

## SHEET INDEX

### SHEET INDEX

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● FILLED CIRCLE INDICATES PLAN IS INCLUDED WITH THIS SUBMITTAL

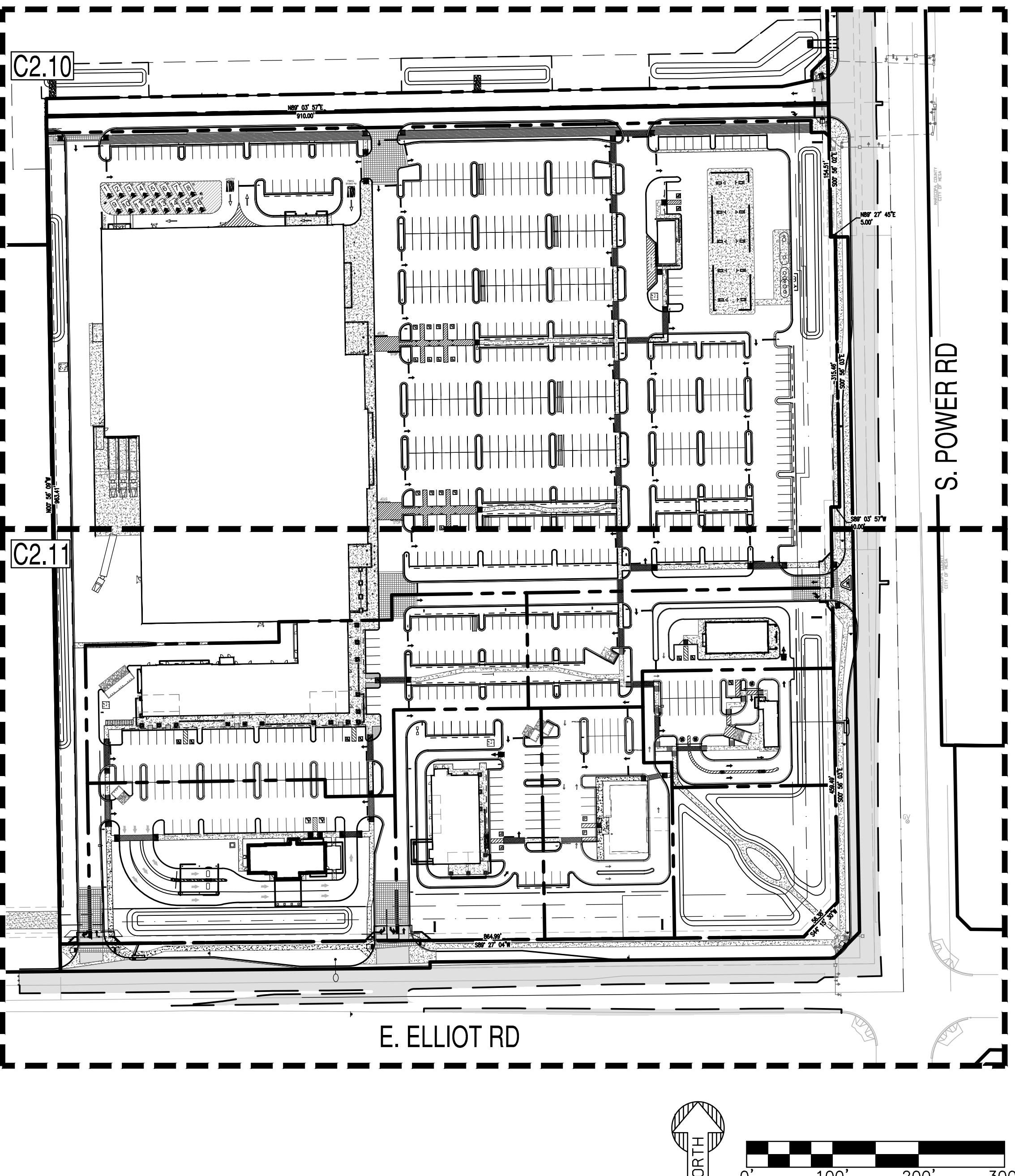
### ABBREVIATIONS

AC	ACRE OR ASPHALT	LF	LINEAR FEET
ADA	AMERICANS WITH DISABILITIES ACT	LS	LANDSCAPE
APN	ASSESSOR'S PARCEL NUMBER	MAG	MARICOPA ASSOCIATION OF GOVERNMENTS
BB	BUBBLER STRUCTURE	MH	MANHOLE
BFP	BACKFLOW PREVENTER	NP	NYLOPLAST
BLD	BUILDING	NTS	NOT TO SCALE
BOT	BOTTOM	OHU	OVERHEAD UTILITY
BS	BUILDING SETBACK	OFF	OFFSET
C	CONCRETE	P	PAVEMENT
CB	CATCH BASIN	PL	PROPERTY LINE
CMP	CORRUGATED METAL PIPE	PUE	PUBLIC UTILITY EASEMENT
CO	CLEANOUT	PVC	POLYVINYL CHLORIDE
D.G.	DECOMPOSED GRANITE	PWL	PUBLIC WATER LINE EASEMENT
DET	DETAIL	R	REGION
DIP	DUCTILE IRON PIPE	RD	ROOF DRAIN
E	EAST	ROW	RIGHTS-OF-WAY
ES	EQUALIZER	RL	RIDGELINE
ESMT	EASEMENT	S	SLOPE OR SOUTH OR SECTION
EX	EXISTING	SE	SEWER EASEMENT
FDC	FIRE DEPARTMENT CONNECTION	S/W	SIDEWALK
FFE	FINISHED FLOOR ELEVATION	T	TOWNSHIP
FG	FINISHED GRADE	TOC	TOWN OF GILBERT
FH	FIRE HYDRANT	T.S.V.B.&C.	TAPPING SLEEVE, VALVE, BOX AND COVER
FT	FEET	TYP	TYPICAL
G	GUTTER	UGC	UNDERGROUND CONNECTION
GV	GATE VALVE	Vr	REQUIRED VOLUME
HDPPE	HIGH DENSITY POLYETHYLENE PIPE	Vp	PROVIDED VOLUME
HWE	HIGH WATER ELEVATION		
IE	INVERT ELEVATION		

## FRY'S 655

### PRELIMINARY SITE PLAN COVER SHEET & KEYMAP

3490 S POWER ROAD, GILBERT, ARIZONA, 85212  
A PORTION OF THE SOUTHEAST QUARTER OF SECTION 12, TOWNSHIP 1 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA.



### LEGEND

#### EXISTING LEGEND:

--- XXXX ---	EX. MAJOR CONTOURS	EX. S	SEWER LINE	STORM DRAIN LINE
--- XXXX ---	EX. MINOR CONTOURS	(S)	SEWER MANHOLE	CB
TC:XX.XX GE:XX.XX	EX. SPOT ELEVATION	EX. W	WATER LINE	STORM CATCH BASIN
-----	EASEMENT LINE AS NOTED	WV	WATER VALVE	STORM MANHOLE

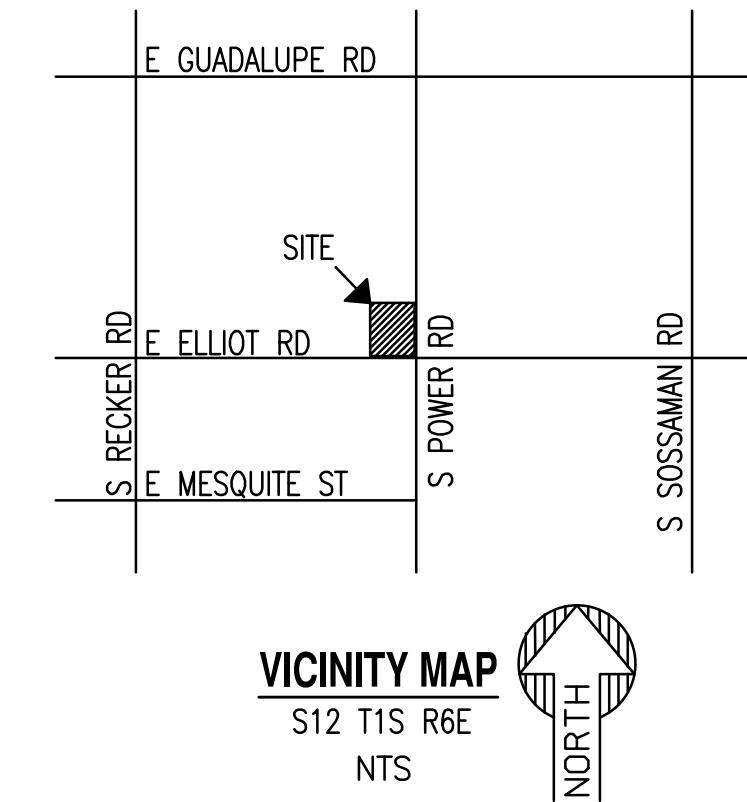
#### PROPOSED GRADING LEGEND:

G=XX.XX	PROPERTY LINE	SETBACK
TC = G+0.5'	RIGHT OF WAY	SLOPE ARROW
P=XX.XX	CURB AND GUTTER	CATCH BASIN
C=XX.XX	RL RIDGELINE	STORM PIPE

#### PROPOSED UTILITY LEGEND:

-----	PROPERTY LINE	END SECTION	WATER METER	RIP-RAP
-----	RIGHT OF WAY	SLOPE ARROW	SD	STORM MANHOLE
-----	CURB AND GUTTER	CATCH BASIN	DW DW	DRYWELL
-----	RL RIDGELINE	STORM PIPE	●	FIRE HYDRANT
-----			○ ○	SEWER MANHOLE

## VICINITY MAP



### PROJECT TEAM

#### OWNER

FRED MEYERS STORES, INC.  
1014 VINE ST.  
CINCINNATI, OH 45202

#### DEVELOPER

FRY'S FOOD STORES OF ARIZONA, INC.  
500 S. 99TH AVE., BLDG C  
TOLLESON, AZ 85353  
PHONE: 623-907-1987  
EMAIL: NIKKI.WEARH@FRYSFOOD.COM  
ATTN: NIKKI WEARTH

#### CIVIL ENGINEER

SUSTAINABILITY ENGINEERING GROUP  
5240 N. 16TH ST., SUITE 105  
PHOENIX, AZ 85016  
PHONE: 480-237-2507  
ATTN: ALI FAKIH  
EMAIL: ALI@AZSEG.COM

#### ARCHITECT

CR ARCHITECTURE + DESIGN  
600 VINE STREET, SUITE 2210  
CINCINNATI, OH 45202  
PHONE: 513-721-8080  
EMAIL: AFREY@CR-ARCHITECTS.COM  
ATTN: ANTHONY FREY

#### SURVEYOR

AW LAND SURVEYING, LLC  
PO BOX 2170  
CHANDLER, AZ 85244  
PHONE: 480-250-0116  
EMAIL: DARMUJO@AWLANDSURVEY.COM  
ATTN.: DANIEL ARMJO

#### LANDSCAPE ARCHITECT

HARRINGTON PLANNING + DESIGN  
1921 S. ALMA SCHOOL RD  
SUITE 204, MESA, AZ 85210  
PHONE: 480-250-0116  
EMAIL: JASON@HARRINGTONPLANNINGDESIGN.COM  
ATTN.: JASON HARRINGTON

### PROJECT INFO

#### PROJECT LOCATION:

3490 S POWER RD GILBERT, ARIZONA 85212

#### PROJECT DESCRIPTION:

THE PROJECT CONSISTS IN THE CONSTRUCTION OF 8 LOTS INCLUDING A GROCERY STORE, FUEL CENTER, RESTAURANTS, RETAIL AND SHOPS.

#### SITE DATA:

ASSESSOR PARCEL NUMBER: 304-16-007E  
ZONING: GC  
GROSS AREA: 1,011,069 SF (23 AC).  
NET AREA: 873,758 SF (20 AC).  
DISTURBED AREA: 1,011,069 SF (23 AC)

#### BASIS OF BEARING:

THE BASIS OF BEARING AND ALL MONUMENTATION SHOWN HEREON IS BASED ON THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 12, T1S, R6E, USING A BEARING OF SOUTH 00 DEGREES 56 MINUTES 00 SECONDS EAST, AS SHOWN ON PLSS SUBDIVISION RECORD OF SURVEY, RECORDED IN BOOK 609, PAGE 29, MARICOPA COUNTY RECORDS.

#### BENCHMARK:

BENCHMARK IS A MARICOPA COUNTY HIGHWAY DEPARTMENT BRASS CAP IN HANDHOLE LOCATED AT THE INTERSECTION OF POWER ROAD AND ELLIOT ROAD.

ELEVATION: 1325.86' NAVD 88

#### LEGAL PARCEL DESCRIPTION:

A PORTION OF THE EAST HALF OF THE SOUTHEAST QUARTER SECTION 12, TOWNSHIP 1 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A BRASS CAP IN HANDHOLE AT THE SOUTHEAST CORNER OF SAID SECTION 12, FROM WHICH A BRASS CAP IN HANDHOLE AT THE EAST QUARTER CORNER OF SAID SECTION 12 BEARS NORTH 00 DEGREES 56 MINUTES 03 SECONDS WEST, 2,628.85 FEET;

THENCE ALONG THE SOUTH LINE OF SAID SECTION 12, SOUTH 89 DEGREES 27 MINUTES 04 SECONDS WEST, 980.02 FEET;

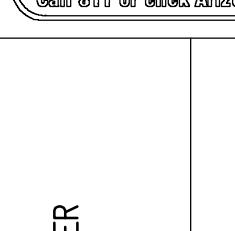
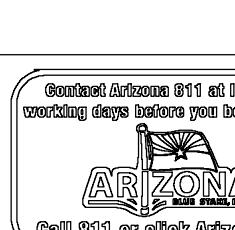
THENCE NORTH 00 DEGREES 56 MINUTES 03 SECONDS WEST, 1028.41 FEET;

THENCE NORTH 89 DEGREES 03 MINUTES 57 SECONDS EAST, 980.00 FEET TO A POINT ON THE EAST LINE OF SAID SECTION 12;

THENCE ALONG SAID EAST LINE, SOUTH 00 DEGREES 56 MINUTES 03 SECONDS EAST, 1035.00 FEET TO THE POINT OF BEGINNING.

PRELIMINARY  
NOT FOR  
CONSTRUCTION

SUSTAINABILITY  
ENGINEERING  
GROUP



SE

5240 N 16TH STREET, SUITE 105  
PHOENIX, AZ 85212  
WWW.AZSEG.COM

500 South 99th Avenue, Blk A  
Tolleson, AZ 85353  
Phone: (602) 907-1984  
Fax: (602) 907-1974

The Kroger Co.  
1025 East 1st Street, Suite A  
Denver, CO 80239  
Phone: (303) 715-5817  
Fax: (303) 715-5805

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Call 811 or visit Arizona811.com

05/24/2023

05/24/2023

MINOR SITE PLAN  
AMENDMENT

05/24/2023

05/24/2023

05/24/2023

05/24/2023

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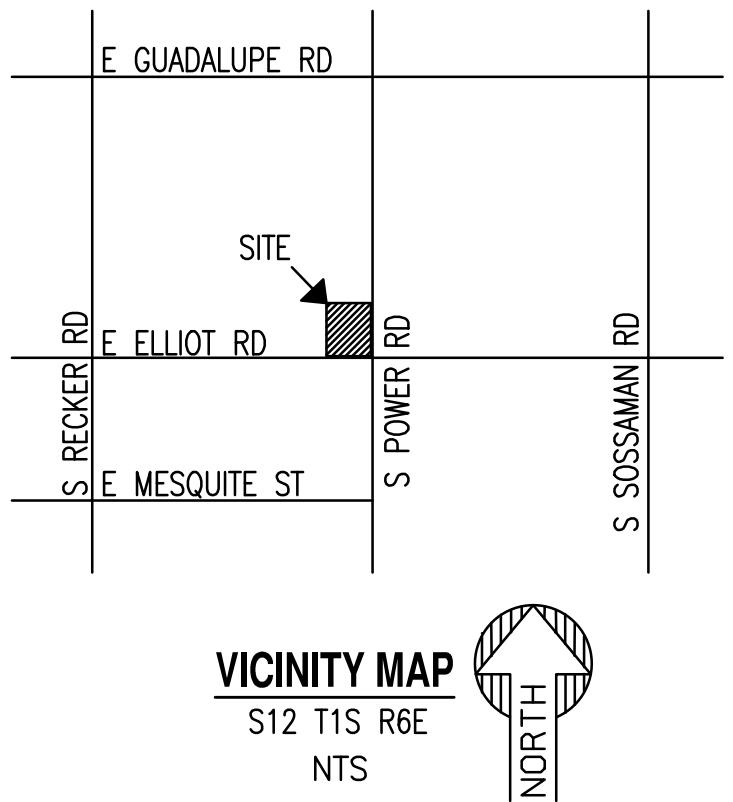
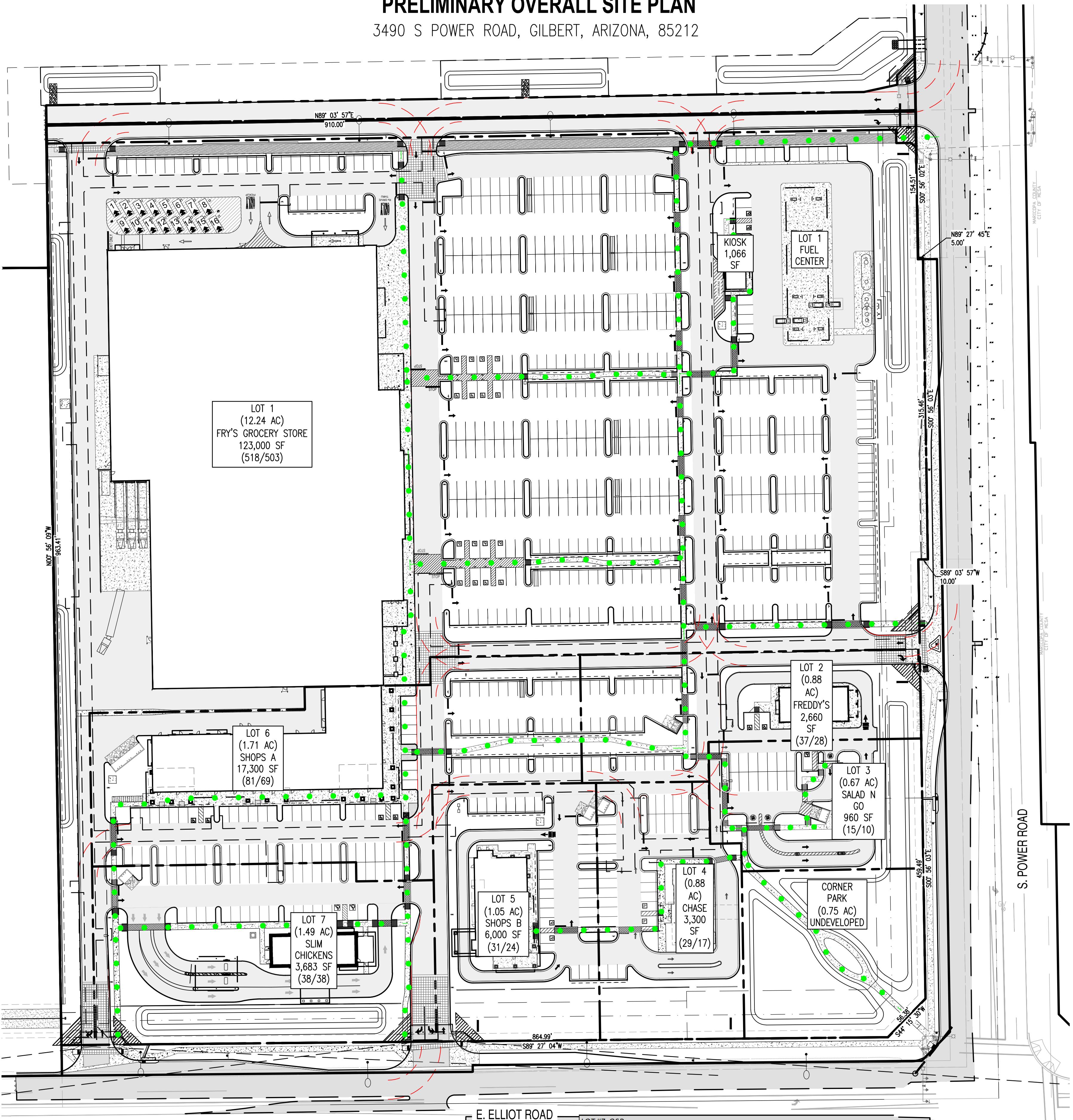
05/24/2023

DEVELOPMENT SUMMARY TABLE:							
<u>PROJECT ADDRESS:</u>							
<b>NWC of POWER &amp; ELLIOT, GILBERT, AZ 85212</b>							
<u>LEGAL DESCRIPTION:</u>							
<u>PROJECT DESCRIPTION:</u>							
<b>SITE PLAN DEVELOPMENT PROPOSAL</b>							
<u>DEVELOPMENT INFORMATION:</u>							
APN: 304-16-007C, 304-16-007D, 304-16-954							
EXISTING ZONING:	<b>MORRISON RANCH</b>						
PROPOSED ZONING:	<b>GC</b>						
ADJACENT ZONING:	<b>GC</b>						
PROPOSED USE:	<b>RETAIL</b>						
CONSTRUCTION TYPE:	<b>II-B</b>						
OCCUPANCY:	<b>M</b>						
LOT 1 PROPOSED GROCERY & FUEL	524,652	SF*	<b>12.04</b>				
LOT 2 PROPOSED QSR	38,445	SF	<b>0.88</b>				
LOT 3 PROPOSED QSR	29,298	SF	<b>0.67</b>				
- CORNER LANDSCAPE	32,610	SF	<b>0.75</b>				
LOT 4 PROPOSED BANK	38,530	SF	<b>0.88</b>				
LOT 5 PROPOSED SHOPS B	45,740	SF	<b>1.05</b>				
LOT 6 PROPOSED SHOPS A	83,168	SF*	<b>1.91</b>				
LOT 7 PROPOSED QSR	64,887	SF	<b>1.49</b>				
- NORTH TRACT R/W	20,433		<b>0.47</b>				
[* changed from survey]	877,763						
LOT SIZE/BOUNDARY:	NET	877,763	SF	<b>20.15</b>	ACRES		
<u>BUILDING AREA SUMMARY:</u>							
LOT 1 PROPOSED GROCERY	<b>123,000</b>		SF				
PROPOSED CANOPY	<b>6,880</b>		SF				
PROPOSED KIOSK	<b>1,066</b>		SF				
LOT 2 PROPOSED QSR	<b>2,660</b>		SF				
LOT 3 PROPOSED QSR	<b>960</b>		SF				
LOT 4 PROPOSED BANK	<b>3,300</b>		SF				
LOT 5 PROPOSED SHOPS B	<b>6,000</b>		SF				
LOT 6 PROPOSED SHOPS A	<b>17,300</b>		SF				
LOT 7 PROPOSED QSR	<b>3,683</b>		SF				
BUILDING TOTAL AREA:	<b>164,849</b>		SF				
<u>LOT COVERAGE:</u>							
MAX BLDG COV	<b>30%</b>	FAR	GROSS LOT AREA				
PROPOSED BLDG COV	<b>16%</b>						
MIN LANDSCAPE	<b>15%</b>	MIN	NET LOT AREA				
PROPOSED LANDSCAPE	<b>21%</b>						
<u>BUILDING HEIGHT:</u>							
MAX BLDG HEIGHT:	<b>45'</b>						
PROPOSED HEIGHT	<b>35'</b>						
SETBACKS:	REQ'D	<b>PROPOSED</b>					
<b>BUILDING:</b>							
FRONT (POWER RD):	<b>35</b>		<b>72</b>				
RIGHT SIDE:	<b>25</b>		<b>125</b>				
LEFT SIDE (ELLIOT RD):	<b>25</b>		<b>84</b>				
REAR:	<b>20</b>		<b>62</b>				
REAR (ADJ-RES):	<b>45</b>		<b>-</b>				
<b>LANDSCAPE:</b>							
FRONT (POWER RD):	<b>40</b>		<b>50</b>				
RIGHT SIDE:	<b>20</b>		<b>20</b>				
LEFT SIDE (ELLIOT RD):	<b>40</b>		<b>60</b>				
REAR:	<b>20</b>		<b>20</b>				
<u>PARKING REVIEW:</u>							
<u>LOT #1, ANCHOR:</u>							
BUILDING #1 USE:	<b>GROCERY, MAJOR ANCHOR</b>						
LOT AREA:	<b>524,652</b>	SF	<b>12.04</b>		AC		
ANCHOR AREA:	<b>123,000</b>	SF					
REQUIRED PARKING:	<b>492</b>		<b>250</b>	PER SF			
BUILDING #2 USE:	<b>FUEL CENTER</b>						
KIOSK AREA:	<b>1,066</b>	SF			REQ		
CANOPY AREA:	<b>6,880</b>	SF			REQ		
REQUIRED PARKING:	<b>11</b>		<b>100</b>	PER SF			
TOTAL REQUIRED PARKING:	<b>503</b>						
PROPOSED PARKING:	<b>505</b>						
RATIO:	<b>4.11</b>	PER 1000					
REQUIRED ADA PARKING (GS):	<b>10</b>						
REQUIRED ADA PARKING (FC):	<b>1</b>						
TOTAL REQUIRED ADA PARKING:	<b>11</b>						
PROPOSED ADA PARKING:	<b>17</b>	(INCLUDED)					
<u>LOT #2 QSR:</u>							
BUILDING #1 USE:	<b>RESTAURANT</b>						
LOT AREA:	<b>38,445</b>	SF	<b>0.88</b>		AC		
BUILDING AREA:	<b>2,660</b>	SF					
EXT. DINING AREA	<b>300</b>	SF					
REQUIRED PARKING: GROSS	<b>27</b>		<b>100</b>	PER SF			
REQUIRED PARKING: EXT. DINING	<b>1</b>		<b>400</b>				
TOTAL REQUIRED PARKING:	<b>28</b>		<b>400</b>				
PROPOSED PARKING:	<b>28</b>						
RATIO:	<b>10.53</b>	PER 1000					
REQUIRED ADA PARKING:	<b>2</b>						
PROPOSED ADA :	<b>2</b>						
<u>LOT #3, QSR:</u>							
BUILDING USE:	<b>RESTAURANT</b>						
LOT AREA:	<b>29,298</b>	SF	<b>0.67</b>		AC		
BUILDING AREA:	<b>960</b>	SF					
EXT. DINING AREA	<b>-</b>	SF					
REQUIRED PARKING: GROSS	<b>10</b>		<b>100</b>	PER SF			
REQUIRED PARKING: EXT. DINING	<b>-</b>		<b>400</b>				
TOTAL REQUIRED PARKING:	<b>10</b>		<b>400</b>				
PROPOSED PARKING:	<b>15</b>						
RATIO:	<b>15.63</b>	PER 1000					
REQUIRED ADA PARKING:	<b>1</b>						
PROPOSED ADA PARKING:	<b>1</b>						
<u>MORRISON RANCH CORNER PARK:</u>							
BUILDING USE:	<b>N/A</b>						
LOT AREA:	<b>32,610</b>	SF	<b>0.75</b>		AC		
<u>LOT #4, BANK:</u>							
BUILDING USE:	<b>BANK</b>						
LOT AREA:	<b>38,530</b>	SF	<b>0.88</b>		AC		
BUILDING AREA:	<b>3,300</b>	SF					
REQUIRED PARKING:	<b>17</b>		<b>200</b>	PER SF			
PROPOSED PARKING:	<b>29</b>						
RATIO:	<b>8.79</b>	PER 1000					
REQUIRED ADA:	<b>2</b>						
PROPOSED ADA:	<b>2</b>						

# **FRY'S 655**

# **PRELIMINARY OVERALL SITE PLAN**

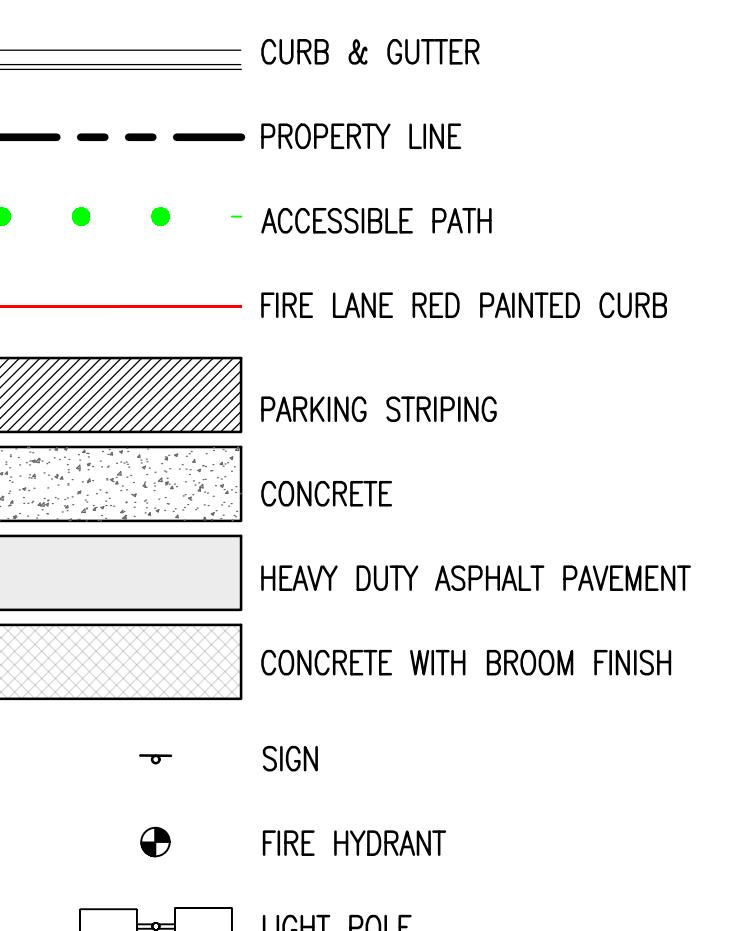
3490 S POWER ROAD, GILBERT, ARIZONA, 85212



## **SITE PLAN NOTES:**

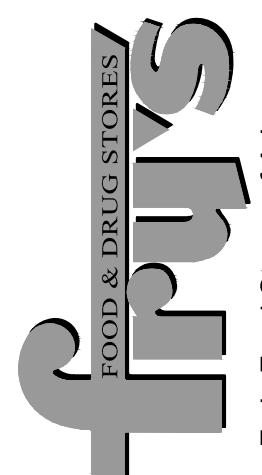
1. ALL SITE IMPROVEMENTS INCLUDING LANDSCAPE AND SITE CLEANUP, MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN A PHASE
  2. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
  3. SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
  4. ALL EXTERNAL LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT RAYS FROM BEING DIRECTED OFF THE PROPERTY UPON WHICH THE LIGHTING IS LOCATED.
  5. THE FIRE DEPARTMENT DOUBLE CHECK ASSEMBLY SHALL BE PAINTED TO MATCH THE ADJACENT WALL COLOR.
  6. SIGNS REQUIRE SEPARATE PERMIT.
  7. THERE SHALL BE NO OBSTRUCTION OF SITE SIGNAGE BY LANDSCAPE PLANT MATERIAL, AND THAT SUCH MUST BE RELOCATED/CORRECTED BEFORE THE FIELD INSPECTION WILL ACCEPT/PASS THE SIGN IN THE FIELD OR ISSUE A CERTIFICATE OF OCCUOANCY FOR A PROJECT.
  8. ALL TRANSFORMER BOXES, METER PANELS AND ELECTRIC EQUIPMENT, BACKFLOW DEVICES OR ANY OTHER UTILITY EQUIPMENT NOT ABLE OR REQUIRED TO BE SCREENED BY LANDSCAPING OR WALLS, SHALL BE PAINTED TO MATCH BUILDING COLOR.
  9. ALL WALLS OVER 7 IN HEIGHT, SITE LIGHTING, SIGNAGE, RAMADAS AND SHADE STRUCTURES REQUIRE SEPARATE SUBMITTAL AND PERMITS.
  10. LIGHT FIXTURES ARE NOT TO ENCROACH TRASH ENCLOSURE WALLS.

## **PROPOSED LEGEND:**



# FIRE TURNING TEMPLATE

## (NTS)



PROJECT	MORRISON RANCH COMMERCIAL CENTER	LOCATION	3490 SOUTH POWER RD GILBERT, AZ, 85234
DRAWN	_____	AH	05/24/201
DESIGNED	_____	TM	05/24/201
QC	_____		
FINAL QC	_____		

ATE:	05/24/2023	
SUED FOR:	<b>MINOR SITE PLAN AMENDMENT</b>	
VISION NO.:	DATE:	
		
		
		
		

210317

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HEET TITLE:

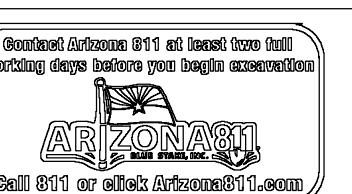
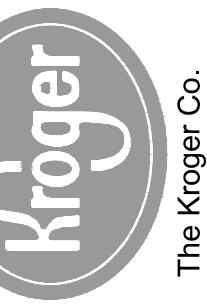
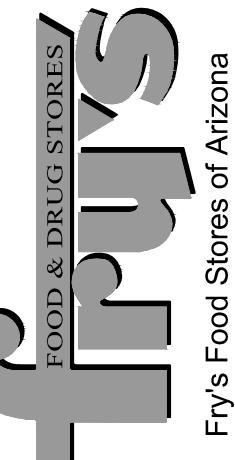
**PRELIMINARY  
OVERALL SITE  
PLAN**

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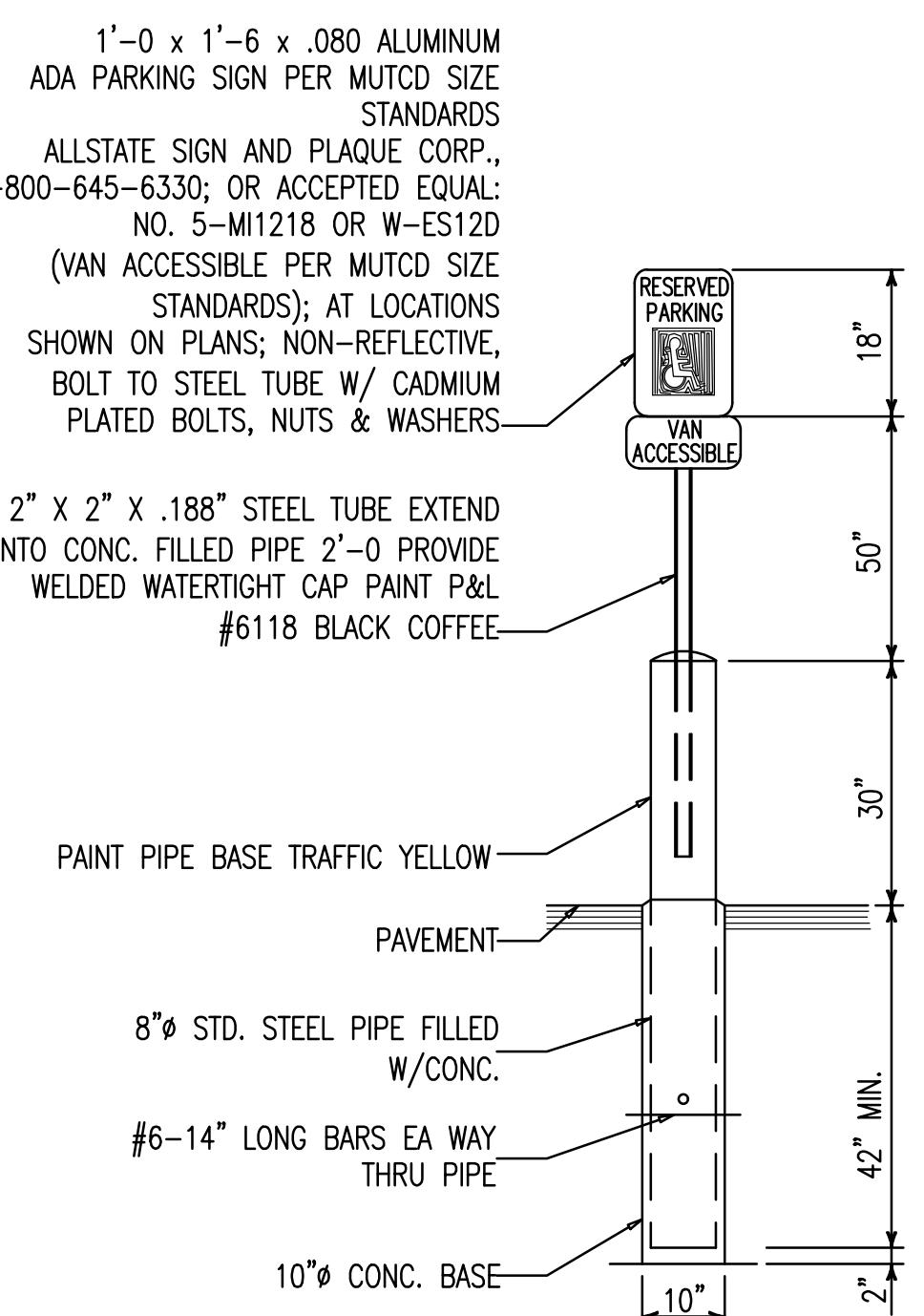
AGE NO.:	SHEET NO.:
2 OF 6	<b>C2.01</b>







PROJECT: MORRISON RANCH COMMERCIAL CENTER  
LOCATION: 3490 SOUTH POWER RD  
CLIBERT, AZ, 85334  
DRAWN: AH 05/24/2023  
DESIGNED: TM 05/24/2023  
QC: 05/24/2023  
FINAL QC: 05/24/2023  
PROJ. MGR: AF 05/24/2023  
DATE: 05/24/2023  
ISSUED FOR: MINOR SITE PLAN AMENDMENT  
REVISION NO.: DATE:  
JOB NO.: 210317  
SHEET TITLE: PRELIMINARY SITE PLAN DETAILS  
PAGE NO.: 5 OF 6 SHEET NO.: C2.20



- NOTES:
1. INSTALL ALL SIGNS WHERE INDICATED ON SITE PLAN.
  2. ADJUST MOUNTING HEIGHTS TO MEET LOCAL CODES WHERE APPLICABLE.
  3. SET ALL POSTS IN 10" DIAMETER x 36" DEEP CONCRETE FOUNDATION.
  4. 4" x 6'-0" CONCRETE FILLED SCHEDULE 40 STEEL POST CENTERED IN FOUNDATION, PAINTED YELLOW, SEE SPECS.
  5. 2 1/4" WIDE x 6'-0" LONG U-CHANNEL POST WITH BAKED ON GREEN ENAMEL FINISH.

KROGER TYPICAL ACCESSIBLE PARKING SIGN CSD-61  
NTS

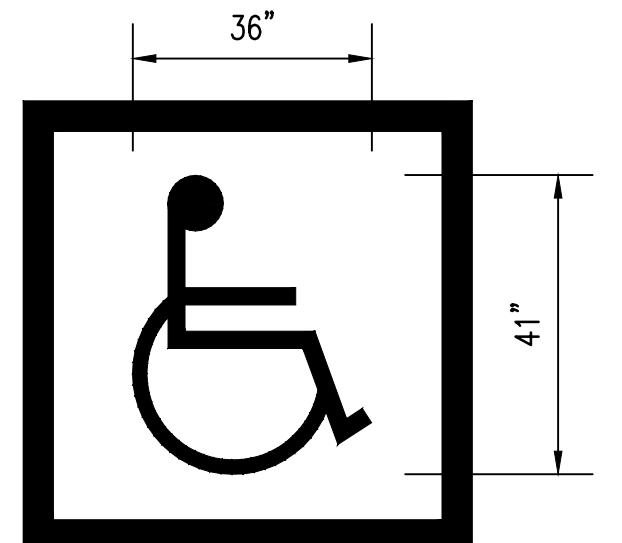
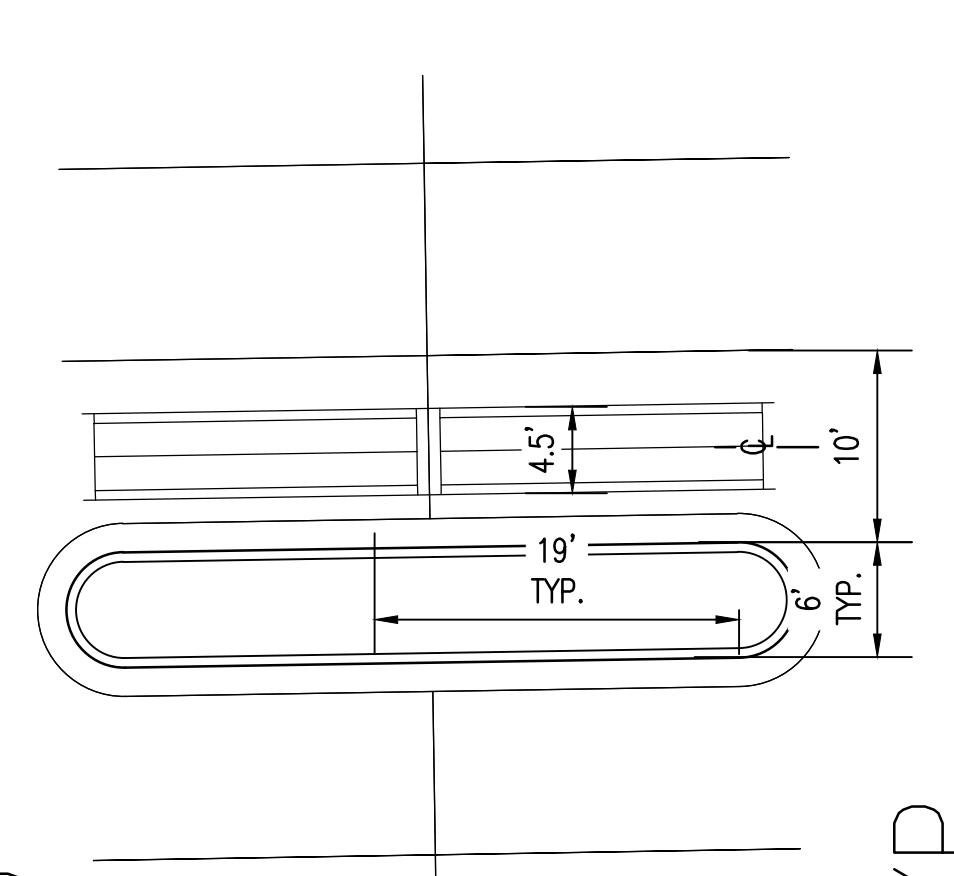


IMAGE WIDTH & HEIGHT	STENCIL SIZE (SPRAY PAINT)
36" x 41"	44" x 56"

SYMBOL OF ACCESSIBILITY  
NTS

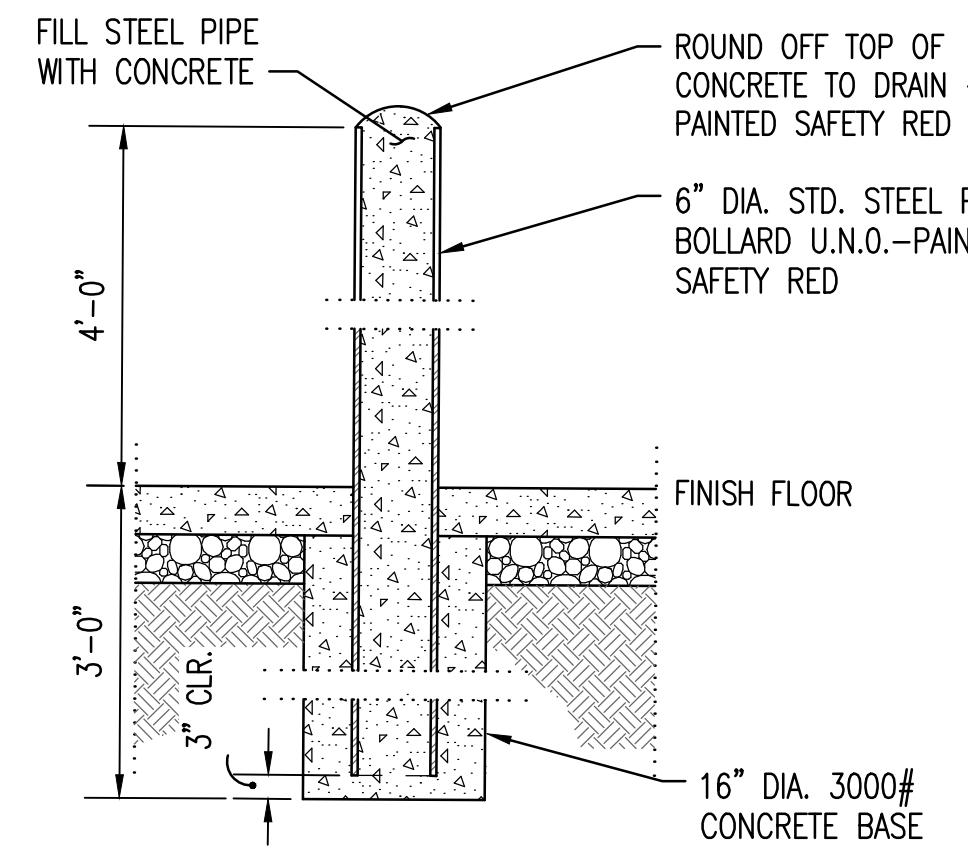
ACCESSIBLE PARKING SIGNAGE  
NTS



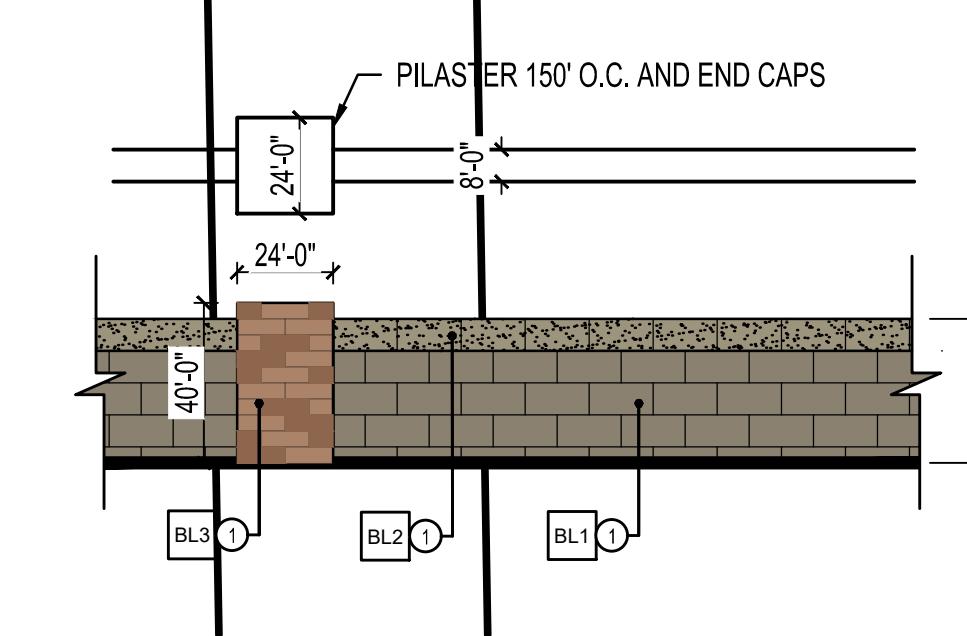
STANDARD PARKING PER PLANS (TYP.)  
STANDARD PARKING PER PLANS (TYP.)

- NOTES:
1. ASSEMBLE PER MANUFACTURERS INSTRUCTIONS AND SET IN PLACE.
  2. SET CORRAL CENTERED BETWEEN PARKING STALL LINES

TYPICAL CART CORRAL / PASS THRU PER KROGER STANDARD DETAILS  
NTS

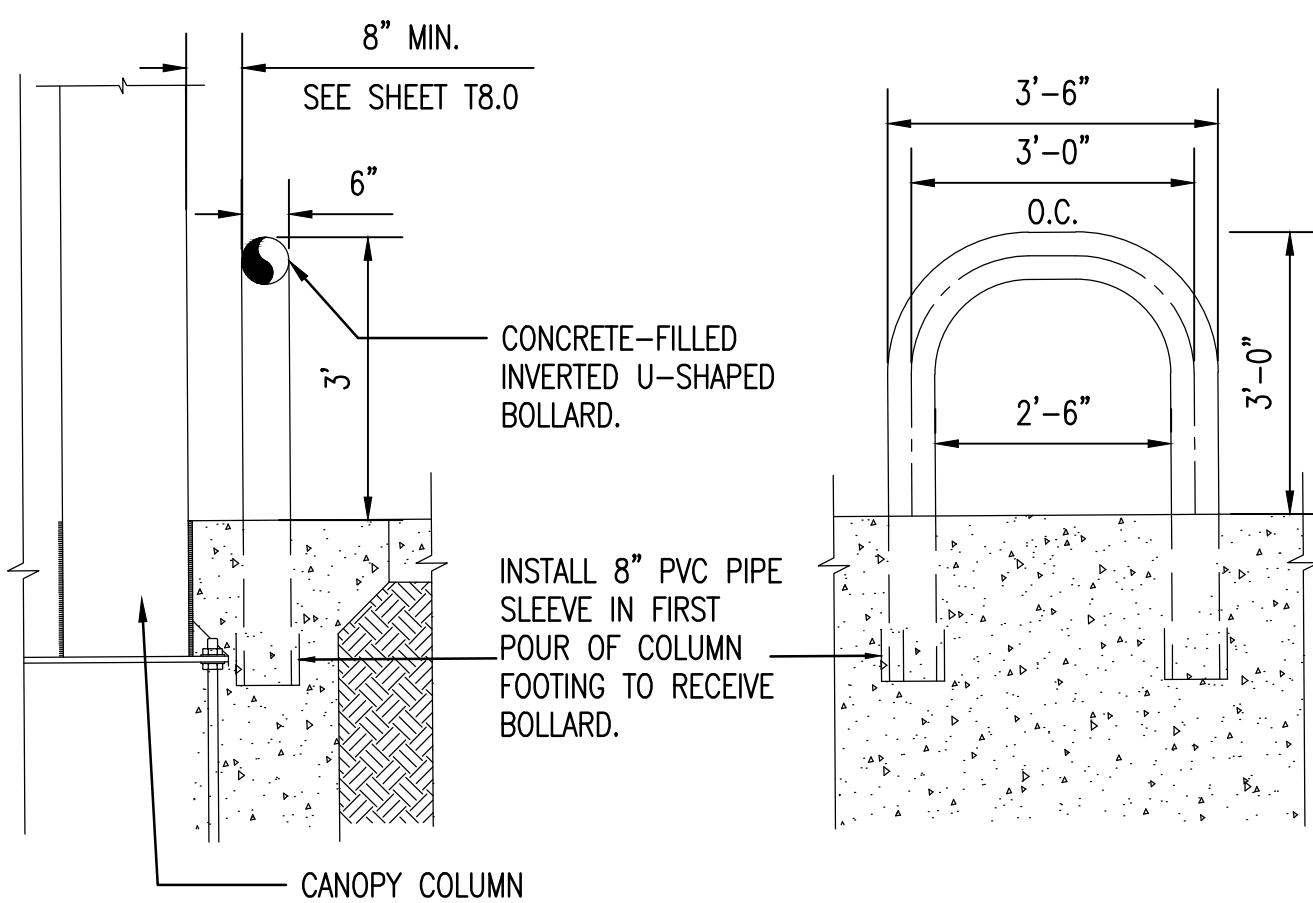


STEEL PIPE BOLLARD  
NTS



TYPICAL SCREEN WALL  
ELEVATION DETAIL

1/4=1'-0"



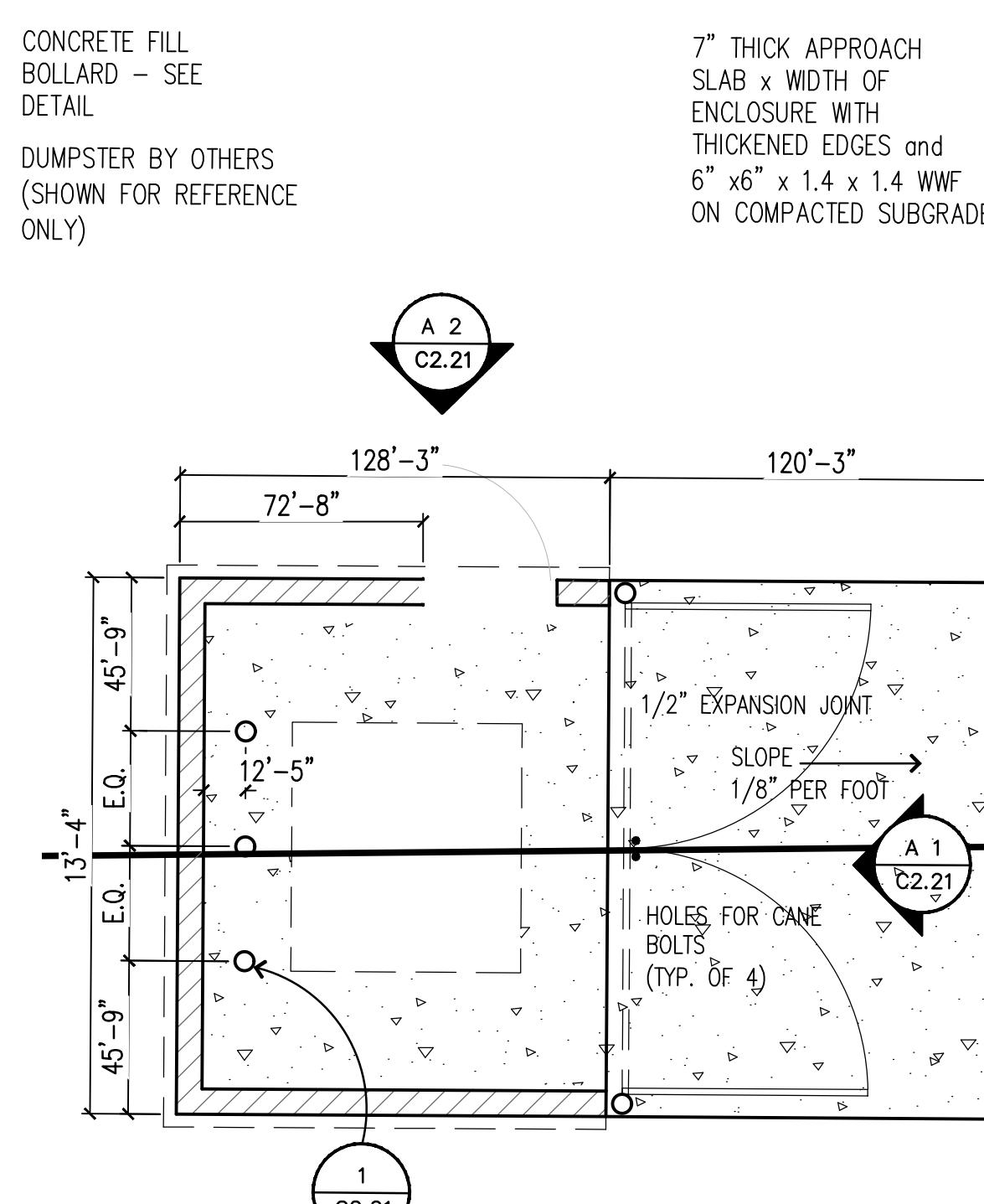
U-SHAPED BOLLARD  
NTS

KEYED NOTES:

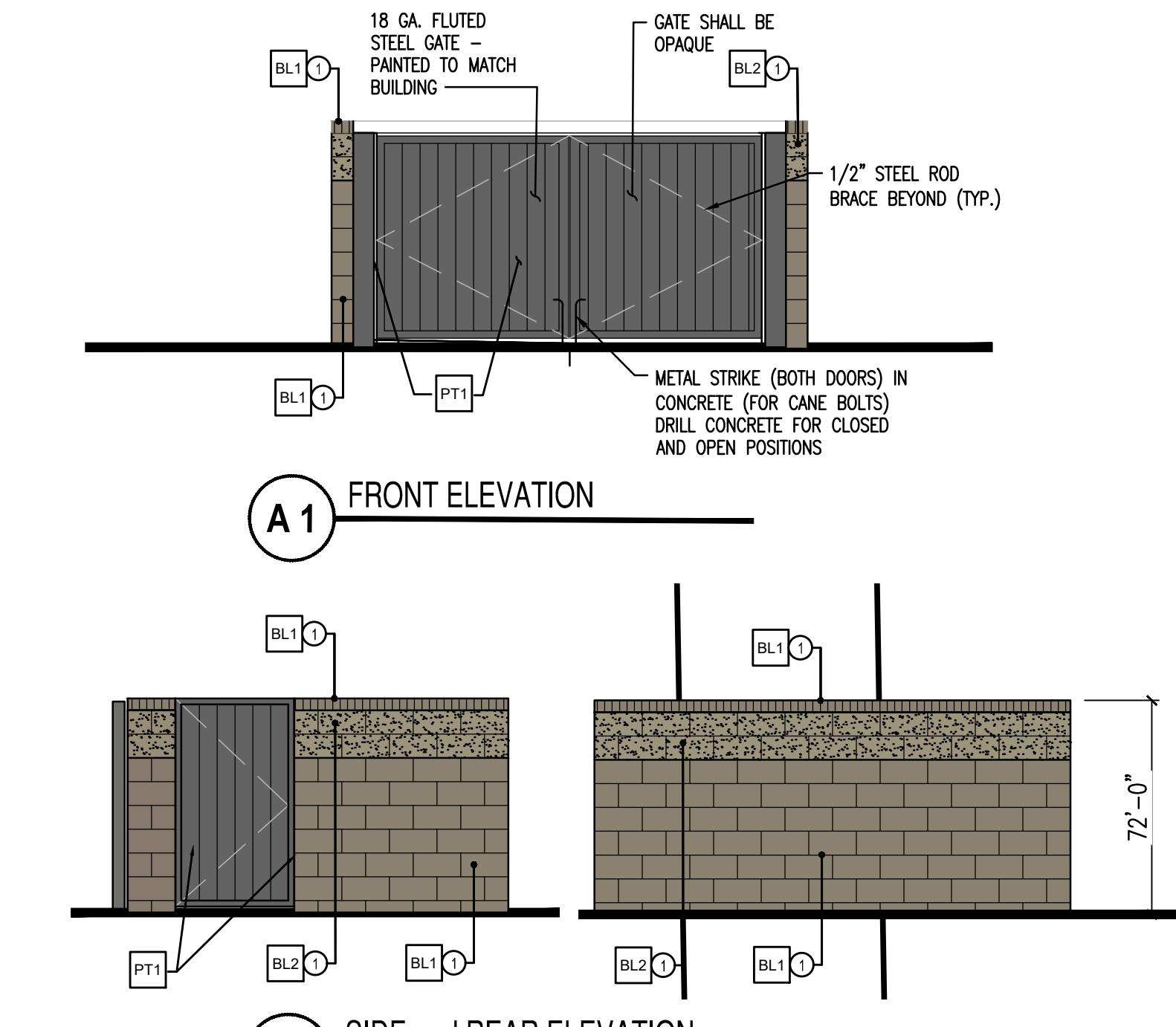
1. CMU BLOCK; RE: COLOR/FINISH LEGEND
2. NOT USED

COLOR/FINISH LEGEND:

- [BL1] DECORATIVE, INTEGRALLY COLORED CMU - SPLIT FACE COLOR: CABCO, CHOCOLATE NW. 8" TALL UNITS.
- [BL2] DECORATIVE, INTEGRALLY COLORED CMU - RAKED FACE COLOR: CABCO, COCO BROWN, 8" TALL UNITS.
- [BL3] DECORATIVE, INTEGRALLY COLORED CAST BRICK - SMOOTH FACE COLOR: QUIK BRIK, LAWSON BLEND, 4" TALL UNITS.
- [PT1] PAINT COLOR: SHERWIN WILLIAMS SW7018 'DOVETAIL'



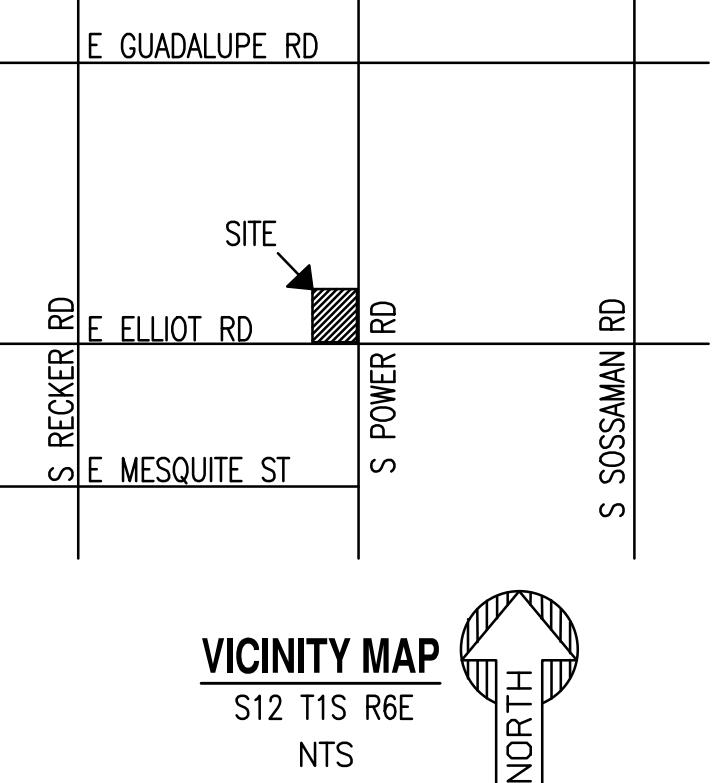
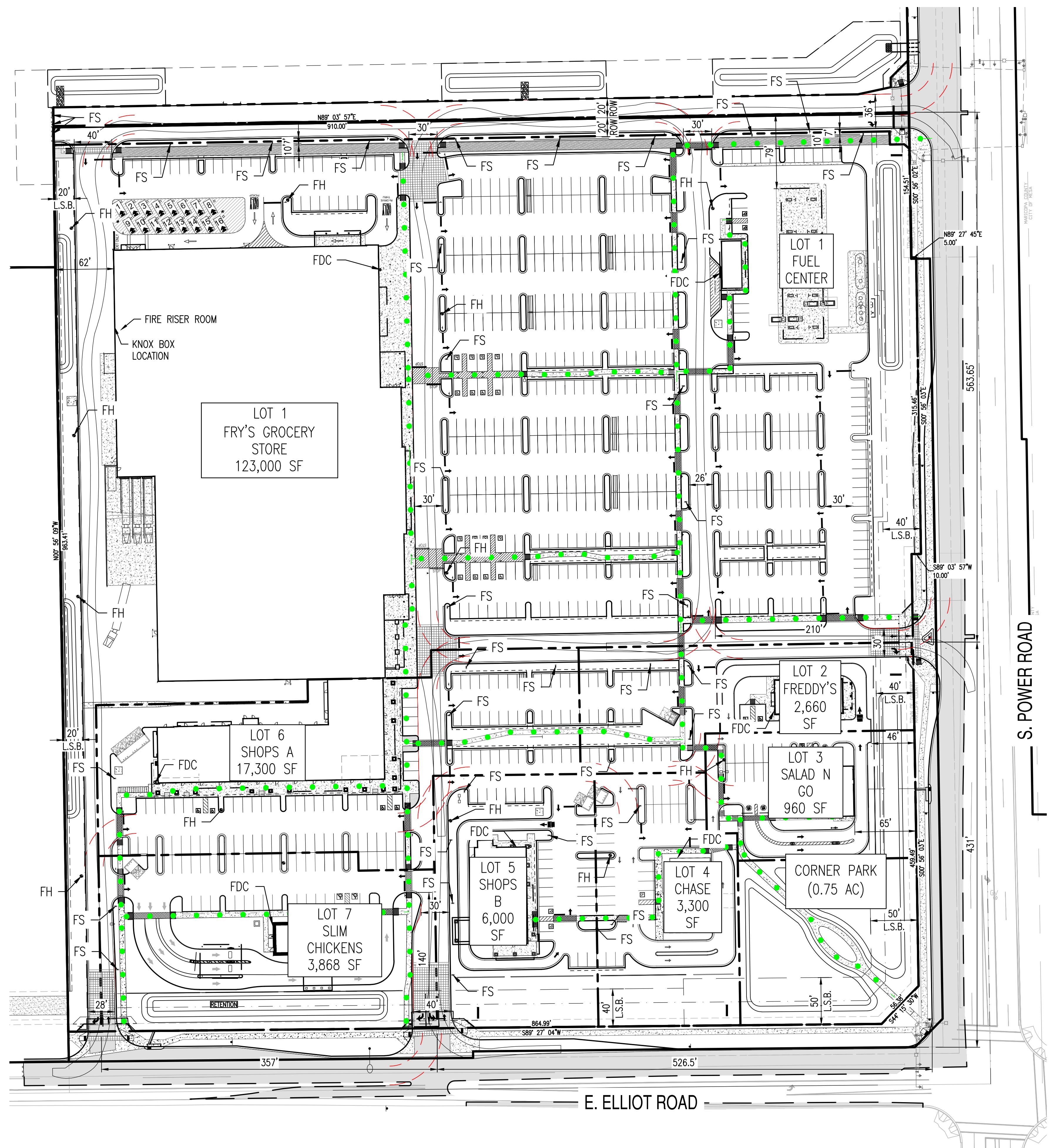
4



# FRY'S 655

## FIRE ACCESS PLAN

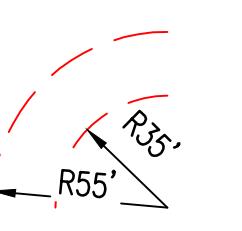
3490 S POWER ROAD, GILBERT, ARIZONA, 85212



### PROPOSED LEGEND:

- PROPERTY LINE
- ACCESSIBLE PATH
- FIRE LANE, RED PAINTED CURB
- FIRE HYDRANT (FH)
- FIRE DEPARTMENT CONNECTION (FDC)
- SIGNS (FS)
- AASHTO SU-40

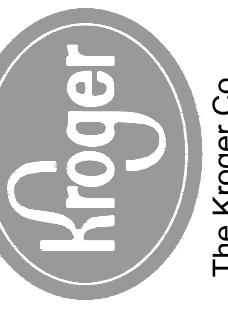
### FIRE TURNING TEMPLATE (NTS)



SUSTAINABILITY  
ENGINEERING  
GROUP



**fr**ry's  
FOOD & DRUG STORES  
Fry's Food Stores of Arizona  
500 South 3rd Avenue, Bldg A  
Tucson, AZ 85733  
Phone: (520) 907-1944  
Fax: (520) 907-1974



PROJECT	MORRISON RANCH COMMERCIAL CENTER	LOCATION	3490 SOUTH POWER RD GILBERT, AZ, 85234
DRAWN	AH	05/24/2023	
DESIGNED	TM	05/24/2023	
QC			
FINAL QC			
PROJ. MGR.	AF	05/24/2023	
DATE:		05/24/2023	
ISSUED FOR:		MINOR SITE PLAN AMENDMENT	
REVISION NO.:			
JOB NO.:		210317	
SHEET TITLE:			
FIRE ACCESS PLAN			
PAGE NO.:			
SHEET NO.:			