

## FUEL FACILITY OWNER

MAVERIK, INC.  
185 S. STATE STREET, SUITE 800  
SALT LAKE CITY, UT 84111  
PHONE: (801)-678-1996  
ATTN: JANA WARD  
EMAIL: JANA.WARD@MAVERIK.COM

## ARCHITECT

GPD GROUP  
11117 PERIMETER CENTER  
WEST, SUITE W306  
ATLANTA GEORGIA 30338  
PHONE: (678)-781-5069  
ATTN: ALISSA COBB  
EMAIL: AC0BB@GPDGROUP.COM

## CIVIL ENGINEER

SUSTAINABILITY ENGINEERING GROUP  
5240 N. 16TH STREET, SUITE 105  
PHOENIX, ARIZONA 85016  
PHONE: 480-237-2507  
ATTN: ALI FAKIH  
EMAIL: ALI@AZSEG.COM

## SURVEYOR

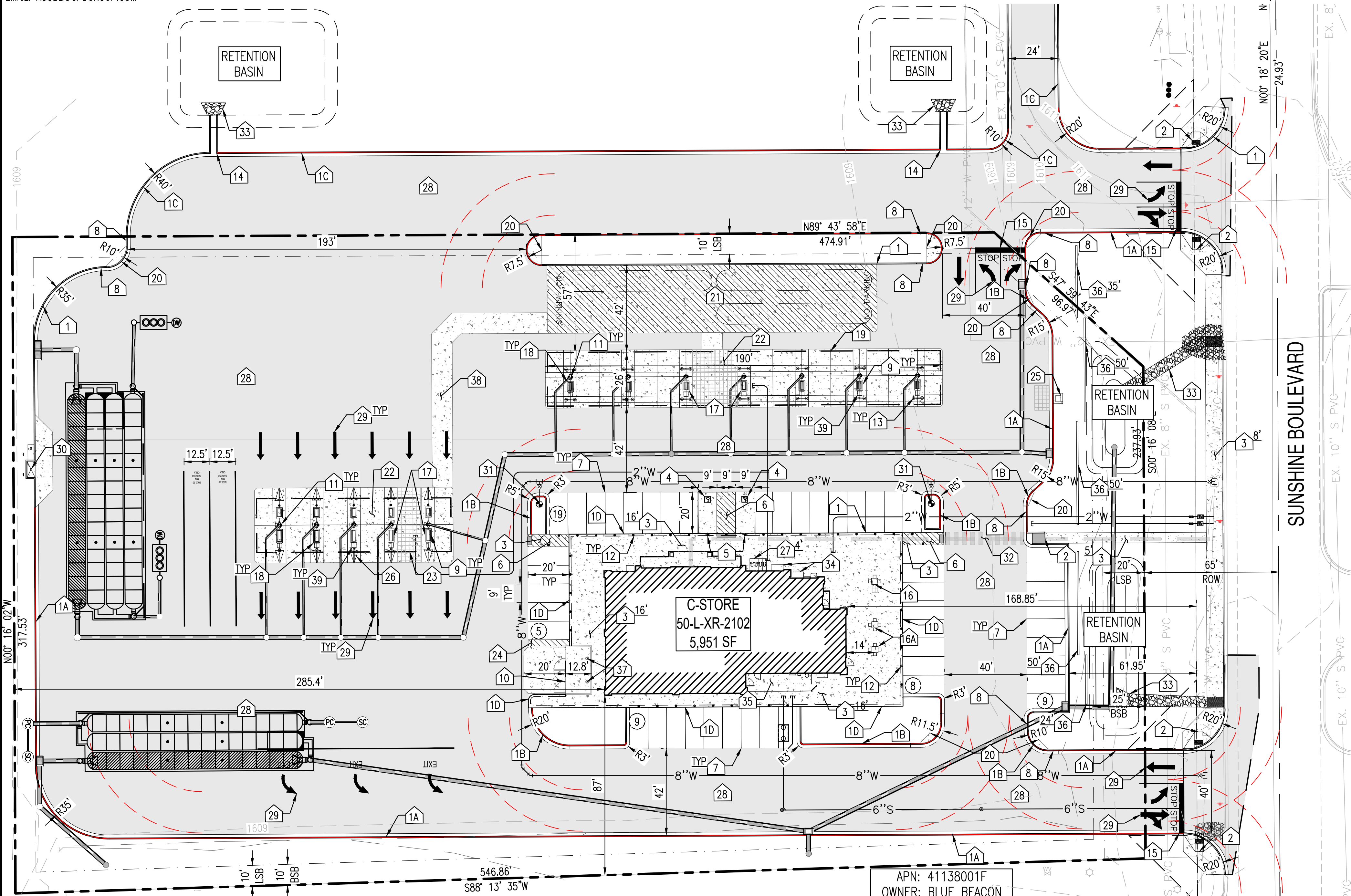
LAYTON SURVEYS LLC  
1857 N 1000 W STE. 1  
CLEARFIELD, UT 84015  
PHONE: (801)-663-1641  
ATTN: WILLIS LONG  
EMAIL: WILLIS.LONG@LAYTONSURVEYS.COM

## MAVERIK CONVENIENCE STORE

## SITE PLAN

INTERSTATE 10 & SUNSHINE BOULEVARD, PINAL COUNTY, ARIZONA, 85131  
A PORTION OF THE NORTHEAST QUARTER OF SECTION 18, TOWNSHIP 8 SOUTH, RANGE 8 EAST OF THE GILA AND  
SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA.

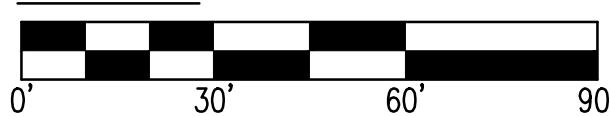
NORTHEAST CORNER SECTION 18  
TOWNSHIP 8 SOUTH, RANGE 8 EAST  
GILA & SALT RIVER BASE AND  
MERIDIAN



APN: 41138001F  
OWNER: BLUE BEACON  
INTERNATIONAL INC



## SITE PLAN



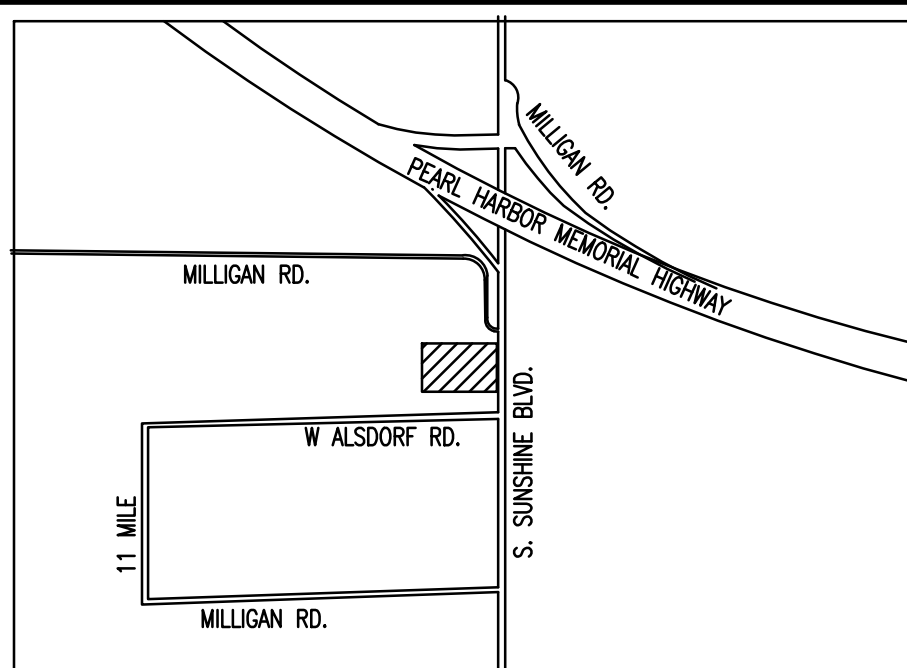
SCALE: 1" = 30'

SOUTHEAST CORNER SECTION 18  
TOWNSHIP 8 SOUTH, RANGE 8 EAST  
GILA & SALT RIVER BASE AND  
MERIDIAN

NOTE:  
FOR BUILDING EXTERIOR MATERIALS AND FINISHES REFER  
TO ARCHITECTURAL ELEVATIONS

## SITE PLAN NOTES:

- 1 6" VERTICAL CURB.
- 1A 6" VERTICAL CURB AND GUTTER.
- 1B MOUNTABLE CURB.
- 1C 6" EXTRUDED CURB.
- 1D 6" TURN DOWN SLAB.
- 2 ACCESSIBLE RAMP.
- 3 CONCRETE SIDEWALK, WIDTH PER PLAN.
- 4 PAINTED SYMBOL OF ACCESSIBILITY PER DET. 3/C2.10.
- 5 SIGN OF ACCESSIBLE PARKING STALL PER DET. 6/C2.10.
- 6 ADA DOUBLE PARKING PER DET. 4/C2.10.
- 7 4" WIDE WHITE PAINTED STRIPING.
- 8 5' CURB TRANSITION.
- 9 DISPENSER ISLAND.
- 10 TRASH ENCLOSURE PER DET. 8/C2.11.
- 11 CANOPY STEEL COLUMN WITH CONCRETE BASE.
- 12 REBOUNDING BOLLARD PER DET. 11/C2.11.
- 13 HOOP BOLLARD PER DET. 1/C2.10.
- 14 CURB OPENING.
- 15 12" WIDE WHITE PAINTED STOP BAR.
- 16 ACCESSIBLE PICNIC TABLE.
- 16A PICNIC TABLE.
- 17 ADA FUEL DISPENSER.
- 18 FUEL DISPENSER.
- 19 190' X 26' FUEL CANOPY.
- 20 CONCRETE RUNOUT PAD.
- 21 8" THICK CONCRETE SLAB OVER UNDERGROUND FUEL STORAGE TANK.
- 22 6" THICK CONCRETE SLAB UNDER FUEL CANOPY.
- 23 94' X 26' FUEL CANOPY.
- 24 3' WIDE 4" YELLOW PAINT, AT 45' 3 FEET O.C.
- 25 XACTAIR AIR STATION AND WATER UNIT PAD PER DET. 2/C2.10.
- 26 WEDGE BOLLARD PER DET. 10/C2.11.
- 27 "HI ROLLER" BIKE RACK. PER DET. 7/C2.10.
- 28 MODERATE DUTY ASPHALT PAVEMENT.
- 29 DIRECTIONAL LANE PAVEMENT MARKINGS.
- 30 RV SEWER DUMP PER DET 9/C2.11.
- 31 FIRE HYDRANT.
- 32 6' WIDE ADA PATH. 4" WIDE YELLOW PAINT STRIPING.
- 33 RIP RAP.
- 34 ICE MERCHANDISER.
- 35 HOUSEKEEPING CONCRETE PAD.
- 36 3' HIGH CMU SCREEN WALL PER DET. 12/C2.21, LENGTH PER PLAN.
- 37 PIPE BOLLARD PER DET. 5/C2.10.
- 38 PETROLEUM TRENCH CAP PER CIVIL PLANS.
- 39 TRASH CONTAINER PER ARCHITECTURAL PLANS.



## VICINITY MAP

## EXISTING LEGEND:

- XXXX --- EX. MAJOR CONTOURS
- XXXX --- EX. MINOR CONTOURS
- EX. S --- SEWER LINE
- EX. W --- WATER LINE
- EX. GAS --- GAS LINE

## PROPOSED LEGEND:

- PROPERTY LINE
- VERTICAL CURB
- CURB & GUTTER
- MOUNTABLE CURB
- (X) PARKING COUNT
- [Hatched Box] PAVEMENT STRIPING
- [Solid Grey Box] MODERATE DUTY PAVEMENT
- [White Box] LIGHT DUTY PAVEMENT
- [Dashed Line] ADA PATH.
- [Stippled Box] ADA AREAS.
- STEEL BOLLARD
- REBOUNDING BOLLARD
- FIRE LANE RED PAINTED CURB
- 35'/55' FIRE ACCESS TURN RADIUS.

## PROPOSED GRADING LEGEND:

- [Box with Grid] CATCH BASIN
- [Box with Arrows] STORM PIPE
- [Box with Arrow] END SECTION
- (SD) STORM MANHOLE
- [Box with Wavy Lines] RIP-RAP
- (FC) (SC) DRYWELL
- (WM) WATER METER
- (X) GATE VALVE
- (FH) FIRE HYDRANT

## PROPOSED UTILITY LEGEND:

- PROPERTY LINE
- EASEMENT LINE
- X"W --- WATER LINE
- X"S --- SEWER LINE
- (FH) FIRE HYDRANT
- (WM) WATER METER
- (X) GATE VALVE
- (T.S.V.B.&C.) T.S.V.B.&C.
- (B.F.P.) BACK FLOW PREVENTER
- [Box] CAP
- [Box] BUILDING CONNECTION

## DEVELOPMENT SUMMARY TABLE:

LOT AREA:		167,313 SF		3.84 AC	
BUILDING SETBACKS:			LANDSCAPE SETBACKS:		
	REQUIRED	PROPOSED		REQUIRED	PROPOSED
FRONT (W):	25'	168.5'	FRONT (W):	20'	27.95'
SIDE (N)(non-resi):	20'	57'	SIDE (N)(non-resi):		
SIDE (S)(non-resi):	20'	87'	SIDE (S)(non-resi):	20'	24.9'
REAR (E)(non-resi):	20'	285.4'	REAR (E)(non-resi):	20'	32.9'
Pick-up window shall			3'-4" high screen		
PROPOSED BUILDING HEIGHT:		10'			
PARKING REVIEW: (min parking stall dimensions 9'X19')					
Parking Drive Aisle Setback from an Arterial Street - 80'					
INDOOR FLOOR AREA:		5,951 SF		150	1 PER 100GSF
REQUIRED CAR PARKING:		40 SPACES			
PROPOSED CAR PARKING:		50 SPACES			
REQUIRED BICYCLE PARKING:		4 SPACES			Within 50' of building entrance
PROPOSED BICYCLE PARKING:		4 SPACES			2'x6'
REQUIRED ADA PARKING:		2 SPACES			
PROPOSED ADA PARKING:		2 SPACES			

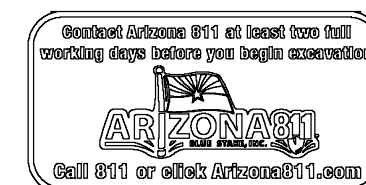
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CONSTRUCTION

SUSTAINABILITY  
ENGINEERING  
GROUP

SEG



MAVERIK



PROJECT  
MAVERIK CONVENIENCE  
STORE

LOCATION  
INTERSTATE 10 &  
SUNSHINE BLVD., AZ 85131

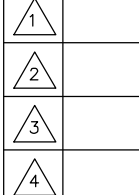
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DESIGNED: MA 09/08/2023  
CHECKED: AF 09/08/2023  
PROJ. MGR.: AF 09/08/2023

DATE: 09/08/2023

ISSUED FOR: REZONING  
APPLICATION

REVISION NO.:

DATE:



JOB NO.:

230717

SHEET TITLE:

SITE PLAN

PAGE NO.:

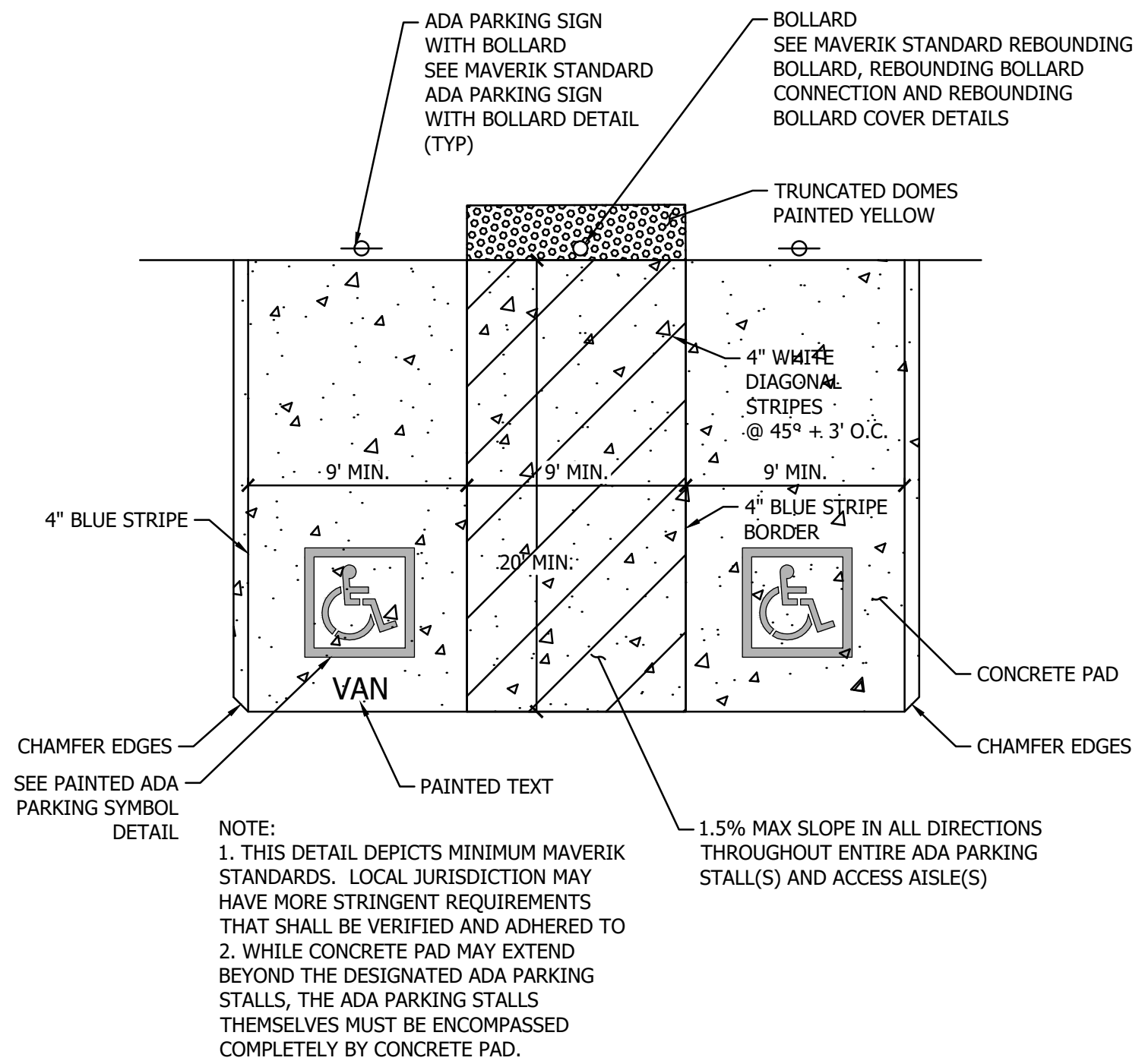
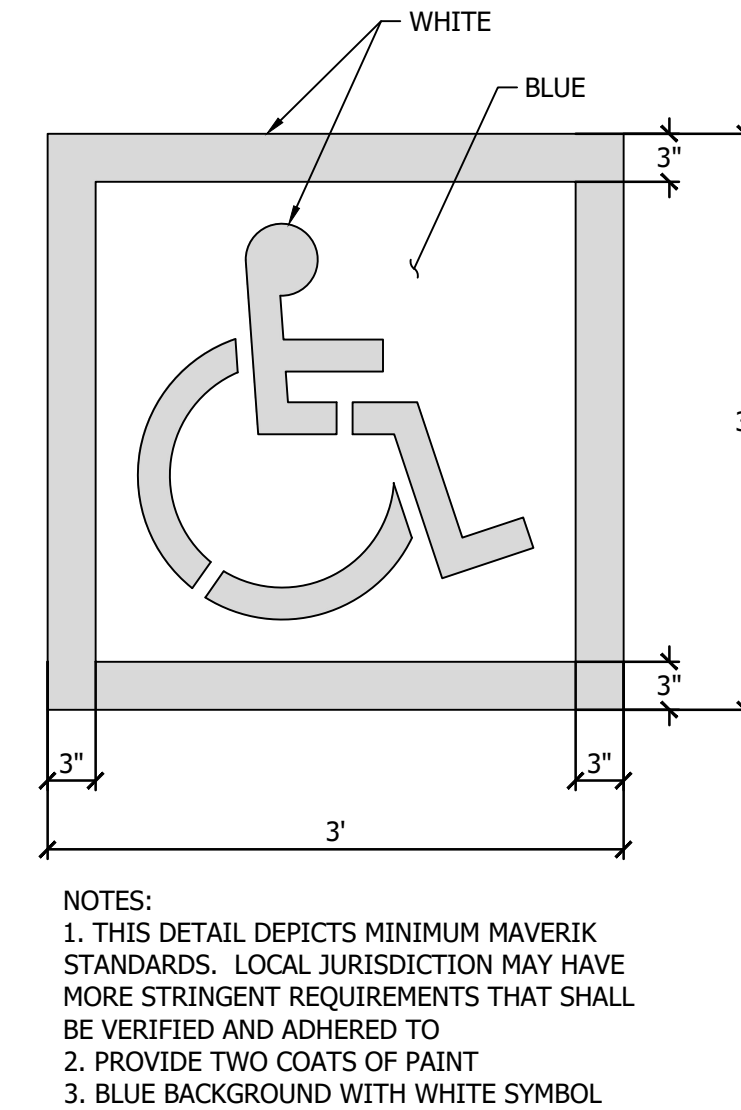
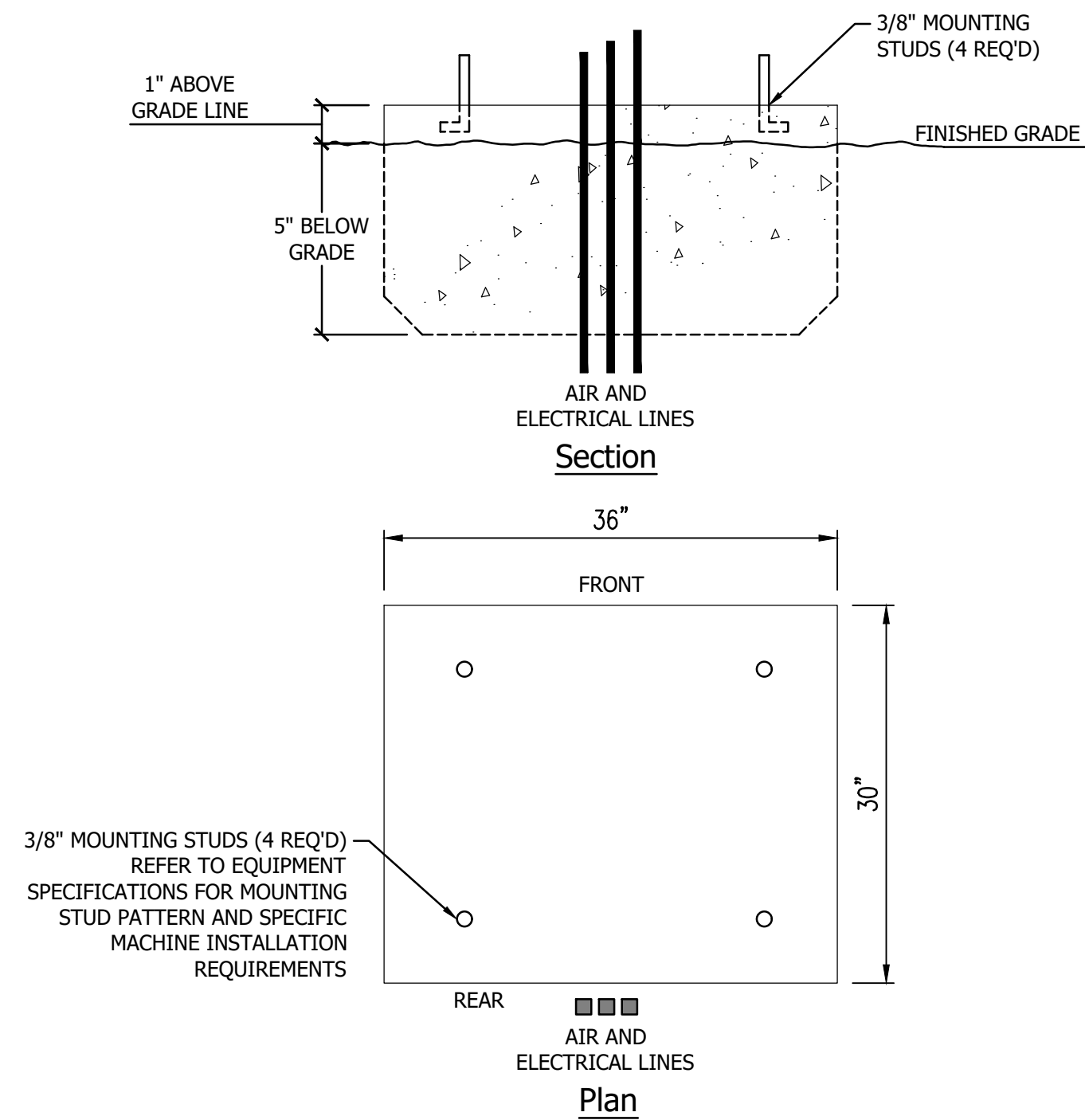
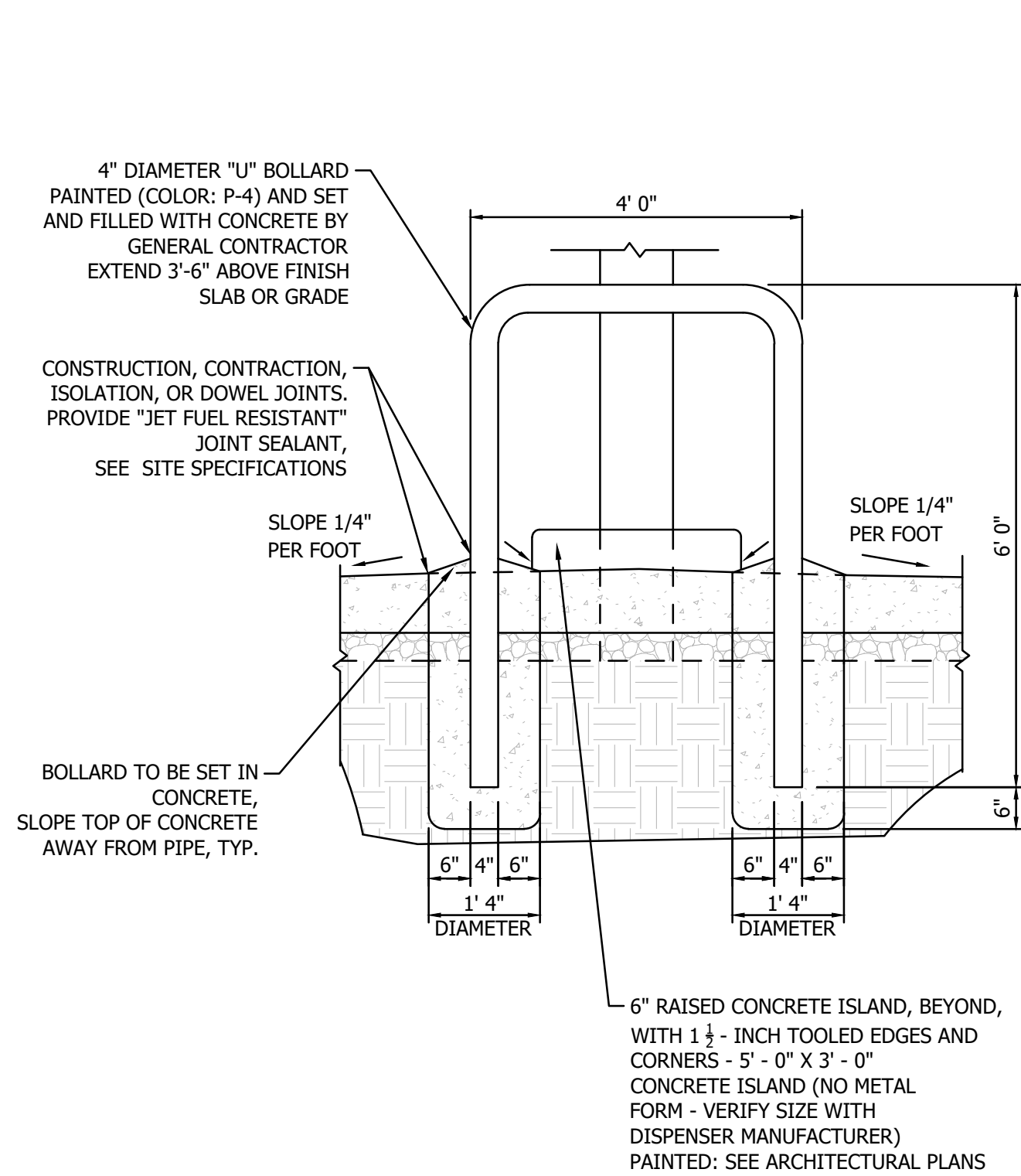
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HOOP BOLLARD  
N.T.S.



1

XACTAIR AIR STATION FOUNDATIO  
N.T.S.



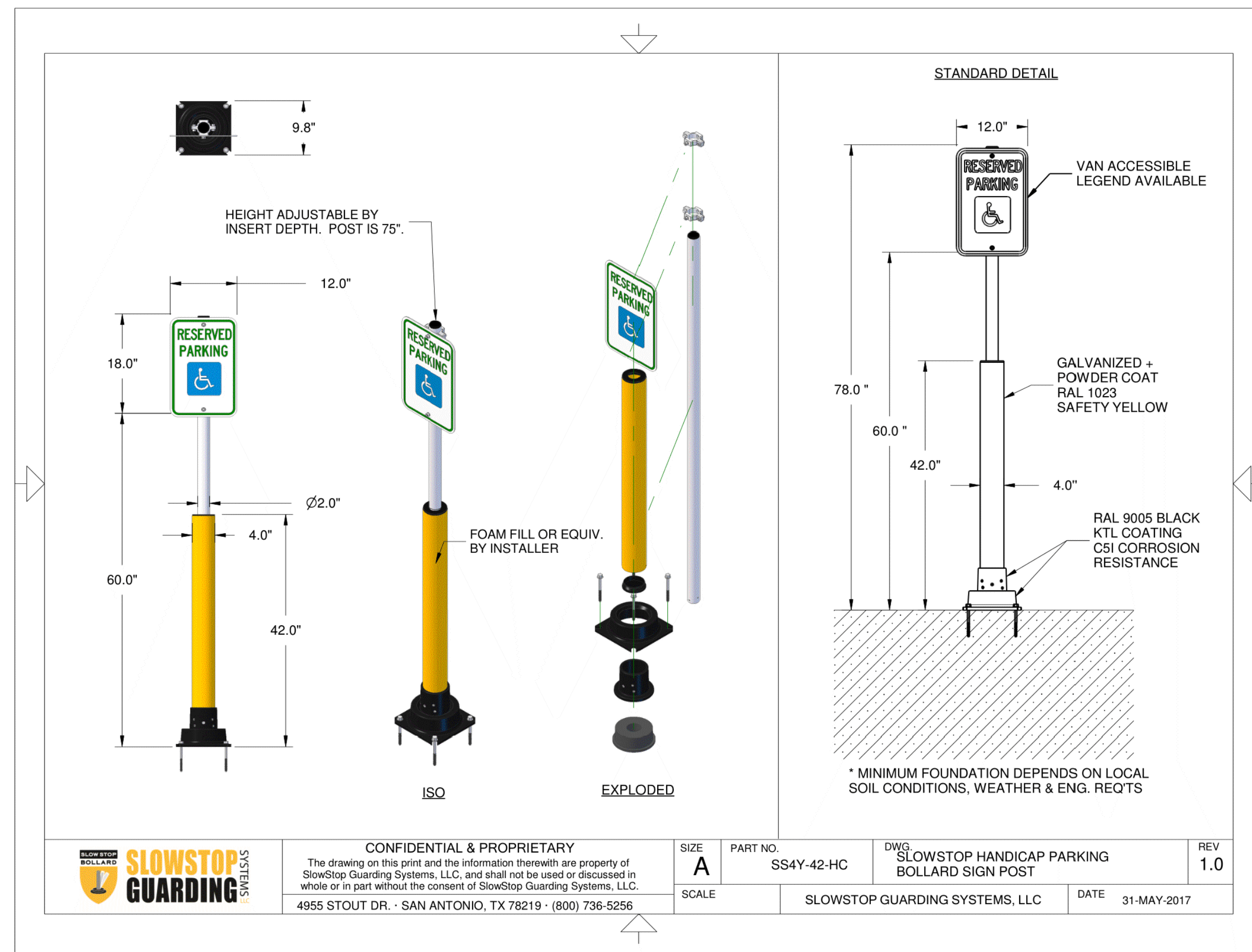
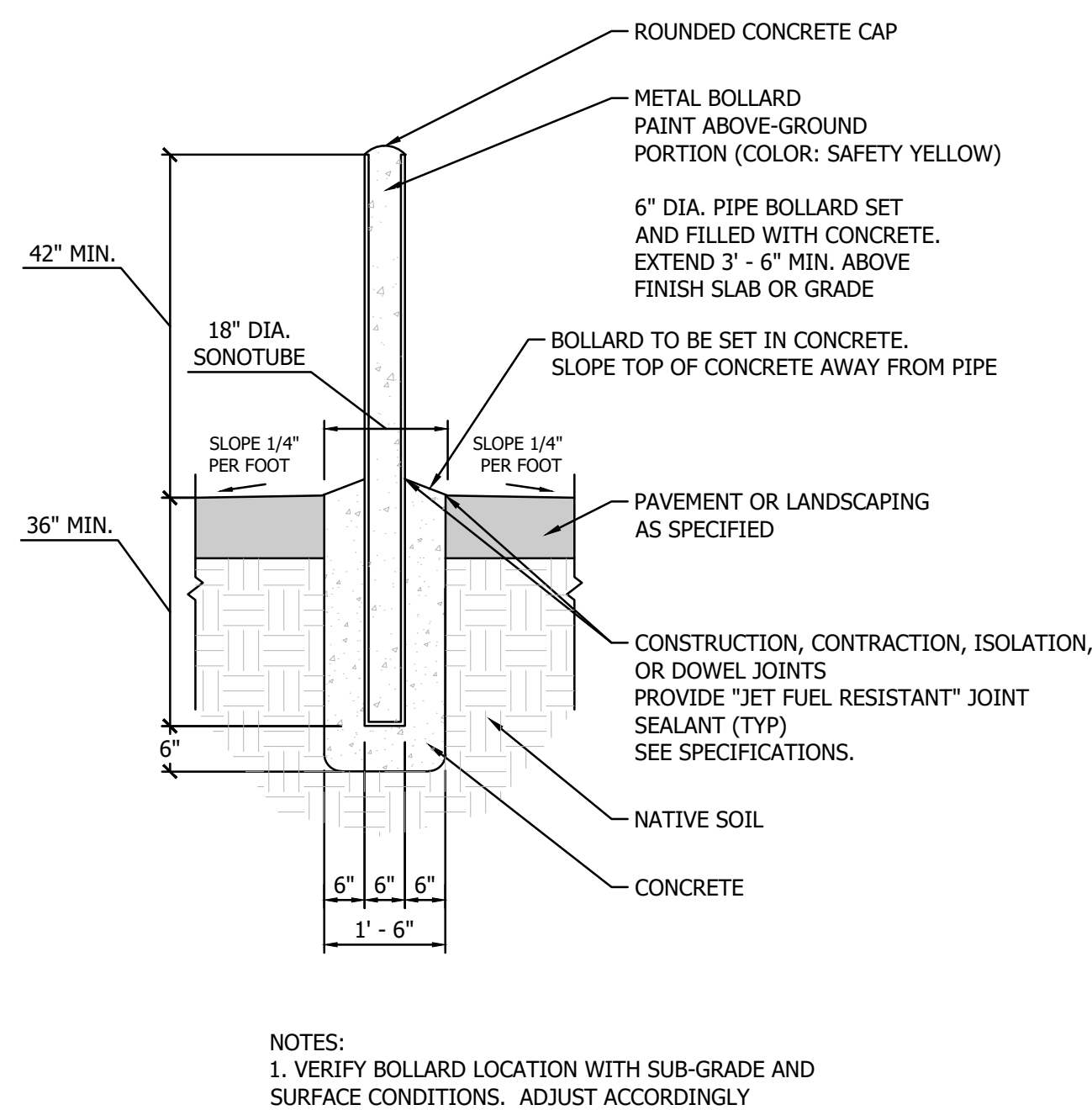
2

ADA PARKING  
N.T.S.



3

PAINTED ADA PARKING SYMBOL  
N.T.S.

 $\Delta$ 

STEEL PIPE BOLLARD  
N.T.S.

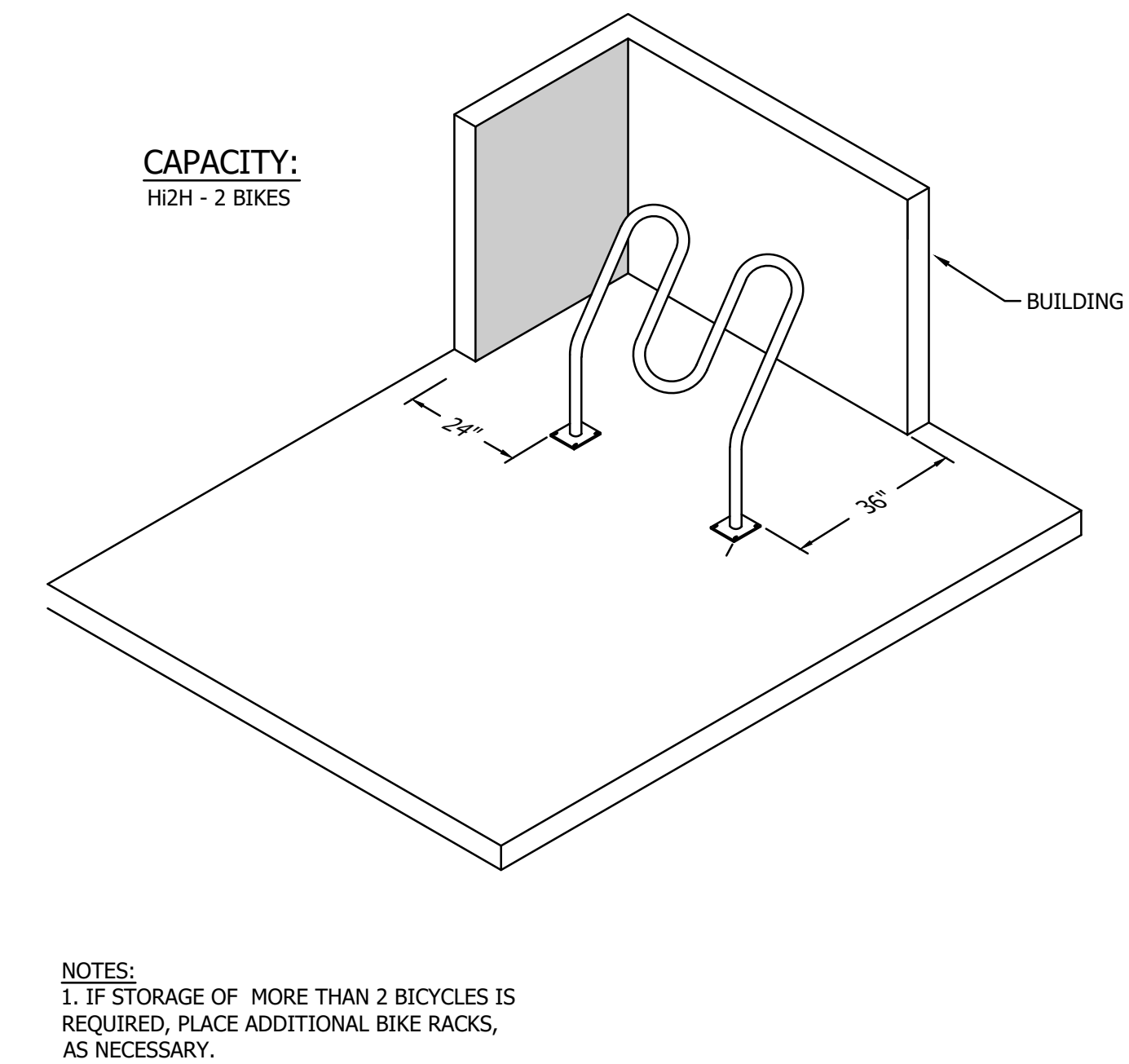


5

ADA PARKING SIGN WITH BOLLARD  
N.T.S.



e



BIKE RACK  
N.T.S.

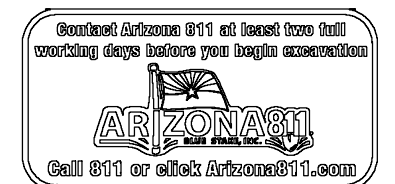


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5240 N. 16TH STREET SUITE 105, PHOENIX, ARIZONA 85016  
WWW.AZSEG.COM TEL. 480.588.7226 FAX 480.259.3534

PROJECT  
MAVERIK CONVENIENCE  
STAGE

LOCATION  
INTERSTATE 10 &  
SUNSHINE BLVD., AZ 85131

DRAWN	_____	KC	09/08/2023
DESIGNED	_____	MA	09/08/2023
CHECKED	_____		
FINAL QC	_____		
PROJ. MGR.	_____	AF	09/08/2023

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JOB NO.: 230717

SHEET TITLE:

## SITE PLAN DETAILS

PAGE NO.:

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SHEET NO.:

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