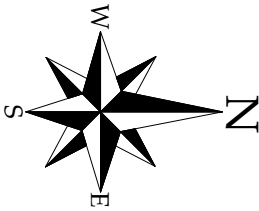


SURVEY STRATA LOT 1

Latitude: 31°52'22"5S Longitude 115°47'37"1E



**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**DISCLAIMER:**  
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

**WARNING:**  
Check developer/strata company regarding possible future/existing internal service run ins, positions & details. Check for possible private sewer lines & position & details of connection to strata lot. Beware possible building restrictions on strata lot by management statement or by-laws. If strata boundaries not defined on plan only parent lot may be re-pegged and line pegs placed.

|                              |
|------------------------------|
| SURVEY STRATA LOT 1 MISCLOSE |
| 0.006 m                      |
| SURVEY STRATA LOT 2 MISCLOSE |
| 0.000 m                      |
| SOIL DESCRIPTION             |
| Sand                         |
| Light Grass Cover            |



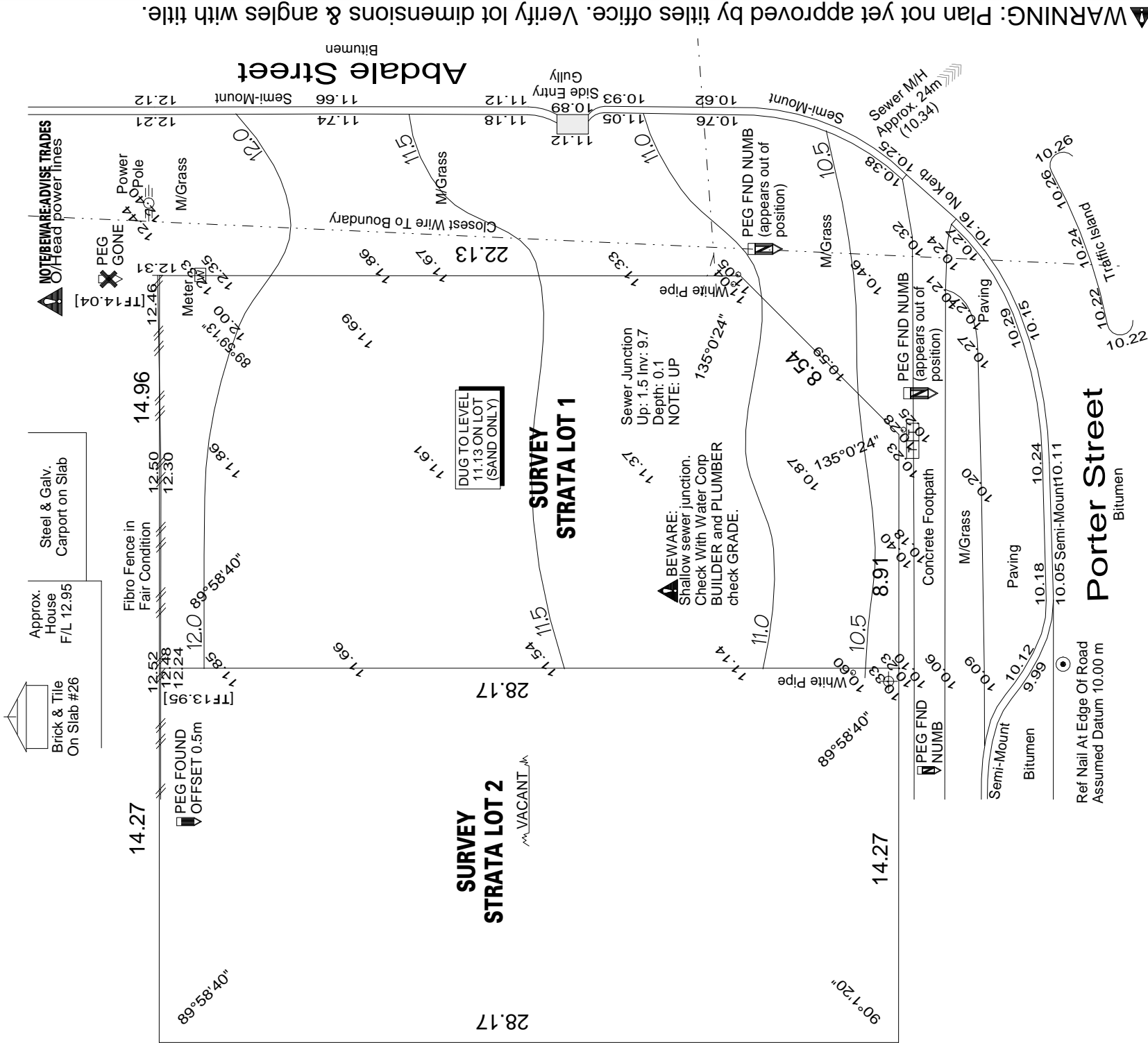
Scale 1:200

0 2 4 6 8

Scale 1:200 Date: 15 May 19

SURVEY STRATA LOT 1

Latitude: 31°52'22"5S Longitude 115°47'37"1E



▲WARNING: Plan not yet approved by titles office. Verify lot dimensions & angles with title.

| LEGEND        |
|---------------|
| SEC Dome      |
| Power Pole    |
| Phone Pits    |
| Water Conn.   |
| TP 10.00      |
| TR 10.00      |
| Top Wall      |
| Top Retaining |
| Top Fence     |

NOTE: BEWARE ADVISE TRADES  
O/Head power lines

Approx. House F/L 12.95  
Brick & Tile On Slab #26

Steel & Galv. Carport on Slab

CLIENT :

CONTRACT / JOB NO.

Rebeiro

MAP REF

SITE SURVEY

311-18167

SURVEY STRATA LOT 1

Original Lot 51 on Plan 9119

COASTAL NO

OLD AREA

Suburb

Gwelup

Loc.Auth.

CITY OF STIRLING

Survey

Strata Plan 80068

Volume

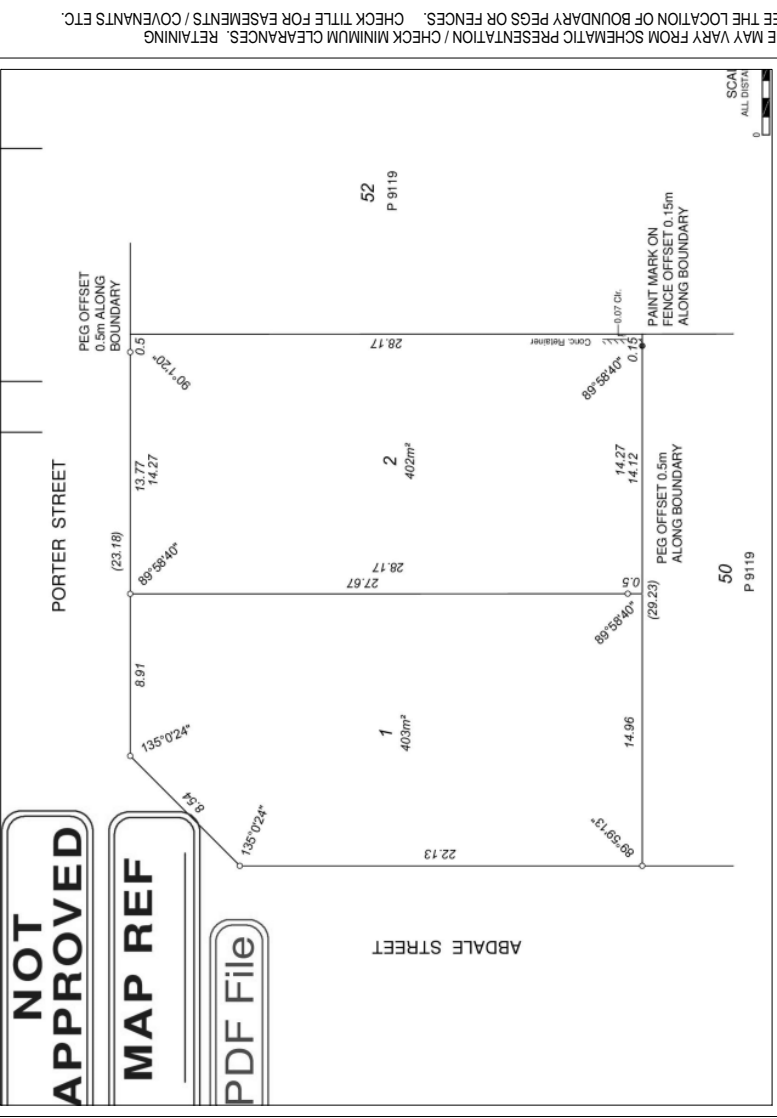
Folio

Location

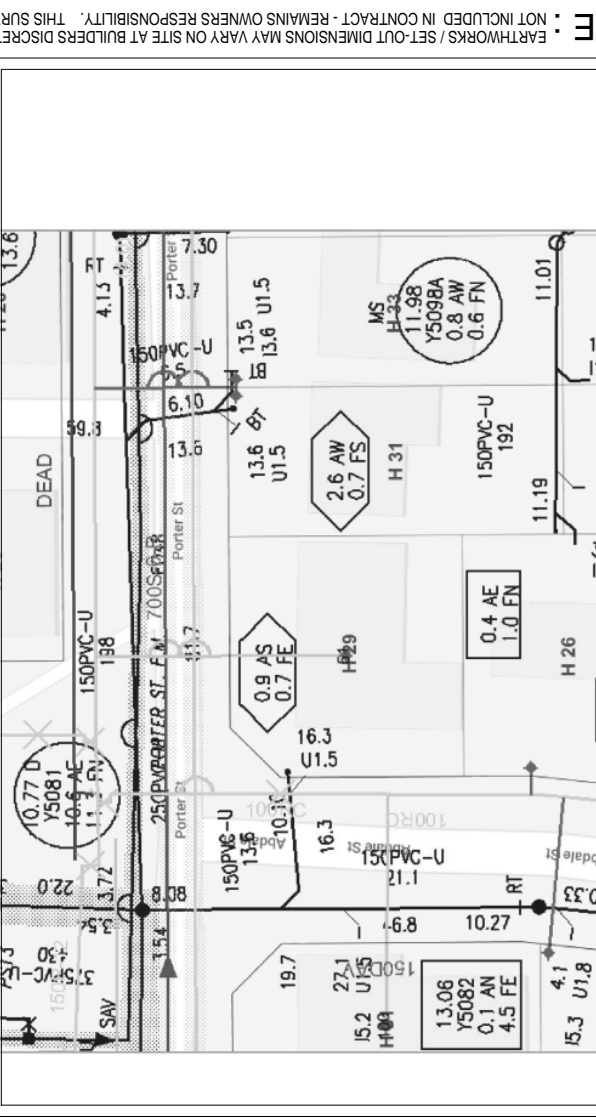
Check Title

WARNING :

PLAN/DIAGRAM NOT YET APPROVED BY TITLES OFFICE. VERIFY LOT DIMENSIONS & ANGLES WITH TITLE.



|       |                            |              |                  |            |      |          |
|-------|----------------------------|--------------|------------------|------------|------|----------|
| Elec. | U/Ground, O/Head           | Water        | Sewer            | (See Note) | Yes  | Yes      |
| Gas   | Check Your Lot With Alinta | Phone Comms. | Yes              | (See Note) | Yes  | Concrete |
| Road  | Bitumen                    | Kerb         | Semi-Mount / Nil | Drainage   | Good |          |



COTTAGE & ENGINEERING SURVEYS

87-89 Guthrie Street, Osborne Park, Western Australia  
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998  
Email: perth@cottage.com.au Website: www.cottage.com.au

©

J/N: 453642

Drawn: F.Croasdale

BLEND RESIDENTIAL DESIGNS

10 OF 13

13

0802

PROJECT NAME

ORIGINAL SITE PLAN

CLIENT

DATE

OWNER

DATE

OWNER

DATE

DESIGNER

DATE

NOTE TO SCALE ON A3 SHEET

Scale 1:200

**NOTE:**  
Changes to the City of Stirling Street & Reserve Trees Policy require minimum setbacks to all crossovers dependant on the Diameter At Breast Height (DBH) of any verge trees. Cottage & Engineering Surveys recommends contacting City of Stirling to verify any verge tree details with their tree audit database before any design work is undertaken.

CLIENT :

Rebeiro

CONTRACT / JOB NO.

311-18/67

SITE SURVEY

SURVEY STRATA LOT 1  
Original Lot 51 on Plan 9119

COASTAL NO

311-18/67

Suburb

Gwelup

Loc.Auth.

CITY OF STIRLING

Survey

Strata Plan 80068

Volume

Folio

Location

Check Title

|                              |
|------------------------------|
| SURVEY STRATA LOT 1 MISCLOSE |
| 0.006 m                      |
| SURVEY STRATA LOT 2 MISCLOSE |
| 0.000 m                      |
| SOIL DESCRIPTION             |
| Sand                         |
| Light Grass Cover            |

**DISCLAIMER:**  
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

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**WARNING:**  
Check developer/strata company regarding possible future/existing internal service run ins, positions & details. Check for possible private sewer lines & position & details of connection to strata lot. Beware possible building restrictions on strata lot by management statement or by-laws. If strata boundaries not defined on plan only parent lot may be re-pegged and line pegs placed.

**NOTE:**  
Changes to the City Of Stirling Street & Reserve Trees Policy require minimum setbacks to all crossovers dependant on the Diameter At Breast Height (DBH) of any verge trees. Cottage & Engineering Surveys recommends contacting City Of Stirling to verify any verge tree details with their tree audit database before any design work is undertaken.

RE-PEG RECOMMENDED PRIOR TO ANY NEW WORKS

POSSIBLE UNDERMINING TO EXISTING RETAINING / SCREEN WALLS / FENCES TO BE REVIEWED BY ENGINEER

REFER TO ENGINEERS DRAWINGS FOR STRUCTURAL DETAILS & LAYOUT

RETAINING WALL NOTE: HEIGHTS NOTED ARE NOMINAL ONLY & MUST BE ADJUSTED TO SUIT ACTUAL SITE LEVELS

BANKING NOTE: SOIL RETENTION TO ALL EMBANKMENTS IS BY OWNER IN ACCORDANCE WITH NCC TABLE 3.1.1.1

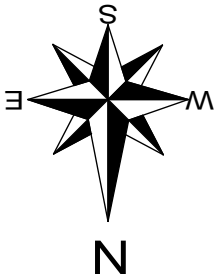
TERMITE TREATMENT IS TO BE IN ACCORDANCE WITH THE NNC & AS 3660.1. ONGOING ANNUAL INSPECTIONS ARE THE RESPONSIBILITY OF THE OWNER

STORMWATER DISPOSAL TO COUNCIL REQUIREMENTS (SOAKWELLS)

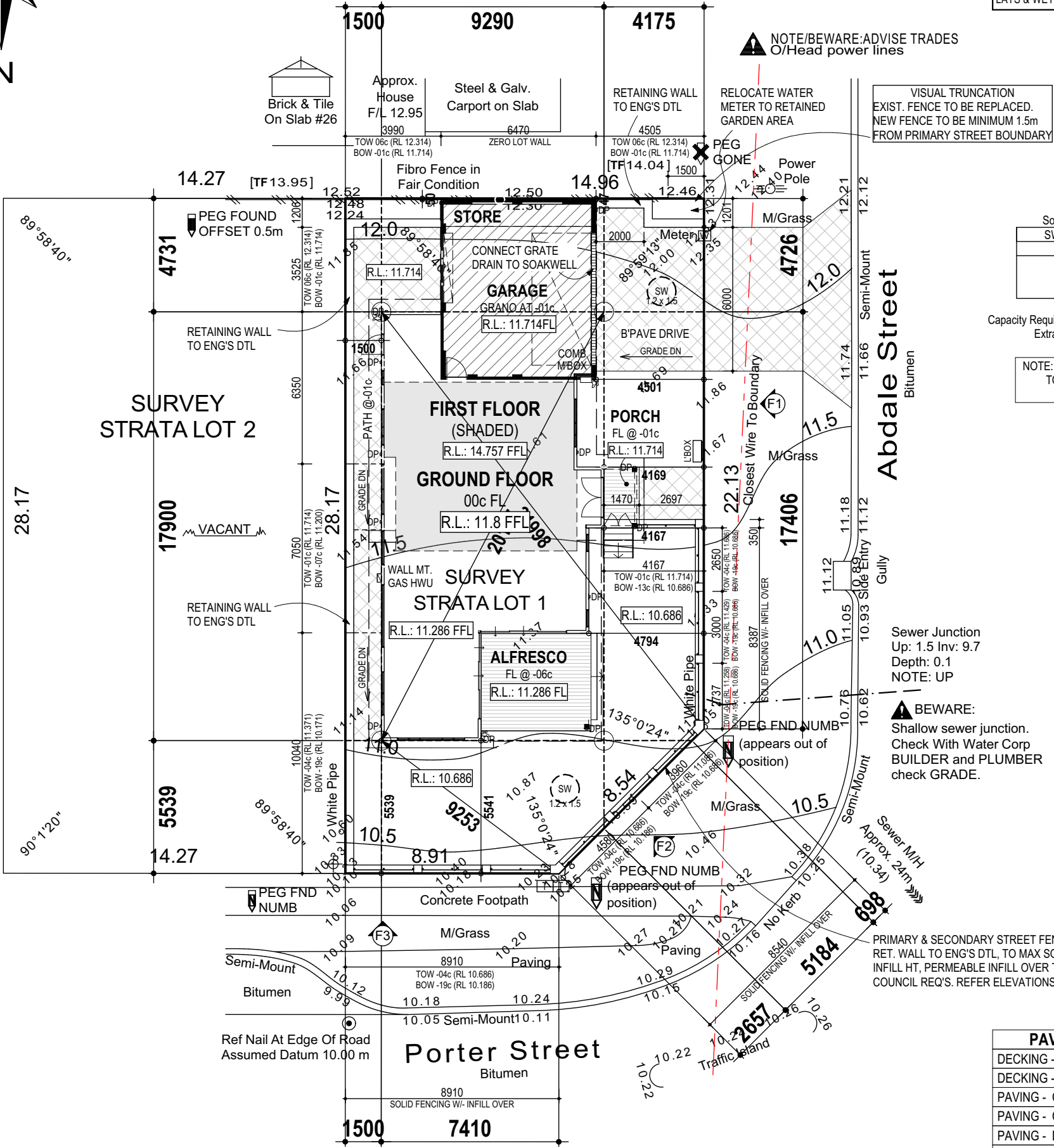
PLUMBER NOTE: REFLUX VALVE TO INTERNAL SEWER LINE

REFER TO SLAB SETOUT PLAN FOR SLAB, PRE-LAYS & WET AREA SETOUT

|                  |                      |
|------------------|----------------------|
| SITE COVERAGE    |                      |
| ZONED            | R25                  |
| % ALLOWED        | 50%                  |
| SITE AREA        | 403.10m <sup>2</sup> |
| SITE COV. AREA   | 165.75m <sup>2</sup> |
| SITE COV. =41.1% |                      |



Latitude: 31°52'22"SS Longitude 115°47'37"E



| Soak Well Type                    | No. |                      |
|-----------------------------------|-----|----------------------|
| SW 1200x1500                      | 2   | 3.4 m <sup>3</sup>   |
| Total Capacity                    |     | 3.4 m <sup>3</sup>   |
| Roof Area GF                      |     | 143.0 m <sup>2</sup> |
| Paved Area                        |     | 52.7 m <sup>2</sup>  |
| Roof Area UF                      |     | 75.5 m <sup>2</sup>  |
| Total Area                        |     | 271.2 m <sup>2</sup> |
| Capacity Required (Area x 0.0125) |     | 3.4 m <sup>3</sup>   |
| Extra Capacity Provided           |     | 0.0 m <sup>3</sup>   |

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE



Scale 1:200  
0 2 4 6 8

Scale 1:200 Date: 15 May 19

**WARNING:** Plan not yet approved by titles office. Verify lot dimensions & angles with title.

**NOTE:** EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES. RETAINING NOT INCLUDED IN CONTRACT - REMAINS OWNERS RESPONSIBILITY. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. CHECK TITLE FOR EASEMENTS / COVENANTS ETC.

COTTAGE & ENGINEERING SURVEYS

Licensed Surveyors

87-89 Guthrie Street, Osborne Park, Western Australia  
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998  
Email : perth@cottage.com.au Website: www.cottage.com.au  
J/No: 453642 Drawn: F.Croasdale

|  |   |   |
|--|---|---|
| (See Note)   | (See Note)  | (See Note)  |
| Elec. <input checked="" type="checkbox"/> U/Ground, O/Head   | Water <input checked="" type="checkbox"/> Yes             | Sewer <input checked="" type="checkbox"/> Yes         |
| (See Note)   | (See Note)  | (See Note)  |
| Gas <input checked="" type="checkbox"/> Your Lot With Alinta | Phone <input checked="" type="checkbox"/> Yes             | Footpath <input checked="" type="checkbox"/> Concrete |
| Call 13 13 58  | Comms. <input checked="" type="checkbox"/> Yes            | Drainage <input checked="" type="checkbox"/> Good     |
| Road <input checked="" type="checkbox"/> Bitumen             | Kerb <input checked="" type="checkbox"/> Semi-Mount / Nil |   |

|               |                                     |
|---------------|-------------------------------------|
| SEC Dome      | <input checked="" type="checkbox"/> |
| Power Pole    | <input checked="" type="checkbox"/> |
| Phone Pits    | <input checked="" type="checkbox"/> |
| Water Conn.   | <input checked="" type="checkbox"/> |
| Top Wall/Post | <input checked="" type="checkbox"/> |
| Top Retaining | <input checked="" type="checkbox"/> |
| Top Fence     | <input checked="" type="checkbox"/> |



The contractor / builder is responsible for setting out and checking all levels and measurements on site. All dimensions are to be checked and verified by the owner / builder and any discrepancies in this document must be resolved before ordering or commencement of any works.

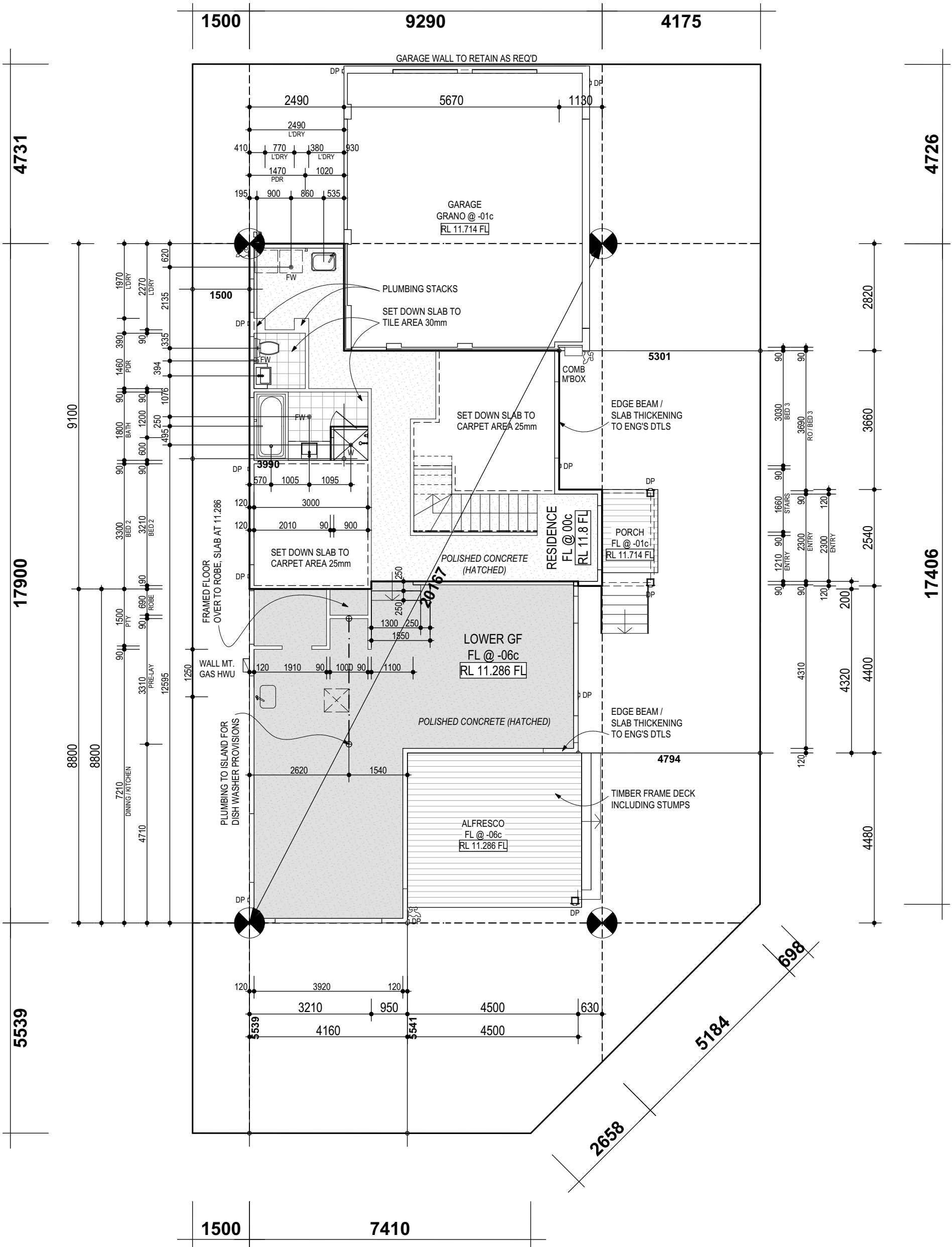
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W: www.blenddesigns.com.au A: 37 Willcock St, Ardross WA

|                 |            |                                   |              |
|-----------------|------------|-----------------------------------|--------------|
| DRAWING NAME:   | SHEET No:  | REVISION:                         | JOB No:      |
| SITE PLAN       | 2 OF 13    | 13                                | 0502         |
| OWNER .....     | DATE ..... | CLIENT: Rebeiro & Richards        |              |
| OWNER .....     | DATE ..... | ADDRESS: 27 Porter Street, Gwelup |              |
| DESIGNER .....  | DATE ..... | City of Stirling                  |              |
| DRAWN BY: BLEND |            | DATE DRAWN: NOV 2019              | SCALE: 1:200 |

NOTE: TO SCALE ON A3 SHEET





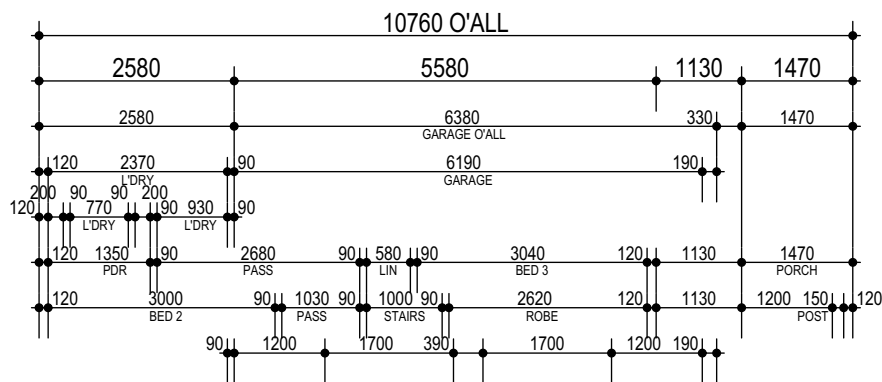
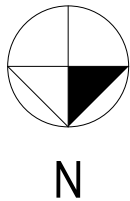
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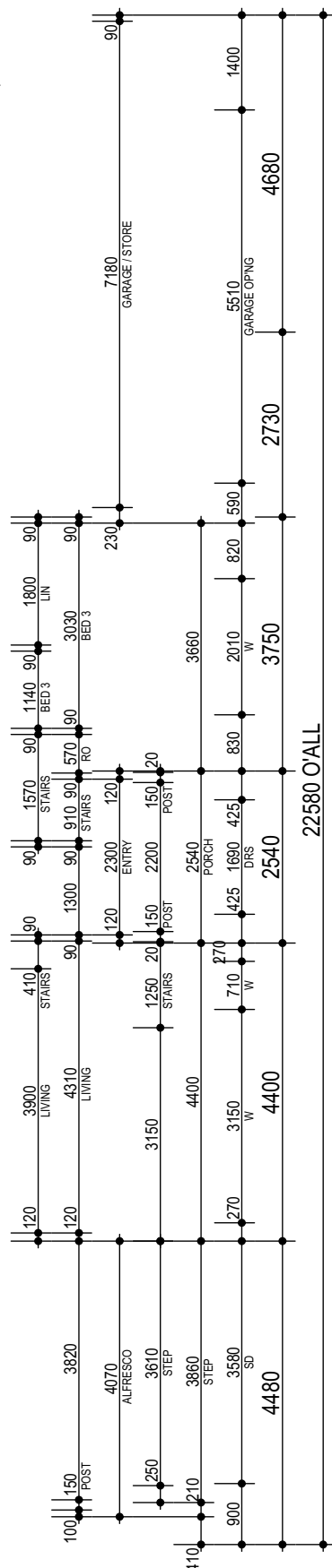
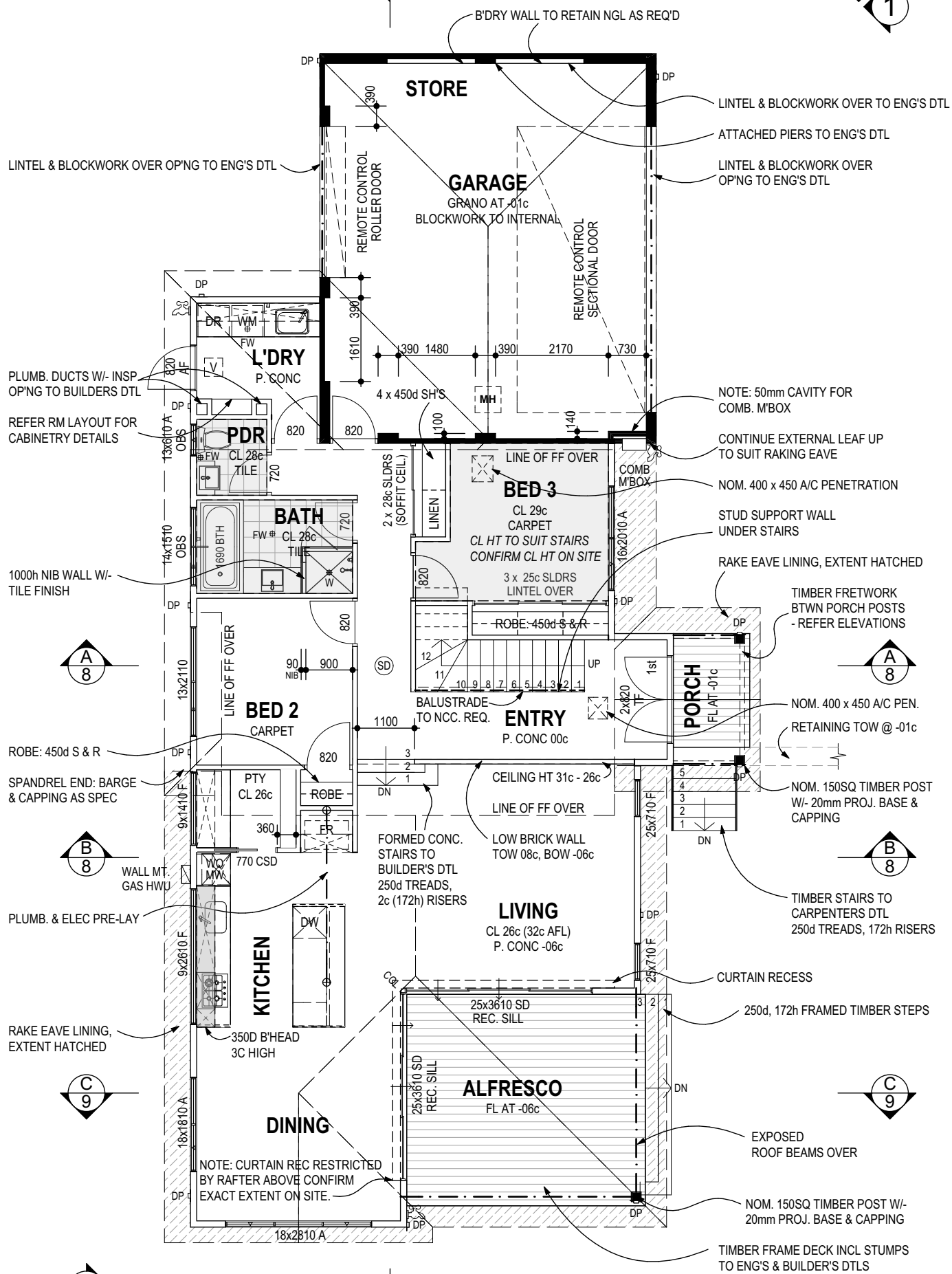
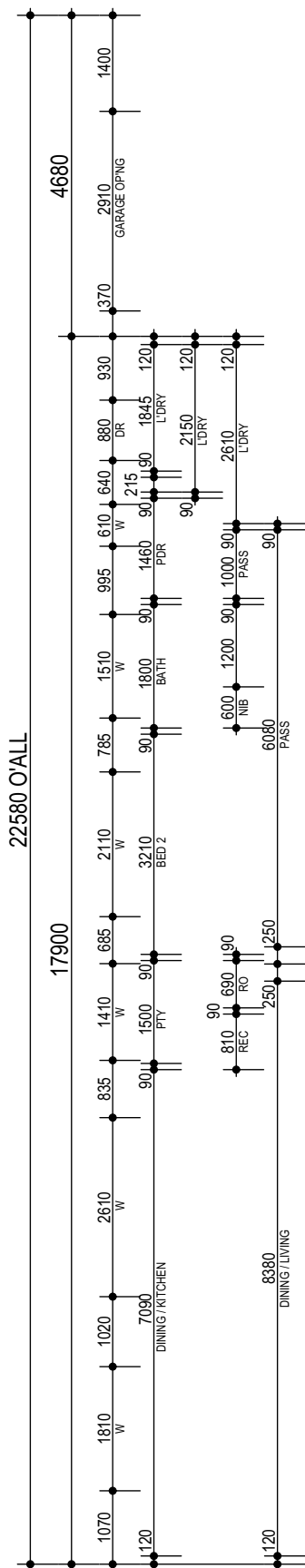
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W: www.blenddesigns.com.au A: 37 Willcock St, Ardross WA

|                |             |   |         |             |          |         |                            |
|----------------|-------------|---|---------|-------------|----------|---------|----------------------------|
| DRAWING NAME:  | SETOUT PLAN | SHEET No:   | 3 OF 13 | REVISION:   | 13       | JOB No: | 0502                       |
| OWNER .....    | DATE .....  | CLIENT:<br>Rebeiro & Richards<br>ADDRESS:<br>27 Porter Street, Gwelup<br>City Of Stirling |         |             |          |         |                            |
| OWNER .....    | DATE .....  | DRAWN BY:   | BLEND   | DATE DRAWN: | NOV 2019 | SCALE:  | 1:100                      |
| DESIGNER ..... | DATE .....  |   |         |             |          |         | NOTE: TO SCALE ON A3 SHEET |

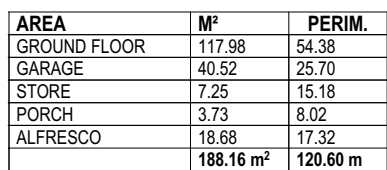
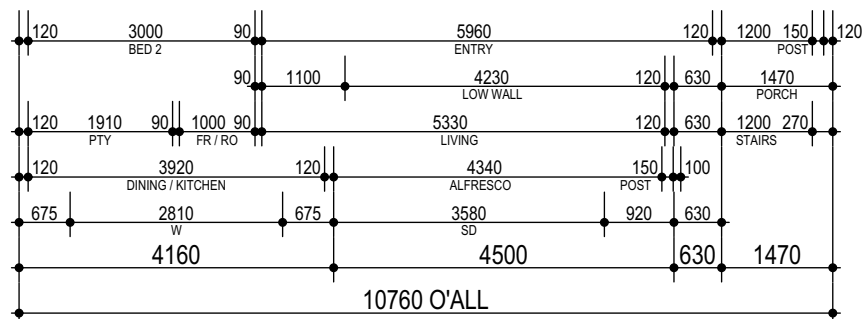
- ALL ROOF BEAMS SHOWN DIAGRAMMATIC ONLY
- CONVENTIONAL TIMBER FRAMED ROOF IN ACCORDANCE WITH AS 1684
- STRUCTURAL STEEL IN ACCORDANCE WITH NCC 3.4.4
- LVLs IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS



CEILINGS TO GROUND FLOOR @ 31c  
UNLESS NOTED OTHERWISE



- GARAGE WALLS CONSIST OF CONCRETE BLOCKWORK.
- RESIDENCE EXTERNAL WALLS CONSIST OF 120 WIDE STUD FRAME CONST., U.N.O. 120 IS MADE UP OF 90mm STUD AND 30mm BATTEN.
- RESIDENCE INTERNAL WALLS CONSIST OF 90 WIDE STUD FRAME CONST., U.N.O.
- ALL DIMENSIONS INDICATED ON PLANS ARE TO WALL SYSTEM ONLY. ROOM & OPENING SIZE WILL BE REDUCED WITH WALL FINISH.
- DOWNPIPE POSITION AT PLUMBERS DISCRETION. FINAL POSITION MAY VARY TO PLAN.
- R 4.1 INSULATION BATTS TO HOUSE & GARAGE AREA ONLY.



| AREA        | M <sup>2</sup>       | PERIM.  |
|-------------|----------------------|---------|
| FIRST FLOOR | 55.10                | 30.40   |
|             | 55.10 m <sup>2</sup> | 30.40 m |



E: [info@blenddesigns.com.au](mailto:info@blenddesigns.com.au)  
A: 37 Willcock St, Ardross WA

GF FLOOR PLAN

OWNER .....

OWNER .....

DESIGNER .....

4 OF 13

13

0502

CLIENT:  
Rebeiro & Richards  
ADDRESS:  
27 Porter Street, Gwelup  
City Of Stirling

DRAWN BY:

DATE DRAWN:

SCALE:

NOTE: TO SCALE ON A3 SHEET

**SMOKE ALARM DEVICES SHALL BE INSTALLED TO:**

- COMPLY WITH AS 3786-2014 SMOKE ALARMS
- BE CONNECTED TO THE CONSUMER MAINS (HARDWIRED), INTERCONNECTED & HAVE A STAND-BY POWER SUPPLY

LOCATIONS OF THE SMOKE ALARM DEVICE/S SHALL BE SHOWN ON THE PLANS

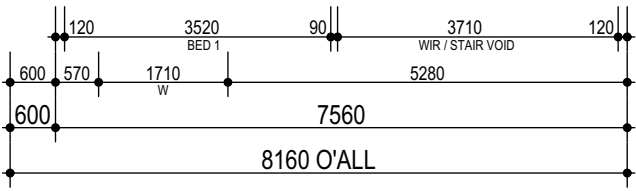
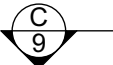
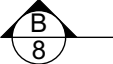
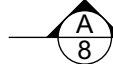
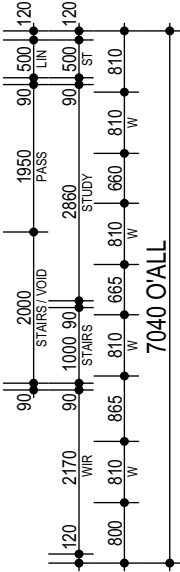
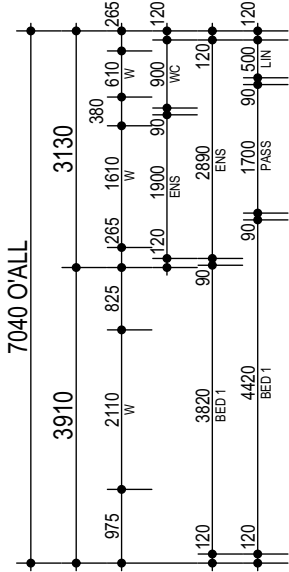
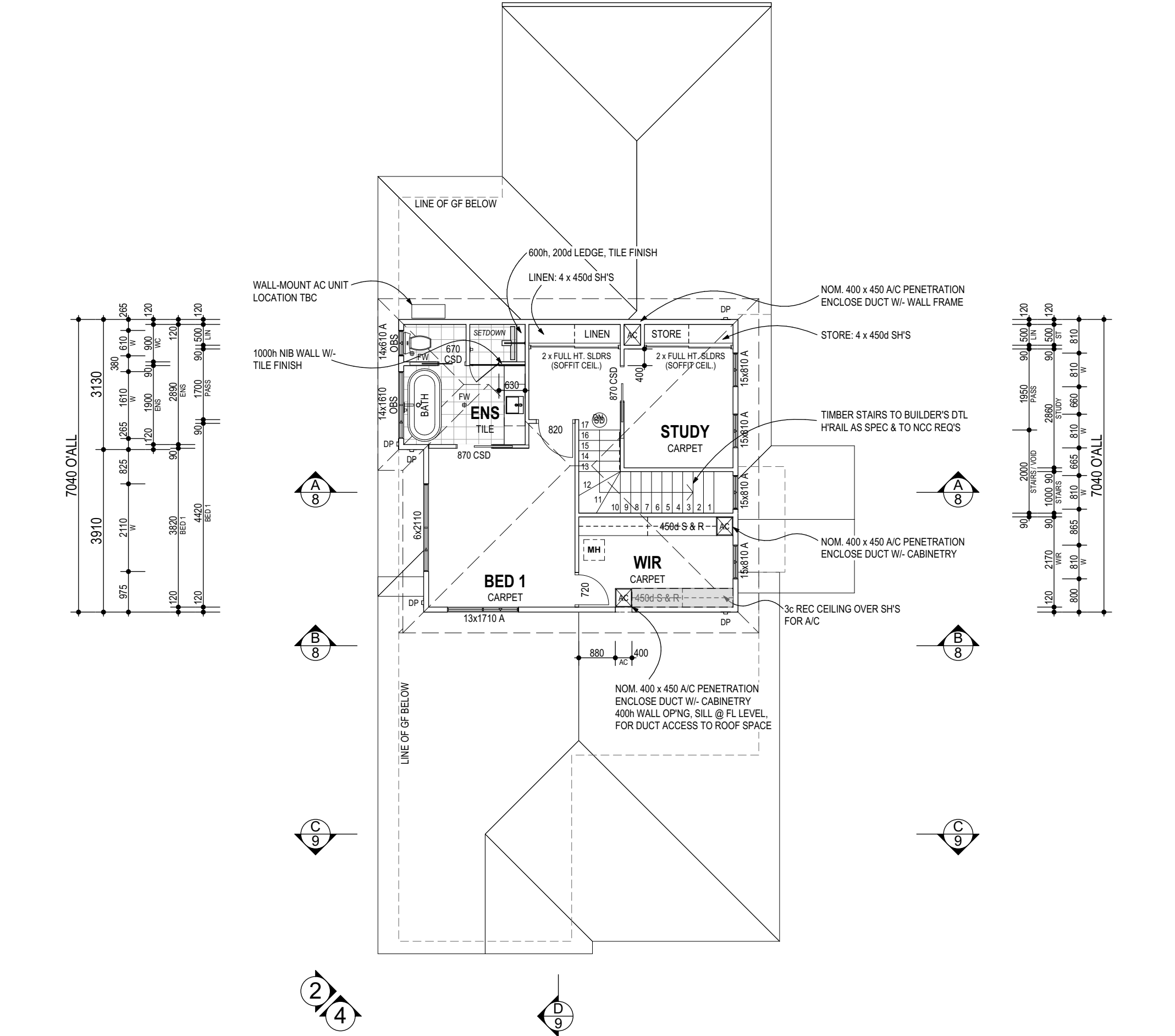
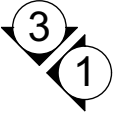
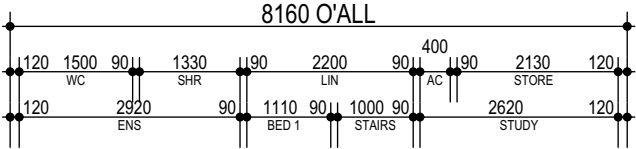
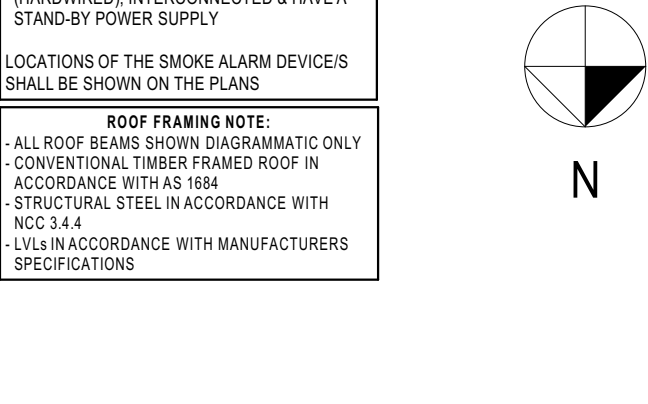
**ROOF FRAMING NOTE:**

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- CONVENTIONAL TIMBER FRAMED ROOF IN ACCORDANCE WITH AS 1684
- STRUCTURAL STEEL IN ACCORDANCE WITH NCC 3.4.4
- LVLs IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

THIS DESIGN MAY BE SUBJECT TO FURTHER CHANGES DUE TO ADDITIONAL REQUIREMENTS IMPOSED BY LOCAL AUTHORITIES

REFER TO ENGINEERS DRAWINGS FOR STRUCTURAL DETAILS & LAYOUT

CEILING TO FIRST FLOOR @ 28c AFL UNLESS NOTED OTHERWISE



**NOTES:**

- GARAGE WALLS CONSIST OF CONCRETE BLOCKWORK.
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- RESIDENCE INTERNAL WALLS CONSIST OF 90 WIDE STUD FRAME CONST., U.N.O.
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- DOWNSPIPE POSITION AT PLUMBERS DISCRETION FINAL POSITION MAY VARY TO PLAN.
- R 4.1 INSULATION BATTS TO HOUSE & GARAGE AREA ONLY.

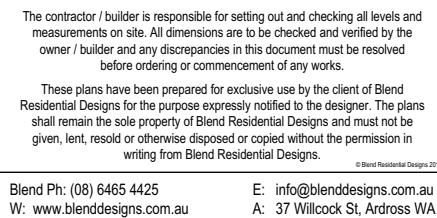
| AREA         | M²        | PERIM.   |
|--------------|-----------|----------|
| GROUND FLOOR | 117.98    | 54.38    |
| GARAGE       | 40.52     | 25.70    |
| STORE        | 7.25      | 15.18    |
| PORCH        | 3.73      | 8.02     |
| ALFRESCO     | 18.68     | 17.32    |
|              | 188.16 m² | 120.60 m |

| AREA        | M²       | PERIM.  |
|-------------|----------|---------|
| FIRST FLOOR | 55.10    | 30.40   |
|             | 55.10 m² | 30.40 m |



|   |                |               |   |           |         |           |    |         |      |                            |
|---|----------------|---------------|---|-----------|---------|-----------|----|---------|------|----------------------------|
| <div>The contractor / builder is responsible for setting out and checking all levels and measurements on site. All dimensions are to be checked and verified by the owner / builder and any discrepancies in this document must be resolved before ordering or commencement of any works.</div> <div>These plans have been prepared for exclusive use by the client of Blend Residential Designs for the purpose expressly notified to the designer. The plans shall remain the sole property of Blend Residential Designs and must not be given, lent, resold or otherwise disposed of or copied without the permission in writing from Blend Residential Designs.</div> <div>© Blend Residential Designs 2019</div> <div>Blend Ph: (08) 6465 4425<br/>W: www.blenddesigns.com.au</div> <div>E: info@blenddesigns.com.au<br/>A: 37 Willcock St, Ardross WA</div> | DRAWING NAME:  | FF FLOOR PLAN |   | SHEET No: | 5 OF 13 | REVISION: | 13 | JOB No: | 0502 | NOTE: TO SCALE ON A3 SHEET |
|   | OWNER .....    | DATE .....    | CLIENT:<br>Rebeiro & Richards<br>ADDRESS:<br>27 Porter Street, Gwelup<br>City Of Stirling |           |         |           |    |         |      |                            |
|   | OWNER .....    | DATE .....    | DRAWN BY:<br>BLEND<br>DATE DRAWN:<br>NOV 2019<br>SCALE:<br>1:100                          |           |         |           |    |         |      |                            |
|   | DESIGNER ..... | DATE .....    |   |           |         |           |    |         |      |                            |

WINDOW OPENINGS TO BE PROVIDED WITH  
SUITABLE PROTECTION AS PER NCC V2 3.9.2.5



ELEVATIONS 1 &amp; 2

DESIGNER ..... DATE .....

6 OF 13

13

0502

Rebeiro & Richards  
ADDRESS:  
27 Porter Street, Gwelup  
City Of Stirling

DATE DRAWN:

NOV 2019

NOV 2019

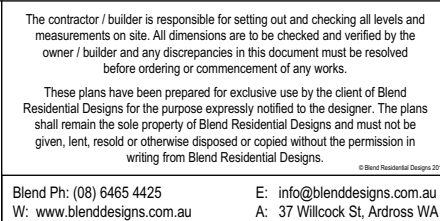
1:100

NOTE: TO SCALE ON A3 SHEET





WINDOW OPENINGS TO BE PROVIDED WITH  
SUITABLE PROTECTION AS PER NCC V2 3.9.2.5



ELEVATIONS 3 &amp; 4

7 OF 13

13

0502

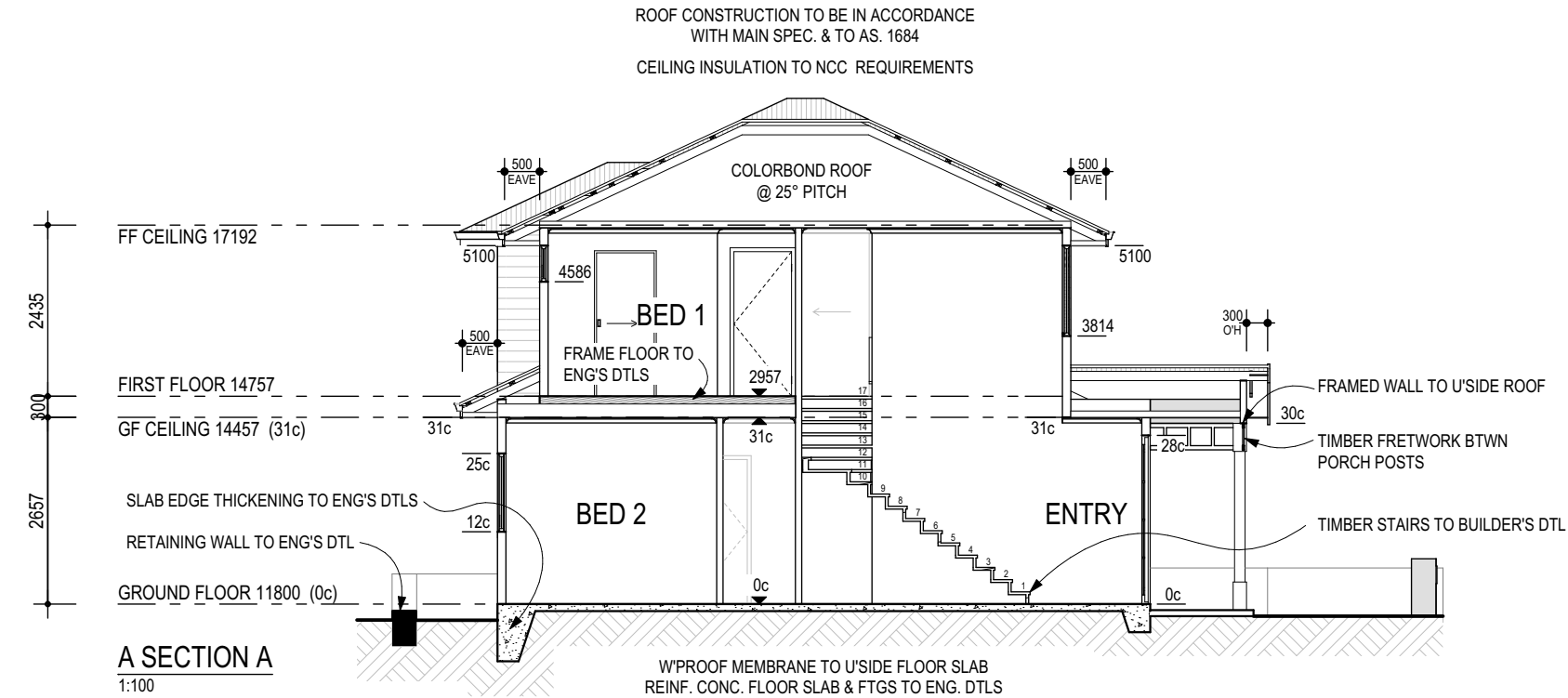
DATE DRAWN:

DATE DRAWN: \_\_\_\_\_

SCALE:

NOTE: TO SCALE ON A3 SHEET



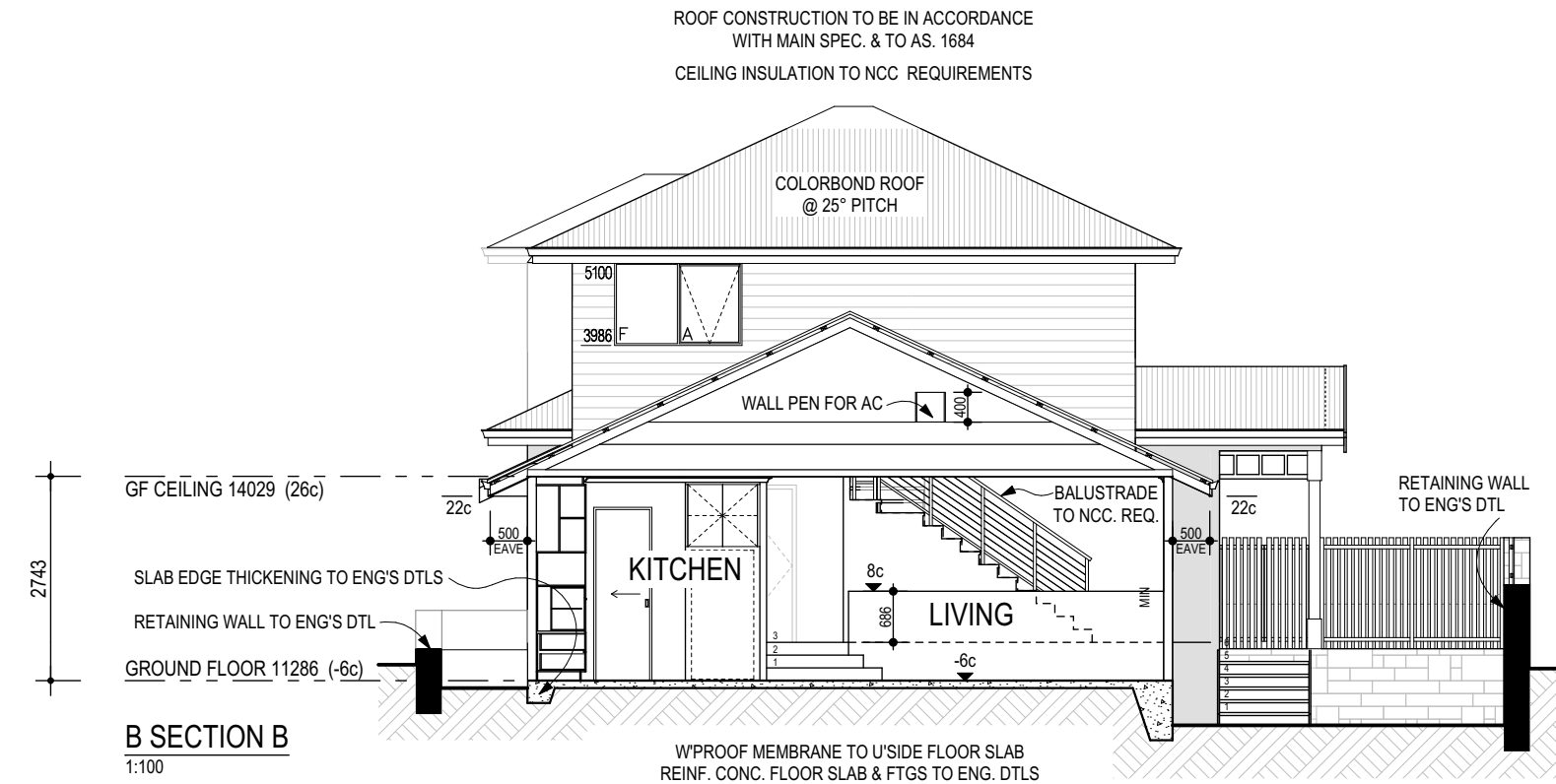


**STAIRS TO FIRST FLOOR NOTE**

FLOOR TO FLOOR HEIGHT: 2957

17 RISERS @ 174mm APPROX (R) PER RISE  
13 TREADS @ 250mm (G) PER TREAD

SLOPE RELATIONSHIP 2R + G  
2 (174) + 250 = 598 APPROX  
**IN ACCORDANCE W/ NCC 3.9.1**



**STAIRS - PORCH TO GARDEN - NOTE**

FLOOR TO FLOOR HEIGHT: 1029

6 RISERS @ 171.5mm APPROX (R) PER RISE  
5 TREADS @ 250mm (G) PER TREAD

SLOPE RELATIONSHIP 2R + G  
2 (171.5) + 250 = 593 APPROX  
**IN ACCORDANCE W/ NCC 3.9.1**

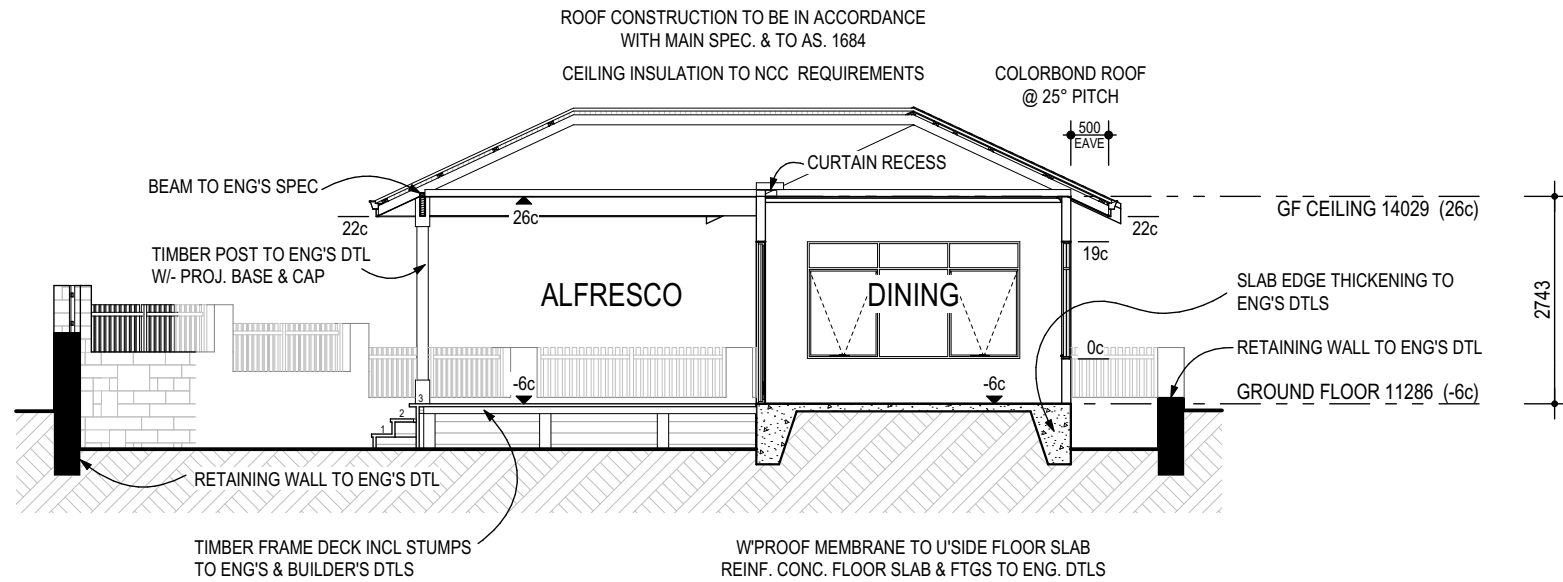
**STAIRS - ENTRY TO LIVING - NOTE**

FLOOR TO FLOOR HEIGHT: 514

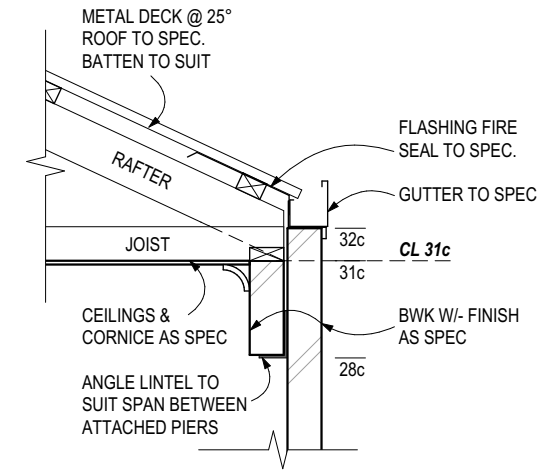
3 RISERS @ 171.3mm APPROX (R) PER RISE  
2 TREADS @ 250mm (G) PER TREAD

SLOPE RELATIONSHIP 2R + G  
2 (171.3) + 250 = 592.7 APPROX  
**IN ACCORDANCE W/ NCC 3.9.1**

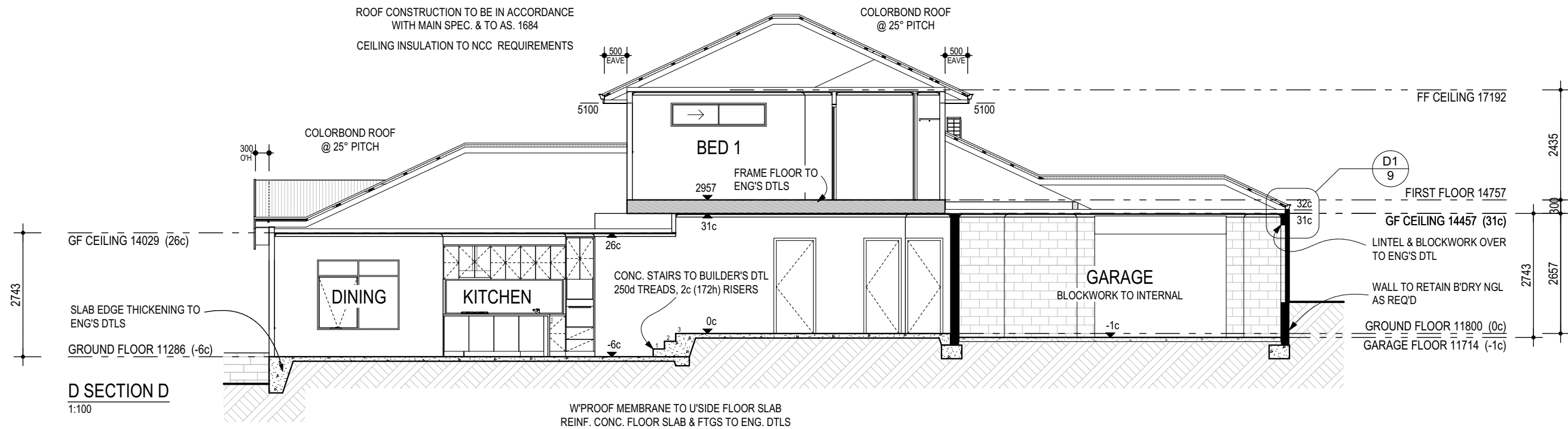




C SECTION C  
1:100



D1 GARAGE B'DRY GUTTER  
1: 20



D SECTION D  
1:100



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|                |            |                                      |             |             |
|----------------|------------|--------------------------------------|-------------|-------------|
| DRAWING NAME:  |            | SHEET No:                            | REVISION:   | JOB No:     |
| SECTIONS C & D |            | 9 OF 13                              | 13          | 0502        |
| OWNER .....    | DATE ..... | CLIENT:<br>Rebeiro & Richards        |             |             |
| OWNER .....    | DATE ..... | ADDRESS:<br>27 Porter Street, Gwelup |             |             |
| DESIGNER ..... | DATE ..... | City Of Stirling                     |             |             |
|                |            | DRAWN BY:                            | DATE DRAWN: | SCALE:      |
|                |            | BLEND                                | NOV 2019    | 1:100, 1:20 |

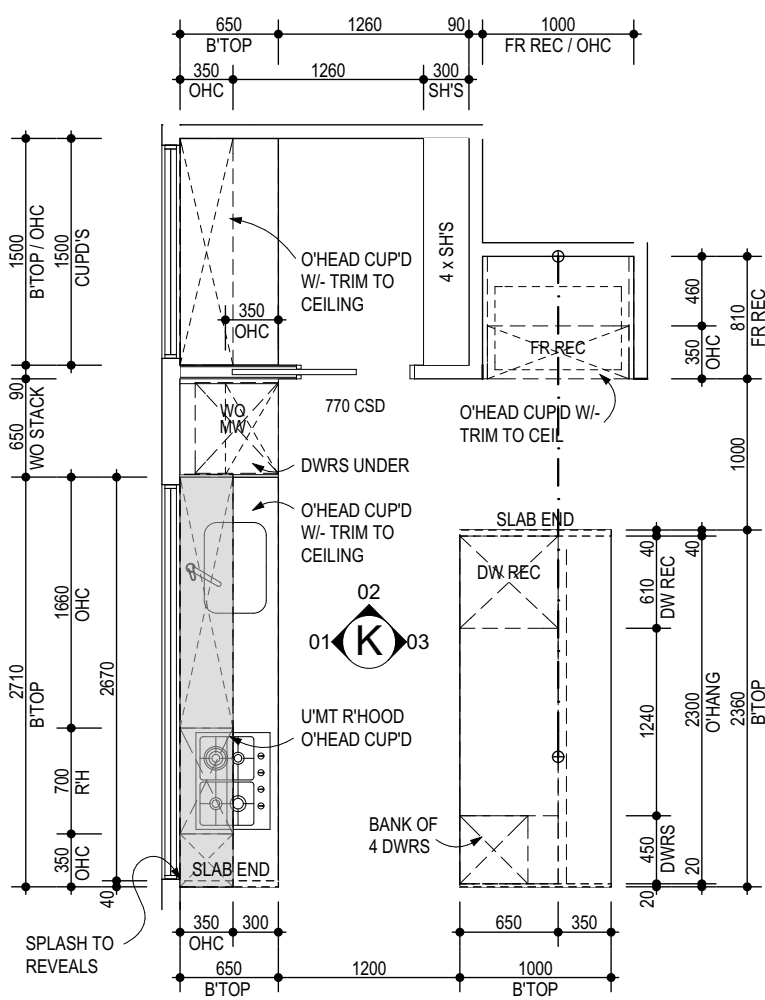
NOTE: TO SCALE ON A3 SHEET





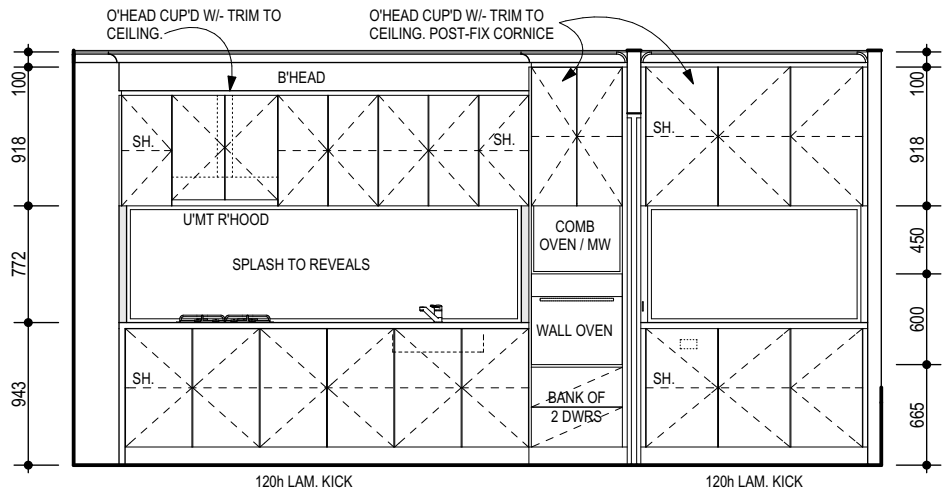




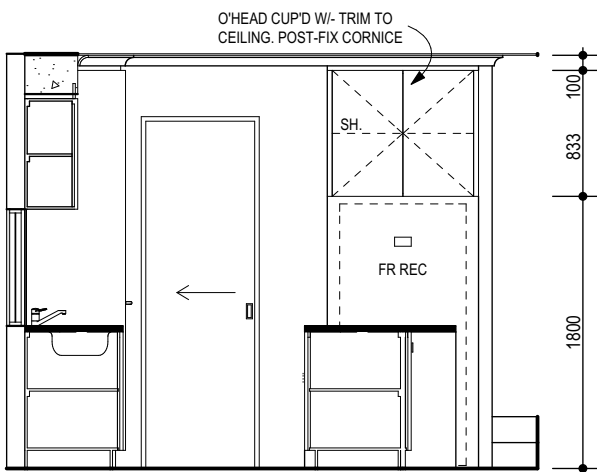


KITCHEN LAYOUT  
1:50

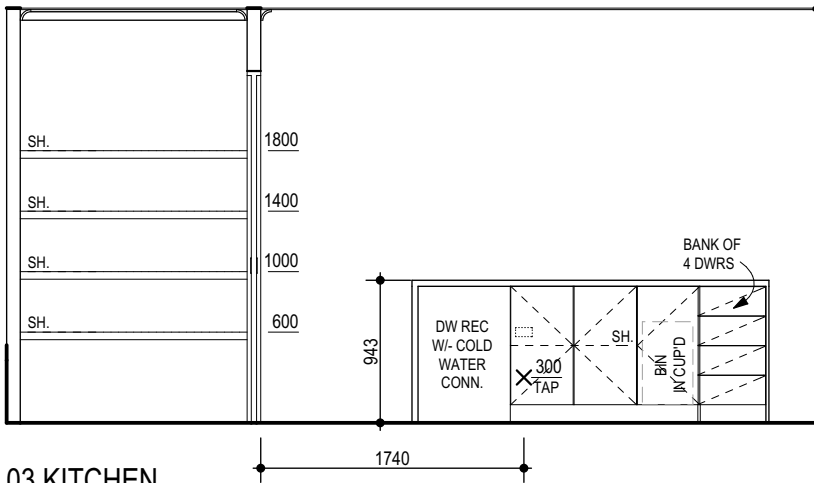
- NOTES:**
- FLOOR TILING NOTATIONAL ONLY.
  - SELECTED HANDLES TO ALL CUPBOARD DOOR AND DRAWER FRONTS.
  - COLD WATER PLUMBING TO DISHWASHER RECESS.
  - REFER ADDENDA FOR ALL TAPWARE.
  - ALL DIMENSIONS RELATING TO WALL SYSTEMS, ARE TO WALL ONLY, ROOM & OPENING SIZES WILL BE REDUCED WITH WALL FINISH.



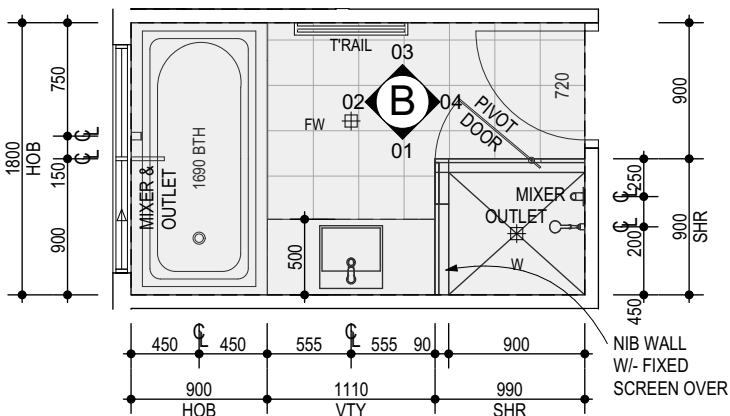
01 KITCHEN



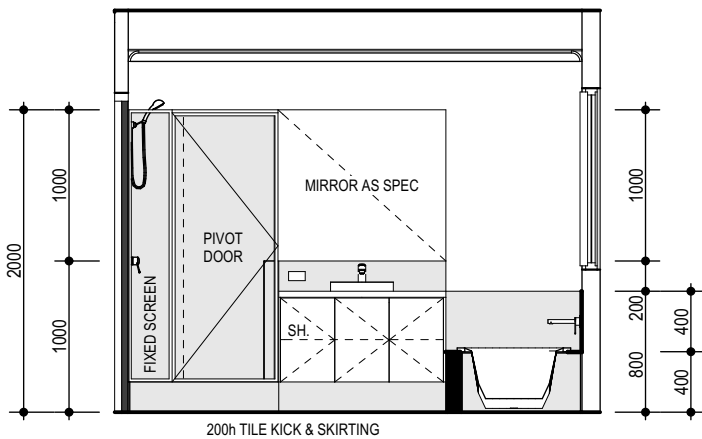
02 KITCHEN



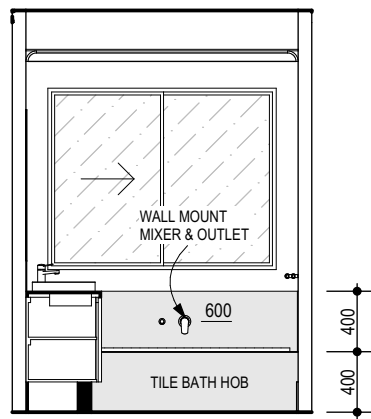
03 KITCHEN



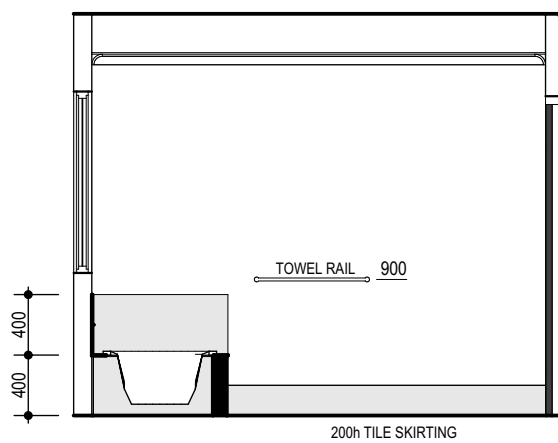
BATH LAYOUT  
1:50



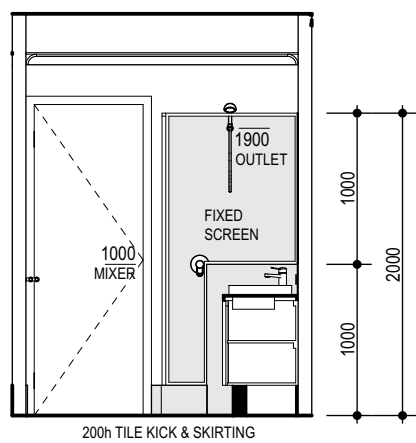
01 BATH



02 BATH



03 BATH



04 BATH

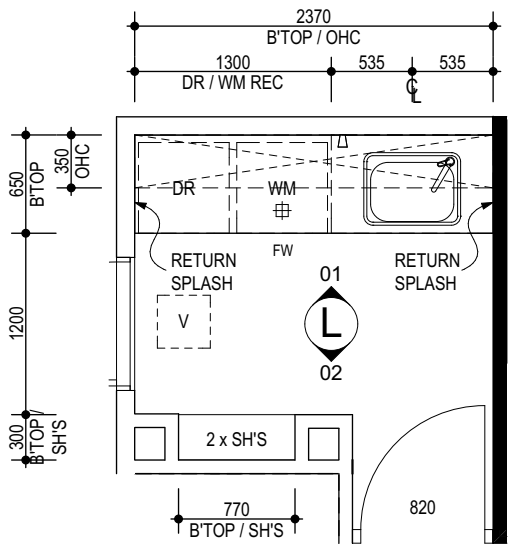


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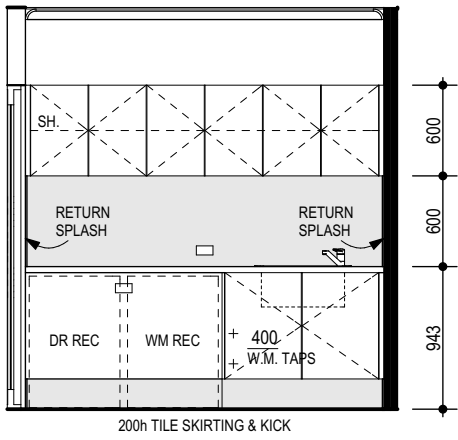


|   |  |                            |   |           |         |
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| E: info@blenddesigns.com.au<br>A: 37 Willcock St, Ardress WA  |  | OWNER .....                | DRAWN BY:<br>BLEND  |           |         |
|   |  | DESIGNER .....             | DATE DRAWN:<br>NOV 2019   |           |         |
|   |  |                            | SCALE:<br>1:50  |           |         |

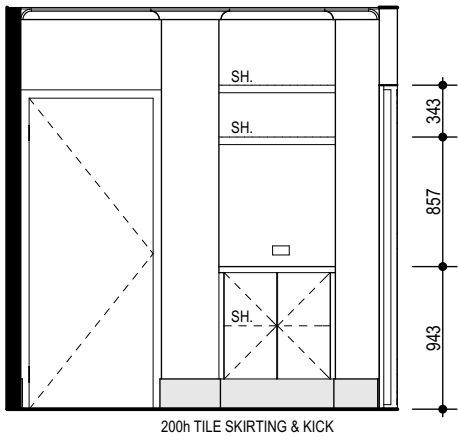
NOTE: TO SCALE ON A3 SHEET



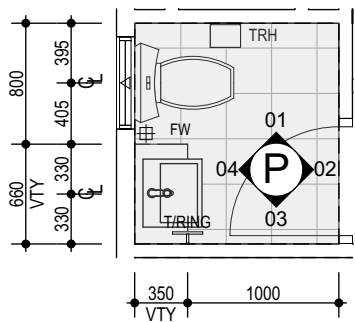
LAUNDRY LAYOUT  
1:50



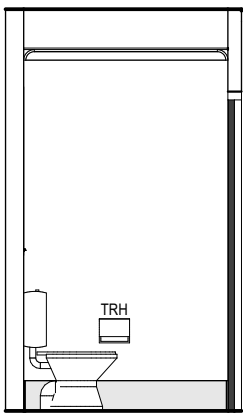
01 LAUNDRY



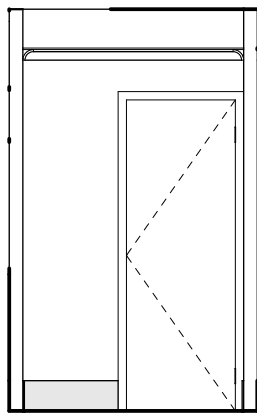
02 LAUNDRY



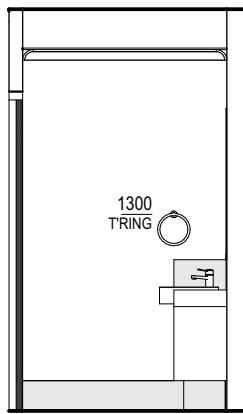
POWDER LAYOUT  
1:50



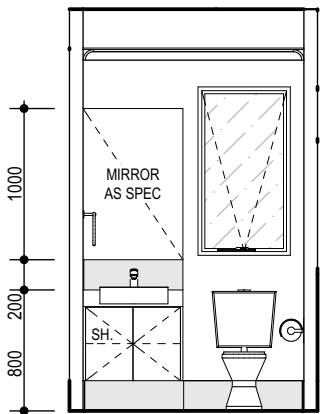
01 POWDER



02 POWDER

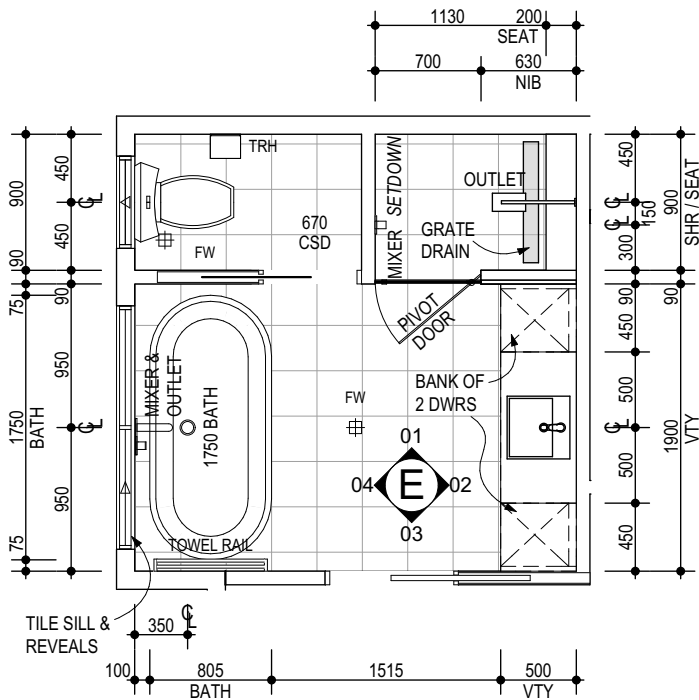


03 POWDER

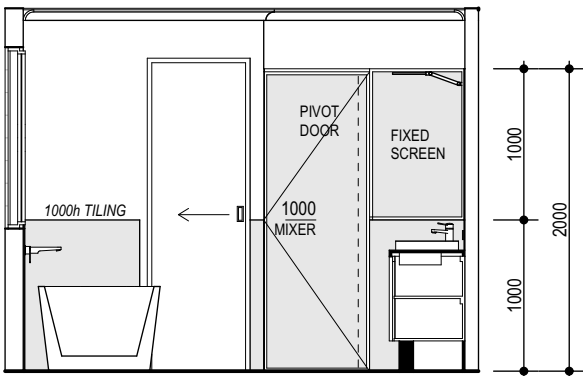


04 POWDER

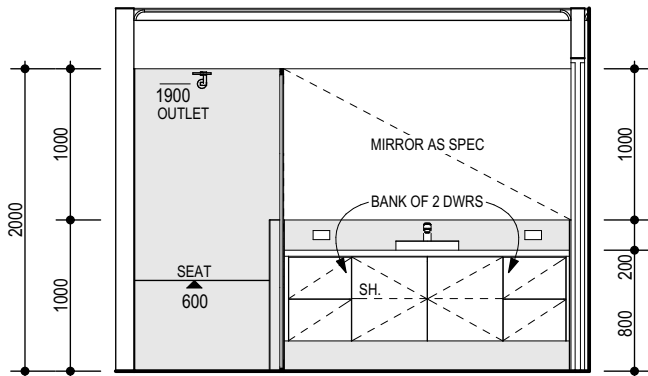
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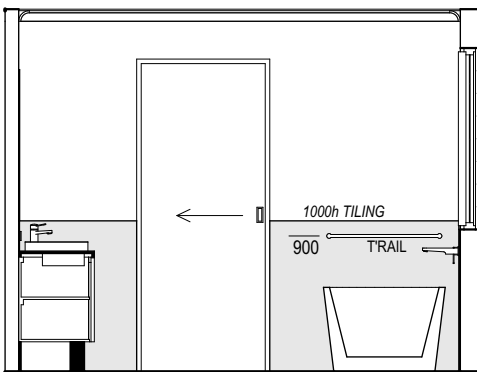
ENSUITE LAYOUT  
1:50



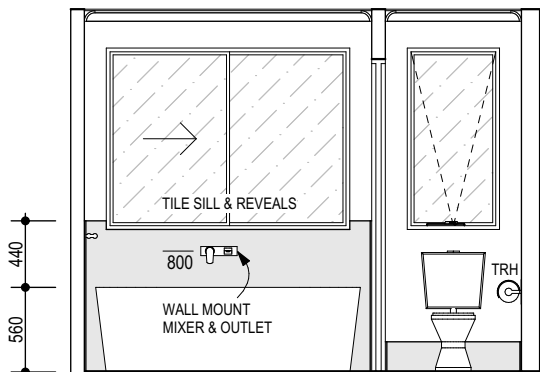
01 ENSUITE



02 ENSUITE



03 ENSUITE



04 ENSUITE



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|-----------------------------------|------------|---|------------------|
| DRAWING NAME:                     | SHEET No:  | REVISION:   | JOB No:          |
| LAUNDRY, POWDER & ENSUITE LAYOUTS | 13 OF 13   | 13  | 0502             |
| OWNER .....                       | DATE ..... | CLIENT:<br>Rebeiro & Richards<br>ADDRESS:<br>27 Porter Street, Gwelup<br>City Of Stirling |                  |
| OWNER .....                       | DATE ..... | DRAWN BY:   | SCALE:           |
| DESIGNER .....                    | DATE ..... | BLEND   | NOV 2019<br>1:50 |

NOTE: TO SCALE ON A3 SHEET