FIXING CARPENTER NOTES

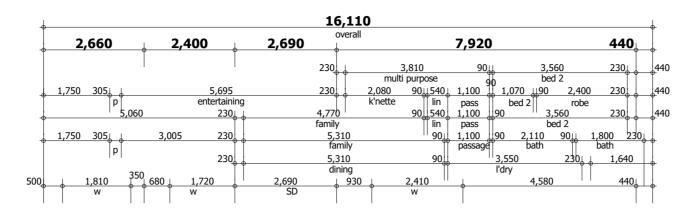
- 1. 450w SHELF & RAIL TO ROBES & WIR TO BE 1700afl.
- 2. 4x400w (U.O.N.) SHELVES TO LINEN TO BE 500, 900, 1300 & 1700afl.
- 3. BROOM SHELF @ 1700afl.

CONCRETOR NOTE

1. GARAGE & FREESTANDING EXTERNAL BRICK PIER FOOTINGS TO BE AT -3c U.O.N.

WINDOW MANUFACTURER

- 1. SINGLE CLEAR GLAZED ALUMINIUM FRAMES GENERIC VALUES - U 6.57, SHGC 0.74
- 2. DOUBLE GLAZED ALUMINIUM FRAMES **GENERIC VALUES:** AWNING - U 4.5, SHGC 0.5 SLIDING & FIXED - U 4.5, SHGC 0.61 AS SHOWN ON PLANS





GENERAL NOTES

RENDERED BRICKWORK.

COLORBOND ROOF.

R4.1 CEILING INSULATION TO INTERNAL CEILINGS & GARAGE ONLY.

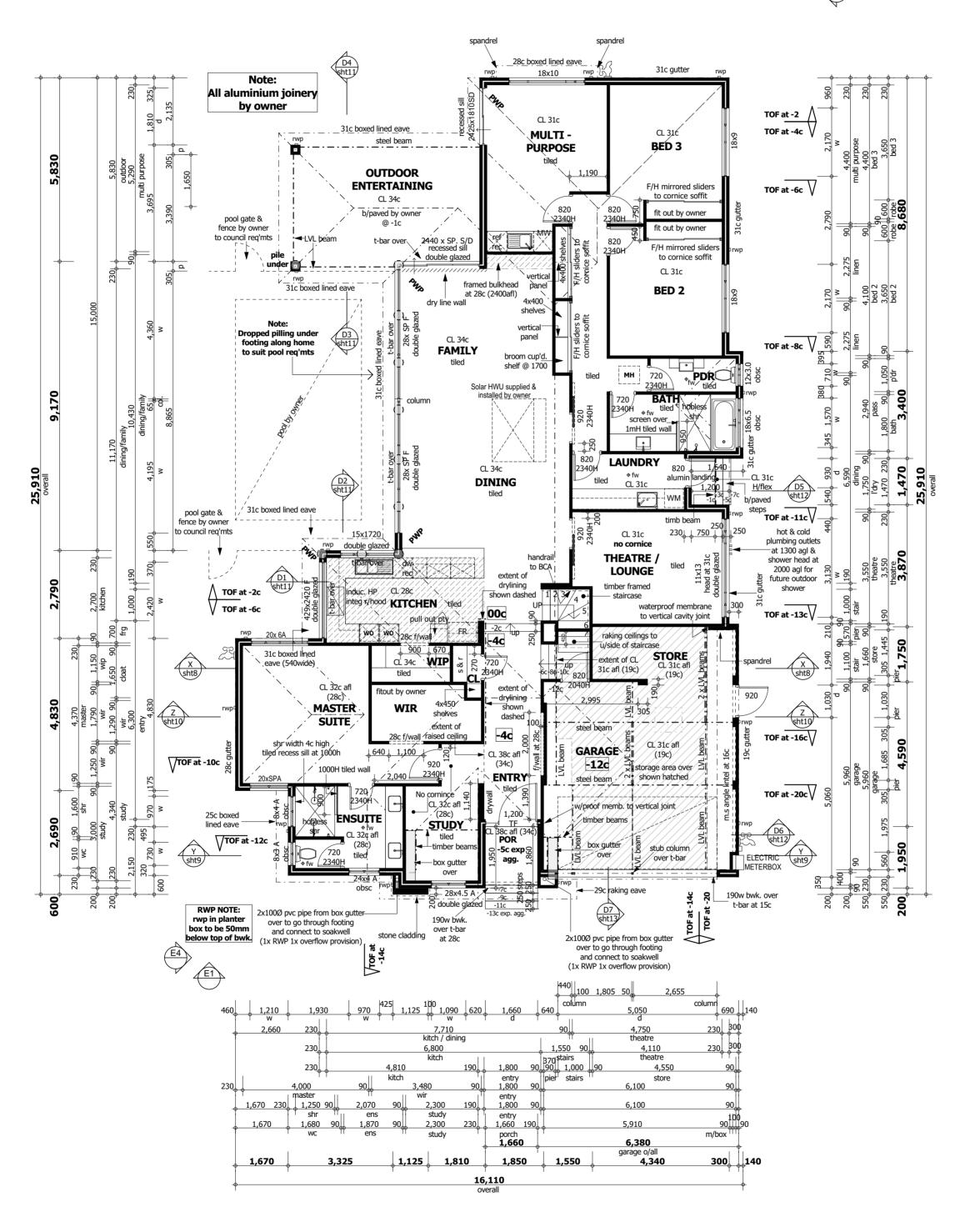
R1.5 ANTICON ROOF INSULATION THROUGHOUT.

CAVITY INSULATION BY OWNER

R2.5 WALL INSULATION TO ATTIC WALLS THROUGHOUT

N1 WIND REGION.

RWP POSITIONS SHOWN ARE APPROX AND ARE POSITIONED AT THE ROOF PLUMBERS DISCRETION. RWP'S SHOWN ON FRONT ELEVATION FOR VISUAL REFERENCE, REFER TO PLANS FOR REMAINING ELEVATIONS.



GROUND FLOOR PLAN

© copyright



CVO 9

FIXING CARPENTER NOTES

- 1. 450w SHELF & RAIL TO ROBES & WIR TO BE 1700afl.
- 2. 4x400w (U.O.N.) SHELVES TO LINEN TO BE 500, 900, 1300 & 1700afl.
- 3. BROOM SHELF @ 1700afl.

CONCRETOR NOTE

1. GARAGE & FREESTANDING EXTERNAL BRICK PIER FOOTINGS TO BE AT -3c U.O.N.

WINDOW MANUFACTURER

1. OPENABLE UPPER FLOOR BEDROOM WINDOWS NON-COMPLIANT WITH BCA Vol. 2 CLAUSE 3.9.2.5 TO BE RESTRICTED TO MAX OPENING OF 125mm.

GENERAL NOTES

RENDERED BRICKWORK.

COLORBOND ROOF.

R4.1 CEILING INSULATION TO INTERNAL CEILINGS & GARAGE ONLY.

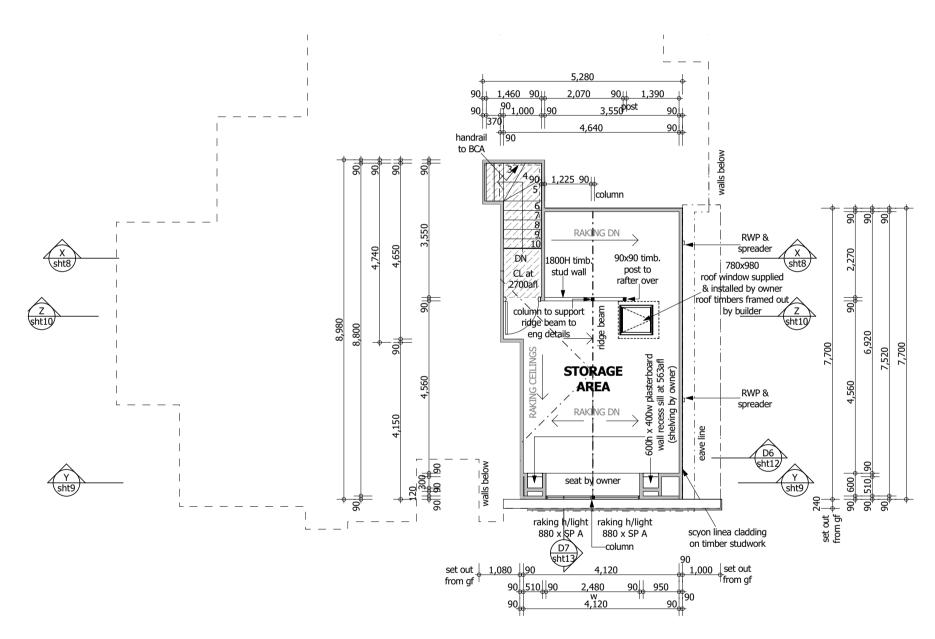
R1.5 ANTICON ROOF INSULATION THROUGHOUT.

CAVITY INSULATION BY OWNER

R2.5 WALL INSULATION TO ATTIC WALLS THROUGHOUT

N1 WIND REGION.

RWP POSITIONS SHOWN ARE APPROX AND ARE POSITIONED AT THE ROOF PLUMBERS DISCRETION. RWP'S SHOWN ON FRONT ELEVATION FOR VISUAL REFERENCE, REFER TO PLANS FOR REMAINING ELEVATIONS.



STORAGE AREA PLAN

Area Calc

PORCH

GARAGE / STORE
OUTDOOR ENTERTAINING
GROUND FLOOR STORAGE AREA

46.75 23.18 248.47 37.87

2.74

359.01 m²

CUSTOM

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PROPOSED RESIDENCE ADDRESS: 116 Brookdale Street, **Floreat** FOR: Chad Ziegler & Judit Szito

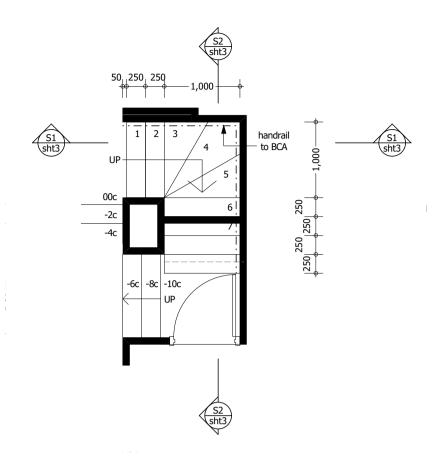
11/10/19 Vince Theatre window raised 22/10/19 Vince 28/10/19 Vince PCVO1 WIP amended Engineering OWNER: 31/10/19 Vince 4/11/19 Vince 20/11/19 Vince WABCA items OWNER: Planter/Porch change Update Eng Amend 10/12/19 GM 21/12/19 GM PSVO 1 PSVO 3 BUILDER: 18/12/19 GM cladding amend 19/12/19 GM 18/3/20 GM DATE:

AMENDMENTS:

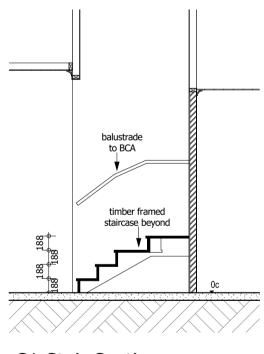
CVO 9 CVO 12

SIGNATURES:

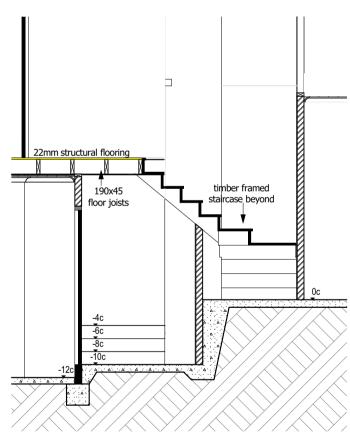
SHEET2 OF 19 DRN: Vince DATE: 20/8/19 SCALE:1:100, 1:20@ A3 CONTRACT NO: 19014



STAIR LAYOUT



S1 Stair Section



S2 Stair Section

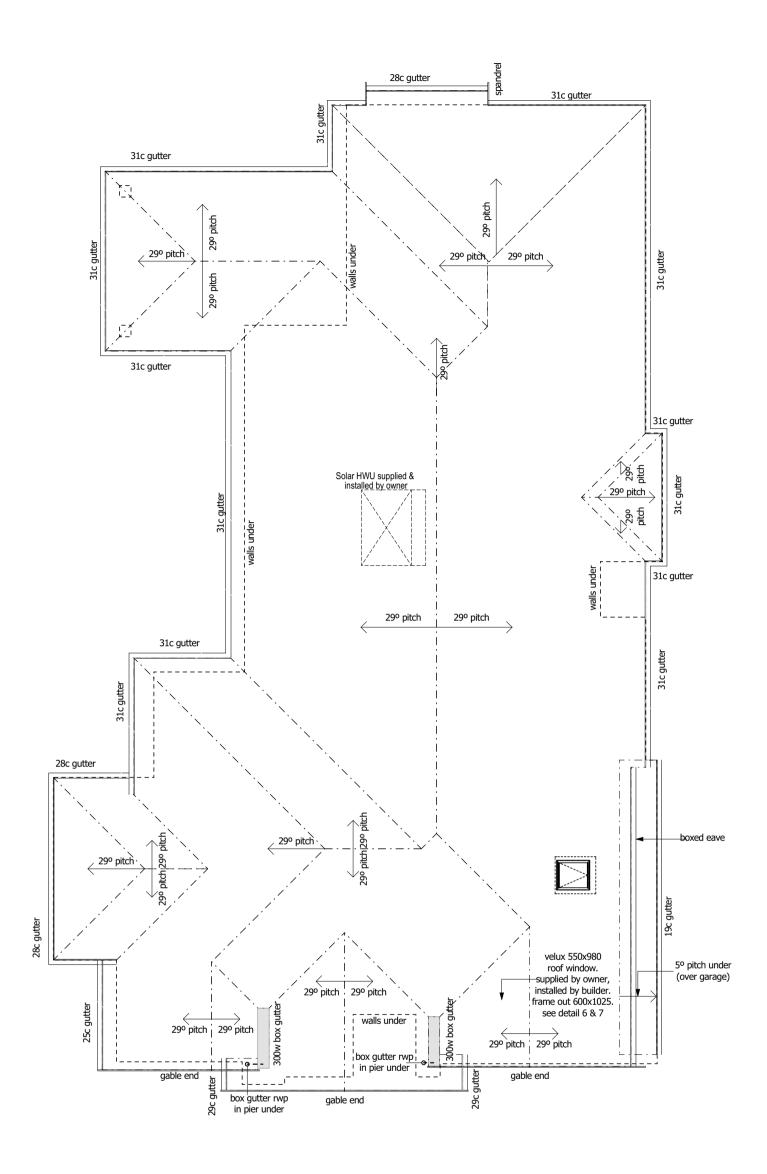
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PROPOSED RESIDENCE ADDRESS: 116 Brookdale Street, Floreat FOR: Chad Ziegler & Judit Szito

SIGNATURES:	I
	ŀ
OWNER:	ŀ
OWNER:	ŀ
	ŀ
BUILDER:	ŀ
DATE:	

| AMENDMENTS: | CUSTOM | 11/10/19 | Vince | Theatre window raised | 22/10/19 | Vince | PCVO1 WIP amended | SHEET3 | OF 19 | 28/10/19 | Vince | Engineering | DRN: Vince | 31/10/19 | Vince | WABCA items | 4/11/19 | Vince | Update Eng Amend | DATE: 20/8/19 | 20/11/19 | GM | PSVO 1 | SCALE:1:100, 1:50 @ A3 | 21/12/19 | GM | PSVO 3 | SCALE:1:100, 1:50 @ A3 | 18/12/19 | GM | PSVO 4 | SWO 1 | S



Roof Plan (GF)

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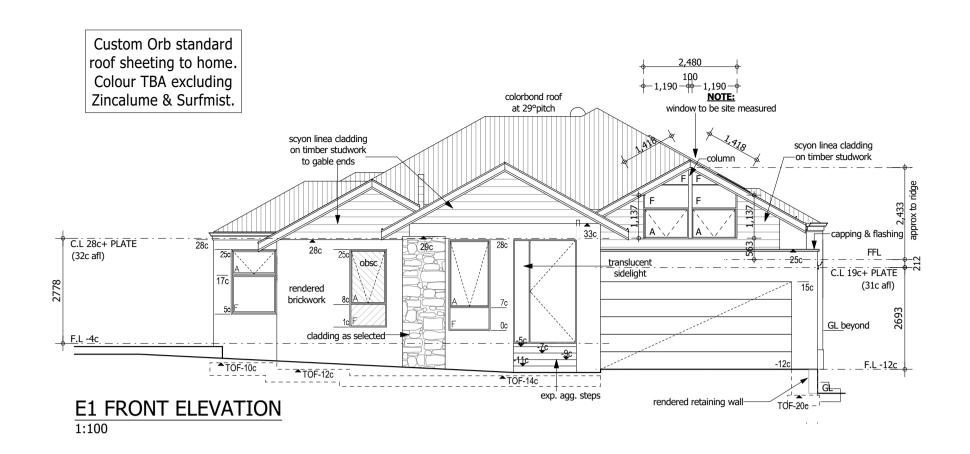


PROPOSED RESIDENCE ADDRESS: 116 Brookdale Street, **Floreat** FOR: Chad Ziegler & Judit Szito

SIGNATURES: AMENDMENTS: 11/10/19 Vince Tr 22/10/19 Vince PC 28/10/19 Vince PC 28/10/19 Vince PC 31/10/19 Vince PC 31/10/19 Vince PC 4/11/19 Vince PC 20/11/19 Vince Up 10/12/19 GM PS 18/12/19 GM PS 20/05/20 CW CV					
OWNER: 22/10/19 Vince PC 28/10/19 Vince ET 31/10/19 Vince ET 31/10/19 Vince W 4/11/19 Vince W 20/11/19 Vince W 20/11/19 Vince W 20/11/19 Vince U 10/12/19 GM PS 21/12/19 GM PS 18/12/19 GM Cd 19/12/19 GM PS 18/12/19 GM Cd 19/12/19 GM PS 18/3/20 GM CV Cd 18/3/20 GM CV		SIGNATURES:	AMENE	DMENTS	S :
OWNER: 28/10/19 Vince Er 31/10/19 Vince W 11/10/19 Vince Pu 10/12/19 GM PS 11/12/19 GM PS 11/12/19 GM PS 11/12/19 GM Cd 11/12/19 GM PS 11/12/			11/10/19	Vince	Th
28/10/19 Vince ET 31/10/19 Vince W W W W W W W W W		OWNER:	22/10/19	Vince	PC
OWNER: 4/11/19 Vince Pla 20/11/19 Vince U 10/12/19 GM PS BUILDER: 21/12/19 GM PS 18/12/19 GM Cd DATE: 18/3/20 GM CV		OWNER.	28/10/19	Vince	Er
20/11/19 Vince Up 10/12/19 GM PS BUILDER: 21/12/19 GM PS 18/12/19 GM cla DATE: 18/3/20 GM CV			31/10/19	Vince	W
BUILDER: 10/12/19 GM PS 21/12/19 GM PS 18/12/19 GM cla 19/12/19 GM PS 18/3/20 GM CV		OWNER:	4/11/19	Vince	Pla
BUILDER: 21/12/19 GM PS 18/12/19 GM cla 19/12/19 GM PS 18/3/20 GM CV			20/11/19	Vince	U
18/12/19 GM cla 19/12/19 GM PS DATE: 18/3/20 GM CV			10/12/19	GM	PS
DATE: 19/12/19 GM PS 18/3/20 GM CV		BUILDER:	21/12/19	GM	PS'
DATE: 18/3/20 GM CV			18/12/19	GM	cla
18/3/20 GIV CV		DATE	19/12/19	GM	PS'
20/05/20 CW CV	DATE:	DATE:	18/3/20	GM	CV
	_		20/05/20	CW	C١

Theatre window raised PCVO1 WIP amended Engineering WABCA items Planter/Porch change Update Eng Amend PSVO 1 PSVO 3 Cladding amend SHEET4 OF 19 DRN: Vince DATE: 20/8/19 SCALE:1:100@ A3 cladding amend PSVO 4 CVO 9 CVO 12 CONTRACT NO: 19014

CUSTOM





E3 REAR ELEVATION
1:100

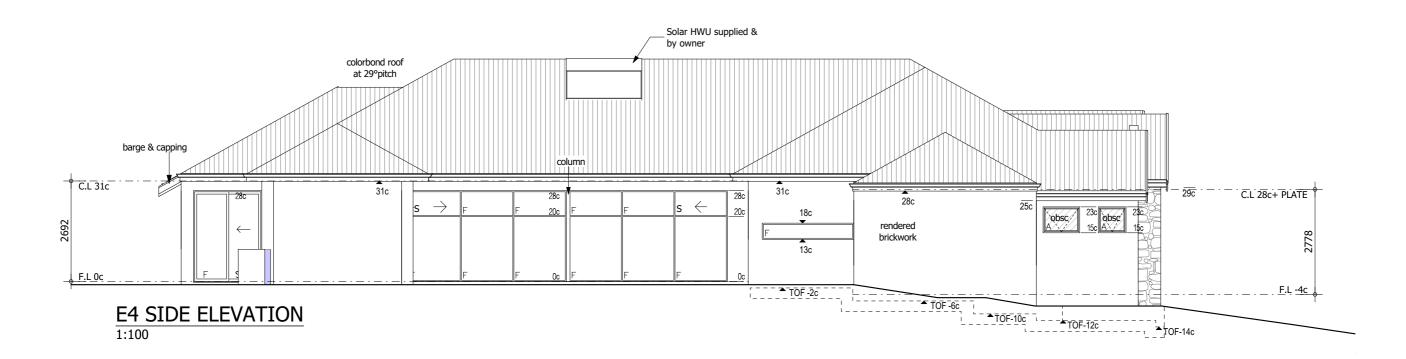
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SIGNATURES:	AMENE	AMENDMENTS:		CUSTOM
	11/10/19		Theatre window raised	SHEET5 OF 19
OWNER:	22/10/19	Vince	PCVO1 WIP amended	SUEE15 OL 19
	28/10/19	Vince	Engineering	DRN: Vince
	31/10/19	Vince	WABCA items	DIVIN. VIIICE
OWNER:	4/11/19	Vince	Planter/Porch change	DATE: 20/8/19
	20/11/19	Vince	Update Eng Amend	DATE: 20/8/19
	10/12/19	GM	PSVO 1	SCAL F:1:100@ A3
BUILDER:	21/12/19	GM	PSVO 3	30/1LL.1.100 0 /10
	18/12/19	GM	cladding amend	CONTRACT NO:
DATE	19/12/19	GM	PSVO 4	
DATE:	18/3/20	GM	CVO 9	19014
	20/05/20	CW	CVO 12	

Custom Orb standard roof sheeting to home. Colour TBA excluding Zincalume & Surfmist. colorbond roof at 29°pitch scyon linea cladding barge & capping on timber studwork pitching point C.L 31c barge & reading FL capping C.L 19c+ PLATE colorbond roof (31c afl) at 5°pitch rendered exp. agg. concrete edge of driveway brickwork brick build up _____TOF_8c_____ raking rendered _____TOF-16c______ hot & cold plumbing outlets at 1300 agl & shower head at TOF-20c -2000 agl for future outdoor shower brick steps line of driveway

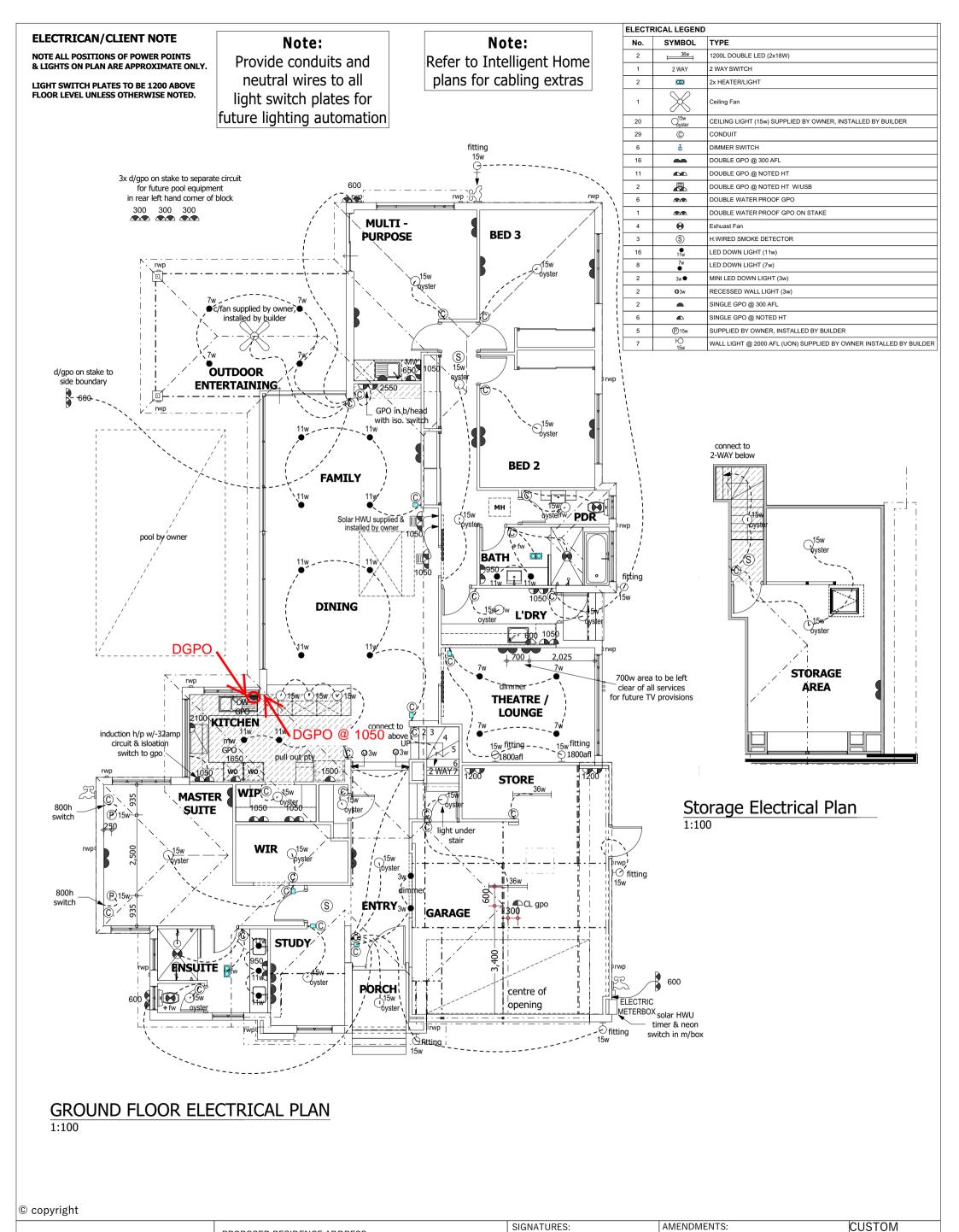
E2 SIDE ELEVATION



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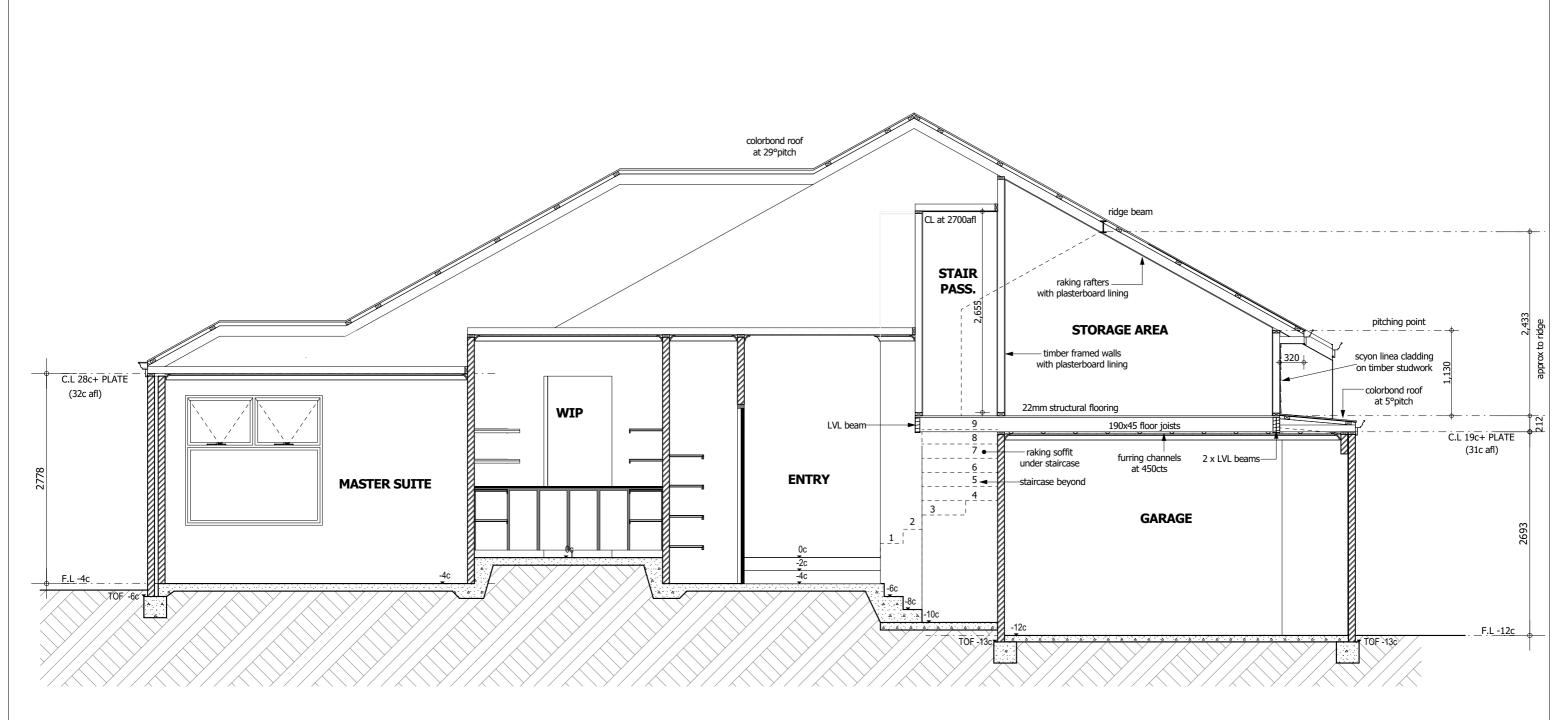
SIGNATURES:	AMENDMENTS:		CUSTOM	
	10/10/19 Vince Bwk t	to UF & r/wall adjusted	OLIFETS OF 10	
OWNER:		tre window raised	SHEET6 OF 19	
OWNER.	22/10/19 Vince PCV	O1 WIP amended	DRN: Vince	
	28/10/19 Vince Engir	neering	DIVIN. VINCE	
OWNER:	31/10/19 Vince WAB	CA items	DATE: 20/8/19	
	4/11/19 Vince Plant	er/Porch change	DATE: 20/6/19	
	20/11/19 Vince Upda	ate Eng Amend	SCALE:1:100 @ A3	
BUILDER:	10/12/19 GM PSVC	1] SOMEE.11.100 @ AS	
	21/12/19 GM PSVC	3	CONTRACT NO:	
	18/12/19 GM cladd	ing amend		
DATE:	19/12/19 GM PSVC	0.4	19014	
	15	18/3/20 GM CVO	9	1 3 - 1



PROPOSED RESIDENCE ADDRESS: 116 Brookdale Street, Floreat FOR: Chad Ziegler & Judit Szito

11/10/19 Vince Theatre window raised SHEET:7 OF 19 22/10/19 Vince 28/10/19 Vince 31/10/19 Vince 4/11/19 Vince 20/11/19 Vince PCVO1 WIP amended
Engineering OWNER: DRN: Vince WABCA items Planter/Porch change DATE: 20/8/19 OWNER: Update Eng Amend 10/12/19 GM 21/12/19 GM PSVO 1 PSVO 3 SCALE:1:100@ A3 BUILDER: 18/12/19 GM 19/12/19 GM 18/3/20 GM CONTRACT NO: cladding amend DATE: 19014 CVO 9

CVO 1

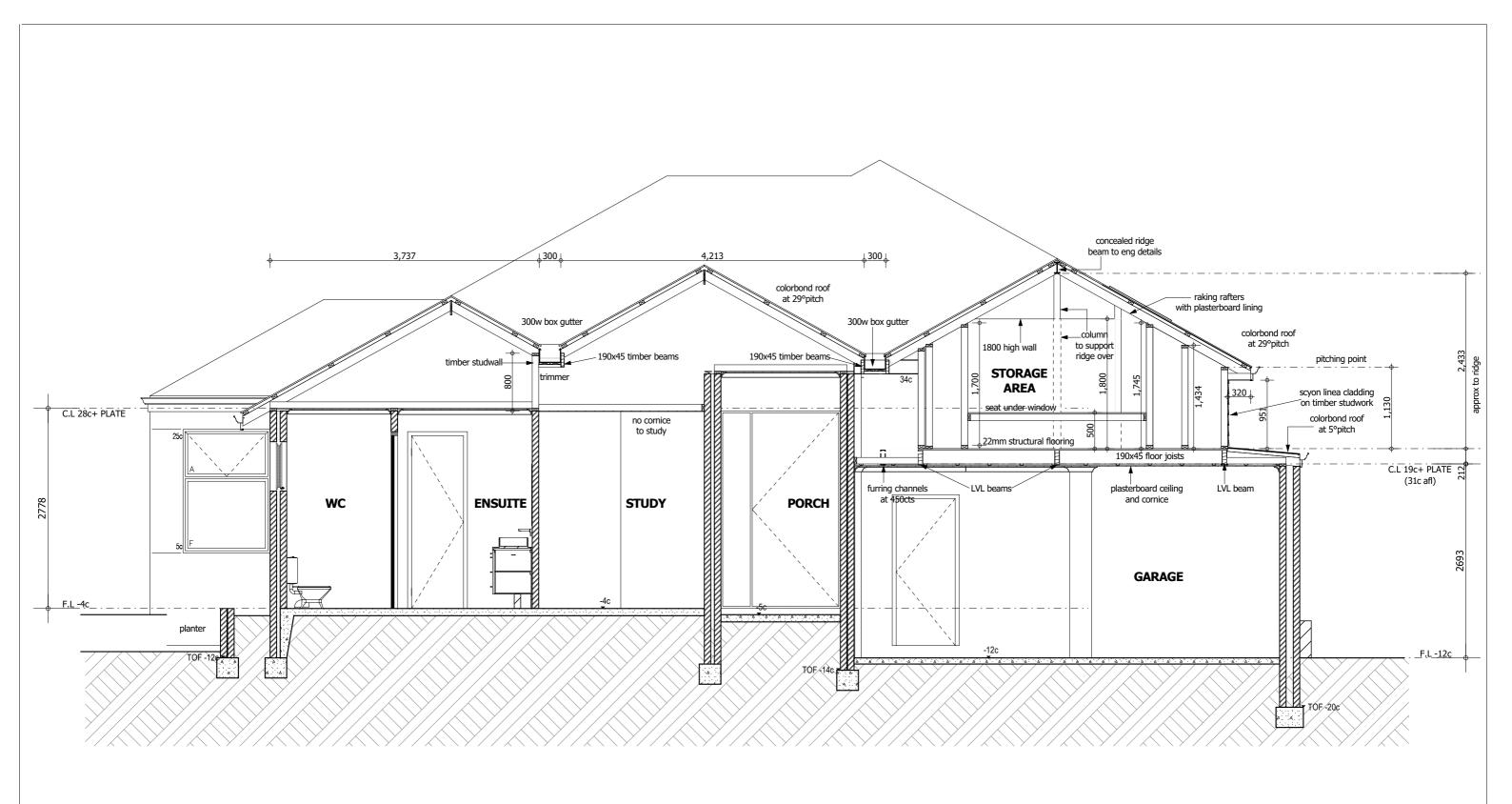


X Section 1:50

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SIGNATURES:	AMENDMENTS:	CUSTOM
	10/10/19 Vince Bwk to UF & r/wall adjust 11/10/19 Vince Theatre window raised	SHFFT8 OF 19
OWNER:	22/10/19 Vince PCVO1 WIP amended	DRN: Vince
OWNED.	28/10/19 Vince Engineering 31/10/19 Vince WABCA items	
OWNER:	4/11/19 Vince Planter/Porch change	DATE: 20/8/19
BUILDER:	20/11/19 Vince Update Eng Amend 10/12/19 GM PSVO 1	SCALE:1:50 @ A3
BOILDEIN.	21/12/19 GM PSVO 3	CONTRACT NO:
DATE:	18/12/19 GM cladding amend 19/12/19 GM PSVO 4	19014
	18/3/20 GM CVO 9	13014



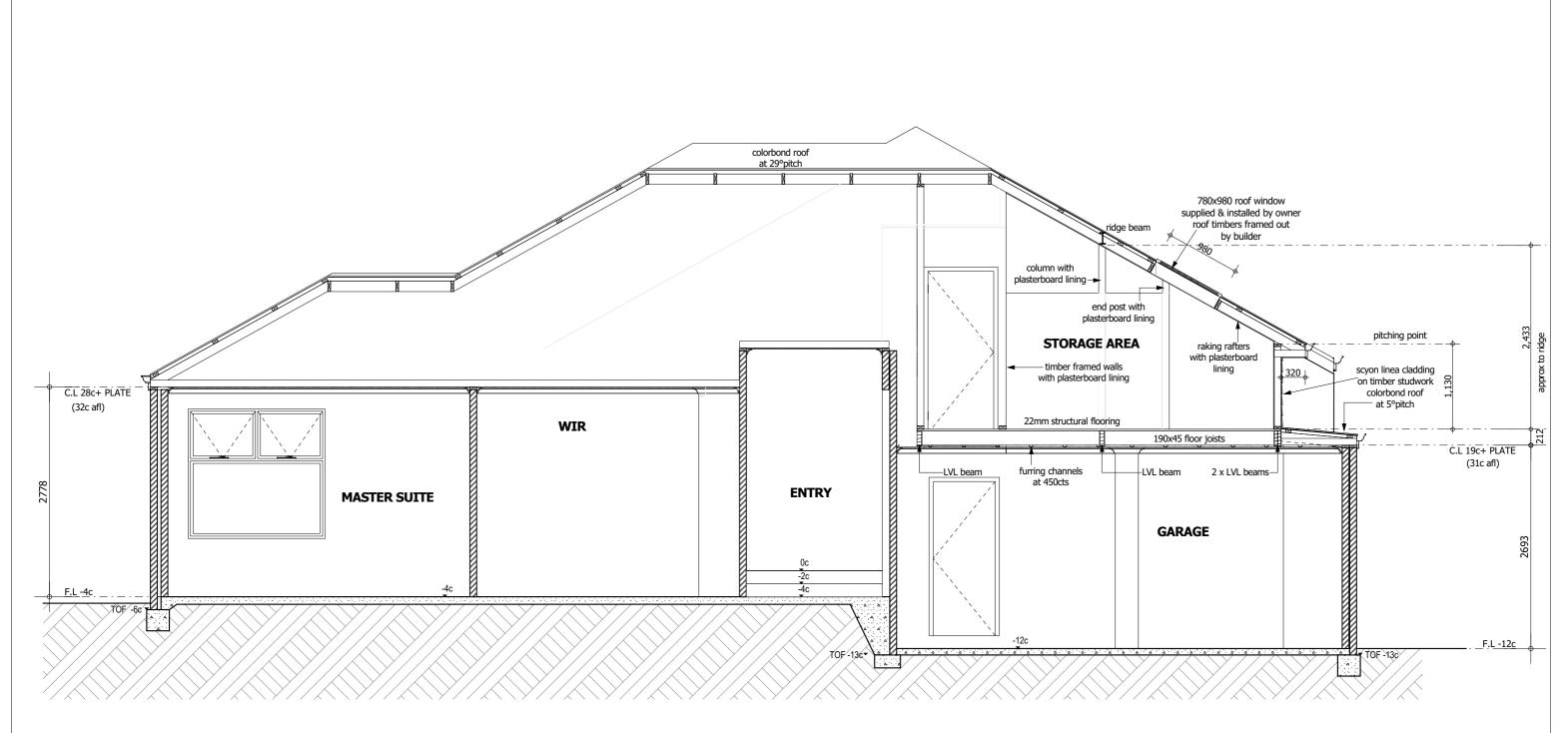
Y Section

1:50

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SIGNATURES:		DMENTS		CUSTOM
OWNER:	10/10/19 11/10/19	Vince	Bwk to UF & r/wall adjusted Theatre window raised	SHEET9 OF 19
	22/10/19 28/10/19		PCVO1 WIP amended Engineering	DRN: Vince
IOWINEIN.	31/10/19 4/11/19		WABCA items Planter/Porch change	DATE: 20/8/19
	20/11/19	Vince	Update Eng Amend	SCALF:1:50 @ A3
	10/12/19 21/12/19		PSVO 1 PSVO 3	00,122,000
DATE:	18/12/19	GM	cladding amend	CONTRACT NO:
	19/12/19	GM	PSVO 4	19014

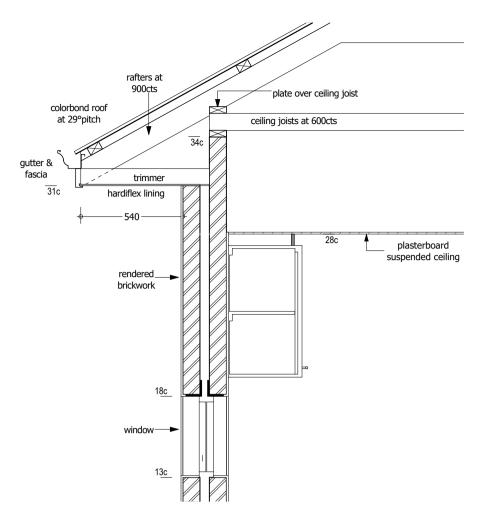


Z Section 1:50

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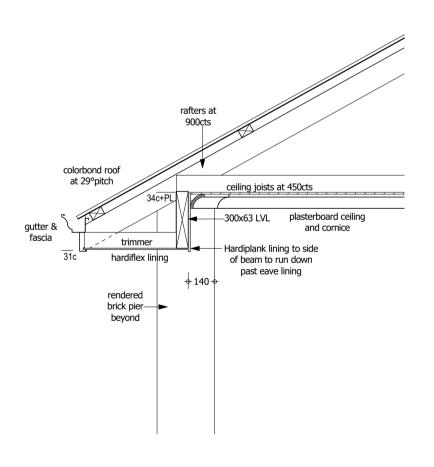
	SIGNATURES:		DMENTS		CUSTOM
	OWNER	10/10/19 11/10/19		Bwk to UF & r/wall adjusted Theatre window raised	SHEET10 OF 19
	OWNER:	22/10/19	Vince	PCV01 WIP amended	DRN: Vince
		28/10/19		Engineering	DITTY. VIIICE
	OWNER:	31/10/19		WABCA items	DATE: 20/8/19
		4/11/19 20/11/19		Planter/Porch change Update Eng Amend	SCALF:1:50 @ A3
	BUILDER:	10/12/19		PSVO 1	SCALE:1:50 @ A3
		21/12/19		PSVO 3	CONTRACT NO:
	DATE.	18/12/19		cladding amend	
DATE		19/12/19		PSVO 4	19014



colorbond roof at 29°pitch ceiling joists at 600cts gutter & standard suspended ceiling suspended ceiling plasterboard suspended ceiling suspended ceiling

D2 KITCHEN STANDARD EAVE DETAIL

D1 KITCHEN WIDE EAVE DETAIL



rafters at double wall plate colorbond roof ceiling joists at 450cts at 29°pitch 34c+PL plasterboard ceiling 200UB gutter & to eng detail fascia trimmer Hardiplank lining to side hardiflex lining of beam to run down past eave lining 140 545 rendered -brick pier beyond

D3 ALFRESCO LVL DETAIL

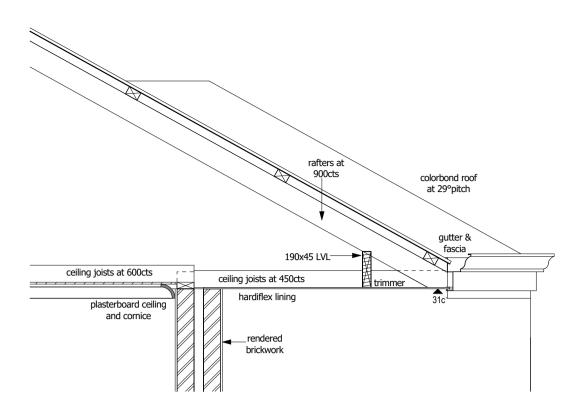
D4 ALFRESCO STEEL BEAM DETAIL

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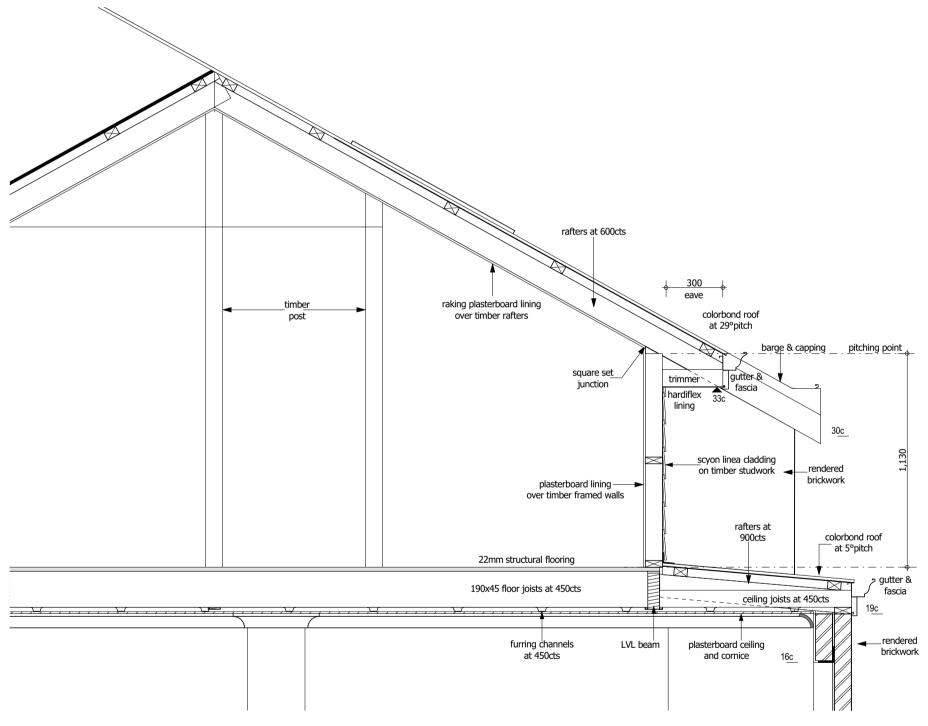


PROPOSED RESIDENCE ADDRESS: 116 Brookdale Street, Floreat FOR: Chad Ziegler & Judit Szito

AMENDMENTS: SIGNATURES: CUSTOM 11/10/19 Vince Theatre window raised
22/10/19 Vince PCVO1 WIP amended
28/10/19 Vince Engineering
31/10/19 Vince WABCA items
4/11/19 Vince Planter/Porch change
20/11/19 Vince Update Eng Amend SHEET11 OF 19 OWNER: DRN: Vince OWNER: DATE: 20/8/19 20/11/19 VINC 10/12/19 GM 21/12/19 GM 18/12/19 GM 19/12/19 GM 18/3/20 GM PSVO 1 PSVO 3 SCALE:1:20, 1:50@ A3 BUILDER: CONTRACT NO: cladding amend PSVO 4 CVO 9 CVO 12 DATE: 19014



D5 LAUNDRY DETAIL

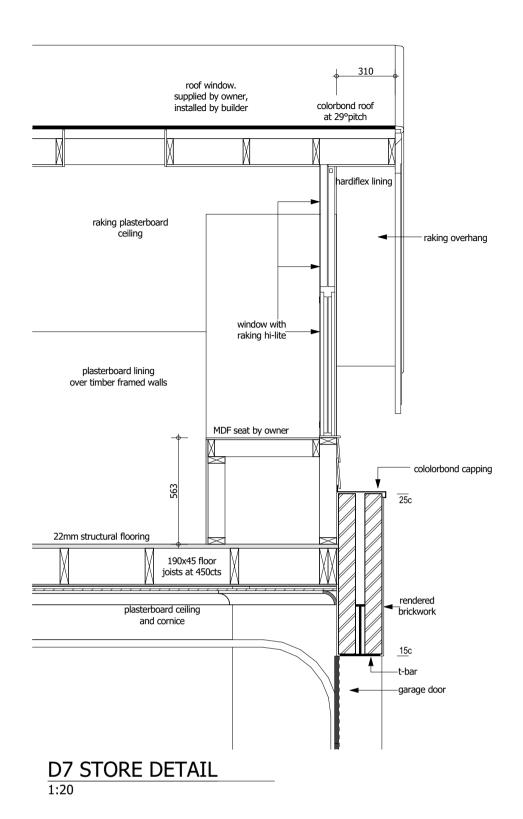


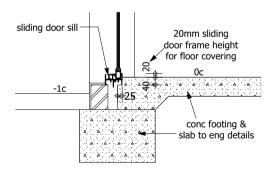
D6 STORE DETAIL

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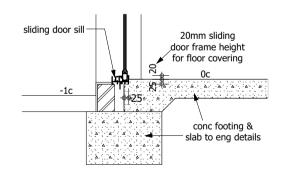


SIGNATURES:	AMENDMEN	TS:	CUSTOM
OWNER:	11/10/19 Vince 22/10/19 Vince	Theatre window raised PCVO1 WIP amended	SHEET12 OF 19
	28/10/19 Vince 31/10/19 Vince	Engineering WABCA items	DRN: Vince
OWNER:	4/11/19 Vince 20/11/19 Vince	Planter/Porch change Update Eng Amend	DATE: 20/8/19
BUILDER:	10/12/19 GM 21/12/19 GM	PSVO 1 PSVO 3	SCALE:1:20@ A3
	18/12/19 GM 19/12/19 GM	cladding amend PSVO 4	CONTRACT NO:
DATE:	18/3/20 GM	CVO 9	19014
	20/05/20 CW	CVO 12	





 $\underset{1:20}{\underline{\mathsf{Family Sliding Door Sill Detail}}}$



Multi-Room Sliding Door Sill Detail

CUSTOM

DRN: Vince

DATE: 20/8/19

SCALE:1:20@ A3

CONTRACT NO:

19014

SHEET13 OF 19

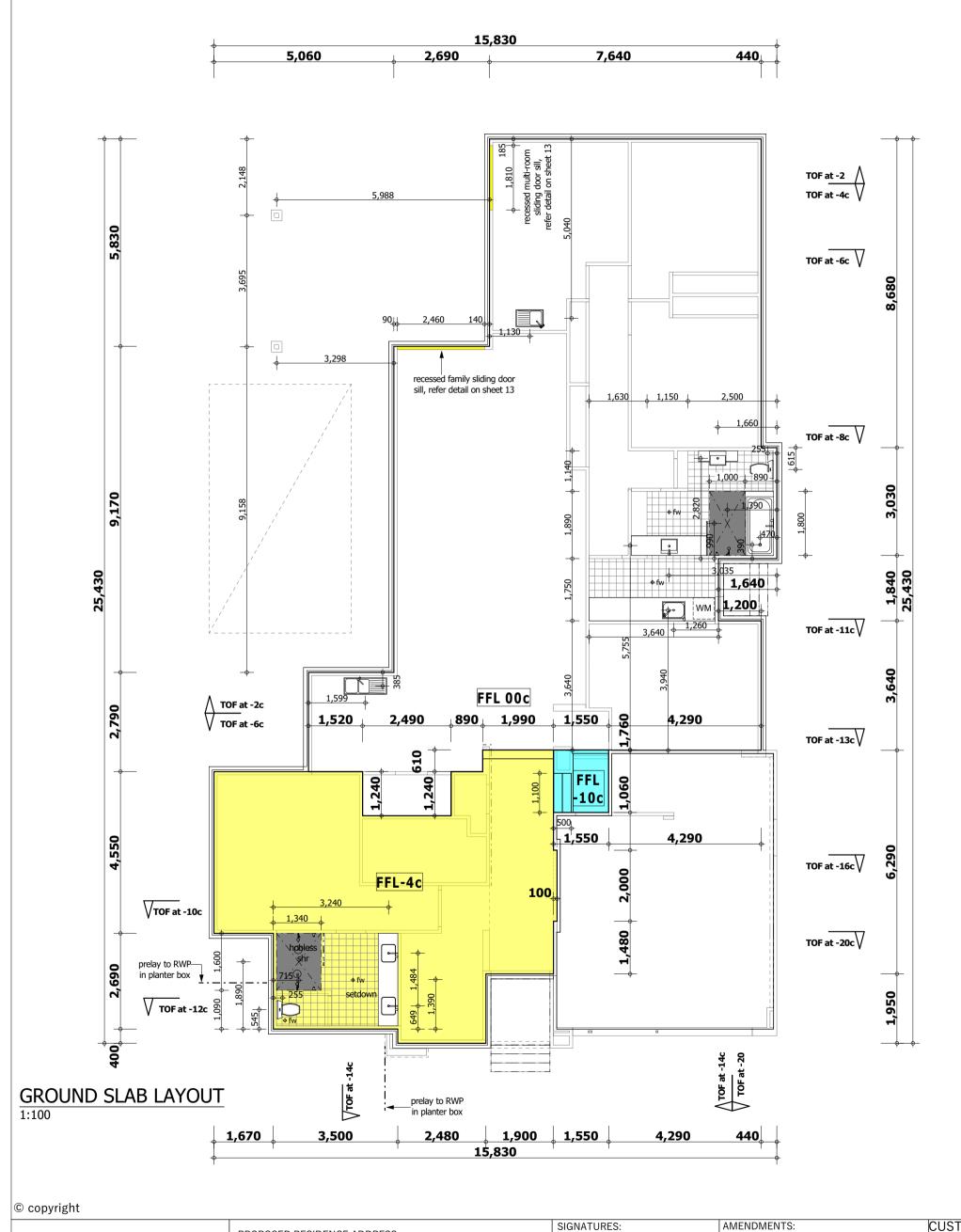
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SIGNATURES:	AMENDMEN	TS:
	11/10/19 Vince	Theatre window raised
OWNER:	22/10/19 Vince	PCVO1 WIP amended
OWNER.	28/10/19 Vince	Engineering
	31/10/19 Vince	WABCA items
OWNER:	4/11/19 Vince	Planter/Porch change
	20/11/19 Vince	Update Eng Amend
	10/12/19 GM	PSVO 1
BUILDER:	21/12/19 GM	PSVO 3
	18/12/19 GM	cladding amend
B. T.	19/12/19 GM	PSVO 4
DATE:	18/3/20 GM	CVO 9
	20/05/20 CW	CVO 12

CONCRETOR NOTE

1. GARAGE & FREESTANDING EXTERNAL BRICK PIER FOOTINGS TO BE AT -3c U.O.N.



C O A S T

SIGNATURES:	AMENDMENT	AMENDMENTS: (
OWNER:	11/10/19 Vince 22/10/19 Vince	Theatre window raised PCV01 WIP amended	SHEET14 OF 19
OWNER.	28/10/19 Vince 31/10/19 Vince	Engineering WABCA items	DRN: Vince
OWNER:	4/11/19 Vince 20/11/19 Vince		DATE: 20/8/19
BUILDER:	10/12/19 GM 21/12/19 GM	PSVO 1 PSVO 3	SCALE:1:100@ A3
	18/12/19 GM 19/12/19 GM	cladding amend PSVO 4	CONTRACT NO:
DATE:	18/3/20 GM 20/05/20 CW	CVO 12	19014

