

5035 Coliseum Property LLC | 5035 Coliseum Los Angeles, California

This building is designed as a Core and Shell Building: separate building, electrical, and mechanical permits are required for all future commercial tenant space build-outs not detailed on these plans

5035 W. Coliseum

5035 W. Coliseum Los Angeles, CA 90016

SYMBOLS
SYMBOL **DESCRIPTION**
SYMBOL **DESCRIPTION**
DETAIL REFERENCE
BUILDING AND WALL SECTIONS
SYMBOL
DESCRIPTION
DETAIL NUMBER
sheet number
SUBJECT POINTER
SYMBOL
DESCRIPTION
CUT PLANE
sheet number
KEYNOTE
CEILING HEIGHT
SYMBOL
DESCRIPTION
ELEVATION NUMBER
sheet number
ELEVATION NUMBER
ELEVATION NUMBER
SYMBOL
DESCRIPTION
10'-0"
HEIGHT A.F.F. U.N.O.
SYMBOL
DESCRIPTION
WALL TYPE
ACCESSORY TYPE
SYMBOL
DESCRIPTION
DOOR TYPE
WINDOW TYPE
SYMBOL
DESCRIPTION
PARCEL 1
PARCEL 2
PARCEL 3
PARCEL 4
SYMBOL
DESCRIPTION
PARCEL 5
PARCEL 6
PARCEL 7
PARCEL 8
SYMBOL
DESCRIPTION
PARCEL 9
PARCEL 10
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GENERAL DEMOLITION NOTES

1. CONTRACTOR SHALL EXECUTE THE DEMOLITION WORK AND SHALL REMOVE ALL DEBRIS BY METHODS TO AVOID IMPACTING THE OPERATION OF THE FACILITY. PRIOR TO BEGINNING OF DEMOLITION, THE CONTRACTOR SHALL NOTIFY THE OWNER IN ADVANCE AND OBTAIN PERMISSION FROM THE OWNER TO COMMENCE WORKING IN A SPECIFIC AREA.

DEMOLITION DRAWINGS DO NOT SHOW OR CALL OUT EVERY ITEM FOR DEMOLITION OR REMOVAL BUT INDICATE A SCHEMATIC SENSE OF THE SCOPE OF WORK. CONTRACTOR SHALL VERIFY EXTENT OF ALL DEMOLITION REQUIRED TO PROPERLY COMPLETE WORK SHOWN IN THE DOCUMENTS. SITE VISITATION IS IMPORTANT FOR AN UNDERSTANDING OF THE DEMOLITION SCOPE. REFER TO NEW ARCHITECTURAL, STRUCTURAL, PLUMBING, HVAC, ELECTRICAL, FOOD SERVICE AND OTHER DRAWINGS AS REQUIRED FOR LOCATION OF NEW WORK TO DETERMINE EXTENT OF DEMOLITION.
2. SEE SPECIFICATION SECTIONS 'SELECTIVE DEMOLITION' 'AND/OR CUTTING AND PATCHING' FOR MORE INFORMATION.
3. CONTRACTOR SHALL COORDINATE ALL NON-ATTACHED ITEMS, SUCH AS FURNISHINGS, MOBILE EQUIPMENT, DESKS, TABLES, CHAIRS, ETC., WITH THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF WORK. ARTICLES HAVING VALUE INCLUDING FURNISHINGS, FIXTURES, EQUIPMENT, ETC. SHALL BE RETURNED TO THE OWNER OR OWNER'S REPRESENTATIVE FOR DISPOSITION.
4. CONTRACTOR SHALL EXECUTE THE DEMOLITION WORK AND REMOVE ALL DEBRIS WITHOUT DAMAGING OR SOILING EXISTING ADJACENT EQUIPMENT, STRUCTURES, AND FINISHES THAT ARE TO REMAIN. ALL ADJACENT STRUCTURES AND FINISHES THAT ARE DAMAGED OR SOILED DUE TO DEMOLITION, THE REMOVAL OF DEBRIS, OR NEW CONSTRUCTION SHALL BE REPAIRED AS PART OF THIS GENERAL CONTRACT.
5. CONTRACTOR SHALL EXECUTE THE DEMOLITION WORK BY METHODS TO AVOID IMPACTING THE NEW CONSTRUCTION. ALL NEW CONSTRUCTION THAT IS DAMAGED DUE TO DEMOLITION WORK SHALL BE REPAIRED AS PART OF THIS GENERAL CONTRACT.
6. **HAZARDOUS MATERIALS:** THE OWNER, IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS, ACCOMPLISHED A GOOD FAITH HAZARDOUS MATERIALS INSPECTION. SEE THE HAZARDOUS MATERIALS INSPECTION REPORT AND REMOVAL SPECIFICATIONS FOR ADDITIONAL INFORMATION. BEFORE PROCEEDING, THE CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR INFORMATION REGARDING HAZARDOUS MATERIALS REMOVAL & MITIGATION. NOTIFY ARCHITECT IF KNOWN OR SUSPECTED HAZARDOUS MATERIAL IS ENCOUNTERED.
7. BEFORE PROCEEDING, THE CONTRACTOR SHALL VERIFY THAT THE REMOVAL OF EXISTING BUILDING COMPONENT(S) DOES NOT REQUIRE SHORING AND/OR BRACING. WHERE DEMOLITION WORK NECESSITATES THE PROVISION OF SHORING AND/OR BRACING, THE CONTRACTOR SHALL PROVIDE THE NECESSARY SHORING AND BRACING AS PART OF THE DEMOLITION SCOPE OF WORK.
8. WHERE NECESSARY CONTRACTOR SHALL CUT, MOVE, OR REMOVE ITEMS TO PROVIDE ACCESS FOR DEMOLITION WORK AND NEW CONSTRUCTION. SUCH ITEMS INCLUDE BUT ARE NOT LIMITED TO FURNISHINGS, EQUIPMENT, UTILITIES, AND DEBRIS.
9. **FOR DEMOLITION OF PIPING AND RELATED ITEMS FOR PLUMBING :** WHERE NECESSARY AND/OR INDICATED IN PLANS CONTRACTOR SHALL REMOVE ALL EXISTING PLUMBING FIXTURES, ALL RELATED FITTINGS AND PIPING CONNECTIONS. CUT OFF AND CAP PIPING AS REQUIRED TO BE FLUSH WITH THE ADJACENT SURFACE. WHERE PIPES ARE TO BE REMOVED BELOW FLOOR, REPAIR OPENING LEFT IN FLOOR, AS REQUIRED, TO MATCH THE EXISTING ADJACENT CONSTRUCTION AND FINISH. PROVIDE CLEAN LEVEL SURFACES READY FOR NEW CONSTRUCTION. REFER TO PLUMBING DEMOLITION SHEETS AND NOTES FOR MORE IN FORMATION OF DEMOLITION OF ASSOCIATED ITEMS.
10. **FOR DEMOLITION OF DUCTWORK AND RELATED ITEMS FOR MECHANICAL:** WHERE NECESSARY AND/OR INDICATED IN PLANS CONTRACTOR SHALL REMOVE ALL EXISTING H.V.A.C. EQUIPMENT INCLUDING DUCT WORK, HANGERS, GRILLS, DIFFUSERS, THERMOSTATS AND CONTROLS. REMOVE AS REQUIRED TO BE FLUSH WITH THE ADJACENT SURFACE. CUT OFF AND CAP DUCTING AS REQUIRED TO BE FLUSH WITH THE ADJACENT SURFACE. REPAIR ADJACENT SURFACES TO MATCH THE EXISTING ADJACENT CONSTRUCTION AND FINISH. PROVIDE CLEAN LEVEL SURFACES READY FOR NEW CONSTRUCTION. REFER TO MECHANICAL DEMOLITION SHEETS AND NOTES FOR MORE IN FORMATION OF DEMOLITION OF ASSOCIATED ITEMS.
11. **FOR DEMOLITION OF EXISTING CONSTRUCTION AND STRUCTURE:** WHERE NECESSARY AND/OR INDICATED IN PLANS, CONTRACTOR SHALL REMOVE ALL EXISTING CONSTRUCTION, STRUCTURE, FASTENERS, AND ANCHORAGE. REMOVE AS REQUIRED TO BE FLUSH WITH THE ADJACENT SURFACE . REPAIR ADJACENT SURFACES, AS REQUIRED, TO MATCH THE EXISTING ADJACENT CONSTRUCTION, FIRE RATING, AND FINISH. PROVIDE CLEAN LEVEL SURFACES READY FOR NEW CONSTRUCTION.

REFER TO STRUCTURAL DEMOLITION SHEETS AND NOTES FOR MORE IN FORMATION OF DEMOLITION OF ASSOCIATED ITEMS. REMOVE PORTIONS OF CONCRETE SLAB TO INSTALL NEW CONCRETE FOOTINGS, UTILITIES, ETC. UNLESS NOTED OTHERWISE, WORK SHALL INCLUDE CONCRETE FLOOR REPLACEMENT, INCLUDING REINFORCEMENT AND LEVELING TO MATCH EXISTING.
12. **FOR DEMOLITION OF WIRING AND RELATED ITEMS FOR ELECTRICAL:** WHERE NECESSARY AND/OR INDICATED IN PLANS CONTRACTOR SHALL REMOVE ALL EXISTING ELECTRICAL EQUIPMENT INCLUDING CONDUIT, BOXES, WIRE CABLE, SUPPORTS, WIRING DEVICES, SAFETY SWITCHES, FIRE ALARM EQUIPMENT, SPEAKERS, TELEPHONE OUTLETS, AND LIGHTING FIXTURES. REMOVE AS REQUIRED TO BE FLUSH WITH THE ADJACENT SURFACE. REPAIR ADJACENT SURFACES, AS REQUIRED, TO MATCH THE EXISTING ADJACENT CONSTRUCTION AND FINISH. PROVIDE CLEAN LEVEL SURFACES READY FOR NEW CONSTRUCTION. ALL ABANDONED WIRING AND CONDUIT TO REMOVED TO THE POWER SOURCE. TURN ALL LIGHTING FIXTURES AND FIRE ALARM EQUIPMENT OVER TO OWNER OR OWNER'S REPRESENTATIVE FOR DISPOSITION. EXISTING WIRING, CONDUIT, ETC, OR PORTIONS THEREOF, REMOVED DURING DEMOLITION, SHALL NOT BE REUSED UNLESS SHOWN OTHERWISE. REFER TO ELECTRICAL DEMOLITION SHEETS AND NOTES FOR MORE IN FORMATION OF DEMOLITION OF ASSOCIATED ITEMS.
13. **FOR DEMOLITION OF PARTITIONS:** WHERE NECESSARY AND/OR INDICATED IN PLANS , THE CONTRACTOR SHALL REMOVE EXISTING PARTITION, INCLUDING ALL ELECTRICAL EQUIPMENT, CONDUIT, BOXES, WIRE CABLE, SUPPORTS, WIRING DEVICES, SAFETY SWITCHES, FIRE ALARM EQUIPMENT, SPEAKERS, OUTLETS, H.V.A.C CONTROLS, PIPING, VENTING, ANCHOR BOLTS, ETC. REPAIR ADJACENT WALLS, FLOOR, AND CEILINGS AS REQUIRED TO MATCH THE EXISTING ADJACENT CONSTRUCTION AND FINISH. PROVIDE CLEAN LEVEL SURFACES READY FOR NEW CONSTRUCTION.
14. **FOR DEMOLITION OF WALL FINISHES:** WHERE NECESSARY AND/OR INDICATED IN PLANS , THE CONTRACTOR SHALL REMOVE EXISTING PARTITION OR EXTERIOR WALL FINISHES. REMOVE FINISHES FROM EXISTING STUDS AS REQUIRED TO INSTALL NEW SEISMIC BRACING/SHEATHING. REMOVE ALL EXTERIOR FINISHES AND SIDING DOWN TO THE EXISTING SHEATHING WHEREFINISH REMOVAL SHOWN. ON PLANS. REPAIR ADJACENT WALLS, FLOOR, AND CEILINGS AS REQUIRED TO MATCH THE EXISTING ADJACENT CONSTRUCTION AND FINISH. PROVIDE CLEAN LEVEL SURFACES READY FOR NEW CONSTRUCTION.
15. **FOR DEMOLITION OF DOOR & WINDOW ASSEMBLIES:** WHERE NECESSARY AND/OR INDICATED IN PLANS , THE CONTRACTOR SHALL REMOVE EXISTING DOOR & WINDOW ASSEMBLIES INCLUDING ANY AND/OR ALL FRAMES, TRIM, STRAPS, ANCHORS, HARDWARE, GLAZING, AND THRESHOLDS. HEADERS MAY BE REMOVED OR REMAIN IN PLACE, DEPENDING ON NEW WORK REQUIREMENTS. REPAIR ADJACENT WALLS AND FLOORS AS REQUIRED TO MATCH THE EXISTING ADJACENT CONSTRUCTION AND FINISH. PROVIDE CLEAN LEVEL SURFACES READY FOR NEW CONSTRUCTION.
16. **FOR DEMOLITION OF FLOOR AND WALL CERAMIC TILE:** WHERE NECESSARY AND/OR INDICATED IN PLANS, THE CONTRACTOR SHALL REMOVE EXISTING FLOOR AND WALL CERAMIC TILES. REMOVE SETTING BEDS AS REQUIRED TO BE FLUSH WITH THE ADJACENT SURFACE. REPAIR ADJACENT SURFACES, AS REQUIRED, TO MATCH THE EXISTING ADJACENT CONSTRUCTION AND FINISH. PROVIDE CLEAN LEVEL SURFACES READY FOR NEW CONSTRUCTION.
17. **FOR DEMOLITION OF FLOOR COVERINGS:** WHERE NECESSARY AND/OR INDICATED IN PLANS , THE CONTRACTOR SHALL REMOVE FLOOR COVERINGS AND WALL BASE INCLUDING ADHESIVES, GROUTING BEDS, FASTENERS, TRANSITION STRIPS, ETC., REPAIR ADJACENT SURFACES, AS REQUIRED, TO MATCH THE EXISTING ADJACENT CONSTRUCTION AND FINISH. PROVIDE CLEAN LEVEL SURFACES READY FOR NEW CONSTRUCTION.
18. **FOR DEMOLITION OF CEILINGS:** WHERE NECESSARY AND/OR INDICATED IN PLANS, THE CONTRACTOR SHALL REMOVE EXISTING ACOUSTICAL TILES OR GYP. BOARD CEILINGS, CEILING SUPPORT SYSTEMS, LIGHT FIXTURES, GRILLES, DIFFUSERS, EXIT SIGNS, ELECTRICAL COMMUNICATIONS DEVICES, INSULATION, AND OTHER CEILING APPARATACIES. PREPARE ROOM FOR NEW CEILING ASSEMBLY. REPAIR ADJACENT SURFACES, AS REQUIRED, TO MATCH THE EXISTING ADJACENT CONSTRUCTION AND FINISH. PROVIDE CLEAN LEVEL SURFACES READY FOR NEW CONSTRUCTION.
19. **FOR DEMOLITION OF CASEWORK:** WHERE NECESSARY AND/OR INDICATED IN PLANS , THE CONTRACTOR SHALL REMOVE ALL EXISTING CASEWORK, BASE CABINETS, COUNTERTOPS, WALL CABINETS, STORAGE UNITS, AND WALL MOUNTED SHELVING INCLUDING THE REMOVAL OF ALL ANCHORAGE AND SUPPORT ITEMS RELATED TO INSTALLATION. DISCONNECT ALL ELECTRICAL WIRING, CONDUITS, AND CONTROLS . REPAIR ADJACENT SURFACES, AS REQUIRED, TO MATCH THE EXISTING ADJACENT CONSTRUCTION AND FINISH. PROVIDE CLEAN LEVEL SURFACES READY FOR NEW CONSTRUCTION. WHERE PARTIAL DEMOLITION OF CASEWORK OCCURS FINISH NEW EDGE TO MATCH EXISTING ADJACENT CASEWORK CONSTRUCTION AND FINISH.
20. **FOR DEMOLITION OF OPENINGS:** WHERE NECESSARY AND/OR INDICATED IN PLANS, THE CONTRACTOR SHALL PROVIDE AN OPENING. THE CONTRACTOR SHALL PROVIDE METHOD OF BRACING AND SUPPORT OF EXISTING STRUCTURE AS REQUIRED TO IMPLEMENT THE REQUIRED OPENING.
21. **FOR DEMOLITION OF MISCELLANEOUS EQUIPMENT:** WHERE NECESSARY AND/OR INDICATED IN PLANS , THE CONTRACTOR SHALL REMOVE ALL MISCELLANEOUS EQUIPMENT ATTACHED TO WALLS, FLOOR OR CEILINGS INCLUDING MOUNTING BRACKETS, ANCHORAGE, AND OTHER ITEMS RELATED TO THE EQUIPMENT INSTILLATION. REPAIR ADJACENT SURFACES, AS REQUIRED, TO MATCH THE EXISTING ADJACENT CONSTRUCTION AND FINISH. PROVIDE CLEAN LEVEL SURFACES READY FOR NEW CONSTRUCTION.
22. **FOR DEMOLITION OF FIRE EXTINGUISHERS CABINETS:** WHERE NECESSARY AND/OR INDICATED IN PLANS, THE CONTRACTOR SHALL REMOVE EXISTING FIRE EXTINGUISHERS AND CABINETS. RELOCATE SALVAGED FIRE EXTINGUISHER OR RETURN FIRE EXTINGUISHER TO OWNER OR THE OWNER'S REPRESENTATIVE FOR DISPOSITION. REPAIR WALL CAVITY, AS REQUIRED, TO MATCH THE EXISTING ADJACENT CONSTRUCTION AND FINISH. PROVIDE CLEAN LEVEL SURFACES READY FOR NEW CONSTRUCTION.
23. **FOR DEMOLITION OF ESCALATOR:** WHERE NECESSARY AND/OR INDICATED IN PLANS, CONTRACTOR SHALL REMOVE ALL EXISTING ESCALATOR EQUIPMENT INCLUDING MOTORS, HANDRAILS, CONDUITS, SUPPORTS, AND SAFETY SWITCHES. REMOVE AS REQUIRED TO BE FLUSH WITH THE ADJACENT SURFACE. REPAIR ADJACENT SURFACES, AS REQUIRED, TO MATCH THE EXISTING ADJACENT CONSTRUCTION AND FINISH. PROVIDE CLEAN LEVEL SURFACES READY FOR NEW CONSTRUCTION. EXISTING WIRING, CONDUIT, ETC, OR PORTIONS THEREOF, REMOVED DURING DEMOLITION, SHALL NOT BE REUSED UNLESS SHOWN OTHERWISE. REFER TO ELECTRICAL DEMOLITION SHEETS AND NOTES FOR MORE IN FORMATION OF DEMOLITION OF ASSOCIATED ITEMS.
24. **FOR DEMOLITION OF STAIRS:** WHERE NECESSARY AND/OR INDICATED IN PLANS , THE CONTRACTOR SHALL REMOVE EXISTING STAIR ASSEMBLIES INCLUDING ANY AND/OR ALL FRAMES, SUPPORTS, ANCHORS, LANDINGS AND RAILINGS. REPAIR ADJACENT WALLS AND FLOORS AS REQUIRED TO MATCH THE EXISTING ADJACENT CONSTRUCTION AND FINISH. PROVIDE CLEAN LEVEL SURFACES READY FOR NEW CONSTRUCTION.
25. **FOR DEMOLITION OF ROOFING:** WHERE NECESSARY AND/OR INDICATED IN PLANS , THE CONTRACTOR SHALL REMOVE EXISTING ROOFING DOWN TO SHEATHING AND PROTECT ROOF SHEATHING.
26. IN ADDITION TO DEMOLITION SHOWN, CUT, MOVE OR REMOVE ITEMS AS NECESSARY TO PROVIDE ACCESS OR TO ALLOW DEMOLITION WORK TO PROCEED. INCLUDE SUCH ITEMS AS: REMOVAL OF ABANDONED PIPING, CONDUIT, AND WIRING. ALL OPENINGS AND VOIDS LEFT SHALL BE REPAIRED, AS REQUIRED, TO MATCH THE EXISTING ADJACENT CONSTRUCTION AND FINISH.
27. IN ADDITION TO DEMOLITION SHOWN, CUT, MOVE OR REMOVE ITEMS AS NECESSARY TO PROVIDE ACCESS OR TO VERIFY EXISTING UTILITY CONNECTIONS, AS WELL AS, EXISTING STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING CONDITIONS. ALL OPENINGS AND VOIDS LEFT SHALL BE REPAIRED, AS REQUIRED, TO MATCH THE EXISTING ADJACENT CONSTRUCTION AND FINISH.
28. ALL OPENINGS AND VOIDS LEFT BY THE REMOVAL OF EXISTING CONSTRUCTION, EQUIPMENT, PIPING, DUCTS, ETC, SHALL BE PROPERLY SEALED TO MAINTAIN PROPER FIRE RATINGS.
29. CONTRACTOR SHALL EXECUTE ALL NEW WORK REQUIRED IN EXISTING CONSTRUCTION IN SUCH A MANNER AS TO FULLY CONCEAL ALL THE EFFECTS OF INTEGRATING NEW MATERIALS WITH EXISTING SIMILAR MATERIALS. PROVIDE NEW CONSTRUCTION THAT BLENDS WITH EXISTING ADJACENT OR ABUTTING SURFACES WITHOUT OBVIOUS BREAKS JOINTS OR CHANGES OF SURFACE APPEARANCE UNLESS SPECIFICALLY SHOWN OTHERWISE. WHEN EXISTING SURFACE FINISH CANNOT BE MATCHED, REFINISH ENTIRE SURFACE TO NEAREST INTERSECTION.
30. CONTRACTOR SHALL EXECUTE ALL NEW WORK REQUIRED IN EXISTING CONSTRUCTION BY BONDING, LAPPING,

FEDERAL CONSTRUCTION NOTES

C. GENERAL DRAWING NOTES:

1. DRAWINGS AND SPECIFICATIONS, AND ALL COPIES THEREOF ARE LEGAL INSTRUMENTS OF SERVICE FOR THE USE OF THE OWNER AND AUTHORIZED REPRESENTATIVES ON THE DESIGNATED PROPERTY ONLY. OTHER USE WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE ARCHITECT IS PROHIBITED.
2. SPECIFICATIONS, DETAILS AND SCHEDULES WHICH MAY BE BOUND SEPARATELY, ARE PART OF THESE CONTRACT DOCUMENTS. DRAWINGS BY CONSULTING PROFESSIONALS, SUCH AS STRUCTURAL, LANDSCAPE, ETC. ARE SUPPLEMENTAL TO THE ARCHITECTURAL DRAWINGS AND ARE A PART OF THESE CONTRACT DOCUMENTS.
3. REFER TO GENERAL NOTES ON DRAWINGS OF OTHER DISCIPLINES FOR ADDITIONAL REQUIREMENTS.
4. "TYPICAL" MEANS COMPARABLE CHARACTERISTICS FOR THE ELEVATION OR DETAIL NOTED. WHEN A DETAIL OR NOTE IS IDENTIFIED AS "TYPICAL", CONTRACTOR SHALL APPLY THIS DETAIL OR NOTE TO EVERY LIKE CONDITION, WHETHER OR NOT THE REFERENCE IS REPEATED IN EVERY INSTANCE. VERIFY DIMENSIONS AND ORIENTATION ON PLANS.
5. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE ELEVATION OR DETAIL NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS.
6. WHERE WORK OR EQUIPMENT IS INDICATED "N.I.C." (NOT IN CONTRACT) ON THE DRAWINGS, SUCH WORK AND/OR EQUIPMENT SHALL BE PROVIDED BY OTHERS. CONTRACTOR SHALL COORDINATE AND COOPERATE TO EFFECT SUCH INSTALLATION.
7. DETAILS ARE INTENDED TO SHOW METHOD AND MANNER OF ACCOMPLISHING WORK. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE JOB DIMENSIONS OR CONDITIONS AND SHALL BE INCLUDED AS PART OF THE WORK.

D. GENERAL DIMENSION NOTES:

1. ALTHOUGH SIGNIFICANT EFFORTS HAVE BEEN MADE TO COORDINATE DIMENSIONS, THERE MAY BE DISCREPANCIES AND/OR OMISSIONS. IF ENCOUNTERED, CONTACT THE ARCHITECT FOR ADDITIONAL INFORMATION. IF THERE IS A DIMENSIONAL VARIANCE BETWEEN DISCIPLINES, CONTACT ARCHITECT PRIOR TO BID. IF DISCREPANCIES ARE DISCOVERED AFTER THE BID, CONTRACTOR SHALL CONFIRM DIMENSIONS WITH ARCHITECT PRIOR TO CONSTRUCTION OF THE Affected AREA.
2. ACTUAL CONSTRUCTION CONDITIONS AND/OR MATERIAL AND EQUIPMENT SIZES MAY NOT BE THOSE ANTICIPATED BY THE DESIGNERS. THROUGH FIELD INVESTIGATION AND SHOP DRAWINGS, CONTRACTOR SHALL VERIFY DIMENSIONS AND RECOMMEND DIMENSIONAL MODIFICATIONS AS REQUIRED.
3. ARCHITECTURAL DIMENSIONS CAN BE FOUND ON FLOOR PLANS, EXPANDED PLANS, REFLECTED CEILING PLANS, SECTIONS, DETAILS, DOOR, WINDOW AND LOUVER SCHEDULES INTERIOR ELEVATIONS AND EXTERIOR ELEVATIONS.
4. ADDITIONAL DIMENSIONS MAY BE SHOWN ON CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, ELECTRICAL DRAWINGS, FOOD SERVICE DRAWINGS, POOL DRAWINGS, THEATER DRAWINGS AND INTERIOR DESIGN AND FURNITURE LAYOUT PLANS. MECHANICAL AND ELECTRICAL EQUIPMENT AND FOOD SERVICE SCHEDULES MAY ALSO CONTAIN DIMENSIONAL INFORMATION RELATED TO EQUIPMENT SIZES AND CLEARANCES.
5. DIMENSIONS ARE SHOWN AS ACTUAL, NOT NOMINAL (1 ½ " X 3 ½ "); DESIGNATIONS ARE NOTED AS NOMINAL, NOT ACTUAL (2 X 4 STUD). DIMENSIONS ARE NOT ROUNDED, BUT UN-ROUNDED DIMENSIONS ARE NOT NECESSARILY VIEWED AS A MAXIMUM CONSTRUCTION TOLERANCE.

GENERAL CONTRACTOR'S NOTES

GENERAL CONSTRUCTION AND

DEMOLITION NOTES

Thrive

5035 W. Coliseum
Los Angeles CA 90016

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A large green outline of a Christmas tree shape, consisting of three nested triangles, centered on the page.

A diagram consisting of three nested, solid black triangles pointing upwards. The top triangle is the largest, followed by a medium-sized one in the middle, and a small one at the bottom. They are centered on a horizontal line with two short tick marks extending to the left and right.

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Page 10 of 10



2019 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

Y	N/A	RESPON. PARTY	Y	N/A	RESPON. PARTY	Y	N/A	RESPON. PARTY	Y	N/A	RESPON. PARTY
CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL											
301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklist contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.1.											
301.3 NONRESIDENTIAL ADDITIONS AND ALTERATIONS. [BSC-CG] The provisions of individual sections of Chapter 5 apply to newly constructed buildings, buildings additions of 1,000 square feet or greater, and/or building alterations with a permit valuation of \$200,000 or above (for occupancies within the Nonresidential Building Standards Code). Certain sections relevant to additions and alterations shall only apply to the portions of the building being added or altered within the scope of the permitted work.											
A code section will be designated by a banner to indicate where the code section only applies to newly constructed buildings [N] or to additions and/or alterations [A]. When the code section applies to both, no banner will be used.											
301.3.1 Nonresidential additions and alterations that cause updates to plumbing fixtures only:											
Note: On and after January 1, 2016, certain commercial real property, as defined in CMA Code Section 1101.3, shall have its nonresidential plumbing fixtures replaced with appropriate water-conserving plumbing fixtures under specific circumstances. See CMC Code Section 1101.1 et seq. for definitions, types of commercial real property affected, effective date, circumstances necessitating replacement of noncompliant plumbing fixtures, and duties and responsibilities for ensuring compliance.											
301.3.2 Waste Diversion. The requirements of Section 5.4.08 shall be required for additions and alterations whenever a permit is required for work.											
301.4 PUBLIC SCHOOLS AND COMMUNITY COLLEGES, (see GSBC)											
SECTION 302 MIXED OCCUPANCY BUILDINGS											
302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.											
SECTION 303 PHASED PROJECTS											
303.1 PHASED PROJECTS. For small buildings and others constructed for future tenant improvements, only those code measures relevant to the building components and systems considered to be new construction (or newly constructed) shall apply.											
303.1.1 Initial Tenant Improvements. The provisions of this code shall apply only to the initial tenant improvements to a project. Subsequent tenant improvements shall comply with the scope provisions in Section 101.3 non-residential additions and alterations.											
ABBREVIATION DEFINITIONS:											
HCD Department of Housing and Community Development BSB California Building Standards Commission DSAS Division of the State Architect, Structural Safety DSDPD Division of Statewide Health Planning and Development LR Low Risk HR High Risk AA Additions and Alterations N New											
CHAPTER 5 NONRESIDENTIAL MANDATORY MEASURES											
DIVISION 5.1 PLANNING AND DESIGN											
SECTION 5.101 GENERAL											
5.101.1 SCOPE. The provisions of this chapter outline planning, design and development methods that include environmentally responsible site selection, building design, building siting and development to protect, restore and enhance the environmental quality of the site and respect the integrity of adjacent properties.											
SECTION 5.102 DEFINITIONS											
The following terms are defined in Chapter 2 (and are included here for reference)											
CUTOFF LUMINAIRES. Luminaires whose light distribution is such that the candlepower per 1000 lamp lumens does not numerically exceed 25 (2.5 percent) at an angle of 90 degrees above nadir, and 100 (10 percent) at a vertical angle of 80 degrees above nadir. This applies to all lateral angles around the luminaire.											
LOW-EMITTING AND FUEL EFFICIENT VEHICLES.											
1. Zero emission vehicle (ZEV), including neighborhood electric vehicles (NEV), partial zero emission vehicle (PZEV), advanced technology PZEV (AT-ZEV) or CNG fueled original equipment manufacturer (OEM) vehicles under Health and Safety Code section 43800 and CCR, Title 13, Sections 1961 and 1962, light-duty vehicles regulated by U.S. EPA including High-Occupancy Vehicle (HOV) car pool lane stickers issued by the Department of Motor Vehicles.											
NEIGHBORHOOD ELECTRIC VEHICLE (NEV). A motor vehicle that meets the definition of "low-speed vehicle" either in Section 385.5 of the Vehicle Code or in 49CFR571.500 (as it existed on July 1, 2000), and is certified to zero-emission vehicle standards.											
TENANT OCCUPANTS. Building occupants who inhabit a building during its normal hours of operation as permanent occupants, such as employees, during the day, and visitors, during the night.											
LOW-POLLUTING VEHICLE EMISSIONS. Eligible vehicles are limited to any motor vehicle, other than a motorcycle or truck tractor, designed for camping more than 10 but not more than 15 persons including the driver, which is maintained and used primarily for the nonprofit or work-related transportation of adults for the purpose of hiking.											
Note: Source; Vehicle Code, Division 1, Section 668											
ZEV. Any vehicle certified to zero-emission standards.											
SECTION 5.106 SITE DEVELOPMENT											
5.106.1 STORMWATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB LESS THAN ONE ACRE OF LAND. Newly constructed projects and additions which disturb less than one acre of land, and are not part of a larger common plan of development or sale, shall prevent the pollution of storm water runoff from the construction activities through one or more of the following measures:											
5.106.1.1 Local ordinance. Comply with a lawfully enacted storm water management and/or erosion control ordinance.											
5.106.1.2 Best Management Practices (BMPs). Prevent the loss of soil through wind or water erosion by implementing an effective combination of erosion and sediment control and good housekeeping BMPs.											
1. Zero loss BMPs that should be considered for implementation as appropriate for each project include, but are not limited to, the following: a. Sediment control activity during dry weather, when possible. b. Preservation of natural features, vegetation, soil, and buffers around surface waters. c. Draftage swales or lined ditches to control stormwater flow. d. Mulching or hydroseeding to stabilize disturbed soils. e. Erosion control measures. f. Protection of storm drain inlets (gravel bags or catch basin inserts). g. Perimeter sediment control (perimeter silt fence, fiber rolls). h. Sediment trap or sediment basin to retain sediment on site. i. Soil stabilizers and seed. j. Wind erosion control. k. Other soil loss BMPs acceptable to the enforcing agency.											
2. Good housekeeping BMPs to manage construction equipment, materials, non-stormwater discharges and wastes that should be considered for implementation as appropriate for each project include, but are not limited to, the following: a. Dust control. b. Material handling and waste management. c. Building materials stockpile management. d. Management of washout areas (concrete, palms, stucco, etc.). e. Control of vehicle traffic and fueling to contractor's staging area. f. Vehicle equipment cleaning performed off site. g. Soil prevention and control. h. Other housekeeping BMPs acceptable to the enforcing agency.											
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5.106.2 STORMWATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB ONE OR MORE ACRES OF LAND. Comply with all lawfully enacted stormwater discharge regulations for projects that (1) disturb one acre or more of land, or (2) disturb less than one acre of land but are part of a larger common plan of development sale.											
Note: Projects that (1) disturb one acre or more of land, or (2) disturb less than one acre of land but are part of the larger common plan of development or sale must comply with the post-construction requirements detailed in the applicable National Pollutant Discharge Elimination System (NPDES) General permit for Stormwater Discharges Associated with Construction Activities (NPDES) and Stormwater Discharges from Construction Activities issued by the State Water Resources Control Board or the Regional Water Quality Control Board (if present) in the San Joaquin Hydrologic Unit.											
The NPDES permits require postconstruction runoff (post-project hydrology) with the installation of postconstruction stormwater management measures. The NPDES permits emphasize runoff reduction through on-site stormwater use, interception, evapotranspiration, and infiltration through nonstructural controls, such as Low Impact Development (LID) practices, and conservation design measures. Stormwater issues that cannot be addressed using nonstructural practices is required to be captured in structural practices to be approved by the local enforcement agency.											
Refer to the current application checklist of the State Water Resources Control Board website at www.wrcbboards.ca.gov/construction/ . Consideration to the stormwater runoff management measures should be given during the initial design process for appropriate integration into site development.											



2019 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

Y/N
RESPON.
PARTY

YES
NOT APPLICABLE
RESPONSIBLE PARTY (S)
ARCHITECT, ENGINEER,
OWNER, CONTRACTOR, INSPECTOR, ETC.

5.504.4 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with Sections 5.504.4.1 through 5.504.4.6.

5.504.4.1 Adhesives, sealants and caulk. Adhesives, sealants, and caulk used on the project shall meet the requirements of the following standards:

1. Adhesives, adhesive bonding primers, sealants, primers, sealants, sealant primers and repair compounds shall comply with the ARB Air Quality Management District rules where applicable, or SCAQMD Rule 1168 VOC limits, as shown in Tables 5.504.4.1 and 5.504.4.2. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products as specified in Table 5.504.4.2.

2. All adhesives, sealants, and other unlisted adhesives, sealants or caulk compounds (in units of product, less packaging, which do not weigh more than one pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with Section 94507.

TABLE 5.504.4.1 - ADHESIVE VOC LIMIT¹²

Less Water and Less Exempt Compounds In Grams per Liter	
ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVES	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT SPECIFICALLY LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT, REFER TO THIS TABLE. SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 94520.

www.arb.ca.gov/drds/sic/cuhtml/r1168.pdf

TABLE 5.504.4.2 - SEALANT VOC LIMIT

SEALANTS	CURRENT VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NONPOROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

NOTE: FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THESE TABLES, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

5.504.4.3 Paints and coatings. Architectural paints and coatings shall comply with VOC limits in Table 5.504.4.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 5.504.4.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating based on its gloss, as defined in Subsections 4.2.1, 4.3.6 and 4.3.7 of the 2007 California Green Building Standards Code, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 5.504.4.3 shall apply.

5.504.4.3.1 Aerosol Paints and coatings. Aerosol paints and coatings shall meet the PVMIR limits for VOC in Section 94520(a)(3) and other requirements, including prohibitions on use of certain toxic compounds and ozone-depleting substances. In Sections 94520(c)(2) and (d)(2) of California Code of Regulations, Title 17, commencing with Section 94520, and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8 Rule 49.

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TABLE 5.504.4.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS¹³

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS	
COATING CATEGORY	CURRENT VOC LIMIT
FLAT COATINGS	50
NONFLAT COATINGS	100
NONFLAT HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH-TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACCS:	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

5.504.4.3.2 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

1. Manufacturer's product specification
2. Field verification of on-site product containers

5.504.4.4 Carpet Systems. An carpet installed in the building interior shall meet at least one of the testing and product requirements:

1. Carpet and Rug Institute's Green Label Plus Program.
2. Compliant with the VOC-emission limits and testing requirements specified in the California Department of Public Health Standard Method for the Testing and Evaluation of Volatile Organic Compounds in Indoor Air Quality Sources Using Environmental Chambers, Version 1.1, February 2010 (also known as CPSC Standard Method 1.1 or Specification 130).
3. NSF/ANSI 140 at the Gold level or higher.
4. Scientific Certifications System Sustainability Council, or
5. Certified under the CHPS High Performance Schools California (2014 CA-CHPS) Criteria listed in the CHPS High Performance Product Database.

5.504.4.4.1 Carpet cushion. An carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute Green Label program.

5.504.4.4.2 Carpet adhesive. An carpet adhesive shall meet the requirements of Table 5.504.4.1.

5.504.4.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure (ATCM) for Composite Wood (17 CCR 9312 et seq.). Those materials not exempted under the ATCM must meet the specified emission limits, as shown in Table 5.504.4.5.

5.504.4.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.
2. Chain of custody certification.
3. Documentation that the material is used as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 9312, et seq.).
4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the International Wood Association.
5. Other methods acceptable to the enforcing agency.

5.504.4.5.2 Verification. An exterior grade product shall meet the requirements of Table 5.504.4.5.

5.504.4.5.3 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.
2. Chain of custody certification.
3. Documentation that the material is used as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 9312, et seq.).
4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the International Wood Association.
5. Other methods acceptable to the enforcing agency.

5.504.4.5.4 Verification. An exterior grade product shall meet the requirements of Table 5.504.4.5.

5.504.4.5.5 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.
2. Chain of custody certification.
3. Documentation that the material is used as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 9312, et seq.).
4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the International Wood Association.
5. Other methods acceptable to the enforcing agency.

5.504.4.5.6 Verification. An exterior grade product shall meet the requirements of Table 5.504.4.5.

5.504.4.5.7 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.
2. Chain of custody certification.
3. Documentation that the material is used as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 9312, et seq.).
4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the International Wood Association.
5. Other methods acceptable to the enforcing agency.

5.504.4.5.8 Verification. An exterior grade product shall meet the requirements of Table 5.504.4.5.

5.504.4.5.9 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.
2. Chain of custody certification.
3. Documentation that the material is used as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 9312, et seq.).
4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the International Wood Association.
5. Other methods acceptable to the enforcing agency.

5.504.4.5.10 Verification. An exterior grade product shall meet the requirements of Table 5.504.4.5.

5.504.4.5.11 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.
2. Chain of custody certification.
3. Documentation that the material is used as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 9312, et seq.).
4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the International Wood Association.
5. Other methods acceptable to the enforcing agency.

5.504.4.5.12 Verification. An exterior grade product shall meet the requirements of Table 5.504.4.5.

5.504.4.5.13 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.
2. Chain of custody certification.
3. Documentation that the material is used as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 9312, et seq.).
4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the International Wood Association.
5. Other methods acceptable to the enforcing agency.

5.504.4.5.14 Verification. An exterior grade product shall meet the requirements of Table 5.504.4.5.

5.504.4.5.15 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

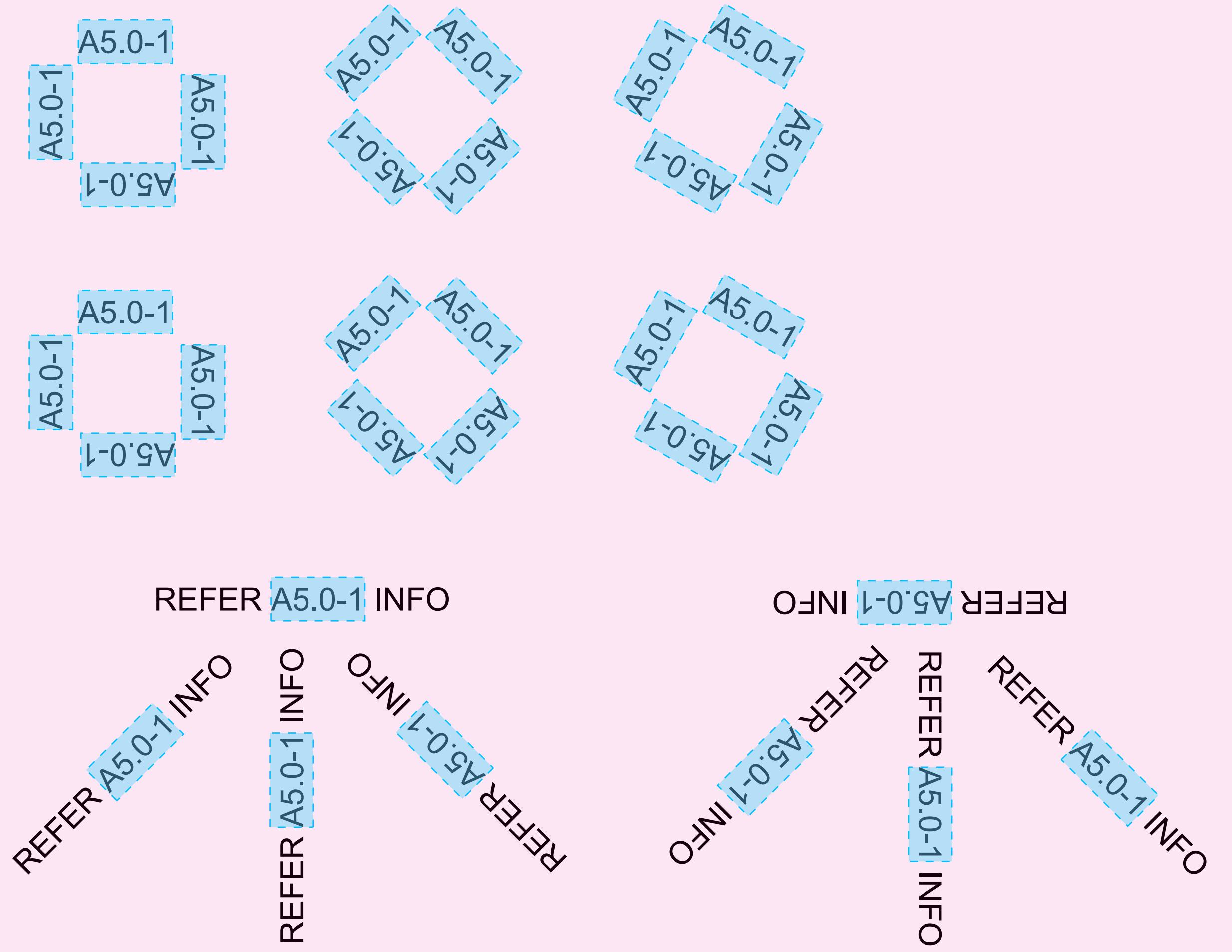
1. Product certifications and specifications.
2. Chain of custody certification.
3. Documentation that the material is used as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 9312, et seq.).
4. Exterior grade products marked as meeting the PS-1 or PS-

PREFACE1

C0A

PREFACE2

C0B




DETAILS

LEVEL G - OVERALL FLOOR PLAN

Project Number: 2021-407
Plan Check Number: TBO
12/14/2022 1st BLDG. DEPT. SUBMITTAL

1/16 = 1'-0"
0 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36 38 40 42 44 46 48 50 52 54 56 58 60 62 64 66 68 70 72 74 76 78 80 82 84 86 88 90 92 94 96 98 100

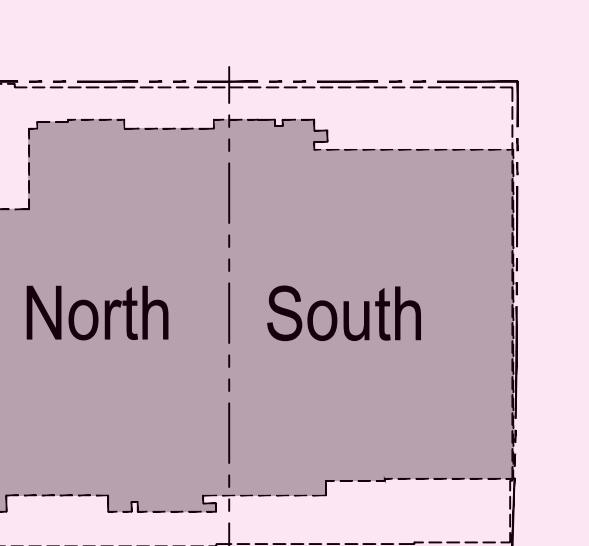
A2.2-G
Sheet
12-14-2022 - 1st City Submittal - Not For Construction



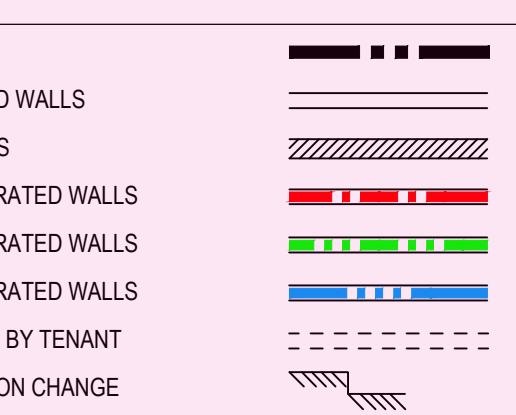
KEY NOTES

- 2.101 DOUBLE STRIPED PARKING STALL PER CITY OF LOS ANGELES STANDARD. STALL SIZE - STANDARD ACCESSIBLE PARKING STALL SEE SHEET 12 FOR ADDITIONAL INFORMATION
- 2.102 DOUBLE STRIPED PARKING STALL PER CITY OF LOS ANGELES STANDARD. STALL SIZE - VAN ACCESSIBLE PARKING STALL SEE SHEET 12 FOR ADDITIONAL INFORMATION
- 2.103 DOUBLE STRIPED PARKING STALL PER CITY OF LOS ANGELES STANDARD. STALL SIZE - STANDARD ACCESSIBLE EV PARKING STALL SEE SHEET 12 FOR ADDITIONAL INFORMATION
- 2.104 DOUBLE STRIPED PARKING STALL PER CITY OF LOS ANGELES STANDARD. STALL SIZE - VAN ACCESSIBLE EV PARKING STALL SEE SHEET 12 FOR ADDITIONAL INFORMATION
- 2.105 DOUBLE STRIPED PARKING STALL PER LOS ANGELES STANDARD. STALL SIZE - AMBULATORIUM PARKING STALL SEE SHEET 12 FOR ADDITIONAL INFORMATION
- 2.106 DOUBLE STRIPED PARKING STALL PER CITY OF LOS ANGELES STANDARD. STALL SIZE - EV CAPABLE PARKING STALL SEE SHEET 12 FOR ADDITIONAL INFORMATION
- 2.107 DOUBLE STRIPED PARKING STALL PER CITY OF LOS ANGELES STANDARD. STALL SIZE - TANDEM PARKING STALL SEE SHEET 12 FOR ADDITIONAL INFORMATION
- 2.108 DOUBLE STRIPED PARKING STALL PER CITY OF LOS ANGELES STANDARD. STALL SIZE - STANDARD PARKING STALL SEE SHEET 12 FOR ADDITIONAL INFORMATION
- 2.109 INTERNATIONAL SYMBOL FOR ACCESSIBILITY - SEE SHEET 12 FOR ADDITIONAL INFORMATION
- 2.110 ACCESSIBLE PARKING SIGN SEE SHEET 12 FOR ADDITIONAL INFORMATION
- 2.111 WHEELSTOP
- 2.112 DETECTABLE WARNING 3 FEET DEEP x FULL WIDTH OF CURB RAMP OR ACCESSIBLE PATH COLOR - YELLOW
- 2.113 ELECTRIC VEHICLE CHARGING STATION
- 2.114 ACCESSIBLE AISLE AND PATH. PAINT WITH (2) COATS OF TRAFFIC BLUE PAINT
- 2.115 PAVEMENT MARKING WITH (2) COATS OF TRAFFIC WHITE PAINT
- 2.116 ELEVATOR IS DEFERRED SUBMITTAL. REFER TO SHEET T10 FOR ADDITIONAL INFORMATION
- 2.117 GARAGE VENTILATION SHAFT PER MECHANICAL DRAWINGS, TYP.
- 2.118 TRASH ROOM - EQUIPMENT PROVIDED AND INSTALLED BY TRASH MANAGEMENT COMPANY
- 2.119 NOT USED
- 2.120 STOREFRONT SYSTEM WITH 1" INSULATED GLASS
- 2.121 LOUVERED VENT
- 2.122 BIKE STORAGE
- 2.123 DRINKING FOUNTAIN
- 2.124 EXISTING SITE WALL TO REMAIN. PROTECT IN PLACE
- 2.125 PERIMETER RETAINING WALL WITH CONTINUOUS BLIND SIDE BELOW GRADE WATERPROOFING. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- 2.126 ELEVATOR DOOR SHALL BE 1 1/2 HOUR RATED
- 2.127 ELEVATOR DOOR SHALL BE 1 HOUR RATED
- 2.128 CHAIN LINK FENCE SECURITY DIVIDER FROM FLOOR TO CEILING. PROVIDE FABRIC SCRIM ON RETAIL SIDE OF FENCE FROM FLOOR TO 8'0" A.F.F.
- 2.129 VEHICLE ACCESS CONTROL BY TENANT. SHOWN FOR REFERENCE AND COORDINATION

KEY PLAN




SYMBOLS LEGEND



FLOOR PLAN GENERAL NOTES

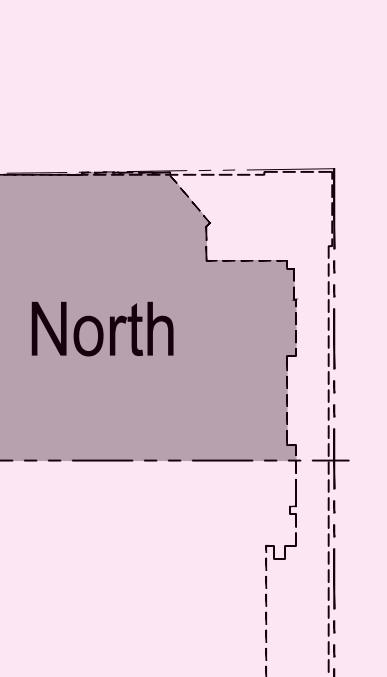
1. REFER TO STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE PLANS FOR ADDITIONAL INFORMATION NOT SHOWN ON THIS PLAN
2. FOR ADDITIONAL INFORMATION SEE SHEETS:
 - T-10 FOR ADDITIONAL INFORMATION
 - T-14 FOR ADDITIONAL INFORMATION
 - CIVIL SHEETS FOR GRADING AND SITE UTILITY INFORMATION
 - STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION
3. REFER DRAWS FOR CIVIL AND MECHANICAL FOR POINT OF CONNECTION OF ROOF DRAINS, DOMESTIC WATER NATURE, GAS POWER, ELECTRIC, SEWER AND GREASE WASTE LINES.
4. REFER TO THE MECHANICAL AND ELECTRICAL DRAWINGS FOR THE REQUIRED WORKING CLEARANCE AROUND ELECTRICAL EQUIPMENT
5. ALL UTILITIES INCLUDING CONDUITS AND PIPING, SHALL BE HELD TIGHT TO THE UNDERSIDE OF THE FLOOR DECK OR ROOF DECK
6. CONTRACTOR SHALL SEAL ALL PENETRATIONS INTO FIRE RESISTIVE CONSTRUCTION WITH APPROVED FIRE ASSEMBLIES.
7. CONTRACTOR SHALL SEAL ALL PENETRATIONS INTO SOUND RATED ASSEMBLIES WITH APPROVED RESILIENT ACOUSTIC SEALANT. ALL RECESSED ITEMS SHALL BE SEALED TO MAINTAIN INTEGRITY OF THE ACOUSTIC ASSEMBLY.
8. UNLESS NOTED OTHERWISE, ALL DOORS ARE TO BE LOCATED 3' FROM THE INSIDE FACE OF THE ADJACENT PARTITION TO THE EDGE OF THE HINGE SIDE DOOR JAMB.
9. FOR PARTITION WALLS BETWEEN TENANT SPACES, THE TYPE X GYP BD. ON EACH SIDE OF THE WALL, AND THE SOUND INSULATION SHALL BE PROVIDED AND MAINTAINED BY THE FUTURE TENANT. REFER TO DETAIL TN-2.
10. FOR PARTITION WALLS (EXTERIOR, AGAINST A CORRIDOR OR OTHER NON-TENANT SPACE), THE TENANT SIZE TYPE X GYP BD. AND SOUND INSULATION, SHALL BE PROVIDED BY THE FUTURE TENANT.



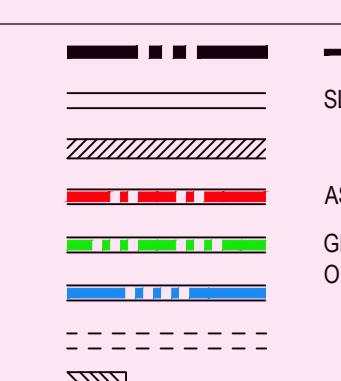
KEY NOTES

- 2.101 DOUBLE STRIPED PARKING STALL PER CITY OF LOS ANGELES STANDARD. STALL SIZE - STANDARD
ACCESSIONABLE PARKING STALL. SEE SHEET 2.02 FOR ADDITIONAL INFORMATION
2.102 DOUBLE STRIPED PARKING STALL PER CITY OF LOS ANGELES STANDARD. STALL SIZE - VAN
ACCESSIBLE PARKING STALL. SEE SHEET 2.02 FOR ADDITIONAL INFORMATION
2.103 DOUBLE STRIPED PARKING STALL PER CITY OF LOS ANGELES STANDARD. STALL SIZE - STANDARD
ACCESSIBLE EV PARKING STALL. SEE SHEET 2.03 FOR ADDITIONAL INFORMATION
2.104 DOUBLE STRIPED PARKING STALL PER CITY OF LOS ANGELES STANDARD. STALL SIZE - VAN
ACCESSIBLE EV PARKING STALL. SEE SHEET 2.03 FOR ADDITIONAL INFORMATION
2.105 DOUBLE STRIPED PARKING STALL PER CITY OF LOS ANGELES STANDARD. STALL SIZE - AMBULATORI
ACCESSIBLE PARKING STALL. SEE SHEET 2.04 FOR ADDITIONAL INFORMATION
2.106 DOUBLE STRIPED PARKING STALL PER CITY OF LOS ANGELES STANDARD, STALL SIZE - EV CAPABLE
PARKING STALL. SEE SHEET 2.04 FOR ADDITIONAL INFORMATION
2.107 DOUBLE STRIPED PARKING STALL PER CITY OF LOS ANGELES STANDARD. STALL SIZE - TANDEM
PARKING STALL. SEE SHEET 2.02 FOR ADDITIONAL INFORMATION
2.108 DOUBLE STRIPED PARKING STALL PER CITY OF LOS ANGELES STANDARD. STALL SIZE - STANDARD
PARKING STALL. SEE SHEET 2.02 FOR ADDITIONAL INFORMATION
2.109 INTERNATIONAL SYMBOL FOR ACCESSIBILITY - SEE SHEET 2.04 FOR ADDITIONAL INFORMATION
2.110 ACCESSIBLE PARKING SIGN. SEE SHEET 2.04 FOR ADDITIONAL INFORMATION
2.111 WHEELSTOP
2.112 DETECTABLE WARNING 3 FEET DEEP X FULL WIDTH OF CURB RAMP OR ACCESSIBLE PATH COLOR -
YELLOW
2.113 ELECTRIC VEHICLE CHARGING STATION
2.114 ACCESSIBLE AISLE AND PATH. PAINT WITH (2) COATS OF TRAFFIC BLUE PAINT
- 2.115 PAVEMENT MARKING WITH (2) COATS OF TRAFFIC WHITE PAINT
2.116 ELEVATOR IS A DEFERRED SUBMITTAL. REFER TO SHEET T1.0 FOR ADDITIONAL INFORMATION
2.117 GARAGE VENTILATION SHAFT PER MECHANICAL DRAWINGS, TYP.
2.118 TRASH ROOM - EQUIPMENT PROVIDED AND INSTALLED BY TRASH MANAGEMENT COMPANY
2.119 NOT USED
2.120 STOREFRONT SYSTEM WITH 1" INSULATED GLASS
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2.124 EXISTING SITE WALL TO REMAIN. PROTECT IN PLACE
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2.126 ELEVATOR DOOR SHALL BE 1 1/2 HOUR RATED
2.127 ELEVATOR DOOR SHALL BE 1 HOUR RATED
2.128 CHAIN LINK FENCE SECURITY DIVIDER FROM FLOOR TO CEILING. PROVIDE FABRIC SCRIM ON RETAIL
SIDE OF FENCE FROM FLOOR TO 8'0" A.F.F.
2.129 VEHICLE ACCESS CONTROL BY TENANT. SHOWN FOR REFERENCE AND COORDINATION

KEY PLAN

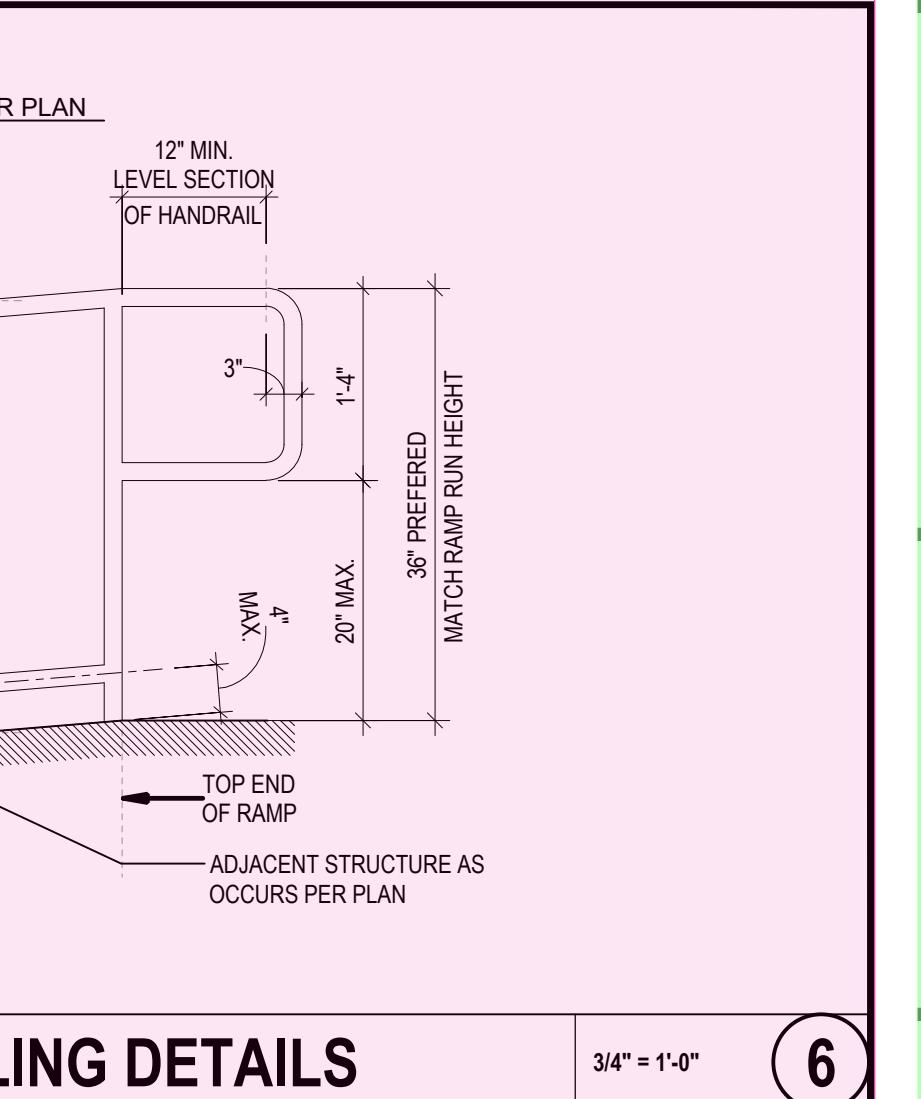
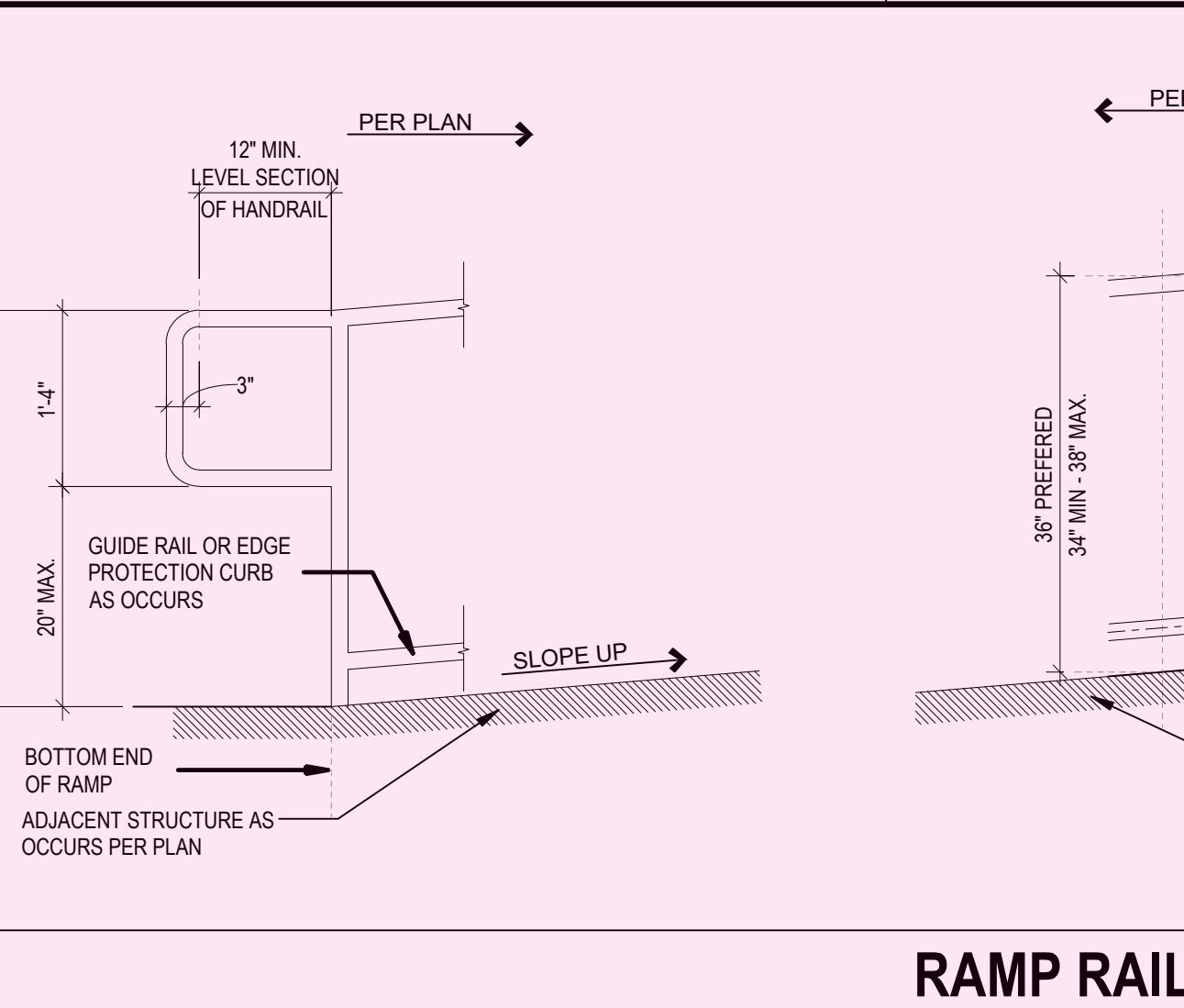
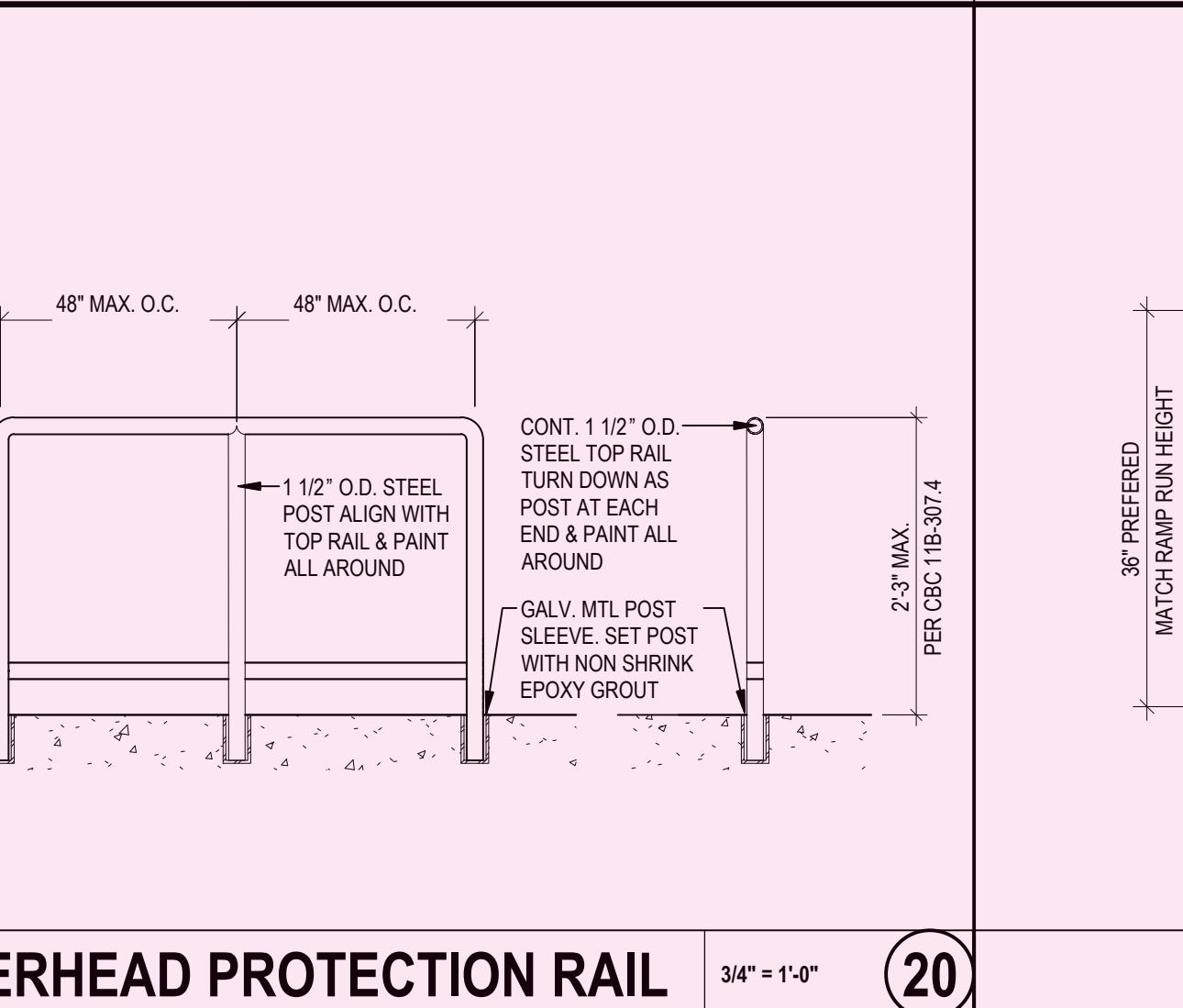
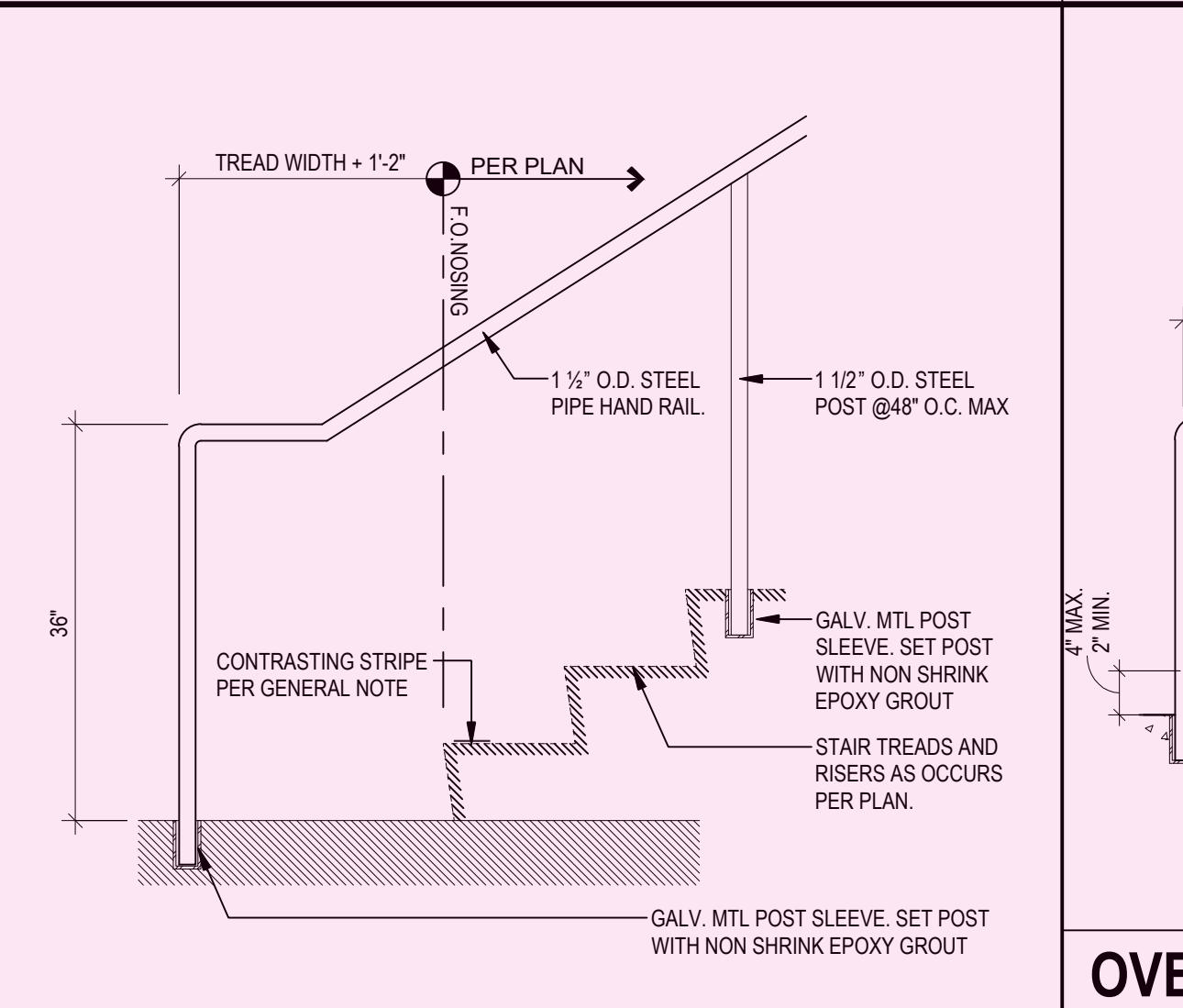


SYMBOLS LEGEND



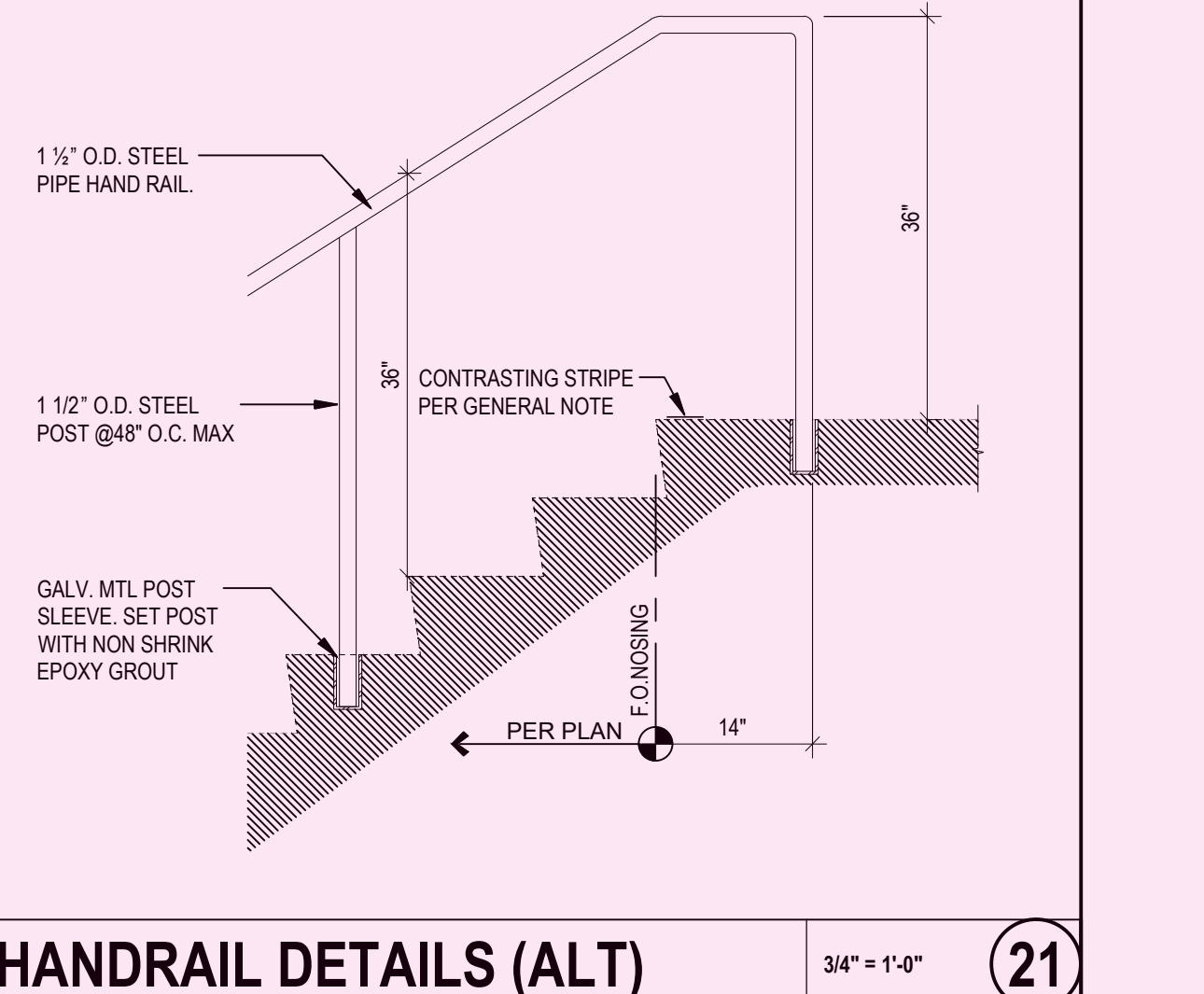
FLOOR PLAN GENERAL NOTES

- REFER TO STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE PLANS FOR ADDITIONAL INFORMATION NOT SHOWN ON THIS PLAN.
- FOR ADDITIONAL INFORMATION SEE SHEETS:
 - T.0 100-14 & T.0 14 FOR ADDITIONAL INFORMATION
 - XX FOR DOOR SCHEDULE
 - CIVIL SHEETS FOR GRADING AND SITE UTILITY INFORMATION
 - STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION
- REFER DIRECTLY TO CIVIL AND MECHANICAL DRAWINGS FOR THE POINT OF CONNECTION OF ROOF DRAINS, DOMESTIC WATER, NATURAL GAS, POWER, TELEPHONE, AND GREASE WASTE LINES.
- REFER TO THE MECHANICAL AND ELECTRICAL DRAWINGS FOR THE REQUIRED WORKING CLEARANCE AROUND ELECTRICAL EQUIPMENT.
- ALL UTILITIES INCLUDING CONDUITS AND PIPING, SHALL BE HELD TIGHT TO THE UNDERSIDE OF THE FLOOR DECK OR ROOF DECK.
- CONTRACTOR SHALL SEAL ALL PENETRATIONS AT FIRE RESISTIVE CONSTRUCTION WITH APPROVED FIRE ASSEMBLIES.
- CONTRACTOR SHALL SEAL ALL PENETRATIONS AT FIRE RESISTIVE CONSTRUCTION WITH APPROVED FIRE ASSEMBLIES.
- RECESSSED ITEMS SHALL BE SEALED TO MAINTAIN INTEGRITY OF THE ACoustIC ASSEMBLY.
- UNLESS NOTED OTHERWISE, ALL DOORS ARE TO BE LOCATED 3' FROM THE INSIDE FACE OF THE ADJACENT PARTITION TO THE EDGE OF THE HINGE SIDE DOOR JAMB.
- FOR PARTITION WALLS BETWEEN TENANT SPACES, THE TYPE X GYP BD. ON EACH SIDE OF THE WALL, AND THE SOUND INSULATION, SHALL BE PROVIDED AND INSTALLED BY THE FUTURE TENANT. REFER TO DETAIL TN-2.
- FOR TENANT SPACE PERMITTEd WALLS (EXTERIOR, AGAINST A CORRIDOR, OR OTHER NON-TENANT SPACE), THE TENANT SIZE TYPE X GYP BD. AND SOUND INSULATION, SHALL BE PROVIDED BY THE FUTURE TENANT.

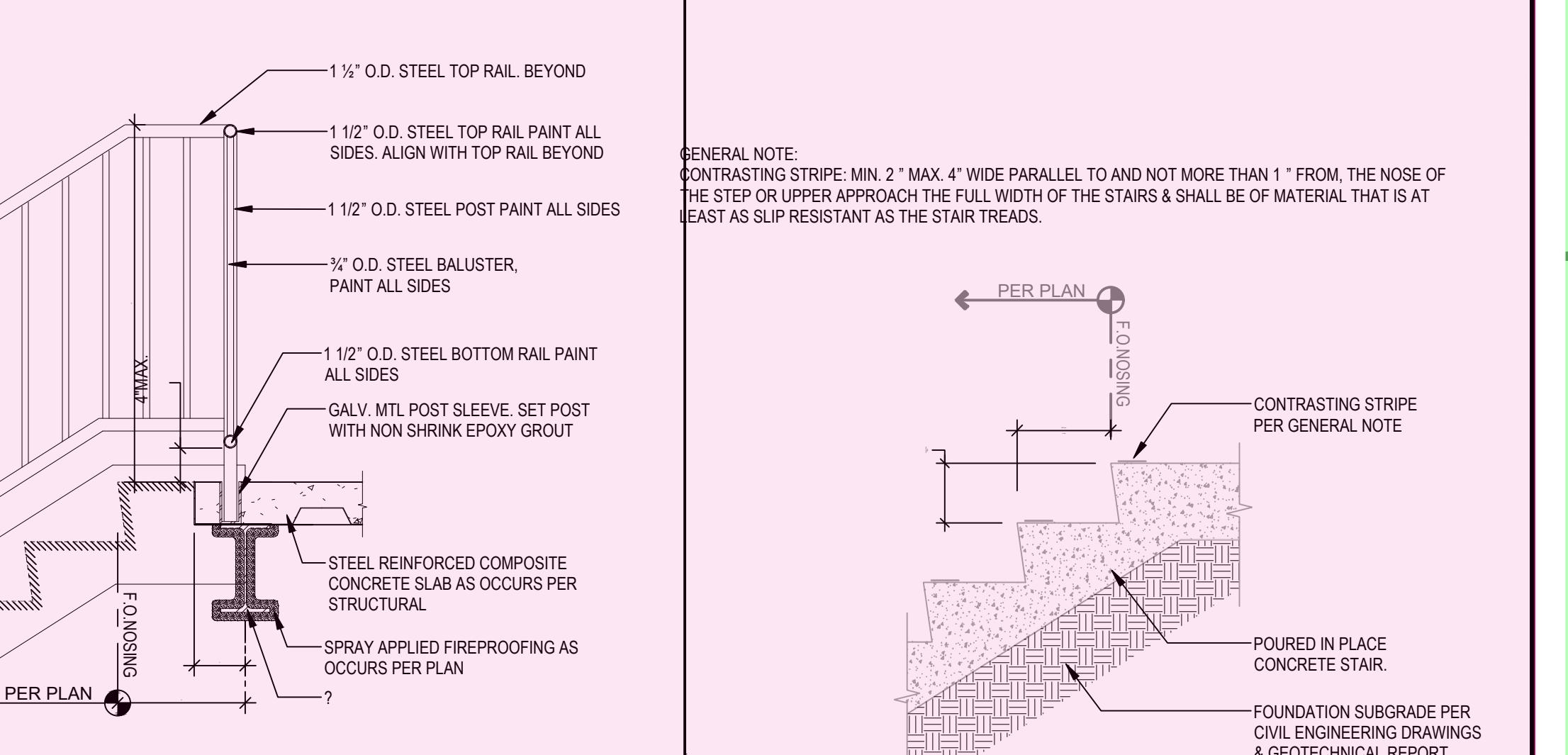


OVERHEAD PROTECTION RAIL 3/4" = 1'-0" **20**

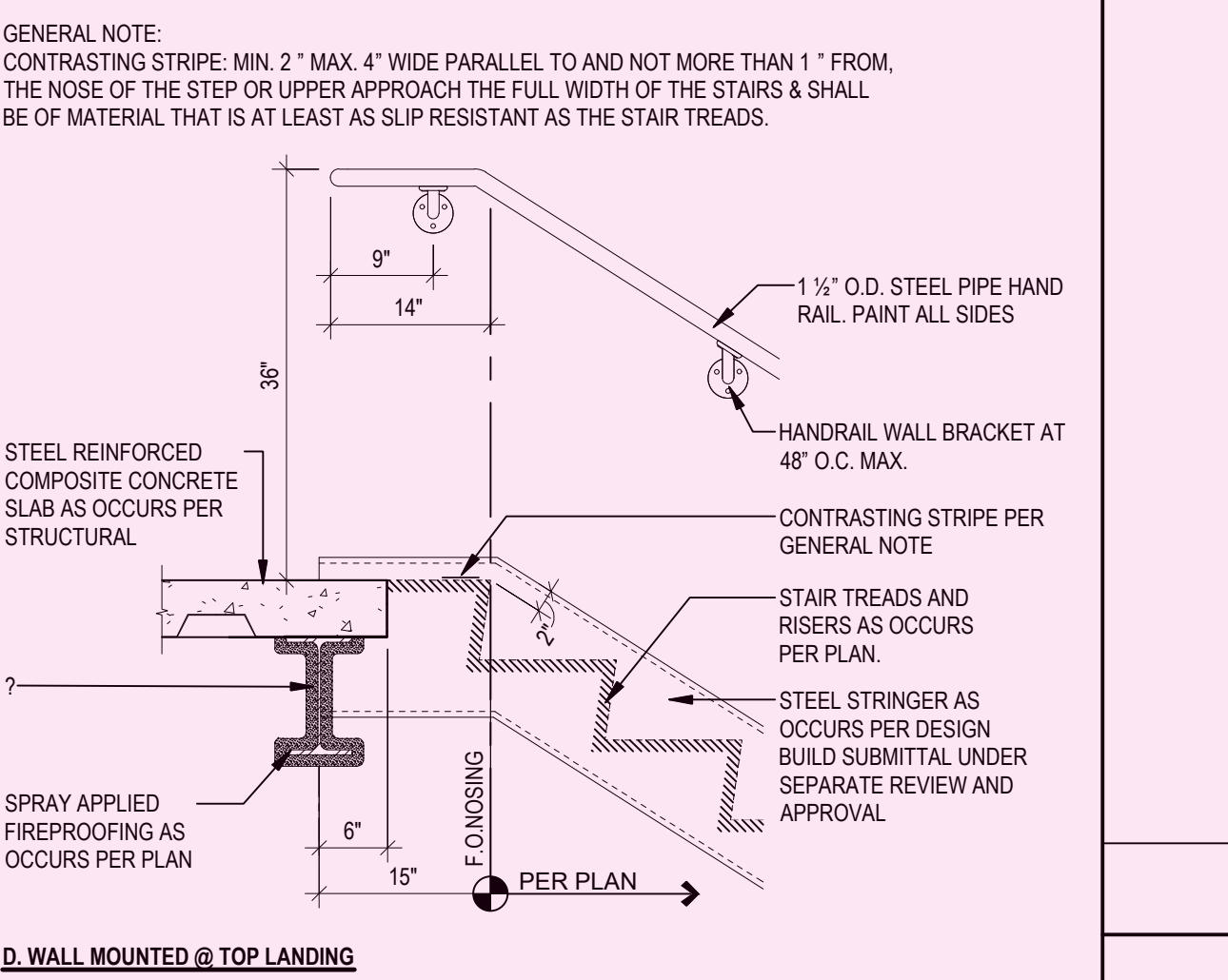
RAMP RAILING DETAILS 3/4" = 1'-0" **6**



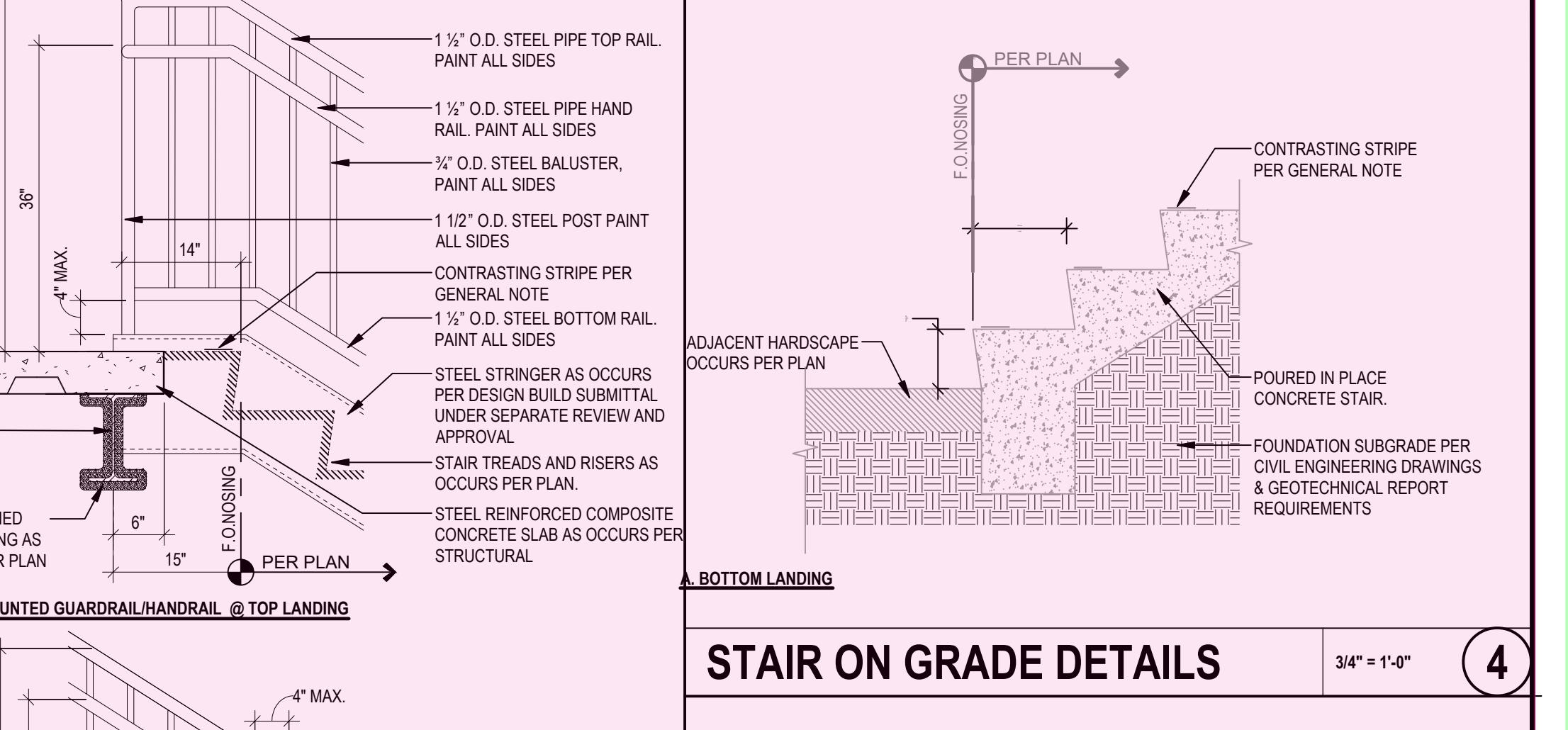
HANDRAIL DETAILS (ALT) 3/4" = 1'-0" **21**



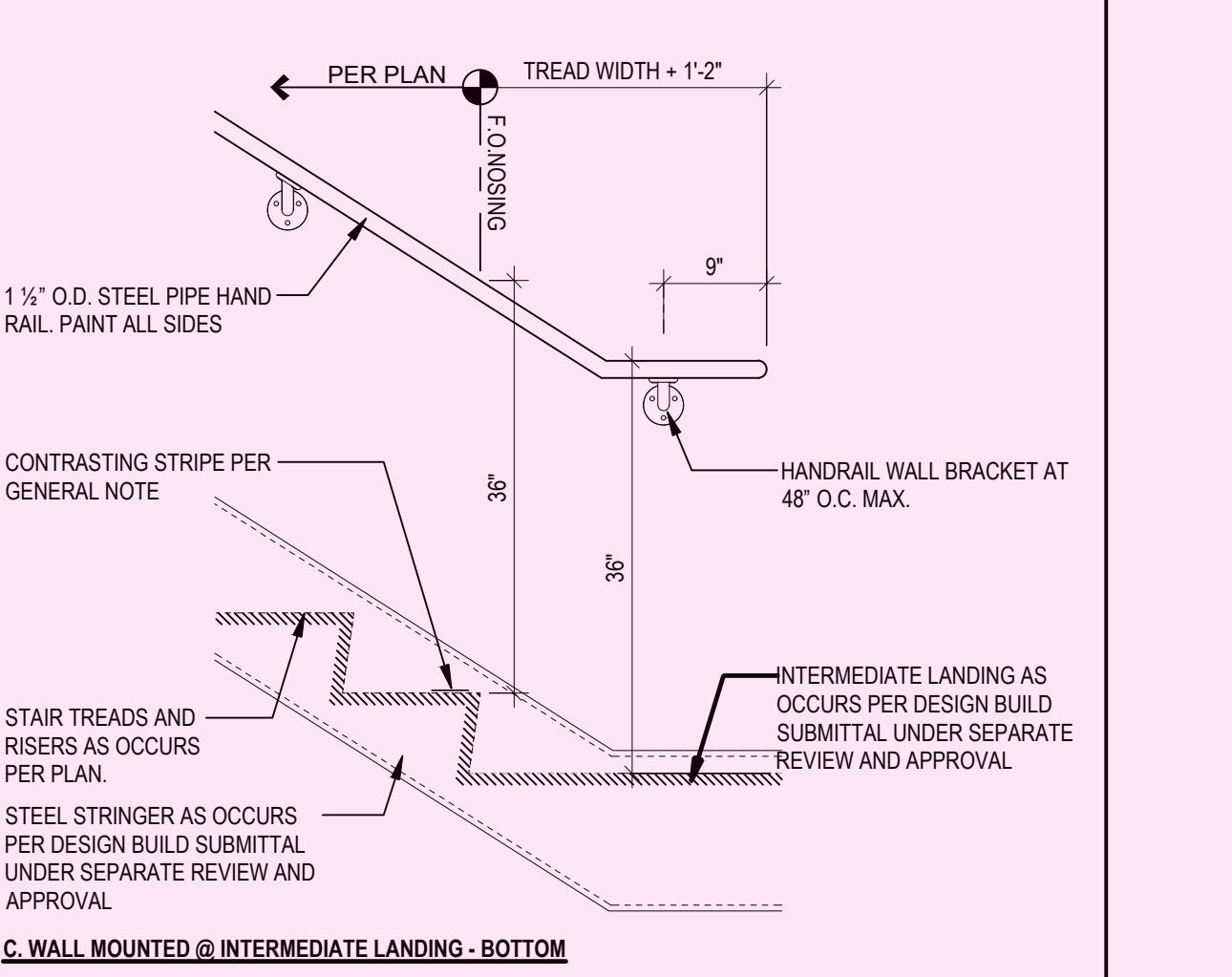
HANDRAIL DETAILS (ALT) 3/4" = 1'-0" **21**



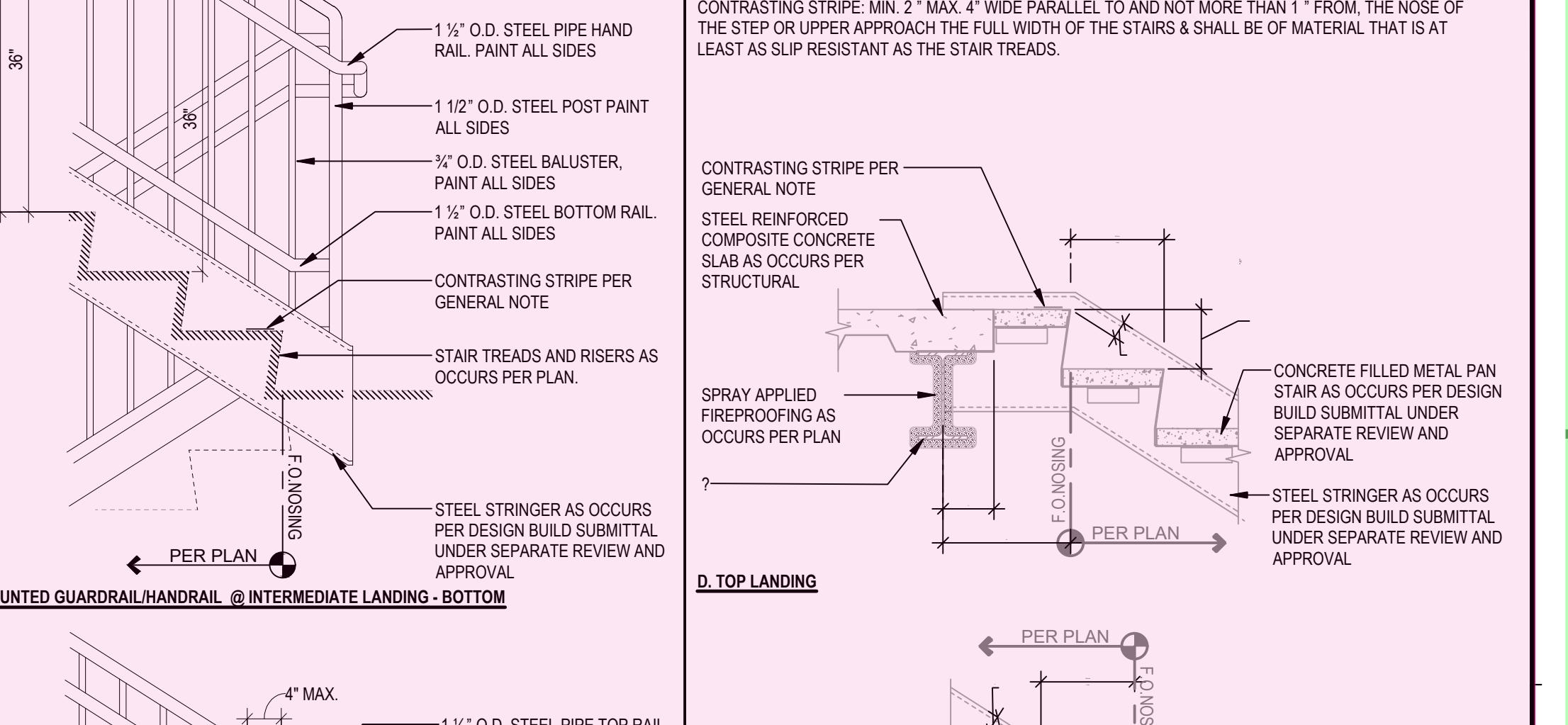
D. WALL MOUNTED @ TOP LANDING



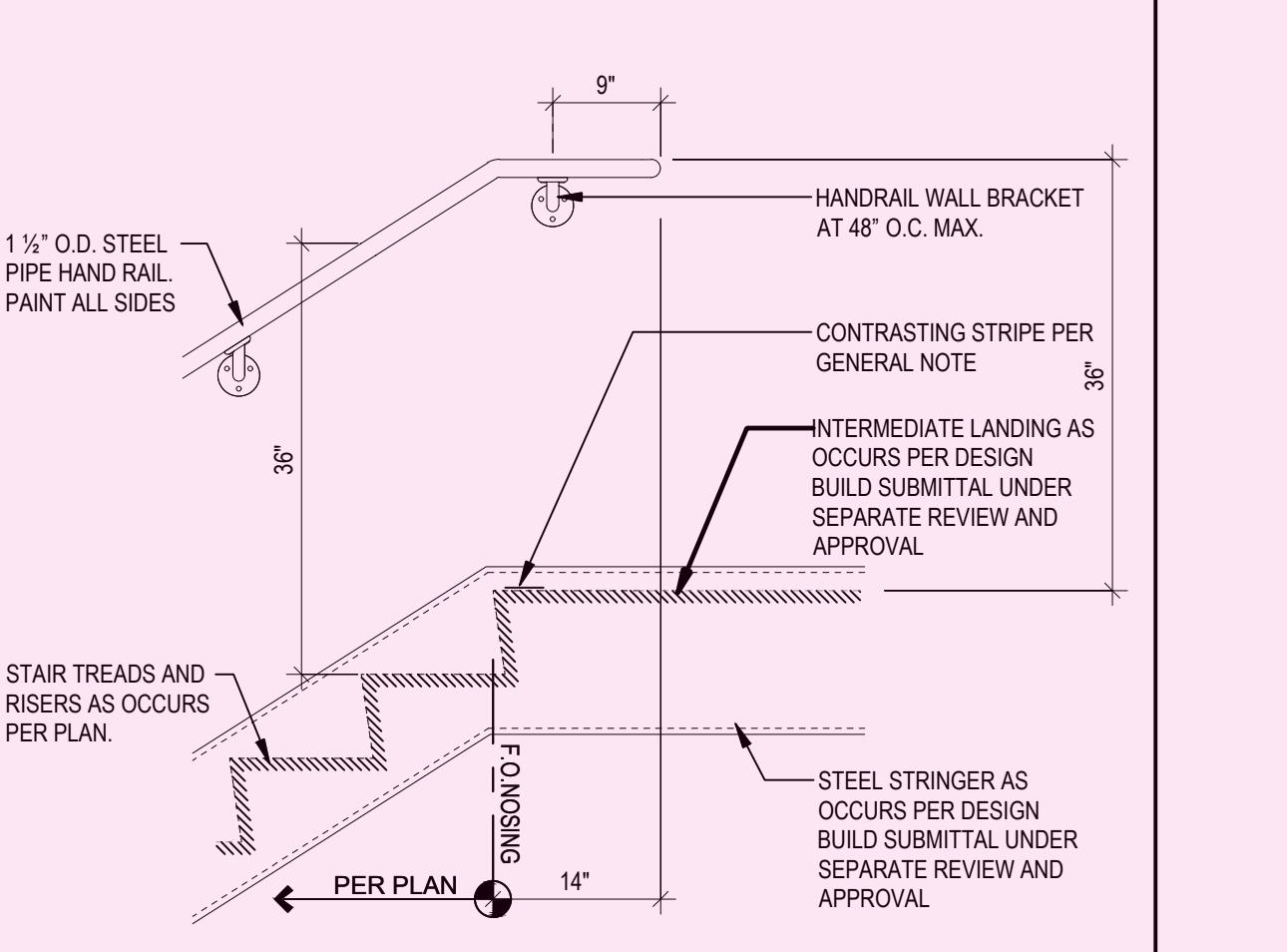
D. STRINGER MOUNTED GUARDRAIL/HANDRAIL @ TOP LANDING



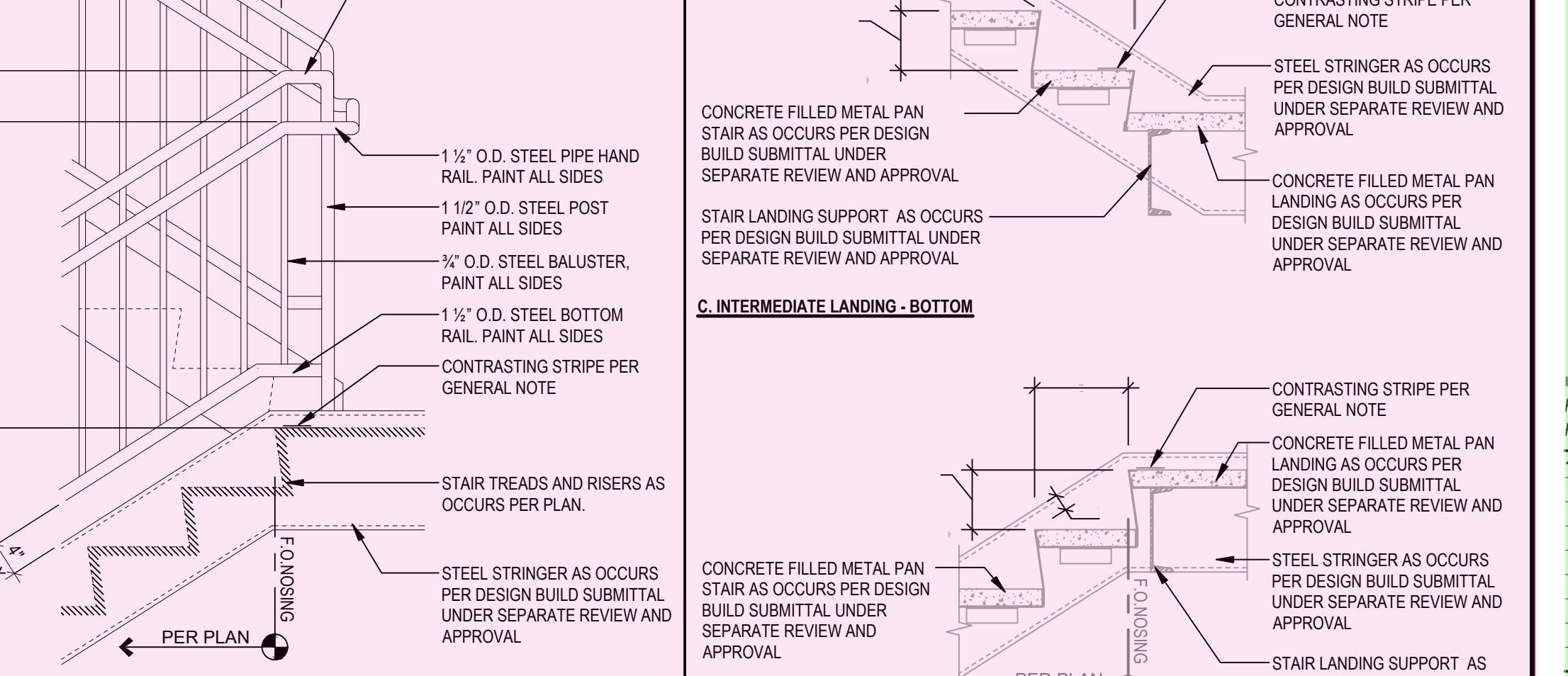
C. WALL MOUNTED @ INTERMEDIATE LANDING - BOTTOM



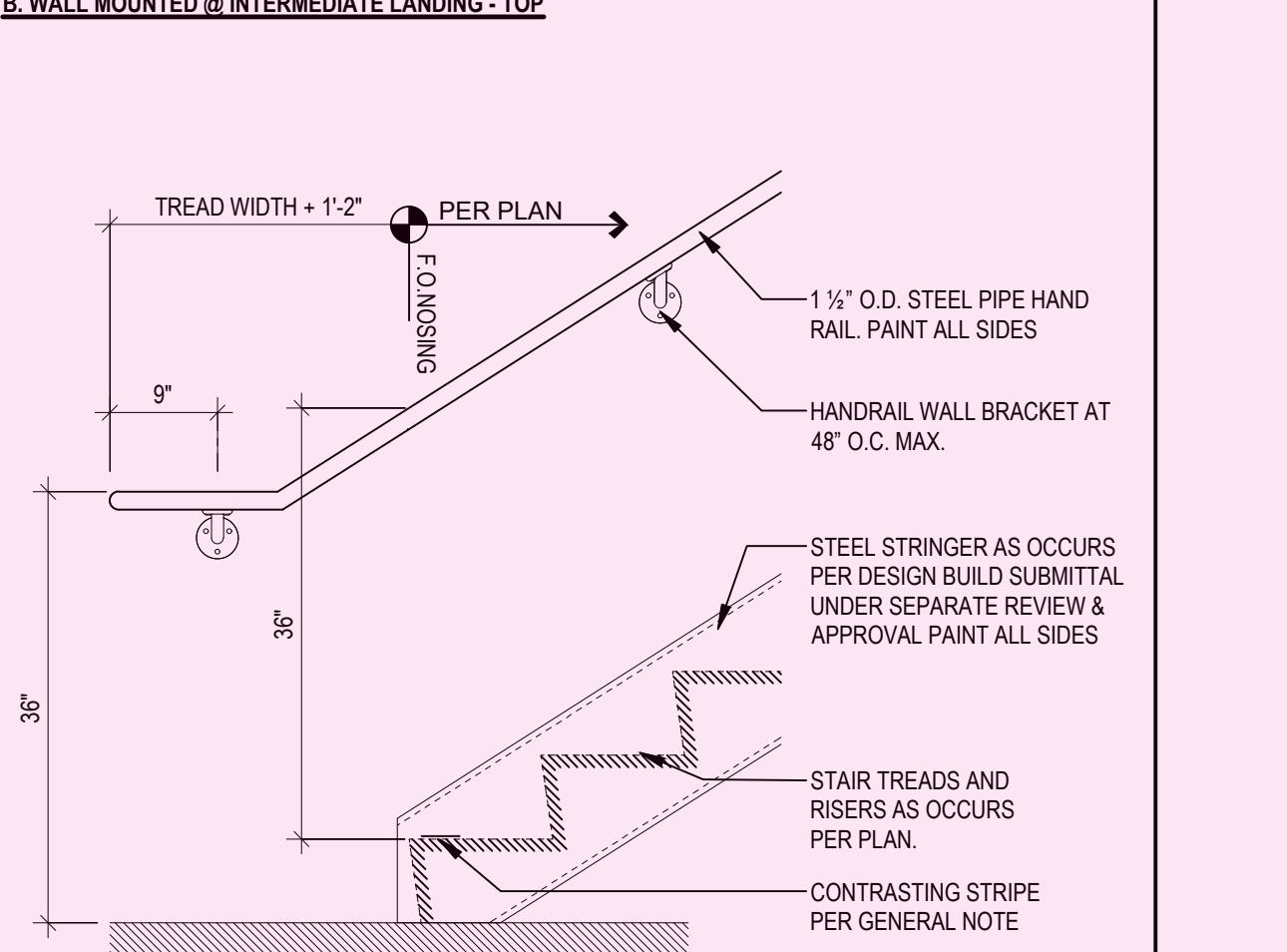
C. STRINGER MOUNTED GUARDRAIL/HANDRAIL @ INTERMEDIATE LANDING - BOTTOM



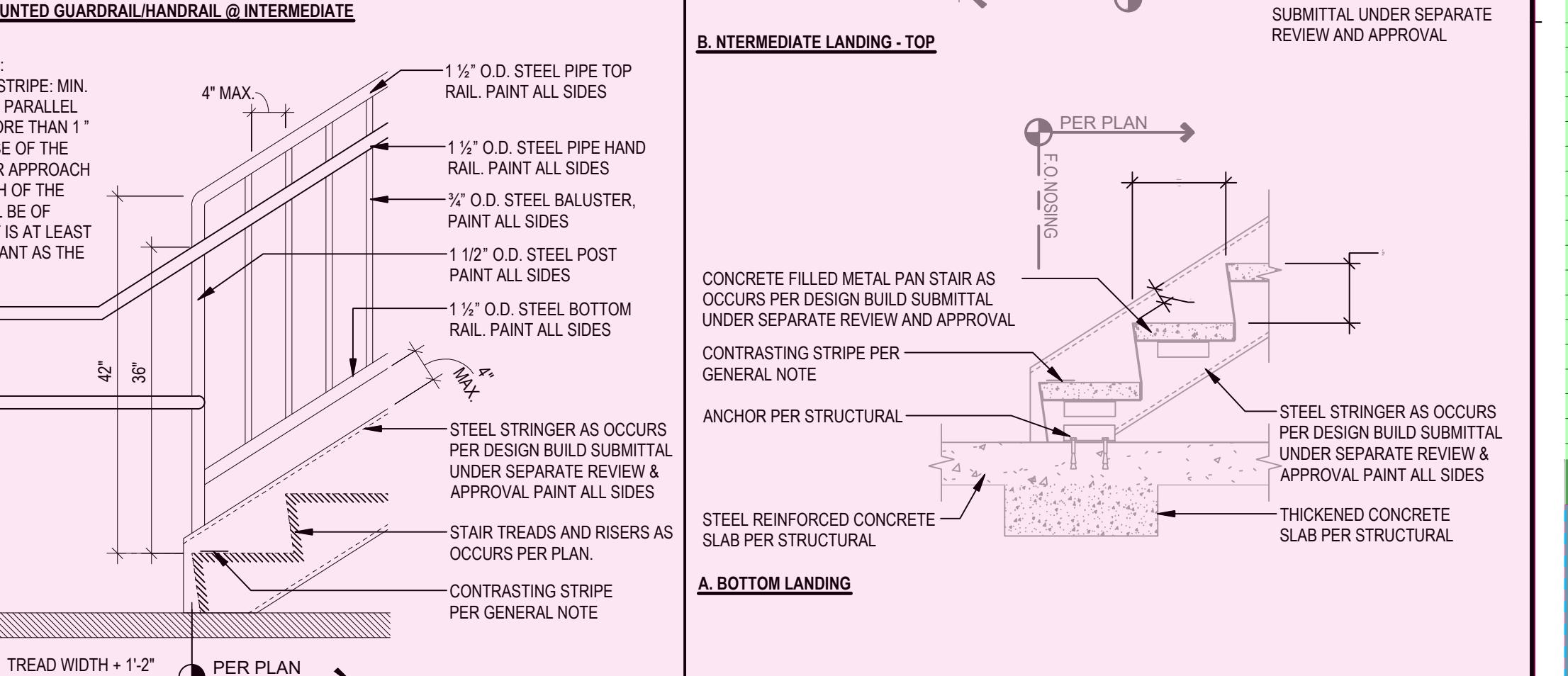
B. WALL MOUNTED @ INTERMEDIATE LANDING - TOP



B. STRINGER MOUNTED GUARDRAIL/HANDRAIL @ INTERMEDIATE LANDING - TOP



A. WALL MOUNTED @ BOTTOM LANDING



A. STRINGER MOUNTED GUARDRAIL/HANDRAIL @ BOTTOM LANDING

HANDRAIL DETAILS 3/4" = 1'-0" **21**

HANDRAIL DETAILS 3/4" = 1'-0" **14**

STAIR RAILING DETAILS 3/4" = 1'-0" **7**

STAIR DETAILS 3/4" = 1'-0" **1**

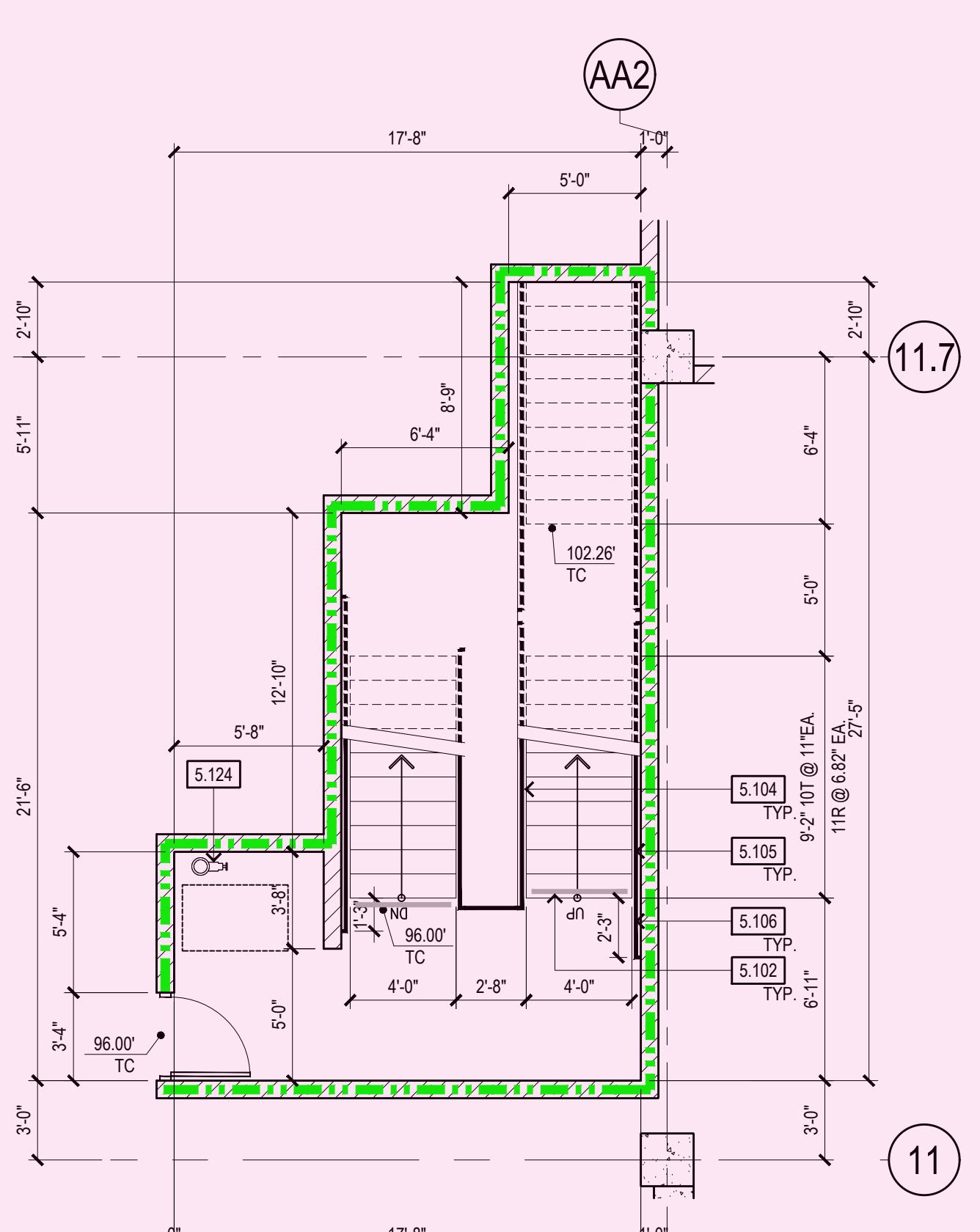
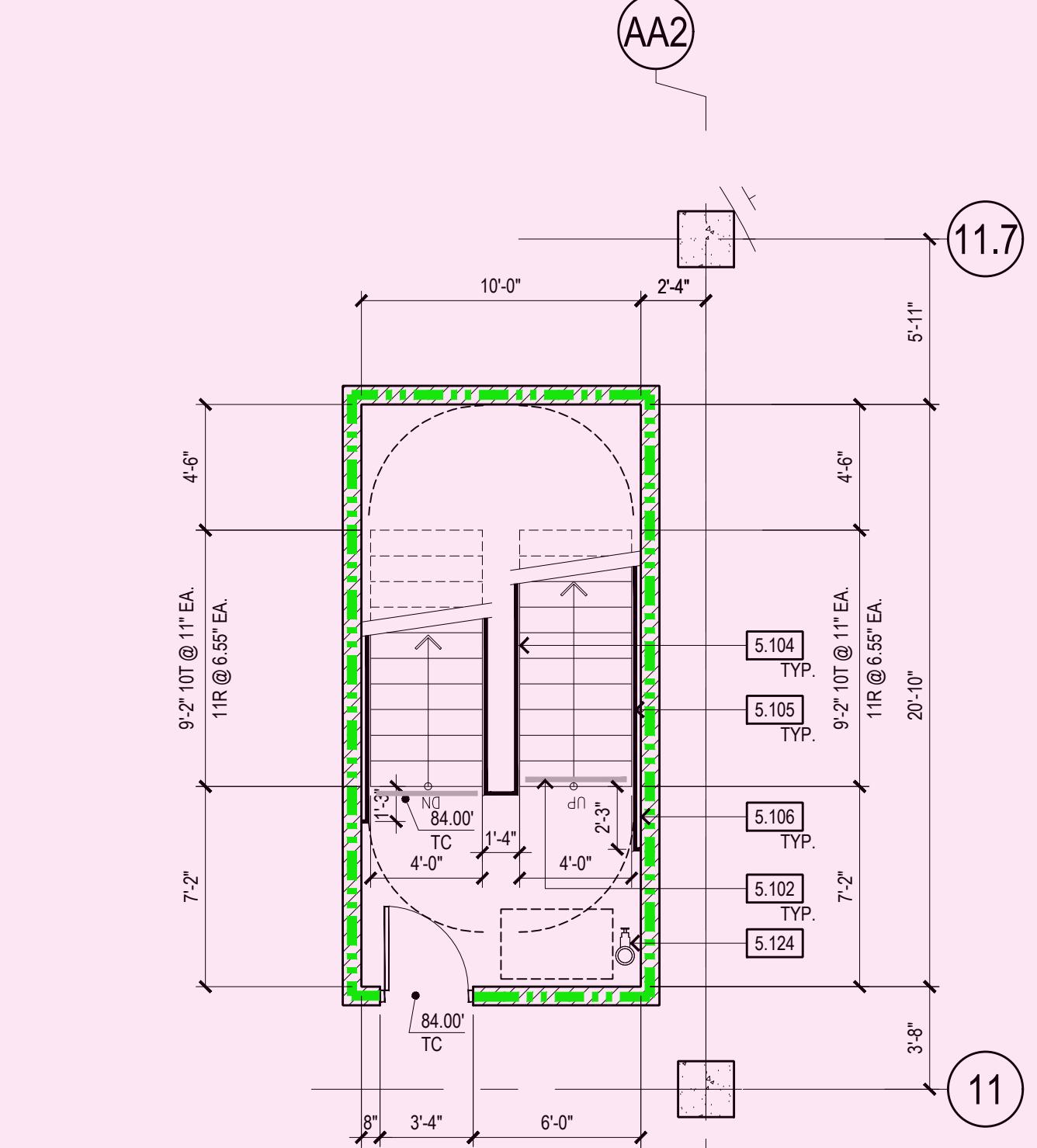
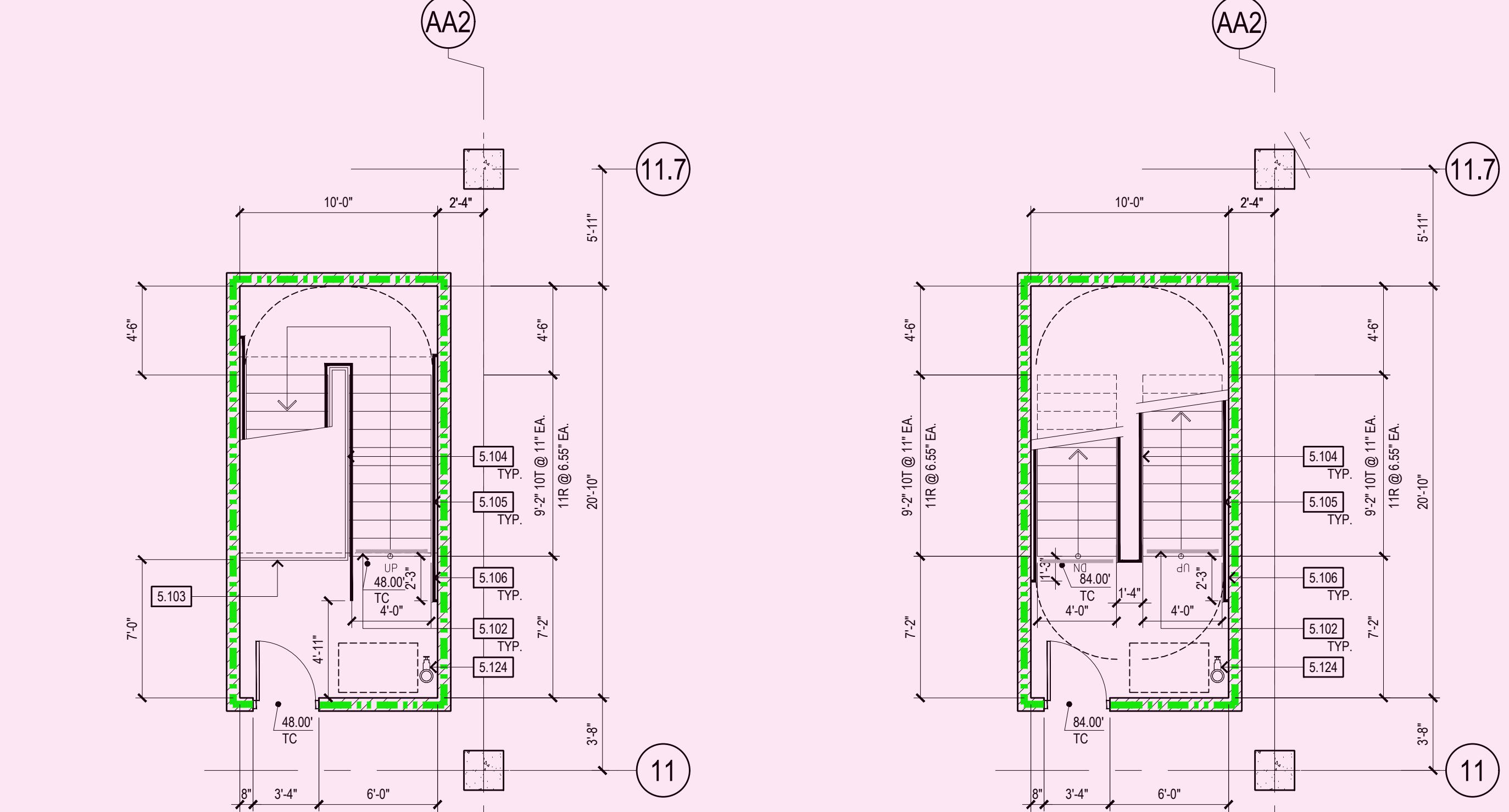
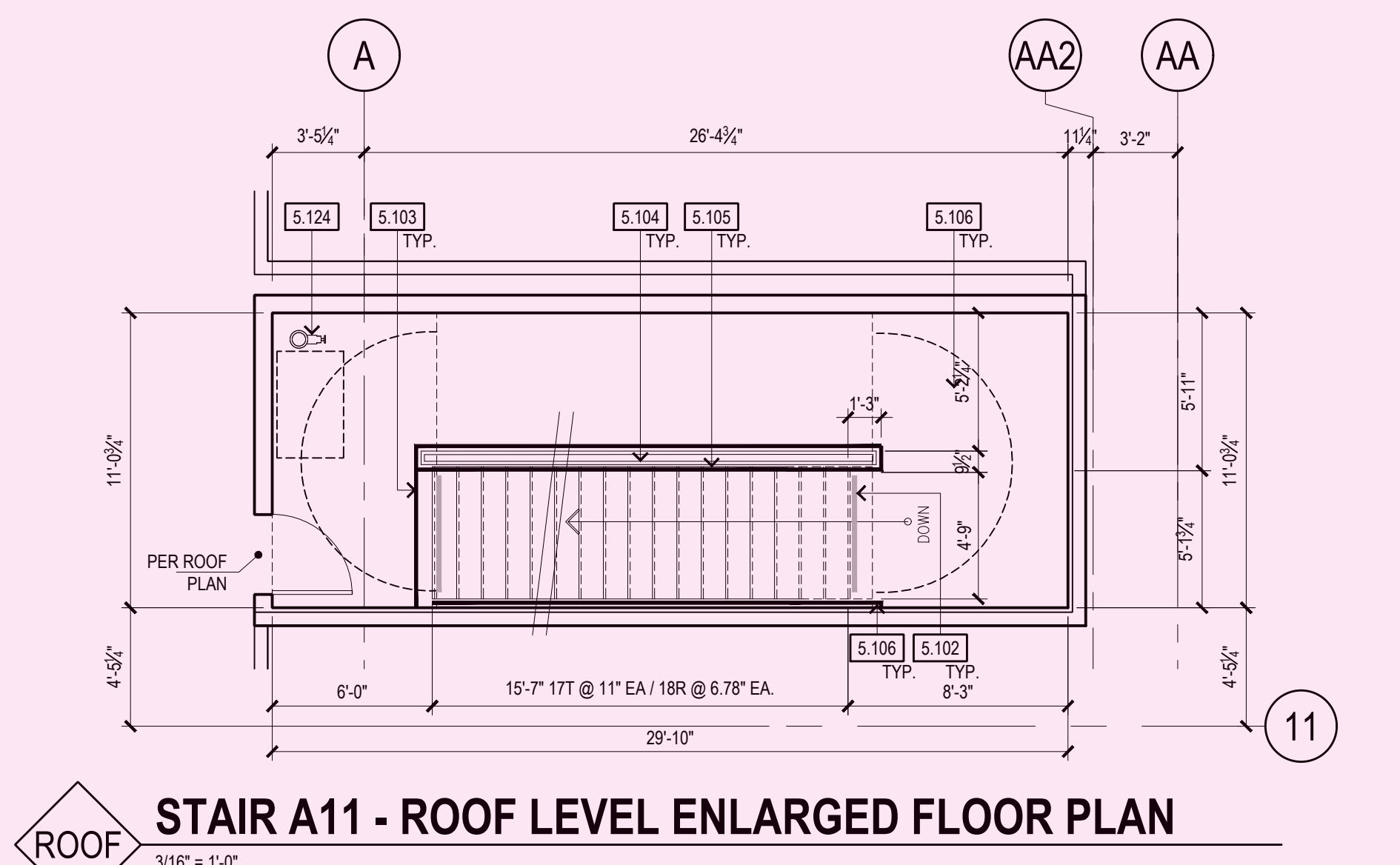
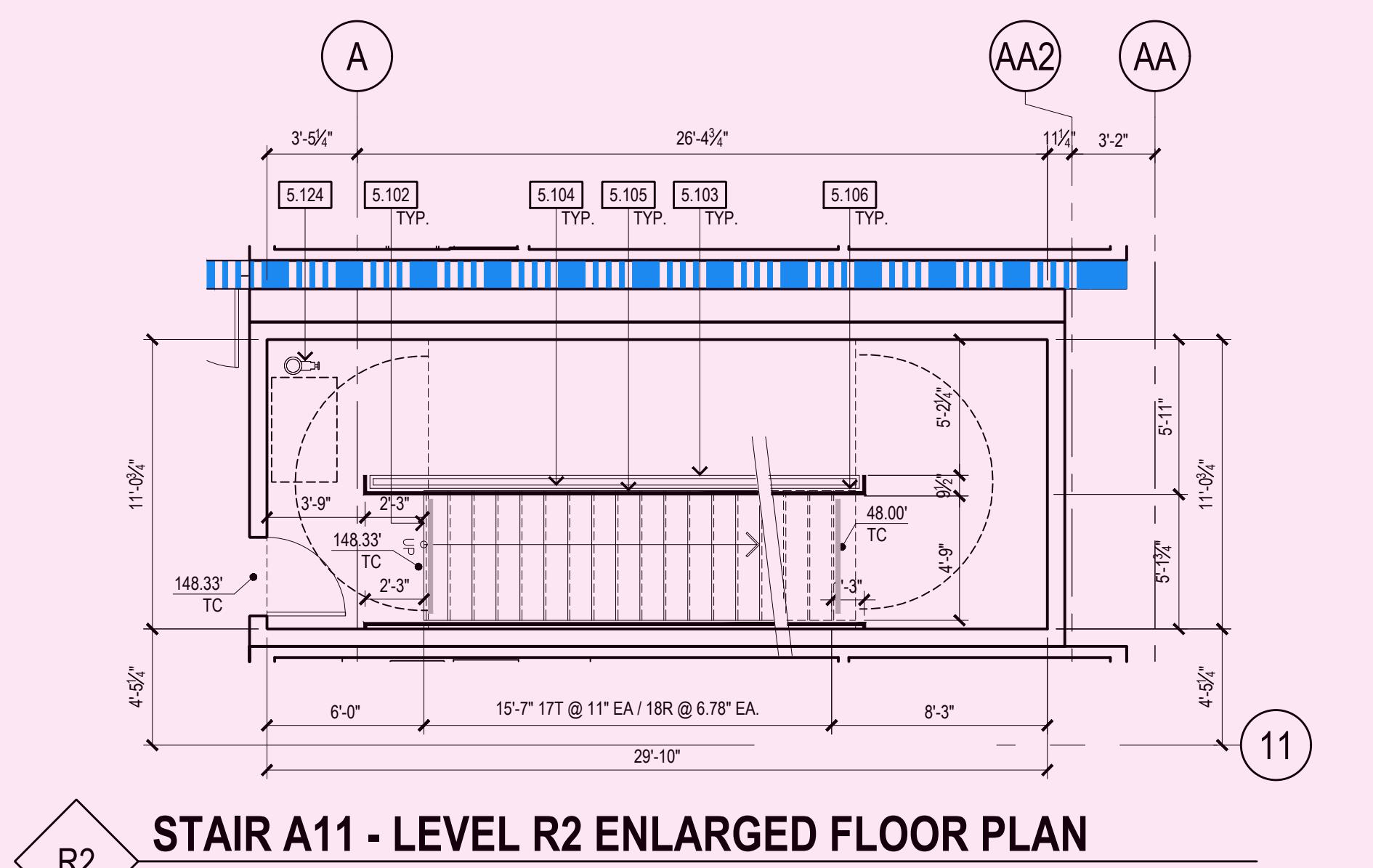
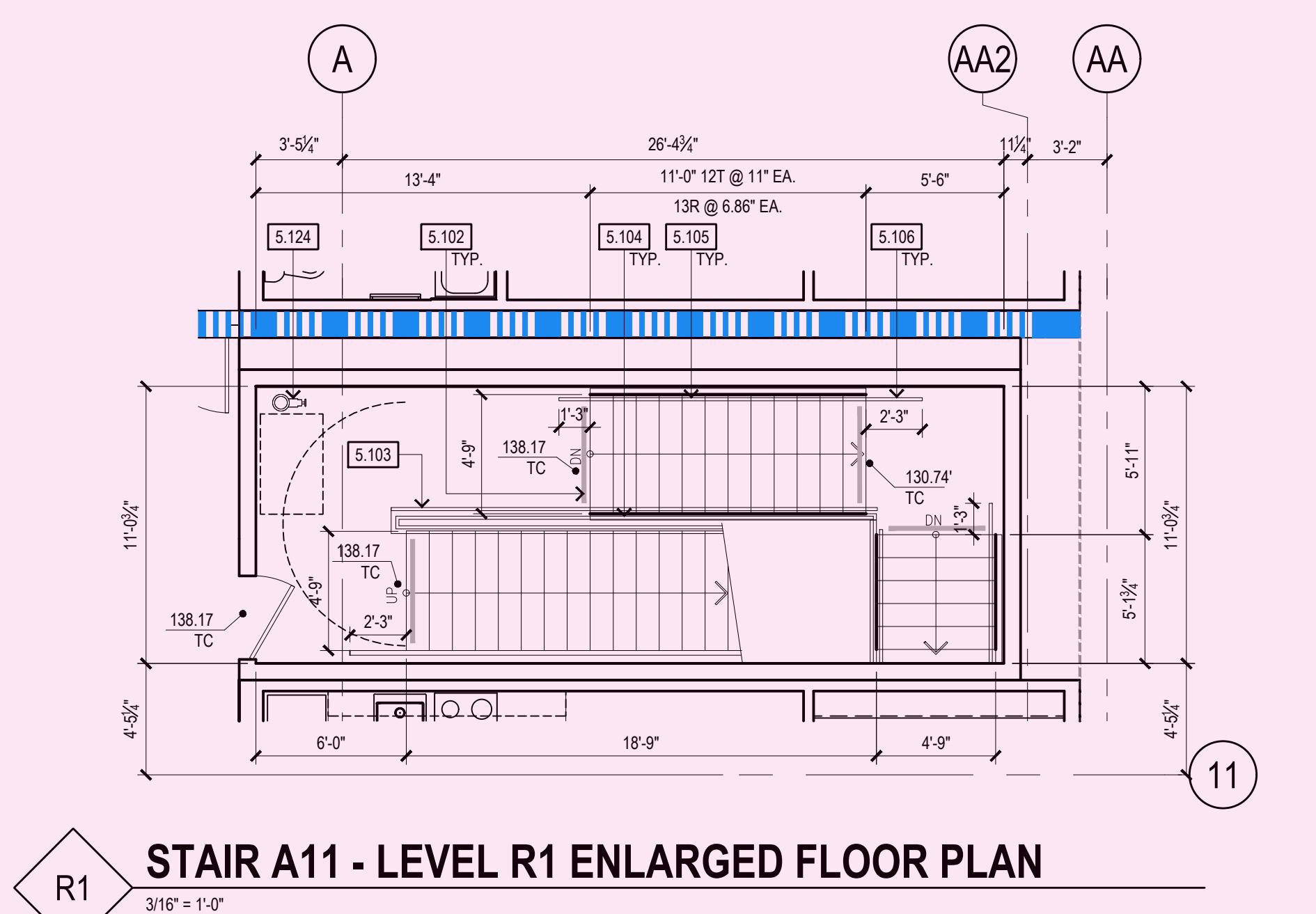
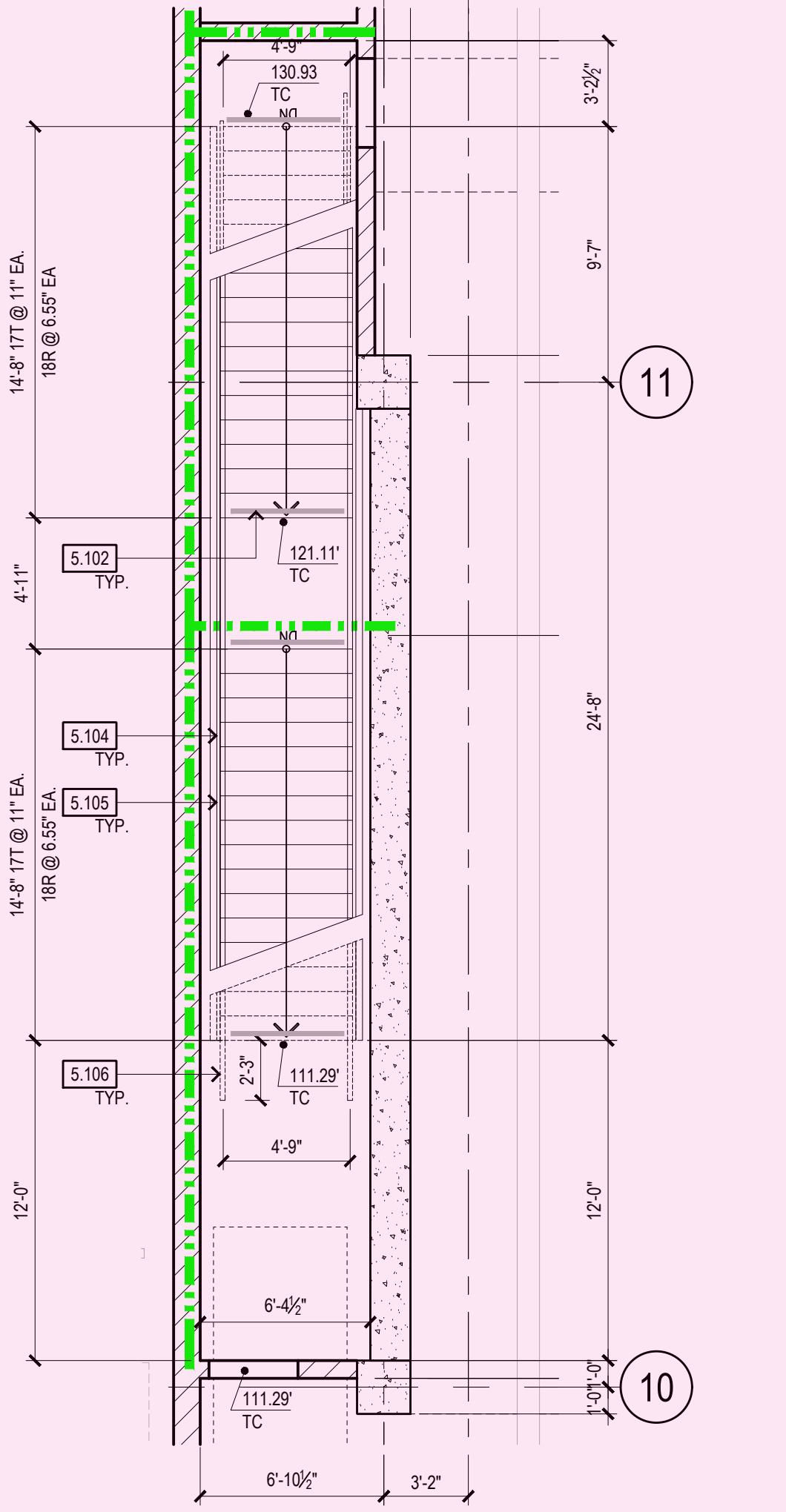
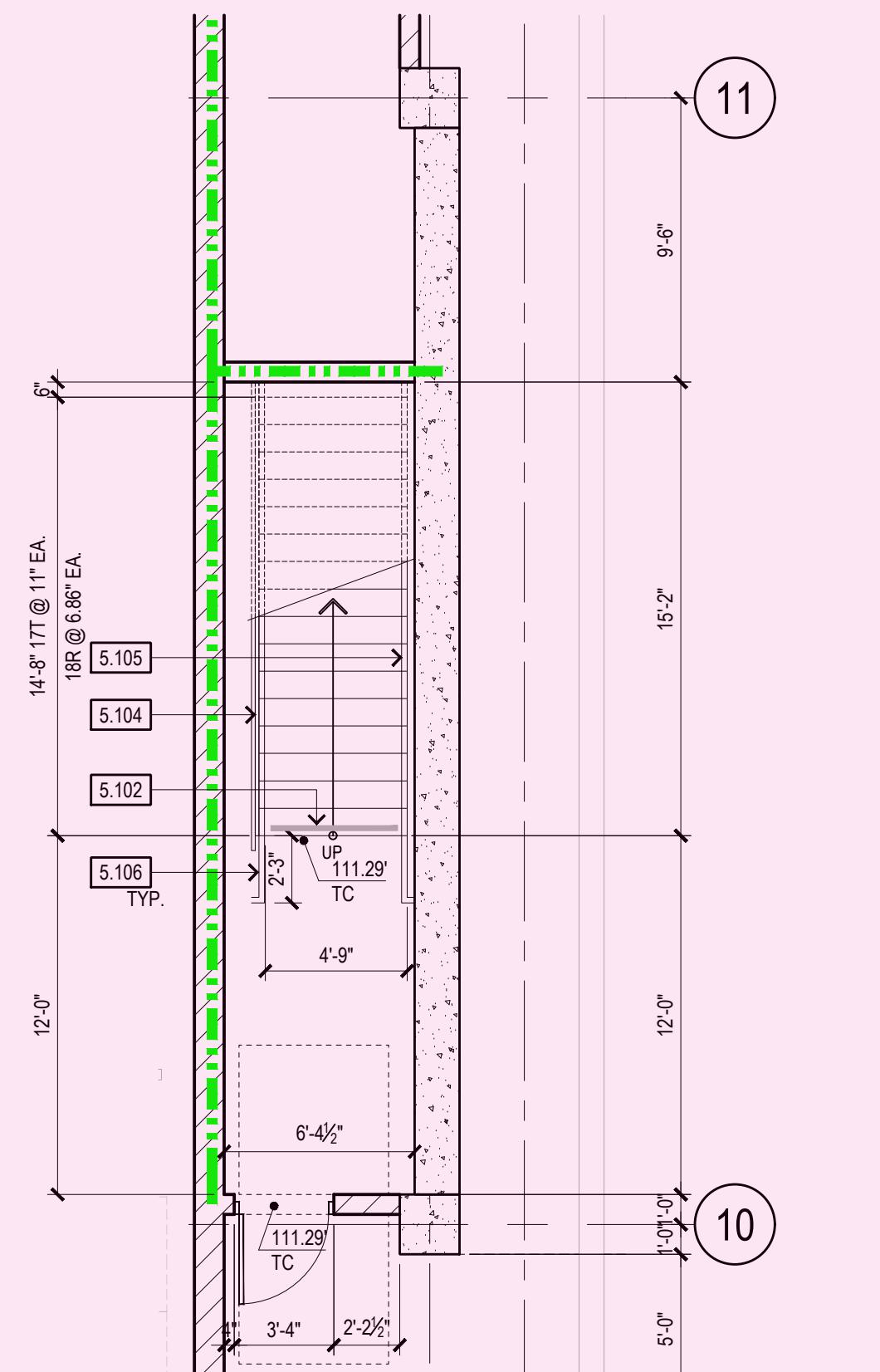
Project Number: 2021-407
 Plan Check Number: TBO
 12/14/2022 1st BLDG. DEPT. SUBMITTAL

A5.0-2
GENERAL STAIRWAY NOTES

- REFER TO SHEET **A10** FOR STANDARD RAILING DETAILS. AND SHEET **A11** FOR STANDARD STAIR DETAILS.
- REFER TO SHEET **T10** FOR ADDITIONAL STAIR ACCESSIBILITY REQUIREMENTS.
- INTERIOR STAIRS SHALL HAVE THE UPPER APPROACH AND LOWER TREAD MARKED BY A STRIPE PROVIDING CLEAR VISUAL CONTRAST TO THE SURFACE. THE STRIPE SHALL BE A MINIMUM OF 2 INCHES WIDE TO A MAXIMUM OF 4 INCHES WIDE PLACED PARALLEL TO, AND NOT MORE THAN 1 INCH FROM, THE NOSE OF THE STEP OR UPPER APPROACH. THE STRIPE SHALL BE A MINIMUM OF 1/2 INCHES THICK. THE MATERIAL OF THE STRIPE SHALL BE OF MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR. PAINTED STRIPE SHALL BE ACCEPTABLE. GROOVES SHALL NOT BE USED TO SATISFY THIS REQUIREMENT. CRC #118-504.41
- STAIRS SHALL HAVE HANDRAILS COMPLYING WITH SECTION 11B-505 HANDRAILS. CBC #118-504.6
- STAIR TREADS AND LANDINGS SUBJECT TO WET CONDITIONS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF WATER. CBC #118-504.7
- TOE KICKS SHALL NOT EXCEED 1/4 INCH. CBC #118-504.8
- SIGN GENERAL 11B-703.2 RAISED CHARACTERS, 11B-703.3 BRAILLE AND 11B-703.5 VISUAL CHARACTERS SHALL BE LOCATED AT THE LANDING OF EACH FLOOR LEVEL, PLACED ADJACENT TO THE DOOR ON THE LATICE SIDE, IN ALL ENTRANCES AND EXIT DISCHARGE LEVELS. THE SIGN SHALL INCLUDE A RAISED FIVE POINTED STAR LOCATED TO THE LEFT OF THE IDENTIFYING FLOOR LEVEL. THE OUTSIDE DIAMETER OF THE STAR SHALL BE THE SAME AS THE HEIGHT OF THE RAISED CHARACTERS. CBC #118-504.9

KEY NOTES

- PROVIDE CONTRASTING STRIPE AT ALL TREADS AND UPPER STAIR APPROACH. THE STRIPE SHALL BE A MIN. 2" MAX. 4" WIDE PLACED PARALLEL TO AND NOT MORE THAN 1" FROM, THE NOSE OF THE STEP OR APPROACH. THE STRIPE SHALL BE A MIN. 1/2" THICK. THE MATERIAL OF THE STRIPE SHALL BE OF MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR.
- PROVIDE CONTRASTING STRIPE AT THE UPPER STAIR APPROACH AND BOTTOM TREAD. THE STRIPE SHALL BE A MIN. 2" MAX. 4" WIDE PLACED PARALLEL TO AND NOT MORE THAN 1" FROM, THE NOSE OF THE STEP OR APPROACH. THE STRIPE SHALL BE A MIN. 1/2" THICK. THE MATERIAL OF THE STRIPE SHALL BE OF MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR.
- CONTINUOUS 1 1/2" O.D. POWDER COATED POSTS MOUNTED STEEL GUARDRAL. TOP OF GUARDRAL TO BE 1 1/2" ABOVE ADJACENT STAIR TREAD NOSING/ADJACENT WALKING SURFACE. PROVIDE 1 1/2" O.D. CONTINUOUS 1 1/2" O.D. POWDER COATED POSTS MOUNTED INTO ADJACENT CONCRETE STAIR SLAB WITH METAL SLEEVE AND NON-SHRINK EPOXY GROUT.
- CONTINUOUS 1 1/2" O.D. POWDER COATED POSTS MOUNTED STEEL GUARDRAL. TOP OF GUARDRAL TO BE 1 1/2" ABOVE ADJACENT STAIR TREAD NOSING/ADJACENT WALKING SURFACE. PROVIDE 1 1/2" O.D. CONTINUOUS 1 1/2" O.D. STEEL HANDRAIL. TOP OF HANDRAIL TO BE 3 1/2" AFF OR ABOVE NOSING LINE OF STAIR.
- CONTINUOUS 1 1/2" O.D. STEEL GUARDRAL. TOP OF GUARDRAL TO BE 3 1/2" AFF OR ABOVE NOSING LINE OF STAIR.
- PROVIDE HANDRAIL EXTENSIONS AT THE TOP AND BOTTOM OF EACH STAIR RUN. EXTENSION SHALL BE MIN. 1' 3" AT TOP OF STAIR RUN AND 2' 3" AT BOTTOM OF STAIR RUN ORIENTED IN THE DIRECTION OF STAIR. IF STAIR IS TURNED, RETURN TO AN ADJACENT WALL, SHALL WRAP DOWN AND AROUND BACK TO THE ADJACENT SUPPORTING POST, OR SHALL WRAP DOWN AND BE ANCHORED ON THE FLOOR SURFACE.
- POURED IN PLACE CONCRETE STARS.
- EGRESS STAIR PROVIDED AND INSTALLED BY TENANT. SHOWN FOR COORDINATION ONLY.
- CONTINUOUS POST-MOUNTED 1 1/2" STEEL RAIL BARRIER, WHERE VERTICAL CLEARANCE AT STAIRWAY IS LESS THAN 80". TOP OF RAIL TO BE 27" MAX A.F.P.
- AREA DRAIN REFER TO PLUMBING DRAWINGS FOR ADDL. INFO. SLOPE AREA TO DRAIN AT LESS THAN 1/4" PER FOOT. TYP.
- MIN. 42" HIGH POURED IN PLACE CONCRETE LOW WALL AS A GUARDRAIL.
- DOOR PROVIDED AND INSTALLED BY TENANT.
- 30x48" AREA OF RESCUE ASSISTANCE.
- CLASS I STANDPIPE & FIRE HOSE CONNECTION.

**STAIR A12 - LEVEL G
ENLARGED FLOOR PLAN**

**STAIR A12 - LEVEL P1
ENLARGED FLOOR PLAN**

**STAIR A12 - LEVEL P5
ENLARGED FLOOR PLAN**

**STAIR A12 - LEVEL P2, 3, & 4
ENLARGED FLOOR PLAN**
STAIR A12 ENLARGED FLOOR PLANS

STAIR A11 - ROOF LEVEL ENLARGED FLOOR PLAN

STAIR A11 - LEVEL R2 ENLARGED FLOOR PLAN

STAIR A11 - LEVEL R1 ENLARGED FLOOR PLAN

**STAIR A11 - LEVEL M
ENLARGED FLOOR PLAN**

**STAIR A11 - LEVEL G
ENLARGED FLOOR PLAN**
STAIR A11 ENLARGED FLOOR PLANS
SYMBOLS LEGEND

PROPERTY LINE		SLAB OPENING	
NEW NON-RATED WALLS		ASSEMBLY TYPE	
NEW CMU WALLS		GENERAL DIRECTION	
NEW 1 HR FIRE RATED WALLS		OF SLOPE	
NEW 2 HR FIRE RATED WALLS			
NEW 3 HR FIRE RATED WALLS			
CONSTRUCTION BY TENANT			
FLOOR ELEVATION CHANGE			

A5.0-2

GENERAL STAIRWAY NOTES

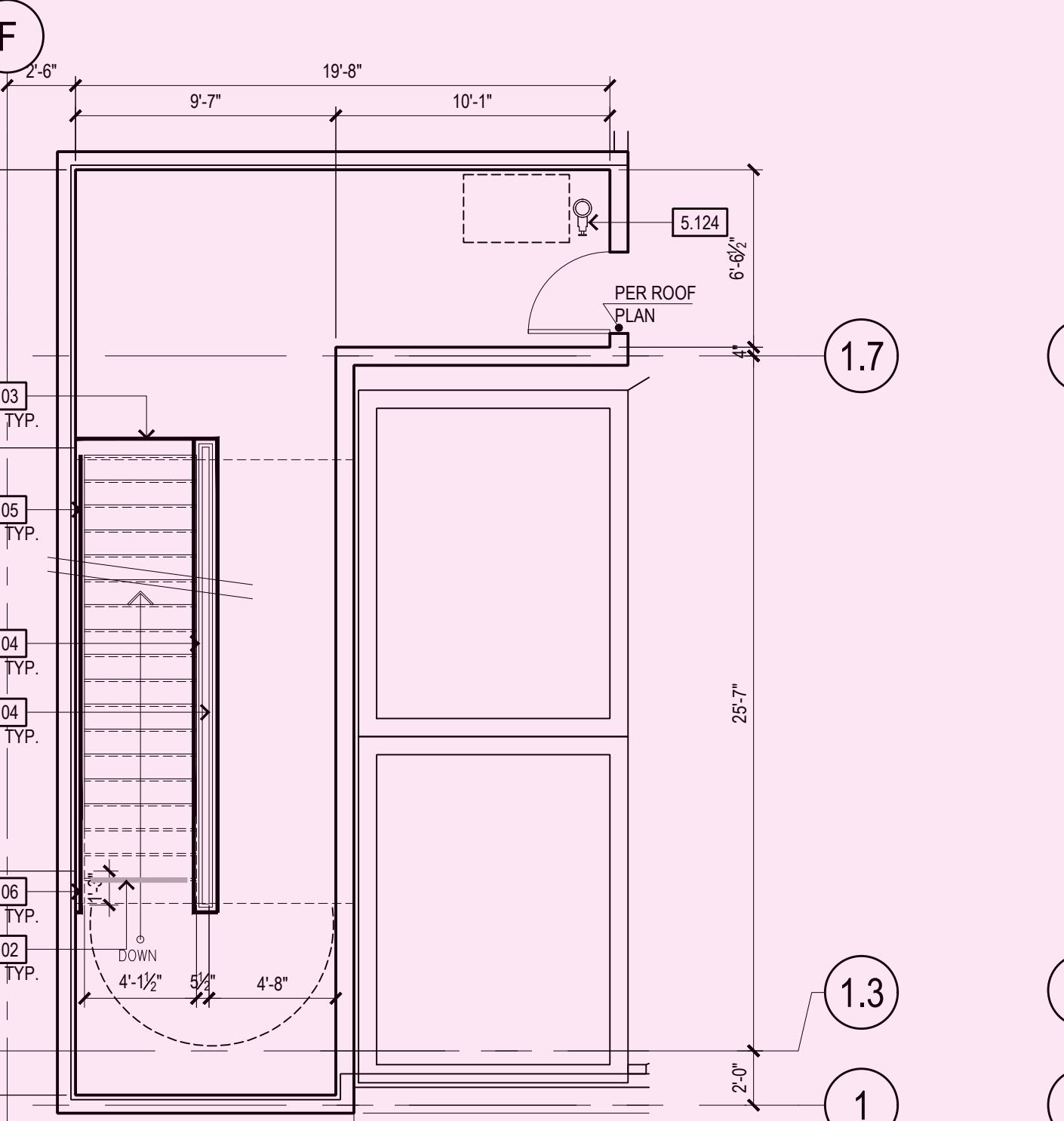
1. REFER TO SHEET [A101](#) FOR STANDARD RAILING DETAILS. AND SHEET [A102](#) FOR STANDARD STAIR DETAILS.
2. REFER TO SHEET [A103](#) FOR ADDITIONAL STAIR ACCESSIBILITY REQUIREMENTS.
3. INTERIOR STAIRS SHALL HAVE THE UPPER APPROACH AND LOWER TREAD MARKED BY A STRIPE PROVIDING CLEAR VISUAL CONTRAST TO THE SURFACE. THE STRIPE SHALL BE A MINIMUM OF 2 INCHES WIDE TO A MAXIMUM OF 4 INCHES WIDE PLACED PARALLEL TO, AND NOT MORE THAN 1 INCH FROM, THE NOSE OF THE STEP OR UPPER APPROACH. THE STRIPE SHALL BE A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR. PAINTED STRIPE SHALL BE ACCEPTABLE. GROOVES SHALL NOT BE USED TO SATISFY THIS REQUIREMENT. CRC #11B-504.4.1
4. STAIRS SHALL HAVE HANDRAILS COMPLYING WITH SECTION 110-505 HANDRAILS. CBC #11B-504.6
5. STAIR TREADS AND LANDINGS SUBJECT TO WET CONDITIONS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF WATER. CBC #11B-504.7
6. STAIRS SHALL BE IDENTIFIED BY RAISED CHARACTERS. THE RAISED CHARACTERS SHALL BE LOCATED AT THE LANDING OF EACH FLOOR LEVEL, PLACED ADJACENT TO THE DOOR ON THE LATCH SIDE. IN ALL ENTRANCES TO THE STAIR, THE RAISED CHARACTERS SHALL BE LOCATED ON THE LATCH SIDE OF THE STAIR. AT THE EXIT DISCHARGE LEVEL, THE SIGN SHALL INCLUDE A RAISED FIVE POINTED STAR LOCATED TO THE LEFT OF THE IDENTIFYING FLOOR LEVEL. THE OUTSIDE DIAMETER OF THE STAR SHALL BE THE SAME AS THE HEIGHT OF THE RAISED CHARACTERS. CRC #11B-504.8

KEY NOTES

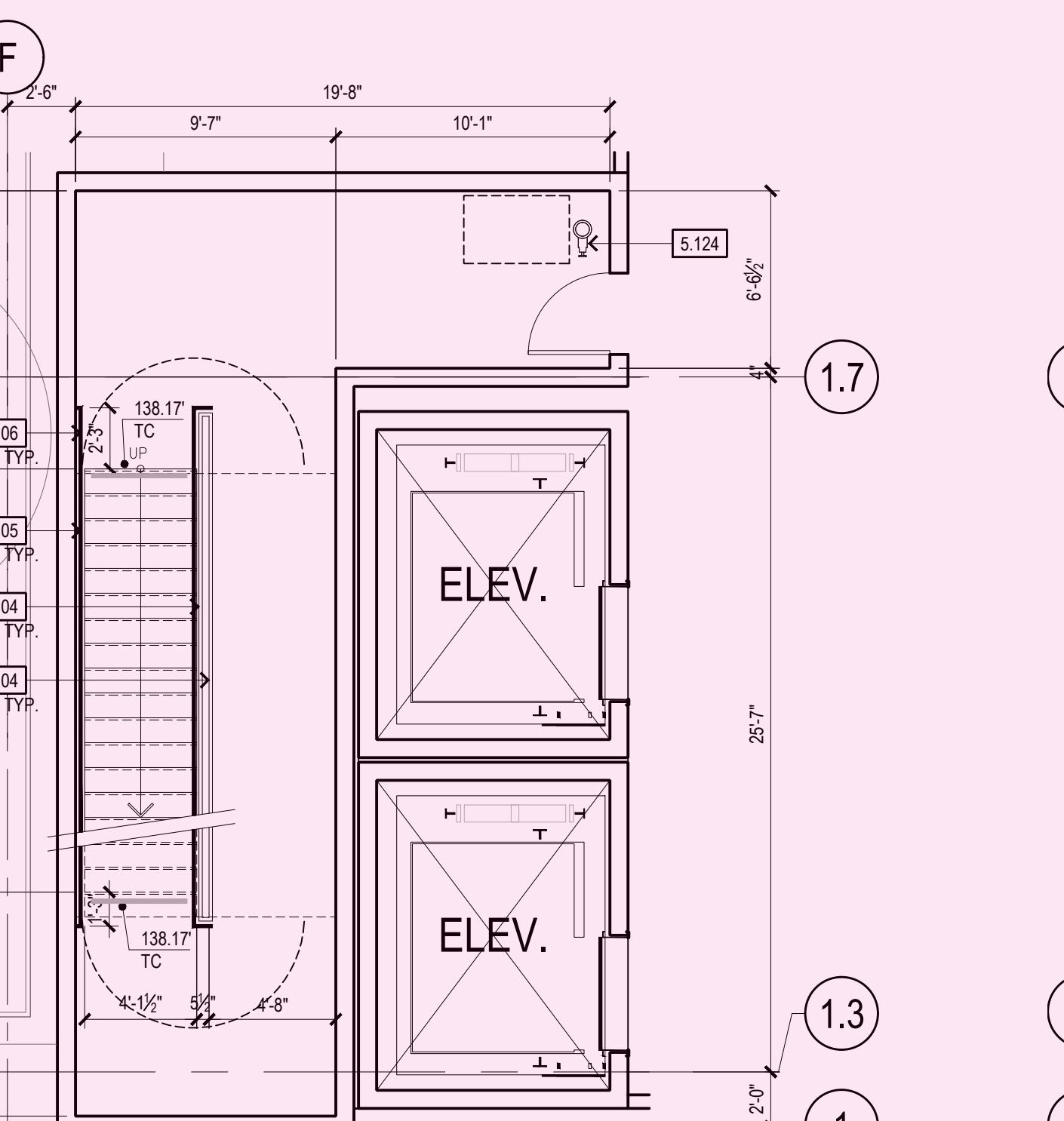
- 5.101 PROVIDE CONTRASTING STRIPE AT ALL TREADS AND UPPER STAIR APPROACH. THE STRIPE SHALL BE A MIN. 2" MAX. 4" WIDE PLACED PARALLEL TO AND NOT MORE THAN 1" FROM, THE NOSE OF THE STEP OR APPROACH. THE STRIPE SHALL BE A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR.
- 5.102 PROVIDE CONTRASTING STRIPE AT THE UPPER STAIR APPROACH AND BOTTOM TREAD. THE STRIPE SHALL BE A MIN. 2" MAX. 4" WIDE PLACED PARALLEL TO AND NOT MORE THAN 1" FROM, THE NOSE OF THE STEP OR APPROACH. THE STRIPE SHALL BE A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR.
- 5.103 CONTINUOUS 1 1/2 O.D. POWDER COATED POSTS MOUNTED STEEL GUARDRAL. TOP OF GUARDRAL TO BE 3' 0" ABOVE ADJACENT STAIR TREAD NOSING/ADJACENT WALKING SURFACE. PROVIDE 1 1/2" O.D. POWDER COATED POSTS MOUNTED STEEL GUARDRAL. TOP OF GUARDRAL TO BE 3' 0" ABOVE ADJACENT WALKING SURFACE. PROVIDE 1 1/2" O.D. POWDER COATED POSTS MOUNTED STEEL GUARDRAL. TOP OF GUARDRAL TO BE 3' 0" ABOVE ADJACENT STAIR TREAD NOSING/ADJACENT WALKING SURFACE. PROVIDE 1 1/2" O.D. POWDER COATED POSTS MOUNTED STEEL GUARDRAL. TOP OF GUARDRAL TO BE 3' 0" ABOVE ADJACENT WALKING SURFACE.
- 5.104 CONTINUOUS 1 1/2 O.D. STEEL GUARDRAL. TOP OF GUARDRAL TO BE 3' 0" AFF OR ABOVE NOSING LINE OF STAIR AND LANDINGS.
- 5.105 CONTINUOUS 1 1/2 O.D. STEEL GUARDRAL. TOP OF GUARDRAL TO BE 3' 0" AFF OR ABOVE NOSING LINE OF STAIR AND LANDINGS.
- 5.106 PROVIDE EGRESS STAIR PROVIDED AND INSTALLED BY TENANT. SHOWN FOR COORDINATION ONLY.
- 5.109 CONTINUOUS POST-MOUNTED 1 1/2" STEEL RAIL BARRIER, WHERE VERTICAL CLEARANCE AT STAIRWAY IS LESS THAN 80". TOP OF RAIL TO BE 27" MAX. A.F.P.
- 5.120 AREA DRAIN. REFER TO PLUMBING DRAWINGS FOR ADDL. INFO. SLOPE AREA TO DRAIN AT LESS THAN 1/4" PER FOOT.
- 5.121 MIN. 42" HIGH POURED IN PLACE CONCRETE LOW WALL AS A GUARDRAL.
- 5.122 DOOR PROVIDED AND INSTALLED BY TENANT.
- 5.123 30'x48" AREA OF RESCUE ASSISTANCE.
- 5.124 CLASS I STANDPIPE & FIRE HOSE CONNECTION.

**STAIR F01 LEVEL G1
ENLARGED FLOOR PLAN**

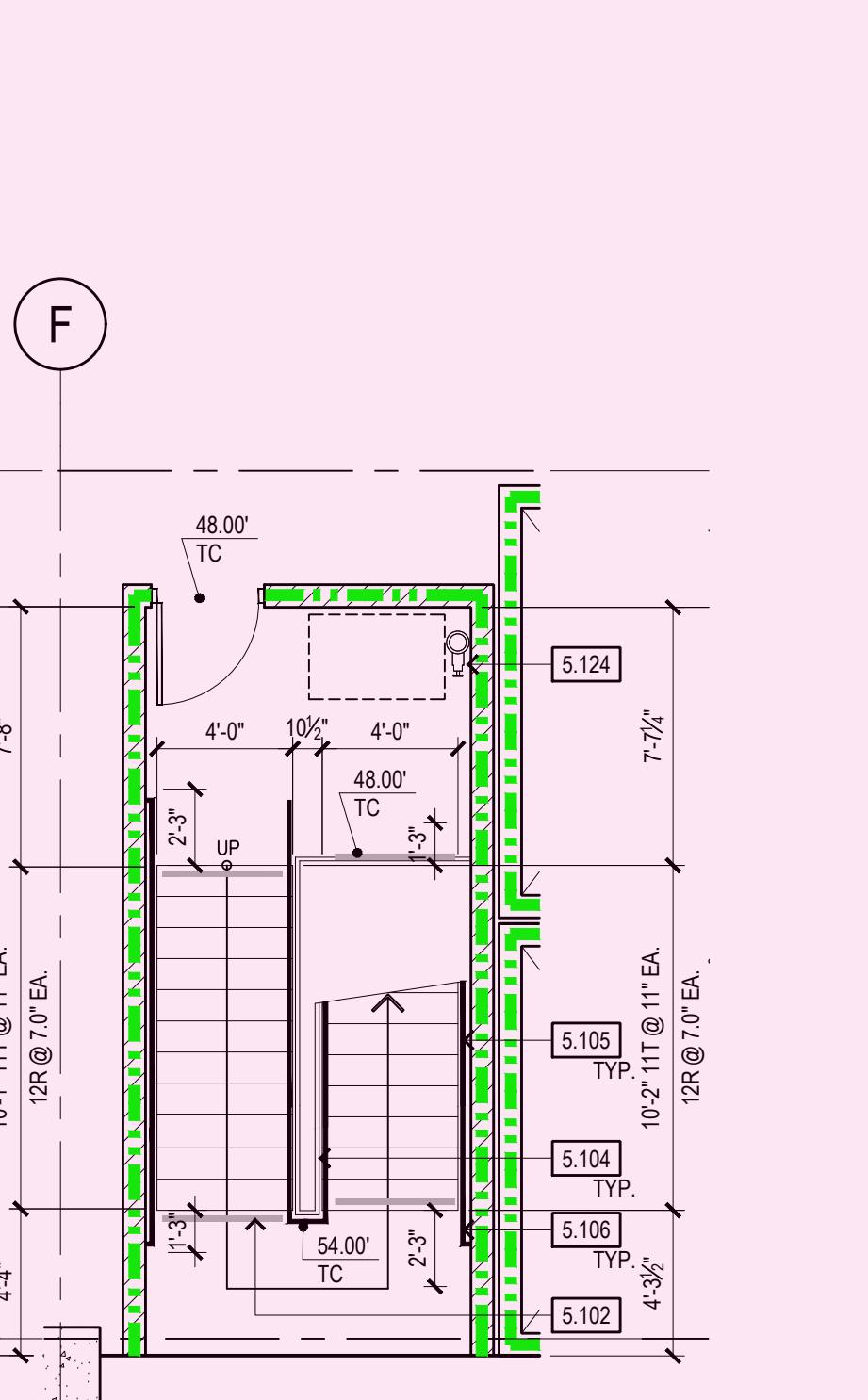
3/16" = 1'-0"


**STAIR F01 ROOF LEVEL
ENLARGED FLOOR PLAN**

3/16" = 1'-0"


**STAIR F01 LEVEL P1
ENLARGED FLOOR PLAN**

3/16" = 1'-0"


**STAIR F01 LEVEL R1-R6
ENLARGED FLOOR PLAN**

3/16" = 1'-0"


**STAIR F01 LEVEL P5-P2
ENLARGED FLOOR PLAN**

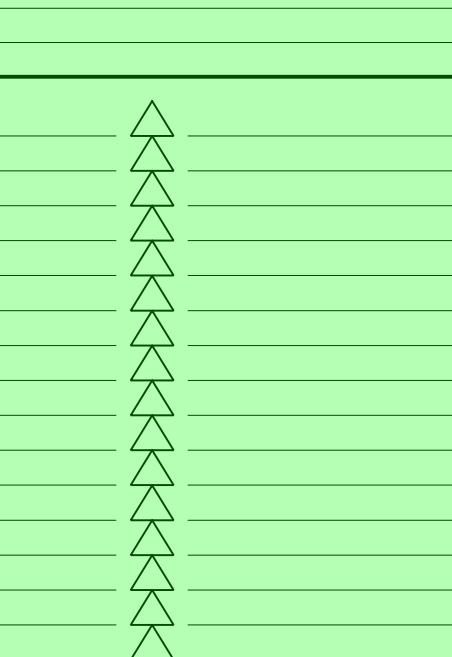
3/16" = 1'-0"


STAIR F01 ENLARGED FLOOR PLAN

3/16" = 1'-0"

SYMBOLS LEGEND

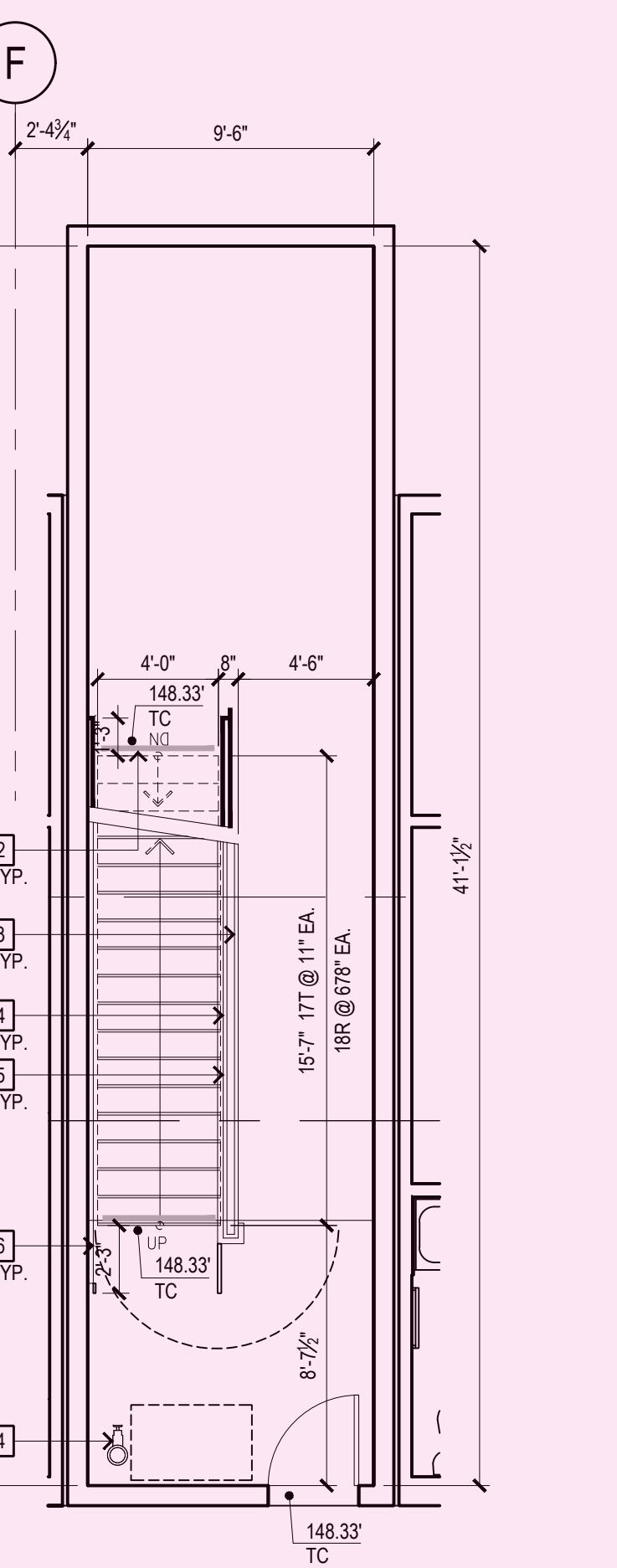
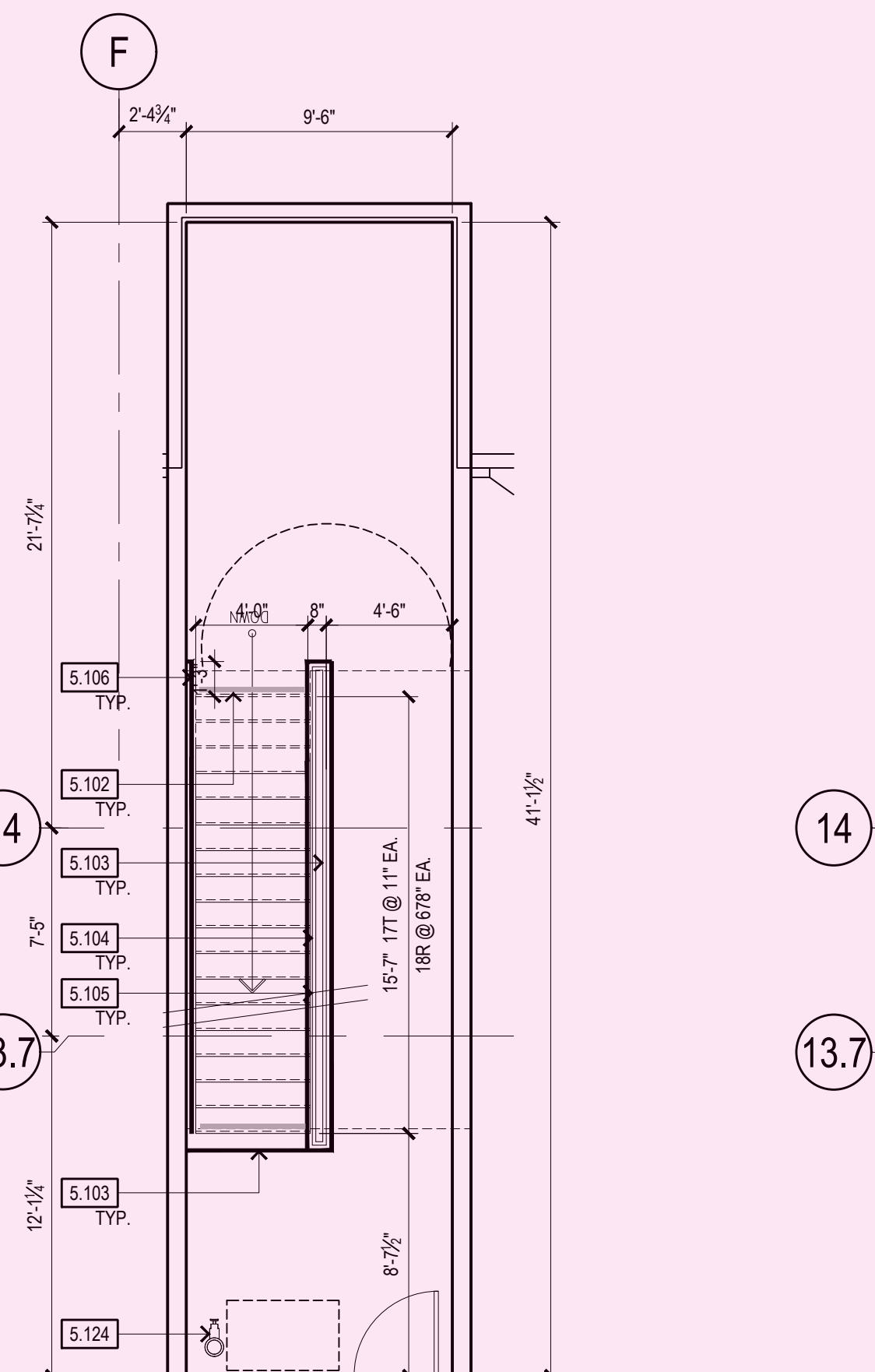
- | | | |
|---------------------------|-----|-------------------|
| PROPERTY LINE | --- | SLAB OPENING |
| NEW NON-RATED WALLS | --- | --- |
| NEW CMU WALLS | --- | --- |
| NEW 1 HR FIRE RATED WALLS | --- | ASSEMBLY TYPE |
| NEW 2 HR FIRE RATED WALLS | --- | GENERAL DIRECTION |
| NEW 3 HR FIRE RATED WALLS | --- | OF SLOPE |
| CONSTRUCTION BY TENANT | --- | |
| FLOOR ELEVATION CHANGE | --- | |

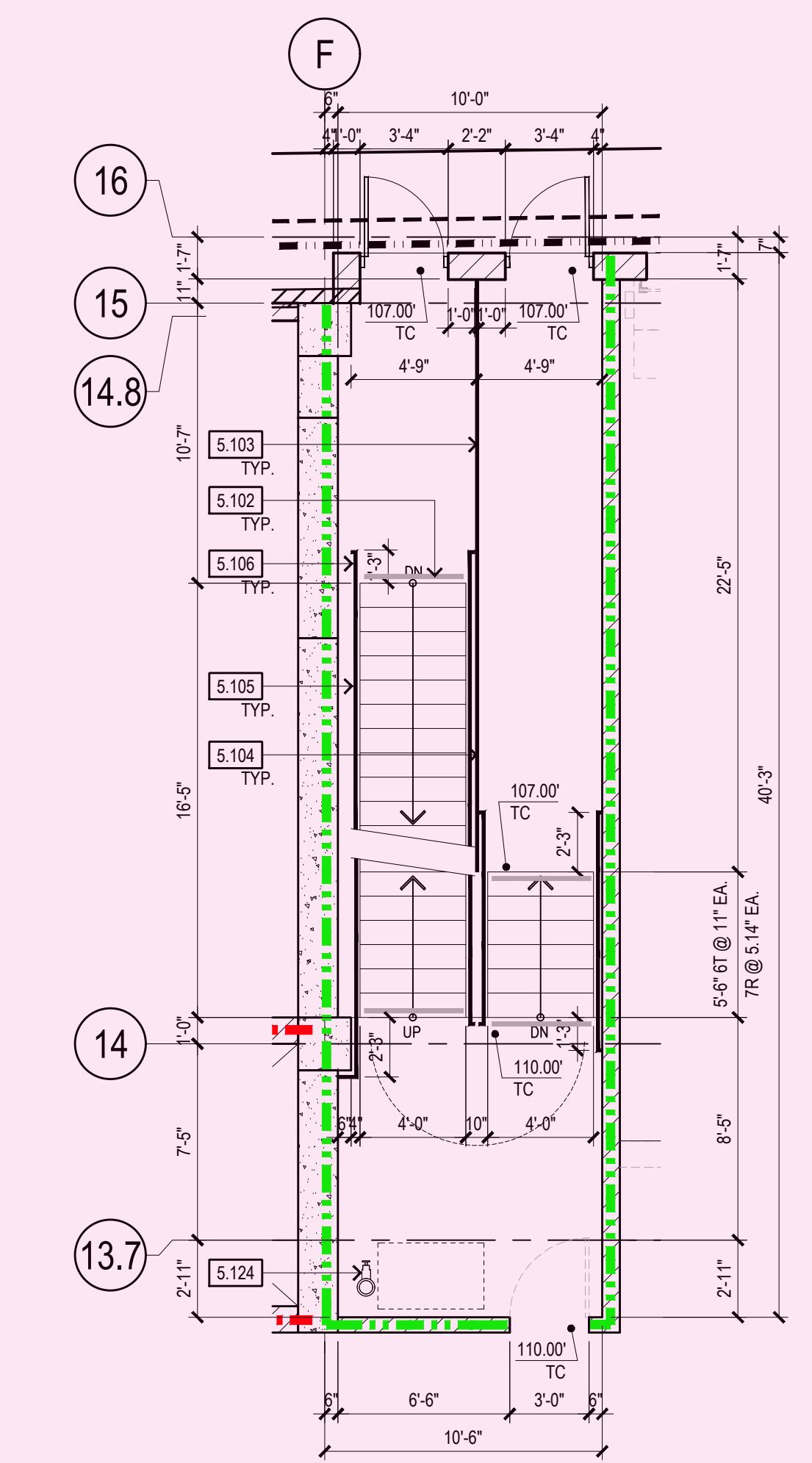
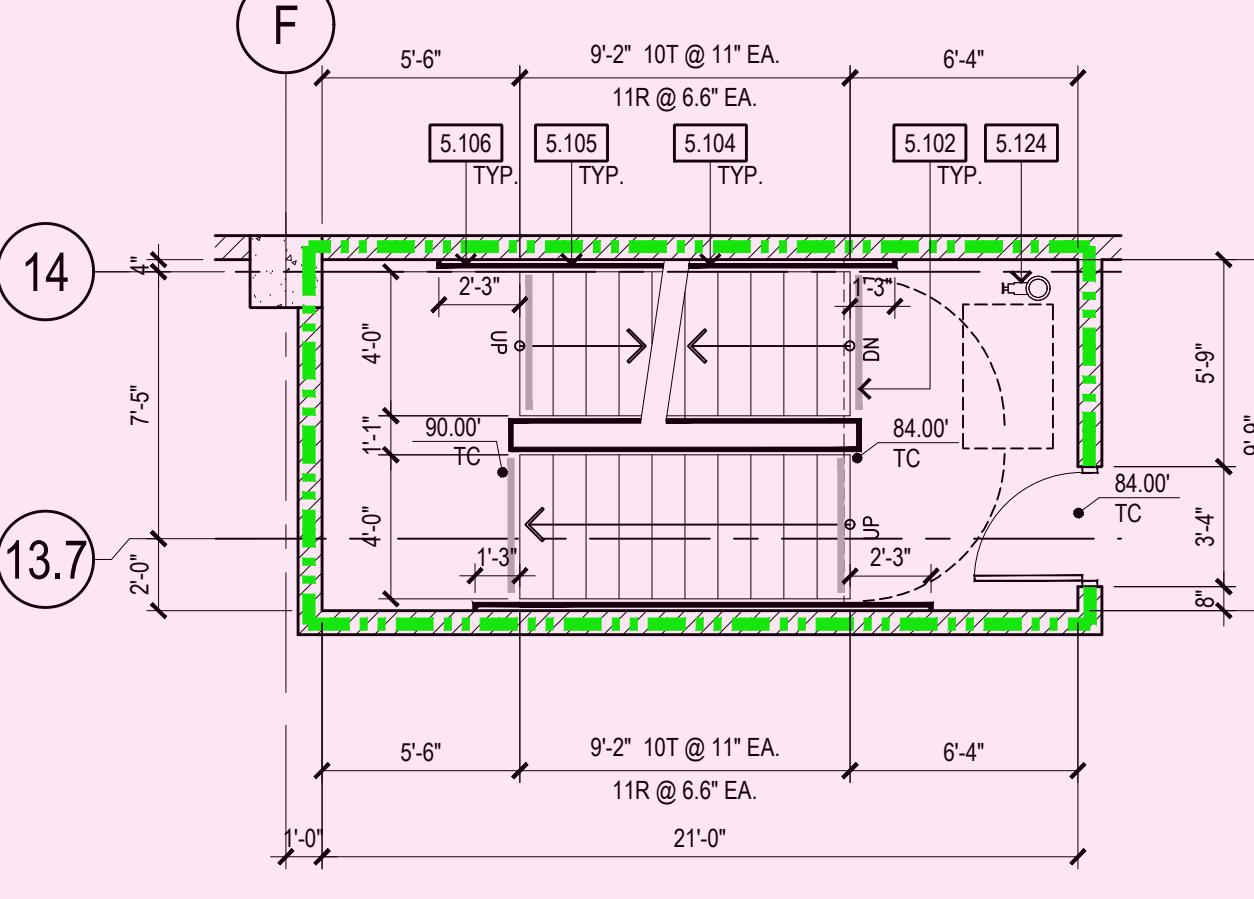
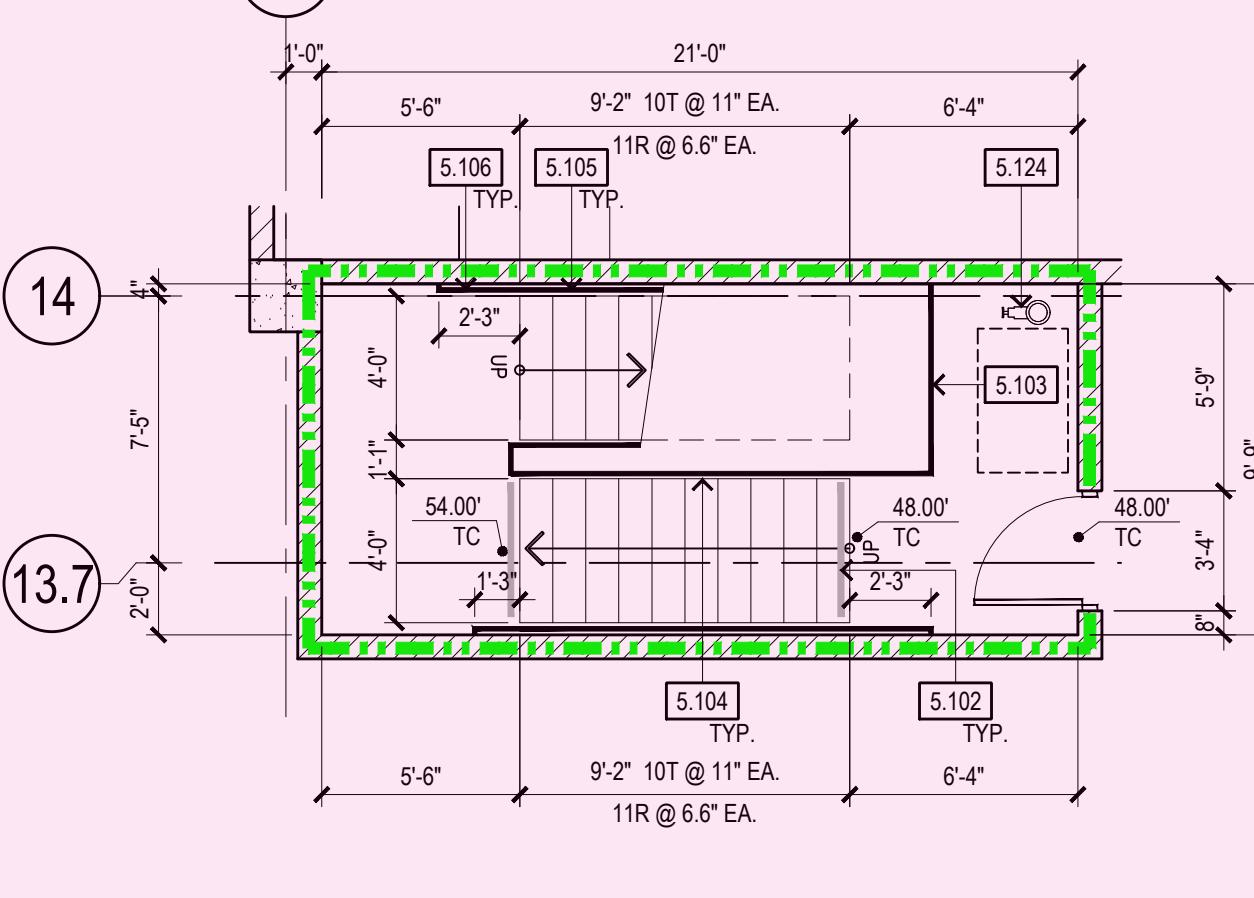

GENERAL STAIRWAY NOTES

- REFER TO SHEET [A101](#) FOR STANDARD RAILING DETAILS. AND SHEET [A102](#) FOR STANDARD STAIR DETAILS.
- REFER TO SHEET [A103](#) FOR ADDITIONAL STAIR ACCESSIBILITY REQUIREMENTS.
- INTERIOR STAIRS SHALL HAVE THE UPPER APPROACH AND LOWER TREAD MARKED BY A STRIPE PROVIDING CLEAR VISUAL CONTRAST TO THE SURFACE. THE STRIPE SHALL BE A MINIMUM OF 2 INCHES WIDE TO A MAXIMUM OF 4 INCHES WIDE PLACED PARALLEL TO, AND NOT MORE THAN 1 INCH FROM, THE NOSE OF THE STEP OR UPPER APPROACH. THE STRIPE SHALL BE A MINIMUM OF 12 INCHES LONG. THE STRIPE SHALL BE MADE OF A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR. PAINTED STRIPE SHALL BE ACCEPTABLE.
- STAIRS SHALL HAVE HANDRAILS COMPLYING WITH SECTION 11B-505 HANDRAILS. [C11B-504.6](#)
- STAIR TREADS AND LANDINGS SUBJECT TO WET CONDITIONS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF WATER. [C11B-504.7](#)
- TO EGRESS STAIRS PROVIDED BY TENANT, REFER TO COORDINATION DRAWINGS FOR STAIRWAY SIGN LOCATIONS. GENERAL 11B-703.2 RAISED CHARACTERS, 11B-703.3 BRAILLE AND 11B-703.5 VISUAL CHARACTERS SHALL BE LOCATED AT THE LANDING OF EACH FLOOR LEVEL, PLACED ADJACENT TO THE DOOR ON THE LATCH SIDE. IN ALL CASES, THE SIGN SHALL BE PLACED SO THAT IT IS READABLE FROM THE EXIT DISCHARGE LEVEL. THE SIGN SHALL INCLUDE A RAISED FIVE POINTED STAR LOCATED TO THE LEFT OF THE IDENTIFYING FLOOR LEVEL. THE OUTSIDE DIAMETER OF THE STAR SHALL BE THE SAME AS THE HEIGHT OF THE RAISED CHARACTERS. [C11B-504.8](#)

KEY NOTES

- PROVIDE CONTRASTING STRIPE AT ALL TREADS AND UPPER STAIR APPROACH. THE STRIPE SHALL BE A MIN. 2" MAX. 4" WIDE PLACED PARALLEL TO AND NOT MORE THAN 1" FROM, THE NOSE OF THE STEP OR UPPER APPROACH. THE STRIPE SHALL BE A MIN. 12" LONG. THE STRIPE SHALL BE MADE OF A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR.
- PROVIDE CONTRASTING STRIPE AT THE UPPER STAIR APPROACH AND BOTTOM TREAD. THE STRIPE SHALL BE A MIN. 2" MAX. 4" WIDE PLACED PARALLEL TO AND NOT MORE THAN 1" FROM, THE NOSE OF THE STEP OR UPPER APPROACH. THE STRIPE SHALL BE A MIN. 12" LONG. THE STRIPE SHALL BE MADE OF A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR.
- CONTINUOUS 1 1/2" O.D. POWDER COATED POSTS MOUNTED STEEL GUARDRAIL. TOP OF GUARDRAIL TO BE 1 1/2" ABOVE ADJACENT STAIR TREAD NOSING/ADJACENT WALKING SURFACE. PROVIDE 1 1/2" O.D. CONTINUOUS 1 1/2" O.D. POWDER COATED POSTS MOUNTED STEEL GUARDRAIL. TOP OF GUARDRAIL TO BE 1 1/2" ABOVE ADJACENT STAIR TREAD NOSING/ADJACENT WALKING SURFACE. PROVIDE 1 1/2" O.D. CONTINUOUS 1 1/2" O.D. STEEL GUARDRAIL. TOP OF GUARDRAIL TO BE 3 1/2" AFF OR ABOVE NOSING LINE OF STAIR AND LANDINGS.
- CONTINUOUS 1 1/2" O.D. POWDER COATED POSTS MOUNTED STEEL GUARDRAIL. TOP OF GUARDRAIL TO BE 1 1/2" ABOVE ADJACENT STAIR TREAD NOSING/ADJACENT WALKING SURFACE. PROVIDE 1 1/2" O.D. CONTINUOUS 1 1/2" O.D. STEEL GUARDRAIL. TOP OF GUARDRAIL TO BE 3 1/2" AFF OR ABOVE NOSING LINE OF STAIR AND LANDINGS.
- PROVIDE CONTRASTING 1 1/2" O.D. STEEL GUARDRAIL. TOP OF GUARDRAIL TO BE 3 1/2" AFF OR ABOVE NOSING LINE OF STAIR AND LANDINGS.
- CONTINUOUS 1 1/2" O.D. STEEL GUARDRAIL. TOP OF GUARDRAIL TO BE 3 1/2" AFF OR ABOVE NOSING LINE OF STAIR AND LANDINGS.
- POURED IN PLACE CONCRETE STAIRS.
- EGRESS STAIR PROVIDED AND INSTALLED BY TENANT. SHOWN FOR COORDINATION ONLY.
- CONTINUOUS POST-MOUNTED 1 1/2" STEEL RAIL BARRIER, WHERE VERTICAL CLEARANCE AT STAIRWAY IS LESS THAN 80". TOP OF RAIL TO BE 27" MAX A.F.P.
- AREA DRAIN. REFER TO PLUMBING DRAWINGS FOR ADD'L. INFO. SLOPE AREA TO DRAIN AT LESS THAN 1/4" PER FOOT. TYP.
- MIN. 42" HIGH, POURED IN PLACE, CONCRETE LOW WALL AS A GUARDRAIL.
- DOOR PROVIDED AND INSTALLED BY TENANT.
- 30'x48" AREA OF RESCUE ASSISTANCE.
- CLASS I STANDPIPE & FIRE HOSE CONNECTION.

**STAIR F14 LEVEL G
ENLARGED FLOOR PLAN**

**STAIR F14 LEVEL R2
ENLARGED FLOOR PLAN**

**STAIR F14 ROOF LEVEL
ENLARGED FLOOR PLAN**

 ROOF
 3/16" = 1'-0"

**STAIR F14 LEVEL P1
ENLARGED FLOOR PLAN**

**STAIR F14 LEVEL P4-P2
ENLARGED FLOOR PLAN**

**STAIR F14 LEVEL R1
ENLARGED FLOOR PLAN**

 R1
 3/16" = 1'-0"

**STAIR F14 LEVEL P5
ENLARGED FLOOR PLAN**

 P5
 3/16" = 1'-0"

 STAIR F14 ENLARGED FLOOR PLAN
 3/16" = 1'-0"

SYMBOLS LEGEND

PROPERTY LINE	---	SLAB OPENING
NEW NON-RATED WALLS	—	—
NEW CMU WALLS	—	—
NEW 1 HR FIRE RATED WALLS	—	ASSEMBLY TYPE
NEW 2 HR FIRE RATED WALLS	—	GENERAL DIRECTION
NEW 3 HR FIRE RATED WALLS	—	OF SLOPE
CONSTRUCTION BY TENANT	—	—
FLOOR ELEVATION CHANGE	—	—

A5.0-4

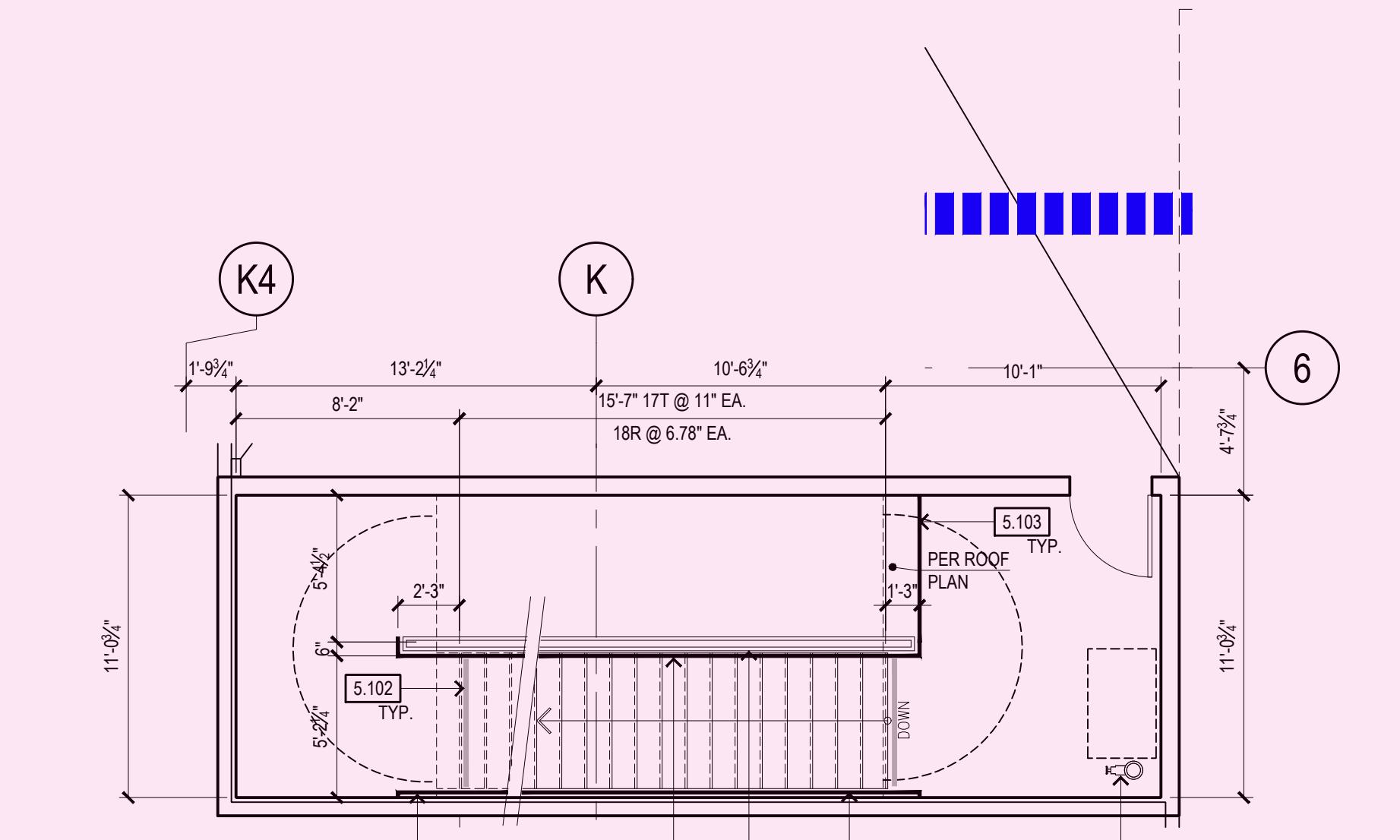
1

GENERAL STAIRWAY NOTES

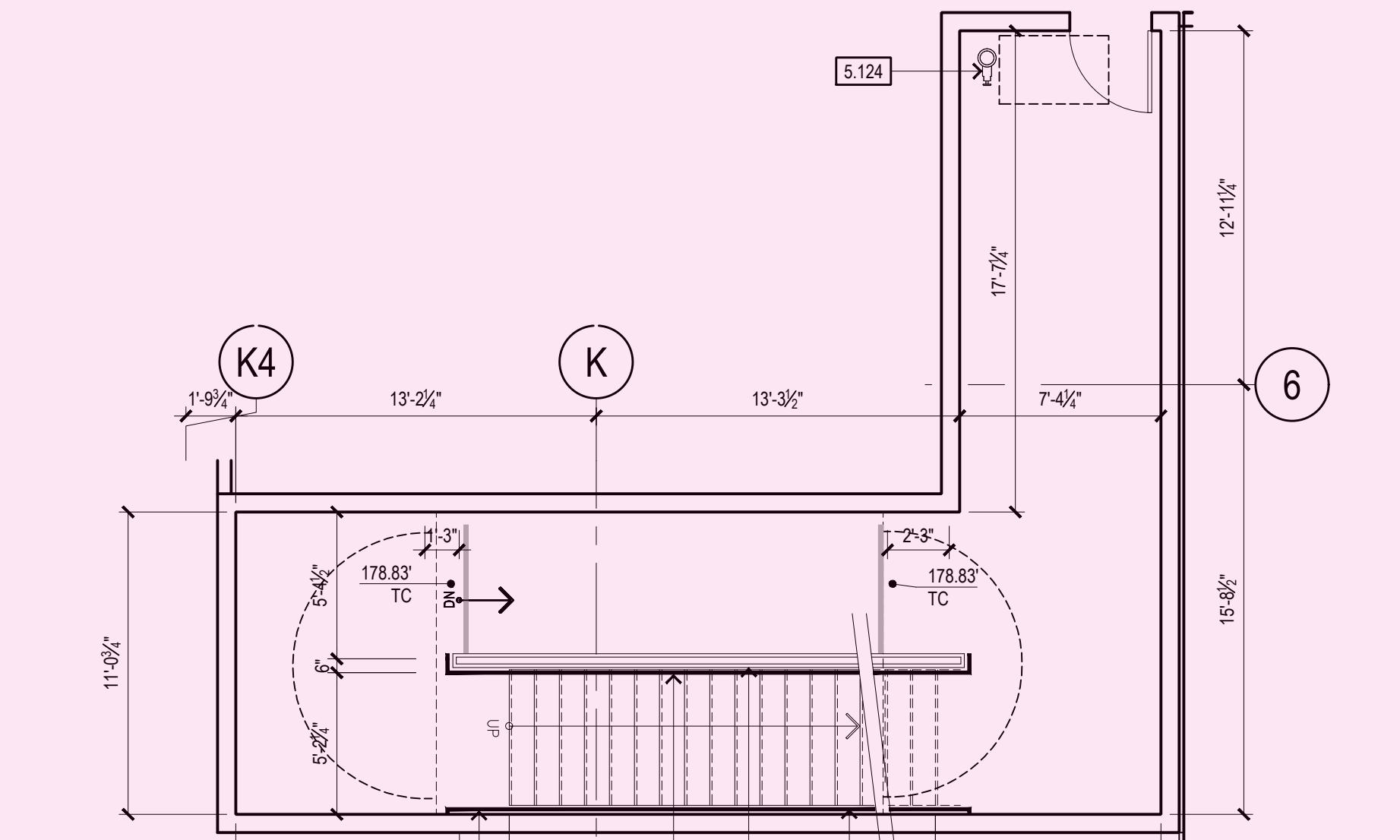
1. REFER TO SHEET [R4](#) FOR STANDARD RAILING DETAILS. AND SHEET [R5](#) FOR STANDARD STAIR DETAILS.
2. REFER TO SHEETS [J1](#) FOR ADDITIONAL STAIR ACCESSIBILITY REQUIREMENTS.
3. INTERIOR STAIRS SHALL HAVE THE UPPER APPROACH AND LOWER TREAD MARKED BY A STRIPE PROVIDING CLEAR VISUAL CONTRAST. THE STRIPE SHALL BE A MINIMUM OF 2 INCHES WIDE TO A MAXIMUM OF 4 INCHES WIDE PLACED PARALLEL TO, AND NOT MORE THAN 1 INCH FROM, THE NOSE OF THE STEP OR UPPER APPROACH. THE STRIPE SHALL BE A MINIMUM OF 12 INCHES LONG. THE STRIPE SHALL BE MADE OF A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR. PAINTED STRIPE SHALL BE ACCEPTABLE.
4. STAIRS SHALL HAVE HANDRAILS COMPLYING WITH SECTION 11B-505 HANDRAILS CBC #11B-504.6
5. STAIR TREADS AND LANDINGS SUBJECT TO WET CONDITIONS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF WATER. CBC #11B-504.7
6. EXIT DISCHARGE SIGNS SHALL BE PLACED IN ACCORDANCE WITH THE 2010 ADA STANDARDS FOR EXTERIOR SIGNS GENERAL. 11B-703.2 RAISED CHARACTERS, 11B-703.3 BRAILLE AND 11B-703.5 VISUAL CHARACTERS SHALL BE LOCATED AT THE LANDING OF EACH FLOOR LEVEL, PLACED ADJACENT TO THE DOOR ON THE LATCH SIDE. IN ALL ENCLUSES, THE SIGN SHALL BE PLACED IN THE CENTER OF THE ENCLUSE. IN CASE OF AN EXIT, THE SIGN SHALL BE LOCATED ON THE EXIT DISCHARGE LEVEL. THE SIGN SHALL INCLUDE A RAISED FIVE POINTED STAR LOCATED TO THE LEFT OF THE IDENTIFYING FLOOR LEVEL. THE OUTSIDE DIAMETER OF THE STAR SHALL BE THE SAME AS THE HEIGHT OF THE RAISED CHARACTERS. CBC #11B-504.8

KEY NOTES

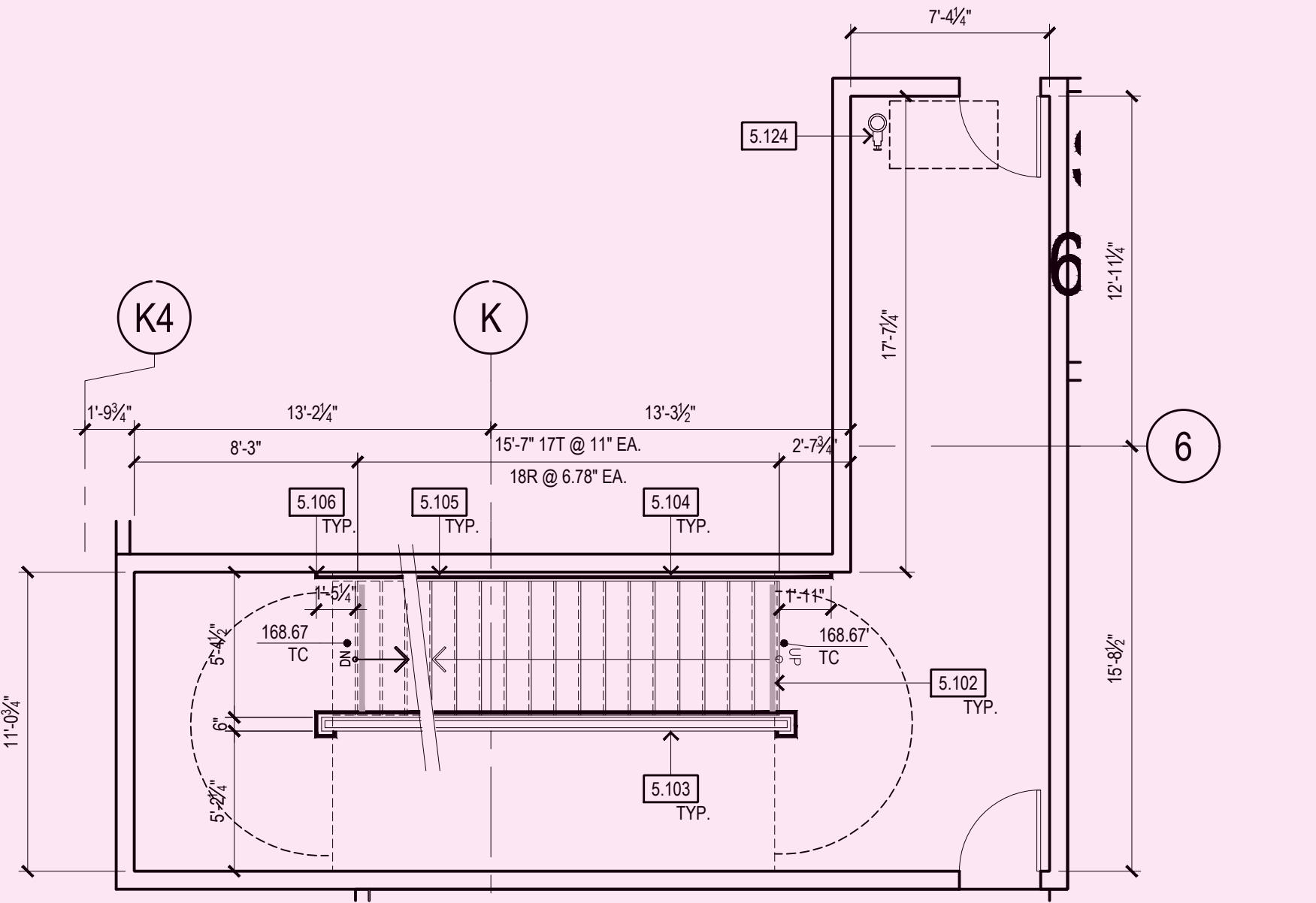
- 5.101** PROVIDE CONTRASTING STRIPE AT ALL TREADS AND UPPER STAIR APPROACH. THE STRIPE SHALL BE A MIN. 2" MAX. 4" WIDE PLACED PARALLEL TO AND NOT MORE THAN 1" FROM, THE NOSE OF THE STEP OR APPROACH. THE STRIPE SHALL BE A MIN. 12" MAX. 48" LONG. THE STRIPE SHALL BE A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR.
- 5.102** PROVIDE CONTRASTING STRIPE AT THE UPPER STAIR APPROACH AND BOTTOM TREAD. THE STRIPE SHALL BE A MIN. 2" MAX. 4" WIDE PLACED PARALLEL TO AND NOT MORE THAN 1" FROM, THE NOSE OF THE STEP OR APPROACH. THE STRIPE SHALL BE A MIN. 12" MAX. 48" LONG. THE STRIPE SHALL BE A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR.
- 5.103** CONTINUOUS 1 1/2" O.D. POWDER COATED POSTS MOUNTED STEEL GUARDRAL, TOP OF GUARDRAL TO BE 1 1/2" ABOVE ADJACENT STAIR TREAD NOSING/ADJACENT WALKING SURFACE. PROVIDE 1 1/2" O.D. POWDER COATED POSTS MOUNTED INTO ADJACENT CONCRETE STAIR SLAB WITH METAL SLEEVE AND NON-SHRINK EPOXY GROUT.
- 5.104** CONTINUOUS 1 1/2" O.D. POWDER COATED POSTS MOUNTED STEEL GUARDRAL, TOP OF GUARDRAL TO BE 1 1/2" ABOVE ADJACENT STAIR TREAD NOSING/ADJACENT WALKING SURFACE. PROVIDE 1 1/2" O.D. POWDER COATED POSTS MOUNTED INTO ADJACENT METAL STAIR STINGER.
- 5.105** CONTINUOUS 1 1/2" O.D. STEEL HANDRAIL, TOP OF HANDRAIL TO BE 37" AFF OR ABOVE NOSING LINE OF STAIR AND LANDINGS.
- 5.106** PROVIDE CONTRASTING EXTENSIONS AT THE TOP AND BOTTOM OF EACH STAIR RUN. EXTENSION SHALL BE MIN. 1' 3" AT TOP OF STAIR RUN AND 2' 3" AT BOTTOM OF STAIR RUN ORIENTED IN THE DIRECTION OF STAIR AND LANDINGS. RETURN TO AN ADJACENT WALL, SHALL WRAP DOWN AND AROUND BACK TO THE ADJACENT SUPPORTING POST, OR SHALL WRAP DOWN AND BE ANCHORED ON THE FLOOR SURFACE.
- 5.107** Poured in place concrete stairs.
- 5.108** EGRESS STAIR PROVIDED AND INSTALLED BY TENANT. SHOWN FOR COORDINATION ONLY.
- 5.109** CONTINUOUS POST-MOUNTED 1 1/2" STEEL RAIL BARRIER, WHERE VERTICAL CLEARANCE AT STAIRWAY IS LESS THAN 80". TOP OF RAIL TO BE 27" MAX A.F.P.
- 5.120** AREA DRAIN. REFER TO PLUMBING DRAWINGS FOR ADDL. INFO. SLOPE AREA TO DRAIN AT LESS THAN 1/4" PER FOOT.
- 5.121** MIN. 42" HIGH, Poured in place, concrete low wall as a guardrail.
- 5.122** DOOR PROVIDED AND INSTALLED BY TENANT.
- 5.123** 30'x48" AREA OF RESCUE ASSISTANCE.
- 5.124** CLASS I STANDPIPE & FIRE HOSE CONNECTION.



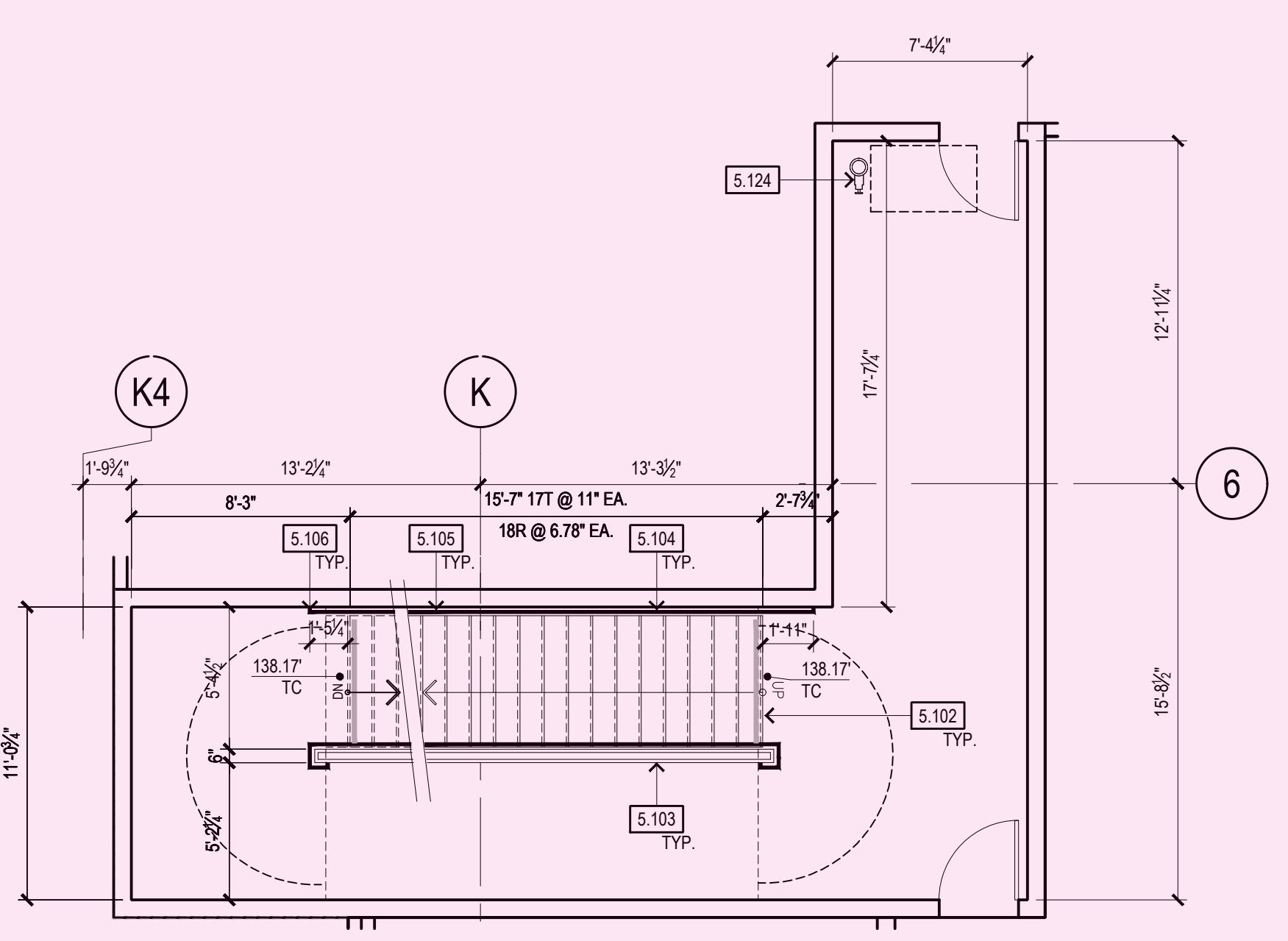
ROOF STAIR L06 ROOF LEVEL ENLARGED FLOOR PLAN
3 1/16" = 1'-0"



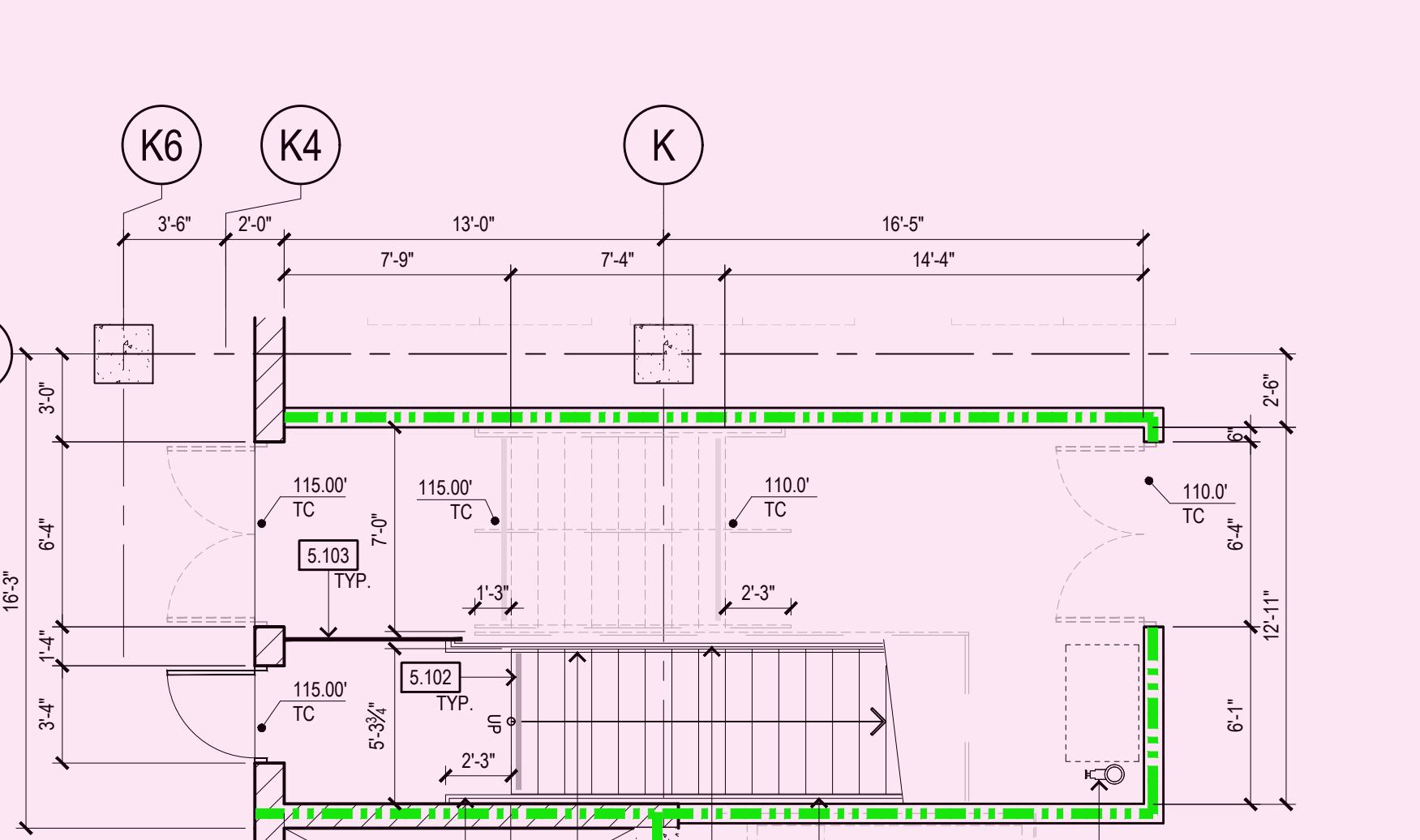
R5 STAIR L06 LEVEL R5 ENLARGED FLOOR PLAN
3 1/16" = 1'-0"



R4 STAIR L06 LEVEL R4 ENLARGED FLOOR PLAN
3 1/16" = 1'-0"

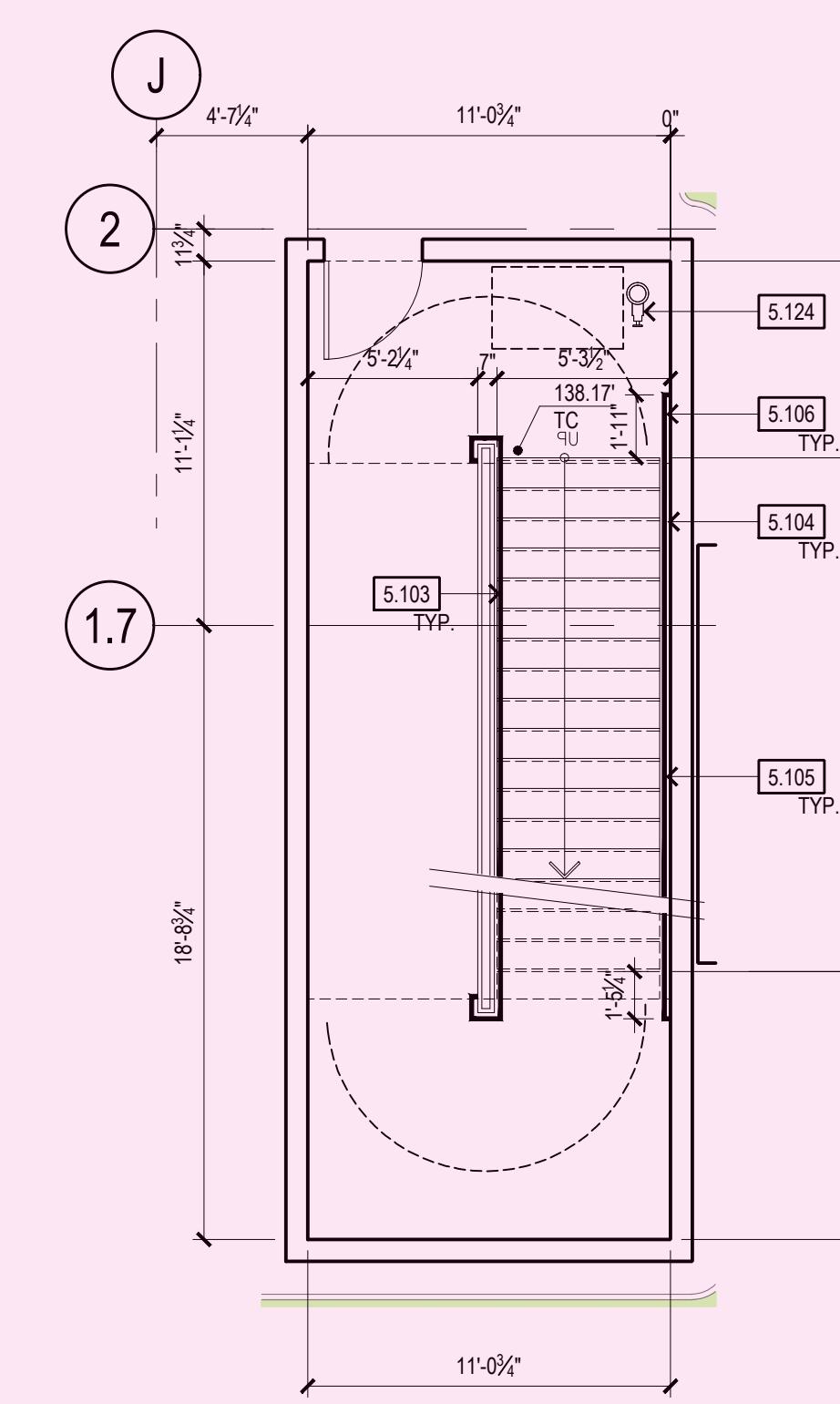


R1 STAIR L06 LEVEL R1 ENLARGED FLOOR PLAN
3 1/16" = 1'-0"



G STAIR L06 LEVEL G ENLARGED FLOOR PLAN
3 1/16" = 1'-0"

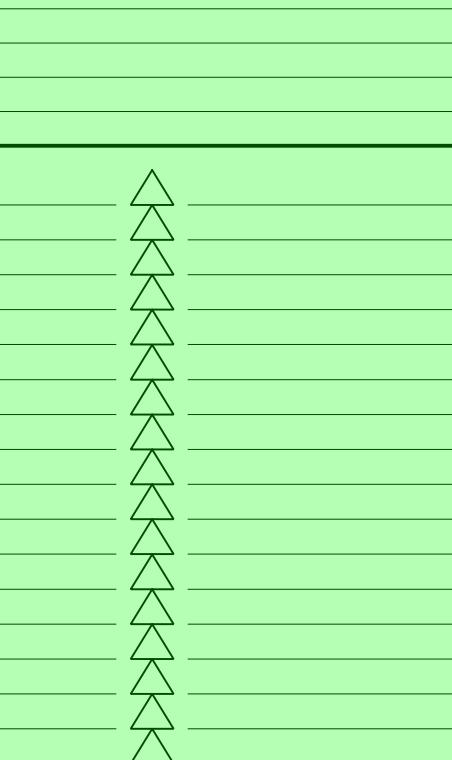
STAIR L06 ENLARGED FLOOR PLANS



J STAIR J01 ENLARGED FLOOR PLANS
3 1/16" = 1'-0"

SYMBOLS LEGEND

- | | |
|---------------------------|-------------------|
| PROPERTY LINE | SLAB OPENING |
| NEW NON-RATED WALLS | ASSEMBLY TYPE |
| NEW CMU WALLS | GENERAL DIRECTION |
| NEW 1 HR FIRE RATED WALLS | OF SLOPE |
| NEW 2 HR FIRE RATED WALLS | |
| NEW 3 HR FIRE RATED WALLS | |
| CONSTRUCTION BY TENANT | |
| FLOOR ELEVATION CHANGE | |



A5.0-6

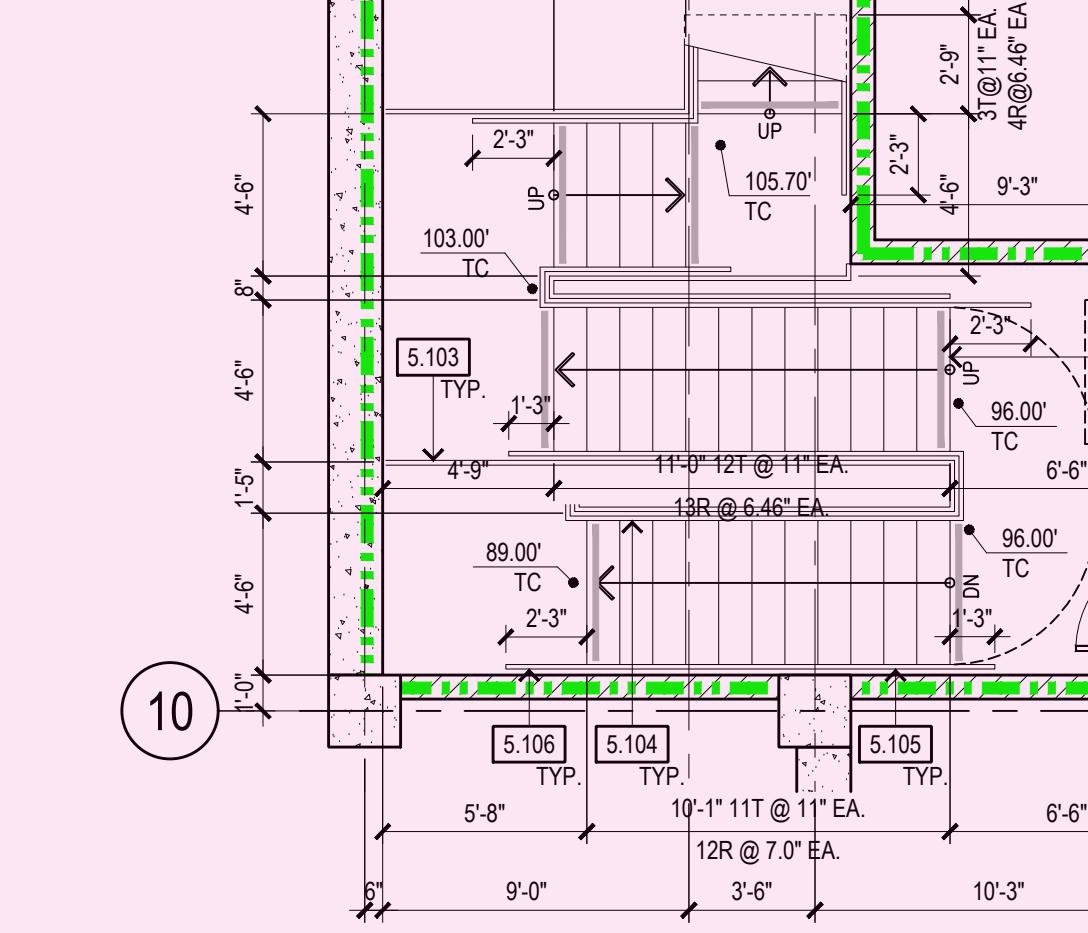
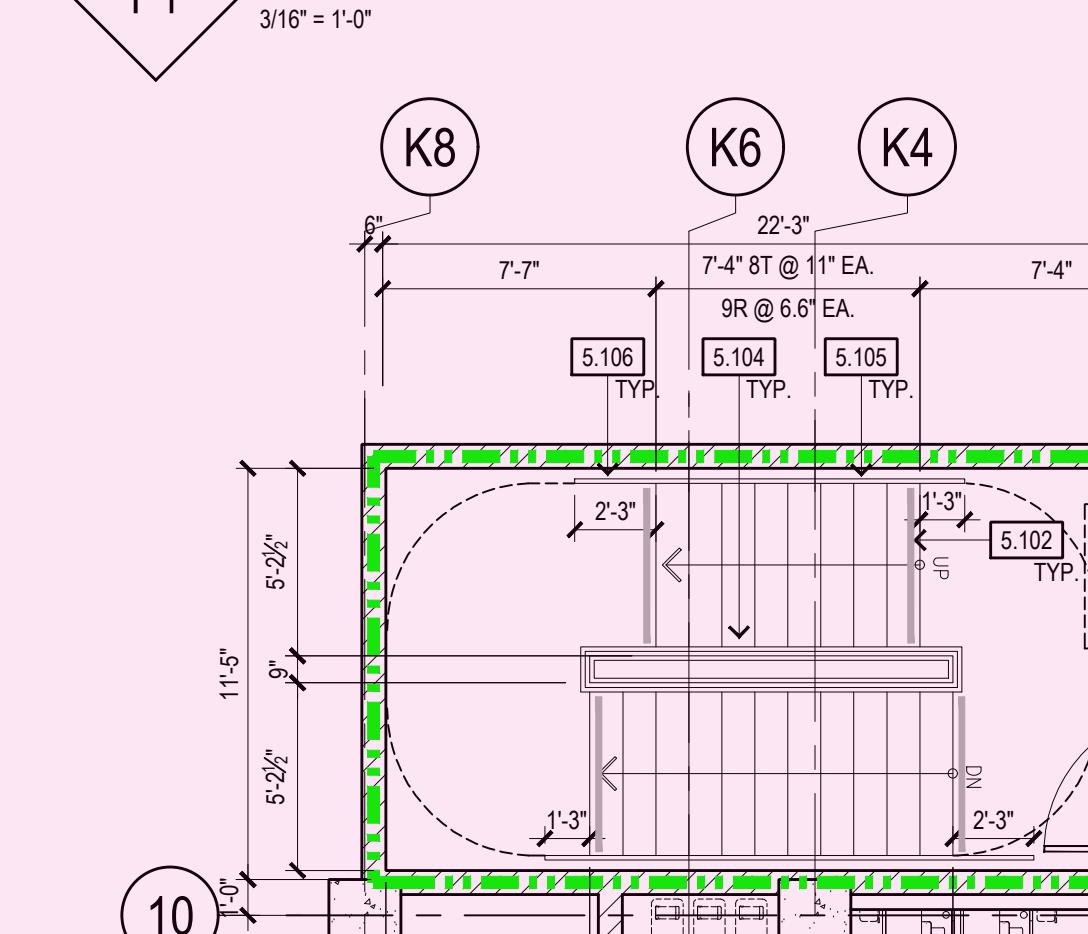
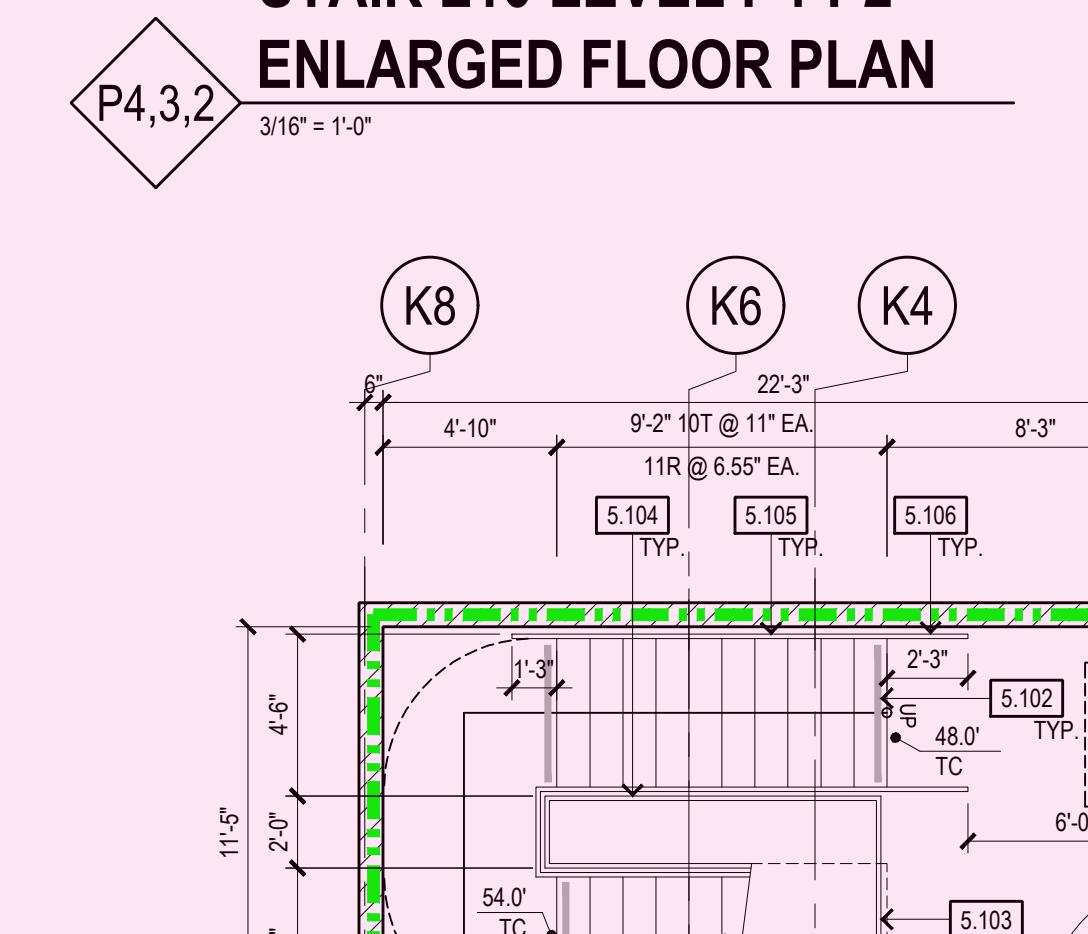
GENERAL STAIRWAY NOTES

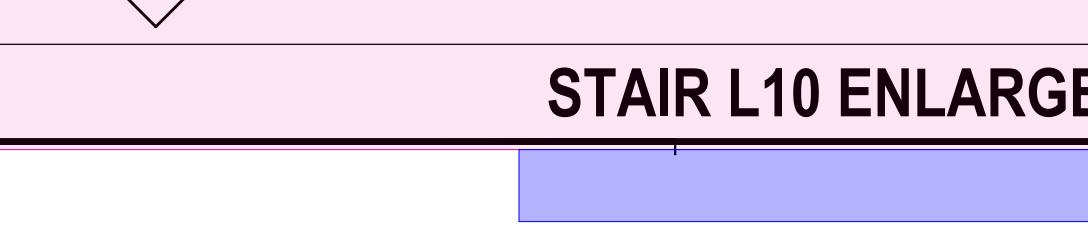
- REFER TO SHEET **R5.1** FOR STANDARD RAILING DETAILS. AND SHEET **R5.2** FOR STANDARD STAIR DETAILS.
- REFER TO SHEET **T5.1** FOR ADDITIONAL STAIR ACCESSIBILITY REQUIREMENTS.
- INTERIOR STAIRS SHALL HAVE THE UPPER APPROACH AND LOWER TREAD MARKED BY A STRIPE PROVIDING CLEAR VISUAL CONTRAST TO THE SURFACE. THE STRIPE SHALL BE A MINIMUM OF 2 INCHES WIDE TO A MAXIMUM OF 4 INCHES WIDE PLACED PARALLEL TO, AND NOT MORE THAN 1 INCH FROM, THE NOSE OF THE STEP OR UPPER APPROACH. THE STRIPE SHALL BE A MINIMUM OF 12 INCHES LONG, AND SHALL BE A MAXIMUM OF 18 INCHES LONG. THE MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR. PAINTED STRIPE SHALL BE ACCEPTABLE.
- STAIRS SHALL HAVE HANDRAILS COMPLYING WITH SECTION 11B-505 HANDRAILS. **CBC 11B-504.4.6**
- STAIR TREADS AND LANDINGS SUBJECT TO WET CONDITIONS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF WATER. **CBC 11B-504.7**
- STAIRS SHALL BE PROVIDED WITH IDENTIFYING FLOOR LEVEL SIGNS. GENERAL 11B-703.2 RAISED CHARACTERS, 11B-703.3 BRAILLE AND 11B-703.5 VISUAL CHARACTERS SHALL BE LOCATED AT THE LANDING OF EACH FLOOR LEVEL, PLACED ADJACENT TO THE DOOR ON THE LATCH SIDE. IN ALL ENTRANCES TO THE STAIR, THE SIGN SHALL BE PLACED SO THAT IT IS EASILY READABLE. AT THE EXIT DISCHARGE LEVEL, THE SIGN SHALL INCLUDE A RAISED FIVE POINTED STAR LOCATED TO THE LEFT OF THE IDENTIFYING FLOOR LEVEL. THE OUTSIDE DIAMETER OF THE STAR SHALL BE THE SAME AS THE HEIGHT OF THE RAISED CHARACTERS. **CBC 11B-504.8**

KEY NOTES

- PROVIDE CONTRASTING STRIPE AT ALL TREADS AND UPPER STAIR APPROACH. THE STRIPE SHALL BE A MIN. 2" MAX. 4" WIDE PLACED PARALLEL TO AND NOT MORE THAN 1" FROM, THE NOSE OF THE STEP OR APPROACH. THE STRIPE SHALL BE A MIN. 12" MAX. 18" LONG, AND SHALL BE A MAX. 18" LONG. THE MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR.
- PROVIDE CONTRASTING STRIPE AT THE UPPER STAIR APPROACH AND BOTTOM TREAD. THE STRIPE SHALL BE A MIN. 2" MAX. 4" WIDE PLACED PARALLEL TO AND NOT MORE THAN 1" FROM, THE NOSE OF THE STEP OR APPROACH. THE STRIPE SHALL BE A MIN. 12" MAX. 18" LONG, AND SHALL BE A MAX. 18" LONG. THE MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR.
- CONTINUOUS 1 1/2" O.D. POWDER COATED POSTS MOUNTED STEEL GUARDRAL, TOP OF GUARDRAL TO BE 1 1/2" ABOVE ADJACENT STAIR TREAD NOSING/ADJACENT WALKING SURFACE. PROVIDE 1 1/2" O.D. POWDER COATED POSTS MOUNTED INTO ADJACENT CONCRETE STAIR SLAB WITH METAL SLEEVE AND NON-SHRINK EPOXY GROUT.
- CONTINUOUS 1 1/2" O.D. POWDER COATED POSTS MOUNTED STEEL GUARDRAL, TOP OF GUARDRAL TO BE 1 1/2" ABOVE ADJACENT STAIR TREAD NOSING/ADJACENT WALKING SURFACE. PROVIDE 1 1/2" O.D. POWDER COATED POSTS MOUNTED INTO ADJACENT CONCRETE STAIR SLAB WITH METAL SLEEVE AND NON-SHRINK EPOXY GROUT.
- CONTINUOUS 1 1/2" O.D. STEEL HANDRAIL, TOP OF HANDRAIL TO BE 3 1/2" AFF. OR ABOVE NOSING LINE OF STAIR AND LANDINGS.
- PROVIDE CONTINUOUS 1 1/2" O.D. STEEL GUARDRAL, TOP OF GUARDRAL TO BE 1 1/2" AFF. OR ABOVE NOSING LINE OF STAIR AND LANDINGS.
- POURED IN PLACE CONCRETE STAIRS.
- EGRESS STAIR PROVIDED AND INSTALLED BY TENANT. SHOWN FOR COORDINATION ONLY.
- CONTINUOUS POST-MOUNTED 1 1/2" STEEL RAIL BARRIER, WHERE VERTICAL CLEARANCE AT STAIRWAY IS LESS THAN 80". TOP OF RAIL TO BE 27" MAX A.F.P.
- AREA DRAIN REFER TO PLUMBING DRAWINGS FOR ADDL. INFO. SLOPE AREA TO DRAIN AT LESS THAN 1/4" PER FOOT.
- MIN. 42" HIGH POURED IN PLACE, CONCRETE LOW WALL AS A GUARDRAL.
- DOOR PROVIDED AND INSTALLED BY TENANT.
- 30"x8" AREA OF RESCUE ASSISTANCE
- CLASS I STANDPIPE & FIRE HOSE CONNECTION

**STAIR L10 LEVEL G
ENLARGED FLOOR PLAN**

**STAIR L10 LEVEL P1
ENLARGED FLOOR PLAN**

**STAIR L10 LEVEL R2
ENLARGED FLOOR PLAN**

**STAIR L10 LEVEL P4-P2
ENLARGED FLOOR PLAN**

**STAIR L10 LEVEL R1
ENLARGED FLOOR PLAN**

**STAIR L10 LEVEL P5
ENLARGED FLOOR PLAN**

SYMBOLS LEGEND

PROPERTY LINE	— — — — —	SLAB OPENING
NEW NON-RATED WALLS	— — — — —	— — — — —
NEW CMU WALLS	— — — — —	— — — — —
NEW 1 HR FIRE RATED WALLS	— — — — —	— — — — —
NEW 2 HR FIRE RATED WALLS	— — — — —	— — — — —
NEW 3 HR FIRE RATED WALLS	— — — — —	— — — — —
CONSTRUCTION BY TENANT	— — — — —	— — — — —
FLOOR ELEVATION CHANGE	— — — — —	— — — — —