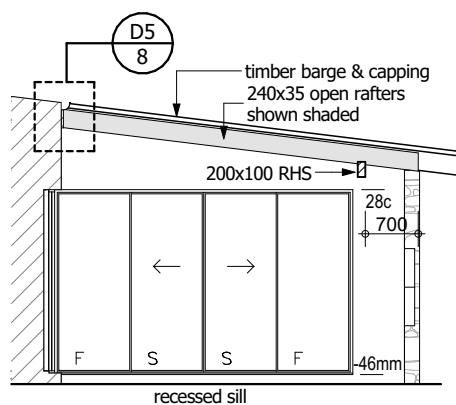
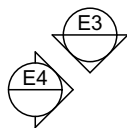


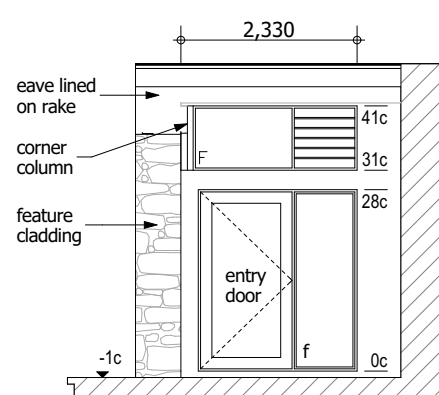
1. 450w SHELF & RAIL TO ROBES & WIR TO BE 1700af1.
2. 4x450w (U.O.N.) SHELVES TO PANTRY, LINEN TO BE 500, 900, 1300 & 1700af1.

1. GARAGE & FREESTANDING EXTERNAL BRICK  
PIER FOOTINGS TO BE AT -3c U.O.N.

**IN-SLAB FLOOR HEATING REFER TO  
GROUND SLAB PLAN FOR EXTENT.**



### E5 ELEVATION

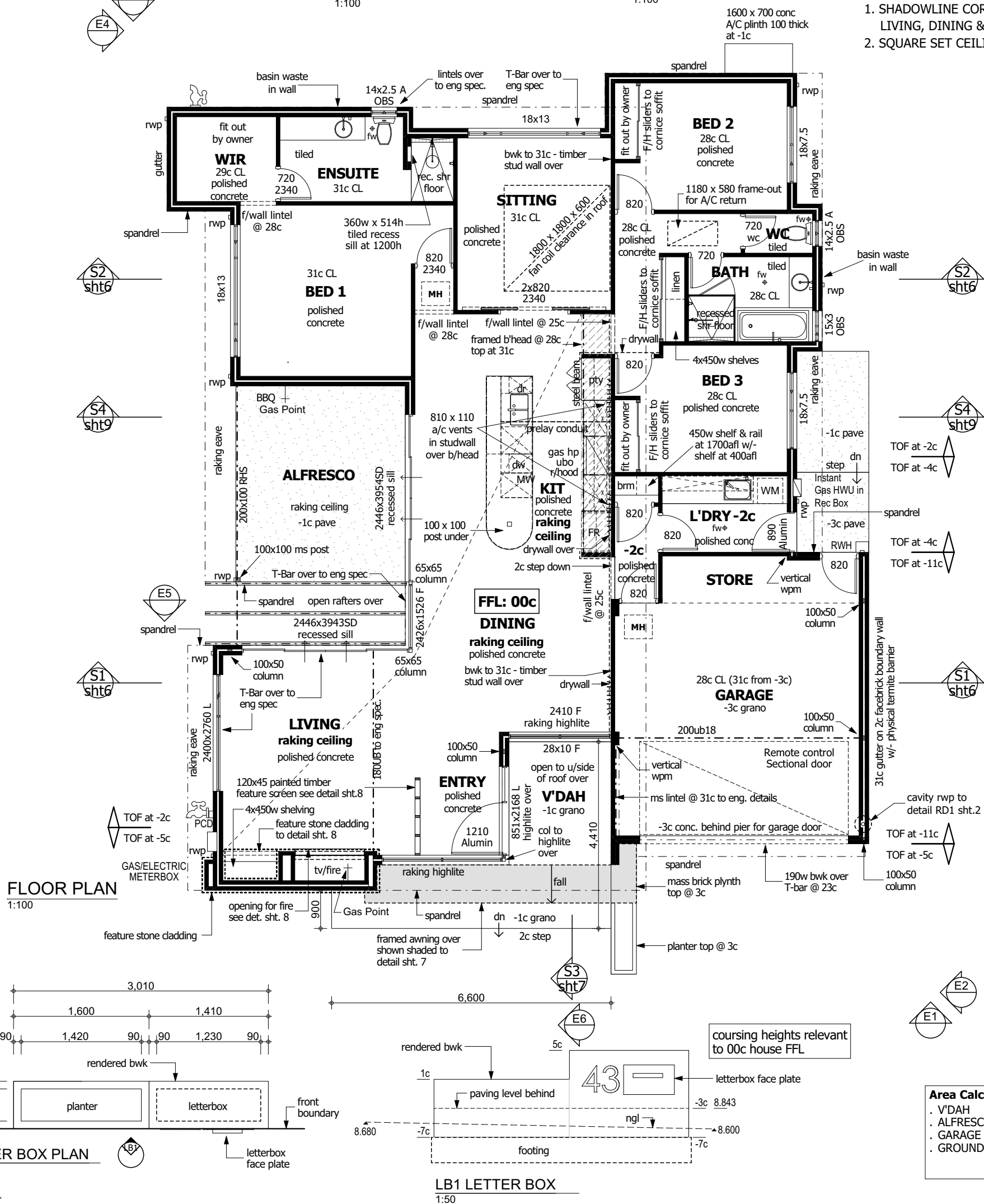


## E6 ELEVATION

RENDERED BRICKWORK.  
COLORBOND ROOF.  
R4.1 CEILING INSULATION TO INTERNAL  
CEILINGS & GARAGE ONLY.  
N? WIND REGION.  
RWP POSITIONS SHOWN ARE APPROX  
AND ARE POSITIONED AT THE ROOF  
PLUMBERS DISCRETION.

**NOTE:**  
Site measure raking windows  
prior to manufacture.

1. SHADOWLINE CORNICE TO ENTRY, LIVING, DINING & KITCHEN.
2. SQUARE SET CEILING TO LAUNDRY.



© copyright



PROPOSED RESIDENCE ADDRESS:  
STRATA LOT 1 (#43) CNR EWEN ST & OSTEND RD  
SCARBOROUGH  
FOR:  
J PEERS

SIGNATURES:

OWNER: \_\_\_\_\_

OWNER: \_\_\_\_\_

BUILDER: \_\_\_\_\_

DATE: \_\_\_\_\_

AMENDMENTS:

10/12/19	RS	DA Adjustments
10/2/20	GM	PSVO 1, A/C , windows
17/2/20	GM	Distribution board amend
20/2/20	GM	in-floor heating & heated towel rail
3/3/20	GM	amendments
9/3/20	GM	tiling amend
17/3/20	GM	amendments
27/3/20	GM	amendments
28/5/20	GM	dimmers added
8/6/20	GM	elec amend & tiled recess
22/7/20	GM	gpo's added
21/8/20	GM	gpo moved

Custom

SHEET: 1 OF 14

DRN:	RS
------	----

DATE: 19/11/19

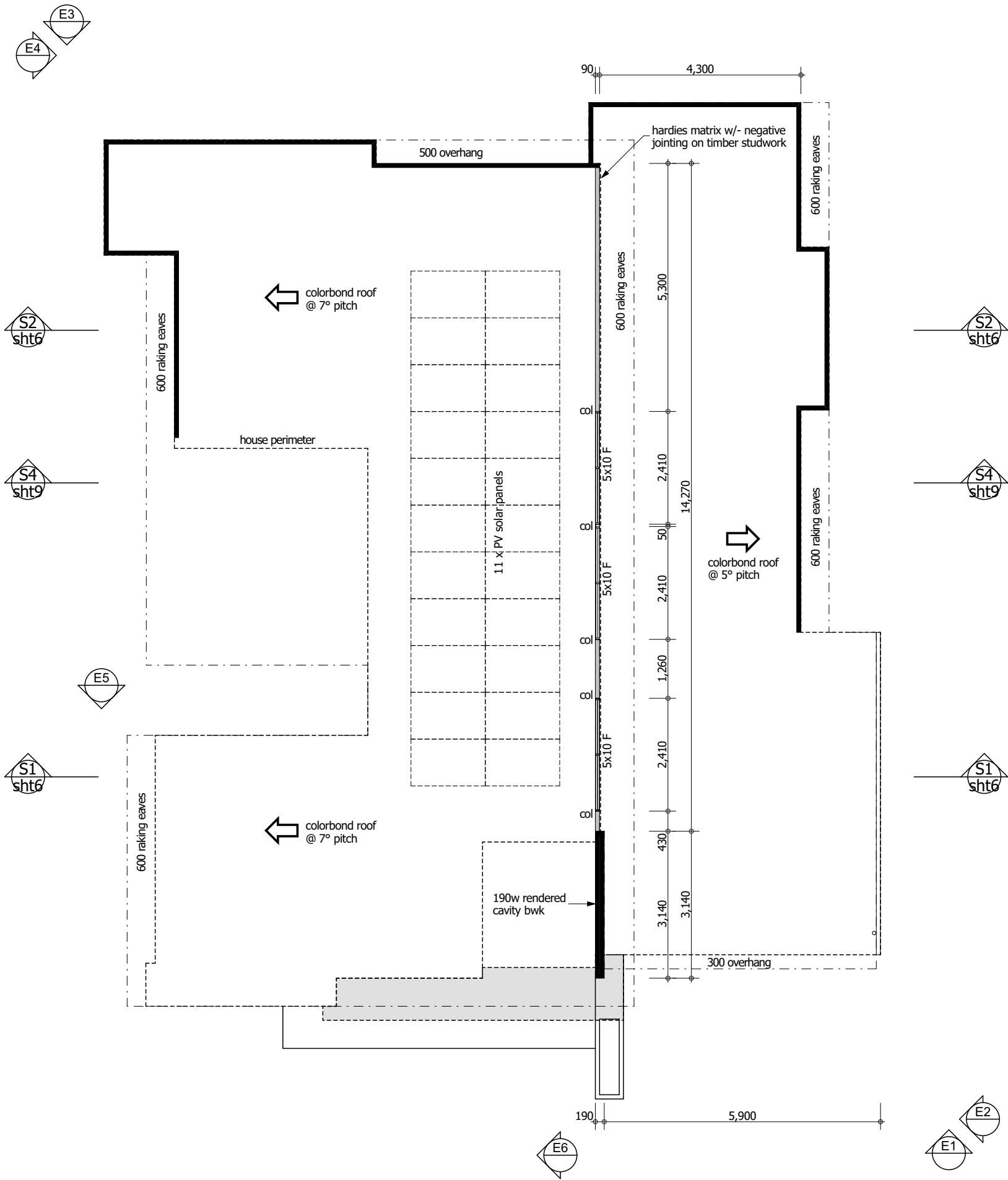
SCALE:1:100, 1:1, 1:50

CONTRACT NO:
--------------

19018


21/8/20	GM	gpo moved	
F:\OneDrive\COAST HOMES JOBS\19018 Peers\D - Prestart Drawings\19018 Peers - Prestart Drawings V23.pln			



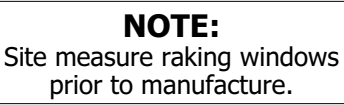


HIGHLITE SETOUT PLAN  
1:100

© copyright

	PROPOSED RESIDENCE ADDRESS:	SIGNATURES:		AMENDMENTS:		Custom
	STRATA LOT 1 (#43) CNR EWEN ST & OSTEND RD	OWNER: _____	10/12/19	RS	DA Adjustments	SHEET: 3 OF 14
	SCARBOROUGH		10/2/20	GM	PSVO 1, A/C, windows	
	FOR:	OWNER: _____	17/2/20	GM	Distribution board amend	DRN: RS
	J PEERS		20/2/20	GM	in-floor heating & heated towel rail	
		BUILDER: _____	3/3/20	GM	amendments	DATE: 19/11/19
			9/3/20	GM	tiling amend	
	DATE: _____	17/3/20	GM	amendments	SCALE:1:100	
		27/3/20	GM	amendments		
		28/5/20	GM	dimmers added		CONTRACT NO:
		8/6/20	GM	elec amend & tiled recess		
		22/7/20	GM	gpo's added		
		21/8/20	GM	gpo moved		

RENDERED BRICKWORK.  
COLORBOND ROOF.  
R4.1 CEILING INSULATION TO INTERNAL  
CEILINGS & GARAGE ONLY.  
N? WIND REGION.  
RWP POSITIONS SHOWN ARE APPROX  
AND ARE POSITIONED AT THE ROOF  
PLUMBERS DISCRETION.



# E1 ELEVATION



SIGNATURES:	
OWNER:	_____
OWNER:	_____
BUILDER:	_____
DATE:	_____

AMENDMENTS:		
10/12/19	RS	DA Adjustments
10/2/20	GM	PSVO 1, A/C , windows
17/2/20	GM	Distribution board amend
20/2/20	GM	in-floor heating & heated towel rail
3/3/20	GM	amendments
9/3/20	GM	tiling amend
17/3/20	GM	amendments
27/3/20	GM	amendments
28/5/20	GM	dimmers added
8/6/20	GM	elec amend & tiled recess
22/7/20	GM	gpo's added
21/8/20	GM	gpo moved

Custom
SHEET: 4 OF 14
DRN: RS
DATE: 19/11/19
SCALE:1:100
CONTRACT NO: 19018



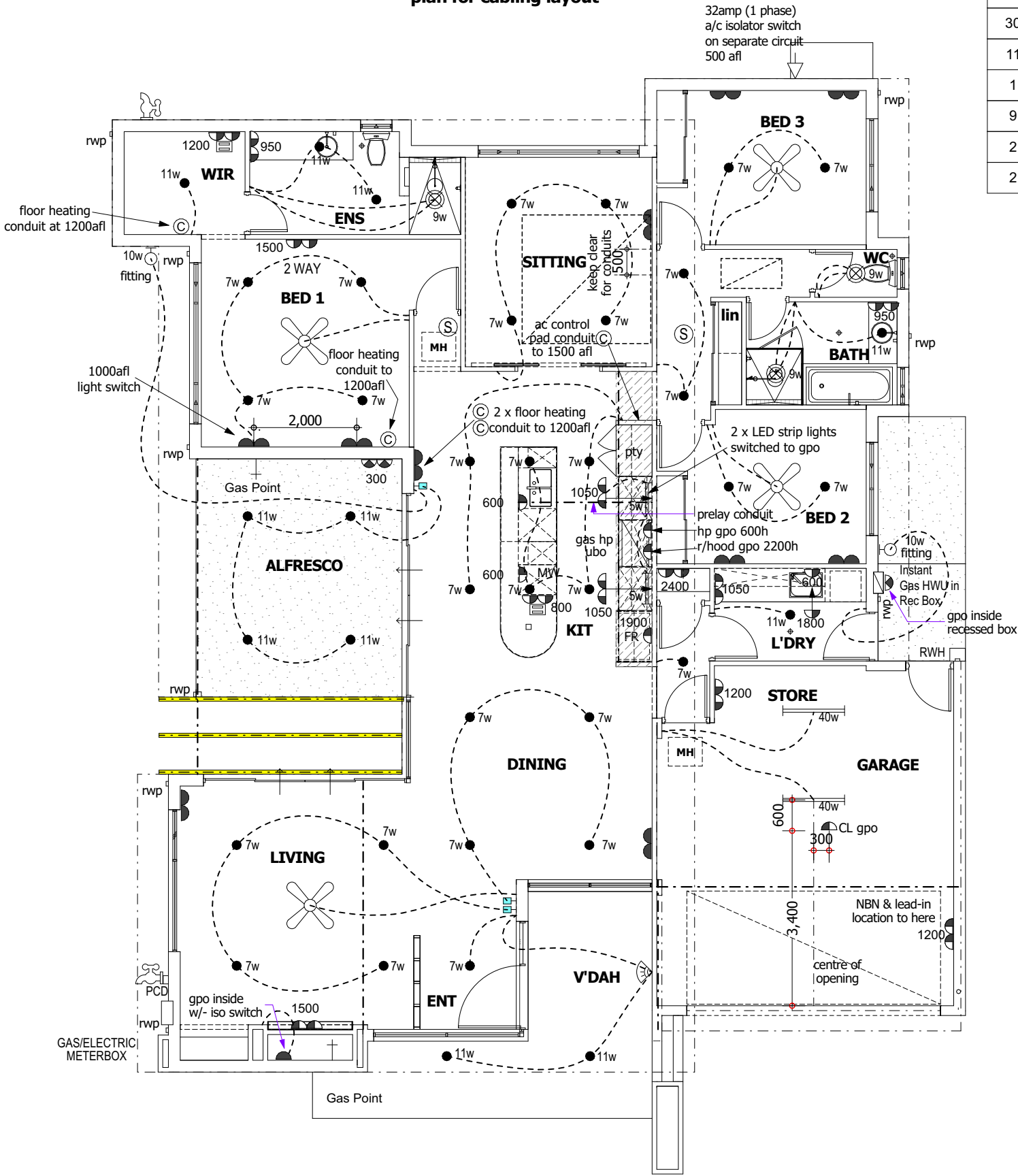
ELECTRICIAN/CLIENT NOTE

NOTE ALL POSITIONS OF POWER POINTS  
& LIGHTS ON PLAN ARE APPROXIMATE ONLY.

LIGHT SWITCH PLATES TO BE 1200 ABOVE  
FLOOR LEVEL UNLESS OTHERWISE NOTED.

ELECTRICAL LEGEND		
No.	SYMB...	TYPE
1	2 WAY	2 WAY SWITCH
4		Ceiling Fan
5		CONDUIT (25mm) w/- Draw Wire
3		DIMMER SWITCH
10		DOUBLE GPO @ 300 AFL
10		DOUBLE GPO @ NOTED HT
2		DOUBLE GPO @ NOTED HT W/USB
1		DOUBLE WATER PROOF GPO
3		Fan/Light Combo ( 9w)
2		H.WIRED SMOKE DETECTOR
1		ISOLATION SWITCH
2		LED STRIP LIGHT
1		MOTION SENSOR
30		RECESSED LED DOWN-LIGHT ( 7w)
11		RECESSED LED DOWN-LIGHT (11w)
1		SINGLE GPO @ 300 AFL
9		SINGLE GPO @ NOTED HT
2		Slimline Batten LED
2		UP-DOWN LIGHT LED (10w)

Refer to Intelligent Homes  
plan for cabling layout



ELECTRICAL PLAN  
1:100

© copyright



PROPOSED RESIDENCE ADDRESS:  
STRATA LOT 1 (#43) CNR EWEN ST & OSTEND RD  
SCARBOROUGH  
FOR:  
J PEERS

SIGNATURES:  
OWNER: \_\_\_\_\_  
OWNER: \_\_\_\_\_  
BUILDER: \_\_\_\_\_  
DATE: \_\_\_\_\_

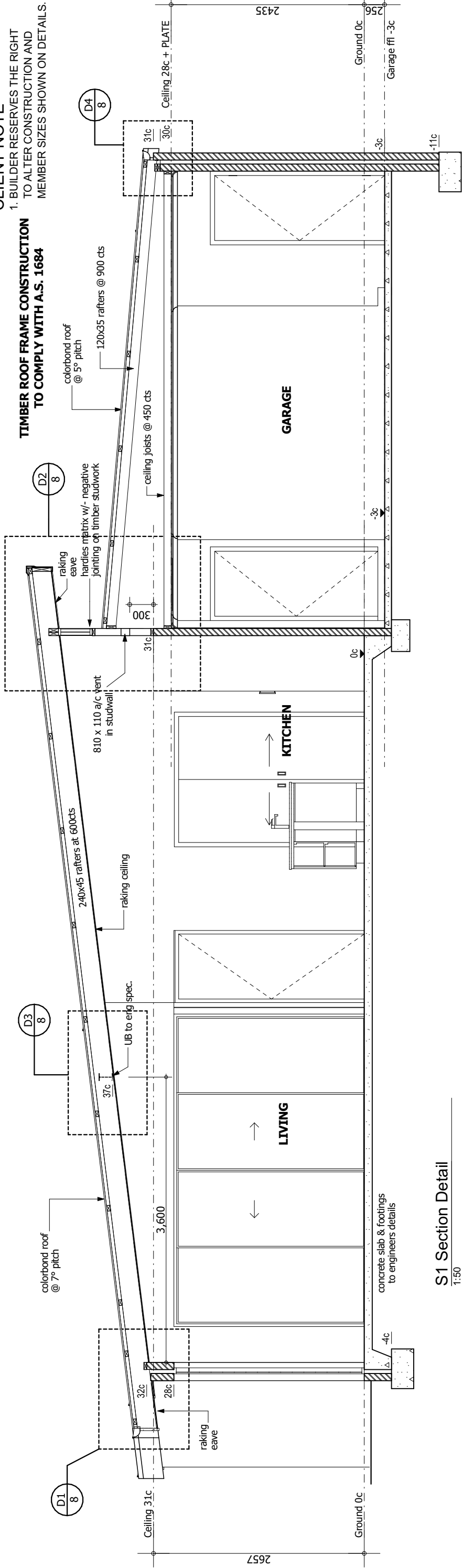
AMENDMENTS:	
10/12/18	RS DA Adjustments
10/2/20	GM PSVO 1, A/C, windows
17/2/20	GM Distribution board amend
20/2/20	GM in-floor heating & heated towel rail
3/3/20	GM amendments
9/3/20	GM tiling amend
17/3/20	GM amendments
27/3/20	GM amendments
28/5/20	GM dimmers added
8/6/20	GM elec amend & tiled recess
22/7/20	GM gpo's added
21/8/20	GM gpo moved

Custom  
SHEET: 5 OF 14  
DRN: RS  
DATE: 19/11/19  
SCALE:1:100, 1:1  
CONTRACT NO:  
19018

CLIENT NOTE

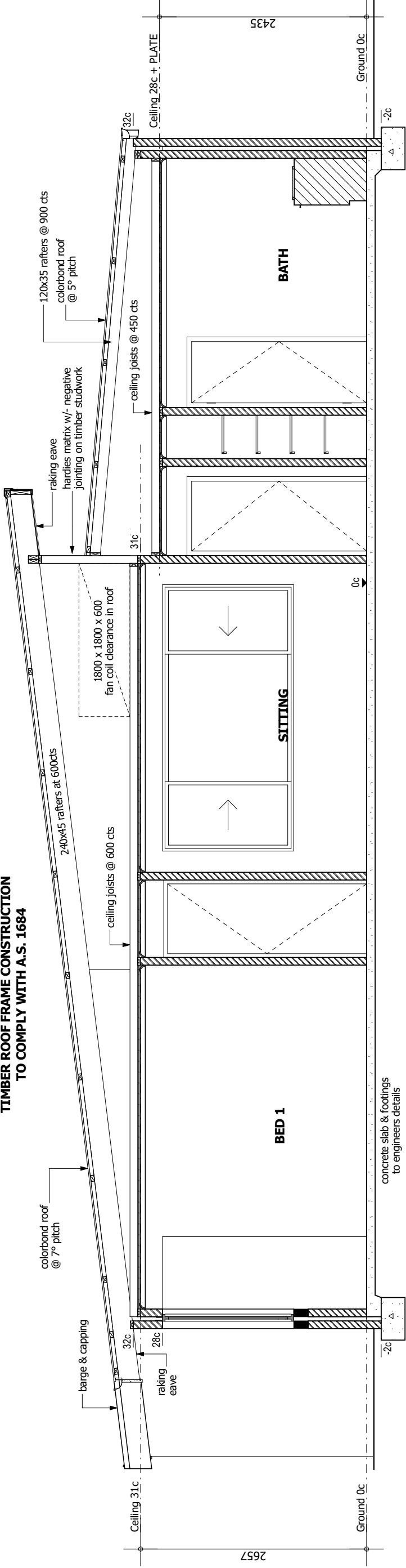
1. BUILDER RESERVES THE RIGHT TO ALTER CONSTRUCTION AND MEMBER SIZES SHOWN ON DETAILS.

TIMBER ROOF FRAME CONSTRUCTION TO COMPLY WITH A.S. 1684



S1 Section Detail  
1:50

TIMBER ROOF FRAME CONSTRUCTION TO COMPLY WITH A.S. 1684




S2 Section Detail  
1:50

CONSTRUCTION NOTES

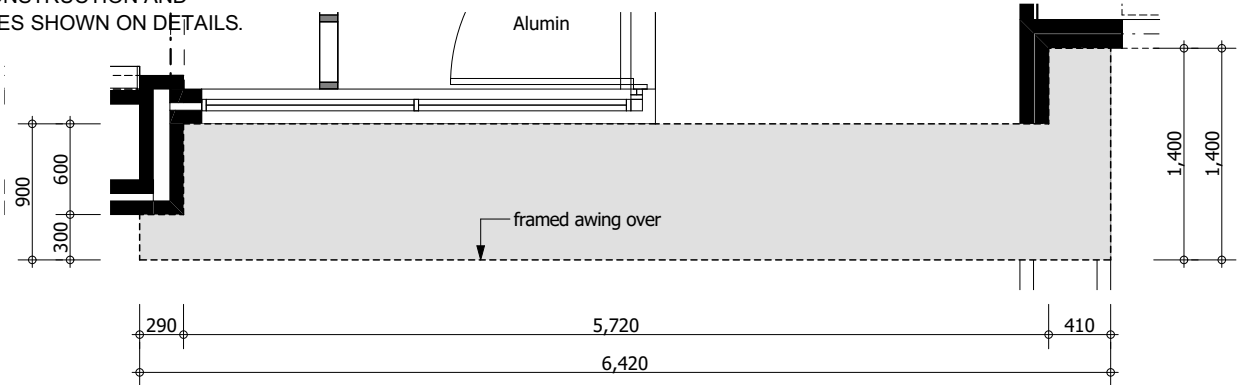
- 7° REAR GROUND FLOOR ROOF PITCH
- 5° GARAGE ROOF PITCH
- COLORBOND ROOF
- 28-31c GROUND FLOOR TO CEILING
- ROOF FRAME TO COMPLY WITH A.S. 1684
- RENDERED BRICKWORK EXTERNALLY
- N° WIND REGION
- TERRAIN CATEGORY ?

© copyright

 <b>COAST</b> HOMES	PROPOSED RESIDENCE ADDRESS: STRATA LOT 1 (#43) CNR EWEN ST & OSTEND RD SCARBOROUGH FOR: J PEERS				SIGNATURES:		AMENDMENTS:		Custom	
					OWNER: _____		10/12/19 RS DA Adjustments		SHEET: 6 OF 14	
					OWNER: _____		10/2/20 GM PSVO 1 A/C - windows		DRN: RS	
					BUILDER: _____		17/2/20 GM Distribution board amend		DATE: 19/11/19	
					DATE: _____		20/2/20 GM in-floor heating & heated towel rail amendments		SCALE: 1:50, 1:100	
							3/3/20 GM amendments		CONTRACT NO: 19018	
							9/3/20 GM tiling amend			
							17/3/20 GM amendments			
							27/3/20 GM dimmers added			
							28/5/20 GM			
							8/6/20 GM elec amend & tiled recess			
						22/7/20 GM gpo's added				
						21/8/20 GM gpo moved				

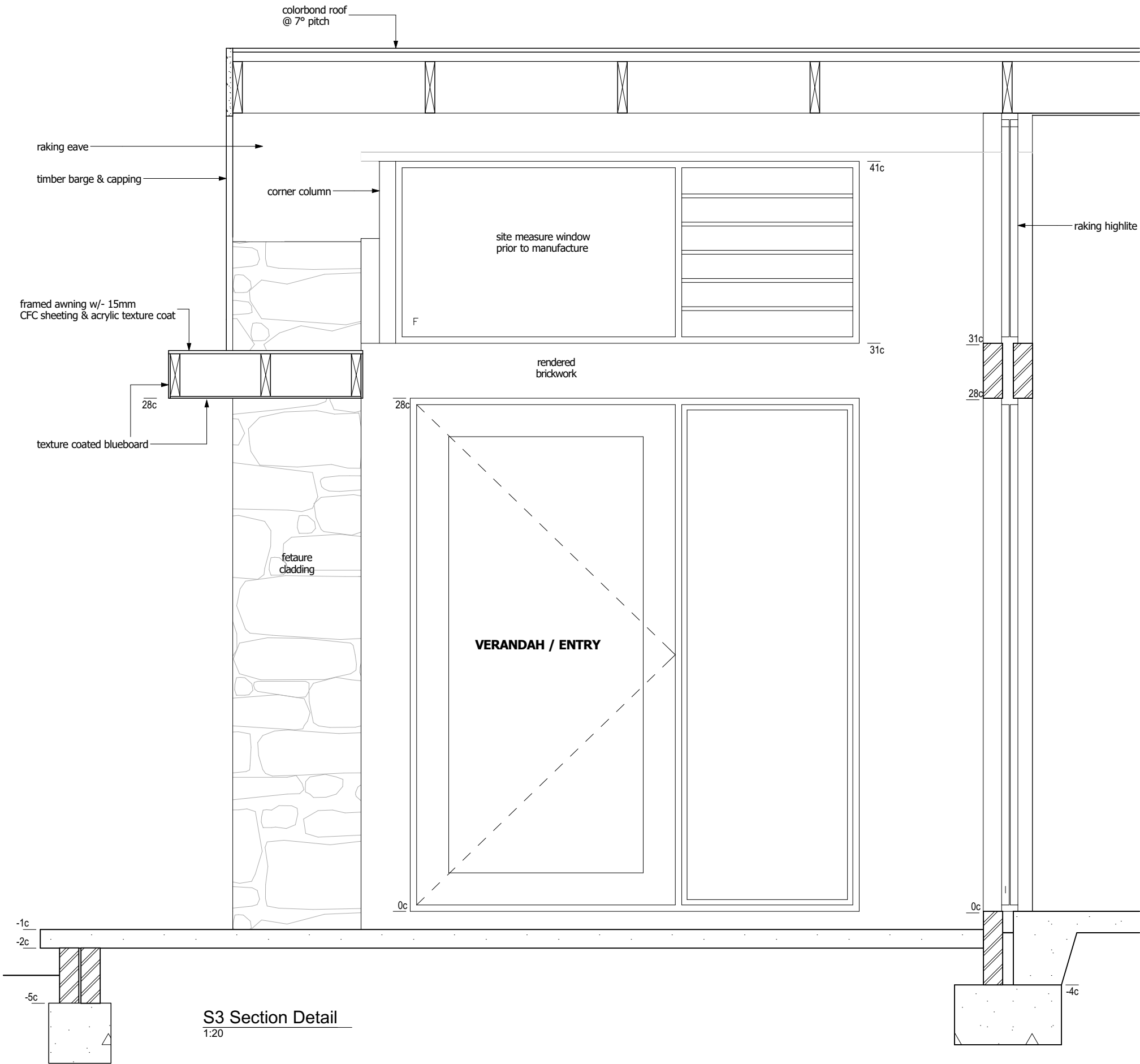
CLIENT NOTE

1. BUILDER RESERVES THE RIGHT TO ALTER CONSTRUCTION AND MEMBER SIZES SHOWN ON DETAILS.




CONSTRUCTION NOTES

- 7° REAR GROUND FLOOR ROOF PITCH
- 5° GARAGE ROOF PITCH
- COLORBOND ROOF
- 28-31c GROUND FLOOR TO CEILING
- ROOF FRAME TO COMPLY WITH A.S. 1684
- RENDERED BRICKWORK EXTERNALLY
- N? WIND REGION
- TERRAIN CATEGORY ?



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	PROPOSED RESIDENCE ADDRESS: STRATA LOT 1 (#43) CNR EWEN ST & OSTEND RD SCARBOROUGH FOR: J PEERS	SIGNATURES:		AMENDMENTS:		Custom
		OWNER: _____	10/12/19	RS	DA Adjustments	SHEET: 7 OF 14
			10/2/20	GM	PSVO 1, A/C, windows	
			17/2/20	GM	Distribution board amend	
			20/2/20	GM	in-floor heating & heated towel rail	
		OWNER: _____	3/3/20	GM	amendments	DRN: RS
			9/3/20	GM	tiling amend	DATE: 19/11/19
		BUILDER: _____	17/3/20	GM	amendments	SCALE:1:20, 1:100, 1:50
			27/3/20	GM	amendments	
		DATE: _____	28/5/20	GM	dimmers added	CONTRACT NO: 19018
8/6/20	GM		elec amend & tiled recess			
22/7/20	GM		gpo's added			
	21/8/20	GM	gpo moved			

1. BUILDER RESERVES THE RIGHT  
TO ALTER CONSTRUCTION AND  
MEMBER SIZES SHOWN ON DETAILS.



7° REAR GROUND FLOOR ROOF PITCH  
5° GARAGE ROOF PITCH  
COLORBOND ROOF  
28-31c GROUND FLOOR TO CEILING  
ROOF FRAME TO COMPLY  
WITH A.S. 1684  
RENDERED BRICKWORK EXTERNALLY  
N? WIND REGION  
TERRAIN CATEGORY ?



3 Peers - Prestart Drawings V23.



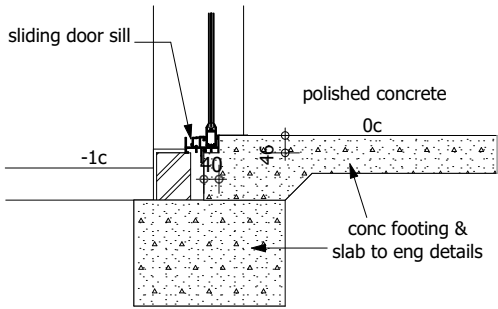


CONCRETOR NOTE

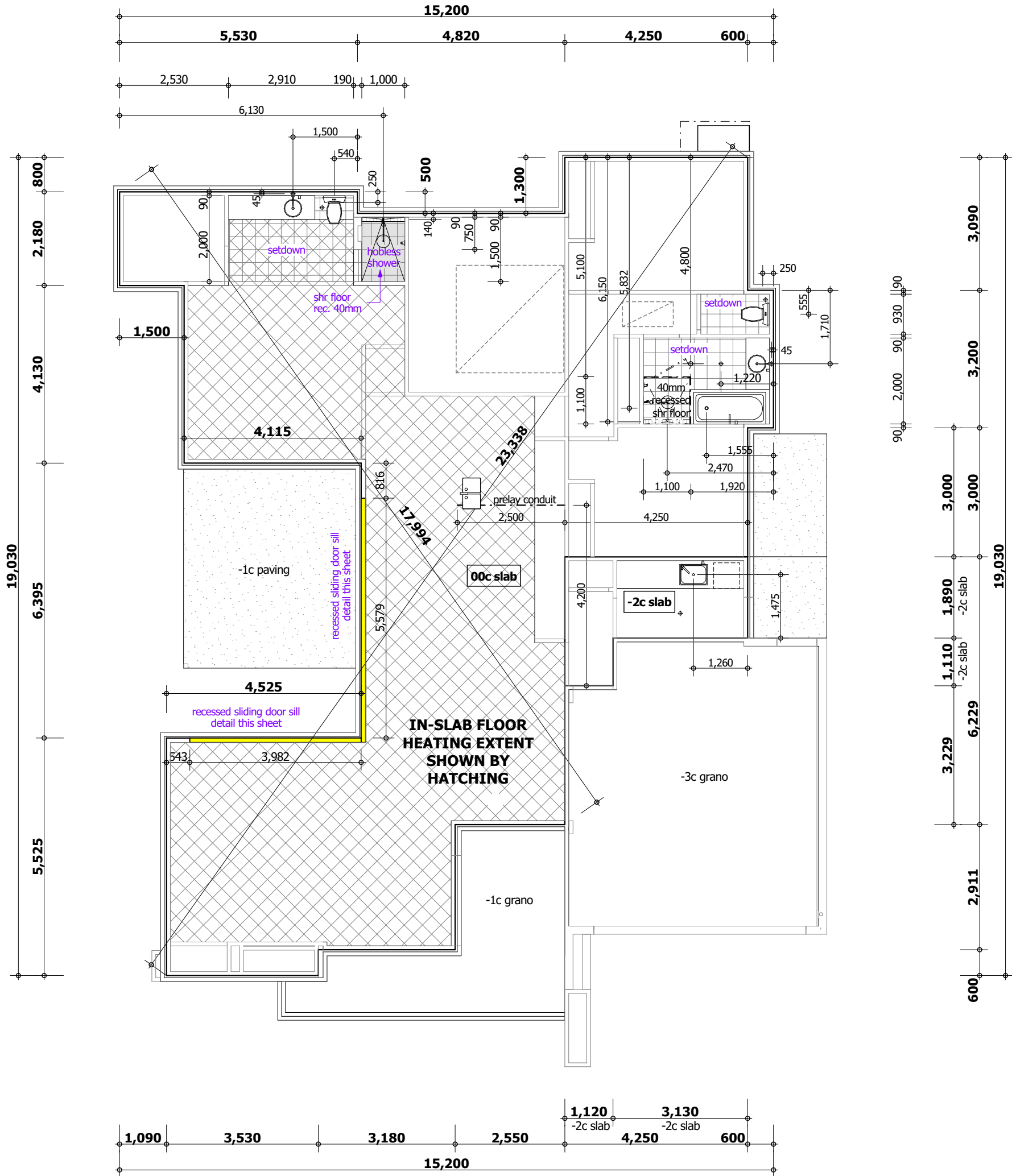
1. GARAGE & FREESTANDING EXTERNAL BRICK  
PIER FOOTINGS TO BE AT -3c U.O.N.

POLISHED CONCRETE NOTES

1. POLISHED CONCRETE TO THROUGHOUT  
EXCLUDING THE BATH, ENS & WC'S.  
2. 32Mpa CONCRETE.  
3. 110mm SLAB ON GROUND.  
4. SL 92 MESH.  
5. EXTRA RE-ENTRY BARS.  
6. 2 LAYERS OF WATERPROOF MEMBRANE.  
7. EXTEND CONCRETE AN EXTRA 15mm INTO CAVITY WALL  
TO SLIDING DOOR OR FULL HEIGHT WINDOWS LOCATIONS  
AS SHOWN ON GROUND SLAB PLAN.  
8. CARDBOARD PROTECTION DURING CONSTRUCTION.




Premium Sliding Door Sill Detail  
1:20



SLAB LAYOUT  
1:100

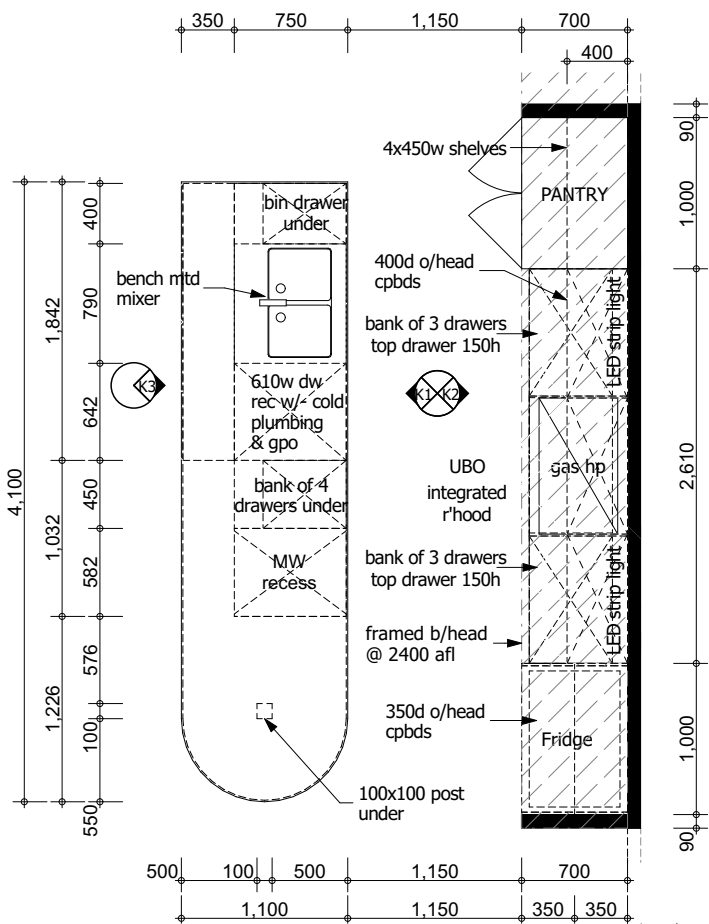
© copyright

 COAST Copyright M E S	PROPOSED RESIDENCE ADDRESS: STRATA LOT 1 (#43) CNR EWEN ST & OSTEND RD SCARBOROUGH FOR: J PEERS	SIGNATURES:		AMENDMENTS:		Custom
		OWNER: _____	10/12/19	RS	DA Adjustments	SHEET: 10 OF 14
			10/2/20	GM	PSVO 1, A/C, windows	
			17/2/20	GM	Distribution board amend	
			20/2/20	GM	in-floor heating & heated towel rail	
		OWNER: _____	3/3/20	GM	amendments	DRN: RS
			9/3/20	GM	tiling amend	DATE: 19/11/19
		BUILDER: _____	17/3/20	GM	amendments	SCALE:1:100, 1:20
			27/3/20	GM	amendments	
		DATE: _____	28/5/20	GM	dimmers added	CONTRACT NO: 19018
8/6/20	GM		elec amend & tiled recess			
22/7/20	GM		gpo's added			
21/8/20	GM		gpo moved			

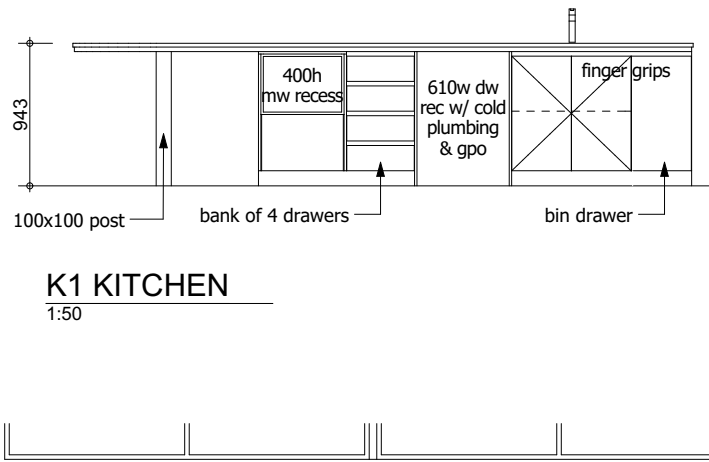
GENERAL NOTES

MITRED TILES THROUGHOUT.

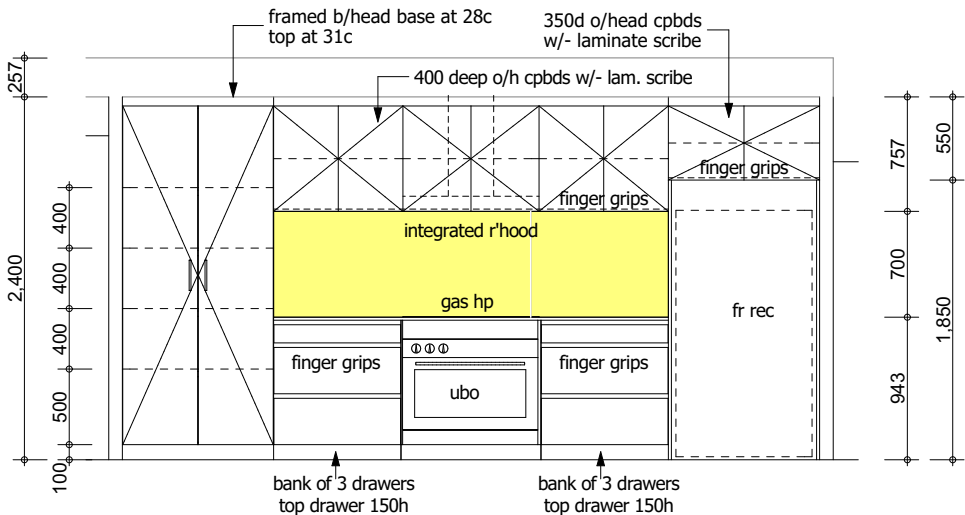
DIMENSIONS FOR CABINETWORK  
ARE SUBJECT TO CABINETMAKER  
REQUIREMENTS.



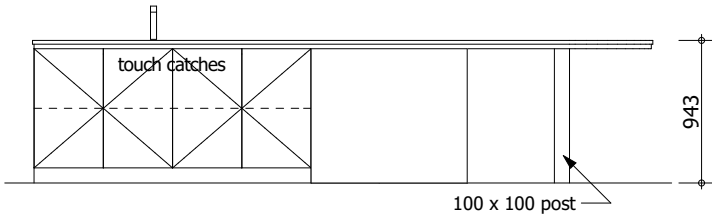
KITCHEN PLAN  
1:50



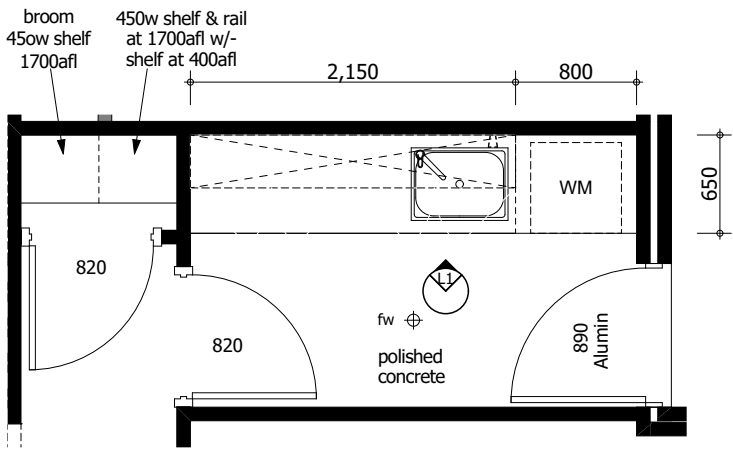
K1 KITCHEN  
1:50



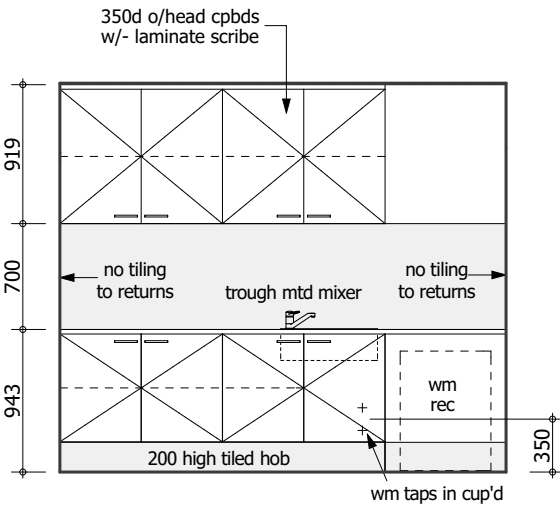
K2 KITCHEN  
1:50



K3 KITCHEN  
1:50



L'DRY PLAN  
1:50



L1 LAUNDRY  
1:50

© copyright



PROPOSED RESIDENCE ADDRESS:  
STRATA LOT 1 (#43) CNR EWEN ST & OSTEND RD  
SCARBOROUGH  
FOR:  
J PEERS

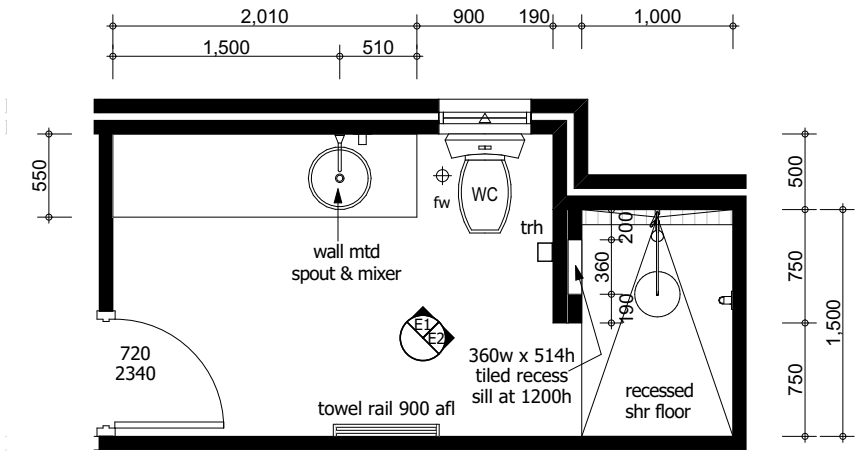
SIGNATURES:  
OWNER: \_\_\_\_\_  
OWNER: \_\_\_\_\_  
BUILDER: \_\_\_\_\_  
DATE: \_\_\_\_\_

AMENDMENTS:			Custom
10/12/18	RS	DA Adjustments	SHEET: 11 OF 14
10/2/20	GM	PSVO 1, A/C, windows	
17/2/20	GM	Distribution board amend	DRN: RS
20/2/20	GM	in-floor heating & heated towel rail	
3/3/20	GM	amendments	DATE: 19/11/19
9/3/20	GM	tiling amend	
17/3/20	GM	amendments	SCALE:1:50, 1:100
27/3/20	GM	amendments	
28/5/20	GM	dimmers added	CONTRACT NO: 19018
8/6/20	GM	elec amend & tiled recess	
22/7/20	GM	gpo's added	
21/8/20	GM	gpo moved	

GENERAL NOTES

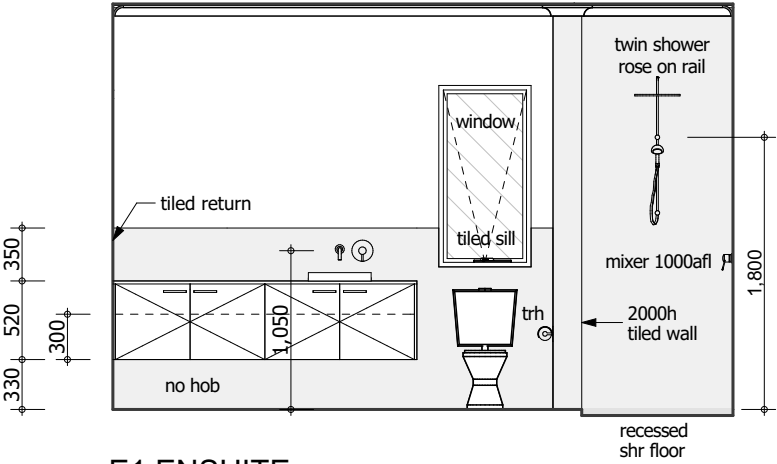
MITRED TILES THROUGHOUT.

DIMENSIONS FOR CABINETWORK  
ARE SUBJECT TO CABINETMAKER  
REQUIREMENTS.



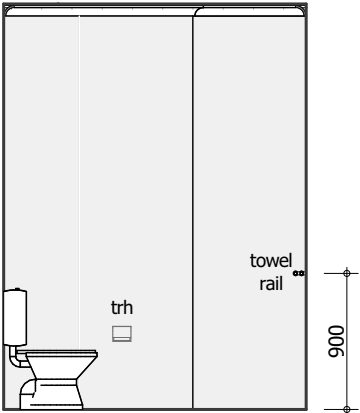
ENSUITE PLAN

1:50



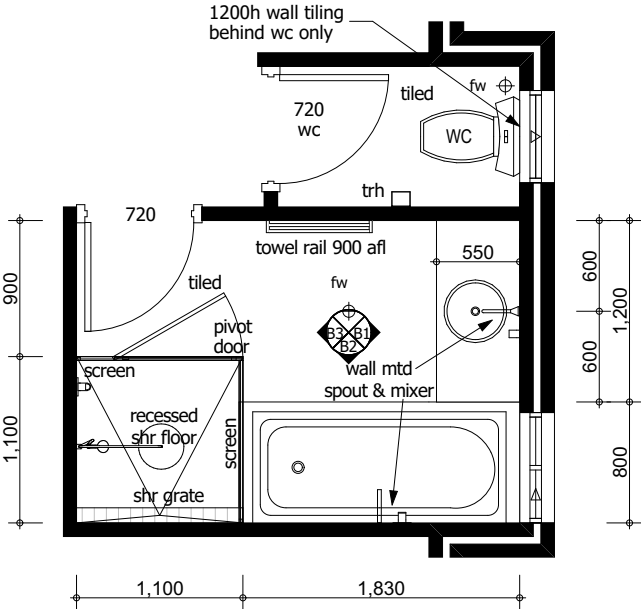
E1 ENSUITE

1:50



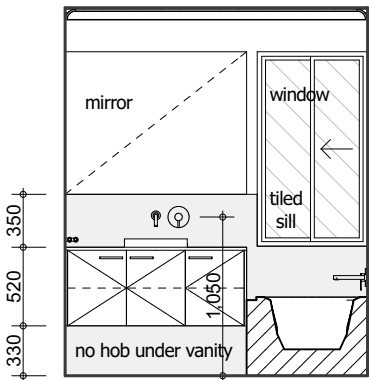
E2 ENSUITE

1:50



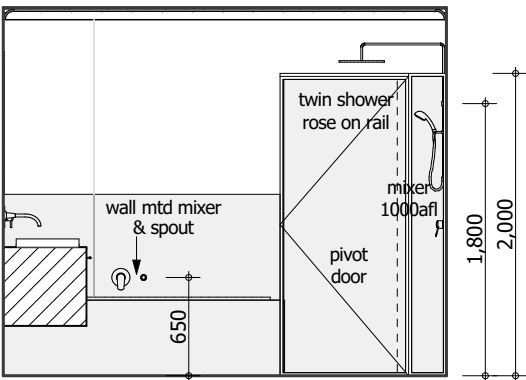
BATH PLAN

1:50



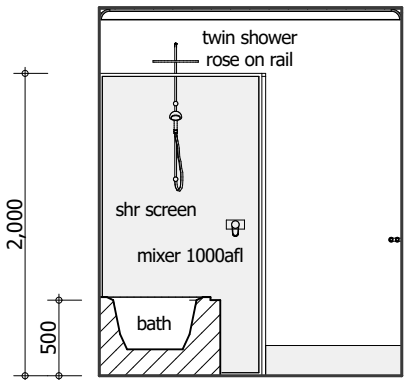
B1 BATHROOM

1:50



B2 BATHROOM

1:50



B3 BATHROOM

1:50

© copyright



PROPOSED RESIDENCE ADDRESS:  
STRATA LOT 1 (#43) CNR EWEN ST & OSTEND RD  
SCARBOROUGH  
FOR:  
J PEERS

SIGNATURES:

OWNER: \_\_\_\_\_

OWNER: \_\_\_\_\_

BUILDER: \_\_\_\_\_

DATE: \_\_\_\_\_

AMENDMENTS:

10/12/18	RS	DA Adjustments
10/2/20	GM	PSVO 1, A/C, windows
17/2/20	GM	Distribution board amend
20/2/20	GM	in-floor heating & heated towel rail
3/3/20	GM	amendments
9/3/20	GM	tiling amend
17/3/20	GM	amendments
27/3/20	GM	amendments
28/5/20	GM	dimmers added
8/6/20	GM	elec amend & tiled recess
22/7/20	GM	gpo's added
21/8/20	GM	gpo moved

Custom

SHEET: 12 OF 14

DRN: RS

DATE: 19/11/19

SCALE:1:50, 1:100

CONTRACT NO:  
19018



⊕	SEC Dome
≡○≡	Power Pole
T C	Phone Pits
W	Water Conn.
TP 10.00	Top Pillar/Post
TW 10.00	Top Wall
TR 10.00	Top Retaining
TF 10.00	Top Fence

**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**DISCLAIMER:**  
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

**DISCLAIMER:**  
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment and are to be verified when repegged. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

**WARNING:**  
Check developer/strata company regarding possible future/existing internal service run ins, positions & details. Check for possible private sewer lines & position & details of connection to strata lot. Beware possible building restrictions on strata lot by management statement or by-laws. If strata boundaries not defined on plan only parent lot may be re-pegged and line pegs placed.

**NOTE:**  
Changes to the City Of Stirling Street & Reserve Trees Policy require minimum setbacks to all crossovers dependant on the Diameter At Breast Height (DBH) of any verge trees. Cottage & Engineering Surveys recommends contacting City Of Stirling to verify any verge tree details with their tree audit database before any design work is undertaken.

**DISCLAIMER:**  
HIGH TENSION POWER LINES. CHECK TITLE FOR EASEMENTS AND WESTERN POWER FOR SET-BACKS.

**NOTE:** Unable to Calculate Sewer Junction Depth Due to Lack of Information on Water Corporation E-Plan. Verify Junction Invert, Depth & Details With Water Corporation. BUILDER and PLUMBER check GRADE

Sewer M/H (Not Located In Field. Plotted From Water Corp. Sheet Only)

Sewer Junction  
In: 3.3  
Inv: 6.4  
NOTE: UP

boundary wall footings at -11c  
TOF @ 8.157

boundary wall offset  
100mm from boundary

proposed new consumer pole &  
power dome to Western Power  
requirements

proposed new distribution box on  
pole to Western Power requirements

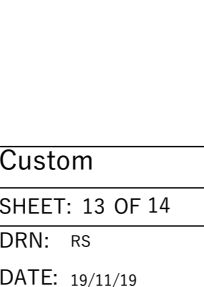
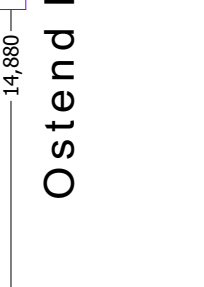
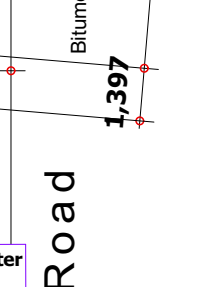
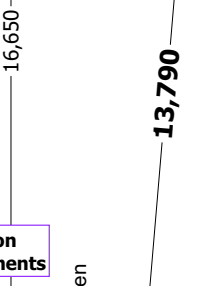
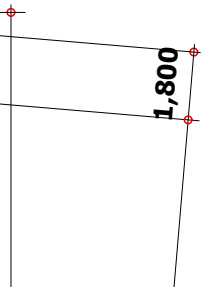
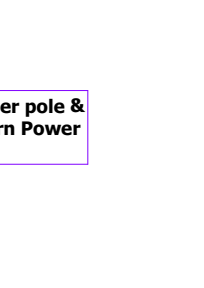
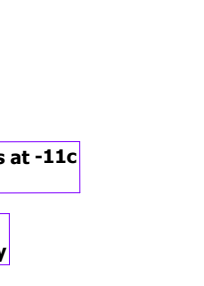
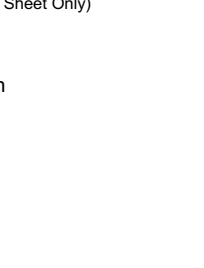
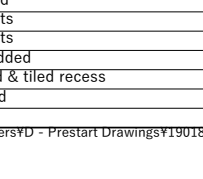
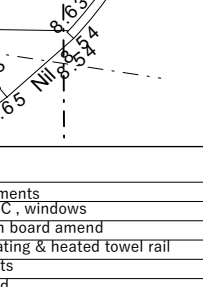
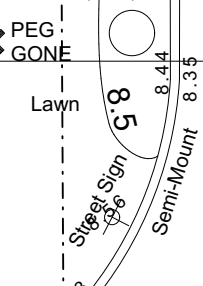
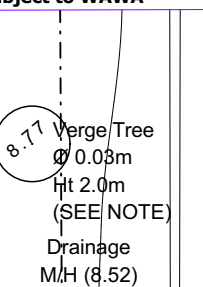
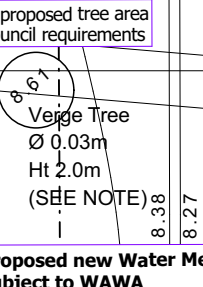
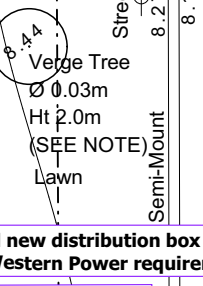
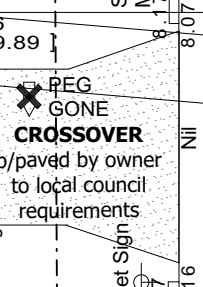
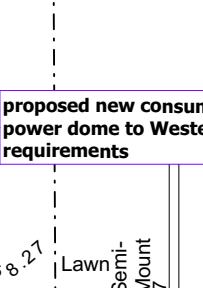
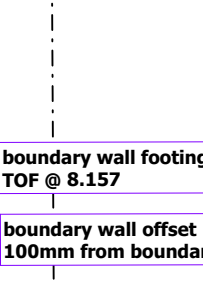
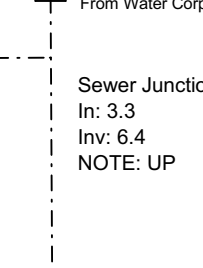
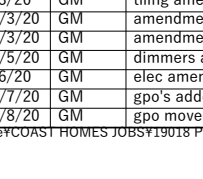
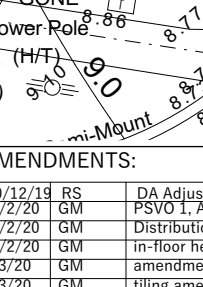
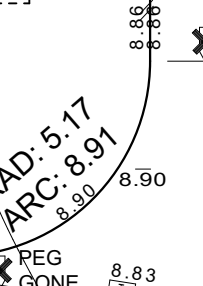
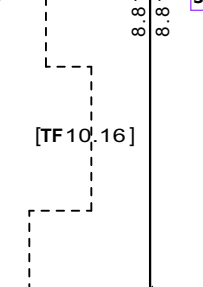
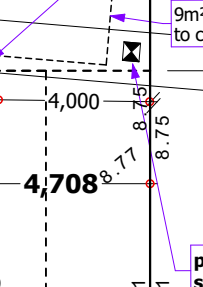
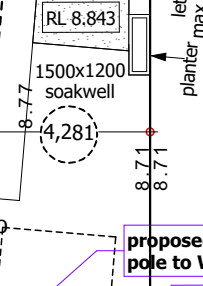
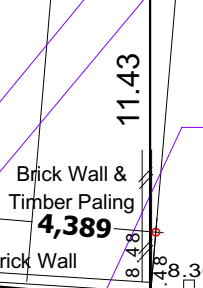
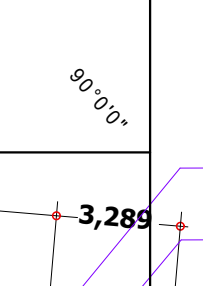
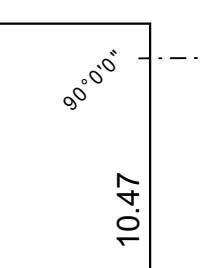
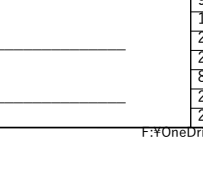
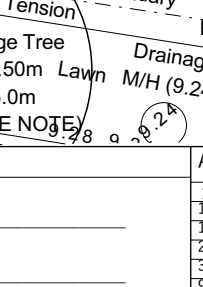
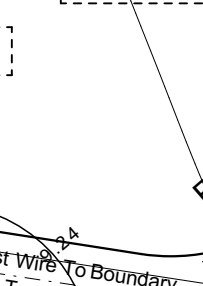
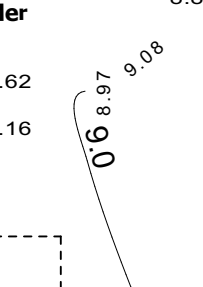
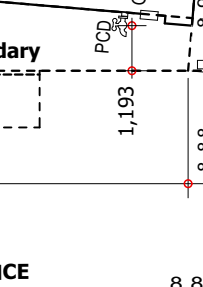
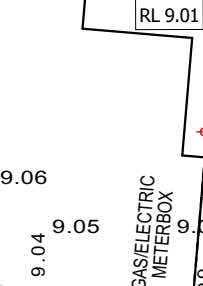
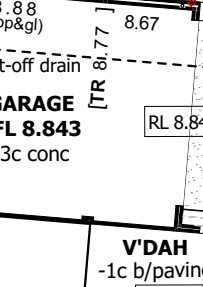
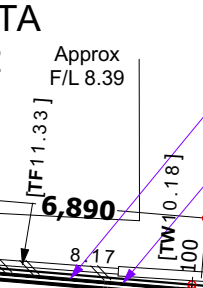
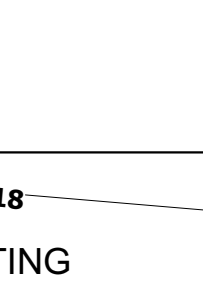
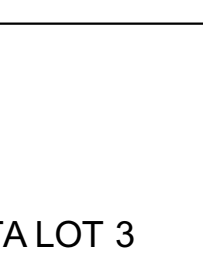
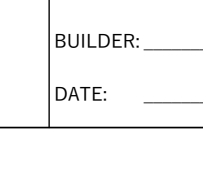
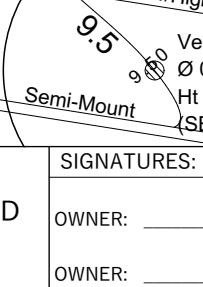
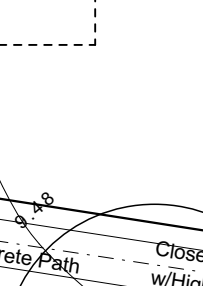
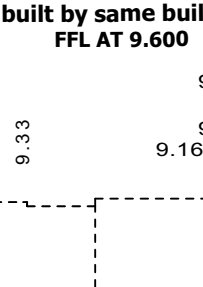
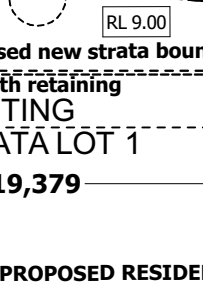
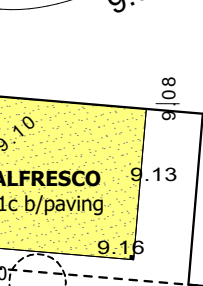
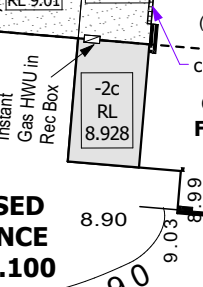
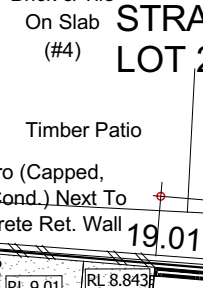
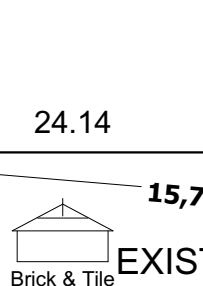
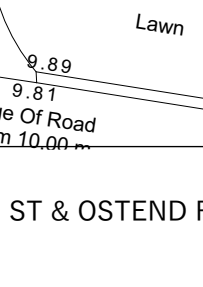
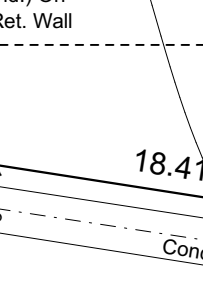
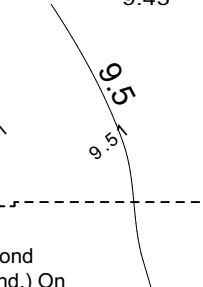
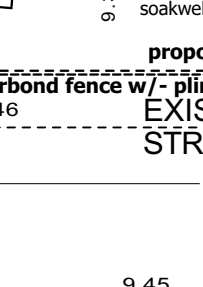
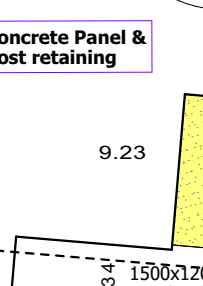
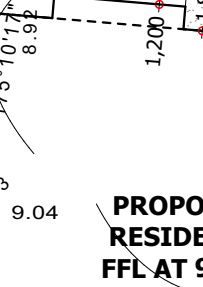
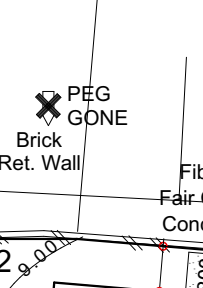
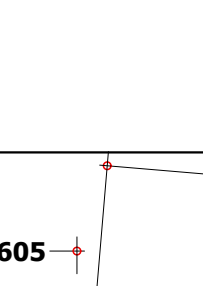
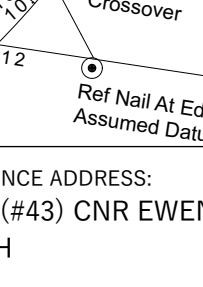
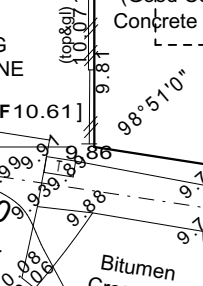
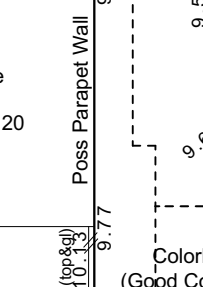
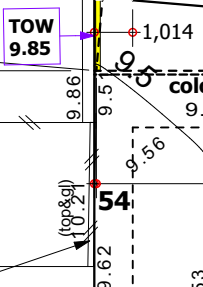
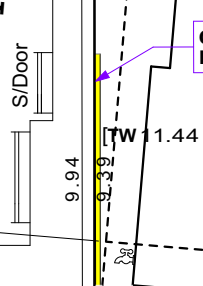
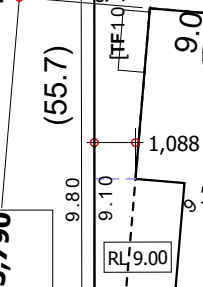
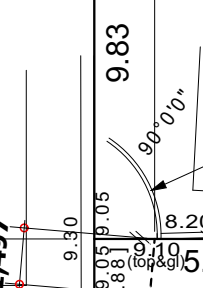
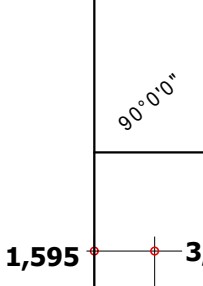
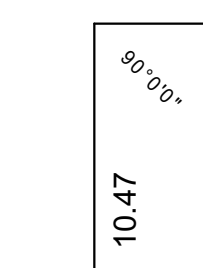
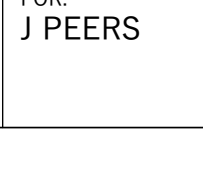
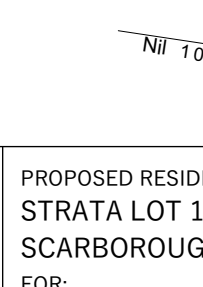
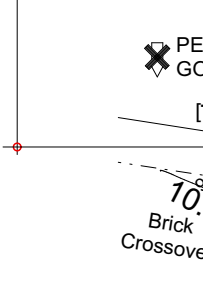
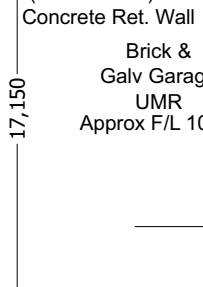
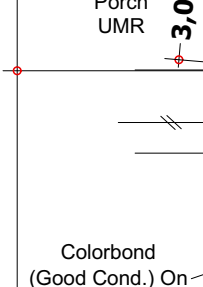
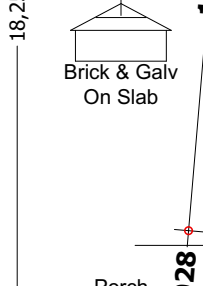
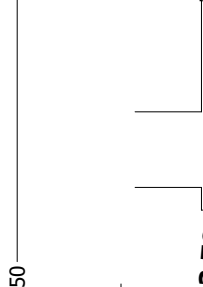
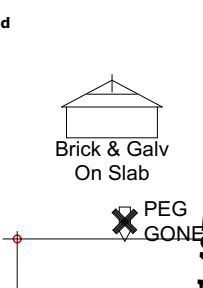
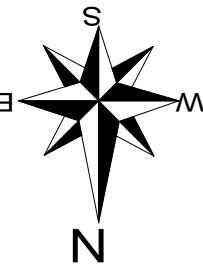
9m² proposed tree area to  
council requirements

proposed new Water Meter  
subject to WAWA

LOT MISCLOSE  
0.015 m

SOIL DESCRIPTION  
Sand  
Refer to Survey

Scale 1:200



10/12/19	RS	DA Adjustments
10/2/20	GM	PSVO 1, A/C, windows
17/2/20	GM	Distribution board amend
20/2/20	GM	in-floor heating & heated towel rail
3/3/20	GM	amendments
9/3/20	GM	tiling amend
17/3/20	GM	amendments
27/3/20	GM	amendments
28/5/20	GM	dimmers added
8/6/20	GM	elec amend & tiled recess
22/7/20	GM	gpo's added
21/8/20	GM	gpo moved

LEGEND		
Φ	SEC Dome	
≡○≡	Power Pole	
T C	Phone Pits	
W	Water Conn.	
TP 10.00	Top Pillar/Post	
TW 10.00	Top Wall	
TR 10.00	Top Retaining	
TF 10.00	Top Fence	

**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**DISCLAIMER:**  
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

**DISCLAIMER:**  
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment and are to be verified when repegged. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

**WARNING:**  
Check developer/strata company regarding possible future/existing internal service run ins, positions & details. Check for possible private sewer lines & position & details of connection to strata lot. Beware possible building restrictions on strata lot by management statement or by-laws. If strata boundaries not defined on plan only parent lot may be re-peggd and line pegs placed.

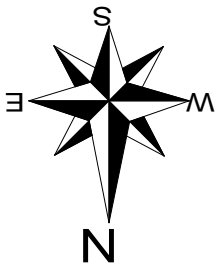
**NOTE:**  
Changes to the City Of Stirling Street & Reserve Trees Policy require minimum setbacks to all crossovers dependant on the Diameter At Breast Height (DBH) of any verge trees. Cottage & Engineering Surveys recommends contacting City Of Stirling to verify any verge tree details with their tree audit database before any design work is undertaken.

**DISCLAIMER:**  
HIGH TENSION POWER LINES. CHECK TITLE FOR EASEMENTS AND WESTERN POWER FOR SET-BACKS.

**NOTE:** Unable to Calculate Sewer Junction Depth Due to Lack of Information on Water Corporation E-Plan. Verify Junction Invert, Depth & Details With Water Corporation. BUILDER and PLUMBER check GRADE

Sewer M/H (Not Located In Field. Plotted From Water Corp. Sheet Only)

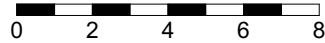
Sewer Junction  
In: 3.3  
Inv: 6.4  
NOTE: UP



LOT MISCLOSE  
0.015 m

SOIL DESCRIPTION  
Sand  
Refer to Survey

Scale 1:200



Colorbond (Good Cond.) On Concrete Ret. Wall  
Brick & Galv Garage UMR  
Approx F/L 10.20



PROPOSED RESIDENCE ADDRESS:

STRATA LOT 1 (#43) CNR EWEN ST & OSTEND ROAD  
SCARBOROUGH

FOR:  
J PEERS

SIGNATURES:

OWNER:

OWNER:

BUILDER:

DATE:

AMENDMENTS:

10/12/18	RS	Adjustments
10/2/20	GM	A/C, windows
17/2/20	GM	Distribution board amend
20/2/20	GM	By-laws heating & heated towel rail
3/3/20	GM	amendments
9/3/20	GM	tiling amend
17/3/20	GM	amendments
27/3/20	GM	amendments
28/5/20	GM	dimmers added
8/6/20	GM	elec amend & tiled recess
22/7/20	GM	gpo's added
21/8/20	GM	gpo moved

Custom

SHEET: 14 OF 14

DRN: RS

DATE: 19/11/19

SCALE:1:200, 1:1

CONTRACT NO:

19018



COAST

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