

LEGEND		SEC Dome
		Power Pole
		Phone Pits
		Water Conn.
	[ TP 10.00 ]	Top Pillar/Post
	[ TW 10.00 ]	Top Wall
	[ TR 10.00 ]	Top Retaining
	[ TF 10.00 ]	Top Fence

**SURVEYOR NOTES:**

**DISCLAIMER:**  
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**DEMOLITION NOTES**

**CLIENT NOTE:**

- ALL DEMOLITION BY CLIENT UNLESS OTHERWISE NOTED.
- ALL TREES/SHRUBS TO BE LOPPED (TRIMMED) TO WITHIN 2m OF THE BUILDING ENVELOPE.
- EXISTING BUILDING, TREES AND ALL RUBBLE TO BE REMOVED BY CLIENT PRIOR TO CONSTRUCTION.

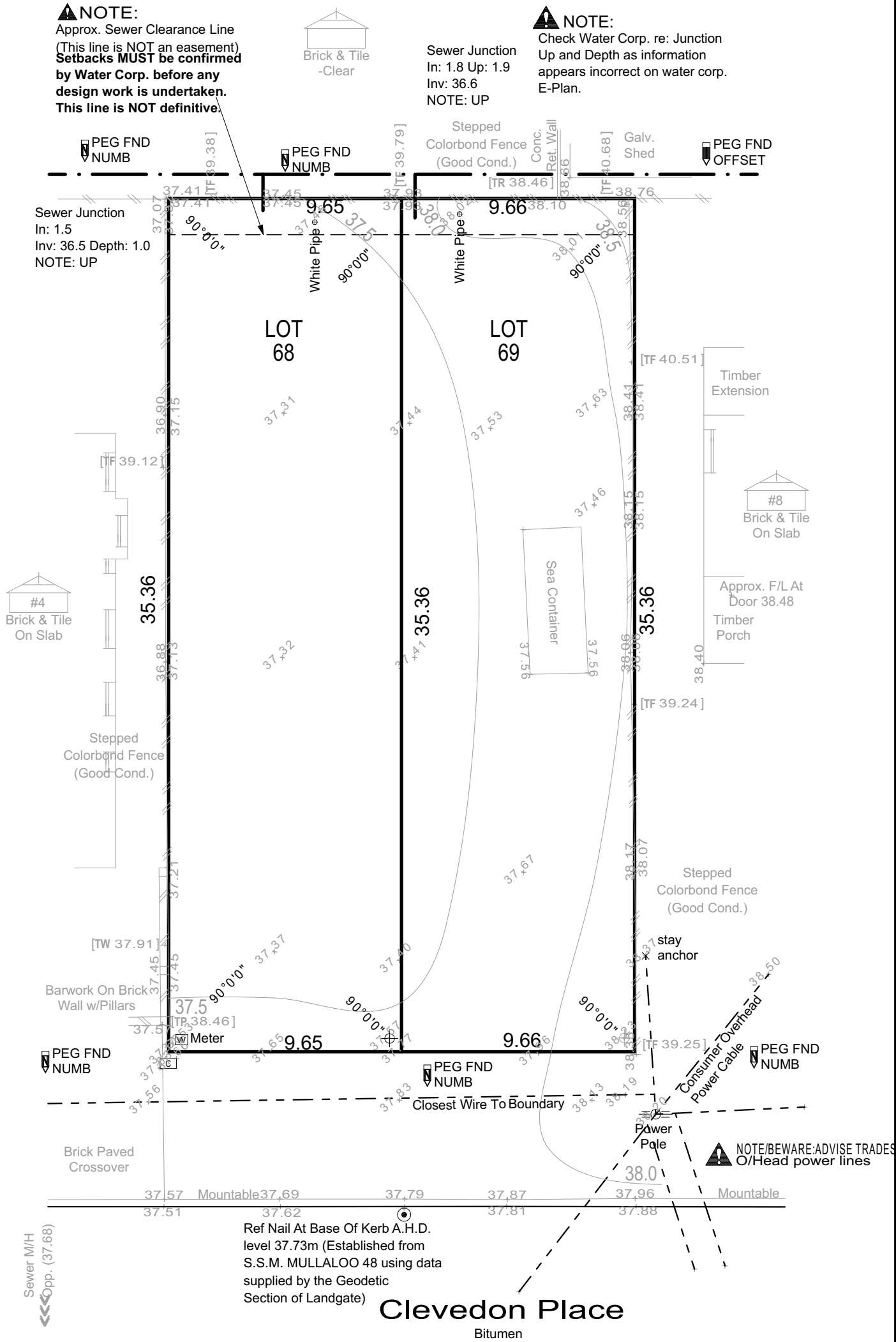
WITNESS: \_\_\_\_\_

CLIENT(S): \_\_\_\_\_

BUILDER: \_\_\_\_\_

**BEWARE:**  
Advise trades overhead power lines.

**NOTE:**  
Positions of all sewer manholes, junctions and sewer lines are approximate only due to lack of information. Please confirm all positions with Water Corp.



**NOTE:**  
CHECK SHIRE RE: AMALGAMATION BEWARE COULD DELAY BUILDING LICENSE (AMALGAMATION PROCESS APPROX. 6-9 MONTHS)

**COTTAGE & ENGINEERING SURVEYS**

Licensed Surveyors

87-89 Guthrie Street, Osborne Park, Western Australia.  
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998.  
Email : perth@cottage.com.au Website: www.cottage.com.au

PROPOSED RESIDENCE FOR:  
**FAIRHEAD**

ADDRESS:  
**LOT 9 (#6) CLEVEDON PLACE,  
KALLAROO.**

DRAWN: JS  
DESIGNED: ALI  
CHECKED: DM  
DATE: 5/03/19  
MODEL: SPECIAL

SCALE: 1:200  
SHEET: 1 OF 10  
SIZE: A3  
DIVISION: SUMMIT PROJECTS  
JOB N° 155652

Issue Name Drawn Date  
V01-2 JS 5/03/19  
V008 DMA 17/01/20  
SURVEY JS 24/01/20  
V009 DMA 06/02/20  
V010 DMA 14/02/20  
V014 DMA 28/04/20

Issue Name Drawn Date  
V01-2 JS 5/03/19  
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V009 DMA 06/02/20  
V010 DMA 14/02/20  
V014 DMA 28/04/20

**SUMMIT**  
HOMES GROUP



LEGEND		SEC Dome
		Power Pole
		Phone Pits
		Water Conn.
	[ TP 10.00 ]	Top Pillar/Post
	[ TW 10.00 ]	Top Wall
	[ TR 10.00 ]	Top Retaining
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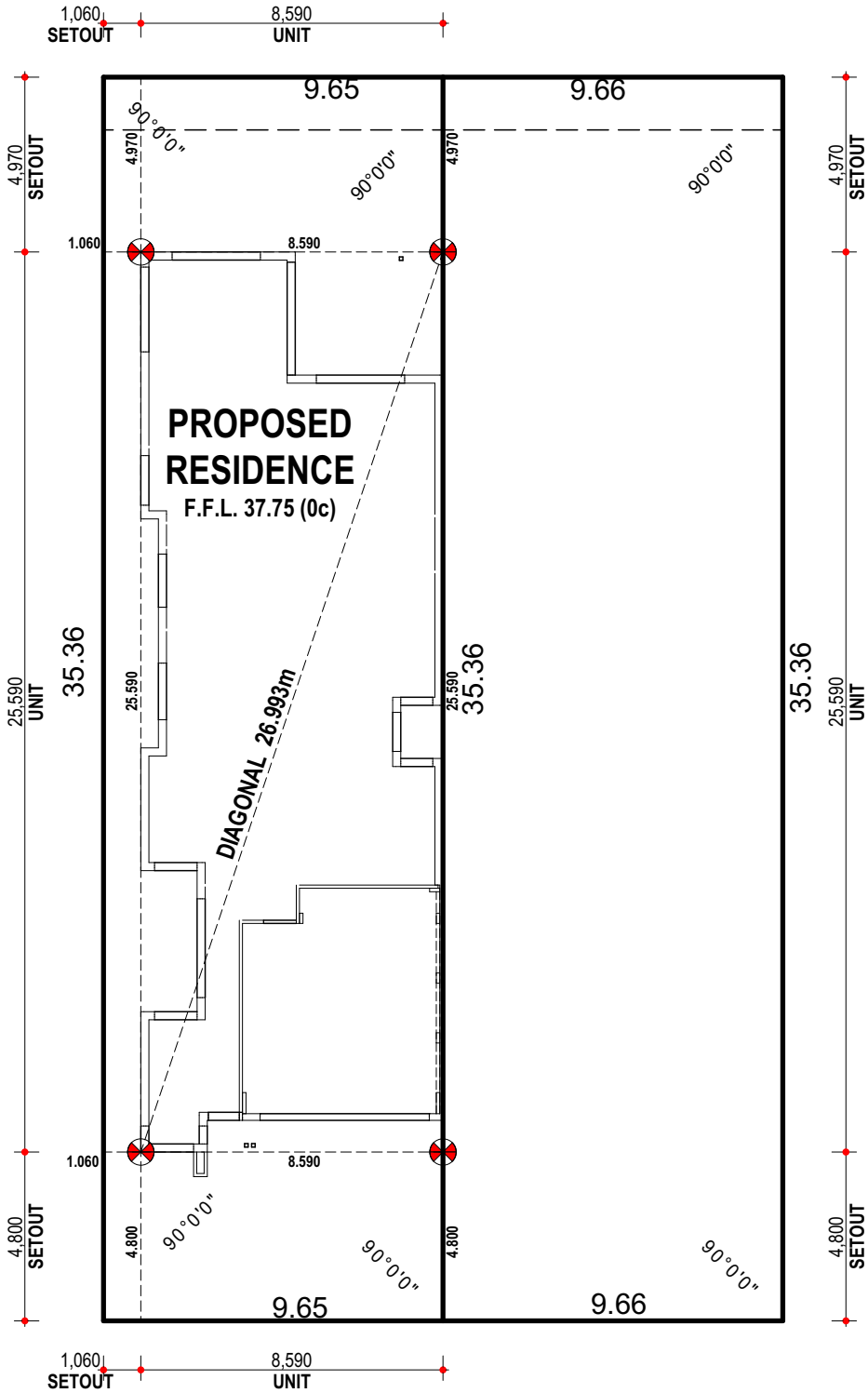
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CONCRETOR / BRICKLAYER NOTE:

- B'WALL ON STRATA B'DRY HAS BEEN CALCULATED TO BE SET ON THE B'DRY.



BUILDER:	CLIENT(S):	WITNESS:
.....	.....	.....
.....	.....	.....
.....	.....	.....
.....	.....	.....
.....	.....	.....
.....	.....	.....
.....	.....	.....
.....	.....	.....
.....	.....	.....

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AREA: 683m²	ROAD DESCR.: BITUMEN	GAS: YES	SSA/OLD AREAS: OLD A.	UNLODGED SS PLAN: N/A
SHIRE: JOONDALUP	KERBING: MOUNT	WATER: YES	C/JOB#: 438547	ORIGINAL LOT: N/A
D.PLAN: 9836	FOOTPATH: NIL	ELECTRICITY: O/H	DATE: 27 JUN 18	LOT MISCLOSE: 0.000
C/T VOLUMN: 492	SOIL: SAND / LIMESTONE (POSS)	PH/COMMS: YES	SCALE: 1:200	SSL 1 MISCLOSE: N/A
FOLIO: 19A	DRAINAGE: GOOD	SEWER: YES	DRAWN: C. WEIGHTMAN	SSL 2 MISCLOSE: N/A
MSD REF: 250 13/04	VEGETATION: RTS	COASTAL: NO		

PROPOSED RESIDENCE FOR: FAIRHEAD	DRAWN: JS	SCALE: 1:200	Issue Name V01-2 JS 5/03/19 V008 DMA 17/01/20 SURVEY JS 24/01/20 V009 DMA 06/02/20 V010 DMA 14/02/20 V014 DMA 28/04/20	Drawn Date
ADDRESS: LOT 9 (#6) CLEVEDON PLACE, KALLAROO.	DESIGNED: ALI	SHEET: 3 OF 10	DIVISION: SUMMIT PROJECTS	Drawn Date
	CHECKED: DM	SIZE: A3	JOB N°	
	DATE: 5/03/19		155652	
	MODEL:		SETOUT PLAN	
	SPECIAL			





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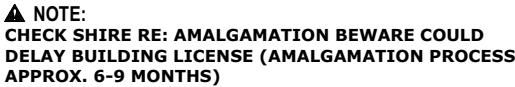
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- CONNECT ALL DOWNPIPES TO STORMWATER SOAKWELLS AS PER SHIRE REQUIREMENTS.
- PART 3.1.2 DRAINAGE: ALL STORMWATER & SURFACE WATER DRAINAGE TO COMPLY W/ A.S. 3500.3:2003, CLAUSE 3.1.2.1 & 3.1.2.5 BCA VOL. 2 & LOCAL AUTHORITY REQUIREMENTS.
- REFLUX VALVE REQUIRED.

Soak Well Type	No.	
SW 1500x1500	2	5.3 m3
Total Capacity		5.3 m3
Roof Area GF		222.1 m2
Paved Area		77.8 m2
Total Area		299.9 m2
Capacity Required (Area x 0.0130)		3.9 m3
Extra Capacity Provided		1.4 m3



BUILDER: \_\_\_\_\_ / \_\_\_\_\_

CLIENT(S): \_\_\_\_\_ / \_\_\_\_\_

\_\_\_\_\_ / \_\_\_\_\_

WITNESS: \_\_\_\_\_ / \_\_\_\_\_

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Email : [perth@cottage.com.au](mailto:perth@cottage.com.au) Website: [www.cottage.com.au](http://www.cottage.com.au)

AREA: 683m²	ROAD DESCR.: BITUMEN	GAS: YES	SSA/OLD AREAS: OLD A.	UNLODGED SS PLAN: N/A
SHIRE: JOONDALUP	KERBING: MOUNT	WATER: YES	C/JOB#: 438547	ORIGINAL LOT: N/A
D.PLAN: 9836	FOOTPATH: NIL	ELECTRICITY: O/H	DATE: 27 JUN 18	LOT MISCLOSE: 0.000
C/T VOLUMN: 492	SOIL: SAND / LIMESTONE (POSS)	PH/COMMS: YES	SCALE: 1:200	SSL 1 MISCLOSE: N/A
FOLIO: 19A	DRAINAGE: GOOD	SEWER: YES	DRAWN: C. WEIGHTMAN	SSL 2 MISCLOSE: N/A
MSD REF: 250 13/04	VEGETATION: RTS	COASTAL: NO		

PROPOSED RESIDENCE FOR:  
FAIRHEAD

ADDRESS:  
LOT 9 (#6) CLEVEDON PLACE,  
KALLAROO.

[illegible]

SITE CLASSIFICATION - CLASS 'A'  
(REFER TO SITE REPORT FOR  
DETAILS) WIND LOAD - N1  
CORROSION CLASSIFICATION - R3

BRICK NOTE

- 2c FACE BRICK TO BE LAID IN THIRD BOND UNLO

ROOF NOTE

- COLORBOND ROOF, PITCH AT 25° W/ 500W EAVES UNO

- STEEL ROOF FRAME TO NASH STANDARDS

- CEILINGS AT 31c + PLATE UNLESS NOTED OTHERWISE

ROOF PLUMBER NOTE

- PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)

- FINAL POSITIONS OF RWPS TO BE DETERMINED ON SITE

- RWPS IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER SYSTEM (NO KICK)

ROOF INSULATION NOTE

- R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL PLASTERBOARD OR VERSILUX CEILINGS IF APPL.

CEILING MATERIAL NOTE

- PORCH - HARDIFLEX C.L.

- GARAGE - HARDIFLEX C.L.

- ALFRESCO - PLASTERBOARD C.L.

ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS INDICATED ON PLAN

FIXING CARPENTER NOTE

- 4 No. 450D SHELVES TO PANTRY AND LINEN UNO

- 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO

- 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY

- PROVIDE MID-SHELF SUPPORT WHERE NOTED "MSS" TO ANY SHELF OVER 1.8m LONG

TRADES / SUPERVISOR NOTE

- REFER TO STRUCTURAL ENGINEERS DETAILS

- ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS & STANDARD SPECIFICATION.

GARAGE NOTE

- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF

- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPNG

RENDER WALL NOTE

- PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED WALLS & HFLEX / VERSILUX CEILINGS

SANITARY COMPARTMENTS NOTE

- WHERE INDICATED BY "WC" DOORS TO SANITARY FACILITIES ARE INSTALLED WITH LIFT-OFF HINGES AS PER PART 3.8.3.3 OF B.C.A. (VOL. 2)

BRICKLAYER NOTE

- 1ST FACE BRICKWORK WHERE EVER POSSIBLE.

- FOR 2c GARAGE

- 25c & 31c GARAGE HAS 4c LINTEL

- 28c GARAGE HAS 3c LINTEL

CONCRETOR/BRK LAYER NOTE

- NOTE BRICK WALL ON STRATA BOUNDARY HAS BEEN CALCULATED TO BE SET INSIDE THE BOUNDARY BY 5mm.

- ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c UNLESS NOTED OTHERWISE

AIRCON NOTE

- PROVIDE REVERSE CYCLE AIR CONDITIONING. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.

- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

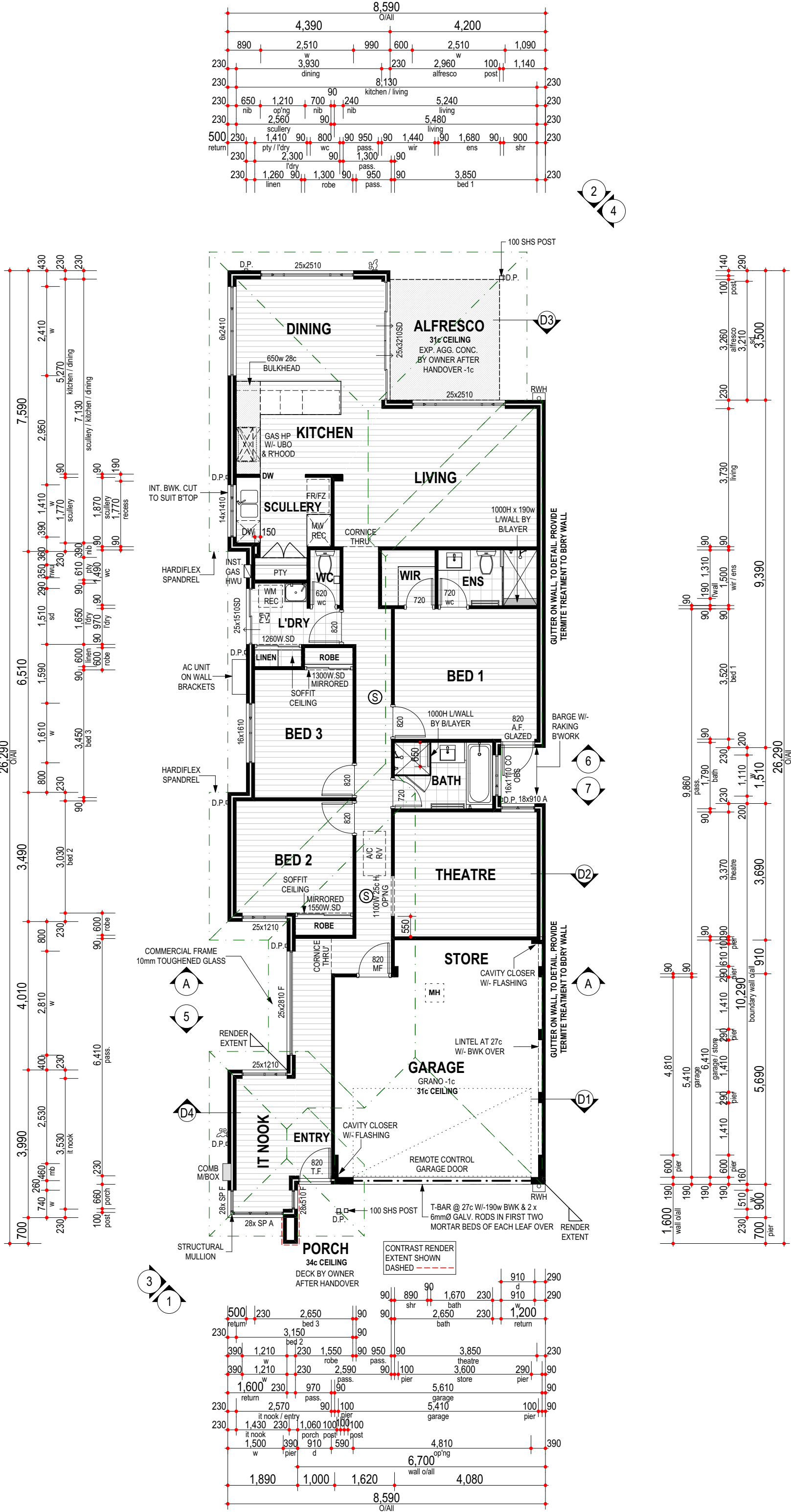
PLUMBER NOTE

- NO HOBBS TO SHOWERS UNLESS SHOWN OTHERWISE.

- PLUMBER TO INSTALL REFLUX VALVE.

PLASTERBOARD NOTE

- PROVIDE PLASTERBOARD TO WALLS WHERE INDICATED BY "DW"



FLOOR PLAN

	Area m <sup>2</sup>	Perim. L/m
1. FLOOR PLAN	151.61	74.96
2. GARAGE	31.92	22.60
3. STORE	4.08	10.16
4. PORCH	1.35	4.80
5. ALFRESCO	11.20	13.40
6. TOTAL AREA	200.16	74.96
7. ROOF	222.12	77.78

DO NOT SCALE FROM THIS DRAWING

All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.

ALL DIMENSIONS TO BRICKWORK.

BUILDER: .....

CLIENT(S): .....

WITNESS: .....

PROPOSED RESIDENCE FOR:  
FAIRHEAD

ADDRESS:  
LOT 9 (#6) CLEVEDON PLACE,  
KALLAROO.

DRAWN: JS

DESIGNED: ALI

CHECKED: DM

DATE: 5/03/19

MODEL: SPECIAL

SCALE: 1:100

SHEET: 5 OF 10

SIZE: A2

DIVISION: SUMMIT PROJECTS

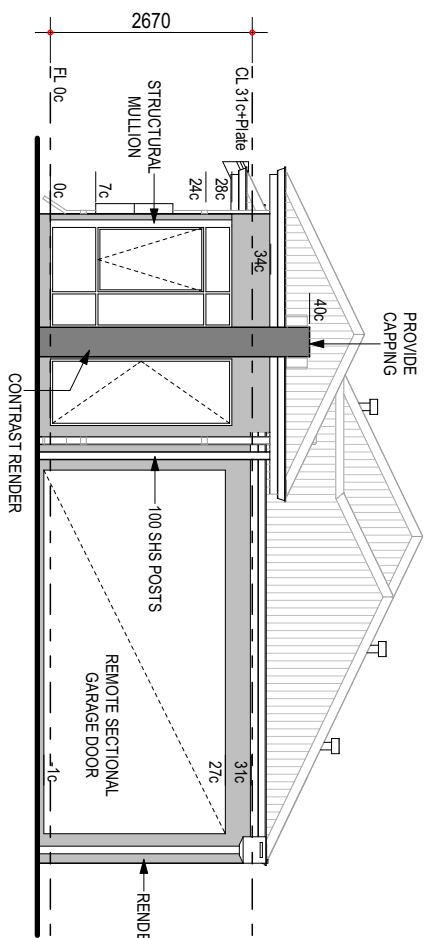
JOB N°: 155652

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V01-2	JS	5/03/19	V008	DMA	17/01/20
V009	DMA	06/02/20	V010	DMA	14/02/20
V014	DMA	28/04/20			

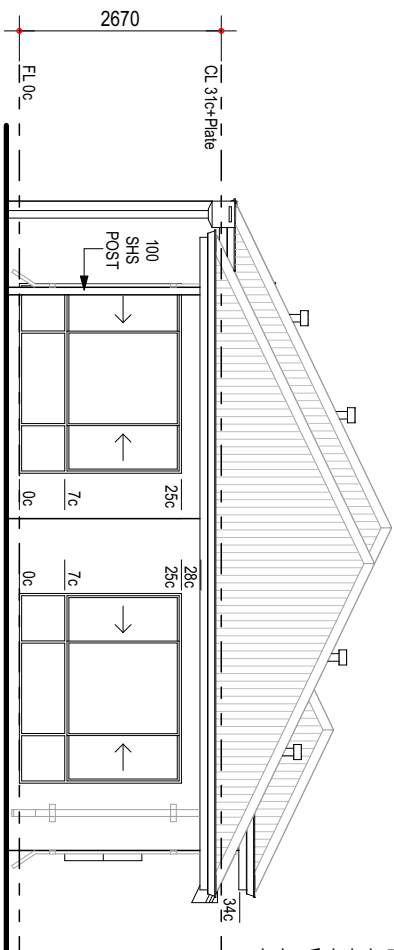
FLOOR PLAN



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**ALL DIMENSIONS TO BRICKWORK.**



## ELEVATION 1

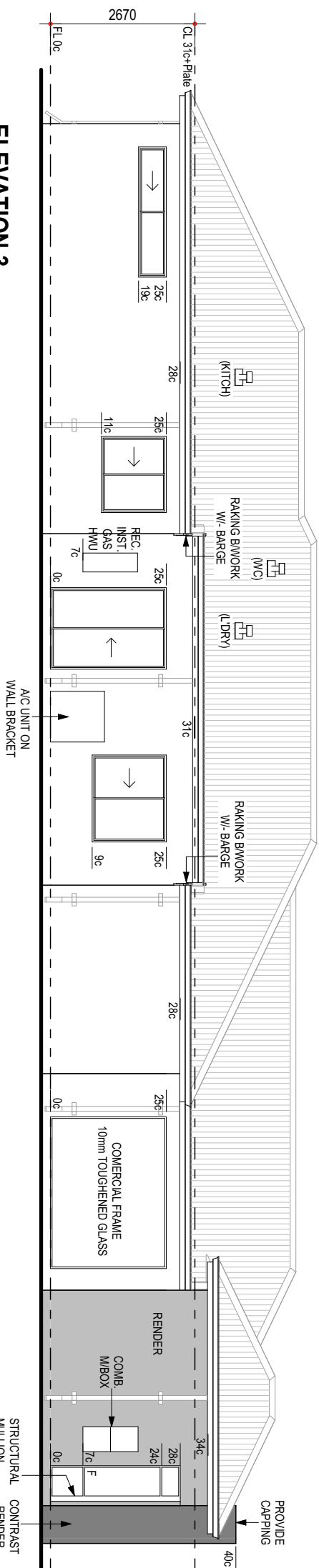


**ROOF NOTE**

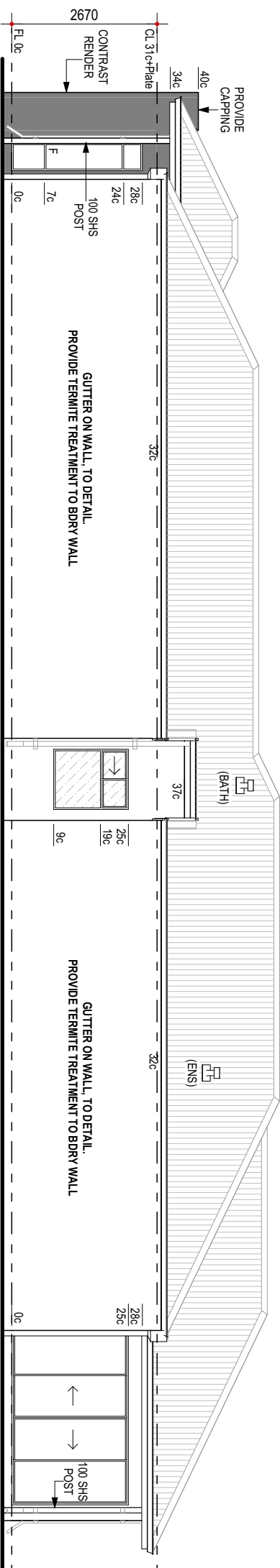
- COLORADO ROOF - PITCH AT 25° W/ 500W EAVES UNO-
- STEEL ROOF IN ACCORDANCE TO MASH STANDARD
- CEILINGS AT 31'C + PLATE UNLESS NOTED OTHERWISE

**WINDOW SUPPLIER NOTE**

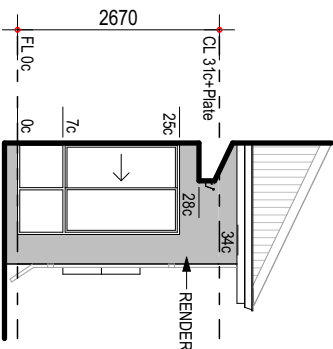
- SHAPED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288



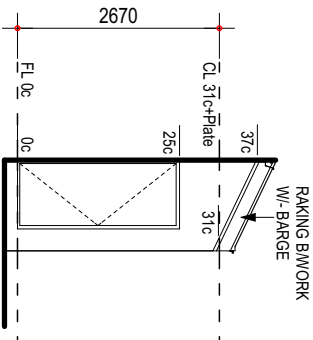
## ELEVATION 3



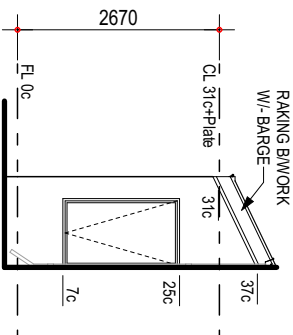
## ELEVATION 4



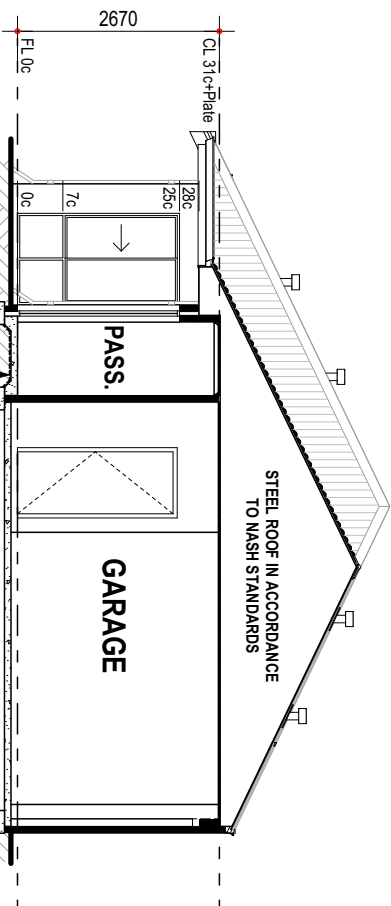
## ELEVATION 5



## ELEVATION 6



## ELEVATION 7



**SECTION A-A**  
**SCALE 1:100**

BUILDER:	/	/
CLIENT(S):	/	/
WITNESS:	/	/

PROPOSED RESIDENCE FOR:  
FAIRHEAD

ADDRESS:  
LOT 9 (#6) CLEVEDON PLACE,  
KALLAROO.

DRAWN: JS  
DESIGNED: ALI  
CHECKED: DM  
DATE: 5/03/19  
MODEL:  
**SPECIAL**

SCALE: 1:100  
SHEET: 6 OF 10  
SIZE: A3  
DIVISION: SUMMIT PROJECTS  
JOB N°  
**155652**

Issue Name	Drawn	Date
V01-2	JS	5/03/19
V008	DMA	17/01/20
V009	DMA	06/02/20
V010	DMA	14/02/20
V014	DMA	28/04/20

Issue Name	Drawn	Date
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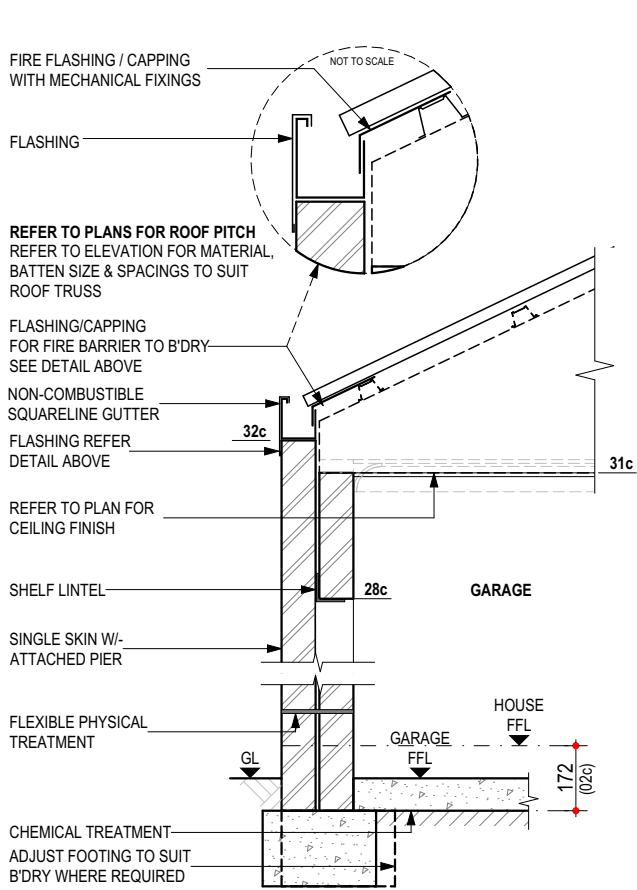
## ELEVATIONS - SECTION



**SUMMIT**  
HOMES GROUP

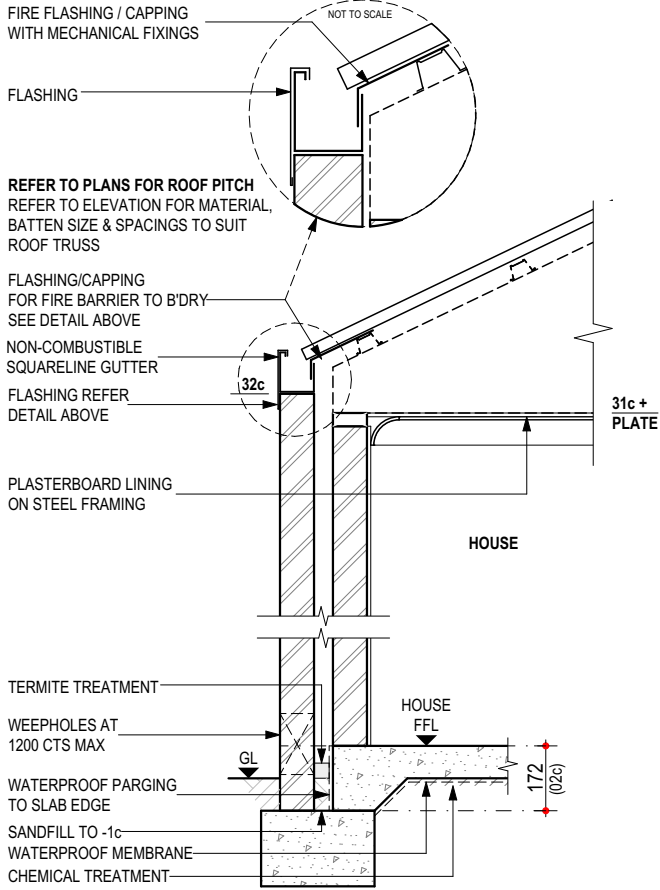


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Supervisor without delay.  
ALL DIMENSIONS TO BRICKWORK.



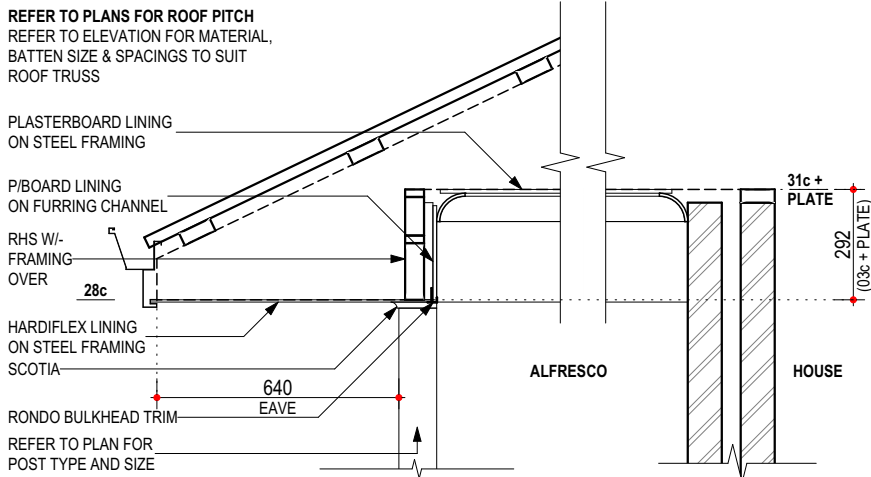
**D01 - GUTTER ON WALL/FLASHING DETAIL TO GARAGE  
W/- TERMITE TREATMENT**

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
  - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
  - REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
  - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
  - SCALE 1 : 20



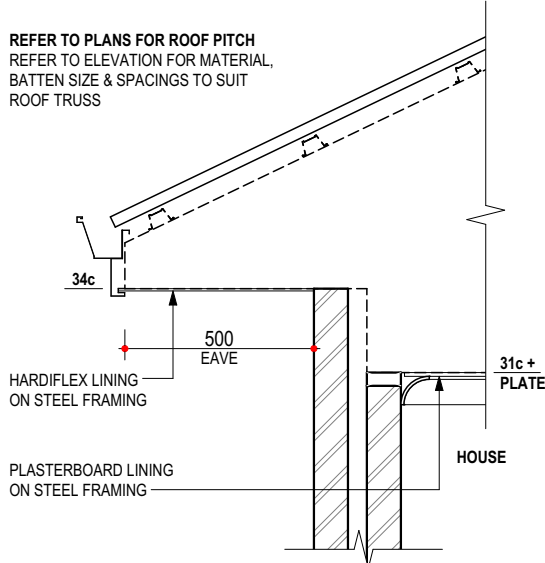
**D02 - GUTTER ON WALL / FLASHING DETAIL TO HOUSE  
W/- TERMITE TREATMENT**

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
  - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
  - REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
  - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
  - SCALE 1 : 20



**D03 - 3c RECESSED CEILING TO ALFRESCO**

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
  - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
  - SCALE 1 : 20



**D04 - IT NOOK EAVE**

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
  - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
  - SCALE 1 : 20

BUILDER:	_____
CLIENT(S):	_____
WITNESS:	_____

PROPOSED RESIDENCE FOR:  
**FAIRHEAD**

ADDRESS:  
**LOT 9 (#6) CLEVEDON PLACE,  
KALLAROO.**

DRAWN: JS  
DESIGNED: ALI  
CHECKED: DM  
DATE: 5/03/19  
MODEL:  
**SPECIAL**

SCALE: AS NOTED  
SHEET: 7 OF 10  
SIZE: A3  
DIVISION: SUMMIT PROJECTS  
JOB N°  
**155652**

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V01-2	JS	5/03/19			
V008	DMA	17/01/20			
V009	DMA	06/02/20			
V010	DMA	14/02/20			
V014	DMA	28/04/20			

**DETAILS**



- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

- SHADING DENOTES EXTENT OF TILING
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES

WET AREAS CONSTRUCTED IN ACCORDANCE WITH  
PART 3.8.1 OF B.C.A. (VOL 2)



BUILDER:	/	/
CLIENT(S):	/	/
	/	/
WITNESS:	/	/

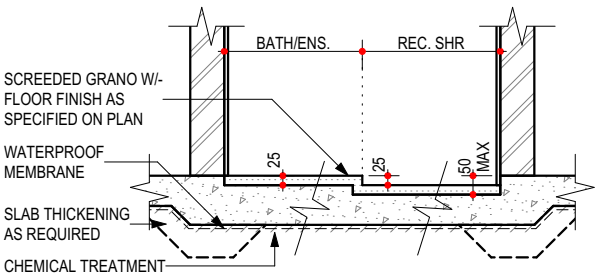
DRAWN: JS  
DESIGNED: ALI  
CHECKED: DM  
DATE: 5/03/19  
MODEL:  
**SPECIAL**

SCALE: 1 : 50  
SHEET: 8 OF 10  
SIZE: A3  
DIVISION: SUMMIT PROJECTS  
JOB N°  
155652

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V009	DMA	06/02/20			
V010	DMA	14/02/20			
V014	DMA	28/04/20			







RECESSED SHOWER DETAIL (NO HOB)

NOTES:

- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- SCALE 1 : 20

BENCHTOP NOTE

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

WALL FINISH NOTE

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

CABINETMAKER NOTE

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

TILER NOTE

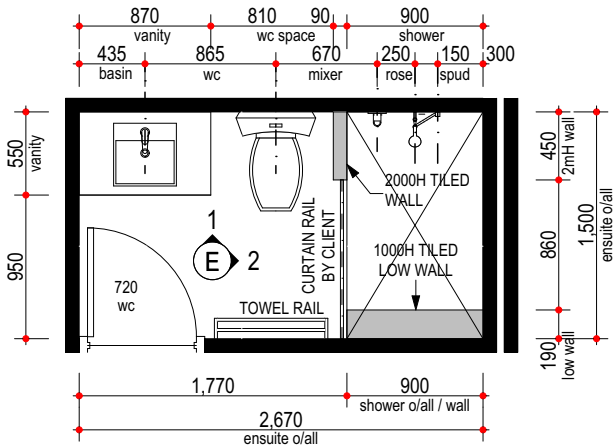
- SHADING DENOTES EXTENT OF TILING
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES

DO NOT SCALE FROM THIS DRAWING

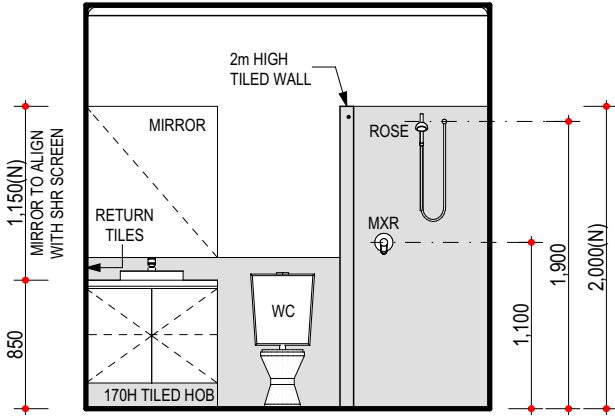
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.  
ALL DIMENSIONS TO BRICKWORK.

REFER TO ADDENDUM FOR FITOUT SPECIFICATION

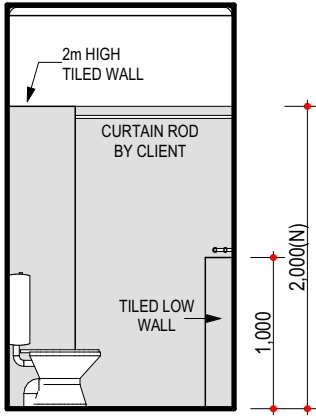
WET AREAS CONSTRUCTED IN ACCORDANCE WITH PART 3.8.1 OF B.C.A. (VOL 2)



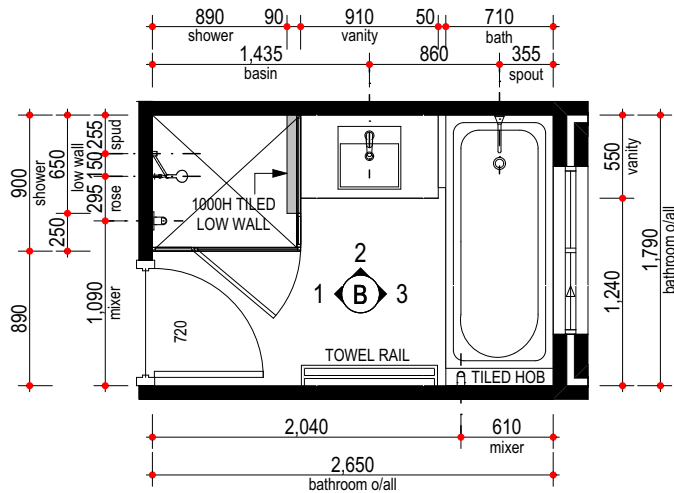
ENSUITE PLAN



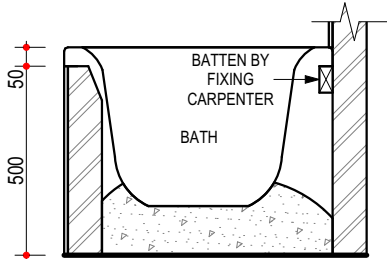
E1 VIEW



E2 VIEW

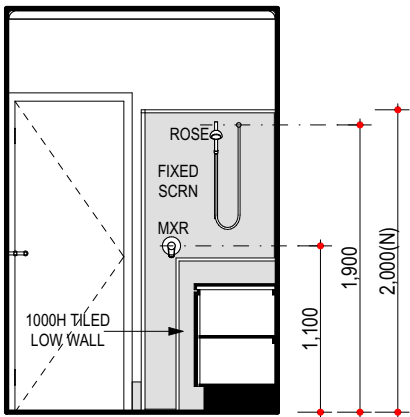


BATH PLAN

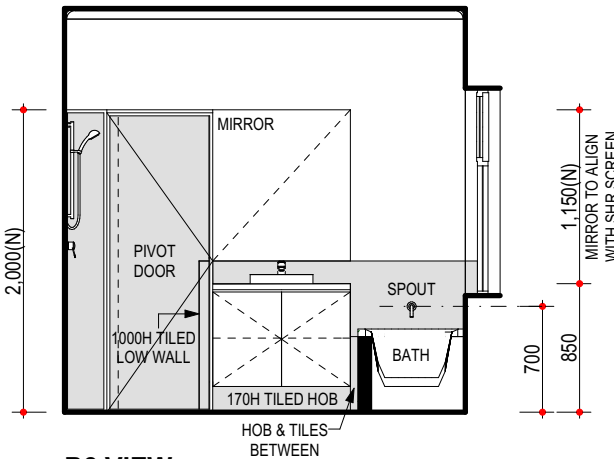


TYPICAL BATH HOB SECTION

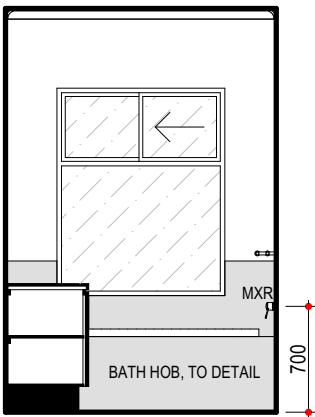
- SCALE 1 : 20



B1 VIEW



B2 VIEW



B3 VIEW

WITNESS: \_\_\_\_\_  
CLIENT(S): \_\_\_\_\_  
BUILDER: \_\_\_\_\_

PROPOSED RESIDENCE FOR:  
FAIRHEAD

ADDRESS:  
LOT 9 (#6) CLEVEDON PLACE,  
KALLAROO.

DRAWN: JS  
DESIGNED: ALI  
CHECKED: DM  
DATE: 5/03/19  
MODEL: SPECIAL





SCALE: 1 : 50  
SHEET: 9 OF 10  
SIZE: A3  
DIVISION: SUMMIT PROJECTS  
JOB N° 155652

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V01-2	JS	5/03/19			
V008	DMA	17/01/20			
V009	DMA	06/02/20			
V010	DMA	14/02/20			
V014	DMA	28/04/20			

BATHROOM - ENSUITE LAYOUTS

ELECTRICAL LEGEND

Ground Floor

Qty	Sym.	Description	Watts	Insulation Penetrations
2		EXTERNAL WALL LIGHT @ 2000 AFL Perimeter Lighting	22*	*
6		RECESSED LED DOWN-LIGHT ( 7w) External	42*	*
2		CEILING LIGHT (11w) Class 10	22*	*
2		STARLIGHT ( 3w)	6	0.013
1		RECESSED LED DOWN-LIGHT (11w)	11	
23		RECESSED LED DOWN-LIGHT ( 7w)	161	
2		PLUG BASE	0	
2		H.WIRED SMOKE DETECTOR	0	
3		EXHAUST FAN	0	0.136
3		CEILING LIGHT (11w)	33	
2	2 WAY	2 WAY SWITCH	0	
1		W/P SGPO INSTALLED IN HWU	0	
1		SINGLE GPO IN/ON CEILING	0	
1		SINGLE GPO FOR R/H (REFER TO PLAN FOR R/H TYPE)	0	
4		SINGLE GPO @ NOTED HT	0	
1		NBN LEAD IN CONDUIT (25mm) W/- BLANK FACE PLATE AT 1500 AFL	0	
2		DOUBLE WATER PROOF GPO	0	
1		DOUBLE GPO @ NOTED HT W/USB	1	
7		DOUBLE GPO @ NOTED HT	0	
1		DOUBLE GPO @ 200 AFL W/USB	1	
10		DOUBLE GPO @ 200 AFL	0	
1		DOUBLE GPO @ 1500 AFL W/ 20mm CONDUIT FOR PSU CONNECTION	0	
1		CONDUIT FOR NBN (25mm)	0	
3		CONDUIT 20mm	0	
1		CONDUIT (32mm)	0	
1		25mm CONDUIT TO SWITCH	0	
1		D2 (2x DATA/PHONE) FOR NBN PROVISION @ 1500 AFL	0	
1		C1 (TV) + D2 (PH/DATA)	0	
1		C1 (TV)	0	

\* NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. Subtotal: 213 0.148  
PERIMETER LIGHTING MIN. 40 LUMENS/W.

Total Class 1 Wattage= 213

LIGHT AND VENTILATION CALC.

Room Name	Opn %	Light	Vent.
6   IT NOOK			
Min. Ventilation = 0.41   Min. Light= 0.55 Total Area= 5.50			
W04   Sliding	36 %	2.59 m2	0.93 m2
W03   Fixed	0 %	1.78 m2	0.00 m2
W02   Awning	34 %	3.60 m2	1.24 m2
W01   Fixed	0 %	1.22 m2	0.00 m2
Totals		Light 9.19 m2	Vent 2.17 m2
5   THEATRE			
Min. Ventilation = 0.97   Min. Light= 1.30 Total Area= 12.97			
W15   Awning	100 %	1.40 m2	1.40 m2
Totals		Light 1.40 m2	Vent 1.40 m2
4   BED 3			
Min. Ventilation = 0.69   Min. Light= 0.91 Total Area= 9.14			
W07   Sliding	50 %	2.21 m2	1.10 m2
Totals		Light 2.21 m2	Vent 1.10 m2
3   BED 2			
Min. Ventilation = 0.72   Min. Light= 0.95 Total Area= 9.54			
W06   Sliding	36 %	2.59 m2	0.93 m2
Totals		Light 2.59 m2	Vent 0.93 m2
2   BED 1			
Min. Ventilation = 1.02   Min. Light= 1.36 Total Area= 13.55			
D02   Door	100 %	1.95 m2	1.95 m2
Totals		Light 1.95 m2	Vent 1.95 m2
1   SCULLERY   LIVING   KITCHEN   DINING			
Min. Ventilation = 3.31   Min. Light= 4.41 Total Area= 44.07			
W13   Sliding	36 %	5.38 m2	1.94 m2
W12   Sliding Door	50 %	6.88 m2	3.44 m2
W11   Sliding	36 %	5.38 m2	1.94 m2
W10   Sliding	50 %	1.24 m2	0.62 m2
W09   Sliding	50 %	1.69 m2	0.85 m2
Totals		Light 20.57 m2	Vent 8.78 m2

Inputs for Airmovement and Light are Valid



WITNESS:

CLIENT(S):

BUILDER:

PROPOSED RESIDENCE FOR:  
FAIRHEAD

ADDRESS:  
LOT 9 (#6) CLEVEDON PLACE,  
KALLAROO.

DRAWN: JS  
DESIGNED: ALI  
CHECKED: DM  
DATE: 5/03/19  
MODEL: SPECIAL

SCALE: 1:100  
SHEET: 10 OF 10  
SIZE: A3  
DIVISION: SUMMIT PROJECTS  
JOB N° 155652

Issue Name	Drawn	Date
V01-2	JS	5/03/19
V008	DMA	17/01/20
V009	DMA	06/02/20
V010	DMA	14/02/20
AMEND	DMA	15/04/20
V014	DMA	28/04/20

ELECTRICAL PLAN

Wattage Calculations (Class 1)

Story Name	Area	Allowed Wattage	Actual Wattage
0   Ground Floor	136.28 Sqm	681 w	213 w
	136.28 sqm	681 w	213 w

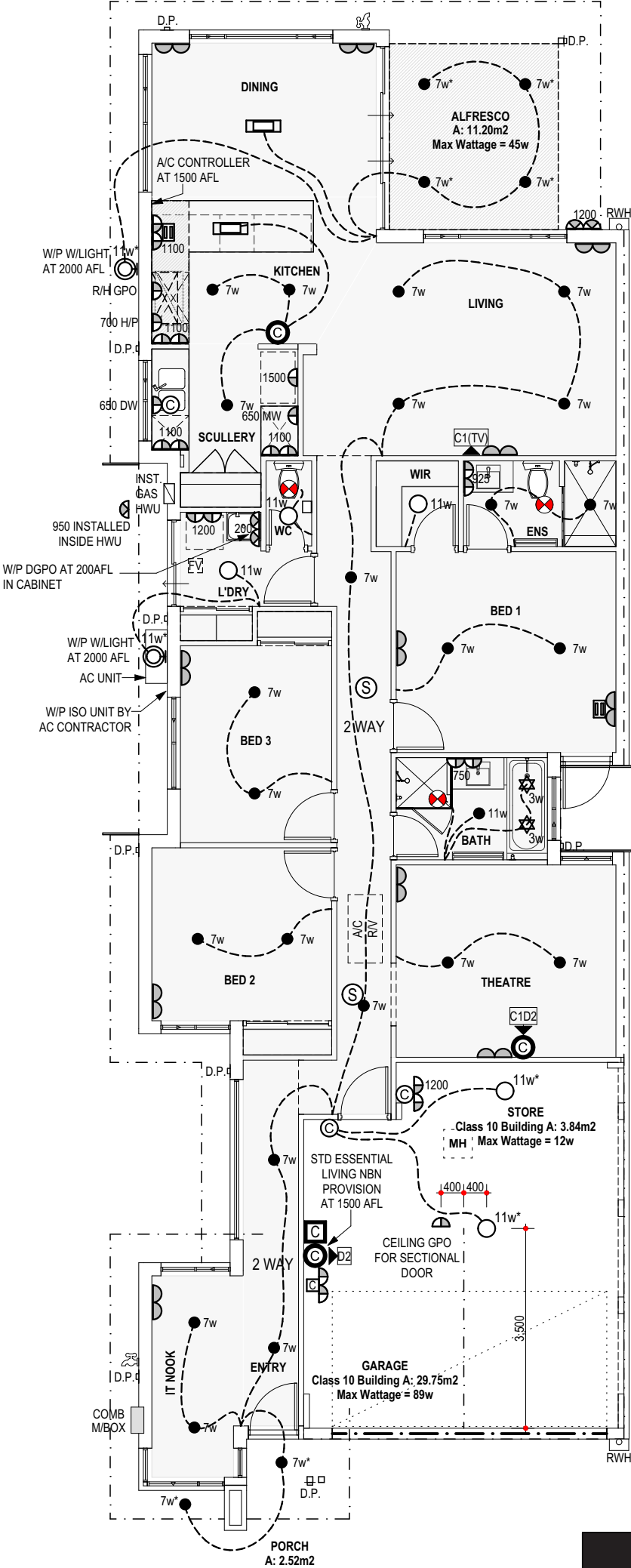
PASS

Recessed Fitting Penetrations (Class 1)

Story Name	Area	Maximum Penetrations	Actual Penetrations
Total Insulation Area VentslRangeHoods	136.28 sqm	0.681 sqm	0.148 sqm 0.094 Sqm
	136.28 sqm	0.681 sqm	0.242 sqm

PASS

CLIENT NOTE: MAX WATTAGE AND  
PENETRATIONS MUST NOT BE EXCEEDED



DO NOT SCALE FROM THIS DRAWING  
All Sub-contractors to check dimensions  
& notes prior to initiating works. Any  
discrepancies to be notified to the Site  
Supervisor without delay.  
ALL DIMENSIONS TO BRICKWORK.

REFER TO ADDENDUM FOR ELEC. SPECIFICATION

ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO AS3786-2014
- FINAL POSITION OF ELECTRICAL ITEMS SUCH AS GPO'S, LIGHT SWITCHES ETC. MAY VARY ON SITE DUE TO ELECTRICAL REGULATIONS. LIGHT SWITCH HEIGHT TO BE AT 1200 AFL U.N.O.
- NEUTRAL CABLING REQUIRED TO ALL LIGHT SWITCHES.
- ALL EXHAUST FANS TO BE FLUED TO EXTERNAL AIR
- PROVIDE SPLITTER FOR UP TO 3x C1 POINTS

AIRCON NOTE

- PROVIDE REVERSE CYCLE AIR CONDITIONING. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.



SUMMIT  
HOMES GROUP