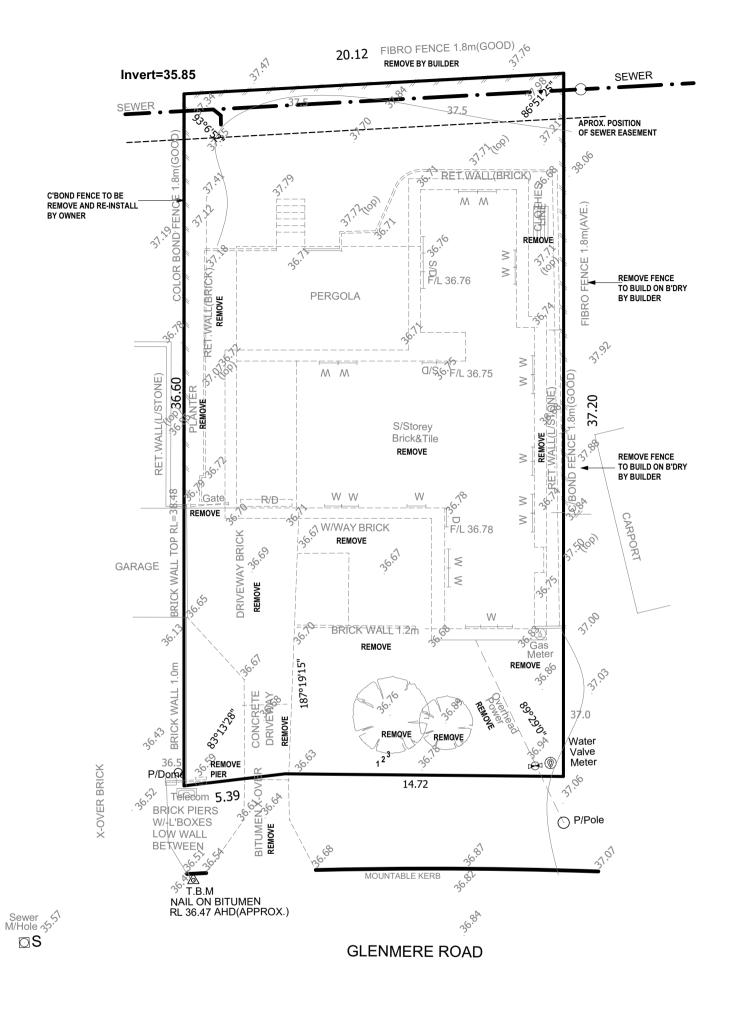
**CLIENT NOTE:** 

- ALL DEMOLITION BY CLIENT UNLESS OTHERWISE NOTED.
- ALL TREES/SHRUBS TO BE LOPPED (TRIMMED) TO WITHIN 2m
OF THE BUILDING ENVELOPE.
- EXISTING BUILDING, TREES AND ALL RUBBLE TO BE REMOVED
BY CLIENT PRIOR TO CONSTRUCTION.

**BUILDERS NOTE:** 

REMOVE AND DISPOSE EXISTING REAR B'DRY / RIGHT HAND B'DRY FENCING, AS INDICATED.

DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions
& notes prior to initiating works. Any
discrepancies to be notified to the Site
Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.



WITNESS:		CLIENT(S):	BUILDER:
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ZONING R 20/60 TOTAL SITE AREA 735.95 m<sup>2</sup>

PROPOSED RESIDENCE FOR:
BUSCLA PTY LTD

ADDRESS:
LOT 198 (#26) GLENMERE ROAD,

DRAWN: WW
DESIGNED: SR
CHECKED: DM
DATE: 22.01.2020
MODEL:
3 X SPECIALS

SCALE: 1:100
SHEET: 1 OF 23
SIZE: A3
PROJECTS

JOB N°

158292

 Issue Name
 Drawn
 Date

 V02
 JS
 17/04/20

 ADD
 DMA
 13/05/20

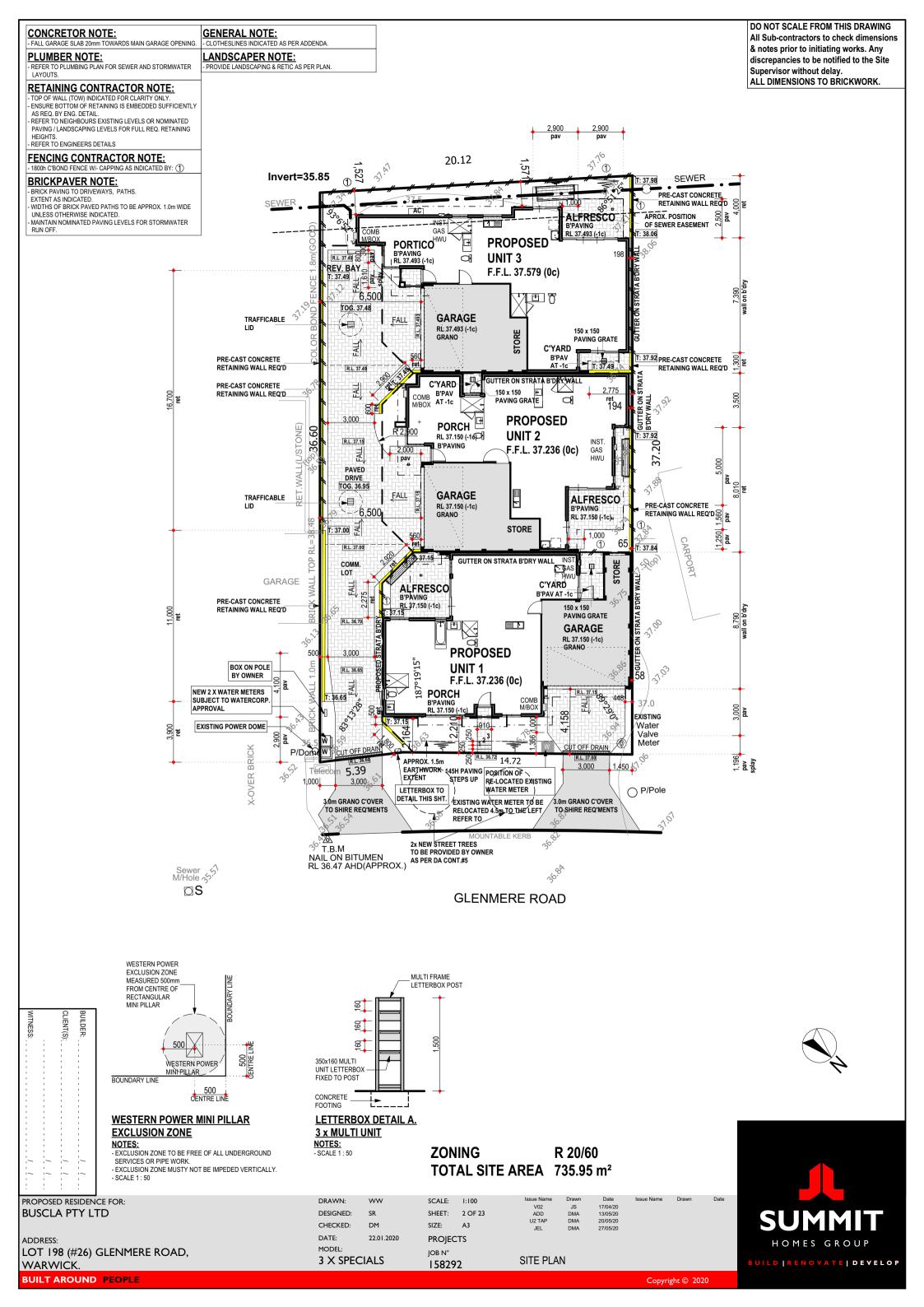
 U2 TAP
 DMA
 20/05/20

 JEL
 DMA
 27/05/20

**DEMOLITION PLAN** 

Issue Name Drawn Date





# CONCRETOR/BRK LAYER NOTE

-NOTE BRICK WALL ON LOT BOUNDARY HAS BEEN CALCULATED TO BE SET INSIDE THE BOUNDARY BY 65mm.
- NOTE BRICKWALL ON STRATA BOUNDARY HAS BEEN CALCULATED TO BE

SET ON BOUNDARY.

- ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c UNLESS NOTED OTHERWISE.

NOTED OTHERWISE.

- DROPPED FOOTINGS AS SPECIFIED BY MARKERS

(A)

- TOP OF FOOTING DROPS FROM -2c TO -8c BETWEEN A-B.

- TOP OF FOOTING DROPS FROM -2c TO -3c BETWEEN C-D.

- REFER TO ELEVATIONS FOR EXTENT.

UNIT 2

- NOTE BRICK WALL ON LOT BOUNDARY HAS BEEN CALCULATED
TO BE SET INSIDE THE BOUNDARY BY 192/194mm.

- NOTE BRICKWALL ON STRATA BOUNDARY (BED 1/BED 2/BATH/BED 3)
HAS BEEN CALCULATED TO BE SET ON BOUNDARY.

- NOTE BRICK WALL ON STRATA (GARAGE/STORE/L'DRY)
BOUNDARY HAS BEEN CALCULATED TO BE SET INSIDE THE BOUNDARY

ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c UNLESS NOTED OTHERWISE.

# UNIT 3

- NOTE BRICK WALL ON LOT BOUNDARY HAS BEEN CALCULATED TO BE SET INSIDE THE BOUNDARY BY 195/198mm. - NOTE BRICKWALL ON STRATA BOUNDARY HAS BEEN CALCULATED

TO BE SET INSIDE THE BOUNDARY BY 10mm.
- ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c UNLESS NOTED OTHERWISE.

DROPPED FOOTINGS AS SPECIFIED BY MARKERS

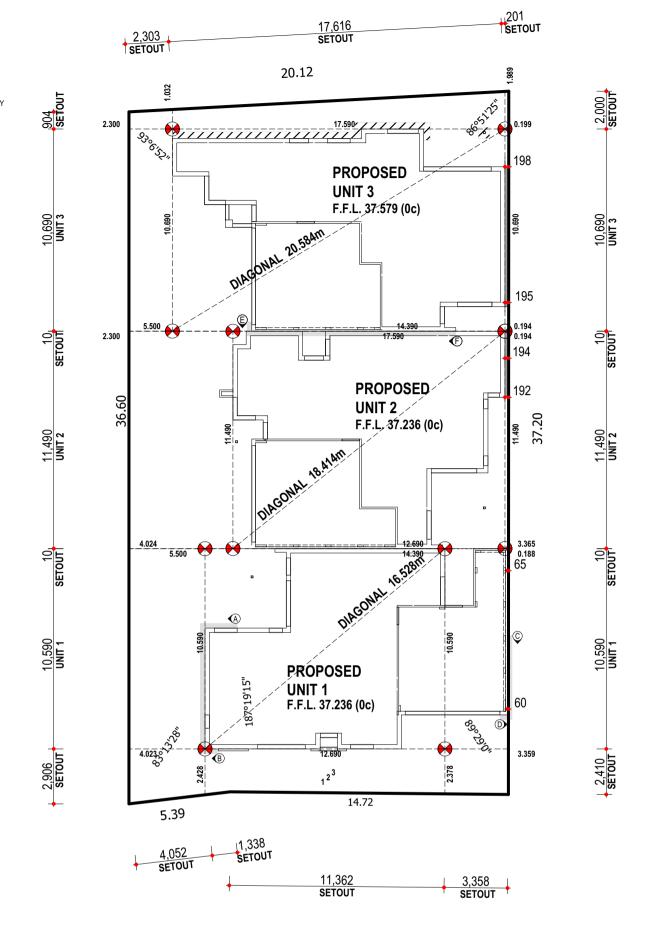
F
- TOP OF FOOTING AT -6c BETWEEN E-F.

- REFER TO ELEVATIONS FOR EXTENT.

# **ENGINEER NOTE:**

- PILING TO ENGINEER DETAILS AS INDICATED BY: ///.
- CONFIRM EXTENT OF PILING.

DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.



**GLENMERE ROAD** 

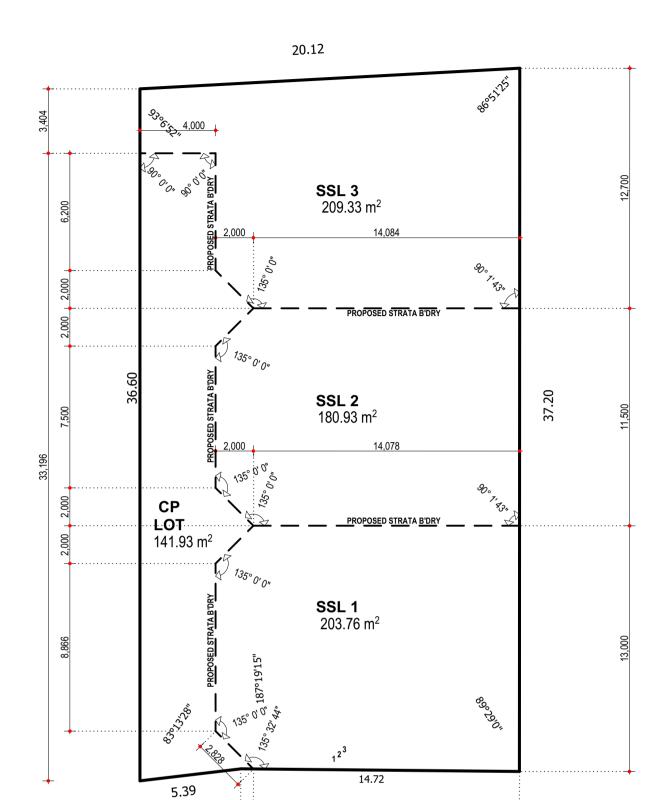


PROPOSED RESIDENCE FOR:	
BUSCLA PTY LTD	

JOB N°

SETOUT PLAN

DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.



**GLENMERE ROAD** 

14,072

**ZONING** R 20/60 TOTAL SITE AREA 735.95 m<sup>2</sup>

PROPOSED RESIDENCE FOR: **BUSCLA PTY LTD** ADDRESS: LOT 198 (#26) GLENMERE ROAD, DRAWN: WW DESIGNED: SR CHECKED: DM DATE: MODEL: 3 X SPECIALS

SCALE: 1:100 SHEET: 4 OF 23 SIZE: **PROJECTS** 

JOB N°

158292

V02 ADD U2 TAP JEL JS DMA DMA DMA 17/04/20 13/05/20 20/05/20 27/05/20

STRATA PLAN



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WARWICK. BUILT AROUND PEOPLE

# **STORMWATER & SEWER NOTES**

1:20 YEAR STORM EVENT

#### UNIT 1

	Soak Well Type	No.		
	SW 1500x1500	1	2.7 m3	
	Total Ca	apacity	2.7 m3	
	Roof A	ea GF	155.0 m2	
	Pave	d Area	30.0 m2	
	Tota	al Area	185.0 m2	
Capacit	ty Required (Area x 0	.0130)	2.4 m3	
	Extra Capacity Pr	ovided	0.2 m3	

DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay. ALL DIMENSIONS TO BRICKWORK.

#### UNIT 2

	Soak Well Type	No.	
	SW 1500x1500	1	2.7 m3
	Total Car	oacity	2.7 m3
	Roof Are	a GF	151.0 m2
	Paved	Area	30.0 m2
	Total	Area	181.0 m2
a	pacity Required (Area x 0.0	0130)	2.4 m3
	Extra Canacity Pro	vided	0.3 m3

#### **UNIT 3**

Ca

	Soak Well Type	No.	
	SW 1500x1500	1	2.7 m3
	Total Ca		2.7 m3
	Roof Ar	ea GF	162.0 m2
	Pave	d Area	30.0 m2
	Tota	192.0 m2	
Ca	pacity Required (Area x 0	.0130)	2.5 m3
	Extra Capacity Pr	ovided	0.2 m3

# COMM. LOT

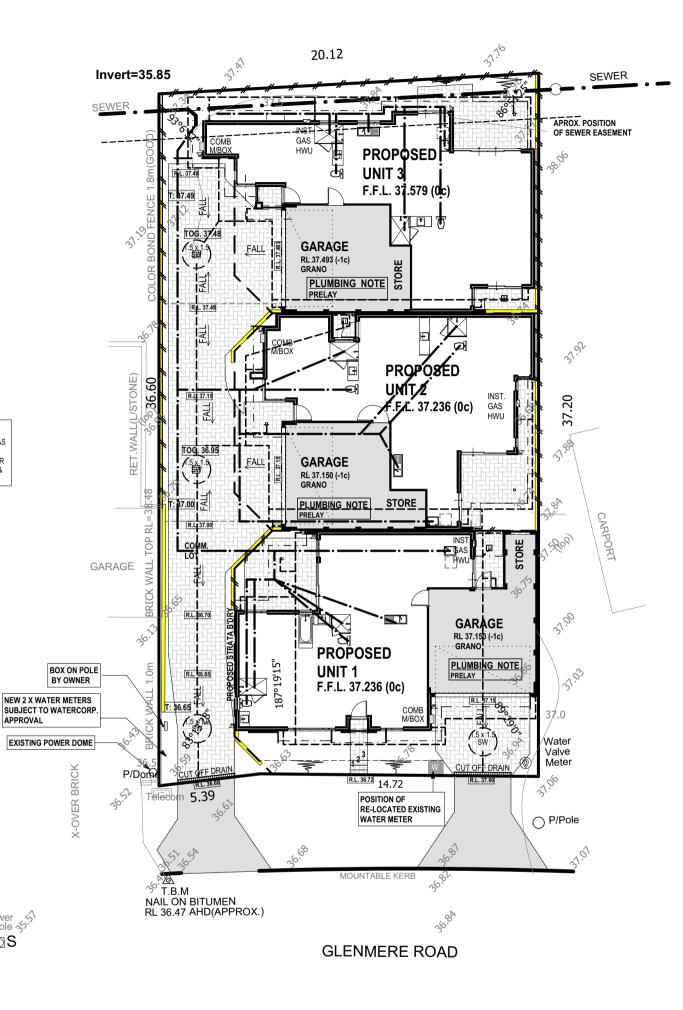
Soak Well Type	No.				
SW 1500x1200	1	2.1 m3			
Total C	Total Capacity				
Roof A	Roof Area GF				
	Paved Area				
Tot	Total Area				
Capacity Required (Area x 0	0.0130)	1.8 m3			
Extra Capacity Pr	ovided	0.3 m3			

## **PLUMBER NOTE:**

- CONNECT ALL DOWNPIPES TO STORMWATER SOAKWELLS AS PER SHIRE REQUIREMENTS.
- PART 3.1.2 DRAINAGE: ALL STORMWATER & SURFACE WATER

DRAINAGE TO COMPLY W/- A.S. 3500.3:2003, CLAUSE 3.1.2.1 & 3.1.2.5 BCA VOL. 2 & LOCAL AUTHORITY REQUIREMENTS.

> Sewer &  $\odot$ S



R 20/60 **ZONING** TOTAL SITE AREA 735.95 m<sup>2</sup>

PROPOSED RESIDENCE FOR: **BUSCLA PTY LTD** 

BUILT AROUND PEOPLE

ADDRESS: LOT 198 (#26) GLENMERE ROAD, WARWICK.

DRAWN: DESIGNED: SR CHECKED: DM DATE: MODEL: 3 X SPECIALS

ww

SCALE: 1:100 SHEET: 5 OF 23 SIZE: A3 **PROJECTS** 

JOB N°

158292

V02 ADD JS DMA

PLUMBING PLAN

17/04/20 13/05/20 20/05/20 27/05/20



SITE CLASSIFICATION - CLASS 'A' (REFER TO SITE REPORT FOR DETAILS) WIND LOAD - N1 CORROSION CLASSIFICATION - R3 DO NOT SCALE FROM THIS DRAWING **BRICKLAYER NOTE** All Sub-contractors to check dimensions - FOR 2c GARAGE; - 25c, 27c & 31c GARAGE HAS 4c LINTEL - 28c GARAGE HAS 3c LINTEL & notes prior to initiating works. Any discrepancies to be notified to the Site **BRICK NOTE** AIRCON NOTE Supervisor without delay. 2c FACE BRICK TO BE LAID IN THIRD BOND U.N. - PROVIDE DUCTED REVERSE CYCLE AIR CONDITIONING. ALL DIMENSIONS TO BRICKWORK. OUTLET POSITIONS TO BE CONFIRM BY SUPPLIER.

- EXTERNAL UNIT (ON ROOF) NOT TO BE VISIBLE FROM THE STREET. ROOF NOTE COLORBOND ROOF, PITCH AT 25° W/- 500W EAVES UNO STEEL ROOF FRAME TO NASH STANDARDS CEILINGS AT 31c + PLATE UNLESS NOTED OTHERWISE ROOF PLUMBER NOTE PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS) FINAL POSITIONS OF RWP'S TO BE DETERMINED ON SITE RWP'S IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER SYSTEM (NO KICK) **ROOF INSULATION NOTE** R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL 15,990 O/All PLASTERBOARD OR VERSILUX CEILINGS IF APPL ELECTRICAL NOTE 12,690 INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS INDICATED ON PLAN 4,300 8,390 1,510 1,790 FIXING CARPENTER NOTE 4 No. 450D SHELVES TO PANTRY AND LINEN UNO 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY 8,990 710 👔 200 930 | 580 PROVIDE MID-SHELF SUPPORT WHERE NOTED "MSS" TO ANY SHELF 1,010 pier 100 OVER 1.8m LONG. 300 w 600 6,440 living/dining 90 230 CEILING MATERIAL NOTE PORCH - PLASTERBOARD C.L GARAGE/STORE - PLASTERBOARD C.L ALFRESCO - (INC. AREAS SHOWN HATCHED) - VERSILUX C.L. 1,860 100 1,760 230 5,630 2,150 1,600 GARAGE NOTE living/kitchen 3,970 - SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF - FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OP'NG 230 2,720 90 90 950 90 kitchen 90 730 11 pass. fr/fz pty 90 100 90 pier 5,550 RENDER WALL NOTE PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED WALLS & H/FLEX / VERSILUX CEILINGS TRADES / SUPERVISOR NOTE REFER TO STRUCTURAL ENGINEERS DETAILS ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS 5 & STANDARD SPECIFICATION. LINTEL AT 27c W/- BWK OVER REFER TO DETAIL RAKING B'WORK ON DETAIL PAGE W/- SPANDREL GUTTER ON WALL ON B'DRY TO DETAIL.
PROVIDE TERMITE TREATMENT TO BDRY WAL 190 e 230 230 LINEN INST 910 620 ON ROOF GAS 100 post NTERNAL 220 HWU ĒΩ 100 SHS 106 POST ÆUILD UP WM 2,500 290 REFER TO LIVING DINING 260 L'DRY ELEVATION 4 **ALFRESCO** D. STORE HARDIFLEX B/PAVED -1c 9 28c CEILING CAVITY CLOSER/ 300w 28c 820 MF W/- FLASHING DOOR 14x710 OBS SQ. B'HEAD 25x1210 LINTEL AT 27c MH !  $230_{1}$ 230 RENDER KITCHEN W/- UBO BATH **GARAGE** 5410 garage 2,720 bed 3 2,820 bed 3 BE<sub>D</sub> 3 GRANO -1c 31c CEILING SPASS WC O/HEAD SOFFIT PTY ,590 AC AIR **CEILING** 950 pass 820 REMOTE CONTROL RETURN 1450W.SD ROBE MSS D.P. **GARAGE DOOR**  $\odot$ 820 570 robe 901 90 ROBE 1800W.SD **808** 180° HINGES 1,270 **ENTRY** CAVITY CLOSER 90 SOFFIT CEILING 3,020 bed 1 BED 1 ,550 ens 190 BED<sub>2</sub> HARDIFLEX OSPANDREL SPANDREL SOFFIT 820 TJ.F. 800 ÉNS no eave RENDER WC 720 **(**D5) **EXTENT** 25x2510 25x1210 230 230 230 190 lacksquareFEATURE **FEATURE FEATURE** T-BAR AT 25c B'WORK EXTENT B'WORK EXTENT W/- B'WORK OVER **Q**1) HARDIFLEX EXTENT HARDIFLEX PORCH

CONCRETOR/BRK LAYER NOTE

NOTE BRICK WALL ON LOT BOUNDARY HAS BEEN CALCULATED TO BE SET INSIDE THE BOUNDARY BY 60/65mm NOTE BRICKWALL ON STRATA BOUNDARY HAS BEEN CALCULATED TO BE SET ON BOUNDARY.

ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c UNLESS NOTED OTHERWISE.

DROPPED FOOTINGS AS SPECIFIED BY MARKERS

(A)
TOP OF FOOTING DROPS FROM -2c TO -8c BETWEEN A-B.
TOP OF FOOTING DROPS FROM -2c TO -3c BETWEEN C-D. REFER TO ELEVATIONS FOR EXTENT

1,040 90 1,800 90 2,440 100 90 pier 90 1,190 90 90 600 1,450 230 entry 230 230 2,050 230 bed 1 2,510 790 880 690 1,210 bed 1,490 200 5,010 390 2,790 feature wall feature pier feature pier 5,600 6,090 910 3,390 12,690 15,990 O/All

B/PAVED -1c 31c CEILING



810

1,510

<u>3</u>

1,510

<u>8</u> §

29 je

1,410

600 pier

,990 cavity 8

100 feature wal

3,090 cavity

590 10,690

10, 5,510

**U1 FLOOR PLAN** 

<del></del>		_
	Area m²	Perim. L/m
1. FLOOR PLAN	97.86	48.44
2. GARAGE	32.99	23.06
3. PORCH	0.73	5.18
4. STORE	5.37	9.58
5. ALFRESCO	5.80	9.80
6. TOTAL AREA	142.65	59.36
7 ROOF	155.03	56.56

PROPOSED RESIDENCE FOR: **BUSCLA PTY LTD** 

ADDRESS: LOT 198 (#26) GLENMERE ROAD, WARWICK.

DRAWN: ww DESIGNED: SR CHECKED: DM MODEL:

SCALE: 1:100 SHEET: 6 OF 23 SIZE: A3

**PROJECTS** 

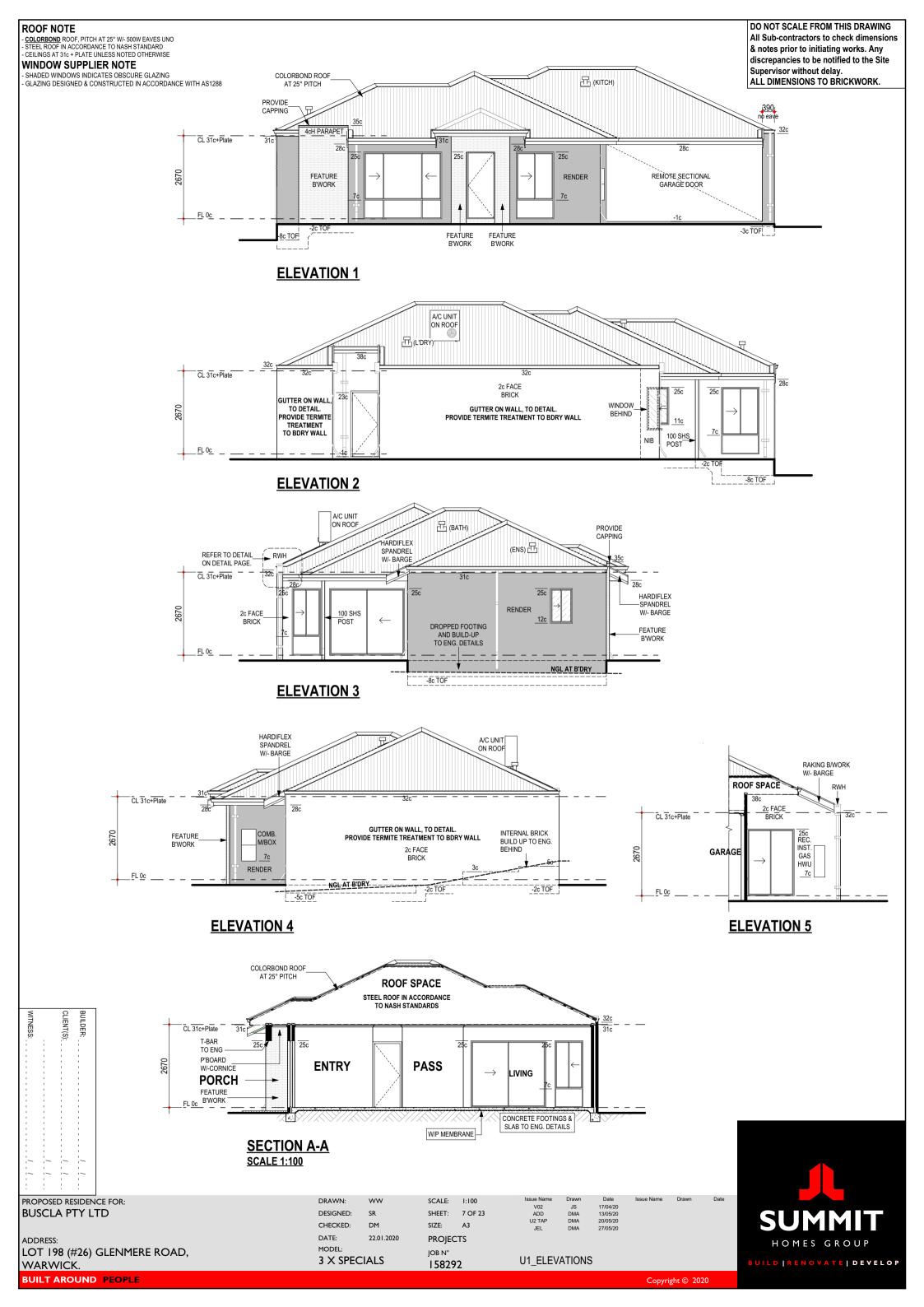
JOB N°

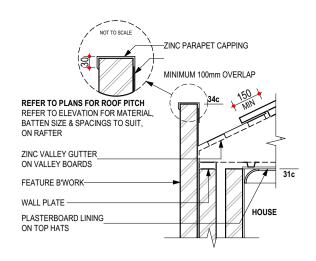
U1\_FLOOR PLAN

17/04/20 13/05/20



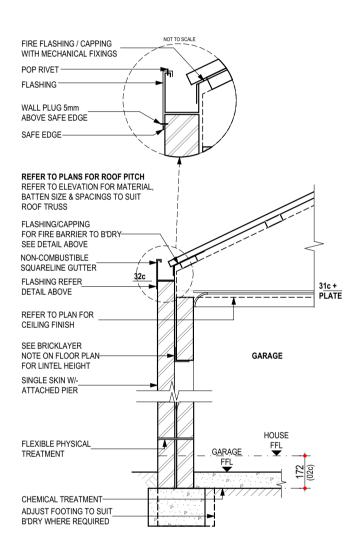
3 X SPECIALS 158292 BUILT AROUND PEOPLE





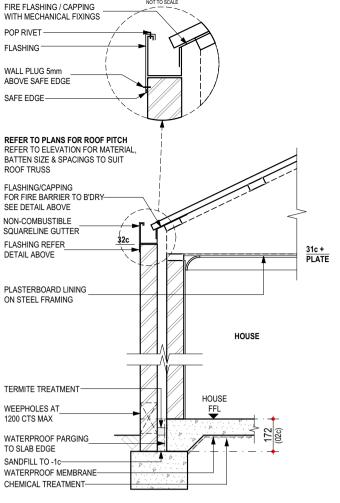
## **D1 - FEATURE PARAPET WALL DETAIL**

- NOTES:
   REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC



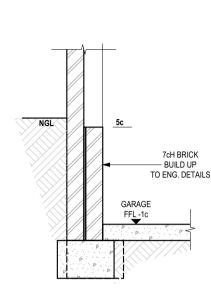
# **D4 - GUTTER ON WALL/FLASHING DETAIL TO GARAGE** W/- TERMITE TREATMENT

- NOTES:
   REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC



#### D2 - GUTTER ON WALL / FLASHING DETAIL TO HOUSE W/- TERMITE TREATMENT

- NOTES:
   REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
- SCALE 1:20



DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions

& notes prior to initiating works. Any

ALL DIMENSIONS TO BRICKWORK.

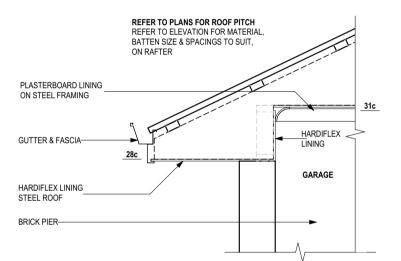
Supervisor without delay.

discrepancies to be notified to the Site

# **D3 - BUILD UP TO GARAGE**

#### NOTES:

- REFER TO ENGINEERS DRAWINGS - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- REFER TO ENGINEERS DRAWINGS FOR FOOTING.
- SCALE 1:20



# **D5 - GARAGE W/- EAVES & P'BOARD CEILING**

- NOTES:
   REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY, REFER TO PLANS REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC
- SCALE 1:20



# RAINWATER HEAD TO NIB WALL DETAIL

PROPOSED RESIDENCE FOR: **BUSCLA PTY LTD** 

ADDRESS: LOT 198 (#26) GLENMERE ROAD, WARWICK.

DRAWN: ww DESIGNED: SR CHECKED: DM DATE: MODEL: 3 X SPECIALS SCALE: AS NOTED SHEET: 8 OF 23 SIZE:

**PROJECTS** 

JOB N°

V02 17/04/20 13/05/20

U1\_DETAILS

BUILD | RENOVATE | DEVELOP

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2,930 bench o/al 300 90 p/heads 600 90 benchtop 450 drw 605 1,275 dw rec. 1,275 90 1,655 300w 28c SQ. B'HEAD 300D O/HEADS 4 x 450W DRAWERS GAS HP W/- UBO & R'HOOD 605W D/W RECESS WITH POWER & COLD 900 1/hood 2,6 PLUMBING VINYL 620 300D O/HEADS PANTRY VOID 300D O/HEADS 8 8 600 90` 420 benchtop 1,020 90 90 bench o/all 720 o/heads 300 90 b/head\$

# **BENCHTOP NOTE**

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

## **WALL FINISH NOTE**

WALL FINISH NOTE

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES

- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES. WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

# **CABINETMAKER NOTE**

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

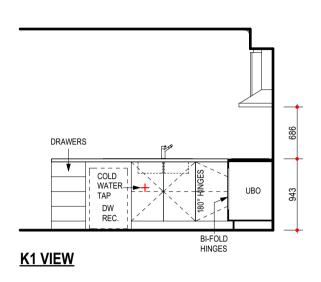
#### **TILER NOTE**

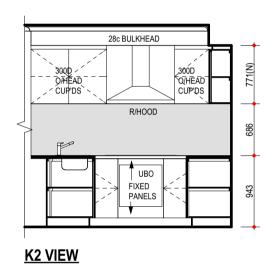
- SHADING DENOTES EXTENT OF TILING - ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET

- MITRED TILES THROUGHOUT WHERE APPLICABLE.

DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay. ALL DIMENSIONS TO BRICKWORK.

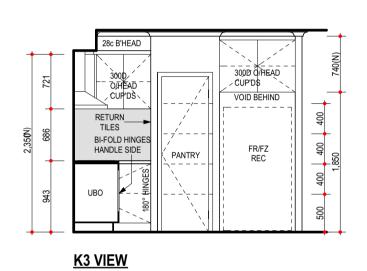
REFER TO ADDENDUM FOR FITOUT SPECIFICATION WET AREAS CONSTRUCTED IN ACCORDANCE WITH

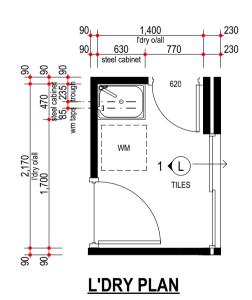


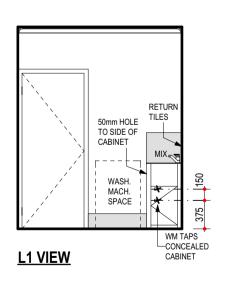


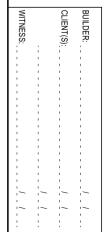
pty 2,930

**KITCHEN PLAN** 









PROPOSED RESIDENCE FOR: **BUSCLA PTY LTD** 

ADDRESS: LOT 198 (#26) GLENMERE ROAD, WARWICK.

DRAWN: WW DESIGNED: SR CHECKED: DM MODEL:

3 X SPECIALS

SCALE: 1:50 SHEET: 9 OF 23 SIZE: **PROJECTS** 

JOB N°

158292

JS DMA DMA DMA V02 ADD

U1\_ROOM LAYOUTS

17/04/20 13/05/20 20/05/20 27/05/20



#### **BENCHTOP NOTE**

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

## **WALL FINISH NOTE**

WALL FINISH NOTE

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES

- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES. WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

# **CABINETMAKER NOTE**

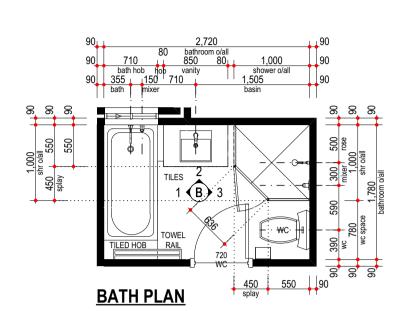
- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

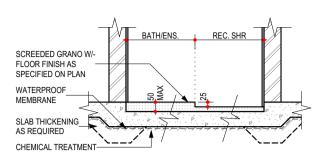
#### **TILER NOTE**

- SHADING DENOTES EXTENT OF TILING ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
- MITRED TILES THROUGHOUT WHERE APPLICABLE.

DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay. ALL DIMENSIONS TO BRICKWORK.

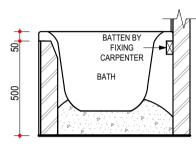
REFER TO ADDENDUM FOR FITOUT SPECIFICATION WET AREAS CONSTRUCTED IN ACCORDANCE WITH PART 3.8.1 OF B.C.A. (VOL 2)



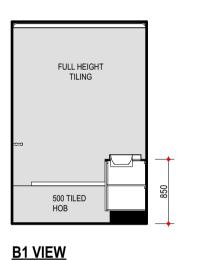


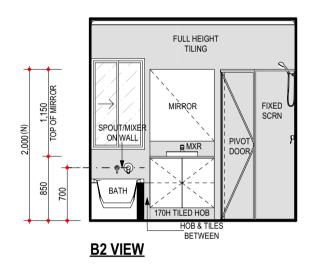
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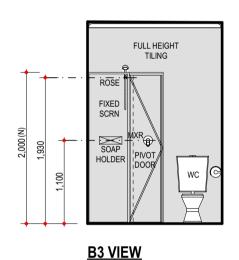
- NOTES:
   REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
   WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
   SCALE 1: 20

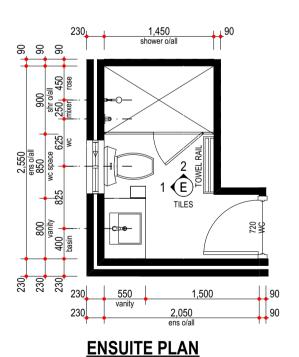


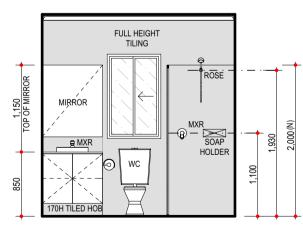
TYPICAL BATH HOB SECTION - SCALE 1:20

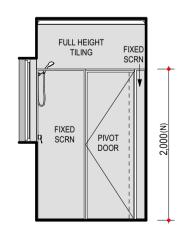












E1 VIEW

**E2 VIEW** 

PROPOSED RESIDENCE FOR: **BUSCLA PTY LTD** 

BUILDER:

ADDRESS: LOT 198 (#26) GLENMERE ROAD, WARWICK.

DRAWN: ww DESIGNED: SR CHECKED: DM 22.01.2020 MODEL:

3 X SPECIALS

SCALE: 1:50 SHEET: 10 OF 23 SIZE: A3 **PROJECTS** 

JOB N°

158292

JS DMA DMA DMA V02 ADD

U1\_ROOM LAYOUTS

17/04/20 13/05/20 20/05/20 27/05/20

HOMES GROUP

# ELECTRICAL LEGEND

Ground	d Floor			Insulation
Qty	Sym.	Description	Watts	Penetrations
2	10w*	EXTERNAL WALL LIGHT UP/DOWN @ 2000AFL UP/DOWN	20*	*
2	O11w*	CEILING LIGHT (11w) Class 10	22*	*
1	<b>●</b> 7w*	EXTERNAL RECESSED LED DOWN-LIGHT (7W) Class 1 Porch	7*	*
1	● 7w*	EXTERNAL RECESSED LED DOWN-LIGHT (7W) Class 1 C'yard	7*	*
1	● 7w*	EXTERNAL RECESSED LED DOWN-LIGHT (7W) Class 1 Alfresco	7*	*
17	● 7w	RECESSED LED DOWN-LIGHT ( 7w)	119	
2	S	H.WIRED SMOKE DETECTOR	0	
2	•	EXHAUST FAN	0	0.090
1		CEILING LIGHT (11w)	11	
1	•	W/P SGPO INSTALLED IN HWU	0	
2		SINGLE GPO IN/ON CEILING	0	
4	•	SINGLE GPO @ NOTED HT	0	
1	С	NBN LEAD IN CONDUIT (25mm) W/- BLANK FACE PLATE AT 1500 AFL	0	
1		DOUBLE WATER PROOF GPO	0	
6		DOUBLE GPO @ NOTED HT	0	
7		DOUBLE GPO @ 200 AFL	0	
1		DOUBLE GPO @ 1500 AFL W/ 20mm CONDUIT FOR PSU CONNECTION	0	
1	С	CONDUIT WITH FACE PLATE @ NOTED HT	0	
1	0	CONDUIT FOR NBN (25mm)	0	
1	0	CONDUIT (32mm)	0	
5	©	CONDUIT	0	
1	D2	D2 (2x DATA/PHONE) FOR NBN PROVISION @ 1500 AFL	0	
1	C1D2	C1 (TV) + D2 (PH/DATA)	0	

NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. Subtotal: 13
PERIMETER LIGHTING MIN. 40 LUMENS/W.
Total Class 1 Wattage= 130

Wattage Calculations (Clas	Allowed	Actual		
Story Name	Area	Wattage	Wattage	
0   Ground Floor	88.08 Sqm	440 w	130 w	
	88.08 sqm	440 w	130 w	PASS

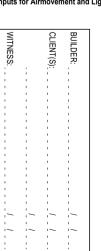
Recessed Fitting Penetrations (Class 1) Story Name Area		Maximum	Actual	
		Penetrations	Penetrations	
Total Insulation Area Vents\RangeHoods	88.08 sqm	0.440 sqm	0.090 sqm 0.094 Sqm	
	88.08 sqm 0.21 % R4.0 li	0.440 sqm nsulation Adjustmer	0.184 sqm nt Not Required	PASS

# LIGHT AND VENTILATION CALC.

Room Name		Opn %	Light		Vent.	
4   BED 2						
Min. Ventilation = 0.6	88   Min. Li	ght= 0.91 To	otal Area= 9.	06		
W08   Sliding		36 %	2.59 m2		0.93 m2	
	Totals	Light	2.59 m2	Vent	0.93 m2	
3   LIVING   KITCHEN   DINING Min. Ventilation = 2.55   Min. Light= 3.39 Total Area= 33.94						
W06   Sliding		36 %	1.95 m2		0.70 m2	
W05   Sliding Door		50 %	5.16 m2		2.58 m2	
	Totals	Light	7.11 m2	Vent	3.28 m2	
2   BED 3 Min. Ventilation = 0.64   Min. Light= 0.85 Total Area= 8.48						
W03   Sliding		36 %	2.59 m2		0.93 m2	
	Totals	Light	2.59 m2	Vent	0.93 m2	
1   BED 1 Min. Ventilation = 0.79   Min. Light= 1.05						
W01   Sliding		36 %	5.38 m2		1.94 m2	

Light 5.38 m2

Totals





Vent 1.94 m2

# **ELECTRICAL NOTE**

- INTERCONNECTED SMOKE DETECTORS TO AS3786-2014 - FINAL POSITION OF ELECTRICAL ITEMS SUCH AS GPO'S, LIGHT SWITCHES ETC. MAY VARY ON SITE DUE TO ELECTRICAL REGULATIONS. LIGHT SWITCH HEIGHT TO BE AT 1200 AFL U.N.O.

- NEUTRAL CABLING REQUIRED TO ALL LIGHT SWITCHES.

# **AIRCON NOTE**

- PROVIDE DUCTED REVERSE CYCLE AIR CONDITIONING. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER. - EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

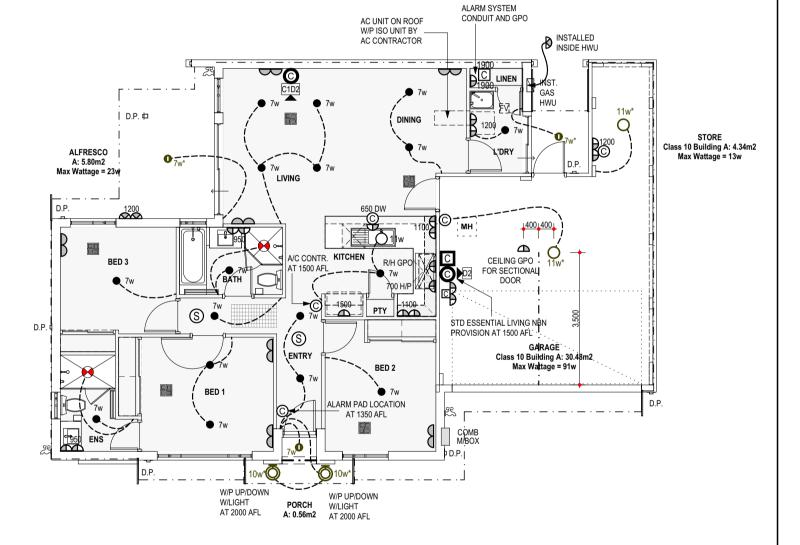
DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay. ALL DIMENSIONS TO BRICKWORK.

#### **CLIENT / PRESTART NOTE**

- CLIENT TO CONFIRM W/- ADMINISTRATOR POSITIONING OF ALL TV, PHONE AND ROOM GPO POSITIONS.

## TV ANTENNA NOTE

- PROVIDE TV ANTENNA AS PER ADDENDA





,	'			
PRC	POS	ED RI	ESIDI	ENCE FOR:
BU	SCL	_A P	ΤY	LTD

ADDRESS: LOT 198 (#26) GLENMERE ROAD, WARWICK.

DRAWN: ww DESIGNED: SR CHECKED: DM MODEL:

SCALE: 1:100 SHEET: 11 OF 23 SIZE: A3 **PROJECTS** 

JOB N°

JS DMA DMA DMA 17/04/20 13/05/20 20/05/20 27/05/20 V02 ADD

U1\_ELECTRICAL PLAN

HOMES GROUP

BUILD | RENOVATE | DEVELOP

3 X SPECIALS 158292 BUILT AROUND PEOPLE

#### **BRICK NOTE** 2c FACE BRICK TO BE LAID IN THIRD BOND U.N.

#### ROOF NOTE

<u>COLORBOND</u> ROOF, PITCH AT 25° W- 500W EAVES UNO STEEL ROOF FRAME TO NASH STANDARDS CEILINGS AT 31c + PLATE UNLESS NOTED OTHERWISE

#### ROOF PLUMBER NOTE

PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)
FINAL POSITIONS OF RWP'S TO BE DETERMINED ON SITE RWP'S IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER SYSTEM (NO KICK)

#### **ROOF INSULATION NOTE**

R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL PLASTERBOARD OR VERSILUX CEILINGS IF APPL

#### ELECTRICAL NOTE

INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS INDICATED ON PLAN

# FIXING CARPENTER NOTE

4 No. 450D SHELVES TO PANTRY AND LINEN UNO 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY PROVIDE MID-SHELF SUPPORT WHERE NOTED "MSS" TO ANY SHELF OVER 1.8m LONG.

#### CEILING MATERIAL NOTE

PORCH - HARDIFLEX C.L GARAGE/STORE - PLASTERBOARD C.L ALFRESCO - (INC. AREAS SHOWN HATCHED) - VERSILUX C.L.

# **GARAGE NOTE**

- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF - FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OP'NG

## RENDER WALL NOTE

VERSILUX CEILINGS

**BRICKLAYER NOTE** 

- FOR 2c GARAGE; - 25c, 27c & 31c GARAGE HAS 4c LINTEL - 28c GARAGE HAS 3c LINTEL

AIRCON NOTE - PROVIDE DUCTED REVERSE CYCLE AIR CONDITIONING OUTLET POSITIONS TO BE CONFIRM BY SUPPLIER.

EXTERNAL UNIT (ON ROOF) NOT TO BE VISIBLE FROM THE STREET.

#### TRADES / SUPERVISOR NOTE

- REFER TO STRUCTURAL ENGINEERS DETAILS & STANDARD SPECIFICATION.

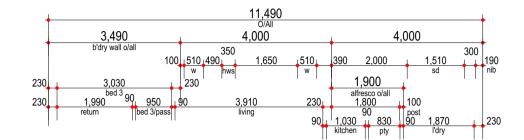
- ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS

#### CONCRETOR/BRK LAYER NOTE

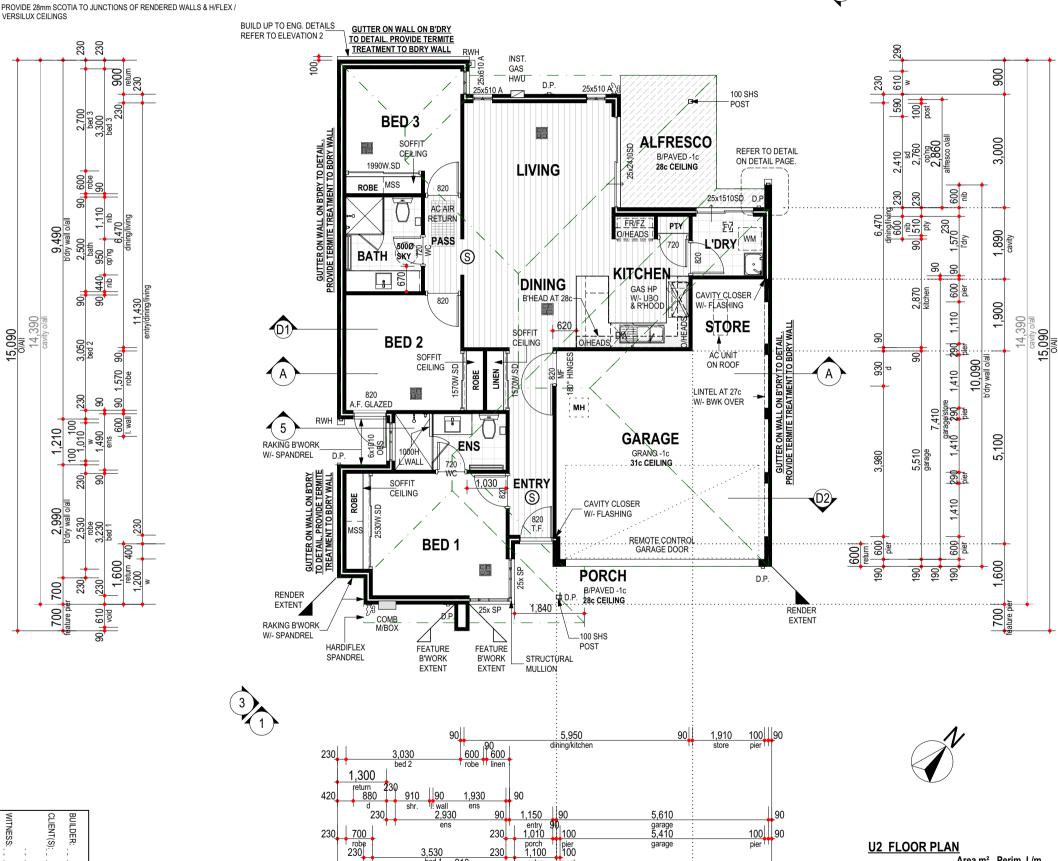
- NOTE BRICK WALL ON LOT BOUNDARY HAS BEEN CALCULATED TO BE SET INSIDE THE BOUNDARY BY 192/194mm. - NOTE BRICKWALL ON STRATA BOUNDARY (BED 1/BED 2/BATH/BED 3) HAS BEEN CALCULATED TO BE SET ON BOUNDARY.
NOTE BRICK WALL ON STRATA (GARAGE/STORE/L'DRY)
BOUNDARY HAS BEEN CALCULATED TO BE SET INSIDE THE BOUNDARY

ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c UNLESS NOTED OTHERWISE.

DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay ALL DIMENSIONS TO BRICKWORK.







/ITNESS:		LIENT(S):	UILDER:	
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				-
:			1	П
				-
				-
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1	1	1	1	-
1	1	1	1	-
1	1	1	1	-
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1		1	1	-
1		1	1	П
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1	1	1	1	-
1		1	1	1
1		1	1	1
1	1	1	1	1
				- 1

PROPOSED RESIDENCE FOR: **BUSCLA PTY LTD** 

ADDRESS: LOT 198 (#26) GLENMERE ROAD, WARWICK.

DRAWN: ww DESIGNED: SR CHECKED: DM DATE: MODEL:

3,530 bed 1

1,550

3,990

390

700

460

90 1 90

390

230

1,200

SCALE: 1:100 SHEET: 12 OF 23 SIZE: Α3 **PROJECTS** 

JOB N°

op'ng 1,200

30 porch 880

1,010

1,100

cavity 11,490

340

V02 JS DMA ADD U2 TAP JEL

U2\_FLOOR PLAN

5,110

op'ng 5,790

3,600

17/04/20 13/05/20

340

2,100



1. FLOOR PLAN 2. GARAGE

3. PORCH

4. STORE

7. ROOF

5. ALFRESCO

6. TOTAL AREA

Area m<sup>2</sup> Perim. L/m

54.36

22.98

5.82

8.20

10.08

54.36

54.61

100.14

32.33

1.92

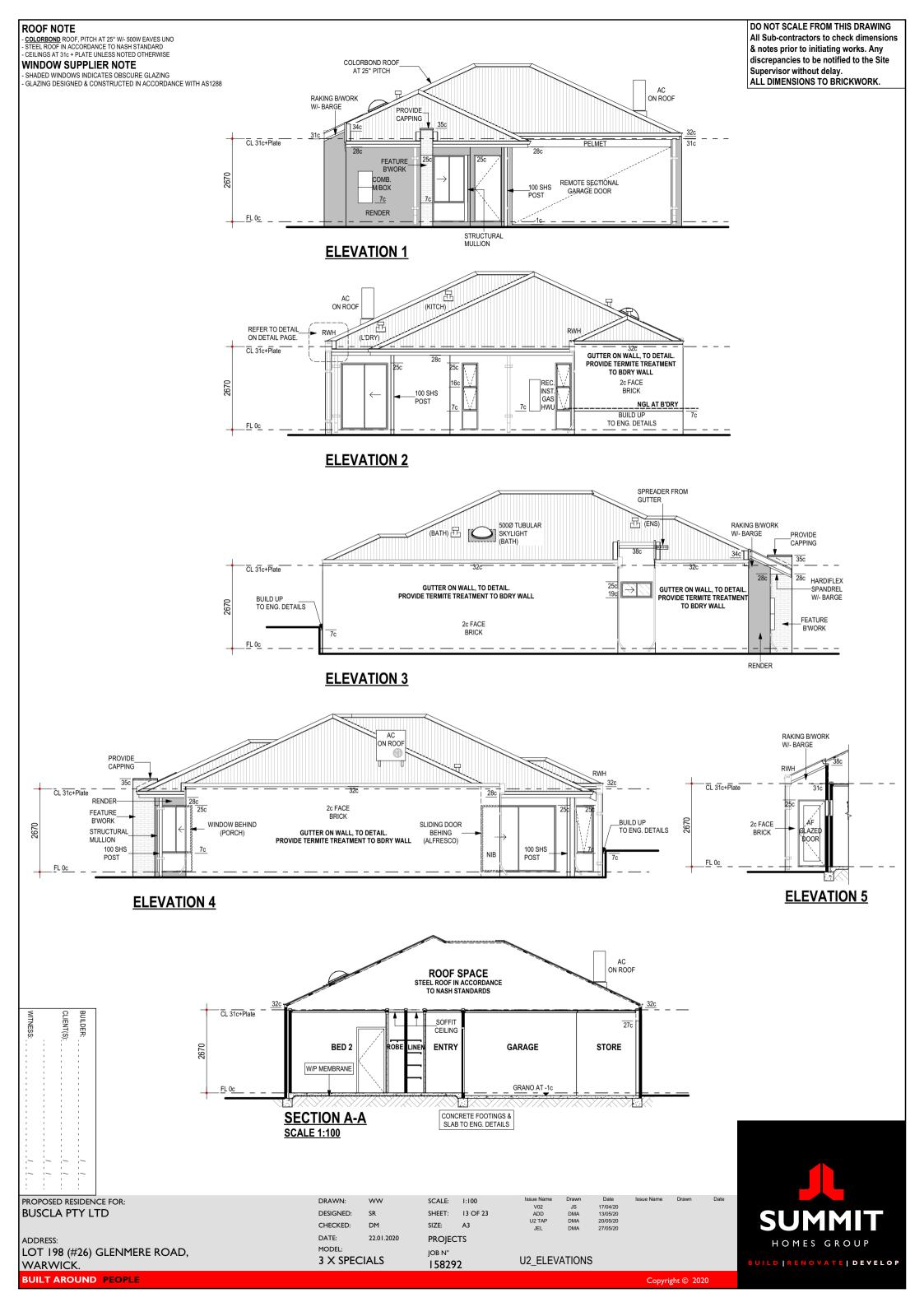
4.20

6.12

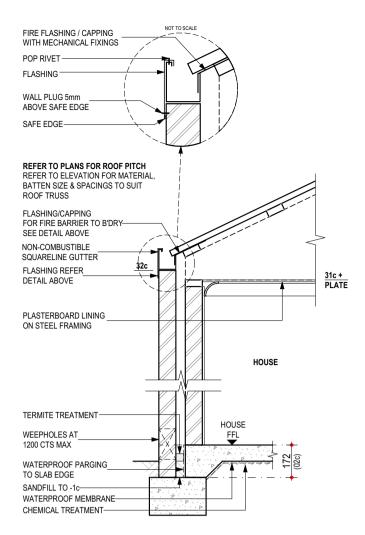
144.71

151.25

3 X SPECIALS 158292 **BUILT AROUND PEOPLE** 



DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay. ALL DIMENSIONS TO BRICKWORK.



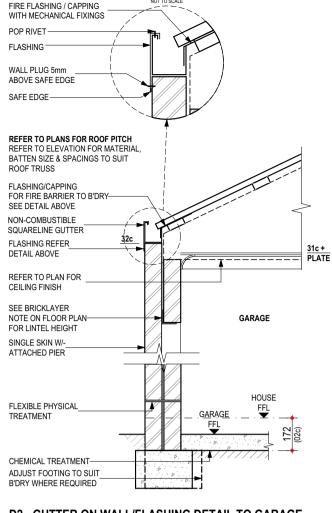
# D1 - GUTTER ON WALL / FLASHING DETAIL TO HOUSE W/- TERMITE TREATMENT

NOTES:
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS

- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.



**RAINWATER HEAD TO NIB WALL DETAIL** 



NOT TO SCALE

# D2 - GUTTER ON WALL/FLASHING DETAIL TO GARAGE W/- TERMITE TREATMENT

- NOTES:
   REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.

BUILDER:
CLIENT(S):
WITNESS:

PROPOSED RESIDENCE FOR: **BUSCLA PTY LTD** 

ADDRESS: LOT 198 (#26) GLENMERE ROAD, WARWICK.

DRAWN: ww DESIGNED: SR CHECKED: DM DATE: MODEL:

3 X SPECIALS

SCALE: AS NOTED SHEET: 14 OF 23 SIZE: **PROJECTS** 

JOB N°

158292

V02 ADD

U2\_DETAILS

17/04/20 13/05/20 20/05/20 27/05/20



BUILD | RENOVATE | DEVELOP

BUILT AROUND PEOPLE

PANTRY VOID VINYL FR/FZ 300D O/HEADS 720 980 B'HEAD AT 28c 320 4 x 450W DRAWERS 450 drw 620 605W D/W GAS HP W/- UBO RECESS WITH & R'HOOD 900 eg 790 50mm \_\_\_\_ FIX PANELS POWER & COLD PLUMBING 520 o/heads 300 heads 300D O/HEADS

1,735

**KITCHEN PLAN** 

605 dw rec. 2,680

/heads 2,980 bench o/a

250 600 50

90 9 90

90

90

90

600

benchtop 300 90 o/heads

# **BENCHTOP NOTE**

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

## **WALL FINISH NOTE**

WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

# **CABINETMAKER NOTE**

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

#### **TILER NOTE**

- SHADING DENOTES EXTENT OF TILING - ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET

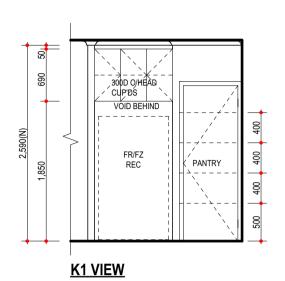
WALL FINISH NOTE

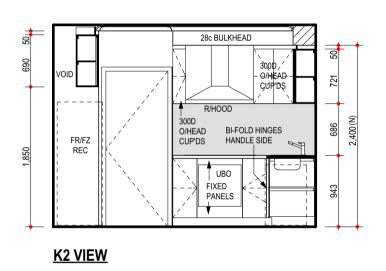
- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES

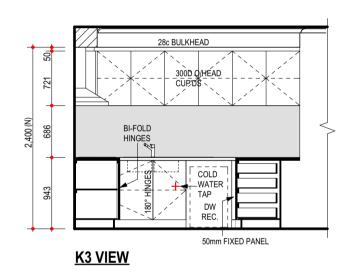
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES. - MITRED TILES THROUGHOUT WHERE APPLICABLE.

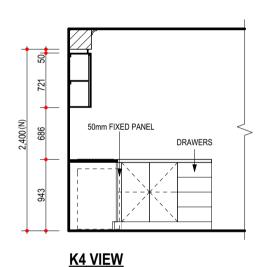
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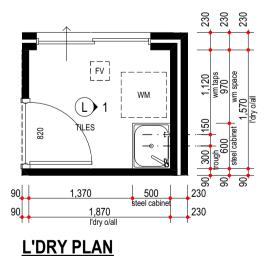
REFER TO ADDENDUM FOR FITOUT SPECIFICATION WET AREAS CONSTRUCTED IN ACCORDANCE WITH

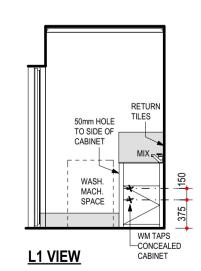


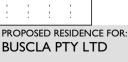












ADDRESS: LOT 198 (#26) GLENMERE ROAD, WARWICK.

DRAWN: ww DESIGNED: SR CHECKED: DM MODEL:

3 X SPECIALS

SCALE: 1:50 SHEET: 15 OF 23 SIZE: A3

**PROJECTS** 

JOB N°

V02 ADD

U2\_ROOM LAYOUTS

JS DMA DMA DMA 17/04/20 13/05/20 20/05/20 27/05/20



158292 **BUILT AROUND PEOPLE** 

#### 230 1,990 **⊥**90 230 1,000 90 990 90 230 495 8, 8, 8, 8, 200 all sole WC 2,500 2,500 500Ø SKY 2́ **(B**) 950 50mm 1,700 TILES 550 Vanit 90 90 230 995 50 90 fix.p 1,940 90 230

# **BENCHTOP NOTE**

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

# **WALL FINISH NOTE**

WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

# **CABINETMAKER NOTE**

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

#### **TILER NOTE**

- SHADING DENOTES EXTENT OF TILING ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
- WALL FINISH NOTE

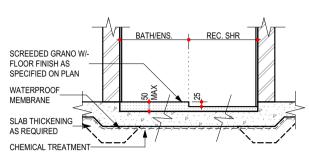
   DIMENSIONS SHOWN ON PLAN ARE TO BWORK ONLY, SIZES

   DIMENSIONS SHOWN ON PLAN ARE TO BWORK ONLY, SIZES

  OF WORKS TO VERIFY LOCATION OF TILES. - MITRED TILES THROUGHOUT WHERE APPLICABLE

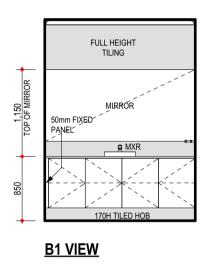
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REFER TO ADDENDUM FOR FITOUT SPECIFICATION WET AREAS CONSTRUCTED IN ACCORDANCE WITH

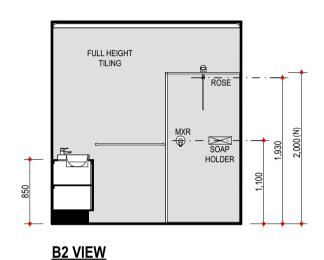


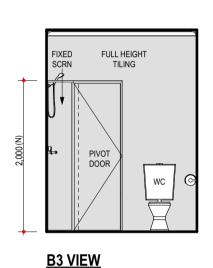
## **RECESSED SHOWER DETAIL (NO HOB)**

- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- SCALE 1:20



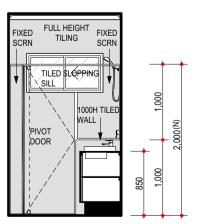
**BATH PLAN** 



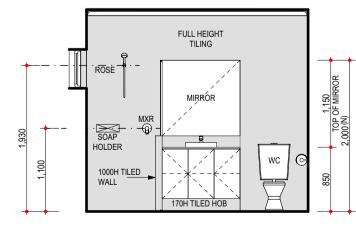


230 **⊥**90 910 shr 500 ens o/all 1,030 90 230 900 230 300 450 90 90 600 I.wall 1000H L,WALL É 940 890 TILES TOWEL RAIL 90

# 1,000 shr o/all 1,930



**ENSUITE PLAN** 



E1 VIEW

**E2 VIEW** 

PROPOSED RESIDENCE FOR: **BUSCLA PTY LTD** 

BUILDER:

ADDRESS: LOT 198 (#26) GLENMERE ROAD, WARWICK.

DESIGNED: SR CHECKED: DM MODEL: 3 X SPECIALS

ww

DRAWN:

SCALE: 1:50 SHEET: SIZE:

JOB N°

16 OF 23 **PROJECTS** 

JS DMA DMA DMA V02 ADD

U2\_ROOM LAYOUTS

17/04/20 13/05/20 20/05/20 27/05/20

# ELECTRICAL LEGEND

Ground	d Floor			Insulation
Qty	Sym.	Description	Watts	Penetration
2	<b>1</b> 0010w*	EXTERNAL WALL LIGHT UP/DOWN @ 2000AFL UP/DOWN	20*	*
2	<b>1</b> 1w*	EXTERNAL WALL LIGHT @ 2000 AFL Perimeter Lighting	22*	*
2	O11w*	CEILING LIGHT (11w) Class 10	22*	*
1	● 7w*	EXTERNAL RECESSED LED DOWN-LIGHT (7W) Class 1 Porch	7*	*
1	● 7w*	EXTERNAL RECESSED LED DOWN-LIGHT (7W) Class 1 Alfresco	7*	*
18	• 7w	RECESSED LED DOWN-LIGHT ( 7w)	126	
2	S	H.WIRED SMOKE DETECTOR	0	
2	•	EXHAUST FAN	0	0.090
1		CEILING LIGHT (11w)	11	
1	•	W/P SGPO INSTALLED IN HWU	0	
2	•	SINGLE GPO IN/ON CEILING	0	
4	•	SINGLE GPO @ NOTED HT	0	
1	С	NBN LEAD IN CONDUIT (25mm) W/- BLANK FACE PLATE AT 1500 AFL	0	
1		DOUBLE WATER PROOF GPO	0	
6		DOUBLE GPO @ NOTED HT	0	
7		DOUBLE GPO @ 200 AFL	0	
1		DOUBLE GPO @ 1500 AFL W/ 20mm CONDUIT FOR PSU CONNECTION	0	
1	С	CONDUIT WITH FACE PLATE @ NOTED HT	0	
1	<b>©</b>	CONDUIT FOR NBN (25mm)	0	
1	© ©	CONDUIT (32mm)	0	
4	©	CONDUIT	0	
1	D2	D2 (2x DATA/PHONE) FOR NBN PROVISION @ 1500 AFL	0	
1	C1D2	C1 (TV) + D2 (PH/DATA)	0	

NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO.
PERIMETER LIGHTING MIN. 40 LUMENS/W. Subtotal: 137 Total Class 1 Wattage= 137

0.090

Vattage Calculations (Class 1)  Allowed Actual					
Story Name	Area	Wattage	Wattage		
0   Ground Floor	89.61 Sqm	448 w	137 w		
	89 61 sam	448 w	137 w	— <sub>P/</sub>	

Recessed Fitting Penetrations (Class 1)		Maximum	Actual	
Story Name	Area	Penetrations	Penetrations	
Total Insulation Area Vents\RangeHoods	89.61 sqm	0.448 sqm	0.090 sqm 0.094 Sqm	
	89.61 sqm 0.21 % R4.0 Ir	0.448 sqm nsulation Adjustmer	0.184 sqm nt Not Required	PASS

# LIGHT AND VENTILATION CALC.

Room Name	Opn %	Light	Vent.		
4   LIVING   KITCHEN   DINING					
Min. Ventilation = 2.39   Min. Light= 3.19 Total Area= 31.86					
W05   Sliding Door	50 %	5.16 m2	2.58 m2		
W03   Awning	72 %	1.09 m2	0.79 m2		
W03   Awning	72 %	1.09 m2	0.79 m2		
Totals	Light	7.35 m2	Vent 4.16 m2		

3 | BED 3

Totals	Light 1.31 m2	Vent 0.94 m2	
W03   Awning	72 % 1.31 m2	0.94 m2	
Min. Ventilation = 0.66   Min. Light= 0.88 Total Area= 8.75			

2   BED 2		
Min. Ventilation = 0.69   Min. Li	ight= 0.92 Total Area= 9.24	
D14   Door	100 % 1.89 m2	1.89 m2

Light 1.89 m2

1 | BED 1

Min. Ventilation = 0.86   Min. Light= 1.14 Total Area= 11.40					
N03   Sliding	32 % 2.57 m2	0.81 m2			
N03   Sliding	32 % 2.57 m2	0.81 m2			
Totals	Light 5.14 m2	Vent 1.62 m2			





# **ELECTRICAL NOTE**

**AIRCON NOTE** 

- INTERCONNECTED SMOKE DETECTORS TO AS3786-2014 - FINAL POSITION OF ELECTRICAL ITEMS SUCH AS GPO'S, LIGHT SWITCHES ETC. MAY VARY ON SITE DUE TO ELECTRICAL REGULATIONS. LIGHT SWITCH HEIGHT TO BE AT 1200 AFL U.N.O.

- NEUTRAL CABLING REQUIRED TO ALL LIGHT SWITCHES.

- PROVIDE DUCTED REVERSE CYCLE AIR CONDITIONING. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER. - EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

# **CLIENT / PRESTART NOTE**

Supervisor without delay.

- CLIENT TO CONFIRM W/- ADMINISTRATOR POSITIONING OF ALL TV, PHONE AND ROOM GPO POSITIONS.

DO NOT SCALE FROM THIS DRAWING

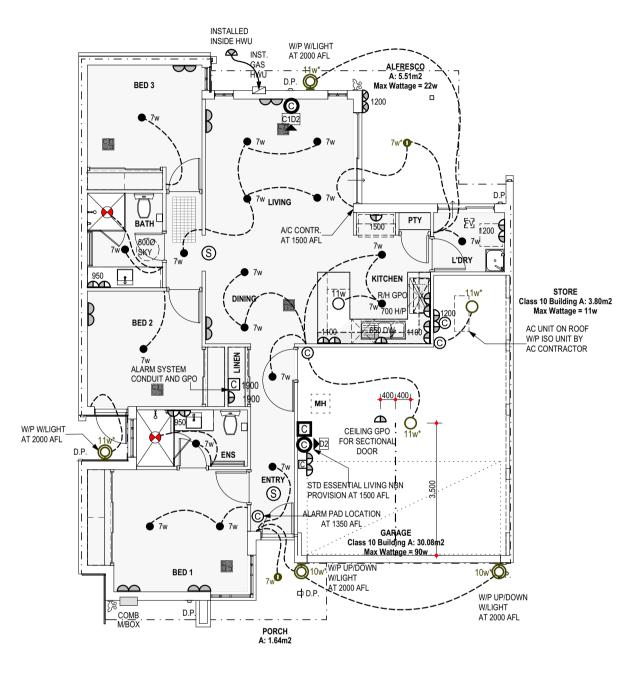
& notes prior to initiating works. Any discrepancies to be notified to the Site

ALL DIMENSIONS TO BRICKWORK.

All Sub-contractors to check dimensions

# TV ANTENNA NOTE

- PROVIDE TV ANTENNA AS PER ADDENDA







PROPOSED RESIDENCE FOR:
BUSCLA PTY LTD

ADDRESS: LOT 198 (#26) GLENMERE ROAD, DRAWN: ww DESIGNED: SR CHECKED: DM DATE: MODEL:

3 X SPECIALS

SCALE: I:100 SHEET: 17 OF 23 SIZE: A3 **PROJECTS** 

JOB N°

158292

JS DMA DMA DMA V02 ADD

U2 ELECTRICAL PLAN

17/04/20 13/05/20 20/05/20 27/05/20

WARWICK. BUILT AROUND PEOPLE

#### **BRICK NOTE** 2c FACE BRICK TO BE LAID IN THIRD BOND U.N.

#### ROOF NOTE

<u>COLORBOND</u> ROOF, PITCH AT 25° W- 500W EAVES UNO STEEL ROOF FRAME TO NASH STANDARDS CEILINGS AT 31c + PLATE UNLESS NOTED OTHERWISE

#### ROOF PLUMBER NOTE

PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS) FINAL POSITIONS OF RWP'S TO BE DETERMINED ON SITE RWP'S IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER SYSTEM (NO KICK)

## **ROOF INSULATION NOTE**

R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL PLASTERBOARD OR VERSILUX CEILINGS IF APPL

## **ELECTRICAL NOTE**

INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS INDICATED ON PLAN

# FIXING CARPENTER NOTE

4 No. 450D SHELVES TO PANTRY AND LINEN UNO 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY PROVIDE MID-SHELF SUPPORT WHERE NOTED "MSS" TO ANY SHELF OVER 1.8m LONG.

#### CEILING MATERIAL NOTE

PORTICO - PLASTERBOARD C.L
- GARAGE/STORE - PLASTERBOARD C.L
- ALFRESCO - (INC. AREAS SHOWN HATCHED) - VERSILUX C.L.

# **BRICKLAYER NOTE**

- FOR 2c GARAGE; - 25c, 27c & 31c GARAGE HAS 4c LINTEL - 28c GARAGE HAS 3c LINTEL

## **GARAGE NOTE**

- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OP'NG

# **AIRCON NOTE**

- PROVIDE DUCTED REVERSE CYCLE AIR CONDITIONING. OUTLET POSITIONS TO BE CONFIRM BY SUPPLIER. - EXTERNAL UNIT (ON ROOF) NOT TO BE VISIBLE FROM THE STREET.

BUILD UP TO ENG. DETAILS **REFER TO ELEVATION 2** 

**ALFRESCO** 

28c CEILING

L'DRY

Ľ.WALĽ

1,160

INST.

GAS /

HWΨ.

KITCHEN

GAS HP W/- UBO & R'HOOD

1

ENS

720

BED<sub>1</sub>

720

ŴIR

COMB-M/BOX

ĒΥ

INT. BWK. CUT

TO SUIT B'TOP

AC UNIT ON WALL

BRACKETS

100 SHS

POST

D.P

TRADES / SUPERVISOR NOTE

REFER TO STRUCTURAL ENGINEERS DETAILS
- ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS & STANDARD SPECIFICATION.

## **RENDER WALL NOTE**

- PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED WALLS & H/FLEX VERSILUX CEILINGS

DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay. ALL DIMENSIONS TO BRICKWORK.

069

700

009 009 009 009

90

8

3,080 bed 2

600 pier

530

1,410

290

garage 1,410

290 Pier

1,410

600 pier

190

10,790 b'dry wall o/a 10,190

950 pass. 190 (

8

8

2,130 bath

830 linen 910 shr.

1,600

600 pier

90

,400

90

130

1,810 sd ,200

060,1

90

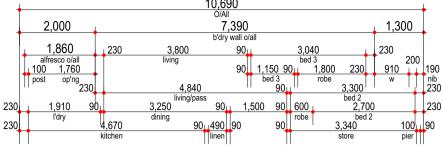
500

1,700

9

17,590 O/All

230 230 230



GUTTER ON WALL ON B'DRY TO DETAIL.
PROVIDE TERMITE TREATMENT TO BDRY WALL

S AC AIR PASS

,500Ø

SKY

BATH

1000H

L.WALI

CAVITY CLOSER

FEATURE B'WORK

**EXTENT SHOWN** 

DASHED

**PORTICO** 

B/PAVED :10

31c CEILING

LIVING

DINING

B'HEAD

AT 28c 200

ENTRY

820

T.F.

D.P.

T-BAR @ 25c W/-190w BWK OVER

STRUCTURAL

MULLION

820  $\odot$ 

25x SF

RENDER EXTENT

BED<sub>3</sub>

SOFFIT

1800W.SD

ROBE

SOFFIT

CEILING

STORE

GARAGE

GRANO -1c 31c CEILING

REMOTE CONTROL

GARAGE DOÓR

CAVITY CLOSER

W/- FLASHING LINTEL AT 27c

BED 2

HARDIFLEX

SPANDREL

REFER TO DETAIL ON DETAIL PAGE.

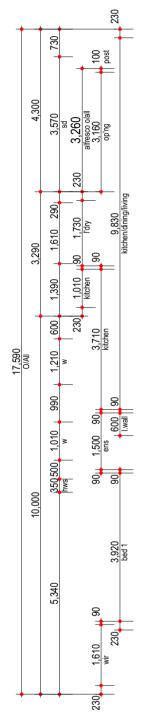
GUTTER ON WALL ON B'DRY TO DETAIL.
PROVIDE TERMITE TREATMENT TO BDRY WA

D.P

RENDER

EXTEN

(E)

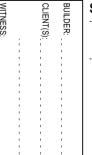


# CONCRETOR/BRK LAYER NOTE

NOTE BRICK WALL ON LOT BOUNDARY HAS BEEN CALCULATED TO BE SET INSIDE THE BOUNDARY BY 195/198mm. NOTE BRICKWALL ON STRATA BOUNDARY HAS BEEN CALCULATED TO BE SET INSIDE THE BOUNDARY BY 10mm. ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c UNLESS NOTED OTHERWISE

DROPPED FOOTINGS AS SPECIFIED BY MARKERS

TOP OF FOOTING AT -6c BETWEEN E-F. REFER TO ELEVATIONS FOR EXTENT.



# **SEWER EASEMENT NOTE**

- PILING OR DROPPED FOOTING MAY BE REQUIRED (REFER TO ENGINEERS DETAILS) AS INDICATED BY - CONFIRM EXTENT OF PILING.

90 90 230 5,610 90 1,040 100 910 | 90 shr. | 1.wall 2,040 garage 5,410 100 90 230 1,010 1pier 1,010 190 portico 810 390 feat 230 3,040 230 1,530 230 1,200 20 390 1,510 340 1,140 460 880 5,110 6,690 500 1,990 1,510 990 2,170 3,530 10,690



# **U3 FLOOR PLAN**

	Area m²	Perim. L/m
1.FLOOR PLAN	103.27	56.56
2. GARAGE	32.14	22.80
3. PORTICO	1.68	5.20
4. STORE	4.20	9.44
5. ALFRESCO	6.80	10.80
6.TOTAL AREA	148.08	56.56
7. ROOF	162.37	58.20



PROPOSED RESIDENCE FOR: **BUSCLA PTY LTD** 

ADDRESS:

LOT 198 (#26) GLENMERE ROAD,

DRAWN: ww DESIGNED: SR CHECKED: DM

3 X SPECIALS

MODEL:

SCALE: 1:100 SHEET: 18 OF 23 SIZE: A3

**PROJECTS** 

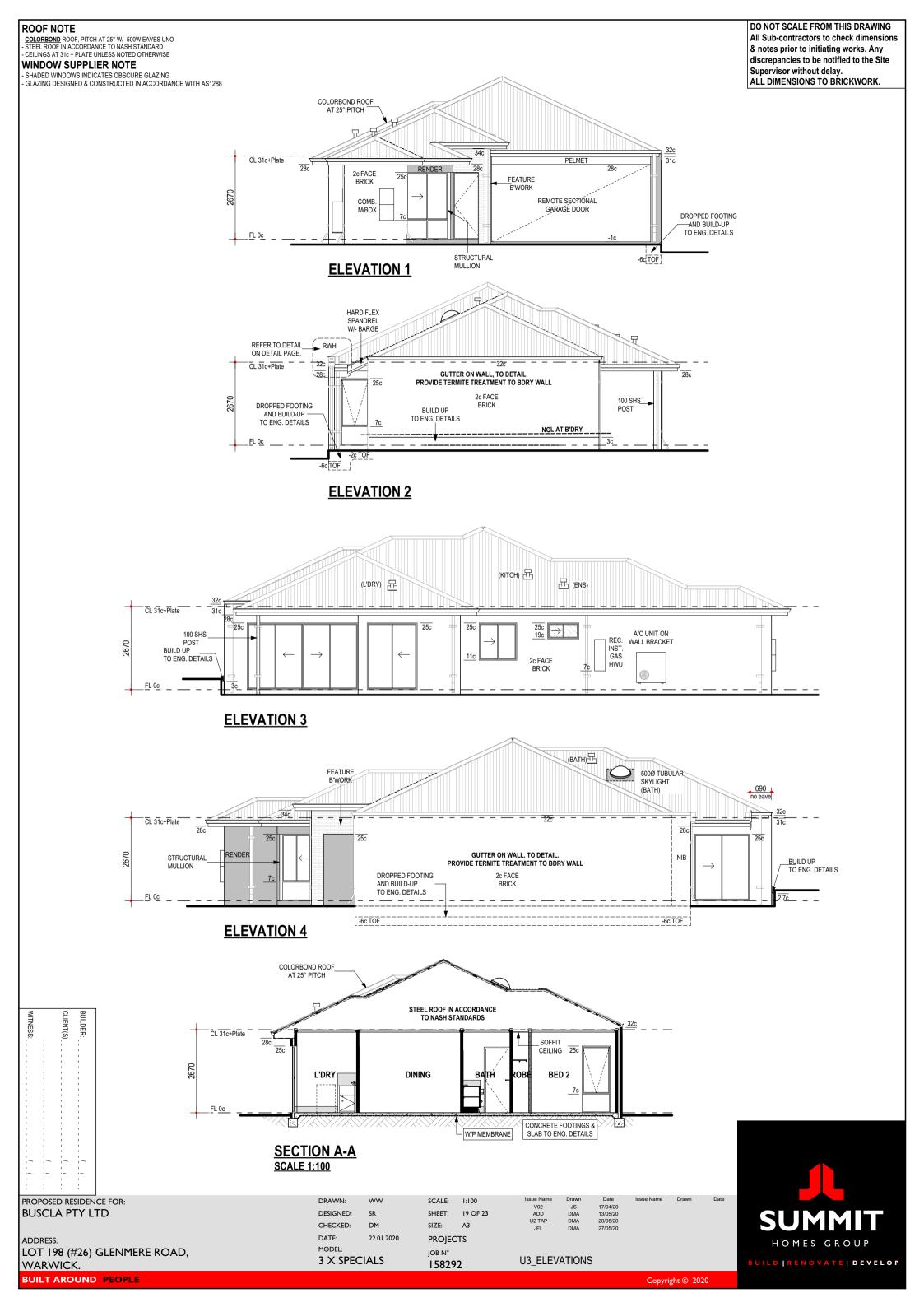
158292

JOB N°

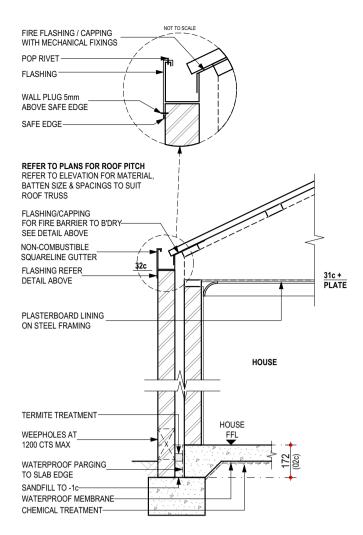
V02 JS DMA U2 TAP JEL

U3 FLOOR PLAN

17/04/20 13/05/20



DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay. ALL DIMENSIONS TO BRICKWORK.



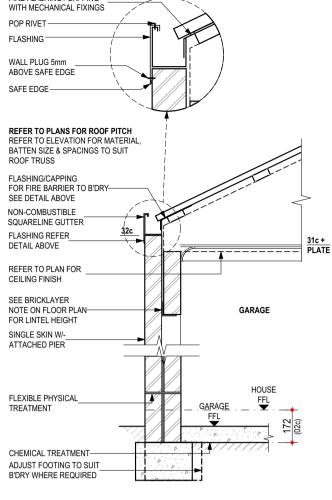
# D1 - GUTTER ON WALL / FLASHING DETAIL TO HOUSE W/- TERMITE TREATMENT NOTES: - REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS

- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS - REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS

- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.



**RAINWATER HEAD TO NIB WALL DETAIL** 



NOT TO SCALE

FIRE FLASHING / CAPPING

# D2 - GUTTER ON WALL/FLASHING DETAIL TO GARAGE W/- TERMITE TREATMENT

- NOTES:
   REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.

8		Ω	В	7
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PROPOSED RESIDENCE FOR: **BUSCLA PTY LTD** 

ADDRESS: LOT 198 (#26) GLENMERE ROAD, WARWICK.

DRAWN: ww DESIGNED: SR CHECKED: DM DATE: MODEL: 3 X SPECIALS SCALE: AS NOTED SHEET: 20 OF 23 SIZE: **PROJECTS** 

JOB N°

V02

U3 DETAILS

17/04/20 13/05/20 20/05/20 27/05/20

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**SUMMIT** HOMES GROUP

BUILD | RENOVATE | DEVELOP

158292 **BUILT AROUND PEOPLE** 

## **BENCHTOP NOTE**

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

# **WALL FINISH NOTE**

WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

# **CABINETMAKER NOTE**

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

#### **TILER NOTE**

- SHADING DENOTES EXTENT OF TILING - ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET

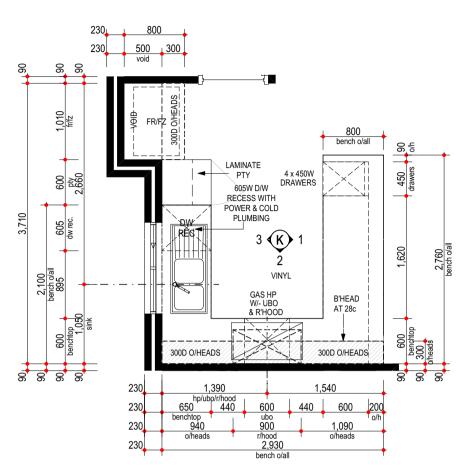
WALL FINISH NOTE

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES

- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES. - MITRED TILES THROUGHOUT WHERE APPLICABLE.

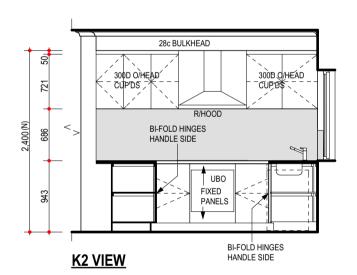
DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay. ALL DIMENSIONS TO BRICKWORK.

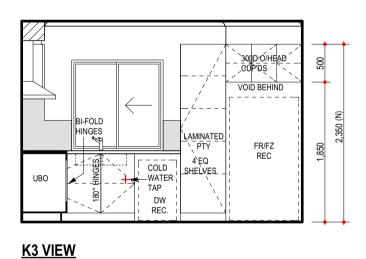
REFER TO ADDENDUM FOR FITOUT SPECIFICATION WET AREAS CONSTRUCTED IN ACCORDANCE WITH

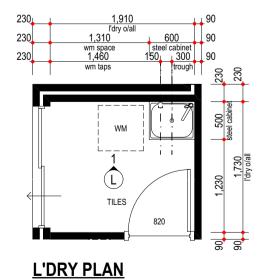


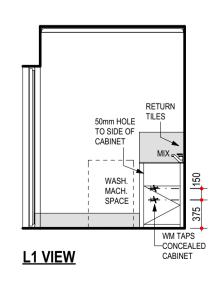
721 BI-FOLD 2,400(N) HINGES **DRAWERS** 943 **K1 VIEW** 

**KITCHEN PLAN** 











PROPOSED RESIDENCE FOR: **BUSCLA PTY LTD** 

ADDRESS: LOT 198 (#26) GLENMERE ROAD, WARWICK.

DRAWN: ww DESIGNED: SR CHECKED: DM MODEL:

3 X SPECIALS

SCALE: 1:50 SHEET: 21 OF 23 SIZE: A3 **PROJECTS** 

JOB N°

158292

JS DMA DMA DMA V02 ADD

U3 ROOM LAYOUTS

17/04/20 13/05/20 20/05/20 27/05/20

HOMES GROUP BUILD | RENOVATE | DEVELOP

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## 1,500 bathroom **↓**90 90 90 550 950 6 6 6 720 ,000 ·WC 500Ø SKY <u>2</u> **B** 1,130 vanity TILES 90 300 mixer 500 rose Ł.WALL 90 90 90 600 Lwall 90

**BATH PLAN** 

# **BENCHTOP NOTE**

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

# **WALL FINISH NOTE**

WALL FINISH NOTE

- DIMENSIONS SHOWN ON PLAN ARE TO BWORK ONLY, SIZES

- DIMENSIONS SHOWN ON PLAN ARE TO BWORK ONLY, SIZES

OF WORKS TO VERIFY LOCATION OF TILES. WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

# **CABINETMAKER NOTE**

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

#### **TILER NOTE**

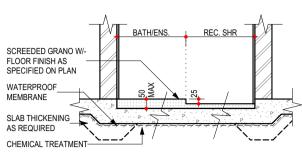
- SHADING DENOTES EXTENT OF TILING - ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET

- MITRED TILES THROUGHOUT WHERE APPLICABLE

All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay. ALL DIMENSIONS TO BRICKWORK.

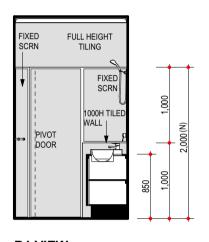
REFER TO ADDENDUM FOR FITOUT SPECIFICATION WET AREAS CONSTRUCTED IN ACCORDANCE WITH PART 3.8.1 OF B.C.A. (VOL 2)

DO NOT SCALE FROM THIS DRAWING

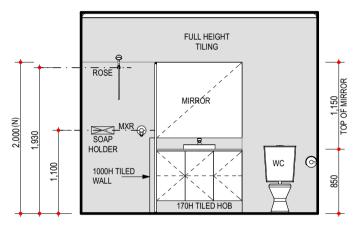


# **RECESSED SHOWER DETAIL (NO HOB)**

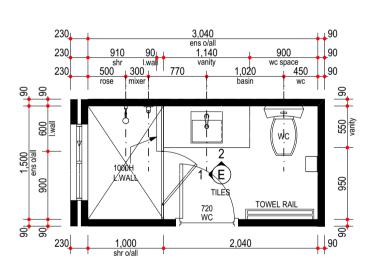
- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- SCALE 1:20



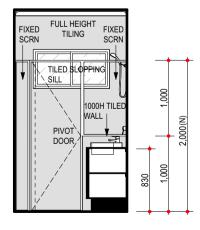
**B1 VIEW** 



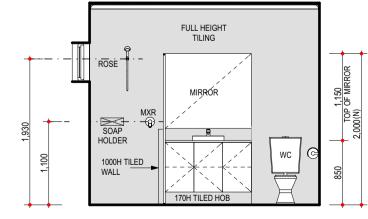
**B2 VIEW** 



**ENSUITE PLAN** 



E1 VIEW



**E2 VIEW** 

PROPOSED RESIDENCE FOR: **BUSCLA PTY LTD** 

BUILDER:

ADDRESS: LOT 198 (#26) GLENMERE ROAD, WARWICK.

DRAWN: ww DESIGNED: SR CHECKED: DM MODEL:

3 X SPECIALS

SCALE: 1:50 SHEET: 22 OF 23 SIZE: A3 **PROJECTS** 

JOB N°

158292

JS DMA DMA DMA V02 ADD

U3\_ROOM LAYOUTS

17/04/20 13/05/20 20/05/20 27/05/20

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# ELECTRICAL LEGEND

Ground	d Floor			Insulation
Qty	Sym.	Description	Watts	Penetrations
2	<b>1</b> 0w*	EXTERNAL WALL LIGHT UP/DOWN @ 2000AFL UP/DOWN	20*	*
2	11w*	EXTERNAL WALL LIGHT @ 2000 AFL Perimeter Lighting	22*	*
2	O11w*	CEILING LIGHT (11w) Class 10	22*	*
1	<b>●</b> 7w*	EXTERNAL RECESSED LED DOWN-LIGHT (7W) Class 1 Portico	7*	*
1	<b>●</b> 7w*	EXTERNAL RECESSED LED DOWN-LIGHT (7W) Class 1 Alfresco	7*	*
18	• 7w	RECESSED LED DOWN-LIGHT ( 7w)	126	
2	(S)	H.WIRED SMOKE DETECTOR	0	
2	$\Theta$	EXHAUST FAN	0	0.090
1	◯ 11w	CEILING LIGHT (11w)	11	
1	•	W/P SGPO INSTALLED IN HWU	0	
2	•	SINGLE GPO IN/ON CEILING	0	
4		SINGLE GPO @ NOTED HT	0	
1	С	NBN LEAD IN CONDUIT (25mm) W/- BLANK FACE PLATE AT 1500 AFL	0	
1		DOUBLE WATER PROOF GPO	0	
6	<b>M</b>	DOUBLE GPO @ NOTED HT	0	
7		DOUBLE GPO @ 200 AFL	0	
1		DOUBLE GPO @ 1500 AFL W/ 20mm CONDUIT FOR PSU CONNECTION	0	
1	С	CONDUIT WITH FACE PLATE @ NOTED HT	0	
1	©	CONDUIT FOR NBN (25mm)	0	
1	© ©	CONDUIT (32mm)	0	
5	©	CONDUIT	0	
1	D2	D2 (2x DATA/PHONE) FOR NBN PROVISION @ 1500 AFL	0	
1	C1D2	C1 (TV) + D2 (PH/DATA)	0	

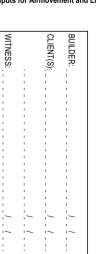
NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. Subtotal: 137 0.090
PERIMETER LIGHTING MIN. 40 LUMENS/W.
Total Class 1 Wattage= 137

Wattage Calculations (	Class 1)	Allowed	Actual		
Story Name	Area		Wattage		
0   Ground Floor	92.21 Sqm	461 w	137 w	]	
92.21 sqm Recessed Fitting Penetrations (Class 1)		461 w	137 w	PASS	
Story Name	Maximum Penetrations	Actual Penetrations			
Total Insulation Area Vents\RangeHoods	92.21 sqm	0.461 sqm	0.090 sq 0.094 Sc		
	92.21 sqm	0.461 sqm	0.184 sq		

# LIGHT AND VENTILATION CALC.

LIOIII A	110 1				
Room Name		Opn %	Light		Vent.
4   BED 2					
Min. Ventilation = 0.	68   Min. Li	ght= 0.90 To	otal Area= 9	.03	
W08   Awning	V08   Awning		1.95 m2		1.40 m2
	Totals	Light	1.95 m2	Vent	1.40 m2
3   BED 3					
Min. Ventilation = 0.	62   Min. Li	ght= 0.83 To	otal Area= 8	.32	
W07   Sliding Door		50 %	3.88 m2		1.94 m2
	1	Limbt	3.88 m2	Vont	1.94 m2
	Totals	Ligit	3.00 1112	vent	1.94 1112
2   LIVING   Min. Ventilation = 2.	KITCH	iEN   DI	NING		1.94 1112
	KITCH	iEN   DI	NING		3.83 m2
Min. Ventilation = 2.	KITCH	1EN   DI ght= 3.83 To	NING otal Area= 3 7.65 m2		
Min. Ventilation = 2. W06   Sliding Door	KITCH	HEN   DI ght= 3.83 To 50 %	NING otal Area= 3 7.65 m2	8.34	3.83 m2
Min. Ventilation = 2. W06   Sliding Door	KITCH 88   Min. Li	HEN   DI ght= 3.83 To 50 %	NING otal Area= 38 7.65 m2 1.45 m2	8.34	3.83 m2 0.73 m2
Min. Ventilation = 2. W06   Sliding Door W04   Sliding	KITCH 88   Min. Li	HEN   DI ght= 3.83 To 50 % 50 % Light	NING otal Area= 36 7.65 m2 1.45 m2 9.10 m2	8.34 Vent	3.83 m2 0.73 m2
Min. Ventilation = 2.  W06   Sliding Door  W04   Sliding	KITCH 88   Min. Li	HEN   DI ght= 3.83 To 50 % 50 % Light	NING otal Area= 36 7.65 m2 1.45 m2 9.10 m2	8.34 Vent	3.83 m2 0.73 m2
Min. Ventilation = 2.  W06   Sliding Door  W04   Sliding  1   BED 1  Min. Ventilation = 0.	KITCH 88   Min. Li	HEN   DI ght= 3.83 To 50 % 50 % Light	NING otal Area= 30 7.65 m2 1.45 m2 9.10 m2 otal Area= 1 3.24 m2	8.34 Vent	3.83 m2 0.73 m2 <b>4.55 m2</b>

Inputs for Airmovement and Light are Valid





# **ELECTRICAL NOTE**

- INTERCONNECTED SMOKE DETECTORS TO AS3786-2014

- FINAL POSITION OF ELECTRICAL ITEMS SUCH AS GPO'S, LIGHT SWITCHES ETC. MAY VARY ON SITE DUE TO ELECTRICAL REGULATIONS. LIGHT SWITCH HEIGHT TO BE AT 1200 AFL U.N.O.

-  $\ensuremath{\mathsf{NEUTRAL}}$  CABLING REQUIRED TO ALL LIGHT SWITCHES. **AIRCON NOTE** 

- PROVIDE DUCTED REVERSE CYCLE AIR CONDITIONING. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER. - EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

#### **CLIENT / PRESTART NOTE**

- CLIENT TO CONFIRM W/- ADMINISTRATOR POSITIONING OF ALL TV, PHONE AND ROOM GPO POSITIONS.

TV ANTENNA NOTE
- PROVIDE TV ANTENNA AS PER ADDENDA

D.P D.P.
D.P.   ALFRESCO A: 6.80m2 Max Wattage = 27w LIVING  BED 3  W/P W/LIGHT AT 2000 AFL
7w <b>Q</b> 7w 7w
A/C CONTR. AT 1500 AFL
1200 L'DRY  7w DINING 7w DINING 7w  BED 2
AT 2000 AFL 11w 1500 II 1500 II 17w
STORE Class 10 Building A: 4.00m2 Max Wattage = 12w  7w RH GPO
C CEILING GPO FOR SECTIONAL DOOR
INSTALLED INSIDE HWU
AC UNIT W/P ISO UNIT BY AC CONTRACTOR  AC CONTRACTOR  AC UNIT BY AC CONTRACTOR  BED 1  AC UNIT BY AC CONTRACTOR  BED 1  AC CONTRACTOR  BED 1  AC CONTRACTOR  BED 1  AC CONTRACTOR  BED 1  BED 1
7w D.P. WP UP/DOWN WLIGHT AT 2000 AFL
D.P. D.P. CONDUIT AND GPO
— · — · — · — · — · — · — · — · — ·





ADDRESS: LOT 198 (#26) GLENMERE ROAD, WARWICK.

DRAWN: ww DESIGNED: SR CHECKED: DM MODEL:

SCALE: 1:100 SHEET: 23 OF 23 SIZE: A3 **PROJECTS** 

JOB N°

V02 ADD U2 TAP JEL 17/04/20 13/05/20 20/05/20 27/05/20

U3\_ELECTRICAL PLAN



3 X SPECIALS 158292 BUILT AROUND PEOPLE Copyright © 2020