

CONCRETOR NOTE:
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPENING.

PLUMBER NOTE:
- REFER TO PLUMBING PLAN FOR SEWER AND STORMWATER LAYOUTS.

RETAINING CONTRACTOR NOTE:
- TOP OF WALL (TOW) INDICATED FOR CLARITY ONLY.
- ENSURE BOTTOM OF RETAINING IS EMBEDDED SUFFICIENTLY AS REQ. BY ENG. DETAIL.
- REFER TO NEIGHBOURS EXISTING LEVELS OR NOMINATED PAVING / LANDSCAPING LEVELS FOR FULL REQ. RETAINING HEIGHTS.
- REFER TO ENGINEERS DETAILS

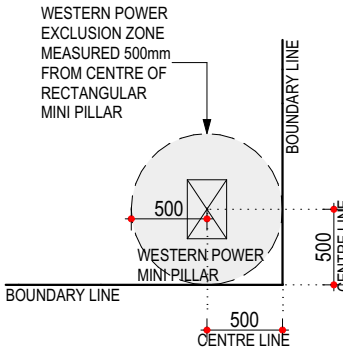
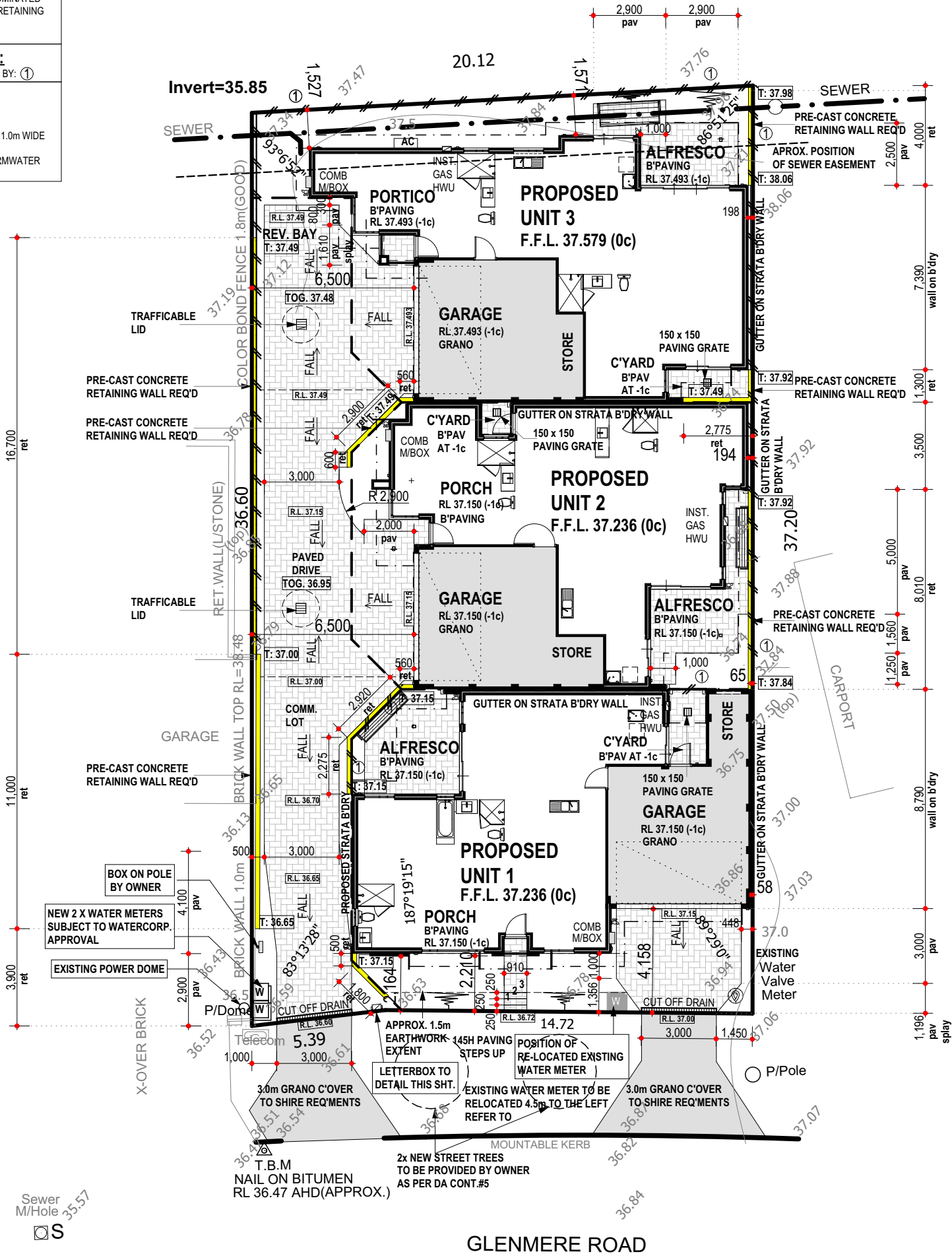
FENCING CONTRACTOR NOTE:
- 1800h C'BOND FENCE W/- CAPPING AS INDICATED BY: ①

BRICKPAVER NOTE:
- BRICK PAVING TO DRIVEWAYS, PATHS. EXTENT AS INDICATED.
- WIDTHS OF BRICK PAVED PATHS TO BE APPROX. 1.0m WIDE UNLESS OTHERWISE INDICATED.
- MAINTAIN NOMINATED PAVING LEVELS FOR STORMWATER RUN OFF.

GENERAL NOTE:
- CLOTHESLINES INDICATED AS PER ADDENDA.

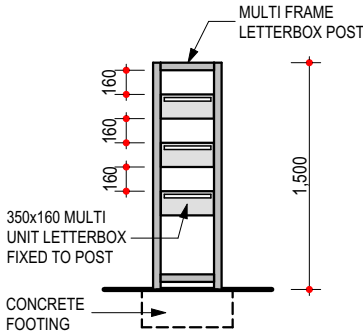
LANDSCAPER NOTE:
- PROVIDE LANDSCAPING & RETIC AS PER PLAN.

DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.



WESTERN POWER MINI PILLAR EXCLUSION ZONE

NOTES:
- EXCLUSION ZONE TO BE FREE OF ALL UNDERGROUND SERVICES OR PIPE WORK.
- EXCLUSION ZONE MUSTY NOT BE IMPEDED VERTICALLY.
- SCALE 1 : 50



LETTERBOX DETAIL A. 3 x MULTI UNIT

NOTES:
- SCALE 1 : 50

ZONING R 20/60
TOTAL SITE AREA 735.95 m²

PROPOSED RESIDENCE FOR:
BUSCLA PTY LTD

ADDRESS:
**LOT 198 (#26) GLENMERE ROAD,
WARWICK.**

DRAWN: WW
DESIGNED: SR
CHECKED: DM
DATE: 22.01.2020
MODEL:
3 X SPECIALS


SCALE: 1:100
SHEET: 2 OF 23
SIZE: A3
PROJECTS
JOB N°
158292

Issue Name Drawn Date
V02 JS 17/04/20
ADD DMA 13/05/20
U2 TAP DMA 20/05/20
JEL DMA 27/05/20
SITE PLAN

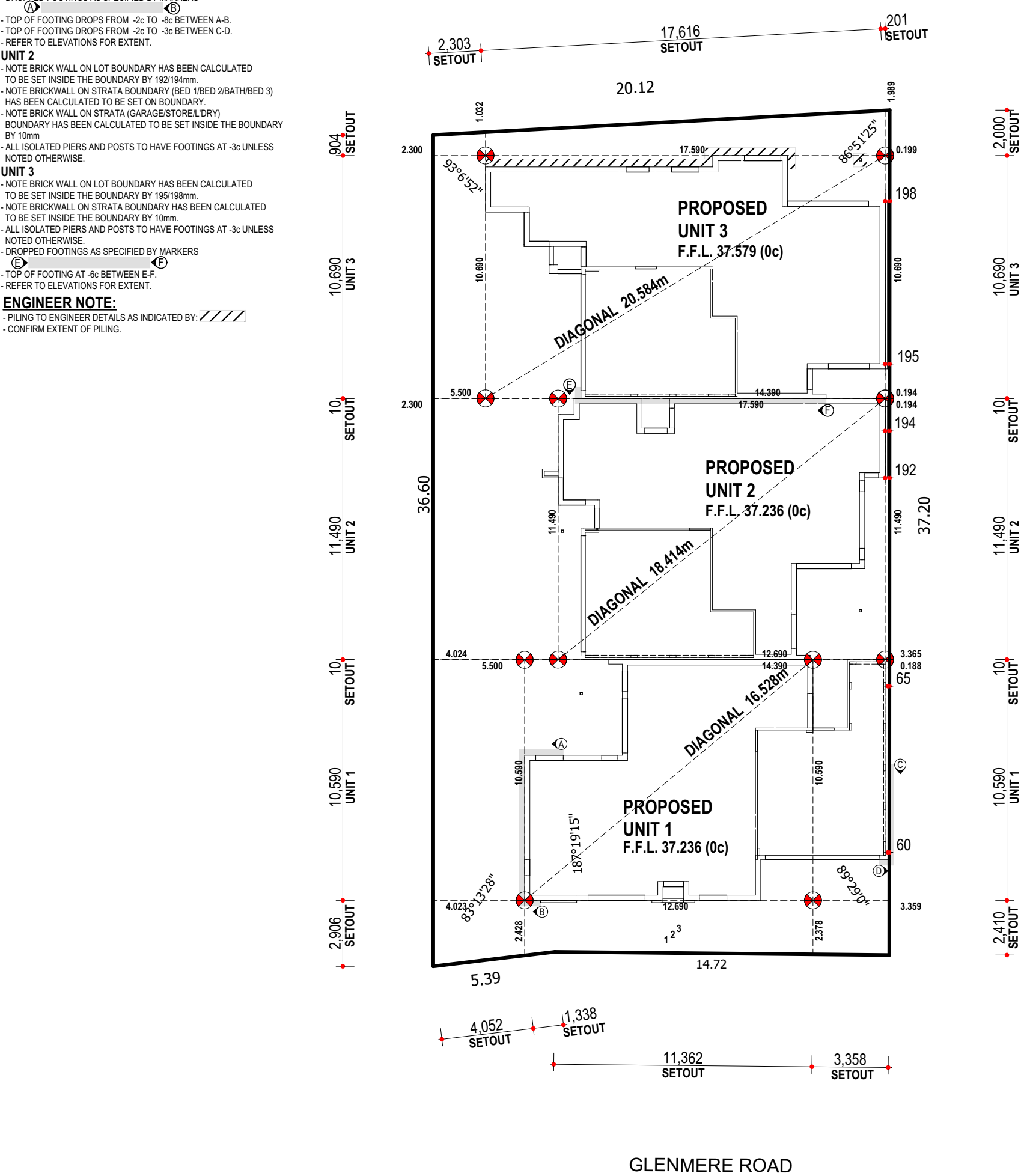


SUMMIT
HOMES GROUP
BUILD | RENOVATE | DEVELOP

CONCRETOR/BRK LAYER NOTE

- UNIT 1
- NOTE BRICK WALL ON LOT BOUNDARY HAS BEEN CALCULATED TO BE SET INSIDE THE BOUNDARY BY 65mm.
 - NOTE BRICKWALL ON STRATA BOUNDARY HAS BEEN CALCULATED TO BE SET ON BOUNDARY.
 - ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c UNLESS NOTED OTHERWISE.
 - DROPPED FOOTINGS AS SPECIFIED BY MARKERS
- UNIT 2
- NOTE BRICK WALL ON LOT BOUNDARY HAS BEEN CALCULATED TO BE SET INSIDE THE BOUNDARY BY 192/194mm.
 - NOTE BRICKWALL ON STRATA BOUNDARY (BED 1/BED 2/BATH/BED 3) HAS BEEN CALCULATED TO BE SET ON BOUNDARY.
 - NOTE BRICK WALL ON STRATA (GARAGE/STORE/L'DRY) BOUNDARY HAS BEEN CALCULATED TO BE SET INSIDE THE BOUNDARY BY 10mm
 - ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c UNLESS NOTED OTHERWISE.
- UNIT 3
- NOTE BRICK WALL ON LOT BOUNDARY HAS BEEN CALCULATED TO BE SET INSIDE THE BOUNDARY BY 195/198mm.
 - NOTE BRICKWALL ON STRATA BOUNDARY HAS BEEN CALCULATED TO BE SET INSIDE THE BOUNDARY BY 10mm.
 - ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c UNLESS NOTED OTHERWISE.
 - DROPPED FOOTINGS AS SPECIFIED BY MARKERS
- ENGINEER NOTE:
- PILING TO ENGINEER DETAILS AS INDICATED BY: 
 - CONFIRM EXTENT OF PILING.

DO NOT SCALE FROM THIS DRAWING
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ALL DIMENSIONS TO BRICKWORK.



BUILDER:	WITNESS:
CLIENT(S):	

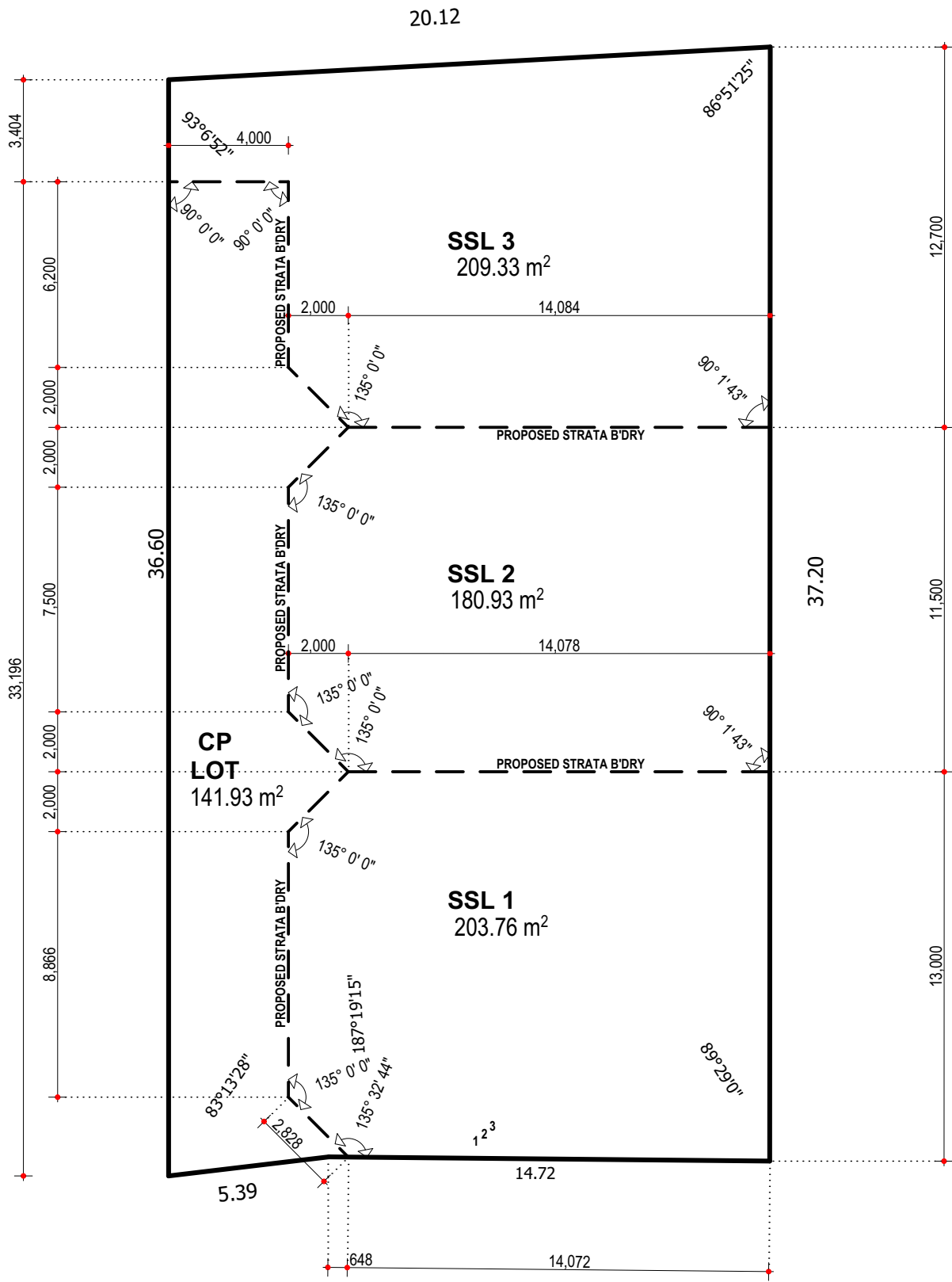
PROPOSED RESIDENCE FOR:
BUSCLA PTY LTD

ADDRESS:
**LOT 198 (#26) GLENMERE ROAD,
WARWICK.**

DRAWN:	WW	SCALE:	1:100	Issue Name	Drawn	Date	Issue Name	Drawn	Date
DESIGNED:	SR	SHEET:	3 OF 23	V02	JS	17/04/20			
CHECKED:	DM	SIZE:	A3	ADD	DMA	13/05/20			
DATE:	22.01.2020	PROJECTS		U2 TAP	DMA	20/05/20			
MODEL:		JOB N°		JEL	DMA	27/05/20			
3 X SPECIALS		158292	SETOUT PLAN						



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ZONING R 20/60
TOTAL SITE AREA 735.95 m²



BUILDER: /
CLIENT(S): /
WITNESS: /

PROPOSED RESIDENCE FOR:
BUSCLA PTY LTD

ADDRESS:
LOT 198 (#26) GLENMERE ROAD,
WARWICK.

DRAWN: WW
DESIGNED: SR
CHECKED: DM
DATE: 22.01.2020
MODEL:
3 X SPECIALS

SCALE: 1:100
SHEET: 4 OF 23
SIZE: A3
PROJECTS
JOB N°
158292

Issue Name	Drawn	Date
V02	JS	17/04/20
ADD	DMA	13/05/20
U2 TAP	DMA	20/05/20
JEL	DMA	27/05/20

STRATA PLAN

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1:20 YEAR STORM EVENT

UNIT 1

Soak Well Type	No.	
SW 1500x1500	1	2.7 m3
Total Capacity		2.7 m3
Roof Area GF		155.0 m2
Paved Area		30.0 m2
Total Area		185.0 m2
Capacity Required (Area x 0.0130)		2.4 m3
Extra Capacity Provided		0.2 m3

UNIT 2

Soak Well Type	No.	
SW 1500x1500	1	2.7 m3
Total Capacity		2.7 m3
Roof Area GF		151.0 m2
Paved Area		30.0 m2
Total Area		181.0 m2
Capacity Required (Area x 0.0130)		2.4 m3
Extra Capacity Provided		0.3 m3

UNIT 3

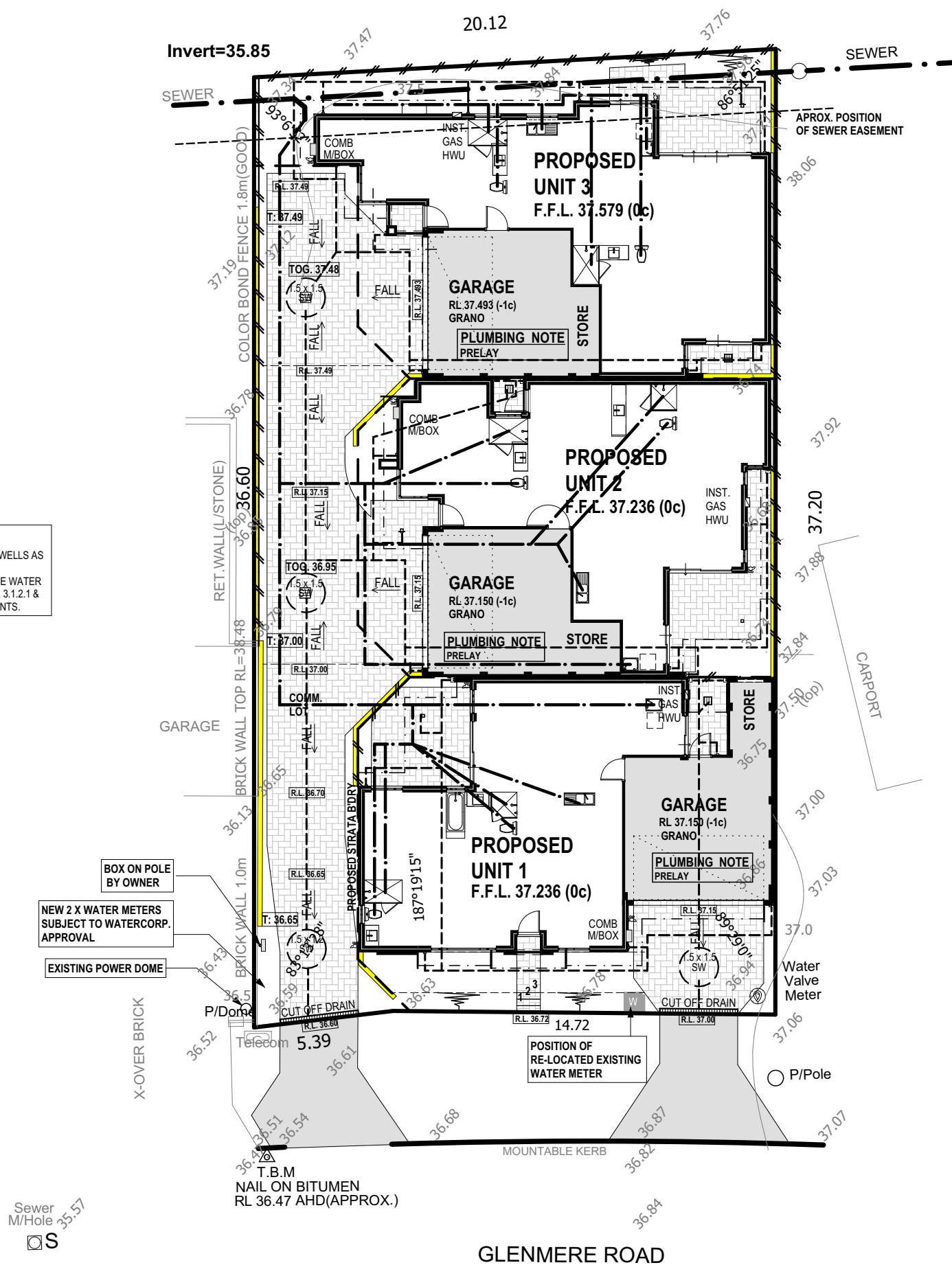
Soak Well Type	No.	
SW 1500x1500	1	2.7 m3
Total Capacity		2.7 m3
Roof Area GF		162.0 m2
Paved Area		30.0 m2
Total Area		192.0 m2
Capacity Required (Area x 0.0130)		2.5 m3
Extra Capacity Provided		0.2 m3

COMM. LOT

Soak Well Type	No.	
SW 1500x1200	1	2.1 m3
Total Capacity		2.1 m3
Roof Area GF		0.0 m2
Paved Area		140.0 m2
Total Area		140.0 m2
Capacity Required (Area x 0.0130)		1.8 m3
Extra Capacity Provided		0.3 m3

PLUMBER NOTE:

- CONNECT ALL DOWNPIPES TO STORMWATER SOAKWELLS AS PER SHIRE REQUIREMENTS.
- PART 3.1.2 DRAINAGE: ALL STORMWATER & SURFACE WATER DRAINAGE TO COMPLY W/ A.S. 3500.3:2003, CLAUSE 3.1.2.1 & 3.1.2.5 BCA VOL. 2 & LOCAL AUTHORITY REQUIREMENTS.



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ALL DIMENSIONS TO BRICKWORK.

BUILDER: / /

CLIENT(S): / /

WITNESS: / /

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ADDRESS:
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WARWICK.

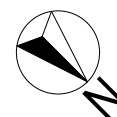
DRAWN: WW
DESIGNED: SR
CHECKED: DM
DATE: 22.01.2020
MODEL:
3 X SPECIALS

ZONING R 20/60
TOTAL SITE AREA 735.95 m²

SCALE: 1:100
SHEET: 5 OF 23
SIZE: A3
PROJECTS
JOB N°
158292

Issue Name	Drawn	Date
V02	JS	17/04/20
ADD	DMA	13/05/20
U2 TAP	DMA	20/05/20
JEL	DMA	27/05/20

PLUMBING PLAN



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BUILD | RENOVATE | DEVELOP

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SITE CLASSIFICATION - CLASS 'A'
(REFER TO SITE REPORT FOR
DETAILS) WIND LOAD - N1
CORROSION CLASSIFICATION - R3

BRICK NOTE
- 2c FACE BRICK TO BE LAID IN THIRD BOND U.N.O

ROOF NOTE
- COLORBOND ROOF, PITCH AT 25° W/- 500W EAVES UNO
- STEEL ROOF FRAME TO NASH STANDARDS
- CEILINGS AT 31c + PLATE UNLESS NOTED OTHERWISE

ROOF PLUMBER NOTE
- PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)
- FINAL POSITIONS OF RWP'S TO BE DETERMINED ON SITE
- RWP'S IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER SYSTEM (NO KICK)

ROOF INSULATION NOTE
- R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL PLASTERBOARD OR VERSILUX CEILINGS IF APPL.

ELECTRICAL NOTE
- INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS INDICATED ON PLAN

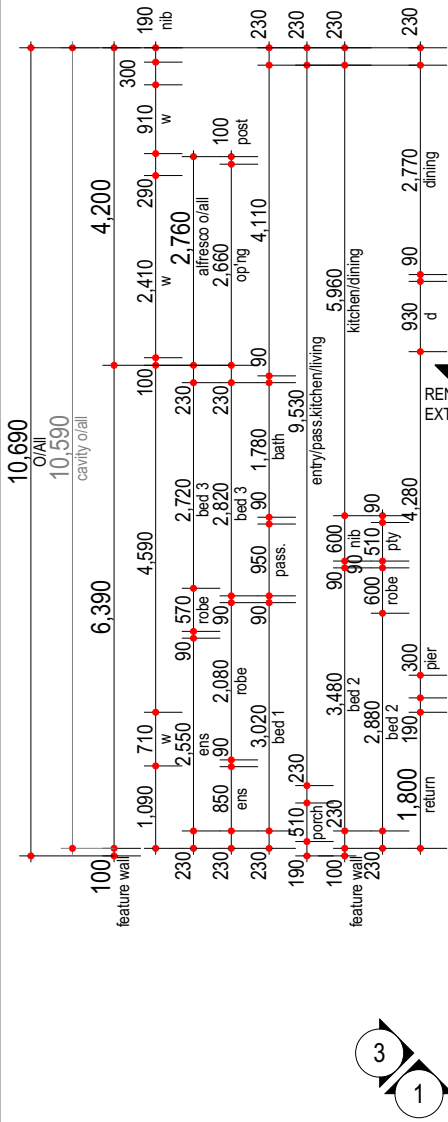
FIXING CARPENTER NOTE
- 4 No. 450D SHELVES TO PANTRY AND LINEN UNO
- 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO
- 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY
- PROVIDE MID-SHELF SUPPORT WHERE NOTED "MSS" TO ANY SHELF OVER 1.8m LONG.

CEILING MATERIAL NOTE
- PORCH - PLASTERBOARD C.L
- GARAGE/STORE - PLASTERBOARD C.L
- ALFRESCO - (INC. AREAS SHOWN HATCHED) - VERSILUX C.L.

GARAGE NOTE
- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OP'NG

RENDER WALL NOTE
- PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED WALLS & H/FLEX / VERSILUX CEILINGS

TRADES / SUPERVISOR NOTE
- REFER TO STRUCTURAL ENGINEERS DETAILS
- ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS & STANDARD SPECIFICATION.



CONCRETOR/BRK LAYER NOTE
- NOTE BRICK WALL ON LOT BOUNDARY HAS BEEN CALCULATED TO BE SET INSIDE THE BOUNDARY BY 60/65mm.
- NOTE BRICKWALL ON STRATA BOUNDARY HAS BEEN CALCULATED TO BE SET ON BOUNDARY.
- ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c UNLESS NOTED OTHERWISE.
- DROPPED FOOTINGS AS SPECIFIED BY MARKERS
- TOP OF FOOTING DROPS FROM -2c TO -8c BETWEEN A-B.
- TOP OF FOOTING DROPS FROM -2c TO -3c BETWEEN C-D.
- REFER TO ELEVATIONS FOR EXTENT.

WITNESS:	CLIENT(S):	BUILDER:

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BUSCLA PTY LTD

ADDRESS:
LOT 198 (#26) GLENMERE ROAD,
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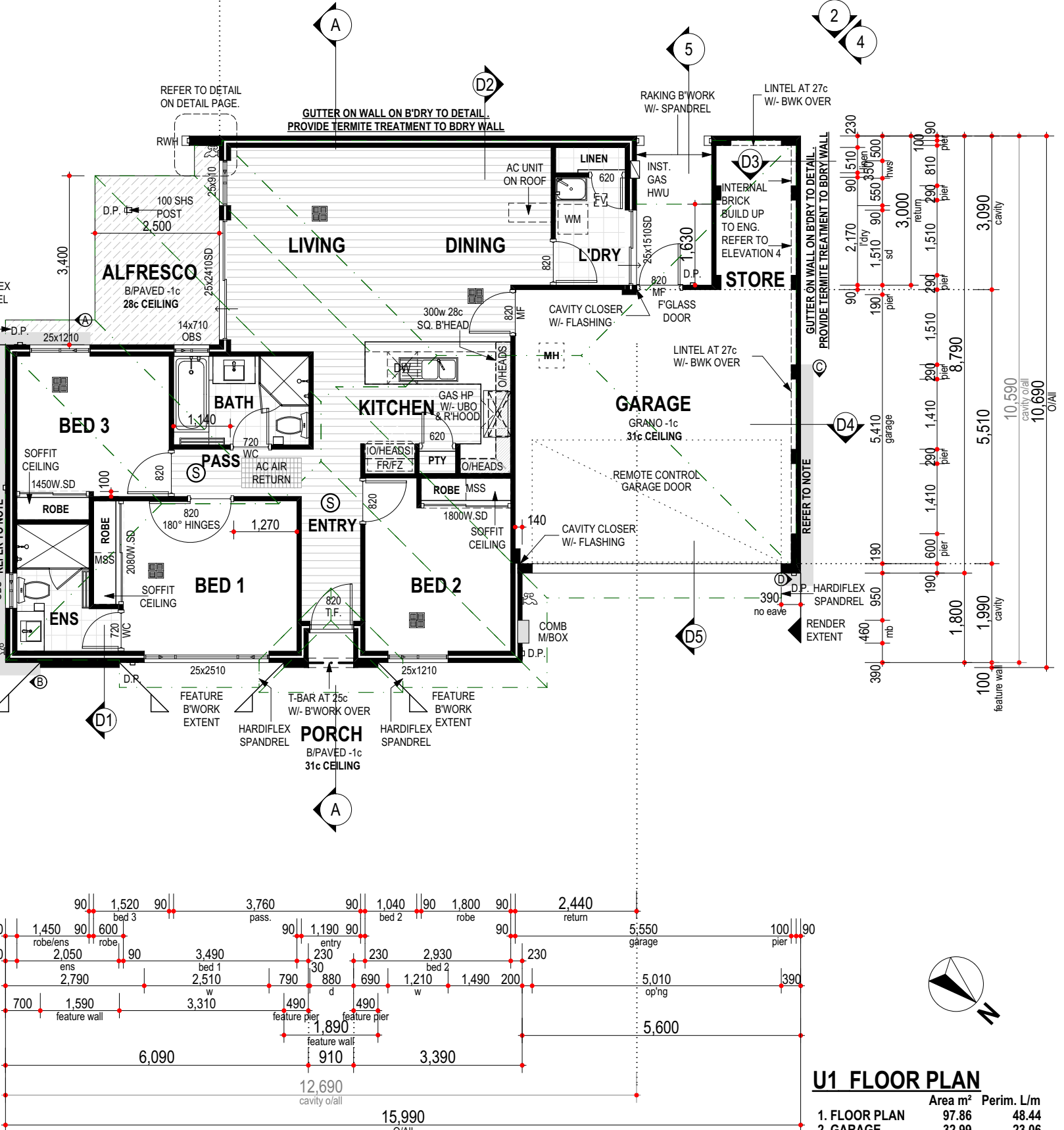
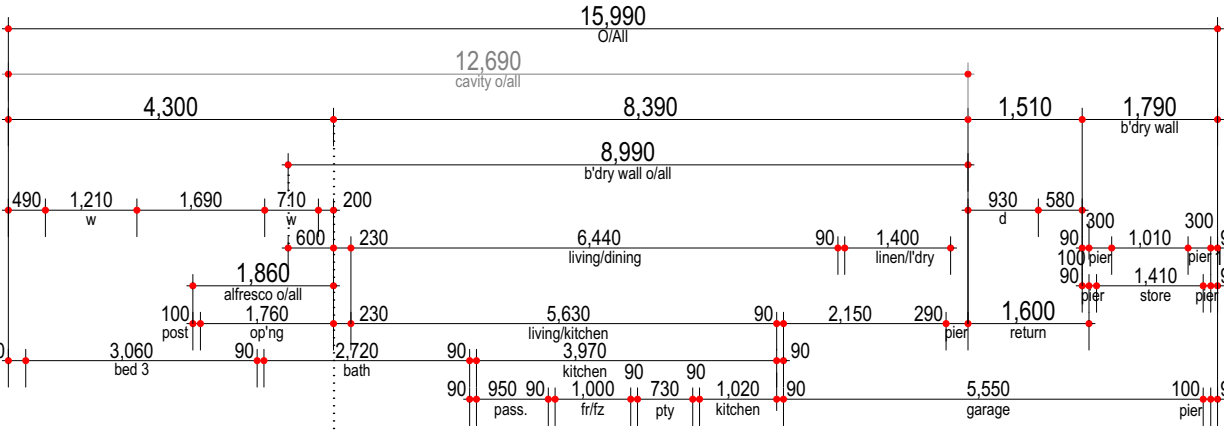
BUILT AROUND PEOPLE

BRICKLAYER NOTE

- FOR 2c GARAGE:
- 25c, 27c & 31c GARAGE HAS 4c LINTEL
- 28c GARAGE HAS 3c LINTEL

AIRCONE NOTE

- PROVIDE DUCTED REVERSE CYCLE AIR CONDITIONING.
- OUTLET POSITIONS TO BE CONFIRM BY SUPPLIER.
- EXTERNAL UNIT (ON ROOF) NOT TO BE VISIBLE FROM THE STREET.



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U1 FLOOR PLAN

	Area m ²	Perim. L/m
1. FLOOR PLAN	97.86	48.44
2. GARAGE	32.99	23.06
3. PORCH	0.73	5.18
4. STORE	5.37	9.58
5. ALFRESCO	5.80	9.80
6. TOTAL AREA	142.65	59.36
7. ROOF	155.03	56.56



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BUILD | RENOVATE | DEVELOP

DRAWN: WW
DESIGNED: SR
CHECKED: DM
DATE: 22.01.2020
MODEL: 3 X SPECIALS

SCALE: 1:100
SHEET: 6 OF 23
SIZE: A3
PROJECTS
JOB N° 158292

Issue Name
V02
ADD
U2 TAP
JEL
Drawn
JS
DMA
DMA
Date
17/04/20
13/05/20
20/05/20
27/05/20

Issue Name
Drawn
Date

U1_FLOOR PLAN

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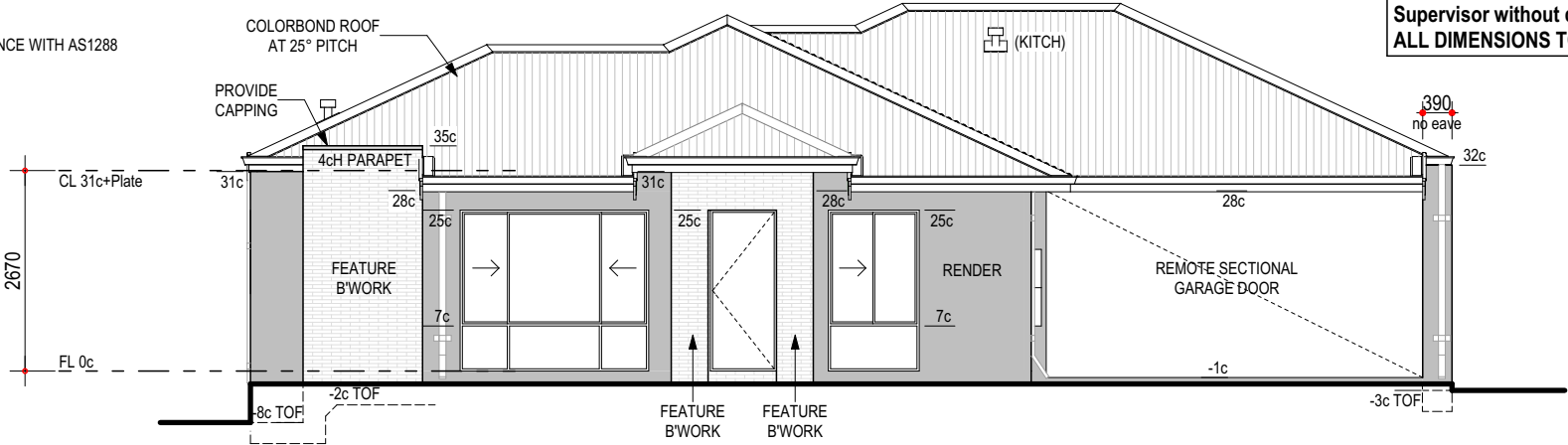
ROOF NOTE

- COLORBOND ROOF, PITCH AT 25° W/- 500W EAVES UNO
- STEEL ROOF IN ACCORDANCE TO NASH STANDARD
- CEILINGS AT 31c + PLATE UNLESS NOTED OTHERWISE

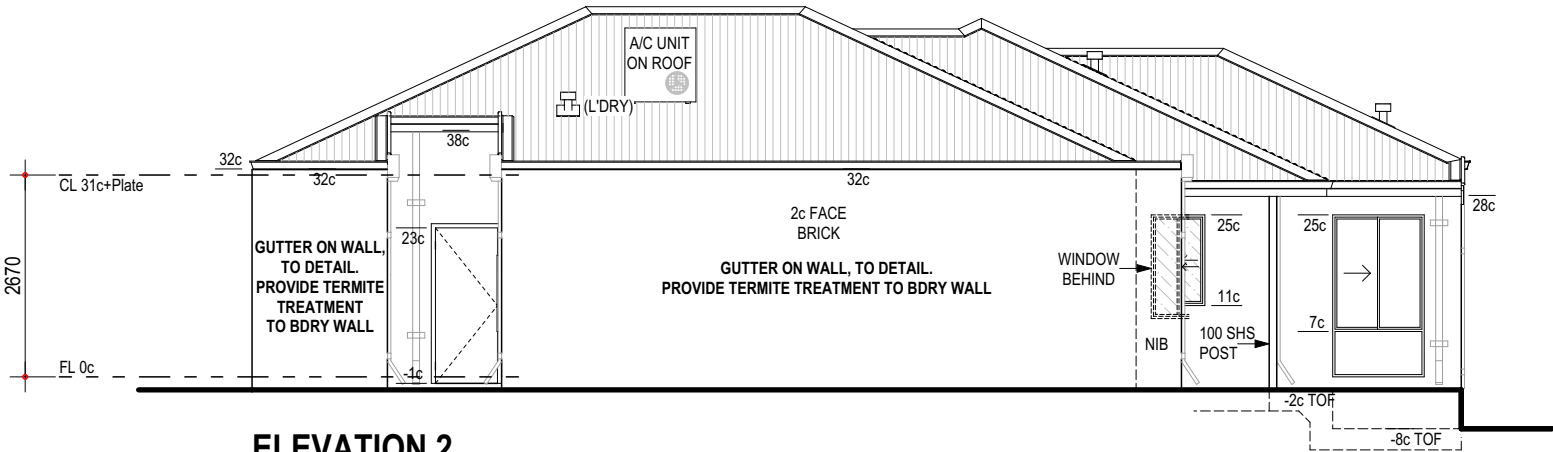
WINDOW SUPPLIER NOTE

- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288

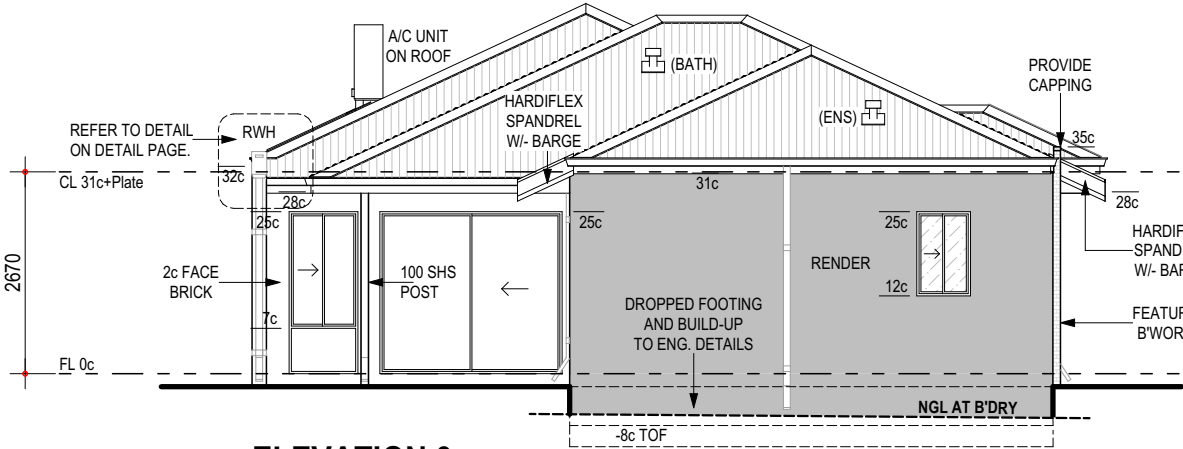
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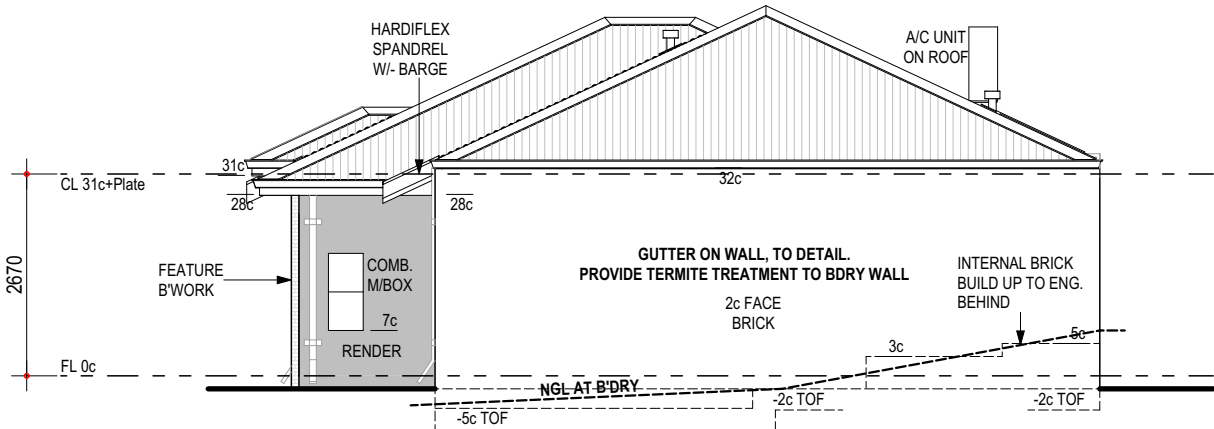
ELEVATION 1



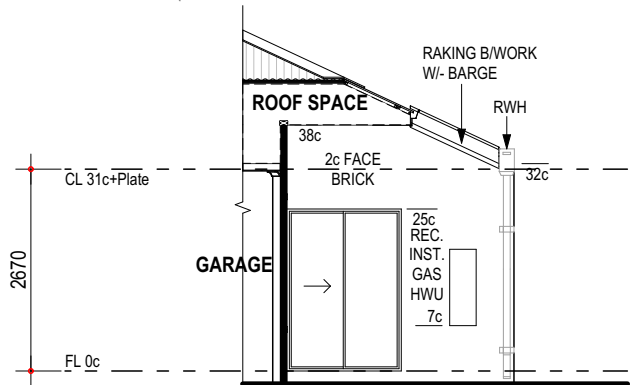
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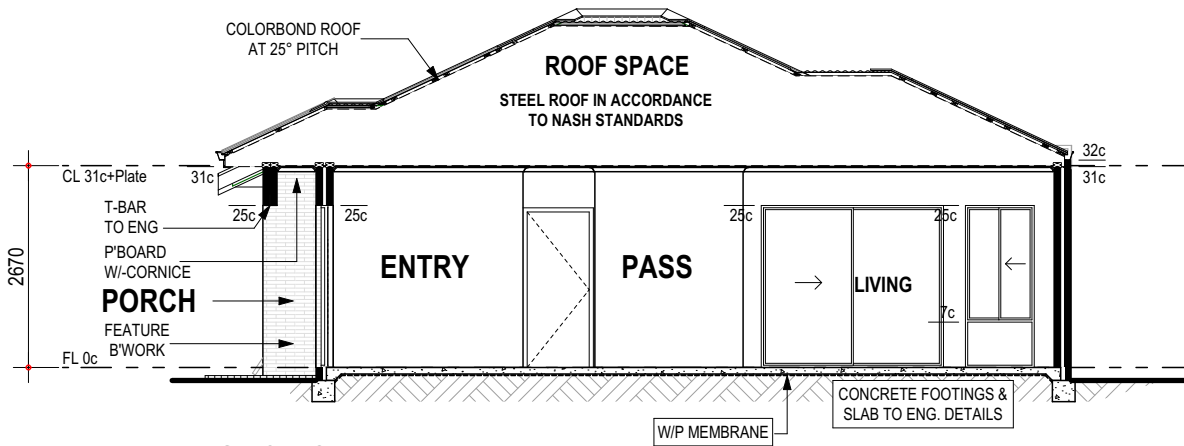
ELEVATION 3



ELEVATION 4



ELEVATION 5



SECTION A-A
SCALE 1:100

WITNESS:	CLIENT(S):	BUILDER:

PROPOSED RESIDENCE FOR:
BUSCLA PTY LTD

ADDRESS:
LOT 198 (#26) GLENMERE ROAD,
WARWICK.

DRAWN: WW
DESIGNED: SR
CHECKED: DM
DATE: 22.01.2020
MODEL: 3 X SPECIALS

SCALE: 1:100
SHEET: 7 OF 23
SIZE: A3
PROJECTS
JOB N° 158292

Issue Name	Drawn	Date
V02	JS	17/04/20
ADD	DMA	13/05/20
U2 TAP	DMA	20/05/20
JEL	DMA	27/05/20

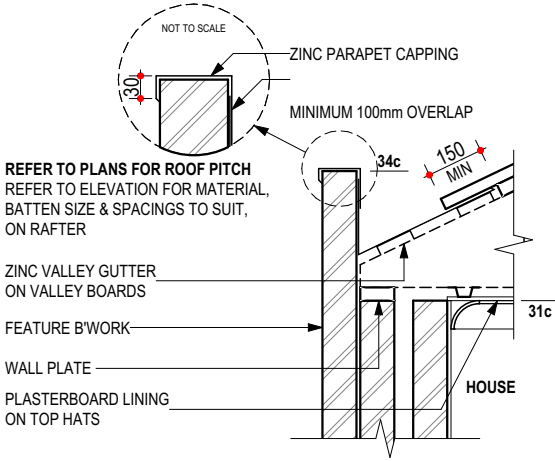
U1_ELEVATIONS



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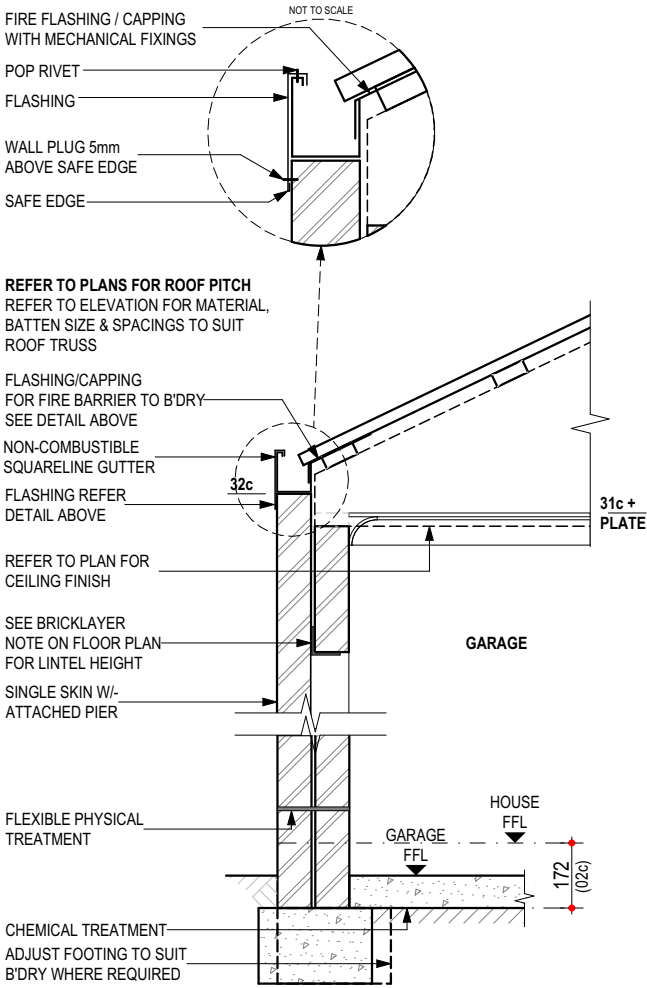
BUILD | RENOVATE | DEVELOP

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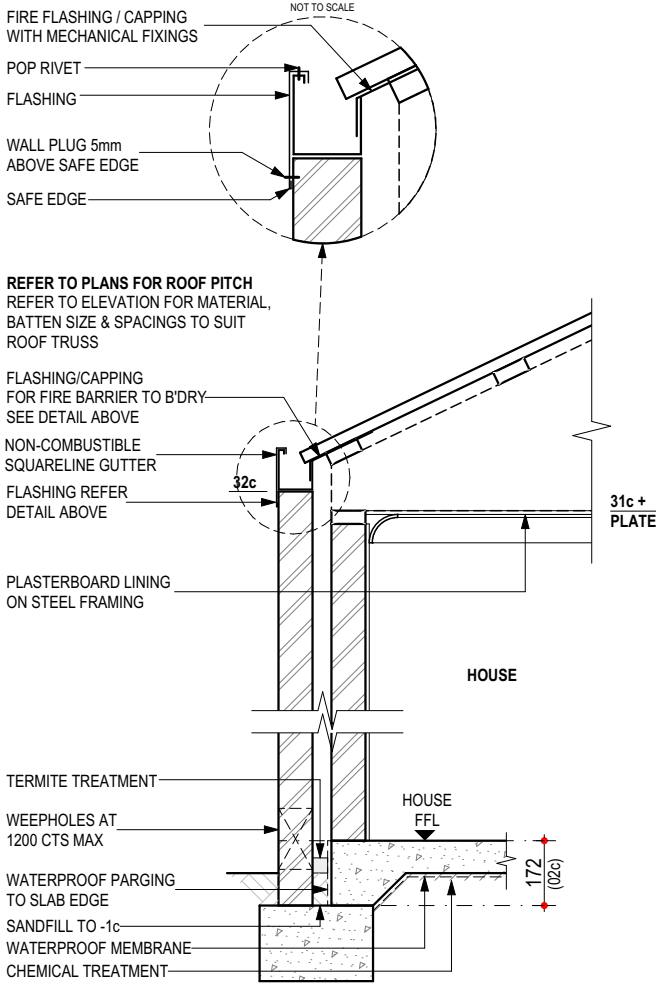
D1 - FEATURE PARAPET WALL DETAIL

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
 - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 - REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
 - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
 - SCALE 1 : 20



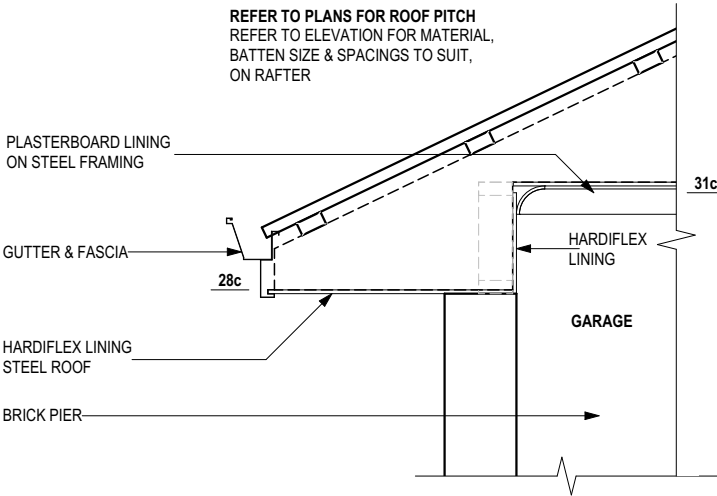
D4 - GUTTER ON WALL/FLASHING DETAIL TO GARAGE W/- TERMITE TREATMENT

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
 - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 - REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
 - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
 - SCALE 1 : 20



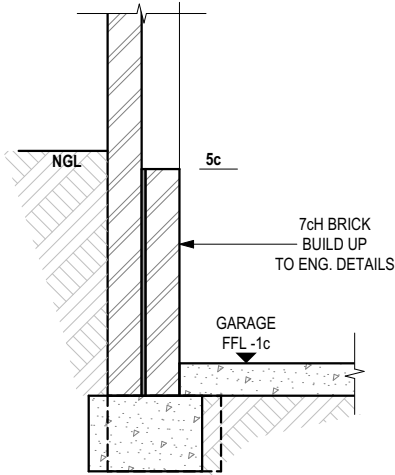
D2 - GUTTER ON WALL / FLASHING DETAIL TO HOUSE W/- TERMITE TREATMENT

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
 - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 - REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
 - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
 - SCALE 1 : 20



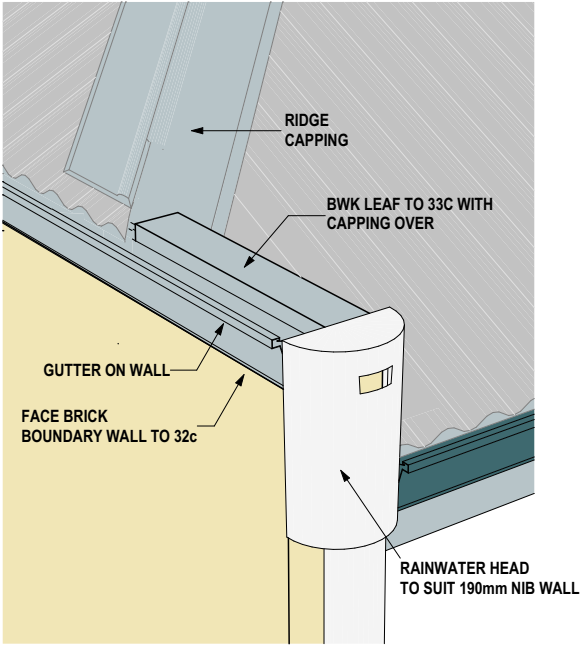
D5 - GARAGE W/- EAVES & P'BOARD CEILING

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
 - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 - REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
 - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
 - SCALE 1 : 20



D3 - BUILD UP TO GARAGE

- NOTES:**
- REFER TO ENGINEERS DRAWINGS
 - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 - REFER TO ENGINEERS DRAWINGS FOR FOOTING.
 - SCALE 1 : 20



RAINWATER HEAD TO NIB WALL DETAIL - N.T.S.

BUILDER:	CLIENT(S):	WITNESS:
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

PROPOSED RESIDENCE FOR:
BUSCLA PTY LTD

ADDRESS:
**LOT 198 (#26) GLENMERE ROAD,
WARWICK.**

DRAWN: WW
DESIGNED: SR
CHECKED: DM
DATE: 22.01.2020
MODEL:
3 X SPECIALS

SCALE: AS NOTED
SHEET: 8 OF 23
SIZE: A3
PROJECTS
JOB N°
158292

Issue Name	Drawn	Date
V02	JS	17/04/20
ADD	DMA	13/05/20
U2 TAP	DMA	20/05/20
JEL	DMA	27/05/20

U1_DETAILS



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BENCHTOP NOTE

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

WALL FINISH NOTE

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

CABINETMAKER NOTE

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

TILER NOTE

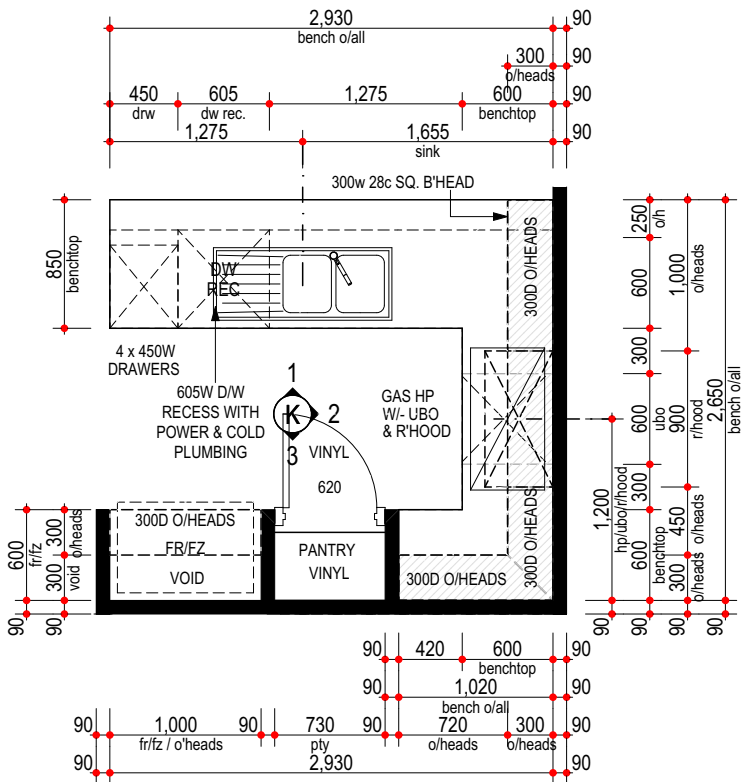
- SHADING DENOTES EXTENT OF TILING
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES.
- MITRED TILES THROUGHOUT WHERE APPLICABLE.

DO NOT SCALE FROM THIS DRAWING

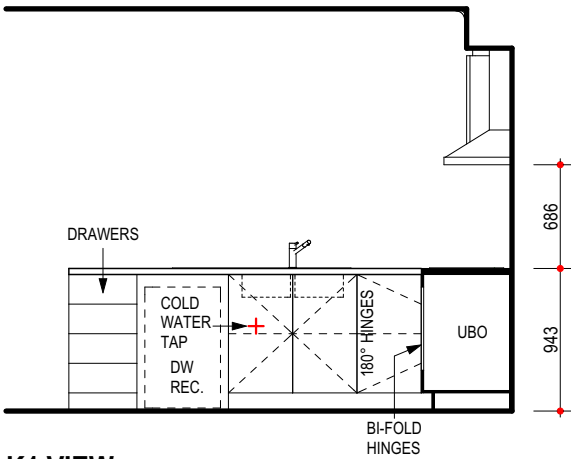
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REFER TO ADDENDUM FOR FITOUT SPECIFICATION

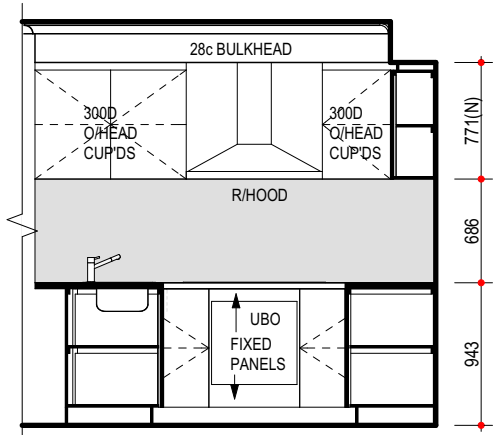
WET AREAS CONSTRUCTED IN ACCORDANCE WITH PART 3.8.1 OF B.C.A. (VOL 2)



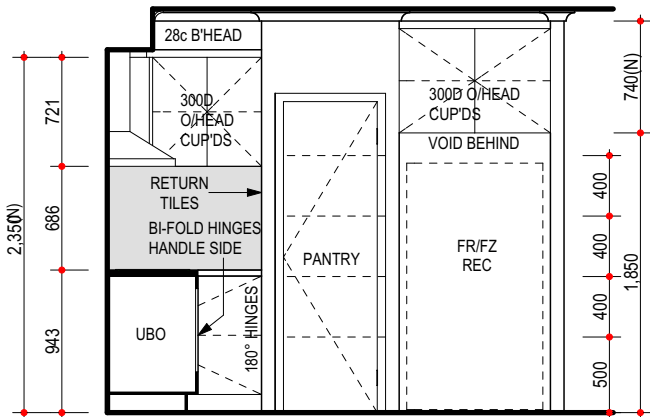
KITCHEN PLAN



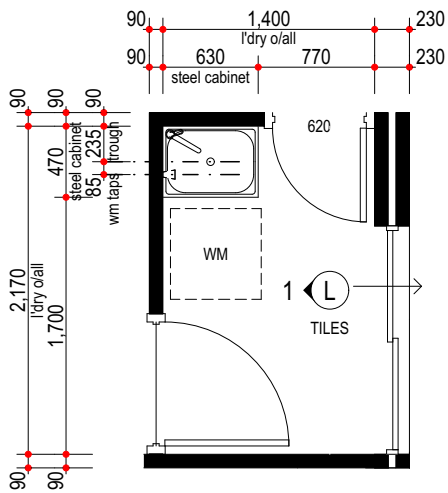
K1 VIEW



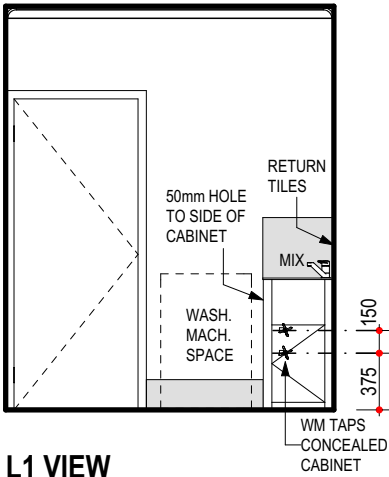
K2 VIEW



K3 VIEW



L'DRY PLAN



L1 VIEW

WITNESS: _____
CLIENT(S): _____
BUILDER: _____

PROPOSED RESIDENCE FOR:
BUSCLA PTY LTD

ADDRESS:
LOT 198 (#26) GLENMERE ROAD,
WARWICK.

DRAWN: WW
DESIGNED: SR
CHECKED: DM
DATE: 22.01.2020
MODEL: 3 X SPECIALS

SCALE: 1:50
SHEET: 9 OF 23
SIZE: A3
PROJECTS
JOB N° 158292

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V02	JS	17/04/20			
ADD	DMA	13/05/20			
U2 TAP	DMA	20/05/20			
JEL	DMA	27/05/20			

U1_ROOM LAYOUTS



SUMMIT
HOMES GROUP

BUILD | RENOVATE | DEVELOP

BENCHTOP NOTE

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

WALL FINISH NOTE

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

CABINETMAKER NOTE

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

TILER NOTE

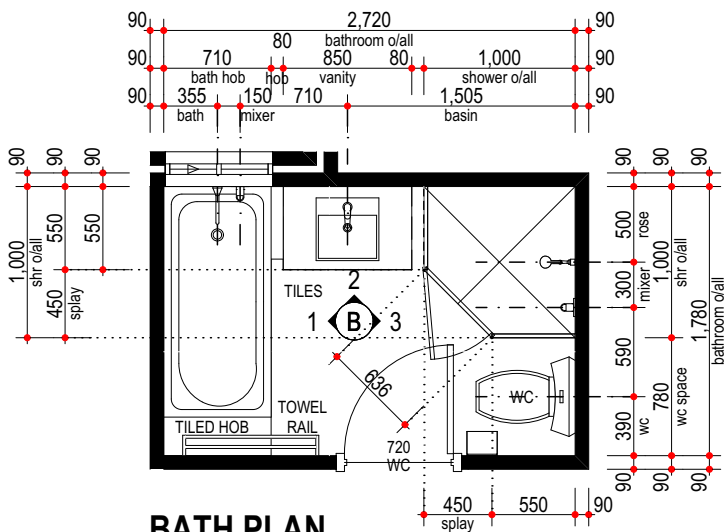
- SHADING DENOTES EXTENT OF TILING
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES.
- MITRED TILES THROUGHOUT WHERE APPLICABLE.

DO NOT SCALE FROM THIS DRAWING

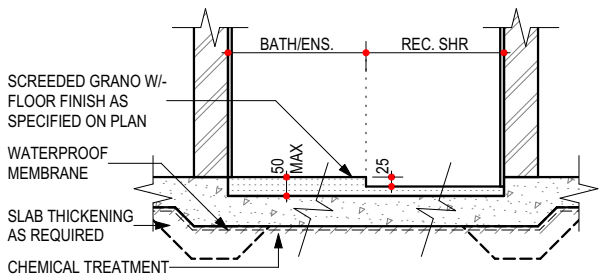
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REFER TO ADDENDUM FOR FITOUT SPECIFICATION

WET AREAS CONSTRUCTED IN ACCORDANCE WITH PART 3.8.1 OF B.C.A. (VOL 2)



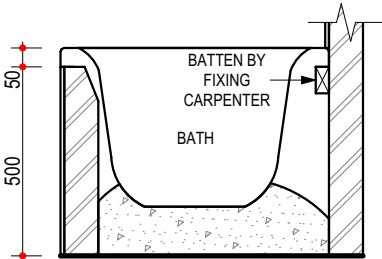
BATH PLAN



RECESSED SHOWER DETAIL (NO HOB)

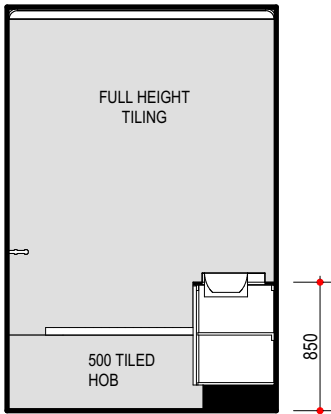
NOTES:

- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- SCALE 1 : 20

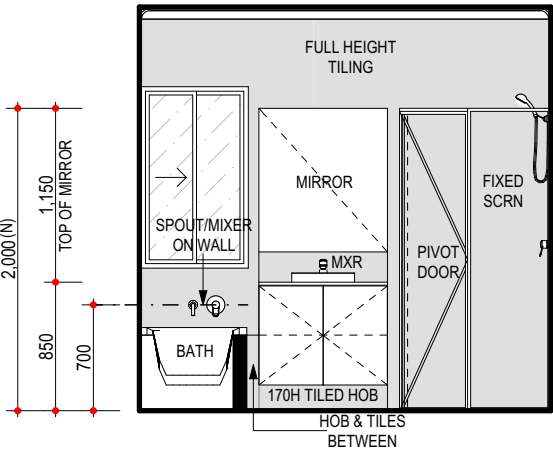


TYPICAL BATH HOB SECTION

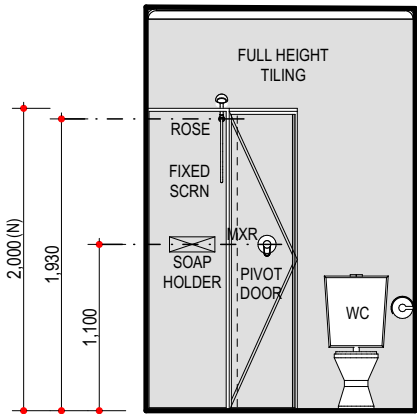
- SCALE 1 : 20



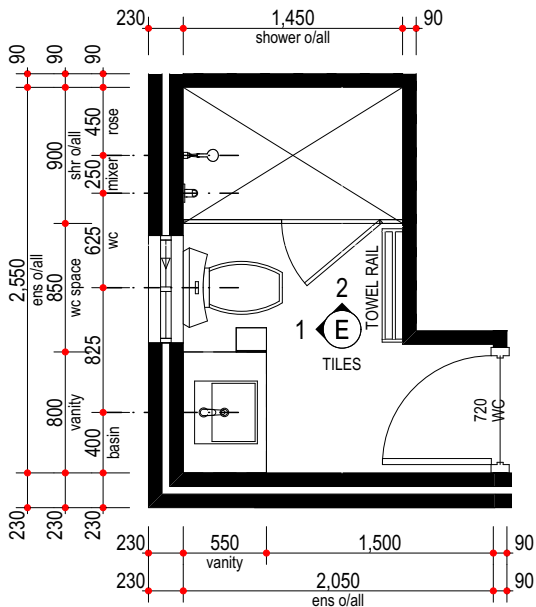
B1 VIEW



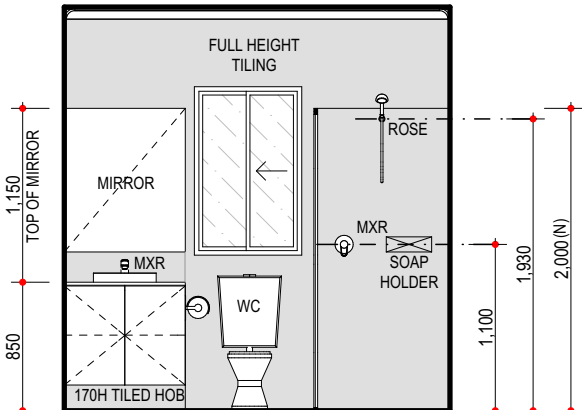
B2 VIEW



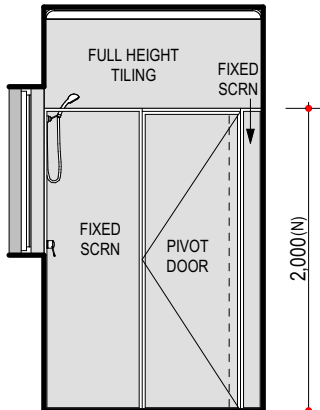
B3 VIEW



ENSUITE PLAN



E1 VIEW



E2 VIEW

WITNESS: _____

CLIENT(S): _____

BUILDER: _____

PROPOSED RESIDENCE FOR:
BUSCLA PTY LTD

ADDRESS:
LOT 198 (#26) GLENMERE ROAD,
WARWICK.

DRAWN: WW
DESIGNED: SR
CHECKED: DM
DATE: 22.01.2020
MODEL: 3 X SPECIALS

SCALE: 1:50
SHEET: 10 OF 23
SIZE: A3
PROJECTS
JOB N° 158292

Issue Name V02 ADD U2 TAP JEL
Drawn JS DMA DMA DMA
Date 17/04/20 13/05/20 20/05/20 27/05/20
U1_ROOM LAYOUTS



SUMMIT
HOMES GROUP

BUILD | RENOVATE | DEVELOP

ELECTRICAL LEGEND

Ground Floor				Insulation
Qty	Sym.	Description	Watts	Penetrations
2		EXTERNAL WALL LIGHT UP/DOWN @ 2000AFL UP/DOWN	20*	*
2		CEILING LIGHT (11w) Class 10	22*	*
1		EXTERNAL RECESSED LED DOWN-LIGHT (7W) Class 1 Porch	7*	*
1		EXTERNAL RECESSED LED DOWN-LIGHT (7W) Class 1 C'yard	7*	*
1		EXTERNAL RECESSED LED DOWN-LIGHT (7W) Class 1 Alfresco	7*	*
17		RECESSED LED DOWN-LIGHT (7w)	119	
2		H-WIRED SMOKE DETECTOR	0	
2		EXHAUST FAN	0	0.090
1		CEILING LIGHT (11w)	11	
1		W/P SGPO INSTALLED IN HWU	0	
2		SINGLE GPO IN/ON CEILING	0	
4		SINGLE GPO @ NOTED HT	0	
1		NBN LEAD IN CONDUIT (25mm) W/- BLANK FACE PLATE AT 1500 AFL	0	
1		DOUBLE WATER PROOF GPO	0	
6		DOUBLE GPO @ NOTED HT	0	
7		DOUBLE GPO @ 200 AFL	0	
1		DOUBLE GPO @ 1500 AFL W/ 20mm CONDUIT FOR PSU CONNECTION	0	
1		CONDUIT WITH FACE PLATE @ NOTED HT	0	
1		CONDUIT FOR NBN (25mm)	0	
1		CONDUIT (32mm)	0	
5		CONDUIT	0	
1		D2 (2x DATA/PHONE) FOR NBN PROVISION @ 1500 AFL	0	
1		C1 (TV) + D2 (PH/DATA)	0	

* NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. Subtotal: 130 0.090
PERIMETER LIGHTING MIN. 40 LUMENS/W.

Total Class 1 Wattage= 130

Wattage Calculations (Class 1)			
Story Name	Area	Allowed Wattage	Actual Wattage
0 Ground Floor	88.08 Sqm	440 w	130 w
	88.08 sqm	440 w	130 w PASS

Recessed Fitting Penetrations (Class 1)			
Story Name	Area	Maximum Penetrations	Actual Penetrations
Total Insulation Area	88.08 sqm	0.440 sqm	0.090 sqm
Vents/RangeHoods			0.094 Sqm
	88.08 sqm	0.440 sqm	0.184 sqm PASS
0.21 % R4.0 Insulation Adjustment Not Required			

LIGHT AND VENTILATION CALC.

Room Name	Opn % Light	Vent.
4 BED 2		
Min. Ventilation = 0.68 Min. Light= 0.91 Total Area= 9.06		
W08 Sliding	36 % 2.59 m2	0.93 m2
Totals	Light 2.59 m2 Vent 0.93 m2	
3 LIVING KITCHEN DINING		
Min. Ventilation = 2.55 Min. Light= 3.39 Total Area= 33.94		
W06 Sliding	36 % 1.95 m2	0.70 m2
W05 Sliding Door	50 % 5.16 m2	2.58 m2
Totals	Light 7.11 m2 Vent 3.28 m2	
2 BED 3		
Min. Ventilation = 0.64 Min. Light= 0.85 Total Area= 8.48		
W03 Sliding	36 % 2.59 m2	0.93 m2
Totals	Light 2.59 m2 Vent 0.93 m2	
1 BED 1		
Min. Ventilation = 0.79 Min. Light= 1.05 Total Area= 10.54		
W01 Sliding	36 % 5.38 m2	1.94 m2
Totals	Light 5.38 m2 Vent 1.94 m2	

Inputs for Airmovement and Light are Valid

BUILDER:	CLIENT(S):	WITNESS:

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BUSCLA PTY LTD

ADDRESS:
LOT 198 (#26) GLENMERE ROAD,
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DRAWN: WW
DESIGNED: SR
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DATE: 22.01.2020
MODEL: 3 X SPECIALS

SCALE: 1:100
SHEET: 11 OF 23
SIZE: A3
PROJECTS
JOB N° 158292

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V02	JS	17/04/20			
ADD	DMA	13/05/20			
U2 TAP	DMA	20/05/20			
JEL	DMA	27/05/20			

U1_ELECTRICAL PLAN

ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO AS3786-2014
- FINAL POSITION OF ELECTRICAL ITEMS SUCH AS GPO'S, LIGHT SWITCHES ETC. MAY VARY ON SITE DUE TO ELECTRICAL REGULATIONS. LIGHT SWITCH HEIGHT TO BE AT 1200 AFL U.N.O.
- NEUTRAL CABLING REQUIRED TO ALL LIGHT SWITCHES.

AIRCON NOTE

- PROVIDE DUCTED REVERSE CYCLE AIR CONDITIONING.
- OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

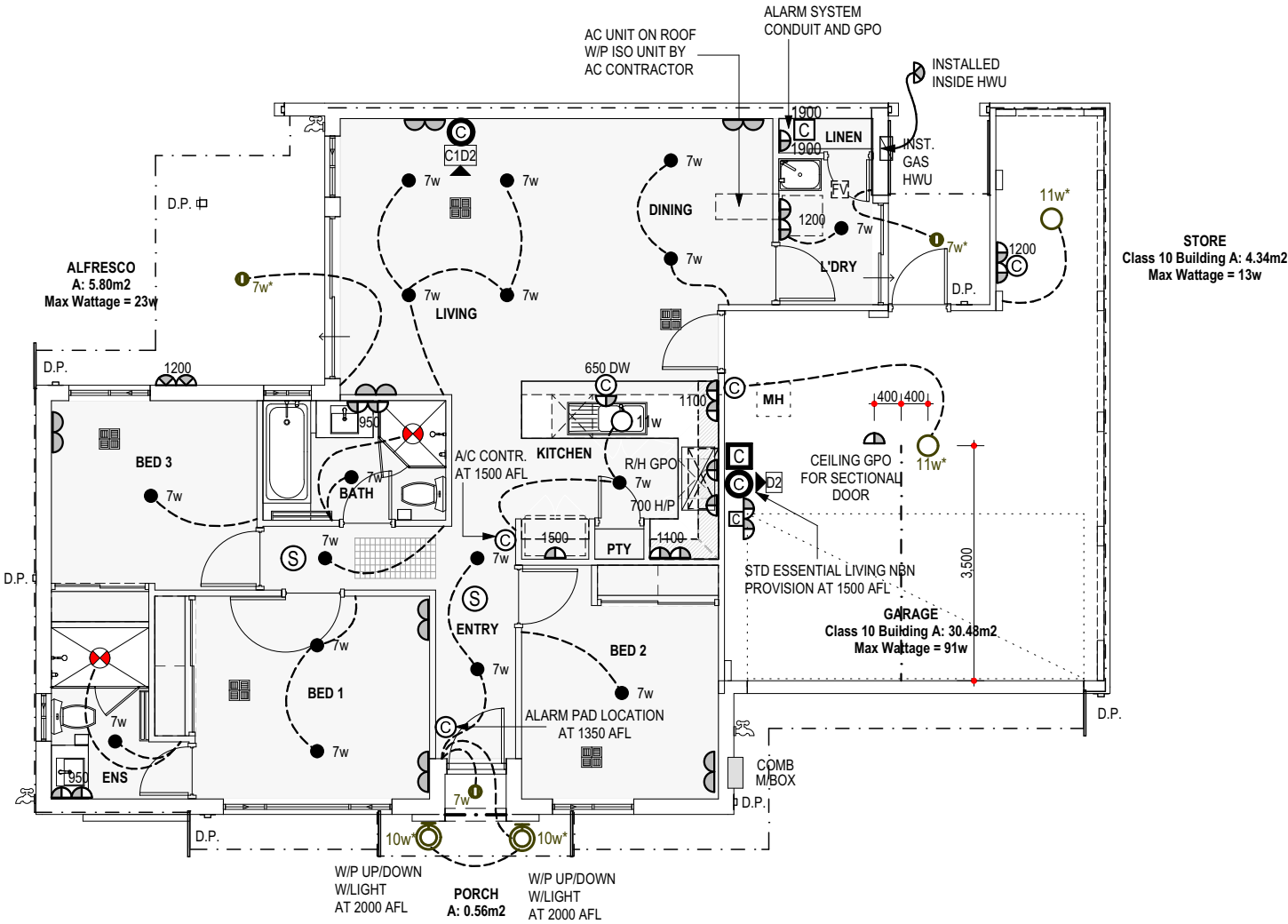
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ALL DIMENSIONS TO BRICKWORK.

CLIENT / PRESTART NOTE

- CLIENT TO CONFIRM W/- ADMINISTRATOR POSITIONING OF ALL TV, PHONE AND ROOM GPO POSITIONS.

TV ANTENNA NOTE

- PROVIDE TV ANTENNA AS PER ADDENDA



SUMMIT
HOMES GROUP

BUILD | RENOVATE | DEVELOP

SITE CLASSIFICATION - CLASS 'A'
(REFER TO SITE REPORT FOR
DETAILS) WIND LOAD - N1
CORROSION CLASSIFICATION - R3

BRICK NOTE

- 2c FACE BRICK TO BE LAID IN THIRD BOND U.N.O

ROOF NOTE

- COLORBOND ROOF, PITCH AT 25° W/- 500W EAVES UNO
- STEEL ROOF FRAME TO NASH STANDARDS
- CEILINGS AT 31c + PLATE UNLESS NOTED OTHERWISE

ROOF PLUMBER NOTE

- PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)
- FINAL POSITIONS OF RWP'S TO BE DETERMINED ON SITE
- RWP'S IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER SYSTEM (NO KICK)

ROOF INSULATION NOTE

- R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL PLASTERBOARD OR VERSILUX CEILINGS IF APPL.

ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS INDICATED ON PLAN

FIXING CARPENTER NOTE

- 4 No. 450D SHELVES TO PANTRY AND LINEN UNO
- 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO
- 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY
- PROVIDE MID-SHELF SUPPORT WHERE NOTED "MSS" TO ANY SHELF OVER 1.8m LONG.

CEILING MATERIAL NOTE

- PORCH - HARDIFLEX C.L
- GARAGE/STORE - PLASTERBOARD C.L
- ALFRESCO - (INC. AREAS SHOWN HATCHED) - VERSILUX C.L.

GARAGE NOTE

- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OP'NG

RENDER WALL NOTE

- PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED WALLS & H/FLEX / VERSILUX CEILINGS

BRICKLAYER NOTE

- FOR 2c GARAGE;
- 25c, 27c & 31c GARAGE HAS 4c LINTEL
- 28c GARAGE HAS 3c LINTEL

AIRCON NOTE

- PROVIDE DUCTED REVERSE CYCLE AIR CONDITIONING.
OUTLET POSITIONS TO BE CONFIRM BY SUPPLIER.
- EXTERNAL UNIT (ON ROOF) NOT TO BE VISIBLE FROM THE STREET.

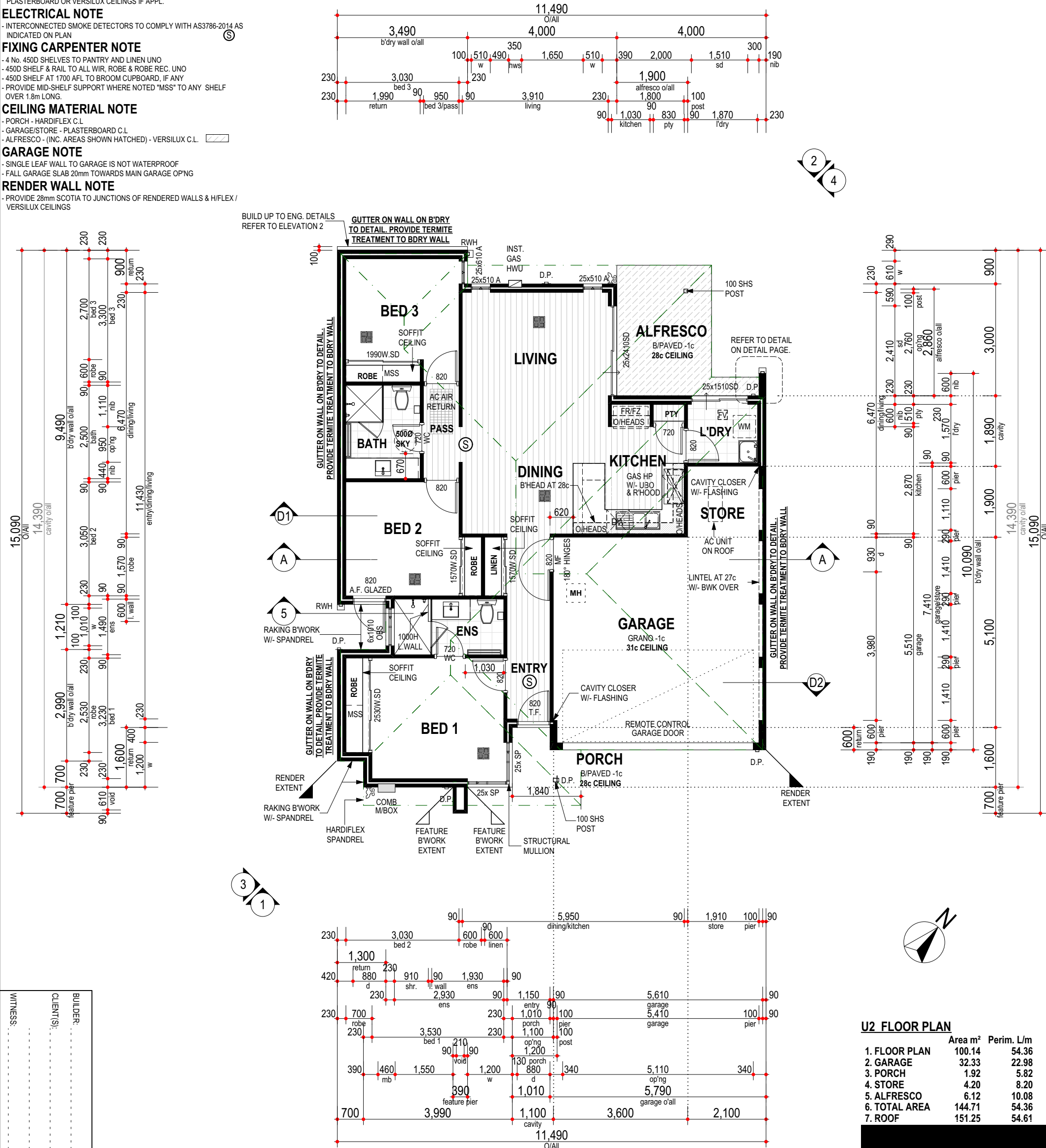
TRADES / SUPERVISOR NOTE

- REFER TO STRUCTURAL ENGINEERS DETAILS
- ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS & STANDARD SPECIFICATION.

CONCRETOR/BRK LAYER NOTE

- NOTE BRICK WALL ON LOT BOUNDARY HAS BEEN CALCULATED TO BE SET INSIDE THE BOUNDARY BY 192/194mm.
- NOTE BRICKWALL ON STRATA BOUNDARY (BED 1/BED 2/BATH/BED 3) HAS BEEN CALCULATED TO BE SET ON BOUNDARY.
- NOTE BRICK WALL ON STRATA (GARAGE/STORE/L'DRY) BOUNDARY HAS BEEN CALCULATED TO BE SET INSIDE THE BOUNDARY BY 10mm
- ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c UNLESS NOTED OTHERWISE.

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ALL DIMENSIONS TO BRICKWORK.



WITNESS:	CLIENT(S):	BUILDER:

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**LOT 198 (#26) GLENMERE ROAD,
WARWICK.**

DRAWN: WW
DESIGNED: SR
CHECKED: DM
DATE: 22.01.2020
MODEL:
3 X SPECIALS

SCALE: 1:100
SHEET: 12 OF 23
SIZE: A3
PROJECTS
JOB N°
158292

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V02	JS	17/04/20			
ADD	DMA	13/05/20			
U2 TAP	DMA	20/05/20			
JEL	DMA	27/05/20			

U2_FLOOR PLAN

U2 FLOOR PLAN

	Area m ²	Perim. L/m
1. FLOOR PLAN	100.14	54.36
2. GARAGE	32.33	22.98
3. PORCH	1.92	5.82
4. STORE	4.20	8.20
5. ALFRESCO	6.12	10.08
6. TOTAL AREA	144.71	54.36
7. ROOF	151.25	54.61



SUMMIT
HOMES GROUP

BUILD | RENOVATE | DEVELOP

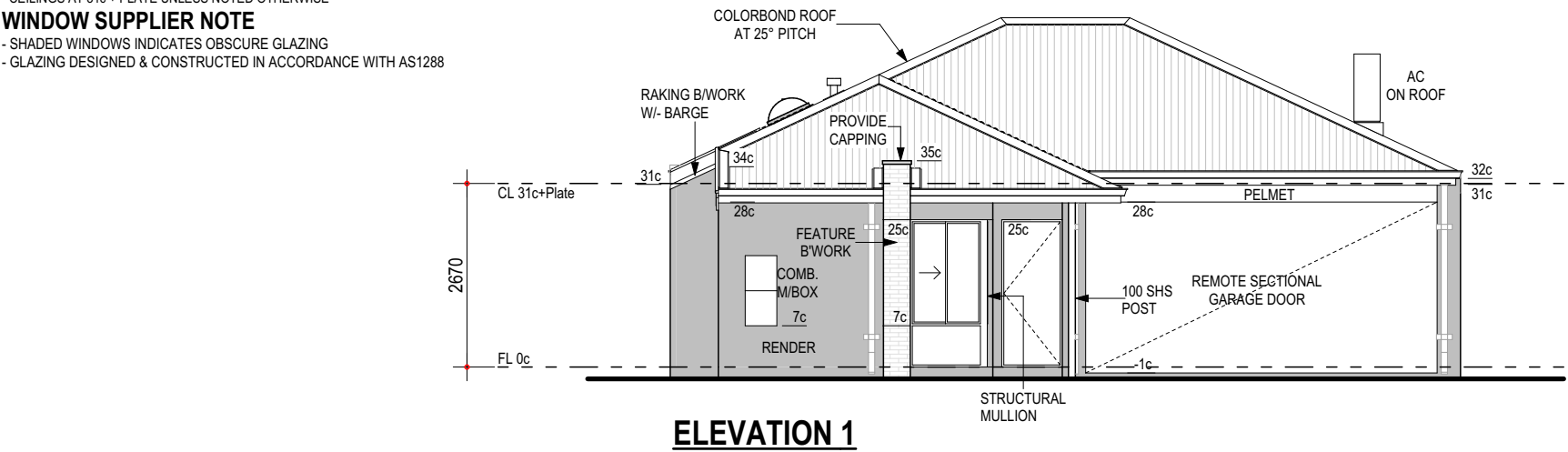
ROOF NOTE

- COLORBOND ROOF, PITCH AT 25° W/- 500W EAVES UNO
- STEEL ROOF IN ACCORDANCE TO NASH STANDARD
- CEILINGS AT 31c + PLATE UNLESS NOTED OTHERWISE

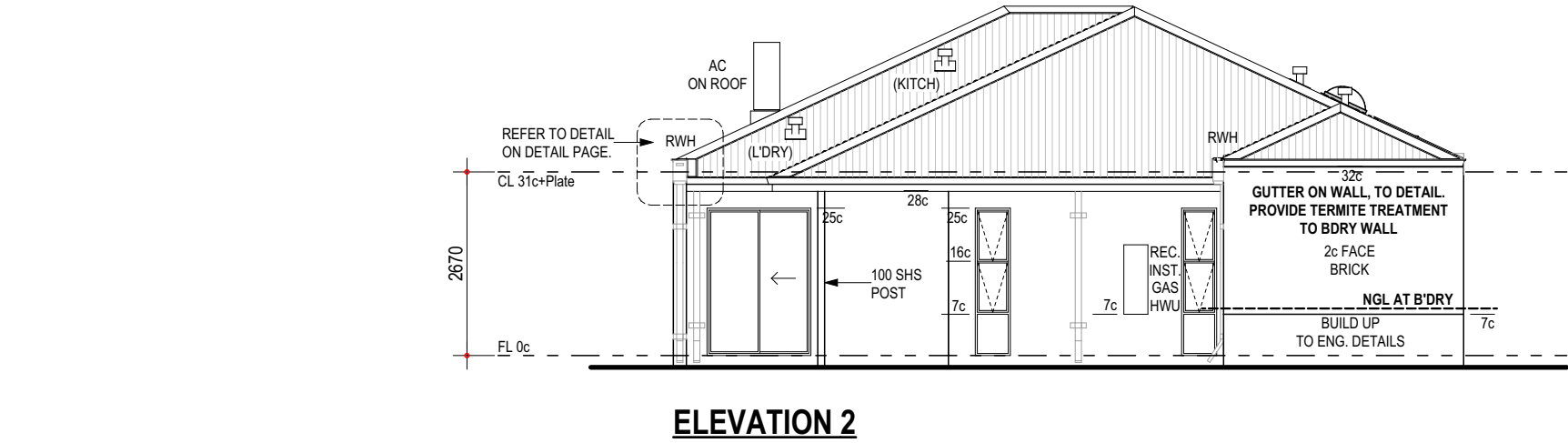
WINDOW SUPPLIER NOTE

- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288

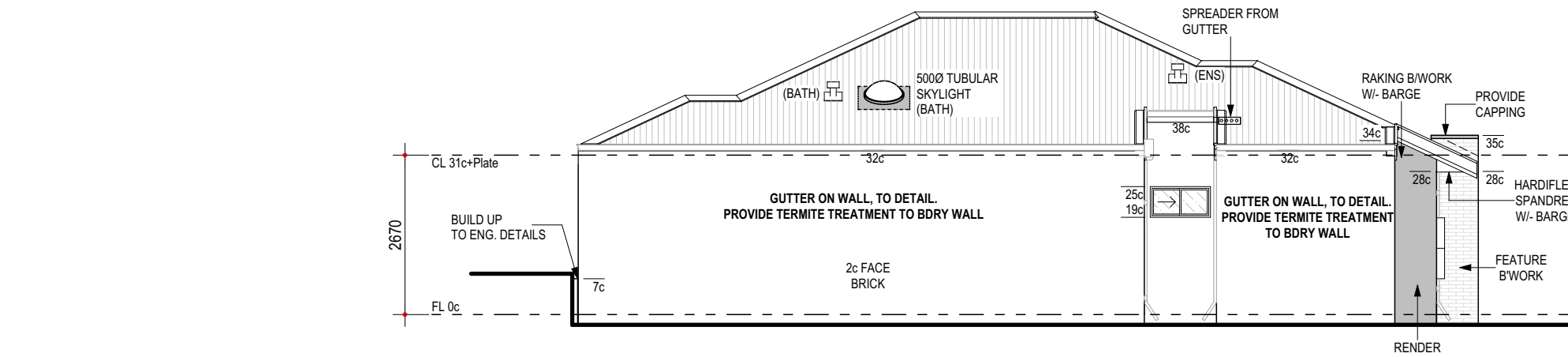
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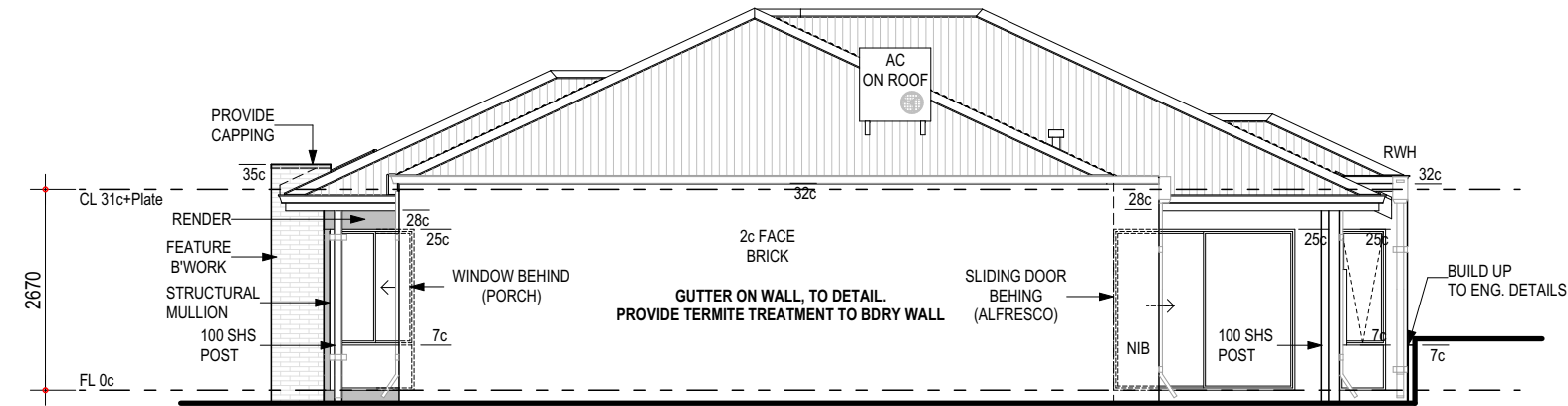
ELEVATION 1



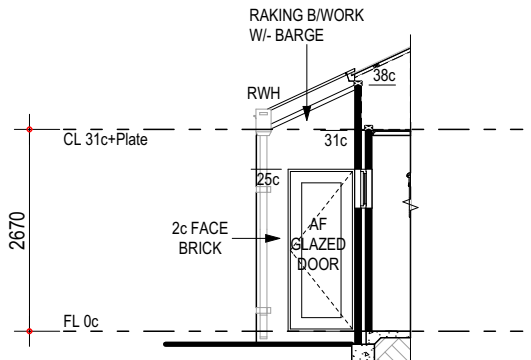
ELEVATION 2



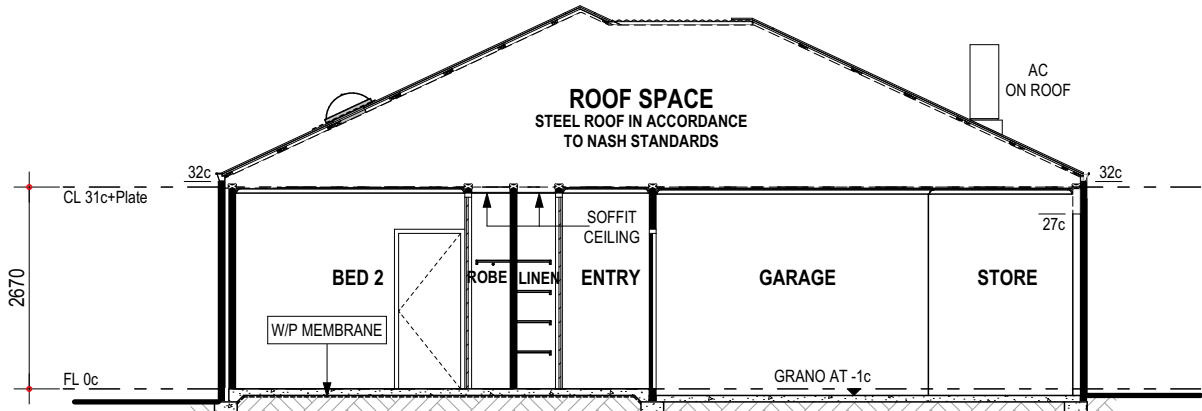
ELEVATION 3



ELEVATION 4



ELEVATION 5



SECTION A-A
SCALE 1:100

WITNESS:	CLIENT(S):	BUILDER:

PROPOSED RESIDENCE FOR:
BUSCLA PTY LTD

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LOT 198 (#26) GLENMERE ROAD,
WARWICK.

DRAWN: WW
DESIGNED: SR
CHECKED: DM
DATE: 22.01.2020
MODEL: 3 X SPECIALS

SCALE: 1:100
SHEET: 13 OF 23
SIZE: A3
PROJECTS
JOB N° 158292

Issue Name	Drawn	Date
V02	JS	17/04/20
ADD	DMA	13/05/20
U2 TAP	DMA	20/05/20
JEL	DMA	27/05/20

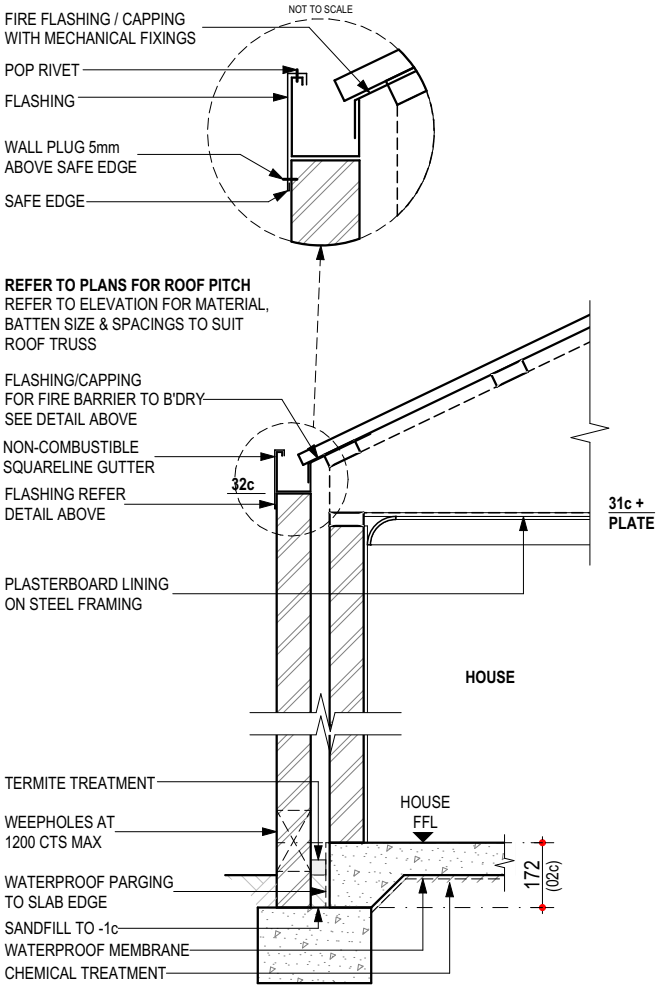
U2_ELEVATIONS



SUMMIT
HOMES GROUP

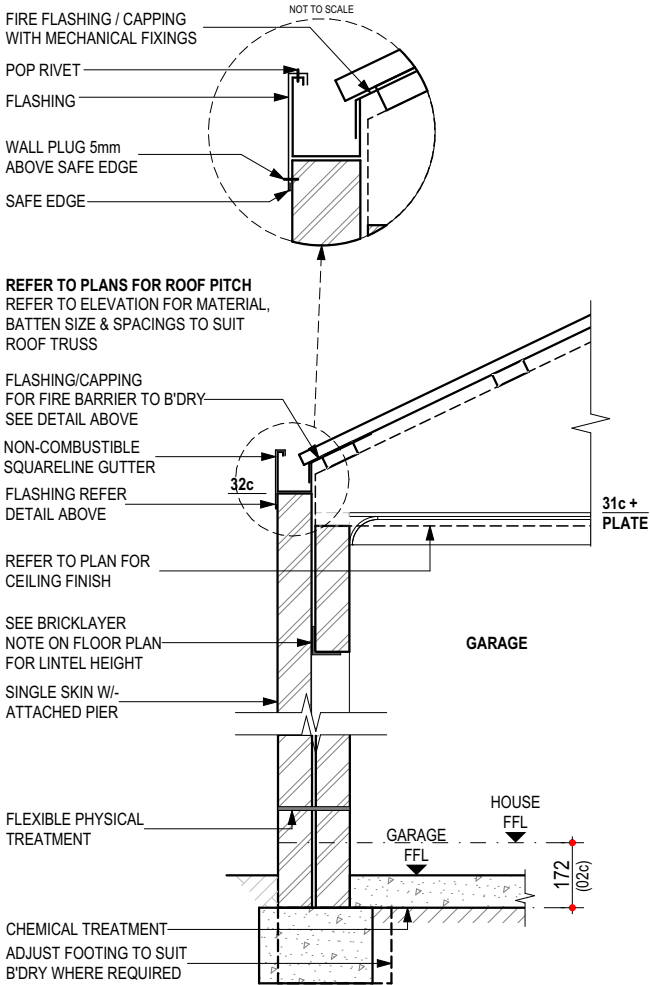
BUILD | RENOVATE | DEVELOP

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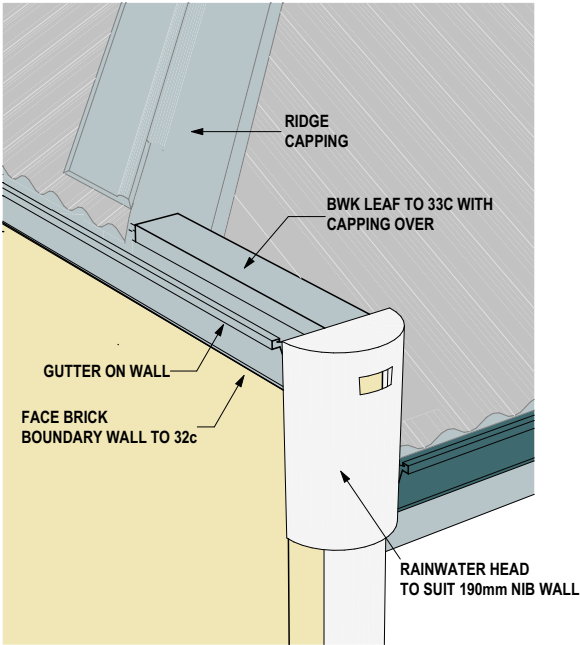
**D1 - GUTTER ON WALL / FLASHING DETAIL TO HOUSE
W/- TERMITE TREATMENT**

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
 - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 - REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
 - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
 - SCALE 1 : 20



**D2 - GUTTER ON WALL/FLASHING DETAIL TO GARAGE
W/- TERMITE TREATMENT**

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
 - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 - REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
 - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
 - SCALE 1 : 20



RAINWATER HEAD TO NIB WALL DETAIL
- N.T.S.

BUILDER:	_____
CLIENT(S):	_____
WITNESS:	_____

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BUSCLA PTY LTD

ADDRESS:
**LOT 198 (#26) GLENMERE ROAD,
WARWICK.**

DRAWN: WW
DESIGNED: SR
CHECKED: DM
DATE: 22.01.2020
MODEL:
3 X SPECIALS

SCALE: AS NOTED
SHEET: 14 OF 23
SIZE: A3
PROJECTS
JOB N°
158292

Issue Name	Drawn	Date
V02	JS	17/04/20
ADD	DMA	13/05/20
U2 TAP	DMA	20/05/20
JEL	DMA	27/05/20

U2_DETAILS

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

- SHADING DENOTES EXTENT OF TILING
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
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WET AREAS CONSTRUCTED IN ACCORDANCE WITH
PART 3.8.1 OF B.C.A. (VOL 2)



Issue Name	Drawn	Date
V02	JS	17/04/20
ADD	DMA	13/05/20
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U2 ROOM LAYOUTS



BENCHTOP NOTE

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

WALL FINISH NOTE

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

CABINETMAKER NOTE

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

TILER NOTE

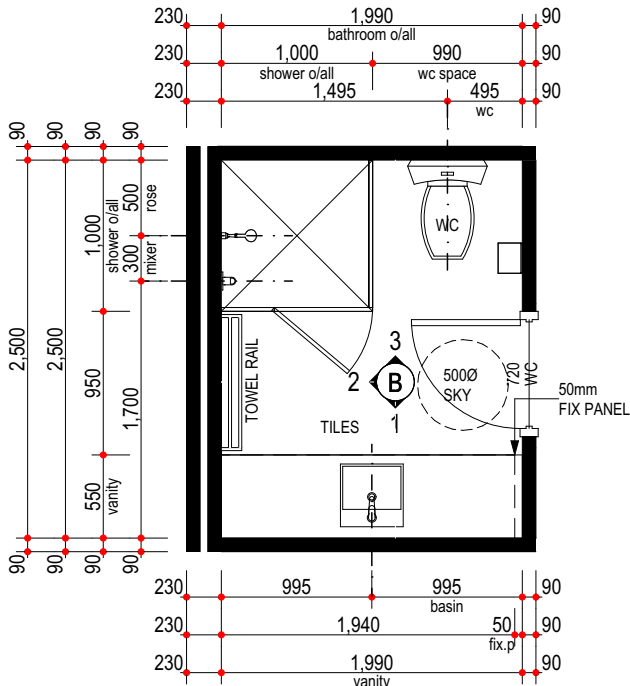
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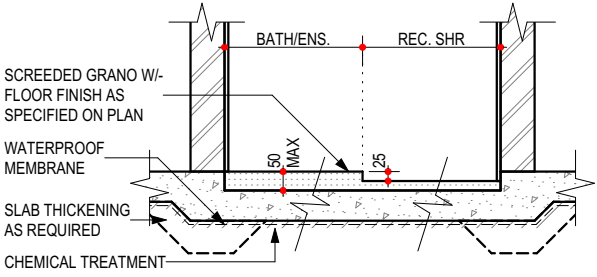
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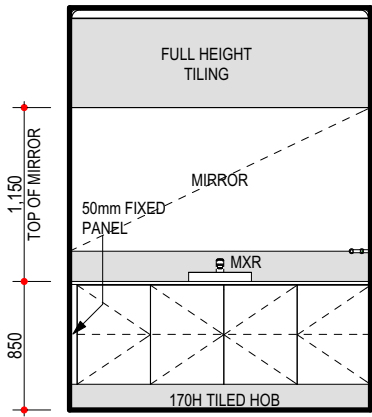
BATH PLAN



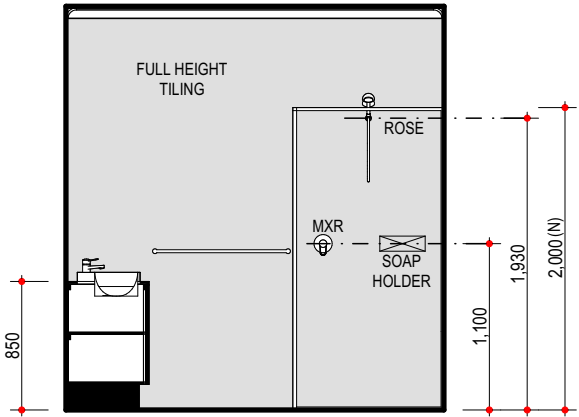
RECESSED SHOWER DETAIL (NO HOB)

NOTES:

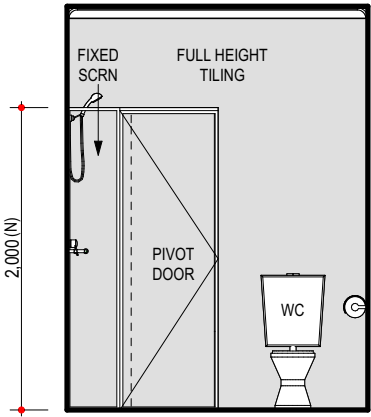
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- SCALE 1 : 20



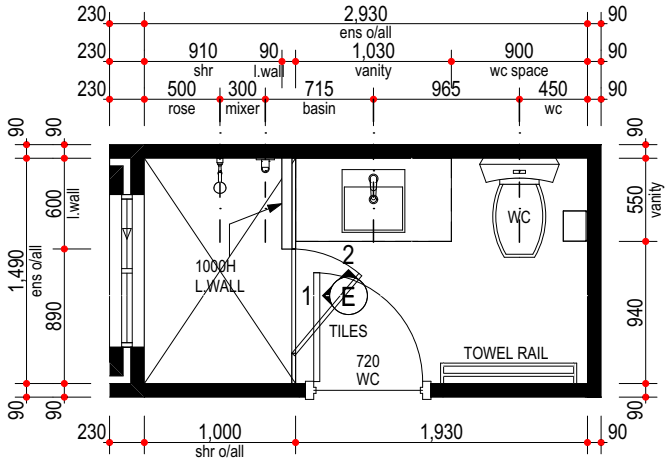
B1 VIEW



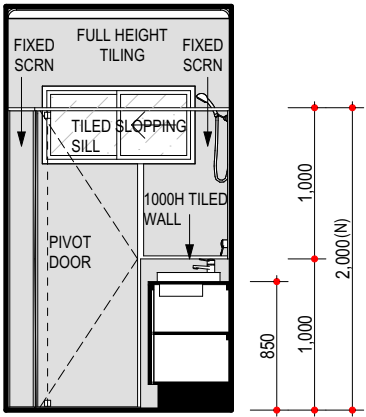
B2 VIEW



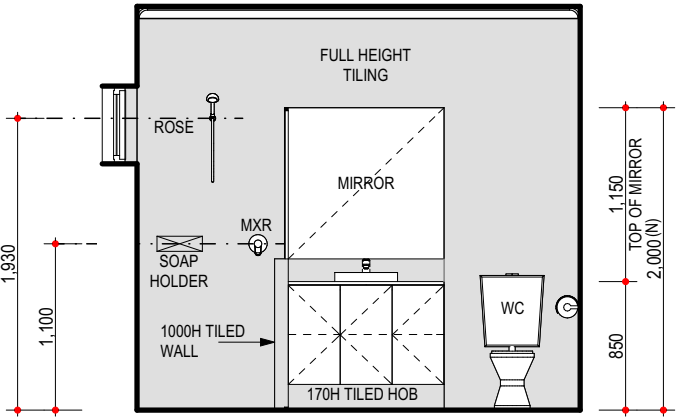
B3 VIEW



ENSUITE PLAN



E1 VIEW



E2 VIEW

WITNESS: _____
CLIENT(S): _____
BUILDER: _____

PROPOSED RESIDENCE FOR:
BUSCLA PTY LTD
ADDRESS:
LOT 198 (#26) GLENMERE ROAD,
WARWICK.

DRAWN: WW
DESIGNED: SR
CHECKED: DM
DATE: 22.01.2020
MODEL:
3 X SPECIALS

SCALE: 1:50
SHEET: 16 OF 23
SIZE: A3
PROJECTS
JOB N°
158292

Issue Name
V02
ADD
U2 TAP
JEL
Drawn
JS
DMA
DMA
DMA
Date
17/04/20
13/05/20
20/05/20
27/05/20
U2_ROOM LAYOUTS



ELECTRICAL LEGEND

Ground Floor				Insulation Penetrations	
Qty	Sym.	Description	Watts		
2		EXTERNAL WALL LIGHT UP/DOWN @ 2000AFL UP/DOWN	20*	*	
2		EXTERNAL WALL LIGHT @ 2000 AFL Perimeter Lighting	22*	*	
2		CEILING LIGHT (11w) Class 10	22*	*	
1		EXTERNAL RECESSED LED DOWN-LIGHT (7W) Class 1 Porch	7*	*	
1		EXTERNAL RECESSED LED DOWN-LIGHT (7W) Class 1 Alfresco	7*	*	
18		RECESSED LED DOWN-LIGHT (7w)	126		
2		H.WIRED SMOKE DETECTOR	0		
2		EXHAUST FAN	0	0.090	
1		CEILING LIGHT (11w)	11		
1		W/P SGPO INSTALLED IN HWU	0		
2		SINGLE GPO IN/ON CEILING	0		
4		SINGLE GPO @ NOTED HT	0		
1		NBN LEAD IN CONDUIT (25mm) W/- BLANK FACE PLATE AT 1500 AFL	0		
1		DOUBLE WATER PROOF GPO	0		
6		DOUBLE GPO @ NOTED HT	0		
7		DOUBLE GPO @ 200 AFL	0		
1		DOUBLE GPO @ 1500 AFL W/ 20mm CONDUIT FOR PSU CONNECTION	0		
1		CONDUIT WITH FACE PLATE @ NOTED HT	0		
1		CONDUIT FOR NBN (25mm)	0		
1		CONDUIT (32mm)	0		
4		CONDUIT	0		
1		D2 (2x DATA/PHONE) FOR NBN PROVISION @ 1500 AFL	0		
1		C1 (TV) + D2 (PH/DATA)	0		

* NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. Subtotal: 137 0.090 PERIMETER LIGHTING MIN. 40 LUMENS/W.

Total Class 1 Wattage= 137

Wattage Calculations (Class 1)			
Story Name	Area	Allowed Wattage	Actual Wattage
0 Ground Floor	89.61 Sqm	448 w	137 w
	89.61 sqm	448 w	137 w PASS

Recessed Fitting Penetrations (Class 1)			
Story Name	Area	Maximum Penetrations	Actual Penetrations
Total Insulation Area	89.61 sqm	0.448 sqm	0.090 sqm
Vents/RangeHoods		0.094 Sqm	
	89.61 sqm	0.448 sqm	0.184 sqm PASS
	0.21 % R4.0 Insulation Adjustment Not Required		

LIGHT AND VENTILATION CALC.

Room Name	Opn %	Light	Vent.
4 LIVING KITCHEN DINING			
Min. Ventilation = 2.39 Min. Light= 3.19 Total Area= 31.86			

W05 Sliding Door	50 %	5.16 m2	2.58 m2
W03 Awning	72 %	1.09 m2	0.79 m2
W03 Awning	72 %	1.09 m2	0.79 m2
Totals		Light 7.35 m2	Vent 4.16 m2

3 BED 3			
Min. Ventilation = 0.66 Min. Light= 0.88 Total Area= 8.75			
W03 Awning	72 %	1.31 m2	0.94 m2
Totals		Light 1.31 m2	Vent 0.94 m2

2 BED 2			
Min. Ventilation = 0.69 Min. Light= 0.92 Total Area= 9.24			
D14 Door	100 %	1.89 m2	1.89 m2
Totals		Light 1.89 m2	Vent 1.89 m2

1 BED 1			
Min. Ventilation = 0.86 Min. Light= 1.14 Total Area= 11.40			
W03 Sliding	32 %	2.57 m2	0.81 m2
W03 Sliding	32 %	2.57 m2	0.81 m2
Totals		Light 5.14 m2	Vent 1.62 m2

Inputs for Airmovement and Light are Valid



BUILDER:	
CLIENT(S):	
WITNESS:	

PROPOSED RESIDENCE FOR:
BUSCLA PTY LTD

ADDRESS:
LOT 198 (#26) GLENMERE ROAD,
WARWICK.

DRAWN: WW
DESIGNED: SR
CHECKED: DM
DATE: 22.01.2020
MODEL: 3 X SPECIALS

SCALE: 1:100
SHEET: 17 OF 23
SIZE: A3
PROJECTS
JOB N° 158292

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V02	JS	17/04/20			
ADD	DMA	13/05/20			
U2 TAP	DMA	20/05/20			
JEL	DMA	27/05/20			

U2_ELECTRICAL PLAN

ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO AS3786-2014
- FINAL POSITION OF ELECTRICAL ITEMS SUCH AS GPO'S, LIGHT SWITCHES ETC. MAY VARY ON SITE DUE TO ELECTRICAL REGULATIONS. LIGHT SWITCH HEIGHT TO BE AT 1200 AFL U.N.O.
- NEUTRAL CABLING REQUIRED TO ALL LIGHT SWITCHES.

AIRCON NOTE

- PROVIDE DUCTED REVERSE CYCLE AIR CONDITIONING.
- OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

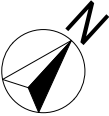
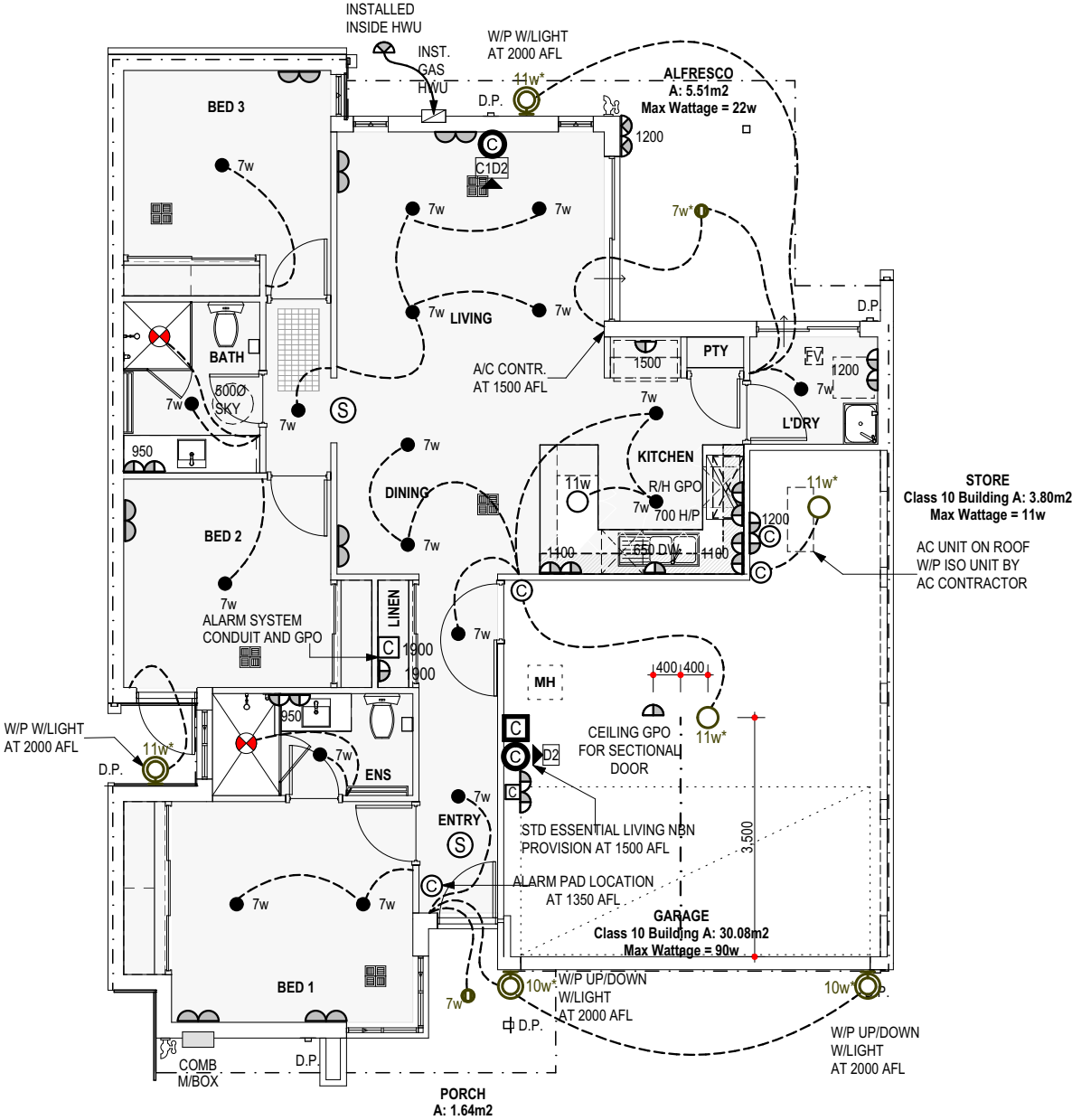
DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

CLIENT / PRESTART NOTE

- CLIENT TO CONFIRM W/- ADMINISTRATOR POSITIONING OF ALL TV, PHONE AND ROOM GPO POSITIONS.

TV ANTENNA NOTE

- PROVIDE TV ANTENNA AS PER ADDENDA



SUMMIT
HOMES GROUP

BUILD | RENOVATE | DEVELOP

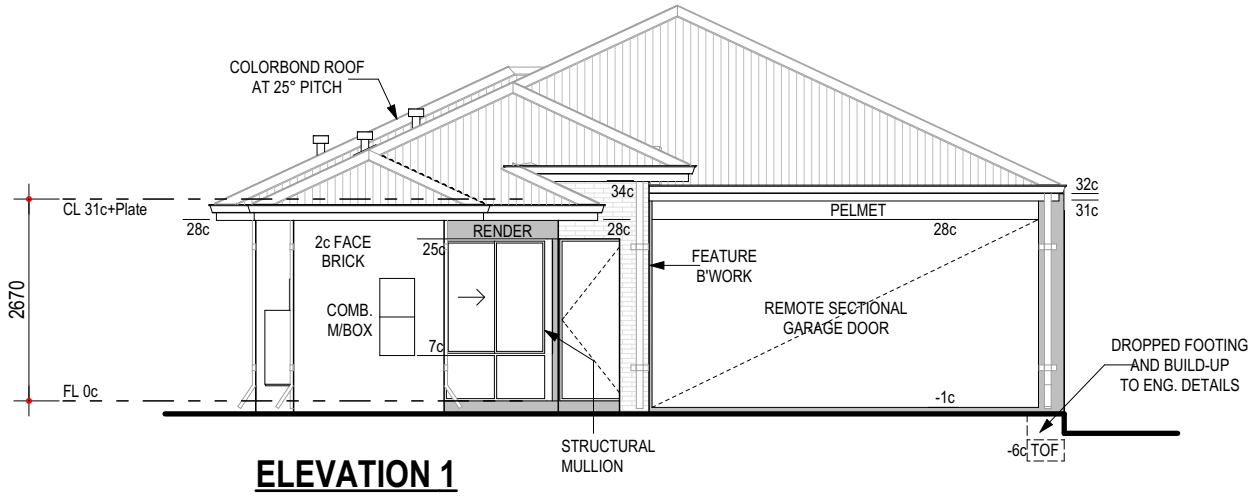
ROOF NOTE

- COLORBOND ROOF, PITCH AT 25° W/- 500W EAVES UNO
- STEEL ROOF IN ACCORDANCE TO NASH STANDARD
- CEILINGS AT 31c + PLATE UNLESS NOTED OTHERWISE

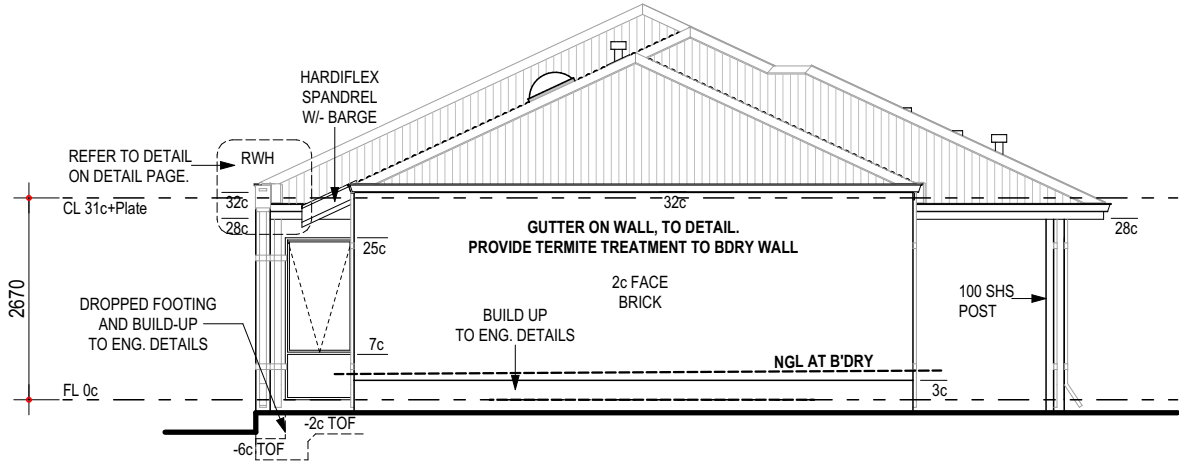
WINDOW SUPPLIER NOTE

- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288

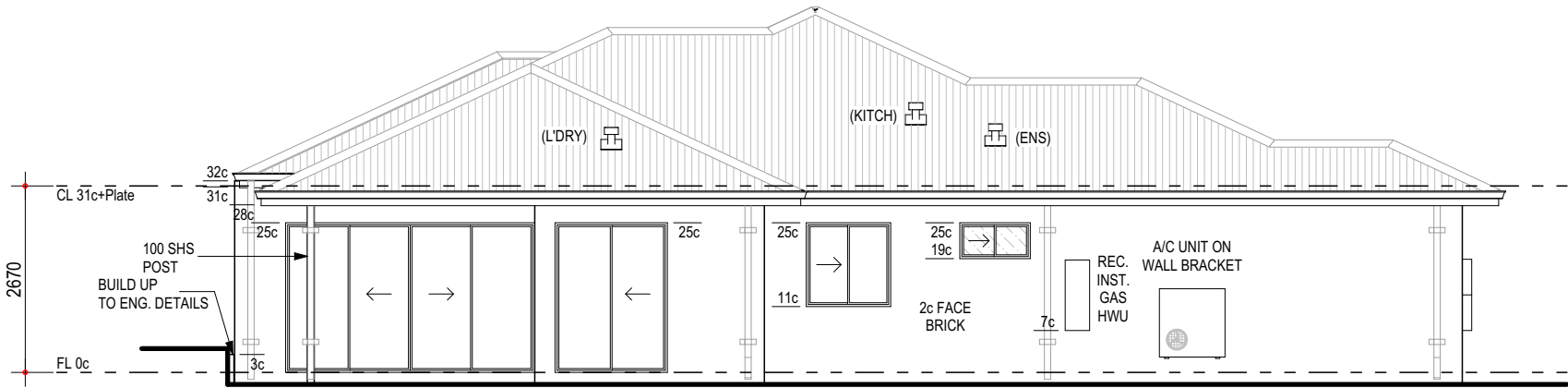
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ALL DIMENSIONS TO BRICKWORK.



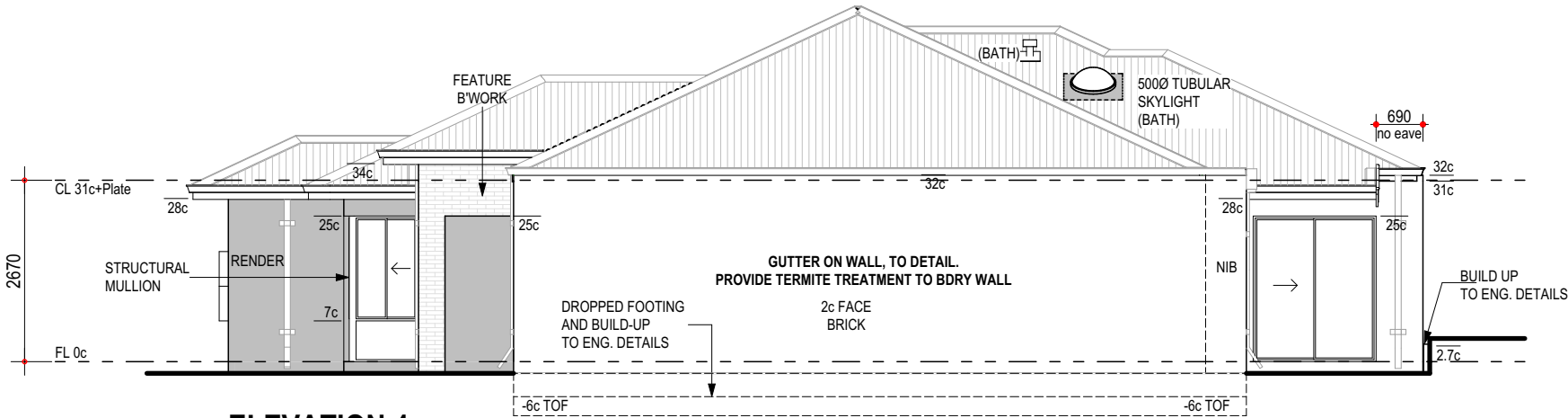
ELEVATION 1



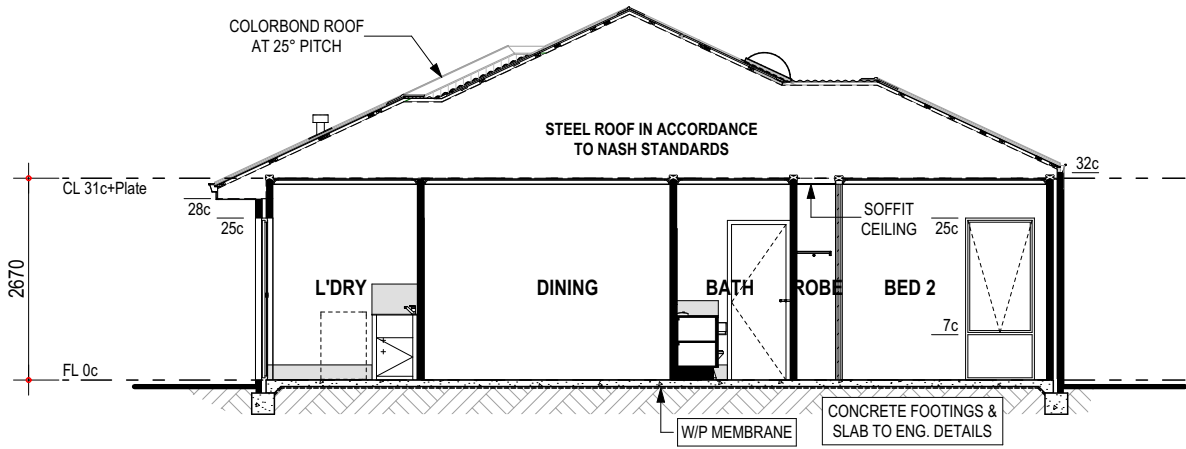
ELEVATION 2



ELEVATION 3



ELEVATION 4



SECTION A-A
SCALE 1:100

WITNESS:	CLIENT(S):	BUILDER:

PROPOSED RESIDENCE FOR:
BUSCLA PTY LTD

ADDRESS:
LOT 198 (#26) GLENMERE ROAD,
WARWICK.

DRAWN: WW
DESIGNED: SR
CHECKED: DM
DATE: 22.01.2020
MODEL: 3 X SPECIALS

SCALE: 1:100
SHEET: 19 OF 23
SIZE: A3
PROJECTS
JOB N° 158292

Issue Name	Drawn	Date
V02	JS	17/04/20
ADD	DMA	13/05/20
U2 TAP	DMA	20/05/20
JEL	DMA	27/05/20

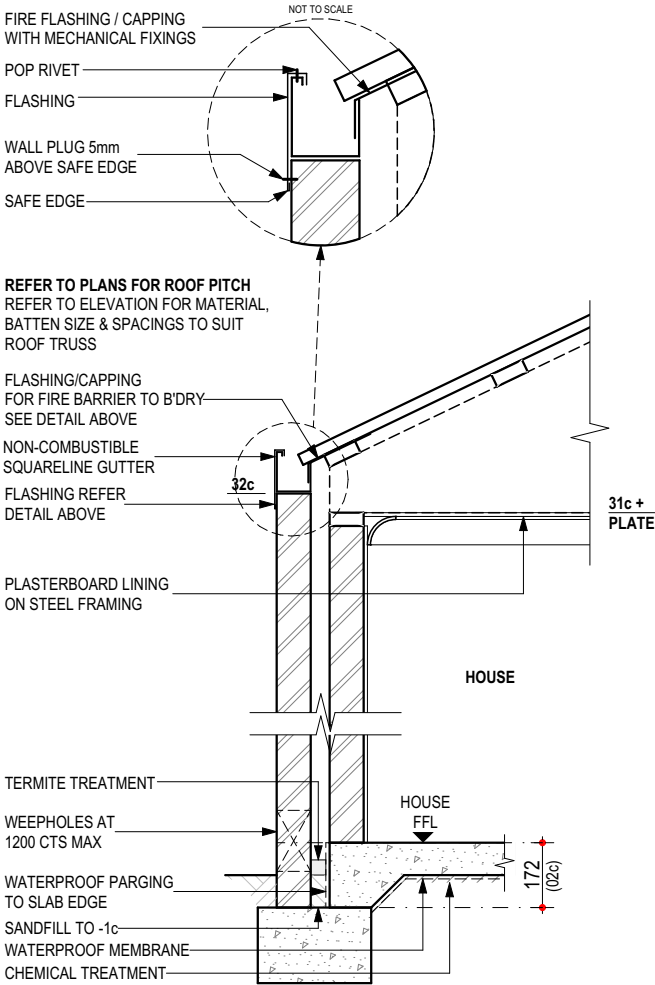
U3_ELEVATIONS



SUMMIT
HOMES GROUP

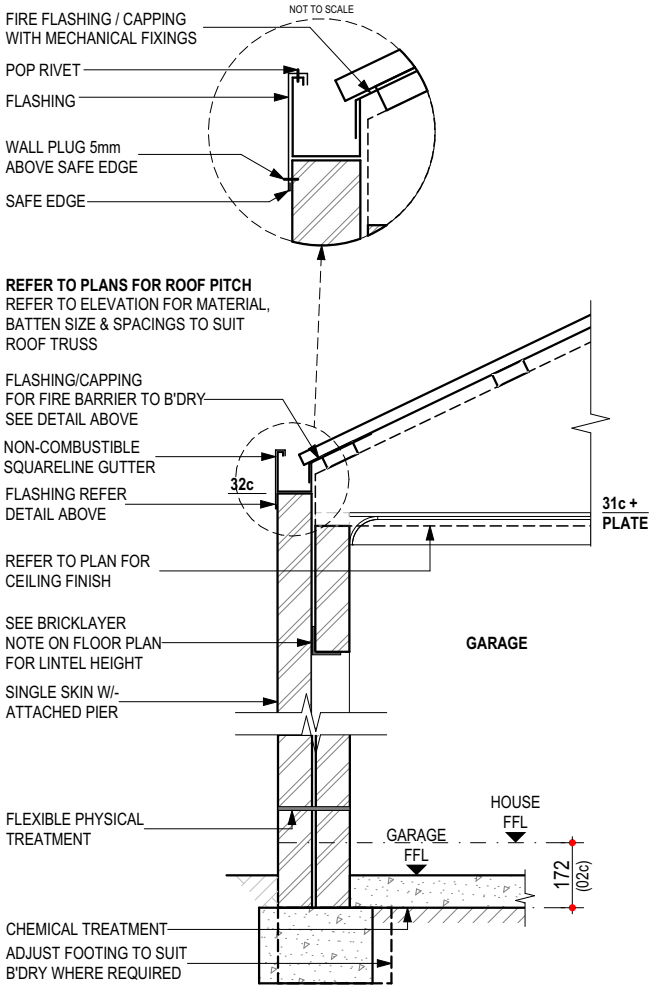
BUILD | RENOVATE | DEVELOP

DO NOT SCALE FROM THIS DRAWING
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discrepancies to be notified to the Site
Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.



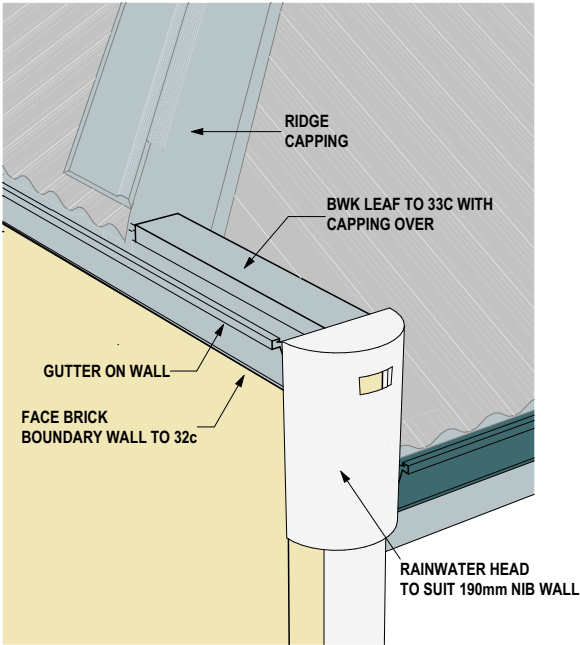
**D1 - GUTTER ON WALL / FLASHING DETAIL TO HOUSE
W/- TERMITE TREATMENT**

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
 - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 - REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
 - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
 - SCALE 1 : 20



**D2 - GUTTER ON WALL/FLASHING DETAIL TO GARAGE
W/- TERMITE TREATMENT**

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
 - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 - REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
 - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
 - SCALE 1 : 20



RAINWATER HEAD TO NIB WALL DETAIL

- N.T.S.

BUILDER:	_____
CLIENT(S):	_____
WITNESS:	_____

PROPOSED RESIDENCE FOR:
BUSCLA PTY LTD

ADDRESS:
**LOT 198 (#26) GLENMERE ROAD,
WARWICK.**

BUILT AROUND PEOPLE

DRAWN: WW
DESIGNED: SR
CHECKED: DM
DATE: 22.01.2020
MODEL:
3 X SPECIALS

SCALE: AS NOTED
SHEET: 20 OF 23
SIZE: A3
PROJECTS
JOB N°
158292

Issue Name	Drawn	Date
V02	JS	17/04/20
ADD	DMA	13/05/20
U2 TAP	DMA	20/05/20
JEL	DMA	27/05/20

U3 DETAILS



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BENCHTOP NOTE

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

WALL FINISH NOTE

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

CABINETMAKER NOTE

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

TILER NOTE

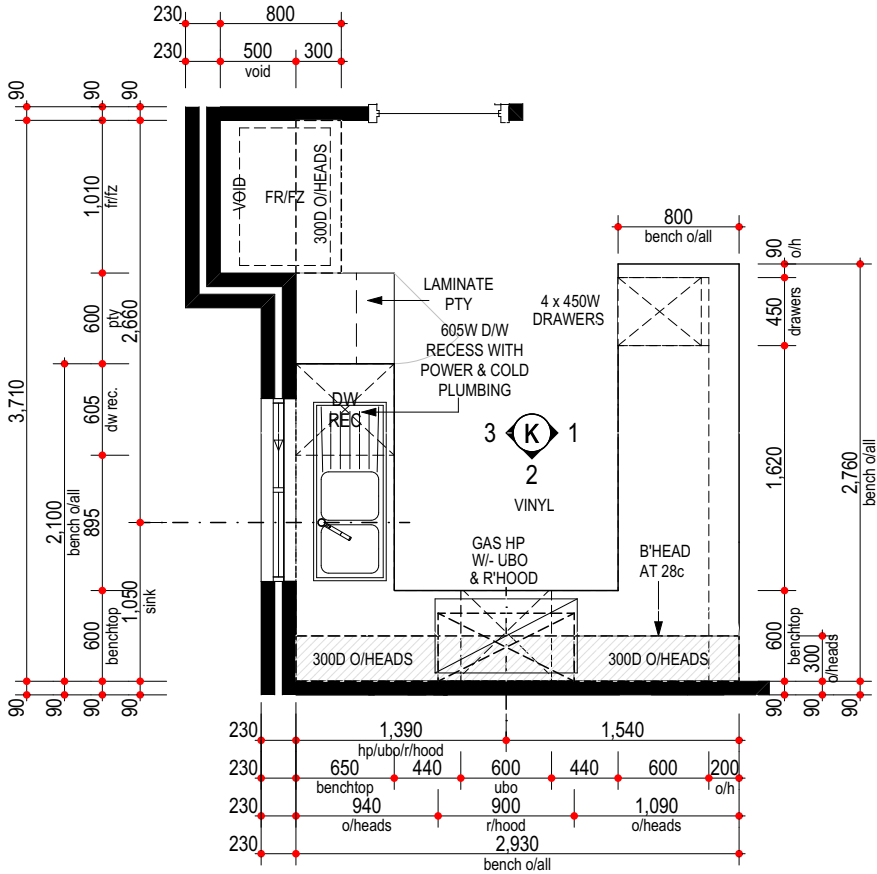
- SHADING DENOTES EXTENT OF TILING
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES.
- MITRED TILES THROUGHOUT WHERE APPLICABLE.

DO NOT SCALE FROM THIS DRAWING

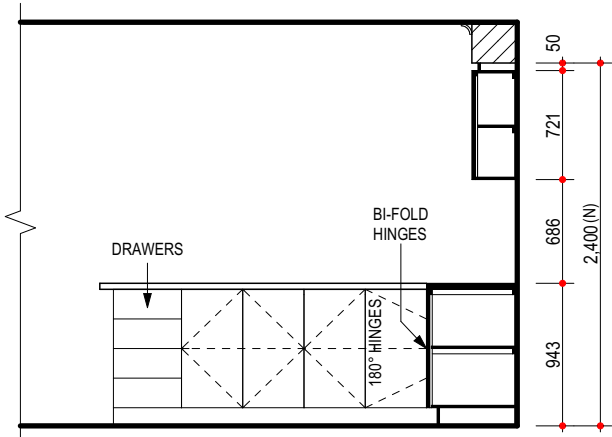
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

REFER TO ADDENDUM FOR FITOUT SPECIFICATION

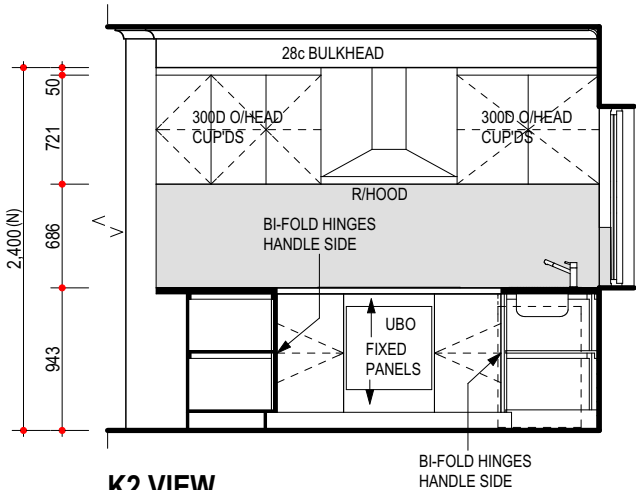
WET AREAS CONSTRUCTED IN ACCORDANCE WITH PART 3.8.1 OF B.C.A. (VOL 2)



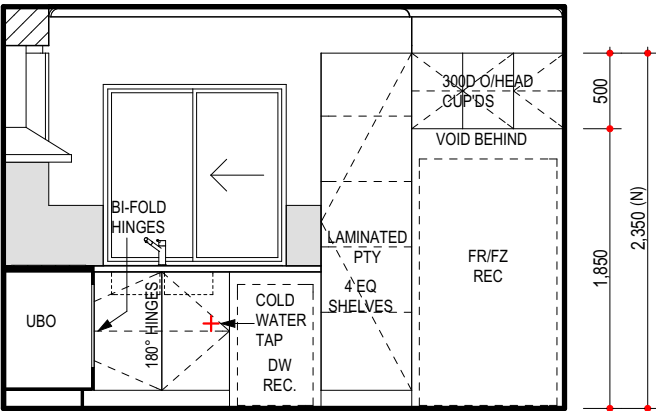
KITCHEN PLAN



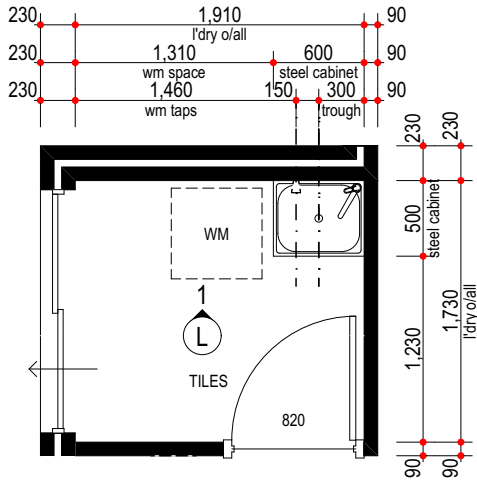
K1 VIEW



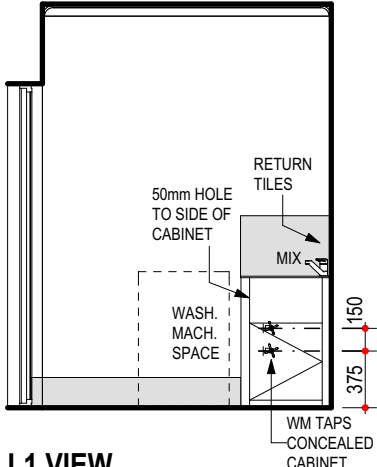
K2 VIEW



K3 VIEW



L'DRY PLAN



L1 VIEW

WITNESS:	CLIENT(S):	BUILDER:

PROPOSED RESIDENCE FOR:
BUSCLA PTY LTD

ADDRESS:
LOT 198 (#26) GLENMERE ROAD,
WARWICK.

DRAWN: WW
DESIGNED: SR
CHECKED: DM
DATE: 22.01.2020
MODEL: 3 X SPECIALS

SCALE: 1:50
SHEET: 21 OF 23
SIZE: A3
PROJECTS
JOB N° 158292

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V02	JS	17/04/20			
ADD	DMA	13/05/20			
U2 TAP	DMA	20/05/20			
JEL	DMA	27/05/20			

U3 ROOM LAYOUTS



SUMMIT
HOMES GROUP

BUILD | RENOVATE | DEVELOP

BENCHTOP NOTE

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

WALL FINISH NOTE

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

CABINETMAKER NOTE

- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

TILER NOTE

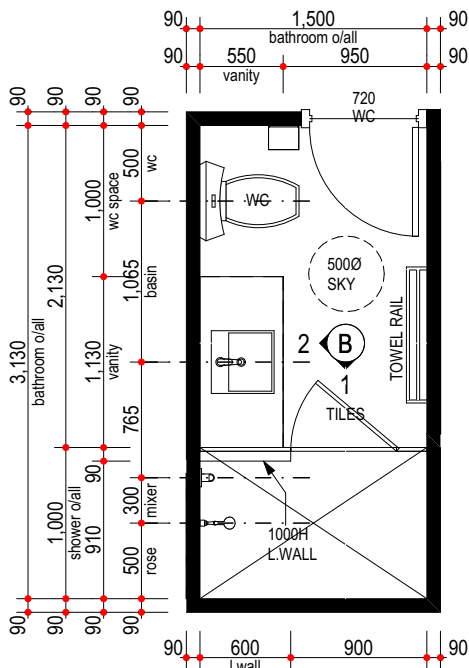
- SHADING DENOTES EXTENT OF TILING
- ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
- CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES.
- MITRED TILES THROUGHOUT WHERE APPLICABLE.

DO NOT SCALE FROM THIS DRAWING

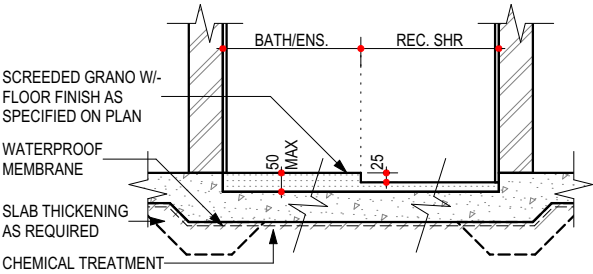
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

REFER TO ADDENDUM FOR FITOUT SPECIFICATION

WET AREAS CONSTRUCTED IN ACCORDANCE WITH PART 3.8.1 OF B.C.A. (VOL 2)



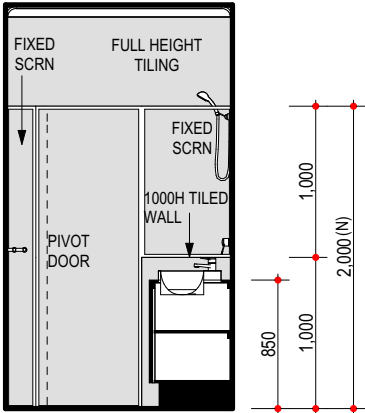
BATH PLAN



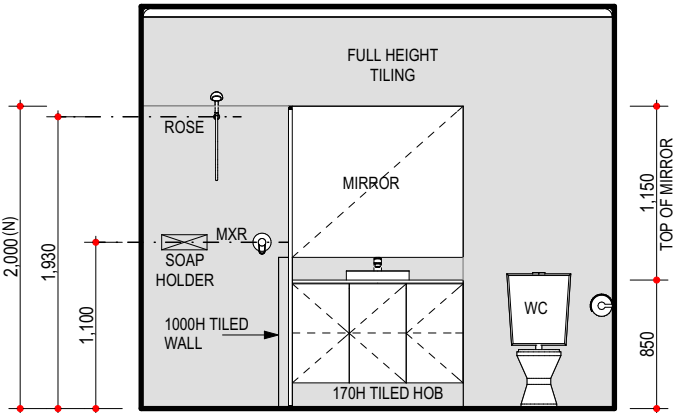
RECESSED SHOWER DETAIL (NO HOB)

NOTES:

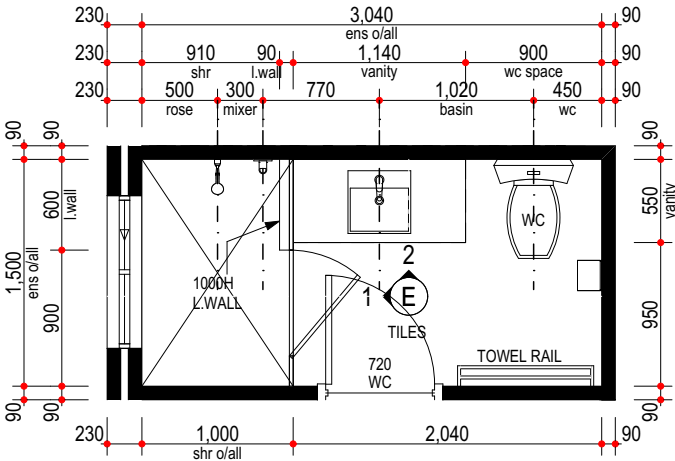
- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- SCALE 1 : 20



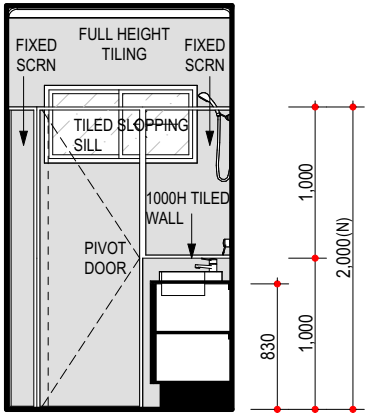
B1 VIEW



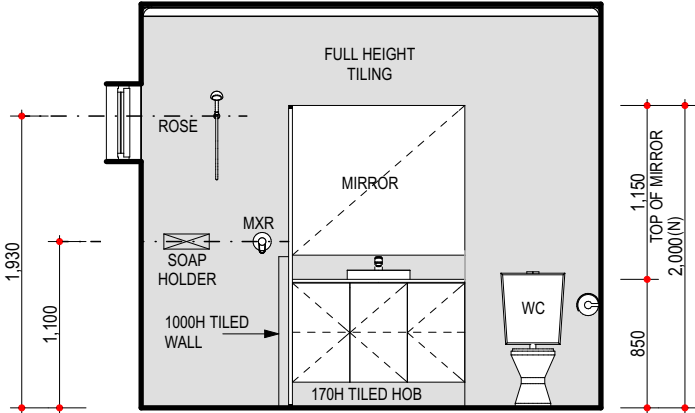
B2 VIEW



ENSUITE PLAN



E1 VIEW



E2 VIEW

WITNESS: _____
CLIENT(S): _____
BUILDER: _____

PROPOSED RESIDENCE FOR:
BUSCLA PTY LTD

ADDRESS:
LOT 198 (#26) GLENMERE ROAD,
WARWICK.

BUILT AROUND PEOPLE

DRAWN: WW
DESIGNED: SR
CHECKED: DM
DATE: 22.01.2020
MODEL: 3 X SPECIALS

SCALE: 1:50
SHEET: 22 OF 23
SIZE: A3
PROJECTS
JOB N° 158292

Issue Name V02
Drawn JS
Date 17/04/20
ADD DMA
13/05/20
U2 TAP DMA
20/05/20
JEL DMA
27/05/20
U3_ROOM LAYOUTS



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ELECTRICAL LEGEND

Qty	Sym.	Description	Watts	Insulation Penetrations
2		EXTERNAL WALL LIGHT UP/DOWN @ 2000AFL UP/DOWN	20*	*
2		EXTERNAL WALL LIGHT @ 2000 AFL Perimeter Lighting	22*	*
2		CEILING LIGHT (11w) Class 10	22*	*
1		EXTERNAL RECESSED LED DOWN-LIGHT (7W) Class 1 Portico	7*	*
1		EXTERNAL RECESSED LED DOWN-LIGHT (7W) Class 1 Alfresco	7*	*
18		RECESSED LED DOWN-LIGHT (7w)	126	
2		H.WIRED SMOKE DETECTOR	0	
2		EXHAUST FAN	0	0.090
1		CEILING LIGHT (11w)	11	
1		W/P SGPO INSTALLED IN HWU	0	
2		SINGLE GPO IN/ON CEILING	0	
4		SINGLE GPO @ NOTED HT	0	
1		NBN LEAD IN CONDUIT (25mm) W/- BLANK FACE PLATE AT 1500 AFL	0	
1		DOUBLE WATER PROOF GPO	0	
6		DOUBLE GPO @ NOTED HT	0	
7		DOUBLE GPO @ 200 AFL	0	
1		DOUBLE GPO @ 1500 AFL W/ 20mm CONDUIT FOR PSU CONNECTION	0	
1		CONDUIT WITH FACE PLATE @ NOTED HT	0	
1		CONDUIT FOR NBN (25mm)	0	
1		CONDUIT (32mm)	0	
5		CONDUIT	0	
1		D2 (2x DATA/PHONE) FOR NBN PROVISION @ 1500 AFL	0	
1		C1 (TV) + D2 (PH/DATA)	0	

*NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. Subtotal: 137 0.090 PERIMETER LIGHTING MIN. 40 LUMENS/W.

Total Class 1 Wattage= 137

Wattage Calculations (Class 1)				
Story Name	Area	Allowed Wattage	Actual Wattage	
0 Ground Floor	92.21 Sqm	461 w	137 w	
	92.21 sqm	461 w	137 w	PASS
Recessed Fitting Penetrations (Class 1)				
Story Name	Area	Maximum Penetrations	Actual Penetrations	
Total Insulation Area Vents/RangeHoods	92.21 sqm	0.461 sqm	0.090 sqm 0.094 Sqm	
	92.21 sqm	0.461 sqm	0.184 sqm	PASS
	0.20 % R4.0 Insulation Adjustment Not Required			

LIGHT AND VENTILATION CALC.

Room Name	Opn % Light	Vent.
4 BED 2		
Min. Ventilation = 0.68 Min. Light= 0.90 Total Area= 9.03		
W08 Awning	72 % 1.95 m2	1.40 m2
Totals	Light 1.95 m2 Vent 1.40 m2	
3 BED 3		
Min. Ventilation = 0.62 Min. Light= 0.83 Total Area= 8.32		
W07 Sliding Door	50 % 3.88 m2	1.94 m2
Totals	Light 3.88 m2 Vent 1.94 m2	
2 LIVING KITCHEN DINING		
Min. Ventilation = 2.88 Min. Light= 3.83 Total Area= 38.34		
W06 Sliding Door	50 % 7.65 m2	3.83 m2
W04 Sliding	50 % 1.45 m2	0.73 m2
Totals	Light 9.10 m2 Vent 4.55 m2	
1 BED 1		
Min. Ventilation = 0.89 Min. Light= 1.19 Total Area= 11.92		
W02 Sliding	32 % 3.24 m2	1.05 m2
W01 Sliding	36 % 2.25 m2	0.81 m2
Totals	Light 5.49 m2 Vent 1.86 m2	

Inputs for Airmovement and Light are Valid

BUILDER:	CLIENT(S):	WITNESS:

PROPOSED RESIDENCE FOR:
BUSCLA PTY LTD

ADDRESS:
LOT 198 (#26) GLENMERE ROAD,
WARWICK.

DRAWN: WW
DESIGNED: SR
CHECKED: DM
DATE: 22.01.2020
MODEL: 3 X SPECIALS

SCALE: 1:100
SHEET: 23 OF 23
SIZE: A3
PROJECTS
JOB N° 158292

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V02	JS	17/04/20			
ADD	DMA	13/05/20			
U2 TAP	DMA	20/05/20			
JEL	DMA	27/05/20			

U3_ELECTRICAL PLAN

ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO AS3786-2014
- FINAL POSITION OF ELECTRICAL ITEMS SUCH AS GPO'S, LIGHT SWITCHES ETC. MAY VARY ON SITE DUE TO ELECTRICAL REGULATIONS. LIGHT SWITCH HEIGHT TO BE AT 1200 AFL U.N.O.
- NEUTRAL CABLING REQUIRED TO ALL LIGHT SWITCHES.

AIRCON NOTE

- PROVIDE DUCTED REVERSE CYCLE AIR CONDITIONING.
- OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

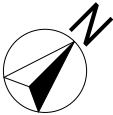
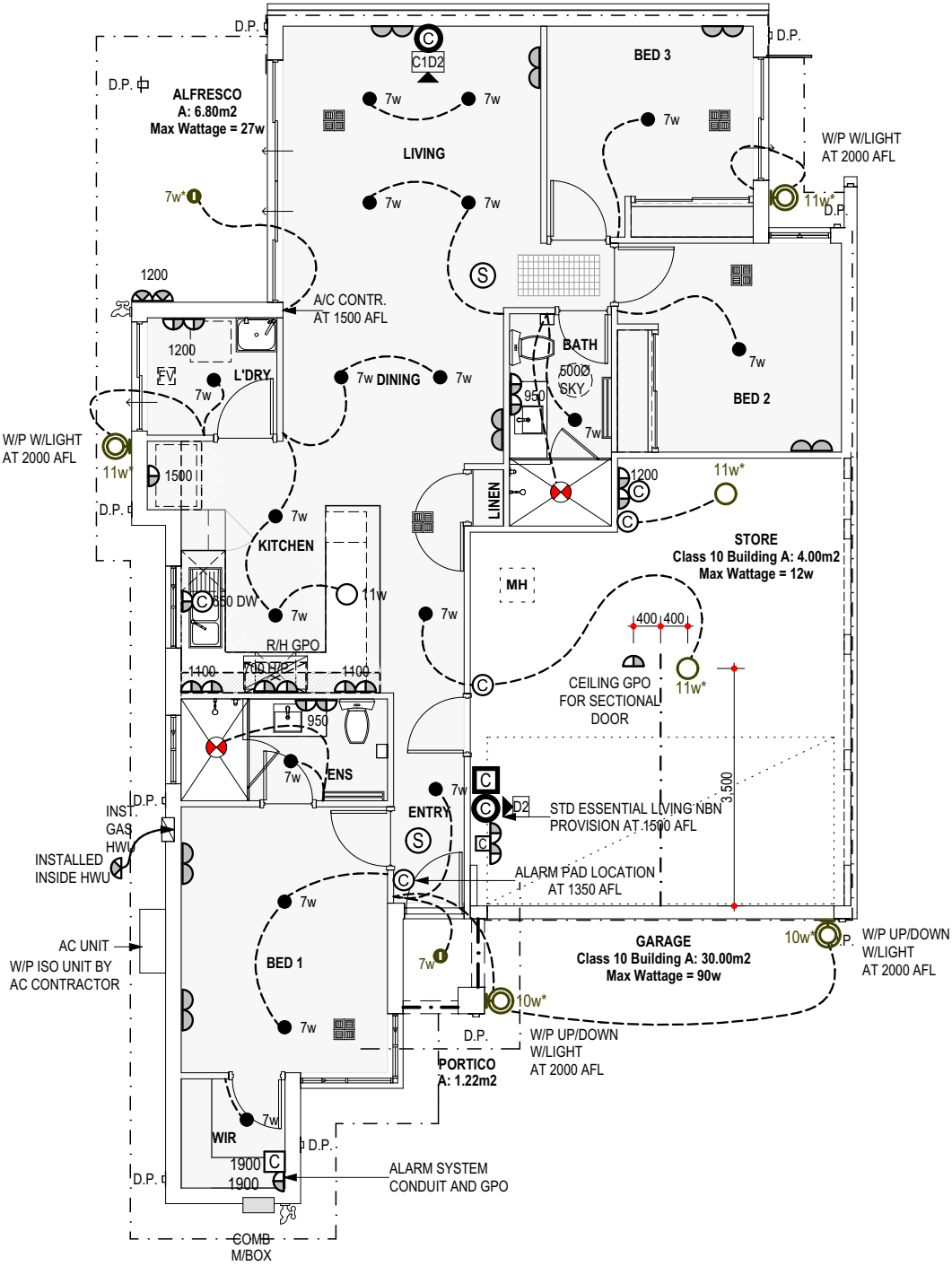
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ALL DIMENSIONS TO BRICKWORK.

CLIENT / PRESTART NOTE

- CLIENT TO CONFIRM W/- ADMINISTRATOR POSITIONING OF ALL TV, PHONE AND ROOM GPO POSITIONS.

TV ANTENNA NOTE

- PROVIDE TV ANTENNA AS PER ADDENDA



SUMMIT
HOMES GROUP

BUILD | RENOVATE | DEVELOP