

**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landscape plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey inc. any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from inform. supplied by Water Corp.

**DISCLAIMER:**  
Survey shows visible features only & will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal & mains services should be confirmed prior to finalisation of any design work.

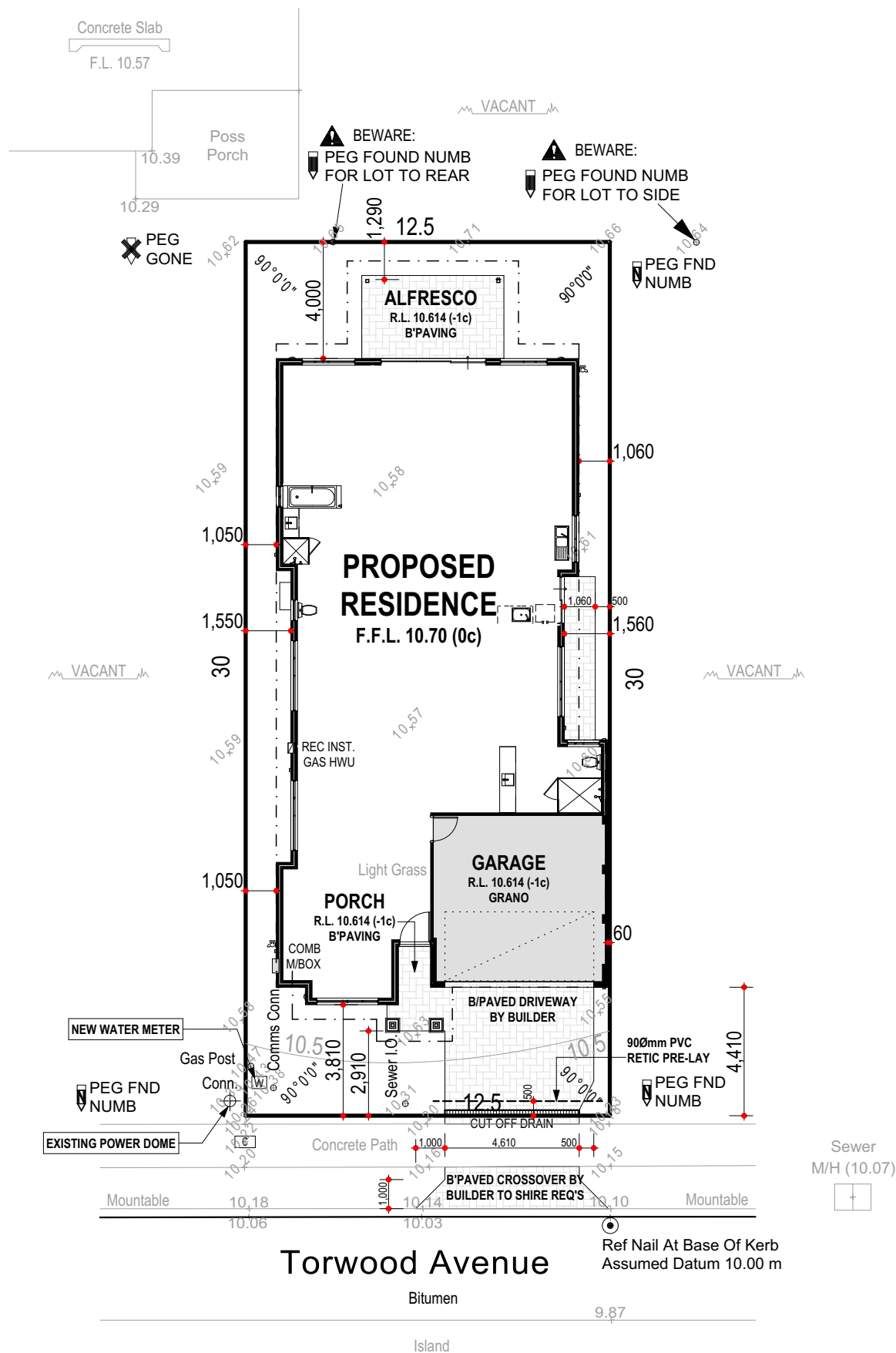
**NOTE:**  
Earthworks/set-out dimensions may vary on site at builders discretion. Sewer/drainage may vary from schematic presentation/check min. clearances. Retaining not included in contract - remains owners responsibility. This survey does not guarantee the location of boundary pegs or fences. Check title for easements/covenants etc.





**DISCLAIMER:**  
Survey does not include verification of cadastral b'daries. All features & levels shown are based on orientation to existing pegs & fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true b'dary.

**DISCLAIMER:**  
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment are are to be verified when repegged. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be rechecked and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

**BRICKPAVER NOTE:**

- BRICK PAVING TO DRIVEWAYS, CROSSOVERS, PATHS, CARBAYS. EXTENT AS INDICATED.
- WIDTHS OF BRICK PAVED PATHS TO BE APPROX. 1.0m WIDE UNLESS OTHERWISE INDICATED.
- MAINTAIN NOMINATED PAVING LEVELS FOR STORMWATER RUN OFF.
- PRE-LAY 900mm PVC RETIC SLEEVE UNDER DRIVEWAY PRIOR TO PAVING FOR LANDSCAPING.



<b>LEGEND</b>		SEC Dome
		Power Pole
		Phone Pits
		Water Conn.
	[ TP 10.00 ]	Top Pillar/Post
	[ TW 10.00 ]	Top Wall
	[ TR 10.00 ]	Top Retaining
	[ TF 10.00 ]	Top Fence

**NOTE:**  
NOTIFICATION. REFER TO SEC 165  
T.P&D. ACT SEE DOCUMENT  
AIRCRAFT NOISE

**NOTE:**  
NOTIFICATION. REFER TO SEC 70A  
T.L.A. SEE DOCUMENT FIRE  
MANAGEMENT PLAN

**NOTE:**  
RESTRICTIVE COVENANT. REFER TO  
SEC 136D T.L.A. SEE DOCUMENT

BUILDER:	/ /
CLIENT(S):	/ /
WITNESS:	/ /

# COTTAGE & ENGINEERING SURVEYS

Licensed Surveyors ©

87-89 Guthrie Street, Osborne Park, Western Australia.  
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998.  
Email : [perth@cottage.com.au](mailto:perth@cottage.com.au) Website: [www.cottage.com.au](http://www.cottage.com.au)

AREA:	375m²	ROAD DESCR.:	BITUMEN	GAS:	YES	SSA/OLD AREAS:	SSA	UNLODGED SS PLAN:	N/A
SHIRE:	COCKBURN	KERBING:	MOUNT	WATER:	YES	C/JOB#:	459922	ORIGINAL LOT:	N/A
D.PLAN:	413126	FOOTPATH:	CONC.	ELECTRICITY:	U/G	DATE:	04 OCT 19	LOT MISCLOSE:	0.000
C/T VOLUMN:		SOIL:	SAND	PH/COMMS:	YES	SCALE:	1:200	SSL 1 MISCLOSE:	N/A
FOLIO:		DRAINAGE:	GOOD	SEWER:	YES	DRAWN:	J. JEE	SSL 2 MISCLOSE:	N/A
MSD REF:	463-27/12	VEGETATION:	RTS	COASTAL:	NO				

PROPOSED RESIDENCE FOR:  
TANUWDJAJA & SETIAWAN

ADDRESS:  
LOT 1743 TORWOOD AVENUE,  
TREEBY

DRAWN:	JS	SCALE:	1:200	Issue Name	Drawn	Date	Issue Name	Drawn	Date
DESIGNED:	AC	SHEET:	1 OF 9	V01	JS	9/12/19			
CHECKED:	DM	SIZE:	A3	V03	DMA	27/03/20			
DATE:	14/10/19			JEL	JS	17/04/20			
MODEL:		PROJECTS							
COLARADO 12.5 M		JOB N°							
158011				SITE PLAN					

Scale 1:200

0 1 2 3 4 5 6 7 8 9 10

**SUMMIT**  
HOMES GROUP

BUILD | RENOVATE | DEVELOP

SURVEYOR NOTES:

**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey inc. any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from inform. supplied by Water Corp.

**DISCLAIMER:**  
Survey shows visible features only & will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal & mains services should be confirmed prior to finalisation of any design work.

**NOTE:**  
Earthworks/set-out dimensions may vary on site at builders discretion. Sewer/drainage may vary from schematic presentation/check min. clearances. Retaining not included in contract - remains owners responsibility. This survey does not guarantee the location of boundary pegs or fences. Check title for easements/covenants etc.

**DISCLAIMER:**  
Survey does not include verification of cadastral b'daries. All features & levels shown are based on orientation to existing pegs & fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true b'dary.

**DISCLAIMER:**  
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment are are to be verified when repegged. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

CONCRETOR / BRICKLAYER NOTE:

- B'WALL ON COMMON LOT B'DRY HAS BEEN CALCULATED TO BE SET INSIDE THE B'DRY BY 60mm.

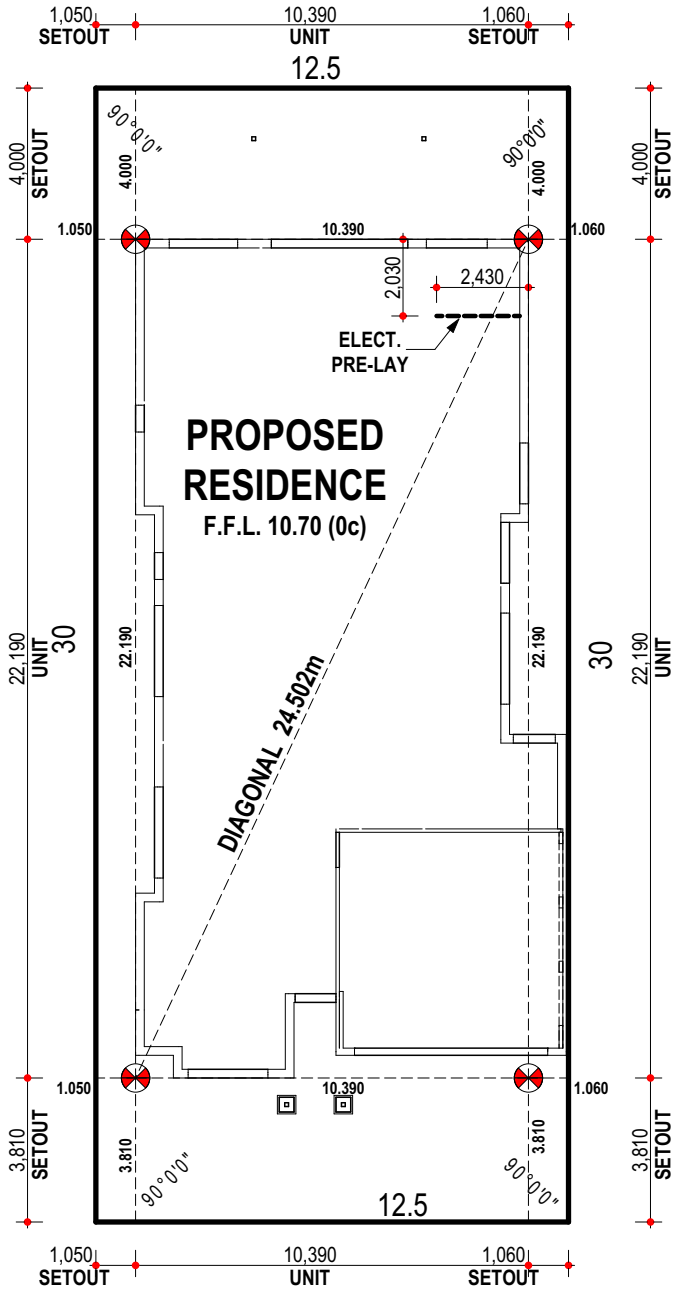
DO NOT SCALE FROM THIS DRAWING  
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.  
ALL DIMENSIONS TO BRICKWORK.

LEGEND		SEC Dome
		Power Pole
		Phone Pits
		Water Conn.
	[ TP 10.00 ]	Top Pillar/Post
	[ TW 10.00 ]	Top Wall
	[ TR 10.00 ]	Top Retaining
	[ TF 10.00 ]	Top Fence

**NOTE:**  
NOTIFICATION. REFER TO SEC 165 T.P&D. ACT SEE DOCUMENT AIRCRAFT NOISE

**NOTE:**  
NOTIFICATION. REFER TO SEC 70A T.L.A. SEE DOCUMENT FIRE MANAGEMENT PLAN

**NOTE:**  
RESTRICTIVE COVENANT. REFER TO SEC 136D T.L.A. SEE DOCUMENT



BUILDER: \_\_\_\_\_  
CLIENT(S): \_\_\_\_\_  
WITNESS: \_\_\_\_\_

COTTAGE & ENGINEERING  
SURVEYS  
Licensed Surveyors  
87-89 Guthrie Street, Osborne Park, Western Australia.  
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998.  
Email : perth@cottage.com.au Website: www.cottage.com.au

AREA: 375m²	ROAD DESCR.: BITUMEN	GAS: YES	SSA/OLD AREAS: SSA	UNLODGED SS PLAN: N/A
SHIRE: COCKBURN	KERBING: MOUNT	WATER: YES	C/JOB#: 459922	ORIGINAL LOT: N/A
D.PLAN: 413126	FOOTPATH: CONC.	ELECTRICITY: U/G	DATE: 04 OCT 19	LOT MISCLOSE: 0.000
C/T VOLUMN:	SOIL: SAND	PH/COMMS: YES	SCALE: 1:200	SSL 1 MISCLOSE: N/A
FOLIO:	DRAINAGE: GOOD	SEWER: YES	DRAWN: J. JEE	SSL 2 MISCLOSE: N/A
MSD REF: 463-27/12	VEGETATION: RTS	COASTAL: NO		

PROPOSED RESIDENCE FOR: TANUWDJAJA & SETIAWAN	DRAWN: JS	SCALE: 1:200	Issue Name V01	Drawn JS	Date 9/12/19	Issue Name	Drawn	Date
ADDRESS: LOT 1743 TORWOOD AVENUE, TREEBY	DESIGNED: AC	SHEET: 2 OF 9	JEL	JS	17/04/20			
	CHECKED: DM	SIZE: A3						
	DATE: 14/10/19	PROJECTS						
	MODEL:	JOB N°						
	COLARADO 12.5 M	158011						
		SETOUT PLAN						

Scale 1:200  
0 1 2 3 4 5 6 7 8 9 10

SUMMIT  
HOMES GROUP  
BUILD | RENOVATE | DEVELOP

SURVEYOR NOTES:

**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey inc. any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from inform. supplied by Water Corp.

**DISCLAIMER:**  
Survey shows visible features only & will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal & mains services should be confirmed prior to finalisation of any design work.

**NOTE:**  
Earthworks/set-out dimensions may vary on site at builders discretion. Sewer/drainage may vary from schematic presentation/check min. clearances. Retaining not included in contract - remains owners responsibility. This survey does not guarantee the location of boundary pegs or fences. Check title for easements/covenants etc.

**DISCLAIMER:**  
Survey does not include verification of cadastral b'daries. All features & levels shown are based on orientation to existing pegs & fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true b'dary.

**DISCLAIMER:**  
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment are are to be verified when repegged. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

PLUMBER NOTE:

- CONNECT ALL DOWNPIPES TO STORMWATER SOAKWELLS AS PER SHIRE REQUIREMENTS.
- PART 3.1.2 DRAINAGE: ALL STORMWATER & SURFACE WATER DRAINAGE TO COMPLY W/- A.S. 3500.3:2003, CLAUSE 3.1.2.1 & 3.1.2.5 BCA VOL. 2 & LOCAL AUTHORITY REQUIREMENTS.
- REFLUX VALVE REQUIRED.

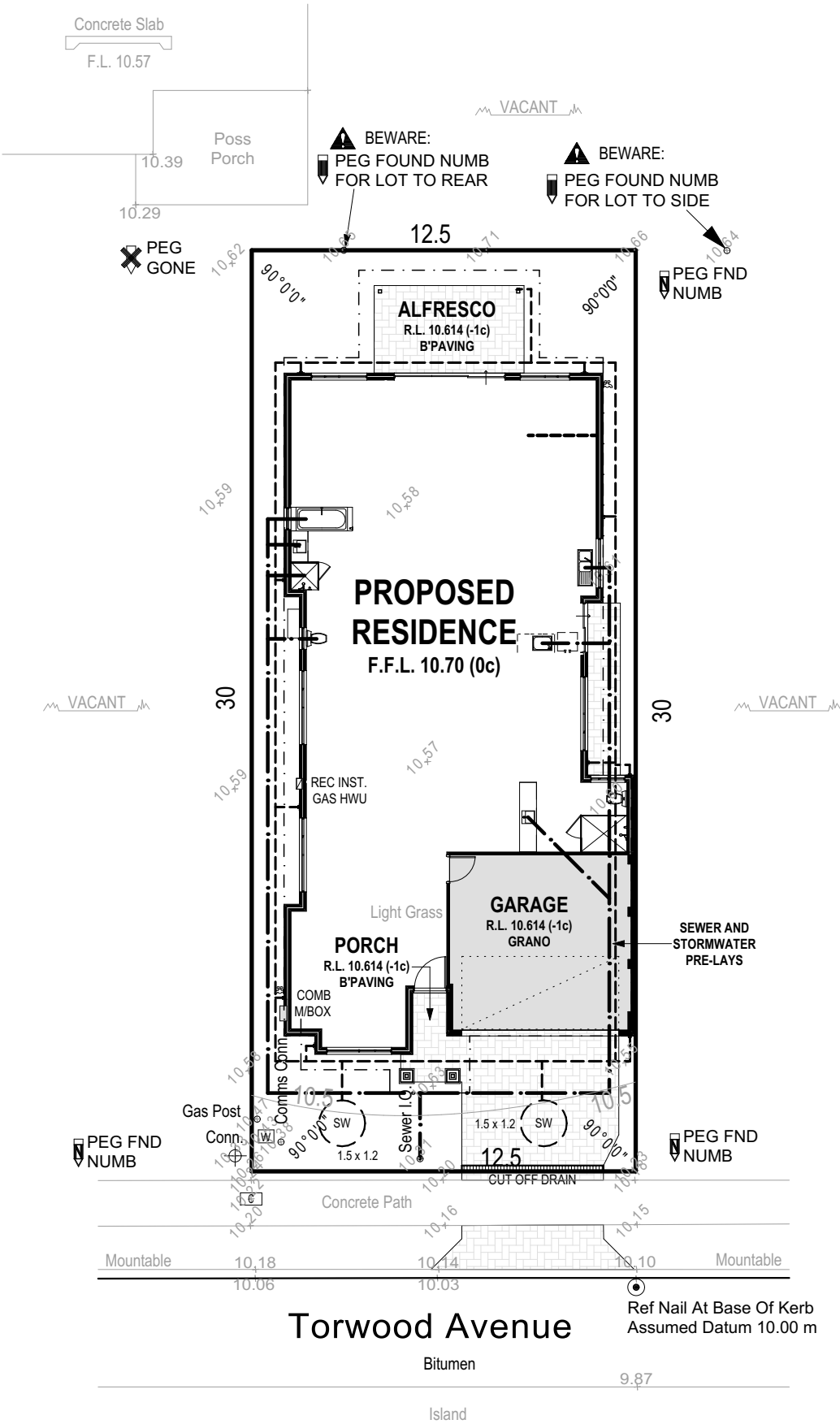
DO NOT SCALE FROM THIS DRAWING  
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.  
ALL DIMENSIONS TO BRICKWORK.

LEGEND	⊕	SEC Dome
	≡○≡	Power Pole
	[ T ] [ C ]	Phone Pits
	[ W ]	Water Conn.
	[ TP 10.00 ]	Top Pillar/Post
	[ TW 10.00 ]	Top Wall
	[ TR 10.00 ]	Top Retaining
	[ TF 10.00 ]	Top Fence

**NOTE:**  
NOTIFICATION. REFER TO SEC 165 T.P&D. ACT SEE DOCUMENT AIRCRAFT NOISE

**NOTE:**  
NOTIFICATION. REFER TO SEC 70A T.L.A. SEE DOCUMENT FIRE MANAGEMENT PLAN

**NOTE:**  
RESTRICTIVE COVENANT. REFER TO SEC 136D T.L.A. SEE DOCUMENT



STORMWATER & SEWER NOTES

1:20 YEAR STORM EVENT

Soak Well Type	No.	
SW 1500x1200	2	4.2 m3
Total Capacity		4.2 m3
Roof Area GF		262.0 m2
Paved Area		23.0 m2
Total Area		285.0 m2

Capacity Required (Area x 0.0130) 3.7 m3  
Extra Capacity Provided 0.5 m3

BUILDER: \_\_\_\_\_  
CLIENT(S): \_\_\_\_\_  
WITNESS: \_\_\_\_\_


COTTAGE & ENGINEERING  
SURVEYS  
Licensed Surveyors ©  
87-89 Guthrie Street, Osborne Park, Western Australia.  
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998.  
Email : perth@cottage.com.au Website: www.cottage.com.au

AREA: 375m²	ROAD DESCR.: BITUMEN	GAS: YES	SSA/OLD AREAS: SSA	UNLOGGED SS PLAN: N/A
SHIRE: COCKBURN	KERBING: MOUNT	WATER: YES	C/JOB#: 459922	ORIGINAL LOT: N/A
D.PLAN: 413126	FOOTPATH: CONC.	ELECTRICITY: U/G	DATE: 04 OCT 19	LOT MISCLOSE: 0.000
C/T VOLUMN:	SOIL: SAND	PH/COMMS: YES	SCALE: 1:200	SSL 1 MISCLOSE: N/A
FOLIO:	DRAINAGE: GOOD	SEWER: YES	DRAWN: J. JEE	SSL 2 MISCLOSE: N/A
MSD REF: 463-27/12	VEGETATION: RTS	COASTAL: NO		


PROPOSED RESIDENCE FOR: TANUWDJAJA & SETIAWAN	DRAWN: JS	SCALE: 1:200	Issue Name V01 JEL	Drawn JS	Date 9/12/19 17/04/20	Issue Name	Drawn	Date
ADDRESS: LOT 1743 TORWOOD AVENUE, TREEBY	DESIGNED: AC	SHEET: 3 OF 9						
	CHECKED: DM	SIZE: A3						
	DATE: 14/10/19	PROJECTS						
	MODEL:	JOB N°						
	COLARADO 12.5 M	158011						
		PLUMBING PLAN						

BUILT AROUND PEOPLE

Copyright © 2019

  
**SUMMIT**  
HOMES GROUP  
BUILD | RENOVATE | DEVELOP

Scale 1:200  
0 1 2 3 4 5 6 7 8 9 10





**BRICK NOTE**  
- 2c FACE BRICK TO BE LAID IN THIRD BOND U.N.O  
**BUSHFIRE ATTACK LEVEL - 12.5**  
**CONSTRUCTION TO COMPLY FULLY**  
**W/- NASH STANDARDS**

- **COLORBOND** ROOF, PITCH AT 25° W/- 500W EAVES UNC
- STEEL ROOF FRAME TO NASH STANDARDS
- CEILINGS AT 30c + PLATE UNLESS NOTED OTHERWISE

- PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)
- FINAL POSITIONS OF RWP'S TO BE DETERMINED ON SITE
- RWP'S IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER SYSTEM (NO KICK)

- R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL PLASTERBOARD OR VERSILUX CEILINGS IF APPL.
- R1.3 ANTICON TO ENTIRE ROOF

- INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS INDICATED ON PLAN (S)

- 4 No. 450D SHELVES TO PANTRY AND LINEN UNO
- 450D SHELF & RAIL TO ALL ROBE & ROBE REC. UNO
- 450D SHELF & RAIL TO WIR 2000AFL. UNO
- 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY
- PROVIDE MID-SHELF SUPPORT WHERE NOTED "MSS" TO ANY SHELF OVER 1.8m LONG.

- PORTICO - HARDIFLEX C.L.
- GARAGE - HARDIFLEX C.L.
- ALFRESCO - PLASTERBOARD C.L.

- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OP'NG

- PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED WALLS & H/FLEX /  
VERSILUX CEILINGS

- REFER TO STRUCTURAL ENGINEERS DETAILS  
- ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS  
& STANDARD SPECIFICATION.

- TOILET DOOR TO COMPLY W/- CLAUSE 3.8.3.3 OF THE B.C.A VOL. 2

- PROVIDE PLASTERBOARD TO WALLS WHERE INDICATED BY "DW"

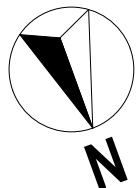
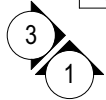
- 6.38mm LAM GLAZING AS NOTED TO COMPLY W/- NOISE REQ.

- FOR 2c GARAGE;

**CONCRETE/BRK LAYER NOTE**  
- ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c UNLESS NOTED OTHERWISE.

- PROVIDE REVERSE CYCLE AIR CONDITIONING. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

- NO HOBS TO SHOWERS UNLESS SHOWN OTHERWISE.  
- PLUMBER TO INSTALL REFLUX VALVE.



	Area m <sup>2</sup>	Perim. L/m
1. FLOOR PLAN	189.83	69.16
2. GARAGE	35.53	23.98
3. PORCH	4.16	9.58
4. ALFRESCO	13.91	15.46
5. TOTAL AREA	243.42	76.66
6. ROOF	262.01	76.19

BUILDER: \_\_\_\_\_ / /  
 CLIENT(S): \_\_\_\_\_ / /  
 \_\_\_\_\_ / /  
 WITNESS: \_\_\_\_\_ / /

ADDRESS:  
LOT 1743 TORWOOD AVENUE,  
TREEBY

DRAWN: JS  
DESIGNED: AC  
CHECKED: DM  
DATE: 14/10/19  
MODEL:  
**COLARADO 12.5 M**

## FLOOR PLAN

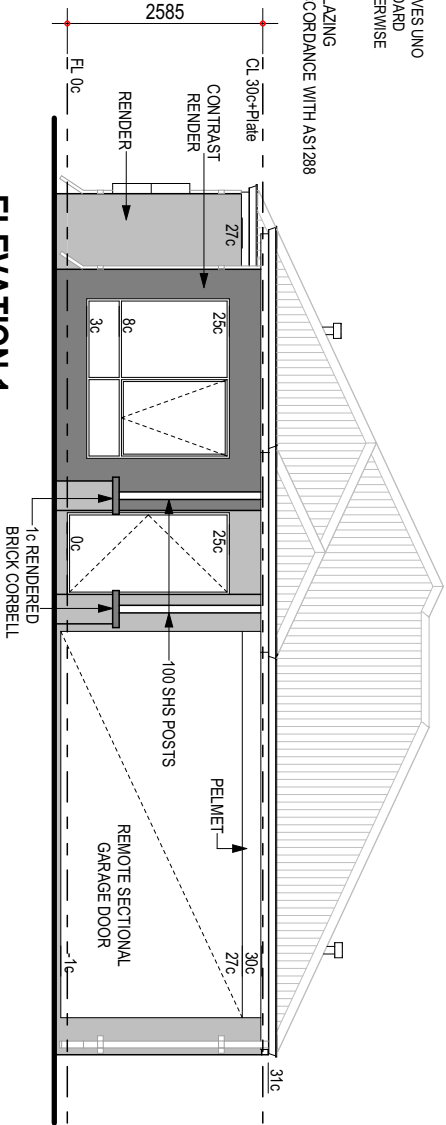
Issue Name	Drawn	Date	Issue Name	Drawn	Date
V01	JS	9/12/19			



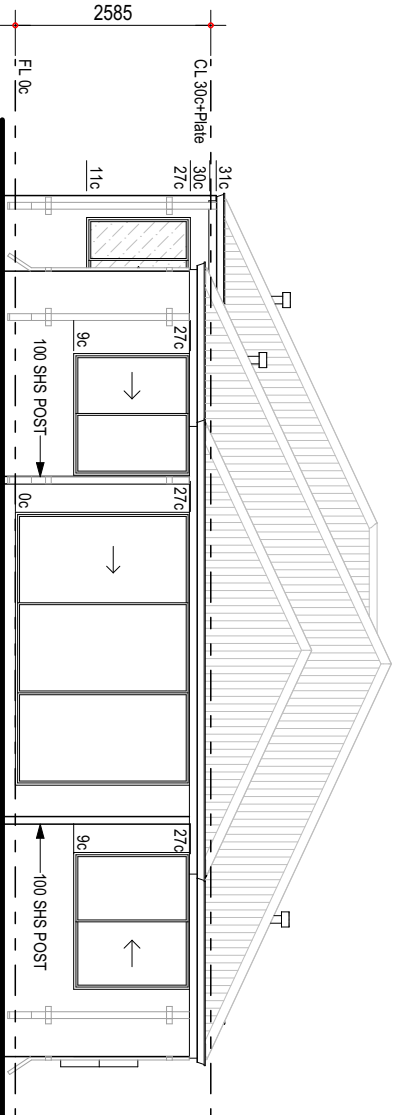
Copyright © 2019

ROOF NOTE

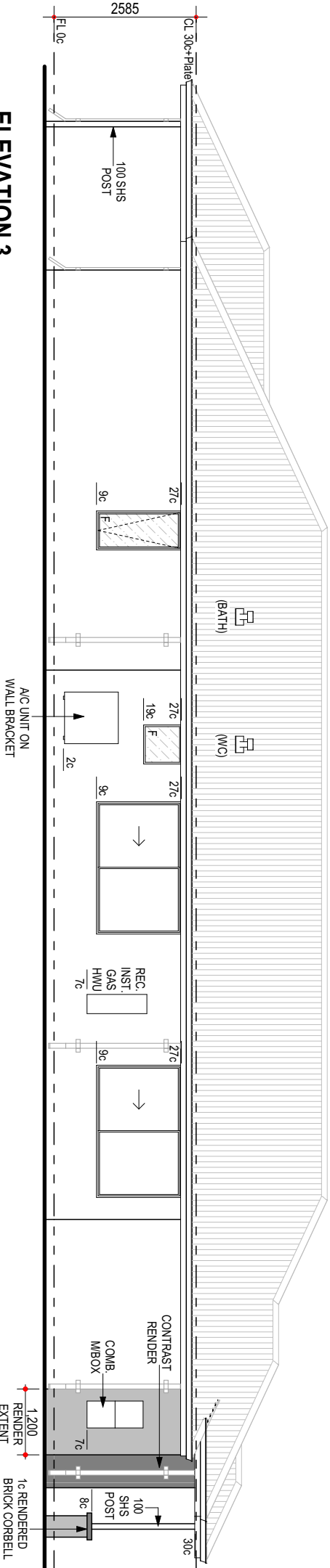
- COLARBOARD ROOF- PITCH AT 25° WL- 500W EAVES UNO
  - STEEL ROOF IN ACCORDANCE TO NASH STANDARD
  - CEILINGS AT 30c + PLATE UNLESS NOTED OTHERWISE
- WINDOW SUPPLIER NOTE**
- SHADED WINDOWS INDICATES OBSCURE GLAZING
  - GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288



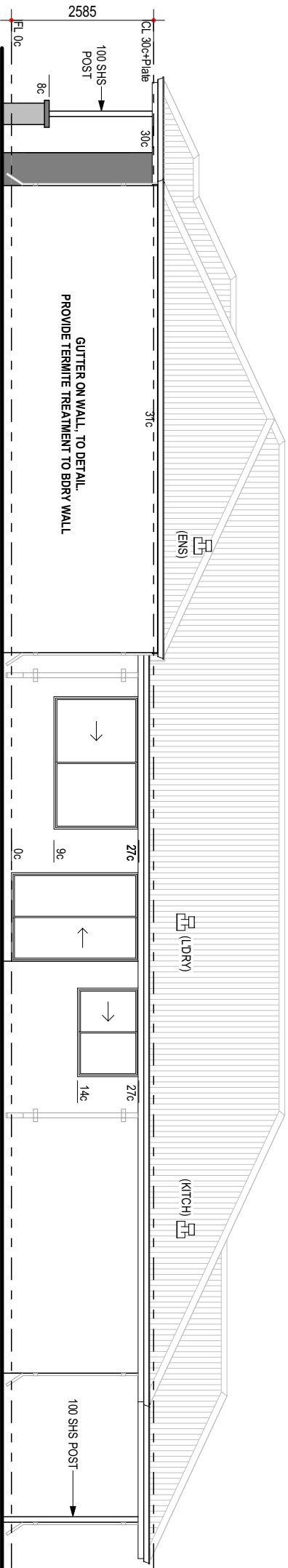
ELEVATION 1



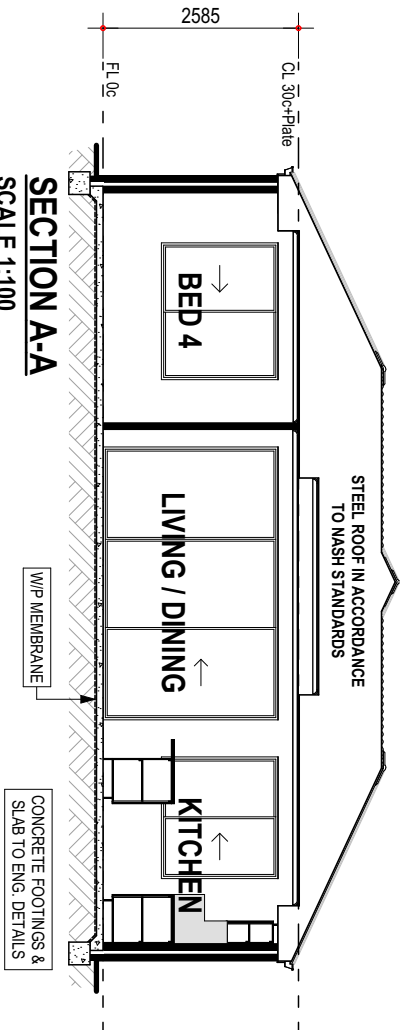
ELEVATION 2



ELEVATION 3



ELEVATION 4



SECTION A-A  
SCALE 1:100

DO NOT SCALE FROM THIS DRAWING  
All Sub-contractors to check dimensions  
& notes prior to initiating works.  
Any discrepancies to be notified to the  
Site Supervisor without delay.  
ALL DIMENSIONS TO BRICKWORK.

BUILDER: / /  
CLIENT(S): / /  
/ /  
/ /  
WITNESS: / /

PROPOSED RESIDENCE FOR:  
TANUWDJAJA & SETIAWAN  
ADDRESS:  
LOT 1743 TORWOOD AVENUE,  
TREEBY

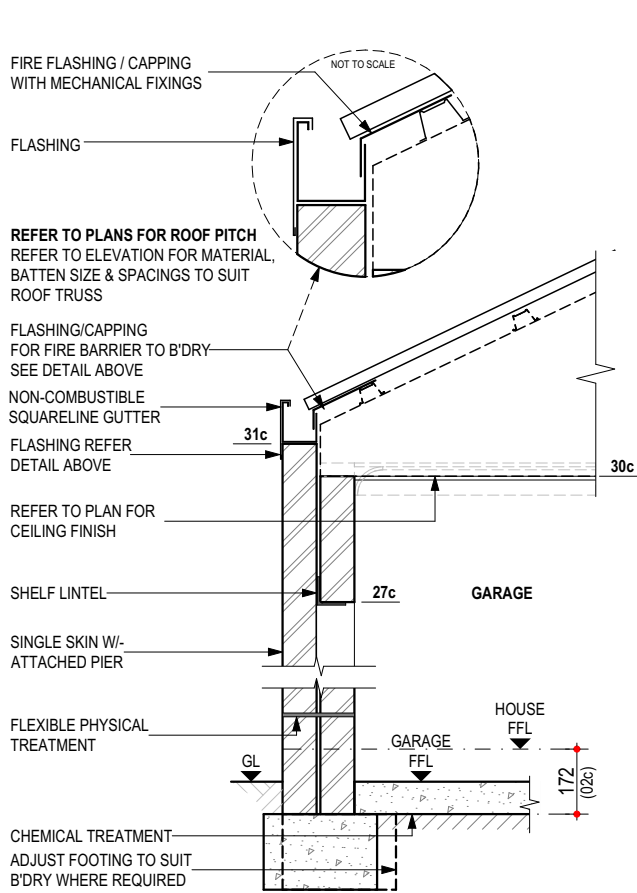
DRAWN: JS SCALE: 1:100  
DESIGNED: AC SHEET: 5 OF 9  
CHECKED: DM SIZE: A3  
DATE: 14/10/19 PROJECTS  
MODEL: JOB N°  
COLARADO 12.5 M 158011

Issue Name Drawn Date  
V01 JS 9/12/19  
JEL JS 17/04/20  
Issue Name Drawn Date  
ELEVATIONS

BUILT AROUND PEOPLE

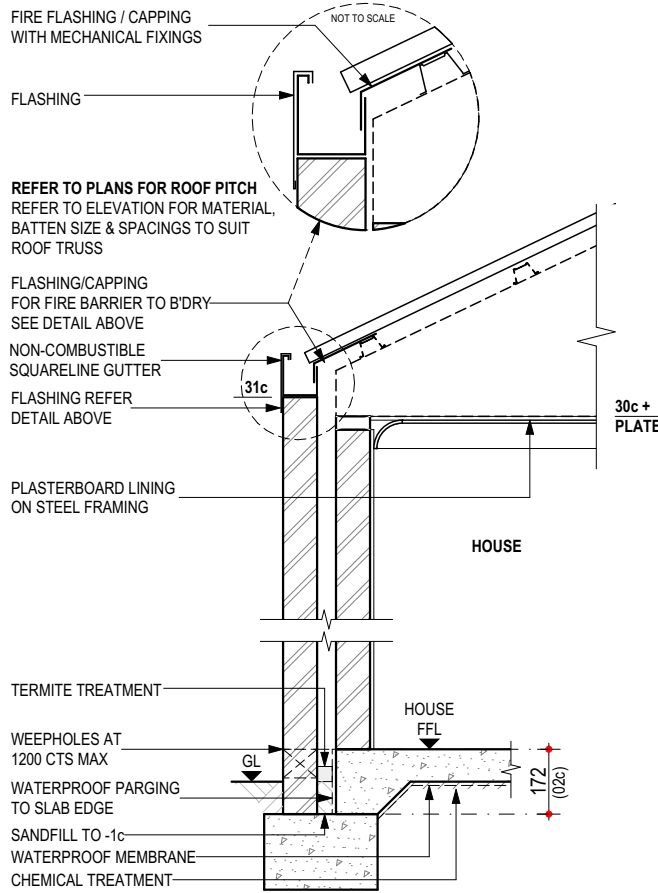
Copyright © 2019

DO NOT SCALE FROM THIS DRAWING  
All Sub-contractors to check dimensions  
& notes prior to initiating works. Any  
discrepancies to be notified to the Site  
Supervisor without delay.  
ALL DIMENSIONS TO BRICKWORK.



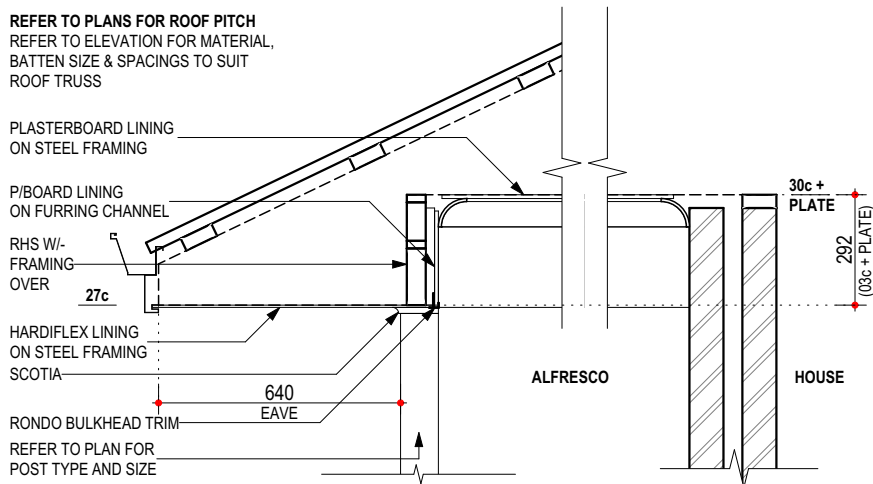
**D01 - GUTTER ON WALL/FLASHING DETAIL TO GARAGE  
W/- TERMITE TREATMENT**

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
  - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
  - REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
  - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
  - SCALE 1 : 20



**D02 - GUTTER ON WALL / FLASHING DETAIL TO HOUSE  
W/- TERMITE TREATMENT**

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
  - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
  - REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
  - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
  - SCALE 1 : 20



**D03 - 3c RECESSED CEILING TO ALFRESCO**

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
  - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
  - SCALE 1 : 20

BUILDER:	_____
CLIENT(S):	_____
WITNESS:	_____

PROPOSED RESIDENCE FOR:  
TANUWDJAJA & SETIAWAN

ADDRESS:  
LOT 1743 TORWOOD AVENUE,  
TREEBY

DRAWN: JS  
DESIGNED: AC  
CHECKED: DM  
DATE: 14/10/19  
MODEL: COLARADO 12.5 M

SCALE: AS NOTED  
SHEET: 6 OF 9  
SIZE: A3  
PROJECTS  
JOB N° 158011

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V01	JS	9/12/19			
JEL	JS	17/04/20			

DETAILS



BENCHTOP NOTE

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

WALL FINISH NOTE

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

CABINETMAKER NOTE

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

TILER NOTE

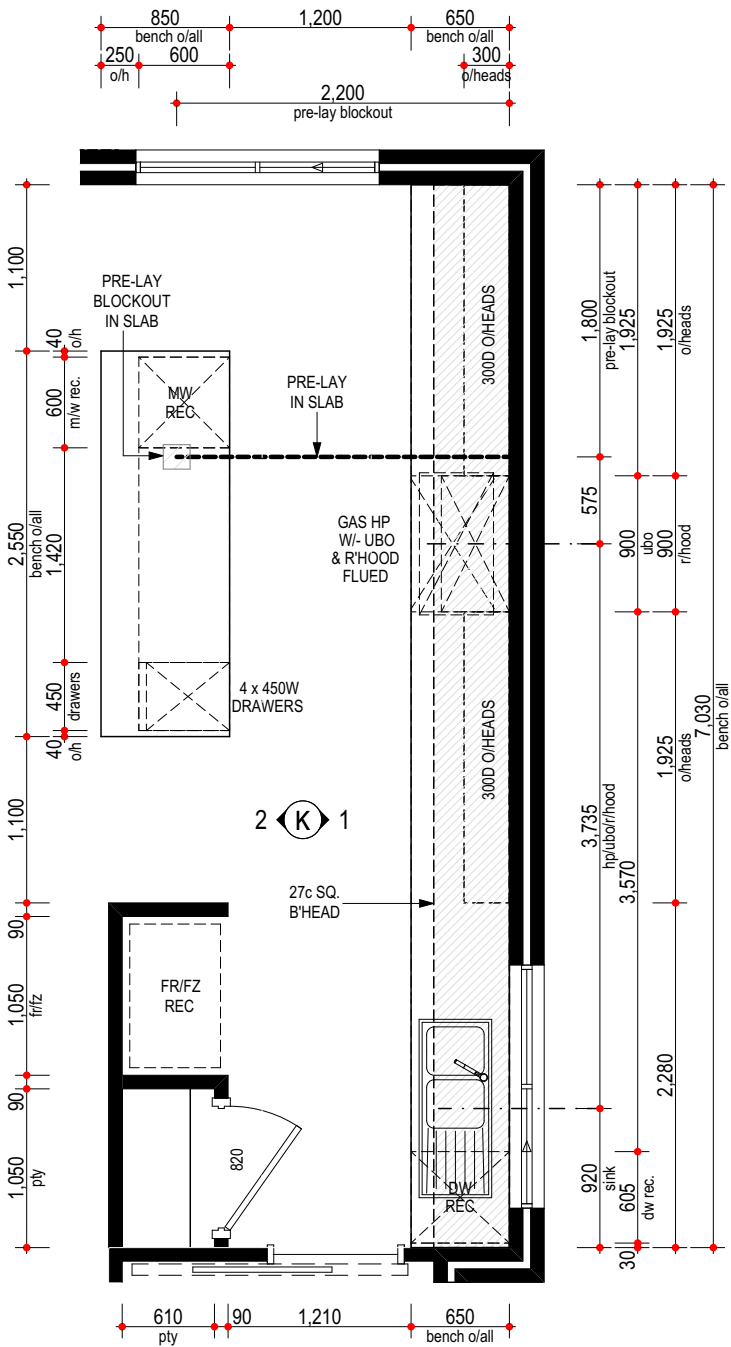
- SHADING DENOTES EXTENT OF TILING  
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET  
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES.  
- PROVIDE MITRED TILES THROUGHOUT WHERE APPLICABLE.

DO NOT SCALE FROM THIS DRAWING

All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.  
ALL DIMENSIONS TO BRICKWORK.

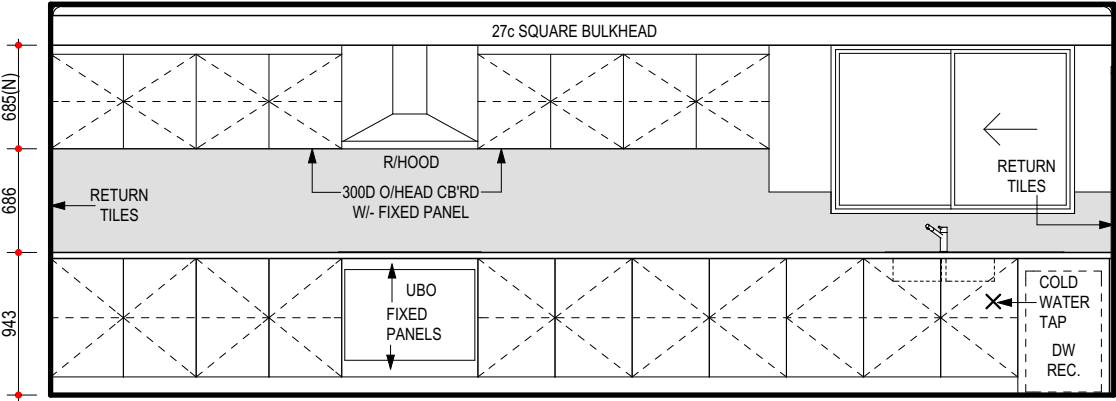
REFER TO ADDENDUM FOR FITOUT SPECIFICATION

WET AREAS CONSTRUCTED IN ACCORDANCE WITH PART 3.8.1 OF B.C.A. (VOL 2)

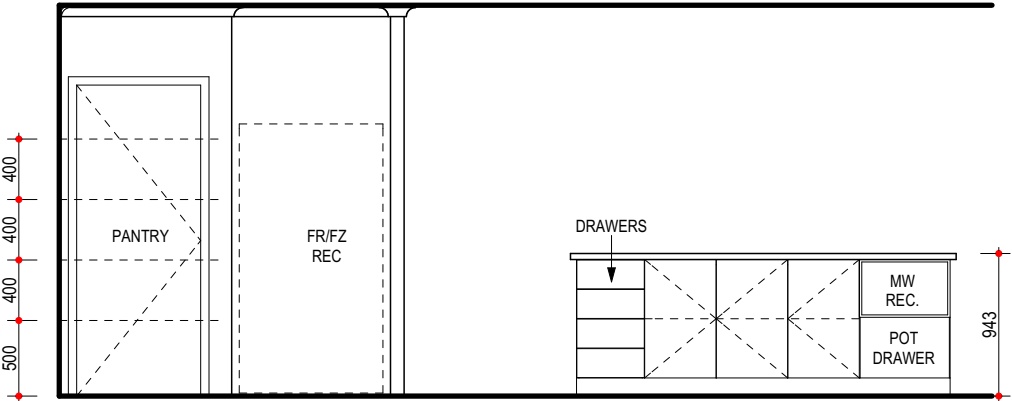


KITCHEN PLAN

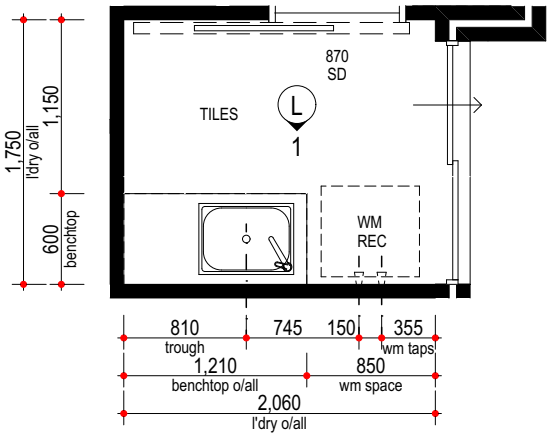
L'dry Worksheet



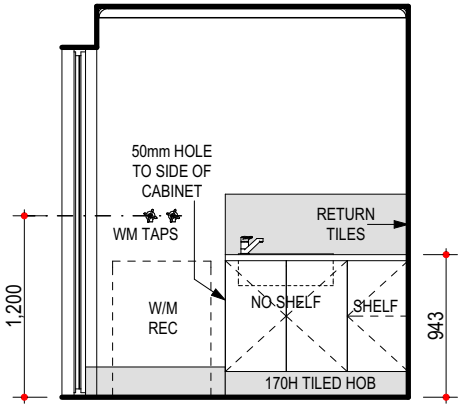
K1 VIEW



K2 VIEW



L'DRY PLAN



L1 VIEW

WITNESS: \_\_\_\_\_  
CLIENT(S): \_\_\_\_\_  
BUILDER: \_\_\_\_\_

PROPOSED RESIDENCE FOR:  
TANUWDJAJA & SETIAWAN

ADDRESS:  
LOT 1743 TORWOOD AVENUE,  
TREEBY

DRAWN: JS  
DESIGNED: AC  
CHECKED: DM  
DATE: 14/10/19  
MODEL: COLARADO 12.5 M

SCALE: 1:50  
SHEET: 7 OF 9  
SIZE: A3  
PROJECTS  
JOB N° 158011

Issue Name V01 JEL  
Drawn JS  
Date 9/12/19 17/04/20  
Issue Name  
Drawn  
Date

ROOM LAYOUTS





**BENCHTOP NOTE**

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

**WALL FINISH NOTE**

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

**CABINETMAKER NOTE**

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

**TILER NOTE**

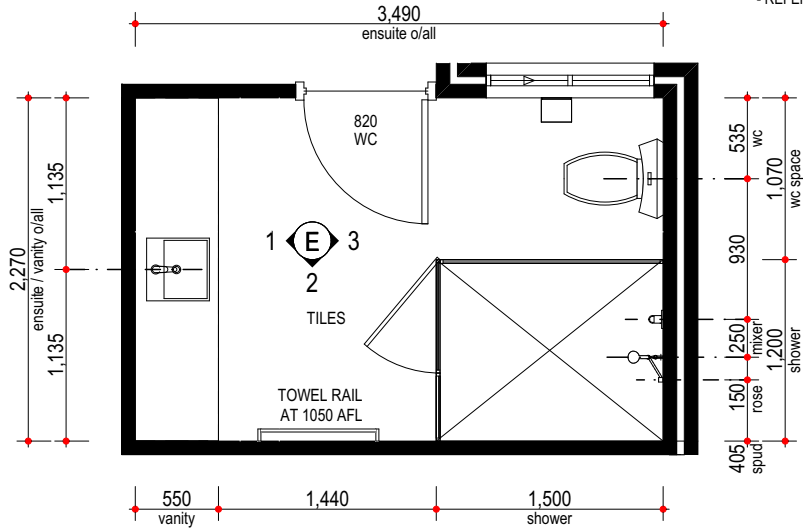
- SHADING DENOTES EXTENT OF TILING  
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET  
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES.  
- PROVIDE MITRED TILES THROUGHOUT WHERE APPLICABLE.

**DO NOT SCALE FROM THIS DRAWING**

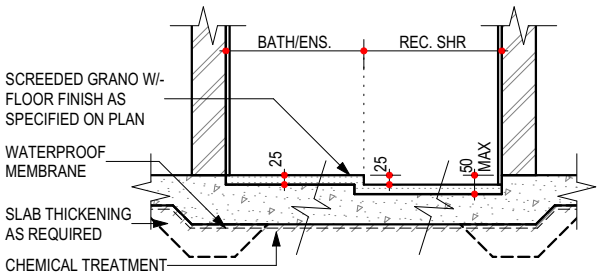
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.  
**ALL DIMENSIONS TO BRICKWORK.**

REFER TO ADDENDUM FOR FITOUT SPECIFICATION

WET AREAS CONSTRUCTED IN ACCORDANCE WITH PART 3.8.1 OF B.C.A. (VOL 2)



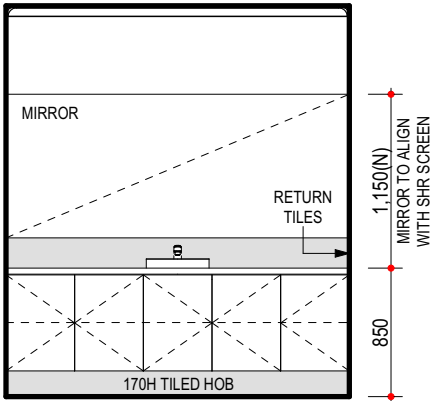
**ENSUITE PLAN**



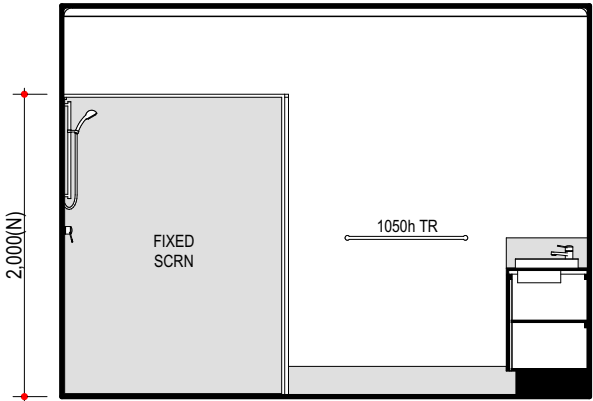
**RECESSED SHOWER DETAIL (NO HOB)**

**NOTES:**

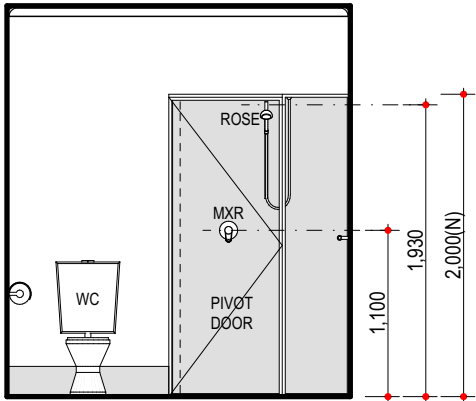
- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS  
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS  
- SCALE 1 : 20



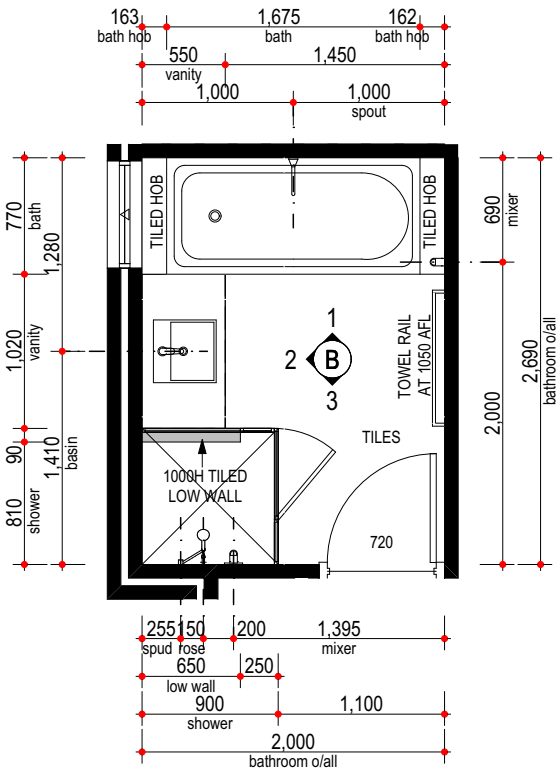
**E1 VIEW**



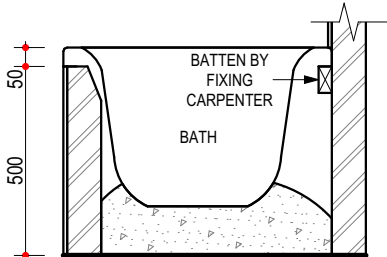
**E2 VIEW**



**E3 VIEW**

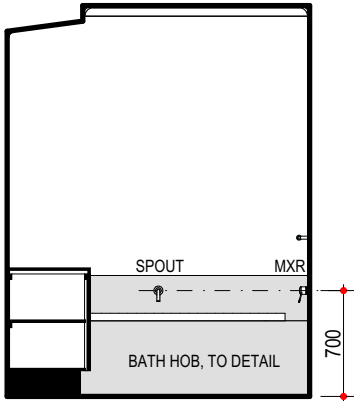


**BATH PLAN**

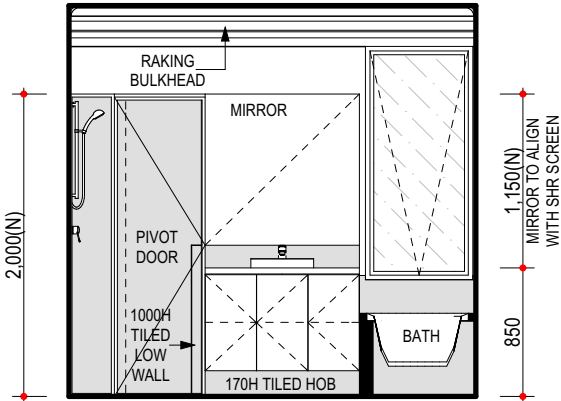


**TYPICAL BATH HOB SECTION**

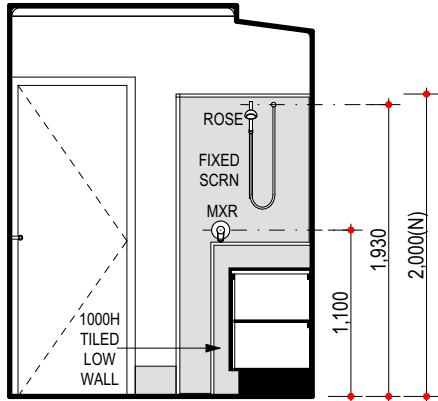
- SCALE 1 : 20



**B1 VIEW**



**B2 VIEW**



**B3 VIEW**

WITNESS: \_\_\_\_\_

CLIENT(S): \_\_\_\_\_

BUILDER: \_\_\_\_\_

PROPOSED RESIDENCE FOR:  
**TANUWDJAJA & SETIAWAN**

ADDRESS:  
**LOT 1743 TORWOOD AVENUE,  
TREEBY**

DRAWN: JS  
DESIGNED: AC  
CHECKED: DM  
DATE: 14/10/19  
MODEL: COLARADO 12.5 M

SCALE: 1:50  
SHEET: 8 OF 9  
SIZE: A3  
PROJECTS  
JOB N° 158011

Issue Name V01 JEL  
Drawn JS  
Date 9/12/19 17/04/20  
Issue Name  
Drawn  
Date

ROOM LAYOUTS





ELECTRICAL LEGEND

Ground Floor

Qty	Sym.	Description	Watts	Insulation Penetrations
3		EXTERNAL WALL LIGHT @ 1800 AFL Perimeter Lighting	33*	*
8		RECESSED LED DOWN-LIGHT ( 7w) External	56*	*
2		RECESSED LED DOWN-LIGHT ( 7w) Class 10	14*	*
27		RECESSED LED DOWN-LIGHT ( 7w)	189	
1		PLUG BASE	0	
2		LED STRIP LIGHTING (4.8w / LM)	10	
2		H.WIRED SMOKE DETECTOR	0	
3		EXHAUST FAN	0	0.136
1		CEILING LIGHT (11w)	11	
1		Ceiling Fan	0	
1		W/P SGPO INSTALLED IN HWU	0	
2		SINGLE GPO IN/ON CEILING	0	
3		SINGLE GPO @ NOTED HT	0	
1		NBN LEAD IN CONDUIT (25mm) W/- BLANK FACE PLATE AT 1500 AFL	0	
1		DOUBLE WATER PROOF GPO	0	
8		DOUBLE GPO @ NOTED HT	0	
16		DOUBLE GPO @ 200 AFL	0	
1		DOUBLE GPO @ 1500 AFL W/ 20mm CONDUIT FOR PSU CONNECTION	0	
1		CONDUIT FOR NBN (25mm)	0	
1		CONDUIT (32mm)	0	
5		CONDUIT	0	
1		D2 (2x DATA/PHONE) FOR NBN PROVISION @ 1500 AFL	0	
1		C1 (TV) + D2 (PH/DATA)	0	

\* NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. Subtotal: 210 0.136  
PERIMETER LIGHTING MIN. 40 LUMENS/W.  
Total Class 1 Wattage= 210

Wattage Calculations (Class 1)

Story Name	Area	Allowed Wattage	Actual Wattage
0   Ground Floor	175.59 Sqm	878 w	210 w
	175.59 sqm	878 w	210 w
			PASS

Recessed Fitting Penetrations (Class 1)

Story Name	Area	Maximum Penetrations	Actual Penetrations
Total Insulation Area Vents\RangeHoods	175.59 sqm	0.878 sqm	0.136 sqm
	175.59 sqm	0.878 sqm	0.063 Sqm
			0.11 % R4.0 Insulation Adjustment Not Required
			PASS

CLIENT NOTE: MAX WATTAGE AND PENETRATIONS MUST NOT BE EXCEEDED

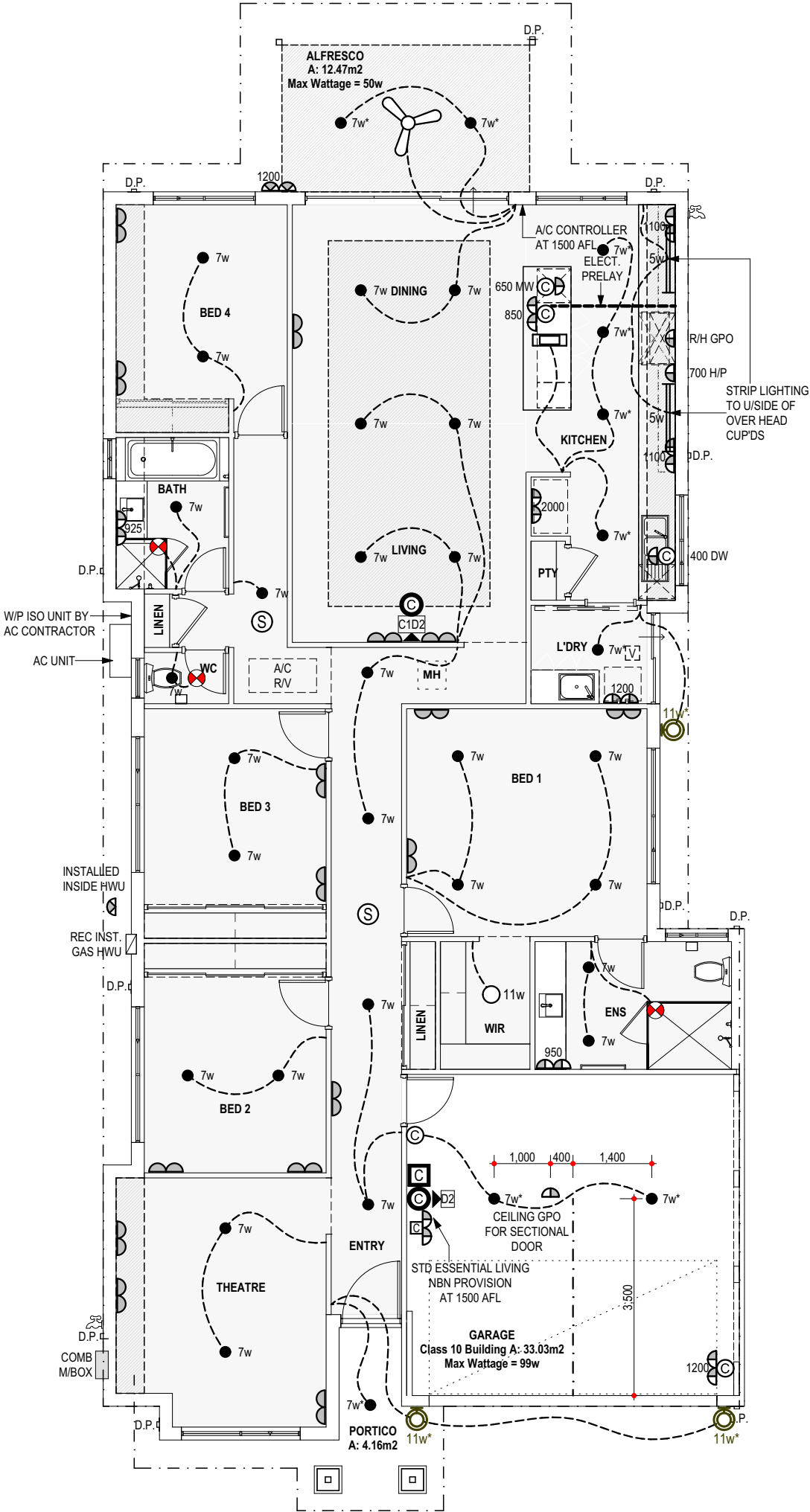
DO NOT SCALE FROM THIS DRAWING  
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.  
ALL DIMENSIONS TO BRICKWORK.

ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO AS3786-2014
- FINAL POSITION OF ELECTRICAL ITEMS SUCH AS GPO'S, LIGHT SWITCHES ETC. MAY VARY ON SITE DUE TO ELECTRICAL REGULATIONS. LIGHT SWITCH HEIGHT TO BE AT 1200 AFL U.N.O.
- NEUTRAL CABLING REQUIRED TO ALL LIGHT SWITCHES.
- ALL EXHAUST FANS TO BE FLUED TO EXTERNAL AIR

AIRCON NOTE

- PROVIDE REVERSE CYCLE AIR CONDITIONING. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.



LIGHT AND VENTILATION CALC.

Room Name	Opn %   Light	Vent.
5   BED 4		
Min. Ventilation = 0.83   Min. Light= 1.11 Total Area= 11.06		
W06   Sliding	50 % 2.79 m2	1.40 m2
Totals	Light 2.79 m2 Vent 1.40 m2	
4   BED 3		
Min. Ventilation = 0.84   Min. Light= 1.12 Total Area= 11.24		
W03   Sliding	50 % 3.72 m2	1.86 m2
Totals	Light 3.72 m2 Vent 1.86 m2	
3   BED 2		
Min. Ventilation = 0.84   Min. Light= 1.12 Total Area= 11.24		
W02   Sliding	50 % 3.72 m2	1.86 m2
Totals	Light 3.72 m2 Vent 1.86 m2	
2   BED 1		
Min. Ventilation = 1.30   Min. Light= 1.73 Total Area= 17.29		
W11   Sliding	50 % 3.72 m2	1.86 m2
Totals	Light 3.72 m2 Vent 1.86 m2	
1   THEATRE   LIVING   KITCHEN   DINING		
Min. Ventilation = 4.93   Min. Light= 6.58 Total Area= 65.77		
W09   Sliding	50 % 1.79 m2	0.90 m2
W08   Sliding	50 % 2.48 m2	1.24 m2
W07   Sliding Door	33 % 8.35 m2	2.78 m2
W01   Awning	39 % 3.98 m2	1.54 m2
Totals	Light 16.61 m2 Vent 6.46 m2	

Inputs for Airmovement and Light are Valid



WITNESS:

CLIENT(S):

BUILDER:

PROPOSED RESIDENCE FOR:  
TANUWDJAJA & SETIAWAN

ADDRESS:  
LOT 1743 TORWOOD AVENUE,  
TREEBY

DRAWN: JS  
DESIGNED: AC  
CHECKED: DM  
DATE: 14/10/19  
MODEL: COLARADO 12.5 M

SCALE: 1:100  
SHEET: 9 OF 9  
SIZE: A3  
PROJECTS  
JOB N° 158011

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V01	JS	9/12/19			
JEL	JS	17/04/20			

ELECTRICAL PLAN



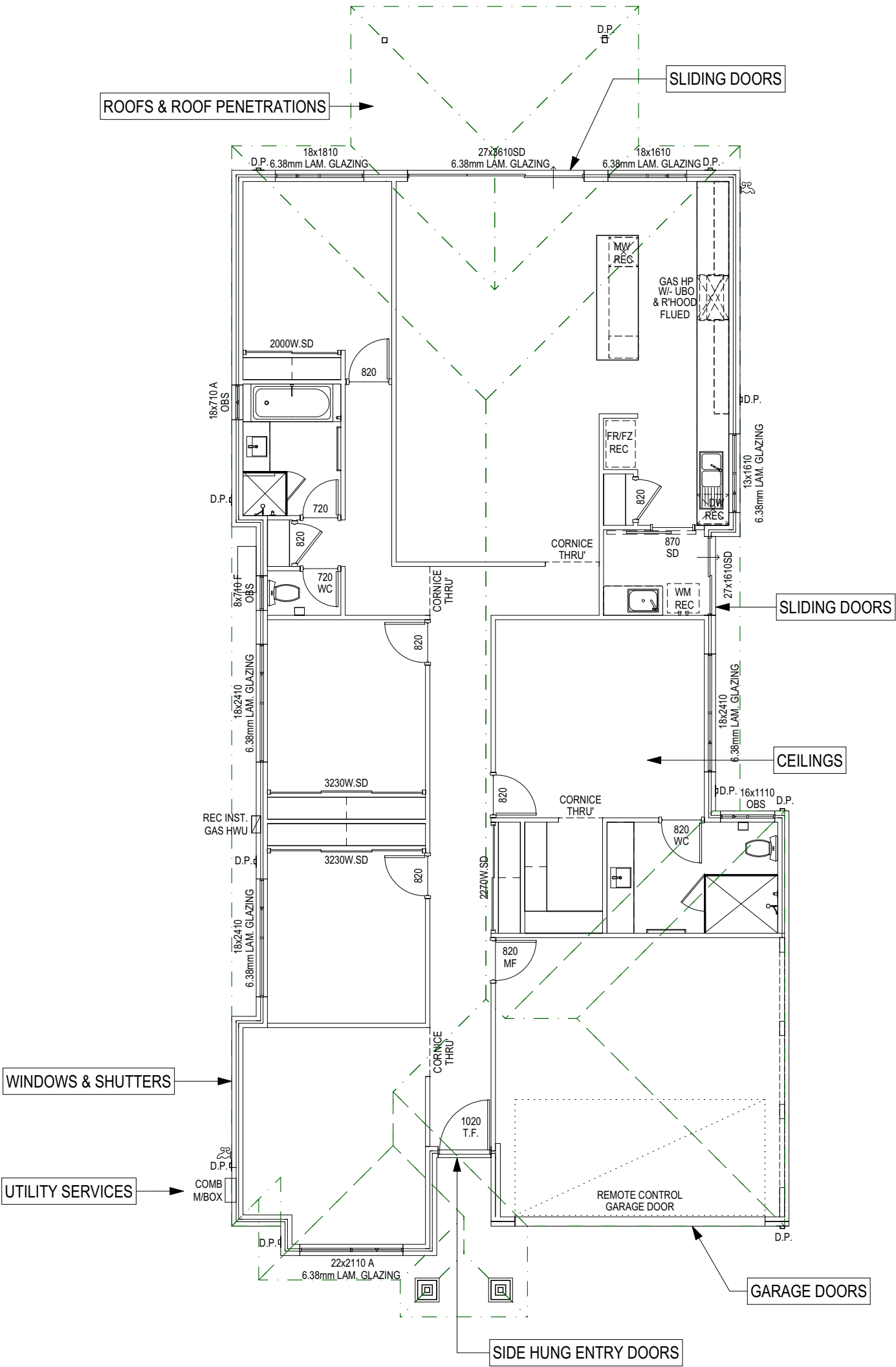
SUMMIT  
HOMES GROUP

BUILD | RENOVATE | DEVELOP

# BAL 12.5 TO NASH CONSTRUCTION

**SUPERVISOR NOTE:**

- SPECIFIC BAL CONSTRUCTION REQUIREMENTS ARE NEEDED FOR THE BELOW INDICATED AREAS.
- CONFIRM ALL APPROPRIATE CONSTRUCTION REQUIREMENTS ARE MET.



**NOTE:**

- THIS PLAN ***MUST BE READ IN CONJUNCTION*** WITH THE PROVIDED CERTIFIED BAL CONSTRUCTION NOTES.
- IF NOT PROVIDED OR AVAILABLE CONTACT THE OFFICE FOR A COPY.
- **FURTHER INFORMATION CAN BE FOUND BY CONSULTING THE NASH STANDARD - STEEL FRAMED CONSTRUCTION IN BUSHFIRE AREAS 2014.**

158011