

PORTFOLIO

NORRIS MANGAROO
LEED® Green Associate™

Selected Built Architectural & Interior Design Work Samples

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Location: New York City

"Every animal leaves traces of what it was; man alone leaves traces of what he has **created.**"

- Jacob Bronowski

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Norris Mangaroo, LEED® Green Associate™

Short Biography:

Pratt Institute: B.Arch
LEED® Green Associate™
OSHA NYC SST Supervisor Card - 62 hours

I am a senior architectural design professional and a lead coordinator with over a decade of experience in all facets of the architecture, engineering, and construction (AEC) industry. As such, I am uniquely positioned to act as a bridge between the general contractor and their team of installers and subcontractors and the design team, which includes the owner, architect,

structural engineer, and MEP designers, among others. The improved communication and knowledge I bring from the design team to the trades saves: time/money; increased sustainable designs/concepts; and increased confidence in the direction of the project, my professionalism, and dependability to think on my feet and assist in resolving issues as they occur.

Software:

- Revit (5 years)
- Bluebeam (3 years)
- AutoCAD (10 years)
- Microsoft: Excel & Word (10 years)
- Adobe: Photoshop, Illustrator, InDesign (10 years)
- Cisco Jabber (1 year)
- BIM 360 (1+ year)
- Zoom, MS Teams (virtual meetings)
- IBC (or adopted) & IRC (or adopted) Building Code Analysis
- Procore (1+ year)

Project 1: Transportation

Senior Designer at HOK

Laguardia Airport, Queens NY
Revit Architecture Building Information Project (BIM)

"At LaGuardia Airport's New Terminal B, the two island concourses are accessed from the main terminal through two pedestrian bridges. This provides an apt metaphor for New York, a city of islands and bridges.

Retail and dining neighborhoods beyond the TSA checkpoint include offerings from New York originals such as Bowery Bay Shops, Brooklyn Diner, Gotham Newsstand, FAO Schwartz and Shake Shack. An outdoor dining area offers dramatic views of Manhattan." - www.hok.com

Laguardia Airport, Queens, NY 11371



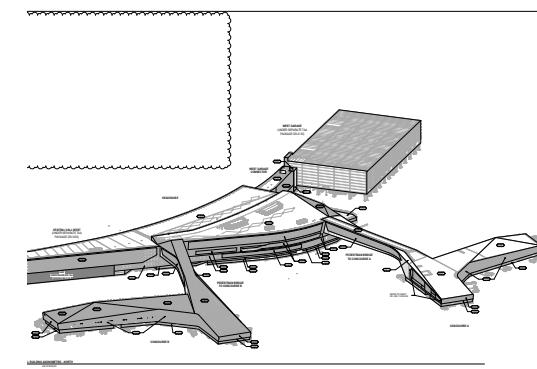
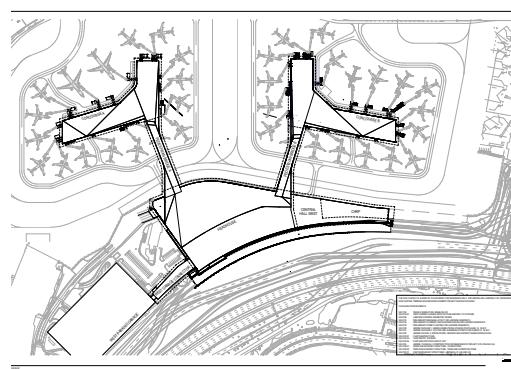


Senior Designer at HOK

Laguardia Airport, Queens NY
Revit Architecture Building Information Project (BIM)

Senior Designer at HOK

Laguardia Airport, Queens NY
Revit Architecture Building Information Project (BIM)



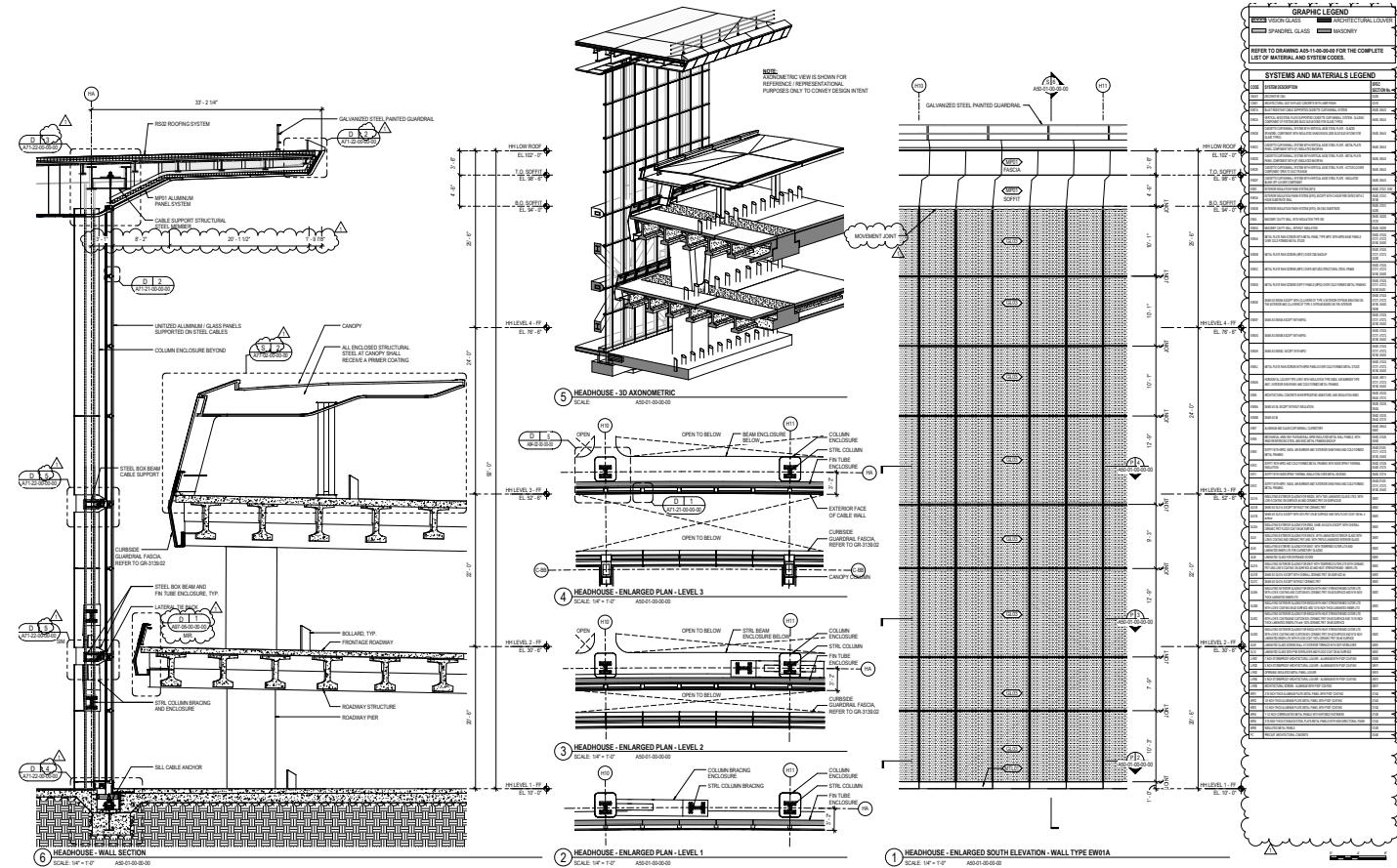


Senior Designer at HOK

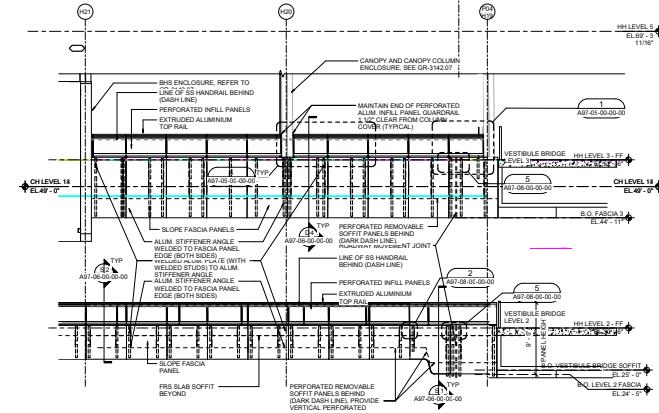
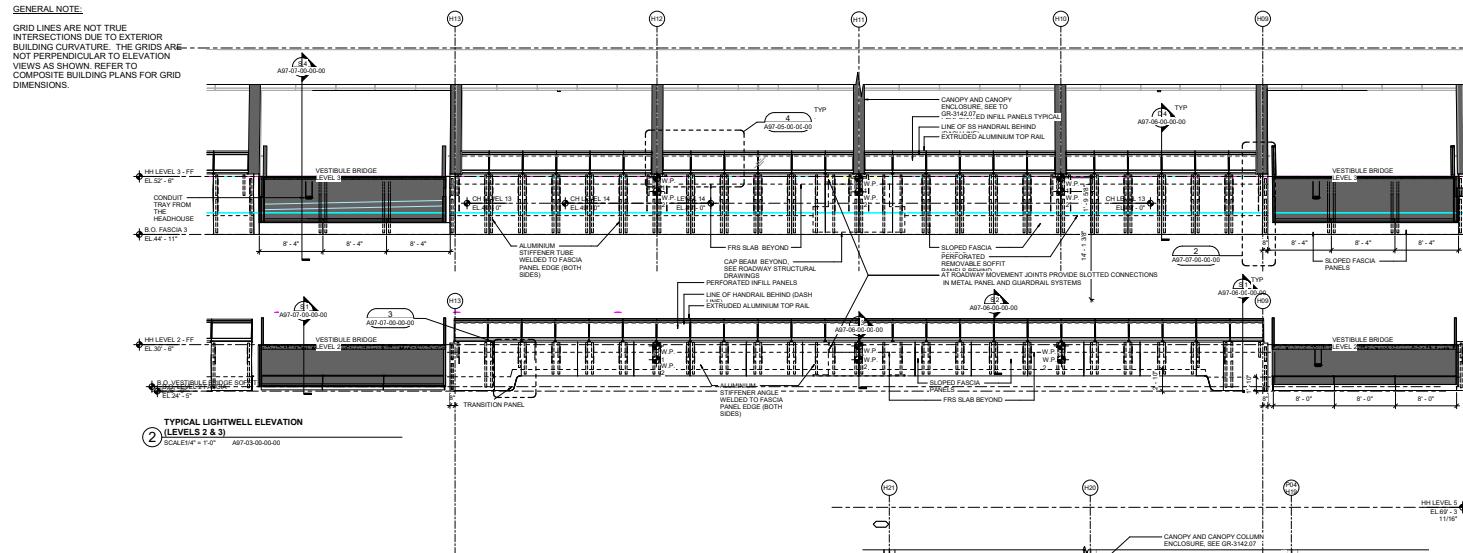
Laguardia Airport, Queens NY
Revit Architecture Building Information Project (BIM)

Senior Designer at HOK
 Laguardia Airport, Queens NY
 Revit Architecture Building Information Project (BIM)

Headhouse Wall Section, Enlarged Plan - Levels 1, 2 & 3 @ curbside guardrail fascia, 3D Axonometric, Wall Type EW01A



Typical lightwell elevation & Frontage railing and cladding at BHS conveyor



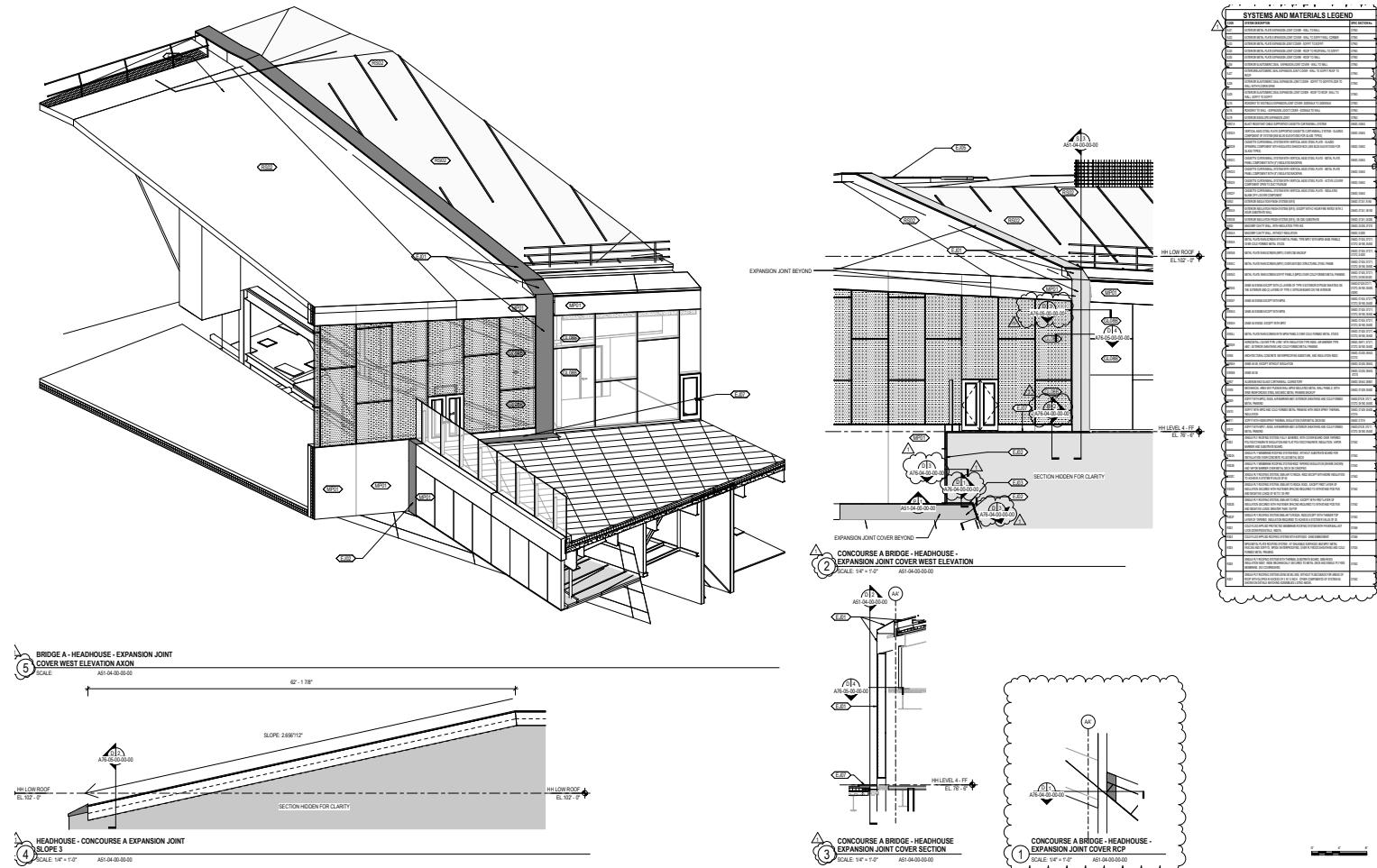
Senior Designer at HOK

Laguardia Airport, Queens NY
Revit Architecture Building Information Project (BIM)

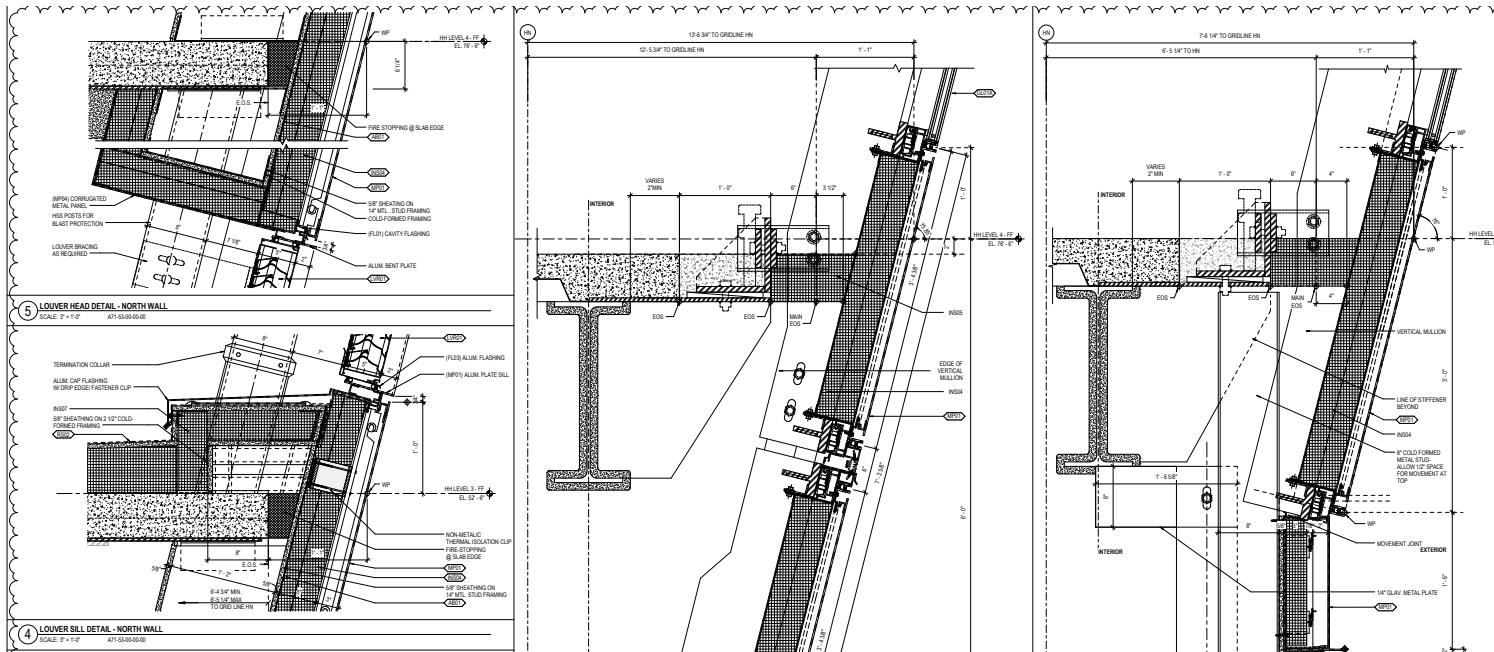
Bridge A - Headhouse Expansion Joint, Concourse A Expansion Joint, Expansion Joint Cover

Senior Designer at HOK

Laguardia Airport, Queens NY
Revit Architecture Building Information Project (BIM)



Typical lightwell elevation & Frontage railing and cladding at BHS conveyor

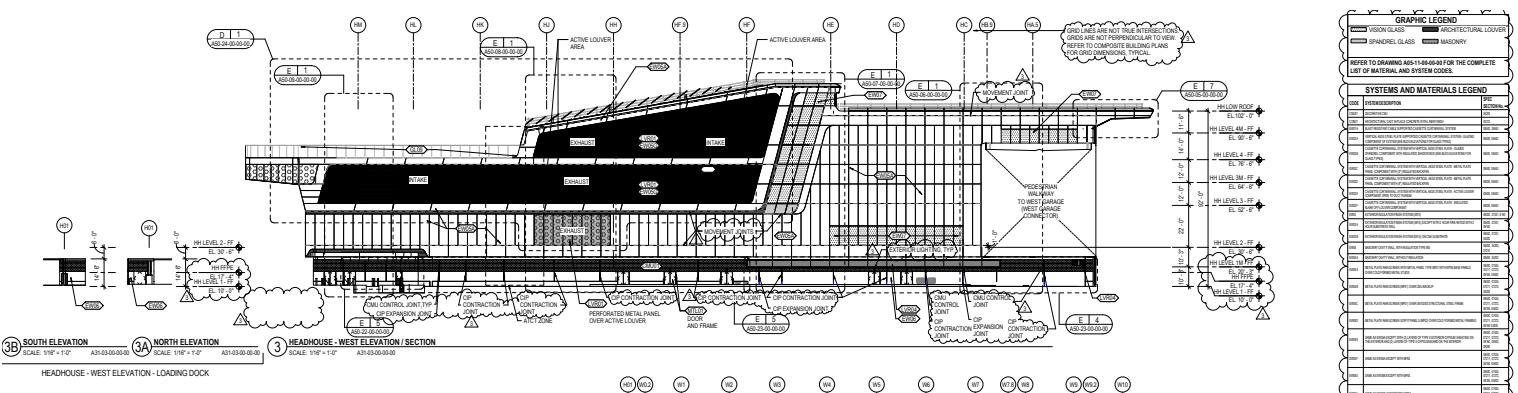


Senior Designer at HOK

Laguardia Airport, Queens NY
Revit Architecture Building Information Project (BIM)

Role:

- Facade design, detailing and manufacturer packages
- RFI Shop Drawing response
- Facilitated design team material specification updates to spec team
- Daily update of design/build Construction Documents (CD) & Construction Administration (CA) drawings and other assigned design projects for bi-weekly submittal package
- Managed weekly door schedule coordination meetings
- Weekly coordination meetings with design team: Sr. Project Architect, Structural Engineer, and MEP, etc. to go over project updates/milestones and new individual assignments
- Coordinated meeting deadlines with team via: emails, phone calls, Cisco Jabber, blue-beam redlines revisions, screenshot markups, etc.



Project 2: Supervisory Construction Site Experience

Consulting Project Manager at AMI

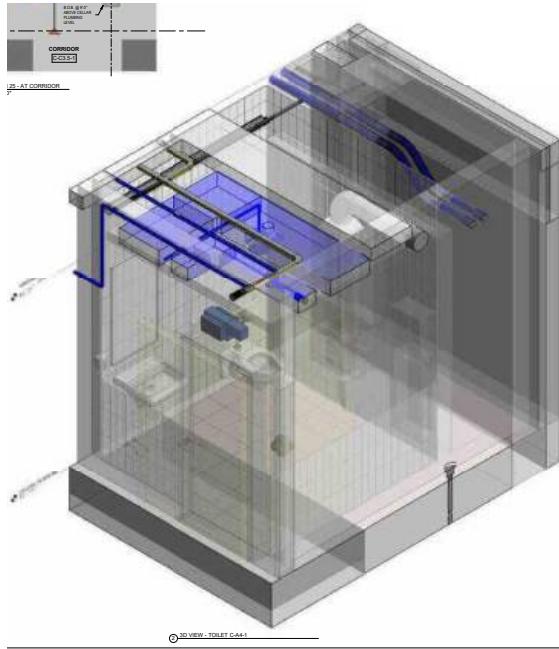
New class 'A' boutique office building in thriving Hudson Square

Redevelopment

The original 1925 six story base is being redeveloped and expanded into a new 12-story premier boutique office building with oversize windows and wide ranging views. In order to adapt to modern use, a hybrid approach was taken in creating a glass box to float on top of the existing structure, boasting 14-foot ceilings and roof terraces. The combined original/new structure will be equipped with all brand new mechanical, plumbing and electric systems as well as elevators, windows, curtainwall and a distinctive new entrance.



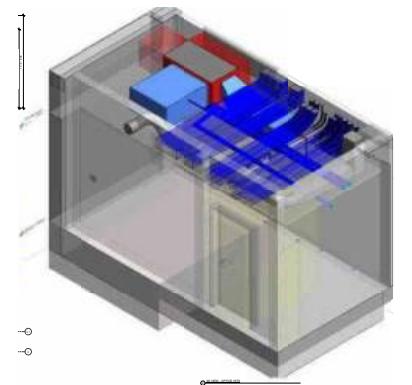
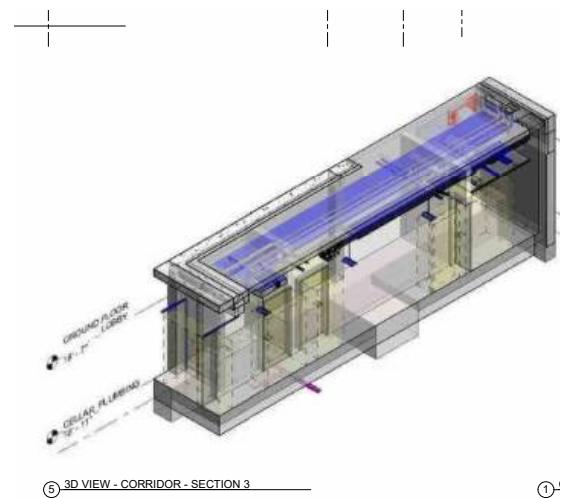
60 Charlton Street, New York, NY

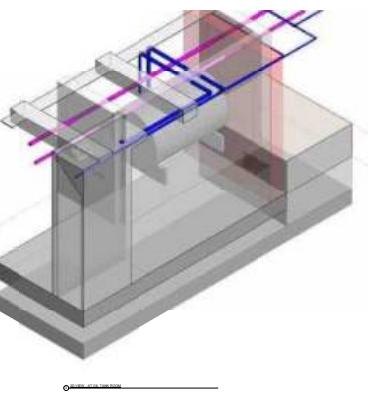
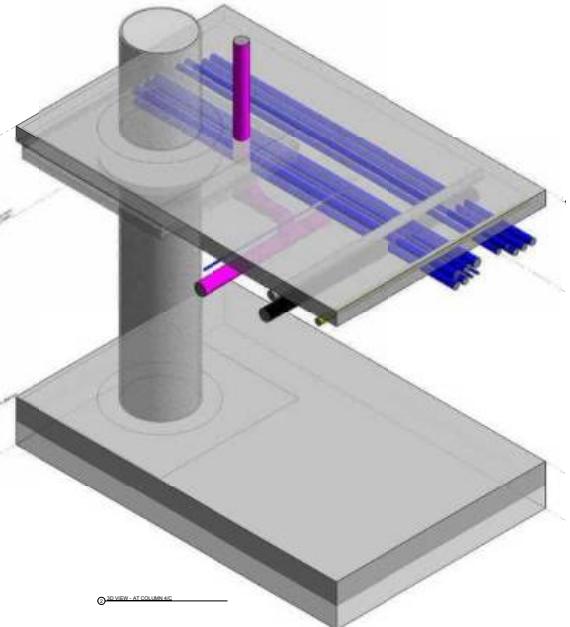


Role:

- Weekly Project Manager (PM) on site meetings
- Weekly coordination meetings
- Update foreman on project changes & needs
- Revit & (AutoCAD to Revit) modeling for Detailed Piping & Installation Drawings
- Produced Product Data Submittal Packages
- Produced Project Close-out & As-built Packages
- General Construction Admin Work As Required
- Site Layout and Dimensioning Work As Required
- Directing and Coordinating On Site Field Work As Required
- Cost Control for Material, Equipment, & Fixture Purchasing As Required
- Ordering, Tracking, & Scheduling Material Deliveries As Required
- General Site Safety Compliance Measures
- General Stewardship of Office, Storage Area, Tools, Equipment, & Material



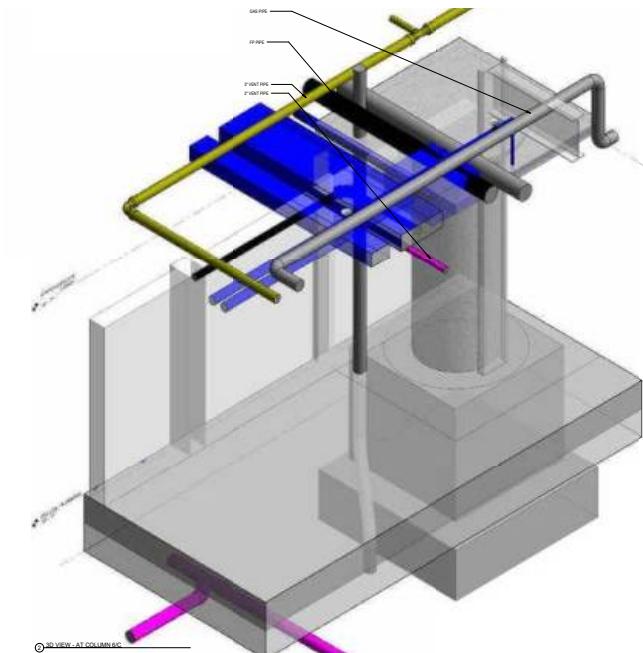




LINKED MODELS: Architectural, Structural, HVAC, Fire Protection, Plumbing, & Electrical



LINKED MODELS: Architectural, Structural, HVAC, Fire Protection, Plumbing, & Electrical



Project 3: Food Retail

Revit Modeler at SBLM

"Whole Foods Market, Inc. is an American multinational supermarket chain headquartered in Austin, Texas, which sells products free from hydrogenated fats and artificial colors, flavors, and preservatives.[4] A USDA Certified Organic grocer in the United States, the chain is popularly known for its organic selections.[5] Whole Foods has 500 stores in North America and seven in the United Kingdom as of March 4, 2019." - en.wikipedia.org/wiki/Whole_Foods_Market

Whole Foods Store W 42nd St, New York, NY 10036

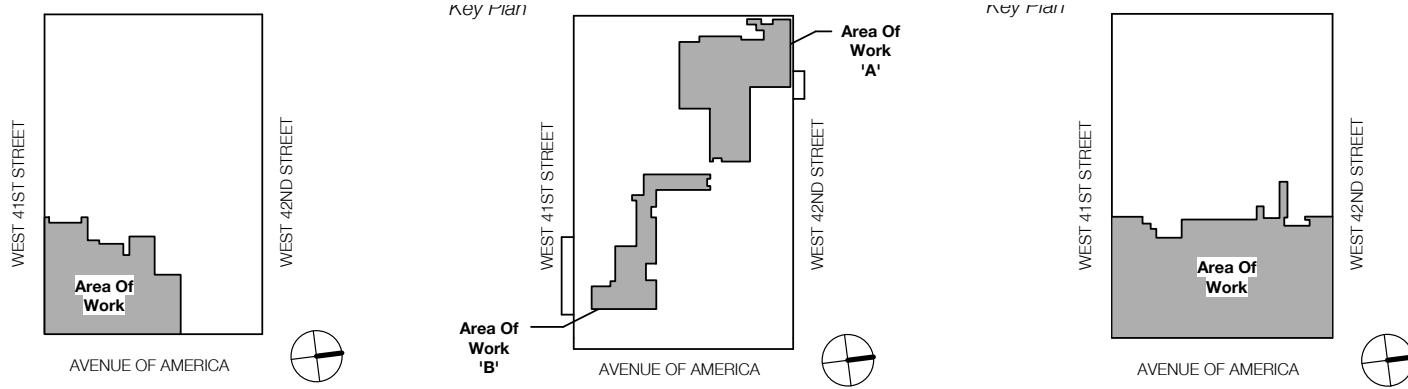


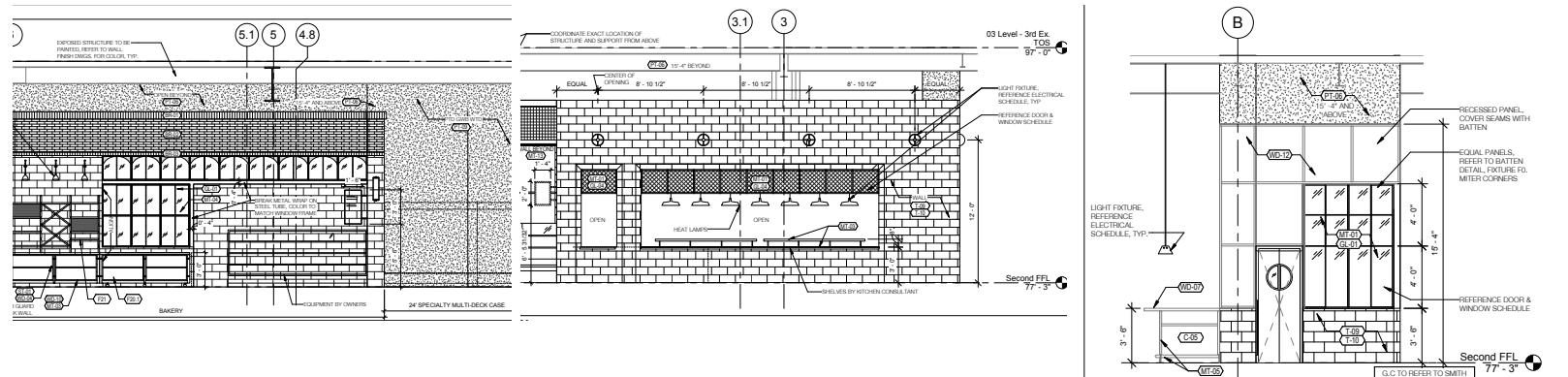


One of Manhattan's most sought-after office towers, the Salesforce Tower at 3 Bryant Park, is situated at the intersection of Sixth Avenue and 42nd Street. The building has 1,182,161 rentable square feet and more than 100,000 square feet of retail space.

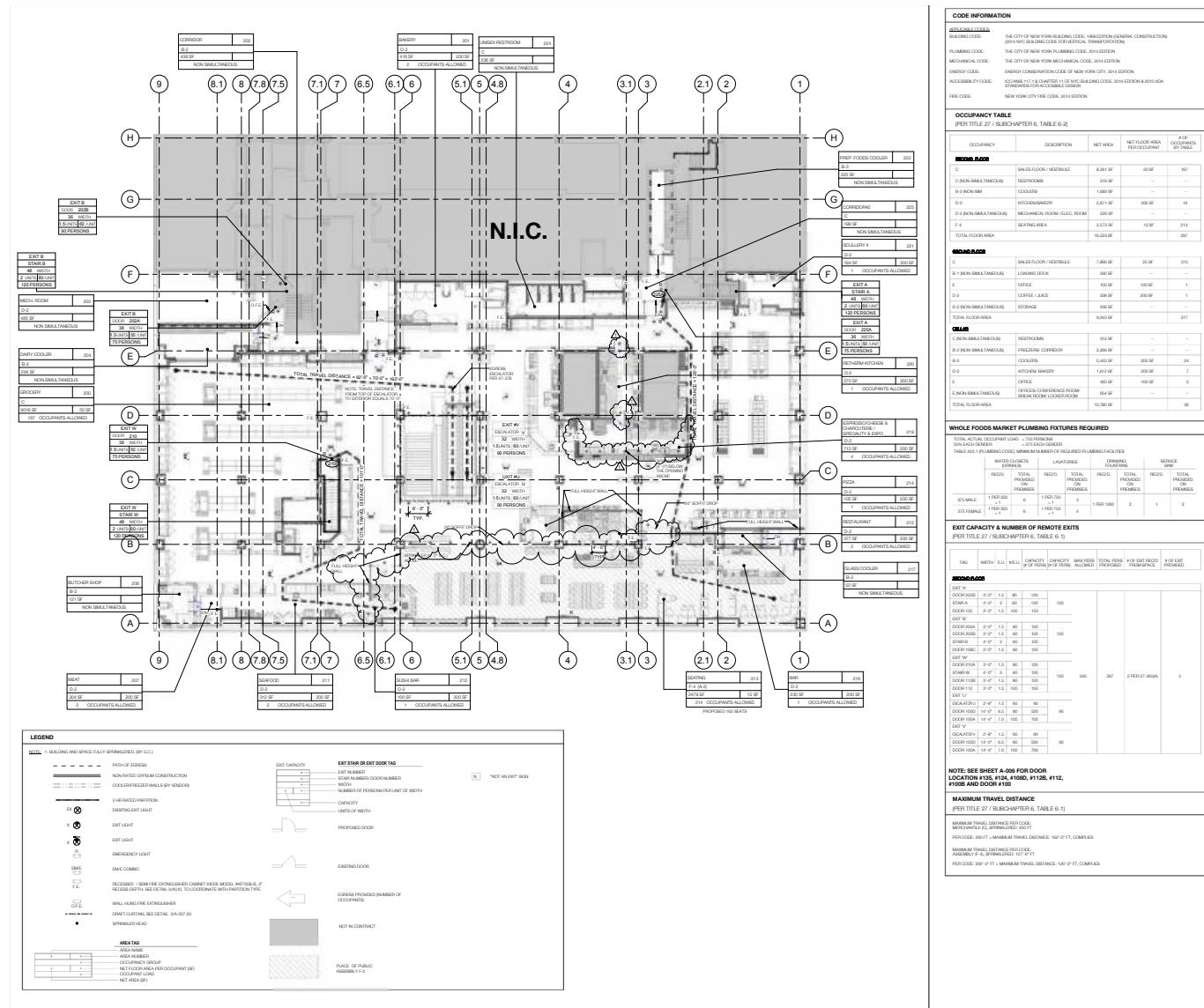
Public spaces, a new lobby, and an expanded shopping center were all included in the refurbishment, which included rebuilding the entire façade with an all-glass curtain wall that offers nearly floor-to-ceiling windows with unhindered panoramic views.

A fully furnished, three-story, 30,000 square foot health club that is leased to Equinox was part of the retail development. Outstanding on-site features like a Whole Foods shop with food options, a Citibike docking station, security, and a Shake Shack are also available to residents.







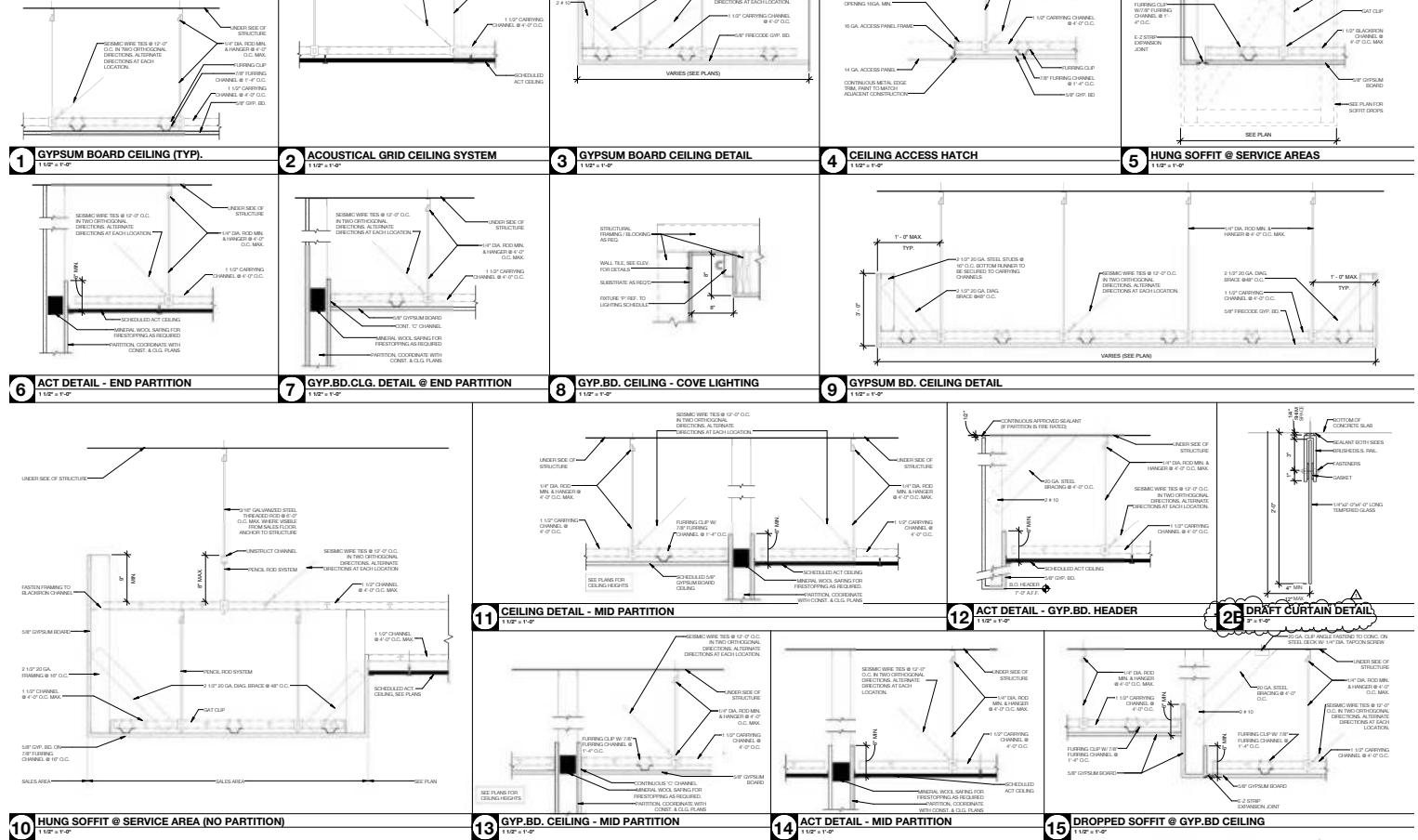


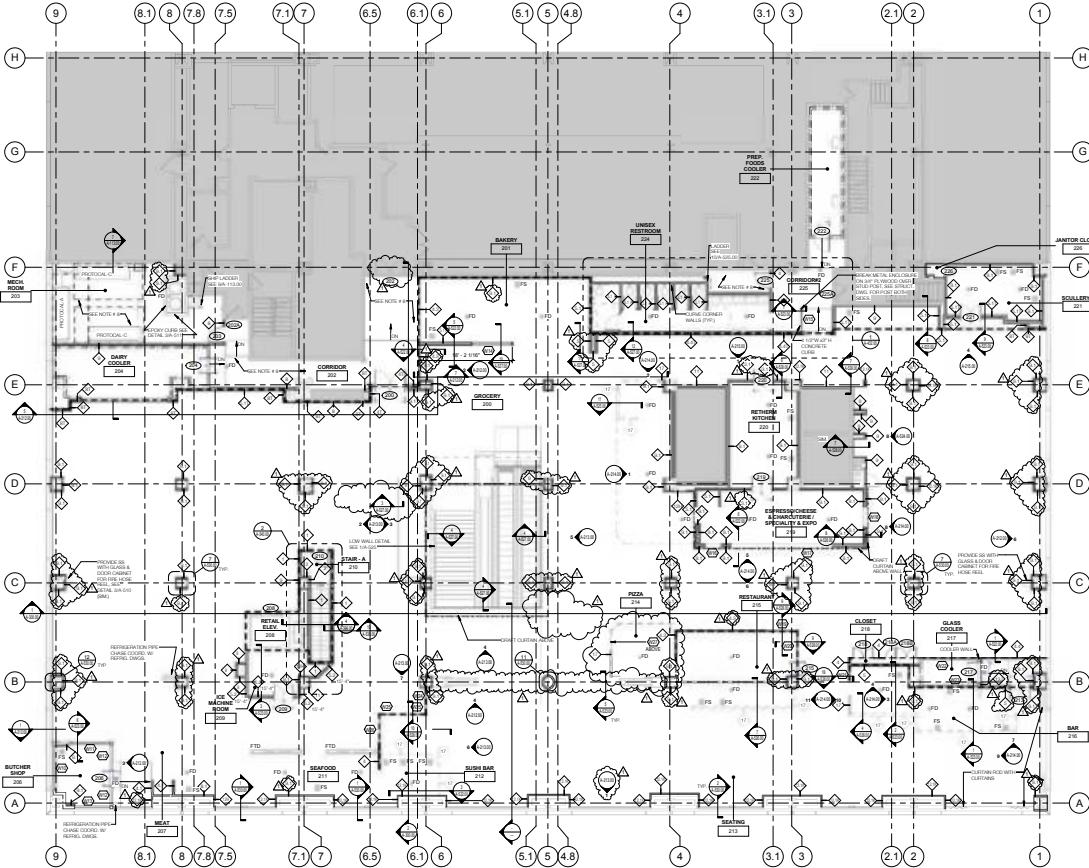
GENERAL CEILING NOTE:
UNDERSIDE OF STRUCTURE IS INTENDED TO INDICATE BOTTOM OF JOISTS,
STEEL BEAMS, AND STEEL MEMBERS. DO NOT FASTEN DIRECTLY TO METAL
DECKING, CONCRETE, OR OTHER SUPPLEMENTAL FRAMING AS REQUIRED
BETWEEN FRAMING MEMBERS.

GENERAL NOTE:

ATTACH HANGERS TO EXISTING CONCRETE SLAG SHALL BE BY POST INSTALLED
ANCHORS. SUBMIT PRODUCT DATA FOR REVIEW. INSTALL UNISTRUT BETWEEN
EXISTING STEEL FRAMING AS REQUIRED FOR SUPPORT OF CEILING HANGERS.

**1. ALL SUSPENSION SYSTEM TO COMPLY WITH THE NYC BUILDING CODE AND
NYC STANDARD SUSPENSION CEILING SYSTEM. PROVIDE SEISMIC BRACING
AS REQUIRED IN ACCORDANCE WITH THE NYC BUILDING CODE.**
**2. COORDINATE HANGER ATTACHMENT AND LOCATION WITH FIELD
COORDINATOR. PATCH, REPAIR, REPLACE EXISTING PREPROOFED AS
REQUIRED.**
**3. ALL CEILING MOUNT SPEAKER LOCATIONS PROVIDED BY FIRE
EXTINGUISHER PLACED CONCRETE ANCHORS ATTACHED TO 1/2" CARRY
CHANNELS FOR SPEAKER MOUNT. COORDINATE WITH ELECTRIC DWGS.**

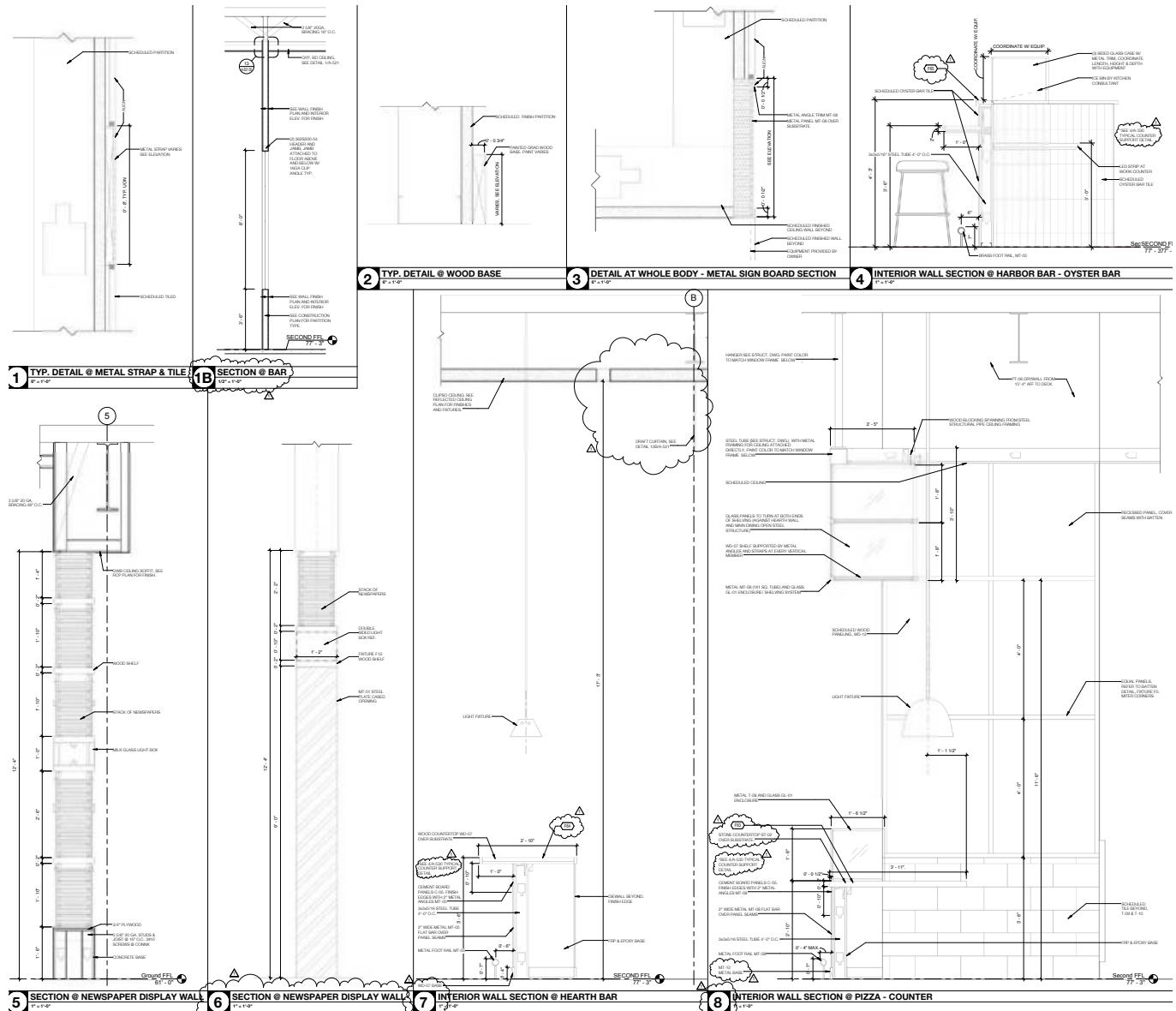




1 CONSTRUCTION PLAN AND PARTITION TYPE PLAN - SECOND FLOOR

LEGEND		NOTES		PARTITION TYPES (SEE PARTITION SCHEDULE FOR DETAILS)	
▪ INDICATES FULL HEIGHT PARTITION	▫ FLOOR DRAWN SEE PLUMBING DRAWINGS & 8A-002 833-A-00	1. GC TO COORDINATE WITH INTERIOR DESIGNER ON COLUMN ENCLOSURE DETAIL AND WALL FINISH PLAN FOR THE PARTITION HEIGHT AND LOCATION. SEE DRAFTING SECTION D-10.	1. G.C. TO PROVIDE 1 5/8" 20 GA BRACE AT 4'-0" O.C. U.A.O.	8. NON RATED C/W - BOTH SIDES FULL HEIGHT. 8A/8B-V: FULL PARTITION WITH ACCUSAFE INSULATION, 1 5/8" THICK, ON STUCCO AG 8A/8B-V: NON RATED SURFACE, BOTH SIDES FULL HEIGHT.	10. OM-1: ONE SIDE ONLY, PARTIAL HEIGHT. 11. OM-2: ROLLING FULL HEIGHT. 12. OM-3: ROLLING TO 1/2" ABOVE C/W, PARTIAL HEIGHT SEE ELEVATIONS AND SCHEDULE FOR DETAILS.
▪ INDICATES DRAFT CURTAIN, SEE DETAIL D-10	▫ UNDER-SLAB DRAIN, SEE PLUMBING DRAWINGS & 7H-002	2. AIR CURTAIN, COMMUNICATE WITH STRUCTURAL DWGS AND MANUFACTURE GUIDELINE FOR INSTALLATION.	2. PROVIDE BLOCKING AT WALL MOUNTED TV LOCATIONS, COORDINATE LOCATION WITH ELECTRICAL DWG.	8A/8B-V: ROLLING TO 1/2" ABOVE C/W, PARTIAL HEIGHT. 8A/8B-V: NON RATED SURFACE, BOTH SIDES FULL HEIGHT. 8A/8B-V: ROLLING TO 1/2" ABOVE C/W, PARTIAL HEIGHT.	13. OM-4: ROLLING TO 1/2" ABOVE C/W, PARTIAL HEIGHT. 14. OM-5: ROLLING SHOWN ON THE INTERIOR ELEVATION PROVIDED BY G.C.
■ NOT IN CONTRACT B/L	▫ FORMED TRIM COVERS, SEE 10A-000	3. RETAIL EQUIPMENT, SEE DETAIL C-10	3. AIR TAPES, SAND AND REPAIR GYPSUM ANGLE BRACKETS, SEE EXISTING COLUMN AND ANGLE BRACKETS, SEE COLDFORM BRACING BACK TO BASE BUILDING COLUMN, SEE DRAFTING SECTION D-10.	8A/8B-V: ROLLING TO 1/2" ABOVE C/W, PARTIAL HEIGHT. 8A/8B-V: NON RATED SURFACE, BOTH SIDES FULL HEIGHT. 8A/8B-V: ROLLING TO 1/2" ABOVE C/W, PARTIAL HEIGHT.	15. OM-6: ROLLING TO 1/2" ABOVE C/W, PARTIAL HEIGHT. 16. OM-7: ROLLING TO 1/2" ABOVE C/W, PARTIAL HEIGHT.
■ DRAFTING WALL / COLUMN	▫ FLOOR DRW, SEE PLUMBING DRAWINGS 10A-000	4. RESTROOM CURTAIN SECTION SEE 10A-000.	4. RESTROOM CURTAIN SECTION SEE 10A-000.	8A/8B-V: ROLLING TO 1/2" ABOVE C/W, PARTIAL HEIGHT. 8A/8B-V: NON RATED SURFACE, BOTH SIDES FULL HEIGHT.	17. OM-8: ROLLING TO 1/2" ABOVE C/W, PARTIAL HEIGHT. 18. OM-9: ROLLING TO 1/2" ABOVE C/W, PARTIAL HEIGHT. 19. CHAIN LINK SURFACE, SEE DETAIL 7A-011.
■ OM-1: OUTDOOR WALL CONSTRUCTION	▫ REFRIGERATION PROTOCOL UNIT SEE REFRIGERATION DRAWINGS	5. 6' X 7' DRAFT CURTAIN, SEE DRAFTING SECTION D-10	5. 6' X 7' DRAFT CURTAIN, SEE DRAFTING SECTION D-10	8A/8B-V: ROLLING TO 1/2" ABOVE C/W, PARTIAL HEIGHT. 8A/8B-V: NON RATED SURFACE, BOTH SIDES FULL HEIGHT.	20. OM-10: ONE SIDE ONLY, PARTIAL HEIGHT. 21. OM-11: ROLLING FULL HEIGHT. 22. OM-12: ROLLING TO 1/2" ABOVE C/W, PARTIAL HEIGHT. 23. OM-13: ROLLING TO 1/2" ABOVE C/W, PARTIAL HEIGHT.
■ OM-14: MASONRY WALL, 3/4" THICK	▫ REFRIGERATION PROTOCOL UNIT SEE REFRIGERATION DRAWINGS	6. STEEL DOORLES, SEE DETAIL 10A-011.00	6. STEEL DOORLES, SEE DETAIL 10A-011.00	8A/8B-V: ROLLING TO 1/2" ABOVE C/W, PARTIAL HEIGHT. 8A/8B-V: NON RATED SURFACE, BOTH SIDES FULL HEIGHT.	24. OM-14: ONE SIDE ONLY, PARTIAL HEIGHT. 25. OM-15: ROLLING FULL HEIGHT.
■ OM-15: COLD STORAGE CONTRACTOR	▫ REFRIGERATION PROTOCOL UNIT SEE REFRIGERATION DRAWINGS	7. KEEPS MATE, SEE DRAFTING SECTION D-10	7. KEEPS MATE, SEE DRAFTING SECTION D-10	8A/8B-V: ROLLING TO 1/2" ABOVE C/W, PARTIAL HEIGHT. 8A/8B-V: NON RATED SURFACE, BOTH SIDES FULL HEIGHT.	26. OM-16: ONE SIDE ONLY, PARTIAL HEIGHT. 27. OM-17: ROLLING FULL HEIGHT.
■ DRAFTING DOOR	▫ HINGE	8. REFRIGERATOR CABINET, SEE REFRIGERATOR DRAWINGS	8. REFRIGERATOR CABINET, SEE REFRIGERATOR DRAWINGS	8A/8B-V: ROLLING TO 1/2" ABOVE C/W, PARTIAL HEIGHT. 8A/8B-V: NON RATED SURFACE, BOTH SIDES FULL HEIGHT.	28. OM-18: ONE SIDE ONLY, PARTIAL HEIGHT. 29. OM-19: ROLLING FULL HEIGHT.
■ CHAN LIN VOC	▫ LINE OF SIGHT/COLD ABOVE, SEE REFRIGERATOR DRAWINGS	9. 14' HIGH COLD ROOM, SEE REFRIGERATOR CABINET, REFRIGERATOR DRAWINGS	9. 14' HIGH COLD ROOM, SEE REFRIGERATOR CABINET, REFRIGERATOR DRAWINGS	8A/8B-V: ROLLING TO 1/2" ABOVE C/W, PARTIAL HEIGHT. 8A/8B-V: NON RATED SURFACE, BOTH SIDES FULL HEIGHT.	30. OM-20: ONE SIDE ONLY, PARTIAL HEIGHT. 31. OM-21: ROLLING FULL HEIGHT.
■ LINE OF SIGHT/COLD ABOVE, SEE REFRIGERATOR DRAWINGS	▫ WINDOW TYPE, SEE DWG A-001.00	10. STEEL FORM METAL FRAMING AND METAL FRAMES, SEE METAL DRAWINGS	10. STEEL FORM METAL FRAMING AND METAL FRAMES, SEE METAL DRAWINGS	8A/8B-V: ROLLING TO 1/2" ABOVE C/W, PARTIAL HEIGHT. 8A/8B-V: NON RATED SURFACE, BOTH SIDES FULL HEIGHT.	32. OM-22: ONE SIDE ONLY, PARTIAL HEIGHT. 33. OM-23: ROLLING FULL HEIGHT.
■ 14' HIGH COLD ROOM, SEE REFRIGERATOR CABINET, REFRIGERATOR DRAWINGS	▫ PARTITION TYPE	11. GC TO PROVIDE [0] STANDARD 1" C/W STUDS, SEE DRAFTING SECTION D-10	11. GC TO PROVIDE [0] STANDARD 1" C/W STUDS, SEE DRAFTING SECTION D-10	8A/8B-V: ROLLING TO 1/2" ABOVE C/W, PARTIAL HEIGHT. 8A/8B-V: NON RATED SURFACE, BOTH SIDES FULL HEIGHT.	34. OM-24: ONE SIDE ONLY, PARTIAL HEIGHT. 35. OM-25: ROLLING FULL HEIGHT.
■ 14' HIGH COLD ROOM, SEE REFRIGERATOR CABINET, REFRIGERATOR DRAWINGS	▫ PARTITION ELEVATION, DETAIL REFERENCE NUMBER SEE REFERENCED DRAWING	12. ALL COLUMN ENCLOSURE HEIGHT TO BE COORDINATED IN INTERIOR ELEVATION.	12. ALL COLUMN ENCLOSURE HEIGHT TO BE COORDINATED IN INTERIOR ELEVATION.	8A/8B-V: ROLLING TO 1/2" ABOVE C/W, PARTIAL HEIGHT. 8A/8B-V: NON RATED SURFACE, BOTH SIDES FULL HEIGHT.	36. OM-26: ONE SIDE ONLY, PARTIAL HEIGHT. 37. OM-27: ROLLING FULL HEIGHT.

2 LEGEND AND GENERAL NOTES



Role:

- Worked directly with Principle on design esthetics/value
- Pre-construction site visit / design team meeting
- Pre-construction field report
- Designed seating layout plans/elevations
- Prepared client sign-off drawings

Project 4: Luxury Residential Interior

Interior Designer at John Bardsley Inc.

Successful interior traditional classic design at the residence of Mr. & Mrs. Craig Lucas included: Site visits, Furniture Plan, Flooring Plan, Electrical Plan, Home Gym Design, TV./REC room design with: applied molding/ wainscoting, fabric panel walls, wall sconces, recessed stone fireplace surround, raised stone hearth, coffered ceiling, large & small crown soffits, wine room & wine storage, cushioned window seat with storage, and raised french and pocket doors.

1703 Ocean Ave., Spring Lake, NJ 07762

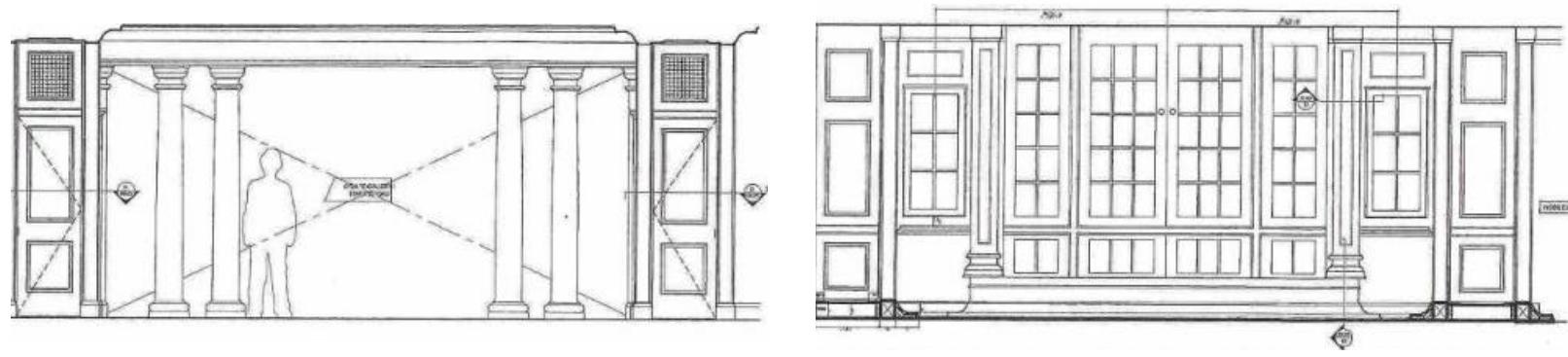


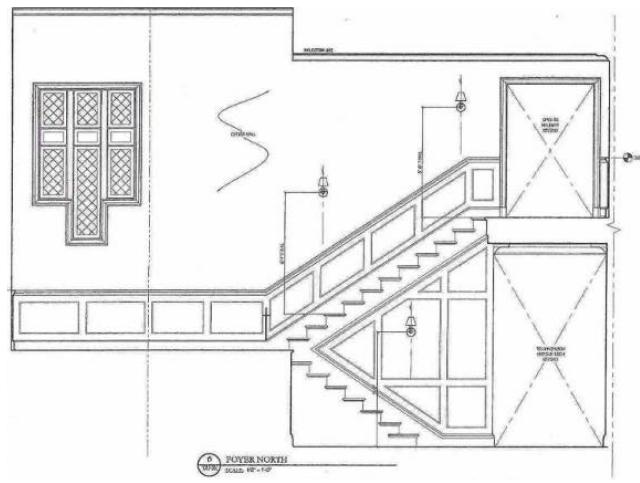
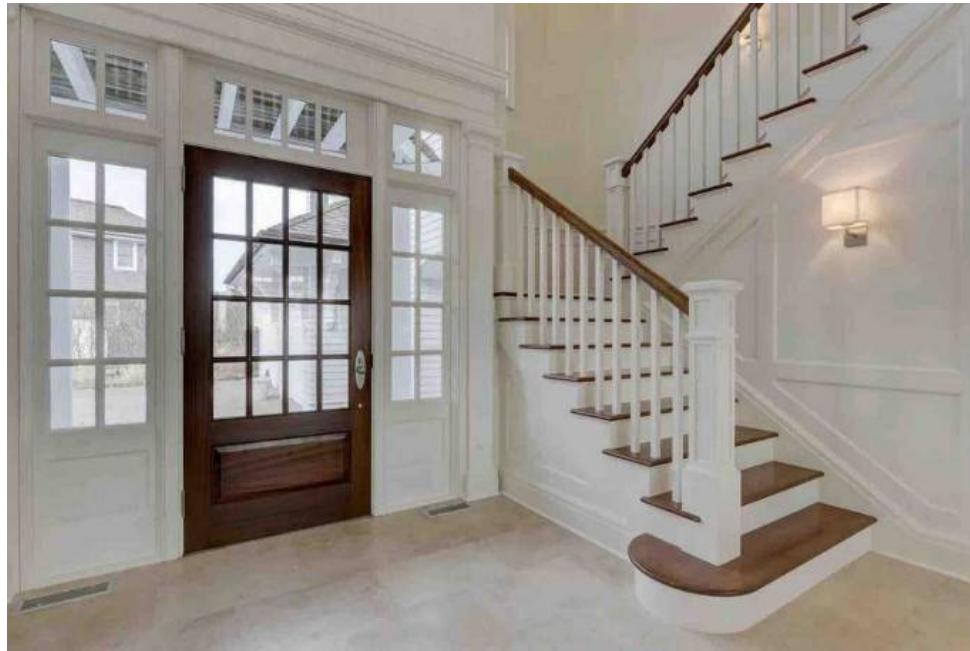


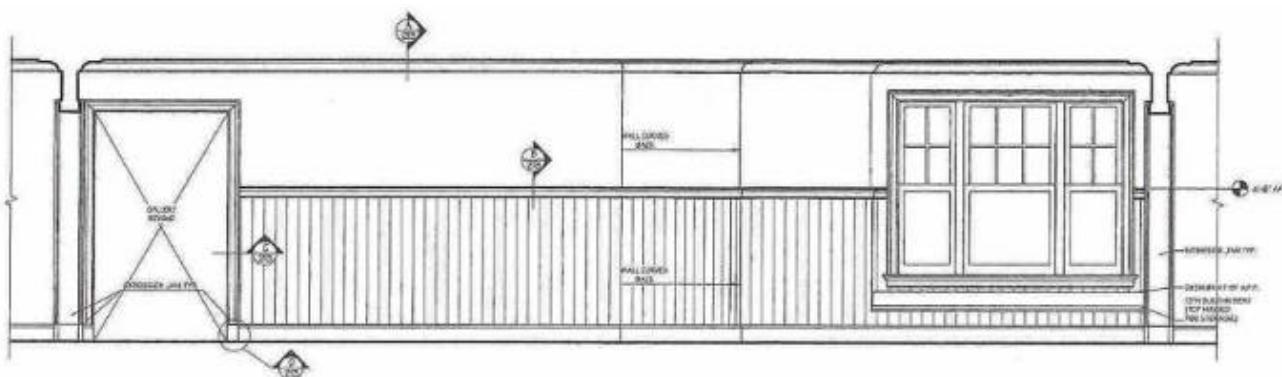
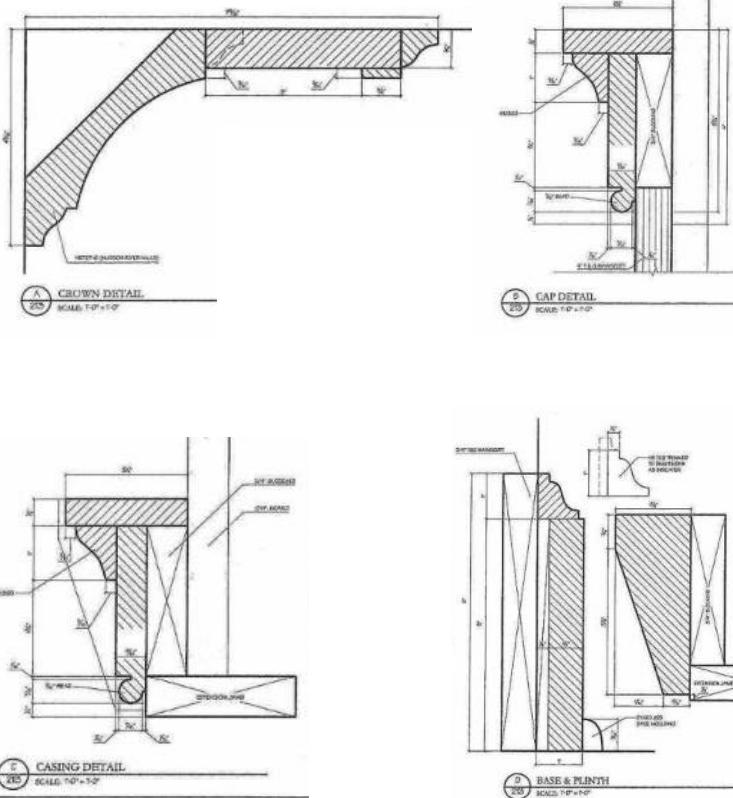
Queen Anne Architectural Style

A few examples of the numerous Victorian-style buildings designed by architect Richard Norman Shaw in England during the 1860s are Queen Anne houses. In order to build what is now recognized as a Queen Anne residence, Shaw combined elements of Jacobean and Elizabethan design.

Large wraparound porches, towering windows, asymmetrical facades, and an abundance of elaborate decoration make the Queen Anne style easily identifiable. The United States is now home to numerous Queen Anne residences.









Role:

- Worked directly with Principle and independently on design esthetics/value
- Pre-construction site visit / design team meeting
- Pre-construction field report
- Designed seating layout plans/elevations
- Prepared client sign-off designs

Project 5: Luxury Office Interior

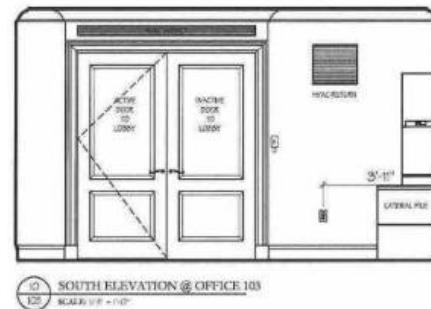
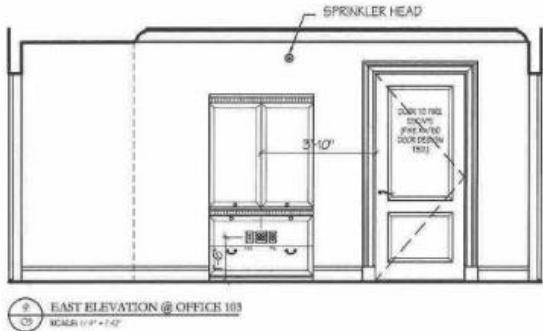
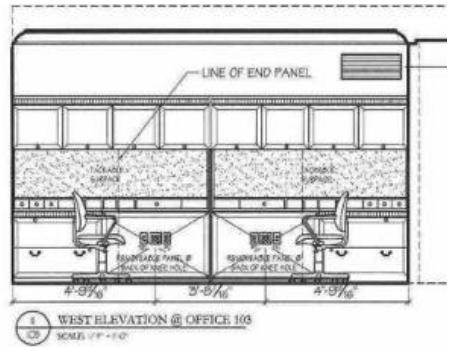
Interior Design at John Bardesly Inc.

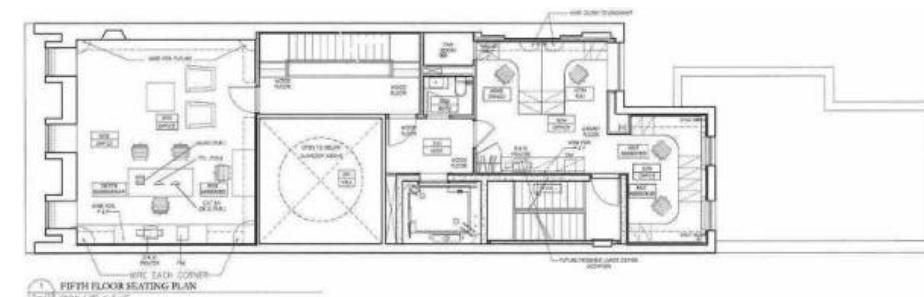
Zimmer Lucas Partners

"Designed in the French Beaux-Arts style... The facade is made entirely of limestone, with a smooth facade at the first floor and rusticated blocks on the upper stories. Above the centrally positioned main entrance is a balcony at the second story. The house is topped by a slate mansard roof." - From Wikipedia, the free encyclopedia

7 West 54th Street (also the Philip Lehman Residence)



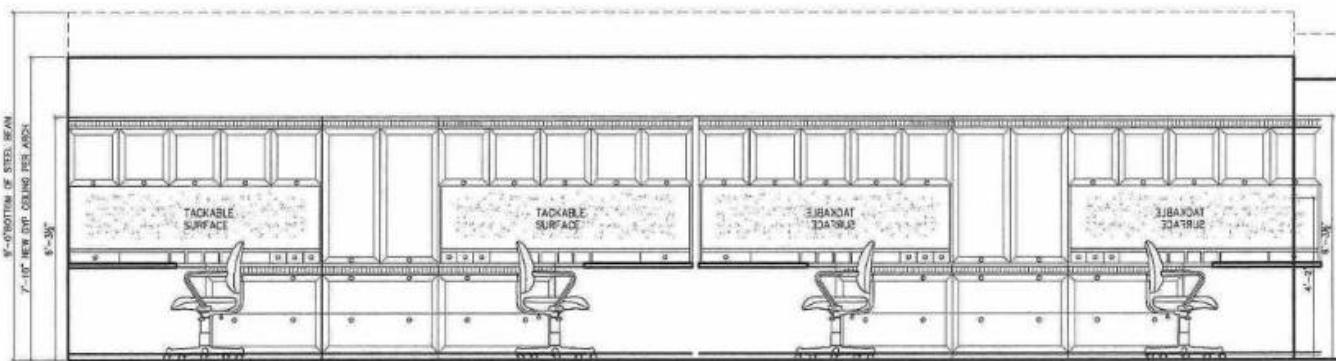






Role:

- Worked directly with Principle on design esthetics/value
- Pre-construction design team site visit
- Pre-construction field report
- Designed seating layout plans/elevations
- Prepared client sign-off designs

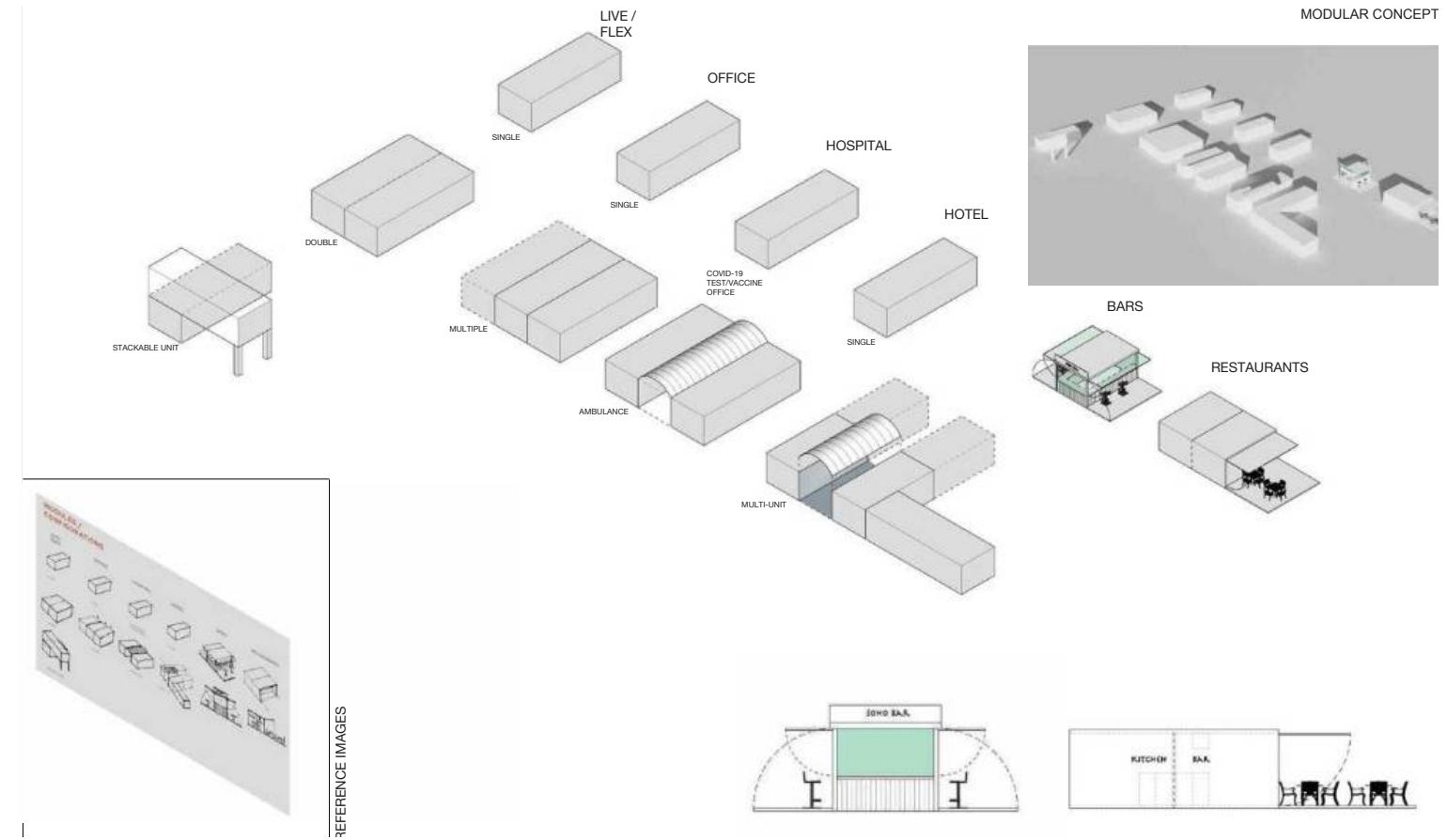


Project 6: Prefabricated Assembly Systems

Senior Designer at Carvant

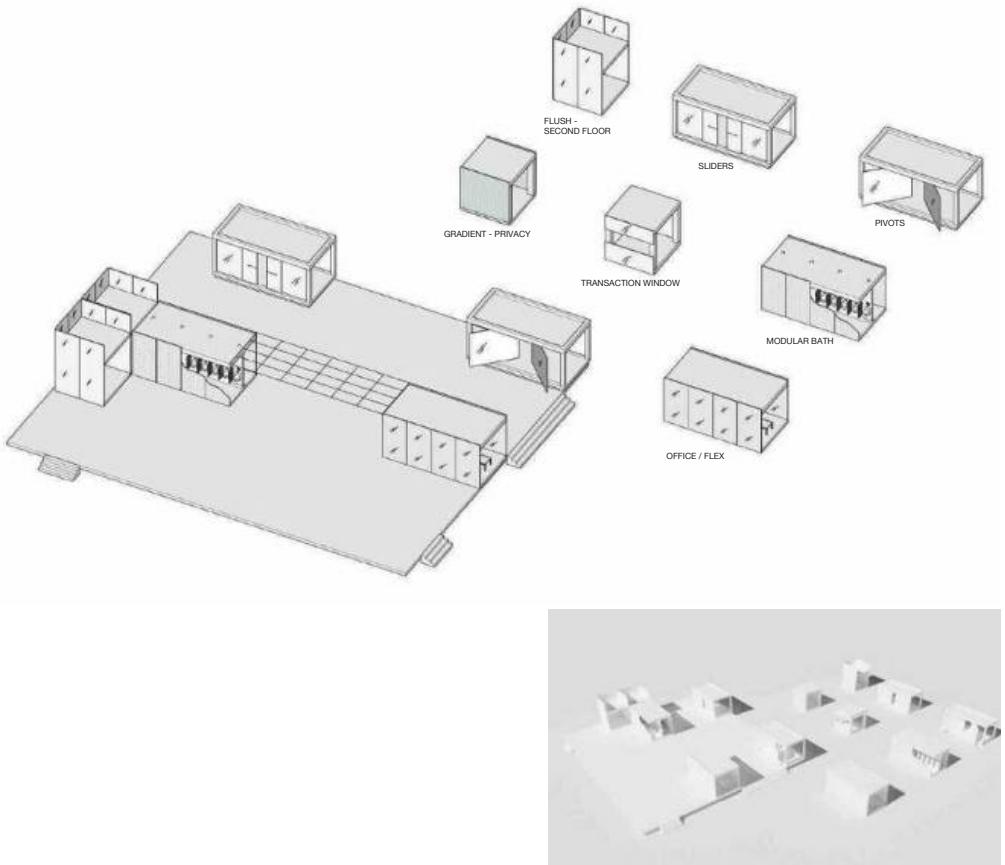
Modules / Configurations

Qualities like flexibility, serviceability, upgradeability, and so on define modular design. Modular architecture also has the advantage of allowing for module additions or replacements without compromising the functionality of the entire system.





REFERENCE IMAGES





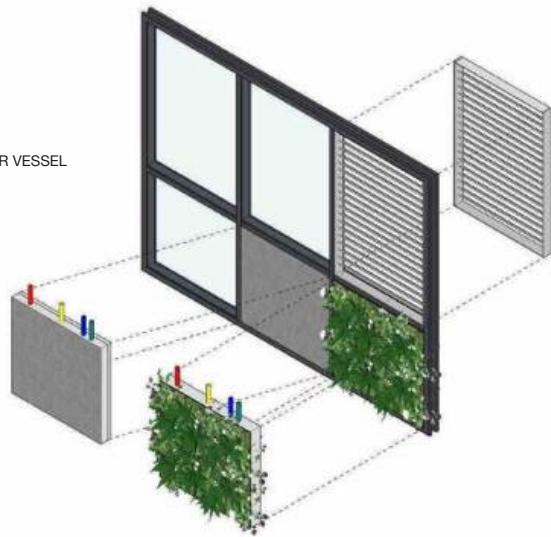
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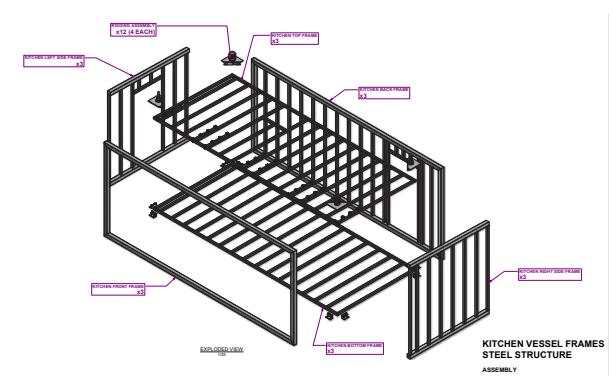
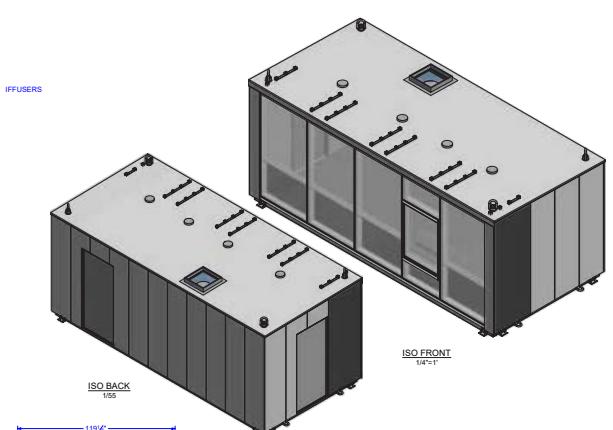
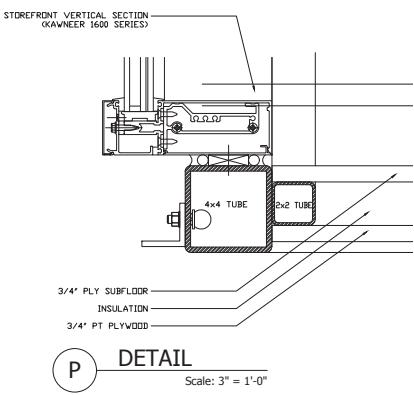
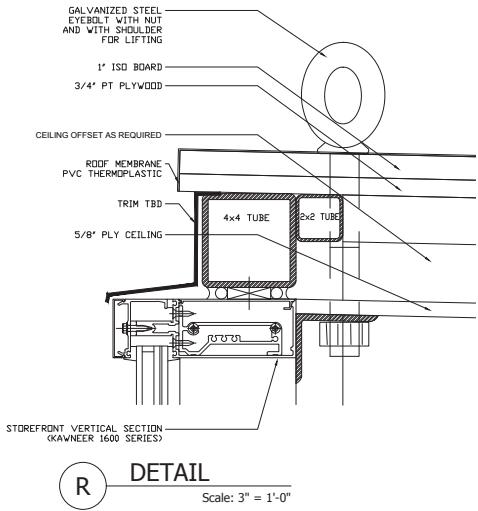
PIVOT DOORS



EXPLODED MODULAR VESSEL
COMPONENTS

- Glass curtain wall
- Metal infill
- Pivot door
- LED screen
- Green wall
- Glass wall with louvers





Curtain Wall Panel Options

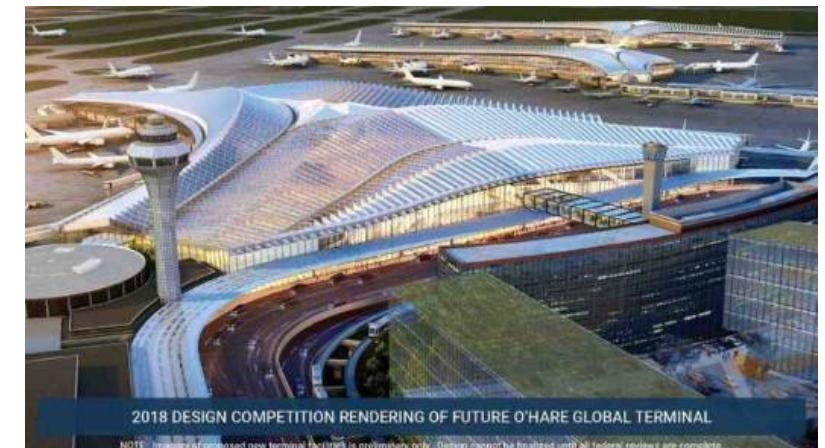
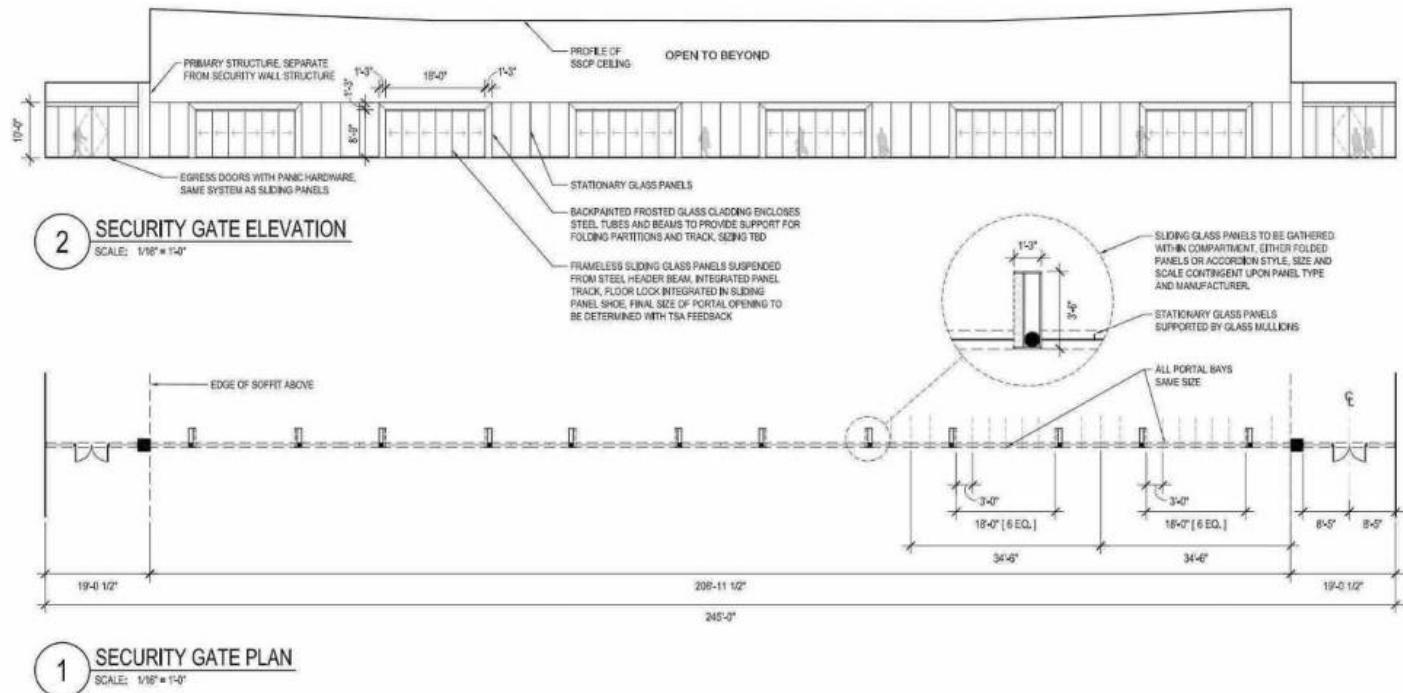
- An investigation of curtain wall and door assembly systems, as part of a small modular green design proficiency assessment.

Project 8: Prefabricated Portal Assembly System

Senior Designer at Carvant

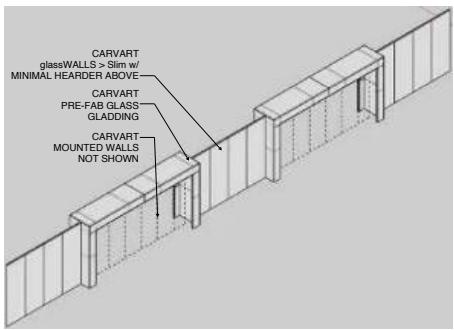
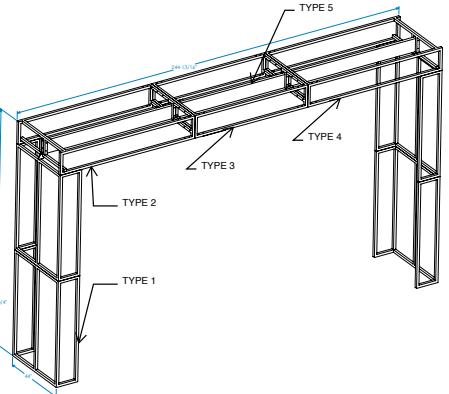
Curtain Wall Panel Options

The design intent for the security checkpoint portals at O'Hare Global Terminal are modular, physically self-supporting structures. Portals are made to order in a manufacturing facility, and the subassembly is transported to the O'Hare location, where the structure will be erected.

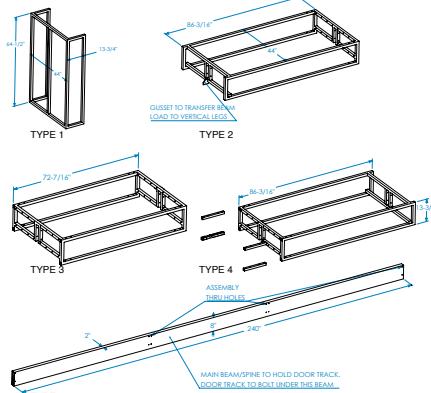


PREFABRICATED INTERIOR CHECKPOINT

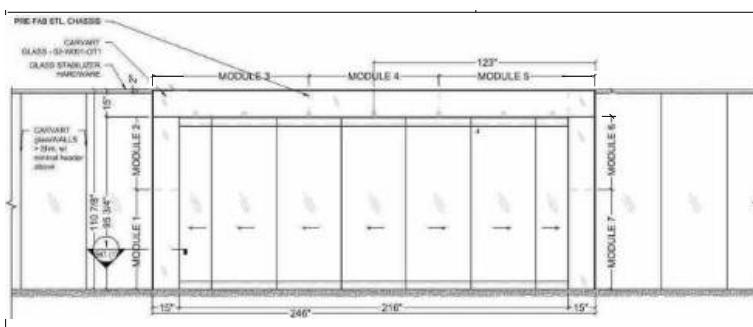
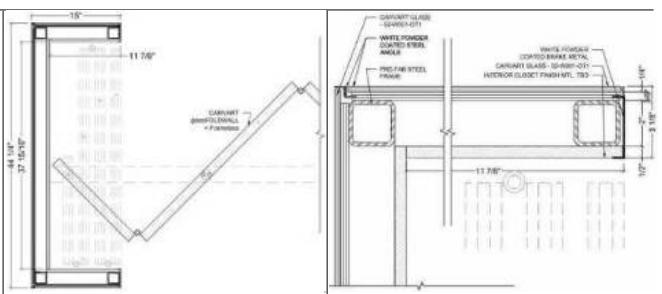
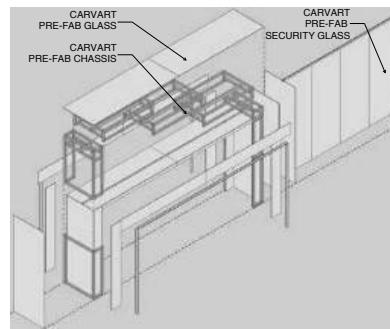
ISO. MODULES



PRE-FAB TYPES



EXPLODED PRE-FAB ISO.

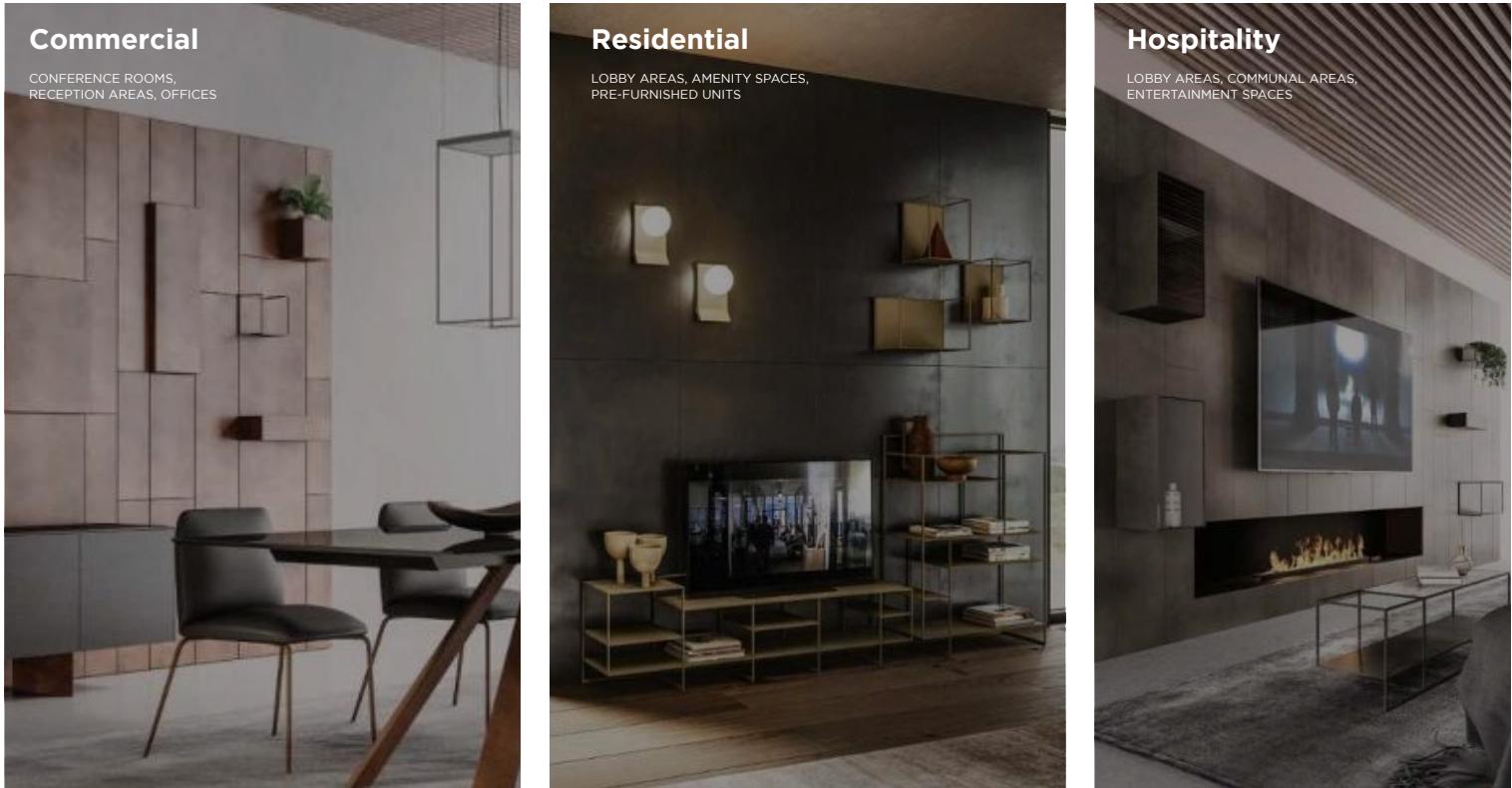


Project 9: Prefabricated Modular Paneling

Senior Designer at Carvant

modularWALLCLAD Environments

The security checkpoint portals at O'Hare Global Terminal are modular, physically self-supporting structures. Portals are made to order in a manufacturing facility, and the subassembly is transported to the O'Hare location, where the structure will be erected.

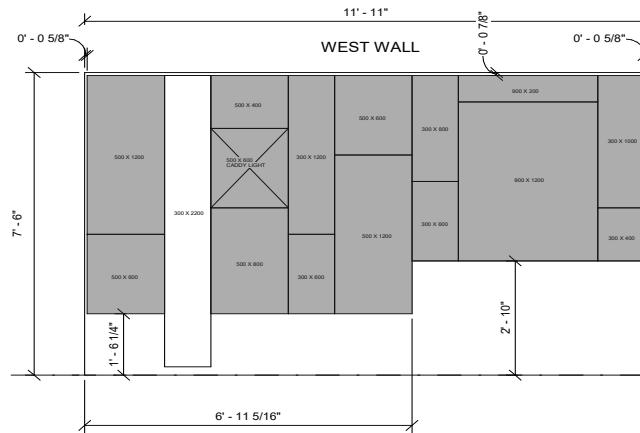




ELEVATION

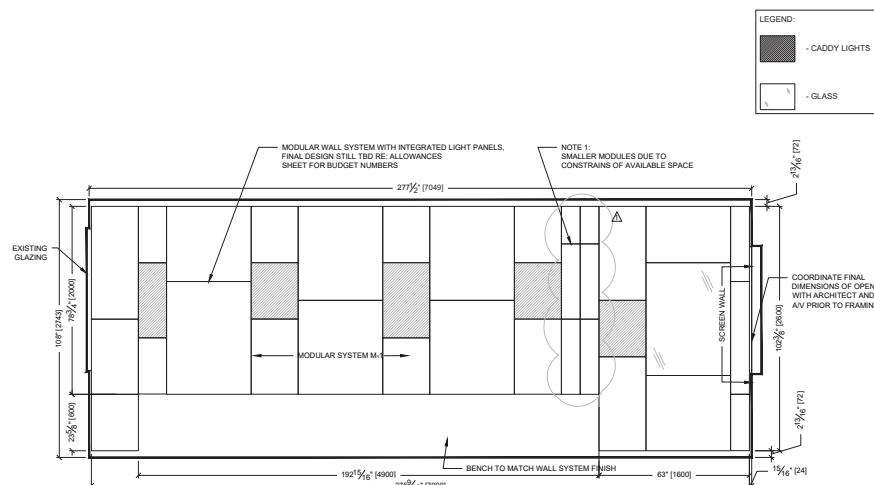
LEGEND:

- STIPPLED TITANIUM
- C2 STAUARY
- WRITABLE GLASS PANEL
CUSTOM COLOR MATCHED
TO STIPPLED TITANIUM



ELEVATION

30	5	0	\$20,100	
TOTAL PANELS TOTAL LIGHT PANELS TOTAL ACCESSORIES SALE PRICE				



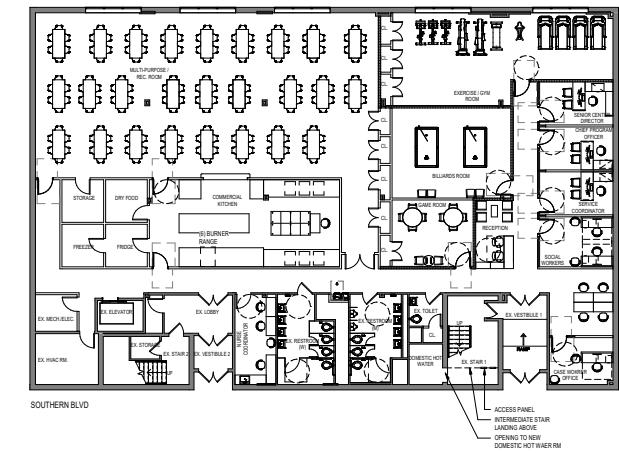
Project 10: Commercial Staging design, Adaptive Reuse

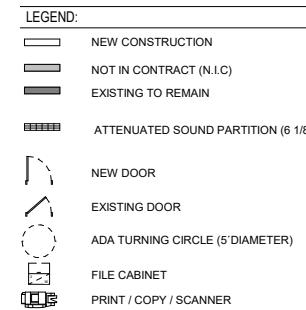
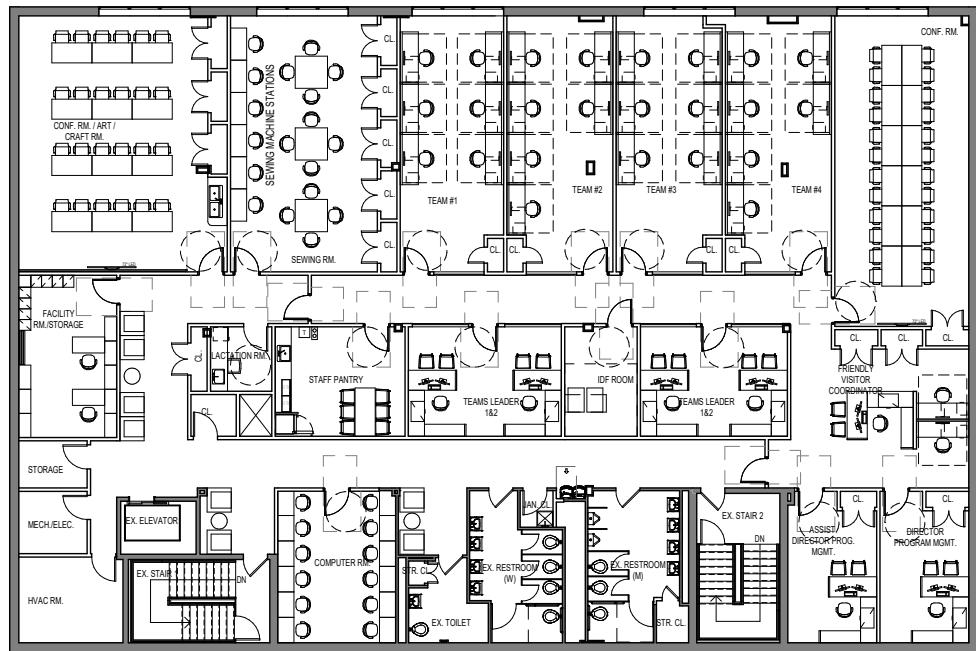
Senior Designer at CSA Architects & Engineers llp

New York City: Department for the Aging (DFTA)

"Designed in the French Beaux-Arts style... The facade is made entirely of limestone, with a smooth facade at the first floor and rusticated blocks on the upper stories. Above the centrally positioned main entrance is a balcony at the second story. The house is topped by a slate mansard roof." - From Wikipedia, the free encyclopedia

1680 Southern blvd. bronx ny 10460





Role:

Manage the design preparation and coordination of scope of work, procedurally, that includes:

- kick-off meeting (space needs program)
- Site visit, site report (with architectural and MEP recommendations)
- Test-Fit (staging floor plans, per DCAS standards, & redesigning floor plans where applicable) & meeting with client
- Preliminary design (adding power & data & AV, where applicable per DCAS standards) & meeting with client
- Site measurement report (SMR)
- Landlord Base building Scope of Work (SOW) & INTERIOR (tenant) SOW contract document preparation, for approval & signing

Project 11: Commercial Staging Design, Adaptive Reuse

Senior Designer at CSA Architects & Engineers llp

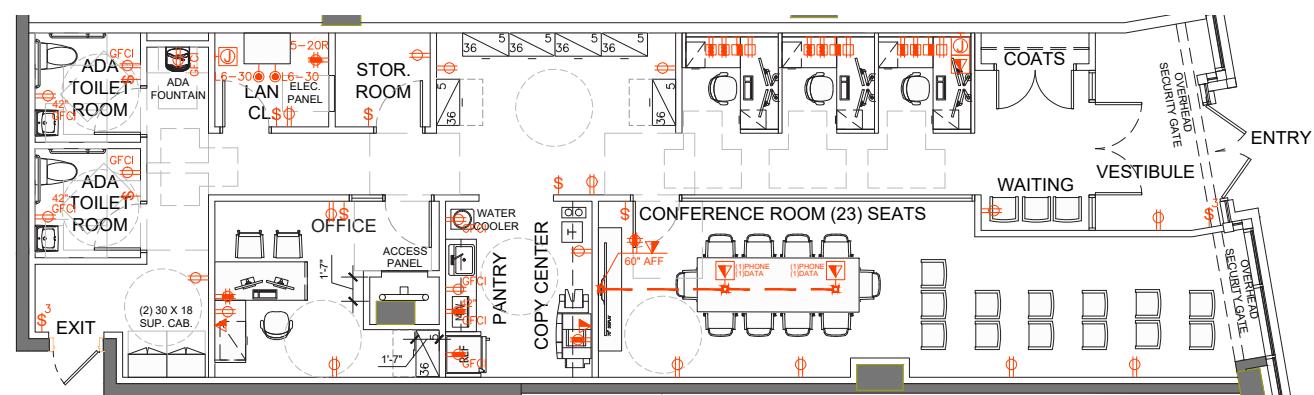
NYC Brooklyn Community Board 13:
Serving the areas of Brighton Beach, Coney Island,
Gravesend and Sea Gate

"Community boards serve as local government representatives. Each of the 59 community boards in the city is made up of up to 50 non-salaried members, half of whom are chosen by the City Council members in their respective districts. Board members must live, work, or have a substantial interest in the community in order to be chosen and appointed by the Borough Presidents from among the engaged, active individuals of each community.

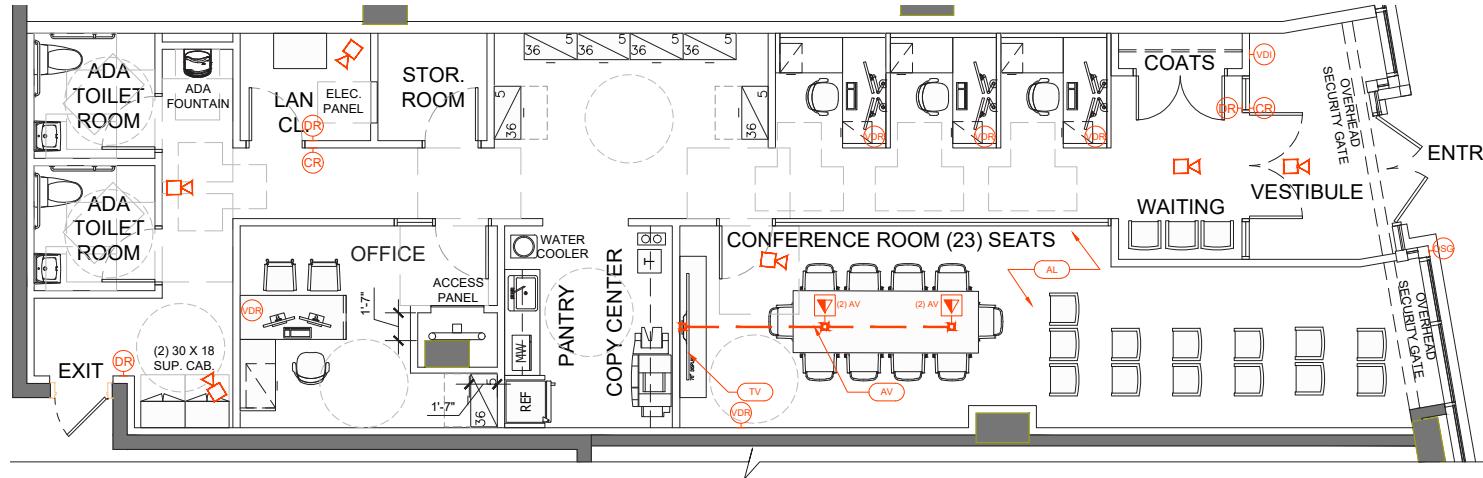
Every community board is overseen by a District Manager who sets up an office, employs personnel, and puts policies into place to enhance the district's ability to receive city services." - NYC.gov



1919 Surf Avenue, Brooklyn, NY 11224

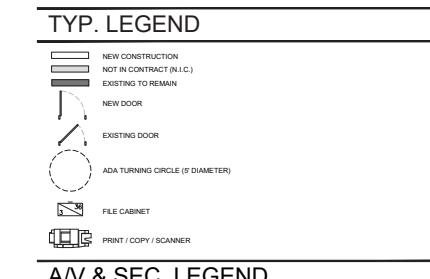
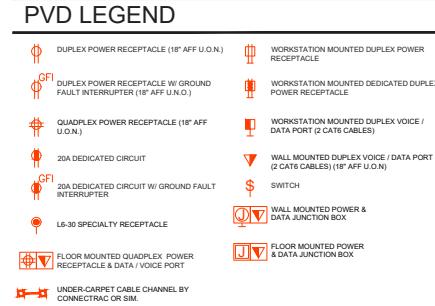
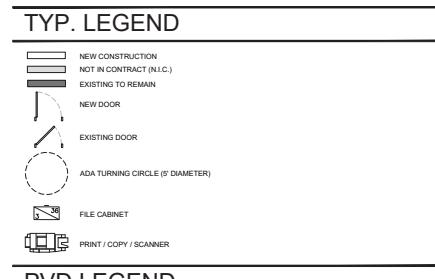


1919 Surf Ave, Brooklyn, NY 11224



Role:

- Preliminary Plan (AV & Security)



Project 12: Feasibility Study for a Mixed-use Commercial & Residential building

Senior Designer at CSA Architects & Engineers llp

A feasibility study for a planned mixed-use commercial and residential project for a customer looking to build in Central Islip, New York.

62 Carleton Ave., Central Islip, NY 11722



62 Carleton Ave, Central Islip, NY 11722 - Feasibility Study

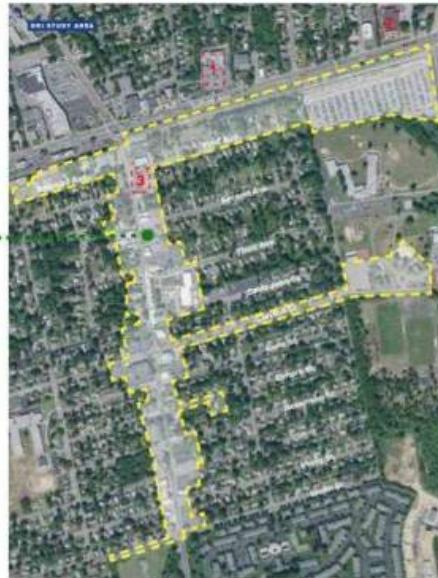
DOWNTOWN REVITALIZATION INITIATIVE STRATEGIC INVESTMENT PLAN: CENTRAL ISLIP DOWNTOWN



Business and development leaders worldwide recognize that vibrant downtowns with attractive public amenities and a high quality-of-life provide a catalyst for increased economic development, re-population (particularly by young professionals), and urban redevelopment. Recognizing this potential, Governor Andrew Cuomo launched a major new initiative in the spring of 2016 – the Downtown Revitalization Initiative (DRI).

The program's success in the first two rounds, and the tremendous excitement it generated among other interested communities, led the Governor and the Legislature to include another \$100 million in the 2018 state budget for a third round of DRI funding. As in the previous rounds, each of the Governor's ten Regional Economic Development Councils (REDCs) selected one community to receive \$10 million for economic development projects designed to improve the economic and social vitality of their downtown areas. Communities selected in Round Three include:

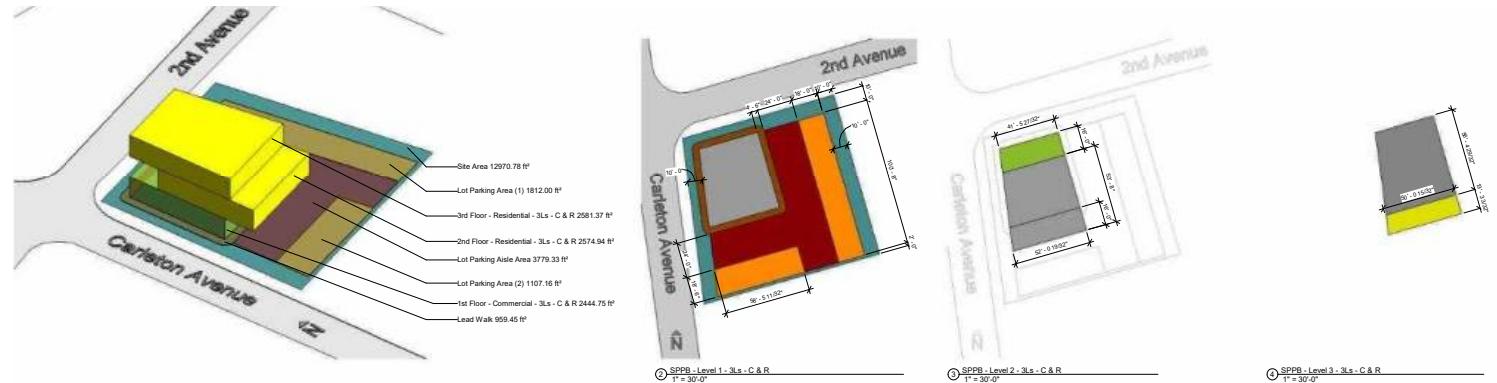
- Albany (Capital Region)
- Auburn (Mid-Hudson Region)
- Auburn (Central New York Region)
- Downtown Brooklyn (New York City Region)
- Central Islip (Long Island Region)
- Lockport (Western New York Region)
- New Rochelle (Mid-Hudson Region)
- Owego (Southern Tier Region)
- Penn Yan (Finger Lakes Region)
- Saranac Lake (North Country Region)



Role:

- Manage the site visit with
- Executed Central Islip Township building code, corner lot analysis, and town history research
- Executed 3D site feasibility Revit study
- Designed floor

62 Carleton Ave, Central Islip, NY 11722 - Feasibility Study
Mixed-use -3 Stories (Commercial & Residential) Option



DISTRICT	Item/Description	Permitted/Required	Proposed	Compliance/Lack of Compliance and notes	Zoning Analysis Chart
USES					CSA Group (08/26/2022) A101 - Feasibility Study [Any Notes]
BD Building District (BD)	BD	Mixed-use Building	\$ 68-257.1: Uses permitted by special permit		
FAR					
Residential	Single-family 0.25 max./two-family 0.25 max.	0.20	--		
Commercial	0.60 max.	0.19	--		
FLOOR AREA					
Residential	6,556 SF	5,155 SF	--	Block / Lot: 4 / 24 Address(es): 62 Carleton Ave., Central Islip, NY 11722 Zoning Lot Area: 12,972 SF Map Note(s): 050012000400024000	
Commercial	30% of min. gross floor area	2,445 SF (32%)	--	Zoning district: 0500 Community District(s): Down Town Central Islip	
LOT COVERAGE					
Max for Corner Lot	7,763.20 SF (80%) max.	10,103 SF (78%)	A zoning variance required.		
LOT AREA					
Min. Lot Area	7,500 SF	12,972 SF	--		
YARD					
Front Yard	Min. 10'-0" and Max. 25'-0" setback	10'-0"	--		
Side Yard	Name	10'-0" (East), 2'-0" (West)	--		
Rear Yard, Corner Lot Position	Min. 10'-0" setback	10'-0"	--		
HEIGHT & SETBACK					
Max. Building Height	Max. 35'-0" or three (3) stories	35'-0"	--		
PARKING					
Permitted parking	1 per 200 square feet of GFA, min. 8 spaces	17 spaces	--		

Mass	Area	Site Area	FAR
1st Floor - Commercial - 3Ls - C & R	2445 SF	12972 SF	0.19
2nd Floor - Residential - 3Ls - C & R	2575 SF	12972 SF	0.20
3rd Floor - Residential - 3Ls - C & R	2591 SF	12972 SF	0.20
Total: 3	7601 SF	7601 SF	0.59

Mass	Area	Lot Area	Coverage (%)
1st Floor - Commercial - 3Ls - C & R	2445 SF	12972 SF	18.85
Lead Walk	959 SF	12972 SF	7.40
Lot Parking Aisle Area	3779 SF	12972 SF	29.13
Lot Parking Area (1)	1812 SF	12972 SF	13
Lot Parking Area (2)	1071 SF	12972 SF	8.54
Total: 5	10103 SF	10103 SF	77.88

Town of Islip Zoning

Notes:

As-of-right: Development that complies with all applicable zoning regulations and does not require any discretionary action by the City Planning Commission or Board of Standards and Appeals.

SPPB: Requires a special permit from Planning Board, after a public hearing.

BD: Building District zoning (special permit required for mixed-use).

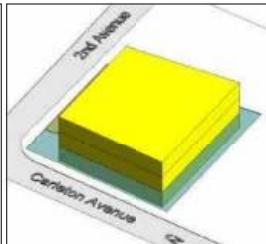
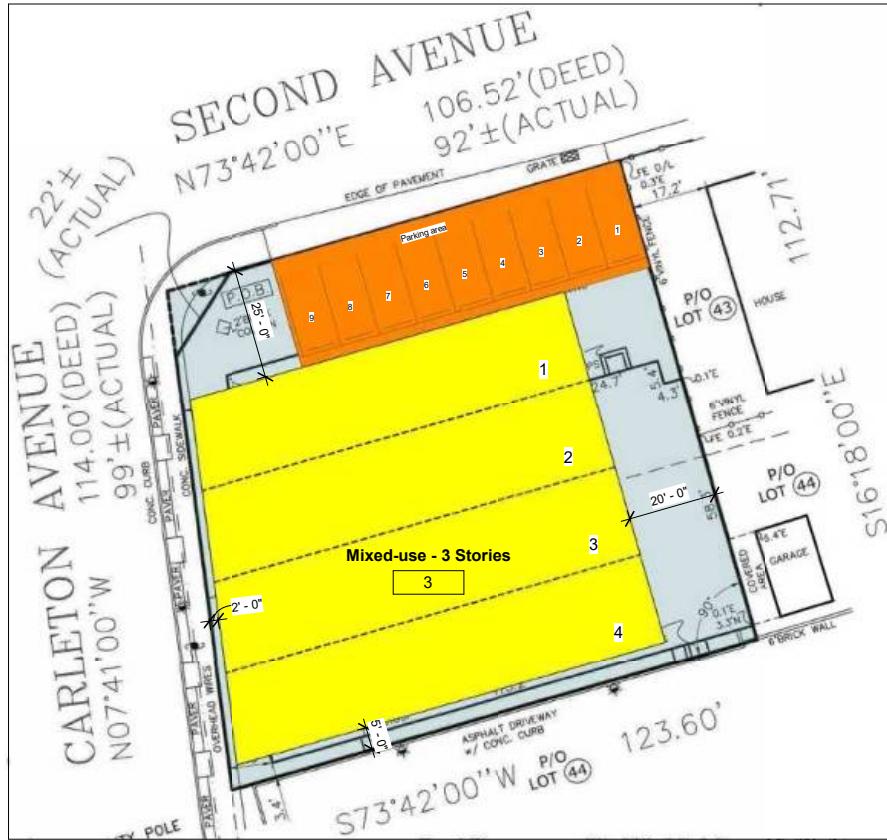
C: Commercial use.

C & R: Commercial & Residential use (mixed-use).

2Ls: 2 Levels, feasibility study.

3Ls: 3 Levels, feasibility study.

62 Carleton Ave, Central Islip, NY 11722 - Feasibility Study
Mixed-use -3 Stories (Commercial & Residential) Option



Gross Floor Area	
Levels	Area
1st Floor - Corn.	7822 SF
2nd FL - Resi.	7822 SF
3rd FL - Resi.	7822 SF
Total: 3	23465 SF

Site Information						
ZONING		Building District (BD)				
BLOCK #:	LOT #:	4	24			
LOT SIZE (SF)	DIMENSIONS	12,972 SF	114' (W) x 123.60' (D)			
ADDRESS:	62 Carleton Ave., Central Islip, NY 11722					
Zoning Analysis						
	Prmt./Reqd.	Existing	Proposed	Comments		
Floor Area (SF)	7,783.2 SF	8,422.44 SF	23,465 SF			
Yards	Front	1'-0" to 25'-0"	9.4'	2'-0"		
	Sides	None, 10' @ corner lot	3.4', 22'-0"	5'-0", 25'-0"		
	Rear	10'-0"	None	20'-0"		
Height (FT)	35'-0" Max.	--	--			
Stories	3 Stories Max.	1 story	3 stories			
Building Coverage (%)	--	65%	60%			
Floor Area Ratio (FAR)	0.60	0.65	1.80			
Off-street Parking	1 / 150 SF of GFA	5	9			

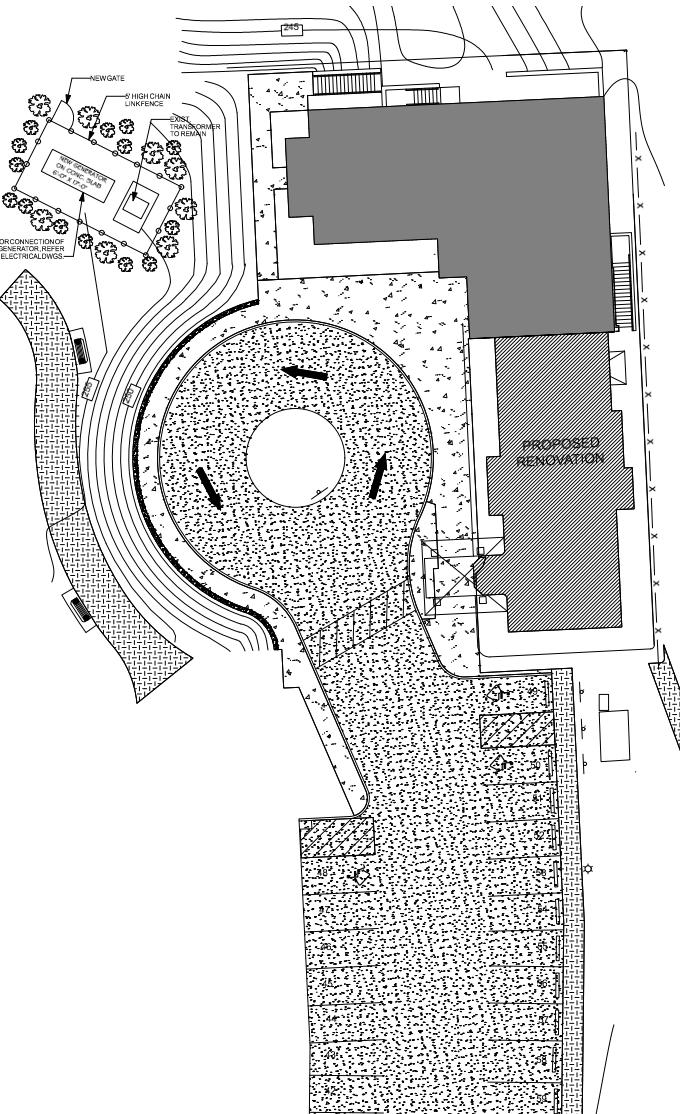
Project 13: Public Library Renovation

Architectural Design Associate at PFGA

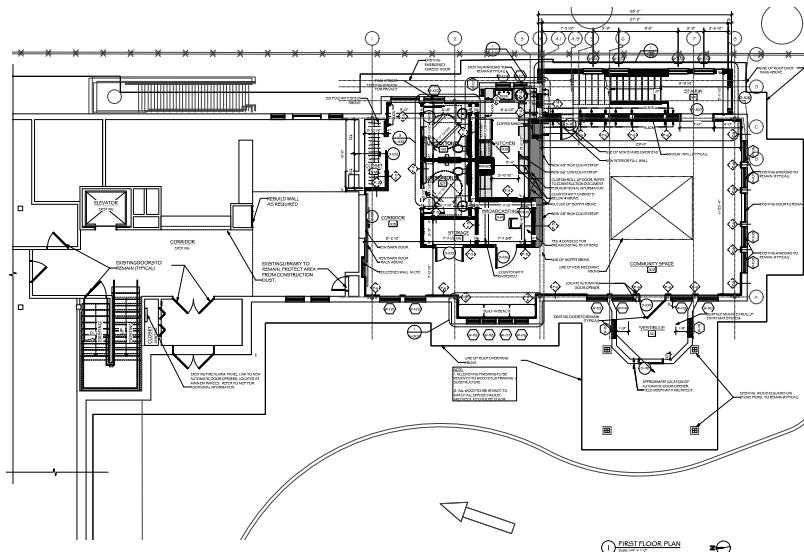
Tudor revival style Architecture.

1 Library Road,
Briarcliff Manor, NY 10510

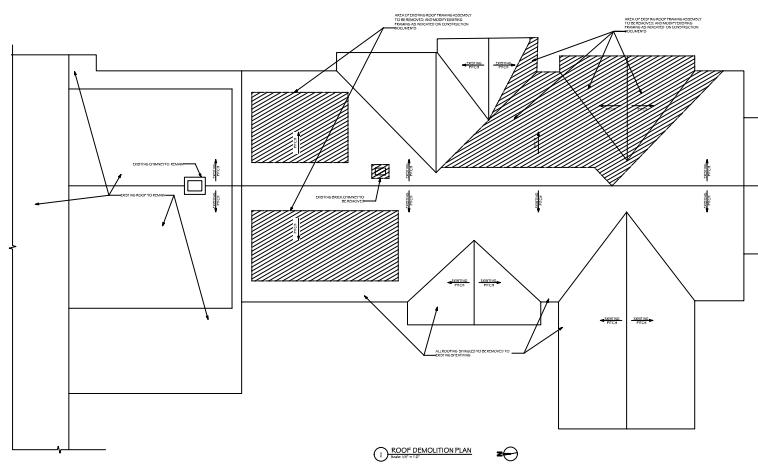




2 SITE PLAN
Scale: 1:200



FIRST FLOOR PLAN

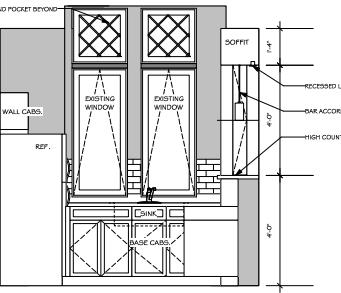


ROOF DEMOLITION PLAN
Scale: 1:200

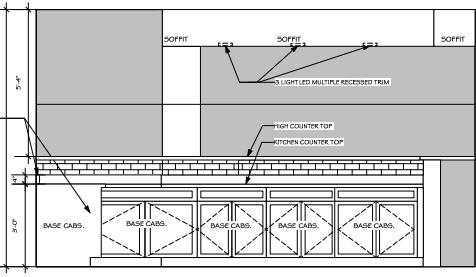
Role:

- Site visit with: myself (design associate), project architect, and client
- Created architectural design which included: schematic design, design development, lighting design, interior material and product research, construction document production, comprehensive architectural bid package with specification document (created by other), and a follow-up bid package meeting with bidders

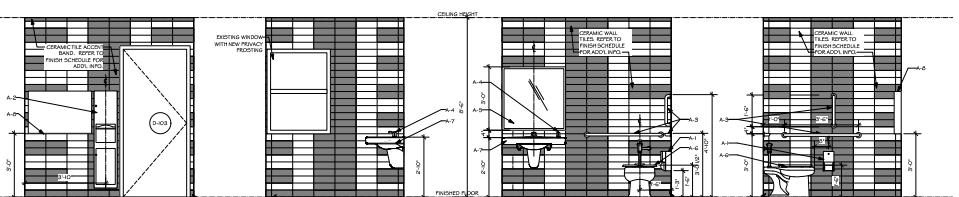
1 Library Road,
Briarcliff Manor, NY 10510



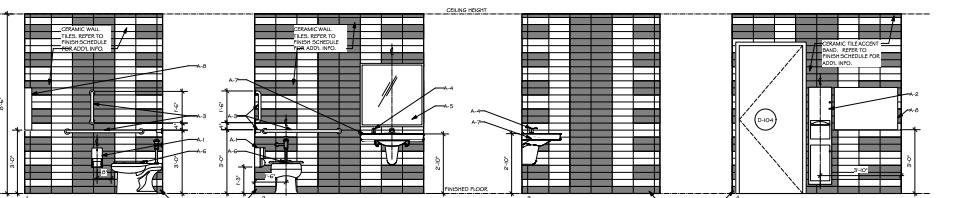
① KITCHEN ELEVATION
Scale: 1/2" = 1'-0"



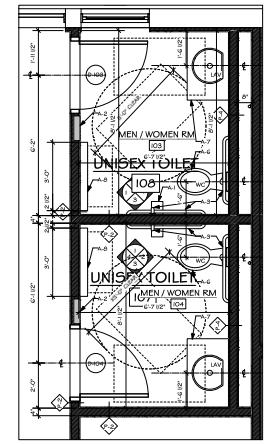
② KITCHEN ELEVATION
Scale: 1/2" = 1'-0"



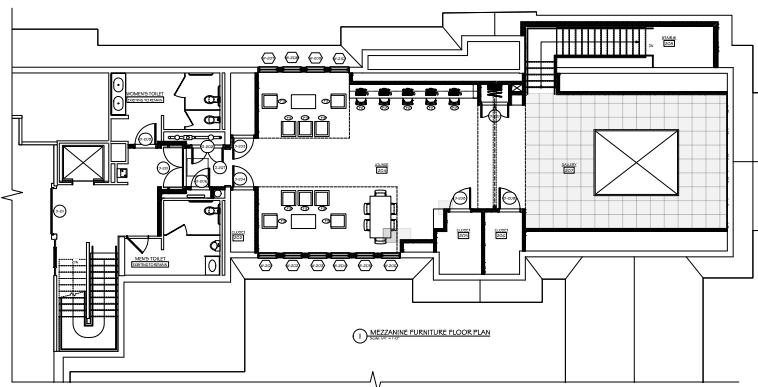
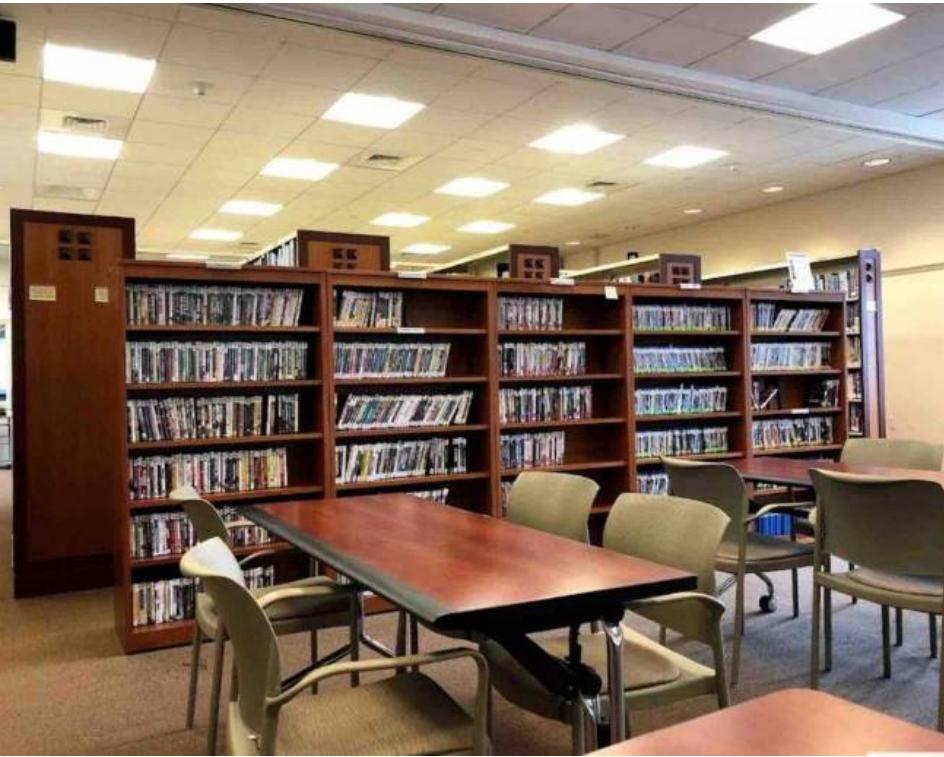
① MEN / WOMEN TOILET - INTERIOR ELEVATION
Scale: 1/2" = 1'-0"



② MEN / WOMEN TOILET - INTERIOR ELEVATION
Scale: 1/2" = 1'-0"



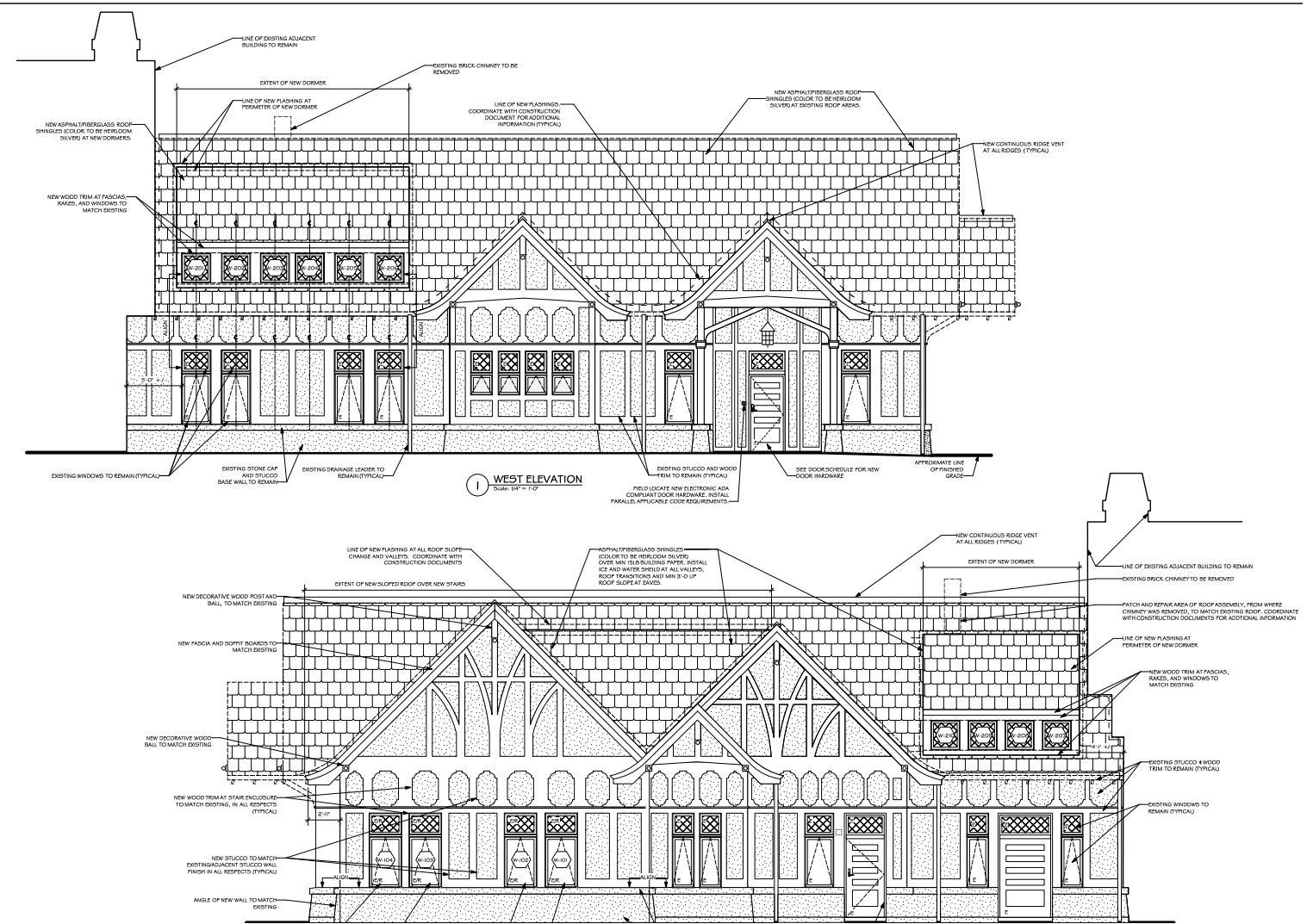
③ FIRST FLOOR TOILET PLAN
Scale: 1/2" = 1'-0"

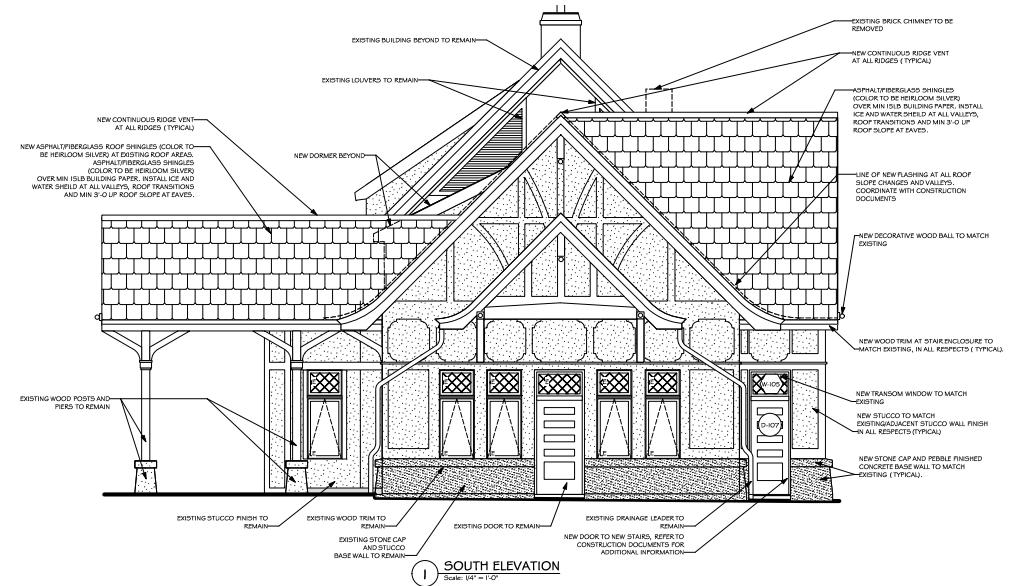


Tudor Revival Style Architecture

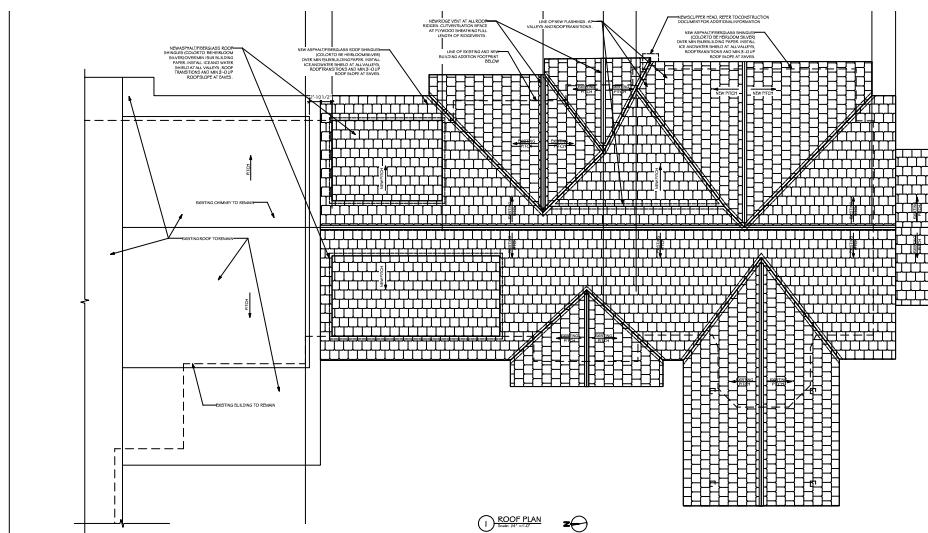
Similar to traditional Tudor architecture, Tudor Revival draws inspiration from Renaissance and Gothic design features to produce a style that is characterized by the use of half-timbering, steeply pitched roofs, and asymmetrical design components. Similar to traditional Tudor architecture, Tudor Revival draws inspiration from Renaissance and Gothic design features to produce a style that is characterized by the use of half-timbering, steeply pitched roofs, and asymmetrical design components.

1 Library Road,
Briarcliff Manor, NY 10510





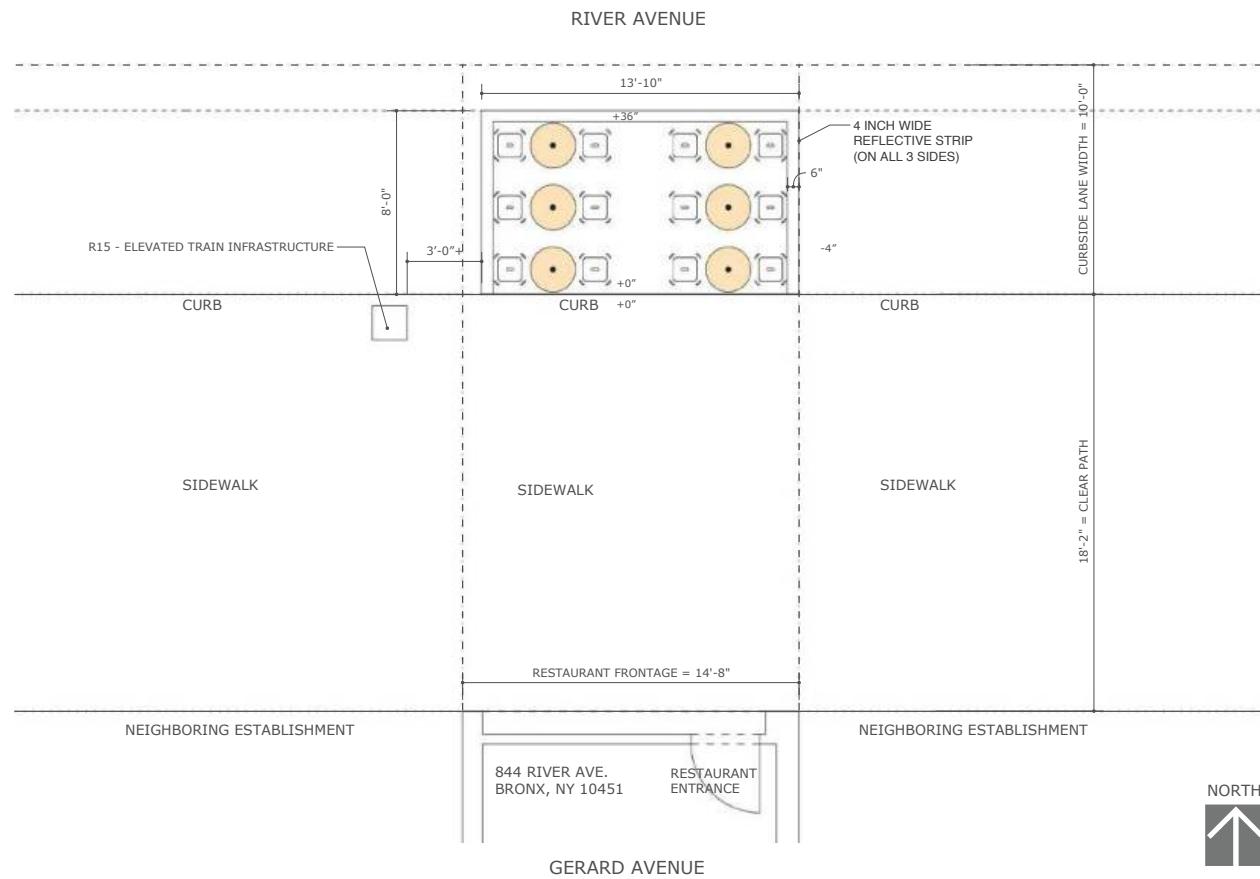
1 Library Road,
Briarcliff Manor, NY 10510



Project 14: Specialty Project

Yankee Twin Eatery Bar Bronx NY
Outdoor Dining - NYC DOT

844 River Ave. Bronx, NY 10451



Yankee Twin Eatery Bar, sidewalk cafe

RIVER AVENUE

NYC's Temporary Open Restaurants Program: Putting Outdoor Dining Options Into Visual Perspective

