

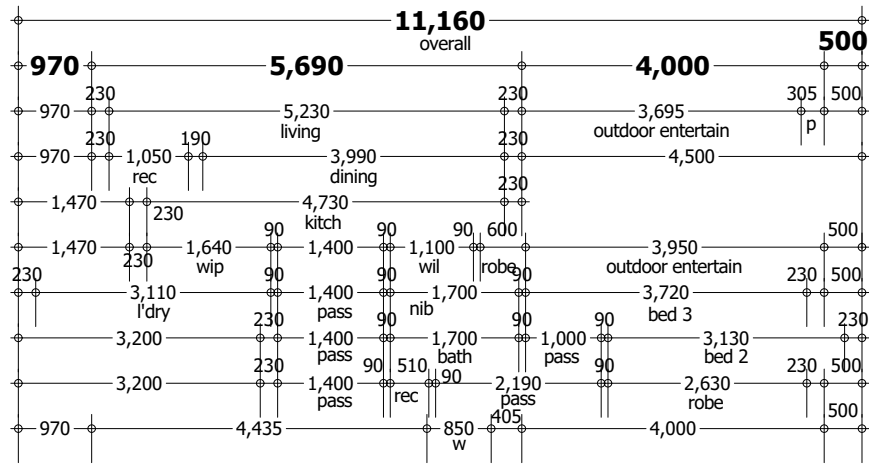
FIXING CARPENTER NOTES

- 1. 450w SHELF & RAIL TO ROBES & WIR TO BE 1700afl.
- 2. 4x450w (U.O.N.) SHELVES TO WIL TO BE 500, 900, 1300 & 1700afl.
- 3. 2x450w (U.O.N.)2x300w SHELVES TO scullery TO BE 510, 940, 1370 & 1800afl.

CONCRETOR NOTE

- 1. GARAGE & FREESTANDING EXTERNAL BRICK PIER FOOTINGS TO BE AT -3c U.O.N.

Note: Polished concrete floor to home



Bricklayer Note:
Cavity wall insulation
to entire home
as per energy report

GENERAL NOTES

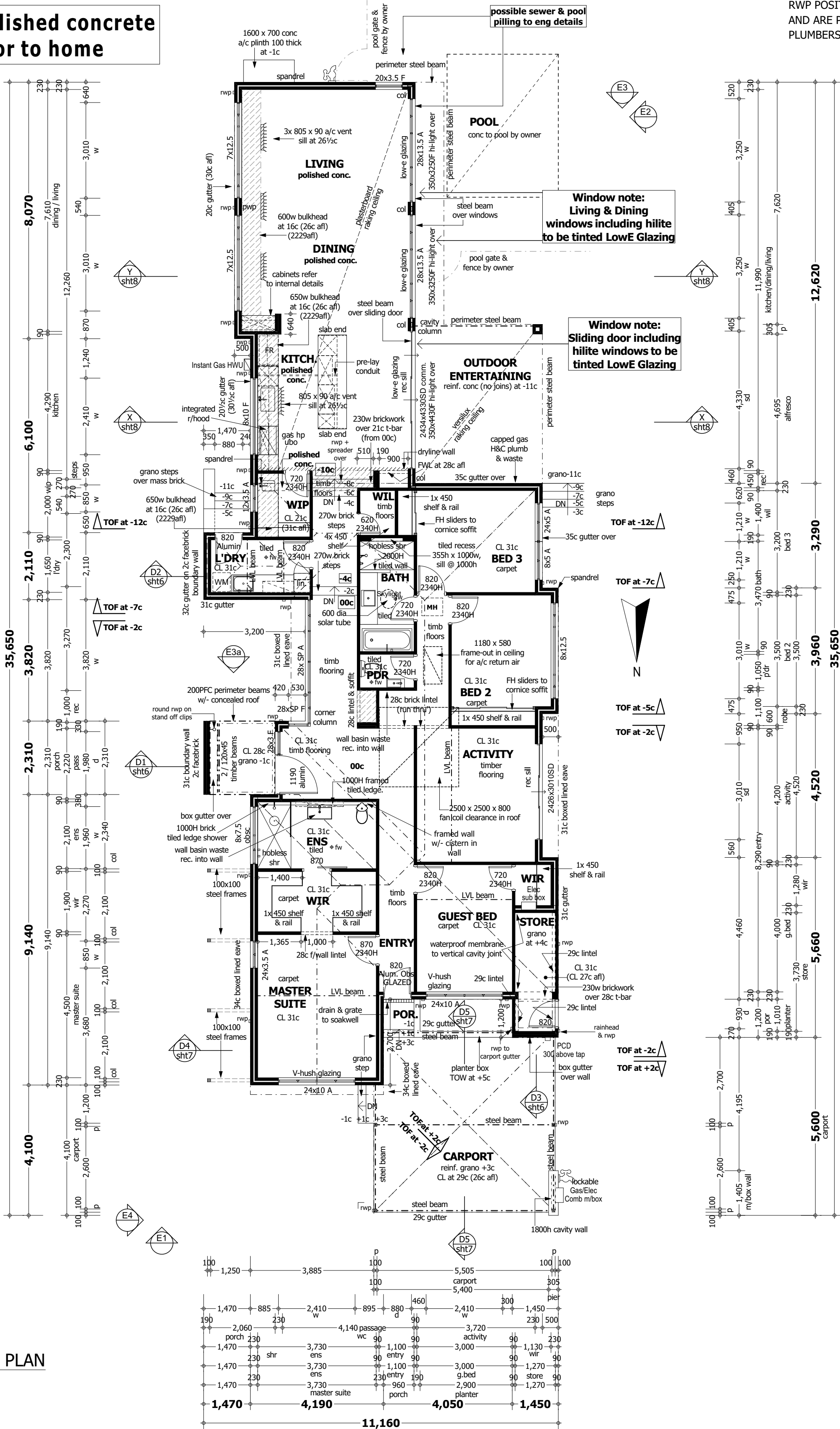
RENDERED BRICKWORK.

COLORBOND ROOF.
ANTICON TO ENTIRE ROOF AS PER ENERGY REPORT
WALL INSULATION TO ENTIRE EXTERNAL CAVITY WALLS AS PER ENERGY REPORT

R4.1 CEILING INSULATION THROUGHOUT.

N? WIND REGION.

RWP POSITIONS SHOWN ARE APPROX AND ARE POSITIONED AT THE ROOF PLUMBERS DISCRETION.



GROUND FLOOR PLAN
1:100

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PROPOSED RESIDENCE ADDRESS:
59 Bondi Street,
Mt Hawthorn
FOR:
Ryan McSorley &
Jessica Duinmeyer

SIGNATURES:

OWNER: _____
OWNER: _____
BUILDER: _____
DATE: _____

AMENDMENTS:

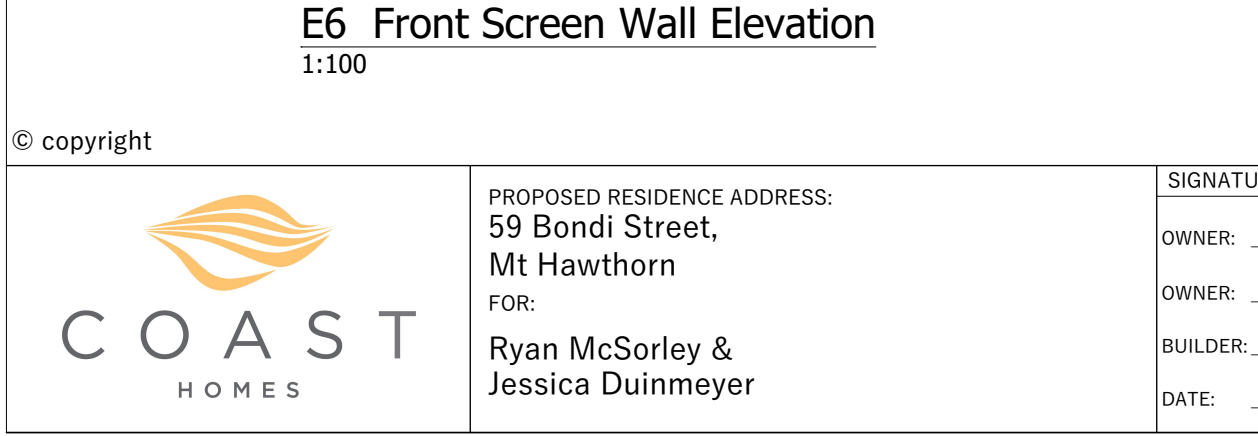
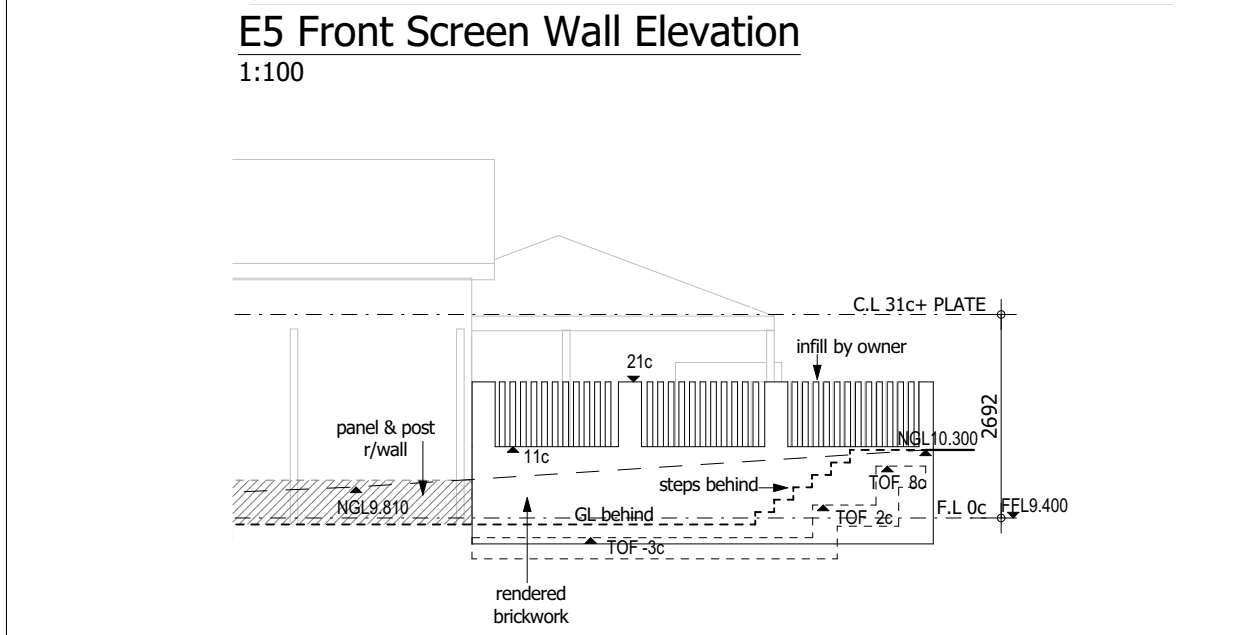
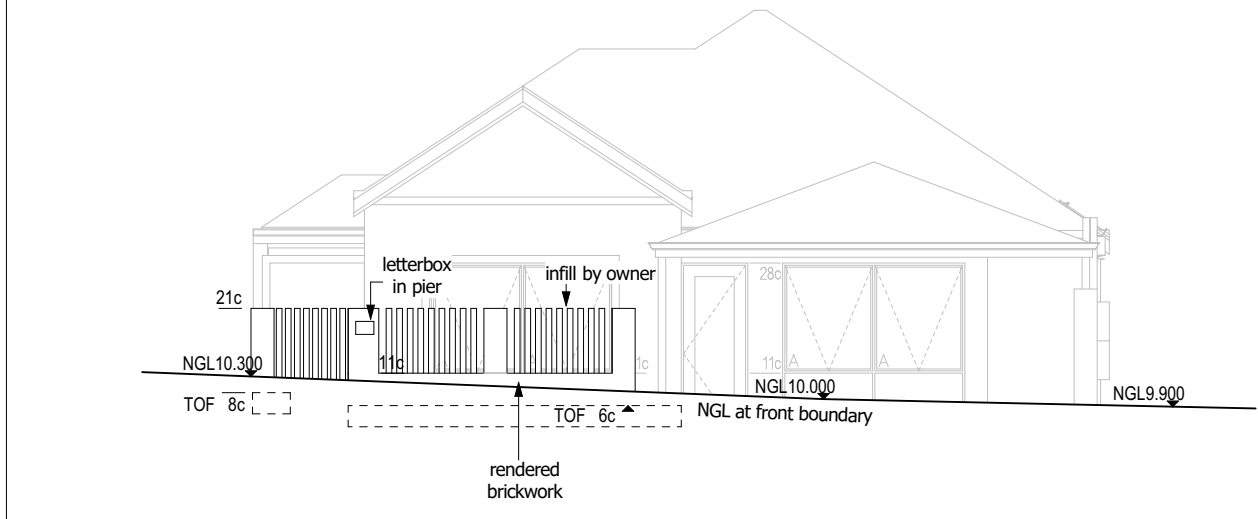
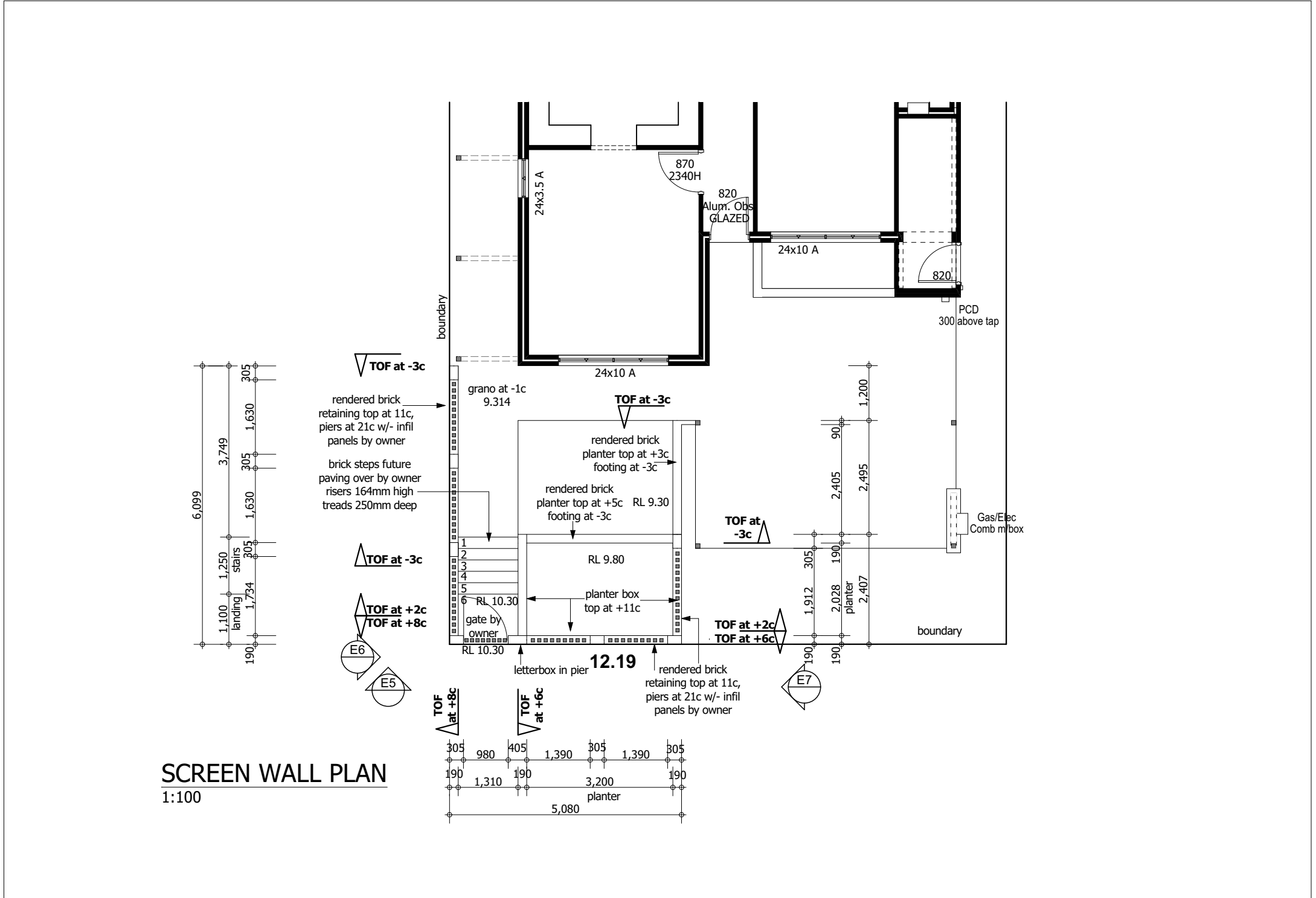
10/9/19	Vince	L'dry FFL dropped
12/9/19	Vince	Landscaping
24/9/19	Vince	Add screen wall & setout lower roof pitch
26/9/19	Vince	Energy ratings
2/10/19	GM	retain amend
28/10/19	GM	porch, carport & planter amend
30/12/19	CW	Variation 1,2,3
16/1/20	GM	engineer amendments
17/1/20	GM	house setout
24/1/20	GM	PSVO 4
07/04/20	SS	CV07&8

Custom


SHEET1 OF 14
DRN: Vince
DATE: 8/08/19
SCALE:1:100, 1:1
CONTRACT NO:
19013

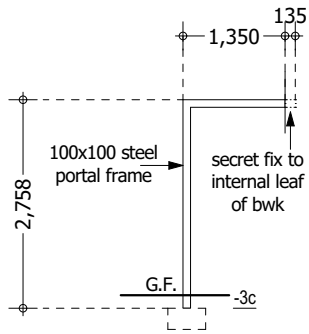
Area Calc

. PORCH	5.20	
. STORE	5.44	
. OUTDOOR ENTERTAINING	20.00	
. CARPORT	20.92	
. GROUND FLOOR	225.23	92.09
Total	286.79 m²	

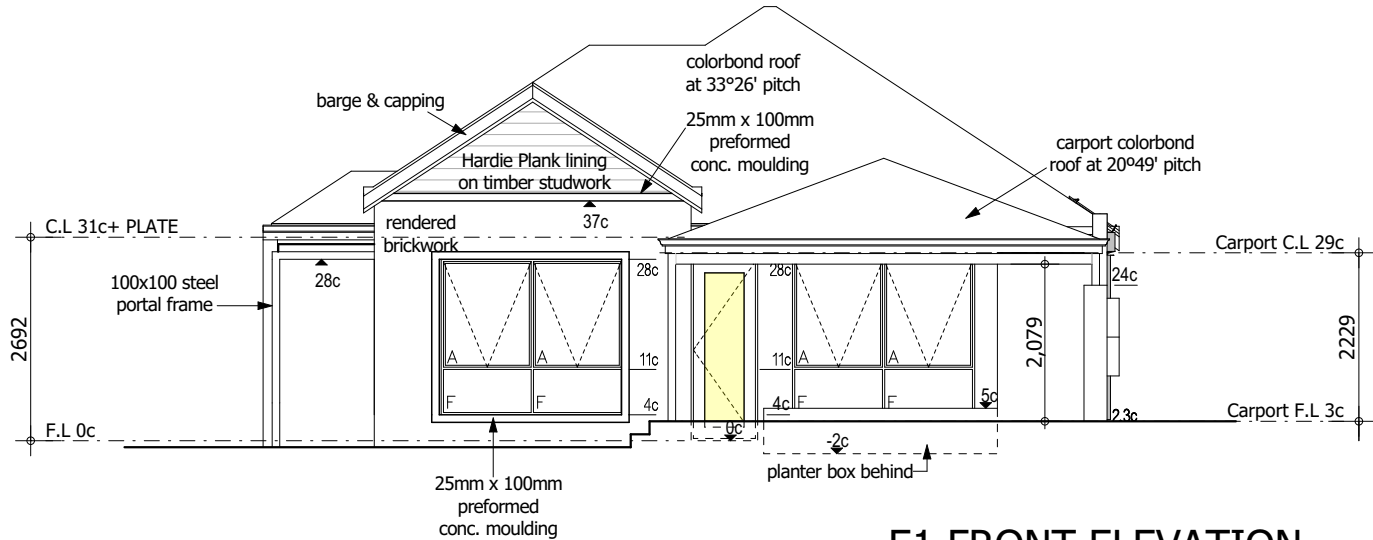


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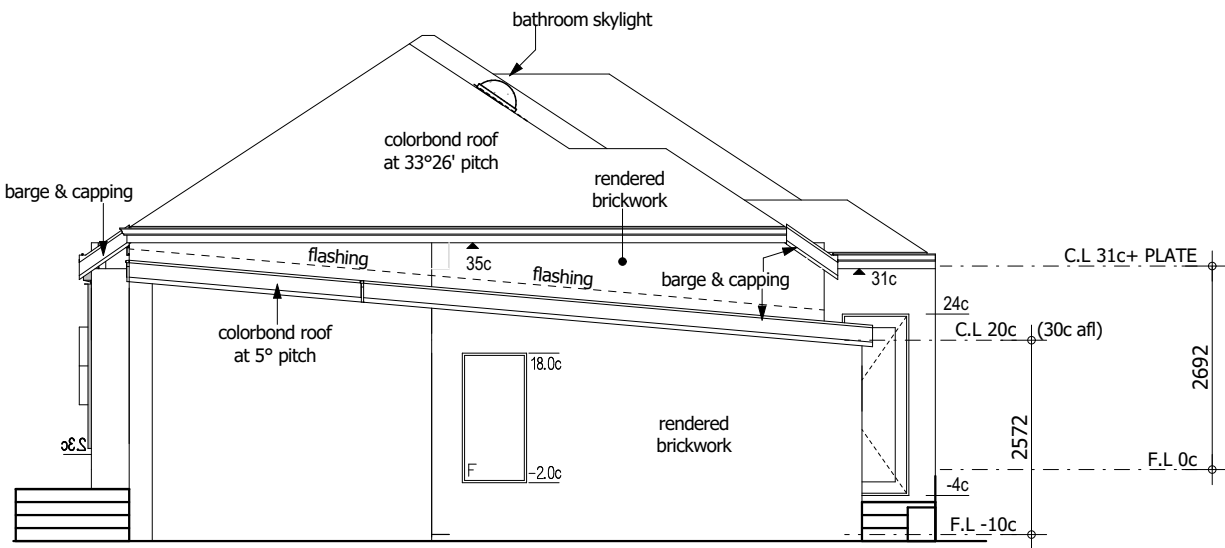
	PROPOSED RESIDENCE ADDRESS: 59 Bondi Street, Mt Hawthorn FOR: Ryan McSorley & Jessica Duinmeyer	SIGNATURES:		AMENDMENTS:		Custom
		OWNER: _____	10/9/19	Vince	L'dry FFL dropped	SHEET2 OF 14
			12/9/19	Vince	Landscaping	
			24/9/19	Vince	Add screen wall & setout lower roof pitch	
		OWNER: _____	26/9/19	Vince	Energy rqmts	DRN: Vince
			27/10/19	GM	retain amend	
			28/10/19	GM	porch, carport & planter amend	
		BUILDER: _____	30/12/19	CW	Variation 1,2,3	DATE: 8/08/19
			16/1/20	GM	engineer amendments	
			17/1/20	GM	house setout	
		DATE: _____	24/1/20	GM	PSVO 4	SCALE:1:100, 1:1
			07/04/20	SS	CV07&8	



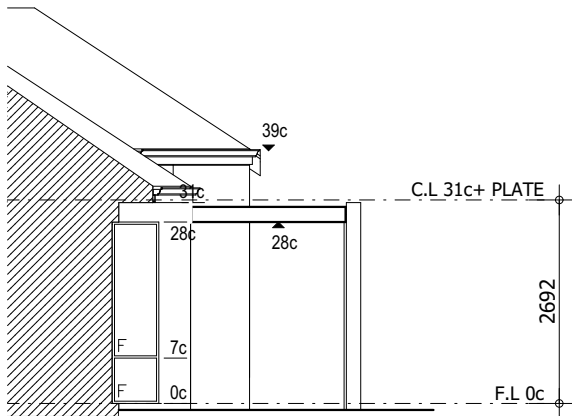
Entry Portal Frame Detail
1:100



E1 FRONT ELEVATION
1:100




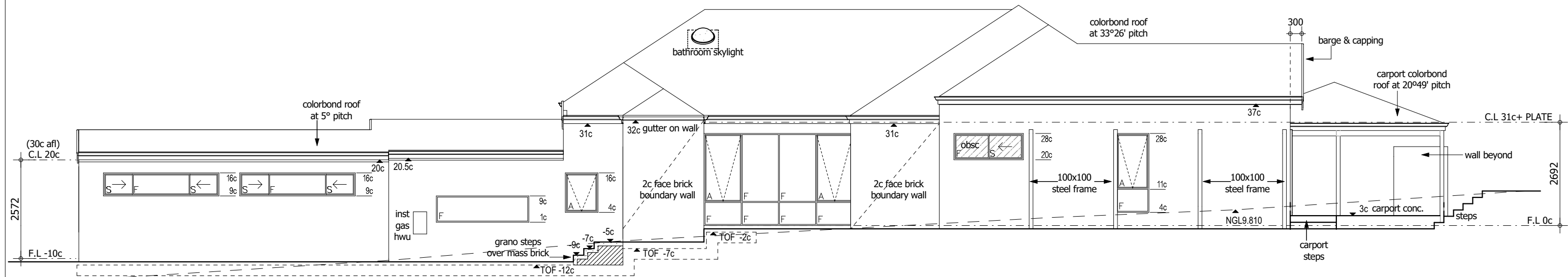
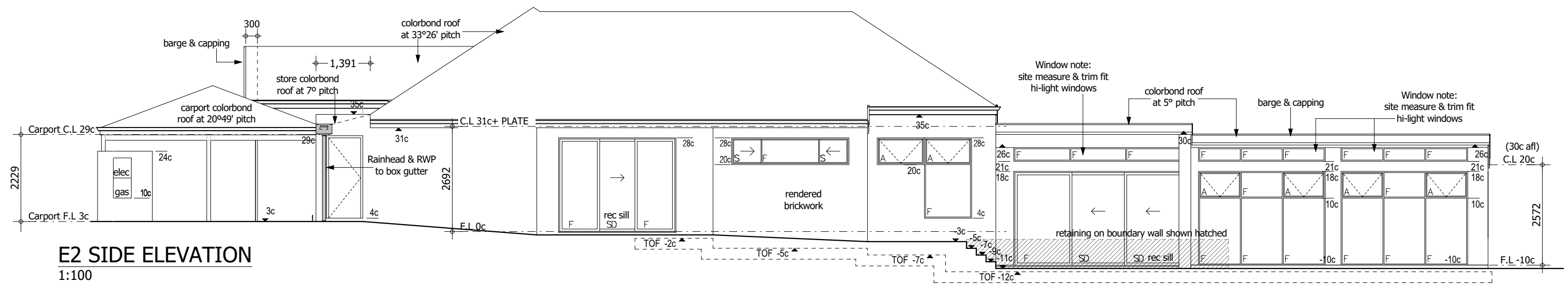
E3 REAR ELEVATION
1:100



E3a Rear Elevation
1:100

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	PROPOSED RESIDENCE ADDRESS: 59 Bondi Street, Mt Hawthorn FOR: Ryan McSorley & Jessica Duinmeyer	SIGNATURES:		AMENDMENTS:		Custom
		OWNER: _____	10/9/19	Vince	L'dry FFL dropped	SHEET3 OF 14
			12/9/19	Vince	Landscaping	
			24/9/19	Vince	Add screen wall & setout lower roof pitch	DRN: Vince
		OWNER: _____	26/9/19	Vince	Energy rqmts	
			27/10/19	GM	retain amend	DATE: 8/08/19
			28/10/19	GM	porch, carport & planter amend	
		BUILDER: _____	30/12/19	CW	Variation 1,2,3	SCALE:1:100
			16/1/20	GM	engineer amendments	
			DATE: _____	17/1/20	GM	house setout
		24/1/20		GM	PSVO 4	
		07/04/20		SS	CV07&8	



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PROPOSED RESIDENCE ADDRESS:
59 Bondi Street,
Mt Hawthorn
FOR:
Ryan McSorley &
Jessica Duinmeyer

SIGNATURES:

OWNER: _____

OWNER: _____

BUILDER: _____

DATE: _____

AMENDMENTS:

10/9/19	Vince	L'dry FFL dropped
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16/1/20	GM	engineer amendments
17/1/20	GM	house setout
24/1/20	GM	PSVO 4
07/04/20	SS	CV07&8

Custom

SHEET 4 OF 14

DRN:	Vince
------	-------

DATE: 8/08/19

SCALE:1:100

	CONTRACT NO:
	19013

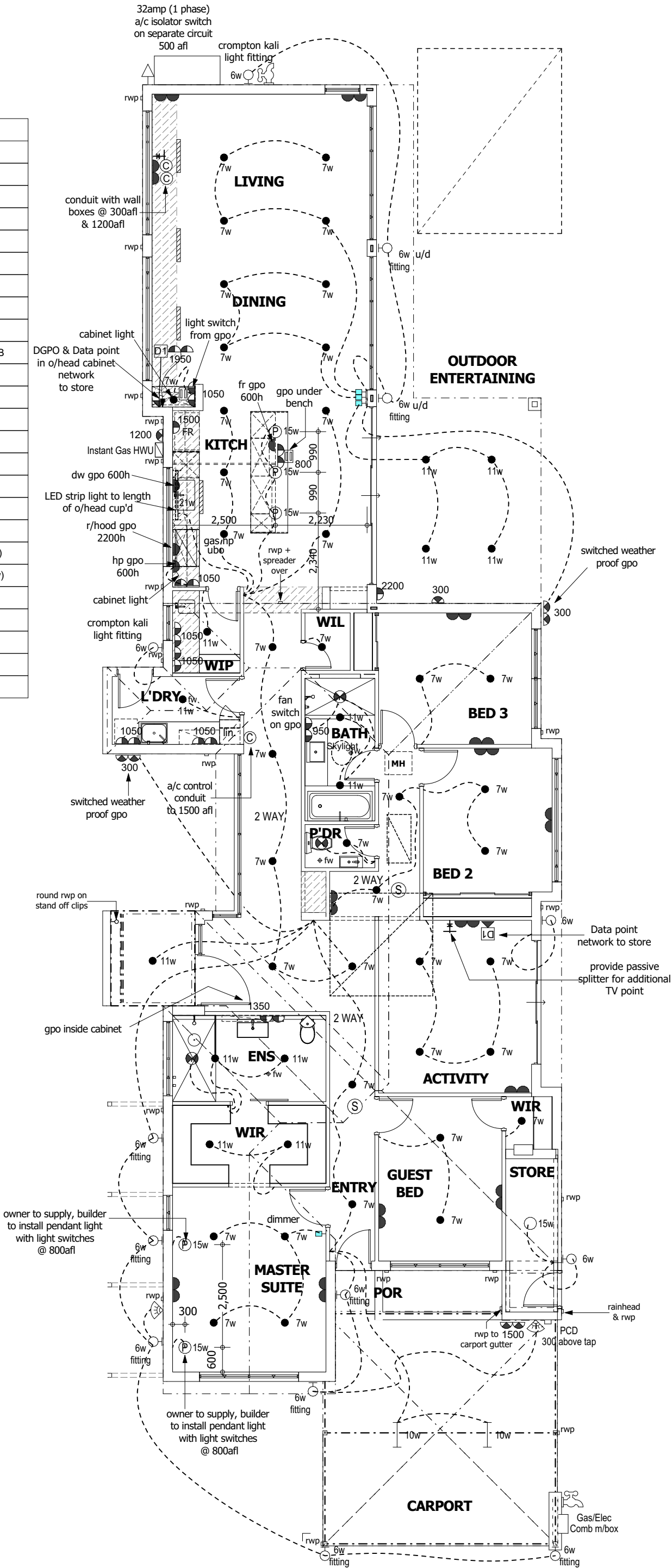
ELECTRICIAN/CLIENT NOTE

NOTE ALL POSITIONS OF POWER POINTS
& LIGHTS ON PLAN ARE APPROXIMATE ONLY.

LIGHT SWITCH PLATES TO BE 1200 ABOVE
FLOOR LEVEL UNLESS OTHERWISE NOTED.

ELECTRICAL LEGEND

No.	SYMBOL	TYPE
3	2 WAY	2 WAY SWITCH
1	○15w	CEILING LIGHT (15w)
3	⊙	CONDUIT
2		D1
4		DIMMER SWITCH
2		DOUBLE GPO
14		DOUBLE GPO @ 300 AFL
9		DOUBLE GPO @ NOTED HT
2		DOUBLE GPO @ NOTED HT W/USB
3		Exhaust Fan
2		H.WIRED SMOKE DETECTOR
1		ISOLATION SWITCH
2		LED BATTEN
1		LED STRIP LIGHTING (21w)
2		MOTION SENSOR
5	Ⓟ15w	PENDENT LIGHT (15w)
9	Ⓟ6w fitting	PINA WALL LIGHT @ 2000 AFL
40	● 7w	RECESSED LED DOWN-LIGHT (7w)
13	● 11w	RECESSED LED DOWN-LIGHT (11w)
4		SINGLE GPO @ 300 AFL
2		SINGLE GPO @ NOTED HT
2		SINGLE WATER PROOF GPO
2		TV POINT
4	Ⓟ6w	WALL LIGHT @ 2000 AFL



AMENDMENTS:

10/9/19	Vince	L'dry FFL dropped
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26/9/19	Vince	Energy rqrts
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16/1/20	GM	engineer amendments
17/1/20	GM	house setout
24/1/20	GM	PSVO 4
07/04/20	SS	CV07&8

SALES CONSULTANT:
Fab

LOCAL AUTHORITY:
Vincent

ZONING: R30

SITE AREA: 491m²

SITE COVER: 54.20% (266.21m²)
(House/Store/Porch)

PROPOSED RESIDENCE TO BE ERECTED ON:
59 Bondi Street,
Mt Hawthorn

FOR:
Ryan McSorley &
Jessica Duinmeyer

COAST
HOMES

© copyright Coast Homes 2019

Custom

SHEET5 OF 33

DRN: Vince

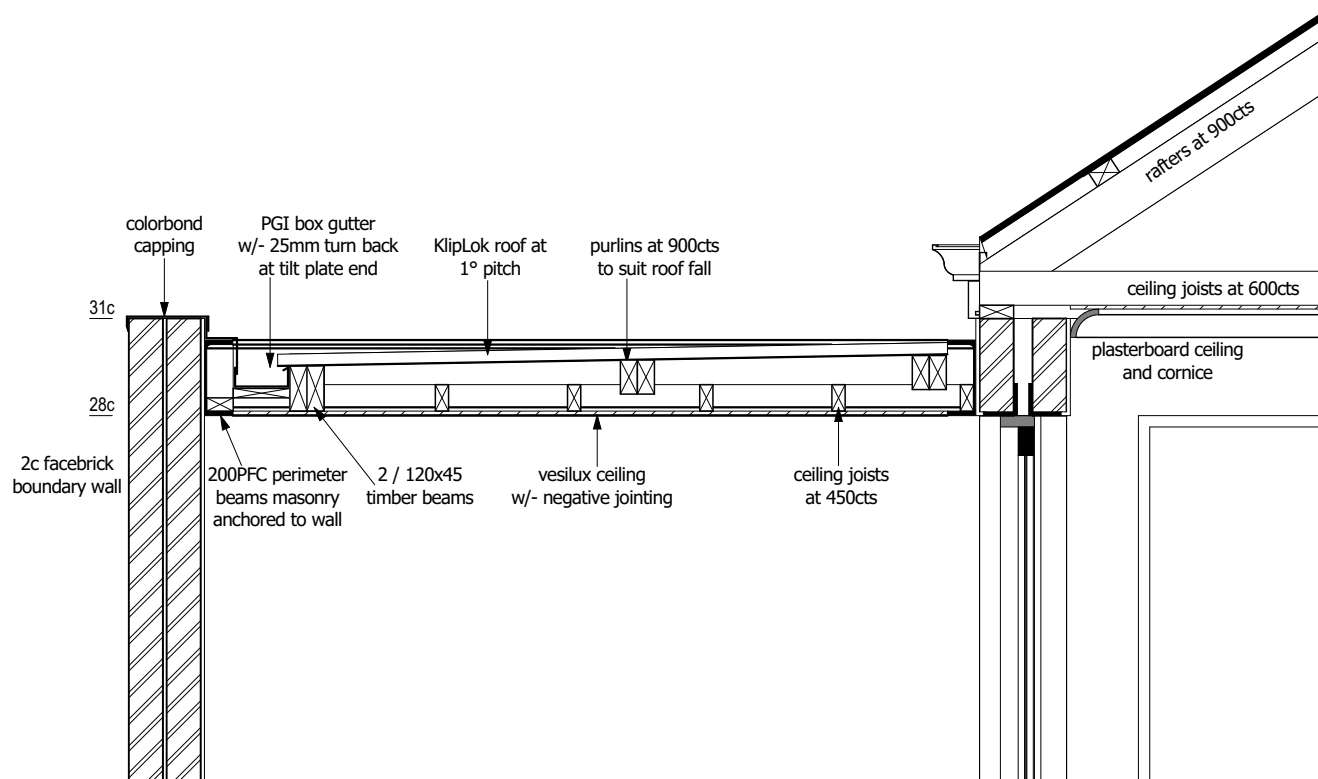
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DSN:

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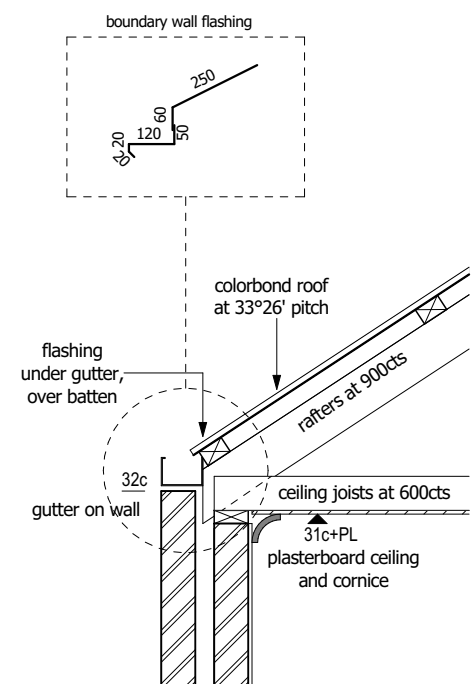
CONTRACT NO:
19013

Roof Cover Note:
Anticon to entire
roof as per energy report

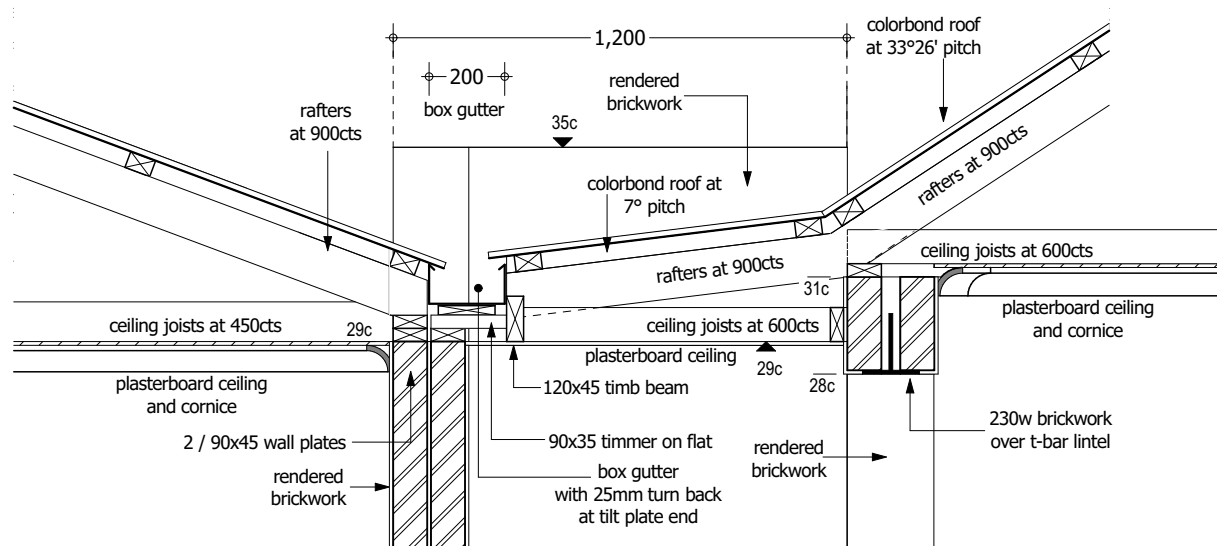


D1 PORCH DETAIL

1:20



D2 L'DRY BOUNDARY DETAIL



D3 STORE DETAIL

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PROPOSED RESIDENCE ADDRESS:
59 Bondi Street,
Mt Hawthorn
FOR:
Ryan McSorley &
Jessica Duinmeyer

SIGNATURES:

OWNER: _____

OWNER: _____

BUILDER: _____

DATE: _____

AMENDMENTS:

10/9/19	Vince	L'dry FFL dropped
12/9/19	Vince	Landscaping
24/9/19	Vince	Add screen wall & setout lower roof p
26/9/19	Vince	Energy rqmts
2/10/19	GM	retain amend
28/10/19	GM	porch, carport & planter amend
30/12/19	CW	Variation 1,2,3
16/1/20	GM	engineer amendments
17/1/20	GM	house setout
24/1/20	GM	PSVO 4
07/04/20	SS	CV07&8

Custom

SHEET 6 OF 14

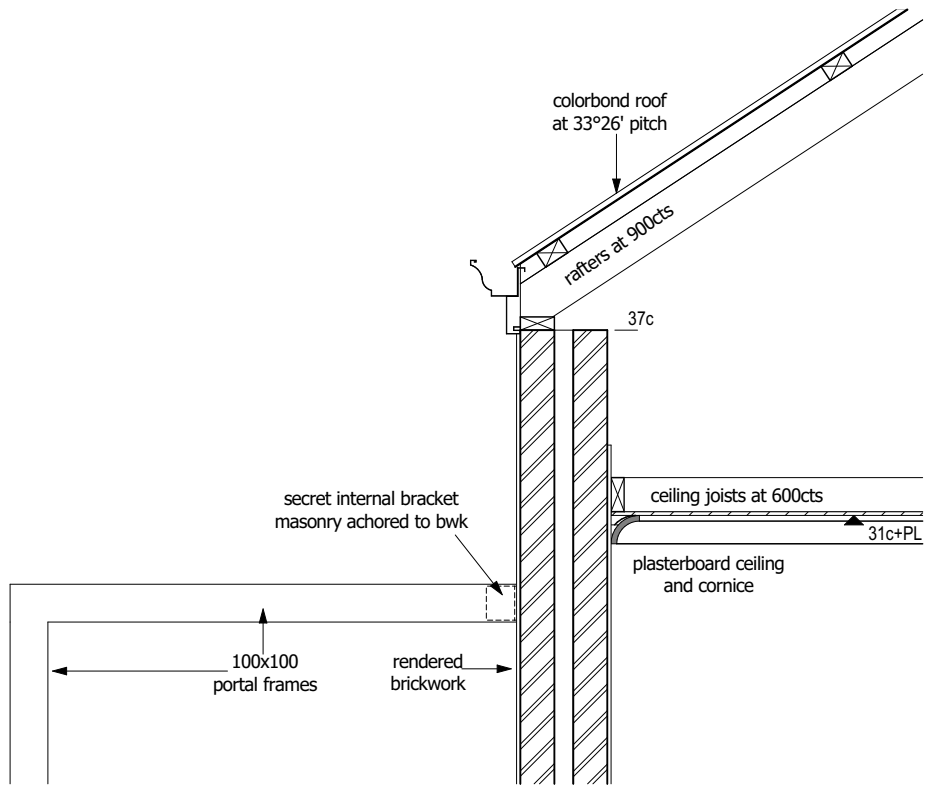
ch
DRN: Vince

DATE: 8/08/19

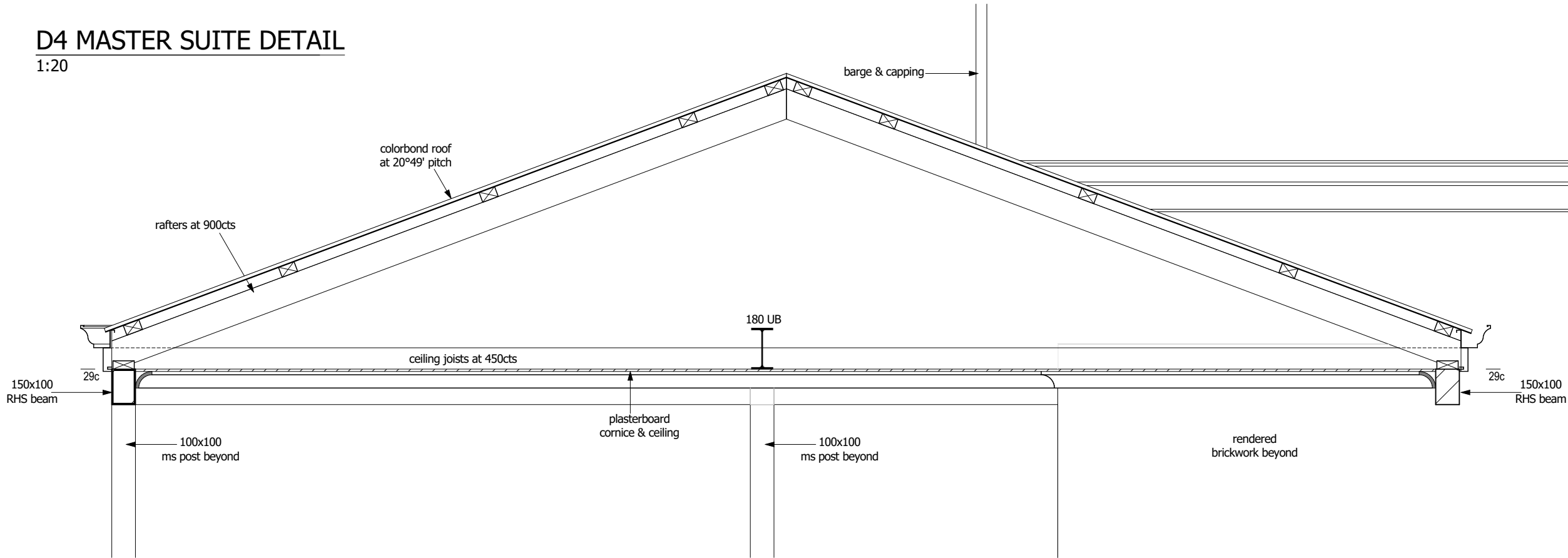
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CONTRACT NO:
19013

Roof Cover Note:
Anticon to entire
roof as per energy report




D4 MASTER SUITE DETAIL
1:20

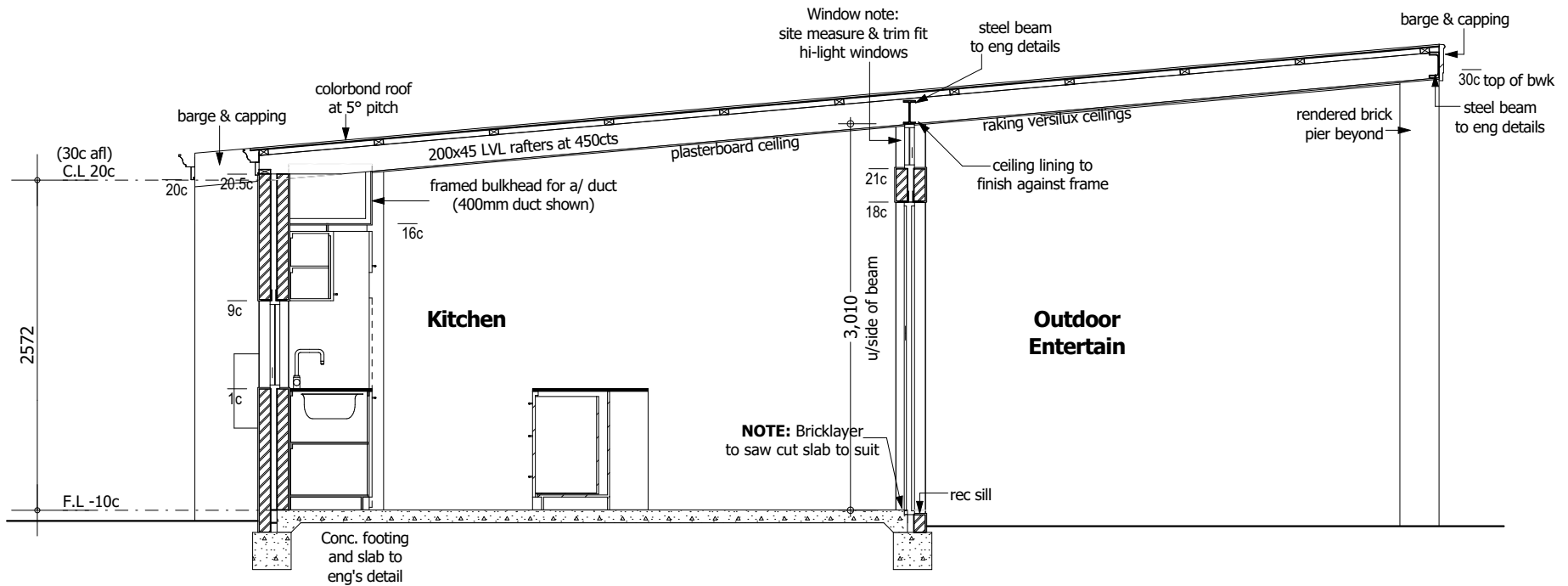


D5 CARPORT DETAIL
1:20

© copyright

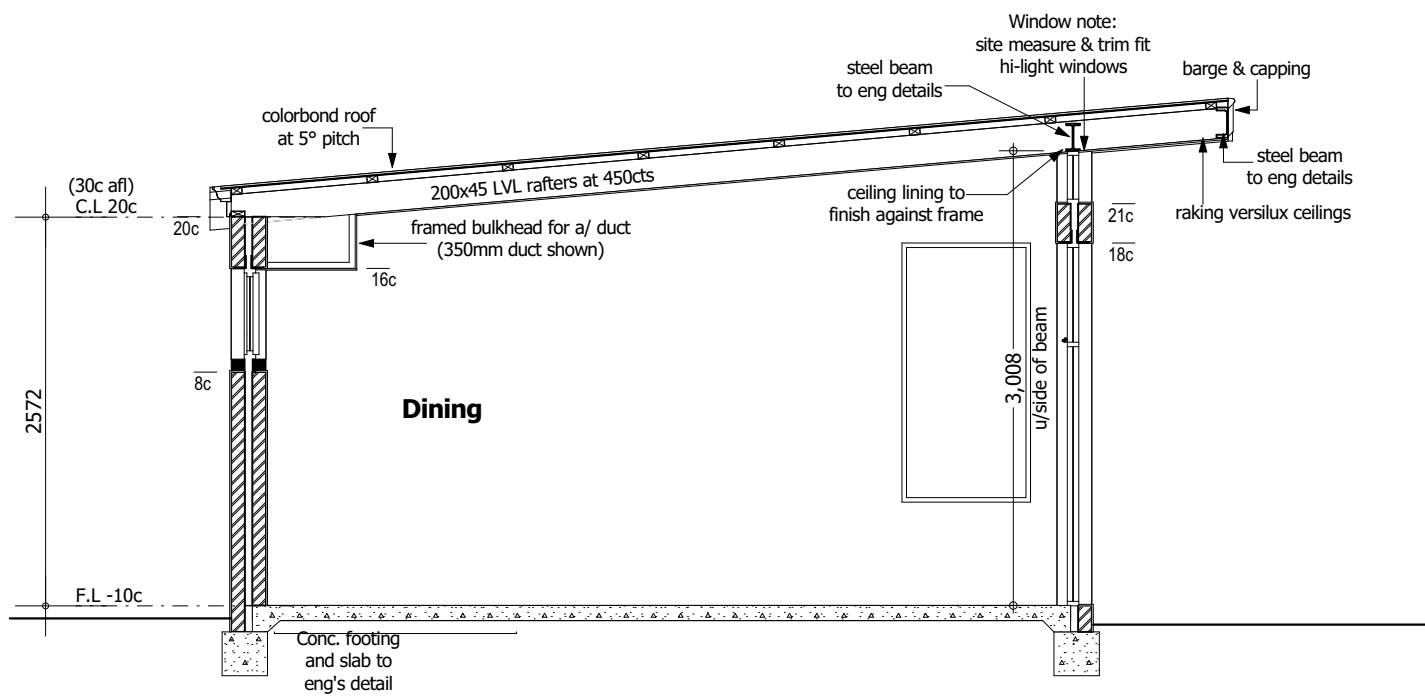
	PROPOSED RESIDENCE ADDRESS: 59 Bondi Street, Mt Hawthorn FOR: Ryan McSorley & Jessica Duinmeyer	SIGNATURES:		AMENDMENTS:			Custom
		OWNER: _____	OWNER: _____	10/9/19	Vince	L'dry FFL dropped	SHEET7 OF 14
				12/9/19	Vince	Landscaping	
				24/9/19	Vince	Add screen wall & setout lower roof pitch	
		OWNER: _____	OWNER: _____	26/9/19	Vlince	Energy rqmts	DRN: Vince
				2/10/19	GM	retain amend	
				28/10/19	GM	porch, carport & planter amend	
		BUILDER: _____	BUILDER: _____	30/12/19	CW	Variation 1,2,3	DATE: 8/08/19
				16/1/20	GM	engineer amendments	
				17/1/20	GM	house setout	
		DATE: _____	DATE: _____	24/1/20	GM	PSVO 4	SCALE:1:20, 1:100
				07/04/20	SS	CV07&8	
						CONTRACT NO: 19013	

Roof Cover Note:
Anticon to entire
roof as per energy report



X Section Detail

1:50



Y Section Detail

1:50

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PROPOSED RESIDENCE ADDRESS:

59 Bondi Street,
Mt Hawthorn

FOR:

Ryan McSorley &
Jessica Duinmeyer

SIGNATURES:

OWNER: _____

OWNER: _____

BUILDER: _____

DATE: _____

AMENDMENTS:

10/9/19	Vince	L'dry FFL dropped	S
12/9/19	Vince	Landscaping	
24/9/19	Vince	Add screen wall & setout lower roof pitch	D
26/9/19	Vince	Energy rqmts	
27/10/19	GM	retain amend	S
28/10/19	GM	porch, carport & planter amend	
30/12/19	CW	Variation 1,2,3	
16/1/20	GM	engineer amendments	
17/1/20	GM	house setout	
24/1/20	GM	PSVO 4	
07/04/20	SS	CV07&8	

Custom

SHEET 8 OF 14

DRN: Vince

DATE: 8/08/19

SCALE:1:50

CONTRACT NO:
19013



1. POLISHED CONCRETE TO LIVING, DINING, KITCHEN, WIP (SHOWN SHADED)
2. 32Mpa CONCRETE.
3. 110mm SLAB ON GROUND.
4. SL 92 MESH.
5. EXTRA RE-ENTRY BARS.
6. 2 LAYERS OF WATERPROOF MEMBRANE.
7. EXTEND CONCRETE AN EXTRA 15mm INTO CAVITY WALL TO SLIDING DOOR OR FULL HEIGHT WINDOWS LOCATIONS AS SHOWN ON GROUND SLAB PLAN.
8. CARDBOARD PROTECTION DURING CONSTRUCTION.

Technical drawing of a sliding door frame assembly showing vertical dimensions and components:

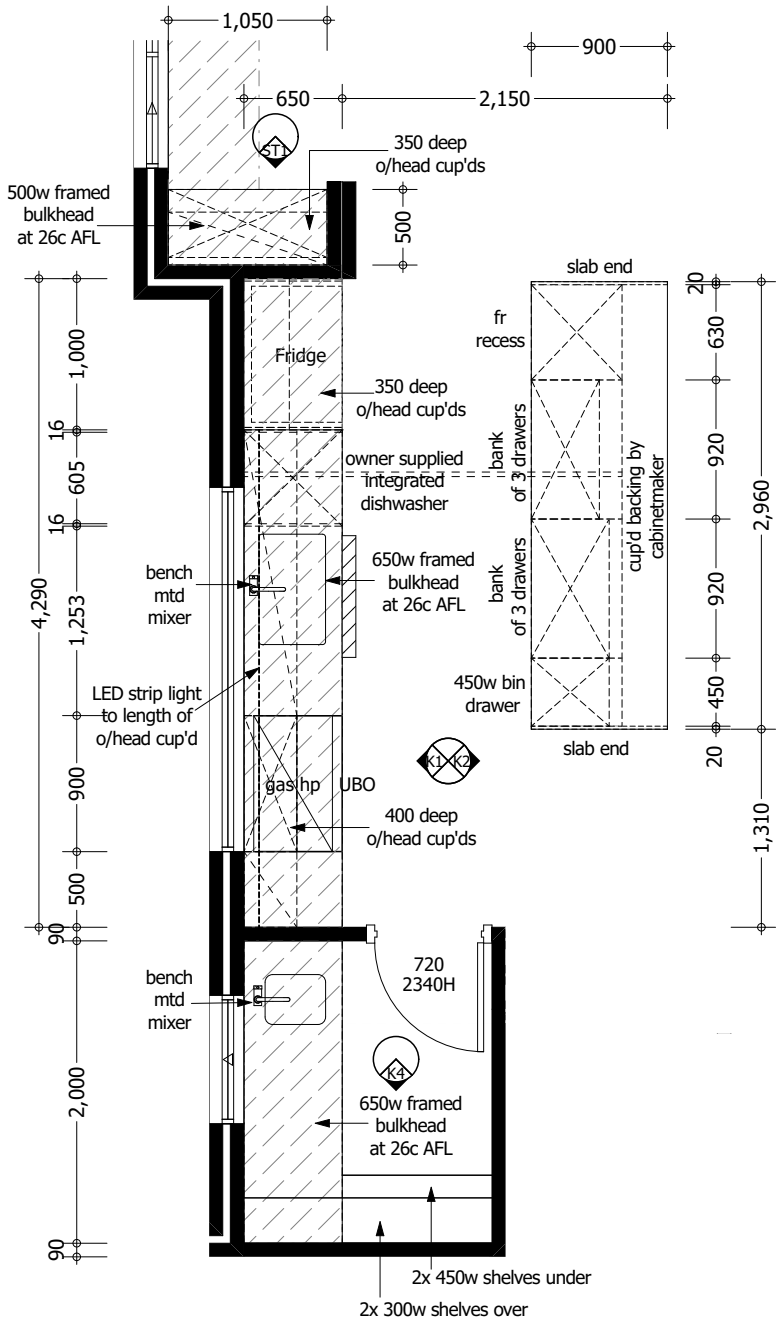
- TOF at $-2c$** : Top of Frame at $-2c$ (indicated by a triangle symbol).
- TOF at $+2c$** : Top of Frame at $+2c$ (indicated by a triangle symbol).
- sliding door sill**: The horizontal base of the door frame.
- 20mm sliding door frame height for floor covering**: The height of the frame above the floor covering.
- 0c**: Centerline of the door frame.
- 1c**: Vertical dimension from the centerline to the base of the frame.
- 25**: Vertical dimension from the base of the frame to the centerline.
- conc footing & slab to eng details**: The concrete foundation and slab extending to engineering details.

Premium Sliding Door Sill Detail

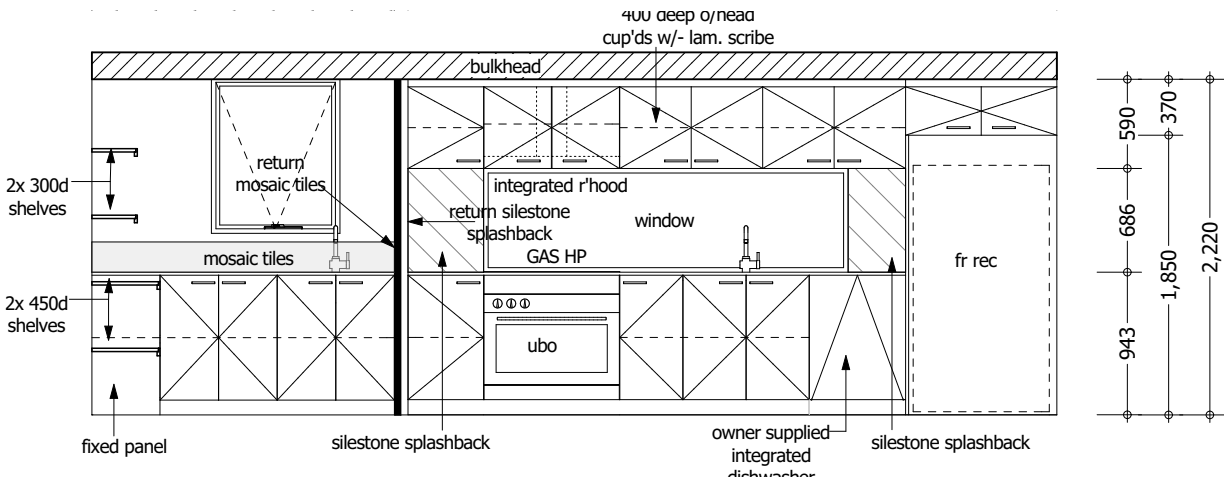
GENERAL NOTES

MITRED TILES THROUGHOUT.

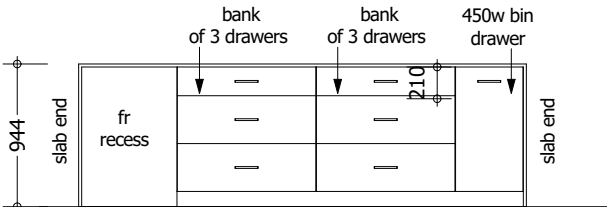
DIMENSIONS FOR CABINETWORK
ARE SUBJECT TO CABINETMAKER
REQUIREMENTS.



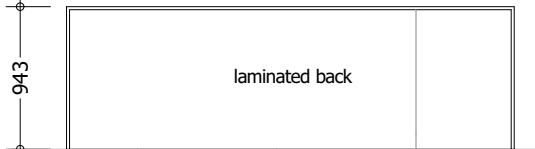
KITCHEN LAYOUT
1:50



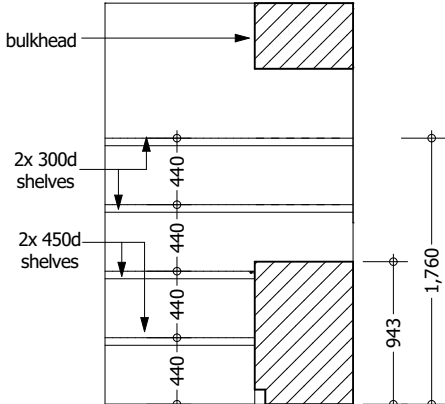
K1 KITCHEN
1:50



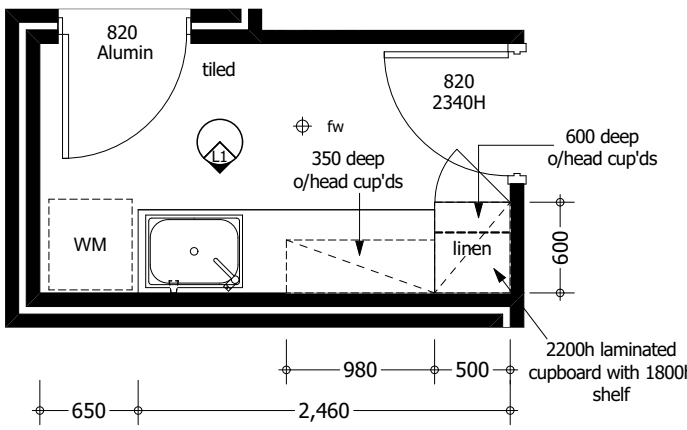
K2 KITCHEN
1:50



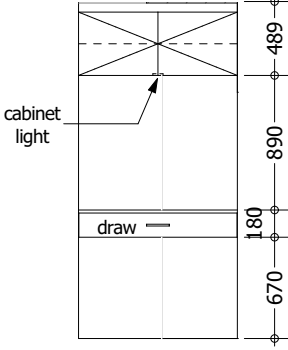
K3 KITCHEN
1:50



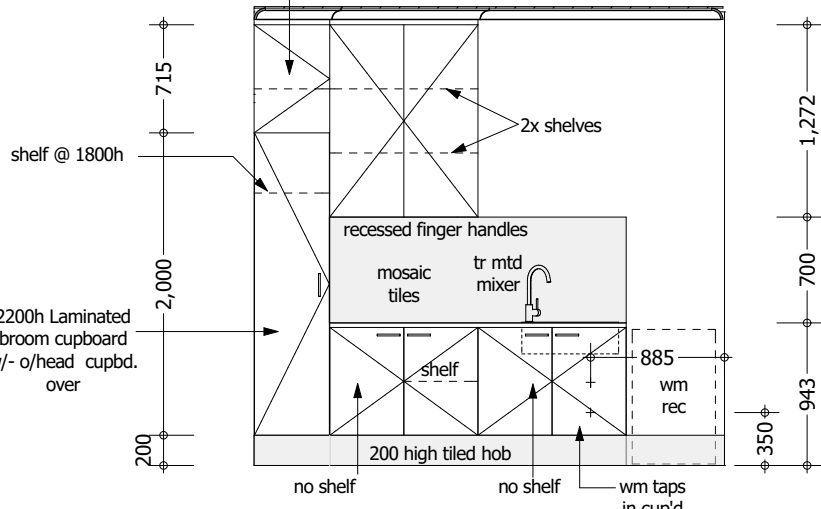
K4 KITCHEN
1:50



LAUNDRY LAYOUT
1:50



ST1 STUDY NOOK
1:50



L1 LAUNDRY
1:50

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COAST
HOMES

PROPOSED RESIDENCE ADDRESS:
59 Bondi Street,
Mt Hawthorn
FOR:
Ryan McSorley &
Jessica Duinmeyer

SIGNATURES:

OWNER: _____

OWNER: _____

BUILDER: _____

DATE: _____

AMENDMENTS:		
10/9/19	Vince	L'dry FFL dropped
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24/1/20	GM	PSVO 4
07/04/20	SS	CV07&8

Custom

SHEET10 OF 14

DRN: Vince

DATE: 8/08/19

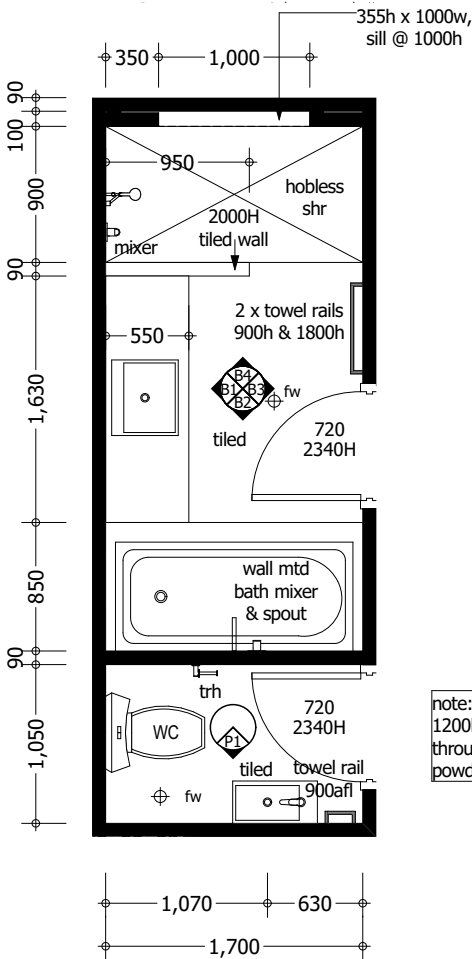
SCALE:1:50, 1:100

CONTRACT NO:
19013

GENERAL NOTES

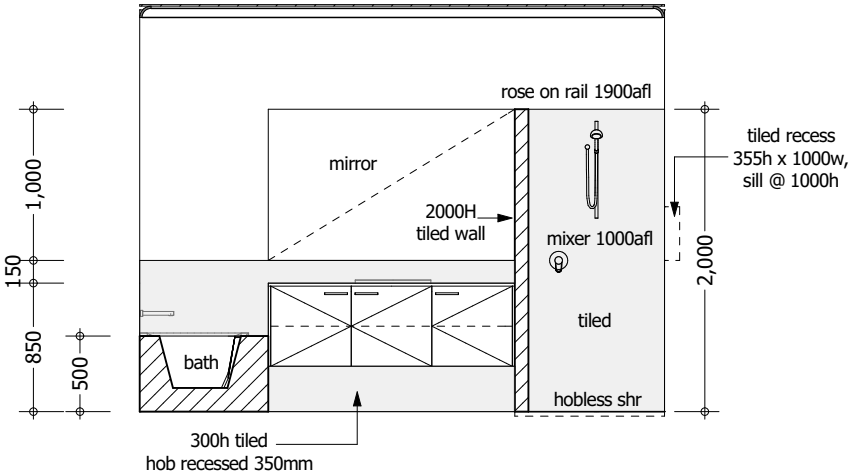
MITRED TILES THROUGHOUT.

DIMENSIONS FOR CABINETWORK
ARE SUBJECT TO CABINETMAKER
REQUIREMENTS.



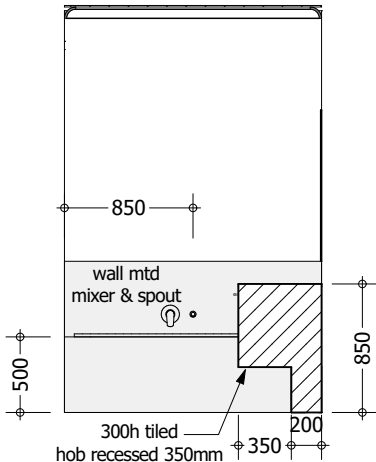
BATH & P'DR LAYOUT

1:50



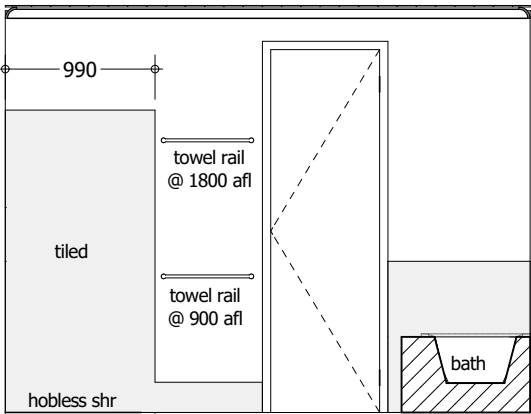
B1 BATHROOM

1:50



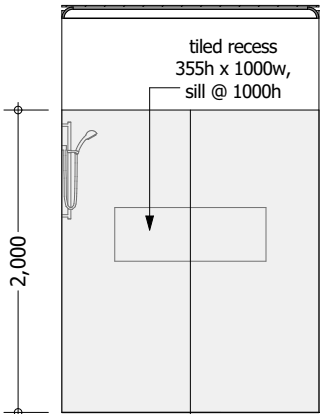
B2 BATHROOM

1:50



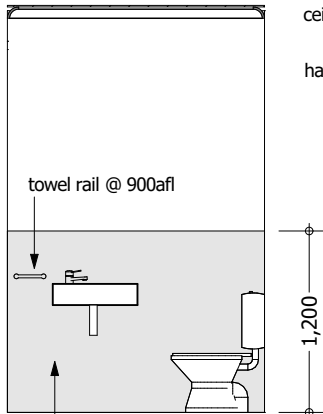
B3 BATHROOM

1:50



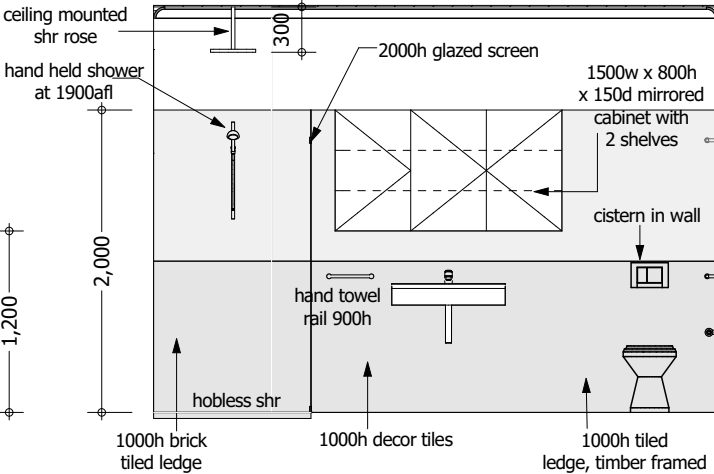
B4 BATHROOM

1:50



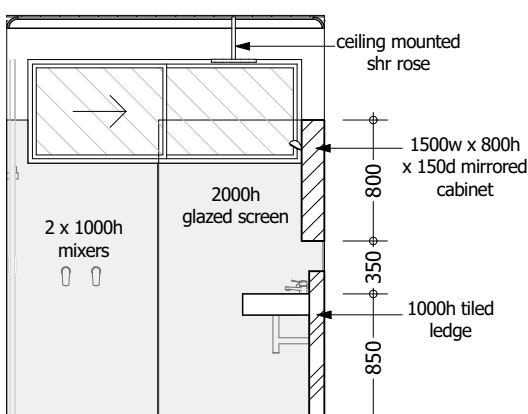
P1 POWDER

1:50



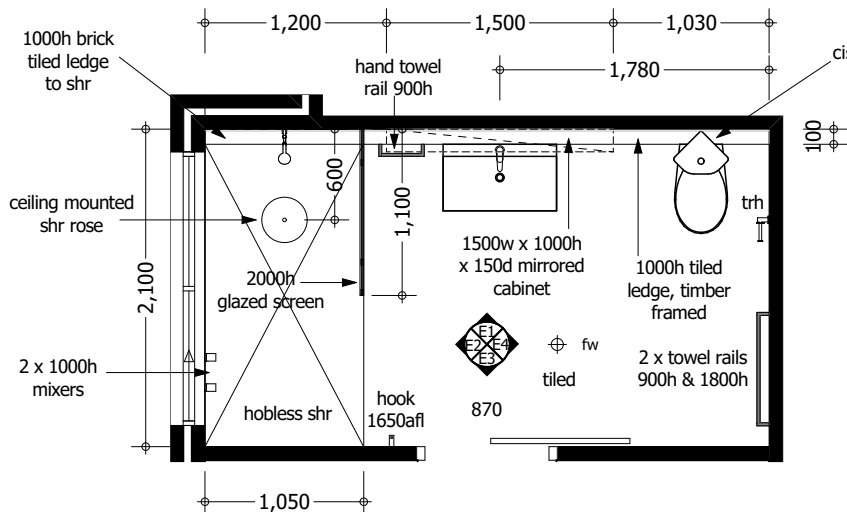
E1 ENSUITE

1:50



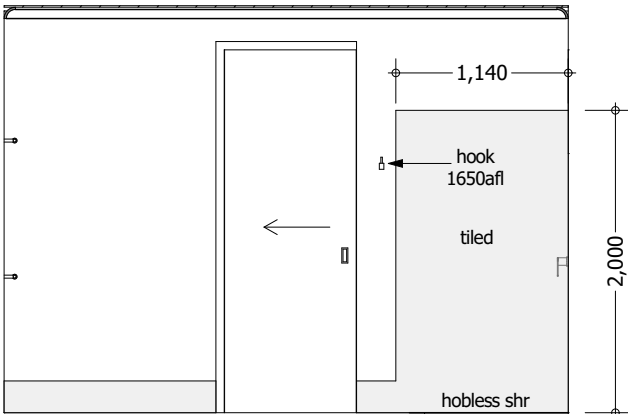
E2 ENSUITE

1:50



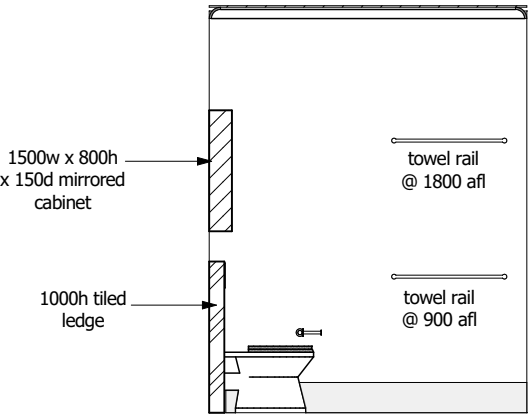
ENSUITE LAYOUT

1:50



E3 ENSUITE

1:50



E4 ENSUITE

1:50

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PROPOSED RESIDENCE ADDRESS:
59 Bondi Street,
Mt Hawthorn
FOR:
Ryan McSorley &
Jessica Duinmeyer

SIGNATURES:

OWNER: _____

OWNER: _____

BUILDER: _____

DATE: _____

AMENDMENTS:

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07/04/20	SS	CV07&8

Custom





SHEET11 OF 14

DRN: Vince

DATE: 8/08/19

SCALE:1:50, 1:100

CONTRACT NO:
19013

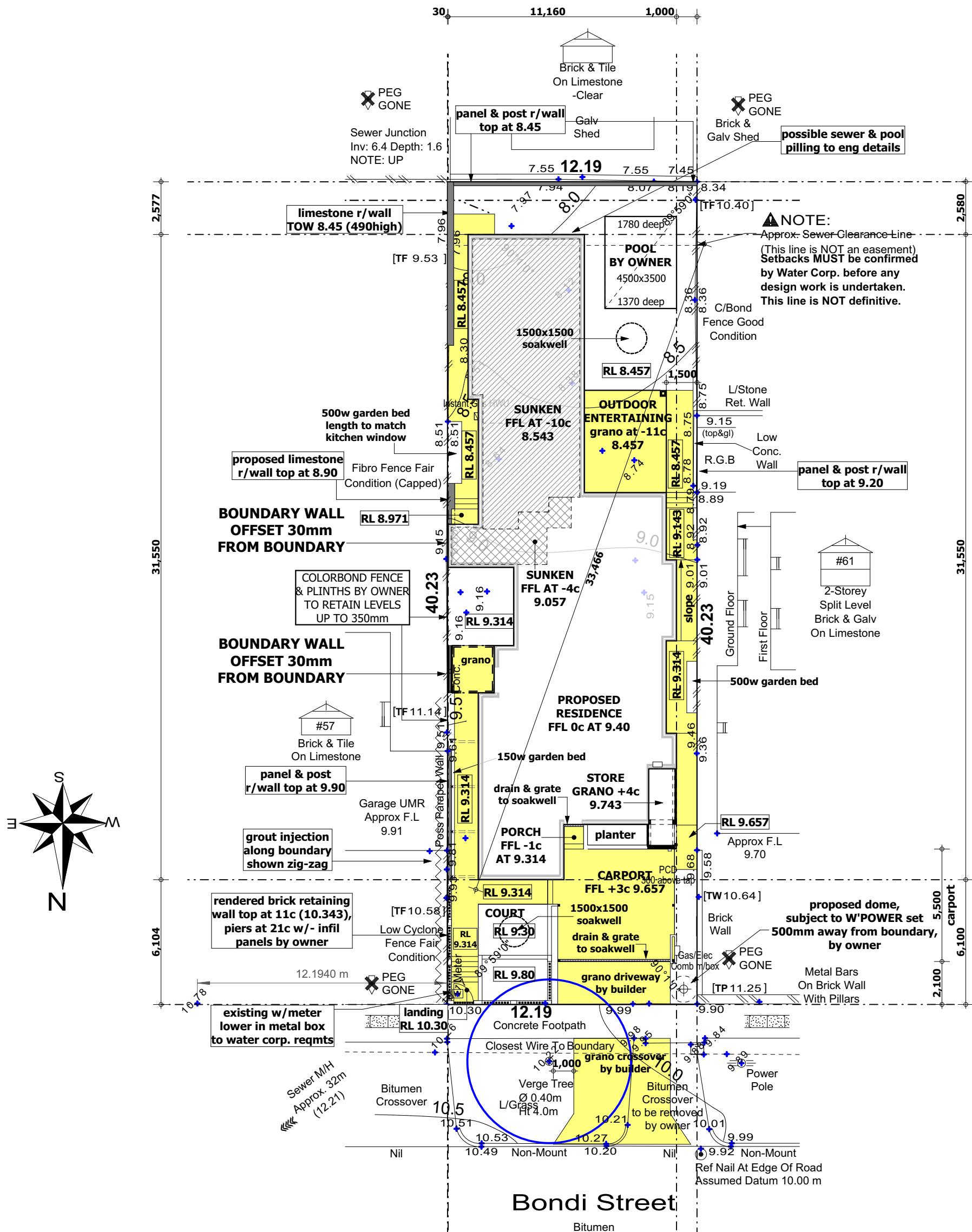
LEGEND		SEC Dome
		Power Pole
		Phone Pits
		Water Conn.
	[TP 10.00]	Top Pillar/Post
	[TW 10.00]	Top Wall
	[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence	

LOT MISCLOSE

0.000 m

SOIL DESCRIPTION

Sand
Refer to Survey



SITE PLAN - PROPOSED

1:200

 NOTE/BEWARE:ADVISE TRADES
O/Head power lines

Scale 1:200



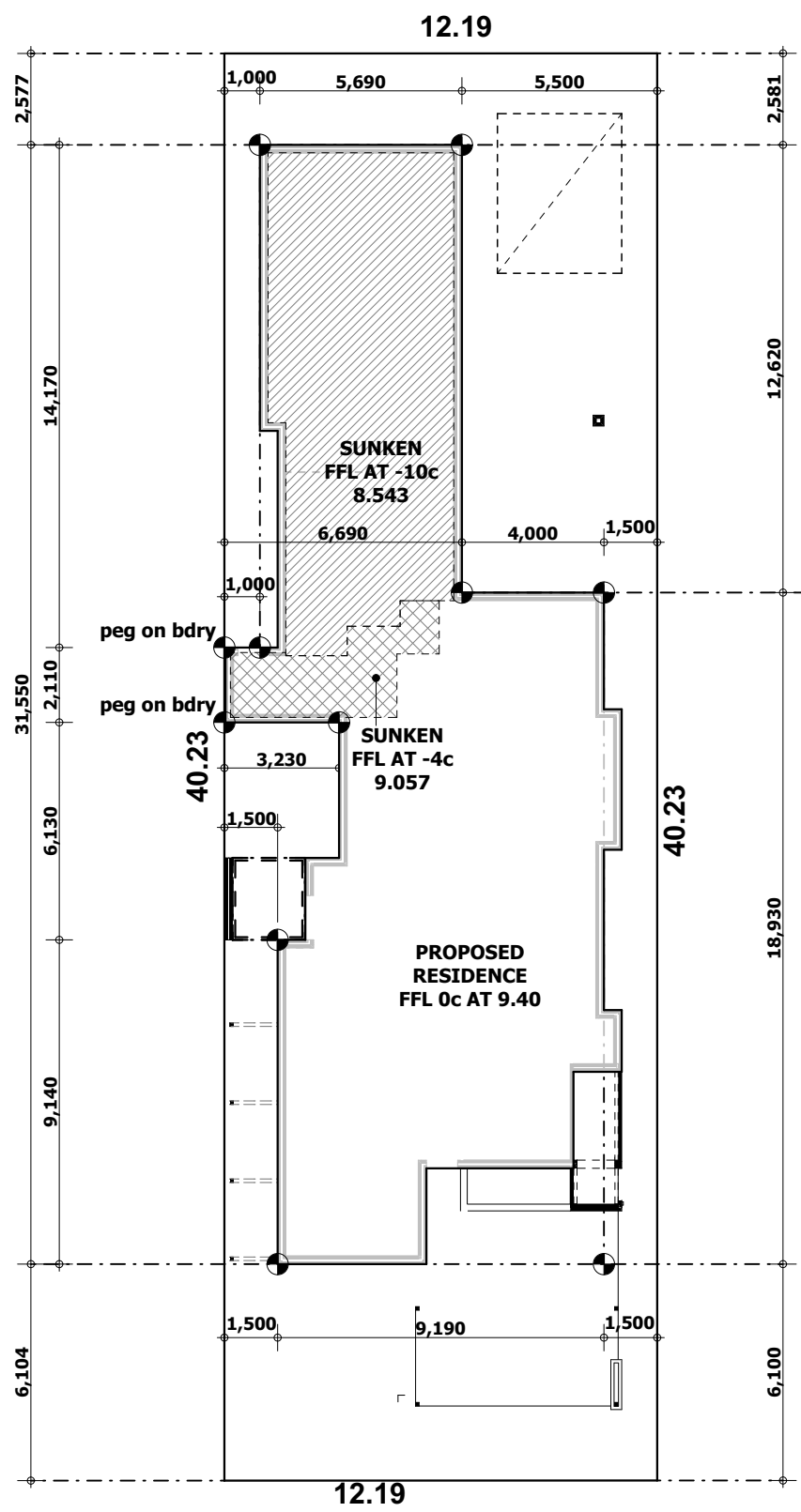
SIGNATURES:		AMENDMENTS:		Custom
OWNER:		10/9/19	Vince	SHEET12 OF 14 DRN: Vince DATE: 8/08/19 SCALE:1:200 CONTRACT NO: 19013
		12/9/19	Vince	
		24/9/19	Vince	
OWNER:		26/9/19	Vince	
		2/10/19	GM	
		28/10/19	GM	
BUILDER:		30/12/19	CW	
		16/1/20	GM	
		17/1/20	GM	
		24/1/20	GM	
DATE:		07/04/20	SS	

PROPOSED RESIDENCE ADDRESS:

PROPOSED RESIDENCE
59 Bondi Street,
Mt Hawthorn

FOR:
Ryan McSorley &
Jessica Duinmeyer

1:200



© copyright



PROPOSED RESIDENCE ADDRESS:
59 Bondi Street,
Mt Hawthorn
FOR:
Ryan McSorley &
Jessica Duinmeyer

SIGNATURES:		AMENDMENTS:		Custom
OWNER:	10/9/19	Vince	L'dry FFL dropped	SHEET 13 OF 14
	12/9/19	Vince	Landscaping	
	24/9/19	Vince	Add screen wall & setout lower roof pitch	DRN: Vince DATE: 8/08/19 SCALE: 1:200
	26/9/19	Vince	Energy qmnts	
	27/10/19	GM	retain amend	
OWNER:	28/10/19	GM	porch, carport & planter amend	CONTRACT NO: 19013
	30/12/19	CW	Variation 1,2,3	
BUILDER:	16/1/20	GM	engineer amendments	
	17/1/20	GM	house setout	
DATE:	29/1/20	GM	PSVO 4	
	07/04/20	SS	CVOT&3	

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may be affecting the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

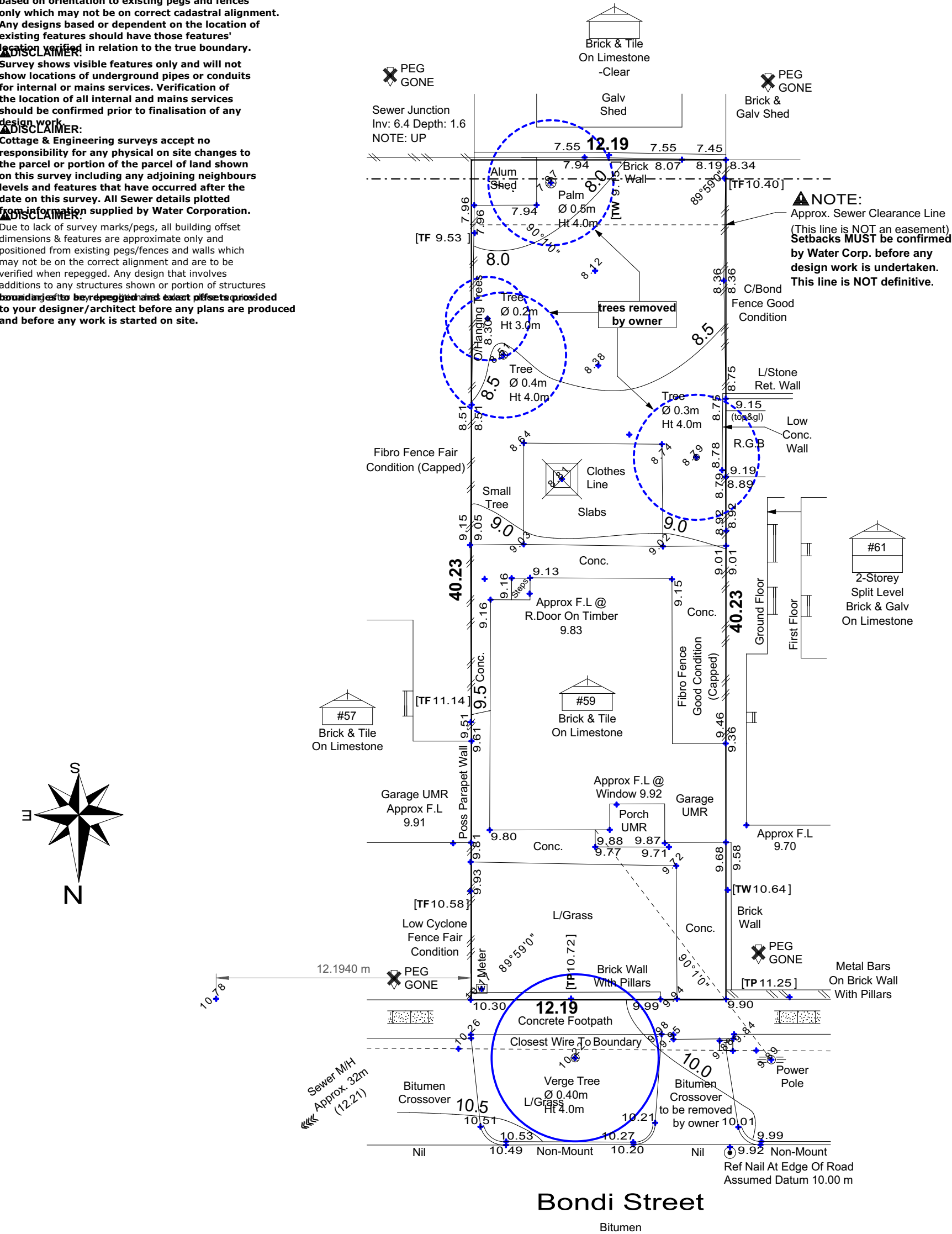
DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

DISCLAIMER:
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment and are to be verified when repegged. Any design that involves additions to any structures shown or portion of structures boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

LOT MISCLOSE
0.000 m

SOIL DESCRIPTION
Sand
Refer to Survey



Custom		AMENDMENTS:		SIGNATURES:		PROPOSED RESIDENCE ADDRESS: 59 Bondi Street, Mt Hawthorn	FOR: Ryan McSorley & Jessica Duinmeyer
SHEET 14	OF 14	10/9/19	Vince	OWNER:			
DRN:	Vince	12/9/19	Vince	OWNER:			
DATE:	8/08/19	24/9/19	Vince	BUILDER:			
SCALE:	1:200, 1:1	26/9/19	Vince	DATE:			
CONTRACT NO:	19013	27/10/19	GM				
		28/10/19	GM				
		30/12/19	CW				
		16/1/20	GM				
		17/1/20	GM				
		24/1/20	GM				
		07/04/20	SS				