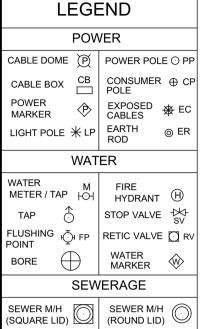


Licensed and Engineering Surveying Consultants

T (08) 9242 8247 E: admin@prowestsurveying.com.au F (08) 9242 8296 Web: www.prowestsurveying.com.au Po Box 1463 Osborne Park DC 6916 DWG# 3799001

Facture & Contour Survey of:	Let 421 No. 6 Hunt Bood, BYEODD			REVISION: A
Feature & Contour Survey of: Lot 421, No. 6 Hunt Road, BYFORD				
CLIENT: CARTER	PLAN: DP 53103	LOT AREA: 510m²	SURVEY DATE	15/07/20
BUILDER: MY HOMES WA	C/T Vol: 2663 Fo	l: 730	MAP REFEREN	ICE:
BUILDER JOB # 21010	HEIGHT DATUM: A	.HD	COASTAL ZON	E: >1KM
AUTHORITY: SHIRE OF SERPENTINE-JARRAHDALE	HEIGHT CORRECTIO	ON TO AHD: NO	SEWER INFOR	MATION: YES

FEATURE SYMBOL



TELSTRA

INSPECTION ⊙ IO

INSPECTION ⊙ IS

HOUSE CONNECTION

TELSTRA PIT	6	TELSTRA MANHOLE	Ħ			
TELSTRA MARKER	\Diamond					
DRAINAGE						

DRAIN M/H (SQUARE LID)	\boxtimes	DRAIN M/H (ROUND LID)	D				
SIDE ENTRY PIT	0	DRAINAGE GRATE					
COMBINED ENTRY PIT							
	GAS						

CAS METER A CAS VALVE

GAS METER GAS MARKER	GM ©	GAS VALVE	⊠ GV
SU	JRVE'	Y MARKS	
PEG FOUND	PF ⊙	PEG GONE	PG
DRILL HOLE	DH 🔾	BENCH MARK NAIL & PLATE	
		I NAIL & PLATE	NPL

MISCELLANEOUS INFO.

NAIL

PM ⊙

PEN MARK

STREET SIGN (S)	SPOT HEIGHT
UNKNOWN � SERVICE MARKER	BOLLARD O
OVERHEAD V	SEWER — S -
FENCE LINE -oo-	WINDOW / WOPENING

SERVICE DETAILS

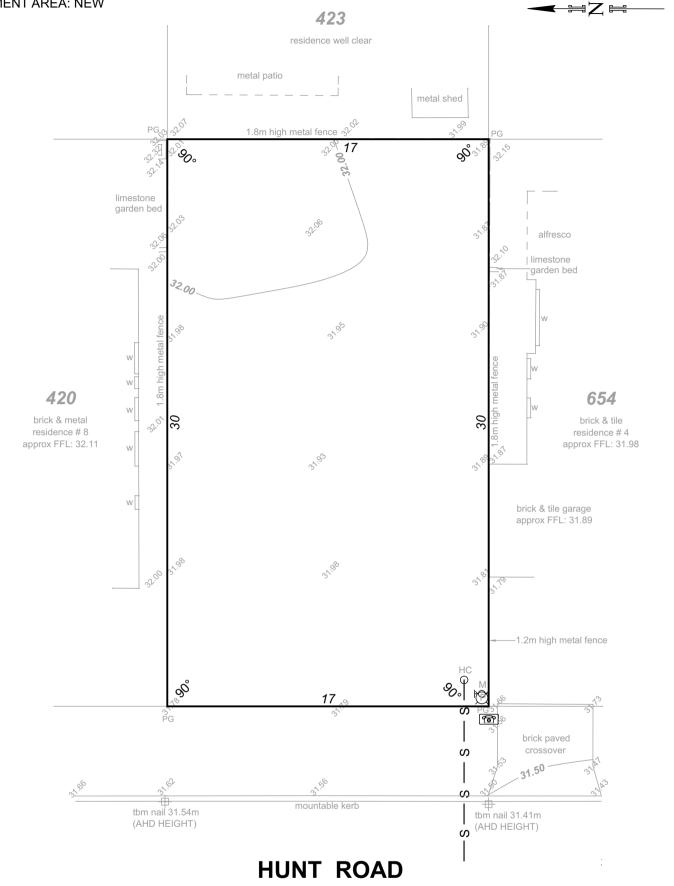
WATER: L OVERHEAD POWER: NS U/G POWER: L TELSTRA: L GAS: A.TBC

SERVICE NOTES

L: LOCATED NS: NO SERVICE A: AVAILABLE BUT NOT LOCATED TBC: LOCATION TO BE CONFIRMED

NOTES

(1) ALL FEATURES IN GOOD CONDITION (2) DEVELOPMENT AREA: NEW



(bitumen)

Existing Site Plan

SEWER JUNCTION DETAILS

HOUSE CONNECTION (HC) IL: 29.70 **UP DISTANCE:** 1.1 **DEPTH TO CONNECTION:** 0.84

IMPORTANT FEATURE SURVEY NOTES

1. The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A repeg / bdy identification survey is recommended if an accurate position of features / improvements relative to the boundary is required. 2. The sewer junction on this plan has been plotted using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.

3. The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plans. The final repegged dimensions may vary due to adjustments made during field survey.
4. All service information shown of this plan should be verified with the relevant authorities.
5. Pro West Surveying does not accept liability for any loss or damage caused by the use of this feature survey plan for any purpose.



homes wa

WE TURN A HOUSE INTO A HOME 41 cedric st., stirling phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: MY LAWLEY	Job No:21010	Drawing Na	ame: EX	(ISTING	G SITE PLAN	Sheet No:	1 of 1	
Lot Address:LOT 421 (#6) HUN	T ROAD, BYFORD)	Council:	SERPE	NTINE/JARRAHDALE	Specification: P	REMIUM	
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT				VARIATIONS				
Client Name: CARTER				REV NO.	VARIATION	DATE DRN.	BY	
Client Name. CANTEN	Da	Date:/		1	WORKING DRAWINGS	30-07-20	VN-FV	
Signature:				2	PRESTART	06-10-20	OT	
				. 3	VARIATION 2	27-11-20	DC	
Client Name:	Da	ata.		4	VARIATION 3	2-12-20	DC	
	Da	//		5				
Signature:				6				
			7					
The home will be built to the dimensions on the	This plan shall remain			8				
working drawings		and must not be given, lent, resold or otherwi		9				
within a reasonable tolerance	aisposea or copiea w	itnout the permission	n in writing	10				



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Feature & Contour Survey of: Lot 421, No. 6 Hunt Road, BYFORD					
Teature & Contour Survey or.	SHEET: 1 OF 1				
CLIENT: CARTER	PLAN: DP 53103	LOT AREA: 510m²	SURVEY DATE	: 15/07/20	
BUILDER: MY HOMES WA	C/T Vol: 2663 Fo	l: 730	MAP REFEREN	ICE:	
BUILDER JOB # 21010	HEIGHT DATUM: A	HD	COASTAL ZON	E: >1KM	
AUTHORITY: SHIRE OF SERPENTINE-JARRAHDALE	HEIGHT CORRECTION	ON TO AHD: NO	SEWER INFOR	MATION: YES	

FEATURE SYMBOL **LEGEND**

POWER CABLE DOME 🎅 POWER POLE ⊙ PP CONSUMER ⊕ CP CABLE BOX **POWER** EXPOSED MARKER **EARTH** LIGHT POLE *LP **WATER** WATER **FIRE** METER / TAP HYDRANT H

> WATER MARKER **SEWERAGE**

STOP VALVE SV

RETIC VALVE C RV

ð

FLUSHING HEP

TAP

POINT

BORE

SEWER M/H SEVVER M/H (SQUARE LID) SEWER M/H (ROUND LID) INSPECTION ⊙ IO INSPECTION ⊙ IS HOUSE CONNECTION

TELSTRA

TELSTRA TELSTRA 6 M PIT MANHOLE **TELSTRA MARKER** DRAINAGE

DRAIN M/H DRAIN M/H (SQUARE LID) (ROUND LID) SIDE DRAINAGE **ENTRY PIT GRATE** COMBINED **ENTRY PIT** GAS

⊚ GM

GAS METER GAS VALVE GAS MARKER

SURVEY MARKS

PEG FOUND PF ⊙ PEG GONE PG BENCH MARK + DRILL HOLE DH O PM ⊙ PEN MARK

MISCELLANEOUS INFO.

STREET SIGN (S) SPOT HEIGHT 1015 UNKNOWN BOLLARD ⊙ B SERVICE MARKER SEWER OVERHEAD POWER LINE WINDOW / FENCE LINE -----**OPENING**

SERVICE DETAILS

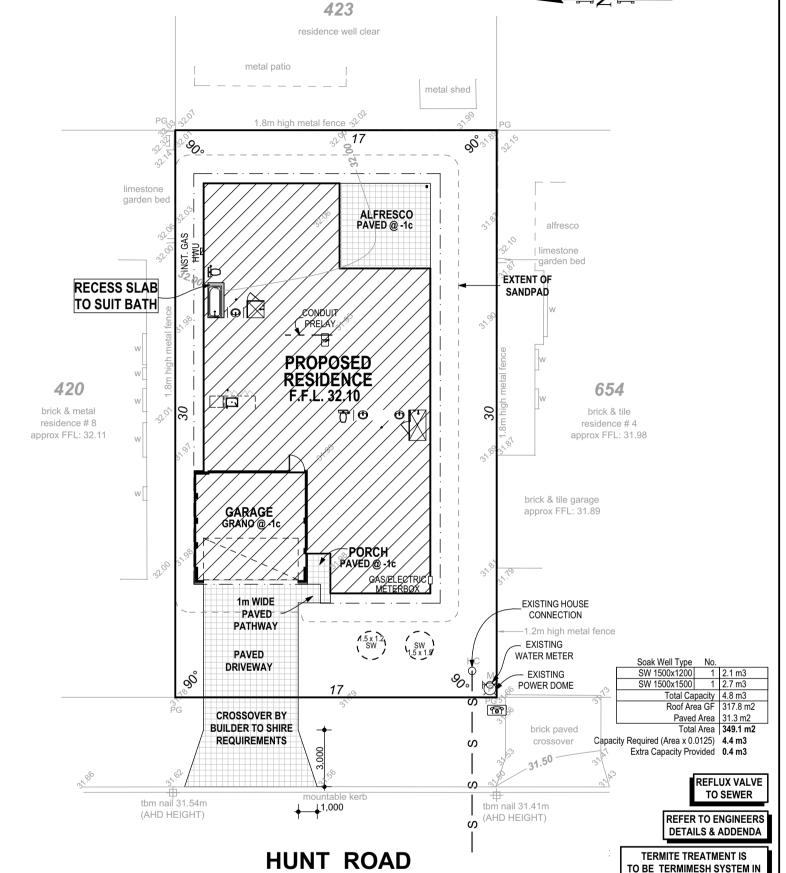
WATER: L OVERHEAD POWER: NS U/G POWER: L TELSTRA: L GAS: A,TBC

SERVICE NOTES

L: LOCATED NS: NO SERVICE A: AVAILABLE BUT NOT LOCATED TBC: LOCATION TO BE CONFIRMED

NOTES

(1) ALL FEATURES IN GOOD CONDITION (2) DEVELOPMENT AREA: NEW



Site Plan

SEWER JUNCTION DETAILS

HOUSE CONNECTION (HC) IL: 29.70 **UP DISTANCE:** 1.1 **DEPTH TO CONNECTION:** 0.84

PLUMBER NOTE:

(bitumen)

Plumber to contact Serpentine-Jarrahdale Infrastructure services via email to organise inspection of stormwater prior to backfilling. 24hr notice for inspoection is required Email infrastructure@sjshire.wa.gov.au

REFER TO SHEET 3 FOR

SETOUT & SETBACK DIMENSIONS

ACCORDANCE WITH A.S. 3660.1

REVISION: A

STORMWATER LAYOUT TO COMPLY WITH BCA PART 3.1 & AS/NZ 3500.3.2003 PLUMBING & DRAINAGE **PART 3: STORMWATER DRAINAGE** & SHIRE REQUIREMENTS

Sheet No: 2 of 10

IMPORTANT FEATURE SURVEY NOTES

1. The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A repeg / bdy identification survey is recommended if an accurate position of features / improvements relative to the boundary is required. 2. The sewer junction on this plan has been plotted using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.

Job No:21010

3. The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plans. The final repegged dimensions may vary due to adjustments made during field survey.
4. All service information shown of this plan should be verified with the relevant authorities.
5. Pro West Surveying does not accept liability for any loss or damage caused by the use of this feature survey plan for any purpose

House Type: MY LAWLEY

The home will be built to the dimensions on the

working drawings

within a reasonable tolerance



omes wa

WE TURN A HOUSE INTO A HOME 41 cedric st., stirling phone - (08) 9440 9200 fax - (08) 9440 9201

Lot Address:LOT 421 (#6) HUNT ROA	D,BYFORD	Council:	SERPE	NTINE/JARRAHDALE	Specification: Pl	REMIUM		
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT				VARIATIONS				
Client Name: CAPTED			REV NO.	VARIATION	DATE DRN.	BY		
Client Name: CARTER Signature:	Date:		1	WORKING DRAWINGS	30-07-20	VN-FV		
			2	PRESTART	06-10-20	ОТ		
			3	VARIATION 2	27-11-20	DC		
Client Name:	Date:		4	VARIATION 3	2-12-20	DC		
	Date/		5					
Signature:			6					

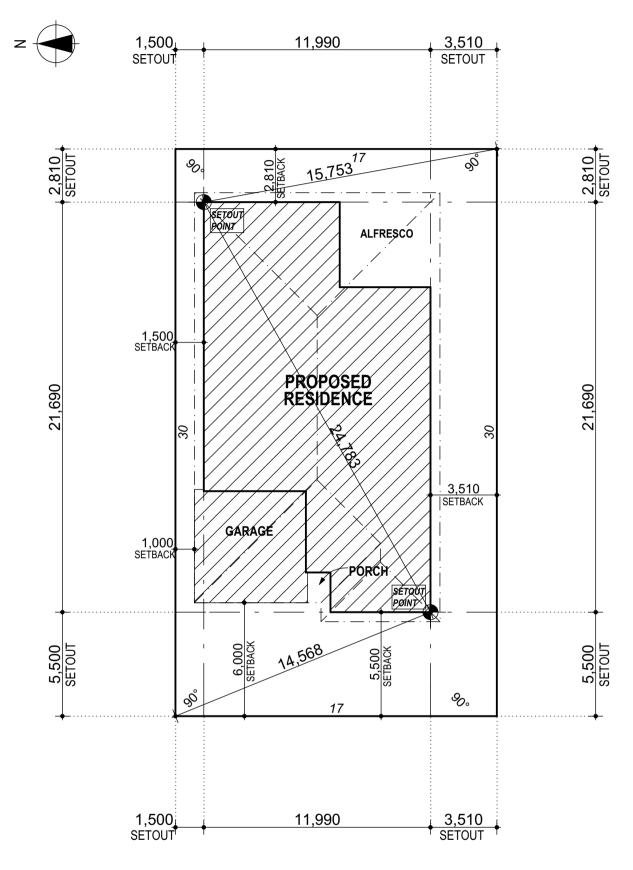
This plan shall remain the sole property of the builder

and must not be given, lent, resold or otherwise

disposed or copied without the permission in writing

Drawing Name: SITE PLAN

8



HUNT ROAD

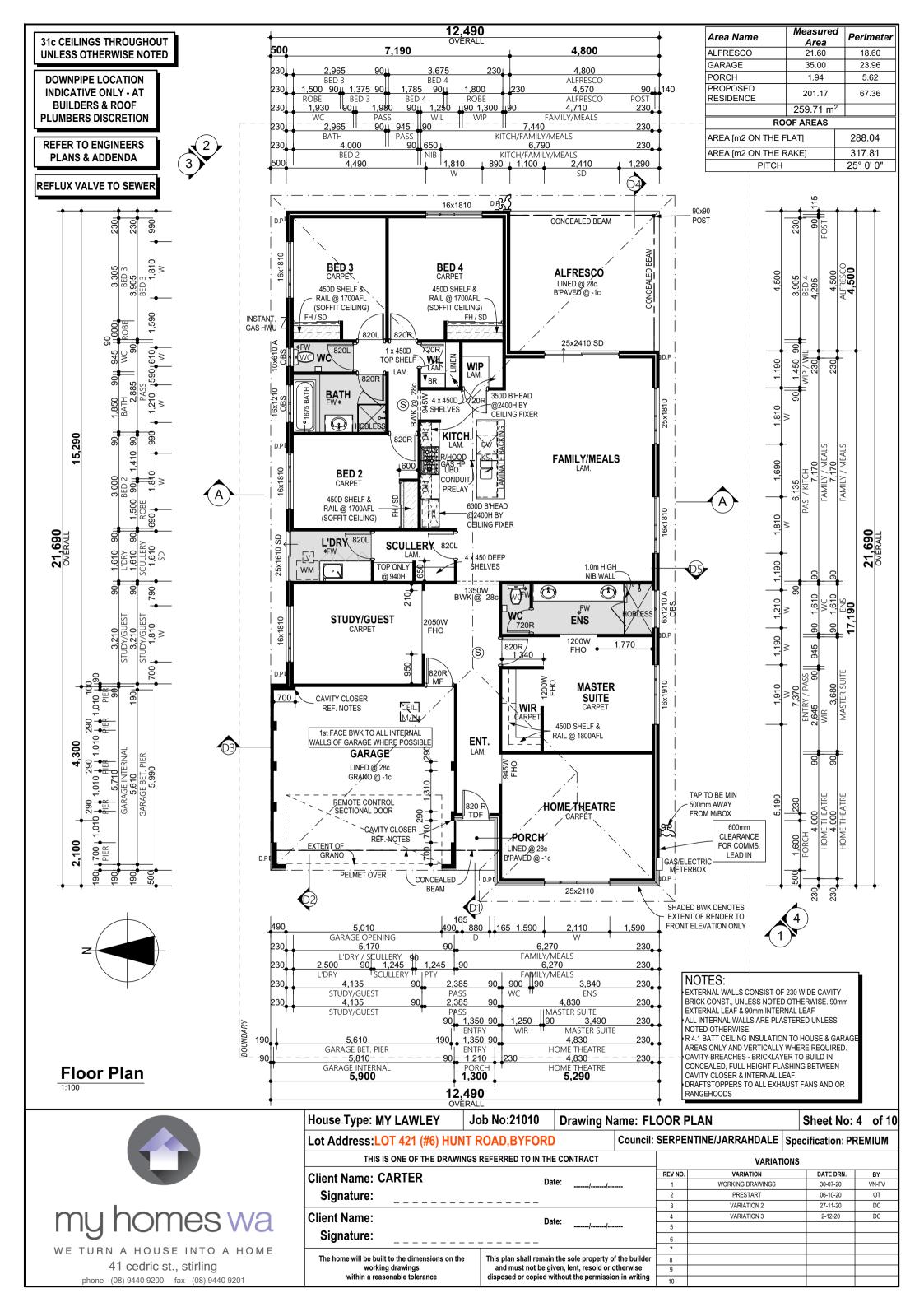
REFER TO ENGINEERS DETAILS & ADDENDA

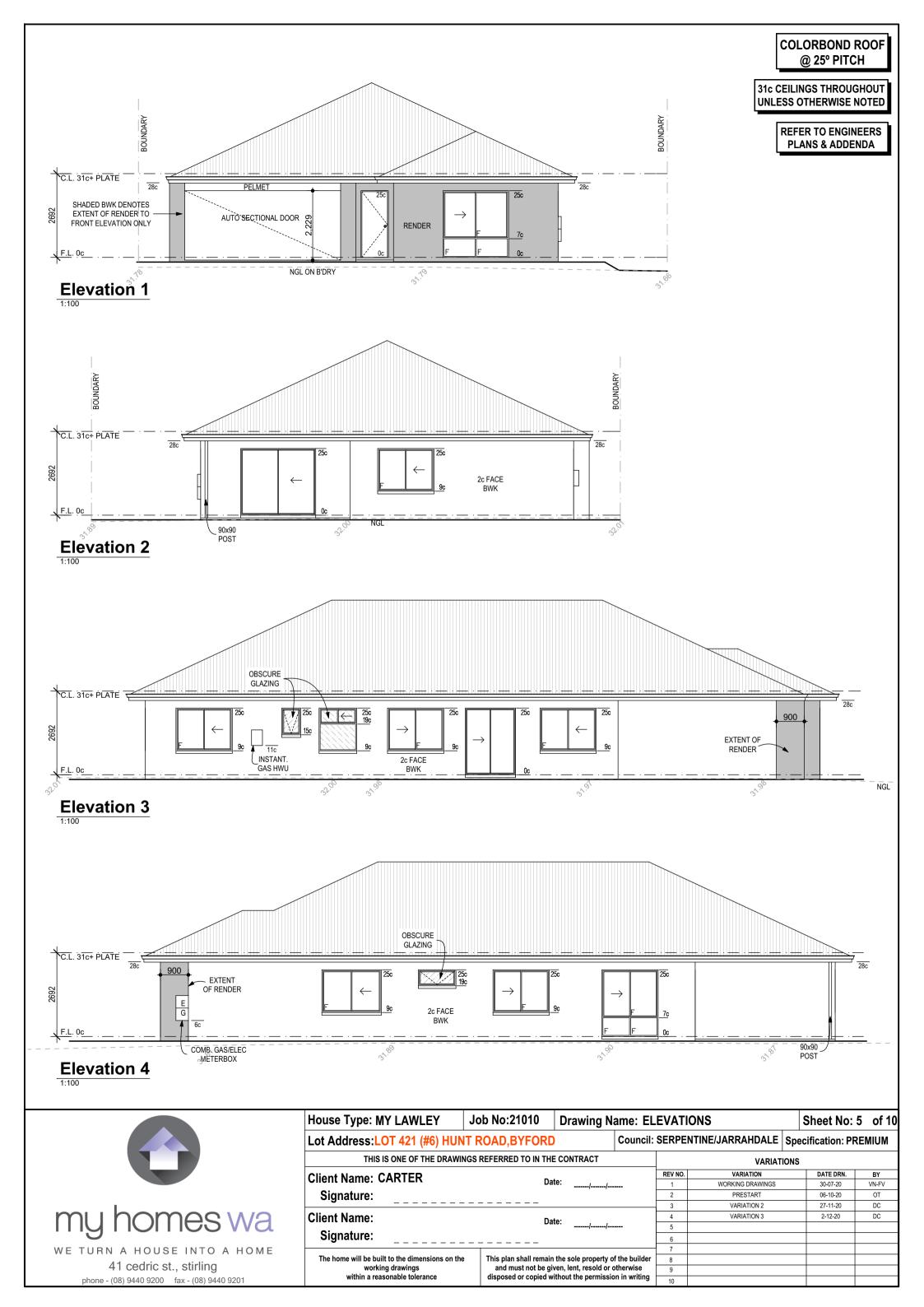
TERMITE TREATMENT IS TO BE TERMIMESH SYSTEM IN ACCORDANCE WITH A.S. 3660.1

STORMWATER LAYOUT TO COMPLY WITH BCA PART 3.1 & AS/NZ 3500.3.2003 PLUMBING & DRAINAGE PART 3: STORMWATER DRAINAGE & SHIRE REQUIREMENTS

Site Layout

	House Type: MY LAWLEY	Job No:21010	Drawing Nam	ne: SITE L	AYOUT	Sheet N	lo: 3 of 10	
	Lot Address:LOT 421 (#6) HUN	T ROAD,BYFORD	Co	ouncil: SERI	PENTINE/JARRAHDALE	Specification	: PREMIUM	
	THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT				VARIATIONS			
	Client Name: CARTER	_		REV I	NO. VARIATION	DATE DI	N. BY	
		Dat	te:	1	WORKING DRAWINGS	30-07-2	VN-FV	
	Signature:			2	PRESTART	06-10-2	ОТ	
1				3	VARIATION 2	27-11-2	DC	
my homes wa	Client Name:	Dat	te·	4	VARIATION 3	2-12-20	DC	
HIGH HOHIOS Wa		Da	Date/	5				
O	Signature:			6				
WE TURN A HOUSE INTO A HOME				7				
41 cedric st., stirling	The home will be built to the dimensions on the		the sole property of the					
	working drawings within a reasonable tolerance		ven, lent, resold or other ithout the permission in					
phone - (08) 9440 9200 fax - (08) 9440 9201	within a reasonable tolerance	disposed or copied w	iulout the permission in	writing 10				





ELECTRICAL NOTE:

- POWER POINT AND LIGHT LOCATIONS MAY CHANGE DUE TO **ELECTRICAL LAWS OF WA**
- DIMENSIONS SHOWN ARE TO THE CENTRELINE OF GPO's
- LIGHT SWITCHES ARE TO BE 1200 AFL OR OTHERWISE NOTED
- DRAFTSTOPPERS TO ALL EXHAUST FANS AND OR RANGEHOODS

ELECTRICAL LEGEND

F.L.

F.L. Qty	Sym.	Description	Watts	Insulation Penetration
1	①15w*	EXTERNAL LIGHT (15w) Perimeter Lighting	15*	*
1	Ö	BAYONET EXTERNAL LIGHT Perimeter Lighting	0*	*
1	15w*	EXTERNAL LIGHT (15w) Class 10	15*	*
1	15w *	EXTERNAL LIGHT (15w) Class 1 Alfresco	15*	*
1	E	VENTILATION FOR RANGEHOOD	0	0.031
1		JUNCTION BOX	0	
2	S	H.WIRED SMOKE DETECTOR	0	
4	×	EXHAUST FAN FLUMED	0	0.196
11	◯ 15w	CEILING LIGHT (15w)	165	
10	0	BAYONET LIGHT	0	
1	2WS	2 Way Switch	15	
1	V	Ceiling Vent	0	
2		TV POINT	0	
1	•	SINGLE WATER PROOF GPO	0	
4	•	SINGLE GPO @ NOTED HT	0	
1		SINGLE CIRCUIT GPO	0	
1	∇	PHONE POINT	0	
1		DOUBLE WATER PROOF GPO	0	
1		DOUBLE GPO @ NOTED HT W/USB	1	
10		DOUBLE GPO @ NOTED HT	0	
16		DOUBLE GPO @ 300 AFL	0	
1	CF	CONDUIT FOR FUTURE FIBRE OPTIC	0	
4	©	32mm CONDUIT	0	
1	©	25mm CONDUIT TO SWITCH	0	
3	V	DATA POINT	0	

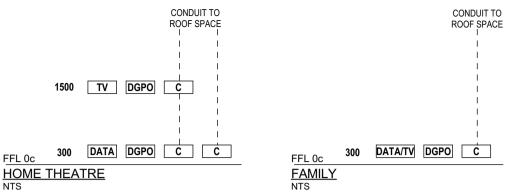
* NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. Subtotal: 181 0.228 PERIMETER LIGHTING MIN. 40 LUMENS/W.

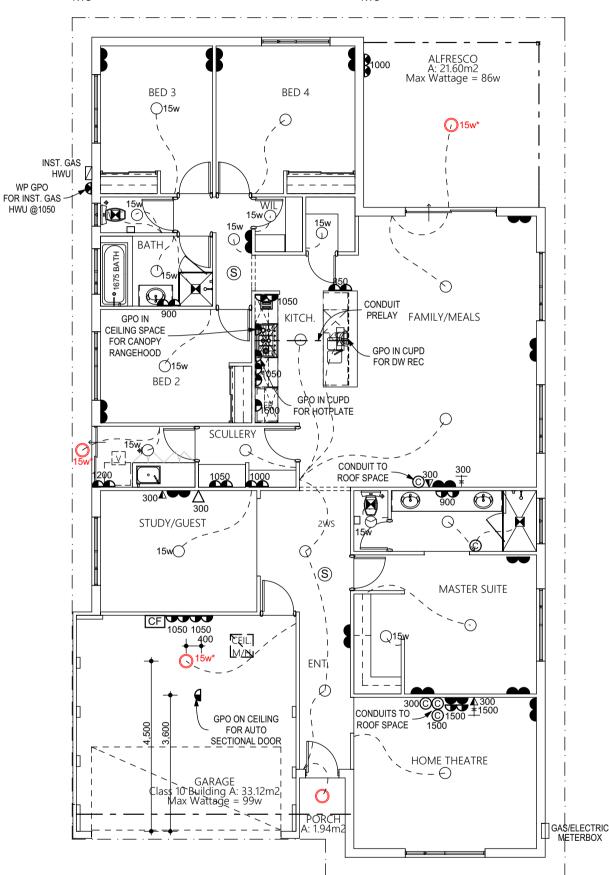
Total Class 1 Wattage= 181

Wattage Calculations (Class 1)			Allowed	Actual	
	Story Name	Area		Wattage	
	0 F.L.	187.23 Sqm	936 w	181 w	
	•	187.23 sqm	936 w	181 w	PASS

Recessed Fitting Penetration	Maximum	Actual		
Story Name		Penetrations	Penetrations	
Total Insulation Area	187.23 sqm	0.936 sqm	0.228 sqm	
187.23 sqm 0.12 % R4.0 Ins		0.936 sqm sulation Adjustment N	0.228 sqm lot Required	PASS

CLIENT NOTE: MAX WATTAGE AND PENETRATIONS MUST NOT BE EXCEEDED



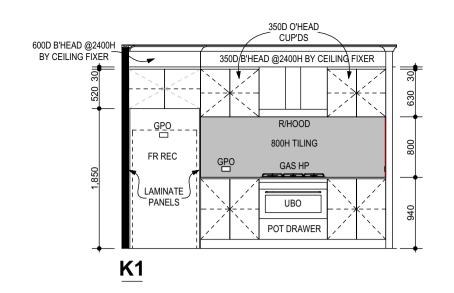


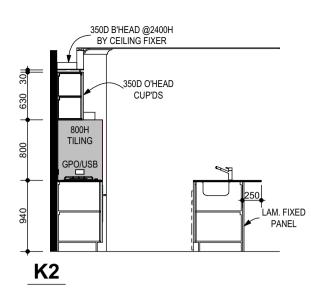
Electrical Plan

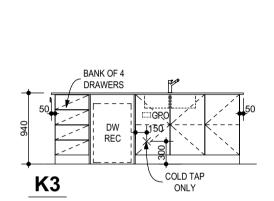


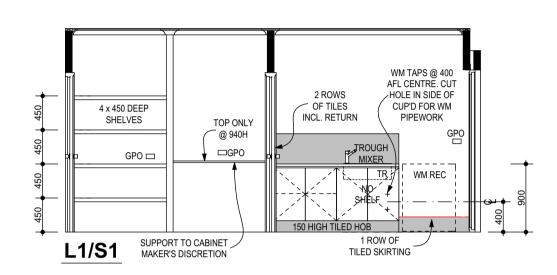
phone - (08) 9440 9200 fax - (08) 9440 9201

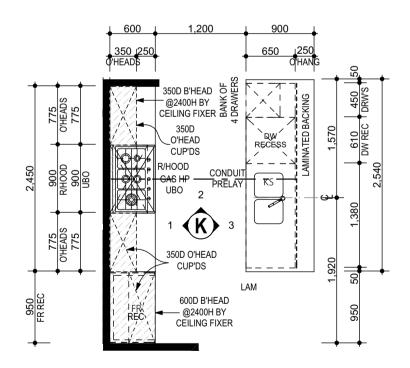
House Type: MY LAWLEY	Job No:21010	Drawing Na	me: EL	ECTRI	CAL LAYOUTS	Sheet	No: 6	of 10	
Lot Address:LOT 421 (#6) HUNT ROAD,BYFORD Council: S			SERPE	NTINE/JARRAHDALE	Specification	on: PRE	MIUM		
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT				VARIATIONS					
Client Name: CARTER				REV NO.	VARIATION	DATE	DRN.	BY	
Client Name. CARTER	Da		1	WORKING DRAWINGS	30-07	7-20	VN-FV		
Signature:	, .			2	PRESTART	06-10)-20	OT	
				3	VARIATION 2	27-11	1-20	DC	
Client Name:	Da	44.		4	VARIATION 3	2-12-	-20	DC	
	Da	te:/	-	5					
Signature:				6					
				7					
The home will be built to the dimensions on the				8					
working drawings and must not be given, lent,				9					
within a reasonable tolerance disposed or copied without the permission in				10					











820L 820L LAM TOP ONLY 650 450 4 x 450 DEEL @ 940H SHELVES 1,000 1,235 90 870 1,630 90 1,245 1,245 **Laundry Layout** 1:50

Kitchen Layout

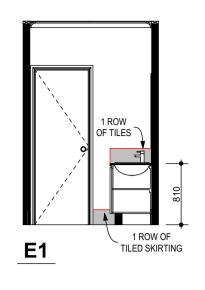
1:50

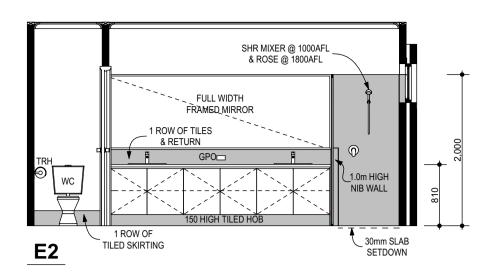
MITRED EXTERNAL CORNERS TO TILES THROUGHOUT

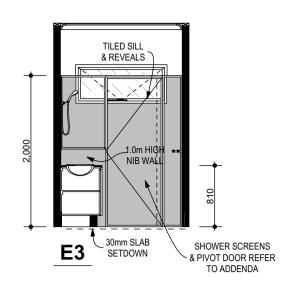


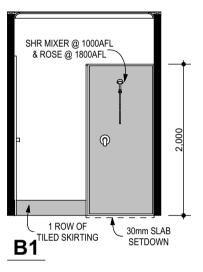
phone - (08) 9440 9200 fax - (08) 9440 9201

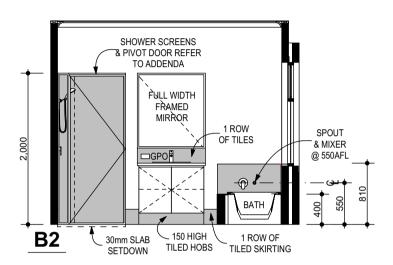
House Type: MY LAWLEY	Job No:21010	Drawing Nar	ne: RO	OM L	AYOUT 1		Sheet No:	7 of 10	
Lot Address:LOT 421 (#6) HUNT ROAD,BYFORD Council: S				SERPE	NTINE/JARRAHDALE	Spec	ification: PR	EMIUM	
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT				VARIATIONS					
Client Name: CARTER				REV NO.	VARIATION		DATE DRN.	BY	
Chefit Name. CANTEN	Da	te:	. [1	WORKING DRAWINGS		30-07-20	VN-FV	
Signature:					PRESTART		06-10-20	OT	
				3	VARIATION 2		27-11-20	DC	
Client Name:	Da	ate:		4	VARIATION 3		2-12-20	DC	
	Da	/		5					
Signature:				6					
				7					
The home will be built to the dimensions on the		the sole property of th		8					
working drawings		ven, lent, resold or othe		9					
within a reasonable tolerance	aisposed or copied w	disposed or copied without the permission in writing							

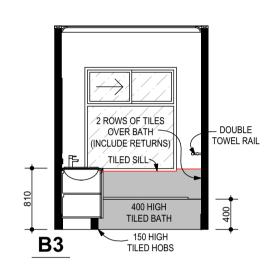


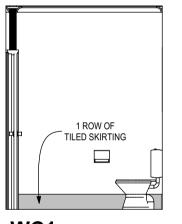


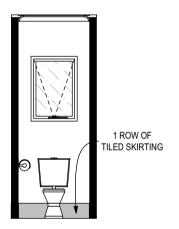


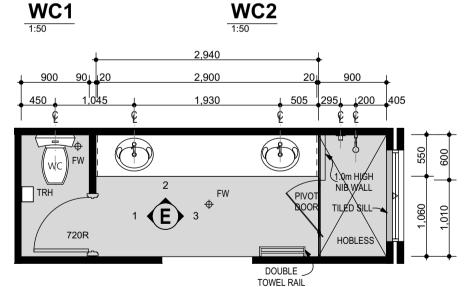












2 WC
TRH

DOUBLE
TOWEL RAIL

3 B
FW DOOR
DOOR
DOOR
FW 2

150 950
1,505
850 160 20 860 20 155 900
900

Ensuite Layout

1:50

Bathroom Layout

1:50

MITRED EXTERNAL CORNERS TO TILES THROUGHOUT

TOP OF MIRRORS TO LINE UP WITH TOP OF SHOWER SCREENS



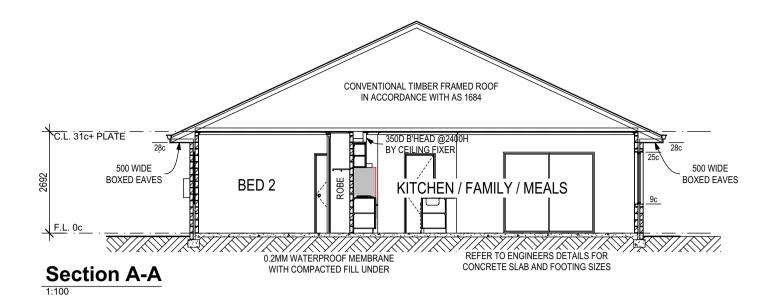
WE TURN A HOUSE INTO A HOME
41 cedric st., stirling
phone - (08) 9440 9200 fax - (08) 9440 9201

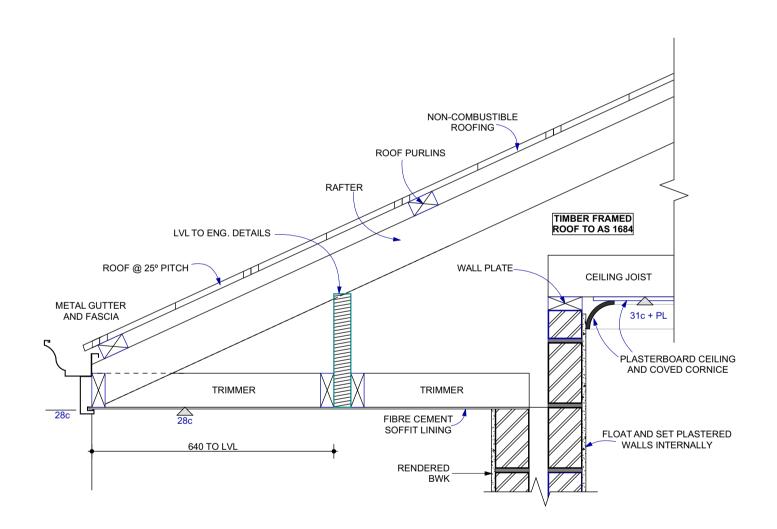
House Type: MY LAWLEY	Job No:21010	Drawing Na	ame: RC	OM L	AYOUT 2		Sheet No:	3 of 10	
Lot Address:LOT 421 (#6) HUNT ROAD,BYFORD Council: S			SERPE	NTINE/JARRAHDALE	Spe	cification: PR	EMIUM		
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT				VARIATIONS					
Client Name: CARTER				REV NO.	VARIATION		DATE DRN.	BY	
Cheff Name. CANTEN	Da		1	WORKING DRAWINGS		30-07-20	VN-FV		
Signature:				2	PRESTART		06-10-20	ОТ	
				3	VARIATION 2		27-11-20	DC	
Client Name:	Da	to:		4	VARIATION 3		2-12-20	DC	
	Date:/			5					
Signature:				6					
				7					
The home will be built to the dimensions on the	This plan shall remain			8					
working drawings	ven, lent, resold or o		9						
within a reasonable tolerance	disposed or copied w	ithout the permissio	n in writina						

COLORBOND ROOF @ 25° PITCH

31c CEILINGS THROUGHOUT UNLESS OTHERWISE NOTED

REFER TO ENGINEERS PLANS & ADDENDA



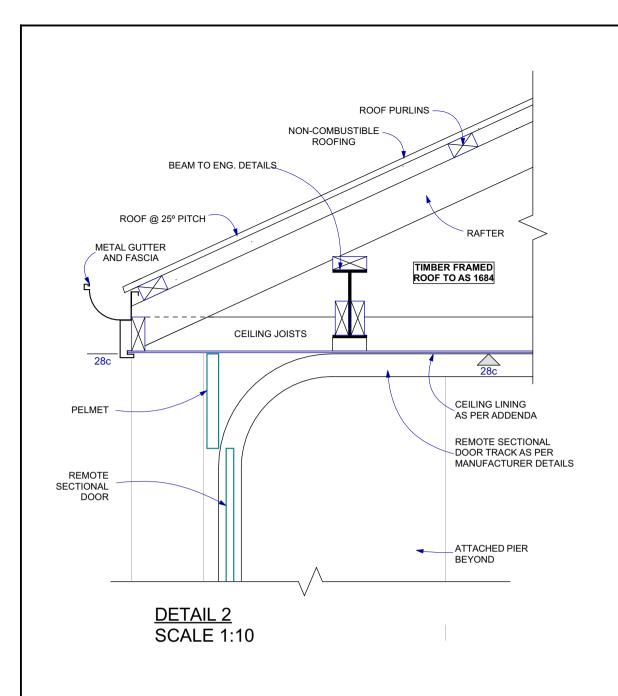


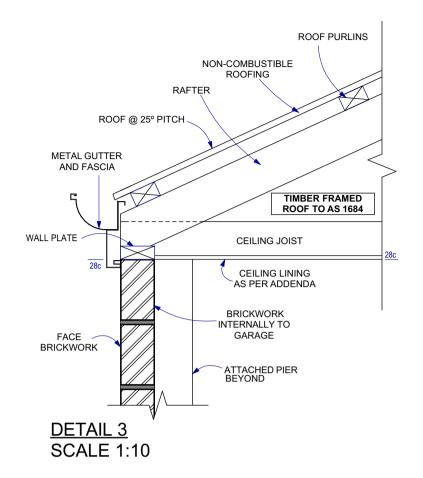
DETAIL 1 SCALE 1:10

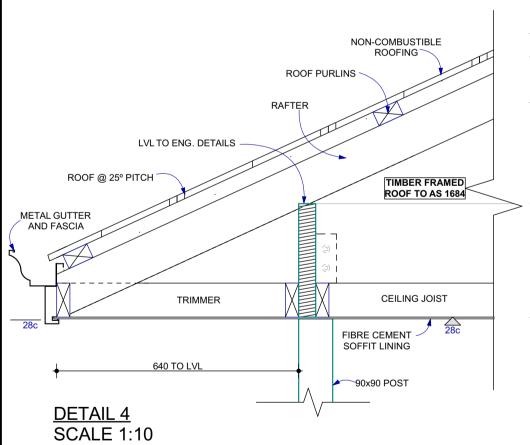


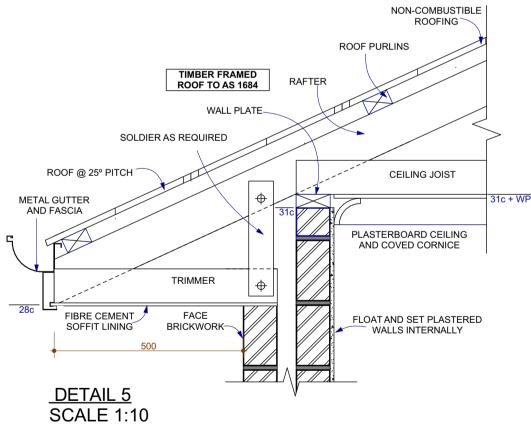
41 cedric st., stirling phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: MY LAWLEY	Job No:21010	Drawing Name	: SECTION	I / DETAILS	Sheet No:	9 of 10				
Lot Address:LOT 421 (#6) HUNT ROAD,BYFORD Council: S				NTINE/JARRAHDALE	Specification: PF	REMIUM				
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT				VARIATIONS						
Client Name: CARTER			REV NO.	VARIATION	DATE DRN.	BY				
Client Name. CANTEN	Da	te:	1	WORKING DRAWINGS	30-07-20	VN-FV				
Signature:			2	PRESTART	06-10-20	OT				
			3	VARIATION 2	27-11-20	DC				
Client Name:	Da	to:	4	VARIATION 3	2-12-20	DC				
	Da	····//	5							
Signature:	Signature:									
The home will be built to the dimensions on the working drawings	This plan shall remain the sole property of the build									
		and must not be given, lent, resold or otherwise disposed or copied without the permission in writing								
within a reasonable tolerance	alsposed or copied w									











41 cedric st., stirling phone - (08) 9440 9200 fax - (08) 9440 9201

	House Type: MY LAWLEY	Job No:21010	Drawing Na	me: Di	ETAILS	6	Sheet No	o: 10 of 10			
	Lot Address:LOT 421 (#6) HUNT	ROAD,BYFORD		Council:	SERPE	NTINE/JARRAHDALE	Specification:	PREMIUM			
	THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT					VARIATIONS					
	Client Name: CARTER			REV NO.	VARIATION	DATE DRN	BY				
	Cheff Name. CANTEN	Dat	e:		1	WORKING DRAWINGS	30-07-20	VN-FV			
	Signature:				2	PRESTART	06-10-20	OT			
					3	VARIATION 2	27-11-20	DC			
3	Client Name:	Date:		4	VARIATION 3	2-12-20	DC				
l		Dat	ate/		5						
	Signature:										
1 E			T		7						
	The home will be built to the dimensions on the			sole property of the builder	8						
	working drawings within a reasonable tolerance	and must not be given, lent, resold or otherwise disposed or copied without the permission in writing			9						
	within a reasonable tolerance			in writing	10						

