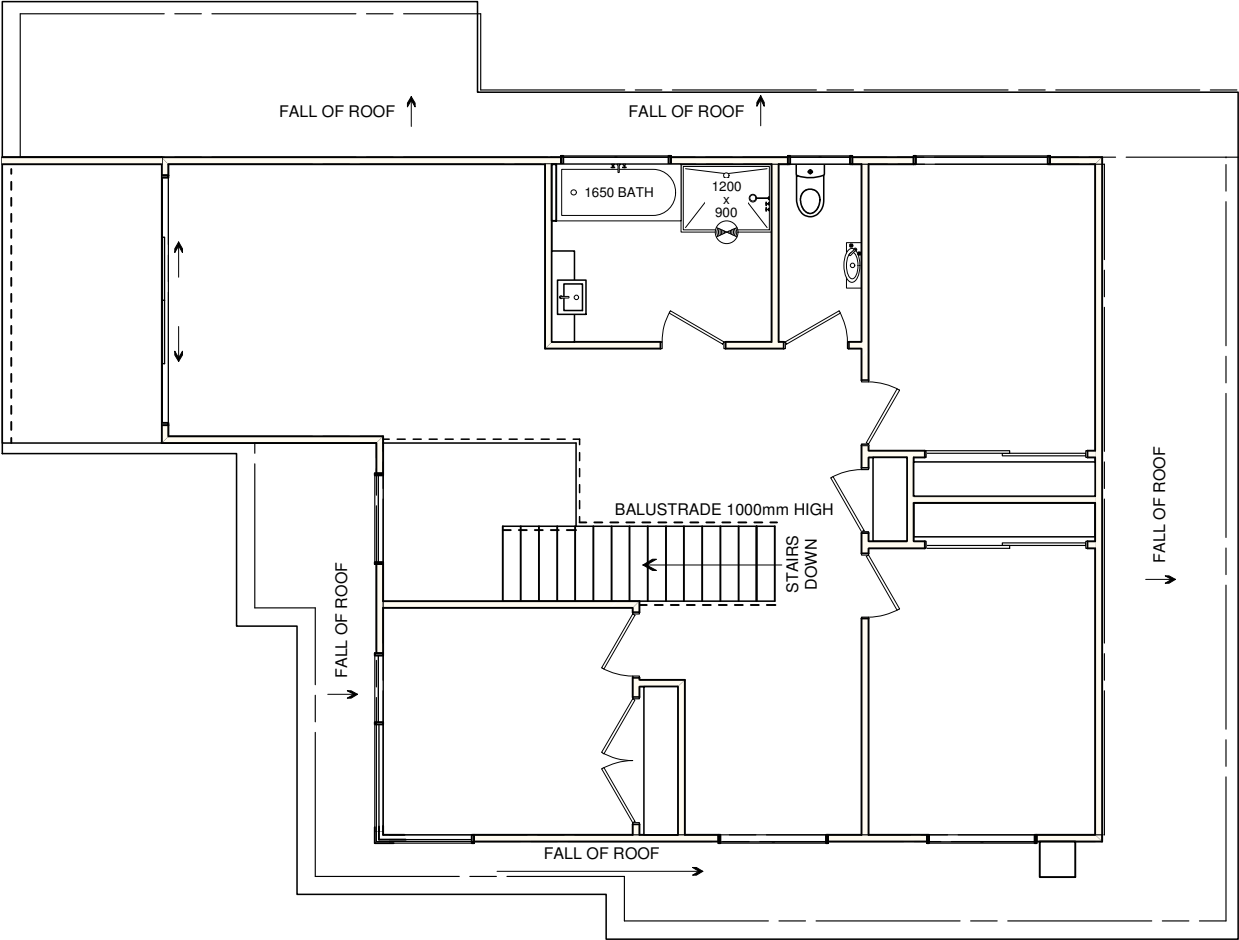


DWELLING MUST COMPLY WITH 6 STAR ENERGY RATING.
REFER HOUSE ENERGY RATING REPORT.
NOTE: MINIMUM 2,000 LITRE RAINWATER TANK
CONNECTED TO ALL SANITARY FLUSHING SYSTEMS
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REFER TO BAL REPORT FOR
BUSHFIRE REQUIREMENTS



ELECTRICAL SCHEDULE

- CEILING EXHAUST FAN
- SINGLE POWER POINT
- DOUBLE POWER POINT
- CEILING BATTENHOLDER
- WALL LIGHT
- TWS TWO WAY SWITCH
- GAS POINT
- LED DOWN LIGHT (Capped & Sealed)
- TV POINT
- PHONE POINT
- EXT. DOUBLE PWR POINT
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- METER BOX
- DOWNPIPE
- D/P & S.B D/P WITH SPREADER BAR
- DL DOWN LIGHT
- SPOTLIGHT
- Sensor Light SENSOR LIGHT
- HEATER FAN LIGHT

INDICATES LOCATION OF **SMOKE ALARMS**
TO BE INSTALLED IN ACCORDANCE WITH
AS3786.1993 AND INTERCONNECTED AS
PER BCA VOL 2 2014 3.7.2.2.(d)

NOTES:
PROVIDE WIRING IF REQUIRED FOR
STOVE/HOT PLATES
RANGEHOOD
DISHWASHER
MICROWAVE OVEN
HOT WATER SERVICE
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WATER PUMP IF TANKS
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CONNECT ALL STORMWATER TO LEGAL POINT OF
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DOWN PIPES TO BE PROVIDED AND SPACED AT
12.00m MAXIMUM CONTINUOUS SPACINGS OR AS
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STORM WATER DRAINS 90mm dia PVC PIPE
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DRAIN MIN. 1:100 FALL TO LEGAL POINT OF
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12.0m CENTRES.

UPPER LEVEL SERVICES PLAN

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29 SHANNS AVENUE
MOUNT MARTHA

| | |
|--------------------|---|
| DRAFT PLANS ONLY | - |
| PRELIMINARY PLANS | X |
| CONSTRUCTION PLANS | - |

DATE : 05.05.2015
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JOB No: WD1505A
SCALE : 1 : 100
PAGE : 6 of 7

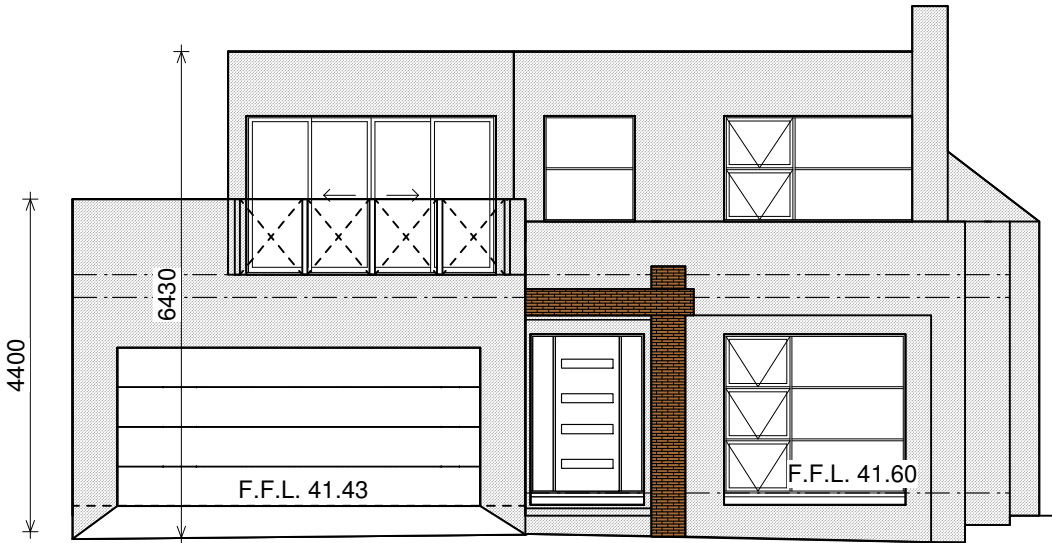


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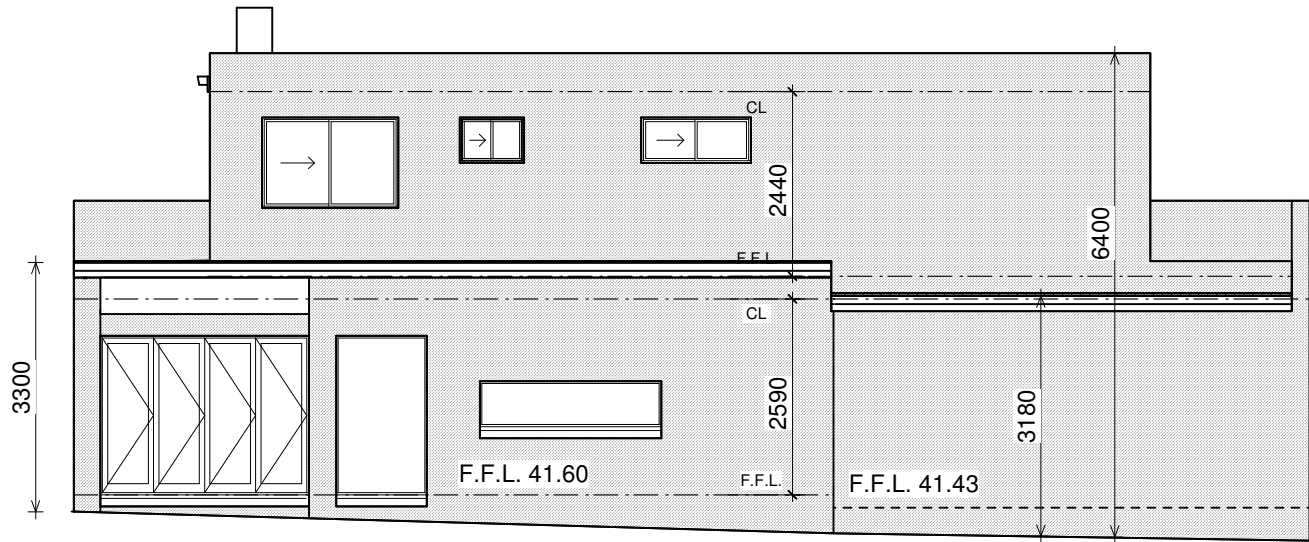
WINDOW SCHEDULE

NOMINAL SIZES ONLY

| Name | Height | Width |
|---------|--------|-------|
| ASD2133 | 2100 | 3300 |
| ASW0515 | 450 | 1450 |
| ASW0609 | 600 | 850 |
| ASW0615 | 600 | 1450 |
| ASW1218 | 1200 | 1800 |
| AW 1412 | 1400 | 1200 |
| AW 1418 | 1400 | 1800 |
| AW 2124 | 2100 | 2400 |
| BD 2128 | 2100 | 2760 |
| BD 2130 | 2100 | 3000 |
| DF 0820 | 2100 | 900 |
| DH 2109 | 2100 | 850 |
| ED 2115 | 2100 | 1500 |
| FW 0512 | 450 | 1200 |
| FW 0624 | 600 | 2400 |
| FW2112 | 2100 | 1200 |



ELEVATION A



ELEVATION B

WINDOWS ARE NOMINAL SIZES ONLY AND ARE TO BE FLASHED ALL ROUND

SAFETY GLAZING IN ACCORDANCE WITH
BCA 2012 - PART 3.6

- * ALL ROOMS - WITHIN 500mm VERTICAL OF THE FLOOR OR WITHIN 300mm HORIZONTAL FROM ALL DOORS
- * BATHROOMS -WITHIN 2000mm VERTICAL FROM BOTTOM OF BATH OR SHOWER BASE
- * LAUNDRY - WITHIN 1200mm VERTICAL FROM FLOOR

VERTICAL ARTICULATION JOINTS SHALL BE PROVIDED IN STRAIGHT, CONTINUOUS WALLS (HAVING NO OPENINGS) AT NOT MORE THAN 6.0M CENTRES & LOCATED NO CLOSER THAN THE HEIGHT OF THE WALL AWAY FROM THE CORNERS. WHERE THE OPENINGS ARE MORE THAN 900mm X 900mm, THEN THE ARTICULATION JOINTS ARE TO BE REDUCED TO 5.0M CENTRES AND POSITIONED IN LINE WITH AT LEAST ONE EDGE OF THE OPENING. FURTHER MORE THE ARTICULATION JOINTS SHOULD BE PROVIDED AT OR NEAR CHANGES IN FOUNDATION SOIL, AT DEEP REBATES FOR PIPES, WHERE WALLS CHANGE IN THICKNESS & BETWEEN NEW AND OLD BRICKWORK.

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DRAFT PLANS ONLY

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DATE : 11.05.2015

PRELIMINARY PLANS

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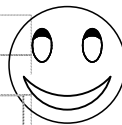
CONSTRUCTION PLANS

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JOB No: WD1505A

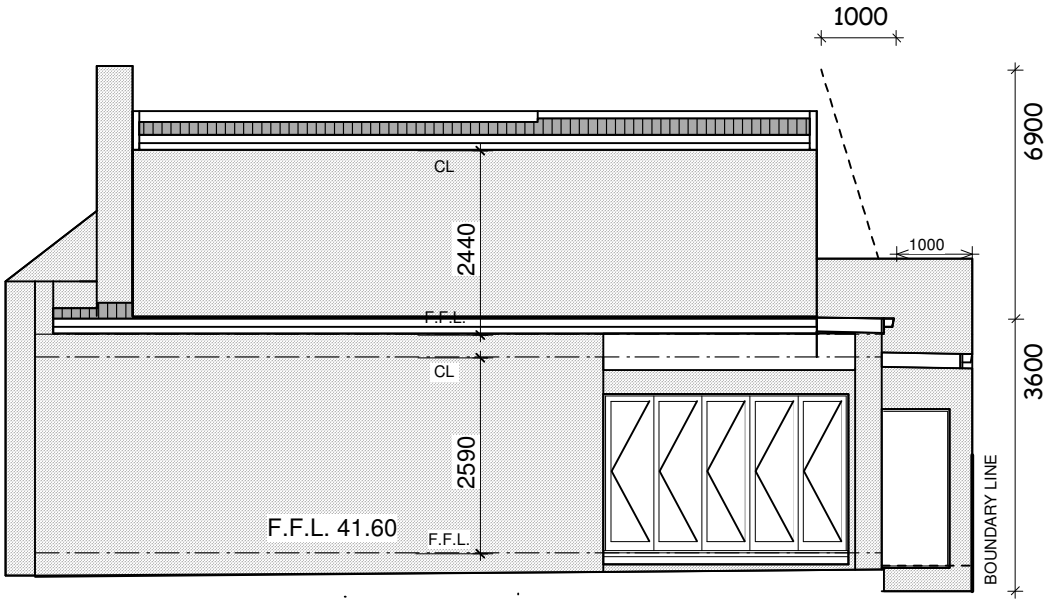
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PAGE : 4 of 8

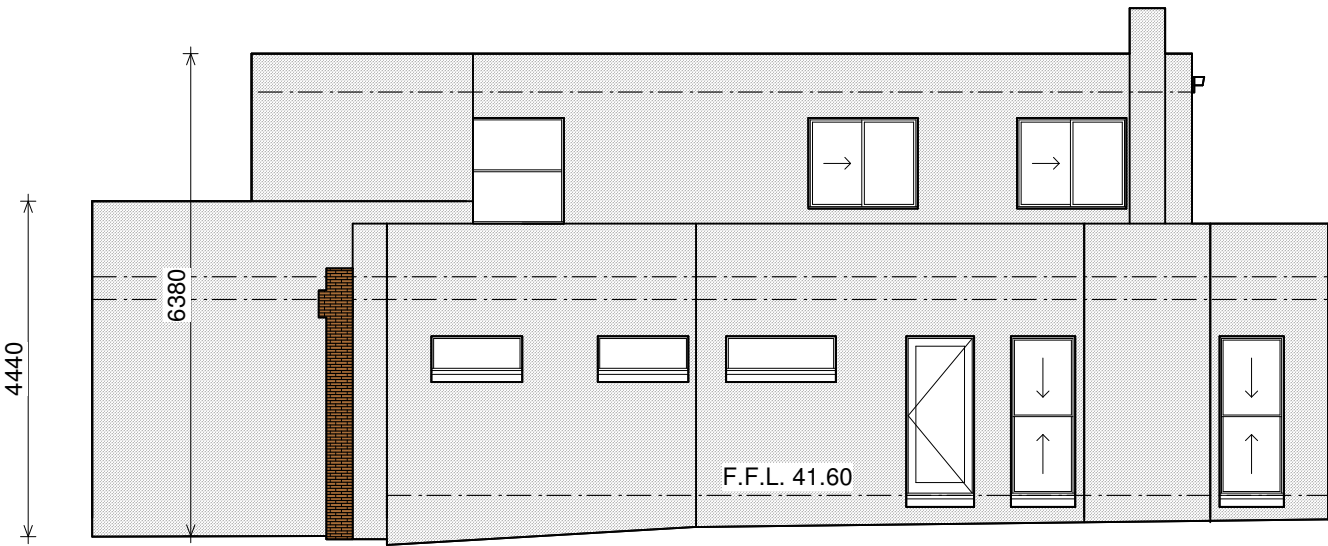


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ELEVATION C



ELEVATION D

GROUND LEVEL TO BE GRADED AWAY FROM DWELLING AT A MINIMUM GRADIENT OF 1 : 20 FOR 2000mm.

PROVIDE A.G. DRAIN AT THE BASE OF ANY EXCAVATION FOUNDED INTO CLAY AND CONNECTED TO STORM WATER DRAINS VIA A SILT PIT.

NOTE : LEVELS SHOWN ARE APPROXIMATE ONLY AND ARE TO BE CONFIRMED ON SITE.

ANY WALLS BUILT ON BOUNDARY LINE TO BE AN AVERAGE HEIGHT OF 3000mm AND TO HAVE A MAXIMUM HEIGHT OF 3600mm ABOVE NATURAL GROUND LEVEL 1000 IN FROM BOUNDARY

STAIRS:
STEP SIZES
RISERS (r) 190mm max. / 115mm min.
GOING (g) 355mm max. / 240mm min.
(2r + 1g) 700mm max. / 550mm min.
125mm GAP TO OPEN TREADS

PROVIDE BALUSTRADES WHERE CHANGE IN LEVEL EXCEEDS 1000mm

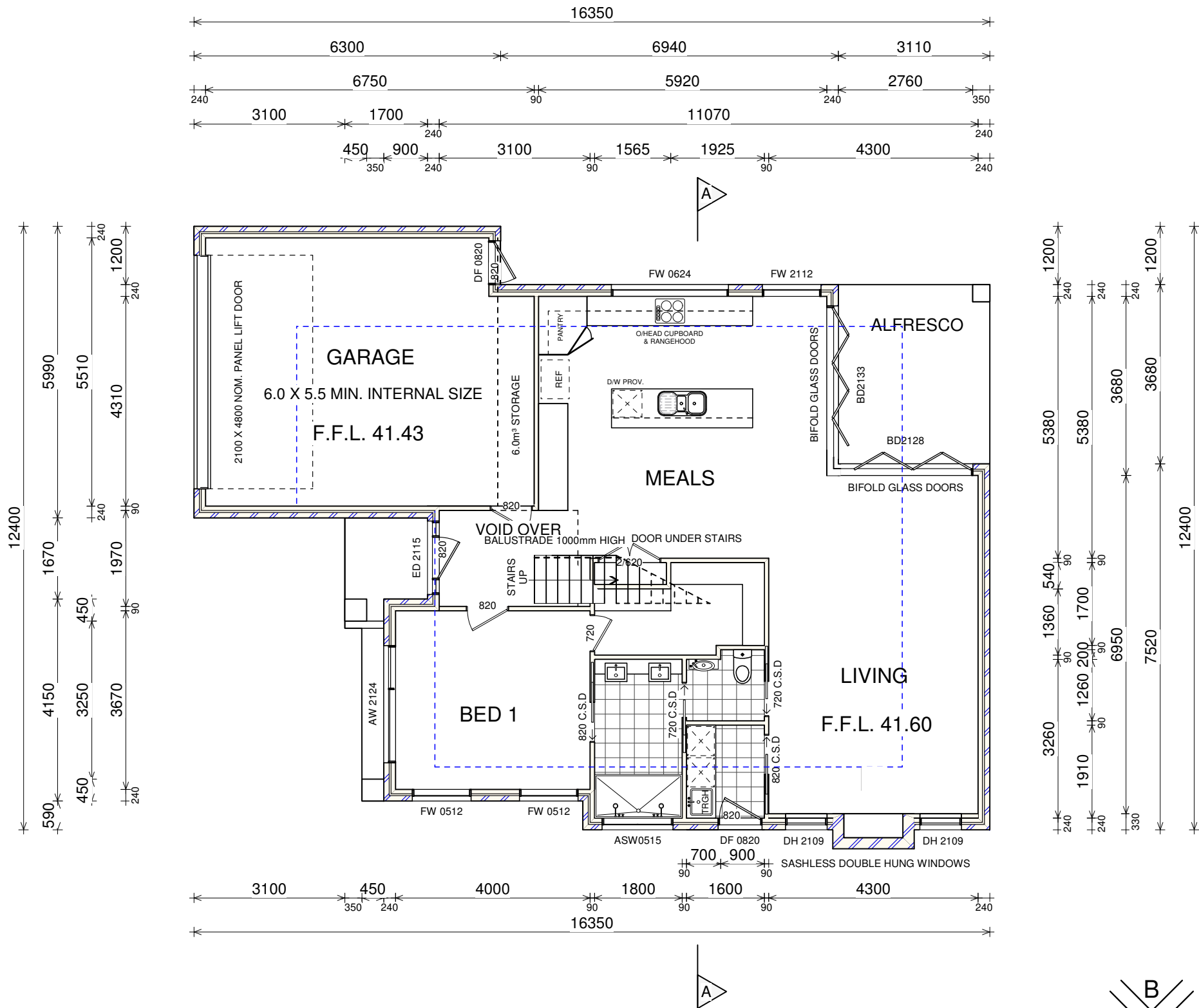
BALUSTRADES TO BE
1000mm ABOVE BALCONIES
865mm ABOVE STAIR NOSINGS AND LANDINGS
Max. 125mm GAP BETWEEN

HANDRAILS TO BE
865mm min.ABOVE STAIR NOSINGS & LANDINGS

HANDRAILS MUST BE LOCATED ALONG AT LEAST ONE SIDE OF THE STAIR & FIXED NOT LESS THAN 865mm ABOVE THE NOSINGS OF THE STAIR TREADS AND FLOOR SURFACE OF THE LANDING OR THE LIKE. PROVIDE NON-SLIP FINISH NEAR EDGE OF NOSINGS.

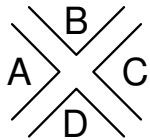
FOR FLOORS MORE THAN 4.0M ABOVE GROUND LEVEL ANY HORIZONTAL ELEMENTS WITHIN THE BALUSTRADE OR OTHER BARRIER BETWEEN 150mm & 760mm ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING. MINIMUM CLEAR HEIGHT OF STAIRS TO BE 2000mm FOR A MINIMUM CLEAR WIDTH OF 1000mm.

| FLOOR AREA | SQUARE Mtr. |
|--------------------------|---------------|
| LOWER LEVEL | 110.08 |
| UPPER LEVEL | 97.62 |
| TOTAL LIVING AREA | 207.70 |
| GARAGE | 40.52 |
| PORCH | 3.32 |
| ALFRESCO | 11.16 |
| FOOTPRINT | 165.08 |
| TOTAL DWELLING | 262.70 |
| TOTAL SQUARES | 28.28 |



LOWER LEVEL FLOOR PLAN

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ELEVATIONS

WIZARD DESIGN

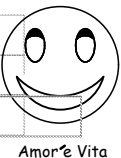
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PRELIMINARY PLANS
CONSTRUCTION PLANS
















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NOTE: MINIMUM 2,000 LITRE RAINWATER TANK CONNECTED TO ALL SANITARY FLUSHING SYSTEMS OR SOLAR HOT WATER SERVICE WILL BE INSTALLED

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|  | WALL LIGHT |
| TWS | TWO WAY SWITCH |
|  | PENDANT LIGHT |
| ● | LED DOWN LIGHT (Capped & Sealed) |
|  | TV POINT |
|  | PHONE POINT |
|  | EXT. DOUBLE PWR POINT |
|  | EXT. SINGLE PWR POINT |
|  | METER BOX |
|  | DOWNPIPE |
| D.P & S.B | D/P WITH SPREADER BAR |
|  | SPEAKER |
| Sensor Light  | SENSOR LIGHT |
|  | CEILING LIGHT |

INDICATES LOCATION OF **SMOKE ALARMS**
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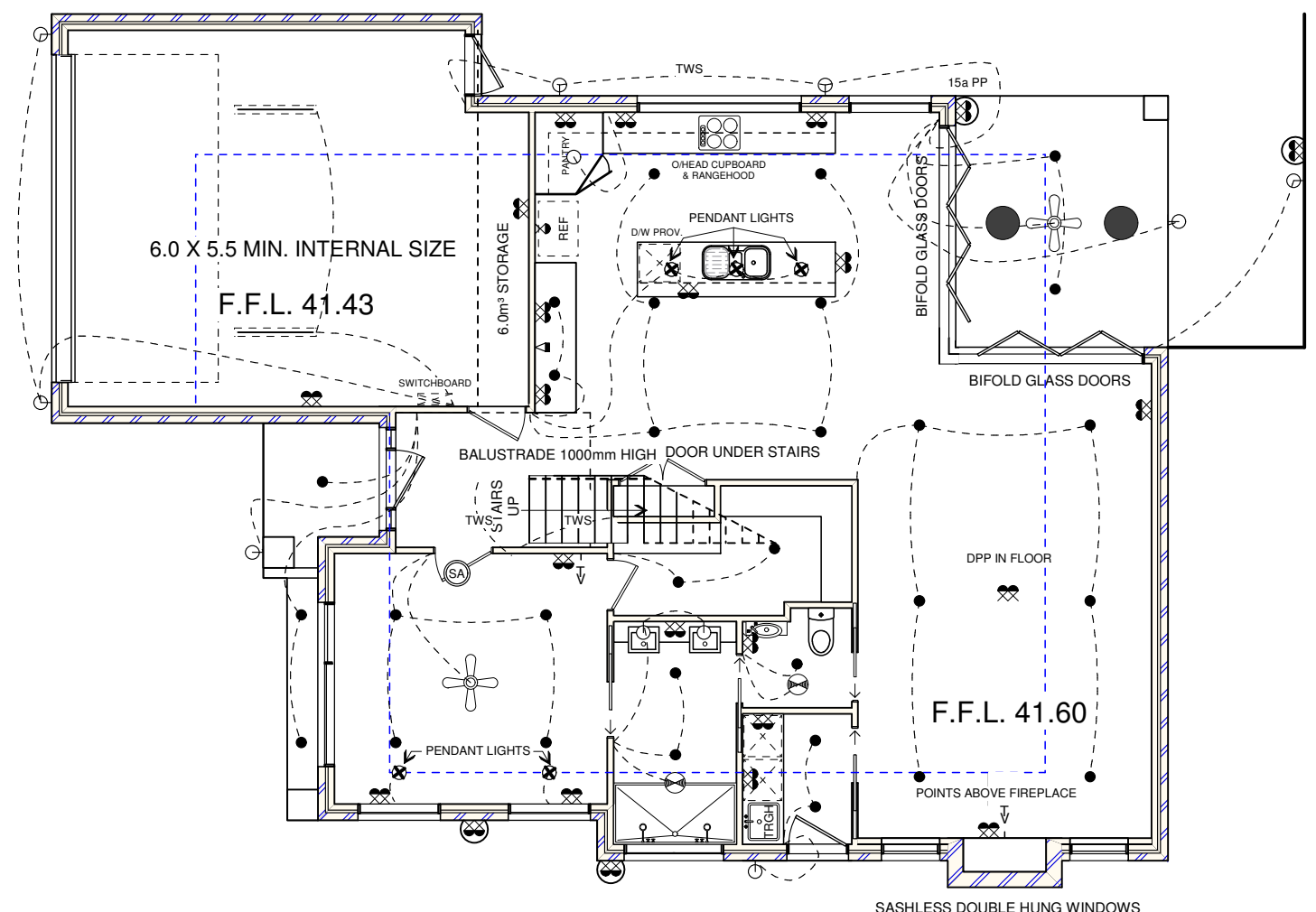
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LOWER LEVEL SERVICES PLAN

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DRAFT PLANS ONLY

11

DATE : 11.05.2015

PRELIMINARY PLANS

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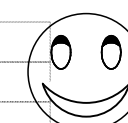
CONSTRUCTION PLANS

5

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PAGE : 6 of 8



Amor e Vita

ALL MATERIAL AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE BCA 2012 AND RELEVANT STANDARDS LISTED BELOW

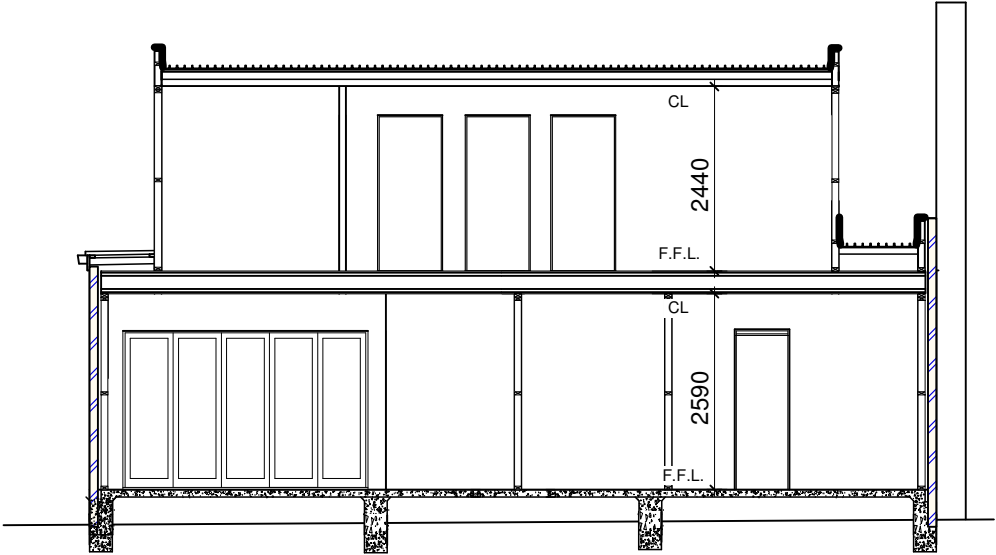
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|--------------------|---|
| AS 2870-2011 | RESIDENTIAL SLABS AND FOOTINGS |
| AS/NZS 2904:1995 | DAMP-PROOF COURSES AND FLASHINGS |
| AS 1860.2-2006 | PARTICLEBOARD FLOORING - INSTALLATION |
| AS 3740-2010 | WATERPROOFING OF DOMESTIC WET AREAS |
| AS 1684.2-2010 | RESIDENTIAL TIMBER-FRAMED CONSTRUCTION - NON-CYCLONIC AREAS |
| AS 3600-2009 | CONCRETE STRUCTURES |
| AS 3700-2011 | MASONRY STRUCTURES |
| AS 4100-1998 | STEEL STRUCTURES |
| AS 3959-2009 | CONSTRUCTION OF BUILDINGS IN BUSHFIRE-PRONE AREAS |
| AS 1288-2006 | GLASS IN BUILDINGS - SELECTION AND INSTALLATION |
| AS 1428.1-2009 | DESIGN FOR ACCESS AND MOBILITY |
| AS 1562.1-1992 | DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING - METAL |
| AS 2049-2002 | ROOF TILES |
| AS 2050-2002 | INSTALLATION OF ROOF TILES |
| AS/NZS 3500.3:2003 | PLUMBING AND DRAINAGE - STORMWATER DRAINAGE |
| AS 3660.1-2000 | TERMITE MANAGEMENT - NEW BUILDING WORK |
| AS 3786-1993 | SMOKE ALARMS |

FRAMING SCHEDULE

| | | |
|----------------------------------|---|---------------------------------------|
| WALL CLADDING: | SELECTED FACE BRICKS | |
| Lower Level | SELECTED LIGHTWEIGHT CLADDING | |
| Upper Level | KLIPLOC OR SIMILAR 1° MIN PITCH | |
| PITCHED ROOF & PITCH: | | |
| WALLS: | STUD LENGTH UP TO 2700mm | |
| CEILING LINING: | PLASTERBOARD (10mm UNIFIX OR SIMILAR) | |
| BOTTOM PLATES: | 90 X 45 MGP10 | |
| TOP PLATES: | 90 X 45 MGP10 | WITH 90 X 45 MGP10 OVER |
| WALL STUDS: | | |
| -Single Storey | 90 X 35 MGP10 | SET AT 600 CENTRES |
| -Double Storey (to ground floor) | 90 X 45 MGP10 | SET AT 450 CENTRES |
| STUDS AT OPENINGS: | | |
| | 90 X 35 MGP10 | TO MAX. 1200 OPENINGS |
| | 90 X 45 MGP10 | TO MAX. 1800 OPENINGS |
| | 2/90 X 35 MGP10 | TO MAX. 3600 OPENINGS |
| WALL NOGGINS : | 90 X 35 F5 | SET AT 1350 MAX. CENTRES |
| LINTELS: | UNLESS OTHERWISE NOTED - SEE ROOF FRAMING NOTE | |
| | 90 X 35 F17 | FOR SPANS UP TO 900 |
| | 90 X 45 F17 | FROM 901-1200 |
| | 140 X 35 F17 | FROM 1201-1800 |
| | 2/140 X 45 F17 | FROM 1801-2400 |
| | 2/170 X 45 F17 | FROM 2401-3000 |
| | 2/240 X 35 F17 | FROM 3001-3600 |
| VERANDAH POSTS: | 100 X 100 F7 | CYPRUS PINE OR SIMILAR WHERE REQUIRED |
| ROOF BATTENS: | 75 X 38 F8 | 1200 MAX. SPACINGS / 900 END SPACINGS |
| ROOF FRAMING: | ROOF PITCHED RAFTERS / CEILING JOISTS GRADED TO MATCH PITCH OF ROOF | |

NOTE:
THE FOLLOWING INFORMATION MUST BE PROVIDED TO THE BUILDING SURVEYOR BY BUILDER/OWNER:
*
* FOUNDATION DESIGN & ENGINEERING DETAILS
* BAL REPORT (IF REQUIRED)
* SOIL REPORT
(Also refer to Legal Point of Discharge, Property Information and Dial Before You Dig details)

SECTION



FLOOR JOISTS TO UPPER LEVEL TO BE TILLING "I-JOISTS" OR SIMILAR TO ENGINEERS COMPUTATIONS

FOR SLAB AND OTHER STRUCTURAL COMPONENTS REFER TO THE STRUCTURAL ENGINEERS DESIGN AND DETAILS

FOR FOUNDATION CLASSIFICATION & RECOMMENDATIONS REFER TO THE SOIL ENGINEERS REPORT

ENGINEERING DETAILS FOR FOUNDATIONS, STRUCTURAL AND RETAINING WALLS REFER TO DRAWINGS & COMPUTATIONS

PREPARED BY.....

REF.....DATED.....

SOIL CLASSIFICATION 'P'
REFER TO SOIL REPORT

PREPARED BY

DATED.....REF.....

PROVIDE WALL TIES TO BRICKWORK AT MAX. 600mm CENTRES IN EACH DIRECTION AND WITHIN 300mm OF ARTICULATION JOINTS

WALL BRACING TO BE PROVIDED IN ACCORDANCE WITH AS 1684-2010 RESIDENTIAL TIMBER FRAME CONSTRUCTION - NON CLYCLONIC AREAS

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ALL EXTERNAL TIMBERS TO BE IN ACCORDANCE WITH AS 1684-2010 APPENDIX B DURABILITY. ABOVE-GROUND DURABILITY TIMBERS TO BE H3, AND IN-GROUND DURABILITY TIMBERS TO BE H5.

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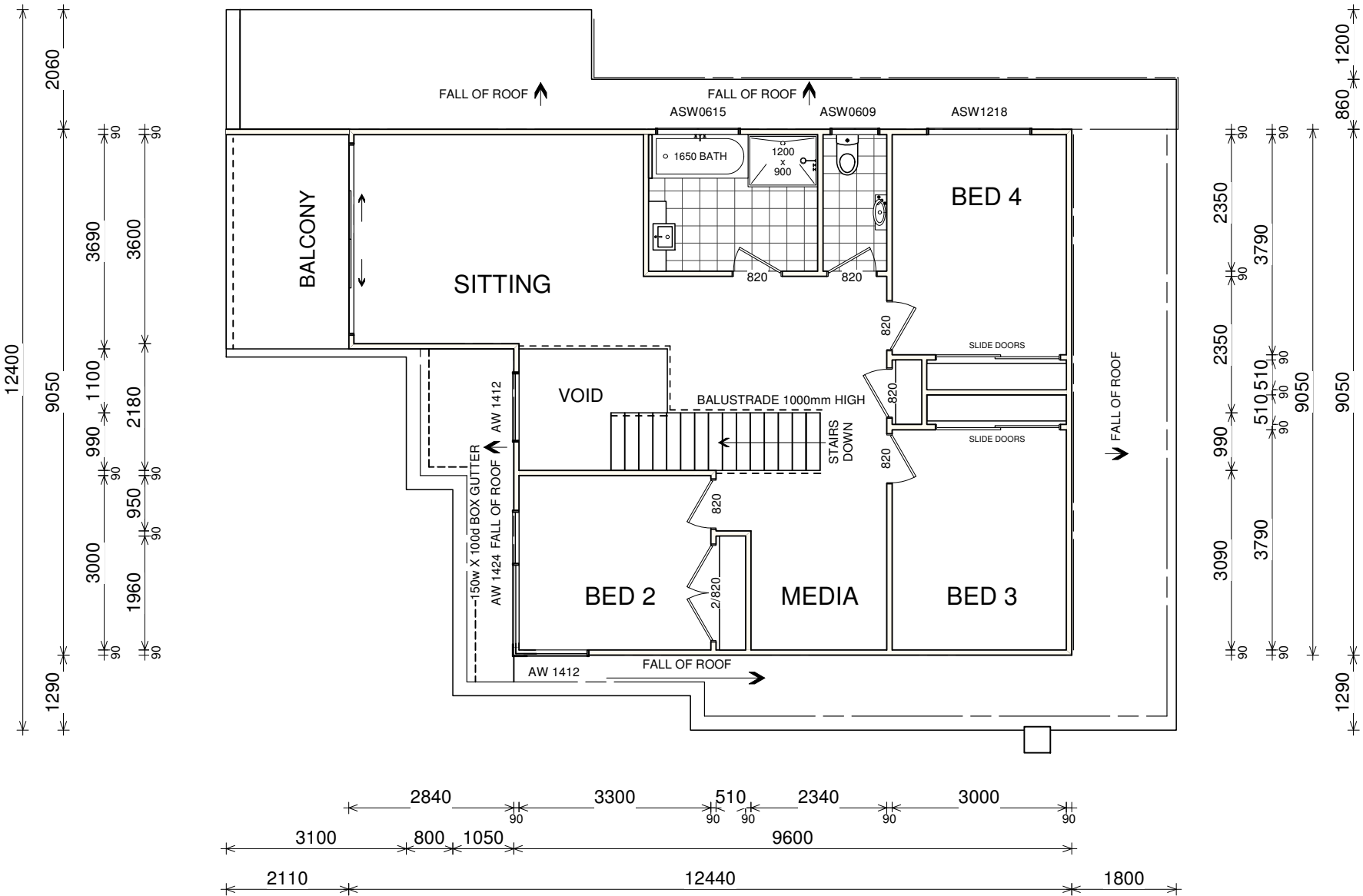
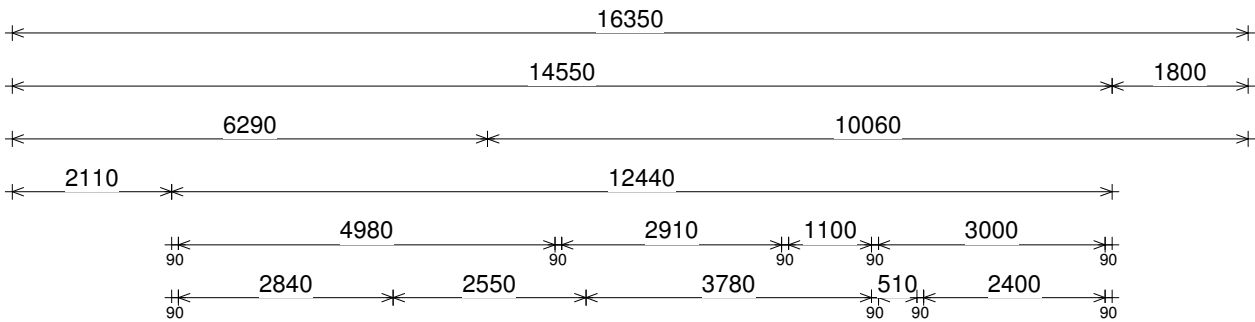
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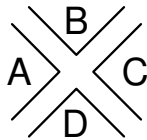
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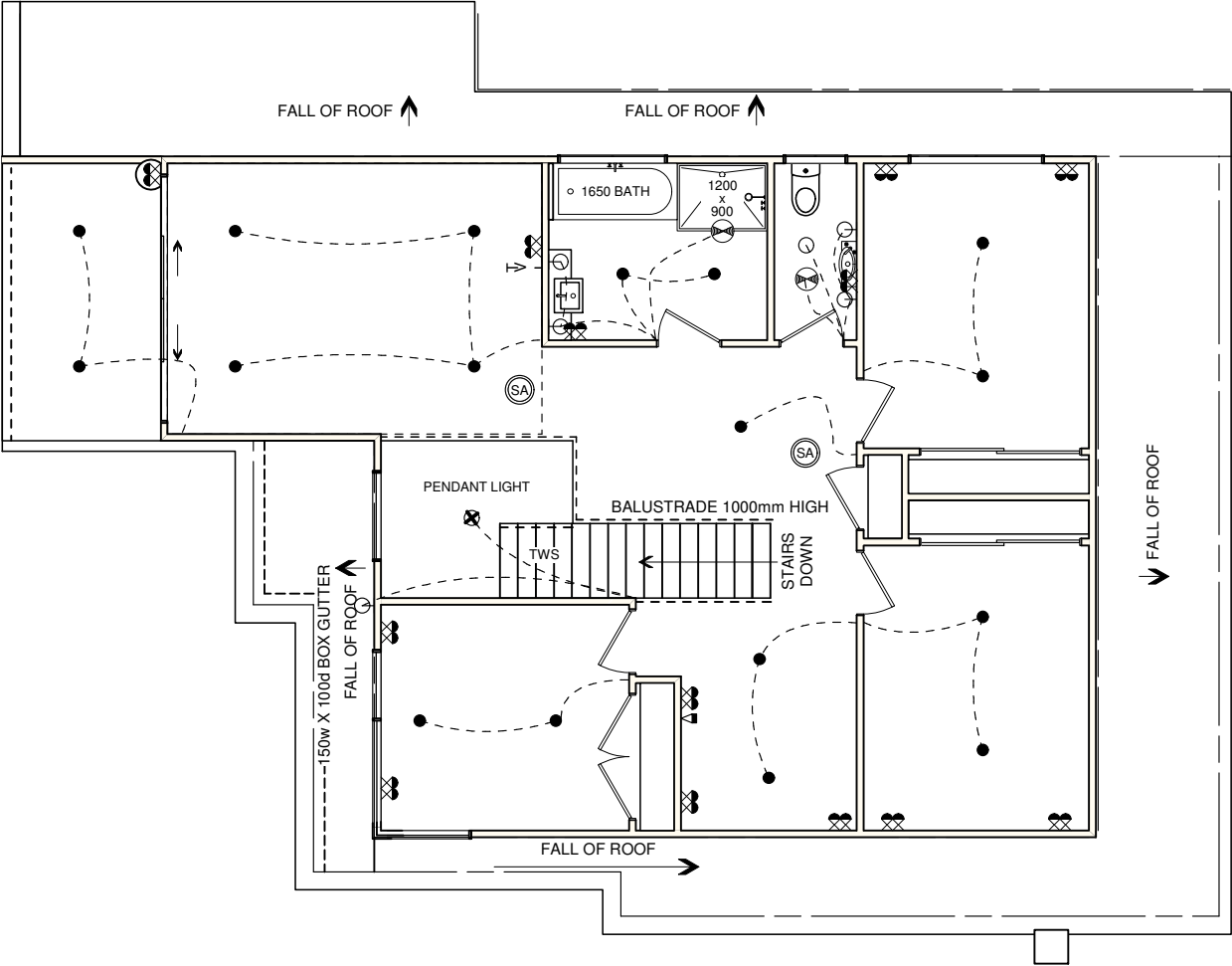
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