

PRO WEST

SURVEYING

Licensed and Engineering Surveying Consultants

T (08) 9443 8217

E: admin@prowestsurveying.com.au

F (08) 9443 8844

Web: www.prowestsurveying.com.au

Po Box 1463 Osborne Park DC 6916

DWG# 2360001

Feature & Contour Survey of: Lot 1, No. 49 Moorland Street, Doubleview

REVISION: A

SHEET: 1 OF 1

CLIENT: BAILEY & SHERIDAN

PLAN:

LOT AREA: 235m²

SURVEY DATE: 18/09/17

BUILDER: MY HOMES WA

C/T Vol: Fol:

MAP REFERENCE:

BUILDER JOB # 18004

















































HEIGHT DATUM: LOCAL

COASTAL ZONE: >1KM

AUTHORITY: CITY OF STIRLING

HEIGHT CORRECTION TO AHD: +36.74m

SEWER INFORMATION: YES

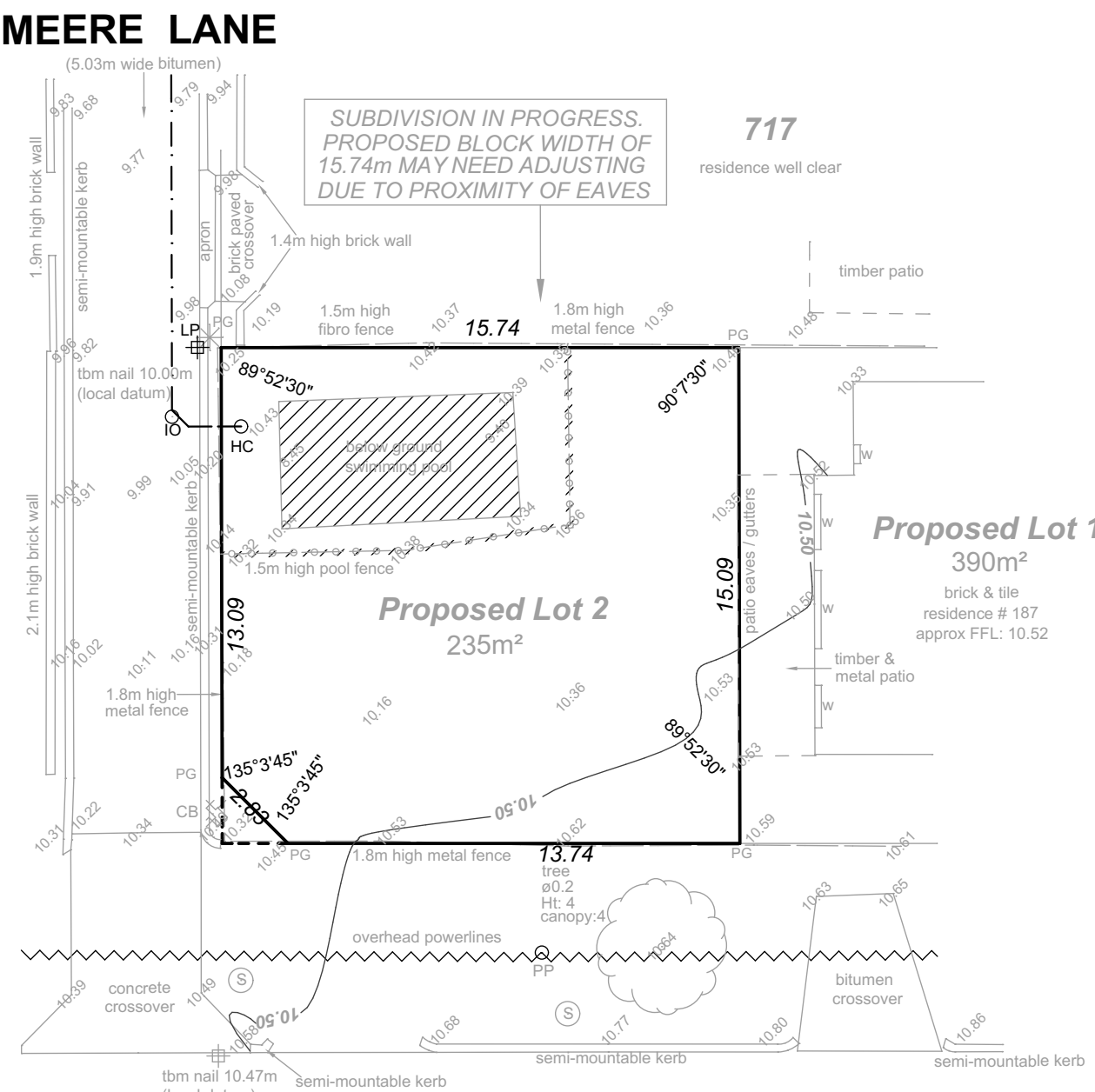
FEATURE SYMBOL LEGEND	
POWER	
CABLE DOME 	POWER POLE  PP
CABLE BOX 	CONSUMER POLE  CP
POWER MARKER 	EXPOSED CABLES  EC
LIGHT POLE  LP	EARTH ROD  ER
WATER	
WATER METER / TAP  M	FIRE HYDRANT  H
TAP 	STOP VALVE  SV
FLUSHING POINT  FP	RETIC VALVE  RV
BORE 	WATER MARKER  W
SEWERAGE	
SEWER M/H (SQUARE LID) 	SEWER M/H (ROUND LID) 
INSPECTION SHAFT  IS	INSPECTION OPENING  IO
HOUSE CONNECTION  HC	
TELSTRA	
TELSTRA PIT 	TELSTRA MANHOLE 
TELSTRA MARKER 	
DRAINAGE	
DRAIN M/H (SQUARE LID) 	DRAIN M/H (ROUND LID)  D
SIDE ENTRY PIT 	DRAINAGE GRATE 
COMBINED ENTRY PIT 	DRAINAGE PIPE  DP
GAS	
GAS METER  GM	GAS VALVE  GV
GAS MARKER 	
SURVEY MARKS	
PEG FOUND  PF	PEG GONE  PG
DRILL HOLE  DH	BENCH MARK 
PEN MARK  PM	NAIL & PLATE  NPL
	NAIL  NAIL
MISCELLANEOUS INFO.	
STREET SIGN  S	SPOT HEIGHT 
 SMALL TREE HEIGHT<5m	 BIG TREE HEIGHT≥ 5m
OVERHEAD POWER LINE 	SEWER LINE  S
FENCE LINE 	WINDOW / OPENING  W

NOTES

(1) ALL FEATURES IN GOOD CONDITION EXCEPT WHERE NOTED

(2) DEVELOPMENT AREA: ESTABLISHED

(3) BOUNDARIES ARE SUBJECT TO MATERIAL CHANGE & WAPC APPROVAL



Existing Site Plan

1:200

MOORLAND STREET

(bitumen)

TO FLAMBOROUGH STREET

WATER: A,TBC

OVERHEAD POWER: L

U/G POWER: NS

TELSTRA: A,TBC

GAS: A,TBC

SEWER: L

SEWER JUNCTION DETAILS

HOUSE CONNECTION (HC) IL: 8.72

UP DISTANCE: 0

DEPTH TO CONNECTION: 1.48


SERVICE NOTES


L: LOCATED NS: NO SERVICE

A: AVAILABLE BUT NOT LOCATED

TBC: LOCATION TO BE CONFIRMED

SCALE 1:200 AT A3 SIZE



 DENOTES EXISTING STRUCTURE TO BE DEMOLISHED


IMPORTANT FEATURE SURVEY NOTES

1. The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A repeg / bdy identification survey is recommended if an accurate position of features / improvements relative to the boundary is required.

2. The sewer junction on this plan has been plotted using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.

3. The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plans. The final repegged dimensions may vary due to adjustments made during field survey.

4. All service information shown of this plan should be verified with the relevant authorities. 5. Pro West Surveying does not accept liability for any loss or damage caused by the use of this feature survey plan for any purpose.



my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: CUSTOM

Job No:18004

Drawing Name: EXISTING SITE PLAN

Sheet No: 1 of 16

Lot Address:LOT 1 (#49) MOORLAND STREET,DOUBLEVIEW

Council: STIRLING

Specification: PEARL

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT

Client Name: BELINDA JULIE SHERIDAN

Date: -----/-----/-----

Signature: -----

Client Name: CAMERON JOHN KENNEDY

Date: -----/-----/-----

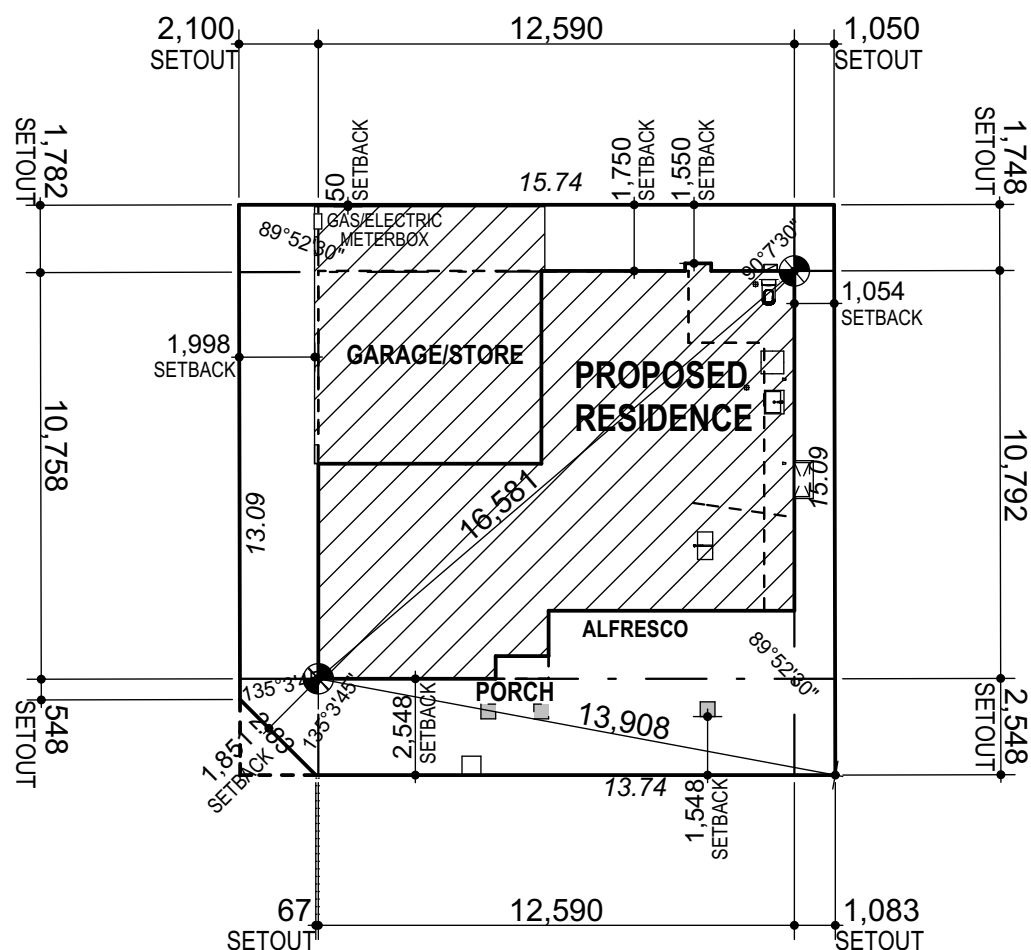
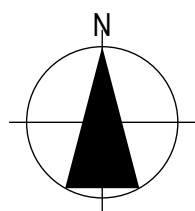
Signature: BAILEY

The home will be built to the dimensions on the working drawings within a reasonable tolerance

This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed or copied without the permission in writing

VARIATIONS

REV NO.	VARIATION	DATE DRN.	BY
1	WORKING DRAWINGS + VR	05/10/17	VN-MJ
2	VO 1	10/04/18	VN-KM
3	VO 2	10/05/18	MP
4	SHIRE AMENDMENTS	17/05/18	MP
5	VO 3	06/07/18	MG
6	VO 4	11/07/18	MG
7	PRESTART	24/07/18	VN-HL
8	VO 5 & 6	13/09/18	MG
9	VO 7	13/09/18	MP
10	DRAFTING FIXES	14/11/18	MG
11	VO 8	05/12/18	MG
12	VO 10	23/08/19	MG



Site Layout

1:200



my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: CUSTOM

Job No:18004

Drawing Name: SITE LAYOUT

Sheet No: 3 of 16

Lot Address: LOT 1 (#49) MOORLAND STREET, DOUBLEVIEW

Council: STIRLING

Specification: PEARL

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Date: -----/-----/-----

Signature: -----

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Date: -----/-----/-----

Signature: BAILEY

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9	VO 7	13/09/18	MP
10	DRAFTING FIXES	14/11/18	MG
11	VO 8	05/12/18	MG
12	VO 10	23/08/19	MG

31c CEILINGS TO GROUND FLOOR & 28c CEILINGS TO UPPER FLOOR UNLESS OTHERWISE NOTED

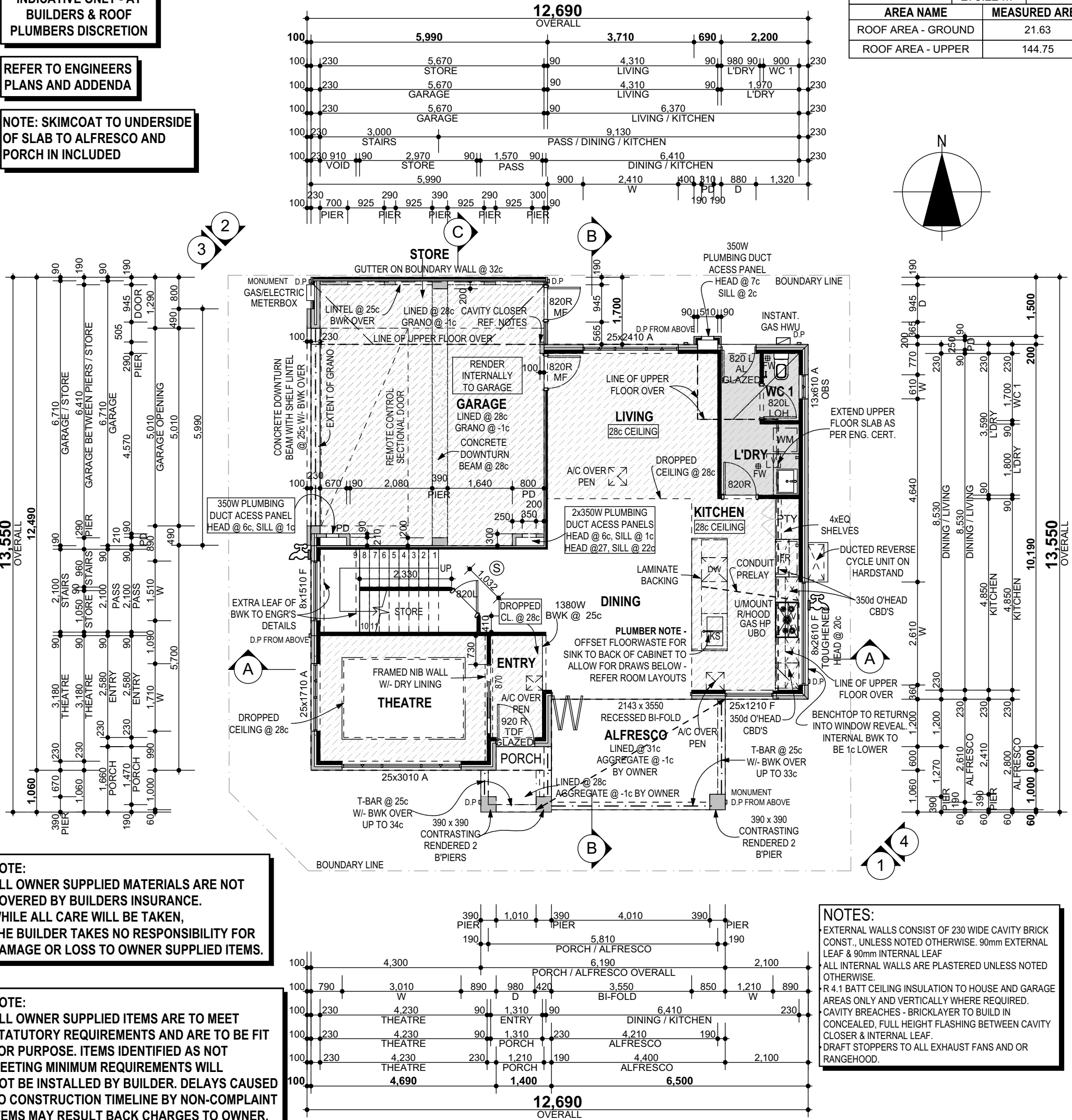
DOWNPIPE LOCATION INDICATIVE ONLY - AT BUILDERS & ROOF PLUMBERS DISCRETION

REFER TO ENGINEERS PLANS AND ADDENDA

NOTE: SKIMCOAT TO UNDERSIDE OF SLAB TO ALFRESCO AND PORCH IN INCLUDED

NOTE: PROTECTIVE COATING TO CONCRETE FLOORING TO THEATRE, LIVING, KITCHEN, DINING, ENTRY, STUDY NOOK & GF STAIRCASE LANDING

Area Name	Measured Area	Perimeter
ALFRESCO	12.32	14.40
BALCONY	12.71	15.18
GARAGE/STORE	40.95	25.78
GROUND FLOOR	93.35	47.16
PORCH	2.74	6.90
UPPER FLOOR	113.15	45.16
	275.22 m ²	
AREA NAME		MEASURED AREA
ROOF AREA - GROUND		21.63
ROOF AREA - UPPER		144.75



NOTE:
ALL OWNER SUPPLIED MATERIALS ARE NOT COVERED BY BUILDERS INSURANCE. WHILE ALL CARE WILL BE TAKEN, THE BUILDER TAKES NO RESPONSIBILITY FOR DAMAGE OR LOSS TO OWNER SUPPLIED ITEMS.

NOTE:
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NOTES:
EXTERNAL WALLS CONSIST OF 230 WIDE CAVITY BRICK CONST., UNLESS NOTED OTHERWISE. 90mm EXTERNAL LEAF & 90mm INTERNAL LEAF
ALL INTERNAL WALLS ARE PLASTERED UNLESS NOTED OTHERWISE.
R 4.1 BATT CEILING INSULATION TO HOUSE AND GARAGE AREAS ONLY AND VERTICALLY WHERE REQUIRED.
CAVITY BREACHES - BRICKLAYER TO BUILD IN CONCEALED, FULL HEIGHT FLASHING BETWEEN CAVITY CLOSER & INTERNAL LEAF.
DRAFT STOPPERS TO ALL EXHAUST FANS AND OR RANGEHOOD.

Ground Floor Plan

1:100



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WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: CUSTOM

Job No:18004

Drawing Name: GROUND FLOOR PLAN

Sheet No: 4 of 16

Lot Address: LOT 1 (#49) MOORLAND STREET, DOUBLEVIEW

Council: STIRLING

Specification: PEARL

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Date: -----/-----/-----

Signature: -----

Client Name: CAMERON JOHN KENNEDY

Date: -----/-----/-----

Signature: BAILEY

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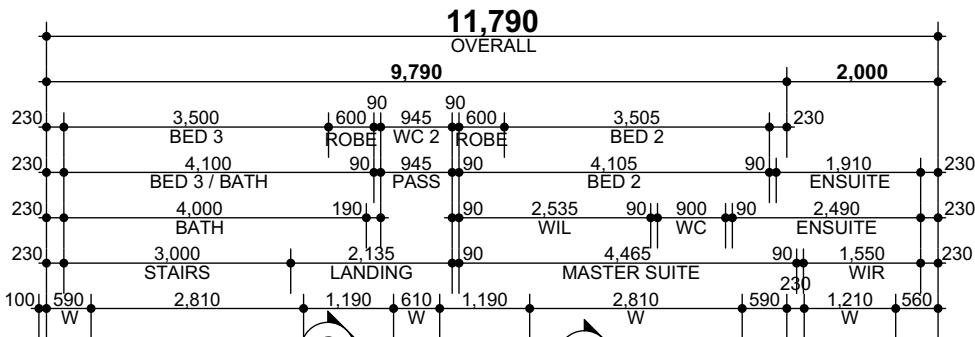
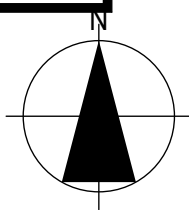
REV NO.	VARIATION	DATE DRN.	BY
1	WORKING DRAWINGS + VR	05/10/17	VN-MJ
2	VO 1	10/04/18	VN-KM
3	VO 2	10/05/18	MP
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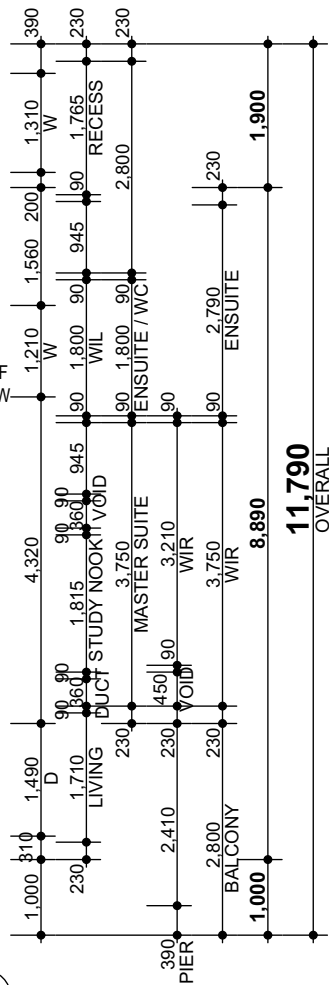
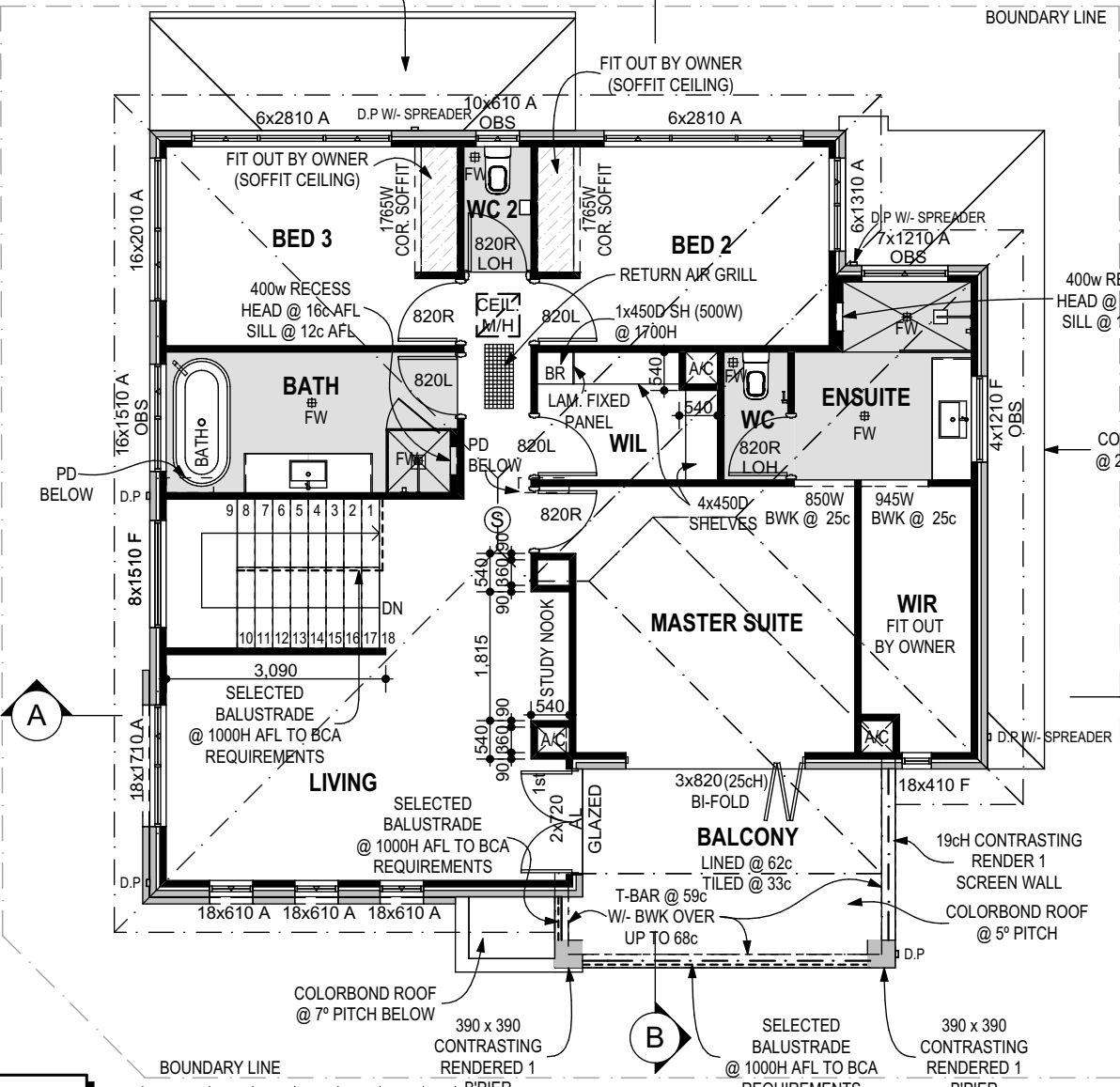
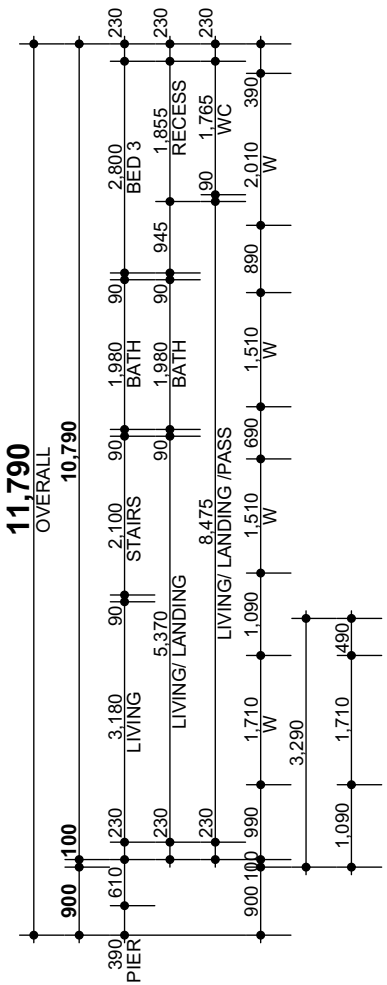
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DRAFT STOPPERS TO ALL EXHAUST FANS AND OR RANGEHOOD.

Upper Floor Plan

1:100



my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: CUSTOM

Job No:18004

Drawing Name: UPPER FLOOR PLAN

Sheet No: 5 of 16

Lot Address: LOT 1 (#49) MOORLAND STREET, DOUBLEVIEW

Council: STIRLING

Specification: PEARL

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT

Client Name: BELINDA JULIE SHERIDAN

Date: -----/-----/-----

Signature: -----

Client Name: CAMERON JOHN KENNEDY

Date: -----/-----/-----

Signature: BAILEY

The home will be built to the dimensions on the working drawings within a reasonable tolerance

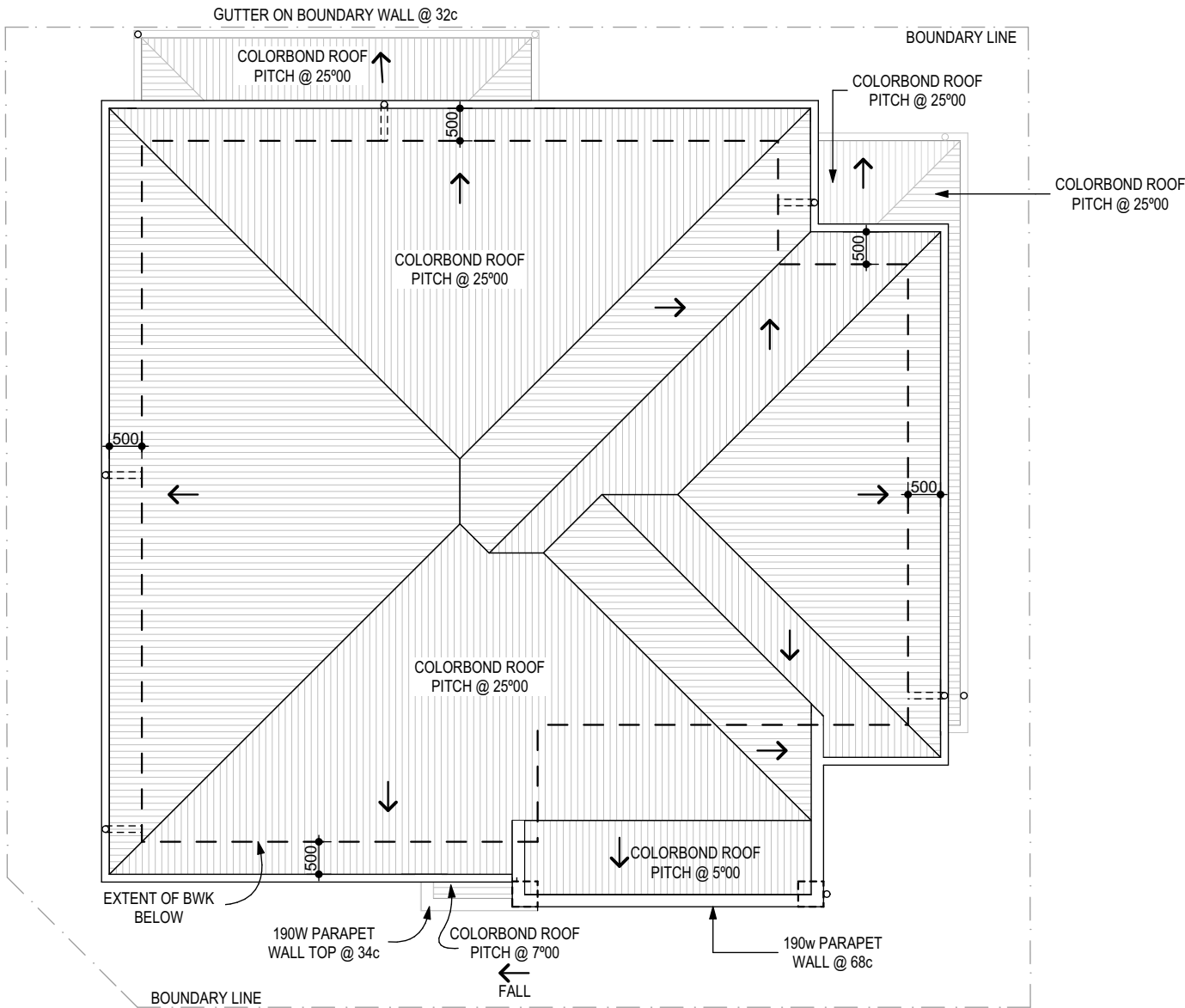
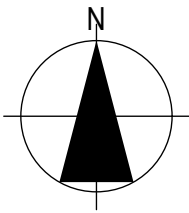
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VARIATIONS

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12	VO 10	23/08/19	MG

ROOF AREAS		
AREA [m2 ON THE FLAT]	20.60	1.05
AREA [m2 ON THE RAKE]	22.73	1.06
Pitch	25° 0' 0"	7° 0' 0"

COLORBOND ROOF
PITCH @ AS NOTED



Roof Plan

1:100



my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

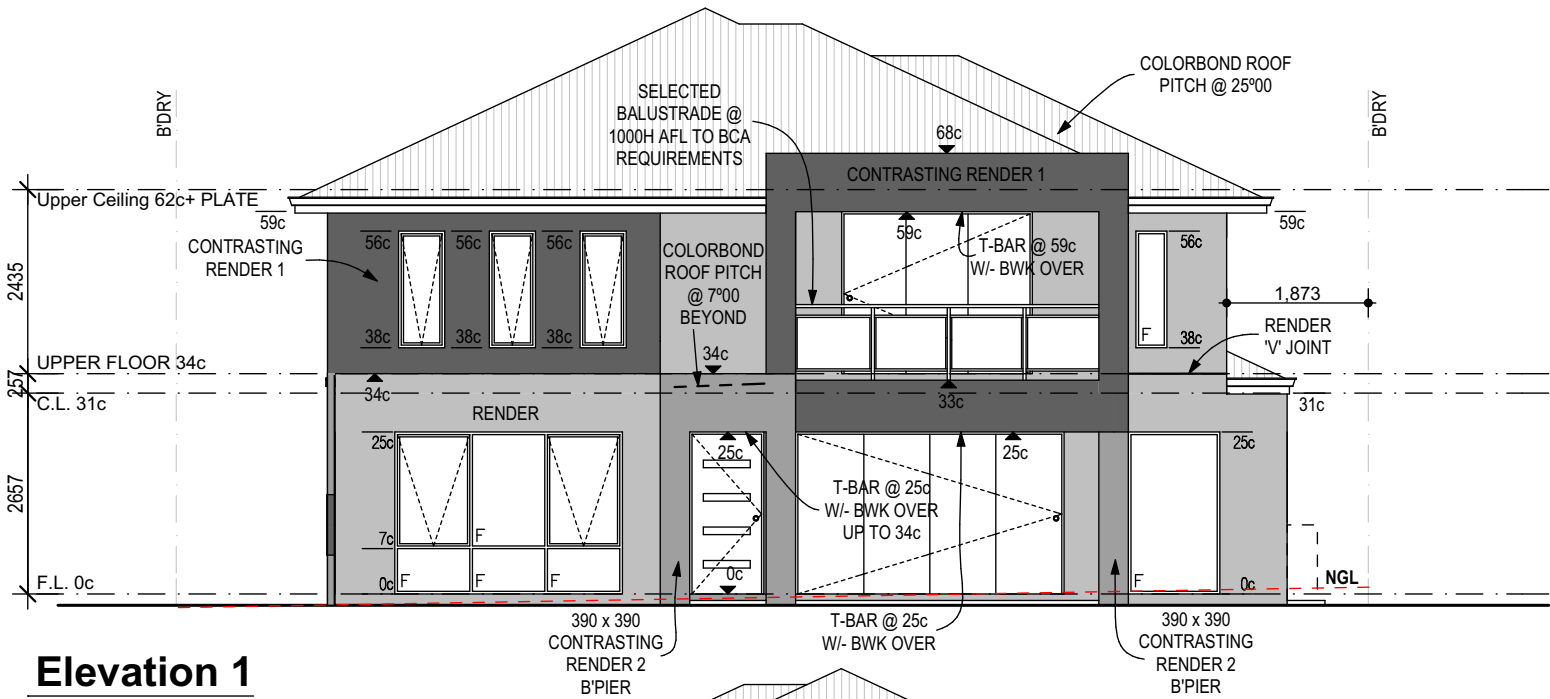
phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: CUSTOM	Job No:18004	Drawing Name: ROOF PLAN	Sheet No: 6 of 16
Lot Address:LOT 1 (#49) MOORLAND STREET,DOUBLEVIEW		Council: STIRLING	Specification: PEARL
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Client Name: BELINDA JULIE SHERIDAN		REV NO.	VARIATION
Signature: _____		1	WORKING DRAWINGS + VR
Date: ____/____/____		2	VO 1
		3	VO 2
		4	SHIRE AMENDMENTS
Client Name: CAMERON JOHN KENNEDY		5	VO 3
Signature: BAILEY		6	VO 4
		7	PRESTART
		8	VO 5 & 6
		9	VO 7
		10	DRAFTING FIXES
		11	VO 8
		12	VO 10
The home will be built to the dimensions on the working drawings within a reasonable tolerance		DATE DRN.	BY
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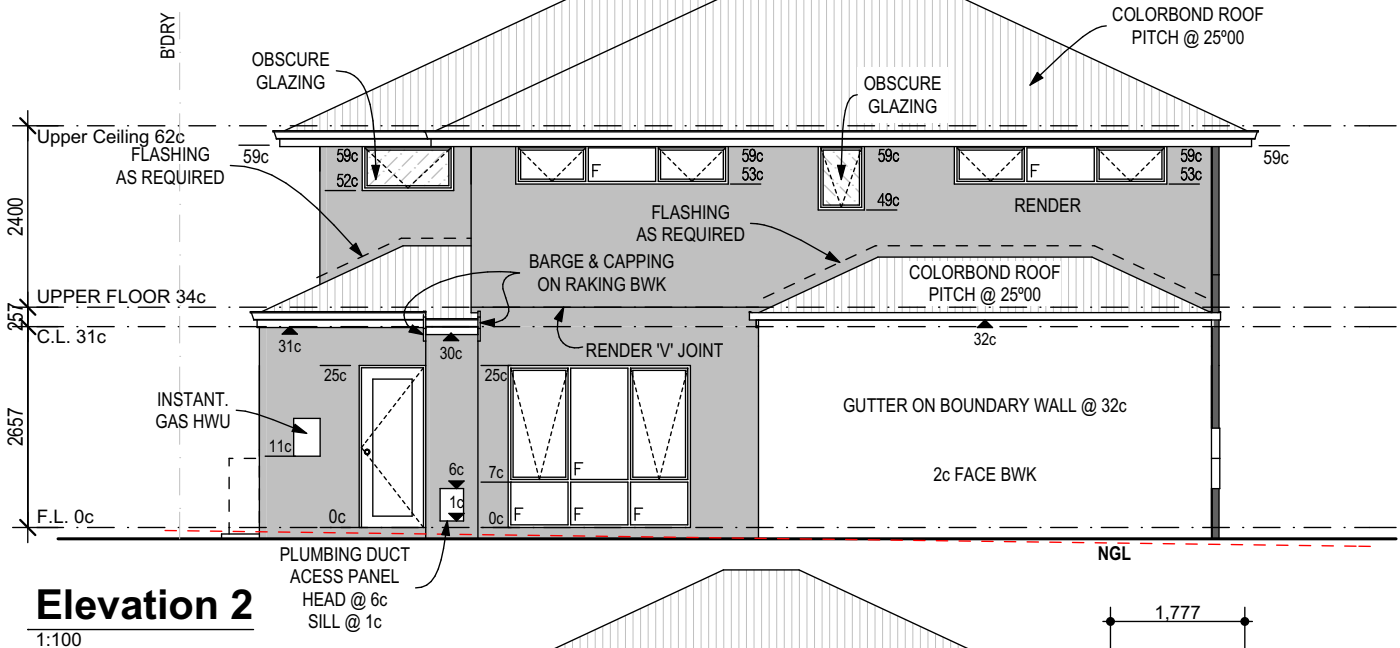
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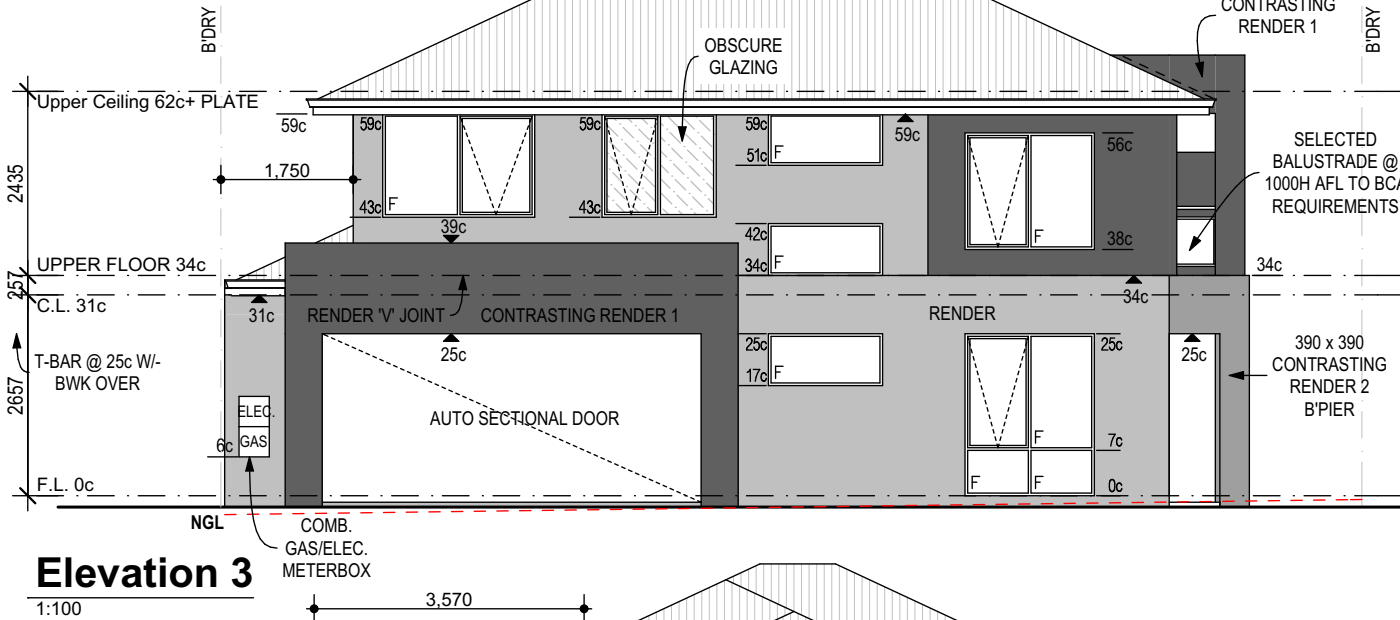
UPPER FLOOR BEDROOM
WINDOWS MUST HAVE 125mm
MAX RESTRICTED OPENING OR
FITTED WITH SUITABLE SCREEN
(IF OPENING SILL UNDER 1700 AFL)



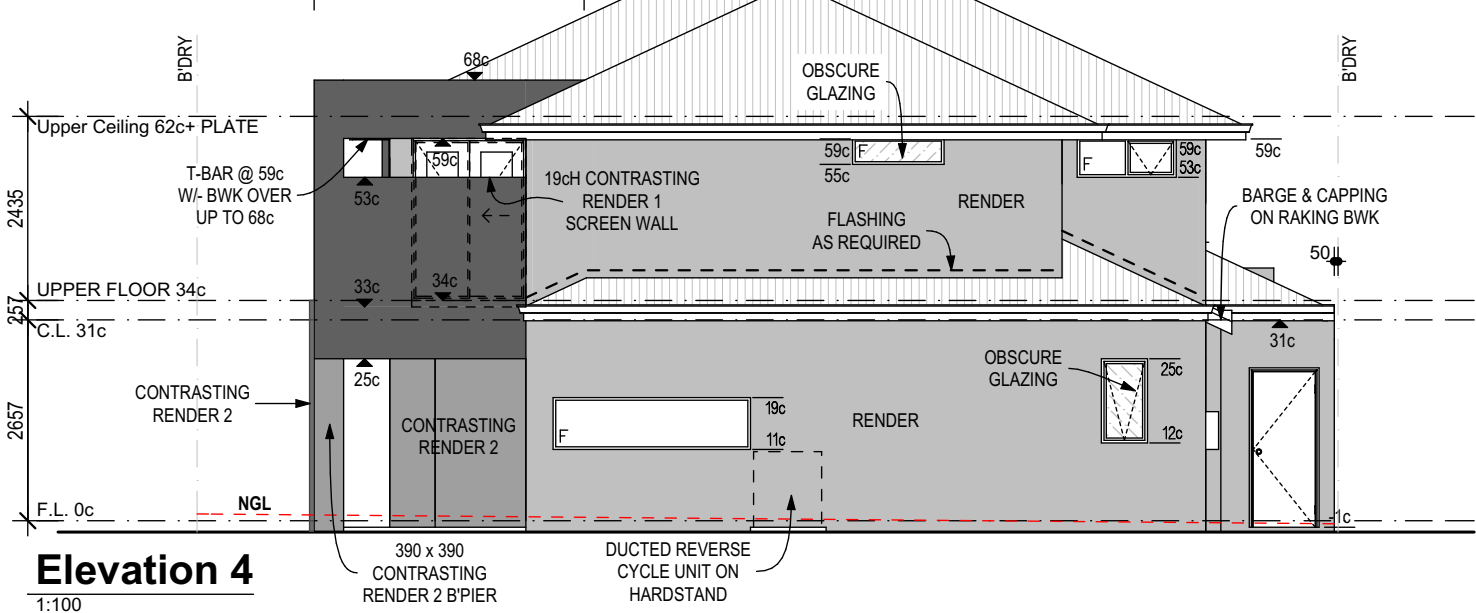
Elevation 1
1:100



Elevation 2
1:100



Elevation 3
1:100



Elevation 4
1:100



my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: CUSTOM

Job No:18004

Drawing Name: ELEVATIONS

Sheet No: 7 of 16

Lot Address: LOT 1 (#49) MOORLAND STREET, DOUBLEVIEW

Council: STIRLING

Specification: PEARL

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Client Name: BELINDA JULIE SHERIDAN

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Signature: -----

Client Name: CAMERON JOHN KENNEDY

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12	VO 10	23/08/19	MG

- POWER POINT AND LIGHT LOCATIONS MAY CHANGE DUE TO ELECTRICAL LAWS OF WA
- DIMENSIONS SHOWN ARE TO THE CENTRELINE OF GPO's
- LIGHT SWITCHES ARE TO BE 1200 AFL OR OTHERWISE NOTED
- DRAUGHT STOPPERS TO EXHAUST FANS
- 1x DIGITAL ANTENNA INCLUDED

- UP DOWN WALL BRACKET TO EACH SIDE OF GARAGE & PORCH
- 1 LED LIGHT ADJUSTABLE WALL SPOT TO EXTERIOR OF L'DRY
- 2 ALERT LED SENSOR TO GARAGE & PORCH
- 6 LIGHT ROUND CLUSTER PLATE & 1 LIGHT PENDANT TO UPPER FLOOR CASE

- COMNAV BOARD TO HOME
- CCTV CAMERAS
- ALARM SYSTEM BASIC

**ALL DATA POINT CABLING
WILL RUN TO CONDUIT
FOR FUTURE FIBRE
OPTIC IN GARAGE**

F.L.

* NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO.	Subtotal:	375	0.396
PERIMETER LIGHTING MIN. 40 LUMENS/W.			

House Type: CUSTOM		Job No: 18004	Drawing Name: GF ELECTRICAL LAYOUTS		Sheet No: 8 of 16	
Lot Address: LOT 1 (#49) MOORLAND STREET, DOUBLEVIEW				Council: STIRLING		Specification: PEARL
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT				VARIATIONS		
Client Name: BELINDA JULIE SHERIDAN		Date: -----/-----/-----	REV NO.	VARIATION	DATE DRN.	BY
Signature: -----			1	WORKING DRAWINGS + VR	05/10/17	VN-MJ
			2	VO 1	10/04/18	VN-KM
			3	VO 2	10/05/18	MP
Client Name: CAMERON JOHN KENNEDY		Date: -----/-----/-----	4	SHIRE AMENDMENTS	17/05/18	MP
Signature: BAILEY			5	VO 3	06/07/18	MG
			6	VO 4	11/07/18	MG
			7	PRESTART	24/07/18	VN-HL
			8	VO 5 & 6	13/09/18	MG
			9	VO 7	13/09/18	MP
			10	DRAFTING FIXES	14/11/18	MG
			11	VO 8	05/12/18	MG
			12	VO 10	23/08/19	MG
The home will be built to the dimensions on the working drawings within a reasonable tolerance		This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed or copied without the permission in writing				

ELECTRICAL NOTE :

- POWER POINT AND LIGHT LOCATIONS MAY CHANGE DUE TO ELECTRICAL LAWS OF WA
- DIMENSIONS SHOWN ARE TO THE CENTRELINE OF GPO's
- LIGHT SWITCHES ARE TO BE 1200 AFL OR OTHERWISE NOTED
- DRAUGHT STOPPERS TO EXHAUST FANS
- 1x DIGITAL ANTENNA INCLUDED

ITEMS TO BE SUPPLIED BY OWNER & INSTALL BY BUILER:

- UP DOWN WALL BRACKET TO EACH SIDE OF GARAGE & PORCH
- 1 LED LIGHT ADJUSTABLE WALL SPOT TO EXTERIOR OF L'DRY
- 2 ALERT LED SENSOR TO GARAGE & PORCH
- 6 LIGHT ROUND CLUSTER PLATE & 1 LIGHT PENDANT TO UPPER FLOOR CASE

ADDITIONAL ITEMS:

- COMMNAV BOARD TO HOME
- CCTV CAMERAS
- ALARM SYSTEM BASIC

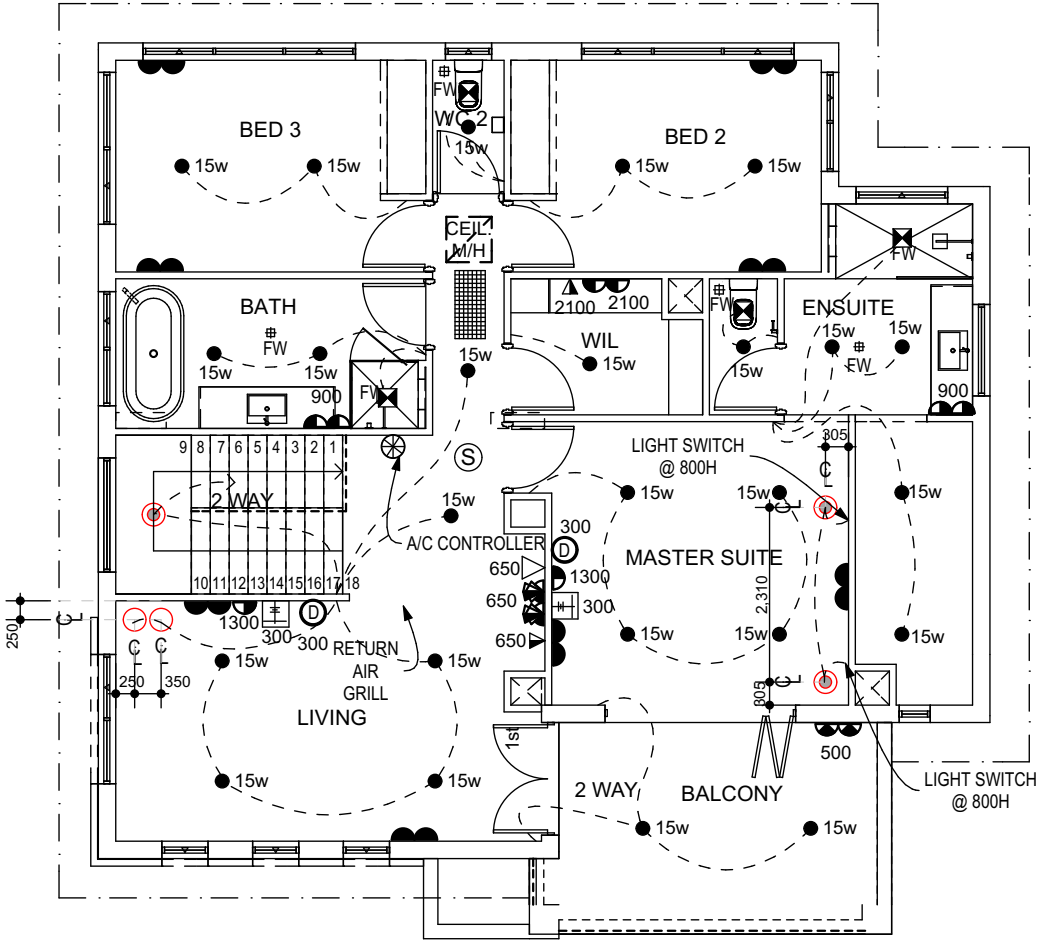
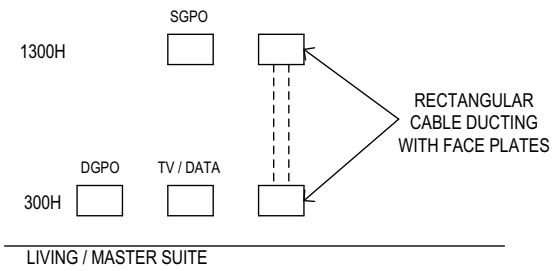
ELECTRICAL LEGEND

UPPER FLOOR

Qty	Sym.	Description	Watts	Insulation Penetrations
3		OWNER SUPPLIED LIGHT FITTINGS -	0*	*
2		LIGHT BAYONET -	0*	*
25	● 15w	RECESSED LED DOWN-LIGHT (15w)	375	0.332
1	(S)	H.WIRED SMOKE DETECTOR	0	
3		EXHAUST FAN FLUMED (200SQ.)	0	0.147
1		EXHAUST FAN FLUMED	0	0.049
2	2 WAY	2 WAY SWITCH	0	
1		Aircon Return Air Inlet	0	
2		TV POINT & DATA COMBINED	0	
2		SINGLE GPO @ NOTED HT	0	
1		PHONE POINT	0	
1		DOUBLE WATER PROOF GPO	0	
3		DOUBLE GPO @ NOTED HT	0	
8		DOUBLE GPO @ 300 AFL	0	
2		32mm RECTANGULAR CABLE DUCTING w/- 2 BLANK FACE PLATES	0	
1		A/C CONTROLLER	0	
1		2 QUAD GPOs @ 650 AFL	0	

* NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. Subtotal: 375 0.528
PERIMETER LIGHTING MIN. 40 LUMENS/W.

Total Class 1 Wattage= 750



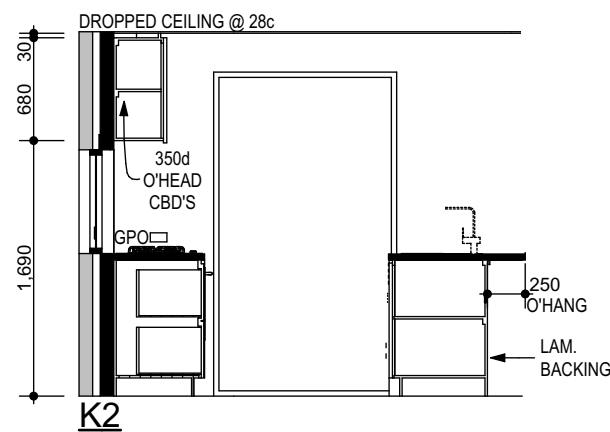
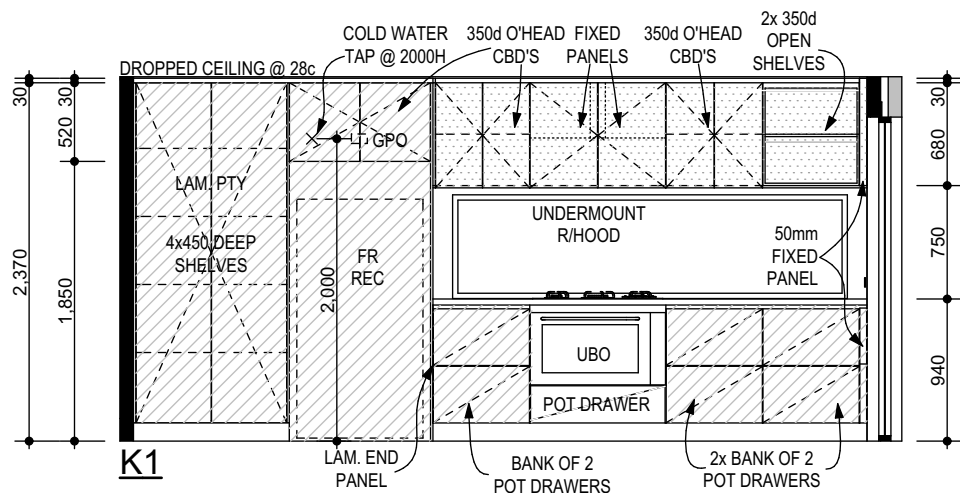
Upper Electrical Plan

1:100



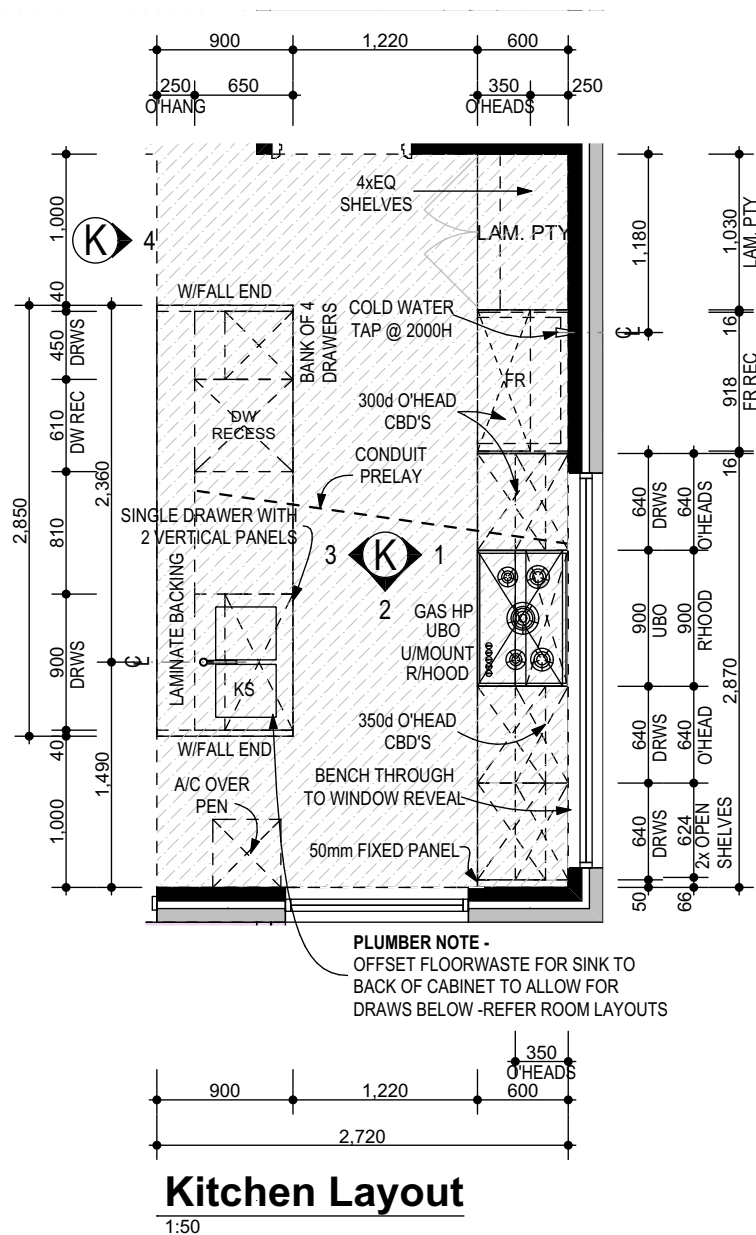
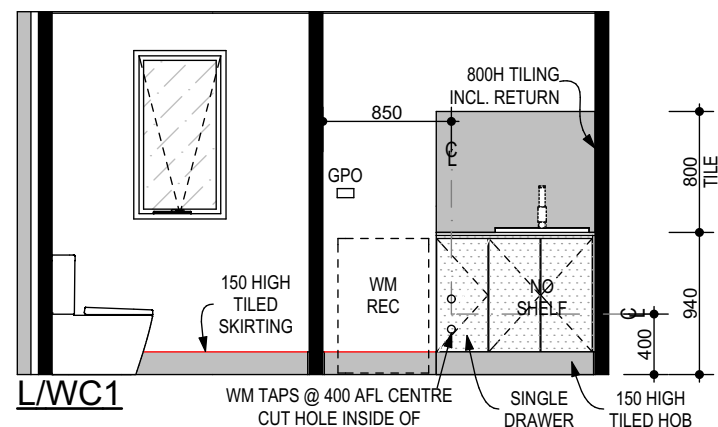
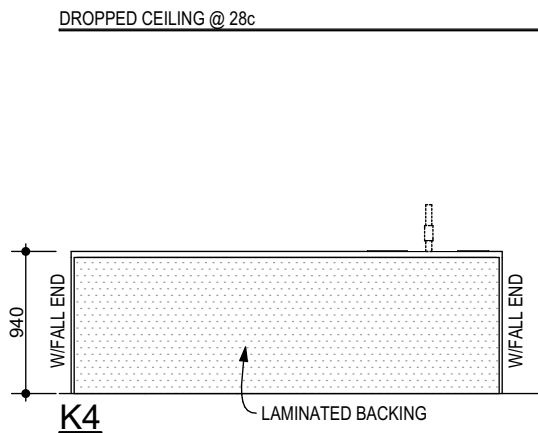
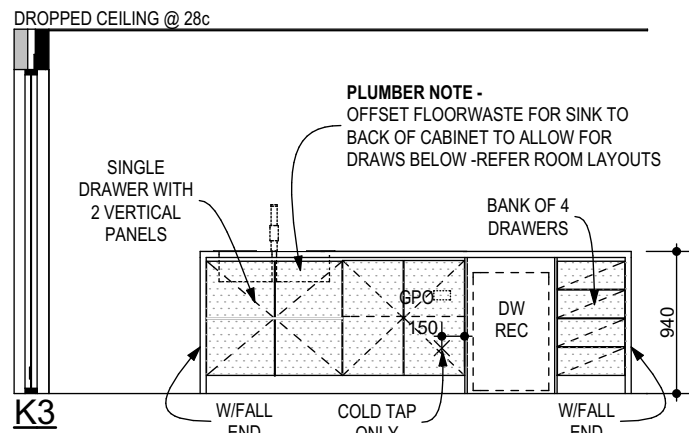
my homes wa
WE TURN A HOUSE INTO A HOME
41 cedric st., stirling
phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: CUSTOM	Job No:18004	Drawing Name: UF ELECTRICAL LAYOUTS	Sheet No: 9 of 16
Lot Address:LOT 1 (#49) MOORLAND STREET,DOUBLEVIEW		Council: STIRLING	Specification: PEARL
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT		VARIATIONS	
Client Name: BELINDA JULIE SHERIDAN		REV NO.	DATE DRN.
Signature: _____		1	05/10/17
Date: _____		2	10/04/18
Client Name: CAMERON JOHN KENNEDY		3	10/05/18
Signature: BAILEY		4	17/05/18
Date: _____		5	06/07/18
The home will be built to the dimensions on the working drawings within a reasonable tolerance		6	11/07/18
This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed or copied without the permission in writing		7	24/07/18
		8	13/09/18
		9	13/09/18
		10	14/11/18
		11	05/12/18
		12	23/08/19

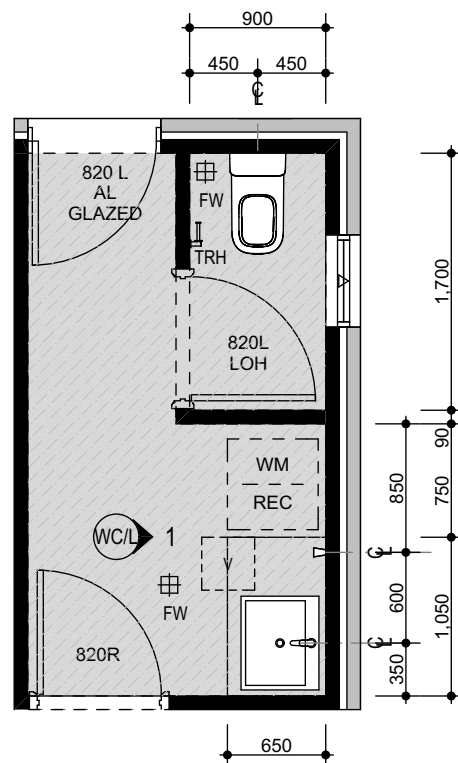


LAMINATE COLOURS:

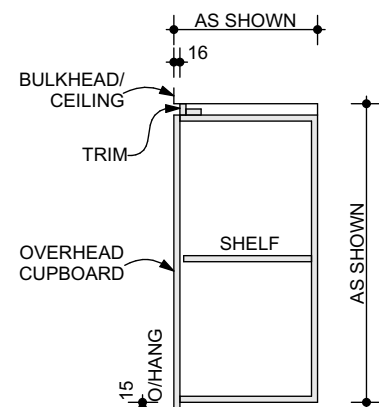
- POLYTEC SHEEN FINISH
- POLYTEC 'BLACK' WOODMATT FINISH



Kitchen Layout
1:50



Laundry & Wc Layout
1:50



DETAIL TO OVERHEAD CUPBOARD WITH FINGER GRIP
SCALE 1:20

NOTE: MIXER TAP TO KITCHEN & L'DRY TO BE SUPPLIED BY OWNER, BUILDER TO INSTALL

NO TILING TO KITCHEN. OWNER TO PAINT AROUND WINDOW AND RETURNS POST-HANDOVER

MITRED TILE EDGES THROUGHOUT

LAMINATED RECESSED FINGER GRIPS TO ALL UNDER BENCH CABINETRY & U/SIDE OF O'HEADS TO KITCHEN & TO UNDER BEANCH OF L'DRY



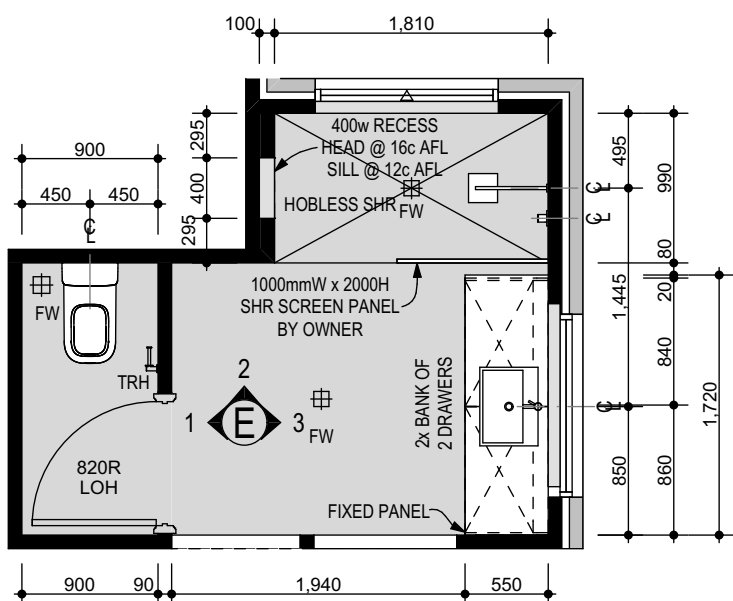
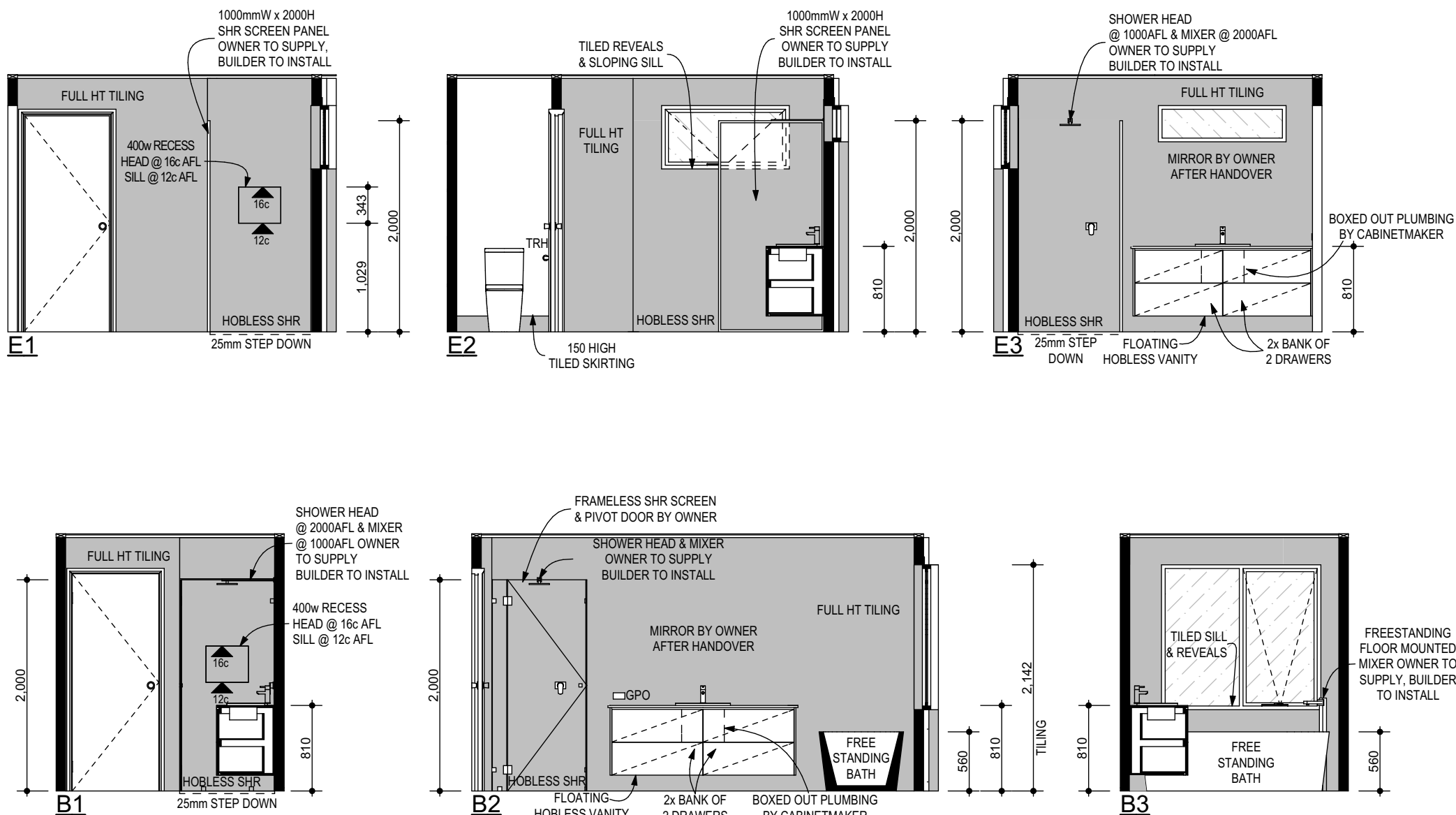
my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

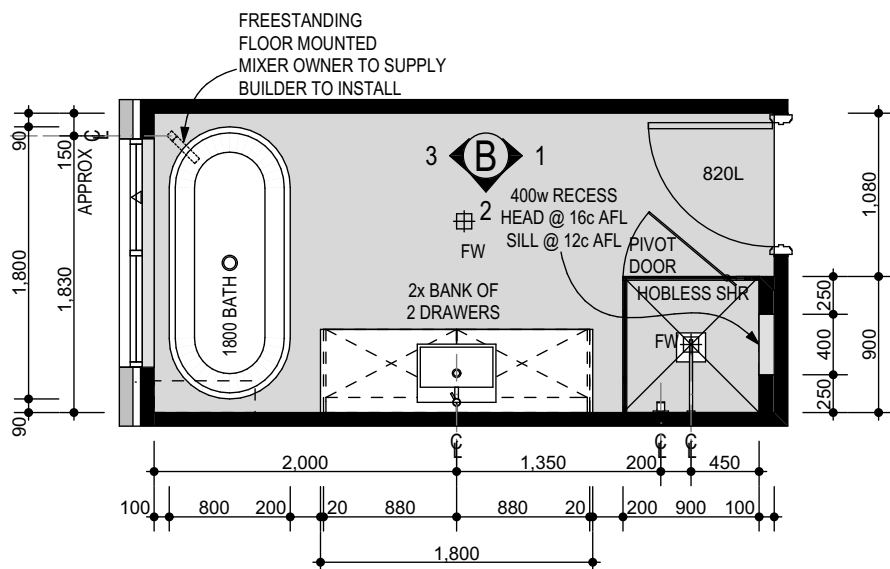
phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: CUSTOM	Job No:18004	Drawing Name: ROOM LAYOUTS 1	Sheet No: 10 of 16
Lot Address: LOT 1 (#49) MOORLAND STREET, DOUBLEVIEW		Council: STIRLING	Specification: PEARL
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT		VARIATIONS	
Client Name: BELINDA JULIE SHERIDAN		REV NO.	VARIATION
Signature: _____		1	WORKING DRAWINGS + VR
Date: ____/____/____		2	VO 1
		3	VO 2
		4	SHIRE AMENDMENTS
		5	VO 3
		6	VO 4
		7	PRESTART
		8	VO 5 & 6
		9	VO 7
		10	DRAFTING FIXES
		11	VO 8
		12	VO 10
Client Name: CAMERON JOHN KENNEDY		DATE DRN.	BY
Signature: BAILEY		05/10/17	VN-MJ
		10/04/18	VN-KM
		10/05/18	MP
		17/05/18	MP
		06/07/18	MG
		11/07/18	MG
		24/07/18	VN-HL
		13/09/18	MG
		13/09/18	MP
		14/11/18	MG
		05/12/18	MG
		23/08/19	MG
The home will be built to the dimensions on the working drawings within a reasonable tolerance		This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed or copied without the permission in writing	



Ensuite Layout

1:50



Bathroom Layout

1:50

ITEMS BY OWNER, BUILDER TO INSTALL

- 1000mmW x 2000mmH FRAMELESS 10mm CLEAR GLASS PANEL TO ENS
- 10mm FRAMELESS SHOWER SCREEN AND PIVOT DOOR TO BATHROOM
- MEIR 'SQUARE BASIN MIXER' TO ENS & BATH
- MEIR 'SQUARE WALL MIXER' TO ENS & BATH
- MEIR 'SQUARE WALL MOUNTED SHOWER HEADS' TO ENS & BATH
- MEIR 'SQUARE FREESTANDING BATH MIXER TO BATHROOM

TOWEL LADDERS BY OWNER
POST-HANDOVER

NOTE: MIRRORS & CORNICE TO BE
INSTALLED AFTER COMPLETION
OF FULL HEIGHT TILING

NOTE: WASTE PIPE TO BE CHASED INTO
WALL FOR FLOATING HOBLESS VANITIES
TO ENSUITE AND BATHROOM

MITRED TILE EDGES THROUGHOUT

BUILDER TO SUPPLY AND INSTALL
TILES FROM TILES 88 SUPPLIER

TOP OF MIRRORS TO LINE
UP WITH TOP OF SHOWER SCREENS

LAMINATED RECESSED FINGER GRIPS
TO ALL UNDER BENCH CABINETRY
TO ENSUITE & BATHROOM



my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: CUSTOM

Job No:18004

Drawing Name: ROOM LAYOUTS 2

Sheet No: 11 of 16

Lot Address: LOT 1 (#49) MOORLAND STREET, DOUBLEVIEW

Council: STIRLING

Specification: PEARL

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT

Client Name: BELINDA JULIE SHERIDAN

Date: -----/-----/-----

Signature: -----

Client Name: CAMERON JOHN KENNEDY

Date: -----/-----/-----

Signature: BAILEY

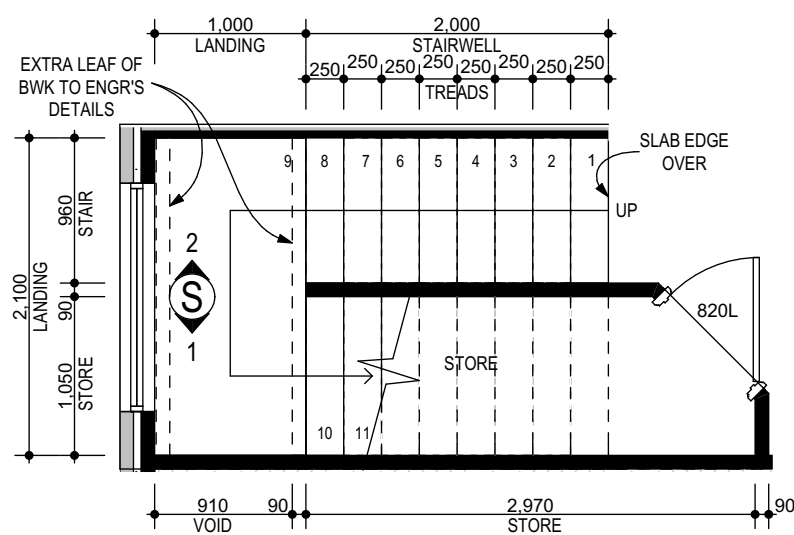
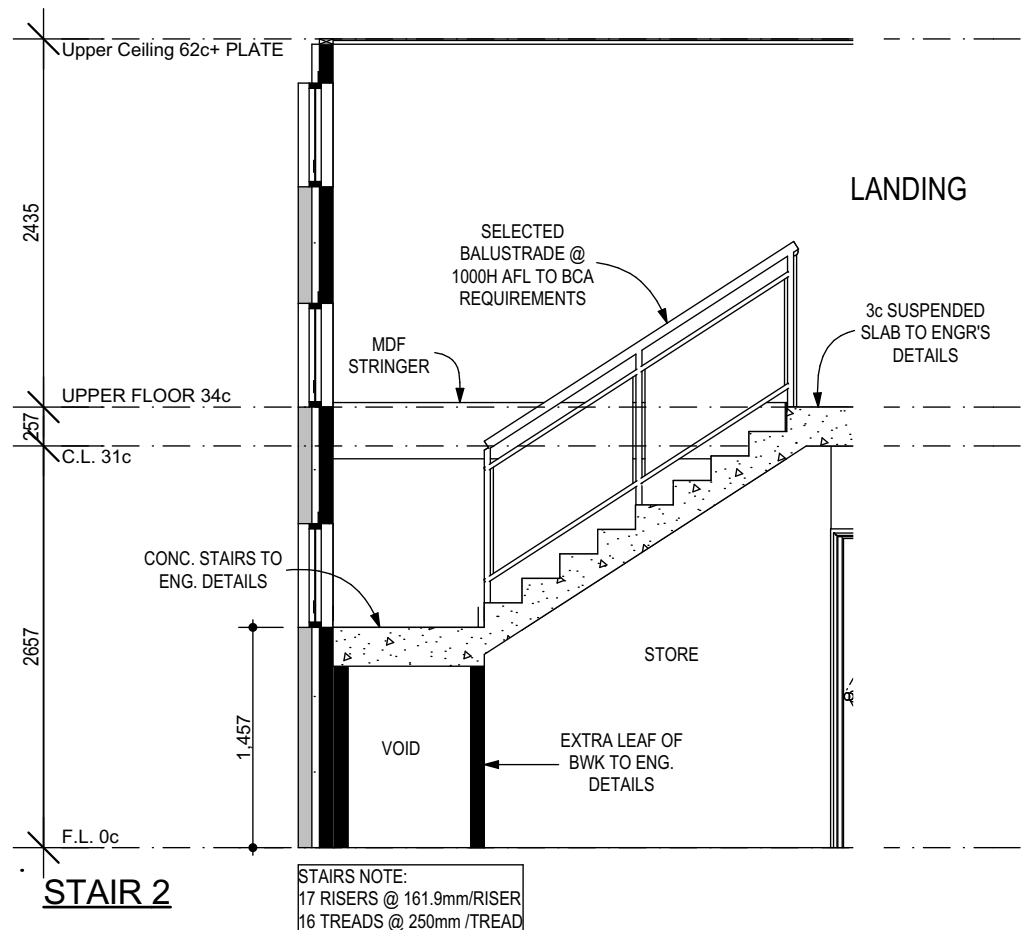
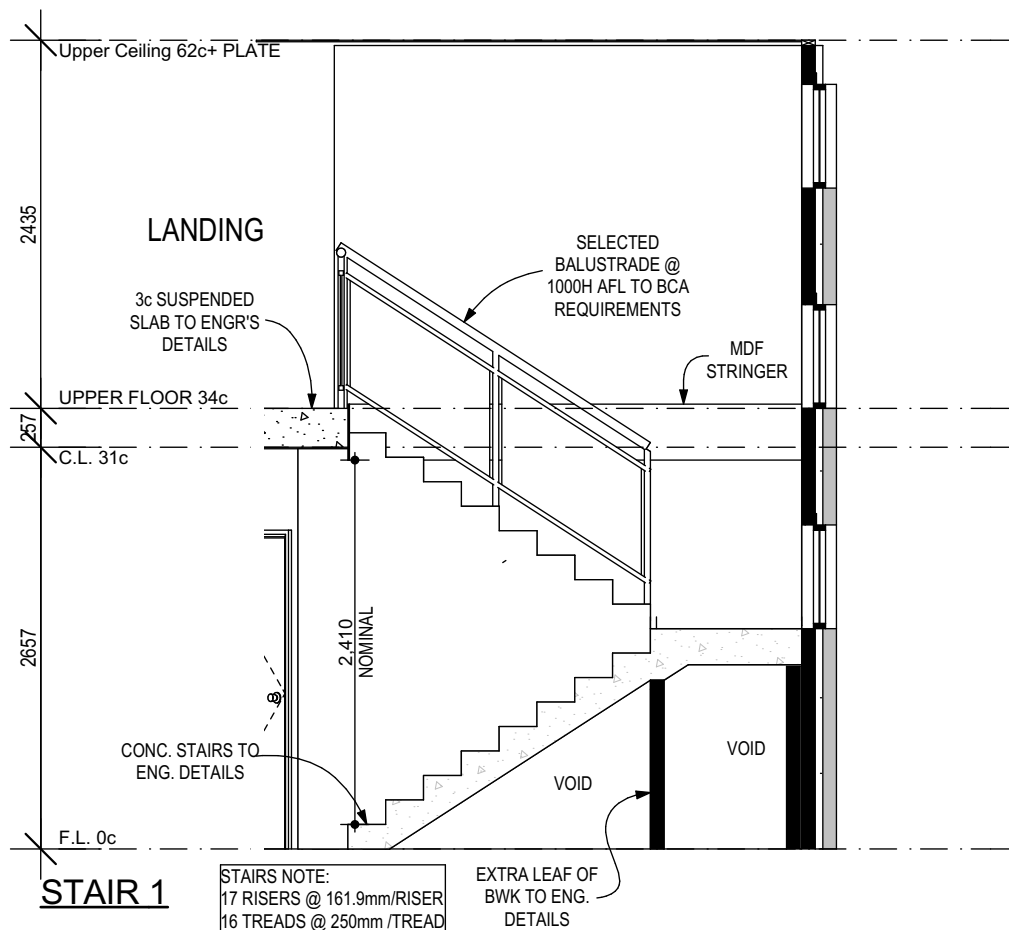
The home will be built to the dimensions on the
working drawings
within a reasonable tolerance

This plan shall remain the sole property of the builder
and must not be given, lent, resold or otherwise
disposed or copied without the permission in writing

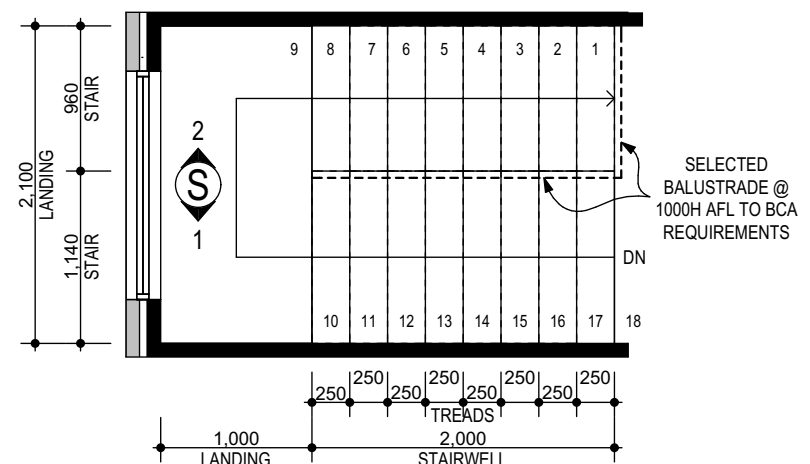
VARIATIONS

REV NO.	VARIATION	DATE DRN.	BY
1	WORKING DRAWINGS + VR	05/10/17	VN-MJ
2	VO 1	10/04/18	VN-KM
3	VO 2	10/05/18	MP
4	SHIRE AMENDMENTS	17/05/18	MP
5	VO 3	06/07/18	MG
6	VO 4	11/07/18	MG
7	PRESTART	24/07/18	VN-HL
8	VO 5 & 6	13/09/18	MG
9	VO 7	13/09/18	MP
10	DRAFTING FIXES	14/11/18	MG
11	VO 8	05/12/18	MG
12	VO 10	23/08/19	MG

**31c CEILINGS TO GROUND FLOOR
& 28c CEILINGS TO UPPER FLOOR
UNLESS OTHERWISE NOTED**



GF Stair Layout

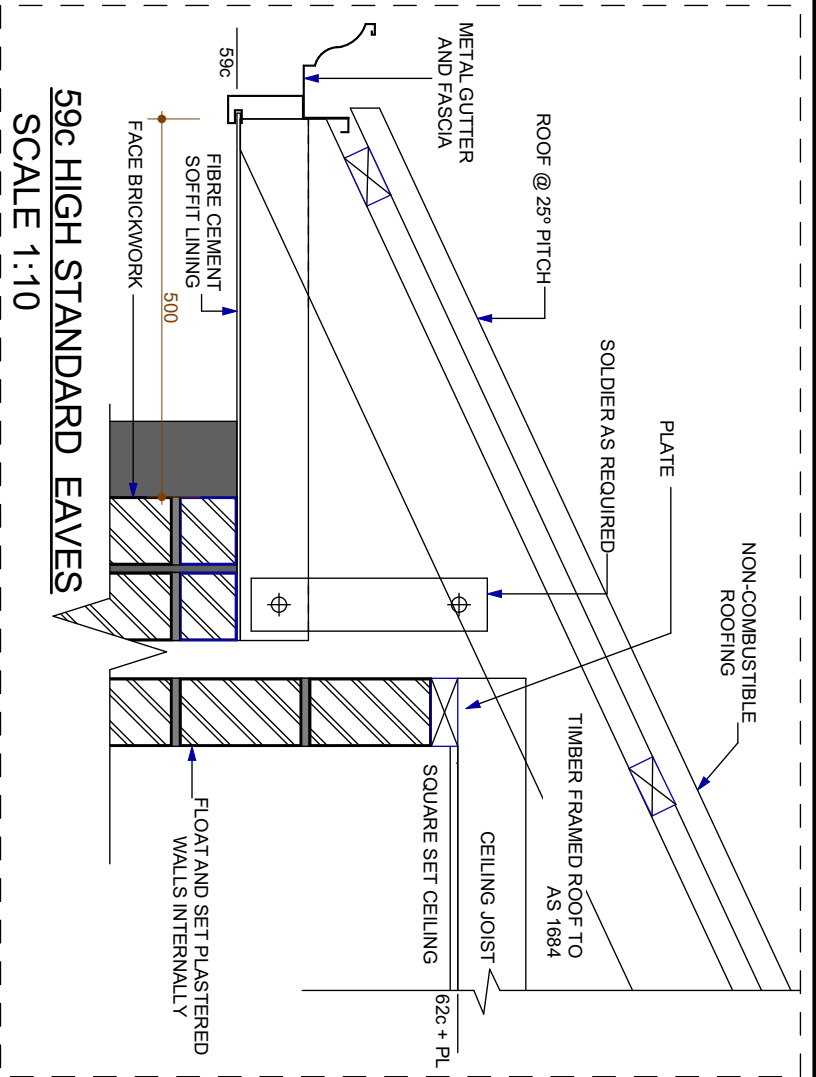


UF Stair Layout



my homes wa
WE TURN A HOUSE INTO A HOME
41 cedric st., stirling
phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: CUSTOM		Job No:18004	Drawing Name: STAIRS LAYOUT			Sheet No: 12 of 16	
Lot Address:LOT 1 (#49) MOORLAND STREET,DOUBLEVIEW				Council: STIRLING		Specification: PEARL	
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT				VARIATIONS			
Client Name: BELINDA JULIE SHERIDAN		Date: ____/____/____	REV NO.	VARIATION	DATE DRN.	BY	
			1	WORKING DRAWINGS + VR	05/10/17	VN-MJ	
Signature: _____			2	VO 1	10/04/18	VN-KM	
			3	VO 2	10/05/18	MP	
Client Name: CAMERON JOHN KENNEDY		Date: ____/____/____	4	SHIRE AMENDMENTS	17/05/18	MP	
			5	VO 3	06/07/18	MG	
Signature: BAILEY _____			6	VO 4	11/07/18	MG	
			7	PRESTART	24/07/18	VN-HL	
The home will be built to the dimensions on the working drawings within a reasonable tolerance		This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed of or copied without the permission in writing	8	VO 5 & 6	13/09/18	MG	
			9	VO 7	13/09/18	MP	
			10	DRAFTING FIXES	14/11/18	MG	
			11	VO 8	05/12/18	MG	
			12	VO 10	03/02/18	MG	



59c HIGH STANDARD EAVES
SCALE 1:10

COLORBOND ROOF
AS NOTED

31c CEILINGS TO GROUND FLOOR
& 28c CEILINGS TO UPPER FLOOR
UNLESS OTHERWISE NOTED

NOTE: NO CORNICE. SQUARE SET
CEILING THROUGHOUT HOME

CONVENTIONAL TIMBER FRAMED ROOF
IN ACCORDANCE WITH AS 1684

COLORBOND ROOF
PITCH @ 25°00

NOTCH & SPLAY
SLAB TO SUIT RAFTERS
REFER TO ENG. CERT.

500 WIDE
BOXED EAVES

MASTER SUITE

REC

LIVING

ENTRY

THEATRE

DINING
(LIVING BEYOND)

KITCHEN

3c SUSPENDED
SLAB TO ENGRS
DETAILS

DROPPED
CEILING @ 28c

DROPPED CEILING @ 28c

0.2MM WATERPROOF MEMBRANE
WITH COMPACTED FILL UNDER

REFER TO ENGINEERS DETAILS FOR
CONCRETE SLAB AND FOOTING SIZES

Section A-A
1:50



my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: CUSTOM

Job No:18004

Drawing Name: SECTION A-A

Sheet No: 13 of 16

Lot Address:LOT 1 (#49) MOORLAND STREET,DOUBLEVIEW

Council: STIRLING

Specification: PEARL

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT

Client Name: BELINDA JULIE SHERIDAN

Date: -----/-----/-----

Signature: -----

Client Name: CAMERON JOHN KENNEDY

Date: -----/-----/-----

Signature: BAILEY -----

The home will be built to the dimensions on the
working drawings
within a reasonable tolerance

This plan shall remain the sole property of the builder
and must not be given, lent, resold or otherwise
disposed or copied without the permission in writing

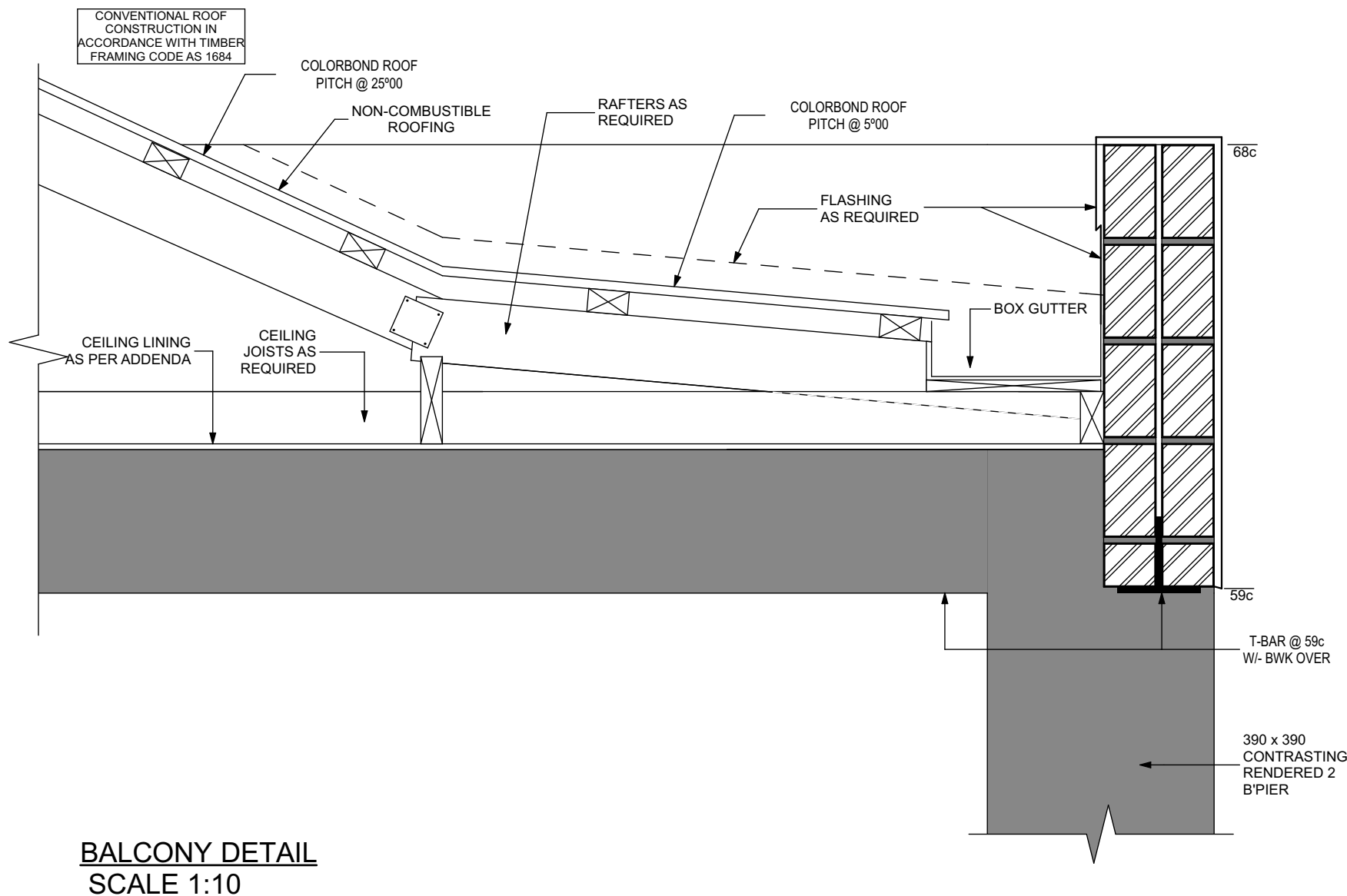
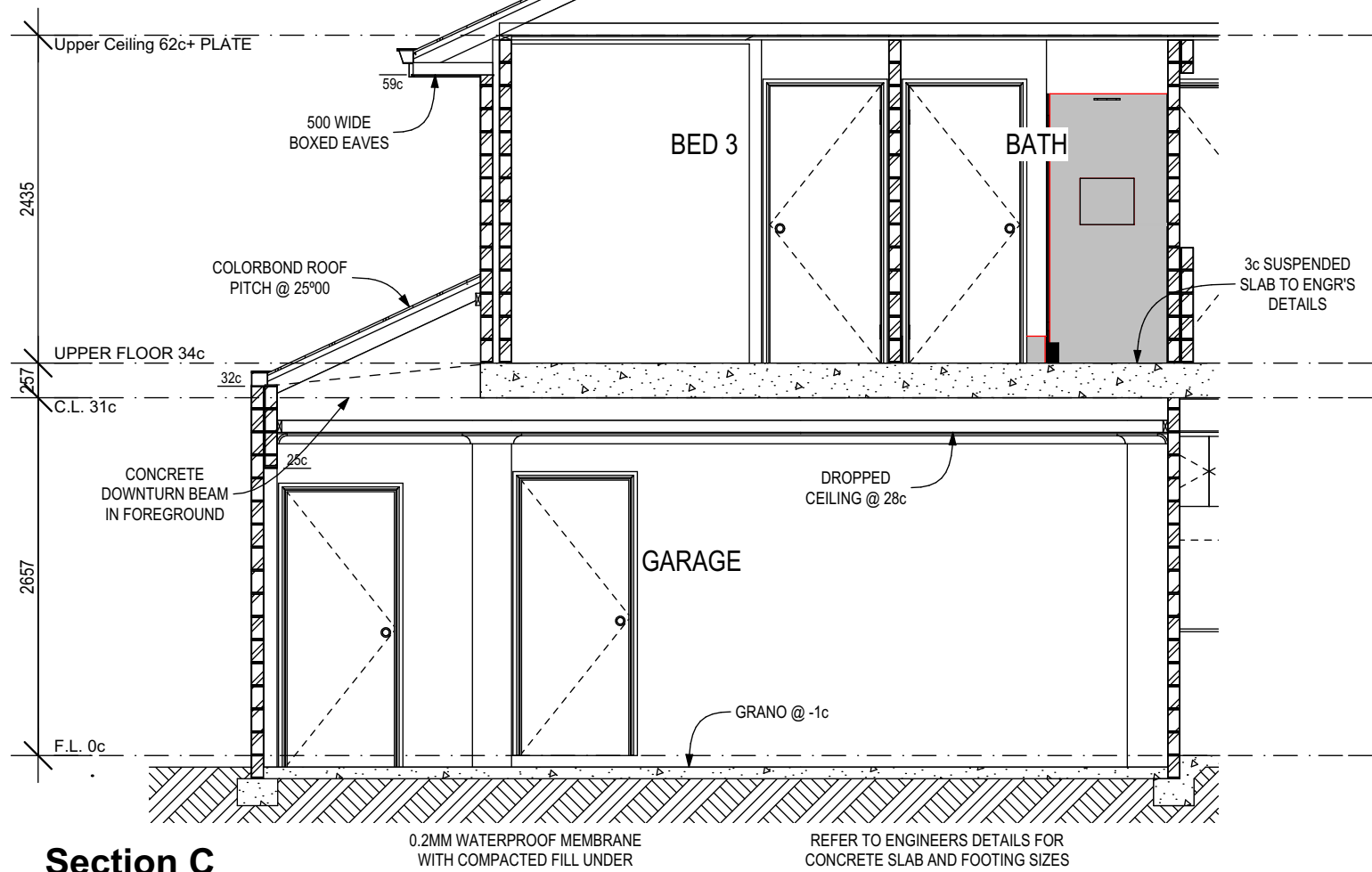
VARIATIONS

REV NO.	VARIATION	DATE DRN.	BY
1	WORKING DRAWINGS + VR	05/10/17	VN-MJ
2	VO 1	10/04/18	VN-KM
3	VO 2	10/05/18	MP
4	SHIRE AMENDMENTS	17/05/18	MP
5	VO 3	06/07/18	MG
6	VO 4	11/07/18	MG
7	PRESTART	24/07/18	VN-HL
8	VO 5 & 6	13/09/18	MG
9	VO 7	13/09/18	MP
10	DRAFTING FIXES	14/11/18	MG
11	VO 8	05/12/18	MG
12	VO 10	23/08/19	MG

COLORBOND ROOF
AS NOTED

NOTE: NO CORNICE. SQUARE SET
CEILING THROUGHOUT HOME

31c CEILINGS TO GROUND FLOOR
& 28c CEILINGS TO UPPER FLOOR
UNLESS OTHERWISE NOTED



my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: CUSTOM

Job No:18004

Drawing Name: SECTION C & DETAIL

Sheet No: 15 of 16

Lot Address: LOT 1 (#49) MOORLAND STREET, DOUBLEVIEW

Council: STIRLING

Specification: PEARL

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT

Client Name: BELINDA JULIE SHERIDAN

Date: -----/-----/-----

Signature: -----

Client Name: CAMERON JOHN KENNEDY

Date: -----/-----/-----

Signature: BAILEY

The home will be built to the dimensions on the
working drawings
within a reasonable tolerance

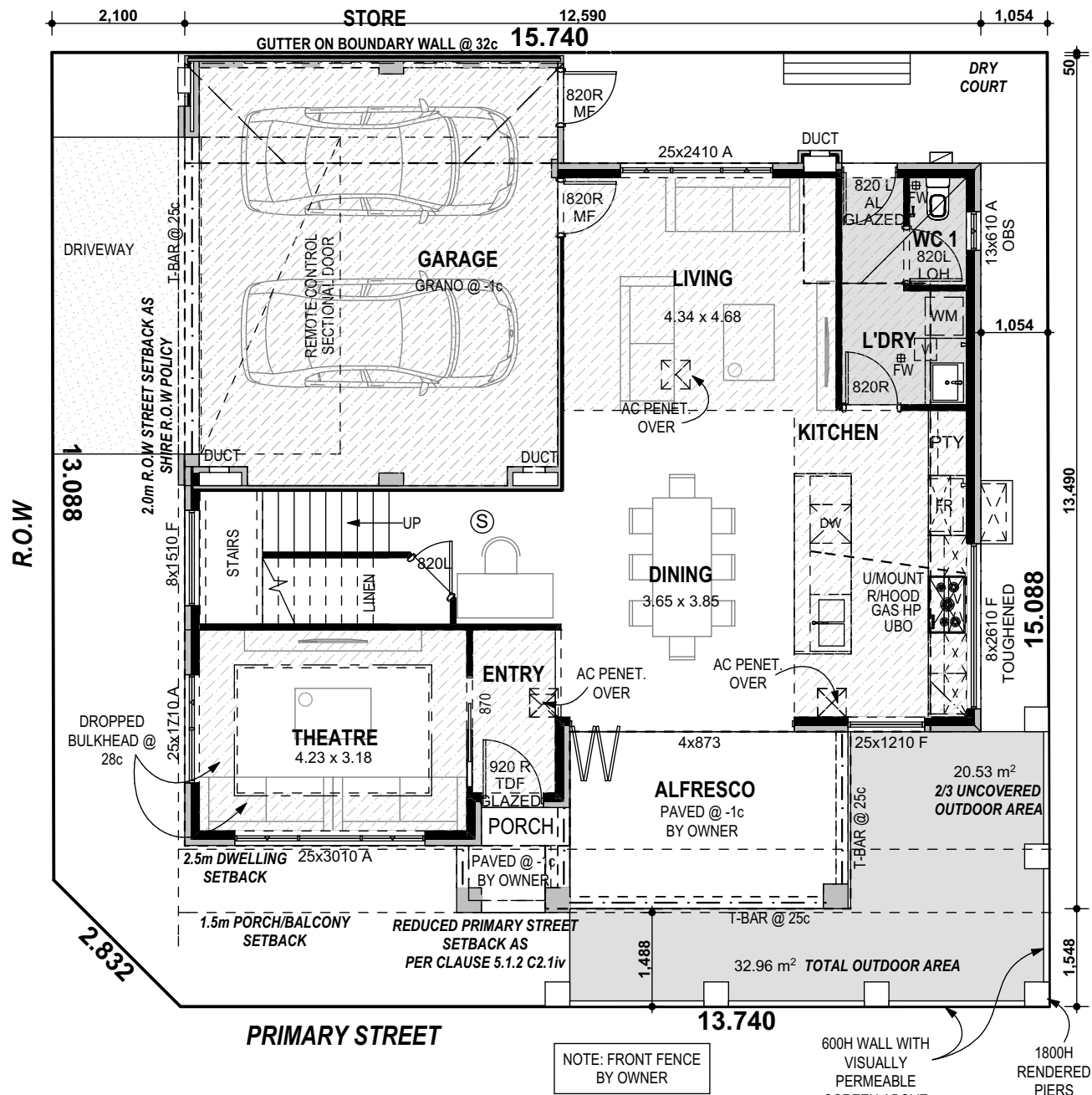
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VARIATIONS

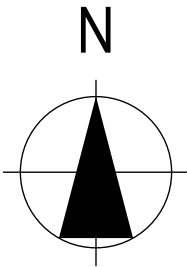
REV NO.	VARIATION	DATE DRN.	BY
1	WORKING DRAWINGS + VR	05/10/17	VN-MJ
2	VO 1	10/04/18	VN-KM
3	VO 2	10/05/18	MP
4	SHIRE AMENDMENTS	17/05/18	MP
5	VO 3	06/07/18	MG
6	VO 4	11/07/18	MG
7	PRESTART	24/07/18	VN-HL
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9	VO 7	13/09/18	MP
10	DRAFTING FIXES	14/11/18	MG
11	VO 8	05/12/18	MG
12	VO 10	23/08/19	MG

House Type: CUSTOM		Job No:18004	Drawing Name: DETAILS			Sheet No: 16 of 16		
Lot Address:LOT 1 (#49) MOORLAND STREET,DOUBLEVIEW					Council: STIRLING		Specification: PEARL	
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT					VARIATIONS			
Client Name: BELINDA JULIE SHERIDAN Signature: _ _ _ _ _		Date: _ _ _ _ _/ _ _ _ _ _/ _ _ _ _ _	REV NO.	VARIATION	DATE DRN.	BY		
			1	WORKING DRAWINGS + VR	05/10/17	VN-MJ		
			2	VO 1	10/04/18	VN-KM		
			3	VO 2	10/05/18	MP		
Client Name: CAMERON JOHN KENNEDY Signature: BAILEY _ _ _ _ _		Date: _ _ _ _ _/ _ _ _ _ _/ _ _ _ _ _	4	SHIRE AMENDMENTS	17/05/18	MP		
			5	VO 3	06/07/18	MG		
			6	VO 4	11/07/18	MG		
			7	PRESTART	24/07/18	VN-HL		
The home will be built to the dimensions on the working drawings within a reasonable tolerance		This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed or copied without the permission in writing	8	VO 5 & 6	13/09/18	MG		
			9	VO 7	13/09/18	MP		
			10	DRAFTING FIXES	14/11/18	MG		
			11	VO 8	05/12/18	MG		
			12	VO 10	23/08/19	MG		

Area Name	Measured Area	Perimeter
ALFRESCO	12.32	14.40
BALCONY	12.71	15.18
GARAGE/STORE	40.95	25.78
GROUND FLOOR	93.35	47.16
PORCH	2.74	6.90
UPPER FLOOR	113.15	45.16
	275.22 m ²	
AREA NAME		MEASURED AREA
ROOF AREA - GROUND		21.63
ROOF AREA - UPPER		144.75



NOTE:
DESIGN SUBJECT TO CHANGE
PENDING ON PLANNING APPROVAL &
FINAL CONTOUR & FEATURE SURVEY & SUBDIVISION
PLAN
- OUTDOOR AREA LOCATION TBC WITH COUNCIL
- REDUCED SETBACKS TBC WITH COUNCIL
- SITE COVER TBC WITH COUNCIL
- BOUNDARY WALLS TBC WITH COUNCIL
- CLIENT TO BE AWARE OF TIME DELAY FOR PLANNING
APPLICATION



SITE COVERAGE	
ZONED	R40
% ALLOWED	55%
SITE AREA	236.48m ²
SITE COV. AREA	134.31m ²
SITE COV. =56.8%	

Floor Plan & Site

1:100



my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: CUSTOM	Job No:18004	Drawing Name: FLOOR PLAN & SITE	Sheet No: 1 of 1
Lot Address: LOT 1 (#49) MOORLAND STREET, DOUBLEVIEW		Council: STIRLING	Specification: PEARL
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT		VARIATIONS	
Client Name: BELINDA JULIE SHERIDAN Signature: _____ Date: ____/____/____		REV NO.	DATE DRN.
Client Name: CAMERON JOHN KENNEDY Signature: BAILEY Date: ____/____/____		1	05/10/17
The home will be built to the dimensions on the working drawings within a reasonable tolerance		2	10/04/18
This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed or copied without the permission in writing		3	10/05/18
		4	17/05/18
		5	06/07/18
		6	11/07/18
		7	24/07/18
		8	13/09/18
		9	13/09/18
		10	14/11/18
		11	05/12/18
		12	23/08/19