LEGEND DENADA SERVICES ELECTRICITY DOME •  $\bigcirc$ AUS POST TELSTRA PIT TELSTRA

NOTE: CONTOUR INTERVAL 0.5m HEIGHT DATUM - SITE ORIGIN - NAIL AT KERB RL10.00m SURVEYED ON: 23/10/2019

DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

**CLIENT NOTE:** 

BW/GL - BOTTOM OF WALL/GROUND LEVEL TW/GL - TOP OF WALL/GROUND LEVEL TW - TOP OF WALL PF - PEG FOUND PG - PEG GONE

- TRUNK DIAMETER
- TREE HEIGHT
- TREE CANOPY RADIUS

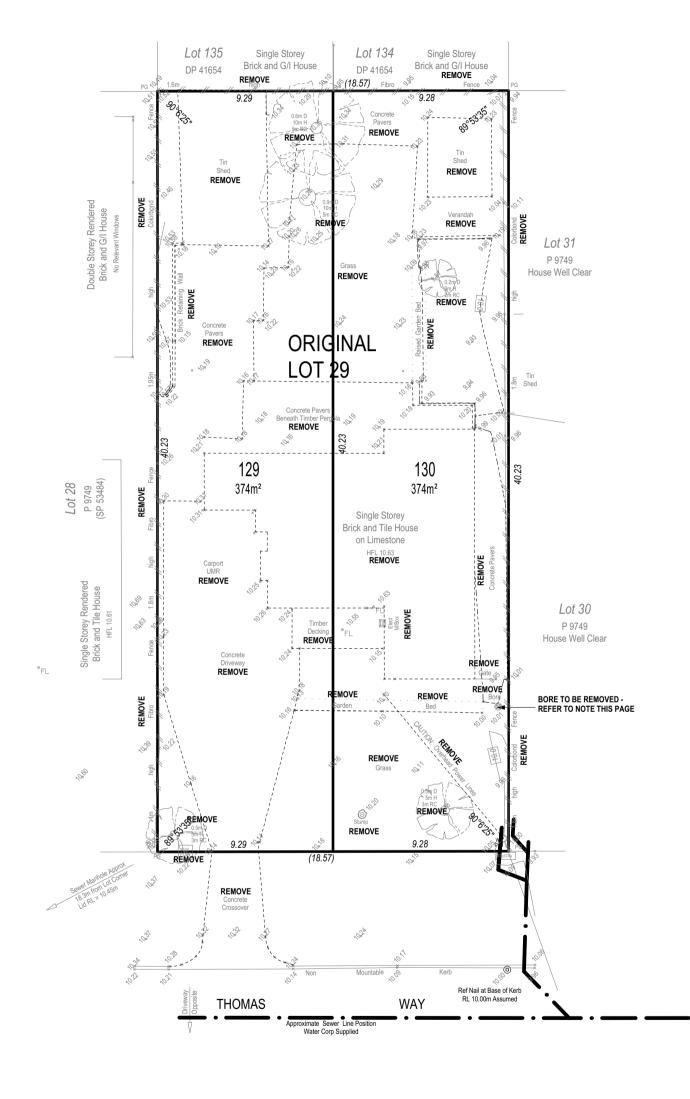
WATER METER LOT DETAIL

TREE DETAIL

- ALL DEMOLITION BY CLIENT UNLESS OTHERWISE NOTED.
- BORE TO BE REMOVED, CAPPED, FILLED WITH CLEAN SAND & COMPACTED. COMPACTED.

ALL TREES/SHRUBS TO BE LOPPED (TRIMMED) TO WITHIN 2m
OF THE BUILDING ENVELOPE.

- EXISTING BUILDING, TREES AND ALL RUBBLE TO BE REMOVED
BY CLIENT PRIOR TO CONSTRUCTION.





PROPOSED RESIDENCE FOR: **REZVANDEH / HEKMAT** 

**BUILT AROUND PEOPLE** 

ADDRESS: SSLI (#19A) THOMAS WAY KARDINYA

DRAWN: DMA DESIGNED: RC CHECKED: DMA MODEL: **SPECIAL** 

SCALE: 1:100 SHEET: I OF 10 SIZE: A3 **DEVELOPMENTS** 

JOB N°

158766

DMA DMA DMA DMA 21/09/20 09/10/20 23/10/20 18/11/20

**DEMOLITION PLAN** 



0 1 2 3 4 5 6 7 8 9 10

Scale 1:200

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DO NOT SCALE FROM THIS DRAWING LEGEND DENADA All Sub-contractors to check dimensions CONTOUR INTERVAL 0.5m SERVICES HEIGHT DATUM - SITE & notes prior to initiating works. Any ELECTRICITY DOME € ORIGIN - NAIL AT KERB RL10.00m discrepancies to be notified to the Site  $\bigcirc$ SURVEYED ON: 23/10/2019 Supervisor without delay. AUS POST ALL DIMENSIONS TO BRICKWORK. TELSTRA PIT TELSTRA WATER METER LOT DETAIL BW/GL - BOTTOM OF WALL/GROUND LEVEI TW/GL - TOP OF WALL/GROUND LEVEL TW - TOP OF WALL PF - PEG FOUND PG - PEG GONE TREE DETAIL - TRUNK DIAMETER - TREE HEIGHT - TREE CANOPY RADIUS REAR B'DRY FENCE BY OWNER Lot 135 Lot 134 Single Storey Single Storey Brick and G/I House CLIENT NOTE: rick and G/I House DP 41654 DP 41654 SUBDIVISION AND ASSOCIATED WORKS BY CLEINT. - 1800h C'BOND FENCE W/- CAPPING TO REAR B'DRY AS INDICATED BY: 4 4 (18.57) .4 90 F5. 85335 2 **PRESTART / PLUMBER NOTE:** 4m2 STORE 4m2 STORE - SEWER & INVERT POSITION TO BE DETERMINED - WATER METER POSITIONS TO BE DETERMINED. **CONCRETOR NOTE:** FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPENING. 2 **ALFRESCO** ALFRESCO **CONCRETOR / BRICKLAYER NOTE:** R.L. 10.257 (-1c) B'PAVING R.L. 10.00 (-1c) B'PAVING Double Storey Rendered Brick and G/I House B'WALL ON COMMON STRATA B'DRY HAS BEEN CALCULATED 2 TO BE SET INSIDE THE B'DRY BY 5mm B'WALL ON COMMON LOT B'DRY HAS BEEN CALCULATED TO 1,500 Lot 31 BE SET ON THE B'DRY. **CONCRETOR / ELECTRICAN NOTE:** 1,500 1,005 1,005 CONDUIT IN SLAB FOR ISLAND BENCH IN KITCHEN AREA House Well Clear **PLUMBER NOTE:** 2 150 x 150 150 x 150 PAVING GRATE PAVING GRATE REFER TO PLUMBING PLAN FOR SEWER AND STORMWATER 150 x 150 150 x 150 ď 4 PAVING GRATE PAVING GRATE FENCING CONTRACTOR NOTE:

-1800h C'BOND FENCE W/- CAPPING AS INDICATED BY:

-1800h C'BOND FENCE W/- CAPPING & RETAINING PLINTH AS:

-2 INST. INST GAS HWU 600h C'BOND FENCE W/- CAPPING & RETAINING PLINTH AS: 1,000 1,000 1,505 1,505 **BRICKPAVER NOTE:** - BRICK PAVING TO DRIVEWAYS, PATHS, CARBAYS. EXTENT AS INDICATED. 2 - WIDTHS OF BRICK PAVED PATHS TO BE APPROX. 1.0m WIDE UNLESS OTHERWISE INDICATED.

- MAINTAIN NOMINATED PAVING LEVELS FOR STORMWATER 四万 ₹ • PROPOSED **PROPOSED** RUN OFF. - PRE-LAY 900mm PVC RETIC SLEEVE UNDER DRIVEWAY PRIOR TO PAVING FOR LANDSCAPING. UNIT 1 UNIT 2 1 2 **GENERAL NOTE:** 40.23 F.F.L. 10.343 (0c) F.F.L. 10.086 (0c) CLOTHESLINES INDICATED AS PER ADDENDA P 9749 (SP 53484) (CONTRACT #159231) Lot 28 (CONTRACT #158766) 1,500 1,500 2 150 x 150 PAVING GRATE 150 x 150 PAVING GRATE  $\mathbb{D}$ đ 1,200 1,200 e Storey Rendered k and Tile House HFL 10.61 **PORCH PORCH** 1 R.L. 10.00 (-1c) 100° 2 R.L. 10.257 (-1c) Lot 30 **B'PAVING B'PAVING** 1,60 1,605 1000 FUSE BOX P 9749 House Well Clear **GARAGE GARAGE** R.L. 10.257 (-1c) GRANO R.L. 10.00 (-1c) GRANO 1,105 CUT OFF DRAIN COMB COMB CUT OFF DRAIN 2 **B'PAVED B'PAVED** DRIVE 6,635 6,019 6,015 DRIVE EXISTING WATER METER 90Ømm PVC ASSUMED POSITION OF RETIC PRE-LA 90Ømm PVC % PRE-CAST LETTERBOX PRE-CAST LETTERBOX U1 EXISTING WATER METER RETIC PRE-LAY 9.29 9.28 RL 10.20 (18.57) RL 10.10 500 4.50m WIDE GRANO CROSSOVER BY 4.250m WIDE GRANO CROSSOVER BY 1,150 ASSUMED POSITON OF BUILDER TO EXISTING POWER DOME **BUILDER TO** SHIRE REQ'S SHIRE REQ'S Ref Nail at Base of Kerb **THOMAS** WAY Scale 1:200 0 1 2 3 4 5 6 7 8 9 10

PROPOSED RESIDENCE FOR: **REZVANDEH / HEKMAT** 

BUILT AROUND PEOPLE

ADDRESS: SSLI (#19A) THOMAS WAY KARDINYA

DRAWN: DMA DESIGNED: RC CHECKED: DMA MODEL:

SCALE: 1:100 SHEET: 2 OF 10 SIZE: A3

DMA DMA DMA DMA

SITE PLAN

HOMES GROUP

**SPECIAL** 

**DEVELOPMENTS** JOB N° 158766

21/09/20 09/10/20 23/10/20 18/11/20

BUILD | RENOVATE | DEVELOP

LEGEND SERVICES ELECTRICITY DOME 0 AUS POST TELSTRA PIT TELSTRA WATER METER LOT DETAIL BW/GL - BOTTOM OF WALL/GROUND LEVEL TW/GL - TOP OF WALL/GROUND LEVEL TW - TOP OF WALL PF - PEG FOUND PG - PEG GONE TREE DETAIL 0.3m D - TRUNK DIAMETER 5m H - TREE HEIGHT 2m RC - TREE CANOPY RADIUS

DENADA

NOTE: CONTOUR INTERVAL 0.5m HEIGHT DATUM - SITE ORIGIN - NAIL AT KERB RL10.00m SURVEYED ON: 23/10/2019

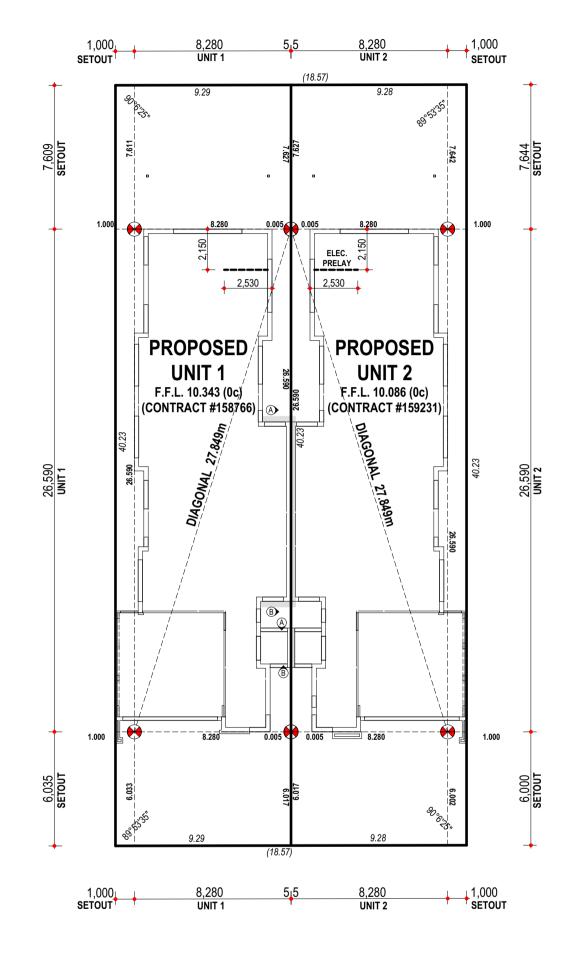
DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

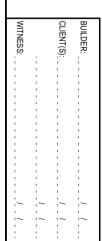
CONCRETOR / BRICKLAYER NOTE:

- B'WALL ON COMMON STRATA B'DRY HAS BEEN CALCULATED TO BE SET INSIDE THE B'DRY BY5mm.

BE WALL ON COMMON LOT B'DRY HAS BEEN CALCULATED TO BE SET ON THE B'DRY.

TOP OF FOOTING ... -5 BETWEEN A-B (REFER TO FLOOR PLAN ... ELEVATORS).





PROPOSED RESIDENCE FOR: REZVANDEH / HEKMAT

ADDRESS: SSLI (#19A) THOMAS WAY KARDINYA

DRAWN: DMA DESIGNED: RC CHECKED: DMA MODEL:

**SPECIAL** 

SCALE: 1:100 SHEET: 3 OF 10 SIZE: A3 **DEVELOPMENTS** JOB N°

158766

DMA DMA DMA DMA

SETOUT PLAN



Scale 1:200

21/09/20 09/10/20 23/10/20 18/11/20

**BUILT AROUND PEOPLE** 

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LEGEND SERVICES ELECTRICITY DOME  $\bigcirc$ AUS POST TELSTRA PIT TELSTRA WATER METER LOT DETAIL BW/GL - BOTTOM OF WALL/GROUND LEVEI TW/GL - TOP OF WALL/GROUND LEVEL TW - TOP OF WALL PF - PEG FOUND PG - PEG GONE TREE DETAIL

DENADA

CONTOUR INTERVAL 0.5m HEIGHT DATUM - SITE ORIGIN - NAIL AT KERB RL10.00m SURVEYED ON: 23/10/2019

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## PLUMBER NOTE:

0.3m D - TRUNK DIAMETER 5m H - TREE HEIGHT 2m RC - TREE CANOPY RADIUS

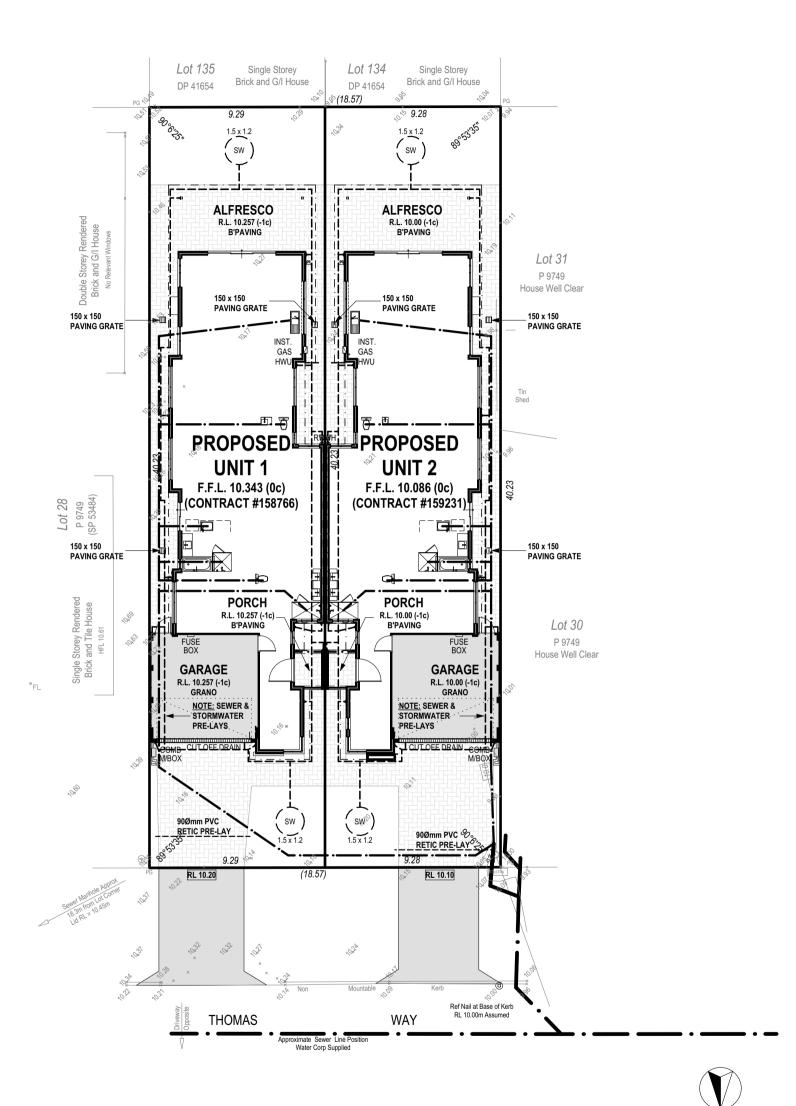
CONNECT ALL DOWNPIPES TO STORMWATER SOAKWELLS AS PER SHIRE REQUIREMENTS. ALL STORMWATER & SURFACE WATER DRAINAGE TO COMPLY W/- NCC VOL 2, A.S. 3500.3:2003 & LOCAL AUTHORITY REQUIREMENTS. REFLUX VALVE REQUIRED.

#### 1:20 YEAR STORM EVENT - UNIT 1

	Soak Well Type	No.	
[	SW 1500x1200	2	4.2 m3
Ī	Total C	apacity	4.2 m3
ſ	Roof A	rea GF	238.3 m2
	Pave	d Area	60.0 m2
	Tota	al Area	298.3 m2
ap	pacity Required (Area x 0	0.0130)	3.9 m3
	Extra Canacity Pr	hahivo	0.4 m3

#### 1:20 YEAR STORM EVENT - UNIT 2

	INO.	Ooak Well Type
4.2 m3	2	SW 1500x1200
4.2 m3	Total (	Capacity
238.3 m2	Roof A	rea GF
60.0 m2	Paved	Area
298.3 m2	Total A	Area
3.9 m3	Capac	ity Required (Area x 0.0130)
0.4 m3	Extra (	Capacity Provided



PROPOSED RESIDENCE FOR: REZVANDEH / HEKMAT

BUILT AROUND PEOPLE

ADDRESS: SSLI (#19A) THOMAS WAY KARDINYA

DRAWN: DESIGNED: RC CHECKED: MODEL:

**SPECIAL** 

SCALE: 1:100 SHEET: 4 OF 10 SIZE: **DEVELOPMENTS** 

JOB N°

158766

DMA DMA DMA DMA 21/09/20 09/10/20 23/10/20 18/11/20

PLUMBING PLAN



0 1 2 3 4 5 6 7 8 9 10

Scale 1:200

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# SITE CLASSIFICATION - CLASS 'A' (REFER TO SITE REPORT FOR DETAILS) WIND LOAD - N1 CORROSION CLASSIFICATION - R3 **BRICK NOTE**

**ROOF NOTE** - <u>COLORBOND</u> ROOF, PITCH AT 25° W/- 500W EAVES UNO - STEEL ROOF FRAME TO NASH STANDARDS - CEILINGS AT 30c + PLATE UNLESS NOTED OTHERWISE

ROOF PLUMBER NOTE PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)

FINAL POSITIONS OF RWP'S TO BE DETERMINED ON SITE RWP'S IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER SYSTEM (NO KICK) ROOF INSULATION NOTE

- R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL PLASTERBOARD OR VERSILUX CEILINGS IF APPL. ELECTRICAL NOTE

ELECTRICAL NUIL

-INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS

STORAGE ON DIAM

STORAGE ON FIXING CARPENTER NOTE - 4 No. 450D SHELVES TO PANTRY AND LINEN UNO - 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO

- 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY - PROVIDE MID-SHELF SUPPORT WHERE NOTED "MSS" TO ANY SHELF OVER 1.8m LONG. **CEILING MATERIAL NOTE** PORCH - PLASTERBOARD C.L. - GARAGE - HARDIFLEX C.L. - ALFRESCO (INC. AREAS SHOWN HATCHED) - VERSILUX C.L.

**GARAGE NOTE** SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OP'NG

RENDER WALL NOTE - PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED WALLS & H/FLEX / VERSILUX CEILINGS

TRADES / SUPERVISOR NOTE - REFER TO STRUCTURAL ENGINEERS DETAILS - ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS & STANDARD SPECIFICATION.

30,050 O/All

DOOR NOTE TOILET DOOR TO COMPLY W/- CLAUSE 3.8.3.3 OF THE B.C.A VOL. 2

**ROOF PLUMBER / CONC. NOTE** BOUNDARY WALL

PLASTERBOARD NOTE

SOURCE DI ASTERBOARD TO WALLS WHERE INDICATED BY "DW"

CONCRETOR/BRK LAYER NOTE - NOTE BRICK WALL ON STRATA BOUNDARY HAS BEEN CALCULATED TO BE SET INSIDE THE BOUNDARY BY 5mm.
- NOTE BRICKWALL ON LOT BOUNDARY HAS BEEN CALCULATED TO BE

SET ON BOUNDARY.

- ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c UNLESS NOTED OTHERWISE. NOTED OTHERWISE.

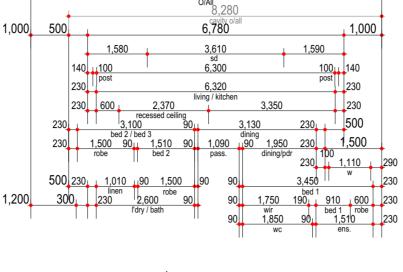
- DROPPED FOOTINGS AS SPECIFIED BY MARKERS

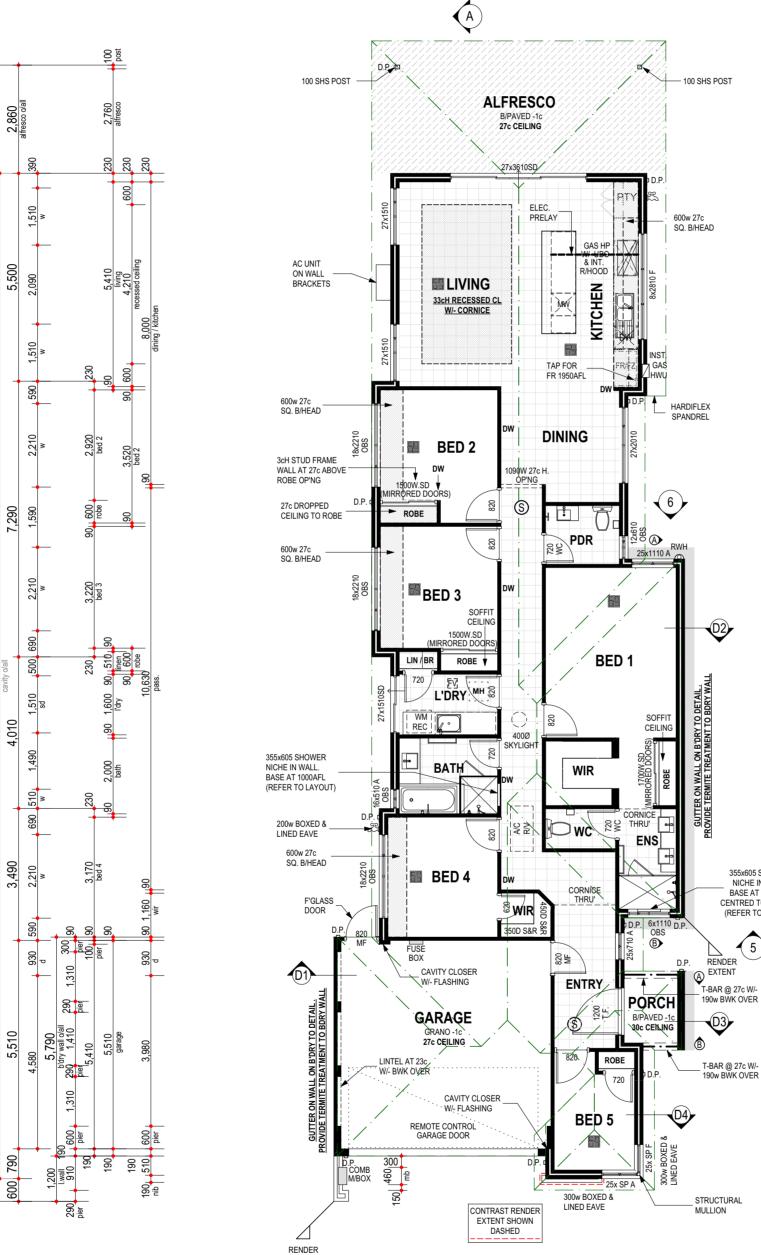
(A)

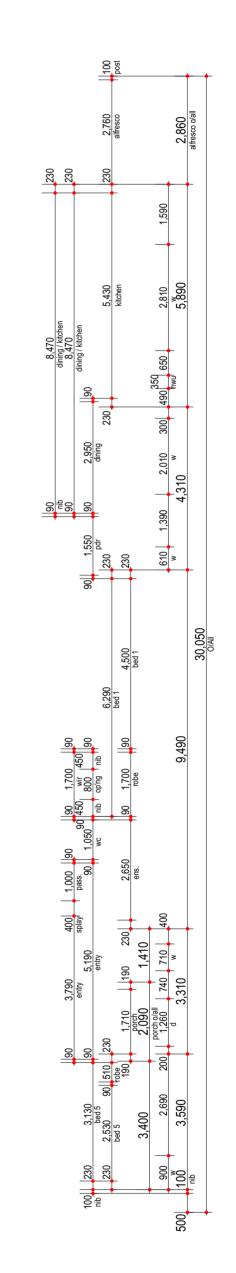
- TOP OF FOOTING DROPS FROM -2c TO -5c BETWEEN A-B. - REFER TO ELEVATIONS FOR EXTENT.

AIRCON NOTE PROVIDE REVERSE CYCLE AIR CONDITIONING, OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET. PLUMBER NOTE - NO HOBS TO SHOWERS UNLESS SHOWN OTHERWISE. - PLUMBER TO INSTALL REFLUX VALVE.

> 9,280 O/AII 6,780 500 1,000 1,000 3,610 1,590 6,300 100<sub>11</sub> 140 post 6,320 living / kitcher 230 230 230 500 1,950 230 100 dining 1,090 µ90 1,500 1,110 290 w 230 500 230 1,010 190 1,500 1,200 2,600 230

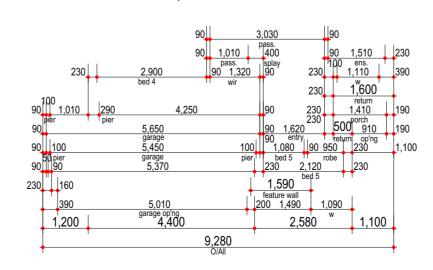








EXTENT





**UNIT 1 FLOOR PLAN** Perim. L/m 72.62 23.06 7.38 19.28 Area m² 163.36 1. FLOOR PLAN 2. GARAGE 3. PORCH 4. ALFRESCO 32.80 3.25 19.39 218.80 5. TOTAL AREA 82.66 6. ROOF 82.10



DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay. ALL DIMENSIONS TO BRICKWORK.

BUILDER: CLIENT(S): WITNESS: PROPOSED RESIDENCE FOR: **REZVANDEH / HEKMAT** 

SSLI (#19A) THOMAS WAY

CHECKED: SIZE: DATE: 18/06/20 DEVELOPMENTS MODEL: JOB N° **SPECIAL** 158766

355x605 SHOWER

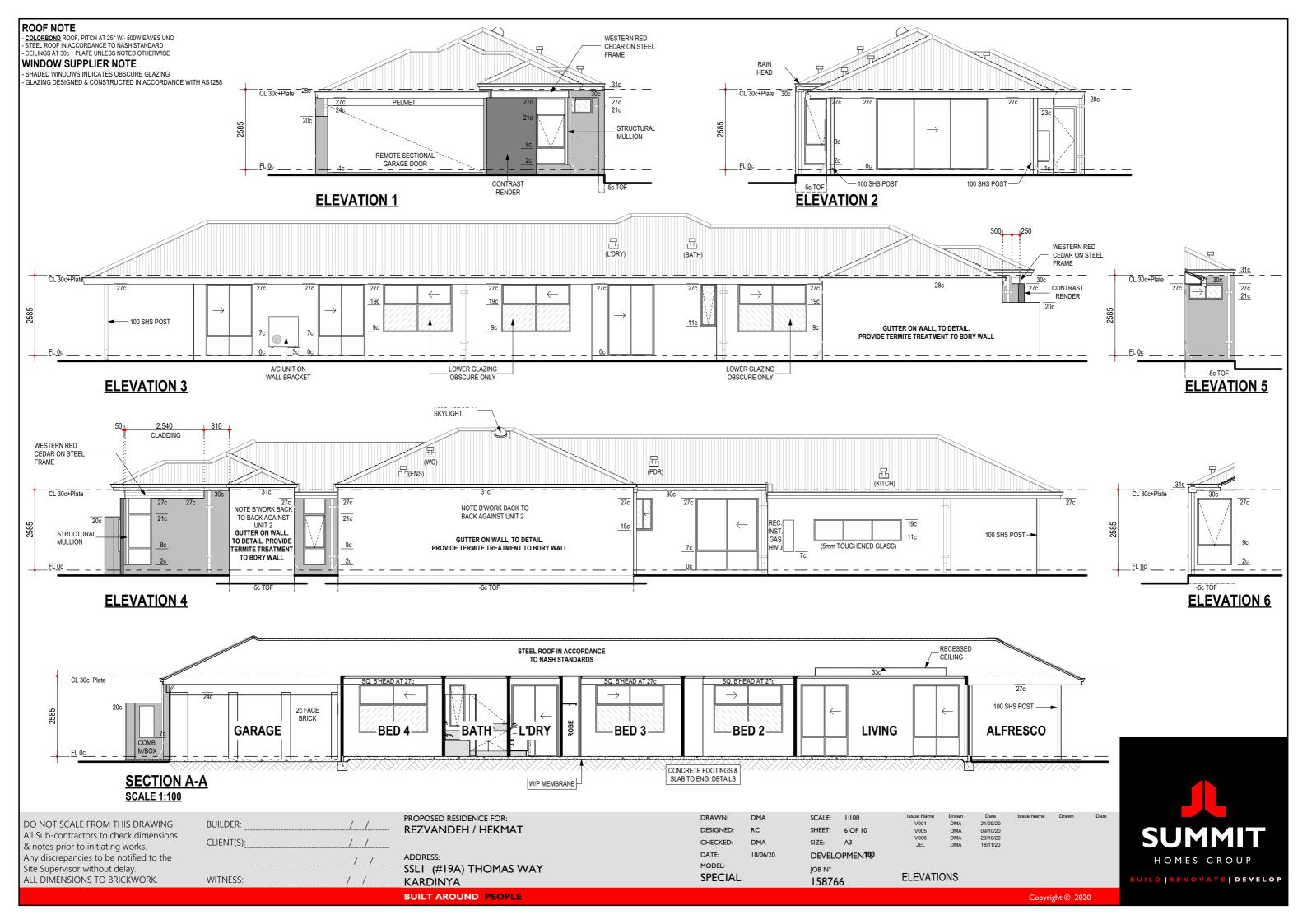
NICHE IN WALL.

BASE AT 1000AFL

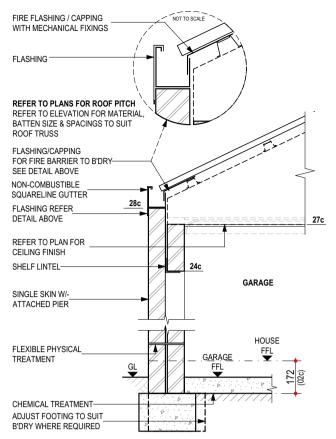
CENTRED TO WINDOW

(5)

SCALE: 21/09/20 09/10/20 23/10/20 18/11/20 DMA DMA DMA DMA V001 V005 V006 JEL A2 FLOOR PLAN

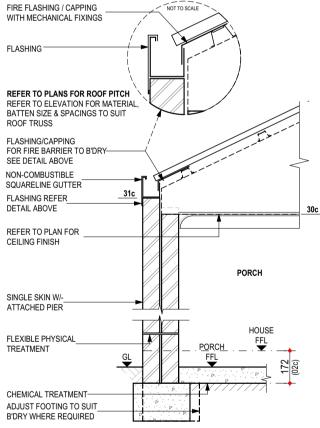


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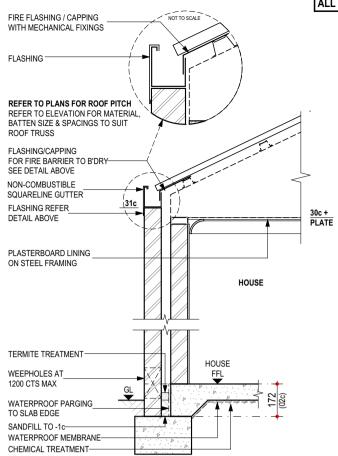
#### **D01 - GUTTER ON WALL/FLASHING DETAIL TO GARAGE** W/- TERMITE TREATMENT

- NOTES:
   REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.



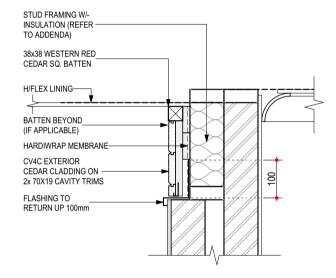
### **D03 - GUTTER ON WALL/FLASHING DETAIL TO PORCH** W/- TERMITE TREATMENT

- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY, REFER TO PLANS REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC
- SCALE 1:20



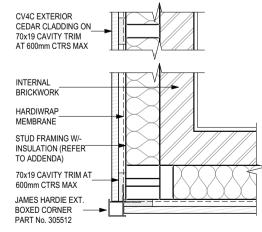
#### **D02 - GUTTER ON WALL / FLASHING DETAIL TO HOUSE W/- TERMITE TREATMENT**

- NOTES:
   REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.



### **D04 - CLADDING (MINOR CLADDING BELOW EAVE DETAIL)**

- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- REFER TO ADDENDUM FOR CLADDING SPECIFICATION - SCALE 1:10



### **TYPICAL 18mm CEDAR CLADDING** (PLAN VIEW EXTERNAL CORNER)

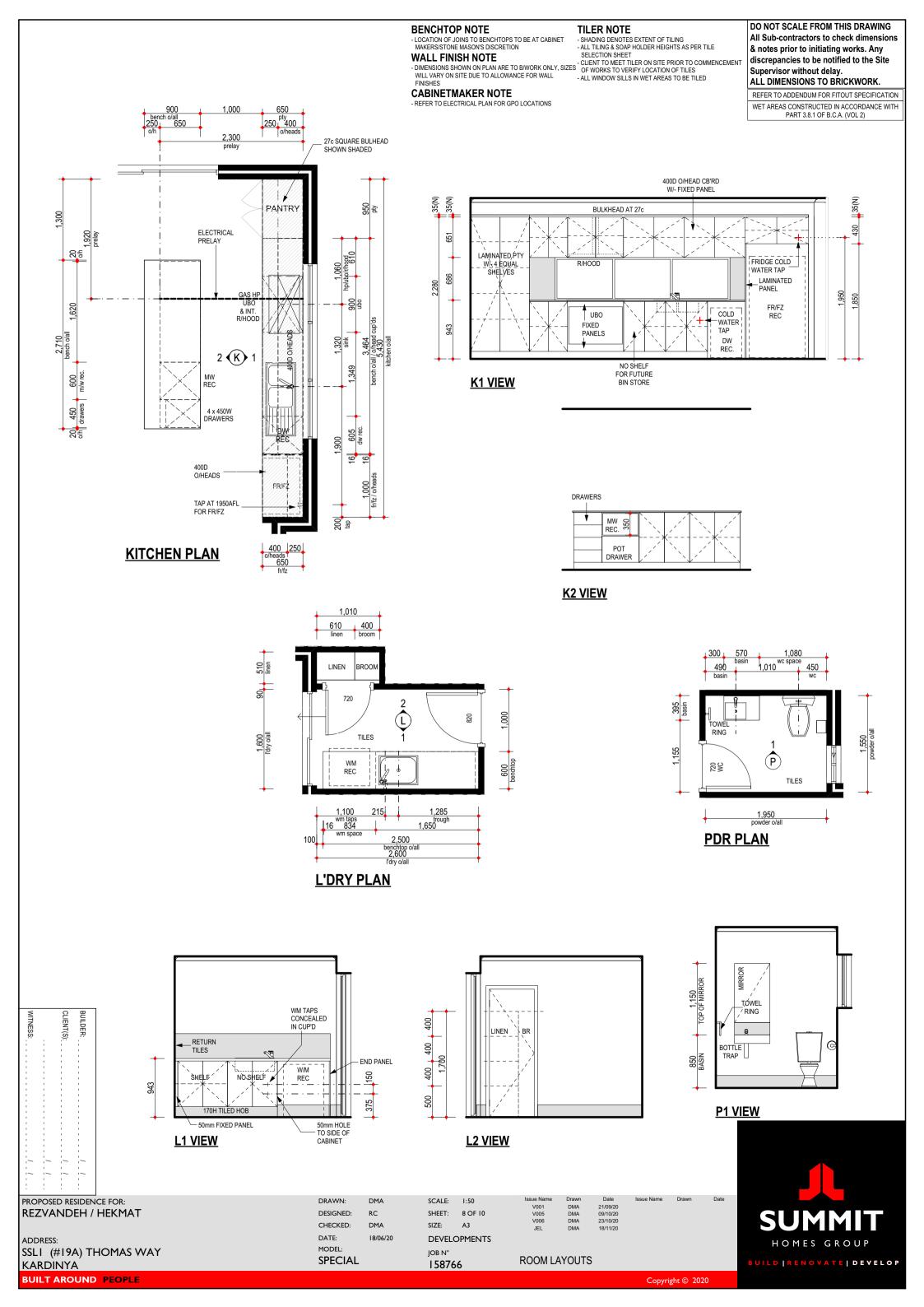
### NOTES:

- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS CAVITY TRIM SCREWED TO FRAME W/- 40mm SCREWS
- CEDAR CLADDING TO BE FIXED HORIZONTALLY
- SCALE 1:10

DUM T ADOLUND DECOME									
SSLI (#19A) THOMAS WAY KARDINYA	MODEL: SPECIAL		job n° 158766	DETAILS					
ADDRESS:	DATE:	18/06/20	DEVELOPMENTS						
	CHECKED:	DMA	SIZE: A3	V006 JEL	DMA DMA	23/10/20 18/11/20			
REZVANDEH / HEKMAT	DESIGNED:	RC	SHEET: 7 OF 10	V005	DMA	09/10/20			
PROPOSED RESIDENCE FOR:	DRAWN:	DMA	SCALE: AS NOTED	Issue Name V001	Drawn DMA	Date 21/09/20	Issue Name	Drawn	Date



BUILDER:



#### DO NOT SCALE FROM THIS DRAWING **BENCHTOP NOTE TILER NOTE** All Sub-contractors to check dimensions - LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION - SHADING DENOTES EXTENT OF TILING - ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE & notes prior to initiating works. Any SELECTION SHEET **WALL FINISH NOTE** discrepancies to be notified to the Site WALL FINISH NOTE - DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES - CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES Supervisor without delay. WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES - ALL WINDOW SILLS IN WET AREAS TO BE TILED ALL DIMENSIONS TO BRICKWORK. CABINETMAKER NOTE - REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS REFER TO ADDENDUM FOR FITOUT SPECIFICATION WET AREAS CONSTRUCTED IN ACCORDANCE WITH 2,600 bathroom o/all 2,050 550 TOWEL RAIL 605 basin 720 1 **B** 3 ,028 TILES BATTEN BY TILED HOP 40 CARPENTER BATH 388 pat 250 150 rose spud 885 355x605 SHOWER 610 150 mixer spout 1,715 NICHE IN WALL. **TYPICAL BATH HOB SECTION** bath hob 1,600 1,000 **BATH PLAN** FIXED SCRN MIRROR ON RAIL FIXED RETURN 355 MXR NICHE TILES 1,930 MXR **P G** 100 PIVOT DOOR 700 BATH BATH BATH HOB, TO DETAIL 300 **B2 VIEW B1 VIEW B3 VIEW** 1,850 1,510 CORNICE THRU' 720 WC **E** 2 BATH/ENS. 525 wc SCREEDED GRANO W/-FLOOR FINISH AS SPECIFIED ON PLAN TILES WATERPROOF **ENSUITE PLAN** MEMBRANE AS REQUIRED 250 980 shower CHEMICAL TREATMENT 355x605 SHQWER 150 spud MICHE IN WALL **RECESSED SHOWER DETAIL (NO HOB)** - REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS 605 410 1,110 niche 400 vanity 1,510 shower o/all FIXED CORNICE THRU SCRN MIRROR ROSE 🏺 1,150 ROR TO ALIGN I SHR SCREEN ON RAIL FIXED MIRRO WITH SP MXR 2,000(N) 170H FACIA BUILDER: PIVO7 1,100 1,000 850 VANITY DOØR 850 850 FIXED PANEL E1 VIEW E3 VIEW E2 VIEW

REZVANDEH / HEKMAT

PROPOSED RESIDENCE FOR:

DMA

DRAWN:

JOB N°

158766

**ROOM LAYOUTS** 

### **ELECTRICAL LEGEND**

**Ground Floor** 

Insulation

Qty	Sym.	Description	Watts	Penetration
7	<b>l○</b> 11w*	EXTERNAL WALL LIGHT @ 2100 AFL (WIRING ONLY - CLIENT TO INSTALL LIGHT LATER) Perimeter Lighting	77*	*
1	O11w*	CEILING LIGHT (11w) Class 10	11*	*
1	● 7w*	RECESSED LED DOWN-LIGHT ( 7w) Class 1 Veranda	7*	*
5	● 7w	RECESSED LED DOWN-LIGHT ( 7w)	35	
12		PLUG BASE	0	
2	(S)	H.WIRED SMOKE DETECTOR	0	
4	•	EXHAUST FAN	0	0.181
1	◯ 11w	CEILING LIGHT (11w)	11	
1	2 WAY	2 WAY SWITCH	0	
1	•	W/P SGPO INSTALLED IN HWU	0	
1	•	SINGLE GPO IN/ON CEILING	0	
1	•	SINGLE GPO FOR R/H (REFER TO PLAN FOR R/H TYPE)	0	
5		SINGLE GPO @ NOTED HT	0	
1	С	NBN LEAD IN CONDUIT (25mm) W/- BLANK FACE PLATE AT 1500 AFL	0	
1		DOUBLE WATER PROOF GPO	0	
9	8	DOUBLE GPO @ NOTED HT	0	
15	•	DOUBLE GPO @ 200 AFL	0	
1		DOUBLE GPO @ 1500 AFL W/ 20mm CONDUIT FOR PSU CONNECTION	0	
1	0	CONDUIT FOR NBN (25mm)	0	
2	0	CONDUIT 20mm	0	
2	0	CONDUIT (32mm)	0	
1	D2	D2 (2x DATA/PHONE) FOR NBN PROVISION @ 1500 AFL	0	
2	C1D2	C1 (TV) + D2 (PH/DATA)	0	

\* NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. PERIMETER LIGHTING MIN. 40 LUMENS/W.

Total Class 1 Wattage= 46

Wattage Calculations (Clas	s 1)	Allowed	Actual	
Story Name			Wattage	
0   Ground Floor	148.32 Sqm	742 w	46 w	
	148.32 sqm	742 w	46 w	PASS

Recessed Fitting Penetrations (Class		Maximum	Actual	
Story Name	Area	Penetrations	Penetrations	
Total Insulation Area	148.32 sqm	0.742 sqm	0.181 sqm	
Vents\RangeHoods			0.078 Sqm	
	148.32 sqm	0.742 sqm	0.258 sqm	PASS
	0 17 % R4 0 h	nsulation Adjustment	Not Required	

**CLIENT NOTE: MAX WATTAGE AND** PENETRATIONS MUST NOT BE EXCEEDED

### LIGHT AND VENTILATION CALC.

Room Name		Opn %	Light		Vent.
6   BED 5 Min. Ventilation = 0.4	5   Min. Li	ght= 0.60 To	otal Area= 6.0	1	
W16   Fixed		0 %	1.93 m2		0.00 m <sup>2</sup>
W15   Awning		45 %	2.34 m2		1.05 m <sup>2</sup>
	Totals	Light	4.26 m2	Vent	1.05 m <sup>2</sup>
5   BED 4 Min. Ventilation = 0.6	i9   Min. Li	ght= 0.92 To	otal Area= 9.1	9	
W14   Sliding		22 %	3.41 m2		0.76 m <sup>2</sup>
	Totals	Light	3.41 m2	Vent	0.76 m2
4   BED 3 Min. Ventilation = 0.7	'5   Min. Li	ght= 1.00 To	otal Area= 9.9	8	
W11   Sliding		22 %	3.41 m2		0.76 m <sup>2</sup>
	Totals	Light	3.41 m2	Vent	0.76 m2
3   BED 2					
Min. Ventilation = 0.7 W10   Sliding	5   Min. Li	22 %	3.41 m2 3.41 m2		0.76 m <sup>2</sup>
	Totals	22 % Light	3.41 m2 3.41 m2	Vent	
W10   Sliding	Totals	22 % Light	3.41 m2 3.41 m2	Vent	
W10   Sliding  2   BED 1  Min. Ventilation = 1.5	Totals	22 % Light  ght= 2.03 To 72 %	3.41 m2 3.41 m2 otal Area= 20.	Vent	0.76 m2
W10   Sliding  2   BED 1  Min. Ventilation = 1.5	Totals  i2   Min. Li  Totals	22 % Light ght= 2.03 To 72 % Light HEN   DI ght= 4.32 To 37 % 37 % 33 %	3.41 m2 3.41 m2 otal Area= 20. 2.38 m2 2.38 m2 NING	Vent	1.71 m <sup>2</sup> 1.71 m <sup>2</sup> 1.29 m <sup>2</sup> 1.29 m <sup>2</sup> 2.78 m <sup>2</sup>
W10   Sliding  2   BED 1 Min. Ventilation = 1.5 W03   Awning  1   LIVING   Min. Ventilation = 3.2 W09   Sliding W08   Sliding W07   Sliding Door	Totals  i2   Min. Li  Totals	22 % Light  ght= 2.03 To 72 % Light  HEN   DI ght= 4.32 To 37 % 37 % 33 % 0 %	3.41 m2 3.41 m2 3.41 m2  2.38 m2 2.38 m2  NING DIAL Area = 43. 3.49 m2 3.49 m2 8.35 m2	Vent	0.76 m2

DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

ELECTRICAL NOTE
- INTERCONNECTED SMOKE DETECTORS TO AS3786-2014 - FINAL POSITION OF ELECTRICAL ITEMS SUCH AS GPO'S, LIGHT SWITCHES ETC. MAY VARY ON SITE DUE TO ELECTRICAL REQULATIONS. LIGHT SWITCH HEIGHT TO

BE AT 1200 AFL U.N.O.

- NEUTRAL CABLING REQUIRED TO ALL LIGHT SWITCHES.

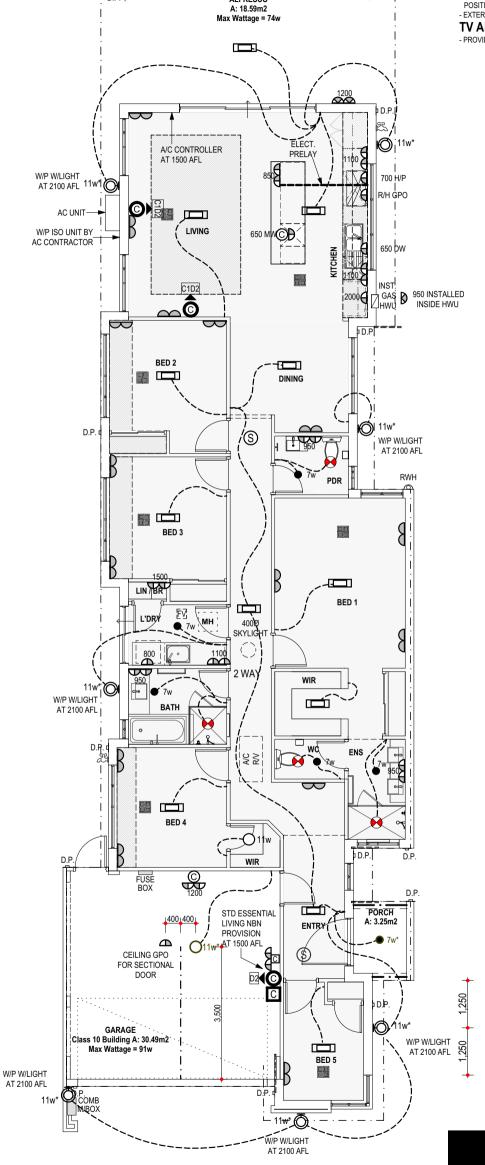
- ALL EXHAUST FANS TO BE FLUED TO EXTERNAL AIR

### **AIRCON NOTE**

PROVIDE REVERSE CYCLE AIR CONDITIONING. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
 EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

#### TV ANTENNA NOTE

- PROVIDE TV ANTENNA AS PER ADDENDA



**ALFRESCO** 

PROPOSED RESIDENCE FOR: REZVANDEH / HEKMAT

ADDRESS: SSLI (#19A) THOMAS WAY DRAWN: DMA DESIGNED: RC CHECKED: DMA MODEL:

**SPECIAL** 

SCALE: 1:100 SHEET: 10 OF 10 SIZE: **DEVELOPMENTS** 

JOB N°

158766

V001 V005 V006 JEL DMA DMA DMA DMA 21/09/20 09/10/20 23/10/20 18/11/20

**ELECTRICAL PLAN** 

BUILD | RENOVATE | DEVELOP

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KARDINYA **BUILT AROUND PEOPLE**