

SURVEYOR NOTES:

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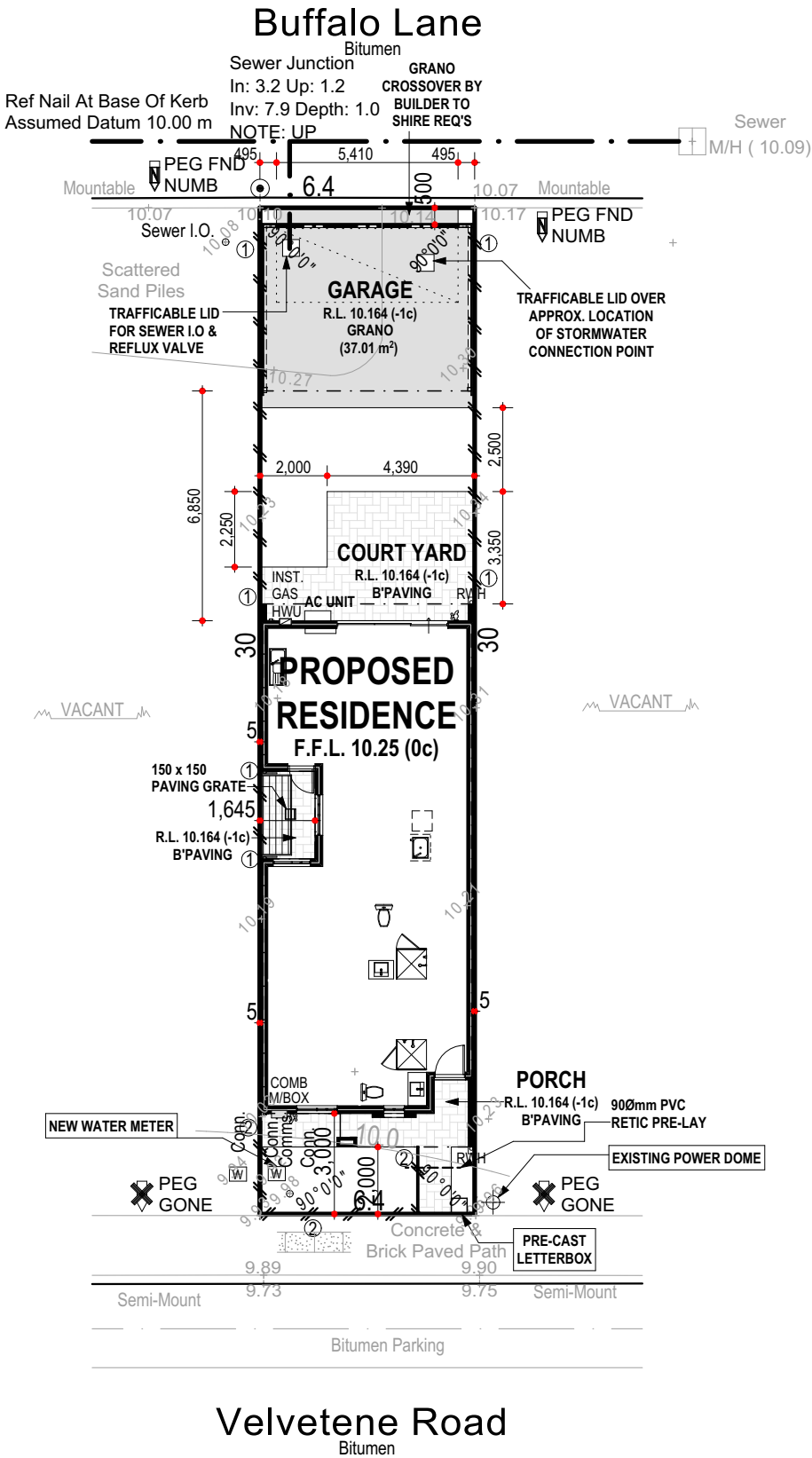
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CONSTRUCTION NOTES

- CONCRETOR NOTE:**  
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPENING.
- CONCRETOR / BRICKLAYER NOTE:**  
- B'WALLS ON LOT B'DRY HAS BEEN CALCULATED TO BE SET INSIDE THE B'DRY BY 5mm.  
- B'WALL ON LOT B'DRY HAS BEEN CALCULATED TO BE SET INSIDE THE B'DRY BY 5mm.
- PLUMBER NOTE:**  
- REFER TO PLUMBING PLAN FOR SEWER AND STORMWATER LAYOUTS.
- FENCING CONTRACTOR NOTE:**  
- 1800h C'BOND FENCE W/- CAPPING AS INDICATED BY: ①
- BRICKPAVER NOTE:**  
- BRICK PAVING TO PATHS. EXTENT AS INDICATED.  
- WIDTHS OF BRICK PAVED PATHS TO BE APPROX. 1.0m WIDE UNLESS OTHERWISE INDICATED.
- GENERAL NOTE:**  
- CLOTHESLINES INDICATED AS PER ADDENDA.
- CLIENT NOTE:**  
- 900h POWDER COATED LOOP STYLE FENCE BY CLEINT AS INDICATED BY: ②  
- ALL LANDSCAPING BY OWNER.

DO NOT SCALE FROM THIS DRAWING  
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.  
ALL DIMENSIONS TO BRICKWORK.

LEGEND	⊕	SEC Dome
	≡○≡	Power Pole
	[ T ] [ C ]	Phone Pits
	[ W ]	Water Conn.
	[ TP 10.00 ]	Top Pillar/Post
	[ TW 10.00 ]	Top Wall
	[ TR 10.00 ]	Top Retaining
	[ TF 10.00 ]	Top Fence
<b>NOTE:</b> TELSTRA/COMMS. PIT NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY. VERIFY AVAILABILITY WITH TELSTRA.		



BUILDER: \_\_\_\_\_  
CLIENT(S): \_\_\_\_\_  
WITNESS: \_\_\_\_\_

COTTAGE & ENGINEERING  
SURVEYS  
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87-89 Guthrie Street, Osborne Park, Western Australia.  
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998.  
Email : perth@cottage.com.au Website: www.cottage.com.au

AREA:	192m²	ROAD DESCR.:	BITUMEN	GAS:	YES	SSA/OLD AREAS:	SSA	UNLODGED SS PLAN:	N/A
SHIRE:	SERPENTINE-JARRAHDALE	KERBING:	SEMI-MOUNT / MOUNT	WATER:	YES	C/JOB#:	460850	ORIGINAL LOT:	N/A
D.PLAN:	409207	FOOTPATH:	CONC.	ELECTRICITY:	U/G	DATE:	18 OCT 19	LOT MISCLOSE:	0.000
C/T VOLUMN:	2909	SOIL:	SAND	PH/COMMS:	YES	SCALE:	1:200	SSL 1 MISCLOSE:	N/A
FOLIO:	769	DRAINAGE:	GOOD	SEWER:	YES	DRAWN:	J. GENOVESE	SSL 2 MISCLOSE:	N/A
MSD REF:	556-43/69	VEGETATION:	NILL	COASTAL:	NO				

PROPOSED RESIDENCE FOR:  
YUHE GLOBAL INVESTMENT PTY LTD

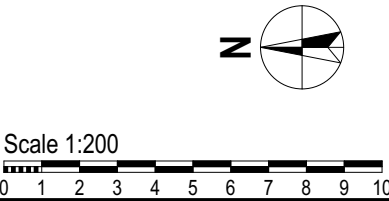
ADDRESS:  
LOT 24 (#45) VELVENTENE ROAD,  
BYFORD.

DRAWN: JS  
DESIGNED: NA  
CHECKED: DM  
DATE: 8/11/19  
MODEL: 3 BED

SCALE: 1:200  
SHEET: 1 OF 9  
SIZE: A3

PROJECTS  
JOB N°  
158458

SITE PLAN



SUMMIT  
HOMES GROUP  
BUILD | RENOVATE | DEVELOP

SURVEYOR NOTES:

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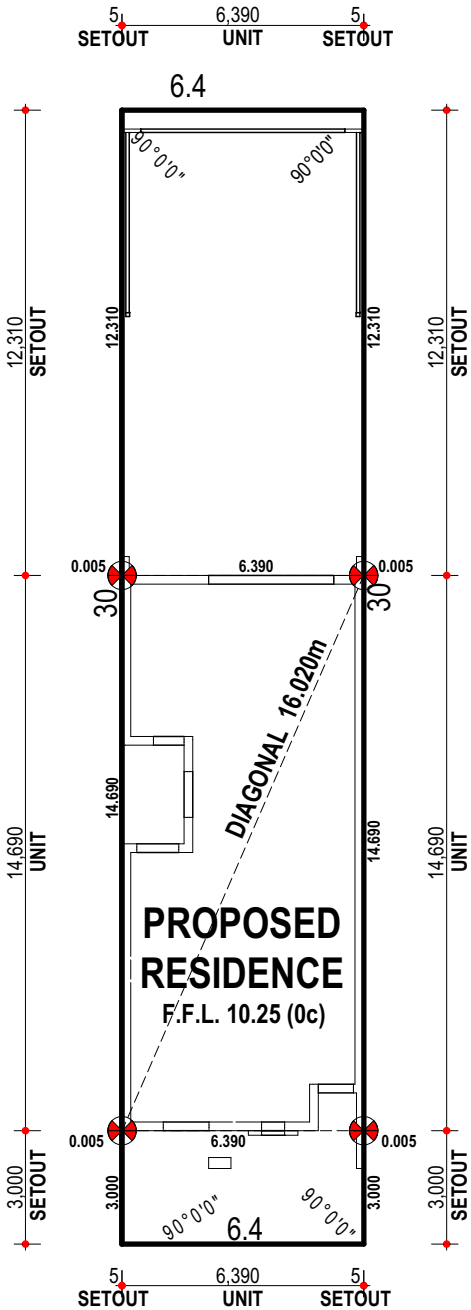
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- B'WALL ON COMMON LOT B'DRY HAS BEEN CALCULATED TO BE SET INSIDE THE B'DRY BY 5mm.

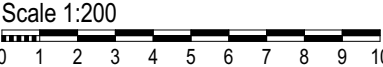
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ALL DIMENSIONS TO BRICKWORK.

LEGEND		SEC Dome
		Power Pole
		Phone Pits
		Water Conn.
		Top Pillar/Post
		Top Wall
		Top Retaining
		Top Fence

**NOTE:**  
TELSTRA/COMMS. PIT NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY. VERIFY AVAILABILITY WITH TELSTRA.



BUILDER:	.....
CLIENT(S):	.....
WITNESS:	.....



COTTAGE & ENGINEERING  
SURVEYS

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Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998.  
Email : perth@cottage.com.au Website: www.cottage.com.au

AREA:	192m²
SHIRE:	SERPENTINE-JARRAHDALE
D.PLAN:	409207
C/T VOLUMN:	2909
FOLIO:	769
MSD REF:	556-43/69

ROAD DESCR.:	BITUMEN
KERBING:	SEMI-MOUNT / MOUNT
FOOTPATH:	CONC.
SOIL:	SAND
DRAINAGE:	GOOD
VEGETATION:	NILL

GAS:	YES	SSA/OLD AREAS:	SSA
WATER:	YES	C/JOB#:	460850
ELECTRICITY:	U/G	DATE:	18 OCT 19
PH/COMMS:	YES	SCALE:	1:200
SEWER:	YES	DRAWN:	J. GENOVESE
COASTAL:	NO		

UNLODGED SS PLAN:	N/A
ORIGINAL LOT:	N/A
LOT MISCLOSE:	0.000
SSL 1 MISCLOSE:	N/A
SSL 2 MISCLOSE:	N/A

PROPOSED RESIDENCE FOR:  
YUHE GLOBAL INVESTMENT PTY LTD

ADDRESS:  
LOT 24 (#45) VELVENTENE ROAD,  
BYFORD.

DRAWN:	JS
DESIGNED:	NA
CHECKED:	DM
DATE:	8/11/19
MODEL:	3 BED

SCALE:	1:200
SHEET:	2 OF 9
SIZE:	A3

PROJECTS  
JOB N°  
158458

SETOUT PLAN

SUMMIT  
HOMES GROUP

BUILD | RENOVATE | DEVELOP

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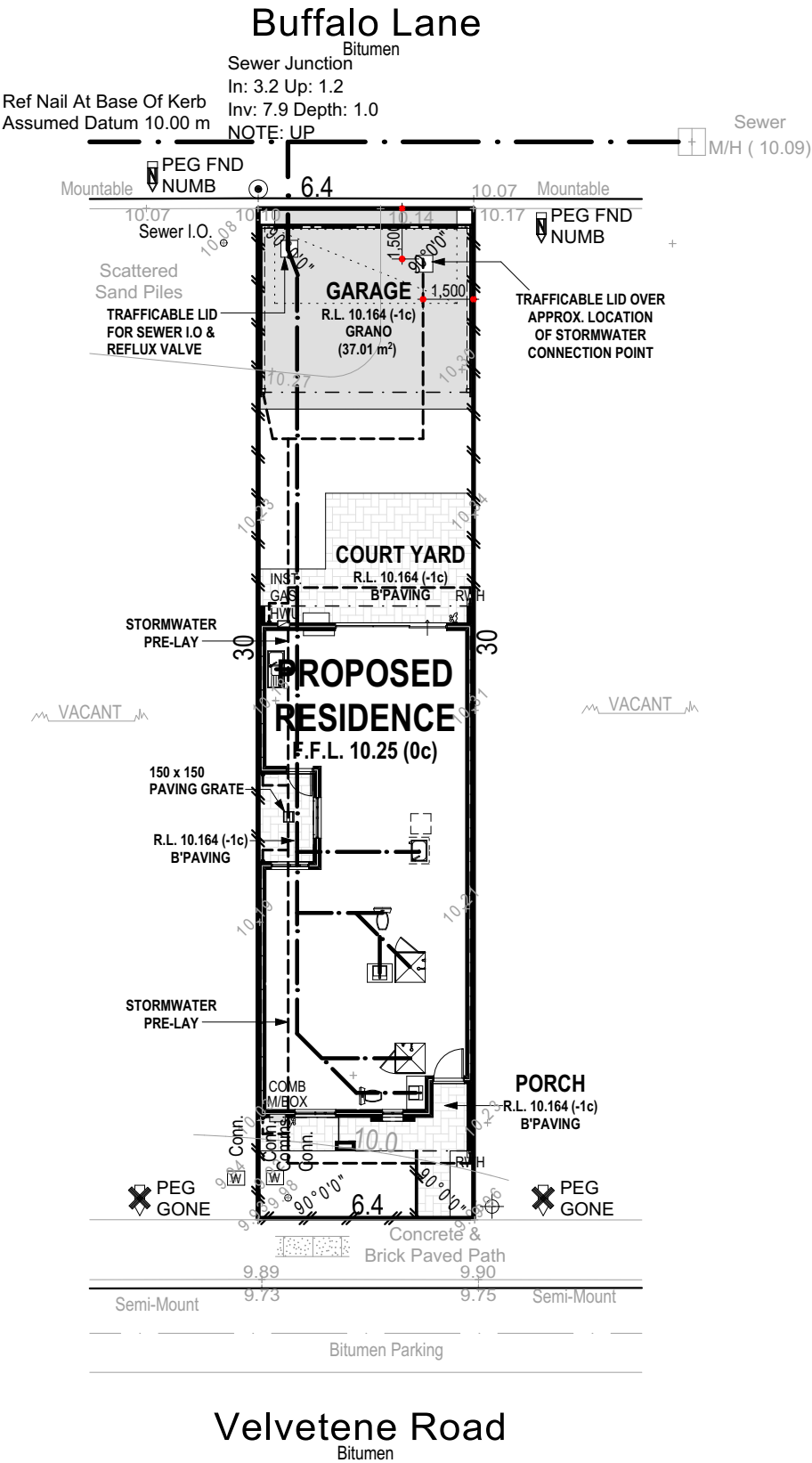
PLUMBER NOTE:

- CONNECT ALL DOWNPIPES TO STORMWATER CONNECTION POINT. APPROX. LOCATION SHOWN ON PLANS
- PART 3.1.2 DRAINAGE: ALL STORMWATER & SURFACE WATER DRAINAGE TO COMPLY W/- A.S. 3500.3:2003, CLAUSE 3.1.2.1 & 3.1.2.5 BCA VOL. 2 & LOCAL AUTHORITY REQUIREMENTS.
- REFLUX VALVE REQUIRED.

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WITNESS: \_\_\_\_\_

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ADDRESS:  
LOT 24 (#45) VELVENTENE ROAD,  
BYFORD.

DRAWN: JS  
DESIGNED: NA  
CHECKED: DM  
DATE: 8/11/19  
MODEL: 3 BED  
SCALE: 1:200  
SHEET: 3 OF 9  
SIZE: A3  
PROJECTS  
JOB N° 158458  
PLUMBING PLAN

Scale 1:200  
0 1 2 3 4 5 6 7 8 9 10

SUMMIT  
HOMES GROUP  
BUILD | RENOVATE | DEVELOP

SITE CLASSIFICATION - CLASS 'S'  
(REFER TO SITE REPORT FOR  
DETAILS) WIND LOAD - N1  
CORROSION CLASSIFICATION - R1

BRICK NOTE  
- 2c FACE BRICK TO BE LAID IN THIRD BOND U.N.O

SLAB NOTE  
- 100mm SLAB DUE TO 'S' CLASS SITE

BUSHFIRE ATTACK LEVEL - LOW

CONSTRUCTION TO COMPLY FULLY  
W/- NASH STANDARDS

**ROOF NOTE**

- HOUSE **COLORBOND** ROOF, PITCH AT 25° W/- 500W EAVES UNO
- GARAGE **COLORBOND** ROOF, PITCH AT 5° W/- NO EAVES UNO
- STEEL ROOF FRAME TO NASH STANDARDS
- CEILINGS AT 28c + PLATE UNLESS NOTED OTHERWISE

**ROOF PLUMBER NOTE**

- PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)
- FINAL POSITIONS OF RWP'S TO BE DETERMINED ON SITE
- RWPS IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER SYSTEM (NO KICK)

**ROOF INSULATION NOTE**

- R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL PLASTERBOARD OR VERSILUX CEILINGS IF APPL.

**CEILING MATERIAL NOTE**

- PORCH - HARDIFLEX C.L.
- GARAGE - HARDIFLEX C.L.

**ELECTRICAL NOTE**

- INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS INDICATED ON PLAN ⑤

**FIXING CARPENTER NOTE**

- 4 No. 450D SHELVES TO PANTRY AND LINEN UNO
- 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO
- 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY
- PROVIDE MID-SHELF SUPPORT WHERE NOTED "MSS" TO ANY SHELF OVER 1.8m LONG.
- NOTE SKIRTING BOARDS THROUGHOUT EXCEPT TO WET AREAS, STAIRS (IF ANY), BIR'S & LIN.

**TRADES / SUPERVISOR NOTE**

- REFER TO STRUCTURAL ENGINEERS DETAILS
- ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS & STANDARD SPECIFICATION.

**GENERAL NOTE**

- CARPORT SIZE IS NOT SUITABLE FOR ENCLOSING.

**RENDER WALL NOTE**

- PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED WALLS & H/FLEX / VERSILUX CEILINGS

**SANITARY COMPARTMENTS NOTE**

- WHERE INDICATED BY "WC" DOORS TO SANITARY FACILITIES ARE INSTALLED WITH LIFT-OFF HINGES AS PER PART 3.8.3.3 OF B.C.A. (VOL. 2)

**BRICKLAYER NOTE**

- 1ST FACE BRICKWORK WHERE EVER POSSIBLE.

**AIRCON NOTE**

- PROVIDE SPLIT SYSTEM AIR CONDITIONING. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

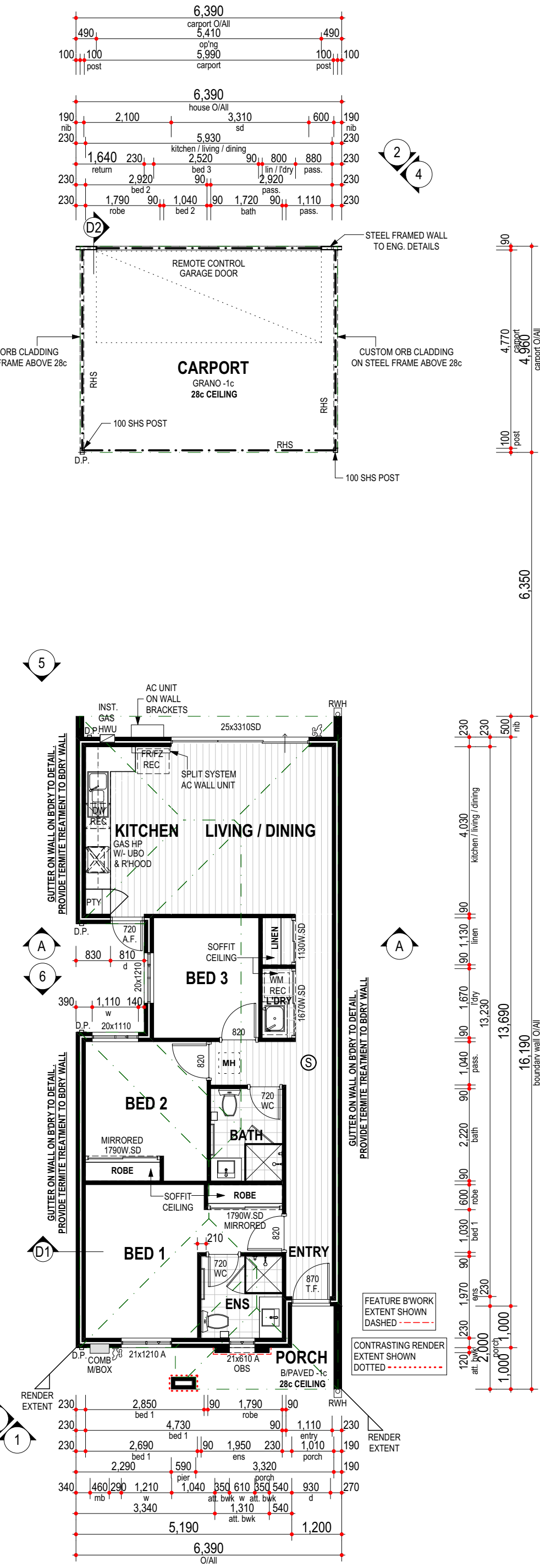
**PLUMBER NOTE**

- NO HOBBS TO SHOWERS UNLESS SHOWN OTHERWISE.
- PLUMBER TO INSTALL REFLUX VALVE.

WITNESS:	CLIENT(S):	BUILDER:

PROPOSED RESIDENCE FOR:  
YUHE GLOBAL INVESTMENT PTY LTD

ADDRESS:  
LOT 24 (#45) VELVENTENE ROAD,  
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	Area m <sup>2</sup>	Perim. L/m
1. FLOOR PLAN	88.39	45.44
2. CARPORT	30.70	22.30
3. PORCH	5.23	12.20
4. TOTAL AREA	124.32	69.94
5. CARPORT ROOF	30.70	22.30
6. HOUSE ROOF	94.05	47.90



DRAWN: JS  
DESIGNED: NA  
CHECKED: DM  
DATE: 8/11/19  
MODEL: 3 BED

SCALE: 1:100  
SHEET: 5 OF 9  
SIZE: A3  
PROJECTS  
JOB N° 158458

Issue Name BAL  
Drawn DMA  
Date 31/03/20  
Issue Name  
Drawn  
Date

FLOOR PLAN

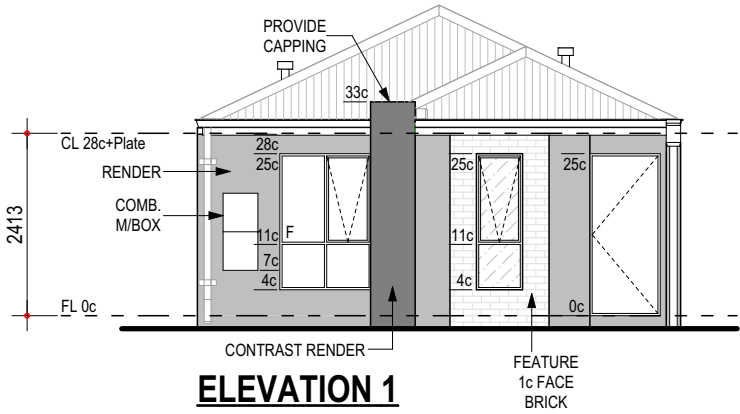
ROOF NOTE

- COLORBOND ROOF, PITCH AT 25° W/- 500W EAVES UNO
- STEEL ROOF IN ACCORDANCE TO NASH STANDARD
- CEILINGS AT 28c + PLATE UNLESS NOTED OTHERWISE

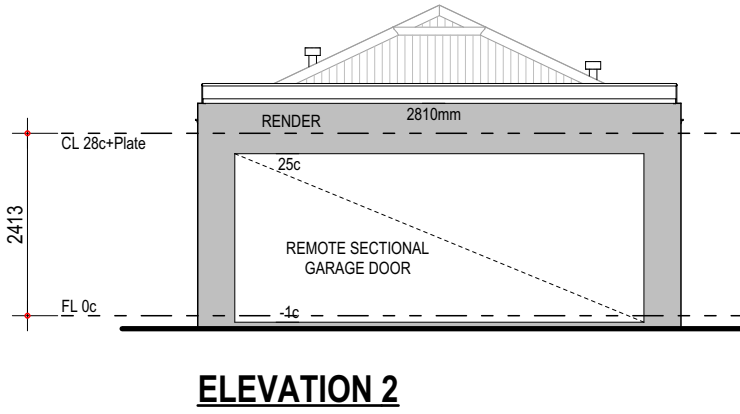
WINDOW SUPPLIER NOTE

- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288

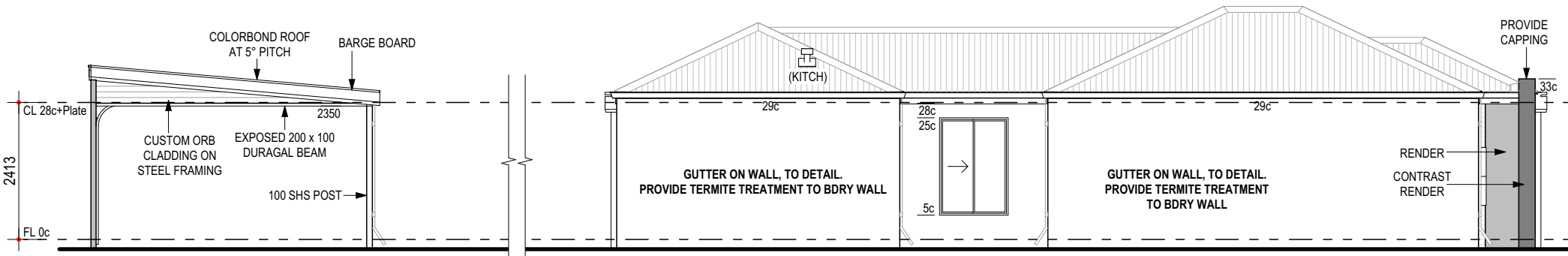
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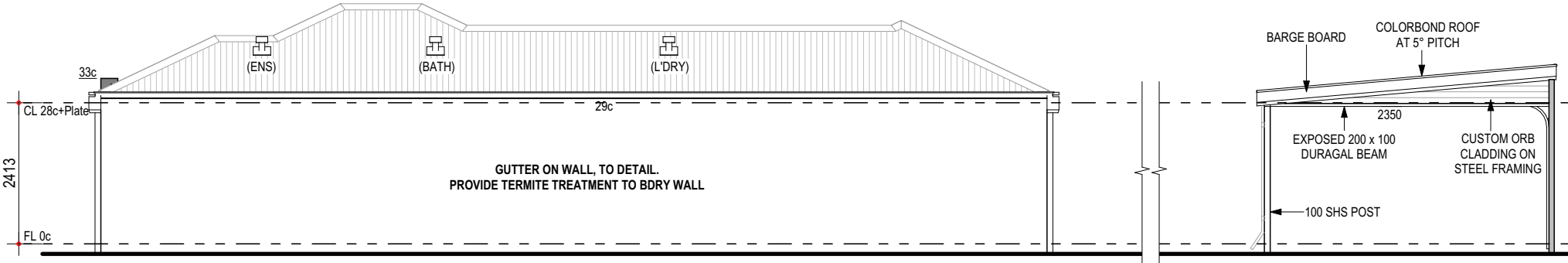
ELEVATION 1



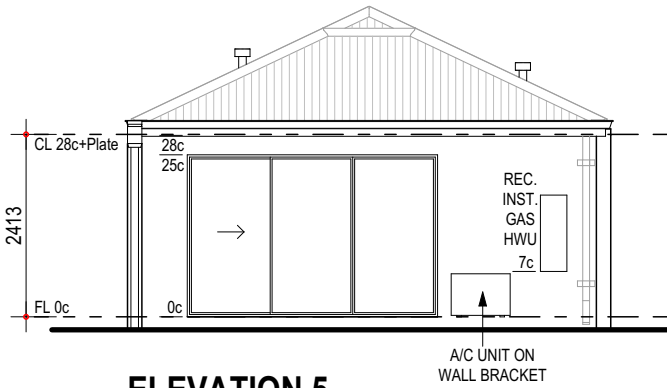
ELEVATION 2



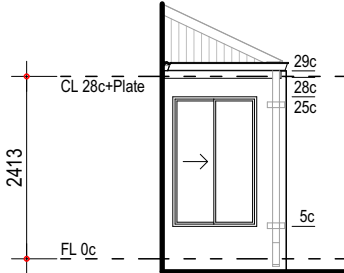
ELEVATION 3



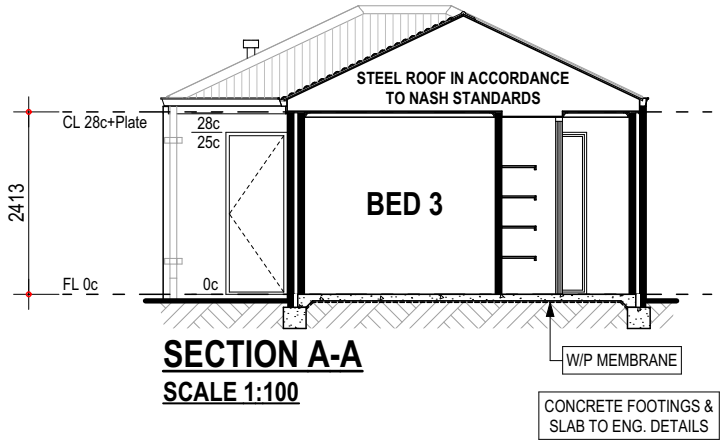
ELEVATION 4



ELEVATION 5



ELEVATION 6



SECTION A-A  
SCALE 1:100

WITNESS: \_\_\_\_\_

CLIENT(S): \_\_\_\_\_

BUILDER: \_\_\_\_\_

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MODEL: 3 BED

SCALE: 1:100  
SHEET: 6 OF 9  
SIZE: A3  
PROJECTS  
JOB N° 158458

Issue Name Drawn Date Issue Name Drawn Date  
ELEVATIONS

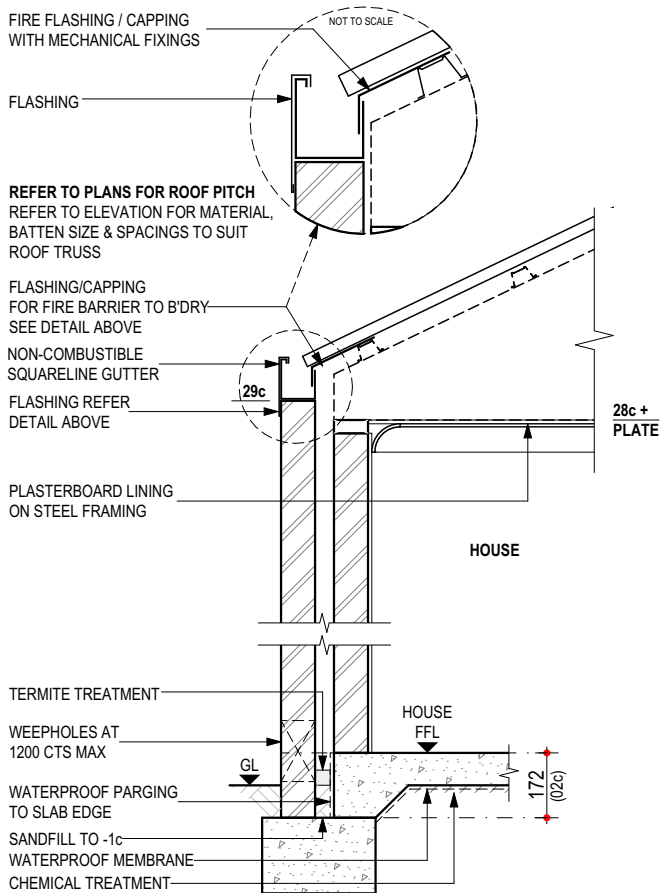


SUMMIT  
HOMES GROUP

BUILD | RENOVATE | DEVELOP

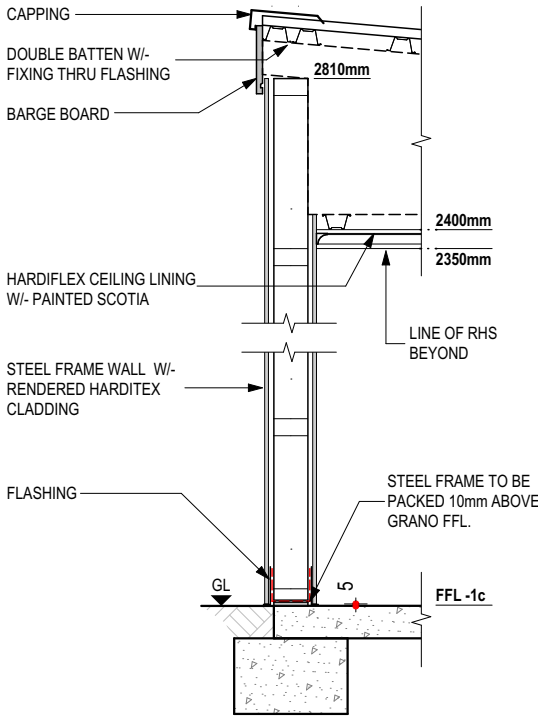
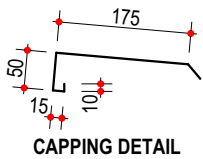


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**D01 - GUTTER ON WALL / FLASHING DETAIL TO HOUSE  
W/- TERMITE TREATMENT**

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
  - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
  - REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
  - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
  - SCALE 1 : 20



- D02 - GARAGE WALL DETAIL**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
  - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
  - REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
  - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
  - SCALE 1 : 20

BUILDER:	_____
CLIENT(S):	_____
WITNESS:	_____

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ADDRESS:  
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DRAWN: JS  
DESIGNED: NA  
CHECKED: DM  
DATE: 8/11/19  
MODEL: 3 BED

SCALE: AS NOTED  
SHEET: 7 OF 9  
SIZE: A3  
**PROJECTS**  
JOB N°  
158458

Issue Name	Drawn	Date	Issue Name	Drawn	Date
DETAILS					



## KITCHEN PLAN

## BENCHTOP NOTE

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

### WALL FINISH NOTE

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

### TILER NOTE

- SHADING DENOTES EXTENT OF TILING
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES

## CABINETMAKER NOTE

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

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REFER TO ADDENDUM FOR FITOUT SPECIFICATION

WET AREAS CONSTRUCTED IN ACCORDANCE WITH  
PART 3.8.1 OF B.C.A. (VOL 2)

**K1 VIEW**

**K2 VIEW**

## ENSUITE PLAN

**E1 VIEW**

**E2 VIEW**

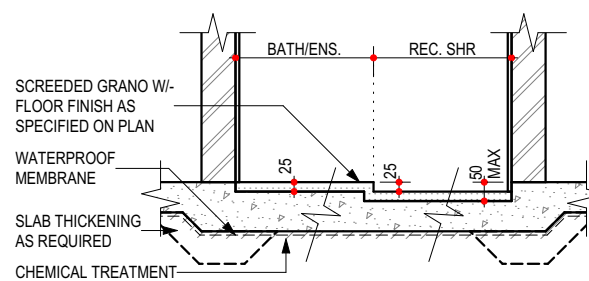
## BATH PLAN

**B1 VIEW**

**B2 VIEW**

## L'DRY PLAN

**L1 VIEW**



### RECESSED SHOWER DETAIL (NO HOB)

**NOTES:**

**NOTES:**

- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- SCALE 1 : 20

BUILDER:	/	/
CLIENT(S):	/	/
	/	/
WITNESS:	/	/

PROPOSED RESIDENCE FOR:  
YUHE GLOBAL INVESTMENT PTY LTD

ADDRESS:  
LOT 24 (#45) VELVENTENE ROAD,  
BYFORD.

DRAWN:	JS
DESIGNED:	NA
CHECKED:	DM
DATE:	8/11/19
MODEL:	
<b>3 BED</b>	

SCALE: 1:50  
SHEET: 8 OF 9  
SIZE: A3  
**PROJECT**  
JOB N°  
**158458**

Issue Name	Drawn	Date	Issue Name	Drawn	Date
ROOM LAYOUTS					

**BUILT AROUND PEOPLE**

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**SUMMIT**  
HOMES GROUP

UILD | RENOVATE | DEVELOP

## Ground Floor

\* NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. Subtotal: 126 0.136  
PERIMETER LIGHTING MIN. 40 LUMENS/W.

## Wattage Calculations (Class 1)

78.15 sqm      391 w      126 w      PASS

Story Name	Area	Penetrations	Penetrations
------------	------	--------------	--------------

78.15 sqm      0.391 sqm      0.167 sqm      PASS  
0.21 % R4.0 Insulation Adjustment Not Required

Room Name	Opn %	Light	Vent.
<b>4   BED 3</b>			
Min. Ventilation = 0.55   Min. Light= 0.74    Total Area= 7.40			
W04   Sliding	50 %	2.07 m2	1.04 m2
<b>Totals</b>	<b>Light 2.07 m2</b>	<b>Vent 1.04 m2</b>	
<b>3   BED 2</b>			
Min. Ventilation = 0.65   Min. Light= 0.87    Total Area= 8.65			
W03   Sliding	50 %	1.90 m2	0.95 m2
<b>Totals</b>	<b>Light 1.90 m2</b>	<b>Vent 0.95 m2</b>	
<b>2   BED 1</b>			
Min. Ventilation = 0.72   Min. Light= 0.97    Total Area= 9.66			
W02   Awning	33 %	2.18 m2	0.73 m2
<b>Totals</b>	<b>Light 2.18 m2</b>	<b>Vent 0.73 m2</b>	
<b>1   LIVING / DINING   KITCHEN</b>			
Min. Ventilation = 1.79   Min. Light= 2.39    Total Area= 23.90			
W05   Sliding Door	33 %	7.09 m2	2.36 m2
D02   Door	100 %	1.74 m2	1.74 m2
<b>Totals</b>	<b>Light 8.83 m2</b>	<b>Vent 4.10 m2</b>	



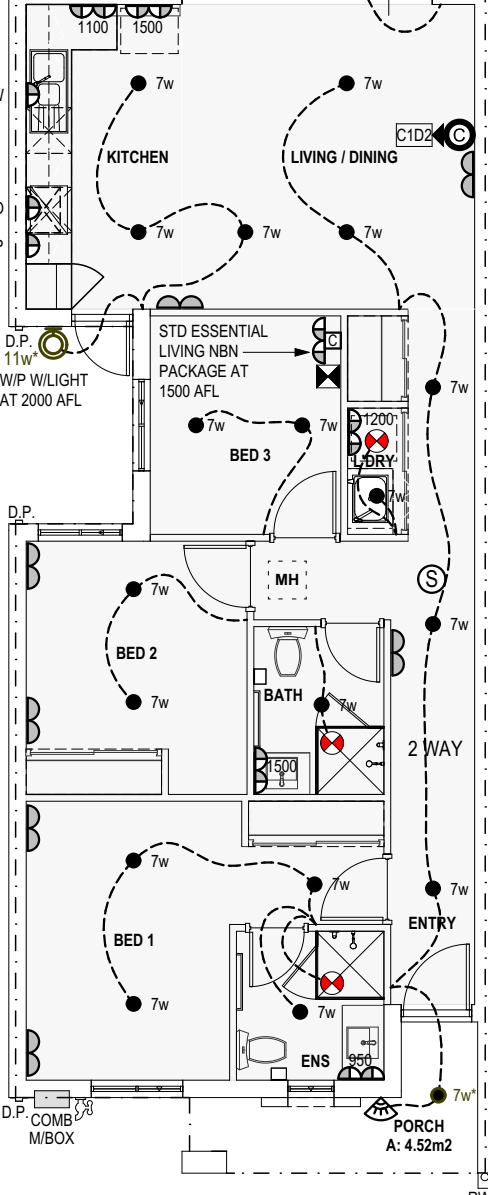
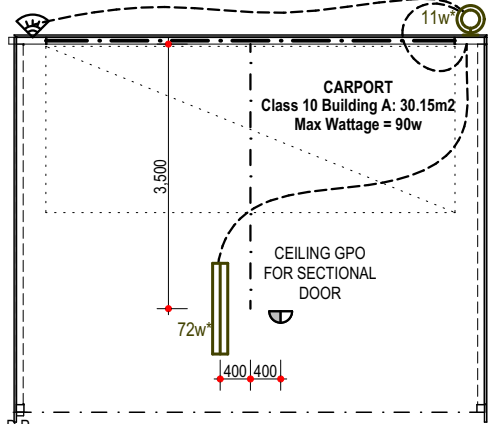
**BUILT AROUND PEOPLE**

MODEL:  
3 BED

**PROJECTS**  
JOB N°  
**158458**

- INTERCONNECTED SMOKE DETECTORS TO AS3786-2014
- FINAL POSITION OF ELECTRICAL ITEMS SUCH AS GPO'S, LIGHT SWITCHES ETC. MAY VARY ON SITE DUE TO ELECTRICAL REGULATIONS. LIGHT SWITCH HEIGHT TO BE AT 1200 AFL U.N.O.
- NEUTRAL CABLING REQUIRED TO ALL LIGHT SWITCHES.
- ALL EXHAUST FANS TO BE FLUED TO EXTERNAL AIR

- PROVIDE SPLIT SYSTEM AIR CONDITIONING. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.



**All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.**  
**ALL DIMENSIONS TO BRICKWORK.**



**BUILD | RENOVATE | DEVELOP**

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