SEC Dome =0= Power Pole T C Phone Pits W Water Conn ш [ TP 10.00 1 G Top Pillar/Post ш [ TW 10.00 ] Top Wall [TR 10.00] Top Retaining [TF 10.00] Top Fence

SURVEYOR NOTES:

DISCLAIMER:

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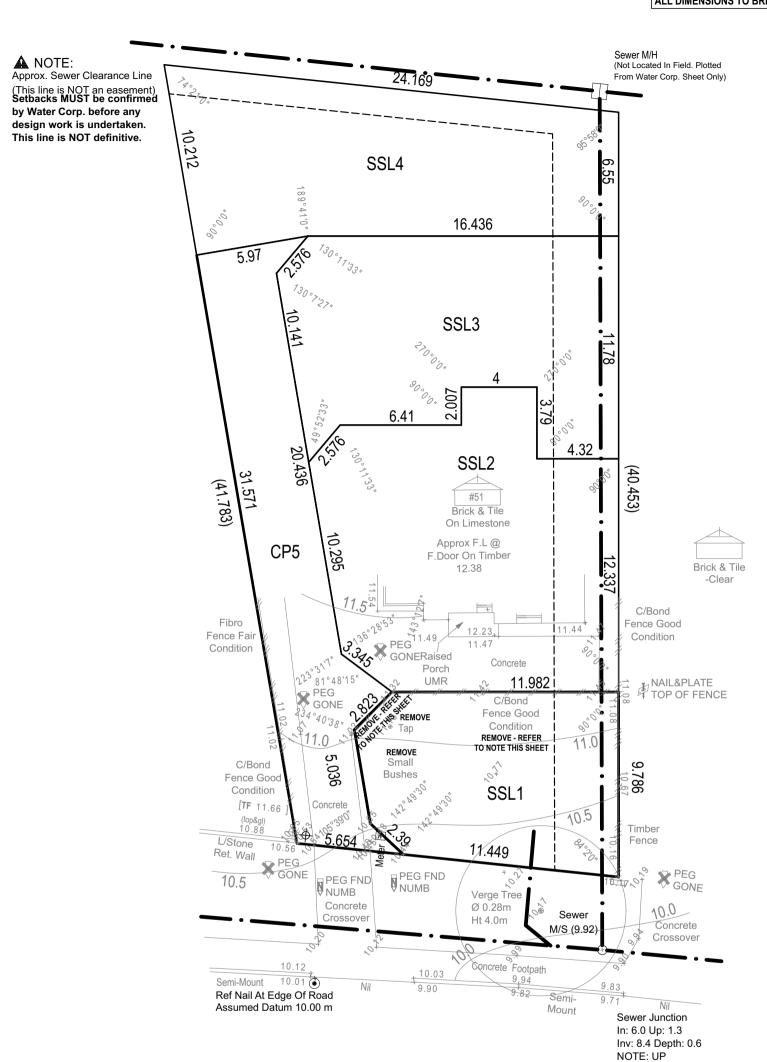
## CLIENT NOTE:

- ALL DEMOLITION BY CLIENT UNLESS OTHERWISE NOTED. - BORE TO BE REMOVED, CAPPED, FILLED WITH CLEAN SAND &

ALL TREES/SHRUBS TO BE LOPPED (TRIMMED) TO WITHIN 2m OF THE BUILDING ENVELOPE

- CLIENT TO REMOVE EXISTING C'BOND FENCE ALONG STRATA B'DRY / NEIGHBOURS DRIVE. SECTIONS TO BE REINSTALLED BY CLIENT ONCE BUILDING WORKS COMPLETE.

DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay. ALL DIMENSIONS TO BRICKWORK.



Rinaldo Crescent

Bitumen



Scale 1:200

Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998. Email: perth@cottage.com.au Website: www.cottage.com.au

AREA: 120m<sup>2</sup> SHIRE: COCKBURN D.PLAN: 78095 C/T VOLUMN: 2950 FOLIO: 933

461-20/19

MSD REF:

KERBING: RTS CONC. FOOTPATH: SOIL: RTS DRAINAGE: GOOD VEGETATION: NILL

DMA

ROAD DESCR.: BITUMEN

WATER: YES ELECTRICITY: U/G PH/COMMS: YES SEWER: YES COASTAL: NO

YES

V002

GAS:

SSA/OLD AREAS: OLD A. C/JOB#: 445714 DATE: 16 NOV 18 SCALE: 1:200 DRAWN: M. BATEMAN

15/07/20

21/07/20

**UNLODGED SS PLAN:** 

ORIGINAL LOT:63 ON PLAN 9338 CP MISCLOSE: 0.002m SSL 1 MISCLOSE: 0.001m SSL 2 MISCLOSE: 0.000m

HOMES GROUP BUILD | RENOVATE | DEVELOP

0 1 2 3 4 5 6 7 8 9 10

PROPOSED RESIDENCE FOR: LO PRESTI

**BUILT AROUND PEOPLE** 

CLIENT(S):

BUILDER:

ADDRESS: SSL I (#51A) RINALDO CRESCENT COOLBELLUP

DESIGNED: SR CHECKED: DMA MODEL: **SPECIAL** 

DRAWN:

SHEET: I OF II SIZE: Α3 **DEVELOPMENTS** IOB N°

156556

1:200

SCALE:

**DEMOLITION PLAN** 

DMA

DMA

SEC Dome Φ =0= Power Pole T C Phone Pits W Water Conn ш [ TP 10.00 1 Top Pillar/Post G ш [TW 10.00] Top Wall [TR 10.00] Top Retaining [TF 10.00] Top Fence

## SURVEYOR NOTES:

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### **CLIENT NOTE:**

STORE BY CLIENT

#### **CONCRETOR NOTE:**

FALL CARPORT SLAB 20mm TOWARDS MAIN GARAGE OPENING.

## **CONCRETOR / BRICKLAYER NOTE:**

B'WALL ON COMMON STRATA B'DRY HAS BEEN CALCULATED TO BE SET INSIDE THE B'DRY BY 60mm

## **PLUMBER NOTE:**

- REFER TO PLUMBING PLAN FOR SEWER AND STORMWATER LAYOUTS.

# RETAINING CONTRACTOR NOTE:

TOP OF WALL (TOW) INDICATED FOR CLARITY ONLY.
ENSURE BOTTOM OF RETAINING IS EMBEDDED SUFFICIENTLY AS REQ. BY ENG. DETAIL.

REFER TO NEIGHBOURS EXISTING LEVELS OR NOMINATED PAVING / LANDSCAPING LEVELS FOR FULL REQ. RETAINING HEIGHTS. REFER TO ENGINEERS DETAILS

## **BRICKPAVER NOTE:**

CLIENT(S): BUILDER:

BRICK PAVING TO DRIVEWAY & PATHS. EXTENT AS INDICATED. WIDTHS OF BRICK PAVED PATHS TO BE APPROX. 1.0m WIDE UNLESS OTHERWISE INDICATED.

MAINTAIN NOMINATED PAVING LEVELS FOR STORMWATER

# FENCING CONTRACTOR NOTE:

1800h C'BOND FENCE W/- CAPPING AS INDICATED BY: 1500h GATE AS PER ADDENDA INDICATED BY: 21500h PERMEABLE FENCE (SEE NOTE BELOW) AS INDICATED

BY: (3) 900h PERMEABLE FENCE (SEE NOTE BELOW) AS INDICATED

BY: (4) 1800h PERMEABLE FENCE (SEE NOTE BELOW) AS INDICATED BY: (5)

## **FENCING PERMEABILITY NOTE:**

AS PER DA 17/0950 CONDITION 3:
- visually permeable means a vertical surface that has:

- Continuous vertical or horizontal gaps of at least 50 mm width occupying not less than one third of its face in aggregate of the entire surface or where narrower than 50mm, occupying at least one half

of the face in aggregate as viewed directly from the street; or a surface offering equal or lesser obstruction to view

AREA:

SHIRE:

D.PLAN:

FOLIO:

MSD REF:

& notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay. ALL DIMENSIONS TO BRICKWORK. Sewer M/H A NOTE: (Not Located In Field. Plotted Approx. Sewer Clearance Line From Water Corp. Sheet Only) 24.169 (This line is NOT an easement) Setbacks MUST be confirmed by Water Corp. before any design work is undertaken. This line is NOT definitive. っ .212 SSL4 189°41'0" 16.436 O) 5.97 SSL<sub>3</sub>

90.00, 007 6.41 79 4.32 20 SSL<sub>2</sub> (40.453)34.571 (41.783) COMMUNAL BIN STORE AREA AS PER WMP TO #51 Brick & Tile SUIT 2xYELLOW 2xRED On Limestone BINS っ Approx F.L @ CP5 .295 F.Door On Timber 12.38 Brick & Tile -Clear C/Bond Fibro Fence Good \* PEG 11.49 Fence Fai Condition 11.47 Condition 4m2 C'BOND STORE BY CLIENT OVER GONERaised Concrete Porch **PAVING** 81°48'15 **UMR** 11.982 8 NAIL&PLATE TOP OF FENCE PEG GONE & 40'38" **CARPORT** ASSUMED POSITION OF EXISTING DMM ON R.L. 11.314 (-1c) GRANO ⊢TOW 11.31 1,657<sub>50 x 150</sub> POLE NOT LOCATED AT TIME OF SURVEY S **PAVING GRATE** PROPOSED TO ഗ PRE-CAST PANEL & P RETAINING WALL RE (REFER TO NOTE THIS S C/Bond **PORCH** Fence Good 786 UNIT 1 NEW WATER METER BY CLIENT R.L. 11.314 (-1c) B'PAVING Condition SUBJECT TO WATERCORP. F.F.L. 11.40 (0c) FENCE ABOVE 1.2m HIGH APPROVAL [TF 11.66 **ALFRESCO** (top&gl) 10.88 R.L. 11.314 (-1c) B'PAVING . <u>8</u> .654 L/Stone Fence 10.5 11.449<sub>4</sub>) Ret. Wall **◆**TOW 11.31 TOW 11.31 TOW 11.31 PEG... GONE GONE FZ FN PEG FND 10.5 NUMB NUMB, Verge Tree B'PAVED STEPS **EXISTING POWER DOME** 10.0 Concrete W/- 250 GOINGS ... Ø 0.28m Sewer & 190 RISERS Crossover Ht 4.0m Concrete M/S (9.92) Crossover **EXISTING WATER METER** 90% Concrete Footpath 10.12 10.03 10.01 Semi-Mount 9.90 BIN COLLECTION 82 Ref Nail At Edge Of Road Semi-POINT Assumed Datum 10.00 m Mount 3,800 900h FENCE Sewer Junction 2,190 RETAINING In: 6.0 Up: 1.3

# Rinaldo Crescent

SSA/OLD AREAS: OLD A.

15/07/20

21/07/20

29/07/20 10/08/20

C/JOB#: 445714

DMA

DMA

Bitumen



Inv: 8.4 Depth: 0.6

Scale 1:200

NOTE: UP

DO NOT SCALE FROM THIS DRAWING

All Sub-contractors to check dimensions

Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998.

120m<sup>2</sup> COCKBURN 78095 C/T VOLUMN: 2950

933

461-20/19

SOIL: RTS DRAINAGE: GOOD VEGETATION: NILL DMA DESIGNED: SR

ROAD DESCR.: BITUMEN

RTS

CONC

PH/COMMS: SEWER: COASTAL: SCALE: 1:200 SHEET: 2 OF 11

GAS:

WATER:

ELECTRICITY: U/G DATE: 16 NOV 18 YES SCALE: 1:200 YES DRAWN: M. BATEMAN NO

V002

YES

YES

ORIGINAL LOT:63 ON PLAN 9338 CP MISCLOSE: 0.002m SSL 1 MISCLOSE: 0.001m SSL 2 MISCLOSE: 0.000m

**UNLODGED SS PLAN:** 

1500h FENCE

Drawn

HOMES GROUP BUILD | RENOVATE | DEVELOP

1 2 3 4 5 6 7 8 9 1

Email: perth@cottage.com.au Website: www.cottage.com.au PROPOSED RESIDENCE FOR:

LO PRESTI

ADDRESS: SSL I (#51A) RINALDO CRESCENT

COOLBELLUP **BUILT AROUND PEOPLE** 

CHECKED: DMA DATE: 21/04/20 MODEL:

DRAWN:

**SPECIAL** 

KERBING:

FOOTPATH:

SIZE: A3 **DEVELOPMENTS** IOB N°

156556

DMA DMA DMA SITE PLAN

SEC Dome =0= Power Pole END T C Phone Pits W Water Conn. EG [ TP 10.00 1 Top Pillar/Post [ TW 10.00 ] Top Wall [TR 10.00] Top Retaining [TF 10.00] Top Fence

DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay. ALL DIMENSIONS TO BRICKWORK.

## **SURVEYOR NOTES:**

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DISCLAIMER:

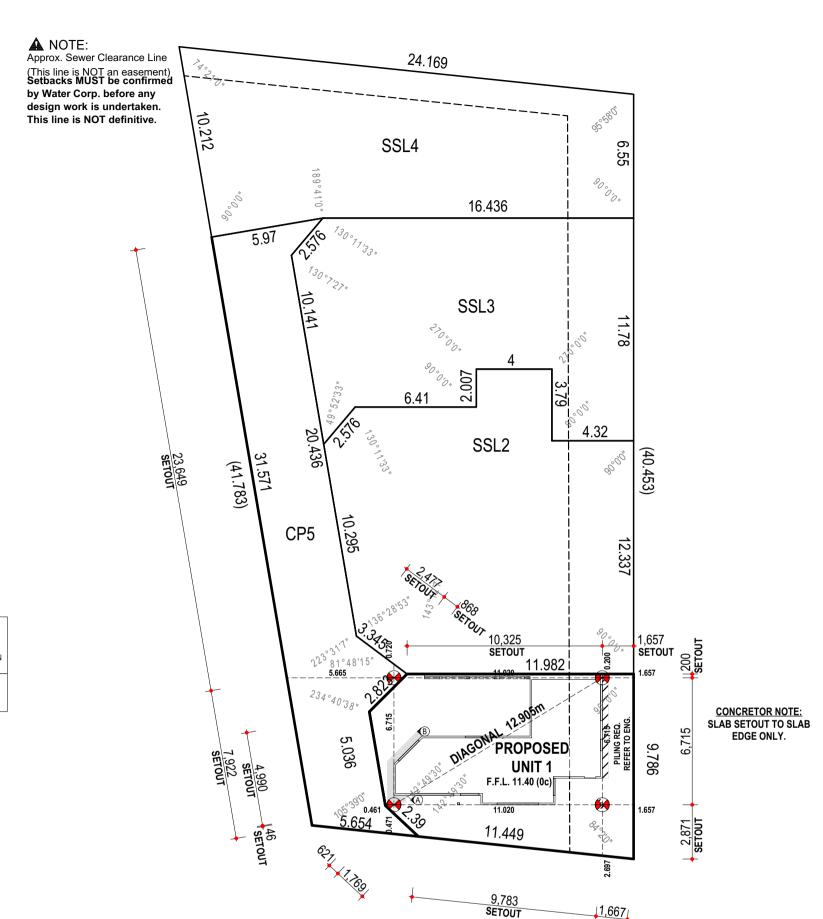
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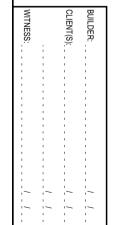
### **CONCRETOR / BRICKLAYER NOTE:**

B'WALL ON COMMON STRATA B'DRY HAS BEEN CALCULATED TO BE SET INSIDE THE B'DRY BY 60mm. TOP OF FOOTING DROPS FROM -172mm TO -857mm BETWEEN A-B (REFER TO FLOOR PLAN & ELEVATIONS)

### **ENGINEER NOTE:**

PILING TO ENGINEER DETAILS AS INDICATED BY: ////,
REFER TO ENGINEERS FOR NUMBER AND DEPTH





Scale 1:200

Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998.

AREA: 120m<sup>2</sup> SHIRE: COCKBURN D.PLAN: 78095 C/T VOLUMN: 2950 FOLIO: 933

461-20/19

MSD REF:

ROAD DESCR.: BITUMEN KERBING: RTS CONC. FOOTPATH: SOIL: RTS DRAINAGE: GOOD VEGETATION: NILL

GAS: YES WATER: YES ELECTRICITY: U/G PH/COMMS: YES SEWER: YES

NO

V002

COASTAL:

SSA/OLD AREAS: OLD A. C/JOB#: 445714 DATE: 16 NOV 18 SCALE: 1:200 DRAWN: M. BATEMAN

DMA

DMA

15/07/20

21/07/20

**UNLODGED SS PLAN:** CP MISCLOSE: 0.002m SSL 1 MISCLOSE: 0.001m SSL 2 MISCLOSE: 0.000m

ORIGINAL LOT:63 ON PLAN 9338

Drawn

Copyright © 2020

1,667 SETOUT

> HOMES GROUP BUILD | RENOVATE | DEVELOP

0 1 2 3 4 5 6 7 8 9 10

Email: perth@cottage.com.au Website: www.cottage.com.au PROPOSED RESIDENCE FOR:

LO PRESTI ADDRESS: SSL I (#51A) RINALDO CRESCENT DRAWN: DMA DESIGNED: SR CHECKED: DMA DATE: 21/04/20 MODEL: **SPECIAL** 

SHEET: 3 OF II SIZE: A3 **DEVELOPMENTS** JOB N°

156556

1:200

SCALE:

SETOUT PLAN

COOLBELLUP **BUILT AROUND PEOPLE** 

SEC Dome =0= Power Pole T C Phone Pits W Water Conn ш [ TP 10.00 1 G Top Pillar/Post ш [ TW 10.00 ] Top Wall [TR 10.00] Top Retaining [TF 10.00] Top Fence

SURVEYOR NOTES:

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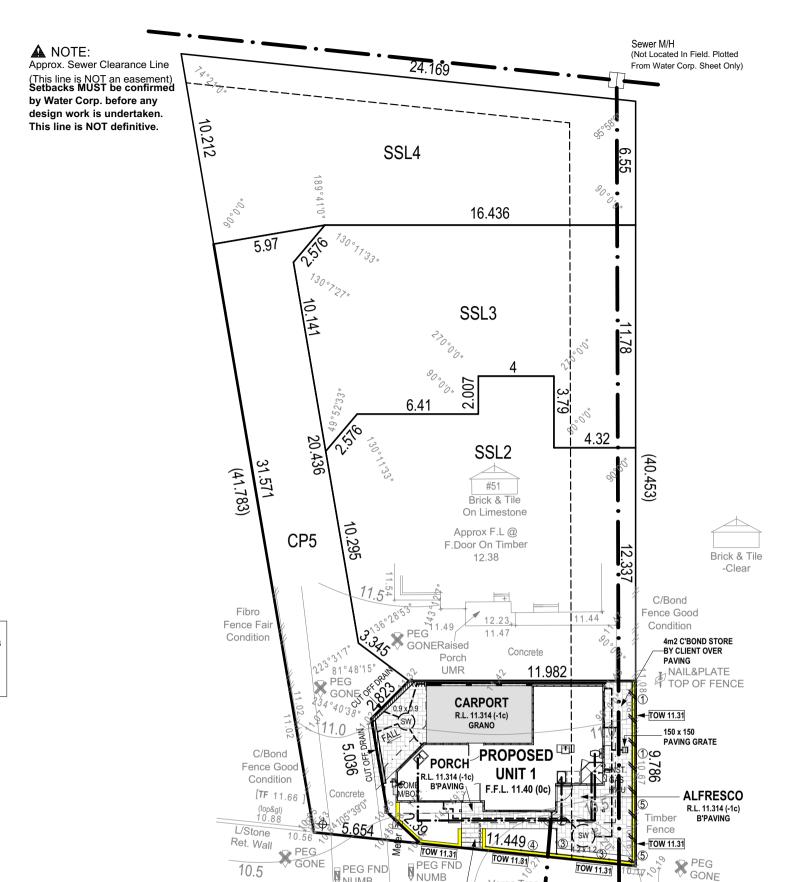
### **PLUMBER NOTE:**

CONNECT ALL DOWNPIPES TO STORMWATER SOAKWELLS AS PER SHIRE REQUIREMENTS PART 3.1.2 DRAINAGE: ALL STORMWATER & SURFACE WATER DRAINAGE TO COMPLY W/- A.S. 3500.3:2003, CLAUSE 3.1.2.1 & 3.1.2.5 BCA VOL. 2 & LOCAL AUTHORITY REQUIREMENTS.

## 1:20 YEAR STORM EVENT

	Soak Well Type	No.	
	SW 900x900	1	0.6 m3
	SW 1200x1200	1	1.4 m3
	Total Ca	apacity	1.9 m3
	Roof A	rea GF	80.0 m2
	Pave	d Area	20.0 m2
	Tota	al Area	100.0 m2
Ca	pacity Required (Area x 0		1.3 m3
	Extra Capacity Pr	ovided	0.6 m3

DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay. ALL DIMENSIONS TO BRICKWORK.



Rinaldo Crescent

Bitumen



Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998. Email: perth@cottage.com.au Website: www.cottage.com.au

AREA: 120m<sup>2</sup> SHIRE: COCKBURN D.PLAN: 78095 C/T VOLUMN: 2950 FOLIO: 933

461-20/19

MSD REF:

KERBING: RTS CONC. FOOTPATH: SOIL: RTS DRAINAGE: GOOD VEGETATION: NILL

ROAD DESCR.: BITUMEN

10.5

Semi-Mount

GAS: YES WATER: YES ELECTRICITY: U/G PH/COMMS: YES SEWER: YES

NO

COASTAL:

PEG FND

Concrete

Crossover

NUMB

10.12

Ref Nail At Edge Of Road

Assumed Datum 10.00 m

10.01

NUMB

B'PAVED STEPS

W/- 250 GOINGS

10.03

9.90

& 190 RISERS

SSA/OLD AREAS: OLD A. C/JOB#: 445714 DATE: 16 NOV 18 SCALE: 1:200 DRAWN: M. BATEMAN

**UNLODGED SS PLAN:** ORIGINAL LOT:63 ON PLAN 9338 CP MISCLOSE: 0.002m SSL 1 MISCLOSE: 0.001m SSL 2 MISCLOSE: 0.000m

TOW 11.31

Sewer

M/S (9.92)

Semi-

Mount

9.71

10.0

Sewer Junction In: 6.0 Up: 1.3

NOTE: UP

Inv: 8.4 Depth: 0.6

Scale 1:200

Concrete

Crossover

Verge Tree

Concrete Footpath

Ø 0.28m

Ht 4.0m

HOMES GROUP BUILD | RENOVATE | DEVELOP

0 1 2 3 4 5 6 7 8 9 10

PROPOSED RESIDENCE FOR: LO PRESTI

**BUILT AROUND PEOPLE** 

CLIENT(S):

BUILDER:

ADDRESS: SSL I (#51A) RINALDO CRESCENT COOLBELLUP

DRAWN: DMA DESIGNED: SR CHECKED: DMA MODEL: **SPECIAL** 

SHEET: 4 OF II SIZE: A3 **DEVELOPMENTS** IOB N° 156556

1:200

SCALE:

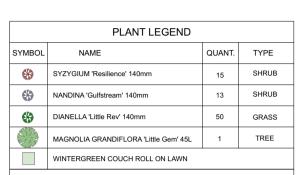
V002 DMA 21/07/20 DMA DMA DMA 29/07/20 10/08/20 25/08/20

PLUMBING PLAN

DMA

15/07/20

DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay. ALL DIMENSIONS TO BRICKWORK.



MULCH – JUNGLE MULCH TO A DEPTH OF 75mm TO ALL GARDENS.

#### RETICULATION -

DRIP FEED IRRIGATION TO ALL GARDEN BEDS AND POP-UP SPRINKLERS TO LAWN AREA (OFF AUTOMATIC SYSTEM).

#### TREE PREPARATION AND INSTALLATION

EXCAVATE TREE WELL TO TWICE THE SIZE OF ROOTBALL AND BACKFILL WITH SOIL CONDITIONER AND SITE SOIL.

SOIL CONDITIONER SHOULD ALSO BE THOROUGHLY MIXED INTO GROWTH ZONE OF TREES.

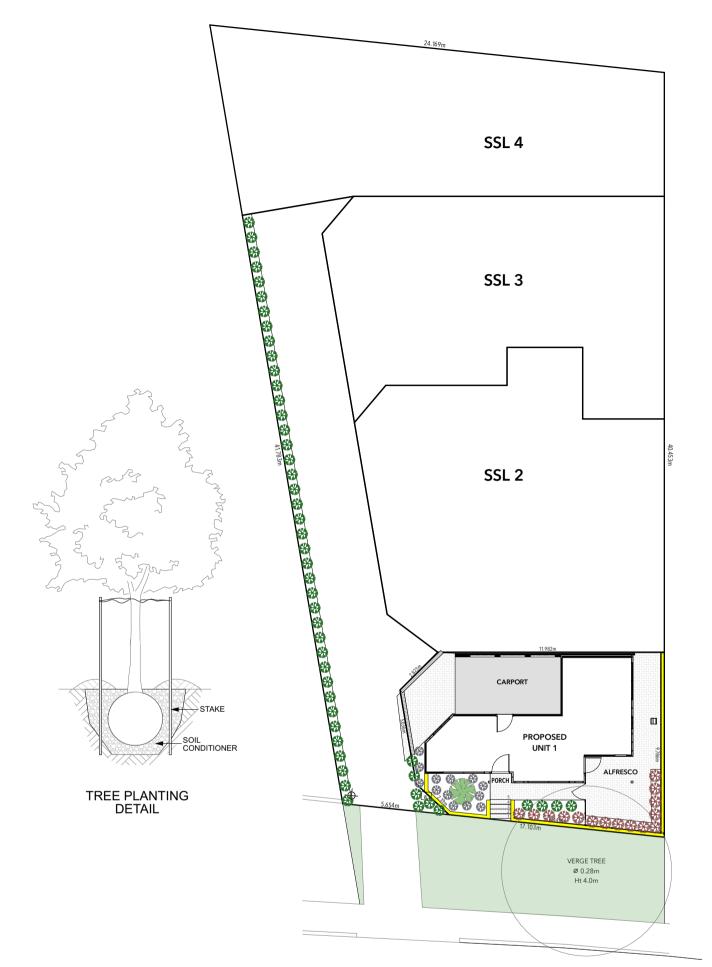
INSTALL TWO TREATED PINE STAKES SET 600mm INTO THE GROUND. ENSURE STAKES DO NOT PIERCE ROOT

SECURE TRUNK TO STAKES WITH RUBBER TIE AT  $^2/_{\rm 3}$  OF TREE HEIGHT TO ENSURE WEIGHT OF CANOPY IS SUPPORTED.

FORM A 100mm HIGH 1500mmØ SITE SOIL WATERING BASIN TO ALL TREES.

100mm DEPTH MULCH AROUND BASE OF TREE AND CLEAR OF ROOT BALL. ENSURE MULCH COVER TO ENTIRE BASIN





RINALDO CRESCENT



CLIENT(S): BUILDER:

Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998. Email: perth@cottage.com.au Website: www.cottage.com.au

AREA: 120m<sup>2</sup> SHIRE: COCKBURN D.PLAN: 78095 C/T VOLUMN: 2950 FOLIO: 933

MSD REF:

461-20/19

KERBING: RTS FOOTPATH: CONC. RTS DRAINAGE: GOOD VEGETATION: NILL

ROAD DESCR.: BITUMEN

DMA

GAS: YES WATER: YES ELECTRICITY: U/G PH/COMMS: YES SEWER: YES

NO

COASTAL:

SSA/OLD AREAS: OLD A. C/JOB#: 445714 DATE: 16 NOV 18 SCALE: 1:200 DRAWN: M. BATEMAN

UNLODGED SS PLAN: ORIGINAL LOT:63 ON PLAN 9338 CP MISCLOSE: 0.002m SSL 1 MISCLOSE: 0.001m SSL 2 MISCLOSE:0.000m

HOMES GROUP

BUILD | RENOVATE | DEVELOP

PROPOSED RESIDENCE FOR:

**BUILT AROUND PEOPLE** 

LO PRESTI

ADDRESS: SSL I (#51A) RINALDO CRESCENT COOLBELLUP

DESIGNED: SR CHECKED: DMA DATE: 21/04/20 MODEL: **SPECIAL** 

SOIL:

DRAWN:

SHEET: 5 OF II SIZE: A3 **DEVELOPMENTS** JOB N°

156556

1:200

SCALE:

DMA DMA 15/07/20 V002 21/07/20

LANDSCAPING PLAN

SITE CLASSIFICATION - CLASS 'A' (REFER TO SITE REPORT FOR DETAILS) WIND LOAD - N1 CORROSION CLASSIFICATION - R3

#### ROOF NOTE

- <u>COLORBOND</u> ROOF, PITCH AT 25° W/- 562W EAVES UNO STEEL ROOF FRAME TO NASH STANDARDS CEILINGS AT 31c + PLATE (2670) UNLESS NOTED OTHERWISE

#### **ROOF PLUMBER NOTE**

PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS) FINAL POSITIONS OF RWP'S TO BE DETERMINED ON SITE RWP'S IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER SYSTEM (NO KICK)

#### **ROOF INSULATION NOTE**

R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL PLASTERBOARD OR VERSILUX CEILINGS IF APPL.

## WALL INSULATION NOTE

R2.5 WALL INSULATION TO ALL FRAMED WALLS

#### **ELECTRICAL NOTE**

INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS INDICATED ON PLAN

### FIXING CARPENTER NOTE

4 No. 450D SHELVES TO PANTRY AND LINEN UNO 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY PROVIDE MID-SHELF SUPPORT WHERE NOTED "MSS" TO ANY SHELF OVER 1.8m LONG.
NOTE SKIRTING BOARDS THROUGHOUT EXCEPT TO WET AREAS,

# STAIRS (IF ANY), BIR'S & LIN.

## **CEILING MATERIAL NOTE**

ALFRESCO (INC. AREAS SHOWN HATCHED) - VERSILUX C.L. PORCH - HARDIFLEX C.L. CARPORT - HARDIFLEX C.I

#### **SEWER EASEMENT NOTE**

- PILING REQUIRED DUE TO THE CLOSE PROXIMITY OF SEWER AS INIDICATED BY: - REFER TO ENGINEERS FOR NUMBER & LOCATION.

### TRADES / SUPERVISOR NOTE

- REFER TO STRUCTURAL ENGINEERS DETAILS ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS

#### **GENERAL NOTE**

- CARPORT SIZE IS NOT SUITABLE FOR ENCLOSING

#### DOOR NOTE - TOILET DOOR TO COMPLY W/- CLAUSE 3.8.3.3 OF THE B.C.A VOL. 2

**PLASTERBOARD NOTE** PROVIDE PLASTERBOARD TO ALL INTERNAL WALLS UNLESS NOTED

OTHERWISE
- WET AREA PLASTERBOARD TO BATHROOM & ENSUITE.

#### CONCRETOR/BRK LAYER NOTE

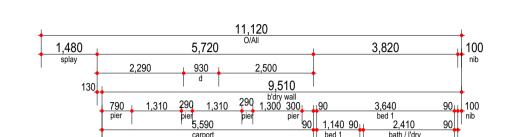
- NOTE BRICK WALL ON STRATA BOUNDARY HAS BEEN CALCULATED TO BE SET INSIDE THE BOUNDARY BY 60mm.

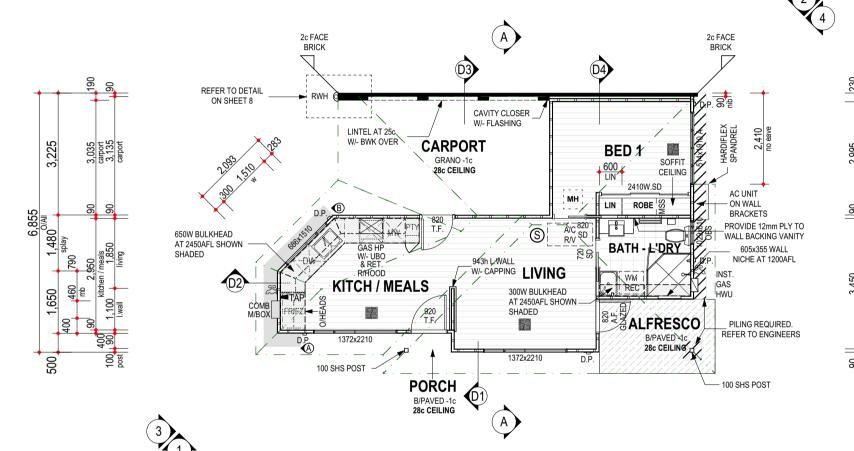
- ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c UNLESS

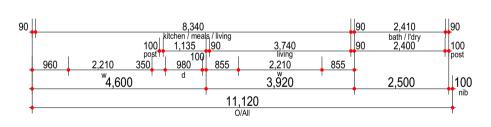
NOTED OTHERWISE.

- TOP OF FOOTING DROPS FROM -172mm TO -957mm BETWEEN A-B. REFER TO ELEVATIONS FOR EXTENT.

DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay. ALL DIMENSIONS TO BRICKWORK.









900 980 980

2,050 bath / l'dry 905

610 «

910

100 post

# **FLOOR PLAN**

I LOOK I LAN		
	Area m²	Perim. L/m
1. FLOOR PLAN	45.43	34.88
2. CARPORT	18.03	17.63
3. PORCH	0.62	3.47
4. ALFRESCO	3.50	7.80
5. TOTAL AREA	67.57	34.88
6. ROOF	78.83	37.67

WITNESS:		CLIENT(S):	BUILDER:	
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PROPOSED RESIDENCE FOR: LO PRESTI

ADDRESS: SSL I (#51A) RINALDO CRESCENT COOLBELLUP

DRAWN: DMA DESIGNED: SR CHECKED: DMA MODEL:

SCALE: 1:100 SHEET: 6 OF 11 SIZE: A3 **DEVELOPMENTS** 

JOB N°

156556

DMA DMA DMA DMA V002

FLOOR PLAN

15/07/20 21/07/20

HOMES GROUP BUILD | RENOVATE | DEVELOP

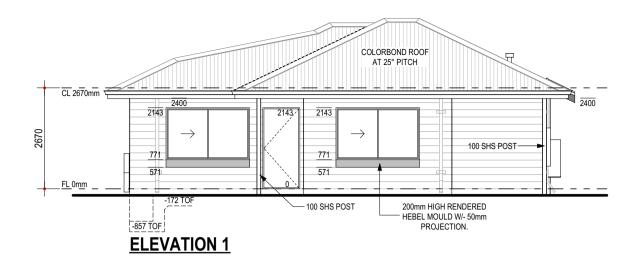
**SPECIAL** 

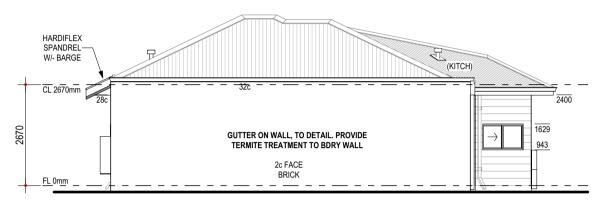
**ROOF NOTE** 

- <u>COLORBOND</u> ROOF, PITCH AT 25° W/- 562W EAVES UNO - STEEL ROOF IN ACCORDANCE TO NASH STANDARD - CEILINGS AT 31c + PLATE (2670) UNLESS NOTED OTHERWISE

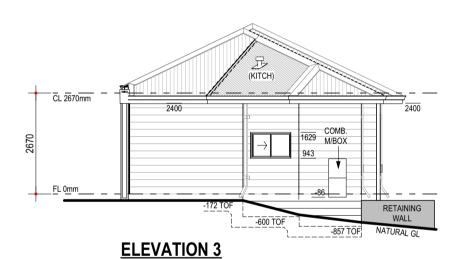
**WINDOW SUPPLIER NOTE** 

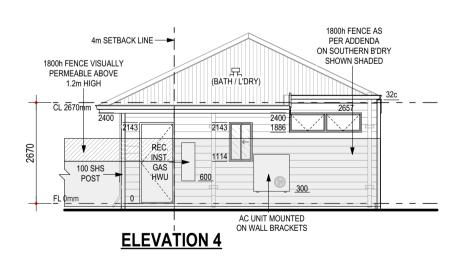
SHADED WINDOWS INDICATES OBSCURE GLAZING GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288 DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay. ALL DIMENSIONS TO BRICKWORK.

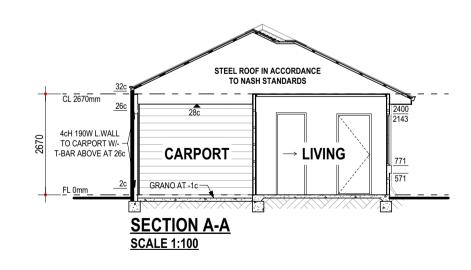


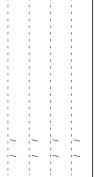


# **ELEVATION 2**







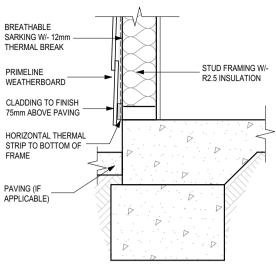


**BUILT AROUND PEOPLE** 

PROPOSED RESIDENCE FOR: DRAWN: DMA SCALE: 1:100 DMA DMA DMA DMA V001 V002 JEL V005 15/07/20 21/07/20 29/07/20 10/08/20 LO PRESTI DESIGNED: SR SHEET: 7 OF 11 CHECKED: DMA SIZE: A3 **DEVELOPMENTS** ADDRESS: MODEL: SSL I (#51A) RINALDO CRESCENT JOB N° **SPECIAL ELEVATIONS** COOLBELLUP 156556

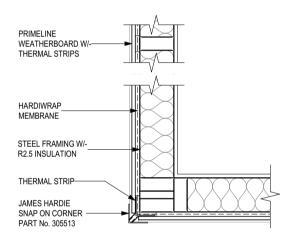


DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay. ALL DIMENSIONS TO BRICKWORK.



#### **D01 - PRIMELINE WEATHERBOARD CLADDING** (FOOTING)

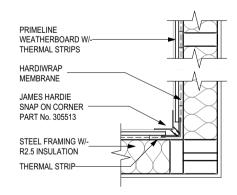
- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS SCALE 1:10



#### PRIMELINE WEATHERBOARD CLADDING (PLAN VIEW EXTERNAL CORNER)

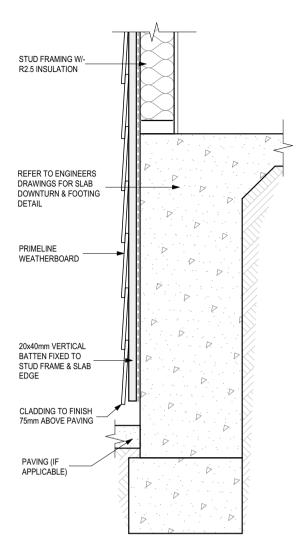
BUILDER:

- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS REFER TO ADDENDUM FOR CLADDING SPECIFICATION



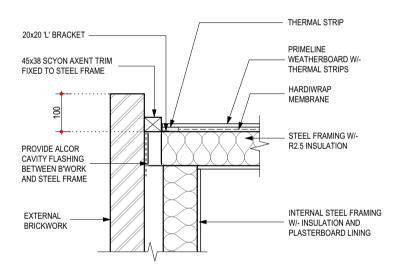
# PRIMELINE WEATHERBOARD CLADDING (PLAN VIEW INTERNAL CORNER)

- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS REFER TO ADDENDUM FOR CLADDING SPECIFICATION
- SCALE 1:10



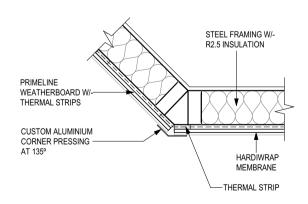
#### **D02 - PRIMELINE WEATHERBOARD CLADDING OVER SLAB EDGE DROP FOOTING**

- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS



### PRIMELINE WEATHERBOARD CLADDING (PLAN VIEW INTERNAL CORNER TO BRICK WORK)

- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- REFER TO ADDENDUM FOR CLADDING SPECIFICATION
   SCALE 1:10



### PRIMELINE WEATHERBOARD CLADDING (PLAN VIEW EXTERNAL 135° CORNER)

# NOTES:

- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS - REFER TO ADDENDUM FOR CLADDING SPECIFICATION

DMA DMA DMA DMA

15/07/20

21/07/20

- SCALE 1:10

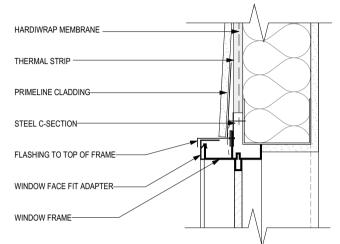
V001 V002

**DETAILS** 

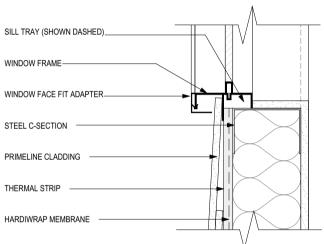




#### **JAMB DETAIL**



#### **HEAD DETAIL**



## **SILL DETAIL**

# **WINDOW DETAILS - CLADDING TO FRAMED WALL**

- NOTES:
   WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- STEEL FRAMING TO MANUFACTURER'S SPEC. - SCALE 1:5



# **RAINWATER HEAD TO ALFRESCO NIB WALL DETAIL**

PROPOSED RESIDENCE FOR: LO PRESTI ADDRESS:

COOLBELLUP

BUILDER:

SSL I (#51A) RINALDO CRESCENT BUILT AROUND PEOPLE

DRAWN: DMA DESIGNED: SR CHECKED: DMA MODEL: **SPECIAL** 

SCALE: AS NOTED SHEET: 9 OF 11 SIZE: **DEVELOPMENTS** 

JOB N°

156556

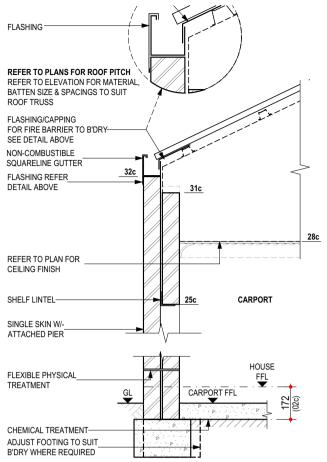
V005

**DETAILS** 

DMA 10/08/20

**SUMMIT** HOMES GROUP BUILD | RENOVATE | DEVELOP

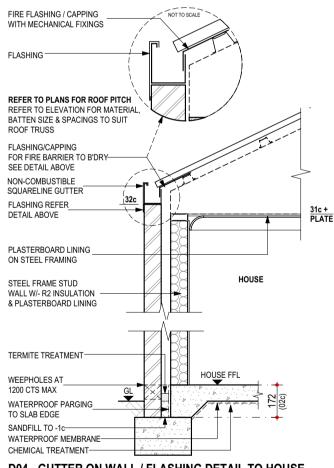
DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay. ALL DIMENSIONS TO BRICKWORK.



#### **D03 - GUTTER ON WALL/FLASHING DETAIL TO CARPORT W/- TERMITE TREATMENT**

#### NOTES:

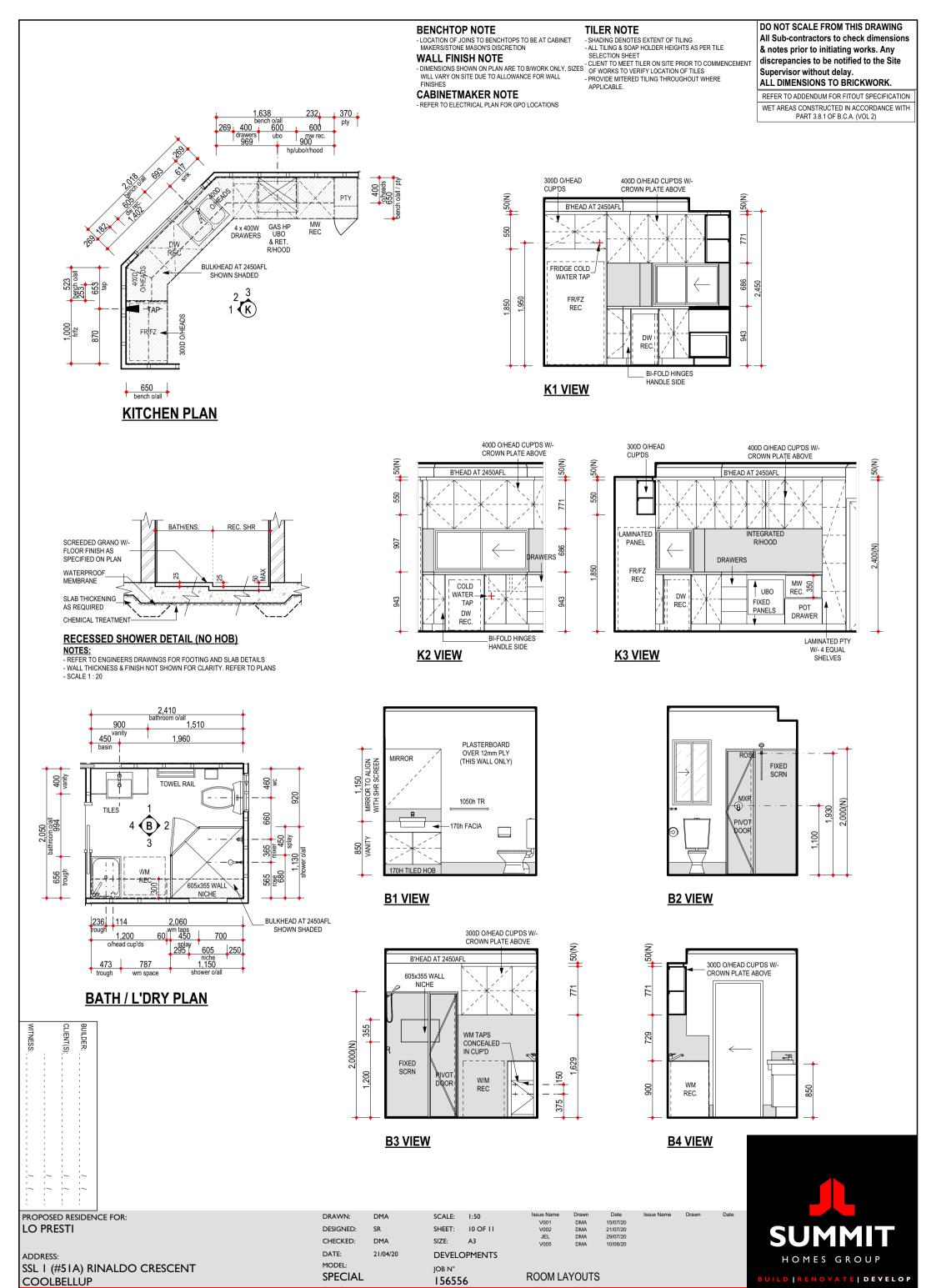
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC. SCALE 1 : 20



### <u>D04 - GUTTER ON WALL / FLASHING DETAIL TO HOUSE</u> W/- TERMITE TREATMENT

# NOTES:

- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.



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BUILT AROUND PEOPLE

# **ELECTRICAL LEGEND**

Ground	Floor
--------	-------

				Insulation
Qty	Sym.	Description	Watts	Penetrations
2	<b>●</b> 11w*	EXTERNAL RECESSED LED DOWN-LIGHT (11w) Perimeter Lighting	22*	*
1	O11w*	CEILING LIGHT (11w) Class 10	11*	*
1	● 11w	RECESSED LED DOWN-LIGHT (11w)	11	
1	S	H.WIRED SMOKE DETECTOR	0	
1	•	EXHAUST FAN	0	0.045
3	◯ 11w	CEILING LIGHT (11w)	33	
1	2 WAY	2 WAY SWITCH	0	
1	•	W/P SGPO INSTALLED IN HWU	0	
1		SINGLE GPO IN/ON CEILING	0	
2	•	SINGLE GPO @ NOTED HT	0	
1	С	NBN LEAD IN CONDUIT (25mm) W/- BLANK FACE PLATE AT 1500 AFL	0	
4		DOUBLE GPO @ NOTED HT	0	
6		DOUBLE GPO @ 200 AFL	0	
1		DOUBLE GPO @ 1500 AFL W/ 20mm CONDUIT FOR PSU CONNECTION	0	
1	<u> </u>	CONDUIT FOR NBN (25mm)	0	
1	Ö	CONDUIT (32mm)	0	
1	D2	D2 (2x DATA/PHONE) FOR NBN PROVISION @ 1500 AFL	0	

\* NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. PERIMETER LIGHTING MIN. 40 LUMENS/W.

C1 (TV) + D2 (PH/DATA)

C1D2

Total Class 1 Wattage= 44

0.045

Wattage Calculations (Class 1) Actual Wattage Allowed **Story Name** Wattage 0 | Ground Floor 41.81 Sqm 209 w 44 w 41.81 sqm 209 w 44 w PASS

Recessed Fitting Pene	trations (Class 1)	Maximum	Actual	
Story Name	Area	Penetrations	Penetrations	
Total Insulation Area Vents\RangeHoods	41.81 sqm	0.209 sqm	0.045 sqm 0.015 Sqm	
	41.81 sqm	0.209 sqm	0.060 sqm	PASS

DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

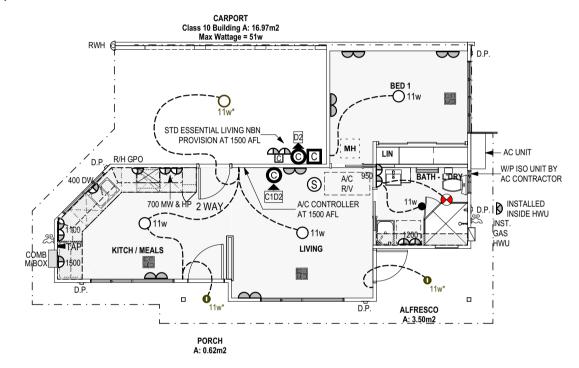
#### **ELECTRICAL NOTE**

- INTERCONNECTED SMOKE DETECTORS TO AS3786-2014
- FINAL POSITION OF ELECTRICAL ITEMS SUCH AS GPO'S, LIGHT SWITCHES ETC. MAY VARY ON SITE DUE TO ELECTRICAL REGULATIONS. LIGHT SWITCH HEIGHT TO BE AT 1200 AFL U.N.O.

- NEUTRAL CABLING REQUIRED TO ALL LIGHT SWITCHES.
- ALL EXHAUST FANS TO BE FLUED TO EXTERNAL AIR

#### **CLIENT / PRESTART NOTE**

- CLIENT TO CONFIRM W/- ADMINISTRATOR POSITIONING OF ALL TV, PHONE AND ROOM GPO POSITIONS.



# LIGHT AND VENTILATION CALC.

Room Name	Opn %	Light		Vent.
2   BED 1				
Min. Ventilation = 0.71   Min. Light= 0.94 Total Area= 9.40				
W03   Awning		0.98 m2		
Totals	Light	0.98 m2	Vent	0.98 m2
1   LIVING   KITCH / MEALS				
1 LIVING LKITCH	ł / MEAI	S		
1   LIVING   KITCH Min. Ventilation = 1.90   Min. Li				
	ght= 2.54 To			1.52 m2
Min. Ventilation = 1.90   Min. Li W05   Sliding	ght= 2.54 To	otal Area= 25.36		1.52 m2 0.52 m2
Min. Ventilation = 1.90   Min. Li	ght= 2.54 To 50 % 50 %	3.03 m2		
Min. Ventilation = 1.90   Min. Li W05   Sliding W02   Sliding	ght= 2.54 To 50 % 50 % 50 %	3.03 m2 1.04 m2		0.52 m2

Inputs for Airmovement and Light are Valid



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ı	PROPOSED RESIDENCE FOR:	DIAMIN.
	LO PRESTI	DESIGNED: S
		CHECKED: [
	ADDRESS:	DATE: 2
	SSL I (#51A) RINALDO CRESCENT	MODEL:
ı	COOLBELLÚIP	SPECIAL

WN:	DMA	SCALE:	1:100
GNED:	SR	SHEET:	II OF II
CKED:	DMA	SIZE:	A3
E:	21/04/20	DEVELO	PMENTS
DEL:		IOB N°	

DMA DMA DMA DMA V001 V002 JEL V005 15/07/20 21/07/20 29/07/20 10/08/20

**ELECTRICAL PLAN** 



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