

LEGEND

SERVICES

ELECTRICITY DOME

ELECTRIC SUPPLY POLE

MAILBOX

TELSTRA PIT

WATER METER

LOT DETAIL

BWGL - BOTTOM OF WALL/GROUND LEVEL

TWGL - TOP OF WALL/GROUND LEVEL

TW - TOP OF WALL

PF - PEG FOUND

PG - PEG GONE

TREE DETAIL

0.3m D - TRUNK DIAMETER

5m H - TREE HEIGHT

2m RC - TREE CANOPY RADIUS

DENADA

SURVEYS

FOOTPATH: None

WATER: Meter Located

GAS: Not Visible

TELSTRA: Located

RE-PEG: Recommended

ROAD: Bitumen

KERB: Non Mountable

ELECTRICITY: Overhead

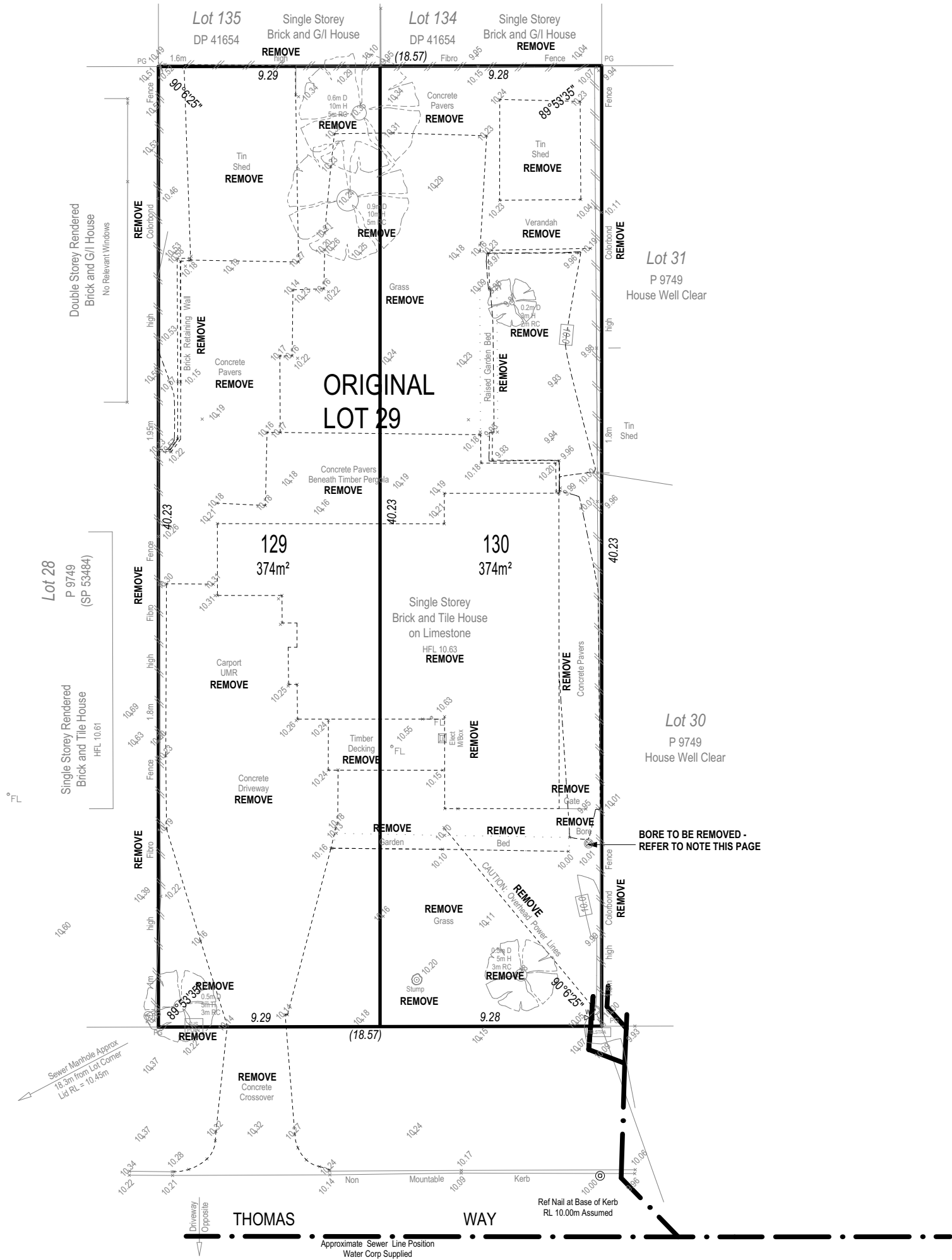
VEGETATION: Lawn/Garden

SEWER: M/H Located

NOTE:
CONTOUR INTERVAL 0.5m
HEIGHT DATUM - SITE
ORIGIN - NAIL AT KERB RL10.00m
SURVEYED ON: 23/10/2019

DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions
& notes prior to initiating works. Any
discrepancies to be notified to the Site
Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

CLIENT NOTE:
- ALL DEMOLITION BY CLIENT UNLESS OTHERWISE NOTED.
- BORE TO BE REMOVED, CAPPED, FILLED WITH CLEAN SAND & COMPACTED.
- ALL TREES/SHRUBS TO BE LOPPED (TRIMMED) TO WITHIN 2m OF THE BUILDING ENVELOPE.
- EXISTING BUILDING, TREES AND ALL RUBBLE TO BE REMOVED BY CLIENT PRIOR TO CONSTRUCTION.



BUILDER:	_____
CLIENT(S):	_____
WITNESS:	_____

PROPOSED RESIDENCE FOR:
REZVANDEH / HEKMAT

ADDRESS:
SSL2 (#19B) THOMAS WAY
KARDINYA

DRAWN: DMA
DESIGNED: RC
CHECKED: DMA
DATE: 19/06/20
MODEL:
SPECIAL

SCALE: 1:100
SHEET: 1 OF 10
SIZE: A3
DEVELOPMENTS
JOB N°
159231

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V001	DMA	21/09/20			
V005	DMA	09/10/20			
V006	DMA	23/10/20			

DEMOLITION PLAN



Scale 1:200
0 1 2 3 4 5 6 7 8 9 10



SUMMIT
HOMES GROUP

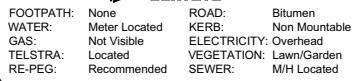
BUILD | RENOVATE | DEVELOP

SERVICES

LOT DETAIL

TREE DETAIL

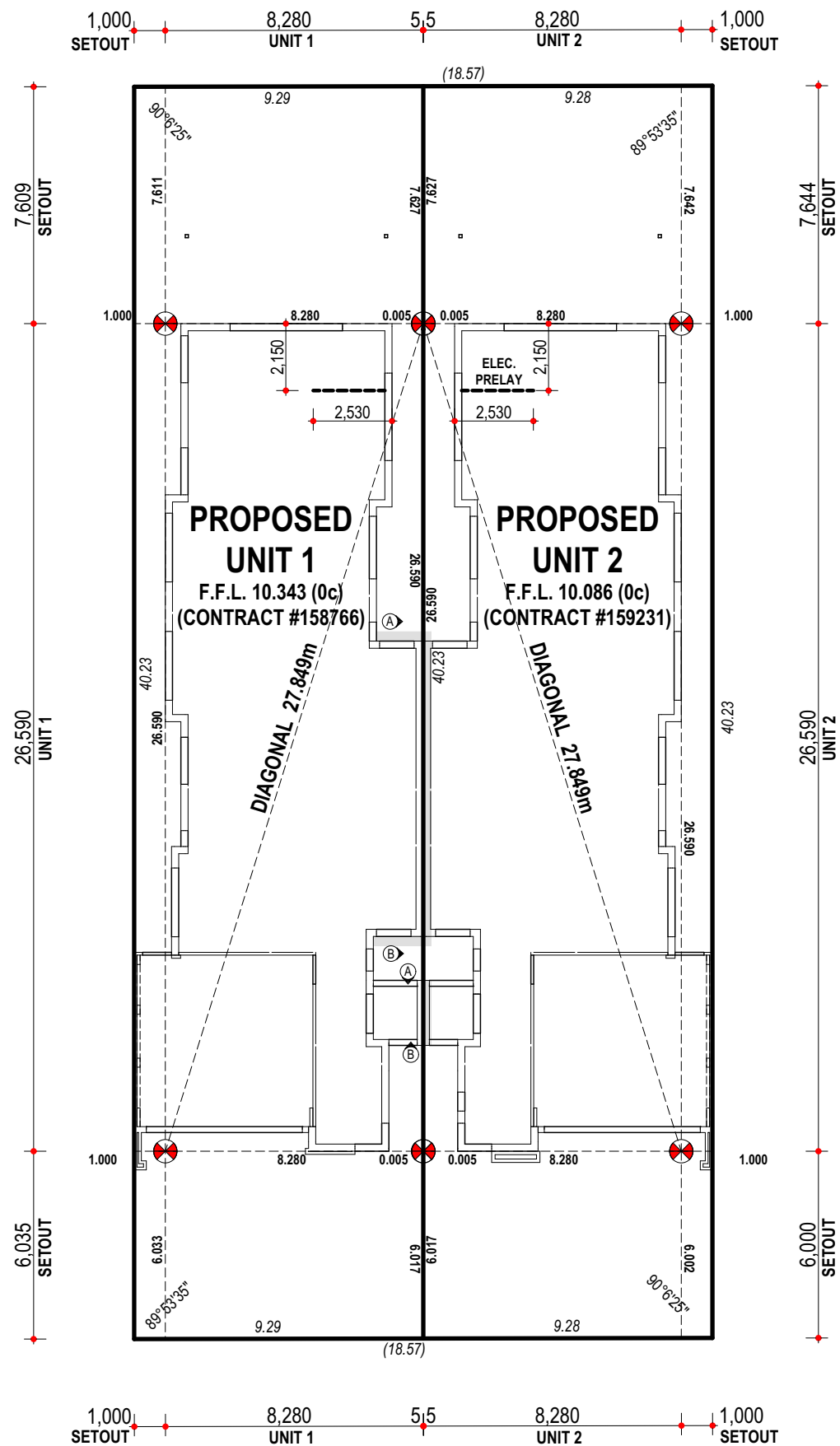
0.3m D - TRUNK DIAMETER
5m H - TREE HEIGHT
2m RC - TREE CANOPY RADIUS



CONCRETOR / BRICKLAYER NOTE:

- B'WALL ON COMMON STRATA B'DRY HAS BEEN CALCULATED TO BE SET INSIDE THE B'DRY BY 5mm.
- B'WALL ON COMMON LOT B'DRY HAS BEEN CALCULATED TO BE SET ON THE B'DRY.
- TOP OF FOOTING @ -5 BETWEEN A-B (REFER TO FLOOR PLAN & ELEVATIONS)

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ALL DIMENSIONS TO BRICKWORK.



BUILDER:	/	/
CLIENT(S):	/	/
	/	/
WITNESS:	/	/

PROPOSED RESIDENCE FOR:
REZVANDEH / HEKMAT

ADDRESS:
SSL2 (#19B) THOMAS WAY
KARDINYA

DRAWN:	DMA
DESIGNED:	RC
CHECKED:	DMA
DATE:	19/06/20
MODEL:	
SPECIAL	

SCALE: 1:100
SHEET: 3 OF 10
SIZE: A3
DEVELOPMENTS
JOB N°
159231

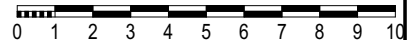
Issue Name	Drawn	Date
V001	DMA	21/09/20
V005	DMA	09/10/20
V006	DMA	23/10/20

Issue Name	Drawn	Date
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SETOUT PLAN



Scale 1:200



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BUILD | RENOVATE | DEVELOP

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LEGEND

SERVICES

ELECTRICITY DOME

ELECTRIC SUPPLY POLE

MAILBOX

TELSTRA PIT

WATER METER

LOT DETAIL

BWGL - BOTTOM OF WALL/GROUND LEVEL

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0.3m D - TRUNK DIAMETER

5m H - TREE HEIGHT

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DENADA

SURVEYS

FOOTPATH: None

WATER: Meter Located

GAS: Not Visible

TELSTRA: Located

RE-PEG: Recommended

ROAD: Bitumen

KERB: Non Mountable

ELECTRICITY: Overhead

VEGETATION: Lawn/Garden

SEWER: M/H Located

NOTE:
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HEIGHT DATUM - SITE
ORIGIN - NAIL AT KERB RL10.00m
SURVEYED ON: 23/10/2019

DO NOT SCALE FROM THIS DRAWING
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Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

PLUMBER NOTE:

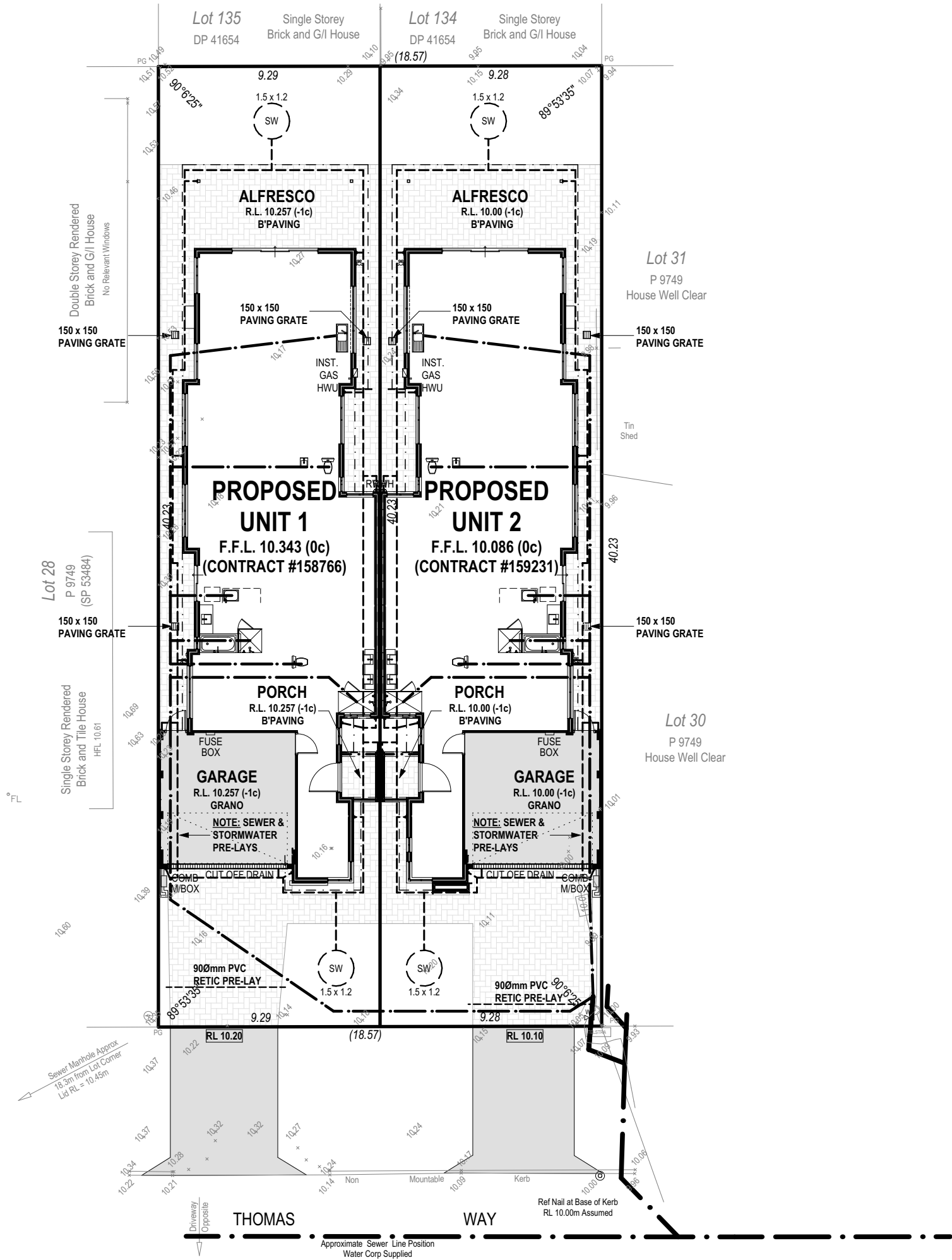
- CONNECT ALL DOWNPIPES TO STORMWATER SOAKWELLS AS PER SHIRE REQUIREMENTS.
- ALL STORMWATER & SURFACE WATER DRAINAGE TO COMPLY W/- NCC VOL 2, A.S. 3500.3:2003 & LOCAL AUTHORITY REQUIREMENTS.
- REFLUX VALVE REQUIRED.

1:20 YEAR STORM EVENT - UNIT 1

Soak Well Type	No.	
SW 1500x1200	2	4.2 m3
Total Capacity		4.2 m3
Roof Area GF		238.3 m2
Paved Area		60.0 m2
Total Area		298.3 m2
Capacity Required (Area x 0.0130)		3.9 m3
Extra Capacity Provided		0.4 m3

1:20 YEAR STORM EVENT - UNIT 2

No.	Soak Well Type	
4.2 m3	2	SW 1500x1200
4.2 m3		Total Capacity
238.3 m2		Roof Area GF
60.0 m2		Paved Area
298.3 m2		Total Area
3.9 m3		Capacity Required (Area x 0.0130)
0.4 m3		Extra Capacity Provided



BUILDER:	_____
CLIENT(S):	_____
WITNESS:	_____

PROPOSED RESIDENCE FOR:
REZVANDEH / HEKMAT

ADDRESS:
SSL2 (#19B) THOMAS WAY
KARDINYA

DRAWN:	DMA	SCALE:	1:100	Issue Name	Drawn	Date	Issue Name	Drawn	Date
DESIGNED:	RC	SHEET:	4 OF 10	V001	DMA	21/09/20			
CHECKED:	DMA	SIZE:	A3	V005	DMA	09/10/20			
DATE:	19/06/20	DEVELOPMENTS		V006	DMA	23/10/20			
MODEL:		JOB N°							
SPECIAL		159231							

PLUMBING PLAN



Scale 1:200
0 1 2 3 4 5 6 7 8 9 10



SUMMIT
HOMES GROUP

BUILD | RENOVATE | DEVELOP

BUILT AROUND PEOPLE

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SITE CLASSIFICATION - CLASS 'A'
(REFER TO SITE REPORT FOR
DETAILS) WIND LOAD - N1
CORROSION CLASSIFICATION - R3

BRICK NOTE

- 2c FACE BRICK TO BE LAID IN THIRD BOND UNO

ROOF NOTE

- COLOBBOND ROOF, PITCH AT 25° W/ 500W EAVES UNO
- STEEL ROOF FRAME TO NASH STANDARDS
- CEILINGS AT 30c + PLATE UNLESS NOTED OTHERWISE

ROOF PLUMBER NOTE

- PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)
- FINAL POSITIONS OF R/WPS TO BE DETERMINED ON SITE
- R/WPS IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER SYSTEM (NO KICK)

ROOF INSULATION NOTE

- R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL PLASTERBOARD OR VERSILUX CEILINGS IF APPL.

ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS INDICATED ON PLAN

FIXING CARPENTER NOTE

- 4 No. 450D SHELVES TO PANTRY AND LINEN UNO
- 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO
- 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY
- PROVIDE MID-SHELF SUPPORT WHERE NOTED 'MSS' TO ANY SHELF OVER 1.8m LONG.

CEILING MATERIAL NOTE

- PORCH - PLASTERBOARD C.L.
- GARAGE - HARDIFLEX C.L.
- ALFRESCO (INC. AREAS SHOWN HATCHED) - VERSILUX C.L.

GARAGE NOTE

- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPNG

RENDER WALL NOTE

- PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED WALLS & HIFLEX / VERSILUX CEILINGS

TRADES / SUPERVISOR NOTE

- REFER TO STRUCTURAL ENGINEERS DETAILS
- ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS & STANDARD SPECIFICATION.

DOOR NOTE

- TOILET DOOR TO COMPLY W/ CLAUSE 3.8.3.3 OF THE B.C.A VOL. 2

ROOF PLUMBER / CONC. NOTE

- PRE-LAY RWP & STORMWATER PIPE IN GARAGE FROM GUTTER ON BOUNDARY WALL

PLASTERBOARD NOTE

- PROVIDE PLASTERBOARD TO ALL INTERNAL WALLS UNLESS NOTED OTHERWISE
- PROVIDE PLASTERBOARD TO WALLS WHERE INDICATED BY "DW"
- WET AREA PLASTERBOARD TO BATHROOM & ENSUITE

CONCRETOR/BRK LAYER NOTE

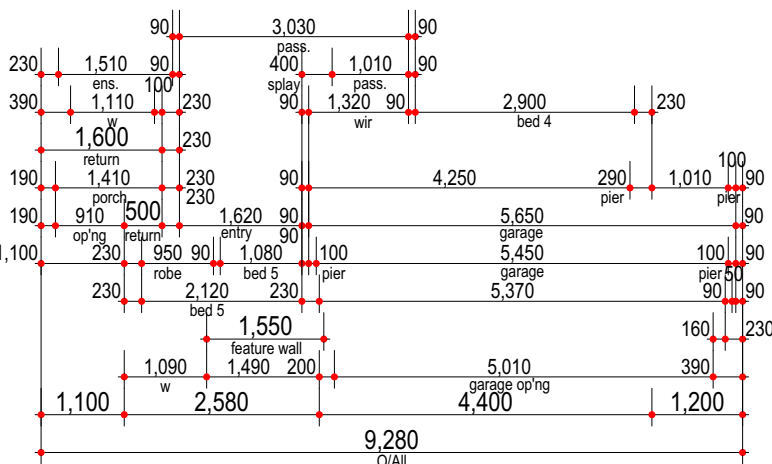
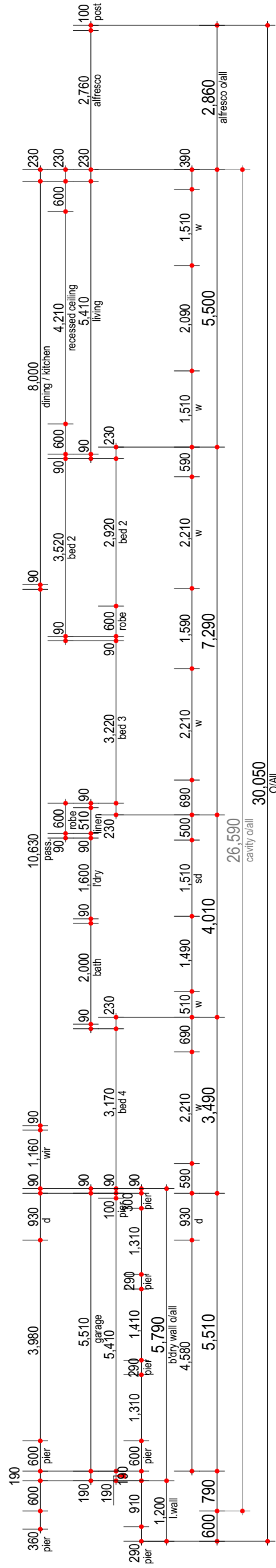
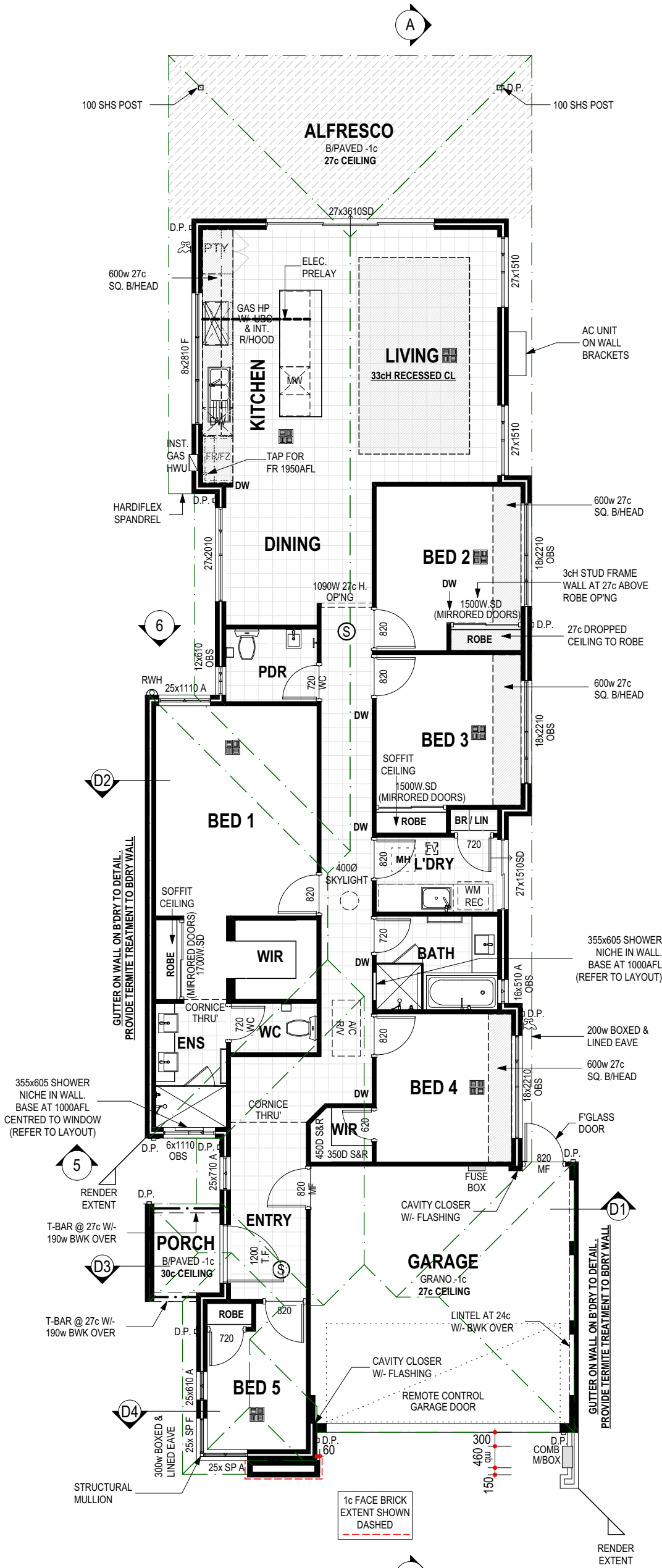
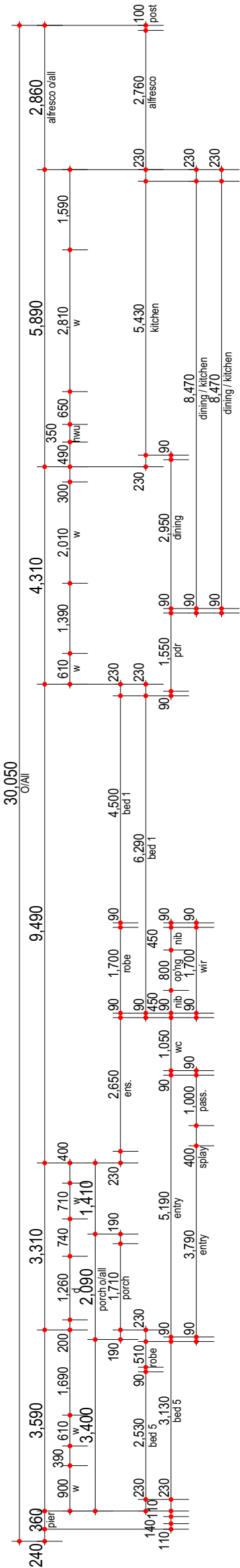
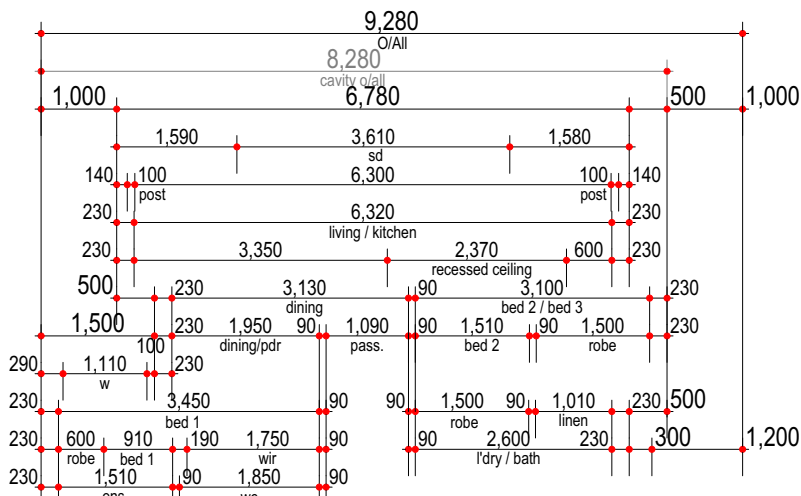
- NOTE BRICK WALL ON STRATA BOUNDARY HAS BEEN CALCULATED TO BE SET INSIDE THE BOUNDARY BY 5mm.
- NOTE BRICKWALL ON LOT BOUNDARY HAS BEEN CALCULATED TO BE SET ON BOUNDARY.
- ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c UNLESS NOTED OTHERWISE.

AIRCON NOTE

- PROVIDE REVERSE CYCLE AIR CONDITIONING. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

PLUMBER NOTE

- NO HOBBS TO SHOWERS UNLESS SHOWN OTHERWISE.
- PLUMBER TO INSTALL REFLUX VALVE.



UNIT 2 FLOOR PLAN

	Area m²	Perim. L/m
1. FLOOR PLAN	163.36	72.62
2. GARAGE	32.80	23.06
3. PORCH	3.25	7.38
4. ALFRESCO	19.39	19.28
5. TOTAL AREA	218.80	82.66
6. ROOF	238.25	82.10

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ALL DIMENSIONS TO BRICKWORK.

BUILDER: _____
CLIENT(S): _____
WITNESS: _____

PROPOSED RESIDENCE FOR:
REZVANDEH / HEKMAT

ADDRESS:
**SSL2 (#19B) THOMAS WAY
KARDINYA**

DRAWN: DMA
DESIGNED: RC
CHECKED: DMA
DATE: 19/06/20
MODEL: SPECIAL

SCALE: 1:100
SHEET: 5 OF 10
SIZE: A2
DEVELOPMENTS
JOB N°
159231

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V001	DMA	21/09/20			
V005	DMA	09/10/20			
V006	DMA	23/10/20			

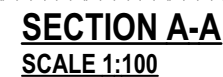
FLOOR PLAN



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COLORBOND ROOF, PITCH AT 25° W/ 500W EAVES UNO
- STEEL ROOF IN ACCORDANCE TO NASH STANDARD
- CEILINGS AT 30c + PLATE UNLESS NOTED OTHERWISE

WINDOW SUPPLIER NOTE
- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288

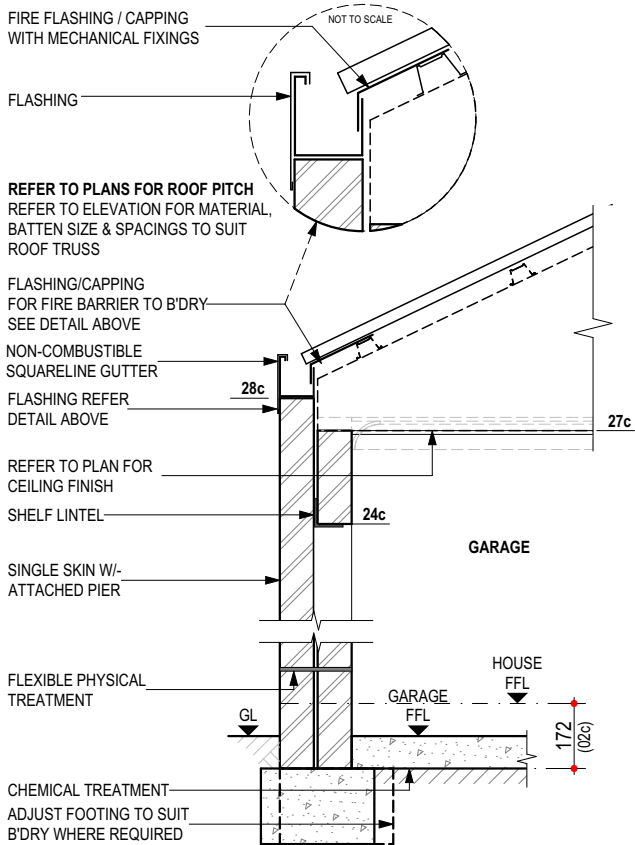


Issue Name	Drawn	Date	Issue Name	Drawn	Date
V001	DMA	21/09/20			
V005	DMA	09/10/20			
V006	DMA	23/10/20			

ELEVATIONS



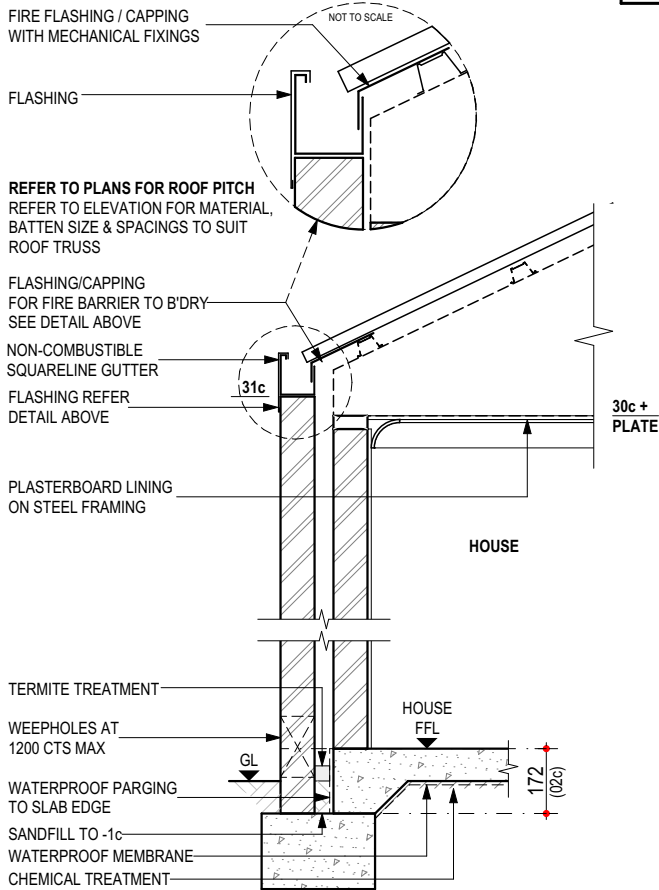
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ALL DIMENSIONS TO BRICKWORK.



**D01 - GUTTER ON WALL/FLASHING DETAIL TO GARAGE
W/- TERMITE TREATMENT**

NOTES:

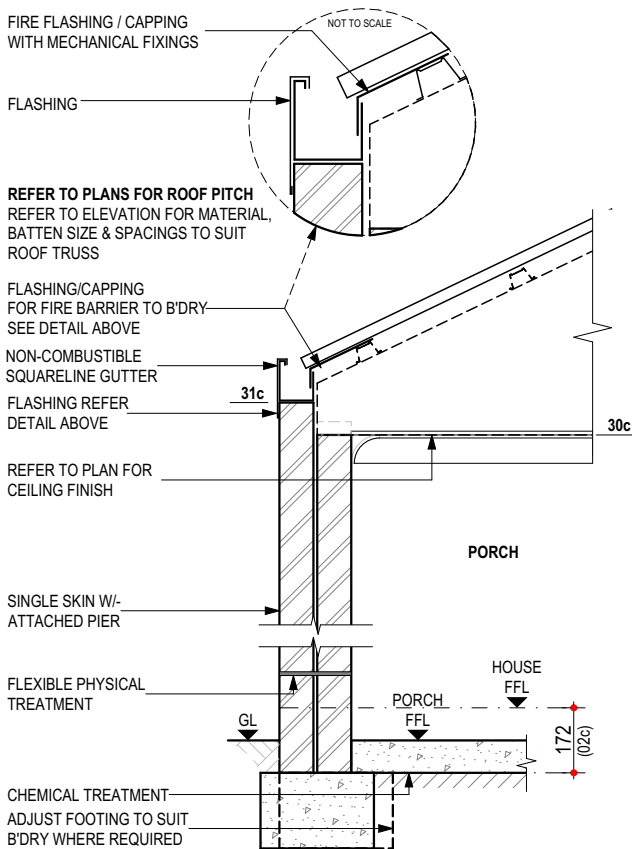
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
- SCALE 1 : 20



**D02 - GUTTER ON WALL / FLASHING DETAIL TO HOUSE
W/- TERMITE TREATMENT**

NOTES:

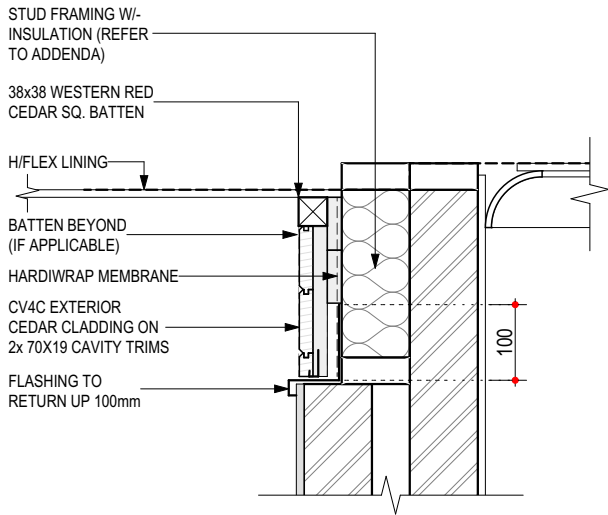
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
- SCALE 1 : 20



**D03 - GUTTER ON WALL/FLASHING DETAIL TO PORCH
W/- TERMITE TREATMENT**

NOTES:

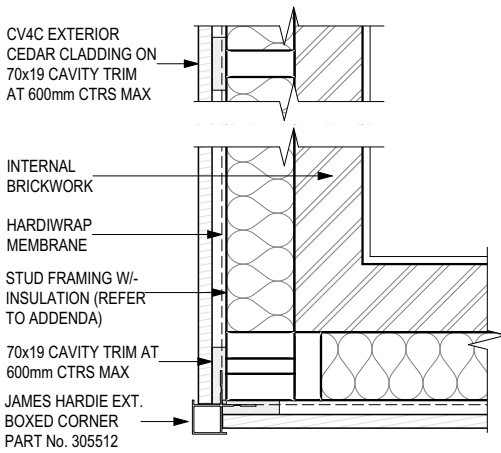
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
- SCALE 1 : 20



**D04 - CLADDING (MINOR CLADDING
BELOW EAVE DETAIL)**

NOTES:

- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- REFER TO ADDENDUM FOR CLADDING SPECIFICATION
- SCALE 1 : 10



**TYPICAL 18mm CEDAR CLADDING
(PLAN VIEW EXTERNAL CORNER)**

NOTES:

- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- CAVITY TRIM SCREWED TO FRAME W/- 40mm SCREWS
- CEDAR CLADDING TO BE FIXED HORIZONTALLY
- SCALE 1 : 10

BUILDER:	_____
CLIENT(S):	_____
WITNESS:	_____

PROPOSED RESIDENCE FOR:
REZVANDEH / HEKMAT

ADDRESS:
SSL2 (#19B) THOMAS WAY
KARDINYA

DRAWN: DMA
DESIGNED: RC
CHECKED: DMA
DATE: 19/06/20
MODEL:
SPECIAL

SCALE: AS NOTED
SHEET: 7 OF 10
SIZE: A3

DEVELOPMENTS
JOB N°
I5923 I

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V001	DMA	21/09/20			
V005	DMA	09/10/20			
V006	DMA	23/10/20			

DETAILS



SUMMIT
HOMES GROUP

BUILD | RENOVATE | DEVELOP

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

- SHADING DENOTES EXTENT OF TILING
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES
- ALL WINDOW SILLS IN WET AREAS TO BE TILED

REFER TO ADDENDUM FOR FITOUT SPECIFICATION

WET AREAS CONSTRUCTED IN ACCORDANCE WITH
PART 3.8.1 OF B.C.A. (VOL 2)



BUILDER:	/	/
CLIENT(S):	/	/
	/	/
WITNESS:	/	/

BUILT AROUND PEOPLE

159231

ROOM LAYOUTS



HOMES GROUP

BUILD | RENOVATE | DEVELOP

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BENCHTOP NOTE

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

WALL FINISH NOTE

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

CABINETMAKER NOTE

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

TILER NOTE

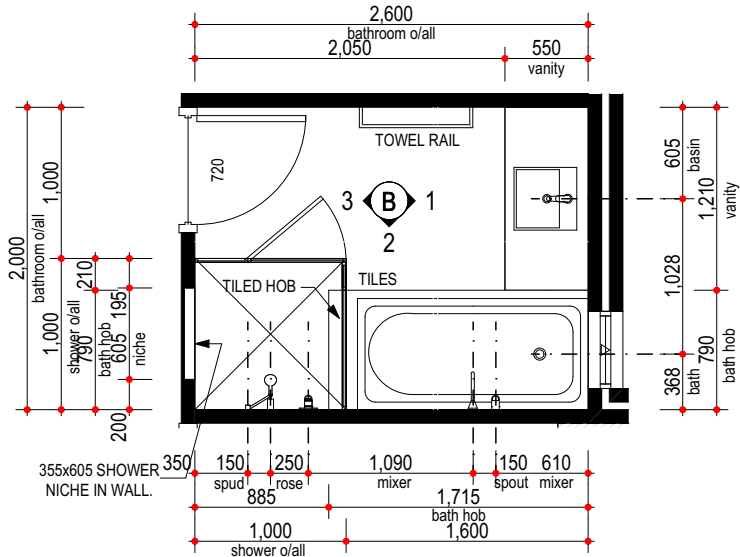
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- ALL WINDOW SILLS IN WET AREAS TO BE TILED

DO NOT SCALE FROM THIS DRAWING

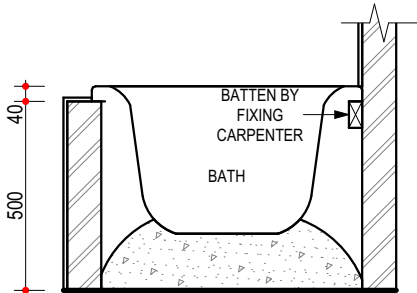
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WET AREAS CONSTRUCTED IN ACCORDANCE WITH PART 3.8.1 OF B.C.A. (VOL 2)

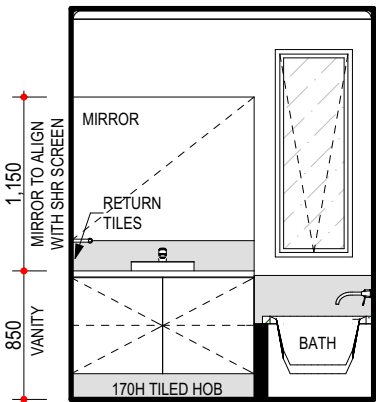


BATH PLAN

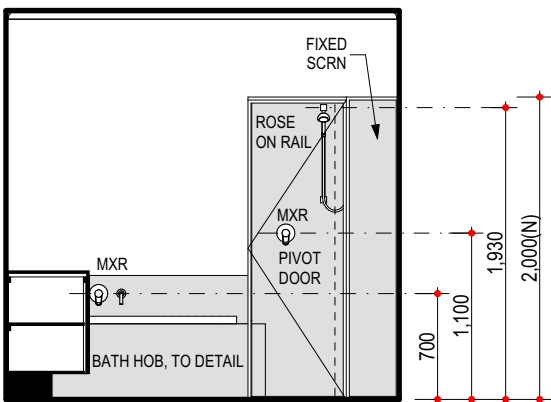


TYPICAL BATH HOB SECTION

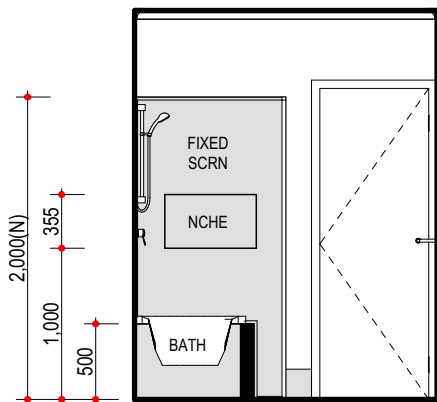
- SCALE 1 : 20



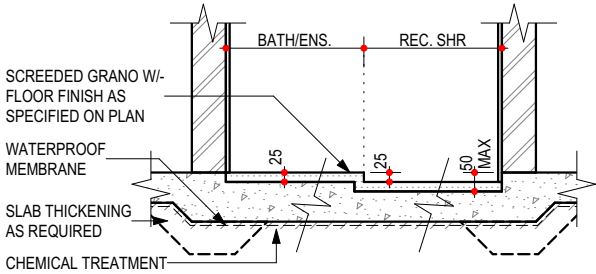
B1 VIEW



B2 VIEW



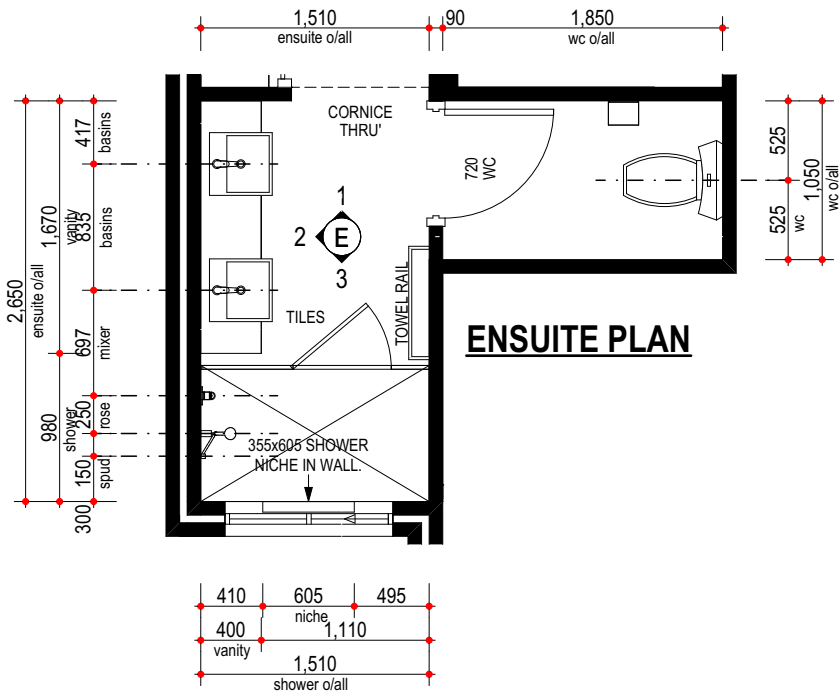
B3 VIEW



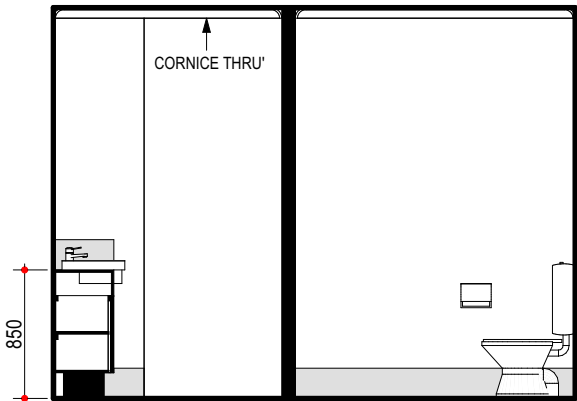
RECESSED SHOWER DETAIL (NO HOB)

NOTES:

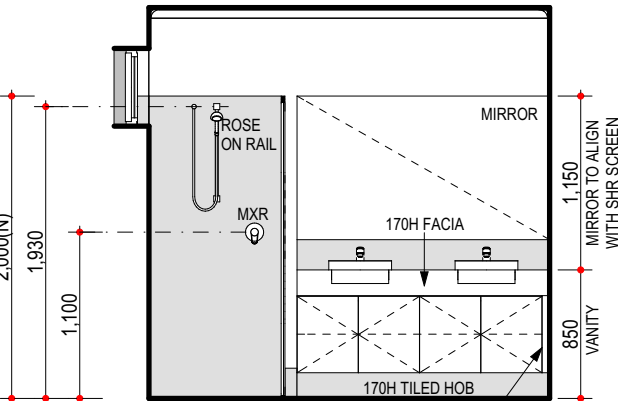
- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- SCALE 1 : 20



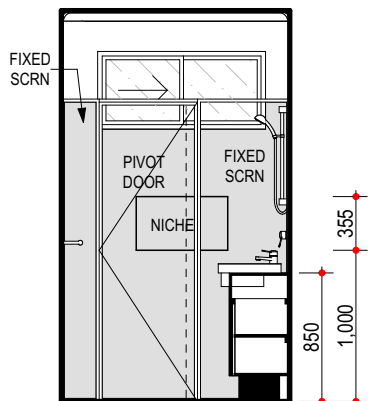
ENSUITE PLAN



E1 VIEW



E2 VIEW



E3 VIEW

WITNESS:	CLIENT(S):	BUILDER:
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

PROPOSED RESIDENCE FOR:
REZVANDEH / HEKMAT

ADDRESS:
SSL2 (#19B) THOMAS WAY
KARDINYA

DRAWN: DMA
DESIGNED: RC
CHECKED: DMA
DATE: 19/06/20
MODEL: SPECIAL

SCALE: 1:50
SHEET: 9 OF 10
SIZE: A3
DEVELOPMENTS
JOB N° 159231

Issue Name	Drawn	Date
V001	DMA	21/09/20
V005	DMA	09/10/20
V006	DMA	23/10/20

ROOM LAYOUTS

























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ELECTRICAL LEGEND

Ground Floor

Qty	Sym.	Description	Watts	Insulation Penetrations
7		EXTERNAL WALL LIGHT @ 2100 AFL (WIRING ONLY - CLIENT TO INSTALL LIGHT LATER) Perimeter Lighting	77*	*
1		CEILING LIGHT (11w) Class 10	11*	*
1		RECESSED LED DOWN-LIGHT (7w) Class 1 Veranda	7*	*
5		RECESSED LED DOWN-LIGHT (7w)	35	
12		PLUG BASE	0	
2		H.WIRED SMOKE DETECTOR	0	
4		EXHAUST FAN	0	0.181
1		CEILING LIGHT (11w)	11	
1	2 WAY	2 WAY SWITCH	0	
1		W/P SGPO INSTALLED IN HWU	0	
1		SINGLE GPO IN/ON CEILING	0	
1		SINGLE GPO FOR R/H (REFER TO PLAN FOR R/H TYPE)	0	
5		SINGLE GPO @ NOTED HT	0	
1		NBN LEAD IN CONDUIT (25mm) W/- BLANK FACE PLATE AT 1500 AFL	0	
1		DOUBLE WATER PROOF GPO	0	
9		DOUBLE GPO @ NOTED HT	0	
15		DOUBLE GPO @ 200 AFL	0	
1		DOUBLE GPO @ 1500 AFL W/ 20mm CONDUIT FOR PSU CONNECTION	0	
1		CONDUIT FOR NBN (25mm)	0	
2		CONDUIT 20mm	0	
2		CONDUIT (32mm)	0	
1		D2 (2x DATA/PHONE) FOR NBN PROVISION @ 1500 AFL	0	
2		C1 (TV) + D2 (PH/DATA)	0	

* NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. Subtotal: 46 0.181
PERIMETER LIGHTING MIN. 40 LUMENS/W.
Total Class 1 Wattage= 46

Wattage Calculations (Class 1)

Story Name	Area	Allowed Wattage	Actual Wattage
0 Ground Floor	148.32 Sqm	742 w	46 w
	148.32 sqm	742 w	46 w

PASS

Recessed Fitting Penetrations (Class 1)

Story Name	Area	Maximum Penetrations	Actual Penetrations
Total Insulation Area Vents\RangeHoods	148.32 sqm	0.742 sqm	0.181 sqm
	148.32 sqm	0.742 sqm	0.078 Sqm

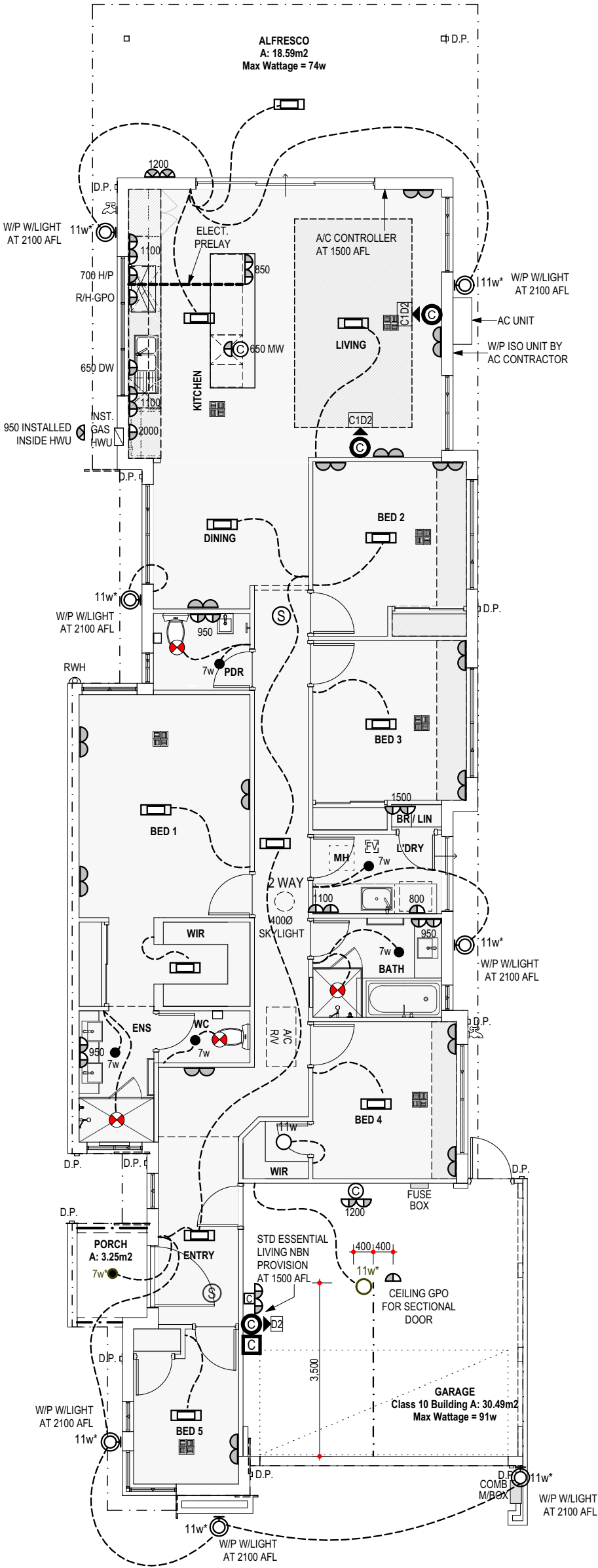
0.17 % R4.0 Insulation Adjustment Not Required
PASS

CLIENT NOTE: MAX WATTAGE AND PENETRATIONS MUST NOT BE EXCEEDED

LIGHT AND VENTILATION CALC.

Room Name	Opn %	Light	Vent.
6 BED 5			
Min. Ventilation = 0.45 Min. Light= 0.60 Total Area= 6.01			
W17 Awning	52 %	1.31 m2	0.68 m2
W16 Fixed	0 %	1.93 m2	0.00 m2
W15 Awning	45 %	2.34 m2	1.05 m2
Totals		Light 5.57 m2	Vent 1.73 m2
5 BED 4			
Min. Ventilation = 0.69 Min. Light= 0.92 Total Area= 9.19			
W14 Sliding	22 %	3.41 m2	0.76 m2
Totals		Light 3.41 m2	Vent 0.76 m2
4 BED 3			
Min. Ventilation = 0.75 Min. Light= 1.00 Total Area= 9.98			
W11 Sliding	22 %	3.41 m2	0.76 m2
Totals		Light 3.41 m2	Vent 0.76 m2
3 BED 2			
Min. Ventilation = 0.75 Min. Light= 1.00 Total Area= 9.96			
W10 Sliding	22 %	3.41 m2	0.76 m2
Totals		Light 3.41 m2	Vent 0.76 m2
2 BED 1			
Min. Ventilation = 1.52 Min. Light= 2.03 Total Area= 20.28			
W03 Awning	72 %	2.38 m2	1.71 m2
Totals		Light 2.38 m2	Vent 1.71 m2
1 LIVING KITCHEN DINING			
Min. Ventilation = 3.24 Min. Light= 4.32 Total Area= 43.21			
W09 Sliding	37 %	3.49 m2	1.29 m2
W08 Sliding	37 %	3.49 m2	1.29 m2
W07 Sliding Door	33 %	8.35 m2	2.78 m2
W06 Fixed	0 %	1.93 m2	0.00 m2
W05 Sliding	37 %	4.65 m2	1.72 m2
Totals		Light 21.92 m2	Vent 7.10 m2

Inputs for Airmovement and Light are Valid



DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO AS3786-2014
- FINAL POSITION OF ELECTRICAL ITEMS SUCH AS GPO'S, LIGHT SWITCHES ETC. MAY VARY ON SITE DUE TO ELECTRICAL REGULATIONS. LIGHT SWITCH HEIGHT TO BE AT 1200 AFL U.N.O.
- NEUTRAL CABLING REQUIRED TO ALL LIGHT SWITCHES.
- ALL EXHAUST FANS TO BE FLUED TO EXTERNAL AIR

AIRCON NOTE

- PROVIDE REVERSE CYCLE AIR CONDITIONING. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

TV ANTENNA NOTE

- PROVIDE TV ANTENNA AS PER ADDENDA

PROPOSED RESIDENCE FOR:
REZVANDEH / HEKMAT

ADDRESS:
SSL2 (#19B) THOMAS WAY
KARDINYA

DRAWN: DMA
DESIGNED: RC
CHECKED: DMA
DATE: 19/06/20
MODEL: SPECIAL

SCALE: 1:100
SHEET: 10 OF 10
SIZE: A3
DEVELOPMENTS
JOB N° 15923 I

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V001	DMA	21/09/20			
V005	DMA	09/10/20			
V006	DMA	23/10/20			

ELECTRICAL PLAN



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