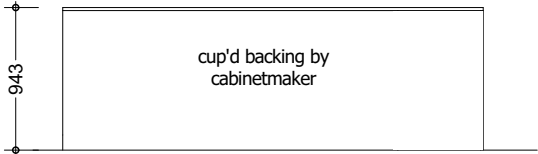
K1 KITCHEN
1:50



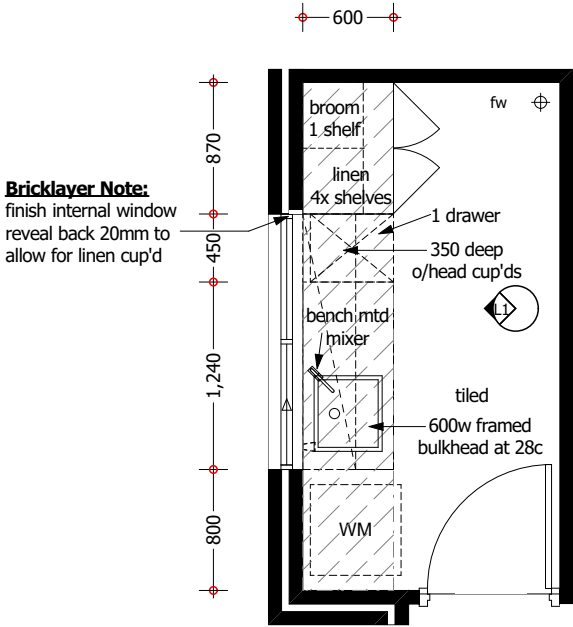
K2 KITCHEN
1:50



K3 KITCHEN
1:50

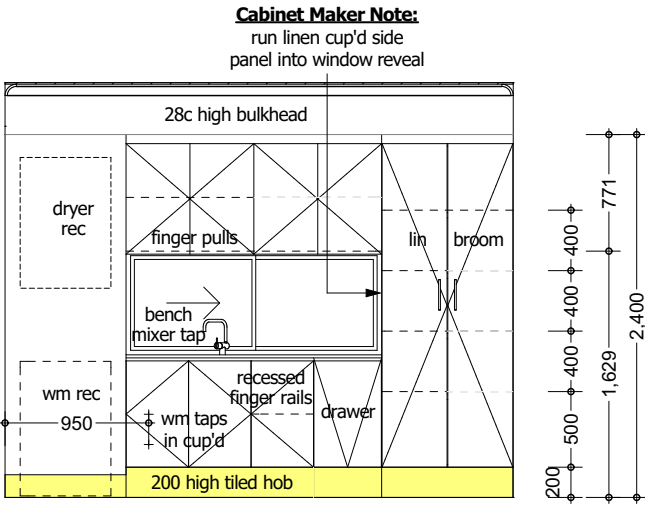


K4 KITCHEN
1:50



Bricklayer Note:
finish internal window
reveal back 20mm to
allow for linen cup'd

LAUNDRY LAYOUT
1:50



Cabinet Maker Note:
run linen cup'd side
panel into window reveal

L1 LAUNDRY
1:50

Note:

Owner to supply - builder to install:
Towel Rails, Toilet Roll Holders & Towel Rings.
Shower Mixers & Grates.
All Basins including pop plug & Basin Wastes
& Mixers.
Freestanding Bath incl. pop plug & Waste.
Bath Mixer & Spout
Laundry Trough & Benchtop Mixer.
Kitchen Sink & Benchtop Mixer.

Oven and Induction Hotplate.
Floor & Shower Wastes.

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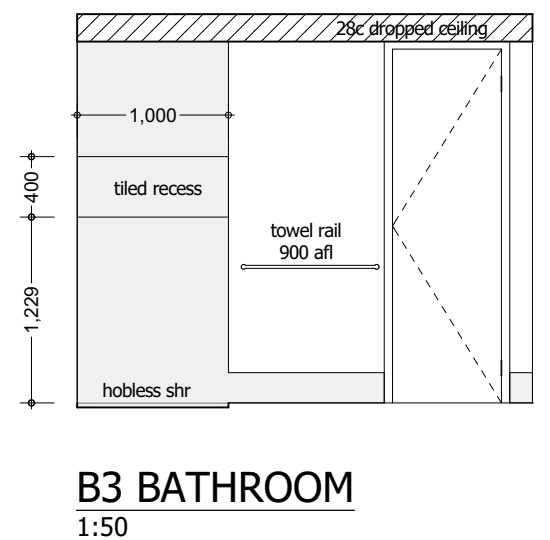
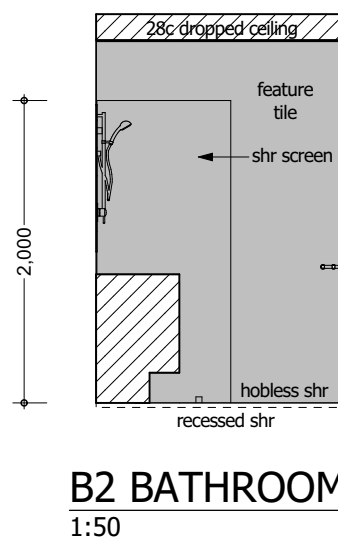
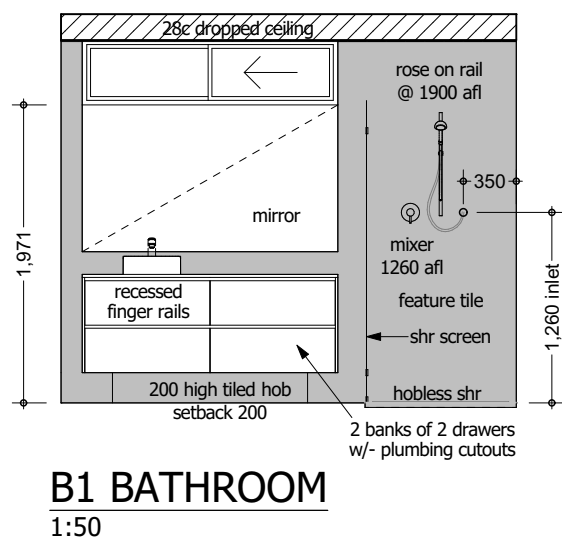
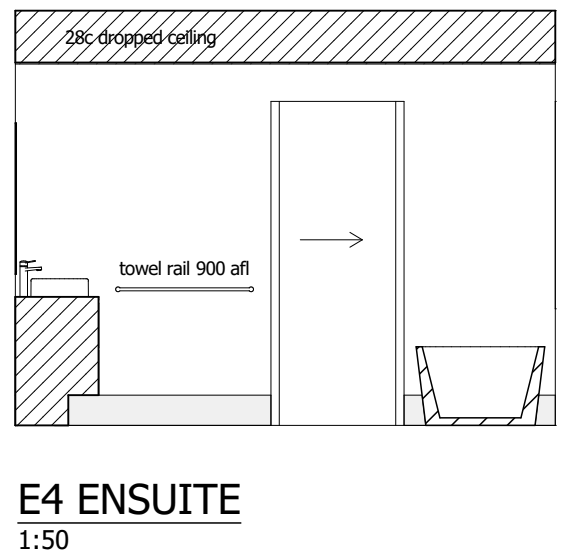
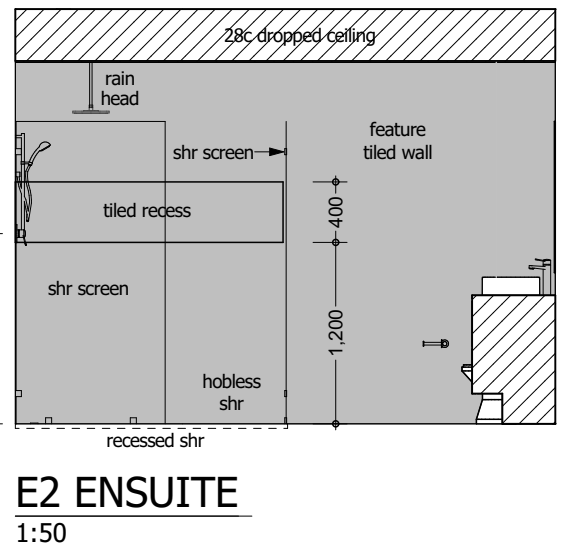
PROPOSED RESIDENCE ADDRESS:
Lot 12 (#37) Beachton Street
North Beach
FOR:
Marcus and Lisa Tieleman

SIGNATURES:
OWNER: _____
OWNER: _____
BUILDER: _____
DATE: _____

AMENDMENTS:		
25/6/19	Vince	Engineers
28/6/19	GM	screen added
4/7/19	VM	Void win increased, rear rwall relocated
5/7/19	Vince	Alfresco o/hang, void win/balcony
28/08/19	RS	Prestart PSV01
10/09/19	RS	Prestart PSV02
10/10/19	RS	Prestart PSV03
4/12/19	GM	PSVO 4
30/05/20	SS	CV07

Custom
SHEET: 14 OF 17
DRN: Vince
DATE: 25/04/19
SCALE: 1:50, 1:100
CONTRACT NO:
18055

**DIMENSIONS FOR CABINETWORK
ARE SUBJECT TO CABINETMAKER
REQUIREMENTS.**

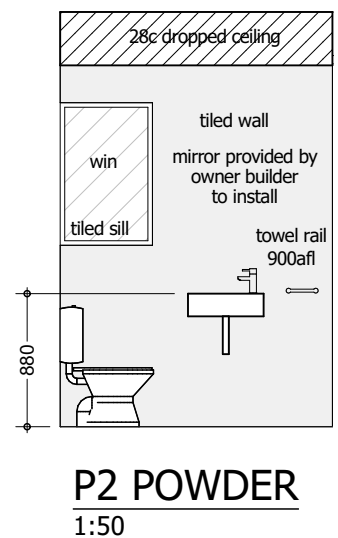
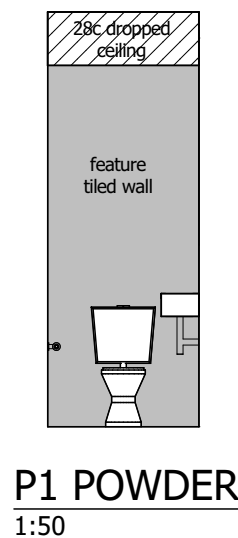
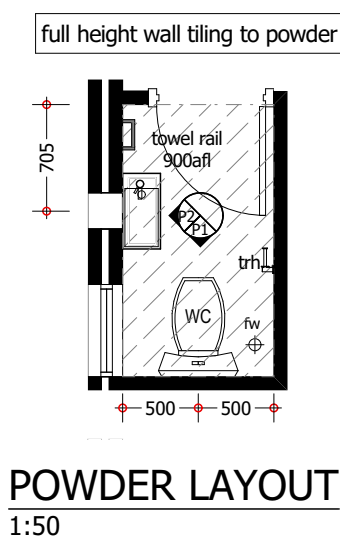


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Laundry Trough & Benchtop Mixer.
Kitchen Sink & Benchtop Mixer.

Oven and Induction Hotplate.
Floor & Shower Wastes.



PROPOSED RESIDENCE ADDRESS:
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25/6/19	Vince	Engineers
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5/7/19	Vince	Alfresco o/hang, void win/balcony
28/08/19	RS	Prestart PSVO1
10/09/19	RS	Prestart PSVO2
10/10/19	RS	Prestart PSVO3
4/12/19	GM	PSVO 4
30/05/20	SS	CV07

SHEET: 15 OF 17

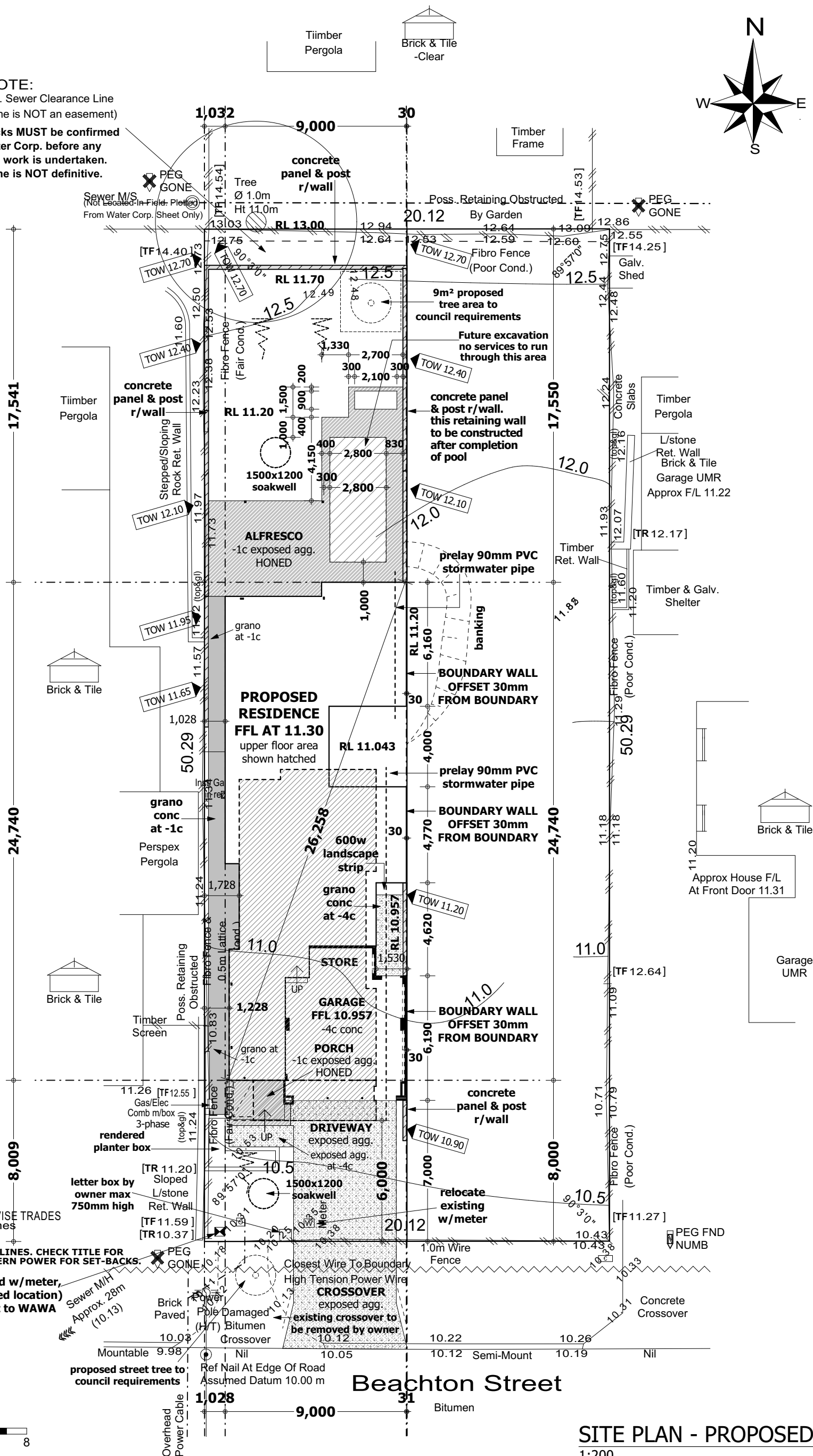
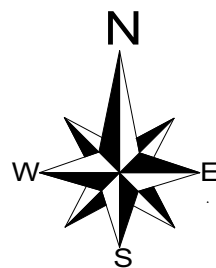
DRN: Vince

DATE: 25/04/19

SCALE:1:50, 1:100

CONTRACT NO:
18055

NOTE:
Approx. Sewer Clearance Line
(This line is NOT an easement)
Setbacks MUST be confirmed by Water Corp. before any design work is undertaken.
This line is NOT definitive.



Scale 1:200
0 2 4 6 8

SITE PLAN - PROPOSED
1:200

SEC Dome	Power Pole
Phone Pits	Water Conn.
Top Pillar/Post	Top Retaining
Top Wall	Top Fence

LEGEND
OLD AREA

Builder : Coast Homes
CLIENT : Tieleman
LOT 12 #37 Beachton Street, North Beach
Plan 3500

87-89 Guthrie Street, Osborne Park, Western Australia
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998
Email: perth@cottage.com.au Website: www.cottage.com.au
J/N: 448903 DATE: 06 Feb 19 SCALE: 1:200 DRAWN: B. Saliba

COTTAGE & ENGINEERING SURVEYS
Licensed Surveyors

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PROPOSED RESIDENCE ADDRESS:
Lot 12 (#37) Beachton Street
North Beach
FOR:
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25/6/19	Vince	Engineers
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10/10/19	RS	Prestart PSV03
4/12/19	GM	PSV0 4
30/05/20	SS	CV07

Custom

SHEET: 16 OF 17

DRN: Vince

DATE: 25/04/19

SCALE: 1:200

CONTRACT NO:
18055

