

CLIENT NOTE

-DIMENSIONS RELATE TO BRICKWORK SETOUT ONLY.
NO ALLOWANCE IS MADE FOR PLASTER OR WALL FINISH
WHERE THESE APPLY. INCLUDE SUCH ALLOWANCES
FOR CLEARANCE REQUIRED FOR FUTURE FITTINGS
-FIXTURES ARE DIAGRAMMATIC, SIZE MAY VARY
DUE TO MANUFACTURERS SPECIFICATIONS.
-REFER TO ADDENDA FOR OWNER SUPPLIED
AND/OR INSTALLED ITEMS

CONCRETOR/BK LAYER NOTE

-TOP OF ISOLATED PIER FOOTINGS AT -3c

CONCRETOR/ TILER NOTE

-NO HOB SHR TO ENS, ENS 2 AND BATH - STEP DOWN TILE

BRICKLAYER/ WINDOW
SUPPLIER NOTE

-TIMBER DOOR FRAMES MARKED 'TF'

BRICKLAYER NOTE

RENDERED BRICKWORK

-RENDER EXTERNAL THROUGH-OUT
-2c FACE BKWK TO INSIDE OF GARAGE
-2c FACE BKWK TO BOUNDARY WALLS
-1st COURSE OF BRICKWORK TO FOOTING
AND SLAB TO BE 76mm CORED BRICK

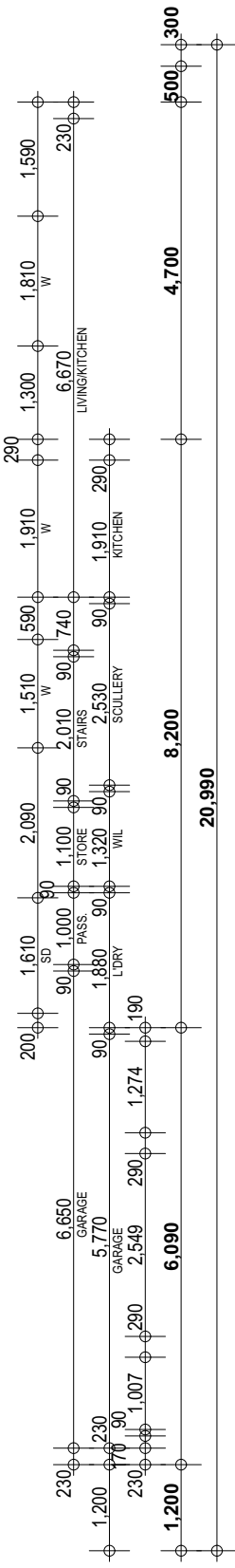
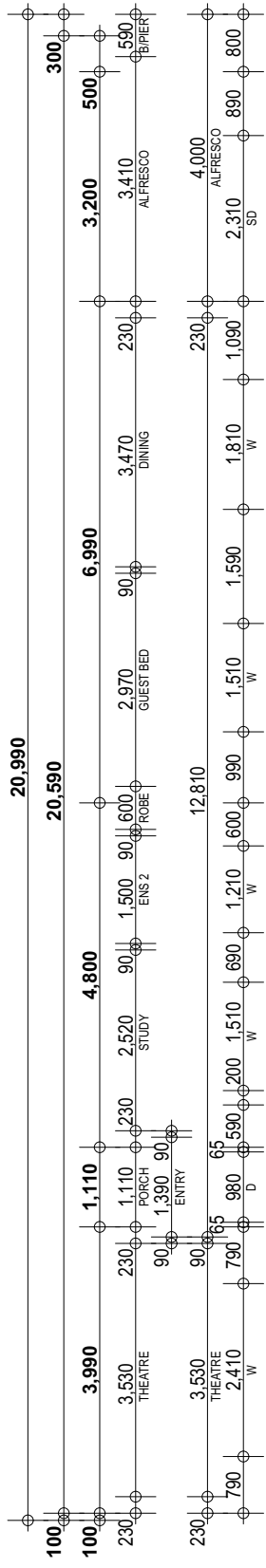
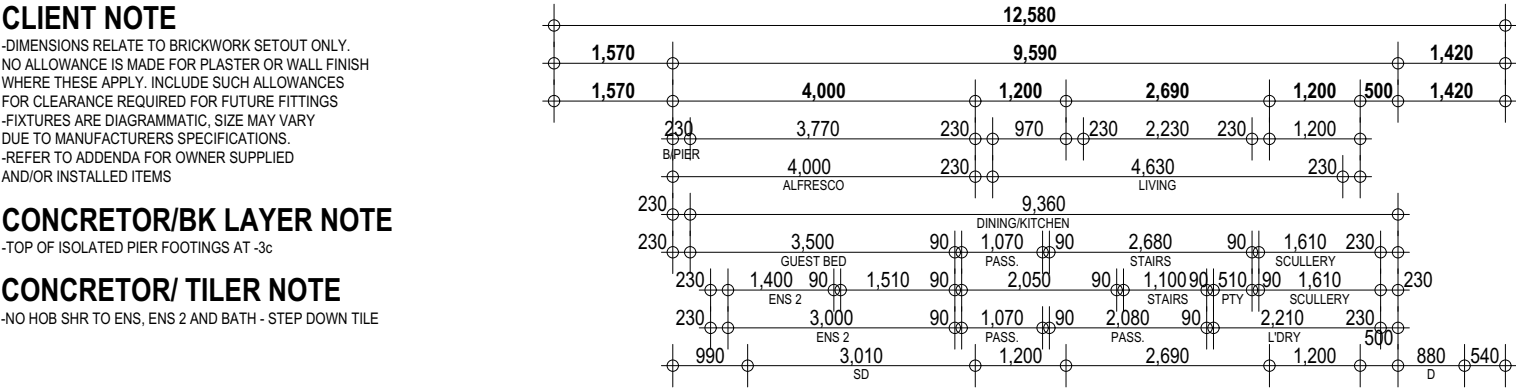
-28c FRAMES FOR 2340 DOOR HEIGHT AS MARKED
-10c INTERNAL LEAF TO KITCHEN WINDOW

PLUMBER NOTE

-LOCATION OF FLOOR WASTES TO WET AREAS TO BE
DETERMINED ON SITE AT PLUMBERS DISCRETION
-LOCATION OF DOWNPIPES ARE INDICATIVE AND
MAY BE CHANGED ON SITE AT PLUMBERS DISCRETION
-TAP TO FRIDGE RECESS

CEILING FIXER NOTE:

CEILING LEVEL AT 31c UNDER FLOORTECH,
UNLESS NOTED OTHERWISE.

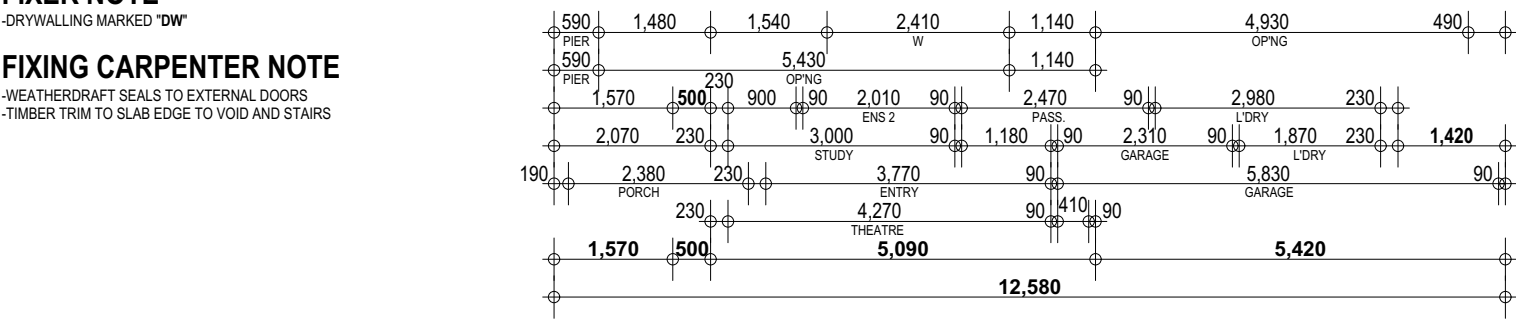


PLASTERER/ CEILING
FIXER NOTE

-DRYWALLING MARKED 'DW'

FIXING CARPENTER NOTE

-WEATHERDRAFT SEALS TO EXTERNAL DOORS
-TIMBER TRIM TO SLAB EDGE TO VOID AND STAIRS



AREAS			
FLOOR	NAME	AREA	PERIMETER
Ground	GROUND FLOOR	138.48	63.70
	GARAGE	38.79	25.96
	ALFRESCO	16.18	16.46
	PORCH	3.60	8.12
		197.05 m²	
First	UPPER FLOOR	121.34	50.16
		121.34 m²	
		318.39 m²	

GROUND FLOOR PLAN

BH

BROADWAY

HOMES

14 LUISINI ROAD WANGARA 6065
PH: 6200 2071

CLIENT

FRAKOLAKIS & MCGREGOR

PROPOSED RESIDENCE

LOT 131 (#4) STIPA COURT,
GWELUP

HOUSE TYPE:

INDIVIDUAL

THESE ARE THE PLANS REFERRED
TO IN THE BUILDING CONTRACT

DATE.....

OWNER.....

OWNER.....

BUILDER.....

DRAWN / AMENDMENTS

04/02/20 PLANNING AS
30/03/20 WORKING AS
21/05/20 PPA VO AS
19/06/20 PST VO41312 AGM
02/07/20 VO41392 AGM
9/07/20 ENGINEERS AS
28/07/20 VO41532 AGM
29/07/20 VO41573 AGM

06/08/20 CONST AMDT AGM
27/08/20 VO41752 AGM

WORKING DRAWINGS

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property of the builder and must
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Dimensions take preference
over scaling & to be
checked on site prior to
commencing construction

JOB NO:

B20001

SCALE:

1:100

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SHEET:

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AND/OR INSTALLED ITEMS
-FOR WATERPROOFING, THERE WILL
BE A TILED SKIRTING ON BALCONIES

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AND SLAB TO BE 76mm CORED BRICK

-LONGREACH & HORIZONTAL REINFORCEMENT
TO LOW BRICK WALL

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-DRYWALLING MARKED "DW"

FIXING CARPENTER NOTE

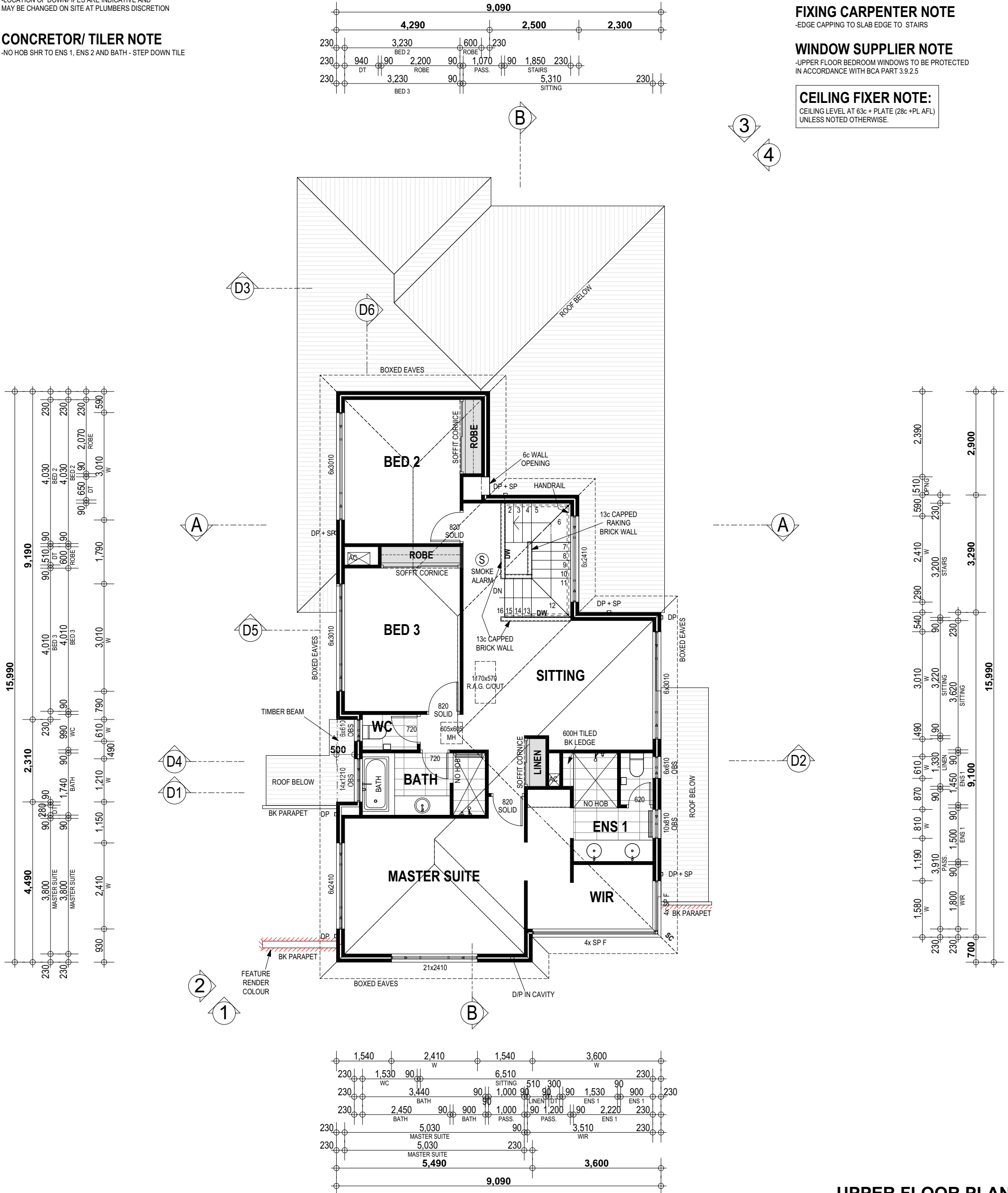
-EDGE CAPPING TO SLAB EDGE TO STAIRS

WINDOW SUPPLIER NOTE

-UPPER FLOOR BEDROOM WINDOWS TO BE PROTECTED
IN ACCORDANCE WITH BCA PART 3.9.2.5

CEILING FIXER NOTE:

CEILING LEVEL AT 63c + PLATE (28c +PL AFL)
UNLESS NOTED OTHERWISE.



UPPER FLOOR PLAN

BH BROADWAY HOMES
14 LUISINI ROAD WANGARA 6065
PH: 6200 2071

CLIENT
FRAKOLAKIS & McGREGOR
PROPOSED RESIDENCE
LOT 131 (#4) STIPA COURT, GWELUP
HOUSE TYPE: **INDIVIDUAL**

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JOB NO: **B20001**
SCALE: 1:100
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