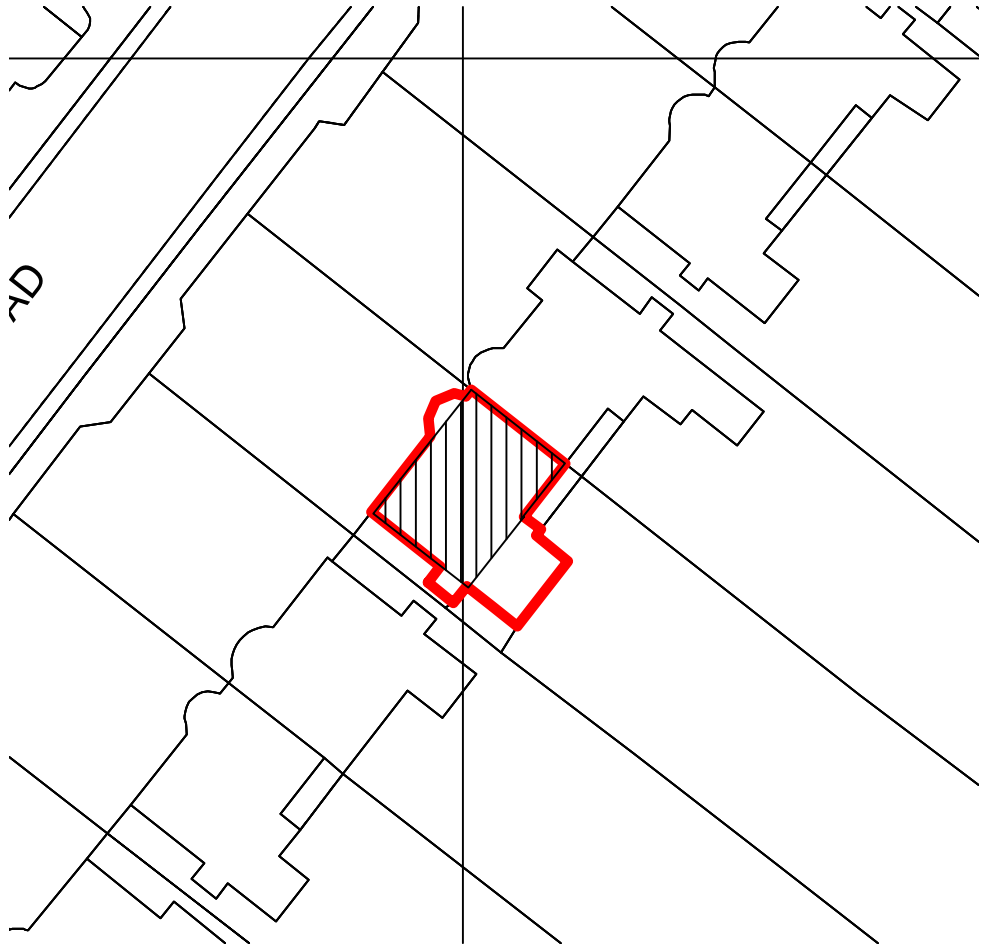
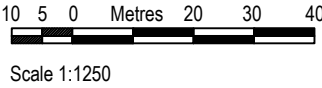


NOTES

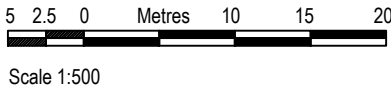
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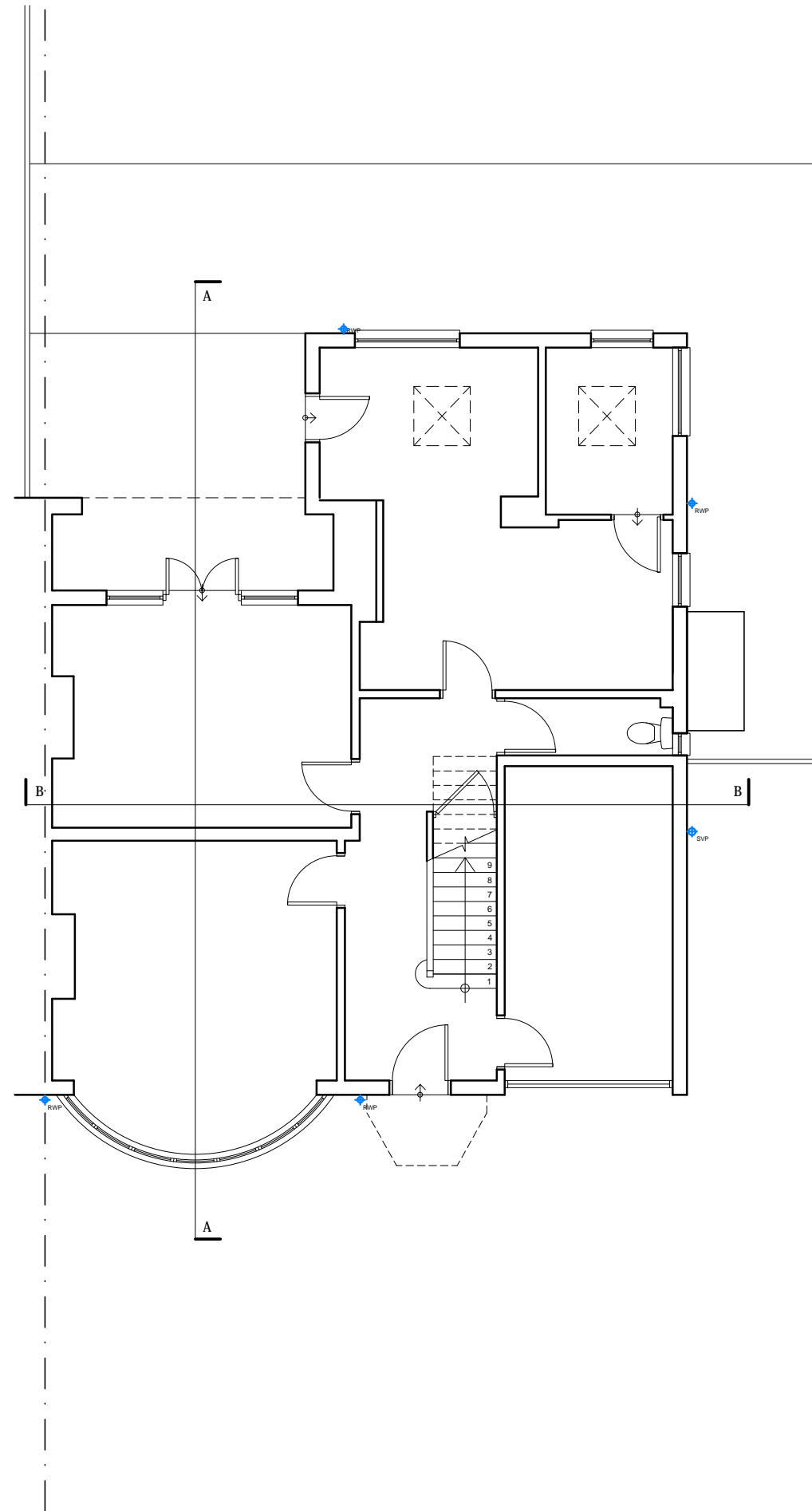
Existing Location Plan (1:1250)



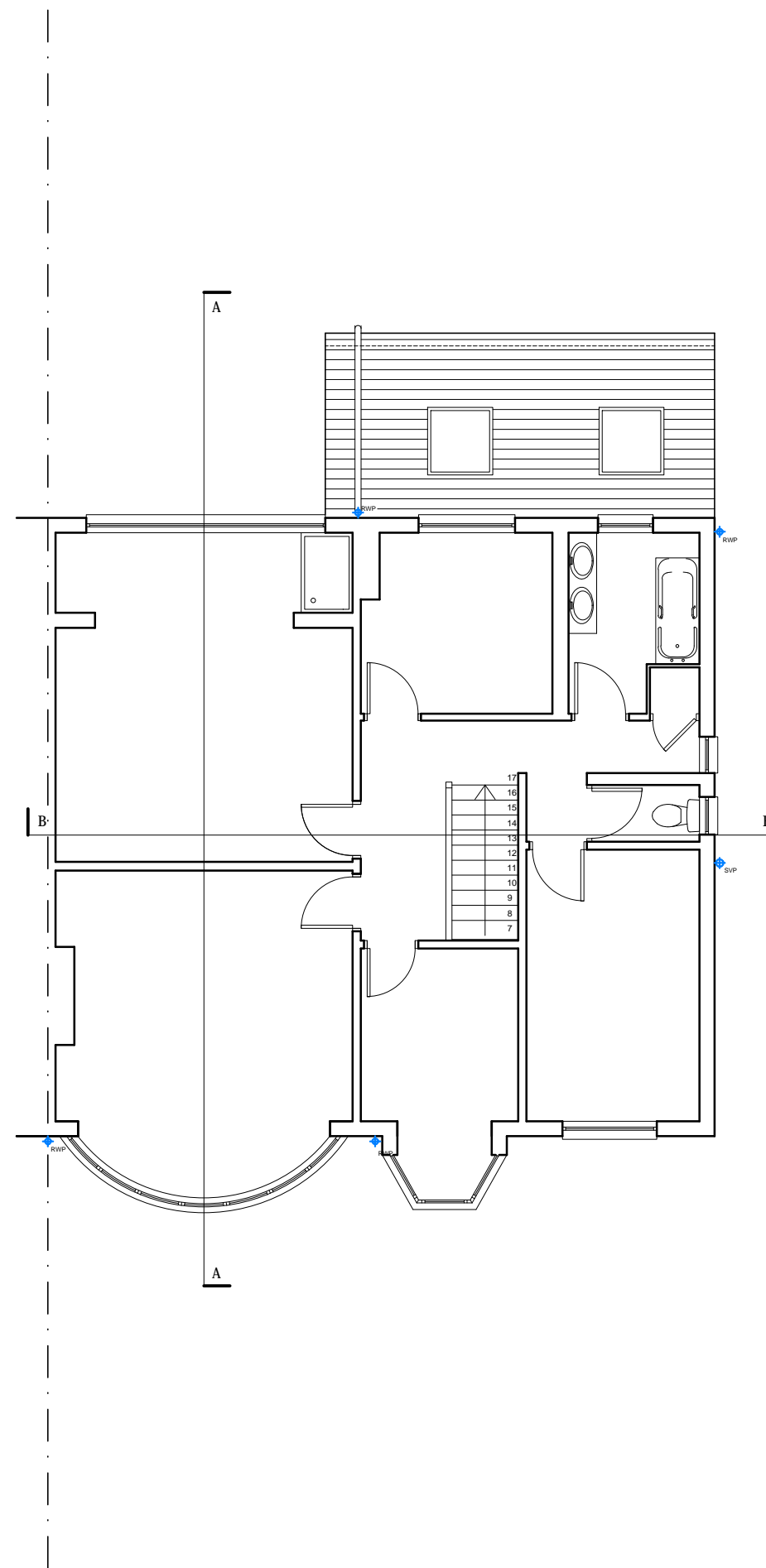
Proposed Block Plan (1:500)



Rev	Date	Revision
Client: Khalid & Bushra Khan		
Project: 10 Addington Road, CR2 8RB Loft Conversion & Rear Extension		
Drawing: Block & Location Plans		
Armstrong Simmonds Architects		
Unit 23, Battersea Business Centre, 99-109 Lavender Hill, London, SW11 5QL		
t: 020 7228 1324 m: 07817127275 m: 07779668358 e: info@as-architects.co.uk		
Drawing Number: 884_10AR_X000		Revision: *
Scale: 1:1250 / 1:500 @A3	Date: July 2017	Drawn: OH



Ground Floor Plan



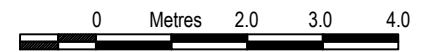
First Floor Plan

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Scale 1:100

NOT FOR CONSTRUCTION

Rev	Date	Revision

Client:
Khalid & Bushra Khan

Project:
10 Addington Road, CR2 8RB
Loft Conversion & Rear Extension

Drawing:
Ground & First Floor
EXISTING

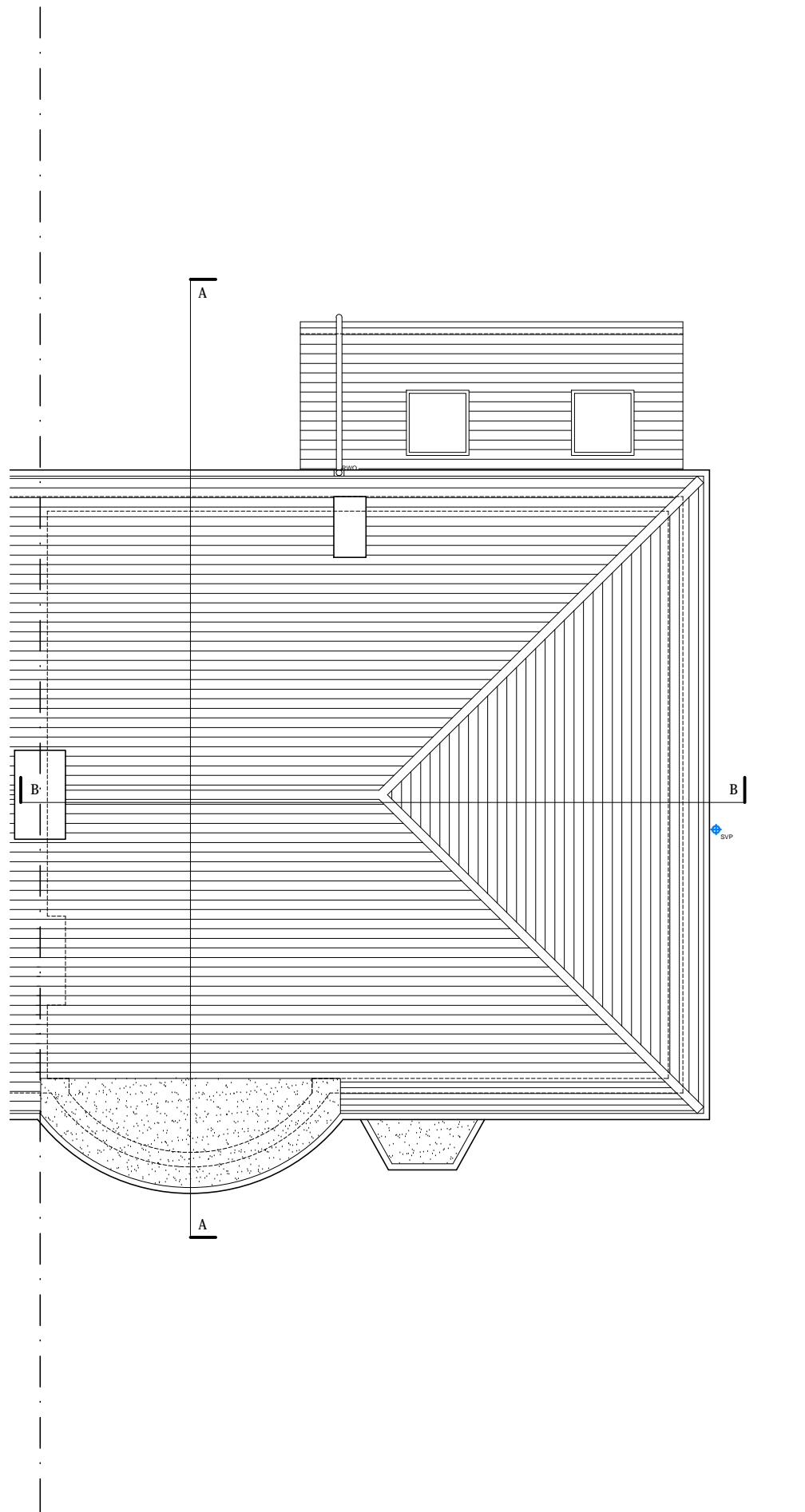
Armstrong Simmonds | Architects

Unit 23, Battersea Business Centre, 99-109
Lavender Hill, London, SW11 5QL

t: 020 7228 1324 m: 07817127275 m: 07779668358
e: info@as-architects.co.uk

Drawing Number: 884_10AR_X001	Revision: *
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Scale: 1:100 @A3	Date: July 2017	Drawn: OH
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Roof Plan



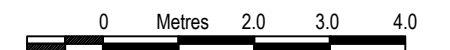
Section AA

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Scale 1:100

NOT FOR CONSTRUCTION

Rev	Date	Revision
-----	------	----------

Client:
Khalid & Bushra Khan

Project:
10 Addington Road, CR2 8RB
Loft Conversion & Rear Extension

Drawing:
Roof Plan & Section AA
EXISTING

Armstrong Simmonds | Architects

Unit 23, Battersea Business Centre, 99-109
Lavender Hill, London, SW11 5QL

t: 020 7228 1324 m: 07817127275 m: 07779668358
e: info@as-architects.co.uk

Drawing Number: 884_10AR_X002	Revision: *
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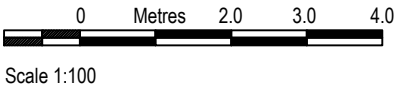
Scale: 1:100 @A3	Date: July 2017	Drawn: OH
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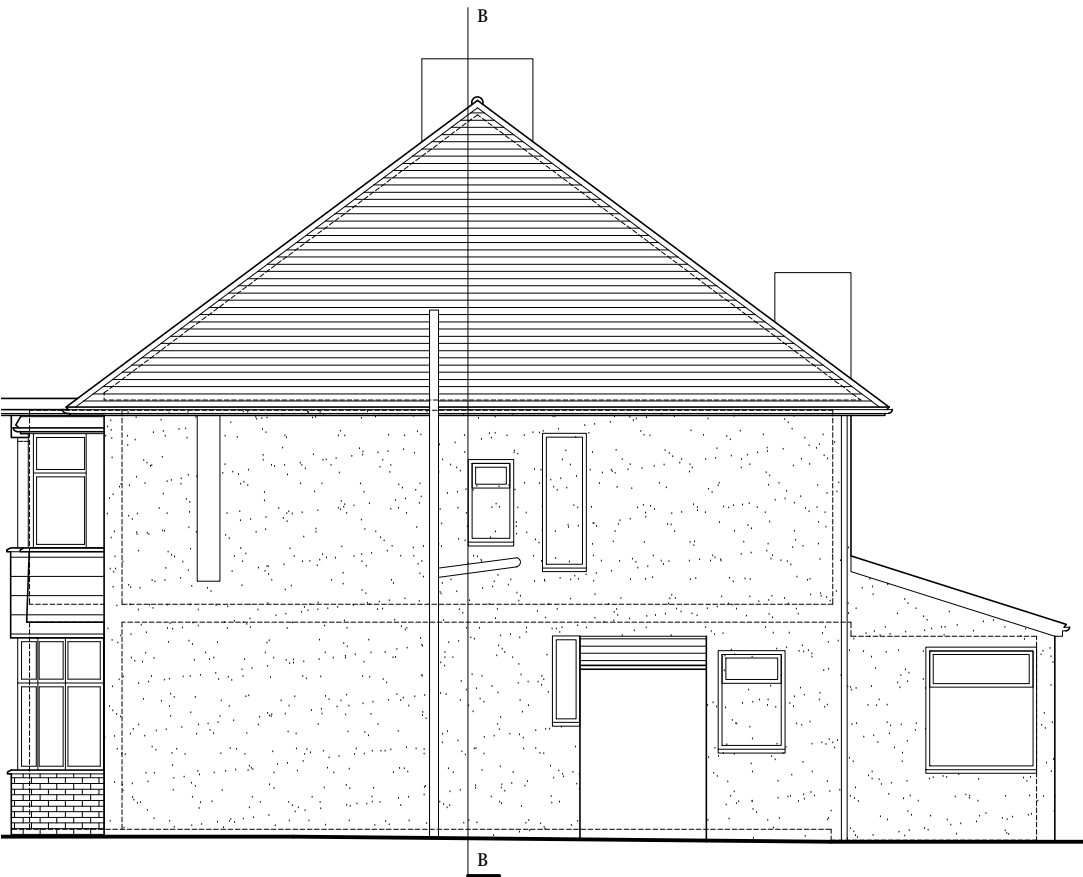
Rev	Date	Revision
Client: Khalid & Bushra Khan		
Project: 10 Addington Road, CR2 8RB Loft Conversion & Rear Extension		
Drawing: Front, Rear and Side Elevations, & Section B-B EXISTING		
Armstrong Simmonds Architects		
Unit 23, Battersea Business Centre, 99-109 Lavender Hill, London, SW11 5QL		
t: 020 7228 1324 m: 07817127275 m: 07779668358 e: info@as-architects.co.uk		
Drawing Number: 884_10AR_X003		Revision: *
Scale: 1:100 @A3	Date: July 2017	Drawn: OH



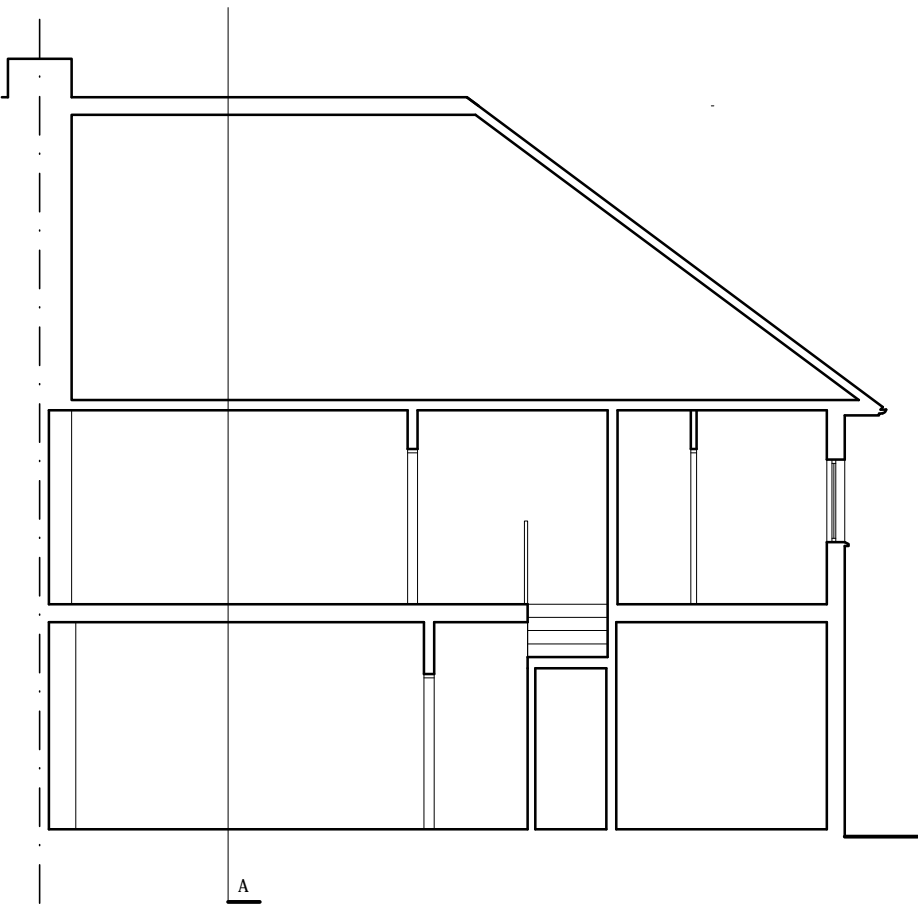
Front Elevation



Rear Elevation

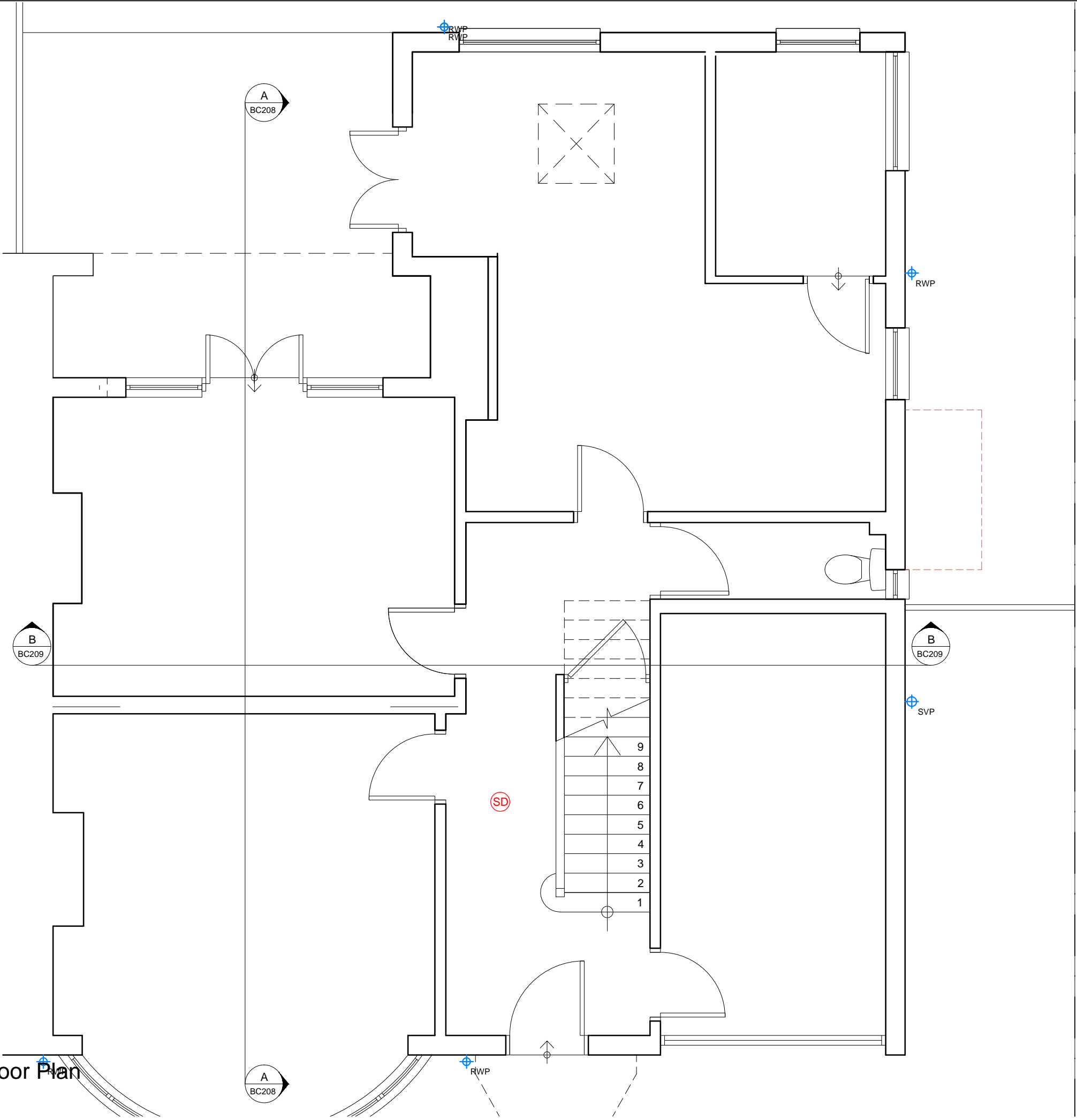


Side Elevation



Section B-B

Ground Floor Plan

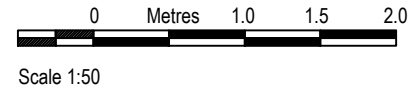


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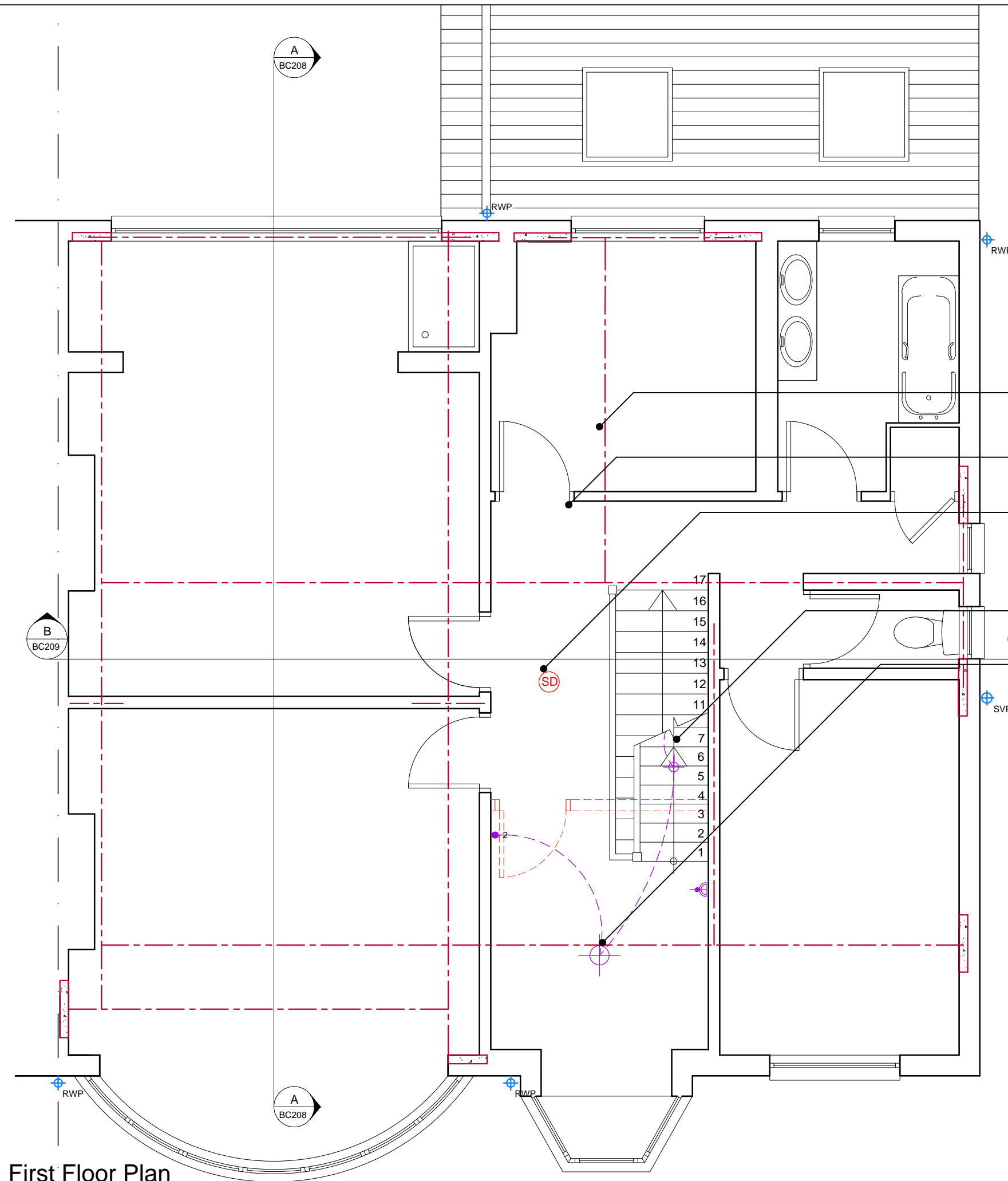
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NB. Any dims provided in brackets are indicative only - setting out is likely to be determined by other criteria.



NOT FOR CONSTRUCTION

Rev	Date	Revision
Client: Khalid & Bushra Khan		
Project: 10 Addington Road, CR2 8RB Loft Conversion & Rear Extension		
Drawing: Ground Floor Plan PROPOSED		
Armstrong Simmonds Architects		
Unit 23, Battersea Business Centre, 99-109 Lavender Hill, London, SW11 5QL		
t: 020 7228 1324 m: 07817127275 m: 07779668358 e: info@as-architects.co.uk		
Drawing Number: 884_10AR_BC201		Revision: *
Scale: 1:50 @A3	Date: July 2019	Drawn: NG



First Floor Plan

Regulation B:
If and when requested please provide Building Control with installation/commissioning/testing certificates for the proposed fire alarm installation shown on plans for comments and or advice.

Regulation P:
Electrical installation is to be carried out by a competent and certified person. If not certified please provide details of the electrical installer and all appropriate installation and Part P electrical testing Certificate following the assessment carried out by certified person to be submitted to Building Control (see also notes on 884_10AR_BC212).

- For structural design for all steel / timber load bearing members, padstones etc. - see Structural Engineer's Calcs Pack.
- Ensure all doors except bathrooms are E20 (20 min. Fire Resistant).
- Smoke detector mains connected. Interlinked smoke detector in accordance with BS 5839-6:2013 to at least a Grade D Category LD3 standard
- Fixed energy efficient light fittings. See also notes on DRWG# 884_10AR_BC212
- Pendant light. See also notes on DRWG# 884_10AR_BC212

Health, Safety and Environmental information
Locations of utility supplies are shown indicatively. Contractor to discuss with client and confirm on site.

DRAINAGE TO BE CONTRACTOR DESIGNED NB: DRAINAGE LAYOUT IS SHOWN FOR DESIGN INTENT PURPOSES ONLY. CONTRACTOR MUST INSTALL MULTIPLE RUNS AS NECESSARY TO DISCHARGE BOTH FOUL WASTE AND RAIN WATER.

DECORATION: Assume base primer with 2 no. further coats of emulsion paint as necessary to achieve finish to ceilings and walls. Assume skirtings required to entire extended spaces, architraves to all new internal door openings and second fix joinery (pre-dipped) to receive gloss or other paint finish to be agreed with client.

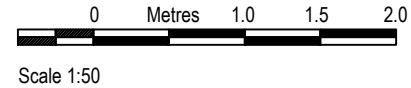
Written Party Wall consent required from adjoining owners prior to commencement of work

NOTES

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NB. Any dims provided in brackets are indicative only - setting out is likely to be determined by other criteria.



NOT FOR CONSTRUCTION

Rev	Date	Revision
Client: Khalid & Bushra Khan		
Project: 10 Addington Road, CR2 8RB Loft Conversion & Rear Extension		
Drawing: First Floor Plan PROPOSED		
Armstrong Simmonds Architects		
Unit 23, Battersea Business Centre, 99-109 Lavender Hill, London, SW11 5QL		
t: 020 7228 1324 m: 07817127275 m: 07779668358 e: info@as-architects.co.uk		
Drawing Number: 884_10AR_BC202		Revision: *
Scale: 1:50 @A3	Date: July 2019	Drawn: NG

Min 8000mm² trickle ventilation required to external door/windows.

Fixed energy efficient light fittings.
See also notes on DRWG#
DRWG# 884_10AR_BC212

For structural design for all steel /
timber load bearing members,
padstones etc. - see Structural
Engineer's Calcs Pack.

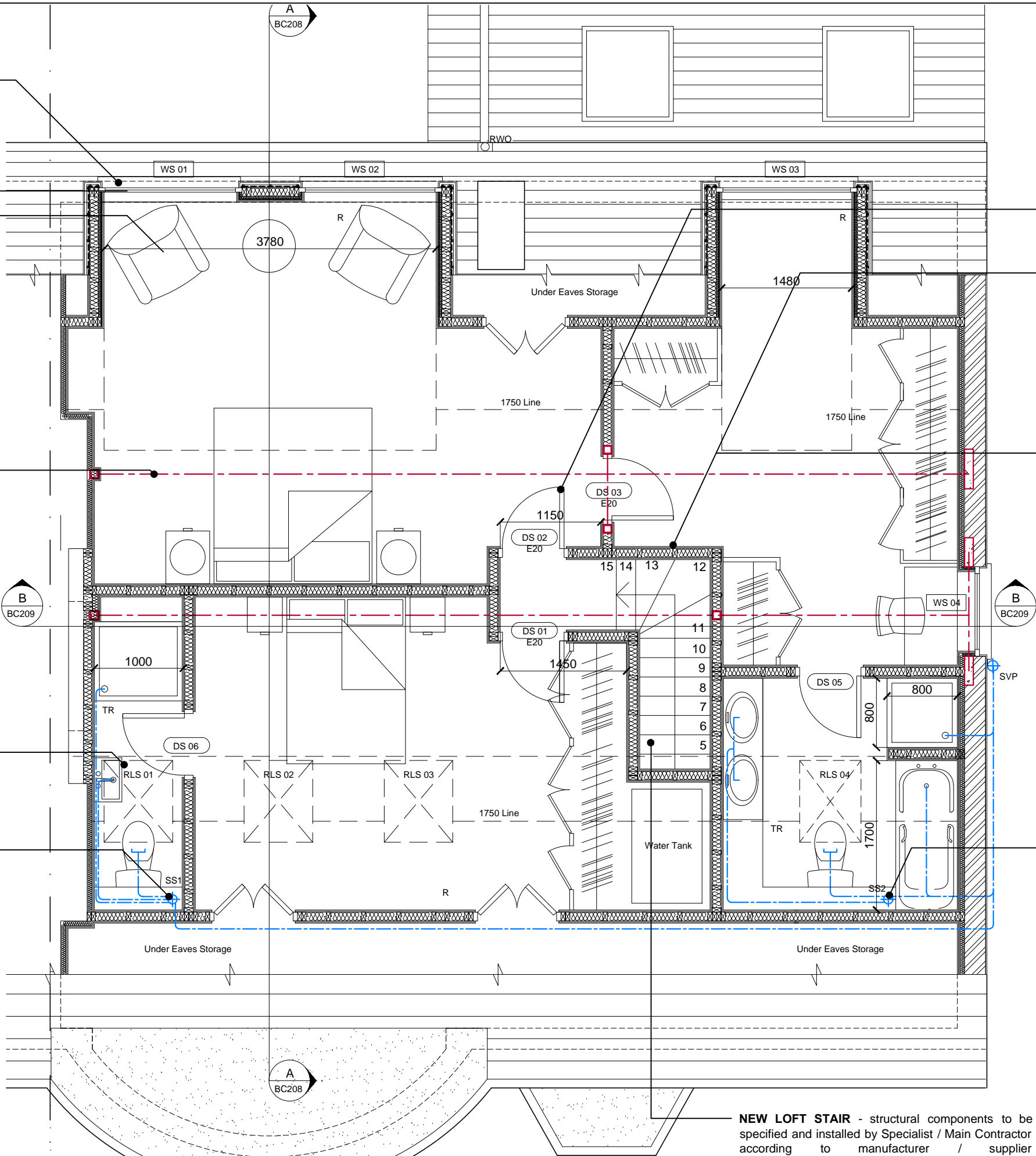
4 no. roof windows RLS 01 - RLS
04 (Velux openable roof windows
recommended or approved
equivalent, blinds to be included).
Contractor to provide specification
options for client's approval.

Stub stack (SS1) to connect to
Existing SVP. **Saniflo /
macerator required due to
distance from Ensuite to SVP**
All connections to sub stack
to have 40Ø waste except for WC
which should have 100Ø
waste. Provide access at all
bends, junctions and changes
in gradient. NB. Building
Control requires ventilation
provision to encased
sub-stacks, to ensure operation
of working of valve.

**Health, Safety and
Environmental information**

Locations of utility supplies are
shown indicatively. Contractor to
discuss with client and confirm on
site.

Written Party Wall consent
required from adjoining owners
prior to commencement of work



NEW LOFT STAIR - structural components to be
specified and installed by Specialist / Main Contractor
according to manufacturer / supplier
recommendations. If and when requested please
provide details of stair construction for Building
Control comment and advise.

Ensure all doors except
bathrooms are E20 (20 min.
Fire Resistant).

**New internal stud walls
between loft area and stair
enclosure to be 30 min. Fire
Resistant** 2no. layer
plasterboard to each side or
1no. layer Fireline board to
each side of 100x50mm timber
stud with 50mm Isover APR
1200 insulation between studs,
plasterboard to be taped and
skimmed.

SETTING OUT: walls to be in
line with existing architecture
as shown.

**DRAINAGE TO BE
CONTRACTOR
DESIGNED NB:**
DRAINAGE LAYOUT IS
SHOWN FOR DESIGN
INTENT PURPOSES
ONLY. CONTRACTOR
MUST INSTALL MULTIPLE
RUNS AS NECESSARY
TO DISCHARGE BOTH
FOUL WASTE AND RAIN
WATER.

Stub stack (SS2) to connect to
Existing SVP. All connections
to sub stack to have 40Ø waste
except for WC which should
have 100Ø waste. Provide
access at all bends, junctions
and changes in gradient. NB.
Building Control requires
ventilation provision to encased
sub-stacks, to ensure operation
of working of valve.

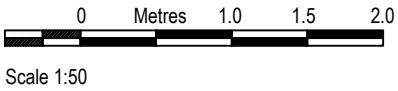
DECORATION: Assume base
primer with 2 no. further coats
of emulsion paint as necessary
to achieve finish to ceilings and
walls. Assume skirtings
required to entire extended
spaces, architraves to all new
internal door openings and
second fix joinery (pre-dipped)
to receive gloss or other
paint finish to be agreed with
client.

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determined by other criteria.



NOT FOR CONSTRUCTION

Rev	Date	Revision
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Client:
Khalid & Bushra Khan

Project:
10 Addington Road, CR2 8RB
Loft Conversion & Rear Extension

Drawing:
Second Floor Plan
PROPOSED

Armstrong Simmonds Architects

Unit 23, Battersea Business Centre, 99-109
Lavender Hill, London, SW11 5QL

t: 020 7228 1324 m: 07817127275 m: 07779668358
e: info@as-architects.co.uk

Drawing Number:
884_10AR_BC203 Revision:
*

Scale:
1:50 @A3 Date:
July 2019 Drawn:
NG

Min 8000mm² trickle ventilation required to external door/windows.

Fixed energy efficient light fittings.
See also notes on DRWG#
DRWG# 884_10AR_BC212

Regulation P:

Electrical installation is to be carried out by a competent and certified person. If not certified please provide details of the electrical installer and all appropriate installation and Part P electrical testing Certificate following the assessment carried out by certified person to be submitted to Building Control (see also notes on 884_10AR_BC212).

For structural design for all steel / timber load bearing members, padstones etc. - see Structural Engineer's Calcs Pack.

Smoke detector mains connected. Interlinked smoke detector in accordance with BS 5839-6:2013 to at least a Grade D Category LD3 standard

New mechanical extract at a minimum intermittent rate of 15 l/s relay-linked to light switch with 15 min overrun to run to outside air via roof with suitable terminal.

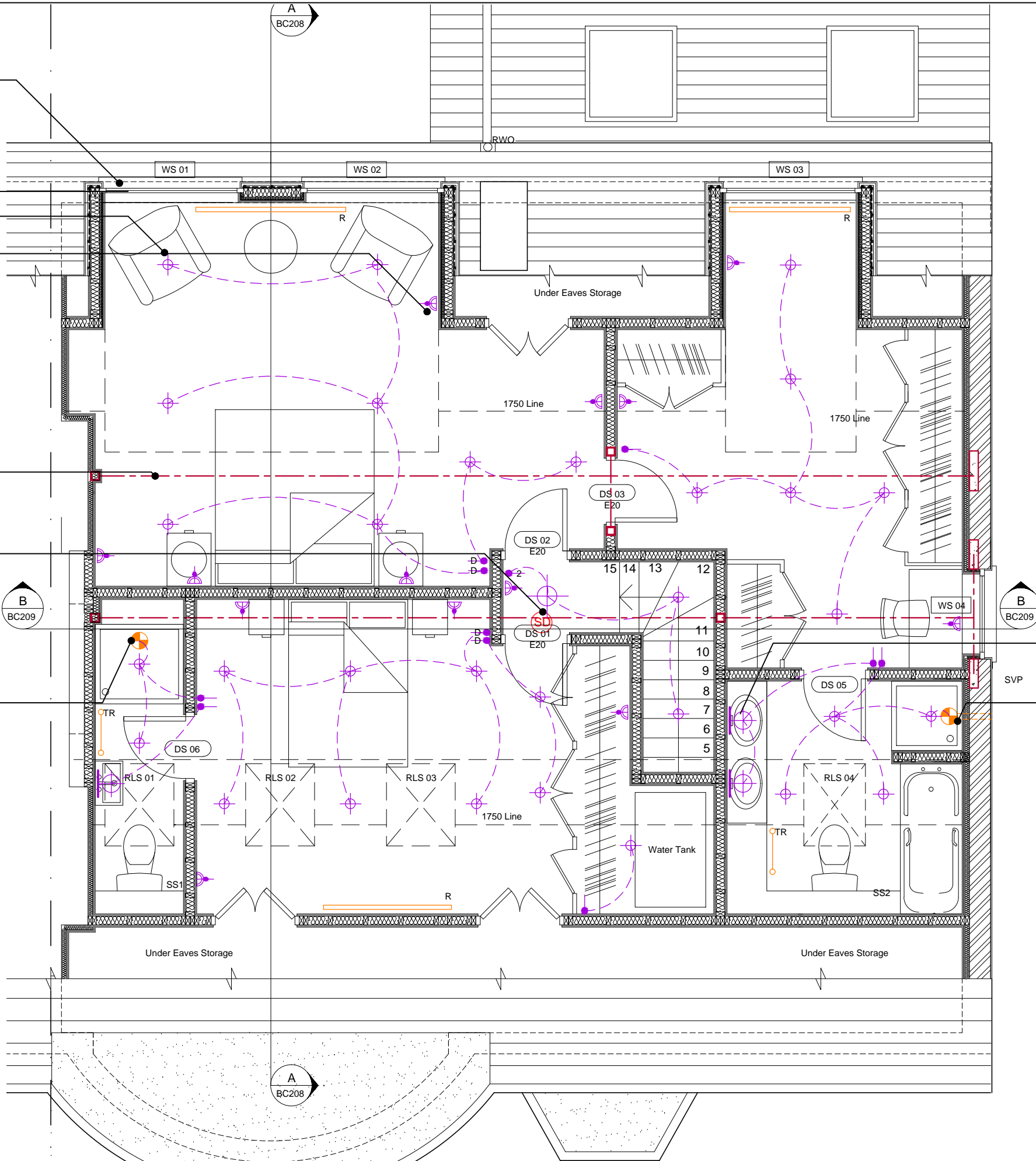
Regulation B:

If and when requested please provide Building Control with installation/commissioning/testing certificates for the proposed fire alarm installation shown on plans for comments and or advice.

Health, Safety and Environmental information

Locations of utility supplies are shown indicatively. Contractor to discuss with client and confirm on site.

Written Party Wall consent required from adjoining owners prior to commencement of work



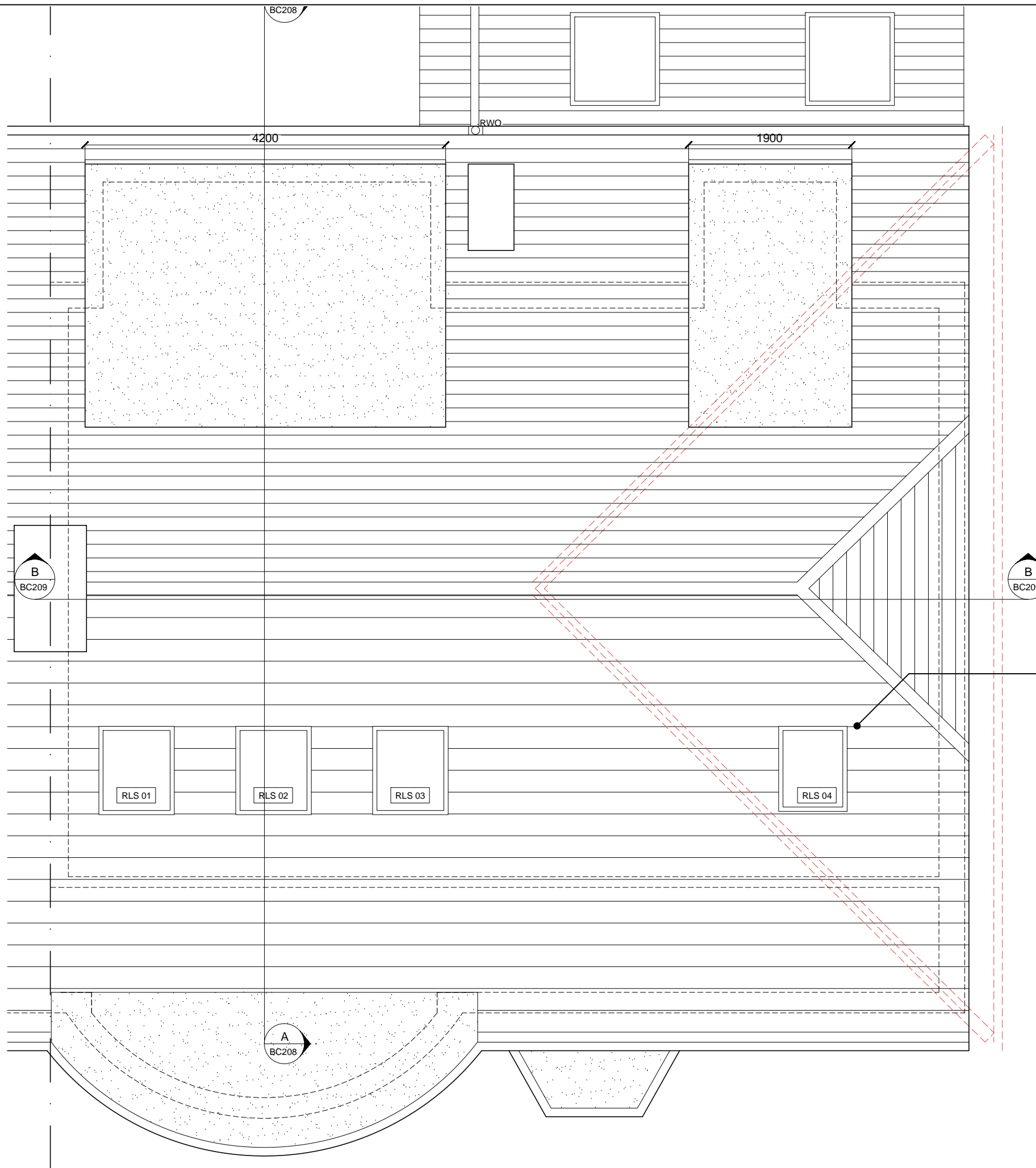
Wall mounted light fittings.
See also notes on DRWG#
DRWG# 884_10AR_BC212

New mechanical extract at a minimum intermittent rate of 15 l/s relay-linked to light switch with 15 min overrun to run to outside air via external wall with suitable terminal.

DECORATION: Assume base primer with 2 no. further coats of emulsion paint as necessary to achieve finish to ceilings and walls. Assume skirtings required to entire extended spaces, architraves to all new internal door openings and second fix joinery (pre-dipped) to receive gloss or other paint finish to be agreed with client.

Second Floor Plan (Electrical Layout)

Roof Plan

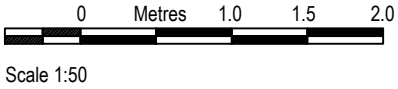


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NOT FOR CONSTRUCTION

4 no. roof windows RLS 01 - RLS 04 (Velux openable roof windows recommended or approved equivalent, blinds to be included). Contractor to provide specification options for client's approval.

Written Party Wall consent required from adjoining owners prior to commencement of work

Rev	Date	Revision
Client: Khalid & Bushra Khan		
Project: 10 Addington Road, CR2 8RB Loft Conversion & Rear Extension		
Drawing: Roof Plan PROPOSED		
Armstrong Simmonds Architects		
Unit 23, Battersea Business Centre, 99-109 Lavender Hill, London, SW11 5QL		
t: 020 7228 1324 m: 07817127275 m: 07779668358 e: info@as-architects.co.uk		
Drawing Number: 884_10AR_BC204		Revision: *
Scale: 1:50 @A3	Date: July 2019	Drawn: NG



Front Elevation

- Facing materials to match existing
- 4 no. roof windows RLS 01 - RLS 04 (Velux openable roof windows recommended or approved equivalent, blinds to be included). Contractor to provide specification options for client's approval.
- Min 8000mm² trickle ventilation required to external door/windows.
- Velux windows to front roof slope must not project from plane of roof by more than 150mm as required by Permitted Development rules

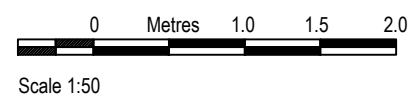
Written Party Wall consent required from adjoining owners prior to commencement of work

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Rev	Date	Revision
Client: Khalid & Bushra Khan		
Project: 10 Addington Road, CR2 8RB Loft Conversion & Rear Extension		
Drawing: Front Elevation PROPOSED		
Armstrong Simmonds Architects		
Unit 23, Battersea Business Centre, 99-109 Lavender Hill, London, SW11 5QL		
t: 020 7228 1324 m: 07817127275 m: 07779668358 e: info@as-architects.co.uk		
Drawing Number: 884_10AR_BC205		Revision: *
Scale: 1:50 @A3	Date: July 2019	Drawn: NG



- New Openable Windows WS01 - WS03 . Contractor to provide specification options for client's approval.
- Min 8000mm² trickle ventilation required to external door/windows.
- Double-glazed window (to match existing) to manufacturer's specifications.
- Facing materials to match existing

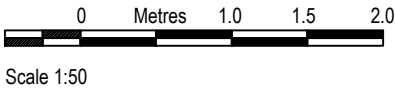
Written Party Wall consent required from adjoining owners prior to commencement of work

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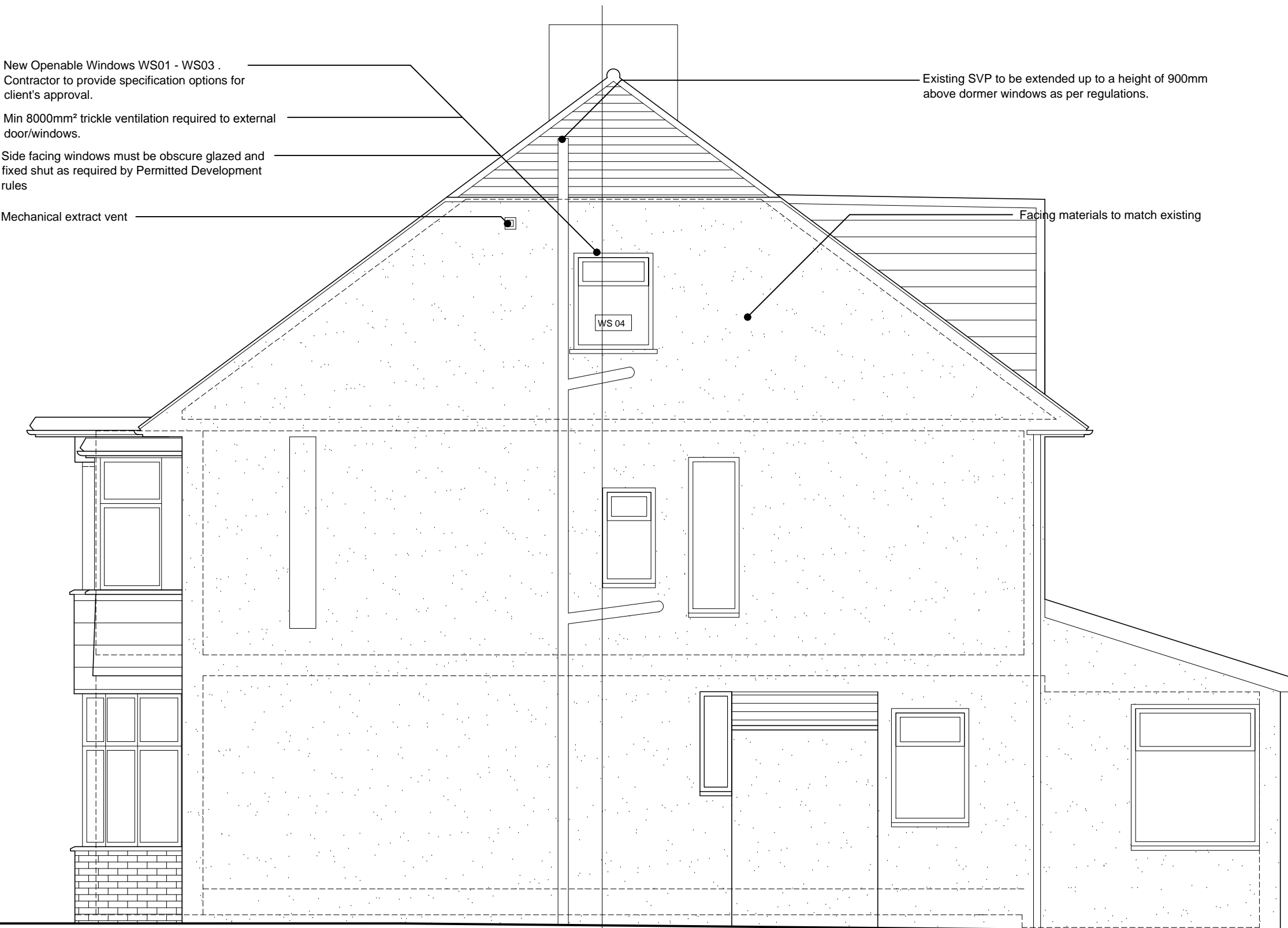
NB. Any dims provided in brackets are indicative only - setting out is likely to be determined by other criteria.



NOT FOR CONSTRUCTION

Rev	Date	Revision
Client: Khalid & Bushra Khan		
Project: 10 Addington Road, CR2 8RB Loft Conversion & Rear Extension		
Drawing: Rear Elevation PROPOSED		
Armstrong Simmonds Architects		
Unit 23, Battersea Business Centre, 99-109 Lavender Hill, London, SW11 5QL		
t: 020 7228 1324 m: 07817127275 m: 07779668358 e: info@as-architects.co.uk		
Drawing Number: 884_10AR_BC206		Revision: *
Scale: 1:50 @A3	Date: July 2019	Drawn: NG

Rear Elevation



New Openable Windows WS01 - WS03 .
Contractor to provide specification options for
client's approval.

Min 8000mm² trickle ventilation required to external
door/windows.

Side facing windows must be obscure glazed and
fixed shut as required by Permitted Development
rules

Mechanical extract vent

Existing SVP to be extended up to a height of 900mm
above dormer windows as per regulations.

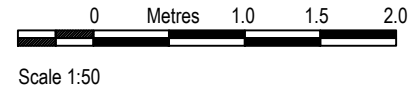
Facing materials to match existing

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NB. Any dims provided in brackets are indicative only - setting out is likely to be determined by other criteria.



NOT FOR CONSTRUCTION

Written Party Wall consent required from adjoining owners prior to commencement of work

Rev	Date	Revision
-----	------	----------

Client:
Khalid & Bushra Khan

Project:
10 Addington Road, CR2 8RB
Loft Conversion & Rear Extension

Drawing:
Side Elevation
PROPOSED

Armstrong Simmonds Architects

Unit 23, Battersea Business Centre, 99-109
Lavender Hill, London, SW11 5QL

t: 020 7228 1324 m: 07817127275 m: 07779668358
e: info@as-architects.co.uk

Drawing Number: 884_10AR_BC207 Revision: *

Scale: 1:50 @A3 Date: July 2019 Drawn: NG

Side Elevation



Flat Roof Construction (U-value 0.18 W/m²K required)

Fibreglass (to be installed as per manufacturers instructions and/or standard details and specifications) on
18mm plywood decking mechanically fixed onto
100mm rigid foam Kingspan Thermarof TR26 insulation mechanically fixed in accordance with manufacturers recommendations over
1000 gauge 0.25mm polythene vapour control layer and bedded on
12mm plywood decking mechanically fixed on
Firrings (min 1:80 gradient) on
Roof joists (see SE's calc pack) on
100mm rigid foam Kingspan Thermapitch TP10 insulation between joists and up against top decking
12.5mm "vapour check" plasterboard with Minimum designation of AA, AB or AC necessary to resist the surface spread of flame

Dormer Cheek / Face Build Up:
(U-value 0.28 W/m²K required)

Roof Slates/Tiles to match existing roof, vertical hung (strictly keep to manufacturers instructions) on
Battens on Counter Battens on
Breather Membrane on
12mm WBP plywood on
50 x 100 studs (see SE's calc pack) with
Kingspan Kooltherm K107 in void and 37.5mm insulated plasterboard to inner face.

* Dormer windows to be finished in lead with suitable underlay.
* Gyproc SoundBloc or double layer plaster board or equivalent acoustic plasterboard to be used.
* Supalux also required in all timber construction facing adjoining boundary as within 1m of boundary.

Min 8000mm² trickle ventilation required to external door/windows

Ridge beam - see SE's calc pack for details

Existing (modified) Pitched Roof Build Up (Cold Roof) - (U-value 0.18 W/m²K)

Roof Slates/Tiles and roof pitch to match existing roof on
Battens on Breather Membrane on
50mm min ventilation gap on
100mm of Kingspan Kooltherm K107 insulation between rafters (rafters assumed to be 100mm thick) on
50mm battens
42.5mm of Duplex plasterboard with skim finish.
Use eaves carrier + eaves filler comb

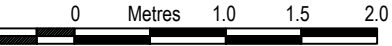
New rafters to be bolted to existing rafters or otherwise fixed as per SE's guidance
Adequate ventilation must be created at eaves and ridge to ensure sufficient ventilation of the entire roof space

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Scale 1:50

NOT FOR CONSTRUCTION

All roofing works to include for lead soakers flashing/trims/etc... as necessary
Lead work at abutments as necessary cut into the brickwork and pointed and any roof penetration to have suitable lead collars.

Stairs
Treads 230mm, Risers 201mm approximately, TBC pending stair supplier. Handrail minimum 900mm above pitchline with 85mm openings in guarding. Minimum going 50mm on tapered treads. Staircase will therefore be less than the maximum pitch of 42 degrees

Must maintain 2m head height over existing and proposed stairs in order to comply with building regulations.

Rev	Date	Revision
-----	------	----------

Client:
Khalid & Bushra Khan

Project:
10 Addington Road, CR2 8RB
Loft Conversion & Rear Extension

Drawing:
Section AA
PROPOSED

Armstrong Simmonds | Architects

Unit 23, Battersea Business Centre, 99-109
Lavender Hill, London, SW11 5QL

t: 020 7228 1324 m: 07817127275 m: 07779668358
e: info@as-architects.co.uk

Drawing Number:
884_10AR_BC208

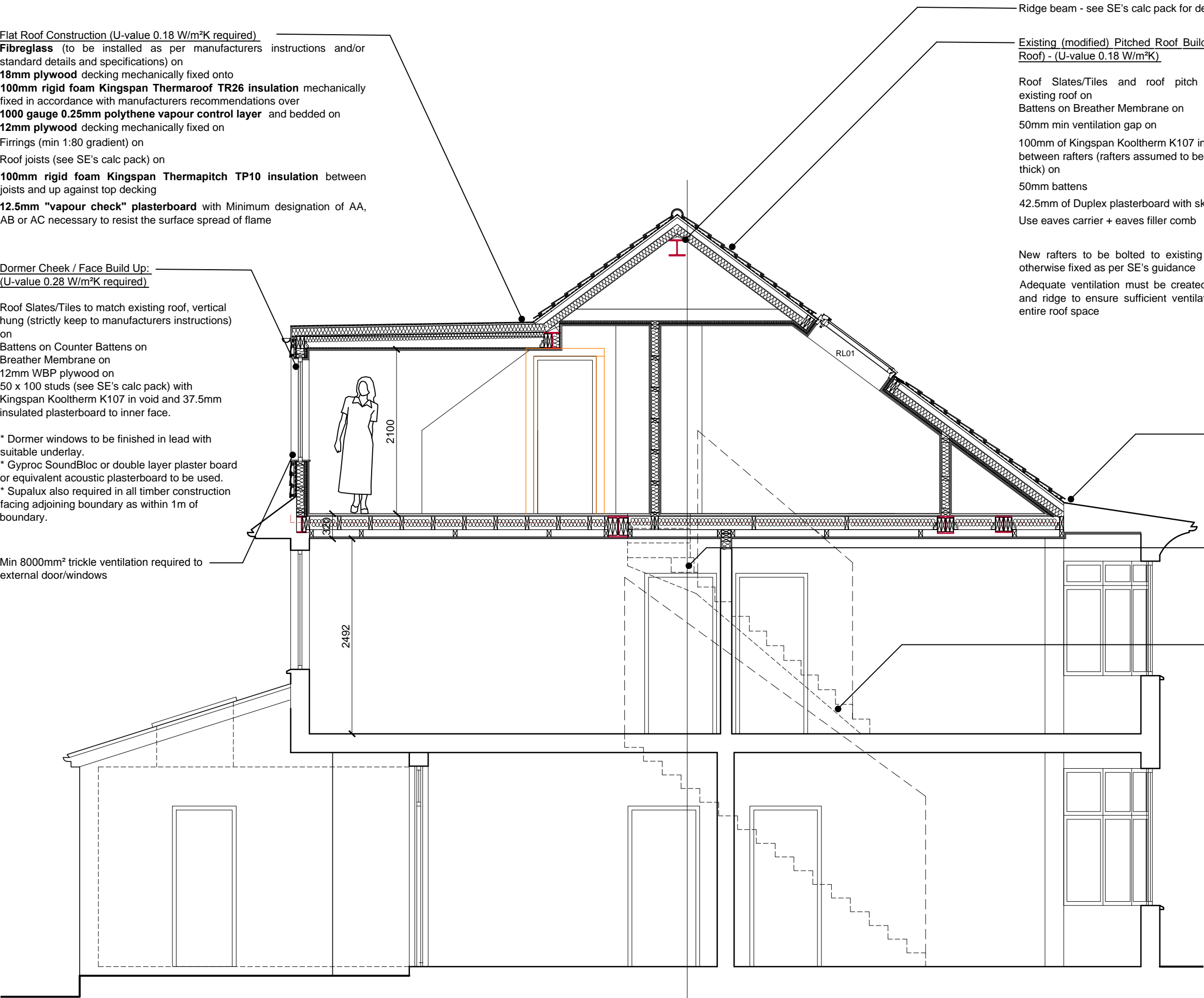
Revision:
*

Scale:
1:50 @A3

Date:
July 2019

Drawn:
NG

Section AA



All roofing works to include for lead soakers flashing/trims/etc... as necessary
Lead work at abutments as necessary cut into the brickwork and pointed and any roof penetration to have suitable lead collars.

Ridge beam - see SE's calc pack for details

Existing (modified) Pitched Roof Build Up (Cold Roof) - (U-value 0.18 W/m²K)

Roof Slates/Tiles and roof pitch to match existing roof on
Battens on Breather Membrane on
50mm min ventilation gap on
100mm of Kingspan Kooltherm K107 insulation between rafters (rafters assumed to be 100mm thick) on
50mm battens
42.5mm of Duplex plasterboard with skim finish.
Use eaves carrier + eaves filler comb

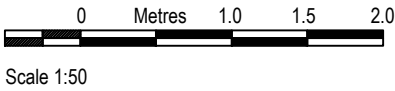
New rafters to be bolted to existing rafters or otherwise fixed as per SE's guidance
Adequate ventilation must be created at eaves and ridge to ensure sufficient ventilation of the entire roof space

NOTES

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NOT FOR CONSTRUCTION

Door to be double-glazed uPVC or aluminium or timber (TBC by client) framed doors to manufacturer's specifications. Glazing to be toughened or laminated in accordance with safety regulations as under 800mm above floor level. All glazed areas require a min U-value of 1.6 W/m²K.

Min 8000mm² trickle ventilation required to external door/windows

Stairs
Treads 230mm, Risers 201mm approximately, TBC pending stair supplier. Handrail minimum 900mm above pitchline with 85mm openings in guarding. Minimum going 50mm on tapered treads. Staircase will therefore be less than the maximum pitch of 42 degrees

Must maintain 2m head height over existing and proposed stairs in order to comply with building regulations.

Rev	Date	Revision
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Client:
Khalid & Bushra Khan

Project:
10 Addington Road, CR2 8RB
Loft Conversion & Rear Extension

Drawing:
Section BB
PROPOSED

Armstrong Simmonds Architects

Unit 23, Battersea Business Centre, 99-109
Lavender Hill, London, SW11 5QL

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Drawing Number:
884_10AR_BC209

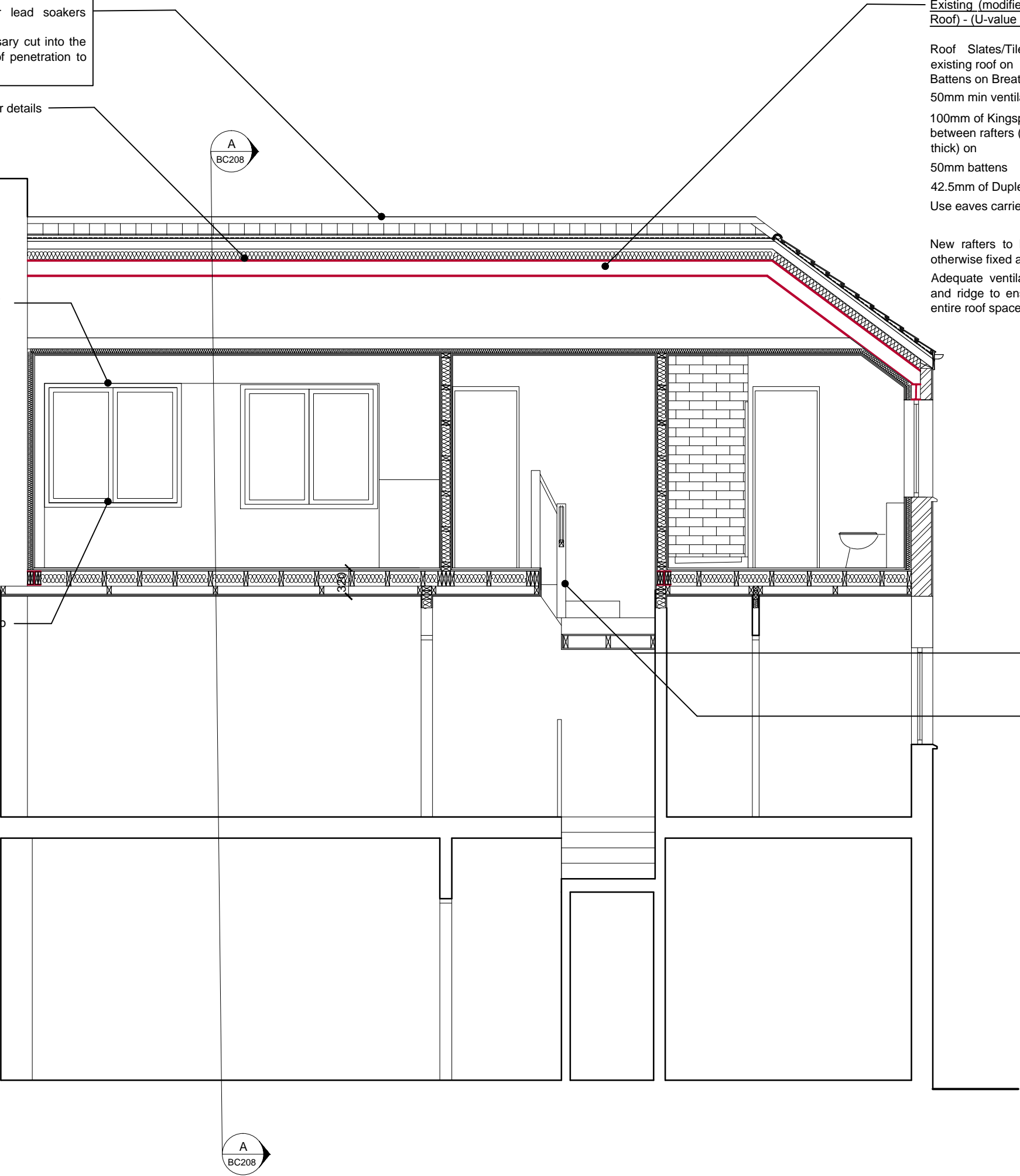
Revision:
*

Scale:
1:50 @A3

Date:
July 2019

Drawn:
NG

Section AA

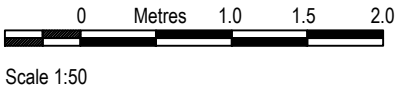


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NOT FOR CONSTRUCTION

Roof lights to be openable double-glazed windows installed with flashings etc in accordance with manufacturer's specifications (contractor to provide specification options for client's approval).

37.5mm insulated plasterboard.

New flooring in moisture resistant chipboard 22mm thick screw fix, except in bathroom where WBP ply should be used.

Structural details of floor - see SE's calc pack for details

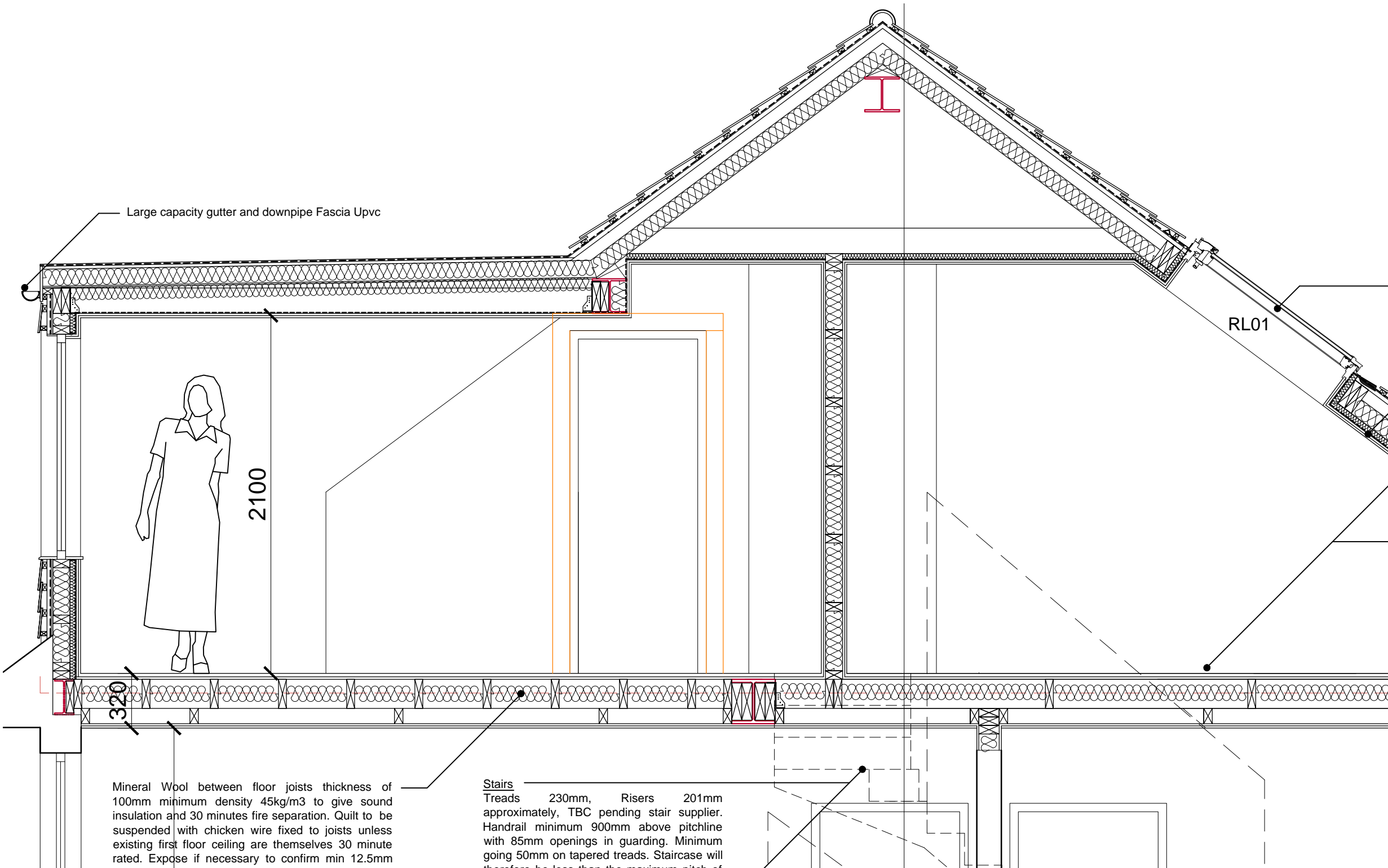
Rev	Date	Revision
Client: Khalid & Bushra Khan		
Project: 10 Addington Road, CR2 8RB Loft Conversion & Rear Extension		
Drawing: Section AA (Partial) PROPOSED		

Armstrong Simmonds Architects

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Drawing Number: 884_10AR_BC210	Revision: *
Scale: 1:25 @A3	Date: July 2019
	Drawn: NG



Mineral Wool between floor joists thickness of 100mm minimum density 45kg/m3 to give sound insulation and 30 minutes fire separation. Quilt to be suspended with chicken wire fixed to joists unless existing first floor ceiling are themselves 30 minute rated. Expose if necessary to confirm min 12.5mm plasterboard and skim

Stairs
Treads 230mm, Risers 201mm approximately, TBC pending stair supplier. Handrail minimum 900mm above pitchline with 85mm openings in guarding. Minimum going 50mm on tapered treads. Staircase will therefore be less than the maximum pitch of 42 degrees

Must maintain 2m head height over existing and proposed stairs in order to comply with building regulations.

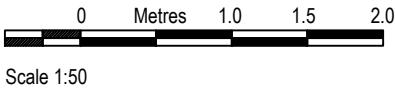
Section AA (Partial)

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NOT FOR CONSTRUCTION

Large capacity gutter and downpipe Fascia Upvc

37.5mm insulated plasterboard.

New flooring in moisture resistant chipboard 22mm thick screw fix, except in bathroom where WBP ply should be used.

Structural details of floor - see SE's calc pack for details

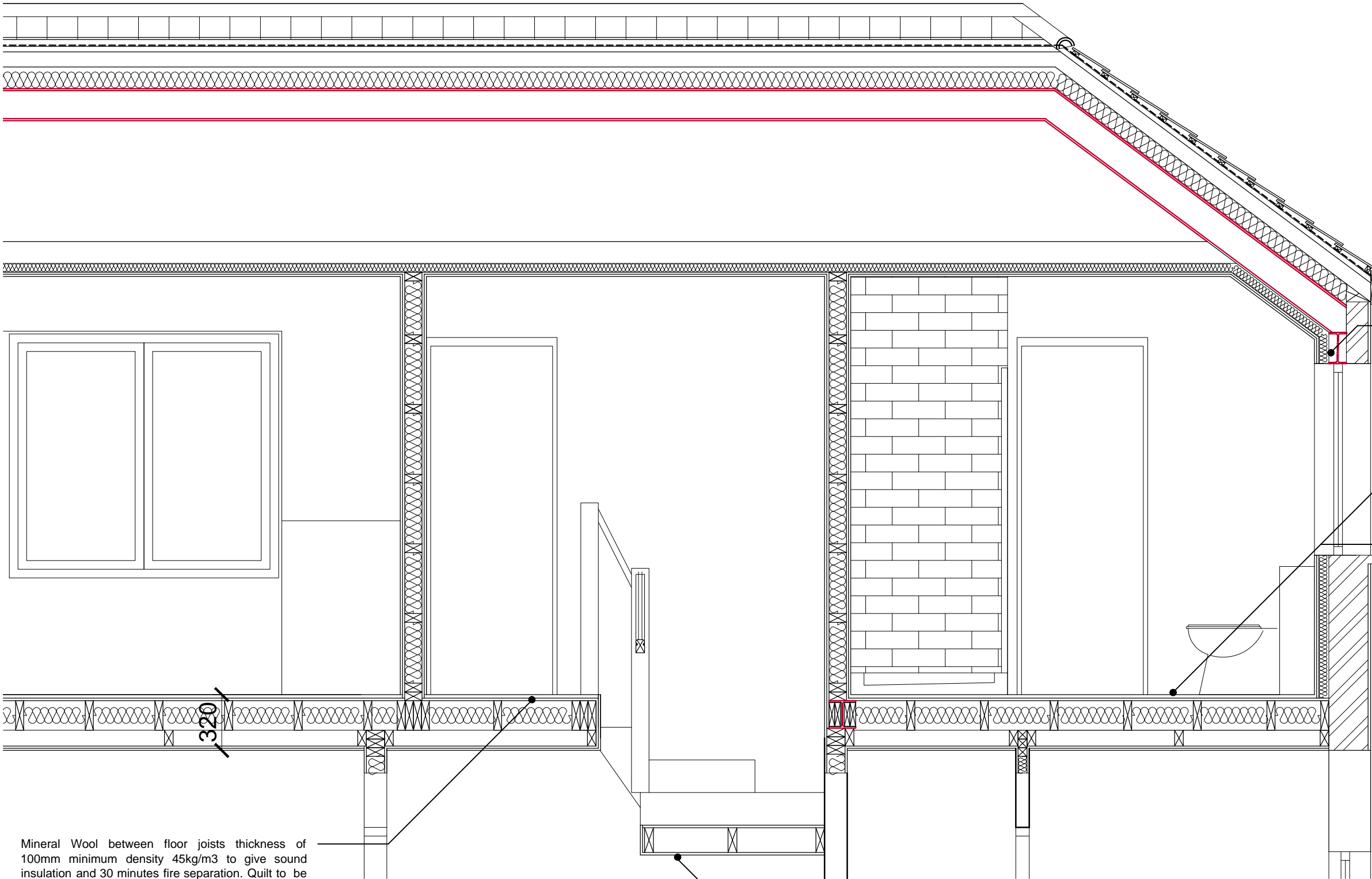
Rev	Date	Revision
Client: Khalid & Bushra Khan		
Project: 10 Addington Road, CR2 8RB Loft Conversion & Rear Extension		
Drawing: Section BB (Partial) PROPOSED		

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Drawing Number: 884_10AR_BC211	Revision: *
Scale: 1:25 @A3	Date: July 2019
Drawn: NG	



Mineral Wool between floor joists thickness of 100mm minimum density 45kg/m3 to give sound insulation and 30 minutes fire separation. Quilt to be suspended with chicken wire fixed to joists unless existing first floor ceiling are themselves 30 minute rated. Expose if necessary to confirm min 12.5mm plasterboard and skim

Stairs
Treads 230mm, Risers 201mm approximately, TBC pending stair supplier. Handrail minimum 900mm above pitchline with 85mm openings in guarding. Minimum going 50mm on tapered treads. Staircase will therefore be less than the maximum pitch of 42 degrees

Must maintain 2m head height over existing and proposed stairs in order to comply with building regulations.

Section BB (Partial)

NOTES RELATING TO LOFT CONVERSIONS/ ROOF WORKS

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Contractors and sub-contractors must check all dimensions on site before fabrication

All dimensions given to unfinished structural surfaces

Where applicable, extension works are subject to party wall legislation and must not be carried out without written consent of the adjoining owner

BUILDING CONTROL NOTES
(to be be read in conjunction with additional annotations on drawings).

Part A - Structure

Please refer to Structural Engineer's calc pack for all structural design, sizing and calculations. All drawings to be read in conjunction with SE's calc pack.

Part B - Fire safety

Mains operated smoke alarms to BS 5446 - 1 : 2000 to an L3 standard

Smoke detectors to BS5839-6 : 2004 sited in accordance with BS 5839-1 : 2002 to an L2 standard

Where a fire detection system is installed, an installation and commissioning certificate should be provided. Please note that the builder/installer should provide information to the occupants on the use of the equipment and its maintenance. BS 5839-1 and BS 5839-6 recommend that occupiers should recieve the manufacturer's instructions concerning the operation and maintenance of the alarm system.

An escape route must be provided between the converted loft and ground floor exit. This is to be ensured through the provision of fire doors (minimum E20) to all habitable rooms on ALL floors, creating a protected staircase.

The new storey should be separated from the rest of the house by fire resisting construction of at least 30 minutes, running from eaves to eaves.

Part C - Site prep and moisture

Foil backed plasterboard / VCL to be installed to internal face of all proposed external walls & ceilings.

Part E - Sound

Part F - Ventilation

For existing front roof slopes contractor to ensure adequate ventilation is afforded to new roofs at eaves, and ridges. Ventilation openings to have opening areas at least equal to a continuous strip 25mm wide at eaves and 5mm at ridge. 50mm void required for full length of front slope

8,000mm² background ventilation is required to new habitable rooms and 4,000mm² to new bathrooms. Where possible, trickle vents to all external windows and doors to provide these required air exchange rates.

Ventilation systems should be installed & commissioned in accordance with the guidance given in the 2010 edition of the Domestic Ventilation Compliance Guide. Sufficient information about the ventilation system should be given to the building owner upon completion of the building work, so that the ventilation system can be operated to provide adequate air flow.

Part G - Sanitation

Part H - Drainage and waste disposal

All new drainage and sanitary pipework, including layout, materials, bedding/surround etc. must be discussed and approved on site by a BCO prior to installation. Air and running tests will be required on completion of works.

All existing unwanted drains to be properly decommissioned to prevent entry of vermin

Part K - Protection from falling, collision, and impact

When employed, Juliette balcony guarding must be provided at a minimum height of 1100mm. Balconies and stair balustrades to be constructed so that a 100mm sphere cannot pass through any openings in the guarding. No horizontal ballastrading acceptable. Guarding must be able to withstand a minimum horizontal design force of 0.74kN/m.

Part L1A - Conservation of fuel and power

All new & replacement windows will need to achieve a minimum 'U' value of 1.6W/m²K or WER Band C and 1.8 W/m³K for all new doors.

Low energy lighting must be provided to 3 out of 4 fixed light fittings, in the areas affected by the building work (cupboards and wardrobes etc are excluded). Low energy fittings should have lamps with a luminous efficacy greater than 45 lumens per circuit-Watt and a total output greater than 400 lamp lumens. More information can be found in the Domestic Building Services Compliance Guide 2010.

The U value for the existing (front) roof slope should not exceed 0.20 W/m²K

In the event of existing gable walls in semi-detached / end of terrace properties, if the U value of the existing gable walls is 0.70 W/m²K or worse it should be upgraded to achieve a minimum 0.55 W/m²K for a cavity wall and 0.30 for all other walls.

Part M - Access and Use

A minimum 2m headroom must be provided over new staircases. Assuming goings are between 223-300mm, risers must not be higher than 200mm. Overall pitch of new staircase must not be steeper than 42°. Handrail minimum 900mm above pitchline (see also Park K section for balustrade design)

Part N - Glazing

Bi-fold doors, windows, roof lights and kitchen to supplier's details. Glazing to be toughened or laminated in accordance with safety regulations where installed <800mm above floor level.

Part P - Electrical

Electrical work must be carried out / certified by a competent person and a Part P certificate provided as a minimum. Ideally work to be carried out / certified by NICEIC approved electrician

SYMBOLS KEY



Mechanical extract



Heat detector



Smoke detector



Emergency light



Shaver socket



Single socket



Double socket (low level)



Double socket (high level)



TV /internet/phone sockets



2 way light switch



Pull cord switch



Dimable light switch



Recessed spot light



Pendant (hanging) light



Wall mounted light



Under Counter spotlights



Table lights



Low level external lights



LED strip lighting



Drainage run



Stub stack



Soil Vent pipe



Rainwater pipe



Waste pipe



Inspection chamber



Dishwasher



Washing Machine



Tumble dryer (Condenser should be plumbed to drainage, vented should have extract to outside air).



First Floor Level Fire Door (20 Mins fire rated)



Ground Floor Level Fire Door (30 Mins fire rated with smoke-seal) Boiler



DRAWING KEY

Reflected ceiling line

Timber lintel or trimmer above / below

Steel beam above/below Plot boundary line

Demolished

Foundations Line

Towel Radiator

Radiator

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Rev	Date	Revision
Client: Khalid & Bushra Khan		
Project: 10 Addington Road, CR2 8RB Loft Conversion & Rear Extension		
Drawing: Section AA (Partial) PROPOSED		
Armstrong Simmonds Architects		
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t: 020 7228 1324 m: 07817127275 m: 07779668358 e: info@as-architects.co.uk		
Drawing Number: 884_10AR_BC212		Revision: *
Scale: N/A @A3	Date: July 2019	Drawn: NG