

LEGEND		SEC Dome
		Power Pole
		Phone Pits
		Water Conn.
	[ TP 10.00 ]	Top Pillar/Post
	[ TW 10.00 ]	Top Wall
	[ TR 10.00 ]	Top Retaining
	[ TF 10.00 ]	Top Fence

**BEWARE:**  
Advise trades high tension power lines.

## DEMOLITION NOTES

### CLIENT NOTE:

- ALL DEMOLITION BY CLIENT UNLESS OTHERWISE NOTED.
- ALL TREES/SHRUBS TO BE LOPPED (TRIMMED) TO WITHIN 2m OF THE BUILDING ENVELOPE.
- EXISTING BUILDING, TREES AND ALL RUBBLE TO BE REMOVED BY CLIENT PRIOR TO CONSTRUCTION.

**DO NOT SCALE FROM THIS DRAWING**  
**All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.**  
**ALL DIMENSIONS TO BRICKWORK.**

### DISCLAIMER:

Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

### DISCLAIMER:

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### DISCLAIMER:

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### NOTE:

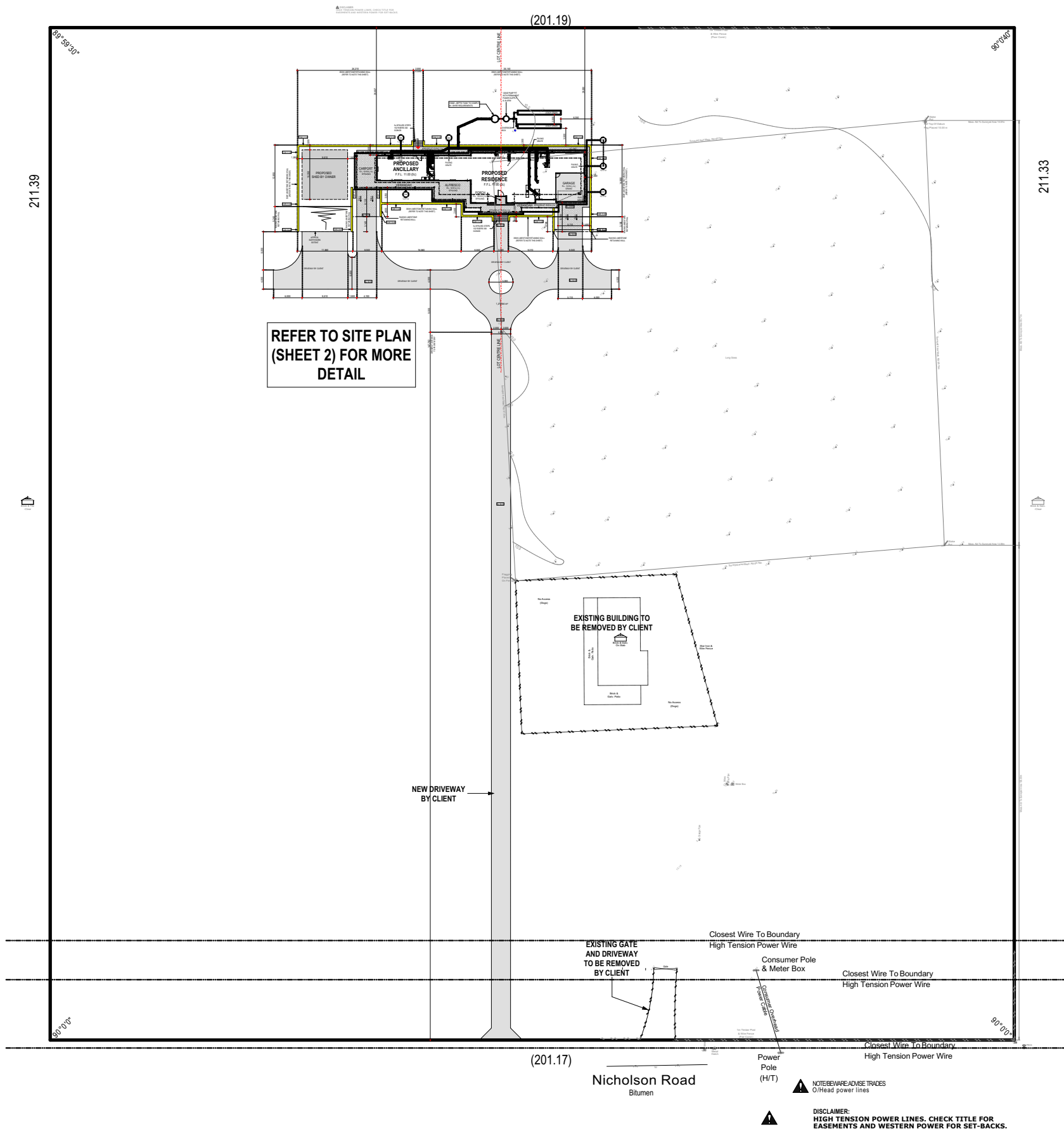
Earthworks/set-out dimensions may vary on site at builders discretion. Sewer/drainage may vary from schematic presentation/check min. clearances. Retaining not included in contract - remains owners responsibility. This survey does not guarantee the location of boundary pegs or fences. Check title for easements/covenants etc.

### DISCLAIMER:

Survey does not include verification of cadastral b'daries. All features & levels shown are based on orientation to existing pegs & fences only which may not be on correct cadastral alignment. Any designs based on dependent on the location of existing features should have those features' location verified in relation to the true b'dary.

### DISCLAIMER:

Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment are are to be verified when repegged. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.



BUILDER:	.....
CLIENT(S):	.....
WITNESS:	.....

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Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998.  
Email : perth@cottage.com.au Website: www.cottage.com.au

PROPOSED RESIDENCE FOR: <b>ANTHONY</b>	AREA: 42517m² SHIRE: SERPENTINE-JARRAHDALE D.PLAN: 33113 C/T VOLUMN: 1757 FOLIO: 961 MSD REF: 524-34/74	ROAD DESCR.: BITUMEN KERBING: NIL FOOTPATH: NIL SOIL: SAND DRAINAGE: GOOD VEGETATION: LONG GRASS	GAS: NO WATER: YES ELECTRICITY: O/H PH/COMMS: YES SEWER: NO COASTAL: NO	SSA/OLD AREAS: OLD A. C/JOB#: 452602 DATE: 26 APRIL 19 SCALE: 1:200 (ORIG) DRAWN: B. SALIBA	UNLODGED SS PLAN: ORIGINAL LOT: LOT MISCLOSE: 0.037m SSL 1 MISCLOSE:- SSL 2 MISCLOSE:-
ADDRESS: LOT 4 (#995) NICHOLSON ROAD OAKFORD	DRAWN: DMA DESIGNED: ALI CHECKED: JUS DATE: 27/08/19 MODEL: YARRA - MODIFIED	SCALE: 1:1000 SHEET: 1 OF 12 SIZE: A3 PROJECTS JOB N° 157403	Issue Name V02/3 JS 8/05/20 V04 DMA 27/05/20 JEL DMA 24/06/20 V007 DMA 01/07/20	Drawn DMA DMA DMA	Date 8/05/20 27/05/20 24/06/20 01/07/20
OVERALL - DEMOLITION PLAN					

**BUILT AROUND PEOPLE**

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**SUMMIT**  
HOMES GROUP  
BUILD | RENOVATE | DEVELOP

**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such does not identify easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
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**DISCLAIMER:**  
Some structures suitable features will and will not show boundaries of underground pipes or conduits for internal or mains services. Verification of the location of all internal & mains services should be confirmed prior to finalisation of any design work.

**NOTE:**  
Earthworks/cut-out dimensions may vary on site at builders/disposal. Downed drainage may vary from survey. All structures are to be constructed in accordance. Retaining not included in contract - retains owners responsibility. This survey does not guarantee the location of structures or fences or fences. Check title for easements and encumbrances.

**DISCLAIMER:**  
Survey does not include verification of cadastral boundaries. Survey is based on the cadastral information presented in existing maps & fences only which may not be on correct cadastral alignment. Any designs based on dependent on the location of existing features should be verified. Features located verified in relation to the true boundary.

**DISCLAIMER:**  
Due to lack of survey markings, all building effort should be based on the survey. Structures are to be positioned from existing pegs and fences and which may not be on the correct alignment are to be verified when repegged. Any design that involves the removal of structures shown or portion of structures remaining after any demolition has taken places requires boundaries to be repegged and exact points are produced for your design/rebuild before any structures are produced and before any work is started on site.

**DISCLAIMER:**  
Survey shows visible features only & will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal & mains services should be confirmed prior to finalisation of any design work.

**NOTE:**  
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**CLIENT NOTE:**

- DRAINWAY BY CLIENT
- RAINWATER TANK BY CLIENT

**CONCRETOR NOTE:**

- FULL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPENING.

**BRICKPAVER NOTE:**

- BRICK PAVING TO DRIVEWAYS (ANY AREA ONLY INDICATED AS PAVED) WITH CARPARK EXTENT AS INDICATED.
- WIDTHS OF BRICK PAVED PATHS TO BE APPROX. 1.0m WIDE UNLESS OTHERWISE INDICATED.
- MAINTAIN NOMINATED PAVING LEVELS FOR STORMWATER RUN OFF.

**RETAINING CONTRACTOR NOTE:**

- TOP OF WALL (TOW) INDICATED FOR CLARITY ONLY.
- REINFORCING BOTTOM OF CONCRETE IS EMBEDDED SUFFICIENTLY AS REQ. BY ENG. DETAIL.
- ALL RETAINING TO BE LIMESTONE BLOCKS.

**ELECTRICIAN NOTE:**

- PROVIDE 3 PHASE POWER

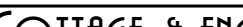
**PLUMBER NOTE:**

- CONNECT ALL DOWNPIPPES TO STORMWATER SOAKWELLS AS DRAINAGE REQUIREMENTS.
- PART 3.1.2 DRAINAGE: ALL STORMWATER & SURFACE WATER DRAINAGE TO COMPLY W/ A.S. 3500.3.2003, CLAUSE 3.1.2.1 & 3.1.2.5 B.C.A. 2003 & 2 LOCAL AUTHORITY REQUIREMENTS.
- REFLUX VALVE REQUIRED
- SEPTIC SYSTEM TO BE INSTALLED TO MEET SIRS REQUIREMENTS.
- PLUMBER TO CONFIRM SEPTIC TANK AND LEACH DRAIN SIZES REQUIRED
- HOW TO BE PLUMBED FROM RAINWATER TANK - RAINWATER TANK SUPPLIED AND INSTALLED BY OWNER.

## 1:20 YEAR STORM EVENT

Soak Well Type	No.	
SW 1200x1200	6	8.2 m3
Total Capacity		8.2 m3
Roof Area GF		480.0 m2
Total Area		480.0 m2
Capacity Required (Area x 0.0130)		6.2 m3
Extra Capacity		1.9 m3



 <p><b>COTTAGE &amp; ENGINEERING SURVEYS</b></p> <p>Licensed Surveyors ©</p> <p>87-89 Guthrie Street, Osborne Park, Western Australia. Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998 Email: <a href="mailto:info@cottage.com.au">info@cottage.com.au</a> Website: <a href="http://www.cottage.com.au">www.cottage.com.au</a></p>	AREA: 42517m <sup>2</sup>	ROAD DESCR.: BITUMEN	GAS: NO	SSA/OLD AREAS: OLD A.	UNLOADED SS PLAN:
	SHIRE: SERPENTINE-JARRAHDALE	KERBING: NIL	WATER: YES	CJOB# 452602	ORIGINAL LOT:
	D.PLAN: 33113	FOOTPATH: NIL	ELECTRICITY: O/H	DATE: 26 APRIL 19	LOT MISCLOSE: 0.037m
	C/T VOLUME: 1757	SOIL: SAND	PHCOMMS: YES	SCALE: 1:200	SSL 1 MISCLOSE:-
	FOLIO: 961	DRAINAGE: GOOD	SEWER: NO	DRAWN: B. SALIBA	SSL 2 MISCLOSE:-
MSD REF: 524-3474	VEGETATION: LONG GRASS	COASTAL: NO			

DO NOT SCALE FROM THIS DRAWING  
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& notes prior to initiating works.  
Any discrepancies to be notified to the  
Site Supervisor without delay.  
ALL DIMENSIONS TO BRICKWORK.

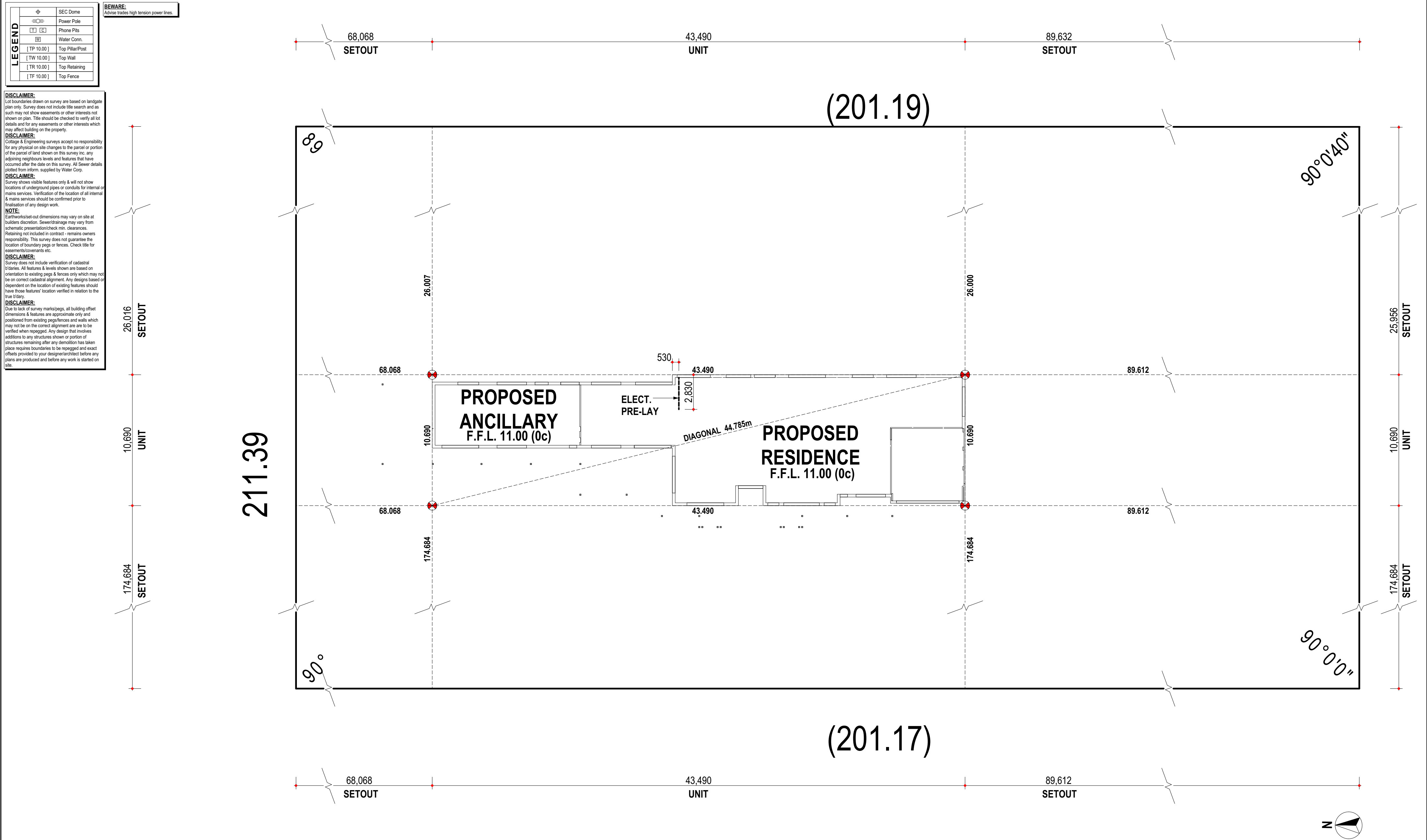
BUILDER: \_\_\_\_\_ / /  
CLIENT(S): \_\_\_\_\_ / /  
\_\_\_\_\_/ /  
WITNESS: \_\_\_\_\_ / /

PROPOSED RESIDENCE FOR:  
**ANTHONY**

ADDRESS:  
**LOT 4 (#995) NICHOLSON ROAD  
OAKEFORD**

DRAWN:	DMA	SCALE:	1:200	Issue Name	Drawn	Date	Issue Name	Drawn	Date
DESIGNED:	ALI	SHEET:	2 OF 2	V023	JS	8/05/20			
CHECKED:	JU	SIZE:	A2	V04	DMA	27/06/20			
				AMEND	DMA	17/06/20			
				JEL	DMA	24/06/20			
DATE:	27/08/19	PROJECTS		V007	DMA	01/07/20			
MODEL:		JOB N°							
YARRA - MODIFIED		157403		SITE PLAN					





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Email: perth@cottage.com.au Website: www.cottage.com.au

AREA:	42517m <sup>2</sup>	ROAD DESCR.:	BITUMEN	GAS:	NO	SSA/OLD AREAS:	OLD A.	UNLODGED SS PLAN:
SHIRE:	SERPENTINE-JARRAHDAL	KERBING:	NIL	WATER:	YES	C/JOB#:	452602	ORIGINAL LOT:
D.PLAN:	33113	FOOTPATH:	NIL	ELECTRICITY:	OIH	DATE:	26 APRIL 19	LOT MISCLOSE:
C/T VOLUMN:	1757	SOIL:	SAND	PH/COMMS:	YES	SCALE:	1:200	SSL 1 MISCLOSE:-
FOLIO:	961	DRAINAGE:	GOOD	SEWER:	NO	DRAWN:	B. SALIBA	SSL 2 MISCLOSE:-
MSD REF:	524-34/74	VEGETATION:	LONG GRASS	COASTAL:	NO			

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ALL DIMENSIONS TO BRICKWORK.

BUILDER: \_\_\_\_\_ / /  
CLIENT(S): \_\_\_\_\_ / /  
WITNESS: \_\_\_\_\_ / /

PROPOSED RESIDENCE FOR:  
**ANTHONY**

ADDRESS:  
LOT 4 (#995) NICHOLSON ROAD  
OAKFORD





DRAWN:	DMA	SCALE:	1:200	Issue Name	Drawn	Date	Issue Name	Drawn	Date
DESIGNED:	ALI	SHEET:	3 OF 12	V02/3	JS	8/05/20			
CHECKED:	JUS	SIZE:	A2	V04	DMA	27/05/20			
DATE:	27/08/19	PROJECTS		JEL	DMA	24/06/20			
MODEL:		JOB N°		V007	DMA	01/07/20			
YARRA - MODIFIED		157403							

SETOUT PLAN



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<b>LEGEND</b>		SEC Dome
		Power Pole
		Phone Pits
		Water Conn.
	[ TP 10.00 ]	Top Pillar/Post
	[ TW 10.00 ]	Top Wall
	[ TR 10.00 ]	Top Retaining
	[ TF 10.00 ]	Top Fence

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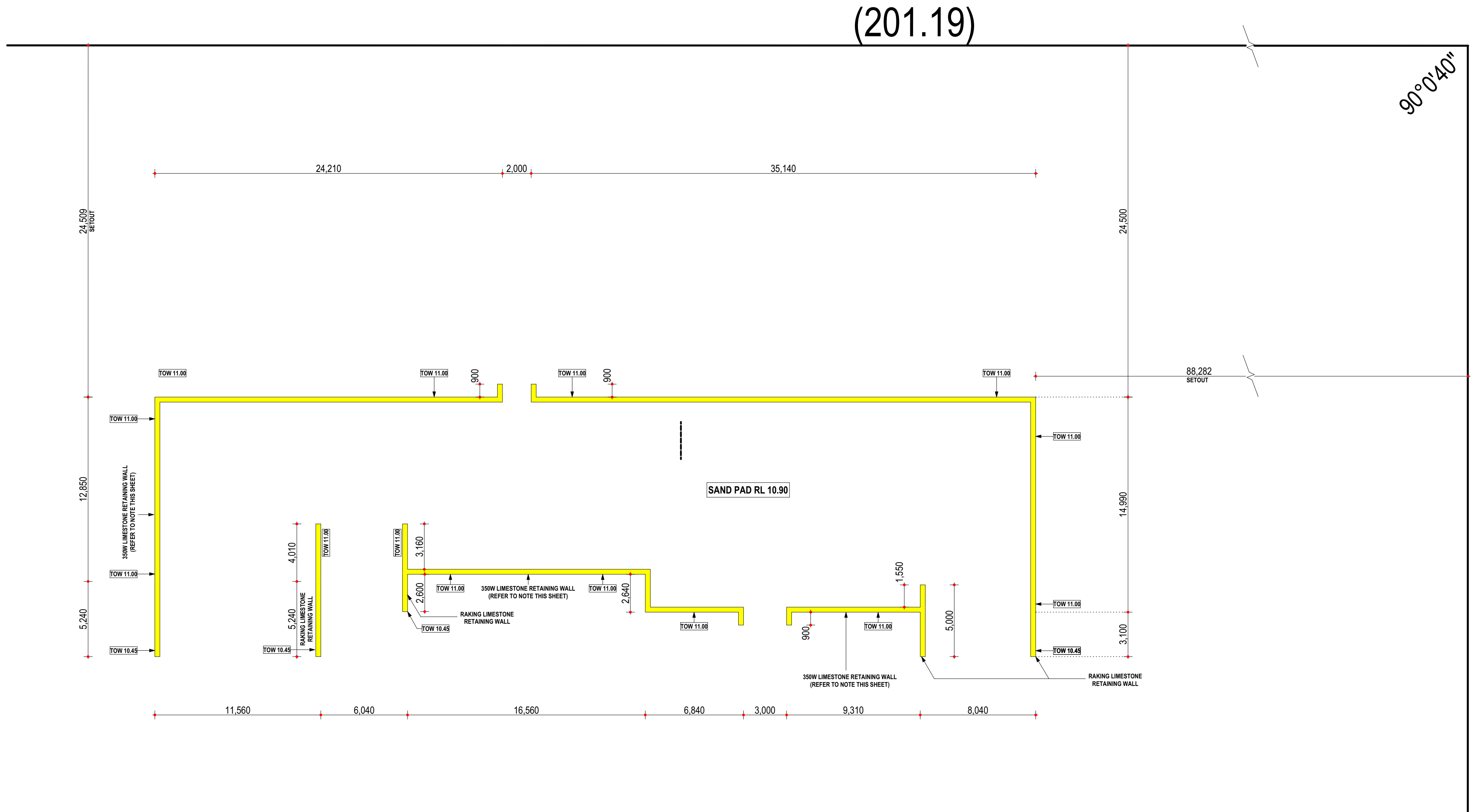
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SURVEYS**

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Email : perth@cottage.com.au Website: www.cottage.com.au

AREA: 42517m²	ROAD DESCR.: BITUMEN	GAS: NO	SSA/OLD AREAS: OLD A.	UNLOGGED SS PLAN:
SHIRE: SERPENTINE-JARRAHDALE	KERBING: NIL	WATER: YES	C/O/OB: 452602	ORIGINAL LOT:
D.PLAN: 33113	FOOTPATH: NIL	ELECTRICITY: OH	DATE: 26 APRIL 19	LOT MISCLOSE: 0.037m
C/T VOLUM: 1757	SOIL: SAND	PH/COMMS: YES	SCALE: 1:200	SSL 1 MISCLOSE:-
FOLIO: 961	DRAINAGE: GOOD	SEWER: NO	DRAWN: B. SALIBA	SSL 2 MISCLOSE:-
MSD REF: 524-34/74	VEGETATION: LONG GRASS	COASTAL: NO		

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ALL DIMENSIONS TO BRICKWORK.

BUILDER: \_\_\_\_\_ / /  
CLIENT(S): \_\_\_\_\_ / /  
\_\_\_\_\_/ /  
WITNESS: \_\_\_\_\_ / /

PROPOSED RESIDENCE FOR:  
ANTHONY

ADDRESS:  
LOT 4 (#995) NICHOLSON ROAD  
OAKFORD

DRAWN:	DMA	SCALE:	1:200
DESIGNED:	ALI	SHEET:	4 OF 12
CHECKED:	JUS	SIZE:	A2
DATE:	27/08/19	PROJECTS	
MODEL:		JOB N°	
YARRA - MODIFIED		157403	

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V02/3	JIS	8/05/20			
V04	DMA	27/05/20			
JEL	DMA	24/06/20			
V007	DMA	01/07/20			

RETAINING WALL SETOUT PLAN







**- COLORBOND ROOF, PITCH VARIES REFER TO ELEVATIONS**

- STEEL ROOF IN ACCORDANCE TO NASH STANDARD  
- CEILING AT 31' & PLATE LINESS NOTED OTHERWISE

- SHADED WINDOWS INDICATES OBSCURE GLAZING

- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288



BUILDER: / /

CLIENT(S): / /

/ /

WITNESS: / /

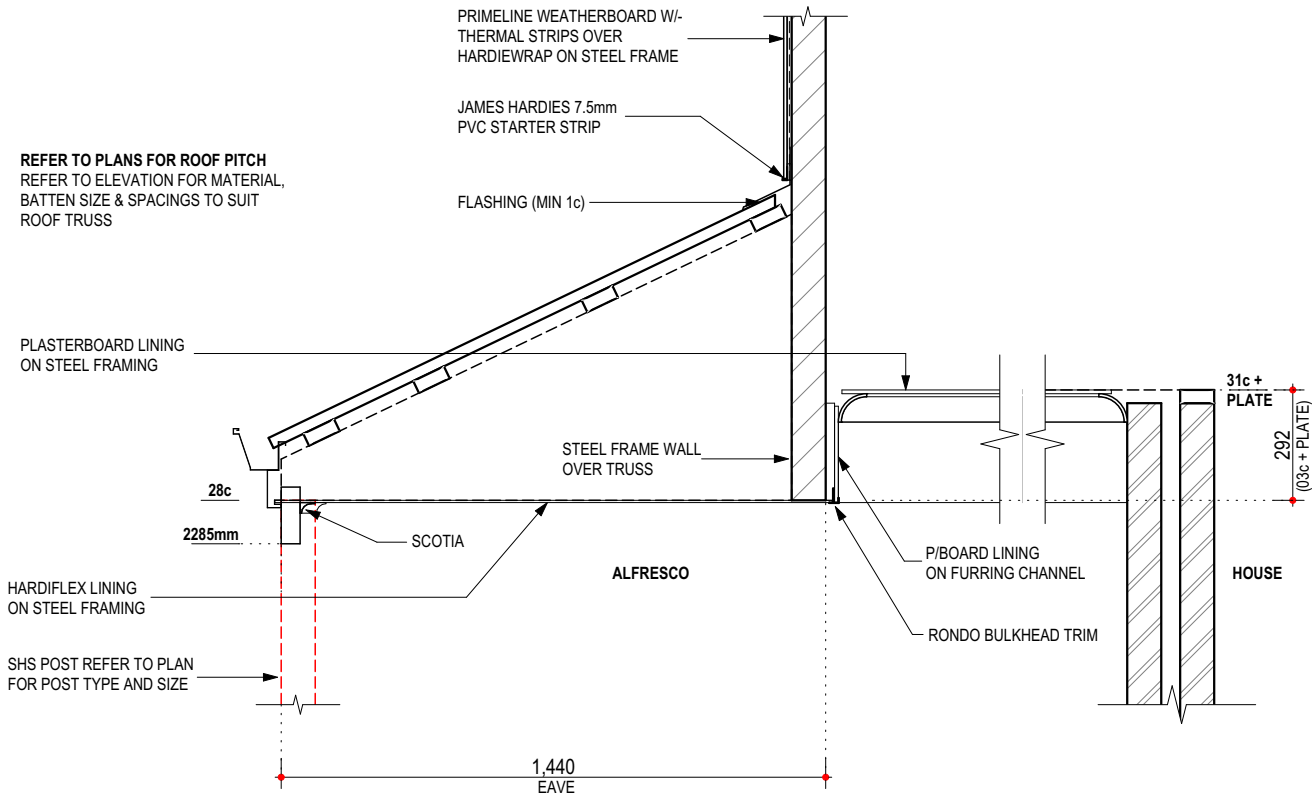
PROPOSED RESIDENCE FOR:  
ANTHONY

ADDRESS:  
LOT 4 (#995) NICHOLSON ROAD  
OAKFORD

DRAWN:	DMA	SCALE	1:100		Issue Name	Date
DESIGNED:	AU	SHEET:	6 OF 12		V028	8/26/2021
CHECKED:	JUS	SIZE:	AZ		JEL	2/4/2022
DATE:	27/08/19				DMA	01/07/2022
MODEL:		PROJECTS				
		JOB N°				
YARRA - MODIFIED		157403				
		ELEVATIONS				

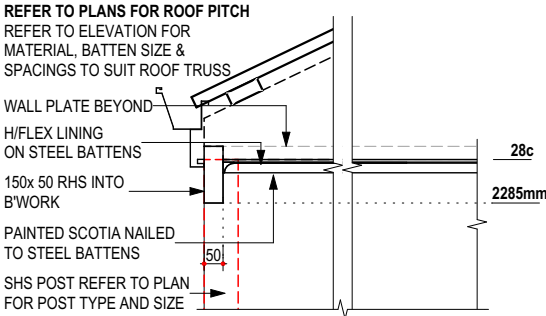
Issue Name	Drawn	Date	Issue Name	Drawn	Date
V023	JS	8/05/20			
V04	DMA	27/05/20			
JEL	DMA	24/06/20			
V007	DMA	01/07/20			

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ALL DIMENSIONS TO BRICKWORK.



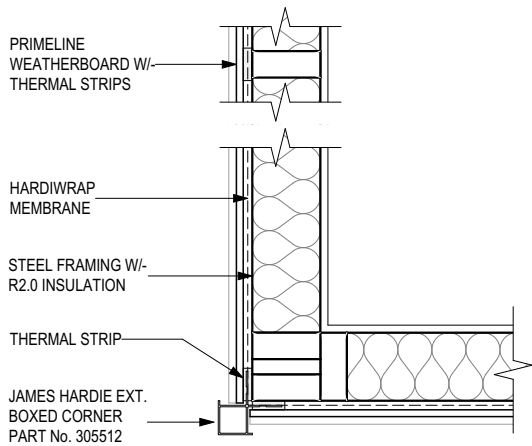
**D01 - 3c RECESSED CEILING TO ALFRESCO W/- FRAMED WALL OVER**

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
  - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
  - SCALE 1 : 20



**D02 - PORCH / VERANDAH / CARPORT CEILING**

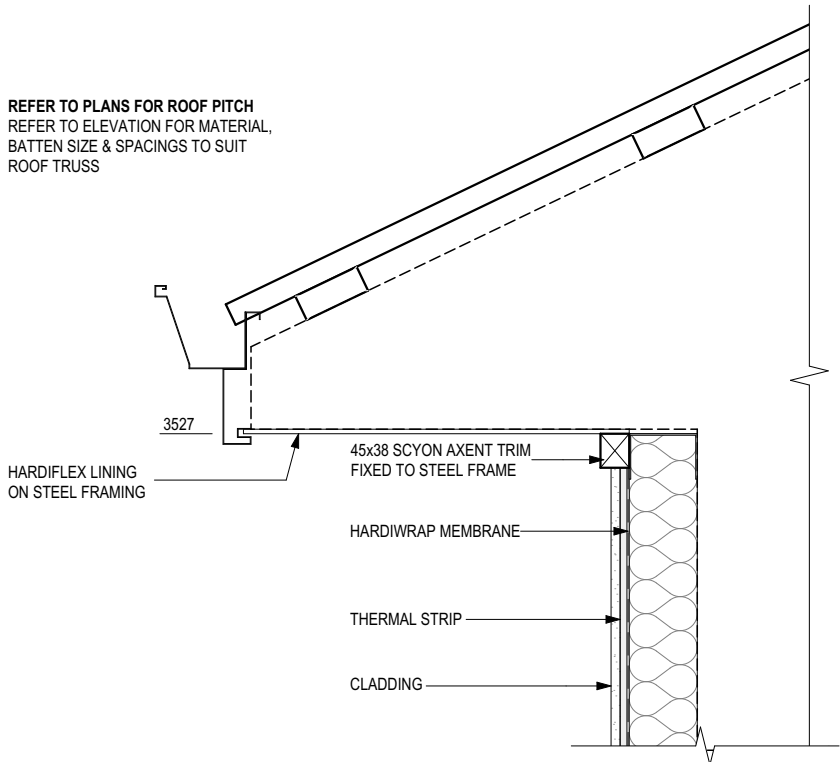
- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS
  - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
  - SCALE 1 : 20



**PRIMELINE WEATHERBOARD CLADDING  
(PLAN VIEW EXTERNAL CORNER)**

- NOTES:**
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
  - REFER TO ADDENDUM FOR CLADDING SPECIFICATION
  - SCALE 1 : 10

REFER TO PLANS FOR ROOF PITCH  
REFER TO ELEVATION FOR MATERIAL,  
BATTEN SIZE & SPACINGS TO SUIT  
ROOF TRUSS



**PRIMELINE WEATHERBOARD CLADDING TO EAVE**

- NOTES:**
- REFER TO ENG. DWGS. FOR TIE DOWN & BULKHEAD DETAILS
  - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
  - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
  - REFER TO ADDENDUM FOR CLADDING SPECIFICATION
  - SCALE 1 : 10

BUILDER:	_____
CLIENT(S):	_____
WITNESS:	_____

PROPOSED RESIDENCE FOR:  
**ANTHONY**

ADDRESS:  
**LOT 4 (#995) NICHOLSON ROAD  
OAKFORD**

DRAWN: DMA  
DESIGNED: ALI  
CHECKED: JUS  
DATE: 27/08/19  
MODEL: YARRA - MODIFIED

SCALE: AS NOTED  
SHEET: 7 OF 12  
SIZE: A3  
PROJECTS  
JOB N° 157403

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V02/3	JS	8/05/20			
V04	DMA	27/05/20			
JEL	DMA	24/06/20			
V007	DMA	01/07/20			

DETAILS





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Supervisor without delay.  
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REFER TO ADDENDUM FOR FITOUT SPECIFICATION

WET AREAS CONSTRUCTED IN ACCORDANCE WITH  
PART 3.8.1 OF B.C.A. (VOL 2)

**BENCHTOP NOTE**

- LOCATION OF JOINTS TO BENCHTOPS TO BE AT CABINET  
MAKERS/STONE MASON'S DISCRETION

**WALL FINISH NOTE**

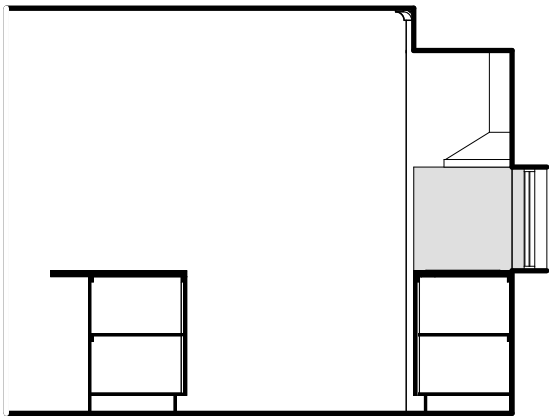
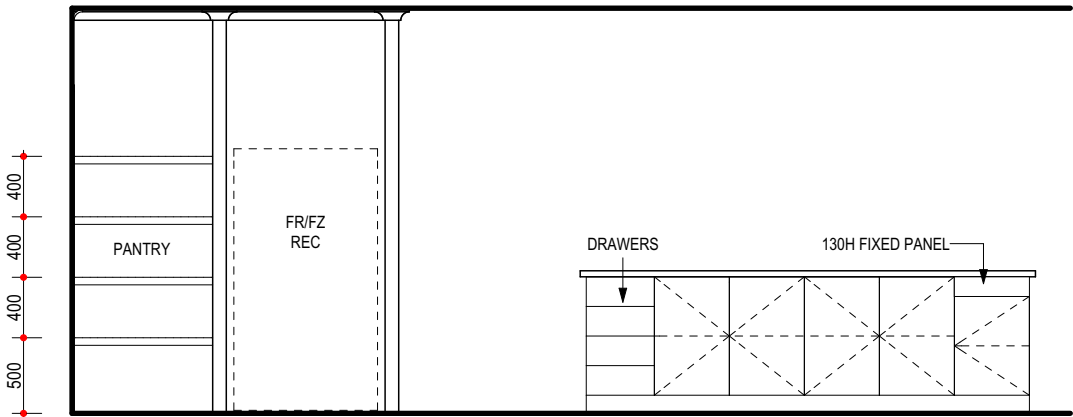
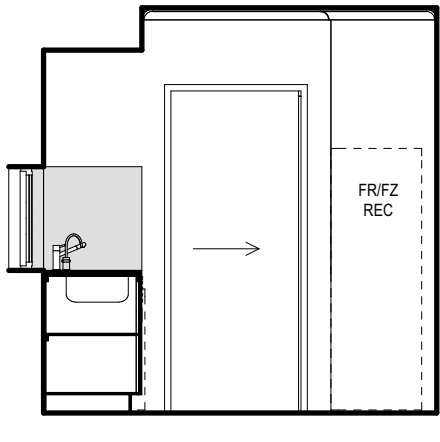
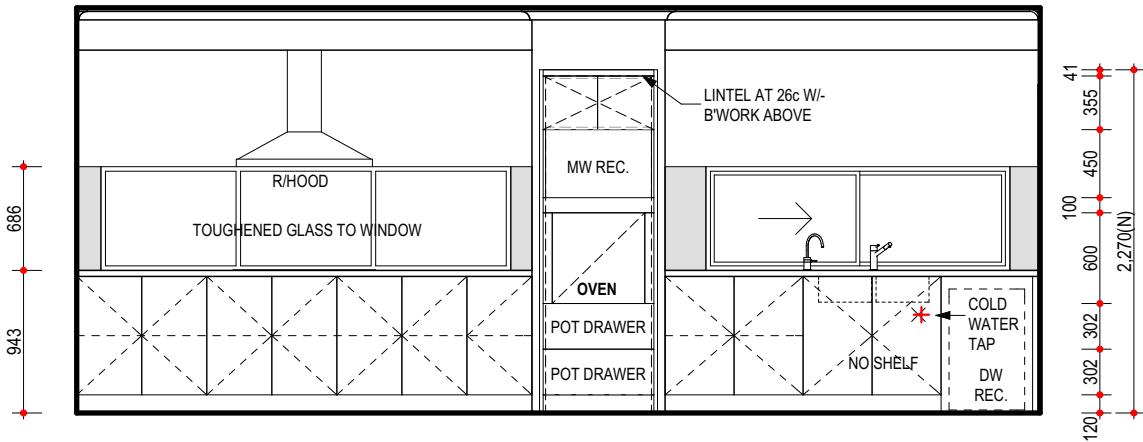
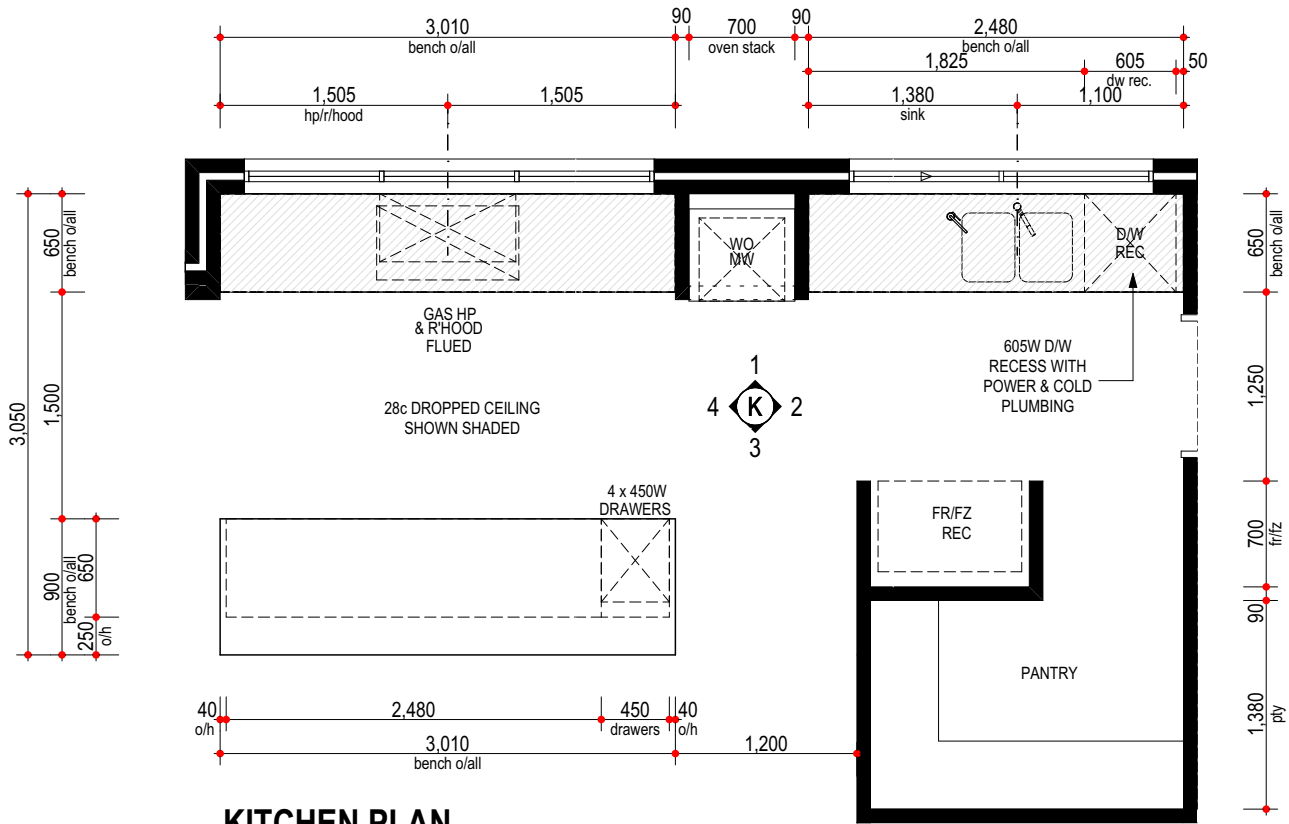
- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES  
WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL  
FINISHES

**CABINETMAKER NOTE**

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

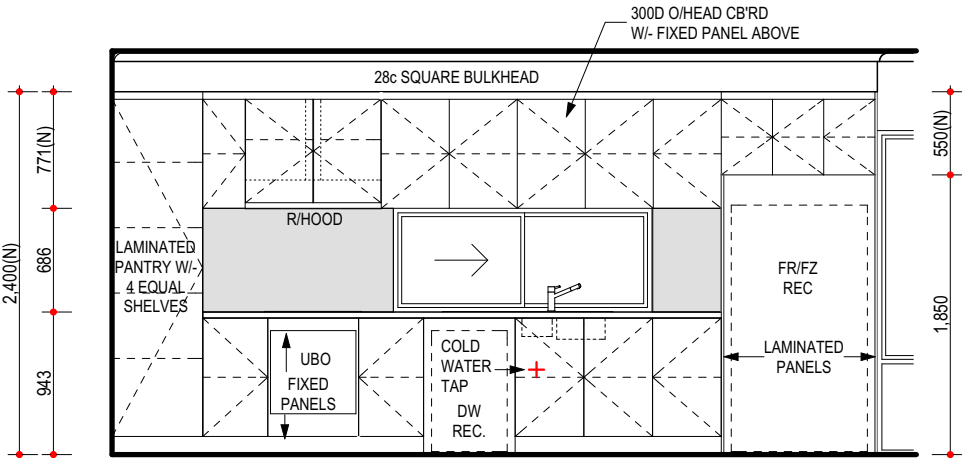
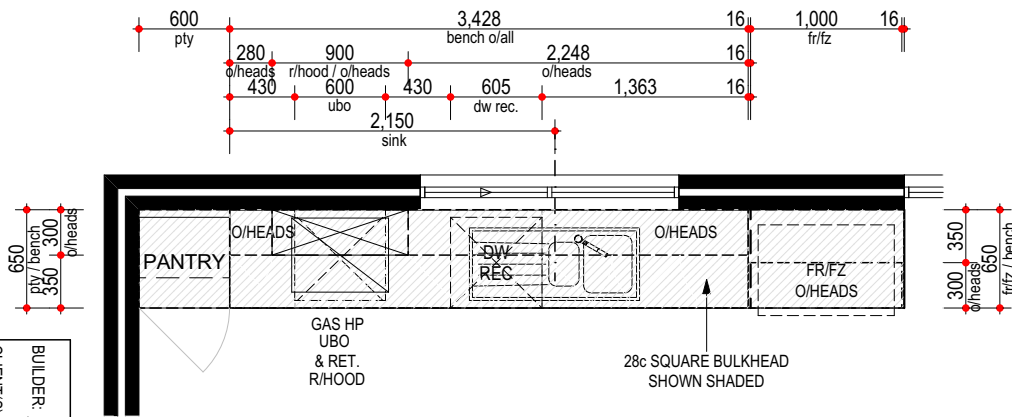
**TILER NOTE**

- SHADING DENOTES EXTENT OF TILING  
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE  
SELECTION SHEET  
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT  
OF WORKS TO VERIFY LOCATION OF TILES



**K3 VIEW**

**K4 VIEW**



**K5 VIEW**

WITNESS: \_\_\_\_\_

CLIENT(S): \_\_\_\_\_

BUILDER: \_\_\_\_\_

PROPOSED RESIDENCE FOR:  
**ANTHONY**

ADDRESS:  
**LOT 4 (#995) NICHOLSON ROAD  
OAKFORD**

DRAWN: DMA  
DESIGNED: ALI  
CHECKED: JUS  
DATE: 27/08/19  
MODEL: YARRA - MODIFIED

SCALE: 1:50  
SHEET: 8 OF 12  
SIZE: A3  
PROJECTS  
JOB N° 157403

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V02/3	JS	8/05/20			
V04	DMA	27/05/20			
JEL	DMA	24/06/20			
V007	DMA	01/07/20			

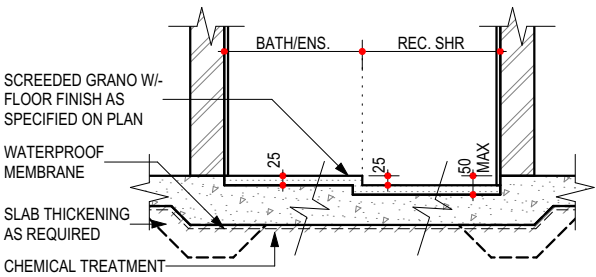
ROOM LAYOUTS



**SUMMIT**  
HOMES GROUP

BUILD | RENOVATE | DEVELOP





RECESSED SHOWER DETAIL (NO HOB)

- NOTES:
- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
  - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
  - SCALE 1 : 20

BENCHTOP NOTE

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

WALL FINISH NOTE

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

CABINETMAKER NOTE

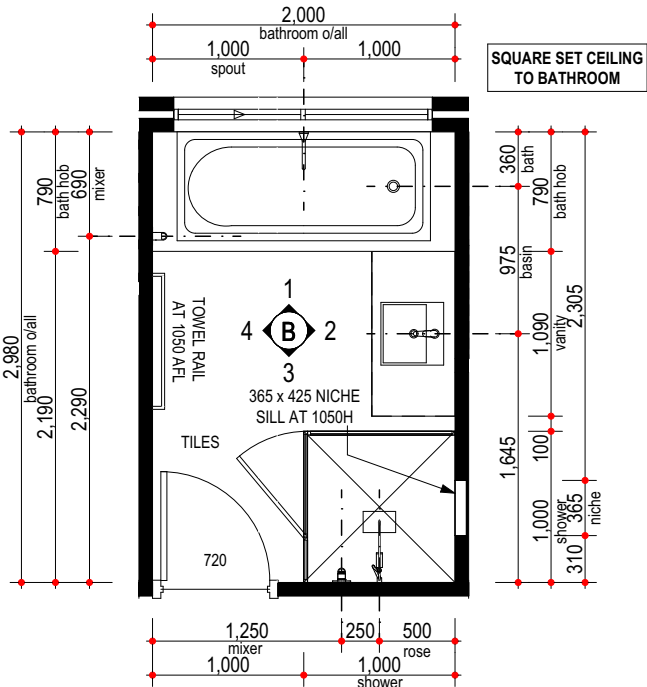
- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

TILER NOTE

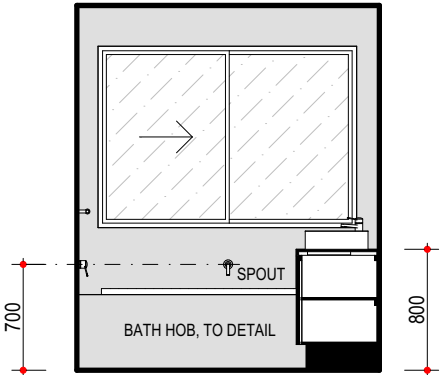
- SHADING DENOTES EXTENT OF TILING
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES

DO NOT SCALE FROM THIS DRAWING  
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.  
ALL DIMENSIONS TO BRICKWORK.

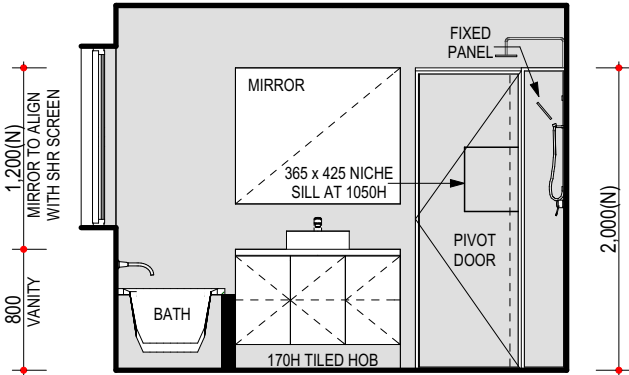
REFER TO ADDENDUM FOR FITOUT SPECIFICATION  
WET AREAS CONSTRUCTED IN ACCORDANCE WITH PART 3.8.1 OF B.C.A. (VOL 2)



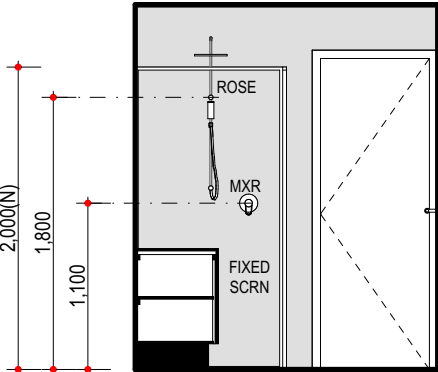
BATH PLAN



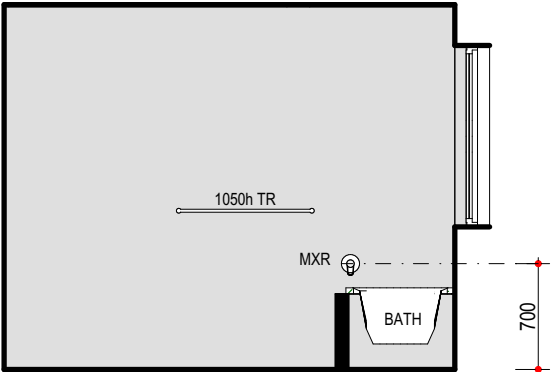
B1 VIEW



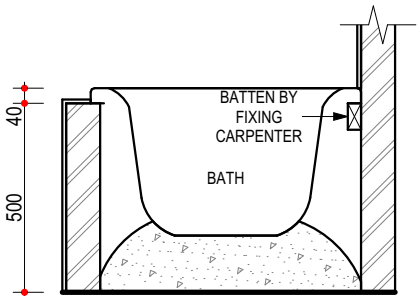
B2 VIEW



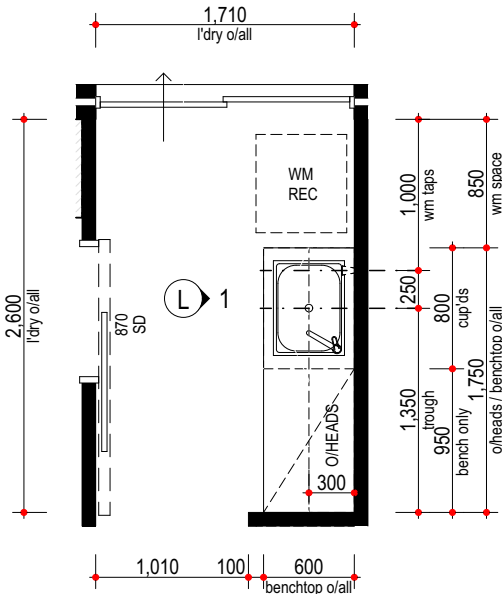
B3 VIEW



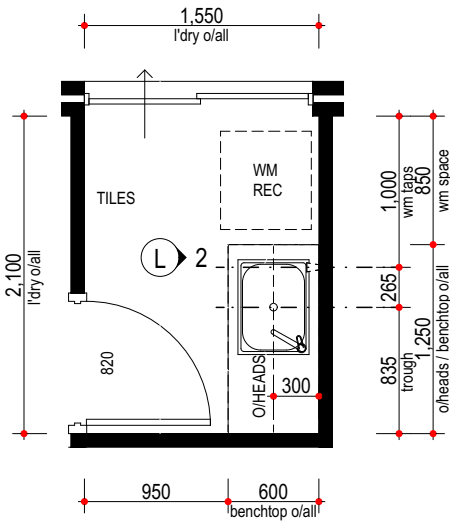
B4 VIEW



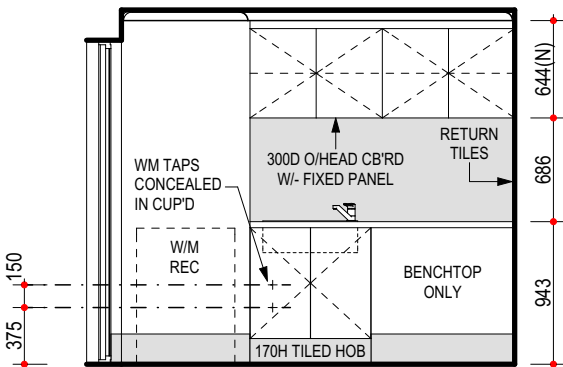
TYPICAL BATH HOB SECTION  
- SCALE 1 : 20



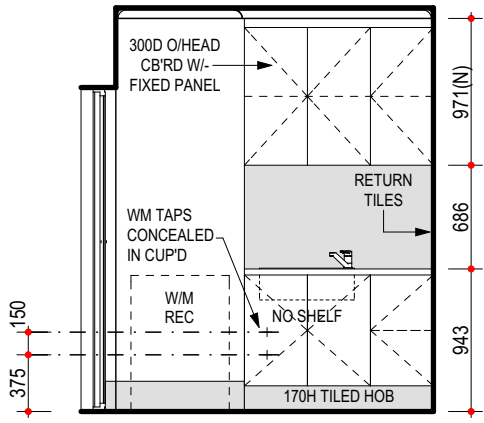
L'DRY-1 PLAN



L'DRY-2 PLAN



L1 VIEW



L2 VIEW

WITNESS: \_\_\_\_\_

CLIENT(S): \_\_\_\_\_

BUILDER: \_\_\_\_\_

PROPOSED RESIDENCE FOR:  
**ANTHONY**

ADDRESS:  
**LOT 4 (#995) NICHOLSON ROAD  
OAKFORD**

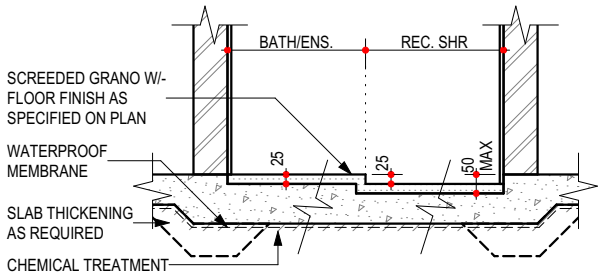
DRAWN: DMA  
DESIGNED: ALI  
CHECKED: JUS  
DATE: 27/08/19  
MODEL: YARRA - MODIFIED

SCALE: 1:50  
SHEET: 9 OF 12  
SIZE: A3  
PROJECTS  
JOB N° 157403

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V02/3	JS	8/05/20			
V04	DMA	27/05/20			
JEL	DMA	24/06/20			
V007	DMA	01/07/20			

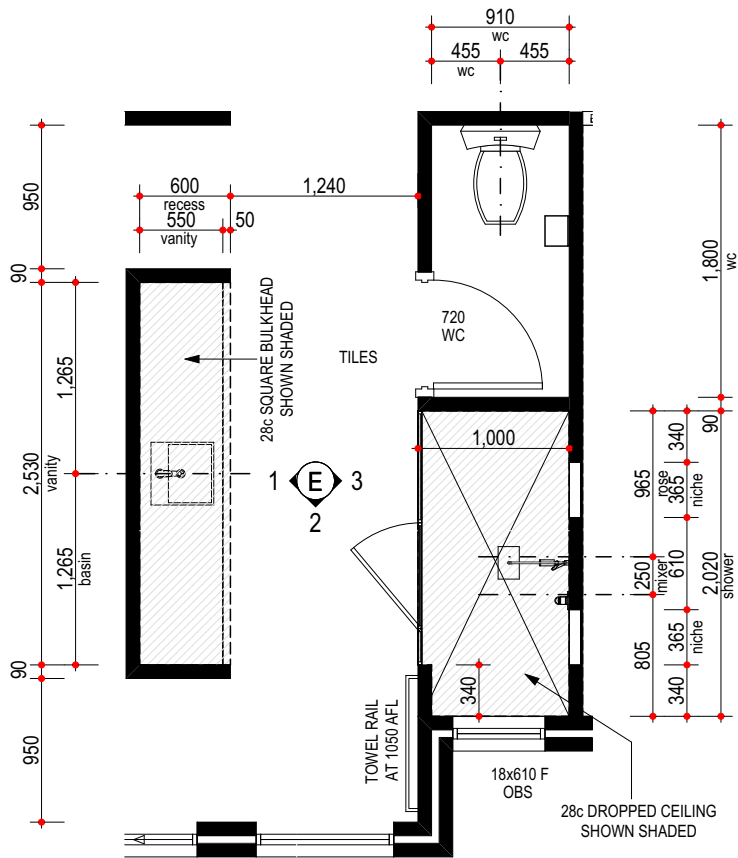
ROOM LAYOUTS



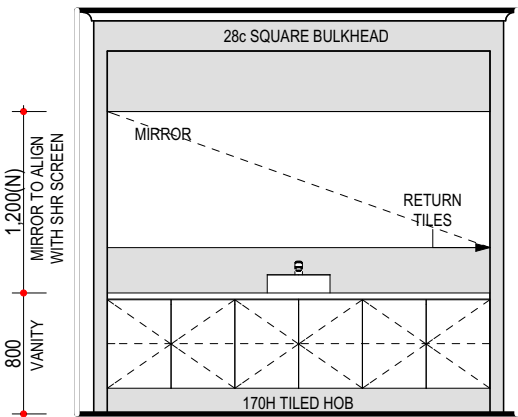


### RECESSED SHOWER DETAIL (NO HOB)

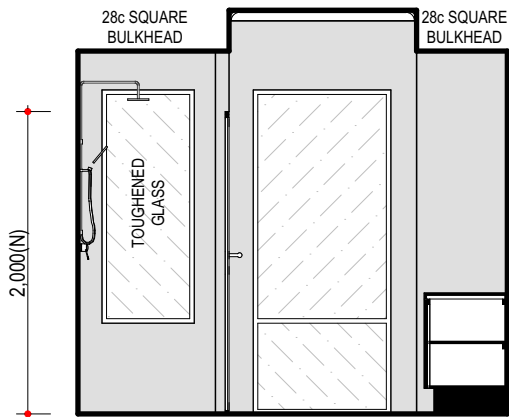
- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
  - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
  - SCALE 1 : 20



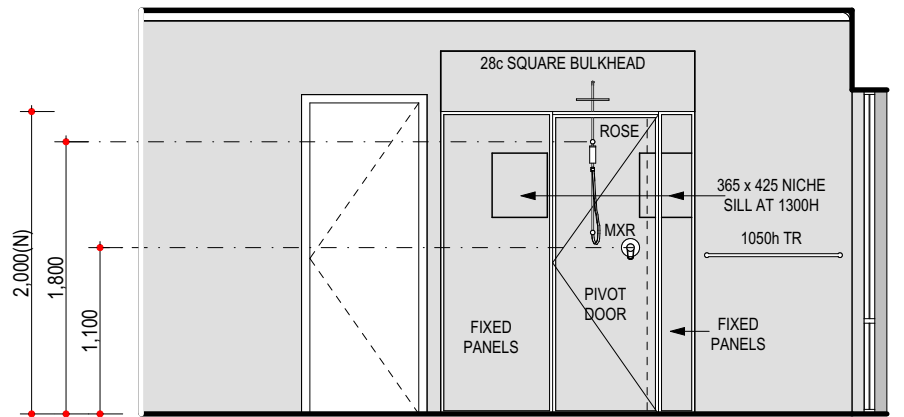
### ENSUITE -1 PLAN



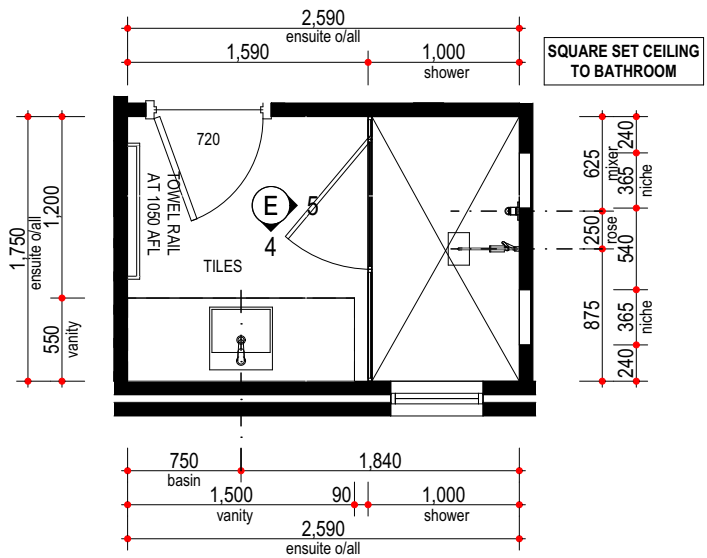
#### E1 VIEW



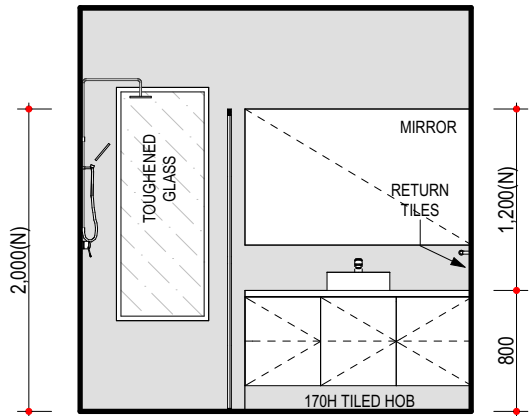
#### E2 VIEW



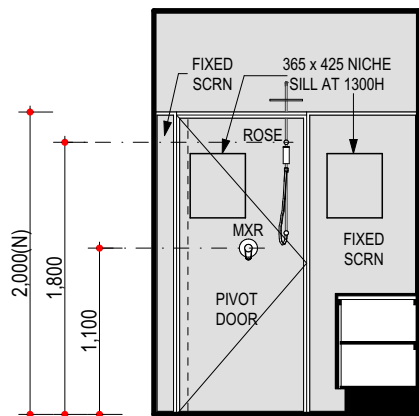
#### E3 VIEW



### ENSUITE -2 PLAN



#### E4 VIEW



#### E5 VIEW

**DO NOT SCALE FROM THIS DRAWING**  
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.  
**ALL DIMENSIONS TO BRICKWORK.**

REFER TO ADDENDUM FOR FITOUT SPECIFICATION  
WET AREAS CONSTRUCTED IN ACCORDANCE WITH PART 3.8.1 OF B.C.A. (VOL 2)

#### BENCHTOP NOTE

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#### CABINETMAKER NOTE

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

#### TILER NOTE

- SHADING DENOTES EXTENT OF TILING
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES

BUILDER:	
CLIENT(S):	
WITNESS:	

PROPOSED RESIDENCE FOR:  
**ANTHONY**

ADDRESS:  
**LOT 4 (#995) NICHOLSON ROAD  
OAKFORD**

DRAWN: DMA  
DESIGNED: ALI  
CHECKED: JUS  
DATE: 27/08/19  
MODEL: YARRA - MODIFIED

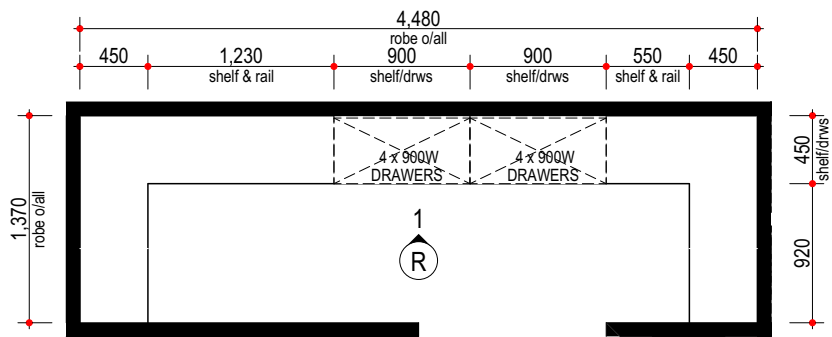
SCALE: 1:50  
SHEET: 10 OF 12  
SIZE: A3  
PROJECTS  
JOB N° 157403

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V02/3	JS	8/05/20			
V04	DMA	27/05/20			
JEL	DMA	24/06/20			
V007	DMA	01/07/20			

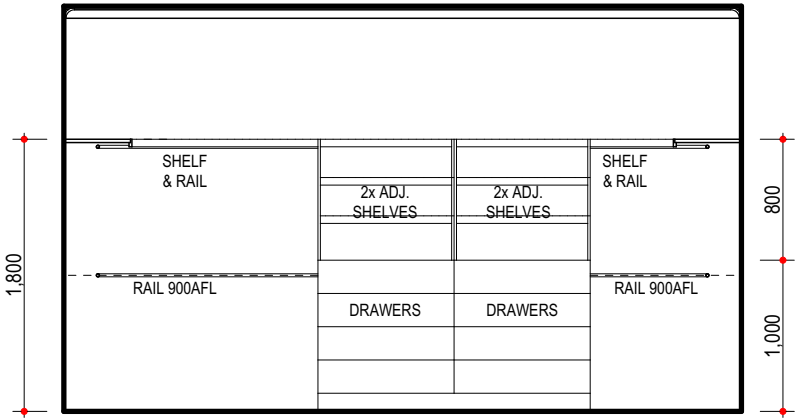
ROOM LAYOUTS



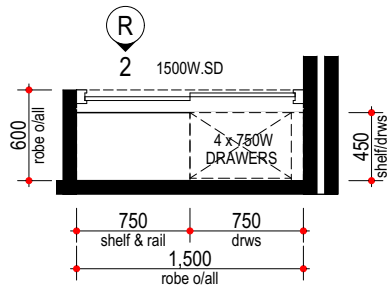
DO NOT SCALE FROM THIS DRAWING  
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ALL DIMENSIONS TO BRICKWORK.



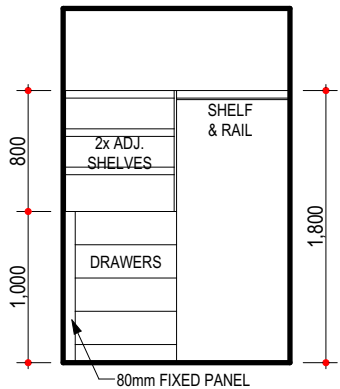
**BED 1 WIR PLAN**



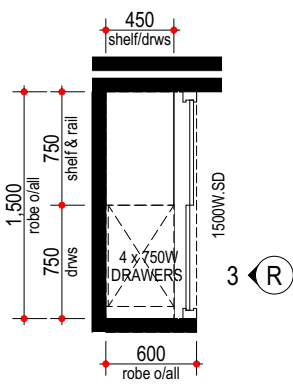
**R1 VIEW**



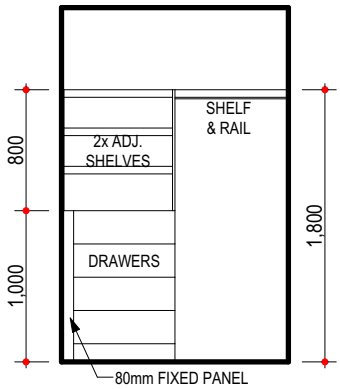
**BED 2 ROBE PLAN**



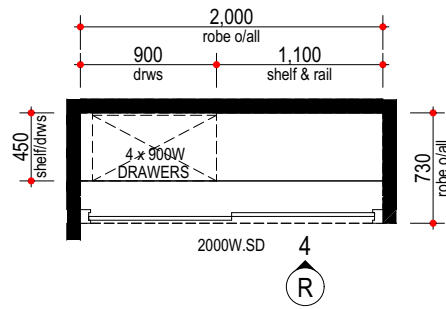
**R2 VIEW**



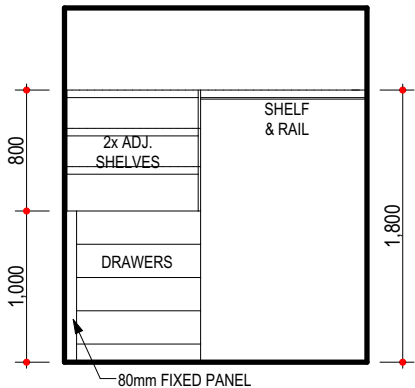
**BED 3 ROBE PLAN**



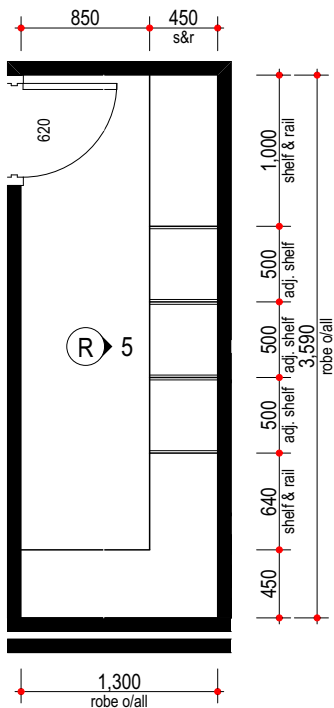
**R3 VIEW**



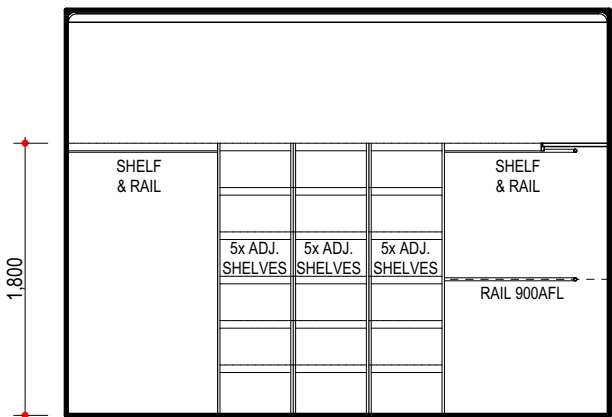
**BED 4 ROBE PLAN**



**R4 VIEW**



**ANCILLARY WIR PLAN**



**R5 VIEW**

BUILDER:	_____
CLIENT(S):	_____
WITNESS:	_____

PROPOSED RESIDENCE FOR:  
**ANTHONY**

ADDRESS:  
**LOT 4 (#995) NICHOLSON ROAD  
OAKFORD**

DRAWN: DMA  
DESIGNED: ALI  
CHECKED: JUS  
DATE: 27/08/19  
MODEL: YARRA - MODIFIED

SCALE: 1:100  
SHEET: 11 OF 12  
SIZE: A3  
PROJECTS  
JOB N° 157403

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V02/3	JS	8/05/20			
V04	DMA	27/05/20			
JEL	DMA	24/06/20			
V007	DMA	01/07/20			

ROBE LAYOUTS

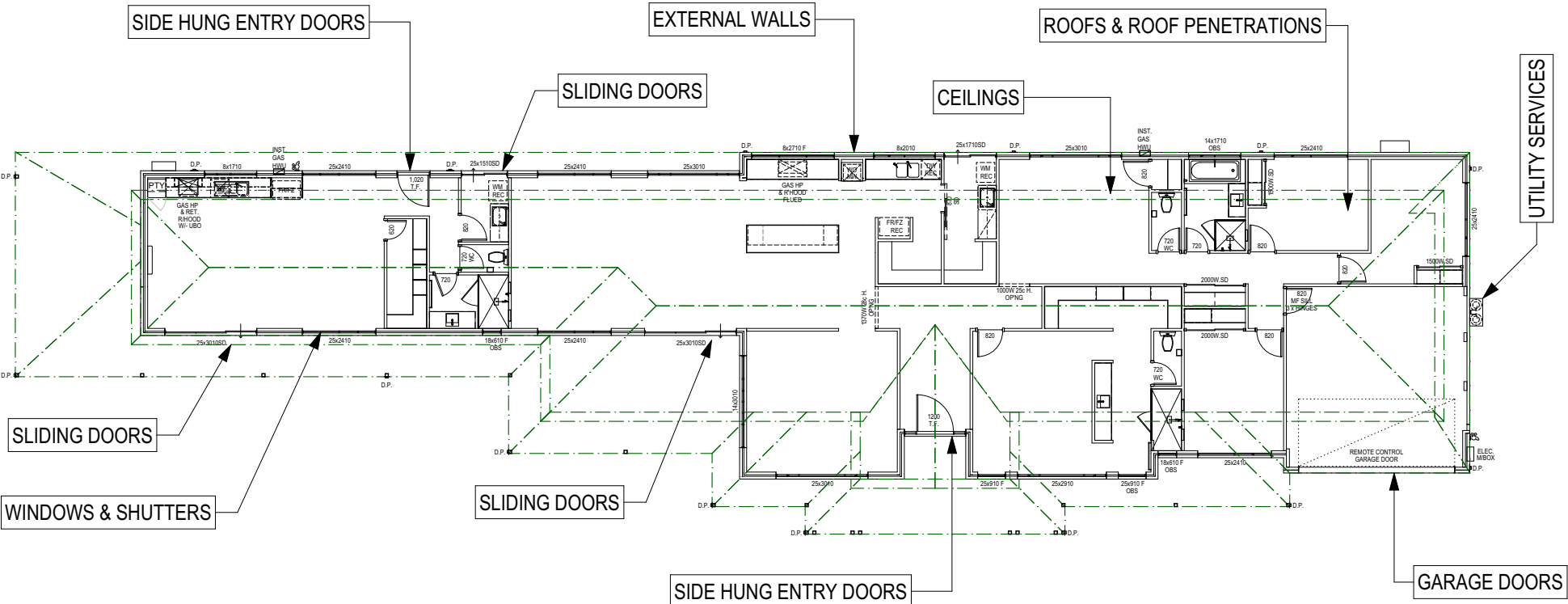






# BAL 12.5 TO NASH CONSTRUCTION

**SUPERVISOR NOTE:**  
- SPECIFIC BAL CONSTRUCTION REQUIREMENTS ARE NEEDED FOR THE BELOW INDICATED AREAS.  
- CONFIRM ALL APPROPRIATE CONSTRUCTION REQUIREMENTS ARE MET.



**NOTE:**  
- THIS PLAN **MUST BE READ IN CONJUNCTION** WITH THE PROVIDED CERTIFIED BAL CONSTRUCTION NOTES.  
- IF NOT PROVIDED OR AVAILABLE CONTACT THE OFFICE FOR A COPY.  
- FURTHER INFORMATION CAN BE FOUND BY CONSULTING THE NASH STANDARD - STEEL FRAMED CONSTRUCTION IN BUSHFIRE AREAS 2014.