

SURVEYOR NOTES:

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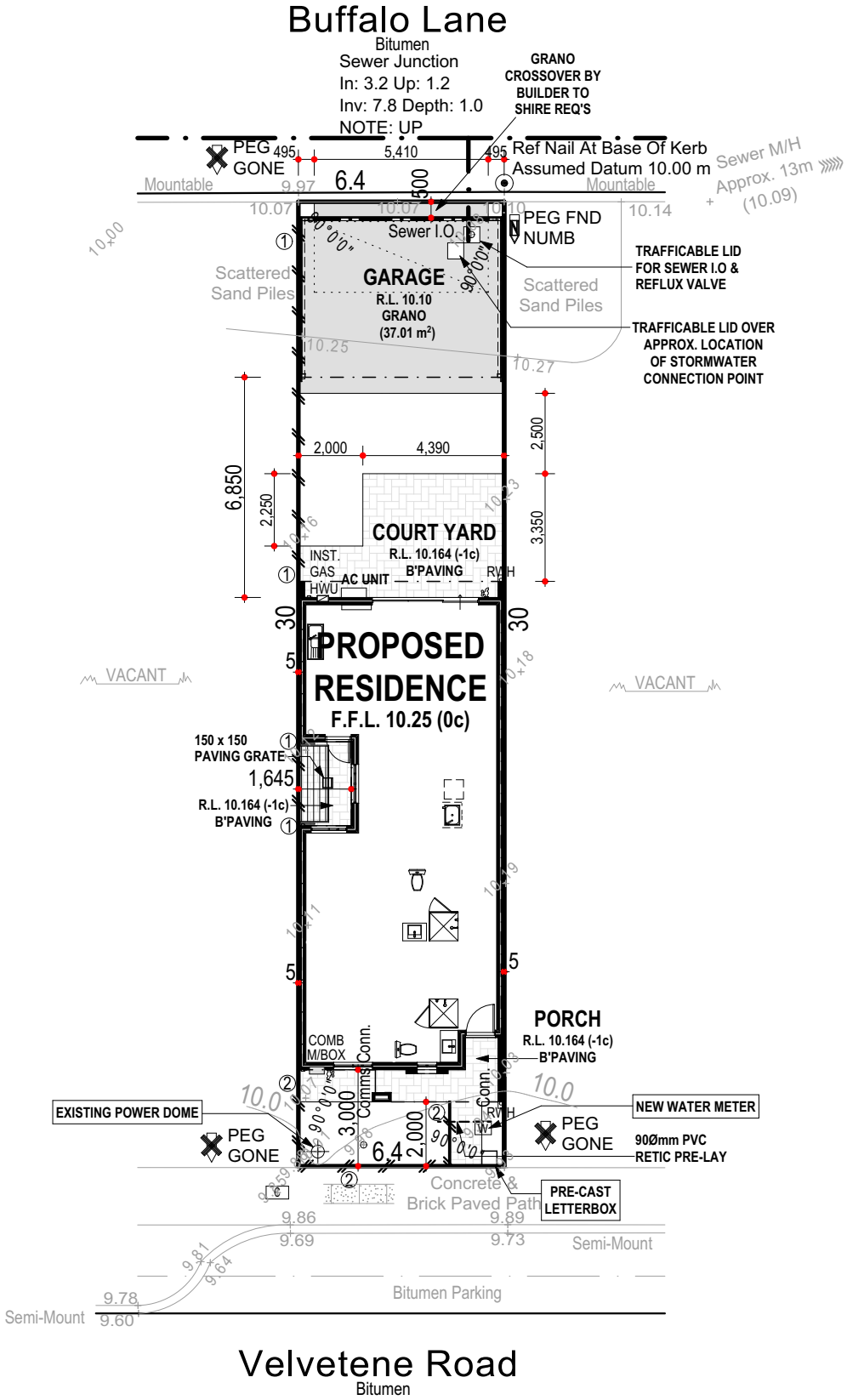
CONSTRUCTION NOTES

- CONCRETOR NOTE:**  
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPENING.
- CONCRETOR / BRICKLAYER NOTE:**  
- B'WALLS ON LOT B'DRY HAS BEEN CALCULATED TO BE SET INSIDE THE B'DRY BY 5mm.  
- B'WALL ON LOT B'DRY HAS BEEN CALCULATED TO BE SET INSIDE THE B'DRY BY 5mm.
- PLUMBER NOTE:**  
- REFER TO PLUMBING PLAN FOR SEWER AND STORMWATER LAYOUTS.
- FENCING CONTRACTOR NOTE:**  
- 1800h C'BOND FENCE W/- CAPPING AS INDICATED BY: ①
- BRICKPAVER NOTE:**  
- BRICK PAVING TO PATHS. EXTENT AS INDICATED.  
- WIDTHS OF BRICK PAVED PATHS TO BE APPROX. 1.0m WIDE UNLESS OTHERWISE INDICATED.
- GENERAL NOTE:**  
- CLOTHESLINES INDICATED AS PER ADDENDA.
- CLIENT NOTE:**  
- 900h POWDER COATED LOOP STYLE FENCE BY CLEINT AS INDICATED BY: ②  
- ALL LANDSCAPING BY OWNER.

DO NOT SCALE FROM THIS DRAWING  
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ALL DIMENSIONS TO BRICKWORK.

LEGEND	⊕	SEC Dome
	≡○≡	Power Pole
	[ T ] [ C ]	Phone Pits
	[ W ]	Water Conn.
	[ TP 10.00 ]	Top Pillar/Post
	[ TW 10.00 ]	Top Wall
	[ TR 10.00 ]	Top Retaining
	[ TF 10.00 ]	Top Fence

**NOTE:**  
TELSTRA/COMMS. PIT NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY. VERIFY AVAILABILITY WITH TELSTRA.



BUILDER:	CLIENT(S):	WITNESS:
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

COTTAGE & ENGINEERING  
SURVEYS

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87-89 Guthrie Street, Osborne Park, Western Australia.  
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998.  
Email : perth@cottage.com.au Website: www.cottage.com.au

AREA:	192m²
SHIRE:	SERPENTINE-JARRAHDALE
D.PLAN:	409207
C/T VOLUMN:	2909
FOLIO:	769
MSD REF:	556-43/69

ROAD DESCR.:	BITUMEN
KERBING:	SEMI-MOUNT / MOUNT
FOOTPATH:	CONC.
SOIL:	SAND
DRAINAGE:	GOOD
VEGETATION:	NILL

GAS:	YES	SSA/OLD AREAS:	SSA
WATER:	YES	C/JOB#:	460851
ELECTRICITY:	U/G	DATE:	18 OCT 19
PH/COMMS:	YES	SCALE:	1:200
SEWER:	YES	DRAWN:	J. GENOVESE
COASTAL:	NO		

UNLOGGED SS PLAN:	N/A
ORIGINAL LOT:	N/A
LOT MISCLOSE:	0.000
SSL 1 MISCLOSE:	N/A
SSL 2 MISCLOSE:	N/A

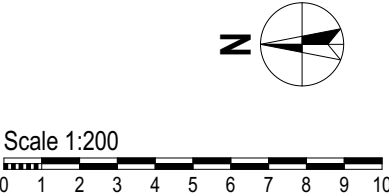
PROPOSED RESIDENCE FOR:  
YUHE GLOBAL INVESTMENT PTY LTD

ADDRESS:  
LOT 25 (#43) VELVETENE ROAD,  
BYFORD

DRAWN:	JS
DESIGNED:	NA
CHECKED:	DM
DATE:	8/11/19
MODEL:	3 BED

SCALE:	1:200
SHEET:	1 OF 9
SIZE:	A3
PROJECTS	
JOB N°	158459

Issue Name	Drawn	Date	Issue Name	Drawn	Date



SUMMIT  
HOMES GROUP

BUILD | RENOVATE | DEVELOP

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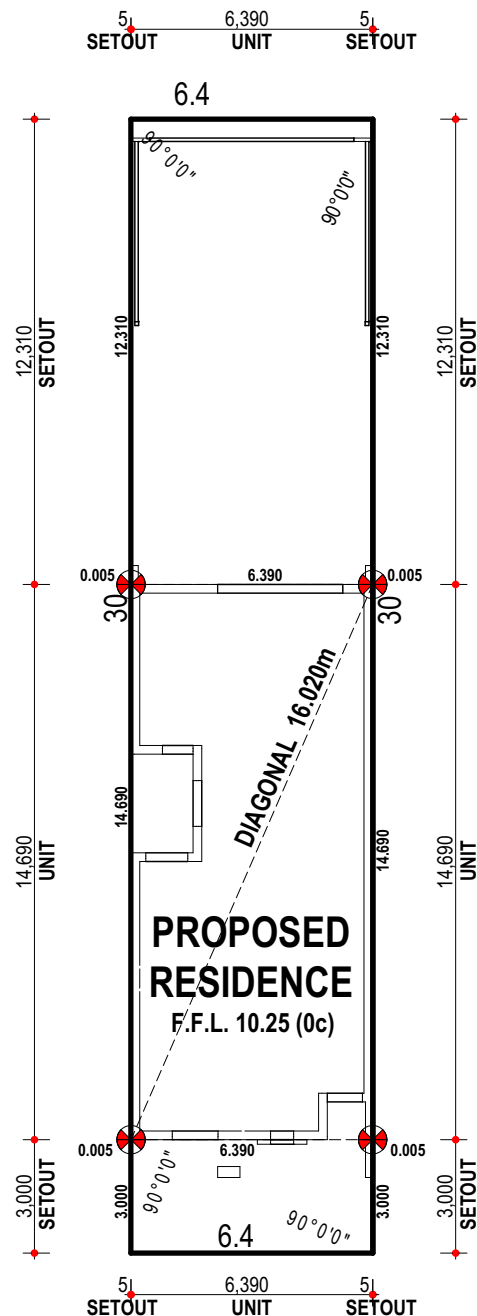
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- B'WALLS ON COMMON LOT B'DRY HAS BEEN CALCULATED TO BE SET INSIDE THE B'DRY BY 5mm.
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**ALL DIMENSIONS TO BRICKWORK.**

<b>LEGEND</b>		SEC Dome
		Power Pole
		Phone Pits
		Water Conn.
	[ TP 10.00 ]	Top Pillar/Post
	[ TW 10.00 ]	Top Wall
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	[ TF 10.00 ]	Top Fence

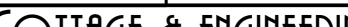
**NOTE:**  
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ADJACENT TO LOT AT TIME OF  
SURVEY. VERIFY AVAILABILITY WITH  
TELSTRA.



BUILDER:	/	/
CLIENT(S):	/	/
WITNESS:	/	/



Scale 1:200

 <p><b>COTTAGE &amp; ENGINEERING SURVEYS</b></p> <p>Licensed Surveyors ©</p> <p>87-89 Guthrie Street, Osborne Park, Western Australia. Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998. Email : perth@cottage.com.au Website: www.cottage.com.au</p>	AREA:	192m²	ROAD DESCR.:	BITUMEN	GAS:	YES	SSA/OLD AREAS:	SSA	UNLODGED SS PLAN:	N/A
	SHIRE:	SERPENTINE-JARRAHDALE	KERBING:	SEMI-MOUNT / MOUNT	WATER:	YES	C/JOB#:	460851	ORIGINAL LOT:	N/A
	D.PLAN:	409207	FOOTPATH:	CONC.	ELECTRICITY:	U/G	DATE:	18 OCT 19	LOT MISCLOSE:	0.000
	C/T VOLUME:	2909	SOIL:	SAND	PH/COMMS:	YES	SCALE:	1:200	SSL 1 MISCLOSE:	N/A
	FOLIO:	769	DRAINAGE:	GOOD	SEWER:	YES	DRAWN:	J. GENOVESE	SSL 2 MISCLOSE:	N/A
MSD REF:	556-43/69	VEGETATION:	NILL	COASTAL:	NO					

PROPOSED RESIDENCE FOR:  
YUHE GLOBAL INVESTMENT PTY LTD

ADDRESS:  
LOT 25 (#43) VELVETENE ROAD,  
BYFORD

DRAWN: JS  
DESIGNED: NA  
CHECKED: DM  
DATE: 8/11/19  
MODEL:  
**3 BED**

SCALE: 1:200  
SHEET: 2 OF 9  
SIZE: A3  
**PROJECT**  
JOB N°  
**158459**

Issue Name	Drawn
SETOUT PLAN	



**SUMMIT**  
HOMES GROUP

BUILD | RENOVATE | DEVELOP

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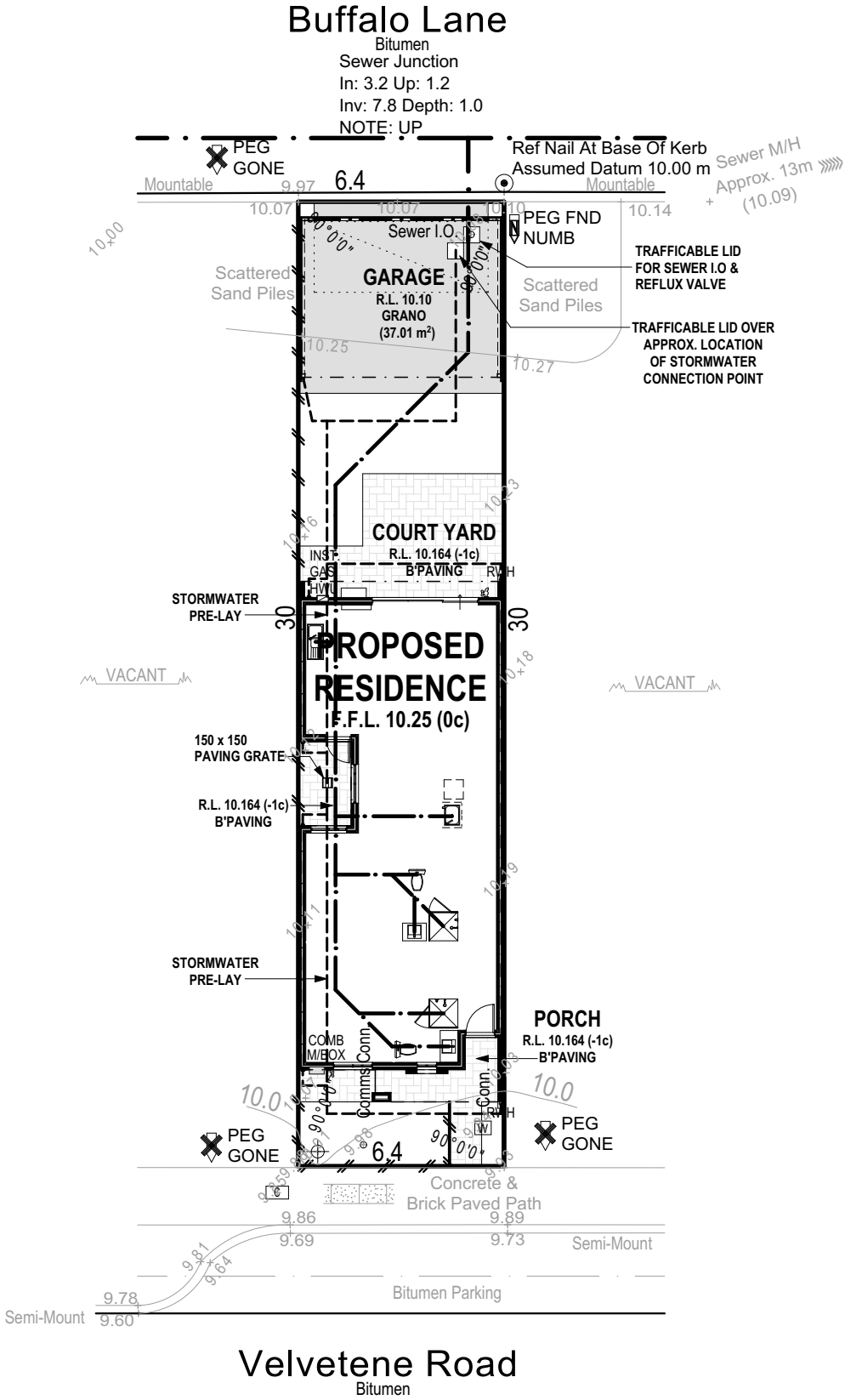
PLUMBER NOTE:

- CONNECT ALL DOWNPIPES TO STORMWATER CONNECTION POINT. APPROX. LOCATION SHOWN ON PLANS
- PART 3.1.2 DRAINAGE: ALL STORMWATER & SURFACE WATER DRAINAGE TO COMPLY W/- A.S. 3500.3:2003, CLAUSE 3.1.2.1 & 3.1.2.5 BCA VOL. 2 & LOCAL AUTHORITY REQUIREMENTS.
- REFLUX VALVE REQUIRED.

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_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

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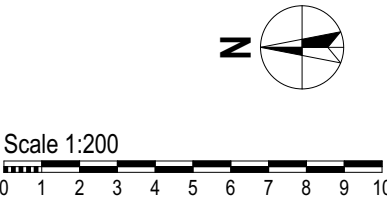
PROPOSED RESIDENCE FOR:  
**YUHE GLOBAL INVESTMENT PTY LTD**

ADDRESS:  
**LOT 25 (#43) VELVETENE ROAD,  
BYFORD**

DRAWN: JS  
DESIGNED: NA  
CHECKED: DM  
DATE: 8/11/19  
MODEL: 3 BED

SCALE: 1:200  
SHEET: 3 OF 9  
SIZE: A3  
**PROJECTS**  
JOB N°  
158459

GAS: YES	SSA/OLD AREAS: SSA	UNLOGGED SS PLAN: N/A
WATER: YES	C/JOB#: 460851	ORIGINAL LOT: N/A
ELECTRICITY: U/G	DATE: 18 OCT 19	LOT MISCLOSE: 0.000
PH/COMMS: YES	SCALE: 1:200	SSL 1 MISCLOSE: N/A
SEWER: YES	DRAWN: J. GENOVESE	SSL 2 MISCLOSE: N/A
COASTAL: NO		



**SUMMIT**  
HOMES GROUP  
BUILD | RENOVATE | DEVELOP

SITE CLASSIFICATION - CLASS 'S'  
(REFER TO SITE REPORT FOR  
DETAILS) WIND LOAD - N1  
CORROSION CLASSIFICATION - R1

BRICK NOTE  
- 2c FACE BRICK TO BE LAID IN THIRD BOND U.N.O

SLAB NOTE  
- 100mm SLAB DUE TO 'S' CLASS SITE

BUSHFIRE ATTACK LEVEL - LOW

CONSTRUCTION TO COMPLY FULLY  
W/- NASH STANDARDS

**ROOF NOTE**

- HOUSE **COLORBOND** ROOF, PITCH AT 25° W/- 500W EAVES UNO
- GARAGE **COLORBOND** ROOF, PITCH AT 5° W/- NO EAVES UNO
- STEEL ROOF FRAME TO NASH STANDARDS
- CEILINGS AT 28c + PLATE UNLESS NOTED OTHERWISE

**ROOF PLUMBER NOTE**

- PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)
- FINAL POSITIONS OF RWP'S TO BE DETERMINED ON SITE
- RWPS IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER SYSTEM (NO KICK)

**ROOF INSULATION NOTE**

- R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL PLASTERBOARD OR VERSILUX CEILINGS IF APPL.

**CEILING MATERIAL NOTE**

- PORCH - HARDIFLEX C.L.
- GARAGE - HARDIFLEX C.L.

**ELECTRICAL NOTE**

- INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS INDICATED ON PLAN ⑤

**FIXING CARPENTER NOTE**

- 4 No. 450D SHELVES TO PANTRY AND LINEN UNO
- 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO
- 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY
- PROVIDE MID-SHELF SUPPORT WHERE NOTED "MSS" TO ANY SHELF OVER 1.8m LONG.
- NOTE SKIRTING BOARDS THROUGHOUT EXCEPT TO WET AREAS, STAIRS (IF ANY), BIR'S & LIN.

**TRADES / SUPERVISOR NOTE**

- REFER TO STRUCTURAL ENGINEERS DETAILS
- ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS & STANDARD SPECIFICATION.

**GENERAL NOTE**

- CARPORT SIZE IS NOT SUITABLE FOR ENCLOSING.

**RENDER WALL NOTE**

- PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED WALLS & H/FLEX / VERSILUX CEILINGS

**SANITARY COMPARTMENTS NOTE**

- WHERE INDICATED BY "WC" DOORS TO SANITARY FACILITIES ARE INSTALLED WITH LIFT-OFF HINGES AS PER PART 3.8.3.3 OF B.C.A. (VOL. 2)

**BRICKLAYER NOTE**

- 1ST FACE BRICKWORK WHERE EVER POSSIBLE.

**AIRCON NOTE**

- PROVIDE SPLIT SYSTEM AIR CONDITIONING. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

**PLUMBER NOTE**

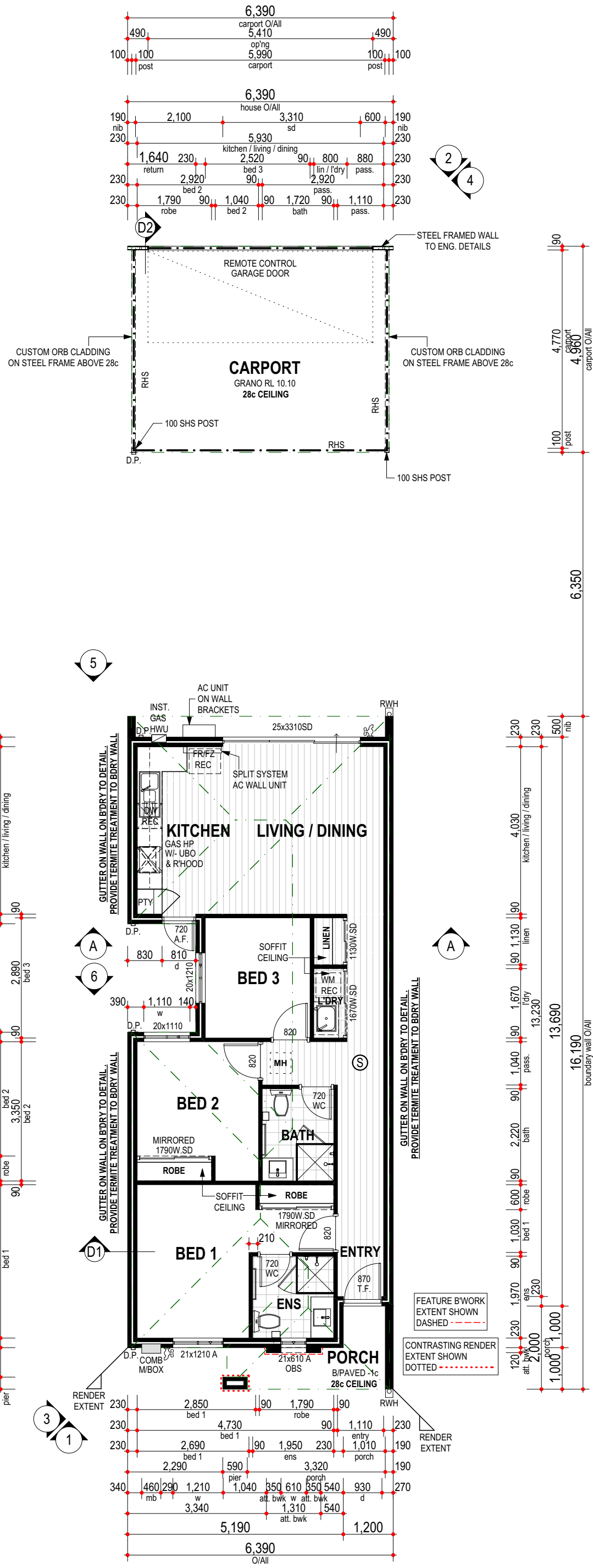
- NO HOBS TO SHOWERS UNLESS SHOWN OTHERWISE.
- PLUMBER TO INSTALL REFLUX VALVE.

WITNESS:	CLIENT(S):	BUILDER:

PROPOSED RESIDENCE FOR:  
YUHE GLOBAL INVESTMENT PTY LTD

ADDRESS:  
LOT 25 (#43) VELVETENE ROAD,  
BYFORD

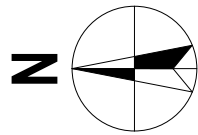
BUILT AROUND PEOPLE



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FLOOR PLAN

	Area m <sup>2</sup>	Perim. L/m
1. FLOOR PLAN	88.39	45.44
2. CARPORT	30.70	22.30
3. PORCH	5.23	12.20
4. TOTAL AREA	124.32	69.94
5. CARPORT ROOF	30.70	22.30
6. HOUSE ROOF	94.05	47.90



DRAWN:	JS	SCALE:	1:100	Issue Name	BAL	Drawn	DMA	Date	30/03/20	Issue Name	Drawn	Date
DESIGNED:	NA	SHEET:	5 OF 9									
CHECKED:	DM	SIZE:	A3									
DATE:	8/11/19											
MODEL:												
3 BED												

PROJECTS  
JOB N°  
158459

FLOOR PLAN



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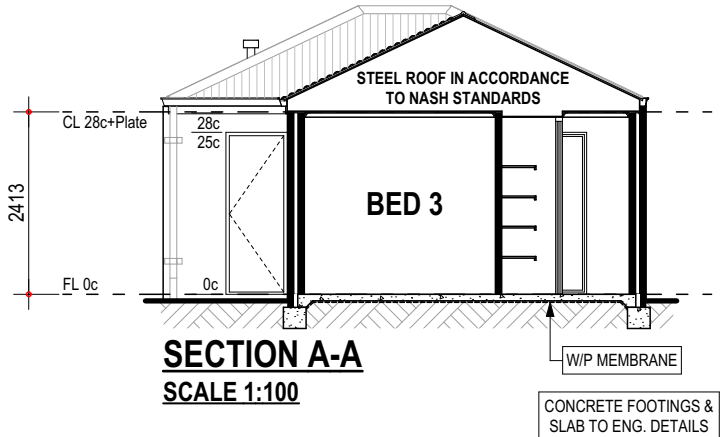
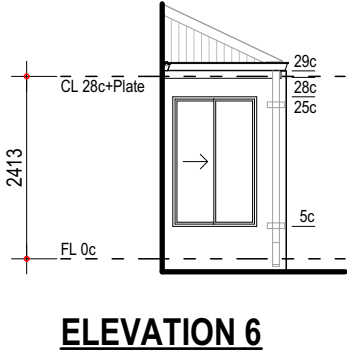
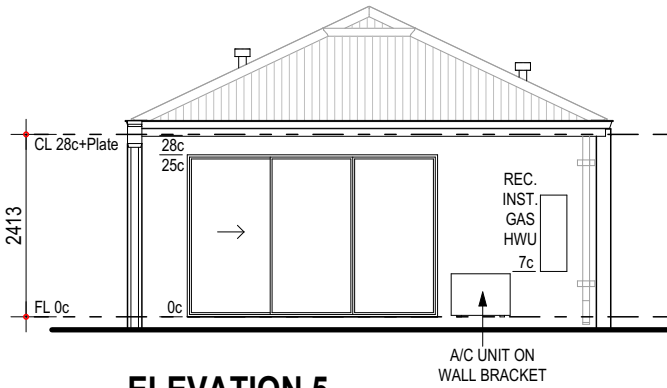
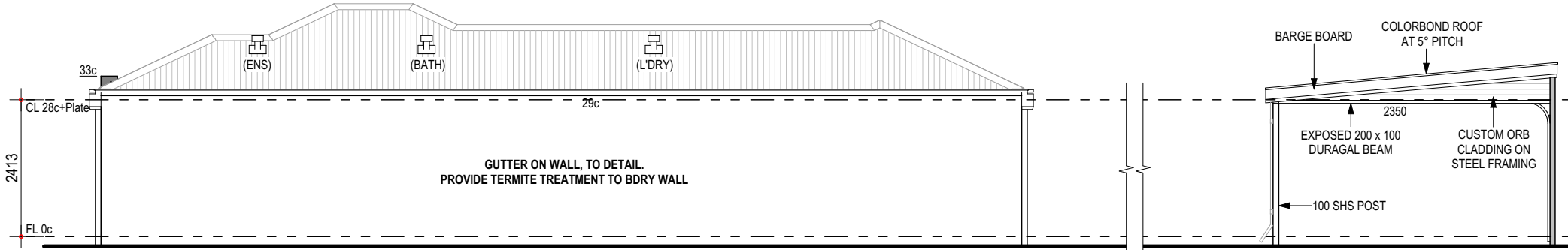
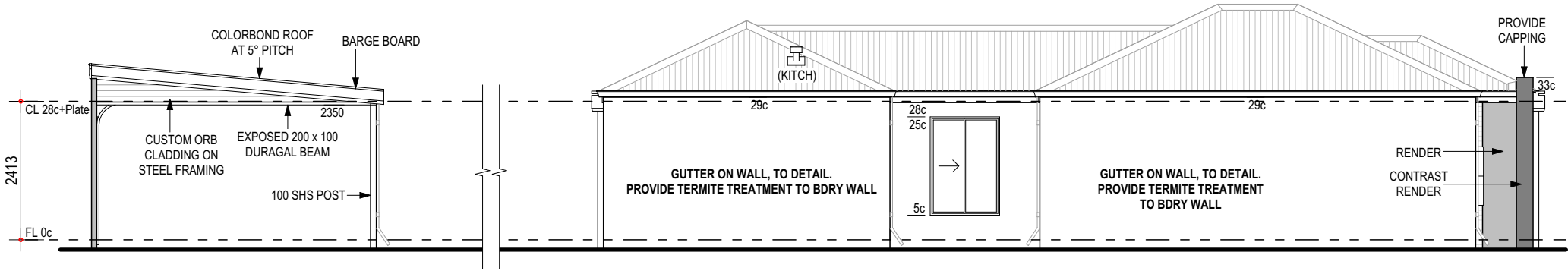
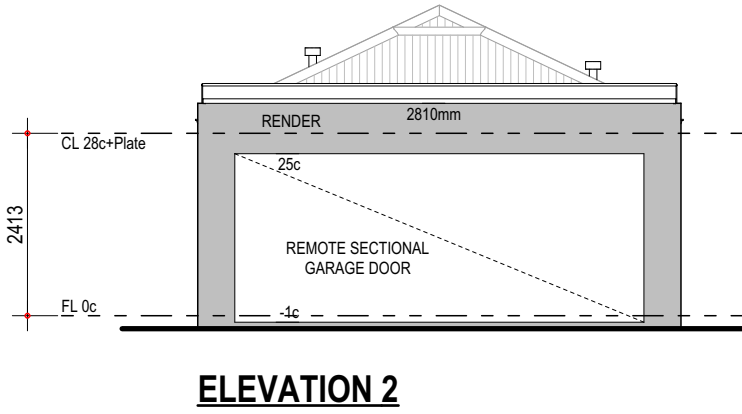
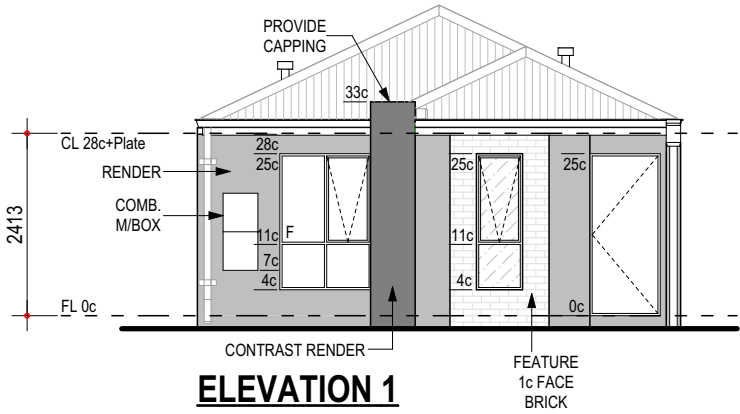
ROOF NOTE

- COLORBOND ROOF, PITCH AT 25° W/- 500W EAVES UNO
- STEEL ROOF IN ACCORDANCE TO NASH STANDARD
- CEILINGS AT 28c + PLATE UNLESS NOTED OTHERWISE

WINDOW SUPPLIER NOTE

- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288

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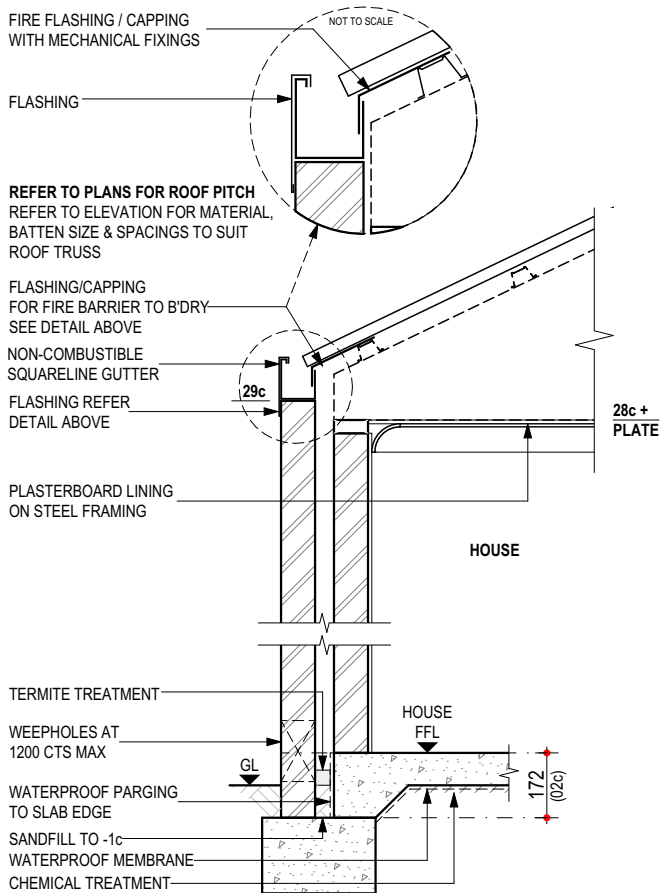
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SHEET: 6 OF 9  
SIZE: A3  
PROJECTS  
JOB N°  
158459

Issue Name	Drawn	Date	Issue Name	Drawn	Date
ELEVATIONS					



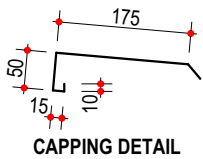


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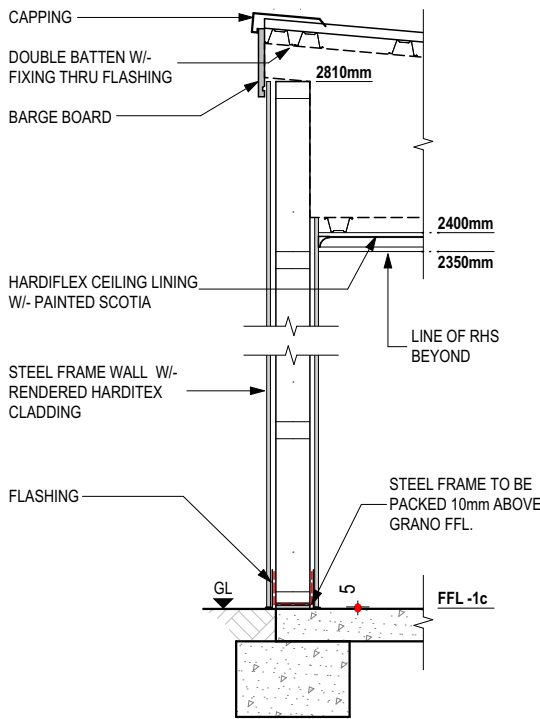


**D01 - GUTTER ON WALL / FLASHING DETAIL TO HOUSE  
W/- TERMITE TREATMENT**

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
  - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
  - REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
  - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
  - SCALE 1 : 20



**CAPPING DETAIL**



**D02 - GARAGE WALL DETAIL**

- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
- SCALE 1 : 20

BUILDER:	.....
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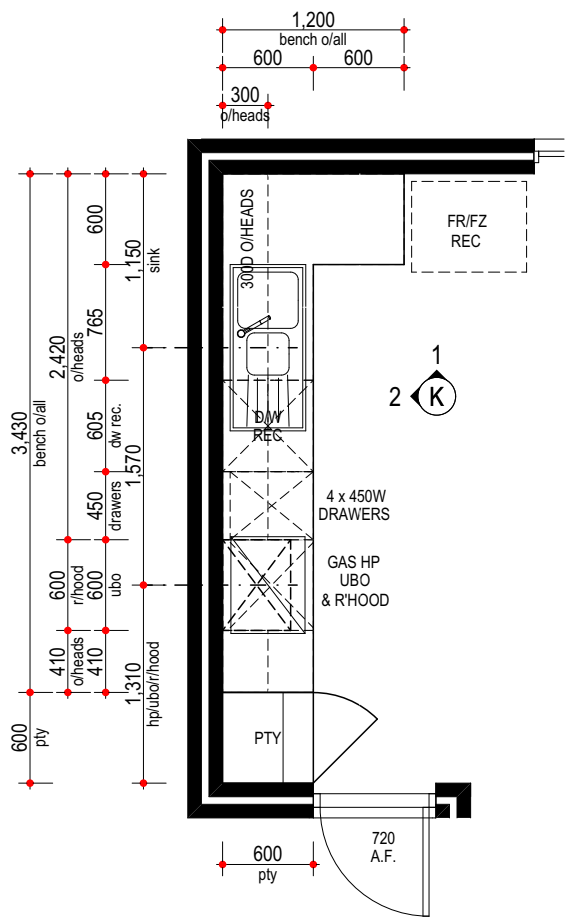
ADDRESS:  
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DRAWN: JS  
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CHECKED: DM  
DATE: 8/11/19  
MODEL: 3 BED

SCALE: AS NOTED  
SHEET: 7 OF 9  
SIZE: A3  
PROJECTS  
JOB N° 158459

Issue Name	Drawn	Date	Issue Name	Drawn	Date
DETAILS					





KITCHEN PLAN

BENCHTOP NOTE

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

WALL FINISH NOTE

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

TILER NOTE

- SHADING DENOTES EXTENT OF TILING  
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET  
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES

CABINETMAKER NOTE

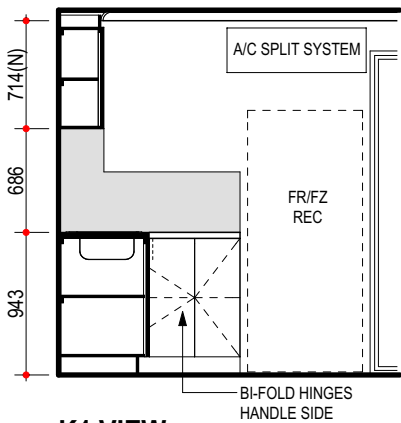
- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

DO NOT SCALE FROM THIS DRAWING

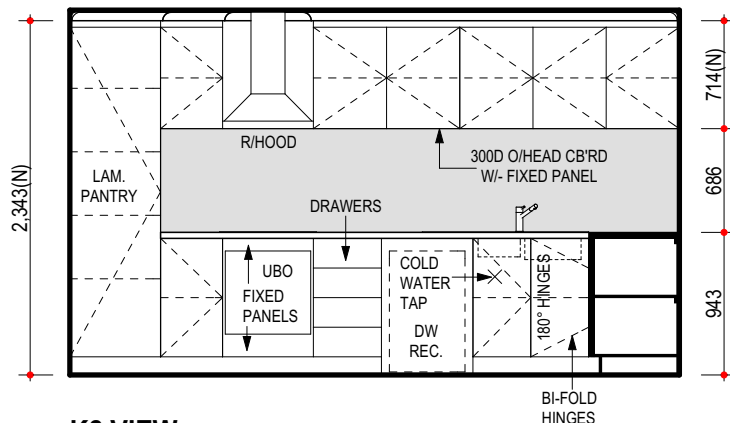
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.  
ALL DIMENSIONS TO BRICKWORK.

REFER TO ADDENDUM FOR FITOUT SPECIFICATION

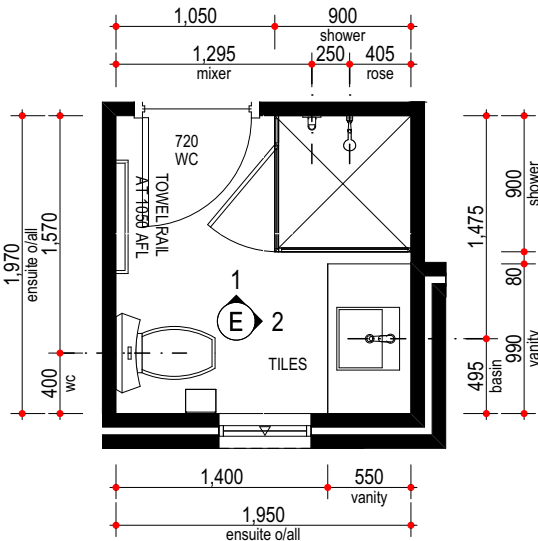
WET AREAS CONSTRUCTED IN ACCORDANCE WITH PART 3.8.1 OF B.C.A. (VOL 2)



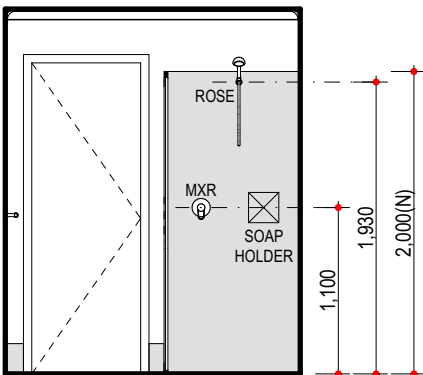
K1 VIEW



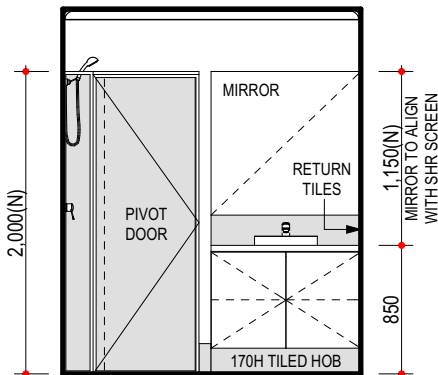
K2 VIEW



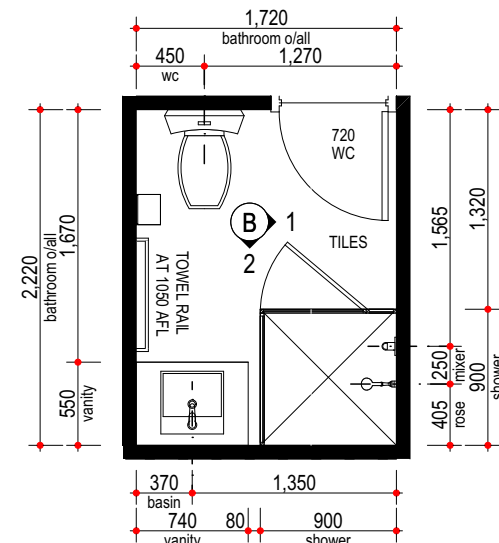
ENSUITE PLAN



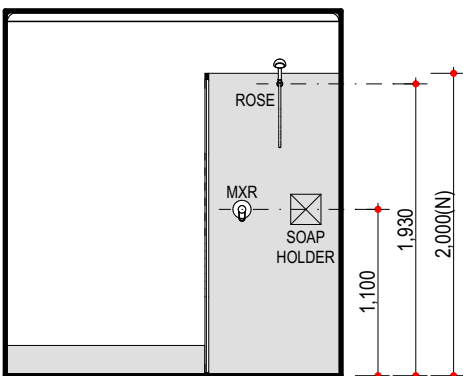
E1 VIEW



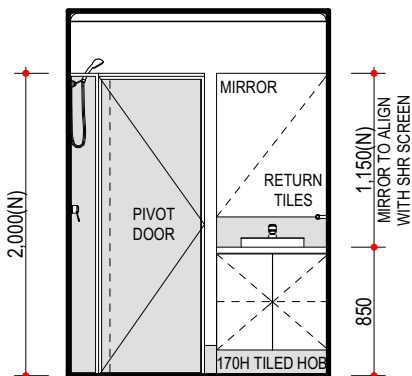
E2 VIEW



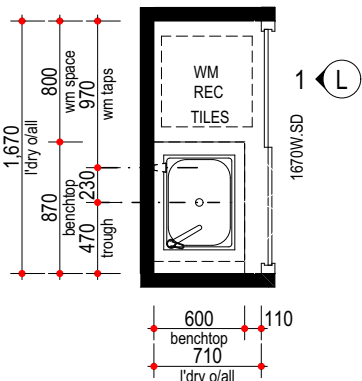
BATH PLAN



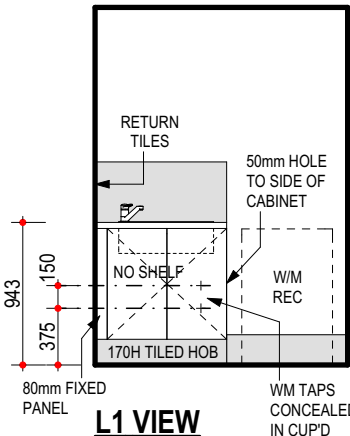
B1 VIEW



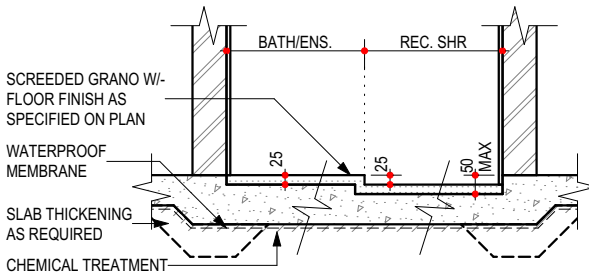
B2 VIEW



L'DRY PLAN



L1 VIEW



RECESSED SHOWER DETAIL (NO HOB)

NOTES:

- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS  
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS  
- SCALE 1 : 20

BUILDER:	
CLIENT(S):	
WITNESS:	

PROPOSED RESIDENCE FOR:  
YUHE GLOBAL INVESTMENT PTY LTD

ADDRESS:  
LOT 25 (#43) VELVETENE ROAD,  
BYFORD

DRAWN: JS  
DESIGNED: NA  
CHECKED: DM  
DATE: 8/11/19  
MODEL: 3 BED

SCALE: 1:50  
SHEET: 8 OF 9  
SIZE: A3  
PROJECTS  
JOB N°  
158459

Issue Name	Drawn	Date	Issue Name	Drawn	Date
ROOM LAYOUTS					



## Ground Floor

**Total Class 1 Wattage= 126**

0   Ground Floor	78.15 Sqm	391 w	126 w	
	78.15 sqm	391 w	126 w	PASS

Total Insulation Area Vents/RangeHoods	78.15 sqm	0.391 sqm	0.136 sqm 0.031 Sqm	
	78.15 sqm	0.391 sqm	0.167 sqm	PASS
	0.21 % R4.0 Insulation Adjustment Not Required			

Room Name	Opn %	Light	Vent.
<b>4   BED 3</b>			
Min. Ventilation = 0.55   Min. Light= 0.74    Total Area= 7.40			
W04   Sliding	50 %	2.07 m2	1.04 m2
<b>Totals</b>	<b>Light</b>	<b>2.07 m2</b>	<b>Vent 1.04 m2</b>
<b>3   BED 2</b>			
Min. Ventilation = 0.65   Min. Light= 0.87    Total Area= 8.65			
W03   Sliding	50 %	1.90 m2	0.95 m2
<b>Totals</b>	<b>Light</b>	<b>1.90 m2</b>	<b>Vent 0.95 m2</b>
<b>2   BED 1</b>			
Min. Ventilation = 0.72   Min. Light= 0.97    Total Area= 9.66			
W02   Awning	33 %	2.18 m2	0.73 m2
<b>Totals</b>	<b>Light</b>	<b>2.18 m2</b>	<b>Vent 0.73 m2</b>
<b>1   LIVING / DINING   KITCHEN</b>			
Min. Ventilation = 1.79   Min. Light= 2.39    Total Area= 23.90			
W05   Sliding Door	33 %	7.09 m2	2.36 m2
D02   Door	100 %	1.74 m2	1.74 m2
<b>Totals</b>	<b>Light</b>	<b>8.83 m2</b>	<b>Vent 4.10 m2</b>



BUILDER: / /

CLIENT(S): / /

WITNESS: / /

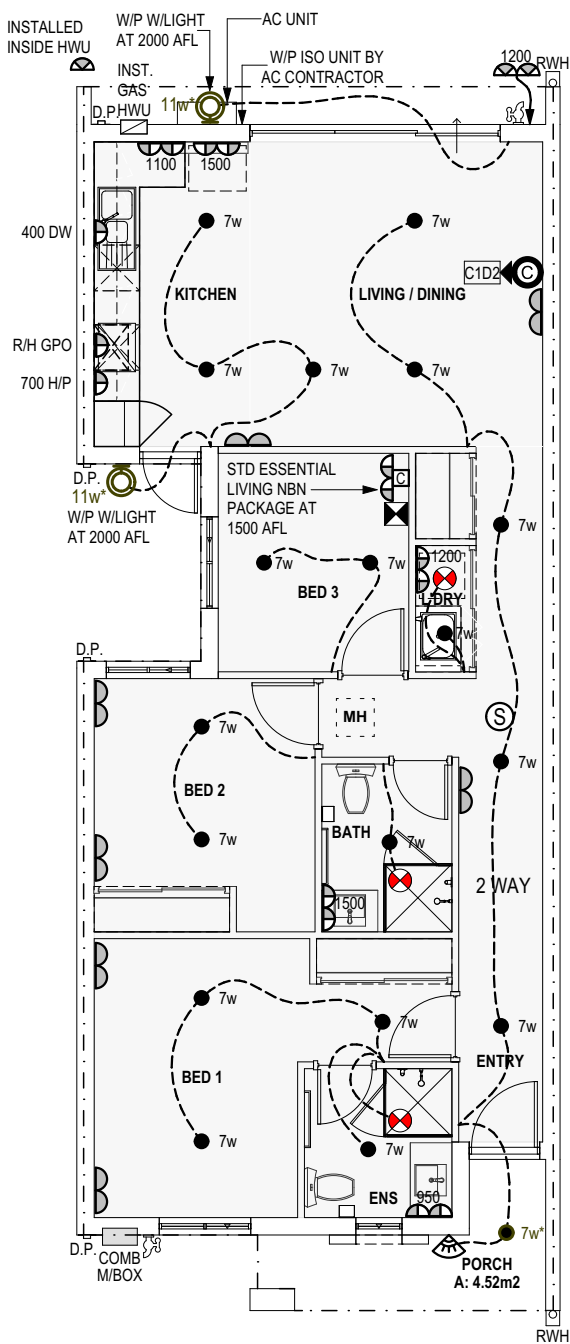
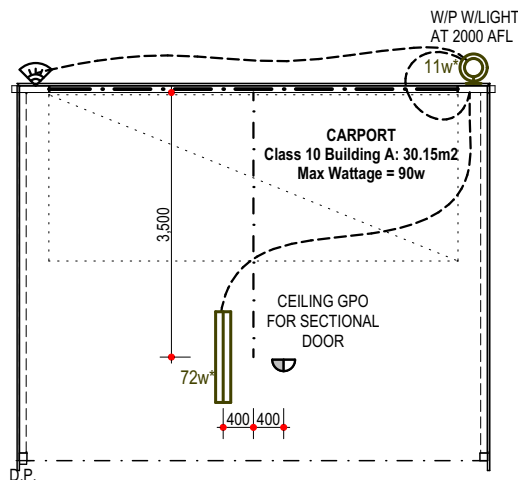
**BUILT AROUND PEOPLE**

158459

Issue Name	Drawn	Date	Issue Name	Drawn	Date
ELECTRICAL PLAN					

- PROVIDE SPLIT SYSTEM AIR CONDITIONING. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

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& notes prior to initiating works. Any  
discrepancies to be notified to the Site  
Supervisor without delay.  
**ALL DIMENSIONS TO BRICKWORK.**



**BUILD | RENOVATE | DEVELOP**