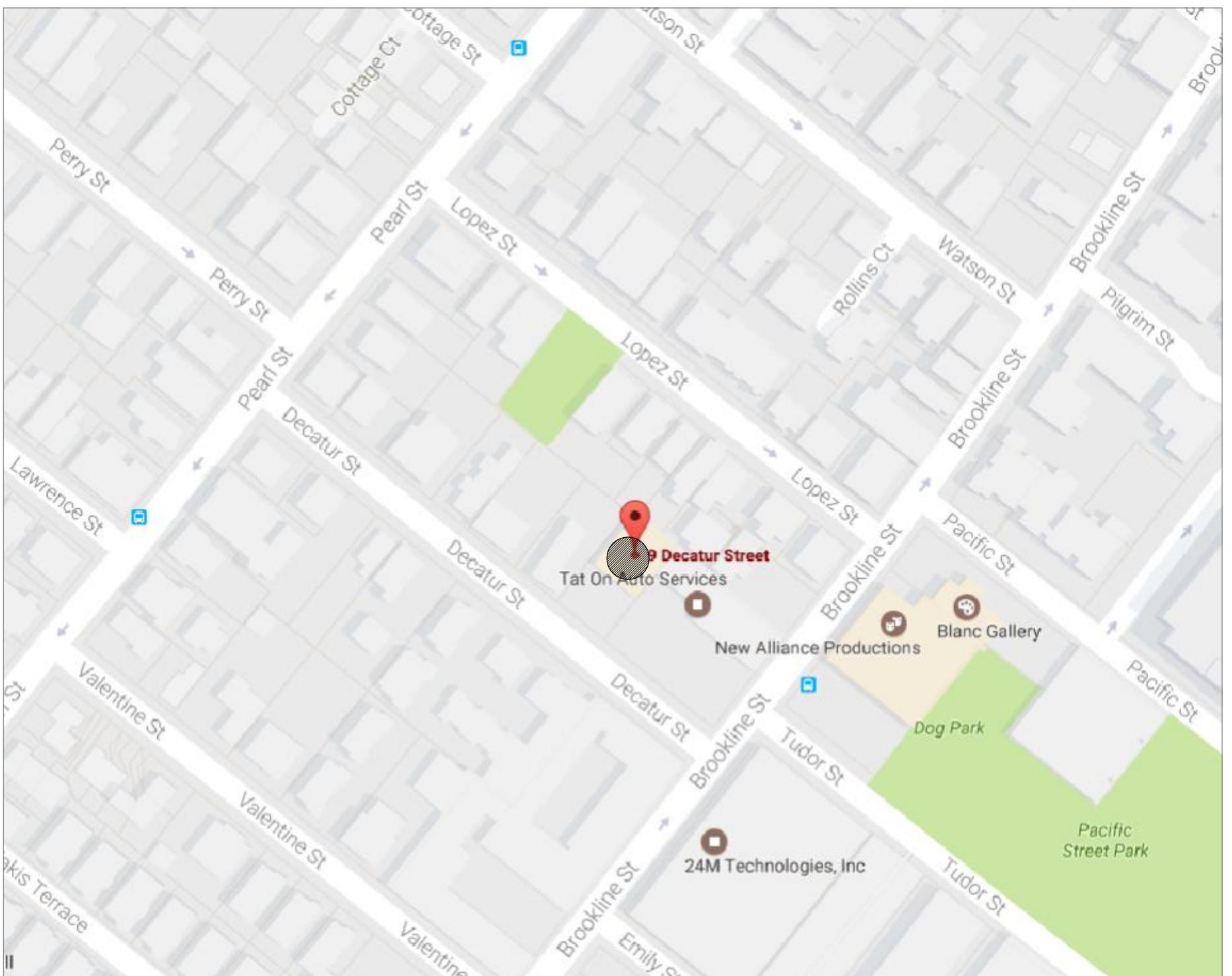


REDEVELOPMENT OF 9 DECATUR ST. (TWO FAMILY)

9 DECATUR ST., CAMBRIDGE, MA



STREET VIEW (UNIT 1)



LOCUS PLAN

PREPARED FOR:

OWNER

9 DECATUR ST., LLC.

48 CENTRAL ST
SOMERVILLE, MA 02143

SURVEYOR

SUMMIT SURVEYING, INC.

4 SOUTH POND ST.
NEWBURYPORT, MA 01950
PH (978) 692-7109

STRUCTURAL ENGINEER

CHRISTOPHER KIRBY, P.E.

P.O. BOX 291
NORWOOD, MA 02062
PH (617) 872-5553

PREPARED BY:

ARCHITECT

PETER QUINN
ARCHITECTS LLC

259 ELM ST, SUITE 301
SOMERVILLE, MA 02144
PH (617) 354-3989

CIVIL ENGINEER

COLUMBIA DESIGN
GROUP, LLC

14 UPHAM AVENUE
DORCHESTER, MA 02125
PH (617) 905-3886

LIST OF DRAWINGS	PERMIT SET	REV 01	REV 02
GENERAL			
T1.0 COVER SHEET			
EXISTING TOPOGRAPHIC PLAN OF LAND	X	X	X
PROPOSED PLOT PLAN OF LAND	X		
Z1.0 ZONING ANALYSIS	X	X	X
G1.0 GENERAL NOTES/ ABBREVIATIONS/ KEY SYMBOLS	X	X	X
CIVIL			
C-1 SITE PLAN	X		
ARCHITECTURAL			
A51.0 ARCHITECTURAL SITE PLAN & LANDSCAPING PLAN	X	X	X
A1.1 BASEMENT & FIRST FLOOR PLAN	X	X	X
A1.2 SECOND FLOOR PLAN & ROOF DECK	X	X	X
A2.1 FRONT & REAR ELEVATIONS	X	X	X
A2.2 SIDE ELEVATIONS	X	X	X
A3.1 BUILDING SECTION AND WALL SECTION	X	X	X
A4.1 WINDOW SCHEDULE & DETAILS	X	X	X
A4.2 DOOR SCHEDULE, FINISH SCHEDULE & DETAILS	X	X	X
STRUCTURAL			
S1 UNIT 1 COVER PAGE & GENERAL NOTES		X	
S2 UNIT 1 FOUNDATION PLAN & FIRST FLOOR FRAMING PLAN		X	
S3 UNIT 1 SECOND FLOOR & ROOF FRAMING PLAN		X	
S4 UNIT 1 CROSS SECTION		X	
S5 UNIT 1 STANDARD FRAMING DETAILS		X	
S1 UNIT 2 COVER PAGE & GENERAL NOTES		X	
S2 UNIT 2 FOUNDATION PLAN & FIRST FLOOR FRAMING PLAN		X	
S3 UNIT 2 SECOND FLOOR & ROOF FRAMING PLAN		X	
S4 UNIT 2 CROSS SECTION		X	
S5 UNIT 2 STANDARD FRAMING DETAILS		X	
S6 UNIT 2 STEEL DETAILS		X	

DESIGN PER INTERNATIONAL RESIDENTIAL CODE 2012, AND AS AMENDED BY 780 CMR 51.00 MASS. RESIDENTIAL CODE 8TH EDITION.

ENERGY CODES:

"HERS" RATING SYSTEM REQ'D FOR RESIDENTIAL 3-STORY AND LESS (STRETCH ENERGY CODE 401.2).

PRESCRIPTIVE COMPLIANCE METHOD USED: IECC 2009, RESIDENTIAL SECTION 402.1.

TABLE 402.1.1:

-WALLS: R-20

-ROOF CEILINGS: R-38 (INSULATION EXTENDS OVER WALL PLATE)

-FLOORS: R-30. OR FILL CAVITY W/ MIN R-19-SEE NOTE g

-BASEMENT WALLS: R-10 CONTINUOUS INSULATED SHEATHING ON INTERIOR OR EXTERIOR OF THE HOME. OR R-13 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.

-BASEMENT SLAB: R-10 FOR 2 FEET OF SLAB EDGE.

PETER QUINN ARCHITECTS
ARCHITECTURE PLANNING COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989

SEAL

CONSULTANT

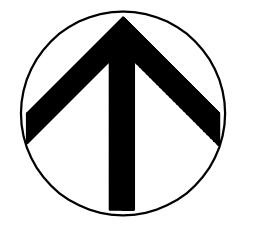
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DRAWING TITLE
COVER SHEET

SCALE AS NOTED
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PERMIT SET 13 JUNE 2017
DRAWN BY EC REVIEWED BY PQ
SHEET

T-1.0



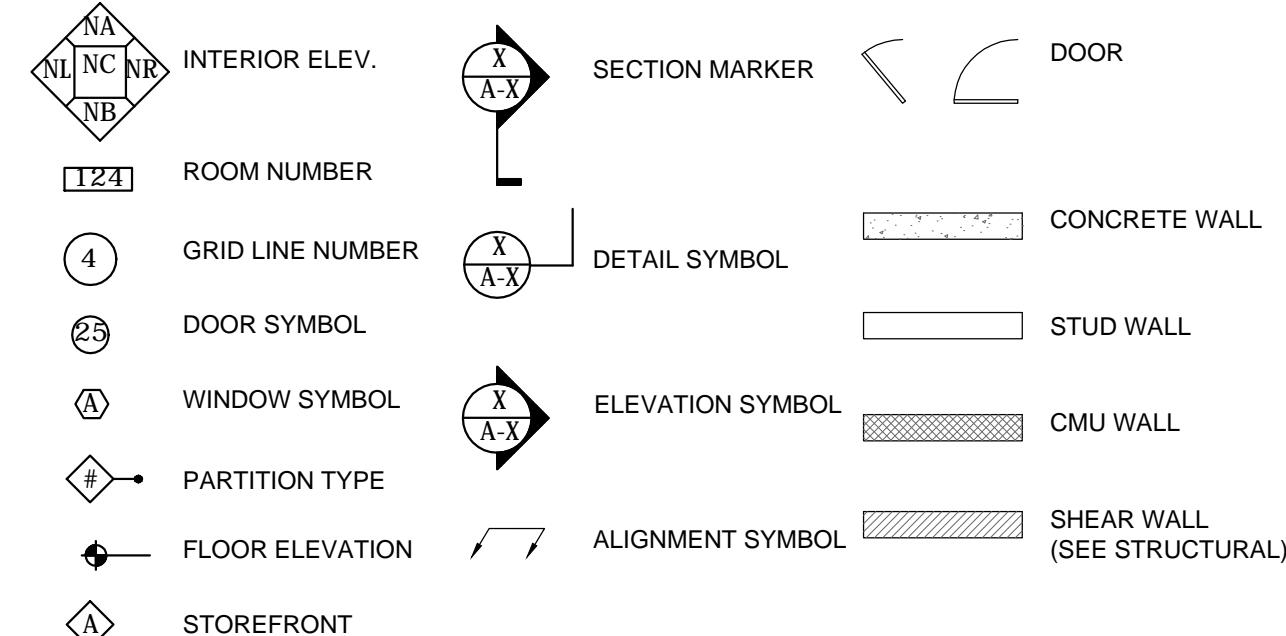
GENERAL NOTES

- ALL WORK PERFORMED, INCLUDING MATERIALS FURNISHED, WORKMANSHIP, MEANS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE APPLICABLE CODES AND THE LATEST REQUIREMENTS OF THE FEDERAL BUILDING CODES, ALL LOCAL AND STATE HANDICAP AND FEDERAL ADA REGULATIONS, ANY FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND GENERAL CONDITIONS PER AIA DOCUMENT #A201 AND OWNER/CONTRACTOR AGREEMENT/DOCUMENT #A101 (OR APPLICABLE AGREEMENT).
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE OWNER AND THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY THE GOVERNING AGENCIES.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THAT ALL EXISTING CONDITIONS AGREE WITH INFORMATION SHOWN ON THE DRAWINGS. ANY CONFLICTS, OMISSIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF ANY WORK. NO ALLOWANCES WILL SUBSEQUENTLY BE MADE ON HIS BEHALF FOR ANY ADDITIONAL EXPENSES WHICH ARE INCURRED DUE TO NEGLECT OF WHICH COULD HAVE BEEN REASONABLY FORESEEN BY PRIOR INSPECTION OF EXISTING CONDITIONS.
- PRIOR TO COMMENCING WORK, ORDERING OF MATERIALS AND SHOP FABRICATION OF ANY MATERIALS, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS INDICATED ON THE DRAWINGS AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION.
- DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCE, AND TYPICAL DETAIL FOR CONSTRUCTION. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS. FOR CONDITIONS NOT ILLUSTRATED, NOTIFY ARCHITECT FOR CLARIFICATION AND/OR SIMILAR DETAIL.
- WORK WHICH IS OBVIOUSLY REQUIRED TO PROVIDE A COMPLETE AND FINISHED PRODUCT WITHIN THE SCOPE OF WORK, BUT WHICH IS NOT SPECIFICALLY INCLUDED ON THE CONTRACT DOCUMENTS, SHALL BE PERFORMED BY THE CONTRACTOR AND BE INCLUDED IN THE BID. CONTRACTOR TO INSPECT AT TIME OF DELIVERY ALL FIXTURES PROVIDED BY OWNER TO INSURE PROPER QUANTITY, THAT ITEMS ARE DEFECT FREE, AND MATCH INVOICE. CONTRACTOR TO BE RESPONSIBLE FOR INSTALLATION, WHICH MAY INCLUDE BLOCKING, SHIMMING, ETC. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL ITEMS SUPPLIED BY OWNER'S VENDORS AND TO VERIFY THAT ALL MATERIALS RECEIVED ARE IN ACCORDANCE WITH THE SPEC. HEREIN. ANY DAMAGED ITEMS OR DISCREPANCIES BETWEEN MATERIALS SPECIFIED AND MATERIALS SHIPPED, SHALL BE REPORTED TO THE ARCHITECT PROMPTLY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INSTALLATIONS, CONDITIONS, MATERIALS AND FINISHES WITHIN THE PROPOSED CONSTRUCTION AREA AND ALL ADJOINING PROPERTY AFFECTED BY CONTRACTOR'S OPERATIONS. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK. ANY EXISTING MATERIALS AND FINISHES WHICH ARE DAMAGED, SHALL BE REPLACED AS NECESSARY WITH NEW MATCHING MATERIALS AT THE CONTRACTOR'S OWN COST AND EXPENSE.
- THE CONTRACTOR SHALL DO ALL CUTTING, CHASING, CORE DRILLING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK THAT MAY BE INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB. PATCHING SHALL MATCH ADJACENT SYSTEMS, MATERIALS AND FINISHES UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL EMPLOY ADEQUATE NUMBER OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK. ALL WORK SHALL BE PERFORMED BY DULY LICENSED PROFESSIONALS AND AS REQUIRED BY STATE AND LOCAL GOVERNMENTS FOR EACH APPLICABLE TRADE, (PLUMBING, ELECTRICAL, ETC), WHO SHALL ARRANGE FOR AND OBTAIN REQUIRED INSPECTIONS AND SIGN OFFS.
- THESE DRAWINGS ARE DIVIDED INTO SECTIONS FOR CONVENIENCE ONLY. CONTRACTOR, SUBCONTRACTORS, VENDORS AND MATERIAL SUPPLIERS SHALL REFER TO ALL RELEVANT SECTIONS IN BIDDING AND PERFORMING THEIR WORK AND SHALL BE RESPONSIBLE FOR ALL ASPECTS OF THEIR WORK REGARDLESS OF WHERE THE INFORMATION OCCURS ON THE DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WORK OF ALL TRADES AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION OF THEIR WORK WITH THE WORK OF OTHERS, AND SHALL VERIFY THAT ANY WORK RELATING TO THEM WHICH MUST BE PROVIDED BY OTHERS, HAS BEEN COMPLETED AND IS ADEQUATE PRIOR TO COMMENCING THEIR WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH SUBCONTRACTORS OF SERVICES IN CEILINGS AND OF ANY REQUIRED BEAM PENETRATIONS WITH ENGINEERS AS NECESSARY.
- CONTRACTOR SHALL PROVIDE STRUCTURAL BACKING/BLOCKING FOR ALL WALL MOUNTED FIXTURES, FINISHES AND EQUIPMENT, AND FOR ALL HANGING FIXTURES, BLINDS, ETC.
- CONTRACTOR SHALL INSTALL ALL MATERIALS AND EQUIPMENT AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS AND/OR RECOMMENDATIONS.
- CONTRACTOR SHALL AT ALL TIMES DURING THE COURSE OF THE CONTRACT KEEP THE ADJOINING PREMISES, INCLUDING STREETS AND OTHER AREAS ASSIGNED TO, OR USED BY THE CONTRACTOR, FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS OR THEIR WORK.
- CONTRACTOR SHALL ASSIST WITH DELIVERY AND STORAGE OF OWNER SUPPLIED ITEMS, AND DISPOSE OF ANY RESULTING TRASH.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL TRADES PRIOR TO INSTALLATION, AND SAMPLES OF ALL MATERIAL AND COLOR/ FINISHES FOR ARCHITECT'S APPROVAL. CONTRACTOR SHALL PROVIDE TIMELY AND COMPLETE DATA ON ANY DEVIATION/ SUBSTITUTION FROM CONTRACT DOCUMENTS
- CONTRACTOR TO VERIFY ALL FIXTURE COUNTS, AS APPLICABLE TO THEIR CONTRACT, WITH OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLOSEOUT, PRIOR TO FINAL PAYMENT, INCORPORATING ALL STANDARD GUARANTEES AND WARRANTIES AND ORIGINALS OF ALL APPLICABLE CERTIFICATES OF TESTING, INSPECTION, TEMPORARY FINAL CERTIFICATE OF OCCUPANCY. COORDINATE WITH OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR A THOROUGH, PROFESSIONAL CLEANING OF THE ENTIRE FACILITY PRIOR TO OWNER TAKEOVER DATE. ALL EXPOSED HORIZONTAL AND VERTICAL SURFACES INCLUDING, BUT NOT LIMITED TO THE FOLLOWING MUST BE WIPE CLEAN AND FREE OF DUST: WALLS, EXPOSED STRUCTURAL MEMBERS, STAIRS AND RAILINGS, CABINETRY. ALL FLOORS MUST BE MOPPED CLEAN.
- CONTRACTOR TO PROVIDE 3 COPIES OF AS-BUILT INFORMATION, OPERATION AND MAINTENANCE MANUALS, INCLUDING ALL PRODUCT GUARANTEES AND WARRANTIES.

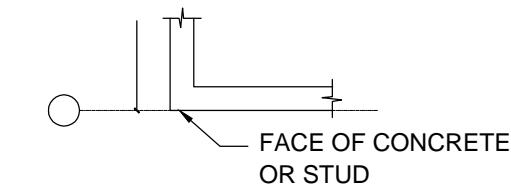
ABBREVIATIONS

A.B.	ANCHOR BOLT	F	FAHRENHEIT	P	PANTRY
A/C	AIR CONDITIONING	F.B.O.	FURNISHED BY OTHERS	PEN	PENETRATION
ABV	ABOVE	F.E.	FIRE EXTINGUISHER	PERIM	PERIMETER
ACOUS	ACOUSTICAL	F.O.C.	FACE OF CONCRETE	PKG	PARKING
ADD	ADDENDUM(S)	F.O.F.	FACE OF FINISH	PL	PLATE, PROPERTY LINE
ADD'L	ADDITIONAL	F.O.M.	FACE OF MASONRY	PLAS	PLASTER, PLASTIC
ADH	ADHERE(D), ADHESIVE	F.O.S.	FACE OF STUD	PLYWD	POUNDS PER LINEAR FOOT
ADJ	ADJUST(ABLE), ADJACENT	F.O.T.	FACE OF TREAD	PLYWOOD	PLYWOOD
AFF	ABOVE FINISH FLOOR	FAST	FASTEN(ER)	PNL	PANEL
ALT	ALTERNATE(S)	F.D.	FLOOR DRAIN	PM	PRESSED METAL
ALUM	ALUMINUM	FIN	FINISHED(D)	PRCST	PRECAST
AL.TH.	ALUMINUM THRESHOLD	F.F.	FINISHED FLOOR	PREFAB	PREFABRICATED
ANOD	ANODIZED	FLASH	FLASHING	PSF	POUNDS PER SQUARE FOOT
APPROX	APPROXIMATE	FLR	FLOOR	PSI	POUNDS PER SQUARE INCH
ARCHT	ARCHITECT	FLUOR	FLUORESCENT	P.T.	PRESSURE TREATED
ASPH	ASPHALT(IC)	FPRF	FIREPROOF	PTN	PARTITION
B.O.	BOTTOM OF	FRM(G)	FRAME(D), FRAMING	PVMT	PAVEMENT
BD	BOARD	FT	FOOT, FEET	QT	QUARRY TILE
BIT	BITUMINOUS	FTG	FOOTING	QTY	QUANTITY
BLDG	BUILDING	FUR	FURRED, FURRING	R	RISER(S)
BLK	BLOCK	G	GAS	RA	RETURN AIR
BLKG	BLOCKING	G.C.	GENERAL CONTRACT(OR)	RAD	RADIUS
BLW	BELOW	GI	GALVANIZED IRON	RBT	RABBIT(ED)
BM	BEAM, BENCHMARK	GA	GAUGE	RCP	REINFORCED CONCRETE PIPE
BOT	BOTTOM	GALV	GALVANIZED	RD	ROOF DRAIN
BR	BEDROOM	GB	GRAB BAR(S)	REF	REFER(ENCE)
BRG	BEARING	GL	GLASS, GLAZING	REFL	REFLECTED
BRK	BRICK	GRD	GRADE	REFR	REFRIGERATOR
BRKT	BRACKET	GSKT	GASKET	REG	REGISTER
BRZ	BRONZE	GVL	GRAVEL	REINF	REINFORCED
BSMT	BASEMENT	GWB	GYPSUM WALLBOARD	REQ	REQUIRED
BTN	BATTEN	GYP	GYPSUM	RESIL	RESILIENT
BTWN	BETWEEN	H	HIGH, HEIGHT	REV	REVISED, REVISION
BUR	BUILT-UP ROOFING	HB	HOSE BIB	RFG	ROOFING
BVL	BEVEL(ED)	HC	HOLLOW CORE	RH	RIGHT HAND
CB	CATCH BASIN, CASING BEAD	HD	HEAVY DUTY	RL	RAILING
CI	CAST IRON	HDCP	HANDICAPPED	RM	ROOM
CAB	CABINET	HDR	HEADER	R.O.	ROUGH OPENING
CEM	CEMENT(TIOUS)	HDRL	HANDRAIL	RWL	RAIN WATER LEADER
CER	CERAMIC	HDWD	HARDWOOD	SC	SOLID CORE
CHNL	CHANNEL	HDWR	HARDWARE	SCHED	SCHEDULE
CL	CLOSET, CENTER LINE, COLUMN LINE	HM	HOLLOW METAL	SF	SQUARE FEET
CLG	CEILING	HP	HEAT PUMP	SFG	SAFETY GLASS
CLR	CLEAR	HR	HOUR	SHWR	SHOWER
CMU	CONCRETE MASONRY UNIT(S)	HVAC	HEATING, VENTILATING &	SHT	SHEET(S)
CNTR	COUNTER		AIR CONDITIONING	SHTG	SHEATHING
CO	CLEAN-OUT	HW	AIR CONDITIONING	SIM	SIMILAR
COL	COLUMN	HWH	HOT WATER	SINT	SEALANT
COMP	COMPRESS(ED), (ION)	HYD	HOT WATER HEATER	SPEC	SPECIFICATION(S)
CONC	CONCRETE	ID	HYDRANT	S.P.	STAND PIPE
CONST	CONSTRUCT(ION)	IN	INSIDE DIAMETER	SQ	SQUARE
CONT	CONTINUOUS	INCL	INCLUDE(D), INCLUDING	SECT	SECTION
CONTR	CONTRACT(OR)	INSUL	INSULATED(D), INSULATING	SSTL	STAINLESS STEEL
COOR	COORDINATE	INT	INTERIOR	STD	STANDARD
CORR	CORRIDOR, CORRUGATED	INTERMED	INTERMEDIATE	STL	STEEL
CPR	COPPER	INV	INVERT	STOR	STORAGE
CPT	CARPET(ED)	ISO	ISOMETRIC	STRUCT	STRUCTURAL
CRS	COURSE(S)	JST	JOIST(S)	SUSP	SUSPENDED
CSMT	CASEMENT	JT	JOINT(S)	SW	SWITCH
CTSK	COUNTERSINK	KIT	KITCHEN	SYM	SYMMETRICAL
CTR	CENTER	L	LONG, LENGTH	T	TREAD
CW	COLD WATER	LAM	LAMINATE(D)	TC	TRASH COMPACTOR
D	DEEP, DEPTH, DRYER	LAV	LAVATORY	T&G	TONGUE & GROOVE
DBL	DOUBLE	LBL	LABEL	TB	TOWEL BAR
DEMO	DEMOLISH, DEMOLITION	LF	LINEAR FOOT	TBD	TO BE DETERMINED
DEP	DEPRESSED, DEPRESSION	IH	LEFT HAND	T.O.	TOP OF
DF	DOUG, FIR, DRINKING FOUNTAIN	IL	LIVE LOAD	T.O.C.	TOP OF CURB
DH	DOUBLE HUNG	LR	LIVING ROOM	T.O.CONC.	TOP OF CONCRETE
DIA	DIAMETER	IT	LIGHT	T.O.P.	TOP OF PLATE
DIAG	DIAGONAL(Y)	ITL	LINTEL	T.O.S.	TOP OF STEEL
DIM	DIMENSION(S)	LVR	LOUVER	TEL	TELEPHONE
DISP	DISPOSAL, DISPENSER	M.O.	MASONRY OPENING	TEMP	TEMPERED, TEMPORARY
DL	DEAD LOAD	MAS	MASONRY	TERM	TERMINATE, TERMINATION
DN	DOWN	MAX	MAXIMUM	TH	TOWNHOUSE
DMPR	DAMPER	MBR	MEMBER	THK	THICK
DR	DOOR	M.C.	MEDICINE CABINET	TPD	TOILET PAPER DISPENSER
DRN	DRAIN	MECH	MECHANICAL(LY)	THRES	THRESHOLD
DTL	DETAIL(S)	MED	MEDIUM, MEDICINE	TRANSF	TRANSFORMER
DUMP	DUMPSTER	MEMB	MEMBRANE	TYP	TYPICAL
DW	DISHWASHER	MFR	MANUFACTURER	UNLESS OTHERWISE NOTED	
DWG	DRAWING(S)	MH	MANHOLE	VB	VAPOR BARRIER, VINYL BASE
DWR	DRAWER	MIN	MINIMUM	VCT	VINYL COMPOSITION TILE
E.B.	EXPANSION BOLT	MIRR	MIRROR	VERT	VERTICAL
EA	EACH	MLD	MOLDING	VEST	VESTIBULE
ELEV	ELEVATION (HEIGHT)	MLWK	MILLWORK	V.I.F.	VERIFY IN FIELD
ELEC	ELECTRICAL	MIR	MOISTURE RESISTANT	VNR	VEENEER
EL.PAN.	ELECTRICAL PANEL	M.T.H.	MARBLE THRESHOLD	VP	VENT PIPE
ELIM	ELIMINATE	MTL	METAL	W	WIDTH, WATER, WASHER
ELV	ELEVATOR	MUL	MULLION	W/O	WITHOUT
EMER	EMERGENCY	N	NORTH	WC	WATER CLOSET
ENCL	ENCLOSE, ENCLOSURE	N.I.C.	NOT IN CONTRACT	WD	WOOD
E.O.	EDGE OF	N.T.S.	NOT TO SCALE	WT	WINDOW
EQ	EQUAL	NOM	NOMINAL	WDO	WOOD THRESHOLD
EQUIP	EQUIPMENT	NON-COMB	NON-COMBUSTIBLE	WH	WATER HEATER
EXH	EXHAUST	O.C.	ON CENTER	WP	WATERPROOF
EXIST	EXISTING	OD	OUTSIDE DIMENSION	WWM	WELD WIRE MESH
EXT	EXTERIOR	O.F.O.S.	OUTSIDE FACE OF STUDS	OH	
		OPNG	OVERHEAD	OPP	
		OPNG	OPENING	OPP	
		OPP	OPPOSITE	OPP	

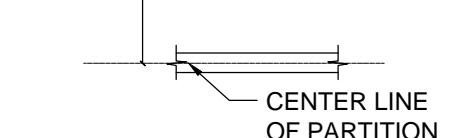
KEY SYMBOLS



TYPICAL EXTERIOR DIMENSIONS



TYPICAL INTERIOR DIMENSIONS



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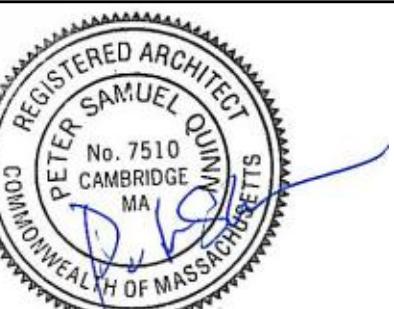
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PROJECT
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DRAWN BY EC REVIEWED BY PQ
SHEET

G1.0



SEAL

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DRAWING TITLE

ARCHITECTURAL SITE PLAN & LANDSCAPING PLAN

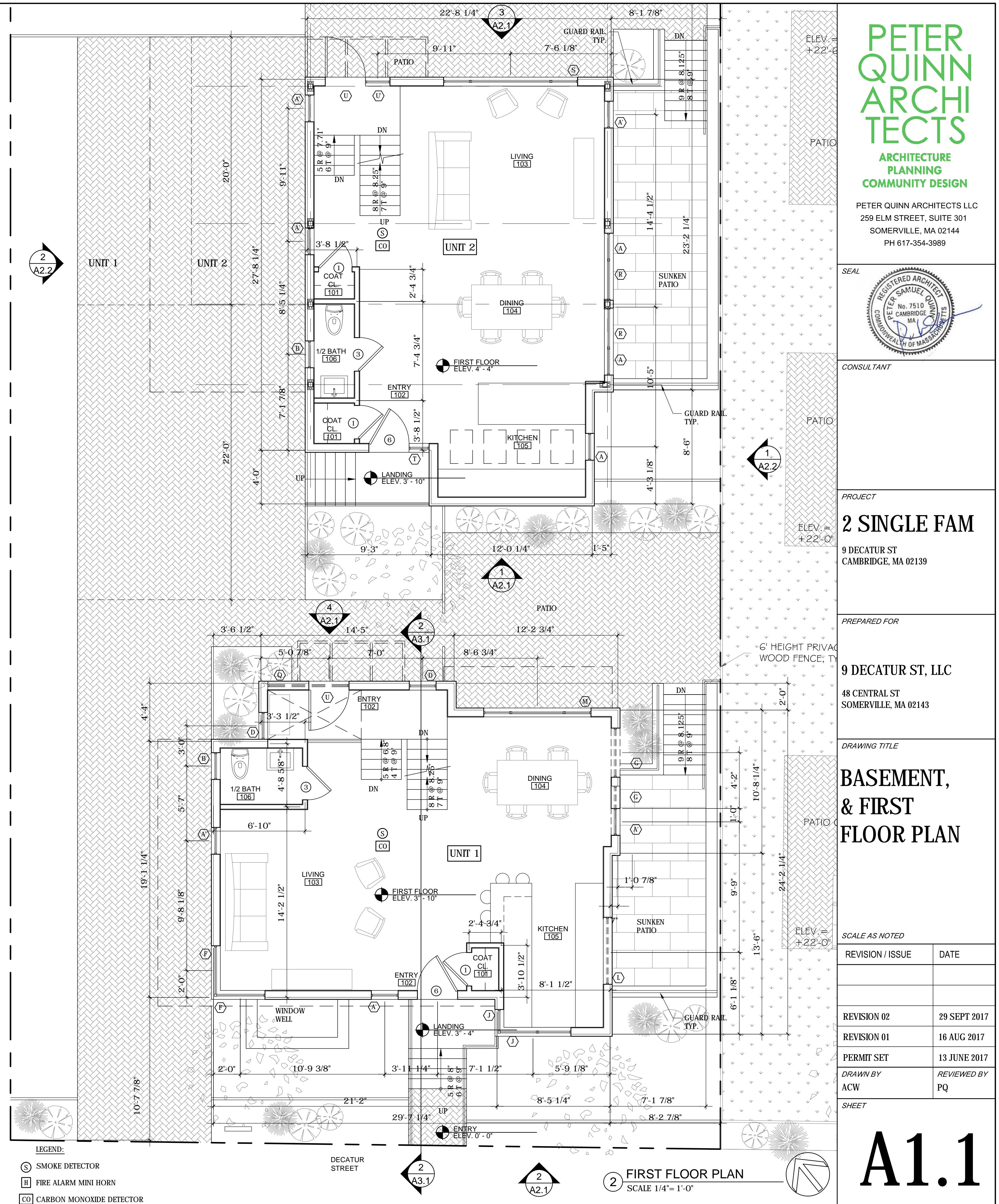
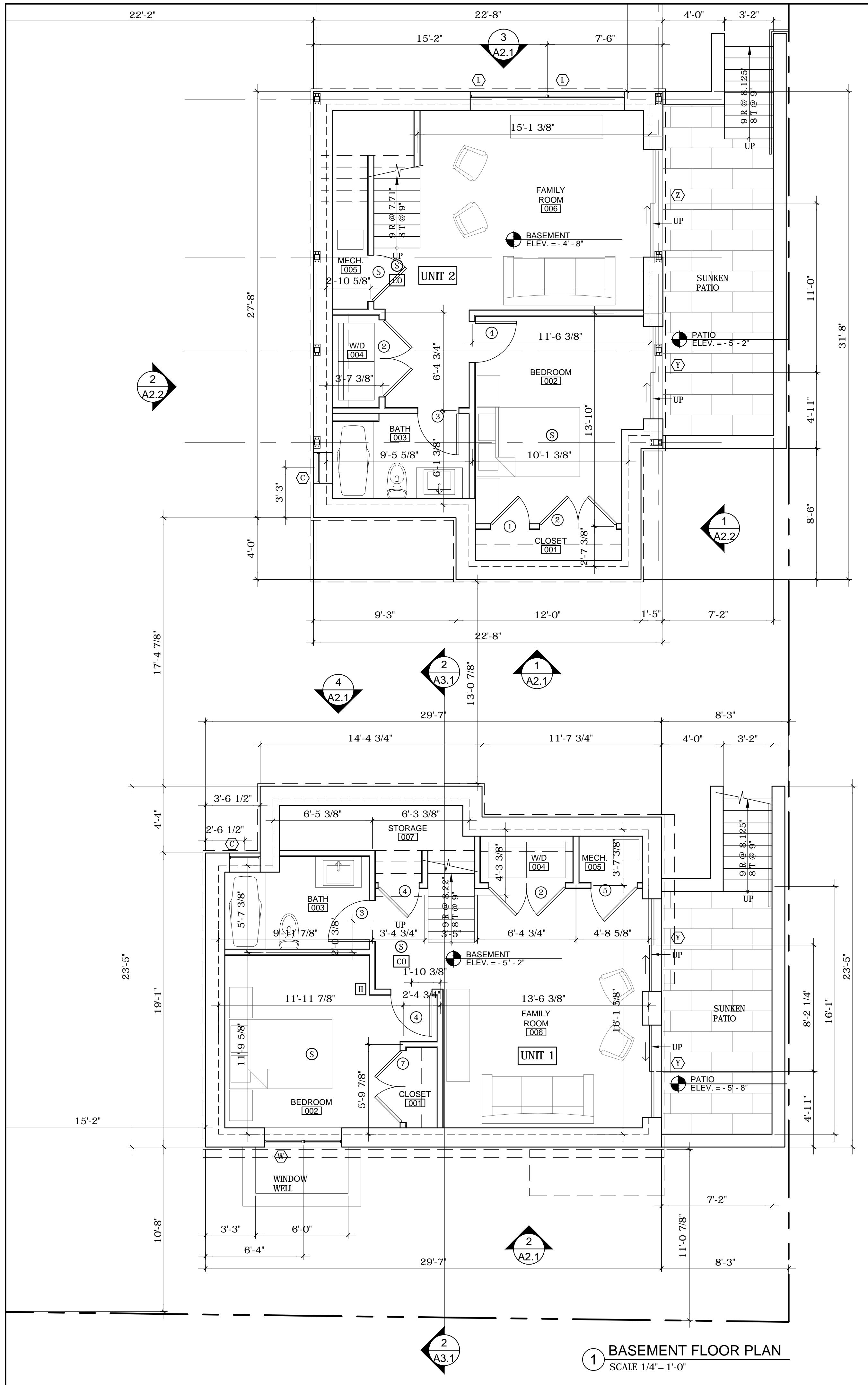
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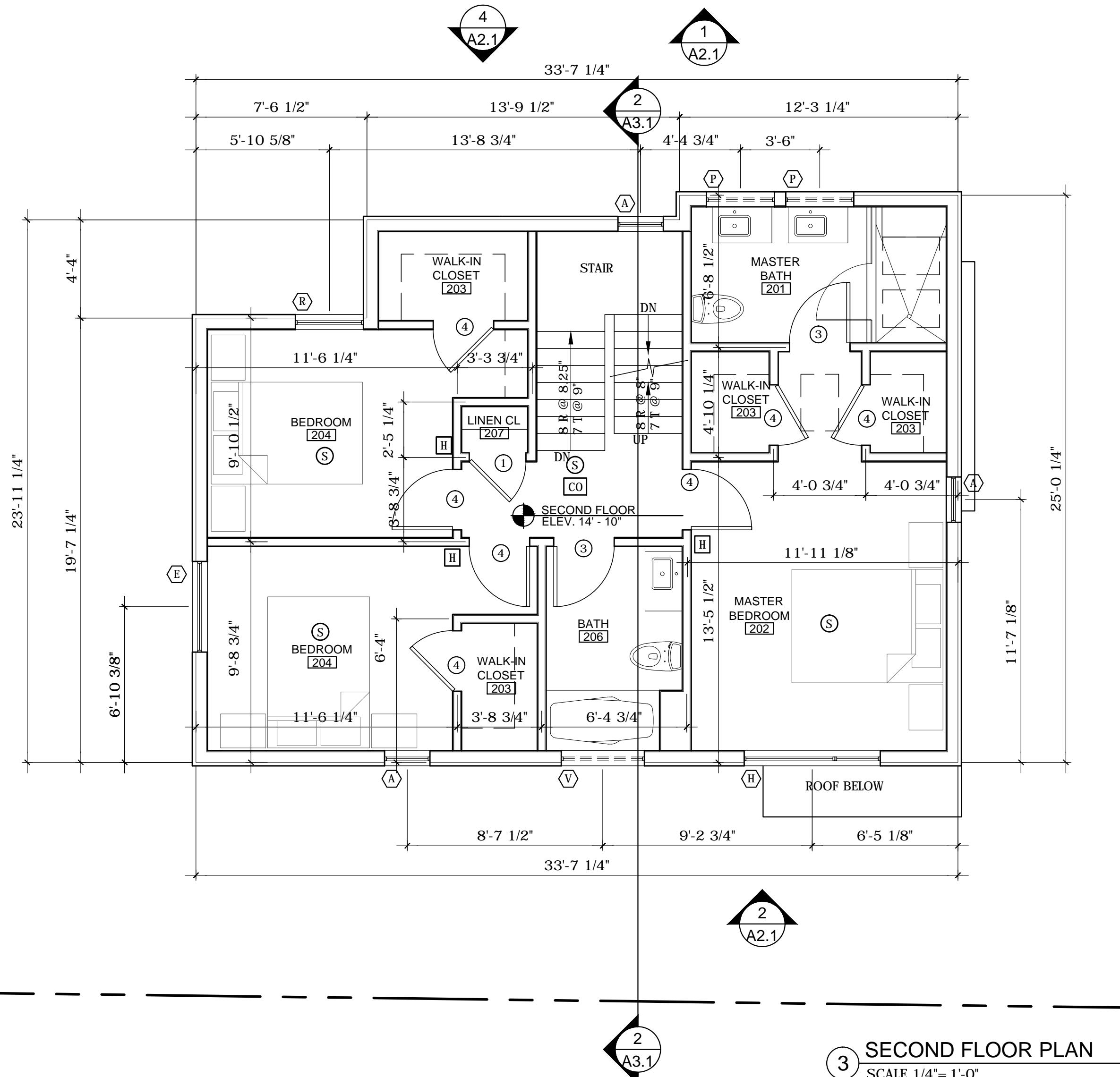
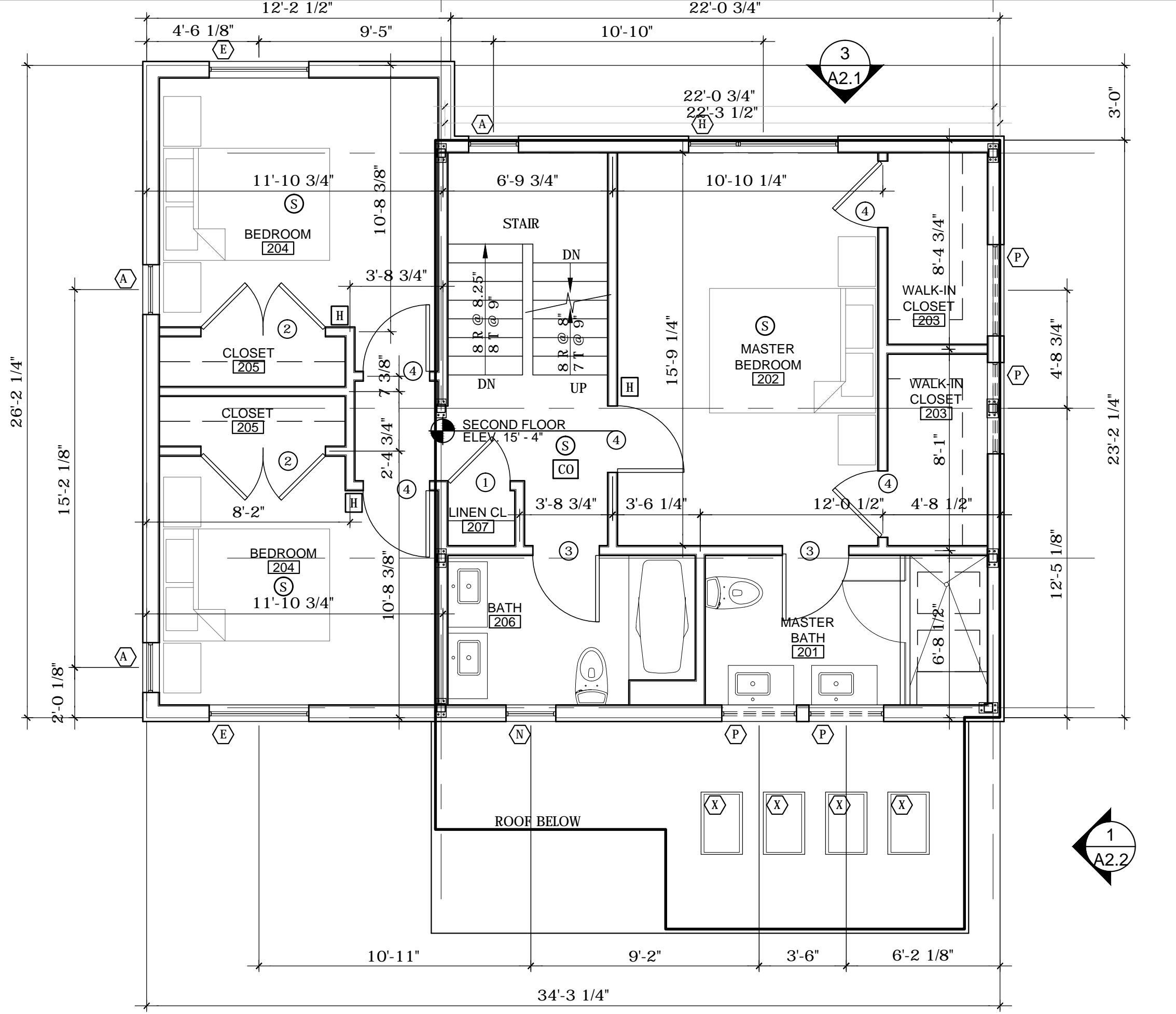
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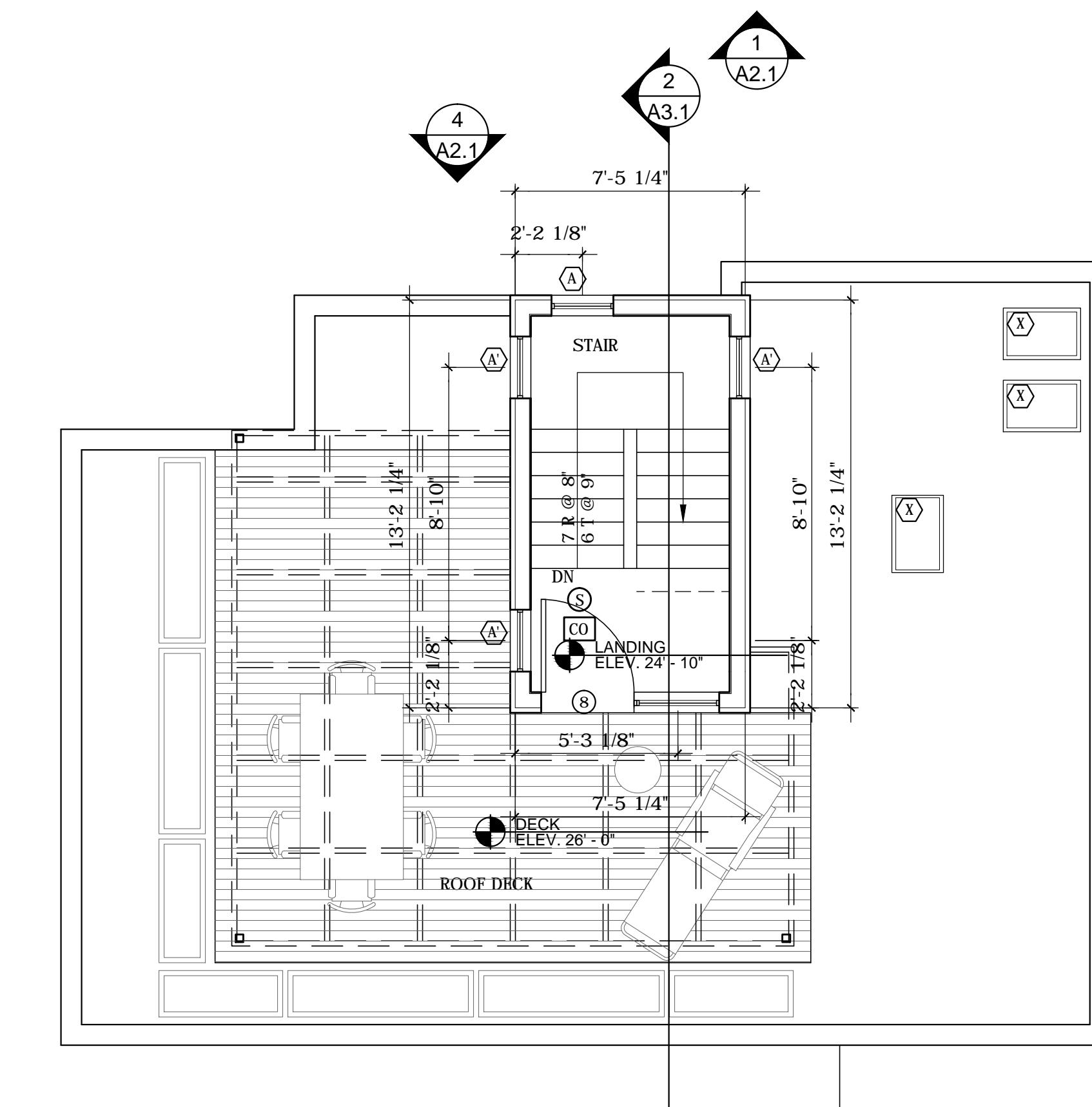
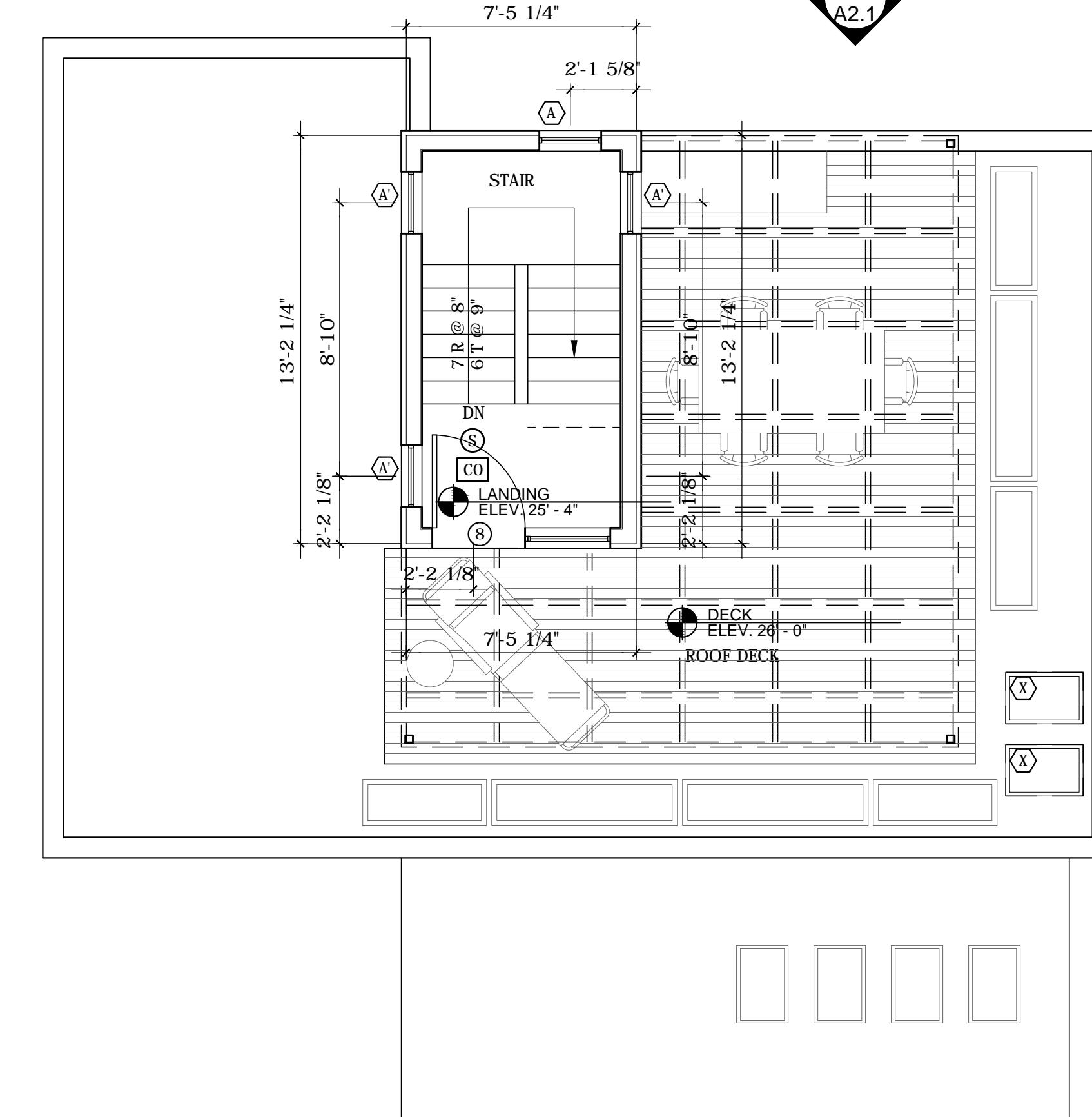
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3 SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



SECOND FLOOR PLAN

3 SCALE 1/4" = 1'-0"

4 ROOF D
A3.1

SECOND FLOOR PLAN & ROOF DECK

SCA/FAS NOTED

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PERMIT SET	13 JUNE 201
DRAWN BY ACW	REVIEWED BY PQ
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SHEET 1

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A 10

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Al. 6

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A 10

八

A 1.6

— — — — —

PETER QUINN ARCHITECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

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CONSULTANT

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DRAWING TITLE
REAR & FRONT ELEVATIONS

SCALE AS NOTED

REVISION / ISSUE	DATE

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REVISION 01 16 AUG 2017

PERMIT SET 13 JUNE 2017

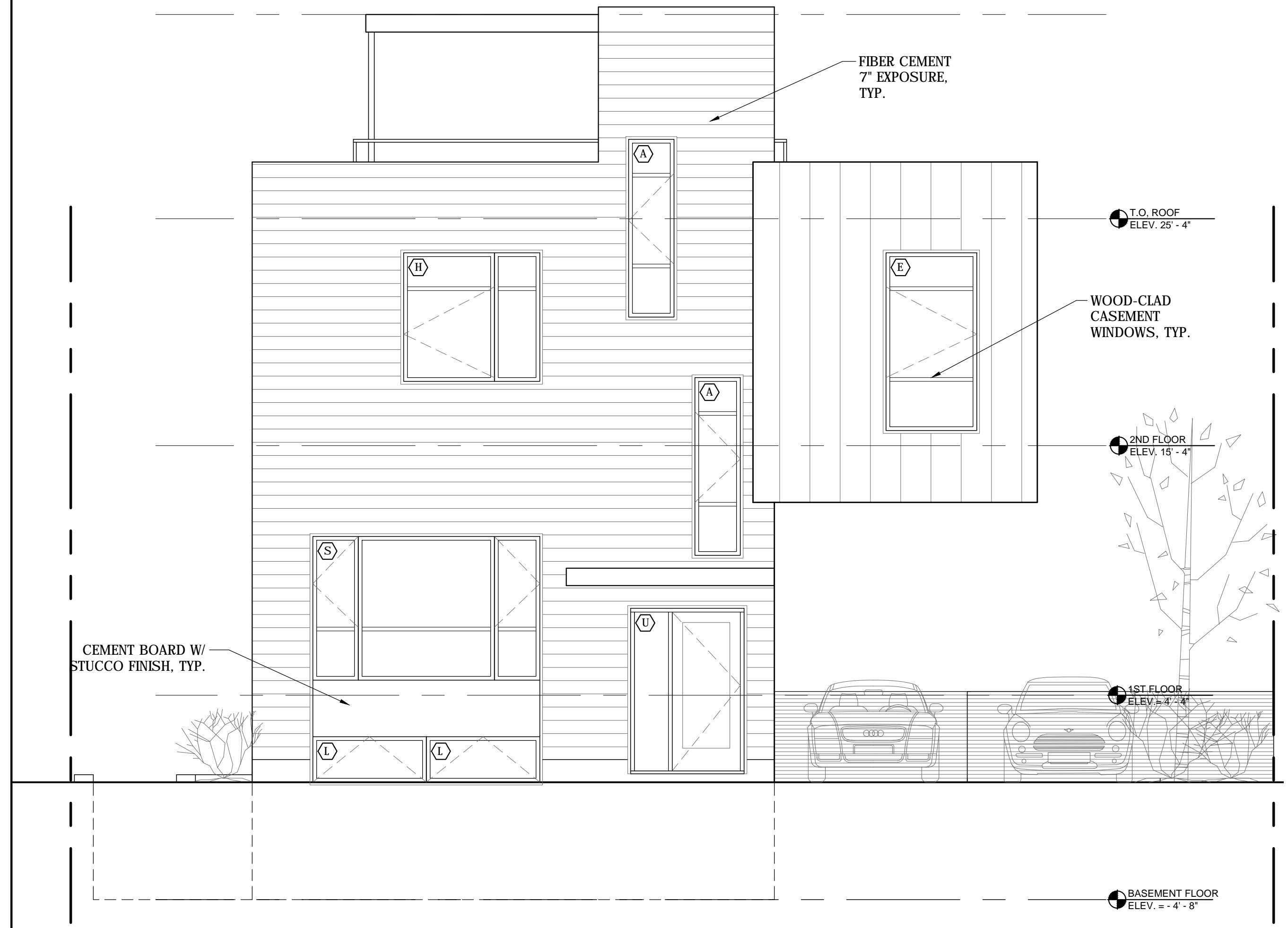
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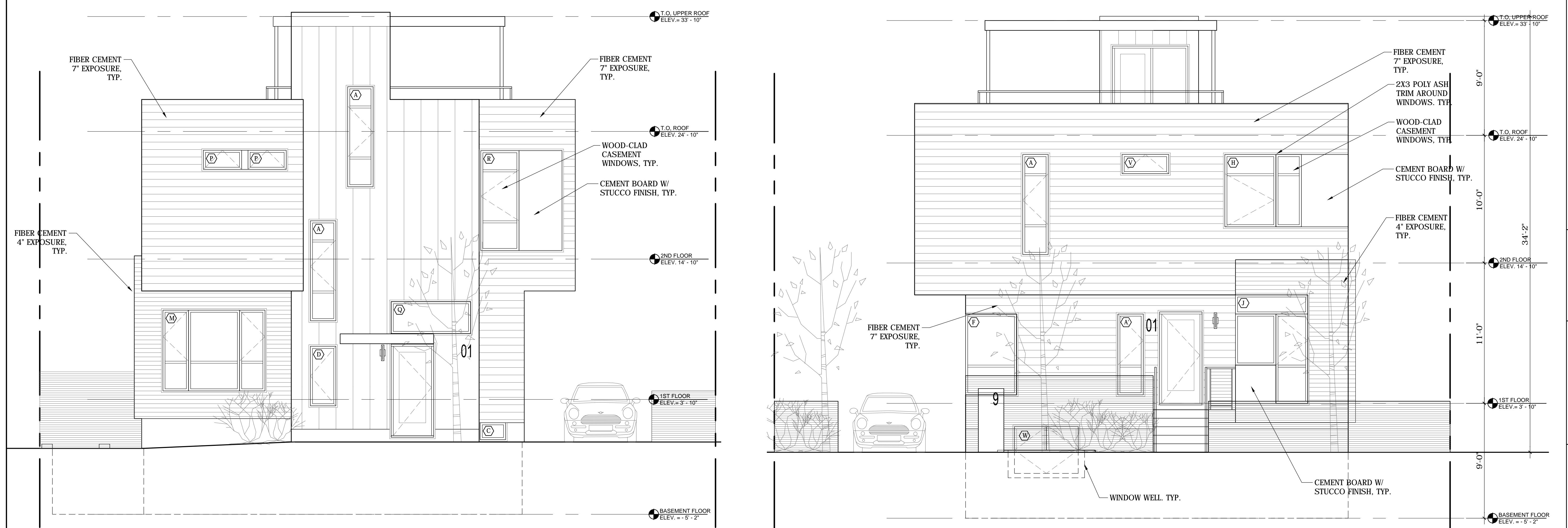
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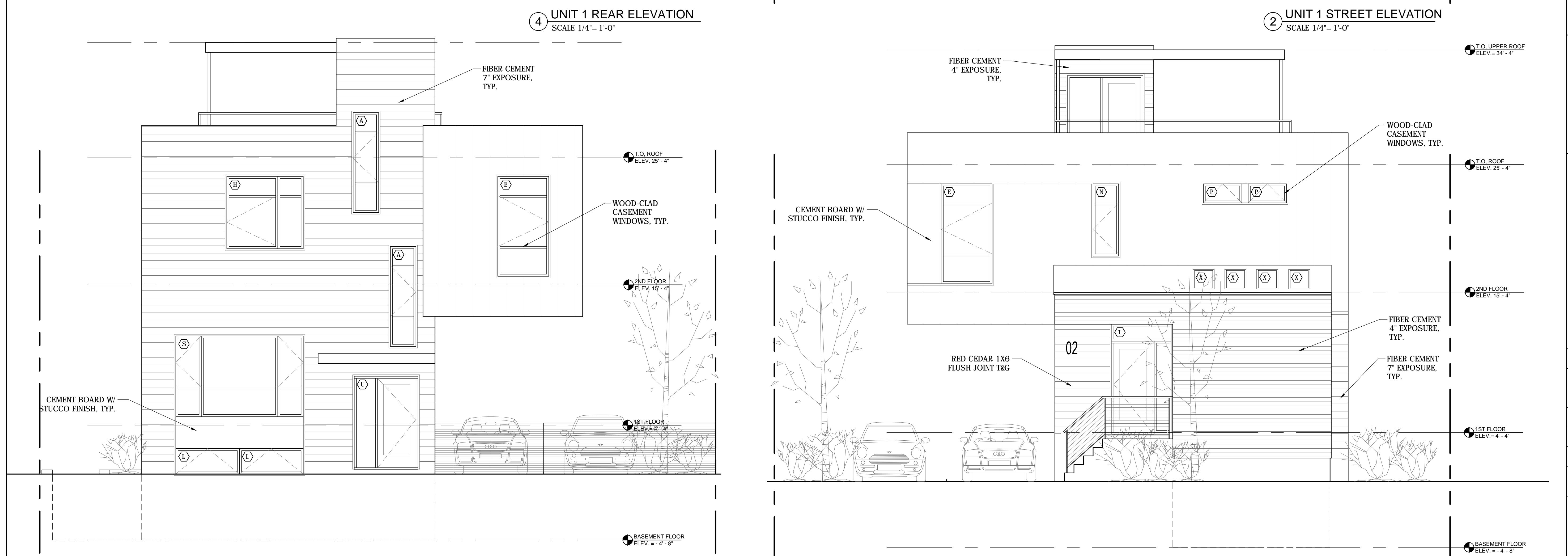
④ UNIT 1 REAR ELEVATION
SCALE 1/4" = 1'-0"



③ UNIT 2 REAR ELEVATION
SCALE 1/4" = 1'-0"



② UNIT 1 STREET ELEVATION
SCALE 1/4" = 1'-0"



① UNIT 2 FRONT ELEVATION
SCALE 1/4" = 1'-0"

PETER QUINN ARCHITECTS LLC
259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989



CONSULTANT

PROJECT
2 SINGLE FAM
9 DECATUR ST
CAMBRIDGE, MA 02139

PREPARED FOR
9 DECATUR ST, LLC
48 CENTRAL ST
SOMERVILLE, MA 02143

DRAWING TITLE
**SIDE
ELEVATIONS**

SCALE AS NOTED

REVISION / ISSUE	DATE

REVISION 02 29 SEPT 2017

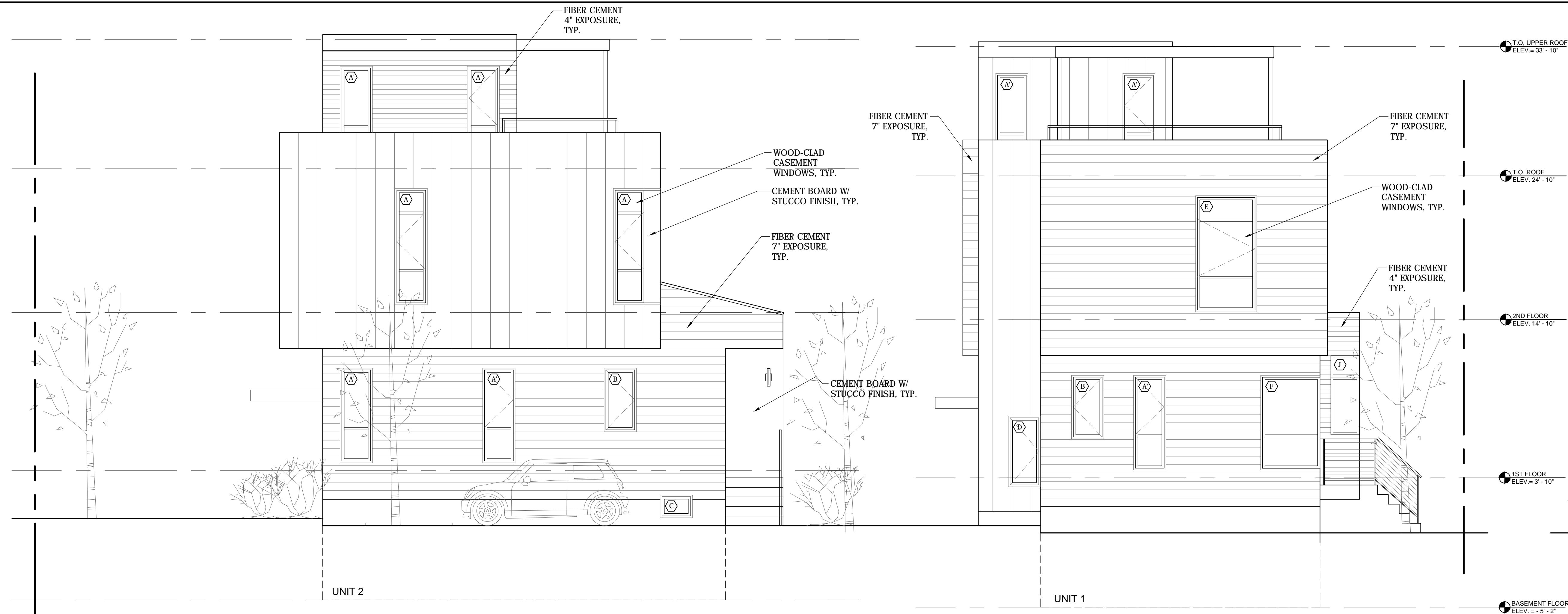
REVISION 01 16 AUG 2017

PERMIT SET 13 JUNE 2017

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SHEET

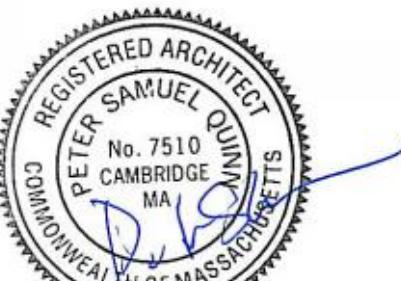
A2.2



(2) SIDE ELEVATION (DRIVEWAY)
SCALE 1/4"= 1'-0"



(1) SIDE ELEVATION (ABUTTING 125 BROOKLINE)
SCALE 1/4"= 1'-0"



CONSULTANT

PROJECT
2 SINGLE FAM

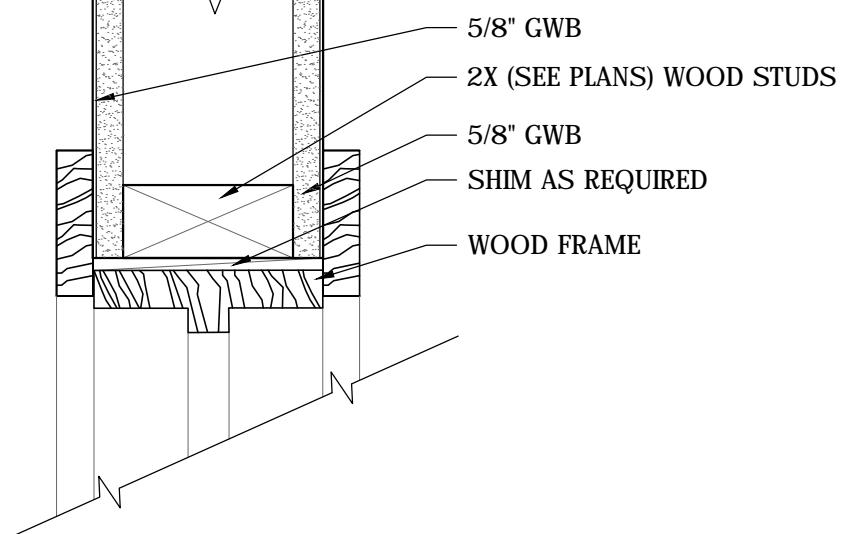
9 DECATUR ST
CAMBRIDGE, MA 02139

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9 DECATUR ST, LLC
48 CENTRAL ST
SOMERVILLE, MA 02143

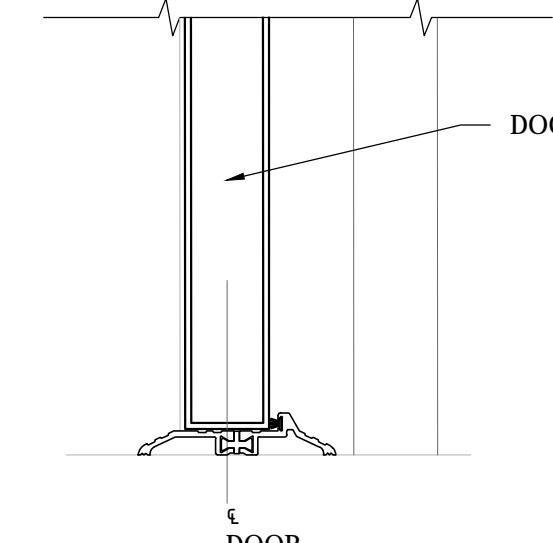
DRAWING TITLE
DOOR, FINISH SCHEDULE & DETAILS

SCALE AS NOTED	
REVISION / ISSUE	DATE
REVISION 02	29 SEPT 2017
REVISION 01	16 AUG 2017
PERMIT SET	13 JUNE 2017
DRAWN BY EC	REVIEWED BY PQ
SHEET	

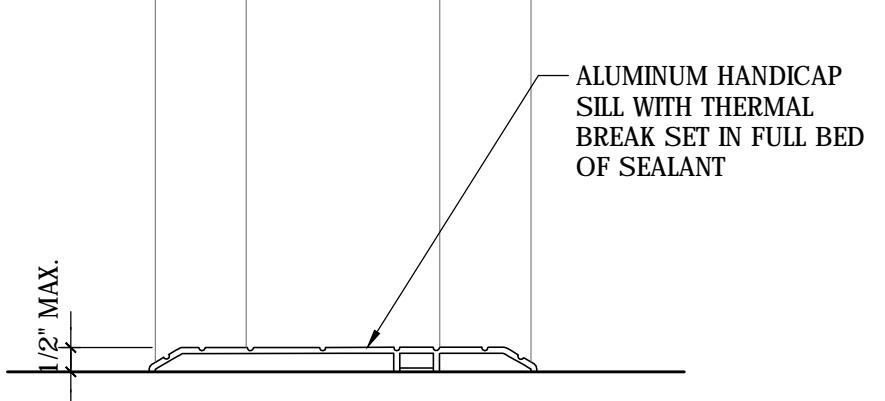
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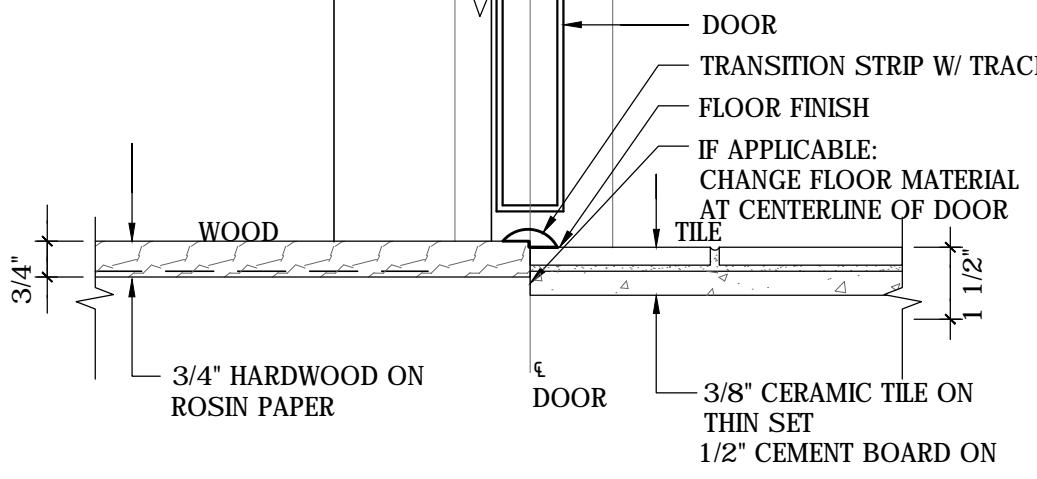
TYPICAL UNIT
HEAD/JAMB DETAIL
④
SCALE 3" = 1'-0"



③ EXTERIOR SILL
SCALE 3" = 1'-0"



② INTERIOR/EXTERIOR SILL
SCALE 3" = 1'-0"



① HARDWOOD TO
TILE FLOOR TRANSITION
SCALE 3" = 1'-0"

DOOR SCHEDULE

AREA/ROOM	DOOR MARK	NOTES	OPENING SIZE	INTERIOR (I) / EXTERIOR (E)	TYPE	CONSTRUCTION	FACING & FINISH	GLASS	RATING	FRAME	THRESHOLD	HEAD/JAMB DETAIL	REMARKS	
													2	3
CLOSET	1	2'-6"X6'-8"	INT.	A	HC	P				1	4	JELD-WEN MADISON FLAT PANEL CRAFTSMAN STICKING		
W/D & CLOSET	2	(2) 2'-6"X6'-8"	INT.	B	HC	P				2	4	JELD-WEN MADISON FLAT PANEL CRAFTSMAN STICKING		
BATHROOM	3	3'-0"X6'-8"	INT.	A	SC	P				1	1	JELD-WEN MADISON FLAT PANEL CRAFTSMAN STICKING		
BEDROOM/W-IN-CL	4	3'-0"X6'-8"	INT.	A	SC	P				1	4	JELD-WEN MADISON FLAT PANEL CRAFTSMAN STICKING		
MECHANICAL RM	5	3'-0"X6'-8"	INT.	C	HM	P				1	3	JELD-WEN MADISON FLAT PANEL CRAFTSMAN STICKING		
CLOSET	7	(2) 2'-4"X6'-8"	INT.	B	HC	P				2	4	JELD-WEN MADISON FLAT PANEL CRAFTSMAN STICKING		
ENTRY DOOR	6	3'-0"X7'-0"	EXT.	D	SC	S	TG			2		ANDERSEN, INSULATED GLAZING, SELECTED BY OWNER		

TYPICAL DOOR NOTES

- 1) G.C. TO CONFIRM ALL DOOR SWINGS & SIZES W/ OWNER PRIOR TO ORDERING.
- 2) G.C. IS RESPONSIBLE TO VERIFY DOOR THICKNESS W/ MANUFACTURER.
- 3) PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS.
- 4) ALL PROPOSED INTERIOR DOORS TO USE 2" FRAME. ALL INTERIOR DOORS TO BE JELDWEN MADISON FLAT PANEL, CRAFTSMAN STICKING STYLE, G.C. TO VERIFY W/ OWNER PRIOR TO ORDERING.
- 5) INDICATES IN MINUTES OF FIRE RATING.

DOOR CONSTRUCTION
HC = HOLLOW CORE
HM = HOLLOW METAL
SC = SOLID CORE
AL = ALUMINUM
WC = WOOD CLAD

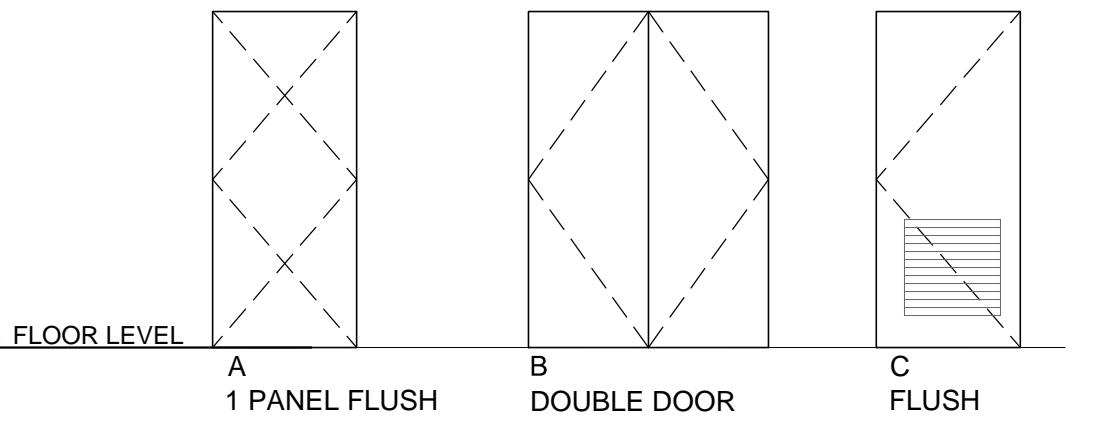
FACING FINISH
P = PAINTED
FF = FACTORY FINISH
S= STAINED

GLASS
TG = TEMPERED & INSULATED GLASS
FG = FIRE RATED GLASS

THRESHOLD TYPE
M. TH = METAL THRESHOLD
W. TH = WOOD THRESHOLD
AL. TH = ALUMINUM THRESHOLD

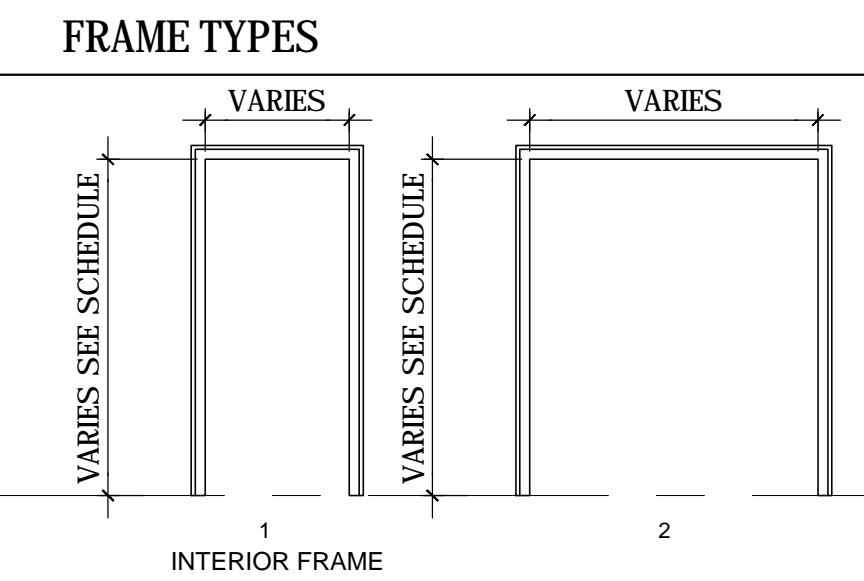
ALL EXTERIOR DOORS TO HAVE ALUMINUM THRESHOLD.
ALL BATHROOMS TO HAVE MARBLE THRESHOLD.
ALL UNIT ENTRY DOORS TO HAVE WOOD THRESHOLD.

TYPICAL DOOR TYPES



ROOM FINISH SCHEDULE

ROOM NOS.	ROOM NAME	FLOOR		BASE		WALL		CEILING		ADDITIONAL REMARKS	
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH		
001	CLOSET	PORCELAIN	N/A	WOOD	PAINT	GWB	PAINT	GWB	PAINT		
002	BEDROOM	PORCELAIN	N/A	WOOD	PAINT	GWB	PAINT	GWB	PAINT		
003	BATHROOM	PORCELAIN	N/A	PORC. TILE	N/A	MR GWB	PAINT	MR GWB	PAINT	MARBLE THRESHOLD, FULL HEIGHT TILE WALL AT TUB/SHOWER	
004	LAUNDRY	PORCELAIN	N/A	WOOD	PAINT	GWB	PAINT	GWB	PAINT		
005	MECH.	PORCELAIN	N/A	WOOD	PAINT	GWB	PAINT	GWB	PAINT		
006	FAMILY ROOM	PORCELAIN	N/A	WOOD	PAINT	GWB	PAINT	GWB	PAINT		
007	STORAGE	PORCELAIN	N/A	WOOD	PAINT	GWB	PAINT	GWB	PAINT		
101	COAT CLOSET	HARDWOOD	CLEAR	WOOD	PAINT	GWB	PAINT	GWB	PAINT		
102	ENTRY	HARDWOOD	CLEAR	WOOD	PAINT	GWB	PAINT	GWB	PAINT		
103	LIVING ROOM	HARDWOOD	CLEAR	WOOD	PAINT	GWB	PAINT	GWB	PAINT		
104	DINING ROOM	HARDWOOD	CLEAR	WOOD	PAINT	GWB	PAINT	GWB	PAINT		
105	KITCHEN	HARDWOOD	CLEAR	WOOD	PAINT	GWB	PAINT	GWB	PAINT		
106	1/2 BATH	HARDWOOD	CLEAR	WOOD	PAINT	MR GWB	PAINT	MR GWB	PAINT		
201	MASTER BATHROOM	PORC. TILE	N/A	PORC. TILE	N/A	MR GWB	PAINT	MR GWB	PAINT	MARBLE THRESHOLD, FULL HEIGHT TILE WALL AT TUB/SHOWER	
202	MASTER BEDROOM	HARDWOOD	CLEAR	WOOD	PAINT	GWB	PAINT	GWB	PAINT		
203	WALK IN CLOSET	HARDWOOD	CLEAR	WOOD	PAINT	GWB	PAINT	GWB	PAINT		
204	BEDROOM	HARDWOOD	CLEAR	WOOD	PAINT	GWB	PAINT	GWB	PAINT		
205	CLOSET	HARDWOOD	CLEAR	WOOD	PAINT	GWB	PAINT	GWB	PAINT		
206	BATHROOM	PORC. TILE	N/A	PORC. TILE	PAINT	MR GWB	PAINT	MR GWB	PAINT	MARBLE THRESHOLD, FULL HEIGHT TILE WALL AT TUB/SHOWER	
207	LINEN CLOSET	HARDWOOD	CLEAR	WOOD	PAINT	GWB	PAINT	GWB	PAINT		





CONSULTANT

PROJECT
2 SINGLE FAM

9 DECATUR ST
CAMBRIDGE, MA 02139

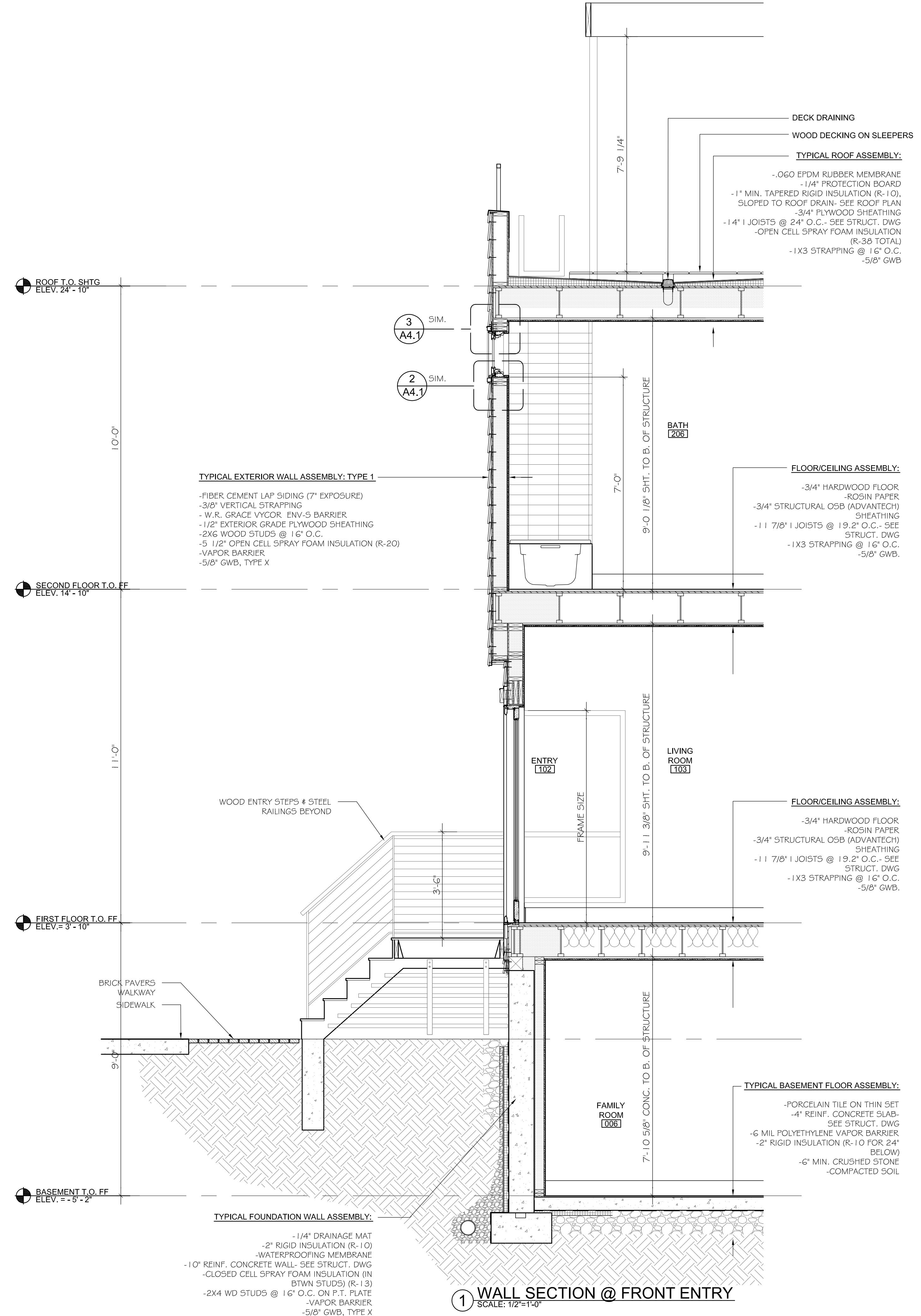
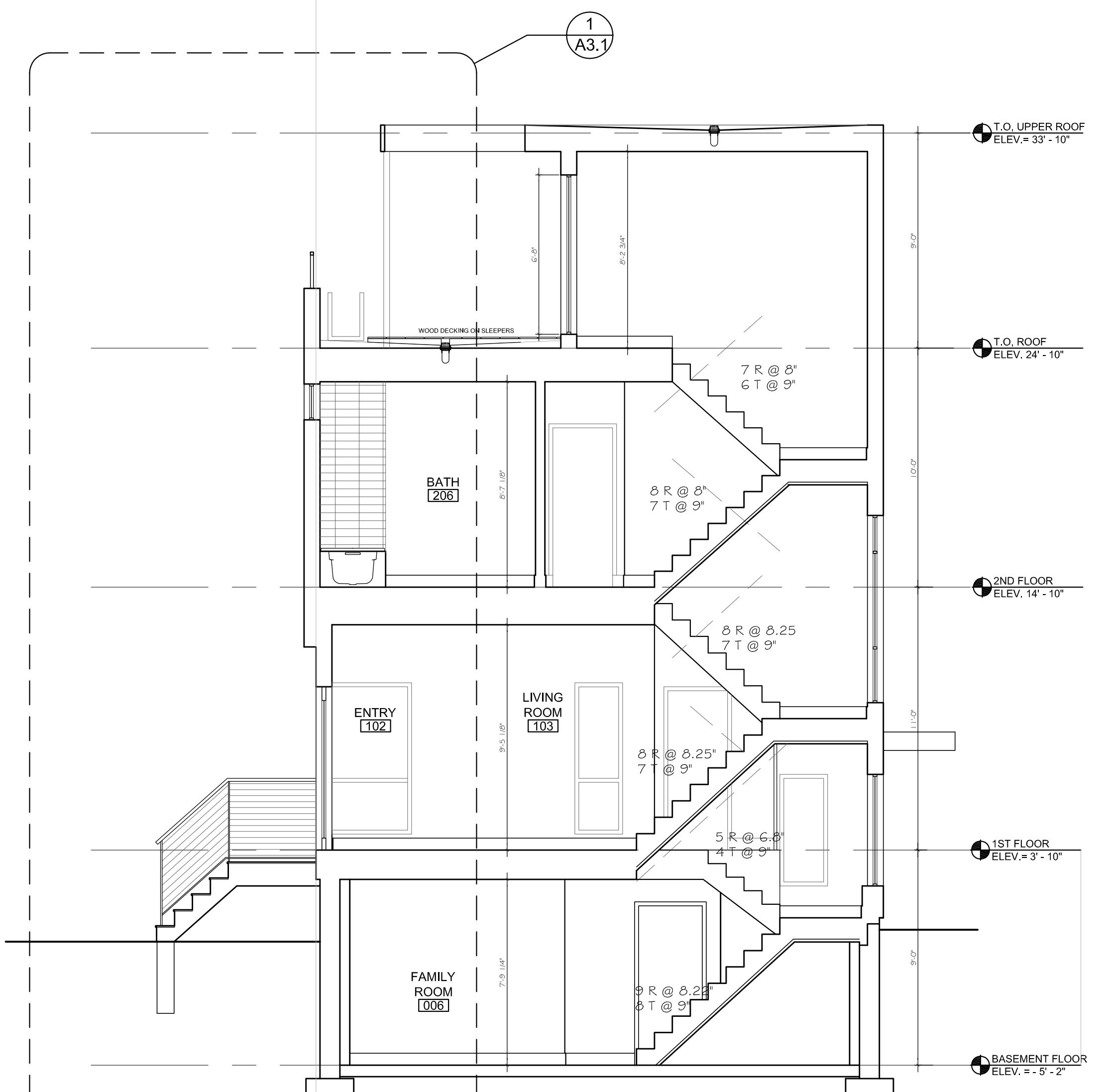
PREPARED FOR
9 DECATUR ST, LLC
48 CENTRAL ST
SOMERVILLE, MA 02143

DRAWING TITLE
BUILDING SECTION & WALL SECTION

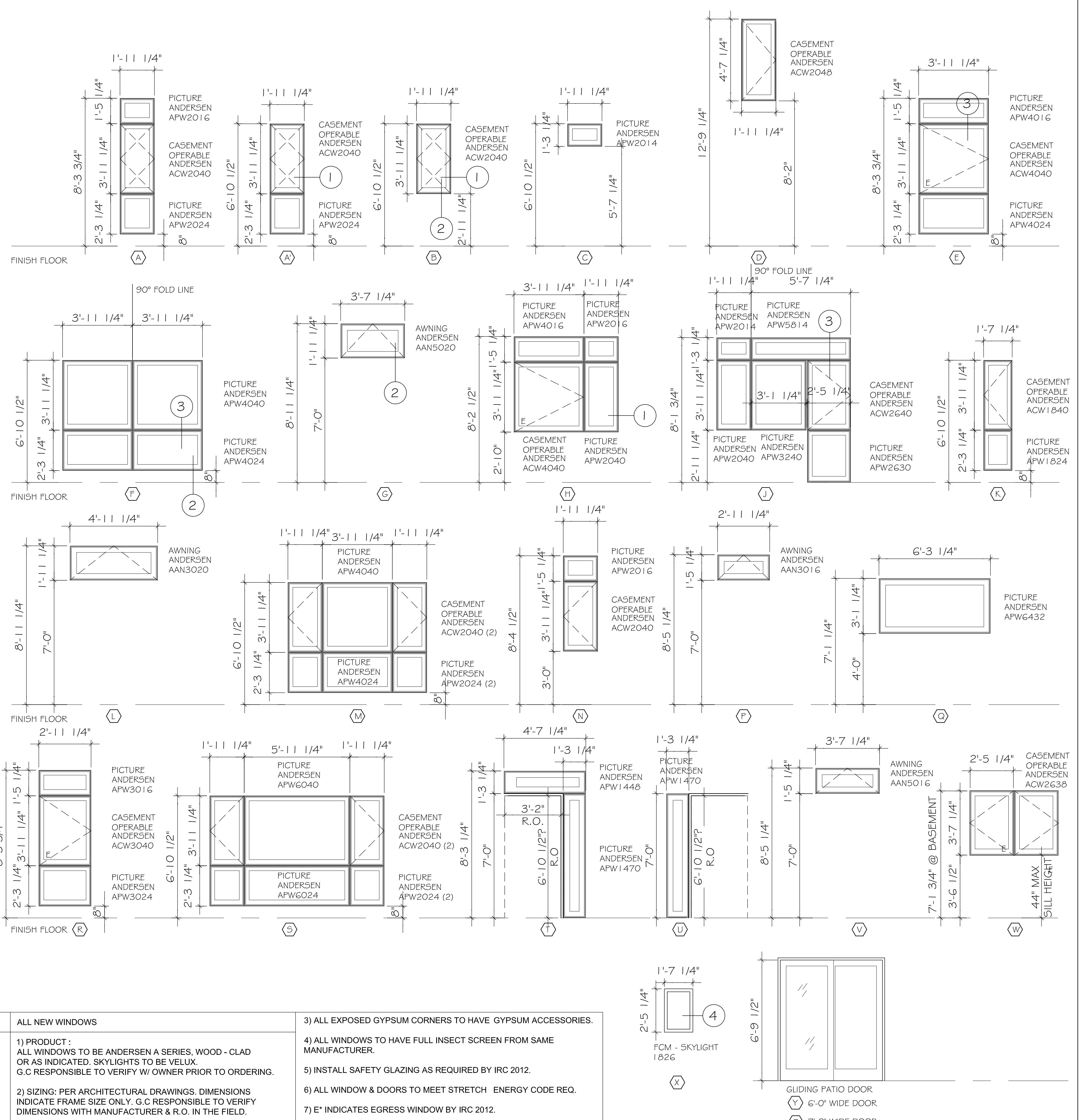
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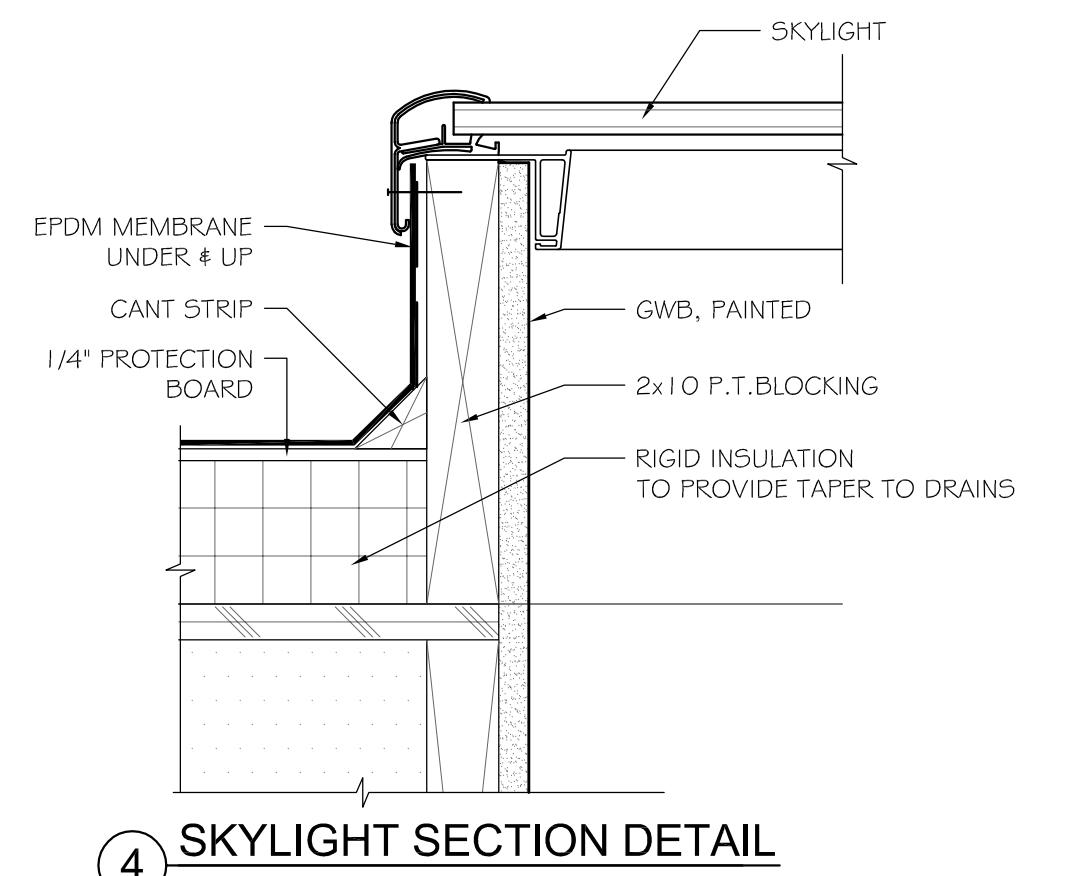
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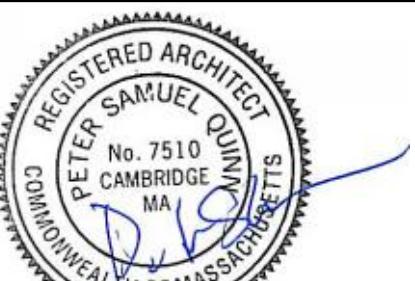
WINDOW NOTES & SCHEDULE



WINDOW DETAILS



④ SKYLIGHT SECTION DETAIL



ULTANT

PROJECT 2 SINGLE FAM

DECATUR ST
CAMBRIDGE, MA 02139

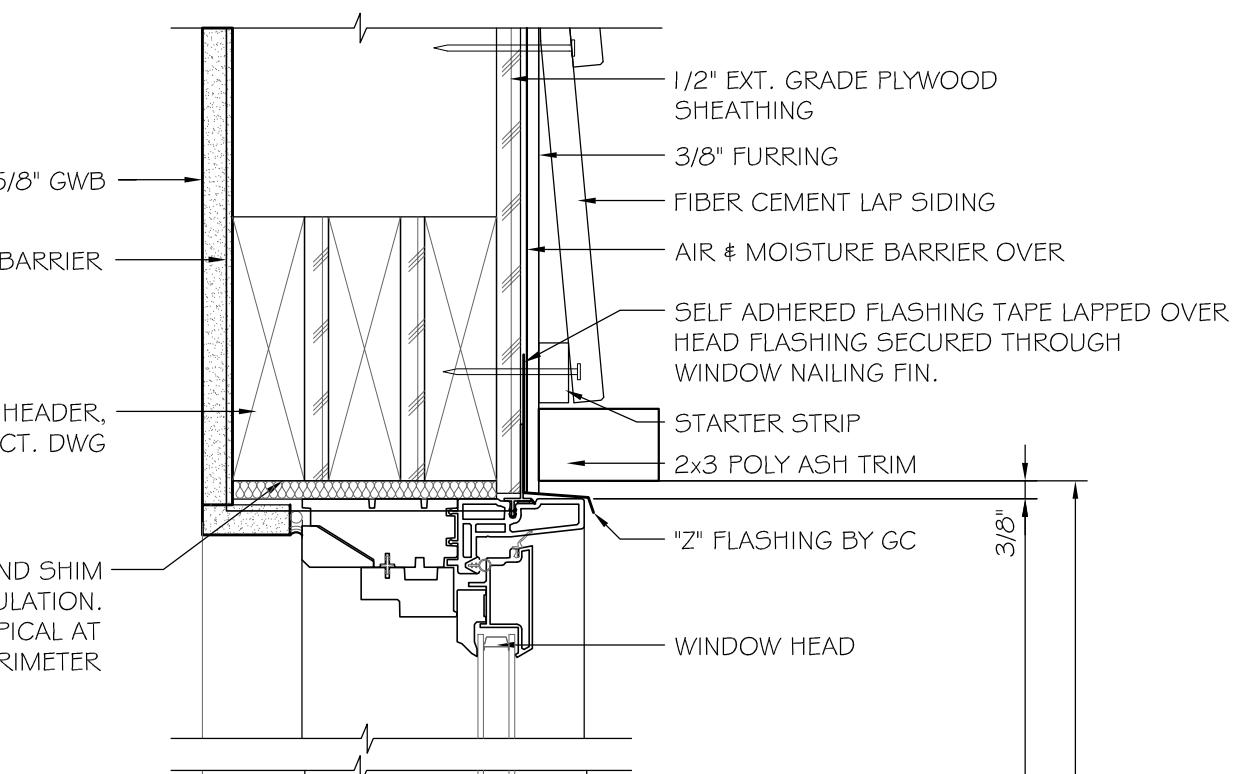
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DECATUR ST, LLC

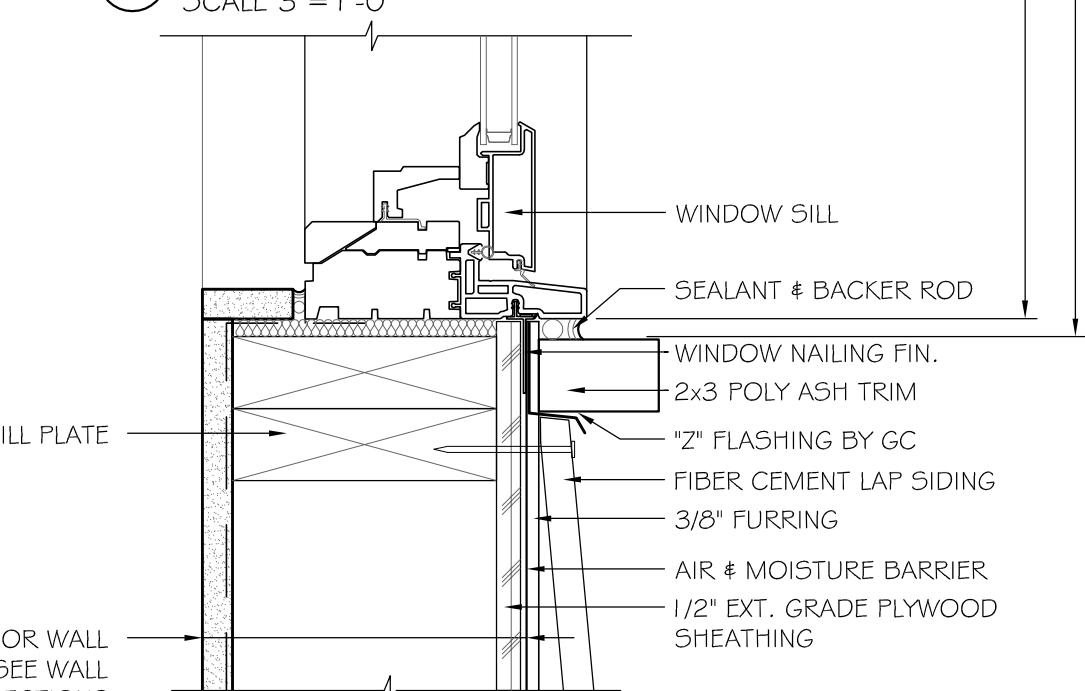
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WINDOW SCHEDULE & DETAILS

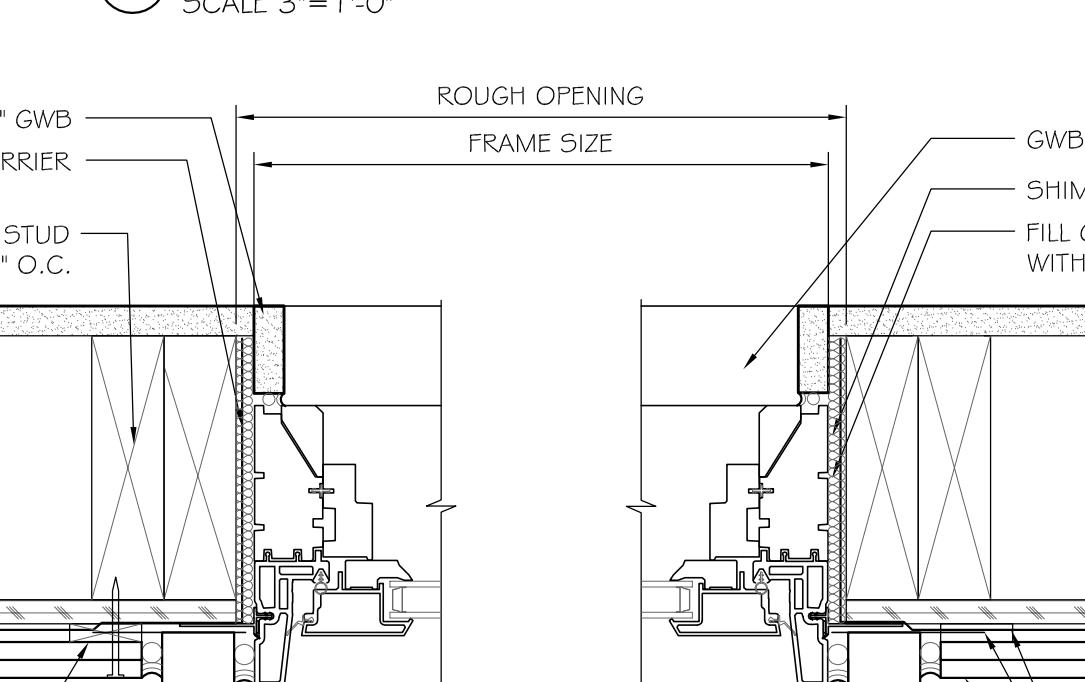
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3 TYPICAL WINDOW HEAD DETAIL



② TYPICAL WINDOW SILL DETAIL



1 TYPICAL WINDOW JAMB DETAIL

1



A4.1