

Licensed and Engineering Surveying Consultants

T (08) 9242 8247 E: admin@prowestsurveying.com.au Web: www.prowestsurveying.com.au F (08) 9242 82 6 Po Box 1463 Osborne Park DC 6916 DWG# 3539001

⊚ ER

**NOTES** 

Feature & Contour Survey of: Lot 889, No. 8A Jemerson Street, WILLAGEE

PLAN: DP 414610 CLIENT: CHERNEY LOT AREA: SURVEY DATE: 20/03/20 C/T Vol: 2975 Fol: 96 BUILDER: MY HOMES WA MAP REFERENCE:

BUILDER JOB # 20020 HEIGHT DATUM: AHD AUTHORITY: CITY OF MELVILLE SEWER INFORMATION: YES HEIGHT CORRECTION TO AHD: NO

top:22.88

metal

REVISION: A

SHEET: 1 OF 1

1.8m high metal fence atop

limestone retaining wall top:23.32

twin-side retaining wall

timber patio

ground floor

14

2 storey brick & metal

residence # 6

approx FFL: 22.9

>1KM COASTAL ZONE:

# FEATURE SYMBOL **LEGEND**

**POWER** CABLE DOME 🏽 🗑 POWER POLE OPP CONSUMER ⊕ CP CB CABLE BOX **POWER** EXPOSED **P** ₩ EC MARKER **EARTH** 

**WATER** 

LIGHT POLE \*LP

BORE

WATER **FIRE** METER / TAP  $\oplus$ HYDRANT ð STOP VALVE SV TAP FLUSHING RETIC VALVE | RV POINT

**SEWERAGE** 

WATER MARKER

SEWER M/H (SQUARE LID) SEWER M/H SEWER M/H (ROUND LID) INSPECTION O IS INSPECTION O IO HOUSE CONNECTION

**TELSTRA** 

TELSTRA **6 TELSTRA** M **MANHOLE** PIT **TELSTRA**  $\bigcirc$ MARKER

**DRAINAGE** 

DRAIN M/H DRAIN M/H (ROUND LID) SQUARE LID) SIDE DRAINAGE **ENTRY PIT GRATE** COMBINED **ENTRY PIT** 

GAS 6 **GAS METER** GAS VALVE

GAS MARKER SURVEY MARKS PEG FOUND PF () PEG GONE BENCH MARK DRILL HOLE DH C NAIL & PLATE NPL O PM () PEN MARK

MISCELLANEOUS INFO.

NAIL 🛆

STREET SIGN (S) SPOT HEIGHT ,o. K UNKNOWN BOLLARD OB SERVICE MARKER SEWER OVERHEAD POWER LINE WINDOW / FENCE LINE →----

SERVICE DETAILS

**OPENING** 

WATER: A, TBC OVERHEAD POWER: L U/G POWER: L TELSTRA: L GAS: A,TBC SEWER: L

0

(1) ALL FEATURES IN GOOD CONDITION 1.5 m high fibro fence behind limestone retaining (2) DEVELOPMENT AREA: ESTABLISHED 1.8m high metal fence twin-side retaining top:22.75 wall top:22.86 twin-side retaining wall behind 17.76 ₽  $\wp_{\gamma}$ HC 2m high metal fence top:22.26 22.25 fibro shed 83 19. 22.25 22.25 27,45 top:22.18top:22.86 metal <u>12.</u>76 ณี carport twin-side retaining 1409 twin-side retaining wall top:22.49 wall bottom:22.19 wall top:22.66 wall bottom:22.19 residence well clear PG top:22.10door top:21.92 888 weatherboard & tile top:21.74 residence #8 approx FFL: 22.83 verandah 52 Ś -1.9m high metal fence twin-side retaining wall behind-1.7m high metal fence top:21.73

SERVICE NOTES

12.5

L: LOCATED NS: NO SERVICE A: AVAILABLE BUT NOT LOCATED TBC: LOCATION TO BE CONFIRMED

15

**SEWER JUNCTION DETAILS** 

HOUSE CONNECTION (HC) IL: 21.65 **UP DISTANCE:** 0 **DEPTH TO CONNECTION:** 0.64

JEMERSON STREET

concrete crossover

# IMPORTANT FEATURE SURVEY NOTES

SCALE 1:200 AT A3 SIZE

7.5

. The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A repeg / bdy identification survey is recommended if an accurate position of features / improvements relative to the boundary is required. 2. The sewer junction on this plan has been plotted using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection

(AHD HEIGHT)

3. The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plans. The final repegged dimensions may vary due to adjustments made during field survey.

4. All service information shown of this plan should be verified with the relevant authorities.

5. Pro West Surveying does not accept liability for any loss or damage caused by the use of this feature survey plan for any purpose.

omes wa WE TURN A HOUSE INTO A HOME

> 41 cedric st., stirling phone - (08) 9440 9200 fax - (08) 9440 9201

nouse Type: COSTON	JOD NO:20020	Drawing Name: EX	191114	G SITE PLAN		Sneet No:	1 01	Ц	
Lot Address:LOT 889 #8A JEMERSON STREET,WILLAGEE			Col	uncil: MELVILLE	Specification: PREMIUM				
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT			VARIATIONS						
Client Name: CHERNEY			REV NO.	VARIATION		DATE DRN.	BY	_	
Chefit Maine. Cherial	Da	e:/	1	WORKING DRAWINGS		2/4/20	LAR		
Signature:			2	VO 1		28/4/20	LAR		
			3	PRESTART		02/07/20	AL		
Client Name: Date:		4	DRAFTING CHECK		07/08/20	LAR			
			5	VO 4		11/10/20	AG		
Signature:			6	VO 6		2/12/20	DC		
			7	VO 8		30/11/20	AG		
The home will be built to the dimensions on the		the sole property of the builder	8						
working drawings		and must not be given, lent, resold or otherwise	9						
within a reasonable tolerance	ithout the permission in writing	10					_		

(AHD HEIGHT)

overhead powerlines



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CLIENT: CHERNEY PLAN: DP 414610 LOT AREA: SURVEY DATE: 20/03/20
BUILDER: MY HOMES WA C/T Vol: 2975 Fol: 96 MAP REFERENCE:

REVISION: A

SHEET: 1 OF 1

WITH BCA PART 3.1 & AS/NZ

3500.3.2003 PLUMBING & DRAINAGE PART 3: STORMWATER DRAINAGE

& SHIRE REQUIREMENTS

BUILDER JOB # 20020 HEIGHT DATUM: AHD COASTAL ZONE: >1KM

#### Po Box 1463 Osborne Park DC 6916 DWG# 3539001 HEIGHT CORRECTION TO AHD: NO SEWER INFORMATION: YES AUTHORITY: CITY OF MELVILLE **NOTES** FEATURE SYMBOL 5823 ╡⋜<del></del>≒→ (1) ALL FEATURES IN GOOD CONDITION **LEGEND** residence well clear (2) DEVELOPMENT AREA: ESTABLISHED **POWER** 1.5 m high fibro fence behind limestone retaining CABLE DOME 🏽 🗑 POWER POLE OPP 1.8m high metal fence twin-side retaining wall top:23.15 CONSUMER ⊕ CP CB CABLE BOX twin-side retaining wall behind-- S **POWER** EXPOSED **P** ₩ EC 2m high metal fence -1.8m high metal fence atop **MARKER** limestone retaining wall top:22.26 **EARTH** LIGHT POLE \*LP ⊚ ER **ALFRESCO WATER** twin-side retaining wall top:22.88 WATER RECESS SLAB **FIRE** METER / TAP HYDRANT (H) TO SUIT BATH ′⊡′ ð STOP VALVE SV TAP PROPOSED RECESS SLAB FLUSHING + FP RETIC VALVE | RV RESIDENCE DUCTED REVERSE TO SUIT HOB⊈ESS POINT SHR CYCLE A/C UNIT WATER MARKER F.F.L./22/33/5 BORE ON HARDSTAND METERBOX PAYED @ -16 timber patio **SEWERAGE** 19. SEWER M/H (SQUARE LID) SEWER M/H ground floor PORC! (ROUND LID) (sw ) 6 INSPECTION O IS INSPECTION O IO O HC HOUSE top:22.18-CONNECTION (SW GRATE RL 22.00 **TELSTRA** GARAGE/STORE (WH) GRANO @ -1 TELSTRA **6 TELSTRA** I RECESS SLAB (sw) **MANHOLE** PIT TO SUIT HOBLESS 2 storey 3,001 3,499 **TELSTRA** $\bigcirc$ metal MARKER residence # 6 approx FFL: 22.92 **DRAINAGE** 1409 DRAIN M/H DRAIN M/H all top:22.49 wall top:22.66 (ROUND LID) SQUARE LID) n:22.19 wall bottom:22.19 residence well clear CHEMICALINJECTION top:22.10 SIDE DRAINAGE REQ. AS PER RECOMMENDATION **ENTRY PIT GRATE** OF ENGINEERS. EXTENT TO top:21.92 LENGTH OF BOUNDARY WALLS COMBINED **ENTRY PIT** weatherboard & tile top:21.74 GAS residence # 8 approx FFL: 22.83 6 **GAS METER** GAS VALVE $\bowtie$ Soak Well Type No SW 1200x1200 3 4.1 m3 GAS DRIVEWAY MARKER Total Capacity 4.1 m3 Roof Area GF verandah Total Area 232.7 m2 SURVEY MARKS Capacity Required (Area x 0.0125) 2.9 m3 53 PEG FOUND PF () PEG GONE Extra Capacity Provided 1.2 m3 -1.9m high metal fence BENCH MARK # Soak Well Type No. SW 1200x1200 2 2.7 m3 DRILL HOLE DH C twin-side retaining wall behind-NAIL & PLATE NPL O 1.7m high metal fence PM () PEN MARK top:21.73 Total Capacity 2.7 m3 NAIL 🛆 Roof Area GF Paved Area 142.7 m<sup>2</sup> MISCELLANEOUS INFO. Total Area | 142.7 m2 Capacity Required (Area x 0.0125) 1.8 m3 STREET SIGN S SPOT HEIGHT ,o. K Extra Capacity Provided 0.9 m3 1.2 x 1.2 UNKNOWN BOLLARD OB SERVICE MARKER (BW) SEWER OVERHEAD GRATE POWER LINE SERVICE NOTES RL 21.50 **NEW WATER** WINDOW / **REFER TO ENGINEERS** FENCE LINE →---L: LOCATED NS: NO SERVICE **METER LOCATION OPENING PLANS & ADDENDA** A: AVAILABLE BUT NOT LOCATED SERVICE DETAILS TBC: LOCATION TO BE CONFIRMED **TERMITE TREATMENT IS TO BE** PG 😰 3,498 **FULL TERMIMESH SYSTEM** WATER: A, TBC IN ACCORDANCE WITH A.S. 3660.1 SEWER JUNCTION DETAILS OVERHEAD POWER: L concrete U/G POWER: L NOTE: HOUSE CONNECTION (HC) IL: 21.65 vvvvooverhead powerlines **REFER TO SHEET 3 FOR** TELSTRA: L **UP DISTANCE:** SETOUT & SETBACK DIMENSIONS 0 **EXISITNG CROSSOVER** GAS: A,TBC **DEPTH TO CONNECTION:** TO REMAIN 0.64 SEWER: L STORMWATER LAYOUT TO COMPLY

### IMPORTANT FEATURE SURVEY NOTES

0

SCALE 1:200 AT A3 SIZE

7.5

10

12.5

15

1. The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A repeg / bdy identification survey is recommended if an accurate position of features / improvements relative to the boundary is required.

2. The sewer junction on this plan has been plotted using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.

tbm nail 21.12m

#

JEMERSON STREET

In esewer junction on this pian has been plotted using information provided by the water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.
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 All service information shown of this plan should be verified with the relevant authorities.
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my homes wa

**41 cedric st., stirling** phone - (08) 9440 9200 fax - (08) 9440 9201

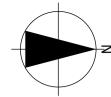
House Type: CUSTOM	Job No:20020 Drawing Nam	e: SIIE	PLA	AN		Sheet No: 2	2 of 10		
Lot Address:LOT 889 #8A JEMERSON STREET,WILLAGEE			Council: MELVILLE			Specification: PREMIUM			
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT			VARIATIONS						
Client Name: CHERNEY	Date:		EV NO.	VARIATION		DATE DRN.	BY		
Cheff Name. Cherne			1	WORKING DRAWINGS		2/4/20	LAR		
Signature:			2 VO 1		28/4/20	LAR			
			3	PRESTART		02/07/20	AL		
Client Name:	9: Date:		4	DRAFTING CHECK		07/08/20	LAR		
	Date/		5	VO 4		11/10/20	AG		
Signature:			6	VO 6		2/12/20	DC		
	This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed or copied without the permission in writing		7	VO 8		30/11/20	AG		
The home will be built to the dimensions on the			8						
working drawings			9						
within a reasonable tolerance		writing	10						

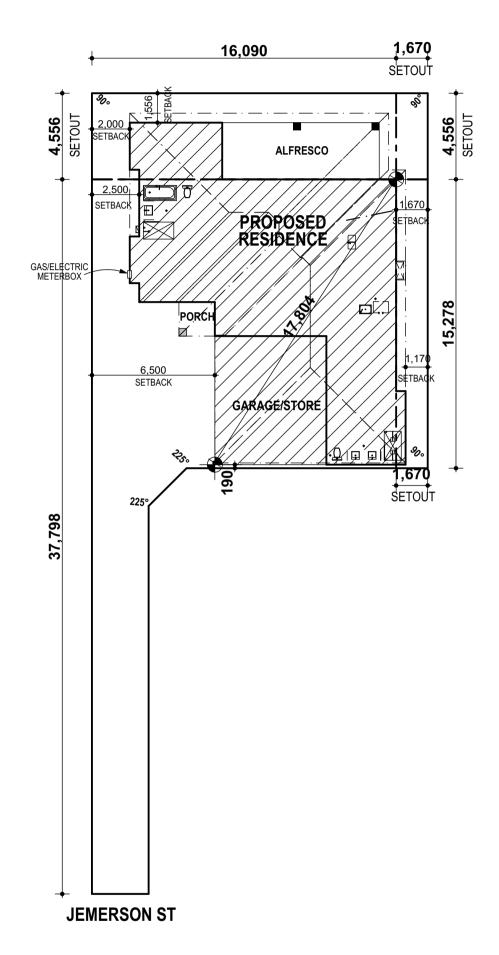
tbm nail 21.29m

STORMWATER LAYOUT TO COMPLY
WITH BCA PART 3.1 & AS/NZ
3500.3.2003 PLUMBING & DRAINAGE
PART 3: STORMWATER DRAINAGE
& SHIRE REQUIREMENTS

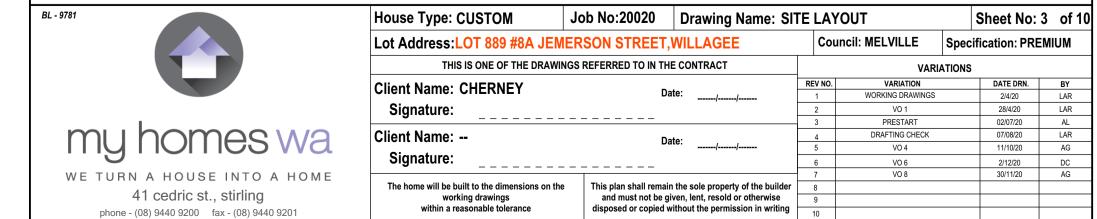
TERMITE TREATMENT IS TO BE FULL TERMIMESH SYSTEM IN ACCORDANCE WITH A.S. 3660.1

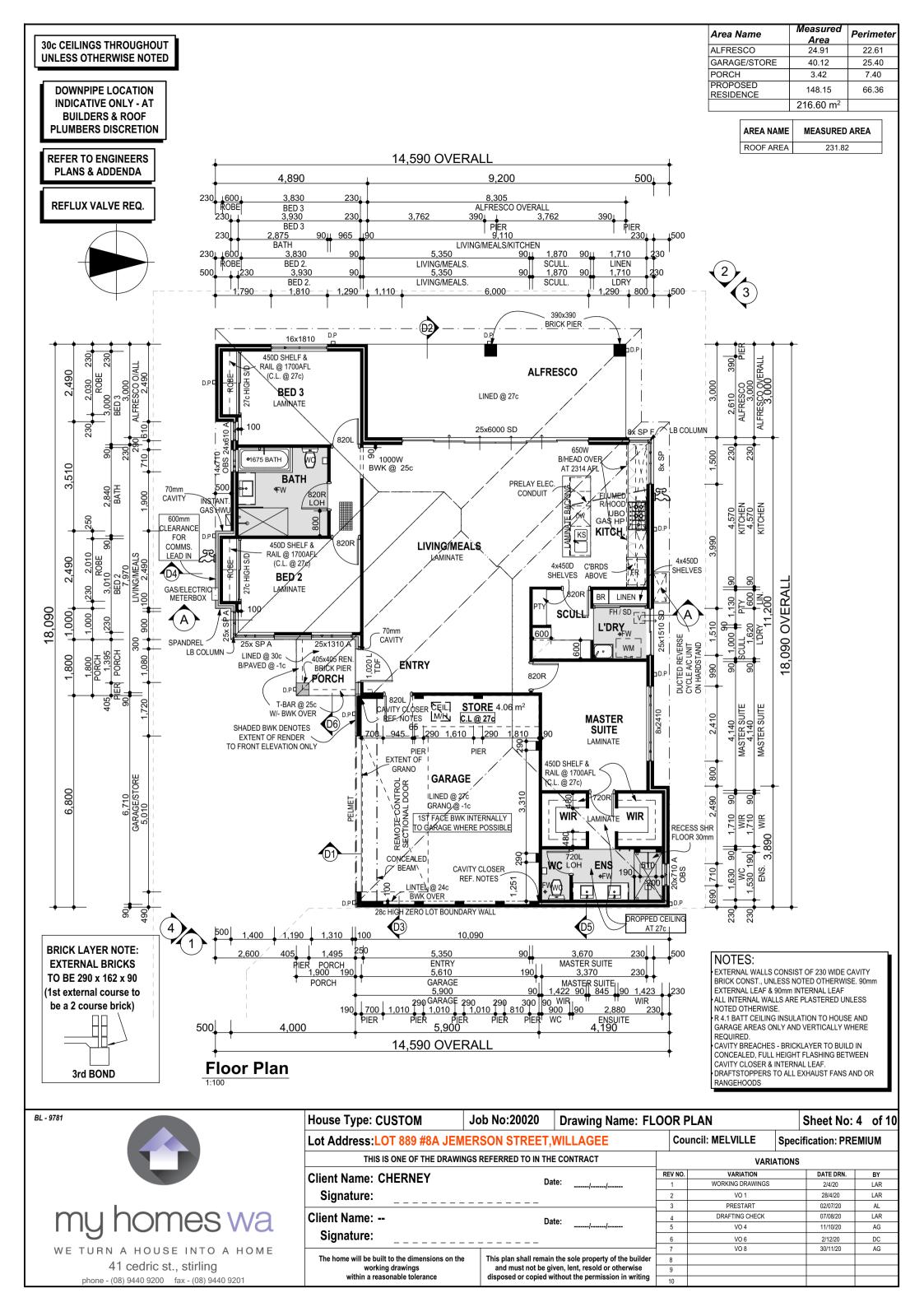
REFER TO ENGINEERS PLANS & ADDENDA

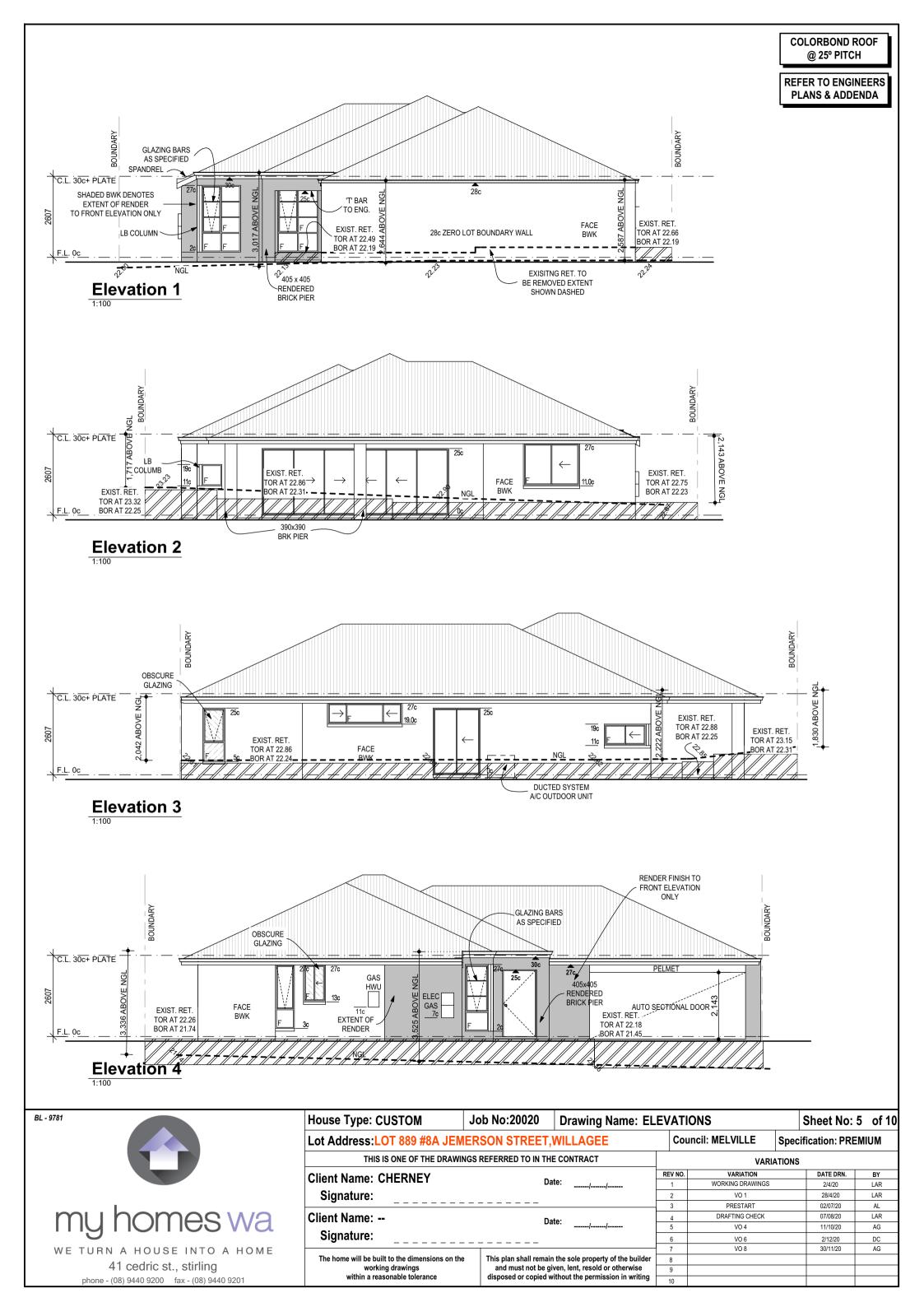




Site Layout







#### **ELECTRICAL NOTE:**

- POWER POINT AND LIGHT LOCATIONS MAY CHANGE DUE TO ELECTRICAL LAWS OF WA
- DIMENSIONS SHOWN ARE TO THE CENTRELINE OF GPO's
- LIGHT SWITCHES ARE TO BE 1200 AFL OR OTHERWISE NOTED

## **ELECTRICAL LEGEND**

F.L. Insulation Qty Sym. Description Watts Penetrations 2 4 1 RECESSED LED DOWN-LIGHT (15w) ○ 15w\* 15\* Perimeter Lighting **15w** EXTERNAL LIGHT (15w) Class 10 15\* \* 1 4 **├**○ 15w\* WALL LIGHT @ 1800 AFL Class 1 Alfresco 60\* \* RECESSED LED DOWN-LIGHT (7w) Class \* 6 O 7w\* 42\* 1 Alfresco (15w) \* 1 EXTERNAL LIGHT (15w) Class 1 Alfresco 15\* 函 1 VENTILATION FOR RANGEHOOD 0.015 **-** 15w 2 UP/DOWN WALL LIGHT 30 STARLIGHT ( 7w) 3 **☆** 7w 21 0.015 8 **☆** 3w STARLIGHT (3w) 24 0.040 27 O 7w RECESSED LED DOWN-LIGHT (7w) 189 0.280 2 LED 35GRCW PANEL LIGHT 0  $\odot$ H.WIRED SMOKE DETECTOR 2 0 EXHAUST FAN FLUMED 2 X 0.098 Ь 2 DIMMER SWITCH 0 00 2x HEATER/FAN/LIGHT 1 0 2 WAY 1 2 WAY SWITCH 0 OUTDOOR AIR CONDITIONING GROUND 1  $>\!<$ 0 1 Air Conditioning Return Air Grill 0 1 ٧ 0 Ceiling Vent 1 Ŧ TV POINT 0 SINGLE WATER PROOF GPO 1 lacksquare0 3 SINGLE GPO @ NOTED HT 0 SINGLE GPO @ BENCH HT 0 1 SINGLE CIRCUIT GPO 0 PHONE POINT 0 1 DOUBLE GPO @ NOTED HT 0 5 4 DOUBLE GPO @ BENCH HT 12 DOUBLE GPO @ 300 AFL 0 1 CONDUIT FOR FUTURE FIBRE OPTIC 0 CF 1 32 AMP GPO 0 1 Data Point 0  $\mathbf{V}$ 

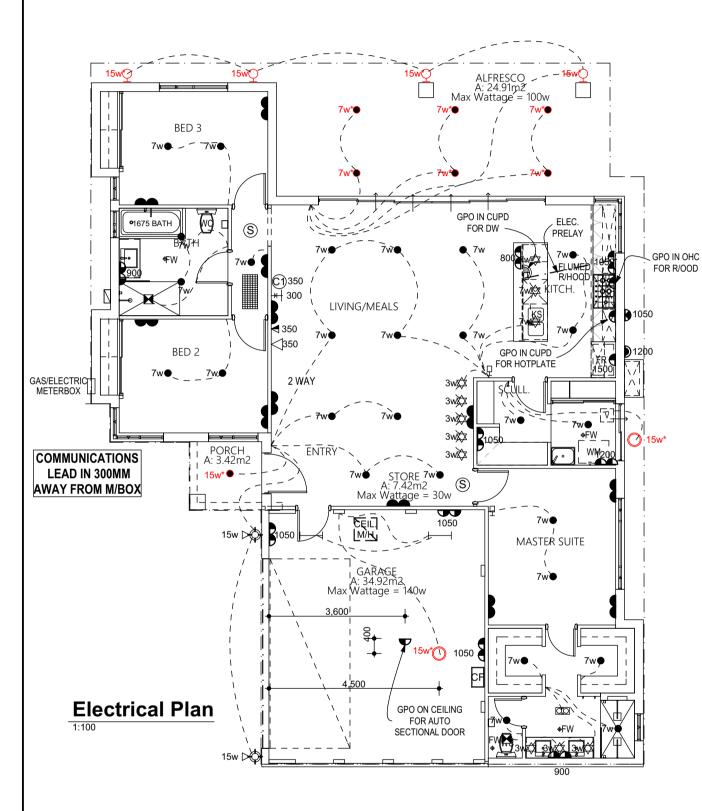
Conduit 1

0

264

0.449

Subtotal:



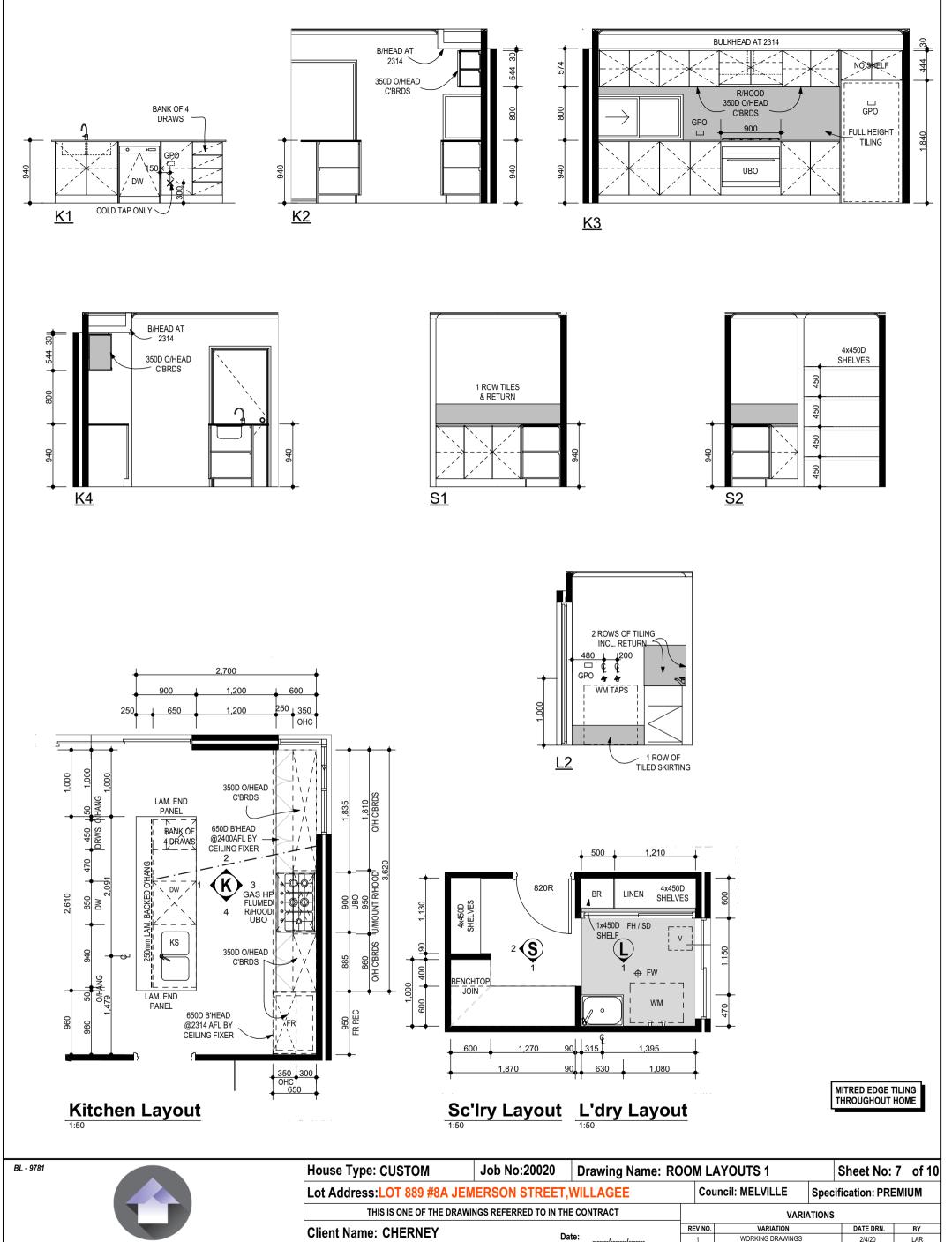
BL - 9781
my homes wa
WE TURN A HOUSE INTO A HOME

**41 cedric st., stirling** phone - (08) 9440 9200 fax - (08) 9440 9201

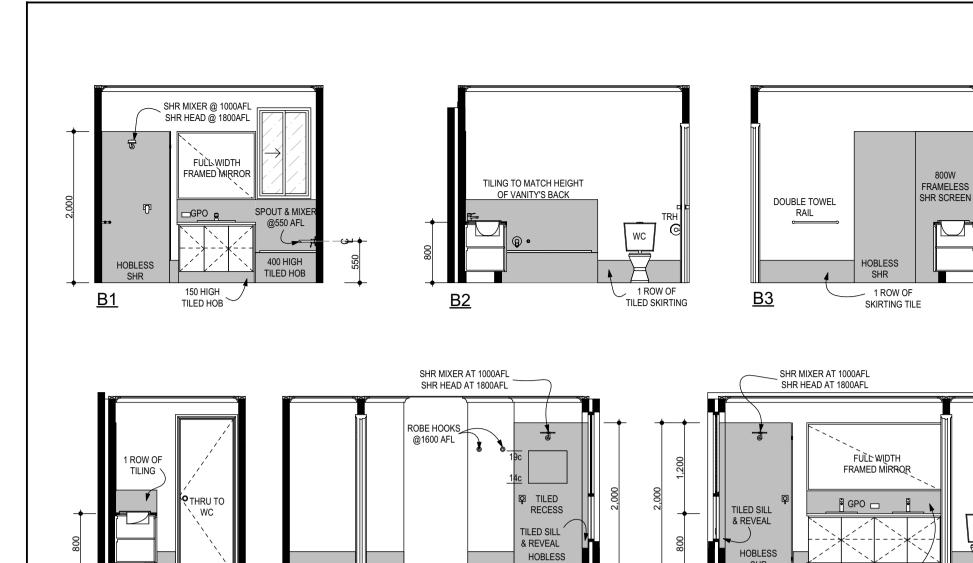
House Type: CUSTOM	JOD NO:20020	Drawing Name: EL	ECTRI	ICAL LAYOUTS		Sheet No:	6 of 10	
Lot Address:LOT 889 #8A JEMERSON STREET,WILLAGEE			Cou	Council: MELVILLE		Specification: PREMIUM		
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT			VARIATIONS					
Client Name: CHERNEY		REV NO.	REV NO. VARIATION		DATE DRN. B			
Cheffit Name. Cherine	Dat	Date:		WORKING DRAWINGS		2/4/20	LAR	
Signature:			2	VO 1		28/4/20	LAR	
			3	PRESTART		02/07/20	AL	
Client Name: Date:		4	DRAFTING CHECK		07/08/20	LAR		
	Da	Jate	5	VO 4		11/10/20	AG	
Signature:		6	VO 6		2/12/20	DC		
			7	VO 8		30/11/20	AG	
The home will be built to the dimensions on the		This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed or copied without the permission in writing						
working drawings								
within a reasonable tolerance	disposed or copied w							

1

<u>C1</u>

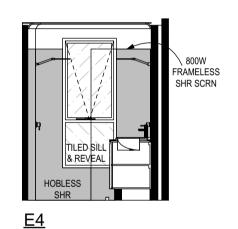


WORKING DRAWINGS 2/4/20 LAR Signature: 28/4/20 LAR 2 PRESTART 02/07/20 AL 3 DRAFTING CHECK 07/08/20 LAR Client Name: --5 VO 4 11/10/20 AG Signature: DC AG 2/12/20 VO 6 30/11/20 WE TURN A HOUSE INTO A HOME **VO8** The home will be built to the dimensions on the This plan shall remain the sole property of the builder 8 41 cedric st., stirling working drawings and must not be given, lent, resold or otherwise within a reasonable tolerance disposed or copied without the permission in writing phone - (08) 9440 9200 fax - (08) 9440 9201



1 ROW OF

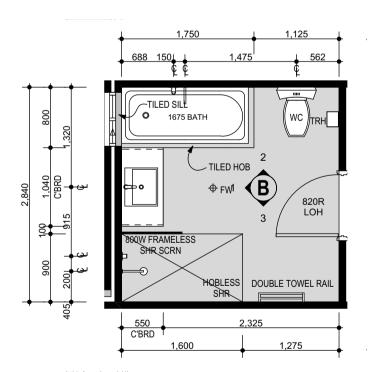
TILED SKIRTING



1 ROW OF

TILED SKIRTING

<u>E3</u>

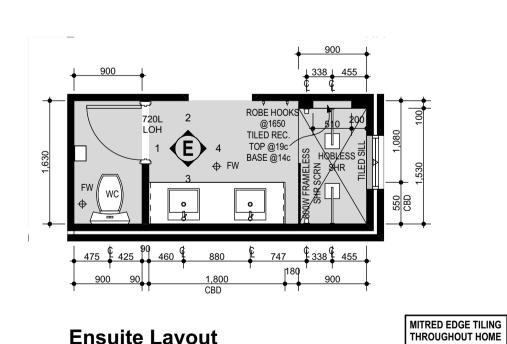


1 ROW OF

SKIRTING TILE

<u>E2</u>

<u>E1</u>



Drawing Name: ROOM LAYOUTS 2

Council: MELVILLE

**Ensuite Layout** 

TOP OF MIRRORS TO LINE UP WITH TOP OF SHOWER SCREENS

Specification: PREMIUM

Sheet No: 8 of 10

0

\_\_ 1 ROW OF

TILED SKIRTING

WC

1 ROW OF

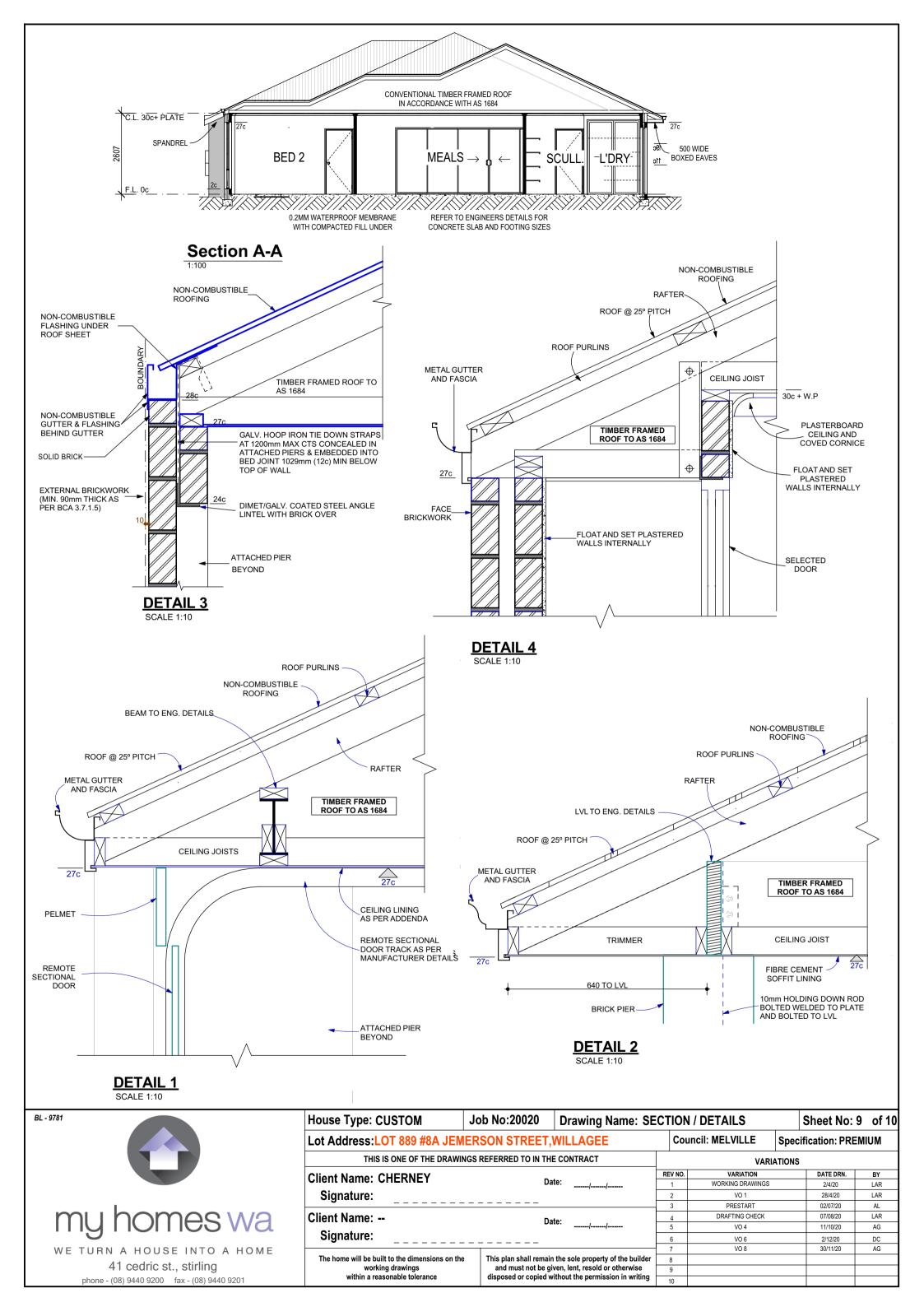
TILES

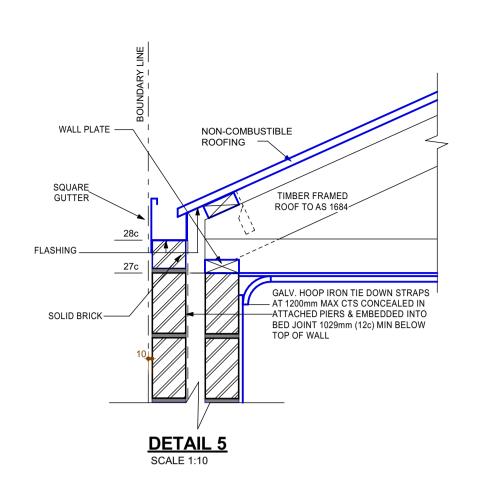
BL - 9781 House Type: CUSTOM Lot Address:LOT 889 #8A JEMERSON STREET, WILLAGEE

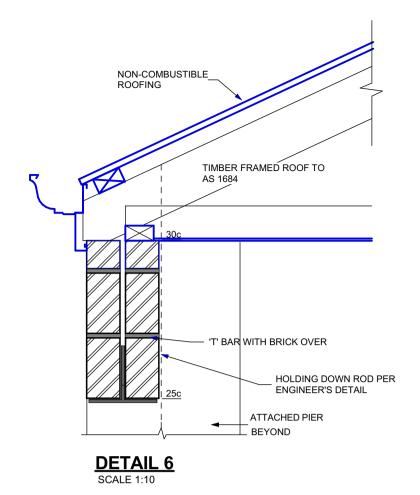
Bathroom Layout

	THIS IS ONE OF THE DRAWINGS	VARIATIONS				
	Client Name: CHERNEY		REV NO.	VARIATION	DATE DRN.	BY
	Offerit Mairie. Offerine i	Date:	1	WORKING DRAWINGS	2/4/20	LAR
	Signature:	Signature:			28/4/20	LAR
1				PRESTART	02/07/20	AL
my homes wa	Client Name:	Date:	4	DRAFTING CHECK	07/08/20	LAR
nd nombo wa		/	5	VO 4	11/10/20	AG
O	Signature:		6	VO 6	2/12/20	DC
VE TURN A HOUSE INTO A HOME			7	VO 8	30/11/20	AG
	The home will be built to the dimensions on the	This plan shall remain the sole property of the builder				
41 cedric st., stirling	working drawings	and must not be given, lent, resold or otherwise	9			
phone - (08) 9440 9200 fax - (08) 9440 9201	within a reasonable tolerance	disposed or copied without the permission in writing	10			
			·		•	

Job No:20020









TURN A HOUSE INTO A HOME
41 cedric st., stirling
phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: CUSTOM	Job No:20020	Drawing Name: DE	TAILS			Sheet No:	10 of 10		
Lot Address:LOT 889 #8A JEMERSON STREET,WILLAGEE			Coi	uncil: MELVILLE	Specification: PREMIUM				
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT			VARIATIONS						
Client Name: CHERNEY	_		REV NO.	VARIATION		DATE DRN.	BY		
Chefft Name. Chickne	Da	Date:/	1	WORKING DRAWINGS		2/4/20	LAR		
Signature:			2	VO 1		28/4/20	LAR		
				PRESTART		02/07/20	AL		
Client Name:	: Name: Date:			DRAFTING CHECK		07/08/20	LAR		
	Date		5	VO 4		11/10/20	AG		
Signature:			6	VO 6		2/12/20	DC		
			7	VO 8		30/11/20	AG		
The home will be built to the dimensions on the working drawings		This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise	8						
			9						
within a reasonable tolerance	alsposed or copied w	disposed or copied without the permission in writing							