

SURVEYOR NOTES:

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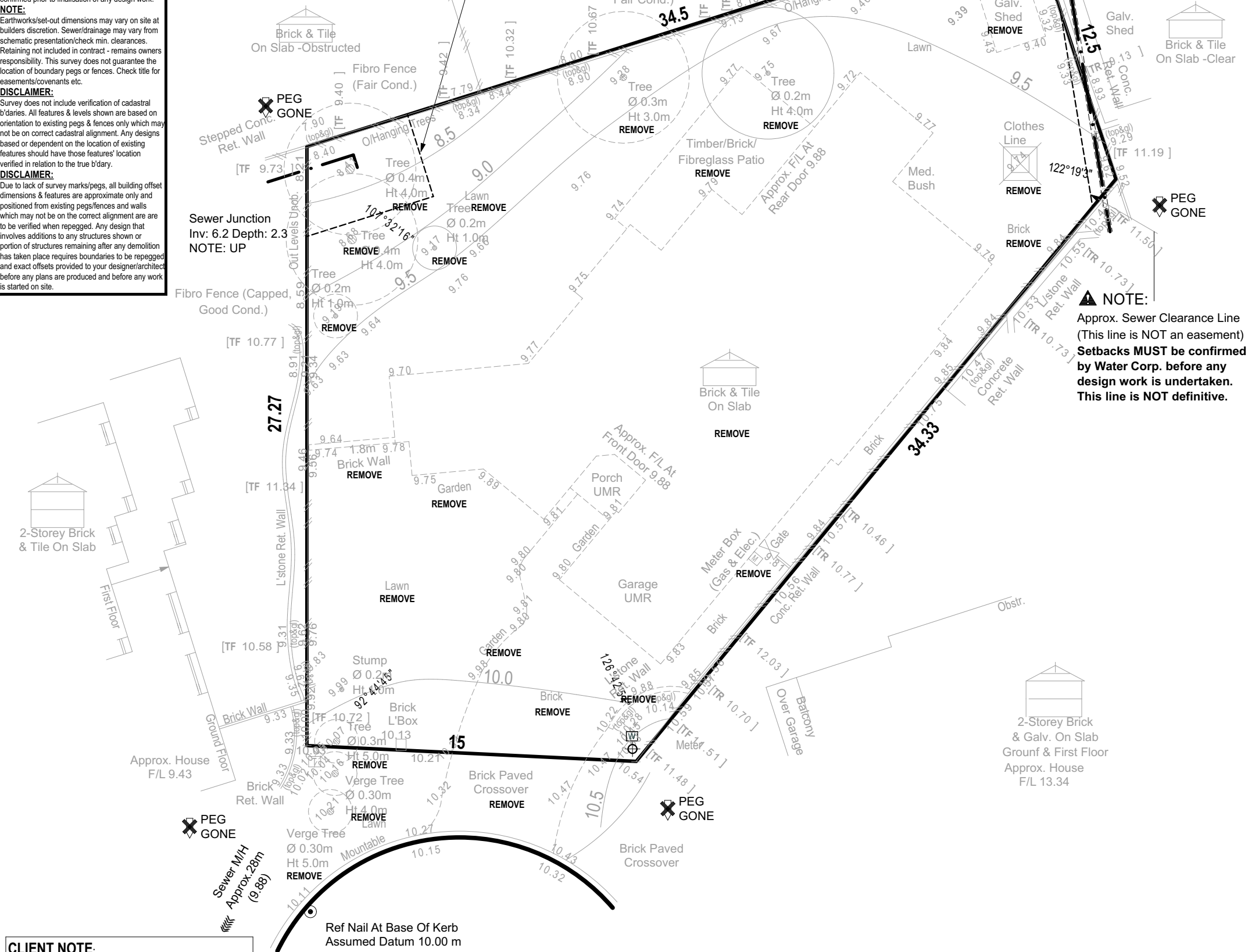
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LEGEND		SEC Dome
		Power Pole
		Phone Pits
		Water Conn.
	[TP 10.00]	Top Pillar/Post
	[TW 10.00]	Top Wall
	[TR 10.00]	Top Retaining
	[TF 10.00]	Top Fence

BEWARE:
Deep sewer junction.
Check With Water Corp
BUILDER and PLUMBER
check GRADE.

NOTE:
Approx. Sewer Clearance Line
(This line is NOT an easement)
**Setbacks MUST be confirmed
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This line is NOT definitive.

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CLIENT NOTE:
- ALL DEMOLITION BY CLIENT UNLESS OTHERWISE NOTED.
- ALL TREES/SHRUBS TO BE LOPPED (TRIMMED) TO WITHIN 2m OF THE BUILDING ENVELOPE.
- EXISTING BUILDING, TREES AND ALL RUBBLE TO BE REMOVED BY CLIENT PRIOR TO CONSTRUCTION.
- REFER TO DA_CONDITION #9 REGARDING REMOVAL OF VERGE TREE.

WITNESS:	CLIENT(S):	BUILDER:
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

COTTAGE & ENGINEERING
SURVEYS

Licensed Surveyors

87-89 Guthrie Street, Osborne Park, Western Australia.
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998.
Email : perth@cottage.com.au Website: www.cottage.com.au

AREA:	924m²	ROAD DESCR.:	BITUMEN	GAS:	YES	SSA/OLD AREAS:	OLD A.	UNLODGED SS PLAN:
SHIRE:	MELVILLE	KERBING:	MOUNT	WATER:	YES	C/JOB#:	446226	ORIGINAL LOT:
D.PLAN:	16525	FOOTPATH:	NIL	ELECTRICITY:	U/G	DATE:	05.12.2018	LOT MISCLOSE:
C/T VOLUMN:	1814	SOIL:	SAND	PH/COMMS:	YES	SCALE:	1:200	SSL 1 MISCLOSE:-
FOLIO:	153	DRAINAGE:	GOOD	SEWER:	YES	DRAWN:	C. WEIGHTMAN	SSL 2 MISCLOSE:-
MSD REF:	432 22/25	VEGETATION:	RTS	COASTAL:	NO			

PROPOSED RESIDENCE FOR: BAJAJ	DRAWN: WW	SCALE: 1:200	Issue Name	Drawn	Date	Issue Name	Drawn	Date
ADDRESS: LOT 314 (#9) STAGG COURT, KARDINYA.	DESIGNED: ALI	SHEET: 1 OF 19	ENG. AMEND.	WW	17/12/19	V004	DMA	05/05/20
	CHECKED: DM	SIZE: A3	V002	WW	24/02/19	JEL	DMA	06/05/20
	DATE: 05.12.2019	PROJECTS	V001	WW	30/03/20	V007	DMA	11/05/20
	MODEL:	JOB N°	V004	DMA	14/04/20	JW	DM	26/05/20
	SPECIALS	156636	V003	DMA	20/04/20			
		DEMOLITION PLAN	V004	DMA	28/04/20			

SUMMIT
HOMES GROUP

BUILD | RENOVATE | DEVELOP

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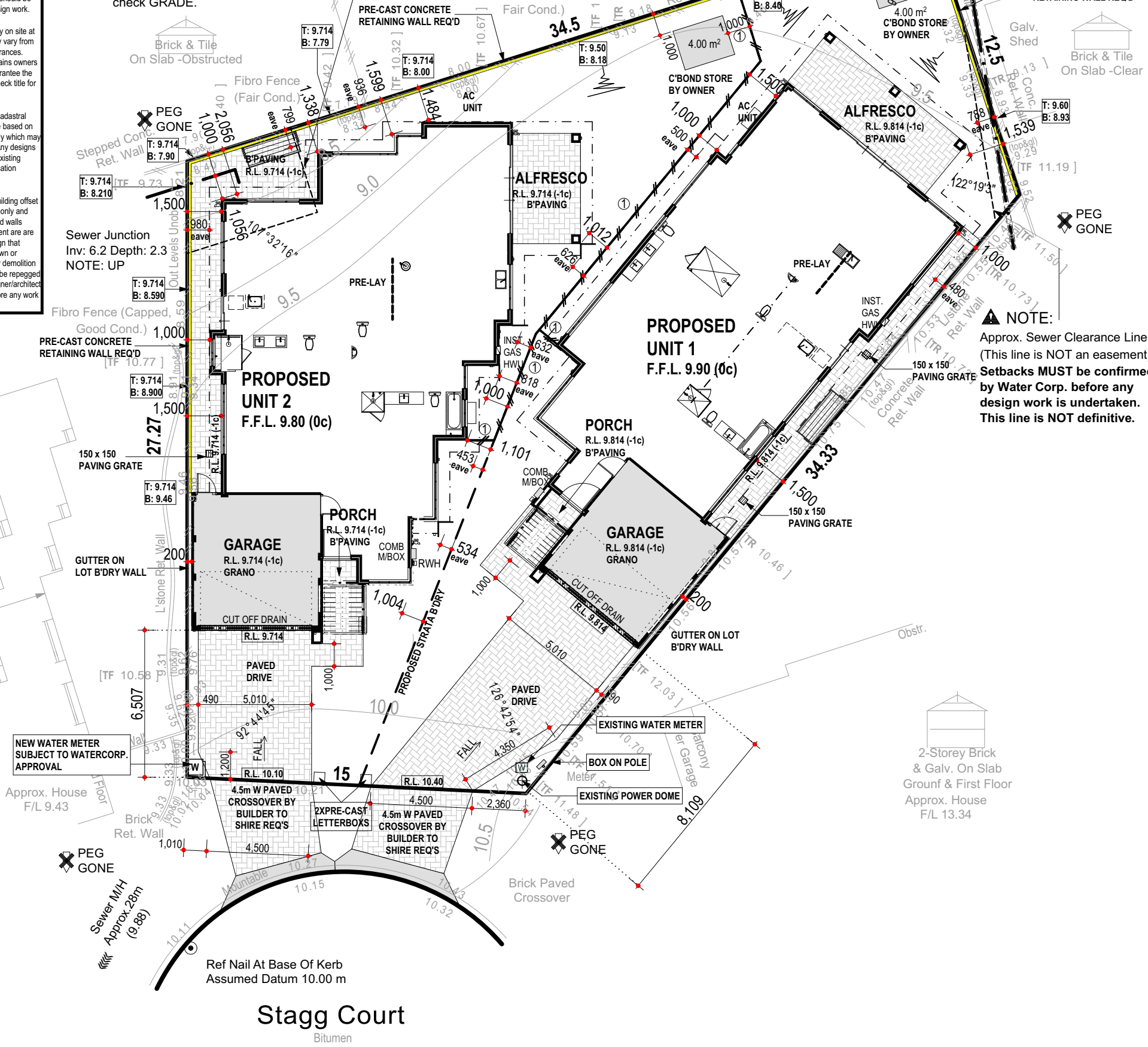
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WITNESS: _____

CLIENT(S): _____

BUILDER: _____

CONCRETOR NOTE:
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPENING.

PLUMBER NOTE:
- ENGINEERED STORMWATER DESIGN. REFER TO ENGINEER PLANS FOR LAYOUT.
- REFER TO PLUMBING PLAN FOR SEWER LAYOUTS.

RETAINING CONTRACTOR NOTE:
- ALL RETAINING FOOTINGS MUST BE CONTAINED IN THE SUBJECT LOT, REFER TO ENG DETAILS.
- ENSURE BOTTOM OF RETAINING IS EMBEDDED SUFFICIENTLY AS REQ. BY ENG. DETAIL.
- REFER TO NEIGHBOURS EXISTING LEVELS OR NOMINATED PAVING / LANDSCAPING LEVELS FOR FULL REQ. RETAINING HEIGHTS.
- REFER TO ENGINEERS DETAILS

FENCING CONTRACTOR NOTE:
- 1800H C'BOND FENCE W/- CAPPING AS INDICATED BY ①

BRICKPAVER NOTE:
- BRICK PAVING TO DRIVEWAYS, CROSSOVERS, PATHS. EXTENT AS INDICATED.
- WIDTHS OF BRICK PAVED PATHS TO BE APPROX. 1.0m WIDE UNLESS OTHERWISE INDICATED.
- MAINTAIN NOMINATED PAVING LEVELS FOR STORMWATER RUN OFF.

GENERAL NOTE:
- CLOTHESLINES INDICATED AS PER ADDENDA.

CLIENT NOTE:
- LOT B'DRY FENCING BY CLIENT.

CONCRETOR / ELECTRICIAN NOTE:
UNIT 1
- CONDUIT IN SLAB FOR ISLAND BENCH IN KITCHEN AREA.



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AREA: 924m²
SHIRE: MELVILLE
D.PLAN: 16525
C/T VOLUMN: 1814
FOLIO: 153
MSD REF: 432 22/25

ROAD DESCR.: BITUMEN
KERBING: MOUNT
FOOTPATH: NIL
SOIL: SAND
DRAINAGE: GOOD
VEGETATION: RTS

GAS: YES
WATER: YES
ELECTRICITY: U/G
PH/COMMS: YES
SEWER: YES
COASTAL: NO

SSA/OLD AREAS: OLD A.
C/JOB#: 446226
DATE: 05.12.2018
SCALE: 1:200
DRAWN: C. WEIGHTMAN

UNLODGED SS PLAN:
ORIGINAL LOT:
LOT MISCLOSE: 0.007
SSL 1 MISCLOSE:-
SSL 2 MISCLOSE:-

PROPOSED RESIDENCE FOR:
BAJAJ

ADDRESS:
LOT 314 (#9) STAGG COURT,
KARDINYA.

DRAWN: WW
DESIGNED: ALI
CHECKED: DM
DATE: 05.12.2019
MODEL:
SPECIALS

SCALE: 1:200
SHEET: 2 OF 19
SIZE: A3
PROJECTS
JOB N°
156636

Issue Name Drawn Date
ENG. AMEND. WW 17/12/19
V002 WW 24/02/19
V001 WW 30/03/20
V004 DMA 14/04/20
V003 DMA 20/04/20
V004 DMA 28/04/20

SITE PLAN

Issue Name Drawn Date
V004 DMA 05/05/20
JEL DMA 06/05/20
V007 DMA 11/05/20
JW DM 26/05/20



BUILT AROUND PEOPLE

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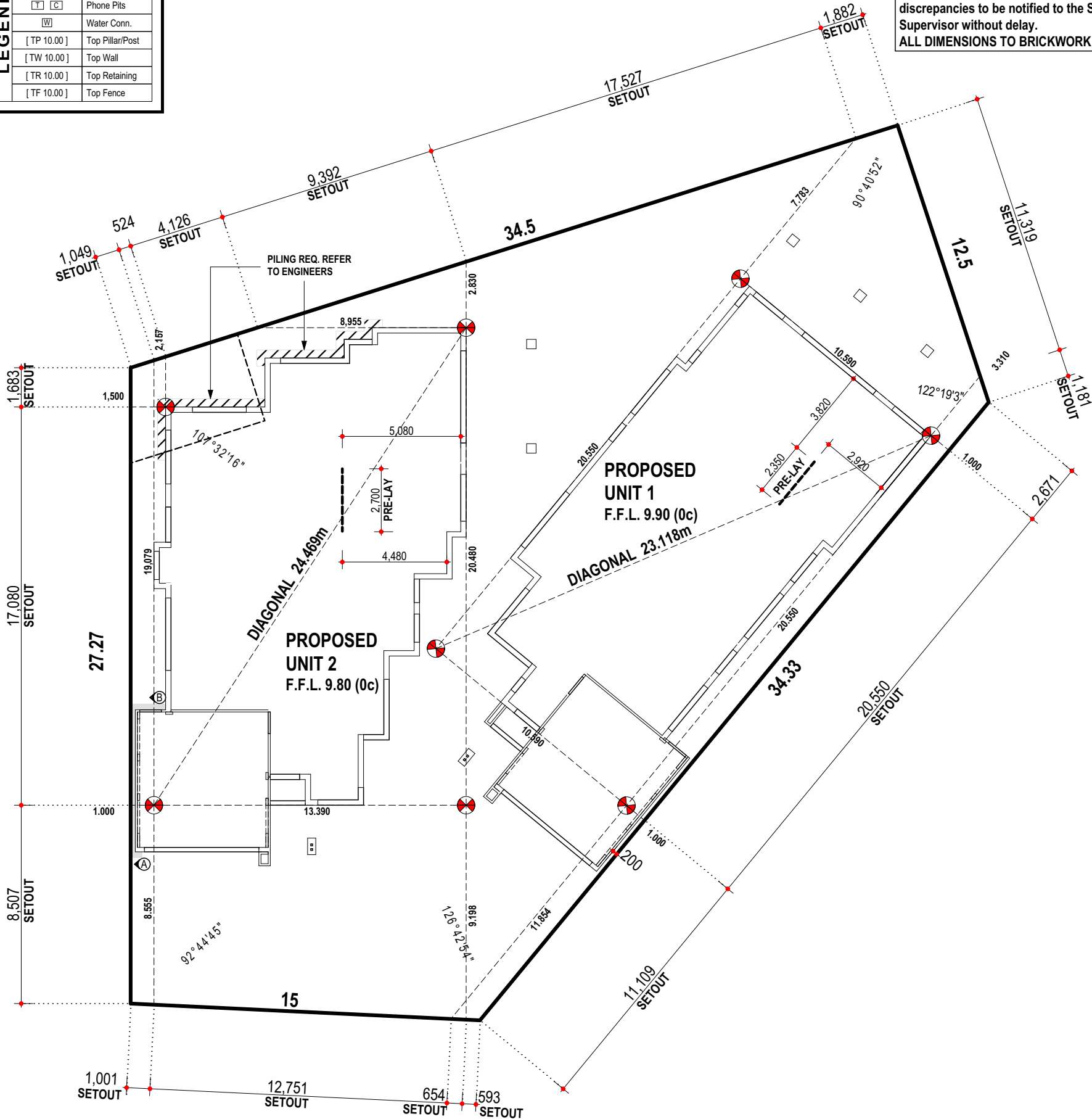
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_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

CONCRETOR / ELECTRICIAN NOTE:
UNIT 1
- CONDUIT IN SLAB FOR ISLAND BENCH IN KITCHEN AREA.

CONCRETOR/BRK LAYER NOTE
UNIT 1
- NOTE BRICKWALL ON LOT BOUNDARY HAS BEEN CALCULATED TO BE SET INSIDE THE BOUNDARY BY 200mm.
- ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c UNLESS NOTED OTHERWISE.

UNIT 2
- NOTE BRICK WALL ON LOT BOUNDARY HAS BEEN CALCULATED TO BE SET ON THE BOUNDARY.
- ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c UNLESS NOTED OTHERWISE.
- DROPPED FOOTINGS AS SPECIFIED BY MARKERS (A) (B)
- TOP OF FOOTING AT -6c BETWEEN A-B.
- REFER TO ELEVATIONS FOR EXTENT.

ENGINEER NOTE:
- PILING TO ENGINEER DETAILS AS INDICATED BY:
- CONFIRM EXTENT OF PILING.



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MSD REF:	432 22/25

ROAD DESCR:	BITUMEN
KERBING:	MOUNT
FOOTPATH:	NIL
SOIL:	SAND
DRAINAGE:	GOOD
VEGETATION:	RTS

GAS:	YES	SSA/OLD AREAS:	OLD A.
WATER:	YES	C/JOB#:	446226
ELECTRICITY:	U/G	DATE:	05.12.2018
PH/COMMS:	YES	SCALE:	1:200
SEWER:	YES	DRAWN:	C. WEIGHTMAN
COASTAL:	NO		

UNLODGED SS PLAN:	
ORIGINAL LOT:	
LOT MISCLOSE:	0.007
SSL 1 MISCLOSE:-	
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PROPOSED RESIDENCE FOR:
BAJAJ

ADDRESS:
**LOT 314 (#9) STAGG COURT,
KARDINYA.**

DRAWN:	WW	SCALE:	1:200
DESIGNED:	ALI	SHEET:	3 OF 19
CHECKED:	DM	SIZE:	A3
DATE:	05.12.2019	PROJECTS	
MODEL:		JOB N°	156636
SPECIALS			

Issue Name	Drawn	Date	Issue Name	Drawn	Date
ENG. AMEND.	WW	17/12/19	V004 DMA	DMA	05/05/20
V002 WW	WW	24/02/19	V007 DMA	DMA	06/05/20
V001 WW	WW	30/03/20	JW DM	DM	26/05/20
V004 DMA	DMA	14/04/20			
V003 DMA	DMA	20/04/20			
V004 DMA	DMA	28/04/20			

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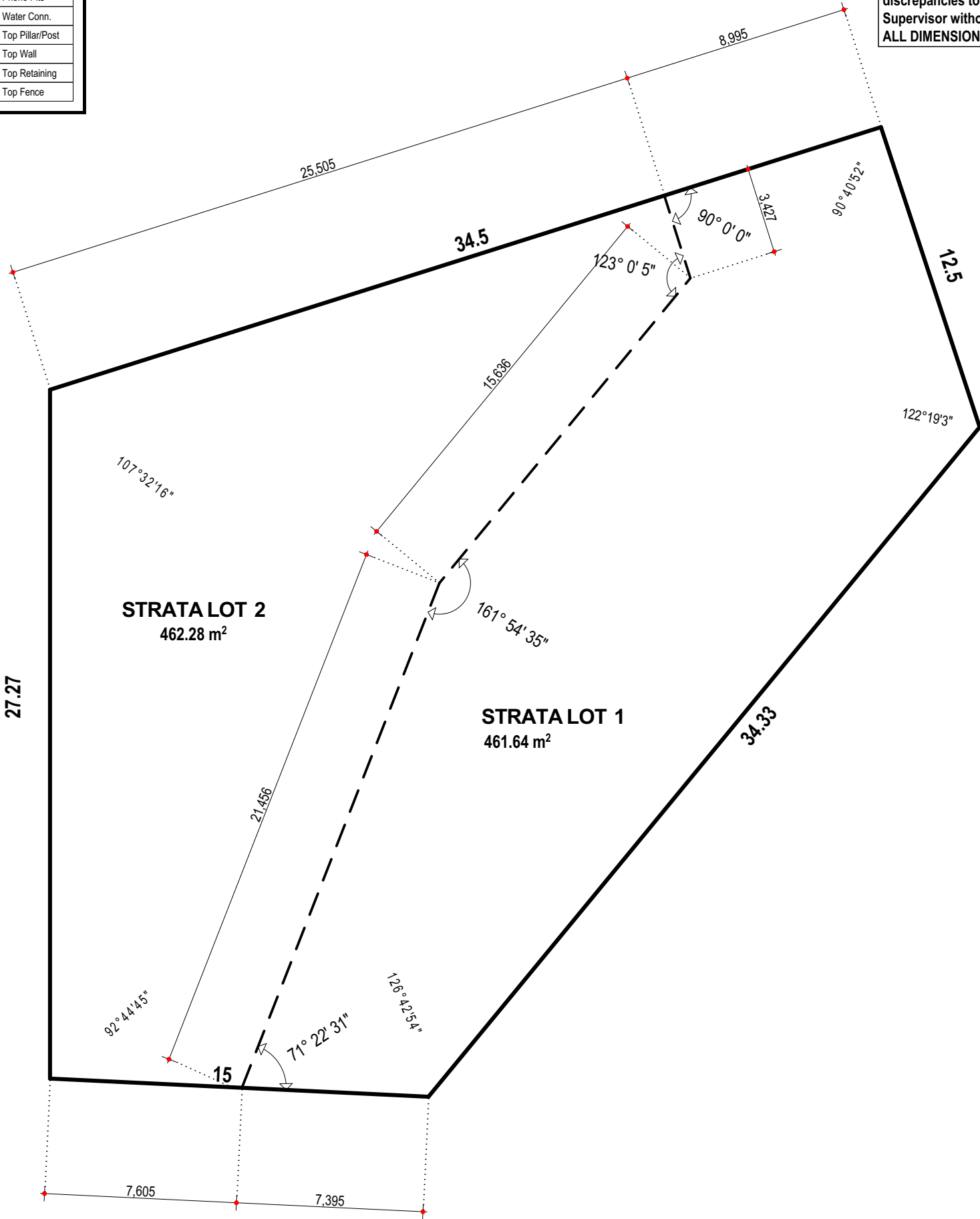
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SHIRE: MELVILLE	KERBING: MOUNT	WATER: YES	C/JOB#: 446226	ORIGINAL LOT:
D.PLAN: 16525	FOOTPATH: NIL	ELECTRICITY: U/G	DATE: 05.12.2018	LOT MISCLOSE: 0.007
C/T VOLUMN: 1814	SOIL: SAND	PH/COMMS: YES	SCALE: 1:200	SSL 1 MISCLOSE:-
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MSD REF: 432 22/25	VEGETATION: RTS	COASTAL: NO		

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ADDRESS: LOT 314 (#9) STAGG COURT, KARDINYA.	DESIGNED: ALI	SHEET: 4 OF 19	ENG. AMEND.	WW	17/12/19	V004 JEL	DMA	05/05/20
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	DATE: 05.12.2019	PROJECTS	V004 DMA	14/04/20			DM	11/05/20
	MODEL:	JOB N°	V003 DMA	20/04/20				26/05/20
	SPECIALS	156636	V004 DMA	28/04/20				
		STRATA PLAN						

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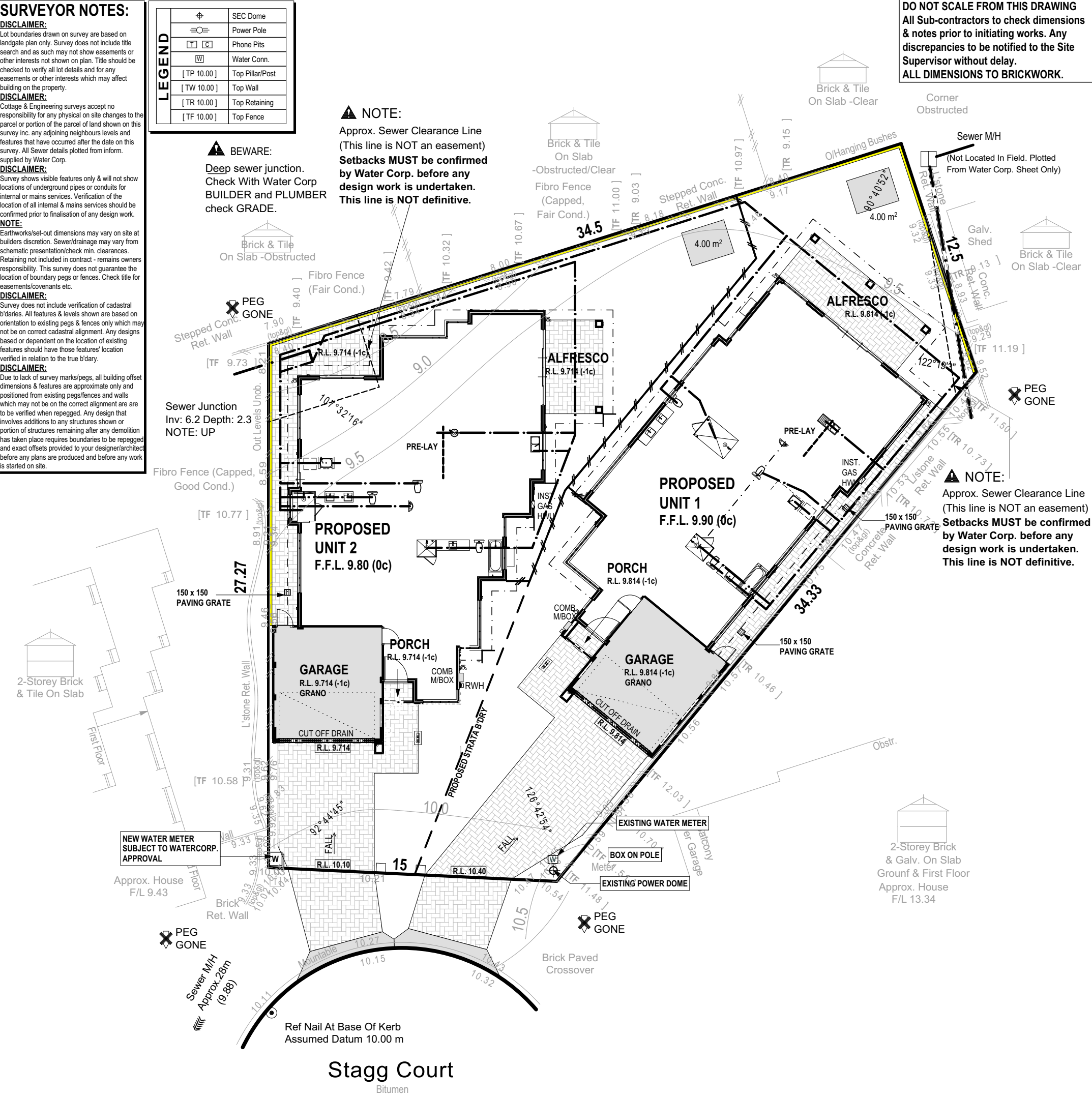
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NEW WATER METER
SUBJECT TO WATERCORP.
APPROVAL

PEG
GONE

Sewer M/H
Approx 28m
(9.88)

Ref Nail At Base Of Kerb
Assumed Datum 10.00 m

Stagg Court

Bitumen

PLUMBER NOTE:

- ENGINEERED STORMWATER DESIGN. REFER TO ENGINEER PLANS FOR LAYOUT.
- CONNECT ALL DOWNPIPES TO STORMWATER SOAKWELLS AS PER SHIRE REQUIREMENTS.
- PART 3.1.2 DRAINAGE: ALL STORMWATER & SURFACE WATER DRAINAGE TO COMPLY W/ A.S. 3500.3:2003, CLAUSE 3.1.2.1 & 3.1.2.5 BCA VOL. 2 & LOCAL AUTHORITY REQUIREMENTS.
- REFLUX VALVE REQUIRED.

BUILDER: _____
CLIENT(S): _____
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KERBING: MOUNT
FOOTPATH: NIL
SOIL: SAND
DRAINAGE: GOOD
VEGETATION: RTS

GAS: YES
WATER: YES
ELECTRICITY: U/G
PH/COMMS: YES
SEWER: YES
COASTAL: NO

SSA/OLD AREAS: OLD A.
C/JOB#: 446226
DATE: 05.12.2018
SCALE: 1:200
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PLUMBING PLAN

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SITE CLASSIFICATION - CLASS 'A'
(REFER TO SITE REPORT FOR
DETAILS) WIND LOAD - N1
CORROSION CLASSIFICATION - R3

BRICK NOTE
- RENDERED BRICK U.N.O

ROOF NOTE
- COLORBOND ROOF, PITCH AT 25° W/ 500W EAVES UNO
- STEEL ROOF FRAME TO NASH STANDARDS
- CEILING AT 33c + PLATE UNLESS NOTED OTHERWISE

ROOF PLUMBER NOTE
- PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)
- FINAL POSITIONS OF R/W'S TO BE DETERMINED ON SITE
- R/W'S IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER
SYSTEM (NO KICK)

ROOF INSULATION NOTE
- R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL
PLASTERBOARD OR VERSILUX CEILINGS IF APPL.
- R1.3 ANTICON TO ENTIRE ROOF

ELECTRICAL NOTE
- INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS
INDICATED ON PLAN
- PROVIDE LOCKABLE MBOX WITH VIEWING PANEL TO ELECTRIC MBOX
ONLY, GAS MBOX TO REMAIN UNLOCKED

FIXING CARPENTER NOTE
- 4 No. 450D SHELVES TO LINEN UNO
- 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO
- PROVIDE MID-SHELF SUPPORT WHERE NOTED "MSS" TO ANY SHELF
OVER 1.8m LONG.

CEILING MATERIAL NOTE
- PORCH - PLASTERBOARD C.L.
- GARAGE - PLASTERBOARD C.L.
- ALFRESCO - PLASTERBOARD C.L.

GARAGE NOTE
- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OP'NG

RENDER WALL NOTE
- PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED WALLS & H/FLEX /
VERSILUX CEILINGS

TRADES / SUPERVISOR NOTE
- REFER TO STRUCTURAL ENGINEERS DETAILS
- ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS
& STANDARD SPECIFICATION.

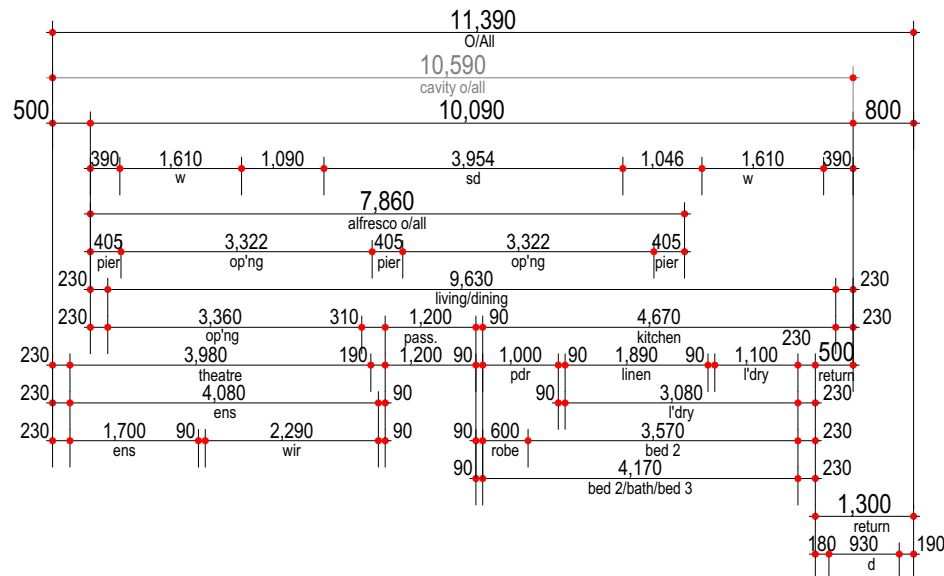
DOOR NOTE
- TOILET DOOR TO COMPLY W/ CLAUSE 3.8.3.3 OF THE B.C.A VOL. 2

PLASTERBOARD NOTE
- PROVIDE PLASTERBOARD TO WALLS WHERE INDICATED BY "DW"

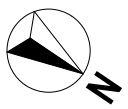
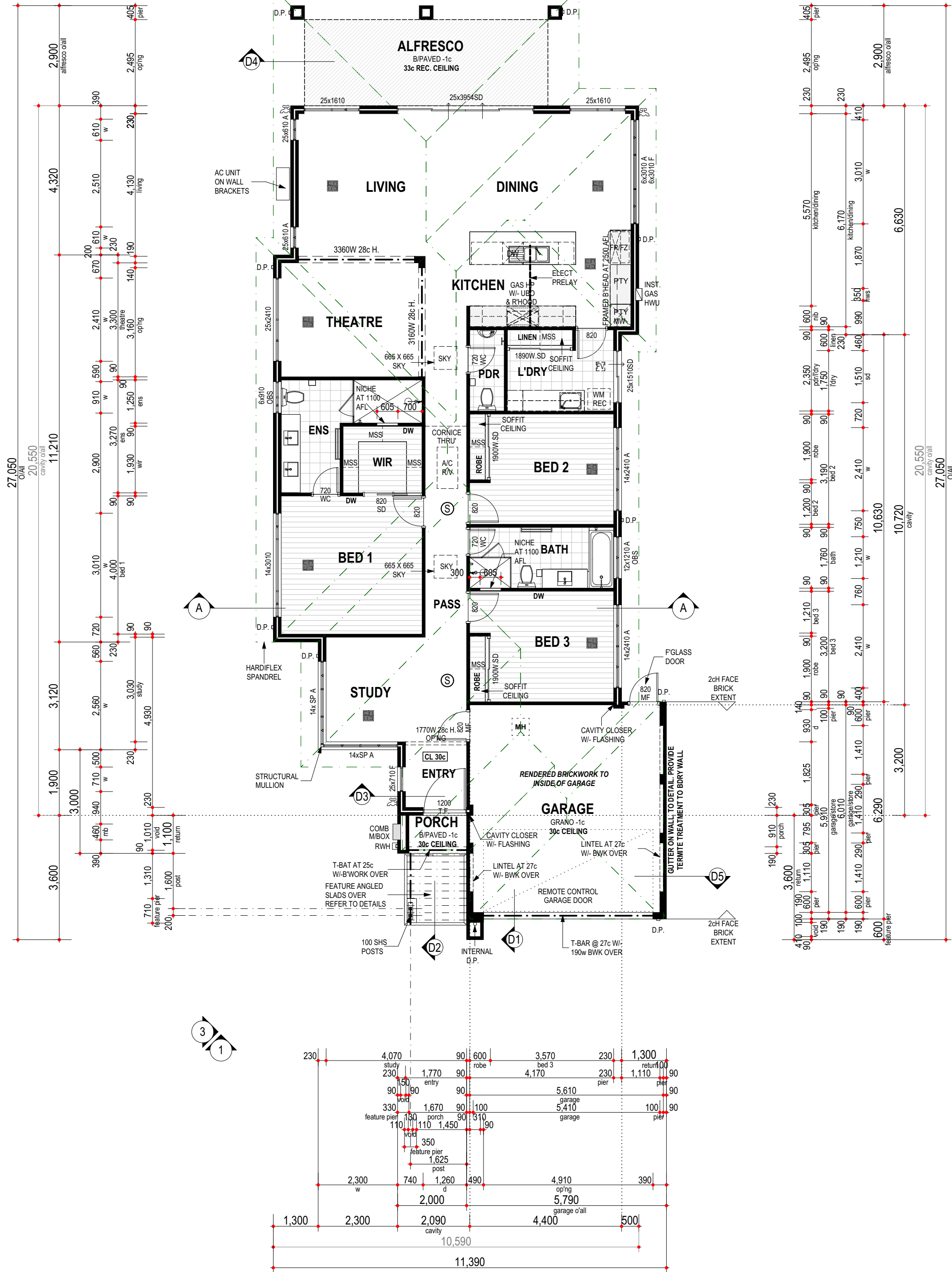
BRICKLAYER NOTE
- FOR 2: GARAGE.
- 30c GARAGE HAS 3c LINTEL
- INSTALL CAVITY INSULATION TO ALL CAVITIES AS AS PER
MANUFACTURES DETAIL.

CONCRETOR/BRK LAYER NOTE
- NOTE BRICKWALL ON STRATA BOUNDARY HAS BEEN CALCULATED TO BE
SET ON BOUNDARY.
- ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c UNLESS
NOTED OTHERWISE.

AIRCON NOTE
- PROVIDE DUCTED REVERSE CYCLE AIR CONDITIONING.
OUTLET POSITIONS TO BE CONFIRMED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.



2
4



U1 FLOOR PLAN		Area m²	Perim. L/m
1. FLOOR PLAN		183.53	62.28
2. GARAGE		35.73	24.16
3. PORCH		5.94	10.36
4. ALFRESCO		22.78	21.51
5. TOTAL AREA		247.98	77.04
6. ROOF		271.80	78.50

DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions
& notes prior to initiating works.
Any discrepancies to be notified to the
Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

BUILDER: _____ / /
CLIENT(S): _____ / /
WITNESS: _____ / /

PROPOSED RESIDENCE FOR:
BAJAJ

ADDRESS:
**LOT 314 (#9) STAGG COURT,
KARDINYA.**

DRAWN: **WV**
DESIGNED: **ALI**
CHECKED: **DM**
DATE: **05.12.2019**
MODEL: **SPECIALS**

SCALE: **1:100**
SHEET: **6 OF 19**
SIZE: **A2**
PROJECTS
JOB N° **156636**

Issue Name	Drawn	Date	Issue Name	Drawn	Date
ENG. AMEND.	WV	17/12/19	V004	DMA	05/05/20
V002	WV	24/02/19	V007	DMA	06/05/20
V001	WV	30/03/20	JW	DM	26/05/20
V004	DMA	14/04/20			
V003	DMA	20/04/20			
V004	DMA	28/04/20			

U1 FLOOR PLAN

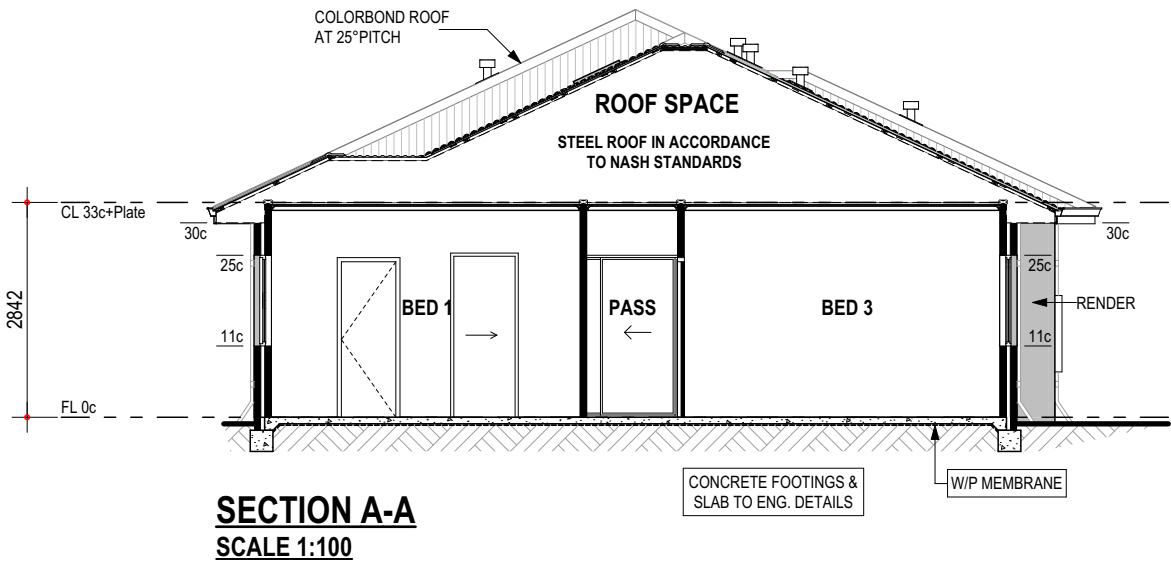
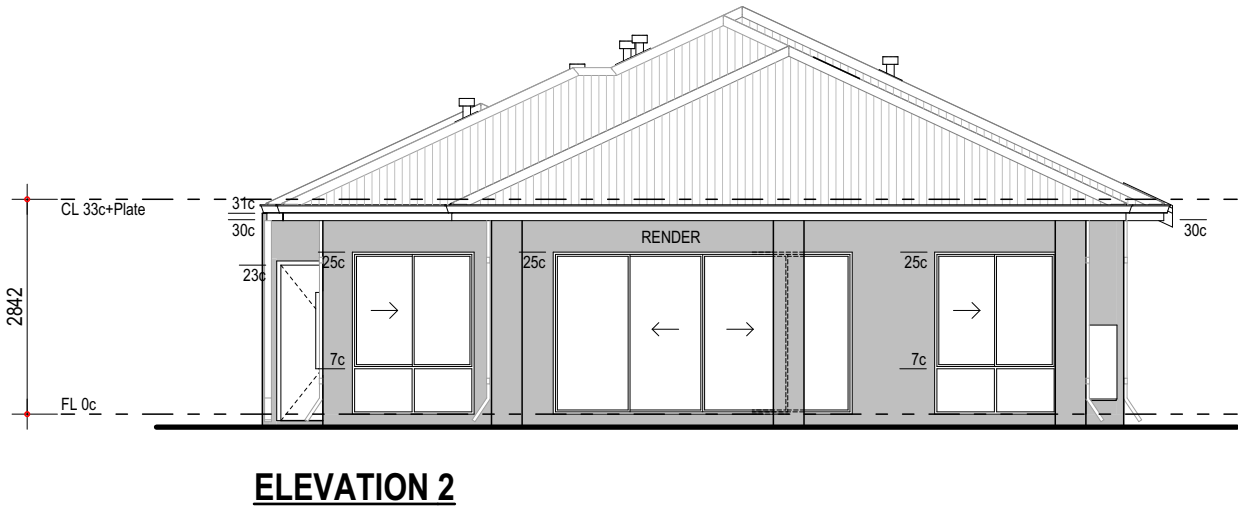
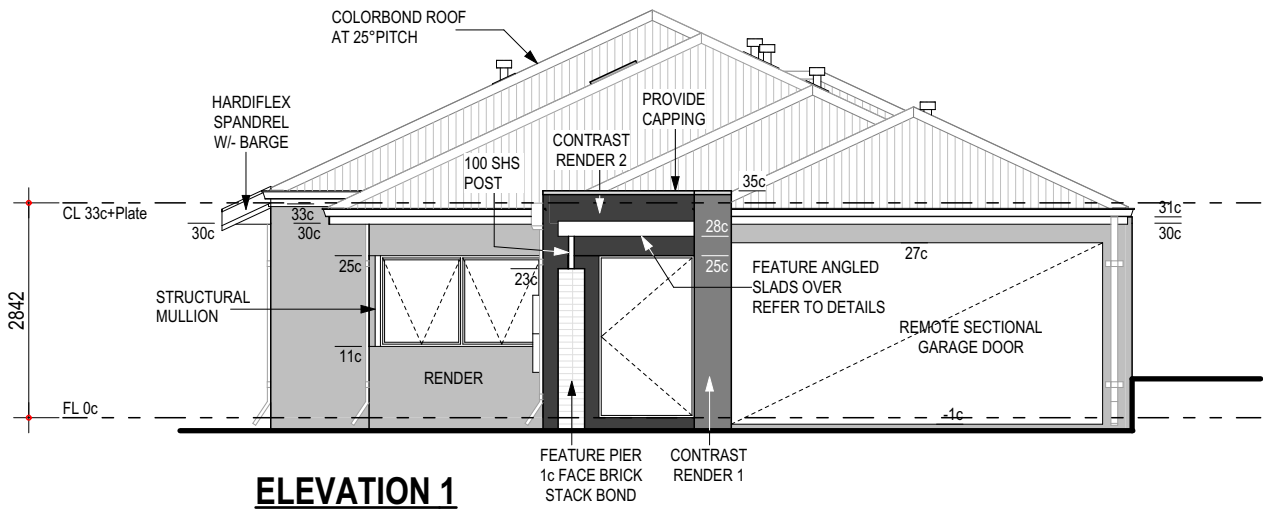


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ROOF NOTE
- COLORBOND ROOF, PITCH AT 25° W/- 500W EAVES UNO
- STEEL ROOF IN ACCORDANCE TO NASH STANDARD
- CEILINGS AT 33c + PLATE UNLESS NOTED OTHERWISE

WINDOW SUPPLIER NOTE
- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288

DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.



BUILDER:	CLIENT(S):	WITNESS:
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

PROPOSED RESIDENCE FOR:
BAJAJ

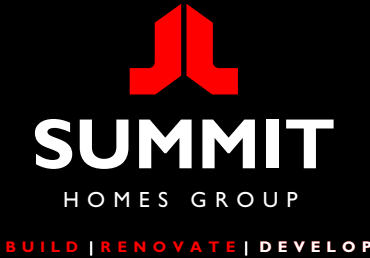
ADDRESS:
**LOT 314 (#9) STAGG COURT,
KARDINYA.**

DRAWN: WW
DESIGNED: ALI
CHECKED: DM
DATE: 05.12.2019
MODEL: SPECIALS

SCALE: AS NOTED
SHEET: 7 OF 19
SIZE: A3
PROJECTS
JOB N°
156636

Issue Name	Drawn	Date	Issue Name	Drawn	Date
ENG. AMEND.	WW	17/12/19	V004 DMA	DMA	05/05/20
V002 WW	WW	24/02/19	JEL DMA	DMA	06/05/20
V001 WW	WW	30/03/20	V007 JW	DM	11/05/20
V004 DMA	DMA	14/04/20			26/05/20
V003 DMA	DMA	20/04/20			
V004 DMA	DMA	28/04/20			

U1 ELEVATION/SECTION

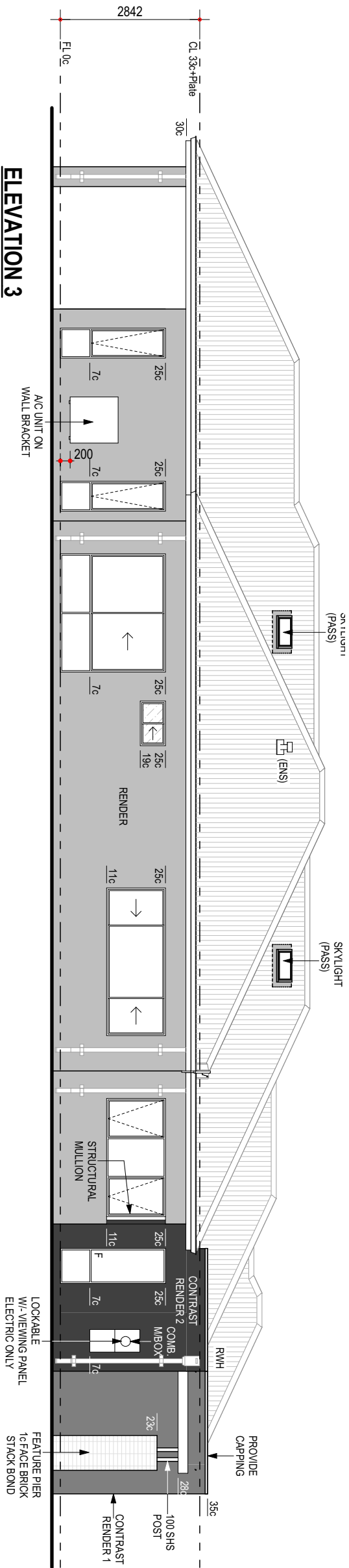


ROOF NOTE

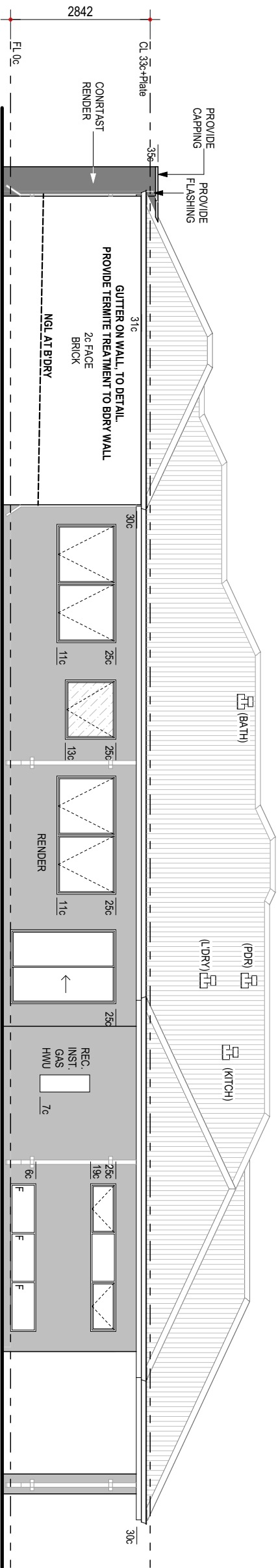
- **COLORBOND** ROOF, PITCH AT 25° W/ 500W EAVES UNO
- STEEL ROOF IN ACCORDANCE TO NASH STANDARD
- CEILINGS AT 33c + PLATE UNLESS NOTED OTHERWISE

WINDOW SUPPLIER NOTE

- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288



ELEVATION 3



ELEVATION 4

DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimension
& notes prior to initiating works.
Any discrepancies to be notified to the
Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

BUILDER: _____ / /

CLIENT(S): _____ / /

_____ / /

WITNESS: _____ / /

PROPOSED RESIDENCE FOR:
BAJAJ
ADDRESS:
LOT 314 (#9) STAGG COURT,
KARDINYA

SPECIALS

DRAWN:	WW	SCALE:	1:100
DESIGNED:	ALI	SHEET:	8 OF
CHECKED:	DM	SIZE:	A3
DATE:	05.12.2019	PROJECTS	
MODEL:		JOB N°	

156636

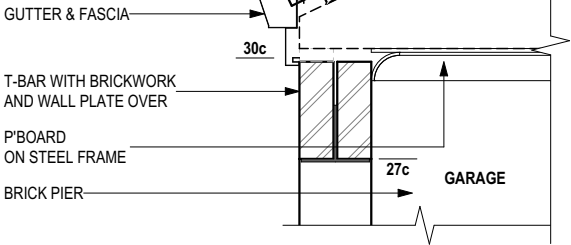
Issue Name	Drawn	Date	Issue Name	Drawn	Date
ENG.	WW	17/12/19	V004	DMA	05/05/20
AMEND.	WW			DMA	06/05/20
V002	WW	24/02/19	JEL	DMA	11/05/20
V001	WW	30/03/20	V007	DMA	26/05/20
V004	DMA	14/04/20	JW		
V003	DMA	20/04/20	DM		
V004	DMA	28/04/20			

BUILT AROUND PEOPLE

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DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions
& notes prior to initiating works. Any
discrepancies to be notified to the Site
Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

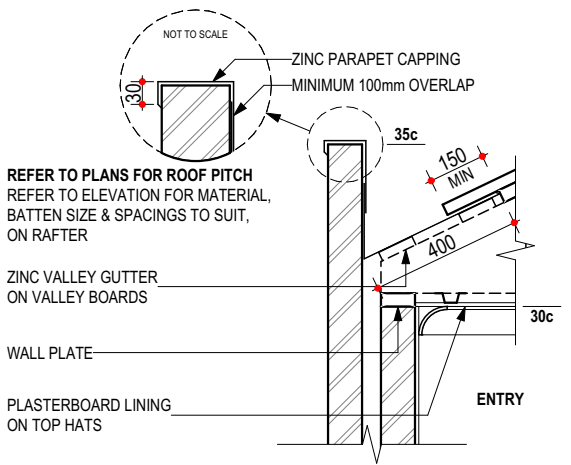
REFER TO PLANS FOR ROOF PITCH
REFER TO ELEVATION FOR MATERIAL,
BATTEN SIZE & SPACINGS TO SUIT,
ON RAFTER



D1 - GARAGE W/- NO EAVES & P'BOARD CEILING - T-BAR OVER

NOTES:

- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
- SCALE 1 : 20

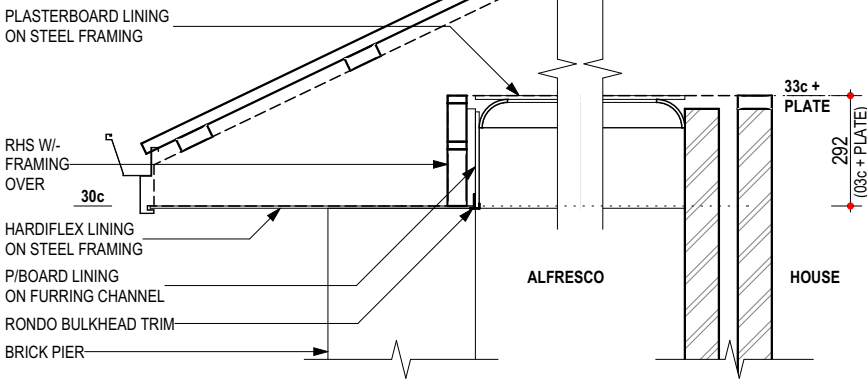


D3 - PARAPET WALL DETAIL

NOTES:

- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
- SCALE 1 : 20

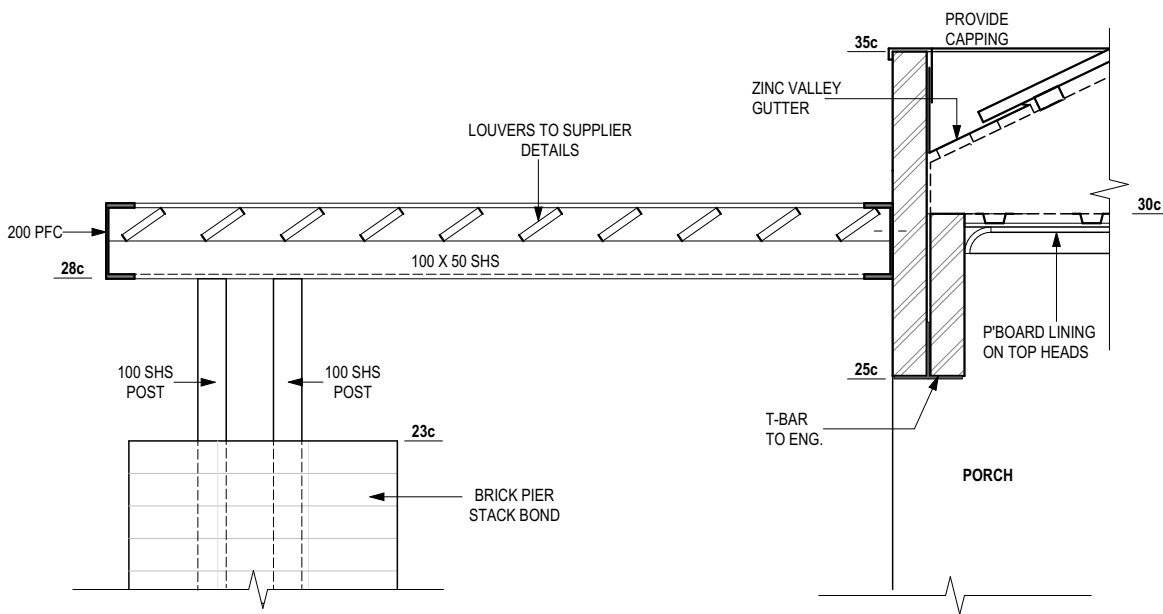
REFER TO PLANS FOR ROOF PITCH
REFER TO ELEVATION FOR MATERIAL,
BATTEN SIZE & SPACINGS TO SUIT
ROOF TRUSS



D4 - 3c RECESSED CEILING TO ALFRESCO

NOTES:

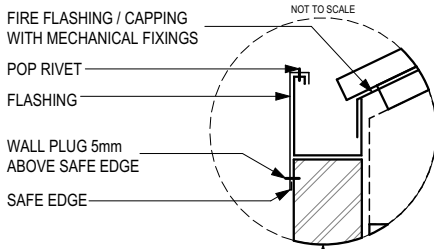
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
- SCALE 1 : 20



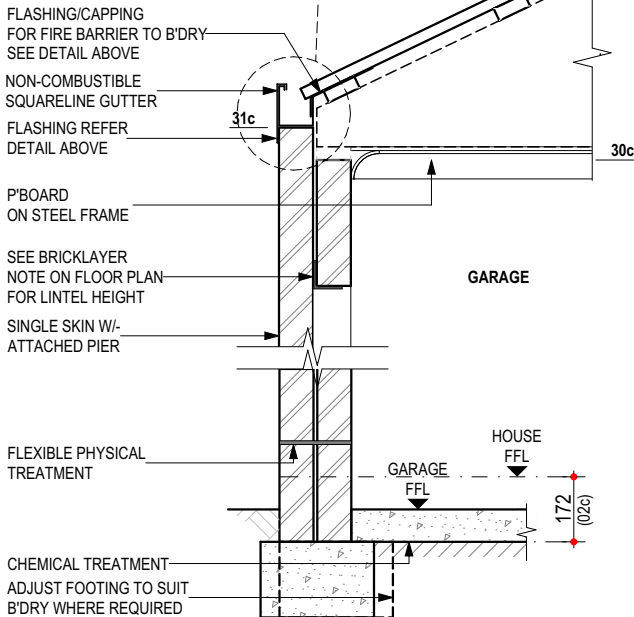
D2 - VERGOLA DETAIL

NOTES:

- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
- SCALE 1 : 20



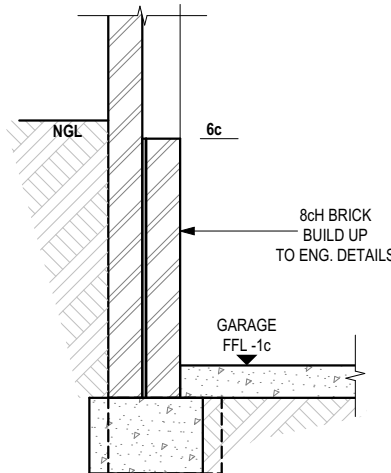
REFER TO PLANS FOR ROOF PITCH
REFER TO ELEVATION FOR MATERIAL,
BATTEN SIZE & SPACINGS TO SUIT
ROOF TRUSS



D5 - GUTTER ON WALL/FLASHING DETAIL TO GARAGE W/- TERMITE TREATMENT

NOTES:

- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
- SCALE 1 : 20



D6 - BUILD UP TO GARAGE

NOTES:

- REFER TO ENGINEERS DRAWINGS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- REFER TO ENGINEERS DRAWINGS FOR FOOTING.
- SCALE 1 : 20

BUILDER:	BAJAJ
CLIENT(S):	
WITNESS:	

PROPOSED RESIDENCE FOR:
BAJAJ

ADDRESS:
LOT 314 (#9) STAGG COURT,
KARDINYA.

DRAWN: WW
DESIGNED: ALI
CHECKED: DM
DATE: 05.12.2019
MODEL:
SPECIALS

SCALE: AS NOTED
SHEET: 9 OF 19
SIZE: A3
PROJECTS
JOB N°
156636

Issue Name	Drawn	Date	Issue Name	Drawn	Date
ENG. AMEND.	WW	17/12/19	V004 DMA	JEL	05/05/20
V002 WW	24/02/19	V007 DMA	JW	06/05/20	
V001 WW	30/03/20				
V004 DMA	14/04/20				
V003 DMA	20/04/20				
V004 DMA	28/04/20				

SUMMIT
HOMES GROUP

BUILD | RENOVATE | DEVELOP

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BENCHTOP NOTE

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

WALL FINISH NOTE

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

TILER NOTE

- SHADING DENOTES EXTENT OF TILING
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES

CABINETMAKER NOTE

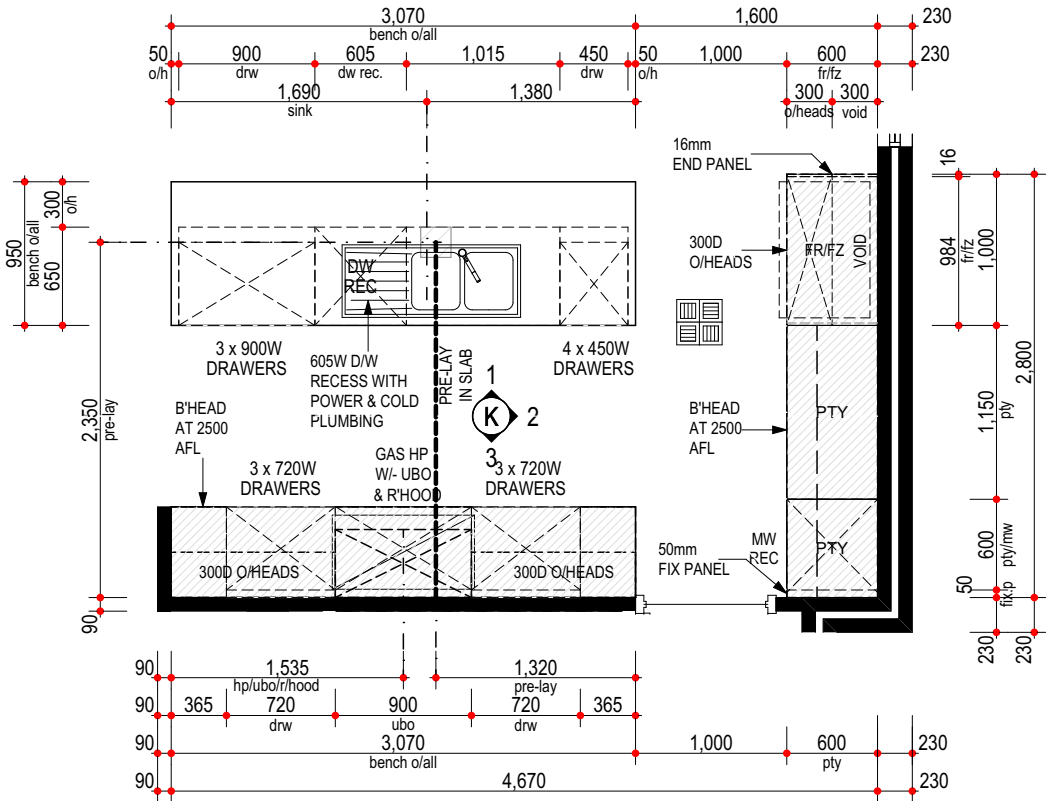
- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

DO NOT SCALE FROM THIS DRAWING

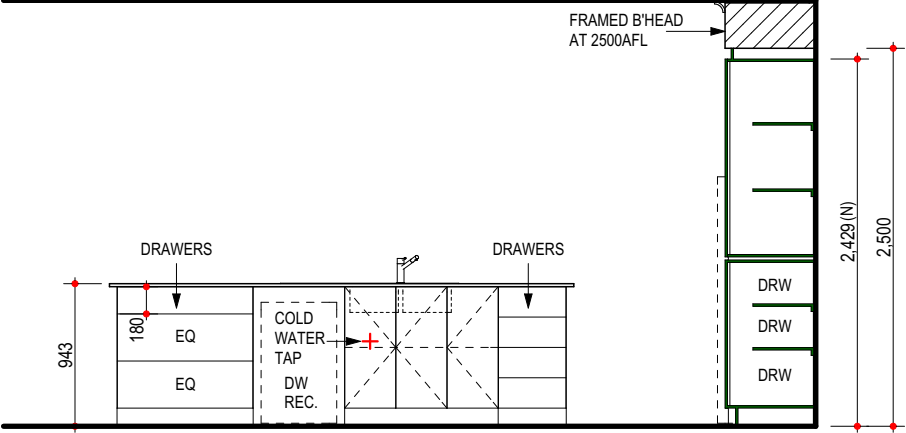
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

REFER TO ADDENDUM FOR FITOUT SPECIFICATION

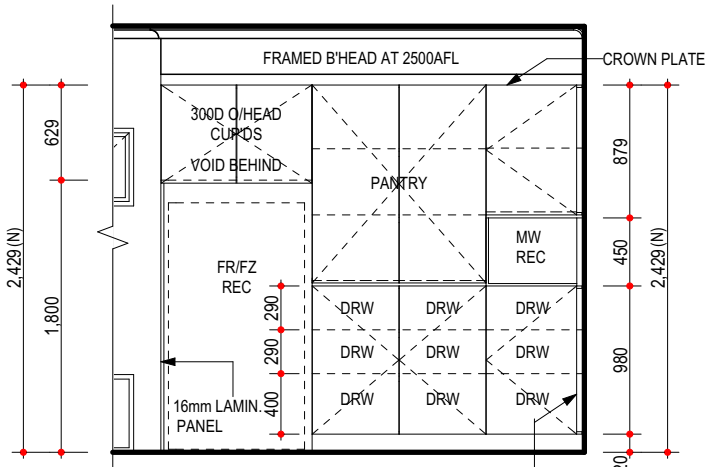
WET AREAS CONSTRUCTED IN ACCORDANCE WITH PART 3.8.1 OF B.C.A. (VOL 2)



KITCHEN PLAN

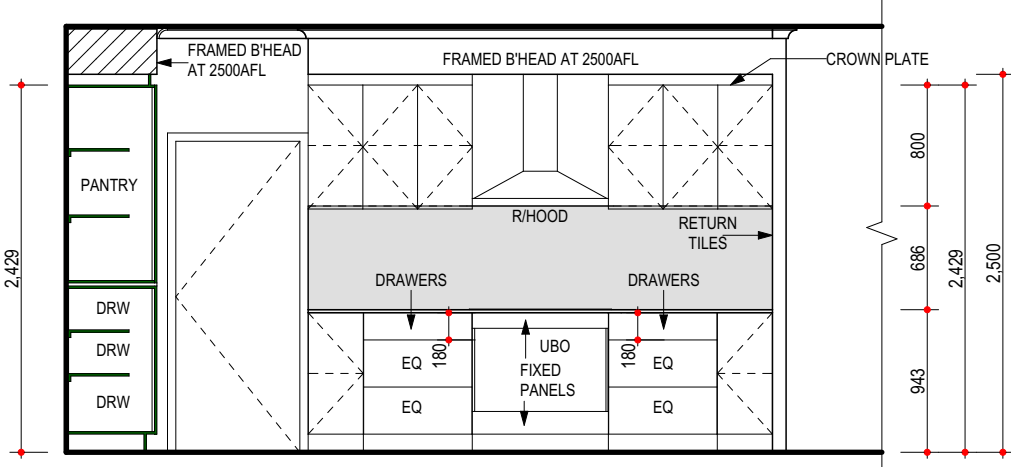


K1 VIEW

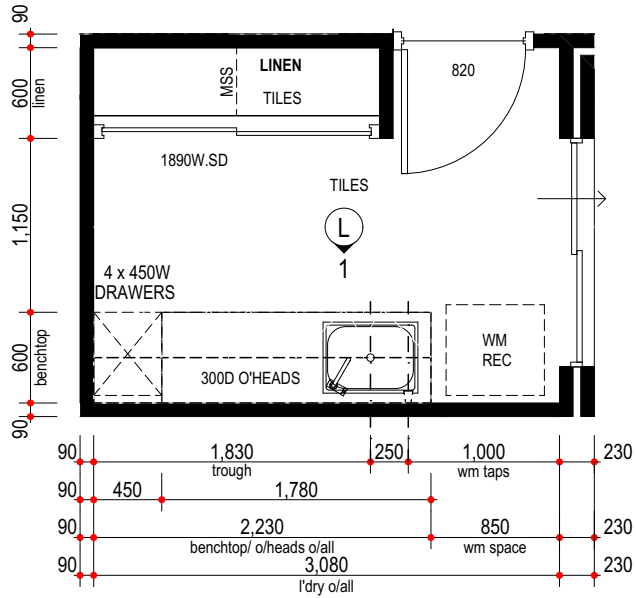


K2 VIEW

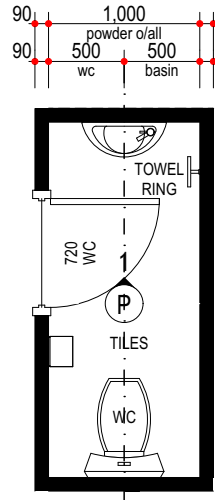
NOTE: HAFELE DRW'S BEHIND DOORS



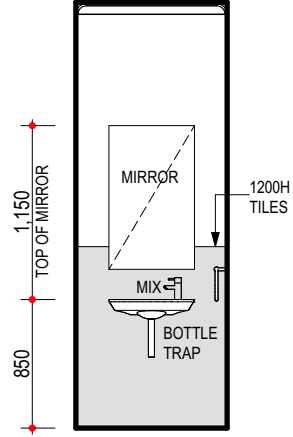
K3 VIEW



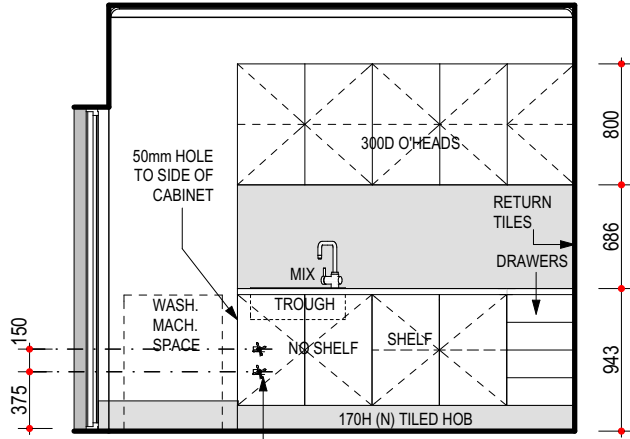
L'DRY PLAN



PDR PLAN



P1 VIEW



L1 VIEW

WITNESS: _____
CLIENT(S): _____
BUILDER: _____

PROPOSED RESIDENCE FOR:
BAJAJ

ADDRESS:
LOT 314 (#9) STAGG COURT,
KARDINYA.

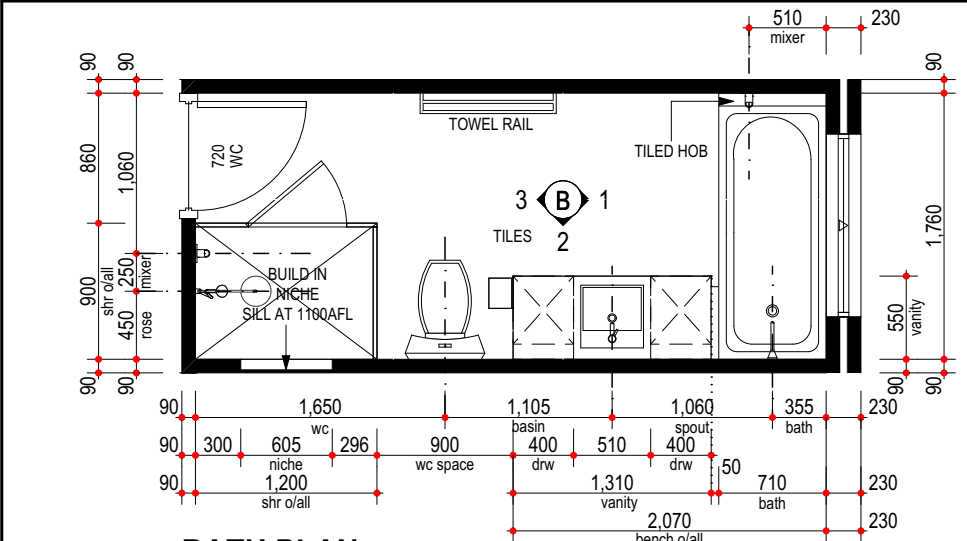
DRAWN: WW
DESIGNED: ALI
CHECKED: DM
DATE: 05.12.2019
MODEL: SPECIALS

SCALE: 1:50
SHEET: 10 OF 19
SIZE: A3
PROJECTS
JOB N° 156636

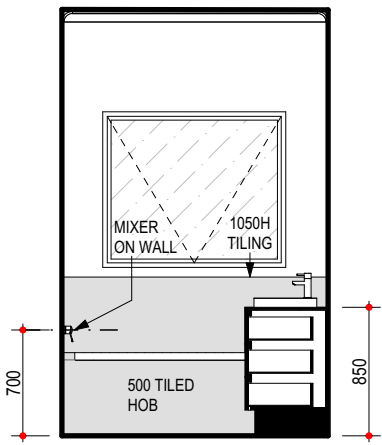
Issue Name	Drawn	Date	Issue Name	Drawn	Date
ENG. AMEND.	WW	17/12/19	V004 DMA	DMA	05/05/20
V002 WW	WW	24/02/19	V007 DMA	DMA	06/05/20
V001 WW	WW	30/03/20	JW DM	DM	11/05/20
V004 DMA	DMA	14/04/20			
V003 DMA	DMA	20/04/20			
V004 DMA	DMA	28/04/20			

U1 ROOM LAYOUTS





BATH PLAN



B1 VIEW

DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

REFER TO ADDENDUM FOR FITOUT SPECIFICATION

WET AREAS CONSTRUCTED IN ACCORDANCE WITH PART 3.8.1 OF B.C.A. (VOL 2)

BENCHTOP NOTE

- LOCATION OF JOINTS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

WALL FINISH NOTE

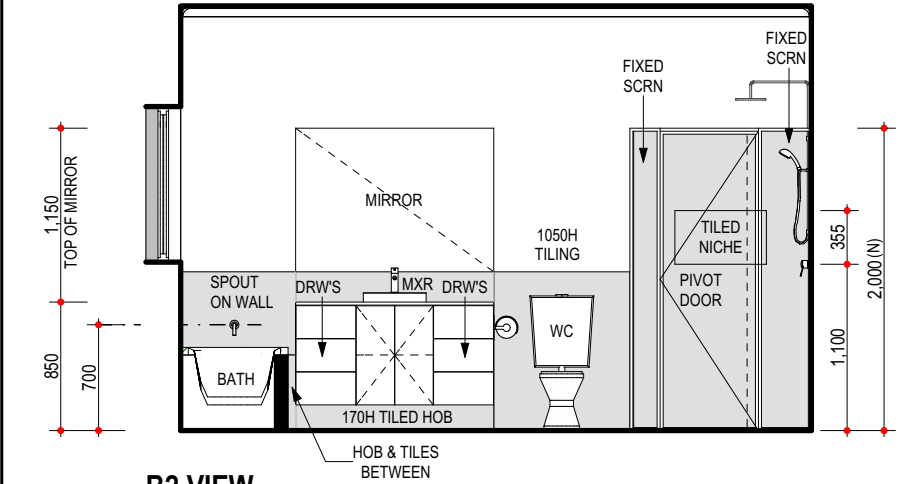
- DIMENSIONS SHOWN ON PLAN ARE TO BWORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

CABINETMAKER NOTE

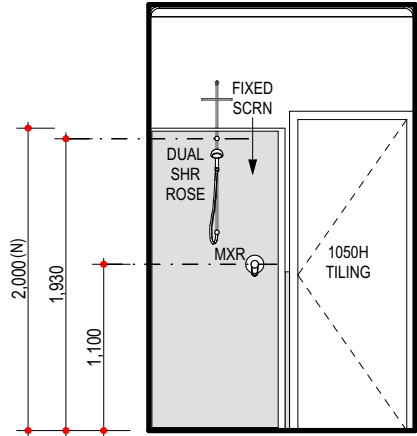
- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

TILER NOTE

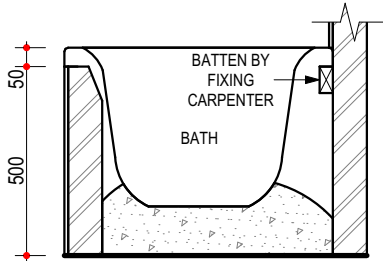
- SHADING DENOTES EXTENT OF TILING
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES
- MITRED TILES TO SHR AND BATH RECESS TO BATHROOM AND ENS..



B2 VIEW

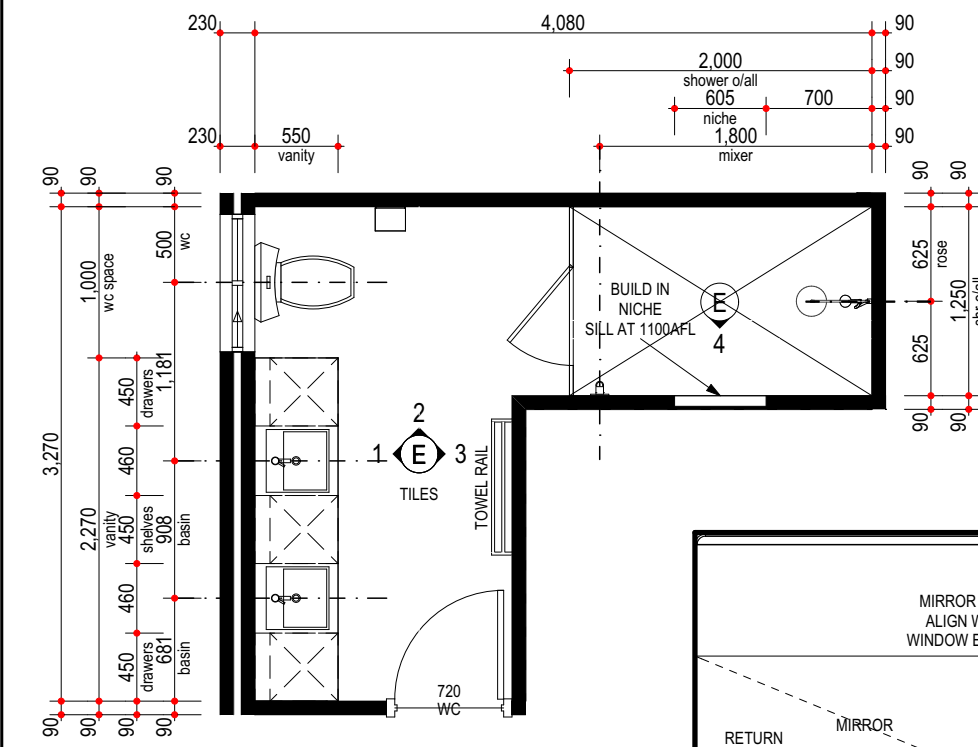


B3 VIEW

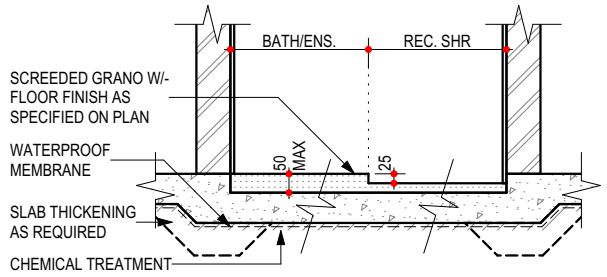


TYPICAL BATH HOB SECTION

- SCALE 1 : 20



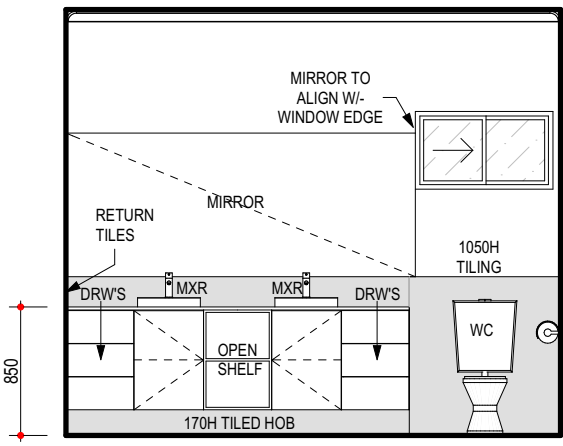
ENSUITE PLAN



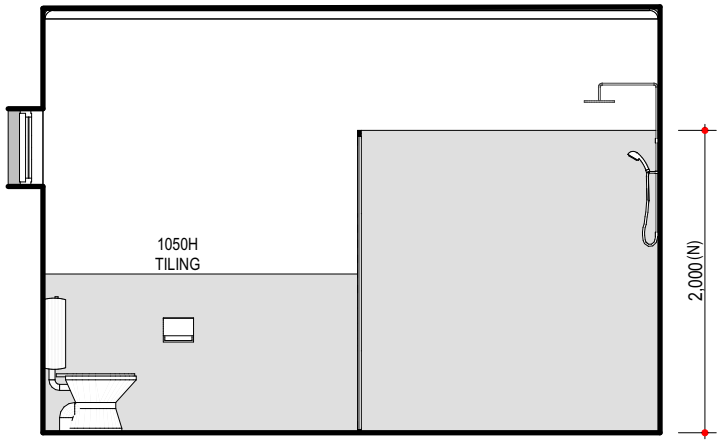
RECESSED SHOWER DETAIL (NO HOB)

NOTES:

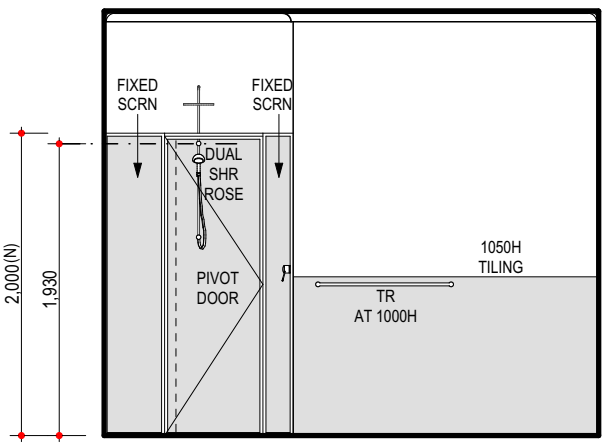
- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- SCALE 1 : 20



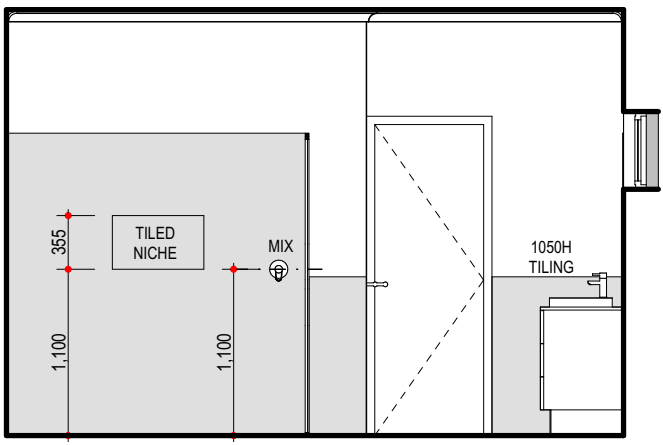
E1 VIEW



E2 VIEW



E3 VIEW



E4 VIEW

WITNESS: _____
CLIENT(S): _____
BUILDER: _____

PROPOSED RESIDENCE FOR:
BAJAJ

ADDRESS:
**LOT 314 (#9) STAGG COURT,
KARDINYA.**

DRAWN: WW
DESIGNED: ALI
CHECKED: DM
DATE: 05.12.2019
MODEL:
SPECIALS

SCALE: 1:50
SHEET: 11 OF 19
SIZE: A3
PROJECTS
JOB N°
156636

Issue Name	Drawn	Date	Issue Name	Drawn	Date
ENG. AMEND.	WW	17/12/19	V004	DMA	05/05/20
V002	WW	24/02/19	JEL	DMA	06/05/20
V001	WW	30/03/20	V007	DMA	11/05/20
V004	DMA	14/04/20	JW	DM	26/05/20
V003	DMA	20/04/20			
V004	DMA	28/04/20			

U1 ROOM LAYOUTS



SUMMIT
HOMES GROUP

BUILD | RENOVATE | DEVELOP

ELECTRICAL LEGEND

Ground Floor				Insulation Penetrations	
Qty	Sym.	Description	Watts		
9		EXTERNAL WALL LIGHT @ 2000 AFL Perimeter Lighting	99*	*	
1		EXTERNAL RECESSED LED DOWN-LIGHT (11w) Perimeter Lighting	7*	*	
1		CEILING LIGHT (11w) Class 10	11*	*	
4		EXTERNAL RECESSED LED DOWN-LIGHT (11w) Class 1 Alfresco	28*	*	
1		CEILING LIGHT (11w) Class 1 Alfresco	11*	*	
39		RECESSED LED DOWN-LIGHT (7w)	273		
1		PLUG BASE IN CEILING SPACE	0		
2		MOTION SENSOR	0		
2		H.WIRED SMOKE DETECTOR	0		
2		EXHAUST FAN	0	0.090	
6		CEILING LIGHT (11w)	66		
1		4x HEATER/FAN/LIGHT (7w)	7		
1	3 WAY	3 WAY SWITCH	0		
1		2x HEATER/FAN/LIGHT (7w)	7		
1	2 WAY	2 WAY SWITCH	0		
1		W/P SGPO INSTALLED IN HWU	0		
1		SINGLE WATER PROOF GPO	0		
2		SINGLE GPO IN/ON CEILING	0		
6		SINGLE GPO @ NOTED HT	0		
1		NBN LEAD IN CONDUIT (25mm) W/- BLANK FACE PLATE AT 1500 AFL	0		
2		DOUBLE WATER PROOF GPO	0		
17		DOUBLE GPO @ NOTED HT	0		
10		DOUBLE GPO @ 200 AFL	0		
1		DOUBLE GPO @ 1500 AFL W/ 20mm CONDUIT FOR PSU CONNECTION	0		
1		CONDUIT FOR NBN (25mm)	0		
5		CONDUIT 20mm	0		
2		CONDUIT (32mm)	0		
1		CONDUIT (25mm) (AC)	0		
1		D2 (2x DATA/PHONE) FOR NBN PROVISION @ 1500 AFL	0		
1		C1 (TV) + D2 (PH/DATA) @ 700 AFL	0		
1		C1 (TV) + CONDUIT BY O.N.C	0		

*NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. Subtotal: 353 0.090
PERIMETER LIGHTING MIN. 40 LUMENS/W.

Total Class 1 Wattage= 353

LIGHT AND VENTILATION CALC.

Room Name	Opn % Light	Vent.
6 BED 3		
Min. Ventilation = 0.91 Min. Light= 1.22 Total Area= 12.19		
W15 Awning	50 % 2.89 m2	1.45 m2
Totals	Light 2.89 m2 Vent 1.45 m2	
5 BED 2		
Min. Ventilation = 0.91 Min. Light= 1.21 Total Area= 12.15		
W13 Awning	50 % 2.89 m2	1.45 m2
Totals	Light 2.89 m2 Vent 1.45 m2	
4 LIVING KITCHEN DINING		
Min. Ventilation = 3.84 Min. Light= 5.12 Total Area= 51.16		
W11 Awning	67 % 1.55 m2	1.03 m2
W10 Awning	36 % 3.45 m2	1.24 m2
W09 Sliding Door	50 % 8.47 m2	4.24 m2
W08 Awning	36 % 3.45 m2	1.24 m2
W07 Awning	72 % 1.31 m2	0.94 m2
W06 Awning	72 % 1.31 m2	0.94 m2
Totals	Light 19.54 m2 Vent 9.63 m2	
3 THEATRE		
Min. Ventilation = 0.99 Min. Light= 1.31 Total Area= 13.13		
W05 Sliding	36 % 5.16 m2	1.86 m2
Totals	Light 5.16 m2 Vent 1.86 m2	
2 BED 1		
Min. Ventilation = 1.22 Min. Light= 1.63 Total Area= 16.32		
W03 Awning	67 % 3.61 m2	2.41 m2
Totals	Light 3.61 m2 Vent 2.41 m2	
1 STUDY		
Min. Ventilation = 0.92 Min. Light= 1.23 Total Area= 12.33		
W02 Awning	63 % 3.07 m2	1.93 m2
W01 Awning	47 % 2.76 m2	1.29 m2
Totals	Light 5.83 m2 Vent 3.22 m2	

Inputs for Airmovement and Light are Valid

WITNESS:	CLIENT(S):	BUILDER:



PROPOSED RESIDENCE FOR:
BAJAJ

ADDRESS:
LOT 314 (#9) STAGG COURT,
KARDINYA.

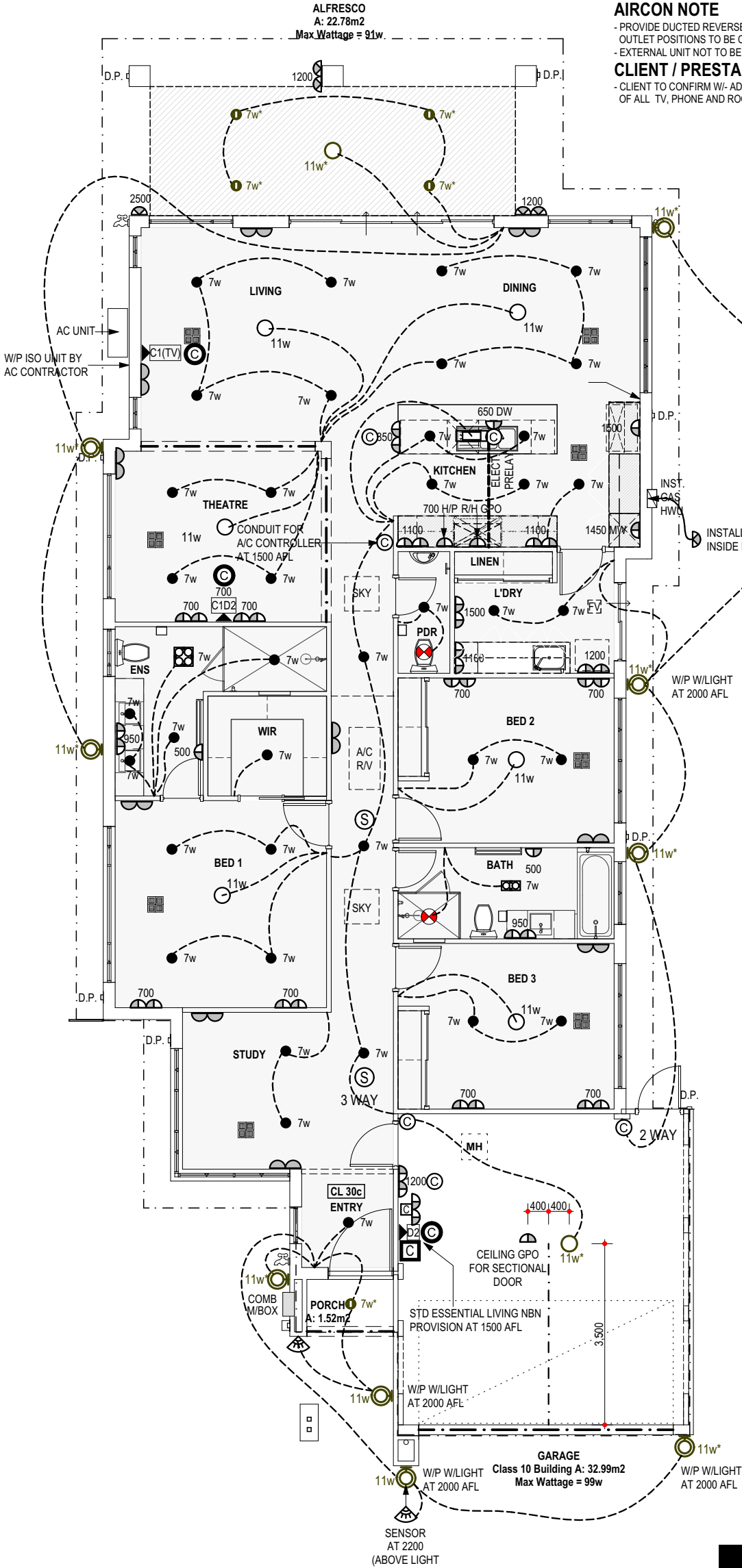
Wattage Calculations (Class 1)

Story Name	Area	Allowed Wattage	Actual Wattage
0 Ground Floor	170.46 Sqm	852 w	353 w
	170.46 sqm	852 w	353 w PASS

Recessed Fitting Penetrations (Class 1)

Story Name	Area	Maximum Penetrations	Actual Penetrations
Total Insulation Area	170.46 sqm	0.852 sqm	0.090 sqm
Vents/RangeHoods			0.094 sqm
	170.46 sqm	0.852 sqm	0.184 sqm
	0.11 % R4.0 Insulation Adjustment Not Required		PASS

CLIENT NOTE: MAX WATTAGE AND
PENETRATIONS MUST NOT BE EXCEEDED



DO NOT SCALE FROM THIS DRAWING
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& notes prior to initiating works. Any
discrepancies to be notified to the Site
Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO AS3786-2014
- FINAL POSITION OF ELECTRICAL ITEMS SUCH AS GPO'S, LIGHT SWITCHES ETC. MAY VARY ON SITE DUE TO ELECTRICAL REGULATIONS. LIGHT SWITCH HEIGHT TO BE AT 1200 AFL U.N.O.
- NEUTRAL CABLING REQUIRED TO ALL LIGHT SWITCHES.
- ALL EXHAUST FANS TO BE FLUED TO EXTERNAL AIR
- PROVIDE LOCKABLE M/BOX WITH VIEWING PANEL TO ELECTRIC M/BOX ONLY, GAS M/BOX TO REMAIN UNLOCKED

TV ANTENNA NOTE

- PROVIDE TV ANTENNA AS PER ADDENDA

AIRCON NOTE

- PROVIDE DUCTED REVERSE CYCLE AIR CONDITIONING.
- OUTLET POSITIONS TO BE CONFIRM BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

CLIENT / PRESTART NOTE

- CLIENT TO CONFIRM W/- ADMINISTRATOR POSITIONING OF ALL TV, PHONE AND ROOM GPO POSITIONS.

DRAWN: WW
DESIGNED: ALI
CHECKED: DM
DATE: 05.12.2019
MODEL:
SPECIALS

SCALE: 1:100
SHEET: 12 OF 19
SIZE: A3
PROJECTS
JOB N°
I56636

Issue Name	Drawn	Date	Issue Name	Drawn	Date
ENG. AMEND.	WW	17/12/19	V004	DMA	05/05/20
V002	WW	24/02/19	JEL	DMA	06/05/20
V001	WW	30/03/20	V007	DMA	11/05/20
V004	DMA	14/04/20	JW	DM	26/05/20
V003	DMA	20/04/20			
V004	DMA	28/04/20			

U1 ELECTRICAL/BCA PLAN



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SITE CLASSIFICATION - CLASS 'A'
(REFER TO SITE REPORT FOR
DETAILS) WIND LOAD - N1
CORROSION CLASSIFICATION - R3

BRICK NOTE
- RENDERED BRICK U.N.O

ROOF NOTE
- COLORBOND ROOF, PITCH AT 25° W/ 500W EAVES UNO
- STEEL ROOF FRAME TO NASH STANDARDS
- CEILINGS AT 33c+ PLATE UNLESS NOTED OTHERWISE

ROOF PLUMBER NOTE
- PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)
- FINAL POSITIONS OF RWPS TO BE DETERMINED ON SITE
- RWPS IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER SYSTEM (NO KICK)

ROOF INSULATION NOTE
- R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL PLASTERBOARD OR VERSILUX CEILINGS IF APPL.
- R1.3 ANTICON TO ENTIRE ROOF

ELECTRICAL NOTE
- INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS INDICATED ON PLAN
- PROVIDE LOCKABLE MBOX WITH VIEWING PANEL TO ELECTRIC MBOX ONLY, GAS MBOX TO REMAIN UNLOCKED

FIXING CARPENTER NOTE
- 5 No. 450D SHELVES TO LINEN UNO
- 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO
- PROVIDE MID-SHELF SUPPORT WHERE NOTED 'MSS' TO ANY SHELF OVER 1.8m LONG.

CEILING MATERIAL NOTE
- PORCH - PLASTERBOARD C.L.
- GARAGE - PLASTERBOARD C.L.
- ALFRESCO - PLASTERBOARD C.L.

GARAGE NOTE
- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPENING

RENDER WALL NOTE
- PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED WALLS & H/FLEX / VERSILUX CEILINGS

TRADES / SUPERVISOR NOTE
- REFER TO STRUCTURAL ENGINEERS DETAILS
- ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS & STANDARD SPECIFICATION.

DOOR NOTE
- TOILET DOOR TO COMPLY W/ CLAUSE 3.8.3.3 OF THE B.C.A VOL. 2

PLASTERBOARD NOTE
- PROVIDE PLASTERBOARD TO WALLS WHERE INDICATED BY "DW"



CONCRETOR/BRK LAYER NOTE
- NOTE BRICK WALL ON LOT BOUNDARY HAS BEEN CALCULATED TO BE SET ON THE BOUNDARY.
- ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c UNLESS NOTED OTHERWISE.
- DROPPED FOOTINGS AS SPECIFIED BY MARKERS
- TOP OF FOOTING AT -6c BETWEEN A-B
- REFER TO ELEVATIONS FOR EXTENT.

DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions & notes prior to initiating works.
Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

BUILDER: _____ / /
CLIENT(S): _____ / /
WITNESS: _____ / /

PROPOSED RESIDENCE FOR:
BAJAJ

ADDRESS:
**LOT 314 (#9) STAGG COURT,
KARDINYA.**

DRAWN: **WVW**
DESIGNED: **ALI**
CHECKED: **DM**
DATE: **05.12.2019**
MODEL: **SPECIALS**

SCALE: **1:100**
SHEET: **13 OF 19**
SIZE: **A2**
PROJECTS
JOB N° **156636**

Issue Name	Drawn	Date	Issue Name	Drawn	Date
ENG. AMEND.	WVW	17/12/19	VO04	DMA	05/05/20
VO02	WVW	24/02/19	VO07	DMA	06/05/20
VO01	WVW	30/03/20	JW	DM	11/05/20
VO04	DMA	14/04/20			26/05/20
VO03	DMA	20/04/20			
VO04	DMA	28/04/20			

U2 FLOOR PLAN

U2 FLOOR PLAN

	Area m²	Perim. L/m
1. FLOOR PLAN	194.29	67.74
2. GARAGE	34.55	23.76
3. PORCH	5.84	10.40
4. ALFRESCO	14.64	15.76
5. TOTAL AREA	249.32	80.70
6. ROOF	268.55	80.16



- **COLORBOND** ROOF, PITCH AT 25° W/ 500W EAVES UNO
- STEEL ROOF IN ACCORDANCE TO NASH STANDARD
- CEILINGS AT 33c + PLATE UNLESS NOTED OTHERWISE

WINDOW SUPPLIER NOTE

- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288

[illegible]

Architectural elevation drawing of a building facade, labeled "ELEVATION 2". The drawing shows a cross-section of the building with a gabled roof and a central section with a large window. The window is divided into four panes. The wall is labeled "RENDER". The roof is labeled "CL 33c+Plate". The ground level is labeled "FL 0c". The window is labeled "STRUCTURAL MULLION". The roof height is 2842. The window height is 25c. The window width is 7c. The wall height is 23c. The roof pitch is 31c. The ground level is 0c. The window is labeled "DROPPED FOOTING AND BUILD-UP TO ENG. DETAILS". The window is labeled "-6c TOF".

Architectural section drawing of a building, labeled "SECTION A-A" and "SCALE 1:100". The drawing shows a cross-section of a structure with a gabled roof. The roof is labeled "COLORBOND ROOF AT 25° PITCH" and "STEEL ROOF IN ACCORDANCE TO NASH STANDARDS". The interior space is divided into "BED 1", "PASS", and "BED 2". The roof space is labeled "ROOF SPACE". The exterior walls are labeled "HARDIFLEX SPANDREL W/- BARGE". The foundation is labeled "CONCRETE FOOTINGS & SLAB TO ENG. DETAILS". The floor is labeled "W/P MEMBRANE". The drawing includes dimensions: "2842" for the total height, "CL 33c+Plate" for the ceiling level, "FL 0c" for the floor level, "30c" for the roof overhang, "25c" for the bed height, and "7c" for the pass height.

BUILDER:	/	/
CLIENT(S):	/	/
	/	/
WITNESS:	/	/

Issue Name	Drawn	Date	Issue Name	Drawn	Date
ENG. AMEND.	WW	17/12/19	V004	DMA	05/05/20
V002	WW	24/02/19	JEL	DMA	06/05/20
V001	WW	30/03/20	V007	DMA	11/05/20
V004	DMA	14/04/20	JW	DM	26/05/20
V003	DMA	20/04/20			
V004	DMA	28/04/20			

The Summit Homes Group logo, featuring a red stylized mountain peak icon above the word "SUMMIT" in large white capital letters, with "HOMES GROUP" in smaller white capital letters below it.

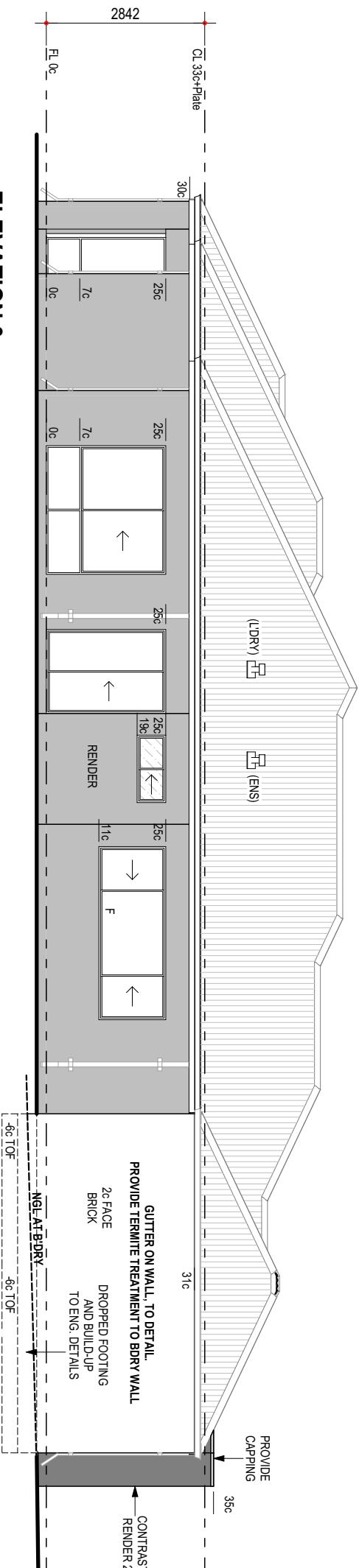
BUILD | RENOVATE | DEVELOP

ROOF NOTE

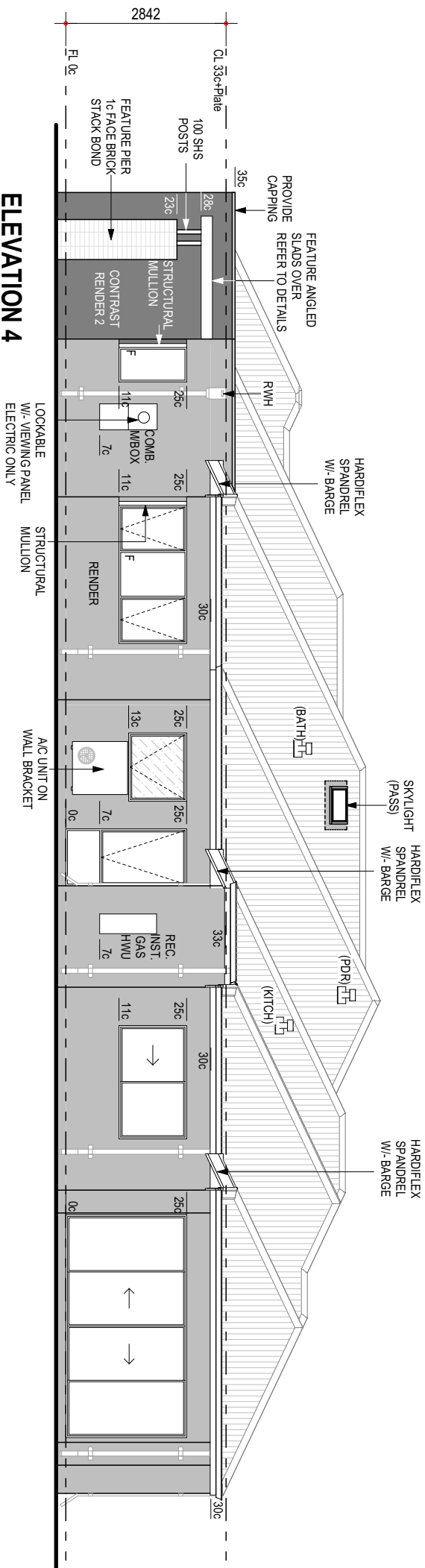
- **COLORBOND** ROOF, PITCH AT 25° W- 500W EAVES UNO
- STEEL ROOF IN ACCORDANCE TO NASH STANDARD
- CEILINGS AT 33c + PLATE UNLESS NOTED OTHERWISE

WINDOW SUPPLIER NOTE

- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288



ELEVATION 3



ELEVATION 4

DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions
& notes prior to initiating works.
Any discrepancies to be notified to the
Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

BUILDER: _____ / /

CLIENT(S): _____ / /

_____ / /

WITNESS: _____ / /

PROPOSED RESIDENCE FOR:
BAJAJ
ADDRESS:
LOT 314 (#9) STAGG COURT,
KARDINYA.

DRAWN: WWW **SCALE:** 1:100
DESIGNED: ALU **SHEET:** 15 OF 19
CHECKED: DM **SIZE:** A3
DATE: 05.12.2019 **PROJECTS**
MODEL: JOB N°
SPECIALS 156636

Issue Name	Drawn	Date	Issue Name	Drawn	Date
ENG.	WW	17/12/19	V004	DMA	05/05/20
AMEND.	WW	24/02/19	JEL	DMA	06/05/20
V002	WW	30/03/20	V007	DMA	11/05/20
V001	DMA	14/04/20	JW	DM	26/05/20
V004	DMA	20/04/20			
V003	DMA	28/04/20			
V004	DMA				

BUILT AROUND PEOPLE

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ALL DIMENSIONS TO BRICKWORK.

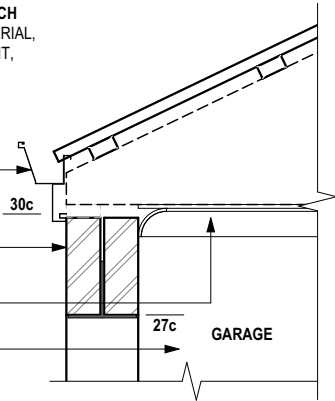
REFER TO PLANS FOR ROOF PITCH
REFER TO ELEVATION FOR MATERIAL,
BATTEN SIZE & SPACINGS TO SUIT,
ON RAFTER

GUTTER & FASCIA

T-BAR WITH BRICKWORK
AND WALL PLATE OVER

P'BOARD
ON STEEL FRAME

BRICK PIER



D1 - GARAGE W/- NO EAVES & P'BOARD CEILING - T-BAR OVER

NOTES:

- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
- SCALE 1 : 20

REFER TO PLANS FOR ROOF PITCH
REFER TO ELEVATION FOR MATERIAL,
BATTEN SIZE & SPACINGS TO SUIT
ROOF TRUSS

PLASTERBOARD LINING
ON STEEL FRAMING

RHS W/-
FRAMING
OVER

HARDIFLEX LINING
ON STEEL FRAMING

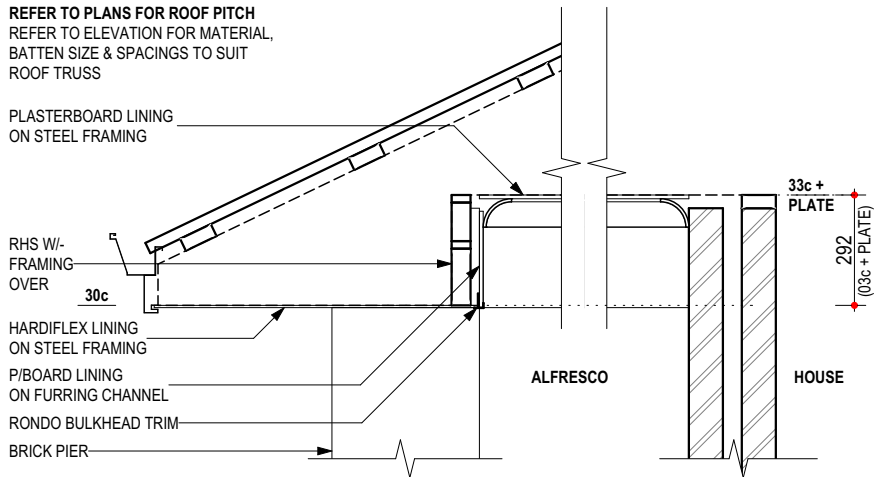
P/BOARD LINING
ON FURRING CHANNEL

RONDO BULKHEAD TRIM

BRICK PIER

ALFRESCO

33c +
PLATE
292
(03c + PLATE)
HOUSE



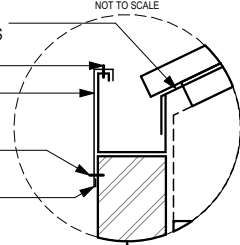
D3 - 3c RECESSED CEILING TO ALFRESCO

NOTES:

- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
- SCALE 1 : 20

FIRE FLASHING / CAPPING
WITH MECHANICAL FIXINGS
POP RIVET
FLASHING

WALL PLUG 5mm
ABOVE SAFE EDGE
SAFE EDGE



REFER TO PLANS FOR ROOF PITCH
REFER TO ELEVATION FOR MATERIAL,
BATTEN SIZE & SPACINGS TO SUIT
ROOF TRUSS

FLASHING/CAPPING
FOR FIRE BARRIER TO B'DRY
SEE DETAIL ABOVE

NON-COMBUSTIBLE
SQUARELINE GUTTER

FLASHING REFER
DETAIL ABOVE

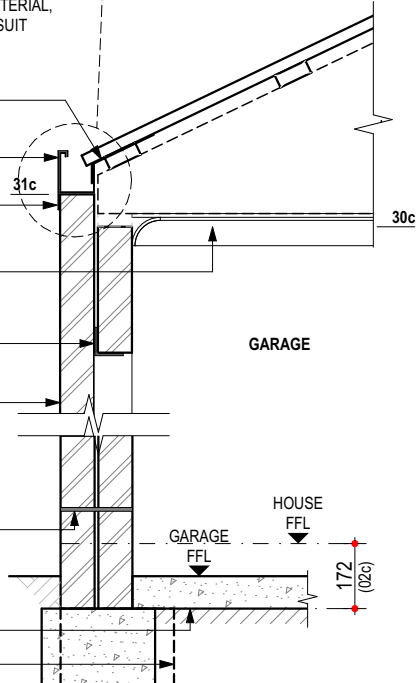
P'BOARD
ON STEEL FRAME

SEE BRICKLAYER
NOTE ON FLOOR PLAN
FOR LINTEL HEIGHT

SINGLE SKIN W/-
ATTACHED PIER

FLEXIBLE PHYSICAL
TREATMENT

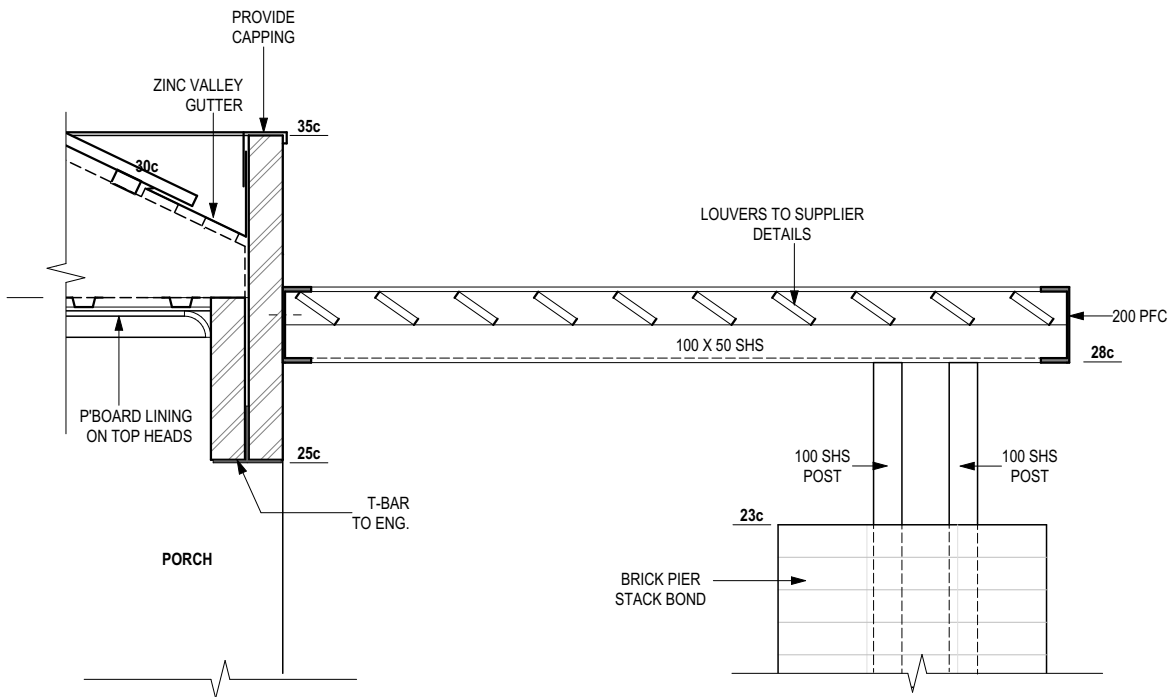
CHEMICAL TREATMENT
ADJUST FOOTING TO SUIT
B'DRY WHERE REQUIRED



D2 - GUTTER ON WALL/FLASHING DETAIL TO GARAGE W/- TERMITE TREATMENT

NOTES:

- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
- SCALE 1 : 20



D4 - VERGOLA DETAIL

NOTES:

- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
- SCALE 1 : 20

BUILDER:	_____
CLIENT(S):	_____
WITNESS:	_____

PROPOSED RESIDENCE FOR:
BAJAJ

ADDRESS:
LOT 314 (#9) STAGG COURT,
KARDINYA.

DRAWN: WW
DESIGNED: ALI
CHECKED: DM
DATE: 05.12.2019
MODEL:
SPECIALS

SCALE: AS NOTED
SHEET: 16 OF 19
SIZE: A3
PROJECTS
JOB N°
156636

Issue Name	Drawn	Date	Issue Name	Drawn	Date
ENG. AMEND.	WW	17/12/19	V004 DMA	JEL	05/05/20
V002 WW	24/02/19	V007 DMA	JW	06/05/20	
V001 WW	30/03/20			DM	26/05/20
V004 DMA	14/04/20				
V003 DMA	20/04/20				
V004 DMA	28/04/20				

U2 DETAILS



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Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

REFER TO ADDENDUM FOR FITOUT SPECIFICATION
WET AREAS CONSTRUCTED IN ACCORDANCE WITH
PART 3.8.1 OF B.C.A. (VOL 2)

BENCHTOP NOTE

- LOCATION OF JOINTS TO BENCHTOPS TO BE AT CABINET
MAKERS/STONE MASON'S DISCRETION

WALL FINISH NOTE

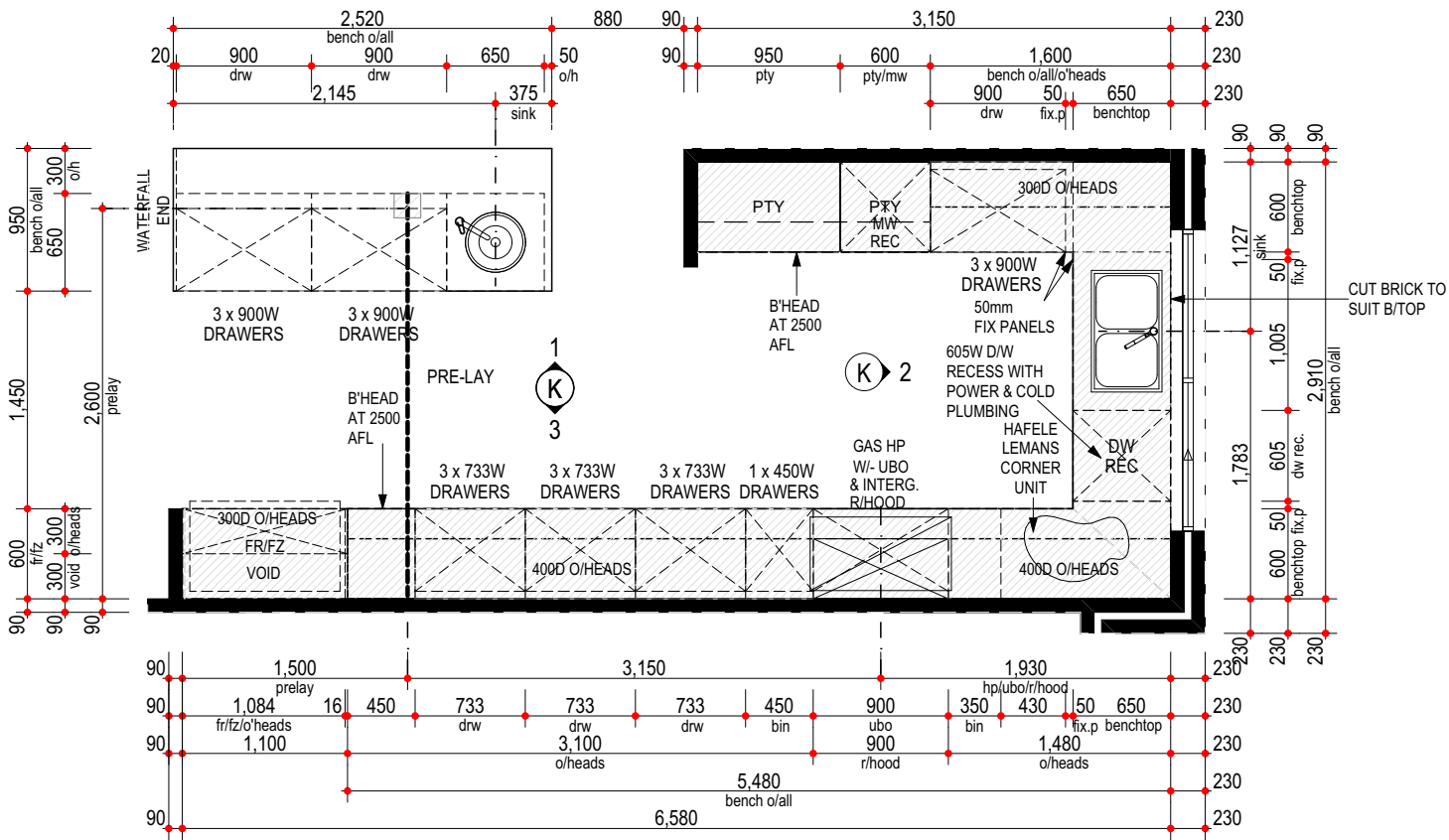
- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES
WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL
FINISHES

CABINETMAKER NOTE

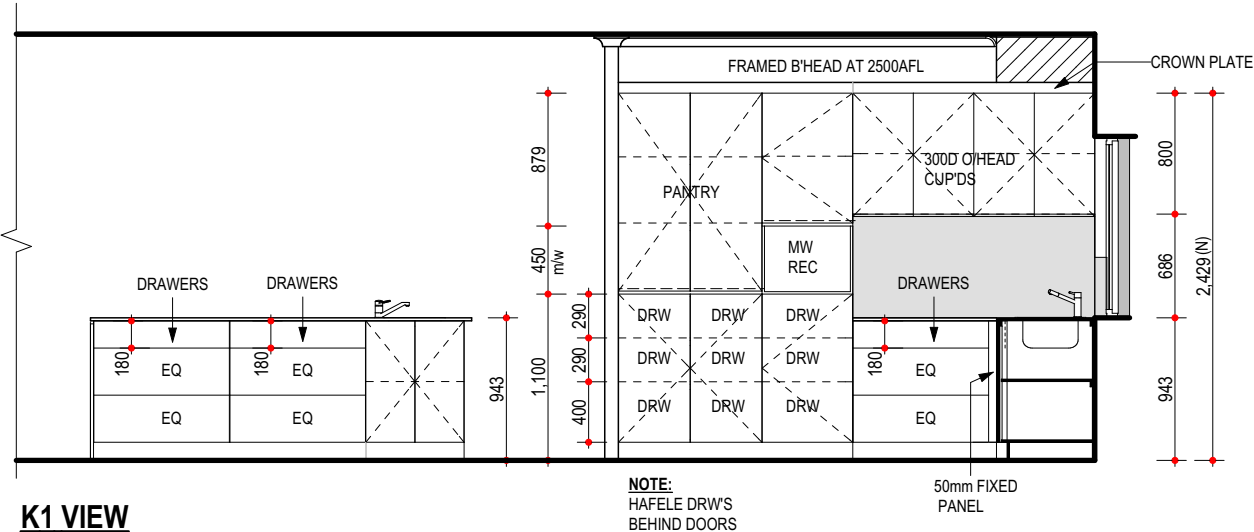
- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

TILER NOTE

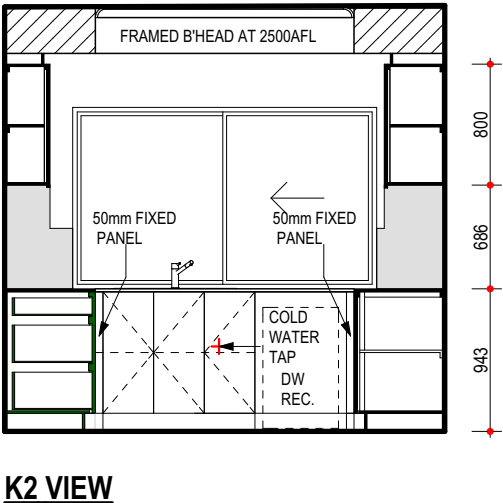
- SHADING DENOTES EXTENT OF TILING
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE
SELECTION SHEET
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT
OF WORKS TO VERIFY LOCATION OF TILES



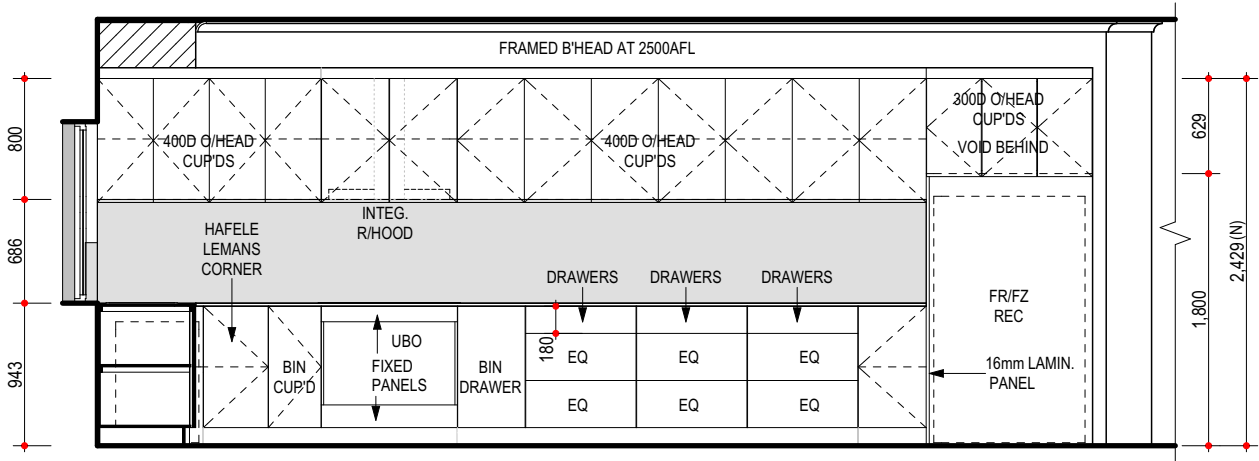
KITCHEN PLAN



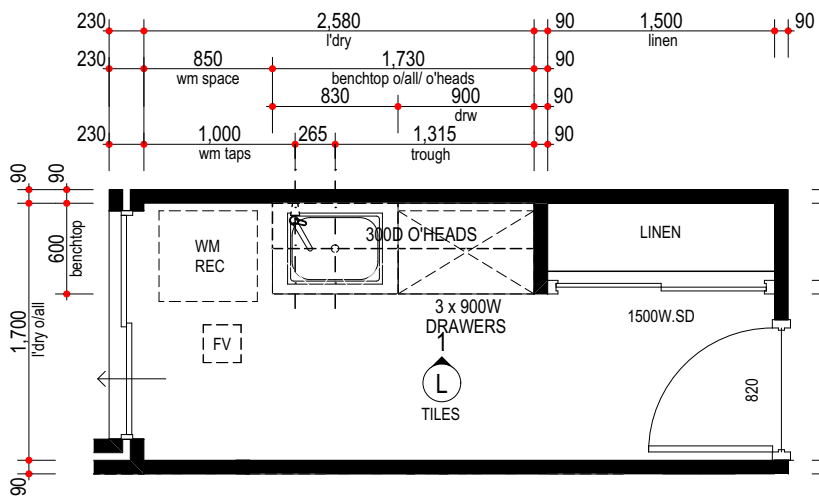
K1 VIEW



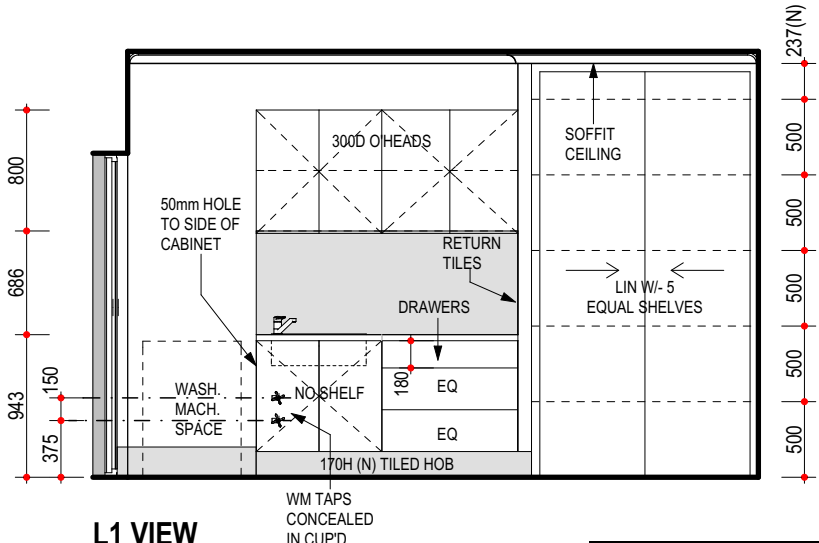
K2 VIEW



K3 VIEW



L'DRY PLAN



L1 VIEW

PROPOSED RESIDENCE FOR:
BAJAJ

ADDRESS:
LOT 314 (#9) STAGG COURT,
KARDINYA.

DRAWN: WW
DESIGNED: ALI
CHECKED: DM
DATE: 05.12.2019
MODEL:
SPECIALS

SCALE: 1:50
SHEET: 17 OF 19
SIZE: A3
PROJECTS
JOB N°
I56636

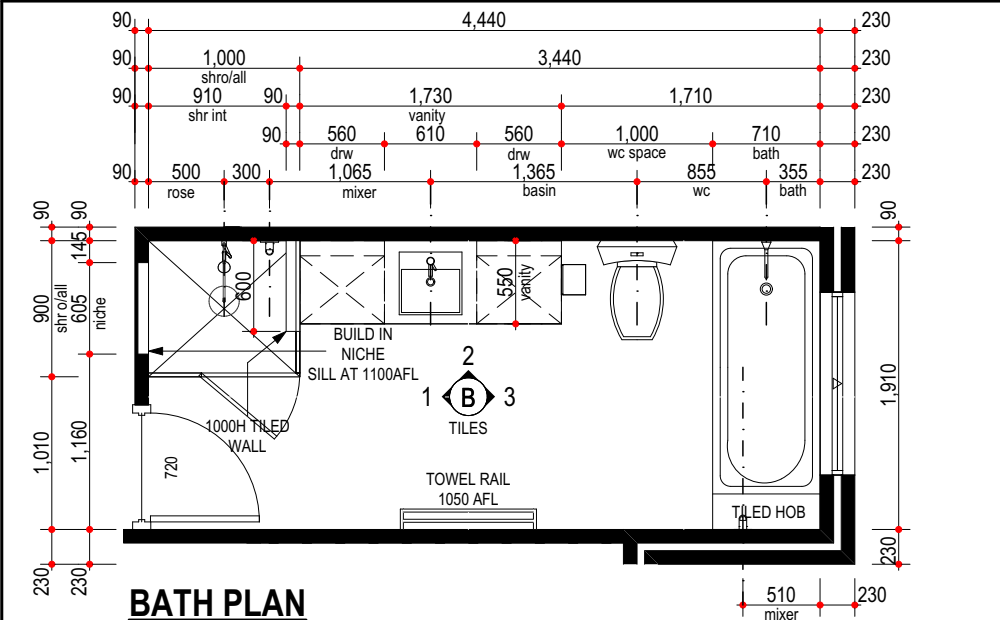
Issue Name	Drawn	Date	Issue Name	Drawn	Date
ENG. AMEND.	WW	17/12/19	V004	DMA	05/05/20
V002	WW	24/02/19	JEL	DMA	06/05/20
V001	WW	30/03/20	V007	DMA	11/05/20
V004	DMA	14/04/20	JW	DM	26/05/20
V003	DMA	20/04/20			
V004	DMA	28/04/20			

U2 ROOM LAYOUTS

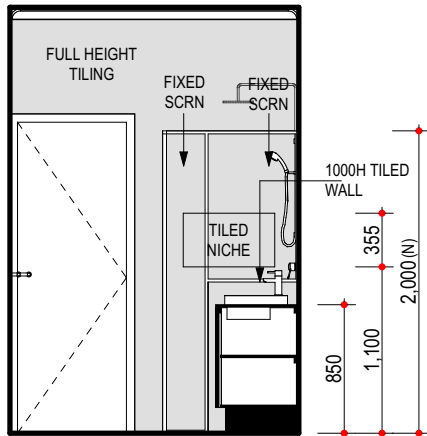


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BATH PLAN



B1 VIEW

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Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

REFER TO ADDENDUM FOR FITOUT SPECIFICATION

WET AREAS CONSTRUCTED IN ACCORDANCE WITH
PART 3.8.1 OF B.C.A. (VOL 2)

BENCHTOP NOTE

- LOCATION OF JOINTS TO BENCHTOPS TO BE AT CABINET
MAKERS/STONE MASON'S DISCRETION

WALL FINISH NOTE

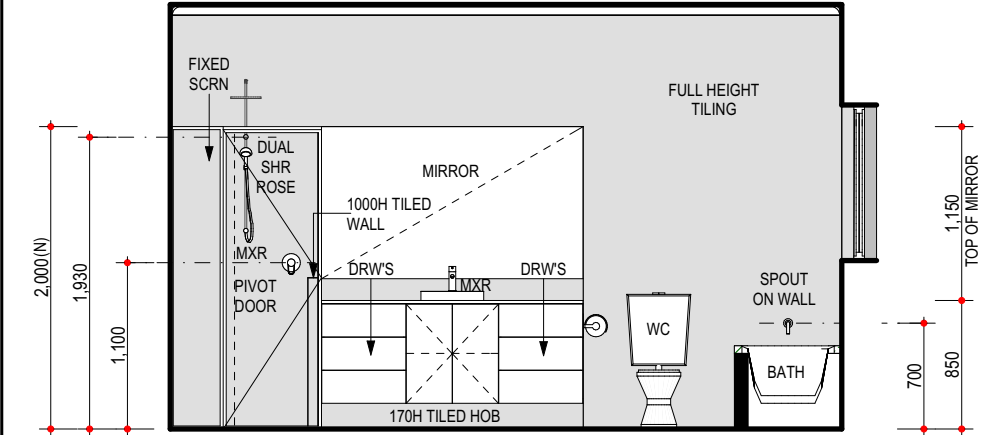
- DIMENSIONS SHOWN ON PLAN ARE TO BWORK ONLY, SIZES
WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL
FINISHES

CABINETMAKER NOTE

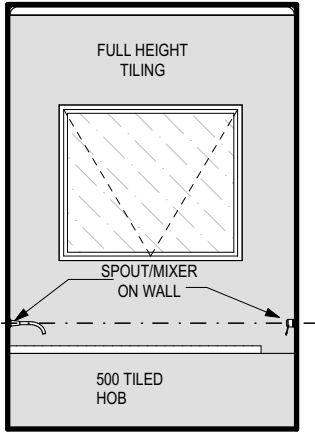
- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

TILER NOTE

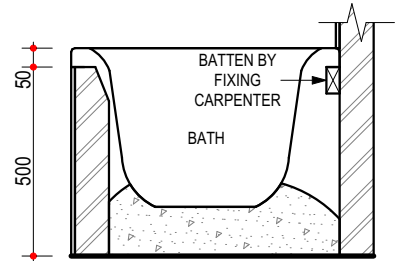
- SHADING DENOTES EXTENT OF TILING
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE
SELECTION SHEET
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT
OF WORKS TO VERIFY LOCATION OF TILES
- MITRED TILES TO SHR AND BATH RECESS TO BATHROOM
AND ENS..



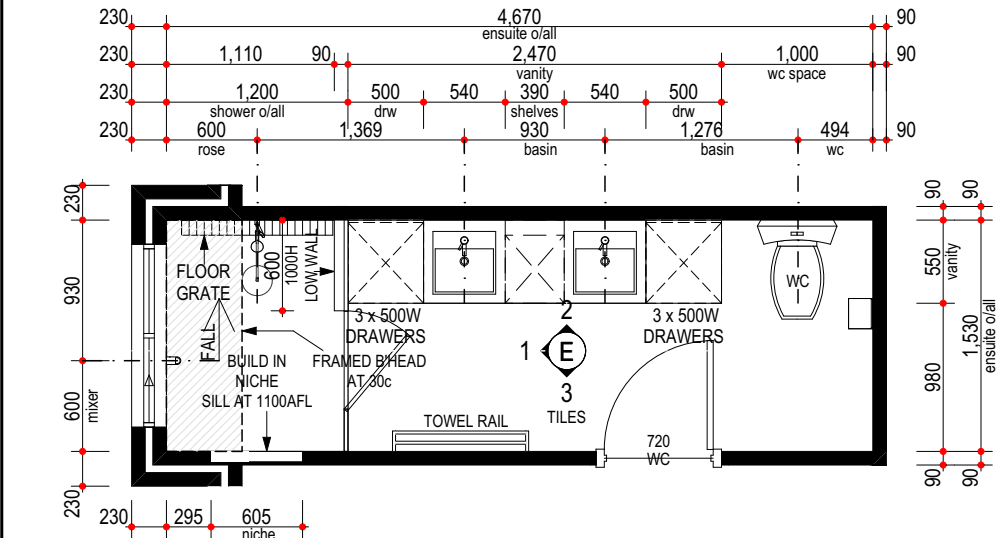
B2 VIEW



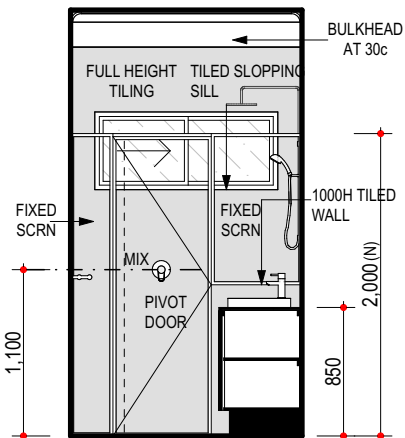
B3 VIEW



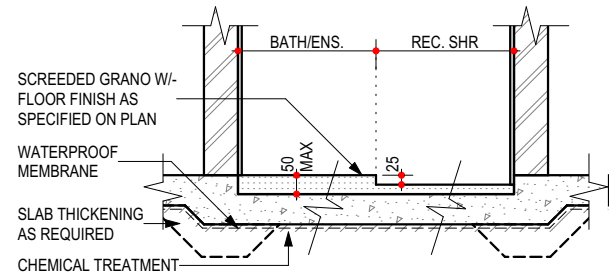
TYPICAL BATH HOB SECTION
- SCALE 1 : 20



ENSUITE PLAN



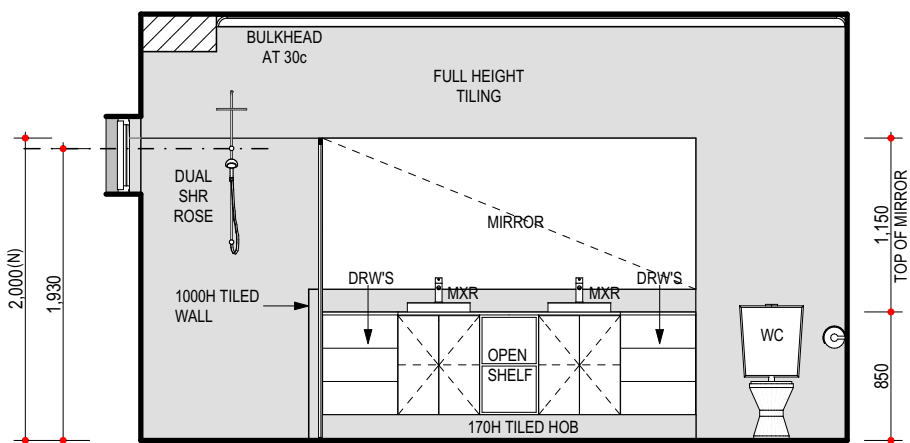
E1 VIEW



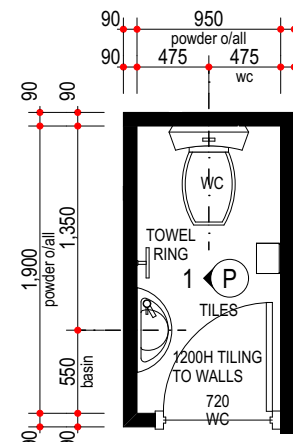
RECESSED SHOWER DETAIL (NO HOB)

NOTES:

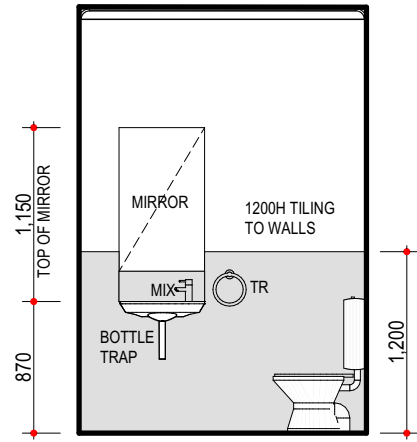
- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- SCALE 1 : 20



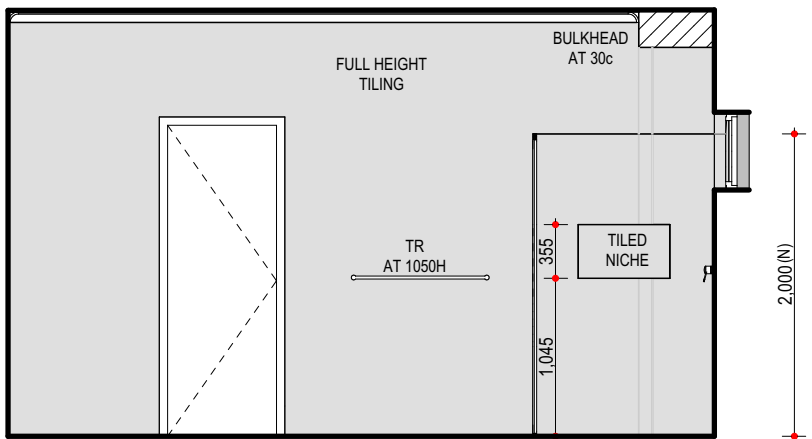
E2 VIEW



PDR PLAN



P1 VIEW



E3 VIEW

WITNESS: _____

CLIENT(S): _____

BUILDER: _____

PROPOSED RESIDENCE FOR:
BAJAJ

ADDRESS:
LOT 314 (#9) STAGG COURT,
KARDINYA.

DRAWN: WW
DESIGNED: ALI
CHECKED: DM
DATE: 05.12.2019
MODEL: SPECIALS

SCALE: 1:50
SHEET: 18 OF 19
SIZE: A3
PROJECTS
JOB N° 156636

Issue Name	Drawn	Date	Issue Name	Drawn	Date
ENG. AMEND.	WW	17/12/19	V004	DMA	05/05/20
V002	WW	24/02/19	JEL	DMA	06/05/20
V001	WW	30/03/20	V007	DMA	11/05/20
V004	DMA	14/04/20	JW	DM	26/05/20
V003	DMA	20/04/20			
V004	DMA	28/04/20			

U2 ROOM LAYOUTS



ELECTRICAL LEGEND

Ground Floor				Insulation
Qty	Sym.	Description	Watts	Penetrations
10		EXTERNAL WALL LIGHT @ 2000 AFL Perimeter Lighting	110*	*
1		EXTERNAL RECESSED LED DOWN-LIGHT (11w) Perimeter Lighting	7*	*
1		CEILING LIGHT (11w) Class 10	11*	*
4		EXTERNAL RECESSED LED DOWN-LIGHT (11w) Class 1 Alfresco	28*	*
1		CEILING LIGHT (11w) Class 1 Alfresco	11*	*
41		RECESSED LED DOWN-LIGHT (7w)	287	
1		PLUG BASE IN CEILING SPACE	0	
1		MOTION SENSOR	0	
2		H.WIRED SMOKE DETECTOR	0	
2		EXHAUST FAN	0	0.090
6		CEILING LIGHT (11w)	66	
1		4x HEATER/FAN/LIGHT (7w)	7	
2		3 WAY SWITCH	0	
1		2x HEATER/FAN/LIGHT (7w)	7	
1		2 WAY SWITCH	0	
1		W/P SGPO INSTALLED IN HWU	0	
1		SINGLE WATER PROOF GPO	0	
2		SINGLE GPO IN/ON CEILING	0	
6		SINGLE GPO @ NOTED HT	0	
1		NBN LEAD IN CONDUIT (25mm) W/- BLANK FACE PLATE AT 1500 AFL	0	
2		DOUBLE WATER PROOF GPO	0	
18		DOUBLE GPO @ NOTED HT	0	
9		DOUBLE GPO @ 200 AFL	0	
1		DOUBLE GPO @ 1500 AFL W/ 20mm CONDUIT FOR PSU CONNECTION	0	
1		CONDUIT FOR NBN (25mm)	0	
4		CONDUIT 20mm	0	
2		CONDUIT (32mm)	0	
1		D2 (2x DATA/PHONE) FOR NBN PROVISION @ 1500 AFL	0	
1		C1 (TV) + D2 (PH/DATA) @700 AFL	0	
1		C1 (TV) + CONDUIT BY O.N.C	0	

NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. Subtotal: 367 0.090
PERIMETER LIGHTING MIN. 40 LUMENS/W.
Total Class 1 Wattage= 367

LIGHT AND VENTILATION CALC.

Room Name	Opn %	Light	Vent.
6 STUDY			
Min. Ventilation = 0.41 Min. Light= 0.55 Total Area= 5.53			
W16 Awning	46 %	2.35 m2	1.09 m2
W15 Fixed	0 %	0.91 m2	0.00 m2
Totals		Light 3.26 m2	Vent 1.09 m2
5 BED 3			
Min. Ventilation = 0.83 Min. Light= 1.11 Total Area= 11.12			
W14 Awning	86 %	1.32 m2	1.14 m2
W13 Awning	63 %	3.12 m2	1.96 m2
Totals		Light 4.44 m2	Vent 3.10 m2
4 BED 2			
Min. Ventilation = 0.87 Min. Light= 1.16 Total Area= 11.56			
W11 Awning	72 %	2.16 m2	1.56 m2
Totals		Light 2.16 m2	Vent 1.56 m2
3 SCULL. LIVING KITCHEN DINING			
Min. Ventilation = 4.82 Min. Light= 6.42 Total Area= 64.24			
W10 Awning	50 %	2.65 m2	1.33 m2
W09 Sliding Door	50 %	8.47 m2	4.24 m2
W08 Awning	63 %	2.57 m2	1.62 m2
W07 Fixed	0 %	1.71 m2	0.00 m2
W06 Awning	48 %	6.02 m2	2.89 m2
Totals		Light 21.43 m2	Vent 10.07 m2
2 THEATRE			
Min. Ventilation = 1.20 Min. Light= 1.60 Total Area= 15.95			
W05 Sliding	36 %	4.95 m2	1.78 m2
W04 Sliding	36 %	4.95 m2	1.78 m2
1 BED 1			
Min. Ventilation = 1.33 Min. Light= 1.77 Total Area= 17.72			
W01 Awning	67 %	3.73 m2	2.49 m2
Totals		Light 3.73 m2	Vent 2.49 m2

Inputs for Airmovement and Light are Valid

WITNESS:	CLIENT(S):	BUILDER:



PROPOSED RESIDENCE FOR:
BAJAJ

ADDRESS:
LOT 314 (#9) STAGG COURT,
KARDINYA.

Wattage Calculations (Class 1)			
Story Name	Area	Allowed Wattage	Actual Wattage
0 Ground Floor	179.86 Sqm	899 w	367 w
	179.86 sqm	899 w	367 w PASS

Recessed Fitting Penetrations (Class 1)			
Story Name	Area	Maximum Penetrations	Actual Penetrations
Total Insulation Area	179.86 sqm	0.899 sqm	0.090 sqm
VentisIRangeHoods			0.093 Sqm
	179.86 sqm	0.899 sqm	0.183 sqm PASS
	0.10 % R4.0 Insulation Adjustment Not Required		

CLIENT NOTE: MAX WATTAGE AND PENETRATIONS MUST NOT BE EXCEEDED

DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions
& notes prior to initiating works. Any
discrepancies to be notified to the Site
Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO AS3786-2014
- FINAL POSITION OF ELECTRICAL ITEMS SUCH AS GPO'S, LIGHT SWITCHES ETC. MAY VARY ON SITE DUE TO ELECTRICAL REGULATIONS. LIGHT SWITCH HEIGHT TO BE AT 1200 AFL U.N.O.
- NEUTRAL CABLING REQUIRED TO ALL LIGHT SWITCHES.
- ALL EXHAUST FANS TO BE FLUED TO EXTERNAL AIR
- PROVIDE LOCKABLE M/BOX WITH VIEWING PANEL TO ELECTRIC M/BOX ONLY, GAS M/BOX TO REMAIN UNLOCKED

TV ANTENNA NOTE

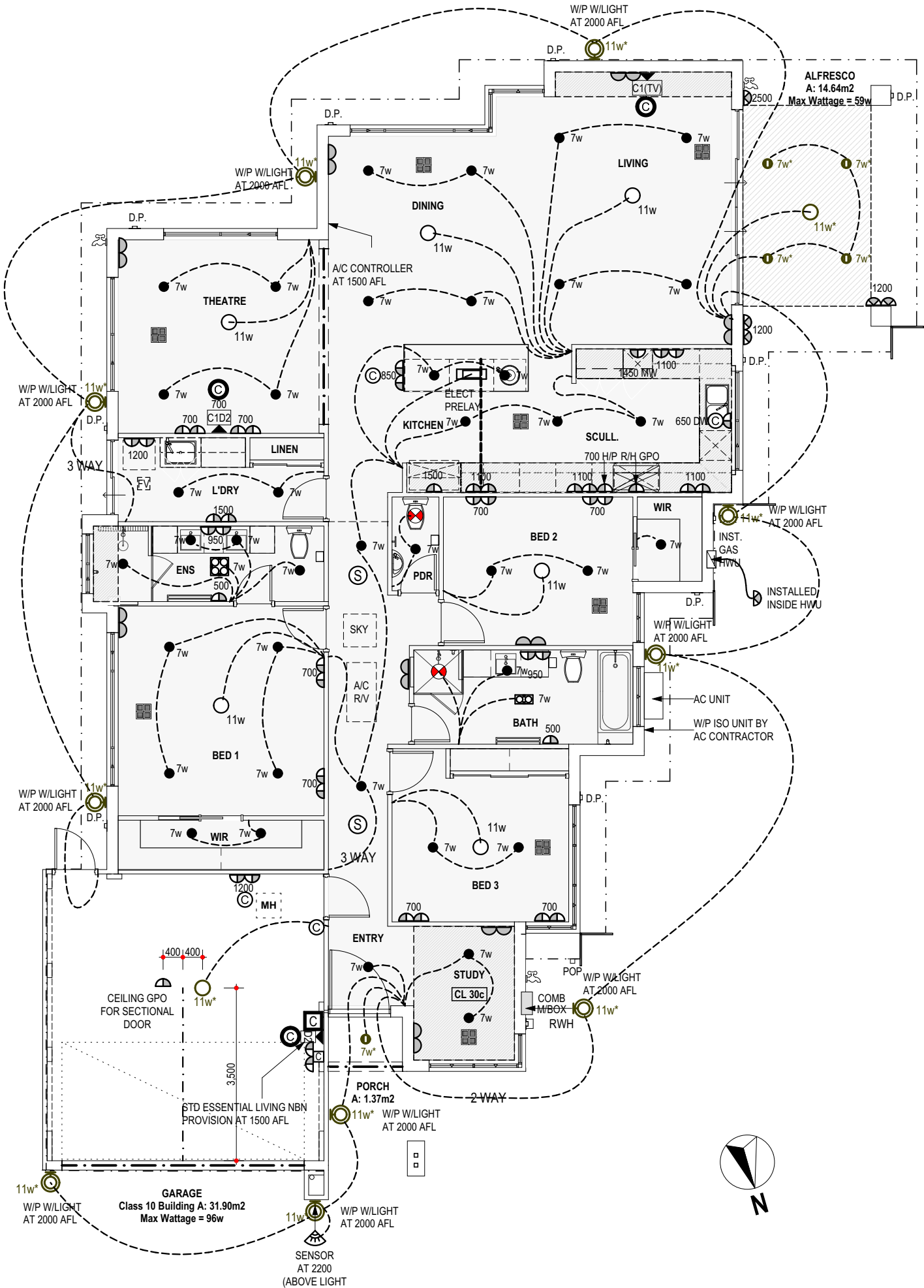
- PROVIDE TV ANTENNA AS PER ADDENDA

AIRCON NOTE

- PROVIDE DUCTED REVERSE CYCLE AIR CONDITIONING.
- OUTLET POSITIONS TO BE CONFIRM BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

CLIENT / PRESTART NOTE

- CLIENT TO CONFIRM W/- ADMINISTRATOR POSITIONING OF ALL TV, PHONE AND ROOM GPO POSITIONS.



DRAWN: WW SCALE: 1:100
DESIGNED: ALI SHEET: 19 OF 19
CHECKED: DM SIZE: A3
DATE: 05.12.2019 PROJECTS
MODEL: JOB N°
SPECIALS I56636

Issue Name	Drawn	Date	Issue Name	Drawn	Date
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V004	DMA	14/04/20	JW	DM	26/05/20
V003	DMA	20/04/20			
V004	DMA	28/04/20			

U2 ELECTRICAL/BCA PLAN



SUMMIT
HOMES GROUP

BUILD | RENOVATE | DEVELOP