

LEGEND		SEC Dome
		Power Pole
		Phone Pits
		Water Conn.
	[TP 10.00]	Top Pillar/Post
	[TW 10.00]	Top Wall
	[TR 10.00]	Top Retaining
	[TF 10.00]	Top Fence

SURVEYOR NOTES:

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
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DISCLAIMER:
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NOTE:
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CLIENT NOTE:

- STORE BY CLIENT.

CONCRETOR NOTE:

- FALL CARPORT SLAB 20mm TOWARDS MAIN GARAGE OPENING.

CONCRETOR / BRICKLAYER NOTE:

- B'WALL ON COMMON STRATA B'DRY HAS BEEN CALCULATED TO BE SET INSIDE THE B'DRY BY 60mm.

PLUMBER NOTE:

- REFER TO PLUMBING PLAN FOR SEWER AND STORMWATER LAYOUTS.

RETAINING CONTRACTOR NOTE:

- TOP OF WALL (TOW) INDICATED FOR CLARITY ONLY.
- ENSURE BOTTOM OF RETAINING IS EMBEDDED SUFFICIENTLY AS REQ. BY ENG. DETAIL.
- REFER TO NEIGHBOURS EXISTING LEVELS OR NOMINATED PAVING / LANDSCAPING LEVELS FOR FULL REQ. RETAINING HEIGHTS.
- REFER TO ENGINEERS DETAILS

BRICKPAVER NOTE:

- BRICK PAVING TO DRIVEWAY & PATHS. EXTENT AS INDICATED.
- WIDTHS OF BRICK PAVED PATHS TO BE APPROX. 1.0m WIDE UNLESS OTHERWISE INDICATED.
- MAINTAIN NOMINATED PAVING LEVELS FOR STORMWATER RUN OFF.

FENCING CONTRACTOR NOTE:

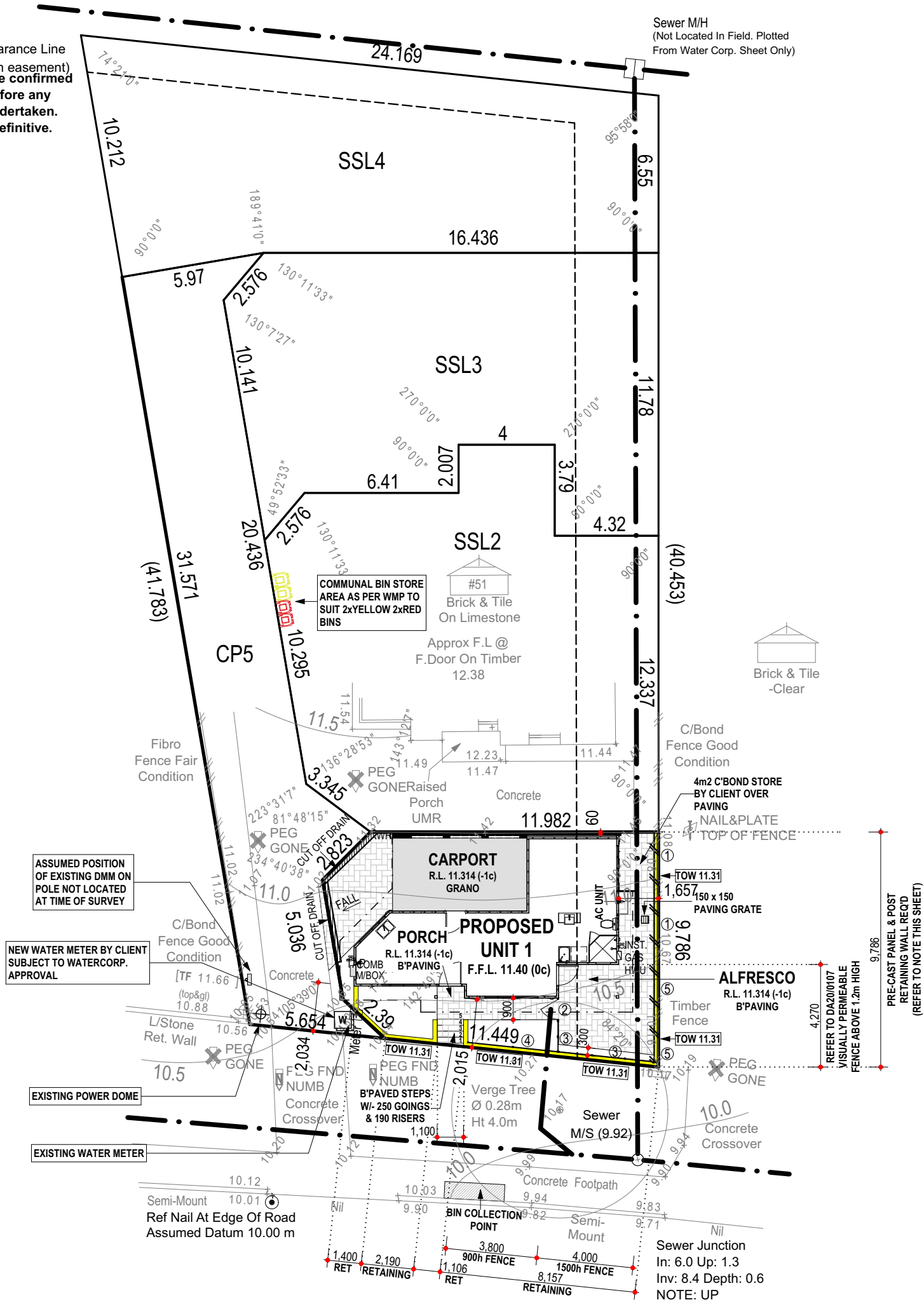
- 1800h C'BOND FENCE W/ CAPPING AS INDICATED BY: ①
- 1500h GATE AS PER ADDENDA INDICATED BY: ②
- 1500h PERMEABLE FENCE (SEE NOTE BELOW) AS INDICATED BY: ③
- 900h PERMEABLE FENCE (SEE NOTE BELOW) AS INDICATED BY: ④
- 1800h PERMEABLE FENCE (SEE NOTE BELOW) AS INDICATED BY: ⑤

FENCING PERMEABILITY NOTE:

AS PER DA 17/0950 CONDITION 3:
- visually permeable means a vertical surface that has:
- Continuous vertical or horizontal gaps of at least 50 mm width occupying not less than one third of its face in aggregate of the entire surface or where narrower than 50mm, occupying at least one half of the face in aggregate as viewed directly from the street;
- or a surface offering equal or lesser obstruction to view.

NOTE:

Approx. Sewer Clearance Line
(This line is NOT an easement)
Setbacks MUST be confirmed by Water Corp. before any design work is undertaken.
This line is NOT definitive.

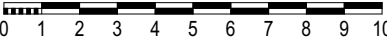


Rinaldo Crescent

Bitumen



Scale 1:200



COTTAGE & ENGINEERING SURVEYS
Licensed Surveyors
87-89 Guthrie Street, Osborne Park, Western Australia.
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998.
Email : perth@cottage.com.au Website: www.cottage.com.au

AREA:	120m²
SHIRE:	COCKBURN
D.PLAN:	78095
C/T VOLUMN:	2950
FOLIO:	933
MSD REF:	461-20/19

ROAD DESCR.:	BITUMEN
KERBING:	RTS
FOOTPATH:	CONC.
SOIL:	RTS
DRAINAGE:	GOOD
VEGETATION:	NILL

GAS:	YES	SSA/OLD AREAS:	OLD A.
WATER:	YES	C/JOB#:	445714
ELECTRICITY:	U/G	DATE:	16 NOV 18
PH/COMMS:	YES	SCALE:	1:200
SEWER:	YES	DRAWN:	M. BATEMAN
COASTAL:	NO		

UNLODGED SS PLAN:	
ORIGINAL LOT:	63 ON PLAN 9338
CP MISCLOSE:	0.002m
SSL 1 MISCLOSE:	0.001m
SSL 2 MISCLOSE:	0.000m

PROPOSED RESIDENCE FOR:
LO PRESTI

ADDRESS:
**SSL I (#51A) RINALDO CRESCENT
COOLBELLUP**

DRAWN:	DMA	SCALE:	1:200
DESIGNED:	SR	SHEET:	2 OF 11
CHECKED:	DMA	SIZE:	A3
DATE:	21/04/20	DEVELOPMENTS	
MODEL:		JOB N°	156556
SPECIAL			

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V001	DMA	15/07/20			
V002	DMA	21/07/20			
JEL	DMA	29/07/20			
V005	DMA	10/08/20			
WM	DMA	25/08/20			

SITE PLAN



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LEGEND		SEC Dome
		Power Pole
		Phone Pits
		Water Conn.
	[TP 10.00]	Top Pillar/Post
	[TW 10.00]	Top Wall
	[TR 10.00]	Top Retaining
	[TF 10.00]	Top Fence

SURVEYOR NOTES:

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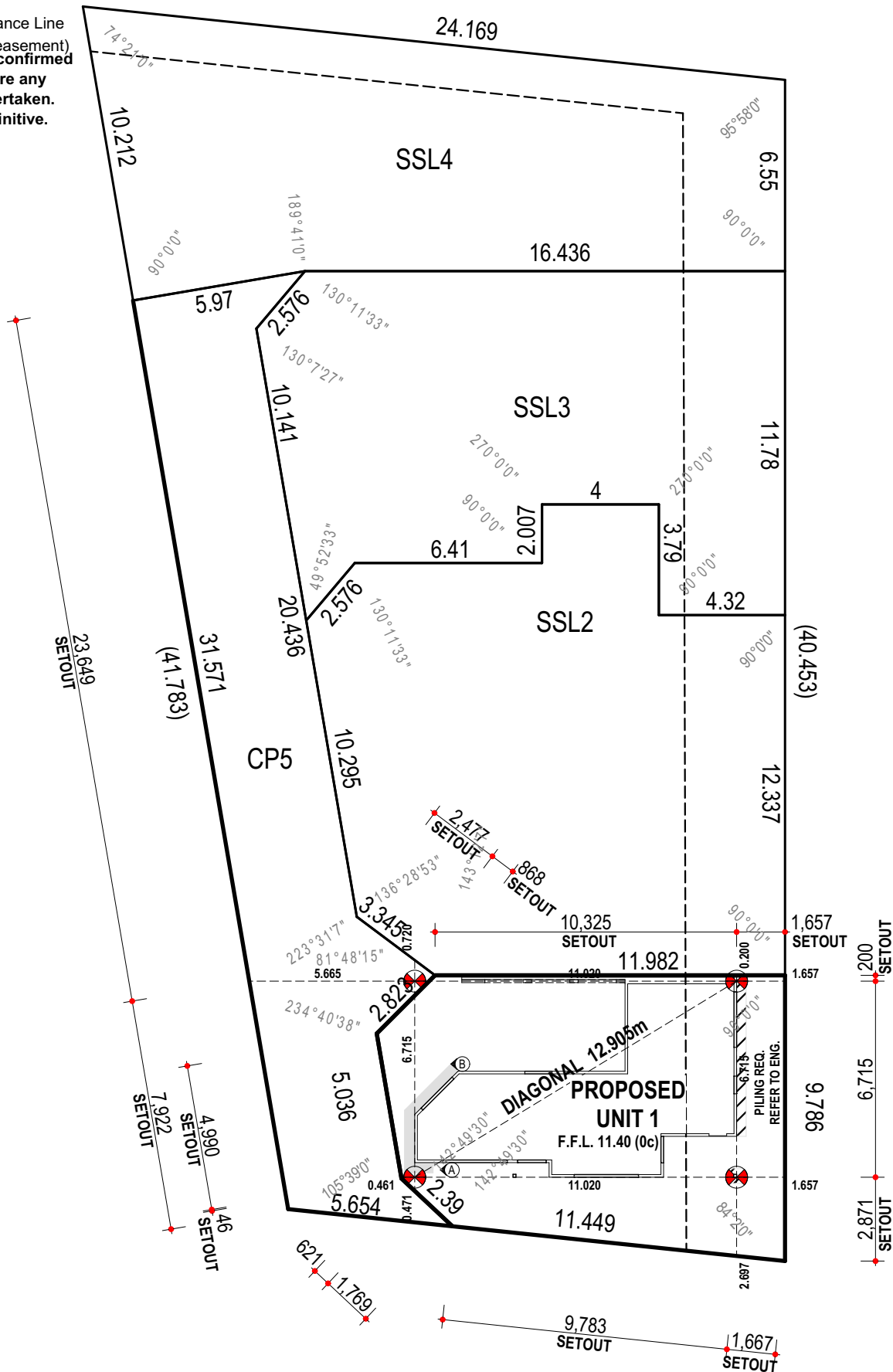
CONCRETOR / BRICKLAYER NOTE:

- B'WALL ON COMMON STRATA B'DRY HAS BEEN CALCULATED TO BE SET INSIDE THE B'DRY BY 60mm.
- TOP OF FOOTING DROPS FROM -172mm TO -857mm BETWEEN A-B (REFER TO FLOOR PLAN & ELEVATIONS)

ENGINEER NOTE:

- PILING TO ENGINEER DETAILS AS INDICATED BY: // // //
- REFER TO ENGINEERS FOR NUMBER AND DEPTH

NOTE:
Approx. Sewer Clearance Line
(This line is NOT an easement)
Setbacks MUST be confirmed by Water Corp. before any design work is undertaken.
This line is NOT definitive.



CONCRETOR NOTE:
SLAB SETOUT TO SLAB
EDGE ONLY.

BUILDER:
CLIENT(S):
WITNESS:

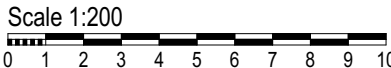
COTTAGE & ENGINEERING SURVEYS
Licensed Surveyors
87-89 Guthrie Street, Osborne Park, Western Australia.
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998.
Email : perth@cottage.com.au Website: www.cottage.com.au

PROPOSED RESIDENCE FOR: LO PRESTI	DRAWN: DMA DESIGNED: SR CHECKED: DMA DATE: 21/04/20 MODEL: SPECIAL	SCALE: 1:200 SHEET: 3 OF 11 SIZE: A3 DEVELOPMENTS JOB N° 156556	GAS: YES WATER: YES ELECTRICITY: U/G PH/COMMS: YES SEWER: YES COASTAL: NO	SSA/OLD AREAS: OLD A. C/JOB#: 445714 DATE: 16 NOV 18 SCALE: 1:200 DRAWN: M. BATEMAN	UNLODGED SS PLAN: ORIGINAL LOT: 63 ON PLAN 9338 CP MISCLOSE: 0.002m SSL 1 MISCLOSE: 0.001m SSL 2 MISCLOSE: 0.000m
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ADDRESS:
SSL 1 (#51A) RINALDO CRESCENT
COOLBELLUP

BUILT AROUND PEOPLE

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All Sub-contractors to check dimensions
& notes prior to initiating works. Any
discrepancies to be notified to the Site
Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.



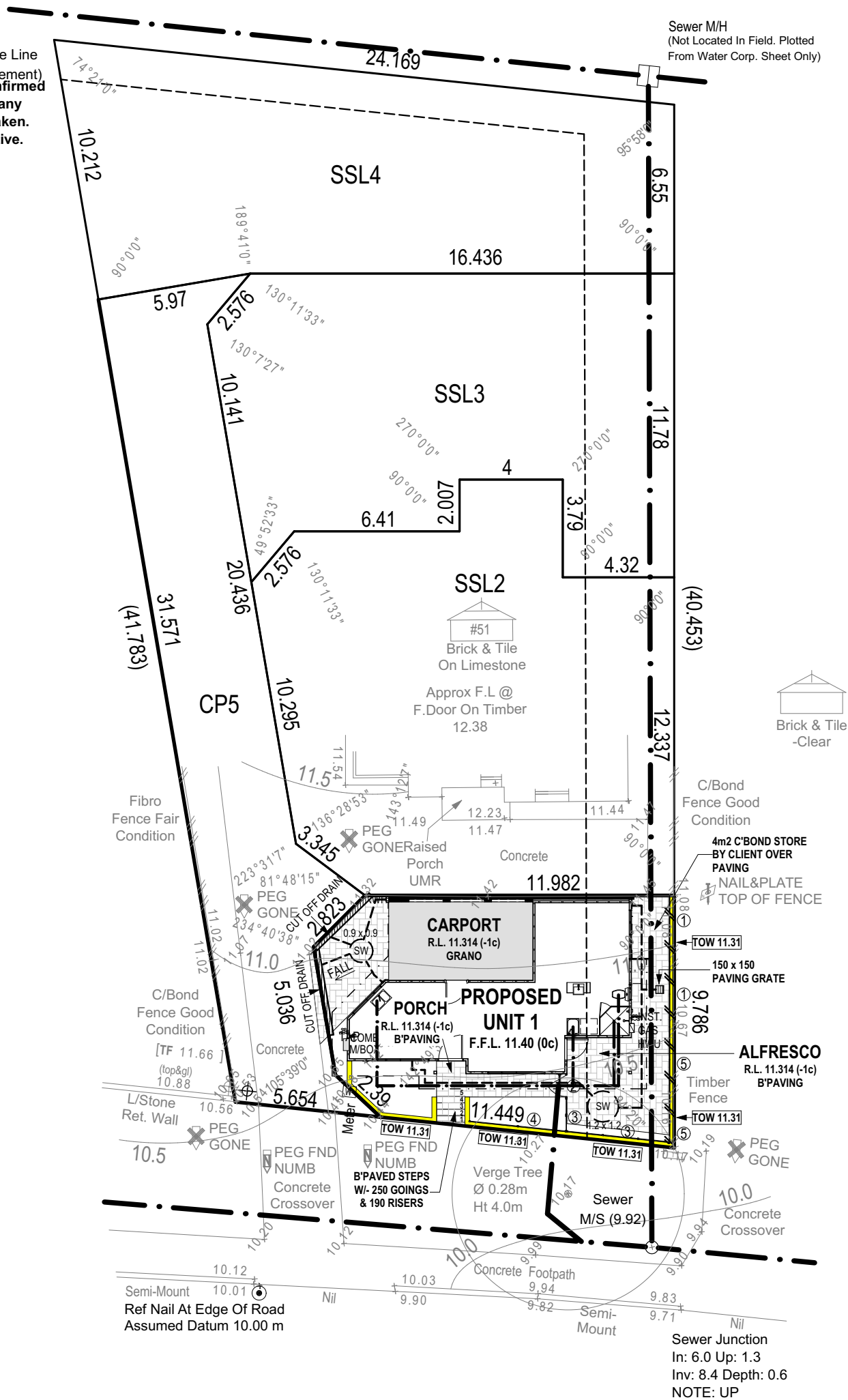
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SURVEYOR NOTES:

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Sewer M/H
(Not Located In Field. Plotted
From Water Corp. Sheet Only)



1:20 YEAR STORM EVENT

Soak Well Type	No.	
SW 900x900	1	0.6 m3
SW 1200x1200	1	1.4 m3
Total Capacity		1.9 m3
Roof Area GF		80.0 m2
Paved Area		20.0 m2

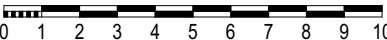
Capacity Required (Area x 0.0130)	1.3 m3
Extra Capacity Provided	0.6 m3

Rinaldo Crescent

Bitumen



Scale 1:200



**COTTAGE & ENGINEERING
SURVEYS**

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Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998.
Email : perth@cottage.com.au Website: www.cottage.com.au

AREA: 120m²	ROAD DESCR.: BITUMEN	GAS: YES	SSA/OLD AREAS: OLD A.	UNLODGED SS PLAN:
SHIRE: COCKBURN	KERBING: RTS	WATER: YES	C/JOB#: 445714	ORIGINAL LOT: 63 ON PLAN 9338
D.PLAN: 78095	FOOTPATH: CONC.	ELECTRICITY: U/G	DATE: 16 NOV 18	CP MISCLOSE: 0.002m
C/T VOLUMN: 2950	SOIL: RTS	PH/COMMS: YES	SCALE: 1:200	SSL 1 MISCLOSE: 0.001m
FOLIO: 933	DRAINAGE: GOOD	SEWER: YES	DRAWN: M. BATEMAN	SSL 2 MISCLOSE: 0.000m
MSD REF: 461-20/19	VEGETATION: NILL	COASTAL: NO		

PROPOSED RESIDENCE FOR:
LO PRESTI

DRAWN:	DMA
DESIGNED:	SR
CHECKED:	DMA
DATE:	21/04/20

SCALE: 1:200
SHEET: 4 OF 11
SIZE: A3
DEVELOPMENT

Issue Name	Drawn	Date
V001	DMA	15/07/20
V002	DMA	21/07/20
JEL	DMA	29/07/20
V005	DMA	10/08/20
WM	DMA	25/08/20

Issue Name	Drawn	Date
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ADDRESS:
SSL I (#51A) RINALDO CRESCENT
COOLBELLUP

MODEL:
SPECIAL

JOB N°
156556

PLUMBING PLAN

BUILT AROUND PEOPLE

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PLANT LEGEND

SYMBOL	NAME	QUANT.	TYPE
	SYZYGIUM 'Resilience' 140mm	15	SHRUB
	NANDINA 'Gulfstream' 140mm	13	SHRUB
	DIANELLA 'Little Rev' 140mm	50	GRASS
	MAGNOLIA GRANDIFLORA 'Little Gem' 45L	1	TREE
	WINTERGREEN COUCH ROLL ON LAWN		

MULCH –
JUNGLE MULCH TO A DEPTH OF 75mm TO ALL GARDENS.

RETICULATION –
DRIP FEED IRRIGATION TO ALL GARDEN BEDS AND POP-UP SPRINKLERS TO LAWN AREA (OFF AUTOMATIC SYSTEM).

TREE PREPARATION AND INSTALLATION

EXCAVATE TREE WELL TO TWICE THE SIZE OF ROOTBALL AND BACKFILL WITH SOIL CONDITIONER AND SITE SOIL.

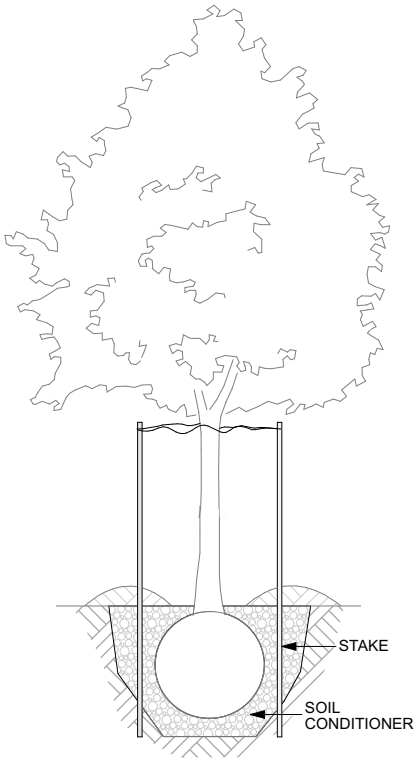
SOIL CONDITIONER SHOULD ALSO BE THOROUGHLY MIXED INTO GROWTH ZONE OF TREES.

INSTALL TWO TREATED PINE STAKES SET 600mm INTO THE GROUND. ENSURE STAKES DO NOT PIERCE ROOT BALL.

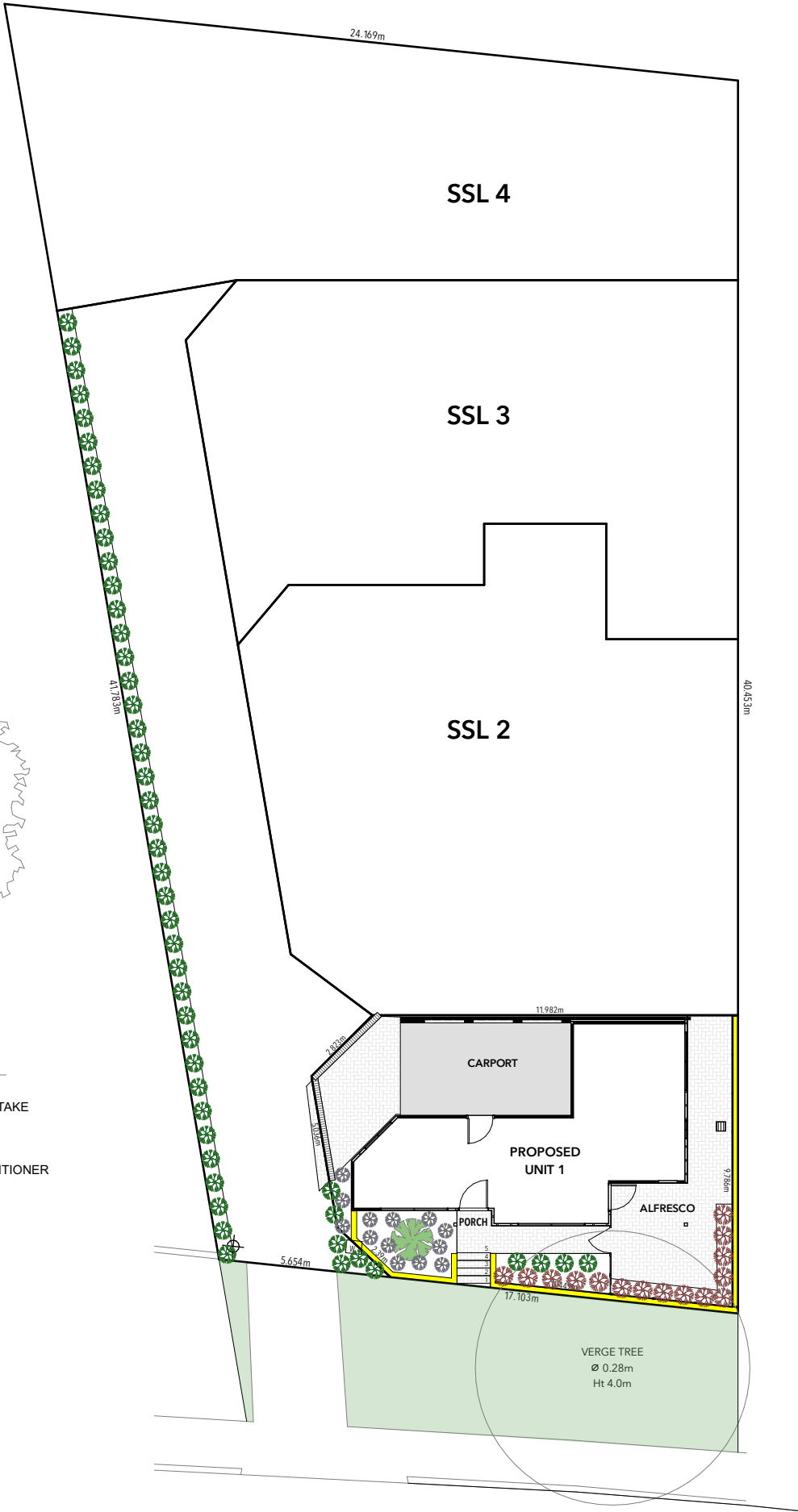
SECURE TRUNK TO STAKES WITH RUBBER TIE AT 2/3 OF TREE HEIGHT TO ENSURE WEIGHT OF CANOPY IS SUPPORTED.

FORM A 100mm HIGH 1500mmØ SITE SOIL WATERING BASIN TO ALL TREES.

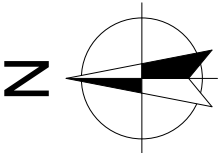
100mm DEPTH MULCH AROUND BASE OF TREE AND CLEAR OF ROOT BALL. ENSURE MULCH COVER TO ENTIRE BASIN AREA.



TREE PLANTING
DETAIL



RINALDO CRESCENT



BUILDER:
CLIENT(S):
WITNESS:

<div>COTTAGE & ENGINEERING SURVEYS</div> <div>Licensed Surveyors</div> <div>87-89 Guthrie Street, Osborne Park, Western Australia. Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998. Email : perth@cottage.com.au Website: www.cottage.com.au</div>	AREA: 120m²	ROAD DESCR.: BITUMEN	GAS: YES	SSA/OLD AREAS: OLD A.	UNLODGED SS PLAN:
	SHIRE: COCKBURN	KERBING: RTS	WATER: YES	C/JOB#: 445714	ORIGINAL LOT:63 ON PLAN 9338
	D.PLAN: 78095	FOOTPATH: CONC.	ELECTRICITY: U/G	DATE: 16 NOV 18	CP MISCLOSE: 0.002m
	C/T VOLUMN: 2950	SOIL: RTS	PH/COMMS: YES	SCALE: 1:200	SSL 1 MISCLOSE:0.001m
	FOLIO: 933	DRAINAGE: GOOD	SEWER: YES	DRAWN: M. BATEMAN	SSL 2 MISCLOSE:0.000m
	MSD REF: 461-20/19	VEGETATION: NILL	COASTAL: NO		

PROPOSED RESIDENCE FOR: LO PRESTI	DRAWN: DMA	SCALE: 1:200	Issue Name	Drawn	Date	Issue Name	Drawn	Date
	DESIGNED: SR	SHEET: 5 OF 11	V001	DMA	15/07/20			
	CHECKED: DMA	SIZE: A3	V002	DMA	21/07/20			
ADDRESS: SSL 1 (#51A) RINALDO CRESCENT COOLBELLUP	DATE: 21/04/20	DEVELOPMENTS	JEL	DMA	29/07/20			
	MODEL:	JOB N°	V005	DMA	10/08/20			
	SPECIAL	156556						
		LANDSCAPING PLAN						

SUMMIT

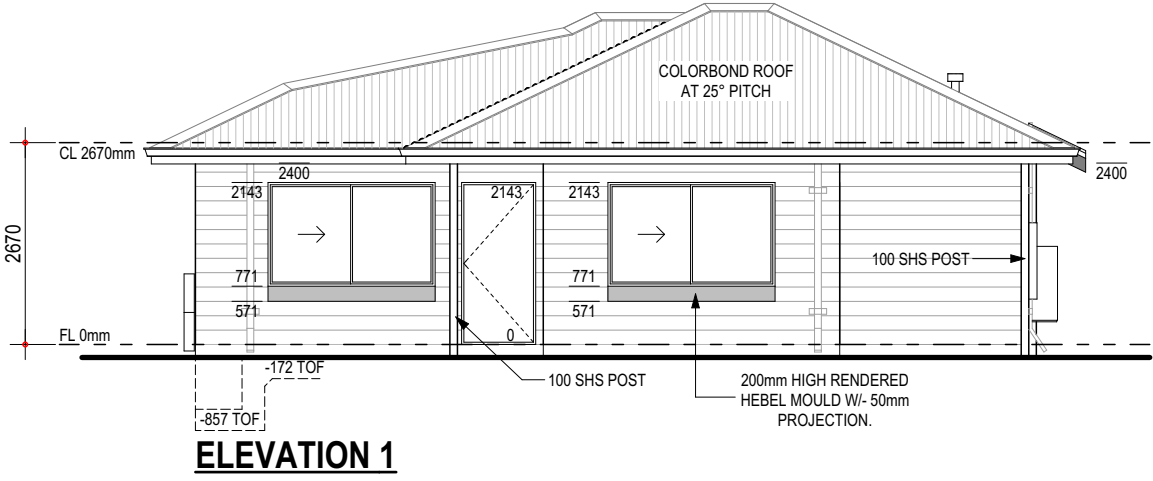
HOMES GROUP

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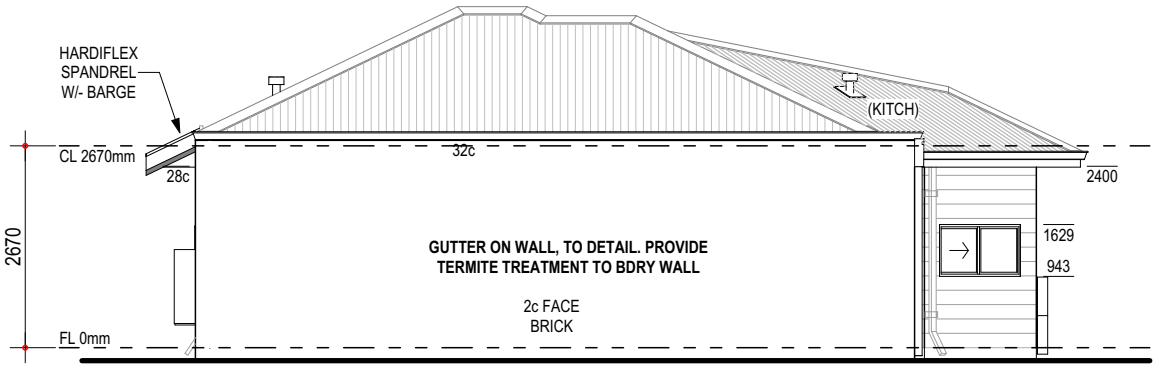
ROOF NOTE
- COLORBOND ROOF, PITCH AT 25° W/- 562W EAVES UNO
- STEEL ROOF IN ACCORDANCE TO NASH STANDARD
- CEILINGS AT 31c + PLATE (2670) UNLESS NOTED OTHERWISE

WINDOW SUPPLIER NOTE
- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288

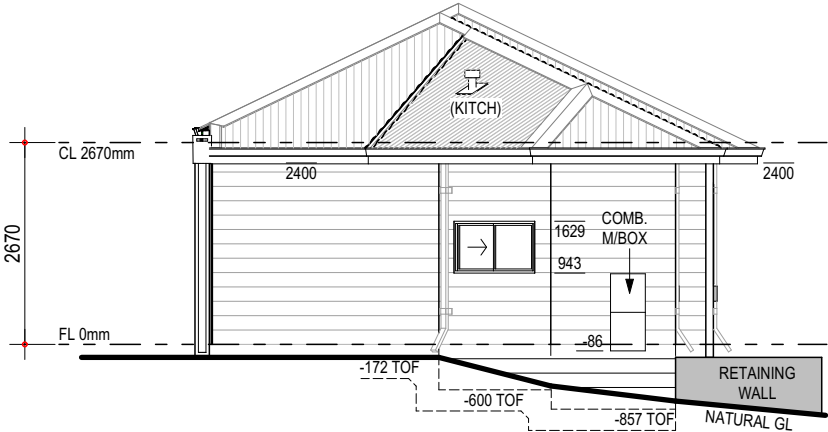
DO NOT SCALE FROM THIS DRAWING
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ALL DIMENSIONS TO BRICKWORK.



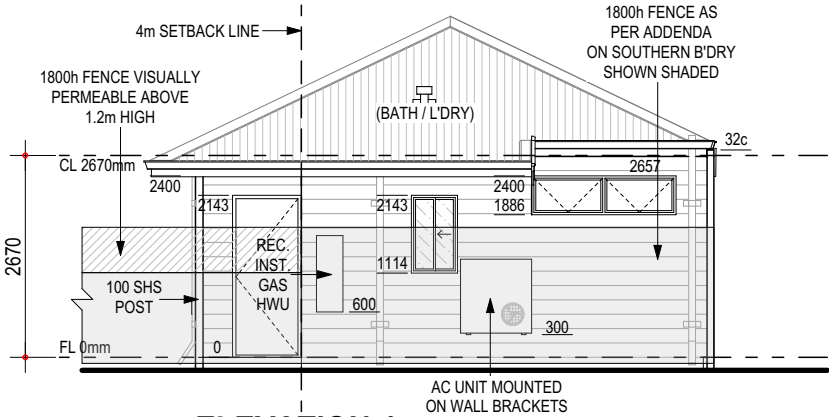
ELEVATION 1



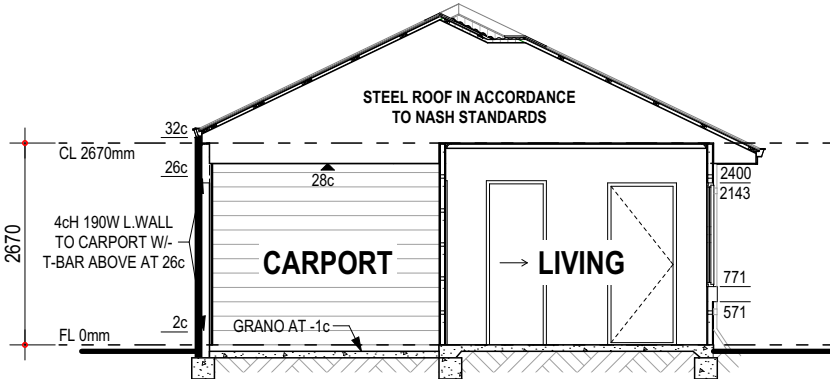
ELEVATION 2



ELEVATION 3



ELEVATION 4



SECTION A-A
SCALE 1:100

BUILDER:	CLIENT(S):	WITNESS:
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

PROPOSED RESIDENCE FOR:
LO PRESTI

ADDRESS:
**SSL I (#51A) RINALDO CRESCENT
COOLBELLUP**

DRAWN: DMA
DESIGNED: SR
CHECKED: DMA
DATE: 21/04/20
MODEL: SPECIAL

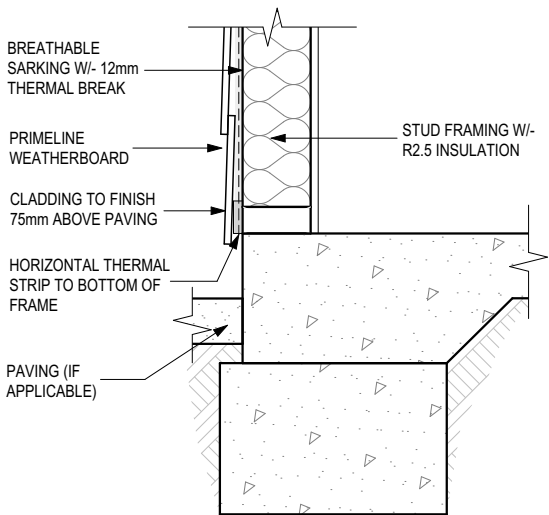
SCALE: 1:100
SHEET: 7 OF 11
SIZE: A3
DEVELOPMENTS
JOB N° 156556

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V001	DMA	15/07/20			
V002	DMA	21/07/20			
JEL	DMA	29/07/20			
V005	DMA	10/08/20			

ELEVATIONS

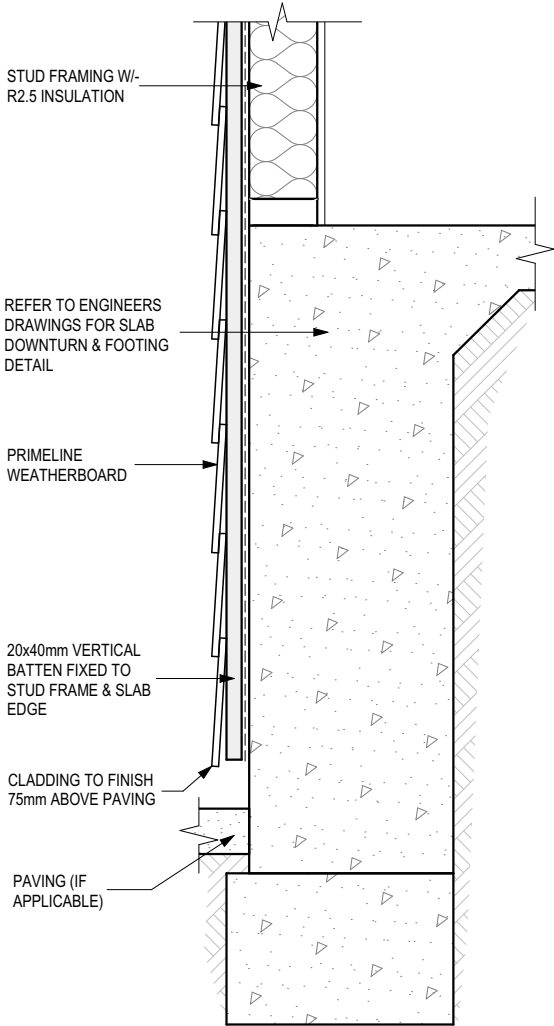


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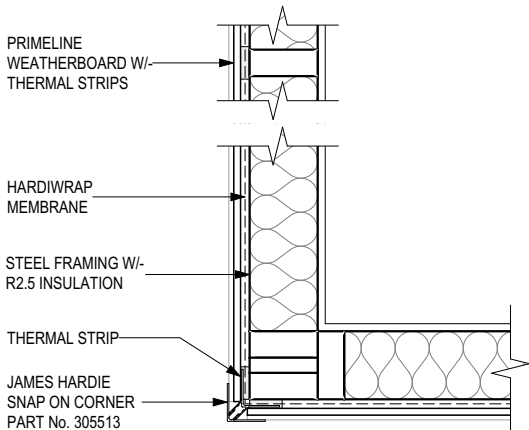
D01 - PRIMELINE WEATHERBOARD CLADDING (FOOTING)

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
 - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 - SCALE 1 : 10



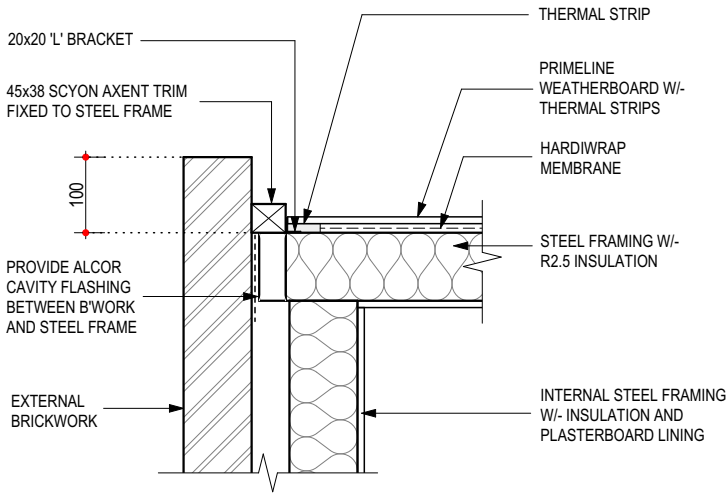
D02 - PRIMELINE WEATHERBOARD CLADDING OVER SLAB EDGE DROP FOOTING

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
 - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 - SCALE 1 : 10



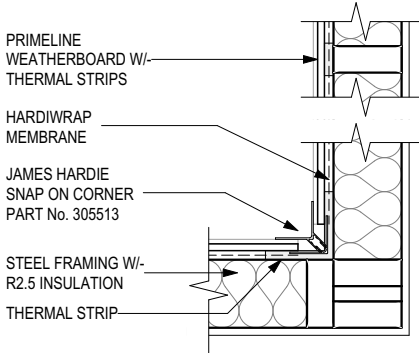
PRIMELINE WEATHERBOARD CLADDING (PLAN VIEW EXTERNAL CORNER)

- NOTES:**
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 - REFER TO ADDENDUM FOR CLADDING SPECIFICATION
 - SCALE 1 : 10



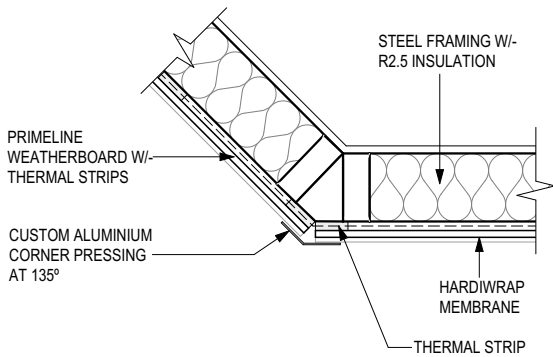
PRIMELINE WEATHERBOARD CLADDING (PLAN VIEW INTERNAL CORNER TO BRICK WORK)

- NOTES:**
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 - REFER TO ADDENDUM FOR CLADDING SPECIFICATION
 - SCALE 1 : 10



PRIMELINE WEATHERBOARD CLADDING (PLAN VIEW INTERNAL CORNER)

- NOTES:**
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 - REFER TO ADDENDUM FOR CLADDING SPECIFICATION
 - SCALE 1 : 10



PRIMELINE WEATHERBOARD CLADDING (PLAN VIEW EXTERNAL 135° CORNER)

- NOTES:**
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 - REFER TO ADDENDUM FOR CLADDING SPECIFICATION
 - SCALE 1 : 10

BUILDER:	-----
CLIENT(S):	-----
WITNESS:	-----

PROPOSED RESIDENCE FOR:
LO PRESTI

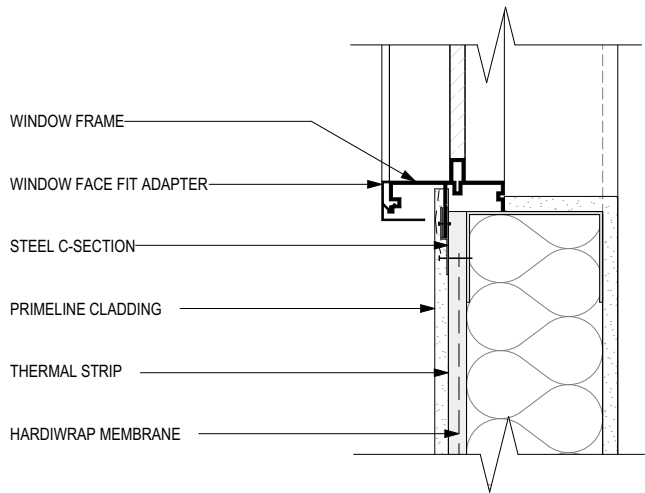
ADDRESS:
SSL I (#51A) RINALDO CRESCENT
COOLBELLUP

DRAWN: DMA
DESIGNED: SR
CHECKED: DMA
DATE: 21/04/20
MODEL: SPECIAL

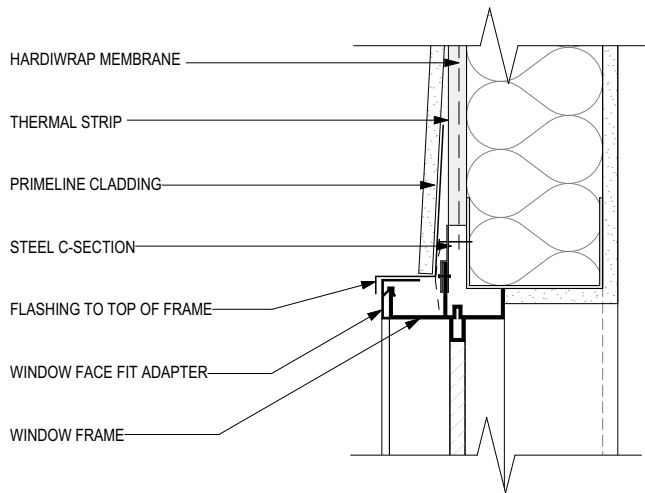
SCALE: AS NOTED
SHEET: 8 OF 11
SIZE: A3
DEVELOPMENTS
JOB N° 156556

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V001	DMA	15/07/20			
V002	DMA	21/07/20			
JEL	DMA	29/07/20			
V005	DMA	10/08/20			

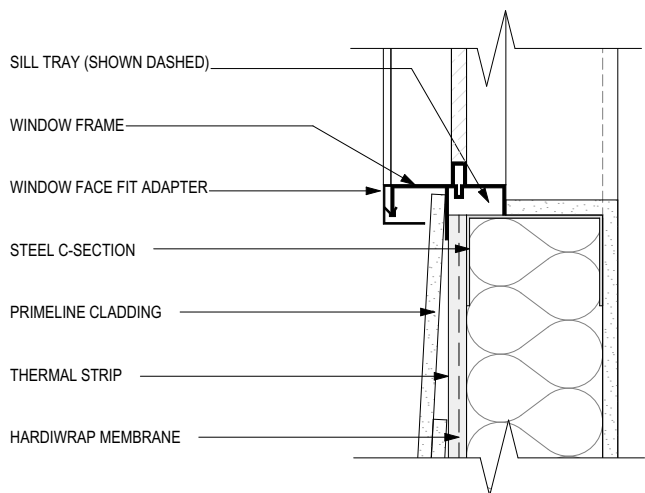
DETAILS



JAMB DETAIL



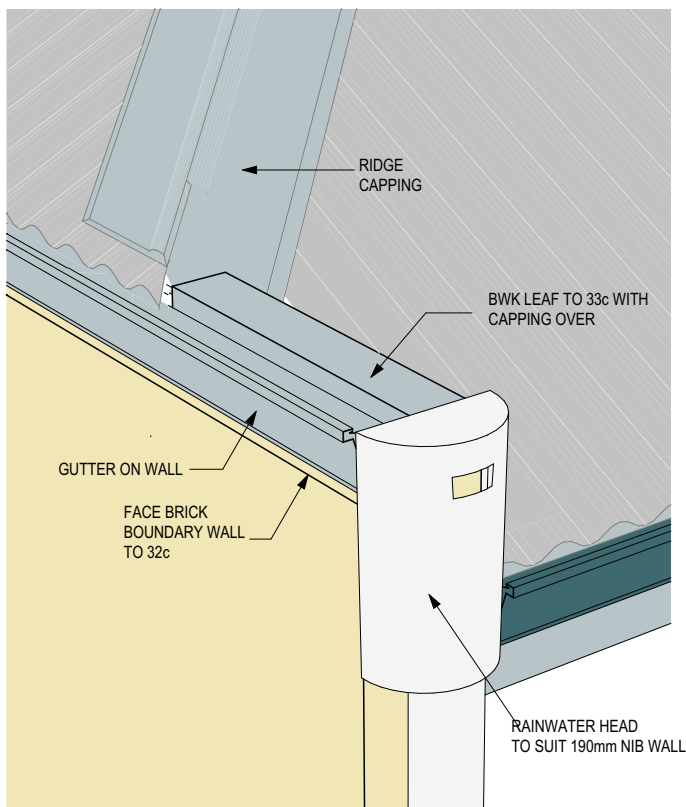
HEAD DETAIL



SILL DETAIL

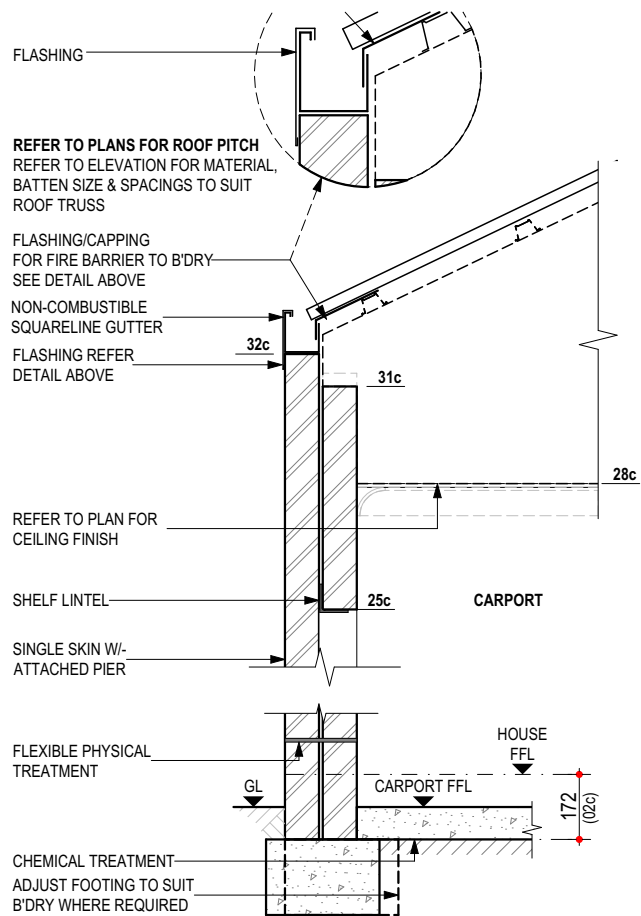
WINDOW DETAILS - CLADDING TO FRAMED WALL

- NOTES:
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 - STEEL FRAMING TO MANUFACTURER'S SPEC.
 - SCALE 1:5



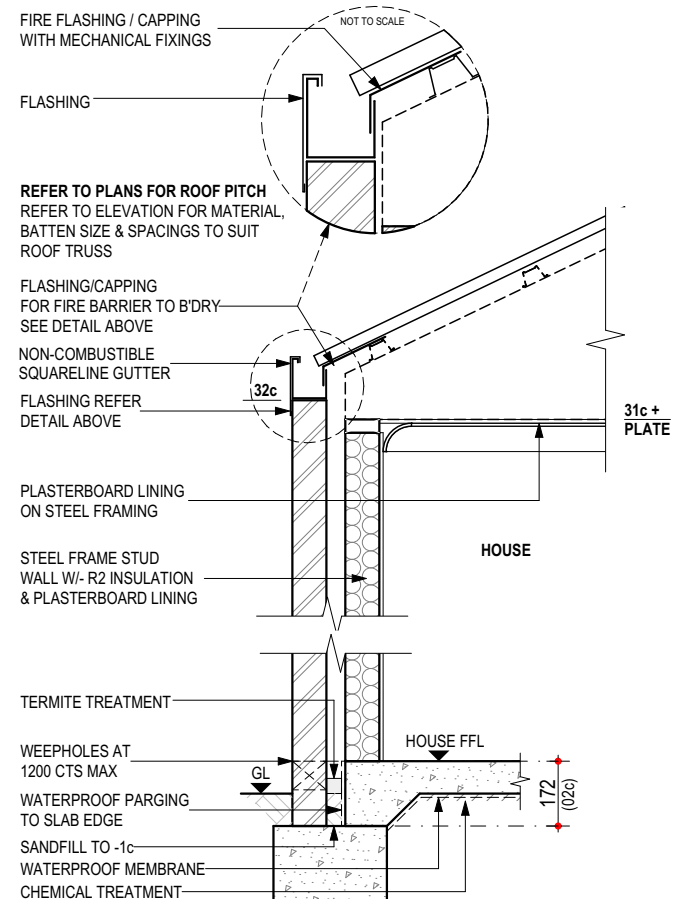
RAINWATER HEAD TO ALFRESCO NIB WALL DETAIL

- N.T.S.



D03 - GUTTER ON WALL/FLASHING DETAIL TO CARPORT W/- TERMITE TREATMENT

- NOTES:
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
 - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 - REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
 - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
 - SCALE 1 : 20



D04 - GUTTER ON WALL / FLASHING DETAIL TO HOUSE W/- TERMITE TREATMENT

- NOTES:
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
 - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 - REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
 - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
 - SCALE 1 : 20

BUILDER:	_____
CLIENT(S):	_____
WITNESS:	_____

PROPOSED RESIDENCE FOR:
LO PRESTI

ADDRESS:
SSL I (#51A) RINALDO CRESCENT
COOLBELLUP

DRAWN:	DMA	SCALE:	AS NOTED
DESIGNED:	SR	SHEET:	9 OF 11
CHECKED:	DMA	SIZE:	A3
DATE:	21/04/20	DEVELOPMENTS	
MODEL:		JOB N°	
SPECIAL		156556	

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V005	DMA	10/08/20			

DETAILS

DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions
& notes prior to initiating works. Any
discrepancies to be notified to the Site
Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

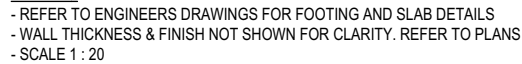
- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

- SHADING DENOTES EXTENT OF TILING
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES
- PROVIDE MITERED TILING THROUGHOUT WHERE APPLICABLE.

REFER TO ADDENDUM FOR FITOUT SPECIFICATION

WET AREAS CONSTRUCTED IN ACCORDANCE WITH
PART 3.8.1 OF B.C.A. (VOL 2)



BUILDER:	/	/
CLIENT(S):	/	/
	/	/
WITNESS:	/	/

BUILT AROUND PEOPLE

SPECIAL


















JOB N°
156556

ROOM LAYOUTS

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ELECTRICAL LEGEND

Ground Floor

Qty	Sym.	Description	Watts	Insulation Penetrations
2		EXTERNAL RECESSED LED DOWN-LIGHT (11w) Perimeter Lighting	22*	*
1		CEILING LIGHT (11w) Class 10	11*	*
1		RECESSED LED DOWN-LIGHT (11w)	11	
1		H.WIRED SMOKE DETECTOR	0	
1		EXHAUST FAN	0	0.045
3		CEILING LIGHT (11w)	33	
1	2 WAY	2 WAY SWITCH	0	
1		W/P SGPO INSTALLED IN HWU	0	
1		SINGLE GPO IN/ON CEILING	0	
2		SINGLE GPO @ NOTED HT	0	
1		NBN LEAD IN CONDUIT (25mm) W/- BLANK FACE PLATE AT 1500 AFL	0	
4		DOUBLE GPO @ NOTED HT	0	
6		DOUBLE GPO @ 200 AFL	0	
1		DOUBLE GPO @ 1500 AFL W/ 20mm CONDUIT FOR PSU CONNECTION	0	
1		CONDUIT FOR NBN (25mm)	0	
1		CONDUIT (32mm)	0	
1		D2 (2x DATA/PHONE) FOR NBN PROVISION @ 1500 AFL	0	
1		C1 (TV) + D2 (PH/DATA)	0	

* NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. Subtotal: 44 0.045 PERIMETER LIGHTING MIN. 40 LUMENS/W.

Total Class 1 Wattage= 44

Wattage Calculations (Class 1)

Story Name	Area	Allowed Wattage	Actual Wattage
0 Ground Floor	41.81 Sqm	209 w	44 w
41.81 sqm		209 w	44 w
PASS			

Recessed Fitting Penetrations (Class 1)

Story Name	Area	Maximum Penetrations	Actual Penetrations
Total Insulation Area	41.81 sqm	0.209 sqm	0.045 sqm
VentsIRangeHoods			0.015 Sqm
41.81 sqm		0.209 sqm	0.060 sqm
0.14 % R4.0 Insulation Adjustment Not Required		PASS	

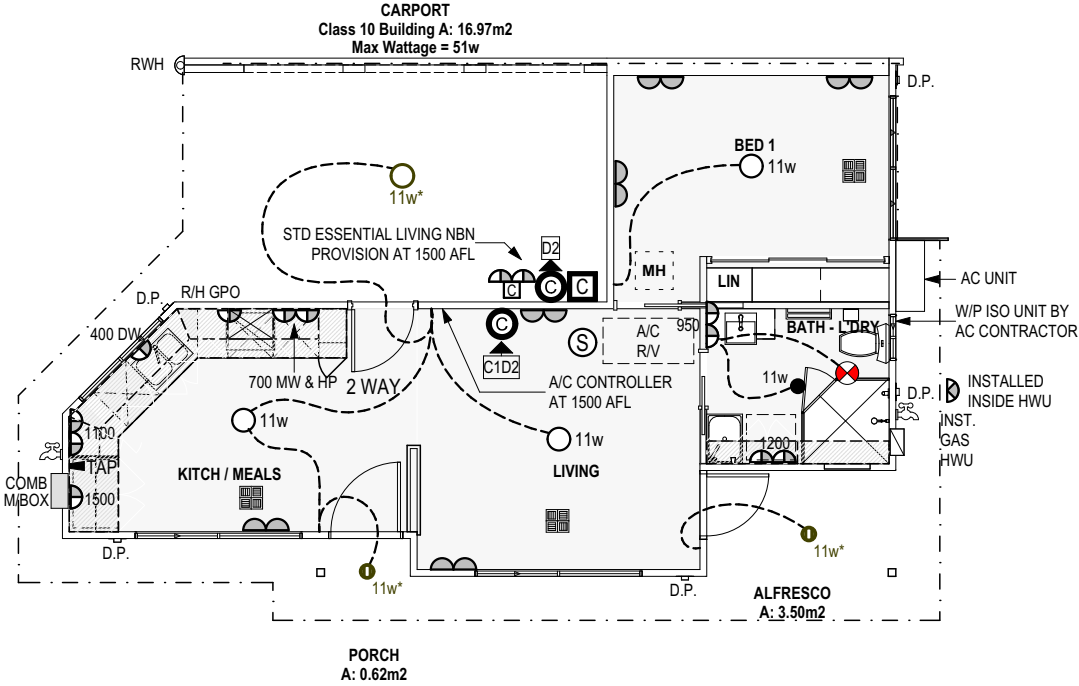
DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO AS3786-2014
- FINAL POSITION OF ELECTRICAL ITEMS SUCH AS GPO'S, LIGHT SWITCHES ETC. MAY VARY ON SITE DUE TO ELECTRICAL REGULATIONS. LIGHT SWITCH HEIGHT TO BE AT 1200 AFL U.N.O.
- NEUTRAL CABLING REQUIRED TO ALL LIGHT SWITCHES.
- ALL EXHAUST FANS TO BE FLUED TO EXTERNAL AIR

CLIENT / PRESTART NOTE

- CLIENT TO CONFIRM W/- ADMINISTRATOR POSITIONING OF ALL TV, PHONE AND ROOM GPO POSITIONS.



LIGHT AND VENTILATION CALC.

Room Name	Opn %	Light	Vent.
2 BED 1			
Min. Ventilation = 0.71 Min. Light= 0.94 Total Area= 9.40			
W03 Awning	100 %	0.98 m2	0.98 m2
Totals		Light 0.98 m2	Vent 0.98 m2
1 LIVING KITCH / MEALS			
Min. Ventilation = 1.90 Min. Light= 2.54 Total Area= 25.36			
W05 Sliding	50 %	3.03 m2	1.52 m2
W02 Sliding	50 %	1.04 m2	0.52 m2
W01 Sliding	50 %	3.03 m2	1.52 m2
D01 Door	100 %	2.10 m2	2.10 m2
Totals		Light 9.20 m2	Vent 5.65 m2

Inputs for Airmovement and Light are Valid



BUILDER:

CLIENT(S):

WITNESS:

/

/

/

PROPOSED RESIDENCE FOR:
LO PRESTI

ADDRESS:
SSL I (#51A) RINALDO CRESCENT
COOLBELLUP

DRAWN: DMA
DESIGNED: SR
CHECKED: DMA
DATE: 21/04/20
MODEL: SPECIAL

SCALE: 1:100
SHEET: 11 OF 11
SIZE: A3
DEVELOPMENTS
JOB N° 156556

Issue Name	Drawn	Date
V001	DMA	15/07/20
V002	DMA	21/07/20
JEL	DMA	29/07/20
V005	DMA	10/08/20

ELECTRICAL PLAN



SUMMIT
HOMES GROUP

BUILD | RENOVATE | DEVELOP