



SHEET: 1 OF 1

SURVEY DATE: 20/03/20

MAP REFERENCE:

COASTAL ZONE: >1KM

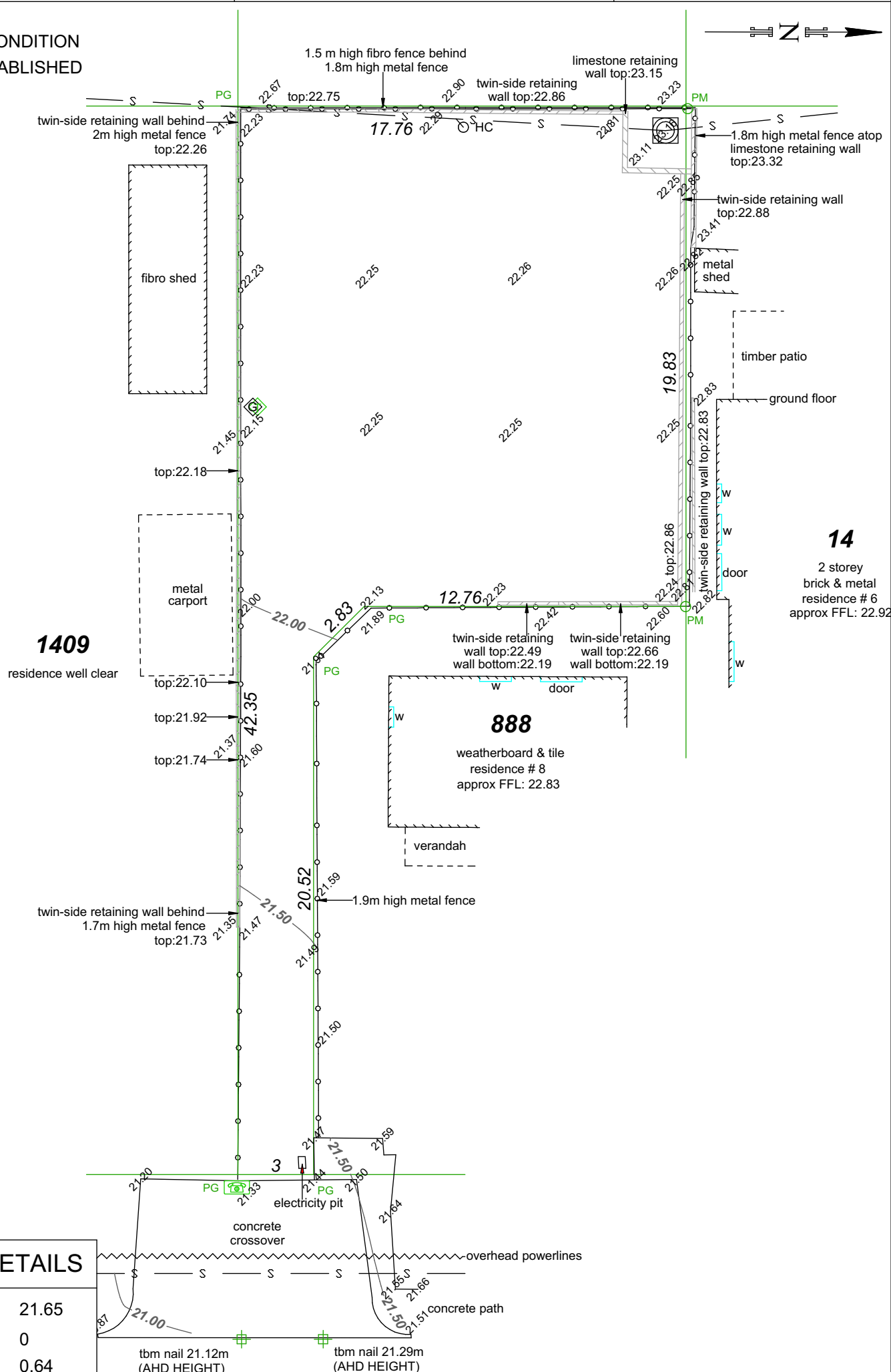
SEWER INFORMATION: YES

(2) DEVELOPMENT AREA: ESTABLISHED

WATER: A, TBC  
OVERHEAD POWER: L  
U/G POWER: L  
TELSTRA: L  
GAS: A, TBC  
SEWER: L

TBC: LOCATION TO BE CONFIRMED

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# JEMERSON STREET

1. The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A repeg / bdy identification survey is recommended if an accurate position of features / improvements relative to the boundary is required.  
2. The sewer junction on this plan has been plotted using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.  
3. The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plans. The final repegged dimensions may vary due to adjustments made during field survey.  
4. All service information shown of this plan should be verified with the relevant authorities. 5. Pro West Surveying does not accept liability for any loss or damage caused by the use of this feature survey plan for any purpose.

phone - (08) 9440 9200    fax - (08) 9440 9201

**Sheet No: 1 of 10**

Specification: PREMIUM
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**This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed or copied without the permission in writing**

REV NO.	VARIATION	DATE DRN.	BY
1	WORKING DRAWINGS	2/4/20	LAR
2	VO 1	28/4/20	LAR
3	PRESTART	02/07/20	AL
4	DRAFTING CHECK	07/08/20	LAR
5	VO 4	11/10/20	AG
6	VO 6	2/12/20	DC
7	VO 8	30/11/20	AG
8			
9			
10			



SHEET: 1 OF 1

SURVEY DATE: 20/03/20

MAP REFERENCE:

COASTAL ZONE: >1KM

SEWER INFORMATION: YES

(2) DEVELOPMENT AREA: ESTABLISHED

WATER: A, TBC  
OVERHEAD POWER: L  
U/G POWER: L  
TELSTRA: L  
GAS: A, TBC  
SEWER: L

---

## IMPORTANT FEATURE SURVEY NOTES

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phone - (08) 9440 9200    fax - (08) 9440 9201

Sheet No: 2 of 10

**Specification: PREMIUM**

## VARIATIONS

DATE D

2/4/20

07/08/2

07/08/2011  
11/10/2011

**This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed or copied without the permission in writing**

DATE D

2/4/20

28/4/20

07/08/2

07/08/2011  
11/10/2011

11/10/2024

30/11/20

50/11/2

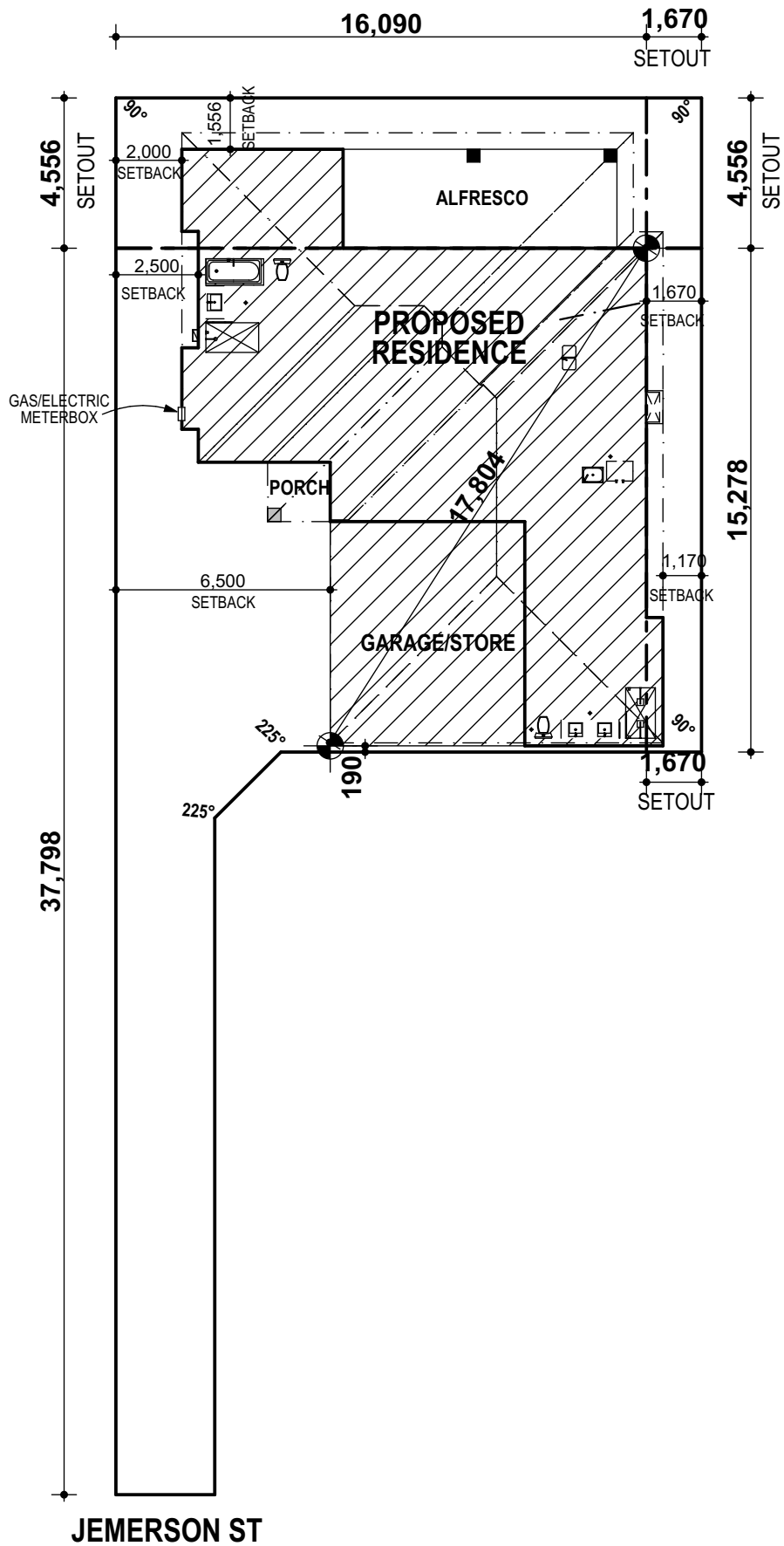
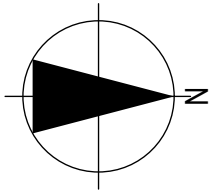
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STORMWATER LAYOUT TO COMPLY  
WITH BCA PART 3.1 & AS/NZ  
3500.3.2003 PLUMBING & DRAINAGE  
PART 3: STORMWATER DRAINAGE  
& SHIRE REQUIREMENTS

TERMITE TREATMENT IS TO BE  
FULL TERMIMESH SYSTEM  
IN ACCORDANCE WITH A.S. 3660.1

REFER TO ENGINEERS  
PLANS & ADDENDA



Site Layout

1:200

BL - 9781



my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: CUSTOM	Job No:20020	Drawing Name: SITE LAYOUT	Sheet No: 3 of 10
Lot Address:LOT 889 #8A JEMERSON STREET,WILLAGEE		Council: MELVILLE	Specification: PREMIUM
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT		VARIATIONS	
Client Name: CHERNEY		REV NO.	DATE DRN.
Signature: _____		1	WORKING DRAWINGS
Date: ____/____/____		2	VO 1
Client Name: --		3	PRESTART
Signature: _____		4	DRAFTING CHECK
Date: ____/____/____		5	VO 4
The home will be built to the dimensions on the working drawings within a reasonable tolerance		6	VO 6
This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed or copied without the permission in writing		7	VO 8
		8	
		9	
		10	



30c CEILINGS THROUGHOUT  
UNLESS OTHERWISE NOTED

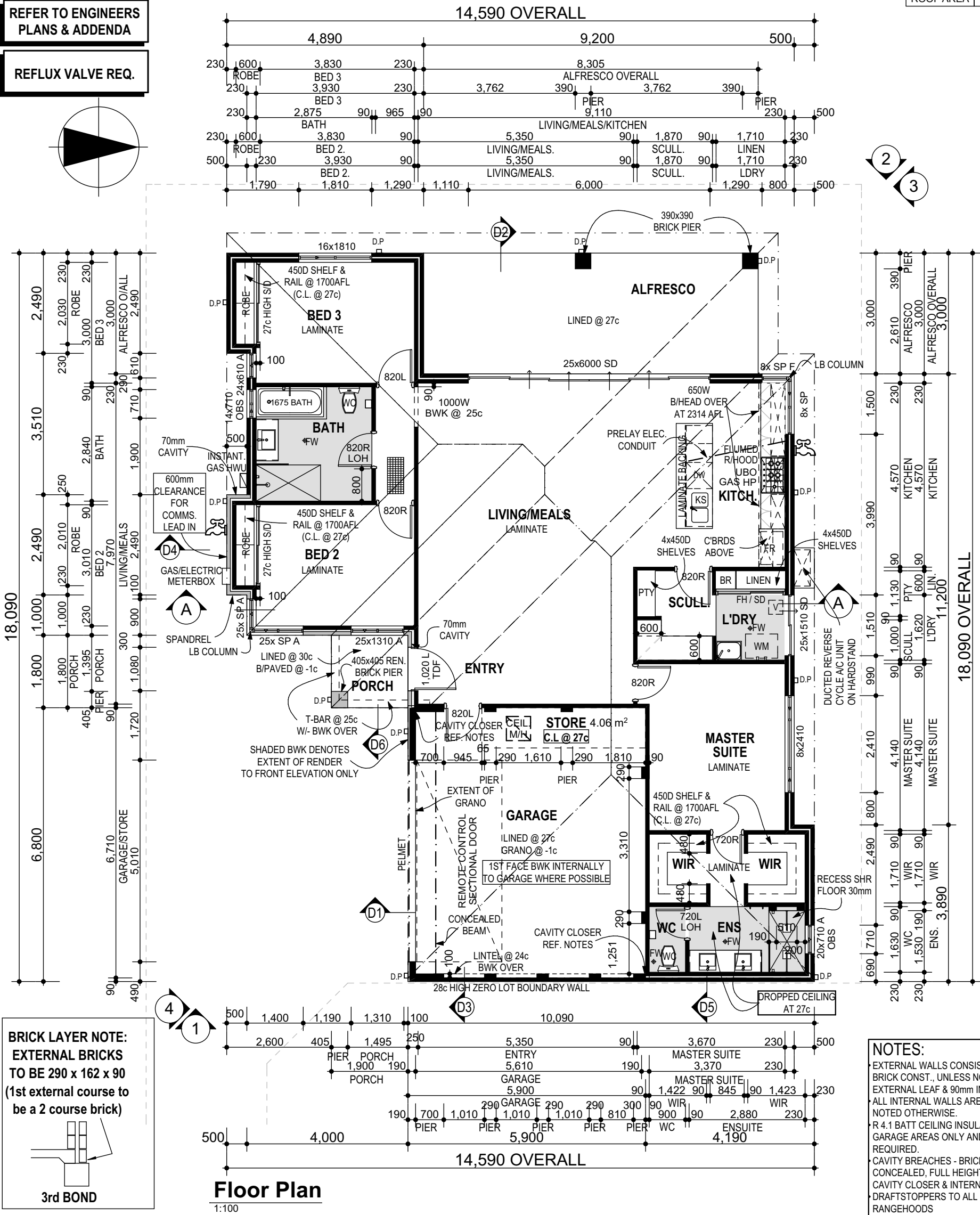
DOWNPIPE LOCATION  
INDICATIVE ONLY - AT  
BUILDERS & ROOF  
PLUMBERS DISCRETION

REFER TO ENGINEERS  
PLANS & ADDENDA

REFLUX VALVE REQ.

Area Name	Measured Area	Perimeter
ALFRESCO	24.91	22.61
GARAGE/STORE	40.12	25.40
PORCH	3.42	7.40
PROPOSED RESIDENCE	148.15	66.36
	216.60 m <sup>2</sup>	

AREA NAME	MEASURED AREA
ROOF AREA	231.82



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WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: CUSTOM

Job No:20020

Drawing Name: FLOOR PLAN

Sheet No: 4 of 10

Lot Address: LOT 889 #8A JEMERSON STREET, WILLAGEE

Council: MELVILLE

Specification: PREMIUM

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT

Client Name: CHERNEY

Date: -----/-----/-----

Signature: -----

Client Name: --

Date: -----/-----/-----

Signature: -----

The home will be built to the dimensions on the working drawings within a reasonable tolerance

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VARIATIONS

REV NO.	VARIATION	DATE DRN.	BY
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4	DRAFTING CHECK	07/08/20	LAR
5	VO 4	11/10/20	AG
6	VO 6	2/12/20	DC
7	VO 8	30/11/20	AG
8			
9			
10			

**REFER TO ENGINEERS  
PLANS & ADDENDA**

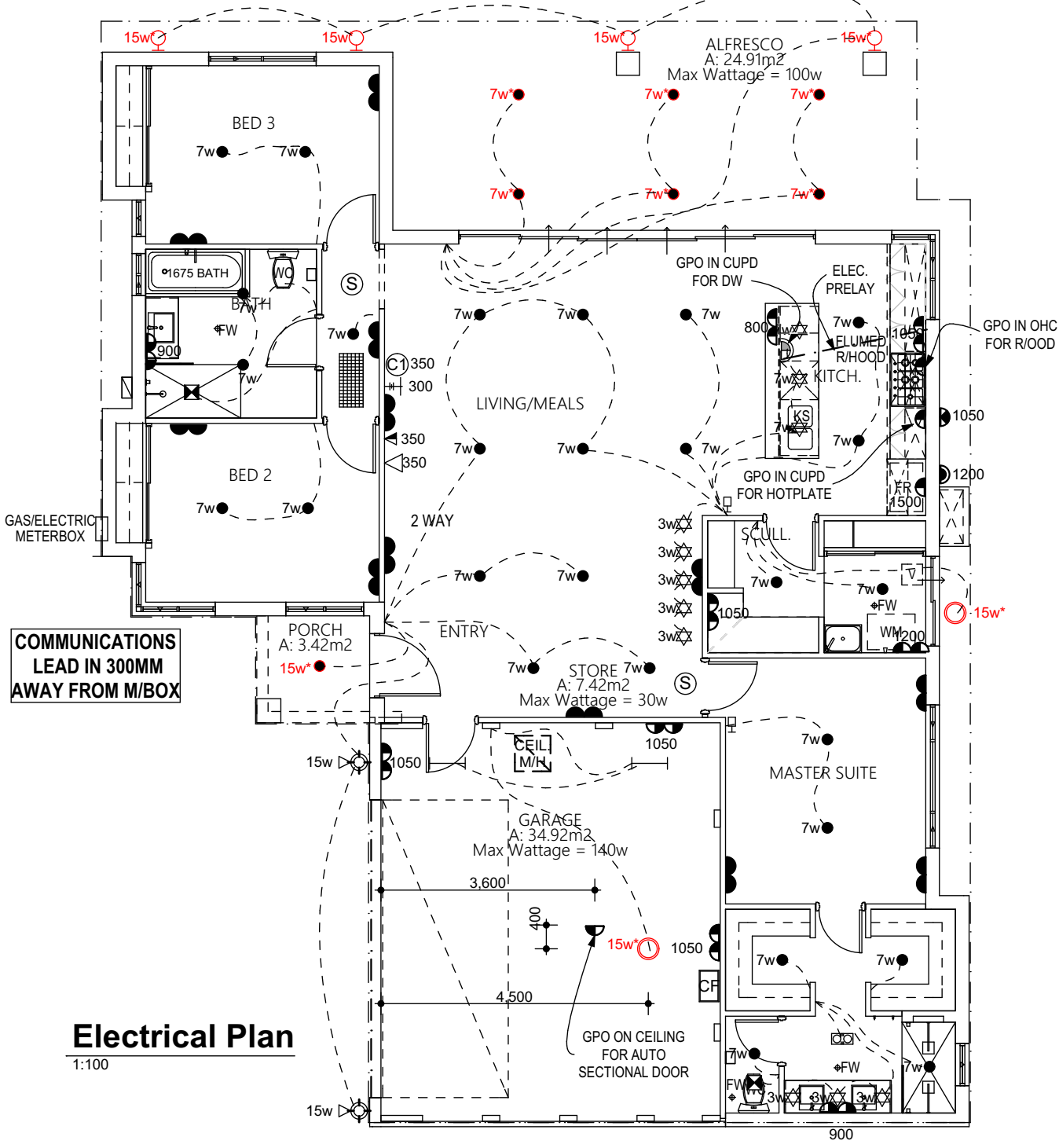


REV NO.	VARIATION	DATE DRN.	BY
1	WORKING DRAWINGS	2/4/20	LAR
2	VO 1	28/4/20	LAR
3	PRESTART	02/07/20	AL
4	DRAFTING CHECK	07/08/20	LAR
5	VO 4	11/10/20	AG
6	VO 6	2/12/20	DC
7	VO 8	30/11/20	AG
8			
9			
10			

ELECTRICAL NOTE :  
- POWER POINT AND LIGHT LOCATIONS MAY CHANGE DUE TO ELECTRICAL LAWS OF WA  
- DIMENSIONS SHOWN ARE TO THE CENTRELINE OF GPO's  
- LIGHT SWITCHES ARE TO BE 1200 AFL OR OTHERWISE NOTED

ELECTRICAL LEGEND

F.L.				
Qty	Sym.	Description	Watts	Insulation Penetrations
1	15w*	RECESSED LED DOWN-LIGHT (15w) Perimeter Lighting	15*	*
1	15w*	EXTERNAL LIGHT (15w) Class 10	15*	*
4	15w*	WALL LIGHT @ 1800 AFL Class 1 Alfresco	60*	*
6	7w*	RECESSED LED DOWN-LIGHT ( 7w) Class 1 Alfresco	42*	*
1	15w*	EXTERNAL LIGHT (15w) Class 1 Alfresco	15*	*
1		VENTILATION FOR RANGEHOOD	0	0.015
2	15w	UP/DOWN WALL LIGHT	30	
3	7w	STARLIGHT ( 7w)	21	0.015
8	3w	STARLIGHT ( 3w)	24	0.040
27	7w	RECESSED LED DOWN-LIGHT ( 7w)	189	0.280
2		LED 35GRCW PANEL LIGHT	0	
2		H.WIRED SMOKE DETECTOR	0	
2		EXHAUST FAN FLUMED	0	0.098
2		DIMMER SWITCH	0	
1		2x HEATER/FAN/LIGHT	0	
1	2 WAY	2 WAY SWITCH	0	
1		OUTDOOR AIR CONDITIONING GROUND UNIT	0	
1		Air Conditioning Return Air Grill	0	
1		Ceiling Vent	0	
1		TV POINT	0	
1		SINGLE WATER PROOF GPO	0	
3		SINGLE GPO @ NOTED HT	0	
1		SINGLE GPO @ BENCH HT	0	
1		SINGLE CIRCUIT GPO	0	
1		PHONE POINT	0	
5		DOUBLE GPO @ NOTED HT	0	
4		DOUBLE GPO @ BENCH HT	0	
12		DOUBLE GPO @ 300 AFL	0	
1	CF	CONDUIT FOR FUTURE FIBRE OPTIC	0	
1		32 AMP GPO	0	
1		Data Point	0	
1	C1	Conduit 1	0	
Subtotal:			264	0.449



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my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: CUSTOM

Job No:20020

Drawing Name: ELECTRICAL LAYOUTS

Sheet No: 6 of 10

Lot Address:LOT 889 #8A JEMERSON STREET,WILLAGEE

Council: MELVILLE

Specification: PREMIUM

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT

Client Name: CHERNEY

Signature: \_\_\_\_\_

Date: \_\_\_\_/\_\_\_\_/\_\_\_\_

Client Name: --

Signature: \_\_\_\_\_

Date: \_\_\_\_/\_\_\_\_/\_\_\_\_

The home will be built to the dimensions on the working drawings within a reasonable tolerance

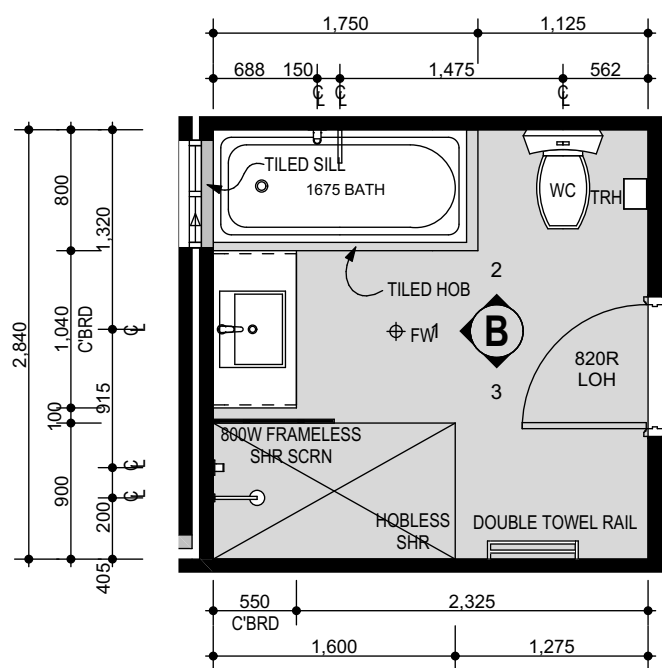
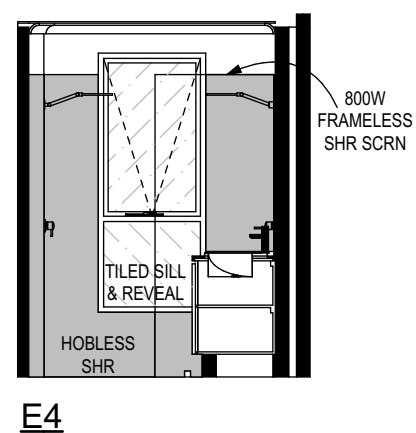
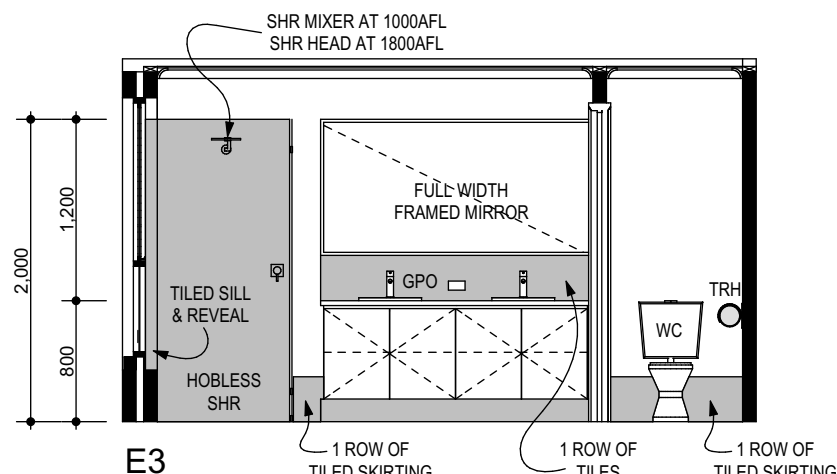
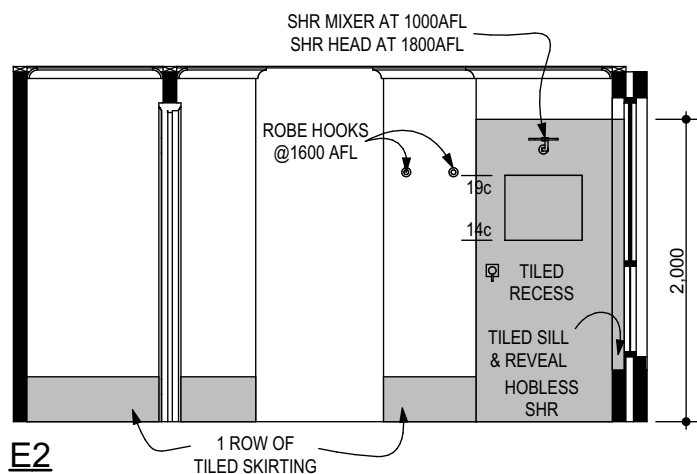
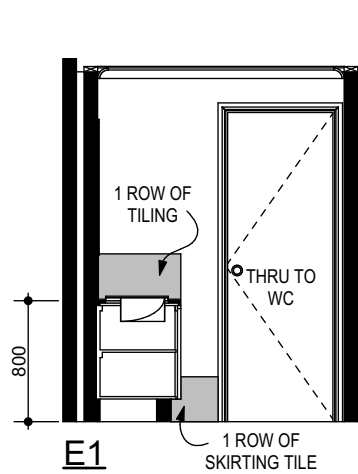
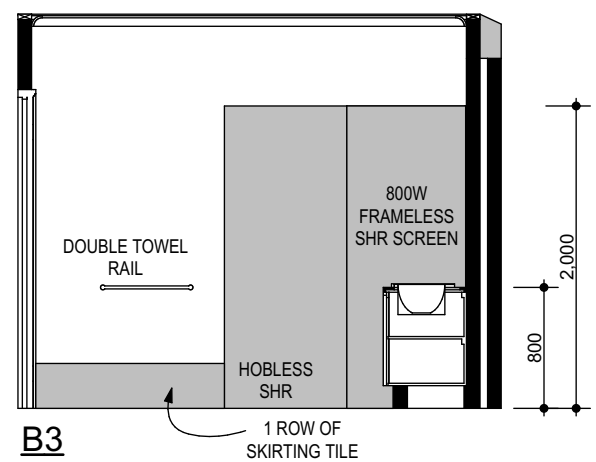
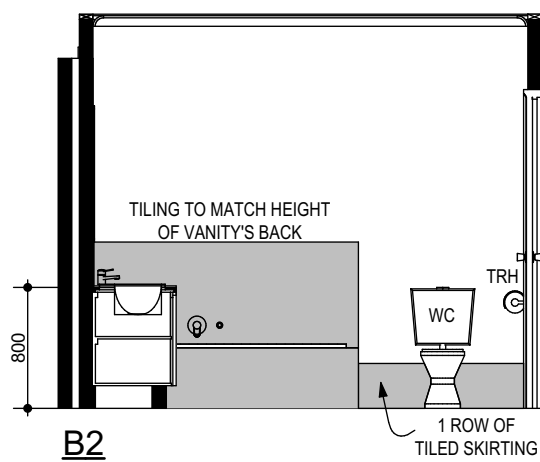
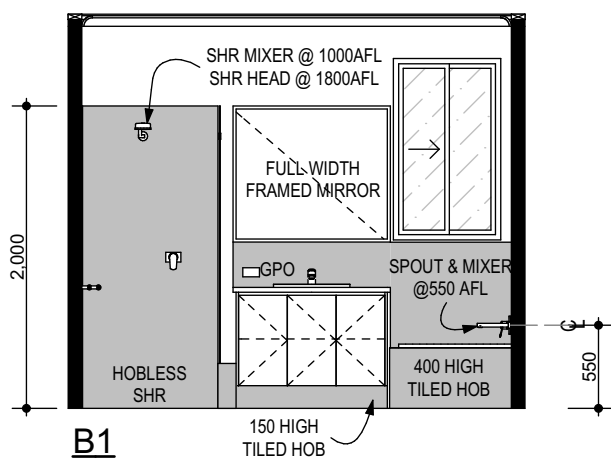
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VARIATIONS

REV NO.	VARIATION	DATE DRN.	BY
1	WORKING DRAWINGS	2/4/20	LAR
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7	VO 8	30/11/20	AG
8			
9			
10			

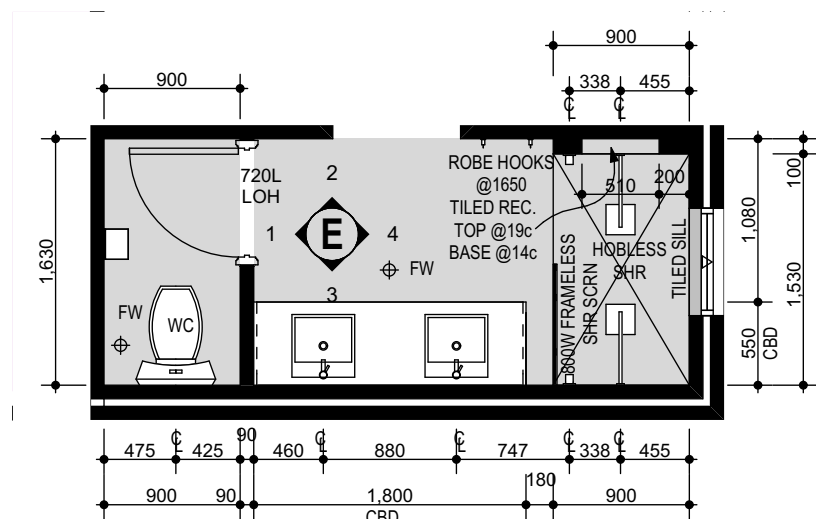






**Bathroom Layout**

1:50



**Ensuite Layout**

1:50

MITRED EDGE TILING  
THROUGHOUT HOME

TOP OF MIRRORS TO LINE  
UP WITH TOP OF SHOWER SCREENS

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**my homes wa**

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: CUSTOM

Job No:20020

Drawing Name: ROOM LAYOUTS 2

Sheet No: 8 of 10

Lot Address: LOT 889 #8A JEMERSON STREET, WILLAGEE

Council: MELVILLE

Specification: PREMIUM

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Client Name: CHERNEY

Date: -----/-----/-----

Signature: -----

Client Name: --

Date: -----/-----/-----

Signature: -----

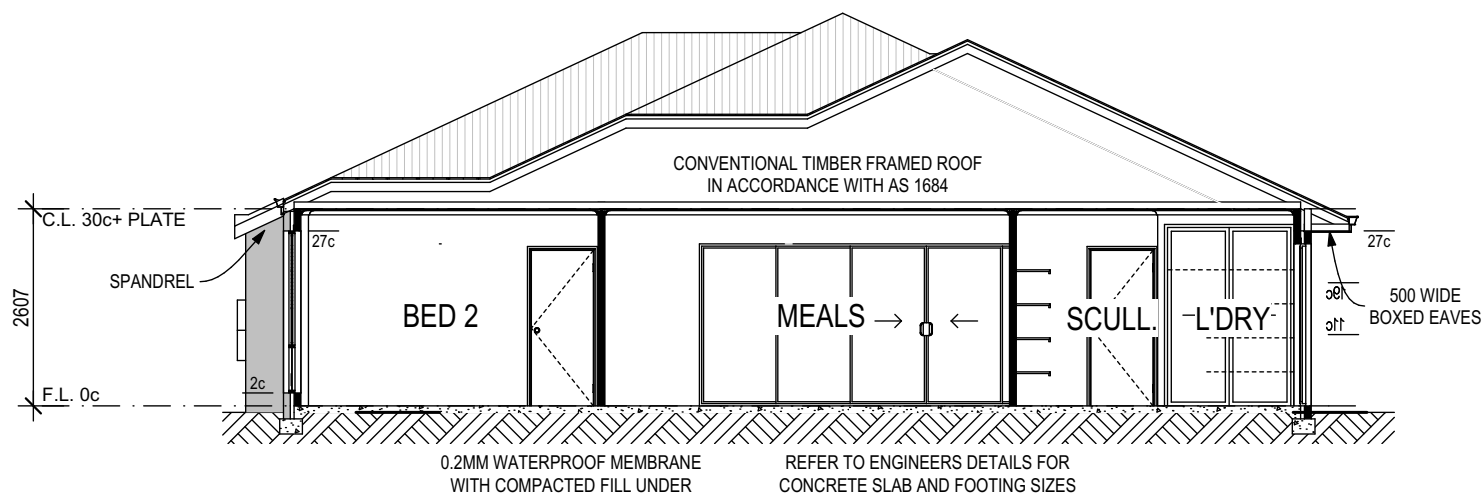
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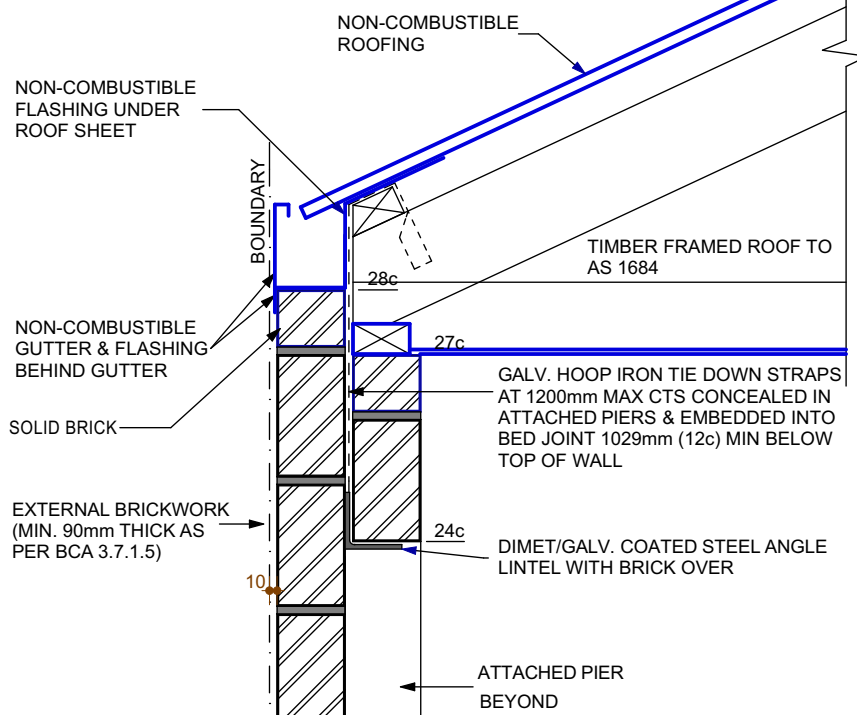
VARIATIONS

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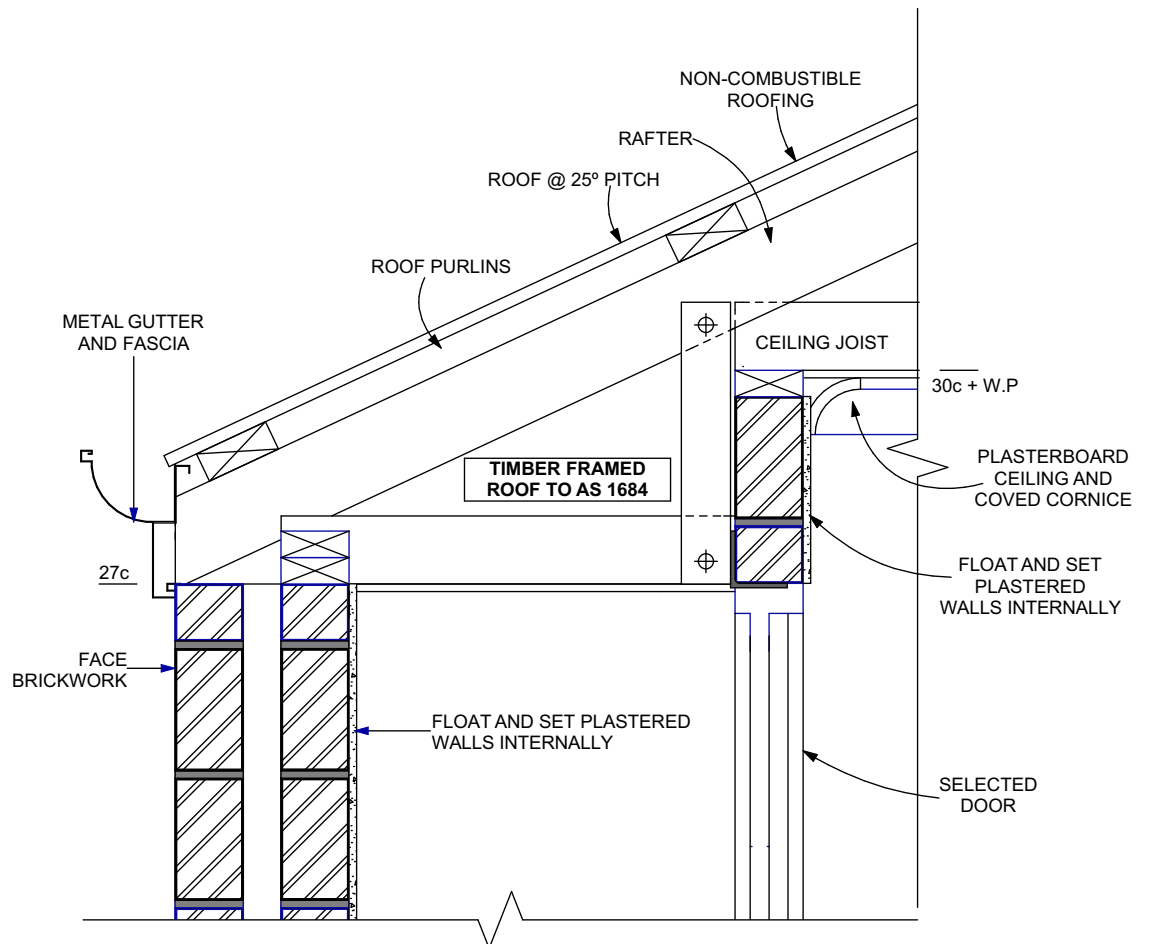




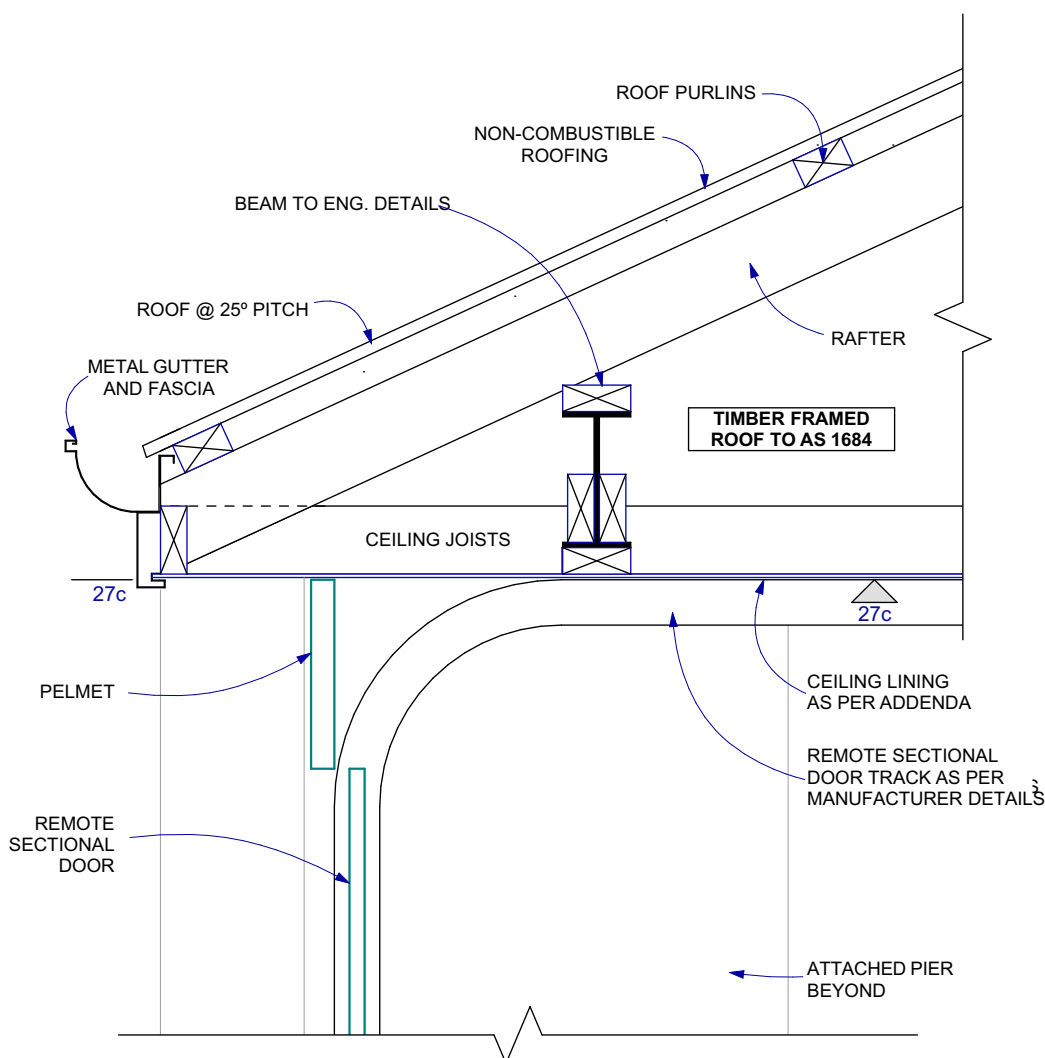
**Section A-A**  
1:100



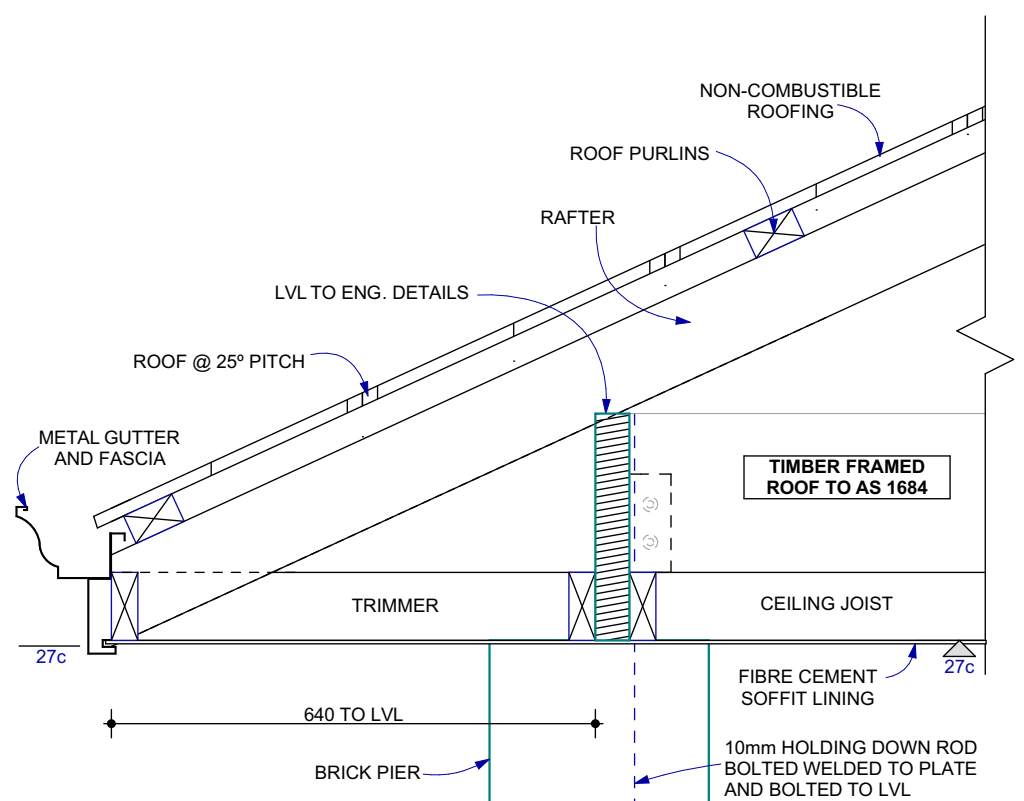
**DETAIL 3**  
SCALE 1:10



**DETAIL 4**  
SCALE 1:10



**DETAIL 1**  
SCALE 1:10



**DETAIL 2**  
SCALE 1:10

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**my homes wa**

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: CUSTOM

Job No:20020

Drawing Name: SECTION / DETAILS

Sheet No: 9 of 10

Lot Address: LOT 889 #8A JEMERSON STREET, WILLAGEE

Council: MELVILLE

Specification: PREMIUM

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Client Name: CHERNEY

Date: -----/-----/-----

Signature: -----

Client Name: --

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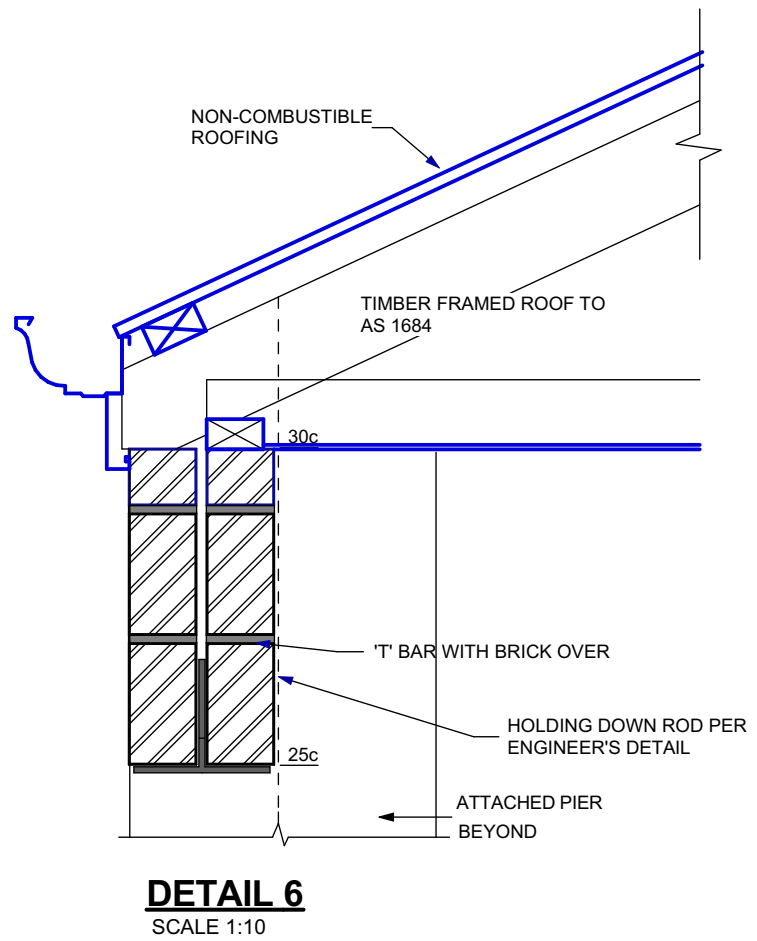
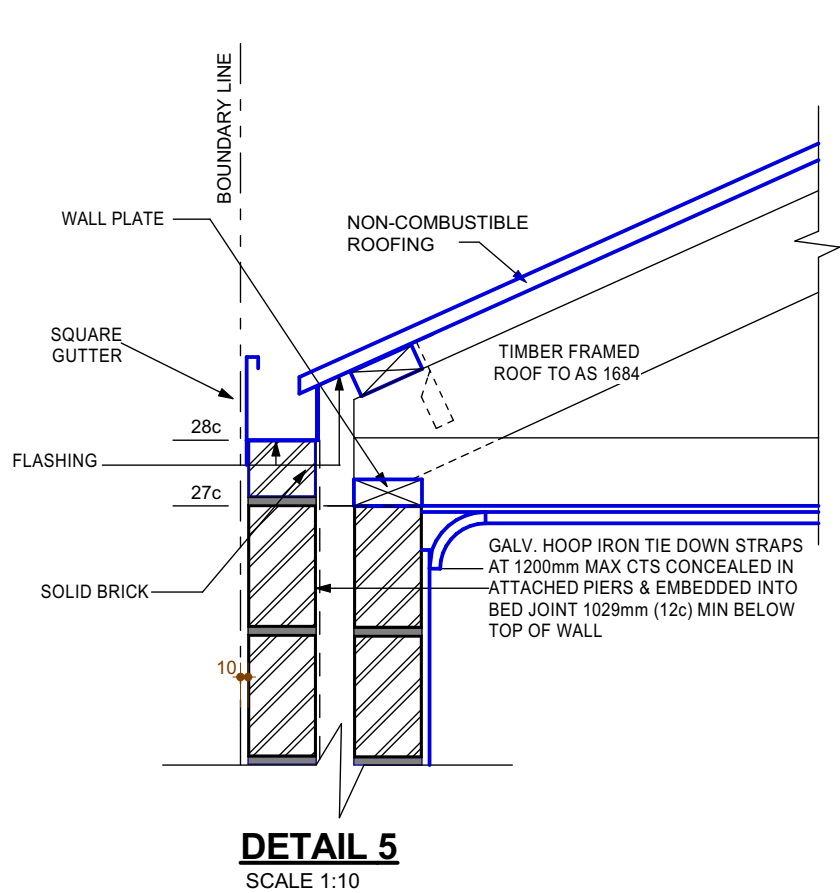
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WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: CUSTOM

Job No:20020

Drawing Name: DETAILS

Sheet No: 10 of 10

Lot Address:LOT 889 #8A JEMERSON STREET,WILLAGEE

Council: MELVILLE

Specification: PREMIUM

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Client Name: CHERNEY

Date: -----/-----/-----

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