

FIXING CARPENTER NOTES

1. 450w SHELF & RAIL TO ROBES & WIR TO BE 1700afl.

CONCRETOR NOTE

1. GARAGE & FREESTANDING EXTERNAL BRICK PIER FOOTINGS TO BE AT -3c U.O.N.

ROOF CARPENTER NOTES

1. 120x35 CEILING JOISTS & 90x45 WALL PLATES THROUGHOUT EXCLUDING GARAGE, WIP & POWDER 30c CEILINGS.

GENERAL NOTES

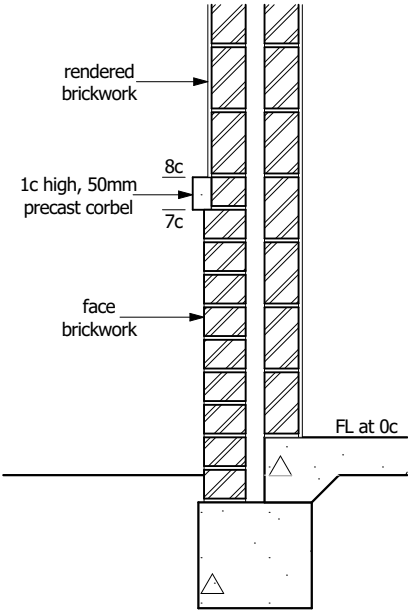
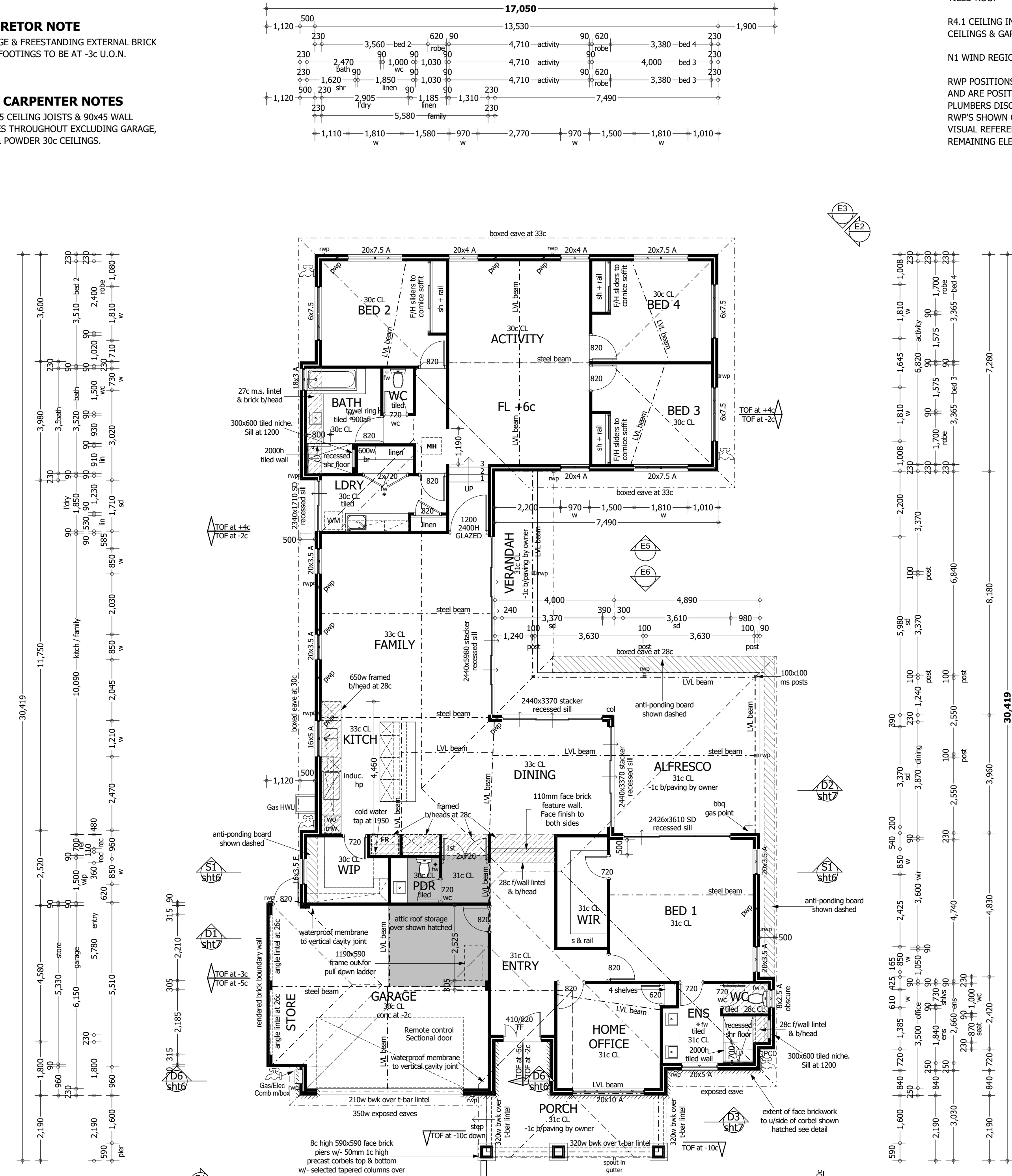
RENDERED BRICKWORK.

TILED ROOF

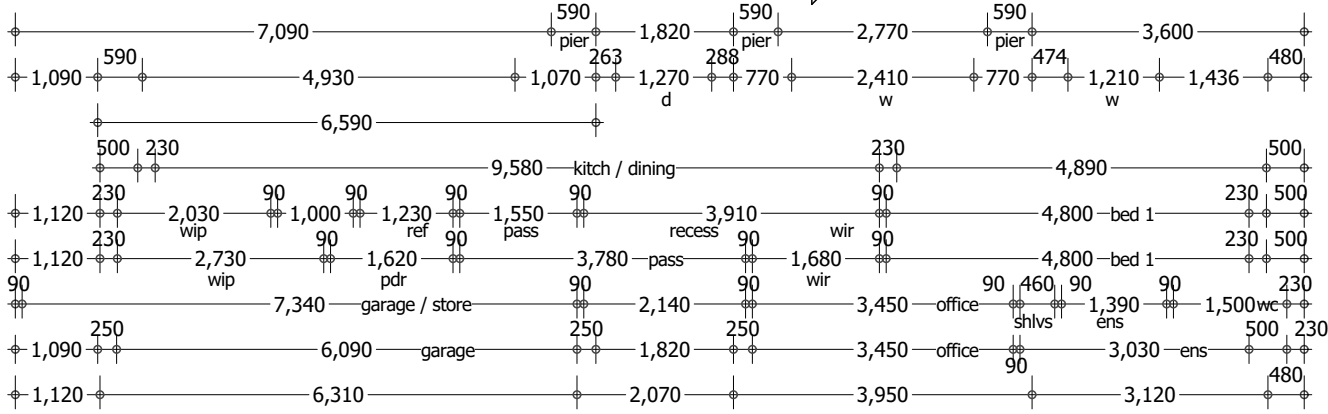
R4.1 CEILING INSULATION TO INTERNAL CEILINGS & GARAGE ONLY.

N1 WIND REGION.

RWP POSITIONS SHOWN ARE APPROX AND ARE POSITIONED AT THE ROOF PLUMBERS DISCRETION.
RWP'S SHOWN ON FRONT ELEVATION FOR VISUAL REFERENCE, REFER TO PLANS FOR REMAINING ELEVATIONS.



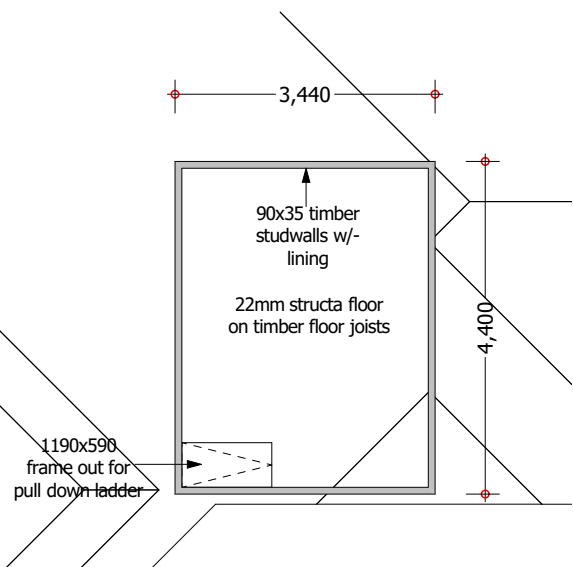
FACE BRICK / CORBEL DETAIL 1:20



GROUND FLOOR PLAN 1:100


CONCRETOR / BRICKLAYER NOTE

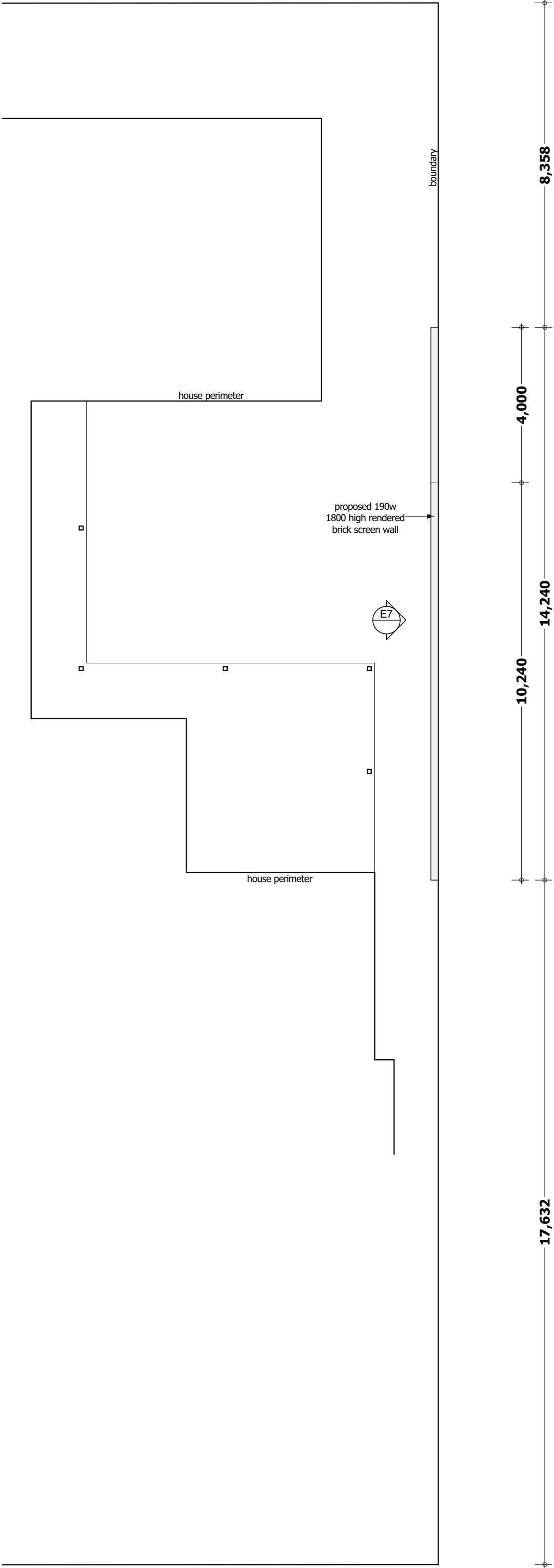
1. DIMENSIONS TO FRONT ELEVATION SETOUT FROM 250 CAVITY FACE BRICKWORK.



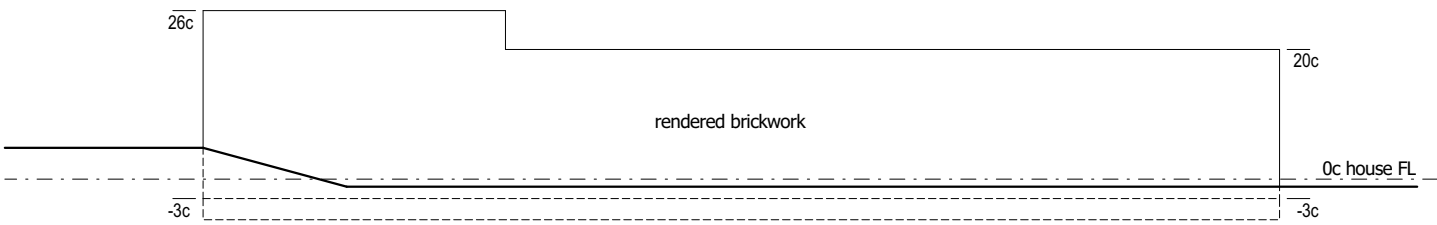
ATTIC PLAN 1:100

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	PROPOSED RESIDENCE ADDRESS: Lot 94 (#97) Brandon Street Kensington	SIGNATURES:		AMENDMENTS:		Custom				
	FOR: Mr M. & G. Coote	OWNER:	08/10/19 RS Pre-Contract Window Changes	OWNER:	10/10/19 GM engineer amend	DATE: 29-08-19	SHEET1 OF 15	Area Calc	. PORCH 17.42 . GARAGE/STORE 46.72 . ALFRESCO / V'DAH 41.73 . HOUSE 280.02 Total 385.89 m²	104.26
		OWNER:	21/10/19 GM pre-con VO Items 11 & 12							
		OWNER:	30/10/19 GM pre-con VO 1							
		BUILDER:	25/11/19 GM planning amend							
		BUILDER:	28/11/19 GM window amend							
		BUILDER:	3/12/19 GM bath window deleted							
		BUILDER:	11/12/19 GM 350 gge eaves							
		BUILDER:	17/1/20 GM pool setout							
		BUILDER:	31/1/20 SS PS VO 1, 2, 3							
DATE:	6/2/20 GM stormwater s/03/20recessed s/door sills	CONTRACT NO: 19016								
	9/5/20 GM CVO 9									



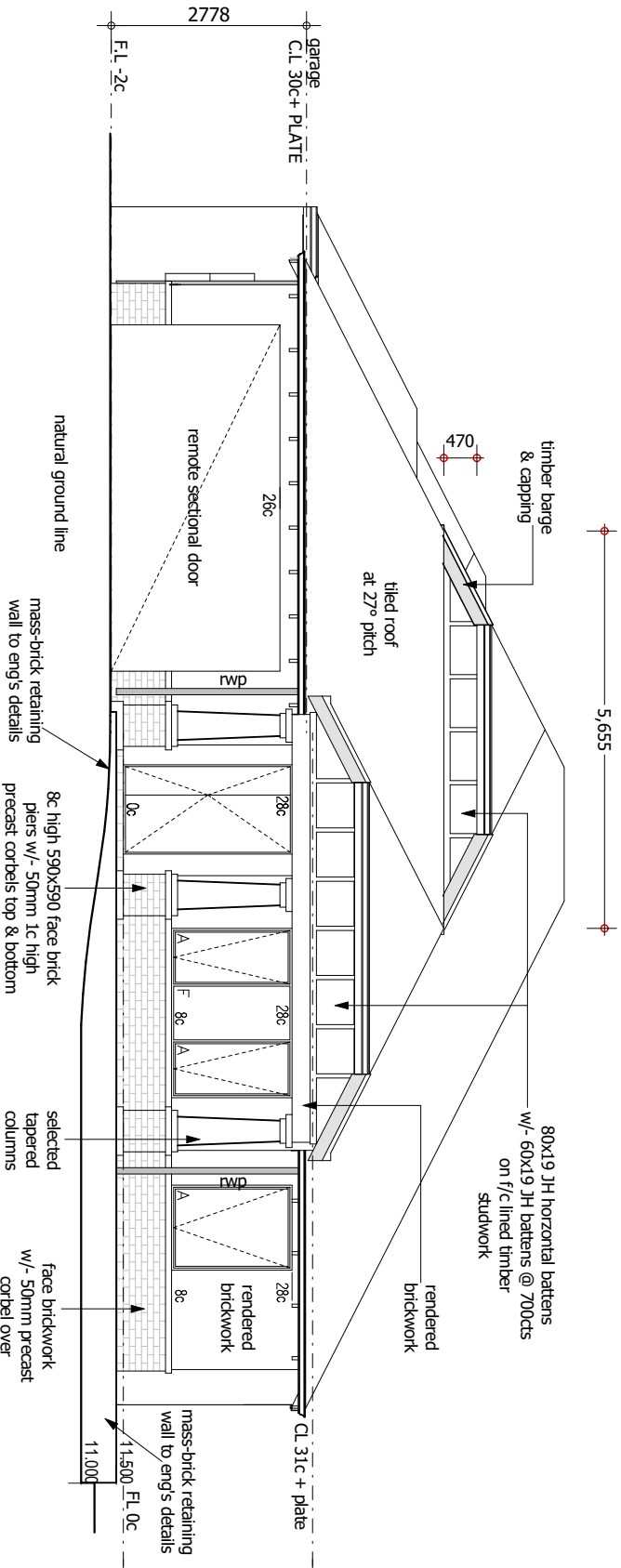
SCREEN WALL PLAN
1:100



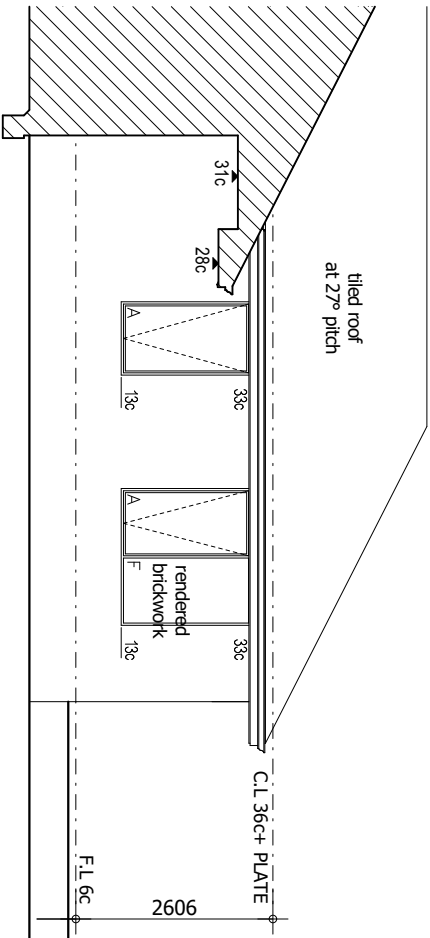
E7 SCREEN WALL ELEVATION
1:100

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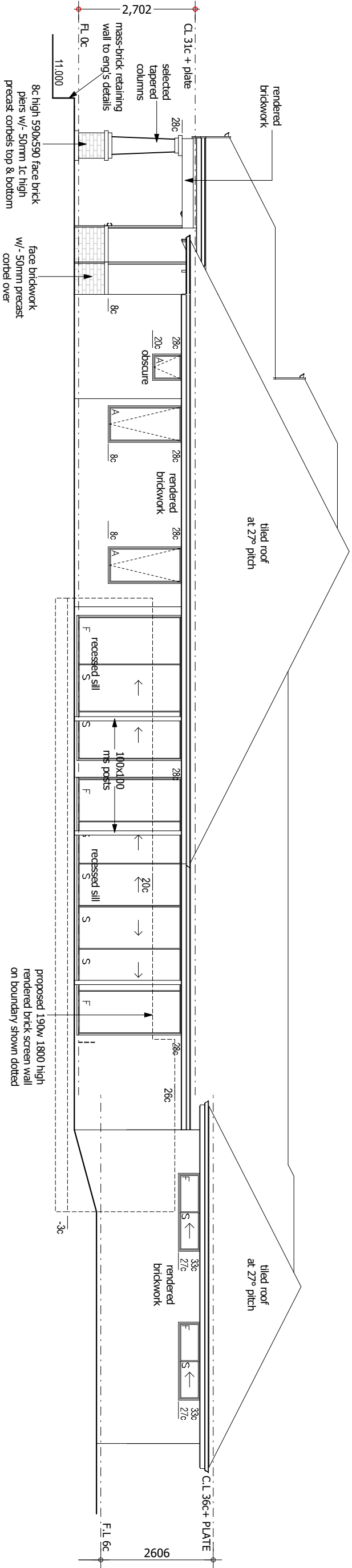
	PROPOSED RESIDENCE ADDRESS: Lot 94 (#97) Brandon Street Kensington FOR: Mr M. & G. Coote	SIGNATURES:		AMENDMENTS:		Custom
		OWNER: _____		08/10/19 RS	Pre-Contract Window Changes	SHEET2 OF 15
		OWNER: _____		10/10/19 GM	engineer amend	DRN: Grant McOuat
		BUILDER: _____		21/10/19 GM	pre-con VO Items 11 & 12	
		DATE: _____		30/10/19 GM	pre-con VO 1	DATE: 29-08-19
				25/11/19 GM	planning amend	SCALE:1:100, 1:20
				28/11/19 GM	window amend	CONTRACT NO: 19016
				3/12/19 GM	bath window deleted	
				11/12/19 GM	350 gge eaves	
				17/1/20 GM	pool setout	
				31/1/20 SS	PS VO 1, 2, 3	
				6/2/20 GM	stormwater 3/03/20recessed s/door sills	
				9/5/20 GM	CVO 9	



E1 FRONT ELEVATION
1:100



E5 COURTYARD ELEVATION
1:100



E2 SIDE ELEVATION
1:100

© copyright



PROPOSED RESIDENCE ADDRESS:
Lot 94 (#97) Brandon Street
Kensington
FOR:
Mr M. & G. Coote

SIGNATURES:

OWNER: _____

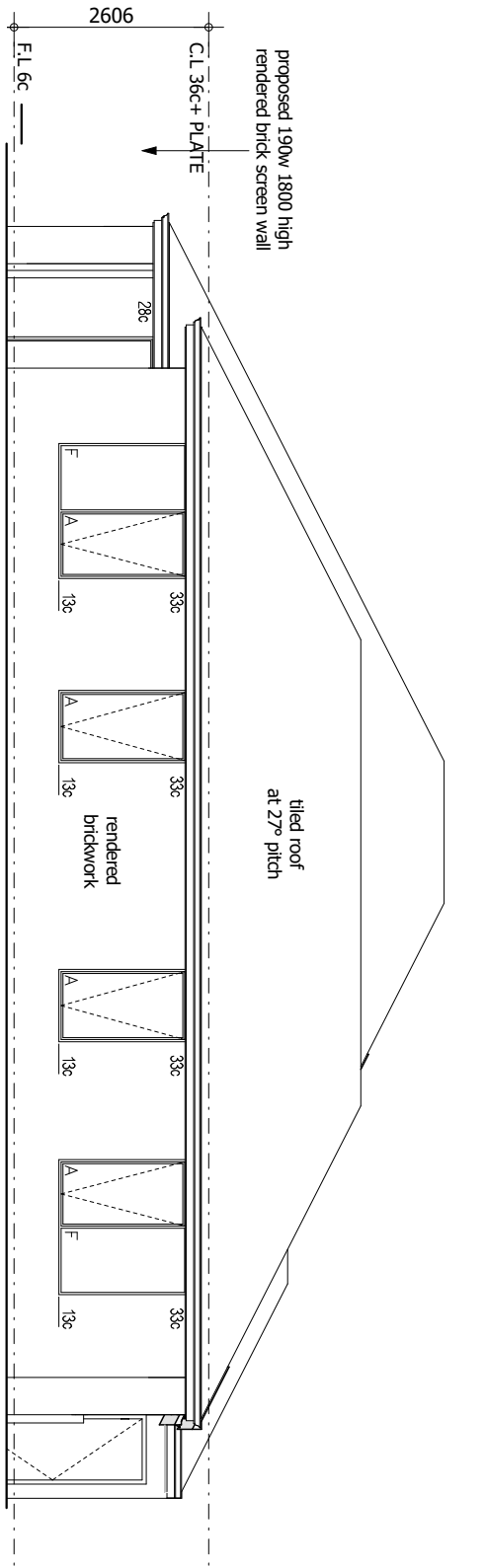
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BUILDER: _____

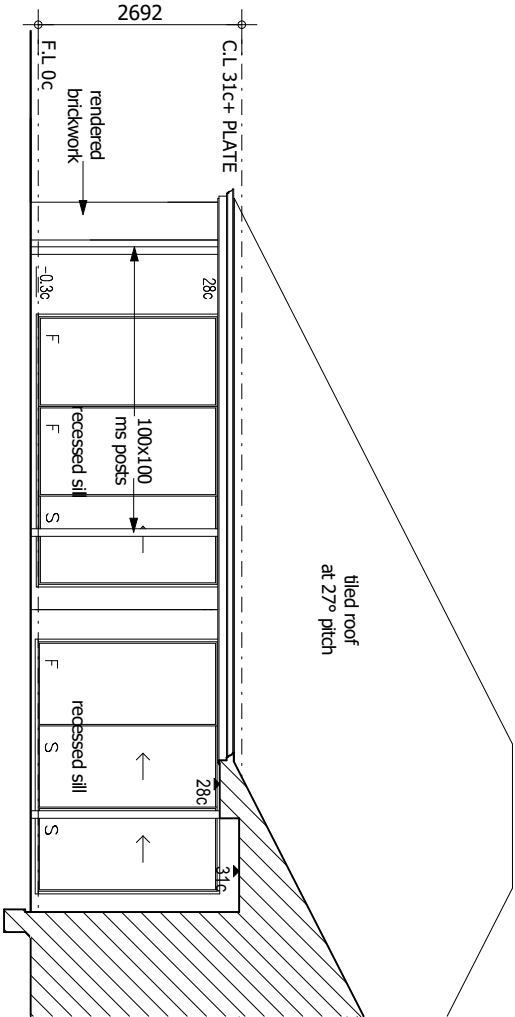
DATE: _____

AMENDMENTS:	
08/10/19	RS Pre-Contract Window Changes
10/10/19	GM engineer amend
21/10/19	GM pre-con VO items 11 & 12
30/10/19	GM pre-con VO 1
25/11/19	GM planning amend
28/11/19	GM window amend
3/12/19	GM bath window deleted
11/12/19	GM 350 gge eaves
17/1/20	GM pool setout
31/1/20	SS PS VO 1, 2, 3
6/2/20	GM stormwater 3/03/20 recessed s/door sills
9/5/20	GM CVO 9

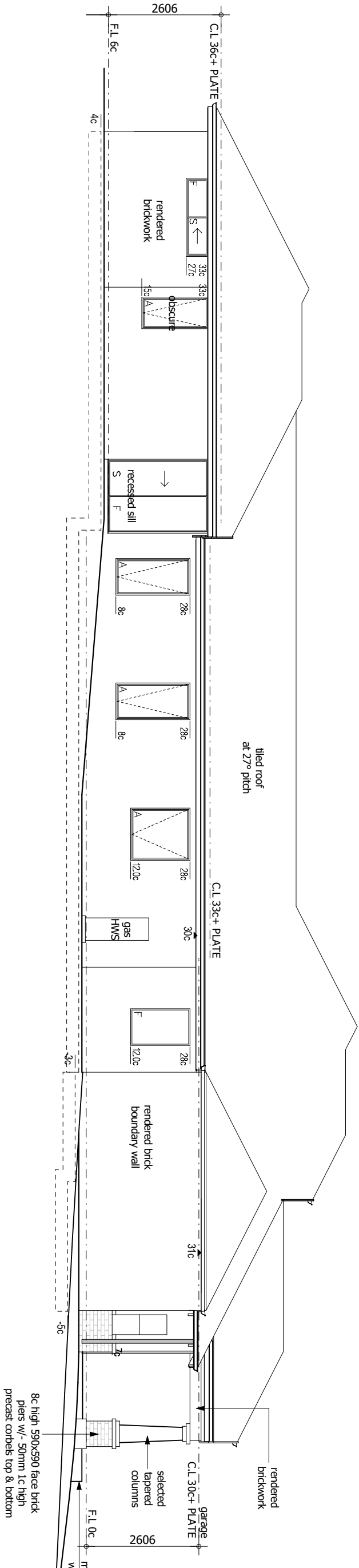
Custom
SHEET: 3 OF 15
DRN: Grant McOuat
DATE: 29-08-19
SCALE:1:100
CONTRACT NO:
19016



E3 REAR ELEVATION
1:100



E6 COURTYARD ELEVATION
1:100



E4 SIDE ELEVATION
1:100

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PROPOSED RESIDENCE ADDRESS:
Lot 94 (#97) Brandon Street
Kensington
FOR:
Mr M. & G. Coote

SIGNATURES:

OWNER: _____

OWNER: _____

BUILDER: _____

DATE: _____

AMENDMENTS:	
08/10/19 RS	Pre-Contract Window Changes
10/10/19 GM	engineer amend
21/10/19 GM	pre-con VO items 11 & 12
30/10/19 GM	pre-con VO 1
25/11/19 GM	planning amend
28/11/19 GM	window amend
3/12/19 GM	bath window deleted
11/12/19 GM	350 gge eaves
17/1/20 GM	pool setout
31/1/20 SS	PS VO 1, 2, 3
6/2/20 GM	stormwater 3/03/20 recessed s/door sills
9/5/20 GM	CVO 9

Custom
SHEET: 4 OF 15
DRN: Grant McOuat
DATE: 29-08-19
SCALE:1:100
CONTRACT NO:
19016

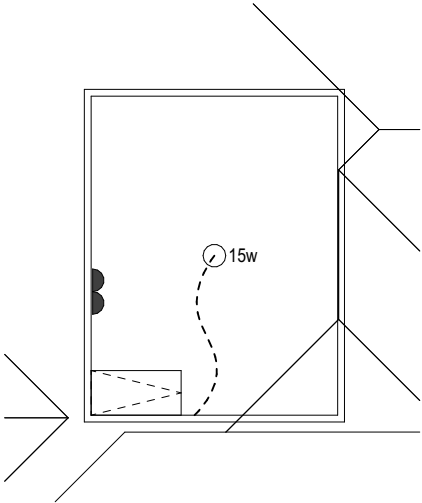
ELECTRICIAN/CLIENT NOTE

NOTE ALL POSITIONS OF POWER POINTS
& LIGHTS ON PLAN ARE APPROXIMATE ONLY.

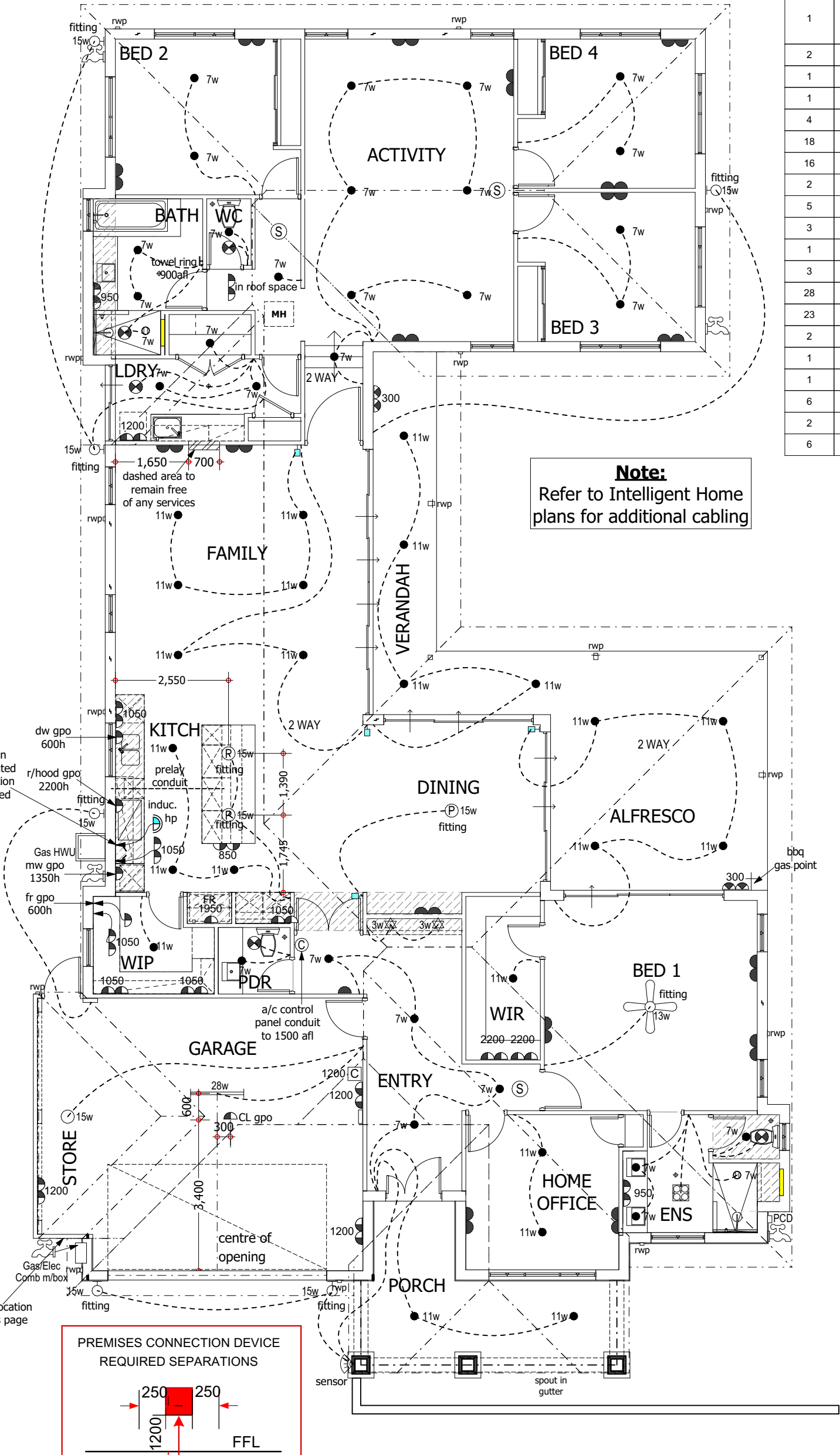
LIGHT SWITCH PLATES TO BE 1200 ABOVE
FLOOR LEVEL UNLESS OTHERWISE NOTED.

ELECTRICAL LEGEND		
No.	SYMBOL	TYPE
1		1200L LED SLIMLINE BATTEN
3	2 WAY	2 WAY SWITCH
1		4x HEATER/FAN/LIGHT
1		Ceiling Fan/Light (13w)
2		CEILING LIGHT (15w)
1		CONDUIT
1		CONDUIT WITH FACE PLATE @ NOTED HT
4		DIMMER SWITCH
18		DOUBLE GPO @ 300 AFL
16		DOUBLE GPO @ NOTED HT
2		DOUBLE WATER PROOF GPO
5		Exhaust Fan
3		H.WIRED SMOKE DETECTOR
1		MOTION SENSOR
3		PENDENT LIGHT (15w)
28		RECESSED LED DOWN-LIGHT (7w)
23		RECESSED LED DOWN-LIGHT (11w)
2		RECESSED WP LED DOWN-LIGHT (7w)
1		SINGLE CIRCUIT GPO 32amp
1		SINGLE GPO @ 300 AFL
6		SINGLE GPO @ NOTED HT
2		STARLIGHT (3w)
6		WALL LIGHT @ 2000 AFL

Note:
Refer to Intelligent Home
plans for additional cabling



ATTIC ELECTRICAL PLAN
1:100



GROUND FLOOR ELECTRICAL PLAN
1:100

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 COAST HOMES	PROPOSED RESIDENCE ADDRESS: Lot 94 (#97) Brandon Street Kensington FOR: Mr M. & G. Coote	SIGNATURES:		AMENDMENTS:		Custom
		OWNER: _____	08/10/19	RS	Pre-Contract Window Changes	SHEET: 5 OF 15
			10/10/19	GM	engineer amend	
			21/10/19	GM	pre-con VO items 11 & 12	
		OWNER: _____	30/10/19	GM	pre-con VO 1	DRN: Grant McOuat
			25/11/19	GM	planning amend	
			28/11/19	GM	window amend	
		BUILDER: _____	3/12/19	GM	bath window deleted	DATE: 29-08-19
			11/12/19	GM	350 gge eaves	
			17/1/20	GM	pool setout	
		DATE: _____	31/1/20	SS	PS VO 1, 2, 3	SCALE:1:100, 1:1.23
			6/2/20	GM	stormwater 3/03/20 recessed s/door sills	
			9/5/20	GM	CVO 9	
					CONTRACT NO:	
					19016	



COAST
HOMES

PROPOSED RESIDENCE ADDRESS:
Lot 94 (#97) Brandon Street
Kensington

FOR:
Mr M. & G. Coote

SIGNATURES:

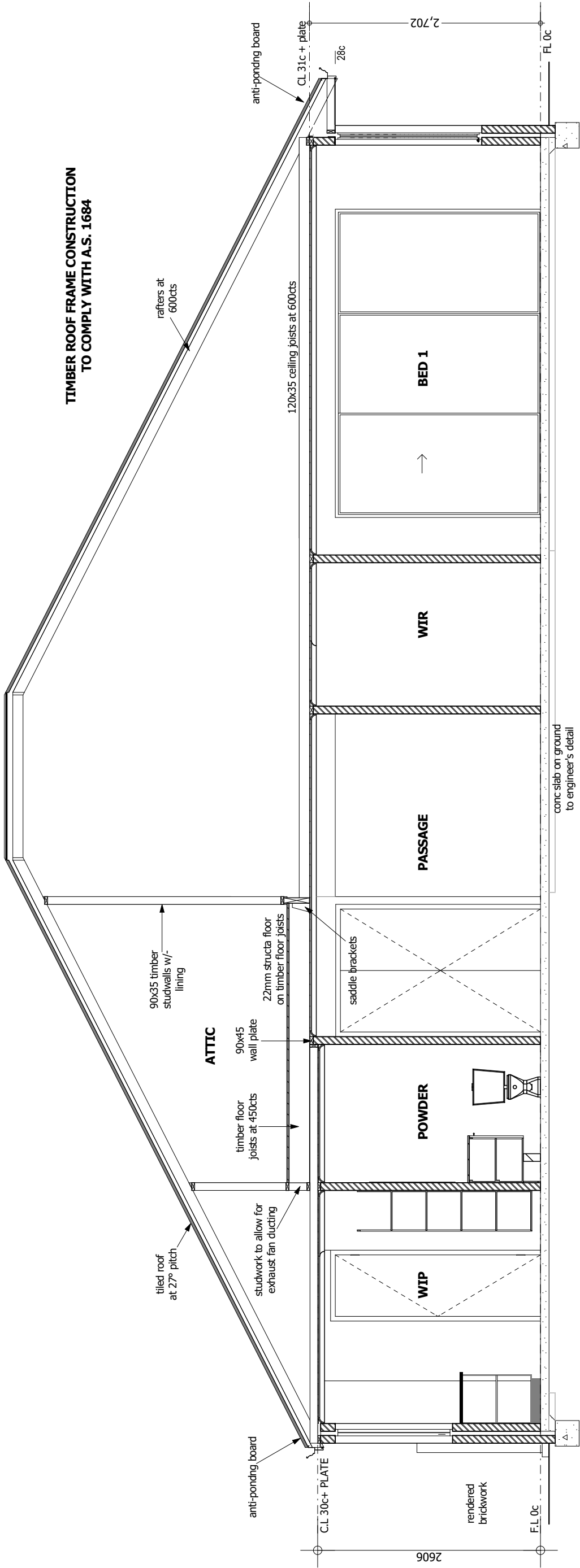
OWNER: _____

OWNER: _____

BUILDER: _____

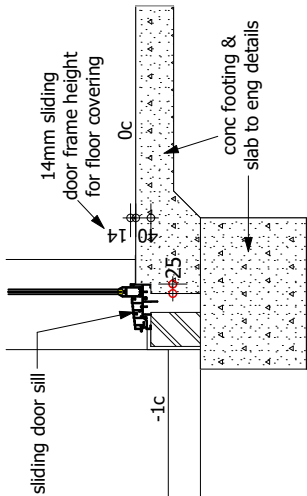
DATE: _____

AMENDMENTS:		Custom
08/10/19	RS	Pre-Contract Window Changes
10/10/19	GM	engineer amend
21/10/19	GM	pre-con VO items 11 & 12
30/10/19	GM	pre-con VO 1
25/11/19	GM	planning amend
28/11/19	GM	window amend
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31/1/20	SS	PS VO 1, 2, 3
6/2/20	GM	stormwater 3/03/20 recessed s/door sills
9/5/20	GM	CVO 9
		CONTRACT NO: 19016



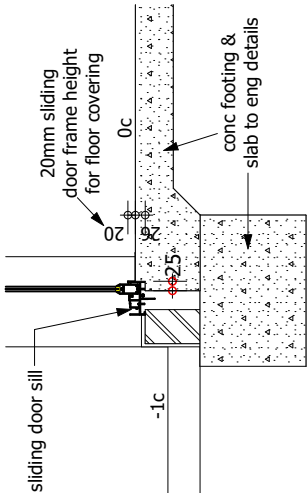
S1 SECTION

1:50



Stacking Door Sill Detail

1:20



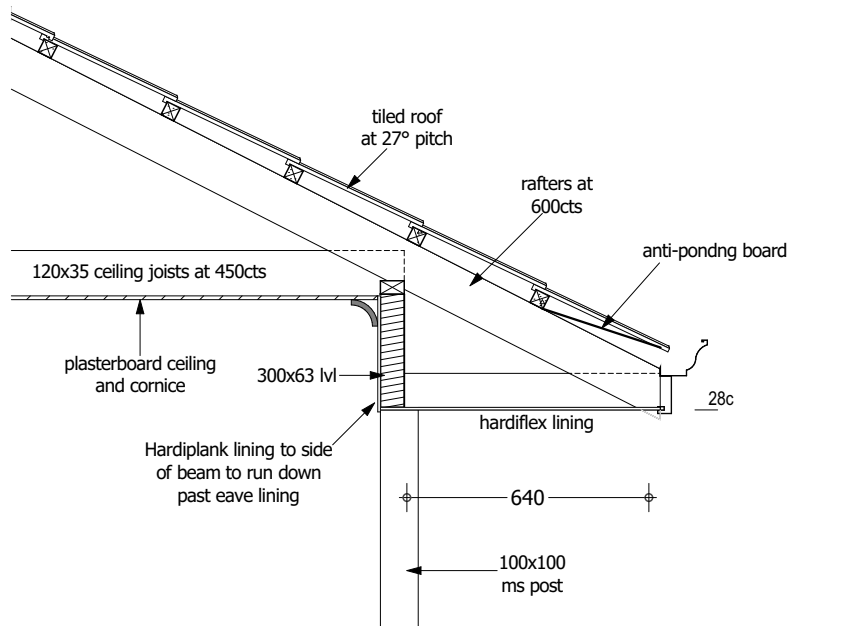
Sliding Door Sill Detail

1:20

ROOF CARPENTER NOTES

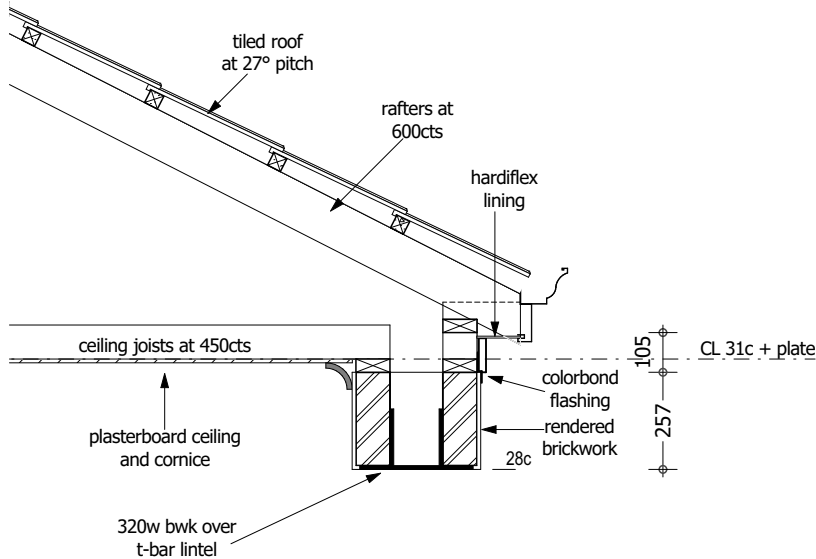
1. 120x35 CEILING JOISTS & 90x45 WALL PLATES THROUGHOUT EXCLUDING GARAGE, WIP & POWDER 30c CEILINGS.

TIMBER ROOF FRAME CONSTRUCTION TO COMPLY WITH A.S. 1684



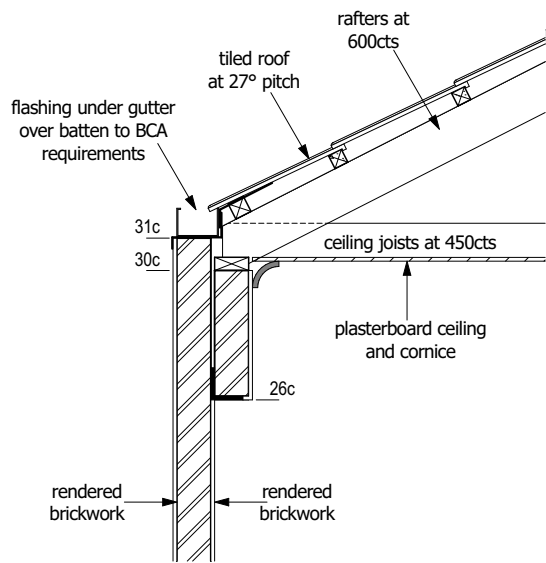
D2 ALFRESCO EAVE DETAIL

1:20



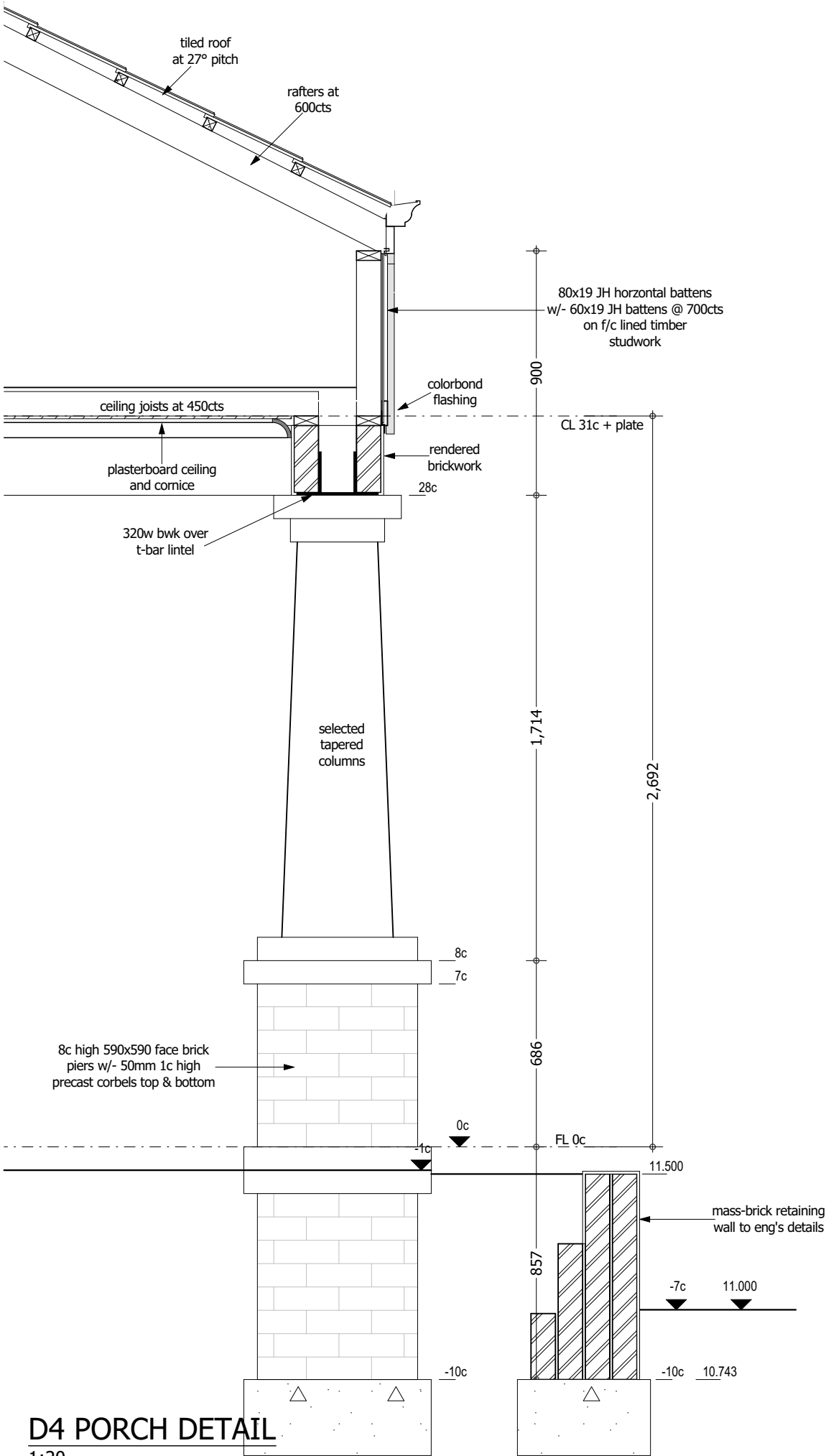
D3 PORCH DETAIL

1:20



D1 GARAGE BOUNDARY WALL DETAIL


1:20



D4 PORCH DETAIL

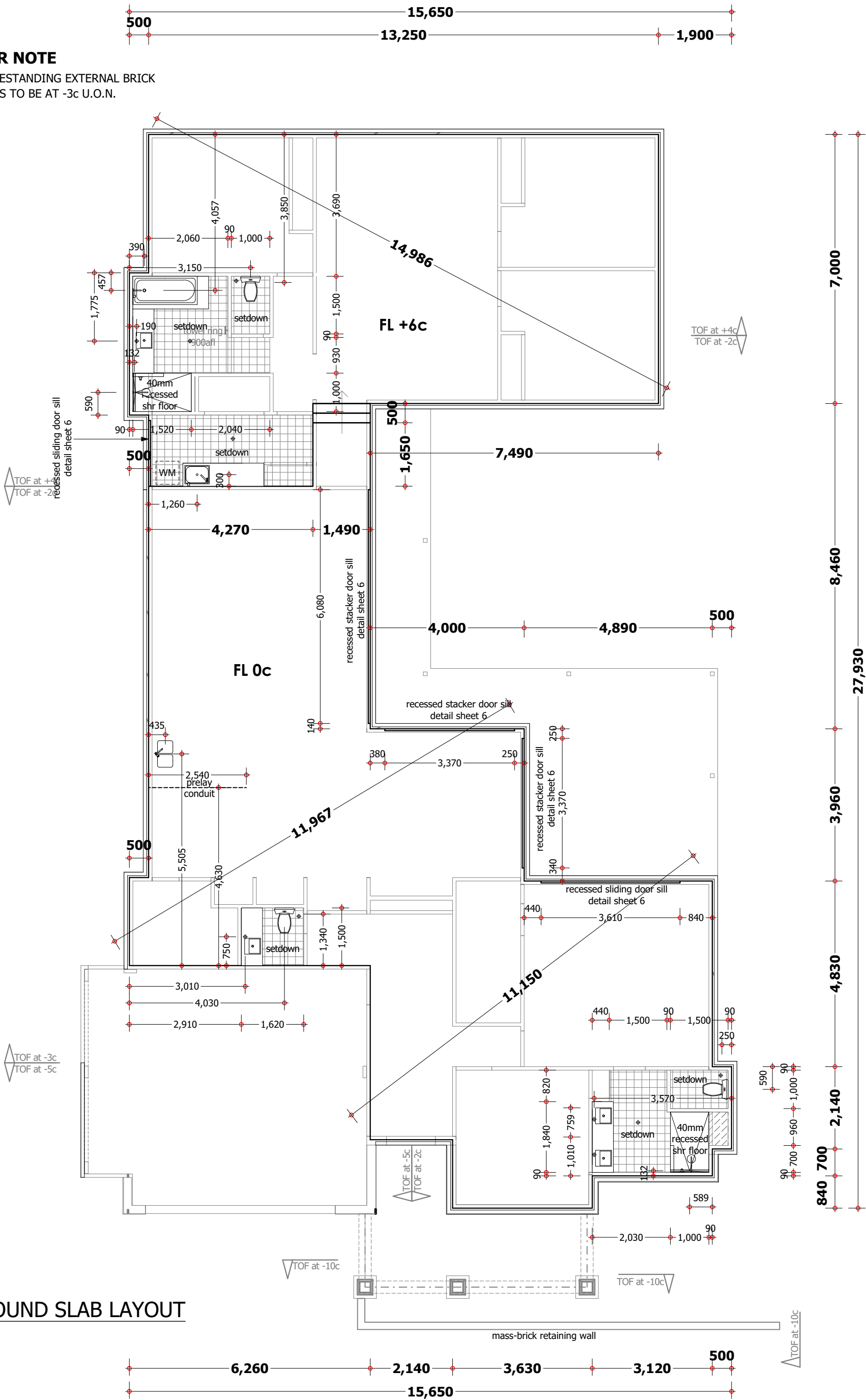
1:20

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	PROPOSED RESIDENCE ADDRESS: Lot 94 (#97) Brandon Street Kensington FOR: Mr M. & G. Coote	SIGNATURES:		AMENDMENTS:		Custom
		OWNER: _____	08/10/19	RS	Pre-Contract Window Changes	SHEET: 7 OF 15
			10/10/19	GM	engineer amend	
			21/10/19	GM	pre-con VO items 11 & 12	
			30/10/19	GM	pre-con VO 1	
		OWNER: _____	25/11/19	GM	planning amend	DRN: Grant McOuat
			28/11/19	GM	window amend	
		BUILDER: _____	3/12/19	GM	bath window deleted	DATE: 29-08-19
			11/12/19	GM	350 gge eaves	
			17/1/20	GM	pool setout	
		DATE: _____	31/1/20	SS	PS VO 1, 2, 3	SCALE:1:20
			6/2/20	GM	stormwater 3/03/20 recessed s/door sills	
9/5/20	GM		CVO 9			
			CONTRACT NO: 19016			

CONCRETOR NOTE

1. GARAGE & FREESTANDING EXTERNAL BRICK
PIER FOOTINGS TO BE AT -3c U.O.N.



GROUND SLAB LAYOUT
1:100

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PROPOSED RESIDENCE ADDRESS:
Lot 94 (#97) Brandon Street
Kensington
FOR:
Mr M. & G. Coote

SIGNATURES:

OWNER: _____

OWNER: _____

BUILDER: _____

DATE: _____

AMENDMENTS:

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17/1/20	GM	pool setout
31/1/20	SS	PS VO 1, 2, 3
6/2/20	GM	stormwater 3/03/20 recessed s/door sills
9/5/20	GM	CVO 9

Custom

SHEET: 8 OF 15

DRN: Grant McOuat

DATE: 29-08-19

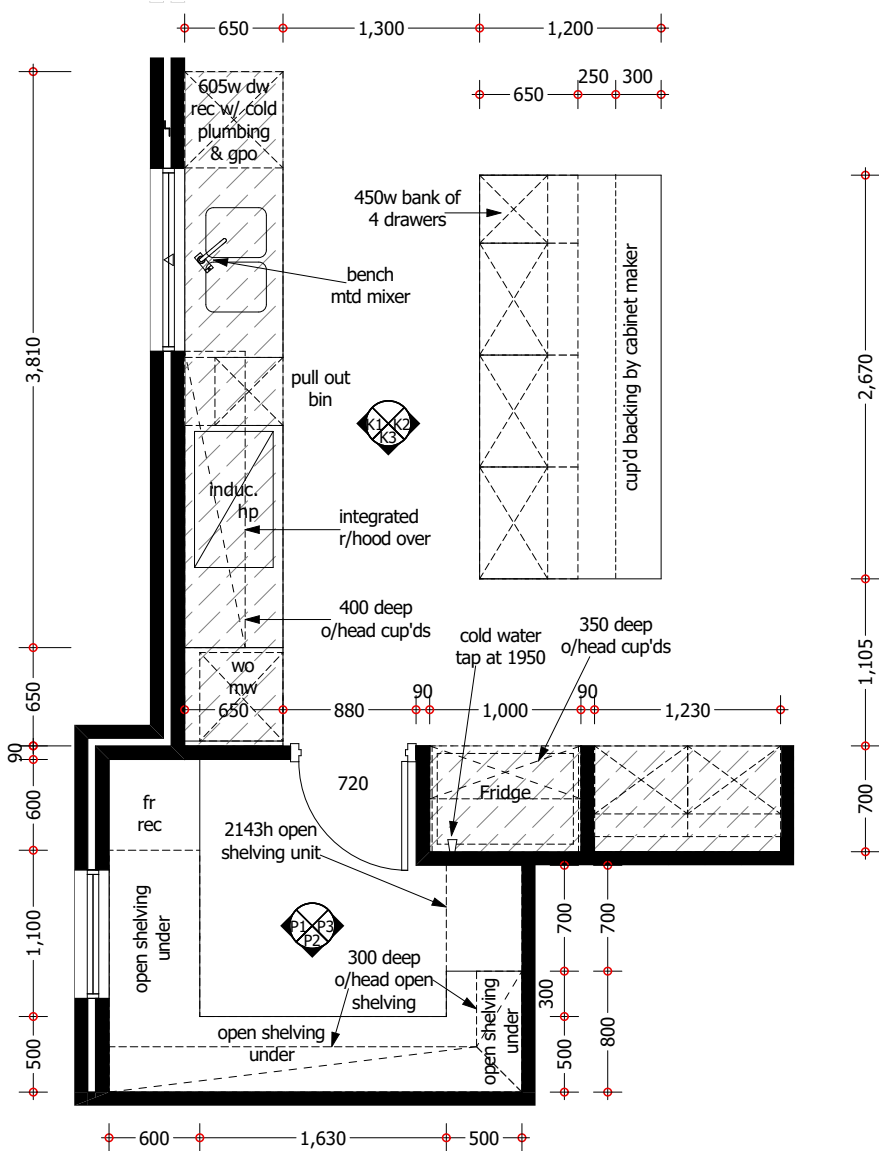
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CONTRACT NO:
19016

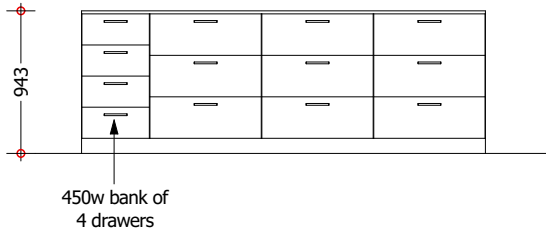
GENERAL NOTES

MITRED TILES THROUGHOUT.

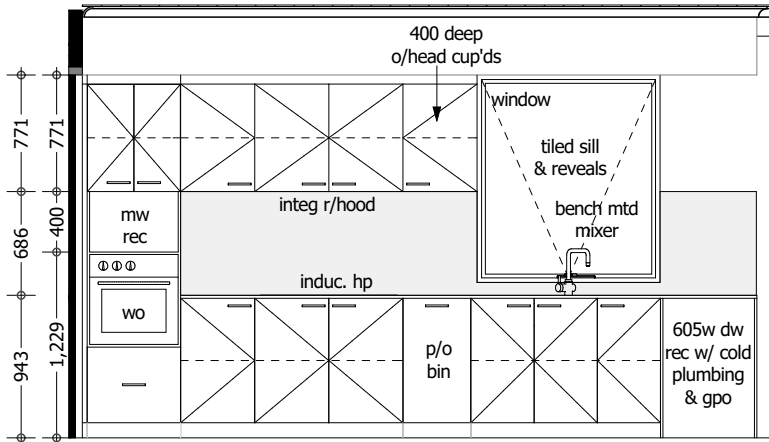
DIMENSIONS FOR CABINETWORK
ARE SUBJECT TO CABINETMAKER
REQUIREMENTS.



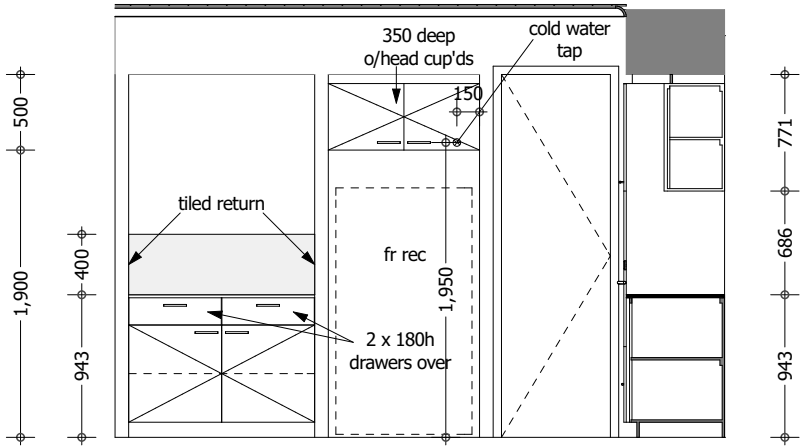
KITCHEN LAYOUT
1:50



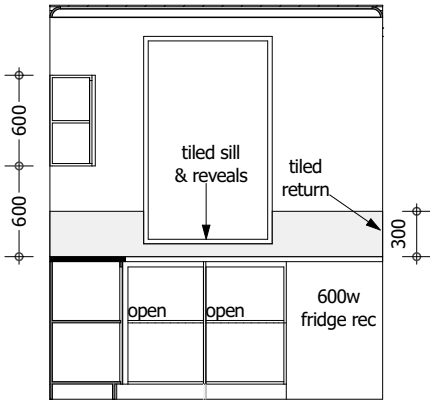
K2 KITCHEN
1:50



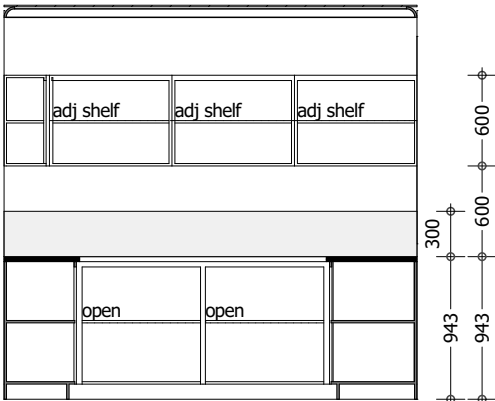
K1 KITCHEN
1:50



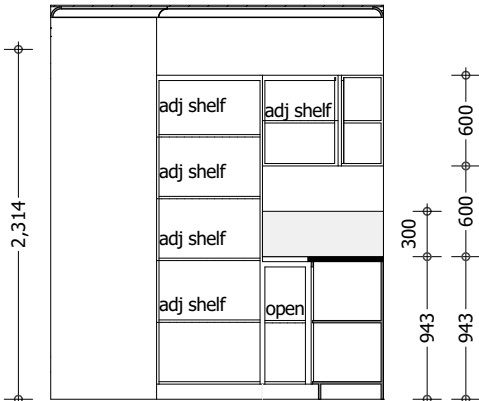
K3 KITCHEN
1:50



P1 WALK IN PANTRY
1:50



P2 WALK IN PANTRY
1:50



P3 WALK IN PANTRY
1:50

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PROPOSED RESIDENCE ADDRESS:
Lot 94 (#97) Brandon Street
Kensington
FOR:
Mr M. & G. Coote

SIGNATURES:

OWNER: _____

OWNER: _____

BUILDER: _____

DATE: _____

AMENDMENTS:

08/10/19	RS	Pre-Contract Window Changes
10/10/19	GM	engineer amend
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6/2/20	GM	stormwater 3/03/20 recessed s/door sills
9/5/20	GM	CVO 9

Custom

SHEET: 9 OF 15

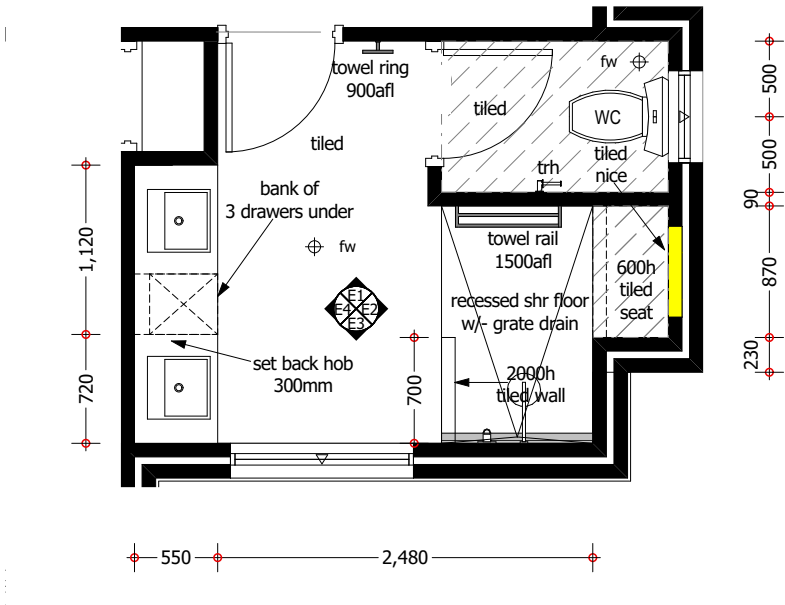
DRN: Grant McOuat

DATE: 29-08-19

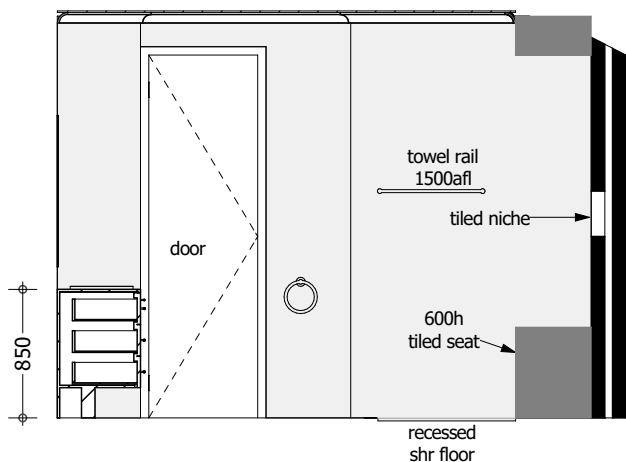
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CONTRACT NO:
19016

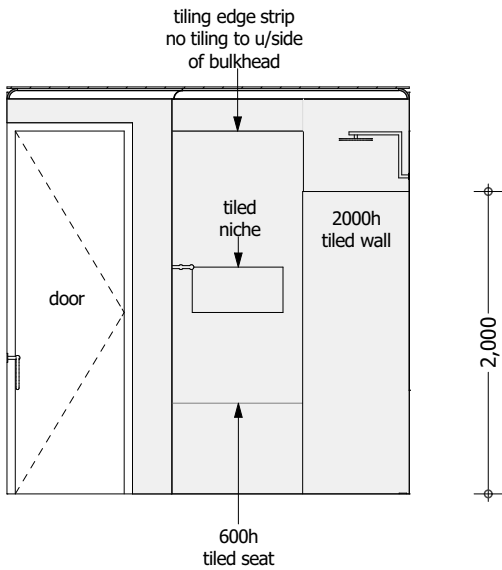
full height wall
tiling to ensuite
excluding WC



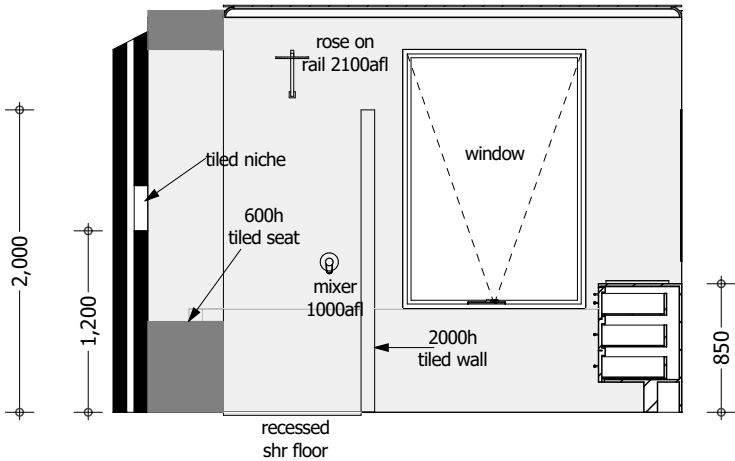
ENSUITE LAYOUT
1:50



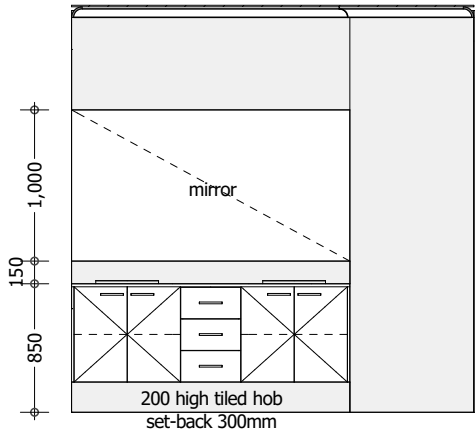
E1 ENSUITE
1:50



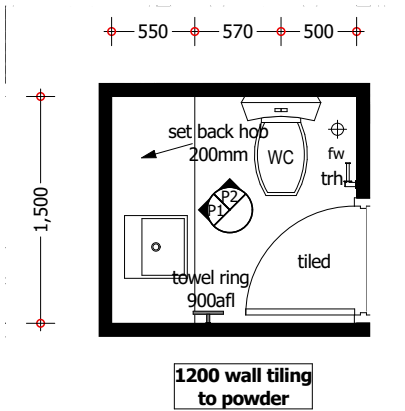
E2 ENSUITE
1:50



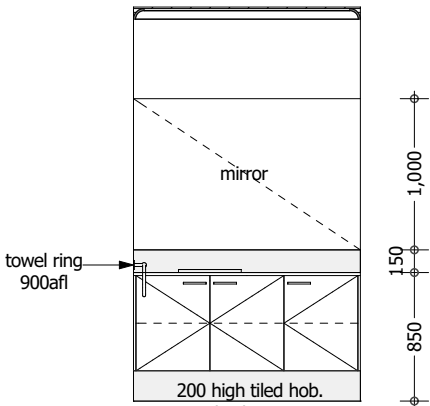
E3 ENSUITE
1:50



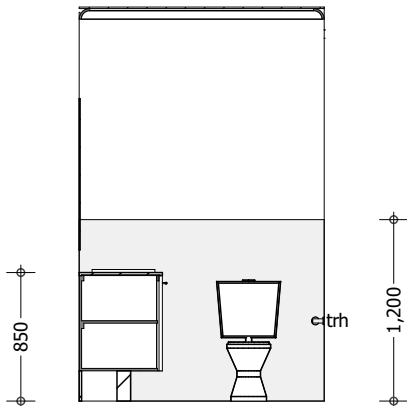
E4 ENSUITE
1:50



POWDER LAYOUT
1:50



P1 POWDER
1:50



P2 POWDER
1:50

GENERAL NOTES

MITRED TILES THROUGHOUT.

DIMENSIONS FOR CABINETWORK
ARE SUBJECT TO CABINETMAKER
REQUIREMENTS.

SIGNATURES:

OWNER: _____
OWNER: _____
BUILDER: _____
DATE: _____

AMENDMENTS:

08/10/19	RS	Pre-Contract Window Changes
10/10/19	GM	engineer amend
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9/5/20	GM	CVO 9

Custom

SHEET: 10 OF 15

DRN: Grant McOuat

DATE: 29-08-19

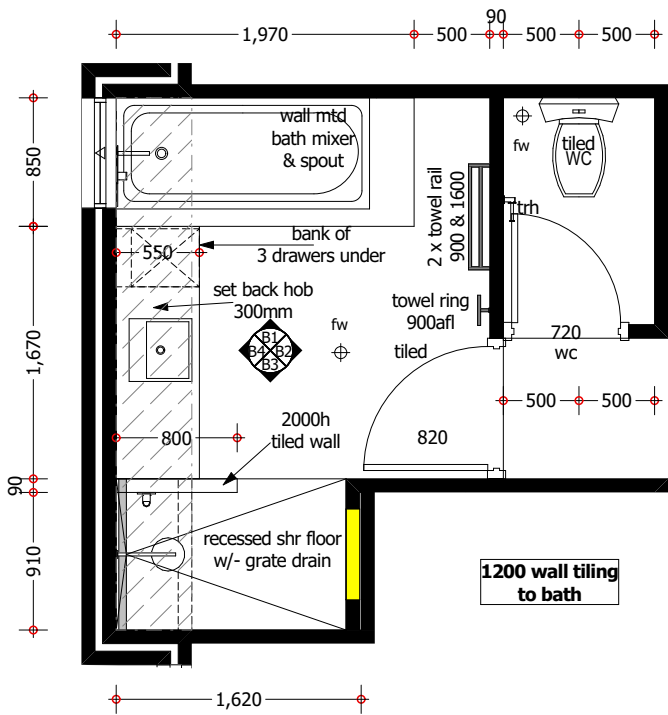
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CONTRACT NO:
19016

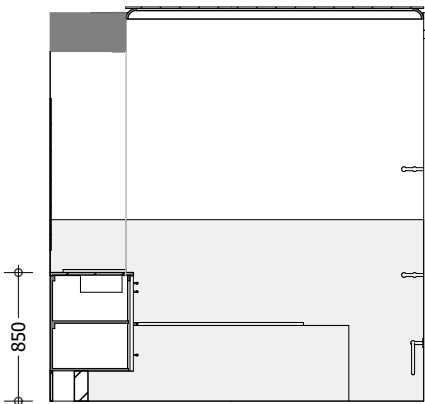
GENERAL NOTES

MITRED TILES THROUGHOUT.

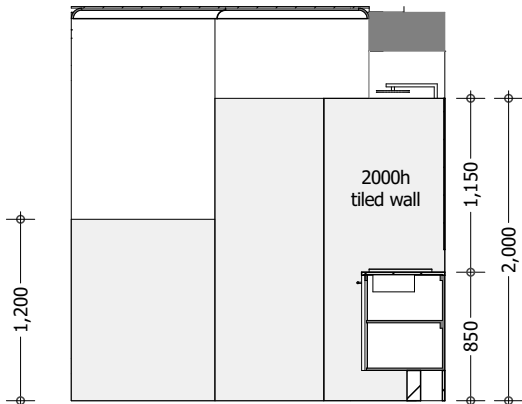
DIMENSIONS FOR CABINETWORK
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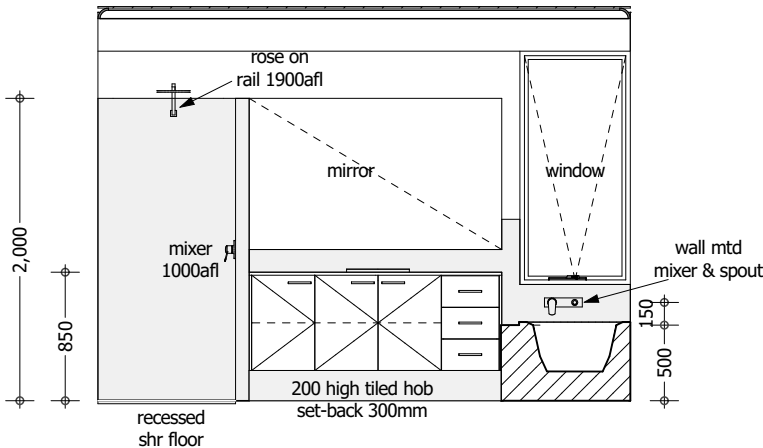
BATH LAYOUT
1:50



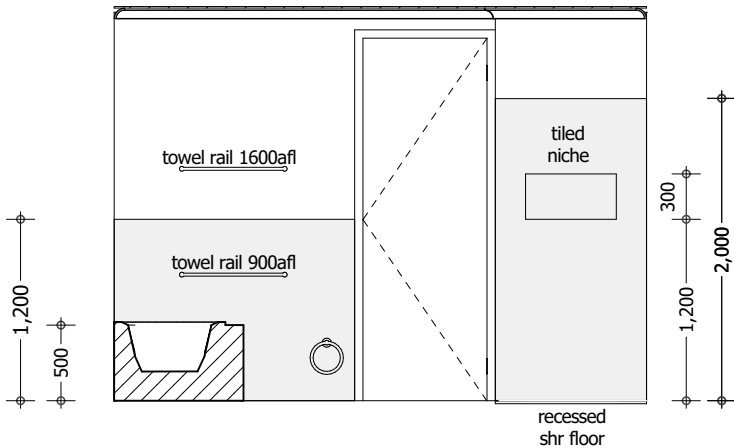
B1 BATHROOM
1:50



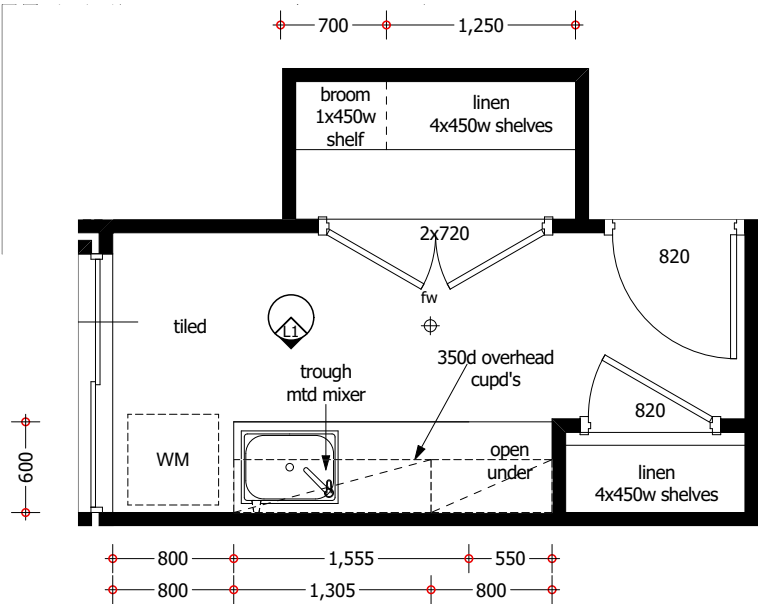
B3 BATHROOM
1:50



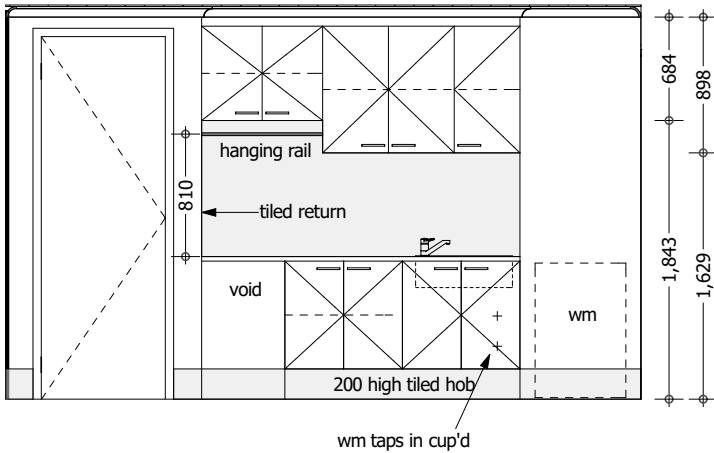
B4 BATHROOM
1:50



B2 BATHROOM
1:50



LAUNDRY LAYOUT
1:50



L1 LAUNDRY
1:50

© copyright



PROPOSED RESIDENCE ADDRESS:
Lot 94 (#97) Brandon Street
Kensington
FOR:
Mr M. & G. Coote

SIGNATURES:

OWNER: _____

OWNER: _____

BUILDER: _____

DATE: _____

AMENDMENTS:

08/10/19	RS	Pre-Contract Window Changes
10/10/19	GM	engineer amend
21/10/19	GM	pre-con VO items 11 & 12
30/10/19	GM	pre-con VO 1
25/11/19	GM	planning amend
28/11/19	GM	window amend
3/12/19	GM	bath window deleted
11/12/19	GM	350 gge eaves
17/1/20	GM	pool setout
31/1/20	SS	PS VO 1, 2, 3
6/2/20	GM	stormwater 3/03/20 recessed s/door sills
9/5/20	GM	CVO 9

Custom

SHEET: 11 OF 15

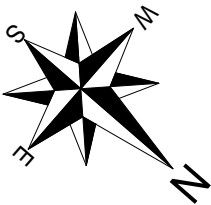
DRN: Grant McOuat

DATE: 29-08-19

SCALE:1:50, 1:100

CONTRACT NO:
19016

SEC Dome
Power Pole
Phone Pits
Water Conn.
Top Pillar/Post
Top Wall
Top Retaining
Top Fence



BEWARE:
Deep sewer junction.
Check With Water Corp
BUILDER and PLUMBER
check GRADE.

NOTE:
Approx. Sewer clearance line.
(THIS IS NOT AN EASEMENT)
No encasing. To be verified with
Water Corp.

BOUNDARY WALL
OFFSET 130mm
FROM BOUNDARY

existing meter in
plastic hatch
to be relocated
to NW boundary

PEG
GONE

PEG
GONE
proposed w/meter &
retic valve,
subject to Water Corp

NOTE/BEWARE:ADVISE TRADES
O/Head power lines

removed damaged footpath
and make good with roadbase

SITE PLAN - PROPOSED
1:200

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PROPOSED RESIDENCE ADDRESS:
Lot 94 (#97) Brandon Street
Kensington
FOR:
Mr M. & G. Coote

SIGNATURES:

OWNER: _____

OWNER: _____

BUILDER: _____

DATE: _____

AMENDMENTS:

08/10/19	RS	Pre-Contract Window Changes
10/10/19	GM	engineer amend
21/10/19	GM	pre-con VO items 11 & 12
30/10/19	GM	pre-con VO 1
25/11/19	GM	planning amend
28/11/19	GM	window amend
3/12/19	GM	bath window deleted
11/12/19	GM	350 gge eaves
17/1/20	GM	pool setout
31/1/20	SS	PS VO 1, 2, 3
6/2/20	GM	stormwater 3/03/20 recessed s/door sills
9/5/20	GM	CVO 9

Custom

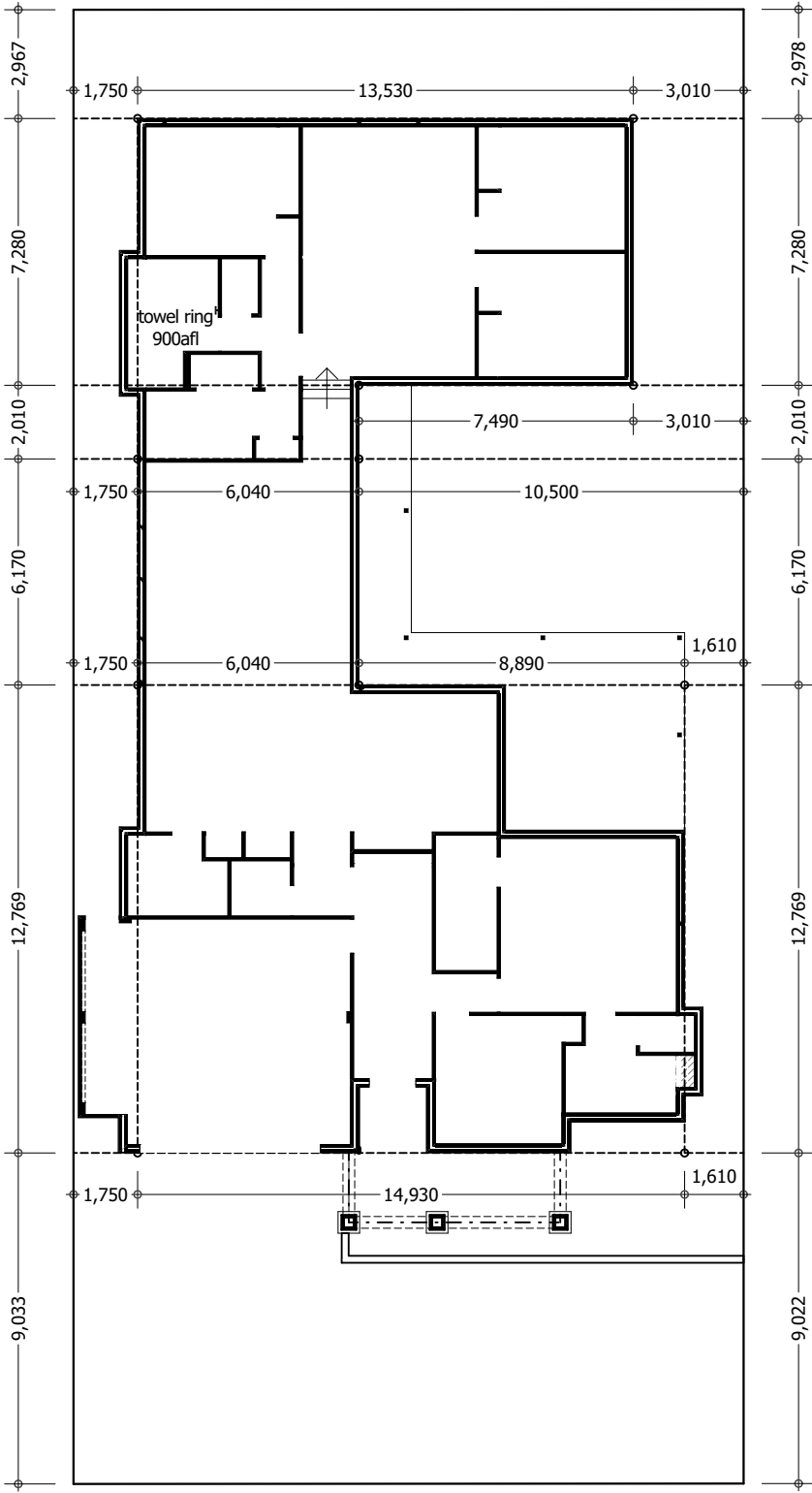
SHEET: 12 OF 15

DRN: Grant McQuat

DATE: 29-08-19

SCALE:1:200

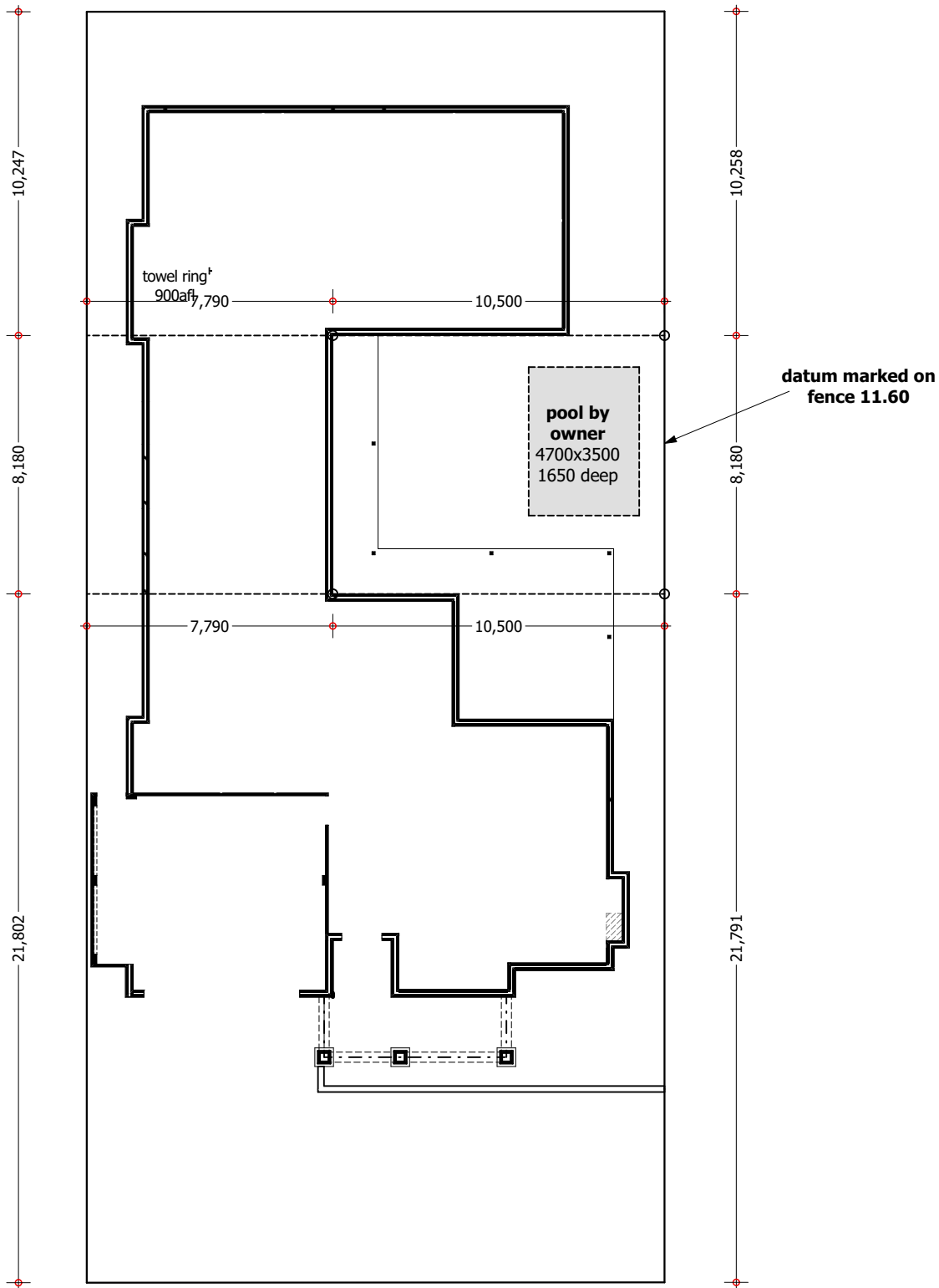
CONTRACT NO:
19016



SITE PLAN - HOUSE SETOUT
1:200

© copyright

 COAST HOMES	PROPOSED RESIDENCE ADDRESS: Lot 94 (#97) Brandon Street Kensington FOR: Mr M. & G. Coote	SIGNATURES:		AMENDMENTS:		Custom
		OWNER: _____	08/10/19	RS	Pre-Contract Window Changes	SHEET: 13 OF 15
			10/10/19	GM	engineer amend	DRN: Grant McOuat
			21/10/19	GM	pre-con VO items 11 & 12	
		OWNER: _____	30/10/19	GM	pre-con VO 1	SCALE:1:200
			25/11/19	GM	planning amend	
			BUILDER: _____	28/11/19	GM	window amend
		3/12/19		GM	bath window deleted	
		11/12/19		GM	350 gge eaves	
		DATE: _____	17/1/20	GM	pool setout	
			31/1/20	SS	PS VO 1, 2, 3	
			6/2/20	GM	stormwater 3/03/20 recessed s/door sills	
			9/5/20	GM	CVO 9	

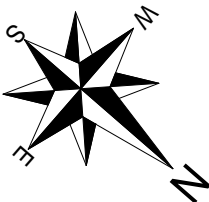


SITE PLAN - POOL SETOUT
1:200

© copyright

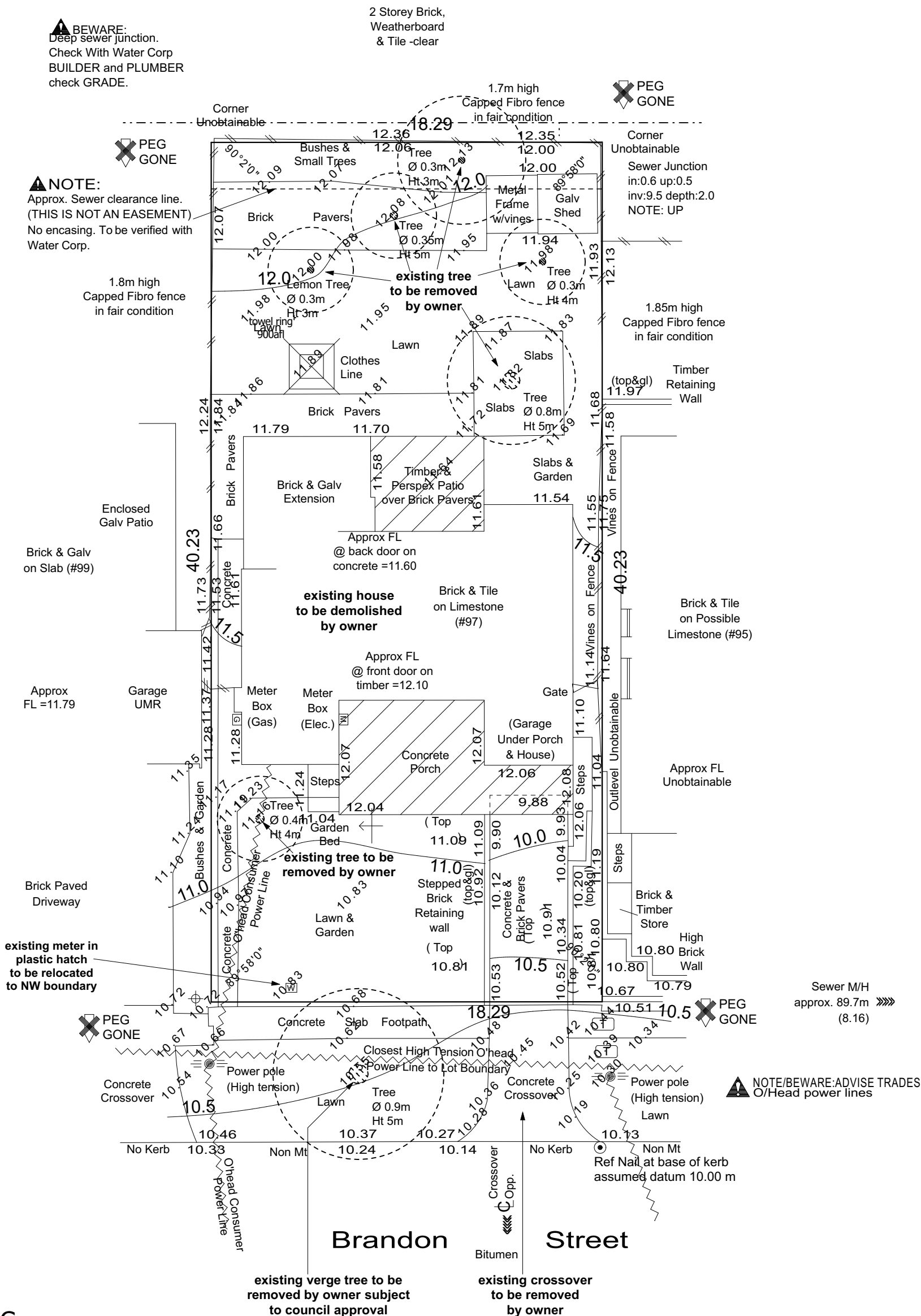
 C O A S T H O M E S	PROPOSED RESIDENCE ADDRESS: Lot 94 (#97) Brandon Street Kensington FOR: Mr M. & G. Coote	SIGNATURES:		AMENDMENTS:		Custom
		OWNER: _____	08/10/19	RS	Pre-Contract Window Changes	SHEET: 14 OF 15
			10/10/19	GM	engineer amend	
			21/10/19	GM	pre-con VO items 11 & 12	
		OWNER: _____	30/10/19	GM	pre-con VO 1	DRN: Grant McOuat
			25/11/19	GM	planning amend	
			28/11/19	GM	window amend	
		BUILDER: _____	3/12/19	GM	bath window deleted	DATE: 29-08-19
			11/12/19	GM	350 gge eaves	
			17/1/20	GM	pool setout	
		DATE: _____	31/1/20	SS	PS VO 1, 2, 3	SCALE:1:200
			6/2/20	GM	stormwater 3/03/20 recessed s/door sills	
			9/5/20	GM	CVO 9	
						CONTRACT NO:

⊕	SEC Dome
⊖	Power Pole
T	Phone Pits
C	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence



BEWARE:
Deep sewer junction.
Check With Water Corp
BUILDER and PLUMBER
check GRADE.

NOTE:
Approx. Sewer clearance line.
(THIS IS NOT AN EASEMENT)
No encasing. To be verified with
Water Corp.



SITE PLAN - EXISTING
1:200

© copyright



PROPOSED RESIDENCE ADDRESS:
Lot 94 (#97) Brandon Street
Kensington
FOR:
Mr M. & G. Coote

SIGNATURES:

OWNER: _____

OWNER: _____

BUILDER: _____

DATE: _____

AMENDMENTS:

08/10/19	RS	Pre-Contract Window Changes
10/10/19	GM	engineer amend
21/10/19	GM	pre-con VO items 11 & 12
30/10/19	GM	pre-con VO 1
25/11/19	GM	planning amend
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3/12/19	GM	bath window deleted
11/12/19	GM	350 gge eaves
17/1/20	GM	pool setout
31/1/20	SS	PS VO 1, 2, 3
6/2/20	GM	stormwater 3/03/20 recessed s/door sills
9/5/20	GM	CVO 9

Custom

SHEET: 15 OF 15

DRN: Grant McOuat

DATE: 29-08-19

SCALE:1:200, 1:1

CONTRACT NO:
19016