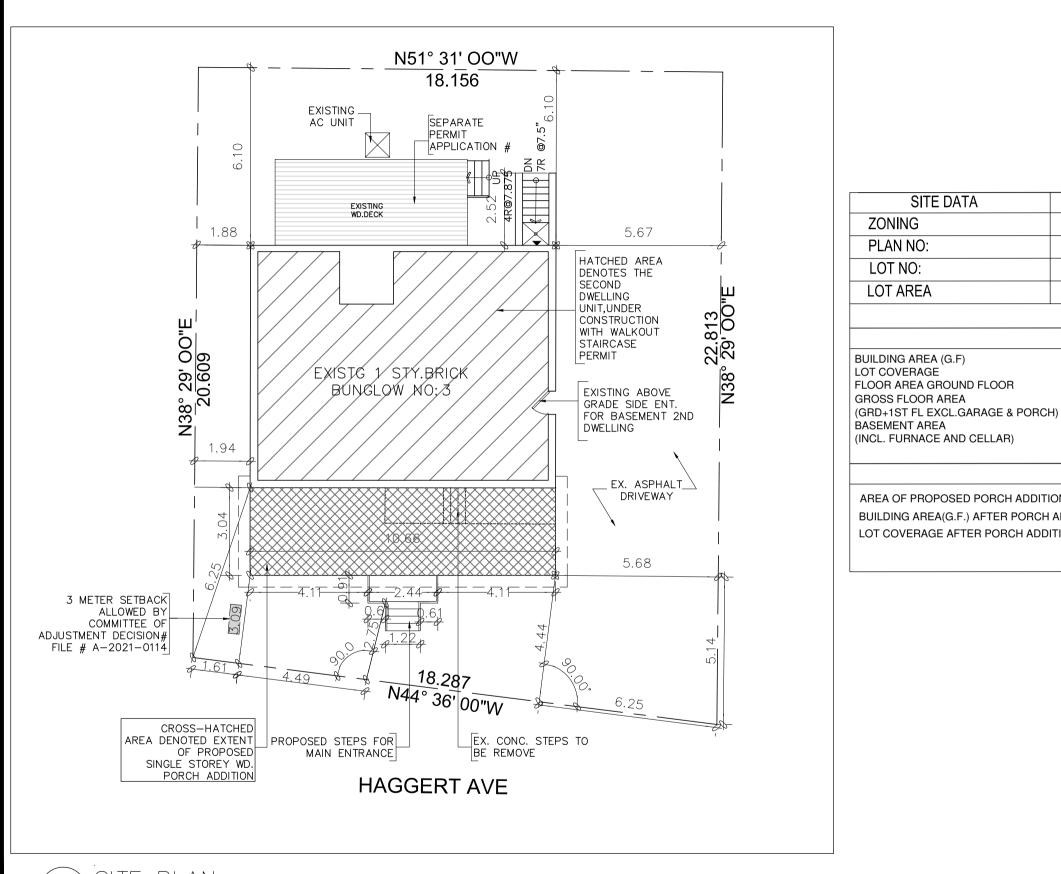
# PROPOSED ENCLOSED NON HEATED PORCH FOR SINGLE STOREY BUNGLOW AT 3 HAGGERT AVENUE, BRAMPTON, ONTARIO.



SITE DATA	M/SM
ZONING	
PLAN NO:	429
LOT NO:	PT 10
LOT AREA	392.08 SQ.M.
	EXISTING
BUILDING AREA (G.F) LOT COVERAGE	=90.42 SQ.M [973.27278 SQ.FT] =23.06%
FLOOR AREA GROUND FLOOR	=80.96 SQ.M. [871.44SQ.FT.]

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=80.96 SQ.M. [871.44SQ.FT.]

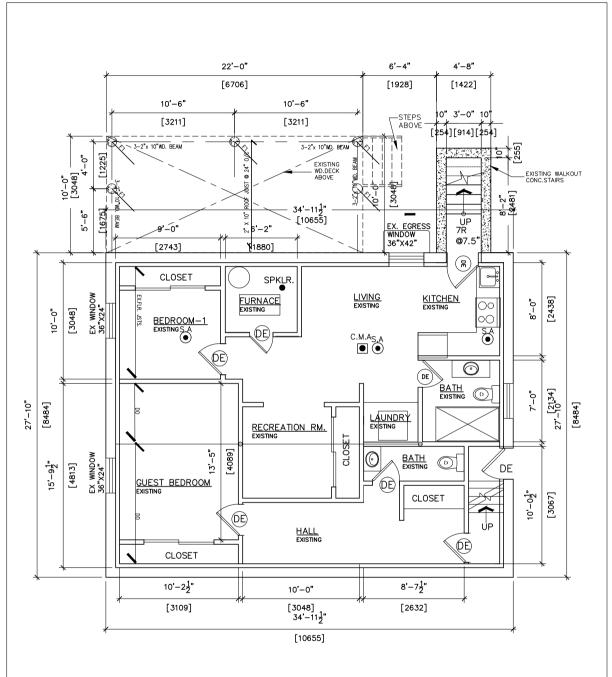
=82.71SQ.M [890.28SQ.FT.]

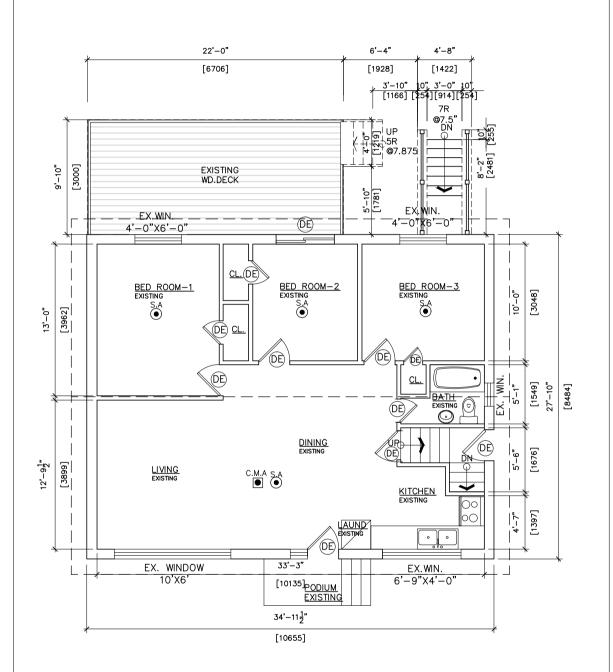
AREA OF PROPOSED PORCH ADDITION =32.47SQ.M [349.6SQ.FT.] BUILDING AREA(G.F.) AFTER PORCH ADDITION =122.89SQ.M [1322.87SQ.FT.] LOT COVERAGE AFTER PORCH ADDITION = 31.34%

POPOSED SNCLOSED, NON—HEATED PORCH FOR SINGLE STOREY SUNGALOW AT 3 HAGGERT AVENUE, BRAMPTON, ONTARIO L6Y 2CI
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Owners: GAYATRI ANAND







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ANAND

Owners: GAYATRI

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FLOOR

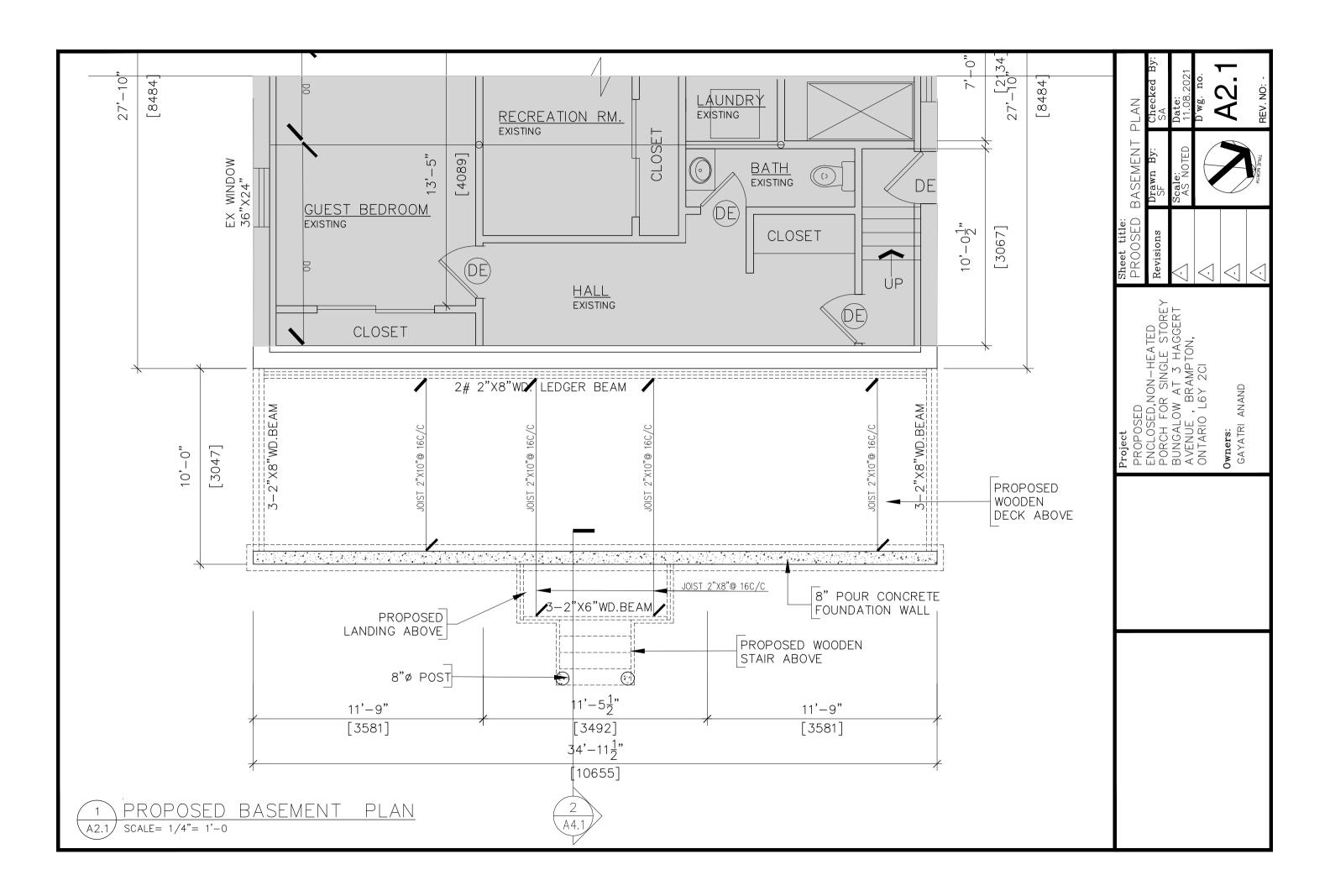
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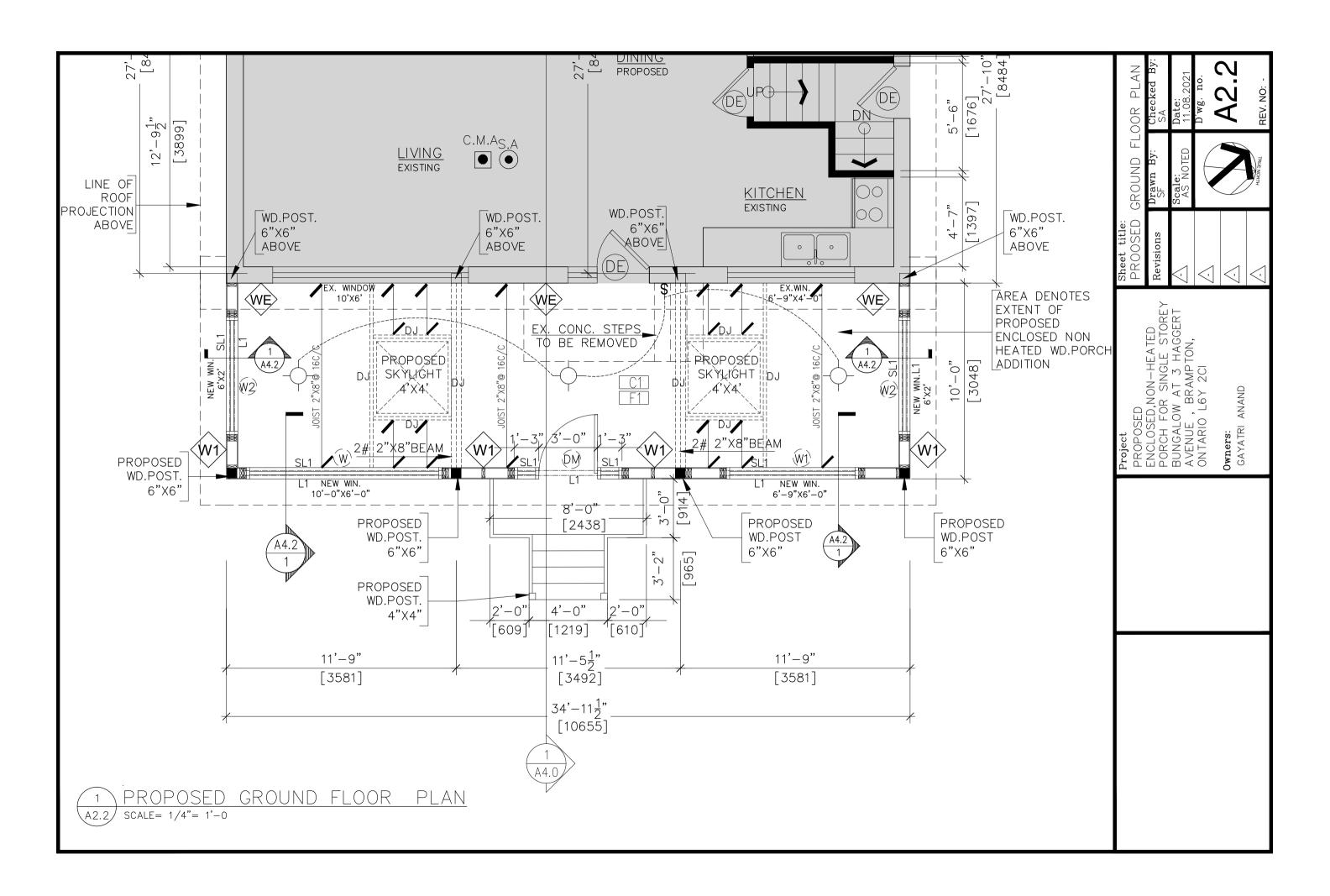
Revisions

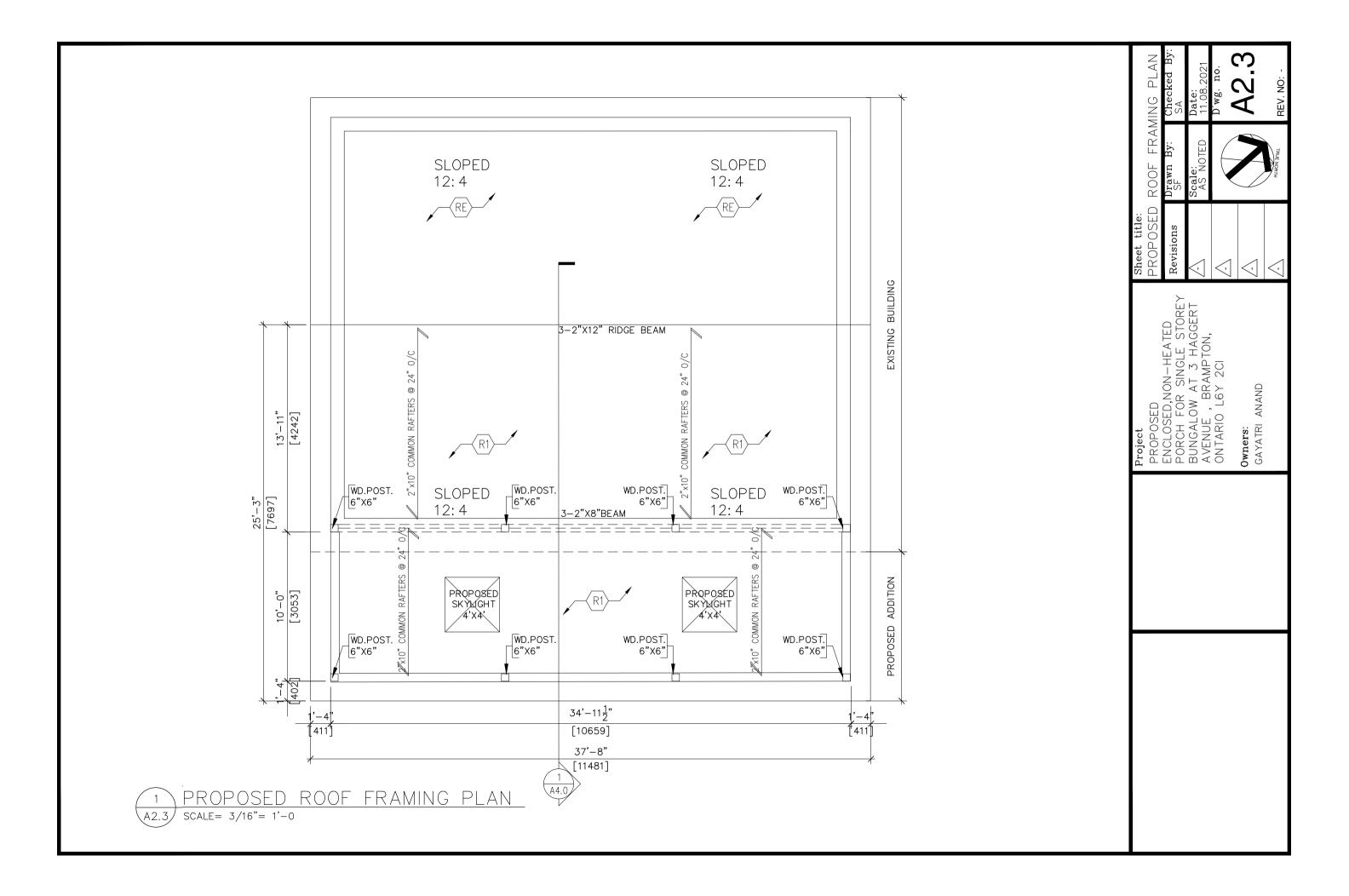
PROPOSED
ENCLOSED,NON—HEATED
PORCH FOR SINGLE STOREY
BUNGALOW AT 3 HAGGERT
AVENUE, BRAMPTON,
ONTARIO L6Y 2CI

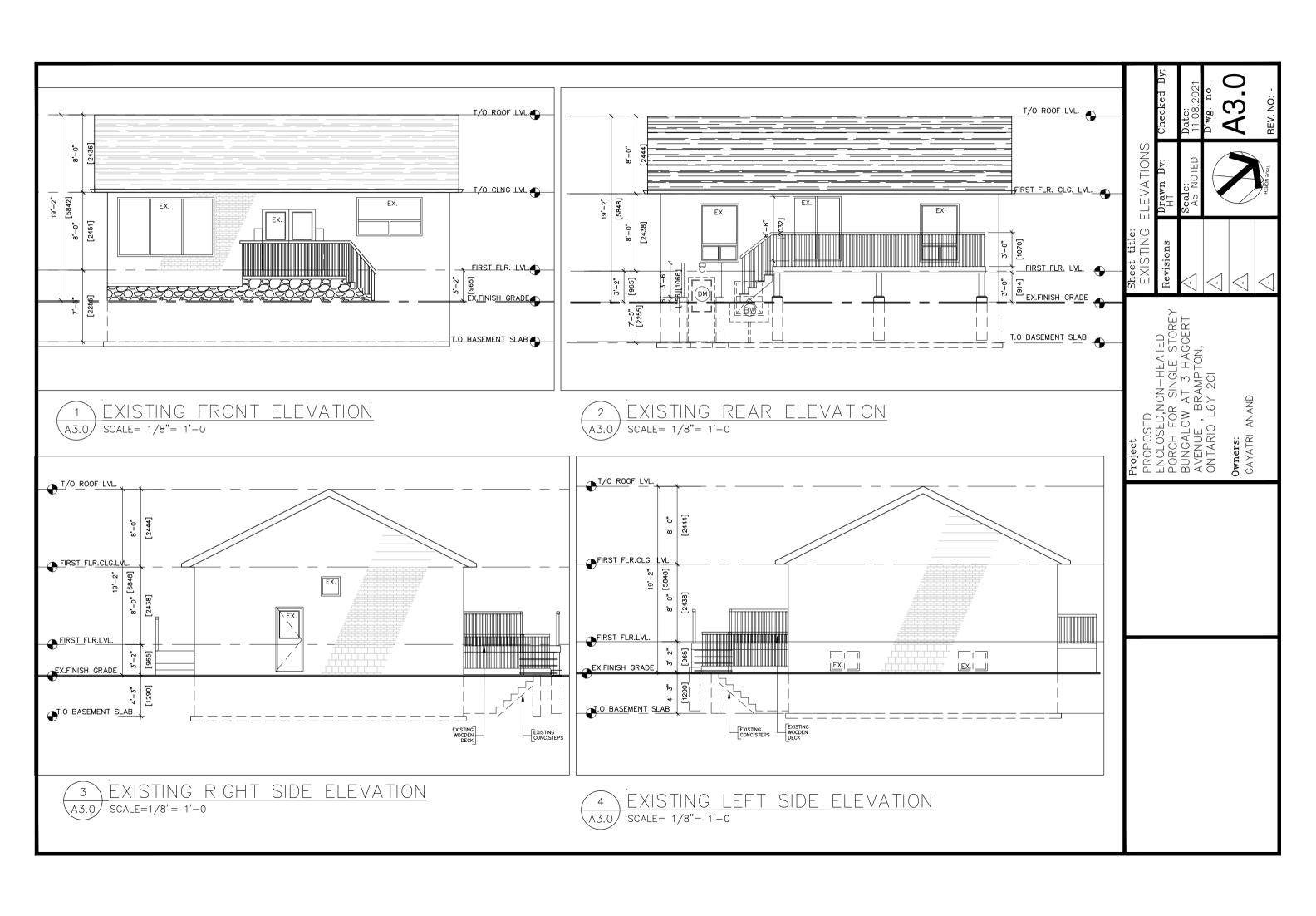
1 EXISTING BASEMENT FLOOR PLAN
A2.0 SCALE= 1/8"= 1'-0

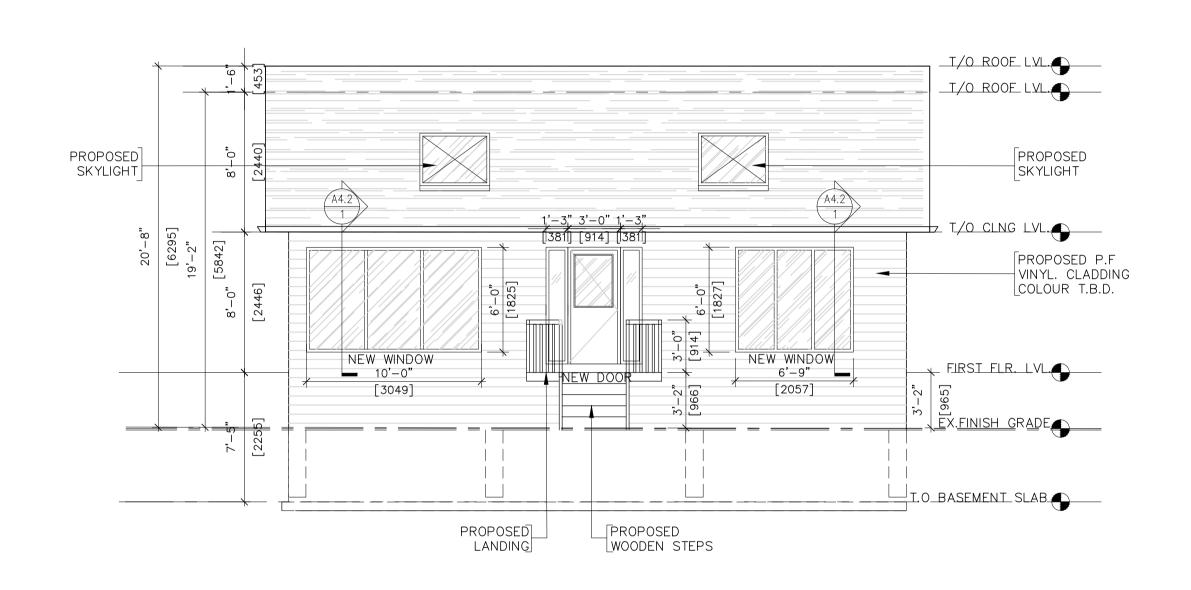
2 EXISTING GROUND FLOOR PLAN
A2.0 SCALE= 1/8"= 1'-0











A3.

Owners: GAYATRI

ELEVATION y: Checked

FRONT

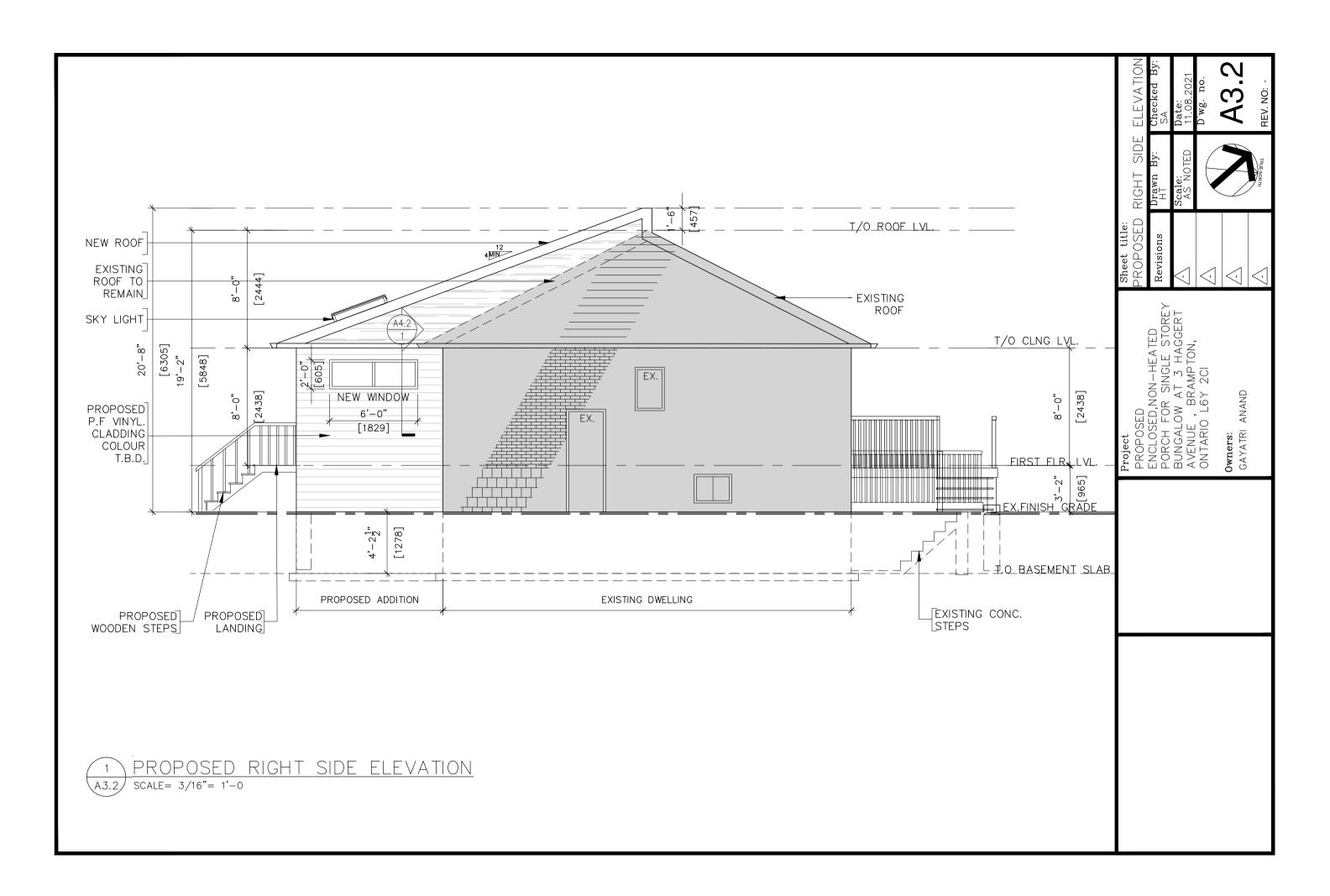
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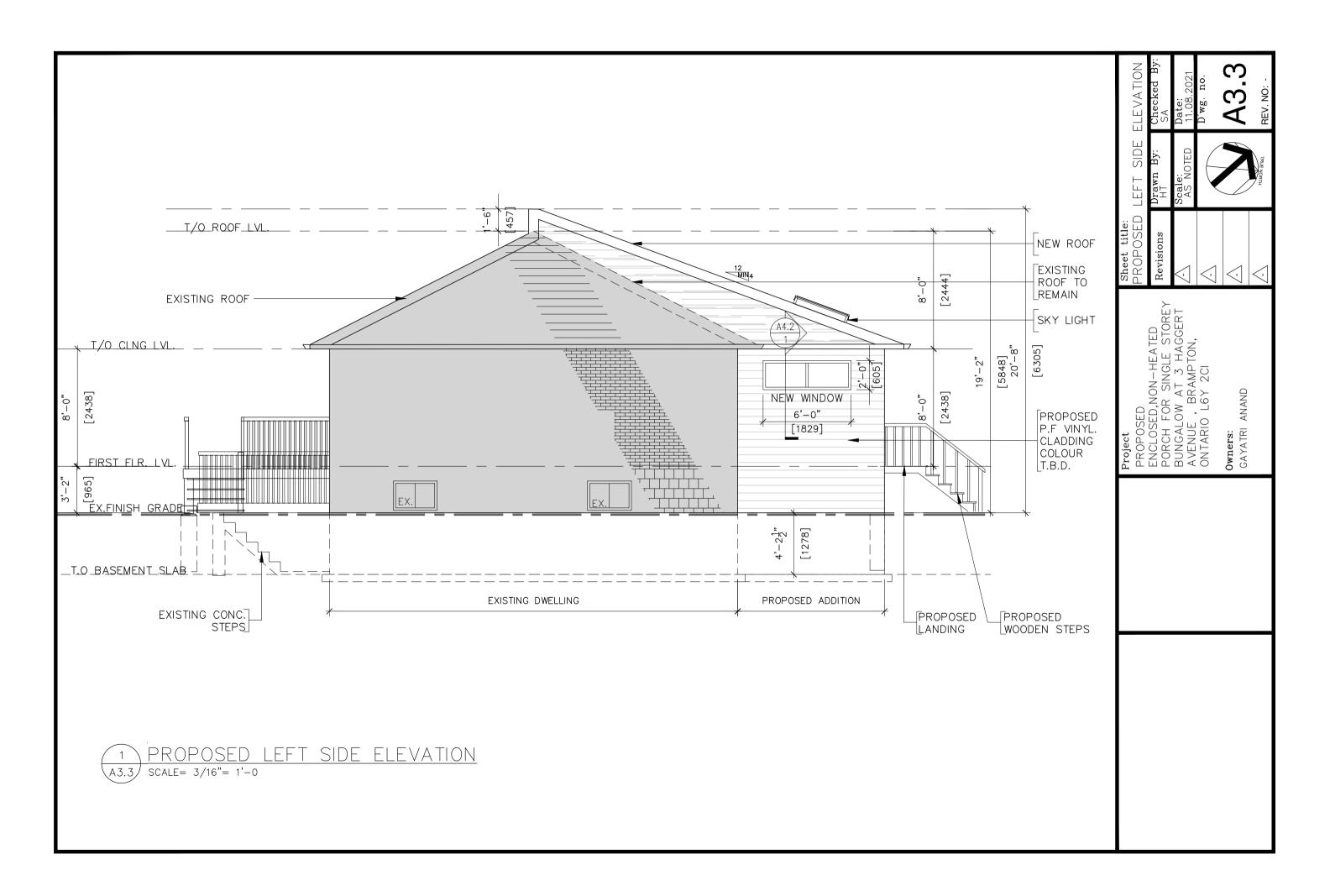
Revisions

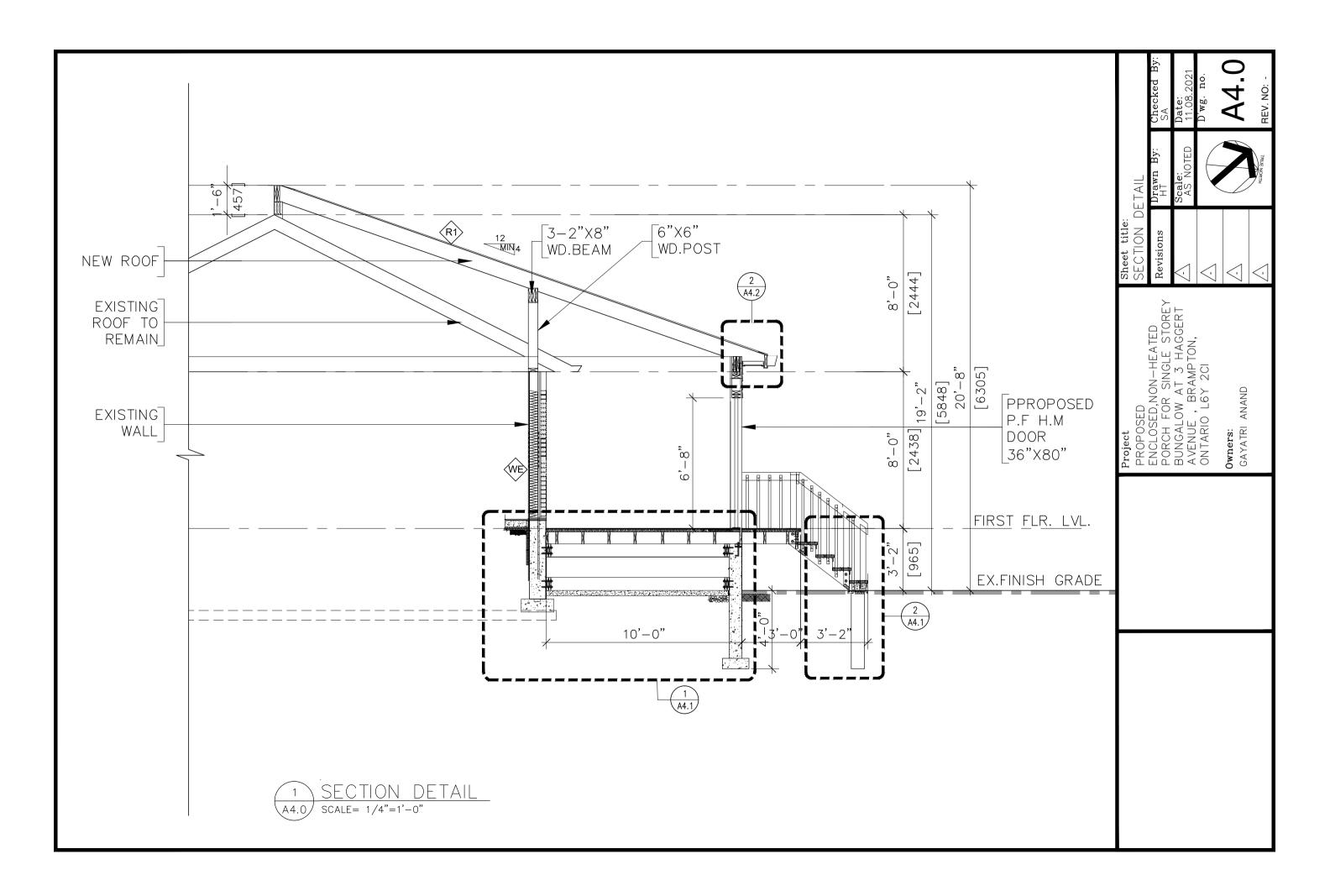
Project
PROPOSED
ENCLOSED,NON-HEATED
PORCH FOR SINGLE STOREY
BUNGALOW AT 3 HAGGERT
AVENUE, BRAMPTON,
ONTARIO L6Y 2CI

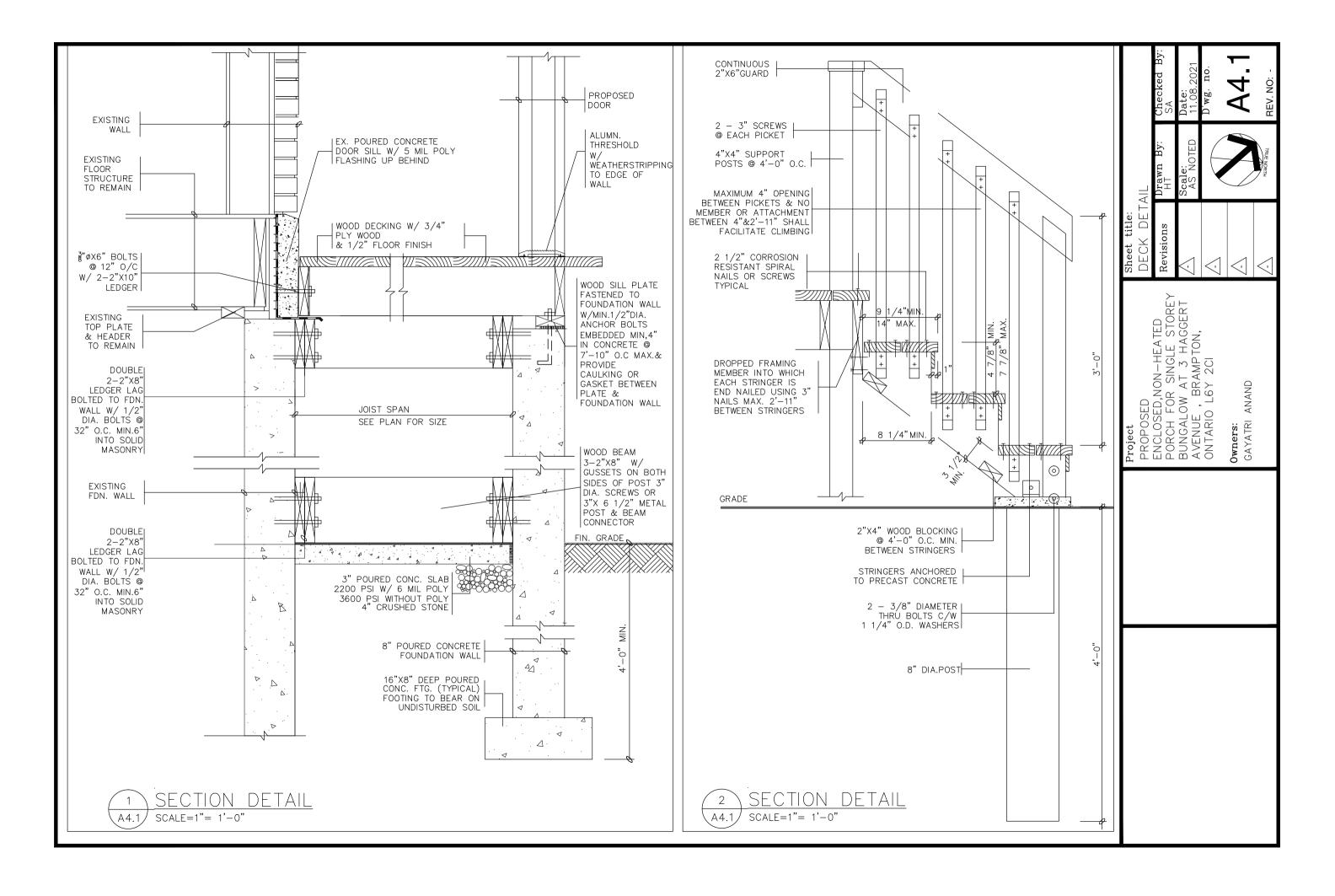
PROPOSED FRONT ELEVATION

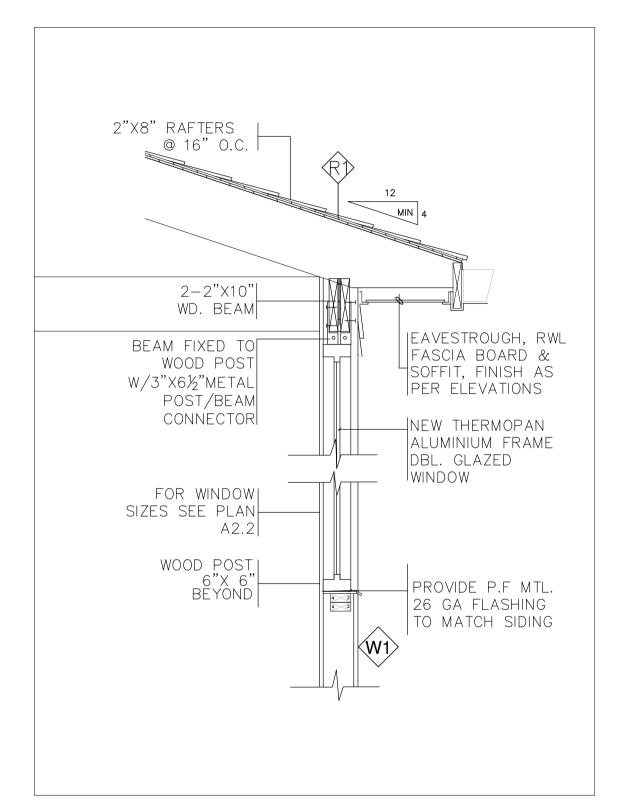
SCALE= 3/16"= 1'-0

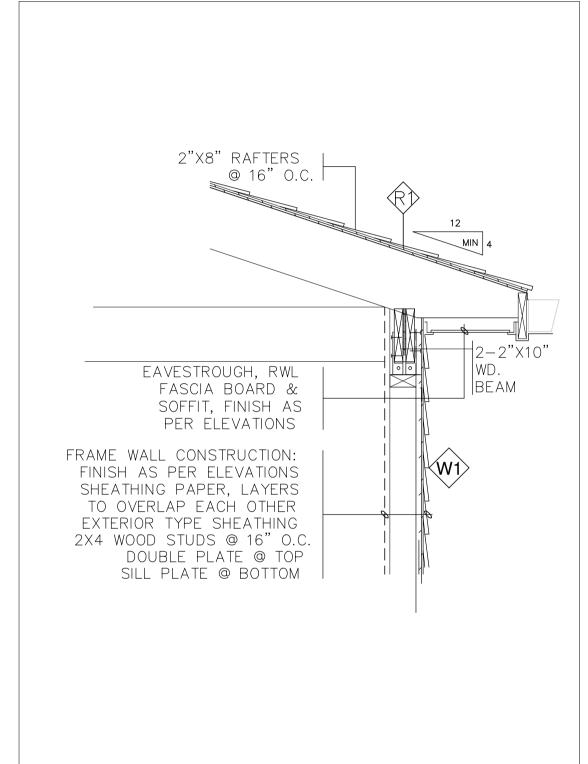








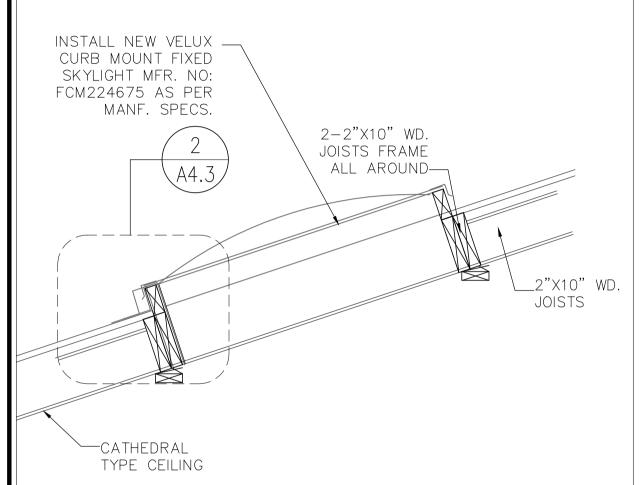


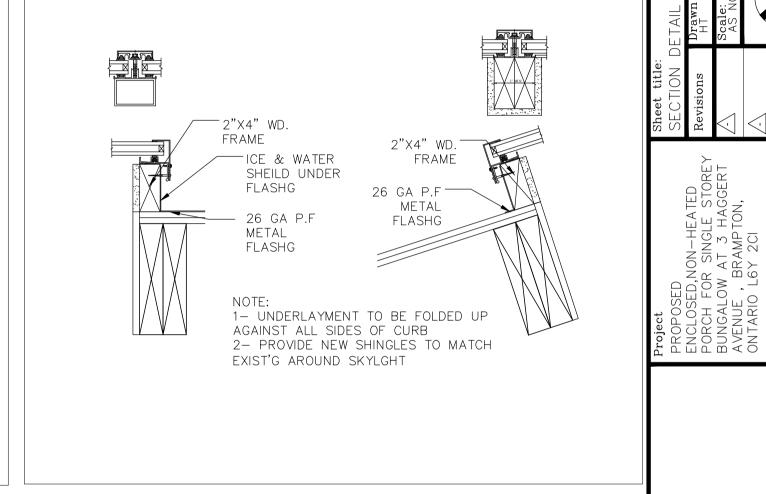


Project PROPOSED ENCLOSED,NON—HEATED PORCH FOR SINGLE STOREY BUNGALOW AT 3 HAGGERT AVENUE, BRAMPTON, ONTARIO L6Y 2CI CABBRISH CABBRIST CABBRIST CABBRISH CABBRIST CAB
SED SED, NON-HEATED FOR SINGLE STOREY LOW AT 3 HAGGERT E, BRAMPTON, OLGY 2CI ANAND ANAND SECTION   Revisions
Project PROPOSED ENCLOSED,NON-HEATED PORCH FOR SINGLE STOREY BUNGALOW AT 3 HAGGERT AVENUE, BRAMPTON, ONTARIO L6Y 2CI GAYATRI ANAND

SECTION DETAIL
A4.2 SCALE=3/4"= 1'-0"

2 SECTION DETAIL
A4.2 SCALE=3/4"= 1'-0"



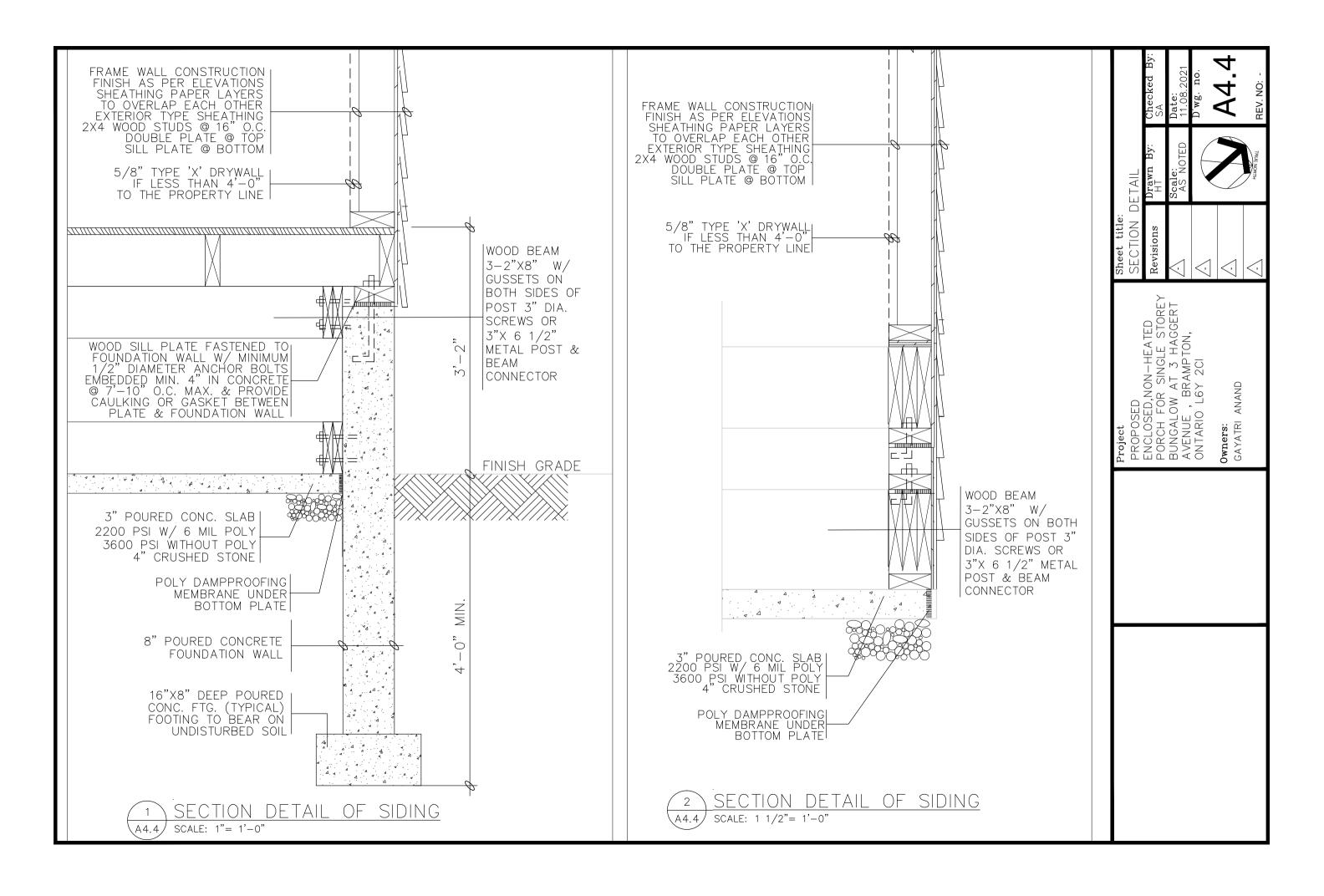


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Owners: GAYATRI

1	SECTION	DETAIL	OF	SKYLIGHT
A4.3	SCALE=3/4"= 1'	-0"		

A4.3 SCALE=1 1/2"= 1'-0"



## WALL TYPE & NOTES LEGEND

EXISTING WALL TO REMAIN



EX. EXTERIOR BRICK-CLAD FRAMED WALL



3" THICK P.F. VINYL HORIZONTAL SIDING (AGWAY/VICWEST) OR EQ.COLOUR (T.B.D) OVER TYVEK AVB OVER 1 EXT. SHEATHING OVER 2"X4" WD. STUDS @16" O/C T/B PLATES.



PROPOSED ROOF CONST. ASPHALT SHINGLES TO MATCH EXISTING #15 BUILDING PAPER %" EXT. PLYWOOD SHEATHING OVER 2"x8" WD. JOISTS @ 16" O/C

# **CEILING TYPES**

C1

GWB STUCCO PLASTERED CLG R50 SR LOOSE INSULATION FILL B/W

| ER |

EXPOSED RAFTERS

# DOOR/WINDOWS SCHEDULE

TYPE	SIZ WIDTH	E HEIGHT	DESCRIPTION
D1	3'-0"	6'-8"	PROPOSED PREFINISH H.C. INSULATED METAL EXTERIOR TYPE PARTIAL FIXED GLAZED PAN DOOR W/ BOLTED LOCK ,ALUM.THRESOLD AND DOOR STOP DOOR MUST BE CONFIRM TO O.B.C 2012 # 9.7.5.2 TO RESIST TO FORCED ENTRY

DF EXISTING DOOR TO REMAIN

## WINDOWS SCHEDULE

TYPE	SIZE WIDTH HEIGHT		SILL LVL. (SL)	DESCRIPTION	
w	10'-0"	6'-0"		ALUMINUM FRAME THERMOPAN DBL. GLAZED CASEMENT WINDOW PROVIDE INSECT SCREEN AT OPENABLE PANS	
W1	6'-9"	6'-0"		DO	
W2	6'-0"	2'-0"		DO	
EX		EXISTING	WINDOW	TO REMAIN	

LIN	LINTEL SCHEDULE				
NO.	DESCRIPTION				
L1	2-2"X6" SPRUCE WD.				
L2	3-2"X6" SPRUCE WD.				
SL1	3-1/2"X3-1/2"X <sup>3</sup> <sub>16</sub> " G.STL. ANGLE				

NOTE: PROVIDE MIN. 6" BEARING OF LINTEL AT B/S OF WALL

# ELECT/HVAC. LEGEND

SMOKE ALARM/ DETECTOR



CARBON MONOXIDE ALARM/DETECTOR CONFORMING TO CAN/CGA-6.19 OR UL-2034

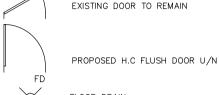


EXHAUST FAN



HVAC AIR GRILL AT WALL MAX. 5'-0" A.F.F RETURN-AIR GRILL AT MAX. 5'-0" A.F.F

AUTOMATIC UPRIGHT SPRINKLER HEAD SPKLR



FLOOR DRAIN



LAMINATED WD. FLOORING



CERAMIC TILES. FLOORING



EX. CONC. FLOORING

# CARBON MONOXIDE ALARM/DETECTOR

CONFORMING TO CAN/CGA-6.19 OR UL-2034 SMOKE ALARM/DETECTOR

120 VOLT DUPLEX RECEPTACLE 220 VOLT 20 AMP. OUTLET

ELECTRICAL SYMBOLS LEGEND

120 VOLT DUPLEX RECEPTACLE WATERPROOF

WALL SWITCH EMERGENCY LIGHT

— CEILING MOUNTED LIGHT

O RECESSED INCANDESCENT POT LIGHT

MECH. EXHAUST

NOTE: ALL NEW ELECTRICAL SERVICES CONFORMING TO O.B.C.1997 SECTION 9.34

#### ABBREVIATIONS LEGEND CL. CLOSET CLG. CEILING CONC. COV. DN CONCRETE COVERED ELECT. ELECTRICAL EXISTING FIR FLOOR GALVANIZED GALV. H.C HOLLOW CORE HEIGHT INSIDE MAX. MAXIMUM I MINI MINIMUM /MINUTE MNTD. MOUNTED N.L.B NON-LOAD BEARING PRE-FINISHED STL. SQ.M. SQUARE METER SQUARE FOOT SQ.FT. WD. W.I.

WALK IN

DUCT TYPE SMOKE DETECTOR

THE AIR DUCT SMOKE DETECTOR SHALL BE A SYSTEM SENSOR INNOVAIRFLEX DNR OR EQ. INTELLIGENT NON-RFLAY

PHOTOELECTRIC DUCT SMOKE DETECTOR AND DNRW
WATERTIGHT NEMA4 DUCT SMOKE DETECTOR. THE DETECTOR HOUSING SHALL BE UL LISTED PER UL 268A SPECIFICALLY FOR USE IN AIR HANDLING SYSTEMS. THE FLEXIBLE HOUSING OF THE DUCT SMOKE DETECTOR FITS BOTH SQUARE AND

RECTANGULAR FOOTPRINTS.
THE DETECTOR SHALL OPERATE AT AIR VELOCITIES OF 100

FT/MIN TO 4000 FT/MIN (0.5 M/SEC TO 20.32 M/SEC). THE UNIT SHALL BE CAPABLE OF PROVIDING A TROUBLE SIGNAL IN THE EVENT THAT THE SENSOR COVER IS REMOVED OR

IMPROPERLY INSTALLED. IT SHALL BE CAPABLE OF LOCAL TESTING VIA MAGNETIC SWITCH OR REMOTE TESTING USING THE RTS451KEY/RTS151KEY REMOTE TEST STATION. TERMINAL CONNECTIONS SHALL BE OF THE STRIP AND CLAMP METHOD SUITABLE FOR 12-18 AWG WIRING.

ELECTRICAL RATINGS THE INNOVAIRFLEX SAMPLING TUBE MAY BE INSTALLED FROM THE FRONT OR BACK OF THE DETECTOR. THE TUBE I UCKS

SECURELY INTO PLACE AND CAN BE REMOVED BY RELEASING THE FRONT OR REAR LOCKING TAB.

### 1. GENERAL REQUIREMENTS

- 1. CONFORM TO REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION
- 2. ALL MATERIALS SHALL BE FURNISHED AND ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE GRADES OR STANDARDS OF MATERIALS. STANDARDS OF WORKMANSHIP AND MANUFACTURE'S SPECIFICATIONS LISTED

SPECIFICATIONS

- 3. CONTRACTOR TO VERIFY ALL DIMENSIONS AND SITE CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING THE WORK. CONTRACTOR TO VERIFY STRUCTURE OF WALLS, FLOOR AND CEILING AT NEW ENTRANCES, WINDOWS, CANOPY AND EXTERIOR CLADDING.
- 4. INSPECT THE EXISTING SITE AND NOTE ANY CONDITIONS WHICH WOULD AFFECT THE WORK. NO CLAIM FOR AN ADDITION TO THE CONTRACT AMOUNT WILL BE CONSIDERED RESULTING FROM FAILURE TO BECOME FAMILIAR WITH ALL, APPARENT EXISTING SITE CONDITIONS.
- 5. UNLESS OTHERWISE SPECIFIED, PROVIDE AND MAINTAIN ALL NECESSARY PROTECTION INCLUDING HOARDING, BARRICADES, WARNING LIGHTS AND SIGNS, BEFORE AND DURING DEMOLITION WORK.
- 6. PROTECT ALL MECHANICAL AND ELECTRICAL EQUIPMENT AND PIPING THAT IS TO REMAIN.
- 7. PROTECT ALL EXISTING FINISH SURFACES WHICH ARE NOT SUBJECT TO DEMOLITION.
- 8. MAINTAIN PROPER ACCESS TO PREMISES
- 9. MAKE GOOD DAMAGE TO SUCH STRUCTURES RESULTING FROM WORK UNDER THIS SECTION AT NO COST TO OWNER.
- 10 EXERCISE CAUTION IN DISMANTLING OR DISCONNECTING WORK ADJACENT TO EXISTING WORK DESIGNATED TO REMAIN.
- MAKE GOOD ANY DEMOLITION TO THE EXISTING WORK BEYOND THAT NECESSARY FOR CARRYING OUT NEW WORK, AT NO EXPENSE TO THE OWNER.
- 12. CARRY OUT DEMOLITION AS SCHEDULED, IN A ORDERLY AND CAREFUL MANNER.
- 14. REPORT TO THE ARCHITECT AND INTERIOR DESIGNER ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND INTERIOR DESIGN DRAWINGS. CONTRACTOR TO MAINTAIN AT THE JOB SITE AN UPDATED SET OF DRAWINGS AND RECORD ANY CHANGES TO BUILDING PERMIT DRAWINGS.

#### 2. SITE WORK

- MAINTAIN PROPER ACCESS TO THE SITE. PROVIDE ADEQUATE PROTECTION TO CURBS, SIDEWALKS AND LIGHTS. MAKE GOOD ANY DAMAGE AT NO COST TO THE OWNER.
- 2. REMOVE FROM THE SITE AND LEGALLY DISPOSE OF ALL RUBBISH, AND SURPLUS MATERIALS RESULTING FROM THE WORK.

### CONCRETE

CONCRETE MATERIALS SHALL CONFORM TO REQUIREMENTS OF CAN/CSA A23.1-M90, 266-M78

BEFORE COMMENCING WORK, ENSURE THAT SURFACES ARE ACCEPTABLE TO RECEIVE AND MAINTAIN CONCRETE FINISHING AND THAT SPECIFIED INSTALLATION WILL BE ACHIEVED.

PATCHING CONCRETE SHALL BE THOROUGHLY COMPACTED INTO PLACE AND FINISHED IN SUCH A MANNER AS TO MATCH ADJOINING CONCRETE. RUB DOWN TO GIVE UNIFORM, SMOOTH, FLUSH, MONDLITHIC SURFACE FREE OF ALL DEFECTS IN APPEARANCE TO ARCHITECTS APPROVAL.

MAINTAIN DIMENSIONS, LINES AND LEVELS OF EXISTING WORK.

TAKE SPECIAL CARE OF ERECTING BLOCK WALLS TO WHICH OTHER SECTIONS WILL APPLY FINISHES, TO ENSURE TOLERANCES REQUIRED OF FOLLOWING SECTIONS CAN BE MET WITH REASONABLE CONSTRUCTION PROCEDURES ( E.G. THIN SET APPLICATION OF GRANITE TILES.)

ALL MASONRY SHALL BE PATCHED AND REPAIRED USING METHODS AND MATERIALS TO MATCH EXISTING WORK.

CONFORM TO REQUIREMENTS OF CAN/CSA-G40.21

& M92 (HOT DIP GALV. PARTS)

WORK TO BE EXECUTED BY FIRM THOROUGHLY FAMILIAR WITH LAWS, BY-LAWS AND REGULATIONS WHICH GOVERN, AND CAPABLE OF WORKMANSHIP OF BEST GRADE AND FIELD PRACTISE KNOWN TO BE RECOGNIZED MANUFACTURE'S

PAINT PRIMER TO BE ZINC CHROMATE CONFORMING TO CGSB 1-6P-40D. FINISH COLOUR TO BE AS PER APPROVED SAMPLE BY INTERIOR DESIGNER.

Owners:

GAYATRI ANAND

#### 6. WOOD AND PLASTICS

- MATERIALS SHALL BE CAREFULLY CHECKED, UNLOADED STORED AND HANDLED TO PREVENT DAMAGE. PROTECT MATERIALS WITH SUITABLE NON-STAINING WATERPROOF COVERINGS.
- SUPPLY ALL LABOUR, MATERIALS, EQUIPMENT, SERVICES AND PERFORM ALL OPERATIONS REQUIRED TO COMPLETE ALL ROUGH CARPENTRY WORK, TO THE FULL INTENT OF THE DRAWINGS AND AS HEREIN SPECIFIED.
- 3. ALL INTERIOR ROUGH CARPENTRY APPLIED TO WALLS, FLOORS, AND CEILING IS TO HAVE A FLAME SPREAD RATING OF 150 OR LESS.

#### 7. THERMAL AND MOISTURE PROTECTION

- 1. MAINTAIN EXISTING LEVELS OF INSULATION
- ALL MATERIALS AND METHODS USED IN APPLICATION SHALL BE IN STRICT ACCORDANCE WITH THE PRINTED INSTRUCTIONS OF THE MANUFACTURER.
- INSTALL INSULATION TO MAINTAIN CONTINUITY OF THERMAL PROTECTION TO BUILDING ELEMENTS AND SPACES.
- 4. INSTALL LOOSE INSULATION IN LOCATIONS AND THICKNESS SHOWN, AND FOR PACKING WHERE REQUIRED TO MAINTAIN THE INTEGRITY OF THE THERMAL BARRIER. SEAL JOINTS TO PREVENT THE TRANSFER OF MOISTURE.
- 5. SEALANTS AND COLOUR TO BE SELECTED BY INTERIOR DESIGNER
- 6. CLEAN JOINTS AND SPACES TO BE CAULKED AND ENSURE THEY ARE DRY AND FREE OF DUST, LOOSE MORTAR, OIL, GREASE AND OTHER FOREIGN MATERIAL. CLEAN FERROUS MATERIALS OR RUST, MILL, SCALE AND FOREIGN MATERIALS BY WIRE BRUSHING, GRINDLING OR SANDING.
- UPON COMPLETION, REMOVE MASKING AND SEALANT SMEARS AND DROPPINGS FROMADJACENT AND OTHER SURFACES.
- PATCH AND REPAIR EXISTING WORK, REQUIRED DUE TO THE WORK OF THE CONTACT. USE THE EXACT SAME METHODS AND MATERIALS TO MATCH THE EXISTING WORK. WHERE IT IS NOT POSSIBLE, SUBMIT PROPOSALS TO THE INTERIOR DESIGNER FOR APPROAVAL.

# 8. DOORS AND WINDOWS

STEEL DOORS AND FRAMES:

SUBMIT SHOP DRAWINGS IN ACCORDANCE WITH GENERAL CONDITIONS, SHOW EACH TYPE OF FRAME, DOOR, HARDWARE BLANKING, REINFORCING TAPPING AND DRILLING ARRANGEMENTS, METAL GAUGES, THICKNESS AND FINISHES. SUBMIT DOOR AND FRAME SCHEDULE IDENTIFYING EACH UNIT. APPROVAL TO BE MADE BY INTERIOR DESIGNER.

# WOOD DOORS AND FRAMES:

- 2. MANUFACTURE SOLID CORE VENEERED AND PLASTIC LAMINATED FACED WOOD DOORS TO ARCHITECTURAL WOODWORK MANUFACTURERS ASSOCIATION OF CANADA LATEST REVISIONS, FOR PREMIUM GRADE SPECIALTY DOORS.
- 3. SUBMIT SHOP DRAWINGS IN ACCORDANCE WITH GENERAL CONDITIONS ILLUSTRATING DOOR CONSTRUCTION FOR THE INTERIOR DESIGNER TO REVIEW.

# 9. FINISHES

GYPSUM WALLBOARD:

- EXECUTE THE GYPSUM WALLBOARD WORK COMPLETE IN ALL RESPECTS AND FREE OF DEFECTS IN MATERIALS AND WORKMANSHIP AFFECTING APPEARANCE AND PERFORMANCE.
- EXAMINE AND CO-ORDINATE WORK WITH THE OTHER TRADES AND ENSURE THAT ANCHORS, GROUNDS, ELECTRICAL CONDUIT, WIRING AND MECHANICAL WORK, WHICH IS TO BE INSTALLED IN OR BEHIND WORK UNDER THIS CONTRACT HAS BEEN INSTALLED, TESTED AND APPROVED.
- 3. CONFORM TO CURRENT C.S.A. STANDARDS A82.30 AND A82.31, EXEPT AS SPECIFIED OTHERWISE HEREIN.
- FINISHED GYPSUM WALLBOARD SURFACES SHALL BE TRUE PLANES WITHIN 1/8 INCH WHEN CHECKED WITH 12 FEET STRAIGHT EDGE PLACED ANYWHERE ON THE SURFACE. SURFACES SHALL BE FREE FROM WAVES, IRREGULATIONS AND OTHER DEFECTS. VERTICAL SURFACES, PLUMB AND TRUE TO LINE, HORIZONTAL SURFACES

Project PROPOSED ENCLOSED, NON-HEATED PORCH FOR SINGLE STORE' BUNGALOW AT 3 HAGGERT AVENUE, BRAMPTON, ONTARIO L6Y 2CI

Sheet title: NOTES AND LEGEND

Checked By Revisions Date: /1\ AS NOTED 11 08 2021 D'wg. no. REV. NO: