

BENCHMARK

BENCHMARK IS A NGS DISK DESIGNATION S 340 PID F003010,
COCONINO COUNTY, ARIZONA
USGS QUAD – FLAGSTAFF WEST

ELEVATION= 6866.88' NAVD 88

BASIS OF BEARING

THE BASIS OF BEARING AND ALL MONUMENTATION SHOWN HEREON
IS BASED ON THE EAST LINE OF PARCEL NO. 1 AND 2 (PER TITLE
COMMITMENT DESCRIPTION) USING A BEARING OF SOUTH 13°00'24"
EAST AS SHOWN ON RECORD OF SURVEY RECORDED IN
INSTRUMENT NO. 3712251, COCONINO COUNTY RECORDS.

SITE PLAN NOTES:

- ALL SITE IMPROVEMENTS INCLUDING LANDSCAPE AND SITE CLEANUP,
MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY
BUILDING WITHIN A PHASE.
- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY
SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE
HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
- SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE
HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL
GROUND MOUNTED MECHANICAL EQUIPMENT.
- ALL EXTERNAL LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT
RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WHICH THE
LIGHTING IS LOCATED.
- THE FIRE DEPARTMENT DOUBLE CHECK ASSEMBLY SHALL BE PAINTED TO
MATCH THE ADJACENT WALL COLOR.
- SIGNS REQUIRE SEPARATE PERMIT.
- THERE SHALL BE NO OBSTRUCTION OF SITE SIGNAGE BY LANDSCAPE
PLANT MATERIAL, AND THAT SUCH MUST BE RELOCATED/CORRECTED
BEFORE THE FIELD INSPECTION WILL ACCEPT/PASS THE SIGN IN THE
FIELD OR ISSUE A CERTIFICATE OF OCCUPANCY FOR A PROJECT.
- ALL TRANSFORMER BOXES, METER PANELS AND ELECTRIC EQUIPMENT,
BACKFLOW DEVICES OR ANY OTHER UTILITY EQUIPMENT NOT ABLE OR
REQUIRED TO BE SCREENED BY LANDSCAPING OR WALLS, SHALL BE
PAINTED TO MATCH THE BUILDING COLOR.
- ALL WALLS OVER 7' IN HEIGHT, SITE LIGHTING, SIGNAGE, RAMADAS AND
SHADE STRUCTURES REQUIRE SEPARATE SUBMITAL AND PERMITS.
- LIGHT FIXTURES ARE NOT TO ENCROACH TRASH ENCLOSURE WALLS.

DEVELOPMENT SUMMARY TABLE:

PROJECT ADDRESS: 1320 & 1322 E ROUTE 66, AZ 86001, **FLAGSTAFF**

NEC E. SWITZER CANYON ROAD & ROUTE 66

LEGAL DESCRIPTION:

A PORTION OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 21 NORTH,
RANGE 7 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, COCONINO
COUNTY, ARIZONA.

PROJECT DESCRIPTION:

REMODEL EXISTING CONVENIENCE STORE AND ADDITION OF TWO NEW
CANOPIES WITH 6 AND 3 DISPENSERS

DEVELOPMENT INFORMATION:

APN:	10406006B, 10406006C (LOT COMBINATION)			
EXISTING ZONING:	HC			
PROPOSED ZONING:	HC			
GROSS LOT AREA	47,880	SF	1.10	AC
PARCEL 1	24,598	SF	0.56	AC
PARCEL 2	13,163	SF	0.30	AC
TOTAL	37,761	SF	0.87	AC
ADJACENT ZONING:	NORTH:	HC	GROCE	
	EAST:	HC	GROCE	
	SOUTH:	HC	HWY 66	
	WEST:	HC	RESTAURANT	

PROPOSED USE:	C-STORE / FUEL CENTER			
CONSTRUCTION TYP BUILDING:	VB			
OCCUPANCY:	M			
BUILDING AREA:				
C-STORE	1,698	SF		1 FLOOR
CANOPY REPLACED (3 DISP.)	2,784	SF		
CANOPY NEW (6 DISP.)	5,349	SF		
TOTAL	9,831			
BUILDING HEIGHT	60 FT.			
PROPOSED	20 FT.			CANOPY
FAR ALLOWABLE	3.0	STORIES		
GFAR OVERALL	26%	9,831 / 37,761		
VEHICLE PARKING	6 REQUIRED		PER 300 SF	
OPEN SPACE PARKING	7 PROPOSED		1 ADA INCL.	
BICYCLE PARKING	2 REQUIRED/PROPOSED			
SETBACKS:	REQUIRED	PROPOSED		

BUILDING:				
FRONT:	0'	STREET	21	FT
RIGHT SIDE:	0'	HC	25	FT
LEFT SIDE:	0'	HC	47	FT
REAR:	0'	HC	23	FT
LANDSCAPE:				
FRONT:	10'	STREET	10	FT
RIGHT SIDE:	0'	0'		
LEFT SIDE:	0'	0'		
REAR:	0'	0'		
FLOOD ZONE	ZONE X	NOT SHADED		
IMPERVIOUS AREA				
EXISTING	147	SF		
PROPOSED	2,365	SF		

FRY'S FUEL CENTER 104
SITE PLAN

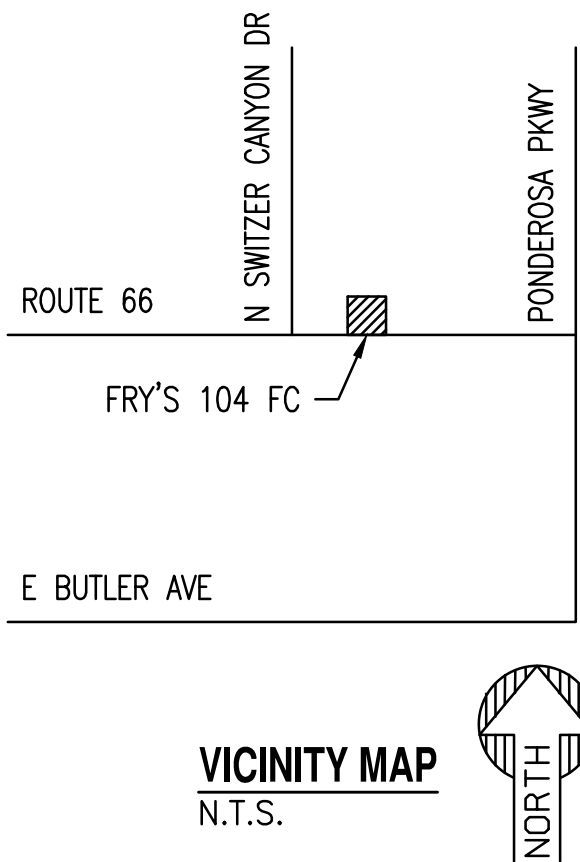
1320 & 1322 E ROUTE 66, FLAGSTAFF, AZ 86001

CIVIL ENGINEER

SUSTAINABILITY ENGINEERING GROUP, LLC
8280 E. GELDING DR., SUITE 101
SCOTTSDALE, ARIZONA 85260
PHONE: 480-588-7226
ATTN: ALI FAKIH

OWNER / DEVELOPER

SMITH FOOD & DRUG CENTER INC.
1014 VINE STREET
CINCINNATI, OHIO 45202
PHONE: 623-907-1990
ATTN: DAVE HILL

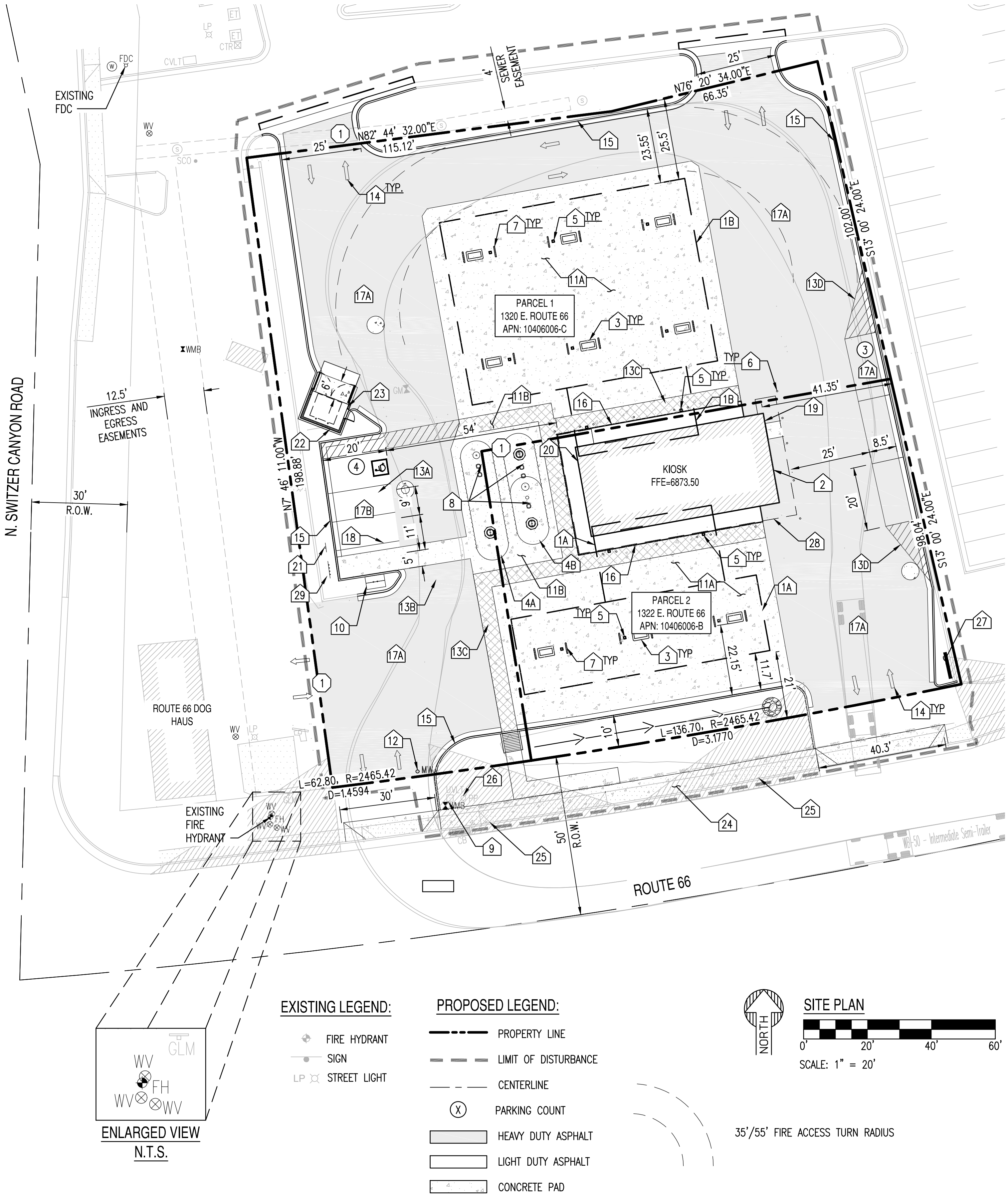


NOTE: 75% OF EXTERIOR MUST USE MUTED COLORS/EARTH TONES AT LRV
50 OR LESS

- ① CROSS ACCESS EASEMENT PER TITLE COMMITMENT RECORDED WITH
COCONINO COUNTY RECORDER'S OFFICE DOCKET 763, PAGE 62.

SITE PLAN KEYNOTES:

- ①A NEW CANOPY (2,784 S.F.).
- ①B NEW CANOPY (5,349 S.F.).
- ② KIOSK REMODEL (1,698 S.F.).
- ③ DISPENSER ISLAND (TYP. 9).
- ④A SINGLE COMPARTMENT DOUBLE WALL UNDERGROUND STORAGE TANK (20,000
GALLON UNLEADED).
- ④B TWO COMPARTMENT DOUBLE WALL UNDERGROUND STORAGE TANK (10,000 GALLON
DIESEL AND 8,000 GALLON PREMIUM UNLEADED).
- ⑤ CANOPY COLUMN (TYP. 13).
- ⑥ 6" STEEL PIPE BOLLARD FILLED WITH CONCRETE (TYP. 22).
- ⑦ INVERTED U-SHAPED STEEL PIPE GUARD POST (TYP. 18).
- ⑧ FILL MANWAY ON TANKS (TYP. 3).
- ⑨ EXISTING WATER METER LOCATION.
- ⑩ BICYCLE RACK, REFER TO LANDSCAPE PLAN FOR PATTERSON WILLIAMS DETAIL.
- ⑪A 6" CONCRETE PAD.
- ⑪B 8" CONCRETE PAD OVER TANKS.
- ⑫ REMOVE EXISTING MONITORING WELL.
- ⑬A 4" WIDE WHITE PAINTED STRIPING, TYP.
- ⑬B 5' WIDE PEDESTRIAN PATHWAY WITH 4" WIDE YELLOW PAINT, AT 45° 2 FEET O.C.
- ⑬C 5' STAMPED CONCRETE PATH.
- ⑬D 5' WIDE PEDESTRIAN PATHWAY WITH 4" WIDE GREEN PAINT, AT 45° 2 FEET O.C.
- ⑭ WHITE PAVEMENT MARKINGS (TYP. 8).
- ⑮ CURB & GUTTER PER GRADING PLANS.
- ⑯ FLUSH CURB PER GRADING PLANS.
- ⑯A HEAVY DUTY PAVEMENT PER GRADING PLANS.
- ⑯B LIGHT DUTY PAVEMENT PER GRADING PLANS.
- ⑰ SYMBOL OF ACCESSIBILITY.
- ⑱ PROPOSED FDC LOCATION.
- ⑳ PROPOSED OVERFILL ALARM LOCATION, MOUNTED ON BUILDING.
- ㉑ SIGN OF ACCESSIBILITY.
- ㉒ 6' TRASH ENCLOSURE WALL.
- ㉓ 13'-4" X 9'-4" SINGLE TRASH ENCLOSURE PER CITY OF FLAGSTAFF TYPICAL
DETAIL PW-50-010.
- ㉔ REMOVE AND REPLACE EXISTING SIDEWALK WITH 6' SIDEWALK.
- ㉕ REMOVE EXISTING CURB AND CURB RAMPS.
- ㉖ RELOCATE EXISTING POWER POLE/LIGHT POLE PER ADOT SPECIFICATIONS.
- ㉗ PROTECT EXISTING MONUMENT SIGN.
- ㉘ EXISTING MANSARD ROOF STRUCTURE.

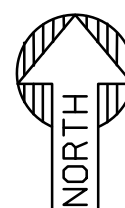


EXISTING LEGEND:

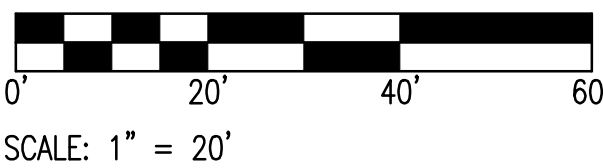
- FIRE HYDRANT
- SIGN
- STREET LIGHT

PROPOSED LEGEND:

- PROPERTY LINE
- LIMIT OF DISTURBANCE
- CENTERLINE
- PARKING COUNT
- HEAVY DUTY ASPHALT
- LIGHT DUTY ASPHALT
- CONCRETE PAD



SITE PLAN



35'/55' FIRE ACCESS TURN RADIUS

PRELIMINARY
NOT FOR
CONSTRUCTION

SUSTAINABILITY
ENGINEERING
GROUP

SEG



fray's
FOOD & DRUG STORES
Fry's Food Stores of Arizona
500 South 9th Avenue, Bldg A
Tulleson, AZ 85233
Phone (602) 907-1884
Fax (602) 907-1974

Kroger Co.
10251 East 51st Street, Suite A
Denver, CO 80239
Phone (303) 715-5917
Fax (303) 715-5905

Call at least two full working days
before you begin excavation.
ARIZONA 311
Arizona Statewide
1-800-311-3111 (723-6348)
In Maricopa County (602) 253-1199

PROJECT
FRY'S FUEL CENTER #104
LOCATION
1320 & 1322 E. ROUTE 66
FLAGSTAFF, AZ 86001

DRAWN: LA 09/30/2020
DESIGNED: BH 09/30/2020
QC: SC 10/01/2020
QA: EG 10/07/2020
PROJ. MGR.: JS 10/02/2020

DATE: 10/02/2020
ISSUED FOR: SITE PLAN
DEVELOPMENT REVIEW

REVISION NO.:	DATE:
1	
2	
3	
4	

JOB NO.: 200402
SHEET TITLE:

SITE PLAN

SHEET NO.:

C2.00

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