

Licensed and Engineering Surveying Consultants

T (08) 9242 8247 E: admin@prowestsurveying.com.au F (08) 9242 8296 Web: www.prowestsurveying.com.au Po Box 1463 Osborne Park DC 6916 DWG# 2546001

⊚ ER

NOTES

Feature & Contour Survey of: Lot 1629, No. 71 Achilles Loop, ILUKA

BUILDER JOB # 18039

(1) ALL FEATURES IN GOOD CONDITION

(2) DEVELOPMENT AREA: NEW

CLIENT: SWART PLAN: DP 411177 LOT AREA: 708m² SURVEY DATE: 08/03/18 BUILDER: MY HOMES WA C/T Vol: 2936 Fol: 909 MAP REFERENCE:

REVISION: A

SHEET: 1 OF 1

900m

#Z

COASTAL ZONE:

AUTHORITY: CITY OF JOONDALUP HEIGHT CORRECTION TO AHD: NO SEWER INFORMATION: YES

HEIGHT DATUM: AHD

FEATURE SYMBOL LEGEND

POWER POWER POLE ⊙ PP CABLE DOME (P) CONSUMER ⊕ CP CABLE BOX **POLE POWER** EXPOSED **P** ₩ EC MARKER CABLES

EARTH

WATER

LIGHT POLE *LP

WATER FIRE METER / TAP HYDRANT (H) STOP VALVE SV ð TAP **FLUSHING** Ю́ FР RETIC VALVE [] RV POINT WATER MARKER **BORE**

SEWERAGE

SEWER M/H (SQUARE LID) SEWER M/H (ROUND LID) INSPECTION O IO INSPECTION O IS **OPENING** → HC HOUSE CONNECTION

TELSTRA

TELSTRA TELSTRA 6 M MANHOLE TELSTRA \Diamond MARKER

DRAINAGE

DRAIN M/H DRAIN M/H (SQUARE LID) (ROUND LID) SIDE DRAINAGE **FNTRY PIT GRATE** COMBINED DRAINAGE **ENTRY PIT**

GAS METER

PIPE GAS GAS VALVE \bowtie

O DP

⊚ GM GAS MARKER ➂

SURVEY MARKS

PEG FOUND PF O PEG GONE BENCH MARK + DRILL HOLE DH C NAIL & PLATE NPLO PM ⊙ PEN MARK

MISCELLANEOUS INFO.

STREET SIGN **(S)** SMALL TREE HEIGHT<5m OVERHEAD

POWER LINE

FENCE LINE ⊸⊸

SPOT HEIGHT , 5,100 **BIG TREE** Θ HEIGHT≽ 5m SEWER - S WINDOW / W

OPENING

SERVICE DETAILS

WATER: L OVERHEAD POWER: NS U/G POWER: L TELSTRA: L GAS: TBC SEWER: L

SERVICE NOTES

L: LOCATED NS: NO SERVICE A: AVAILABLE BUT NOT LOCATED TBC: LOCATION TO BE CONFIRMED

tbm nail 29.85m (AHD HEIGHT)

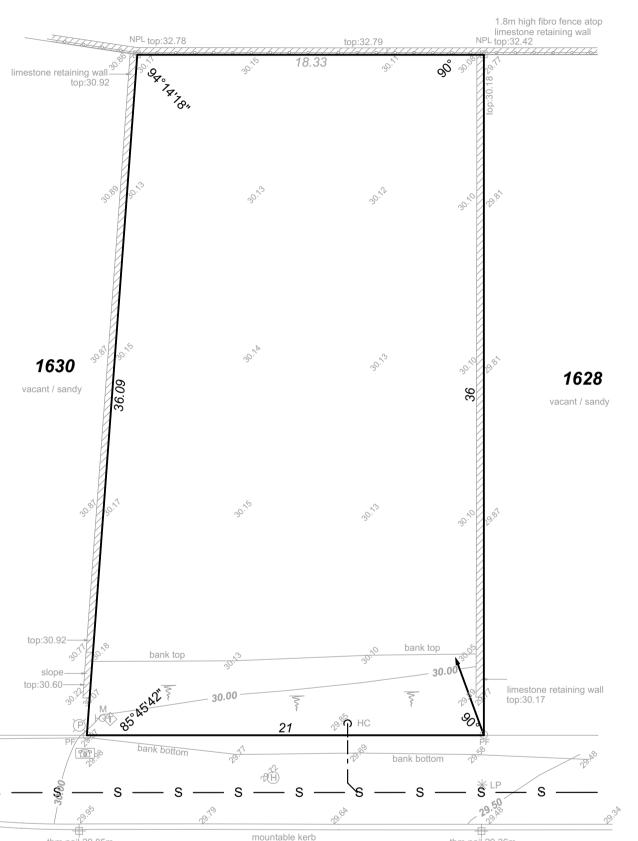
SEWER JUNCTION DETAILS

HOUSE CONNECTION (HC) IL: 27.75 **UP DISTANCE:** 1.4 DEPTH TO CONNECTION:

SCALE 1:200 AT A3 SIZE

9040

vacant / sandy



ACHILLES LOOP

tbm nail 29.36m

(AHD HEIGHT)

IMPORTANT FEATURE SURVEY NOTES

1. The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A repeg / bdy identification survey is recommended if an accurate position of features / improvements relative to the boundary is required

2. The sewer junction on this plan has been plotted using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.

3. The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plans. The final repegged dimensions may vary due to adjustments made during field survey.

4. All service information shown of this plan should be verified with the relevant authorities.

5. Pro West Surveying does not accept liability for any loss or damage caused by the use of this feature survey plan for any purpose.



WE TURN A HOUSE INTO A HOME 41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

Drawing Name: EXISTING SITE PLAN Job No:18039 **House Type: Custom** Sheet No: 1 of 20 Lot Address:LOT 1629 (#71) ACHILLES LOOP, ILUKA Council: JOONDALUP Specification: PEARL THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT **VARIATIONS** REV NO. VARIATION DATE DRN. BY Client Name: MARIUS ADRIAAN SWART WORKING DRAWINGS 28/03/2018 VN-SS Signature: MP 03/05/18 PRESTAR VN-JL 08/08/18 3 Client Name: MOYA SWART 4 VO 3 30/08/18 VN-KM 5 DRAFTING FIXES & VO 4 02/10/18 VN-FV Signature: 6 The home will be built to the dimensions on the This plan shall remain the sole property of the builder 8 and must not be given, lent, resold or otherwise working drawings within a reasonable tolerance disposed or copied without the permission in writing



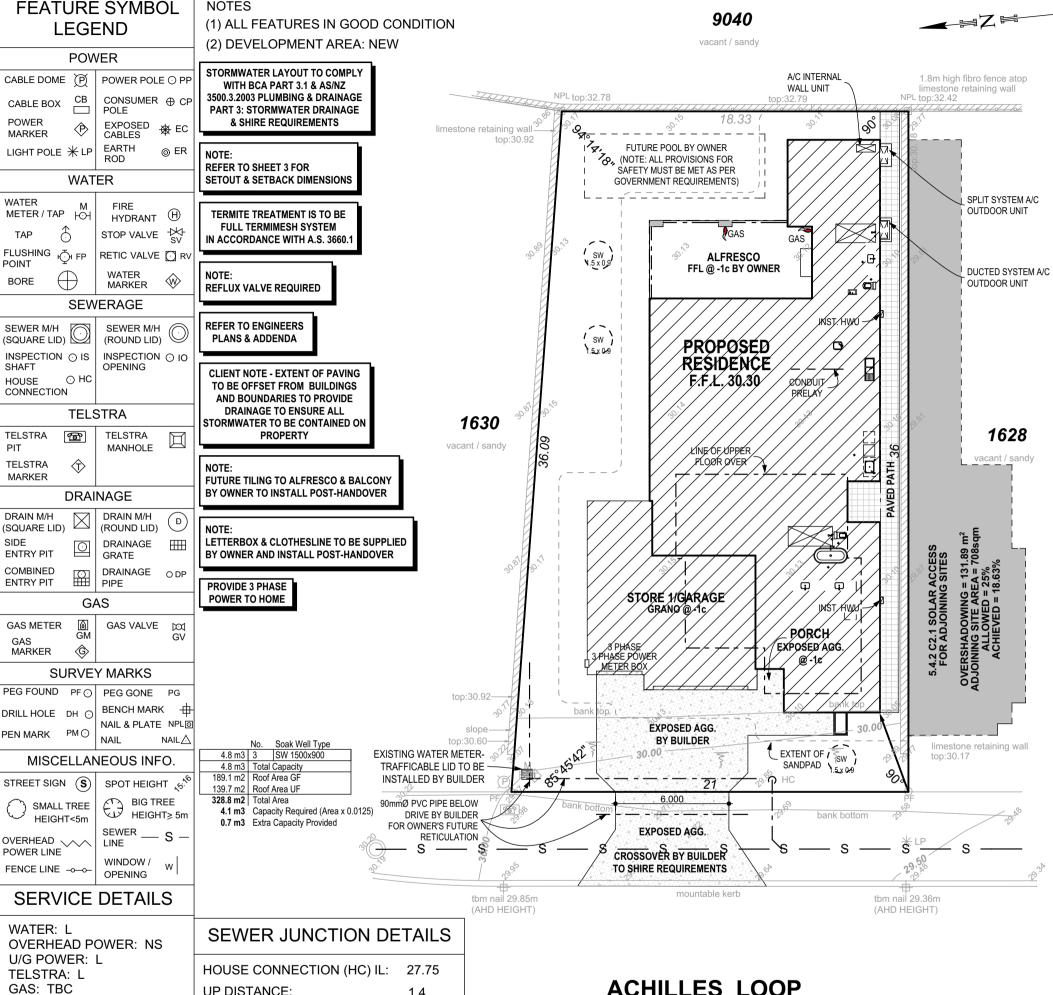
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DWG# 2546001

Feature & Contour Survey of: Lot 1629, No. 71 Achilles Loop, ILUKA

REVISION: A SHEET: 1 OF 1

CLIENT: SWART PLAN: DP 411177 LOT AREA: 708m² SURVEY DATE: 08/03/18 **BUILDER: MY HOMES WA** C/T Vol: 2936 Fol: 909 MAP REFERENCE: **BUILDER JOB # 18039** HEIGHT DATUM: AHD **COASTAL ZONE:** 900m AUTHORITY: CITY OF JOONDALUP SEWER INFORMATION: YES HEIGHT CORRECTION TO AHD: NO



GAS: TBC SEWER: L

SERVICE NOTES L: LOCATED NS: NO SERVICE A: AVAILABLE BUT NOT LOCATED

TBC: LOCATION TO BE CONFIRMED

UP DISTANCE: 1.4 DEPTH TO CONNECTION:

SCALE 1:200 AT A3 SIZE

IMPORTANT FEATURE SURVEY NOTES

1. The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A repea / bdv identification survey is recommended if an accurate position of features / improvements relative to the boundary is required.

2. The sewer junction on this plan has been plotted using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection 3. The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plans. The final repegged dimensions may vary due to adjustments made during field survey.

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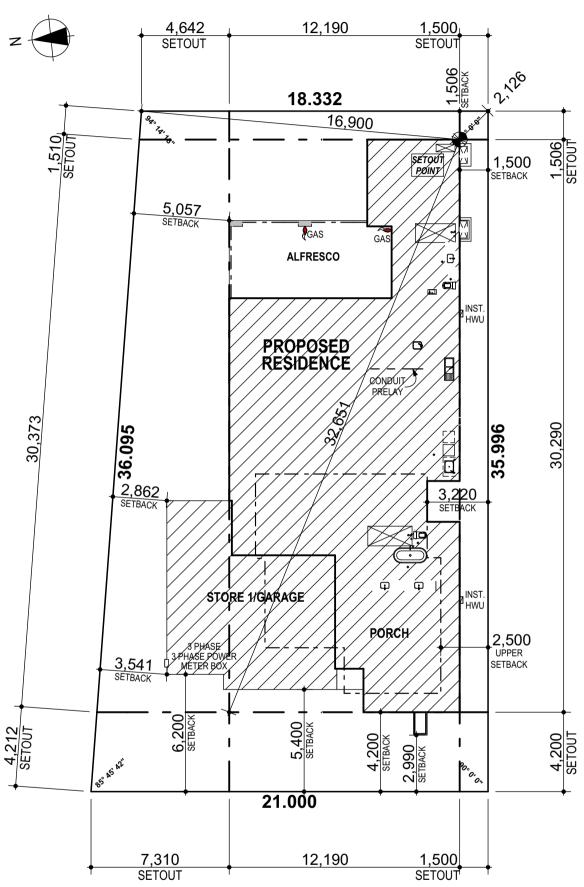


WE TURN A HOUSE INTO A HOME 41 cedric st., stirling

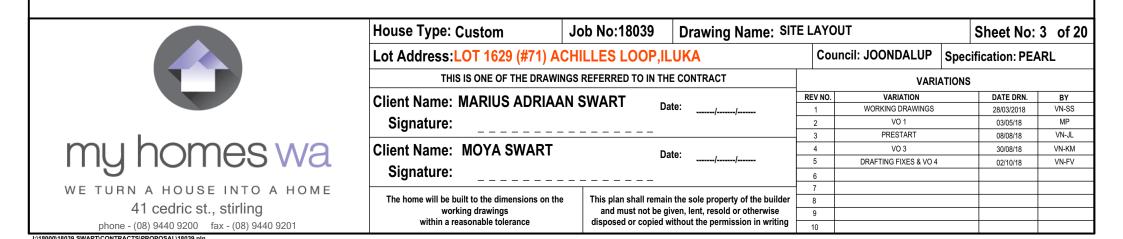
phone - (08) 9440 9200 fax - (08) 9440 9201

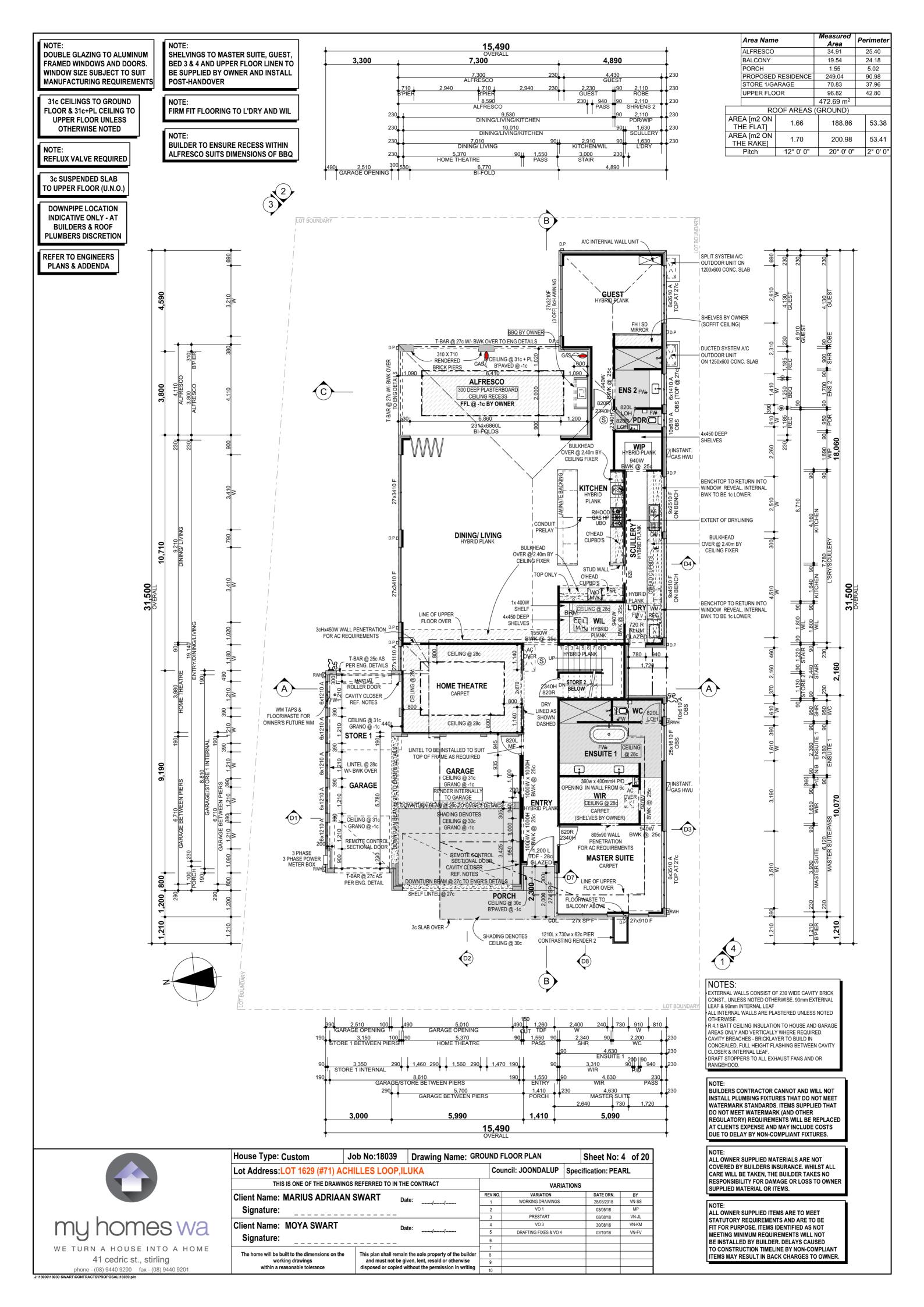
Drawing Name: SITE PLAN House Type: Custom Job No:18039 Sheet No: 2 of 20 Council: JOONDALUP Lot Address:LOT 1629 (#71) ACHILLES LOOP,ILUKA Specification: PEARL THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT **VARIATIONS** REV NO. VARIATION DATE DRN. BY Client Name: MARIUS ADRIAAN SWART WORKING DRAWINGS VN-SS 28/03/2018 MP Signature: 03/05/18 PRESTAR VN-JL 08/08/18 3 Client Name: MOYA SWART 4 VO 3 30/08/18 VN-KM 5 DRAFTING FIXES & VO 4 02/10/18 VN-FV Signature: 6 The home will be built to the dimensions on the This plan shall remain the sole property of the builder 8 working drawings and must not be given, lent, resold or otherwise 9 within a reasonable tolerance disposed or copied without the permission in writing

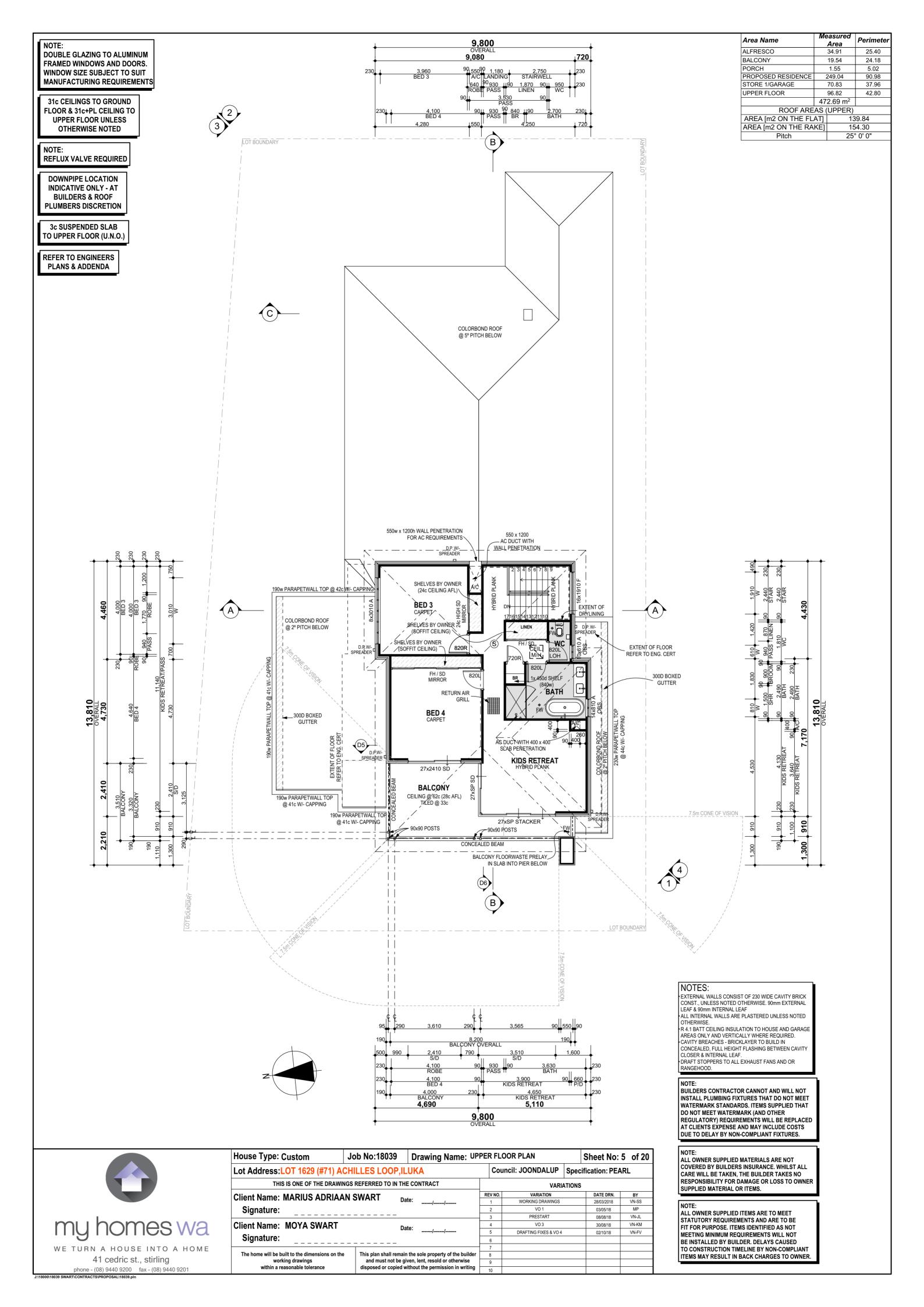
(bitumen)



Site Layout





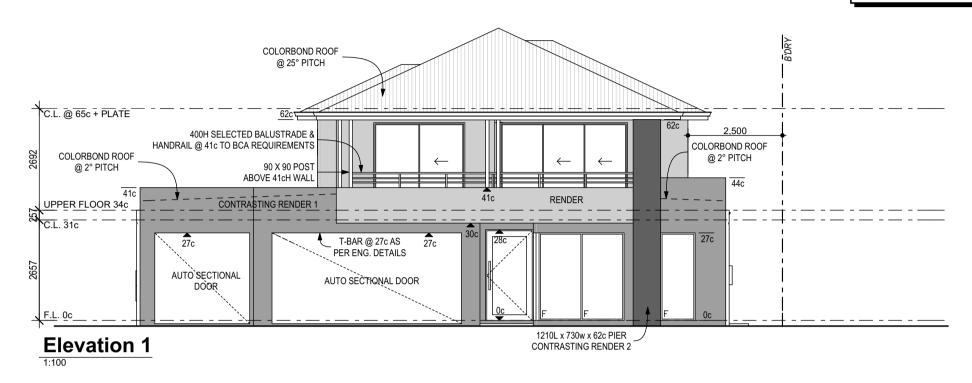


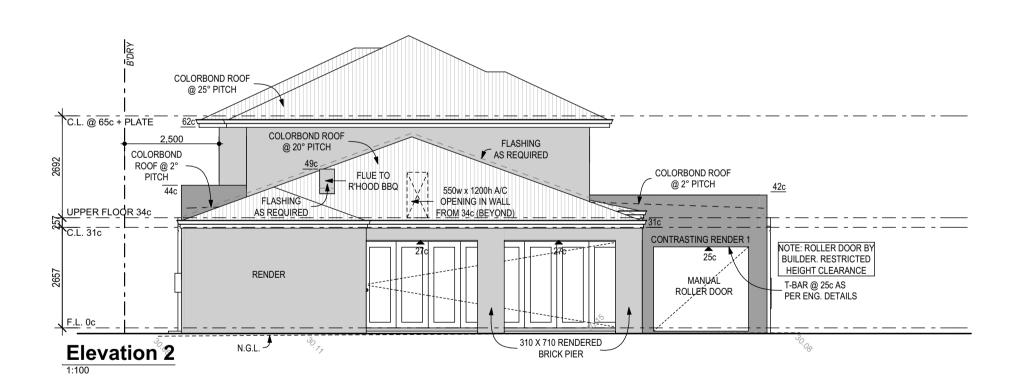
UPPER FLOOR BEDROOM WINDOW
MUS T HAVE 125mm MAX
RESTRICTED OPENING OR FITTED
WITH SUITABLE SCREEN (IF
OPENING SILL IS UNDER 1700 AFL)

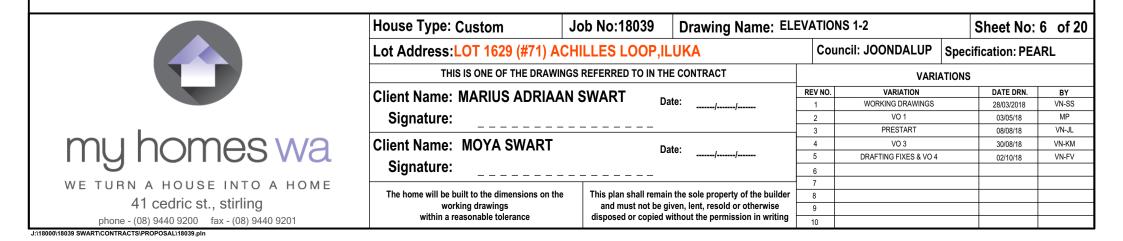
31c CEILINGS TO GROUND FLOOR & 31c+PL CEILING TO UPPER FLOOR UNLESS OTHERWISE NOTED

COLORBOND ROOF
@ INDICATED PITCH

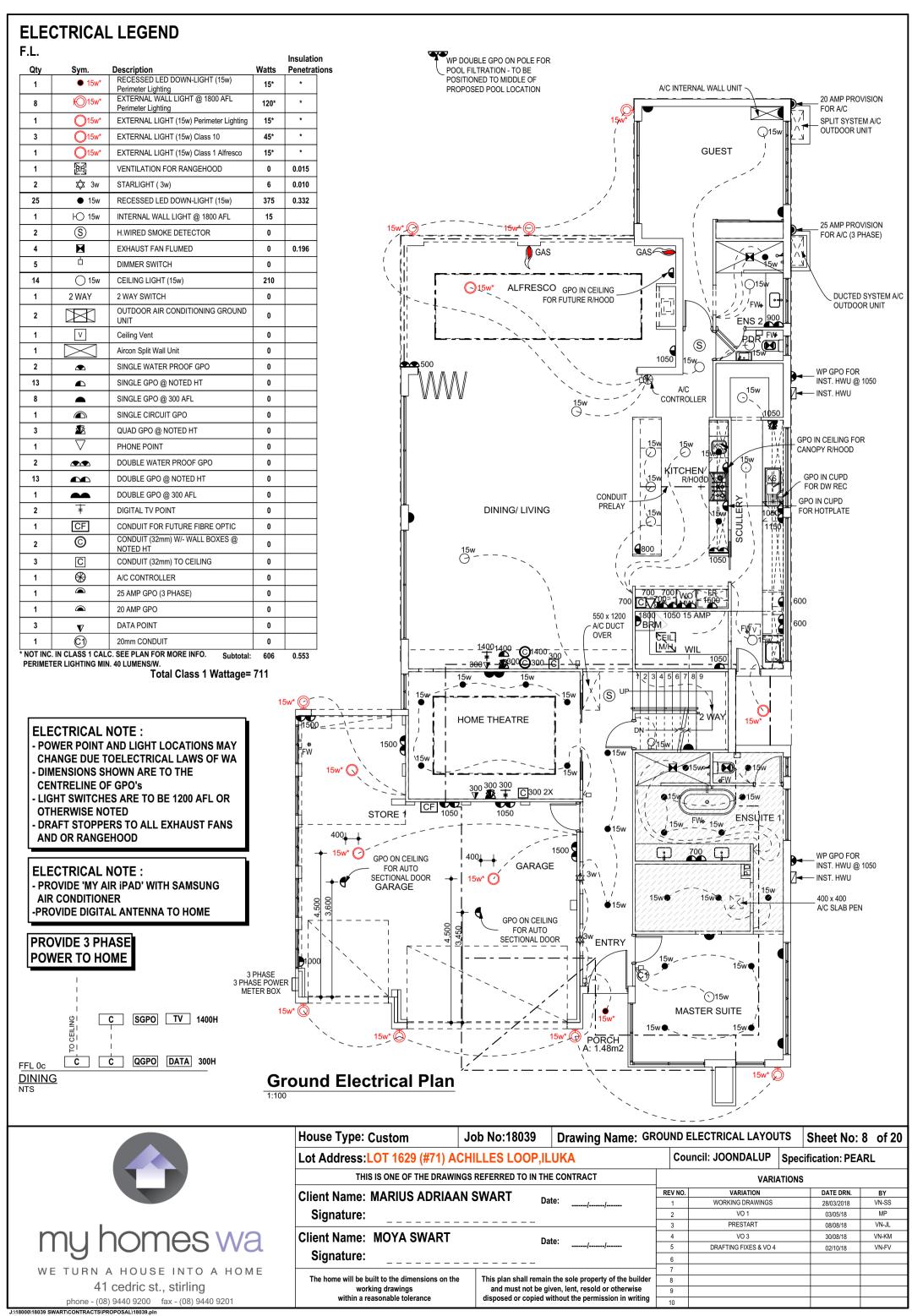
REFER TO ENGINEERS PLANS & ADDENDA







31c CEILINGS TO GROUND UPPER FLOOR BEDROOM WINDOW REFER TO ENGINEERS COLORBOND ROOF FLOOR & 31c+PL CEILING TO **MUS T HAVE 125mm MAX** PLANS & ADDENDA @ INDICATED PITCH **UPPER FLOOR UNLESS** RESTRICTED OPENING OR FITTED **OTHERWISE NOTED** WITH SUITABLE SCREEN (IF **OPENING SILL IS UNDER 1700 AFL)** COLORBOND ROOF @ 25° PITCH C.L. @ 65c + PLATE 90 X 90 POST ABOVE 41cH WALL 400H SELECTED BALUSTRADE RENDER COLORBOND ROOF FLASHING COLORBOND ROOF @ 41c TO BCA REQUIREMENTS @ 20° PITCH @ 12° PITCH AS REQUIRED UPPER FLOOR 34c 21c EXISTING LIMESTONE RETAINING WALL 3-PHASE GAS/ELEC TOP @ 30.60 N.G.L. 30.900 EXISTING LIMESTONE RETAINING WALL 1210L x 730w x 62c PIER **Elevation 3** OWNER SUPPLIED OVEN REFER CONTRASTING RENDER 2 TO SPECIFICATIONS TOP @ 30.90 COLORBOND ROOF C.L. @ 65c + PLATE 90 X 90 POST ABOVE 41cH WALL GLAZING COLORBOND ROOF UPPER FLOOR 34c 1210L x 730w x 62c OBSCURE CONTRASTING RENDER OBSCURE GI AZING EXISTING LIMESTONE GLAZING SPLIT SYSTEM A/C RETAINING WALL OUTDOOR UNIT TOP @ 30.17 N.G.L. DUCTED SYSTEM A/C OUTDOOR UNIT **Elevation 4** Job No:18039 **Drawing Name: ELEVATIONS 3-4** House Type: Custom Sheet No: 7 of 20 Council: JOONDALUP | Specification: PEARL Lot Address:LOT 1629 (#71) ACHILLES LOOP, ILUKA THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT **VARIATIONS** VARIATION BY Client Name: MARIUS ADRIAAN SWART WORKING DRAWINGS 28/03/2018 VN-SS MP Signature: VO 1 03/05/18 PRESTART VN-JL 08/08/18 Client Name: MOYA SWART VO 3 30/08/18 VN-KM DRAFTING FIXES & VO 4 02/10/18 Signature: WE TURN A HOUSE INTO A HOME The home will be built to the dimensions on the This plan shall remain the sole property of the builde 41 cedric st., stirling working drawings and must not be given, lent, resold or otherwise disposed or copied without the permission in writing within a reasonable tolerance phone - (08) 9440 9200 fax - (08) 9440 9201



ELECTRICAL LEGEND UPPER FLOOR

UFFE	KFLOOK			Insulation
Qty	Sym.	Description	Watts	Penetrations
1	2 WAY	2 WAY SWITCH Class 10	0*	*
2	15w *	EXTERNAL LIGHT (15w) Class 1 Balcony	30*	*
1	S	H.WIRED SMOKE DETECTOR	0	
2	M	EXHAUST FAN FLUMED	0	0.098
1	古	DIMMER SWITCH	0	
7	◯ 15w	CEILING LIGHT (15w)	105	
1		AC RETURN AIR GRILL	0	
2	•	SINGLE GPO @ NOTED HT	0	
7	_	SINGLE GPO @ 300 AFL	0	
1	1	QUAD GPO @ NOTED HT	0	
1		DOUBLE GPO @ NOTED HT	0	
1	*	DIGITAL TV POINT	0	
1	V	DATA POINT	0	
1	© 2	CONDUIT (32mm) TO CEILING W/- BLANK PLATE EACH END	0	

* NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. PERIMETER LIGHTING MIN. 40 LUMENS/W.

Total Class 1 Wattage= 711

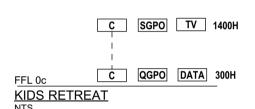
ELECTRICAL NOTE:

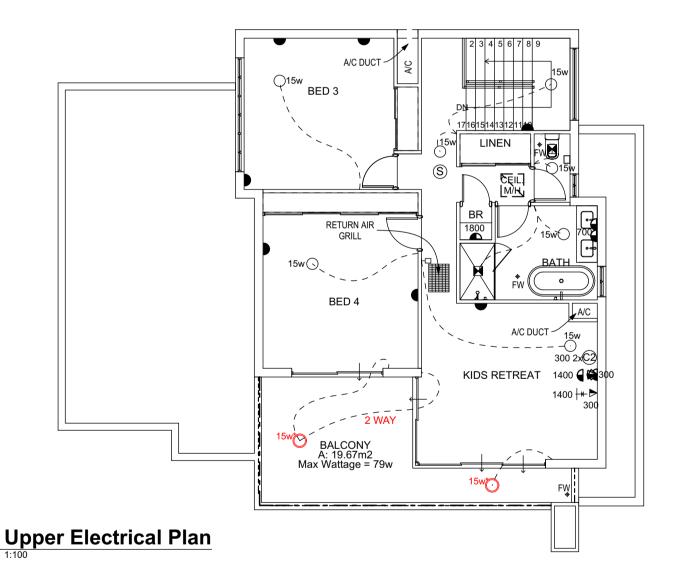
- POWER POINT AND LIGHT LOCATIONS MAY CHANGE DUE TO **ELECTRICAL LAWS OF WA**
- DIMENSIONS SHOWN ARE TO THE CENTRELINE OF GPO's
- LIGHT SWITCHES ARE TO BE 1200 AFL OR OTHERWISE NOTED
- DRAFT STOPPERS TO ALL EXHAUST FANS AND OR RANGEHOOD

ELECTRICAL NOTE:

- PROVIDE 'MY AIR IPAD' WITH SAMSUNG **AIR CONDITIONER**
- -PROVIDE DIGITAL ANTENNA TO HOME

PROVIDE 3 PHASE POWER TO HOME

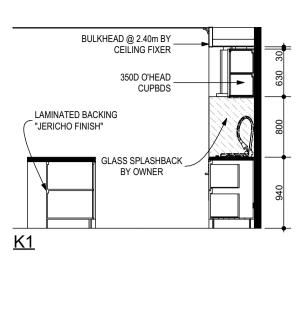


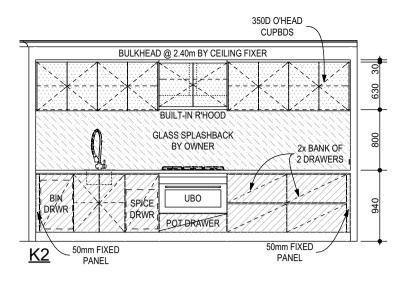


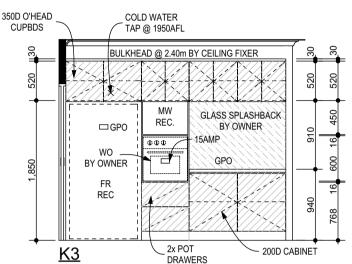


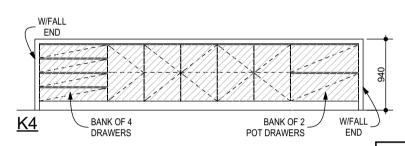
House Type: Custom	Job No:18039	Drawing Name: UP	PER El	ECTRICAL LAYOUT	S	Sheet No:	9 of 20		
Lot Address:LOT 1629 (#71) ACHILLES LOOP,ILUKA			Co	uncil: JOONDALUP	Spec	ification: PEA	RL		
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT				VARIATIONS					
Client Name: MARIUS ADRIAAI	I CWADT		REV NO.	VARIATION		DATE DRN.	BY		
CHEIR Name. WARIOS ADRIAA	N SWARI Da	te:	1	WORKING DRAWINGS		28/03/2018	VN-SS		
Signature:			2	VO 1		03/05/18	MP		
			3	PRESTART		08/08/18	VN-JL		
Client Name: MOYA SWART	Do	te:	4	VO 3		30/08/18	VN-KM		
	Da	te/	5	DRAFTING FIXES & VO 4		02/10/18	VN-FV		
Signature:			6						
			7						
The home will be built to the dimensions on the		the sole property of the builder	8						
working drawings		ven, lent, resold or otherwise	9						
within a reasonable tolerance	disposed or copied w	ithout the permission in writing	10						

41 cedric st., stirling phone - (08) 9440 9200 fax - (08) 9440 9201

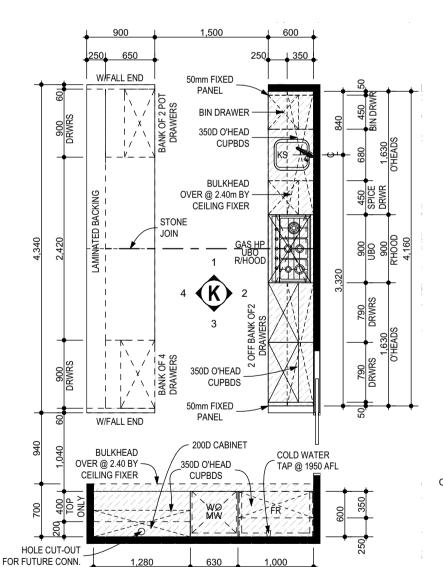




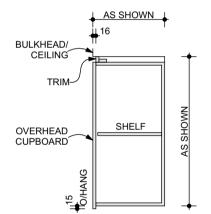




NOTE: KITCHEN SINK MIXER TO BE SUPPLIED BY OWNER, BUILDER TO INSTALL



O'HEADS / FR REC



DETAIL TO OVERHEAD CUPBOARD W/- FINGER GRIP SCALE 1:20

NOTE:
OWNER TO SUPPLY & INSTALL
OVEN POST-HANDOVER:
- GLASS SPLASHBACK TO KITCHEN
- WALL OVEN

NOTE:
LAMINATED RECESSED FINGER
GRIPS TO ALL UNDER BENCH

LAMINATED RECESSED FINGER
GRIPS TO ALL UNDER BENCH
CABINETRY W/- 15mm OVERHANG
LAMINATED FINGER GRIPS TO
OVERHEAD CABINETRY THROUGOUT
EXCEPT ALFRESCO

LAMINATE COLOURS:

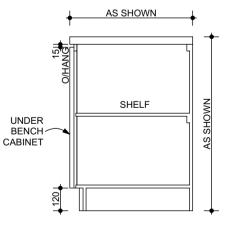
POLYTEC SHEEN
'CLASSIC WHITE' FINISH

LAMINEX NUANCE
'JERICHO' FINISH

BUILDERS CONTRACTOR CANNOT AND WILL NOT

DO NOT MEET WATERMARK (AND OTHER

INSTALL PLUMBING FIXTURES THAT DO NOT MEET WATERMARK STANDARDS. ITEMS SUPPLIED THAT



DETAIL TO UNDER BENCH
CUPBOARD W/- FINGER GRIP
SCALE 1:20

REGULATORY) REQUIREMENTS WILL BE REPLACED AT CLIENTS EXPENSE AND MAY INCLUDE COSTS DUE TO DELAY BY NON-COMPLIANT FIXTURES.

NOTE:
ALL OWNER SUPPLIED MATERIALS ARE NOT
COVERED BY BUILDERS INSURANCE. WHILST ALL
CARE WILL BE TAKEN, THE BUILDER TAKES NO
RESPONSIBILITY FOR DAMAGE OR LOSS TO OWNER
SUPPLIED MATERIAL OR ITEMS.

NOTE:

NOTE:

ALL OWNER SUPPLIED ITEMS ARE TO MEET STATUTORY REQUIREMENTS AND ARE TO BE FIT FOR PURPOSE. ITEMS IDENTIFIED AS NOT MEETING MINIMUM REQUIREMENTS WILL NOT BE INSTALLED BY BUILDER. DELAYS CAUSED TO CONSTRUCTION TIMELINE BY NON-COMPLIANT ITEMS MAY RESULT IN BACK CHARGES TO OWNER.

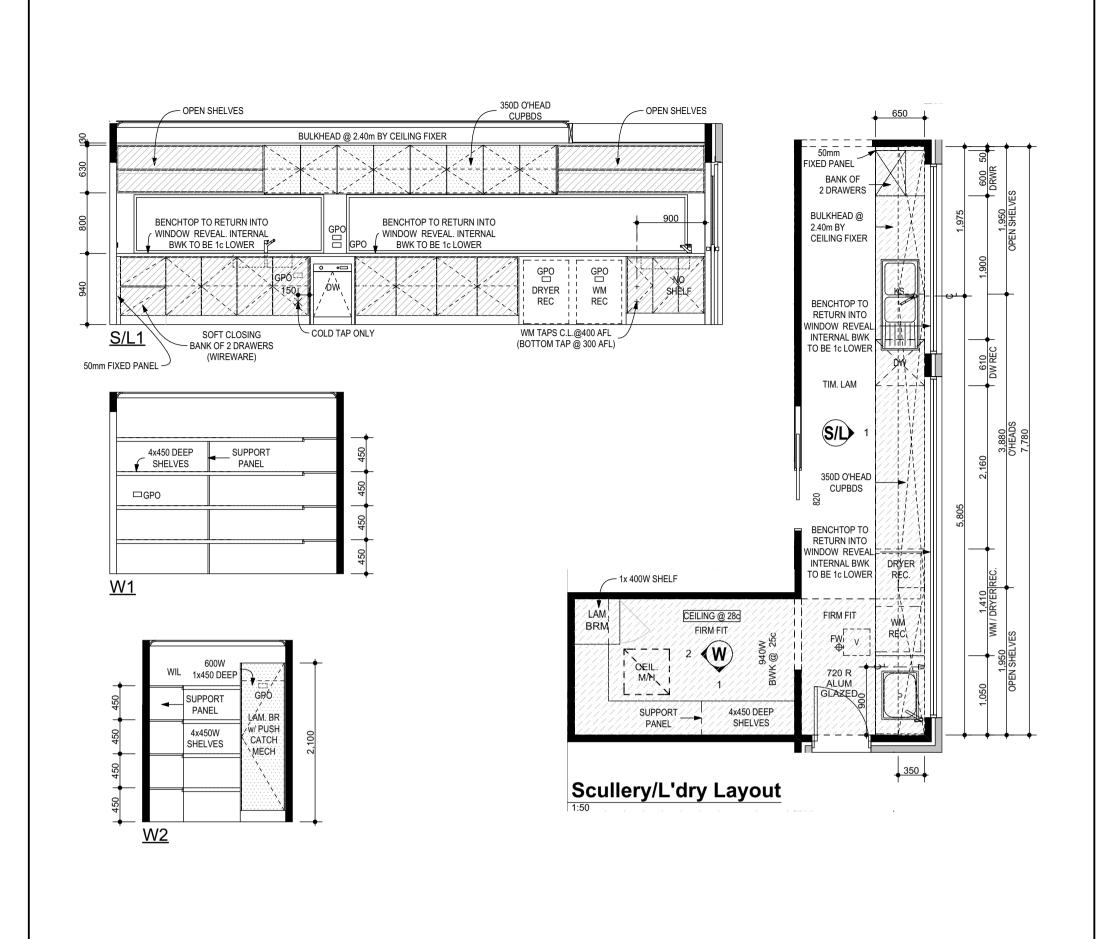


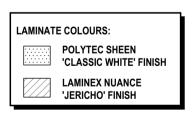
Kitchen Layout

my homes wa

WE TURN A HOUSE INTO A HOME
41 cedric st., stirling
phone - (08) 9440 9200 fax - (08) 9440 9201

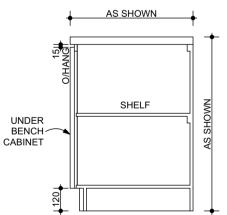
Drawing Name: ROOM LAYOUTS 1 House Type: Custom Job No:18039 Sheet No: 10 of 20 **Council: JOONDALUP** Lot Address:LOT 1629 (#71) ACHILLES LOOP, ILUKA Specification: PEARL THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT **VARIATIONS** REV NO. VARIATION DATE DRN. BY Client Name: MARIUS ADRIAAN SWART WORKING DRAWINGS 28/03/2018 VN-SS MP Signature: 03/05/18 PRESTART VN-JL 08/08/18 3 Client Name: MOYA SWART 4 VO 3 30/08/18 VN-KM Date: 5 DRAFTING FIXES & VO 4 VN-FV 02/10/18 Signature: 6 The home will be built to the dimensions on the This plan shall remain the sole property of the builder 8 working drawings and must not be given, lent, resold or otherwise within a reasonable tolerance disposed or copied without the permission in writing





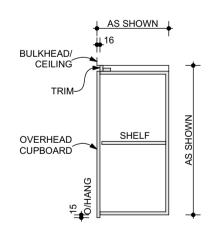
MITRED TILE EDGES THROUGHOUT

NOTE: LAMINATED RECESSED FINGER **GRIPS TO ALL UNDER BENCH CABINETRY W/- 15mm OVERHANG** LAMINATED FINGER GRIPS TO **OVERHEAD CABINETRY THROUGOUT EXCEPT ALFRESCO**



DETAIL TO UNDER BENCH CUPBOARD W/- FINGER GRIP SCALE 1:20

House Type: Custom



DETAIL TO OVERHEAD CUPBOARD W/- FINGER GRIP SCALE 1:20

Drawing Name: ROOM LAYOUT 2

Council: JOONDALUP

Sheet No: 11 of 20

Specification: PEARL

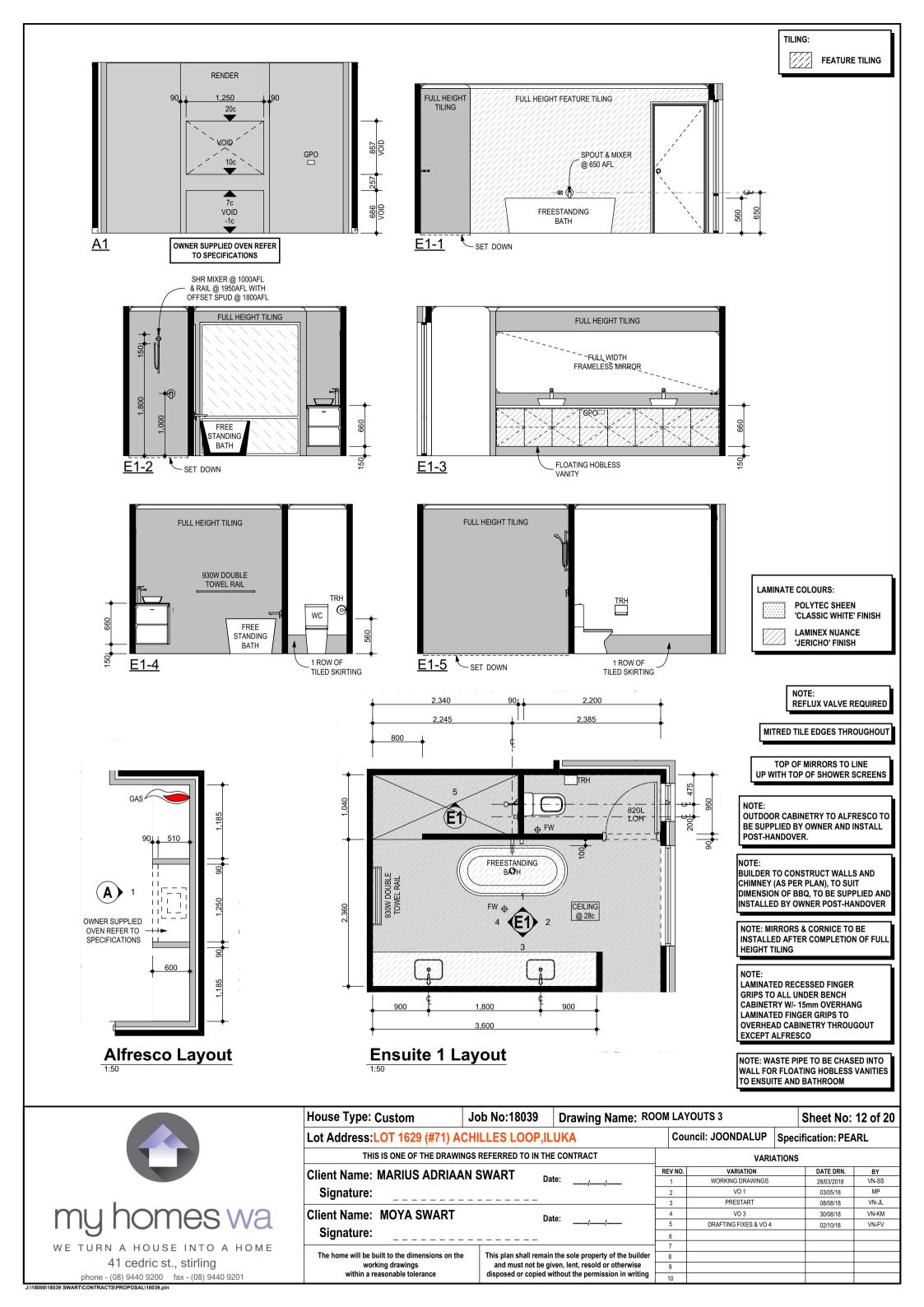


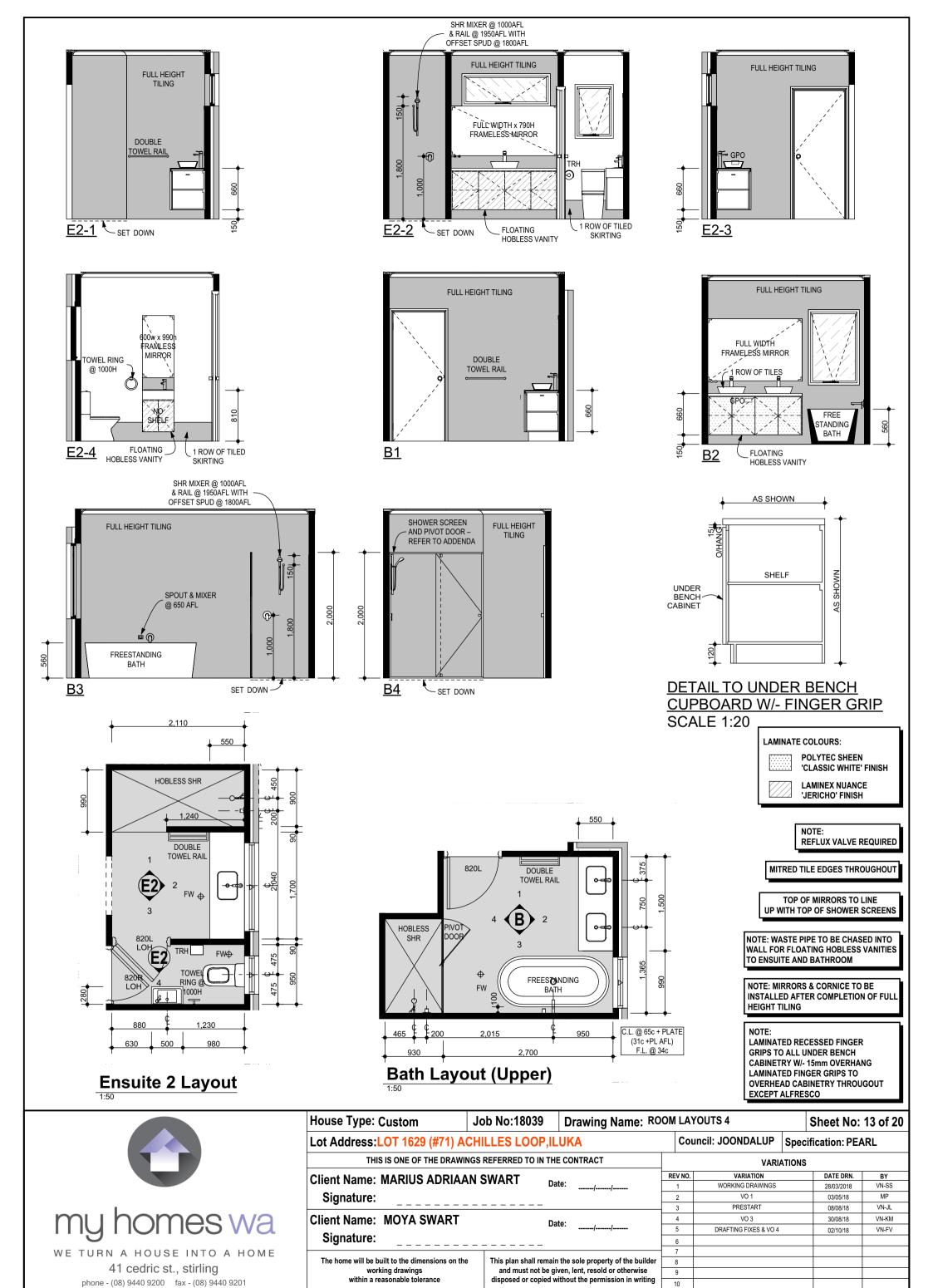
WE TURN A HOUSE INTO A HOME 41 cedric st., stirling

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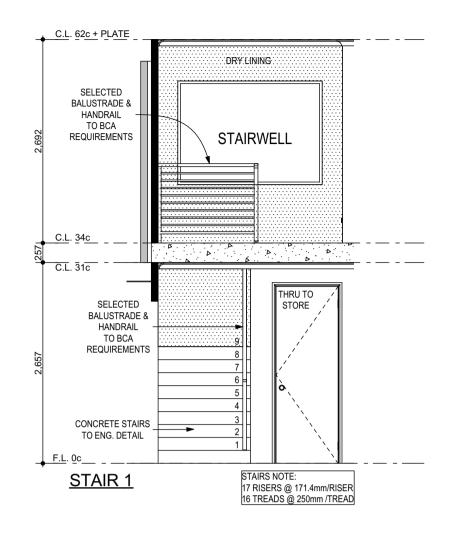
Lot Address:LOT 1629 (#71) ACHILLES LOOP,ILUKA

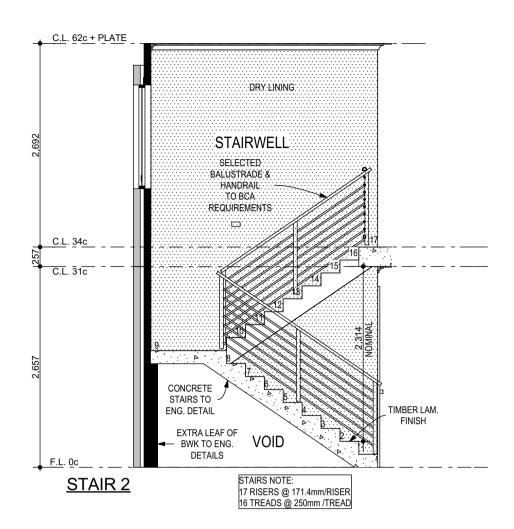
Job No:18039

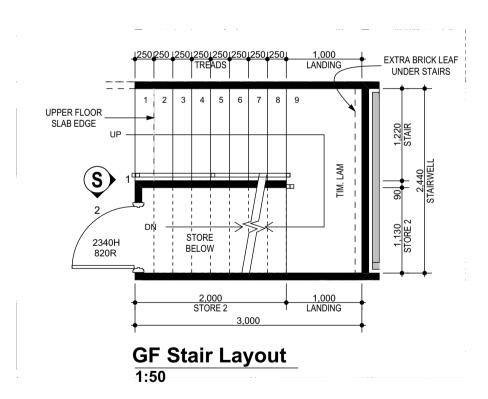


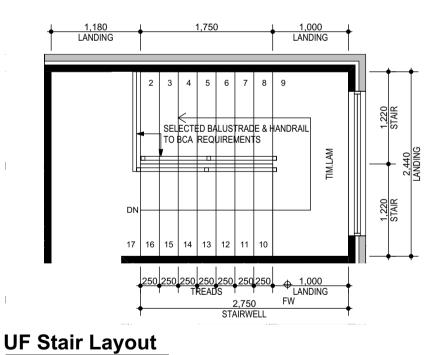


J:\18000\18039 SWART\CONTRACTS\PROPOSAL\18039.pln









NOTE: PROVIDE TIM. LAM. TO STAIRS



phone - (08) 9440 9200 fax - (08) 9440 9201

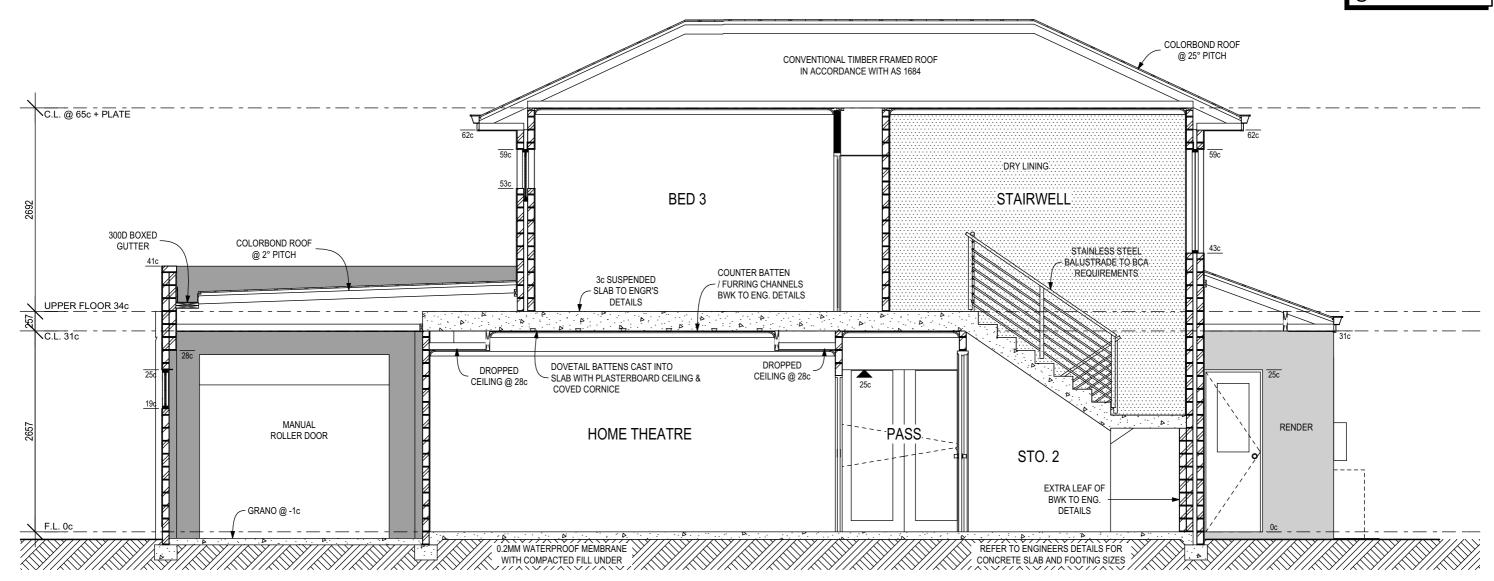
0\18039 SWART\CONTRACTS\PROPOSAL\18039.pln

House Type: Custom	Job No:18039	Drawing Name: STA	YOUT		Sheet No: 14 of 20					
Lot Address:LOT 1629 (#71) ACHILLES LOOP,ILUKA				uncil: JOONDALUP	Specification: PEARL					
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT				VARIATIONS						
Client Name: MARIUS ADRIAA	N CWADT		REV NO.	VARIATION		DATE DRN.	BY			
Ciletit Name. MARIOS ADRIAA	N SVVAKI Da	e:	WORKING DRAWINGS		28/03/2018	VN-SS				
Signature:			2	VO 1		03/05/18	MP			
			3	PRESTART		08/08/18	VN-JL			
Client Name: MOYA SWART	Do	to.	4	VO 3		30/08/18	VN-KM			
	Da	Date: 5 DRAFTING FIXES & VO 4			02/10/18	VN-FV				
Signature:			6							
			7							
The home will be built to the dimensions on the		the sole property of the builder	8							
working drawings		and must not be given, lent, resold or otherwise	9							
within a reasonable tolerance	disposed or copied w	disposed or copied without the permission in writing								

1:50

31c CEILINGS TO GROUND FLOOR & 31c+PL CEILING TO UPPER FLOOR UNLESS OTHERWISE NOTED

COLORBOND ROOF
@ INDICATED PITCH



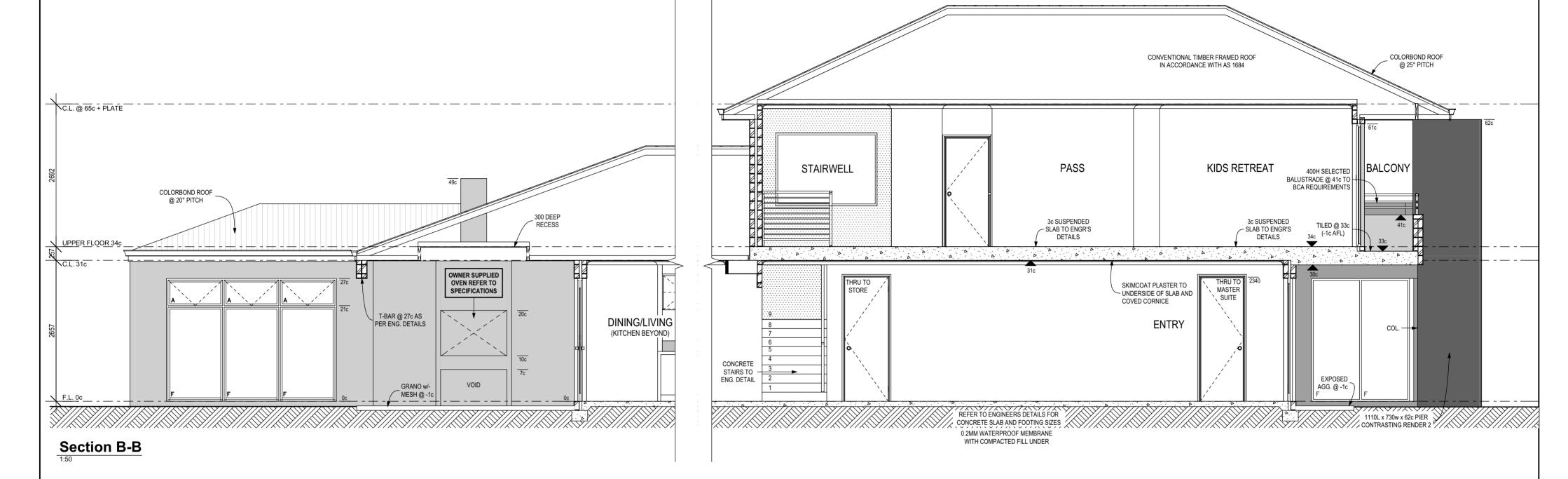


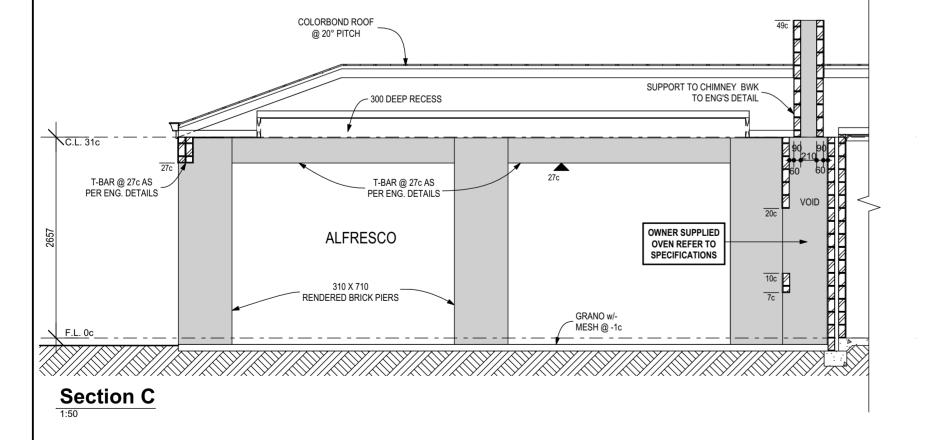
Section A-A

House Type: Custom	Job No:18039	Drawing Name: SE	CTION	A-A		Sheet No:	15 of 20
Lot Address:LOT 1629 (#71) ACHILLES LOOP,ILUKA			Co	uncil: JOONDALUP	Spec	ification: PEA	RL
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT				VARIA	ATIONS	}	
Client Name: MARIUS ADRIAAI	I CWADT		REV NO.	. VARIATION		DATE DRN.	BY
CHEIR Name. WARIOS ADRIAA	ileni name: Warios Adriaan Swari Da			WORKING DRAWINGS		28/03/2018	VN-SS
Signature:			2	V0 1		03/05/18	MP
			3	PRESTART		08/08/18	VN-JL
Client Name: MOYA SWART	D.	Date: , ,	4	VO 3		30/08/18	VN-KM
	Da	ate:/	5	DRAFTING FIXES & VO 4		02/10/18	VN-FV
Signature:			6				
			7				
The home will be built to the dimensions on the		This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise	8				
working drawings			9				
within a reasonable tolerance	disposed or copied w	vithout the permission in writing	10				

31c CEILINGS TO GROUND FLOOR & 31c+PL CEILING TO **UPPER FLOOR UNLESS** OTHERWISE NOTED

COLORBOND ROOF @ INDICATED PITCH

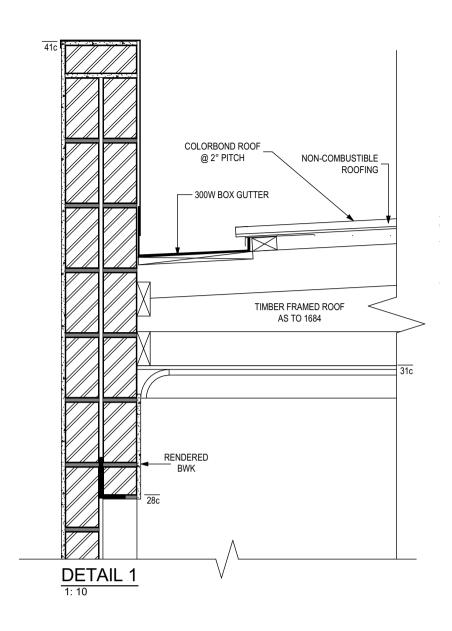


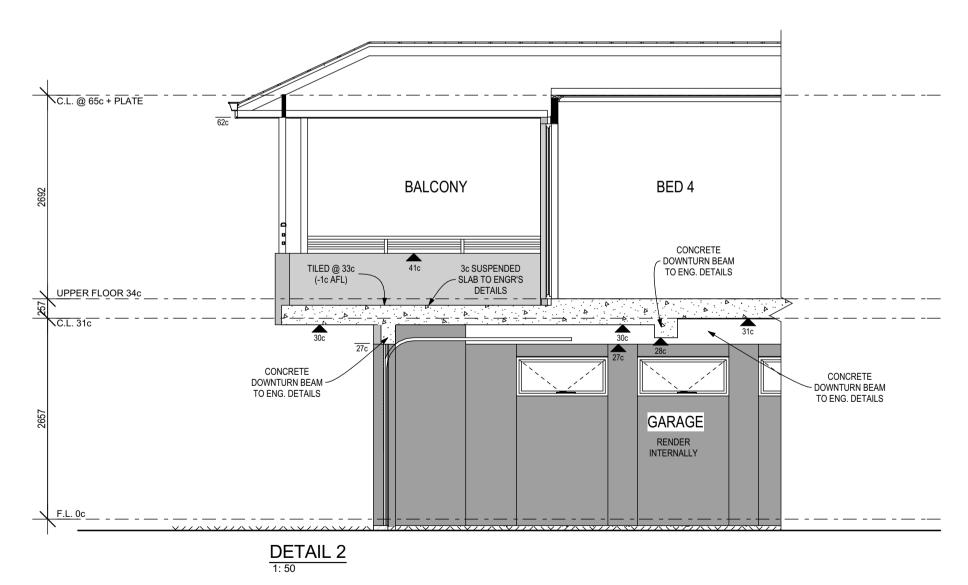




41 cedric st., stirling phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: Custom	Job No:18039	Drawing Name: SE	CTION	B-B & C		Sheet No:	16 of 20
Lot Address:LOT 1629 (#71) ACHILLES LOOP,ILUKA				Council: JOONDALUP Specification: Pl			
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT				VARI	ATIONS	}	
Client Names, MADILIC ADDIA AN CWADT				. VARIATION		DATE DRN.	BY
Client Name: WARIOS ADRIAA	ie: MARIUS ADRIAAN SWART			WORKING DRAWINGS		28/03/2018	VN-SS
Signature:			2	VO 1		03/05/18	MP
			3	PRESTART		08/08/18	VN-JL
Client Name: MOYA SWART	n	ate: , ,	4	VO 3		30/08/18	VN-KM
	U	ate	5	DRAFTING FIXES & VO 4		02/10/18	VN-FV
Signature:			6				
The home will be built to the dimensions on the		n the sole property of the builder	8				
working drawings	given, lent, resold or otherwise	9					
within a reasonable tolerance disposed or copied without the permission in writing							

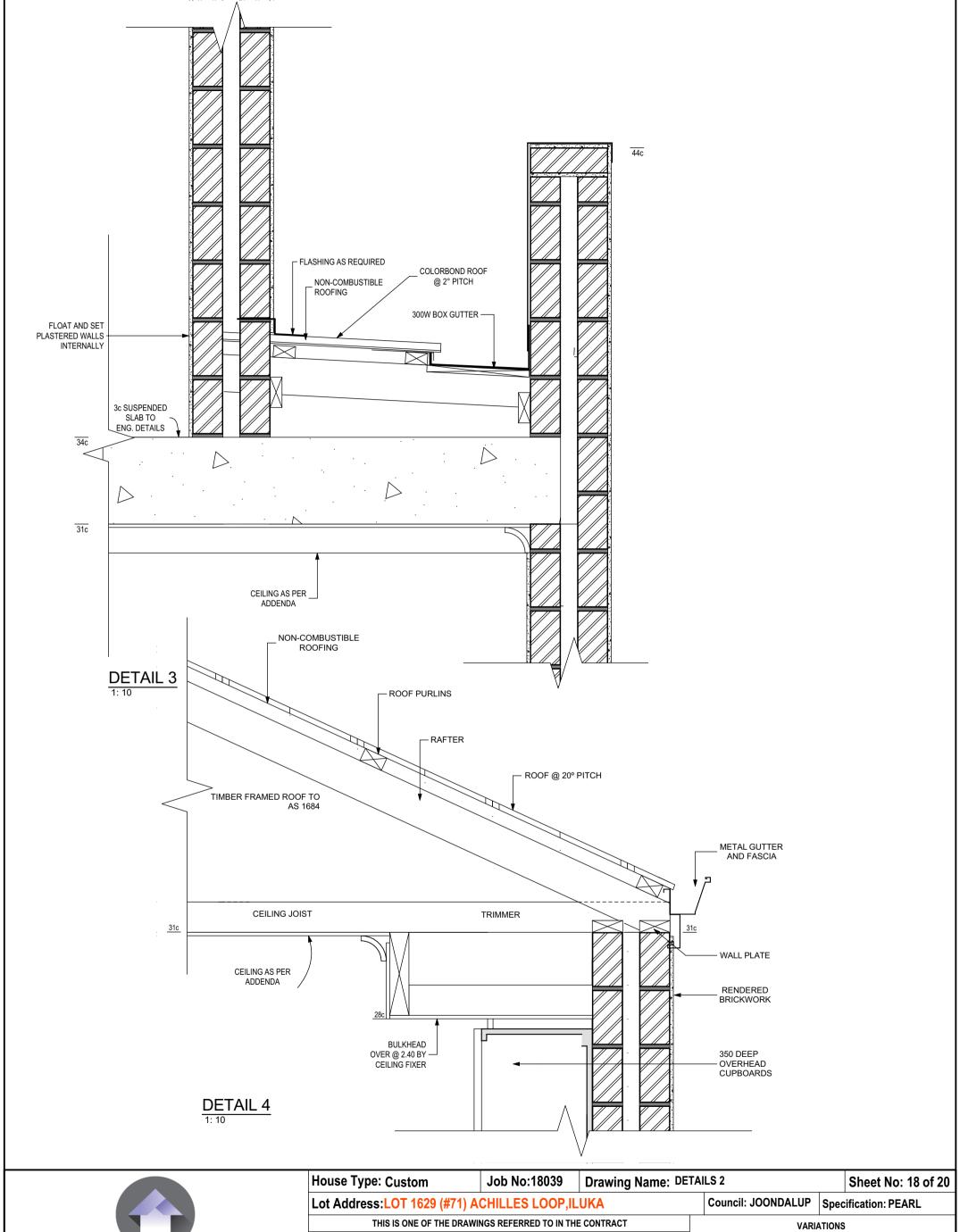






WE TURN A HOUSE INTO A HOME
41 cedric st., stirling
phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: Custom	Job No:18039	Drawing Name: DE	TAILS	1		Sheet No:	17 of 20			
Lot Address:LOT 1629 (#71) ACHILLES LOOP,ILUKA				ouncil: JOONDALUP	Specification: PEARL					
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT				VARIATIONS						
Client Name: MARIUS ADRIAA	N SWART _		REV NO	D. VARIATION		DATE DRN.	BY			
Cilett Name. WANTOS ADMAA	IN SWART Da	te:	1	WORKING DRAWINGS		28/03/2018	VN-SS			
Signature:			2	VO 1		03/05/18	MP			
			3	PRESTART		08/08/18	VN-JL			
Client Name: MOYA SWART	Da	to:	4	VO 3		30/08/18	VN-KM			
	Da	····//	5	DRAFTING FIXES & VO 4		02/10/18	VN-FV			
Signature:			6							
			7							
The home will be built to the dimensions on the		the sole property of the builder	8							
working drawings		and must not be given, lent, resold or otherwise								
within a reasonable tolerance	disposed or copied w	ithout the permission in writing	10							
			10							



REV NO.

3

4

5

6

7

8

9

VARIATION

WORKING DRAWINGS

PRESTART

VO 3

DRAFTING FIXES & VO 4

DATE DRN.

28/03/2018

03/05/18

08/08/18

30/08/18

02/10/18

BY

VN-SS

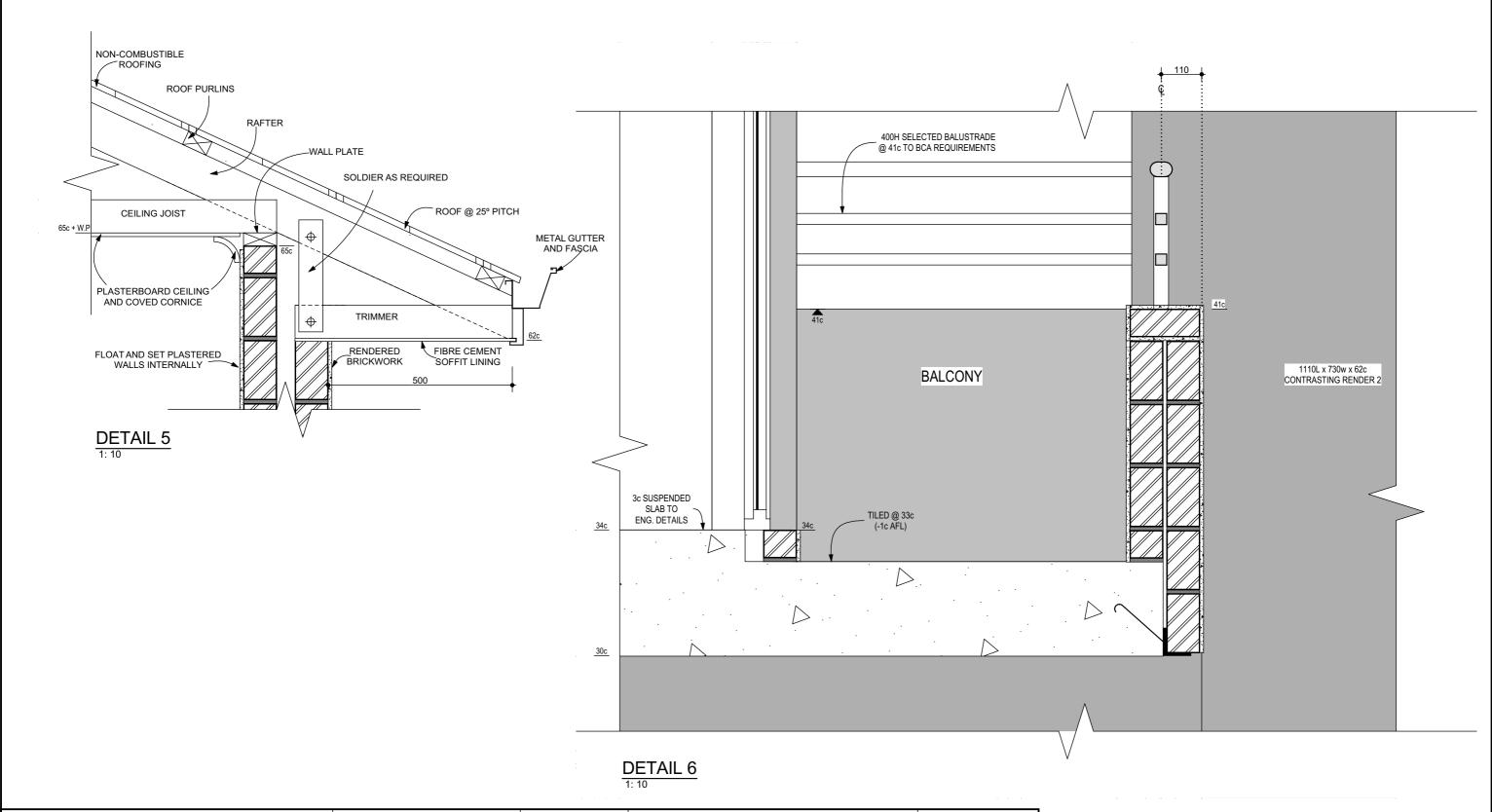
MP

VN-JL

VN-KM

VN-FV

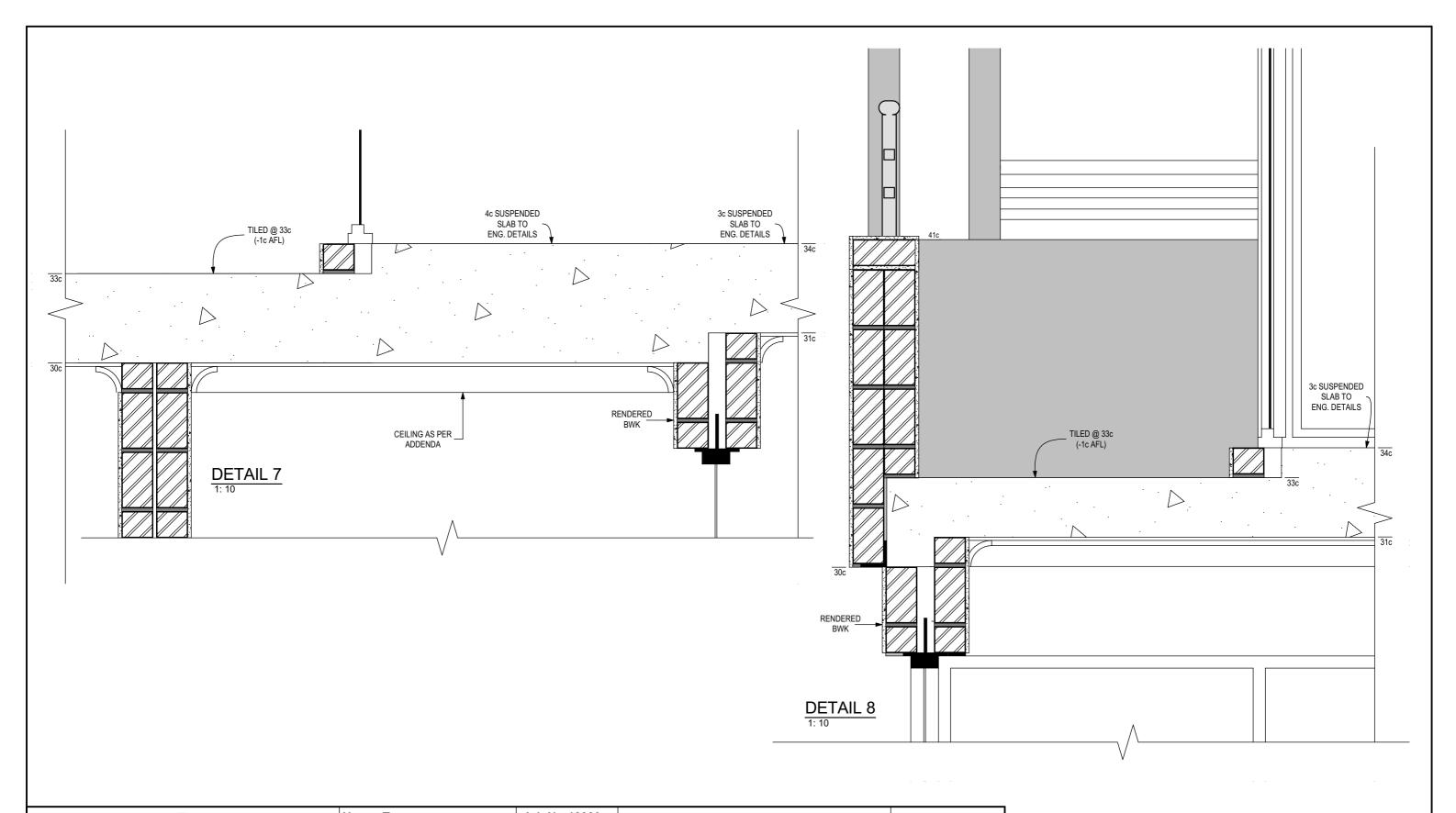






House Type: Custom	Job No:18039	Drawing Name: DETAILS 3				Sheet No:	Sheet No: 19 of 20	
Lot Address:LOT 1629 (#71) AC	Lot Address:LOT 1629 (#71) ACHILLES LOOP,ILUKA			Council: JOONDALUP		Specification: PEARL		
THIS IS ONE OF THE DRAWING	THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT				ATIONS	3		
Client Name: MARIUS ADRIAAN	CWADT		REV NO.	VARIATION		DATE DRN.	BY	
Cliefft Name. WARIOS ADRIAAN	Da Da	te:/	1	WORKING DRAWINGS		28/03/2018	VN-SS	
Signature:			2	VO 1		03/05/18	MP	
			3	PRESTART		08/08/18	VN-JL	
Client Name: MOYA SWART	Do.	to.	4	VO 3		30/08/18	VN-KM	
	Da	Date:	5	DRAFTING FIXES & VO 4		02/10/18	VN-FV	
Signature:			6					
	1		7					
The home will be built to the dimensions on the		is plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise sposed or copied without the permission in writing	8					
working drawings			9					
within a reasonable tolerance	disposed or copied w		10					

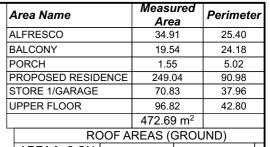
phone - (08) 9440 9200 fax - (08) 9440 9201 J:118000118039 SWARTICONTRACTSIPROPOSAL(18039.pln



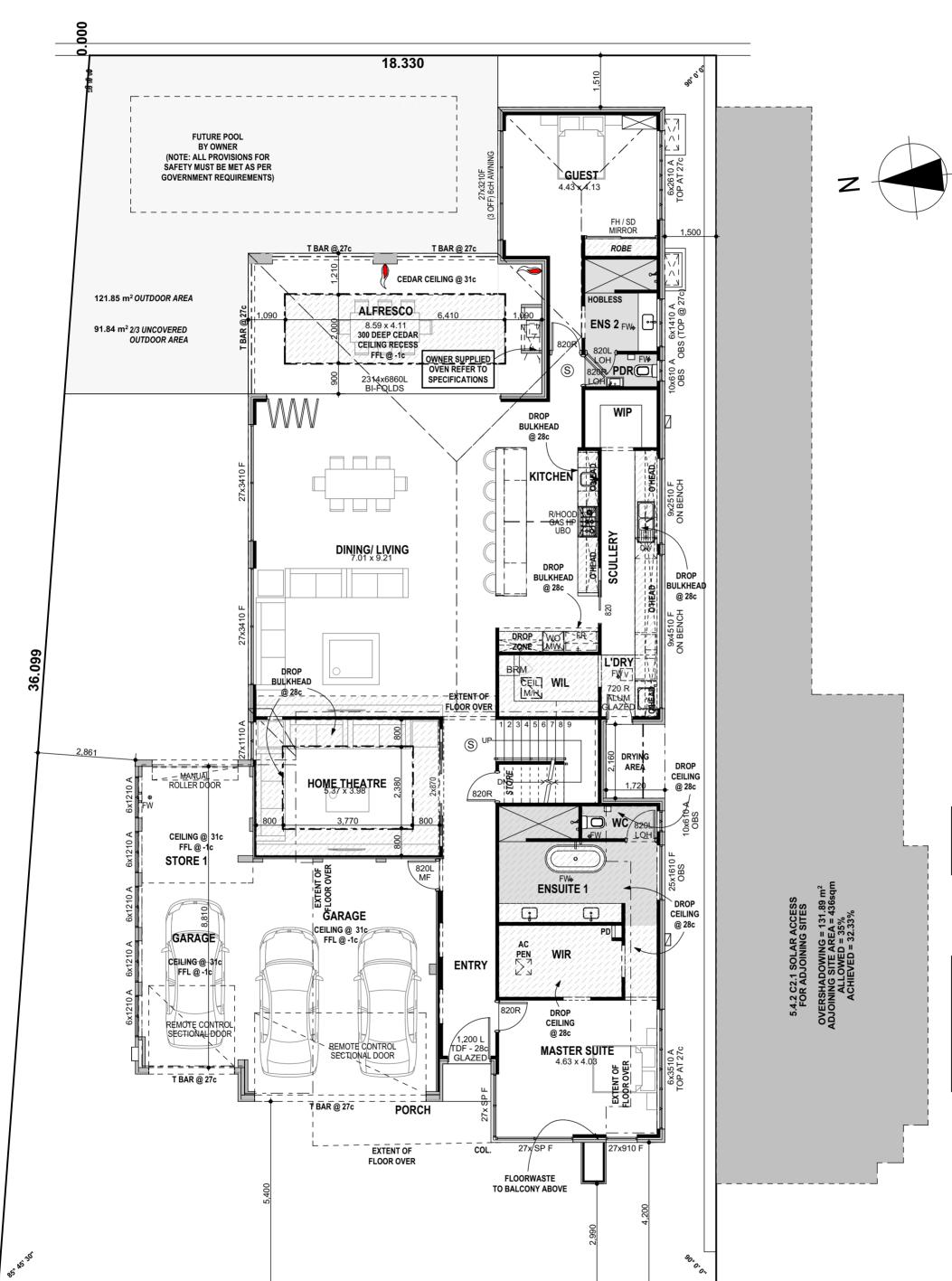


House Type: Custom Job No:18039 Drawing Name: DETAILS 4 Sheet No: 20 of 20 Lot Address:LOT 1629 (#71) ACHILLES LOOP,ILUKA Council: JOONDALUP | Specification: PEARL THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT VARIATIONS BY VN-SS VARIATION Client Name: MARIUS ADRIAAN SWART WORKING DRAWINGS 28/03/2018 Signature: MP VO 1 03/05/18 PRESTART 08/08/18 VN-JL Client Name: MOYA SWART VO 3 VN-KM 30/08/18 DRAFTING FIXES & VO 4 VN-FV 02/10/18 Signature: The home will be built to the dimensions on the This plan shall remain the sole property of the builde working drawings and must not be given, lent, resold or otherwise within a reasonable tolerance disposed or copied without the permission in writing

phone - (08) 9440 9200 fax - (08) 9440 9201
J:\;\text{18000\text{18009}}\text{SWART\CONTRACTS\!PROPOSAL\text{18039}}\text{.pin}



| ROOF AREAS (GROUND)
| AREA [m2 ON | 1.66 | 188.86 | |
| AREA [m2 ON | 1.70 | 200.98 | |
| THE RAKE| | Pitch | 12° 0' 0" | 20° 0' 0" | 2



SITE COVERAGE

 ZONED
 R20

 % ALLOWED
 50%

 SITE AREA
 707.94m²

 SITE COV. AREA
 330.03m²

SITE COV. =46.6%

NOTE: FRONT DOOR AND NOMINATED SLIDING DOORS, BI FOLDS AND WINDOWS ARE TO BE RAISED TO 27c HIGH

> 31c CEILING TO LOWER FLOOR 31c CEILING TO UPPER FLOOR UNLESS NOTED OTHERWISE

DESIGN SUBJECT TO CHANGE
PENDING ON PLANNING APPROVAL &
FINAL CONTOUR & FEATURE SURVEY &
SUBDIVSION PLAN. TIME DELAYS MAY
BE INCURRED.

- FRONT AVERAGING TO BE JUSTIFIED - LENGTH OF RHS WALL TO BE JUSTIFIED

Ground Floor Plan

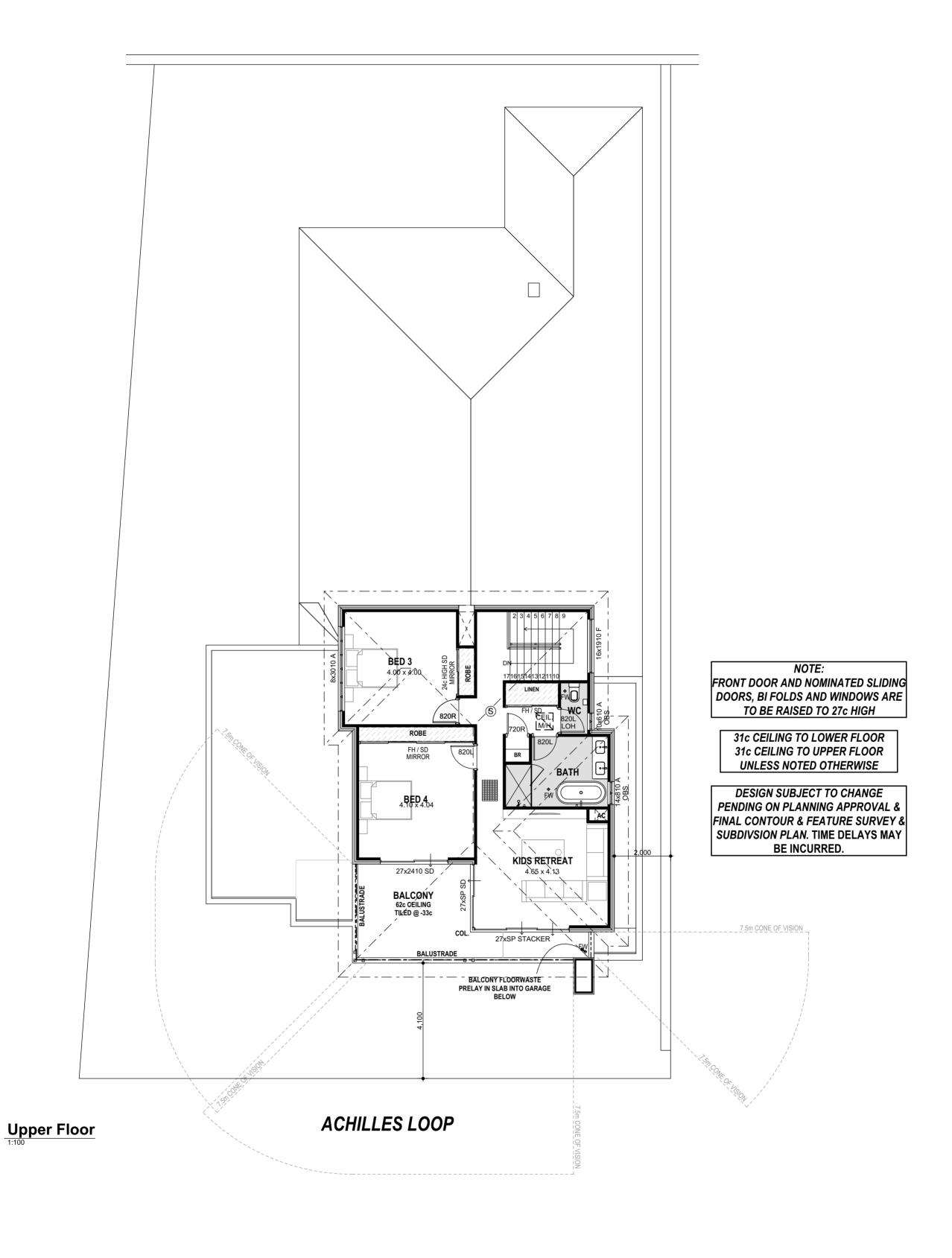
ACHILLES LOOP

21.000



House Type: Custom	Job No:18039	Drawing Name: GR	OUND F	LOOR PLAN & SITE		Sheet No:	1 of 2
Lot Address:LOT 1629 (#71) ACHILLES LOOP,ILUKA			Cou	ncil: JOONDALUP	Spec	ification: PEA	RL
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT				VARIA	ATIONS		
Client Name: MARIUS ADRIAA	N CWADT		REV NO.	VARIATION		DATE DRN.	BY
CHEIR Name. MARIOS ADRIAA	N SVVARI D	ate:	1	WORKING DRAWINGS		28/03/2018	VN-SS
Signature:		2	VO 1		03/05/18	MP	
Oignature:			3	PRESTART		08/08/18	VN-JL
Client Name: MOYA SWART	n.	nto:	4	VO 3		30/08/18	VN-KM
	Di	Date:/	5	DRAFTING FIXES & VO 4		02/10/18	VN-FV
Signature:			6				
			7				
The home will be built to the dimensions on the		n the sole property of the builder	8				
working drawings		iven, lent, resold or otherwise	9				
within a reasonable tolerance	disposed or copied v	disposed or copied without the permission in writing					

Area Name		easured Area	Perimeter	
ALFRESCO		34.91	25.40	
BALCONY		19.54	24.18	
PORCH		1.55	5.02	
PROPOSED RESIDENCE	2	249.04	90.98	
STORE 1/GARAGE		70.83	37.96	
UPPER FLOOR	96.82		42.80	
	47	2.69 m ²		
ROOF ARE	AS ((UPPER)		
AREA [m2 ON THE FL	AREA [m2 ON THE FLAT]			
AREA [m2 ON THE RA	KE]	154.30		
Pitch		25° 0' 0"		





phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: Custom	Job No:18039	Drawing Name: UP	PER FL	OOR PLAN & SITE		Sheet No:	2 of 2
Lot Address:LOT 1629 (#71) ACHILLES LOOP,ILUKA			Co	uncil: JOONDALUP	Spec	ification: PEA	\RL
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT				VARIA	ATIONS	3	
Client Name: MARIUS ADRIAAI	I CWADT		REV NO.	VARIATION		DATE DRN.	BY
Client Name. MARIUS ADRIAA	N SWAKI Da	te:	1	WORKING DRAWINGS		28/03/2018	VN-SS
Signature:			2	VO 1		03/05/18	MP
			3	PRESTART		08/08/18	VN-JL
Client Name: MOYA SWART	Da	to :	4	VO 3		30/08/18	VN-KM
	Da	te/	5	DRAFTING FIXES & VO 4		02/10/18	VN-FV
Signature:			6				
			7				
The home will be built to the dimensions on the		lan shall remain the sole property of the builder must not be given, lent, resold or otherwise	8				
working drawings			9				
within a reasonable tolerance	disposed or copied w	ithout the permission in writing	10				