#### **▲**DISCLAIMER:

Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan-Title should be checked to verify all lot details and for any easements or other interests which

OFFSET

#13

2-Storev Brick

& Galv On Slab

Balconv

Approx. F/L At Front Door 14.07

PEG Concrete
GONE Path

Inspection Shaft

Connection (ISC)

NOTE: UP

Inv: 11.7 Depth: 2.3

Water Corp. Advises That Shaft Brought to Within 1.5m of Surface

Porch

13.92

NOTE: (ISC) Sewer Inspection Shaft Connection. Not Standard Junction Refer to Plumber & Water Corp.

within a reasonable tolerance

Brick Wa

13.84

13.49

On L'stone

Ret Wall

Ò

W15.98]

TW14.42

Alpha Way

#### ADISCLAIMER:

may affect building on the property. Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' ADISCLAIMER:

location verified in relation to the true boundary. Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

#### ADISCLAIMER:

Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

M VACANT N NAII IN L'STONE Brick Wall

Ret Wall

L'STONE

OFFSET

MVACANT M

PEG FND

Mountable

using data supplied by the Geodetic

Ref Nail At Base Of Kerb A.H.D. level 13.34m

(Established from S.S.M. SPEARWOOD 45A

NUMB

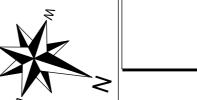
13.5 Verge\Tree Ø 0.10m Ht 4.0m

Section of Landgate)

13.43

[TF 10.00] Top Fence

DUG TO LEVEL 13.72 ON LOT (SAND ONLY)



SITE SURVEY AREA

LOT 834

COASTAL YES

#15 Alpha Way

North Coogee Suburb CITY OF COCKBURN

D.Plan 402686 Volume 2854 Folio 618

**Check Title** 

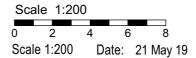
# NOTE: NOTIFICATION. REFER TO SEC 70A T.L.A. SEE DOCUMENT M78318

▲ NOTE: RESTRICTIVE COVENANT. REFER TO SEC 136D T.L.A. SEE DOCUMENT M793179

Light Grass Cover

LOT MISCLOSE 0.000m

SOIL DESCRIPTION Sand / L/Stone(Poss)



Elec. 

U/Ground Water Yes Yes Sewer Check Your Lot With Alinta Gas Call 13 13 58 Yes Footpath Concrete Call 13 13 58 Road Bitumen Kerb Mountable Drainage Good

# -Licensed Surveyors-

87-89 Guthrie Street, Osborne Park, Western Australia Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998

Email: perth@cottage.com.au Website: www.cottage.com.au J/No: 453584 Drawn: J. Jee

# EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES. RETAINING NOT INCLUDED IN CONTRACT - REMAINS OWNERS RESPONSIBILITY. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. CHECK TITLE FOR EASEMENTS / COVENANTS ETC

02/6/20

AL

VO 10

WE TURN A HOUSE INTO A HOME 41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

**House Type: Custom** Job No:19045 Drawing Name: EXISTING SITE PLAN Sheet No: 1 of 22 Council: COCKBURN | Specification: ULTRA Lot Address:LOT 834 (#15) ALPHA WAY,NORTH COOGEE THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT VARIATIONS REV NO. VARIATION DATE DRN. BY Client Name: K. JEFFREY WORKING DRAWINGS 09/08/19 MG Signature: 2 A/C LAYOUT 18/09/19 MG 3 VO 2 14/10/19 MG Client Name: W. JEFFREY PRESTART 15/11/19 MG VO 4 & 5 MG 28/11/19 Signature: VO 6 17/12/19 AL SCHEDULING & ENGINEERING FIXUPS SA 23/1/20 The home will be built to the dimensions on the This plan shall remain the sole property of the builder 8 VO 9 19/2/20 AL working drawings and must not be given, lent, resold or otherwise

disposed or copied without the permission in writing

NOTE:

#### **▲**DISCLAIMER:

Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan-Title should be checked to verify all lot details and for any easements or other interests which

NAII IN

L'STONE

#13

2-Storey Brick

& Galv On Slab

Balcony

STORMWATER

**PRELAY** 

Approx. F/L At Front Door 14.07

DRIVEWAY BY BUILDER Brick Wa

CROSSOVER BY

**BUILDER TO SHIRE** 

REQUIREMENTS

Inspection Shaft

Connection (ISC)

NOTE: UP

Inv: 11.7 Depth: 2.3

Water Corp. Advises

That Shaft Brought to

Within 1.5m of Surface

NOTE: (ISC) Sewer Inspection Shaft Connection. Not Standard Junction

EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES. RETAINING

Refer to Plumber & Water Corp.

PEG Concrete
GONE Path

EXPOSED AGGREGATE

Porch

OFFSET

Brick Wall

On L'stone

Ret Wall

ADISCLAIMER:

may affect building on the property. Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' ADISCLAIMER:

location verified in relation to the true boundary. Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any desian work.

#### ADISCLAIMER:

Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

|          | No.          | Soak Well Type |  |  |
|----------|--------------|----------------|--|--|
| 2.1 m3   |              | SW 1500x1200   |  |  |
| 2.1 m3   | Total        | Capacity       |  |  |
| 0.0 m2   | Roof Area GF |                |  |  |
| 162.5 m2 | Roof /       | Area UF        |  |  |
| 162.5 m2 | Total        | Area           |  |  |

2.0 m3 Capacity Required (Area x 0.0125) 0.1 m3 Extra Capacity Provided

[TF 10.00] Top Fence

DUG TO LEVEL 13.72 ON LOT (SAND ONLY)



SITE SURVEY LOT 834 AREA #15 Alpha Way

YES Only - Confirm With Shire

**COASTAL** 

North Coogee Suburb CITY OF COCKBURN

D.Plan 402686 Volume 2854 Folio 618 **Check Title** Location

# NOTE: NOTIFICATION. REFER TO SEC 70A T.L.A. SEE DOCUMENT M783180

▲ NOTE: RESTRICTIVE COVENANT. REFER TO SEC 136D T.L.A. SEE DOCUMENT M793179

LOT MISCLOSE 0.000m

SOIL DESCRIPTION Sand / L/Stone(Poss) Light Grass Cover

Scale 1:200 Scale 1:200 Date: 21 May 19

| Elec. + U/Ground                                | Water_  | Yes       | Sewer    | Yes      |
|---|---------|-----------|----------|----------|
| Check Your Lot With Alinta<br>Gas Call 13 13 58 | Phone T | Yes       | Footpath | Concrete |
| Road Bitumen                                    | Kerb    | Mountable | Drainage | Good     |

BAL 12.5

#### REFER TO ENGINEERS PLANS & ADDENDA

TERMITE TREATMENT IS TO BE **FULL TERMIMESH SYSTEM IN** ACCORDANCE WITH A.S. 3660.1

NOTE:

**REFER TO SHEET 3 FOR** SETOUT & SETBACK DIMENSIONS

STORMWATER LAYOUT TO COMPLY WITH BCA PART 3.1 & AS/NZ 3500.3.2003 PLUMBING & DRAINAGE **PART 3: STORMWATER DRAINAGE** & SHIRE REQUIREMENTS

# COTTAGE & ENGINEERING

87-89 Guthrie Street, Osborne Park, Western Australia Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998

-Licensed Surveyors

NOTE:

WE TURN A HOUSE INTO A HOME 41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

NOT INCLUDED IN CONTRACT - REMAINS OWNERS RESPONSIBILITY. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. CHECK TITLE FOR EASEMENTS / COVENANTS ETC.

M\_VACANT\_M

PROPOSED

RESIDENCE

GARAGE I W'SHOP

/F.F.L./13.978 (-2c)

EXPOSED

AGGREGATE

Alpha Way

13.4

F.F.L./14.15/(0c).[]

4 x PILES

REFER TO ENG CERT

**ALFRESCO** 

AGGREGATE

11cH 1c FACEBRICK

LET/TERBOX

Ret Wall

NAIL IN

L'STONE

OFFSET

DUCTED REVERSE

M\_VACANT\_M

5cH RENDERED

EXISTING WATER

METER LOCATION

-EXISTING POWER

DOME LOCATION

PLANTER BOX

-CYCLE UNIT

EXPOSED

AGG @-1c

**STORMWATER** 

PORCH F.F.L. 13.978 (-2c)

Verge\Tree

Section of Landgate)

Ø 0.10m

Ht 4.0m

13.43

▼ T.O.F @-3c

Mountable

using data supplied by the Geodetic

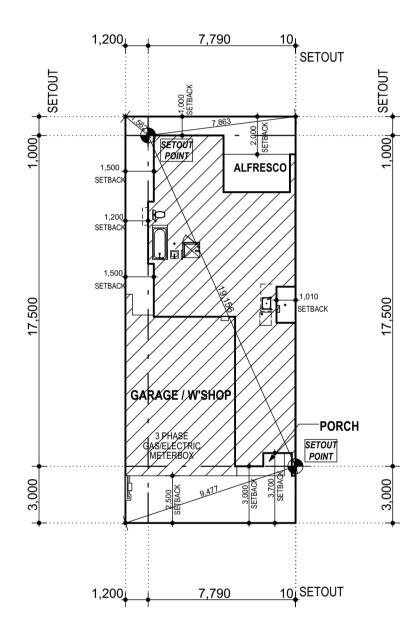
Ref Nail At Base Of Kerb A.H.D. level 13.34m

(Established from S.S.M. SPEARWOOD 45A

ON BRACKETS

9

| House Type: Custom                              | Job No:19045          | Drawing Name: SIT                | ΓE PL      | AN                         |       | Sheet No: 2     | of 22 |
|---|-----------------------|----------------------------------|------------|----------------------------|-------|-----------------|-------|
| Lot Address:LOT 834 (#15) ALP                   | HA WAY,NORTH          | COOGEE                           | Co         | uncil: COCKBURN            | Spec  | ification: ULTR | Α     |
| THIS IS ONE OF THE DRAWIN                       | GS REFERRED TO IN THE | CONTRACT                         | VARIATIONS |                            |       |                 |       |
| Client Name: K. JEFFREY                         |                       |                                  | REV NO     | . VARIATION                |       | DATE DRN.       | BY    |
| Cheff Name. N. JEFFRET                          | Da                    | te:                              | 1          | WORKING DRAWINGS           |       | 09/08/19        | MG    |
| Signature:                                      |                       |                                  | 2          | A/C LAYOUT                 |       | 18/09/19        | MG    |
|   |                       |                                  | 3          | VO 2                       |       | 14/10/19        | MG    |
| Client Name: W. JEFFREY                         | Da                    | to:                              | 4          | PRESTART                   |       | 15/11/19        | MG    |
|   | Da                    | //                               | 5          | VO 4 & 5                   |       | 28/11/19        | MG    |
| Signature:                                      |                       |                                  | 6          | VO 6                       |       | 17/12/19        | AL    |
|   |                       |                                  | 7          | SCHEDULING & ENGINEERING F | IXUPS | 23/1/20         | SA    |
| The home will be built to the dimensions on the |                       | the sole property of the builder | 8          | VO 9                       |       | 19/2/20         | AL    |
| working drawings                                |                       | ven, lent, resold or otherwise   | 9          | VO 10                      |       | 02/6/20         | AL    |
| within a reasonable tolerance                   | disposed or copied w  | ithout the permission in writing | 10         |                            |       |                 |       |



# **ALPHA WAY**

Site Layout

REFER TO ENGINEERS PLANS & ADDENDA

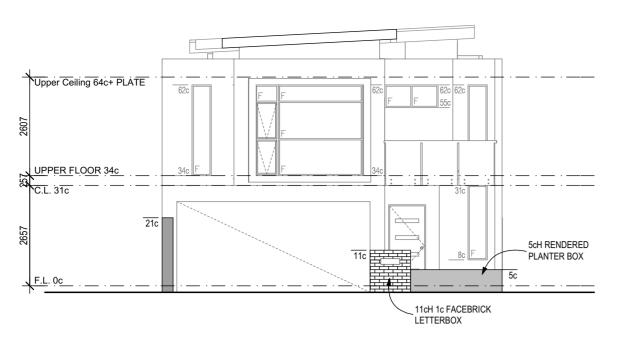
TERMITE TREATMENT IS TO BE FULL TERMIMESH SYSTEM IN ACCORDANCE WITH A.S. 3660.1

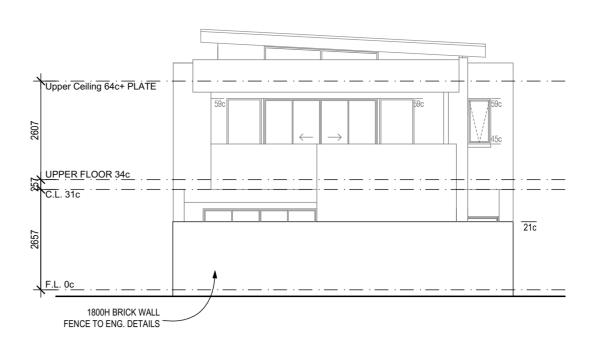
STORMWATER LAYOUT TO COMPLY WITH BCA PART 3.1 & AS/NZ 3500.3.2003 PLUMBING & DRAINAGE PART 3: STORMWATER DRAINAGE & SHIRE REQUIREMENTS



**41 cedric st., stirling** phone - (08) 9440 9200 fax - (08) 9440 9201

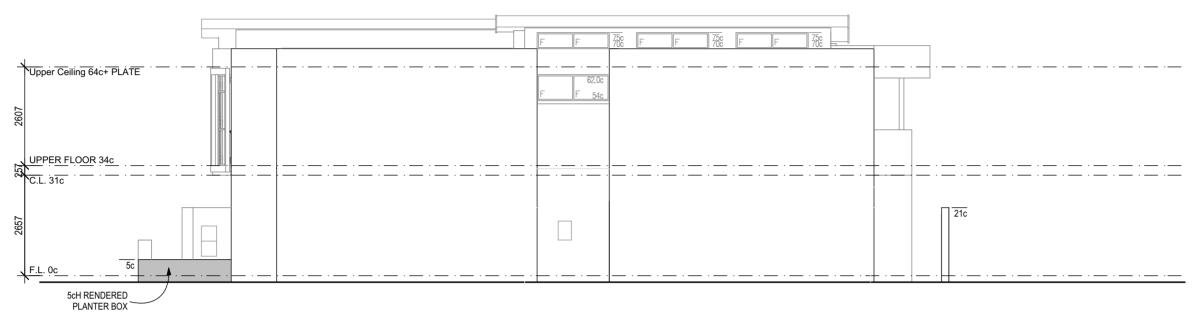
| House Type: Custom                                      | Job No:19045          | Drawing Name: SI                 | ΓE LA  | YOUT                       |        | Sheet No:      | 3 of 22 |
|---|-----------------------|----------------------------------|--------|----------------------------|--------|----------------|---------|
| Lot Address:LOT 834 (#15) ALI                           | PHA WAY,NORTH         | COOGEE                           | Co     | uncil: COCKBURN            | Spec   | ification: ULT | RA      |
| THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT |                       |                                  | ·      | VARIA                      | ATIONS |                |         |
| Client Name: K. JEFFREY                                 | _                     |                                  | REV NO | VARIATION                  |        | DATE DRN.      | BY      |
| Cheff Name. K. JEFFKET                                  | Dat                   | te:                              | 1      | WORKING DRAWINGS           |        | 09/08/19       | MG      |
| Signature:  |                       |                                  | 2      | A/C LAYOUT                 |        | 18/09/19       | MG      |
|   |                       |                                  | 3      | VO 2                       |        | 14/10/19       | MG      |
| Client Name: W. JEFFREY                                 | Dat                   | to:                              | 4      | PRESTART                   |        | 15/11/19       | MG      |
|   | Dai                   | ····//                           | 5      | VO 4 & 5                   |        | 28/11/19       | MG      |
| Signature:  |                       |                                  | 6      | VO 6                       |        | 17/12/19       | AL      |
|   |                       |                                  | 7      | SCHEDULING & ENGINEERING F | FIXUPS | 23/1/20        | SA      |
| The home will be built to the dimensions on the         |                       | the sole property of the builder | 8      | VO 9                       |        | 19/2/20        | AL      |
| working drawings  |                       | ven, lent, resold or otherwise   | 9      | VO 10                      |        | 02/6/20        | AL      |
| within a reasonable tolerance                           | aisposed or copied wi | ithout the permission in writing | 10     |                            |        |                |         |



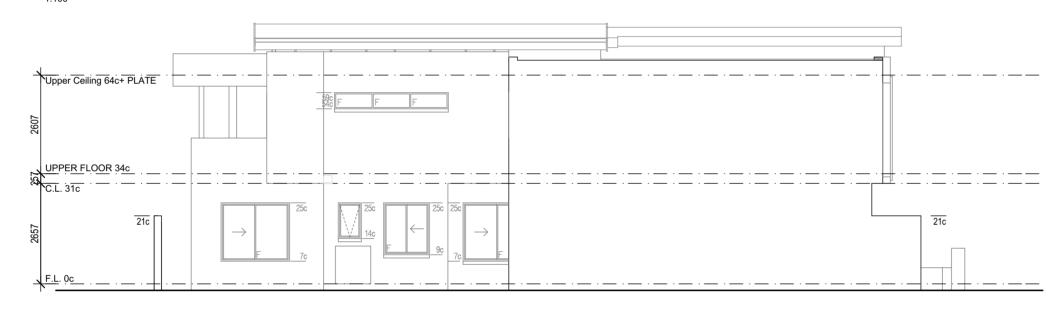


# **LANDSCAPE ELEVATION 1**

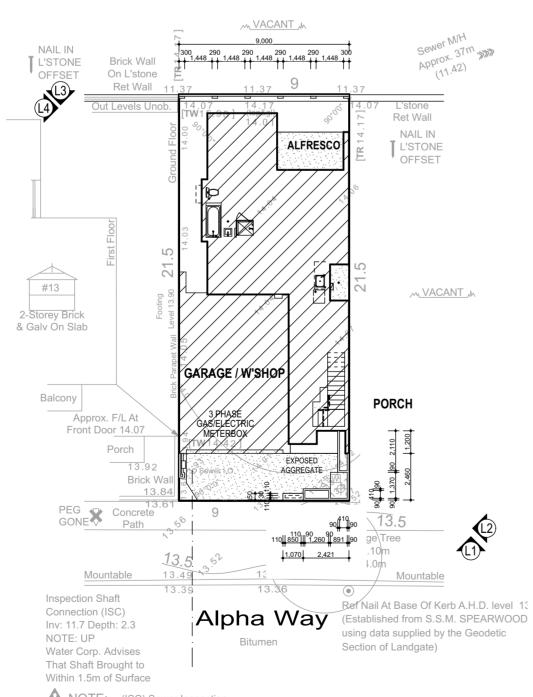
# LANDSCAPE ELEVATION 3

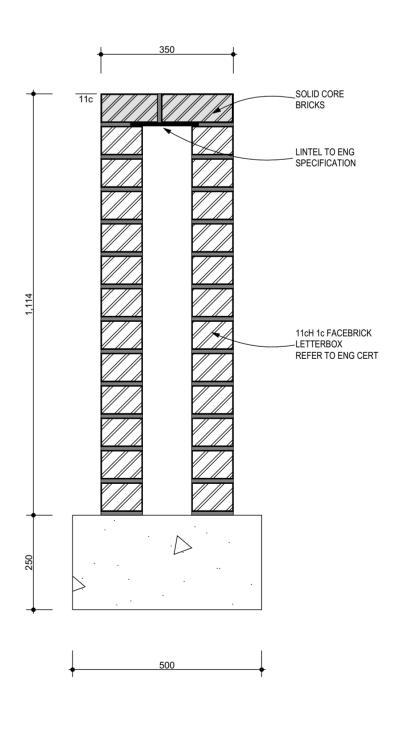


## **LANDSCAPE ELEVATION 2**



# LANDSCAPE ELEVATION 4





Landscape Plan

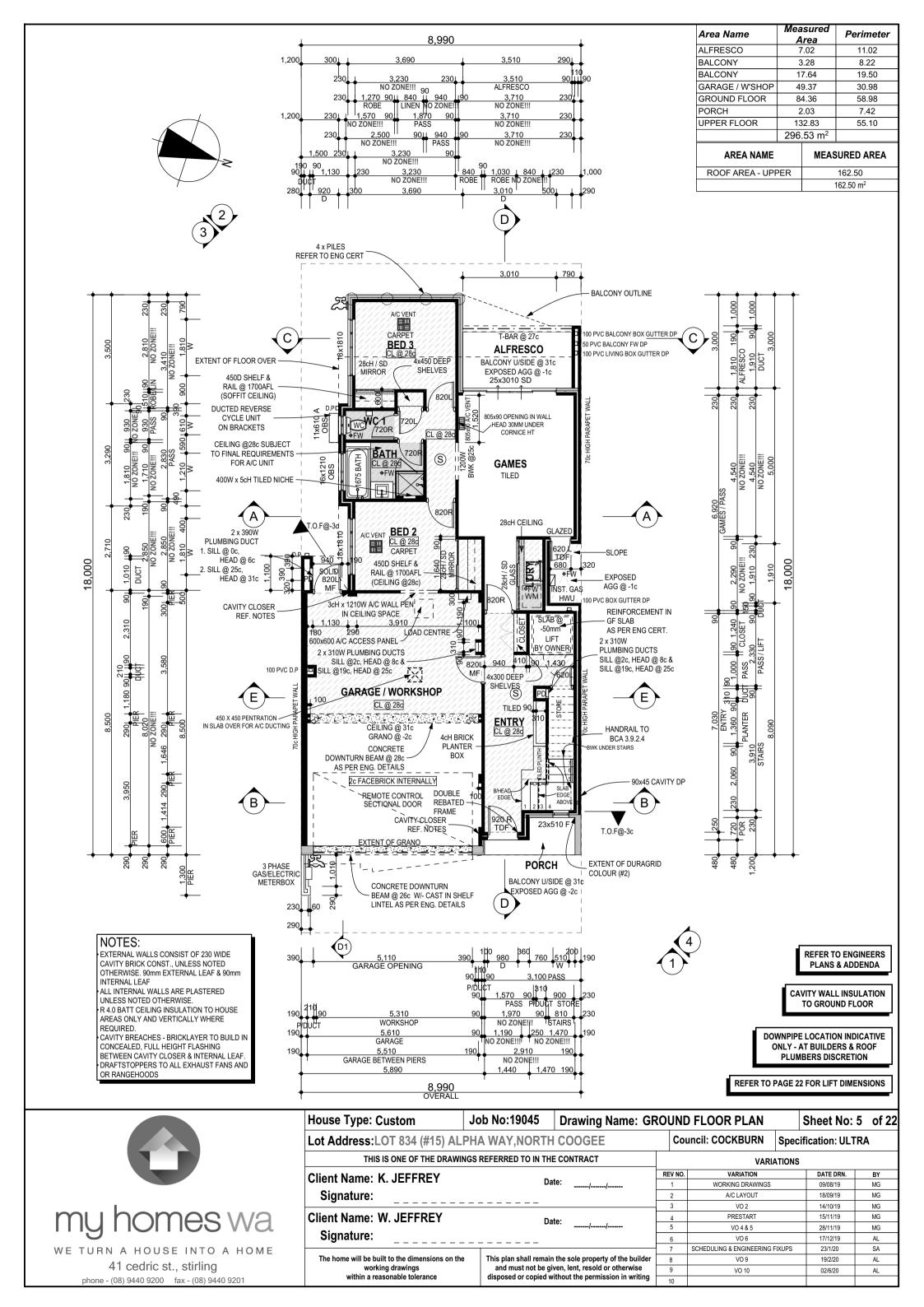
NOTE: (ISC) Sewer Inspection Shaft Connection. Not Standard Junction. Refer to Plumber & Water Corp.

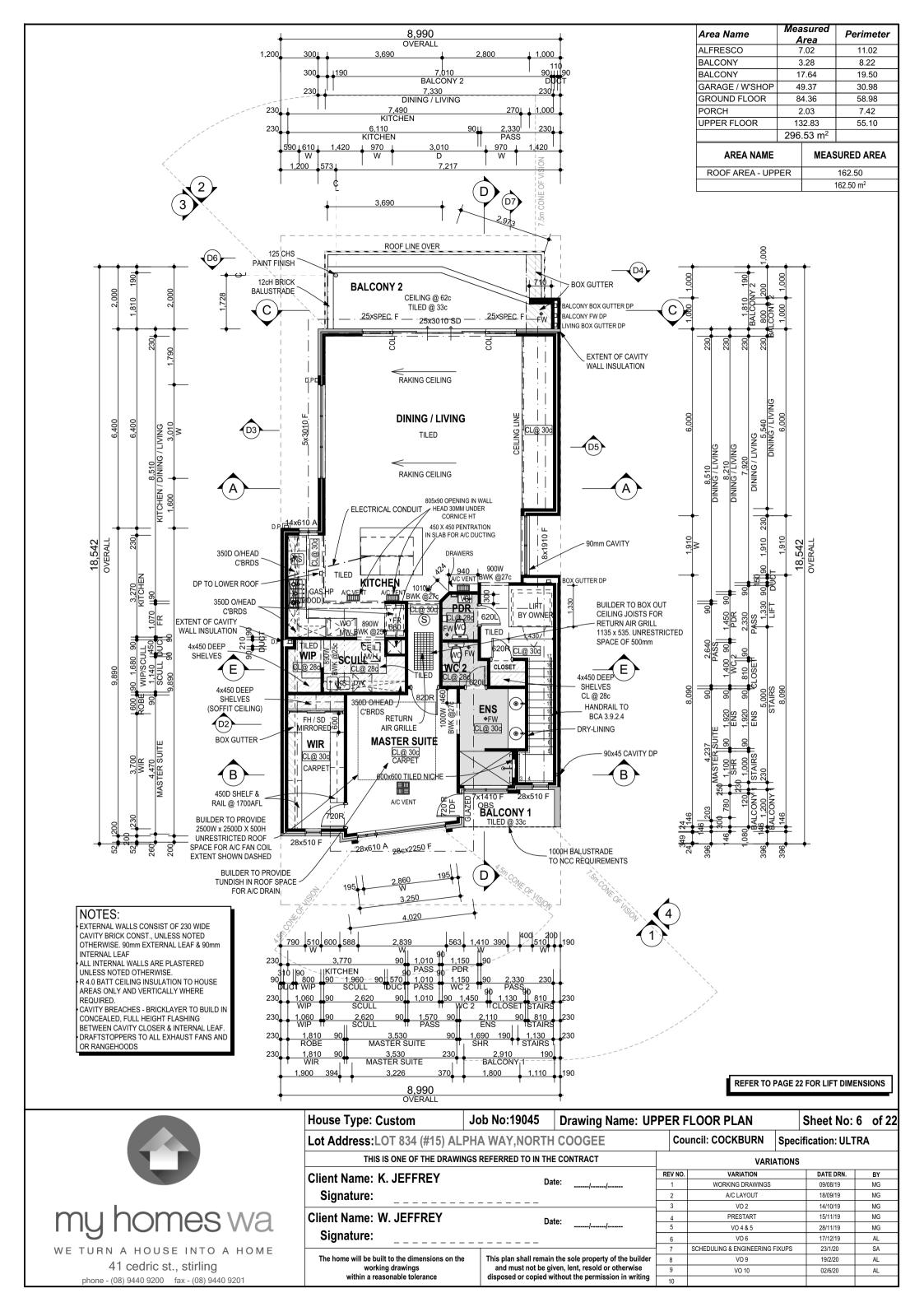
LETTERBOX DETAIL
1: 10

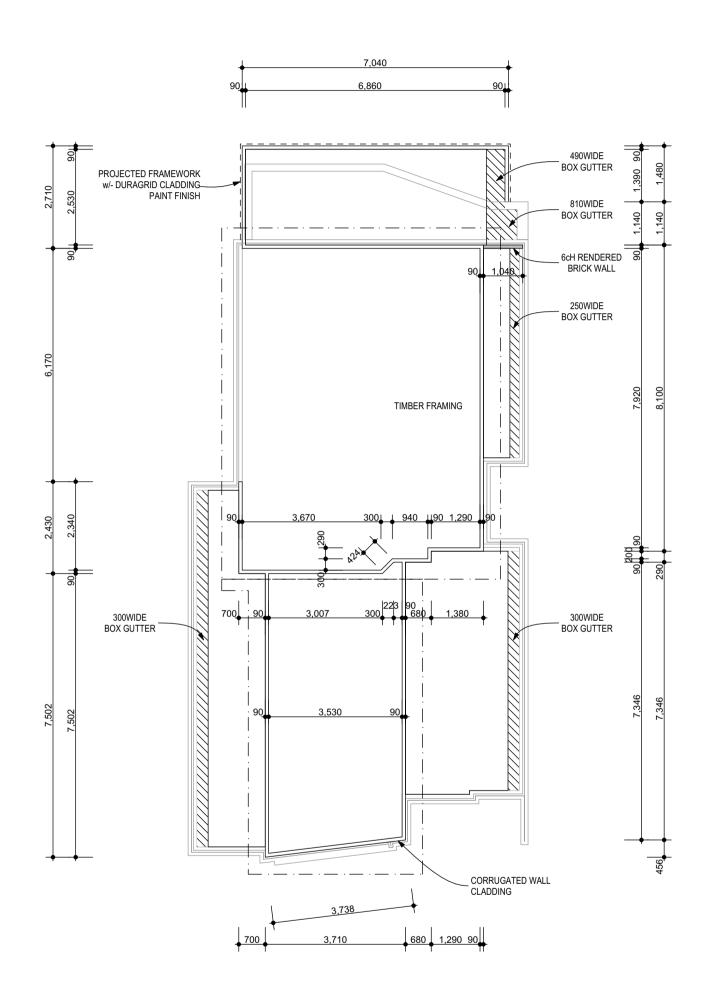


phone - (08) 9440 9200 fax - (08) 9440 9201

| House Type: Custom                              | Job No:19045            | Drawing Name: LA                 | NDSC    | APE PLAN                   |        | Sheet No:      | 4 of 22 |
|---|-------------------------|----------------------------------|---------|----------------------------|--------|----------------|---------|
| Lot Address:LOT 834 (#15) AL                    | PHA WAY,NORTH           | COOGEE                           | Co      | uncil: COCKBURN            | Spec   | ification: ULT | RA      |
| THIS IS ONE OF THE DRAW                         | INGS REFERRED TO IN THI | E CONTRACT                       |         | VARIA                      | ATIONS |                |         |
| Client Name: K. JEFFREY                         |                         |                                  | REV NO. | VARIATION                  |        | DATE DRN.      | BY      |
| Cheff Name. K. JEFFKET                          | Da                      | te:                              | 1       | WORKING DRAWINGS           |        | 09/08/19       | MG      |
| Signature:                                      |                         |                                  | 2       | A/C LAYOUT                 |        | 18/09/19       | MG      |
|   |                         |                                  | 3       | VO 2                       |        | 14/10/19       | MG      |
| Client Name: W. JEFFREY                         | D-                      | te: , ,                          | 4       | PRESTART                   |        | 15/11/19       | MG      |
|   | Da                      | ne:/                             | 5       | VO 4 & 5                   |        | 28/11/19       | MG      |
| Signature:                                      |                         |                                  | 6       | VO 6                       |        | 17/12/19       | AL      |
|   |                         |                                  | 7       | SCHEDULING & ENGINEERING F | FIXUPS | 23/1/20        | SA      |
| The home will be built to the dimensions on the |                         | the sole property of the builder | 8       | VO 9                       |        | 19/2/20        | AL      |
| working drawings                                |                         | ven, lent, resold or otherwise   | 9       | VO 10                      |        | 02/6/20        | AL      |
| within a reasonable tolerance                   | disposed or copied w    | ithout the permission in writing | 10      |                            |        |                |         |







# Roof Frame Layout

REFER TO ENGINEERS PLANS & ADDENDA



41 cedric st., stirling phone - (08) 9440 9200 fax - (08) 9440 9201

| House Type: Custom                                      | Job No:19045         | Drawing Name: R                                  | OOF T  | IMBER FRAME LA               | YOU Sheet No: 7     | of 22 |
|---|----------------------|--|--------|------------------------------|---------------------|-------|
| Lot Address:LOT 834 (#15) ALF                           | PHA WAY,NORTH        | COOGEE   | Co     | ouncil: COCKBURN             | Specification: ULTR | 4     |
| THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT |                      |  |        | VARIA <sup>*</sup>           | TIONS               |       |
| Client Name: K. JEFFREY                                 |                      |  | REV NO | . VARIATION                  | DATE DRN.           | BY    |
| Cilett Name. K. JEFFRET                                 | Da                   | te:  | 1      | WORKING DRAWINGS             | 09/08/19            | MG    |
| Signature:  |                      |  | 2      | A/C LAYOUT                   | 18/09/19            | MG    |
| - <b>3</b>  |                      |  | 3      | VO 2                         | 14/10/19            | MG    |
| Client Name: W. JEFFREY                                 | Da                   | Date:  | 4      | PRESTART                     | 15/11/19            | MG    |
| 0:  | Da                   | /  | 5      | VO 4 & 5                     | 28/11/19            | MG    |
| Signature:  |                      |  | 6      | VO 6                         | 17/12/19            | AL    |
|   |                      |  | 7      | SCHEDULING & ENGINEERING FIX | XUPS 23/1/20        | SA    |
| The home will be built to the dimensions on the         |                      | the sole property of the builder                 | 8      | VO 9                         | 19/2/20             | AL    |
| working drawings within a reasonable tolerance          |                      | and must not be given, lent, resold or otherwise |        | VO 10                        | 02/6/20             | AL    |
| within a reasonable tolerance                           | aisposed or copied w | ithout the permission in writing                 | 10     |                              |                     | ·     |

UPPER FLOOR BEDROOM WINDOW MUST HAVE 125mm MAX RESTRICTED OPENING OR FITTED WITH SUITABLE SCREEN (IF OPENING SILL IS UNDER 1700 AFL)

> 31c CEILING TO GROUND FLOOR 30c CEILING TO UPPER FLOOR UNLESS OTHERWISE NOTED

COLORBOND ROOF @3 DEG

REFER TO ENGINEERS PLANS & ADDENDA

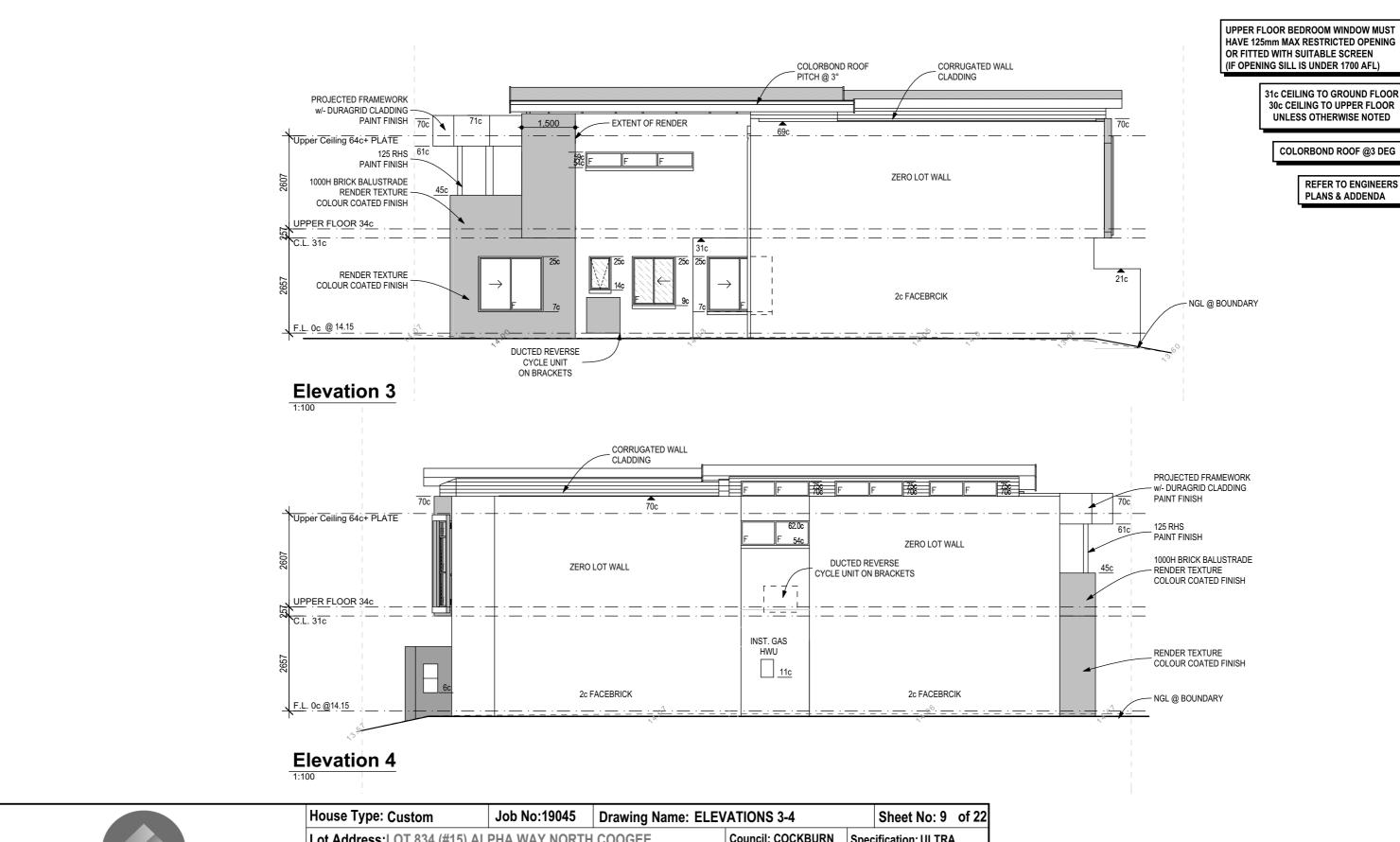
COLORBOND ROOF PITCH @ 3° RENDER TEXTURE COLOUR COATED FINISH -COLOUR (#1) CORRUGATED WALL 1c FACEBRICK CLADDING COLORBOND ROOF BARGE AND CAPPING PITCH @ 3° \_7m\_MAX\_BUILDING\_HEIGHT \ ROOF\_LINE PROJECTED FRAMEWORK w/- DURAGRID CLADDING COLORBOND ROOF 6480 PITCH @ 3° PAINT FINISH Upper Ceiling 64c+ PLATE DURAGRID CLADDING PAINT FINISH COLOUR (#1) CONTRASTING RENDER TEXTURE COLOUR -COATED FINISH COLOUR (#2) 2607 1000H SELECTED GLASS BALUSTRADE UPPER FLOOR 34c C.L. 31c 31c DURAGRID CLADDING 26c PAINT FINISH COLOUR (#2) 21c NGL @ BUILDING PERIMETER AUTO SECTIONAL DOOR NGL @ BDRY F.L. 0c @ 14.15 T.O.F@ -3c Elevation 1

CORRUGATED WALL CLADDING COLORBOND ROOF PITCH @ 3° PROJECTED FRAMEWORK w/- DURAGRID CLADDING PAINT FINISH COLOUR (#1) 70c Upper Ceiling 64c+ PLATE 61c 12cH BRICK BALUSTRADE 125 CHS RENDER TEXTURE PAINT FINISH COLOUR COATED FINISH RENDER TEXTURE COLOUR(#2) COLOUR COATED FINISH COLOUR (#2) C.L. 31c SHELF LINTEL @31c 31c 25c T-BAR @27c NGL @ BUILDING PERIMETER 2c FACEBRICK 4 x PILES REFER TO ENG CERT **Elevation 2** 



**41 cedric st., stirling** phone - (08) 9440 9200 fax - (08) 9440 9201

| House Type: Custom                              | Job No:19045         | Drawing Name: EL                             | EVAT    | IONS 1-2                   |        | Sheet No: 8     | of 22 |
|---|----------------------|--|---------|----------------------------|--------|-----------------|-------|
| Lot Address:LOT 834 (#15) ALP                   | HA WAY,NORTH         | COOGEE                                       | Со      | uncil: COCKBURN            | Spec   | ification: ULTF | RA    |
| THIS IS ONE OF THE DRAWIN                       | GS REFERRED TO IN TH | E CONTRACT                                   |         | VARIA                      | ATIONS |                 |       |
| Client Name: K. JEFFREY                         |                      |  | REV NO. | VARIATION                  |        | DATE DRN.       | BY    |
| Cheff Name. N. JEFFNET                          | Da                   | te:  | 1       | WORKING DRAWINGS           |        | 09/08/19        | MG    |
| Signature:                                      |                      |  | 2       | A/C LAYOUT                 |        | 18/09/19        | MG    |
|   |                      |  | 3       | VO 2                       |        | 14/10/19        | MG    |
| Client Name: W. JEFFREY                         | Da                   | te:  | 4       | PRESTART                   |        | 15/11/19        | MG    |
|   | Du                   | /  | 5       | VO 4 & 5                   |        | 28/11/19        | MG    |
| Signature:                                      |                      |  | 6       | VO 6                       |        | 17/12/19        | AL    |
|   |                      |  | 7       | SCHEDULING & ENGINEERING F | IXUPS  | 23/1/20         | SA    |
| The home will be built to the dimensions on the |                      | the sole property of the builder             | 8       | VO 9                       |        | 19/2/20         | AL    |
| working drawings                                |                      | must not be given, lent, resold or otherwise | 9       | VO 10                      |        | 02/6/20         | AL    |
| within a reasonable tolerance                   | alsposed or copied w | ithout the permission in writing             | 10      |                            |        |                 |       |





WE TURN A HOUSE INTO A HOME
41 cedric st., stirling
phone - (08) 9440 9200 fax - (08) 9440 9201

| House Type: Custom                              | Job No:19045          | Drawing Name: EL                                 | EVAT                                   | IONS 3-4                   |        | Sheet No: 9 | of 22 |
|---|-----------------------|--|--|----------------------------|--------|-------------|-------|
| Lot Address:LOT 834 (#15) ALP                   | HA WAY,NORTH          | COOGEE   | Council: COCKBURN Specification: ULTRA |                            |        | RA          |       |
| THIS IS ONE OF THE DRAWING                      | SS REFERRED TO IN THE | CONTRACT   | •                                      | VARIA                      | ATIONS |             |       |
| Client Name: K. JEFFREY                         |                       |  | REV NO.                                | VARIATION                  |        | DATE DRN.   | BY    |
| Ciletit Natile. N. JEFFRET                      | Da                    | te:  | 1                                      | WORKING DRAWINGS           |        | 09/08/19    | MG    |
| Signature:                                      |                       |  | 2                                      | A/C LAYOUT                 |        | 18/09/19    | MG    |
|   |                       |  | 3                                      | VO 2                       |        | 14/10/19    | MG    |
| Client Name: W. JEFFREY                         | Da                    | Date:  | 4                                      | PRESTART                   |        | 15/11/19    | MG    |
|   | Da                    | //   | 5                                      | VO 4 & 5                   |        | 28/11/19    | MG    |
| Signature:                                      |                       |  | 6                                      | VO 6                       |        | 17/12/19    | AL    |
|   |                       |  | 7                                      | SCHEDULING & ENGINEERING F | IXUPS  | 23/1/20     | SA    |
| The home will be built to the dimensions on the |                       | hall remain the sole property of the builder     | 8                                      | VO 9                       |        | 19/2/20     | AL    |
| working drawings                                |                       | and must not be given, lent, resold or otherwise |  | VO 10                      |        | 02/6/20     | AL    |
| within a reasonable tolerance                   | alsposed or copied w  | ithout the permission in writing                 | 10                                     |                            |        |             |       |

#### **ELECTRICAL NOTE:**

- POWER POINT AND LIGHT LOCATIONS MAY CHANGE DUE TO **ELECTRICAL LAWS OF WA**
- DIMENSIONS SHOWN ARE TO THE CENTRELINE OF GPO'S
- LIGHT SWITCHES ARE TO BE 1200 AFL OR OTHERWISE NOTED
- DRAFTSTOPPERS TO ALL EXHAUST FANS AND OR RANGEHOODS

### **MY PLACE AUTOMATION TO:**

- GARAGE CEILING GPO
- (2) ENTRY LIGHTS INSIDE
- (2) STAIR WALL LIGHTS
- (2) PORCH & BALCONY LIGHTS
- (2) KITCHEN ISLAND BENCH LIGHTS
- (1) MASTER BEDROOM LIGHT

### **ELECTRICAL LEGEND**

F.L.

Insulation Watts Qty **Penetrations** Sym. Description WEATHER PROOF WALL LIGHT @ 1800 € 15w\* 1 15\* AFL Perimeter Lighting
WEATHER PROOF UP/DOWN WALL LIGHT Ь 0\* 1 10OL @ 1800 AFL Perimeter Lighting WEATHER PROOF 15BLR BUNKER LIGHT 15w 1 @ 1800 AFL Perimeter Lighting
LED 100L UP/DOWN WALL LIGHT @ 1800 Б 2 0\* AFL Perimeter Lighting
LED 38GRCW GARAGE LIGHT (38w) Class ⊨=== 38w \* 1 1 **15w\*** EXTERNAL LIGHT (15w) Class 10 15\* 2 WAY SWITCH -3 2 WAY 0\* \* 1 **├**○ 15w WALL LIGHT @ 1800 AFL 15 RECESSED LED DOWN-LIGHT 15w 120 8 0.106 1 JUNCTION BOX 0 (S) 2 H.WIRED SMOKE DETECTOR 0 FAN/LIGHT COMBO (15w) (X) 15w 15 1 0.045 1 EXHAUST FAN FLUMED 0 lacksquare0.049 15 1 CEILING LIGHT (15w) 00 1 2x HEATER/FAN/LIGHT 0 7 0 1 TV POINT 1 SINGLE WATER PROOF GPO 0 lacksquare1 SINGLE GPO @ NOTED HT 0 6 DOUBLE GPO @ NOTED HT 0 0 5 DOUBLE GPO @ 300 AFL 1 CONDUIT FOR FUTURE FIBRE OPTIC 0 CF 2 CONDUIT (32mm) 0 0 A/C CONTROLLER 0 1  $\otimes$ 1 32 AMP GPO 0 25mm CONDUIT 3 0 (C) 1  $\mathbf{V}$ DATA POINT 0 CAMERA PRE-WIRE ONLY

NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. 0.201

PERIMETER LIGHTING MIN. 40 LUMENS/W.

**Total Class 1 Wattage= 555** 

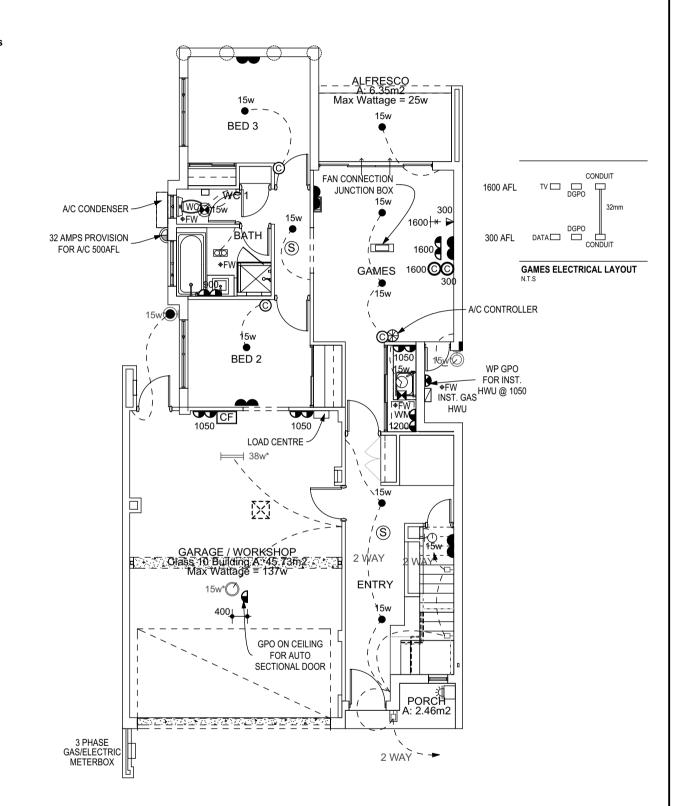
| Wattage Calculations        | (Class 1)            | Allowed    | Actual         |  |
|-----------------------------|----------------------|------------|----------------|--|
| Story Name                  | Area                 | Wattage    | Wattage        |  |
| 2   UPPER FLOOR<br>0   F.L. | 0.00 Sqm<br>0.00 Sqm | 0 w<br>0 w | 390 w<br>165 w |  |
|                             | 0.00 sam             | 0 w        | 555 w          |  |

| Recessed Fitting Penetration | cessed Fitting Penetrations (Class 1)  Maximum Actual |           |              |  |  |  |  |
|------------------------------|---|-----------|--------------|--|--|--|--|
| Story Name                   |   |           | Penetrations |  |  |  |  |
| Total Insulation Area        | 0.00 sqm  | 0.000 sqm | 0.594 sqm    |  |  |  |  |
|                              | 0.00 sqm  | 0.000 sqm | 0.594 sqm    |  |  |  |  |

No Penentration Area Fill Found

CLISENIP NOSHLation Arma Arma & Wattage and Insulation Area' Fills

PENETRATIONS MUST NOT BE EXCEEDED



REFER TO PAGE 22 FOR LIFT DIMENSIONS



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| House Type: Custom            | JOD NO:19045          | Drawing Name: GF                                 | ELEC    | FIRICAL LAYOUTS              | 5     | Sheet No:     | 10 of 22 |
|-------------------------------|-----------------------|--|---------|------------------------------|-------|---------------|----------|
| Lot Address:LOT 834 (#15) ALF | PHA WAY,NORTH         | COOGEE   | Co      | uncil: COCKBURN              | Speci | fication: ULT | 'RA      |
| THIS IS ONE OF THE DRAWIN     | GS REFERRED TO IN THE | CONTRACT   |         | VARIA                        | TIONS |               |          |
| Client Name: K. JEFFREY       |                       |  | REV NO. | VARIATION                    |       | DATE DRN.     | BY       |
| Cheff Name. N. JEFFNET        | Dat                   | e:   | 1       | WORKING DRAWINGS             |       | 09/08/19      | MG       |
| Signature:                    |                       |  | 2       | A/C LAYOUT                   |       | 18/09/19      | MG       |
|                               |                       |  | 3       | VO 2                         |       | 14/10/19      | MG       |
| Client Name: W. JEFFREY       | Dat                   | ·o.  | 4       | PRESTART                     |       | 15/11/19      | MG       |
|                               | Dat                   | ·····//  | 5       | VO 4 & 5                     |       | 28/11/19      | MG       |
| Signature:                    |                       |  | 6       | VO 6                         |       | 17/12/19      | AL       |
|                               |                       |  | 7       | SCHEDULING & ENGINEERING FIX | XUPS  | 23/1/20       | SA       |
|                               |                       | the sole property of the builder                 | 8       | VO 9                         |       | 19/2/20       | AL       |
| working drawings              |                       | and must not be given, lent, resold or otherwise | 9       | VO 10                        |       | 02/6/20       | AL       |
| within a reasonable tolerance | alsposed or copied wi | thout the permission in writing                  | 10      |                              |       |               |          |

#### **ELECTRICAL NOTE:**

- POWER POINT AND LIGHT LOCATIONS MAY CHANGE DUE TO **ELECTRICAL LAWS OF WA**
- DIMENSIONS SHOWN ARE TO THE CENTRELINE OF GPO's
- LIGHT SWITCHES ARE TO BE 1200 AFL OR OTHERWISE NOTED
- DRAFTSTOPPERS TO ALL EXHAUST FANS AND OR RANGEHOODS

### **ELECTRICAL LEGEND**

|     | R FLOOR        |   |       | Insulation |
|-----|----------------|---|-------|------------|
| Qty | Sym.           | Description   | Watts | Penetrati  |
| 1   | П              | WEATHER PROOF UP/DOWN WALL LIGHT 10OL @ 1800 AFL Perimeter Lighting | 0*    | *          |
| 19  | ● 15w          | RECESSED LED DOWN-LIGHT   | 285   | 0.252      |
| 4   | <b>-</b> ♦ 15w | LED DOWNLIGHT TO U/SIDE OF OHEADS                                   | 60    |            |
| 2   | Φ              | LED 7STL WITH DRIVER  | 0     | 0.035      |
| 2   | 💽 15w          | FAN/LIGHT COMBO (15w)   | 30    | 0.090      |
| 1   |                | CEILING LIGHT (15w)   | 15    |            |
| 1   | CO             | 2x HEATER/FAN/LIGHT   | 0     |            |
| 1   | <b></b>        | TV POINT  | 0     |            |
| 4   |                | SINGLE GPO @ NOTED HT   | 0     |            |
| 1   |                | SINGLE CIRCUIT GPO  | 0     |            |
| 8   |                | DOUBLE GPO @ NOTED HT   | 0     |            |
| 1   |                | DOUBLE GPO @ NOTED HT W/USB   | 1     |            |
| 4   |                | DOUBLE GPO @ 300 AFL  | 0     |            |
| 2   |                | CONDUIT (32mm)  | 0     |            |
| 1   | ₩              | A/C CONTROLLER  | 0     |            |
| 3   | ©              | 25mm CONDUIT  | 0     |            |
| 1   |                | 15 AMP LIFT POWER PROVISION   | 0     |            |
| 1   | $\nabla$       | Phone Point   | 0     |            |
| 1   |                | CAMERA WIRE   | 0     |            |
| 1   |                | ALARM WIRE  | 0     |            |

PERIMETER LIGHTING MIN. 40 LUMENS/W. Total Class 1 Wattage= 556

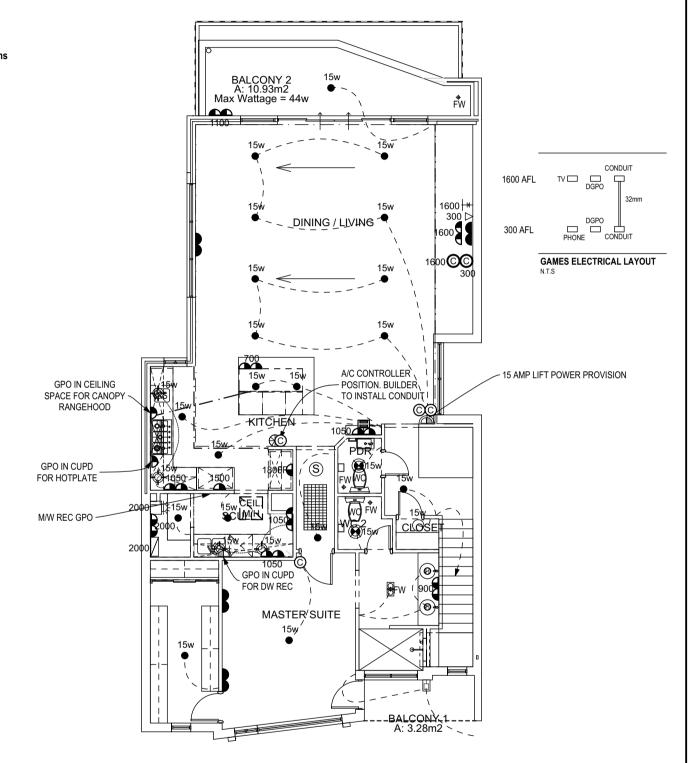
0.579 sqm

Wattage Calculations (Class 1)

Allowed Actual **Story Name** Wattage Wattage 2 | UPPER FLOOR 0.00 Sqm 0 w 391 w 0 | F.L. 0.00 Sqm 165 w

0 w 556 w Recessed Fitting Penetrations (Class 1) Maximum Actual **Story Name Penetrations Penetrations** 0.000 sqm 0.579 sqm Total Insulation Area 0.00 sqm

No Penentration Area Fill Found Use '4D Insulation Area' or '4D Wattage and Insulation Area' Fills



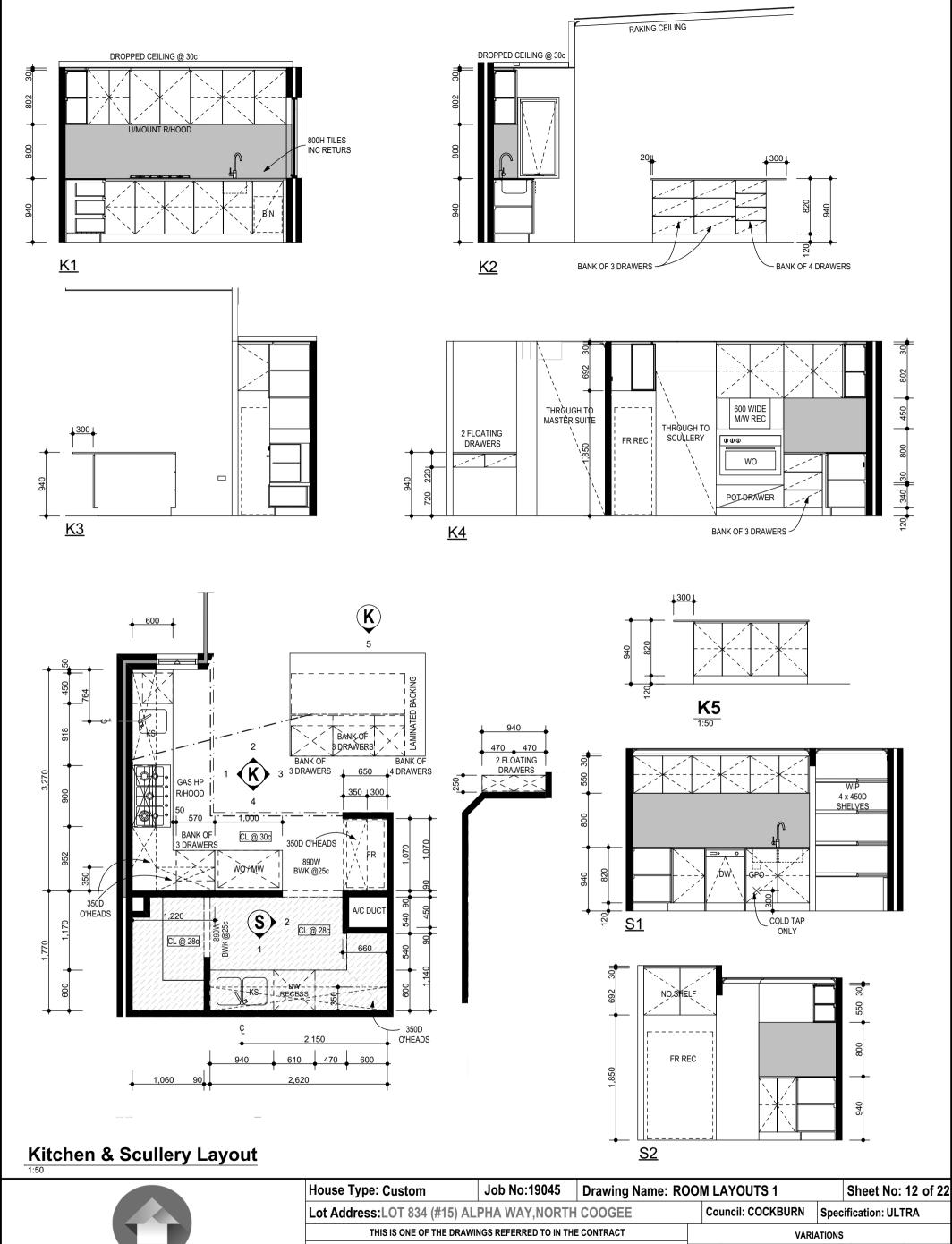
REFER TO PAGE 22 FOR LIFT DIMENSIONS

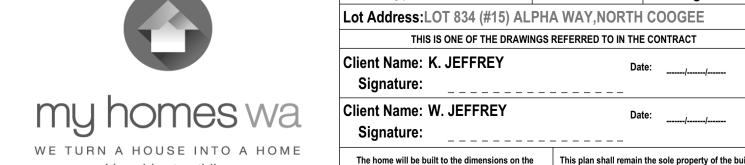


41 cedric st., stirling

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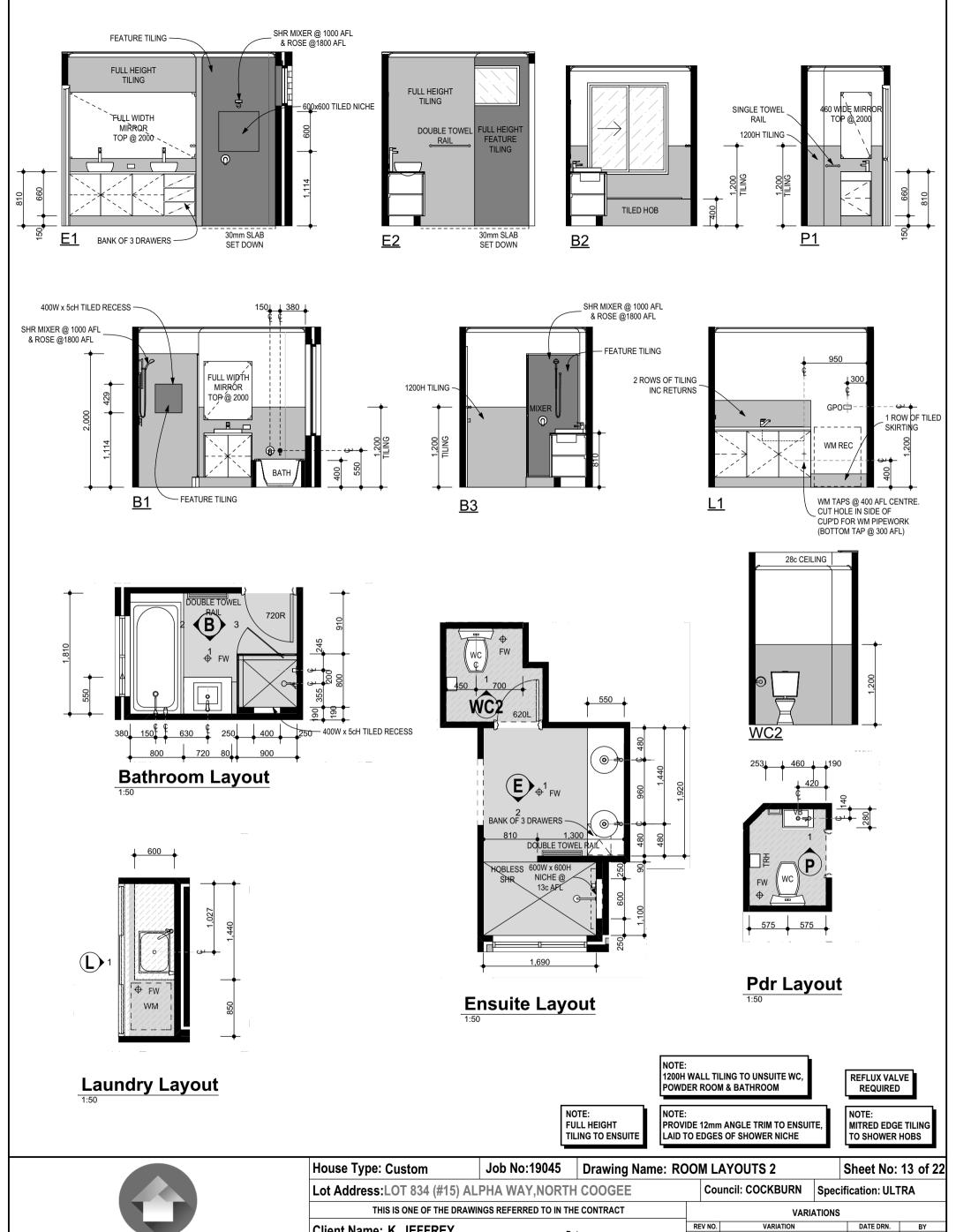
**House Type: Custom** Job No:19045 **Drawing Name: UF ELECTRICAL LAYOUTS** Sheet No: 11 of 22 Lot Address:LOT 834 (#15) ALPHA WAY,NORTH COOGEE Council: COCKBURN Specification: ULTRA THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT **VARIATIONS** VARIATION DATE DRN. REV NO. BY Client Name: K. JEFFREY WORKING DRAWINGS 09/08/19 MG Signature: A/C LAYOUT 18/09/19 MG 2 14/10/19 VO 2 MG 3 **Client Name: W. JEFFREY** PRESTART 15/11/19 MG 5 VO 4 & 5 28/11/19 MG Signature: VO 6 17/12/19 AL SCHEDULING & ENGINEERING FIXUPS 23/1/20 SA The home will be built to the dimensions on the This plan shall remain the sole property of the builder 8 VO 9 19/2/20 AL working drawings and must not be given, lent, resold or otherwise VO 10 02/6/20 AL within a reasonable tolerance disposed or copied without the permission in writing



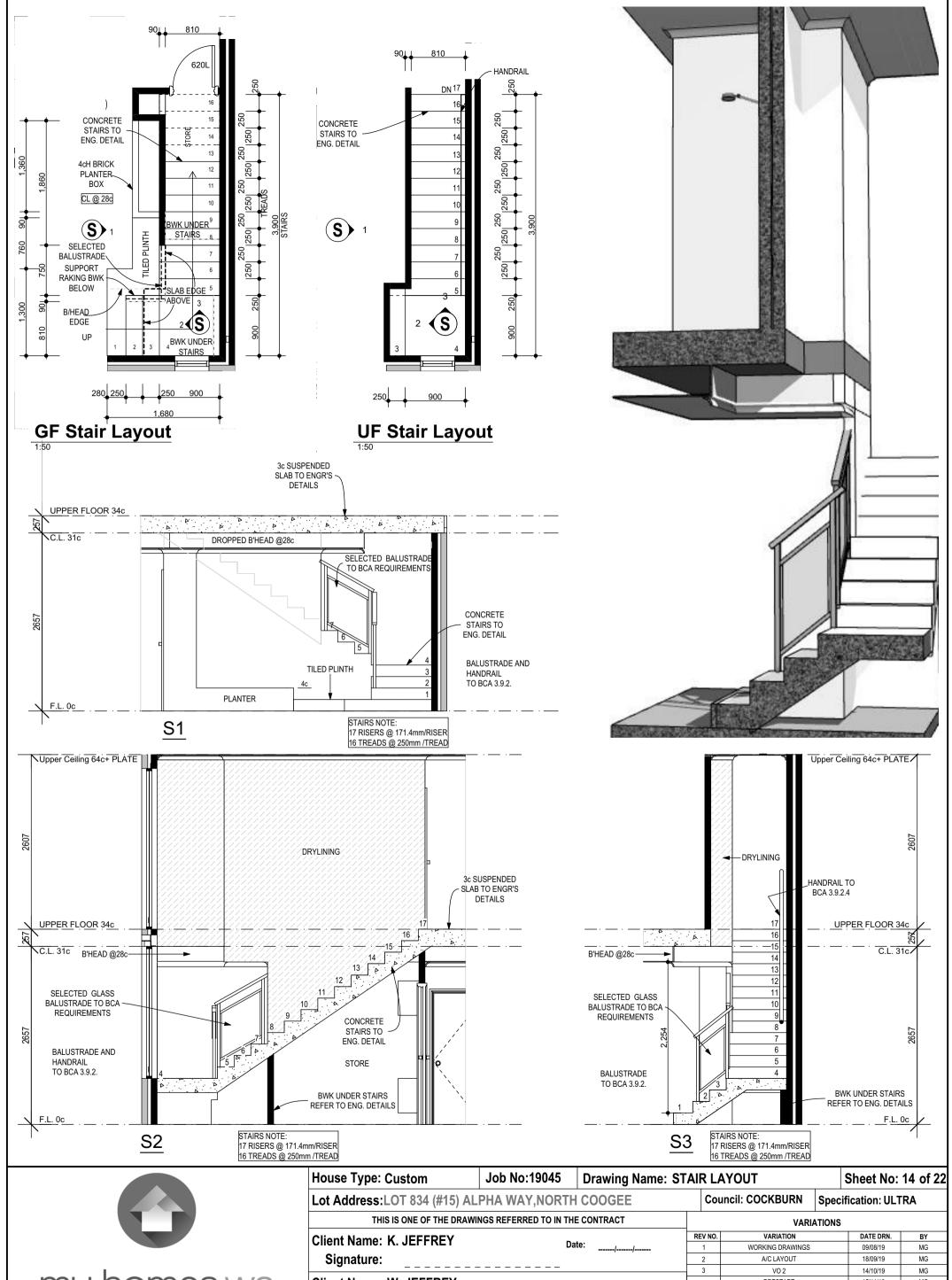


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| THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT |   |         | VARIATIONS                      |           |    |  |  |
|---|---|---------|---------------------------------|-----------|----|--|--|
| Client Name: K. JEFFREY                                 |   | REV NO. | VARIATION                       | DATE DRN. | BY |  |  |
| Cheff Name. N. JEFFRET                                  | Date:   |         | WORKING DRAWINGS                | 09/08/19  | MG |  |  |
| Signature:  |   | 2       | A/C LAYOUT                      | 18/09/19  | MG |  |  |
|   |   | 3       | VO 2                            | 14/10/19  | MG |  |  |
| Client Name: W. JEFFREY                                 | Date:   | 4       | PRESTART                        | 15/11/19  | MG |  |  |
|   |   | 5       | VO 4 & 5                        | 28/11/19  | MG |  |  |
| Signature:  |   |         | VO 6                            | 17/12/19  | AL |  |  |
| working drawings and must not be                        |   | 7       | SCHEDULING & ENGINEERING FIXUPS | 23/1/20   | SA |  |  |
|   | This plan shall remain the sole property of the builder | 8       | VO 9                            | 19/2/20   | AL |  |  |
|   | and must not be given, lent, resold or otherwise        | 9       | VO 10                           | 02/6/20   | AL |  |  |
| within a reasonable tolerance                           | disposed or copied without the permission in writing    |         |                                 |           |    |  |  |



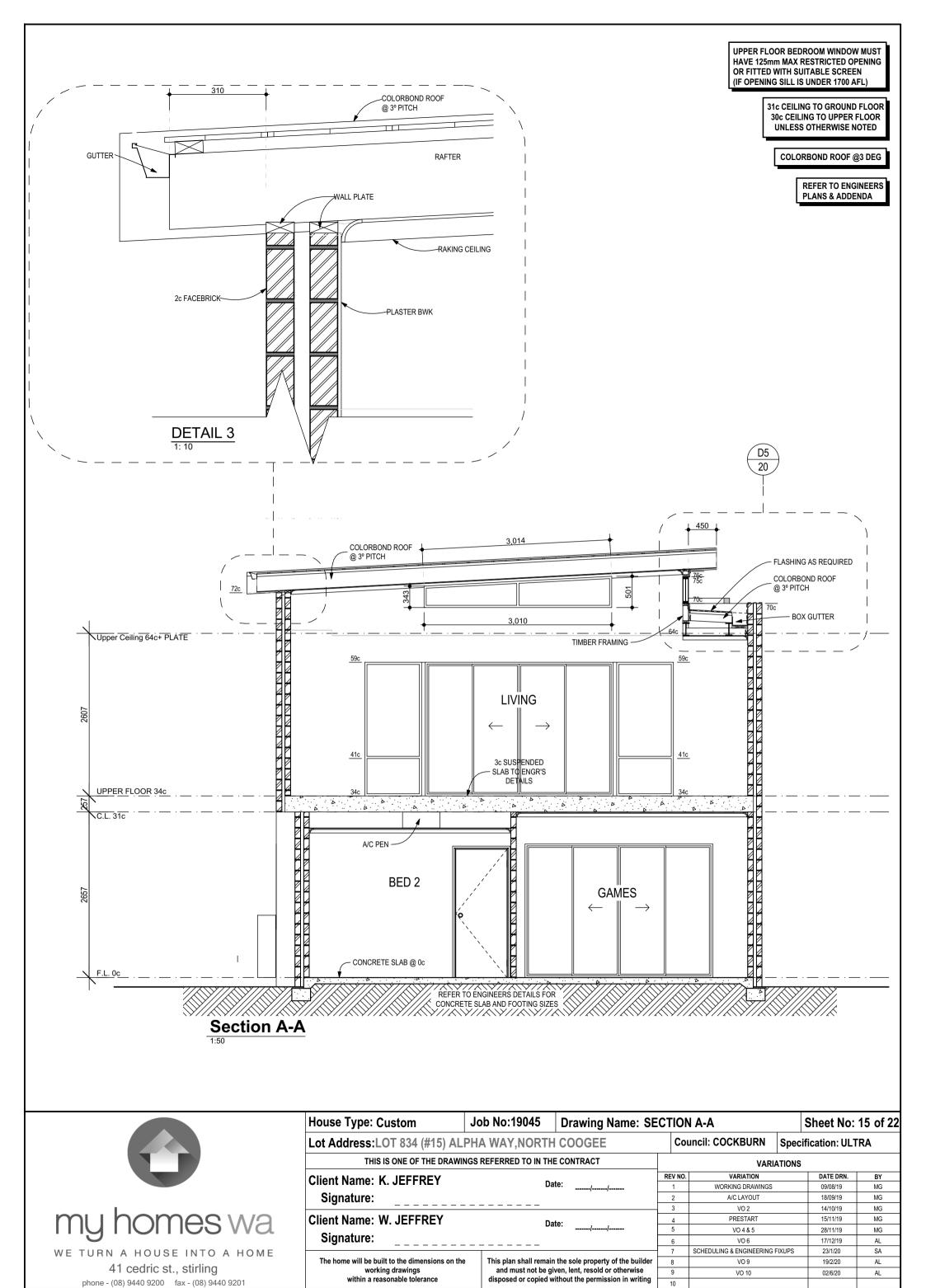
|   | House Type. Custom                                      | Job No. 13043 Drawing Name. ROOM LATOUTS 2 |                                  |        | A10013 2                     | Sileet No. 13 of 22  |           |    |  |
|---|---|--|----------------------------------|--------|------------------------------|----------------------|-----------|----|--|
|   | Lot Address:LOT 834 (#15) ALPHA WAY,NORTH COOGEE        |  |                                  | Co     | uncil: COCKBURN              | Specification: ULTRA |           |    |  |
|   | THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT |  |                                  |        | VARIATIONS                   |                      |           |    |  |
|   | Client Name: K. JEFFREY                                 |  |                                  | REV NO | VARIATION                    |                      | DATE DRN. | BY |  |
|   | Oliche Hame. N. OLI I NE I                              | Dat  | ):<br>/                          | 1      | 1 WORKING DRAWINGS           |                      | 09/08/19  | MG |  |
|   | Signature:  |  |                                  | 2      | A/C LAYOUT                   |                      | 18/09/19  | MG |  |
| 1   |   |  |                                  | 3      | VO 2                         |                      | 14/10/19  | MG |  |
| my homes wa                                 |   |  | Date:                            |        | PRESTART                     |                      | 15/11/19  | MG |  |
| mig nomics wa                               |   |  | e                                | 5      | VO 4 & 5                     |                      | 28/11/19  | MG |  |
| O   | Signature:  |  |                                  | 6      | VO 6                         |                      | 17/12/19  | AL |  |
| WE TURN A HOUSE INTO A HOME                 |   |  |                                  | 7      | SCHEDULING & ENGINEERING FIX | KUPS                 | 23/1/20   | SA |  |
| 44 and die at attition                      | The home will be built to the dimensions on the         |  | the sole property of the builder | 8      | VO 9                         |                      | 19/2/20   | AL |  |
| 41 cedric st., stirling                     | working drawings  |  | en, lent, resold or otherwise    | 9      | VO 10                        |                      | 02/6/20   | AL |  |
| phone - (08) 9440 9200 fax - (08) 9440 9201 | within a reasonable tolerance                           | alsposed or copied wi                      | thout the permission in writing  | 10     |                              |                      |           |    |  |

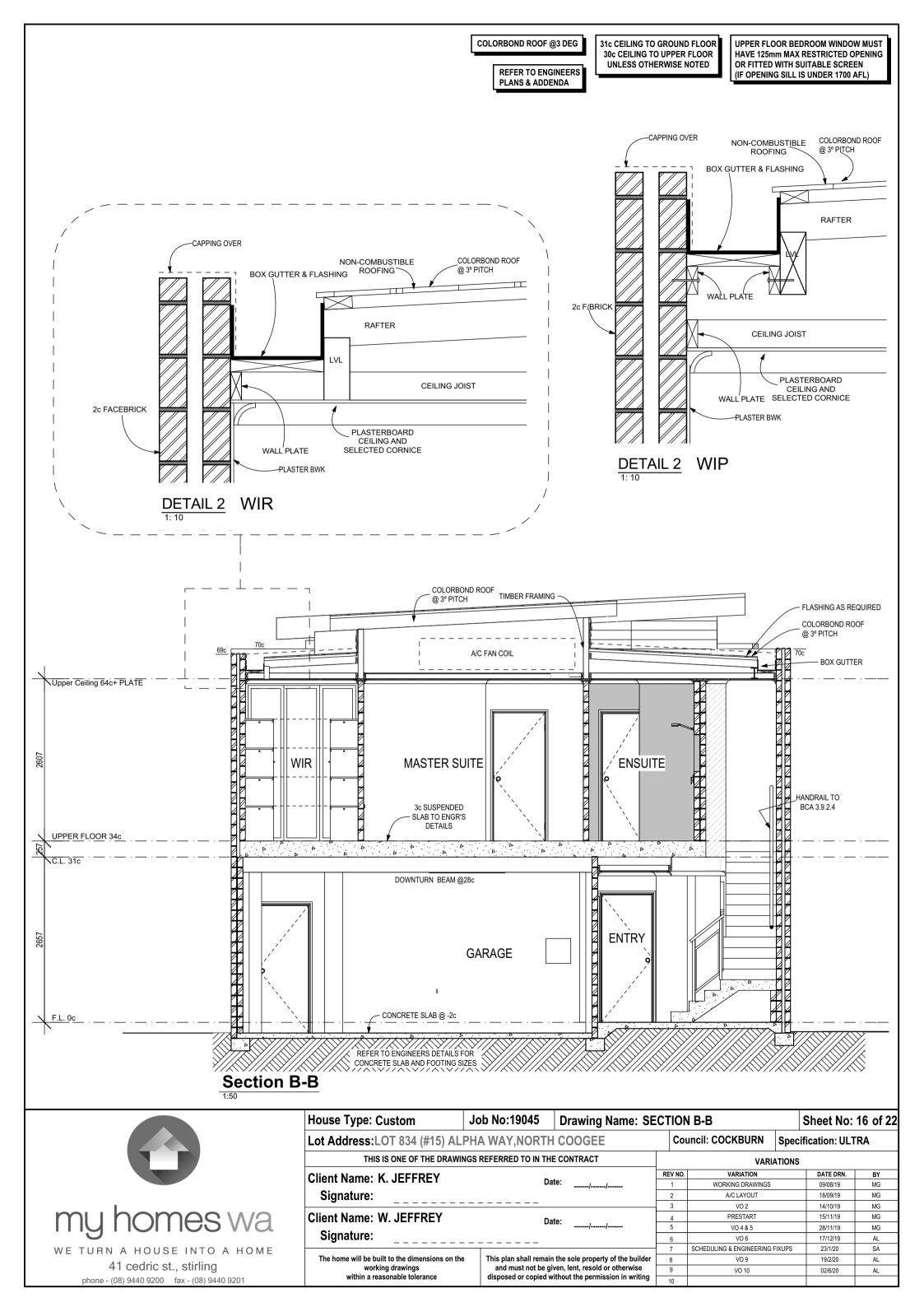


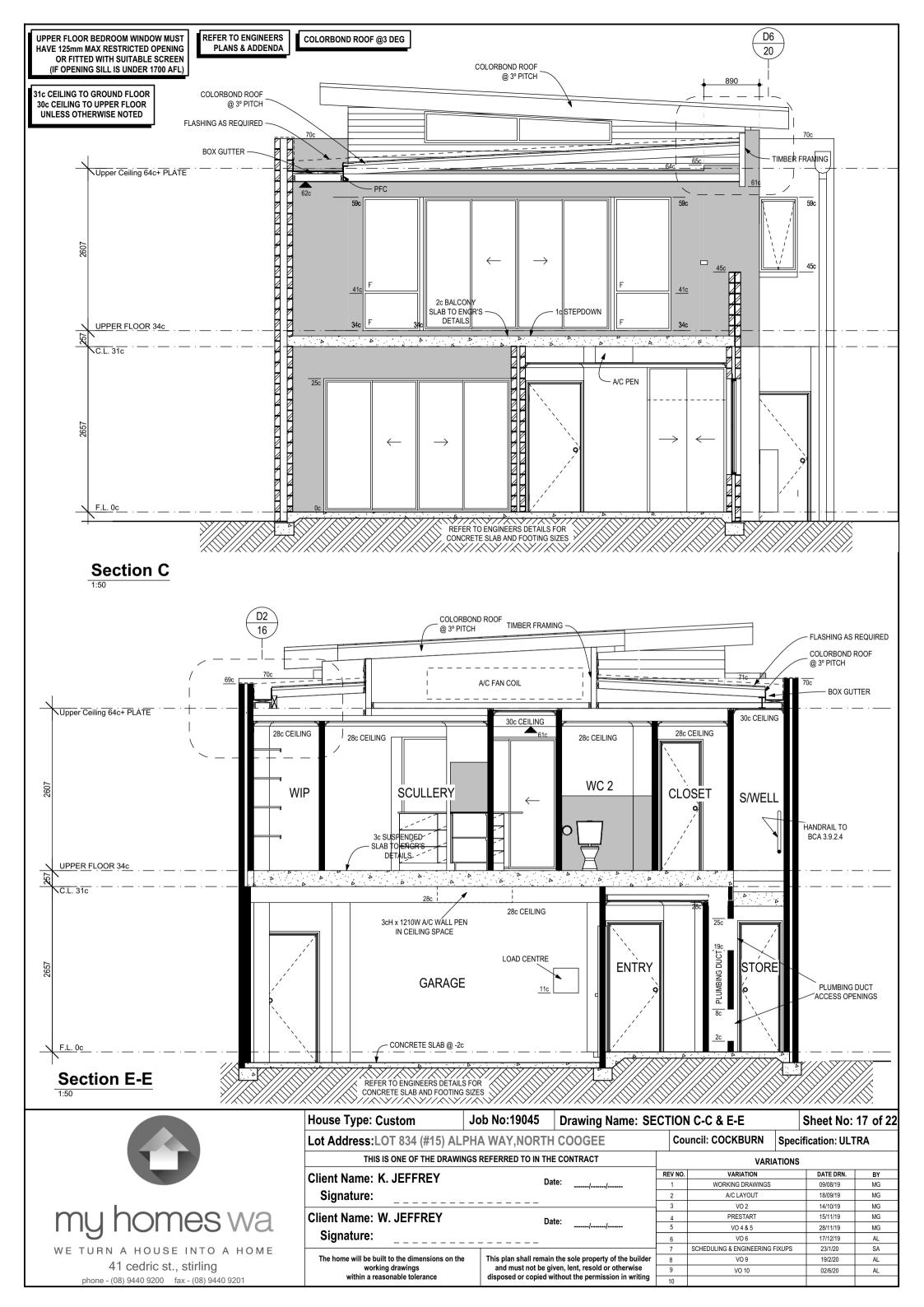
homes wa WE TURN A HOUSE INTO A HOME

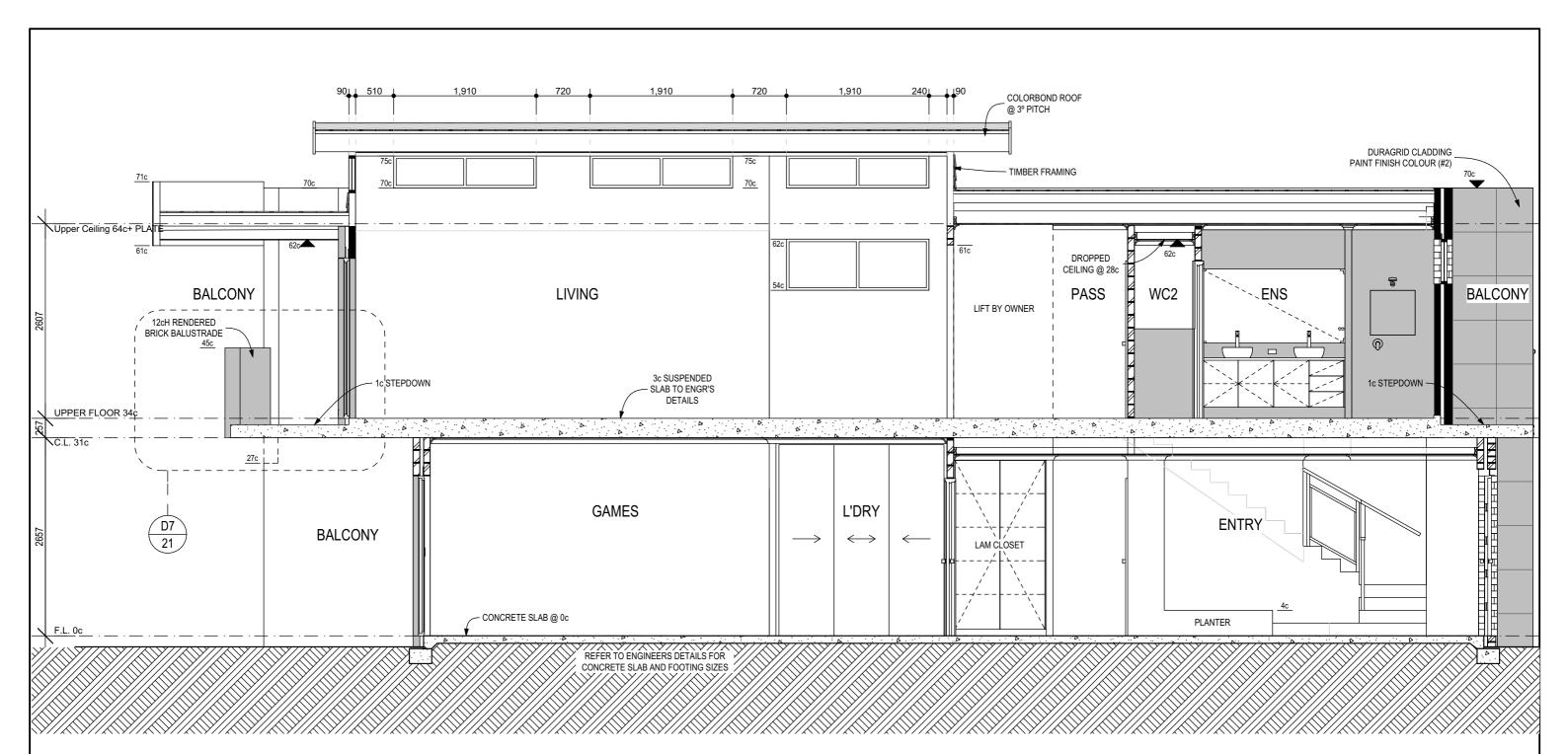
> 41 cedric st., stirling phone - (08) 9440 9200 fax - (08) 9440 9201

| Lot Address:LOT 834 (#15) ALPH   | A WAY,NORTH COOGEE   | Council: COCKBURN   Specification: ULTRA  VARIATIONS |                              |              |    |  |
|--|--|--|------------------------------|--------------|----|--|
| THIS IS ONE OF THE DRAWINGS  | REFERRED TO IN THE CONTRACT  |  |                              |              |    |  |
| Client Name: K. JEFFREY  |  |  | VARIATION                    | DATE DRN.    | BY |  |
| Client Name. N. JEFFRET  | Date:  | 1  | WORKING DRAWINGS             | 09/08/19     | MG |  |
| Signature:   | re:  |  | A/C LAYOUT                   | 18/09/19     | MG |  |
| g  |  |  | 3 VO 2                       |              | MG |  |
| Client Name: W. JEFFREY  |  | 4 PRESTART   |                              | 15/11/19     | MG |  |
|  |  | 5  | VO 4 & 5                     | 28/11/19     | MG |  |
| Signature:   |  | 6  | VO 6                         | 17/12/19     | AL |  |
|  |  | 7  | SCHEDULING & ENGINEERING FIX | (UPS 23/1/20 | SA |  |
| The home will be built to the dimensions on the                                    | This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise |  | VO 9                         | 19/2/20      | AL |  |
| working drawings   |  |  | VO 10                        | 02/6/20      | AL |  |
| within a reasonable tolerance disposed or copied without the permission in writing |  | 10   |                              |              |    |  |









## **Section D-D**



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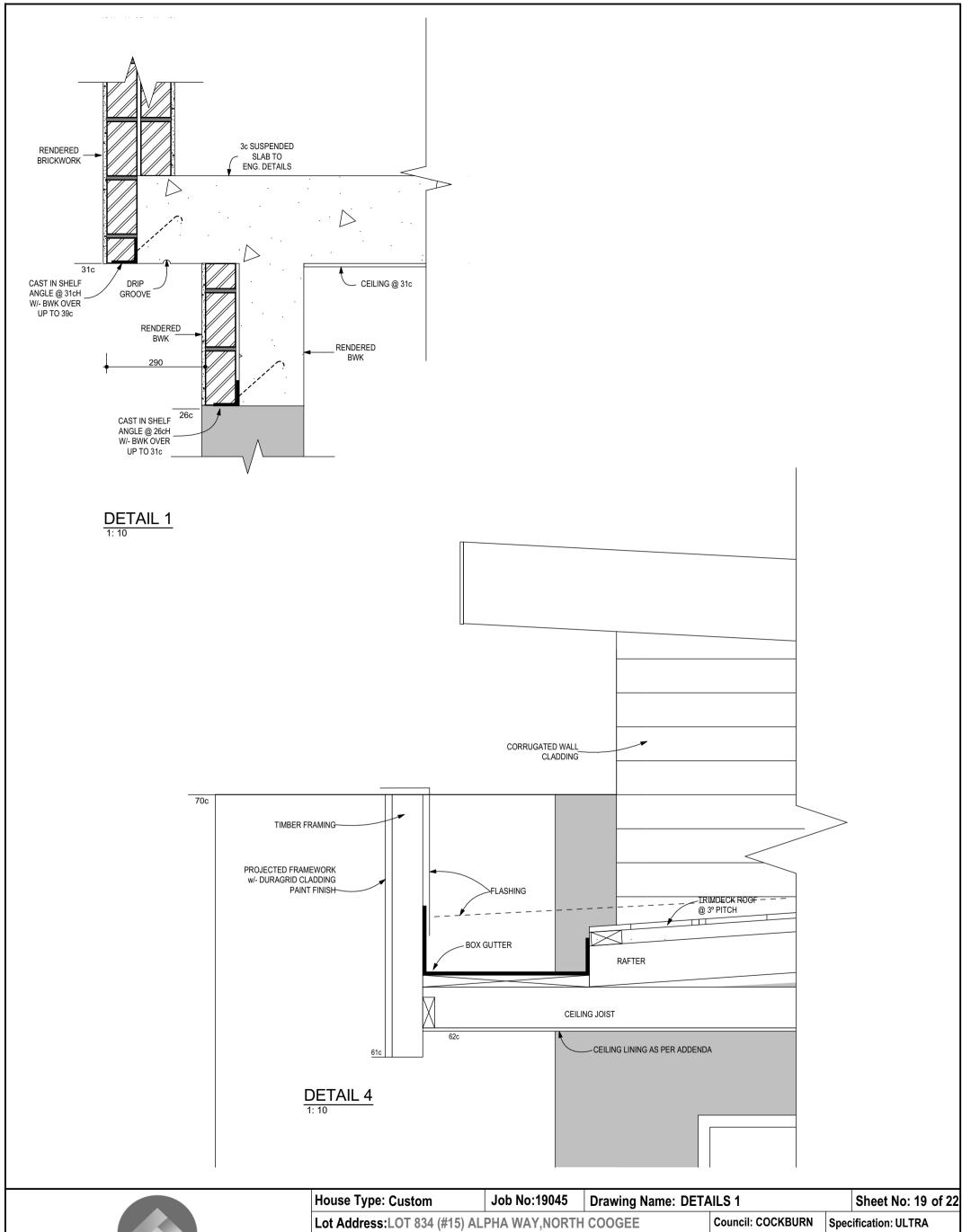
| House Type: Custom   | Job No:19045          | Drawing Name: SE  | CTIO                                   | N D-D                    |          | Sheet No: | 18 of 22 |
|--|-----------------------|---|--|--------------------------|----------|-----------|----------|
| Lot Address:LOT 834 (#15) ALP                                    | HA WAY,NORTH          | I COOGEE  | Council: COCKBURN Specification: ULTRA |                          |          | RA        |          |
| THIS IS ONE OF THE DRAWING                                       | GS REFERRED TO IN THI | E CONTRACT  | ,                                      | VARI                     | ATIONS   | 3         |          |
| Client Name: K. JEFFREY  |                       |   | REV NO                                 | D. VARIATION             |          | DATE DRN. | BY       |
| Client Name. N. JEFFRET  | Da                    | ite:/   | 1                                      | WORKING DRAWINGS         |          | 09/08/19  | MG       |
| Signature:   |                       |   | 2                                      | A/C LAYOUT               |          | 18/09/19  | MG       |
|  |                       |   | 3                                      | VO 2                     |          | 14/10/19  | MG       |
| Client Name: W. JEFFREY  | Name: W. JEFFREY      |   | 4                                      | PRESTART                 |          | 15/11/19  | MG       |
| Date/  | //                    | 5   | VO 4 & 5                               |                          | 28/11/19 | MG        |          |
| Signature:   |                       |   |  | VO 6                     |          | 17/12/19  | AL       |
|  |                       |   | 7                                      | SCHEDULING & ENGINEERING | FIXUPS   | 23/1/20   | SA       |
| The home will be built to the dimensions on the working drawings |                       | This plan shall remain the sole property of the builder   | 8                                      | VO 9                     |          | 19/2/20   | AL       |
|  |                       | and must not be given, lent, resold or otherwise disposed or copied without the permission in writing |  | VO 10                    |          | 02/6/20   | AL       |
| within a reasonable tolerance                                    | alsposed or copied w  | itnout the permission in writing  | 10                                     |                          |          |           |          |

UPPER FLOOR BEDROOM WINDOW MUST HAVE 125mm MAX RESTRICTED OPENING OR FITTED WITH SUITABLE SCREEN (IF OPENING SILL IS UNDER 1700 AFL)

> 31c CEILING TO GROUND FLOOR 30c CEILING TO UPPER FLOOR UNLESS OTHERWISE NOTED

> > COLORBOND ROOF @3 DEG

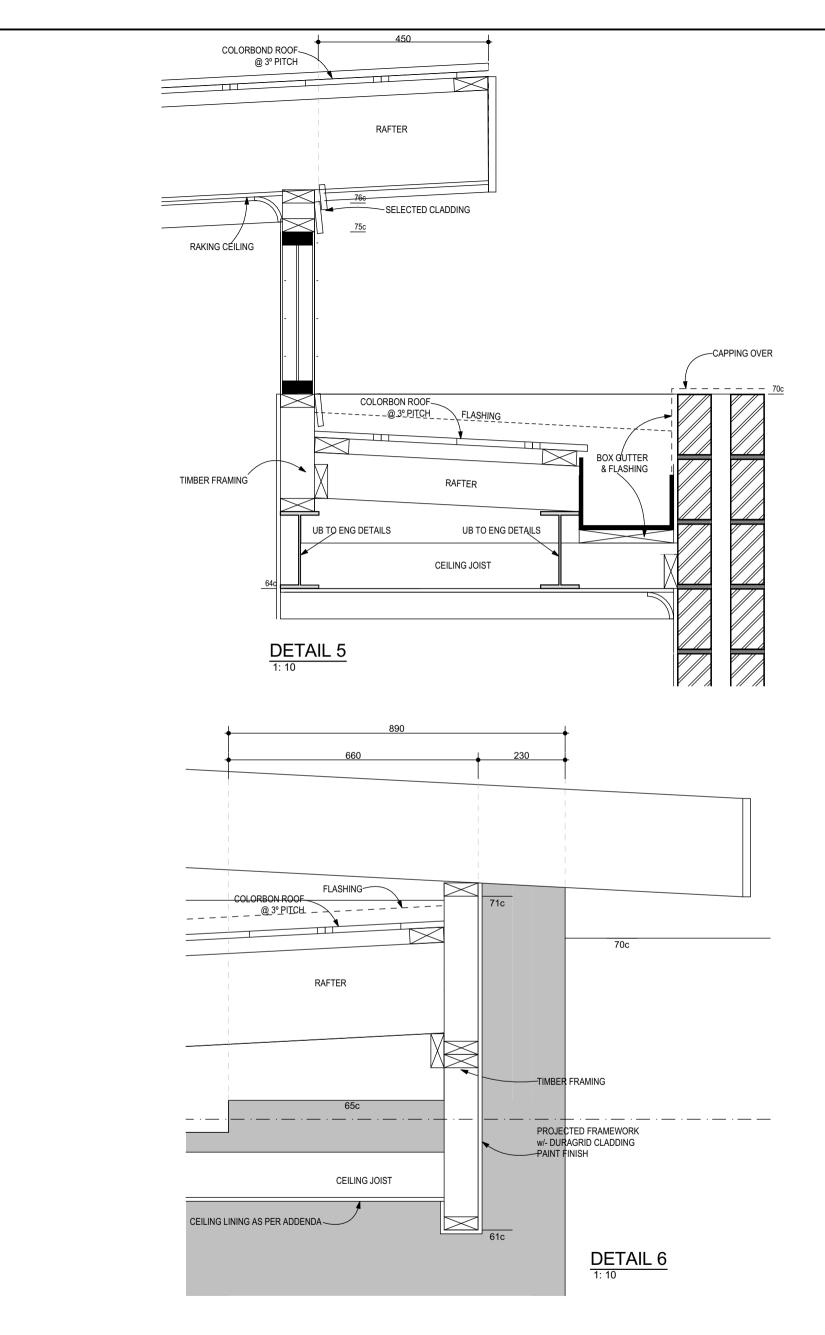
REFER TO ENGINEERS PLANS & ADDENDA





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|   |   | •   |              |                              |                    |    |
|---|---|---|--------------|------------------------------|--------------------|----|
| ot Address:LOT 834 (#15) ALPHA WAY,NORTH COOGEE |   | COOGEE                                    | Cou          | uncil: COCKBURN              | Specification: ULT | RA |
| THIS IS ONE OF THE DRAWINGS                     | REFERRED TO IN THE (                                    | CONTRACT                                  | VARIATIONS   |                              |                    |    |
| Client Name: K. JEFFREY                         |   |   |              | VARIATION                    | DATE DRN.          | BY |
| Cheff Name. N. JEFFNET                          | Date:   |   | 1            | WORKING DRAWINGS             | 09/08/19           | MG |
| Signature:                                      |   |   | 2 A/C LAYOUT |                              | 18/09/19           | MG |
| Client Name: W. JEFFREY  Signature:             |   | 3   | VO 2         | 14/10/19                     | MG                 |    |
|   |   | 4   | PRESTART     | 15/11/19                     | MG                 |    |
|   |   | 5   | VO 4 & 5     | 28/11/19                     | MG                 |    |
|   |   |   | 6            | VO 6                         | 17/12/19           | AL |
|   |   |   | 7            | SCHEDULING & ENGINEERING FIX | XUPS 23/1/20       | SA |
| The home will be built to the dimensions on the | This plan shall remain the sole property of the builder |   | 8            | VO 9                         | 19/2/20            | AL |
|   |   | t not be given, lent, resold or otherwise |              | VO 10                        | 02/6/20            | AL |
| within a reasonable tolerance                   | alsposed or copied with                                 | out the permission in writing             | 10           |                              |                    |    |





WORKING DRAWINGS Signature: A/C LAYOUT 2 3 VO 2 Client Name: W. JEFFREY PRESTART 5 VO 4 & 5 Signature: VO 6 SCHEDULING & ENGINEERING FIXUPS The home will be built to the dimensions on the This plan shall remain the sole property of the builder VO 9 8 41 cedric st., stirling working drawings and must not be given, lent, resold or otherwise VO 10 within a reasonable tolerance disposed or copied without the permission in writing phone - (08) 9440 9200 fax - (08) 9440 9201

Lot Address:LOT 834 (#15) ALPHA WAY,NORTH COOGEE

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT

Job No:19045

House Type: Custom

Client Name: K. JEFFREY

Drawing Name: DETAILS 2

Council: COCKBURN

VARIATION

REV NO.

Sheet No: 20 of 22

BY

MG

MG

MG

MG

MG

AL

SA

AL

AL

Specification: ULTRA

DATE DRN.

09/08/19

18/09/19

14/10/19

15/11/19

28/11/19

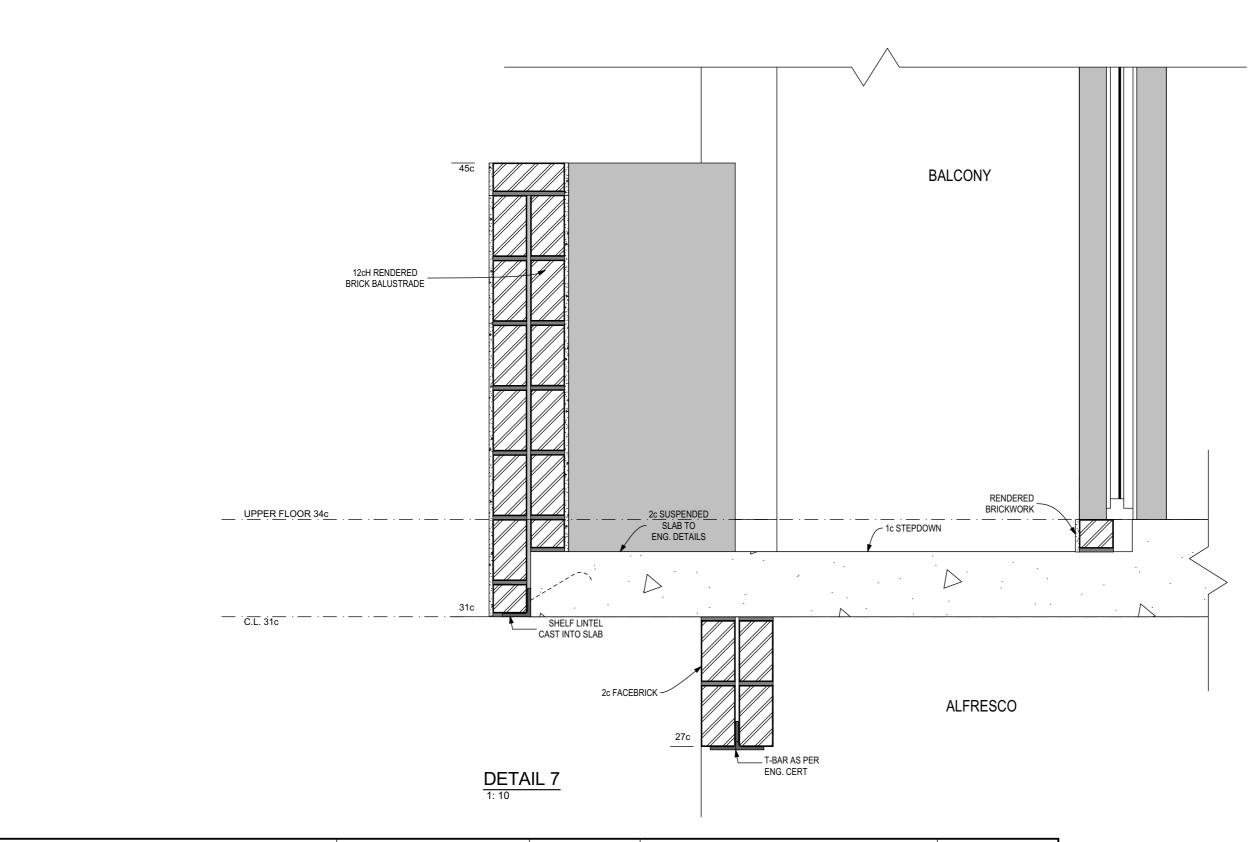
17/12/19

23/1/20

19/2/20

02/6/20

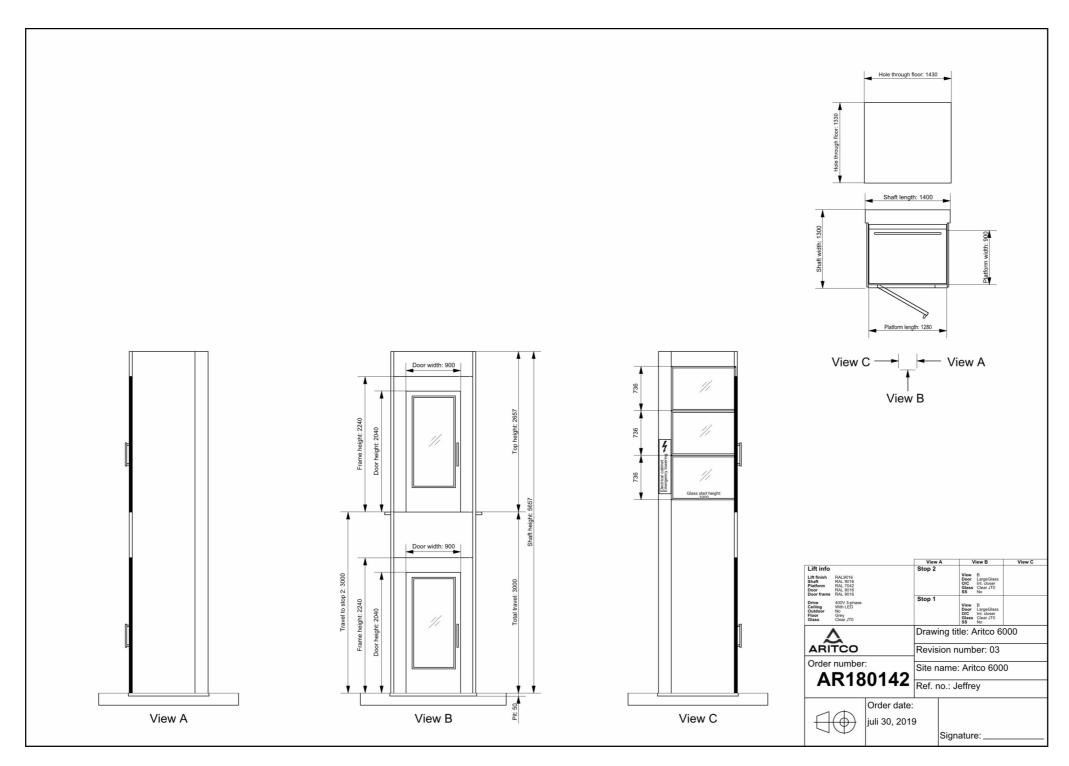
**VARIATIONS** 





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41 cedric st., stirling
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| House Type: Custom  | Job No:19045         | Drawing Name: DE                  | TAILS   | 3 3                      |        | Sheet No: | 21 of 22 |         |    |
|---|----------------------|-----------------------------------|---------|--------------------------|--------|-----------|----------|---------|----|
| Lot Address:LOT 834 (#15) ALF   | PHA WAY,NORTH        | COOGEE                            | Co      | uncil: COCKBURN          | Spec   | TRA .     |          |         |    |
| THIS IS ONE OF THE DRAWIN   | VARIATIONS           |                                   |         |                          |        |           |          |         |    |
| Client Name: K. JEFFREY   |                      |                                   | REV NO. | VARIATION                |        | DATE DRN. | BY       |         |    |
| CHEIR Name. K. JEFFKET  | Da                   | ite:                              | 1       | WORKING DRAWINGS         |        | 09/08/19  | MG       |         |    |
| Signature:  |                      |                                   |         | A/C LAYOUT               |        | 18/09/19  | MG       |         |    |
|   |                      |                                   | 3       | VO 2                     |        | 14/10/19  | MG       |         |    |
| Client Name: W. JEFFREY   | D-                   | 4                                 | 4       | PRESTART                 |        | 15/11/19  | MG       |         |    |
|   | Da                   | Date:/                            |         | VO 4 & 5                 |        | 28/11/19  | MG       |         |    |
| Signature:  |                      |                                   | 6       | VO 6                     |        | 17/12/19  | AL       |         |    |
|   |                      |                                   | 7       | SCHEDULING & ENGINEERING | FIXUPS | 23/1/20   | SA       |         |    |
| The home will be built to the dimensions on the   This plan shall remain the sole property of the |                      |                                   | 8       | VO 9                     |        | 19/2/20   | AL       |         |    |
| working drawings  |                      |                                   |         |                          | 9      | VO 10     |          | 02/6/20 | AL |
| within a reasonable tolerance   | disposed or copied w | vithout the permission in writing | 10      |                          |        |           |          |         |    |



## Lift Detail



41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

Job No:19045 Drawing Name: LIFT DETAIL Sheet No: 22 of 22 House Type: Custom Lot Address:LOT 834 (#15) ALPHA WAY,NORTH COOGEE Council: COCKBURN | Specification: ULTRA THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT **VARIATIONS** VARIATION DATE DRN. REV NO. BY Client Name: K. JEFFREY WORKING DRAWINGS 09/08/19 MG Signature: 2 A/C LAYOUT MG 18/09/19 3 VO 2 14/10/19 MG Client Name: W. JEFFREY PRESTART 15/11/19 MG VO 4 & 5 28/11/19 MG Signature: AL VO 6 17/12/19 SCHEDULING & ENGINEERING FIXUPS 23/1/20 SA The home will be built to the dimensions on the This plan shall remain the sole property of the builder AL VO 9 19/2/20 working drawings
within a reasonable tolerance and must not be given, lent, resold or otherwise disposed or copied without the permission in writing VO 10 02/6/20 AL