

1	REFER TO ENLARGED GUESTROOM PLANS FOR INFORMATION
2	OVERALL BUILDING DIMENSIONS BASED ON WOOD FRAME CONSTRUCTION - OVERALL DIMENSION WILL VARY BASED ON FINAL BUILDING CONSTRUCTION
3	EGRESS STAIR IN 2HR RATED MIN. CONCRETE MASONRY STAIR ENCLOSURE.
4	NOT USED
5	LINE OF ROOF/CANOPY
6	FIRE SEPARATION DOORS (IF REQUIRED TO BE ON AUTOMATIC CLOSURES ACTIVATED BY FIRE ALARM SYSTEM - VERIFY REQUIREMENTS WITH LOCAL JURISDICTIONS)
7	LOCATION FOR MECHANICAL/ELECTRICAL/PLUMBING CHASE
8	CANOPY ROOF DRAIN BELOW
9	ELEVATOR LOBBY DOORS REQUIRED IF BUILDING IS 4 STORIES OR MORE IN HEIGHT - INSTALL SO DOORS ARE ON AUTOMATIC CLOSURES ACTIVATED BY FIRE ALARM SYSTEM - VERIFY REQUIREMENTS WITH LOCAL JURISDICTIONS
10	SHER ROLLER SHADE AT GUEST CORRIDOR AND ELEVATOR LOBBY
11	PROVIDE ADEQUATE STORAGE SOLUTIONS FOR LINEN STORAGE, LINEN CART STORAGE AND HOUSEKEEPING EQUIPMENT STORED IN ACCORDANCE WITH HILTON BRAND STANDARDS
12	THIS ELEVATOR CAR SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS AND BE LARGE ENOUGH TO ACCOMMODATE AN AMBULANCE STRETCHER.
13	LINEN CHUTE - FIRE SEPARATION PER LOCAL JURISDICTIONS - REFER TO TRU BY HILTON BRAND STANDARDS FOR ADDITIONAL INFORMATION
14	KEYCARD READER ENTRANCE HARDWARE MOUNTED SO THAT TOP OF READER IS A MAXIMUM OF 48" ABOVE GRADE OR FINISH FLOOR

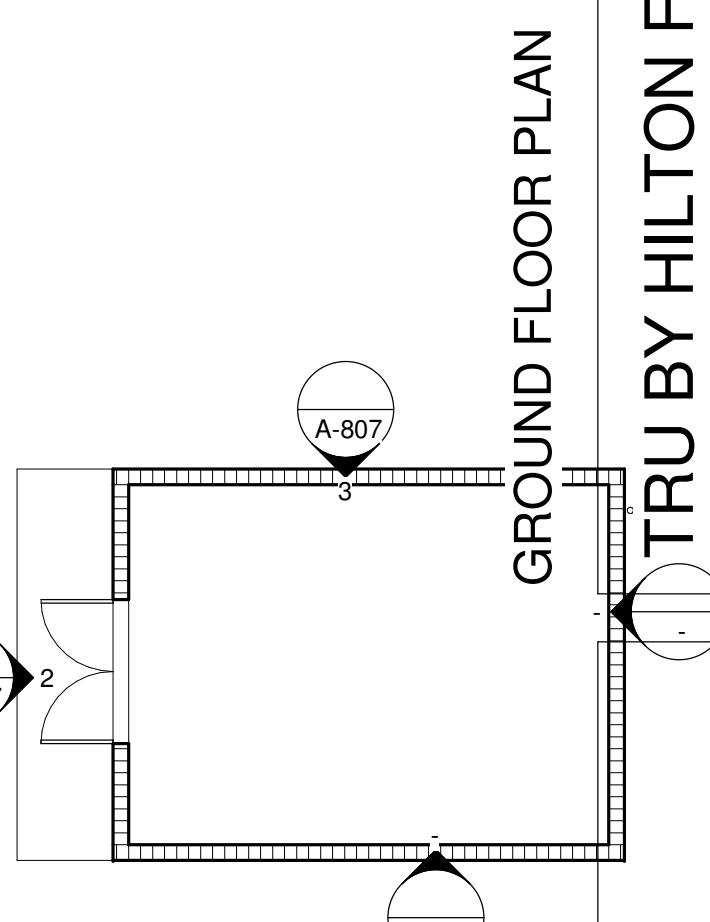
Revisions		
Rev#	Rev Date	Description
1	02.18.21	PLAN REV COMM
2	04.02.21	PLAN REV COMM
5	06.01.23	FIELD REVISIONS

**OWNER SUPPLIED ITEMS:**  
 REFER TO TRU BY HILTON ARCHITECTURAL FINISH & FIXTURE SPECIFICATIONS, THE PROCUREMENT GUIDE AND/OR TRU BY HILTON FOOD SERVICE DOCUMENTS FOR SOURCING INFORMATION.  
 05-302 HALF ROUND TRASH RECEP TABLE @ LOBBY ABS ELEVATOR LOBBIES  
 05-304 SMALL TRASH RECEP TABLE @ FITNESS, WATERICE  
 05-303 ICE MACHINE @ WATERICE  
 05-402 WALK OFF MAT @ SECONDARY ENTRANCE  
**BHARAT R PATEL, ARCHITECT, INC.**  
**FLORIDA REGISTERED FIRM, Lic. NO AA26001923**  
**5057 NORTHERN LIGHTS DR, GREENACRES, FL 33463**  
 (P): 561-424-9540  
[www.brparch.com](http://www.brparch.com)



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TRU Project #: 20-288



GROUND FLOOR PLAN  
TRU BY HILTON FOR  
OMSHIV JAX LLC

4945 LENIOR AVENUE,  
JACKSONVILLE FL, 32216

## KEY NOTES:

- REFER TO ENLARGED GUESTROOM PLANS FOR INFORMATION
- OVERALL BUILDING DIMENSIONS BASED ON WOOD FRAME CONSTRUCTION - OVERALL DIMENSION WILL VARY BASED ON FINAL BUILDING CONSTRUCTION
- EGRESS STAIR IN 2HR RATED MIN. CONCRETE MASONRY STAIR ENCLOSURE.
- NOT USED
- LINE OF ROOF/CANOPY
- FIRE SEPARATION DOORS (IF REQUIRED TO BE ON AUTOMATIC CLOSURES ACTIVATED BY FIRE ALARM SYSTEM - VERIFY REQUIREMENTS WITH LOCAL JURISDICTIONS)
- LOCATION FOR MECHANICAL/ELECTRICAL/PLUMBING CHASE
- CANOPY ROOF DRAIN BELOW
- ELEVATOR LOBBY DOORS REQUIRED IF BUILDING IS 4 STORIES OR MORE IN HEIGHT - INSTALL SO DOORS ARE ON AUTOMATIC CLOSURES ACTIVATED BY FIRE ALARM SYSTEM - VERIFY REQUIREMENTS WITH LOCAL JURISDICTIONS
- SHER ROLLER SHADE AT GUEST CORRIDOR AND ELEVATOR LOBBY
- PROVIDE ADEQUATE STORAGE SOLUTIONS FOR LINEN STORAGE, LINEN CART STORAGE AND HOUSEKEEPING EQUIPMENT STORED IN ACCORDANCE WITH HILTON BRAND STANDARDS
- THIS ELEVATOR CAR SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS AND BE LARGE ENOUGH TO ACCOMMODATE AN AMBULANCE STRETCHER.
- LINEN CHUTE - FIRE SEPARATION PER LOCAL JURISDICTIONS - REFER TO TRU BY HILTON BRAND STANDARDS FOR ADDITIONAL INFORMATION
- KEYCARD READER ENTRANCE HARDWARE MOUNTED SO THAT TOP OF READER IS A MAXIMUM OF 48" ABOVE GRADE OR FINISH FLOOR

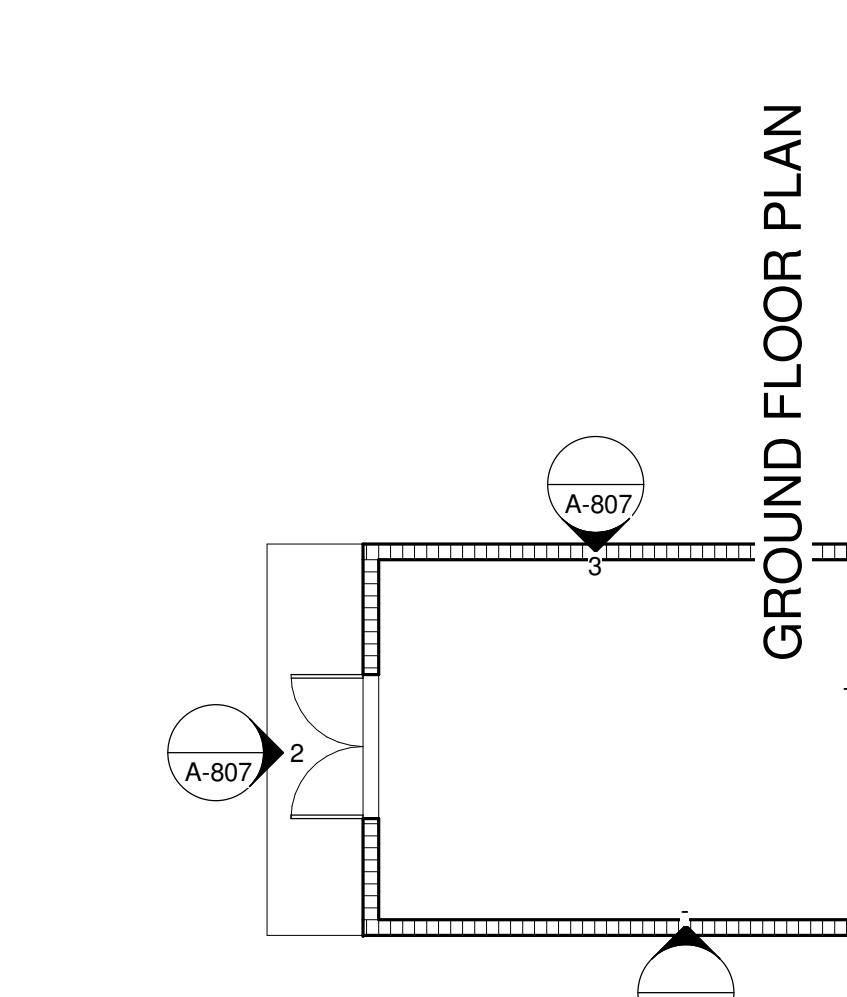
Revisions		
Rev#	Rev Date	Description
1	02.18.21	PLAN REV COMM
2	04.02.21	PLAN REV COMM
5	06.01.23	FIELD REVISIONS

**OWNER SUPPLIED ITEMS:**  
 REFER TO TRU BY HILTON ARCHITECTURAL FINISH & FIXTURE SPECIFICATIONS, THE PROCUREMENT GUIDE AND/OR TRU BY HILTON FOOD SERVICE DOCUMENTS FOR SOURCING INFORMATION.  
 05-302 HALF ROUND TRASH RECEP TABLE @ LOBBY ABS ELEVATOR LOBBIES  
 05-304 SMALL TRASH RECEP TABLE @ FITNESS, WATERICE  
 05-303 ICE MACHINE @ WATERICE  
 05-402 WALK OFF MAT @ SECONDARY ENTRANCE

**FURNISHING LEGEND:**  
 PA-402 SHEER ROLLER SHADE AT GUEST CORRIDORS AND ELEVATOR LOBBIES

SYMBOL KEY:	
	ACCESSIBLE ROOM
	C.F. ROOM - REFER TO ENLARGED GUESTROOM PLANS FOR POWER AND SIGNAL
	MAGNETIC DOOR OPENER TIED TO ALARM SYSTEM - REFER TO DOOR SPEC FOR ADDITIONAL INFORMATION
	DOOR TAG - REFER TO ENLARGED GUESTROOM PLANS FOR GUESTROOM DOOR TYPES
	FLOOR DRAIN - SLOPE FLOOR AS REQ.
	F.D.

- GENERAL NOTES:**
- REFER TO TRU BY HILTON BRAND STANDARDS FOR ADDITIONAL REQUIREMENTS FOR PASSENGER ELEVATORS, ELEVATOR LOBBIES & CORRIDORS
  - REFER TO TRU BY HILTON BRAND STANDARDS FOR ADDITIONAL REQUIREMENTS FOR BACK OF HOUSE AREAS
  - FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE - FIRE EXTINGUISHER LOCATIONS WIN THE PUBLIC SPACE SHALL BE CONTAINED WITHIN FULLY RECESSED CABINETS
  - REFER TO HADS FOR ADDITIONAL REQUIREMENTS FOR PUBLIC SPACES & EQUIPMENT
  - LIFE SAFETY AND FIRE ALARM SYSTEM DRAWINGS ARE TO BE COORDINATE BY GC TO BE CORRELATED WITH ALL LOCAL CODES/REGULATIONS
  - FLOORS ARE TO SLOPE TO FLOOR DRAINS IN EACH RESTROOM.



BHARAT R PATEL  
BRP  
FLORIDA REG. ARCHITECT  
AR94881

DRAWN  
BY BHARAT R PATEL  
PROJECT NO.  
2020-28  
DATE  
11.25.2020  
SCALE  
AS-SHOWN

PERMIT SET

A-201

## 1 GROUND FLOOR PLAN

1/8" = 1'-0"

PROJECT STATEMENT:  
TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS ARE IN ACCORDANCE WITH THE APPLICABLE MINIMUM BUILDING CODES AND FIRE ALARM SYSTEM - VERIFY REQUIREMENTS WITH LOCAL JURISDICTIONS AS APPLICABLE. REFER TO THE AUTHORITY IN ACCORDANCE WITH THIS SECTION FBC-10.8.4.4 AND CHAPTER 633, FLORIDA STATUTES.

Revisions		
Rev#	Rev Date	Description
5	06.01.23	FIELD REVISIONS

OWNER SUPPLIED ITEMS:  
REFER TO TRU BY HILTON ARCHITECTURAL FINISH & FIXTURE SPECIFICATIONS, THE PROCUREMENT GUIDE AND/OR TRU BY HILTON FOOD SERVICE DOCUMENTS FOR SOURCING INFORMATION.  
OS-302 HALF ROUND TRASH RECEPTEACLE @ LOBBY AND ELEVATOR LOBBIES  
OS-304 SMALL TRASH RECEPTEACLE @ FITNESS, WATERICE  
OS-303 ICE MACHINE @ WATERICE  
OS-402 WALK OFF MAT @ SECONDARY ENTRANCE

FURNISHING LEGEND:  
PA-402 SHEER ROLLER SHADE AT GUEST CORRIDORS AND ELEVATOR LOBBIES



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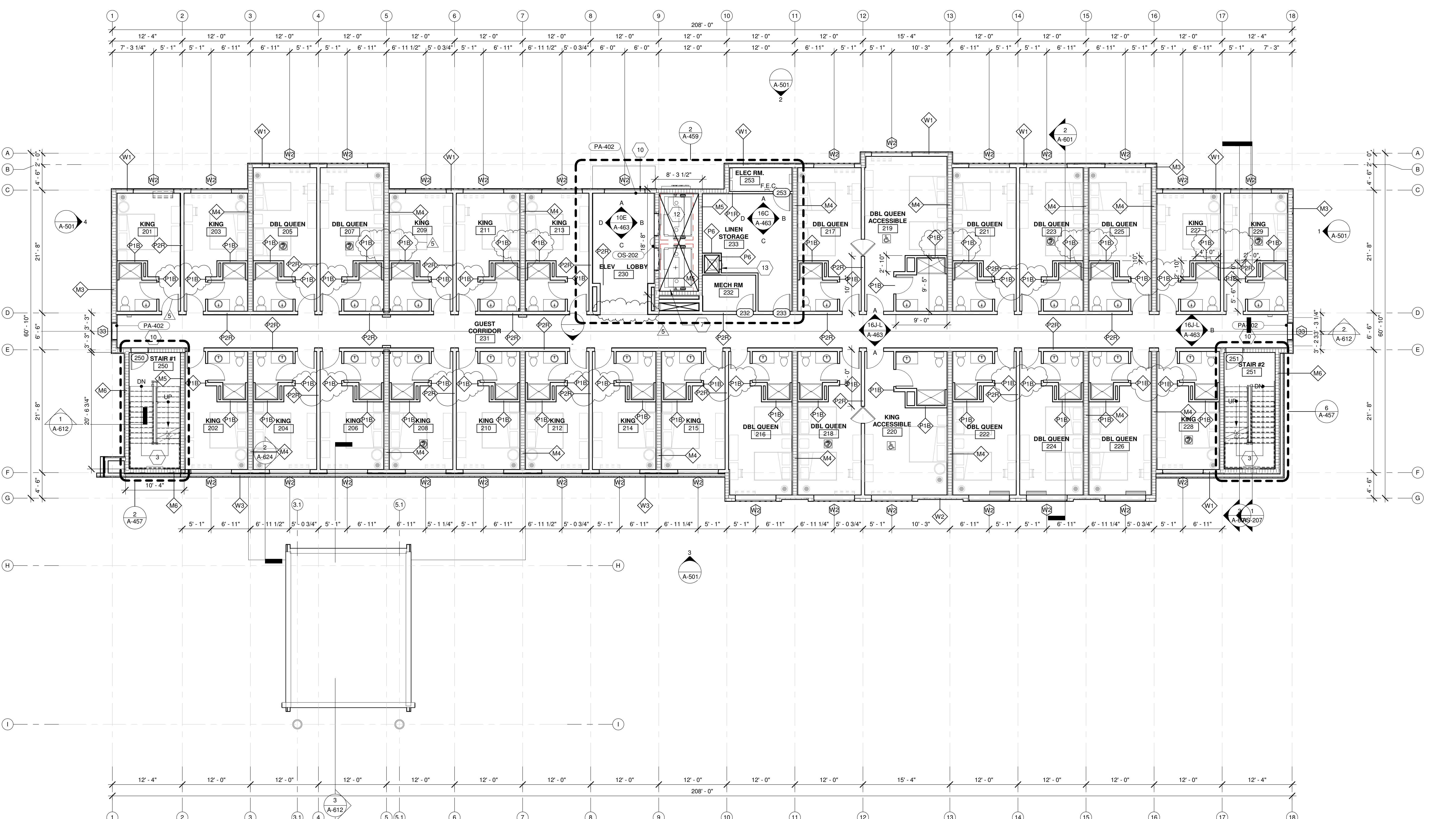
TRU Project #: 20-288

SECOND FLOOR PLAN  
TRU BY HILTON FOR  
OMSHIV JAX LLC  
4945 LENIOR AVENUE,  
JACKSONVILLE FL, 32216

BHARAT R PATEL  
BRP  
FLORIDA REG. ARCHITECT  
AR94881

DRAWN  
2020-28  
PROJECT NO.  
DATE  
11.25.2020  
SCALE  
AS-SHOWN

PERMIT SET  
A-202



## NOTES:

- REFER TO ENLARGED GUESTROOM PLANS FOR INFORMATION

OVERALL BUILDING DIMENSIONS BASED ON WOOD FRAME CONSTRUCTION - OVERALL DIMENSION WILL VARY BASED ON FINAL BUILDING CONSTRUCTION

EGRESS STAIR IN 2HR RATED MIN. CONCRETE MASONRY STAIR ENCLOSURE.

NOT USED.

LINE OF ROOF/ CANOPY

FIRE SEPARATION DOORS (IF REQUIRED) TO BE ON AUTOMATIC CLOSURES ACTIVATED BY FIRE ALARM SYSTEM - VERIFY REQUIREMENTS WITH LOCAL JURISDICTIONS

LOCATION FOR MECHANICAL/ELECTRICAL/PLUMBING CHASE

CANOPY ROOF DRAIN BELOW

ELEVATOR LOBBY DOORS REQUIRED IF BUILDING IS 4 STORIES OR MORE IN HEIGHT - INSTALL SO DOORS ARE ON AUTOMATIC CLOSURES ACTIVATED BY FIRE ALARM SYSTEM - VERIFY REQUIREMENTS WITH LOCAL JURISDICTIONS

SHEER ROLLER SHADE AT GUEST CORRIDOR AND ELEVATOR LOBBY

PROVIDE ADEQUATE STORAGE SOLUTIONS FOR LINEN STORAGE, LINEN CART STORAGE AND HOUSEKEEPING APPLIANCE STORAGE PER TRU BY HILTON BRAND STANDARDS

THIS ELEVATOR CAR SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS AND BE LARGE ENOUGH TO ACCOMMODATE AN AMBULANCE STRETCHER

LINEN CHUTE - FIRE SEPARATION PER LOCAL JURISDICTIONS - REFER TO TRU BY HILTON BRAND STANDARDS FOR ADDITIONAL INFORMATION

KEYCARD READER ENTRANCE HARDWARE; MOUNTED SO THAT TOP OF READER IS A MAXIMUM OF 48" ABOVE GRADE OR FINISH FLOOR

## **PLIER SUPPLIED ITEMS:**

© TRU BY HILTON ARCHITECTURAL FINISH & FIXTURE SPECIFICATIONS, THE PROCUREMENT GUIDE  
© TRU BY HILTON FOOD SERVICE DOCUMENTS FOR SOURCING INFORMATION.

- HALF ROUND TRASH RECEPTACLE @ LOBBY AND ELEVATOR LOBBIES  
SMALL TRASH RECEPTACLE @ FITNESS, WATER/ICE  
ICE MACHINE @ WATER/ICE  
WALK OFF MAT @ SECONDARY ENTRANCE

**BHARAT R PATEL,  
ARCHITECT, INC.**  
**FLORIDA REGISTERED FIRM,**  
**LIC. NO AA26001923**

## NISHING LEGEND:

SHEER RROLLER SHADE AT GUEST CORRIDORS AND ELEVATOR LOBBIES

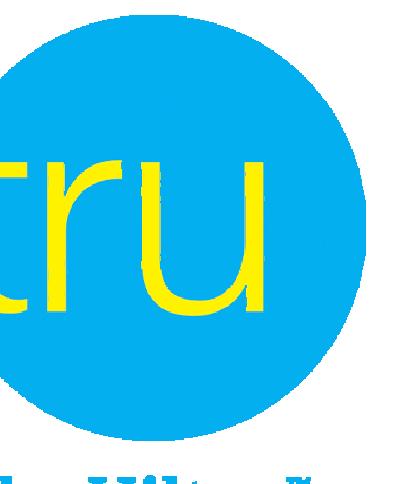
## BOL KEY:

- ACCESIBLE ROOM
  - C.F. ROOM - REFER TO ENLARGED GUESTROOM PLANS FOR POWER AND SIGNAL
  - MAGNETIC DOOR HOLD OPENER TIED TO BUILDING ALARM SYSTEM  
-- REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION
  - DOOR TAG - REFER TO ENLARGED GUESTROOM PLANS FOR GUESTROOM DOOR TYPES
  - FLOOR DRAIN - SLOPE FLOOR AS REQ.

F.D.

## GENERAL NOTES:

- REFER TO TRU BY HILTON BRAND STANDARDS FOR ADDITIONAL REQUIREMENTS FOR PASSENGER ELEVATORS, ELEVATOR LOBBIES & CORRIDORS
  - REFER TO TRU BY HILTON BRAND STANDARDS FOR ADDITIONAL REQUIREMENTS FOR BACK OF HOUSE AREAS
  - FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE - FIRE EXTINGUISHER LOCATIONS W/IN THE PUBLIC SPACE SHALL BE CONTAINED WITHIN FULLY RECESSED CABINETS
  - REFER TO HADG FOR ADDITIONAL REQUIREMENTS FOR PUBLIC SPACES & EQUIPMENT
  - LIFE SAFETY AND FIRE ALARM SYSTEM DRAWINGS ARE TO BE COORDINATE BY GC TO ANT WITH ALL LOCAL CODES/JURISDICTIONS



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TRU Project #: 20-288

# TRU BY HILLTON FOR

4943 LENIOR AVENUE,  
JACKSONVILLE FL, 32216

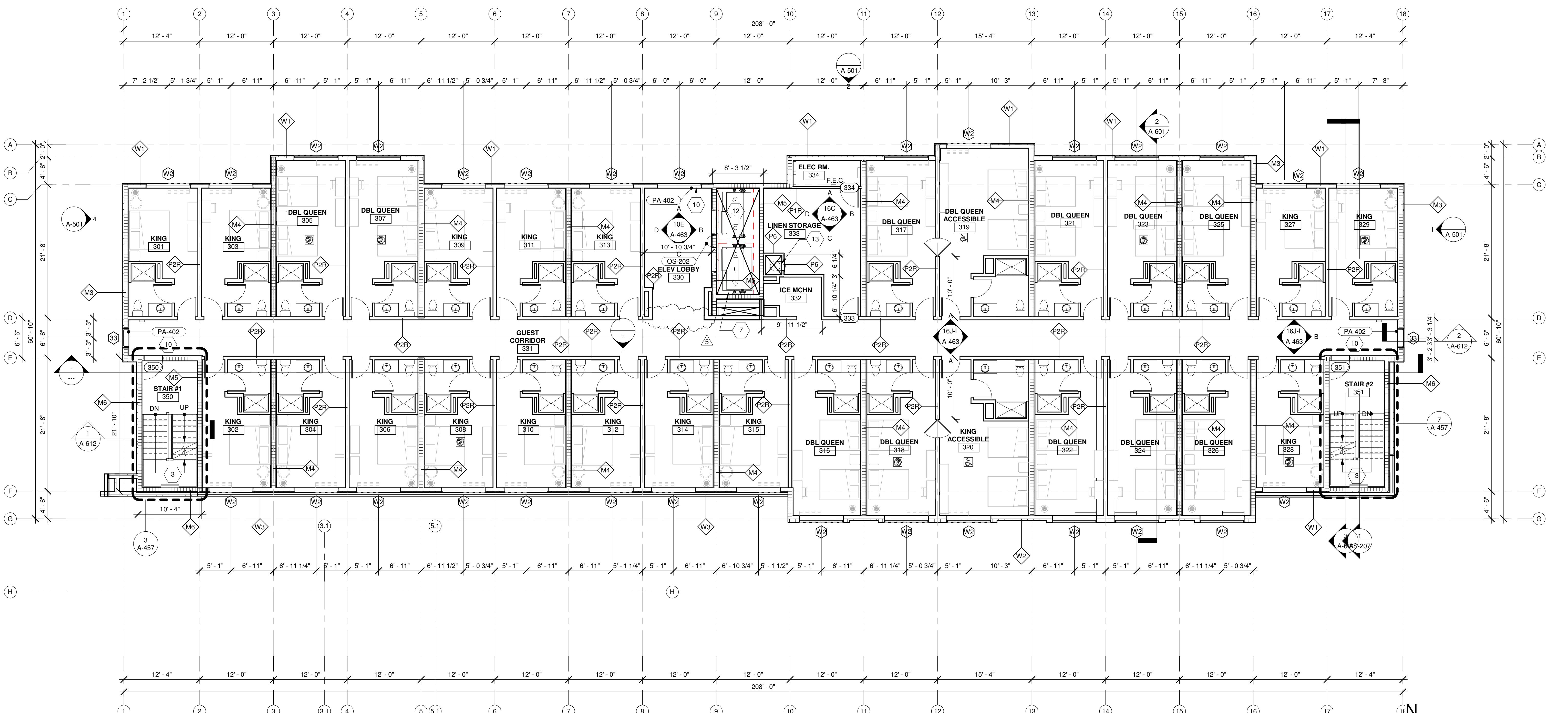
## THIRD FLOOR PLAN

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**BHARAT R PATEL**  
FLORIDA REG. ARCHITECT  
#P-10214

DRAWN  
BRP  
PROJECT NO  
**2020-28**  
DATE  
**11.25.2020**  
SCALE  
AS-SHOWN

A-203



# THIRD FLOOR PLAN

03-04-2024 21:55:12



## KEY NOTES:

- ① REFER TO ENLARGED GUESTROOM PLANS FOR INFORMATION  
 ② CARPET TO BE INSTALLED BY MANUFACTURER'S SEAMING DIAGRAM

PROJECT STATEMENT:  
 TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS CONTAINED HEREIN CONFORM TO THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION FBC-10.8.4.4 AND CHAPTER 633, FLORIDA STATUTES.

## FINISH LEGEND:

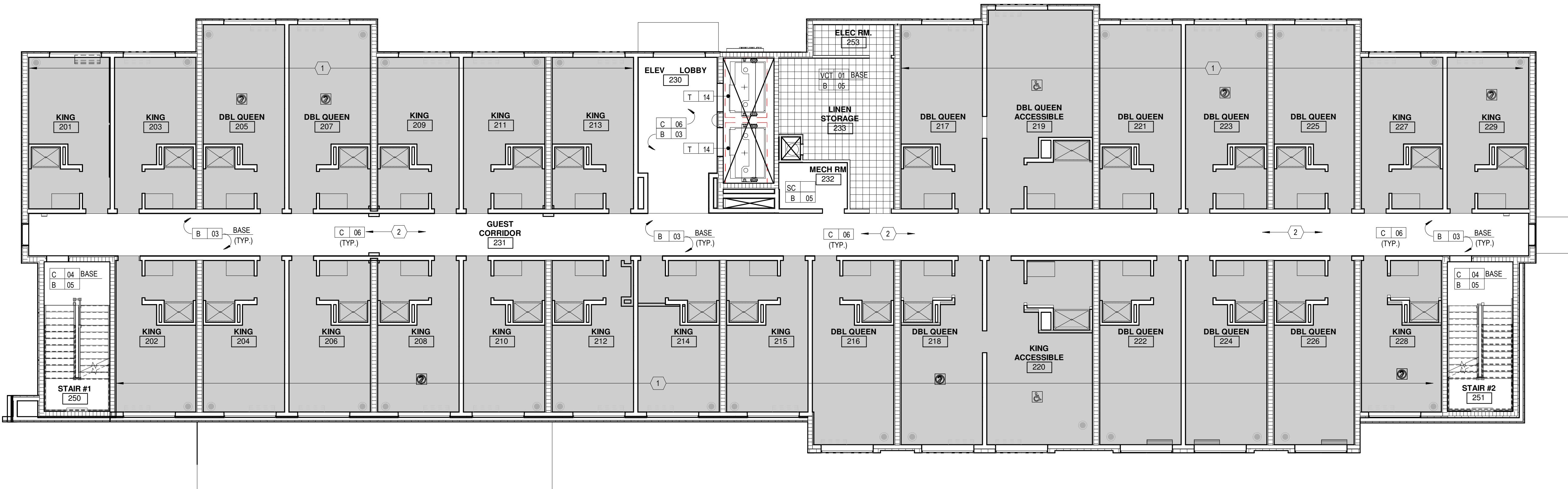
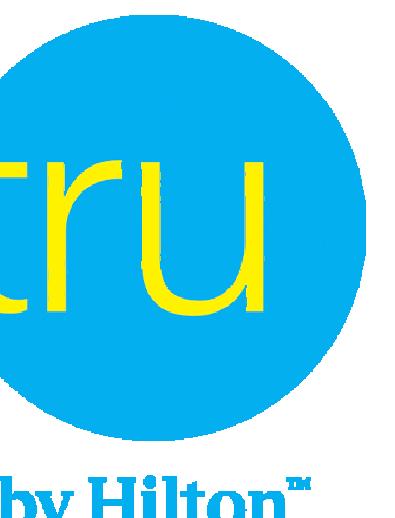
C	CARPET
S	SEALED CONCRETE
T	TILE
VCT	VINYL COMPOSITE TILE
B	BASE

NOTE: REFER TO TRU BY HILTON ARCHITECTURAL FINISHES AND FIXTURE PACKAGE FOR SPECIFICATIONS

Revisions		
Rev#	Rev Date	Description

MATERIAL LEGEND:  
 VCT  
 CARPET TILE HERRINGBONE LAYOUT  
 CARPET TILE LINEAR LAYOUT  
 RUBBER TILE  
 PORCELAIN TILE  
 VINYL TILE

BHARAT R. PATEL,  
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 LIC. NO AA26001923  
 5057 NORTHERN LIGHTS DR.,  
 GREENACRES, FL 33463  
 (P): 561-424-9540  
 www.brparch.com



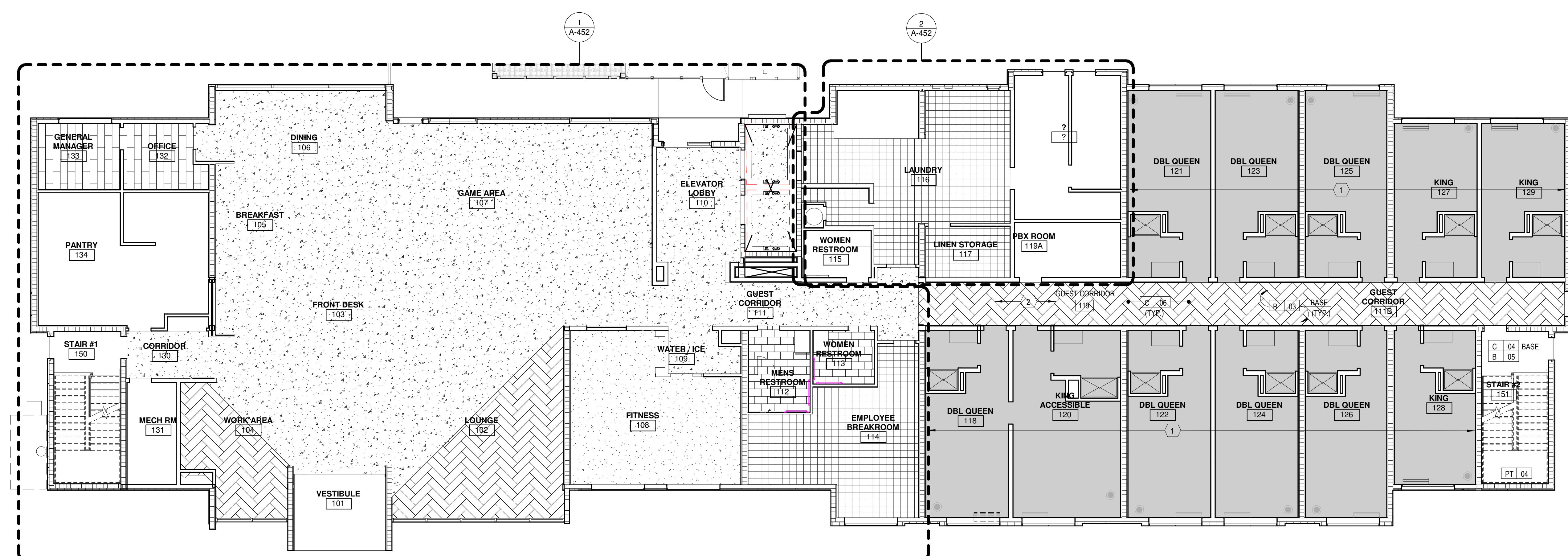
2 SECOND FLOOR FINISH PLAN-TYPICAL 3RD AND 4TH  
 1/8" = 1'-0"



## GENERAL NOTES:

1. PROVIDE ACCESSIBLE TRANSITIONS AT CHANGES IN FLOORING AND DOOR THRESHOLDS  
 2. THE FLOORING LAYOUT SHOWN IS SUBJECT TO THE APPROVED DESIGN FOR TRU BY HILTON. CONSULT YOUR APPROVED FLOORING CONTRACTOR FOR VENDOR DETAILS, PRODUCT INFORMATION, INSTALLATION PATTERNS AND DIAGRAMS.

3 ICE MACHINE ROOM  
 1/8" = 1'-0"



1 GROUND FLOOR FINISH PLAN  
 1/8" = 1'-0"



OVERALL FINISH PLANS  
 TRU BY HILTON FOR  
 OMSHIV JAX LLC

4945 LENIOR AVENUE,  
 JACKSONVILLE FL, 32216

BHARAT R PATEL  
 FLORIDA REG. ARCHITECT  
 AR94881

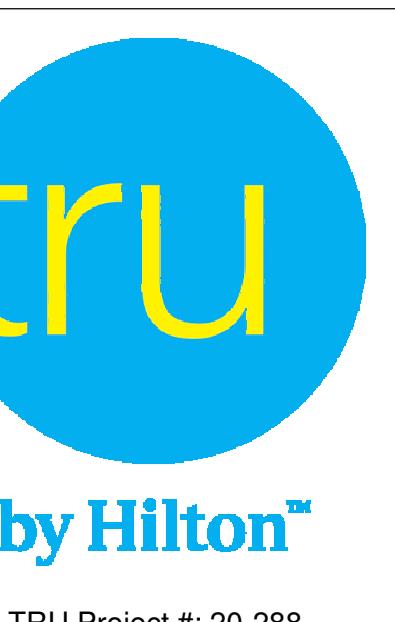
DRAWN  
 BRP  
 PROJECT NO  
 2020-28  
 DATE  
 11.25.2020  
 SCALE  
 AS-SHOWN

PERMIT SET  
 A-211

A.H.J. APPROVAL STAMPS  
PROJECT STATEMENT:  
TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS CONFORM TO THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS PROVIDED BY THE AUTHORITY IN ACCORDANCE WITH THIS SECTION FBC-10.4.4.A AND CHAPTER 633, FLORIDA STATUTES.

Revisions		
Rev#	Rev Date	Description
1	02.18.21	PLAN REV COMM

BHARAT R. PATEL,  
ARCHITECT, INC.  
FLORIDA REGISTERED FIRM,  
LIC. NO. A26001923  
5057 NORTHERN LIGHTS DR,  
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(P): 561-424-9540  
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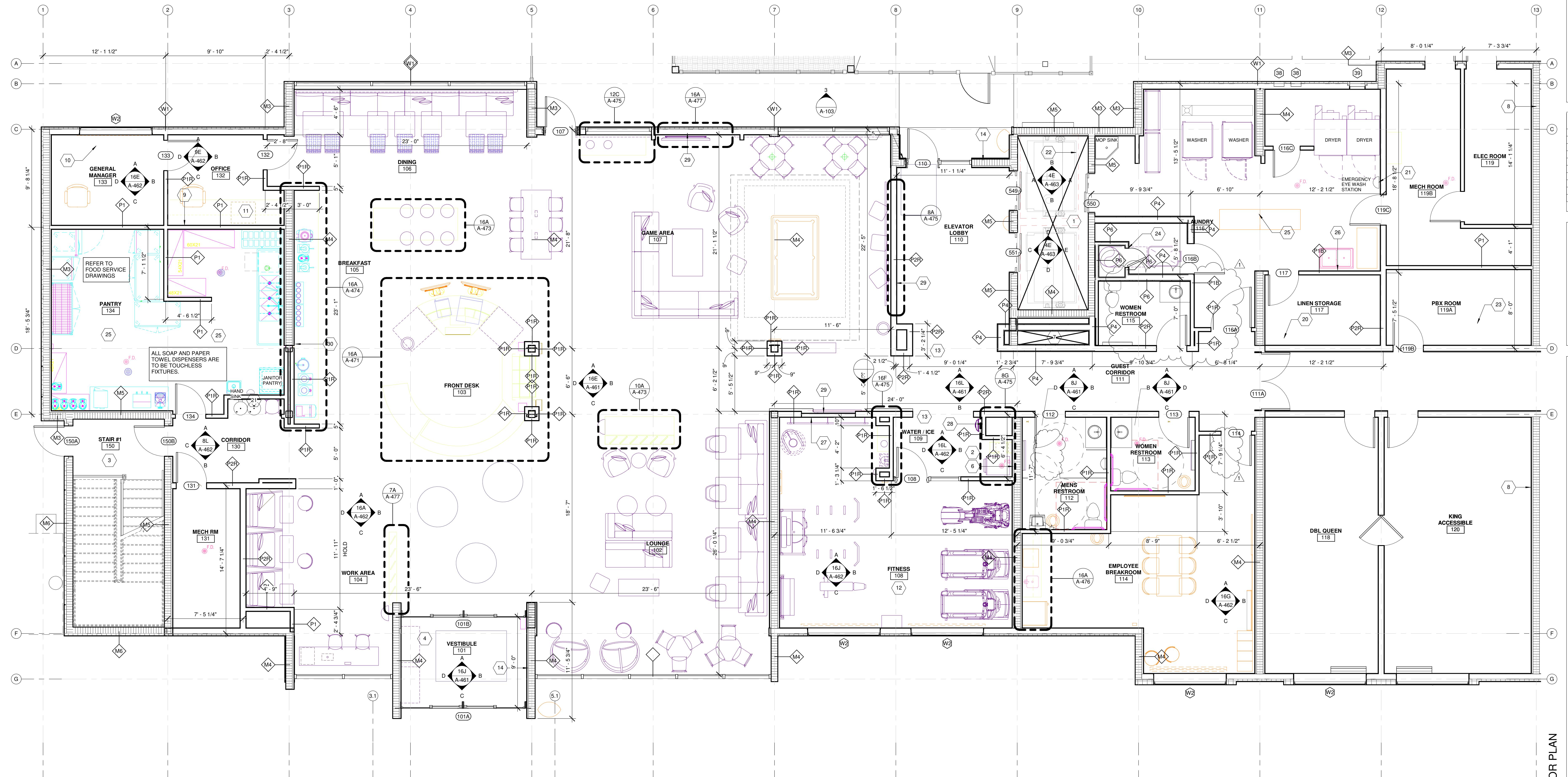
TRU Project #: 20-288

ENLARGED FIRST FLOOR PLAN  
OMSHIV JAX LLC  
4945 LENIOR AVENUE,  
JACKSONVILLE FL, 32216

BHARAT R PATEL  
FLORIDA REG. ARCHITECT  
AR#9881

DRAWN BY  
BRP  
PROJECT NO  
2020-28  
DATE  
11.25.2020  
SCALE  
AS-SHOWN

A-451



#### KEY NOTES:

- ① THIS ELEVATOR CAB SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS AND BE LARGE ENOUGH TO ACCOMMODATE AN AMBULANCE STRETCHER.
- ② ICE MACHINE - PROVIDE PLUMBING AS NEEDED AND INSULATE DRAIN TAPS TO PREVENT CONDENSATION.
- ③ EGRESS STAIR IN CONCRETE MASONRY STAIR ENCLOSURE.
- ④ LUGGAGE CART STORAGE.
- ⑤ LINE OF ROOF/CANOPY.
- ⑥ PROVIDE POSITIVE SLOPE TO FLOOR DRAIN AT ICE MACHINE - 1/8 MAX, 1/8 RECOMMENDED.
- ⑦ POTENTIAL LOCATION FOR MECHANICAL/ELECTRICAL PLUMBING CHASE.
- ⑧ PROVIDE ACOUSTIC INSULATION ALONG ENTIRE ELEVATOR WALL TO PREVENT VIBRATION/NOISE TRANSMISSION TO ADJACENT GUEST ROOM.
- ⑨ PLAN COUNTERTOP AND WALL CABINETS ABOVE - REFER TO RU BY HILTON BRAND STANDARDS FOR ADDITIONAL INFORMATION.
- ⑩ GM FURNITURE/FURNITURE IS THE RESPONSIBILITY OF THE OWNER AND MUST INCLUDE UNDERCOUNTER GUEST SAFE DEPOSIT BOXES.
- ⑪ PRINTER/COPIER ON COUNTER.
- ⑫ REFER TO TRU BY HILTON BRAND STANDARDS/FITNESS PACKAGE FOR REQUIREMENTS.
- ⑬ WALL CONSTRUCTION DOES NOT ALIGN CORRIDOR IS 5' REFER TO PLAN DIMENSIONS FOR OTHER WALL ALIGNMENTS.
- ⑭ KEYCARD READER/INTERCOM ENTRANCE HARDWARE - MOUNTED SO THAT TOP OF READER IS A MAX OF 48" ABOVE GRADE OR FINISH FLOOR.
- ⑮ COMMERCIAL WASHERS ON RAISED CONCRETE PAD.
- ⑯ TRENCH DRAIN WITH REMOVABLE LINT DRAIN AT REAR.
- ⑰ COMMERCIAL DRYERS.
- ⑱ BUILD WALL DOWN TO TOPS AND SIDES OF DRYERS - PROVIDE 1X PAINTED WOOD TRIM TO CLOSE OFF ROUGH OPENING.
- ⑲ MECHANICAL LOUVER FOR DRYER VENTS.
- ⑳ PROVIDE STORAGE RACKS OR SHELVING PER RU BY HILTON BRAND STANDARDS.
- ㉑ PROVIDE WATER LINE / PLUMBING AS NEEDED - CONFIRM FINAL LOCATION PER FOOD / SERVICE DRAWING SET AND SPECIFICATIONS.
- ㉒ REFER TO KEY CARD CONTROLLED ACCESS FOR BACK OF HOUSE ELEVATOR DOORS.
- ㉓ ENGINEERING CART.
- ㉔ LINEN CHUTE TERMINATION - REFER TO TRU BY HILTON BRAND STANDARDS FOR ADDITIONAL INFORMATION.
- ㉕ REFER TO TRU BY HILTON BRAND STANDARDS FOR EQUIPMENT SPECIFICATIONS.
- ㉖ UTILITY TWO COMPARTMENT SINK.
- ㉗ PROVIDE ADDITIONAL BLOCKING FOR BALLET BARRE.
- ㉘ IF INDUCTION REQUIRED A DRINKING WATER FOUNTAIN (THERMOPLASTIC POLYPROPYLENE) FILLER MUST BE REVIEWED BY THE JURISDICTION AS AN ACCEPTABLE SOLUTION - IF THERMOPLASTIC POLYPROPYLENE FILLER IS APPROVED, DRINKING WATER FOUNTAIN(S) MAY BE USED IN PLACE OF THE BOTTLE FILLER.
- ㉙ REFER TO HACCP FOR ADDITIONAL REQUIREMENTS FOR PUBLIC SPACES & EQUIPMENT.
- ㉚ LIFE SAFETY AND FIRE ALARM SYSTEM DRAWINGS ARE TO BE COORDINATED BY ARCHITECT OF RECORD TO BE COMPLIANT WITH ALL LOCAL CODE/JURISDICTIONS.

#### GENERAL NOTES:

- ① REFER TO TRU BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQUIREMENTS FOR PASSENGER ELEVATORS, ELEVATOR LOBBIES & CORRIDORS.
- ② REFER TO TRU BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQUIREMENTS FOR BACK OF HOUSE AREAS.
- ③ FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE.
- ④ FIRE EXTINGUISHERS LOCATIONS WITHIN THE PUBLIC SPACE SHALL BE CONTAINED WITHIN FULLY RECESSED CABINETS.
- ⑤ REFER TO HACCP FOR ADDITIONAL REQUIREMENTS FOR PUBLIC SPACES & EQUIPMENT.
- ⑥ LIFE SAFETY AND FIRE ALARM SYSTEM DRAWINGS ARE TO BE COORDINATED BY ARCHITECT OF RECORD TO BE COMPLIANT WITH ALL LOCAL CODE/JURISDICTIONS.

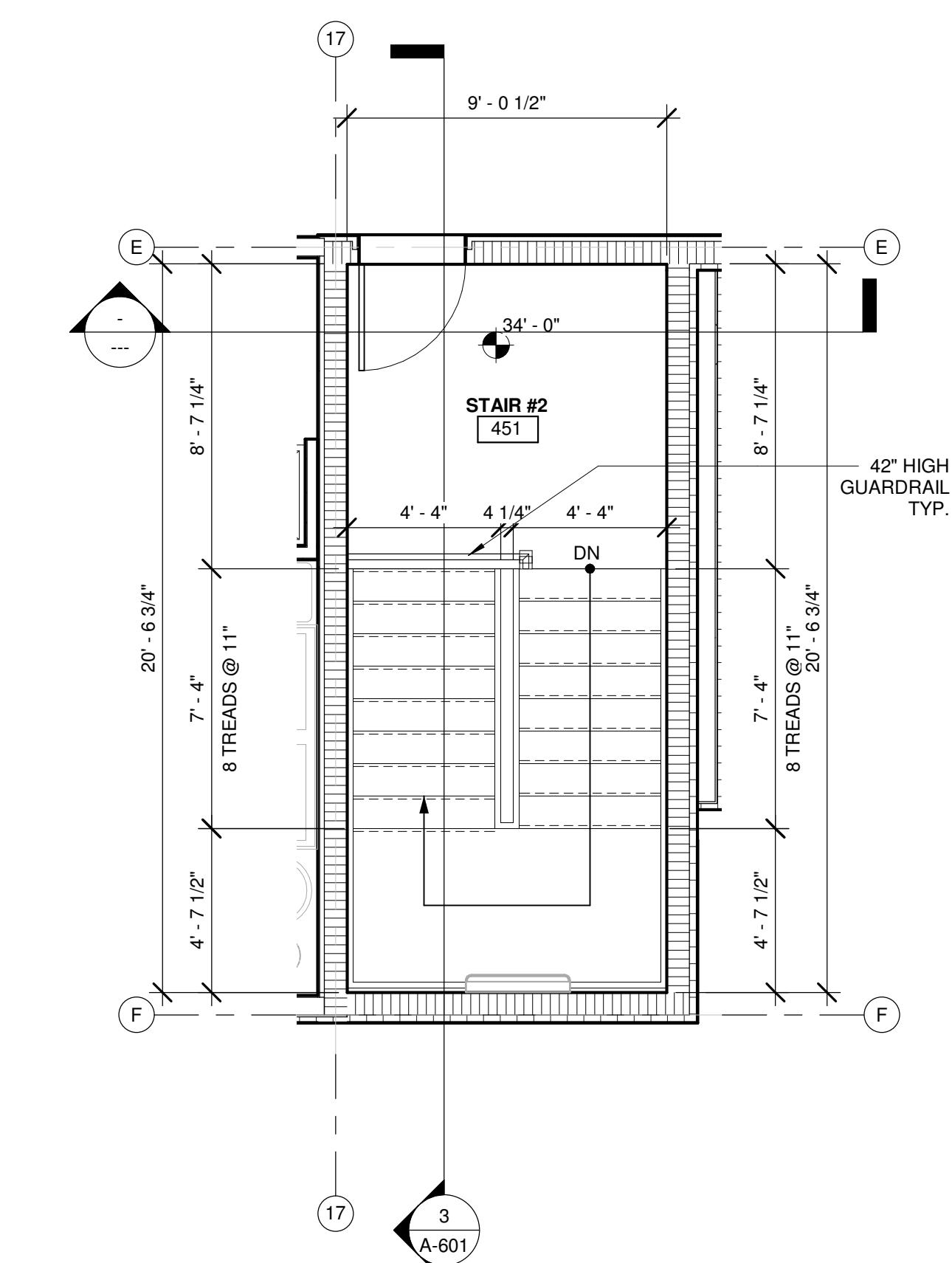
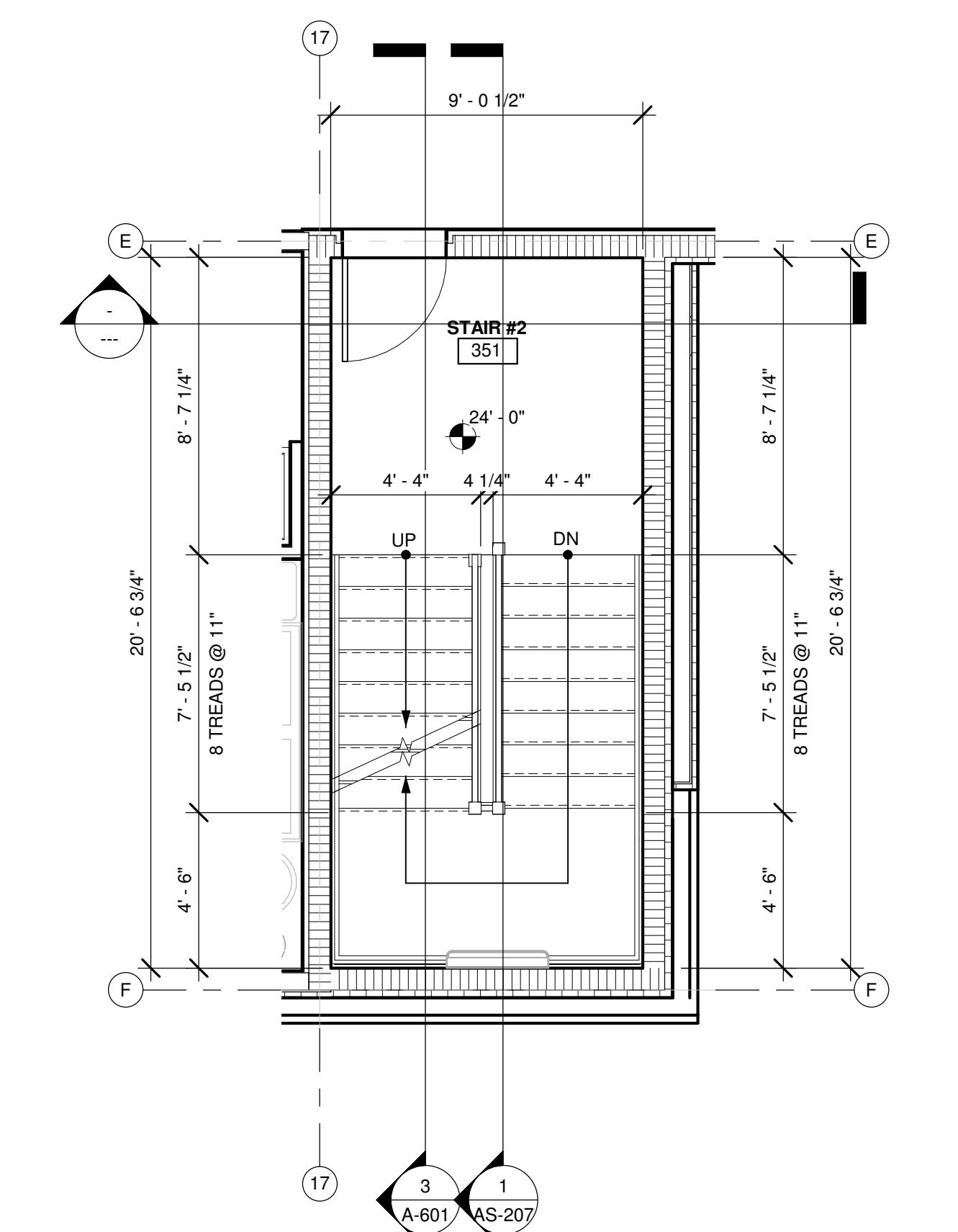
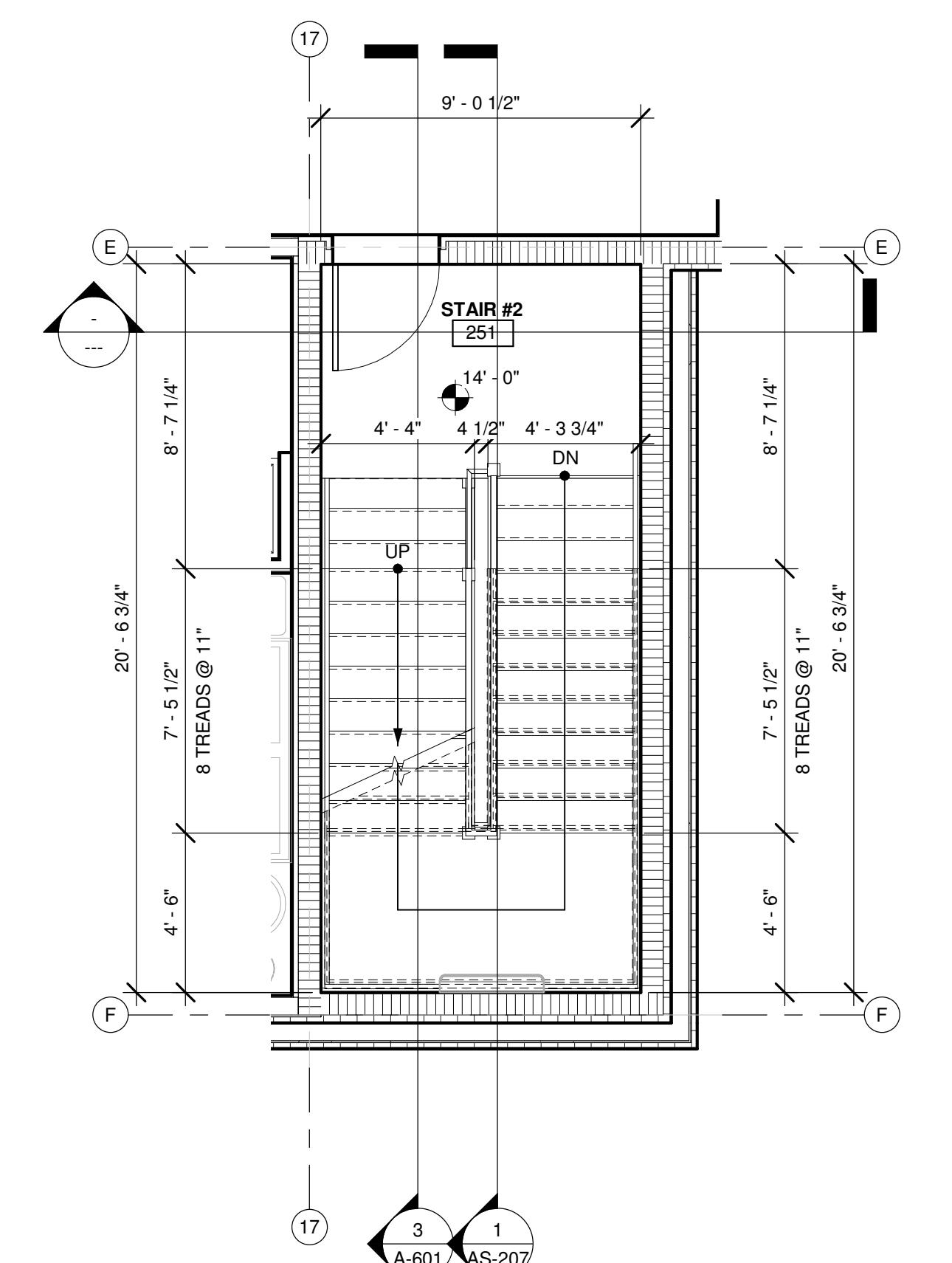
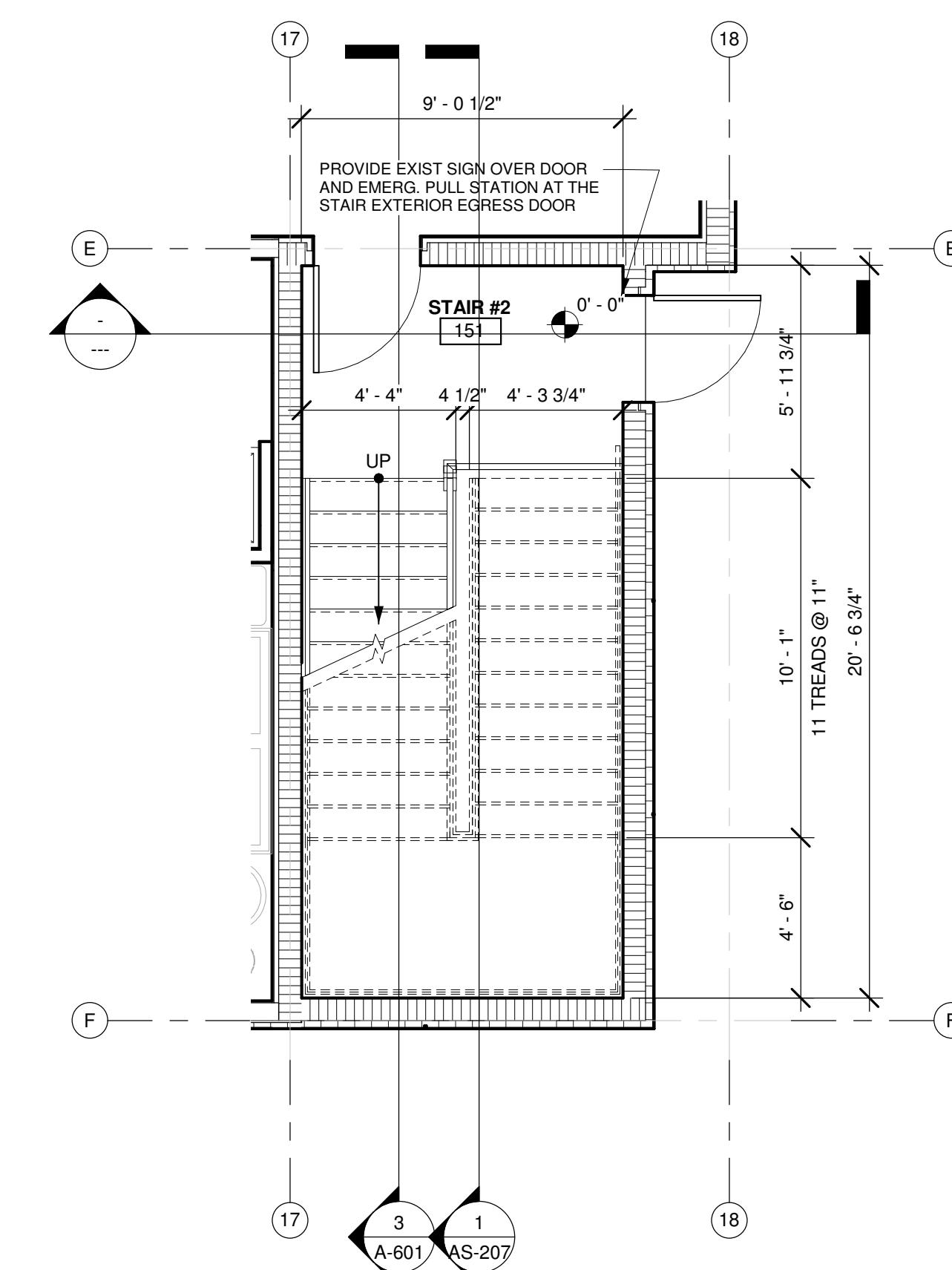
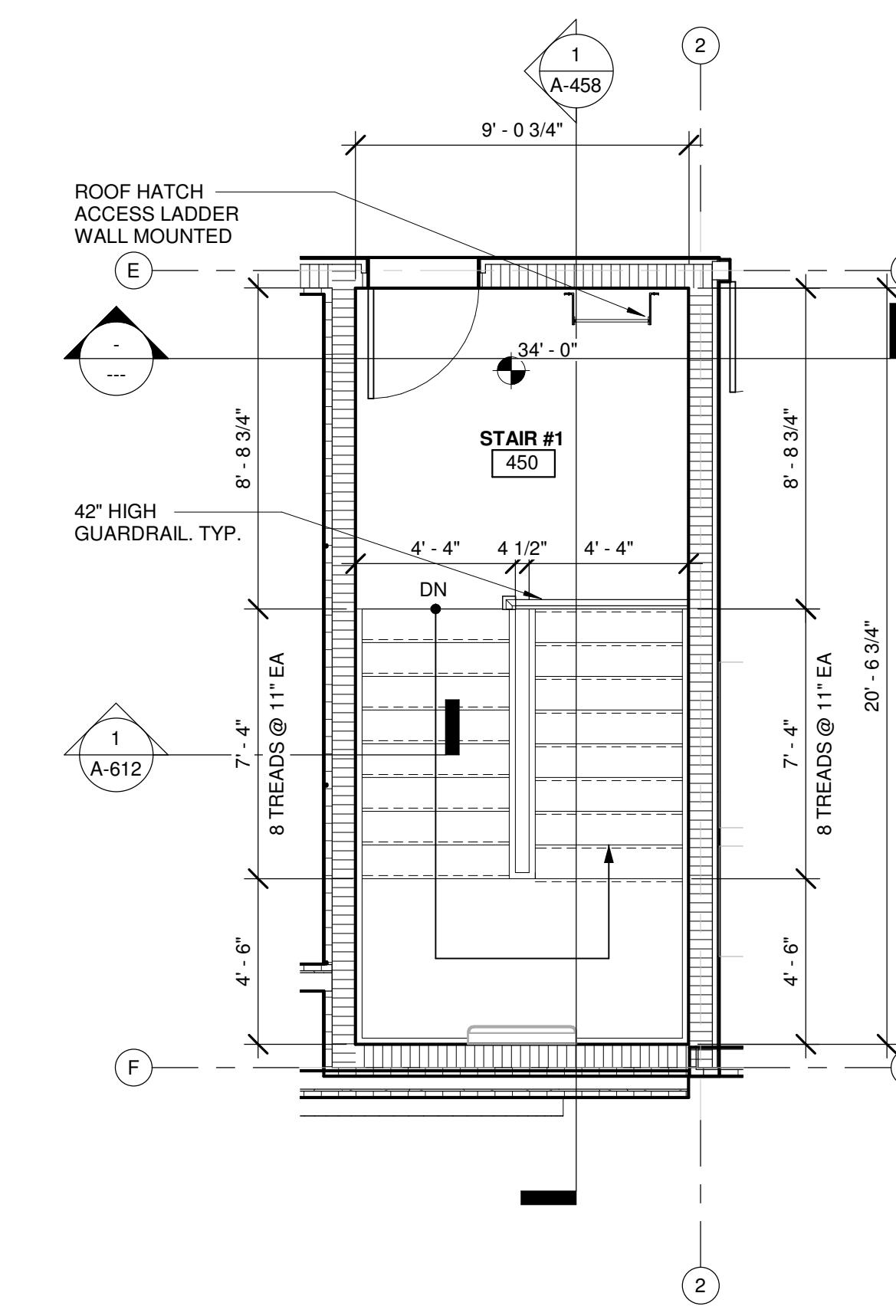
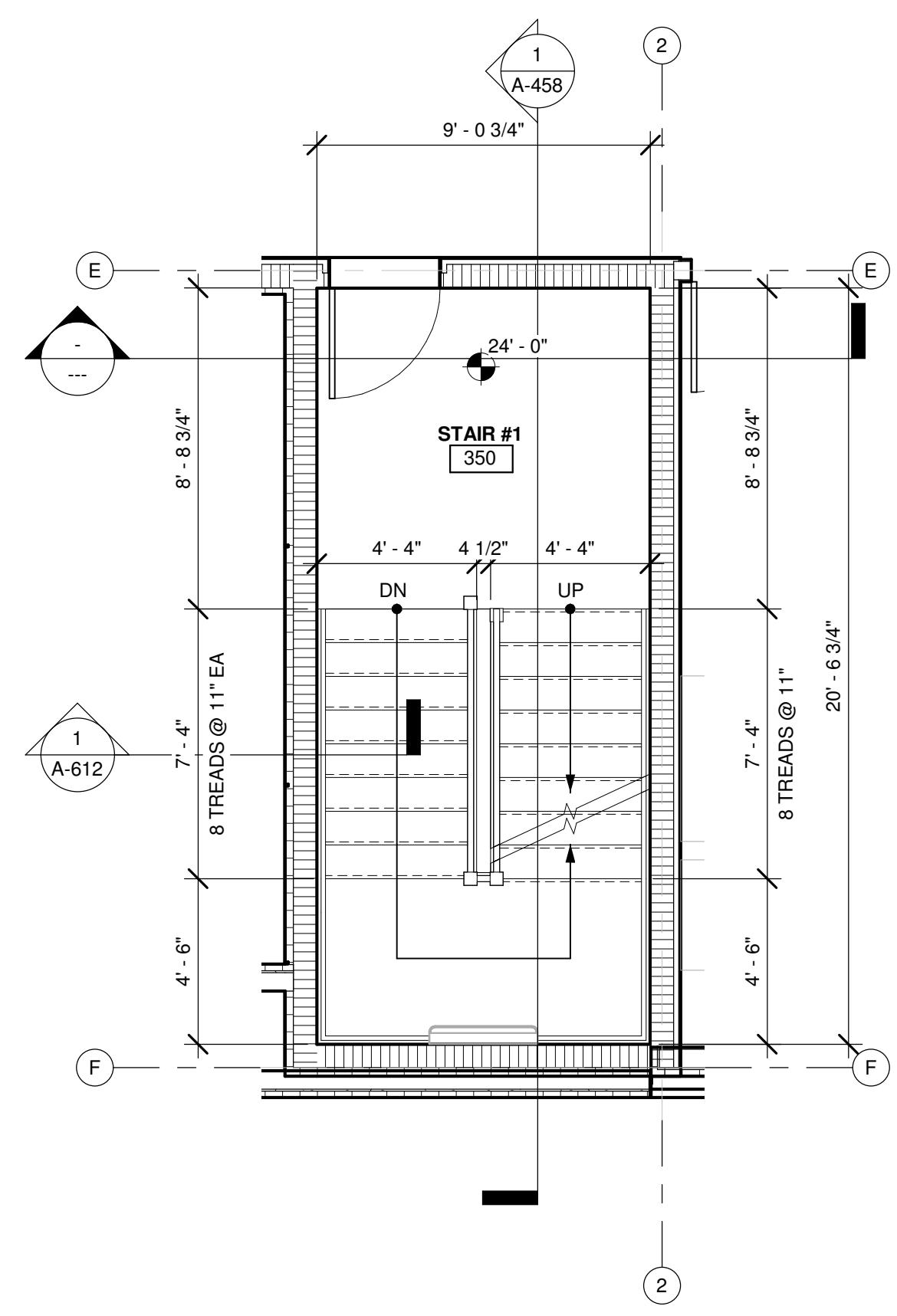
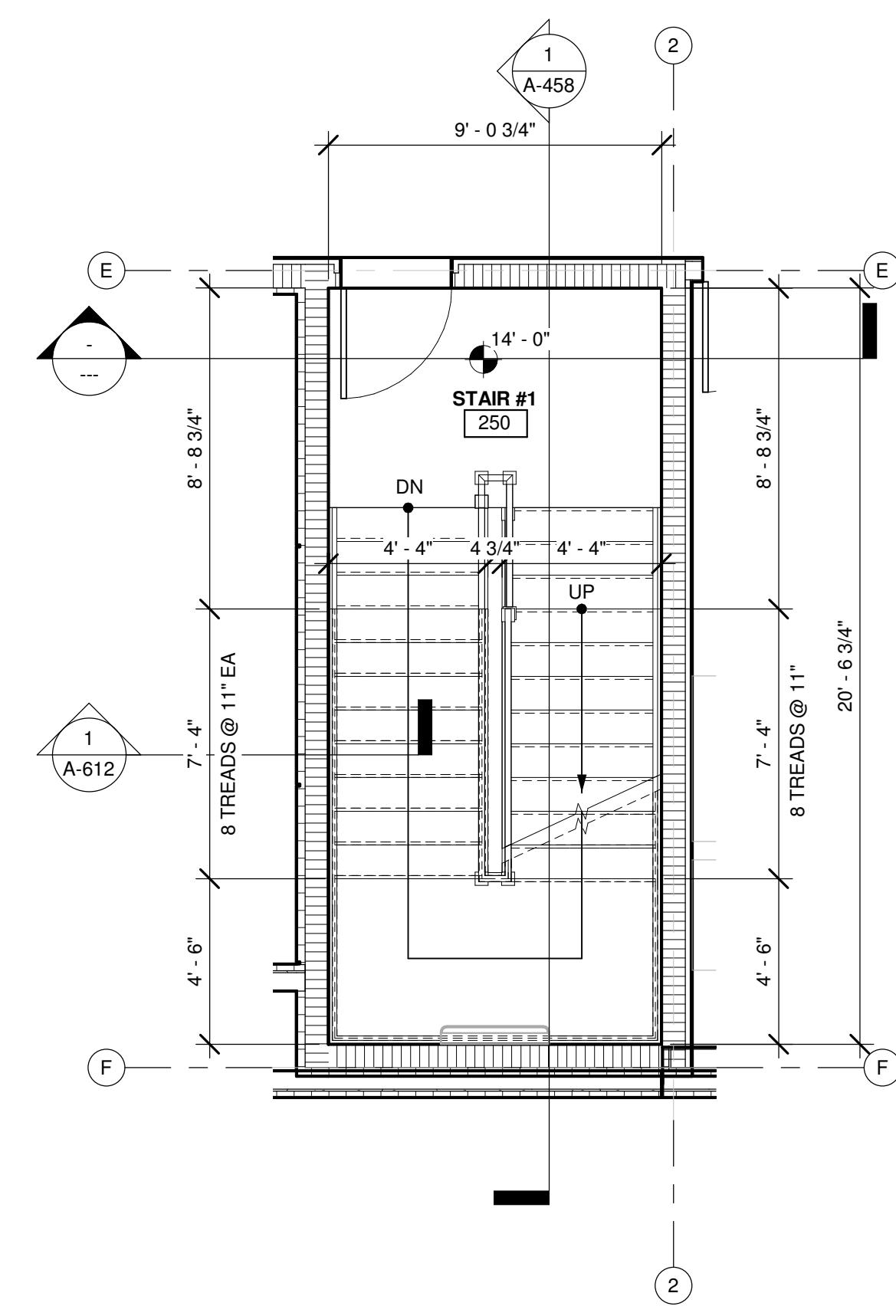
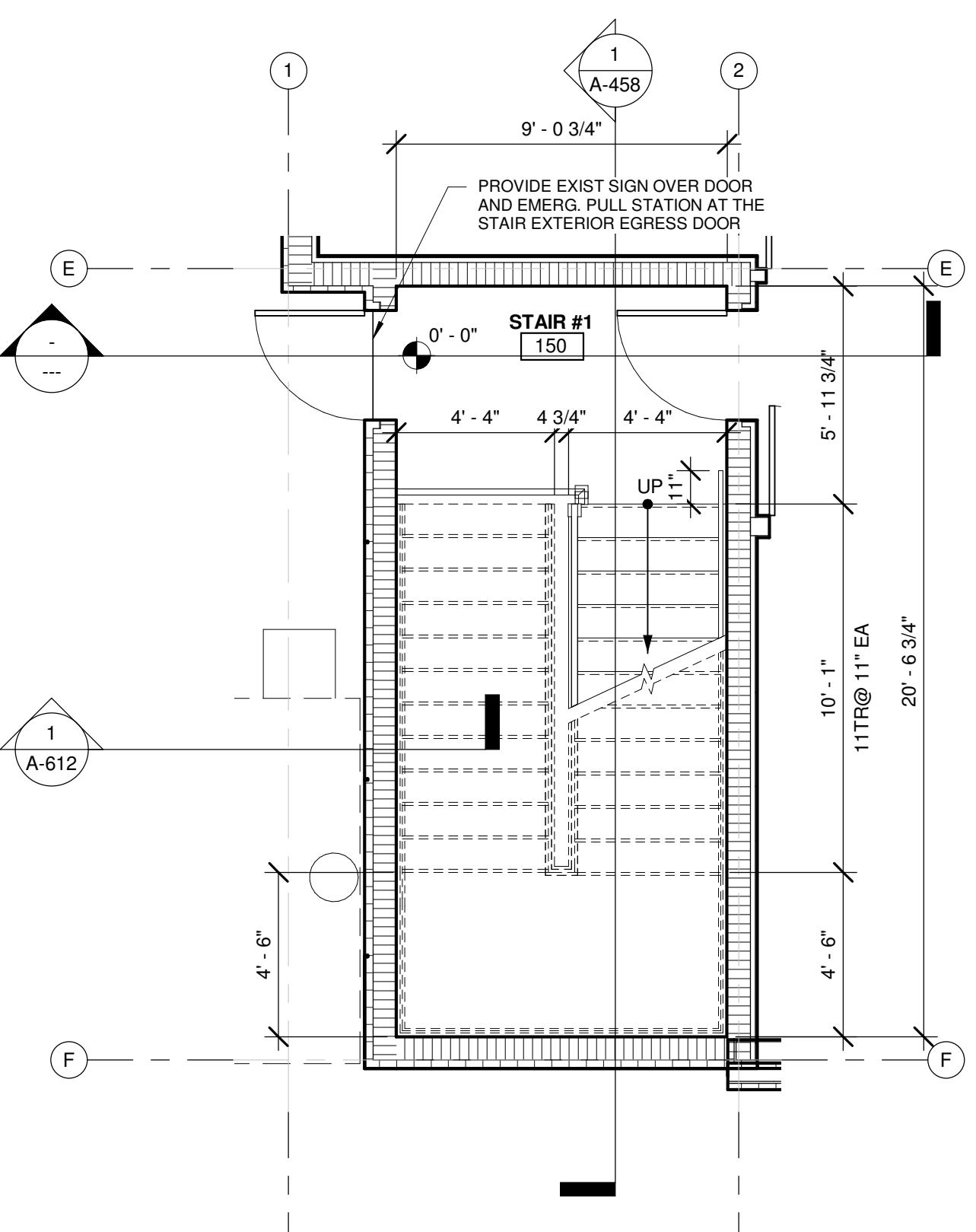
PROJECT STATEMENT:  
TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS CONFORM TO THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE AUTHORITY IN ACCORDANCE WITH THIS SECTION FBC-10.8.4.4 AND CHAPTER 633, FLORIDA STATUTES.

Revisions		
Rev#	Rev Date	Description

BHARAT R. PATEL,  
ARCHITECT, INC.  
FLORIDA REGISTERED FIRM,  
LIC. NO AA26001923  
5057 NORTHERN LIGHTS DR,  
GREENACRES, FL 33463  
(P): 561-424-9540  
www.brparch.com



TRU Project #: 20-288



STAIR 1 AND 2 ENLARGED PLANS

TRU BY HILTON FOR  
OMSHIV JAX LLC

4945 LENIOR AVENUE,  
JACKSONVILLE FL, 32216

#### STAIR NOTES :

1. PROVIDE STAIRWAY IDENTIFICATION SIGNS THAT WILL COMPLY WITH ALL LOCAL CODES AT ALL FLOOR LANDINGS.
2. 6" REFLECTIVE NUMBER TO BE MOUNTED ON EACH FLOOR LEVEL AT 5'-0" ABOVE LANDING NEAR THE DOOR LATCH, SIGN MUST BE VISIBLE WHEN THE DOOR IS OPEN.
3. TERMINATE ALL HANDRAILS BACK TO WALLS, TYP.
4. PAINT UNDERSIDE OF STAIR TO MATCH STAIR RAILING.
5. STAIRWAYS SHALL HAVE A HEADROOM CLEARANCE OF NOT LESS THAN 80 INCHES CONTINUOUS ABOVE THE STAIRWAY TO THE POINT WHERE THE LINE INTERSECTS THE LANDING BELOW, ONE TREAD DEPTH BEYOND THE BOTTOM RISER.
6. STAIR TREADS AND RISERS SHALL BE OF UNIFORM SIZE AND SHAPE. THE TOLERANCE BETWEEN THE LARGEST AND SMALLEST RISER HEIGHT OR BETWEEN THE LARGEST AND SMALLEST TREAD DEPTH SHALL NOT EXCEED 3/8 INCH IN ANY FLIGHT OF STAIRS.
7. NOSINGS SHALL HAVE A CURVATURE OR BEVEL OF NOT LESS THAN 1/16 INCH BUT NOT MORE THAN 9/16 INCH FROM THE FOREMOST PROJECTION OF THE TREAD. THE LEADING EDGE (NOSINGS) OF TREADS SHALL PROJECT NOT MORE THAN 1/4 INCHES BEYOND THE TREAD BELOW.
8. DOORS OPENING ONTO A LANDING SHALL NOT REDUCE THE LANDING TO LESS THAN ONE-HALF THE REQUIRED WIDTH. WHEN FULLY OPEN, THE DOOR SHALL NOT PROJECT MORE THAN 7 INCHES INTO A LANDING.
9. HANDRAIL HEIGHT, MEASURED ABOVE STAIR TREAD NOSINGS, SHALL BE UNIFORM, NOT LESS THAN 34 INCHES AND NOT MORE THAN 36 INCHES. HANDRAILS SHALL BE SOLID AND STRAIGHT, HAVING AN OUTSIDE DIAMETER OF NOT LESS THAN 1-1/2 INCHES. HANDRAIL GRIPPING SURFACES SHALL BE CONTINUOUS, WITHOUT INTERRUPTION BY NEWEL POSTS OR OTHER OBSTRUCTIONS.
10. HANDRAILS SHALL RETURN TO A WALL, GUARD OR THE WALKING SURFACE, WHERE HANDRAILS ARE NOT CONTINUOUS BETWEEN FLIGHTS. THE HANDRAILS SHALL EXTEND HORIZONTALLY NOT LESS THAN 12 INCHES BEYOND THE TOP RISER AND CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER.
11. CLEAR SPACE BETWEEN A HANDRAIL AND A WALL OR OTHER SURFACE SHALL BE NOT LESS THAN 1-1/2 INCHES.

DRAWN  
BHARAT R PATEL  
FLORIDA REG. ARCHITECT  
AR94881

2020-28  
DATE  
11.25.2020  
SCALE  
AS-SHOWN

PERMIT SET

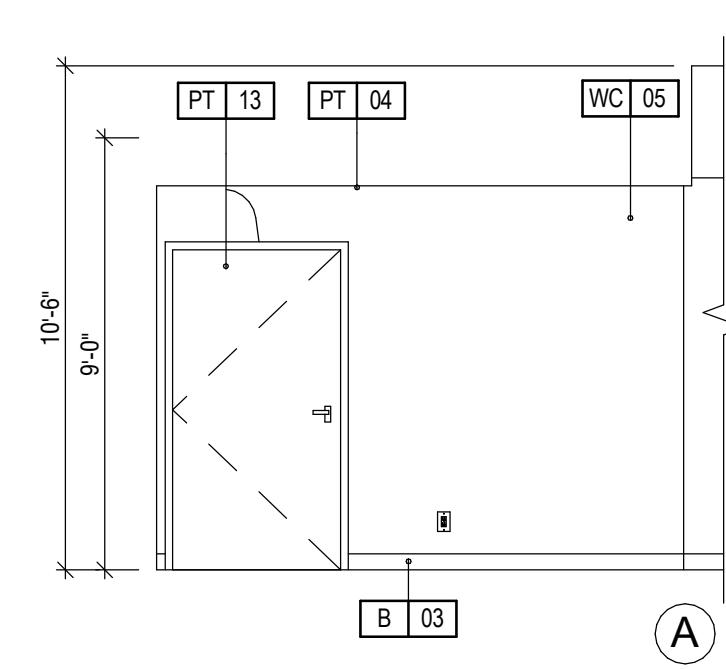
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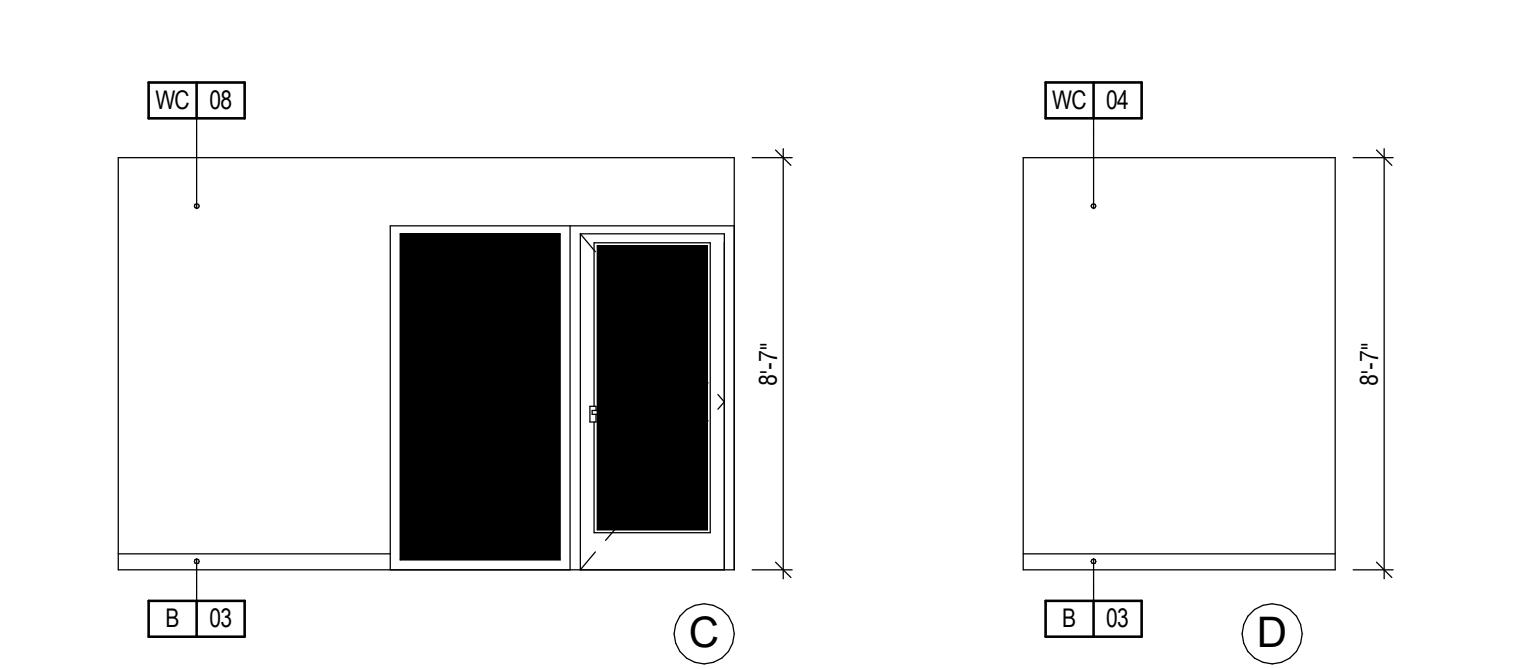
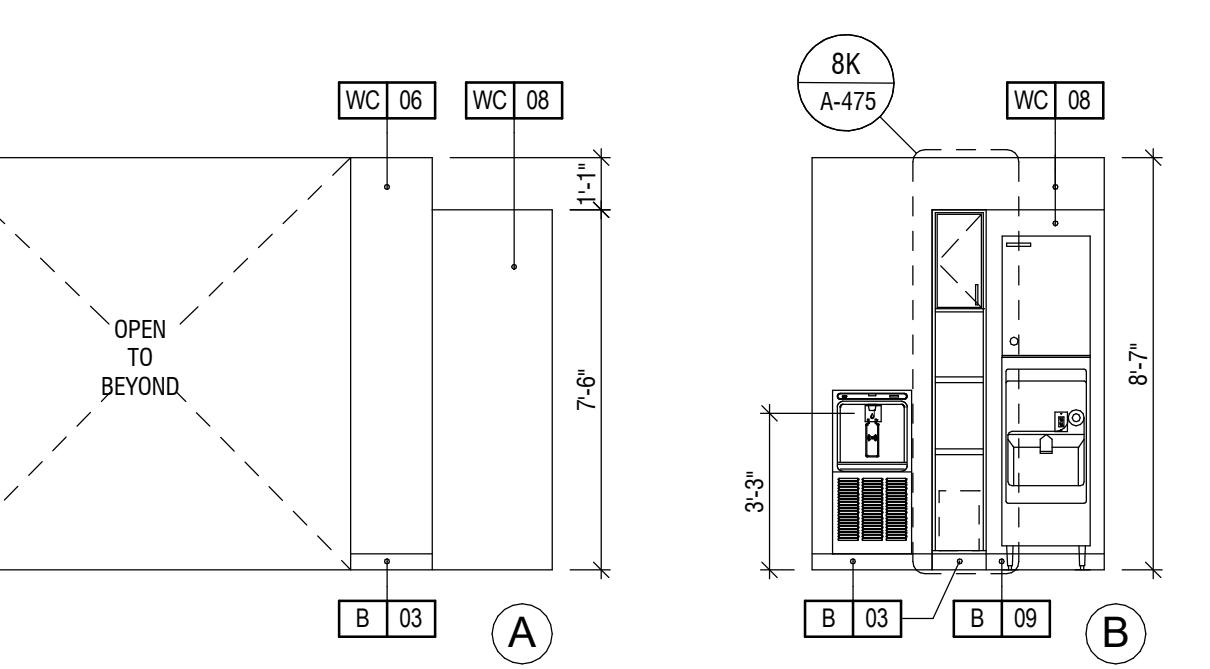
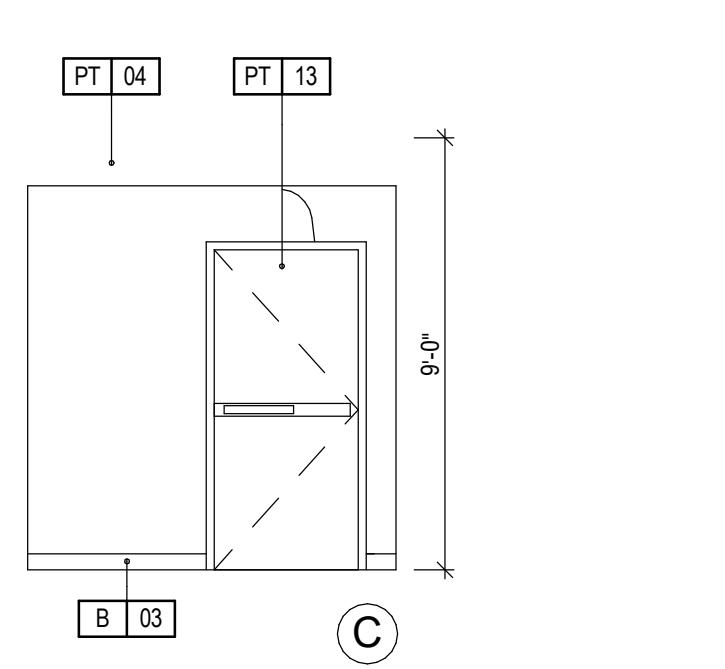
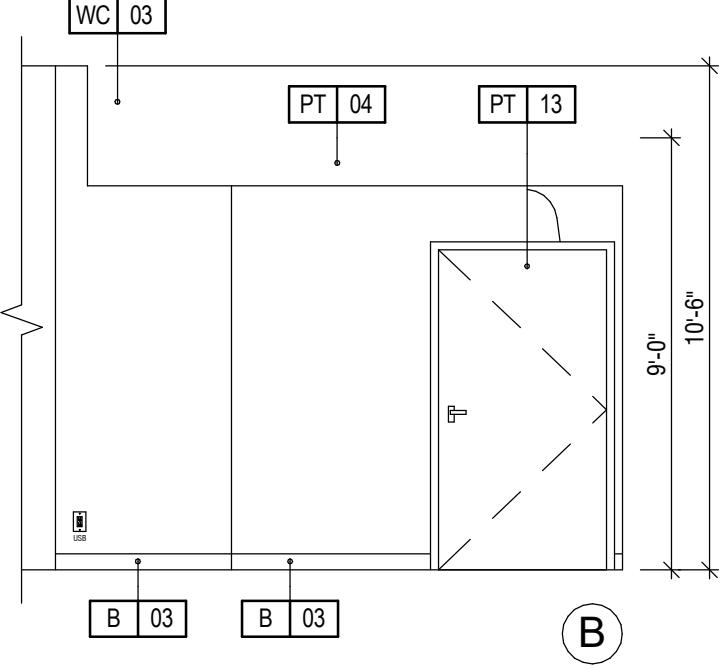
Revisions		
Rev#	Rev Date	Description

BHARAT R PATEL,  
ARCHITECT, INC.  
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## INTERIOR ELEVATIONS- FIRST FLOOR

TRU BY HILTON FOR  
OMSHIV JAX LLC4945 LENIOR AVENUE,  
JACKSONVILLE FL, 32216BHARAT R PATEL  
FLORIDA REG. ARCHITECT  
AR94881DRAWN  
BRP  
PROJECT NO  
2020-28  
DATE  
11.25.2020  
SCALE  
AS-SHOWNPERMIT SET  
A-462

INTERIOR ELEVATION - CORRIDOR



**KEY NOTES:**

1. FITNESS BALLET BARRE TO MOUNT DIRECTLY TO 2x6 WOOD RAIL SECURELY ATTACHED TO WALL - PROVIDE ADDITIONAL BLOCKING AS REQUIRED. WOOD RAIL STANDED TO MATCH WD-01.
2. LINEN CHUTE
3. OPENING FOR ICE MACHINE ROOM OCCURS ONLY ON THIRD FLOOR
4. INSTALL BABY CHANGING TABLE TO PROVIDE KNEE SPACE AT 27" MAX. AFT. TO INSURE OF PROPER ACCESSIBLE CLEARANCES - REFER TO HAGG FOR MORE INFORMATION
5. LOCAL MURAL WALL - REFER TO FF&E PLAN FOR LEGEND
6. CEILING MOUNTED TV - REFER TO FF&E PLAN FOR LEGEND
7. BREAKROOM EQUIPMENT - REFER TO FF&E PLAN FOR LEGEND
8. COAT HOOKS APPROXIMATELY LOCATED, ALIGN HOOKS WITH WALL GRAPHIC - REFER TO FF&E PLAN FOR LEGEND

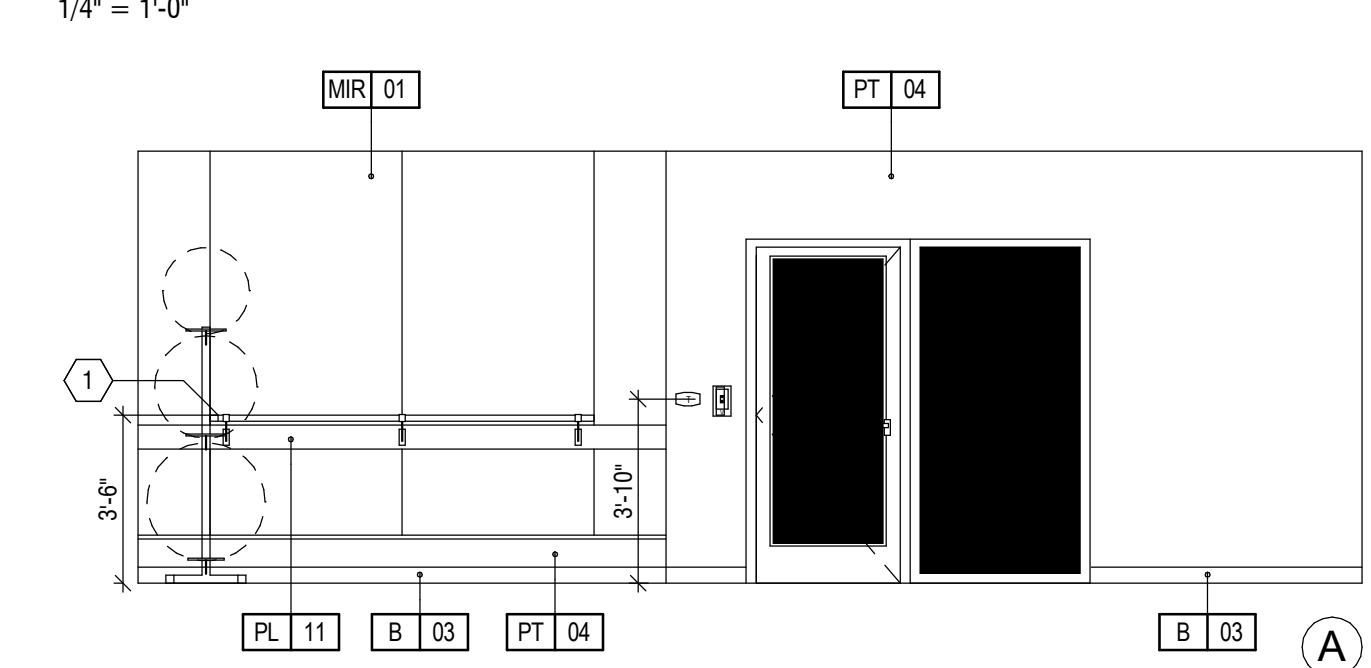
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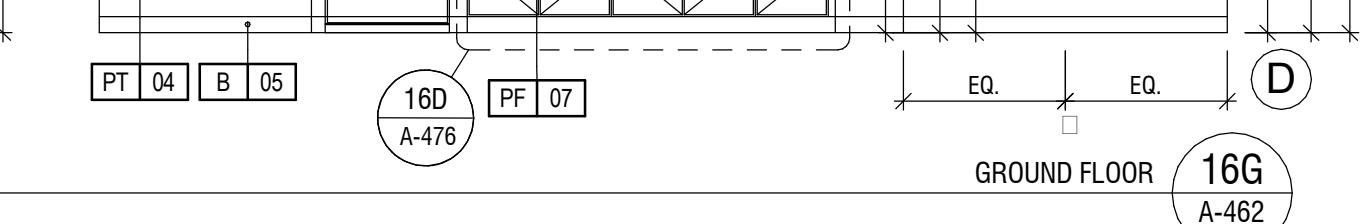
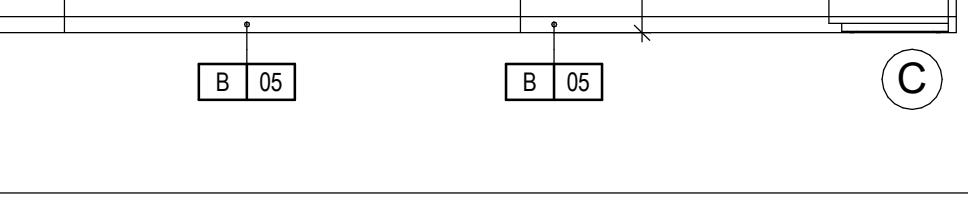
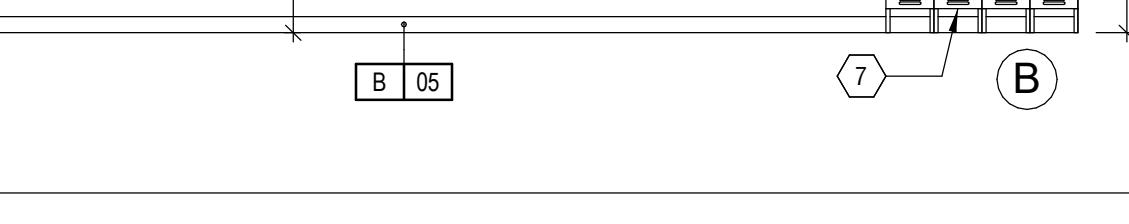
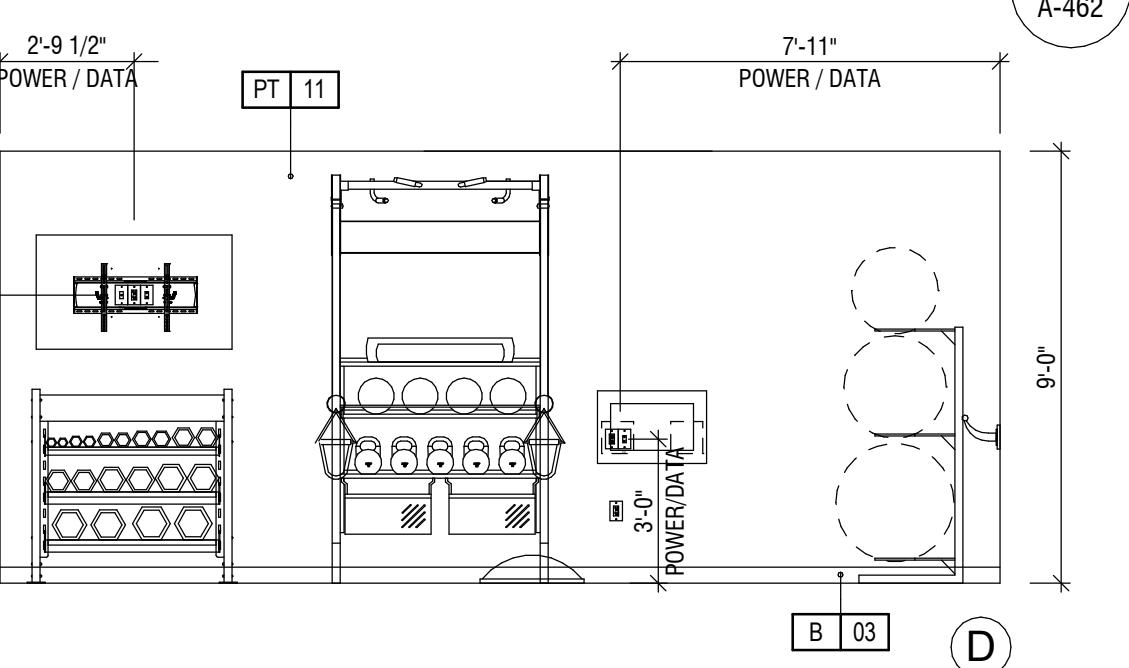
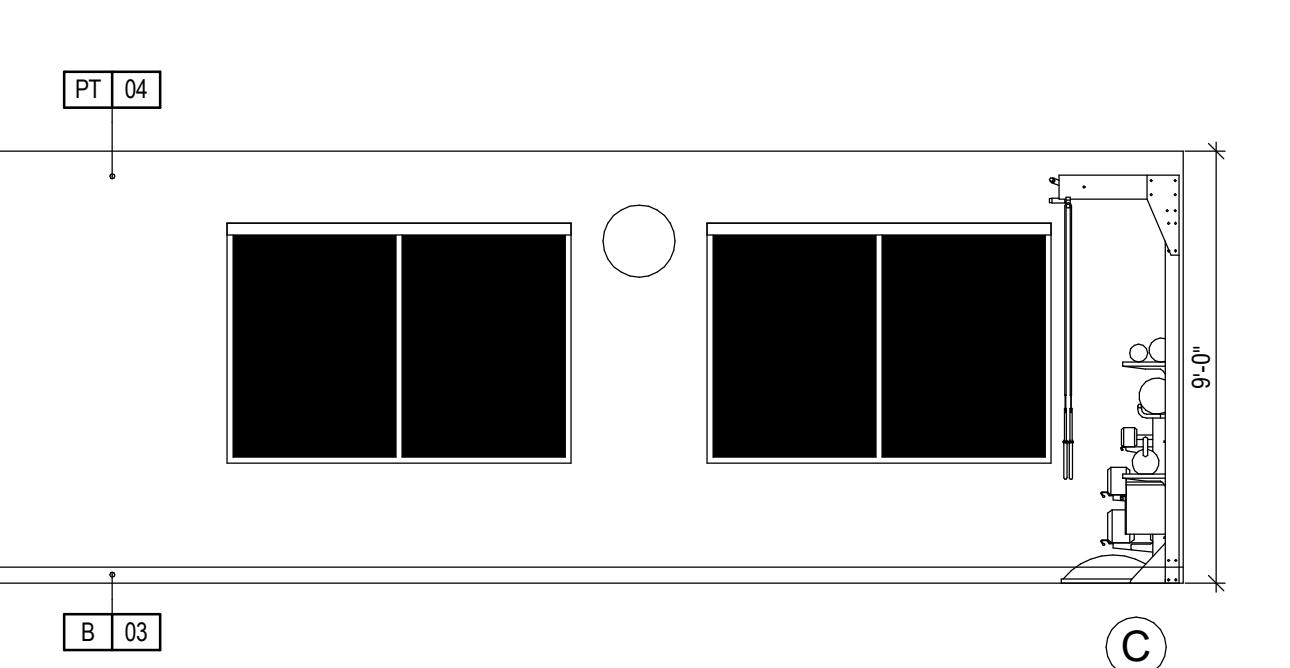
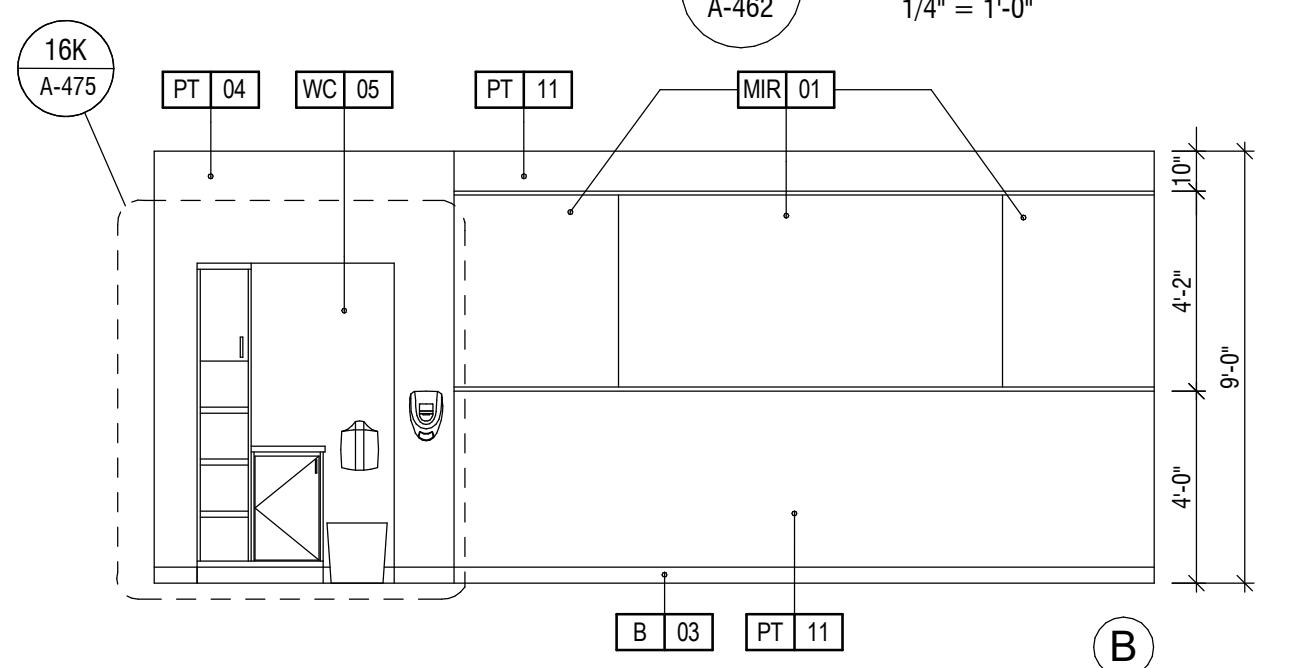


INTERIOR ELEVATION - WATER/ICE

INTERIOR ELEVATIONS- FIRST FLOOR

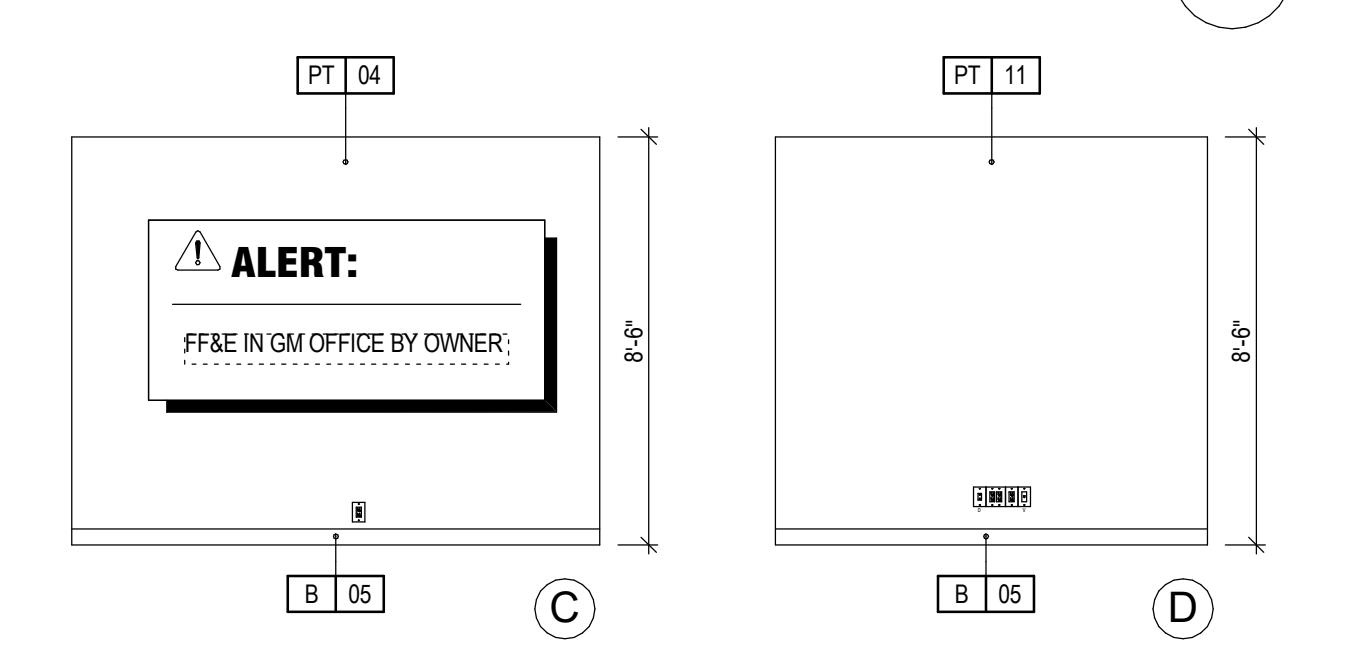
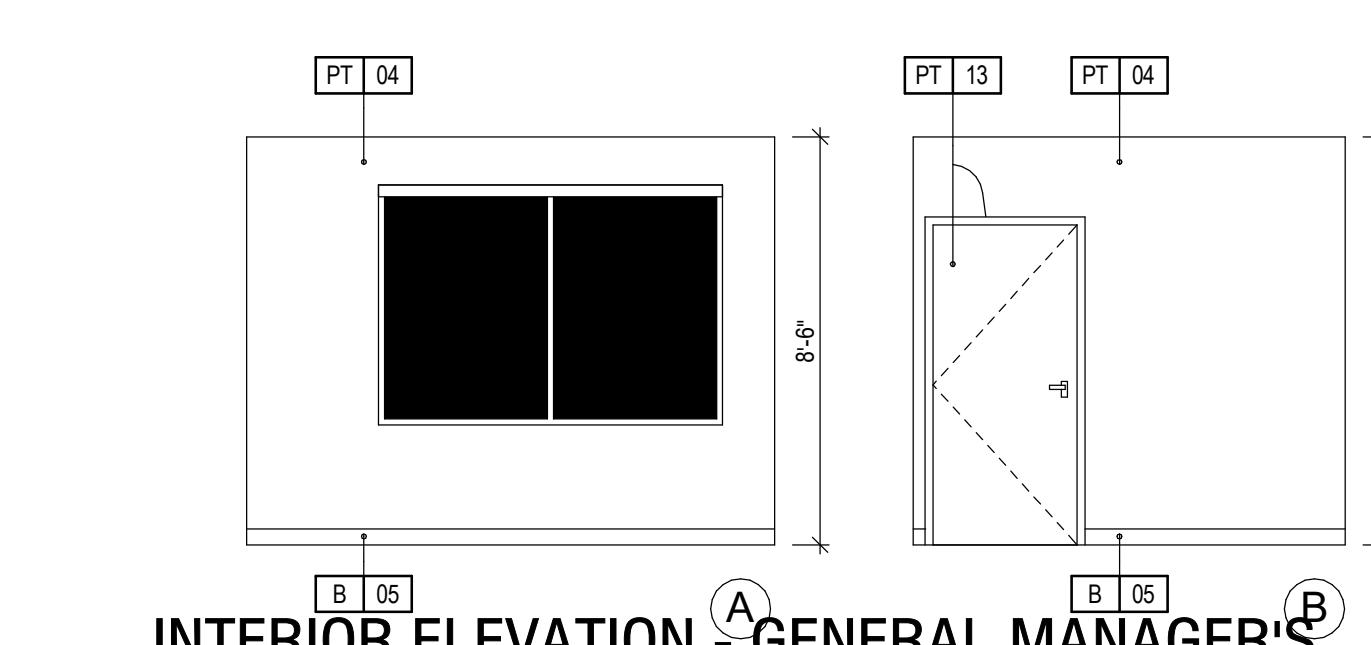
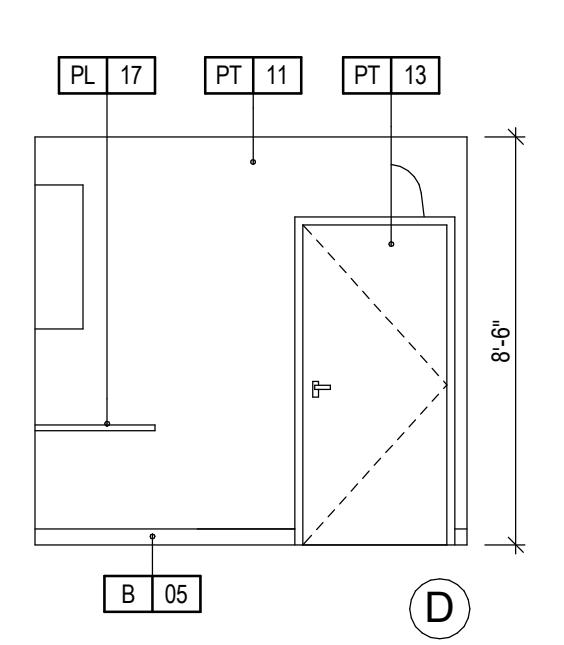
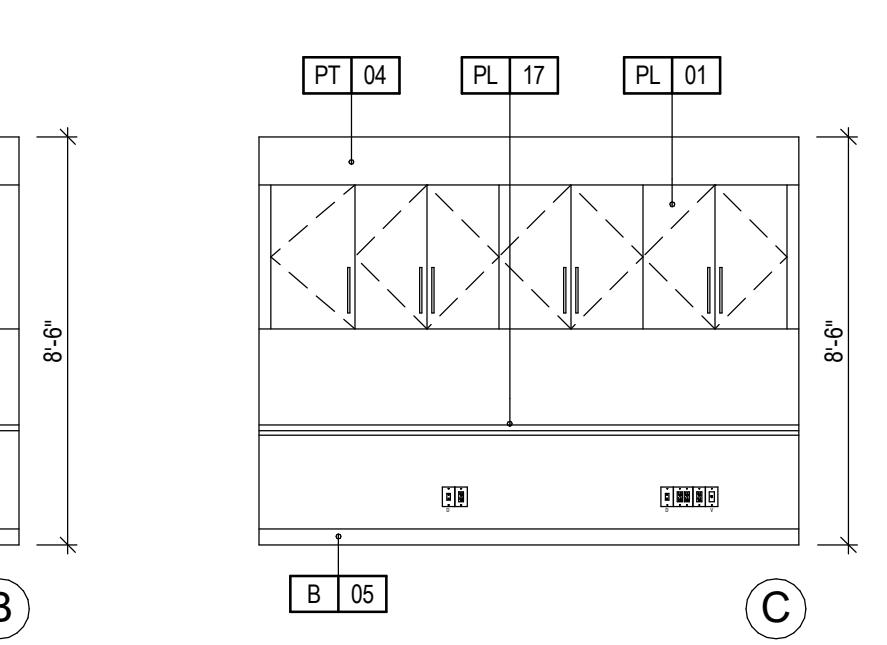
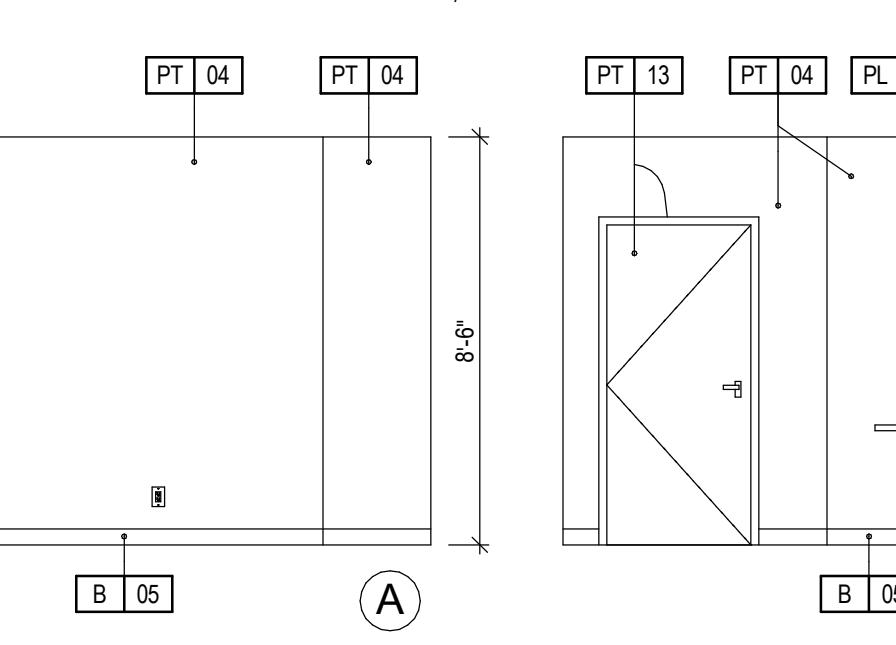
TRU BY HILTON FOR  
OMSHIV JAX LLC4945 LENIOR AVENUE,  
JACKSONVILLE FL, 32216BHARAT R PATEL  
FLORIDA REG. ARCHITECT  
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INTERIOR ELEVATION - FITNESS



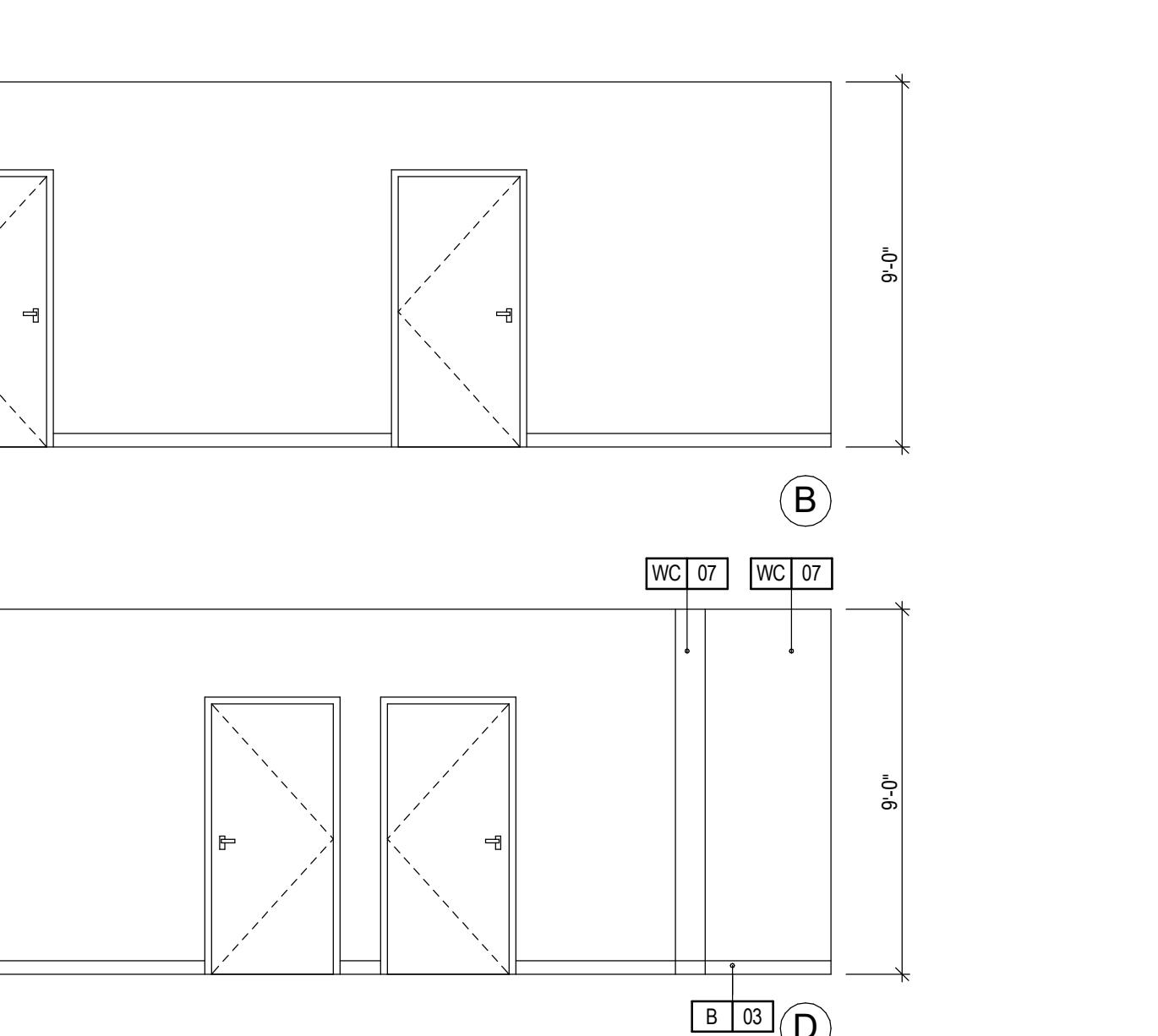
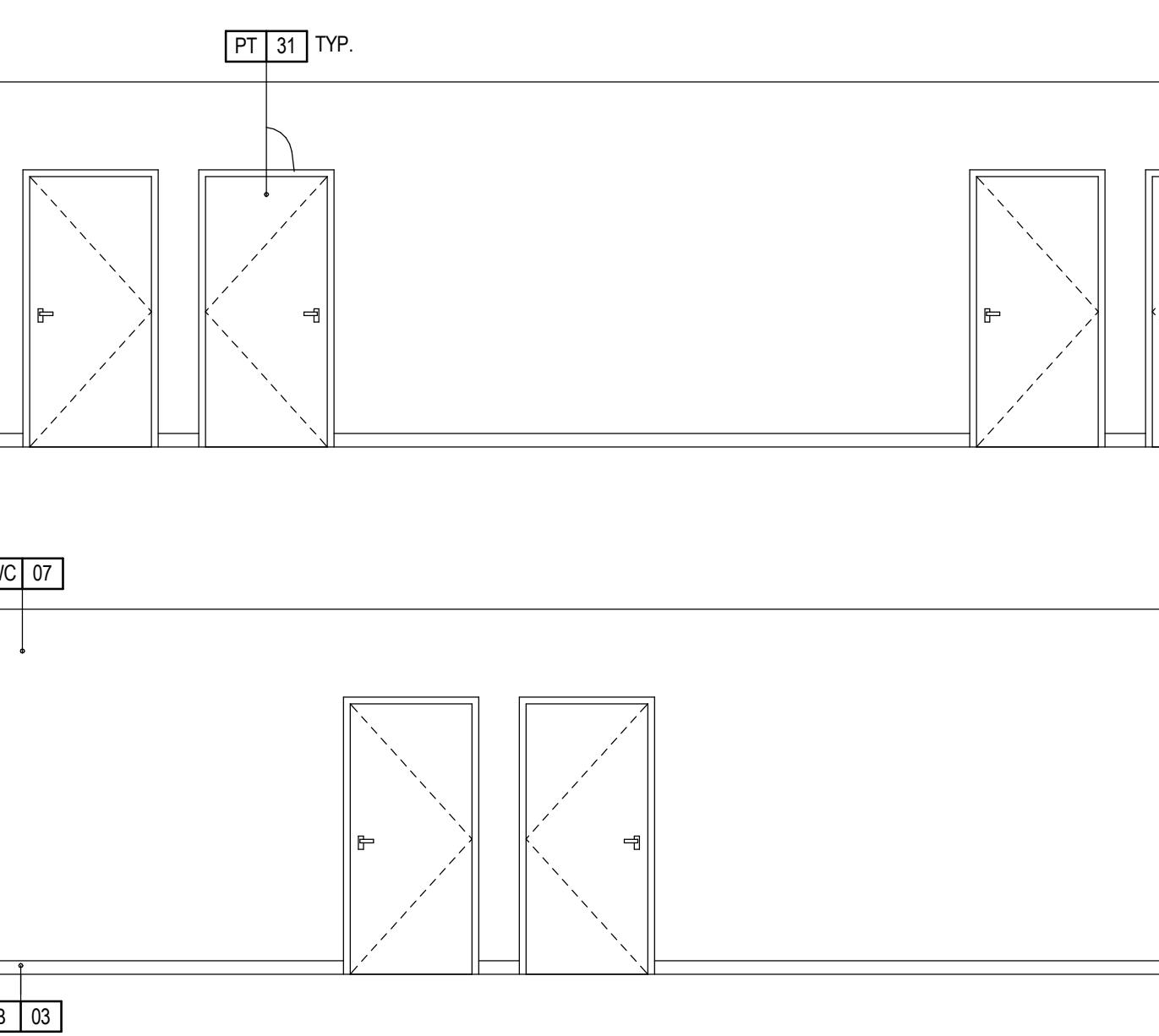
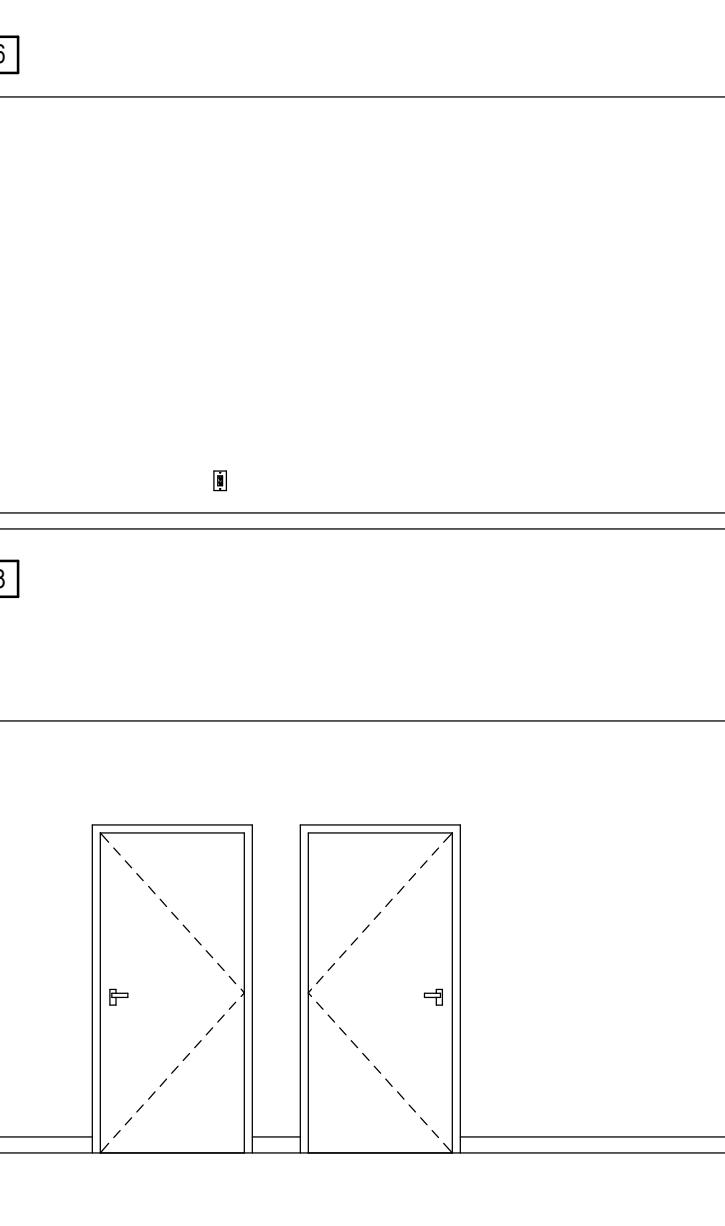
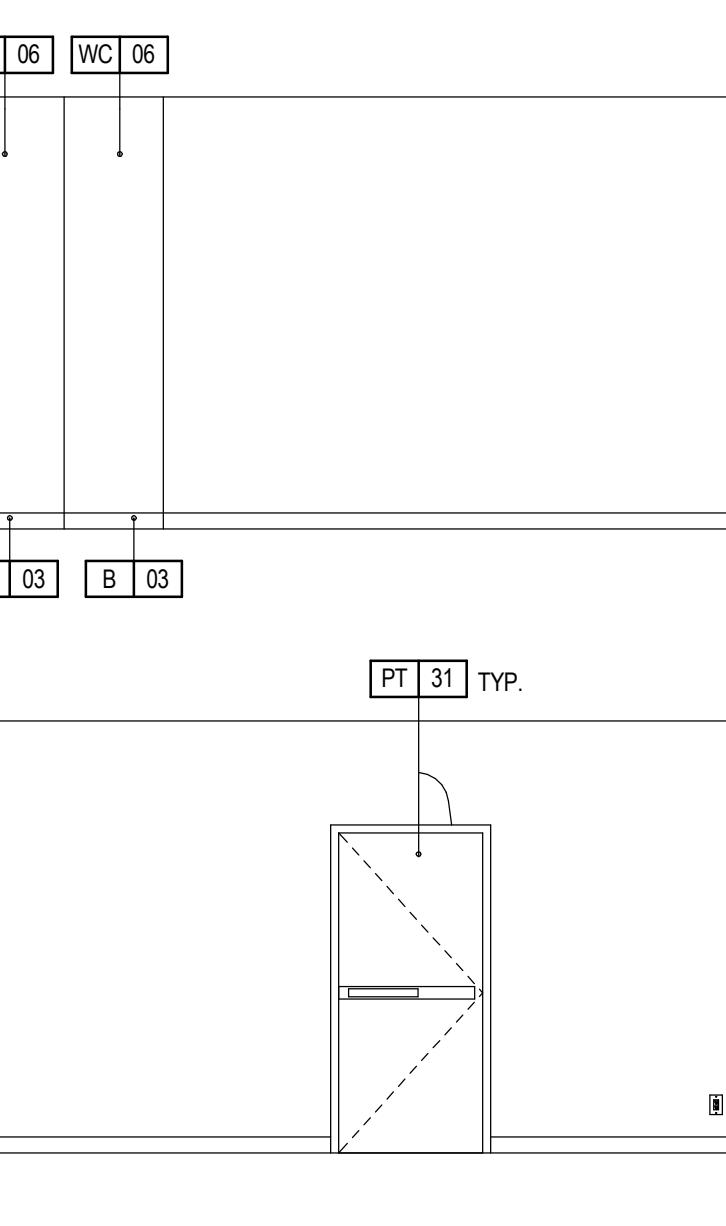
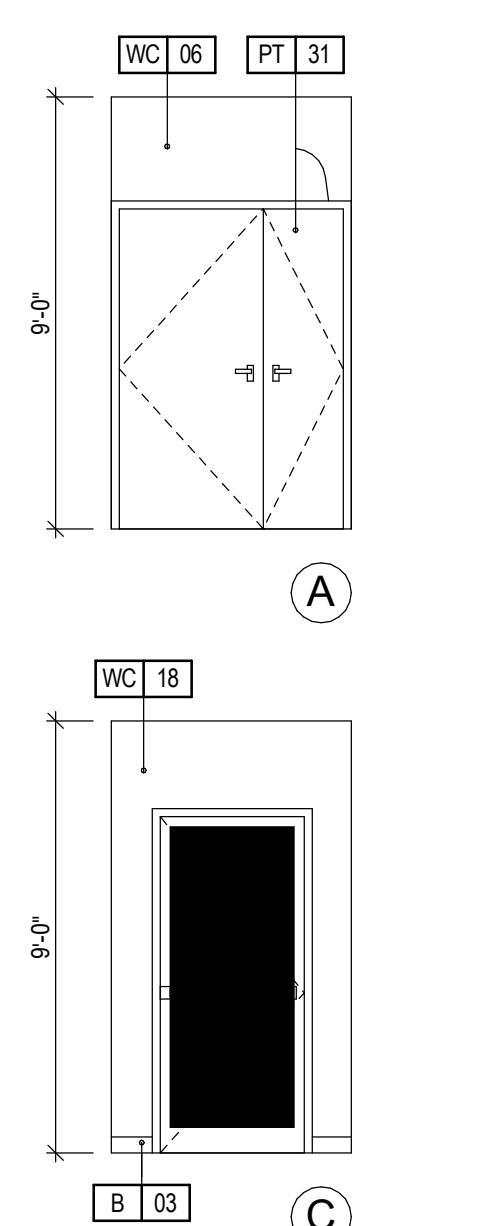
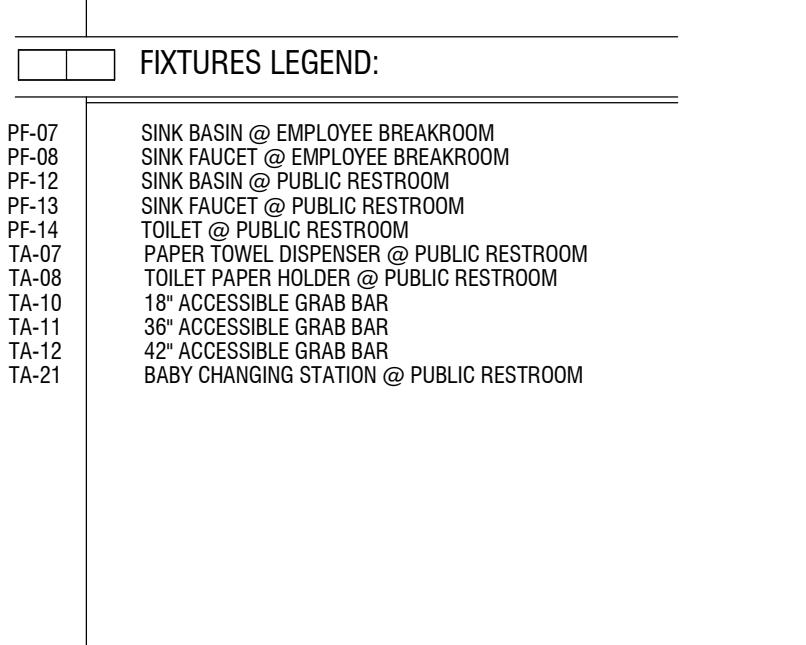
INTERIOR ELEVATION - OPEN OFFICE

1/4" = 1'-0"



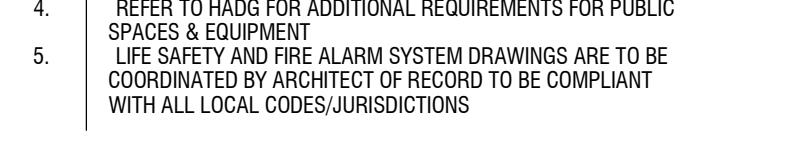
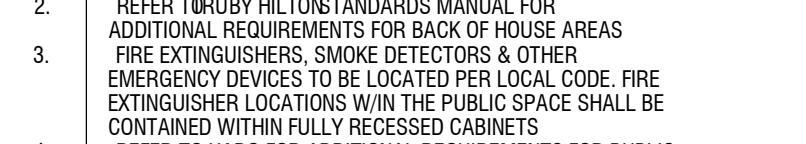
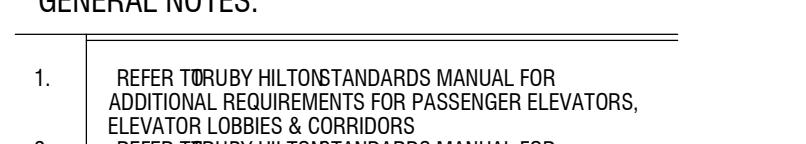
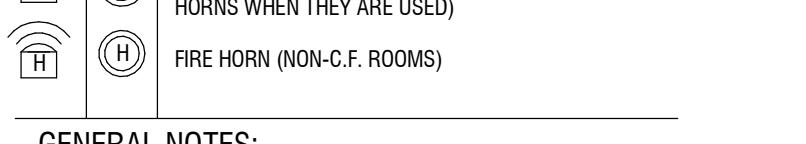
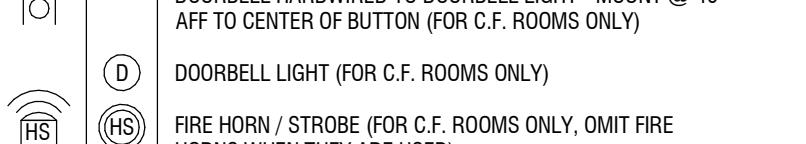
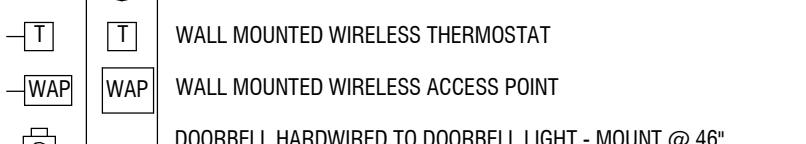
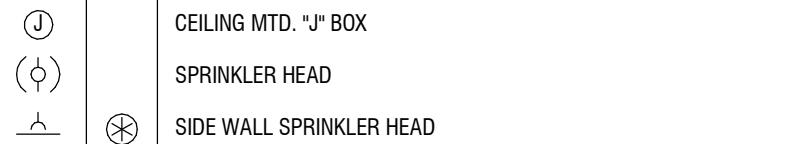
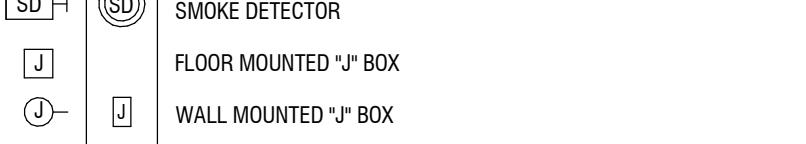
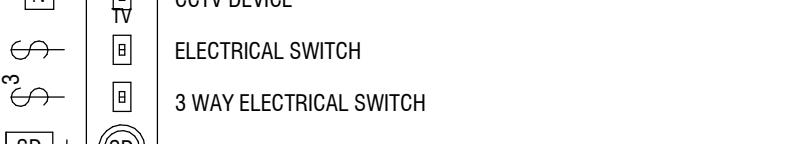
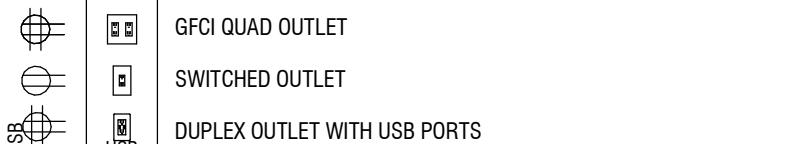
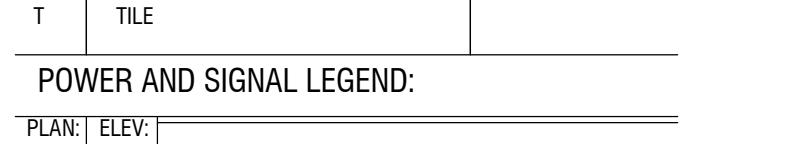
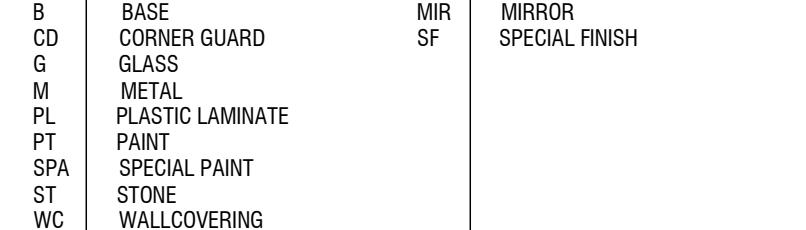
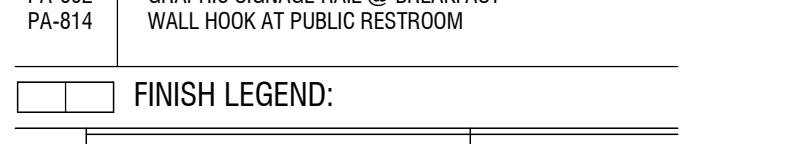
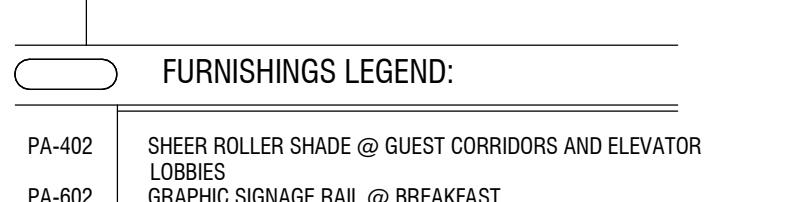
INTERIOR ELEVATION - GENERAL MANAGER'S OFFICE

1/4" = 1'-0"



INTERIOR ELEVATION - GUESTROOM CORRIDOR

1/4" = 1'-0"



GENERAL NOTES:

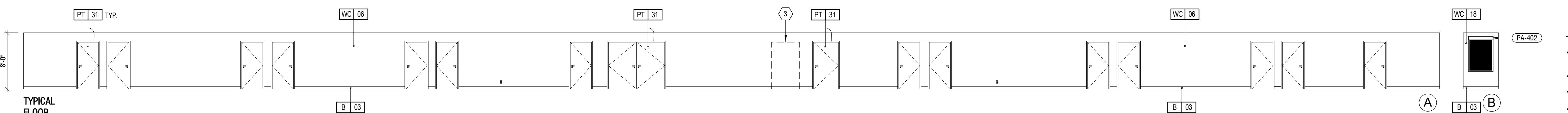
1. REFER TRU BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQUIREMENTS FOR PASSENGER ELEVATORS, ELEVATOR LOBBIES &amp; CORRIDORS.

2. REFER TRU BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQUIREMENTS FOR PUBLIC AREAS.

3. FIRE EXTINGUISHERS, SMOKE DETECTORS &amp; OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE, FIRE EXTINGUISHERS TO BE PLACED IN CONCEALED CABINETS SHALL BE CONTAINED WITHIN FULLY RECESSED CABINETS.

4. REFER TRU BY HILTON STANDARDS MANUAL FOR PUBLIC SPACES &amp; EXTERIOR.

5. LIFE SAFETY AND FIRE ALARM SYSTEM DRAWINGS ARE TO BE COORDINATED WITH LOCAL FIRE DEPARTMENT TO BE COMPLIANT WITH ALL LOCAL CODES/JURISDICTIONS.



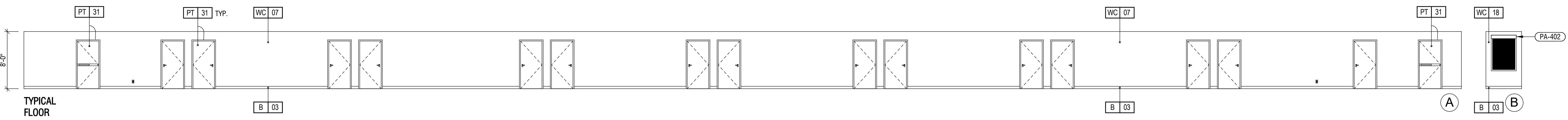
**KEY NOTES:**

1. FITNESS BALLET BARRE TO MOUNT DIRECTLY TO 2x6 WOOD RAIL SECURELY ATTACHED TO WALL - PROVIDE ADDITIONAL BLOCKING AS REQUIRED. WOOD RAIL STAINED TO MATCH WD-01.
2. LINEN CHUTE
3. OPENING FOR ICE MACHINE ROOM OCCURS ONLY ON THIRD FLOOR
4. INSTALL BABY CHANGING TABLE TO PROVIDE KNEE SPACE AT 27" MAX. AFF. TO INSURE OF PROPER ACCESSIBLE CLEARANCES - REFER TO HADG FOR MORE INFORMATION
5. LOCAL MURAL WALL - REFER TO FF&E PLAN FOR LEGEND
6. CEILING MOUNTED TVs - REFER TO FF&E PLAN FOR LEGEND
7. BREAKROOM EQUIPMENT - REFER TO FF&E PLAN FOR LEGEND
8. COAT HOOKS APPROXIMATELY LOCATED, ALIGN HOOKS WITH WALL GRAPHIC - REFER TO FF&E PLAN FOR LEGEND

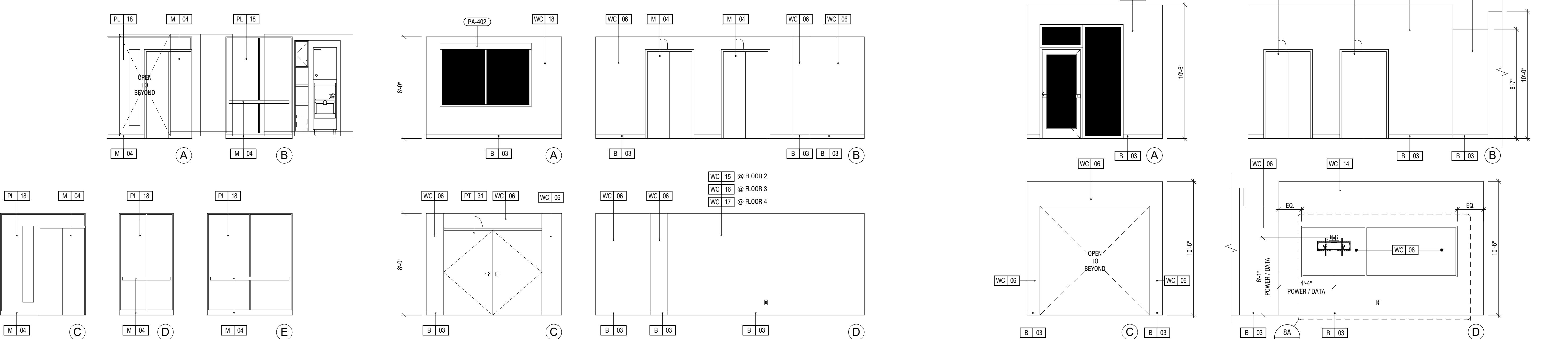
Revisions		
Rev#	Rev Date	Description

BHARAT R PATEL,  
ARCHITECT, INC.  
FLORIDA REGISTERED FIRM,  
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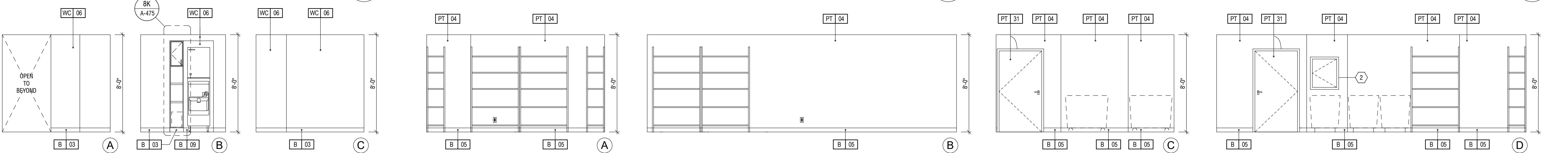
**INTERIOR ELEVATION - TYPICAL FULL GUESTROOM CORRIDOR**  
1/8" = 1'-0"



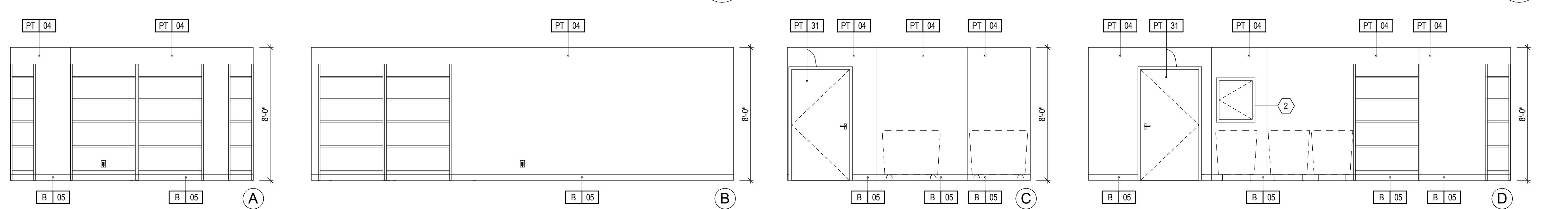
**INTERIOR ELEVATION - TYPICAL FULL GUESTROOM CORRIDOR**  
1/8" = 1'-0"



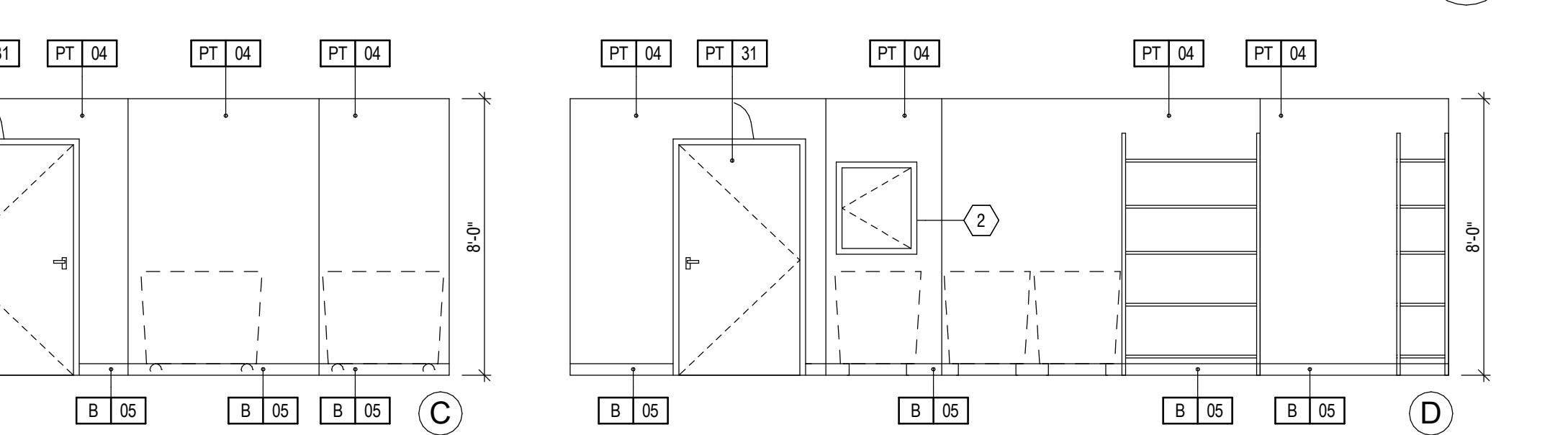
**INTERIOR ELEVATION - TYP. ELEVATOR CABS**  
1/4" = 1'-0"



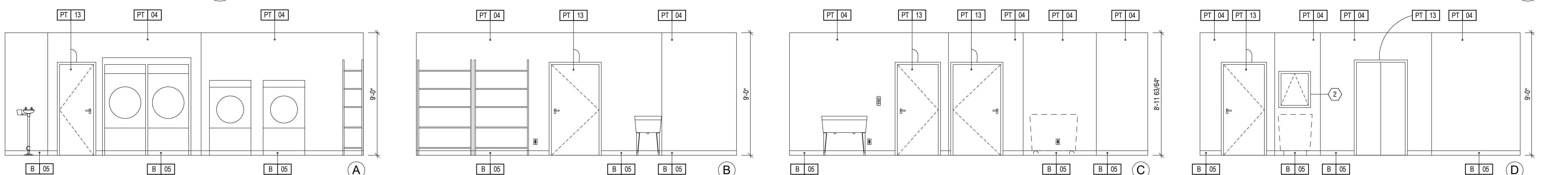
**INTERIOR ELEVATION - TYP. GUESTROOM ELEVATOR LOBBY**  
1/4" = 1'-0" FLOORS 2-4 10E A-463



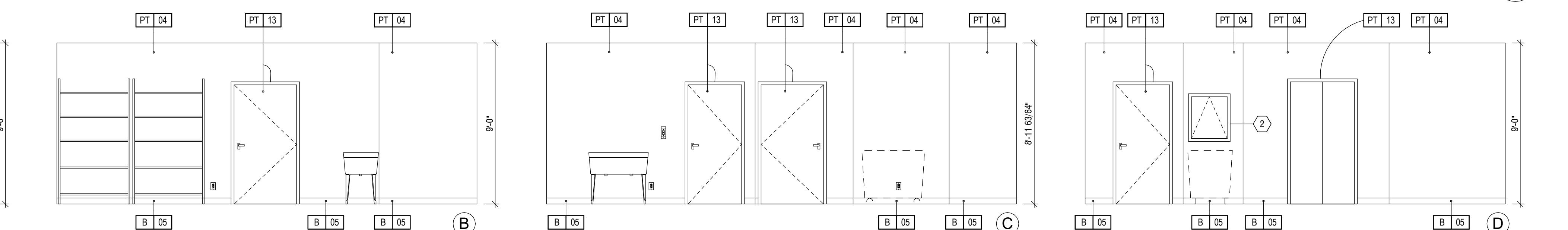
**INTERIOR ELEVATION - ELEVATOR LOBBY**  
1/4" = 1'-0" GROUND FLOOR 16E A-463



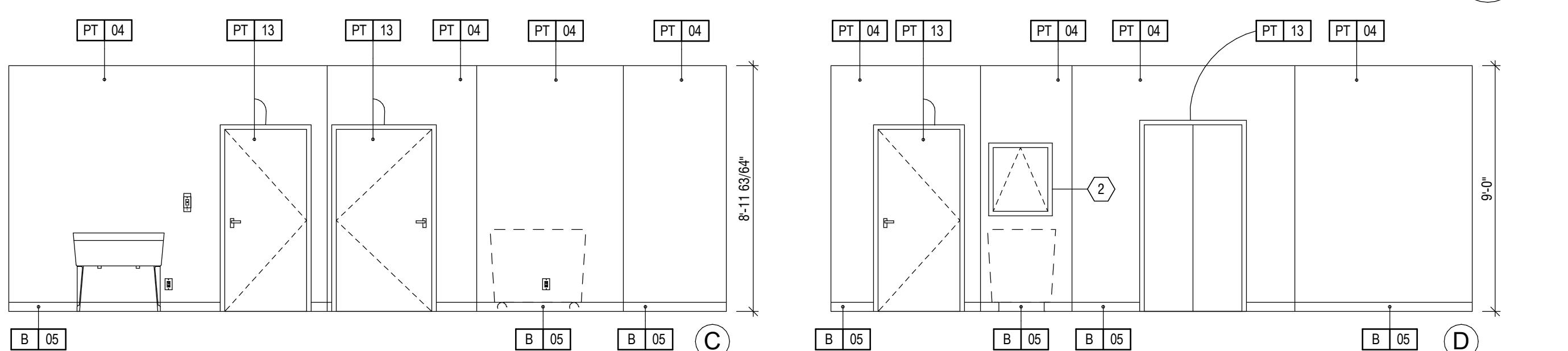
**INTERIOR ELEVATION - ICE**  
1/4" = 1'-0" FLOORS 3 4C A-463



**INTERIOR ELEVATION - LINEN STORAGE**  
1/4" = 1'-0" FLOORS 2-4 16C A-463



**INTERIOR ELEVATION - LAUNDRY**  
1/4" = 1'-0" GROUND FLOOR 16A A-463



- GENERAL NOTES:**
1. REFER TO BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQUIREMENTS FOR PASSENGER ELEVATORS.
  2. REFER TO BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQUIREMENTS FOR PUBLIC AND SERVICE AREAS.
  3. FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER FIRE ALARMING DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHERS SHALL BE PLACED IN RECESSED CABINETS WHICH SHALL BE CONTAINED WITHIN FULLY RECESSED CABINETS.
  4. REFER TO BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQUIREMENTS FOR PUBLIC SPACES & EQUIPMENT.
  5. LIFE SAFETY AND FIRE ALARM SYSTEM DRAWINGS ARE TO BE COORDINATED BY ARCHITECT OF RECORD TO BE COMPLIANT WITH ALL LOCAL CODES/JURISDICTIONS.

### INTERIOR ELEVATIONS- FIRST FLOOR & UPPER FLOORS

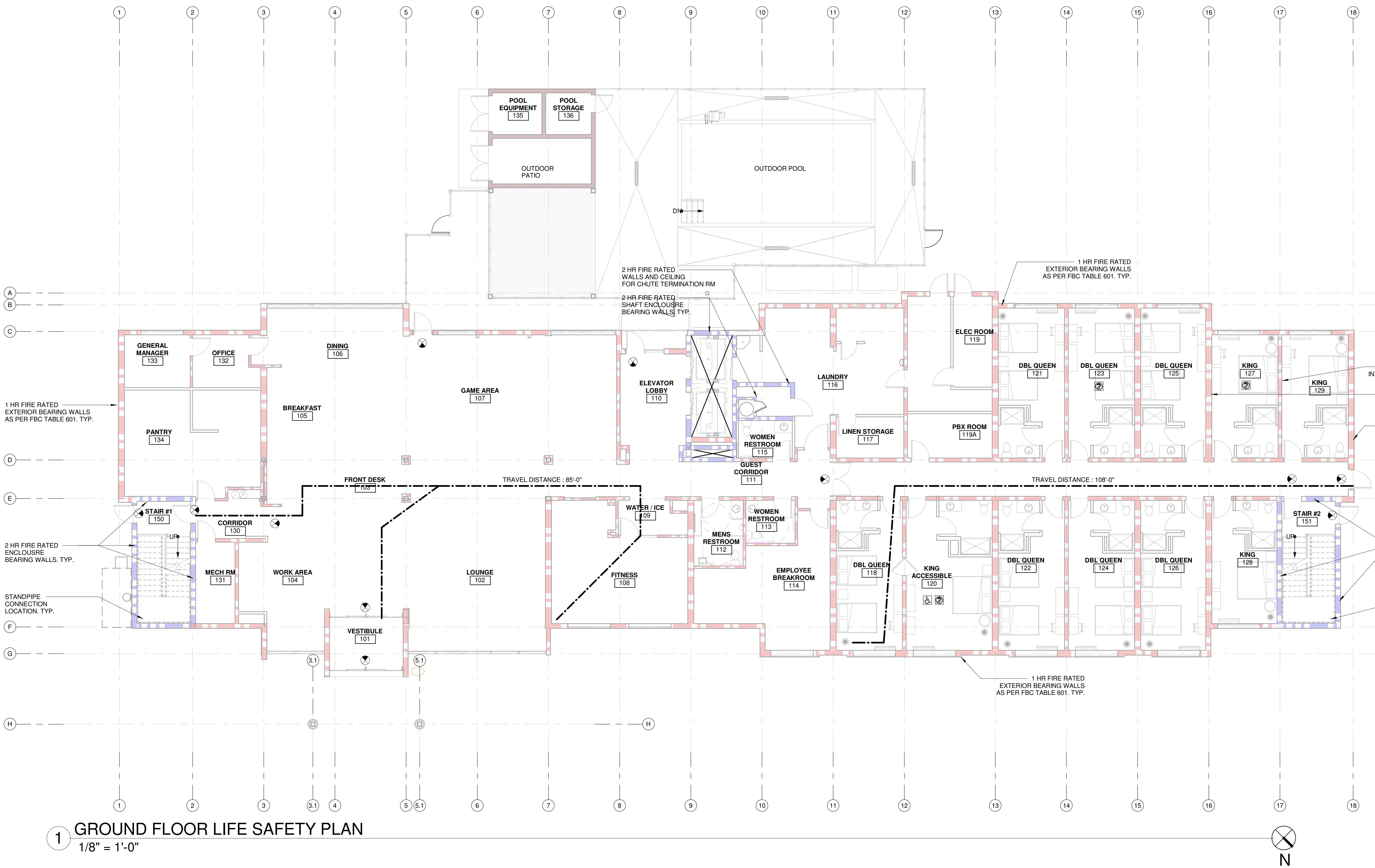
TRU BY HILTON FOR  
OMSHIV JAX LLC

4945 LENIOR AVENUE,  
JACKSONVILLE FL, 32216

PERMIT SET

DRAWN  
PROJECT NO  
DATE  
SCALE  
AS-SHOWN

A-463



**AREA OF REFUGE REQUIREMENTS**

An area of refuge is a means of a required accessible means of egress in accordance with 7.5.4, consisting of a story in a building that is protected throughout by an approved, supervised automatic sprinkler system in accordance with section 9.7; and having an accessible story that is one or more stories above or below a story of exit discharge shall meet the following criteria:

(1) EACH ELEVATOR LANDING SHALL BE PROVIDED WITH A TWO-WAY COMMUNICATION SYSTEM FOR COMMUNICATION BETWEEN THE ELEVATOR LANDING AND THE FIRE COMMAND CENTER OR A CENTRAL CONTROL POINT APPROVED BY THE AUTHORITY HAVING JURISDICTION.

(2) DIRECTIONS FOR THE USE OF THE TWO-WAY COMMUNICATION SYSTEM, INSTRUCTIONS FOR SUMMONING ASSISTANCE VIA THE TWO-WAY COMMUNICATION SYSTEM, AND WRITTEN IDENTIFICATION OF THE LOCATION SHALL BE POSTED ADJACENT TO THE TWO-WAY COMMUNICATION SYSTEM.

(3) THE TWO-WAY COMMUNICATION SYSTEM SHALL INCLUDE BOTH AUDIBLE AND VISUAL SIGNALS.

7.2.12.5 - THE AREA OF REFUGE SHALL BE PROVIDED WITH A TWO-WAY COMMUNICATION SYSTEM FOR COMMUNICATION BETWEEN THE AREA OF REFUGE AND A CENTRAL CONTROL POINT. THE DOOR OPENING TO THE STAIR ENCLOSURE OR THE ELEVATOR DOOR AND THE ASSOCIATED ELEVATOR OR ELEVATOR DOOR SERVES SHALL BE IDENTIFIED BY SIGNAGE. (SEE 7.2.12.5.)

7.2.12.6 - INSTRUCTIONS FOR SUMMONING ASSISTANCE, VIA THE TWO-WAY COMMUNICATION SYSTEM, AND WRITTEN IDENTIFICATION OF THE AREA OF REFUGE LOCATION SHALL BE POSTED ADJACENT TO THE TWO-WAY COMMUNICATION SYSTEM.

7.2.12.5 - EACH AREA OF REFUGE SHALL BE IDENTIFIED BY A SIGN THAT READS AS THE FOLLOWS: AREA OF REFUGE

7.2.12.5.1 - THE SIGN REQUIRED BY 7.2.12.5 SHALL CONFORM TO THE REQUIREMENTS OF ICC/ANSI A117.1, AMERICAN NATIONAL STANDARD FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, FOR SUCH SIGNAGE AND SHALL DISPLAY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS ALSO

(1) AT EACH DOOR OPENING PROVIDING ACCESS TO THE AREA OF REFUGE

(2) AT ALL EXITS NOT PROVIDING AN ACCESSIBLE MEANS OF EGRESS, AS DEFINED IN 3.3.17.1

(3) WHERE NECESSARY TO INDICATE CLEARLY THE DIRECTION TO AN AREA OF REFUGE

7.2.12.5.2 - SIGNS REQUIRED BY 7.2.12.5 SHALL BE ILLUMINATED AS REQUIRED FOR EXIT SIGNS WHERE EXIT SIGN ILLUMINATION IS REQUIRED.

7.2.12.6 - TACTILE SIGNAGE COMPLYING WITH ICC/ANSI A117.1, AMERICAN NATIONAL STANDARD FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, SHALL BE LOCATED AT EACH DOOR OPENING TO AN AREA OF REFUGE.

**EMERGENCY COMMUNICATION REQUIREMENTS**

THIS WORKER'S LOAD AND ADVANCED LEADERSHIP TEAM THE EMERGENCY RESPONDER RADIO COMMUNICATIONS SIGNAL IS BELOW ACCEPTABLE LEVELS AS DEFINED IN 7.2.12.5.1. AN ACCESSIBLE STORY THAT IS ONE OR MORE STORIES ABOVE OR BELOW A STORY OF EXIT DISCHARGE SHALL MEET THE FOLLOWING CRITERIA:

1. RADIO COVERAGE REQUIREMENTS: CRITICAL AREAS TO INCLUDE FIRE COMMAND CENTERS, FIRE PUMP ROOMS, EXIT STAIRS, EXIT PASSAGeways, ELEVATOR LOBBIES, AND OTHER AREAS IDENTIFIED AS CRITICAL BY THE AUTHORITY HAVING JURISDICTION, SHALL BE PROVIDED WITH 99% FLOOR AREA RADIO COVERAGE. GENERAL BUILDING AREAS SHALL BE PROVIDED WITH 95% FLOOR AREA RADIO COVERAGE.

2. SIGNAL STRENGTH REQUIREMENTS: MINIMUM INBOUND SIGNAL STRENGTH OF -95 dBm SHALL BE PROVIDED THROUGHOUT THE COVERAGE AREA WITH AN INBOUND SIGNAL LEVEL OF DAQ 3.0. MINIMUM OUTBOUND SIGNAL STRENGTH OF -95 dBm AT THE DONOR SITE SHALL BE PROVIDED FROM THE COVERAGE AREA WITH AN OUTBOUND SIGNAL LEVEL OF DAQ 3.0.

3. CONTRACTOR SHALL CLARIFY ALL SUCH REQUIREMENTS BY THE FIRE DEPARTMENT AND INCLUDE IN THE SCOPE OF WORK BEFORE COMMENCEMENT OF THE PROJECT.

ACCESSIBLE ROOM MATRIX			
ROOM TYPE	REQ'D COUNT	PROVIDED COUNT	REMARKS
KING ACCESSIBLE	5*	4	C.F. RM#120
DOUBLE QUEEN ACCESSIBLE		3	
• MINIMUM (1) OF EACH ROOM TYPE REQUIRED			
TOTAL	5*	7	

ROOM TYPE	REQ'D COUNT	PROVIDED COUNT	REMARKS
C.F. KING	4	RM#127, 208, 328, 429	
C.F. DOUBLE QUEEN	5	RM#123, 205, 218, 307, 423	
C.F. ACCESSIBLE KING	1	RM#120,	
TOTAL	9	10	(1) ADDED FOR 10% RULE

C.F. - DENOTES ROOMS THAT HAVE COMMUNICATING FEATURES. ONE (1) COMMUNICATION FEATURE ROOM THAT MUST ALSO BE ACCESSIBLE, BUT NO MORE THAN 10% OF ROOMS THAT COUNT TOWARDS THE REQUIRED C.F. TOTAL ROOM.

**CODE REVIEW- FLORIDA FIRE PREVENTION CODE FFPC 2017 6TH EDITION**

**USE & OCCUPANCY CLASSIFICATION**

**BUILDING :**  
GROUNDFLOOR : 11,430 SQ.FT.  
SECOND FLOOR : 11,237 SQ.FT.  
THIRD FLOOR : 11,237 SQ.FT.  
FOURTH FLOOR : 11,237 SQ.FT.  
**OCCUPANCY SEPARATION**  
NEW STANDALONE BUILDING ON PRIVATE PROPERTY

**RESIDENTIAL GROUP "R-1"  
HOTEL- 101: 6.1.8.3**

**PROJECT STATEMENT:**  
TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION FBC-10.4.4 AND CHAPTER 633, FLORIDA STATUTES.

**TYPE OF CONSTRUCTION**  
TYPE: "V" A-SPRINKLERED

**AUTOMATIC SPRINKLER SYSTEM**  
PROVIDED

**FIRE ALARM DETECTION SYSTEM**  
PROVIDED

**BUILDING HEIGHTS AND AREAS**  
MAXIMUM HEIGHT (TABLE 504.3) 70'-0" PROVIDED  
MAXIMUM NO. OF STOREYS (TABLE 504.4) 4 PROVIDED  
MAXIMUM BUILDING AREA (TABLE 506.2) 48,000 SQ.FT PROVIDED

**FIRE RESISTANCE RATINGS FOR BUILDING ELEMENTS**  
TABLE 601

STRUCTURAL FRAME	ALLOWED	PROVIDED
BEARING WALLS EXTERIOR	1 HR	1 HR
BEARING WALLS INTERIOR	1 HR	1 HR
EXTERIOR NON BEARING WALLS	0 HR	0 HR
INTERIOR NON BEARING WALLS	1 HR	1 HR
FLOOR CONSTRUCTION AND SECON. MEMBERS	1 HR	1 HR
ROOF CONSTRUCTION AND SECON. MEMBERS	1 HR	1 HR

**OCCUPANT LOADS**

FLOOR	FUNCTION	FLOOR AREA	DENSITY /SQ.FT	OCCUPANT LOAD
FIRST	RESIDENTIAL	11,430 SQ.FT.	200 GROSS	290
SECOND	RESIDENTIAL	11,237 SQ.FT.	200 GROSS	57
THIRD	RESIDENTIAL	11,237 SQ.FT.	200 GROSS	57
FOURTH	RESIDENTIAL	11,237 SQ.FT.	200 GROSS	57
TOTAL		45,147 SQ.FT.		461

**INTERIOR WALL AND CEILING FINISHES**  
20.8.3.2 FINISHES  
OCCUPANCY TYPE : RESIDENTIAL R-1 FIRE SPRINKLER PROTECTION : YES  
EXIT ENCLOSURES : TYPE "A"  
LOBBIES AND CORRIDORS : TYPE "B"  
OTHER SPACES : TYPE "C"

**INTERIOR FINISHES REQUIREMENTS**  
10.2.3.4.1 CLASS A INTERIOR WALL AND CEILING FINISH, CLASS A  
INTERIOR WALL AND CEILING FINISHES SHALL BE THOSE FINISHES WITH A FLAME SPREAD INDEX OF 0.25 AND A SMOKE DEVELOPED INDEX OF 0.450 AND SHALL INCLUDE ANY MATERIAL CLASSIFIED AT 25 OR LESS ON THE FLAME SPREAD INDEX TEST SCALE AND 450 OR LESS ON THE SMOKE DEVELOPED INDEX TEST SCALE.

10.2.3.4.2 CLASS B INTERIOR WALL AND CEILING FINISH, CLASS B  
INTERIOR WALL AND CEILING FINISHES SHALL BE THOSE FINISHES WITH A FLAME SPREAD INDEX OF 0.25 AND A SMOKE DEVELOPED INDEX OF 0.450 AND SHALL INCLUDE ANY MATERIAL CLASSIFIED AT MORE THAN 25 BUT NOT MORE THAN 75 ON THE FLAME SPREAD INDEX TEST SCALE AND 450 OR LESS ON THE SMOKE DEVELOPED INDEX TEST SCALE.

10.2.3.4.3 CLASS C INTERIOR WALL AND CEILING FINISH, CLASS C  
INTERIOR WALL AND CEILING FINISHES SHALL BE THOSE FINISHES WITH A FLAME SPREAD INDEX OF 76.200 AND A SMOKE DEVELOPED INDEX OF 4.500 AND SHALL INCLUDE ANY MATERIAL CLASSIFIED AT MORE THAN 75 BUT NOT MORE THAN 200 ON THE FLAME SPREAD INDEX TEST SCALE AND 450 OR LESS ON THE SMOKE DEVELOPED INDEX TEST SCALE.

TC TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND CHAPTER 633, FLORIDA STATUTES, INCLUDING THE FLORIDA FIRE PREVENTION CODE 2017 EDITION, NFPA-1 FIRE CODE 2018 EDITION AND NFPA 101 LIFE SAFETY CODE 2018 EDITION.

**MEANS OF EGRESS**

EXIT ACCESS	EXIT WIDTH	COMMON PATH	NO. OF EXITS
28.2.6 200' TRAVEL DISTANCE 118' PROVIDED	28.2.5.2 REQUIRED : 290 x 0.2 = 58' PROVIDED : 204'	50' TRAVEL DISTANCE 50' DEAD END DISTANCE-29.2.5.3.1	5 EXITS

**OCUPANT LOAD AT THIS LEVEL**

R-1 OCUPANT LOAD	R-2 OCUPANT LOAD	A-2 OCUPANT LOAD	TOTAL OCUPANT LOAD
7,660 SQ.FT./200 = 38 PERSONS		3,770 SQ.FT./15 = 252 PERSONS	290 PERSONS

- LIFE SAFETY PLAN NOTES :**
- THE CONTRACTOR SHALL PROVIDE AND INSTALL (1) 10LB ABC TPE UL LISTED FIRE EXTINGUISHER 1 PER 75'-0" OF PATH OF TRAVEL OR 200' S.F. LOCATION AS DEPICTED ON THE PLANS AND APPROVED BY FIRE MARSHALL PRIOR TO INSTALLATION.
  - TACTILE EXIT SIGNS SHALL BE PROVIDED AS PER NFPA 101 7.10.13
  - CLASSIFICATION OF HAZARD IS ORDINARY HAZARD, UNLESS OTHERWISE NOTED ON PLANS.
  - TURENURE SHOWN ON PLANS IS FOR EGRESS INFORMATION ONLY. ACTUAL SIZES IS AS SELECTED BY OWNER.
  - ALL FIRE AND/OR SMOKE PARTITION WALLS MUST BE IDENTIFIED ABOVE ALL CEILINGS AND IN CONCEALED SPACES BY STENCILED SIGN READING : FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS.
  - HEADROOM IN ALL MEANS OF EGRESS SHALL BE A MINIMUM 7'-6" WITH PROJECTIONS NOT LESS THAN 6'-8".
  - ABRUPT CHANGES IN ELEVATION OF WALKING SURFACES SHALL NOT EXCEED 1/4". CHANGES IN ELEVATION BETWEEN 1/4" AND 1/2" SHALL BE LEVELLED 1 TO 2
  - ANY DOOR IN THE MEANS OF EGRESS SHALL MEET THE REQUIREMENTS UNDER NFPA 101 SECTION 7.2.1. DOOR SHALL BE ARRANGED TO BE OPENED READILY FROM THE EGRESS SIDE WHENEVER THE BUILDING IS OCCUPIED. LOCKS, IF PROVIDED SHALL NOT REQUIRE THE USE OF A KEY, A TOOL, OR SPECIAL KNOWLEDGE OR EFFORT FOR THE OPERATION FROM THE EGRESS SIDE PER NFPA 101 (7.2.1.5).
  - MEANS OF EGRESS SHALL NOT BE PERMITTED THOUGH KITCHENS, STOREROOMS, RESTROOMS, CLOSETS, OR HAZARDOUS AREAS NFPA 101 (12.2.5.2).
  - COORDINATE WITH OWNER/TENANT FOR EXACT LOCATION OF FURNITURE AND OUTLETS.
  - REFER TO ELECTRICAL DRAWINGS FOR EXIT SIGNAGE AND EMERGENCY LIGHTING INFORMATION.
  - BUILDING SHALL MEET MINIMUM RADIO SIGNAL STRENGTH FOR FIRE DEPARTMENT COMMUNICATION AS PER NFPA 11.10

LS-1

GROUND FLR LIFE SAFETY PLAN  
TRU BY HILTON FOR  
OMSHIV JAX LLC

4945 LENIOR AVENUE,  
JACKSONVILLE FL, 32216

DRAWN BY BPR  
PROJECT NO 2020-28  
DATE 11.25.2020  
SCALE AS-SHOWN

PERMIT SET





