



SHEET: 1 OF 1

SURVEY DATE: 06/06/18

MAP REFERENCE:

COASTAL ZONE: >1KM

SEWER INFORMATION: YES

(2) DEVELOPMENT AREA: ESTABLISHED

SERVICE NOTES
 L: LOCATED NS: NO SERVICE
 A: AVAILABLE BUT NOT LOCATED
 TBC: LOCATION TO BE CONFIRMED

DEPTH TO CONNECTION: 1.44

1. The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A repeg / bdy identification survey is recommended if an accurate position of features / improvements relative to the boundary is required.

2. The sewer junction on this plan has been plotted using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.

3. The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plans. The final repegged dimensions may vary due to adjustments made during field survey.

4. All service information shown of this plan should be verified with the relevant authorities.

5. Pro West Surveying does not accept liability for any loss or damage caused by the use of this feature survey plan for any purpose.



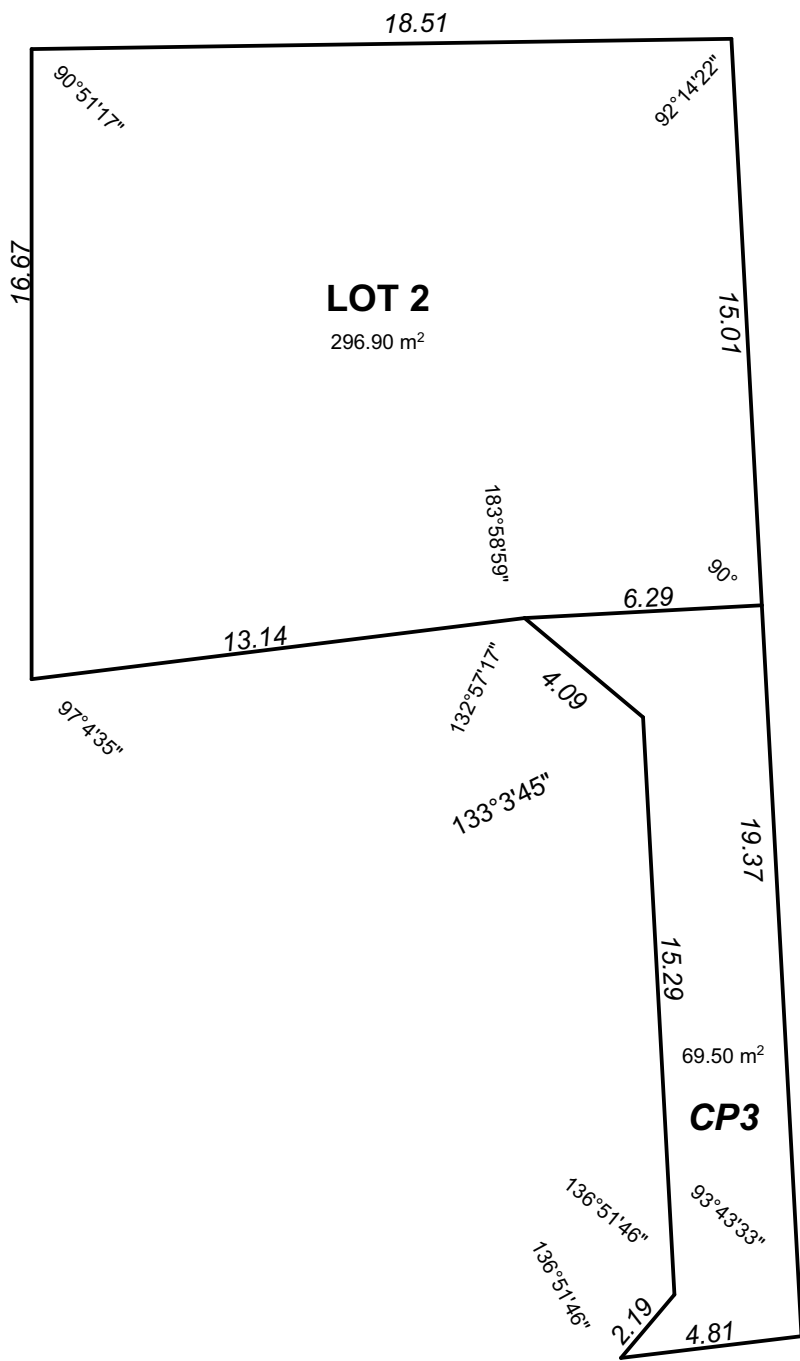
Sheet No: 2 of 10

Specification: PEARL

The home will be built to the dimensions on the	This plan shall re
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This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed or copied without the permission in writing

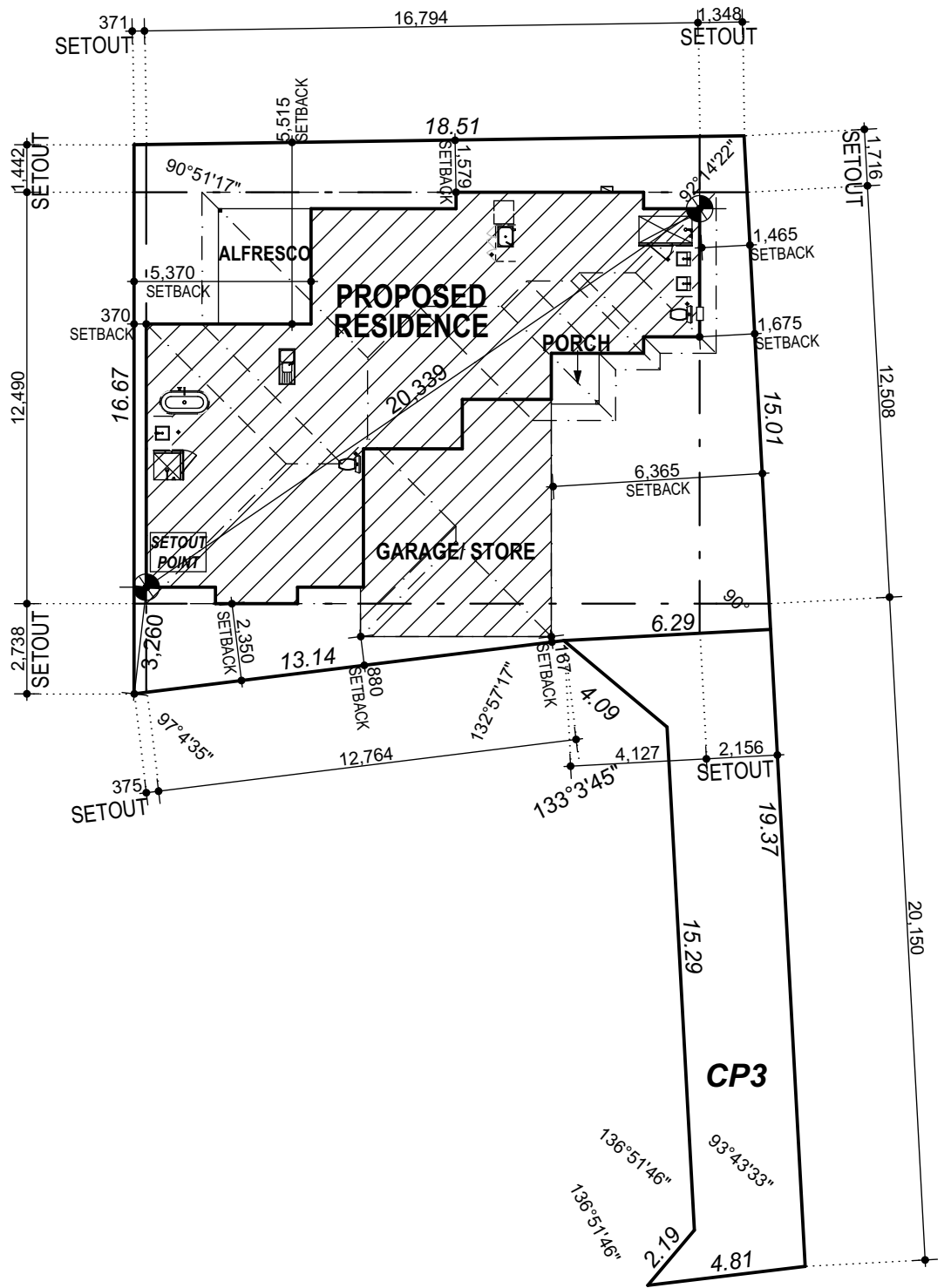
REV NO.	VARIATION	DATE DRN.	BY
1	WORKING DRAWINGS + VR	25/06/2018	VN-AA
2	DRAFTING CORRECTION	26/07/2018	MP
3	PRESTART	19/10/2018	VN-EM
4	PLANNING CHANGES - VO 2	13/02/2019	MG
5	VO 3	18/03/2019	MG
6	DRAFTING FIXES	25/03/2019	MG
7			
8			
9			
10			



CARIDEAN STREET

Strata Plan

1:200



CARIDEAN STREET

Site Layout

1:200



my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: CUSTOM

Job No:18062

Drawing Name: SITE LAYOUT

Sheet No: 3 of 10

Lot Address:2 (#156 A) CARIDEAN STREET,HEATHRIDGE

Council: JOONDALUP

Specification: PEARL

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT

Client Name: LINDSEY ALANA KENYON

Date: -----/-----/-----

Signature: -----

Client Name:

Date: -----/-----/-----

Signature: -----

The home will be built to the dimensions on the working drawings within a reasonable tolerance

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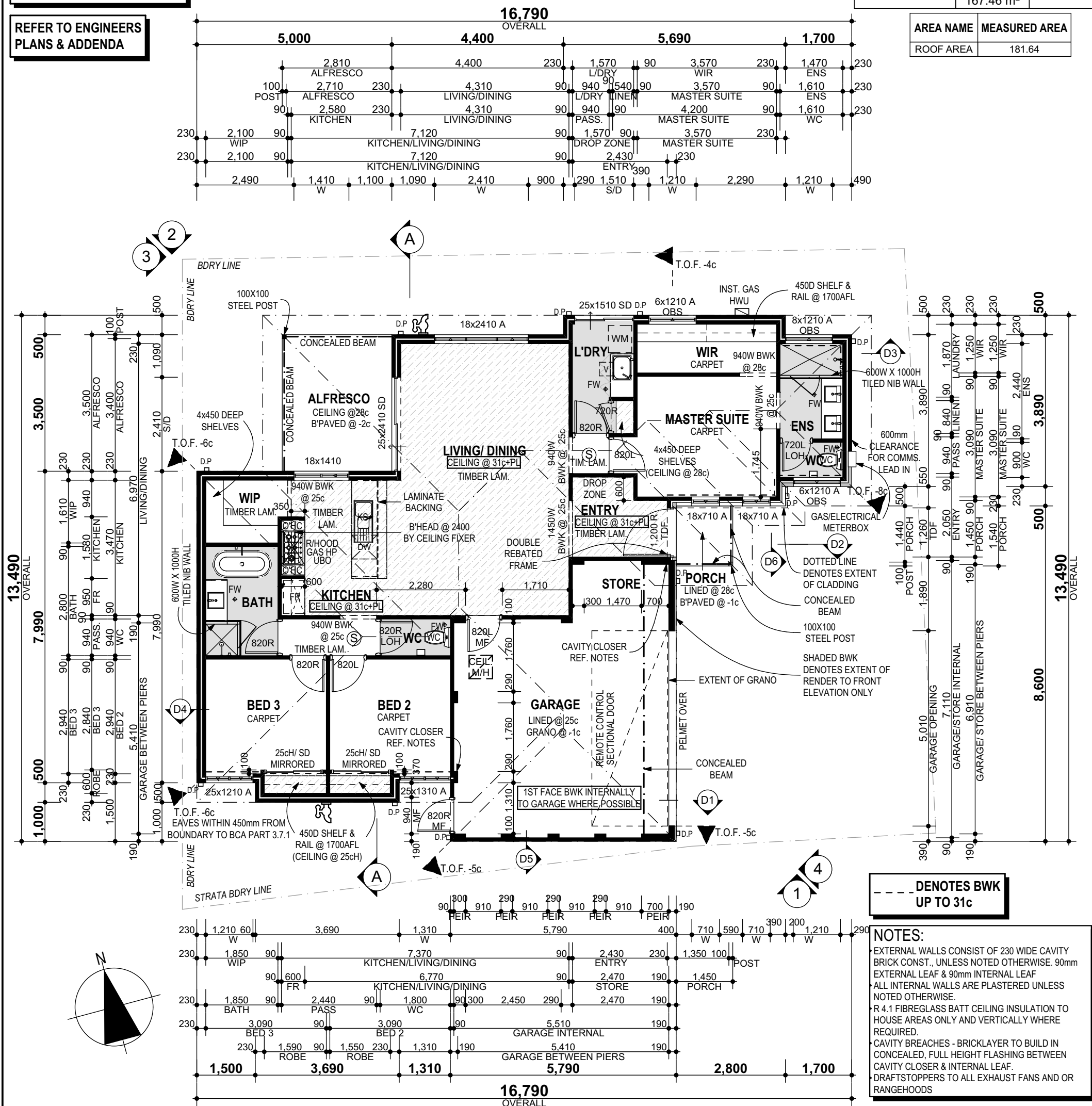
VARIATIONS

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**REFER TO ENGINEERS
PLANS & ADDENDA**

Area Name	Measured Area	Perimeter
ALFRESCO	9.83	12.62
GARAGE/ STORE	36.68	25.98
PORCH	2.23	5.98
PROPOSED RESIDENCE	118.72	58.56
	167.46 m ²	

AREA NAME	MEASURED AREA
ROOF AREA	181.64



Floor Plan

1:100



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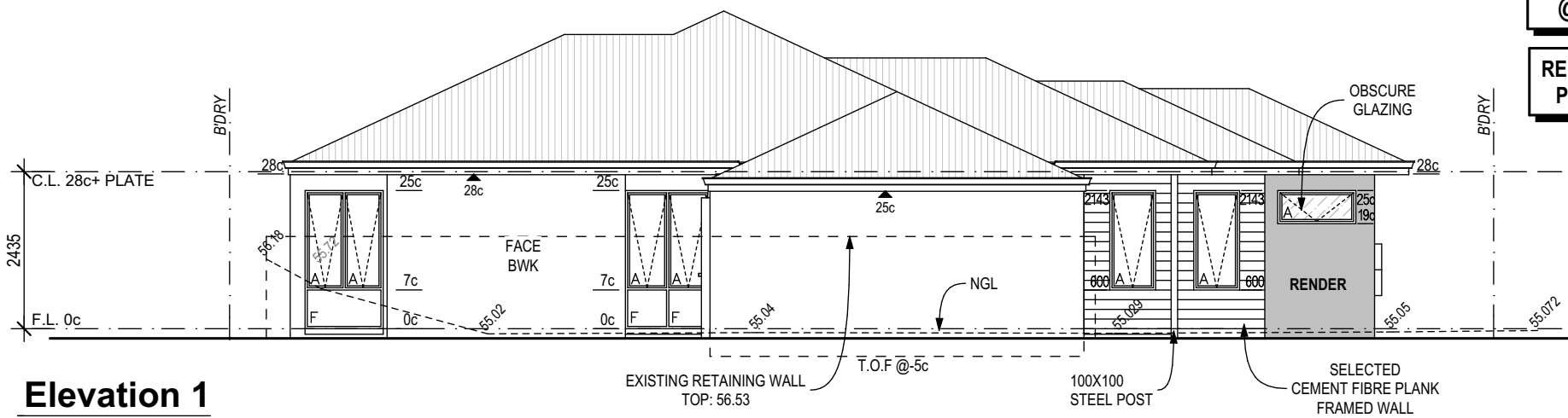
41 cedric st., stirling

House Type: CUSTOM		Job No:18062	Drawing Name: FLOOR PLAN		Sheet No: 4 of 10	
Lot Address:2 (#156 A) CARIDEAN STREET,HEATHRIDGE			Council: JOONDALUP	Specification: PEARL		
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT			VARIATIONS			
Client Name: LINDSEY ALANA KENYON Signature: _____ Date: ____/____/____			REV NO.	VARIATION	DATE DRN.	BY
			1	WORKING DRAWINGS + VR	25/06/2018	VN-AA
Client Name: Signature: _____ Date: ____/____/____			2	DRAFTING CORRECTION	26/07/2018	MP
			3	PRESTART	19/10/2018	VN-EM
Client Name: Signature: _____ Date: ____/____/____			4	PLANNING CHANGES - VO 2	13/02/2019	MG
			5	VO 3	18/03/2019	MG
The home will be built to the dimensions on the working drawings within a reasonable tolerance			6	DRAFTING FIXES	25/03/2019	MG
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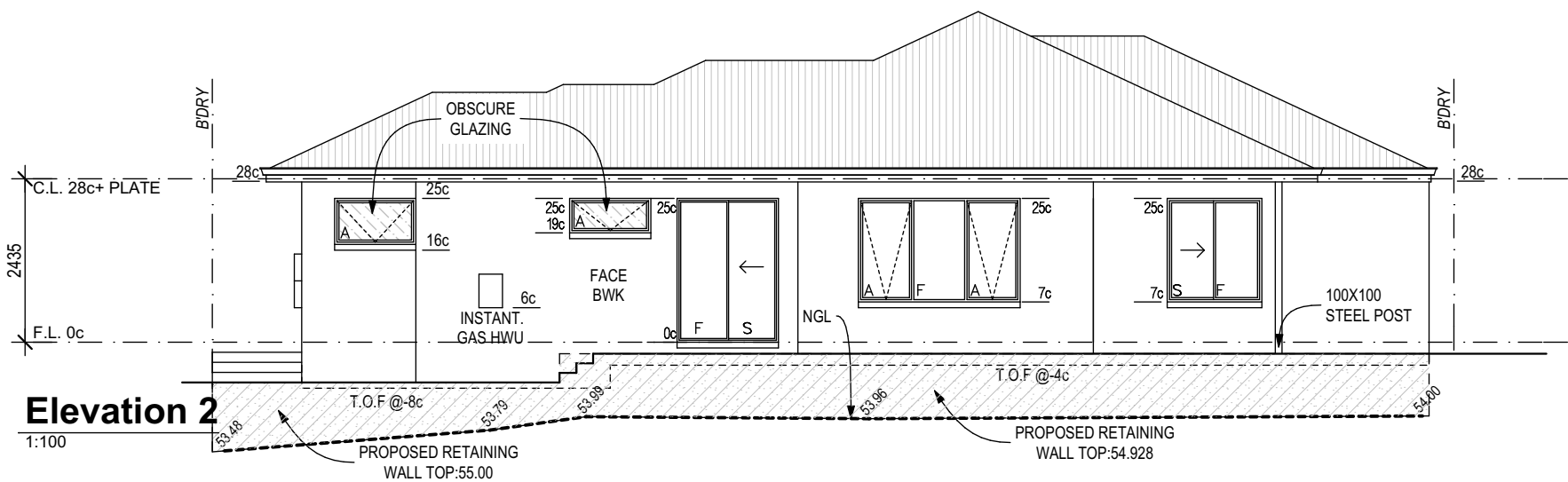
28c CEILINGS THROUGHOUT
UNLESS OTHERWISE NOTED

COLORBOND ROOF
@ 25° 00' PITCH

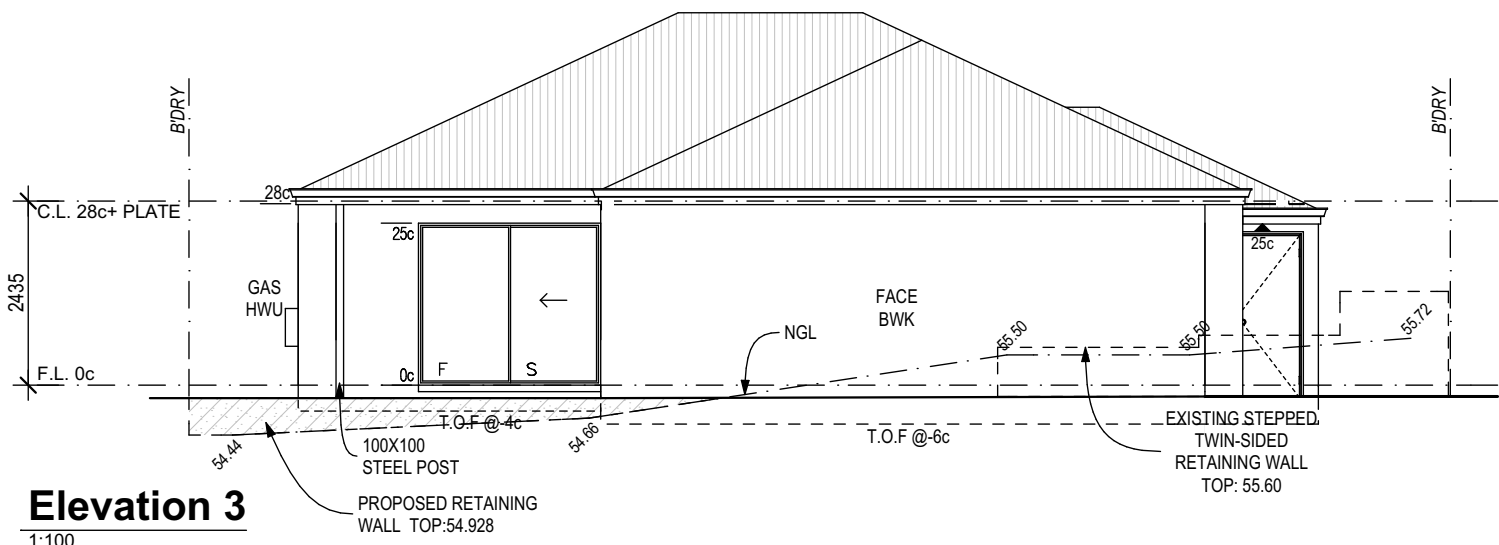
REFER TO ENGINEERS
PLANS & ADDENDA



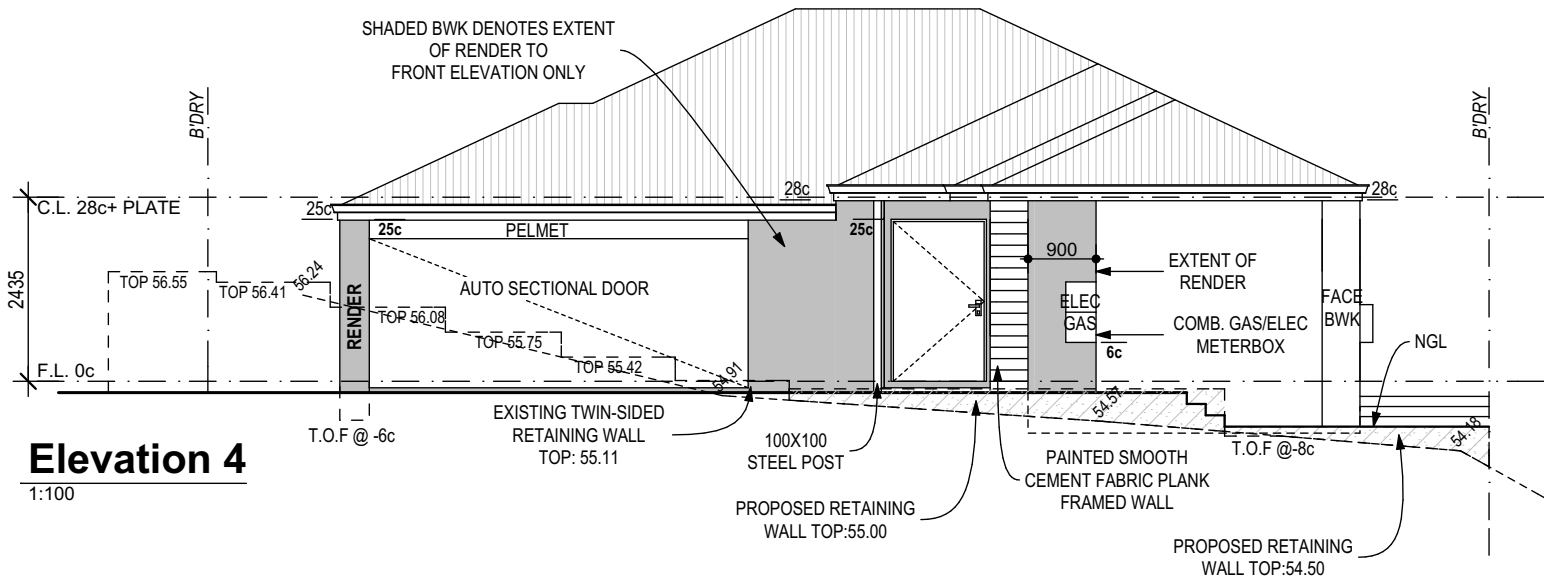
Elevation 1
1:100



Elevation 2
1:100



Elevation 3
1:100



Elevation 4
1:100



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WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: CUSTOM

Job No:18062

Drawing Name: ELEVATIONS

Sheet No: 5 of 10

Lot Address:2 (#156 A) CARIDEAN STREET,HEATHRIDGE

Council: JOONDALUP

Specification: PEARL

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Client Name: LINDSEY ALANA KENYON

Date: -----/-----/-----

Signature: -----

Client Name:

Date: -----/-----/-----

Signature: -----

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VARIATIONS

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10			

ELECTRICAL LEGEND

F.L.

Qty	Sym.	Description	Insulation	
			Watts	Penetrations
1	● 15w*	RECESSED LED DOWN-LIGHT (15w) Perimeter Lighting	15*	*
1	⊙ 15w*	EXTERNAL WALL LIGHT @ 1800 AFL Perimeter Lighting	15*	*
1	○ 15w*	EXTERNAL LIGHT (15w) Perimeter Lighting	15*	*
2	○ 15w*	EXTERNAL LIGHT (15w) Class 10	30*	*
1	○ 15w*	EXTERNAL LIGHT (15w) Class 1 Alfresco	15*	*
2	⊠	VENTILATION FOR RANGEHOOD	0	0.063
2	● 15w	RECESSED LED DOWN-LIGHT (15w)	30	0.027
2	⊙	H.WIRED SMOKE DETECTOR	0	
4	⊠	EXHAUST FAN FLUMED	0	0.196
13	○ 15w	CEILING LIGHT (15w)	195	
1	⊠	Ceiling Vent	0	
1	⊠	TV POINT	0	
1	⌒	SINGLE WATER PROOF GPO	0	
6	⌒	SINGLE GPO @ NOTED HT	0	
1	⌒	SINGLE GPO @ 300 AFL	0	
1	⌒	SINGLE CIRCUIT GPO	0	
1	▽	PHONE POINT	0	
1	⌒	DOUBLE GPO @ NOTED HT W/USB	1	
6	⌒	DOUBLE GPO @ NOTED HT	0	
5	⌒	DOUBLE GPO @ 300 AFL	0	
1	CF	CONDUIT FOR FUTURE FIBRE OPTIC	0	
7	⊙	20MM CONDUIT TO LIGHT SWITCH OF GPO	0	
1	▽	DATA POINT	0	

* NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. Subtotal: 226 0.286 PERIMETER LIGHTING MIN. 40 LUMENS/W.

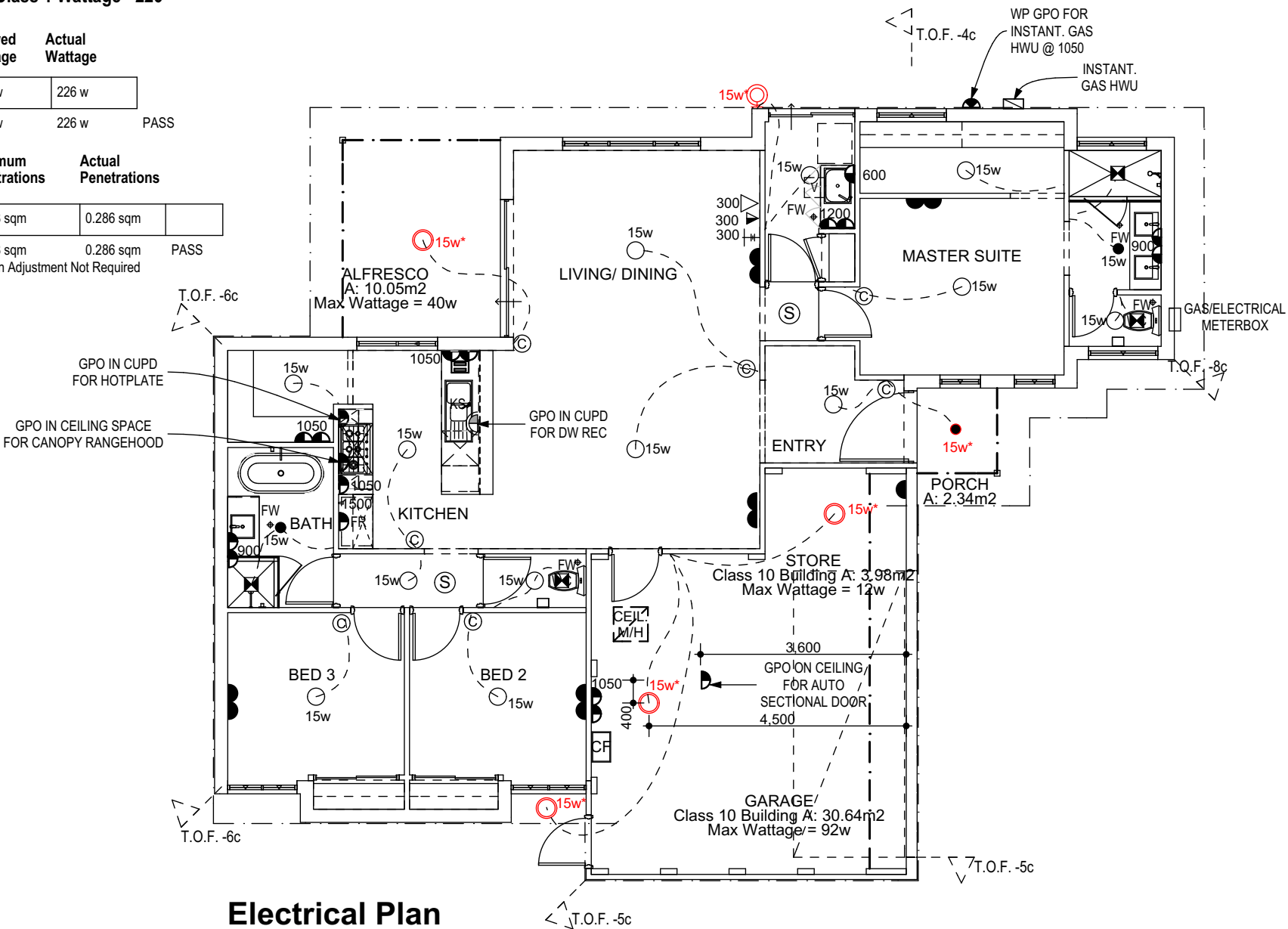
Total Class 1 Wattage= 226

Wattage Calculations (Class 1)

Story Name	Area	Allowed Wattage	Actual Wattage
0 F.L.	107.57 Sqm	538 w	226 w
	107.57 sqm	538 w	226 w PASS

Recessed Fitting Penetrations (Class 1)

Story Name	Area	Maximum Penetrations	Actual Penetrations
Total Insulation Area	107.57 sqm	0.538 sqm	0.286 sqm
	107.57 sqm	0.538 sqm	0.286 sqm PASS
	0.27 % R4.0 Insulation Adjustment Not Required		



Electrical Plan

1:100



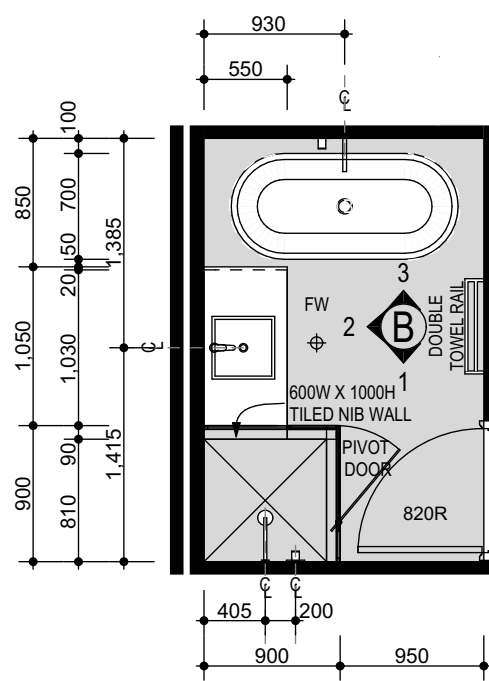
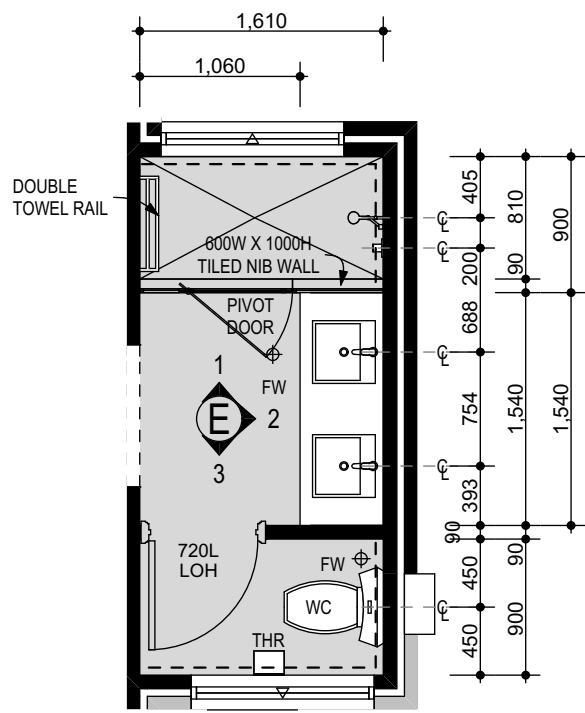
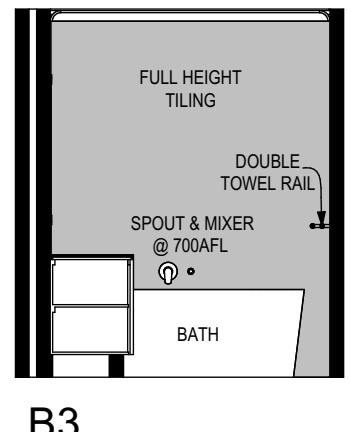
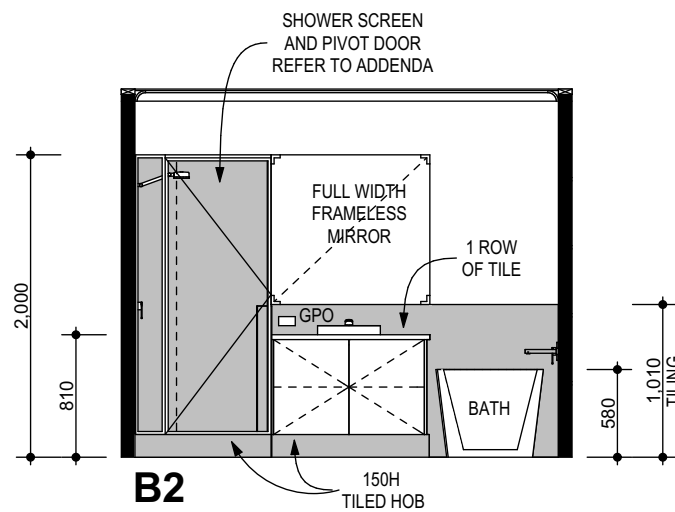
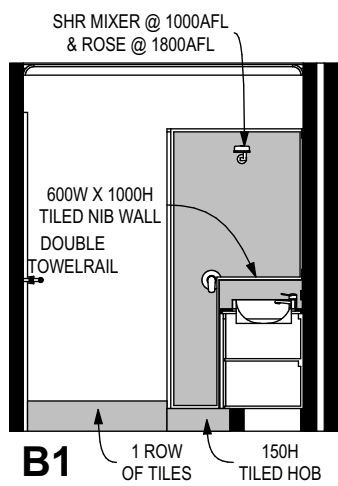
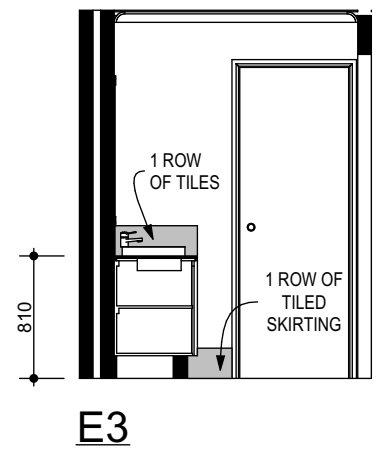
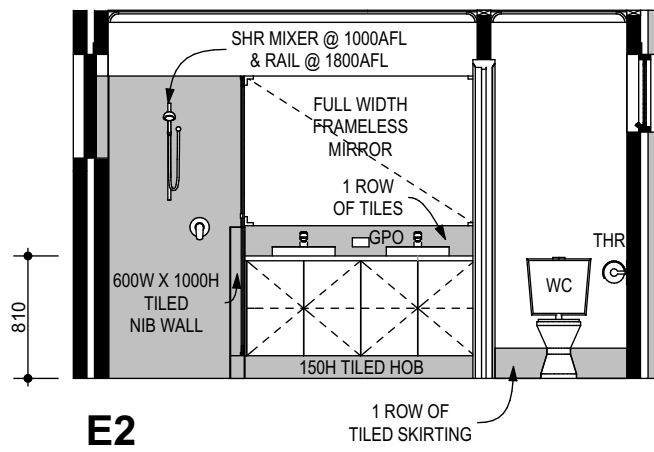
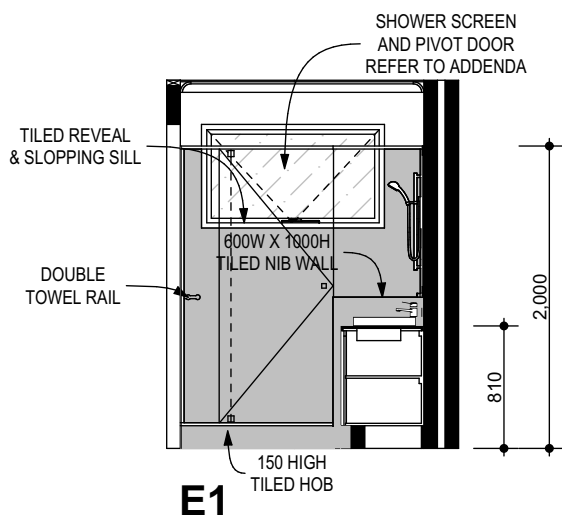
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WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: CUSTOM	Job No:18062	Drawing Name: ELECTRICAL LAYOUTS	Sheet No: 6 of 10
Lot Address:2 (#156 A) CARIDEAN STREET,HEATHRIDGE		Council: JOONDALUP	Specification: PEARL
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT		VARIATIONS	
Client Name: LINDSEY ALANA KENYON		REV NO.	VARIATION
Signature: _____		1	WORKING DRAWINGS + VR
Date: _____		2	DRAFTING CORRECTION
Client Name: _____		3	PRESTART
Signature: _____		4	PLANNING CHANGES - VO 2
Date: _____		5	VO 3
The home will be built to the dimensions on the working drawings within a reasonable tolerance		6	DRAFTING FIXES
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		8	
		9	
		10	



MITRED EDGE TILING TO SHOWER'S NIB WALL

TOP OF MIRRORS TO LINE UP WITH TOP OF SHOWER SCREENS

NOTE:
FREESTANDING BATH TO BE SUPPLIED BY OWNER, BUILDER TO INSTALL

NOTE:
ALL OWNER SUPPLIED MATERIALS ARE NOT COVERED BY BUILDERS INSURANCE. WHILE ALL CARE WILL BE TAKEN, THE BUILDER TAKES NO RESPONSIBILITY FOR DAMAGE OR LOSS TO OWNER SUPPLIED ITEMS.

NOTE:
ALL OWNER SUPPLIED ITEMS ARE TO MEET STATUTORY REQUIREMENTS AND ARE TO BE FIT FOR PURPOSE. ITEMS IDENTIFIED AS NOT MEETING MINIMUM REQUIREMENTS WILL NOT BE INSTALLED BY BUILDER. DELAYS CAUSED TO CONSTRUCTION TIMELINE BY NON-COMPLIANT ITEMS MAY RESULT BACK CHARGES TO OWNER.

NOTE:
BUILDER'S CONTRACTOR CANNOT AND WILL NOT INSTALL PLUMBING FIXTURES THAT DO NOT MEET WATERMARK STANDARDS. ITEMS SUPPLIED THAT DO NOT MEET WATERMARK (AND OTHER REGULATORY) REQUIREMENTS WILL BE REPLACED AT CLIENTS EXPENSE AND MAY INCLUDE COST DUE TO DELAYS CAUSED BY NON-COMPLIANT FIXTURES.



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WE TURN A HOUSE INTO A HOME

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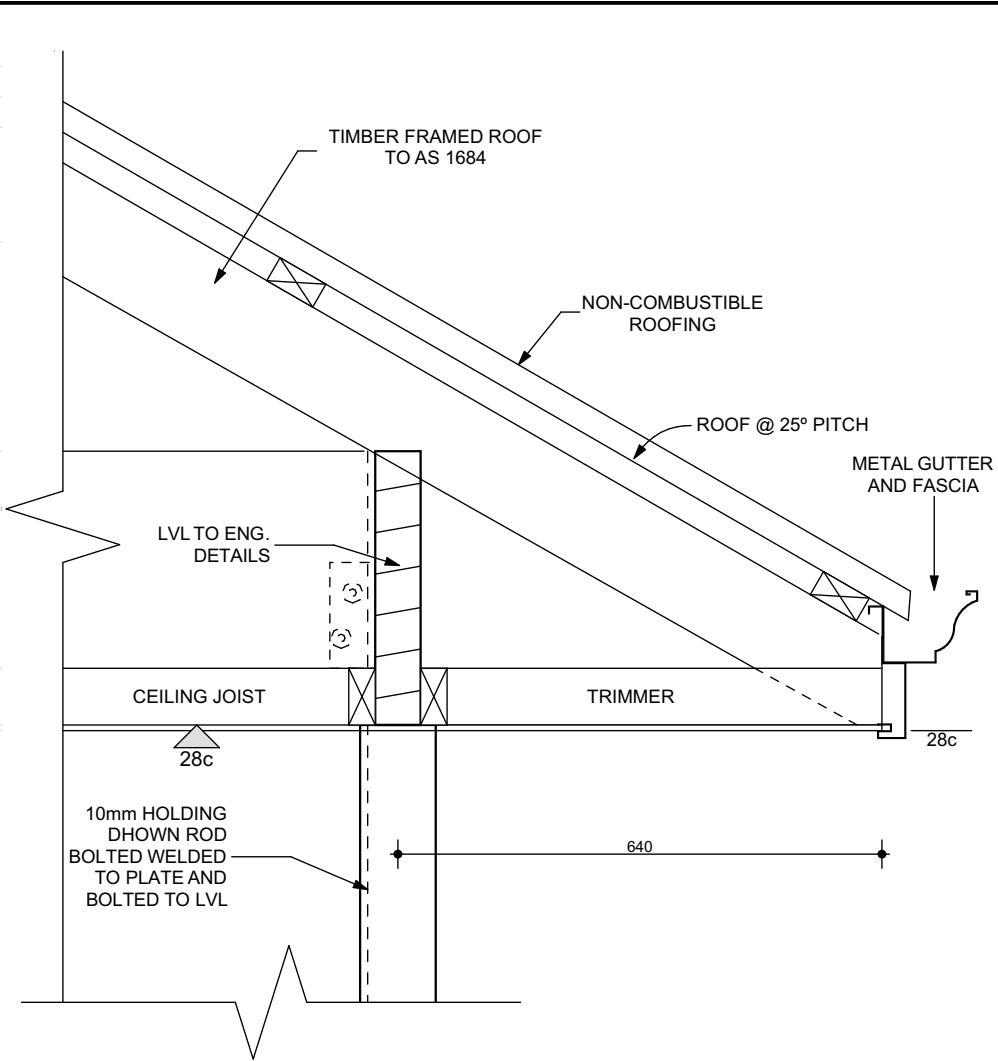
House Type: CUSTOM	Job No:18062	Drawing Name: ROOM LAYOUTS 2	Sheet No: 8 of 10
Lot Address:2 (#156 A) CARIDEAN STREET,HEATHRIDGE			
Council: JOONDALUP		Specification: PEARL	
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**28c CEILINGS THROUGHOUT
UNLESS OTHERWISE NOTED**

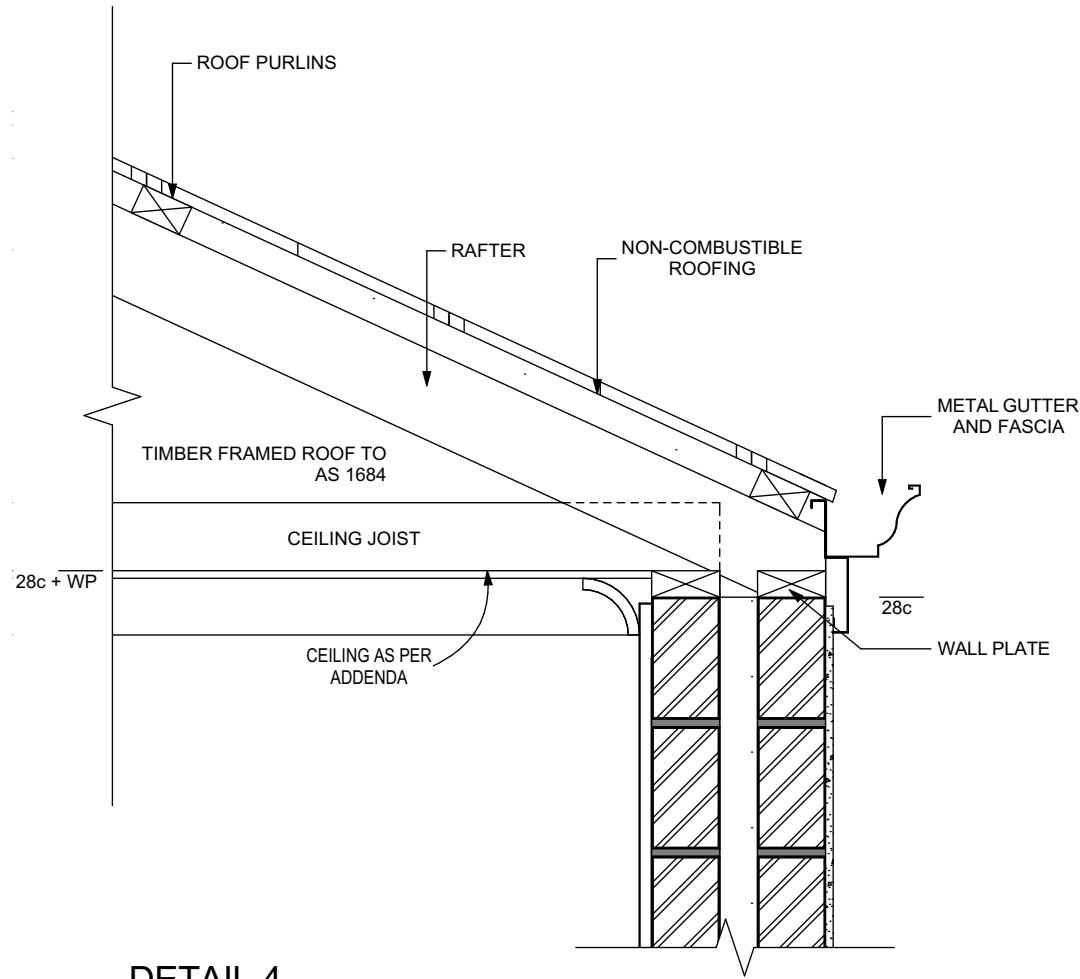


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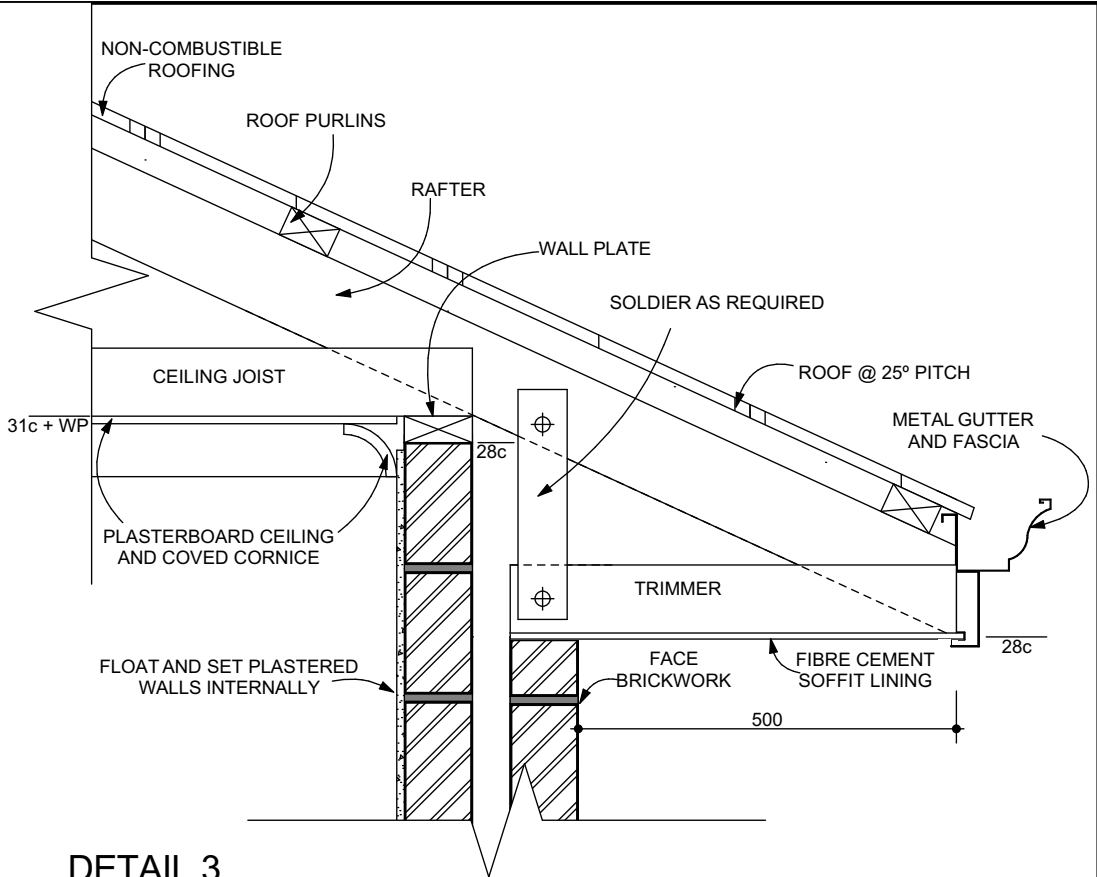
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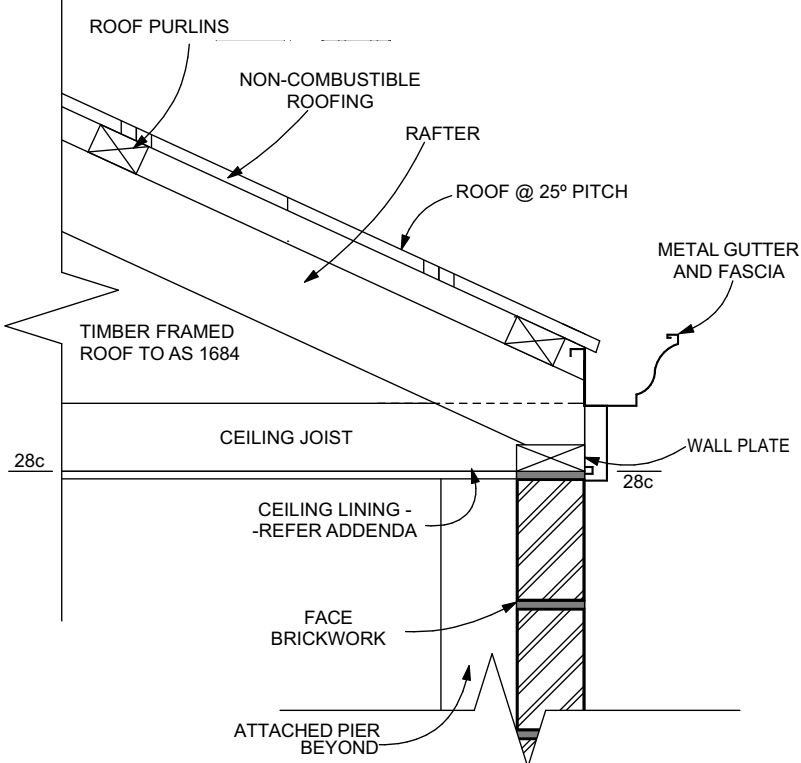
DETAIL 2
1: 10



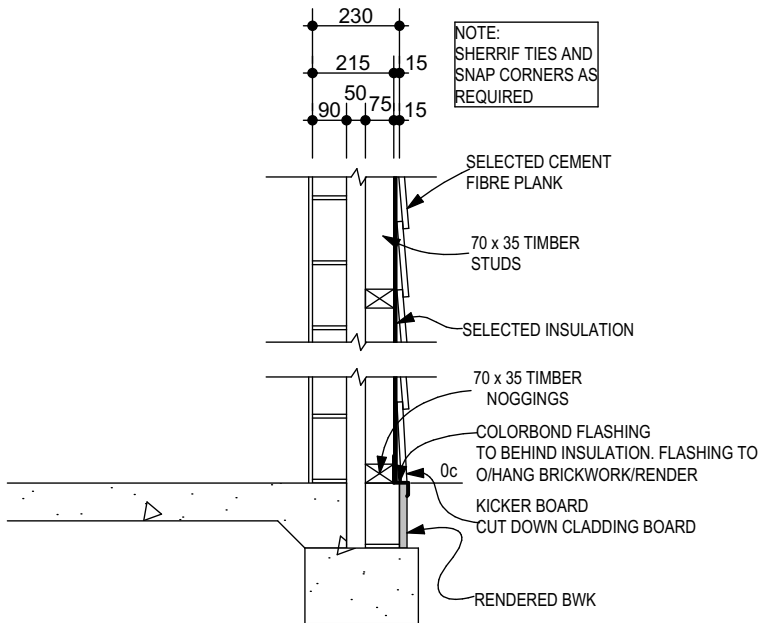
DETAIL 4
1: 10



DETAIL 3
1: 10



DETAIL 5
1: 10

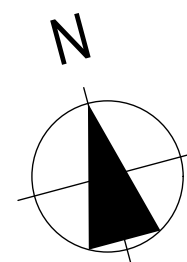


DETAIL 6
1:20



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WE TURN A HOUSE INTO A HOME
41 cedric st., stirling
phone - (08) 9440 9200 fax - (08) 9440 9201

House type: CUSTOM		Job No:18062	Drawing Name: DETAILS		Sheet No: 10 of 10
Lot Address:2 (#156 A) CARIDEAN STREET,HEATHRIDGE			Council: JOONDALUP		Specification: PEARL
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT			VARIATIONS		
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Client Name:		Date: -----/-----/-----	4	PLANNING CHANGES - VO 2	13/02/2019
Signature: -----			5	VO 3	18/03/2019
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