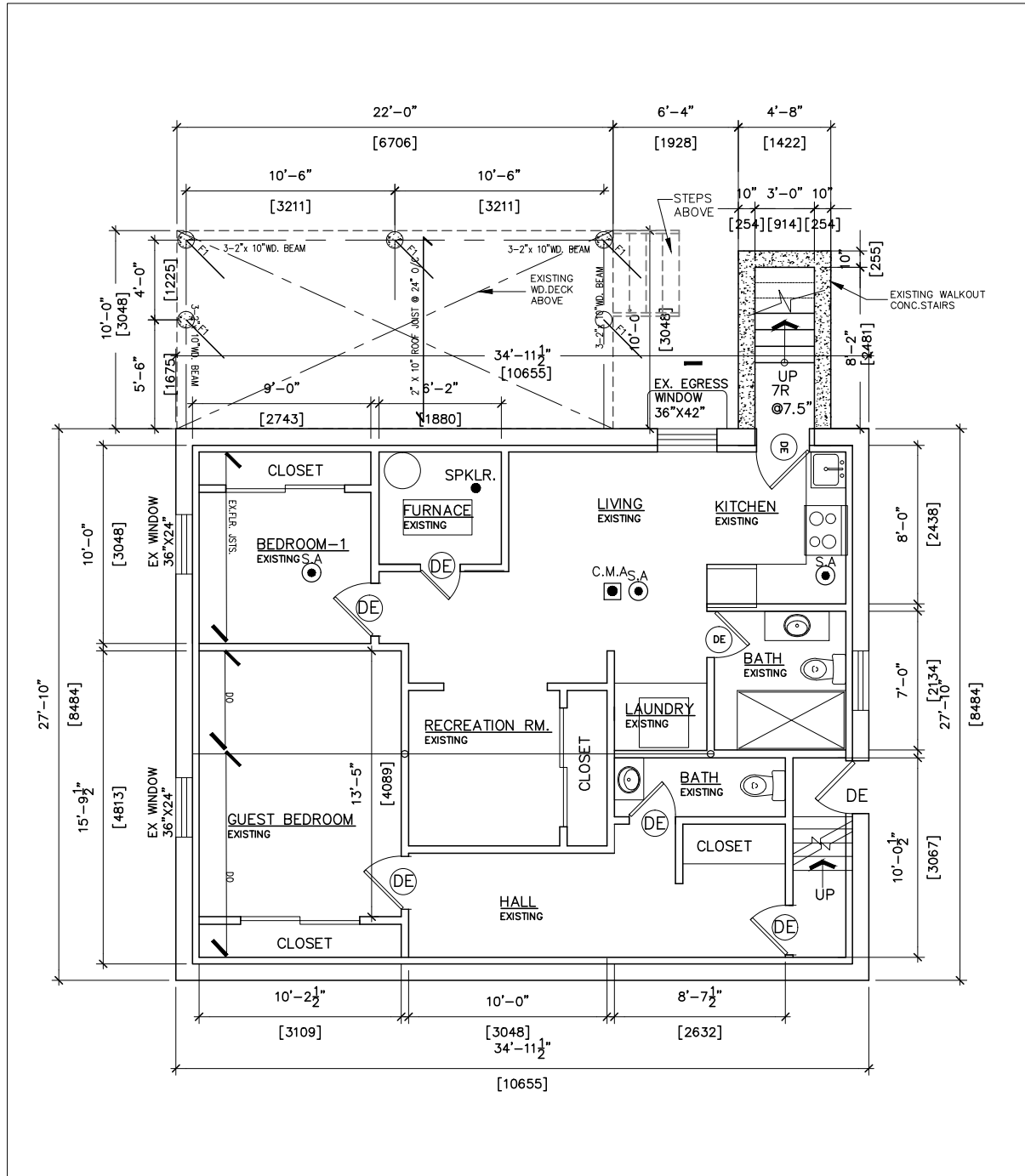
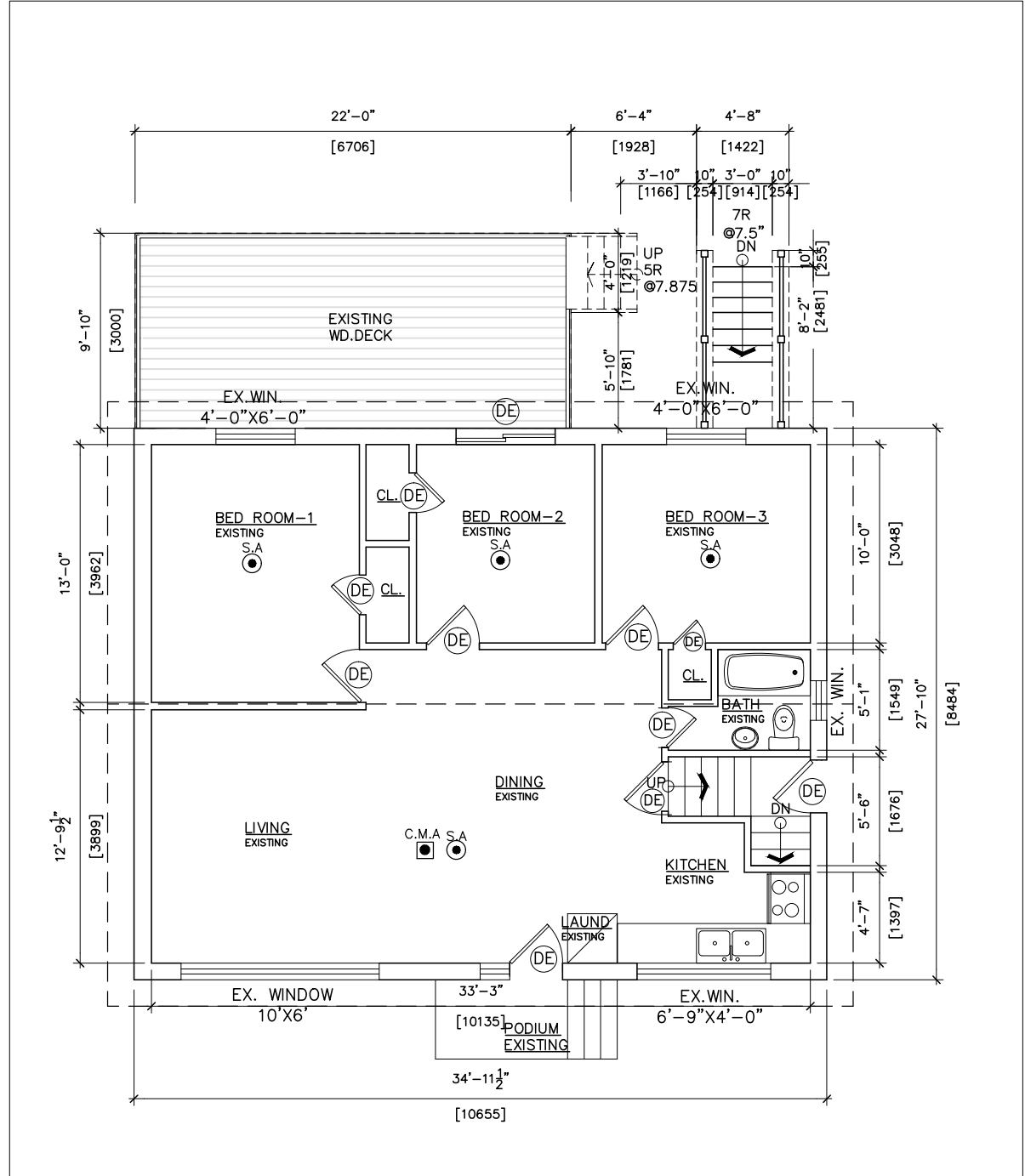


**PROPOSED ENCLOSED NON HEATED PORCH  
FOR SINGLE STOREY BUNGLOW AT  
3 HAGGERT AVENUE, BRAMPTON, ONTARIO.**



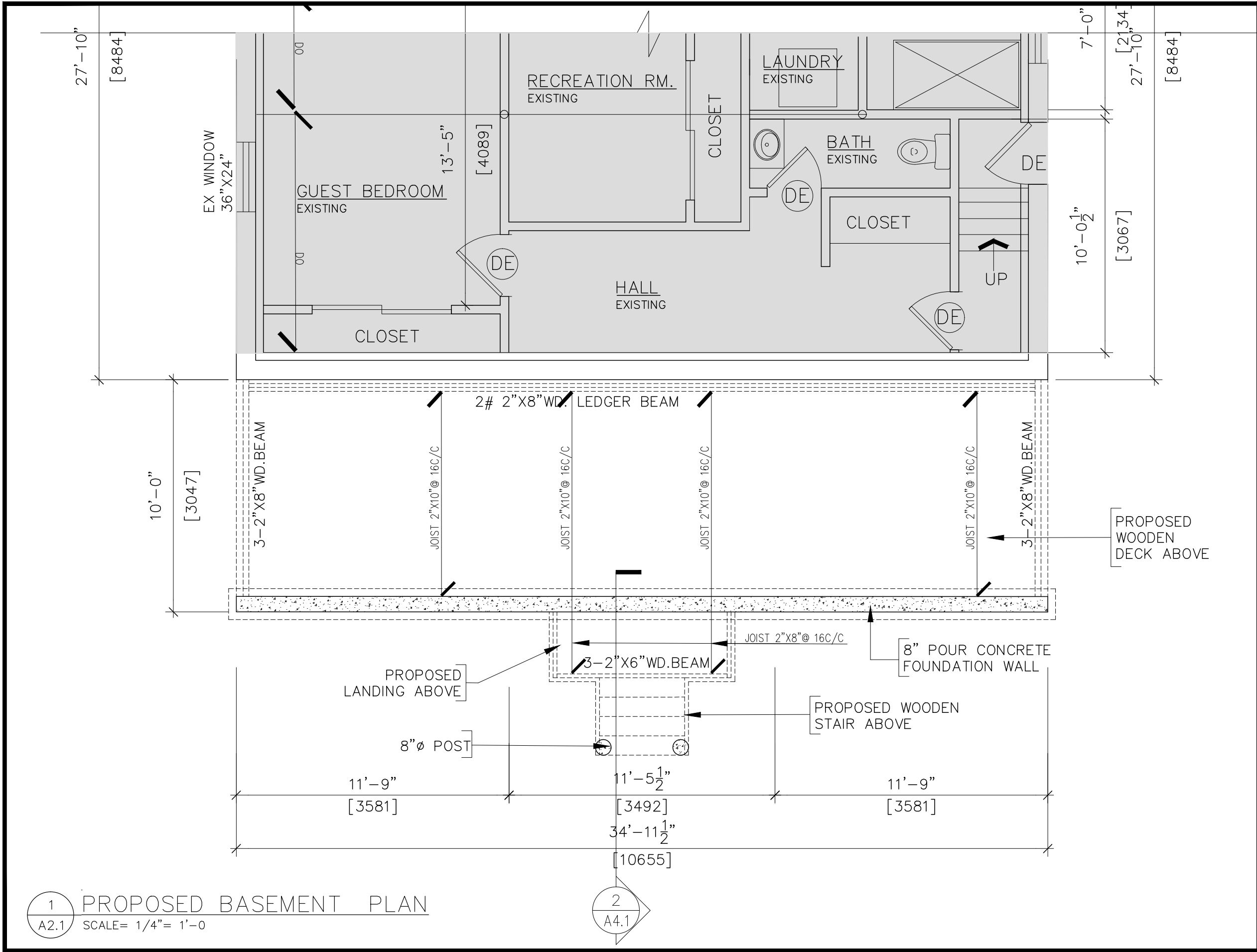


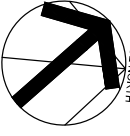
1 EXISTING BASEMENT FLOOR PLAN  
A2.0 SCALE= 1/8"= 1'-0

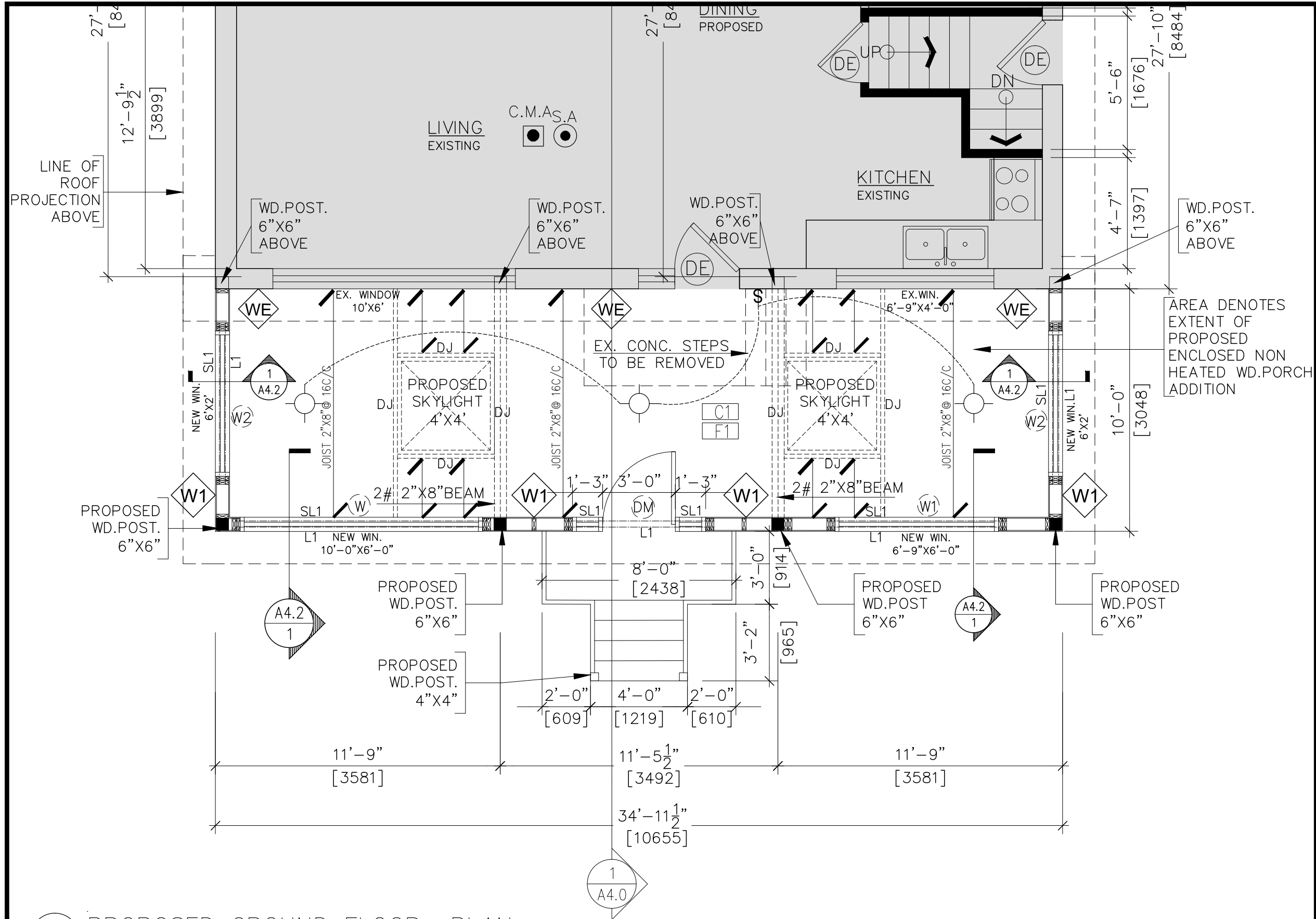


2 EXISTING GROUND FLOOR PLAN  
A2.0 SCALE= 1/8"= 1'-0

<div>Project</div> <div>PROPOSED ENCLOSED, NON-HEATED PORCH FOR SINGLE STOREY BUNGALOW AT 3 HAGGERT AVENUE , BRAMPTON, ONTARIO L6Y 2C1</div> <div>Owners: GAYATRI ANAND</div>	Sheet title: EXISTING FLOOR PLANS				
	Revisions	Drawn By: SF	Checked By: SA		
	△ -	Scale: AS NOTED	Date: 11.08.2021		
	△ -		D'wg. no.		
	△ -			A2.0	
			<div><div>TRUE NORTH</div></div>		
			REV. NO.: -		



Project		Sheet title:	
<div>PROPOSED ENCLOSED, NON-HEATED PORCH FOR SINGLE STOREY BUNGALOW AT 3 HAGGERT AVENUE , BRAMPTON, ONTARIO L6Y 2C1</div> <div>Owners: GAYATRI ANAND</div>		PROPOSED BASEMENT PLAN	
		Revisions	Drawn By: SF
		<div>△</div>	Checked By: SA
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		<div>△</div>	Dwg. no.
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		<div>△</div>	REV. NO: -

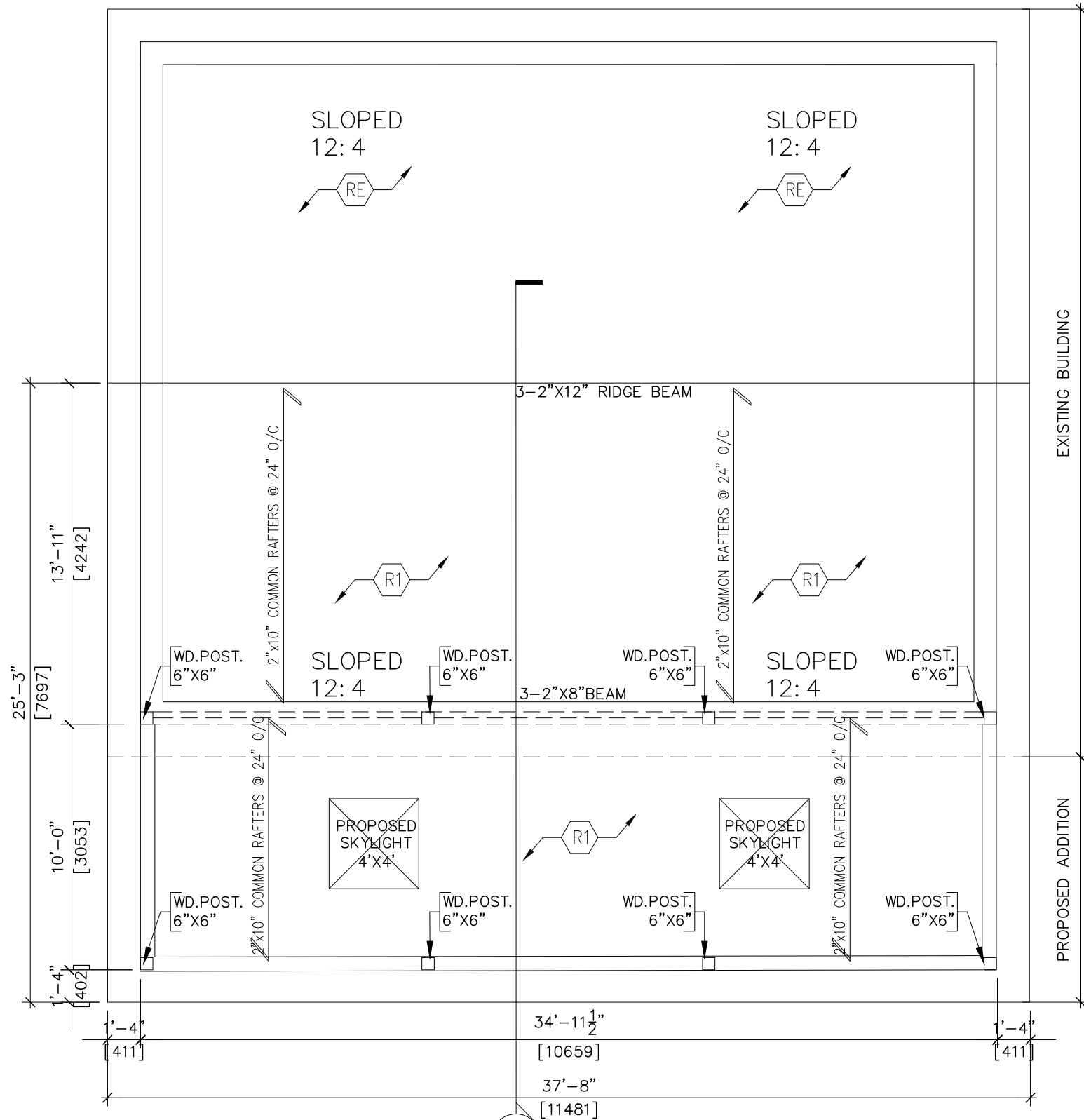


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Revisions		Scale: AS NOTED	Date: 11.08.2021
			Dwg. no.
			A2.2
			REV. NO. -

Project  
PROPOSED  
ENCLOSED, NON-HEATED  
PORCH FOR SINGLE STOREY  
BUNGALOW AT 3 HAGGERT  
AVENUE, BRAMPTON,  
ONTARIO L6Y 2C1

Owners:  
GAYATRI ANAND

1  
A2.2  
PROPOSED GROUND FLOOR PLAN  
SCALE= 1/4"= 1'-0"



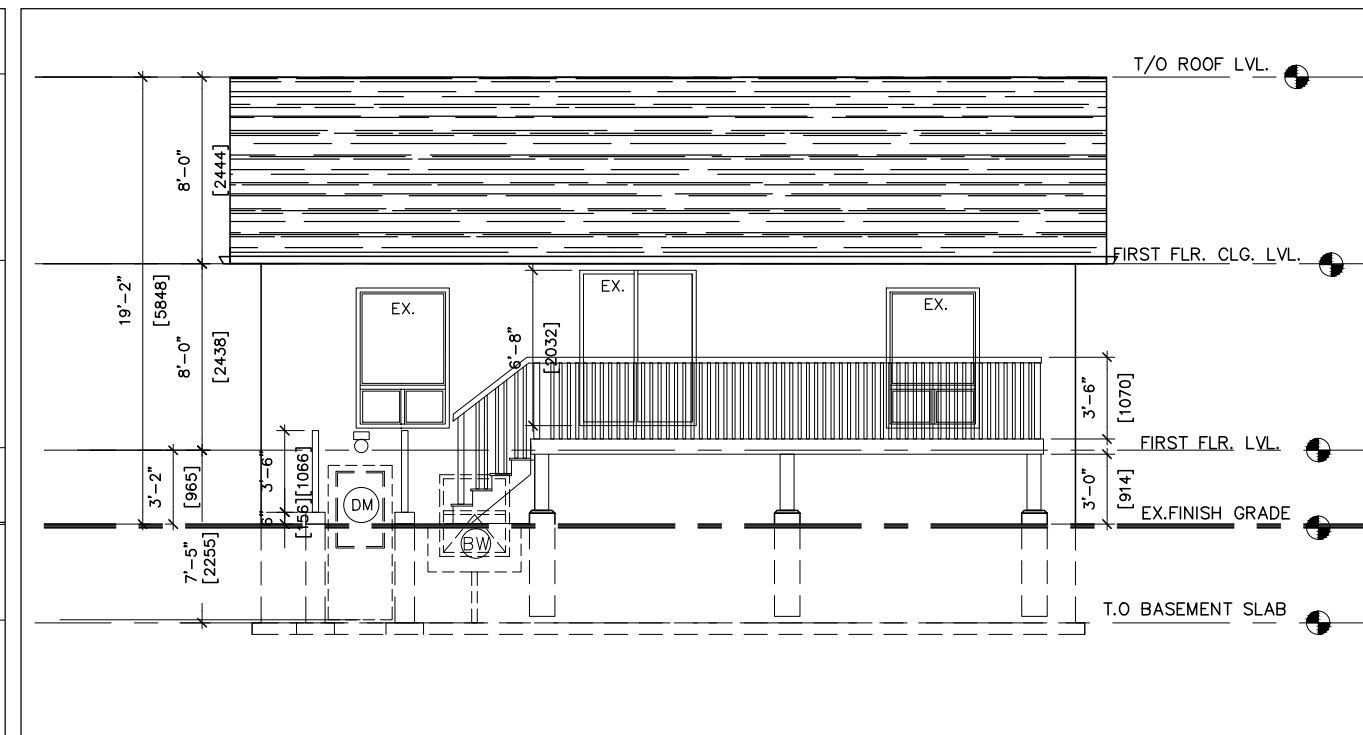
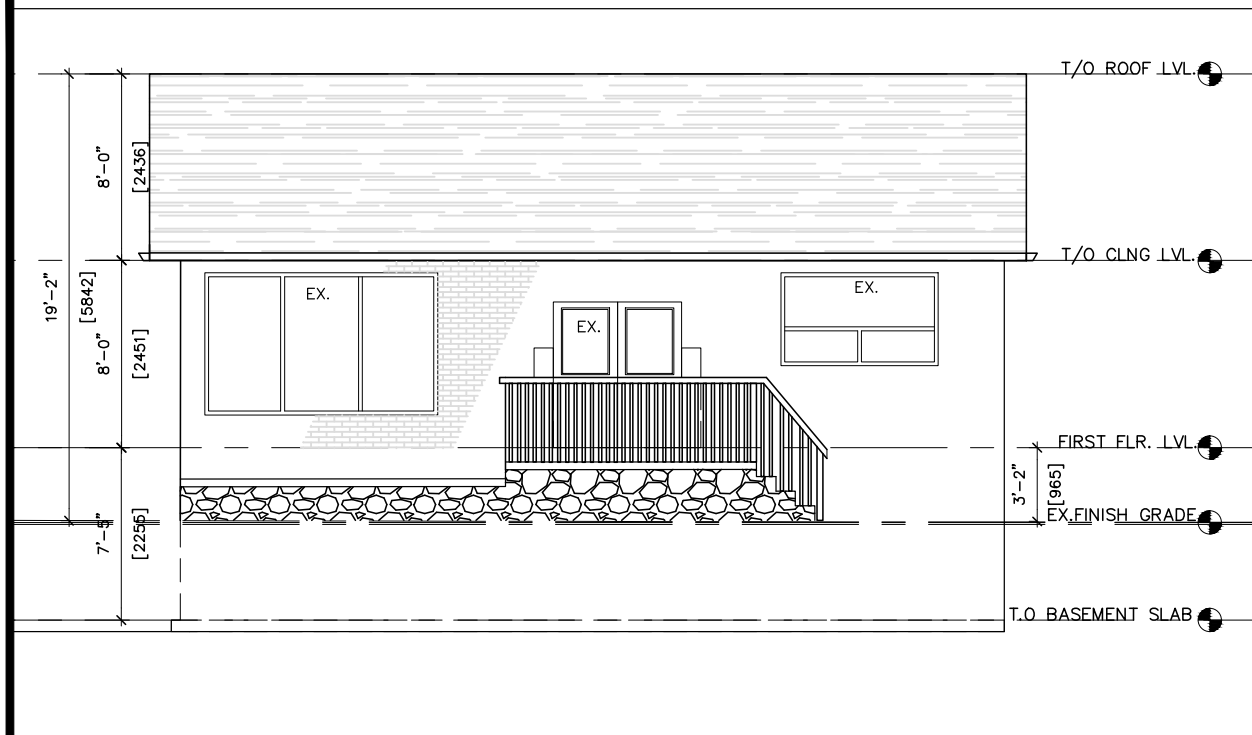
1  
A2.3

PROPOSED ROOF FRAMING PLAN

SCALE= 3/16"= 1'-0

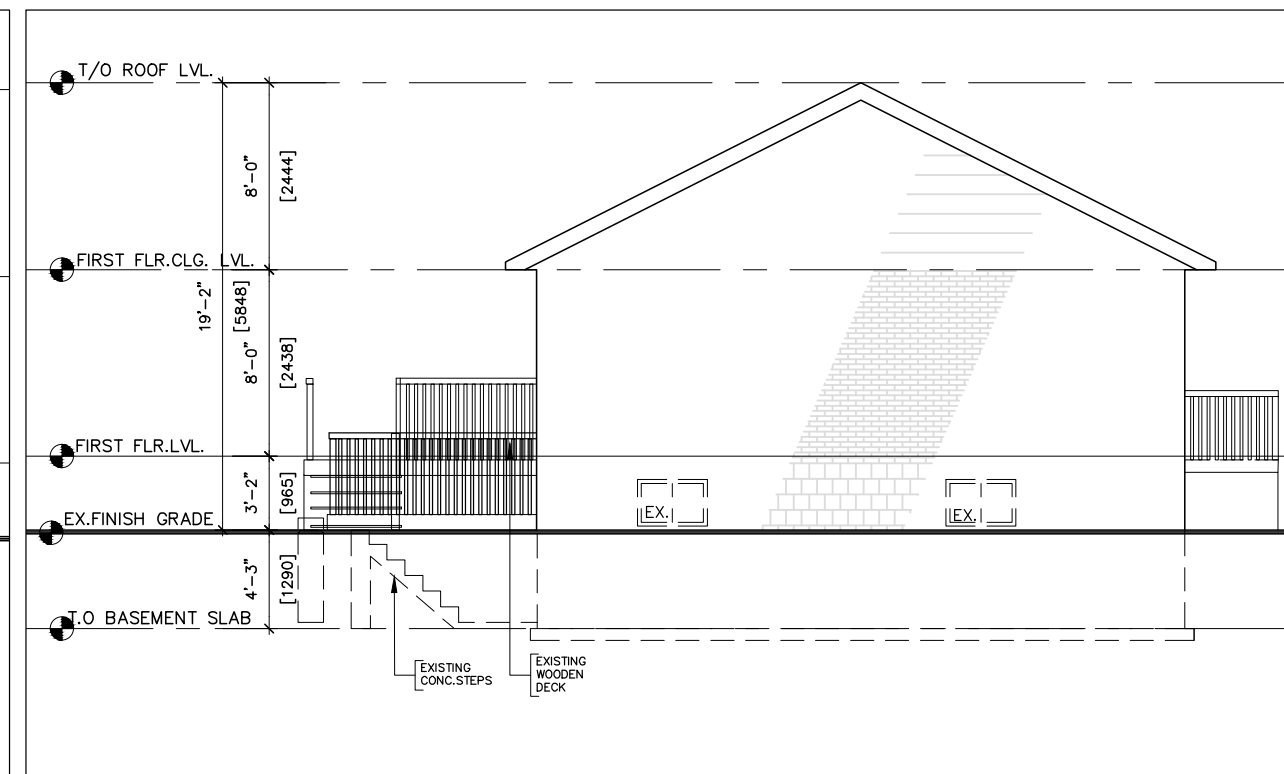
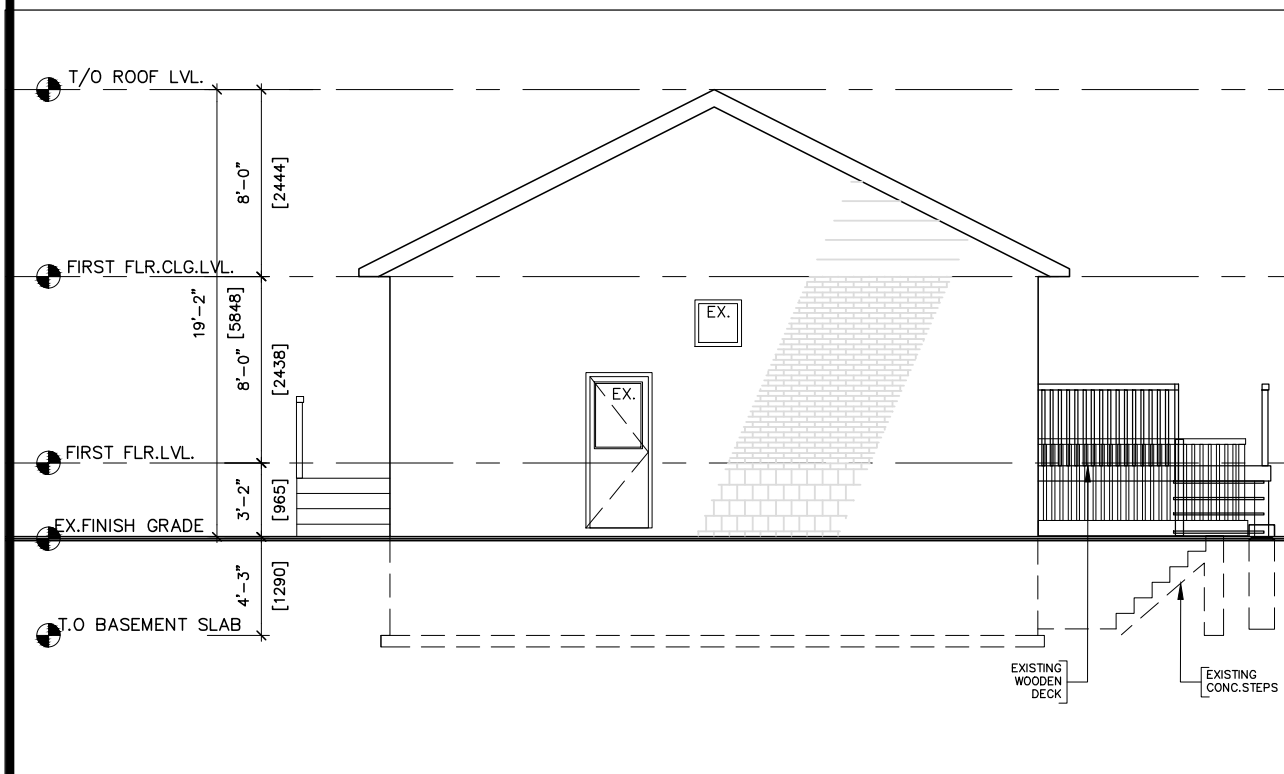
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PROPOSED ROOF FRAMING PLAN		SF	SA
Revisions	Scale:	Date:	Dwg. no.
-	AS NOTED	11.08.2021	A2.3
-			
-			
-			

Project	Owners:
PROPOSED ENCLOSED, NON-HEATED PORCH FOR SINGLE STOREY BUNGALOW AT 3 HAGGERT AVENUE, BRAMPTON, ONTARIO L6Y 2C1	GAYATRI ANAND



1 EXISTING FRONT ELEVATION  
A3.0 SCALE= 1/8"= 1'-0

2 EXISTING REAR ELEVATION  
A3.0 SCALE= 1/8"= 1'-0



3 EXISTING RIGHT SIDE ELEVATION  
A3.0 SCALE=1/8"= 1'-0

4 EXISTING LEFT SIDE ELEVATION  
A3.0 SCALE= 1/8"= 1'-0

Sheet title:  
EXISTING ELEVATIONS

Revisions	Drawn By: HT	Checked By:
AS NOTED	AS NOTED	AS NOTED
11.08.2021	11.08.2021	11.08.2021
Dwg. no.	Dwg. no.	Dwg. no.
A3.0	A3.0	A3.0
REV. NO. -	REV. NO. -	REV. NO. -

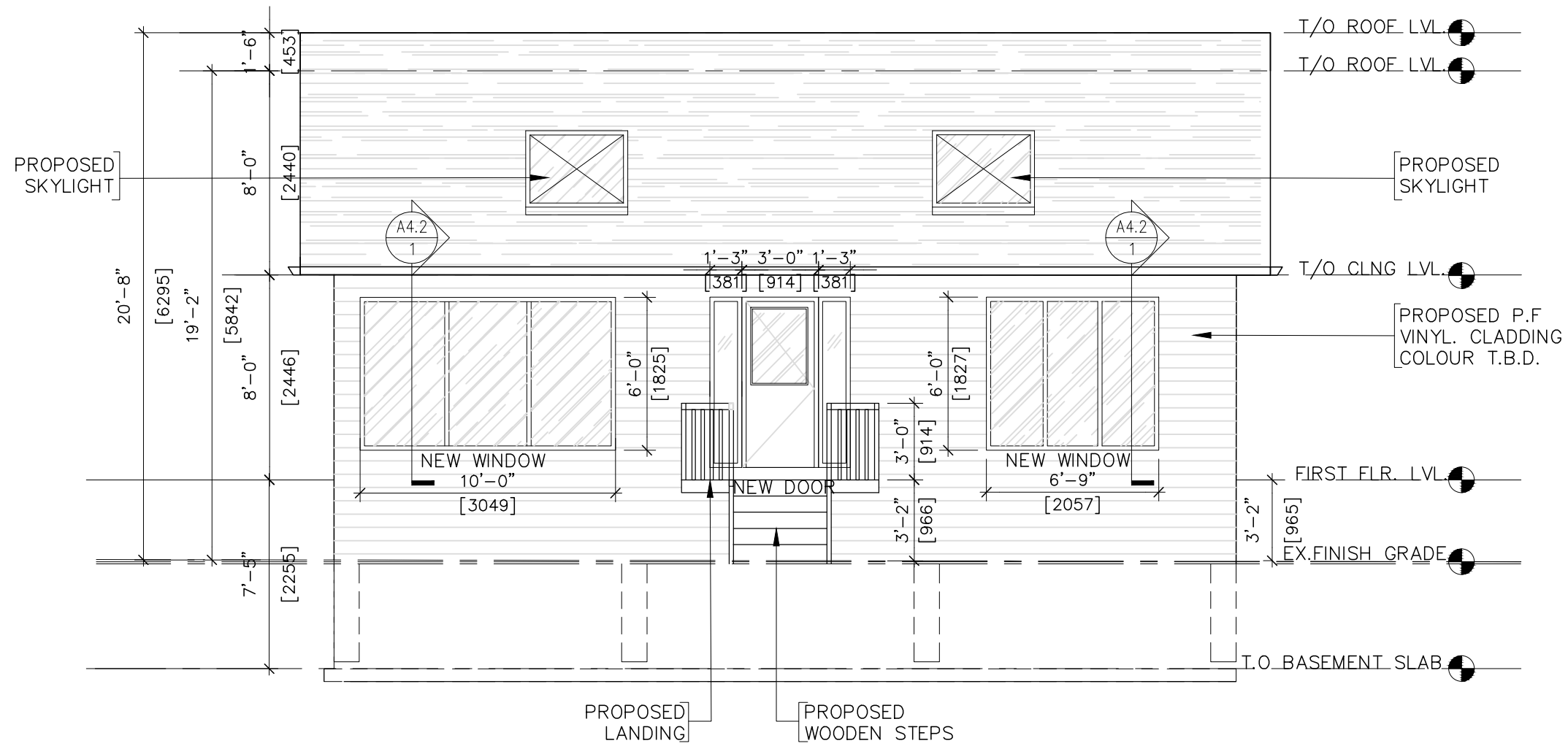
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PROPOSED  
ENCLOSED, NON-HEATED  
PORCH FOR SINGLE STOREY  
BUNGALOW AT 3 HAGGERT  
AVENUE, BRAMPTON,  
ONTARIO L6Y 2C1


Owners:  
GAYATRI ANAND

1  
A3.1

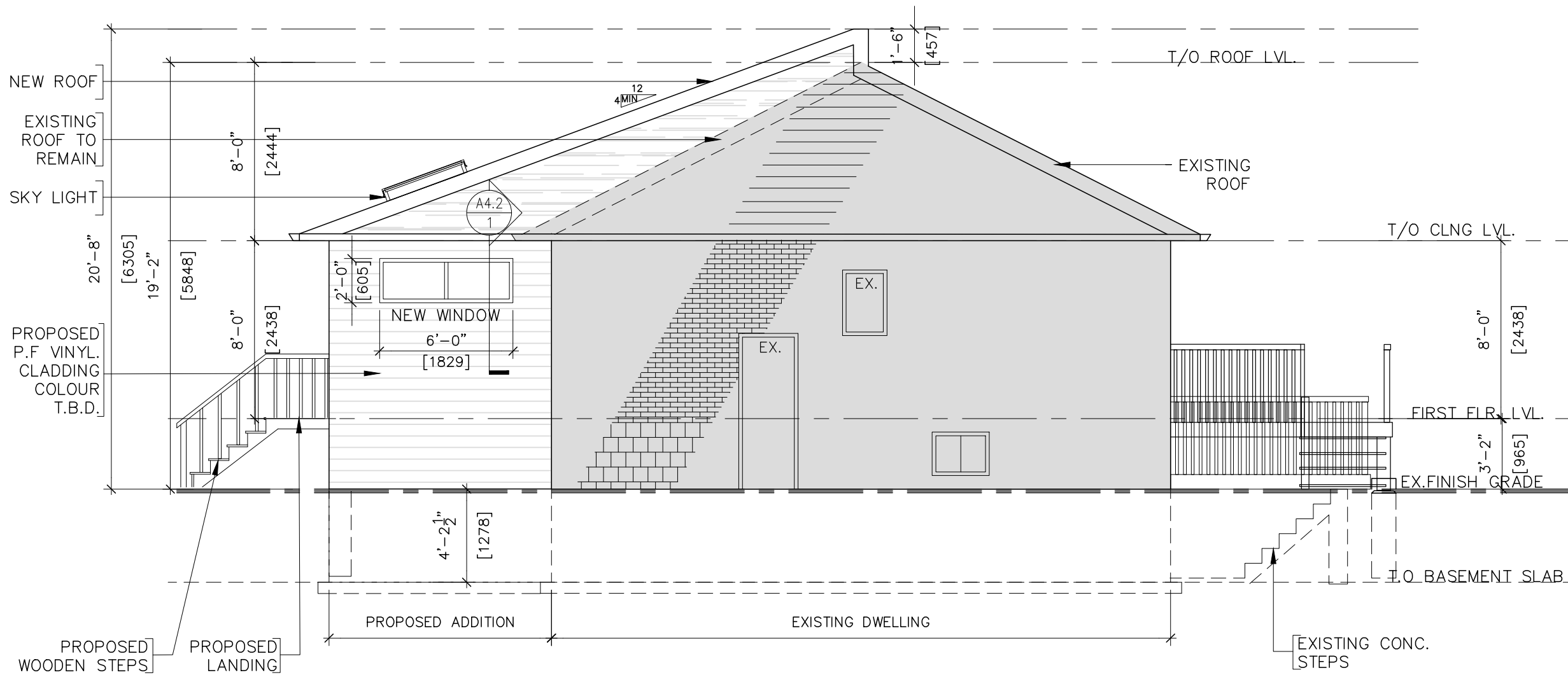
PROPOSED FRONT ELEVATION

SCALE= 3/16"= 1'-0



Project	PROPOSED ENCLOSED, NON-HEATED PORCH FOR SINGLE STOREY BUNGALOW AT 3 HAGGERT AVENUE, BRAMPTON, ONTARIO L6Y 2C1	Sheet title: PROPOSED FRONT ELEVATION			
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		<div>△</div>	Scale: AS NOTED	Date: 11.08.2021	
		<div>△</div>		Dwg. no.	
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Owners: GAYATRI ANAND		<div>△</div>			REV. NO: -





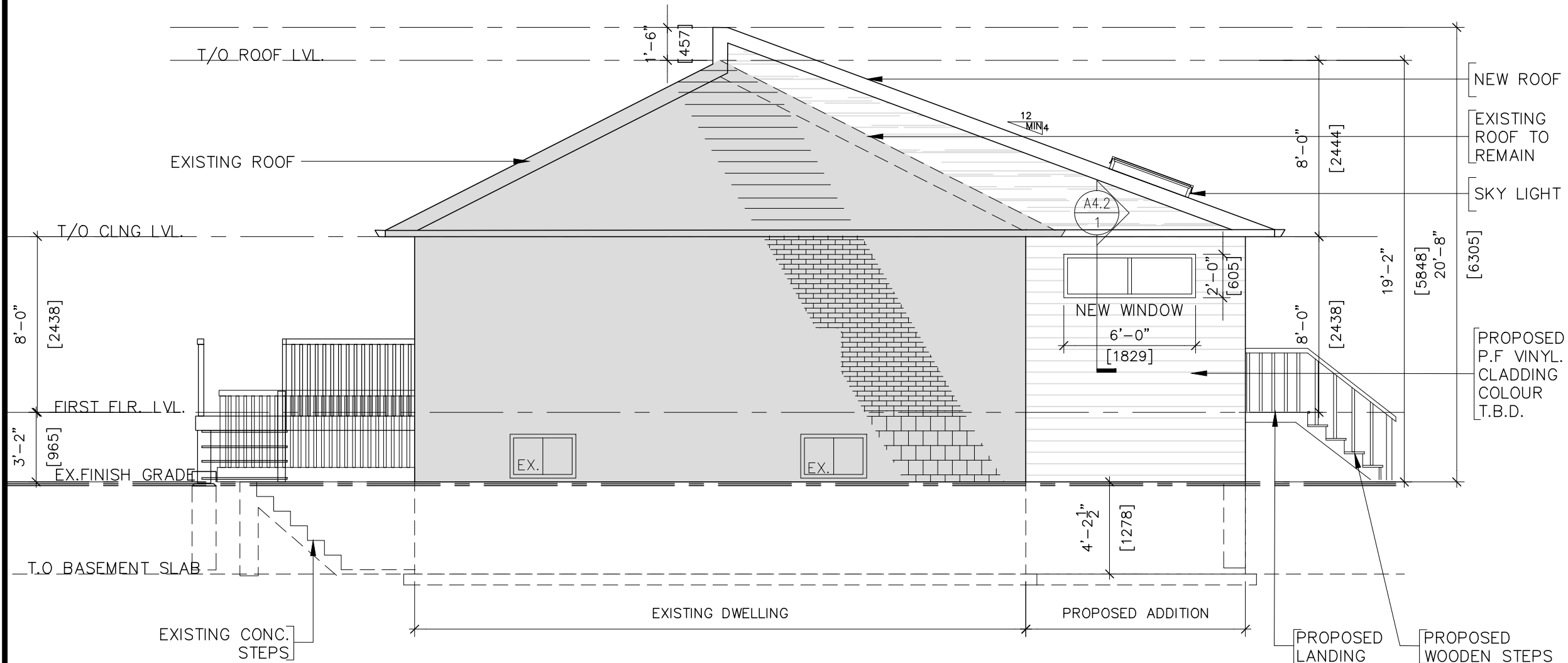
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A3.2 SCALE= 3/16"= 1'-0

Sheet title: PROPOSED RIGHT SIDE ELEVATION		Drawn By: HT	Checked By: SA
Revisions	Scale: AS NOTED	Date: 11.08.2021	Dwg. no. A3.2
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△			
△			

Project	PROPOSED ENCLOSED, NON-HEATED PORCH FOR SINGLE STOREY BUNGALOW AT 3 HAGGERT AVENUE, BRAMPTON, ONTARIO L6Y 2C1
Owners:	GAYATRI ANAND

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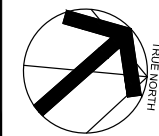
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A3.3 SCALE= 3/16"= 1'-0

Sheet title: PROPOSED LEFT SIDE ELEVATION		Drawn By: HT	Checked By: SA
Revisions	Scale: AS NOTED	Date: 11.08.2021	Dwg. No.
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Project	PROPOSED ENCLOSED, NON-HEATED PORCH FOR SINGLE STOREY BUNGALOW AT 3 HAGGERT AVENUE, BRAMPTON, ONTARIO L6Y 2C1	Owners: GAYATRI ANAND
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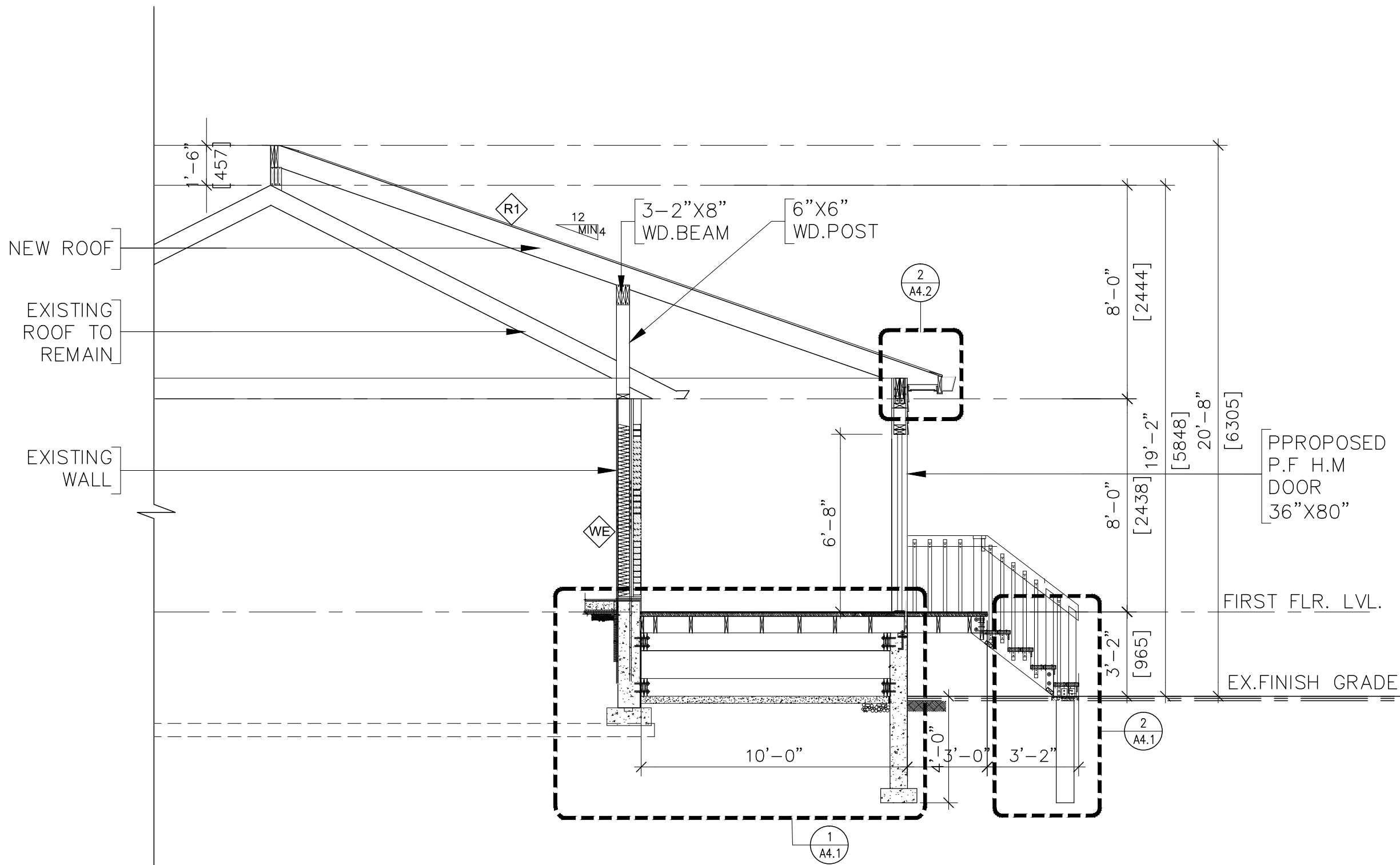
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A3.3

REV. NO: -



1  
A4.0

SECTION DETAIL

SCALE= 1/4"=1'-0"

Sheet title:  
SECTION DETAIL

Revisions

Drawn By:  
HT

Checked By:  
SA

Revisions

Scale:  
AS NOTED

Date:  
11.08.2021

Revisions

Scale:  
AS NOTED

Date:  
11.08.2021

Revisions

Scale:  
AS NOTED

Date:  
11.08.2021

Revisions

Scale:  
AS NOTED

Date:  
11.08.2021

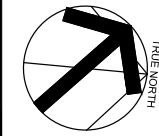
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Date:  
11.08.2021

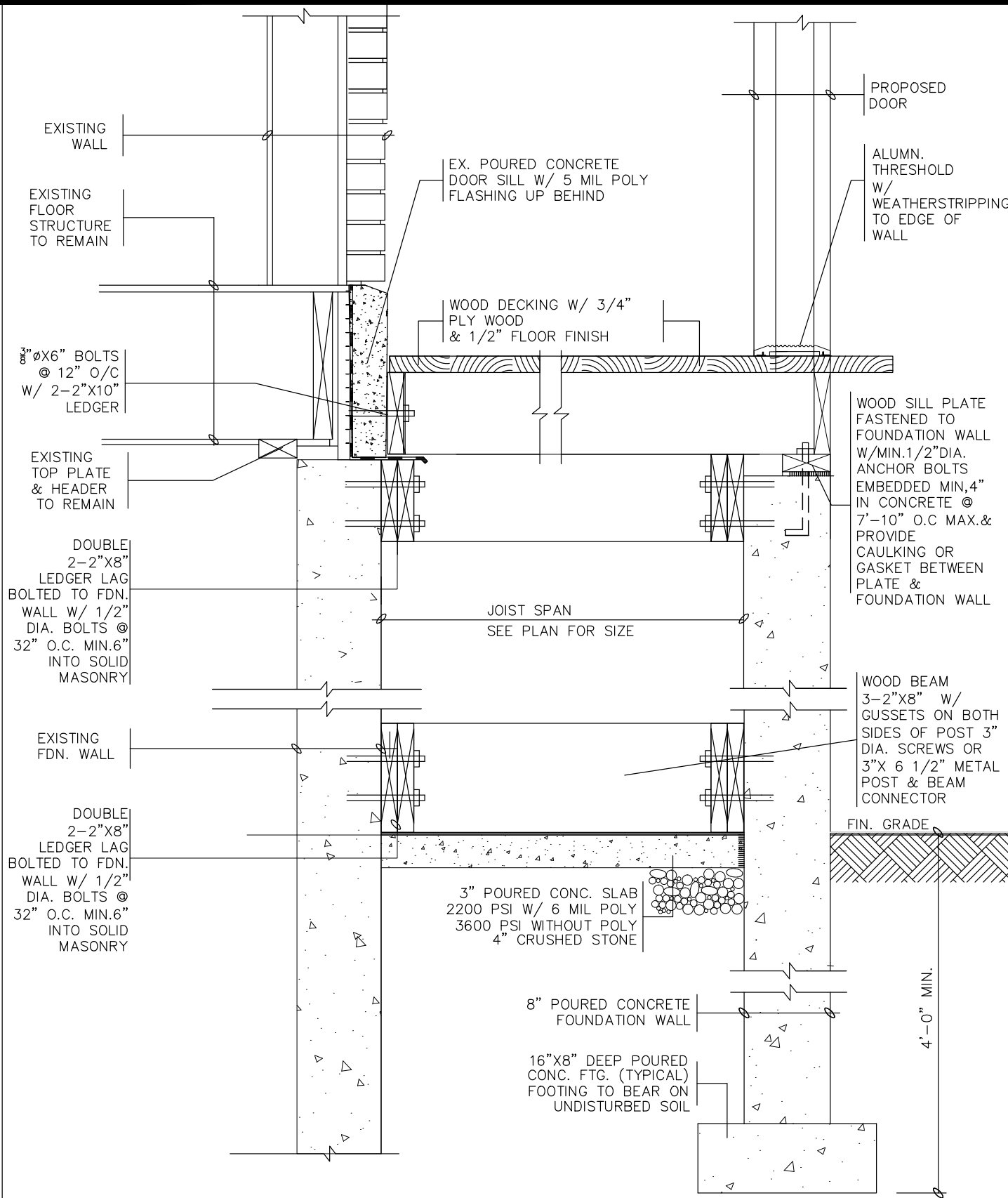
Project  
PROPOSED  
ENCLOSED, NON-HEATED  
PORCH FOR SINGLE STOREY  
BUNGALOW AT 3 HAGGERT  
AVENUE, BRAMPTON,  
ONTARIO L6Y 2C1

Owners:  
GAYATRI ANAND

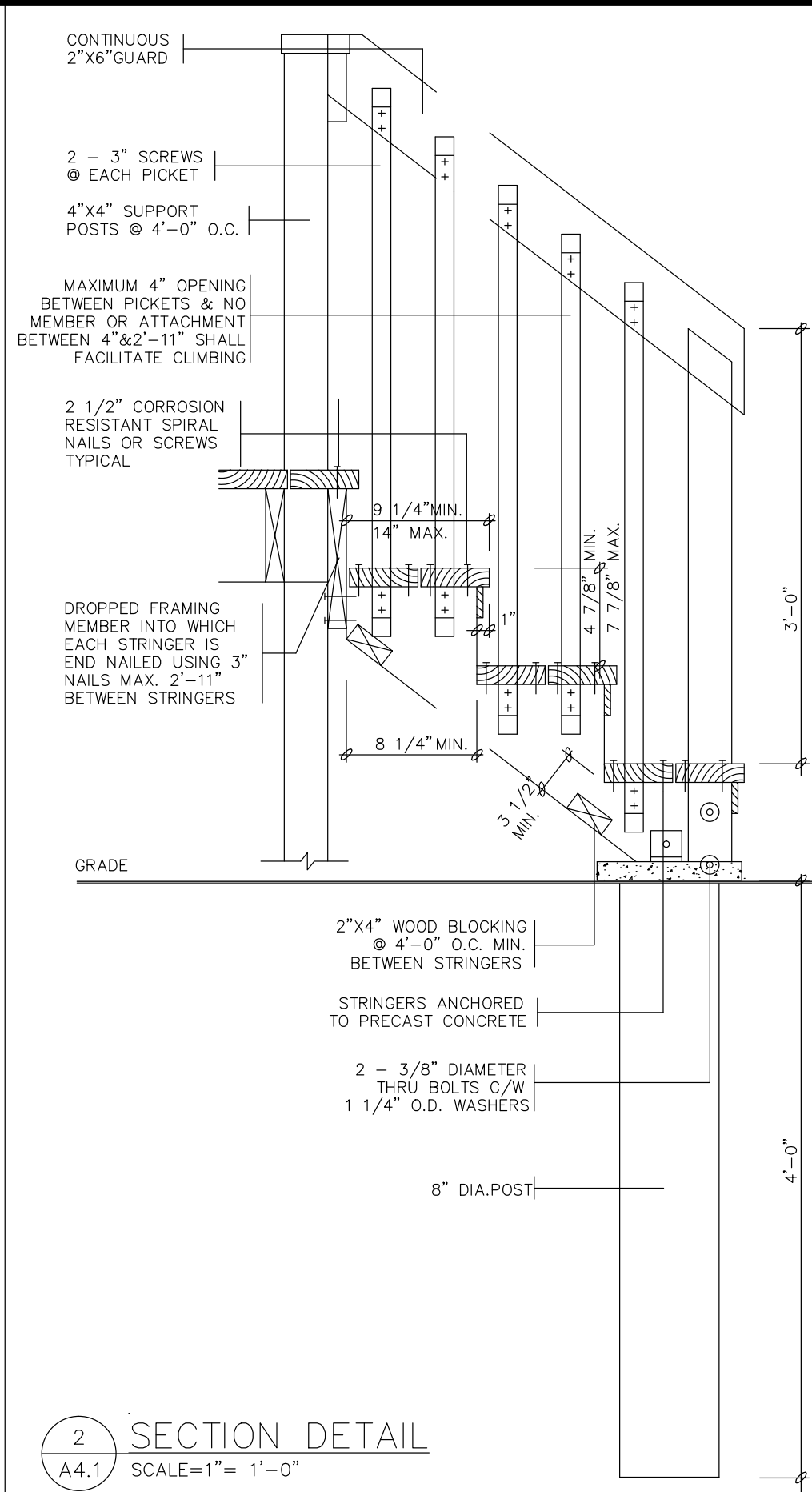


A4.0

REV. NO: -



1 SECTION DETAIL  
A4.1 SCALE=1"= 1'-0"



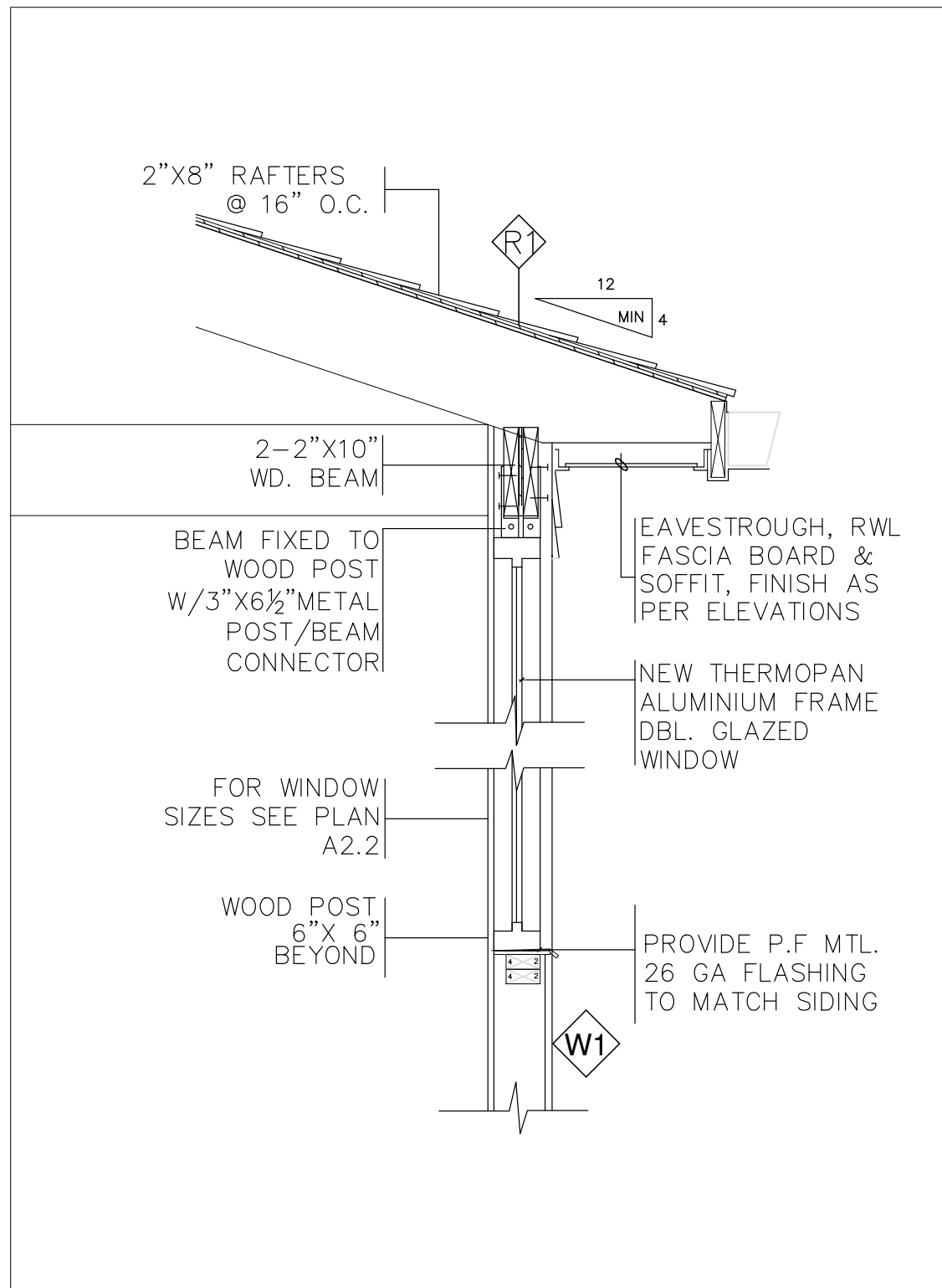
2 SECTION DETAIL  
A4.1 SCALE=1"= 1'-0"

Sheet title:  
DECK DETAIL

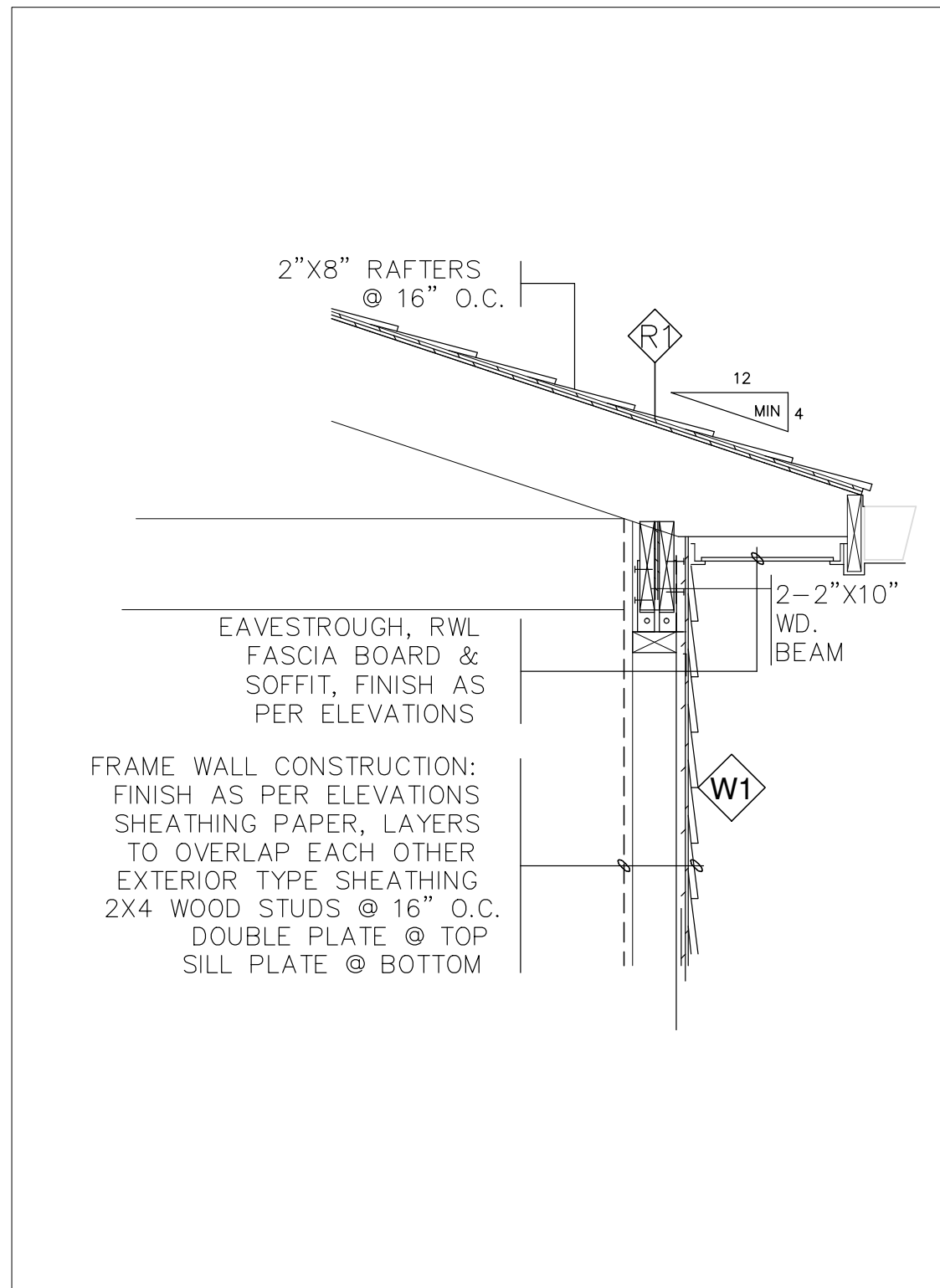
Checked By: SA	Date: 11.08.2021	Dwg. no. A4.1	REV. NO.: -
Drawn By: HT	Scale: AS NOTED	TRUE NORTH	
Revisions			

Project  
PROPOSED  
ENCLOSED, NON-HEATED  
PORCH FOR SINGLE STOREY  
BUNGALOW AT 3 HAGGERT  
AVENUE, BRAMPTON,  
ONTARIO L6Y 2C1

Owners:  
GAYATRI ANAND

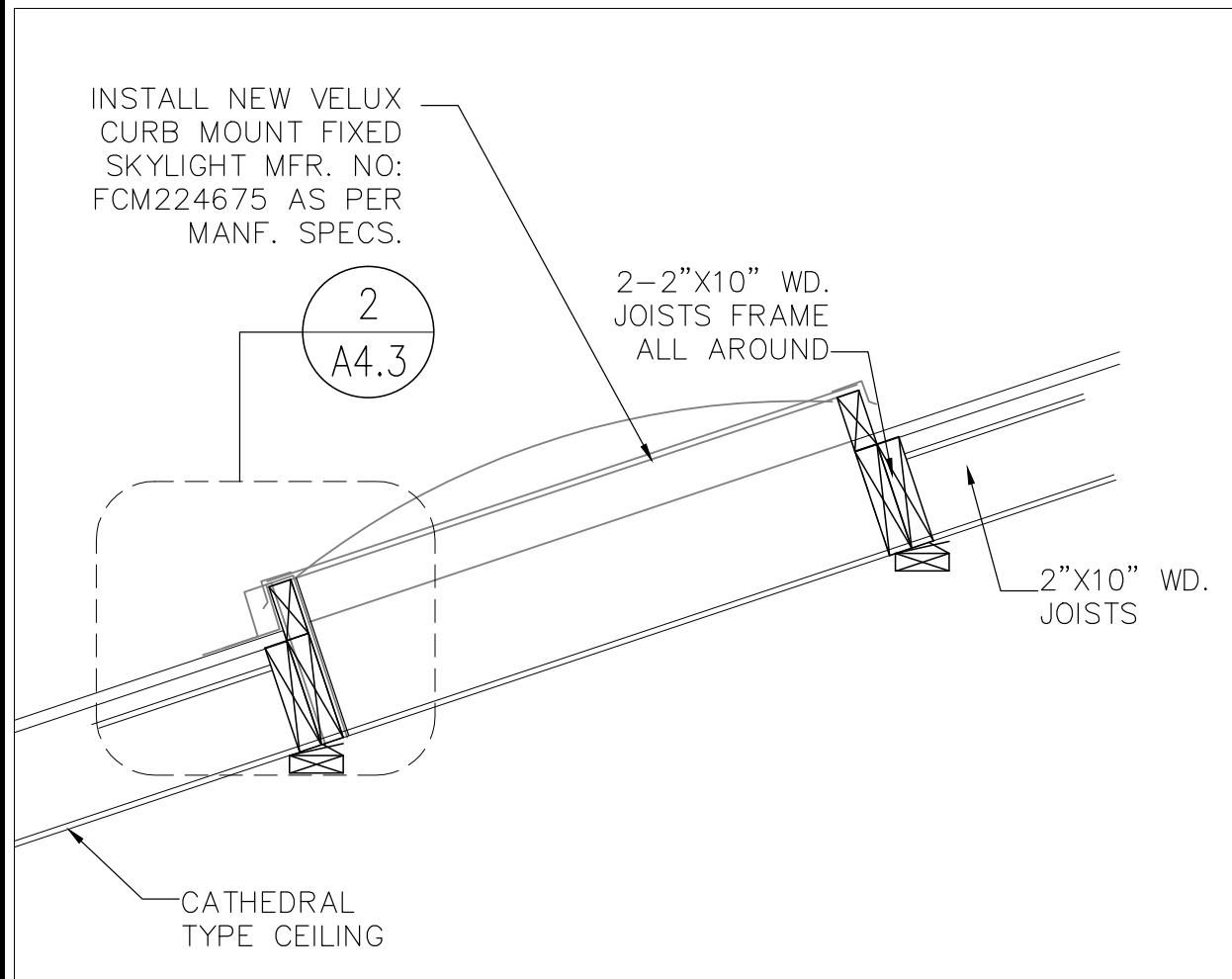


1 SECTION DETAIL  
A4.2 SCALE=3/4"= 1'-0"

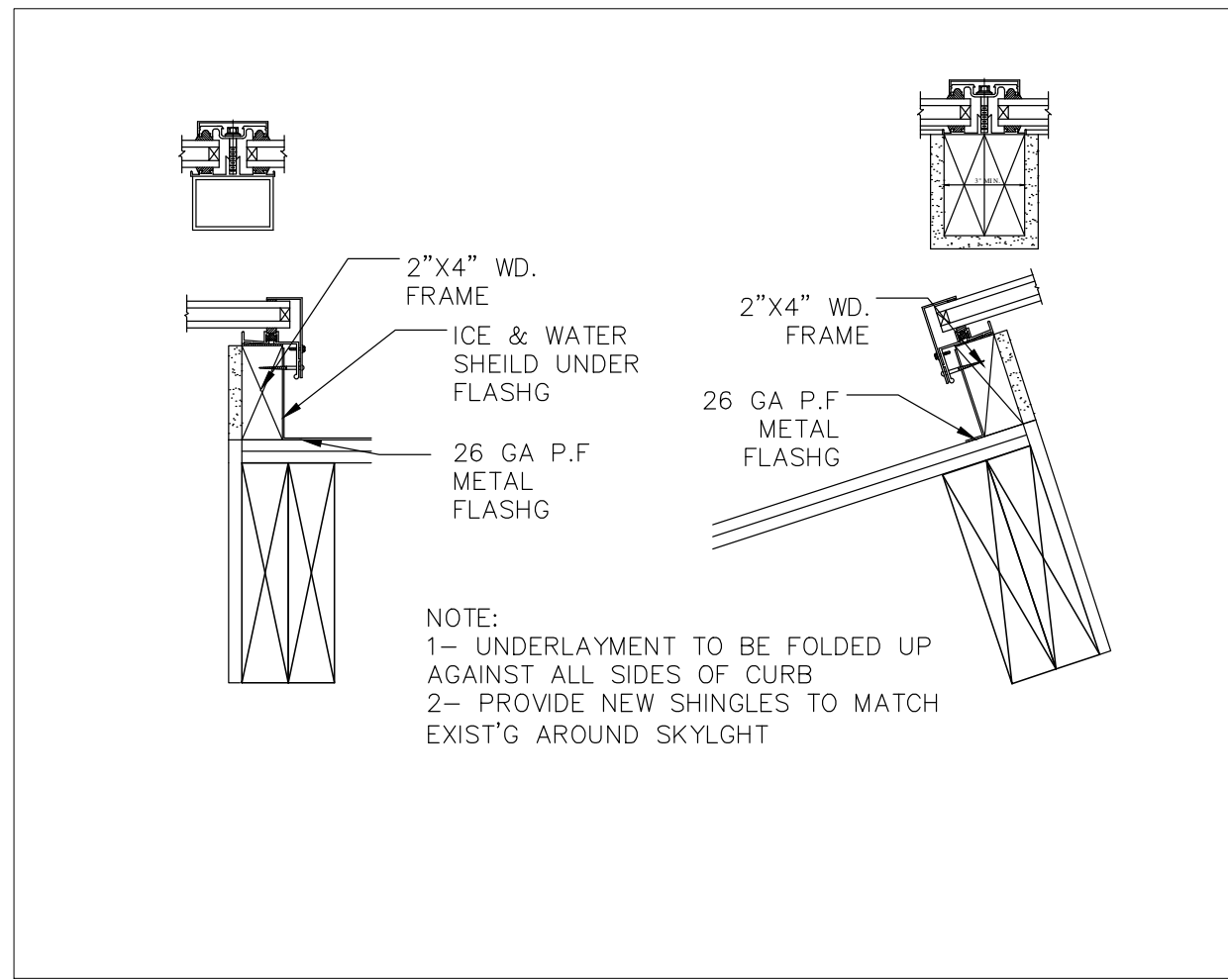


2 SECTION DETAIL  
A4.2 SCALE=3/4"= 1'-0"


<div>Project</div> <div>PROPOSED ENCLOSED, NON-HEATED PORCH FOR SINGLE STOREY BUNGALOW AT 3 HAGGERT AVENUE , BRAMPTON, ONTARIO L6Y 2C1</div> <div>Owners: GAYATRI ANAND</div>	Sheet title: SECTION DETAIL				
	Revisions	Drawn By: HT	Checked By: SA	Date: 11.08.2021	<div>A4.2</div> <div>REV. NO: -</div>
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1 SECTION DETAIL OF SKYLIGHT  
A4.3 SCALE=3/4"= 1'-0"

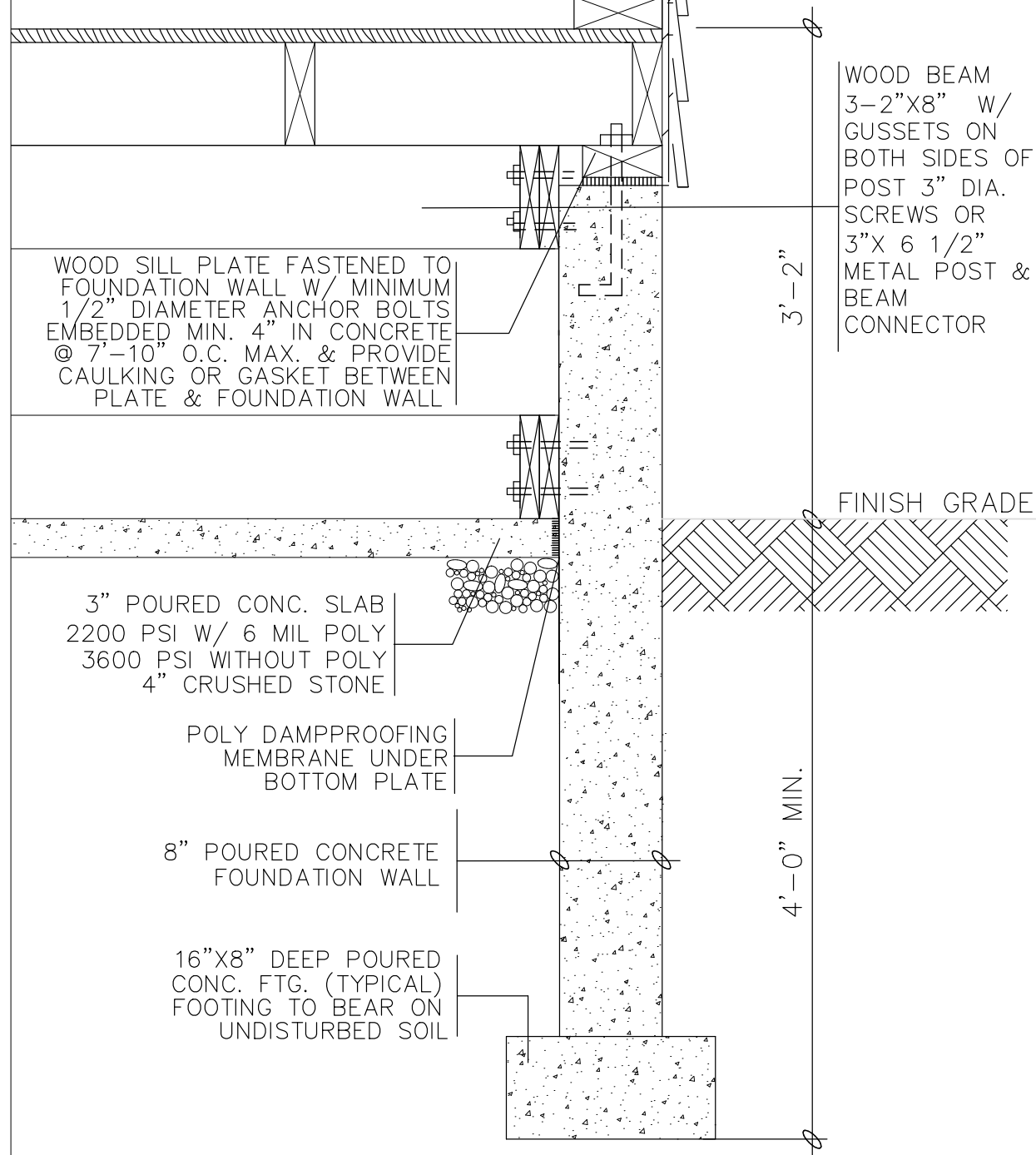


2 SECTION DETAIL  
A4.3 SCALE=1 1/2"= 1'-0"

<div>Project</div> <div>PROPOSED ENCLOSED, NON-HEATED PORCH FOR SINGLE STOREY BUNGALOW AT 3 HAGGERT AVENUE, BRAMPTON, ONTARIO L6Y 2C1</div> <div>Owners: GAYATRI ANAND</div>	Sheet title: SECTION DETAIL			
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FRAME WALL CONSTRUCTION  
FINISH AS PER ELEVATIONS  
SHEATHING PAPER LAYERS  
TO OVERLAP EACH OTHER  
EXTERIOR TYPE SHEATHING  
2X4 WOOD STUDS @ 16" O.C.  
DOUBLE PLATE @ TOP  
SILL PLATE @ BOTTOM

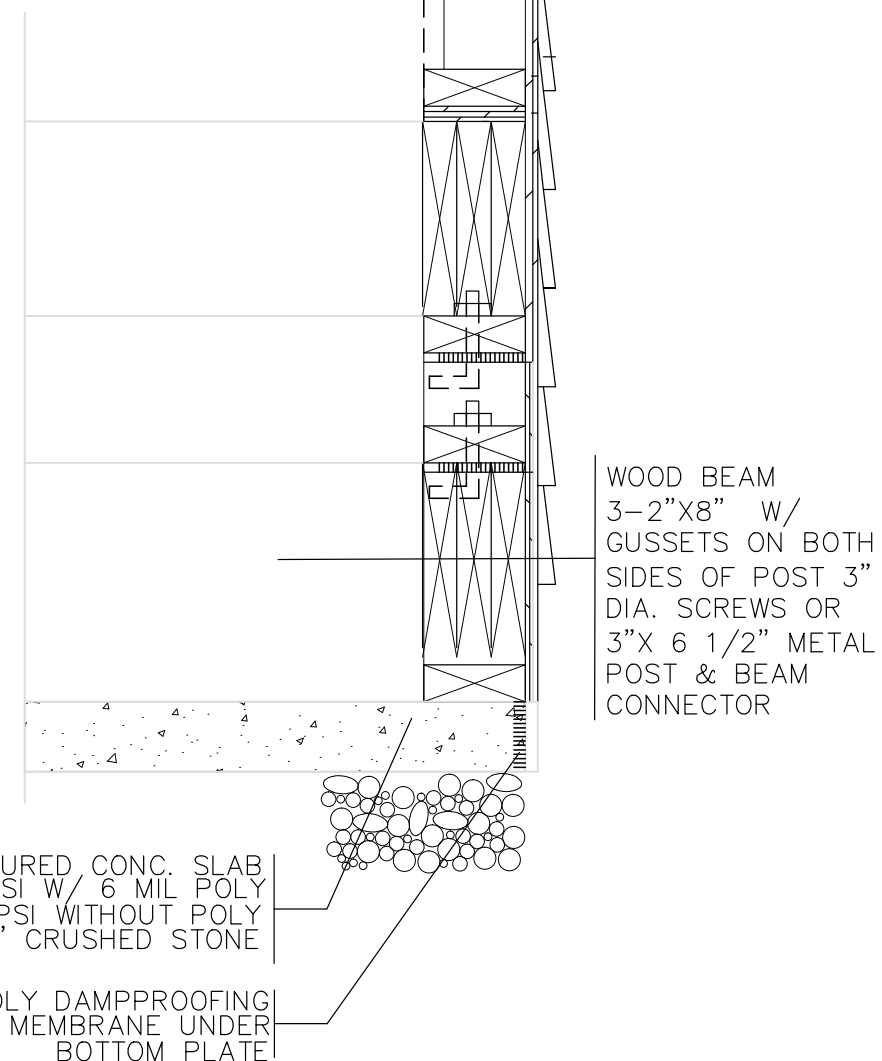
5/8" TYPE 'X' DRYWALL  
IF LESS THAN 4'-0"  
TO THE PROPERTY LINE



1 SECTION DETAIL OF SIDING  
A4.4 SCALE: 1"= 1'-0"

FRAME WALL CONSTRUCTION  
FINISH AS PER ELEVATIONS  
SHEATHING PAPER LAYERS  
TO OVERLAP EACH OTHER  
EXTERIOR TYPE SHEATHING  
2X4 WOOD STUDS @ 16" O.C.  
DOUBLE PLATE @ TOP  
SILL PLATE @ BOTTOM

5/8" TYPE 'X' DRYWALL  
IF LESS THAN 4'-0"  
TO THE PROPERTY LINE



2 SECTION DETAIL OF SIDING  
A4.4 SCALE: 1 1/2"= 1'-0"

Sheet title:  
SECTION DETAIL

Revisions

Drawn By:  
HT

Checked By:  
SA

Revisions

Scale:  
AS NOTED

Date:  
11.08.2021

Revisions

Scale:  
AS NOTED

Date:  
11.08.2021

Revisions

Scale:  
AS NOTED

Date:  
11.08.2021

Revisions

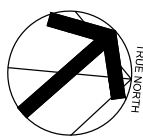
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Date:  
11.08.2021

Revisions

Scale:  
AS NOTED

Date:  
11.08.2021



A4.4

REV. NO: -

Project

PROPOSED  
ENCLOSED, NON-HEATED  
PORCH FOR SINGLE STOREY  
BUNGALOW AT 3 HAGGERT  
AVENUE, BRAMPTON,  
ONTARIO L6Y 2C1

Owners:

GAYATRI ANAND

WALL TYPE & NOTES LEGEND

EXISTING WALL TO REMAIN

WE

EX. EXTERIOR BRICK-CLAD FRAMED WALL

W1

1/2" THICK P.F. VINYL HORIZONTAL SIDING (AGWAY/VICWEST) OR EQ.COLOUR (T.B.D) OVER TYVEK AVB OVER 1/2" EXT. SHEATHING OVER 2"x4" WD. STUDS @16" O/C T/B PLATES.

R1

PROPOSED ROOF CONST.

ASPHALT SHINGLES TO MATCH EXISTING #15 BUILDING PAPER 3/8" EXT. PLYWOOD SHEATHING OVER 2"x8" WD. JOISTS @ 16" O/C

CEILING TYPES

C1

GWB STUCCO PLASTERED CLG R50 SR LOOSE INSULATION FILL B/W JSTS.

ER

EXPOSED RAFTERS .

DOOR/WINDOWS SCHEDULE

TYPE	SIZE		DESCRIPTION
	WIDTH	HEIGHT	
D1	3'-0"	6'-8"	PROPOSED PREFINISH H.C. INSULATED METAL EXTERIOR TYPE PARTIAL FIXED GLAZED PAN DOOR W/ BOLTED LOCK ,ALUM.THRESHOLD AND DOOR STOP DOOR MUST BE CONFIRM TO O.B.C 2012 # 9.7.5.2 TO RESIST TO FORCED ENTRY.

DE EXISTING DOOR TO REMAIN

WINDOWS SCHEDULE

TYPE	SIZE		SILL LVL. (SL)	DESCRIPTION
	WIDTH	HEIGHT		
W	10'-0"	6'-0"		ALUMINUM FRAME THERMOPAN DBL. GLAZED CASEMENT WINDOW PROVIDE INSECT SCREEN AT OPENABLE PANS
W1	6'-9"	6'-0"		DO
W2	6'-0"	2'-0"		DO

EX EXISTING WINDOW TO REMAIN

LINTEL SCHEDULE

NO.	DESCRIPTION
L1	2-2"x6" SPRUCE WD.
L2	3-2"x6" SPRUCE WD.
SL1	3-1/2"x3-1/2"x3/16" G.STL. ANGLE

NOTE: PROVIDE MIN. 6" BEARING OF LINTEL AT B/S OF WALL

ELECT/HVAC. LEGEND

S.A

SMOKE ALARM/ DETECTOR

C.M.D

CARBON MONOXIDE ALARM/DETECTOR CONFORMING TO CAN/CGA-6.19 OR UL-2034

EXHAUST FAN

HVAC AIR GRILL AT WALL MAX. 5'-0" A.F.F

R.A

RETURN-AIR GRILL AT MAX. 5'-0" A.F.F

AUTOMATIC UPRIGHT SPRINKLER HEAD SPKLR.

EXISTING DOOR TO REMAIN

PROPOSED H.C FLUSH DOOR U/N

FD

FLOOR DRAIN

F1

LAMINATED WD. FLOORING

F2

CERAMIC TILES. FLOORING

F3

EX. CONC. FLOORING

ELECTRICAL SYMBOLS LEGEND

CARBON MONOXIDE ALARM/DETECTOR CONFORMING TO CAN/CGA-6.19 OR UL-2034

S.A

SMOKE ALARM/DETECTOR

120 VOLT DUPLEX RECEPTACLE

220 VOLT 20 AMP. OUTLET

120 VOLT DUPLEX RECEPTACLE WATERPROOF

WALL SWITCH

EMERGENCY LIGHT

CEILING MOUNTED LIGHT

RECESSED INCANDESCENT POT LIGHT

MECH. EXHAUST

NOTE:

ALL NEW ELECTRICAL SERVICES CONFORMING TO O.B.C.1997 SECTION 9.34

ABBREVIATIONS LEGEND

CL. CLOSET

CLG. CEILING

CONC. CONCRETE

COV. COVERED

DN DOWN

DO DITTO

ELECT. ELECTRICAL

EX. EXISTING

FLR. FLOOR

GALV. GALVANIZED

H.C HOLLOW CORE

HT. HEIGHT

I/S INSIDE

JST. JOIST

MAX. MAXIMUM

MIN. MINIMUM

MNTD. /MINUTE

MNTD. MOUNTED

N.L.B NON-LOAD BEARING

P.F. PRE-FINISHED

STL. STEEL

SQ.M. SQUARE METER

SQ.FT. SQUARE FOOT

WD. WOOD

W.I. WALK IN

DUCT TYPE SMOKE DETECTOR

THE AIR DUCT SMOKE DETECTOR SHALL BE A SYSTEM SENSOR INNOVAIRFLEX DNR OR EQ. INTELLIGENT NON-RELAY PHOTOELECTRIC DUCT SMOKE DETECTOR AND DNRW WATERTIGHT NEMA4 DUCT SMOKE DETECTOR. THE DETECTOR HOUSING SHALL BE UL LISTED PER UL 268A SPECIFICALLY FOR USE IN AIR HANDLING SYSTEMS. THE FLEXIBLE HOUSING OF THE DUCT SMOKE DETECTOR FITS BOTH SQUARE AND RECTANGULAR FOOTPRINTS. THE DETECTOR SHALL OPERATE AT AIR VELOCITIES OF 100 FT/MIN TO 4000 FT/MIN (0.5 M/SEC TO 20.32 M/SEC). THE UNIT SHALL BE CAPABLE OF PROVIDING A TROUBLE SIGNAL IN THE EVENT THAT THE SENSOR COVER IS REMOVED OR IMPROPERLY INSTALLED. IT SHALL BE CAPABLE OF LOCAL TESTING VIA MAGNETIC SWITCH OR REMOTE TESTING USING THE RTS451KEY/RTS151KEY REMOTE TEST STATION. TERMINAL CONNECTIONS SHALL BE OF THE STRIP AND CLAMP METHOD SUITABLE FOR 12-18 AWG WIRING. ELECTRICAL RATINGS THE INNOVAIRFLEX SAMPLING TUBE MAY BE INSTALLED FROM THE FRONT OR BACK OF THE DETECTOR. THE TUBE LOCKS SECURELY INTO PLACE AND CAN BE REMOVED BY RELEASING THE FRONT OR REAR LOCKING TAB.

SPECIFICATIONS

1. GENERAL REQUIREMENTS

- CONFORM TO REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.
- ALL MATERIALS SHALL BE FURNISHED AND ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE GRADES, OR STANDARDS OF MATERIALS, STANDARDS OF WORKMANSHIP AND MANUFACTURE'S SPECIFICATIONS LISTED OR MENTIONED.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND SITE CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING THE WORK. CONTRACTOR TO VERIFY STRUCTURE OF WALLS, FLOOR AND CEILING AT NEW ENTRANCES, WINDOWS, CANOPY AND EXTERIOR CLADDING.
- INSPECT THE EXISTING SITE AND NOTE ANY CONDITIONS WHICH WOULD AFFECT THE WORK. NO CLAIM FOR AN ADDITION TO THE CONTRACT AMOUNT WILL BE CONSIDERED RESULTING FROM FAILURE TO BECOME FAMILIAR WITH ALL, APPARENT EXISTING SITE CONDITIONS.
- UNLESS OTHERWISE SPECIFIED, PROVIDE AND MAINTAIN ALL NECESSARY PROTECTION INCLUDING HOARDING, BARRICADES, WARNING LIGHTS AND SIGNS, BEFORE AND DURING DEMOLITION WORK.
- PROTECT ALL MECHANICAL AND ELECTRICAL EQUIPMENT AND PIPING THAT IS TO REMAIN.
- PROTECT ALL EXISTING FINISH SURFACES WHICH ARE NOT SUBJECT TO DEMOLITION.
- MAINTAIN PROPER ACCESS TO PREMISES.
- MAKE GOOD DAMAGE TO SUCH STRUCTURES RESULTING FROM WORK UNDER THIS SECTION AT NO COST TO OWNER.
- EXERCISE CAUTION IN DISMANTLING OR DISCONNECTING WORK ADJACENT TO EXISTING WORK DESIGNATED TO REMAIN.
- MAKE GOOD ANY DEMOLITION TO THE EXISTING WORK BEYOND THAT NECESSARY FOR CARRYING OUT NEW WORK, AT NO EXPENSE TO THE OWNER.
- CARRY OUT DEMOLITION AS SCHEDULED, IN A ORDERLY AND CAREFUL MANNER.
- AT COMPLETION OF WORK, THE PREMISES SHALL BE LEFT BROOM CLEAN.
- REPORT TO THE ARCHITECT AND INTERIOR DESIGNER ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND INTERIOR DESIGN DRAWINGS. CONTRACTOR TO MAINTAIN AT THE JOB SITE AN UPDATED SET OF DRAWINGS AND RECORD ANY CHANGES TO BUILDING PERMIT DRAWINGS.

2. SITE WORK

- MAINTAIN PROPER ACCESS TO THE SITE. PROVIDE ADEQUATE PROTECTION TO CURBS, SIDEWALKS AND LIGHTS. MAKE GOOD ANY DAMAGE AT NO COST TO THE OWNER.
- REMOVE FROM THE SITE AND LEGALLY DISPOSE OF ALL RUBBISH, AND SURPLUS MATERIALS RESULTING FROM THE WORK.

3. CONCRETE

- CONCRETE MATERIALS SHALL CONFORM TO REQUIREMENTS OF CAN/CSA A23.1-M90, 266-M78
- BEFORE COMMENCING WORK, ENSURE THAT SURFACES ARE ACCEPTABLE TO RECEIVE AND MAINTAIN CONCRETE FINISHING AND THAT SPECIFIED INSTALLATION WILL BE ACHIEVED.
- PATCHING CONCRETE SHALL BE THOROUGHLY COMPACTED INTO PLACE AND FINISHED IN SUCH A MANNER AS TO MATCH ADJOINING CONCRETE. RUB DOWN TO GIVE UNIFORM, SMOOTH, FLUSH, MONOLITHIC SURFACE FREE OF ALL DEFECTS IN APPEARANCE TO ARCHITECTS APPROVAL.

4. MASONRY

- MAINTAIN DIMENSIONS, LINES AND LEVELS OF EXISTING WORK.
- TAKE SPECIAL CARE OF ERECTING BLOCK WALLS TO WHICH OTHER SECTIONS WILL APPLY FINISHES, TO ENSURE TOLERANCES REQUIRED OF FOLLOWING SECTIONS CAN BE MET WITH REASONABLE CONSTRUCTION PROCEDURES ( E.G. THIN SET APPLICATION OF GRANITE TILES.)
- ALL MASONRY SHALL BE PATCHED AND REPAIRED USING METHODS AND MATERIALS TO MATCH EXISTING WORK.

5. METALS

- CONFORM TO REQUIREMENTS OF CAN/CSA-G40.21 & M92 (HOT DIP GALV. PARTS)
- WORK TO BE EXECUTED BY FIRM THOROUGHLY FAMILIAR WITH LAWS, BY-LAWS AND REGULATIONS WHICH GOVERN, AND CAPABLE OF WORKMANSHIP OF BEST GRADE AND FIELD PRACTISE KNOWN TO BE RECOGNIZED MANUFACTURE'S SPECIALIZING IN THIS WORK.

PAINT PRIMER TO BE ZINC CHROMATE CONFORMING TO CGSB 1-6P-40D. FINISH COLOUR TO BE AS PER APPROVED SAMPLE BY INTERIOR DESIGNER.

6. WOOD AND PLASTICS

- MATERIALS SHALL BE CAREFULLY CHECKED, UNLOADED STORED AND HANDLED TO PREVENT DAMAGE. PROTECT MATERIALS WITH SUITABLE NON-STAINING WATERPROOF COVERINGS.
- SUPPLY ALL LABOUR, MATERIALS, EQUIPMENT, SERVICES AND PERFORM ALL OPERATIONS REQUIRED TO COMPLETE ALL ROUGH CARPENTRY WORK, TO THE FULL INTENT OF THE DRAWINGS AND AS HEREIN SPECIFIED.
- ALL INTERIOR ROUGH CARPENTRY APPLIED TO WALLS, FLOORS, AND CEILING IS TO HAVE A FLAME SPREAD RATING OF 150 OR LESS.

7. THERMAL AND MOISTURE PROTECTION

- MAINTAIN EXISTING LEVELS OF INSULATION.
- ALL MATERIALS AND METHODS USED IN APPLICATION SHALL BE IN STRICT ACCORDANCE WITH THE PRINTED INSTRUCTIONS OF THE MANUFACTURER.
- INSTALL INSULATION TO MAINTAIN CONTINUITY OF THERMAL PROTECTION TO BUILDING ELEMENTS AND SPACES.
- INSTALL LOOSE INSULATION IN LOCATIONS AND THICKNESS SHOWN, AND FOR PACKING WHERE REQUIRED TO MAINTAIN THE INTEGRITY OF THE THERMAL BARRIER. SEAL JOINTS TO PREVENT THE TRANSFER OF MOISTURE.
- SEALANTS AND COLOUR TO BE SELECTED BY INTERIOR DESIGNER.
- CLEAN JOINTS AND SPACES TO BE CAULKED AND ENSURE THEY ARE DRY AND FREE OF DUST, LOOSE MORTAR, OIL, GREASE AND OTHER FOREIGN MATERIAL. CLEAN FERROUS MATERIALS OR RUST, MILL, SCALE AND FOREIGN MATERIALS BY WIRE BRUSHING, GRINDLING OR SANDING.
- UPON COMPLETION, REMOVE MASKING AND SEALANT SMEARS AND DROPPINGS FROMADJACENT AND OTHER SURFACES.
- PATCH AND REPAIR EXISTING WORK, REQUIRED DUE TO THE WORK OF THE CONTACT. USE THE EXACT SAME METHODS AND MATERIALS TO MATCH THE EXISTING WORK. WHERE IT IS NOT POSSIBLE, SUBMIT PROPOSALS TO THE INTERIOR DESIGNER FOR APPROVAL.

8. DOORS AND WINDOWS

STEEL DOORS AND FRAMES:

- SUBMIT SHOP DRAWINGS IN ACCORDANCE WITH GENERAL CONDITIONS, SHOW EACH TYPE OF FRAME, DOOR, HARDWARE BLANKING, REINFORCING TAPPING AND DRILLING ARRANGEMENTS, METAL GAUGES, THICKNESS AND FINISHES. SUBMIT DOOR AND FRAME SCHEDULE IDENTIFYING EACH UNIT. APPROVAL TO BE MADE BY INTERIOR DESIGNER.

WOOD DOORS AND FRAMES:

- MANUFACTURE SOLID CORE VENEERED AND PLASTIC LAMINATED FACED WOOD DOORS TO ARCHITECTURAL WOODWORK MANUFACTURERS ASSOCIATION OF CANADA LATEST REVISIONS, FOR PREMIUM GRADE SPECIALTY DOORS.
- SUBMIT SHOP DRAWINGS IN ACCORDANCE WITH GENERAL CONDITIONS ILLUSTRATING DOOR CONSTRUCTION FOR THE INTERIOR DESIGNER TO REVIEW.

9. FINISHES

GYPSUM WALLBOARD:

- EXECUTE THE GYPSUM WALLBOARD WORK COMPLETE IN ALL RESPECTS AND FREE OF DEFECTS IN MATERIALS AND WORKMANSHIP AFFECTING APPEARANCE AND PERFORMANCE.
- EXAMINE AND CO-ORDINATE WORK WITH THE OTHER TRADES AND ENSURE THAT ANCHORS, GROUNDS, ELECTRICAL CONDUIT, WIRING AND MECHANICAL WORK, WHICH IS TO BE INSTALLED IN OR BEHIND WORK UNDER THIS CONTRACT HAS BEEN INSTALLED, TESTED AND APPROVED.
- CONFORM TO CURRENT C.S.A. STANDARDS A82.30 AND A82.31, EXEPT AS SPECIFIED OTHERWISE HEREIN.
- FINISHED GYPSUM WALLBOARD SURFACES SHALL BE TRUE PLANES WITHIN 1/8 INCH WHEN CHECKED WITH 12 FEET STRAIGHT EDGE PLACED ANYWHERE ON THE SURFACE. SURFACES SHALL BE FREE FROM WAVES, IRREGULATIONS AND OTHER DEFECTS. VERTICAL SURFACES, PLUMB AND TRUE TO LINE, HORIZONTAL SURFACES LEVEL.

Project

PROPOSED  
ENCLOSED, NON-HEATED  
PORCH FOR SINGLE STOREY  
BUNGALOW AT 3 HAGGERT  
AVENUE , BRAMPTON,  
ONTARIO L6Y 2C1

Owners:

GAYATRI ANAND

Sheet title:

NOTES AND LEGEND

Revisions	Drawn By: HT	Checked By: SA
1	Scale: AS NOTED	Date: 11.08.2021
		D'wg. no. <b>A5.0</b>
		REV. NO: -