

SURVEYOR NOTES:

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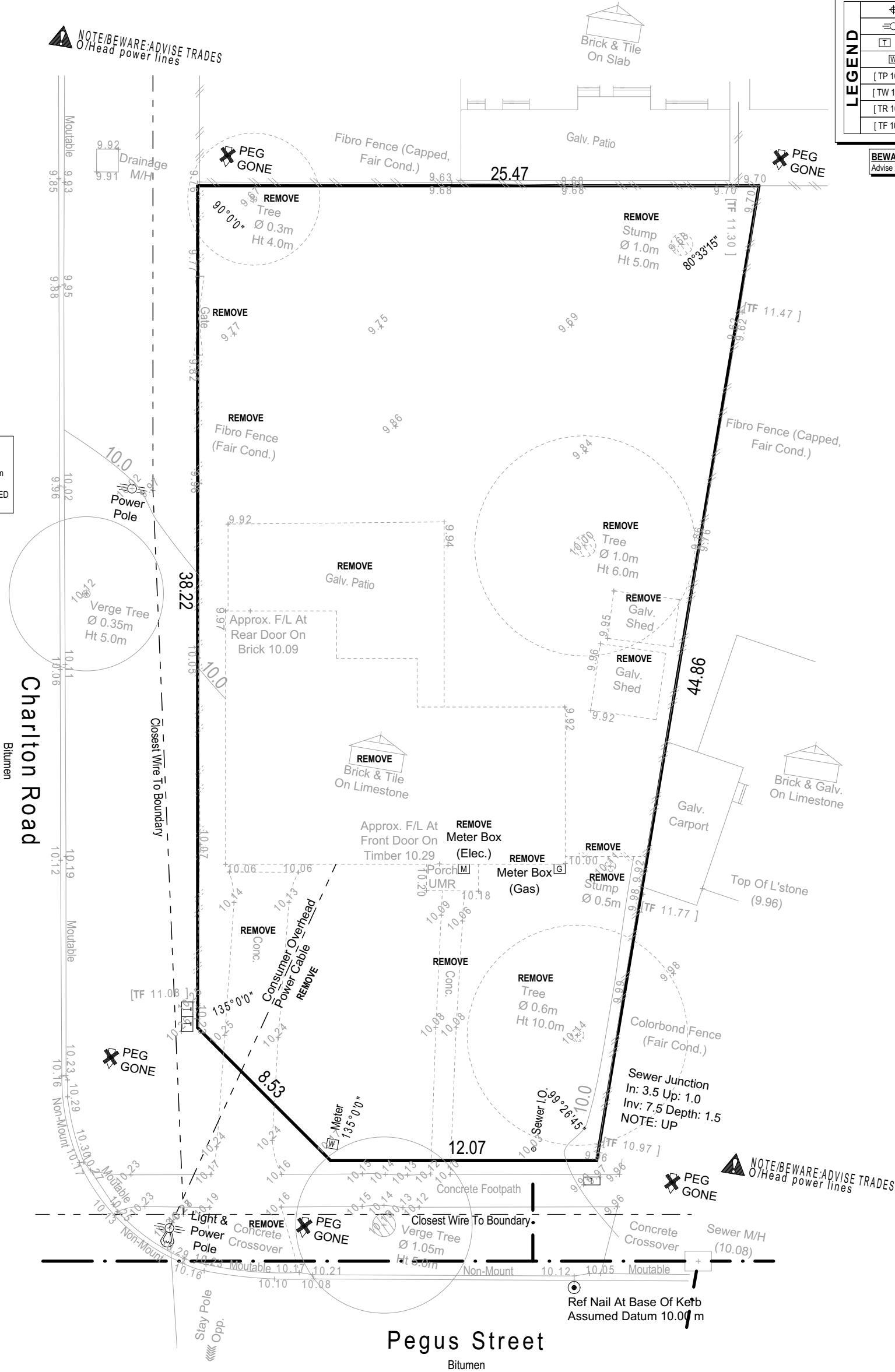
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CLIENT NOTE:

- ALL DEMOLITION BY CLIENT UNLESS OTHERWISE NOTED.
- ALL TREES/SHRUBS TO BE LOPPED (TRIMMED) TO WITHIN 2m OF THE BUILDING ENVELOPE.
- EXISTING BUILDING, TREES AND ALL RUBBLE TO BE REMOVED BY CLIENT PRIOR TO CONSTRUCTION.

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ALL DIMENSIONS TO BRICKWORK.

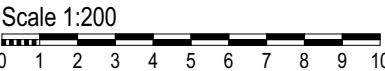
LEGEND	⊕	SEC Dome
	≡○≡	Power Pole
	[T] [C]	Phone Pits
	[W]	Water Conn.
	[TP 10.00]	Top Pillar/Post
	[TW 10.00]	Top Wall
	[TR 10.00]	Top Retaining
	[TF 10.00]	Top Fence
BEWARE: Advise trades overhead power lines.		



BUILDER:	CLIENT(S):	WITNESS:
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

COTTAGE & ENGINEERING SURVEYS
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87-89 Guthrie Street, Osborne Park, Western Australia.
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998.
Email : perth@cottage.com.au Website: www.cottage.com.au

PROPOSED RESIDENCE FOR: LEANNEY	AREA: 946m² SHIRE: GOSNELLS D.PLAN: 6786 C/T VOLUMN: 1942 FOLIO: 592 MSD REF: 435 38/28	ROAD DESCR.: BITUMEN KERBING: NON-MOUNT / MOUNT FOOTPATH: CONC. SOIL: SAND DRAINAGE: GOOD VEGETATION: RTS	GAS: YES WATER: YES ELECTRICITY: O/H PH/COMMS: YES SEWER: YES COASTAL: NO	SSA/OLD AREAS: OLD A. C/JOB#: 456032 DATE: 08 AUG 19 SCALE: 1:200 DRAWN: C. WEIGHTMAN	UNLOGGED SS PLAN: N/A ORIGINAL LOT: N/A LOT MISCLOSE: 0.006 SSL 1 MISCLOSE: N/A SSL 2 MISCLOSE: N/A
ADDRESS: LOT 28 (#5) PEGUS STREET, THORNIE	DRAWN: JS DESIGNED: RC CHECKED: DM DATE: 16/08/19 MODEL: 2x UNIT SPECIAL	SCALE: 1:200 SHEET: 1 OF 19 SIZE: A3 PROJECTS JOB N° 157487	Issue Name PCVO JS 17/09/19 V01 JS 27/02/20 AMEND JS 28/02/20 DA DMA 06/05/20 V02 JS 10/06/20 JEL JS 21/07/20	Issue Name Drawn Date	Issue Name Drawn Date



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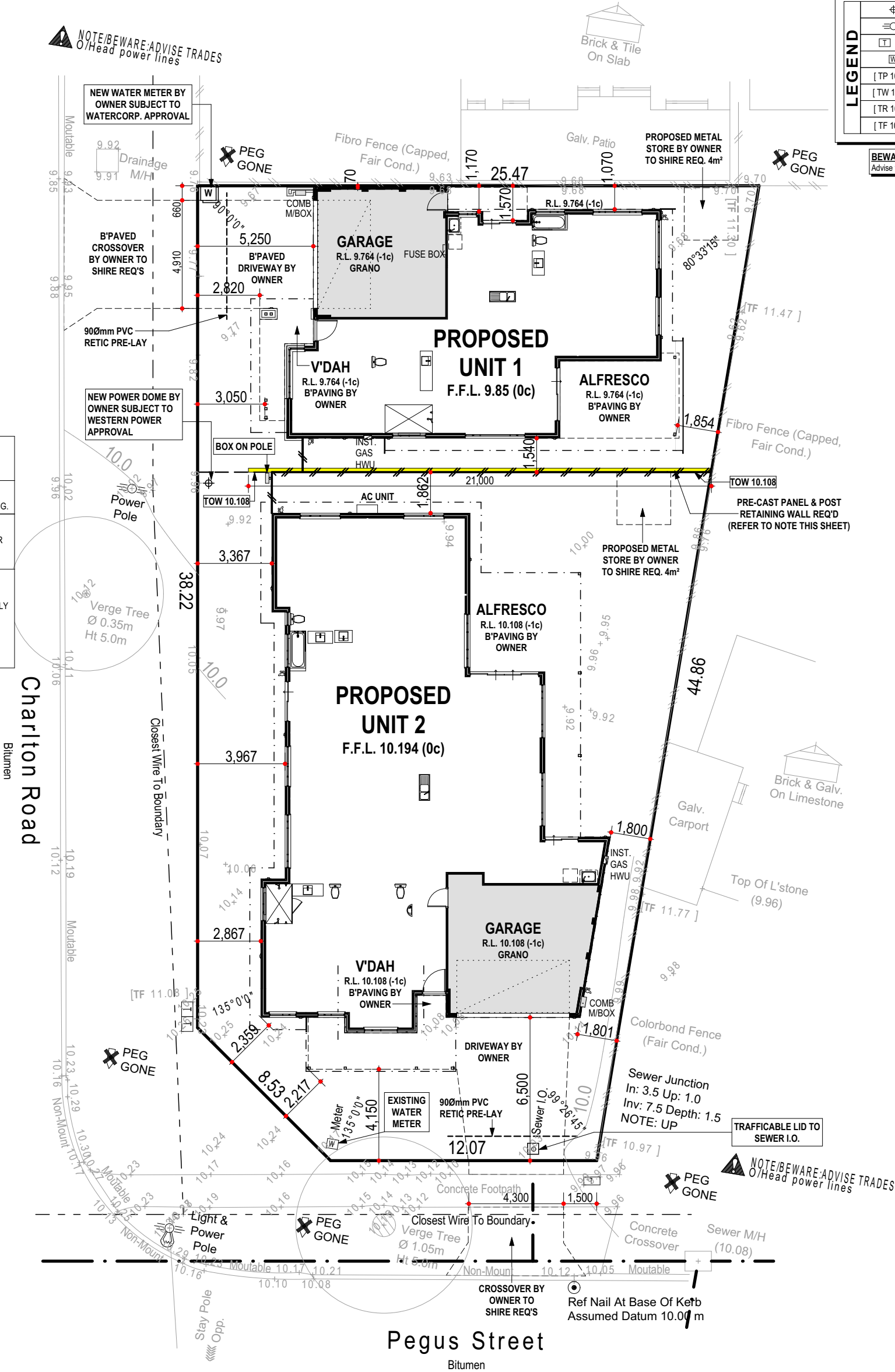
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- CLIENT NOTE:**
- ALL PAVING TO UNIT 2 BY CLIENT.
 - ALL FENCING BY CLIENT.
- CONCRETOR NOTE:**
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPENING.
- PLUMBER NOTE:**
- REFER TO PLUMBING PLAN FOR SEWER AND STORMWATER LAYOUTS.
 - REFER TO ENGINEERS STORMWATER DESIGN FOR UNIT 1
- RETAINING CONTRACTOR NOTE:**
- TOP OF WALL (TOW) INDICATED FOR CLARITY ONLY.
 - ENSURE BOTTOM OF RETAINING IS EMBEDDED SUFFICIENTLY AS REQ. BY ENG. DETAIL.
 - REFER TO NEIGHBOURS EXISTING LEVELS OR NOMINATED PAVING / LANDSCAPING LEVELS FOR FULL REQ. RETAINING HEIGHTS.
 - REFER TO ENGINEERS DETAILS

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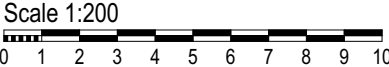
LEGEND		SEC Dome
		Power Pole
		Phone Pits
		Water Conn.
		Top Pillar/Post
		Top Wall
		Top Retaining
		BEWARE: Advise trades overhead power lines.



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PROPOSED RESIDENCE FOR: LEANNEY	AREA: 946m² SHIRE: GOSNELLS D.PLAN: 6786 C/T VOLUMN: 1942 FOLIO: 592 MSD REF: 435 38/28	ROAD DESCR.: BITUMEN KERBING: NON-MOUNT / MOUNT FOOTPATH: CONC. SOIL: SAND DRAINAGE: GOOD VEGETATION: RTS	GAS: YES WATER: YES ELECTRICITY: O/H PH/COMMS: YES SEWER: YES COASTAL: NO	SSA/OLD AREAS: OLD A. C/JOB#: 456032 DATE: 08 AUG 19 SCALE: 1:200 DRAWN: C. WEIGHTMAN	UNLOGGED SS PLAN: N/A ORIGINAL LOT: N/A LOT MISCLOSE: 0.006 SSL 1 MISCLOSE: N/A SSL 2 MISCLOSE: N/A
ADDRESS: LOT 28 (#5) PEGUS STREET, THORNIE	DRAWN: JS DESIGNED: RC CHECKED: DM DATE: 16/08/19 MODEL: 2x UNIT SPECIAL	SCALE: 1:200 SHEET: 2 OF 19 SIZE: A3 PROJECTS JOB N° 157487	Issue Name PCVO JS 17/09/19 V01 JS 27/02/20 AMEND JS 28/02/20 DA DMA 06/05/20 V02 JS 10/06/20 JEL JS 21/07/20	Drawn JS JS JS DMA JS JS	Date 17/09/19 27/02/20 28/02/20 06/05/20 10/06/20 21/07/20
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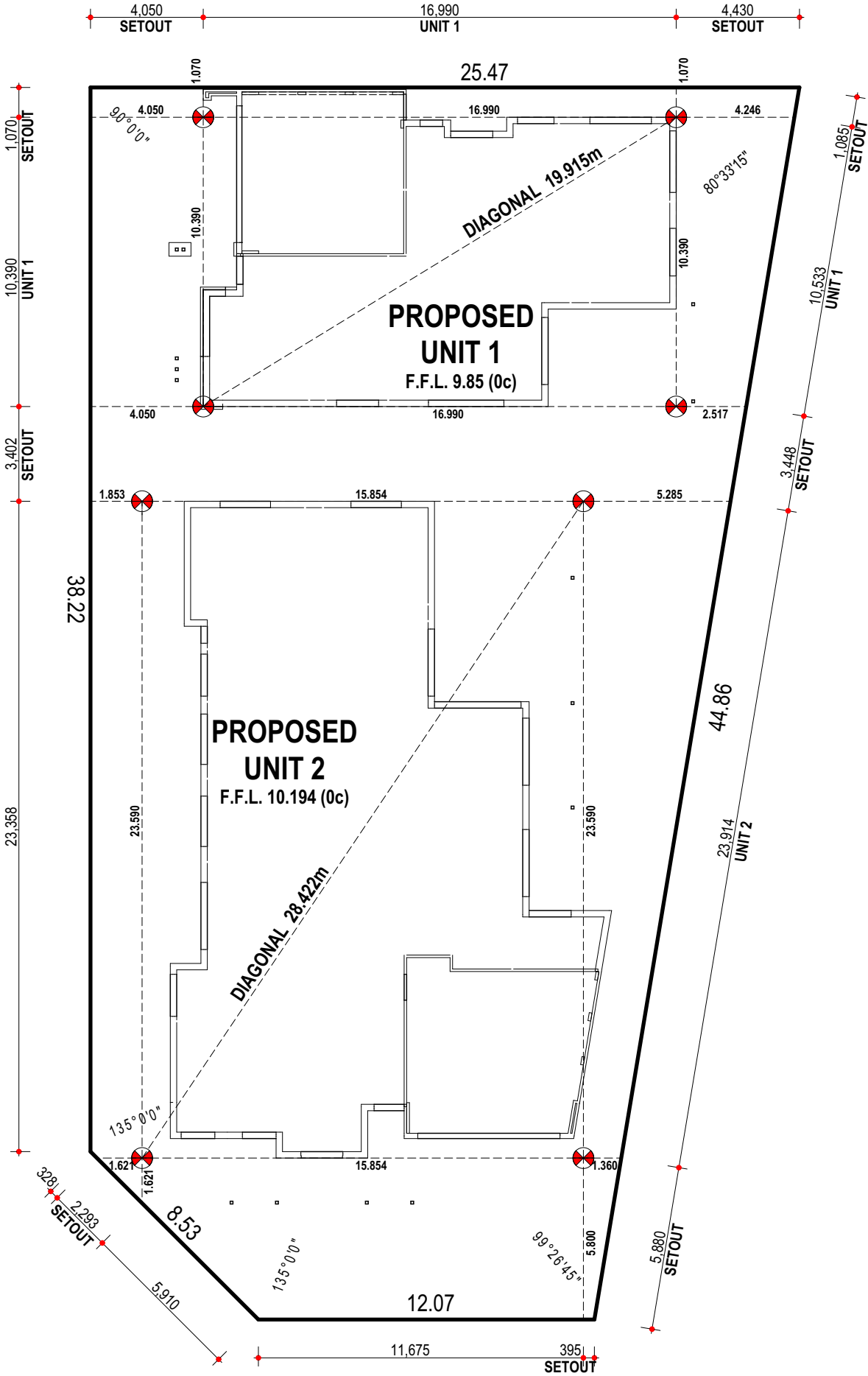
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CONCRETOR / BRICKLAYER NOTE:

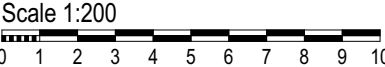
UNIT 1
- B'WALL ON LOT B'DRY HAS BEEN CALCULATED TO BE SET INSIDE THE B'DRY BY 70mm.

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LEGEND		SEC Dome
		Power Pole
		Phone Pits
		Water Conn.
	[TP 10.00]	Top Pillar/Post
	[TW 10.00]	Top Wall
	[TR 10.00]	Top Retaining
	[TF 10.00]	Top Fence
BEWARE: Advise trades overhead power lines.		



BUILDER: _____
CLIENT(S): _____
WITNESS: _____



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AREA: 946m²	ROAD DESCR.: BITUMEN	GAS: YES	SSA/OLD AREAS: OLD A.	UNLOGGED SS PLAN: N/A
SHIRE: GOSNELLS	KERBING: NON-MOUNT / MOUNT	WATER: YES	C/JOB#: 456032	ORIGINAL LOT: N/A
D.PLAN: 6786	FOOTPATH: CONC.	ELECTRICITY: O/H	DATE: 08 AUG 19	LOT MISCLOSE: 0.006
C/T VOLUMN: 1942	SOIL: SAND	PH/COMMS: YES	SCALE: 1:200	SSL 1 MISCLOSE: N/A
FOLIO: 592	DRAINAGE: GOOD	SEWER: YES	DRAWN: C. WEIGHTMAN	SSL 2 MISCLOSE: N/A
MSD REF: 435 38/28	VEGETATION: RTS	COASTAL: NO		

PROPOSED RESIDENCE FOR: LEANNEY	DRAWN: JS	SCALE: 1:200	Issue Name PCVO JS 17/09/19 V01 JS 27/02/20 AMEND JS 28/02/20 DA DMA 06/05/20 V02 JS 10/06/20 JEL JS 21/07/20	Date	Issue Name	Drawn	Date
ADDRESS: LOT 28 (#5) PEGUS STREET, THORNIE	DESIGNED: RC	SHEET: 3 OF 19					
	CHECKED: DM	SIZE: A3					
	DATE: 16/08/19	PROJECTS					
	MODEL: 2x UNIT SPECIAL	JOB N° 157487					
		SETOUT PLAN					

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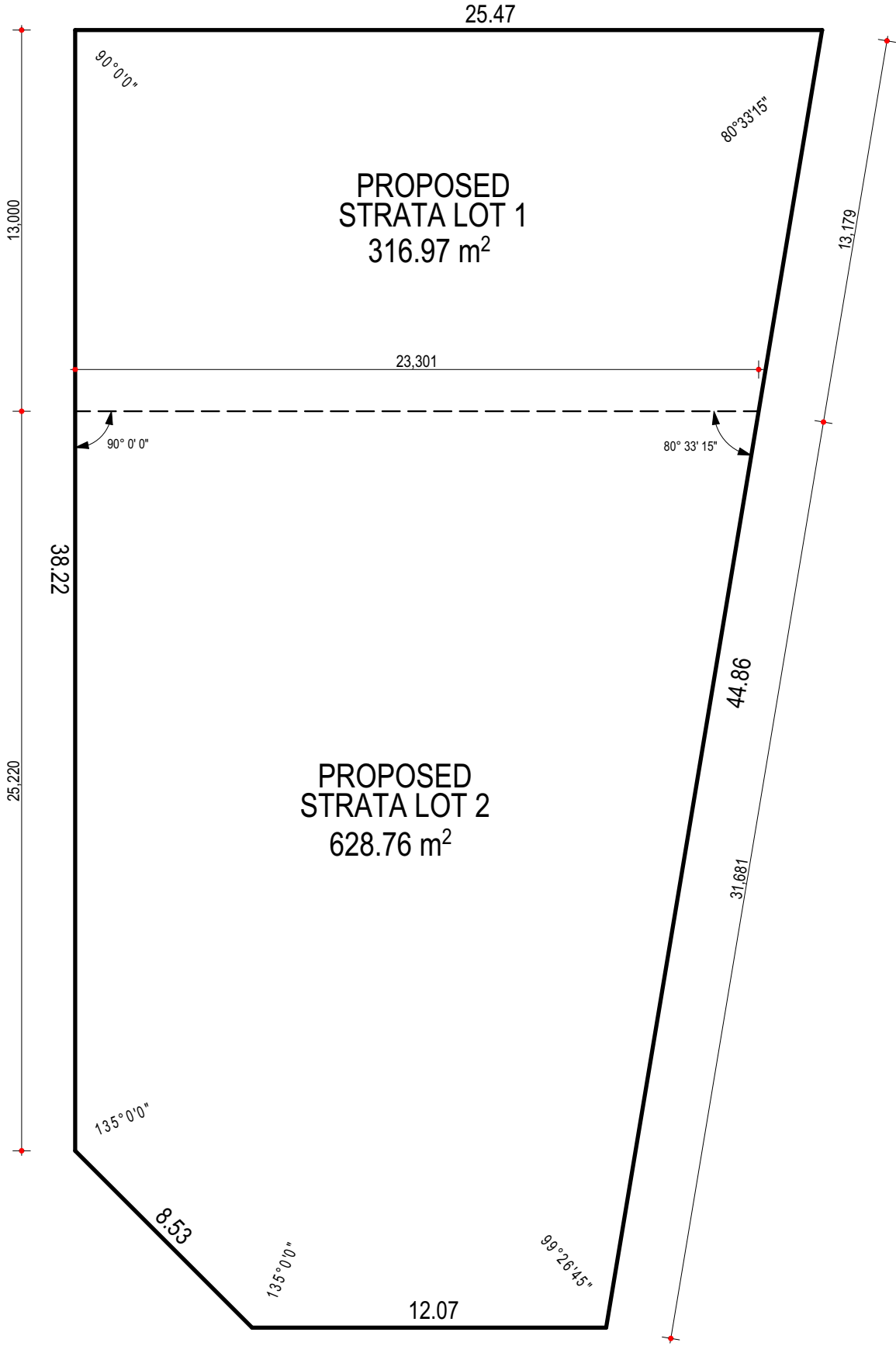
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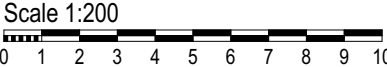
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WITNESS:



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ADDRESS: LOT 28 (#5) PEGUS STREET, THORNIE	DESIGNED: RC	SHEET: 4 OF 19	PROJECTS					
	CHECKED: DM	SIZE: A3	JOB N° 157487	STRATA PLAN				
	DATE: 16/08/19							
	MODEL: 2x UNIT SPECIAL							

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- CONNECT ALL DOWNPIPES TO STORMWATER SOAKWELLS AS PER SHIRE REQUIREMENTS.
- PART 3.1.2 DRAINAGE: ALL STORMWATER & SURFACE WATER DRAINAGE TO COMPLY W/ A.S. 3500.3:2003, CLAUSE 3.1.2.1 & 3.1.2.5 BCA VOL. 2 & LOCAL AUTHORITY REQUIREMENTS.
- REFLEX VALVE REQUIRED.
- STORMWATER HAS BEEN CALCULATED AS PER CITY OF GOSNELLS REQUIREMENTS.
- UNIT 1 AS PER SEPARATE ENGINEERS DESIGN.

Soak Well Type	No.	
SW 1200x1200	10	13.6 m3
Total Capacity		13.6 m3
Roof Area GF		331.7 m2
Total Area		331.7 m2
Capacity Required		12.58m³
Extra Capacity Provided		1.02m³

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THORNIE

DRAWN: JS
DESIGNED: RC
CHECKED: DM
DATE: 16/08/19
MODEL: 2x UNIT SPECIAL





DRAWN:	JS	SCALE:	1:200
DESIGNED:	RC	SHEET:	5 OF 19
CHECKED:	DM	SIZE:	A3
DATE:	16/08/19	PROJECTS	
MODEL:	JOB N°		
2x UNIT SPECIAL		157487	

00	Issue Name	Drawn
F 19	PCVO	JS
	V01	JS
	AMEND	JS
	DA	DMA
	V02	JS
	JEL	JS

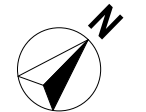
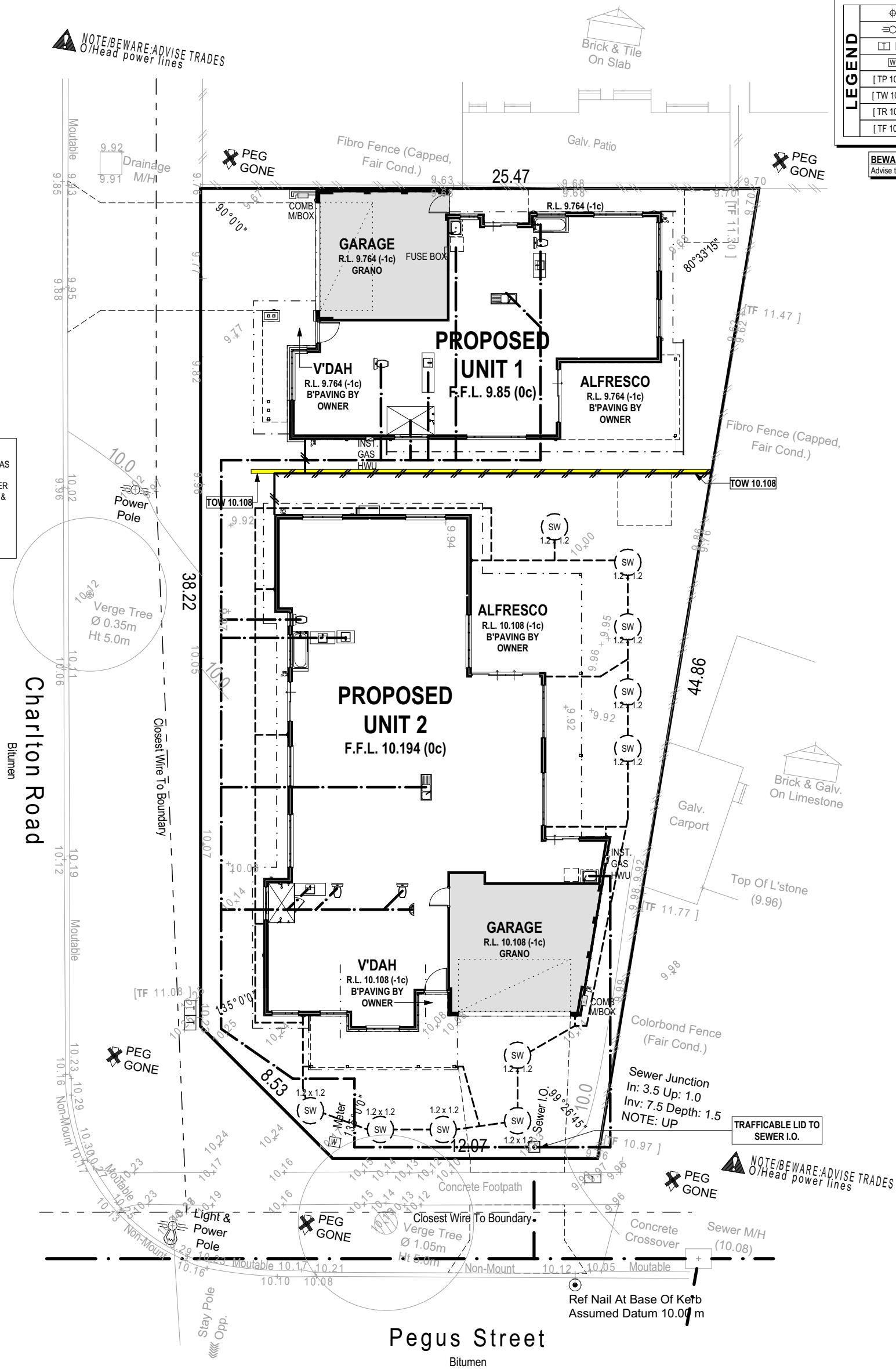
PLUMBING PLAN

PLUMBING PLAN

Issue Name	Drawn	Date
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LEGEND		SEC Dome
		Power Pole
		Phone Pits
		Water Conn.
	[TP 10.00]	Top Pillar/Post
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PROPOSED RESIDENCE FOR:
LEANEY

ADDRESS:
LOT 28 (#5) PEGUS STREET,
THORN LIE

BUILT AROUND PEOPLE

DRAWN: JS
DESIGNED: RC
CHECKED: DM
DATE: 16/08/19
MODEL: 2x UNIT SPECIAL

DRAWN:	JS	SCALE:	1:200
DESIGNED:	RC	SHEET:	5 OF 19
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00	Issue Name	Drawn
F 19	PCVO	JS
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PLUMBING PLAN

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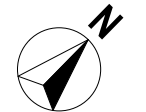
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Scale 1:200



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SITE CLASSIFICATION - CLASS 'A'
(REFER TO SITE REPORT FOR
DETAILS) WIND LOAD - N1
CORROSION CLASSIFICATION - R1

BRICK NOTE
- 2c FACE BRICK TO BE LAID IN THIRD BOND U.N.O

ROOF NOTE
- COLORBOND ROOF, PITCH AT 25° W/- 500W EAVES UNO
- STEEL ROOF FRAME TO NASH STANDARDS
- CEILINGS AT 30c + PLATE UNLESS NOTED OTHERWISE

ROOF PLUMBER NOTE
- PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)
- FINAL POSITIONS OF RWP'S TO BE DETERMINED ON SITE
- RWPS IN PORCH TO BE STRAIGHT CONNECTION TO
STORMWATER SYSTEM (NO KICK)

ROOF INSULATION NOTE
- R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL
PLASTERBOARD OR VERSILUX CEILINGS IF APPL.

ELECTRICAL NOTE
- INTERCONNECTED SMOKE DETECTORS TO COMPLY
WITH AS3786-2014 AS INDICATED ON PLAN (S)

FIXING CARPENTER NOTE
- 4 No. 500D SHELVES TO PANTRY UNO
- 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY
- REFER TO ROBE AND LINEN PLANS.
- PROVIDE MID-SHELF SUPPORT WHERE NOTED "MSS" TO
ANY SHELF OVER 1.8m LONG.
- PROVIDE MDF NOSINGS TO WINDOWS NOTED (N).

CEILING MATERIAL NOTE

- V'DAH - CEDAR LINING C.L.
- GARAGE - HARDIFLEX C.L.
- ALFRESCO - PLASTERBOARD C.L.

GARAGE NOTE

- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OP'NG

RENDER WALL NOTE

- PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED
WALLS & HIFLEX / VERSILUX CEILINGS

TRADES / SUPERVISOR NOTE

- REFER TO STRUCTURAL ENGINEERS DETAILS
- ALL PLANS TO BE READ IN CONJUNCTION WITH
ENGINEERS DRAWINGS & STANDARD SPECIFICATION.

DOOR NOTE

- TOILET DOOR TO COMPLY W/- CLAUSE 3.8.3.3 OF THE B.C.A VOL. 2

PLASTERBOARD NOTE

- PROVIDE PLASTERBOARD TO ALL INTERNAL WALLS
UNLESS NOTED OTHERWISE
- WET AREA PLASTERBOARD TO BATHROOM & ENSUITE.

DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions
& notes prior to initiating works. Any
discrepancies to be notified to the Site
Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

BRICKLAYER NOTE

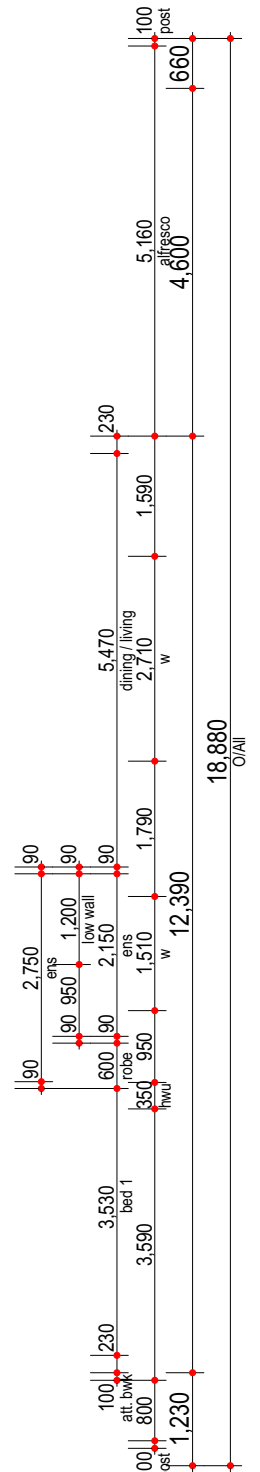
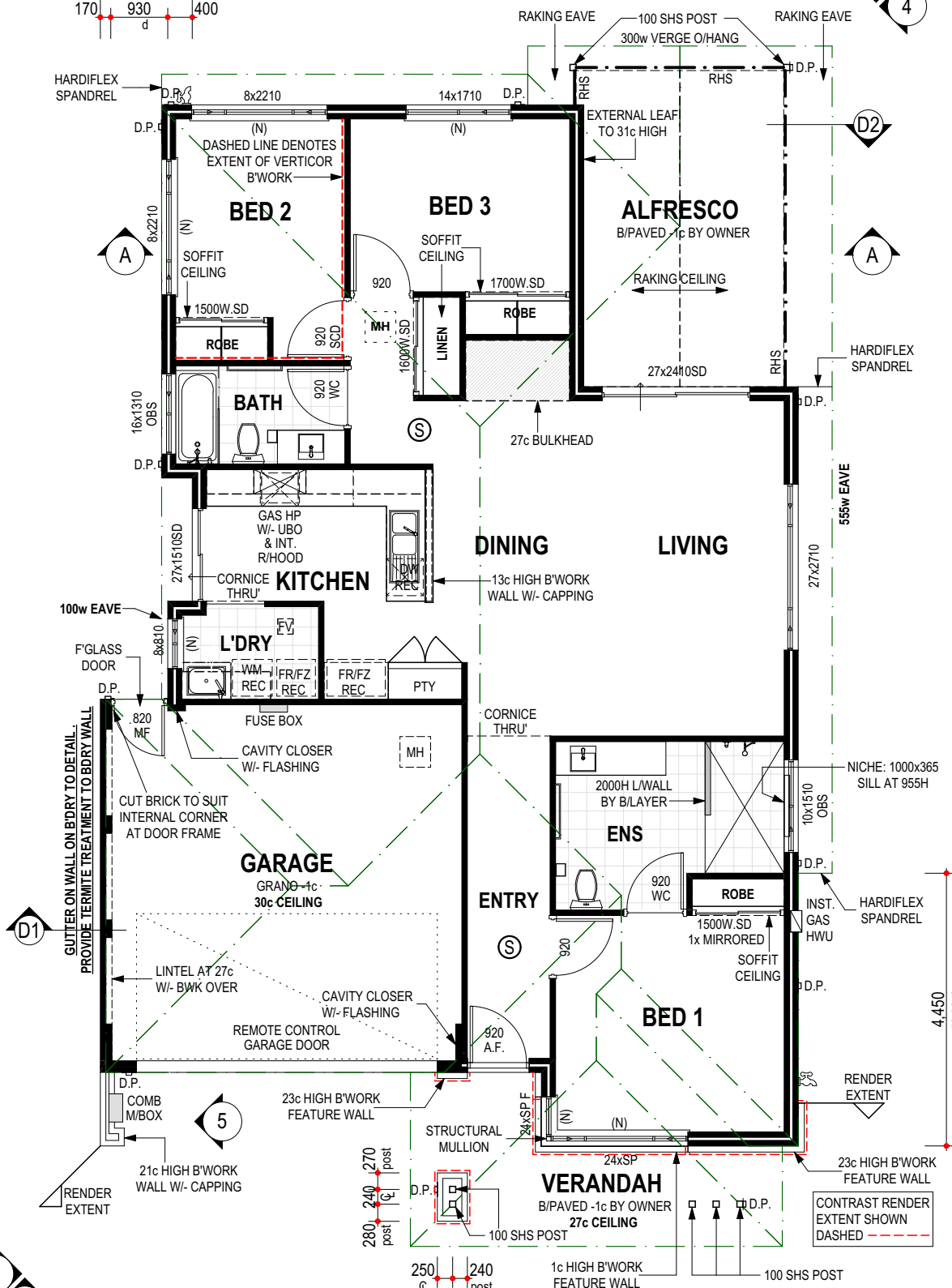
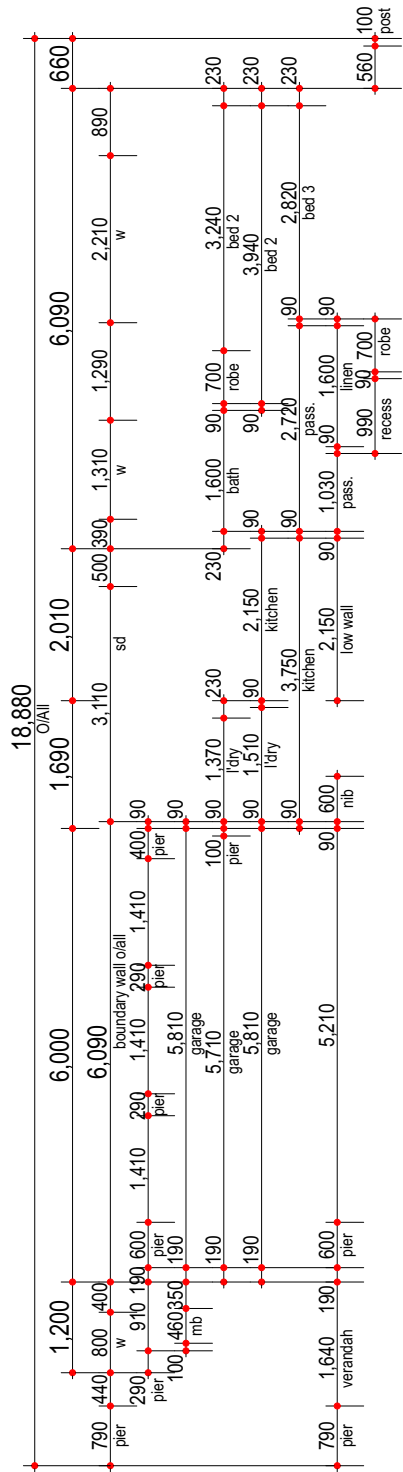
- FOR 2c GARAGE:
- 25c, 27c & 31c GARAGE HAS 4c LINTEL
- 28c & 30c GARAGE HAS 3c LINTEL
- VERTICOR B'WORK TO BED 2 REF. TO PLANS FOR EXTENT.

CONCRETOR/BRK LAYER NOTE

- NOTE BRICK WALL ON LOT BOUNDARY HAS BEEN CALCULATED
TO BE SET INSIDE THE BOUNDARY BY 70mm.
- ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c
UNLESS NOTED OTHERWISE.

PLUMBER NOTE

- NO HOBS TO SHOWERS UNLESS SHOWN OTHERWISE.
- PLUMBER TO INSTALL REFLUX VALVE.



WITNESS:	CLIENT(S):	BUILDER:

PROPOSED RESIDENCE FOR:
LEANEY

ADDRESS:
LOT 28 (#5) PEGUS STREET,
THORNIE

DRAWN: JS
DESIGNED: RC
CHECKED: DM
DATE: 16/08/19
MODEL: 2x UNIT SPECIAL

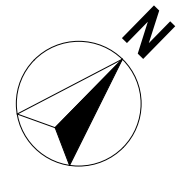
SCALE: 1:100
SHEET: 6 OF 19
SIZE: A3
PROJECTS
JOB N° 157487

Issue Name	Drawn	Date	Issue Name	Drawn	Date
PCVO	JS	17/09/19			
V01	JS	27/02/20			
AMEND	JS	28/02/20			
DA	DMA	06/05/20			
V02	JS	10/06/20			
JEL	JS	21/07/20			

U1 FLOOR PLAN

U1 FLOOR PLAN

	Area m²	Perim. L/m
1. FLOOR PLAN	122.41	55.56
2. GARAGE	35.50	23.98
3. V'DAH	8.18	14.84
4. ALFRESCO	23.08	20.36
5. TOTAL AREA	189.17	63.25
6. ROOF	201.85	62.89



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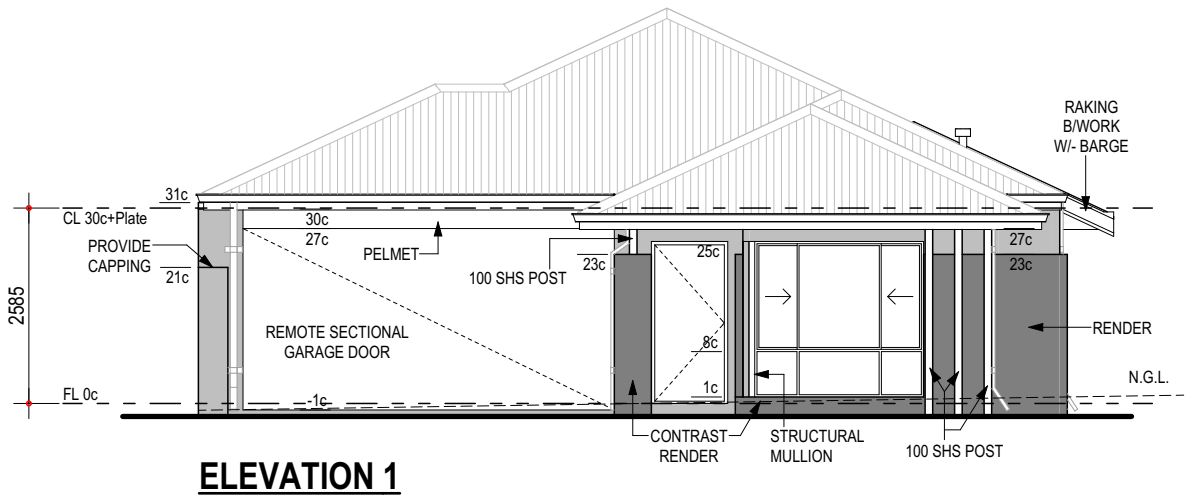
ROOF NOTE

- COLORBOND ROOF, PITCH AT 25° W/- 500W EAVES UNO
- STEEL ROOF IN ACCORDANCE TO NASH STANDARD
- CEILINGS AT 30c + PLATE UNLESS NOTED OTHERWISE

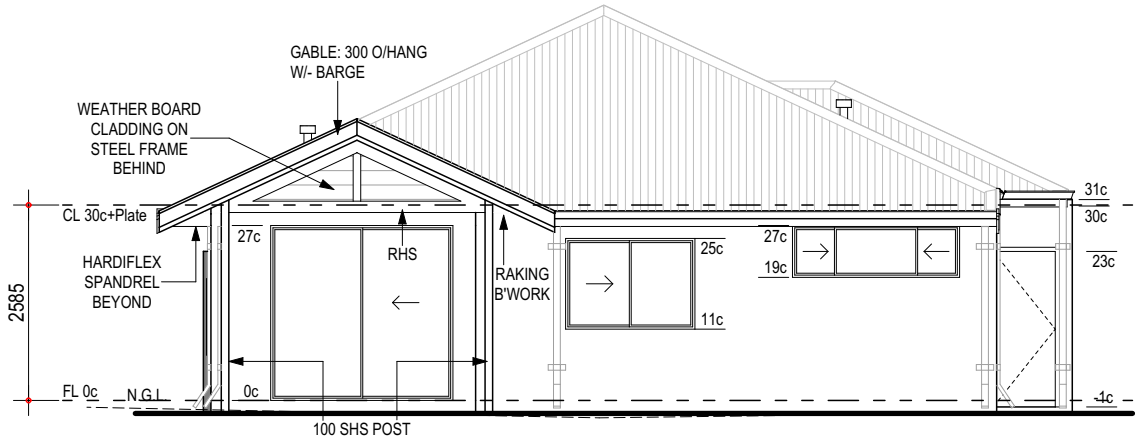
WINDOW SUPPLIER NOTE

- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288

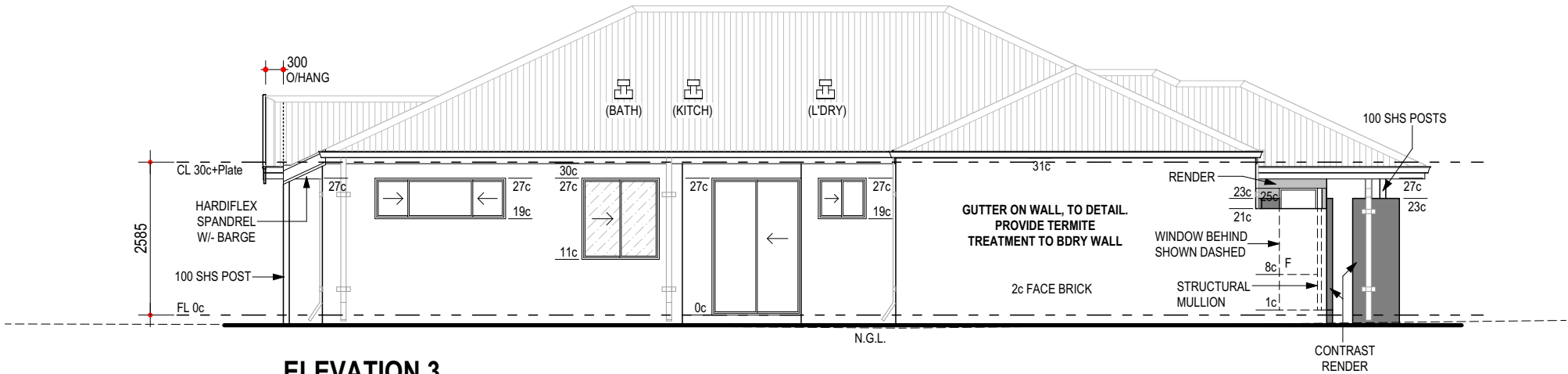
DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions
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discrepancies to be notified to the Site
Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.



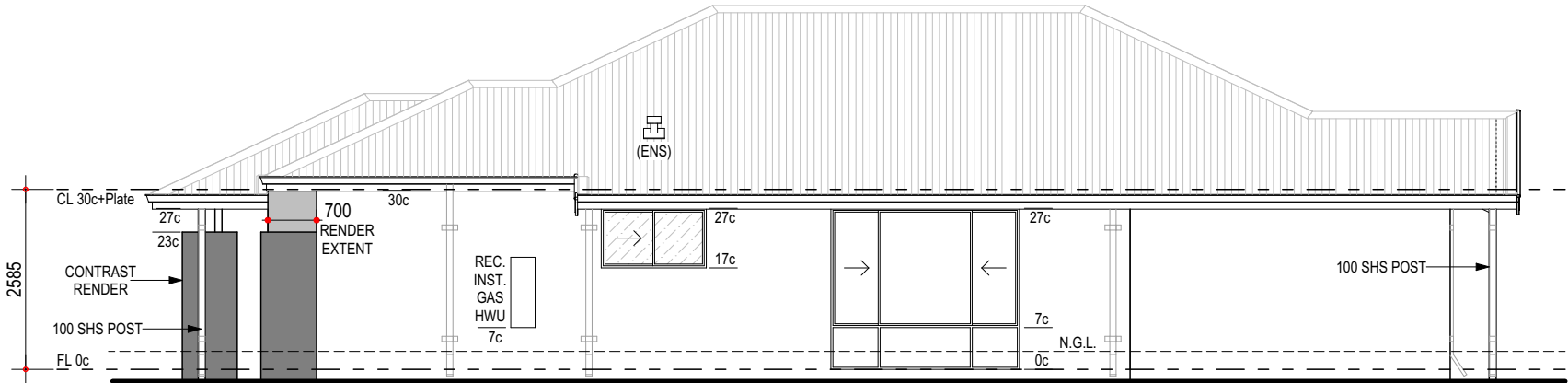
ELEVATION 1



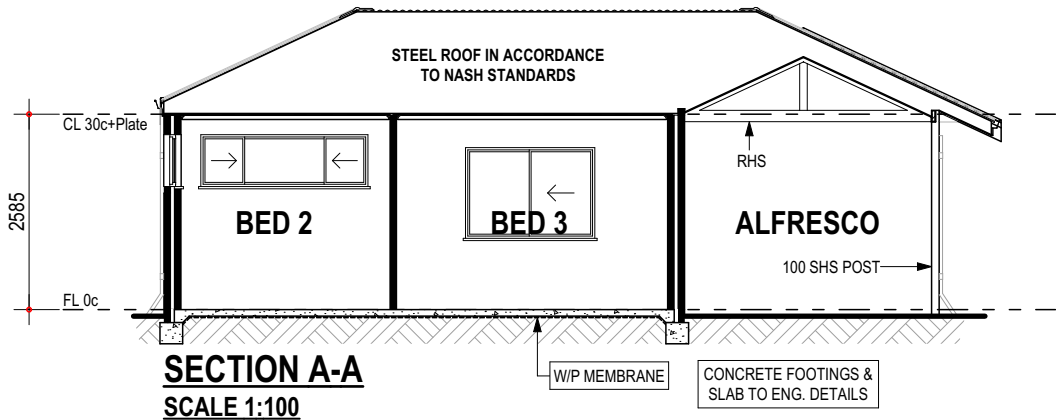
ELEVATION 2



ELEVATION 3



ELEVATION 4



SECTION A-A
SCALE 1:100

BUILDER:	CLIENT(S):	WITNESS:
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

PROPOSED RESIDENCE FOR:
LEANNEY

ADDRESS:
LOT 28 (#5) PEGUS STREET,
THORNIE

DRAWN: JS
DESIGNED: RC
CHECKED: DM
DATE: 16/08/19
MODEL: 2x UNIT SPECIAL

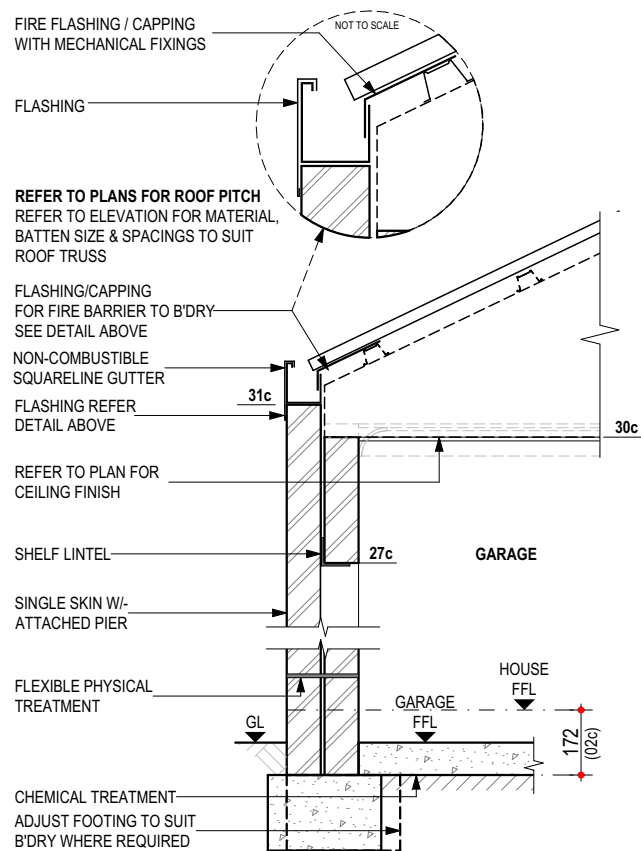
SCALE: 1:100
SHEET: 7 OF 19
SIZE: A3
PROJECTS
JOB N° 157487

Issue Name	Drawn	Date
PCVO	JS	17/09/19
V01	JS	27/02/20
AMEND	JS	28/02/20
DA	DMA	06/05/20
V02	JS	10/06/20
JEL	JS	21/07/20

U1 ELEVATIONS



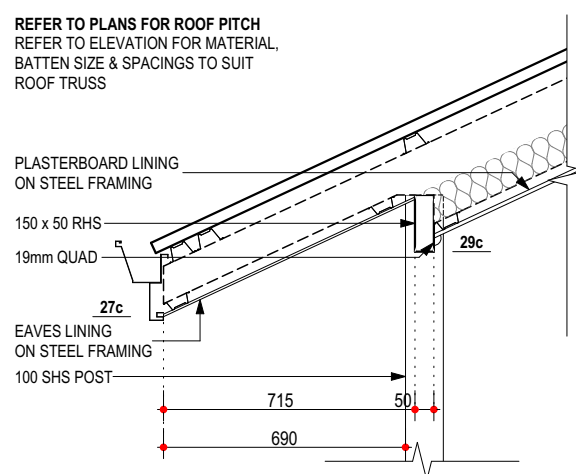
DO NOT SCALE FROM THIS DRAWING
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& notes prior to initiating works. Any
discrepancies to be notified to the Site
Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.



D01 - GUTTER ON WALL/FLASHING DETAIL TO GARAGE
W/- TERMITE TREATMENT

NOTES:

- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
- SCALE 1 : 20



D02 - RAKING CEILING & EAVES TO TRUSS

NOTES:

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
 - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
 - SCALE 1:20

BUILDER: / /

CLIENT(S): / /

WITNESS: / /

PROPOSED RESIDENCE FOR:
LEANEY

ADDRESS:
LOT 28 (#5) PEGUS STREET,
THORNIE

DRAWN: JS
DESIGNED: RC
CHECKED: DM
DATE: 16/08/19
MODEL: 2x UNIT SPECIAL

SCALE: AS NOTED
SHEET: 8 OF 19
SIZE: A3
PROJECTS
JOB N°
157487

Issue Name	Drawn	Date
PCVO	JS	17/09/19
V01	JS	27/02/20
AMEND	JS	28/02/20
DA	DMA	06/05/20
V02	JS	10/06/20
JEL	JS	21/07/20

U1 DETAILS



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- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, S
WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL
FINISHES

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

- SHADING DENOTES EXTENT OF TILING
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES
- MITRED TILES THROUGHOUT WHERE APPLICABLE.

WET AREAS CONSTRUCTED IN ACCORDANCE WITH
PART 3.8.1 OF B.C.A. (VOL 2)



WM TAPS
CONCEALED
IN OURS

BULDER: / /

CLIENT(S): / /

/ /

WITNESS: / /

ADDRESS:
LOT 28 (#5) PEGUS STREET,
THORNIE

DRAWN: JS
DESIGNED: RC
CHECKED: DM
DATE: 16/08/19
MODEL: 2x UNIT SPECIAL

SCALE: 1:50
SHEET: 9 OF 19
SIZE: A3
PROJECTS
JOB N°
157487

Issue Name	Drawn	Date
PCVO	JS	17/09/19
V01	JS	27/02/20
AMEND	JS	28/02/20
DA	DMA	06/05/20
V02	JS	10/06/20
JEL	JS	21/07/20

U1 ROOM LAYOUTS



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BENCHTOP NOTE

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

WALL FINISH NOTE

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

CABINETMAKER NOTE

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

TILER NOTE

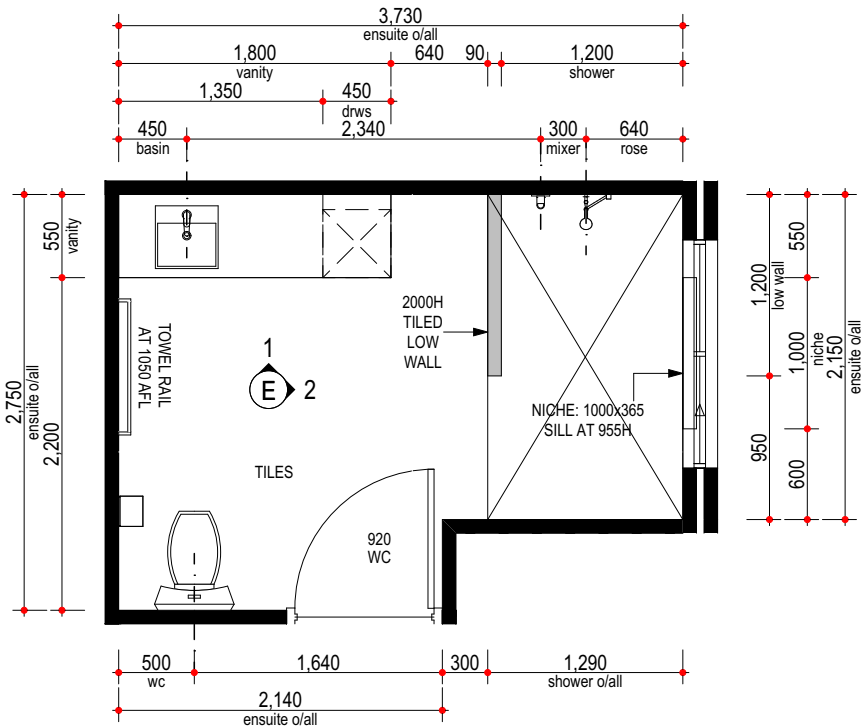
- SHADING DENOTES EXTENT OF TILING
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES
- MITRED TILES THROUGHOUT WHERE APPLICABLE.

DO NOT SCALE FROM THIS DRAWING

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ALL DIMENSIONS TO BRICKWORK.

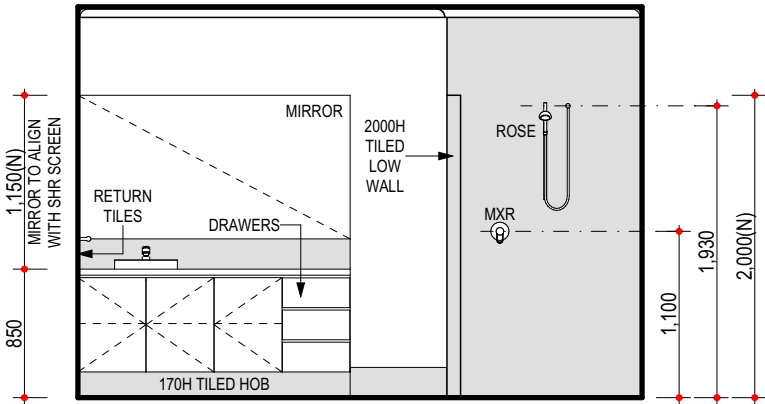
REFER TO ADDENDUM FOR FITOUT SPECIFICATION

WET AREAS CONSTRUCTED IN ACCORDANCE WITH PART 3.8.1 OF B.C.A. (VOL 2)

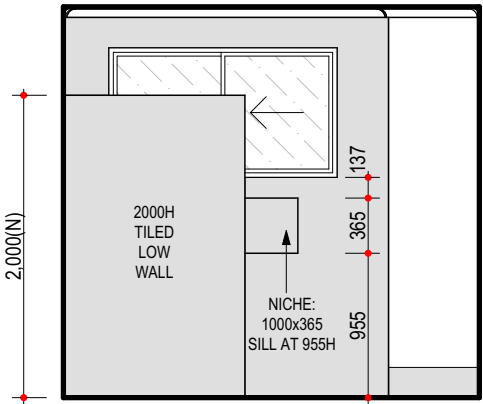


ENSUITE PLAN

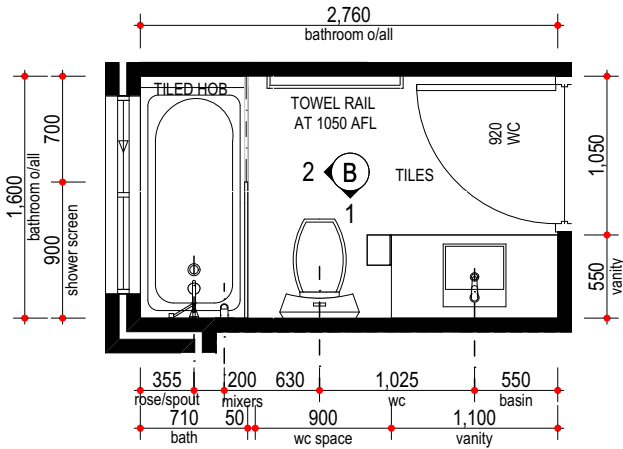
NOTE: FULL HEIGHT WALL TILES TO SHOWER RECESS



E1 VIEW

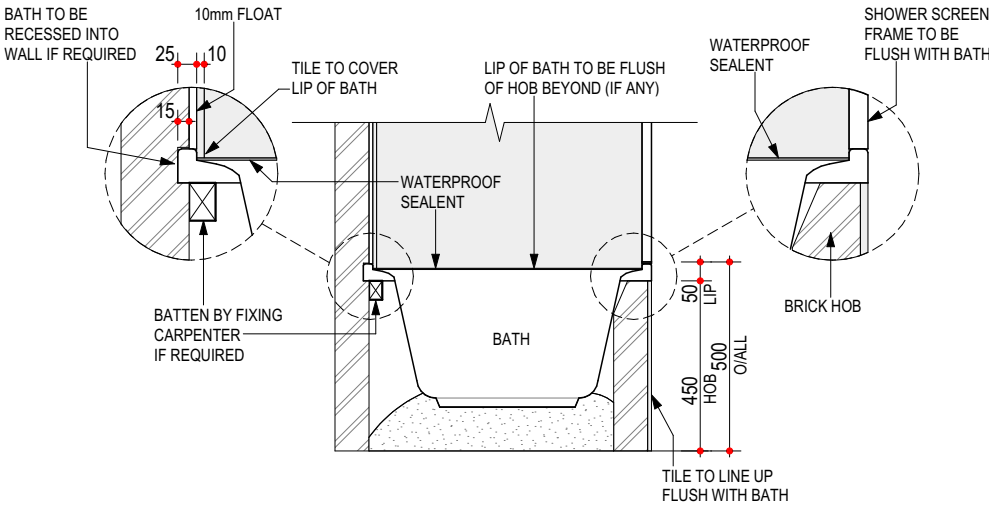


E2 VIEW



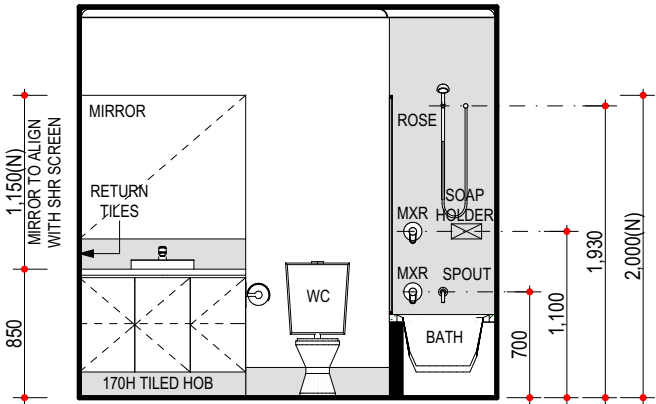
BATH PLAN

NOTE: FULL HEIGHT WALL TILES TO BATH ONLY

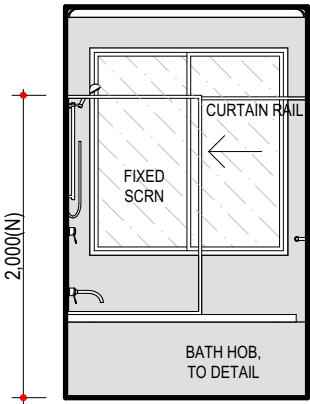


TYPICAL SHOWER OVER BATH HOB DETAIL

NOTES:
- SCALE 1 : 20



B1 VIEW



B2 VIEW

BUILDER: _____
CLIENT(S): _____
WITNESS: _____

PROPOSED RESIDENCE FOR:
LEANNEY

ADDRESS:
LOT 28 (#5) PEGUS STREET,
THORNIE

DRAWN: JS
DESIGNED: RC
CHECKED: DM
DATE: 16/08/19
MODEL: 2x UNIT SPECIAL

SCALE: 1:50
SHEET: 10 OF 19
SIZE: A3
PROJECTS
JOB N° 157487

Issue Name Drawn Date
PCVO JS 17/09/19
V01 JS 27/02/20
AMEND JS 28/02/20
DA DMA 06/05/20
V02 JS 10/06/20
JEL JS 21/07/20

Issue Name Drawn Date
PCVO JS 17/09/19
V01 JS 27/02/20
AMEND JS 28/02/20
DA DMA 06/05/20
V02 JS 10/06/20
JEL JS 21/07/20

U1 ROOM LAYOUTS



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BUILT AROUND PEOPLE

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BENCHTOP NOTE

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

WALL FINISH NOTE

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

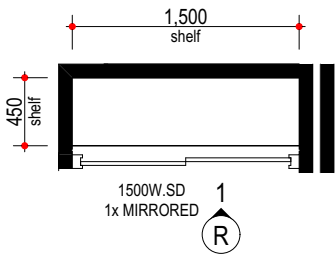
CABINETMAKER NOTE

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

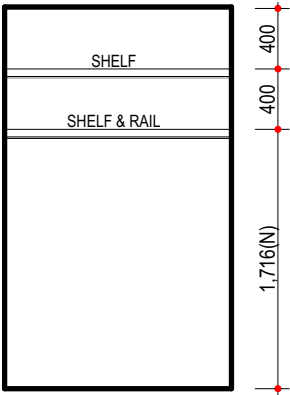
TILER NOTE

- SHADING DENOTES EXTENT OF TILING
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES
- MITRED TILES THROUGHOUT WHERE APPLICABLE.

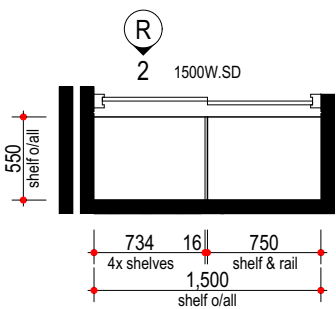
DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.



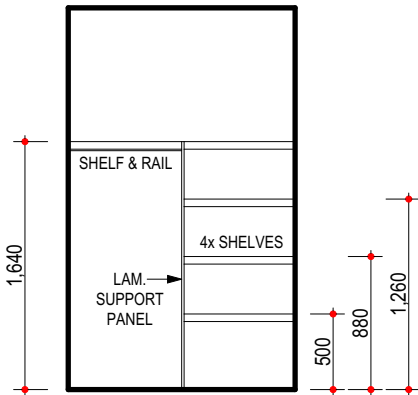
BED 1 ROBE PLAN



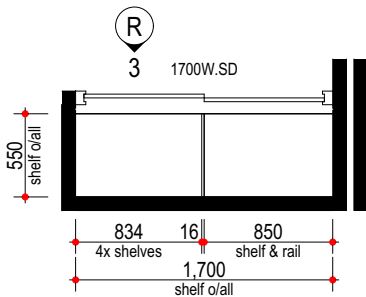
R1 VIEW



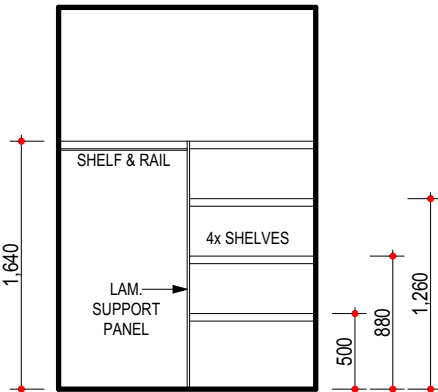
BED 2 ROBE PLAN



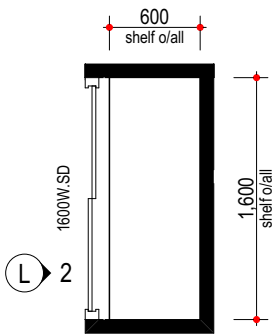
R2 VIEW



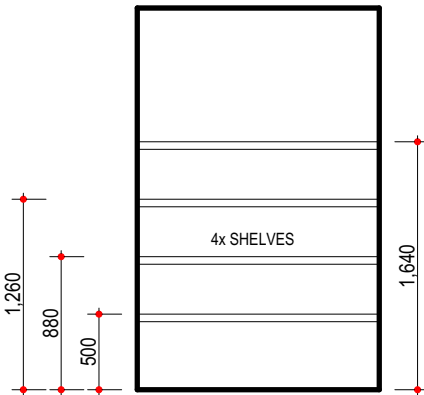
BED 3 ROBE PLAN



R3 VIEW



LINEN PLAN



L2 VIEW

BUILDER:	1
CLIENT(S):	1
WITNESS:	1

PROPOSED RESIDENCE FOR:
LEANNEY

ADDRESS:
LOT 28 (#5) PEGUS STREET,
THORNIE

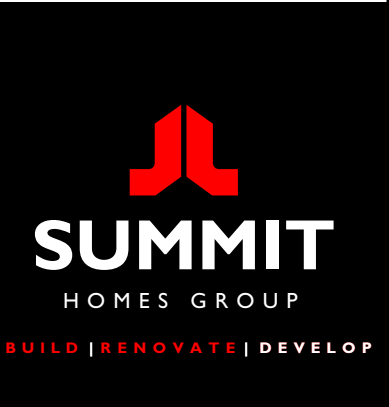
BUILT AROUND PEOPLE

DRAWN: JS
DESIGNED: RC
CHECKED: DM
DATE: 16/08/19
MODEL: 2x UNIT SPECIAL

SCALE: 1:50
SHEET: 11 OF 19
SIZE: A3
PROJECTS
JOB N° 157487

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V02	JS	10/06/20	JEL	JS	21/07/20

U1 ROOM LAYOUTS



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ELECTRICAL LEGEND

Ground Floor

Qty	Sym.	Description	Watts	Insulation Penetrations
7		EXTERNAL WALL LIGHT @ 1800 AFL Perimeter Lighting	77*	*
1		CEILING LIGHT (11w) Class 10	11*	*
2		CEILING LIGHT (11w) Class 1 External	22*	*
2		RECESSED LED DOWN-LIGHT (7w)	14	
2		H.WIRED SMOKE DETECTOR	0	
2		EXHAUST FAN	0	0.090
14		CEILING LIGHT (11w)	154	
3	2 WAY	2 WAY SWITCH	0	
1		W/P SGPO INSTALLED IN HWU	0	
2		SINGLE GPO IN/ON CEILING	0	
3		SINGLE GPO @ NOTED HT	0	
1		NBN LEAD IN CONDUIT (25mm) W/- BLANK FACE PLATE AT 1500 AFL	0	
2		DOUBLE WATER PROOF GPO	0	
6		DOUBLE GPO @ NOTED HT	0	
11		DOUBLE GPO @ 200 AFL	0	
1		DOUBLE GPO @ 1500 AFL W/ 20mm CONDUIT FOR PSU CONNECTION	0	
1		CONDUIT FOR NBN (25mm)	0	
1		CONDUIT 20mm	0	
1		CONDUIT (32mm)	0	
2		CONDUIT	0	
6		25mm CONDUIT WITH FACE PLATE @ NOTED HT	0	
1		D2 (2x DATA/PHONE) FOR NBN PROVISION @ 1500 AFL	0	
1		D1 (PHONE)	0	
2		C1 (TV) + D2 (PH/DATA)	0	
1		D2 (PH/DATA)	0	

* NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. Subtotal: 168 0.090
PERIMETER LIGHTING MIN. 40 LUMENS/W.

Total Class 1 Wattage= 168

LIGHT AND VENTILATION CALC.

Room Name	Opn % Light	Vent.
4 BED 3		
Min. Ventilation = 0.76 Min. Light= 1.01 Total Area= 10.10		
W06 Sliding	50 % 2.05 m2	1.03 m2
Totals	Light 2.05 m2 Vent 1.03 m2	
3 BED 2		
Min. Ventilation = 0.74 Min. Light= 0.99 Total Area= 9.92		
W05 Sliding	50 % 1.52 m2	0.76 m2
W04 Sliding	50 % 1.52 m2	0.76 m2
Totals	Light 3.03 m2 Vent 1.52 m2	
2 BED 1		
Min. Ventilation = 0.99 Min. Light= 1.32 Total Area= 13.17		
W11 Fixed	0 % 1.65 m2	0.00 m2
W10 Sliding	33 % 4.91 m2	1.63 m2
Totals	Light 6.56 m2 Vent 1.63 m2	
1 LIVING KITCHEN DINING		
Min. Ventilation = 3.27 Min. Light= 4.36 Total Area= 43.61		
W08 Sliding	37 % 6.27 m2	2.32 m2
W07 Sliding Door	50 % 5.58 m2	2.79 m2
W02 Sliding Door	50 % 3.49 m2	1.75 m2
Totals	Light 15.34 m2 Vent 6.86 m2	

Inputs for Airmovement and Light are Valid



Wattage Calculations (Class 1)

Story Name	Area	Allowed Wattage	Actual Wattage
0 Ground Floor	111.34 Sqm	557 w	168 w
	111.34 sqm	557 w	168 w PASS

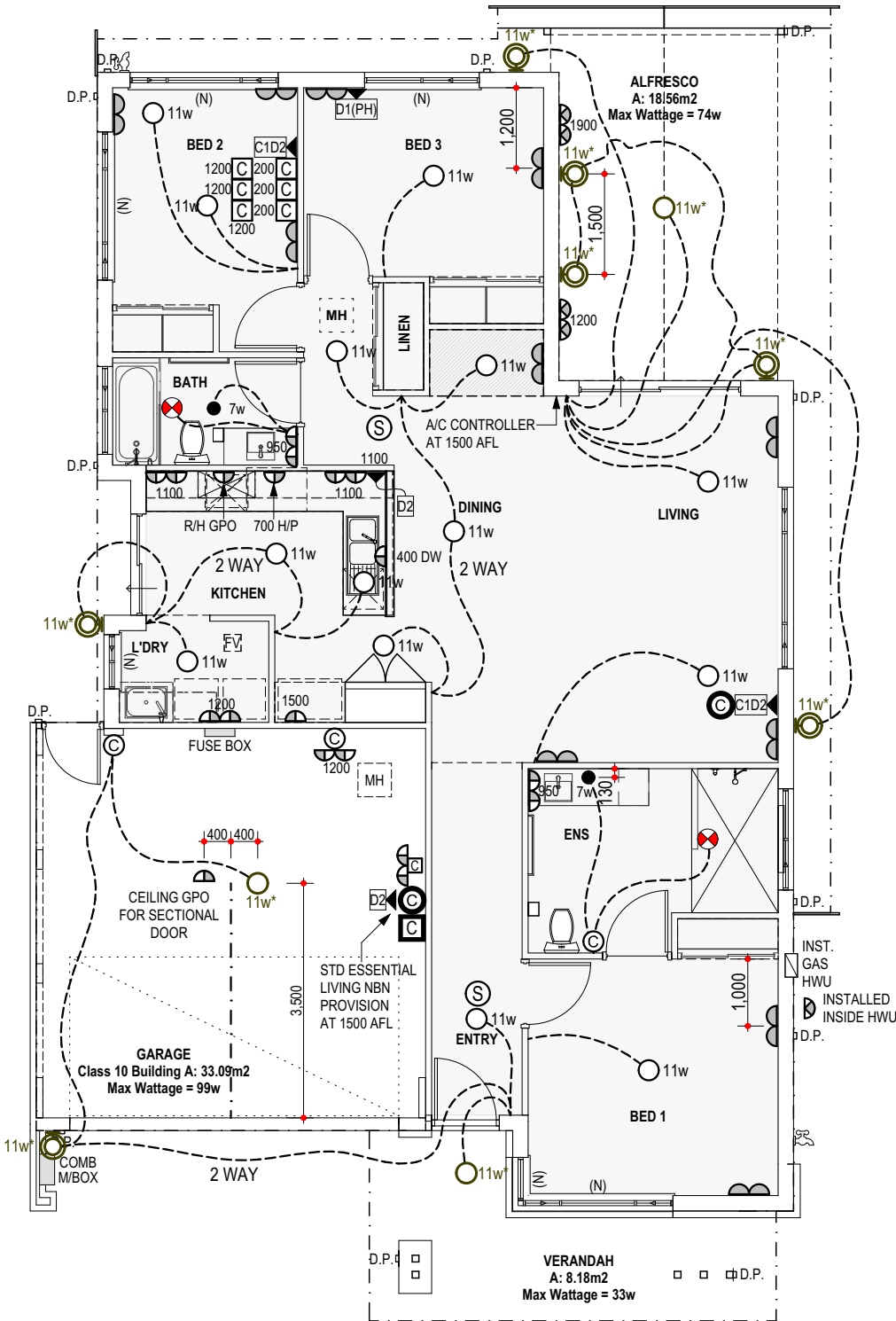
Recessed Fitting Penetrations (Class 1)

Story Name	Area	Maximum Penetrations	Actual Penetrations
Total Insulation Area	111.34 sqm	0.557 sqm	0.090 sqm
Vents\RangeHoods			0.078 Sqm
	111.34 sqm	0.557 sqm	0.168 sqm PASS
	0.15 % R4.0 Insulation Adjustment Not Required		

DO NOT SCALE FROM THIS DRAWING
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& notes prior to initiating works. Any
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Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO AS3786-2014
- FINAL POSITION OF ELECTRICAL ITEMS SUCH AS GPO'S, LIGHT SWITCHES ETC. MAY VARY ON SITE DUE TO ELECTRICAL REGULATIONS. LIGHT SWITCH HEIGHT TO BE AT 1200 AFL U.N.O.
- NEUTRAL CABLING REQUIRED TO ALL LIGHT SWITCHES.
- ALL EXHAUST FANS TO BE FLUED TO EXTERNAL AIR



WITNESS:

CLIENT(S):

BUILDER:

PROPOSED RESIDENCE FOR:
LEANNEY

ADDRESS:
LOT 28 (#5) PEGUS STREET,
THORNIE

DRAWN: JS
DESIGNED: RC
CHECKED: DM
DATE: 16/08/19
MODEL: 2x UNIT SPECIAL

SCALE: 1:100
SHEET: 12 OF 19
SIZE: A3
PROJECTS
JOB N° 157487

Issue Name	Drawn	Date
PCVO	JS	17/09/19
V01	JS	27/02/20
AMEND	JS	28/02/20
DA	DMA	06/05/20
V02	JS	10/06/20
JEL	JS	21/07/20

U1 ELECTRICAL PLAN



SITE CLASSIFICATION - CLASS 'A'
(REFER TO SITE REPORT FOR
DETAILS) WIND LOAD - N1
CORROSION CLASSIFICATION - R1

BRICK NOTE

- 2c FACE BRICK TO BE LAID IN THIRD BOND U.N.O

ROOF NOTE

- COLORBOND ROOF, PITCH AT 25° W/- 500W EAVES UNO
- STEEL ROOF FRAME TO NASH STANDARDS
- CEILINGS AT 30c + PLATE UNLESS NOTED OTHERWISE

ROOF PLUMBER NOTE

- PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)
- FINAL POSITIONS OF RWP'S TO BE DETERMINED ON SITE
- RWP'S IN PORCH TO BE STRAIGHT CONNECTION TO
STORMWATER SYSTEM (NO KICK)

ROOF INSULATION NOTE

- R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL
PLASTERBOARD OR VERSILUX CEILINGS IF APPL.

ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO COMPLY
WITH AS3786-2014 AS INDICATED ON PLAN (S)

TRADES / SUPERVISOR NOTE

- REFER TO STRUCTURAL ENGINEERS DETAILS
- ALL PLANS TO BE READ IN CONJUNCTION WITH
ENGINEERS DRAWINGS & STANDARD SPECIFICATION.

PLASTERBOARD NOTE

- PROVIDE PLASTERBOARD TO ALL INTERNAL WALLS
UNLESS NOTED OTHERWISE

CONCRETOR/BRK LAYER NOTE

- ALL ISOLATED PIERS AND POSTS TO HAVE
FOOTINGS AT -3c UNLESS NOTED OTHERWISE.

FIXING CARPENTER NOTE

- 4 No. 450D SHELVES TO PANTRY AND
LINEN UNO
- 450D SHELF & RAIL TO ALL WIR, ROBE &
ROBE REC. UNO
- 450D SHELF AT 1700 AFL TO BROOM
CUPBOARD, IF ANY
- PROVIDE MID-SHELF SUPPORT
WHERE NOTED 'MSS' TO ANY SHELF
OVER 1.8m LONG.
- PROVIDE MDF CAPPING TO LOW WALL.
- PROVIDE MDF NOSINGS TO
WINDOWS NOTED (N).

AIRCON NOTE

- PROVIDE REVERSE CYCLE AIR
CONDITIONING. OUTLET POSITIONS TO
BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE
FROM THE STREET.

PLUMBER NOTE

- NO HOBS TO SHOWERS UNLESS
SHOWN OTHERWISE.
- PLUMBER TO INSTALL REFLUX VALVE.

CEILING MATERIAL NOTE

- V.DAH - PLASTERBOARD C.L.
- GARAGE - HARDIFLEX C.L.
- ALFRESCO - PLASTERBOARD C.L.

GARAGE NOTE

- SINGLE LEAF WALL TO GARAGE IS NOT
WATERPROOF
- FALL GARAGE SLAB 20mm TOWARDS
MAIN GARAGE OP'NG

RENDER WALL NOTE

- PROVIDE 28mm SCOTIA TO JUNCTIONS
OF RENDERED WALLS & H/FLEX /
VERSILUX CEILINGS

DOOR NOTE

- TOILET DOOR TO COMPLY W/- CLAUSE
3.8.3.3 OF THE B.C.A VOL. 2

BRICKLAYER NOTE

- FOR 2c GARAGE;
- 25c, 27c & 31c GARAGE HAS 4c LINTEL
- 28c GARAGE HAS 3c LINTEL

PROPOSED RESIDENCE FOR:

LEANNEY

ADDRESS:

LOT 28 (#5) PEGUS STREET,
THORNIE

BUILT AROUND PEOPLE

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DO NOT SCALE FROM THIS DRAWING

All Sub-contractors to check dimensions
& notes prior to initiating works. Any
discrepancies to be notified to the Site
Supervisor without delay.

ALL DIMENSIONS TO BRICKWORK.

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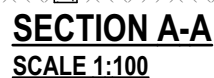
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1

- **COLORBOND** ROOF, PITCH AT 25° W/- 500W EAVES UNO
- STEEL ROOF IN ACCORDANCE TO NASH STANDARD
- CEILINGS AT 30c + PLATE UNLESS NOTED OTHERWISE

- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288

DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions
& notes prior to initiating works. Any
discrepancies to be notified to the Site
Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.



BUILDER..... / /

CLIENT(S)..... / /

..... / /

WITNESS..... / /

ADDRESS:
LOT 28 (#5) PEGUS STREET,
THORNIE

DRAWN: JS
DESIGNED: RC
CHECKED: DM
DATE: 16/08/19
MODEL: 2x UNIT SPECIAL

SCALE: 1:100
SHEET: 14 OF 19
SIZE: A3
PROJECTS
JOB N°
157487

Issue Name	Drawn	Date
PCVO	JS	17/09/19
V01	JS	27/02/20
AMEND	JS	28/02/20
DA	DMA	06/05/20
V02	JS	10/06/20
JEL	JS	21/07/20

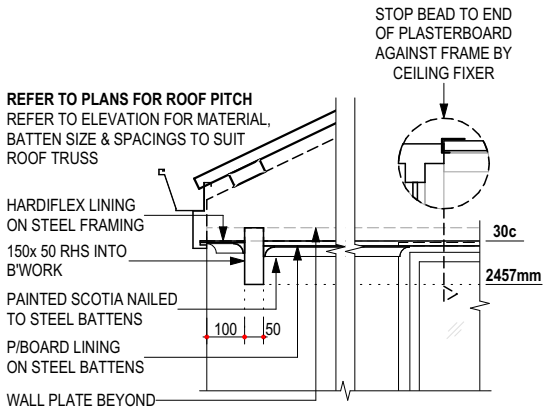
U2 ELEVATIONS



SUMMIT
HOMES GROUP

BUILD | RENOVATE | DEVELOP

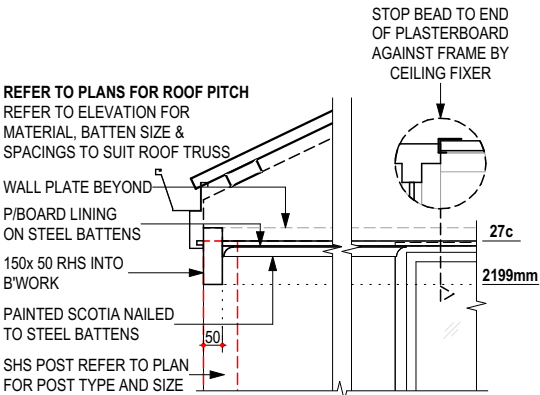
DO NOT SCALE FROM THIS DRAWING
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Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.



D01 - VERANDAH PLASTERBOARD CEILING

NOTES:

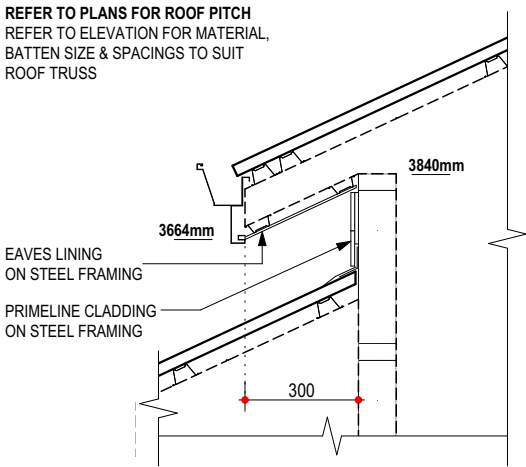
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
- SCALE 1 : 20



D02 - VERANDAH PLASTERBOARD CEILING

NOTES:

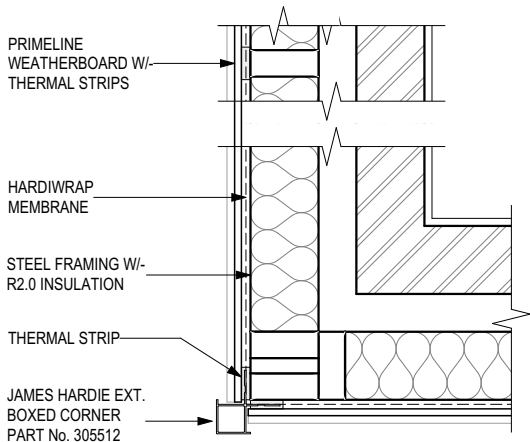
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
- SCALE 1 : 20



D03 - RAKING EAVES TO TRUSS

NOTES:

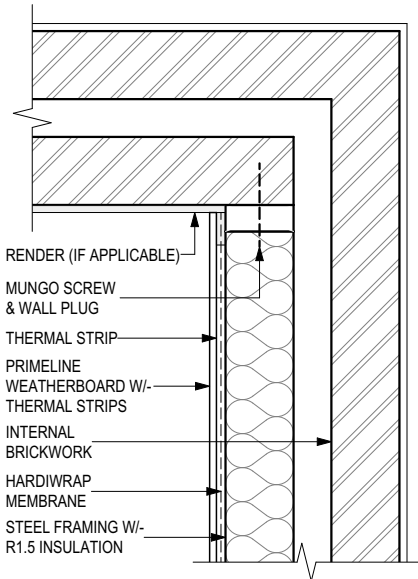
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
- SCALE 1:20



**D04 - PRIMELINE WEATHERBOARD CLADDING
(PLAN VIEW EXTERNAL CORNER)**

NOTES:

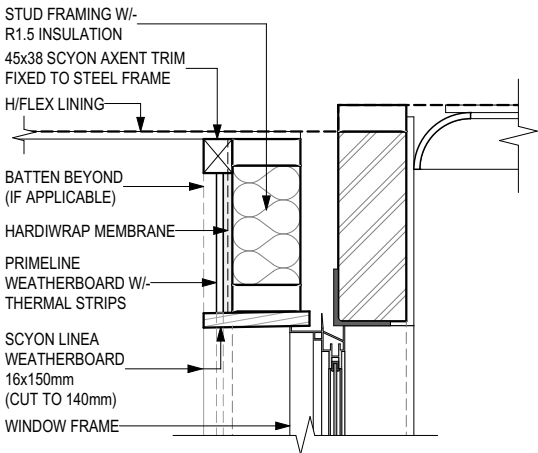
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- REFER TO ADDENDUM FOR CLADDING SPECIFICATION
- SCALE 1 : 10



**D05 - PRIMELINE WEATHERBOARD CLADDING
(PLAN VIEW INTERNAL CLADDING END DETAIL)**

NOTES:

- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- REFER TO ADDENDUM FOR CLADDING SPECIFICATION
- SCALE 1 : 10



**D06 - PRIMELINE WEATHERBOARD CLADDING
(OVER OP'NG)**

NOTES:

- REFER TO ENG. DWGS. FOR TIE DOWN & BULKHEAD DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
- REFER TO ADDENDUM FOR CLADDING SPECIFICATION
- SCALE 1 : 10

BUILDER:	_____
CLIENT(S):	_____
WITNESS:	_____

PROPOSED RESIDENCE FOR:
LEANNEY

ADDRESS:
**LOT 28 (#5) PEGUS STREET,
THORNIE**

DRAWN: JS
DESIGNED: RC
CHECKED: DM
DATE: 16/08/19
MODEL:
2x UNIT SPECIAL

SCALE: 1:100
SHEET: 15 OF 19
SIZE: A3
PROJECTS
JOB N°
157487

Issue Name	Drawn	Date
PCVO	JS	17/09/19
V01	JS	27/02/20
AMEND	JS	28/02/20
DA	DMA	06/05/20
V02	JS	10/06/20
JEL	JS	21/07/20

U2 DETAILS



SUMMIT
HOMES GROUP

BUILD | RENOVATE | DEVELOP

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

- SHADING DENOTES EXTENT OF TILING
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES
- MITRED TILES THROUGHOUT WHERE APPLICABLE.



PROPOSED RESIDENCE FOR:
LEANEY

BUILT AROUND PEOPLE

U2 ROOM LAYOUTS

BUILD | RENOVATE | DEVELOP

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BENCHTOP NOTE

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

WALL FINISH NOTE

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

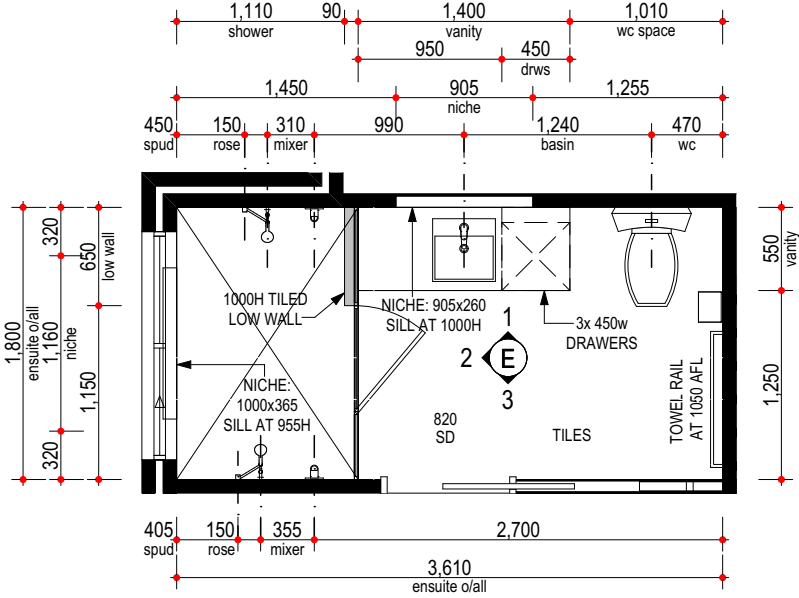
CABINETMAKER NOTE

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

TILER NOTE

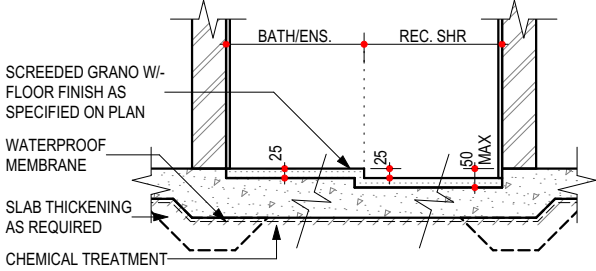
- SHADING DENOTES EXTENT OF TILING
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES
- MITRED TILES THROUGHOUT WHERE APPLICABLE.

DO NOT SCALE FROM THIS DRAWING
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ALL DIMENSIONS TO BRICKWORK.



ENSUITE PLAN

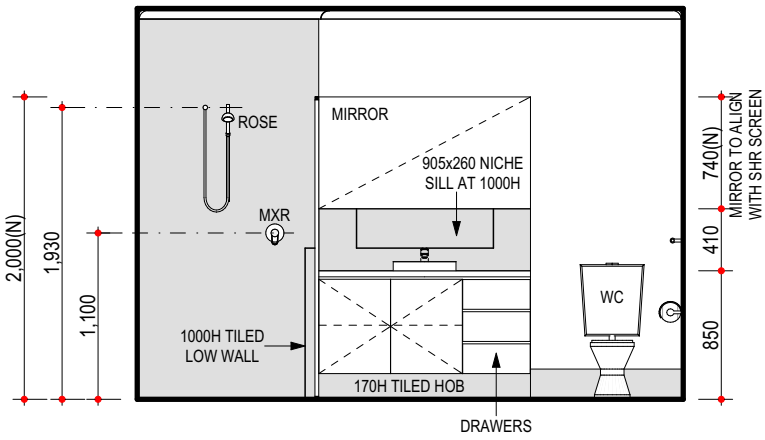
NOTE: FULL HEIGHT WALL TILES TO SHOWER RECESS



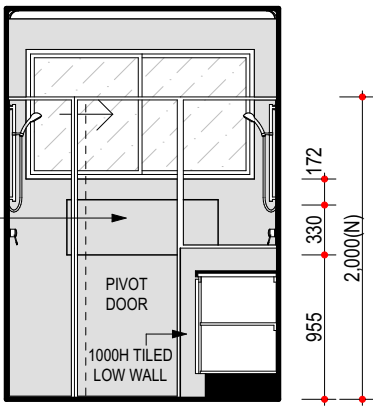
RECESSED SHOWER DETAIL (NO HOB)

NOTES:

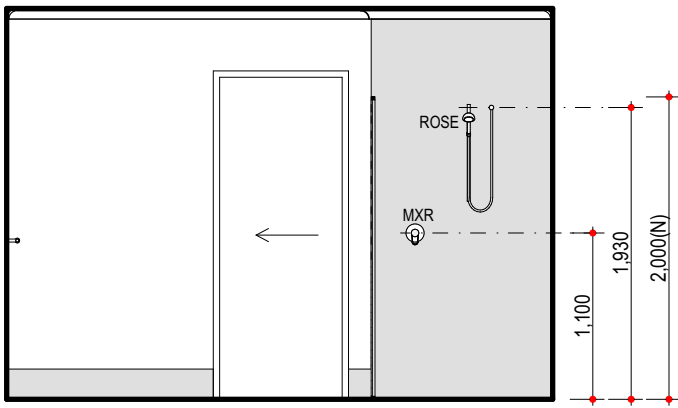
- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- SCALE 1 : 20



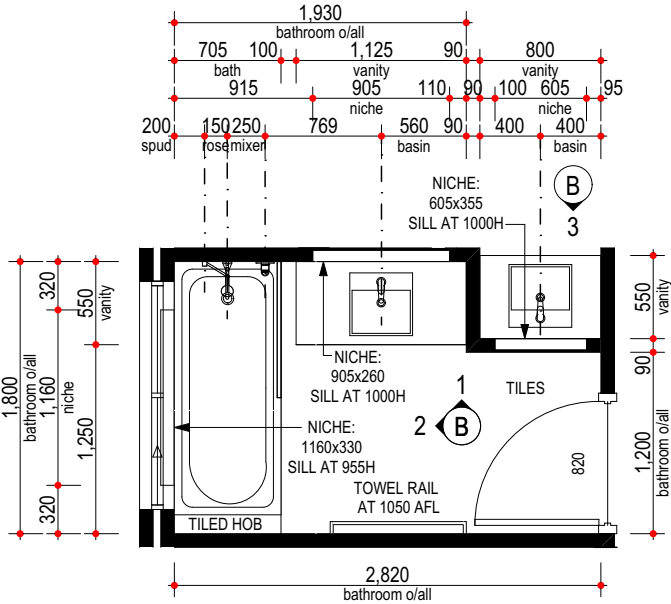
E1 VIEW



E2 VIEW

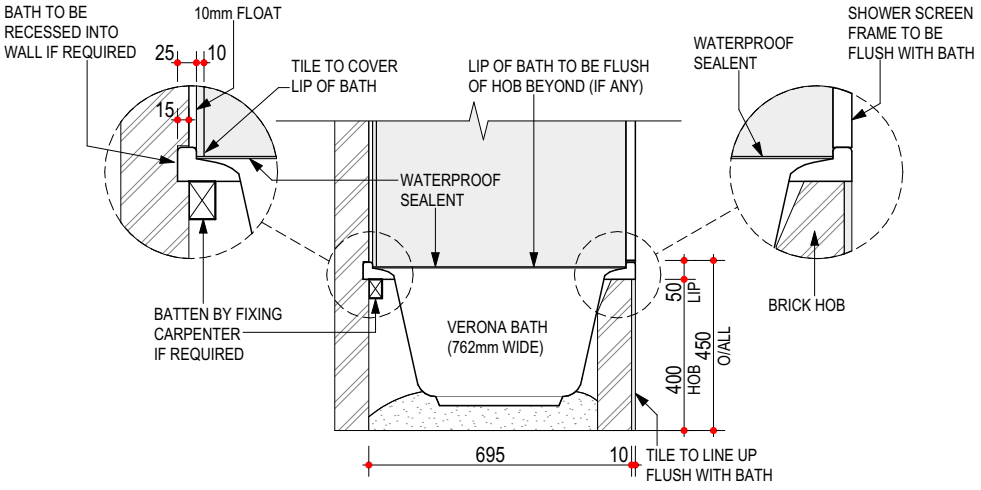


E3 VIEW



BATH PLAN

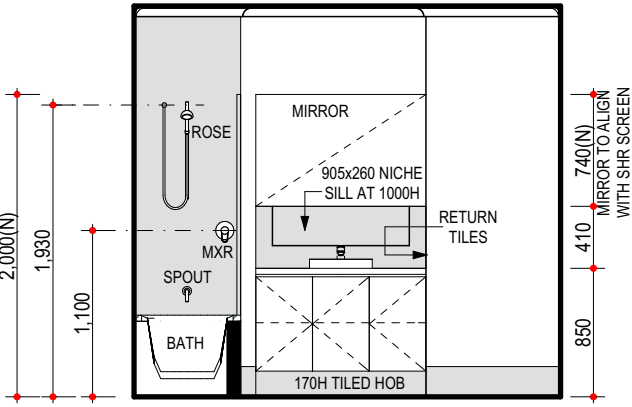
NOTE: FULL HEIGHT WALL TILES TO BATH ONLY



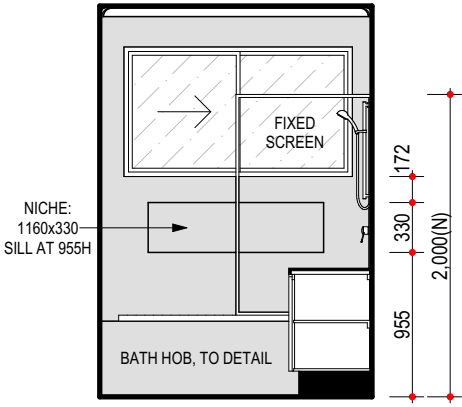
TYPICAL SHOWER OVER BATH HOB DETAIL

NOTES:

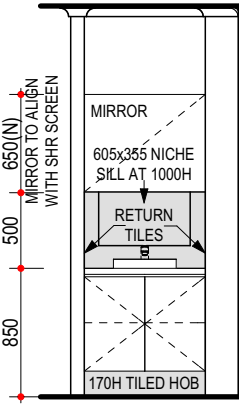
- SCALE 1 : 20



B1 VIEW



B2 VIEW



B3 VIEW

WITNESS: _____
CLIENT(S): _____
BUILDER: _____

PROPOSED RESIDENCE FOR:
LEANNEY

ADDRESS:
LOT 28 (#5) PEGUS STREET,
THORNIE

DRAWN: JS
DESIGNED: RC
CHECKED: DM
DATE: 16/08/19
MODEL: 2x UNIT SPECIAL

SCALE: 1:50
SHEET: 17 OF 19
SIZE: A3
PROJECTS
JOB N° 157487

Issue Name	Drawn	Date
PCVO	JS	17/09/19
V01	JS	27/02/20
AMEND	JS	28/02/20
DA	DMA	06/05/20
V02	JS	10/06/20
JEL	JS	21/07/20

U2 ROOM LAYOUTS



BENCHTOP NOTE

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

WALL FINISH NOTE

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

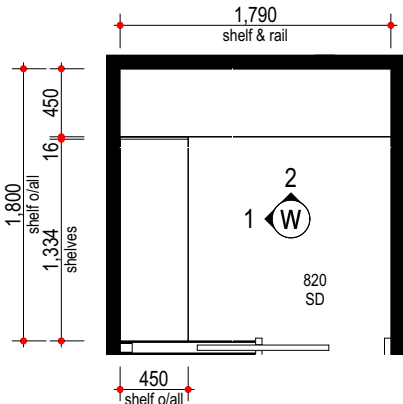
CABINETMAKER NOTE

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

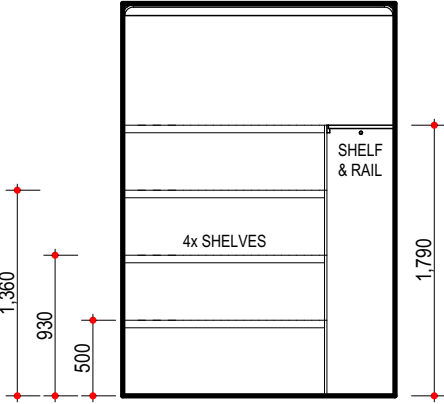
TILER NOTE

- SHADING DENOTES EXTENT OF TILING
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES
- MITRED TILES THROUGHOUT WHERE APPLICABLE.

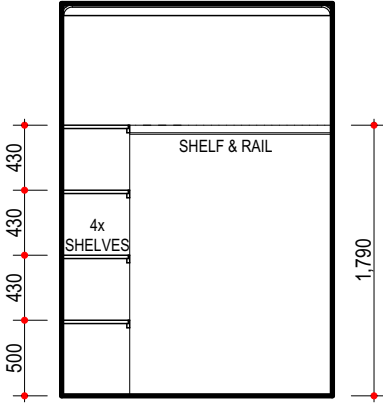
DO NOT SCALE FROM THIS DRAWING
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ALL DIMENSIONS TO BRICKWORK.



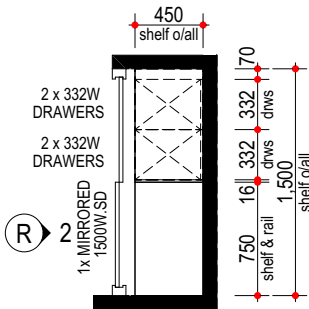
BED 1 WIR PLAN



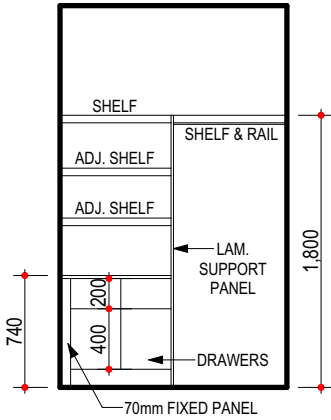
W1 VIEW



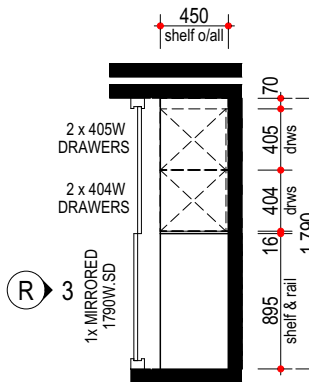
W2 VIEW



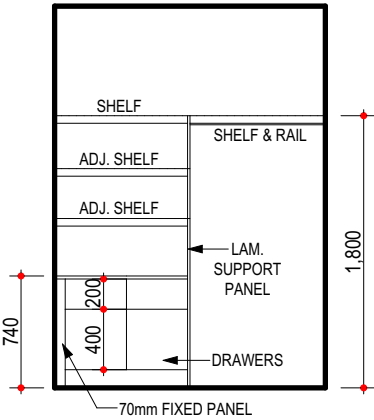
BED 2 ROBE PLAN



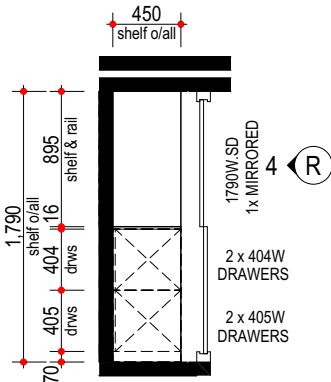
R2 VIEW



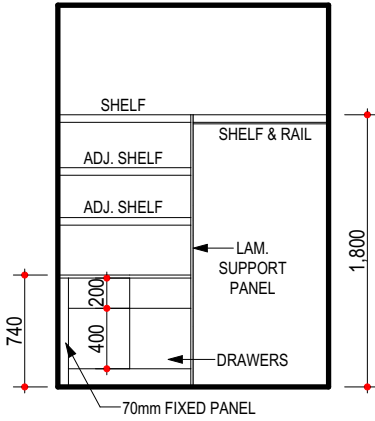
BED 3 ROBE PLAN



R3 VIEW



BED 4 ROBE PLAN



R4 VIEW

WITNESS: _____

CLIENT(S): _____

BUILDER: _____

PROPOSED RESIDENCE FOR:
LEANNEY

ADDRESS:
LOT 28 (#5) PEGUS STREET,
THORNIE

DRAWN: JS
DESIGNED: RC
CHECKED: DM
DATE: 16/08/19
MODEL: 2x UNIT SPECIAL

SCALE: 1:50
SHEET: 18 OF 19
SIZE: A3
PROJECTS
JOB N° 157487

Issue Name V02
JEL
Drawn JS
JS
Date 10/06/20
21/07/20
Issue Name
Drawn
Date

U2 ROOM LAYOUTS



ELECTRICAL LEGEND

Ground Floor

Qty	Sym.	Description	Watts	Insulation Penetrations
5		EXTERNAL WALL LIGHT @ 1800 AFL Perimeter Lighting	55*	*
3		CEILING LIGHT (11w) External	33*	*
1		CEILING LIGHT (11w) Class 10	11*	*
4		RECESSED LED DOWN-LIGHT (7w)	28	
2		H.WIRED SMOKE DETECTOR	0	
5		EXHAUST FAN	0	0.226
23		CEILING LIGHT (11w)	253	
1	3 WAY	3 WAY SWITCH	0	
1	2 WAY	2 WAY SWITCH	0	
1		W/P SGPO INSTALLED IN HWU	0	
2		SINGLE GPO IN/ON CEILING	0	
3		SINGLE GPO @ NOTED HT	0	
2		QUAD GPO @ 1100 AFL	0	
1		NBN LEAD IN CONDUIT (25mm) W/- BLANK FACE PLATE AT 1500 AFL	0	
1		DOUBLE WATER PROOF GPO	0	
8		DOUBLE GPO @ NOTED HT	0	
19		DOUBLE GPO @ 200 AFL	0	
1		DOUBLE GPO @ 1500 AFL W/ 20mm CONDUIT FOR PSU CONNECTION	0	
1		CONDUIT FOR NBN (25mm)	0	
4		CONDUIT (32mm)	0	
7		CONDUIT	0	
6		D2 (PH/DATA)	0	
1		D2 (2x DATA/PHONE) FOR NBN PROVISION @ 1500 AFL	0	
3		C1 (TV) + D2 (PH/DATA)	0	

* NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. Subtotal: 281 0.226
PERIMETER LIGHTING MIN. 40 LUMENS/W.

Total Class 1 Wattage= 281

LIGHT AND VENTILATION CALC.

Room Name	Opn % Light	Vent.
9 STUDY		
Min. Ventilation = 0.74 Min. Light= 0.99 Total Area= 9.91		
W01 Equal sliders	50 % 2.07 m2	1.04 m2
Totals	Light 2.07 m2 Vent 1.04 m2	
8 THEATRE		
Min. Ventilation = 1.10 Min. Light= 1.46 Total Area= 14.62		
W05 Sliding	50 % 2.89 m2	1.45 m2
Totals	Light 2.89 m2 Vent 1.45 m2	
7 ACTIVITY		
Min. Ventilation = 0.77 Min. Light= 1.03 Total Area= 10.31		
W07 Sliding Door	50 % 4.19 m2	2.09 m2
Totals	Light 4.19 m2 Vent 2.09 m2	
6 GAMES		
Min. Ventilation = 0.88 Min. Light= 1.18 Total Area= 11.75		
W12 Awning	67 % 2.48 m2	1.65 m2
Totals	Light 2.48 m2 Vent 1.65 m2	
5 BED 4		
Min. Ventilation = 1.03 Min. Light= 1.37 Total Area= 13.72		
W11 Sliding	50 % 2.48 m2	1.24 m2
Totals	Light 2.48 m2 Vent 1.24 m2	
4 BED 3		
Min. Ventilation = 1.03 Min. Light= 1.38 Total Area= 13.78		
W10 Sliding	50 % 2.48 m2	1.24 m2
Totals	Light 2.48 m2 Vent 1.24 m2	
3 BED 2		
Min. Ventilation = 0.78 Min. Light= 1.04 Total Area= 10.39		
W06 Sliding	50 % 2.48 m2	1.24 m2
Totals	Light 2.48 m2 Vent 1.24 m2	
2 BED 1		
Min. Ventilation = 1.24 Min. Light= 1.65 Total Area= 16.49		
W03 Equal sliders	35 % 2.39 m2	0.83 m2
W02 Equal sliders	35 % 2.39 m2	0.83 m2
Totals	Light 4.77 m2 Vent 1.66 m2	
1 LIVING KITCH DINING		
Min. Ventilation = 3.78 Min. Light= 5.04 Total Area= 50.41		
W15 Sliding	37 % 5.58 m2	2.07 m2
W14 Sliding	37 % 5.58 m2	2.07 m2
W13 Sliding Door	50 % 7.20 m2	3.60 m2
Totals	Light 18.35 m2 Vent 7.73 m2	

Inputs for Airmovement and Light are Valid



Wattage Calculations (Class 1)

Story Name	Area	Allowed Wattage	Actual Wattage
0 Ground Floor	218.26 Sqm	1091 w	281 w
	218.26 sqm	1091 w	281 w PASS

Recessed Fitting Penetrations (Class 1)

Story Name	Area	Maximum Penetrations	Actual Penetrations
Total Insulation Area Vents\RangeHoods	218.26 sqm	1.091 sqm	0.226 sqm 0.031 Sqm
	218.26 sqm	1.091 sqm	0.258 sqm PASS
0.12 % R4.0 Insulation Adjustment Not Required			

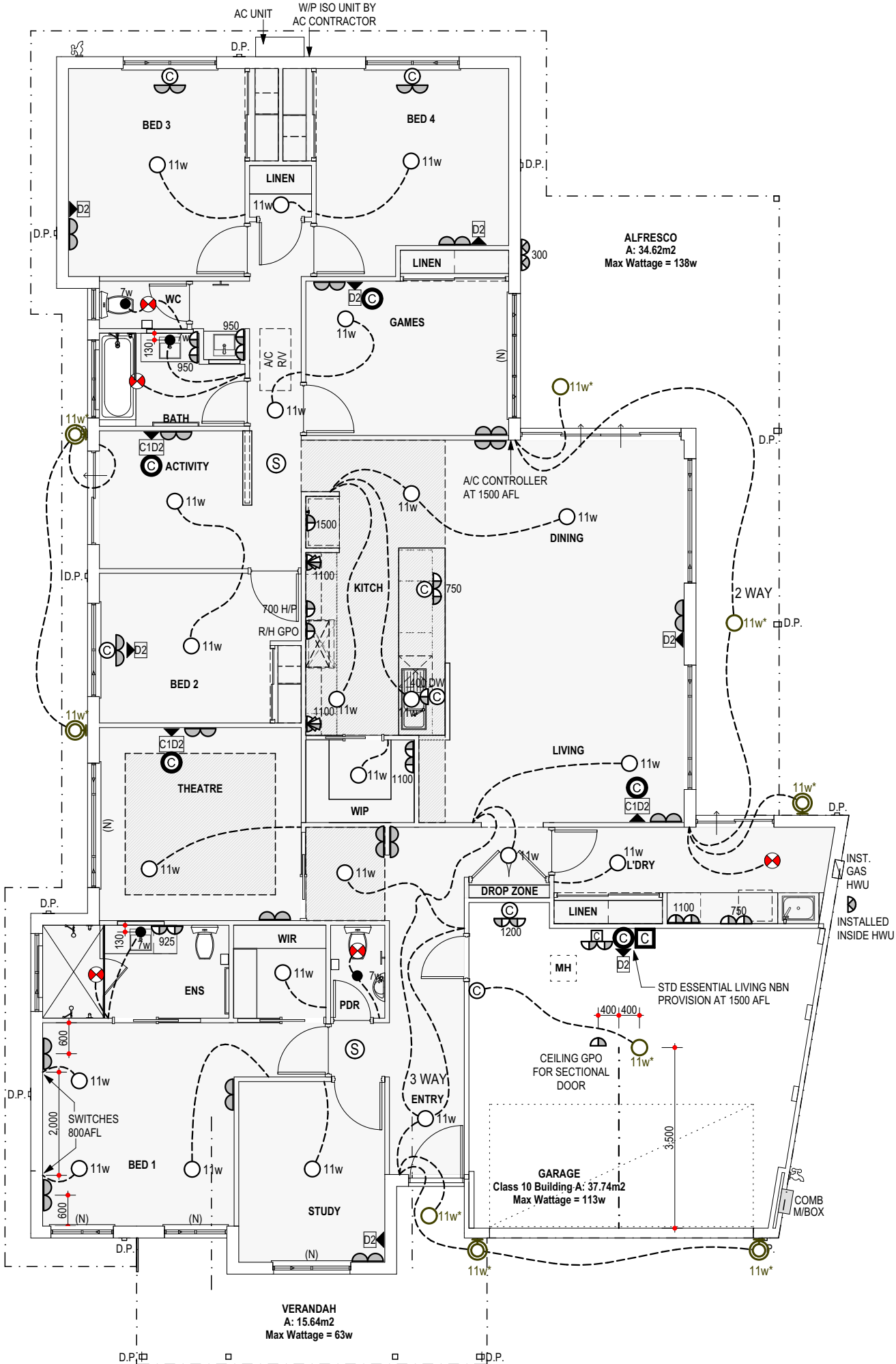
DO NOT SCALE FROM THIS DRAWING
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ALL DIMENSIONS TO BRICKWORK.

ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO AS3786-2014
- FINAL POSITION OF ELECTRICAL ITEMS SUCH AS GPO'S, LIGHT SWITCHES ETC. MAY VARY ON SITE DUE TO ELECTRICAL REGULATIONS. LIGHT SWITCH HEIGHT TO BE AT 1200 AFL U.N.O.
- NEUTRAL CABLING REQUIRED TO ALL LIGHT SWITCHES.
- ALL EXHAUST FANS TO BE FLUED TO EXTERNAL AIR

AIRCON NOTE

- PROVIDE REVERSE CYCLE AIR CONDITIONING. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.



WITNESS:

CLIENT(S):

BUILDER:

PROPOSED RESIDENCE FOR:
LEANEY

ADDRESS:
LOT 28 (#5) PEGUS STREET,
THORNIE

BUILT AROUND PEOPLE

DRAWN: JS
DESIGNED: RC
CHECKED: DM
DATE: 16/08/19
MODEL: 2x UNIT SPECIAL

SCALE: 1:100
SHEET: 19 OF 19
SIZE: A3
PROJECTS
JOB N° 157487

Issue Name	Drawn	Date
PCVO	JS	17/09/19
V01	JS	27/02/20
AMEND	JS	28/02/20
DA	DMA	06/05/20
V02	JS	10/06/20
JEL	JS	21/07/20

U2 ELECTRICAL PLAN

