	+	SEC Dome
	=0=	Power Pole
Z	TC	Phone Pits
血	W	Water Conn.
<u> </u> ල	[TP 10.00]	Top Pillar/Post
Щ	[TW 10.00]	Top Wall
–	[TR 10.00]	Top Retaining
	[TF 10.00]	Top Fence

DISCLAIMER:

vn on survey are based on landga plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey inc. any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from inform. supplied by Water Corp. DISCLAIMER:

Survey shows visible features only & will not show locations of underground pipes or conduits for internal mains services. Verification of the location of all interna & mains services should be confirmed prior to finalisation of any design work.

NOTE:
Earthworks/set-out dimensions may vary on site at builders discretion. Sewer/drainage may vary from schematic presentation/check min. clearances.
Retaining not included in contract - remains owners responsibility. This survey does not guarantee the location of boundary pegs or fences. Check title for leasements/covpanants etc.

easements/covenants etc.

DISCLAIMER:

Survey does not include verification of cadastral b'daries. All features & levels shown are based on orientation to existing pegs & fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true b'dary.

DISCLAIMER:

Disclaimer:

Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment are are to be verified when repegged. Any design that involves verniew when repegged. Any besign intel involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on BEWARE:

DEMOLITION NOTES

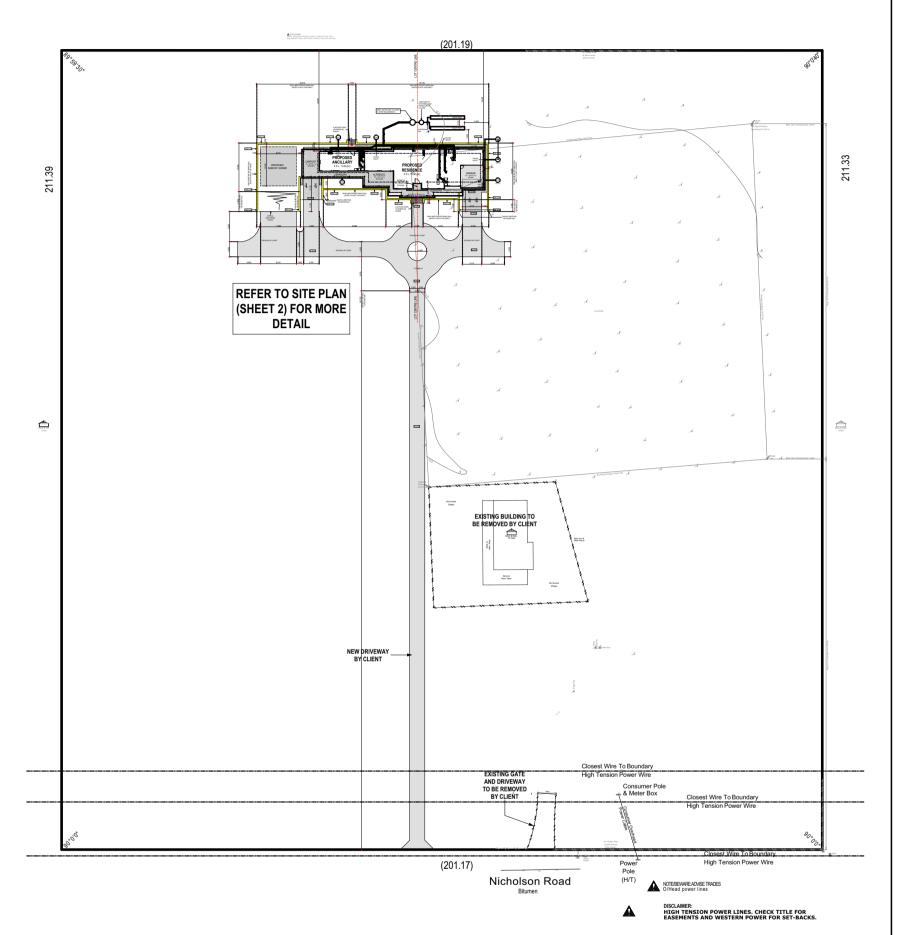
CLIENT NOTE:

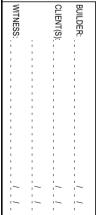
- ALL DEMOLITION BY CLIENT UNLESS OTHERWISE NOTED. - ALL TREES/SHRUBS TO BE LOPPED (TRIMMED) TO WITHIN 2m OF THE BUILDING ENVELOPE.

EXISTING BUILDING, TREES AND ALL RUBBLE TO BE REMOVED

BY CLIENT PRIOR TO CONSTRUCTION.

DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay. ALL DIMENSIONS TO BRICKWORK.









Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998. Email: perth@cottage.com.au Website: www.cottage.com.au

AREA: 42517m² SHIRE: SERPENTINE-JARRAHDALE D.PLAN: 33113 C/T VOLUMN: 1757 FOLIO: 961

524-34/74

MSD REF:

ROAD DESCR.: BITUMEN KERBING: NIL FOOTPATH: NIL SAND DRAINAGE: GOOD VEGETATION: LONG GRASS

GAS: NO WATER: YES ELECTRICITY: O/H PH/COMMS: YES SEWER: NO

NO

V04 JEL V007

COASTAL:

1:1000

I OF 12

SSA/OLD AREAS: OLD A. C/JOB#: 452602 DATE: 26 APRIL 19 SCALE: 1:200 (ORIG) DRAWN: B. SALIBA

8/05/20

27/05/20

UNLODGED SS PLAN: ORIGINAL LOT: LOT MISCLOSE: 0.037m SSL 1 MISCLOSE:-SSL 2 MISCLOSE:-

SUMMIT HOMES GROUP

BUILD | RENOVATE | DEVELOP

PROPOSED RESIDENCE FOR: ANTHONY

BUILT AROUND PEOPLE

ADDRESS: LOT 4 (#995) NICHOLSON ROAD OAKFORD

DESIGNED: ALI CHECKED: JUS DATE: 27/08/19 MODEL: YARRA - MODIFIED

DMA

SOIL:

DRAWN:

SIZE: A3 **PROJECTS** JOB N°

157403

SCALE:

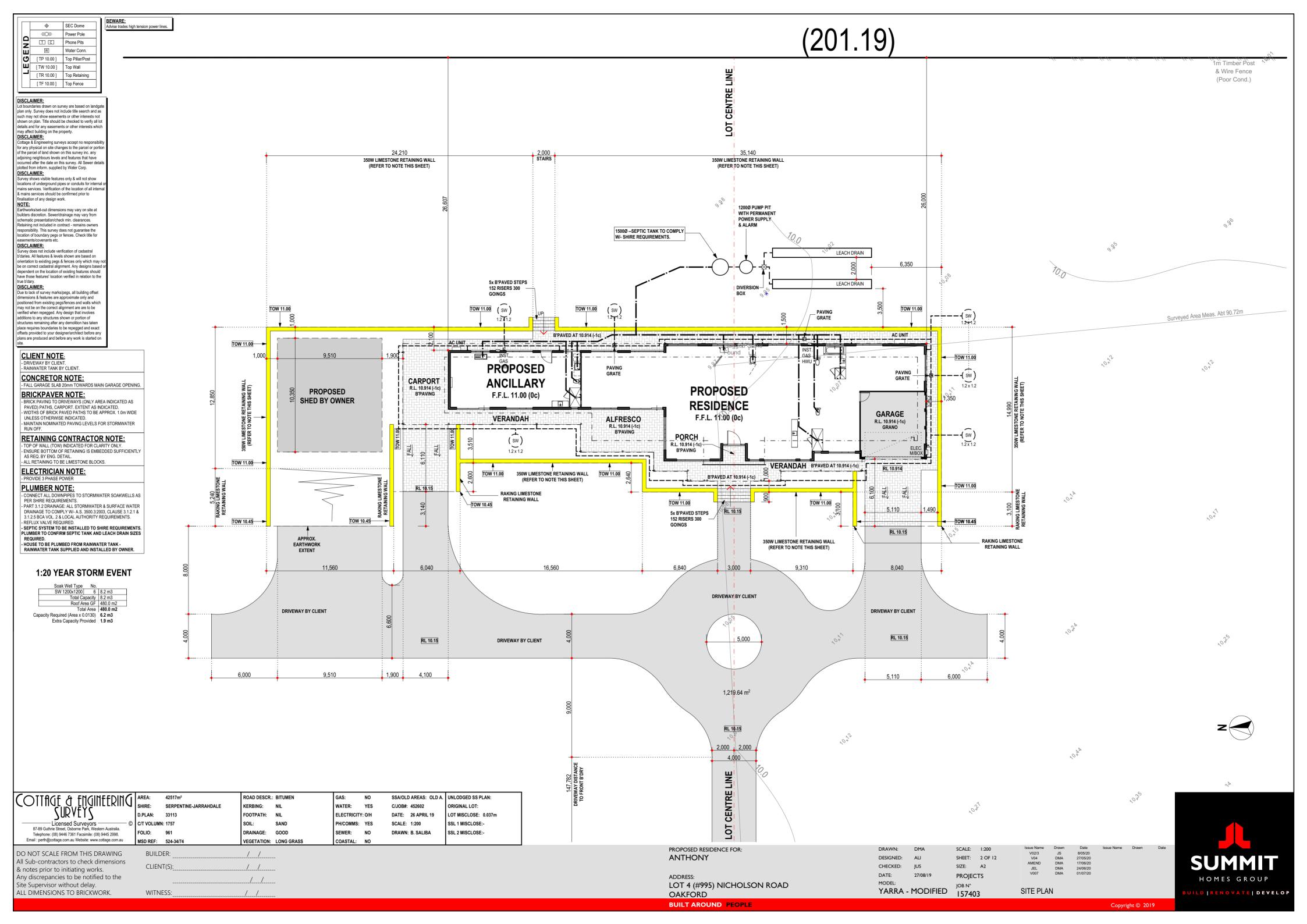
SHEET:

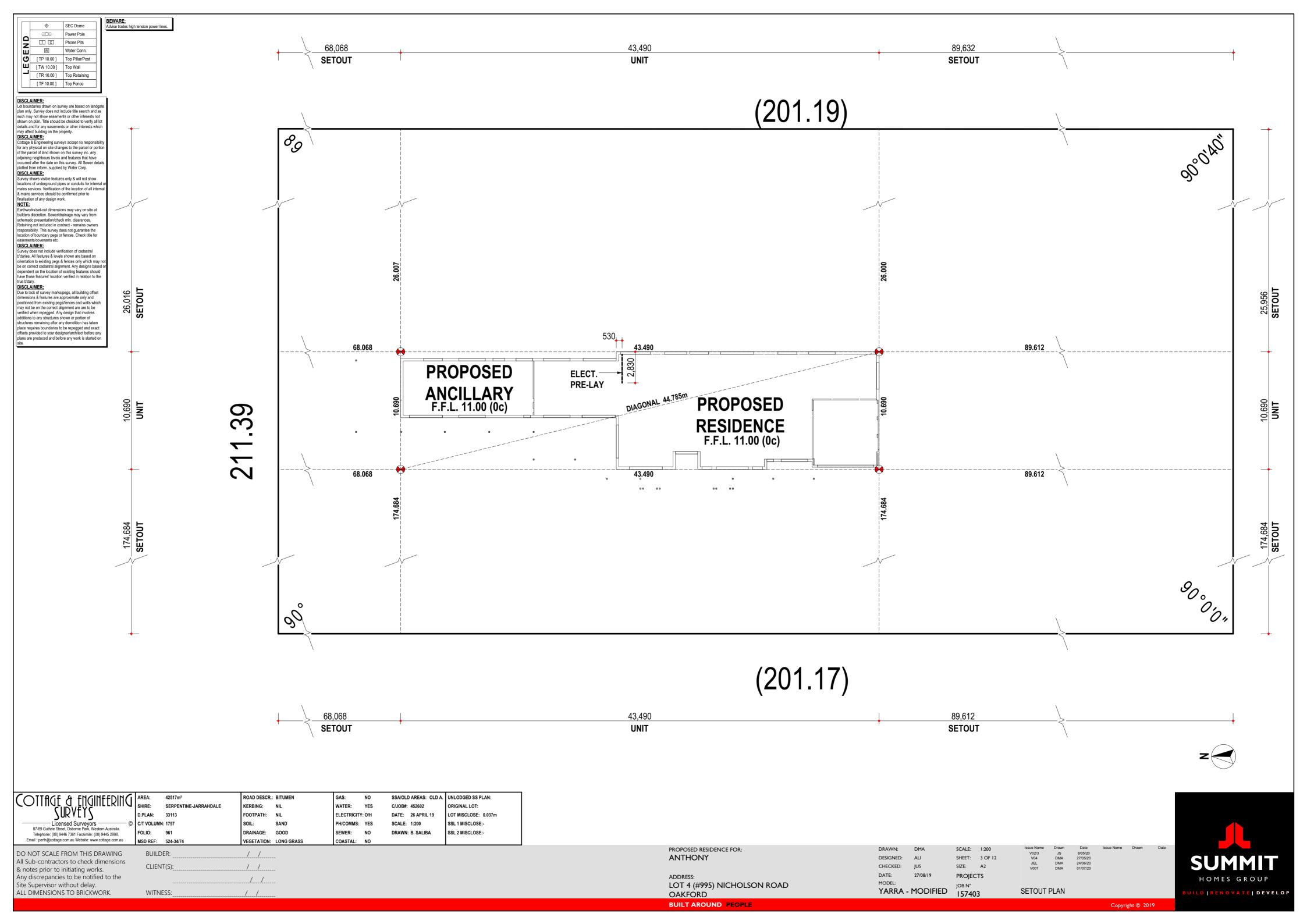
OVERALL - DEMOLITION PLAN

JS DMA

DMA DMA

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♦ SEC Dome =O= Power Pole [TF 10.00] Top Fence (201.19)DISCLAIMER: DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
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DISCLAIMER: plotted from inform. supplied by Water Corp.

DISCLAIMER:
Survey shows visible features only & will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal & mains services should be confirmed prior to finalisation of any design work. NOTE:

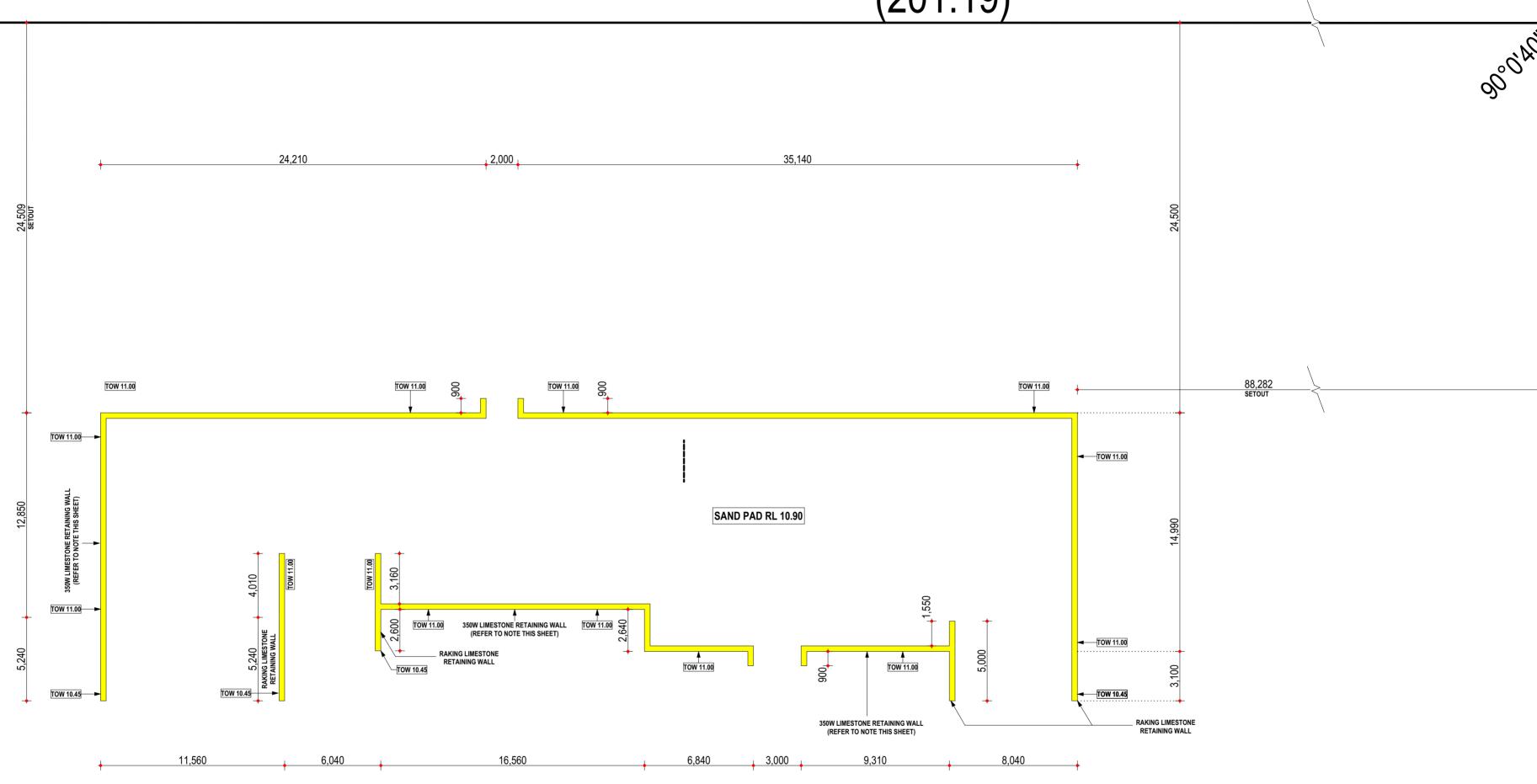
Earthworks/set-out dimensions may vary on site at builders discretion. Sewer/drainage may vary from schematic presentation/check min. clearances. Retaining not included in contract - remains owners responsibility. This survey does not guarantee the location of boundary pegs or fences. Check title for easements/covenants etc.

DISCLAIMER:

Survey does not include verification of cadastral b'daries. All features & levels shown are based on orientation to existing pegs & fences only which may not be on correct cadastral alignment. Any designs based of dependent on the location of existing features should have those features' location verified in relation to the true b'dary.

DISCLAIMER:

Due to lack of survey marks/pegs, all building offset NOTE: 24,210 35,140 2,000 DISCLAIMER:
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment are are to be verified when repegged. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site. TOW 11.00 TOW 11.00 TOW 11.00 SAND PAD RL 10.90 TOW 11.00



ADDRESS:



SSA/OLD AREAS: OLD A. UNLODGED SS PLAN: 42517m² ROAD DESCR.: BITUMEN SERPENTINE-JARRAHDALE KERBING: NIL WATER: YES C/JOB#: 452602 ORIGINAL LOT: D.PLAN: 33113 FOOTPATH: NIL ELECTRICITY: O/H DATE: 26 APRIL 19 LOT MISCLOSE: 0.037m Licensed Surveyors

87-89 Guthrie Street, Osborne Park, Western Australia.
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998. C/T VOLUMN: 1757 SSL 1 MISCLOSE:-SOIL: SAND PH/COMMS: YES SCALE: 1:200 FOLIO: 961 SSL 2 MISCLOSE:-DRAINAGE: GOOD SEWER: NO DRAWN: B. SALIBA VEGETATION: LONG GRASS Email: perth@cottage.com.au Website: www.cottage.com.au MSD REF: 524-34/74 COASTAL: NO

DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.

ALL DIMENSIONS TO BRICKWORK.

BUILDER: CLIENT(S): / / / / WITNESS:

Date 8/05/20 27/05/20 24/06/20 01/07/20 Drawn JS DMA DMA DMA PROPOSED RESIDENCE FOR: V02/3 V04 JEL V007 ANTHONY SHEET: 4 OF 12 DESIGNED: CHECKED: SIZE: A2 PROJECTS MODEL: LOT 4 (#995) NICHOLSON ROAD YARRA - MODIFIED RETAINING WALL SETOUT PLAN 157403 OAKFORD

SUMMIT HOMES GROUP LD | RENOVATE | DEVELOP

BUILT AROUND PEOPLE Copyright © 2019

BRICK NOTE SLAB NOTE - 100mm SLAB DUE TO 'S' CLASS SITE **BUSHFIRE ATTACK LEVEL - 12.5** ROOF NOTE

CEILING FIXER NOTE - SQUARE SET TO ENSUITE 2 AND BATHROOM.

- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF - FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OP'NG

GARAGE NOTE

- COLORBOND ROOF, PITCH VARIES REFER TO ELEVATIONS - STEEL ROOF FRAME TO NASH STANDARDS - CEILINGS AT 31c + PLATE UNLESS NOTED OTHERWISE ROOF PLUMBER NOTE - PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS) - FINAL POSITIONS OF RWP'S TO BE DETERMINED ON SITE - RWP'S IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER SYSTEM (NO KICK) ROOF INSULATION NOTE - R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL PLASTERBOARD OR VERSILUX CEILINGS IF APPL. **ELECTRICAL NOTE**

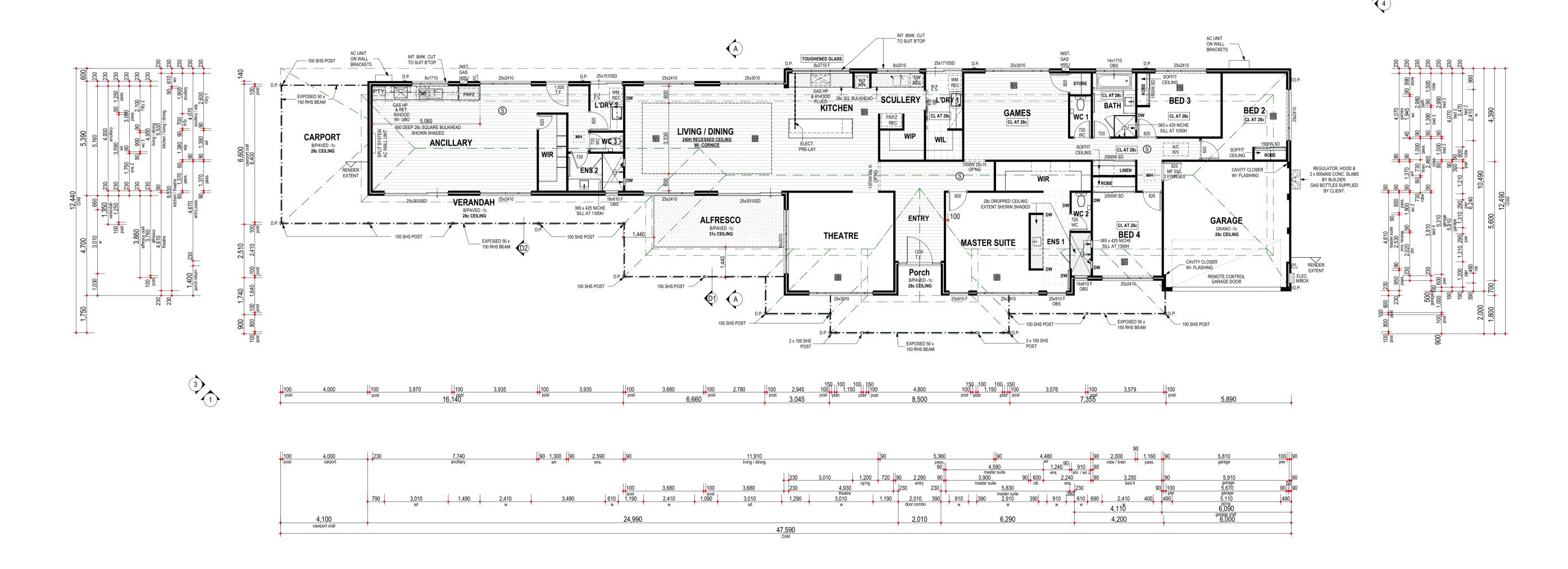
- INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS INDICATED ON PLAN FIXING CARPENTER NOTE - 4 No. 450D SHELVES TO PANTRY AND LINEN UNO
- 1800H, 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO
- 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY
- PROVIDE MID-SHELF SUPPORT WHERE NOTED "MSS" TO ANY SHELF **CEILING MATERIAL NOTE** - V.DAH - HARDIFLEX C.L.
- PORCH - HARDIFLEX C.L.
- CARPORT - HARDIFLEX C.L.
- GARAGE - HARDIFLEX C.L.
- ALFRESCO (INC. AREAS SHOWN HATCHED) - PLASTERBOARD C.L.

RENDER WALL NOTE - PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED WALLS & H/FLEX / VERSILUX CEILINGS TRADES / SUPERVISOR NOTE - REFER TO STRUCTURAL ENGINEERS DETAILS
- ALL PLANS TO BE READ IN CONJUNCTION WITH ENGLISH STANDARD SPECIFICATION. **GENERAL NOTE** - CARPORT SIZE IS NOT SUITABLE FOR ENCLOSING. DOOR NOTE - TOILET DOOR TO COMPLY W/- CLAUSE 3.8.3.3 OF THE B.C.A VOL. 2 RAINWATER TANK NOTE - WATER TANK TO BE SUPPLIED BY OWNER. - BUILDER TO CONNECT RESIDENCE TO TANK FOR WATER SUPPLY. GAS BOTTLE NOTE - GAS REGULATOR, CONC. SLABS & HOOD BY BUILDER. - GAS BOTTLES BY OWNER.

CONCRETOR/BRK LAYER NOTE - ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c UNLESS PLASTERBOARD NOTE - PROVIDE WET AREA PLASTERBOARD TO WALLS WHERE INDICATED BY "DW"
- SQUARE SET TO ENSUITE 2 AND BATHROOM.

AIRCON NOTE PROVIDE REVERSE CYCLE AIR CONDITIONING. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
 EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.







FLOOR PLAN

Area m² Perim. L/m
252.62 87.08
36.64 24.38
31.15 47.28
29.18 22.84
64.90 34.86
16.25 26.78
27.63 21.68
458.34 120.16
473.43 120.20 1. FLOOR PLAN
2. GARAGE
3. PORCH / VERNADAH
4. ALFRESCO
5. ANCILLARY FLOOR PLAN
6. ANCILLARY VERNADAH
7. CARPORT
8. TOTAL AREA
9. ROOF

SUMMIT

DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay. ALL DIMENSIONS TO BRICKWORK.

BUILDER: / / / / WITNESS:

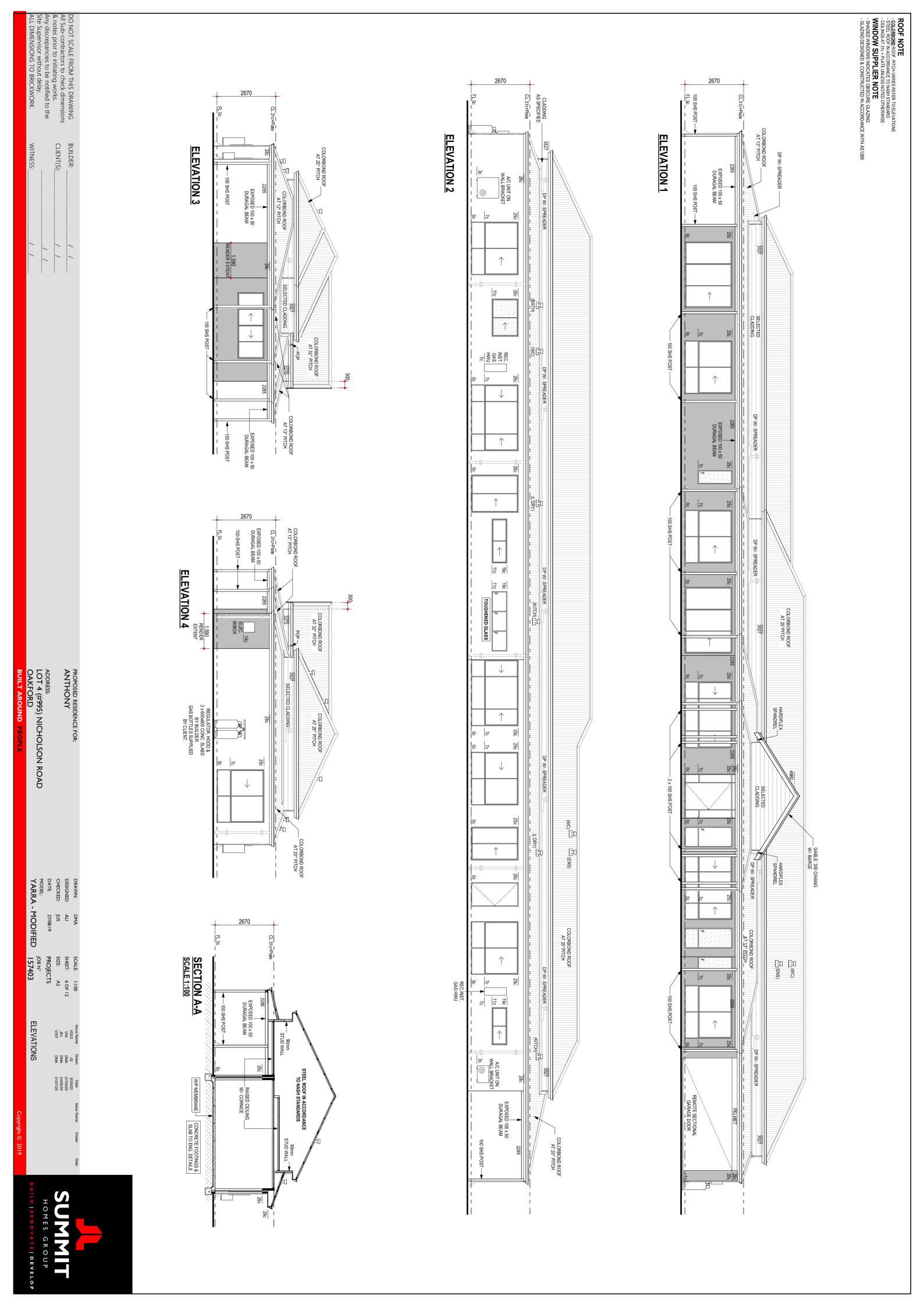
PROPOSED RESIDENCE FOR: ANTHONY ADDRESS: LOT 4 (#995) NICHOLSON ROAD OAKFÔRD

BUILT AROUND PEOPLE

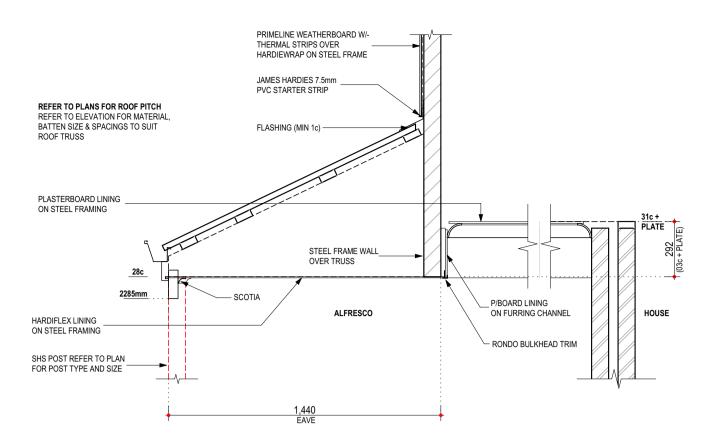
DATE: 27/08/19 PROJECTS
MODEL:
YARRA - MODIFIED JOB N°
157403

FLOOR PLAN

HOMES GROUP



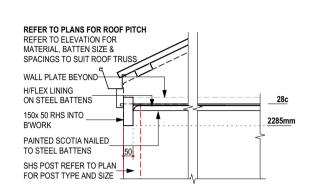
DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay. ALL DIMENSIONS TO BRICKWORK.



D01 - 3c RECESSED CEILING TO ALFRESCO W/- FRAMED WALL OVER

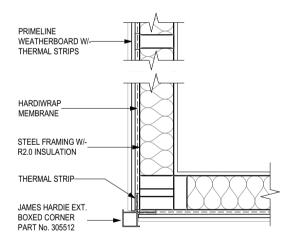
NOTES:

- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
- SCALE 1:20



D02 - PORCH / VERANDAH / CARPORT CEILING

- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
- SCALE 1:20

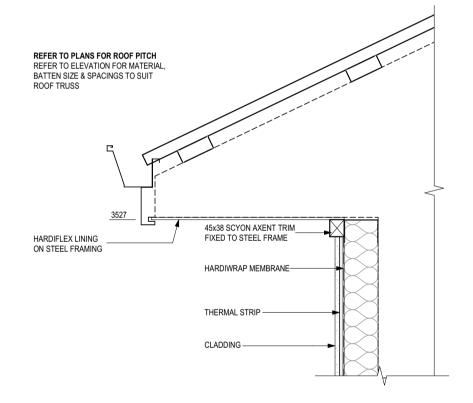


PRIMELINE WEATHERBOARD CLADDING (PLAN VIEW EXTERNAL CORNER)

- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS

- REFER TO ADDENDUM FOR CLADDING SPECIFICATION

- SCALE 1:10



PRIMELINE WEATHERBOARD CLADDING TO EAVE NOTES:

- REFER TO ENG. DWGS. FOR TIE DOWN & BULKHEAD DETAILS
 WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
- REFER TO ADDENDUM FOR CLADDING SPECIFICATION - SCALE 1:10

BUILDER:
1 1 1 1 1 1 1 1 1 1 1 1
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PROPOSED RESIDENCE FOR: ANTHONY

ADDRESS: LOT 4 (#995) NICHOLSON ROAD DRAWN: DMA DESIGNED: ALI CHECKED: JUS DATE: 27/08/19 MODEL:

SCALE: AS NOTED SHEET: 7 OF 12 SIZE: **PROJECTS**

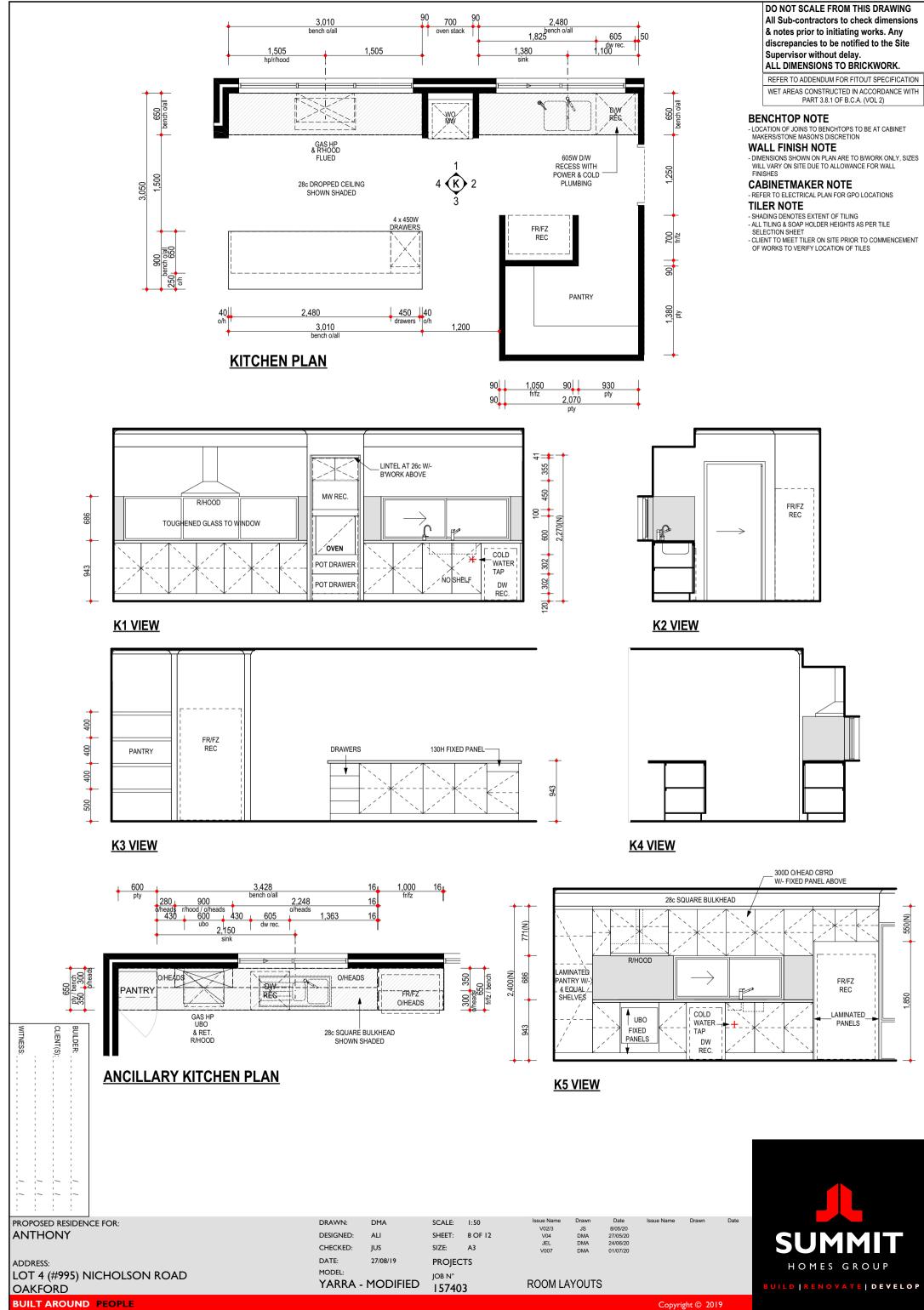
JOB N°

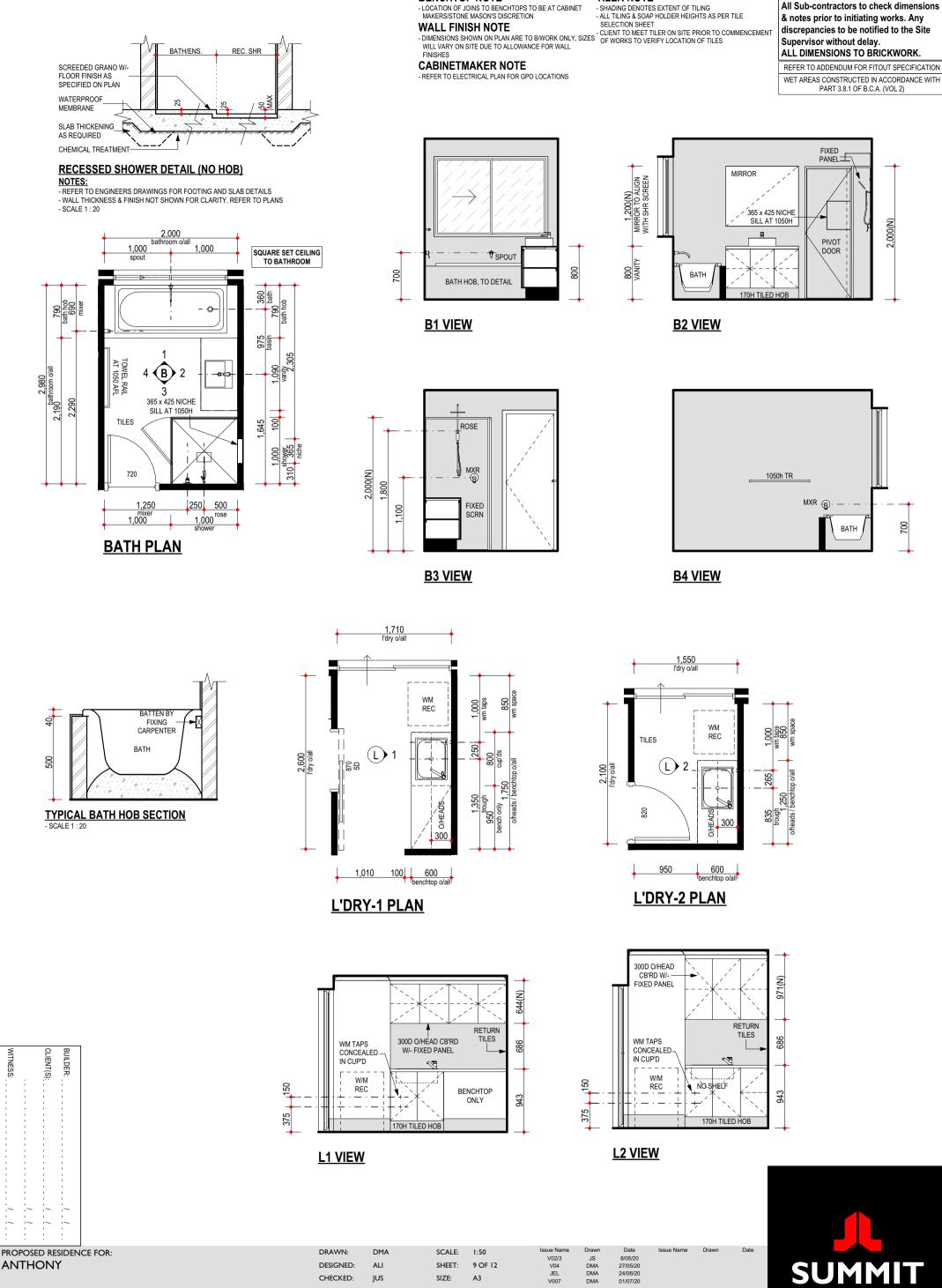
V02/3 V04 JEL V007 JS DMA DMA DMA

DETAILS

8/05/20 27/05/20 24/06/20 01/07/20







BENCHTOP NOTE

27/08/19

PROJECTS

JOB N°

DATE:

MODEL:

ADDRESS:

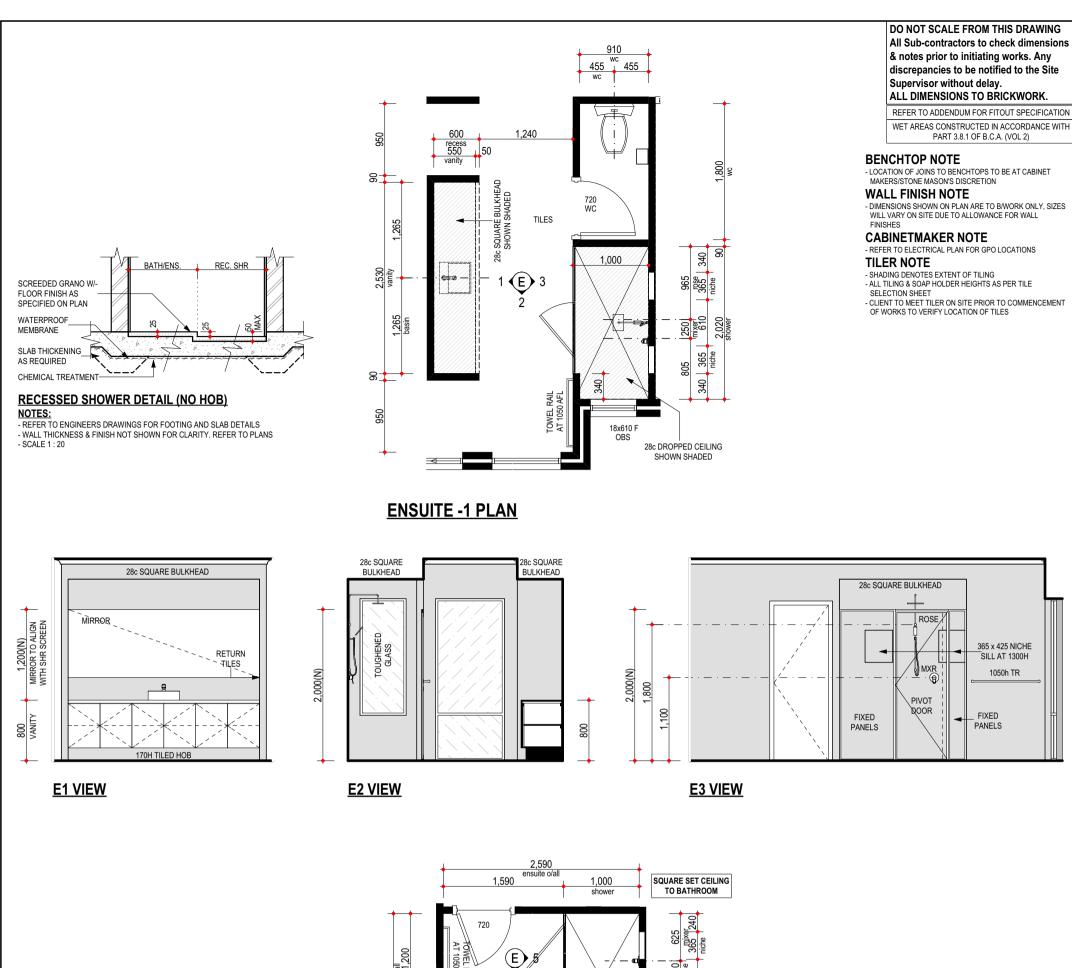
LOT 4 (#995) NICHOLSON ROAD

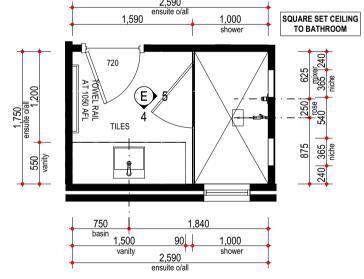
HOMES GROUP

BUILD | RENOVATE | DEVELOP

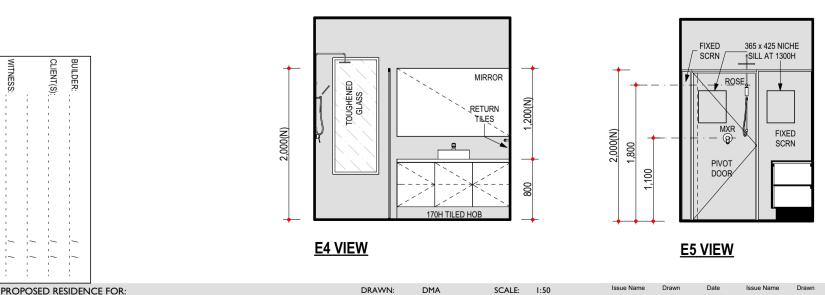
TILER NOTE - SHADING DENOTES EXTENT OF TILING - ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE

DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions





ENSUITE -2 PLAN



PROPOSED RESIDENCE FOR: ANTHONY ADDRESS:

BUILT AROUND PEOPLE

OAKFORD

LOT 4 (#995) NICHOLSON ROAD

DESIGNED: ALI CHECKED: JUS DATE: 27/08/19 MODEL: YARRA - MODIFIED SCALE: 1:50 SHEET: 10 OF 12 SIZE: **PROJECTS**

JOB N°

157403

V02/3 V04 JEL V007 JS DMA DMA DMA

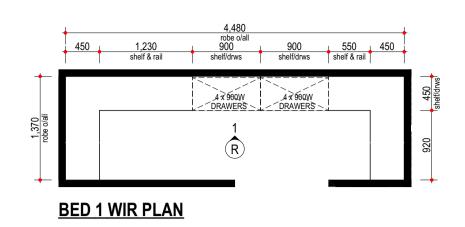
ROOM LAYOUTS

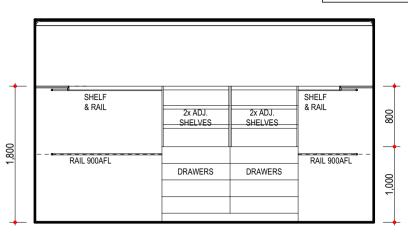
27/05/20 24/06/20 01/07/20



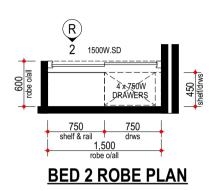
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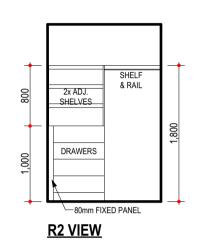
DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay. ALL DIMENSIONS TO BRICKWORK.

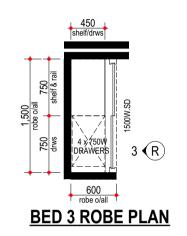


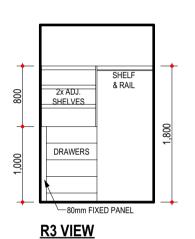


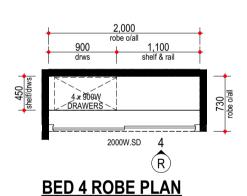
R1 VIEW

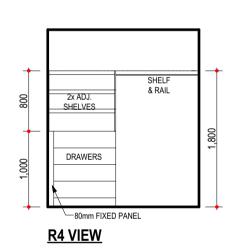


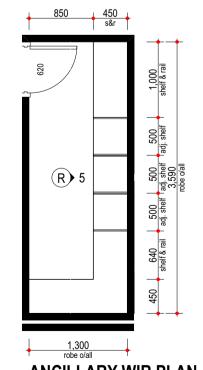


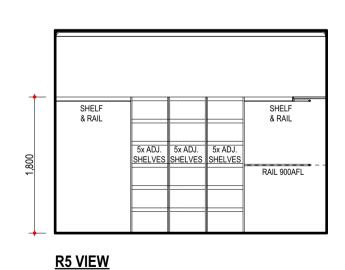












PROPOSED RESIDENCE FOR:

ANCILLARY WIR PLAN

DRAWN: D

ANTHONY

ADDRESS:
LOT 4 (#995) NICHOLSON ROAD
OAKFORD

BUILT AROUND PEOPLE

DRAWN: DMA
DESIGNED: ALI
CHECKED: JUS
DATE: 27/08/19
MODEL:
YARRA - MODIFIED

SCALE: 1:100
SHEET: 11 OF 12
SIZE: A3
PROJECTS

JOB N°

157403

 Ssue Name
 Drawn
 Date

 V02/3
 JS
 8/05/20

 V04
 DMA
 27/05/20

 JEL
 DMA
 24/06/20

 V007
 DMA
 01/07/20

ROBE LAYOUTS

Issue Name Drawn Date
0
0
0



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ELECTRICAL LEGEND Ground Floor

				Insulati
Ş	Sym.		Watts	Penetra
7	1 11w*	EXTERNAL WALL LIGHT @ 1800 AFL Perimeter Lighting	77*	*
10	● 7w*	EXTERNAL RECESSED LED DOWN-LIGHT (11w) Perimeter Lighting	70*	*
2	O11w*	CEILING LIGHT (11w) Class 10	22*	*
2	O11w*	CEILING LIGHT (11w) Class 1 External	22*	*
67	● 7w	RECESSED LED DOWN-LIGHT (7w)	469	
3	$^{\circ}$	H.WIRED SMOKE DETECTOR	0	
6	•	EXHAUST FAN	0	0.271
2	ᆸ	DIMMER SWITCH	0	
3	○ 11w	CEILING LIGHT (11w)	33	
1	3 WAY	3 WAY SWITCH	0	
5	2 WAY	2 WAY SWITCH	0	·
2	•	W/P SGPO INSTALLED IN HWU	0	
4		SINGLE GPO IN/ON CEILING	0	
7		SINGLE GPO @ NOTED HT	0	
_	С	NBN LEAD IN CONDUIT (25mm) W/- BLANK FACE PLATE AT 1500 AFL	0	
2		DOUBLE WATER PROOF GPO	0	
12		DOUBLE GPO @ NOTED HT	0	
18		DOUBLE GPO @ 200 AFL	0	
_		DOUBLE GPO @ 1500 AFL W/ 20mm CONDUIT FOR PSU CONNECTION	0	
_	0	CONDUIT FOR NBN (25mm)	0	
ű	<u></u>	CONDUIT (32mm)	0	
_	D	15 AMP GPO & ISO SWITCH FOR AC	0	

ω

C1 (TV) + D2 (PH/DATA)

0

502 0

0.271

D2 (2x DATA/PHONE) FOR NBN PROVISION @ 1500 AFL

0

Wattage Calculations (Class 1 Story Name Are	ea)	Allowed Wattage	Actual Wattage	I
0 Ground Floor	293.72 Sqm	1469 w	502 w	
	293.72 sqm	1469 w	502 w	PAS

Recessed Fitting Penetrations (Class 1)	ons (Class 1)	Maximum	Actual
Story Name	Area	ons	Penetrations
Total Insulation Area	293.72 sqm	1.469 sqm	0.271 sqm
Vonts\Dongo Loods			0 1/0 8 2 2

ods			0.140 Sqm	
29 0.	293.72 sqm 0.14 % R4.0 lns	293.72 sqm	0.411 sqm ot Required	PAS

INTERCONNECTED SMOKE DETECTORS TO AS3786-2014

- INTERCONNECTED SMOKE DETECTORS TO AS3786-2014

- FINAL POSITION OF ELECTRICAL ITEMS SUCH AS GPO'S, LIGHT SWITCHES ETC. MAY VARY ON SITE DUE TO ELECTRICAL REGULATIONS, LIGHT SWITCH HEIGHT TO BE AT 1200 AFL U.N.O.

- NEUTRAL CABLING REQUIRED TO ALL LIGHT SWITCHES.

- ALL EXHAUST FANS TO BE FLUED TO EXTERNAL AIR
- SECURITY PACKAGE INCLUDED, REFER TO SUPPLIERS SEPERATE PLANS.

AIRCON NOTE

- PROVIDE REVERSE CYCLE AIR CONDITIONING, OUTLET POSITIONS TO BE
NOMINATED BY SUPPLIER.

NOMINATED BY SUPPLIEK.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.
- CLIENT / PRESTART NOTE
- CLIENT TO CONFIRM W.: ADMINISTRATOR POSITIONING OF ALL TV, PHONE AND

TV ANTENNA NOTE
- PROVIDE TV ANTENNA AS PER ADDENDA

7 | BED 4

Min. Ventilation = 0.95 | Min. Light= 1.27 Total Area= 12.71

W21 | Sliding Totals Light 5.16 m2 V

1.86 m2 Vent 1.86 m2

W24 | Sliding W25 | Fixed

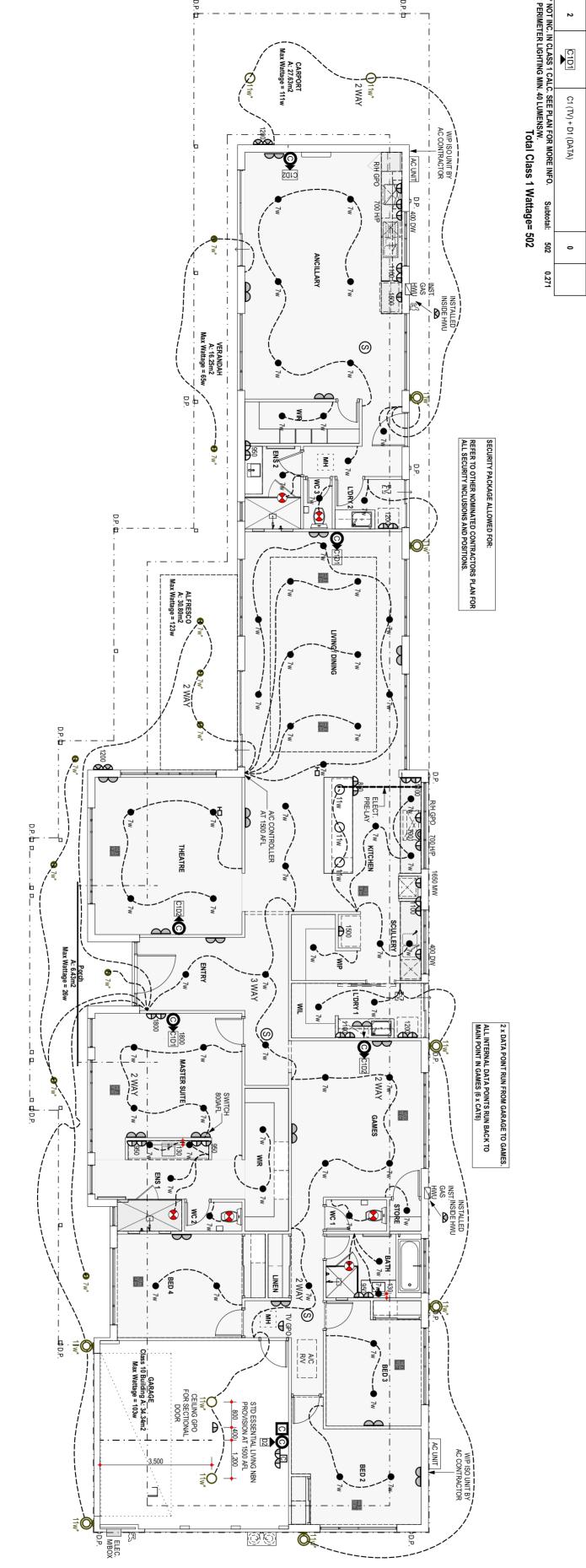
0% 1.95 m2 36% 6.24 m2 **Light 8.19 m2**

0.00 m2 2.25 m2 Vent 2.25 m2

LIGHT AND VENTILATION CALC.

8 | MASTER SUITE
Min. Ventilation = 1.45 | Min. Light= 1.93 Total Area= 19.29

IRSE CYCLE AIR CONDITIONING, OUTLET POSITIONS TO BE (SUPPLIER,



	W15 Sliding W14 Fixed W13 Sliding W12 Sliding	50 % 36 % 36 %	1.38 m2 1.86 m2 6.45 m2 5.16 m2		0.69 m2 0.00 m2 0.32 m2 1.86 m2
	W05 Sliding	36 %	5.16 m2		1.86 m2
	W04 Sliding Door	33 %	6.45 m2		2.15 m2
	Totals	Light	Light 26.47 m2	Vent	Vent 8.88 m2
, , , , , , , , , , , , , , , , , , ,	1 ANCILLARY Min. Ventilation = 2.86 Min. Light= 3.82 Total Area= 38.16	ght= 3.82 T	otal Area= 38.16		
	W10 Sliding	36 %	5.16 m2		1.86 m2
D.P.	W09 Sliding	50 %	1.17 m2		0.59 m2
	W08 Sliding Door	33 %	6.45 m2		2.15 m2
	W07 Sliding	36 %	5.16 m2		1.86 m2

2 | SCULLERY | LÍVING / DINING | KITCHEN Min. Ventilation = 4.92 | Min. Light= 6.56 Total Area= 65.55

W02 | Sliding W03 | Equal sliders

50 % 3.61 m2 36 % 6.45 m2

1.81 m2 2.32 m2 Vent 4.13 m2

Light 10.06 m2

4 | GAMES
Min. Ventilation = 1.50 | Min. Light= 1.99 Total Area= 19.94
W17 | Sliding
Totals
Totals
Light 6.45 m2
V

2.32 m2 Vent 2.32 m2

3 | THEATRE
Min. Ventilation = 1.70 | Min. Light= 2.27 Total Area= 22.73

W19 | Sliding

= 0.81 | Min. Light= 1.08 Total Area= 10.76 36 % 5.16 m2

Light 5.16 m2

Vent 1.86 m2

1.86 m2

5 | BED 3 Min. Ventilation =

W20 | Sliding

Light 5.16 m2

Vent 1.86 m2

1.86 m2

6 | BED 2 Min. Ventilation = 0.92 | Min. Light= 1.23 Total Area= 12.26

Vent 6.46 m2	Light 17.95 m2 Vent	Light	Totals
1.86 m2	36 % 5.16 m2	36 %	W07 Sliding
2.15 m2	6.45 m2	33 %	W08 Sliding Door
0.59 m2	1.17 m2	50 %	W09 Sliding
1.86 m2	5.16 m2	36 %	W10 Sliding
	Total Area= 38.16	ght= 3.82 T	Min. Ventilation = 2.86 Min. Light= 3.82 Total Area= 38.16
			1 ANCILLARY

Inputs for Airmovement and Light are Valid



BUILT AROUND PEOPLE	OAKFORD	I OT 4 (#995) NICHOI SON ROAD	ADDRESS:		ANTHONY	PROPOSED RESIDENCE FOR:
	YARRA -	MODEL:	DATE:	CHECKED:	DESIGNED:	DRAWN:
	YARRA - MODIFIED		27/08/19	Jus	ALI	DMA
	157403	OR Z	PROJECTS	SIZE: A2	SHEET: 12 OF 12	SCALE: 1:100
	ELECTRICAL PLAN			V007	V04	V02/3
	CAL PLAN			DMA		Ī
	_			24/06/20 01/07/20	27/05/20	
Copyrig						Issue Name
Copyright © 2019						Drawn

DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works.

Any discrepancies to be notified to the Site Supervisor without delay.

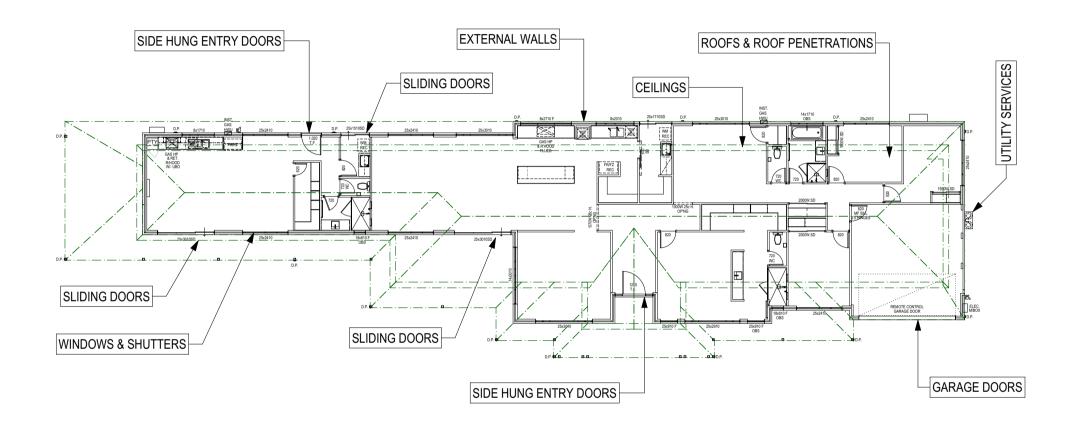
ALL DIMENSIONS TO BRICKWORK.

CLIENT(S): BUILDER:

BAL 12.5 TO NASH CONSTRUCTION

SUPERVISOR NOTE:

SPECIFIC BAL CONSTRUCTION REQUIREMENTS ARE NEEDED FOR THE BELOW INDICATED AREAS.
CONFIRM ALL APPROPRIATE CONSTRUCTION REQUIREMENTS ARE MET.



NOTE:

- THIS PLAN **MUST BE READ IN CONJUNCTION** WITH THE PROVIDED CERTIFIED BAL CONSTRUCTION NOTES.

- IF NOT PROVIDED OR AVAILABLE CONTACT THE OFFICE FOR A COPY.

- FURTHER INFORMATION CAN BE FOUND BY CONSULTING THE NASH STANDARD - STEEL FRAMED CONSTRUCTION IN BUSHFIRE AREAS 2014.