

General Notes

1. All drawings to be read in conjunction with all relevant specifications, architect's drawings and services engineer's drawings.
2. For setting out refer to architect's drawings.
3. All dimensions are in millimetres unless noted otherwise.
4. Do not scale from the drawings or the computer digital data. Only figured dimensions to be used.
5. For all waterproofing details - see architect's drawings.
6. The contractor is to provide any temporary bracing necessary to maintain structural stability during construction.
7. The works have been designed and shall be constructed in accordance with the following codes. This list is not exhaustive and is only intended to list the principal codes:
 - a) BS EN 1991-1-1:2002, BS EN 1991-1-7:2006: Code of practice for dead and imposed loads.
 - b) BS EN 1991-1-4:2005+A1:2010: Code of practice for wind loads.
 - c) BS EN 1991-1-3:2003: Code of practice for imposed roof loads.
 - d) BS EN 1997-1:2004 : Code of practice for foundations.
 - e) BS EN 1992-1-1:2004: Structural use of concrete.
 - f) BS EN 1993-1-1:2005, BS EN 1993-1-5:2006, BS EN 1993-1-10:2005, BS EN 1993-5:2007, BS EN 1993-6:2007, BS EN 1993-1-8:2005: Structural use of steelwork in buildings.
 - g) PD 6697:2010, BS EN 1996-3:2006, BS EN 1996-2:2006, BS EN 1996-1-1:2005+A1:2012: Structural use of un-reinforced masonry.
 - h) BS EN 1995-1-1:2004+A1:2008: Structural use of timber.

8. The works have been designed for the finish state. The following superimposed loads have been used in the design:

Floor loads - See structural engineer's calculations.

Roof loads - See structural engineer's calculations.

9. All works shall comply with the Building Regulations and other relevant statutory notices e.g. Health and Safety Bylaws, COSHH etc

10. The client / appointed contractor must take their own assurances on:

- a) Soil conditions on site and the gradient of land;
- b) Suitability / existing methods of storm water drainage;
- c) Trees (existing or removed) and their affect on foundations;
- d) Position and condition of main sewer.

11. Extensions/alterations to existing structures are subject to revision depending upon such being fully exposed. The client/thier contractor must take their own assurances that any structure designated for demolition/removal are not load bearing or that alternative methods of permanent support are put in place prior to removal. Existing walls, lintels and foundations that are intended to take additional loads, must first be fully exposed and checked for adequacy prior to the commencement of works.

Foundations

1. The depth of the proposed foundations are subject to ground conditions and building control approval. These are to be minimum 1000mm deep subject to be founding in good ground of minimum 100kN/m² bearing stratum (based on London Clay).
2. The excavations should be free from any mature tree roots. If there are

- large trees in the vicinity then the foundations depth is to be in accordance with NHBC standards guidelines for building near trees.
3. Where new foundations are to abut existing foundations, a soft joint of 75mm is to be formed using 'Claymaster' or similar approved unless noted otherwise on the drawings.
4. Any foundations deeper than 1.5m should have suspended floors to avoid any heave. Where the foundations are cast within highly shrinkable soils, then anti-heave precautions such as compressible materials or void formers are to be applied to the foundations.

Notes for Timber

1. These notes are to be read in conjunction with relevant architect's and services engineer's drawings and specification.
2. All timber-work shall comply with BS EN 1995-1-1:2004+A1:2008.
3. Roof area:
 - a) Roof joists shall be grade C24. Evidence of grading shall be provided before work commences;
 - b) Blocking and battens shall be grade C24 softwood;
 - c) The sizes shown on the drawings are finished sizes;
 - d) In joint zones wanes, shakes and knots are not permitted;
 - e) Timber to be carefully cut and planed to ensure tight fit and contact's bearing against metalwork;
 - f) All gaps between timber and metalwork to be resin-grouted, to the approval of the engineer.
4. All connectors, bolts, nails etc. shall be galvanised to BS 729.
5. Adhesive shall be to BS1204: Part 1: 1990, Type WBP.
6. All timber to be treated in accordance with the British Wood Preservative and Damp-proofing Association Consistency Specification C8 for 40 years desired service life.

Notes for Fire Resistance

1. These notes are to be read in conjunction with relevant architect's services engineer's drawings and specifications.
2. All habitable rooms, stairs enclosure and the kitchen to be filled with self-closing devices.
3. Any glazing within the stair enclosure, including glazing to doors, to be fire-resistant.
4. Means powered interconnected smoke alarms to be provided to entrance lobby and all stairs landings.
5. Class 1 flame spread to be provided to all new walls and ceilings.

Notes for Masonry

1. These notes are to be read in conjunction with relevant architect's services engineer's drawings and specifications.
2. All brickwork shall comply with PD 6697:2010, BS EN 1996-3:2006, BS EN 1996-2:2006, BS EN 1996-1-1:2005+A1:2012 .
3. All bricks shall have a minimum crushing strength of 20N/mm².

4. Blockwork shall have a minimum crushing strength of 7N/mm².
5. Mortar shall be a Class (ii) cement: lime putty: sand mix (1:1:2:4), unless indicated otherwise.
6. All vertical joints shall be completely filled. Bricks shall be laid frog up. The voids in perforated bricks shall be filled.
7. Fissured bricks or bricks with voids shall not be used.
8. Horizontal chases are prohibited. Vertical chases and builderswork holes shall be agreed with the architect.

Notes for Structural Steelwork

1. These notes are to be read in conjunction with relevant architect's and services engineer's drawings and specifications.
2. All steelwork shall comply with BS EN 1993-1-1:2005, BS EN 1993-1-1:2006, BS EN 1993-1-10:2005, BS EN 1993-5:2007, BS EN 1993-6:2007, BS EN 1993-1-8:2005.
3. Unless noted otherwise stipulated structural steelwork shall conform to BS EN Weldable structural steels.
4. Unless noted otherwise all steel shall be grade S355. Steel grade shall conform with EC-3.
5. Unless noted otherwise all butt welds shall be full penetration.
6. Unless noted otherwise all fillet welds shall be full profile with a minimum leg length of 6mm.
7. Unless noted otherwise all ordinary bolt assemblies shall be Grade 8.8.
8. Unless noted otherwise all bolts shall be M16.
9. Unless noted otherwise all holding down bolts shall be M16 Grade 8.8 anchored a minimum of 200mm depth into the supporting concrete with a 100 x 100 x 8 thick washer plate at the embedded head of the bolt.
10. The clearance of base plates from supporting concrete shall be a minimum of 20mm and on completion of erection this shall be grouted solid under the full area of the base plate with 1:2 sand: cement grout.
11. Corrosion protection:
 - a) Surface protection - blast clean to SA 2.5 quality BS EN ISO 8501-1.
 - b) Prefabricator primer - epoxy zinc phosphate hb: 50 microns (DFT).
 - c) Finishing coat - see arch's spec.
 - d) See arch's specification for details on colour and texture.
12. Fire protection:
 - 30min - One layer of plasterboard and skim coat or intumescent paint to manufacturer's specification.
 - 60min - Two layers of plasterboard with joints staggered and skim coat or intumescent paint to manufacturer's specification.
13. Weather protection: Any steelwork exposed to external weather is either to be galvanized or stainless steel UNO.
14. All steel beams carrying load-bearing masonry walls wider than their flanges are to have 12mm thick top/bottom flange plates continuously welded along the length to suit the wall width UNO.

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Client Name

Project Address

44 RED CEDARS ROAD
ORPINGTON BR6 0BX

Section

SINGLE STORY EXTENSION

Stage

STRUCTURAL

Drawing Title

NOTES

Drawing Status

FOR APPROVAL

Revisions and Notes

Project No. 2024-03-BR6 0BX

Drawing No. BREG-0001

Revision 00

Scale at A3 N/A

Date 14-03-2024

Designed MM Checked MM

Drawn MM Approved MM



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Client Name

Project Address

44 RED CEDARS ROAD
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Section

STRUCTURAL

Drawing Title

EXISTING PLAN

Drawing Status

Page 1

2024-03-BR6 0BX

BREG-0002

00

1:100

14-03-2024

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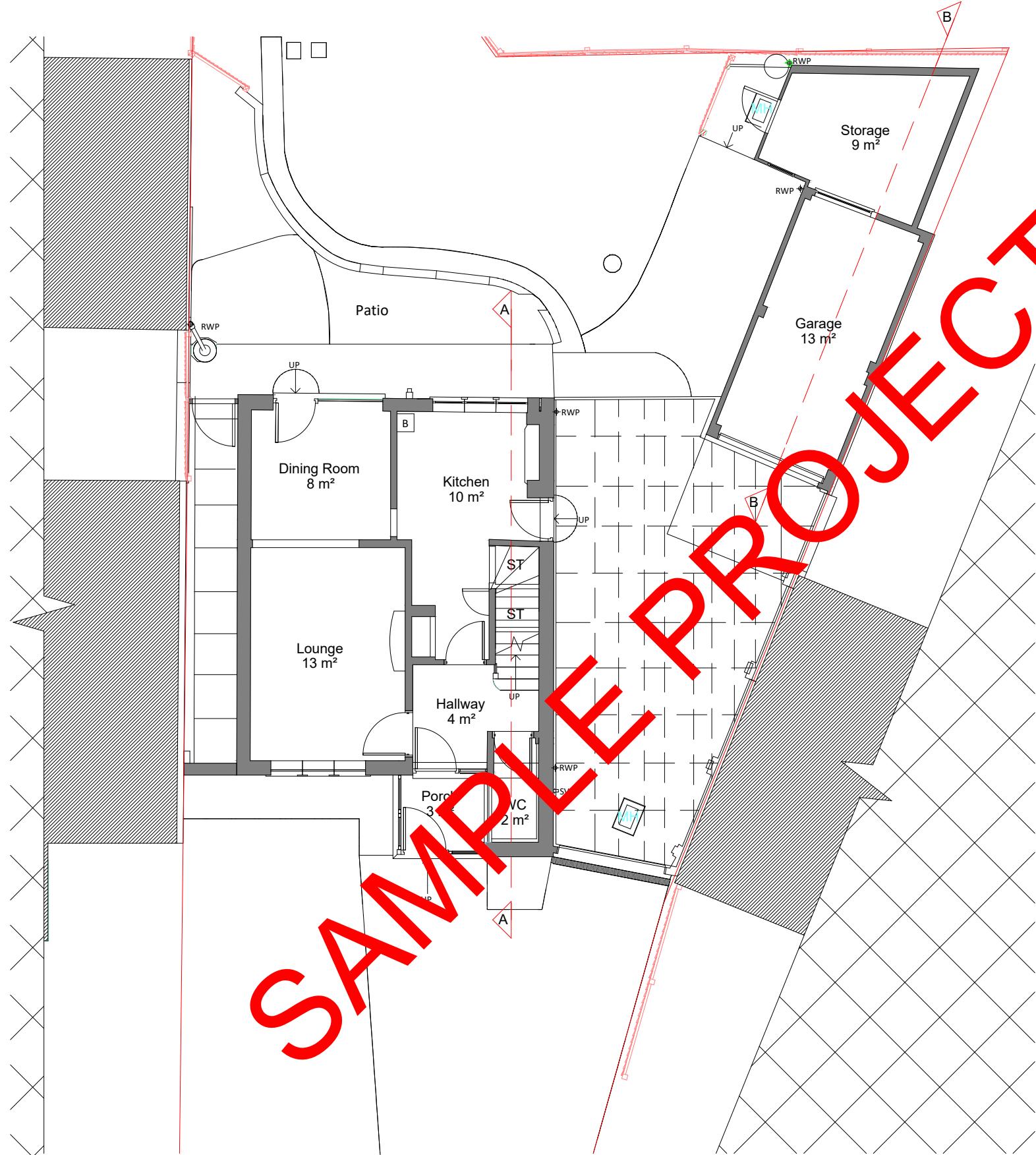
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EXISTING STRUCTURE

STR TO BE DEMOISHED

PROPOSED STRUCTURE

SHARED WALL



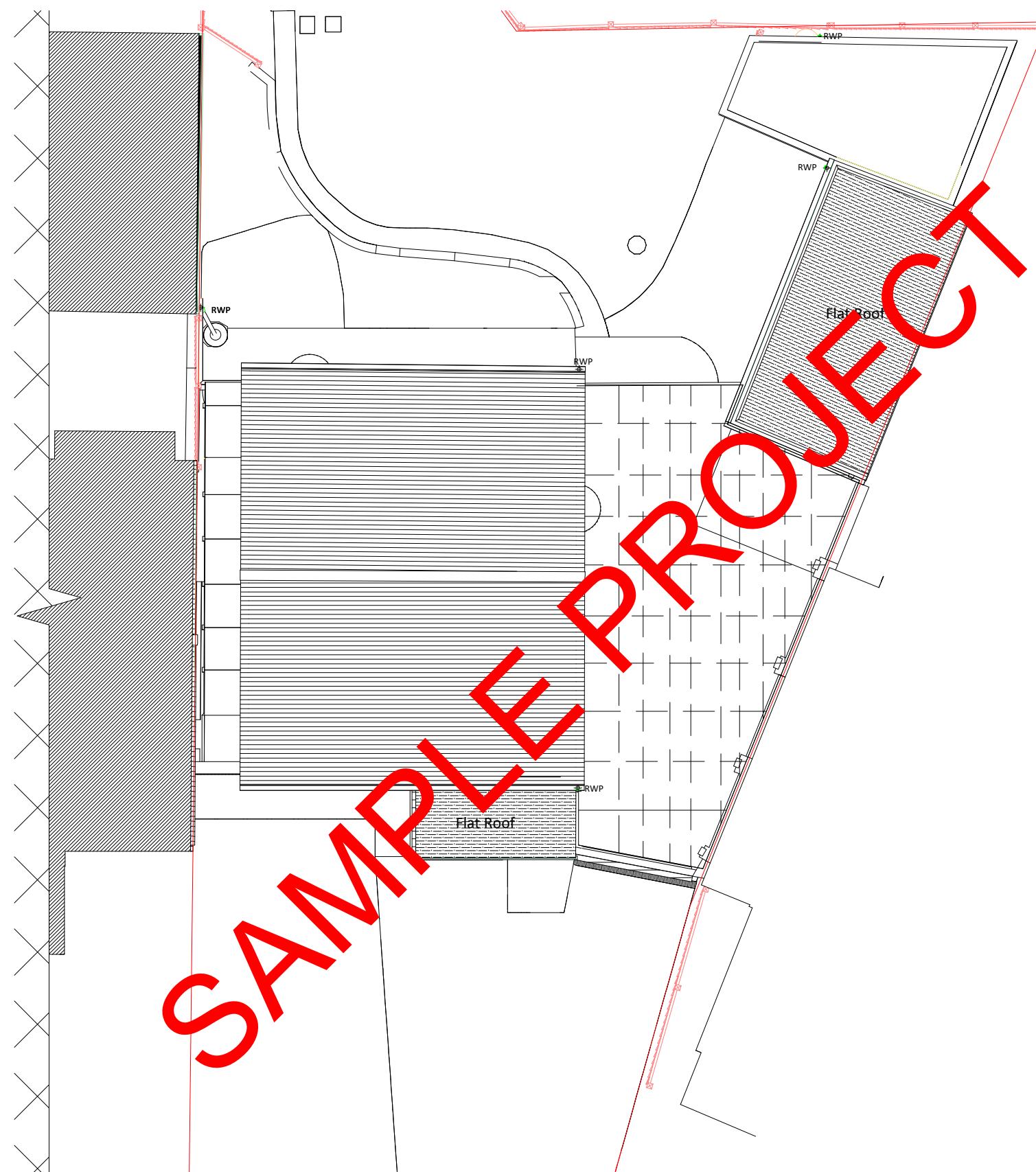
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Scale 1:100

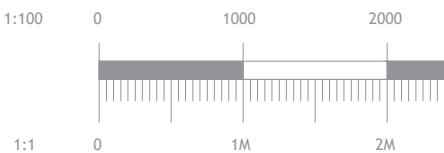
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Client Name
Project Address 44 RED CEDARS ROAD ORPINGTON BR6 0BX
Section SINGLE STORY EXTENSION
Stage STRUCTURAL
Drawing Title EXISTING PLAN
Drawing Status FOR APPROVAL
Revisions and Notes
Project No. 2024-03-BR6 0BX
Drawing No. BREG-0003
Revision 00
Scale at A3 1:100
Date 14-03-2024
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EXISTING ROOF PLAN
Scale 1:100





LEGEND

- EXISTING STRUCTURE
- STR. TO BE DEMOLISHED
- PROPOSED STRUCTURE
- SHARED WALL

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Client Name

Project Address
44 RED CEDARS ROAD
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Section
SINGLE STORY EXTENSION

Stage
STRUCTURAL

Drawing Title
EXISTING ELEVATION

Drawing Status
FOR APPROVAL

Revisions and Notes

Project No. 2024-03-BR6 0BX

Drawing No. BREG-0004

Revision 00

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Date 14-03-2024

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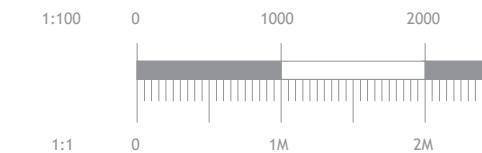
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EXISTING LEFT SIDE ELEVATION
Scale 1:100





LEGEND

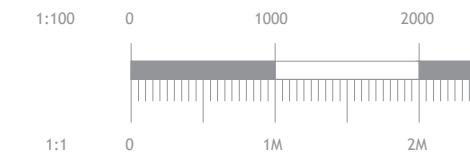
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- SHARED WALL

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Client Name	
Project Address	44 RED CEDARS ROAD ORPINGTON BR6 0BX
Section	SINGLE STORY EXTENSION
Stage	STRUCTURAL
Drawing Title	EXISTING ELEVATION
Drawing Status	FOR APPROVAL
Revisions and Notes	



EXISTING RIGHT SIDE ELEVATION
Scale 1:100



Project No. 2024-03-BR6 0BX
Drawing No. BREG-0005
Revision 00
Scale at A3 1:100
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Stage STRUCTURAL
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Drawing Status FOR APPROVAL
Revisions and Notes

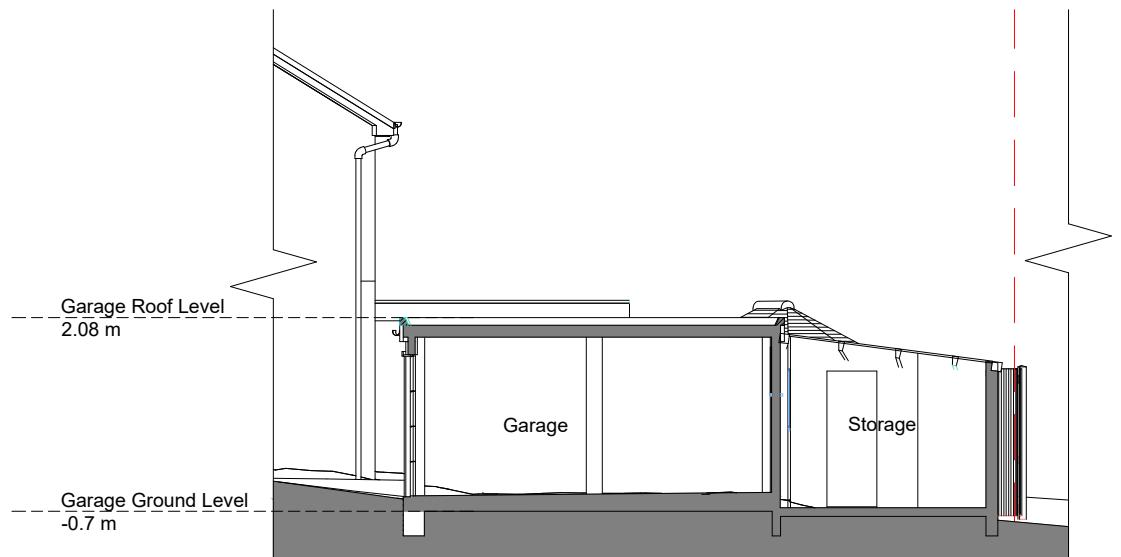
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Date 14-03-2024
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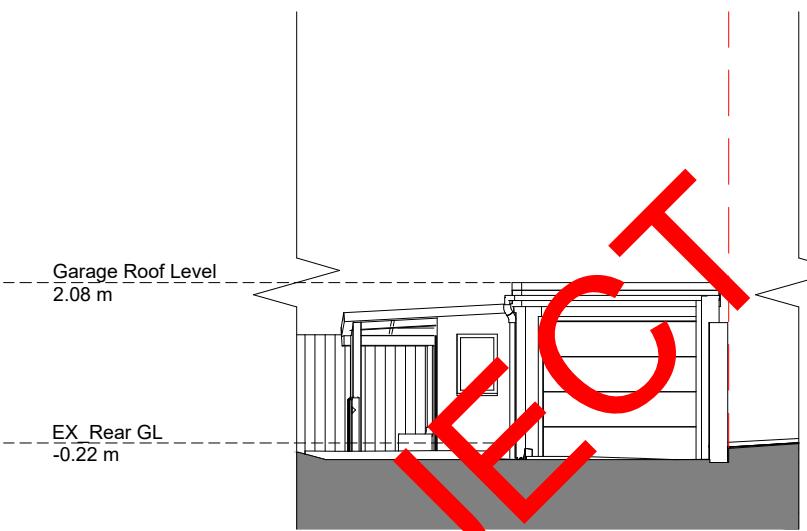
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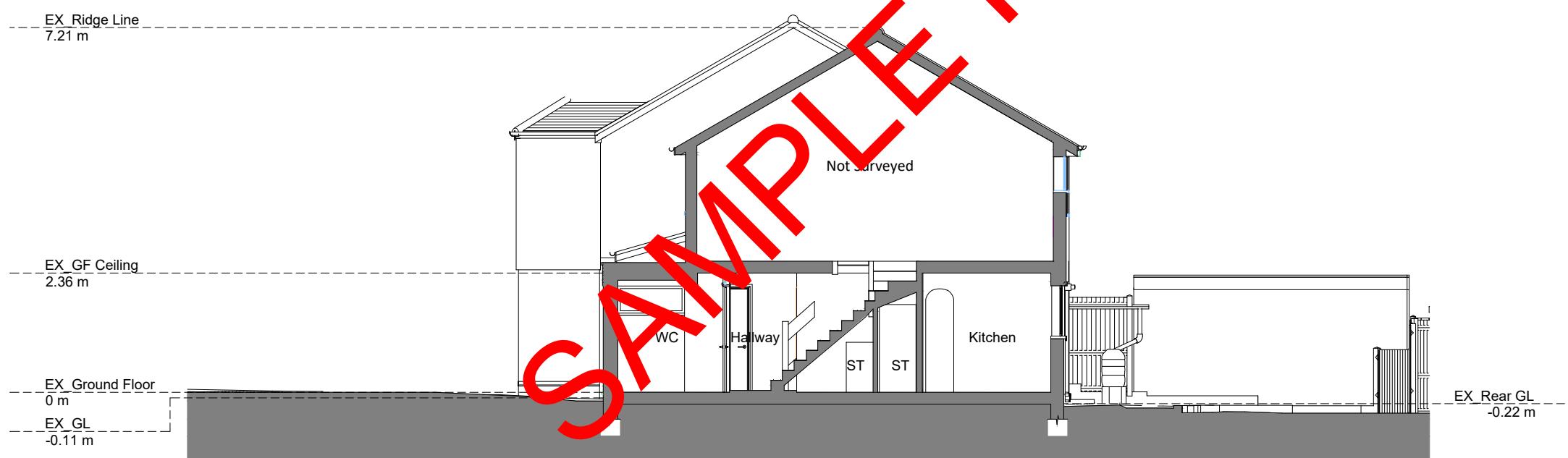
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- SHARED WALL



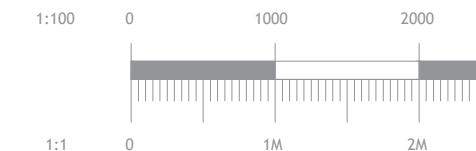
OUT BUILDING B - B
Scale 1:100



EXISTING GARAGE FRONT ELEVATION
Scale 1:100



EXISTING SECTION A - A
Scale 1:100



This architectural floor plan illustrates the layout of a house and its outdoor areas. The house features a Dining Room (8 m²), Kitchen (10 m²), Lounge (13 m²), Hallway (4 m²), a central staircase (ST), a Porch (2 m²), and a WC (2 m²). A patio area is located at the top left, and a Garage (13 m²) is attached to the right side of the house. The plan includes several red annotations: a large diagonal watermark reading "SAMPLE PROJECT" in red; red arrows pointing from the "UP" labels in the Dining Room, Kitchen, Lounge, and Hallway towards the central staircase; red dashed lines connecting points A and B in the Dining Room and Kitchen; and a red shaded area representing a proposed extension or addition to the rear of the house.

LEGEND

-  EXISTING STRUCTURE
-  STR. TO BE DEMOLISHED
-  PROPOSED STRUCTURE
-  SHARED WALL

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Client Name

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Section

Stage
STRUCTURAL

Drawing Title

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Project No. 2024-03-BR6 0BX

Drawing No. BREG-0007

Revision 00

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 DEMO GROUND FLOOR PLAN
Scale 1:100

A horizontal timeline with labels at 1:100, 0, 1000, 2000, 1:1, 0, 1M, and 2M. Two dark grey horizontal bars are present: one from approximately 1:100 to 1000, and another from approximately 2000 to 2M.

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Client Name

Project Address

44 RED CEDARS ROAD
ORPINGTON BR6 0BX

Section

SINGLE STORY EXTENSION

Stage

STRUCTURAL

Drawing Title

PROPOSED PLAN

Drawing Status

FOR APPROVAL

Revisions and Notes

Project No. 2024-03-BR6 0BX

Drawing No. BREG-0008

Revision 00

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Date 14-03-2024

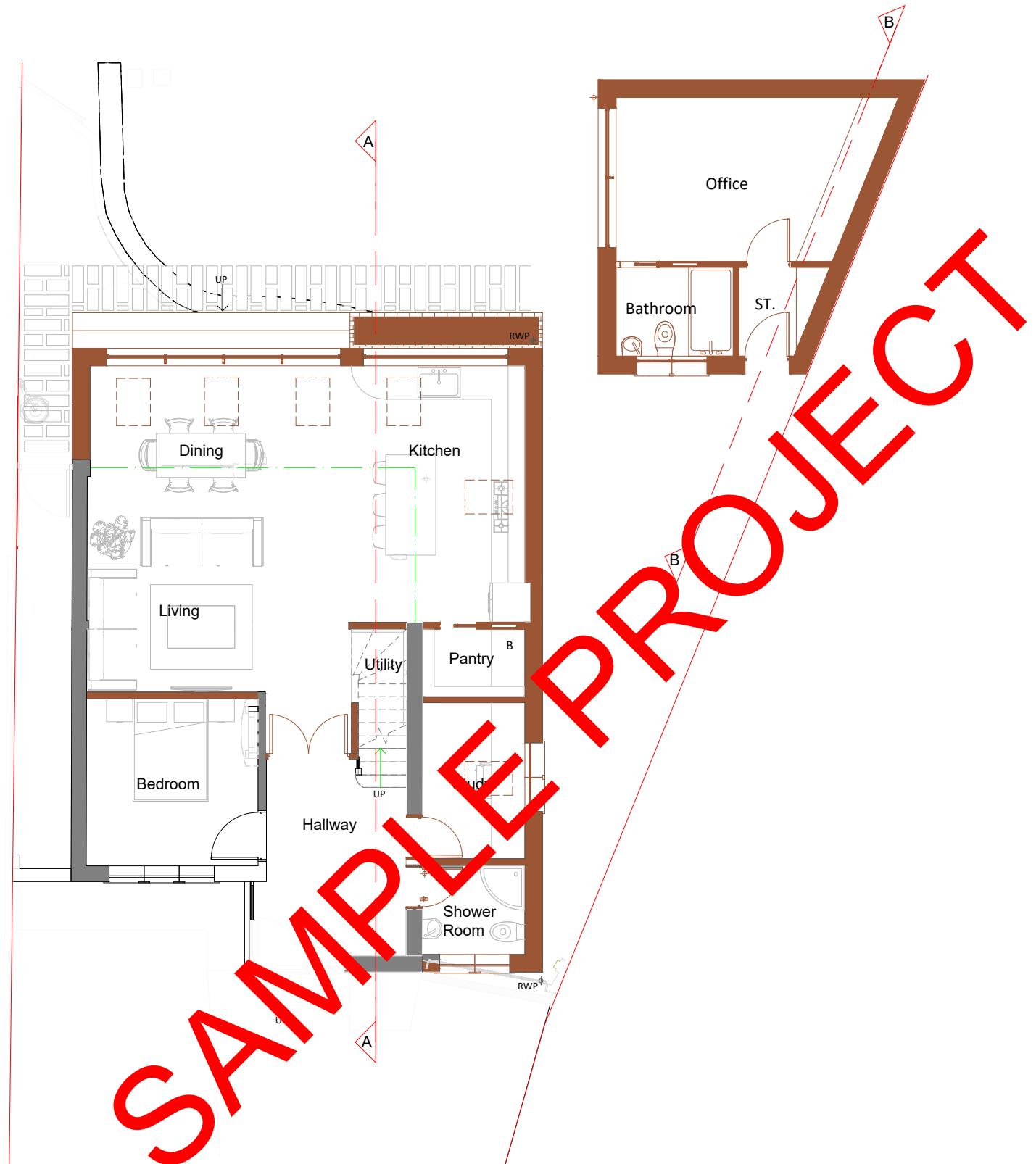
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PROPOSED GROUND FLOOR PLAN
Scale 1:100

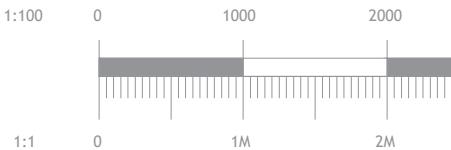
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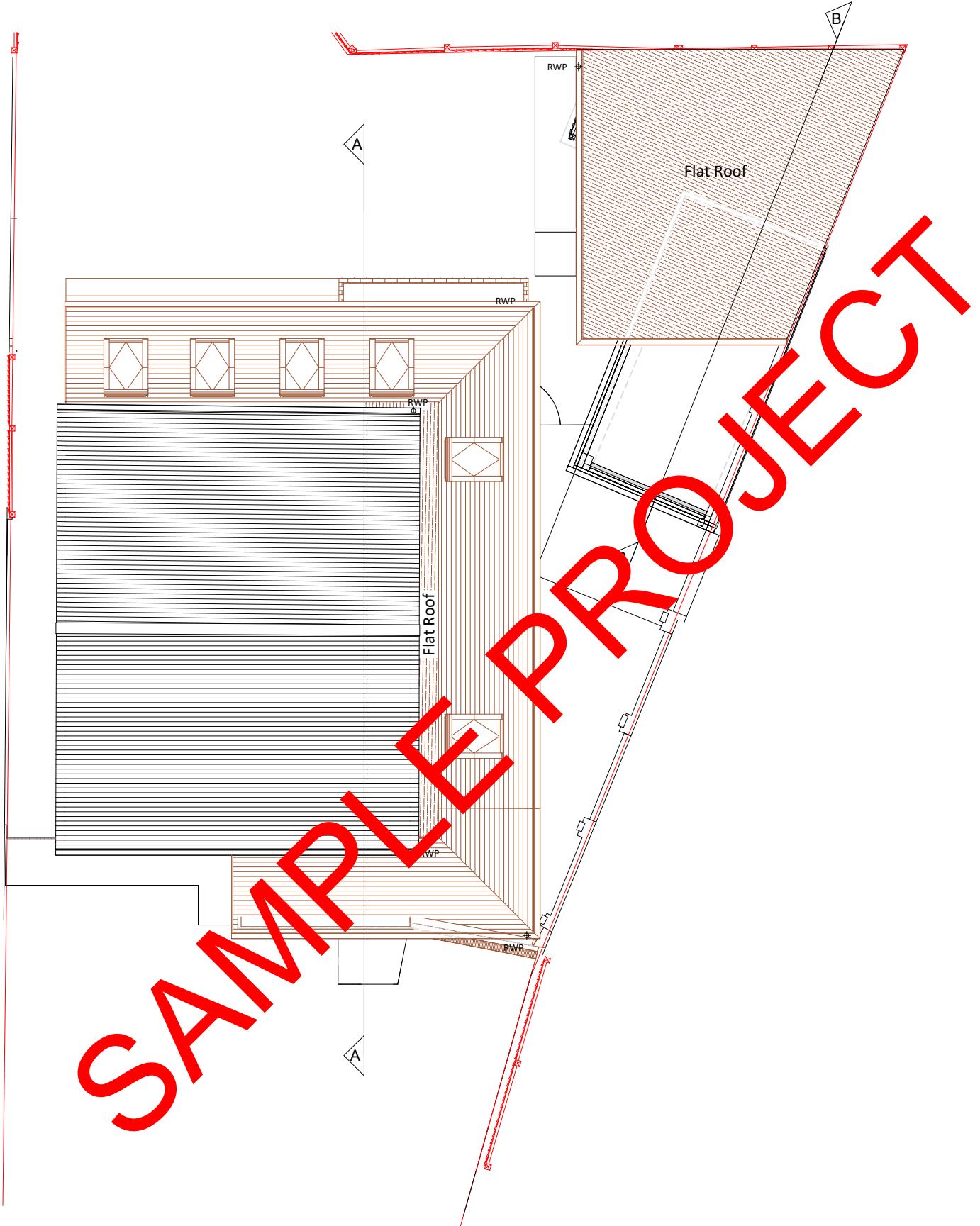
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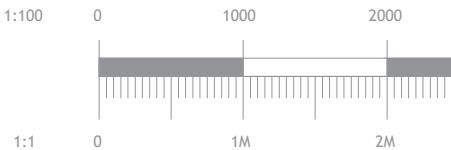


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Client Name
Project Address 44 RED CEDARS ROAD ORPINGTON BR6 0BX
Section SINGLE STORY EXTENSION
Stage STRUCTURAL
Drawing Title PROPOSED PLAN
Drawing Status FOR APPROVAL
Revisions and Notes
Project No. 2024-03-BR6 0BX
Drawing No. BREG-0009
Revision 00
Scale at A3 1:100
Date 14-03-2024
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PROPOSED ROOF PLAN
Scale 1:100



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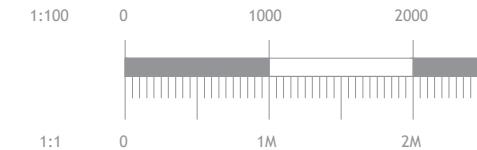
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Section SINGLE STORY EXTENSION
Stage STRUCTURAL
Drawing Title PROPOSED ELEVATIONS
Drawing Status FOR APPROVAL
Revisions and Notes
Project No. 2024-03-BR6 0BX
Drawing No. BREG-0010
Revision 00
Scale at A3 1:100
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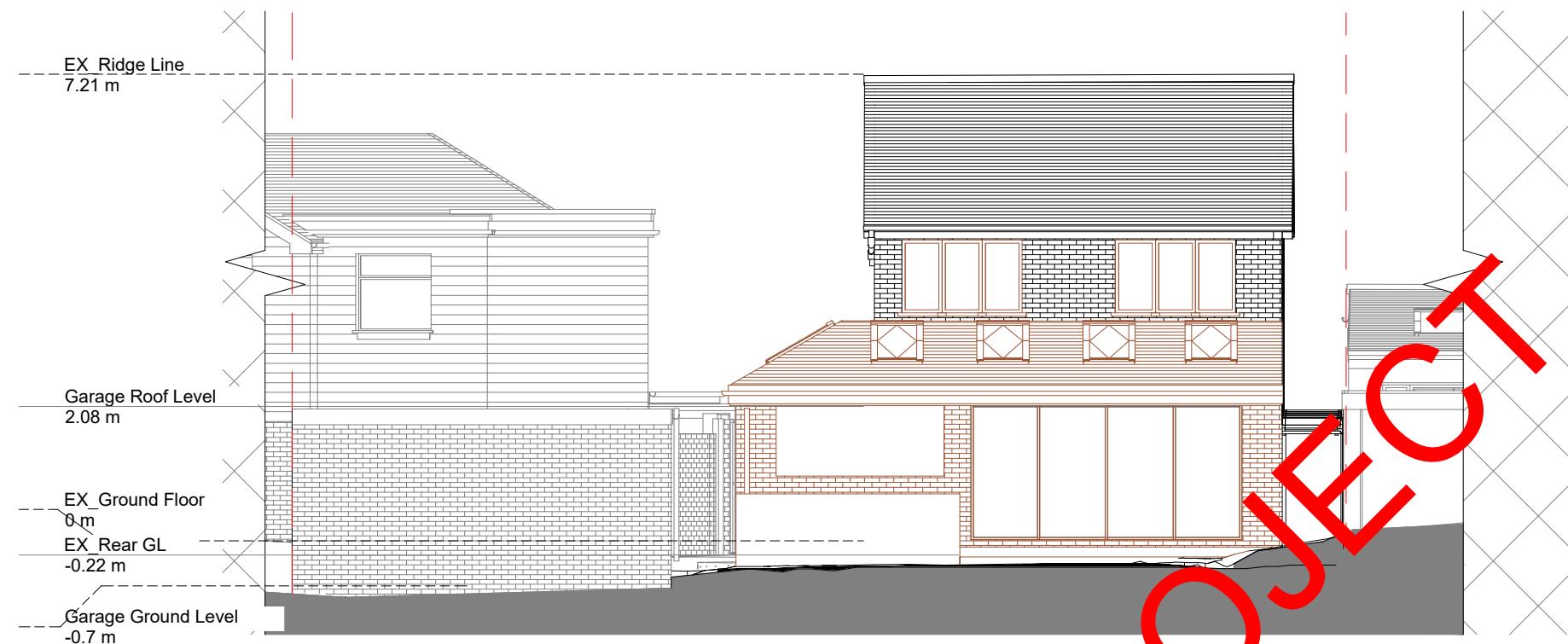


PROPOSED FRONT ELEVATION
Scale 1:100



PROPOSED LEFT SIDE ELEVATION
Scale 1:100





The image shows an architectural drawing of a proposed rear elevation for a two-story house. The house features a brick facade with large windows and a garage door. A red 'SAMPLE PROJECT' watermark is diagonally across the drawing.

 PROPOSED RIGHT SIDE ELEVATION
Scale 1:100



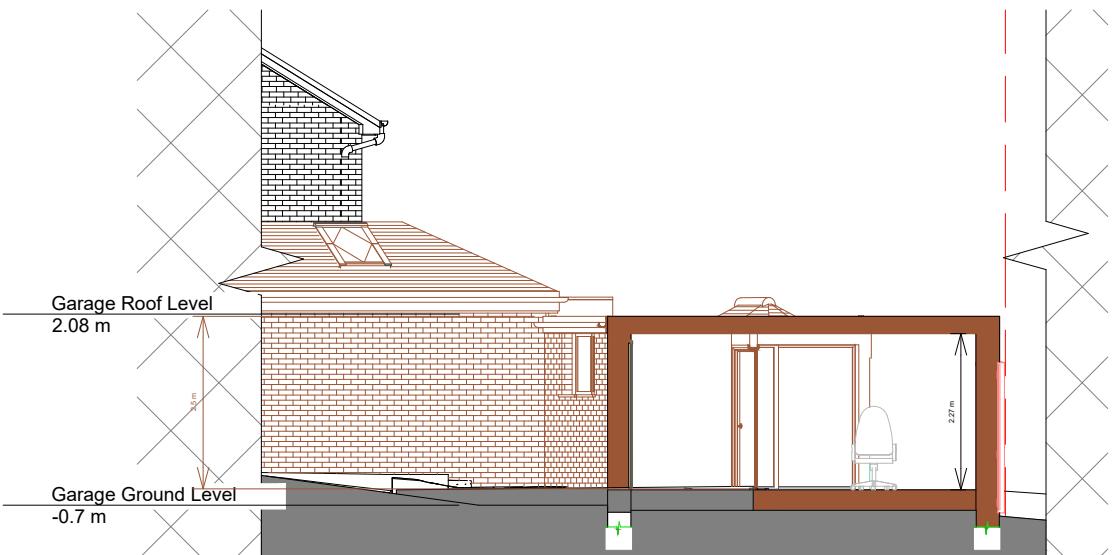
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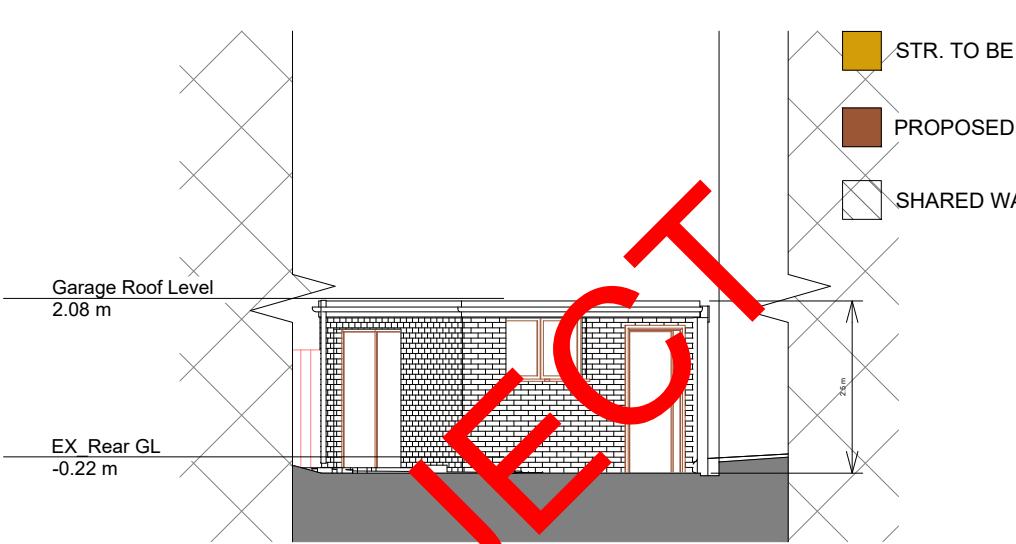
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Project Address	44 RED CEDARS ROAD ORPINGTON BR6 0BX	
Section	SINGLE STORY EXTENSION	
Stage	STRUCTURAL	
Drawing Title	PROPOSED SECTION	
Drawing Status	FOR APPROVAL	
Revisions and Notes		
Project No.	2024-03-BR6 0BX	
Drawing No.	BREG-0012	
Revision	00	
Scale at A3	1:100	
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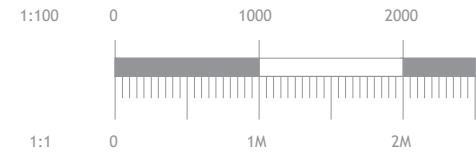
OUT BUILDING B - B
Scale 1:100



OUT BUILDING B - B
Scale 1:100



PROPOSED SECTION A - A
Scale 1:100



LEGEND

- EXISTING STRUCTURE
- STR. TO BE DEMOLISHED
- PROPOSED STRUCTURE
- SHARED WALL

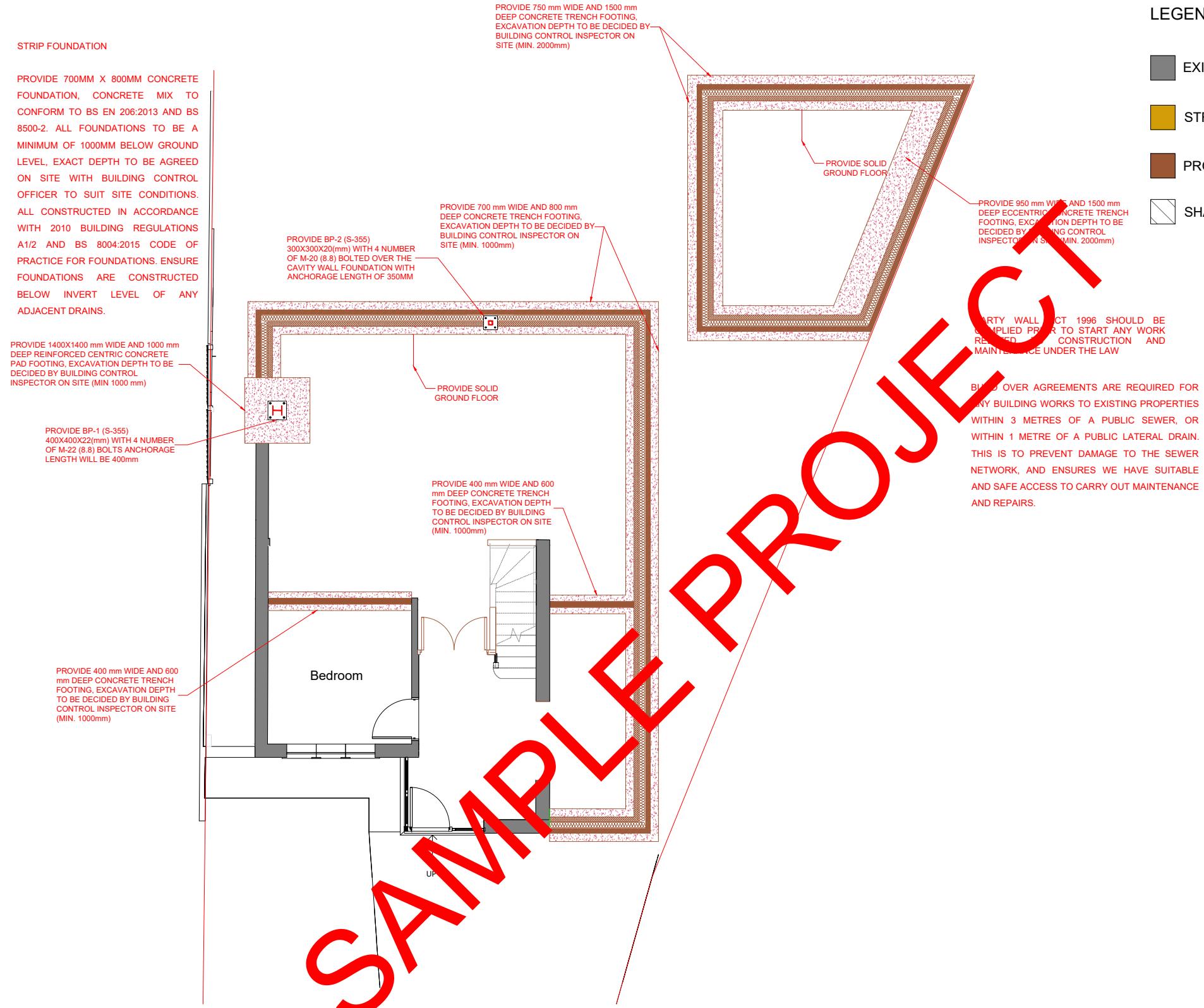
SAMPLE PROJECT

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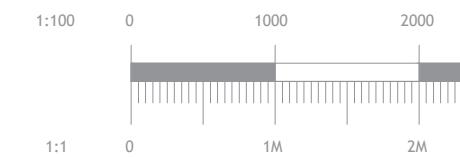
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Stage	STRUCTURAL
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Drawing No.	BREG-0013
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LEGEND

- █ EXISTING STRUCTURE
- █ STR. TO BE DEMOLISHED
- █ PROPOSED STRUCTURE
- SHARED WALL



GROUND FLOOR FOUNDATION PLAN
Scale 1:100



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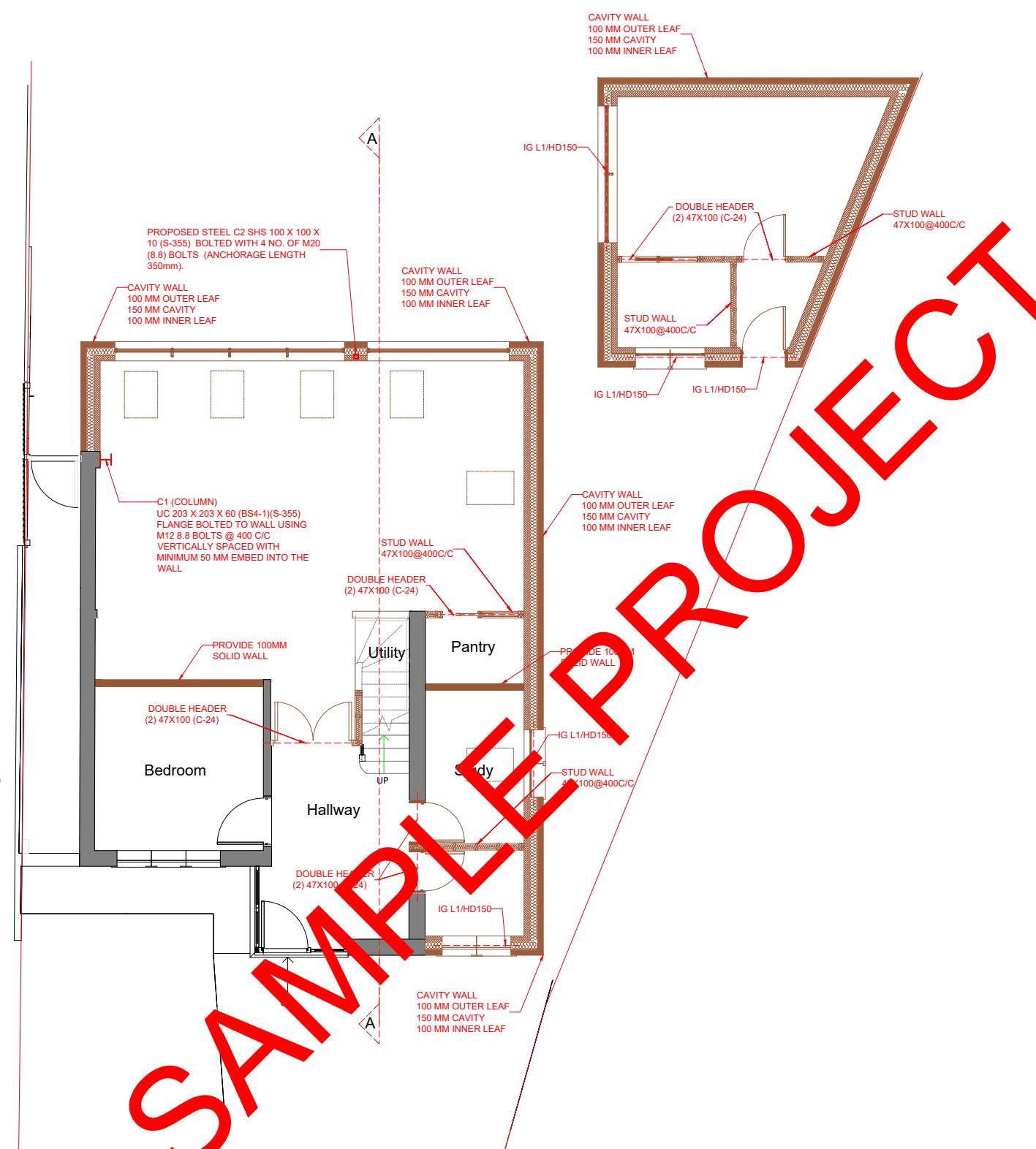
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Project Address
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Section
SINGLE STORY EXTENSION
Stage
STRUCTURAL
Drawing Title
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Drawing Status
FOR APPROVAL
Revisions and Notes
Project No. 2024-03-BR6 0BX
Drawing No. BREG-0014
Revision 00
Scale at A3 1:100
Date 14-03-2024
Designed MM Checked MM
Drawn MM Approved MM

LEGEND

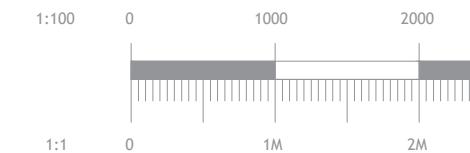
- EXISTING STRUCTURE
- STR. TO BE DEMOLISHED
- PROPOSED STRUCTURE
- SHARED WALL

NEW AND REPLACEMENT WINDOWS
NEW AND REPLACEMENT WINDOWS TO BE DOUBLE GLAZED WITH 16-20MM ARGON GAP AND SOFT COAT LOW-E GLASS. WINDOW ENERGY RATING TO BE BAND B OR BETTER AND TO ACHIEVE U-VALUE OF 1.4 W/M²K. THE DOOR AND WINDOW OPENINGS SHOULD BE LIMITED TO 25% OF THE EXTENSION FLOOR AREA PLUS THE AREA OF ANY EXISTING OPENINGS COVERED BY THE EXTENSION. INSULATED PLASTERBOARD TO BE USED IN REVEALS TO ABUT JAMBS AND TO BE CONSIDERED WITHIN REVEAL SOFFITS. FULLY INSULATED AND CONTINUOUS CAVITY CLOSERS TO BE USED AROUND REVEALS. WINDOWS AND DOOR FRAMES TO BE TAPE TO SURROUNDING OPENINGS USING AIR SEALING TAPE. WINDOWS TO BE FITTED WITH TRICKLE VENTS TO PROVIDE ADEQUATE BACKGROUND VENTILATION IN ACCORDANCE WITH APPROVED DOCUMENT F.

NEW AND REPLACEMENT DOORS
NEW AND REPLACEMENT DOORS TO ACHIEVE A U-VALUE OF 1.4W/M²K. GLAZED AREAS TO BE DOUBLE GLAZED WITH 16-20MM ARGON GAP AND SOFT LOW-E GLASS. GLASS TO BE TOUGHENED OR LAMINATED SAFETY GLASS TO BS 6206, BS EN 14179 OR BS EN ISO 12543-1 AND PART K OF THE CURRENT BUILDING REGULATIONS. INSULATED PLASTERBOARD TO BE USED IN REVEALS TO ABUT JAMBS AND TO BE CONSIDERED WITHIN REVEAL SOFFITS. FULLY INSULATED AND CONTINUOUS CAVITY CLOSERS TO BE USED AROUND REVEALS. WINDOWS AND DOOR FRAMES TO BE TAPE TO SURROUNDING OPENINGS USING AIR SEALING TAPE.



GROUND FLOOR WALL & LINTEL PLAN
Scale 1:100



PEARL ENGINEERS PLANNERS &
PROJECT MANAGERS
02 TOWERFIELDS WESTERHAM ROAD
BROMLEY, BR2 6HF
Email: info@Pearlepp.co.uk
Web: www.pearlepp.co.uk
Phone No.: 02035763199

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The logo for PEPP (Patient Electronic Protection Project) features a stylized graphic of several vertical bars of increasing height on the left, followed by the acronym "PEPP" in large, bold, blue capital letters.

**EARL ENGINEERS PLANNERS &
PROJECT MANAGERS**
2 TOWERFIELDS WESTERHAM ROAD

mail: info@Pearlepp.co.uk
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phone No.: 02035763199



REJECT

NOTE:

WALLS UNDER B3 & B4 CANNOT
BEARING THESE BEAMS AND
WALLS, DURING DEMOLITION,

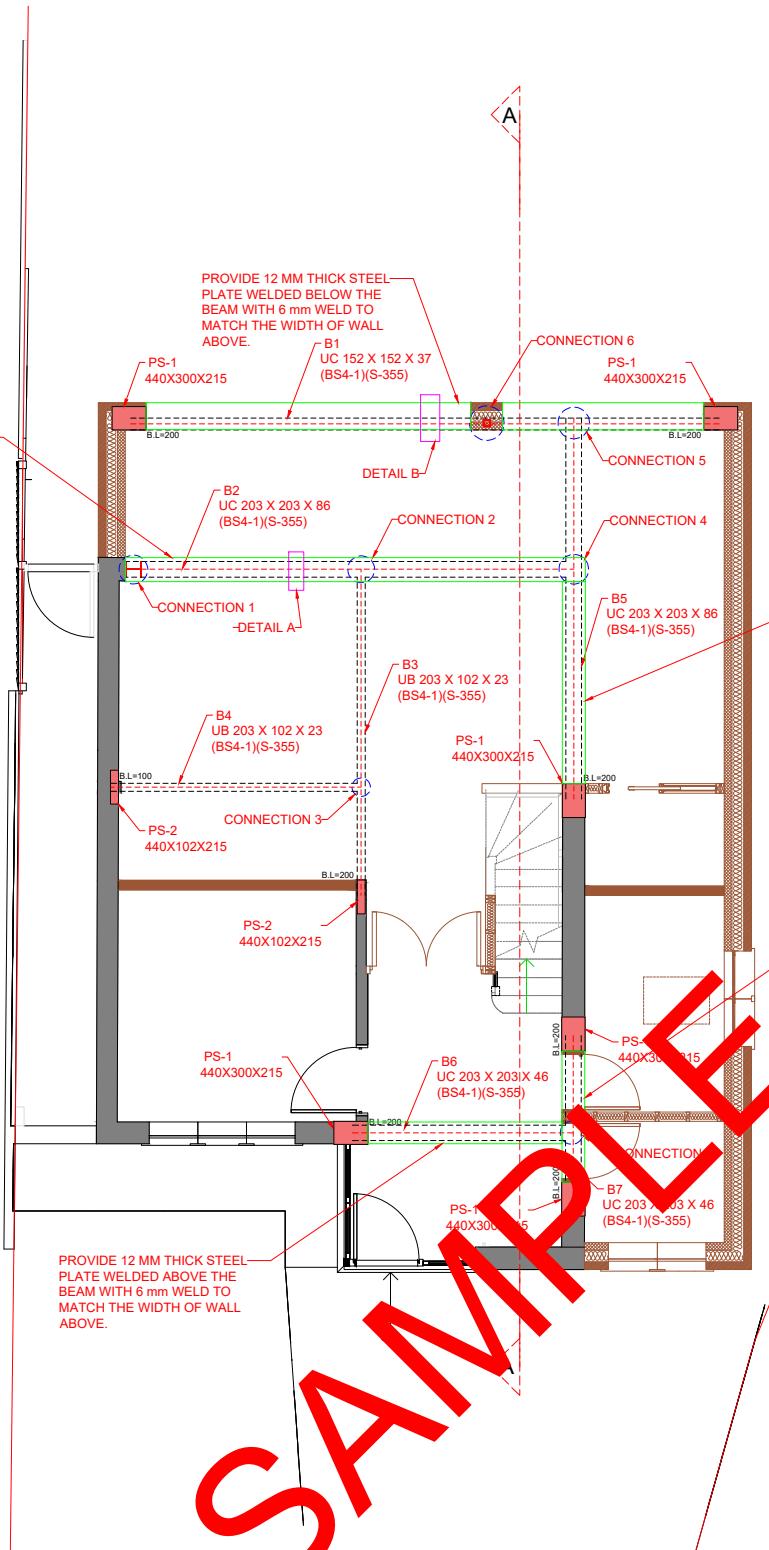
NOTE:

WALLS UNDER B3 & B4 CONSIDERED AS LOAD BEARING WALLS, DURING DEMOLITION IF FOUND NON-LOAD BEARING THESE BEAMS ARE NOT REQUIRED.

STEELWORK

ALL STRUCTURAL STEELWORK TO BE GRADE S355 UNLESS NOTED OTHERWISE. ALL STEEL TO BE PROTECTED AGAINST CORROSION BY PERMOGLAZE RED OXIDE PRIMER (OR SIMILAR) APPLIED ACCORDING TO MANUFACTURER'S INSTRUCTIONS. WHERE STEEL IS BUILT INTO EXTERNAL MASONRY OR SUBJECT TO MOIST CONDITIONS COAT WITH ISOCYANATE PITCH EPOXY ACCORDING TO MANUFACTURER'S INSTRUCTIONS.

TO PROVIDE MINIMUM 1/2 HOUR FIRE
RESISTANCE TO STEEL ENCASE IN
EXPANDED METAL LATHING AND 12.5
MM GYPSUM PLASTER OR
ALTERNATIVELY ENCASE IN 12.5 MM
GYPROC FIRELINE BOARD WITH
JOINTS TAPED AND FILLED OR COAT
WITH FIRETEX F907 (BY LEIGH PAINTS)
INTUMESCENT PAINT APPLIED
STRICTLY IN ACCORDANCE WITH
MANUFACTURER'S INSTRUCTIONS.
FOR ONE HOUR FIRE RESISTANCE USE
2 LAYERS OF GYPROC FIRELINE
BOARDS OR SIMILAR APPROVED.



8

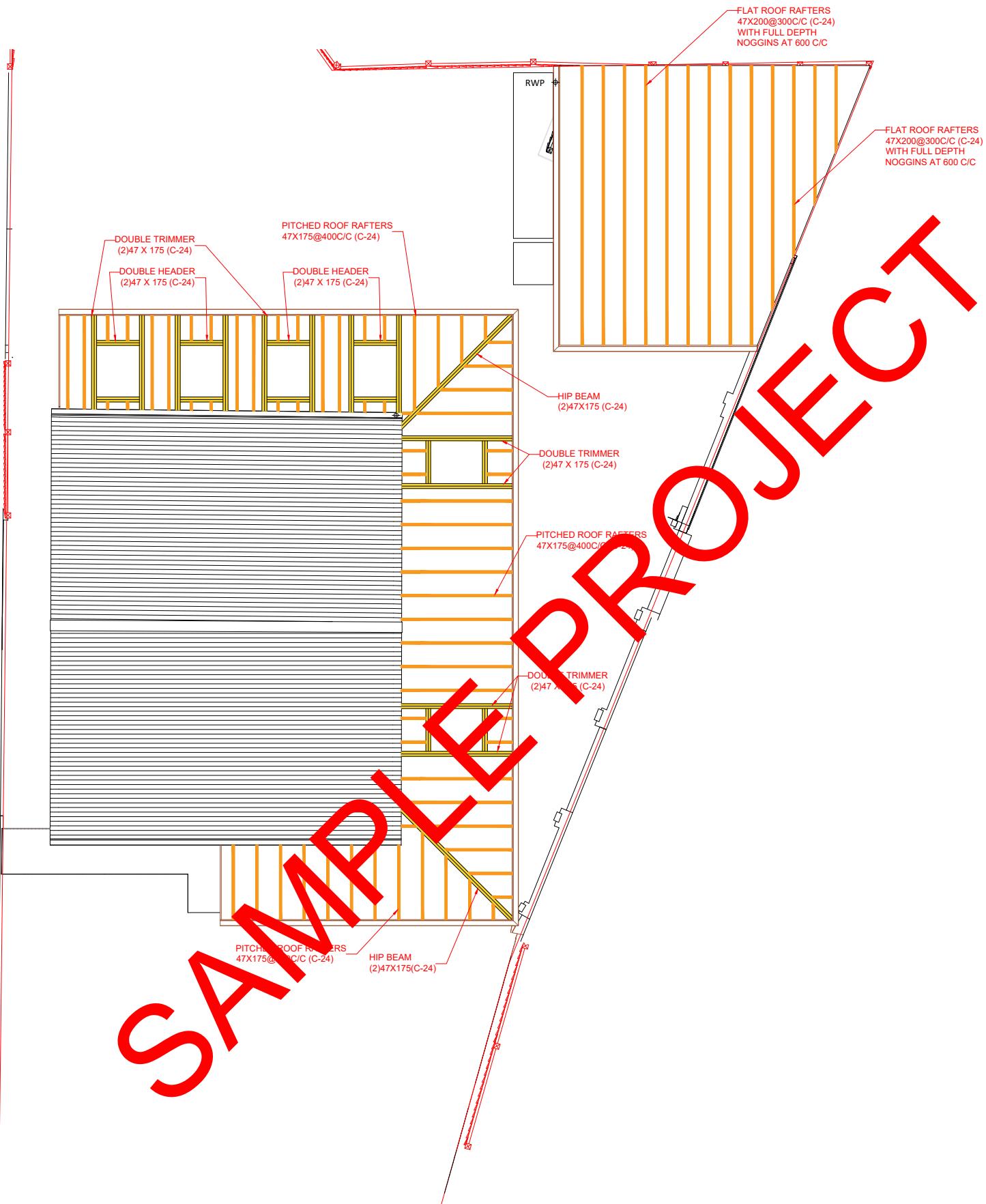
GROUND FLOOR BEAM PLAN

Scale 1:100

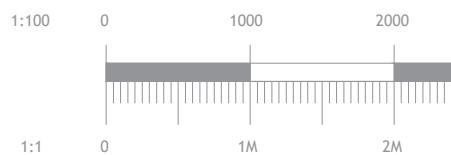
A horizontal timeline with major tick marks at 1:100, 0, 1000, 2000, 1M, and 2M. A dark grey bar spans from 0 to 1M. A black bar spans from 1M to 2M.

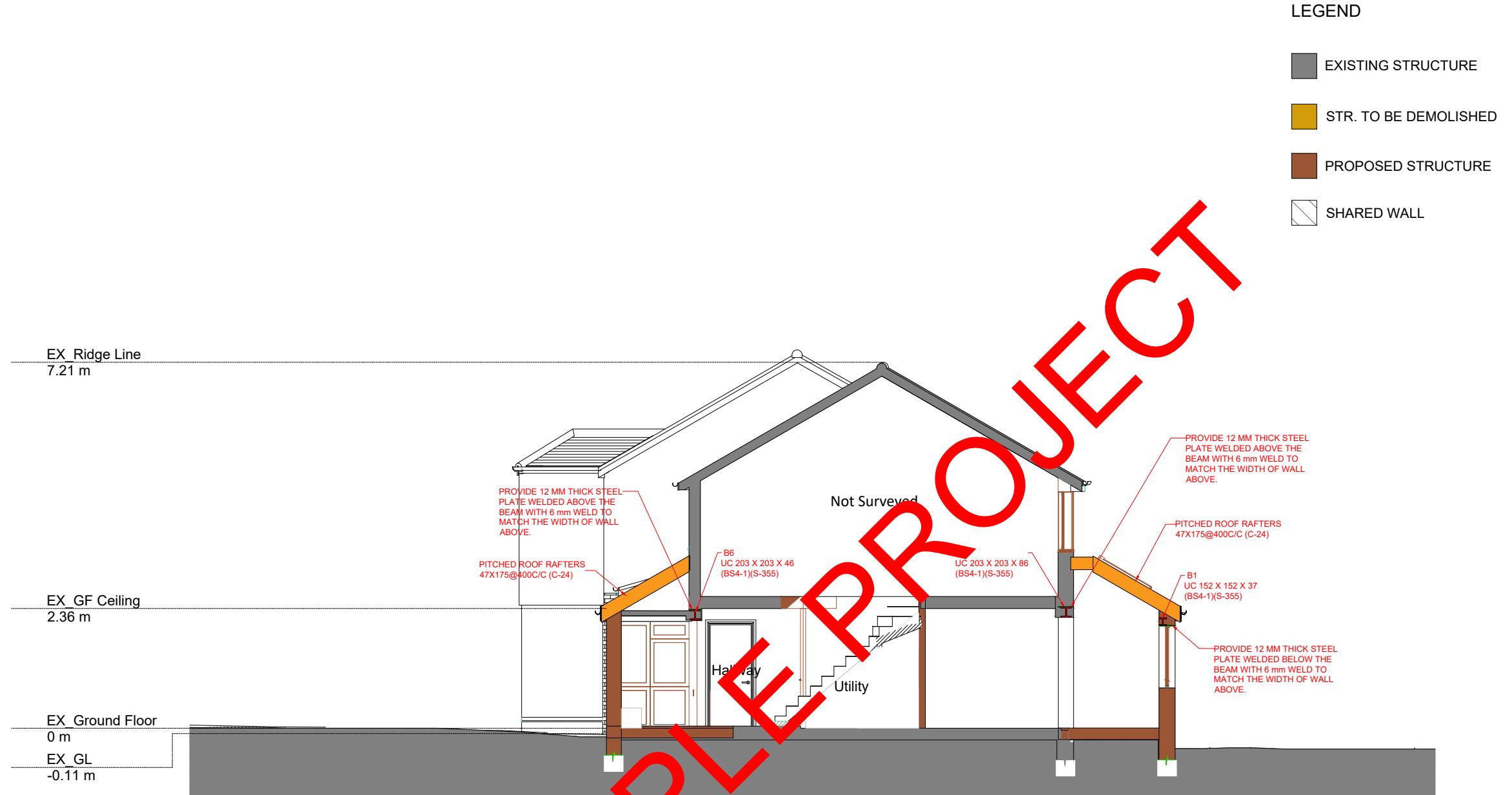
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Client Name
Project Address 44 RED CEDARS ROAD ORPINGTON BR6 0BX
Section SINGLE STORY EXTENSION
Stage STRUCTURAL
Drawing Title STRUCTURAL PLAN
Drawing Status FOR APPROVAL
Revisions and Notes
Project No. 2024-03-BR6 0BX
Drawing No. BREG-0016
Revision 00
Scale at A3 1:100
Date 14-03-2024
Designed MM Checked MM
Drawn MM Approved MM
PEARL ENGINEERS PLANNERS & PROJECT MANAGERS 02 TOWERFIELDS WESTERHAM ROAD BROMLEY, BR2 6HF Email: info@Pearlepp.co.uk Web: www.pearlepp.co.uk Phone No.: 02035763199



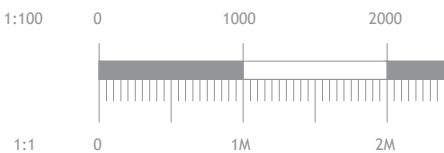
STRUCTURAL ROOF PLAN
Scale 1:100





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Client Name			
Project Address	44 RED CEDARS ROAD ORPINGTON BR6 0BX		
Section	SINGLE STORY EXTENSION		
Stage	STRUCTURAL		
Drawing Title	STRUCTURAL SECTION		
Drawing Status	FOR APPROVAL		
Revisions and Notes			
Project No.	2024-03-BR6 0BX		
Drawing No.	BREG-0017		
Revision	00		
Scale at A3	1:100		
Date	14-03-2024		
Designed	MM	Checked	MM
Drawn	MM	Approved	MM
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Client Name

Project Address

44 RED CEDARS ROAD
ORPINGTON BR6 0BX

Section

SINGLE STORY EXTENSION

Stage

STRUCTURAL

Drawing Title

STRUCTURAL DETAILS

Drawing Status

FOR APPROVAL

Revisions and Notes

Project No. 2024-03-BR6 0BX

Drawing No. BREG-0018

Revision 00

Scale at A3 N/A

Date 14-03-2024

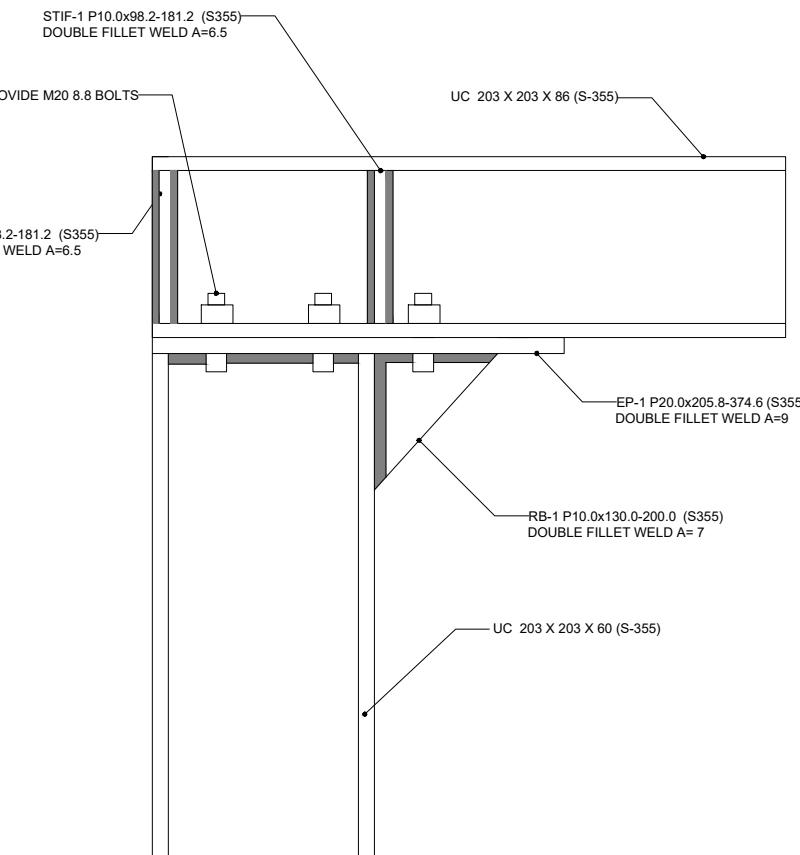
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Drawn MM Approved MM

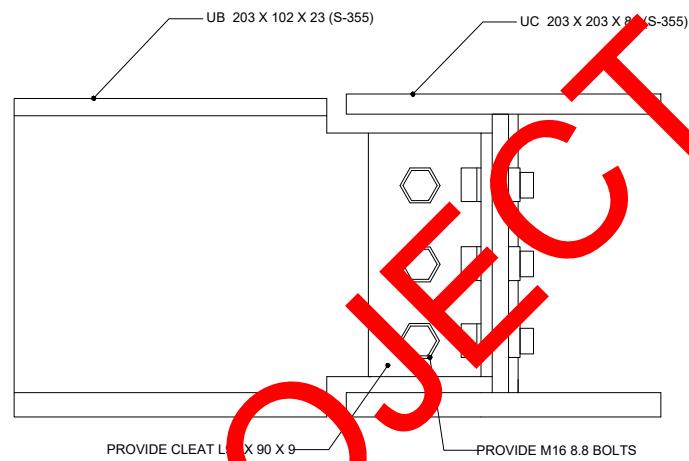


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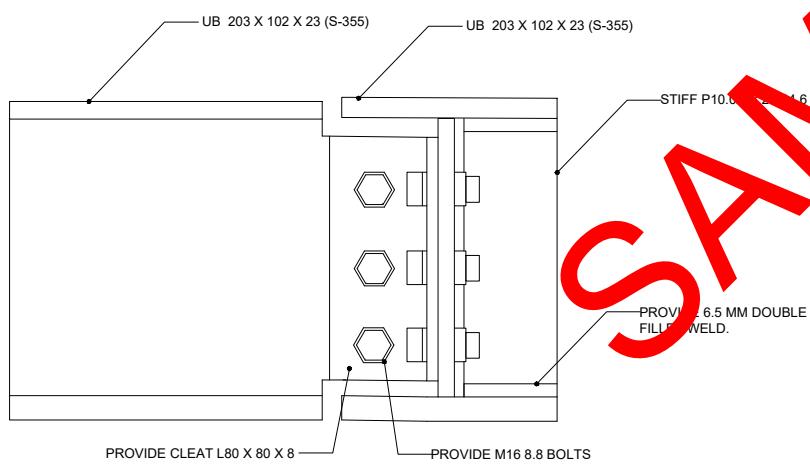
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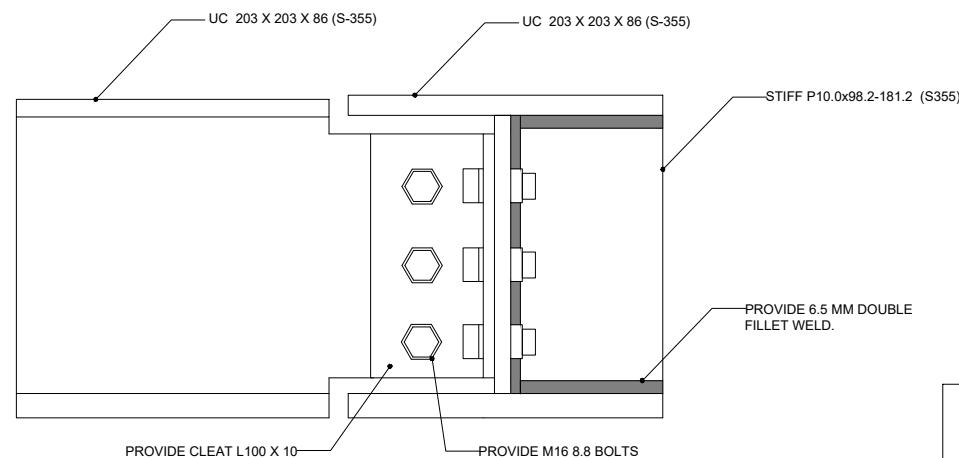
CONNECTION-1



CONNECTION-2



CONNECTION-3



CONNECTION-4

NOTE
FOR
CONNECTION
FABRICATION
DETAIL SEE
STRUCTURE
REPORT.

SAMPLE PROJECT

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Client Name

Project Address

44 RED CEDARS ROAD
ORPINGTON BR6 0BX

Section

SINGLE STORY EXTENSION

Stage

STRUCTURAL

Drawing Title

STRUCTURAL DETAILS

Drawing Status

FOR APPROVAL

Revisions and Notes

Project No. 2024-03-BR6 0BX

Drawing No. BREG-0019

Revision 00

Scale at A3 N/A

Date 14-03-2024

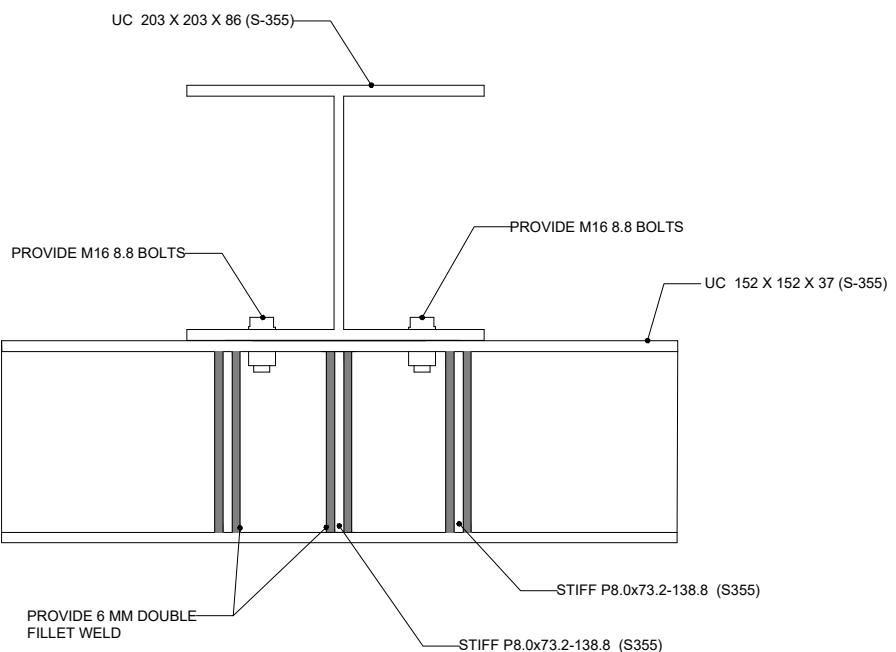
Designed MM Checked MM

Drawn MM Approved MM

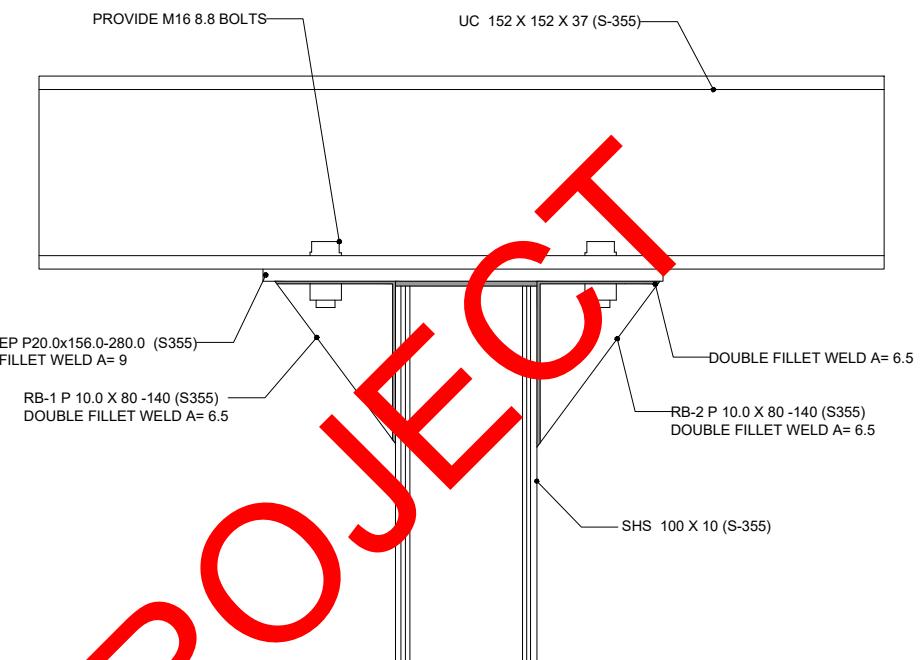


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BROMLEY, BR2 6HF

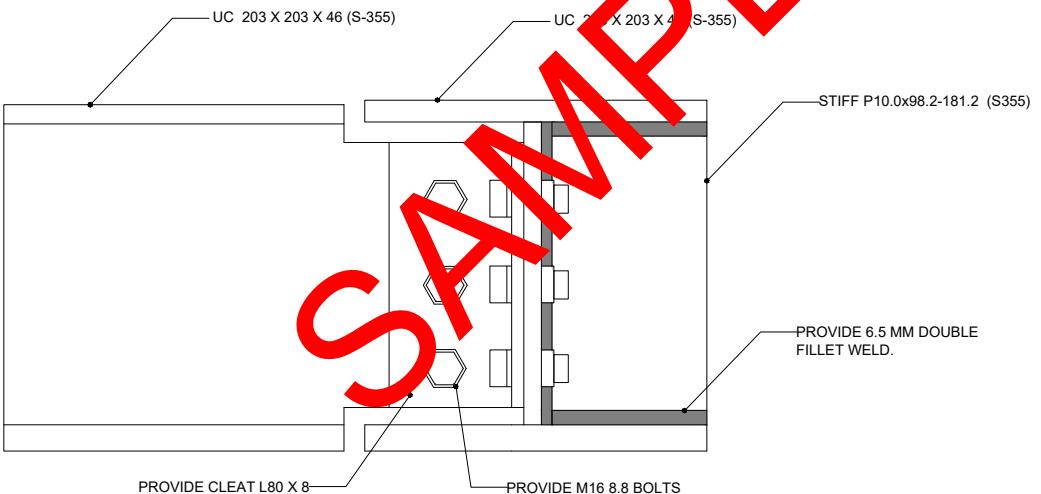
Email: info@Pearlepp.co.uk
Web: www.pearlepp.co.uk
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CONNECTION-5



CONNECTION-6



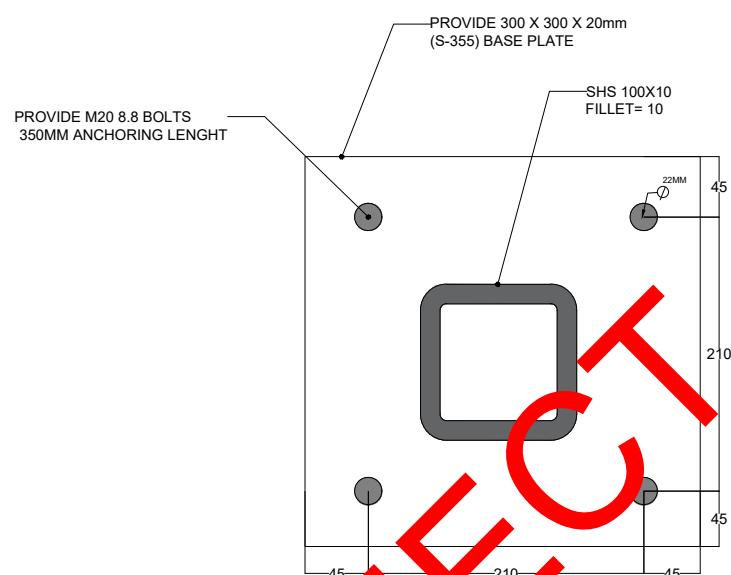
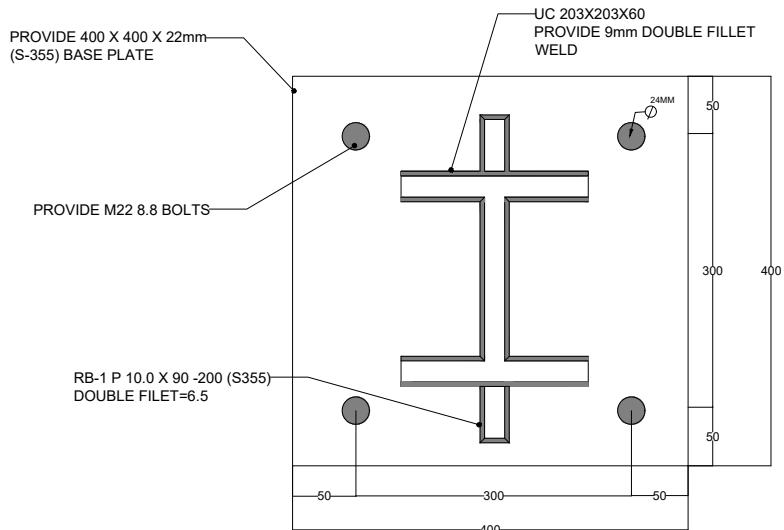
NOTE
FOR CONNECTION FABRICATION DETAIL SEE STRUCTURE REPORT.

CONNECTION-7

SAMPLE PROJECT

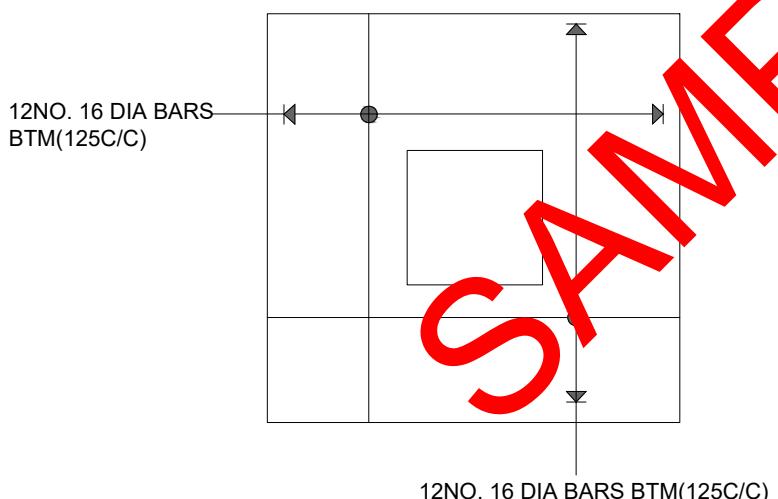
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Client Name
Project Address 44 RED CEDARS ROAD ORPINGTON BR6 0BX
Section SINGLE STORY EXTENSION
Stage STRUCTURAL
Drawing Title STRUCTURAL DETAILS
Drawing Status FOR APPROVAL
Revisions and Notes
Project No. 2024-03-BR6 0BX
Drawing No. BREG-0020
Revision 00
Scale at A3 N/A
Date 14-03-2024
Designed MM Checked MM
Drawn MM Approved MM
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CONNECTION BP-1

CONNECTION BP-2



CENTRIC COLUMN PAD REINFORCEMENT DETAIL

NOTE
FOR
CONNECTION
FABRICATION
DETAIL SEE
STRUCTURE
REPORT.



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Client Name	
Project Address	44 RED CEDARS ROAD ORPINGTON BR6 0BX
Section	SINGLE STORY EXTENSION
Stage	STRUCTURAL
Drawing Title	STRUCTURAL DETAILS
Drawing Status	FOR APPROVAL

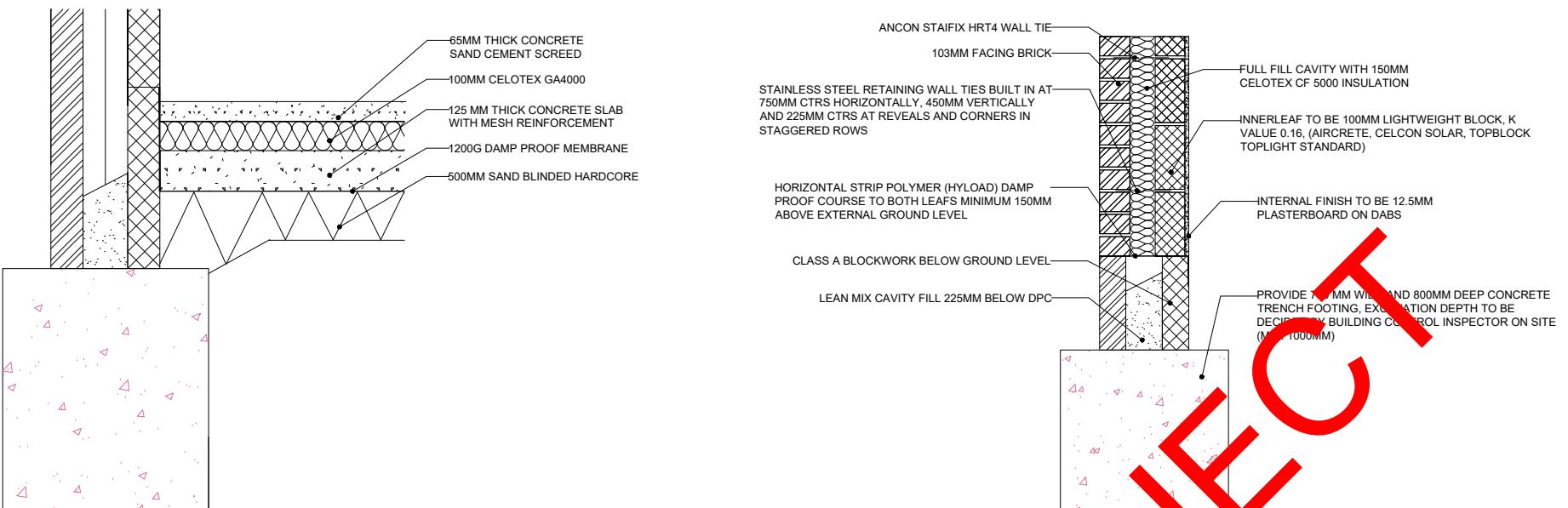
Revisions and Notes

Project No.	2024-03-BR6 0BX		
Drawing No.	BREG-0021		
Revision	00		
Scale at A3	N/A		
Date	14-03-2024		
Designed	MM	Checked	MM
Drawn	MM	Approved	MM



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Phone No.: 02035763199



SOLID GROUND FLOOR
U-value 0.18 W/m²k

FULL FILL CAVITY
WALL FOOTING
U-value 0.18 W/m²k



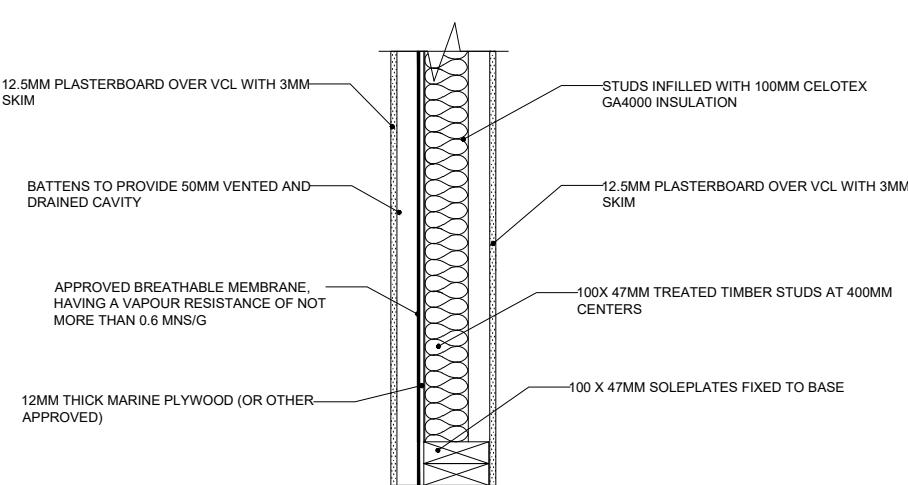
FULL FILL CAVITY WALL
FOOTING(ECCENRIC)
U-value 0.18 W/m²k

Client Name	
Project Address	44 RED CEDARS ROAD ORPINGTON BR6 0BX
Section	SINGLE STORY EXTENSION
Stage	STRUCTURAL
Drawing Title	STRUCTURAL DETAILS
Drawing Status	FOR APPROVAL
Revisions and Notes	
Project No.	2024-03-BR6 0BX
Drawing No.	BREG-0022
Revision	00
Scale at A3	N/A
Date	14-03-2024
Designed	MM
Drawn	MM
Checked	MM
Approved	MM



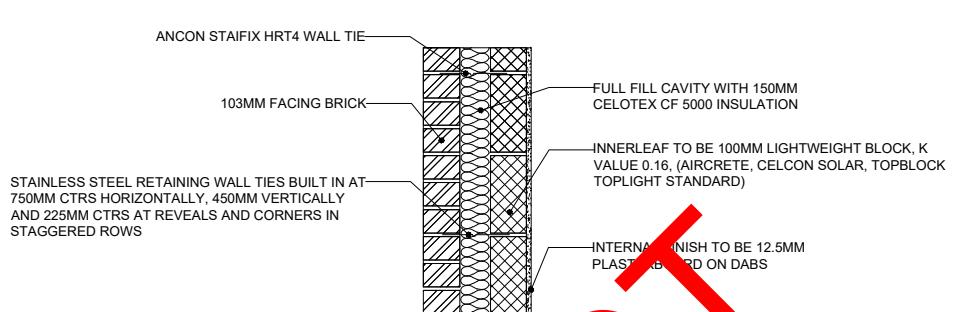
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BROMLEY, BR2 6HF

Email: info@Pearlepp.co.uk
Web: www.pearlepp.co.uk
Phone No.: 02035763199



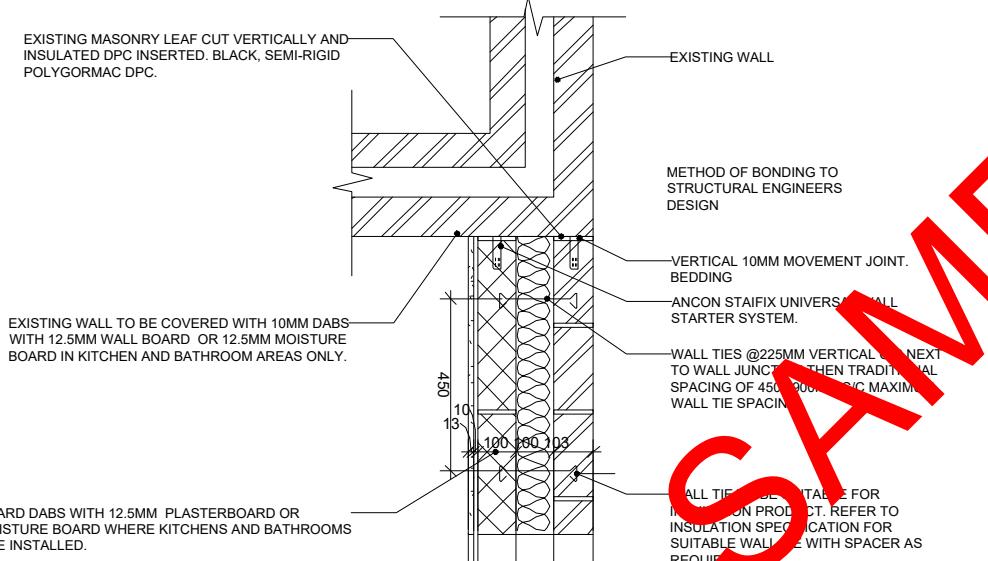
STUD WALL

U-value 0.18 W/m²k

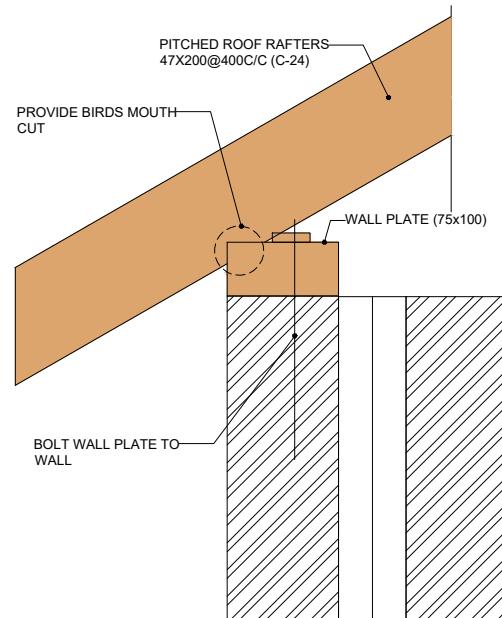


FULL FILL CAVITY WALL

U-value 0.18 W/m²k



EXISTING - NEW WALL CONNECTION



RAFTERS TO WALL PLATE CONNECTION DETAIL

SAMPLE PROJECT

Client Name

Project Address

44 RED CEDARS ROAD
ORPINGTON BR6 0BX

Section

SINGLE STORY EXTENSION

Stage

STRUCTURAL

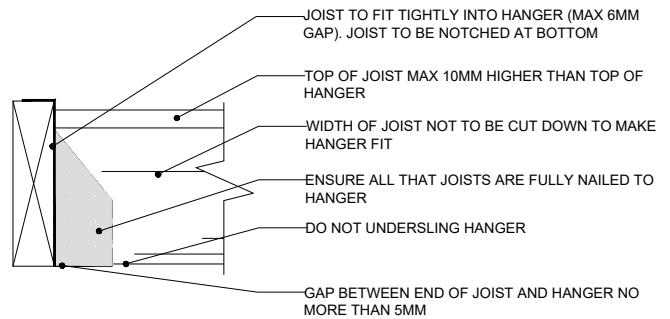
Drawing Title

STRUCTURAL DETAILS

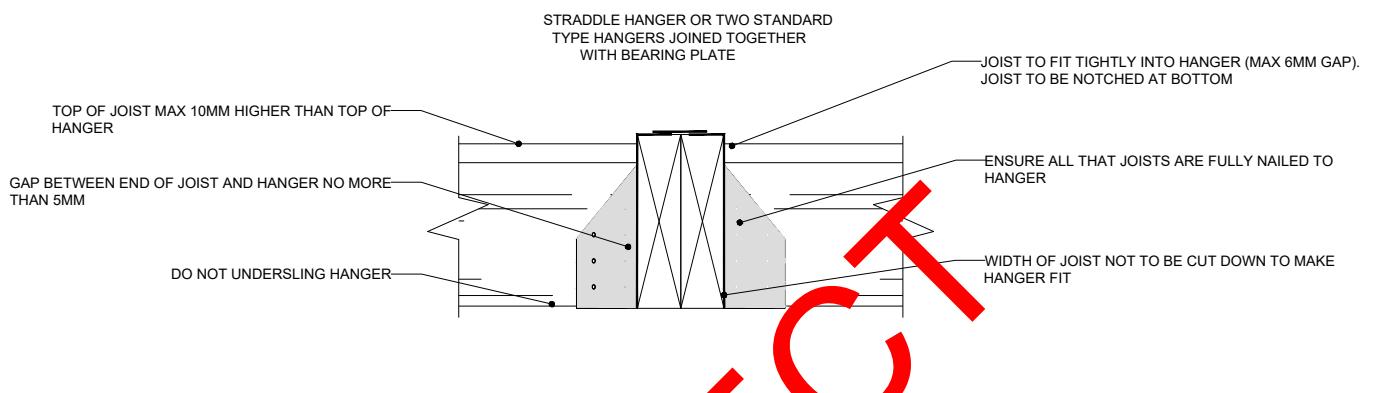
Drawing Status

FOR APPROVAL

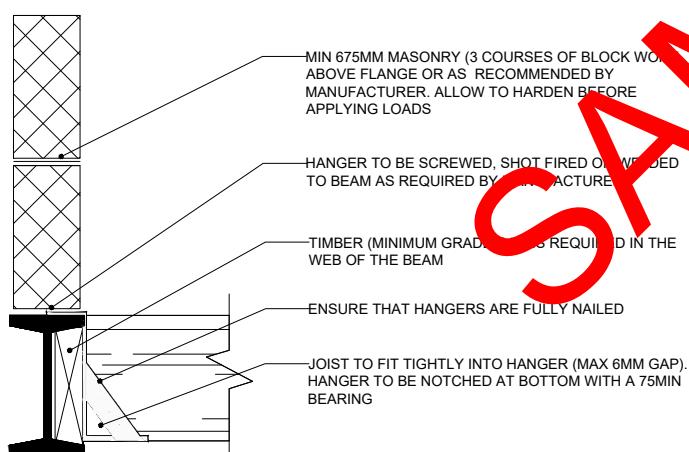
Revisions and Notes



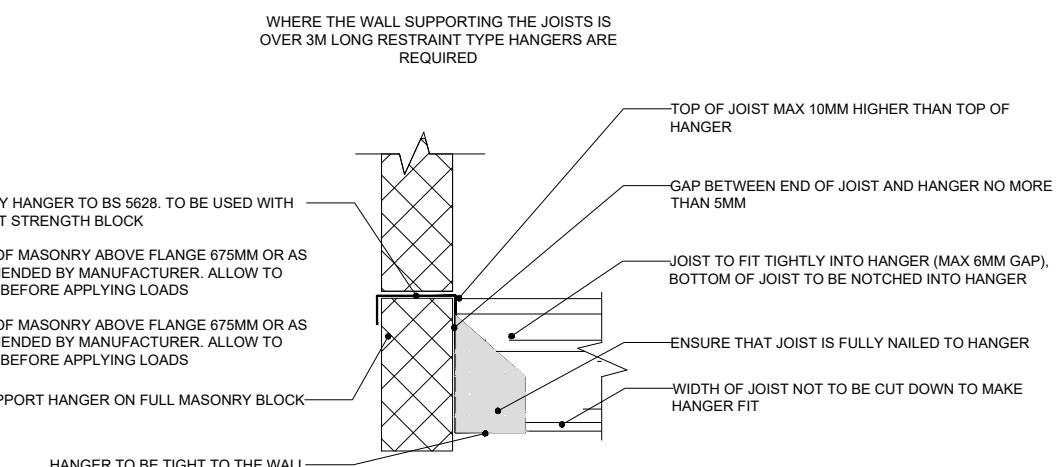
STANDARD TIMBER HANGER



STRADDLE TIMBER HANGER



HANGER FIXED ONTO STEEL BEAM



RESTRAINT MASONRY HANGER

Project No.	2024-03-BR6 0BX
Drawing No.	BREG-0023
Revision	00
Scale at A3	N/A
Date	14-03-2024
Designed	MM
Drawn	MM
Checked	MM
Approved	MM



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BROMLEY, BR2 6HF

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Phone No.: 02035763199

Client Name	
Project Address	44 RED CEDARS ROAD ORPINGTON BR6 0BX
Section	SINGLE STORY EXTENSION
Stage	STRUCTURAL
Drawing Title	STRUCTURAL DETAILS
Drawing Status	FOR APPROVAL

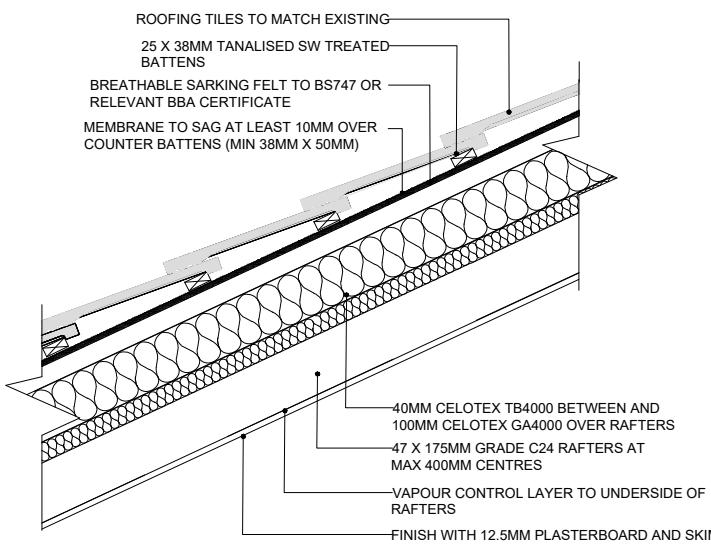
Revisions and Notes

Project No.	2024-03-BR6 0BX		
Drawing No.	BREG-0024		
Revision	00		
Scale at A3	N/A		
Date	14-03-2024		
Designed	MM	Checked	MM
Drawn	MM	Approved	MM



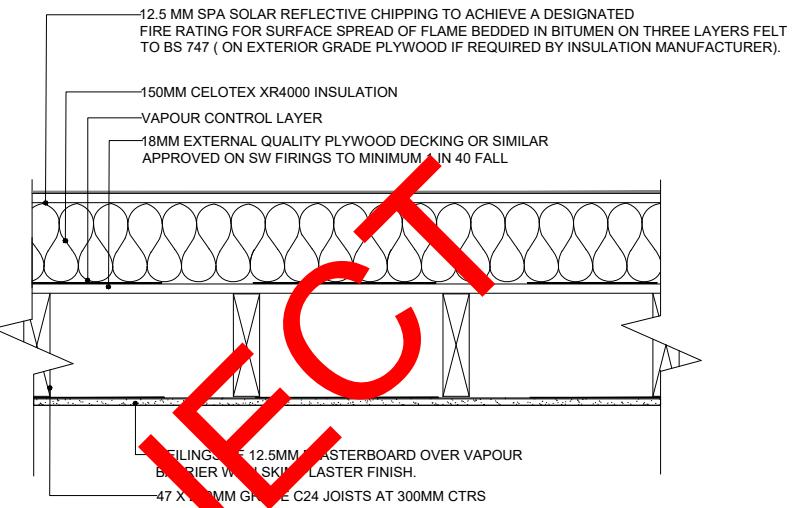
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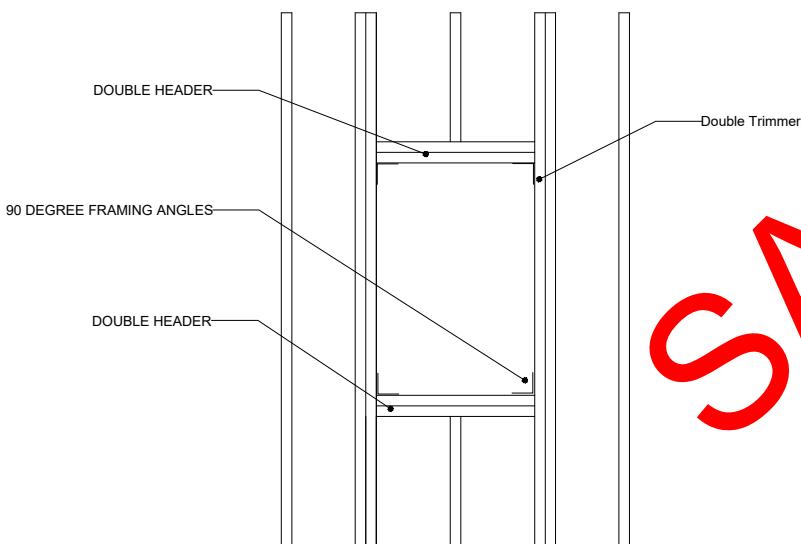
WARM PITCHED ROOF

U-value 0.15 W/m²K



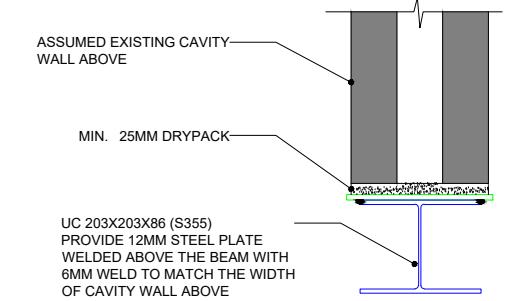
WARM FLAT ROOF

U-value 0.15 W/m²K

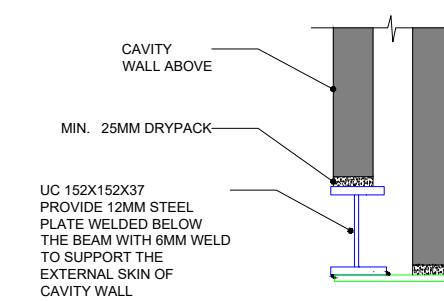


ROOFLIGHTS (STRUCTURE)

ROOFLIGHT INSTALLED IN ACCORDANCE WITH MANUFACTURE'S DETAILS



DETAIL - A



DETAIL - B

SAMPLE PROJECT

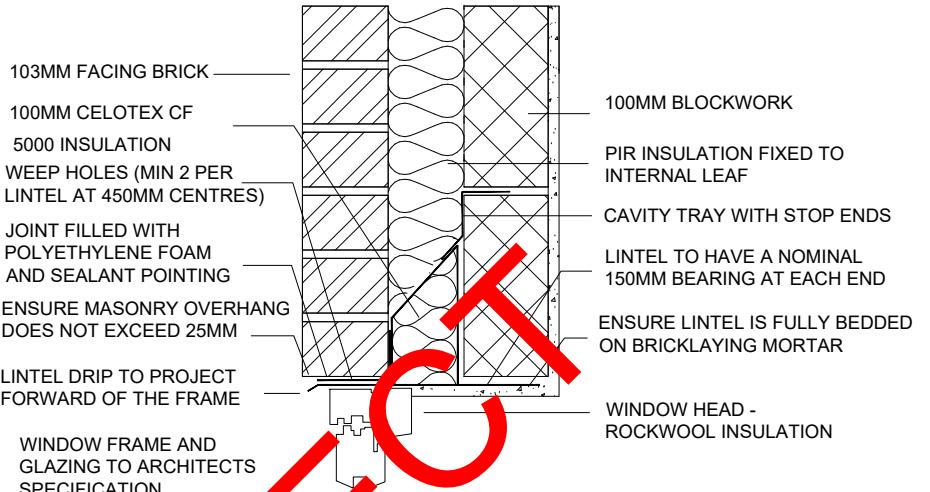
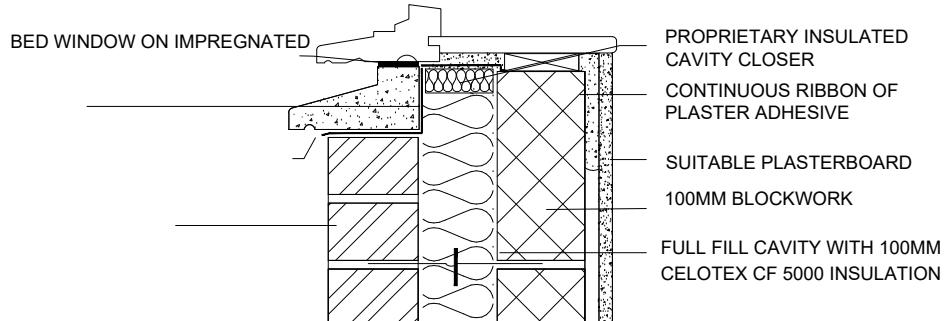
Client Name	
Project Address	44 RED CEDARS ROAD ORPINGTON BR6 0BX
Section	SINGLE STORY EXTENSION
Stage	STRUCTURAL
Drawing Title	STRUCTURAL DETAILS
Drawing Status	FOR APPROVAL
Revisions and Notes	

Project No.	2024-03-BR6 0BX		
Drawing No.	BREG-0025		
Revision	00		
Scale at A3	N/A		
Date	14-03-2024		
Designed	MM	Checked	MM
Drawn	MM	Approved	MM



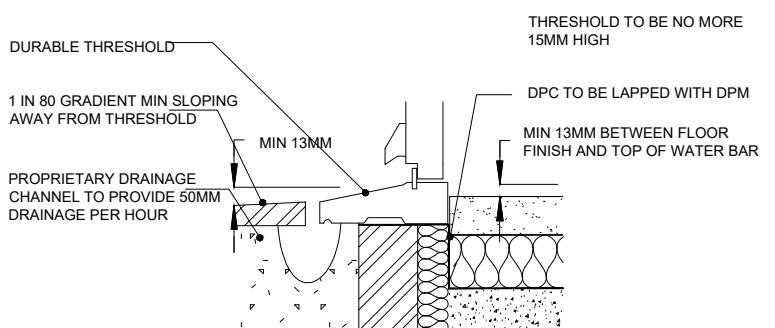
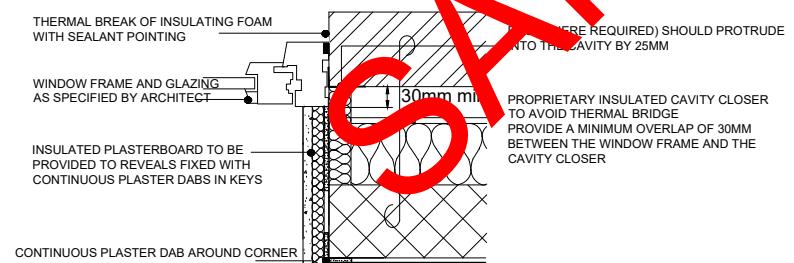
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WINDOW SILL

WINDOW HEAD AND
LINTEL



WINDOW REVEAL

THRESHOLD DETAIL

SAMPLE PROJECT

BUILDING NOTES

THERMAL BRIDGING

CARE SHALL BE TAKEN TO LIMIT THE OCCURRENCE OF THERMAL BRIDGING IN THE INSULATION LAYERS CAUSED BY GAPS WITHIN THE THERMAL ELEMENT, (I.E. AROUND WINDOWS AND DOOR OPENINGS). REASONABLE PROVISION SHALL ALSO BE MADE TO ENSURE THE EXTENSION IS CONSTRUCTED TO MINIMIZE UNWANTED AIR LEAKAGE THROUGH THE NEW BUILDING FABRIC.

MATERIALS AND WORKMANSHIP

ALL WORK WILL COMPLY WITH THE CURRENT BUILDING REGULATIONS AND WILL BE CARRIED OUT TO THE SATISFACTION OF THE BUILDING CONTROL INSPECTOR.

ALL STAGES OF WORK ARE TO BE CHECKED AND AGREED ON SITE WITH THE BUILDING INSPECTOR BEFORE COVERING OVER.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THE TEMPORARY WORKS, THE STABILITY OF THE EXISTING STRUCTURE, EARTHWORKS, EXCAVATIONS, ETC; THE CONTRACTOR WILL ENSURE THAT THE BUILDINGS WILL BE ADEQUATELY SUPPORTED AT ALL STAGES OF CONSTRUCTION, INCLUDING ANY EARTHWORK SUPPORTS MADE NECESSARY BY EXCAVATIONS AND GROUND CONDITIONS. THE SUPPORTS AND PROPS TO BE PROVIDED TILL THE FINAL RETAINING WALL IS IN PLACE.

INTERNAL LIGHTING

INSTALL LOW ENERGY LIGHT FITTINGS THAT ONLY TAKE LAMPS HAVING A LUMINOUS EFFICIENCY BETTER THAN 80 LUMENS PER CIRCUIT WATT. ALL FIXED TO HAVE LIGHTING CAPACITY (LM) 185 X TOTAL FLOOR AREA, TO COMPLY WITH PART OF THE CURRENT BUILDING REGULATIONS AND THE DOMESTIC BUILDING SERVICES COMPLIANCE GUIDE.

HEATING

EXTEND ALL HEATING AND HOT WATER SERVICES FROM EXISTING AND PROVIDE NEW TVRS TO RADIATORS. HEATING SYSTEM TO BE DESIGNED, INSTALLED, TESTED AND FULLY CERTIFIED BY A GAS SAFE REGISTERED SPECIALIST. ALL WORK TO BE IN ACCORDANCE WITH THE LOCAL WATER AUTHORITIES BYE LAWS, THE GAS SAFETY (INSTALLATION AND USE) REGULATIONS 1998 AND IEE REGULATIONS.

OPENINGS AND RETURNS

AN OPENING OR RECESS GREATER THAN 0.1M² SHALL BE AT LEAST 550MM FROM THE SUPPORTED WALL (MEASURED INTERNALLY) CONSTRUCTION FOR PIER LESS THAN 550MM TO BE SPECIFIED BY ENGINEER.

CONCRETE:

ALL MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH BS 8110 PART 1&2- THE STRUCTURAL USE OF CONCRETE. CONCRETE QUALITY TO BE 35N /MM² AT 28 DAYS UNLESS NOTED OTHERWISE. MAX NOMINAL AGGREGATE TO BE 20MM.

ABOVE GROUND:

MINIMUM CEMENT CONTENT 300KG / M³. MAXIMUM FREE WATER CEMENT RATIO 0:6.

BELLOW GROUND:

MINIMUM CEMENT CONTENT 330KG / M³. MAXIMUM FREE WATER CEMENT RATIO 0:5.

CEMENT:

MINIMUM CEMENT CONTENT 330KG / M³. MAXIMUM FREE WATER CEMENT RATIO 0:5.

SAFETY GLAZING

ALL GLAZING IN CRITICAL LOCATIONS TO BE TOUGHENED OR LAMINATED SAFETY GLASS TO BS 6206, BS EN 14179 OR BS EN ISO 12543-1:2011 AND PART K (PART N IN WALES) OF THE CURRENT BUILDING REGULATIONS, I.E. WITHIN 1500MM ABOVE FLOOR LEVEL IN DOORS AND SIDE PANELS WITHIN 300MM OF DOOR OPENING AND WITHIN 800MM ABOVE FLOOR LEVEL IN WINDOWS.

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All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. All construction works must comply with the relevant British Standards and Building Regulations requirements. Any drawing errors and omissions to be reported to PEPP's

Client Name

Project Address

44 RED CEDARS ROAD
ORPINGTON BR6 0BX

Section

SINGLE STORY EXTENSION

Stage

STRUCTURAL

Drawing Title

STRUCTURAL NOTES

Drawing Status

FOR APPROVAL

Revisions and Notes

Project No. 2024-03-BR6 0BX

Drawing No. BREG-0026

Revision 00

Scale at A3 N/A

Date 14-03-2024

Designed MM Checked MM

Drawn MM Approved MM



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