

PRO WEST

SURVEYING

Licensed and Engineering Surveying Consultants

T (08) 9242 8247 E: admin@prowestsurveying.com.au

F (08) 9242 8296 Web: www.prowestsurveying.com.au

Po Box 1463 Osborne Park DC 6916 DWG# 2702001

Feature & Contour Survey of: Lot 408 Colesbrook Drive, BYFORD

CLIENT: STRATTON OAKFIELD PTY LTD

PLAN: DP 414080

LOT AREA: 388m²

SURVEY DATE: 14/09/18

BUILDER: MY HOMES WA

C/T Vol: Fol:

MAP REFERENCE:

BUILDER JOB #

HEIGHT DATUM: AHD

COASTAL ZONE: >1KM

AUTHORITY: CITY OF ARMADALE

HEIGHT CORRECTION TO AHD: NO

SEWER INFORMATION: N/A

FEATURE SYMBOL LEGEND

NOTES

NO SEWER INFORMATION AVAILABLE AT TIME OF SURVEY

POWER

CABLE DOME

POWER POLE

CABLE BOX

CONSUMER POLE

POWER MARKER

EXPOSED CABLES

LIGHT POLE

EARTH ROD

WATER

WATER METER / TAP

FIRE HYDRANT

TAP

STOP VALVE

FLUSHING POINT

RETIC VALVE

BORE

WATER MARKER

SEWERAGE

SEWER M/H (SQUARE LID)

SEWER M/H (ROUND LID)

INSPECTION SHAFT

INSPECTION OPENING

HOUSE CONNECTION

TELSTRA

TELSTRA PIT

TELSTRA MANHOLE

TELSTRA MARKER

DRAINAGE

DRAIN M/H (SQUARE LID)

DRAIN M/H (ROUND LID)

SIDE ENTRY PIT

DRAINAGE GRATE

COMBINED ENTRY PIT

GAS

GAS METER

GAS VALVE

GAS MARKER

SURVEY MARKS

PEG FOUND

PEG GONE

DRILL HOLE

BENCH MARK

PEN MARK

NAIL & PLATE

NAIL

MISCELLANEOUS INFO.

BIG TREE HEIGHT ≥ 5m

SPOT HEIGHT

SMALL TREE HEIGHT < 5m

BOLLARD

OVERHEAD POWER LINE

SEWER LINE

FENCE LINE

WINDOW / OPENING

SERVICE DETAILS

WATER: L

OVERHEAD POWER: NS

U/G POWER: L

TELSTRA: L

GAS: L

SEWER: L

SERVICE NOTES

L: LOCATED

NS: NO SERVICE

A: AVAILABLE BUT NOT LOCATED

TBC: LOCATION TO BE CONFIRMED

HOUSE CONNECTION (HC) IL: N/A

UP DISTANCE: N/A

DEPTH TO CONNECTION: N/A

NOTES

(1) ALL FEATURES IN GOOD CONDITION

(2) DEVELOPMENT AREA: NEW

(3) (A)=DRAINAGE EASEMENT IN FAVOUR OF LOT 662

The site plan shows Lot 408, a rectangular plot with dimensions 12.5m by 31.05m. It is situated between Lot 400 to the north, Lot 407 to the west, and Lot 409 to the east. The plan includes contour lines with elevations ranging from 38.56 to 39.75. Key features include a limestone retaining wall to the north, a concrete path to the south, and a house connection (HC) marked with a circle. A drainage easement (A) is shown in the center of the lot. The plan also indicates a vacant/sandy area to the north and east, and a bank top to the south. A scale bar at the bottom indicates a scale of 1:200 at A3 size.

SEWER JUNCTION DETAILS

HOUSE CONNECTION (HC) IL: N/A

UP DISTANCE: N/A

DEPTH TO CONNECTION: N/A

IMPORTANT FEATURE SURVEY NOTES

1. The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A repeg / bdy identification survey is recommended if an accurate position of features / improvements relative to the boundary is required.

2. The sewer junction on this plan has been plotted using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.

3. The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plans. The final repegged dimensions may vary due to adjustments made during field survey.

4. All service information shown of this plan should be verified with the relevant authorities. 5. Pro West Surveying does not accept liability for any loss or damage caused by the use of this feature survey plan for any purpose.



my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: THE GLADES DISPLAY

Job No:19008

Drawing Name: EXISTING SITE PLAN

Sheet No: 1 of 10

Lot Address: LOT 408 (#72) COLESBROOK DRIVE, BYFORD

Council: SERPENTINE

Specification: DISPLAY

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT

Client Name: STRATTON OAKFIELD Pty Ltd ATF THE STRATTON OAKFIELD

Signature: INVESTMENT UNIT TRUST

Client Name:

Signature:

The home will be built to the dimensions on the working drawings within a reasonable tolerance

This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed of or copied without the permission in writing

REV NO.

VARIATION

DATE DRN.

BY

1

WORKING DRAWINGS

04/09/18

VN-JL

2

SITING

01/10/18

VN-FV

3

VO 1

13/02/19

MG

4

PRESTART

20/03/19

MG

5

DRAFTING FIXES

03/04/19

MG

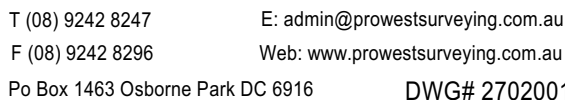
6

7

8

9

10



SHEET: 1 OF 1

SURVEY DATE: 14/09/18







MAP REFERENCE:

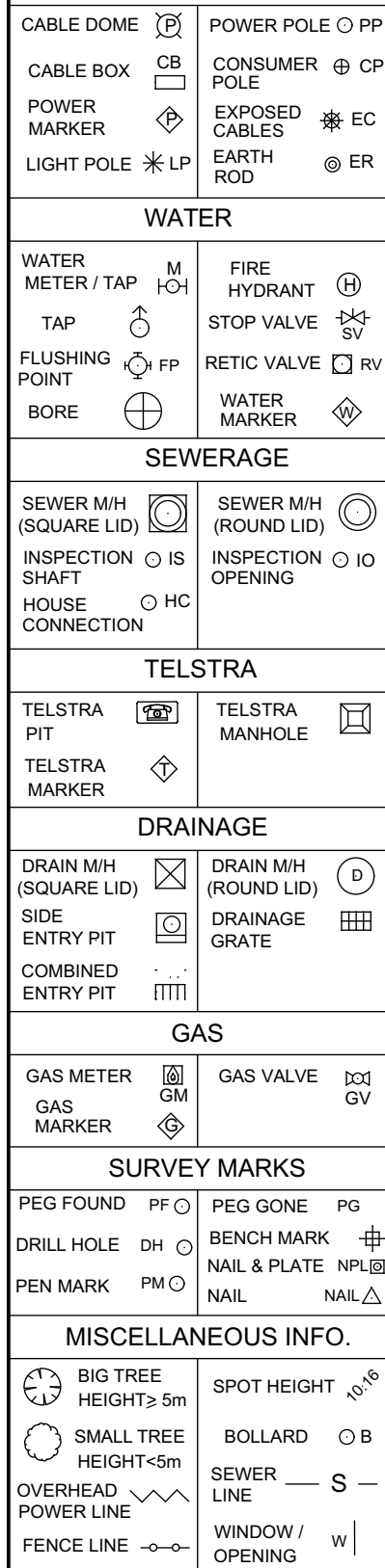
COASTAL ZONE: >1KM

SEWER INFORMATION: N/A

(3) (A)=DRAINAGE EASEMENT IN FAVOUR OF LOT 662

LANDSCAPING PLAN

-  DIANELLA 'WYEENA'
-  AGAPANTHUS 'PETER PAN'
-  EREMOPHILA GLABRA PROSTRATA
-  PLUMERIA SPECIES 'FRANGIPANI'
-  SELECTED TURF
-  SELECTED GRAVEL



SERVICE DETAILS

WATER: L
OVERHEAD POWER: NS
U/G POWER: L
TELSTRA: L
GAS: L
SEWER: L

SERVICE NOTES
 L: LOCATED NS: NO SERVICE
 A: AVAILABLE BUT NOT LOCATED
 TBC: LOCATION TO BE CONFIRMED

IMPORTANT FEATURE SURVEY NOTES

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Sheet No: 2 of 10

Specification: DISPLAY

Date: ____/____/____

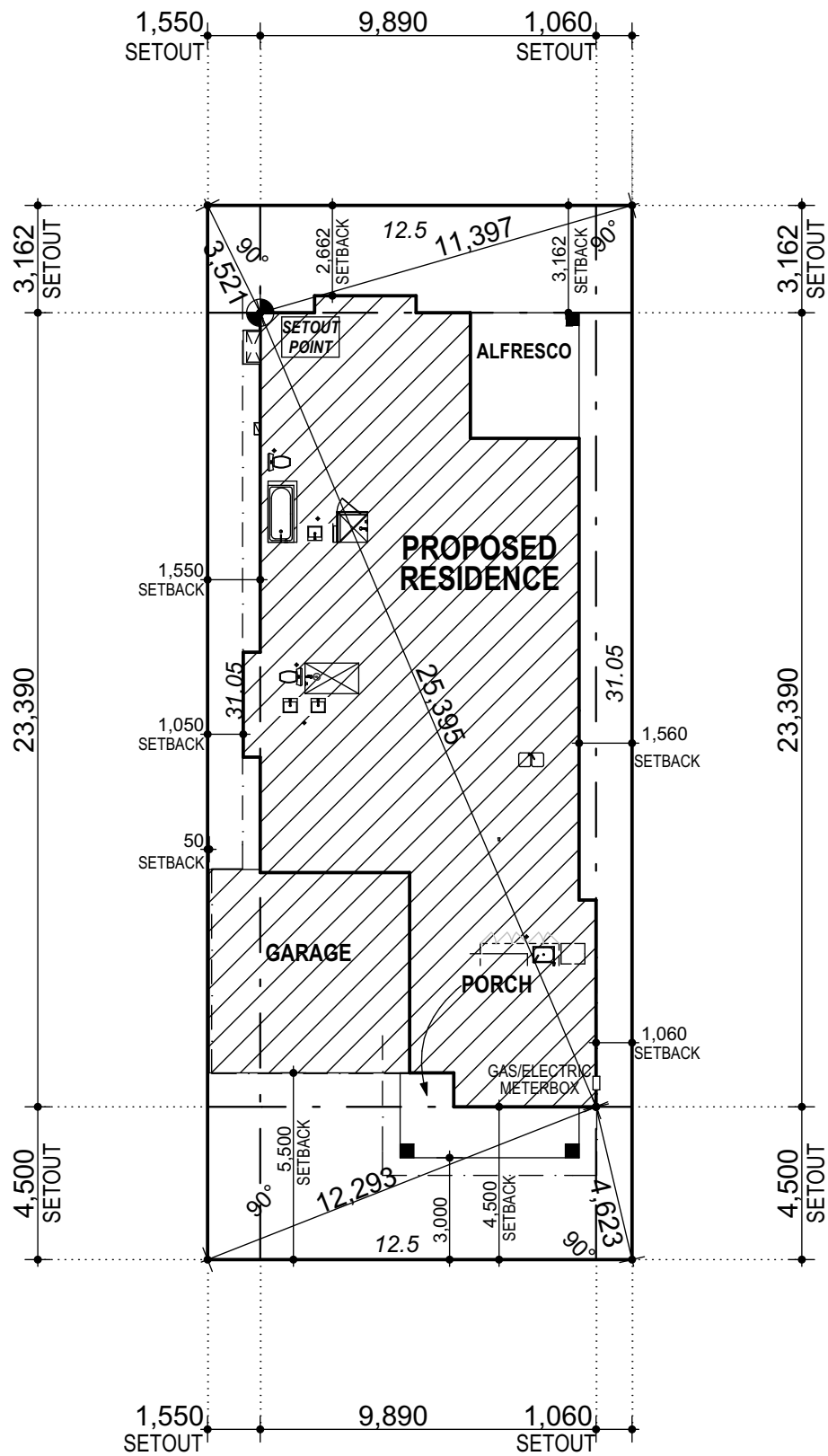
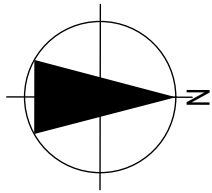
Date: ____/____/____

**The home will be built to the dimensions on the
working drawings
within a reasonable tolerance**

This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed or copied without the permission in writing

VARIATIONS

REV NO.	VARIATION	DATE DRN.	BY
1	WORKING DRAWINGS	04/09/18	VN-JL
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4	PRESTART	20/03/19	MG
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6			
7			
8			
9			
10			



COLESBROOK DRIVE

REFER TO ENGINEERS
DETAILS & ADDENDA

TERMITE TREATMENT IS TO BE
FULL TERMIMESH SYSTEM IN
ACCORDANCE WITH A.S. 3660.1

STORMWATER LAYOUT TO COMPLY
WITH BCA PART 3.1 & AS/NZ
3500.3.2003 PLUMBING & DRAINAGE
PART 3: STORMWATER DRAINAGE
& SHIRE REQUIREMENTS

Site Layout

1:200



my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: THE GLADES DISPLAY

Job No:19008

Drawing Name: SITE LAYOUT

Sheet No: 3 of 10

Lot Address: LOT 408 (#72) COLESBROOK DRIVE, BYFORD

Council: SERPENTINE

Specification: DISPLAY

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT

Client Name: STRATTON OAKFIELD Pty Ltd ATF

Date: -----/-----/-----

Signature: INVESTMENT UNIT TRUST

Client Name:

Date: -----/-----/-----

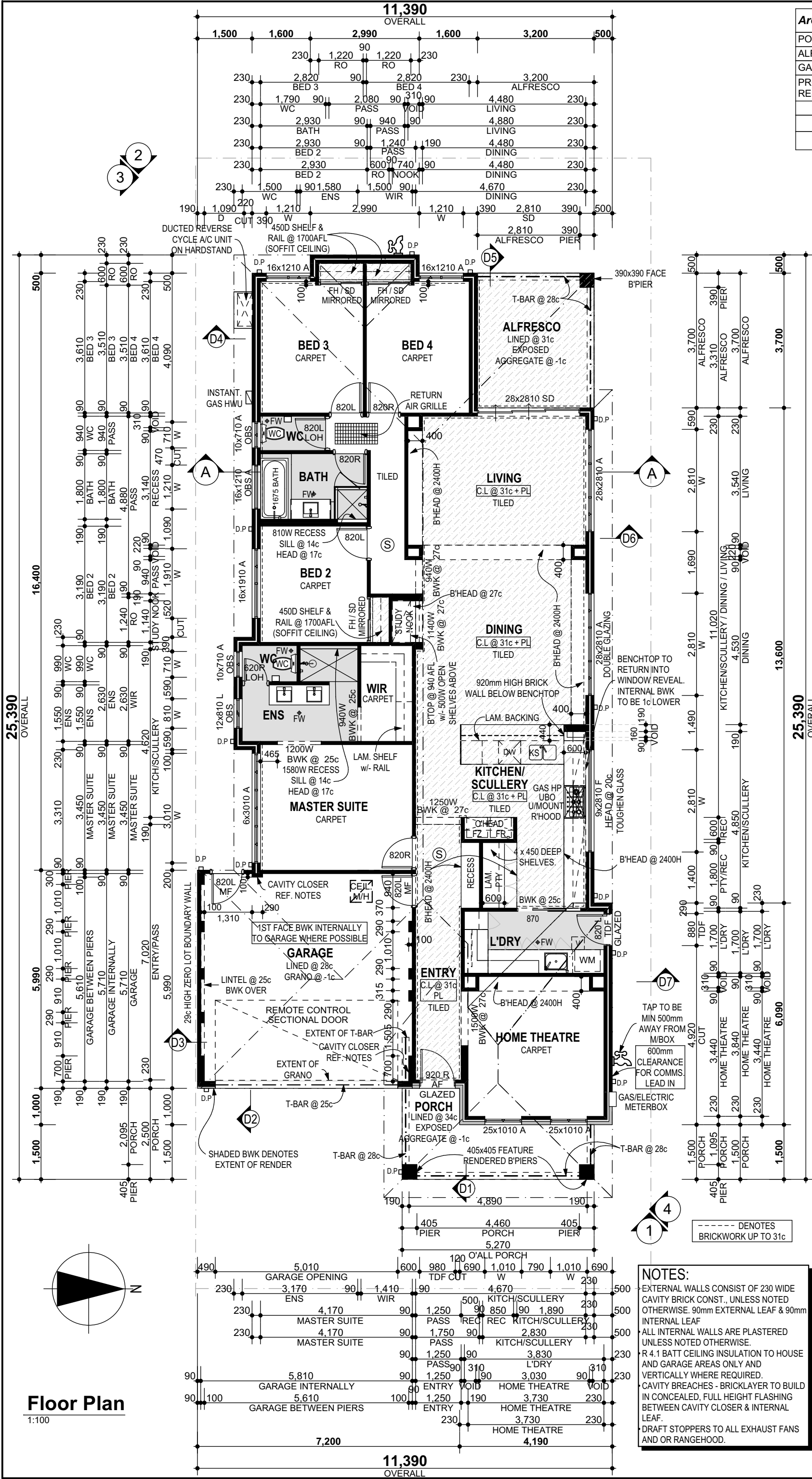
Signature:

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6			
7			
8			
9			
10			



Area Name	Measured Area	Perimeter
PORCH	9.48	15.54
ALFRESCO	11.84	13.80
GARAGE	34.95	23.78
PROPOSED RESIDENCE	180.67	67.56
		236.94 m ²
AREA NAME		MEASURED AREA
ROOF AREA		257.84

REFLUX VALVE
REQUIRED

MITRED EDGE TILING
THROUGHOUT

REFER TO ENGINEERS
PLANS & ADDENDA

28c CEILINGS THROUGHOUT
UNLESS OTHERWISE NOTED

DOWNPipe LOCATION INDICATIVE
ONLY - AT BUILDERS & ROOF
PLUMBERS DISCRETION

House Type: THE GLADES DISPLAY		Job No:19008	Drawing Name: FLOOR PLAN	Sheet No: 4 of 10
Lot Address: LOT 408 (#72) COLESBROOK DRIVE, BYFORD		Council: SERPENTINE		
Client Name: STRATTON OAKFIELD Pty Ltd ATF THE STRATTON OAKFIELD INVESTMENT UNIT TRUST		Specification: DISPLAY		
Signature: _____		Date: _____		
Client Name: _____		Date: _____		
Signature: _____		Date: _____		
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT		VARIATIONS		
REV NO.		VARIATION	DATE DRN.	BY
1		WORKING DRAWINGS	04/09/18	VN-JL
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NOTES:
EXTERNAL WALLS CONSIST OF 230 WIDE CAVITY BRICK CONSTRUCTION, UNLESS NOTED OTHERWISE. 90mm EXTERNAL LEAF & 90mm INTERNAL LEAF
ALL INTERNAL WALLS ARE PLASTERED UNLESS NOTED OTHERWISE.
R 4.1 BATT CEILING INSULATION TO HOUSE AND GARAGE AREAS ONLY AND VERTICALLY WHERE REQUIRED.
CAVITY BREACHES - BRICKLAYER TO BUILD IN CONCEALED, FULL HEIGHT FLASHING BETWEEN CAVITY CLOSER & INTERNAL LEAF.
DRAFT STOPPERS TO ALL EXHAUST FANS AND OR RANGEHOOD.



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WE TURN A HOUSE INTO A HOME
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ELECTRICAL NOTE :
- POWER POINT AND LIGHT LOCATIONS MAY CHANGE DUE TO ELECTRICAL LAWS OF WA
- DIMENSIONS SHOWN ARE TO THE CENTRELINE OF GPO'S
- LIGHT SWITCHES ARE TO BE 1200 AFL OR OTHERWISE NOTED
- DRAFTSTOPPERS TO ALL EXHAUST FANS AND OR RANGEHOODS

- MY PLACE AUTOMATION TO
- GARAGE SINGLE GPO
 - KITCHEN DOWNLIGHTS
 - DINING DOWNLIGHTS
 - LIVING DOWNLIGHTS
 - ALFRESCO DOWNLIGHTS
 - FRONT ELEVATION LIGHTS

ELECTRICAL LEGEND

Qty	Sym.	Description	Watts	Insulation Penetrations
5	● 15w*	RECESSED LED DOWN-LIGHT (15w) Perimeter Lighting	75*	*
5	⊙ 15w*	EXTERNAL WALL LIGHT @ 1800 AFL Perimeter Lighting	75*	*
1	— 18w*	600L SINGLE FLOURO WITH DIFFUSER (18w) Class 10	18*	*
1	⊠	VENTILATION FOR RANGEHOOD	0	0.015
42	● 15w	RECESSED LED DOWN-LIGHT (15w)	630	0.557
2	⊙	H.WIRED SMOKE DETECTOR	0	
4	⊠	EXHAUST FAN FLUMED	0	0.196
1	⊠	RETURN AIR GRILLE	0	
1	⊠	OUTDOOR AIR CONDITIONING GROUND UNIT	0	
1	⊠	Ceiling Vent	0	
2	⊠	TV POINT	0	
2	⊠	SINGLE WATER PROOF GPO	0	
6	⊠	SINGLE GPO @ NOTED HT	0	
1	⊠	SINGLE CIRCUIT GPO	0	
1	⊠	QUAD GPO @ 1900 AFL	0	
1	⊠	PHONE POINT	0	
1	⊠	MODE 3 POINT	0	
1	⊠	DOUBLE WATER PROOF GPO	0	
2	⊠	DOUBLE GPO @ NOTED HT W/USB	2	
6	⊠	DOUBLE GPO @ NOTED HT	0	
8	⊠	DOUBLE GPO @ 300 AFL	0	
1	⊠	CONDUIT FOR FUTURE FIBRE OPTIC	0	
2	⊠	CONDUIT (32mm)	0	
5	⊠	BLANK FACE PLATE W/ CONDUIT AND DRAW WIRE (HEIGHT NOTED) (32mm)	0	
1	⊠	A/C CONTROLLER @1550	0	
1	⊠	DATA POINT	0	

* NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. Subtotal: --- 0.769
PERIMETER LIGHTING MIN. 40 LUMENS/W.

Total Class 1 Wattage= 632

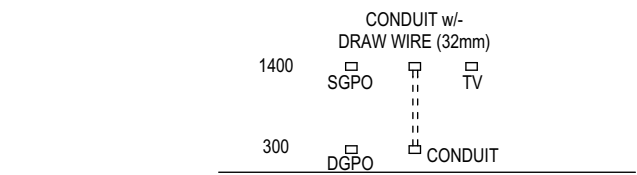
Wattage Calculations (Class 1)

Story Name	Area	Allowed Wattage	Actual Wattage
0 F.L.	0.00 Sqm	0 w	632 w
	0.00 sqm	0 w	632 w

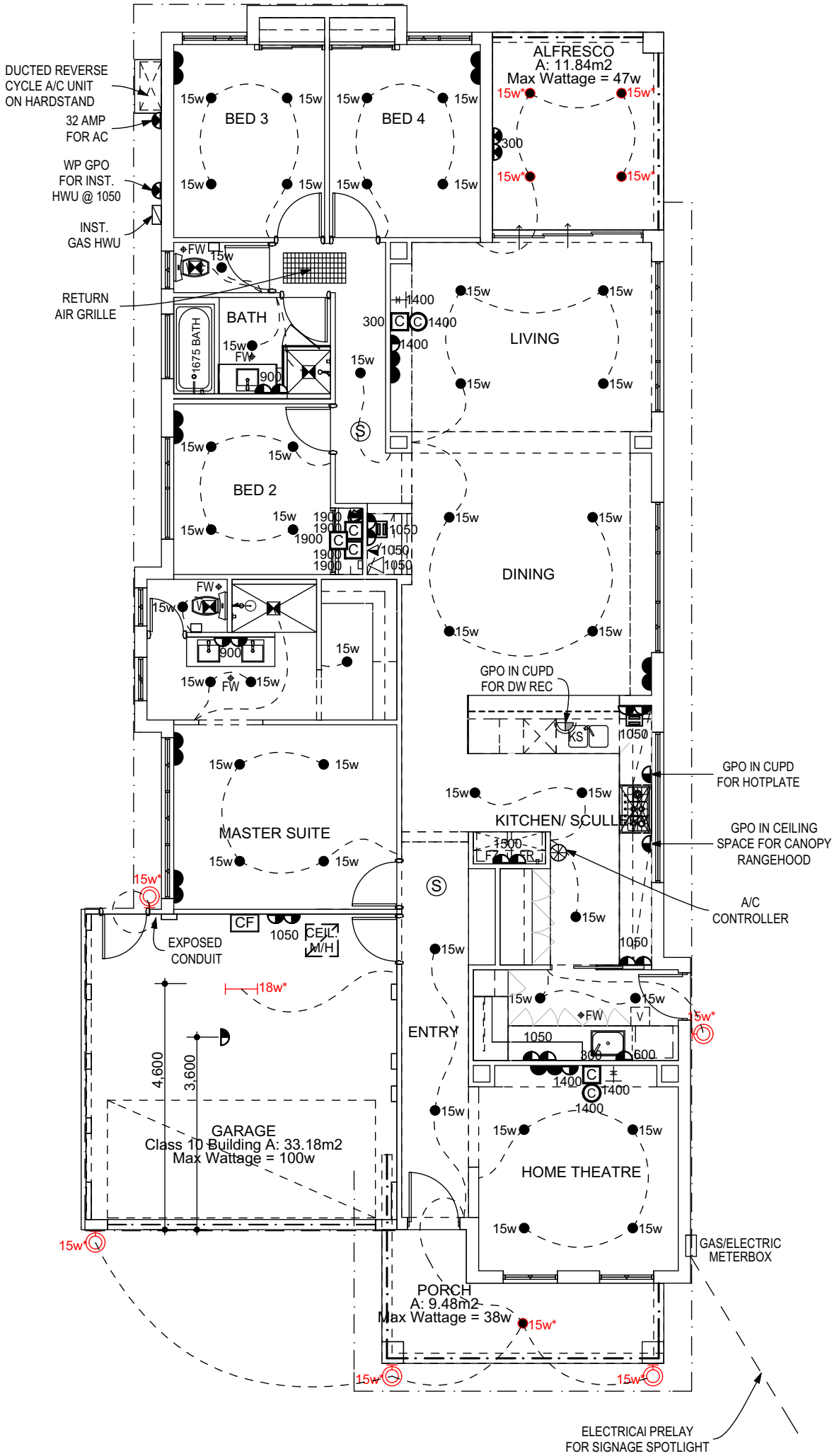
FAIL

Recessed Fitting Penetrations (Class 1)

Story Name	Area	Maximum Penetrations	Actual Penetrations
------------	------	----------------------	---------------------



LIVING & HOME THEATRE ELECTRICAL SETUP



Electrical Plan

1:100



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WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: THE GLADES DISPLAY Job No:19008 Drawing Name: ELECTRICAL LAYOUTS Sheet No: 6 of 10

Lot Address: LOT 408 (#72) COLESBROOK DRIVE, BYFORD

Council: SERPENTINE

Specification: DISPLAY

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT

Client Name: STRATTON OAKFIELD Pty Ltd ATF

Date: -----/-----/-----

Signature: INVESTMENT UNIT TRUST

Client Name:

Date: -----/-----/-----

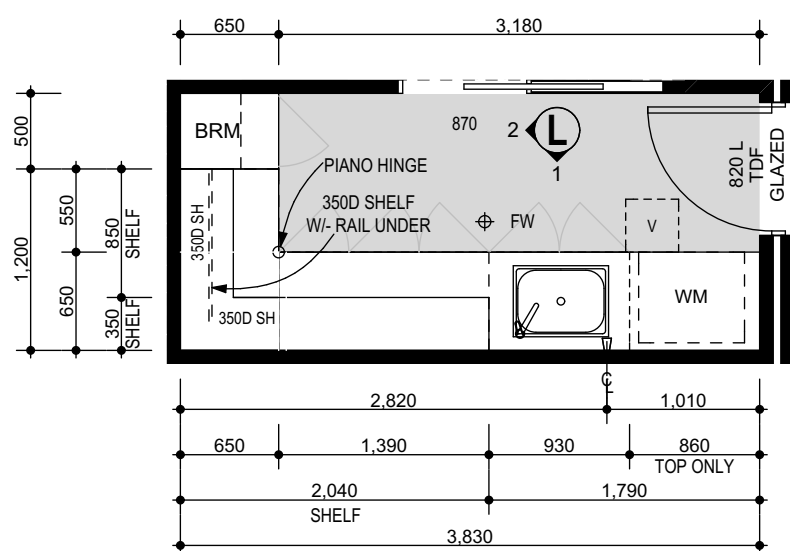
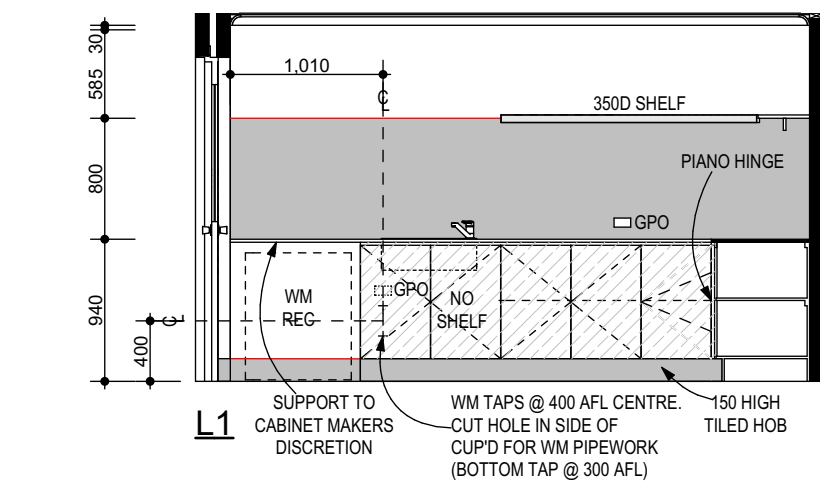
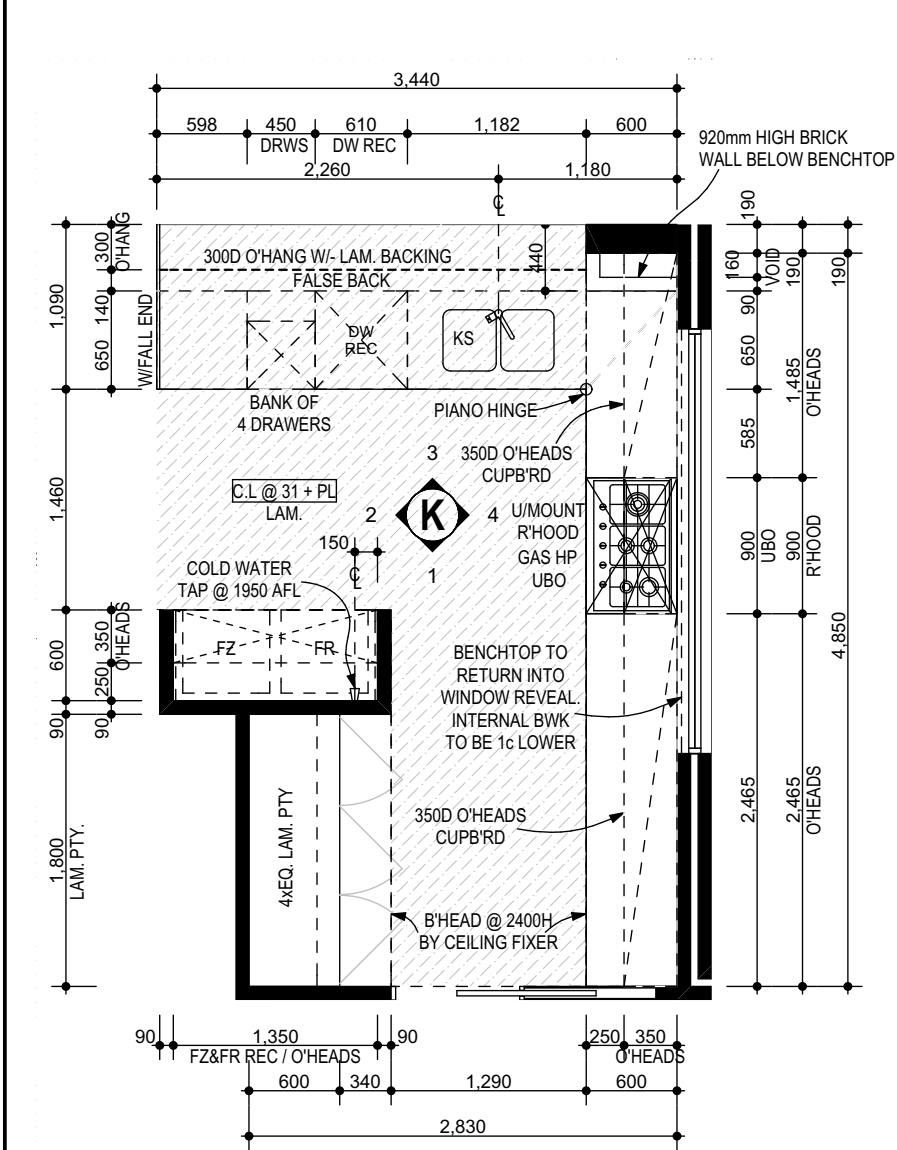
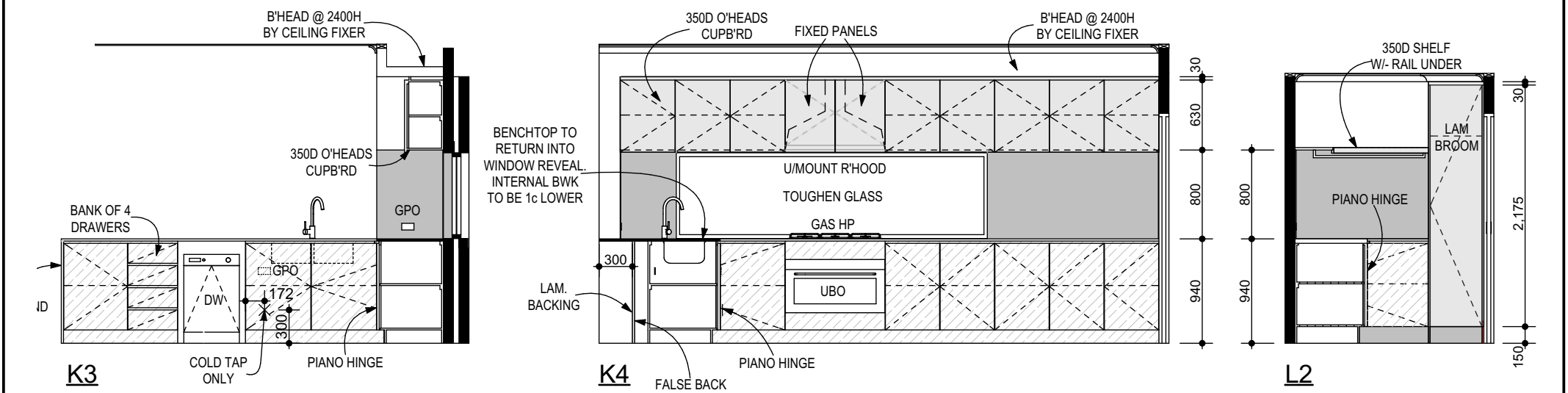
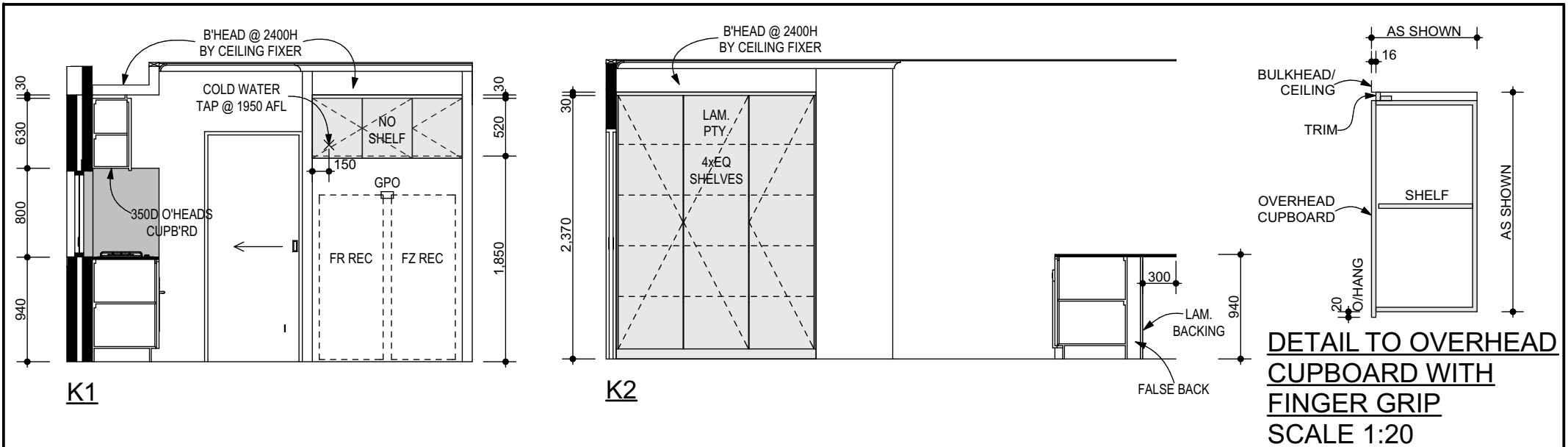
Signature:

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6			
7			
8			
9			
10			



Kitchen Layout

1:50

Laundry Layout

1:50

MITRED TILES THROUGHOUT

LAMINATE COLOURS:

- POLYTEC 'BLOSSOM WHITE' SHEEN FINISH
- POLYTEC 'ANTICO OAK' WOODMATT FINISH

CLIENT NOTE:
STONE BENCHTOP WHICH EXCEEDS 3M IN WIDTH WILL REQUIRE A JOIN.



my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: THE GLADES DISPLAY Job No:19008 Drawing Name: ROOM LAYOUTS 1 Sheet No: 7 of 10

Lot Address: LOT 408 (#72) COLESBROOK DRIVE, BYFORD

Council: SERPENTINE

Specification: DISPLAY

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Signature: INVESTMENT UNIT TRUST

Date: / /

Client Name:

Signature:

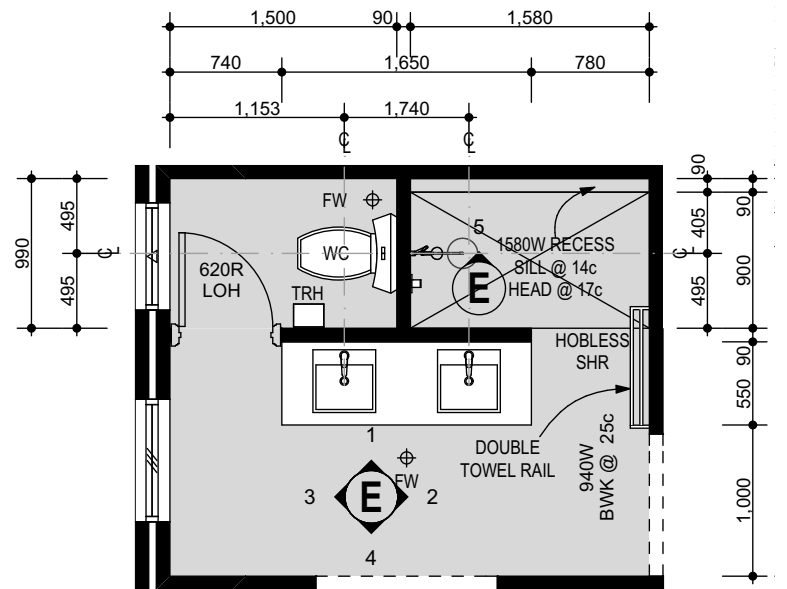
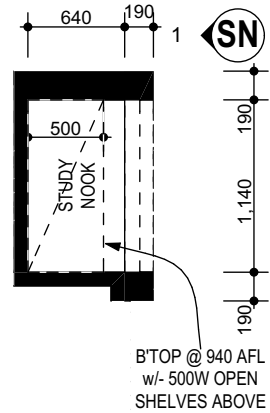
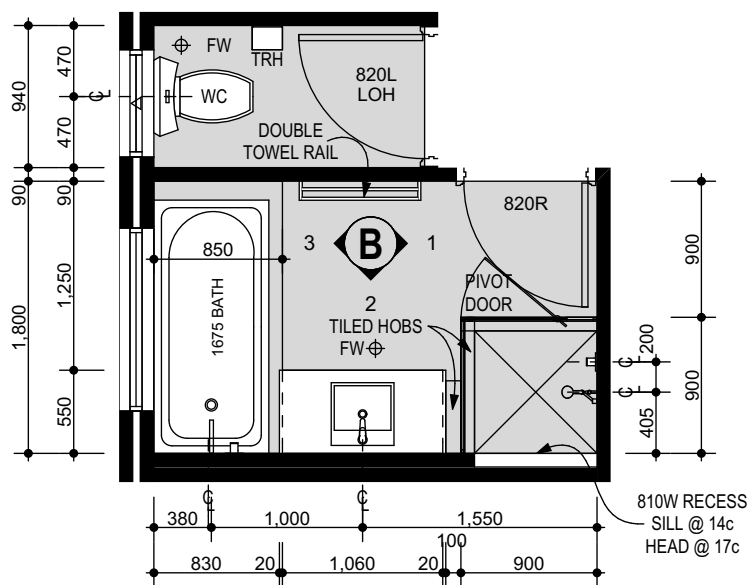
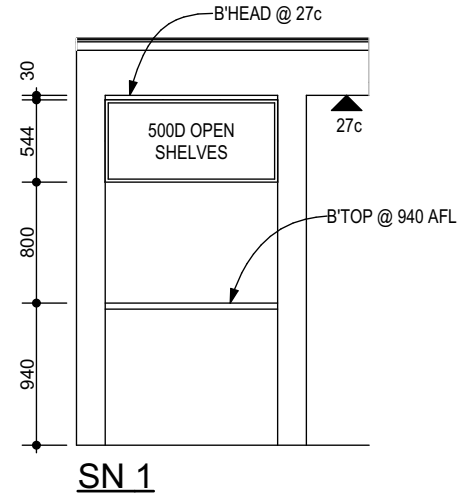
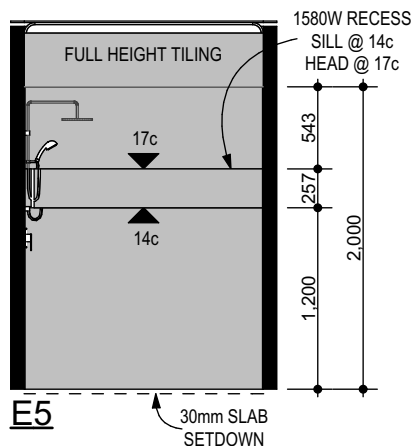
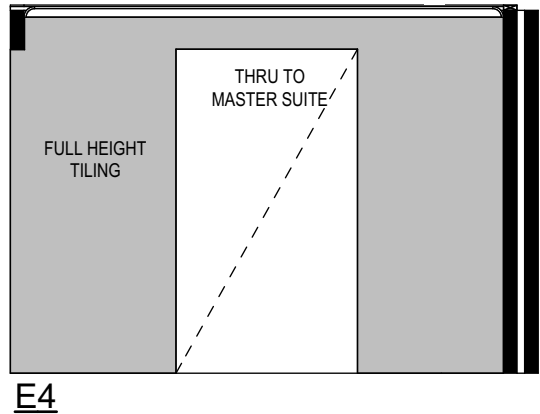
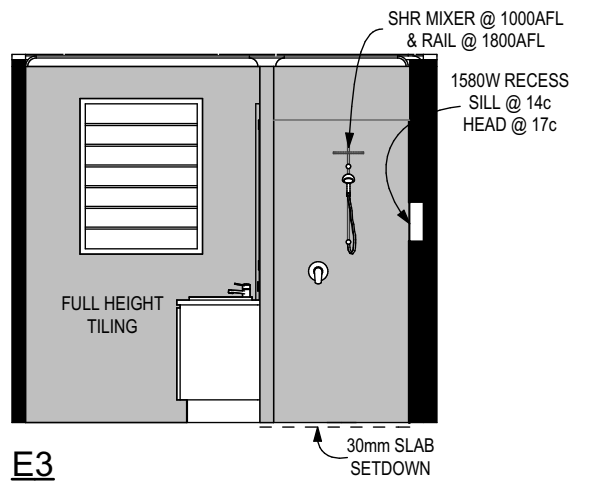
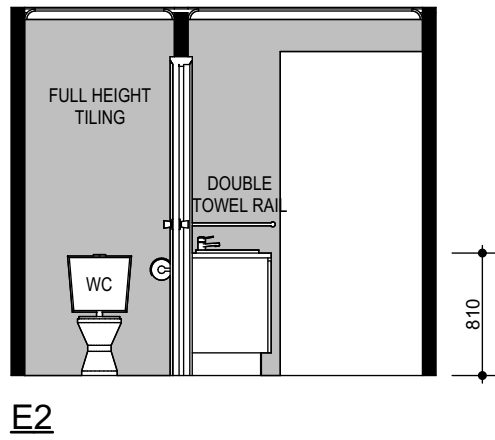
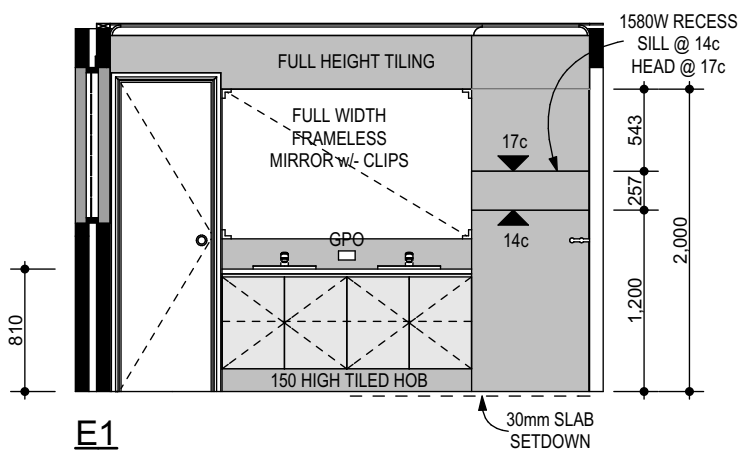
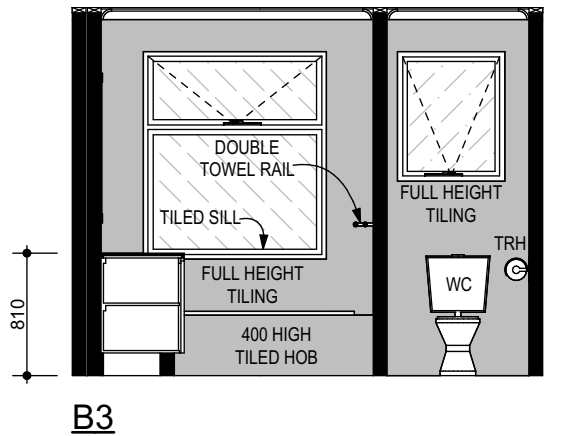
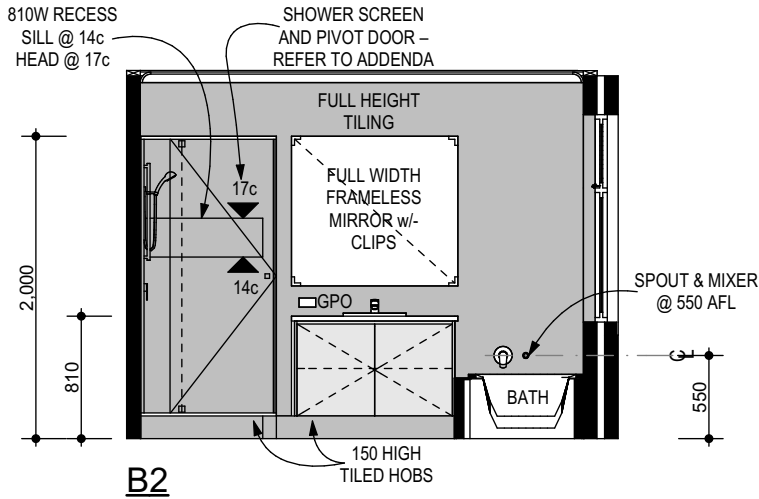
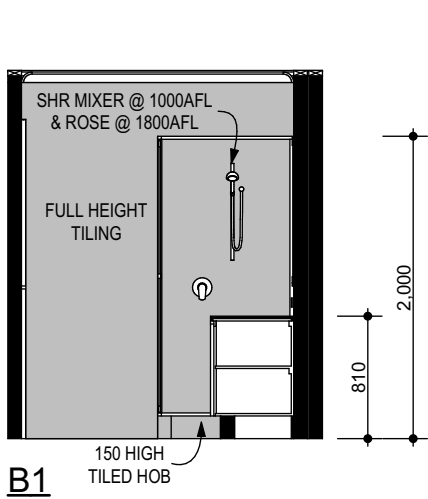
Date: / /

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6			
7			
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10			



LAMINATE COLOURS:

POLYTEC 'ANTICO OAK' WOODMATT FINISH

MITRED TILES THROUGHOUT

NOTE: REFLUX VALVE REQUIRED

TOP OF MIRRORS TO LINE UP WITH TOP OF SHOWER SCREENS



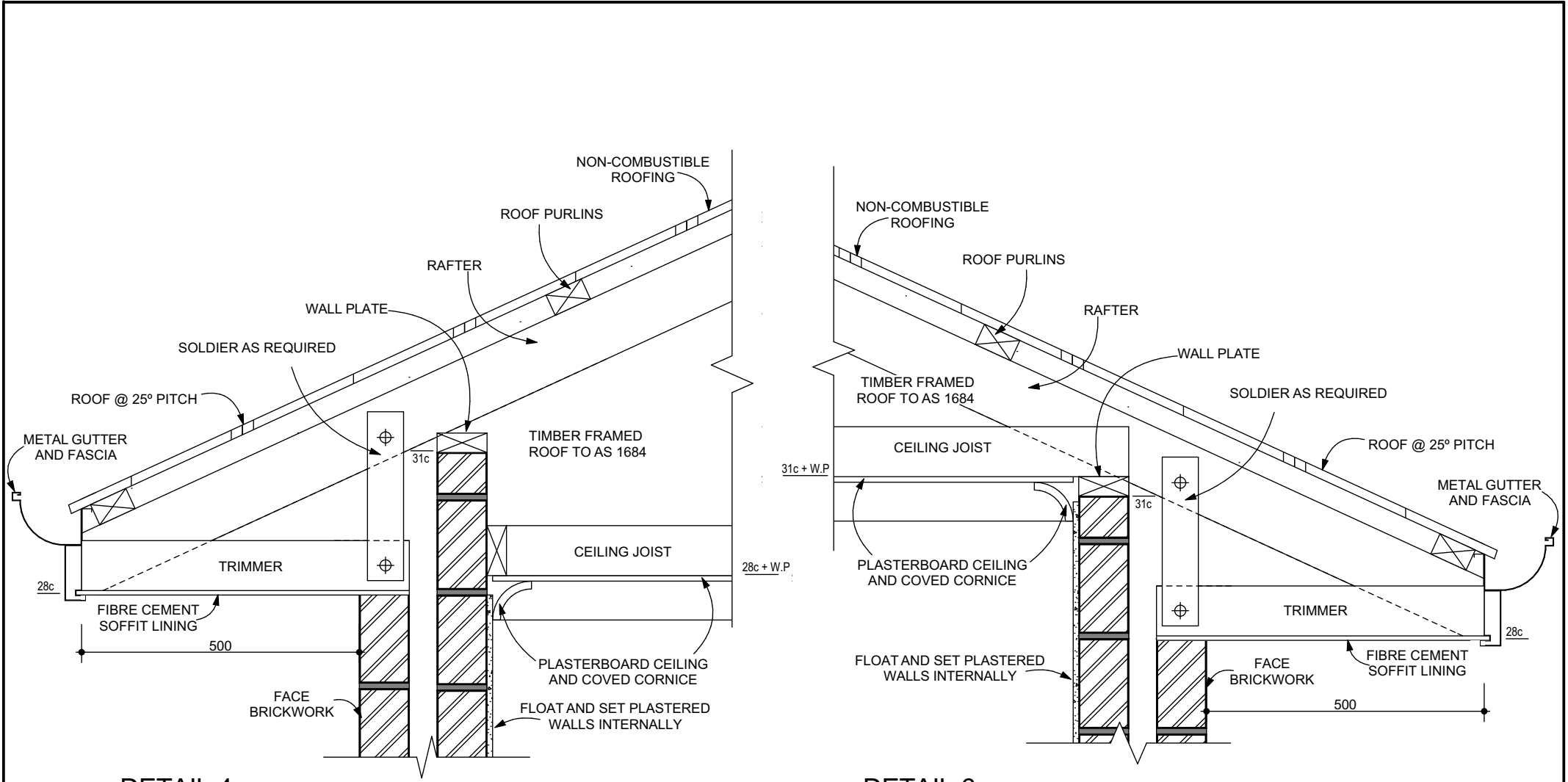
my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

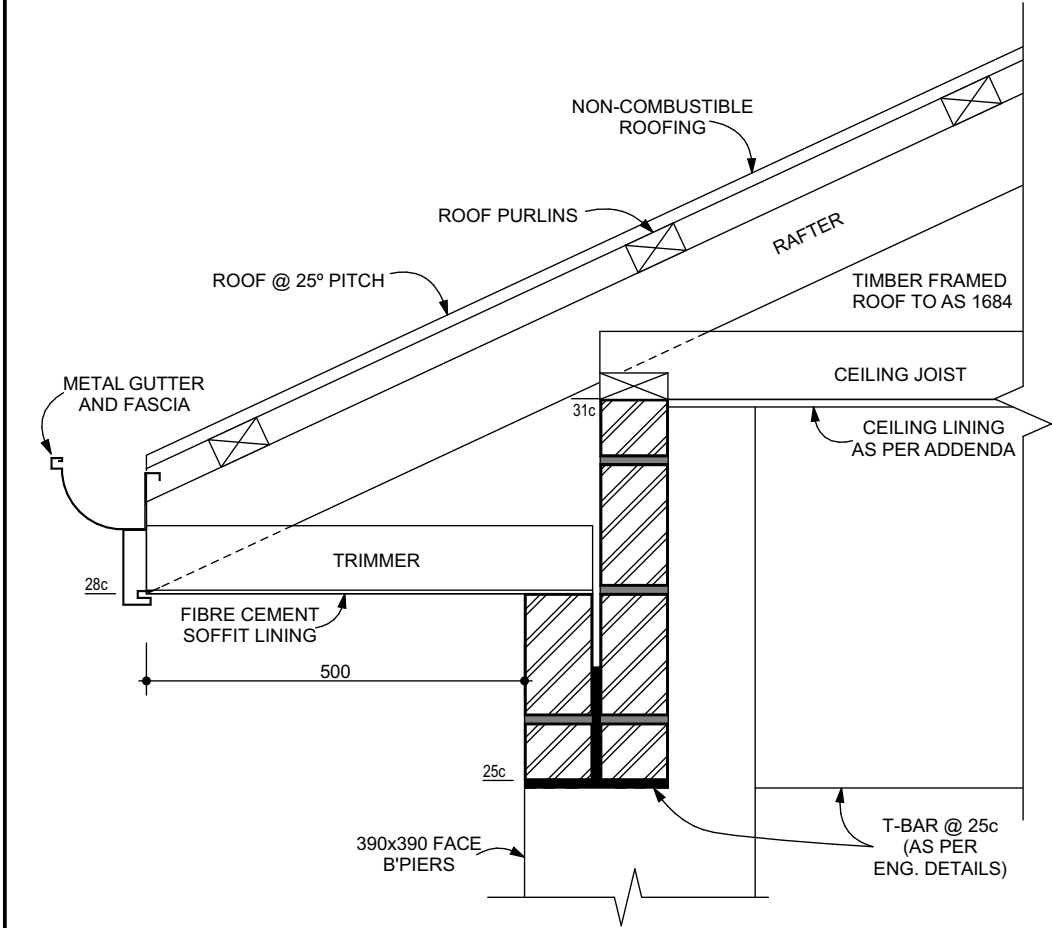
phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: THE GLADES DISPLAY		Job No:19008	Drawing Name: ROOM LAYOUTS 2		Sheet No: 8 of 10
Lot Address: LOT 408 (#72) COLESBROOK DRIVE, BYFORD			Council: SERPENTINE		Specification: DISPLAY
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Client Name: STRATTON OAKFIELD Pty Ltd ATF THE STRATTON OAKFIELD		Date: -----/-----/-----	REV NO.	VARIATION	DATE DRN.
Signature: INVESTMENT UNIT TRUST			1	WORKING DRAWINGS	04/09/18
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			3	VO 1	13/02/19
Client Name:		Date: -----/-----/-----	4	PRESTART	20/03/19
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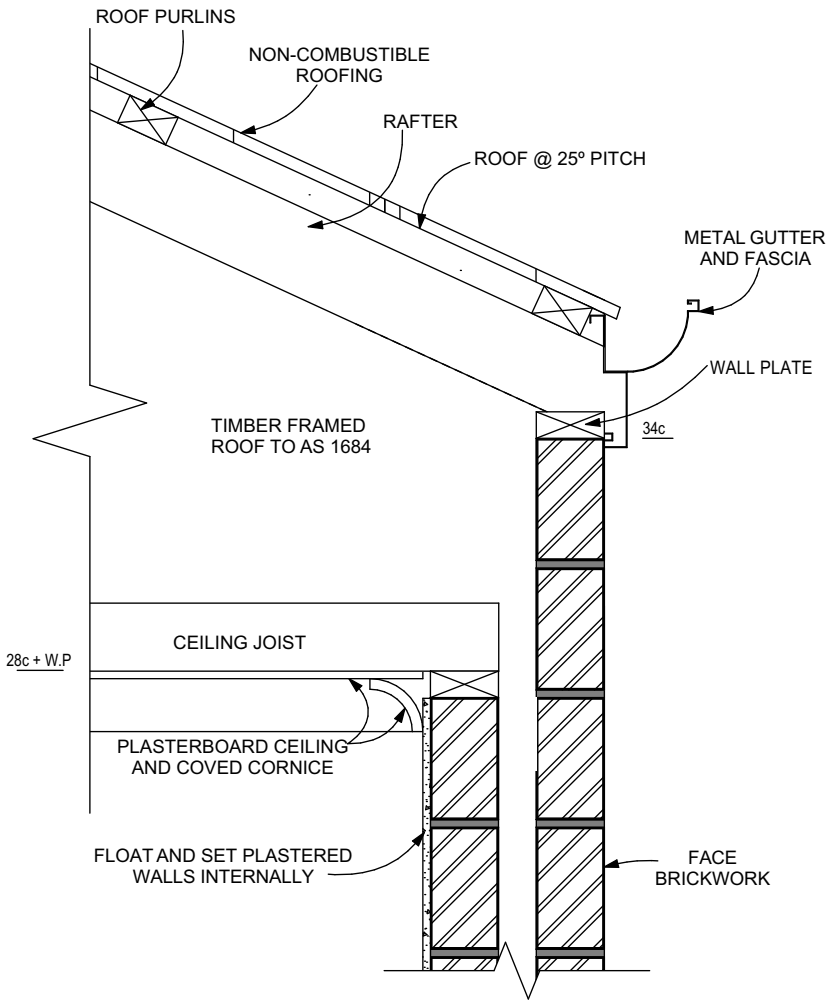


DETAIL 4
1:10

DETAIL 6
1:10



DETAIL 5
1:10



DETAIL 7
1:10



my homes wa

WE TURN A HOUSE INTO A HOME

41 cedric st., stirling

phone - (08) 9440 9200 fax - (08) 9440 9201

House Type: THE GLADES DISPLAY	Job No:19008	Drawing Name: DETAILS	Sheet No: 10 of 10
Lot Address: LOT 408 (#72) COLESBROOK DRIVE, BYFORD		Council: SERPENTINE	Specification: DISPLAY
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT		VARIATIONS	
Client Name: STRATTON OAKFIELD Pty Ltd ATF THE STRATTON OAKFIELD		REV NO.	VARIATION
Signature: INVESTMENT UNIT TRUST		1	WORKING DRAWINGS
Date: -----/-----/-----		2	SITING
Client Name:		3	VO 1
Signature:		4	PRESTART
Date: -----/-----/-----		5	DRAFTING FIXES
The home will be built to the dimensions on the working drawings within a reasonable tolerance		6	
This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed or copied without the permission in writing		7	
		8	
		9	
		10	

