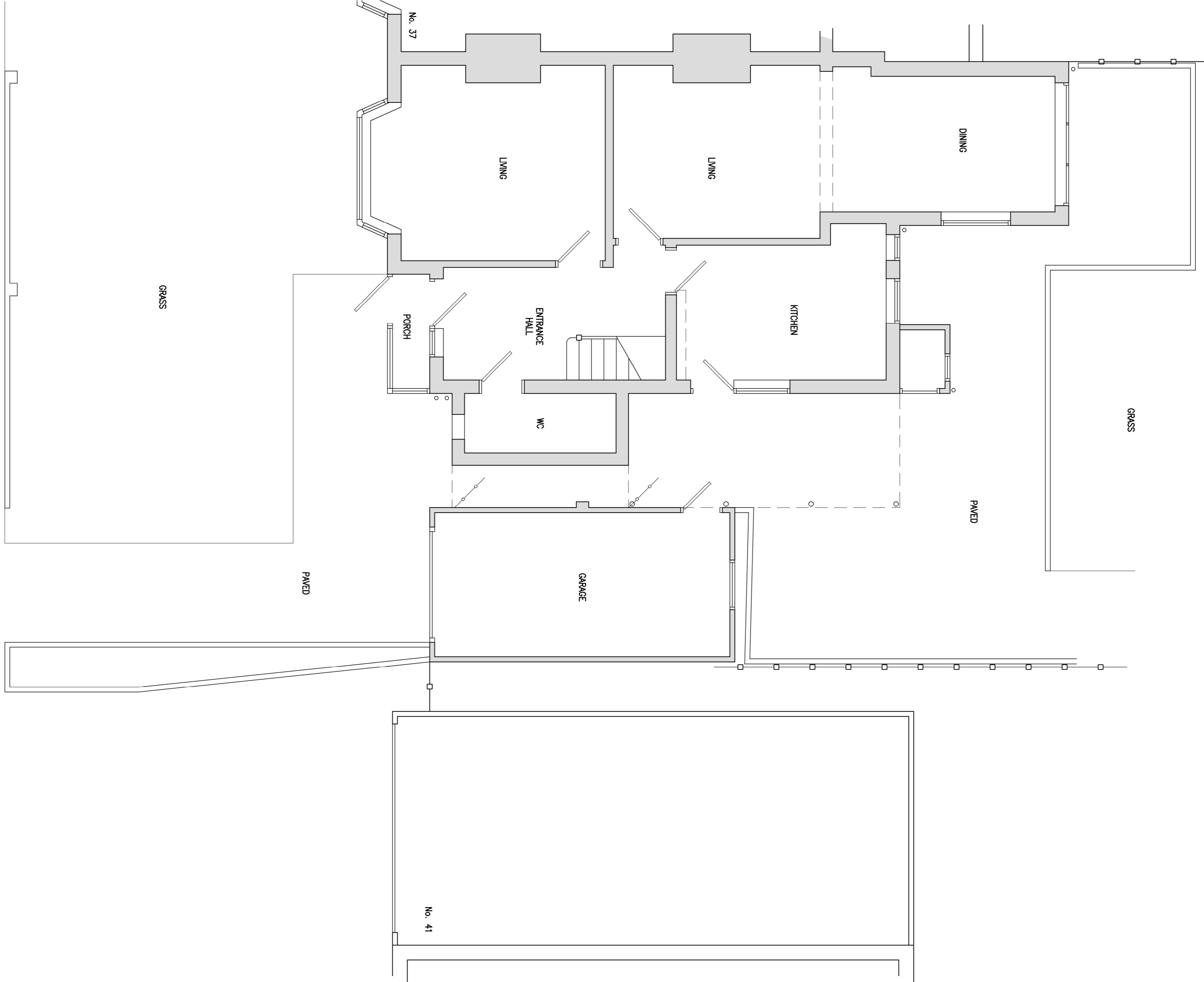
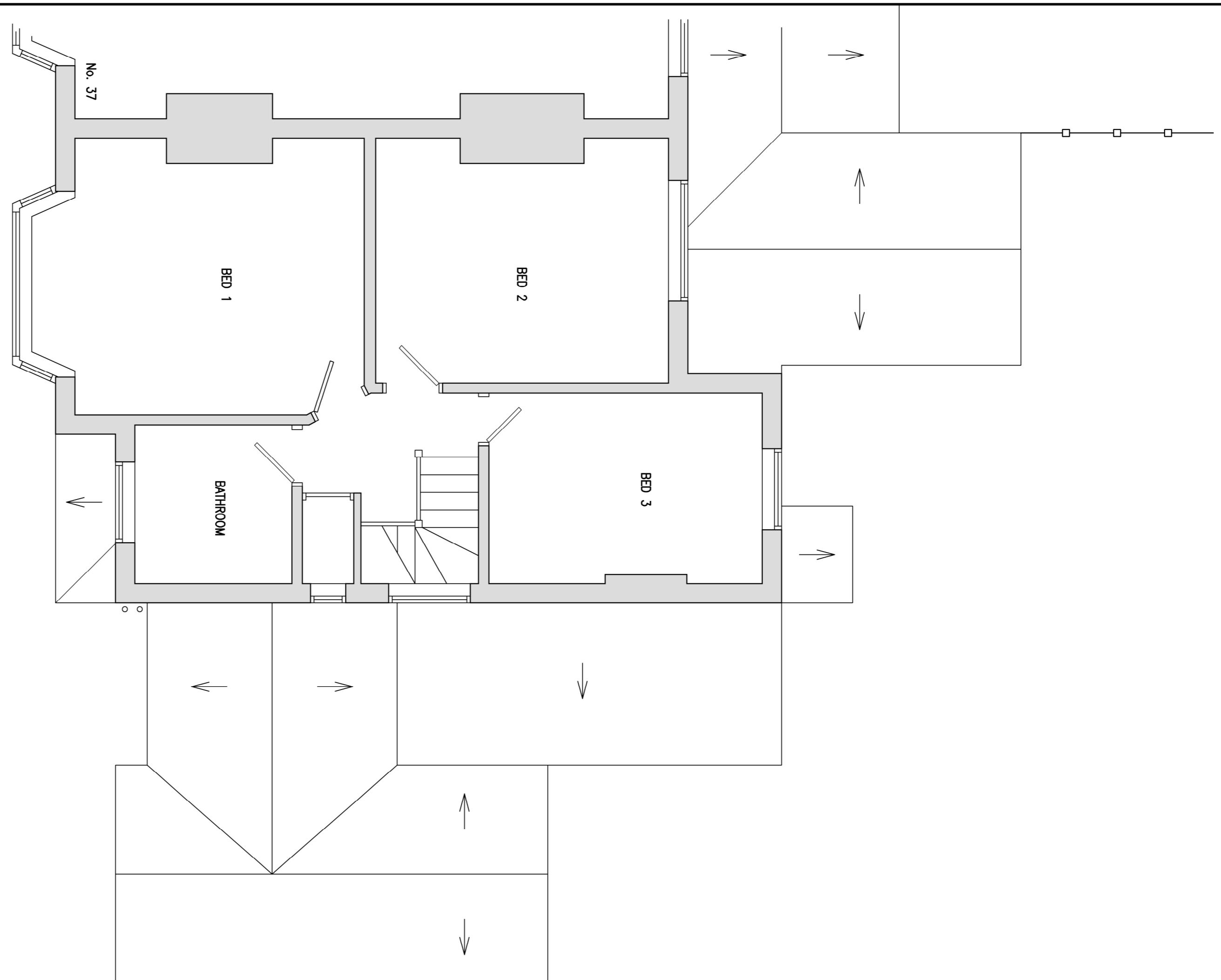


GROUND FLOOR



FIRST FLOOR

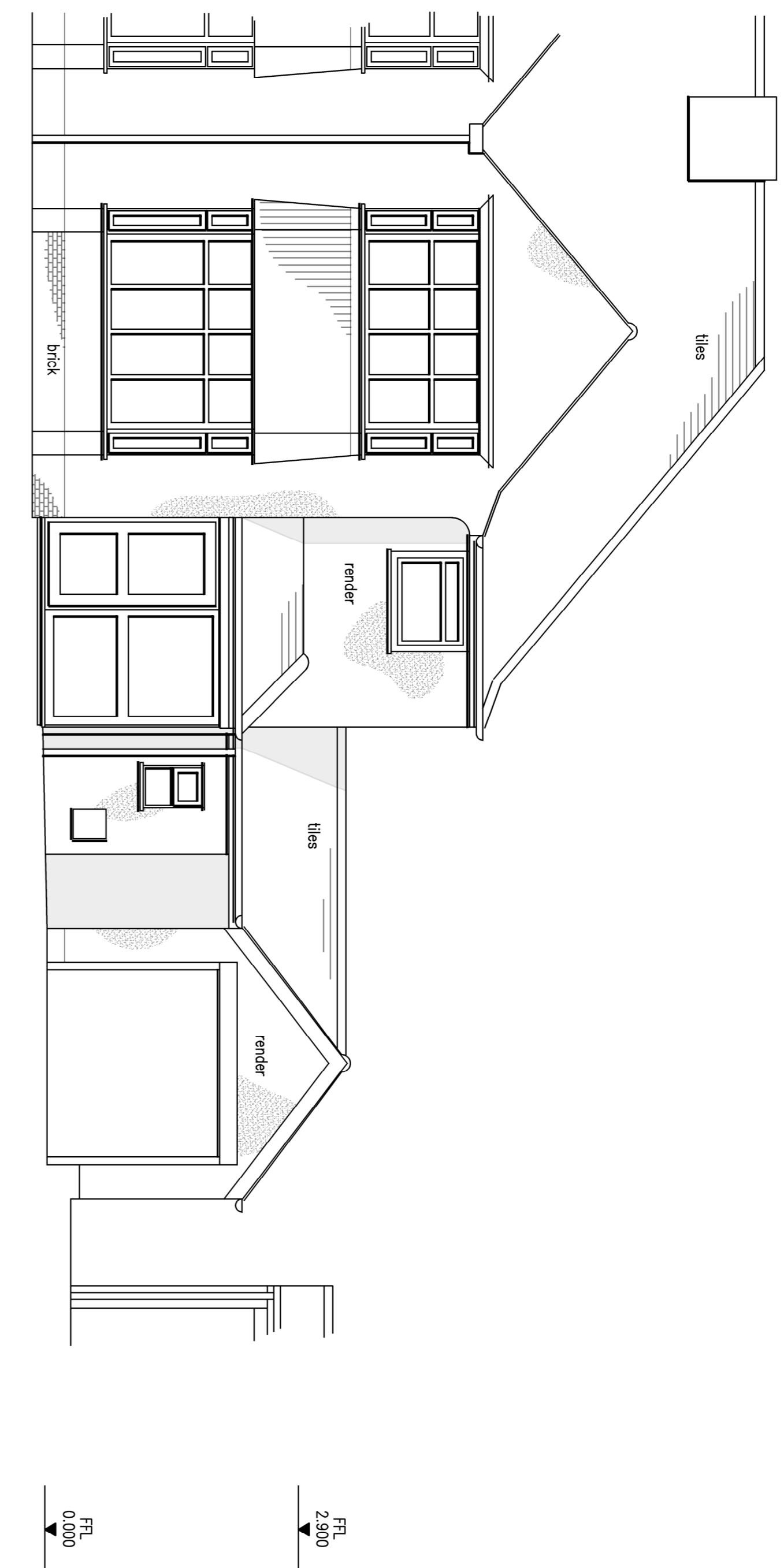


P1	I.L.	29.04.19	ISSUED FOR PLANNING APPROVAL
Rev	Test	Date	Revision

Job Ref:	3910 LOLLAND AVENUE
SUTTON	SM2 6HT
Drawing Ref:	
EXISTING FLOOR PLANS	
PL-01	1:50 @ A1
FEF 2019	Rev
P1	

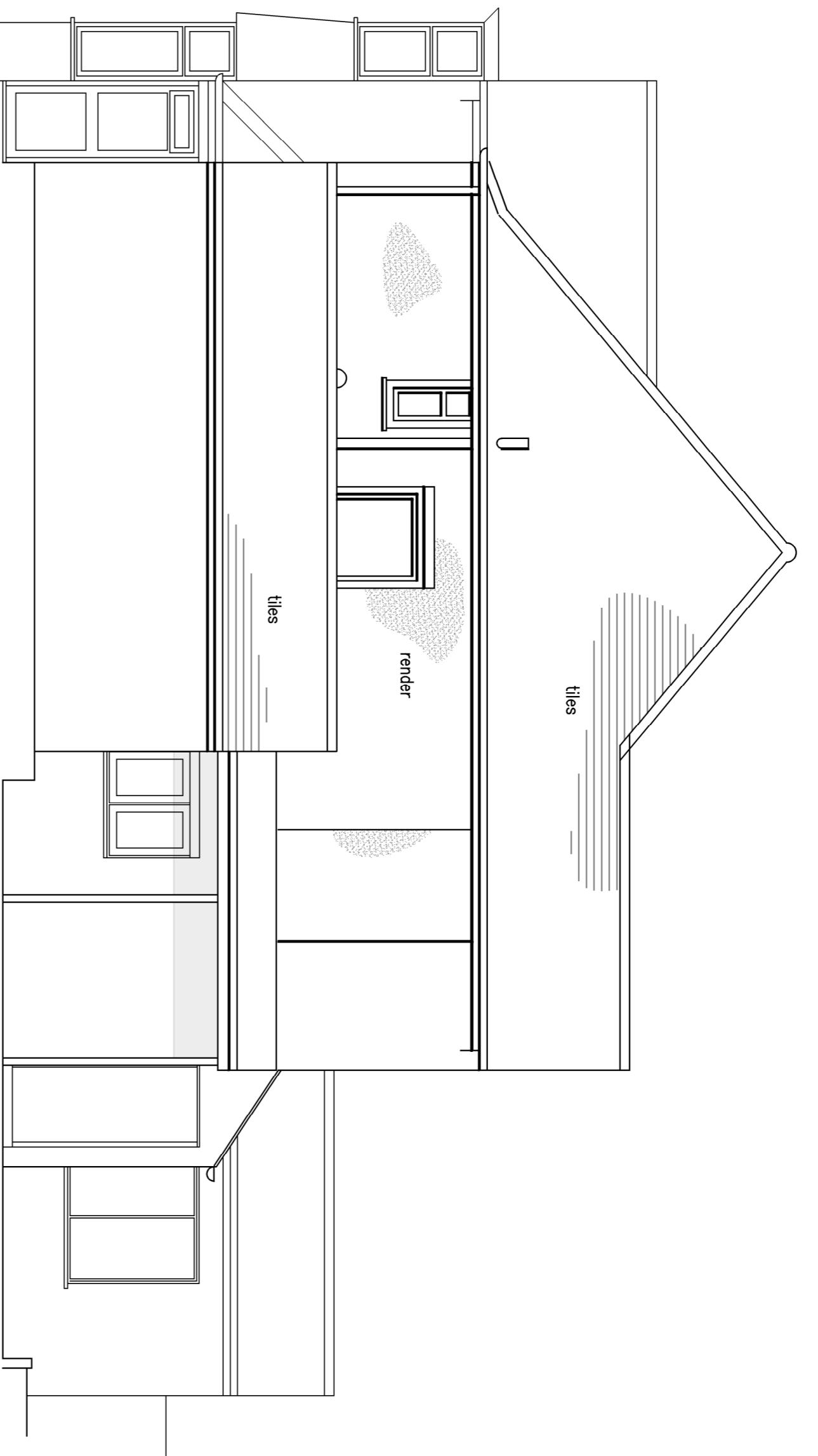
FRONT (WEST) ELEVATION

SIDE (NORTH) ELEVATION
view from No. 41



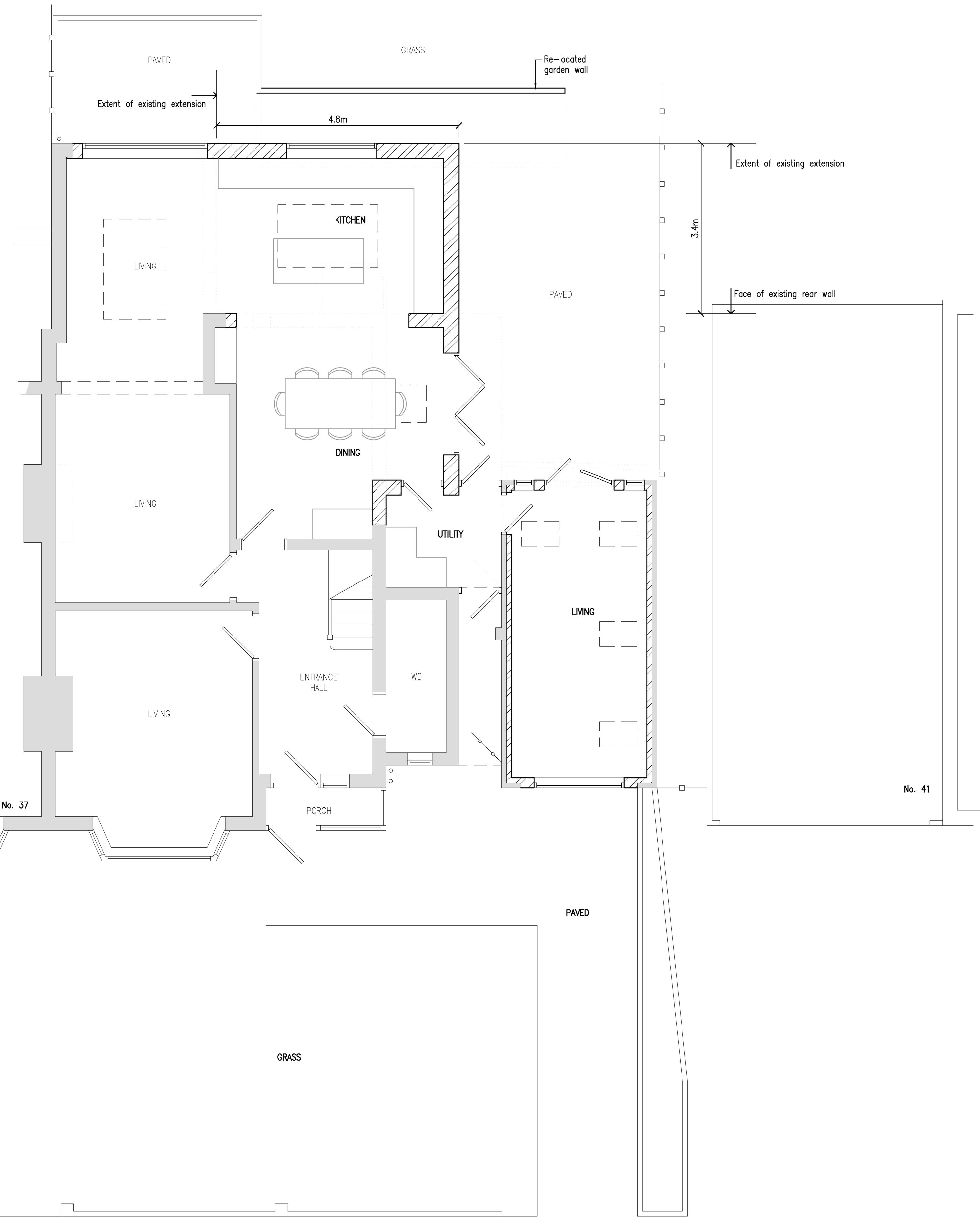
REAR (EAST) ELEVATION

SIDE (NORTH) ELEVATION
view from No. 37

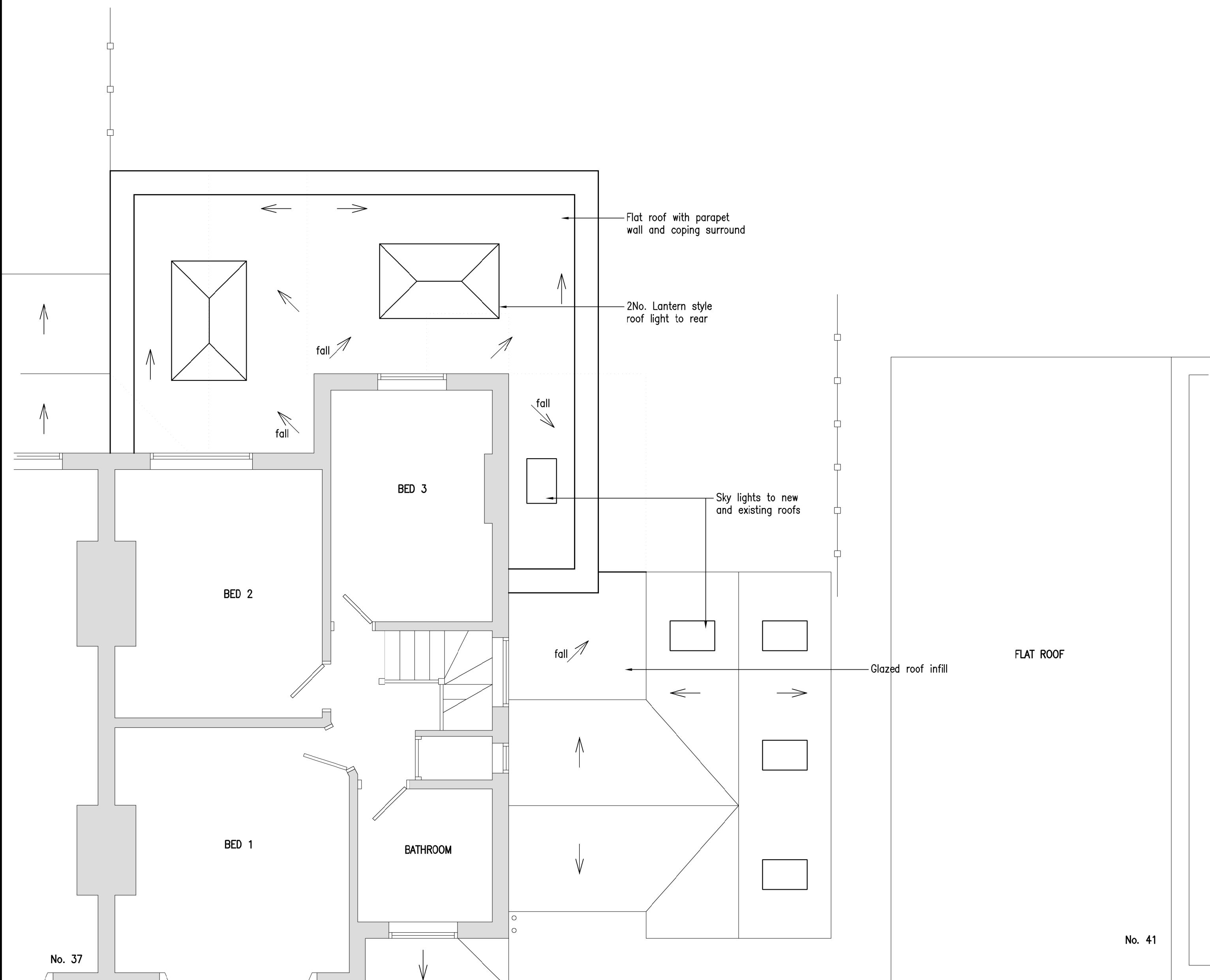


P1	I.L.	29.04.19	ISSUED FOR PLANNING APPROVAL
Rev	Test	Date	Revision
PL-02			
Job Ref:	3910 LOLLAND AVENUE		
	SUTTON, SM2 6HT		
Drawing Ref:	EXISTING ELEVATIONS		
Drawing No:			
FEB 2019	Rev		
150 @ A1	P1		

GROUND FLOOR

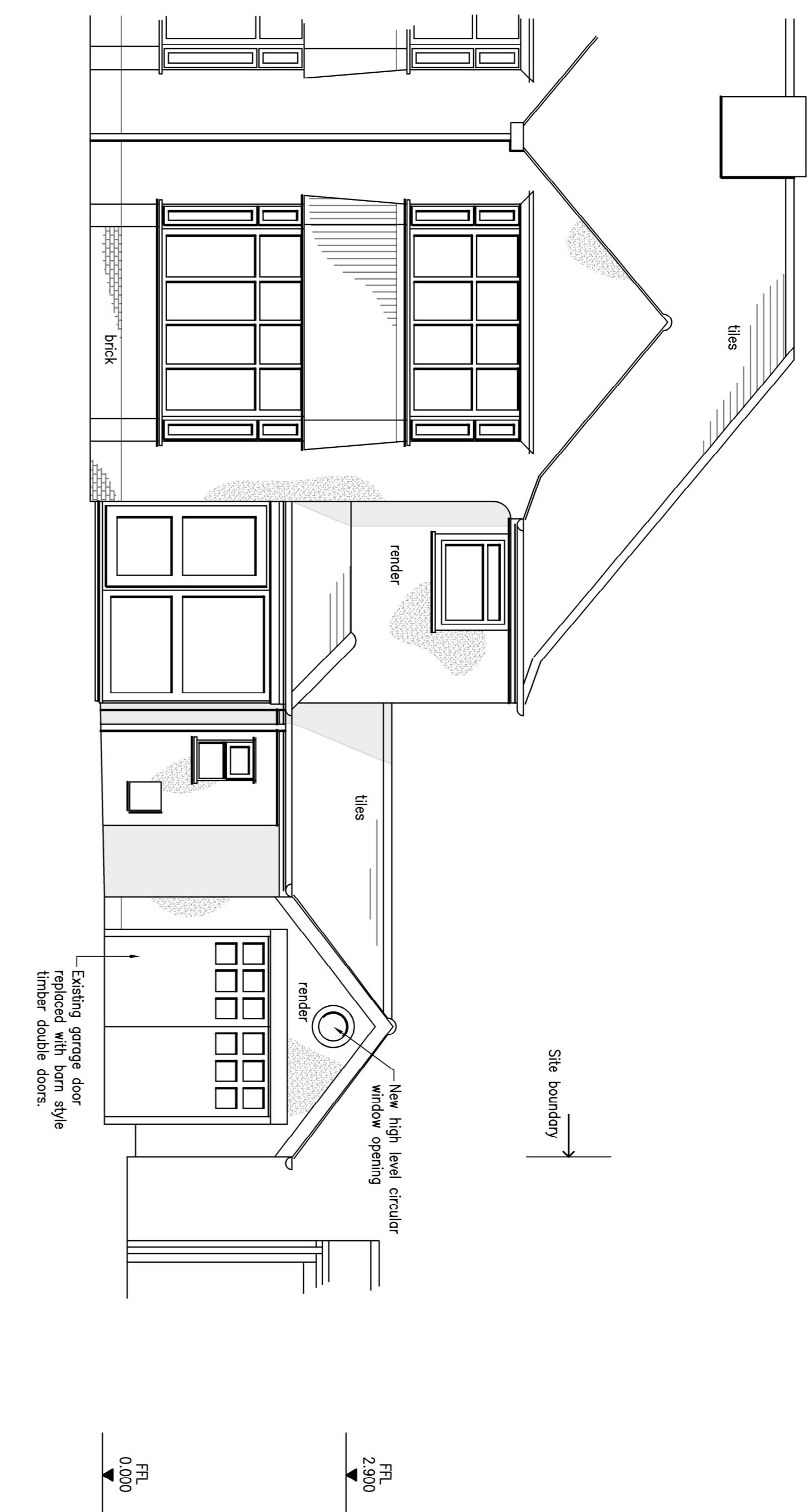


FIRST FLOOR

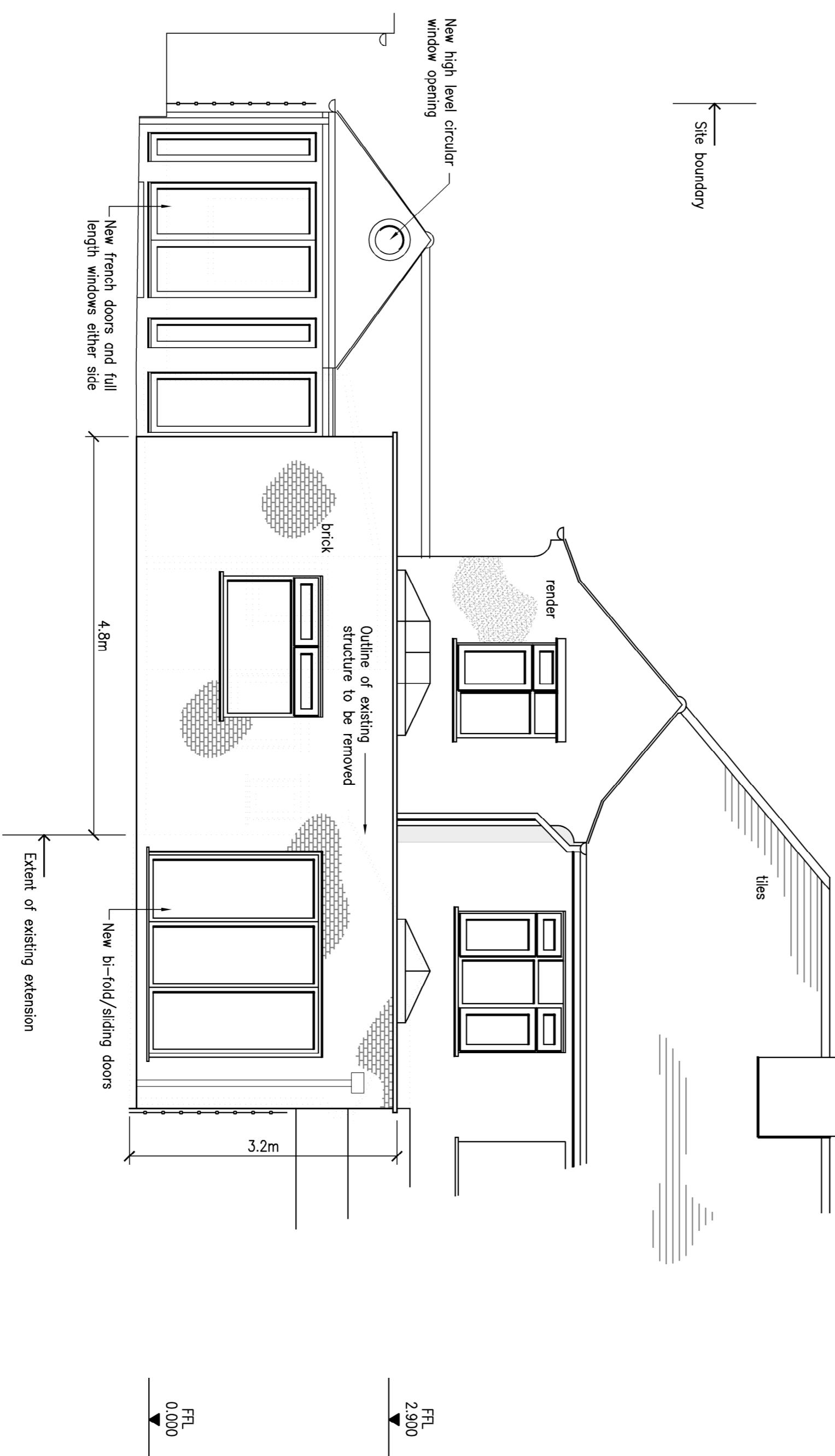


FRONT (WEST) ELEVATION

SIDE (SOUTH) ELEVATION
view from No. 41

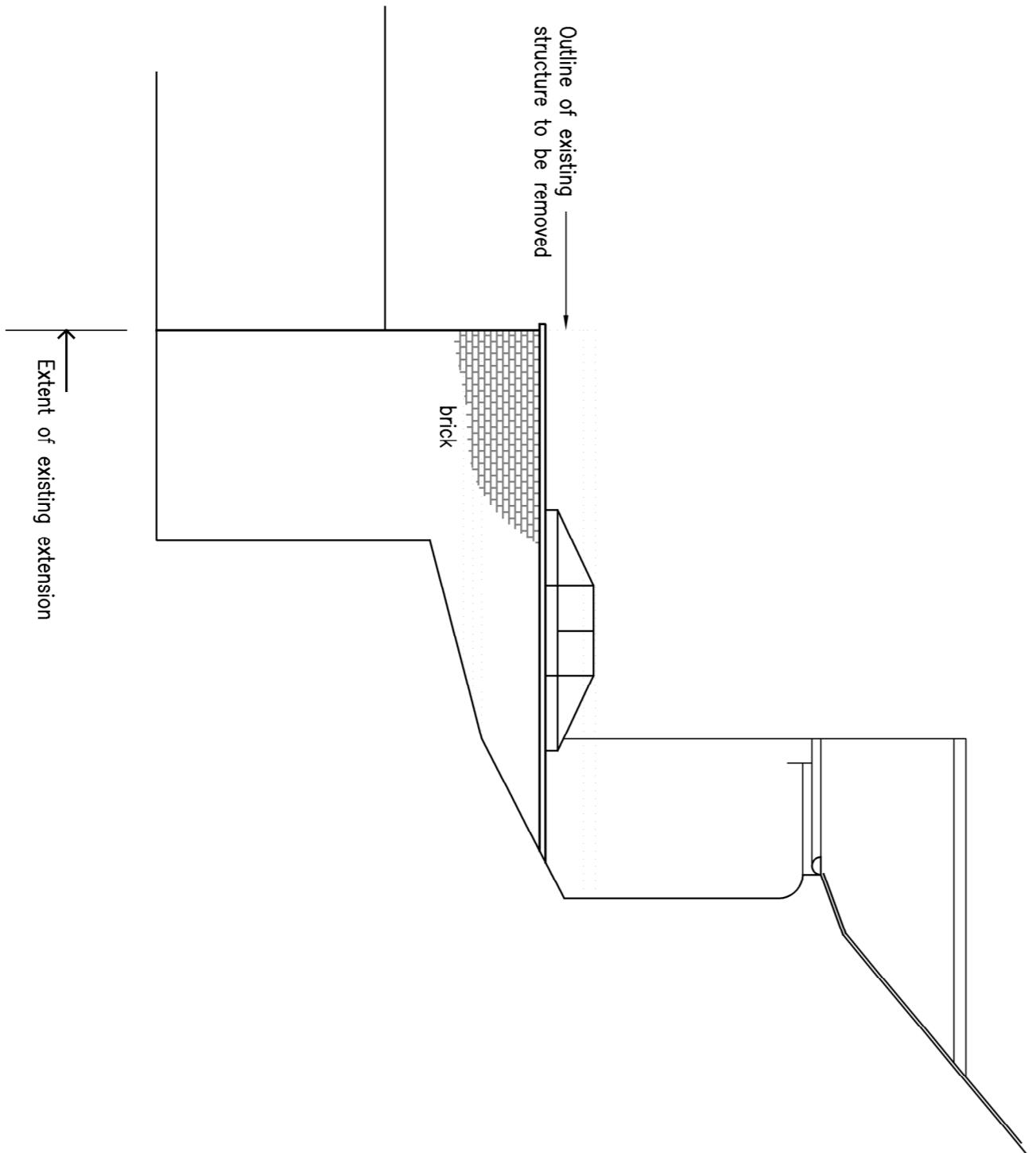
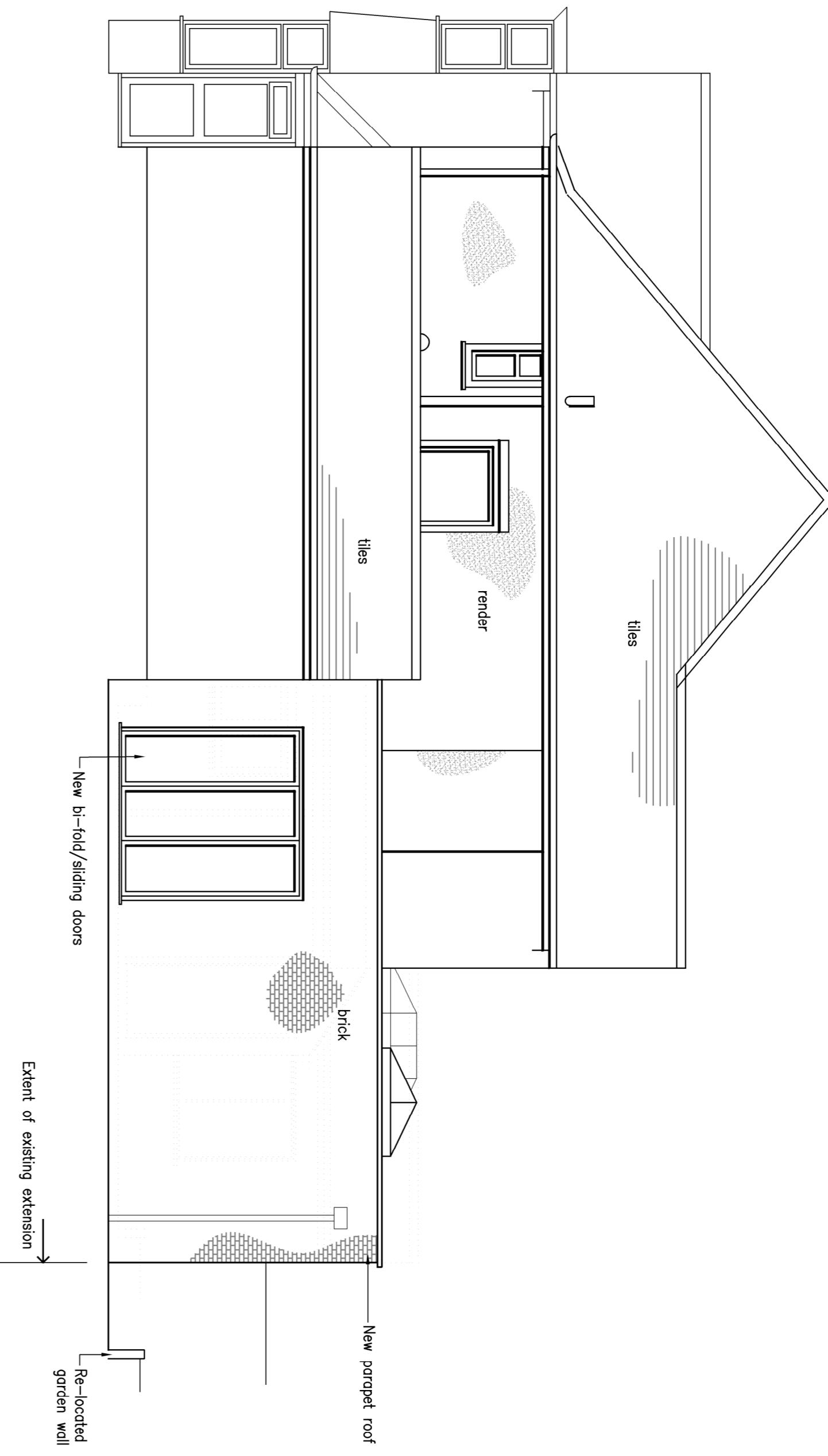


REAR (EAST) ELEVATION



SIDE (NORTH) ELEVATION

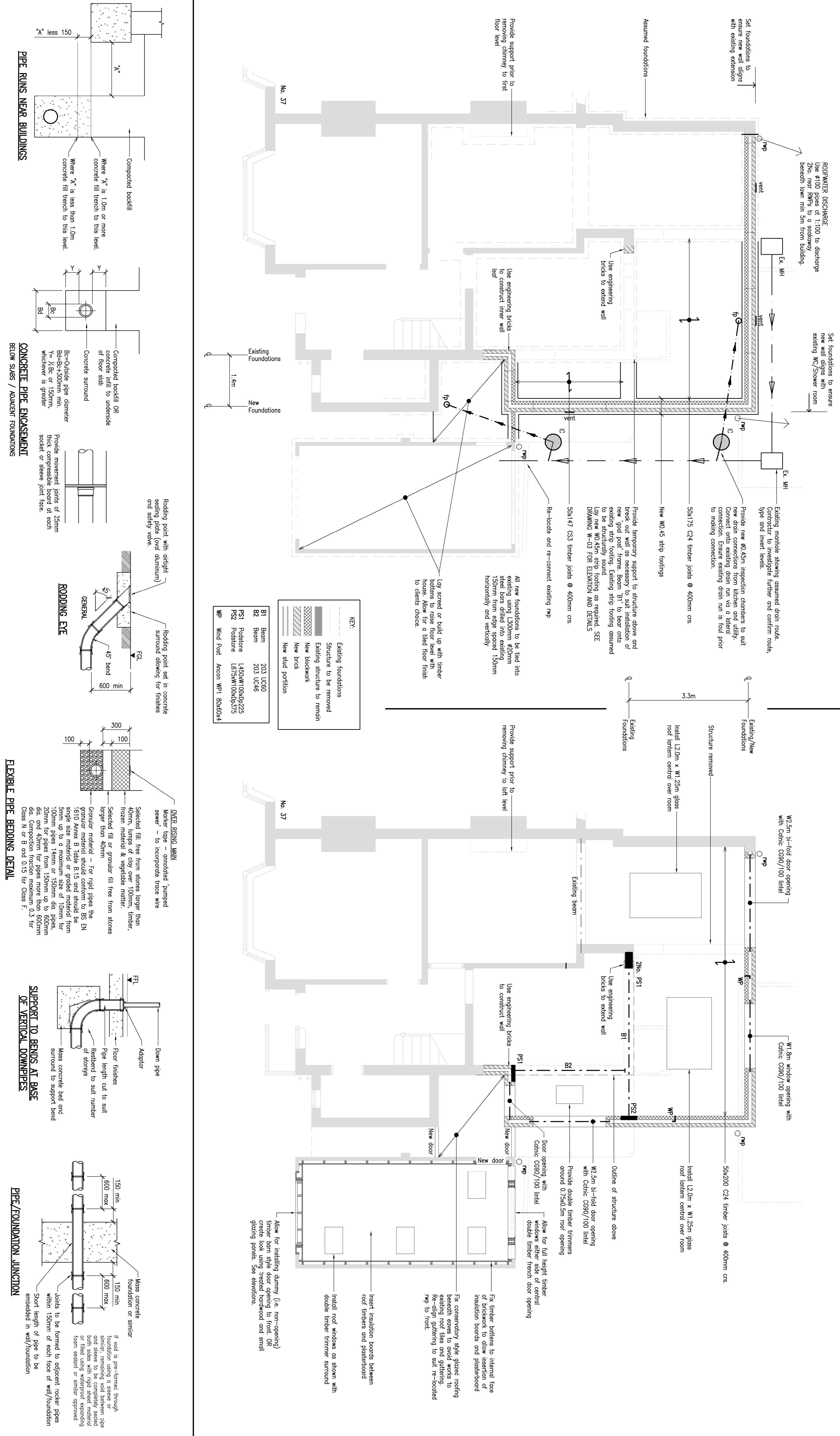
view from No. 37



P1	I.L.	29.04.19	ISSUED FOR PLANNING APPROVAL
Rev	Test	Date	Revision
PL-04			
Job Ref:	3910 LOLLAND AVENUE		
	SUTTON		
	SM2 6HT		
Drawing No:	PROPOSED ELEVATIONS		
MAR 2019	150 @ A1	Rev	P1

GROUND LOW LEVEL STRUCTURE

GROUND HIGH LEVEL STRUCTURE

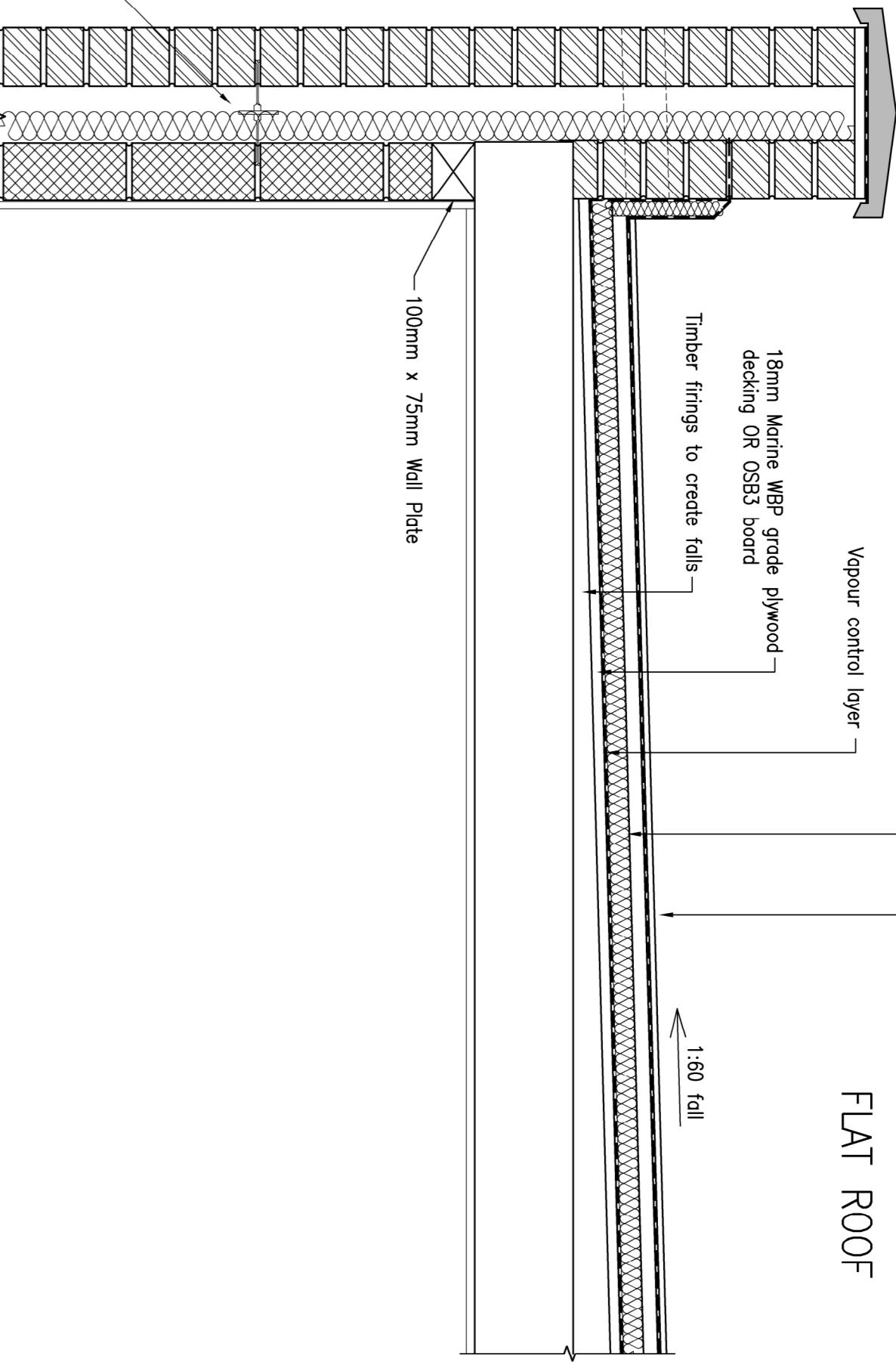


			Job title 39 HOLLAND AVENUE SUTTON, SM2 6HT	
			Drawing title PROPOSED STRUCTURE & DRAINAGE DETAILS	
			Drawing no. W-01	
			MAY 2019 1:50 @ A1	Rev P3
Rev	Tech	Date	ISSUED FOR COSTING (SUBJECT TO BUILDING CONTROL APPROVAL)	
			Revision	

GENERAL DETAILS

Built up roofing weathering system and surface treatment.
140mm Kingspan Thermacore
TR21 insulation

FLAT ROOF



WALL CONSTRUCTION

External walls generally 302.5mm (102.5mm brick outer leaf / 100mm insulated cavity / 100mm block inner leaf).

Wall ties to be provided at 450mm centres vertically and 300mm centres horizontally. Ties to retain insulation against inner cavity wall.

Only the main structural elements of the proposed works are detailed and specified.

Any alterations to the approved drawings should be notified to the council prior to commencing the alterations.

It is recommended that a competent contractor carry out the works who is familiar with the requirements of planning, building control and best practice.

All works should conform to the relevant British Standards and approved documents of current building regulations.

The specified build up of building elements such as walls, floors or roofs can be altered by the contractor, preferred supplier or methodology providing it still meets the recommended thermal properties.

Dimensions should not be scaled from drawings. Critical dimensions and setting out is clearly noted. However, contractor to set out and order materials such as steelwork based on his own site measurements.

Variations in squareness, depth of plaster etc. must be checked for. When new walls are shown as aligned with existing walls, this must be checked by physical removal of brickwork and/or plaster to establish that actual position of the wall being aligned to.

Contractor should be supplied with all relevant drawings, specifications and calculations prior to accepting the works to ensure thorough understanding of all aspects of the proposals.

Contractor should ideally visit the site prior to accepting the works to familiarise themselves with the layout and be aware of any constraints.

GENERAL NOTES:

Purpose of drawings is for procurement of Planning, Building Control and/or Surveyor undertaken approval. Work is NOT to commence until such approval is granted in writing by the relevant authority.

Contractor to discuss and agree direct with client the following:

Lighting type and locations of wall, sockets, power outlets and controls

Power - type and locations of wall, sockets, radiators and controls

Heating - type and locations of wall, radiators and controls

Fittings - Kitchen and bathroom furniture and layout

purpose. Installation should be to manufacturers or suppliers recommendations.

Contractor to comply with all Health & Safety regulations. Carry out a risk assessment prior to commencing works. Be aware of live services, provide necessary temporary supports during demolition or opening up works, working at heights and lifting of heavy equipment.

FOUNDATIONS:

Foundations to be Subjute resisting cement concrete grade C30 and bare onto unsurfaced iron ground. Excavations are to suit the local site conditions taking into account depths of existing foundations and sewers and the influence of trees. Ultimately the thicknesses of foundations (depth) should be as per Building Control inspector's recommendations.

STEEL MEMBERS:

Structures to be provided with 1hr fire resistance either via intumescent paint or two 12.5mm layers plasterboard with staggered joints bound with 1.6mm wire binding of 100mm centres.

ANGLULAR ITEMS:

Holding down and lateral restraint straps shall be 'Simpson', 1m long galvanised fixed @ 1m cts.

Ancon wallstrainer system to be used where new masonry abuts existing structure.

Contractor to ensure a duty of care to neighbours and the surrounding areas in terms of working hours, noise, dust, fumes, waste, delivery and storage of plant and materials and parking.

Where external render is specified carry out in two coats with a total thickness of 20mm and textured finish. Mortar joints are to be 10mm. Permitted and proprietary renders should be used in accordance with manufacturers instructions.

WATER EFFICIENCY:

Dual flush limited to max. 6/l.

Flow rate no greater than 2.5/l/min.

Flow rate no greater than 9/l/min.

Washing machine Water usage limited to 17.6/l/KG.

Dishwasher Water usage limited to 4.5/l per place setting

All white goods should conform to EU energy labeling scheme.

Units over new openings shall be from Catnic to suit opening sizes with minimum height and bearing of 150mm. Provide cavity tray to BS 743/1970 over all new lintels. Lintels to be insulated.

WATER EFFICIENCY:

WC Cistern

Basin top

Kitchen tap

Shower

Washing machine Water usage limited to 800/lsm.

Heavy equipment.

Controlled by existing boiler. All work or other appliances involving gas should be carried out by a 'CORGI' approved contractor.

Generally all plumbing, electrical and gas works should be designed and installed by a suitably qualified professional.

To be provided with 1hr fire resistance either via intumescent paint or two 12.5mm layers plasterboard with staggered joints

bound with 1.6mm wire binding of 100mm centres.

All electrical work to be designed, installed and tested in accordance with BS7671 and Building Regulations Part P. On completion Electrical Installation Certificate to be provided.

LTS 17.15 issue 7.2 security rating 1

LTS 202 issue 3 burglary rating 1

LPS 208 issue 1 security rating A.

Above ground PVC-U drainage pipework to BS4514, designed in accordance with BS5527 and installed to ensure appliances drain efficiently without cross-connection, backflow, leakage or blockage.

To be provided with 1hr fire resistance either via intumescent paint or two 12.5mm layers plasterboard with staggered joints

bound with 1.6mm wire binding of 100mm centres.

All external light fittings to have either a lamp capacity of less than three or four of all light fitting with a luminous efficacy greater than 45 lumens per circuit-watt and total output greater than 400 lamp lumens.

All external light fittings to have either a lamp capacity of less than 100 watts per fitting and be fitted with movement and daylight sensors or have a lamp efficacy greater than 45 lumens per circuit-watt and fitted with movement and daylight sensors.

All new glazing to achieve U value not exceeding 1.8w/m².

All new windows to match existing or be PVCu double glazed with 28th operable. Provide trickle vent in all new windows to give minimum 800/lsm of background ventilation. All glazing to be laminated glass bedded in glazing tape.

All new glazing to achieve U value not exceeding 1.8w/m².

Skylights should be lockable in an open position to allow cross ventilation.

For security all easily accessible windows and roof lights, i.e. those within 2m vertical height of an accessible level surface, to be certified as one of the following:

- Approved document Q to PAS 24:2016

- LTS 204 issue 4-2/102

- LTS 17.15 issue 7.2 security rating 1

- LTS 202 issue 3 burglary rating 1

- LTS 208 issue 1 security rating A.

Skylights should be lockable in an open position to allow cross ventilation.

Specialist roof finish falls to rainwater outlet, hopper then

Flat roof with parapet wall and coping surround

Sky lights to new and existing roofs

Glazed roof infill

Retain existing roof tiles

FIRST FLOOR ROOF LEVEL

100mm medium density block inside wall leaf
100mm cavity with 50mm Kingspan Kooltherm K108 insulated cavity board.
102.5mm brick external wall leaf. Match GL
150mm Kingspan Kooltherm K3
18mm T&G floorboards with floor covering to clients preference
150mm Kingspan Kooltherm K3 joists
25mm x 25mm timber support battens
Timber joists

Existing ground levels to be reduced to suit void beneath new suspended floor. All loose paving, vegetation and deleterious materials to be removed. Lay 100mm concrete blinding.
450mm Wide strip footings
Top of Foundation G.L-0.45 (min.)
Support joists on internal leaf or joist hangers
Insert 3No. air bricks along rear elevation DPC
Air brick
Proposed FFU 0.00
12.5mm plasterboard on dabs
18mm T&G floorboards with floor covering to clients preference
150mm Kingspan Kooltherm K3 joists
25mm x 25mm timber support battens
Timber joists

New timber joist at ceiling level
Windpost. Ancon WP1 80x60x4thk.
Windpost. Ancon WP1 80x60x4thk.
Steel angle made of 8mm thick plates bolt fixed with M10 through bolt and welded to windpost

Windpost. Ancon WP1 80x60x4thk.
Windpost welded to 8mm thick baseplate and resin fixed into new strip footing with 2No. M10 bolts.

Provide support prior to removing chimney to loft level

B3 Beam 152.00.37
PSI Podstone 1450x100x30p225

STRIP FOUNDATIONS

Base of foundations to be a min. of 1m below external ground levels and suit local site conditions taking into account existing foundations, severities and the influence of trees. Ultimately the thickness / depth of foundations should be to Building Control Inspectors recommendation.

SECTION

No. 37



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P3	IL 01.07.19	ISSUED FOR COSTING (SUBJECT TO BUILDING CONTROL APPROVAL)
Rev	Date	Revision

Job Ref: 3910 LOLLAND AVENUE
SUTTON SM2 6HT

Drawing Ref: ROOF-PLAN GENERAL NOTES & DETAILS

W-02
MAY 2019
Rev P3