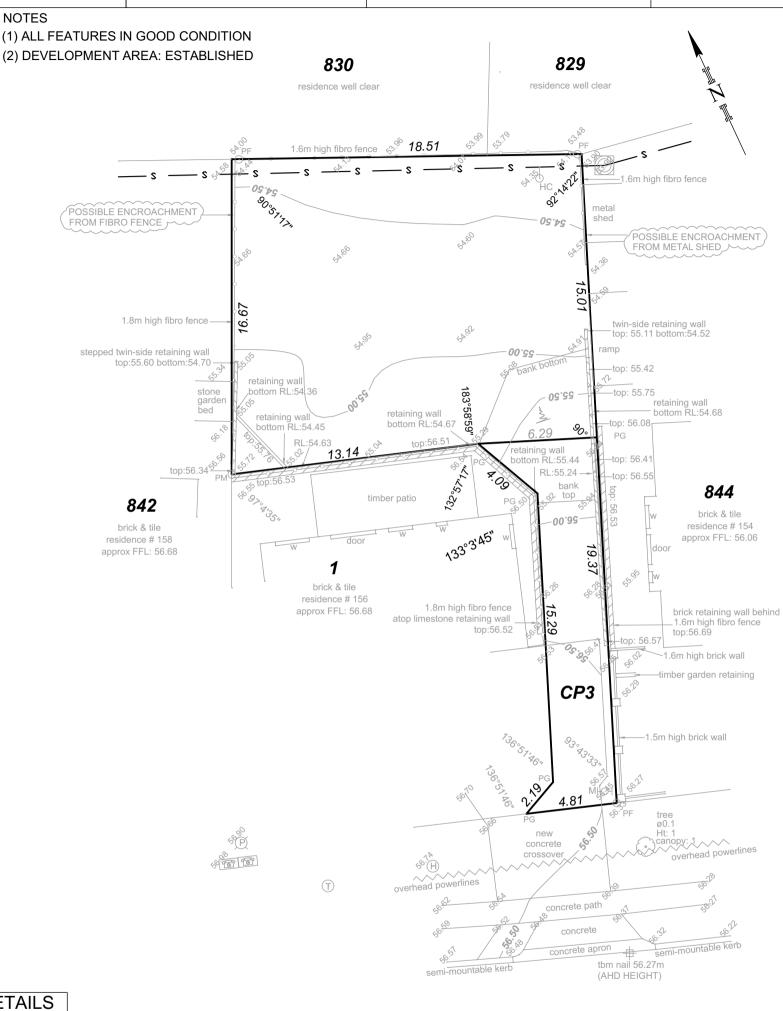


Licensed and Engineering Surveying Consultants

T (08) 9242 8247 E: admin@prowestsurveying.com.au F (08) 9242 8296 Web: www.prowestsurveying.com.au

	Feature & Contour Survey of	f. Lat 2 Na. 1564	Caridoan Stroot	Uaathridaa	REVISION: A
	realure & Contour Survey of	71. LULZ, NO. 150A	Candean Street,	пеанниде	SHEET: 1 OF 1
	CLIENT: KENYON	PLAN: SP 78109	LOT AREA: 297m²	SURVEY DATE	: 06/06/18
ï	BUILDER: MY HOMES WA	C/T Vol: 405 Fol:	16	MAP REFEREN	ICE:
	BUILDER JOB # 18062	HEIGHT DATUM: A	HD	COASTAL ZON	E: >1KM
	AUTHORITY: CITY OF JOONDALUP	HEIGHT CORRECTION	ON TO AHD: NO	SEWER INFOR	MATION: YES

Po Box 1463 Osborne Park DC 6916 DWG# 2640001 FEATURE SYMBOL **NOTES** LEGEND **POWER** CABLE DOME POWER POLE @ PF CONSUMER ⊕ CF CABLE BOX POLE **POWER EXPOSED** (P) **MARKER CABLES** EARTH LIGHT POLE #LP ⊚ ER ROD WATER WATER FIRE METER / TAP (H)HYDRANT 0 TAP STOP VALVE FLUSHING RETIC VALVE [R POINT WATER **BORE** MARKER SEWERAGE SEWER M/H SEWER M/H (SQUARE LID) (ROUND LID) INSPECTION . IS INSPECTION (SHAFT **OPENING** O HC HOUSE 10 CONNECTION TELSTRA TELSTRA TELSTRA **T** M MANHOLE PIT **TELSTRA TELSTRA** (T)**PILLAR** MARKER DRAINAGE DRAIN M/H DRAIN M/H (SQUARE LID) (ROUND LID) SIDE DRAINAGE ENTRY PIT **GRATE** COMBINED **ENTRY PIT GAS GAS METER** GAS VALVE GAS MARKER **SURVEY MARKS** PEG FOUND PEG GONE BENCH MARK DRILL HOLE DH NAIL & PLATE NPLIG PM \odot PEN MARK NAIL NAIL / MISCELLANEOUS INFO. STREET SIGN (S) SPOT HEIGHT ,O. UNKNOWN BOLLARD 🕒 B SERVICE MARKER **SEWER OVERHEAD** LINE POWER LINE WINDOW / FENCE LINE **OPENING** SERVICE DETAILS WATER: L OVERHEAD POWER: L U/G POWER: L TELSTRA: L GAS: A,TBC SEWER: L SERVICE NOTES L: LOCATED NS: NO SERVICE A: AVAILABLE BUT NOT LOCATED TBC: LOCATION TO BE CONFIRMED SEWER JUNCTION DETAILS HOUSE CONNECTION (HC) IL: **DEPTH TO CONNECTION:** 0



1.44 **UP DISTANCE:**

SCALE 1:200 AT A3 SIZE

7.5 10 15

IMPORTANT FEATURE SURVEY NOTES

(bitumen)

CARIDEAN SIREEI

1. The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A repeg / bdy identification survey is recommended if an accurate position of features / improvements relative to the boundary is required.

2. The sewer junction on this plan has been plotted using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.

3. The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plans. The final repegged dimensions may vary due to adjustments made during field survey.

4. All service information shown of this plan should be verified with the relevant authorities.

5. Pro West Surveying does not accept liability for any loss or damage caused by the use of this feature survey plan for any purpose.



nomes wa

WE TURN A HOUSE INTO A HOME 41 cedric st., stirling

House Type: CUSTOM	Job No:18062	Drawing Name: EX	CISTING	S SITE PLAN		Sheet No:	1 of 10
Lot Address:2 (#156 A) CARIDE	EAN STREET,HEA	THRIDGE	Cou	ıncil: JOONDALUP	ification: PEA	\RL	
THIS IS ONE OF THE DRAWIN	IGS REFERRED TO IN THE	CONTRACT		VARIA	ATIONS		
Client Name: LINDSEY ALANA	KENIVON		REV NO.	VARIATION		DATE DRN.	BY
Ciletti Name. LINDSET ALANA	KENTON Da	te:	1	WORKING DRAWINGS + VF	₹	25/06/2018	VN-AA
Signature:			2	DRAFTING CORRECTION		26/07/2018	MP
			3	PRESTART		19/10/2018	VN-EM
Client Name:	Da	to.	4	PLANNING CHANGES - VO	2	13/02/2019	MG
	Da	//	5	VO 3		18/03/2019	MG
Signature:			6	DRAFTING FIXES		25/03/2019	MG
			7				
The home will be built to the dimensions on the		the sole property of the builder	8				
working drawings		ven, lent, resold or otherwise	9				
within a reasonable tolerance	disposed or copied w	ithout the permission in writing	40				



Licensed and Engineering Surveying Consultants

T (08) 9242 8247 E: admin@prowestsurveying.com.au Web: www.prowestsurveying.com.au F (08) 9242 82 6

REVISION: A Feature & Contour Survey of: Lot 2, No. 156A Caridean Street, Heathridge SHEET: 1 OF 1

CLIENT: KENYON PLAN: SP 78109 LOT AREA: SURVEY DATE: 06/06/18 BUILDER: MY HOMES WA C/T Vol: 405 Fol: 16 MAP REFERENCE:

>1KM

COASTAL ZONE:

SEWER INFORMATION: YES

HEIGHT DATUM: AHD AUTHORITY: CITY OF JOONDALUP HEIGHT CORRECTION TO AHD: NO

FEATURE SYMBOL LEGEND

Po Box 1463 Osborne Park DC 6916

POWER CABLE DOME (P) POWER POLE OPI CONSUMER + CF CABLE BOX POLE **POWER EXPOSED** MARKER **CABLES EARTH** LIGHT POLE # LP ER ROD WATER

FIRE

METER / TAP **HYDRANT** STOP VALVE FLUSHING -Ö+FP RETIC VALVE R POINT WATER MARKER **BORE SEWERAGE**

WATER

SEWER M/H SEWER M/H (SQUARE LID) (ROUND LID) INSPECTION O 10 INSPECTION OIS **OPENING** SHAFT O H HOUSE CONNECTION

TELSTRA **TELSTRA TELSTRA** PIT **MANHOLE** TELSTRA **TELSTRA** MARKER PILLAR DRAINAGE

DRAIN M/H DRAIN M/H (SQUARE LID) (ROUND LID) SIDE DRAINAGE **ENTRY PIT GRATE** COMBINED **ENTRY PIT** GAS

GAS METER

GAS MARKER SURVEY MARKS PEG FOUND **PEG GONE**

GAS VALVE

BENCH MARK DRILL HOLE DH NAIL & PLATE NPL РМ С PEN MARK NAIL

MISCELLANEOUS INFO. STREET SIGN (S) SPOT HEIGHT

UNKNOWN BOLLARD OB SERVICE MARKER SEWER OVERHEAD LINE POWER LINE WINDOW / FENCE LINE **OPENING**

SERVICE DETAILS

WATER: L OVERHEAD POWER: L U/G POWER: L TELSTRA: L GAS: A,TBC SEWER: L SERVICE NOTES

L: LOCATED NS: NO SERVICE A: AVAILABLE BUT NOT LOCATED

SEWER JUNCTION DETAILS

HOUSE CONNECTION (HC) IL: 52.91 **UP DISTANCE: DEPTH TO CONNECTION:** 1.44

& SHIRE REQUIREMENTS TBC: LOCATION TO BE CONFIRMED

WITH BCA PART 3.1 & AS/NZ 3500.3.2003 PLUMBING & DRAINAGE

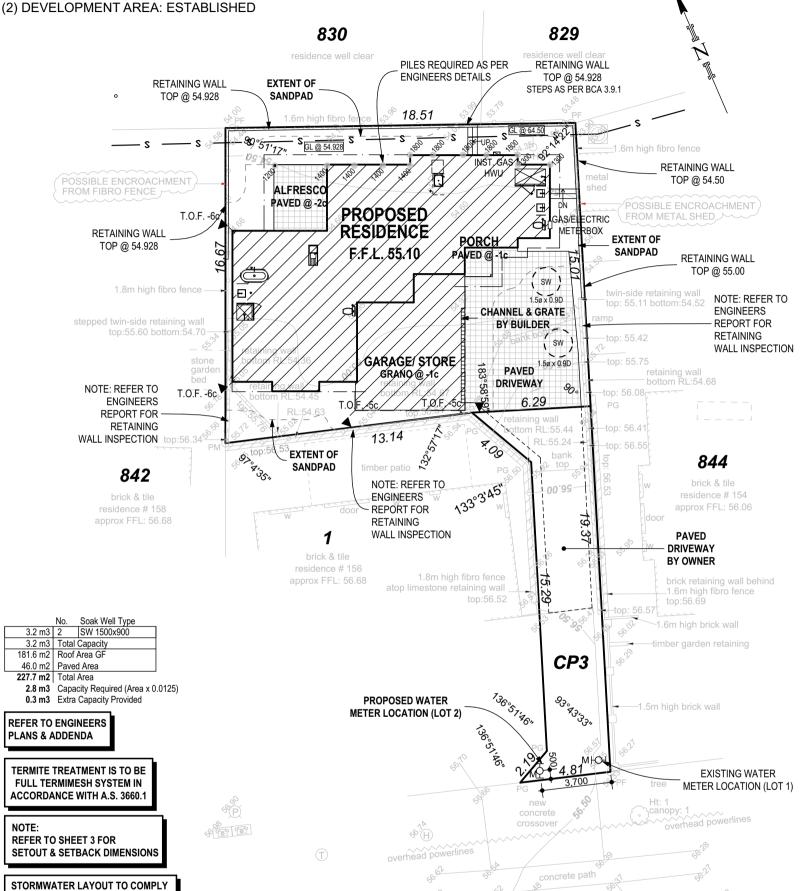
PART 3: STORMWATER DRAINAGE

(1) ALL FEATURES IN GOOD CONDITION

DWG# 2640001

NOTES

BUILDER JOB # 18062



SCALE 1:200 AT A3 SIZE 7.5 10 12.5

CARIDEAN STREET

concrete apron semi-mountable kerb

tbm nail 56.27m

IMPORTANT FEATURE SURVEY NOTES

1. The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A repeg / bdy identification survey is recommended if an accurate position of features / improvements relative to the boundary is required.

2. The sewer junction on this plan has been plotted using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.

3. The lot dimensions shown on this feature survey plan have been taken from L.T. The final repegged dimensions may vary due to adjustments made during field survey.

4. All service information shown of this plan should be verified with the relevant authorities.

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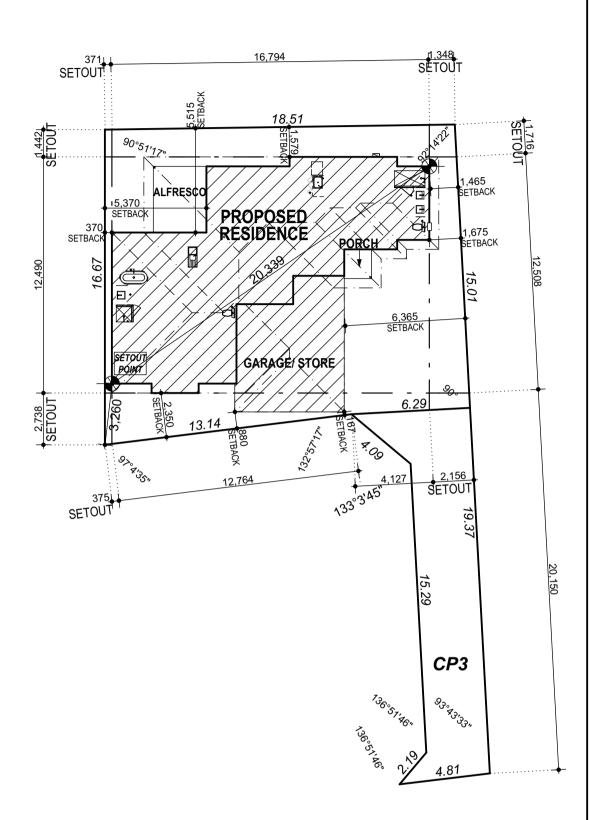


nomes wa

WE TURN A HOUSE INTO A HOME 41 cedric st., stirling

House Type: CUSTOM	Job No:18062	Drawing Name: SI	TE PL	AN		Sheet No:	2 of 10
Lot Address:2 (#156 A) CARIDE	AN STREET,HEA	ATHRIDGE	Co	uncil: JOONDALUP	Speci	fication: PEA	\RL
THIS IS ONE OF THE DRAWIN	GS REFERRED TO IN TH	E CONTRACT		VARIA	ATIONS		
Client Name: LINDCEV ALANA	KENVON		REV NO.	VARIATION		DATE DRN.	BY
Client Name: LINDSEY ALANA	KENTON Da	te:	1	WORKING DRAWINGS + VF	₹	25/06/2018	VN-AA
Signature:			2	DRAFTING CORRECTION		26/07/2018	MP
			3	PRESTART		19/10/2018	VN-EM
Client Name:	De	te:	4	PLANNING CHANGES - VO	2	13/02/2019	MG
	Da	ite:/	5	VO 3		18/03/2019	MG
Signature:			6	DRAFTING FIXES		25/03/2019	MG
			7				
The home will be built to the dimensions on the		the sole property of the builder	8				
working drawings		ven, lent, resold or otherwise	9				
within a reasonable tolerance	 disposed or copied w 	rithout the permission in writing				_	





CARIDEAN STREET

CARIDEAN STREET

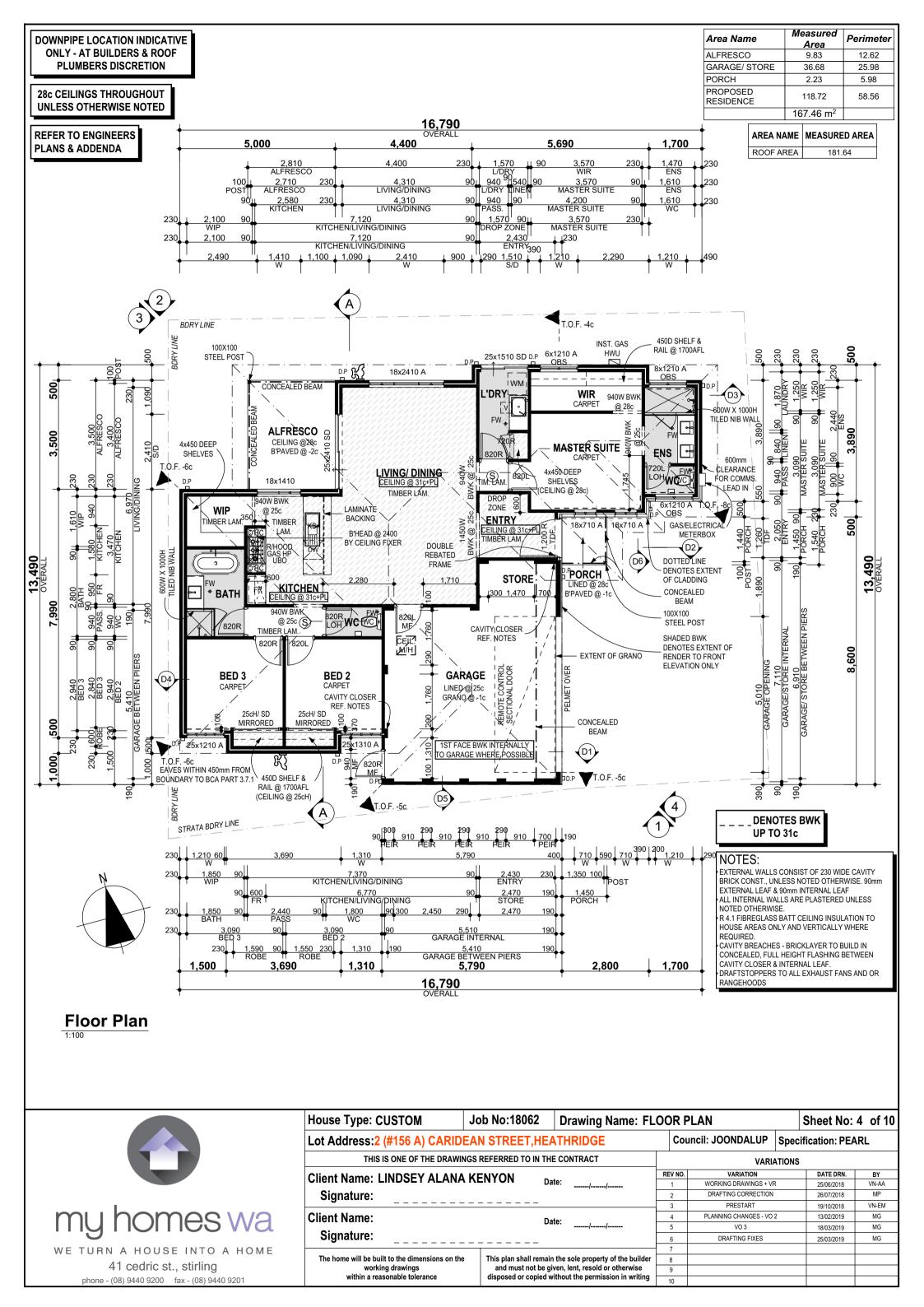
 $\frac{\textbf{Strata Plan}}{{}^{1:200}}$

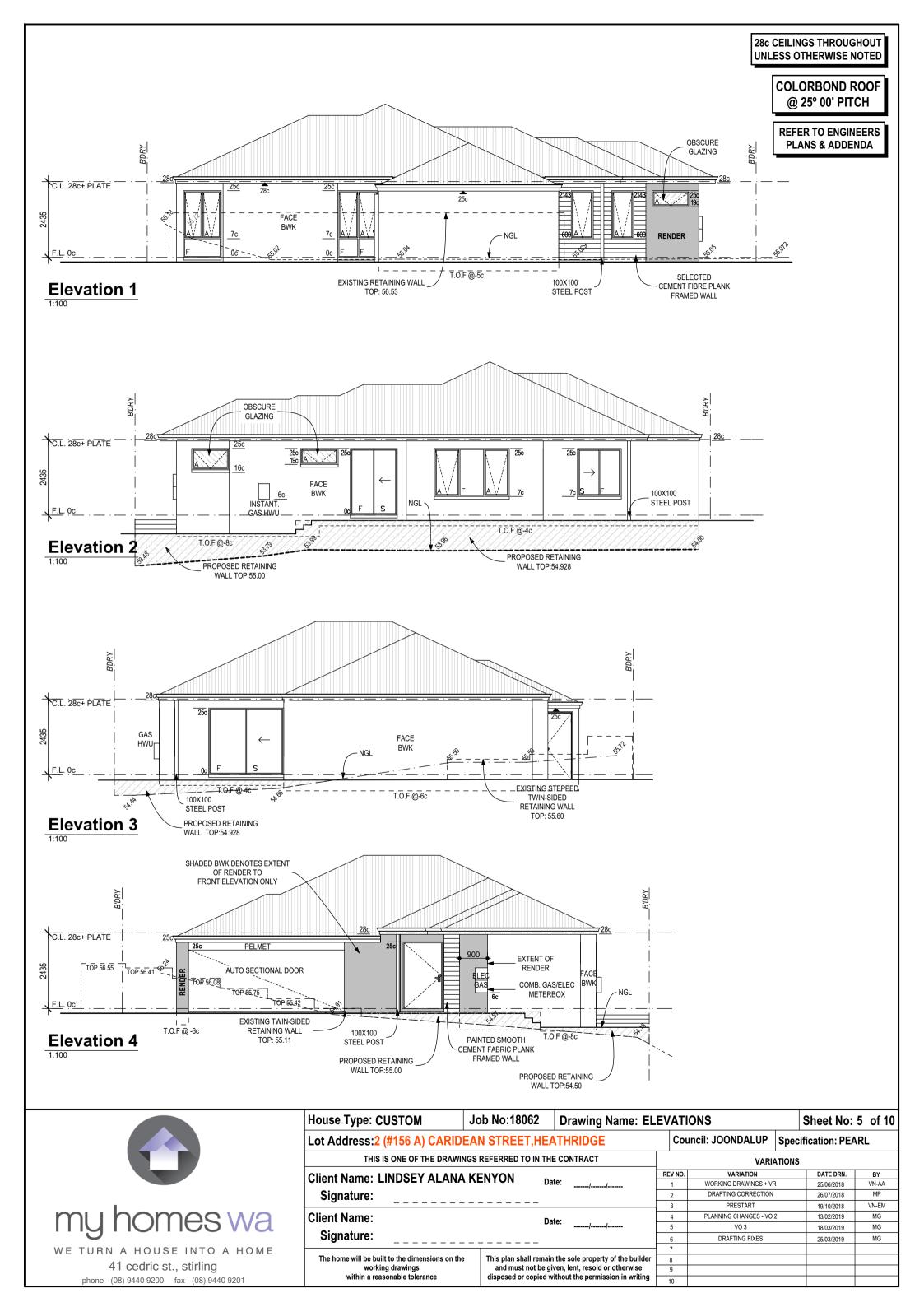
Site Layout



41 cedric st., stirling phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: CUSTOM	Job No:18062	Drawing Name: SI	LE LA	YOUT		Sheet No:	3 of 10		
Lot Address:2 (#156 A) CARIDE	AN STREET,HEA	ATHRIDGE	Council: JOONDALUP Spec			cification: PEARL			
THIS IS ONE OF THE DRAWING	THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT				VARIATIONS				
Client Name: LINDSEY ALANA I	CENIVON		REV NO.	VARIATION		DATE DRN.	BY		
Cheff Name. LINDSET ALANA					₹	25/06/2018	VN-AA		
Signature:						26/07/2018	MP		
			3	PRESTART		19/10/2018	VN-EM		
Client Name:	Da	to:	4	PLANNING CHANGES - VO	2	13/02/2019	MG		
	Da	Date:/	5	VO 3		18/03/2019	MG		
Signature:			6	DRAFTING FIXES		25/03/2019	MG		
			7						
The home will be built to the dimensions on the	working drawings and must not be given, lent, resold or otherwise		8						
			9		, and the second				
within a reasonable tolerance	alsposed or copied w	itnout the permission in writing	10						

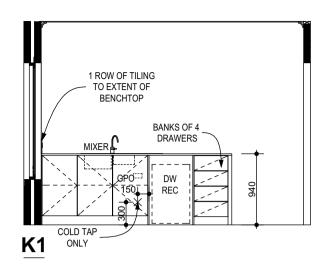


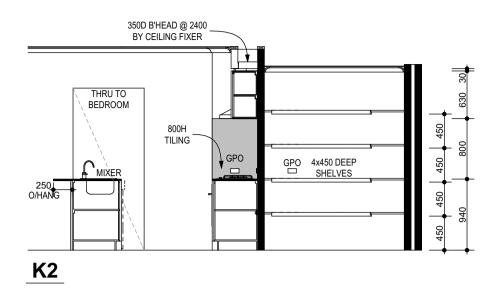


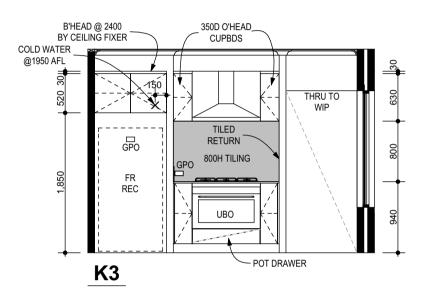
ELECTRICAL NOTE: ELECTRICAL LEGEND POWER POINT AND LIGHT LOCATIONS MAY CHANGE DUE TO **ELECTRICAL LAWS OF WA** Insulation **Watts Penetrations** DIMENSIONS SHOWN ARE TO THE CENTRELINE OF GPO's Qty Sym. RECESSED LED DOWN-LIGHT (15w) Perime - LIGHT SWITCHES ARE TO BE 1200 AFL OR OTHERWISE NOTED 15* Lighting EXTERNAL WALL LIGHT @ 1800 AFL DRAFTSTOPPERS TO ALL EXHAUST FANS AND OR RANGEHOODS (€)15w^{*} Perimeter Lighting (15w EXTERNAL LIGHT (15w) Perimeter Lighting 15* 1 2 **15w** EXTERNAL LIGHT (15w) Class 10 * * 1 **15w** EXTERNAL LIGHT (15w) Class 1 Alfresco 15* 2 RA 0.063 VENTILATION FOR RANGEHOOD 0 2 30 0.027 ● 15w RECESSED LED DOWN-LIGHT (15w) \odot 2 H.WIRED SMOKE DETECTOR 0 EXHAUST FAN FLUMED 4 lacksquare0 0.196 () 15w CEILING LIGHT (15w) 13 195 ٧ Ceiling Vent 0 1 # 0 1 TV POINT 1 SINGLE WATER PROOF GPO 0 6 SINGLE GPO @ NOTED HT 0 SINGLE GPO @ 300 AFL 1 0 1 0 SINGLE CIRCUIT GPO PHONE POINT 0 1 1 DOUBLE GPO @ NOTED HT W/USB 1 0 6 DOUBLE GPO @ NOTED HT DOUBLE GPO @ 300 AFL 5 0 CF 1 CONDUIT FOR FUTURE FIBRE OPTIC 0 7 (C) 20MM CONDUIT TO LIGHT SWITCH OF GPO \mathbf{v} DATA POINT NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. Subtotal: 226 0.286 PERIMETER LIGHTING MIN. 40 LUMENS/W. Total Class 1 Wattage= 226 WP GPO FOR Wattage Calculations (Class 1) INSTANT. GAS √T.O.F. -4c Allowed Actual HWU @ 1050 **Story Name** Wattage Wattage INSTANT. GAS HWU 0 | F.L. 107.57 Sqm 538 w 226 w 107.57 sqm PASS 538 w 226 w Recessed Fitting Penetrations (Class 1) Maximum Actual Story Name Area **Penetrations Penetrations** 300 300 A 300 H Total Insulation Area 107.57 sqm 0.538 sqm 0.286 sqm 15w **15w*** 107.57 sqm 0.286 sqm PASS 0.538 sam \bigcirc MASTER SUITE 0.27 % R4.0 Insulation Adjustment Not Required ALFRESCO A: 10.05m2 Max Wattage = 40w LIVING/ DINING € 15w T.O.F. -6c GA\$/ELECTRICAL \odot 15w (15w) METERBOX GPO IN CUPD 15w FOR HOTPLATE / D. GPO IN CUPD GPO IN CEILING SPACE FOR DW REC FOR CANOPY RANGEHOOD **ENTRY** ①15w PORCH BATH FR KITCHEN STORE Class 10 Building A: 3 98m/2 Max Wattage = 12w / 15w (FW) 15w() S CEJĽ 0 <u>M/H</u> 31,600 GPOION CEILING/ BED 3 / \BED 2 FOR AUTO 0 \bigcirc_{15w} SECTIONAL DOOR 15w GARAGE/ Class 10 Building A: 30.64m2 Max Wattage/= 92w T.O.F. -6c [√]7T.O.F. -5c **Electrical Plan** < `√T.O.F. -5c House Type: CUSTOM Job No:18062 Drawing Name: ELECTRICAL LAYOUTS Sheet No: 6 of 10

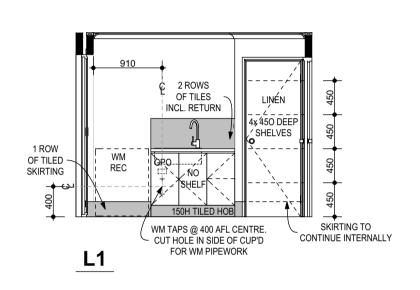


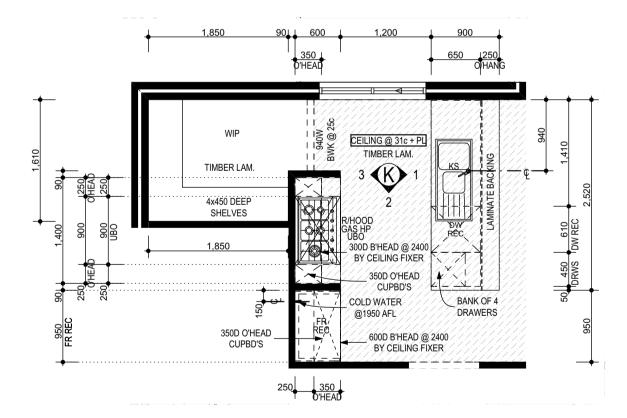
Lot Address:2 (#156 A) CARIDEA	N STREET,HEA	THRIDGE	Cou	uncil: JOONDALUP	Specif	ication: PE	ARL
THIS IS ONE OF THE DRAWINGS	REFERRED TO IN THE	CONTRACT		VARI	ATIONS		
Client Name: LINDSEY ALANA KI			REV NO.	VARIATION		DATE DRN.	BY
Client Name. LINDSET ALANA KI	ENTON Date	e:	1	WORKING DRAWINGS + VE	R	25/06/2018	VN-AA
Signature:			2	DRAFTING CORRECTION	i	26/07/2018	MP
			3	PRESTART		19/10/2018	VN-EM
Client Name:	Dat	Data	4	PLANNING CHANGES - VO	2	13/02/2019	MG
	Dati	e	5	VO 3	VARIATIONS ATION DATE DRN. AWINGS + VR 25/06/2018 ORRECTION 26/07/2018 TART 19/10/2018 ANGES - VO 2 13/02/2019 13 18/03/2019	MG	
Signature:		4 PLANNING CHANGES - VO 2 13/02/2019 5 VO 3 18/03/2019	25/03/2019	MG			
			7				
The home will be built to the dimensions on the		the sole property of the builder	8				
working drawings		en, lent, resold or otherwise	9				
within a reasonable tolerance	disposed or copied wit	thout the permission in writing	10				

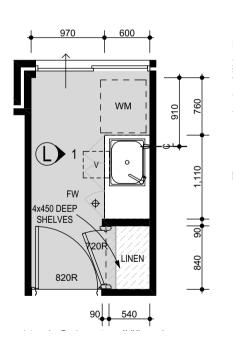












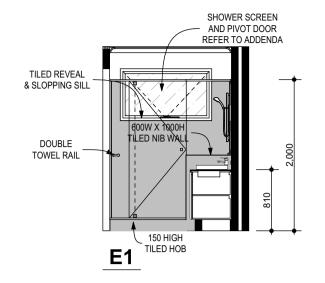
Kitchen Layout 1:50

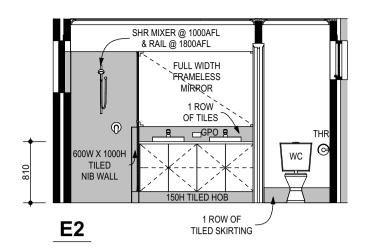
Laundry Layout 1:50

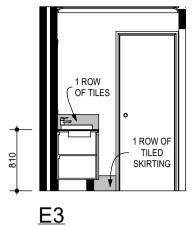
NOTE:
OWNER TO SUPPLY AND INSTALL
BAMBOO BENCHTOP TO KITCHEN
DURING CONSTRUCTION.

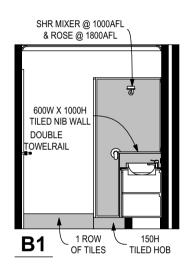


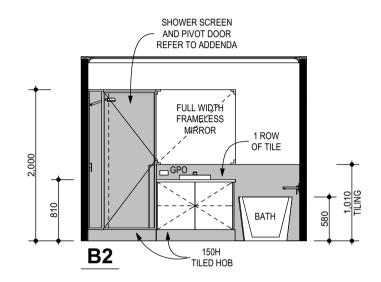
House Type: CUSTOM	Job No:18062	Drawing Name: RO	OM L	AYOUTS 1		Sheet No:	7 of 10	
Lot Address:2 (#156 A) CARIDE	AN STREET,HEA	ATHRIDGE	Council: JOONDALUP Spe		Spec	ecification: PEARL		
THIS IS ONE OF THE DRAWING	S REFERRED TO IN TH	E CONTRACT	VARIATIONS					
Client Name: LINDSEY ALANA	ZENIVON -		REV NO.	VARIATION		DATE DRN.	BY	
Client Name. LINDSET ALANA					₹	25/06/2018	VN-AA	
Signature:				DRAFTING CORRECTION		26/07/2018	MP	
			- 3	PRESTART		19/10/2018	VN-EM	
Client Name:	Da	te:	4	PLANNING CHANGES - VO	2	13/02/2019	MG	
	Da	····//	5	VO 3		18/03/2019	MG	
Signature:			6	DRAFTING FIXES		25/03/2019	MG	
			7					
The home will be built to the dimensions on the This plan shall remain the sole property of the built			8					
	working drawings and must not be given, lent, resold or otherw		9					
within a reasonable tolerance	alsposed or copied w	rithout the permission in writing	10					

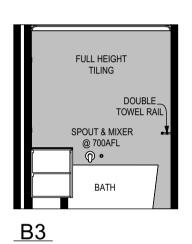


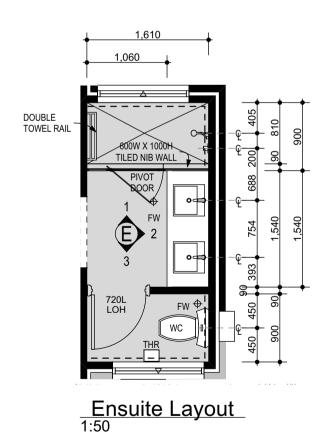


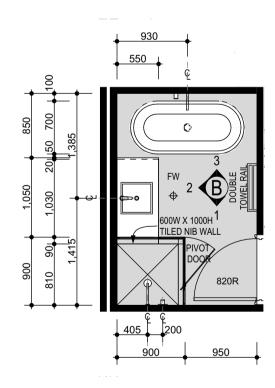












Bathroom Layout 1:50

MITRED EDGE TILING TO SHOWER'SNIB WALL

TOP OF MIRRORS TO LINE UP WITH TOP OF SHOWER SCREENS

NOTE:

FREESTANDING BATH TO BE SUPPLIED BY OWNER, BUILDER TO INSTALL

NOTE

ALL OWNER SUPPLIED MATERIALS ARE NOT COVERED BY BUILDERS INSURANCE WHILE ALL CARE WILL BE TAKEN, THE BUILDER TAKES NO RESPONSIBILITY FOR DAMAGE OR LOSS TO OWNER SUPPLIED ITEMS.

NOTE:

ALL OWNER SUPPLIED ITEMS ARE
TO MEET STATUTORY REQUIREMENTS
AND ARE TO BE FIT FOR PURPOSE.
ITEMS IDENTIFIED AS NOT MEETING
MINIMUM REQUIREMENTS WILL NOT BE
INSTALLED BY BUILDER. DELAYS
CAUSED TO CONSTRUCTION TIMELINE
BY NON-COMPLAINT ITEMS MAY RESULT
BACK CHARGES TO OWNER.

NOTE:

BUILDER'S CONTRACTOR CANNOT AND WILL NOT INSTALL PLUMBING FIXTURES THAT DO NOT MEET WATERMARK STANDARDS. ITEMS SUPPLIED THAT DO NOT MEET WATERMARK (AND OTHER REGULATORY) REQUIERMENTS WILL BE REPLACED AT CLIENTS EXPENSE AND MAY INCLUDE COST DUE TO DELAYS CAUSED BY NON-COMPLIANT FIXTURES.

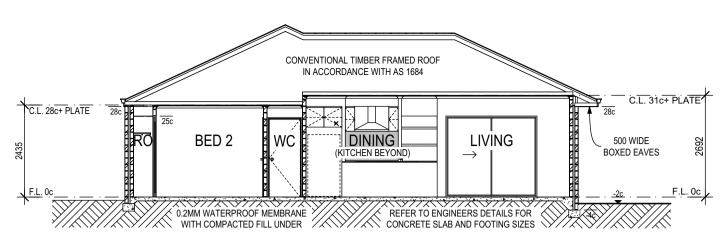


41 cedric st., stirling phone - (08) 9440 9200 fax - (08) 9440 9201

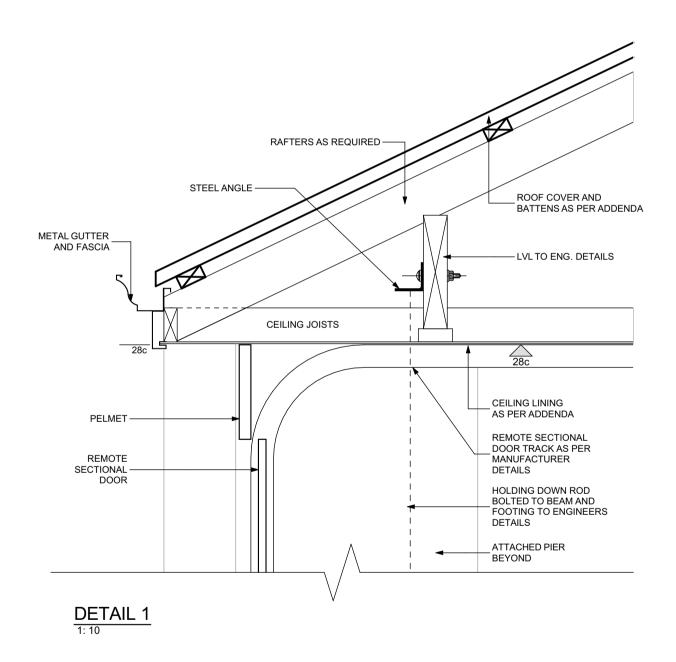
House Type: CUSTOM	Job No:18062	Drawing Name: RC	OM L	AYOUTS 2		Sheet No:	8 of 10
Lot Address:2 (#156 A) CARIDE	AN STREET,HEA	ATHRIDGE	Council: JOONDALUP Spe			ecification: PEARL	
THIS IS ONE OF THE DRAWING	S REFERRED TO IN TH	E CONTRACT	VARIATIONS				
Client Name: LINDSEY ALANA	KENIVON		REV NO	. VARIATION		DATE DRN.	BY
Client Name. LINDSET ALANA	Date				₹	25/06/2018	VN-AA
Signature:						26/07/2018	MP
- 3 · · · ·			3	PRESTART		19/10/2018	VN-EM
Client Name:	Da	ite:	4	PLANNING CHANGES - VO	2	13/02/2019	MG
	Da	//	5	VO 3		18/03/2019	MG
Signature:			6	DRAFTING FIXES		25/03/2019	MG
			7				
The home will be built to the dimensions on the	working drawings and must not be given, lent, resold or otherwise		8				
			9				
within a reasonable tolerance	aisposed or copied w	vitnout the permission in writing	10				

COLORBOND ROOF @ 25° PITCH

28c CEILINGS THROUGHOUT UNLESS OTHERWISE NOTED

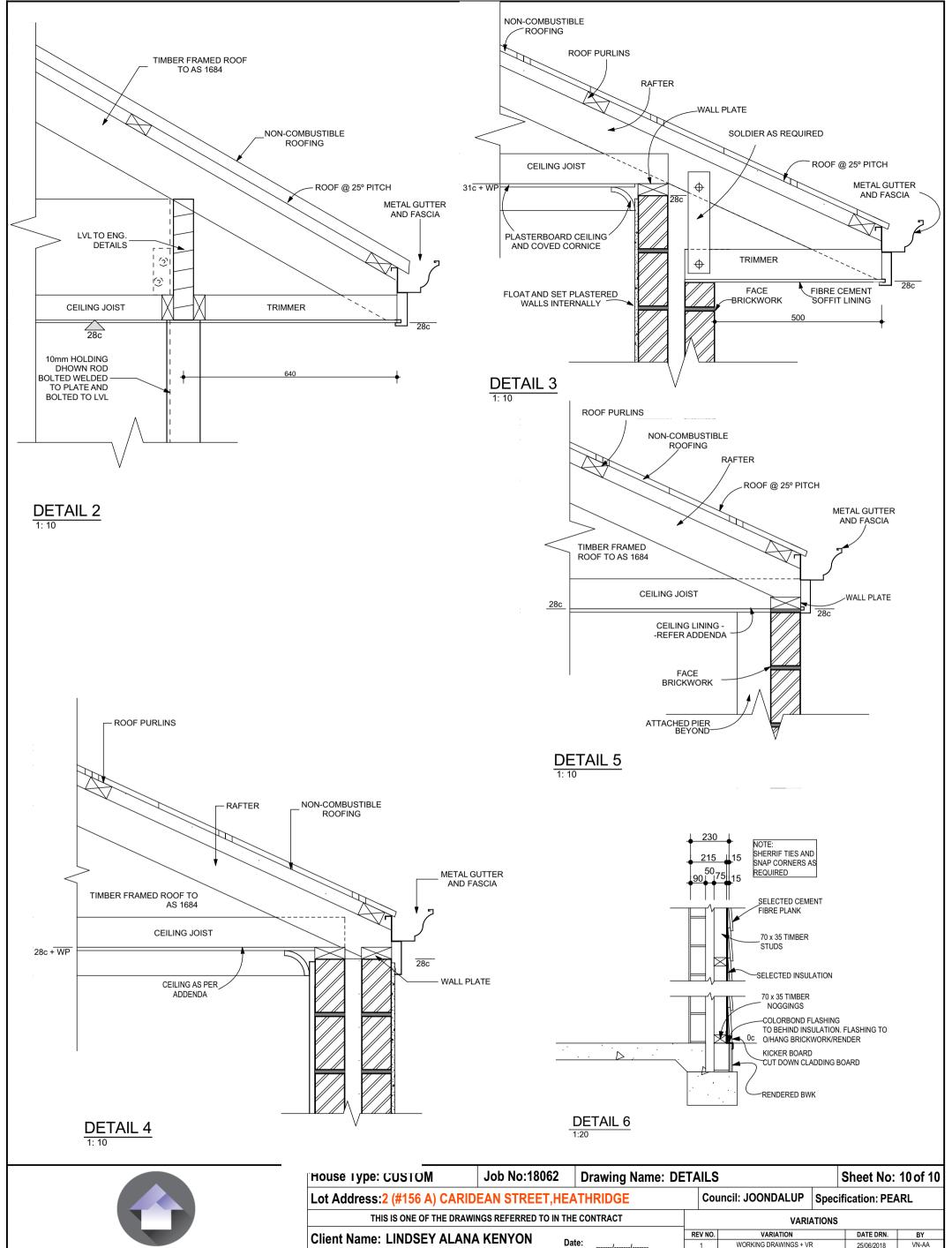


Section A-A





House Type: CUSTOM	Job No:18062	Drawing Name: SE	CTIO	N / DETAILS		Sheet No:	9 of 10		
Lot Address:2 (#156 A) CARIDE	Council: JOONDALUP Spec			cification: PEARL					
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT				VARIATIONS					
Client Name: LINDSEV ALANA	KENNON		REV NO.	VARIATION		DATE DRN.	BY		
Client name: LINDSET ALANA	ent Name: LINDSEY ALANA KENYON Date:				₹	25/06/2018	VN-AA		
Signature:			2	DRAFTING CORRECTION		26/07/2018	MP		
			3	PRESTART		19/10/2018	VN-EM		
Client Name:	Da	4	4	PLANNING CHANGES - VO	2	13/02/2019	MG		
	Da	te:/	5	VO 3		18/03/2019	MG		
Signature:			6	DRAFTING FIXES		25/03/2019	MG		
	 		7						
working drawings and must not be given,		the sole property of the builder	8						
		t not be given, lent, resold or otherwise							
within a reasonable tolerance	within a reasonable tolerance disposed or copied without t								

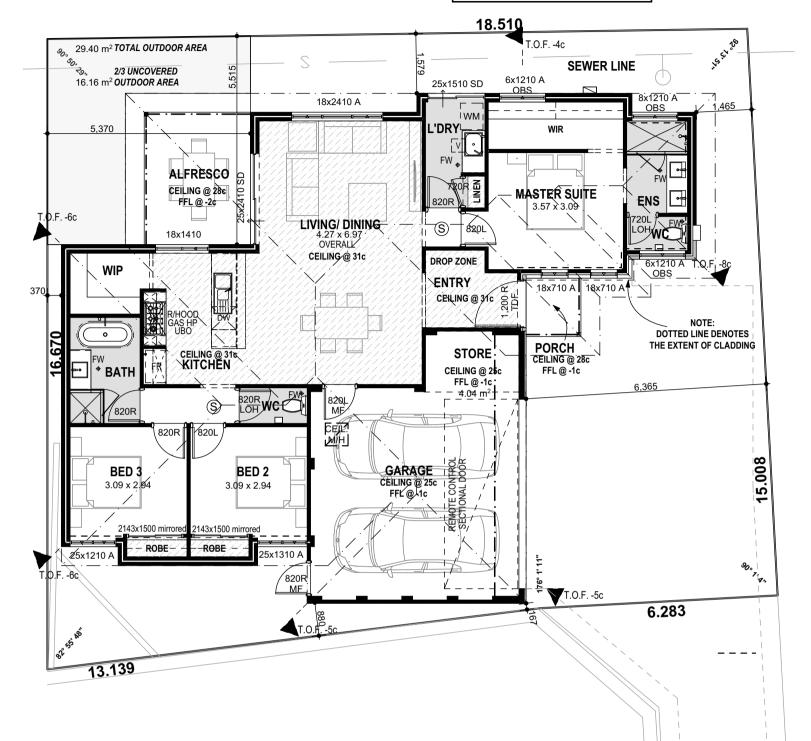


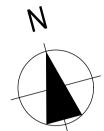


WE TURN A HOUSE INTO A HOME
41 cedric st., stirling
phone - (08) 9440 9200 fax - (08) 9440 9201

						00010	
Lot Address:2 (#156 A) CARIDI	EAN STREET,HE	ATHRIDGE	Co	uncil: JOONDALUP	Spec	ification: PE	ARL
THIS IS ONE OF THE DRAWIN	IGS REFERRED TO IN TH	E CONTRACT		VARI	ATIONS	;	
Client Name: LINDSEY ALANA	KENIVON		REV NO	VARIATION		DATE DRN.	BY
Client Name. LINDSET ALANA		ate:	1	WORKING DRAWINGS + VE	RIATIONS DATE DRN. BY		
Signature:		Date:	MP				
			3	PRESTART		19/10/2018	VN-EM
Client Name:	n	Date		PLANNING CHANGES - VO	2	13/02/2019	MG
	D.		5	VO 3		18/03/2019	MG
Signature:			6	DRAFTING FIXES		25/03/2019	MG
			7				
The home will be built to the dimensions on the			8				
working drawings			9				
within a reasonable tolerance	alsposed or copied v	I without the permission in writing					

PILES REQUIRED AS PER **ENGINEERS DETAILS**





BLOCK DIMENSIONS TO BE CONFIRMED ONCE SURVEY IS OBTAINED.

28c CEILING THROUGHOUT **UNLESS NOTED OTHERWISE**

DESIGN SUBJECT TO CHANGE PENDING ON DAP APPROVAL & FINAL CONTOUR & FEATURE SURVEY. TIME DELAYS MAY BE INCURRED. ITEMS TO BE VERIFIED: - BOUNDARY WALLS

Floor Plan & Site

SITE COVERAGE

ZONED % ALLOWED 55% SITE AREA 296.90m² SITE COV. AREA 185.39m²

SITE COV. =62.4%

COMMON AREA (70m²/2)35m² SITE AREA + COMMON AREA332m²

ADJUSTED SITE COVERAGE = 55.86%

Area Name	Measured Area	Perimeter
ALFRESCO	9.83	12.62
GARAGE/ STORE	36.68	25.98
PORCH	2.23	5.98
PROPOSED RESIDENCE	118.72	58.56
	167.46 m ²	

AREA NAME	MEASURED AREA
ROOF AREA	181 64



41 cedric st., stirling phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: CUSTOM	Job No:18062	Drawing Name: FL	OOR F	PLAN & SITE		Sheet No:	1 of 1		
Lot Address:2 (#156 A) CARIDE	AN STREET,HE	ATHRIDGE	Cou	ıncil: JOONDALUP	Spec	ification: PEA	RL		
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT				VARIATIONS					
Client Name: LINDSEY ALANA	KENIVON	ate: , ,	REV NO.	VARIATION		DATE DRN.	BY		
Client Name. LINDSET ALANA	1	WORKING DRAWINGS + VR	₹	25/06/2018	VN-AA				
Signature:				DRAFTING CORRECTION		26/07/2018	MP		
			- 3	PRESTART		19/10/2018	VN-EM		
Client Name:	D.	ate:	4	PLANNING CHANGES - VO	2	13/02/2019	MG		
	De	/	5	VO 3		18/03/2019	MG		
Signature:			6	DRAFTING FIXES		25/03/2019	MG		
			7						
The home will be built to the dimensions on the		n the sole property of the builder	8						
		and must not be given, lent, resold or otherwise	9						
within a reasonable tolerance	disposed or copied v	vithout the permission in writing	10						