

SURVEYOR NOTES:

DISCLAIMER:
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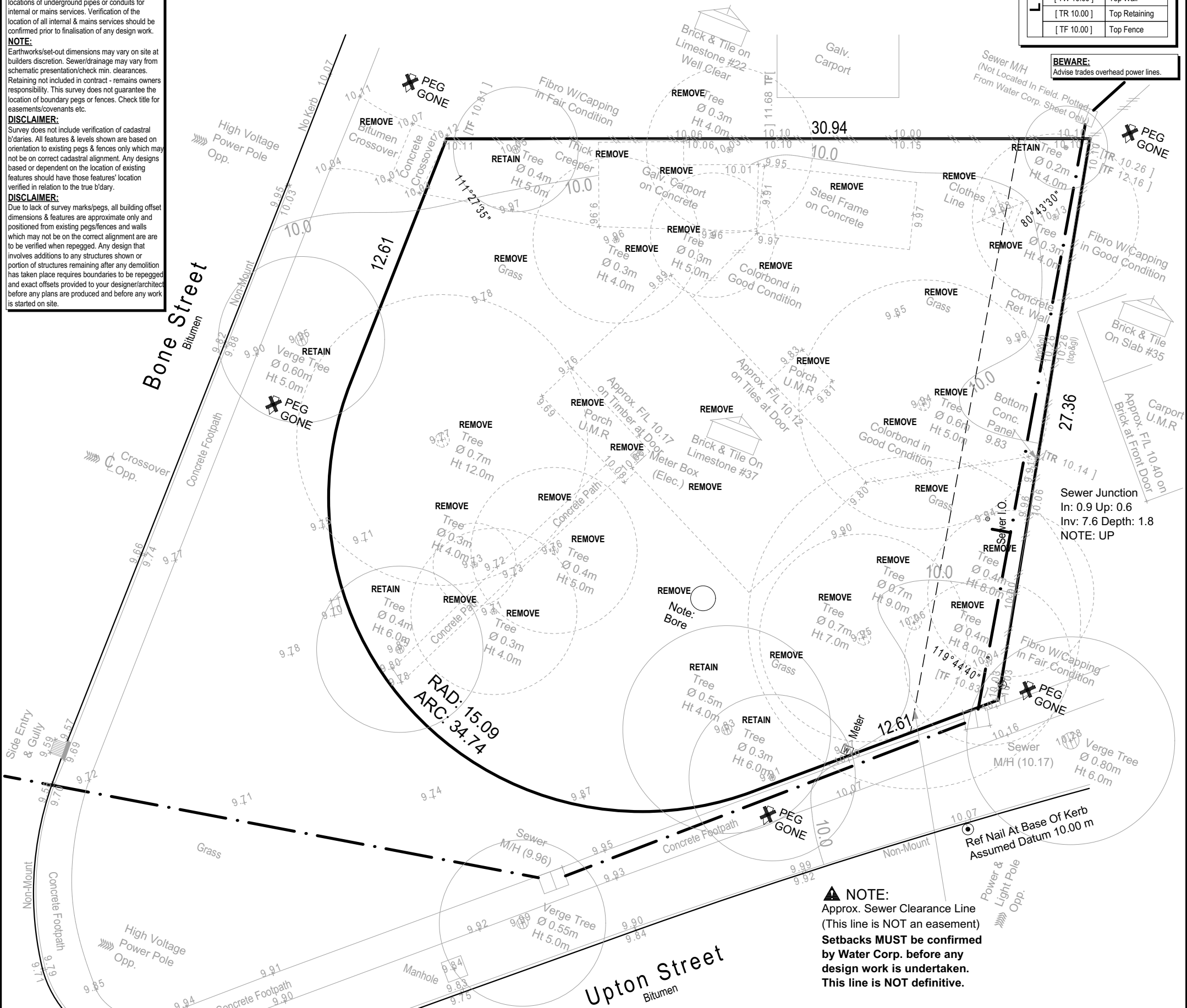
CLIENT NOTE:
- ALL DEMOLITION BY CLIENT UNLESS OTHERWISE NOTED.
- ALL TREES/SHRUBS TO BE LOPPED (TRIMMED) TO WITHIN 2m OF THE BUILDING ENVELOPE.
- EXISTING BUILDING, TREES AND ALL RUBBLE TO BE REMOVED BY CLIENT PRIOR TO CONSTRUCTION.

BUILDERS NOTE:
- BORE TO BE REMOVED, CAPPED, FILLED WITH CLEAN SAND & COMPACTED.

DO NOT SCALE FROM THIS DRAWING
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ALL DIMENSIONS TO BRICKWORK.

LEGEND	\oplus	SEC Dome
	$\equiv \bigcirc \equiv$	Power Pole
	[T] [C]	Phone Pits
	[W]	Water Conn.
	[TP 10.00]	Top Pillar/Post
	[TW 10.00]	Top Wall
	[TR 10.00]	Top Retaining
	[TF 10.00]	Top Fence

BEWARE:
Advise trades overhead power lines.



NOTE:
Approx. Sewer Clearance Line
(This line is NOT an easement)
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This line is NOT definitive.

WITNESS:	CLIENT(S):	BUILDER:

COTTAGE & ENGINEERING SURVEYS
Licensed Surveyors
87-89 Guthrie Street, Osborne Park, Western Australia.
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998.
Email : perth@cottage.com.au Website: www.cottage.com.au

PROPOSED RESIDENCE FOR:
MORGAN

ADDRESS:
PPL2 (ORIG. LOT 886) #37 UPTON STREET, ST. JAMES

AREA:	971m²
SHIRE:	VICTORIA PARK
D.PLAN:	6417
C/T VOLUMN:	425
FOLIO:	52A
MSD REF:	404-31/38

ROAD DESCR.:	BITUMEN
KERBING:	NON-MOUNT / NIL
FOOTPATH:	CONC.
SOIL:	SAND
DRAINAGE:	GOOD
VEGETATION:	RTS

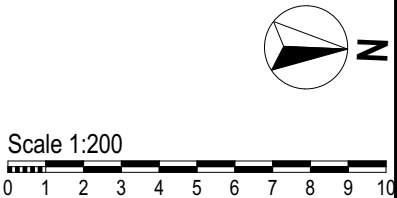
GAS:	YES	SSA/OLD AREAS:	OLD A.
WATER:	YES	C/JOB#:	449577
ELECTRICITY:	OH/UG	DATE:	18 FEB 19
PH/COMMS:	YES	SCALE:	1:200
SEWER:	YES	DRAWN:	F. CROASDALE
COASTAL:	NO		

UNLODGED SS PLAN:	N/A
ORIGINAL LOT:	N/A
LOT MISCLOSE:	0.054
SSL 1 MISCLOSE:	N/A
SSL 2 MISCLOSE:	N/A

DRAWN:	JS	SCALE:	1:200
DESIGNED:	AC	SHEET:	1 OF 15
CHECKED:	DM	SIZE:	A3
DATE:	6/08/19	PROJECTS	
MODEL:		JOB N°	
SPECIAL		156622	

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V001	DMA	25/09/19			
V002	JS	13/11/19			
V004	JS	5/12/19			
V005	WW	30.01.2020			
AMEND	DMA	24/03/20			
JEL	JS	1/04/20			
V007	DMA	20/04/20			

DEMOLITION PLAN



SUMMIT
HOMES GROUP
BUILD | RENOVATE | DEVELOP

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CLIENT NOTE:
- ALL FENCING BY CLIENT.

CONCRETOR NOTE:
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPENING.

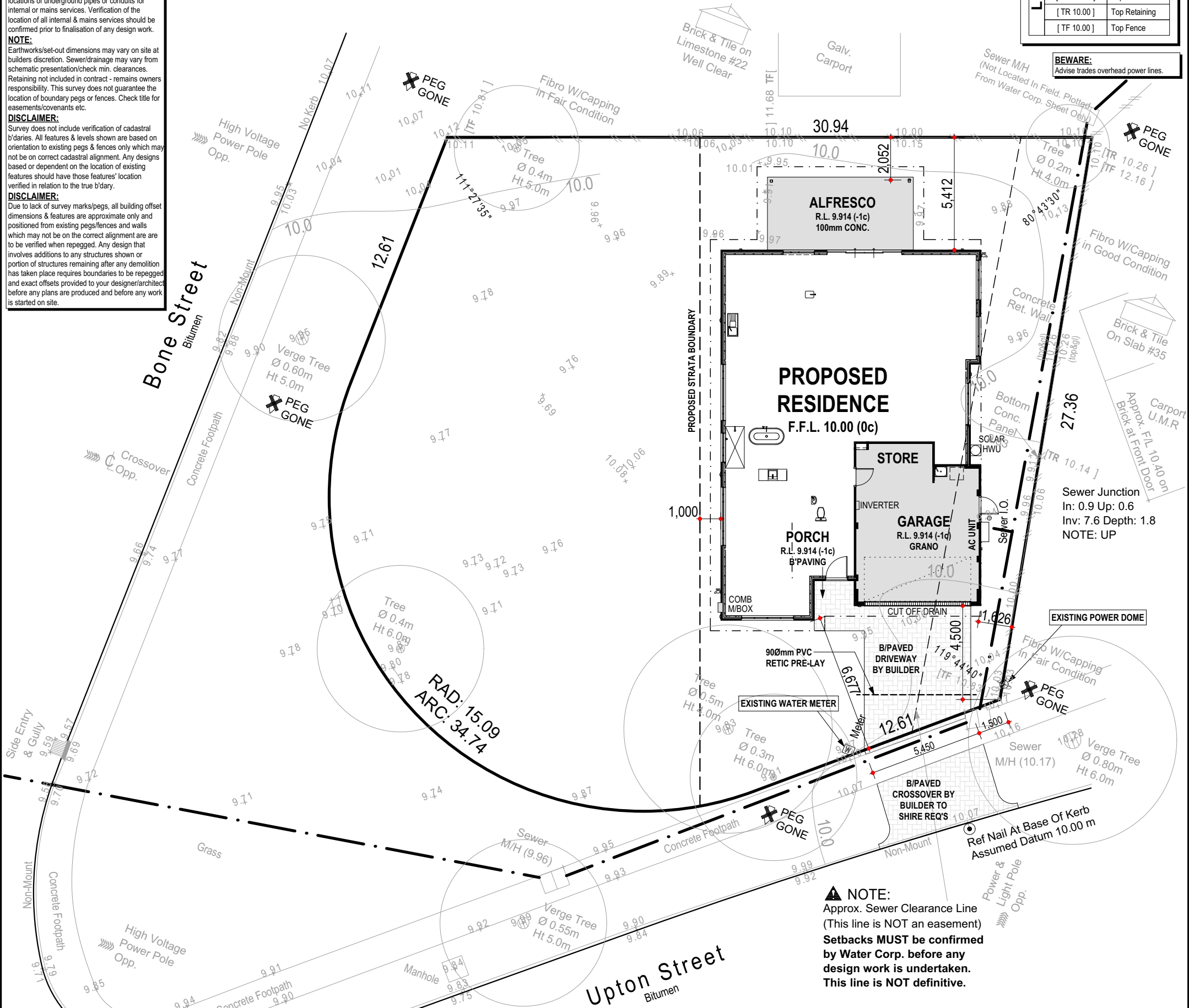
PLUMBER NOTE:
- REFER TO PLUMBING PLAN FOR SEWER AND STORMWATER LAYOUTS.

BRICKPAVER NOTE:
- BRICK PAVING TO DRIVEWAYS, PATHS, CARBAYS. EXTENT AS INDICATED.
- WIDTHS OF BRICK PAVED PATHS TO BE APPROX. 1.0m WIDE UNLESS OTHERWISE INDICATED.
- PRE-LAY 900mm PVC RETIC SLEEVE UNDER DRIVEWAY PRIOR TO PAVING FOR LANDSCAPING.

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		Power Pole
		Phone Pits
		Water Conn.
		Top Pillar/Post
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_____	_____	_____
_____	_____	_____

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AREA:	971m²	ROAD DESCR.:	BITUMEN	GAS:	YES	SSA/OLD AREAS:	OLD A.	UNLODGED SS PLAN:	N/A
SHIRE:	VICTORIA PARK	KERBING:	NON-MOUNT / NIL	WATER:	YES	C/JOB#:	449577	ORIGINAL LOT:	N/A
D.P.LAN:	6417	FOOTPATH:	CONC.	ELECTRICITY:	OH/UG	DATE:	18 FEB 19	LOT MISCLOSE:	0.054
C/T VOLUMN:	425	SOIL:	SAND	PH/COMMS:	YES	SCALE:	1:200	SSL 1 MISCLOSE:	N/A
FOLIO:	52A	DRAINAGE:	GOOD	SEWER:	YES	DRAWN:	F. CROASDALE	SSL 2 MISCLOSE:	N/A
MSD REF:	404-31/38	VEGETATION:	RTS	COASTAL:	NO				

PROPOSED RESIDENCE FOR:	MORGAN	DRAWN:	JS	SCALE:	1:200	Issue Name	Drawn	Date	Issue Name	Drawn	Date
ADDRESS:	PPL2 (ORIG. LOT 886) #37 UPTON STREET, ST. JAMES	DESIGNED:	AC	SHEET:	2 OF 15	V001	DMA	25/09/19			
		CHECKED:	DM	SIZE:	A3	V002	JS	13/11/19			
		DATE:	6/08/19	PROJECTS		V004	JS	5/12/19			
		MODEL:		JOB N°		AMEND	DMA	24/03/20			
		SPECIAL		156622		JEL	JS	1/04/20			
						V007	DMA	20/04/20			

Scale 1:200
0 1 2 3 4 5 6 7 8 9 10

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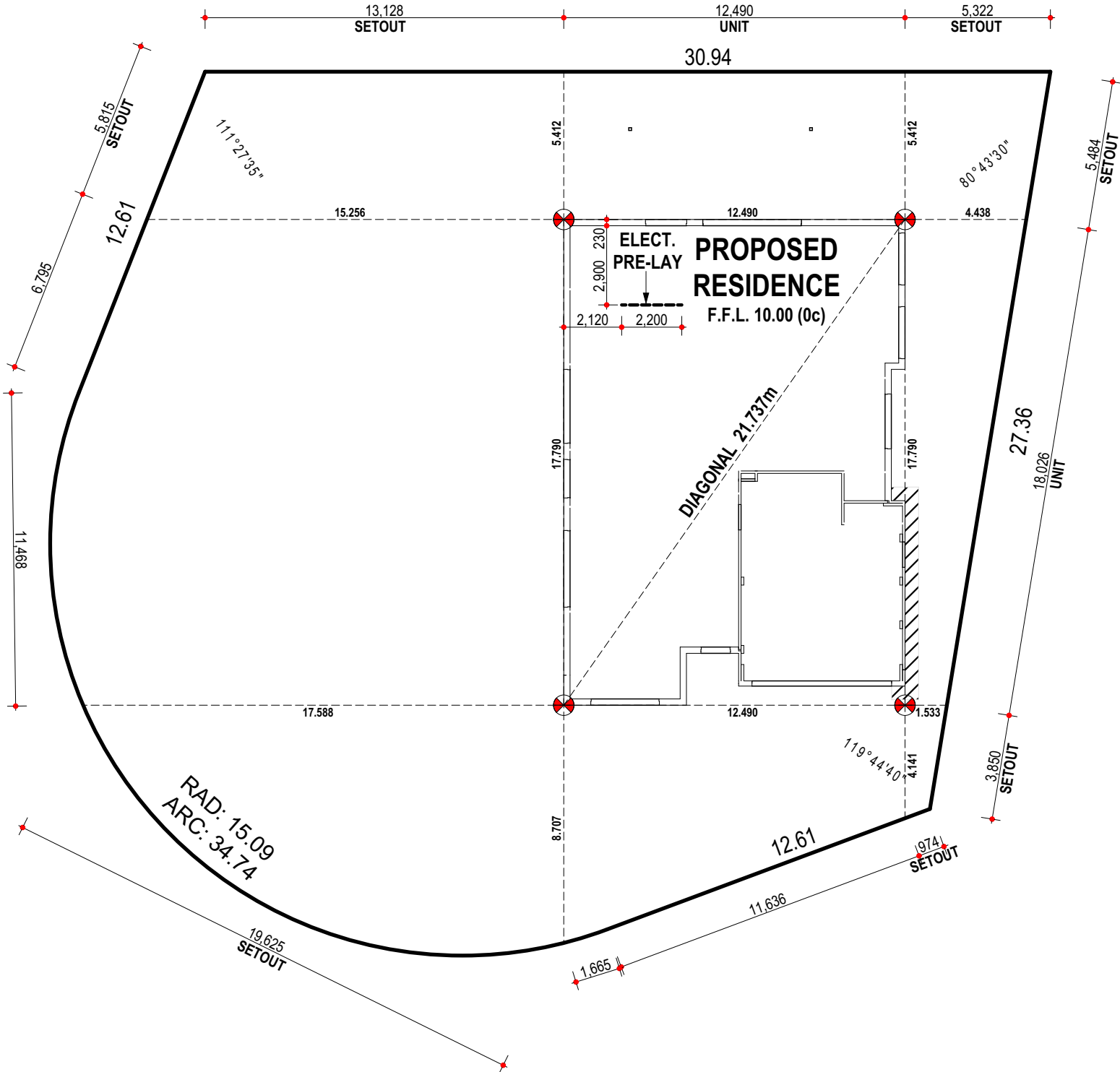
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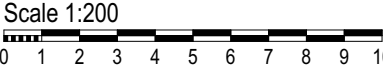
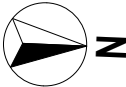
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BUILDER:
CLIENT(S):
WITNESS:



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D.PLAN:	6417	FOOTPATH:	CONC.	ELECTRICITY:	OH/UG	DATE:	18 FEB 19	LOT MISCLOSE:	0.054
C/T VOLUMN:	425	SOIL:	SAND	PH/COMMS:	YES	SCALE:	1:200	SSL 1 MISCLOSE:	N/A
FOLIO:	52A	DRAINAGE:	GOOD	SEWER:	YES	DRAWN:	F. CROASDALE	SSL 2 MISCLOSE:	N/A
MSD REF:	404-31/38	VEGETATION:	RTS	COASTAL:	NO				

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	CHECKED: DM	SIZE: A3	V002	JS	13/11/19			
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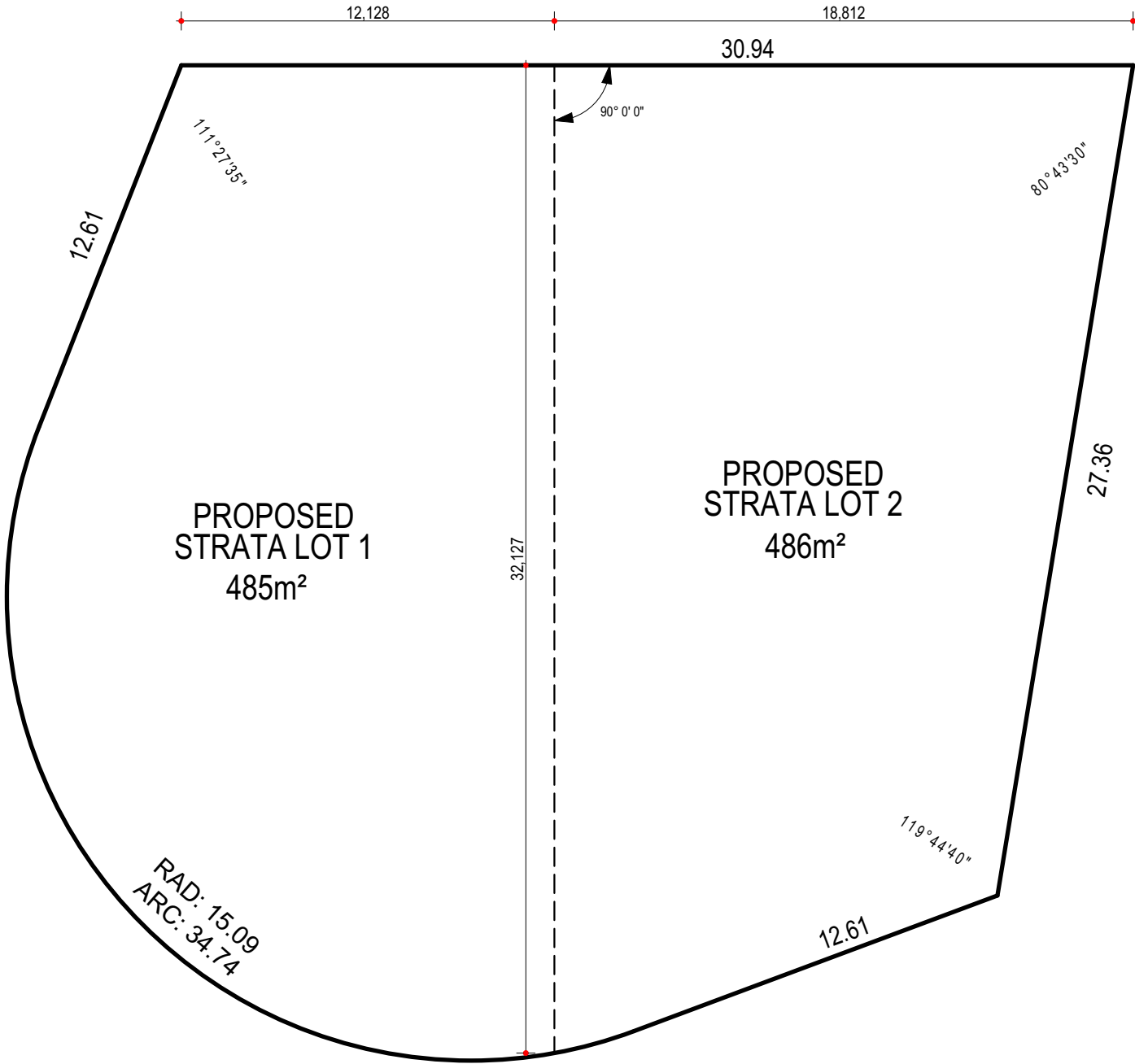
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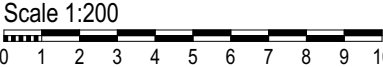
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BUILDER: _____
CLIENT(S): _____
WITNESS: _____



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SHIRE: VICTORIA PARK	KERBING: NON-MOUNT / NIL	WATER: YES	C/JOB#: 449577	ORIGINAL LOT: N/A
D.PLAN: 6417	FOOTPATH: CONC.	ELECTRICITY: OH/UG	DATE: 18 FEB 19	LOT MISCLOSE: 0.054
C/T VOLUMN: 425	SOIL: SAND	PH/COMMS: YES	SCALE: 1:200	SSL 1 MISCLOSE: N/A
FOLIO: 52A	DRAINAGE: GOOD	SEWER: YES	DRAWN: F. CROASDALE	SSL 2 MISCLOSE: N/A
MSD REF: 404-31/38	VEGETATION: RTS	COASTAL: NO		

PROPOSED RESIDENCE FOR:
MORGAN

ADDRESS:
PPL2 (ORIG. LOT 886) #37 UPTON STREET,
ST. JAMES

DRAWN: JS
DESIGNED: AC
CHECKED: DM
DATE: 6/08/19
MODEL: SPECIAL

SCALE: 1:200
SHEET: 4 OF 15
SIZE: A3
PROJECTS
JOB N°
156622

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V001	DMA	25/09/19			
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STRATA PLAN

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PLUMBER NOTE:

- CONNECT ALL DOWNPIPES TO STORMWATER SOAKWELLS AS PER SHIRE REQUIREMENTS.
- PART 3.1.2 DRAINAGE: ALL STORMWATER & SURFACE WATER DRAINAGE TO COMPLY W/- A.S. 3500.3:2003, CLAUSE 3.1.2.1 & 3.1.2.5 BCA VOL. 2 & LOCAL AUTHORITY REQUIREMENTS.
- REFLUX VALVE REQUIRED.

STORMWATER & SEWER NOTES

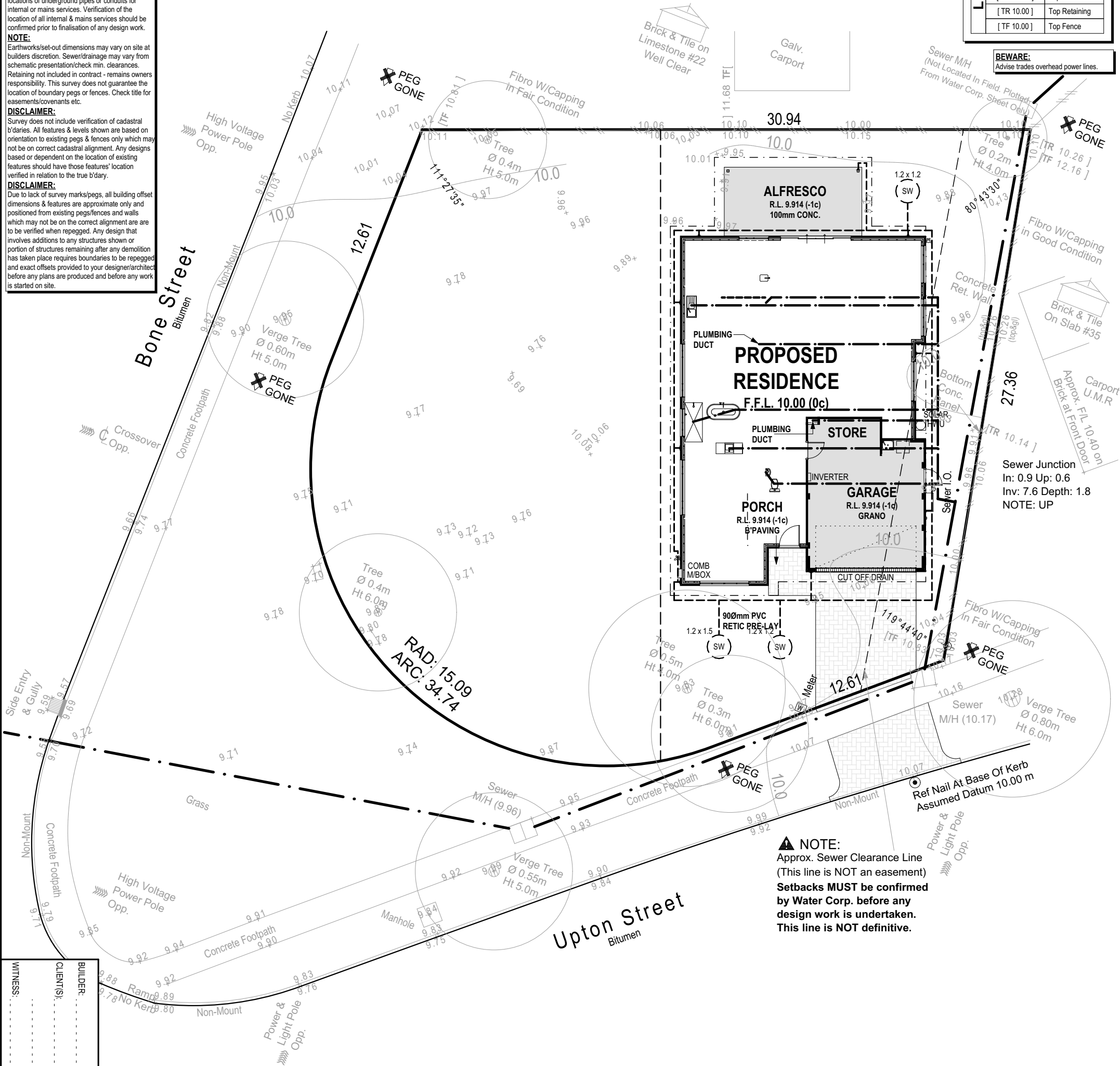
1:20 YEAR STORM EVENT

Soak Well Type	No.	
SW 1200x1200	2	2.7 m3
SW 1200x1500	1	1.7 m3
Total Capacity		4.4 m3
Roof Area GF		266.8 m2
Paved Area		36.7 m2
Total Area		303.5 m2
Capacity Required (Area x 0.0130)		3.9 m3
Extra Capacity Provided		0.5 m3

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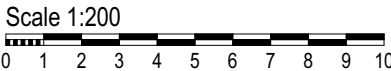
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			V007	DMA	20/04/20			



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SITE CLASSIFICATION - CLASS 'A'
(REFER TO SITE REPORT FOR
DETAILS) WIND LOAD - N1
CORROSION CLASSIFICATION - R1

FRAMING NOTE
- EXTERNAL WALLS TO BE
STEEL FRAME BRICK VENEER
- 2c FACE BRICK TO BE LAID IN THIRD BOND U.N.O
- INTERNAL WALLS TO BE STEEL FRAMED

ROOF NOTE
- **COLORBOND** ROOF, PITCH AT 25° & 38° W/- 500W EAVES UNO
- STEEL ROOF FRAME TO NASH STANDARDS
- CEILINGS AT 30c + PLATE UNLESS NOTED OTHERWISE

ROOF PLUMBER NOTE
- PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)
- FINAL POSITIONS OF RWP'S TO BE DETERMINED ON SITE
- RWP'S IN PORCH TO BE STRAIGHT CONNECTION TO
STORMWATER SYSTEM (NO KICK)

ROOF INSULATION NOTE
- R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL
PLASTERBOARD OR VERSILUX CEILINGS IF APPL.
- R1.3 ANTICON TO ENTIRE ROOF

DOOR NOTE
- TOILET DOOR TO COMPLY W/- CLAUSE 3.8.3.3 OF THE B.C.A VOL. 2

FIXING CARPENTER NOTE
- 4 No. 450D SHELVES TO PANTRY AND LINEN UNO
- 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO
- 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY
- PROVIDE MID-SHELF SUPPORT WHERE
NOTED "MSS" TO ANY SHELF
OVER 1.8m LONG.

CEILING MATERIAL NOTE
- PORCH (INC. AREAS SHOWN HATCHED) - VERSILUX C.L.
- GARAGE - HARDIFLEX C.L.
- ALFRESCO - PLASTERBOARD C.L.

GARAGE NOTE
- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OP'NG

RENDER WALL NOTE
- PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED WALLS
& H/FLEX / VERSILUX CEILINGS

TRADES / SUPERVISOR NOTE
- REFER TO STRUCTURAL ENGINEERS DETAILS
- ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS
DRAWINGS & STANDARD SPECIFICATION.

ELECTRICAL NOTE
- INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH
AS3786-2014 AS INDICATED ON PLAN

SEWER EASEMENT NOTE
- PILING AND/OR DROPPED FOOTINGS MAY BE REQUIRED DUE TO
THE CLOSE PROXIMITY OF SEWER EASEMENTS.

DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions
& notes prior to initiating works. Any
discrepancies to be notified to the Site
Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

PLASTERBOARD NOTE
- PROVIDE PLASTERBOARD TO ALL INTERNAL WALLS UNLESS NOTED
OTHERWISE
- WET AREA PLASTERBOARD TO BATHROOM & ENSUITE.

CONCRETOR/BRK LAYER NOTE
- ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c UNLESS
NOTED OTHERWISE.

AIRCON NOTE
- PROVIDE REVERSE CYCLE AIR CONDITIONING. OUTLET POSITIONS TO BE
NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

PLUMBER NOTE
- NO HOBS TO SHOWERS UNLESS SHOWN OTHERWISE.
- PLUMBER TO INSTALL REFLUX VALVE.



FLOOR PLAN		Area m ²	Perim. L/m
1. FLOOR PLAN		167.54	62.74
2. GARAGE		40.17	25.76
3. STORE		4.20	9.64
4. PORCH		2.29	6.22
5. ALFRESCO		22.58	20.16
6. TOTAL AREA		236.77	68.28
7. ROOF		266.83	70.56

PROPOSED RESIDENCE FOR:
MORGAN

ADDRESS:
**PPL2 (ORIG. LOT 886) #37 UPTON STREET,
ST. JAMES**

DRAWN: JS
DESIGNED: AC
CHECKED: DM
DATE: 6/08/19
MODEL:
SPECIAL

SCALE: 1:100
SHEET: 6 OF 15
SIZE: A3
PROJECTS
JOB N°
I56622

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V001	DMA	25/09/19			
V002	JS	13/11/19			
V004	JS	5/12/19			
V005	WW	30.01.2020			
AMEND	DMA	24/03/20			
JEL	JS	1/04/20			
V007	DMA	20/04/20			

FLOOR PLAN

SUMMIT
HOMES GROUP
BUILD | RENOVATE | DEVELOP

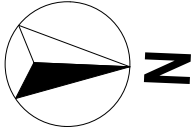
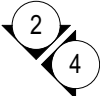
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TOILET DOOR TO COMPLY W/- CLAUSE 3.8.3.3 OF THE B.C.A VOL. 2

- PROVIDE R1.5 INSULATION TO ALL INTERNAL FRAMED WALLS
- PROVIDE R2.0 INSULATION TO ALL EXTERNAL FRAMED WALLS

- R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL PLASTERBOARD OR VERSILUX CEILINGS IF APPL.
- R4.0 CEILING INSULATION TO RAKING CEILINGS
- R4.0 CEILING INSULATION TO UNDERSIDE OF UPPER FLOOR

DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions
& notes prior to initiating works. Any
discrepancies to be notified to the Site
Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.



	Area m ²	Perim. L/m
1. FLOOR PLAN	60.04	37.76

Issue Name	Drawn	Date
V001	DMA	25/09/19
V002	JS	13/11/19
V004	JS	5/12/19
AMEND	DMA	24/03/20
JEL	JS	1/04/20
V007	DMA	20/04/20

UPPER FLOOR PLAN



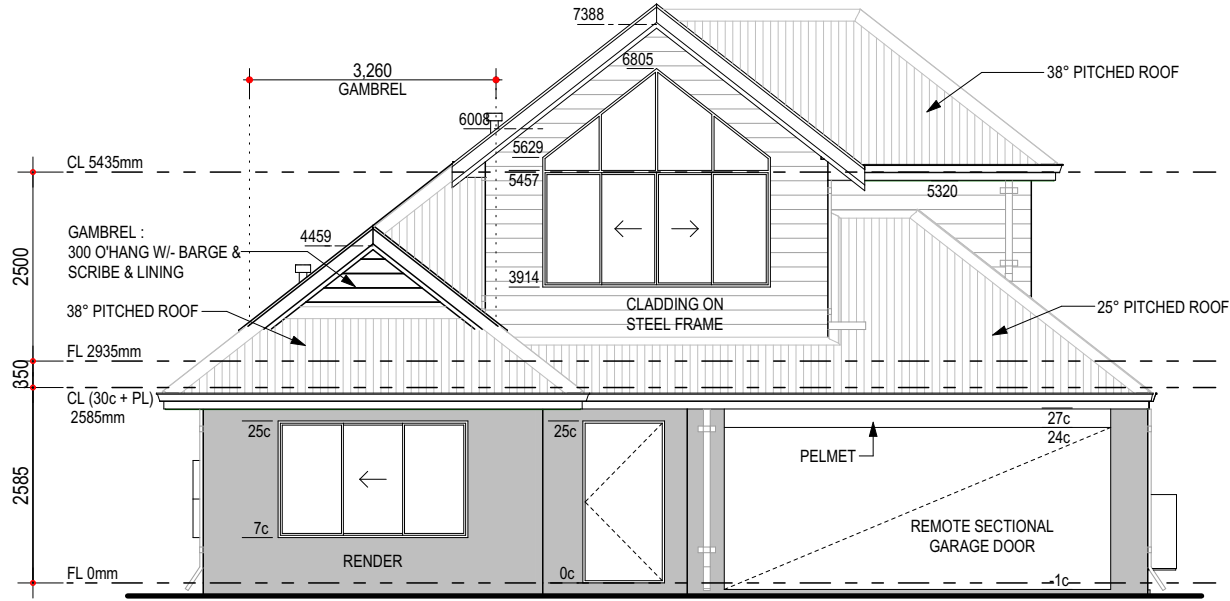
ROOF NOTE

- COLORBOND ROOF, PITCH AT 25° & 38° W/- 500W EAVES UNO
- STEEL ROOF IN ACCORDANCE TO NASH STANDARD
- CEILINGS AT 30c + PLATE UNLESS NOTED OTHERWISE

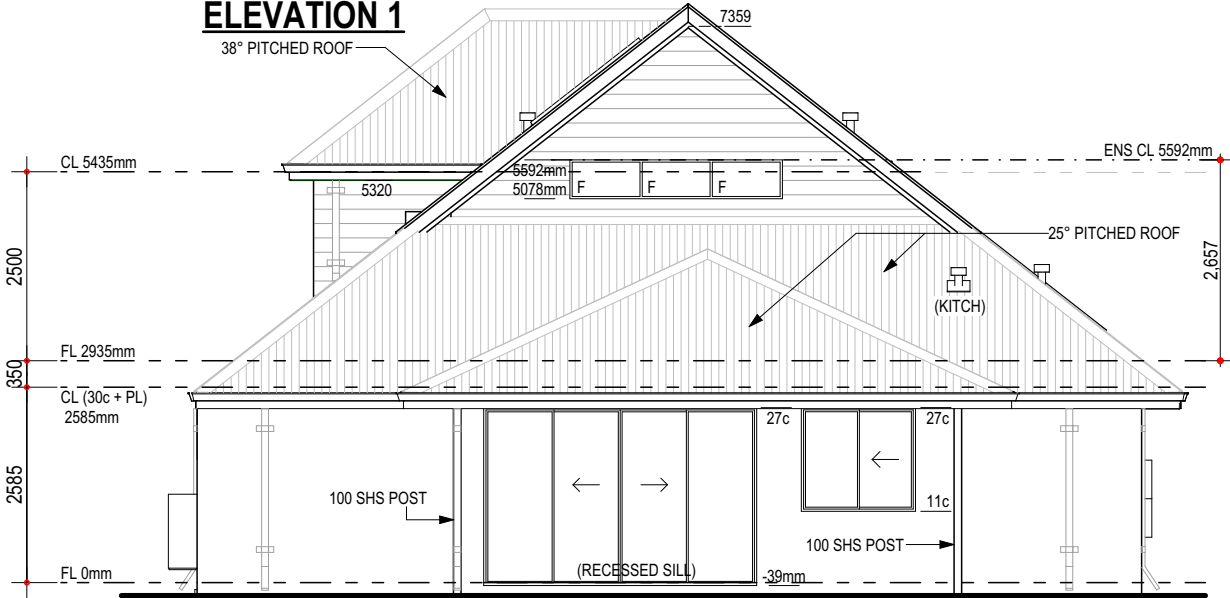
WINDOW SUPPLIER NOTE

- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288
- FOR WINDOWS TO STEEL FRAME WALLS ONLY:
WINDOW SUPPLIER TO CONTACT BACK BONE STEEL FOR FINAL MEASUREMENTS IF DESIGN HAS A RAKING OR CLERESTORY WINDOWS PRIOR TO MANUFACTURE. WINDOW SUPPLIER TO SITE MEASURE AS REQUIRED.

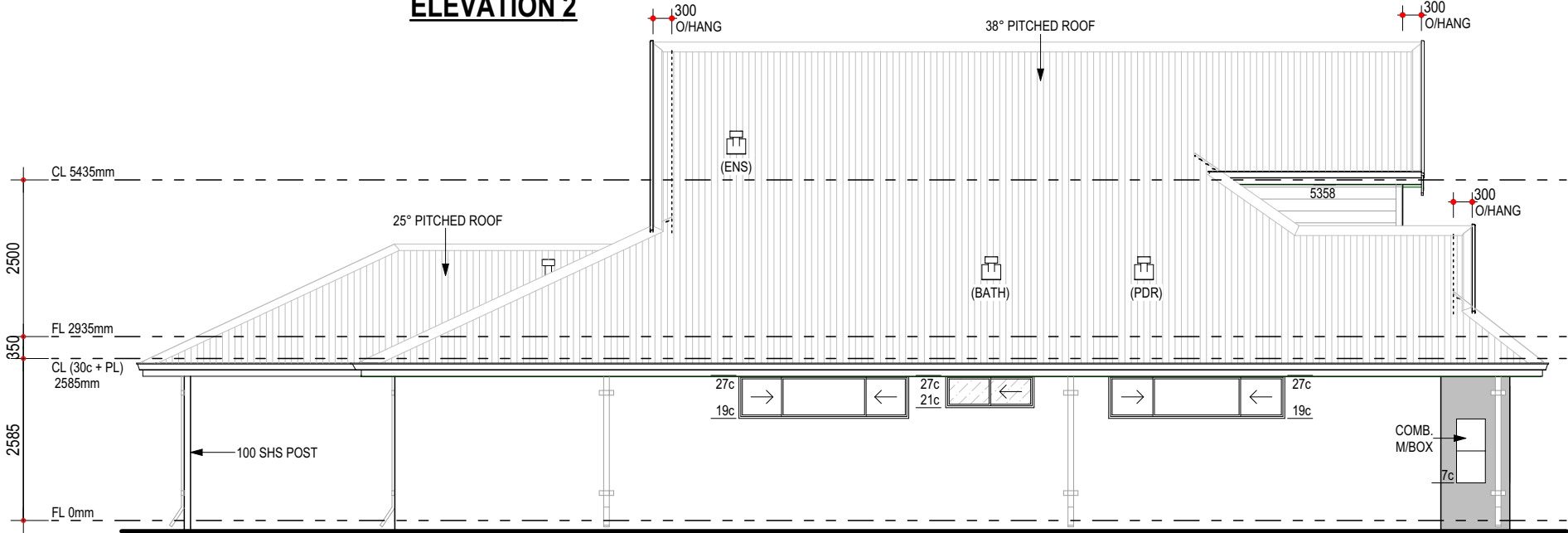
DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.



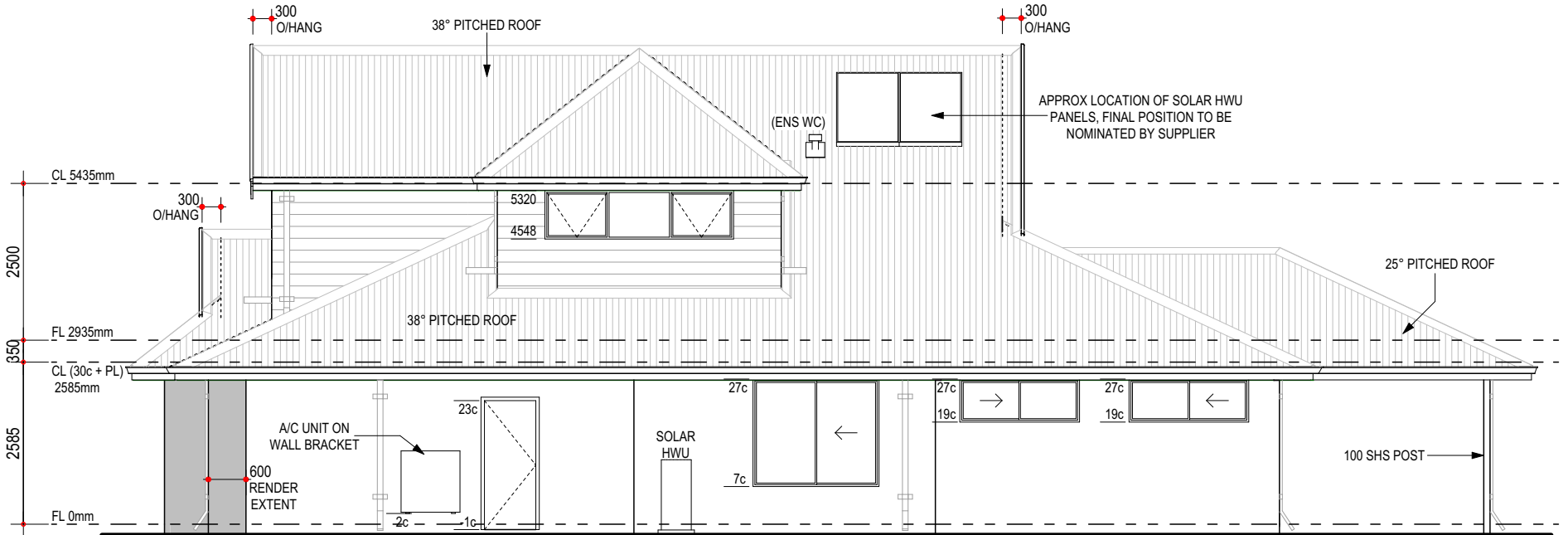
ELEVATION 1



ELEVATION 2



ELEVATION 3



ELEVATION 4

WITNESS:	CLIENT(S):	BUILDER:

PROPOSED RESIDENCE FOR:
MORGAN

ADDRESS:
PPL2 (ORIG. LOT 886) #37 UPTON STREET,
ST. JAMES

DRAWN: JS
DESIGNED: AC
CHECKED: DM
DATE: 6/08/19
MODEL: SPECIAL

SCALE: 1:100
SHEET: 8 OF 15
SIZE: A3
PROJECTS
JOB N° 156622

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V001	DMA	25/09/19			
V002	JS	13/11/19			
V004	JS	5/12/19			
AMEND	DMA	24/03/20			
JEL	JS	1/04/20			
V007	DMA	20/04/20			

ELEVATIONS



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Architectural floor plan of a building with a steel roof. The plan shows three bedrooms (BED 1, BED 2, BED 3), a bathroom (B), a living area (LIV), a dining area (DIN), a kitchen (KIT), a garage, and a passageway (PASS.). The roof is labeled "STEEL ROOF IN ACCORDANCE TO NASH STANDARDS". The plan includes dimensions and a note about the backbone steel floor system.

Dimensions: 2585, 350, 2500, 5435mm, 2935mm, 2585mm, 5320, 8c, 2c.

Rooms and Features:

- BED 1
- BED 2
- BED 3
- B (Bathroom)
- LIV (Living Area)
- DIN (Dining Area)
- KIT (Kitchen)
- GARAGE
- PASS. (Passageway)
- PDR (Pantry)
- WIR (Wardrobe)
- NO CORNICE TO LOFT CEILING

STEEL ROOF IN ACCORDANCE TO NASH STANDARDS

BACKBONE STEEL FLOOR SYSTEM REFER TO ENG. DETAILS

**CONCRETE FOOTINGS &
SLAB TO ENG. DETAILS**

**BACKBONE STEEL FLOOR SYSTEM
REFER TO ENG. DETAILS**

**STEEL ROOF IN ACCORDANCE
TO NASH STANDARDS**

NO CORNICE TO LOFT CEILING

5320

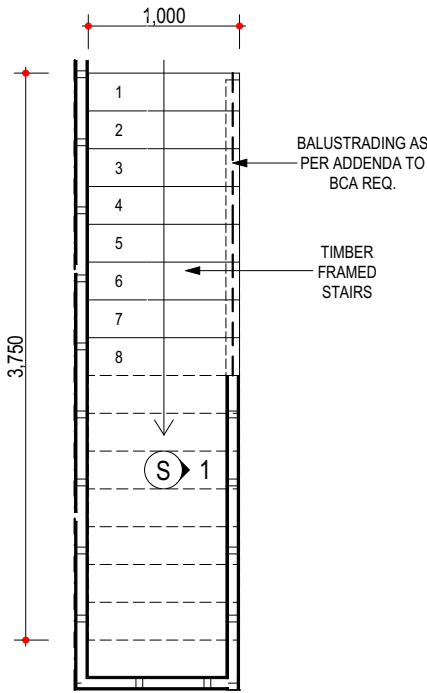
BULDER:	/	/
CLIENT(S):	/	/
WITNESS:	/	/



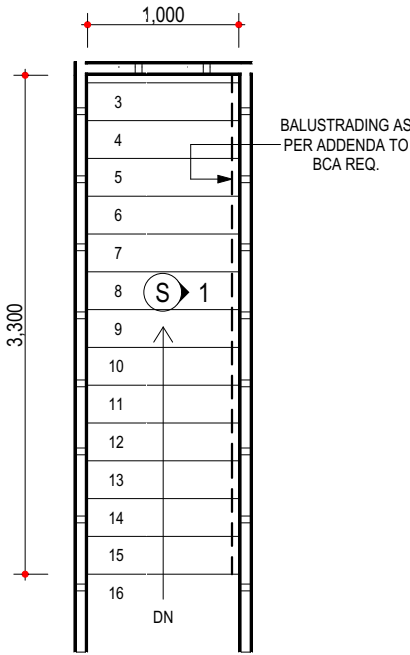
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BUILD | RENOVATE | DEVELOP

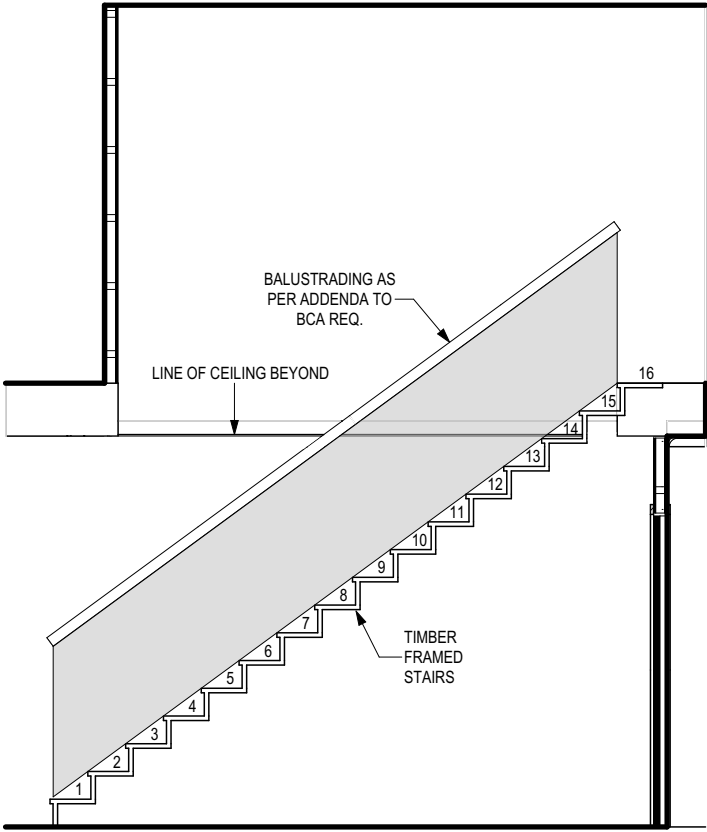
DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions
& notes prior to initiating works. Any
discrepancies to be notified to the Site
Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.



STAIR PLAN - GF
SCALE 1:50



STAIR PLAN - UF
SCALE 1:50



S1 VIEW

BUILDER:	/
CLIENT(S):	/
WITNESS:	/

PROPOSED RESIDENCE FOR:
MORGAN

ADDRESS:
**PPL2 (ORIG. LOT 886) #37 UPTON STREET,
ST. JAMES**

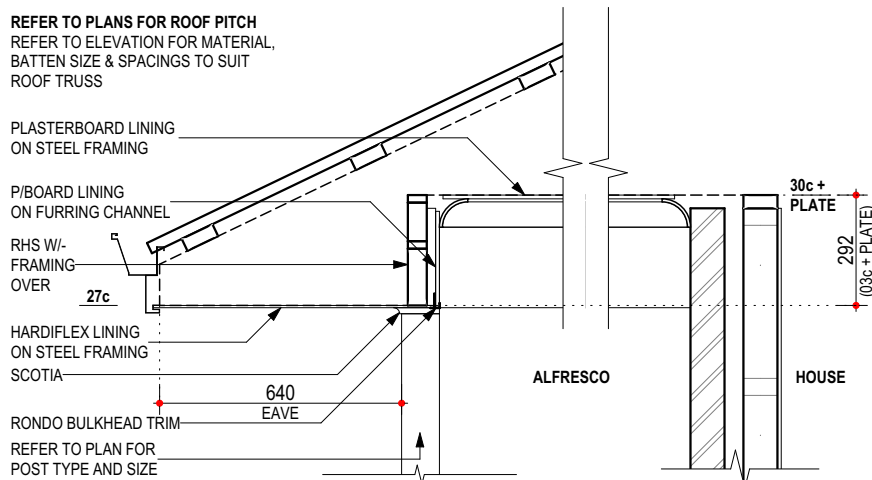
DRAWN: JS
DESIGNED: AC
CHECKED: DM
DATE: 6/08/19
MODEL: SPECIAL

SCALE: AS NOTED
SHEET: 10 OF 15
SIZE: A3
PROJECTS
JOB N° 156622

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V001	DMA	25/09/19			
V002	JS	13/11/19			
V004	JS	5/12/19			
AMEND	DMA	24/03/20			
JEL	JS	1/04/20			
V007	DMA	20/04/20			

STAIR LAYOUT

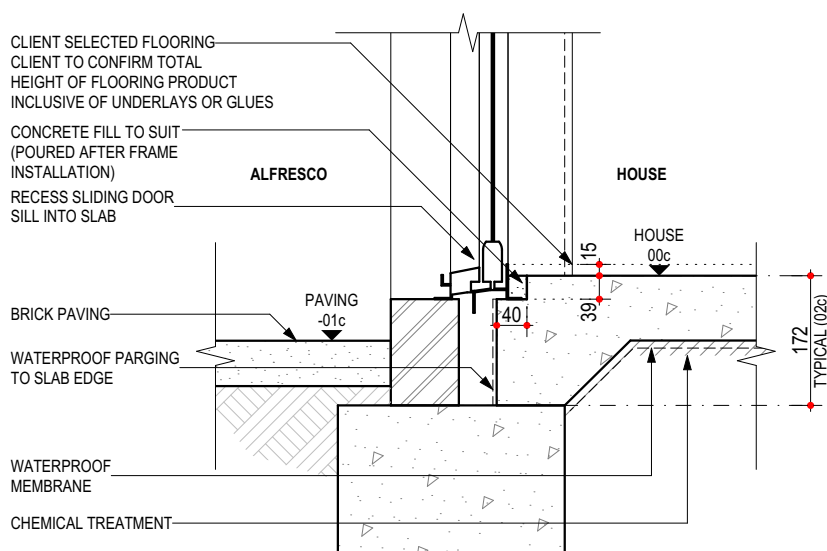
DO NOT SCALE FROM THIS DRAWING
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ALL DIMENSIONS TO BRICKWORK.



D01 - 3c RECESSED CEILING TO ALFRESCO

NOTES:

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
 - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
 - SCALE 1 : 20

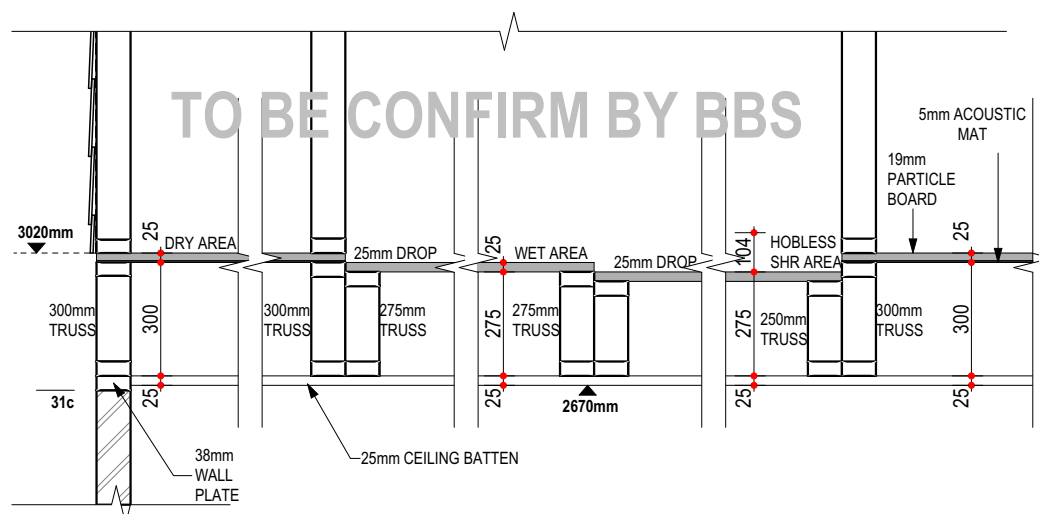


D02 - SLIDING DOOR RECESSED IN CONCRETE

W/- PAVING AT -01c

NOTES:

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
 - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 - SCALE 1 : 10



UPPER FLOOR SCHEMATIC DETAIL

NOTES:

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
 - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
 - SCALE 1 : 20

BUILDER:	/	/
CLIENT(S):	/	/
	/	/
WITNESS:	/	/

PROPOSED RESIDENCE FOR:
MORGAN

ADDRESS:
PPL2 (ORIG. LOT 886) #37 UPTON STREET,
ST. JAMES

DRAWN: JS
DESIGNED: AC
CHECKED: DM
DATE: 6/08/19
MODEL:
SPECIAL

SCALE: AS NOTED
SHEET: 11 OF 15
SIZE: A3
PROJECTS
JOB N°
156622

Issue Name	Drawn	Date
V001	DMA	25/09/19
V002	JS	13/11/19
V004	JS	5/12/19
AMEND	DMA	24/03/20
JEL	JS	1/04/20
V007	DMA	20/04/20

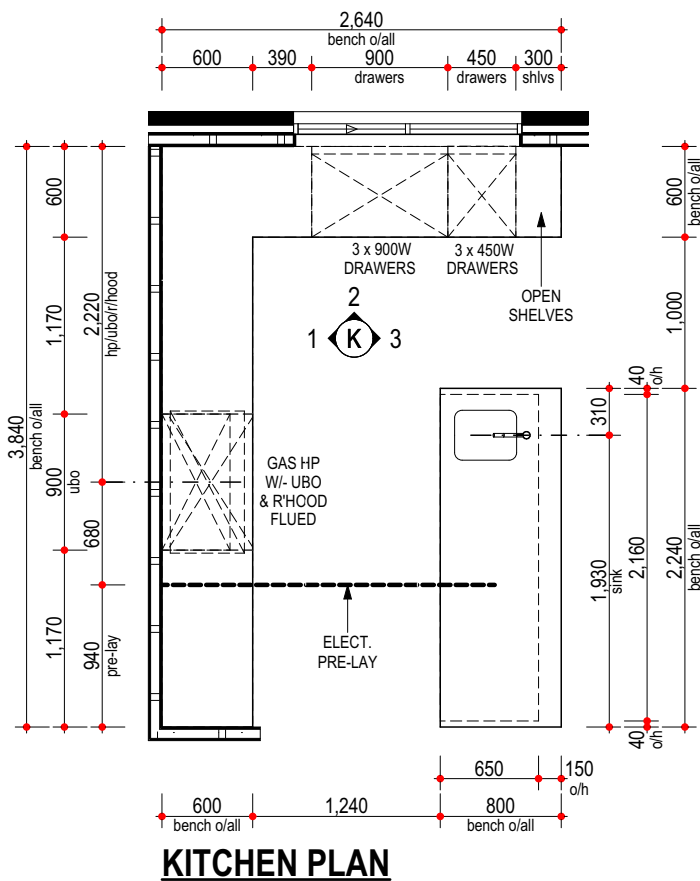
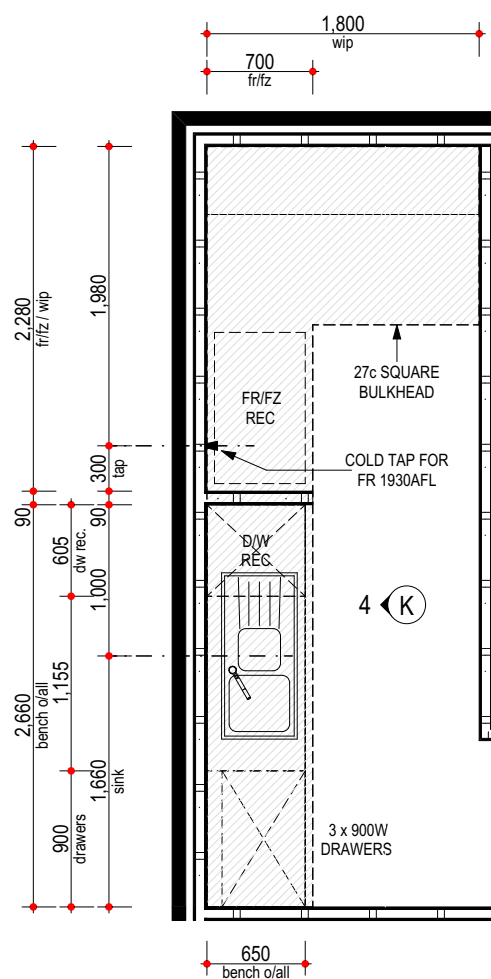
DETAILS



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BUILD | RENOVATE | DEVELOP

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BENCHTOP NOTE

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

WALL FINISH NOTE

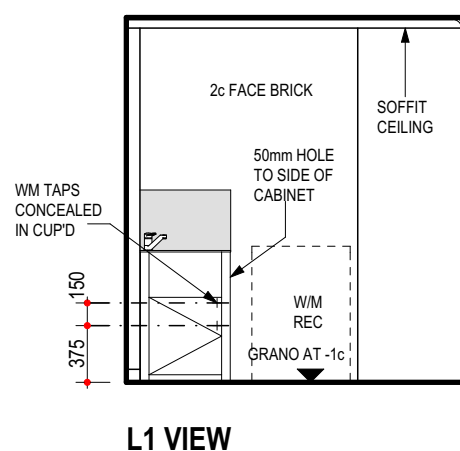
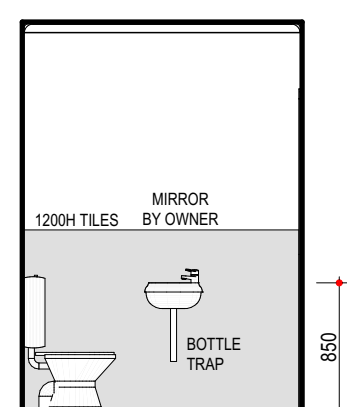
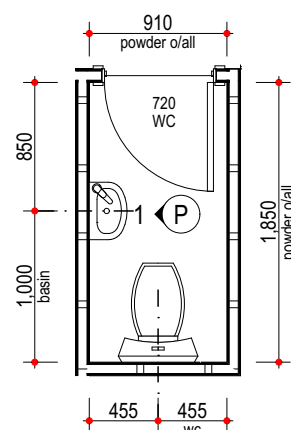
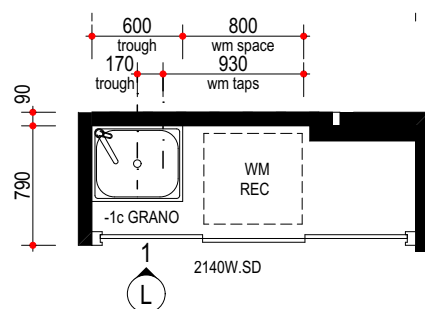
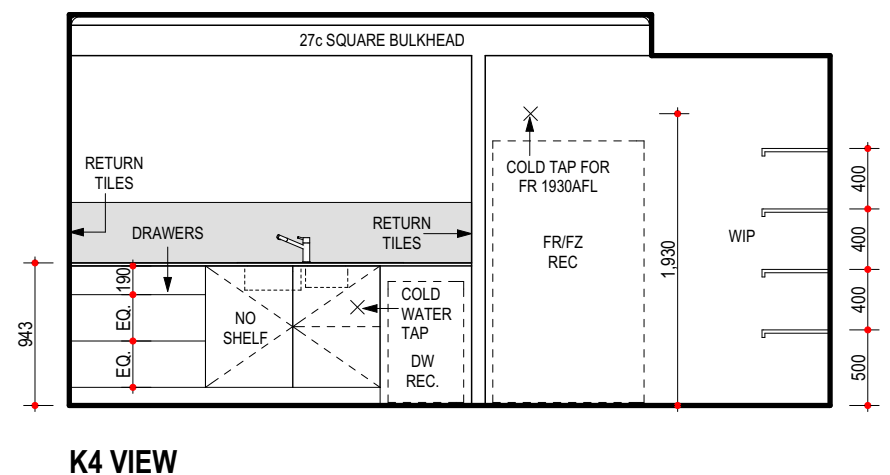
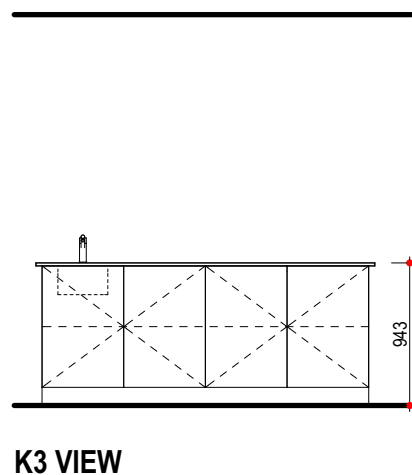
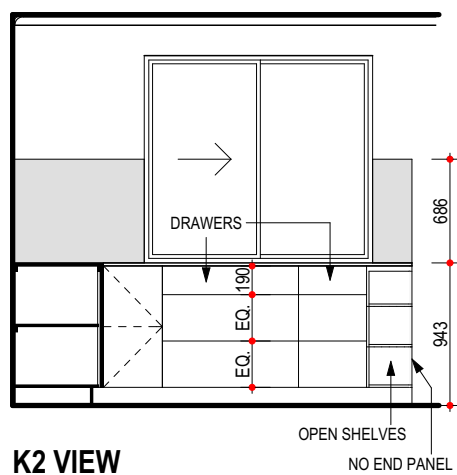
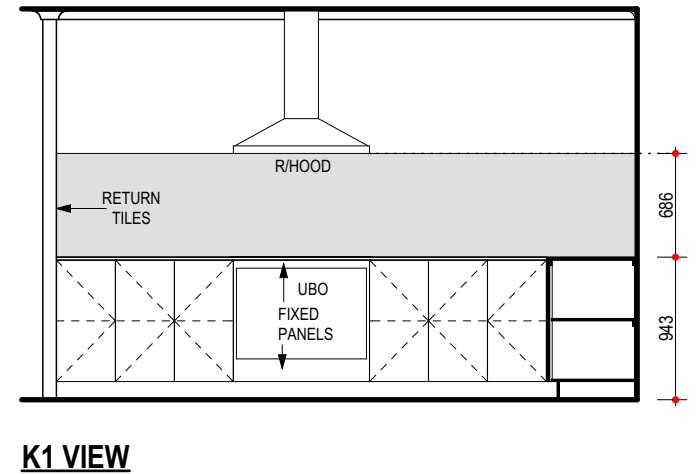
- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

CABINETMAKER NOTE
- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions
& notes prior to initiating works. Any
discrepancies to be notified to the Site
Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

REFER TO ADDENDUM FOR FITOUT SPECIFICATION

WET AREAS CONSTRUCTED IN ACCORDANCE WITH
PART 3.8.1 OF B.C.A. (VOL 2)



BUILDER:	/	/
CLIENT(S):	/	/
	/	/
WITNESS:	/	/

PROPOSED RESIDENCE FOR:
MORGAN

ADDRESS:
PPL2 (ORIG. LOT 886) #37 UPTON STREET,
ST. JAMES

DRAWN:	JS	SCALE:	1:50
DESIGNED:	AC	SHEET:	12 OF 15
CHECKED:	DM	SIZE:	A3
DATE:	6/08/19	PROJECTS	
MODEL:		JOB N°	
SPECIAL		156622	

SCALE: 1:50
SHEET: 12 OF 15
SIZE: A3
PROJECTS
JOB N°
156622

Issue Name	Drawn	Date
V001	DMA	25/09/19
V002	JS	13/11/19
V004	JS	5/12/19
V005	VW	30.01.2021
AMEND	DMA	24/03/20
JEL	JS	1/04/20
V007	DMA	20/04/20

ROOM LAYOUTS

Issue Name	Drawn	Date
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HOMES GROUP

BUILD | RENOVATE | DEVELOP

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BENCHTOP NOTE

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

WALL FINISH NOTE

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

CABINETMAKER NOTE

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

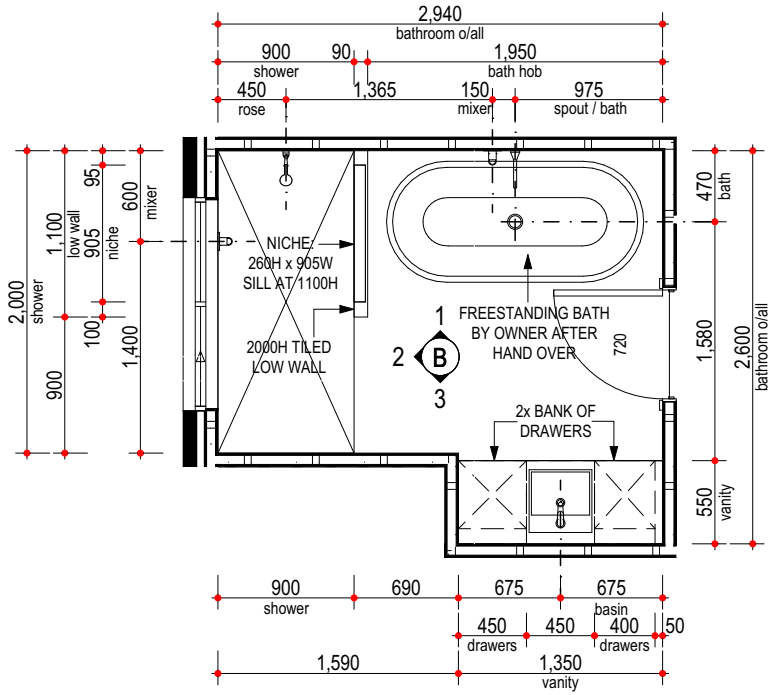
TILER NOTE

- SHADING DENOTES EXTENT OF TILING
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES.
- PROVIDE MITRED TILING THROUGHOUT WHERE APPLICABLE.

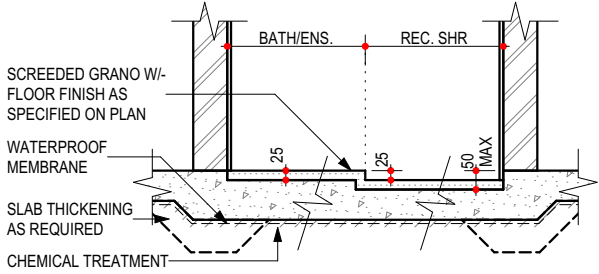
DO NOT SCALE FROM THIS DRAWING

All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

REFER TO ADDENDUM FOR FITOUT SPECIFICATION
WET AREAS CONSTRUCTED IN ACCORDANCE WITH PART 3.8.1 OF B.C.A. (VOL 2)



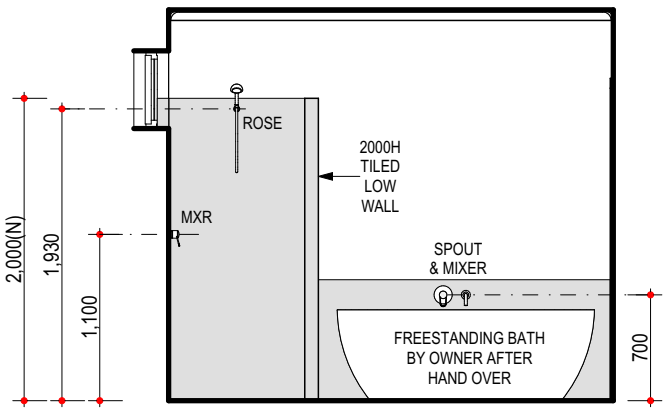
BATH PLAN



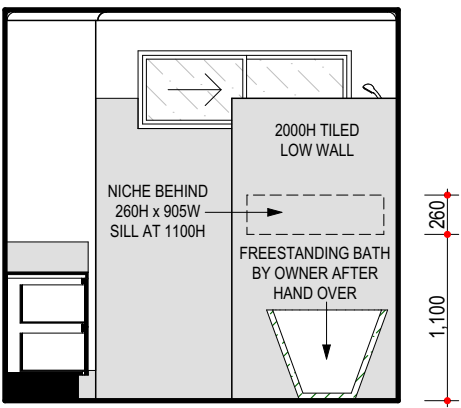
RECESSED SHOWER DETAIL (NO HOB)

NOTES:

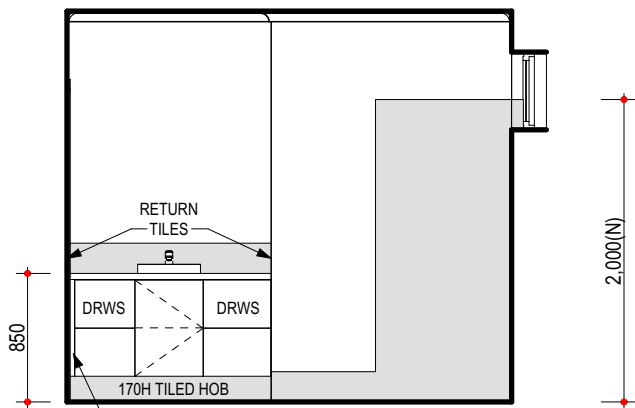
- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- SCALE 1 : 20



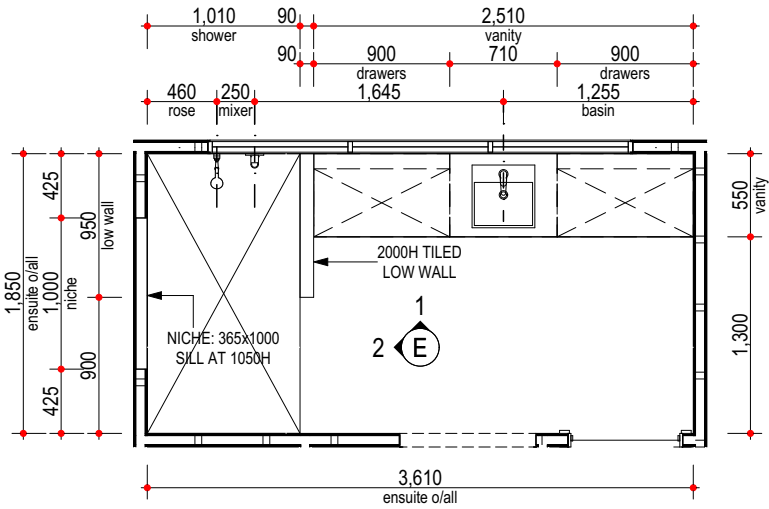
B1 VIEW



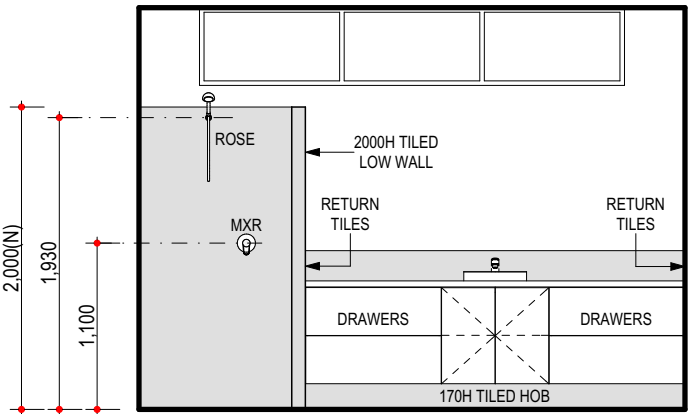
B2 VIEW



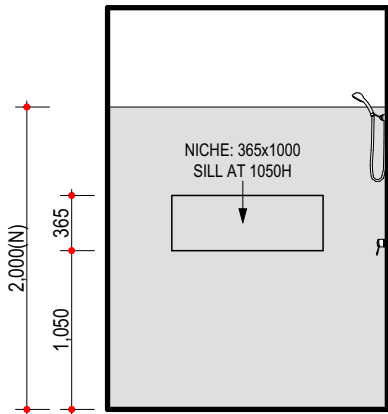
B3 VIEW



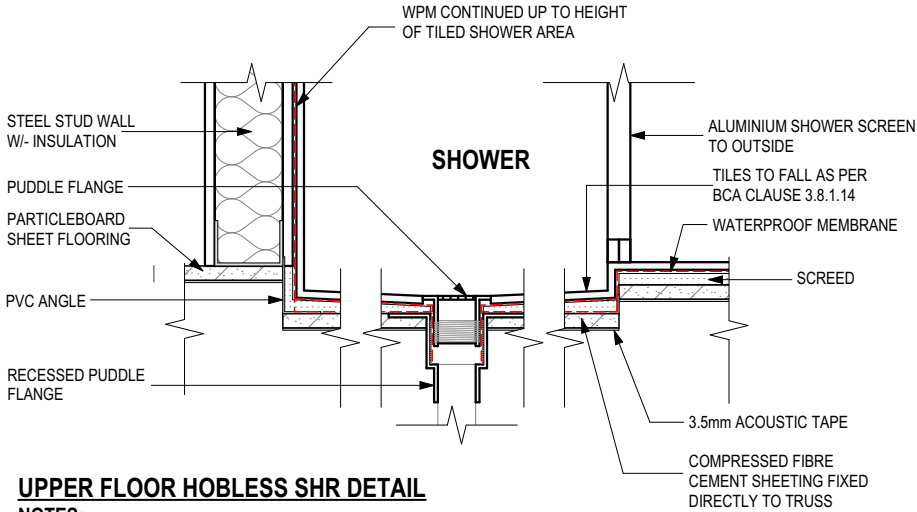
ENSUITE PLAN



E1 VIEW



E2 VIEW



UPPER FLOOR HOBLESS SHR DETAIL

NOTES:

- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- FLOORING TO MANUFACTURER'S SPEC.
- 25mm DROPDOWN TO WET AREAS
- EXTRA 25mm DROPDOWN TO SHOWERS (50mm TOTAL DROP FROM FFL)
- SCALE 1 : 10

BUILDER:	
CLIENT(S):	
WITNESS:	

PROPOSED RESIDENCE FOR:
MORGAN

ADDRESS:
PPL2 (ORIG. LOT 886) #37 UPTON STREET,
ST. JAMES

DRAWN: JS
DESIGNED: AC
CHECKED: DM
DATE: 6/08/19
MODEL: SPECIAL

SCALE: 1:50
SHEET: 13 OF 15
SIZE: A3
PROJECTS
JOB N° 156622

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V001	DMA	25/09/19			
V002	JS	13/11/19			
V004	JS	5/12/19			
AMEND	DMA	24/03/20			
JEL	JS	1/04/20			
V007	DMA	20/04/20			

ROOM LAYOUTS



ELECTRICAL LEGEND

Ground Floor

Qty	Sym.	Description	Watts	Insulation Penetrations
1		EXTERNAL WALL LIGHT @ 1800 AFL Perimeter Lighting	11*	*
3		RECESSED LED DOWN-LIGHT (7w) External	21*	*
2		CEILING LIGHT (11w) Class 10	22*	*
1		WALL LIGHT @ 1800 AFL	11	
16		RECESSED LED DOWN-LIGHT (7w)	112	
3		H.WIRED SMOKE DETECTOR	0	
2		EXHAUST FAN	0	0.090
8		CEILING LIGHT (11w)	88	
2	2 WAY	2 WAY SWITCH	0	
2		SINGLE GPO IN/ON CEILING	0	
3		SINGLE GPO @ NOTED HT	0	
1		NBN LEAD IN CONDUIT (25mm) W/- BLANK FACE PLATE AT 1500 AFL	0	
1		DOUBLE WATER PROOF GPO	0	
10		DOUBLE GPO @ NOTED HT	0	
10		DOUBLE GPO @ 200 AFL	0	
1		DOUBLE GPO @ 1500 AFL W/ 20mm CONDUIT FOR PSU CONNECTION	0	
1		CONDUIT FOR NBN (25mm)	0	
1		CONDUIT (32mm)	0	
5		CONDUIT	0	
1		D2 (PH/DATA)	0	
1		D2 (2x DATA/PHONE) FOR NBN PROVISION @ 1500 AFL	0	
1		C1 (TV) + D2 (PH/DATA)	0	

* NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. Subtotal: 211 0.090
PERIMETER LIGHTING MIN. 40 LUMENS/W.

Total Class 1 Wattage= 293

Wattage Calculations (Class 1)

Story Name	Area	Allowed Wattage	Actual Wattage
0 Ground Floor	155.14 Sqm	776 w	211 w
2 Upper Floor	56.68 Sqm	283 w	82 w
	211.82 sqm	1059 w	293 w
			PASS

Recessed Fitting Penetrations (Class 1)

Story Name	Area	Maximum Penetrations	Actual Penetrations	
0 Ground Floor	116.82 Sqm	0.584 Sqm	0.090 Sqm	
2 Upper Floor	56.68 Sqm	0.283 Sqm	0.090 Sqm	
	173.50 sqm	0.868 sqm	0.181 sqm	PASS
	0.10 % R4.0 Insulation Adjustment Not Required			

DO NOT SCALE FROM THIS DRAWING
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& notes prior to initiating works. Any
discrepancies to be notified to the Site
Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO AS3786-2014
- FINAL POSITION OF ELECTRICAL ITEMS SUCH AS GPO'S, LIGHT SWITCHES ETC. MAY VARY ON SITE DUE TO ELECTRICAL REGULATIONS. LIGHT SWITCH HEIGHT TO BE AT 1200 AFL U.N.O.
- NEUTRAL CABLING REQUIRED TO ALL LIGHT SWITCHES.
- ALL EXHAUST FANS TO BE FLUED TO EXTERNAL AIR

AIRCON NOTE

- PROVIDE REVERSE CYCLE AIR CONDITIONING. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

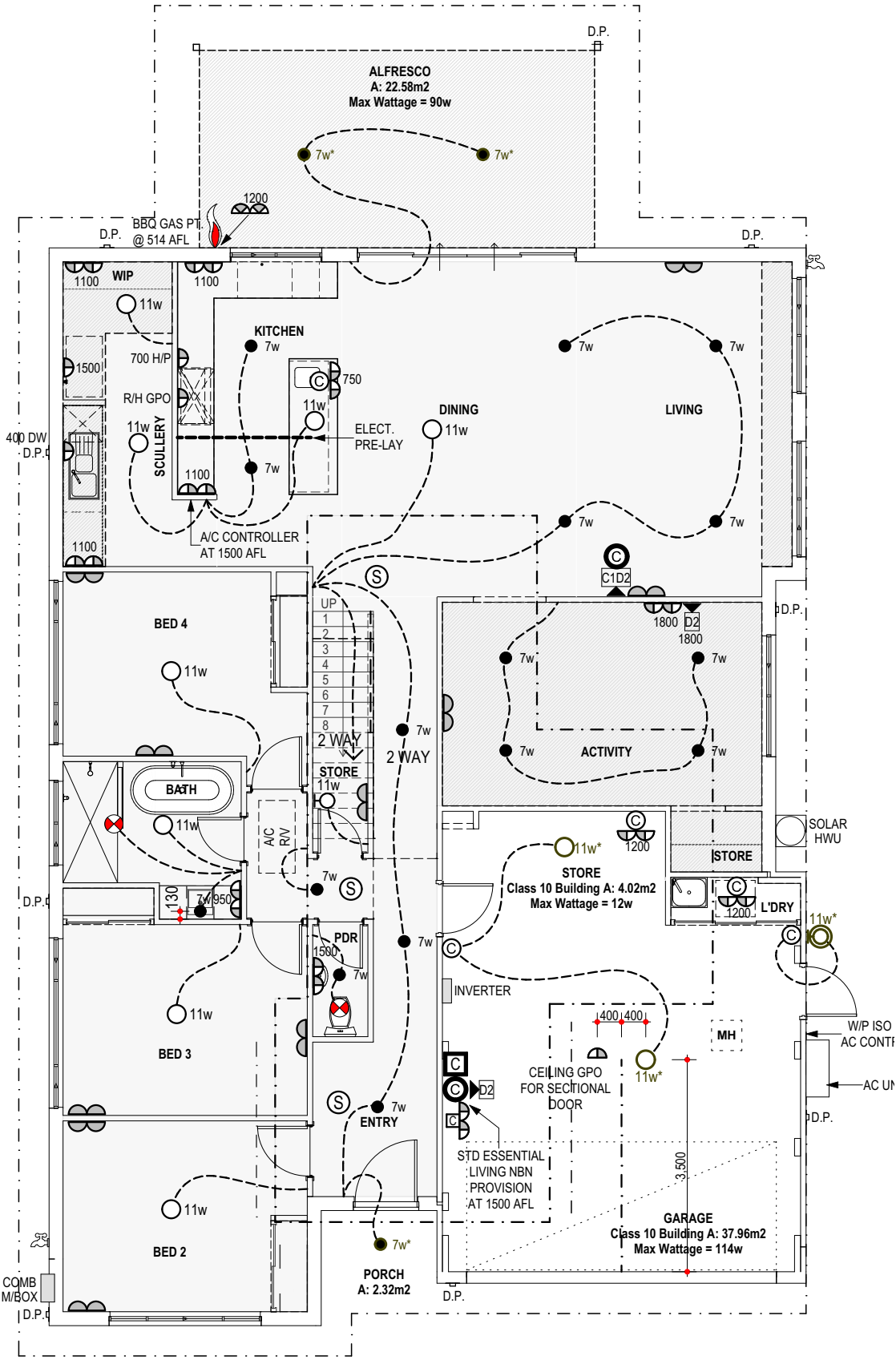
PRESTART NOTE

- THE FOLLOWING ADDITIONAL ELECTRICAL ITEMS ARE TO BE PROVIDED W/- LOCATIONS TO BE CONFIRMED AT PRE-START.
- 10x DGPO

LIGHT AND VENTILATION CALC.

Room Name	Opn %	Light	Vent.
5 ACTIVITY			
Min. Ventilation = 1.33 Min. Light= 1.77 Total Area= 17.71			
W09 Sliding	50 %	3.45 m2	1.72 m2
Totals		Light 3.45 m2	Vent 1.72 m2
4 BED 4			
Min. Ventilation = 0.87 Min. Light= 1.16 Total Area= 11.56			
W04 Sliding	50 %	1.86 m2	0.93 m2
Totals		Light 1.86 m2	Vent 0.93 m2
3 BED 3			
Min. Ventilation = 0.95 Min. Light= 1.27 Total Area= 12.69			
W02 Sliding	50 %	1.93 m2	0.96 m2
Totals		Light 1.93 m2	Vent 0.96 m2
2 BED 2			
Min. Ventilation = 0.88 Min. Light= 1.17 Total Area= 11.74			
W01 Sliding	50 %	3.87 m2	1.94 m2
Totals		Light 3.87 m2	Vent 1.94 m2
1 LIVING KITCHEN DINING			
Min. Ventilation = 4.05 Min. Light= 5.39 Total Area= 53.94			
W08 Sliding	50 %	1.31 m2	0.66 m2
W07 Sliding	50 %	1.31 m2	0.66 m2
W06 Sliding Door	50 %	8.35 m2	4.18 m2
W05 Sliding	50 %	2.07 m2	1.04 m2
Totals		Light 13.05 m2	Vent 6.52 m2

Inputs for Airmovement and Light are Valid



PROPOSED RESIDENCE FOR:
MORGAN

ADDRESS:
PPL2 (ORIG. LOT 886) #37 UPTON STREET,
ST. JAMES

DRAWN: JS
DESIGNED: AC
CHECKED: DM
DATE: 6/08/19
MODEL:
SPECIAL

SCALE: 1:100
SHEET: 14 OF 15
SIZE: A3
PROJECTS
JOB N°
I56622

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V001	DMA	25/09/19			
V002	JS	13/11/19			
V004	JS	5/12/19			
V005	WW	30.01.2020			
AMEND	DMA	24/03/20			
JEL	JS	1/04/20			
V007	DMA	20/04/20			

ELECTRICAL PLAN



SUMMIT
HOMES GROUP

BUILD | RENOVATE | DEVELOP

ELECTRICAL LEGEND

Upper Floor

Qty	Sym.	Description	Watts	Insulation Penetrations
7	● 7w	RECESSED LED DOWN-LIGHT (7w)	49	
1	Ⓢ	H.WIRED SMOKE DETECTOR	0	
2	⊗	EXHAUST FAN	0	0.090
3	○ 11w	CEILING LIGHT (11w)	33	
3	⌒	DOUBLE GPO @ NOTED HT	0	
3	⌒	DOUBLE GPO @ 200 AFL	0	
1	Ⓢ	CONDUIT	0	
1	D2	D2 (PH/DATA)	0	

* NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. Subtotal: 82 0.090
PERIMETER LIGHTING MIN. 40 LUMENS/W.

Total Class 1 Wattage= 82

Wattage Calculations (Class 1)

Story Name	Area	Allowed Wattage	Actual Wattage
2 Upper Floor	56.68 Sqm	283 w	82 w
	56.68 sqm	283 w	82 w

PASS

Recessed Fitting Penetrations (Class 1)

Story Name	Area	Maximum Penetrations	Actual Penetrations
Total Insulation Area	56.68 sqm	0.283 sqm	0.090 sqm
	56.68 sqm	0.283 sqm	0.090 sqm

0.16 % R4.0 Insulation Adjustment Not Required
PASS

DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

ELECTRICAL NOTE

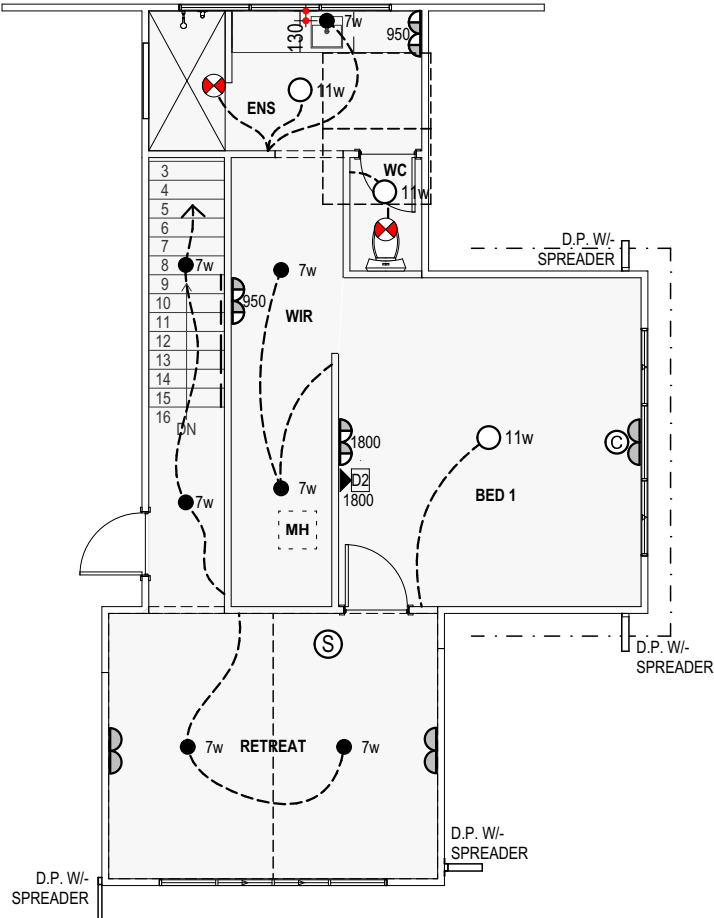
- INTERCONNECTED SMOKE DETECTORS TO AS3786-2014
- FINAL POSITION OF ELECTRICAL ITEMS SUCH AS GPO'S, LIGHT SWITCHES ETC. MAY VARY ON SITE DUE TO ELECTRICAL REGULATIONS. LIGHT SWITCH HEIGHT TO BE AT 1200 AFL U.N.O.
- NEUTRAL CABLING REQUIRED TO ALL LIGHT SWITCHES.
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AIRCON NOTE

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PRESTART NOTE

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- 10x DGPO



LIGHT AND VENTILATION CALCULATIONS

Room Name	Opn %	Light	Vent.
2 RETREAT			
Min. Ventilation = 1.15 Min. Light= 1.53 Total Area= 15.27			
W12 Sliding	34 %	6.93 m2	2.32 m2
Totals		Light 6.93 m2	Vent 2.32 m2
1 BED 1			
Min. Ventilation = 1.30 Min. Light= 1.74 Total Area= 17.37			
W15 Awning	67 %	2.32 m2	1.55 m2
Totals		Light 2.32 m2	Vent 1.55 m2

Inputs for Airmovement and Light are Valid



WITNESS:

CLIENT(S):

BUILDER:

PROPOSED RESIDENCE FOR:
MORGAN

ADDRESS:
PPL2 (ORIG. LOT 886) #37 UPTON STREET,
ST. JAMES

DRAWN: JS
DESIGNED: AC
CHECKED: DM
DATE: 6/08/19
MODEL: SPECIAL

SCALE: 1:100
SHEET: 15 OF 15
SIZE: A3
PROJECTS
JOB N° 156622

Issue Name	Drawn	Date
V001	DMA	25/09/19
V002	JS	13/11/19
V004	JS	5/12/19
AMEND	DMA	24/03/20
JEL	JS	1/04/20
V007	DMA	20/04/20

UF ELECTRICAL PLAN



SUMMIT
HOMES GROUP

BUILD | RENOVATE | DEVELOP