



## Economic Development and Planning Committee

Tuesday, February 6, 2018, 6:00 pm  
City Hall, Council Chambers

### Committee Members

Councillor, M. Kalivas  
Chair  
Councillor J. Baker  
Councillor L. Bursey  
Councillor D. LeSueur  
Mayor D. Henderson,  
Ex-Officio

### Areas of Responsibility

Economic Development	Economic Development
Planning	Advisory Team
Chamber of Commerce	Museum Board
DBIA	Library Board
Heritage Brockville	Arts Centre
	Tourism

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## **PUBLIC MEETING AGENDA**

### **Report**

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1. 2018-011-02  
Proposed General Amendment to  
Zoning By-Law 050-2014

*THAT Report 2018-011-02 be received as information and that a report, including final by-law on this matter be prepared by Staff for consideration of the Economic Development Planning Committee at a future meeting.*

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2. 2018-012-02  
Proposed Zoning By-Law Amendment to  
Zoning By-Law 050-2014,  
137 George Street and Trinity Church Lands, Brockville

*THAT Report 2018-012-02 be received as information and that a report on this matter be prepared by Staff for consideration of the Economic Development Planning Committee at a future meeting.*

26Jan18

**REPORT TO THE ECONOMIC DEVELOPMENT PLANNING COMMITTEE - PUBLIC  
MEETING – 6 FEB 2018**

**2018-011-02**

**PROPOSED GENERAL AMENDMENT  
TO ZONING BY-LAW 050-2014  
CITY OF BROCKVILLE  
FILE: D14-026<sub>(050-2014)</sub>**

**D. DICK  
DIRECTOR OF PLANNING (Acting)  
ANDREW MCGINNIS  
PLANNER II**

**RECOMMENDATION**

THAT Report 2018-011-02 be received as information and that a report, including a final by-law on this matter be prepared by Staff for consideration of the Economic Development Planning Committee at a future meeting.

**PURPOSE**

To provide information for purposes of conducting a Public Meeting under the Planning Act respecting a General Amendment to City of Brockville Zoning By-law 050-2014 to add Micro-Breweries, Micro-Distilleries and Wineries to all Mixed Use (MD, MW and MC) Zones.

**BACKGROUND**

Staff regularly undertakes a review of issues raised through the usage of the City's Comprehensive Zoning By-law. The frequency of such review ensures the continued effectiveness of the by-law to regulate land use and development within the City, and provides an opportunity to incorporate new policy directions and/or legislative requirements when necessary.

Since Zoning By-law 050-2014 was passed (10 June 2014), Staff have had multiple inquiries relating to Micro-Breweries and Distilleries within the Mixed Use Zones of the City. Under the current by-law these uses have been classified as employment uses and are only permitted within the Employment Areas of our City due to the possible size, massing and distribution aspects of these businesses. Smaller scale business models were never anticipated at the time of inception of the zoning by-law.

Staff have been actively reviewing zoning provisions, definitions and requirements for the proposed uses and now in a position to recommend changes be brought forward where the effectiveness of the By-law will permit these Micro-Breweries, Micro-Distilleries and Wineries within the Mixed Use Zones of the City.

**ANALYSIS**

It is Staff's opinion that to ensure continued effectiveness of the City's current Zoning By-law, it is necessary from time-to-time to address inquiries and consider general

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amendments and uses on a go forward basis that will benefit the entire City, not just specific properties which is generally the case through site specific zoning amendments.

Currently, Zoning By-law 050-2014 does permit Breweries, Distilleries and Wineries, however, under the definition of "Manufacturing" and "Distribution" and is permitted within the City's Employment Zones (E1, E2 and E3) only. The proposal is to permit these uses within the Mixed Use Zones around the City but on a much smaller scale than intended for the Employment Areas.

The Mixed Use Zones intended for these amendments include the MD – Mixed Use Downtown Zone, MW – Mixed Use Waterfront Zone and the MC – Mixed Use and Corridor Zone (this zone encompasses the 1000 Island Mall and the former Zeller's Plaza). See **Schedule "A"** attached to this report for a map showing the proposed zones in which this amendment would apply.

These Micro-Breweries, Micro-Distilleries or Wineries will by definition include a retail, restaurant and/or sampling area component, where the products being produced are available for sale and/or service to customers on-site, thereby supporting the commercial intent of the Mixed Use Zones. The proposal also provides for such an operation to sell or distribute products for resale at other locations.

More specifically, staff are proposing the following amendment to permit Micro-Breweries, Micro-Distilleries and Wineries within the Mixed Use Zones of the City:

Where permitted, "Micro-Breweries, Micro-Distilleries or Wineries" are:

- Required to include retail and/or restaurant and/or sampling area component;
- Permitted to have an outdoor patio area (subject to outdoor patio regulations);
- Restricted to a maximum building footprint of 929.0 square metres, including storage;
- Not permitted to have outdoor storage;
- Required to contain a minimum of one (1) loading space on-site;
- Not to cause nuisance due to noise, odour, dust, fumes, vibration or glare.
- Required to have a minimum of 50% of the building frontage to be retail and/or restaurant and/or sampling area component and must extend a minimum of 10.0 metres from the building face into the building.

Proposed definition:

**"Micro-Breweries, Micro-Distilleries or Winery"** means a building used primarily for the production and distribution of beer, cider, wine or alcoholic products and must include retail and/or restaurant and/or a sampling area component.

Comments Received:

1. Brent Caskenette, Chief Building Official
  - Micro-Breweries and Wineries are classified as F3 – Low Hazard Industrial Occupancy. As such, they can be located next to all uses permitted under the OBC but only with substantial fire separation.
  - Distilleries are classified as F1-High Hazard Industrial and are restricted as to location next to other occupancies. Example, they cannot be located adjacent to a residential occupancy in any instance.
  - Additional consideration should be given to permitted locations under the Zoning By-law and this amendment.
2. C. Cosgrove, Director of Operations
  - The Operations Department has no comments with respect to the proposed amendment.
2. Steven Allen, Environmental Services, Supervisor of Engineering
  - Not opposed to the application; However, Environmental Services will need to confirm the City's infrastructure's ability to accommodate the development based on its location. Environmental Services will also require water supply and sewage discharge demands in the pre-consultation stage. The proposed development site will also need to meet the sewage discharge requirements established in the City's Sewer Use By-Law.
3. Sandra MacDonald, City Clerk
  - No comments.
4. Robert Nolan, Director of Economic Development
  - No concerns with the proposed amendment.
5. Greg Healy, Chief Fire Prevention Officer
  - No concerns with the proposed amendment as it pertains to the "Micro-Brewery and/or Winery"
  - We do have concern with a Micro-Distillery. Discussion between Planning, Building and Fire around the definition of a Micro-Distillery must take place prior to approval of this amendment.
6. Wendy Onstein, Chair-DBIA
  - In support of the proposed amendments. We believe this change will further support positive development in the downtown catchment area.
7. Mike Dakin, CRCA, Resource Planner
  - No comments/concerns from the conservation authority.
8. Joan Mays, Health Unit
  - No objection to the proposed zoning amendment. However, we want to

remind the City that prior to any building permit applications being issued for these types of premises, the Health Unit is to be notified. This will enable a review of the plans and assessment of their business as it relates to the Regulations that are enforced by the Health Unit.

7. Alice Coleman, Enbridge Gas Distribution
- No objection.

Items for Discussion:

1. Appropriateness of the proposed amendment, permitting the uses within all Mixed Use Zones.
2. Appropriateness of the proposed specifics (minimums, loading area, etc.)
3. Additional revisions Members of the EDP Committee would like staff to review, if any.

## POLICY IMPLICATIONS

The contents of this report are provided for information purposes for the Public Meeting. Following the Public Meeting, Planning Department Staff will prepare a report which will include review and consideration of policies that are relevant to the requested amendment.

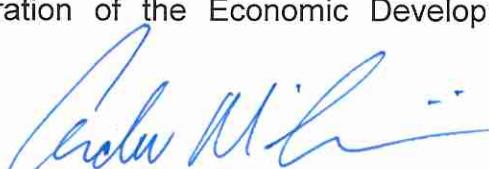
## FINANCIAL CONSIDERATIONS

None.

## CONCLUSION

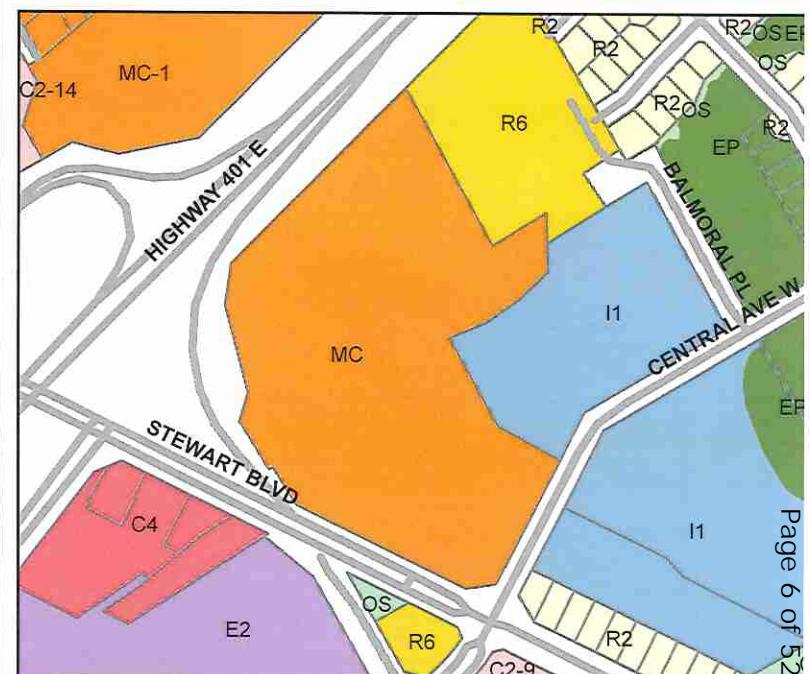
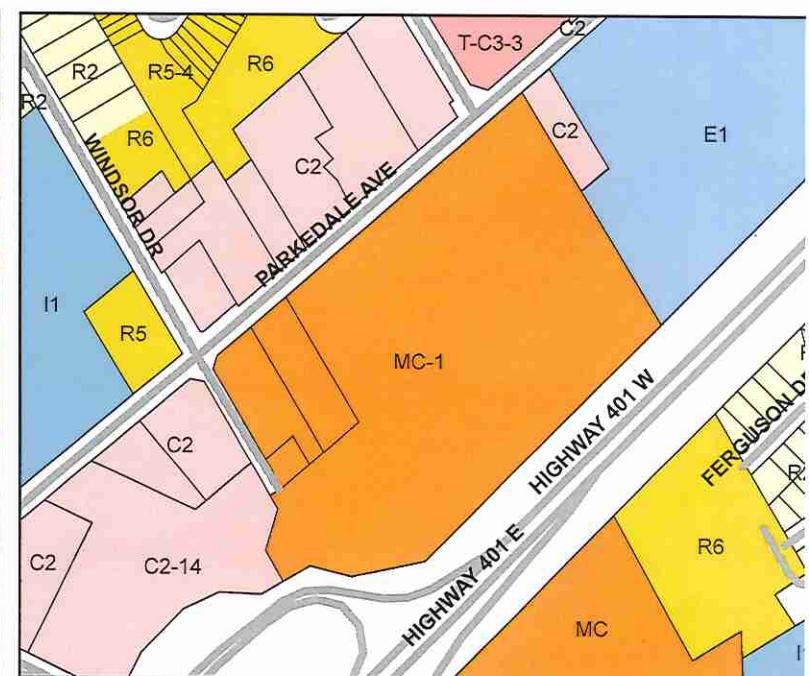
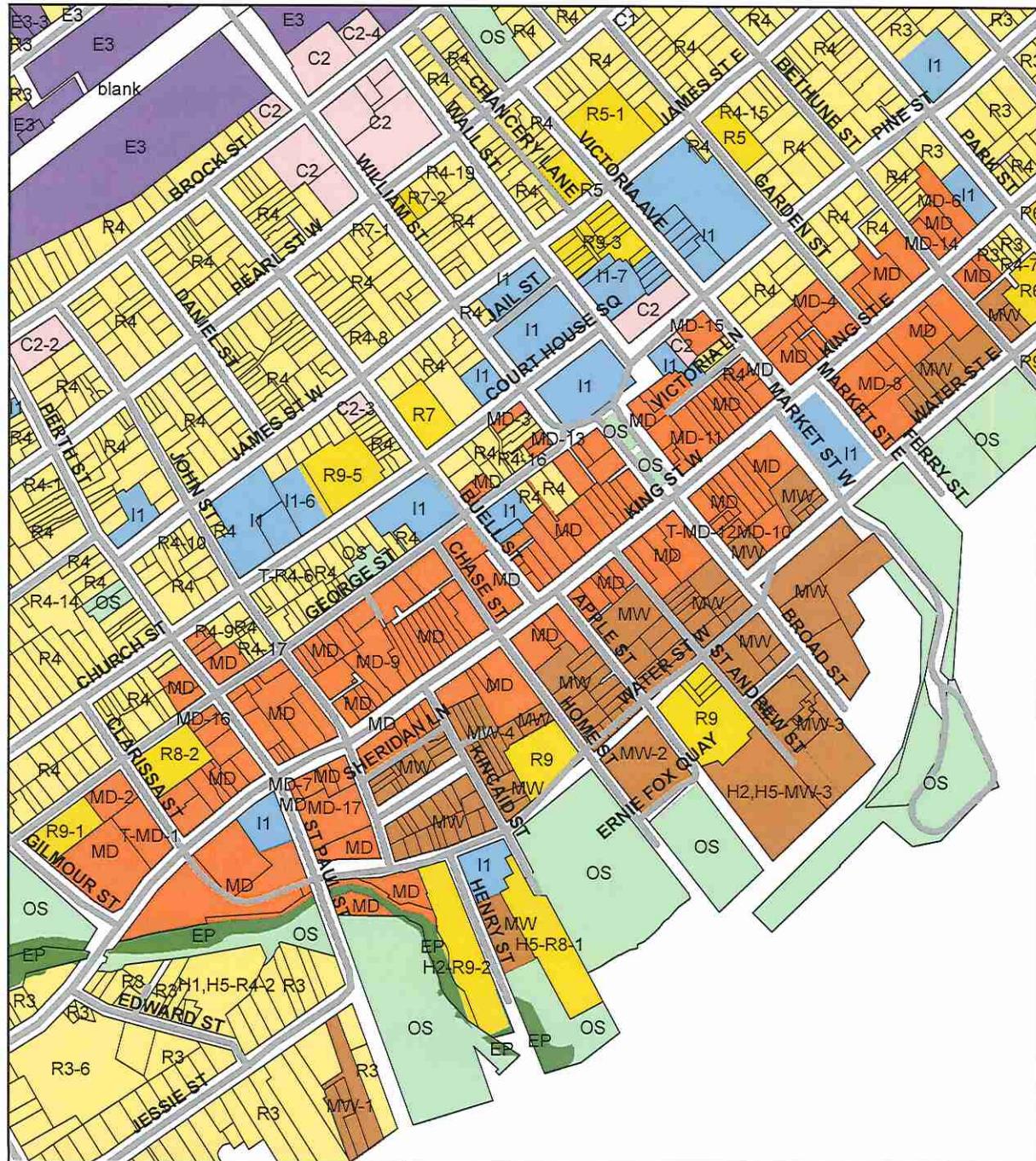
A Report on this matter, including a detailed analysis of the proposed amendments and consideration of the issues raised at the Public Meeting and a recommendation from Planning Staff, will be prepared for consideration of the Economic Development Planning Committee at a future meeting.

  
D. Dick, CPA, CA  
Director of Planning (Acting), and  
Director of Corporate Services

  
A. McGinnis, MCIP, RPP, Dipl.M.M.  
Planner II

  
B. Casselman  
City Manager

## SCHEDULE "A" TO REPORT 2018-011-02



26Jan18

**REPORT TO ECONOMIC DEVELOPMENT PLANNING COMMITTEE – PUBLIC  
MEETING – 06FEB2018**

**2018-012-02**

**PROPOSED ZONING BY-LAW AMENDMENT  
TO ZONING BY-LAW 050-2014  
137 GEORGE STREET AND TRINITY  
CHURCH LANDS, BROCKVILLE  
OWNERS: 1850521 ONTARIO LIMITED AND  
1850522 ONTARIO LIMITED  
FILE NO.: D14-027<sub>(050-2014)</sub>**

**D. DICK  
DIRECTOR OF PLANNING (Acting)  
ANDREW MCGINNIS  
PLANNER II**

**RECOMMENDED**

THAT Report 2018-012-02 be received as information and that a report on this matter be prepared by Staff for consideration of the Economic Development Planning Committee at a future meeting.

**PURPOSE**

To provide information for purposes of a Public Meeting being held under the Planning Act respecting an Application for Amendment to City of Brockville Zoning By-law 050-2014.

**BACKGROUND**

Ms. Tracy Zander, ZanderPlan, acting on behalf of 1850521 Ontario Limited and 1850522 Ontario Limited, owners of lands described as Part of Lots A and B and Part of Lots 23 and 24, Block 44, Plan 67, being Parts 1, 2, 3 and 4 on RP 28R-13889, City of Brockville, County of Leeds, 137 George Street and the former Trinity Church, has submitted applications for amendment to Zoning By-law 050-2014 with respect to the subject lands.

The proposed amendments to Zoning By-law 050-2014 would, if approved, allow the subject lands to be joined on title and redeveloped for two (2), three (3) storey rental apartment buildings containing a total of forty-eight (48) units with associated parking, of which eighteen (18 spaces) will be located underground.

Currently, the properties are individually zoned with two (2) different zoning classifications. 137 George Street is zoned R9-1 – Multiple Residential Special Exception Zone which permits an eleven (11) storey condominium building with a total of ninety-four (94) units. The R9-1 Special Exception regulations are specific to setbacks from street lines and reduction to parking with height, the number of storeys and the number of residential units all being subject to bonus provisions. In addition,

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Application for Zoning By-Law Amendment

137 George Street and Trinity Church (former), Brockville

Owner: 1850521 Ontario Limited and 1850522 Ontario Limited

File Nos.: D14-027

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the zoning had in place a clause for off-site improvements to Rotary Park at a value of not less than \$30,000.00.

The former Trinity Church lands are zoned MD-2 Mixed Use Downtown Special Exception Zone and permits a variety of uses specific to this property as well as site specific amendments to setbacks, open space and parking. Other than the general MD Zone uses, specific uses include a "Museum" and "Micro Brewery" that can be established on the Trinity Church lands.

The new owners have examined the uses currently permitted and have submitted the application before the Committee requesting that the properties to be rezoned to permit two (2), three (3) storey rental apartment buildings containing a total of forty-eight (48) units. The proposed site specific zone requests the following:

#### R8-Multiple Residential Site Specific Zone:

The site is proposed to be zoned R8-Multiple Residential Site Specific Zone to permit the two properties to be joined on title and allow the development of two (2), three (3) storey rental apartment buildings containing a total of forty-eight (48) units and fifty-three (53) associated parking spaces. The site specific zone would address reductions in setbacks for the minimum exterior side yard, interior side yard and rear yard; a reduction to the setback to parking from a street line (George Street); and a request to not require a Children's Play Area due to the proximity to Rotary Park. A copy of the proposed site plan along with elevation drawings is attached as **Schedule "A"** to this report. **Schedule "B"** is a Planning Rationale in support of the amendments prepared by Tracy Zander, ZanderPlan.

## ANALYSIS

### Zoning and Official Plan Information:

Official Plan Designation:	"Downtown and Central Waterfront Area" within the "Mixed Use Node" subject to Skyline Development Area Policies and Transitional Area Policies.
Proposed OP Designation:	No change requested.
Existing Zoning:	R9-1 Multiple Residential Special Exception Zone, in part, and MD-2 Mixed Use Downtown Special Exception Zone, in part.
Proposed Zoning:	The proposed R8 Multiple Residential Site Specific Zone would permit the development of two (2), three (3) storey residential apartment buildings (as noted

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previously) as well as establish provisions respecting exterior, interior and rear yard side yard setbacks, parking distance to a street line and remove the requirement to require a children's play area.

Site Characteristics:  
(once joined)

Lot Area:	0.32 Hectares (0.80 ac)
Frontage (George St.):	118.3 m
Frontage (Gilmour St.):	31.2 m
Frontage (Clarissa St.)	30.5 m

The subject properties currently contain the former Trinity Anglican Church building at the eastern side of the property which fronts on Clarissa Street. The two-storey stucco annex added to the back of the church building and a large gravel parking area to the west. **Schedule "C"** to this report is photos of the subject lands.

Surrounding Land Uses:

- North: The lands to the north (north side of George Street - immediately across from the subject lands) are zoned R4-General Residential Zone and are occupied by older two storey single family and semi-detached dwellings.
- East: The lands to the east (east side of Clarissa Street) are zoned R8-2 Multiple Residential Site Specific Zone and are occupied by a six (6) storey residential building (Marguerita Residence) with associated surface parking. Continuing on the east side of Clarissa Street, the lands are zoned MD – Mixed Use Downtown Zone are occupied by a single family dwelling and the Ultramar Gas Bar and Circle K convenience store.
- South: The lands to the south are zoned MD- Mixed Use Downtown, in part and T-MD-1 – Mixed Use Downtown Temporary Special Exception Zone, in part, and are occupied by the Leon's Furniture and Appliance Store with associated parking, and a chip wagon located on the eastern parcel.
- West: The lands to the west (opposite side of Gilmour Street) is Rotary Park which extends from Gilmour Street to Beecher Street, between George Street to the north and Buell's Creek to the south. Rotary Park consists of an outdoor skating rink, basketball court, playground, open space and Butlers Creek with a building fronting on Gilmour Street which is occupied by the Brockville Gymnastic Academy.

2018-012-02

Application for Zoning By-Law Amendment  
137 George Street and Trinity Church (former), Brockville  
Owner: 1850521 Ontario Limited and 1850522 Ontario Limited  
File Nos.: D14-027

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**Comments Received Schedule "D":**

1. B. Caskenette, Chief Building Official
  - No concern with the proposal but would like to note that:
    - A building permit will be required for each new building;
    - A demolition Permit will be required for all existing structures;
    - Per OBC, separate services shall be provided for each lot and shall not cross property boundaries and shall be connected to municipal services. Currently two separate properties.
2. C. Cosgrove, Director of Operations
  - The Operations Department has no comments with respect to this application. A traffic impact analysis was completed for a previous application which proposed 94 units. As this application is for 48 units, additional analysis is not required.
3. Steven Allen, Environmental Services, Supervisor of Engineering
  - Not opposed to the application.
4. Sandra MacDonald, City Clerk
  - No comments.
5. Robert Nolan, Director of Economic Development
  - No concern with the proposed amendment.
6. Greg Healy, Chief Fire Prevention Officer
  - No concern with the proposed amendment.
7. Mike Dakin, CRCA, Resource Planner
  - No concern with the proposed amendments. CRCA staff will conduct a full review at the time of Site Plan submission.
8. Jeremy Godfrey, Bell Canada
  - No concern; however there is a live cable currently servicing the church. Please contact us prior to demolition.
9. Alice Coleman, Enbridge Gas Distribution
  - No objection.
10. Neighbour
  - Opposed to the application.
    - Increased traffic will result in danger to children.
    - The 'face' of downtown Brockville will deteriorate with the addition of non-picturesque apartment buildings. Rental properties should

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Application for Zoning By-Law Amendment  
 137 George Street and Trinity Church (former), Brockville  
 Owner: 1850521 Ontario Limited and 1850522 Ontario Limited  
 File Nos.: D14-027

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be move uptown so that we may preserve as much as possible the historic look of downtown.

- Should Leon's leave and another apartment building be put in its place, this would further deteriorate the southwest entry to downtown.
- Currently a public location and it should stay so. Should build a nice park "Trinity Park" for example or leave the area vacant for better proposals that fit our beautiful (for now) downtown core of this fantastic town.

#### Potential Issues for Discussion:

1. Appropriateness of proposed zone being R8 – Multiple Residential Zone.
2. Appropriateness of proposed special provisions.
3. Demolition/Removal of Trinity Church.

#### **POLICY IMPLICATIONS**

The contents of this report are provided for information purposes for the Public Meeting. Following the Public Meeting, Planning Department Staff will prepare a report for consideration of the Economic Development Planning Committee which will include review and consideration of policies that are relevant to the proposed amendments.

#### **CONCLUSION**

The Staff Report on these matters, including the revisions that have been submitted, a detailed analysis, review and consideration of the issues raised at the public meeting and a recommendation from Planning Staff, will be prepared for consideration of the Economic Development Planning Committee at a future meeting.

David Dick, CPA, CA  
 Director of Corporate Services and  
 Director of Planning (Acting)

Andrew McGinnis, MCIP, RPP, Dipl.M.M.  
 Planner II

B. Casselman  
 City Manager

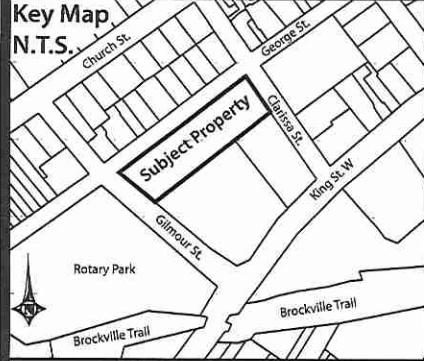
# Zoning By-Law

## Zoning By-Law Amendment from Residential Ninth

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**Amendment Sketch SCHEDULE "A" TO REPORT 2018-012-02** *isa Street*

137 George Street  
Lots 'A' and 23, Part Lots 'B' and 24  
Registered Plan No. 67  
City of Brockville



### Legend

- Lands to be Re-Zoned
- Barrier-Free Parking Space
- Ramp Up
- 1.5m Manoeuvring Aisle
- Walkways

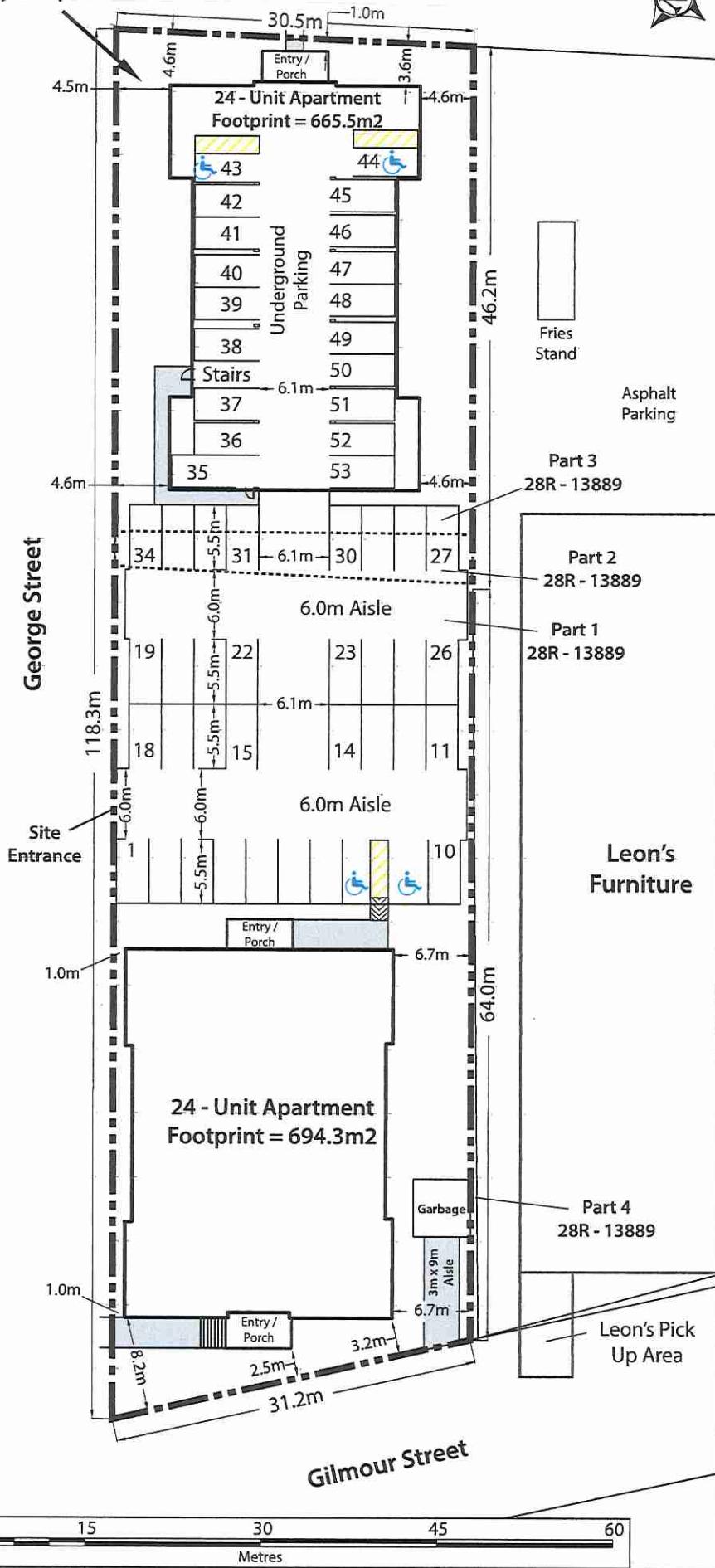
Zoning Table for 137 George Street  
Currently Zoned Mixed Use Downtown Exception 2 (MD-2)  
and Residential Ninth Density Exception 1 (R9-1)

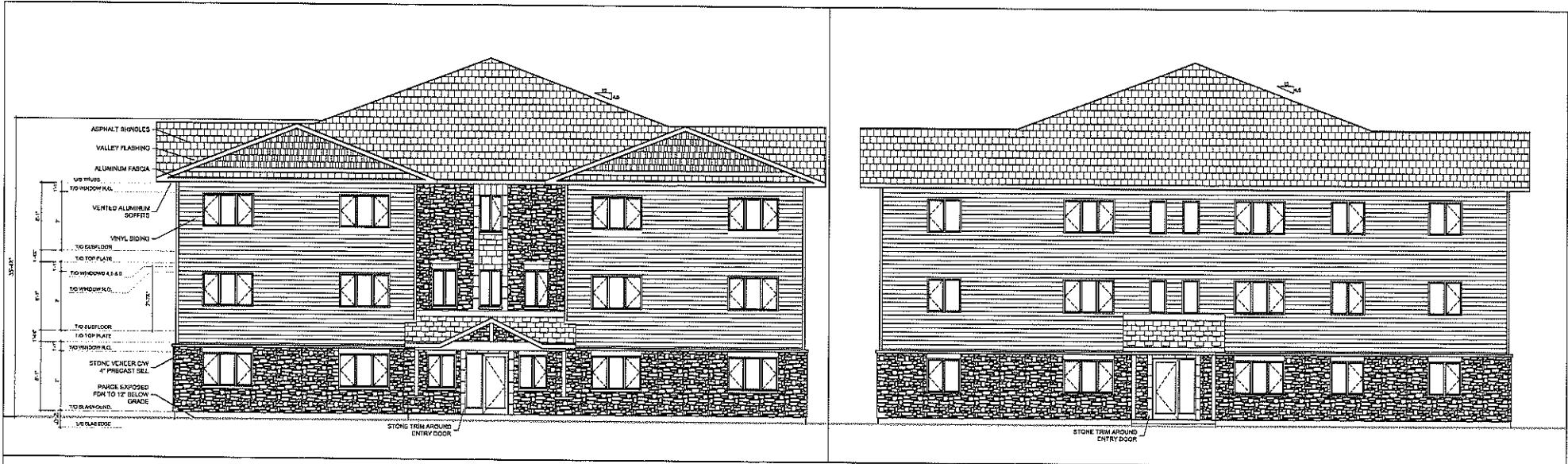
Zone Provision	MD-2 Zone Requirements	R9-1 Zone Requirements	R9 Zone Requirements (Apartment)	Proposed R9-X
Lot Frontage (min)	30.0m	31.0m	25.0m	31.2m (Gilmour) 30.5m (Clarissa)
Lot Area (min)	1,280.0m <sup>2</sup>	2,215.0m <sup>2</sup>	1,000.0m <sup>2</sup>	3,483.3m <sup>2</sup>
Front Yard (min)	Existing	13.5m	8.0m	1.0m (Clarissa) 2.5m (Gilmour)
Exterior Side (min)	Existing	0.0m	6.0m	3.0m, 4.6m
Interior Side (min)	Existing	0.0m	5.0m	4.6m, 7.7m
Rear Yard (min)	0.0m	1.5m	7.5m	N/A
Lot Depth (min)	N/A	68.0m	25.0m	30.5m
Lot Coverage (max)	80%	N/A	N/A	40-44%
Landscape Open Space (min)	10%	30%	30%	30.5%
Height (max)	Existing	<17.0m (Subject to Bonus Provisions)	22.5m	11.4m (Midpoint) 14.2m (Peak)
No. of Storeys	N/A	*5 (Subject to Bonus Provisions)	N/A	3
No. of Units (max)	N/A	*45 (Subject to Bonus Provisions)	N/A	46
Density (max)	N/A	Subject to Bonus Provision	Greater than 160 Units / Ha	138 Units / Ha
Parking	D spaces	1.1 / unit	1.1 / unit	1.1 / unit

\*Section 5.3.12.2: R9-1 Zone bonus provisions permit up to 27.0m height, maximum of 11 storeys, and a maximum of 94 residential units subject to the provisions listed in 5.3.12.1.

### Notes:

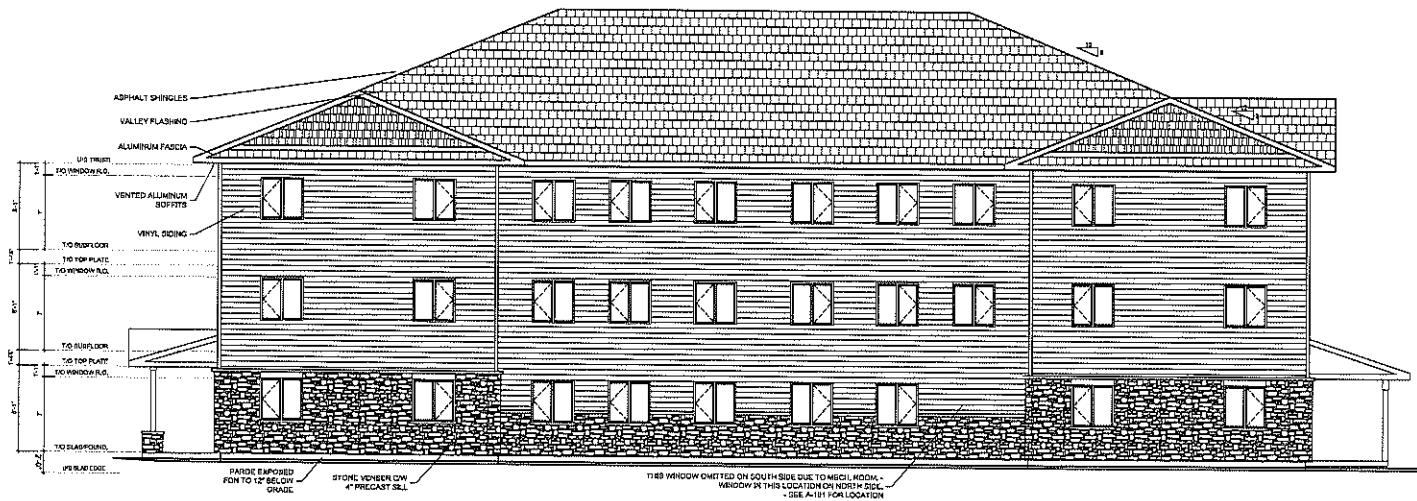
- Due to site grading and proposed drainage there is only one entrance out to George Street for the central parking area proposed.
- The site shows five (5) barrier-free spaces in total. A Type-A and Type-B space are shown in the central parking area, two Type-B spaces are shown in the underground parking, and one Type-A space shown to the south side of the building fronting onto Clarissa St. Each space has been provided a 1.5m manoeuvring aisle. In total, there are 2 Type-A spaces and 3 Type-B spaces provided.
- The garbage area for the building fronting onto Gilmour Street will include the required screening and will be accessed directly from Gilmour Street.
- Boundary and dimensions of the subject property derived from Survey Plan 28R - 13889 completed by Farley, Smith and Denis Surveying Ltd. in October, 2011.





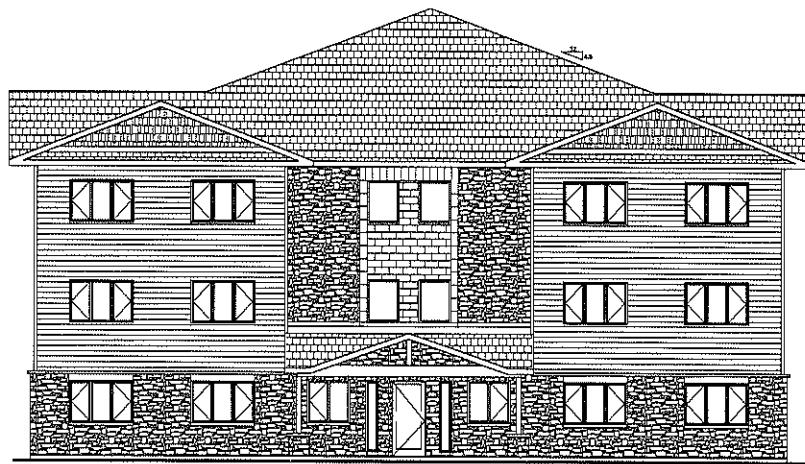
WEST ELEVATION

EAST ELEVATION

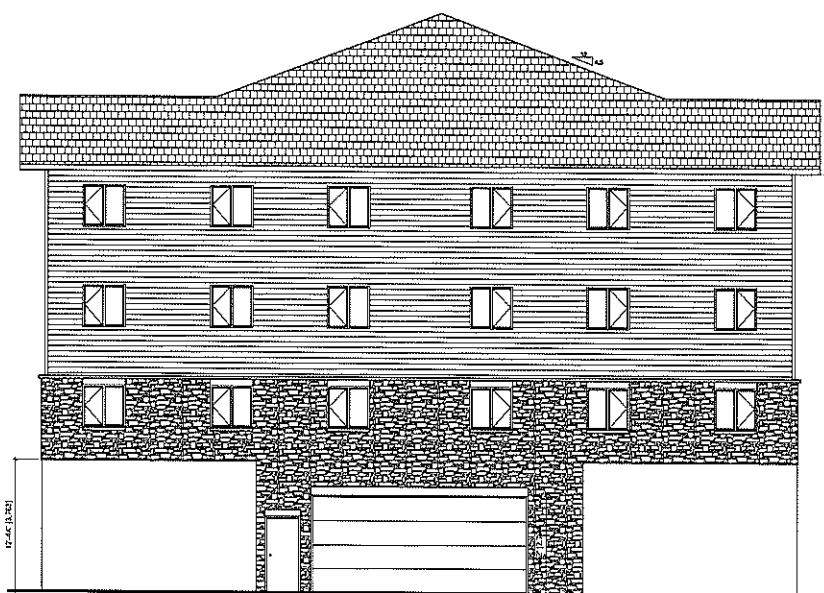


SOUTH ELEVATION

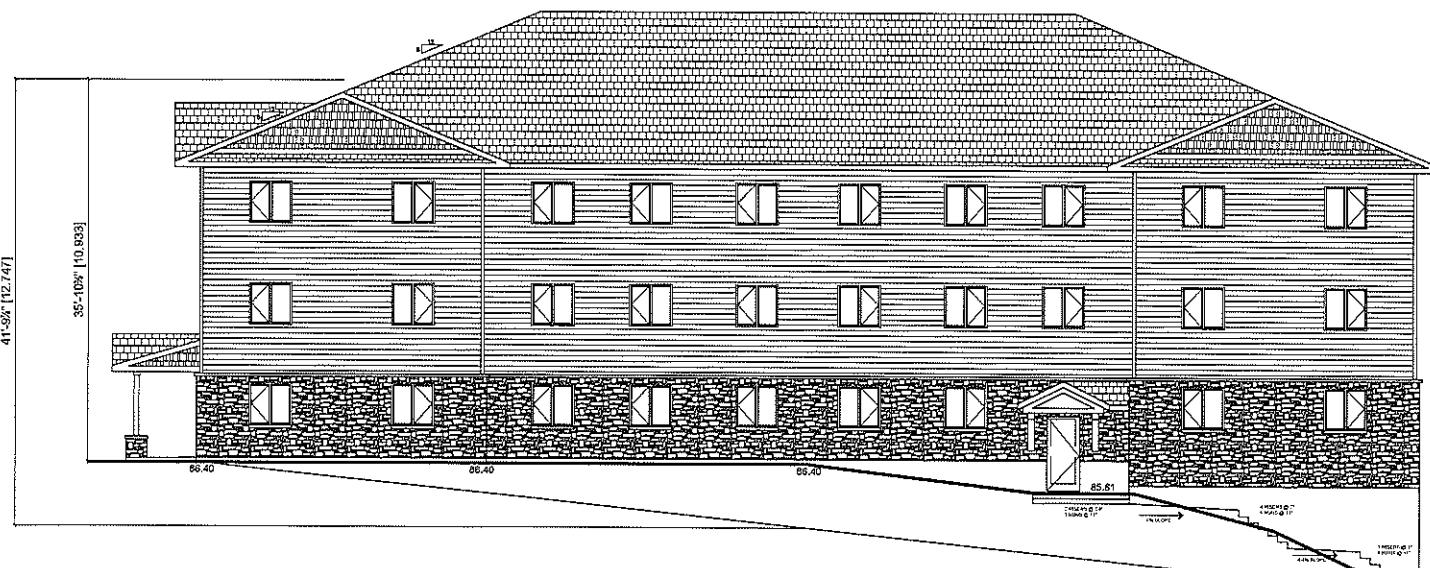
137 GEORGE ST. BUILDING B		ELEVATIONS
Architect:	Jeffrey R. Hodges Hodges Architecture 100 W. Main Street Cincinnati, OH 45202 (513) 721-2121	Drawn by: J.R. Hodges Checked by: J.R. Hodges Supervised by: J.R. Hodges Reviewed by: J.R. Hodges
Structural Engineer:	Jeffrey R. Hodges Hodges Architecture 100 W. Main Street Cincinnati, OH 45202 (513) 721-2121	
NOT FOR CONSTRUCTION		



EAST ELEVATION



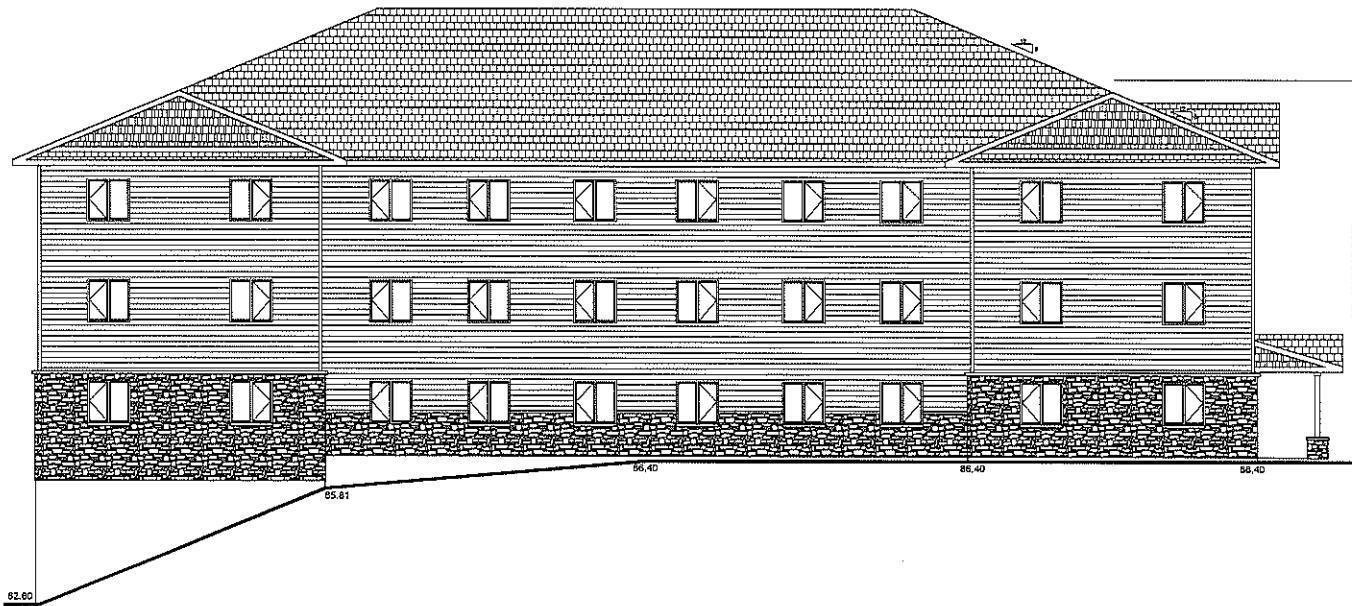
WEST ELEVATION



NORTH ELEVATION

NOT FOR  
CONSTRUCTION

Project No.	137 GEORGE ST. BUILDING A	Brockville, ON	Building Title
Architect	geoff hedgehog architect	Structural Engineer	Struct. Eng. & Co. Inc., Architects, Engineers, Surveyors, Landscapers, Interior Designers
Designer	geoff hedgehog	Contractor	Stalmar Ferreira
Date	2023-01-12	Permit No.	2023-01-12
Page No.	1	Page Total	1
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SOUTH ELEVATION

137 GEORGE ST. BUILDING A		ELEVATIONS
JULY 2011		Brookville, ON
Architect:		Architect:
Structural Engineer:		Structural Engineer:
Mechanical Engineer:		Mechanical Engineer:
Electrical Engineer:		Electrical Engineer:
Plumbing Engineer:		Plumbing Engineer:
Geotechnical Engineer:		Geotechnical Engineer:
Land Surveyor:		Land Surveyor:
Other Professionals:		Other Professionals:
NOT FOR CONSTRUCTION		NOT FOR CONSTRUCTION
		Architect's Seal
		Date: July 2011
		Page: A-201



January 3, 2018

City of Brockville Planning Department  
1 King Street West  
P.O. Box 5000  
Brockville, ON  
K6V 7A5

To Whom It May Concern:

**RE: Zoning By-Law Amendment – Revised Planning Report**  
**137 George Street**  
**Lots A & 23, and Part of Lots B & 24**  
**Registered Plan No. 67**  
**City of Brockville**

ZanderPlan Inc. has been retained by 1850521 Ontario Limited and 1850522 Ontario Limited, to prepare and submit a Zoning By-law Amendment Application for the property located at 137 George Street. The subject property measures approximately 3,483m<sup>2</sup> with frontage on Clarissa Street, George Street and Gilmour Street. The east side of the property currently houses a church with the west side of the property containing a gravel parking area. There are very few mature trees or landscaped areas currently on the property. The property slopes down significantly from east to west as you travel along George Street. The development proposal will seek to remove the existing church and any structures attached to it and build two (2) new 24 unit, 3-storey apartment buildings with a centralized parking area. The building proposed on the east side of the property will include underground parking and an indoor garbage area. The Zoning By-Law Amendment is being submitted before the Site Plan Application to propose a rezoning from Residential Ninth Density - Exception 1 (R9 – 1) and Mixed Use Downtown Exception 2 (MD – 2) to Residential Eighth Density – Exception (R8 – X) Zone to permit the two proposed apartment buildings. Once the new zoning classification is in place, the Site Plan for the proposal will be submitted. In addition, an Environmental Assessment Report has been submitted along with a Servicing and Stormwater Management Report.

#### **SUBJECT PROPERTY**

The subject property is located at 137 George Street, described as Lots A & 23, and Part Lots B & 24, Registered Plan 67, in the City of Brockville (See Figure 1) comprised of Parts 1 – 4 on Plan

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P.O. Box 20148 Perth, Ontario K7H 3M6 ph. 613-264-9600 fax: 613-264-9609 [www.zanderplan.com](http://www.zanderplan.com)

# **zanderPLAN**

Your rural land planning experts

28R - 13889. The property measures approximately 3,483m<sup>2</sup> in size with 30.5 metres of frontage on Clarissa Street, 118.3 metres of frontage on George Street and 31.2m of frontage on Gilmour Street. An existing stone church with an attached parish hall is located on the east side of the property fronting onto Clarissa Street. A gravel parking area with access off of George Street is located on the west side of the property. Hydro poles and overhead wires are located on the south side of George Street and the east side of Gilmour Street abutting the property. A pedestrian sidewalk is located along Clarissa Street abutting the property which extends part of the way down George Street, ending at the side wall of the attached parish hall near the entrance to the gravel parking area. The property includes two parcels which were previously severed in 2011. As the proposal includes the entire site, a *Planning Act* application will be required to merge the parcels back together.



Figure 1 – Aerial View of 137 George Street

The subject property is located within the Downtown and Central Waterfront Area with a variety of different land uses located in the surrounding neighbourhood. Lands to the north are mainly lower density single or semi-detached dwellings with a few examples of higher density development. Lands to the east consist of higher density residential apartments with some commercial uses fronting onto King Street West. Lands to the south include Leon's Furniture and its large asphalt parking area, as well as the Brockville Gymnastics Academy. Lands to the west consist of some residential uses of varying density and Rotary Park. The Brock Trail is located south of the property traveling in an east to west direction. The proposed apartment buildings would be suitable given the existing multi-residential development already existing to



the east and could be easily serviced within walking distance by a number of commercial uses along King Street West.

#### **DEVELOPMENT PROPOSAL**

The development proposal will seek to re-zone the subject property in order to construct two (2) three storey, 24 unit apartment buildings, one at either end of the site, with a central parking area. The buildings will front onto Clarissa Street and Gilmour Street respectively with access to a common parking area coming off of George Street. The east building will include 19 spaces of underground parking with two stalls devoted to barrier-free parking. Access to the underground will come via the central parking area. Garbage will also be located in the underground of the east building. The west building will be situated lower on the property, due to an elevation change on the site, and will not include any underground parking. The majority of the central parking lot, including the two barrier-free spaces, will provide the parking requirement for the west building. Garbage for the westernmost building will be situated to the south of the building with an access lane for garbage trucks coming off of Gilmour Street.

Upon completion, the site will house 48 residential units with a total of 53 parking spaces, nineteen of which will be underground and four of which will be dedicated for barrier-free parking. The proposed east building will include three (3) one-bedroom units, fifteen (15) two-bedroom units and six (6) three-bedroom units spread evenly over all three storeys. The west building will include two (2) one-bedroom units on the main floor, nineteen (19) two-bedroom units spread over all three storeys and three (3) three-bedroom with one on the main floor and two on the third floor. In total, of the 48 units proposed the development will include five (5) one-bedroom units, thirty-four (34) two-bedroom units and nine (9) three-bedroom units. The proposed density for the development is 138 units per hectare. This zoning amendment application is submitted to re-zone the property to Residential Eighth Density Exception (R8-X) Zone to support the proposal.

#### **CITY OF BROCKVILLE ZONING BY-LAW No. 050-2014**

The subject property is currently zoned Mixed Use Downtown - Exception 2 (MD-2) and Residential Ninth Density – Exception 1 (R9-1) on the City of Brockville Zoning By-Law Schedule A – Map 1 (See Figure 2). The Mixed Use Downtown Zone falls on the east side of the property comprising the old church while the Residential Ninth Density Zone falls on the west side comprising the attached parish hall and gravel parking area. The R9-1 Zone was originally established on the property to permit a multi-storey high density apartment dwelling which

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obtained approvals but was never constructed. The entire property falls within the Downtown and Central Waterfront Area as seen on Schedule B to the Zoning By-Law (See Figure 3).

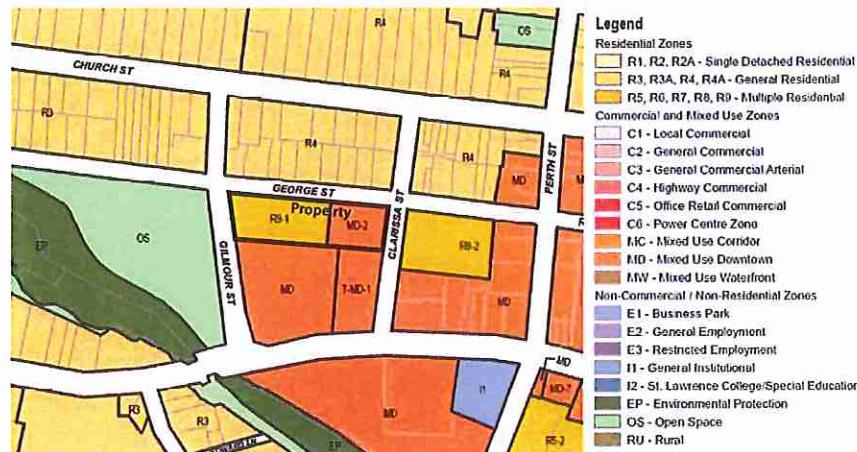


Figure 2 – City of Brockville Zoning By-Law 050-2014 Schedule A – Map 1



Figure 3 – City of Brockville Zoning By-Law 050-2014 Schedule B – Special Provisions for the Downtown and Central Waterfront Area

The Zoning By-Law Amendment proposes to rezone the property from Mixed Use Downtown - Exception 2 (MD-2) and Residential Ninth Density – Exception 1 (R9-1) to a new Residential Eighth Density – Exception (R8-X) zone to accommodate the development proposal. Section 5.0 of the Zoning By-Law provides policies and provisions for Residential Zones identifying apartments and group home dwellings as the permitted uses in the R8 Zone. Tables 5.2a) to 5.2c) in the zoning by-law provide residential lot and building requirements. Apartment dwellings in the R8 zone require the following:


  
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**Table 5.2(c): Lot and Building Requirements for Residential – Multiple Zones**

<b>Requirement</b>	<b>Use</b>	<b>R8 Zone</b>
Lot Frontage (min)	Apartment	25.0m
Lot Area (min)	Apartment	1,000.0m <sup>2</sup>
Front Yard (min)	Apartment	8.0m
Exterior Side Yard (min)	Apartment	6.0m
Interior Side Yard (min)	Apartment	5.0m
Rear Yard (min)	Apartment	7.5m
Lot Depth (min)	Apartment	25.0m
Landscaped Open Space (min)	Apartment	30%
Height (max)	Apartment	18.5m
Density (max)	Apartment	160 units / ha

The subject property as it sits measures 3,483.3m<sup>2</sup> in size with 180.0m of combined frontage on 3 roads. The property has a vertical depth of 30.5 metres with a horizontal depth averaging 114.3 metres, all well beyond the minimums required, including for two buildings on the site. With regards to yard setbacks and other provisions, the development proposal requires some exceptions in order to permit the proposed development.

As part of the proposal, both the frontage on Clarissa and Gilmour Streets will be considered the front yards, with George Street being an exterior side yard and the south lot line abutting the Leon's Furniture being considered an interior side. The proposed front yard setbacks to Clarissa Street and Gilmour Street are 1.0m and 2.5m respectively. The east building includes an exterior side yard of 4.5m with the west building proposing 1.0m. The interior side yard is proposed at 4.6m for the east building and 6.7m for the west building. Although exceptions will be required to accommodate the proposal, several yard reductions have already been contemplated for this site and are reflected under the current R9-1 exception zone:

<b>Provisions for the R9-1 Zone</b>	
Minimum Lot Area	2215.0 m <sup>2</sup>
Minimum Lot Frontage	31.0 m
Minimum Lot Depth	68.0 m
Minimum Front Yard Setback	13.5 m
Minimum Exterior Side Yard Setback	0.0 m
Minimum Interior Side Yard Setback	0.0 m
Minimum Rear Yard Setback	1.5 m
Maximum Building Height	17.0 m subject to the bonus provisions outlined in this subsection


  
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Section 6.0 of the Zoning By-Law provides policies and provisions for Commercial and Mixed Use Zones. The east side of the property is zoned Mixed Use Downtown - Exception 2 (MD-2) which permits a number of different uses on the property. This portion will also be re-zoned Residential Eighth Density – Exception as part of the zoning amendment application. While the exceptions created to support the previous proposal are of interest, the provisions of Section 6.0 and the permitted uses of the MD-2 zone do not apply to this development proposal.

The zoning table for the proposed development is depicted below showing the current requirements of the R8, R9-1 and MD-2 zones with the yard and setback provisions for the proposed development shown in the R8-X column.

Zoning Table for 137 George Street Currently Zoned Mixed Use Downtown Exception 2 (MD-2) & Residential Ninth Density Exception 1 (R9-1)				
Zone Provision	MD-2 Zone Requirements	R9-1 Zone Requirements	R8 Zone Requirements (Apartment)	Proposed R8-X
Lot Frontage (min)	30.0m	31.0m	25.0m	31.2m (Gilmour) 30.5m (Clarissa)
Lot Area (min)	1,280.0m <sup>2</sup>	2,215.0m <sup>2</sup>	1,000.0m <sup>2</sup>	3,483.3m <sup>2</sup>
Front Yard (min)	Existing	13.5m	8.0m	1.0m (Clarissa) 2.5m (Gilmour)
Exterior Side (min)	Existing	0.0m	6.0m	1.0m, 4.6m
Interior Side (min)	Existing	0.0m	5.0m	4.6m, 6.7m
Rear Yard (min)	0.0m	1.5m	7.5m	N/A
Lot Depth (min)	N/A	68.0m	25.0m	30.5m
Lot Coverage (max)	80%	N/A	N/A	40.4%
Landscaped Open Space (min)	10%	30%	30%	30.5%
Height (max)	Existing	*17.0m (Subject to Bonus Provisions)	18.5m	11.4m (Midpoint) 14.2m (Peak)
No. of Storeys (max)	N/A	*5 (Subject to Bonus Provisions)	N/A	3
Children's Play area	2.5 sm/unit	2.5 sm/unit	2.5 sm/unit	Not required
No. of Units (max)	N/A	*45 (Subject to Bonus Provisions)	N/A	48
Density (max)	N/A	Subject to Bonus Provision	160 Units / Hectare	138 Units / Ha
Parking Location	Interior and rear yards	Interior and rear yards	Interior and rear yards	Exterior side yard
Parking	0 spaces	1.1 / unit	1.1 / unit	1.1 / unit

**\*-Section 5.3.12.1: R9-1 Zone bonus provisions permit up to 37.0m height, maximum of 11 storeys, and a maximum of 94 residential units subject to the provisions listed in 5.3.12.1.**

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Given that the subject property has already been contemplated for high density residential development, with several yard exceptions and bonus provisions already permitted, the development proposal and re-zoning of the property to permit two apartment dwellings would be suitable and appropriate. The current property is large enough in terms of frontage and area to accommodate two apartment buildings. The R9-1 zone in place already permits a 0 metre exterior side yard, which is required as part of this proposal to accommodate the proposed parking area. The proposed zoning by-law amendment from Mixed Use Downtown - Exception 2 (MD-2) and Residential Ninth Density – Exception 1 (R9-1) to Residential Eighth Density – Exception (R8-X) would be consistent with the City of Brockville Zoning By-Law 050-2014.

## CITY OF BROCKVILLE OFFICIAL PLAN

The subject property is designated Downtown & Central Waterfront Area on the City of Brockville Official Plan Schedule 1 (See Figure 4) with Schedule 2 showing the permitted number of storeys on the west half of the site being 11 (See Figure 5). There are no heritage features or constraints identified for the property on any Official Plan Schedules.

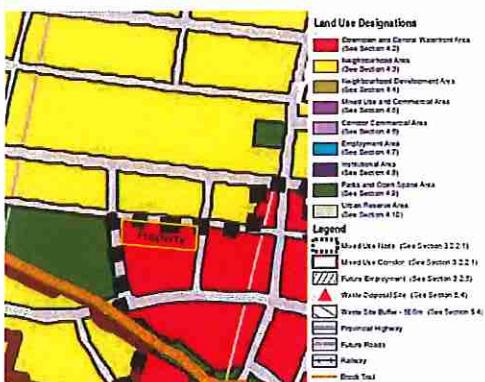


Figure 4 – Excerpt of Official Plan Schedule 1



Figure 5 – Excerpt of Official Plan Schedule 2

Section 4.2 of the City's Official Plan sets forth policies and provisions for the Downtown & Central Waterfront Area. Section 4.2.1 states "this area represents the broadest diversity of land uses . . . achieving the desired mix of uses shall be achieved by encouraging intensification and the redevelopment of existing vacant and underutilized sites." The subject property is an example of an underutilized site containing an old church and unused gravel parking area. Intensification and redevelopment of the site with two new 24 unit apartment dwellings would significantly increase residential density of the area in proximity to the various uses and amenities located in the Downtown & Central Waterfront Area. Apartment buildings are a permitted use in this designation per section 4.2.2.2 of the Official Plan.



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Section 4.2.3 of the Official Plan sets forth Land Use & Built Form Policies within the Downtown & Central Waterfront Area. In total, there are 24 provisions listed with several subsections throughout. Due to the length of Section 4.2.3, only those provisions directly relating to the subject property and / or proposed development will be listed and addressed with regards to their conformity with the Official Plan. Those provisions are as follows:

1. *New development in the Downtown and Central Waterfront Area shall ensure that proper building frontage is maintained and that the proposed uses do not negatively impact the planned function of the area.*
2. *New development shall be consistent with the City's approved Downtown and Waterfront Master Plan and Urban Design Strategy.*
3. *The height and massing of the building shall have regard to the height and massing of the buildings on any adjacent property and may be subject to additional setbacks, height restrictions, or landscaping to provide an appropriate transition.*
4. *For residential units, the development shall be adequately serviced by parks and school facilities.*
5. *All required parking shall be provided on the site or in a shared facility having adequate capacity within 150 metres of the subject lands. Appropriate parking standards for the Downtown and Central Waterfront shall be established in the Zoning By-law.*
6. *For developments incorporating small-scale apartments, block townhouse dwellings and similar medium profile residential buildings, on-site recreational facilities or amenities such as private open space or playground equipment may be required.*
7. *For developments with a potential to impact the traffic patterns of the area, a report shall be provided by the proponent identifying the adequacy of the road network to accommodate the expected traffic flows, in association with policies in Section 5.2.1.*
8. *Development along Main Streets, Secondary Main Streets, and Water Street as identified on Schedule 2, shall reinforce the linkages to the waterfront and preserve and enhance views, contribute to pedestrian animation at the ground floor level, and provide streetscape elements that improve look, feel, and vibrancy of the Main and Secondary Streets and Water Street.*
11. *Within transitional areas of the Downtown and Central Waterfront Area identified on Schedule 2, the height, density and massing of the development shall be compatible with the adjacent low density residential uses through the use of appropriate transitions*



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*including but not limited to lower building heights, additional setbacks and buffers, building treatments, location of parking, and landscaping.*

12. *The height, massing, orientation and layout of buildings shall promote the creation of a pedestrian-scaled environment and reinforce the character of the Main and Secondary Streets and Water Street.*
15. *For building frontages on George Street (west of Buell Street), Pine Street (east of Garden Street) and James Street, a minimum of 50% of the frontage shall be occupied by a continuous building frontage, within a building setback zone from the public right-of-way as determined in the Zoning By-law, to recognize the character of these streets and their transition to stable neighbourhoods outside the Downtown and Central Waterfront Area.*
17. *Buildings heights within Skyline Development Areas and Waterfront Development Areas of the Downtown and Central Waterfront Area shall be in accordance with the heights identified on Schedule 2 and subject to the criteria outlined below. Any development proposed greater than three storeys but less than or equal to five storeys shall only be permitted subject to a site-specific amendment to the Zoning By-law and satisfying the following criteria to ensure the building height is compatible with neighbouring land uses and that the development provides a suitable transition with adjacent stable residential neighbourhoods:*
  - i. *Signature Architecture – Signature architecture above three storeys shall be required to ensure a high level of architectural treatment and design. Signature architecture may consist of enhanced building articulation through the use of distinguishable architectural elements, including cornices and mouldings, materials, and colours consistent with the prominent architecture within the Downtown and Central Waterfront Area.*
  - ii. *Angular Plane – An angular plane consistent with the Downtown and Waterfront Master Plan and Urban Design Strategy shall be required. Figure 3.1 provides an example of an angular plane.*
  - iii. *Downtown and Waterfront Master Plan and Urban Design Strategy (DWMPUDS) – Development shall be consistent with the City's approved DWMPUDS.*
19. *A minimum ground floor height shall be required for new development with frontage on Main Streets, Water Street and Secondary Streets to ensure a consistent ground floor height. Where ground floor residential uses shall be permitted, a minimum ground floor height of 4.5 metres shall be required to accommodate a ground floor that may be converted to commercial/retail or office uses. The ground floor shall provide for clearly*

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*visible/accessible entrances, extensive window openings to accommodate the display of goods/products, higher urban design and enhanced building articulation to provide visual interest at the street.*

*20. The City shall implement the urban design policies of this Plan through the provisions of the Zoning By-law. The City may require certain design characteristics and/or tools such as:*

- *Floor Space Index or other measures of density;*
- *Specific materials and colours for building façades;*
- *Locations of windows and doors;*
- *Land uses at grade;*
- *Continuous/intermittent frontage; and*
- *Angular planes.*

*22. A consistent building height of two to three storeys shall be provided at the street edge to maintain the continuity of the street and consistent roof lines, and ensure that buildings are presented at a pedestrian scale.*

The subject property has frontage on three streets with well over the minimum required frontage for apartment buildings. All uses and parking will be located entirely on-site and will not disrupt the current function of the area. Height of the buildings is proposed at 3 storeys, only slightly higher than many of the single and semi-detached houses in the neighbourhood and shorter than the existing church or higher density uses located to the east. The property is located within 5 minutes of a school, with Rotary Park abutting the property on the other side of Gilmour Street. Complete with a splash pad, outdoor hockey rink, skate park, basketball court and washrooms Rotary Park offers numerous recreational amenities. The Brock Trail also connects to Rotary Park traveling in various directions and providing several linkages to other parts of Brockville for future residents of the subject property. Parking will be provided entirely on-site within a central parking area and within an underground parking level which is proposed under the apartment falling on the east side of the site.

In addition to the Land Use & Built Form Policies of Section 4.2.3 of the Official Plan, Section 3.4 of the OP addresses Revitalizing Our City with Urban Design policies found under Section 3.4.1. The policies relate to the built form and physical design of communities within the City. The policies of Section 3.4.1 read as follows:

1. *The City shall seek to maintain and improve the physical design characteristics of the Urban Area in the context of new and existing development by ensuring consistency with*



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*the Downtown and Waterfront Master Plan and Urban Design Strategy, and stressing excellence in architecture, urban design and built form.*

2. *Through the review of development applications, including plans of subdivision, site plans and other development proposals, the City:*
  - i. *shall ensure that new development is designed in keeping with the traditional character of the City in a manner that both preserves their traditional community image and enhances their sense of place within the City;*
  - ii. *shall promote efficient and cost-effective development design patterns that minimize land consumption while providing for safe and efficient municipal services.*
  - iii. *shall promote the improvement of the physical character, appearance and safety of streetscapes, civic spaces, and parks;*
  - iv. *shall encourage tree retention or tree planting and replacement;*
  - v. *shall encourage design that considers, and wherever possible continues, existing and traditional street patterns and neighbourhood structure; and*
  - vi. *may require, at the City's sole discretion, that proponents submit design guidelines with development applications establishing how the policies of this Plan have been considered and addressed. Such guidelines may also be required to address related issues of residential streetscaping, landscaping, setbacks, signage, garage placement, and architectural treatment.*
3. *Any development proposed greater than three storeys but less than or equal to five storeys shall only be permitted subject to a site-specific amendment to the Zoning By-law and satisfying the following criteria to ensure the building height is compatible with neighbouring land uses and that the development provides a suitable transition with adjacent stable residential neighbourhoods:*
  - i. *Signature Architecture – Signature architecture shall be required to ensure a high level of architectural treatment and design. Signature architecture may consist of screening or appropriate design of roof mounted equipment, enhanced building articulation through the use of distinguishable architectural elements, including cornices and mouldings, materials, and colours consistent with the prominent architecture within the immediate area.*
  - ii. *Angular Plane – A 45 degree angular plane, as illustrated in Figure 3.1, shall be used to regulate the height of tall buildings and ensure they are stepped back from the street to ensure an appropriate pedestrian scale and from stable residential lots to ensure there are no adverse impacts on the adjacent neighbourhoods.*



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- iii. *Downtown Waterfront Master Plan and Urban Design Strategy (DWMPUDS) – Development shall be consistent with the City's approved DWMPUDS.*
- 4. *Any development proposal in excess of five storeys shall only be permitted subject to a site-specific amendment to this Plan and satisfying certain criteria to ensure the building height is compatible with neighbouring land uses and that the development provides a suitable transition with adjacent stable residential neighbourhoods. The criteria for any building proposed in excess of five storeys shall include the following:*
  - i. *Signature Architecture – Signature architecture above three storeys shall be required to ensure a high level of architectural treatment and design. Signature architecture may consist of screening or appropriate design of roof mounted equipment, enhanced building articulation through the use of distinguishable architectural elements, including cornices and mouldings, materials, and colours consistent with the prominent architecture within the immediate area.*
  - ii. *Angular Plane – A 45 degree angular plane, as illustrated in Figure 3.1, shall be used to regulate the height of tall buildings and ensure they are stepped back from the street to ensure an appropriate pedestrian scale and from stable residential lots to ensure there are no adverse impacts on the adjacent neighbourhoods.*
  - iii. *Bonusing Provisions – In exchange for an increase in height, the bonusing provisions of Section 37 of the Planning Act shall be utilized in exchange for additional community benefits, which may include improvements to the adjacent public realm, public art, and park and open space improvements.*
  - iv. *Tall Building Guidelines – Development proposed in the Skyline Development Areas or over five storeys in the City shall be consistent with the Plan's urban design policies which outline additional design guidelines for tall buildings that relate to massing, views and vistas, point block development standards that mitigate shadow overlays, view obstructions and additional step back requirements for towers above three storeys, building placement, and architecture.*
  - v. *Downtown and Waterfront Master Plan and Urban Design Strategy (DWMPUDS) – Development shall be consistent with the City's approved DWMPUDS.*
- 5. *A minimum ground floor height shall be required for new development with frontage on Main Streets, Water Street and Secondary Streets or in a Mixed-use and Commercial Area to ensure a consistent ground floor height. Where ground floor residential uses shall be permitted, a minimum ground floor height of 4.5 metres shall be required to accommodate a ground floor that may be converted to commercial/retail or office uses.*



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*The ground floor shall provide for clearly visible/accessible entrances, extensive window openings to accommodate the display of goods/products, higher urban design and enhanced building articulation to provide visual interest at the street.*

6. *The City shall implement the urban design policies of this Plan through the provisions of the Zoning By-law. The City may require certain design characteristics and/or tools such as:*
  - *Floor Space Index or other measures of density;*
  - *Specific materials and colours for building façades;*
  - *Locations of windows and doors;*
  - *Land uses at grade;*
  - *Continuous/intermittent frontage; and*
  - *Angular planes.*
7. *Measures shall be taken to ensure that the permitted uses address compatibility with adjacent land uses. Adequate separation buffering or screening shall be provided between any uses where land use conflicts might be expected, such as the provision of grass strips and appropriate planting of trees and shrubs, berms or fence screening, and other means as appropriate. Modifications to building orientation may also represent appropriate buffering measures.*
8. *Wherever possible, new development shall be oriented toward streets or parks. Development design that establishes reverse lotting on City roads or requires features such as noise attenuation or privacy fencing, in accordance with Section 3.7.2, shall generally not be permitted. However, reverse-lotting may be permitted along Collector Roads and Arterial Roads, at the discretion of the City and subject to the provision of uniform noise attenuation or privacy fencing and a suitable maintenance program to the satisfaction of the City, in accordance with Section 3.7.2.*
9. *The City shall require that infill developments be compatibly scaled and designed to enhance the character of the area.*
10. *Streetscaping that reflects the intended character of the City shall be encouraged. In particular, contextually appropriate streetscaping and public realm features shall be required in the Downtown and Central Waterfront Area, and the Mixed Use and Commercial Nodes, at the cost of the proponent*
11. *The City, in consultation with a development proponent(s), shall define a style of street furnishing that should include shared and accessible bicycle racks, garbage and recycling receptacles, benches and street lamps to be used in a new development. The City may*



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*consult, as appropriate, the Brockville Municipal Accessibility Advisory Committee (BMAAC), the DBIA, and/or the Heritage Brockville Committee.*

12. *A high quality of architecture and site design for institutional uses such as schools, places of worship, community centres, libraries and other public service buildings shall be encouraged.*
13. *A high quality of park and open space design shall be strongly encouraged. The land for parkland dedication shall be carefully selected to facilitate its use as a central focal point for new or existing neighbourhoods.*
14. *Public art in the City shall generally be encouraged to incorporate themes supporting and promoting local history, civic pride, creativity, businesses and technology. The provision of public art in the Downtown and Central Waterfront Area shall be encouraged, particularly with larger development proposals. The City may consider granting increases in height or density for a particular development proposal in exchange for the provision of public art, in accordance with Section 6.4.3.*
15. *The City shall promote the integration and accessibility of community uses including schools, municipal facilities, institutional uses, parks and open spaces and recreational uses through pedestrian, cycling and trail linkages. The City shall require the provision of certain pedestrian, cycling and trail linkages through the development approvals process, in accordance with the policies of this Plan.*
16. *The City may undertake the preparation of master plans and urban design strategies to achieve the policies of this Section for all or parts of the City, particularly the Mixed Use and Commercial Nodes, and any additional studies that would complement the Downtown and Waterfront Master Plan and Urban Design Strategy (DWMPUDS). From time to time, the DWMPUDS should be reviewed and updated.*
17. *The City shall encourage development design that considers the principles of Crime Prevention through Environmental Design (CPTED). Specifically, the City shall encourage proponents of new development to situate buildings on lots to maximize natural surveillance and to use appropriate lighting to deter crime.*
18. *The City shall require municipal addressing to be clearly displayed in order to facilitate response by emergency services.*
19. *The City shall consider locating utilities within the public rights-of-way as well as on private property. Utilities shall be clustered or grouped where possible to minimize visual impact. The City encourages utility providers to consider innovative methods of containing utility services on, or within streetscape features such as gateways, lamp*



*posts, transit shelters, when determining appropriate locations for large utility equipment and utility cluster sites.*

*20. The City shall review the design and layout of parking areas in accordance with the policies of this Plan.*

*21. The City may establish an Architectural and Urban Design Review Committee, or any other Committee, to assist in reviewing studies or components of development applications. The City may also require a peer review, at the cost of the proponent, of any studies submitted as part of the review of development applications.*

The development proposal is for two (2) apartment buildings consisting of three storeys each, as such the policies of Section 3.4.1.3 and 3.4.1.4 for development exceeding three storeys and five storeys respectively do not apply. The proposal is seeking a residential infill development within the Downtown and Central Waterfront Area, described in Section 4.2.1 as having the broadest diversity of land uses in the City. Abutting residential uses are either multi-storey single dwellings or apartments which would make the proposal compatible in terms of surrounding land uses. Development is oriented toward Gilmour and Clarissa Streets as well as Rotary Park pursuant to Section 4.3.1.8. The proposed infill is suitable with surrounding uses and will enhance the character of the area compared to the existing gravel parking area and unused church occupying the property. Site plan details relating to furnishings, bike racks, garbage, etc. have been shown conceptually on the Zoning sketch and will be dealt with in greater detail at the Site Plan stage. Accessibility has been considered through the inclusion of barrier-free dwelling units and ample barrier-free parking designed per the *Accessibility for Ontarians with Disabilities Act (AODA)*. The proposal complies with the Brockville Downtown and Waterfront Master Plan and Urban Design Strategy (DWMPUDS) which is addressed in the next section of this report. Therefore, the proposal complies with the urban design policies of Section 3.4.1 of the Official Plan.

The subject property is identified as being within a Transitional Area in the City's Downtown & Central Waterfront Area. In the past, a Zoning Amendment was completed permitting up to 11 storeys on the site. This proposal will see a significantly scaled down project of two, (2) three storey buildings that will be more compatible with the existing heights and densities of development in the surrounding neighbourhood. Though the site's longest frontage is on George Street, the property also fronts onto Clarissa Street and Gilmour Street. The proposed pedestrian entrances to the respective buildings will come via these frontages while vehicle access to the parking area will come off of George Street. As previously stated, Schedule 2 to the Official Plan permits up to 11 storeys on the R9-1 portion, but only 3 storeys are proposed.

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The three storeys will continue to the street edge to ensure continuity with surrounding roof lines. Subject to the completion of any required studies, the subject property conforms with the policies of Section 4.2.3 of the Official Plan.

## **BROCKVILLE DOWNTOWN & WATERFRONT MASTER PLAN & URBAN DESIGN STRATEGY**

The City's Downtown & Waterfront Master Plan & Urban Design Strategy was adopted by Council in December of 2009 to recommend strategies and guidelines relating to the Downtown and Central Waterfront Area and to update to the existing Waterfront Master Plan, 1991. The Downtown and Waterfront Master Plan encompasses the City's downtown, the central waterfront and the St. Lawrence Parks and Islands (See Figure 6). The subject property falls on the western boundary of the Downtown and Central Waterfront Area.



**Figure 6 – Location of Subject Property within  
The Downtown & Central Waterfront Area**

Section 2.1 of the Downtown & Waterfront Master Plan & Urban Design Strategy sets forth the goals and objectives of the Plan. Section 2.1.2 – Sustainable Downtown & Waterfront Goals lists the following goals:

- *To balance the use of the City's Islands.*



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- *To revitalize the downtown area.*
- *To protect and enhance the waterfront as an active and publicly accessible place, and to promote the redevelopment and future uses along the waterfront, while maintaining the existing built character.*
- *To ensure that new development and redevelopment in the DCVVA is subject to enhanced control/protection in order to maintain the unique built heritage/architectural identity of the area.*
- *To require that all new development has considered environmental impacts and is subject to sustainable and energy efficient development and design standards.*
- *To coordinate pedestrian, cyclist and motor vehicle traffic and circulation to and within the downtown and waterfront areas in order to ensure accessibility and to promote the viability of these areas.*
- *To strengthen the role of the City's downtown area as a multifunctional, economic centre, serving the immediate area as well as the greater region.*
- *To preserve and enhance the unique character and experience of the downtown area and to ensure that it remains vibrant and attractive to residents and visitors alike, for its culture, shopping, and attractions.*
- *To grow and promote the City's tourism industry, amenities, and events, with a focus on the downtown and waterfront areas.*
- *To develop incentive programs to ensure participation by the private sector in business development, investment, and downtown revitalization.*

The proposed development does not affect any of the City's islands nor is the property located along the waterfront area. The proposal will conform to the Land Use and Built Form policies of Section 4.2.3 of the Official Plan maintaining the character of the surrounding neighbourhood. Environmental impacts have been considered for the development with a Grading and Drainage design completed for the proposal to minimize off-site impacts. Lands designated Open Space and Environmental Protection are located to the west but are separated from the property by Rotary Park. Residents of the proposed buildings will have direct access to the Brock Trail which provides access to the waterfront parks and several other areas of the City. The introduction of 48 apartment dwelling units will significantly increase the population of the Downtown and Waterfront Area in proximity to various services and amenities provided within the Downtown. Given the property location on the border of the Downtown and Waterfront Area, the development will have little to no impact on the waterfront itself but will serve to increase



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density by re-developing an existing underutilized property and enhancing the built form of the area through the development of vacant parking lot lands. Built heritage of the area will not be affected by the development proposal.

The Downtown & Waterfront Master Plan & Urban Design Strategy further aims at creating a vibrant, healthy, liveable and sustainable community through the use of several urban design principles. These principles are found under Section 4.0:

- Identity -** *Create a unique identity and enhanced sense of place through all public realm measures by enhancing community character, establishing distinctive areas and streets (theming), continuity in the extension of the City's urban fabric, and development of a unique skyline while maintaining and enhancing important views.*
- Connectivity -** *Re-establish the relationship of the City to the waterfront and facilitate improved connectivity and accessibility between the downtown and central waterfront.*
- Heritage -** *Preserve and enhance the City's rich architectural and community heritage and character.*
- Permeability -** *Improve the network of public spaces, trails and access to the waterfront by minimizing physical barriers to movement and encouraging walkability*
- Diversity -** *Encourage places with a good range and mix of land uses that are easily adaptable.*
- Pedestrian Priority -** *Minimize conflicts between pedestrians, cyclists and vehicles by giving priority to pedestrians and cyclists in appropriate locations.*
- Continuity -** *Provide places where public and private spaces are easily distinguished while providing continuity and connectivity.*
- Legibility -** *Provide places that are easy to navigate and guide people to key locations, by emphasizing points of reference, landmarks, heritage buildings, etc.*
- Quality -** *Provide attractive and successful public spaces that incorporate sensitive lighting, signage, materials and furnishings, and integrate public art.*
- Sustainability -** *Provide places which promote the conservation of natural resources, are fiscally responsible and encourage social diversity and interaction.*



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**Views -** *Preserve and enhance important focal points, views and vistas of the waterfront.*

The subject property currently houses an old church with the west side of the property used as a gravel parking area. The church itself has become unused and surplus to the City's needs in the last few years and its location within the Downtown and Central Waterfront is not ideal. Furthermore, the existence of a gravel parking area which is rarely used or exploited to its potential does not create any sense of identity for the property in the context of the overall neighbourhood. Houses on the north side of George Street looking south have no view of the waterfront instead left with views of only a parking lot and the rear of a commercial building. The site currently does little to contribute to a vibrant, healthy, liveable and sustainable community.

The re-development of the subject lands at 137 George Street would see the removal of the church and the construction of two (2) 24 unit apartment buildings. While part of the site will still be used for parking, the introduction of two new residential buildings will help give the site identity and purpose once again and improve views for surrounding residences. Connectivity to the Downtown and Central Waterfront will be maintained by increasing permeability of the site and encouraging walkability through the extensive trail systems found close to the property. Diversity in land use will be achieved by introducing new higher density residential development in an area predominated by single houses and mixed-use developments. Having one access to the site with underground parking access coming from within the main parking area will promote pedestrian priority by focusing traffic movement within the property boundary and not having several access points throughout the site where pedestrian and vehicle interactions can occur. The introduction of the apartment buildings will improve the sustainability of not only the property but the entire surrounding area by increasing density within the Downtown and Central Waterfront while increasing opportunity and demand for local businesses.

Overall, the proposed development meets the goals of Section 2.1.2 and conforms to the urban design principles of Section 4.0 of the Downtown & Waterfront Master Plan & Urban Design Strategy.

#### **PROVINCIAL POLICY STATEMENT (PPS) 2014**

The Provincial Policy Statement (PPS, 2014), issued under the authority of Section 3 of the *Planning Act*, provides policy direction on matters of Provincial interest related to land use planning and development, and provides for appropriate development while protecting



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resources of Provincial interest. A number of policies should be considered with regard to the proposed development.

Section 1.0 of the Provincial Policy Statement sets forth policies for Building Strong Healthy Communities. Section 1.1 outlines Managing and Directing Land Use to Achieve Efficient and Resilient Development and Land Use Patterns, with Section 1.1.1 stating healthy, liveable and safe communities are sustained by:

- a) *promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;*
- b) *accommodating an appropriate range and mix of residential (including second units, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs;*
- c) *avoiding development and land use patterns which may cause environmental or public health and safety concerns;*
- d) *avoiding development and land use patterns that would prevent the efficient expansion of settlement areas in those areas which are adjacent or close to settlement areas;*
- e) *promoting cost-effective development patterns and standards to minimize land consumption and servicing costs;*
- f) *improving accessibility for persons with disabilities and older persons by identifying, preventing and removing land use barriers which restrict their full participation in society;*
- g) *ensuring that necessary infrastructure, electricity generation facilities and transmission and distribution systems, and public service facilities are or will be available to meet current and projected needs; and*
- h) *promoting development and land use patterns that conserve biodiversity and consider the impacts of a changing climate.*

The proposed development will promote efficient development and land use patterns by removing the unused church and gravel parking area on site and constructing two (2) new higher density apartment buildings. The new construction will complement the existing range of uses in the Downtown and Central Waterfront Area, described in Section 4.2.1 of the Official Plan as representing the broadest diversity of land uses. While removing the existing church will decrease the mix and range of uses, the church is currently vacant and unused, therefore it does not contribute to the range of uses at all within this area. The development would not



prohibit settlement area expansion, would minimize land consumption and servicing by utilizing a vacant, serviced lot, and would improve accessibility for persons with disabilities by designing a barrier-free development with several barrier-free units included within the proposed buildings. Environmental health, public health and safety and biodiversity will not be affected by the proposal.

**Section 1.1.3** of the PPS outlines policies for Settlement Areas, which include cities, towns, villages and hamlets. The policies of Section 1.1.3 that pertain to the proposed development are as follows:

- 1.1.3.1** *Settlement areas shall be the focus of growth and development, and their vitality and regeneration shall be promoted.*
  - 1.1.3.2** *Land use patterns within settlement areas shall be based on:*
    - a) densities and a mix of land uses which:*
      - 1. efficiently use land and resources;*
      - 2. are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion;*
      - 3. minimize negative impacts to air quality and climate change, and promote energy efficiency;*
      - 4. support active transportation;*
      - 5. are transit-supportive, where transit is planned, exists or may be developed; and*
      - 6. are freight-supportive; and*
    - b) a range of uses and opportunities for intensification and redevelopment in accordance with the criteria in policy 1.1.3.3, where this can be accommodated.*
  - 1.1.3.3** *Planning authorities shall identify appropriate locations and promote opportunities for intensification and redevelopment where this can be accommodated taking into account existing building stock or areas, including brownfield sites, and the availability of suitable existing or planned infrastructure and public service facilities required to accommodate projected needs.*
- Intensification and redevelopment shall be directed in accordance with the policies of Section 2: Wise Use and Management of Resources and Section 3: Protecting Public Health and Safety.*



- 1.1.3.4** *Appropriate development standards should be promoted which facilitate intensification, redevelopment and compact form, while avoiding or mitigating risks to public health and safety.*

The subject property is located within the Settlement Area of Brockville with the proposed development serving to revitalise the property and surrounding neighbourhood. The proposed high density apartment use will efficiently use land which is otherwise sitting unused currently, will draw upon current infrastructure and public facilities, will not negatively affect air quality or climate change, will support active transportation on-site and via nearby trail linkages, and will be transit-supportive. The City of Brockville Transit Map shows the property in close proximity to the Red Bus line with bus stops located at Perth Street and Church Street, about a block north of the property, and at King Street West and Gilmour Street, half a block south of the property. The proposal will involve the intensification of the property and the redevelopment of a brownfield site currently unused within the Downtown and Central Waterfront Area. Overall, the proposal will conform to the Settlement Area policies of Section 1.1.3 of the PPS.

**Section 1.4** of the PPS outlines policies for Housing which are as follows:

- 1.4.1** *To provide for an appropriate range and mix of housing types and densities required to meet projected requirements of current and future residents of the regional market area, planning authorities shall:*
- a) *maintain at all times the ability to accommodate residential growth for a minimum of 10 years through residential intensification and redevelopment and, if necessary, lands which are designated and available for residential development; and*
  - b) *maintain at all times where new development is to occur, land with servicing capacity sufficient to provide at least a three-year supply of residential units available through lands suitably zoned to facilitate residential intensification and redevelopment, and land in draft approved and registered plans.*
- 1.4.3** *Planning authorities shall provide for an appropriate range and mix of housing types and densities to meet projected requirements of current and future residents of the regional market area by:*
- a) *establishing and implementing minimum targets for the provision of housing which is affordable to low and moderate income households. However, where planning is conducted by an upper-tier municipality, the upper-tier municipality in consultation with the lower-tier municipalities may identify a*



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*higher target(s) which shall represent the minimum target(s) for these lower-tier municipalities;*

*b) permitting and facilitating:*

- 1. all forms of housing required to meet the social, health and well-being requirements of current and future residents, including special needs requirements; and*
- 2. all forms of residential intensification, including second units, and redevelopment in accordance with policy 1.1.3.3;*
- c) directing the development of new housing towards locations where appropriate levels of infrastructure and public service facilities are or will be available to support current and projected needs;*
- d) promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation and transit in areas where it exists or is to be developed; and*
- e) establishing development standards for residential intensification, redevelopment and new residential development which minimize the cost of housing and facilitate compact form, while maintaining appropriate levels of public health and safety.*

The proposed development will provide 48 residential apartment units at a higher density than much of the residential development in the neighbourhood which would be affordable for low and moderate income households. The density proposed will use the land more efficiently than the current church and parking area uses with active transportation supported by the various sidewalks and trail connections around the property.

**Section 1.5** of the Provincial Policy Statement (PPS) 2014 sets forth Public Spaces, Recreation, Parks Trails and Open Space policies stating healthy, active communities should be promoted by:

- a) planning public streets, spaces and facilities to be safe, meet the needs of pedestrians, foster social interaction and facilitate active transportation and community connectivity;*
- b) planning and providing for a full range and equitable distribution of publicly-accessible built and natural settings for recreation, including facilities, parklands, public spaces, open space areas, trails and linkages, and, where practical, water-based resources;*



- c) providing opportunities for public access to shorelines; and
- d) recognizing provincial parks, conservation reserves, and other protected areas, and minimizing negative impacts on these areas.

The overall development has been designed to minimize the number of connections to the open street for vehicles to access the site in order to meet the needs of pedestrians and ensure their safety. One access off of George Street is proposed with access to underground parking coming from the central parking area, thus keeping the Clarissa and Gilmour Street frontages clear of vehicles accessing and egressing the site, save for the garbage access for the west side building. The property is in close proximity to Rotary Park offering several recreational amenities, park and open spaces, trail linkages all within a short walking distance. The Brock Trail which travels through Rotary Park provides linkages in several directions including providing access to the waterfront and shoreline areas. The development recognizes the existence of Environmental Protection areas along portions of the Brock Trail close to the property and will not negatively impact these features. Overall, the development will provide future residents with several recreational amenities, parklands, trails and linkages to support active, healthy community life.

**Section 1.6** of the Provincial Policy Statement (PPS) 2014 sets forth policies for Infrastructure and Public Service Facilities, with Sewage, Water and Stormwater policies found under Section 1.6.6. The following policies of Section 1.6.6 pertain to the proposed development:

**1.6.6.1** *Planning for sewage and water services shall:*

- a) *direct and accommodate expected growth or development in a manner that promotes the efficient use and optimization of existing:*
  1. *municipal sewage services and municipal water services; and*
  2. *private communal sewage services and private communal water services, where municipal sewage services and municipal water services are not available;*
- b) *ensure that these systems are provided in a manner that:*
  1. *can be sustained by the water resources upon which such services rely;*
  2. *is feasible, financially viable and complies with all regulatory requirements; and*
  3. *protects human health and the natural environment;*



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- c) promote water conservation and water use efficiency;
- d) integrate servicing and land use considerations at all stages of the planning process; and
- e) be in accordance with the servicing hierarchy outlined through policies 1.6.6.2, 1.6.6.3, 1.6.6.4 and 1.6.6.5.

**1.6.6.2** Municipal sewage services and municipal water services are the preferred form of servicing for settlement areas. Intensification and redevelopment within settlement areas on existing municipal sewage services and municipal water services should be promoted, wherever feasible.

**1.6.6.7** Planning for stormwater management shall:

- a) minimize, or, where possible, prevent increases in contaminant loads;
- b) minimize changes in water balance and erosion;
- c) not increase risks to human health and safety and property damage;
- d) maximize the extent and function of vegetative and pervious surfaces; and
- e) promote stormwater management best practices, including stormwater attenuation and re-use, and low impact development.

The property is located within the City of Brockville and is on full municipal sewage and water services which are preferred within Settlement Areas. The proposed intensification and redevelopment would occur on these existing services. A grading plan and servicing plan have been prepared for the development which shows the existing watermain traveling along George Street with sanitary sewers located along George and Gilmour Streets. A single watermain connection is proposed off of George Street which will split on-site servicing both proposed buildings. Similarly, a single sanitary line for sewage will come off of George Street and will split on-site servicing both buildings. With regards to stormwater management a stormwater main with a catch basin are proposed on-site which will drain into the existing storm sewers located along George Street. Retaining walls will be placed on-site to minimize health and safety impacts and the potential for property damage. The engineering plans and reports will be submitted as part of the site plan application.

**Section 2.0** of the Provincial Policy Statement (PPS) 2014 deals with the Wise Use and Management of Resources aimed at protecting natural heritage, water, agriculture, mineral cultural heritage and archeological resources. The subject property is a lot within the City of Brockville and does not contain any natural heritage and water resources that would be



affected by development. There are no agricultural areas or designations on or in proximity to the property for which the development would hinder. No minerals, petroleum or aggregate resources are identified and no related uses such as pits, quarries or mines are located in proximity to the property. The existing church is not classified as a cultural or heritage use and no archeological areas of significance are located close to the property. Given the property is devoid of any natural heritage or other resources it is not subject to the provisions or policies found under Section 2.0 of the PPS.

**Section 3.0** of the Provincial Policy Statement (PPS) 2014 sets forth policies for the protection of public health and safety by directing development away from natural or human-made hazards. The subject property does not contain any hazardous lands adjacent to waterbodies or rivers, there are no beach hazards present, and no areas where flooding may occur. Additionally, there are no human-made hazards in the form of mines, oil and gas hazards, mineral aggregate and mining operations or petroleum resource operations.

Overall, the development proposal of two (2) 24 unit apartment buildings complies with all necessary policies and provisions of the Provincial Policy Statement (PPS) 2014.

## SUMMARY

The applicants are seeking a zoning by-law amendment for the property located at 137 George Street to facilitate the removal of the existing church and construct two (2) 24 unit apartment buildings with a central parking area. The proposed zoning amendment will seek to re-zone the property from Residential Ninth Density Eighth Density Exception (R8-X) to permit the development. The east side of the property is permitted for up to 5 storeys of development per the Zoning By-Law Schedule B with the west side of the property approved for up to 11 storeys per the Official Plan Schedule B. The proposal is for two (2) three storey apartment buildings. Apartment buildings are permitted on the property pursuant to Section 4.2.2.2 of the Official Plan and the development will conform to the Land Use & Built Form Policies of Section 4.2.3. Additionally, the development complies with both the Provincial Policy Statement (PPS) 2014 and the City's Downtown & Waterfront Master Plan & Urban Design Strategy. Site Plan Control Approval will be sought once the appropriate zoning is in place.



#### SUPPLEMENTARY INFORMATION

ZanderPlan staff confirmed with the City's Director of Operations that a traffic impact study is not required to support the proposal. In addition, ZanderPlan staff confirmed that there are no Sourcewater Protection concerns related to this development proposal.

The application form has been revised to address the comments raised by City Planning staff on December 21, 2017, and the Amendment request has been revised to reflect an R8-x zone. Bicycle parking areas have been added to the site sketch, and the garbage enclosure area has been revised to be compliant with the Zoning By-law. Additional site-specific requests have been added to permit parking in the exterior side yard and to remove the requirement for a children's play area. It is notable that this is a sketch only, and additional details including landscaping will be added at the Site Plan Control stage.

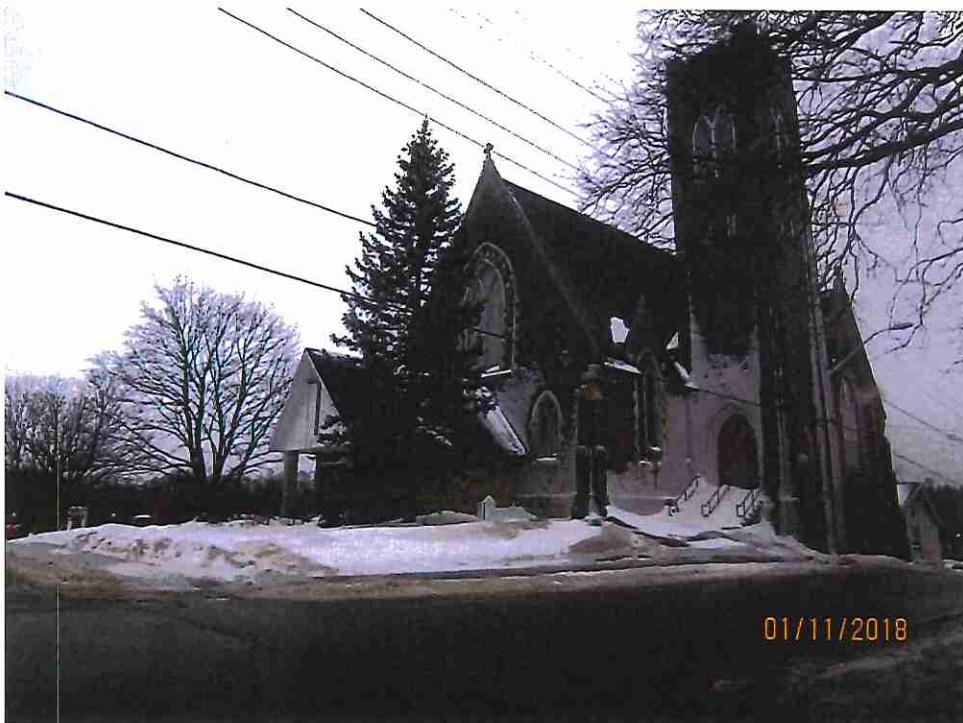
We acknowledge that a *Planning Act* application will be required to consolidate the previously severed lots, and will work with the solicitor and City staff to process this as soon as possible.

Should you have any further questions please do not hesitate to contact the undersigned.

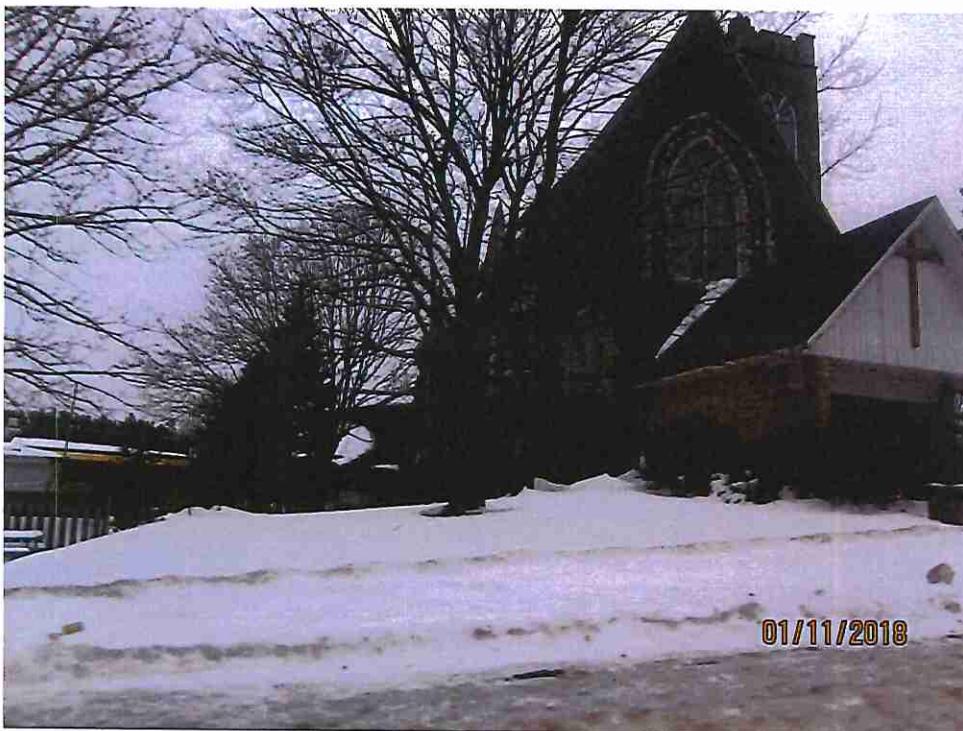
Sincerely,

A handwritten signature in blue ink that reads "Tracy Zander".

Tracy Zander, M.Pl., MCIP, RPP

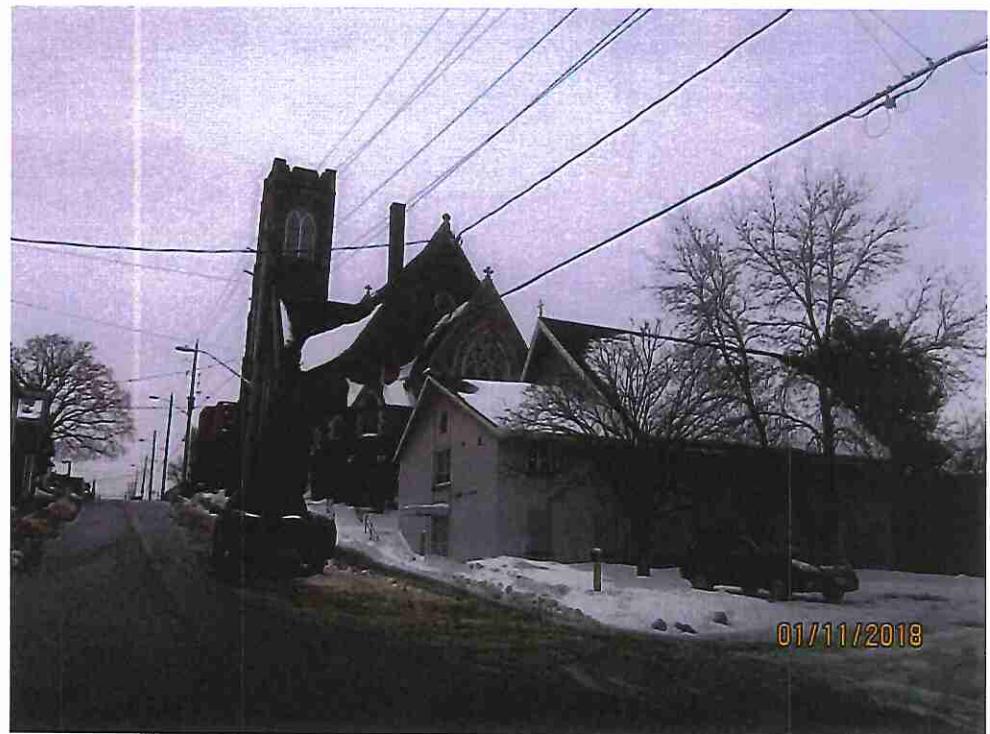


01/11/2018



01/11/2018

## SCHEDULE "C" TO REPORT 2018-012-02



## SCHEDULE "D" TO REPORT 2018-012-02



**CITY OF BROCKVILLE**  
**PLANNING DEPARTMENT - BUILDING SERVICES DIVISION**

### INTEROFFICE MEMORANDUM

---

**TO:** ANDREW MCGINNIS – PLANNER II

**COPY:**

**FROM:** BRENT CASKENETTE – CHIEF BUILDING OFFICIAL

**SUBJECT:** ZONING BY-LAW AMENDMENT– FILE D14-027  
137 GEORGE ST AND TRINITY CHURCH

**DATE:** JANUARY 19, 2018

---

Andrew:

Our review of the proposal for the above noted subject site development has been completed and at this time would advise of the following:

- A Building Permit will be required for each new building.
- A Demolition Permit will be required for all existing structures.
- Per OBC, separate services shall be provided for each lot and shall not cross property boundaries and shall be connected to municipal services. Currently two separate properties.

No additional concerns at this time. A complete review will be required at time of application for a building permit.

Regards,

A handwritten signature in black ink, appearing to read "Brent Caskenette".

---

BRENT B. CASKENETTE – CHIEF BUILDING OFFICIAL

City of Brockville, One King Street West, P.O. Box 5000, Brockville, ON K6V 7A5  
Tel. (613) 342-8772, ext. 441 – Fax (613) 498-2793 – Email: [bcaskenette@brockville.com](mailto:bcaskenette@brockville.com)

## Dayna Golledge

---

**From:** Conal Cosgrove  
**Sent:** January 12, 2018 3:53 PM  
**To:** Andrew McGinnis  
**Cc:** Dayna Golledge; Steve Allen  
**Subject:** RE: Memo - Notice for Zoning Amendment Application - File D14-027

Andrew

The Operations Department has no comments with respect to this application. A traffic impact analysis was completed for a previous application which proposed 94 units. As this application is for 48 units, additional analysis is not required.

Conal

---

**From:** Dayna Golledge  
**Sent:** January 11, 2018 12:36 PM  
**To:** Conal Cosgrove; Peter Raabe; Steve Allen; Scott Fraser; Greg Healy; Brent Caskenette  
**Subject:** Memo - Notice for Zoning Amendment Application - File D14-027

Good Afternoon,

Attached you will find the notice for Zoning Amendment Application **D14-027** going to The Economic Development Planning Committee on **February 6, 2018**.

*Please reply with any comments regarding these applications by no later than January 21, 2018.*

If you have any specific questions in relation to these applications, please contact Andrew McGinnis, Planner II, at 613-342-8772, extension 4421;  
or email to: [amcginnis@brockville.com](mailto:amcginnis@brockville.com)

Thank you,

### Dayna Golledge

Administrative Coordinator – Planning Department, City of Brockville  
Mail: One King Street West, P.O.Box 5000, Brockville, ON K6V 7A5  
Tel. 613.342.8772, ext. 4463  
Fax. 613.498.2793  
Email: [planning@brockville.com](mailto:planning@brockville.com)



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# Memorandum



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File No. D14-027

Date: January 26, 2018

To: Andrew McGinnis  
Planner

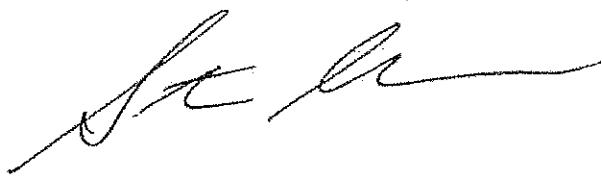
From: Steven Allen, C.E.T., M.M.  
Supervisor of Engineering

Subject: Application for Rezoning for 137 George Street – Zanderplan – Tracy Zander, City of Brockville.

---

The Environmental Services Department has reviewed the request to change the current zoning of 137 George Street from (MD2) and (R9-1) to (R-8) – Multiple Residential Special Exception Zone to facilitate the development of (2) 24 unit apartment buildings with a common parking area between. The existing church will be removed to allow for the redevelopment. Environmental Services are not opposed to the application.

Steve

A handwritten signature in black ink, appearing to read "SA".

SEA:sa

## Dayna Golledge

---

**From:** Sandra MacDonald  
**Sent:** January 12, 2018 2:19 PM  
**To:** Dayna Golledge  
**Subject:** RE: Memo - Notice for Zoning Amendment Application - File D14-027

The Clerk's Office has no comments.

Sandi

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**From:** Dayna Golledge  
**Sent:** January-11-18 12:36 PM  
**To:** Conal Cosgrove; Peter Raabe; Steve Allen; Scott Fraser; Greg Healy; Brent Caskenette  
**Subject:** Memo - Notice for Zoning Amendment Application - File D14-027

Good Afternoon,

Attached you will find the notice for Zoning Amendment Application **D14-027** going to The Economic Development Planning Committee on **February 6, 2018**.

*Please reply with any comments regarding these applications by no later than January 21, 2018.*

If you have any specific questions in relation to these applications, please contact Andrew McGinnis, Planner II, at 613-342-8772, extension 4421;  
or email to: [amcginnis@brockville.com](mailto:amcginnis@brockville.com)

Thank you,

### Dayna Golledge

Administrative Coordinator – Planning Department, City of Brockville  
Mail: One King Street West, P.O.Box 5000, Brockville, ON K6V 7A5  
Tel. 613.342.8772, ext. 4463  
Fax. 613.498.2793  
Email: [planning@brockville.com](mailto:planning@brockville.com)



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**CERTIFICATE OF ZONING COMPLIANCE**  
**REVIEW FORM**  
**FIRE DEPARTMENT**

Date: January 18, 2018

Address of Subject Property: 137 George Street & Trinity Church

FIRE REQUIREMENTS	REQUIRED	NOT REQUIRED	
Site Inspection	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Fire Code Updates	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	

**Fire comments:**

1. The Fire Department has no concerns with the proposed Zoning Amendment for the above address.
2. This Department wishes to be circulated for the building permit.

Fire Review Signature:

  
Greg Healy, Chief Fire Prevention Officer

## Andrew McGinnis

---

**From:** Mike Dakin <MDakin@crca.ca>  
**Sent:** January-19-18 11:51 AM  
**To:** Andrew McGinnis  
**Cc:** Dayna Golledge; 'Tracy Zander (tracy@zanderplan.com)'; Sean Czaharynski  
**Subject:** D14-027 (137 George St) - CRCA Comments

Andrew,

CRCA staff have received the notice for zoning amendment application D14-027 for the two apartment buildings proposed at 137 George Street. Our primary interests for the proposed development are the provision of adequate on-site stormwater management and adherence to source water protection policies.

### *Stormwater Management*

Staff have completed a preliminary review of the Servicing and Stormwater Management Report (Robinson Land Development, November 2017) and are satisfied, at this time, with the general stormwater management approach for the purposes of the zoning by-law amendment. The approach, as detailed in the report, is consistent with CRCA stormwater management guidelines. Detailed review of the report and SWM design will be completed as part of the CRCA's review at the Site Plan Control stage. We will provide additional comments at that time.

### *Source Water Protection*

The location of the proposed two apartment buildings at 137 George Street in the City of Brockville is within IPZ-2 of the Brockville Intake Protection Zone. A summary of the relevant policies from the Cataraqui Source Protection Plan (the Plan) can be found online at: <http://www.cleanwatercataraqui.ca/maps/Clickable%20Maps/Fact%20Sheets/IPZ2-Brockville-Municipality.pdf>. In reviewing these policies, staff have determined that there are no significant drinking water threats connected with the proposed development (i.e. application of pesticides, storage/application of agricultural source material and use of land for livestock) requiring additional risk management measures. As noted, the property is within a highly vulnerable aquifer, however, the proposal does not include activities that would require additional risk management measures.

In conclusion, staff have no objections with approval of zoning amendment application D14-027 based on our review of natural hazards, natural heritage, and water quality and quantity protection policies. Please inform this office of any decisions made by the City with regard to this application.

Please contact me should you have any questions.

Best regards,

Mike



*Michael Dakin*

Resource Planner

**Cataraqui Region Conservation Authority**

1641 Perth Road, PO Box 160, Glenburnie ON, K0H 1S0

Phone: (613) 546-4228 ext. 228 - Fax: (613) 547-6474

Toll Free for Area code (613): 1-877-956-2722

Visit us on the web: [www.crca.ca](http://www.crca.ca)

[www.cleanwatercataraqui.ca](http://www.cleanwatercataraqui.ca)

[www.cataraquitrail.ca](http://www.cataraquitrail.ca)

Bell - Jeremy Godfrey

From: Godfrey, Jeremy <jeremy.godfrey@bell.ca>  
Sent: January 11, 2018 3:12 PM  
To: Dayna Golledge  
Subject: RE: Memo - Notice for Zoning Amendment Application - File D14-027  
Attachments: Memo - 137 George Street - File D14-027.pdf

Hello Dayna,

Bell would like to comment that we have a live cable into the church that will need to be disconnected prior to any demolition. Should this proceed please provide my contact information to the developer to make these arrangements as well as to plan for servicing the new apartments.

Regards

Jeremy Godfrey  
Specialist - Network Provisioning  
T : 613 345-3237 M : 613 340-4887

From: Dayna Golledge [mailto:[DGolledge@brockville.com](mailto:DGolledge@brockville.com)]  
Sent: Thursday, January 11, 2018 12:36 PM  
To: Conal Cosgrove <[ccosgrove@brockville.com](mailto:ccosgrove@brockville.com)>; Peter Raabe <[praabe@brockville.com](mailto:praabe@brockville.com)>;  
Steve Allen <[sallen@brockville.com](mailto:sallen@brockville.com)>; Scott Fraser <[sfraser@brockvillepolice.com](mailto:sfraser@brockvillepolice.com)>; Greg Healy <[ghealy@brockville.com](mailto:ghealy@brockville.com)>; Brent Caskenette <[bcaskenette@brockville.com](mailto:bcaskenette@brockville.com)>  
Subject: Memo - Notice for Zoning Amendment Application - File D14-027

Good Afternoon,  
Attached you will find the notice for Zoning Amendment Application D14-027 going to The Economic Development Planning Committee on February 6, 2018.  
Please reply with any comments regarding these applications by no later than January 21, 2018.

If you have any specific questions in relation to these applications, please contact Andrew McGinnis,  
Planner II, at 613-342-8772, extension 4421;  
or email to: [amcginnis@brockville.com](mailto:amcginnis@brockville.com)

Thank you,

Dayna Golledge  
Administrative Coordinator - Planning Department, City of Brockville  
Mail: One King Street West, P.O.Box 5000, Brockville, ON K6V 7A5  
Tel. 613.342.8772, ext. 4463  
Fax. 613.498.2793  
Email: [planning@brockville.com](mailto:planning@brockville.com)

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Enbridge Gas Distribution  
500 Consumers Road  
North York, Ontario M2J 1P8  
Canada

January 22, 2018

Andrew McGinnis  
Planner II  
City of Brockville  
Planning Department  
One King Street West PO Box 5000  
Brockville, ON K6V 7A5

Dear Andrew McGinnis,

Re: Zoning By-law Amendment  
137 George Street & Trinity Church  
City of Brockville  
File No.: D14-027

Enbridge Gas Distribution does not object to the proposed application(s).

Enbridge Gas Distribution reserves the right to amend or remove development conditions.

Sincerely,

A handwritten signature in black ink that reads "Alice Coleman".

**Alice Coleman**  
Municipal Planning Coordinator  
Long Range Distribution Planning

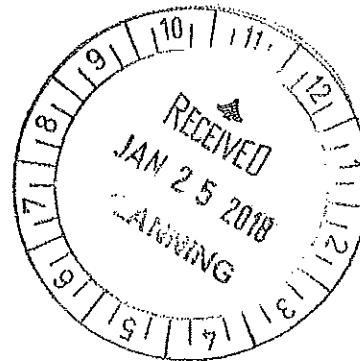
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**ENBRIDGE GAS DISTRIBUTION**  
TEL: 416-495-5386  
[MunicipalPlanning@enbridge.com](mailto:MunicipalPlanning@enbridge.com)  
500 Consumers Rd, North York, ON, M2J 1P8  
[enbridgegas.com](http://enbridgegas.com)  
Integrity. Safety. Respect.

AC/jh

Director of Planning  
City Hall  
1 King Street West  
P.O. Box 5000, Brockville, ON  
K6V 7A5

D.C.M van Vliet & T. B. V. Wiegert  
[REDACTED]



Brockville, 17 January 2018

**Subject:** The proposed change of R9-1 and MD-2 zone to R8-Multiple Residential Special Exception Zone

Dear Sir/Madam,

We have received an invitation to the Public Meeting regarding the change in zoning at 137 George Street, better known as the Trinity Church location.

We **oppose** the proposal to build two rental apartment buildings at this location for many reasons, and hope the location can be used for other purposes which more reflect the needs of the city and the public. Please read our arguments below:

- The current infrastructure around 137 George Street does not support an additional 48 rental units. Traffic will likely dramatically increase, which poses a danger to children frequenting the Brockville Gymnastics Academy and the Rotary Park.
- The 'face' of downtown Brockville will deteriorate with the addition of more non-picturesque apartment buildings. We feel we can comfortably state that many people living in this city are frustrated with the downtown (rental) apartment buildings we have to date. The apartments along Water street come to mind, for example. Rental properties should be moved uptown so that we may preserve as much as possible the historic look of downtown Brockville.
- We believe it to be a matter of time before Leon's will close its doors. Once they decide to close the location and if the building were to be taken down, we are worried that even more apartment buildings will arise, further deteriorating the southwest entry to downtown Brockville. Also, if condominiums were to be built at the current Leon's location, rental properties next door would drive the prices down.
- The current location is a public location, and it should stay so. Our proposal is that we should build a nice park. Call it the 'Trinity Park' for example. Or leave the area vacant for better proposals that fit our beautiful (for now) downtown core of this fantastic town.

We hope to be able to attend the hearing on February 6th. If not, we hope that our remarks will be added to the discussion somehow.

Sincerely,

Two handwritten signatures, one above the other, in black ink.

David van Vliet & Theresa van Vliet Wiegert