

# BROOKFIELD- BAREFOOT LAKES BUILDER'S PLAN SET

PLAN 4456

OCTOBER 28<sup>TH</sup>, 2024

CONCEPTUAL RENDERING



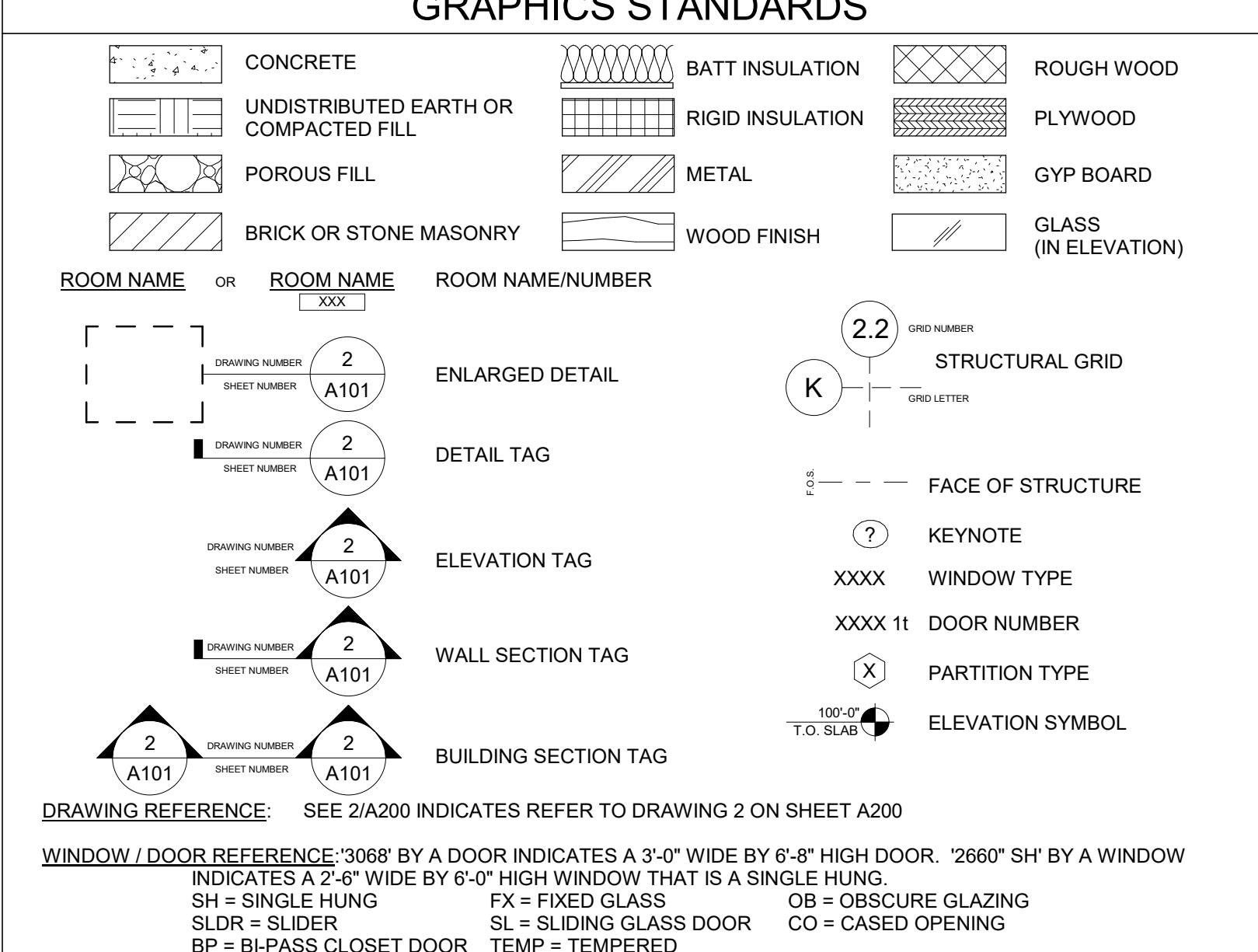
## ABBREVIATIONS

ACOUST	acoustic(al)	MAS	masonry
ACT	acoustic ceiling tile	MAX	maximum
ADJ	adjacent	MBR	member
AFF	above finish floor	MECH	mechanic(al)
ALT	alternate	MF/G(R)	manufacture(r)d
ALUM	aluminum	MH	manhole
APPROX	approximate	MIN	minimum
ARCH	architect(al)	MISC	miscellaneous
ASPH	asphalt	MLD	molding/moulding
BD	board	MPTN	movable partition system
BITUM	biluminous	MS	metal stud
BK	brick	MTD	mount(ed)
BLDG	building	MTG	meeting
BLKG	block	MATL	material(s)
BM	blocking	MTL	metal
BO	beam	N/A	not applicable
BOT	by others	NTS	not to scale
BRG	bottom	NIC	not in contract
BSMT	bearing	NO	number
BTWN	basement	/	over
	between	OC	on center(s)
C/PV	concrete pavers	OCL	occupant load
CAB	cabinet	OD	outside diameter
CHNL	channel	OFF	office
CJ	control joint	OH	overhang
CLG	ceiling	OPNG	opening
CL	centerline	OPP	opposite
CLR	clear(ance)	OVHD	overhead
CMU	concrete masonry unit	PARTBD	particle board
COL	column	PC	precast
CONN	concrete	PC/TL	porcelain ceramic tile
CONST	connection	PERP	perpendicular
CONT	continuous	PFAB	prefabricate(d)
COORD	coordinate/coordination	PL	plate
CPT	carpet	PL	property line
CT	ceramic tile	PLAM	plastic laminate
CTSK	countersink	PLUMB	plumbing
CUFT	cubic foot	PLYWD	plywood
DBL	double	PR	pair
DEPT	department	PT	point/point
DF	drinking fountain	PTN	partition
DIA	diameter	QT	quarry tile
DIAG	diagonal	QTR	quarter
DIM	dimension	R	radius
DO	drywall opening	RB	rubber base
DN	down	RE	reference
DR	drain/door	REC	recommend(ations)
DS	downspout	REINF	reinforced(ing)
DTL	detail	RQD	required
DWG(S)	drawing(s)	RET	retaining
EA	each	RT	roofing
EIFS	exterior insulation finish system	RM	room
EJ	expansion joint	RO	rough opening
ELEC	electrical	ROW	right of way
ELEV/EL	elevation	RT	rubber tile
ENCL	enclosure	RTG	rating
ENGR	engineer(ed)	S4S	sawn four sides
EQ	equal	SAP	suspended acoustical panel
EQUIP	equipment	SAT	suspended acoustical tile
EXH	exhaust	SC	solid core
EXP	expansion	SCHED	schedule
EXPSD	exposed	SEC	section
EXIST	existing	SF	square foot/feet
EXT	exterior	SHT	sheet
FBGL	fiberglass	SIM	similar
FC	fiber cement	SPDRL	spandrel
FCU	fan coil unit	SPEC	specification(s)
FD	floor drain	SO	square
FDN	foundation	SS	stainless steel
FF	finish floor	STA	station
FGRG	fiberglass-reinforced gypsum	STD	standard
FIN	finished(ed)	ST/PT	stone pavers
FIXT	fixture	ST/L	stone tiles
FLR	floor(ing)	STL	steel
FO	face of	STN	stain
F.O.S.	face of structure	STOR	storage
FR	fire resistive	STRUCT	structural
FRR	fire resistive rating	SUPPL	supplied(er)
FRMG	frame(ing)	SUSP	suspended
FRP	fiber-reinforced plastic	SYM	symmetrical
FT	foot/feet	SYST	system
FTG	footing		
FUT	future		
FWC	fabric wall covering		
GA	gage/gauge	T	tread
GAL	gallon	T&B	top and bottom
GALV	galvanized	T&G	tongue and groove
GC	general contractor	TO	top of
GCT	glazed ceramic tile	TEL	telephone
GEN	general	TEMP	tapered
GL	glass/glazing	THK	thickness
GYP BD	gypsum board	THLD	threshold
HDWD	hardwood	TS	tube steel
HB	hose bib	TV	television
HC	handicapped	TYP	typical
HDBD	hollow core	UNF	unfinished
HDR	hardboard	UNO	unless noted otherwise
HORIZ	header	UNON	unless otherwise noted
HT	horizontal		
HTG	height		
HTR	heating		
ID	inside diameter	VAR	varies
INCL	include(d)ing)	VCT	vinyl composition tile
INSUL	insulate(d)ion	WEST	vestibule
INT	interior/intermediate	VIF	verify in field
		VVC	vinyl wall covering
JST(s)	joists	W	wide flange beam
JT(s)	joint(s)	w	with
KIT	kitchen	w/o	without
LAM	laminated	WC	water closet
LAT	lateral	WD	wood
LAV	lavatory	WH	water heater
LF	linear feet	WSCT	wainscot
LOC	location	WT	weight
LT	light	WWF	welded wire fabric
LTWT	light weight	WWM	welded wire mesh
LVF	luxury vinyl flooring		

## GENERAL NOTES

- Contractor shall be governed by the currently adopted edition of all codes and regulations having jurisdiction over aspects of this construction project.
- Written dimensions and existing conditions shall be verified in the field by the Contractor and/or their Sub-Contractors. Do not scale drawings. If further clarification is required, contact Architect and provide them with field dimensions as required to assist with clarification.
- Any unsatisfactory or questionable conditions or discrepancy in dimensions and/or drawings and/or field measurements shall be brought to the attention of the Architect prior to the commencement of any work.
- These drawings and specifications are the property and copyright of the Architect and shall not be used on any other work except by agreement with the Architect.
- Duty of Cooperation: Release of these plans anticipates further cooperation among the Owner, Contractor, and Architect. Although the Architect and consultants have performed their services with due care and diligence, they cannot guarantee perfection. Any ambiguity or discrepancy discovered shall be reported immediately to the Architect. Failure to cooperate by a simple notice to the Architect shall not relieve the Contractor from responsibility for all consequences. Changes from the plans made by the GC without the consent of the Architect are unauthorized, and shall relieve the Architect of responsibility for all consequences arriving out of such changes.
- "Builder's Plans": The Contractor warrants to the Architect that they possess the particular competence and skill in construction necessary to build this project without full engineering and architectural services, and, for the reason that the Contractor wishes to rely upon their own competence, the Contractor or Owner has restricted the Architect's scope of professional services. The construction documents provided by the limited services shall be termed "Builder's Plans" in recognition of the Contractor's sophistication. Construction will require that the Contractor adapt the "Builder's Plans" to the field conditions encountered and make logical adjustments in fit, form, dimension, and quantity that are treated only generally by the "Builder's Plans". In the event additional detail or guidance is needed by the Contractor or Owner for construction of an aspect of the project, they shall immediately notify the Architect. Failure to give a simple notice shall relieve the Architect of responsibility for the consequences.
- The contractor shall provide the original occupant with a list of the heating, cooling, water heating, and lighting systems and conservation or solar devices installed in the building and instructions on how to use and maintain them efficiently. All warranties of all materials and equipment are to be delivered to the original occupant at completion of construction.
- The details shown are intended to further illustrate the visual design concept and the minimum weather protection for this project. The general contractor shall incorporate the requirements of the local building codes, structural considerations, trade association manuals, publications and recommendations, and the manufacturer's written instructions for complete construction of details. All possible field conditions which may be encountered are not necessarily described. Field conditions encountered which require clarification shall be brought to the Architect's attention.
- Mechanical ventilation for toilet compartment, bathrooms, and laundry rooms shall be capable of providing the required ventilation per IRC - 2018
- Exhaust vent for clothes dryer to be vented to the outside. The duct is to be smooth metal and have a backdraft damper. The duct shall be provided with an in-line blower capable of discharging to the exterior, if required.
- Vent all exhaust fans to exterior. Provide rain caps and flashing as required.
- Center water closets in the space provided, or in location indicated. Maintain a minimum of 15" from vertical spaces.

## GRAPHICS STANDARDS



## FOLK AND PLAINS STYLE

FIRST FLOOR	1513 SF
SECOND FLOOR	1515 SF
TOTAL	3028 SF

## GABLE STYLE

FIRST FLOOR	1513 SF
SECOND FLOOR	1537 SF
TOTAL	3050 SF

## ALL STYLES

GARAGE AND PORCHES	
3-CAR GARAGE	642 SF
REAR PORCH	217 SF
FRONT PORCH	122 SF
TOTAL	981 SF

STANDARD BASEMENT PLAN	
FINISHED BASEMENT	18 SF
STANDARD UNFINISHED BASEMENT	1006 SF
CRAWL SPACE	280 SF
TOTAL	1303 SF

OPTIONAL FULL BASEMENT PLAN	
FINISHED BASEMENT	18 SF
OPTIONAL FULL UNFINISHED BASEMENT	1285 SF
TOTAL	1303 SF

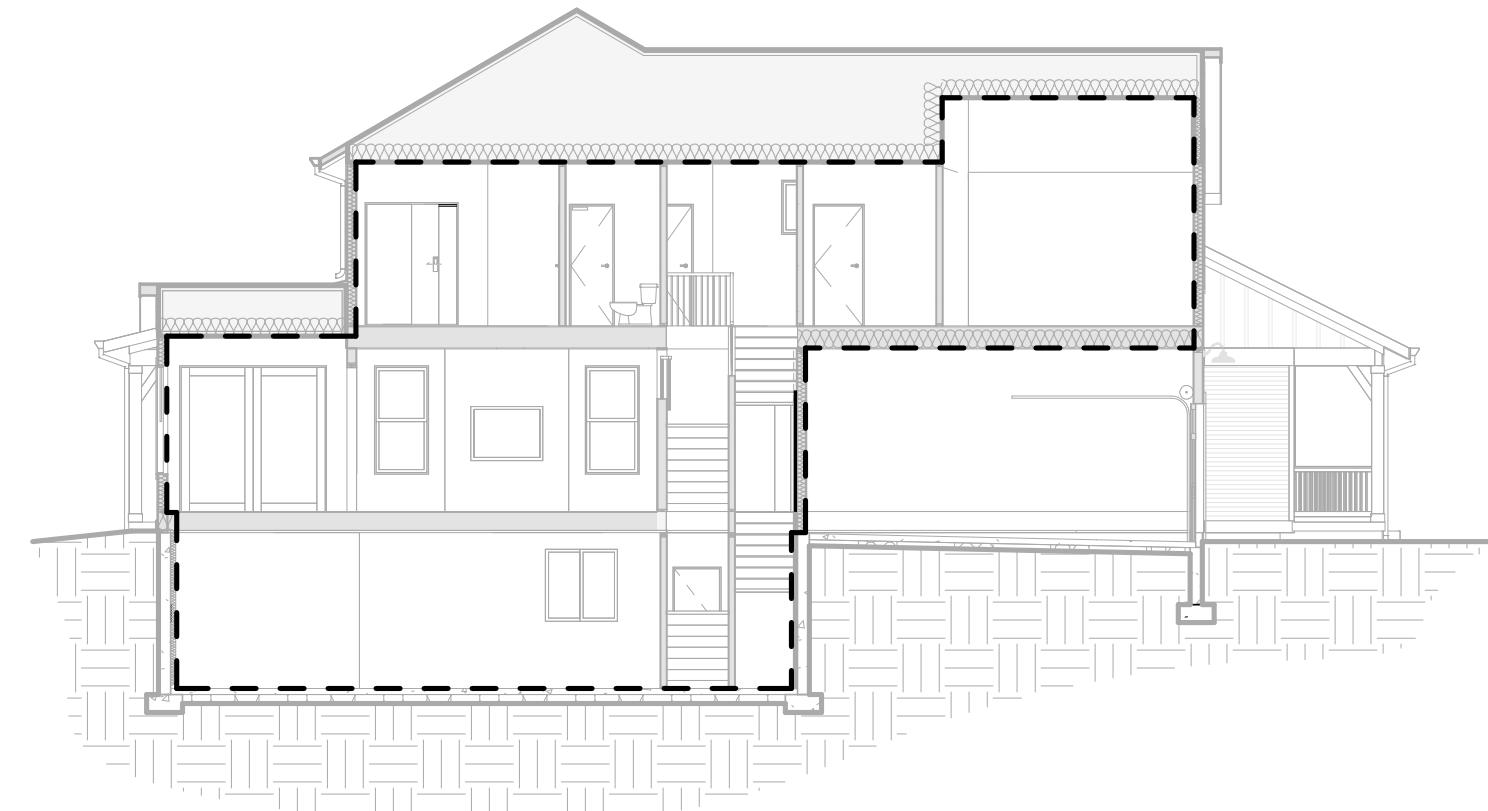
SQUARE FOOTAGE SUMMARY	
RULES OF MEASUREMENT:	
First Floor is calculated from exterior face of stud & includes stairs and excludes openings to below.	
Second Floor is calculated from exterior face of stud & excludes stairs and opening to below	
FOLK AND PLAINS STYLE	
GABLE STYLE	
ALL STYLES	
GARAGE AND PORCHES	
STANDARD BASEMENT PLAN	
OPTIONAL FULL BASEMENT PLAN	

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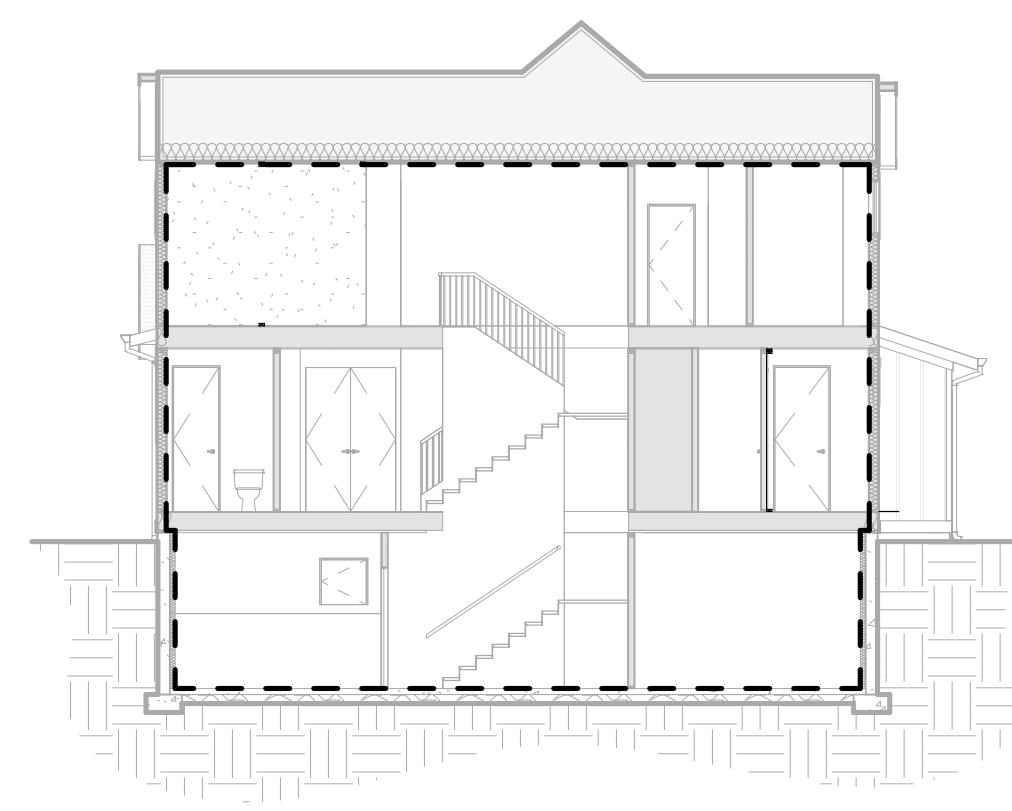
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**BAREFOOT LAKES**  
BROOKFIELD RESIDENTIAL

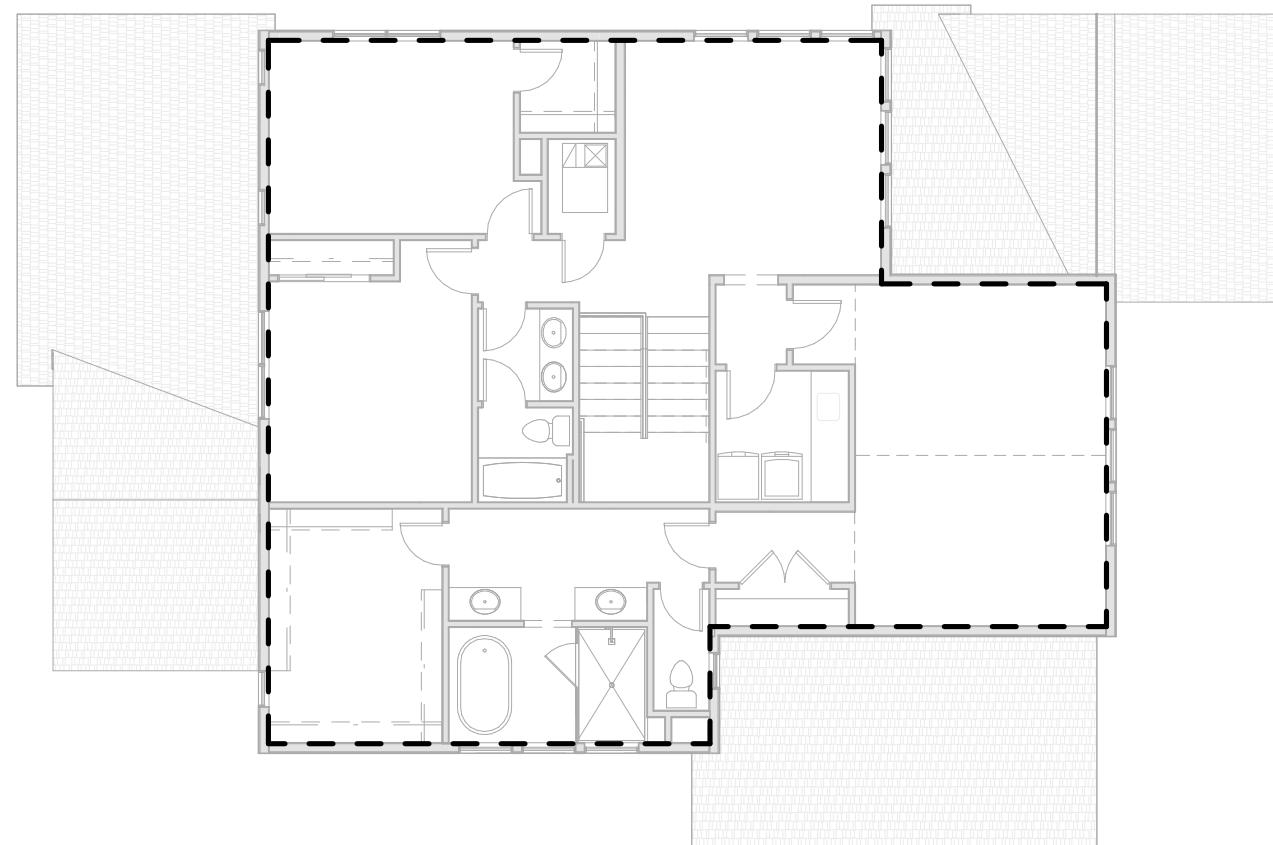
PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET  
TOWN OF FIRESTONE, CO



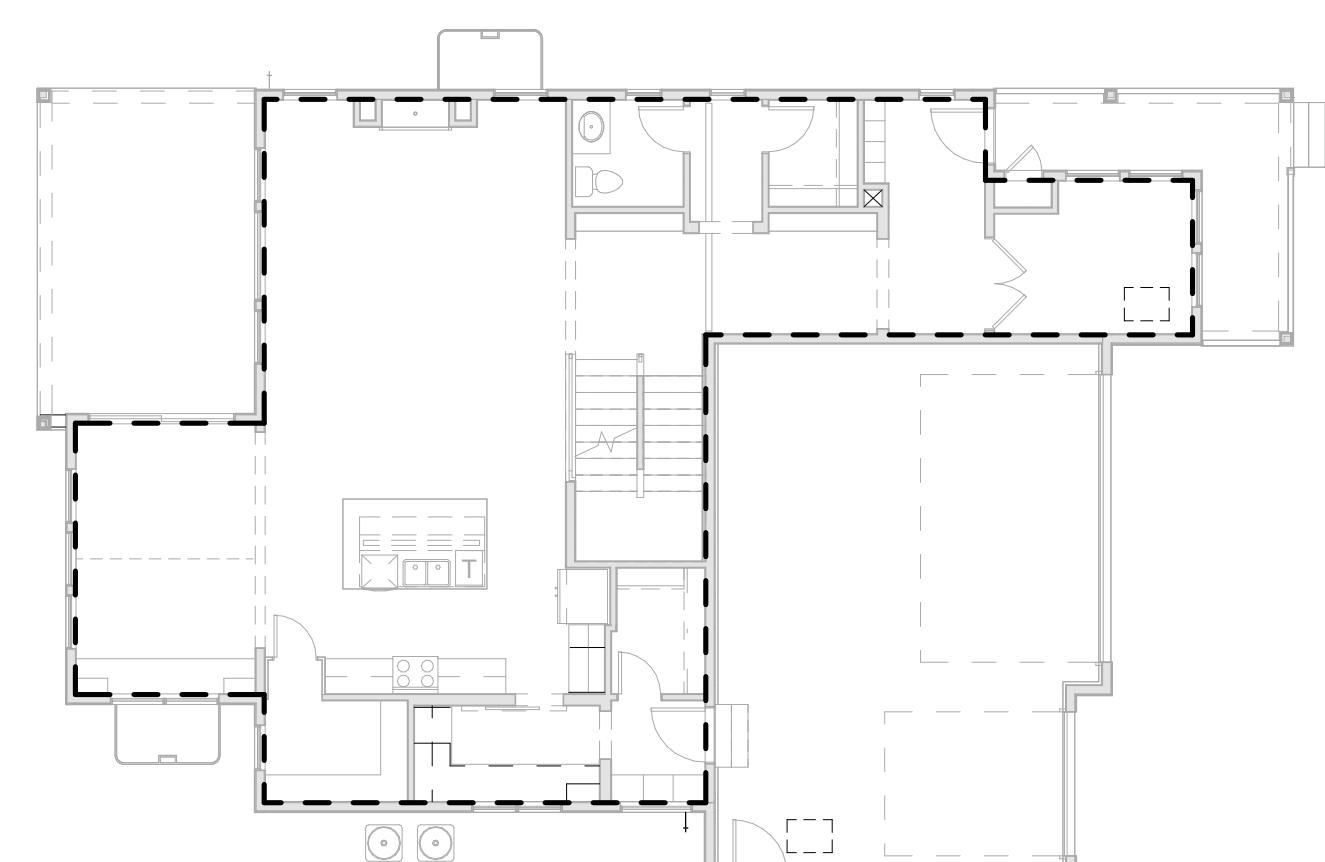
**BUILDING SECTION 1**  
A010A



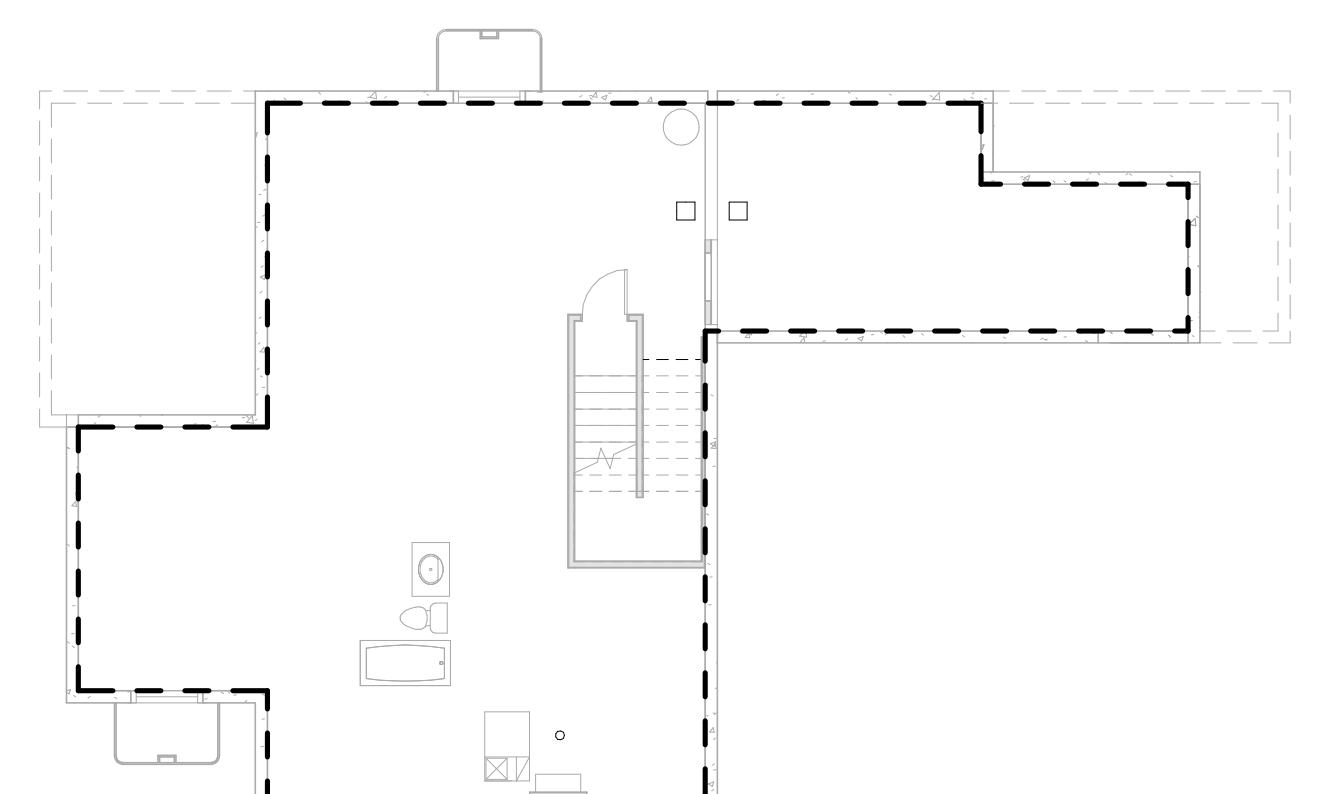
**BUILDING SECTION 2**  
A010A



**SECOND FLOOR PLAN**  
A010A



**FIRST FLOOR PLAN**  
A010A



**STANDARD PARTIAL BASEMENT PLAN**  
A010A

DRAWN BY: JK, JM  
CHECKED BY: OL  
PROJECT NO: 2024023.20  
ISSUE DATE: 10/28/2024  
REVISIONS:

ENERGY CODE  
COMPLIANCE

SHEET  
NUMBER:  
**A010A**

**BAREFOOT LAKES**  
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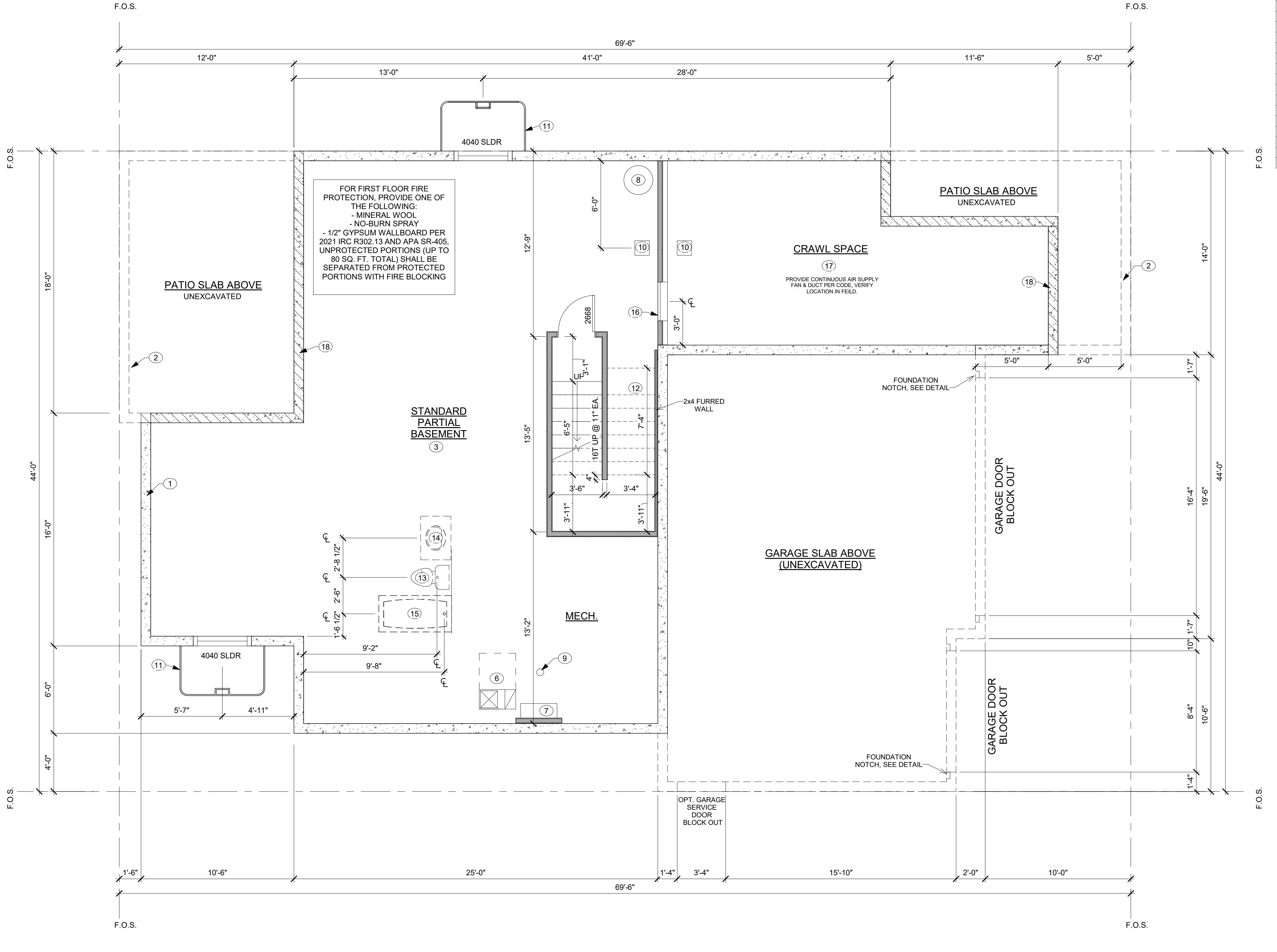
PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET  
TOWN OF FIRESTONE, CO

PLAN NOTES

- ALL DIMENSIONS INDICATED ARE TO FACE OF FRAMING OR STRUCTURE, UNO.
- REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION AND CONCRETE SLAB SPECIFICATIONS.
- EXTENTS OF CONCRETE FOUNDATION WALLS WILL VARY PER INDIVIDUAL SITE GRADING. REFER TO SITE SPECIFIC FOUNDATION PLANS.
- ALL WINDOW DIMENSIONS ARE SHOWN TO CENTERLINE OF ROUGH OPENING.
- ALL INTERIOR PARTITIONS TO BE 2X4, UNO.
- ALL EXTERIOR WALLS TO BE 2X6, UNO.

BASEMENT KEYNOTES

1	CONCRETE FOUNDATION WALLS, PER STRUCTURAL PLANS
2	LINE OF FOUNDATION/GRADE BEAM ABOVE, PER STRUCTURAL PLANS
3	CONCRETE SLAB, PER STRUCTURAL PLANS
4	LINE OF FRAMING ABOVE
5	WALL FURRING W/ INSULATION
6	FURNACE, COORDINATE W/ MECHANICAL
7	WATER HEATER, COORDINATE W/ MECHANICAL
8	SUMP PIT & ELECTRIC PUMP, VERIFY W/ SITE SUPERINTENDENT
9	FLOOR DRAIN
10	RADON MITIGATION SYSTEM, BY OTHER
11	<varies>
12	UNDER-STAIR PROTECTION PER IRC - R302.7
13	WATER CLOSET ROUGH IN
14	LAVATORY/SINK ROUGH IN, PER BUILDER SPEC.
15	SHOWER/TUB COMBO ROUGH-IN, PER BUILDER SPEC.
16	30"X30" CRAWL SPACE ACCESS PANEL, PER BUILDER SPEC
17	10 MIL VAPOR BARRIER
18	RAISED FOUNDATION WALL AT PORCH AND PATIO, SEE DETAIL



DRAWN BY: JK, JM  
CHECKED BY: OL  
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STANDARD  
BASEMENT PLAN

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NUMBER:

A100A

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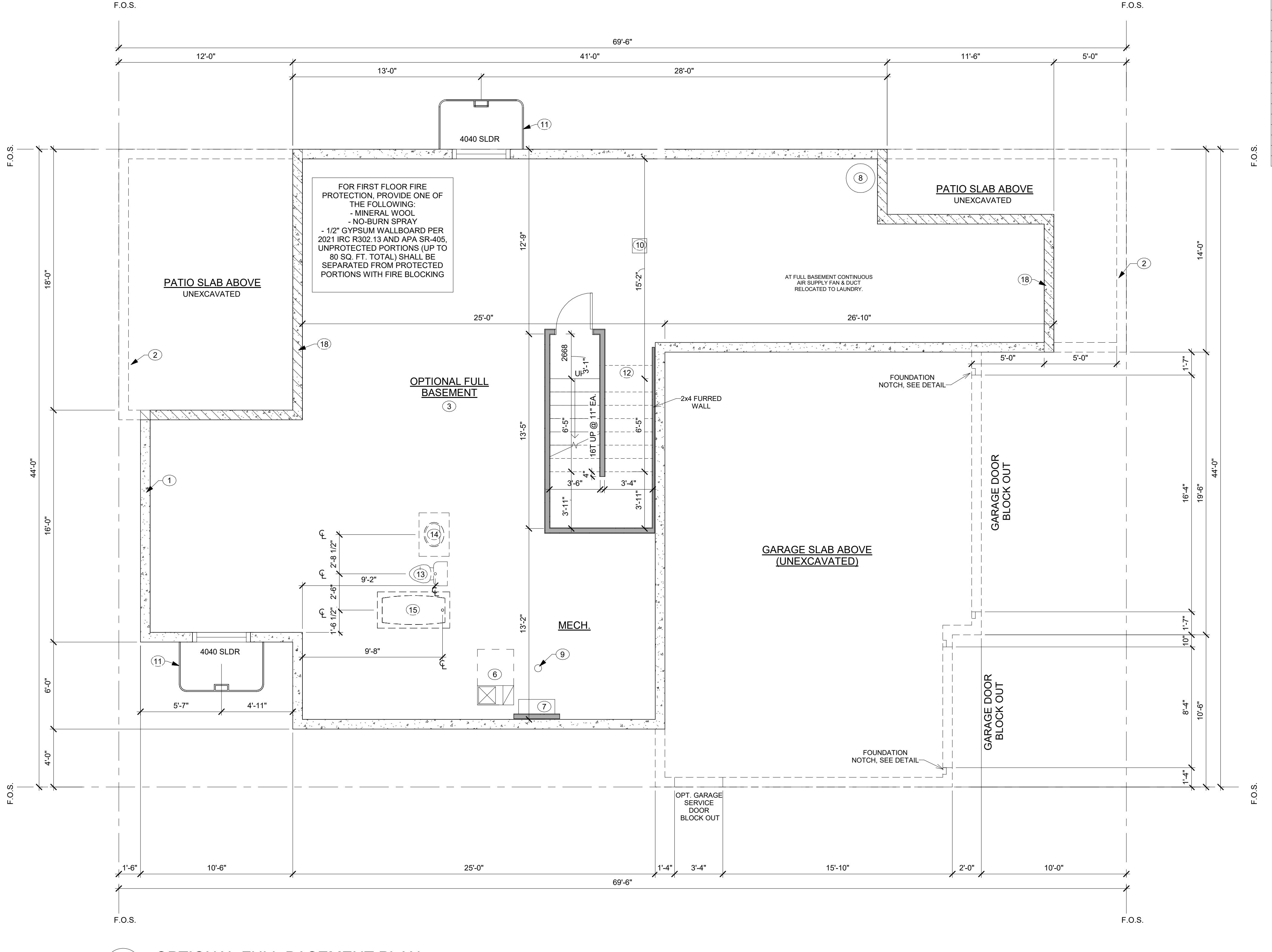
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1  
A101A

OPTIONAL FULL BASEMENT PLAN

SCALE: 1/4" = 1'-0"

DRAWN BY: JK, JM  
CHECKED BY: OL  
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REVISIONS:

OPTIONAL FULL BASEMENT PLAN

SHEET NUMBER:

A101A

## BAREFOOT LAKES

BROOKFIELD RESIDENTIAL

PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET

TOWN OF FIRESTONE, CO

### PLAN NOTES

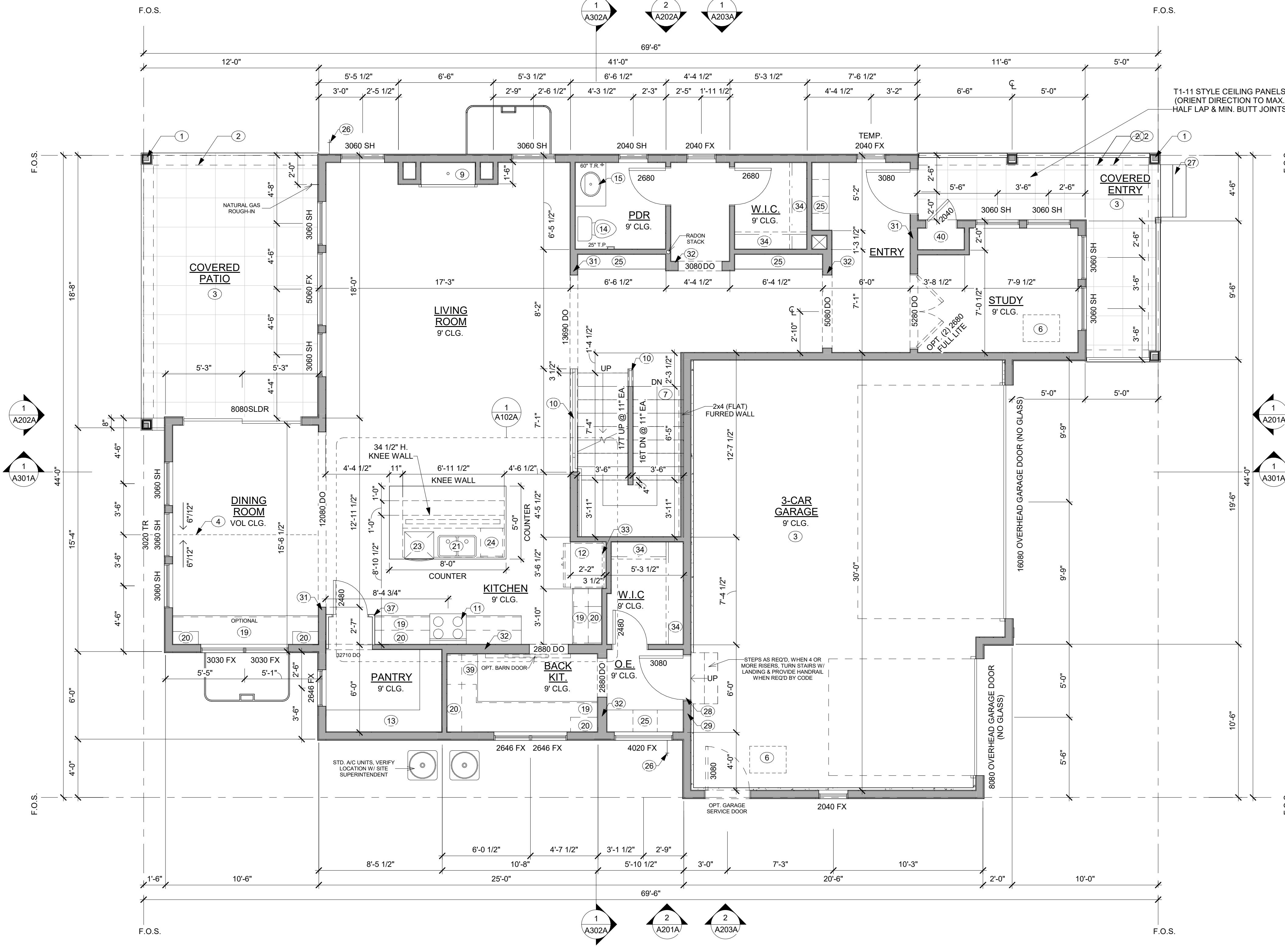
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### PLAN KEYNOTES

1	COLUMN, PER STRUCTURAL PLANS
2	LINE OF FUX BEAMS ABOVE, PER BUILDING SPEC.
3	CONCRETE SLAB, PER STRUCTURAL PLANS
4	SOFFIT OR LINE OF CEILING PLAN CHANGE ABOVE
5	LINE OF WALL ABOVE
6	ATTIC ACCESS HATCH ABOVE, MECH PLenum
7	UNDER-STAIR PROTECTION PER IRC - R302.7
8	FURNACE, COORDINATE W/ MECHANICAL
9	GAS FIREPLACE, PER BUILDER SPEC.
10	RAILING, PER BUILDER SPEC.
11	30" RANGE W/ MICRO ABOVE, PER BUILDER SPEC
12	REFRIGERATOR, PER BUILDING SPEC
13	5 SHELVES U.N.O., 16" DEPTH @ 16", 29", 43", 55" & 68" HEIGHT, VERIFY IN FIELD
14	WATER CLOSET, PER BUILDER SPEC.
15	LAVATORY/SINK, PER BUILDER SPEC.
16	30"X60" TUB, PER BUILDER SPEC
17	36"X66" FREE STANDING TUB, PER BUILDER SPEC.
18	SHOWER W/ TEMPERED GLASS ENCLOSURE, PER BUILDER SPEC. W/ SEAT 18" DEEP AND 18" HIGH
19	COUNTER & BASE CABINETS, PER BUILDER SPEC.
20	UPPER CABINETS, PROVIDE WALL BLOCKING, PER BUILDER SPEC
21	DOUBLE BASIN SINK
22	OPTIONAL 18" UTILITY SINK
23	24" DISHWASHER
24	18" PULL OUT TRASH, COORD. W/ CABINET MANUFACTURERS
25	OPT. BUILT-IN CASEWORK, PER BUILDER SPEC.
26	HOSE BIBB, VERIFY LOCATION W/ BUILDER
27	STEPS MAY VERY PER GRADE, FIELD VERIFY
28	DWELLING/GARAGE OPENING PROTECTION PER IRC-302.5.1 SEALED, 20 MIN FIRE RATED DOOR, SELF CLOSING
29	DWELLING/GARAGE FIRE SEPARATION PER IRC-302.6
30	CABINET END PANEL
31	2X6 WALL
32	DOUBLE 2X4 WALL
33	PROVIDE FRAMING ABOVE FRIDGE NICHE TO INSTALL UPPER CABINETS +2"
34	1 ROD AND 1 SHELF, PER BUILDER SPEC.
35	2 ROD AND 2 SHELF, PER BUILDER SPEC.
36	HALF WALL W/CAP AT STAIRS, OPTIONAL RAILING
37	CABINETRY (HIDDEN PANTRY DOOR)
38	18"X12" SHOWER SHAMPOO NICHE
39	24" UNDERCOUNTERTOP CLEAR SPACE
40	PACKAGE DROP-OFF WALL INSERT, PER BUILDING SPEC.
41	FLOOR DRAIN
42	NOTE: DRYER ALWAYS TO THE RIGHT OF WASHER

OPTIONAL GOURMET KITCHEN  
A102A

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN  
A102A

SCALE: 1/4" = 1'-0"

DRAWN BY: JK, JM  
CHECKED BY: OL  
PROJECT NO: 2024023.20  
ISSUE DATE: 10/28/2024  
REVISIONS:

FIRST FLOOR PLAN

SHEET NUMBER:

A102A

## BAREFOOT LAKES

BROOKFIELD RESIDENTIAL

PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET

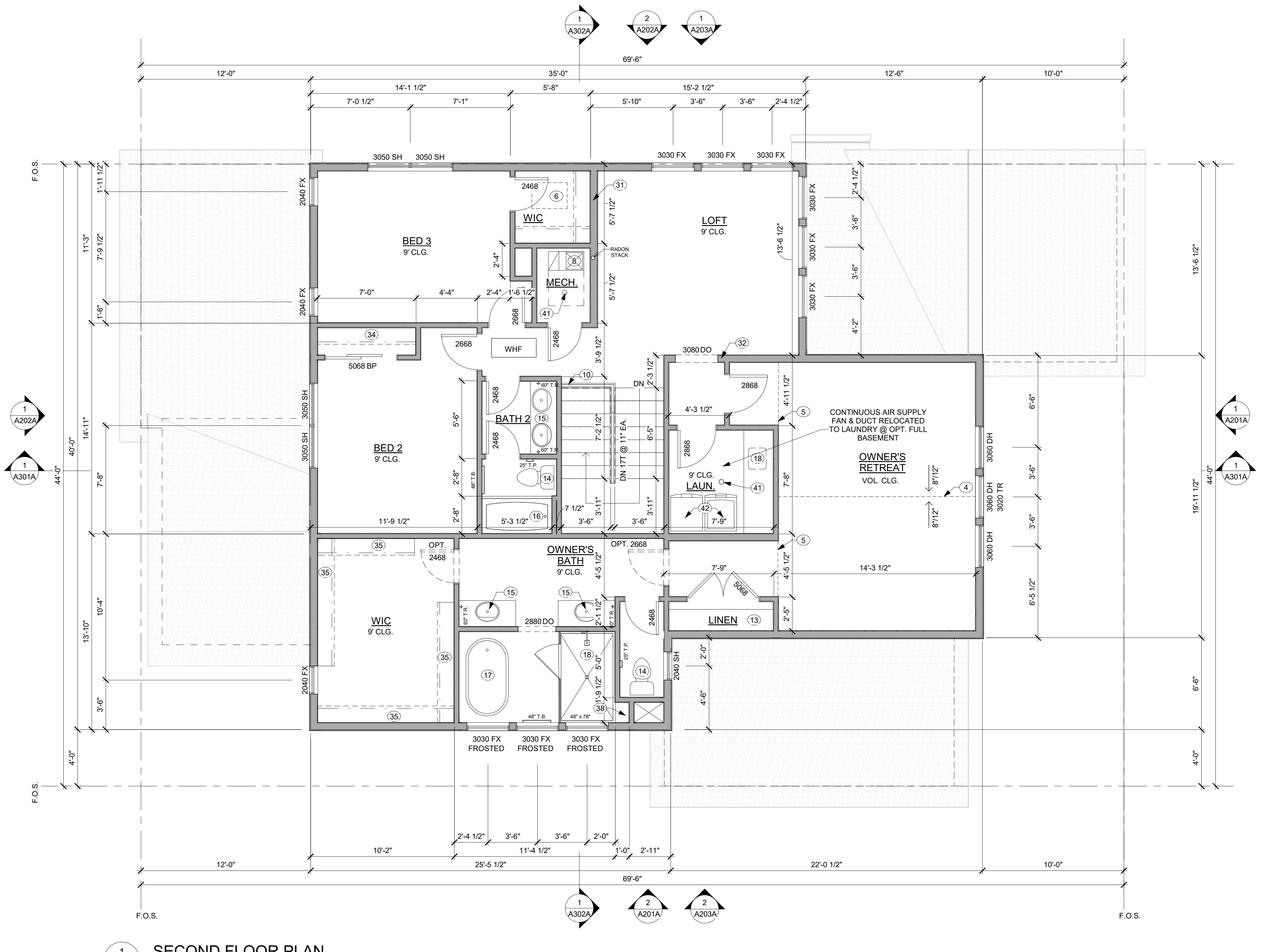
TOWN OF FIRESTONE, CO

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- DWELLING/GARAGE FIRE SEPARATION PER IRC-302.6
- CABINET END PANEL
- 2X6 WALL
- DOUBLE 2X4 WALL
- PROVIDE FRAMING ABOVE FRIDGE NICHE TO INSTALL UPPER CABINETS +7"
- 1 ROD AND 1 SHELF, PER BUILDER SPEC.
- 2 ROD AND 2 SHELF, PER BUILDER SPEC.
- HALF WALL W/CAP AT STAIRS, OPTIONAL RAILING
- CABINETRY (HIDDEN PANTRY DOOR)
- 18"X12" SHOWER SHAMPOO NICHE
- 24" UNDERCOUNTERTOP CLEAR SPACE
- PACKAGE DROP-OFF WALL INSERT, PER BUILDING SPEC.
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- NOTE: DRYER ALWAYS TO THE RIGHT OF WASHER



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CHECKED BY: OL  
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REVISIONS:

SECOND FLOOR  
PLAN

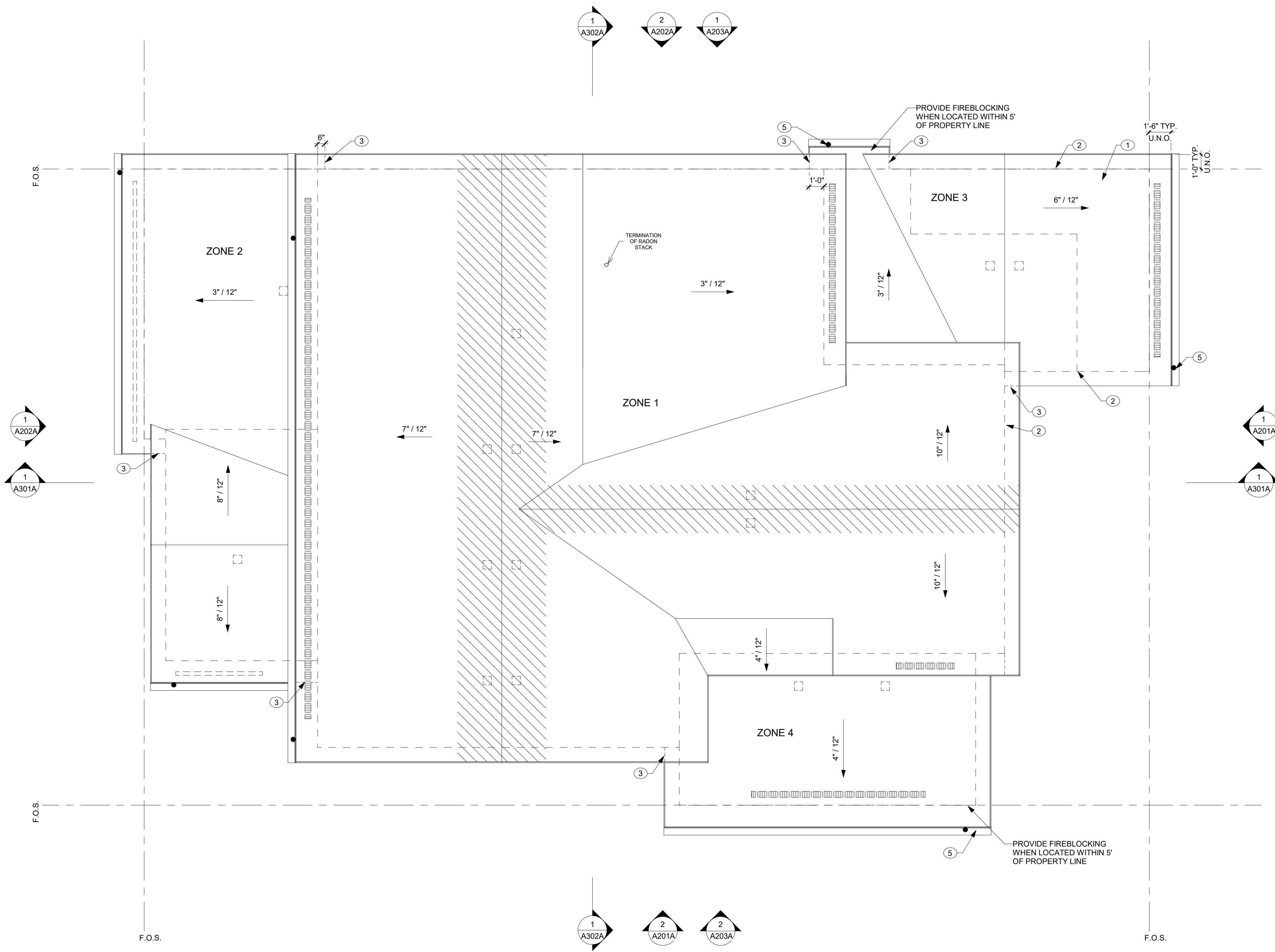
SHEET  
NUMBER:

A103A

## BAREFOOT LAKES

### BROOKFIELD RESIDENTIAL

PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET  
TOWN OF FIRESTONE, CO



1 A104A ROOF PLAN

SCALE: 1/4" = 1'-0"

#### ROOF NOTES

- ALL DIMENSIONS INDICATED ARE TO FACE OF FRAMING OR STRUCTURE, UNO.
- ELEVATION DRAWINGS DEPICT DESIGN INTENT ONLY. SEE STRUCTURAL DRAWINGS FOR ROOF FRAMING PLANS AND TRUSS INFORMATION.
- GRADE LINES INDICATED ARE APPROXIMATE. BUILDER TO COORDINATE SITE SPECIFIC GRADING AT EACH LOT. PROVIDE POSITIVE SLOPE GRADING AWAY FROM STRUCTURE.
- PROVIDE SELF-ADHERING WATERPROOF MEMBRANE UNDERLayment AT ROOF PERIMETER AND EXTEND 5'-0" FROM THE EAVE EDGE.
- ALL ROOF PENETRATIONS SHALL BE FLASHED AND SEALED PER MFR'S RECOMMENDATIONS.
- VERIFY ALL GUTTER AND DOWNSPOUT LOCATIONS IN THE FIELD WITH BUILDER. DOWNSPOUTS SHOULD BE PROVIDED EVERY 25'-30 FEET MAX. AND AT LEAST (1) PER SIDE OF GUTTER. OUTLET TO SPLASH BLOCKS OR CONNECT TO SOLID SUBSURFACE PIPING.
- AT SLOPES LESS THAN 4:12, PROVIDE UNDERLayment PER MFR'S LOW SLOPE SPECIFICATIONS.
- IF SOLAR IS TO BE IMPLEMENTED, ENSURE THAT ALL SUPPORT PENETRATIONS ARE PROPERLY FLASHED INTO THE ROOF UNDERLayment AND SHINGLE LAYERS. HOLD THEM AWAY FROM THE EDGE FOR SAFE MAINTENANCE ACCESS.
- PROTECT LOWER ROOF AT DOWNSPOUT OUTLET WITH A SPLASH PAN.
- PROVIDE FIRE RATED PROTECTION AT RAKES & EAVES WHERE REQUIRED BY CODE.
- 12 INCH HEEL TYPICAL AT LOWEST SLOPED ROOF. TRUSS DESIGNER TO ADJUST ADJACENT HEEL HEIGHTS (AT STEEPER PITCHED ROOFS) TO ALIGN TOP OF FASCIA BOARD.

#### BUILDING HEIGHT COMPLIANCE

	ROOF AREA OVER 28', AND BELOW 38' (30% MAX.)
13.1%	364 SF 2770 SF (TOTAL ROOF AREA)

#### ROOF VENT CALCS

ZONE	AREA	MIN. NFVA (1/300)	PROPOSED HIGH (LF) / NFVA	PROPOSED LOW (LF) / NFVA
ZONE 1	1841 SF	870 in <sup>2</sup>	(9) 450 in <sup>2</sup>	*(51) 459 in <sup>2</sup>
ZONE 2	461 SF	222 in <sup>2</sup>	(2) 100 in <sup>2</sup>	(24) 120 in <sup>2</sup>
ZONE 3	369 SF	177 in <sup>2</sup>	(2) 100 in <sup>2</sup>	*(12) 108 in <sup>2</sup>
ZONE 4	275 SF	132 in <sup>2</sup>	(2) 100 in <sup>2</sup>	*(12) 108 in <sup>2</sup>

HIGH - HAT VENTS NFVA = 50 in<sup>2</sup>.  
NOTE: INSTALL PER MANUFACTURER SPECIFICATION.

LOW - VENTED SOFFIT BOARD, NFVA = 5 in<sup>2</sup>.  
NOTE: INSTALL PER MANUFACTURER SPECIFICATION.

\* LOW - LINEAR SHINGLE VENT, NFVA = 9 in<sup>2</sup>.  
NOTE: INSTALL PER MANUFACTURER SPECIFICATION.

NOTE: \*ROOFING CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION AREA OF THE VENT PRODUCTS INSTALLED AGAINST THOSE NOTES ABOVE AND THE VENTILATION REQUIRED BY CODE SHALL BE MAINTAINED.

\*UNLESS NOTES OTHERWISE IN THE STRUCTURAL OR TRUSS DRAWINGS, OPENINGS SHALL BE PROVIDED IN THE ROOF SHEATHING BETWEEN OVERFRAMED ROOF AREAS TO ALLOW AIR PASSAGE AND ACCESS BETWEEN THE ATTIC SPACES

#### ROOF KEYNOTES

1	ASPHALT SHINGLES
2	LINE OF WALL/BEAM BELOW
3	ROOF BELOW
4	ROOF CRICKET
5	GUTTER WITH DOWNSPOUT
6	EDGE OF TRUSS

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ROOF PLAN

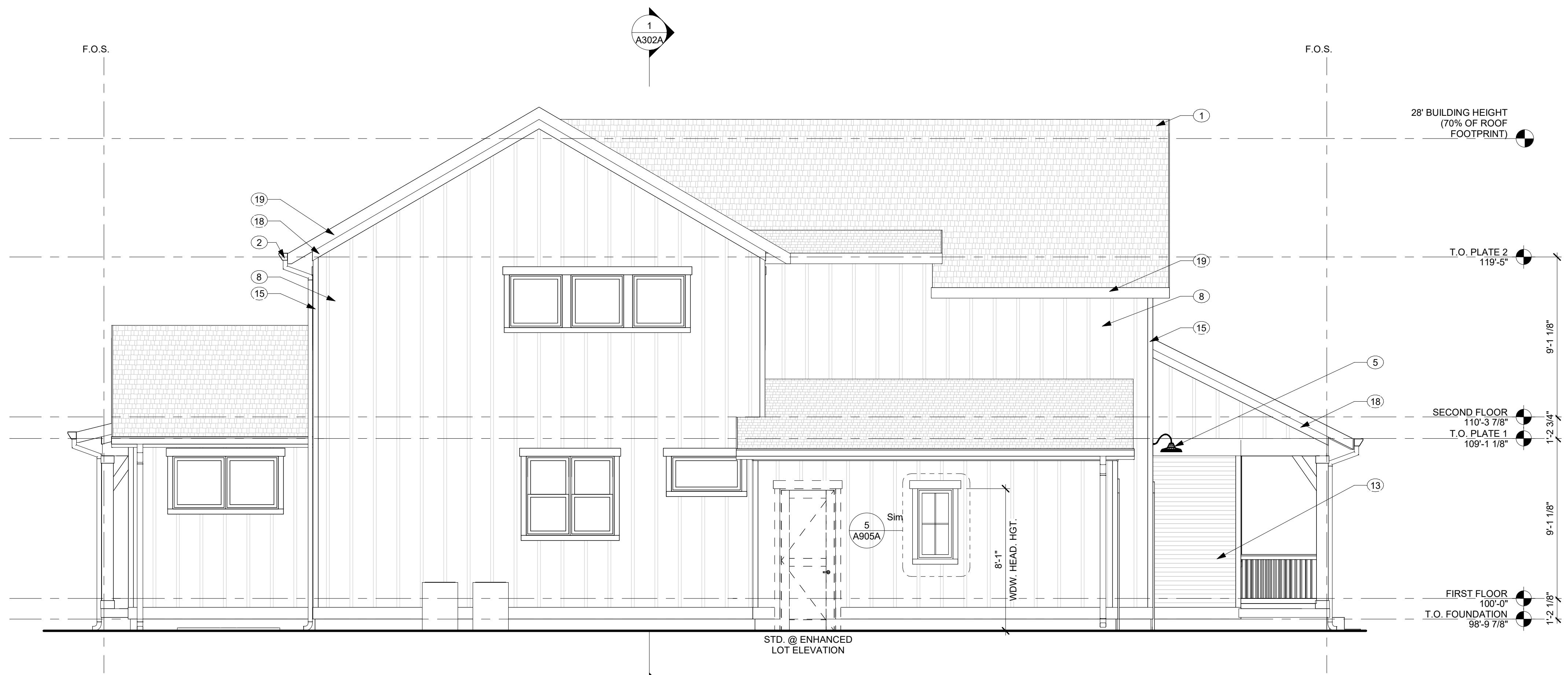
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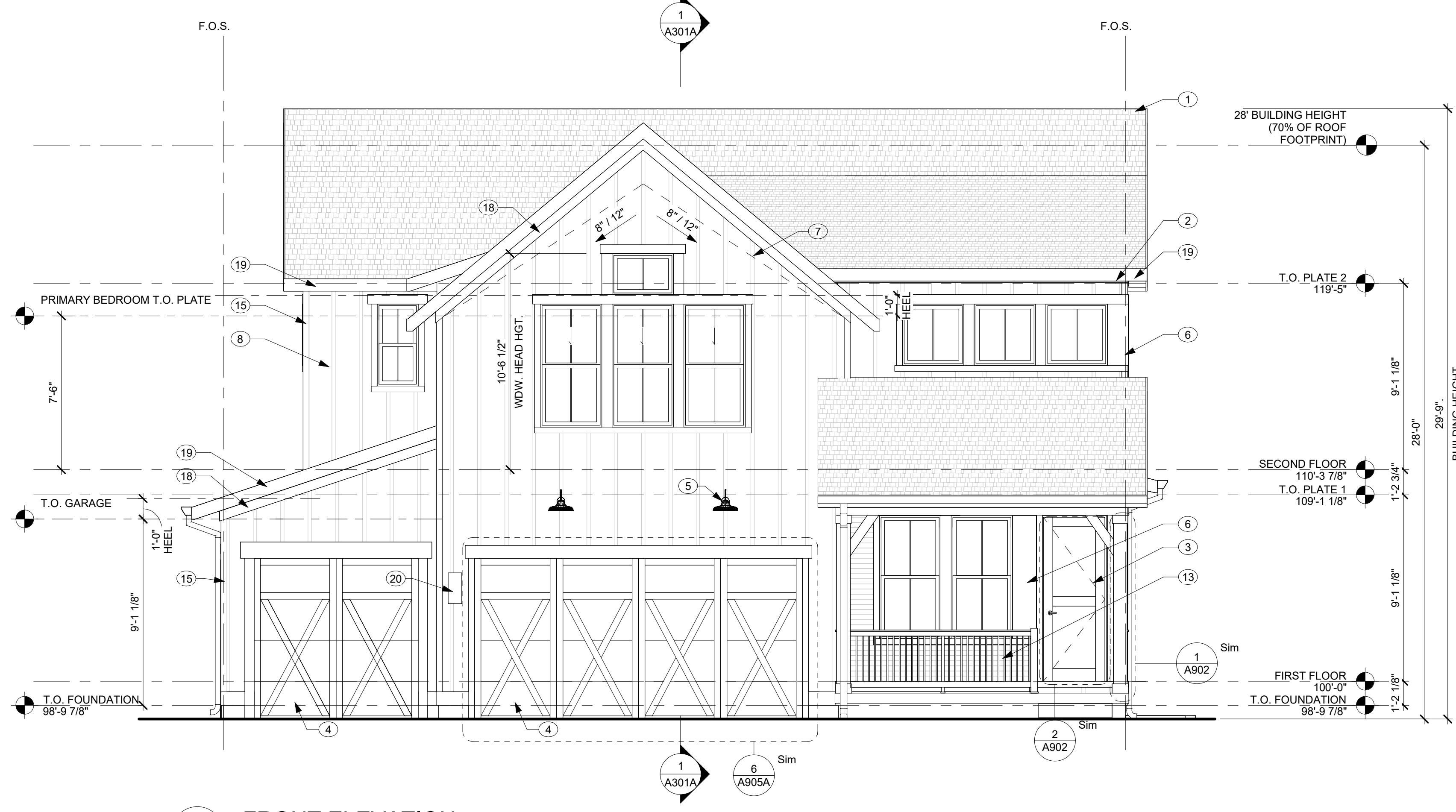
## BAREFOOT LAKES

BROOKFIELD RESIDENTIAL

PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET  
TOWN OF FIRESTONE, CO



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



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BUILDING ELEVATIONS

SHEET NUMBER:

A201A

## BAREFOOT LAKES

BROOKFIELD RESIDENTIAL

PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET  
TOWN OF FIRESTONE, CO



ELEVATION NOTES	
1	ELEVATION DRAWINGS DEPICT DESIGN INTENT ONLY. SEE STRUCTURAL DRAWINGS FOR FOUNDATION AND FRAMING SPECIFICATIONS.
2	GRADE LINES INDICATED ARE APPROXIMATE. BUILDER TO COORDINATE SITE SPECIFIC GRADING AT EACH LOT. PROVIDE SLOPE GRADING AWAY FROM STRUCTURE AT EACH LOT.
3	REFER TO ROOF PLANS FOR ROOFING MATERIAL, SLOPE AND BEARING INFO.
4	TYPICAL WINDOW HEAD HEIGHT TO BE AS FOLLOWS, REFER TO ELEVATIONS FOR NON-TYPICAL CONDITIONS: BASEMENT: 7'-1" A.F.F. FIRST FLOOR: 8'-1" A.F.F. SECOND FLOOR: 7'-1" A.F.F.
5	ALL MANUFACTURED TRIM AND SIDING MATERIALS SHALL BE PAINTED.
6	ALL EXPOSED WOOD POSTS, BEAMS, AND TRIM SHALL BE PAINTED PER FINISH SPECIFICATIONS.
7	GUTTERS AND DOWNSPOUTS SHALL BE INSTALLED AT ALL ROOF DRAINAGE CONDITIONS. COORDINATE LOCATIONS w/ BUILDER.

ELEVATION KEYNOTES	
1	ASPHALT SHINGLES
2	GUTTER WITH DOWNSPOUT
3	8'-0" ENTRY DOOR PER SPEC.
4	GARAGE DOOR PER SPEC.
5	EXTERIOR COACH LIGHTING PER BUILDER SPEC.
6	PAINTED TRIM, SMOOTH FINISH
7	LINE OF VAULTED CEILING BEYOND
8	BOARD AND BATTEN SIDING
9	LAP SIDING W/ 6" REVEAL
10	LAP SIDING W/ 4" REVEAL
11	SMOOTH PANEL SIDING
12	SHAKE SIDING
13	WOOD COMPOSITE SIDING, PER BUILDER SPEC.
14	BRACKET PER BUILDER SPEC.
15	5/4x4 PAINTED CORNER BOARD, SMOOTH FINISH
16	5/4x6 PAINTED CORNER BOARD, SMOOTH FINISH
17	3 3/8" BORAL CROWN OVER 5/4x8 HELD TIGHT TO SOFFIT, TYP.
18	5/4x6 TRIM BOARD
19	5/4x8 FASCIA BOARD
20	ADDRESS PLATE PER BUILDER SPEC.
21	PACKAGE DROP-OFF, PER BUILDER SPEC.

RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



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PROJECT NO: 2024023.20  
ISSUE DATE: 10/28/2024  
REVISIONS:

BUILDING  
ELEVATIONS

SHEET  
NUMBER:

A202A

## BAREFOOT LAKES

BROOKFIELD RESIDENTIAL

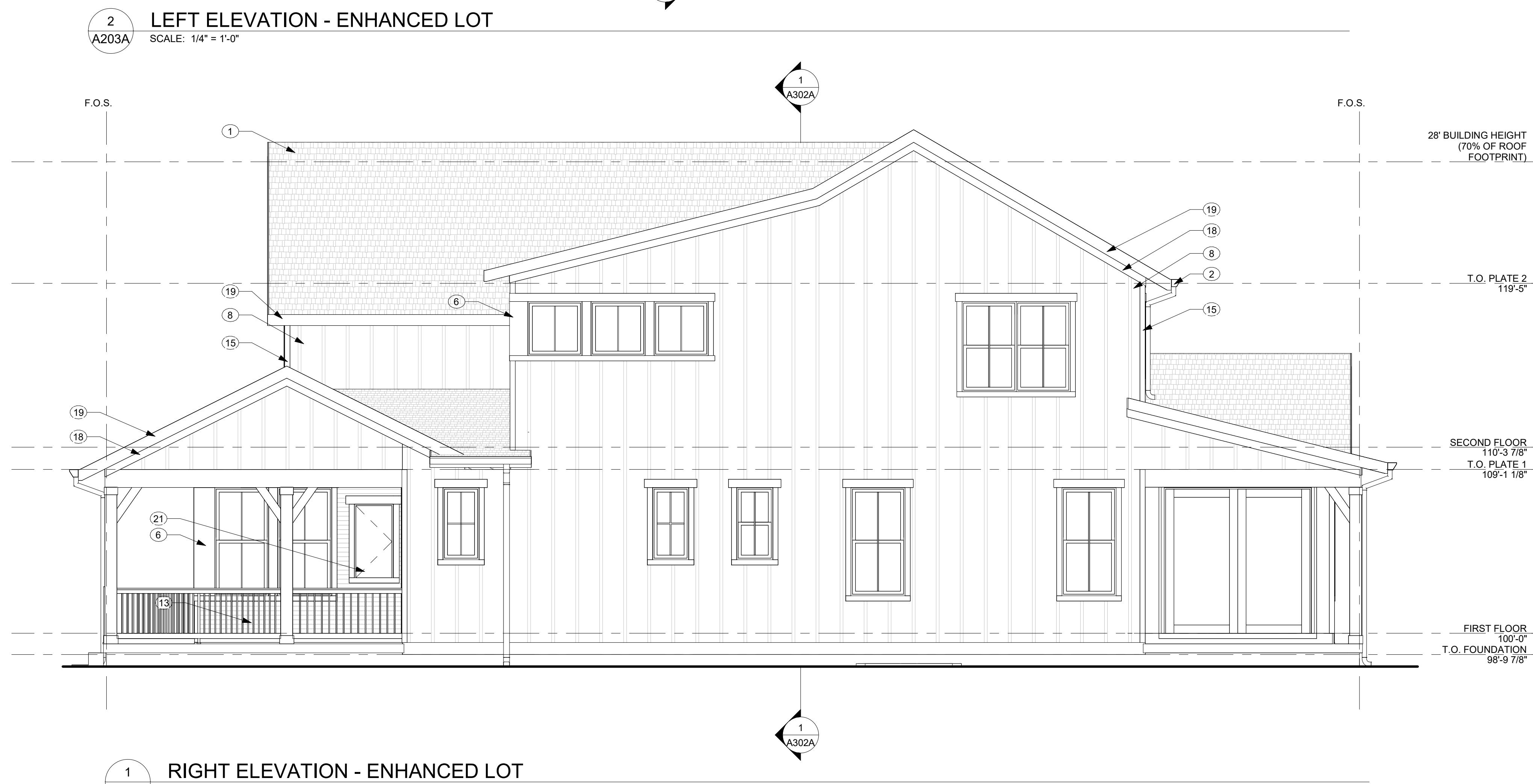
PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET  
TOWN OF FIRESTONE, CO



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18	5/4x6 TRIM BOARD
19	5/4x8 FASCIA BOARD
20	ADDRESS PLATE PER BUILDER SPEC.
21	PACKAGE DROP-OFF, PER BUILDER SPEC.

ENHANCED ELEVATION REQUIREMENTS					
PER FIRESTONE CODE: AN ELEVATION THAT FACES THE STREET, PARK, TRAIL, CORRIDOR, OR OPEN SPACE AREA SHALL PROVIDE AN ENHANCED ELEVATION WITH 3 OR MORE OF THE FOLLOWING DESIGN ENHANCEMENTS.					
FOLK STYLE	ADDITION OF (1) WINDOW OR DOOR	CHANGE IN WALL PLANE	COVERED PORCH OR DECK	ADDITIONAL DESIGN DETAILS	USE OF A MIN. OF (2) EXTERIOR CLADDING MATERIALS
LEFT ELEVATION (3 TOTAL)	(1) ADDITIONAL DOOR	(4) CHANGE IN WALL PLANES	(N/A)	AWNING OVER WINDOW / WINDOW LITES	N/A
RIGHT ELEVATION (4 TOTAL)	N/A	(3) CHANGE IN WALL PLANES	FRONT AND REAR COVERED PORCH	WINDOW LITES	BOARD AND BATTEN AND WOOD COMPOSITE SIDING



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BUILDING ENHANCED ELEVATIONS

SHEET NUMBER:

A203A

# BAREFOOT LAKES

## BROOKFIELD RESIDENTIAL

456 BIG SKY SIX - BUILDER'S PL.  
TOWN OF FIRESTONE, CO

# TOWN OF FIRESTONE, CO

## ELEVATION NOTES

- ELEVATION DRAWINGS DEPICT DESIGN INTENT ONLY. SEE STRUCTURAL DRAWINGS FOR FOUNDATION AND FRAMING SPECIFICATIONS.

GRADE LINES INDICATED ARE APPROXIMATE. BUILDER TO COORDINATE SITE SPECIFIC GRADING AT EACH LOT. PROVIDE POSITIVE SLOPE GRADING AWAY FROM STRUCTURE AT EACH LOT.

REFER TO ROOF PLANS FOR ROOFING MATERIAL, SLOPE AND SHEARING INFO.

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FIRST FLOOR:	8'-1" A.F.F.
SECOND FLOOR:	7'-1" A.F.F.

ALL MANUFACTURED TRIM AND SIDING MATERIALS SHALL BE PAINTED.

ALL EXPOSED WOOD POSTS, BEAMS, AND TRIM SHALL BE PAINTED PER FINISH SPECIFICATIONS.

GUTTERS AND DOWNSPOUTS SHALL BE INSTALLED AT ALL ROOF DRAINAGE CONDITIONS. COORDINATE LOCATIONS w/ BUILDER.

## ATION KEYNOTES

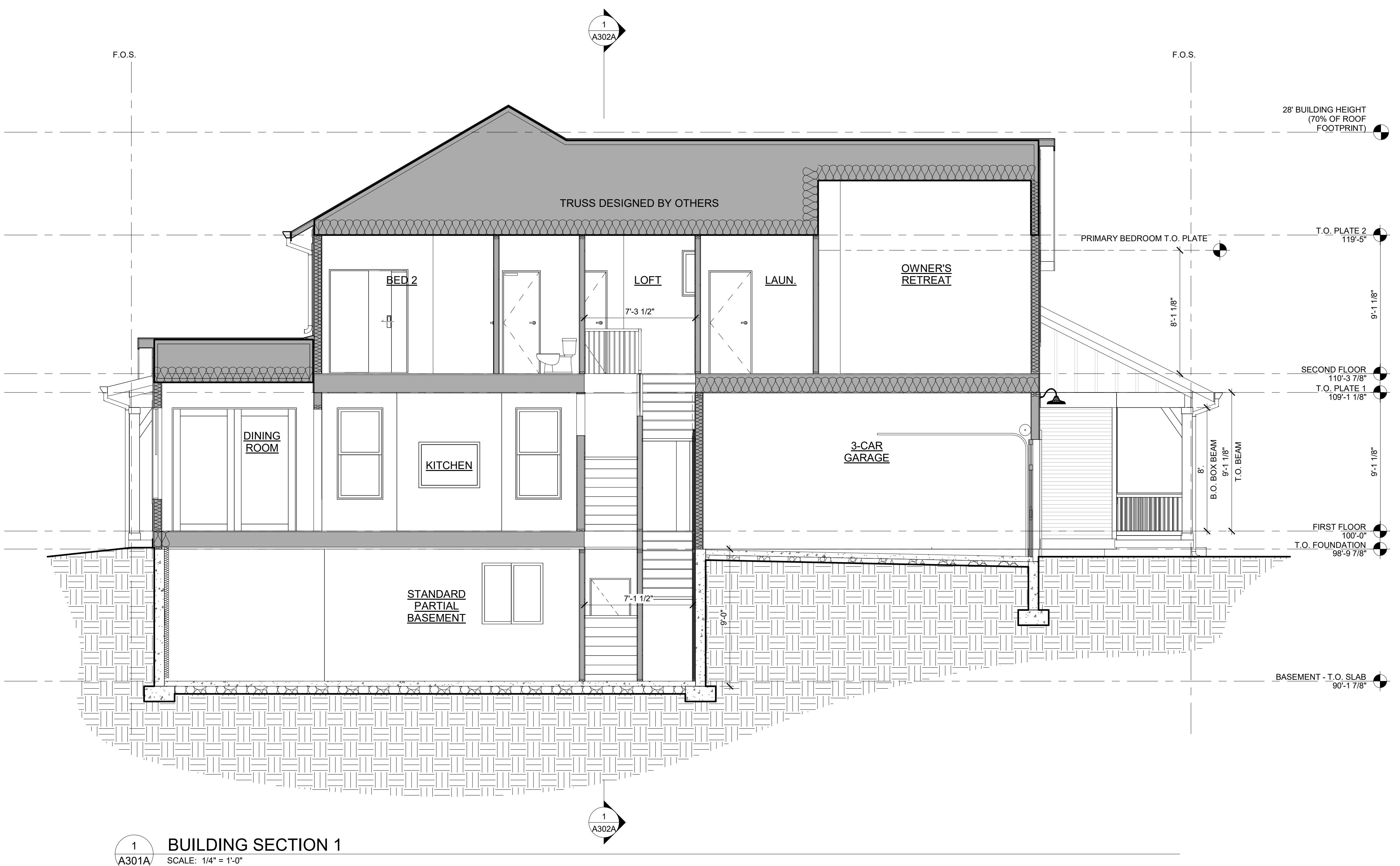
- SHPHALT SHINGLES  
UTTER WITH DOWNSPOUT  
0" ENTRY DOOR PER SPEC.  
ARAGE DOOR PER SPEC.  
XTERIOR COACH LIGHTING PER BUILDER SPEC.  
INTED TRIM, SMOOTH FINISH  
NE OF VAULTED CEILING BEYOND  
ARD AND BATTEN SIDING  
P SIDING W/ 6" REVEAL  
P SIDING W/ 4" REVEAL  
MOOTH PANEL SIDING  
AKE SIDING  
OOD COMPOSITE SIDING, PER BUILDER SPEC.  
RACKET PER BUILDER SPEC.  
4x4 PAINTED CORNER BOARD, SMOOTH FINISH  
4x6 PAINTED CORNER BOARD, SMOOTH FINISH  
3/8" BORAL CROWN OVER 5/4x8 HELD TIGHT TO SOFFIT, TYP.  
4x6 TRIM BOARD  
4x8 FASCIA BOARD  
DRESS PLATE PER BUILDER SPEC.  
ACKAGE DROP-OFF, PER BUILDER SPEC.

WN BY: JK, JM  
CKED BY: O  
JECT NO: 2024023.2  
UE DATE: 10/28/202  
ISIONS:

## BUILDING SECTIONS

**STREET  
NUMBER:**

A301A



## BAREFOOT LAKES

BROOKFIELD RESIDENTIAL

PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET

BUILDING SECTIONS

SHEET  
NUMBER:

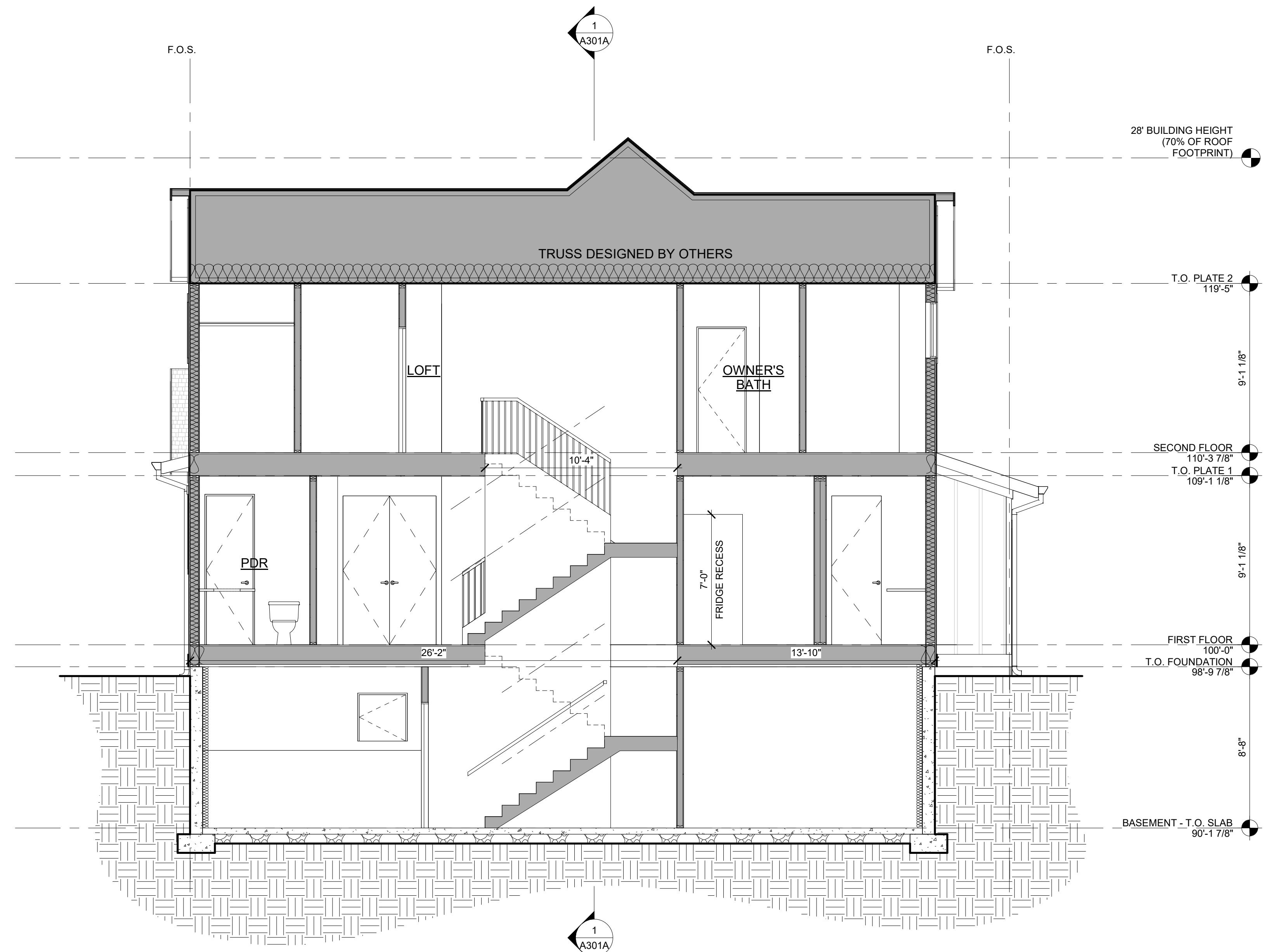
A302A

### ELEVATION NOTES

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- REFER TO ROOF PLANS FOR ROOFING MATERIAL, SLOPE AND BEARING INFO.
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FIRST FLOOR: 8'-1" A.F.F.  
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- GUTTERS AND DOWNSPOUTS SHALL BE INSTALLED AT ALL ROOF DRAINAGE CONDITIONS. COORDINATE LOCATIONS w/ BUILDER.

### ELEVATION KEYNOTES

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- GUTTER WITH DOWNSPOUT
- 8'-0" ENTRY DOOR PER SPEC.
- GARAGE DOOR PER SPEC.
- EXTERIOR COACH LIGHTING PER BUILDER SPEC.
- PAINTED TRIM, SMOOTH FINISH
- LINE OF VAULTED CEILING BEYOND
- BOARD AND BATTEN SIDING
- LAP SIDING W/ 6" REVEAL
- LAP SIDING W/ 4" REVEAL
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- WOOD COMPOSITE SIDING, PER BUILDER SPEC.
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- 5/4x4 PAINTED CORNER BOARD, SMOOTH FINISH
- 5/4x6 PAINTED CORNER BOARD, SMOOTH FINISH
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- ADDRESS PLATE PER BUILDER SPEC.
- PACKAGE DROP-OFF, PER BUILDER SPEC.

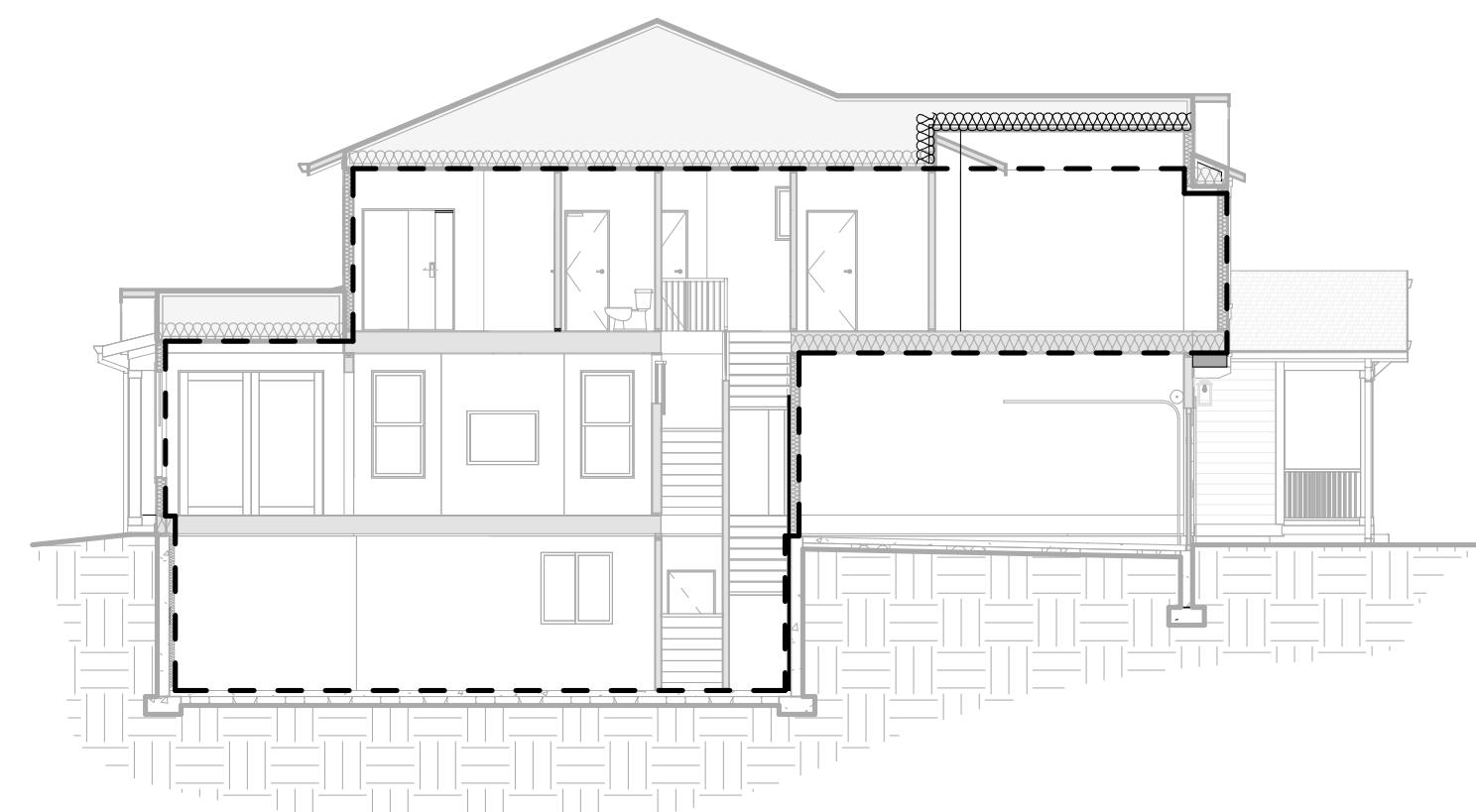


1  
A302A  
BUILDING SECTION 2  
SCALE: 1/4" = 1'-0"

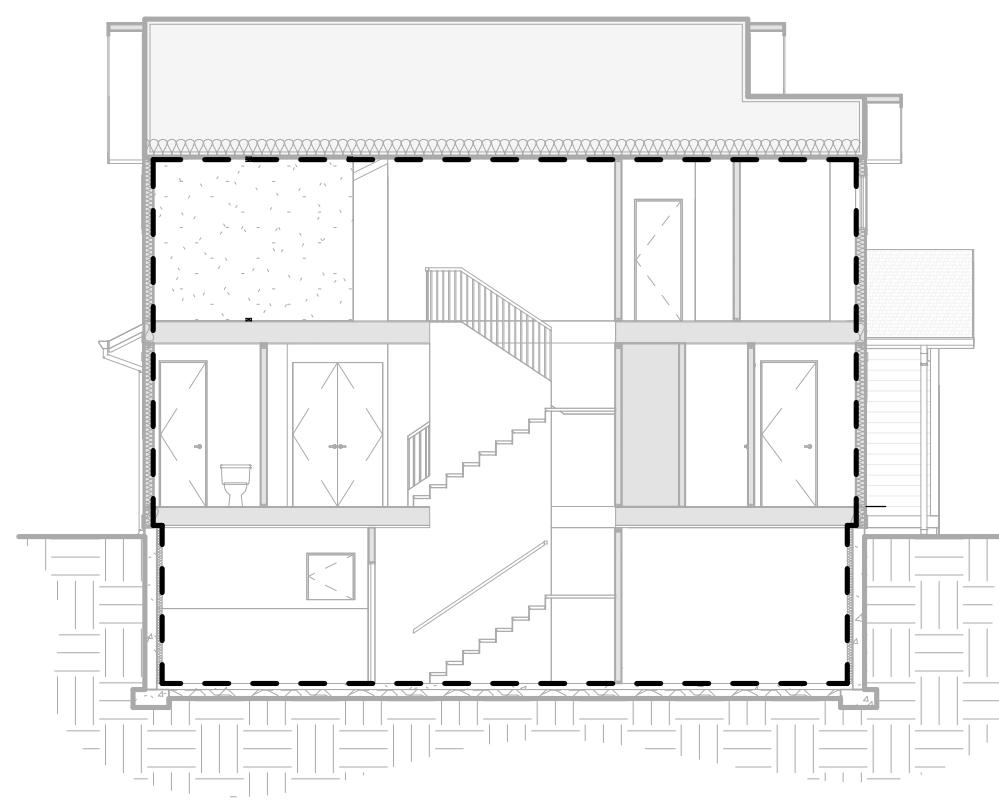
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PROJECT NO: 2024023.20  
ISSUE DATE: 10/28/2024  
REVISIONS:

**BAREFOOT LAKES**  
BROOKFIELD RESIDENTIAL

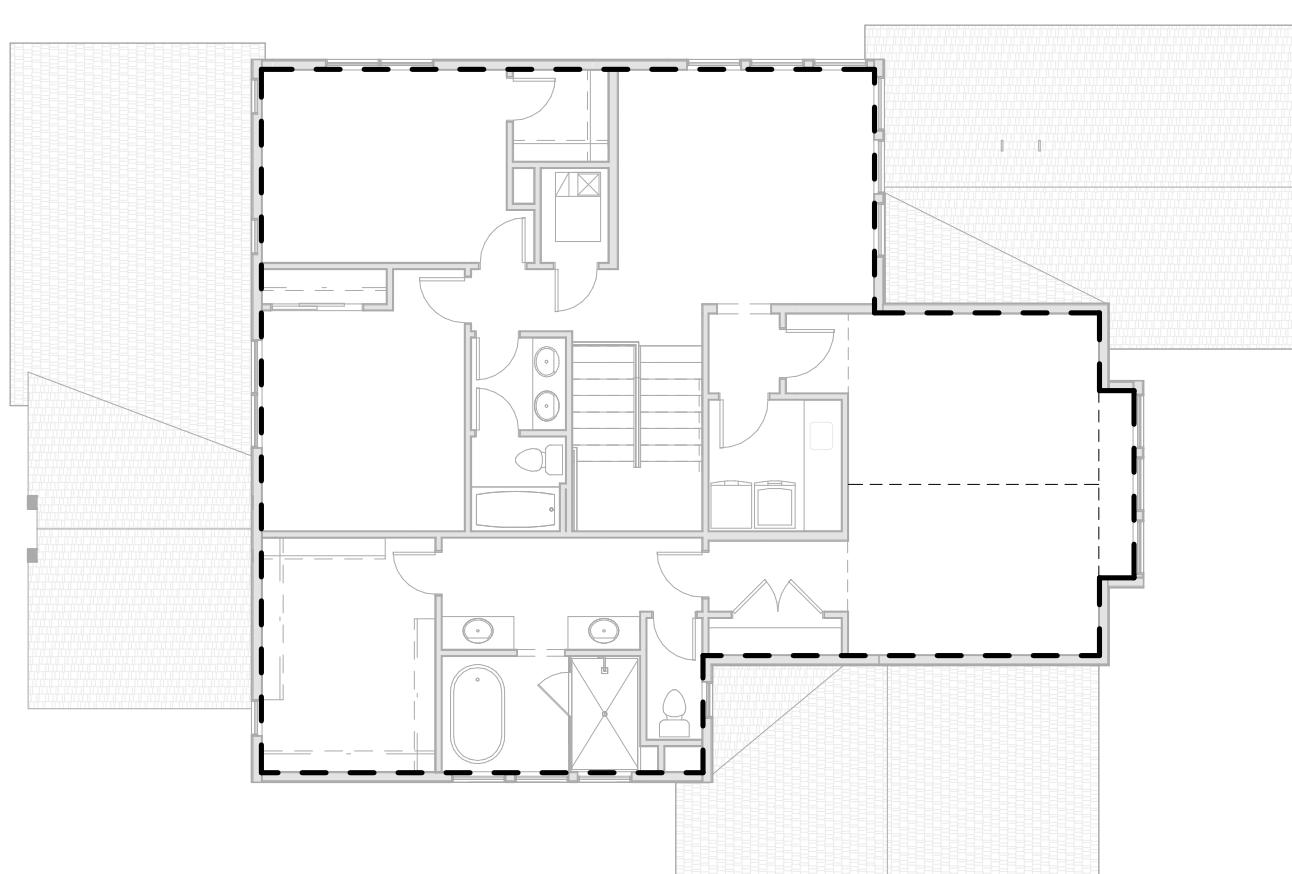
PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET  
TOWN OF FIRESTONE, CO



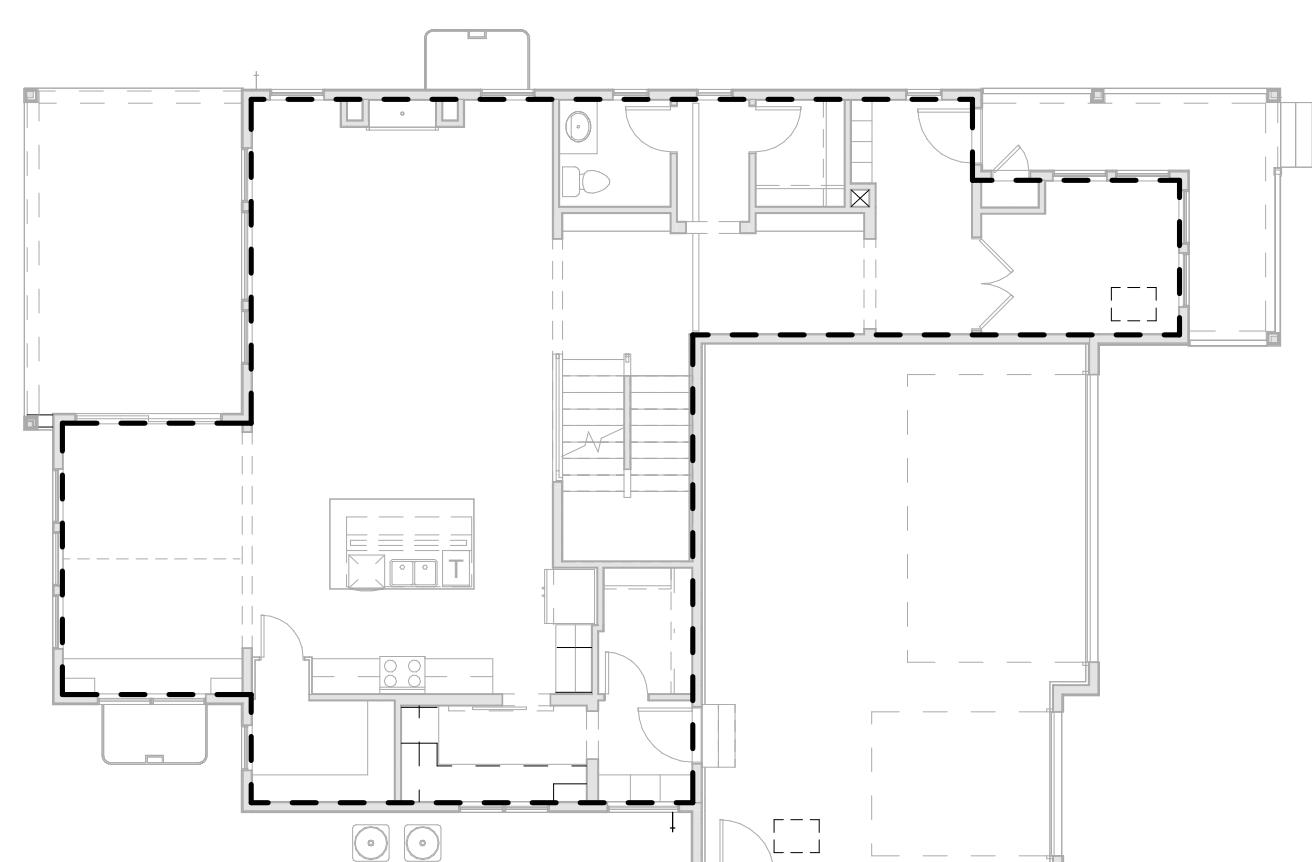
4  
A010B  
BUILDING SECTION 1  
SCALE: 3/32" = 1'-0"



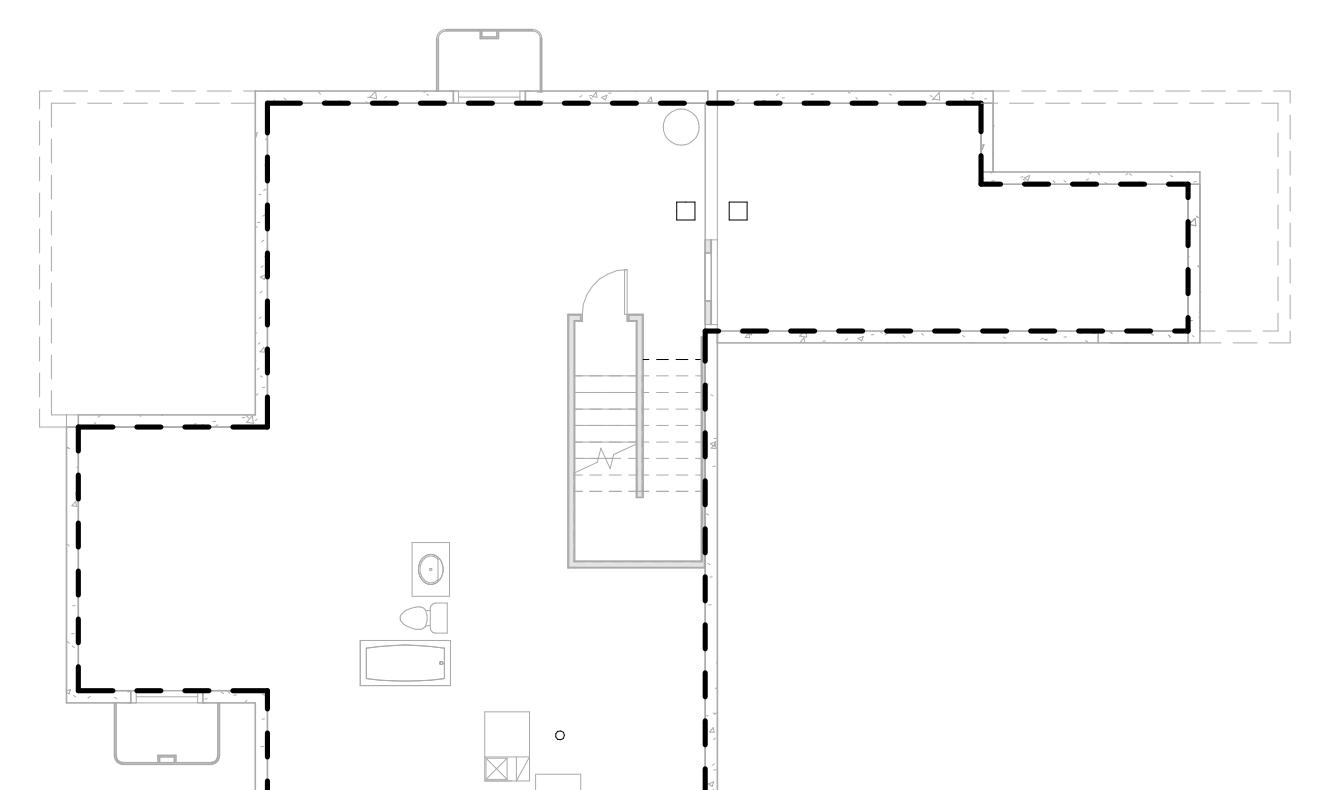
5  
A010B  
BUILDING SECTION 2  
SCALE: 3/32" = 1'-0"



3  
A010B  
SECOND FLOOR PLAN  
SCALE: 3/32" = 1'-0"



2  
A010B  
FIRST FLOOR PLAN  
SCALE: 3/32" = 1'-0"



1  
A010B  
STANDARD PARTIAL BASEMENT PLAN  
SCALE: 3/32" = 1'-0"

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CHECKED BY: OL  
PROJECT NO: 2024023.20  
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REVISIONS:

ENERGY CODE  
COMPLIANCE

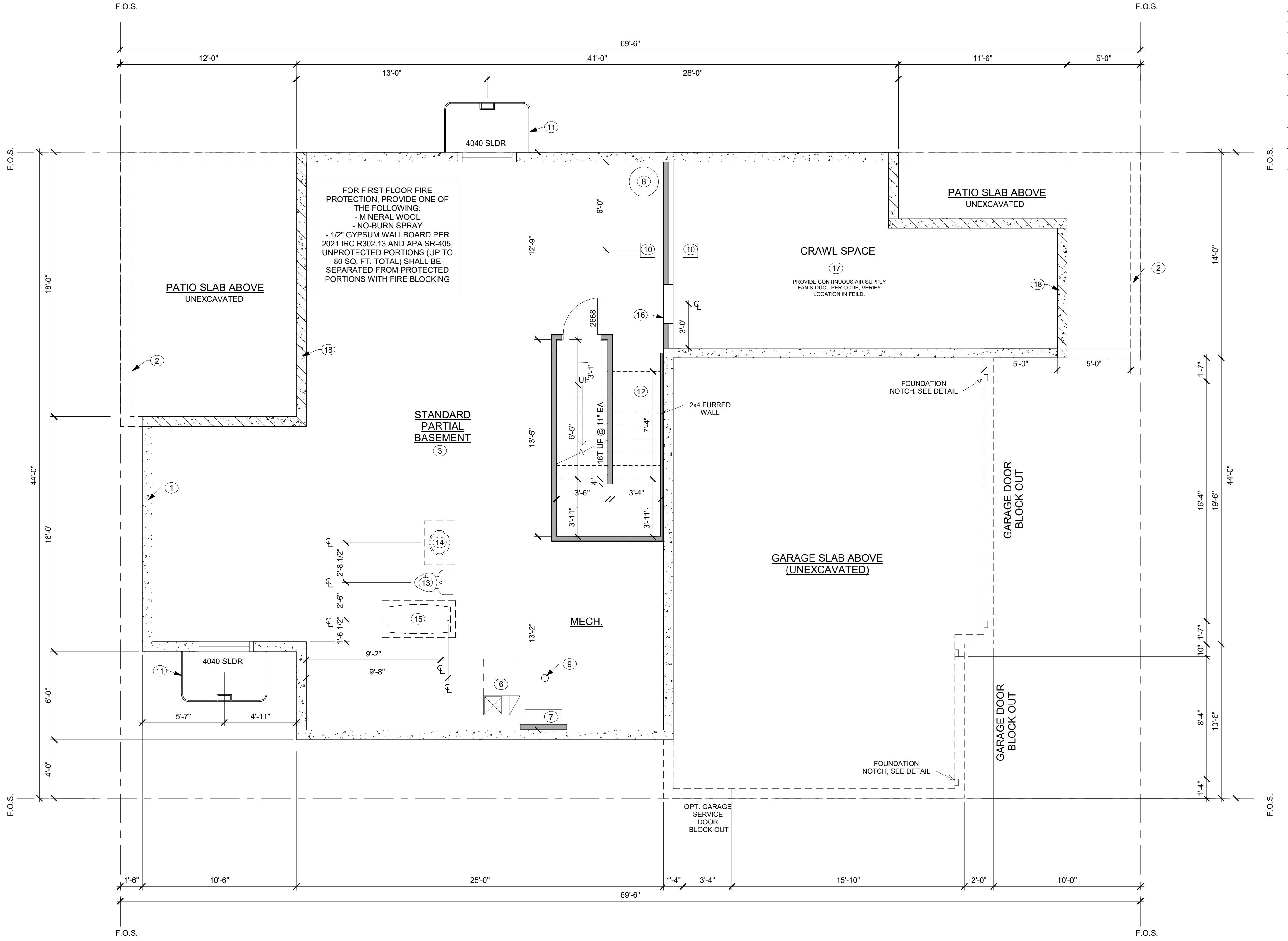
SHEET  
NUMBER:  
**A010B**

PLAN NOTES

- ALL DIMENSIONS INDICATED ARE TO FACE OF FRAMING OR STRUCTURE, UNO.
- REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION AND CONCRETE SLAB SPECIFICATIONS.
- EXTENTS OF CONCRETE FOUNDATION WALLS WILL VARY PER INDIVIDUAL SITE GRADING. REFER TO SITE SPECIFIC FOUNDATION PLANS.
- ALL WINDOW DIMENSIONS ARE SHOWN TO CENTERLINE OF ROUGH OPENING.
- ALL INTERIOR PARTITIONS TO BE 2X4, UNO.
- ALL EXTERIOR WALLS TO BE 2X6, UNO.

BASEMENT KEYNOTES

1	CONCRETE FOUNDATION WALLS, PER STRUCTURAL PLANS
2	LINE OF FOUNDATION/GRADE BEAM ABOVE, PER STRUCTURAL PLANS
3	CONCRETE SLAB, PER STRUCTURAL PLANS
4	LINE OF FRAMING ABOVE
5	WALL FURRING W/ INSULATION
6	FURNACE, COORDINATE W/ MECHANICAL
7	WATER HEATER, COORDINATE W/ MECHANICAL
8	SUMP PIT & ELECTRIC PUMP, VERIFY W/ SITE SUPERINTENDENT
9	FLOOR DRAIN
10	RADON MITIGATION SYSTEM, BY OTHER
11	<varies>
12	UNDER-STAIR PROTECTION PER IRC - R302.7
13	WATER CLOSET ROUGH IN
14	LAVATORY/SINK ROUGH IN, PER BUILDER SPEC.
15	SHOWER/TUB COMBO ROUGH-IN, PER BUILDER SPEC.
16	30"X30" CRAWL SPACE ACCESS PANEL, PER BUILDER SPEC
17	10 MIL VAPOR BARRIER
18	RAISED FOUNDATION WALL AT PORCH AND PATIO, SEE DETAIL



1

STANDARD PARTIAL BASEMENT PLAN

SCALE: 1/4" = 1'-0"

**BAREFOOT LAKES**  
BROOKFIELD RESIDENTIAL

PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET  
TOWN OF FIRESTONE, CO

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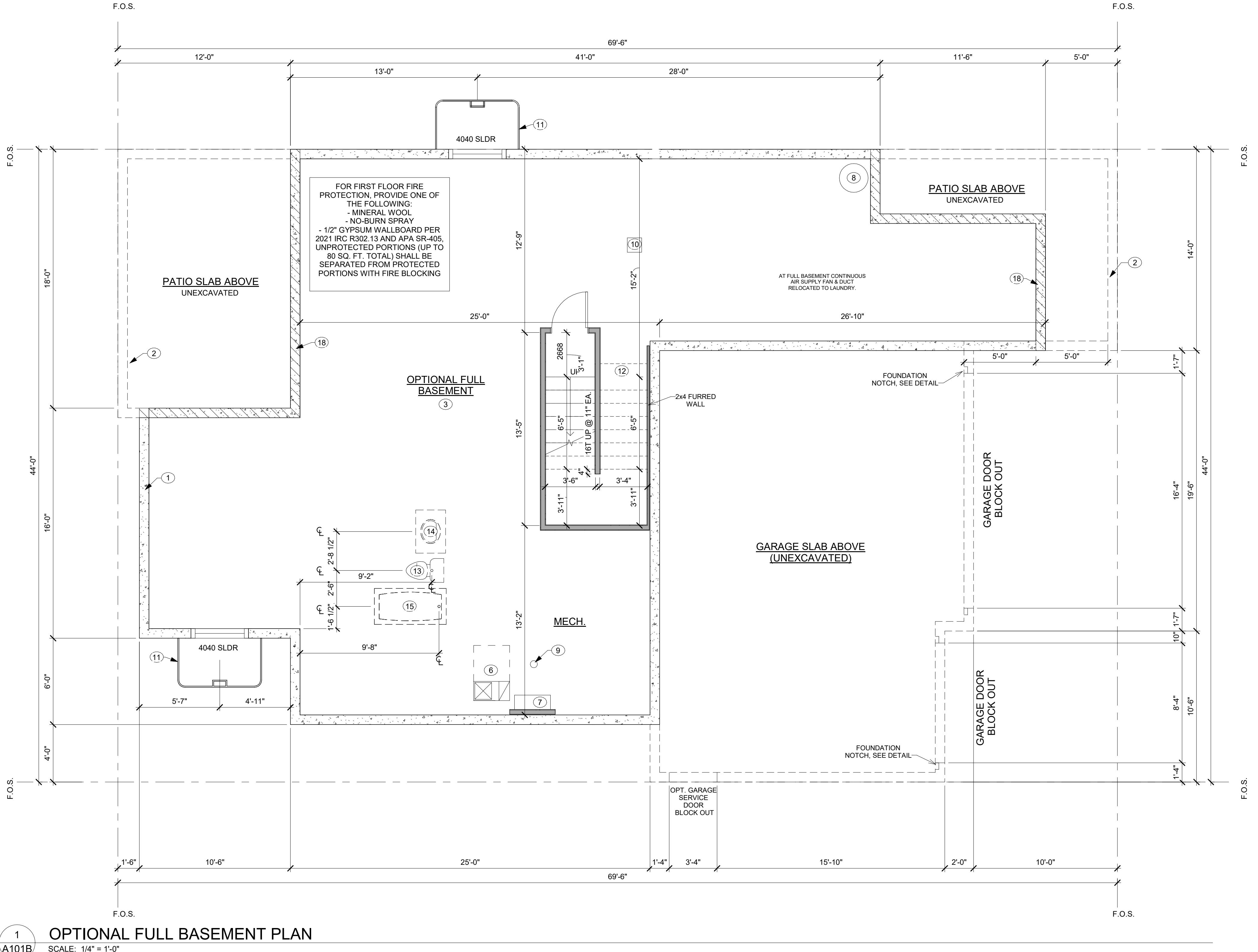
STANDARD  
BASEMENT PLAN

SHEET  
NUMBER:

A100B

**BAREFOOT LAKES**  
BROOKFIELD RESIDENTIAL

PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET  
TOWN OF FIRESTONE, CO



## BAREFOOT LAKES

BROOKFIELD RESIDENTIAL

PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET

TOWN OF FIRESTONE, CO

DRAWN BY: JK, JM  
CHECKED BY: OL  
PROJECT NO: 2024023.20  
ISSUE DATE: 10/28/2024  
REVISIONS:

FIRST FLOOR PLAN

SHEET NUMBER:

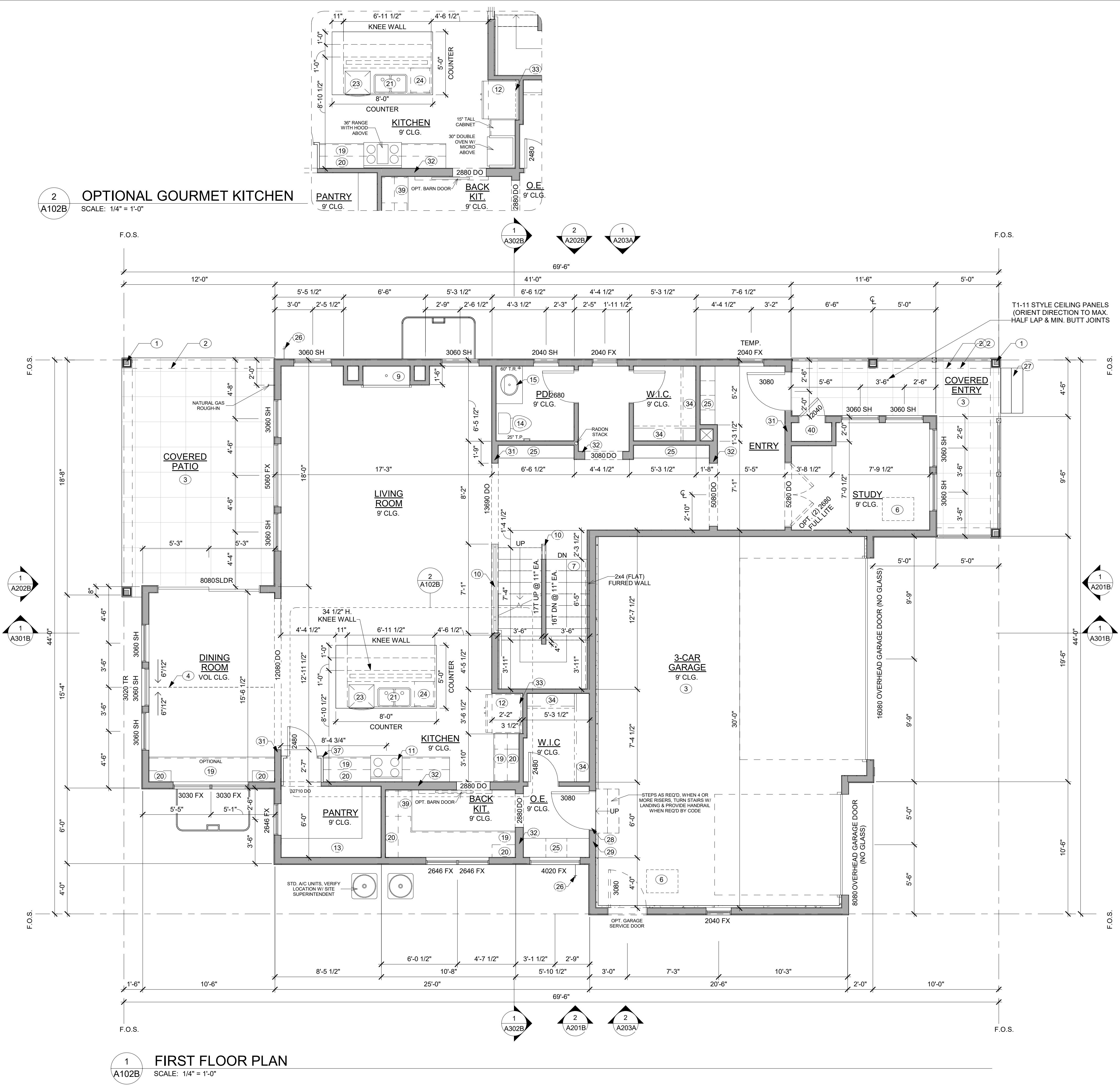
A102B

### PLAN NOTES

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### PLAN KEYNOTES

1	COLUMN, PER STRUCTURAL PLANS
2	LINE OF FLUX BEAMS ABOVE, PER BUILDING SPEC.
3	CONCRETE SLAB, PER STRUCTURAL PLANS
4	SOFFIT OR LINE OF CEILING PLAN CHANGE ABOVE
5	LINE OF WALL ABOVE
6	ATTIC ACCESS HATCH ABOVE, MECH PLenum
7	UNDER-STAIR PROTECTION PER IRC - R302.7
8	FURNACE, COORDINATE W/ MECHANICAL
9	GAS FIREPLACE, PER BUILDER SPEC.
10	RAILING, PER BUILDER SPEC.
11	36" RANGE W/ MICRO ABOVE, PER BUILDER SPEC
12	REFRIGERATOR, PER BUILDER SPEC
13	5 SHELVES U.N.O., 16" DEPTH @ 16", 29", 43", 55" & 68" HEIGHT, VERIFY IN FIELD
14	WATER CLOSET, PER BUILDER SPEC.
15	LAVATORY/SINK, PER BUILDER SPEC.
16	30"X60" TUB, PER BUILDER SPEC
17	36"X66" FREE STANDING TUB, PER BUILDER SPEC
18	SHOWER W/ TEMPERED GLASS ENCLOSURE, PER BUILDER SPEC. W/ SEAT 18" DEEP AND 18" HIGH
19	COUNTER & BASE CABINETS, PER BUILDER SPEC.
20	UPPER CABINETS, PROVIDE WALL BLOCKING, PER BUILDER SPEC
21	DOUBLE BASIN SINK
22	OPTIONAL 18" UTILITY SINK
23	24" DISHWASHER
24	18" PULL OUT TRASH, COORD. W/ CABINET MANUFACTURERS
25	OPT. BUILT-IN CASEWORK, PER BUILDER SPEC.
26	HOSE BIB, VERIFY LOCATION W/ BUILDER
27	STEPS MAY VERY PER GRADE, FIELD VERIFY
28	DWELLING/GARAGE OPENING PROTECTION PER IRC-302.5.1 SEALED, 20 MIN FIRE RATED DOOR, SELF CLOSING
29	DWELLING/GARAGE FIRE SEPARATION PER IRC-302.6
30	CABINET END PANEL
31	2X6 WALL
32	DOUBLE 2X4 WALL
33	PROVIDE FRAMING ABOVE FRIDGE NICHE TO INSTALL UPPER CABINETS +7"
34	1 ROD AND 1 SHELF, PER BUILDER SPEC.
35	2 ROD AND 2 SHELF, PER BUILDER SPEC.
36	HALF WALL W/CAP AT STAIRS, OPTIONAL RAILING
37	CABINETRY (HIDDEN PANTRY DOOR)
38	18"X12" SHOWER SHAMPOO NICHE
39	24" UNDERCOUNTER TOP CLEAR SPACE
40	PACKAGE DROP-OFF WALL INSERT, PER BUILDER SPEC.
41	FLOOR DRAIN
42	NOTE: DRYER ALWAYS TO THE RIGHT OF WASHER



## BAREFOOT LAKES

BROOKFIELD RESIDENTIAL

PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET

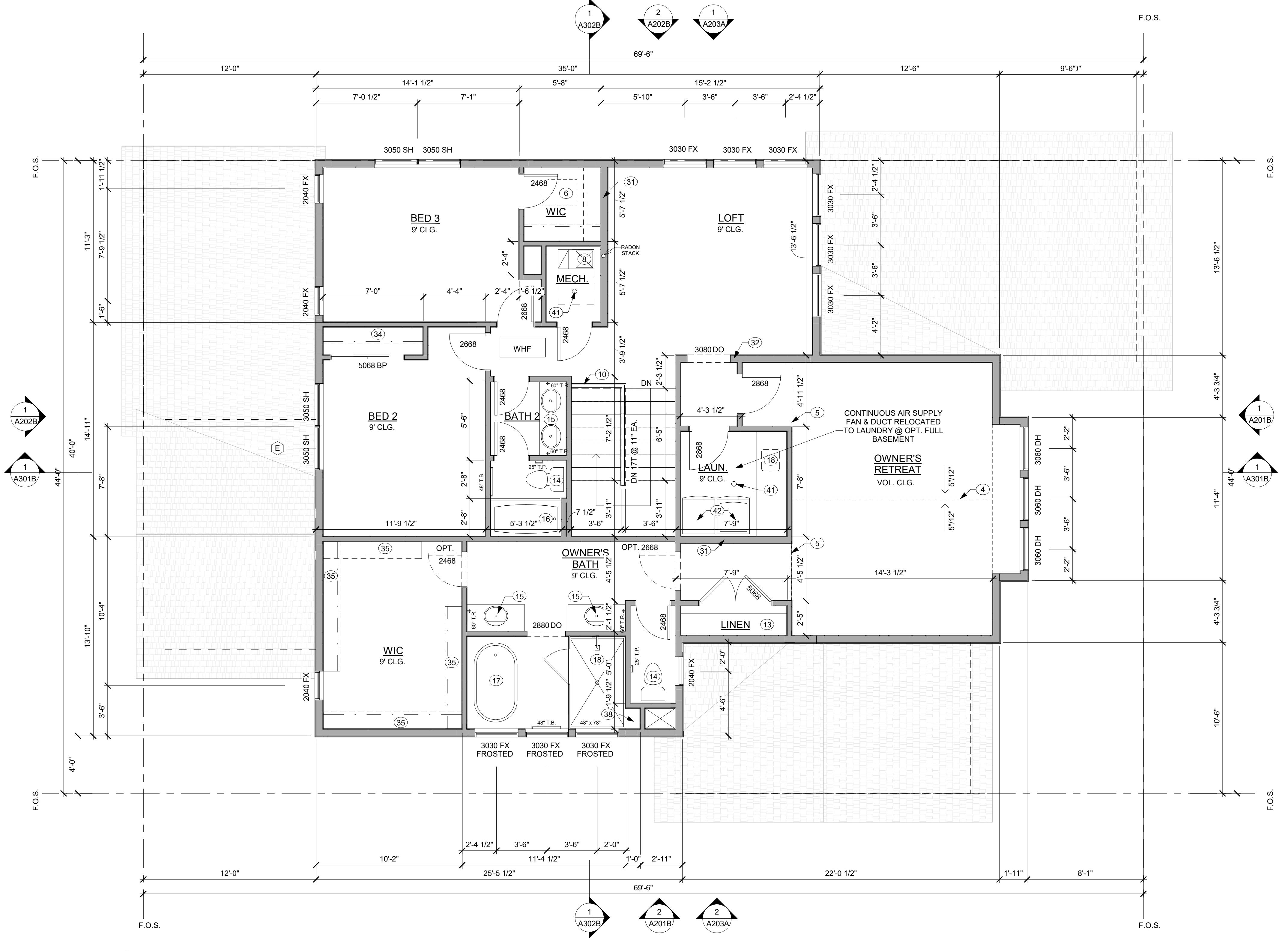
TOWN OF FIRESTONE, CO

### PLAN NOTES

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26	HOSE BIB, VERIFY LOCATION W/ BUILDER
27	STEPS MAY VERY PER GRADE, FIELD VERIFY
28	DWELLING/GARAGE OPENING PROTECTION PER IRC-302.5.1 SEALED, 20 MIN FIRE RATED DOOR, SELF CLOSING
29	DWELLING/GARAGE FIRE SEPARATION PER IRC-302.6
30	CABINET END PANEL
31	2X6 WALL
32	DOUBLE 2X4 WALL
33	PROVIDE FRAMING ABOVE FRIDGE NICHE TO INSTALL UPPER CABINETS +7"
34	1 ROD AND 1 SHELF, PER BUILDER SPEC.
35	2 ROD AND 2 SHELF, PER BUILDER SPEC.
36	HALF WALL W/CAP AT STAIRS, OPTIONAL RAILING
37	CABINETRY (HIDDEN PANTRY DOOR)
38	18"X12" SHOWER SHAMPOO NICHE
39	24" UNDERCOUNTERTOP CLEAR SPACE
40	PACKAGE DROP-OFF WALL INSERT, PER BUILDING SPEC.
41	FLOOR DRAIN
42	NOTE: DRYER ALWAYS TO THE RIGHT OF WASHER



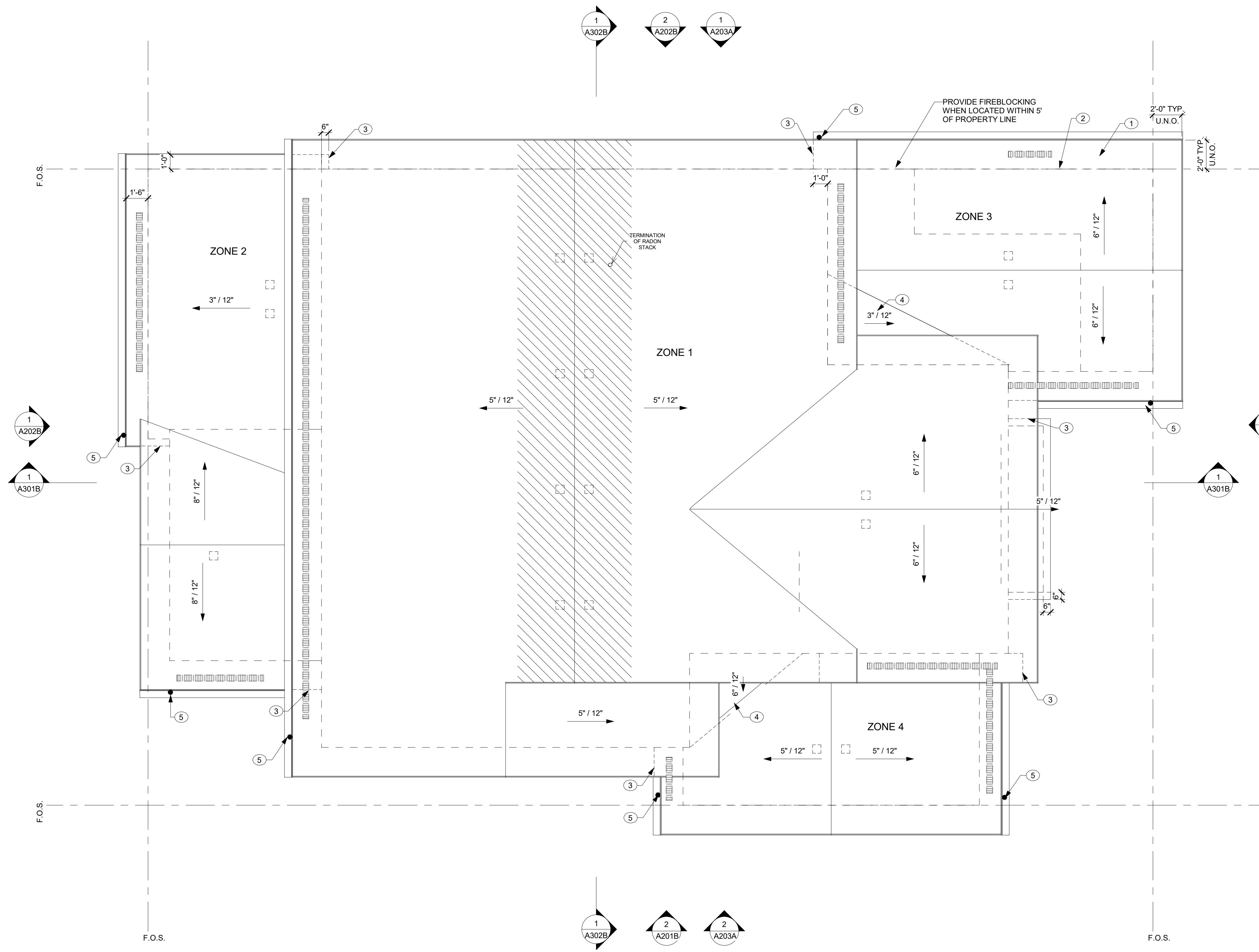
DRAWN BY: JK, JM  
CHECKED BY: OL  
PROJECT NO: 2024023.20  
ISSUE DATE: 10/28/2024  
REVISIONS:

SECOND FLOOR PLAN

SHEET NUMBER:

A103B

**BAREFOOT LAKES**  
BROOKFIELD RESIDENTIAL  
PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET  
TOWN OF FIRESTONE, CO



1 A104B ROOF PLAN

SCALE: 1/4" = 1'-0"

ROOF NOTES

- ALL DIMENSIONS INDICATED ARE TO FACE OF FRAMING OR STRUCTURE, UNO.
- ELEVATION DRAWINGS DEPICT DESIGN INTENT ONLY. SEE STRUCTURAL DRAWINGS FOR ROOF FRAMING PLANS AND TRUSS INFORMATION.
- GRADE LINES INDICATED ARE APPROXIMATE. BUILDER TO COORDINATE SITE SPECIFIC GRADING AT EACH LOT. PROVIDE POSITIVE SLOPE GRADING AWAY FROM STRUCTURE.
- PROVIDE SELF-ADHERING WATERPROOF MEMBRANE UNDERLayment AT ROOF PERIMETER AND EXTEND 5'-0" FROM THE EAVE EDGE.
- ALL ROOF PENETRATIONS SHALL BE FLASHED AND SEALED PER MFR'S RECOMMENDATIONS.
- VERIFY ALL GUTTER AND DOWNSPOUT LOCATIONS IN THE FIELD WITH BUILDER. DOWNSPOUTS SHOULD BE PROVIDED EVERY 25'-30 FEET MAX. AND AT LEAST (1) SIDE OF GUTTER, OUTLET TO SPLASH BLOCKS OR CONNECT TO SOLID SUBSURFACE PIPING.
- AT SLOPES LESS THAN 4:12, PROVIDE UNDERLAYMENT PER MFR'S LOW SLOPE SPECIFICATIONS.
- IF SOLAR IS TO BE IMPLEMENTED, ENSURE THAT ALL SUPPORT PENETRATIONS ARE PROPERLY FLASHED INTO THE ROOF UNDERLAYMENT AND SHINGLE LAYERS. HOLD THEM AWAY FROM THE EDGE FOR SAFE MAINTENANCE ACCESS.
- PROTECT LOWER ROOF AT DOWNSPOUT OUTLET WITH A SPLASH PAN.
- PROVIDE FIRE RATED PROTECTION AT RAKES & EAVES WHERE REQUIRED BY CODE.
- 12 INCH HEEL TYPICAL AT LOWEST SLOPED ROOF. TRUSS DESIGNER TO ADJUST ADJACENT HEEL HEIGHTS (AT STEEPER PITCHED ROOFS) TO ALIGN TOP OF FASCIA BOARD.

BUILDING HEIGHT COMPLIANCE

ROOF AREA OVER 28', AND  
BELOW 38' (30% MAX.)

10.0%

295 SF  
2946 SF (TOTAL ROOF AREA)

ROOF VENT CALCS

ZONE	AREA	MIN. NFVA (1/300)	PROPOSED HIGH (LF) / NFVA	PROPOSED LOW (LF) / NFVA
ZONE 1	1953 SF	937 in <sup>2</sup>	(10) 500 in <sup>2</sup>	*(56) 504 in <sup>2</sup>
ZONE 2	411 SF	197 in <sup>2</sup>	(3) 150 in <sup>2</sup>	*(17) 153 in <sup>2</sup>
ZONE 3	411 SF	197 in <sup>2</sup>	(2) 100 in <sup>2</sup>	*(12) 108 in <sup>2</sup>
ZONE 4	302 SF	145 in <sup>2</sup>	(2) 100 in <sup>2</sup>	*(12) 108 in <sup>2</sup>

HIGH - HAT VENTS NFVA = 50 in<sup>2</sup>  
NOTE: INSTALL PER MANUFACTURER SPECIFICATION.

LOW - VENTED SOFFIT BOARD, NFVA = 5 in<sup>2</sup>.  
NOTE: INSTALL PER MANUFACTURER SPECIFICATION.

\* LOW - LINEAR SHINGLE VENT, NFVA = 9 in<sup>2</sup>.  
NOTE: INSTALL PER MANUFACTURER SPECIFICATION.

NOTE: 'ROOFING CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION AREA OF THE VENT PRODUCTS INSTALLED AGAINST THOSE NOTES ABOVE AND THE VENTILATION REQUIRED BY CODE SHALL BE MAINTAINED  
UNLESS NOTES OTHERWISE IN THE STRUCTURAL OR TRUSS DRAWINGS.  
OPENINGS SHALL BE PROVIDED IN THE ROOF SHEATHING BETWEEN  
OVERFRAMED ROOF AREAS TO ALLOW AIR PASSAGE AND ACCESS BETWEEN  
THE ATTIC SPACES'

ROOF KEYNOTES

1	ASPHALT SHINGLES
2	LINE OF WALL/BEAM BELOW
3	ROOF BELOW
4	ROOF CRICKET
5	GUTTER WITH DOWNSPOUT
6	EDGE OF TRUSS

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ROOF PLAN

SHEET NUMBER:

A104B

# BAREFOOT LAKES BROOKFIELD RESIDENTIAL

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**PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET  
TOWN OF FIRESTONE, CO**

## EL ELEVATION NOTES

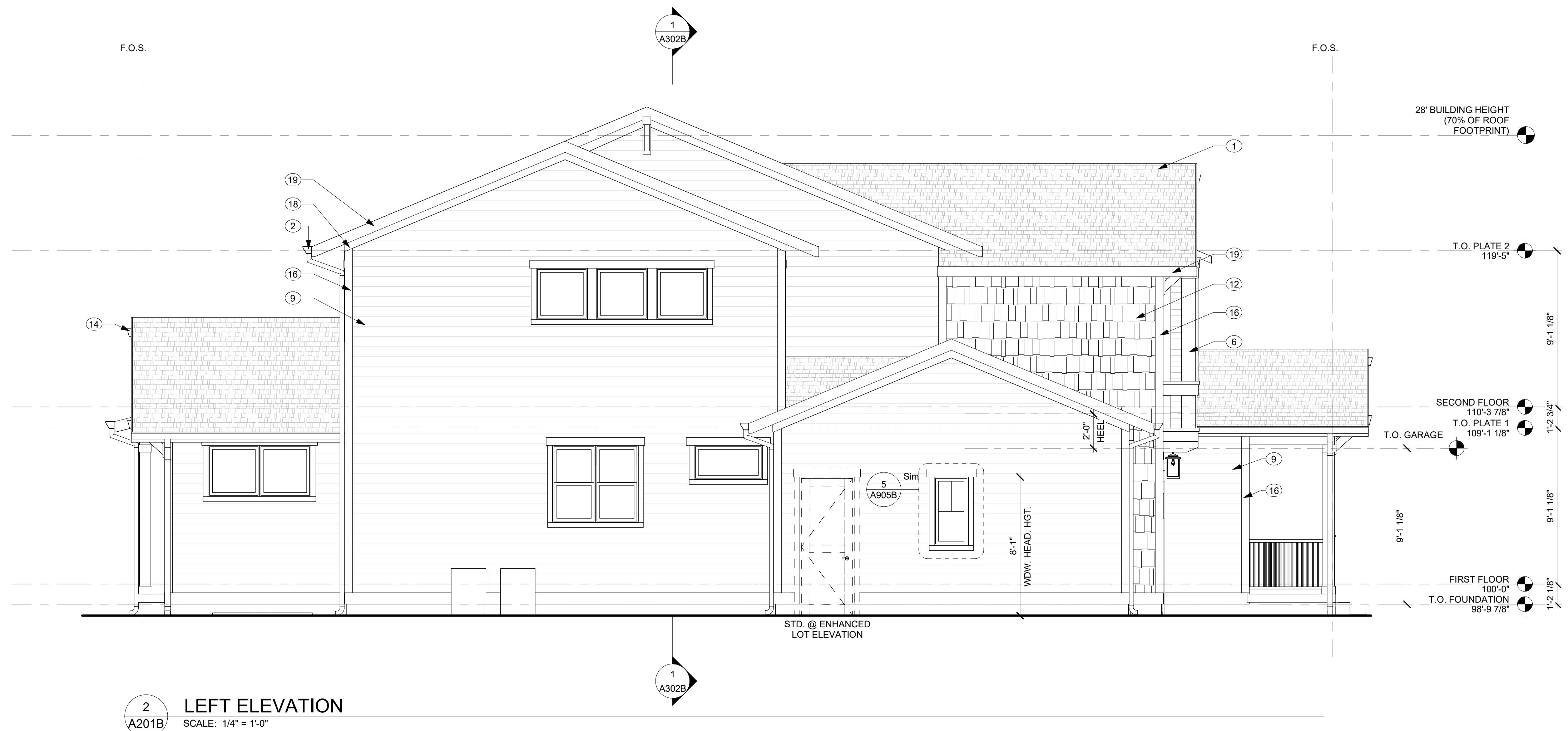
- ALL MANUFACTURED TRIM AND SIDING MATERIALS SHALL BE PAINTED.

ALL EXPOSED WOOD POSTS, BEAMS, AND TRIM SHALL BE PAINTED PER FINISH SPECIFICATIONS.

GUTTERS AND DOWNSPOUTS SHALL BE INSTALLED AT ALL ROOF DRAINAGE CONDITIONS. COORDINATE LOCATIONS w/ BUILDER.

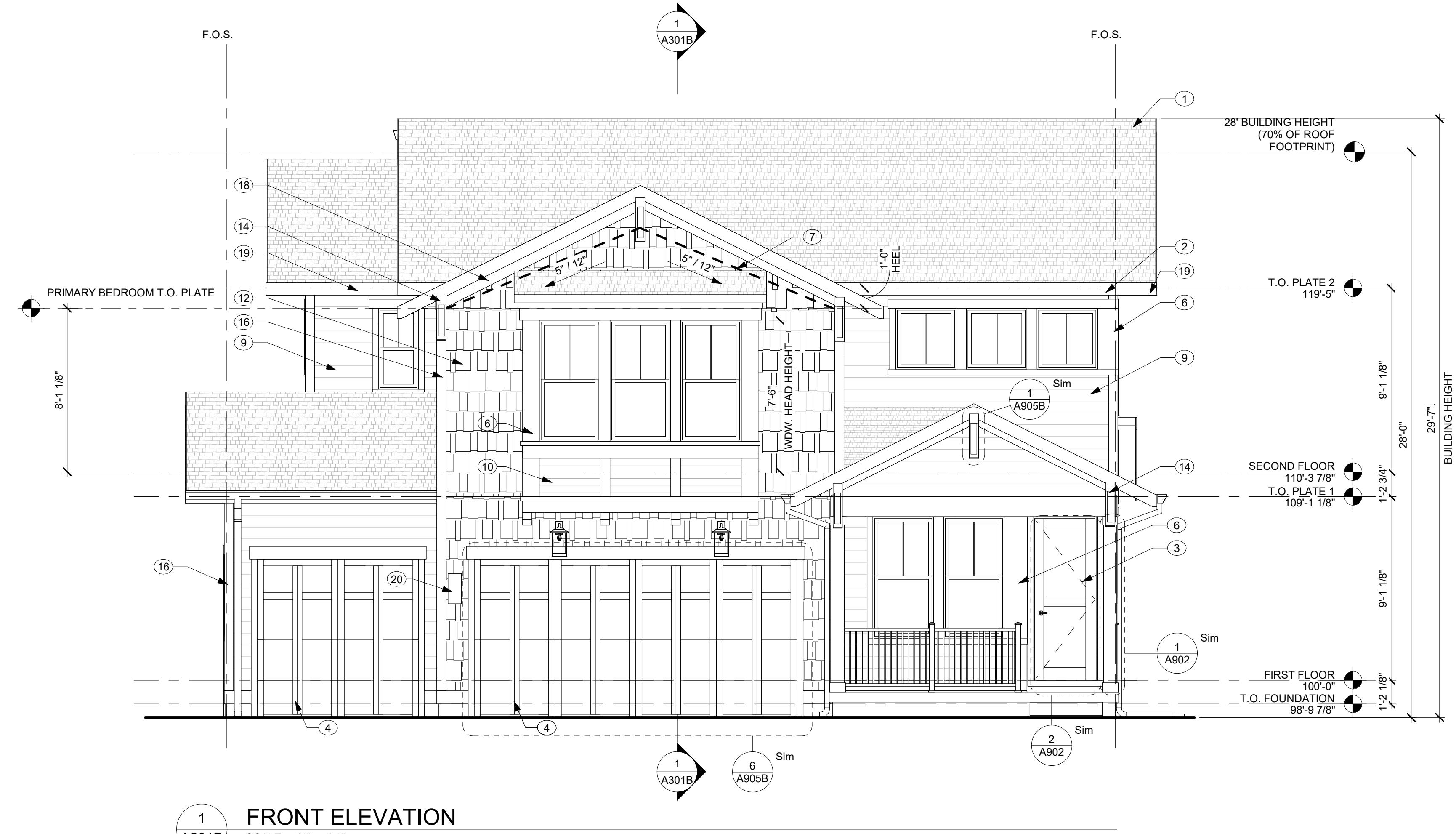
## INNOVATION KEYNOTES

	ASPHALT SHINGLES
	GUTTER WITH DOWNSPOUT
	8'-0" ENTRY DOOR PER SPEC.
	GARAGE DOOR PER SPEC.
	EXTERIOR COACH LIGHTING PER BUILDER SPEC.
	PAINTED TRIM, SMOOTH FINISH
	LINE OF VAULTED CEILING BEYOND
	BOARD AND BATTEN SIDING
	LAP SIDING W/ 6" REVEAL
0	LAP SIDING W/ 4" REVEAL
1	SMOOTH PANEL SIDING
2	SHAKE SIDING
3	WOOD COMPOSITE SIDING, PER BUILDER SPEC.
4	BRACKET PER BUILDER SPEC.
5	5/4x4 PAINTED CORNER BOARD, SMOOTH FINISH
6	5/4x6 PAINTED CORNER BOARD, SMOOTH FINISH
7	3 3/8" BORAL CROWN OVER 5/4x8 HELD TIGHT TO SOFFIT, TYP.
8	5/4x6 TRIM BOARD
9	5/4x8 FASCIA BOARD
0	ADDRESS PLATE PER BUILDER SPEC.
1	PACKAGE DROP-OFF, PER BUILDER SPEC.



2  
201B LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

LE: 1/4" = 1'-0"



# FRONT ELEVATION

201B) SCALE: 1/4" = 1'-0"

OWN BY: JK, JM  
CHECKED BY: O  
JECT NO: 2024023.2  
UE DATE: 10/28/202

## BUILDING ELEVATIONS

EEET  
MBER:

A2018



# BAREFOOT LAKES

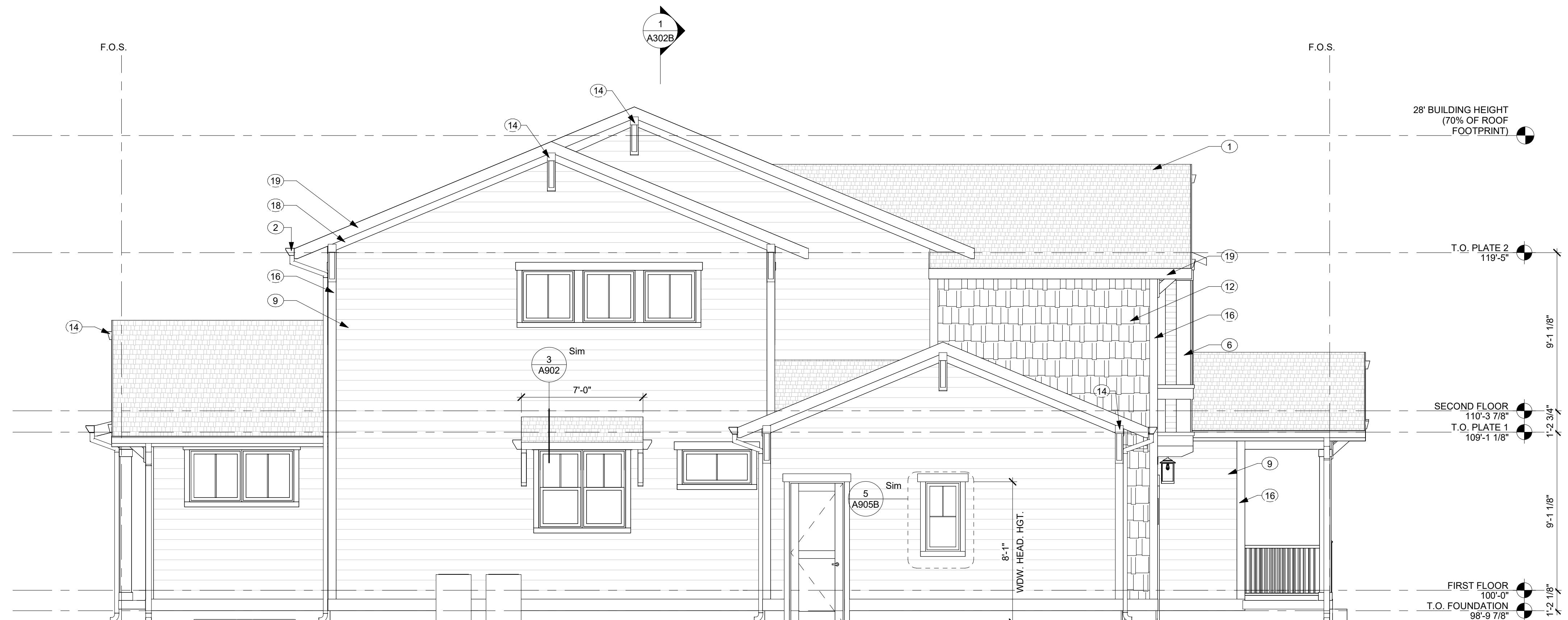
## BROOKFIELD RESIDENTIAL

**PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET  
TOWN OF FIRESTONE, CO**

# BUILDING ENHANCED ELEVATIONS

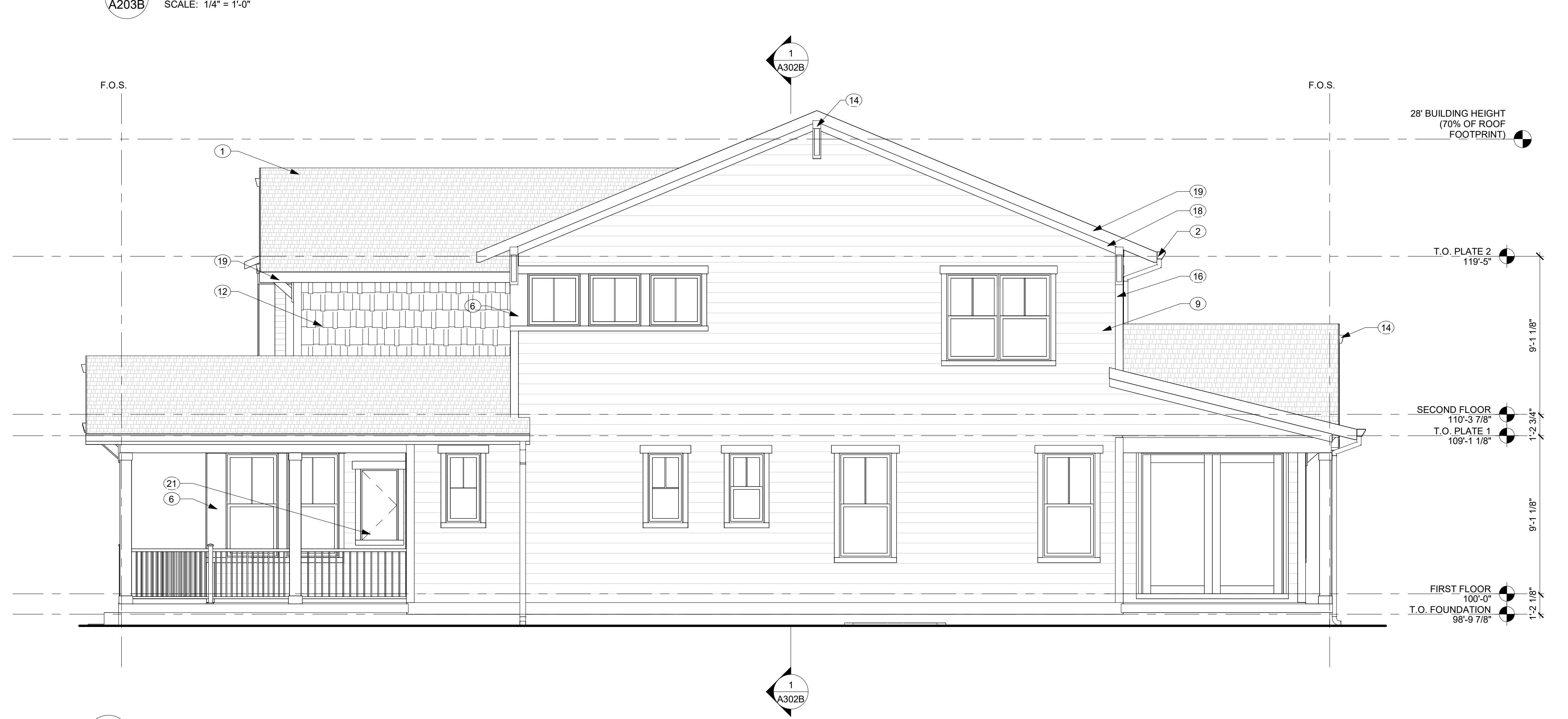
**STREET  
NUMBER:**

A203B



**2** LEFT ELEVATION - ENHANCED LOT  
A203B SCALE: 1/4" = 1'-0"

A203B SCALE: 1/4" = 1'-0"



1 RIGHT ELEVATION - ENHANCED LOT

(A203B) SCALE: 1/4" = 1'-0"

## ELEVATION NOTES

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- 2 GRADE LINES INDICATED ARE APPROXIMATE. BUILDER TO COORDINATE SITE SPECIFIC GRADING AT EACH LOT. PROVIDE POSITIVE SLOPE GRADING AWAY FROM STRUCTURE AT EACH LOT.
- 3 REFER TO ROOF PLANS FOR ROOFING MATERIAL, SLOPE AND BEARING INFO.
- 4 TYPICAL WINDOW HEAD HEIGHT TO BE AS FOLLOWS, REFER TO ELEVATIONS FOR NON-TYPICAL CONDITIONS:

BASEMENT:	7'-1" A.F.F.
FIRST FLOOR:	8'-1" A.F.F.
SECOND FLOOR:	7'-1" A.F.F.
- 5 ALL MANUFACTURED TRIM AND SIDING MATERIALS SHALL BE PAINTED.
- 6 ALL EXPOSED WOOD POSTS, BEAMS, AND TRIM SHALL BE PAINTED PER FINISH SPECIFICATIONS.
- 7 GUTTERS AND DOWNSPOUTS SHALL BE INSTALLED AT ALL ROOF DRAINAGE CONDITIONS. COORDINATE LOCATIONS w/ BUILDER.

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1	ASPHALT SHINGLES
2	GUTTER WITH DOWNSPOUT
3	8'-0" ENTRY DOOR PER SPEC.
4	GARAGE DOOR PER SPEC.
5	EXTERIOR COACH LIGHTING PER BUILDER SPEC.
6	PAINTED TRIM, SMOOTH FINISH
7	LINE OF VAULTED CEILING BEYOND
8	BOARD AND BATTEN SIDING
9	LAP SIDING W/ 6" REVEAL
10	LAP SIDING W/ 4" REVEAL
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12	SHAKE SIDING
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15	5/4x4 PAINTED CORNER BOARD, SMOOTH FINISH
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17	3 3/8" BORAL CROWN OVER 5/4x8 HELD TIGHT TO SOFFIT, TYP.
18	5/4x6 TRIM BOARD
19	5/4x8 FASCIA BOARD
20	ADDRESS PLATE PER BUILDER SPEC.
21	PACKAGE DROP-OFF, PER BUILDER SPEC.

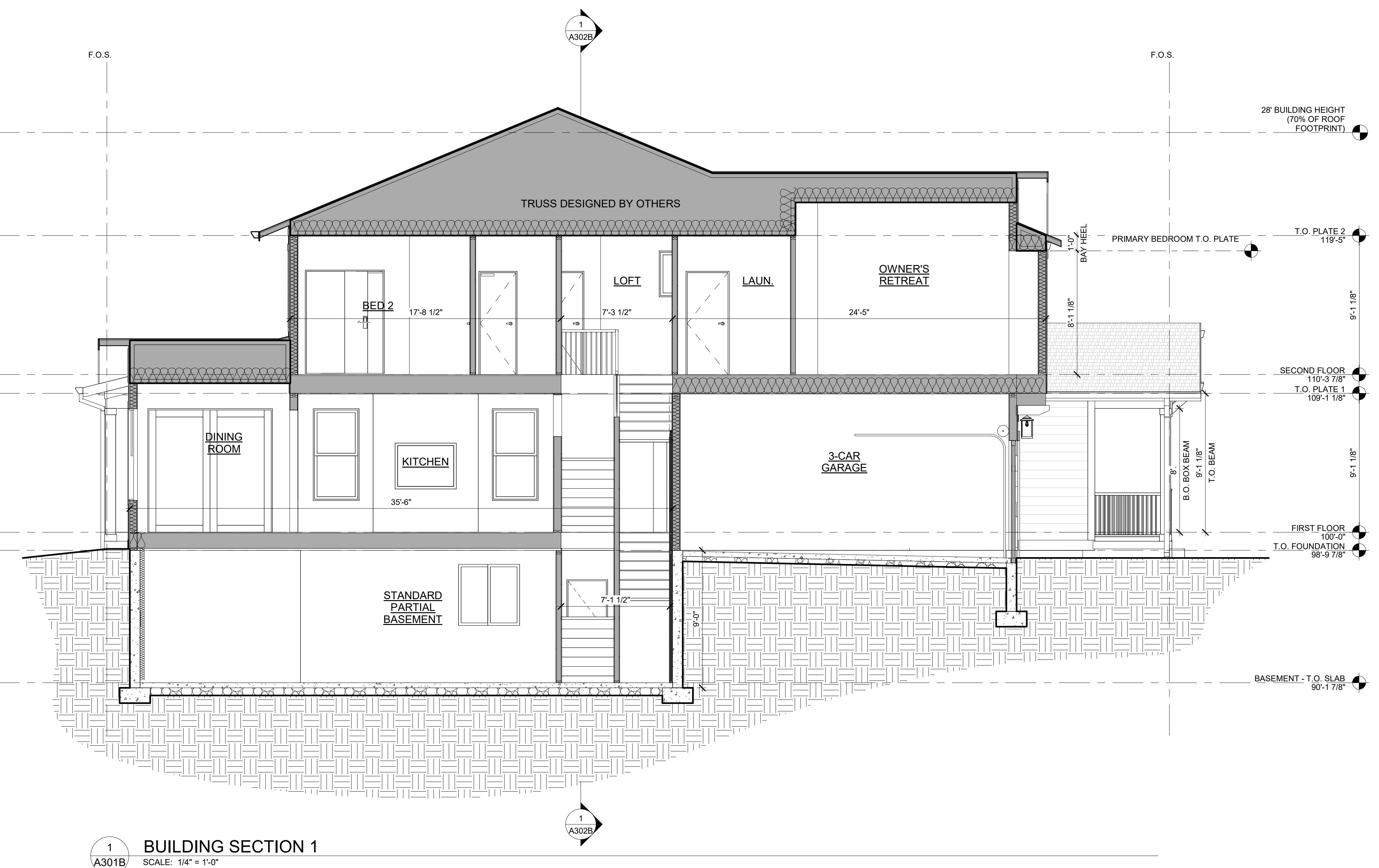
ENHANCED ELEVATION REQUIREMENTS					
PER FIRESTONE CODE: AN ELEVATION THAT FACES THE STREET, PARK, TRAIL CORRIDOR, OR OPEN SPACE AREA SHALL PROVIDE AN ENHANCED ELEVATION WITH <b>3 OR MORE</b> OF THE FOLLOWING DESIGN ENHANCEMENTS.					
GABLE STYLE	ADDITION OF (1) WINDOW OR DOOR	CHANGE IN WALL PLANE	COVERED PORCH OR DECK	ADDITIONAL DESIGN DETAILS	USE OF A MIN. OF (2) EXTERIOR CLADDING MATERIALS
LEFT ELEVATION (4 TOTAL)	(1) ADDITIONAL DOOR	(4) CHANGE IN WALL PLANES	(N/A)	GABLE BRACKETS, WINDOW LITES	HARDIE 7" SIDING AND HARDIE SHAKE SIDING
RIGHT ELEVATION (4 TOTAL)	N/A	(3) CHANGE IN WALL PLANES	FRONT AND REAR COVERED PORCH	GABLE BRACKETS, WINDOW LITES	HARDIE 7" SIDING AND HARDIE SHAKE SIDING

Drawing: C:\Users\Jmiller\Documents\2024023\_20\_Plan 1\_R24\_jmillerCMY4.jrv  
Layout: #####  
Last Saved: 10/28/2024 4:05:03 PM  
Last Plotted: ---  
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## BAREFOOT LAKES

BROOKFIELD RESIDENTIAL

PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET  
TOWN OF FIRESTONE, CO



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21	PACKAGE DROP-OFF, PER BUILDER SPEC.

DRAWN BY: JK, JM  
CHECKED BY: OL  
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BUILDING SECTIONS

SHEET NUMBER:

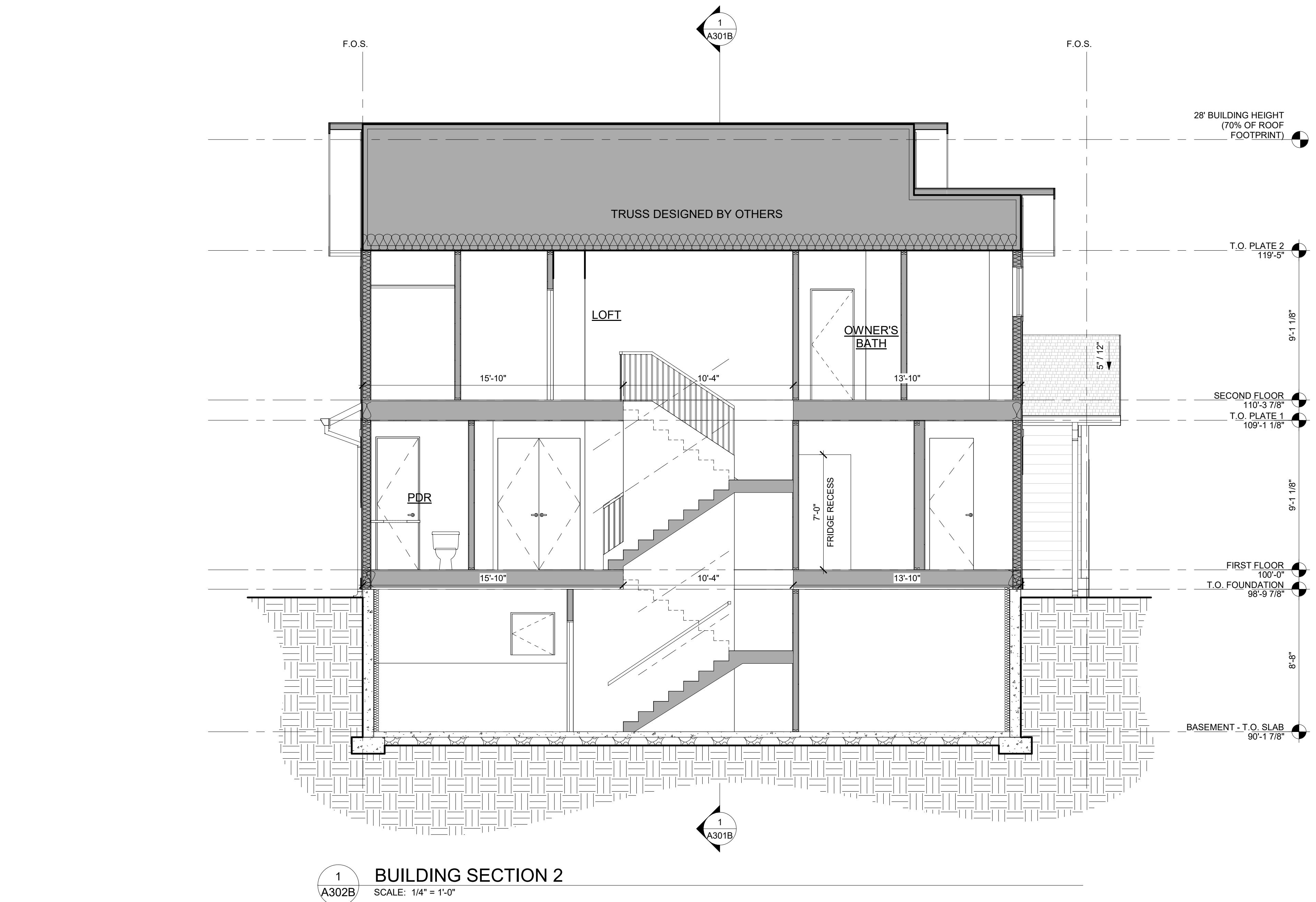
A301B

## BAREFOOT LAKES

BROOKFIELD RESIDENTIAL

PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET

TOWN OF FIRESTONE, CO



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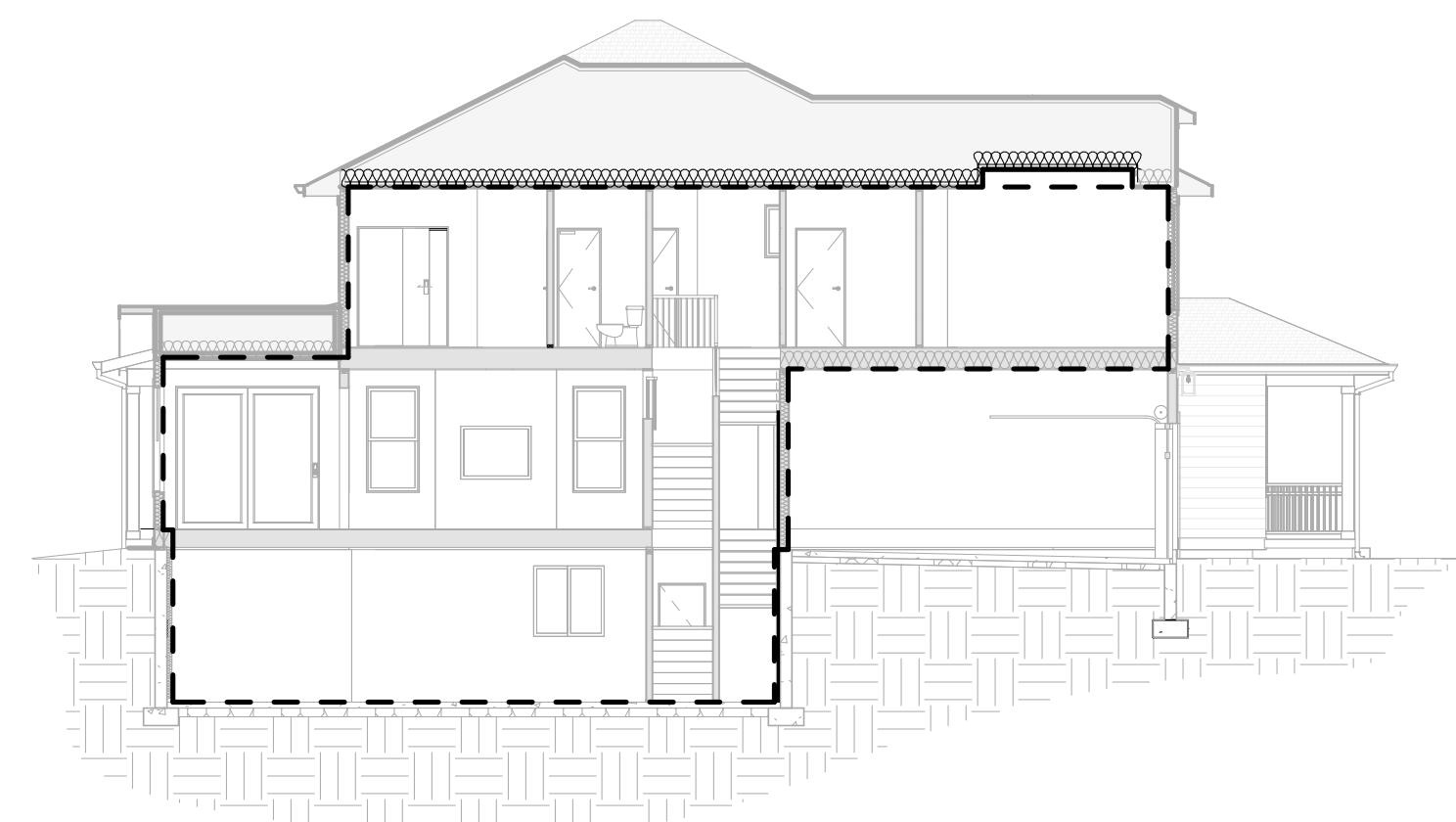
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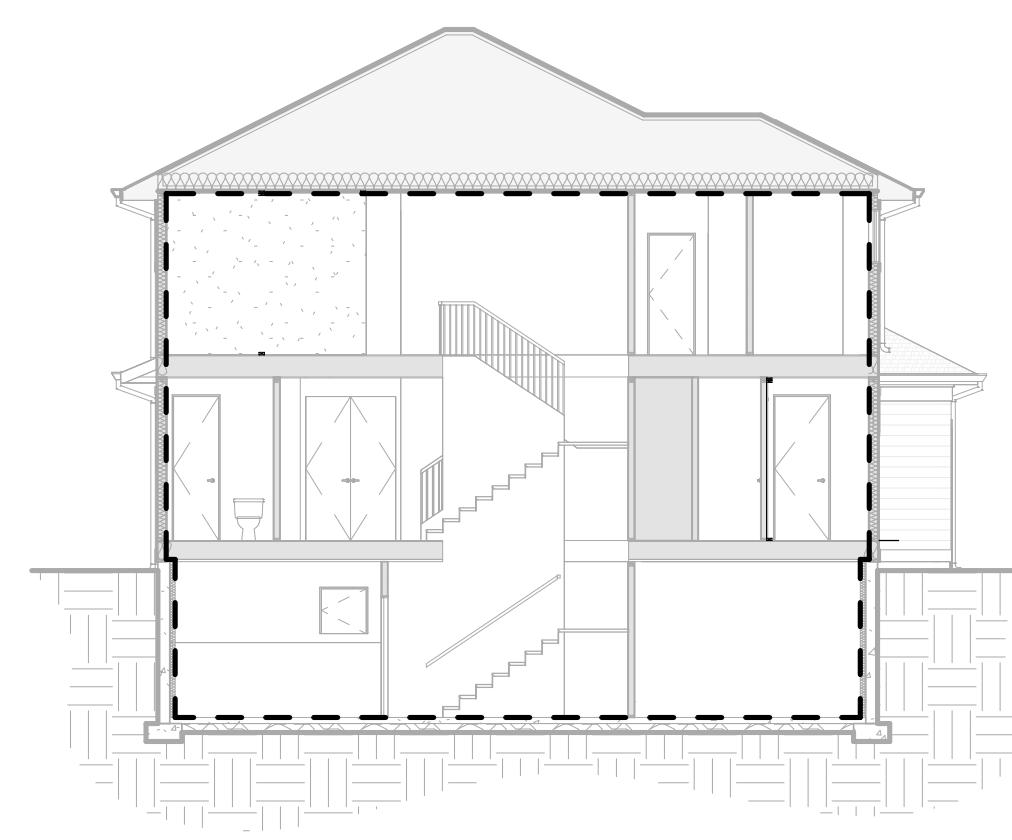
A302B

**BAREFOOT LAKES**  
BROOKFIELD RESIDENTIAL

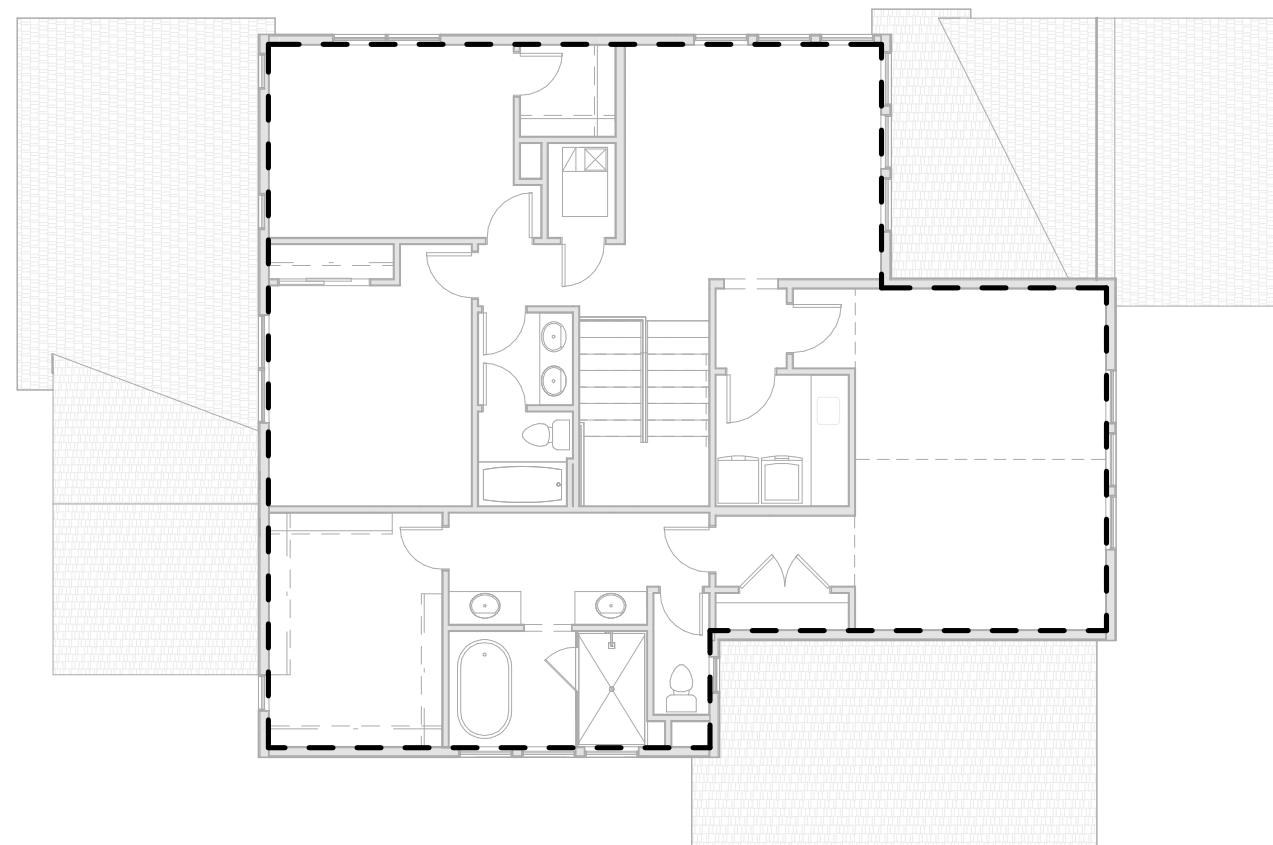
PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET  
TOWN OF FIRESTONE, CO



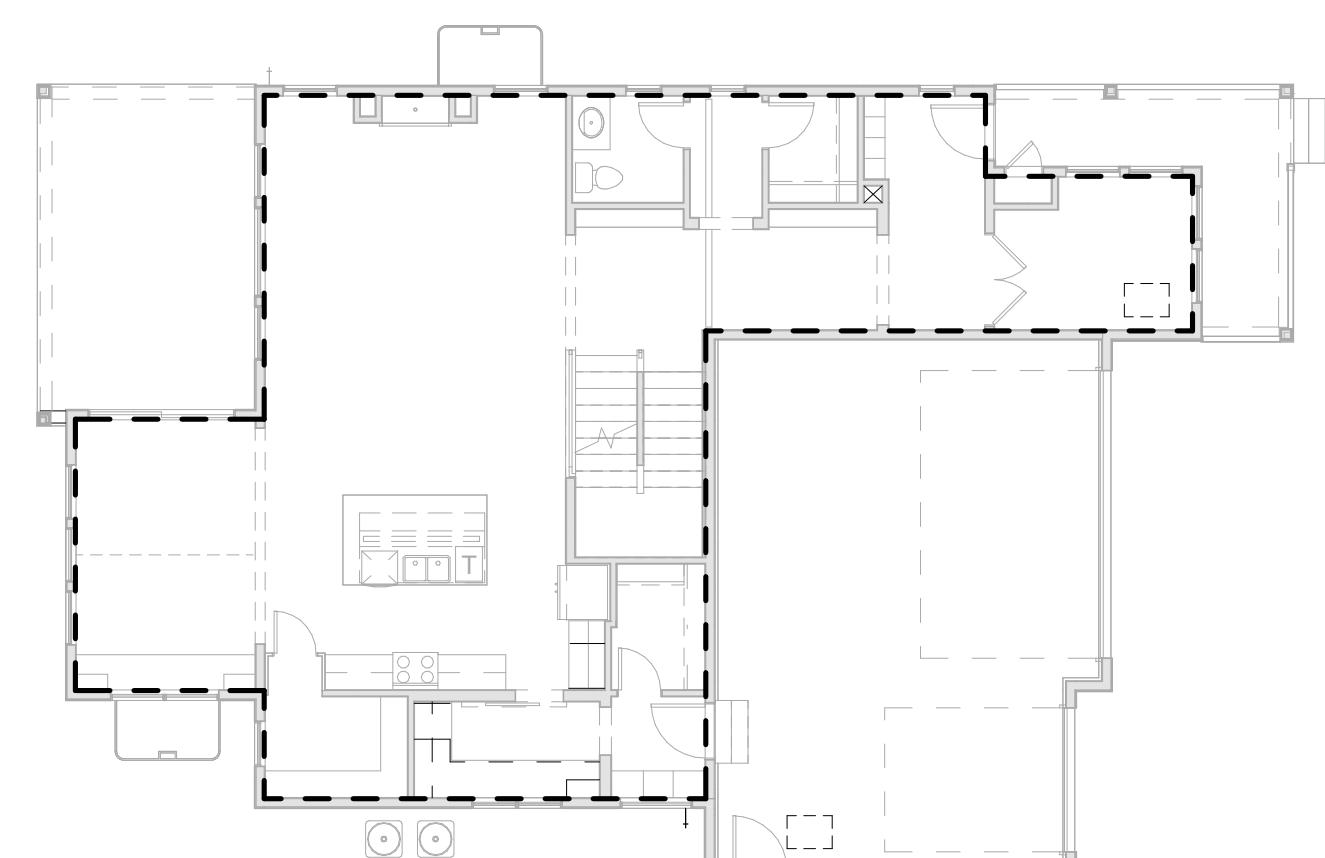
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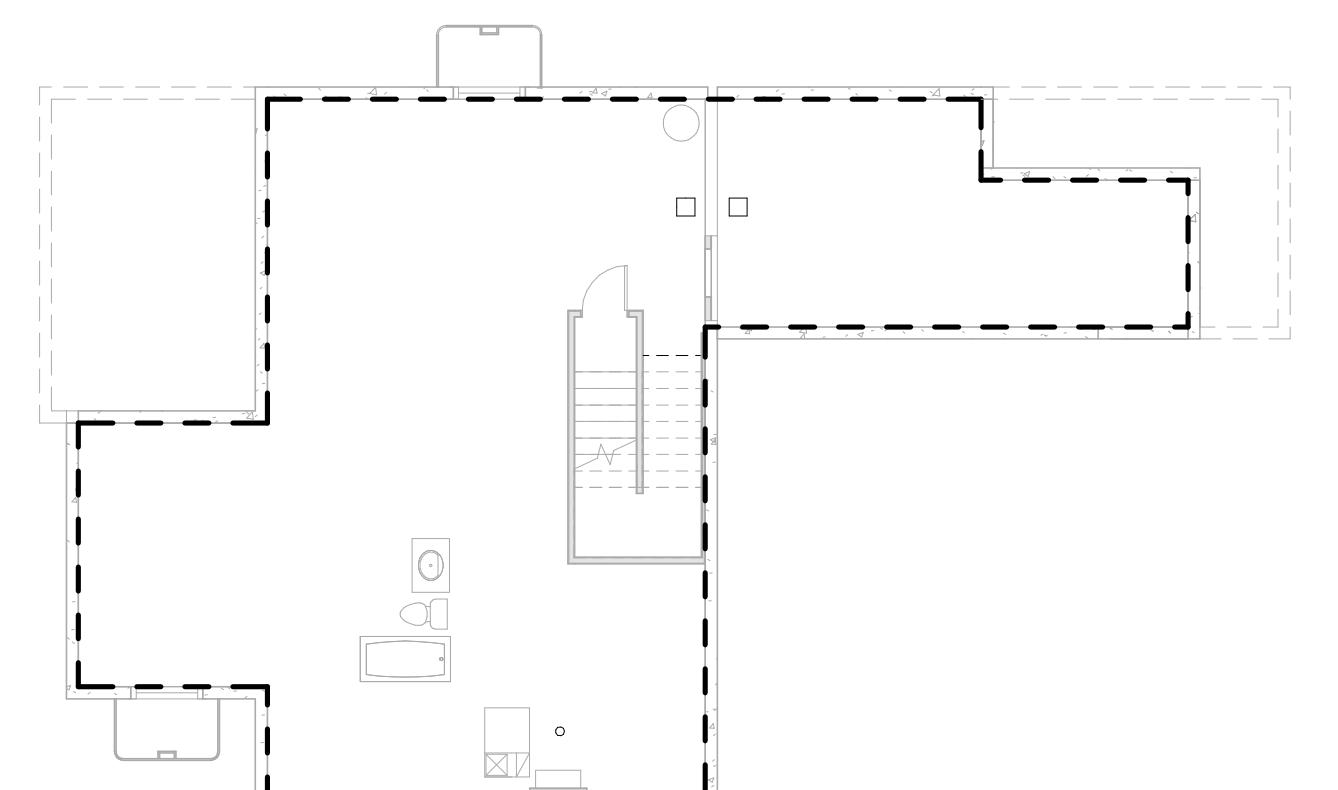
**BUILDING SECTION 2**  
A010C



**SECOND FLOOR PLAN**  
A010C



**FIRST FLOOR PLAN**  
A010C



**STANDARD PARTIAL BASEMENT PLAN**  
A010C

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PROJECT NO: 2024023.20  
ISSUE DATE: 10/28/2024  
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ENERGY CODE  
COMPLIANCE

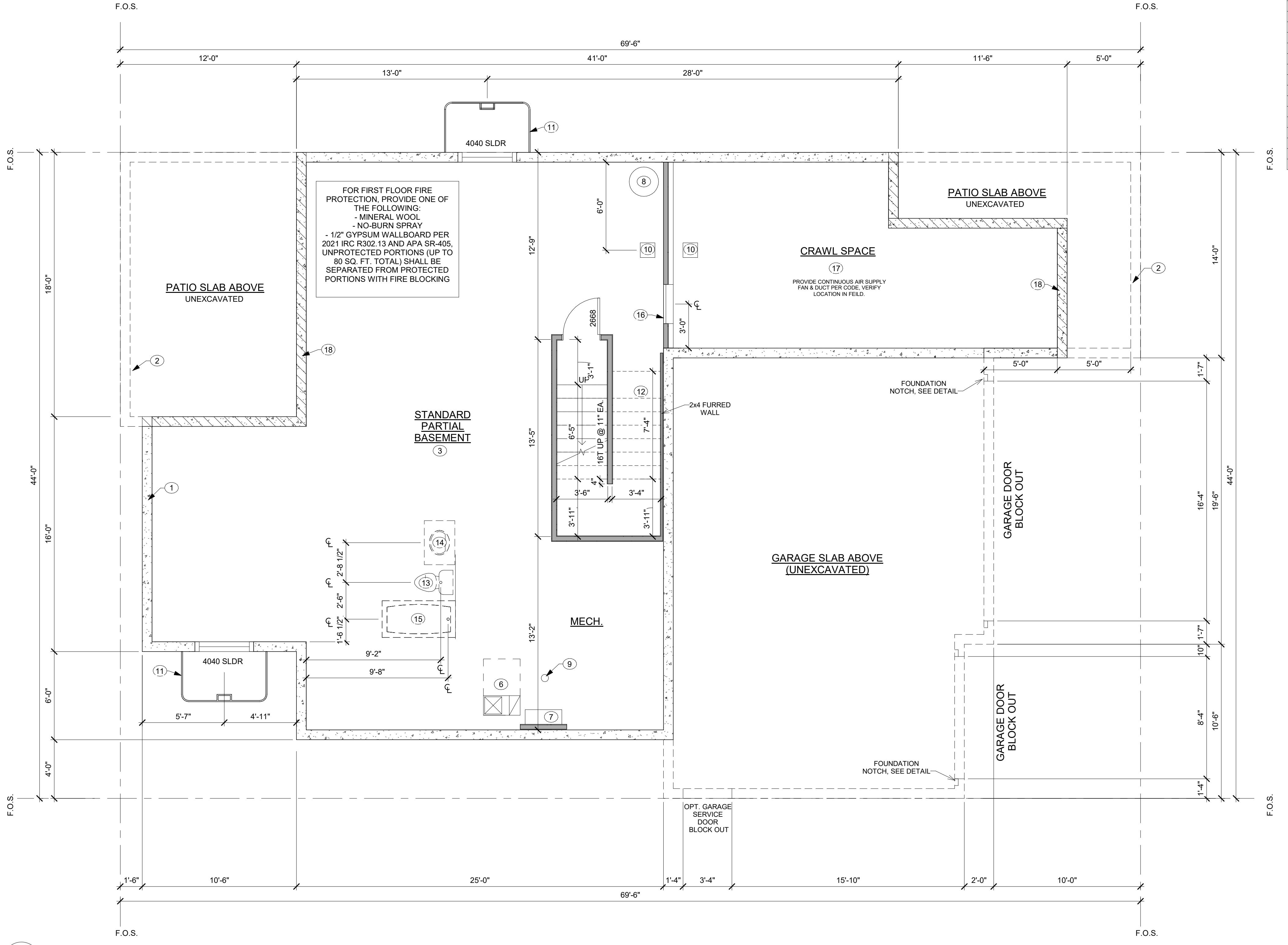
SHEET  
NUMBER:  
**A010C**

PLAN NOTES

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- REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION AND CONCRETE SLAB SPECIFICATIONS.
- EXTENTS OF CONCRETE FOUNDATION WALLS WILL VARY PER INDIVIDUAL SITE GRADING. REFER TO SITE SPECIFIC FOUNDATION PLANS.
- ALL WINDOW DIMENSIONS ARE SHOWN TO CENTERLINE OF ROUGH OPENING.
- ALL INTERIOR PARTITIONS TO BE 2X4, UNO.
- ALL EXTERIOR WALLS TO BE 2X6, UNO.

BASEMENT KEYNOTES

1	CONCRETE FOUNDATION WALLS, PER STRUCTURAL PLANS
2	LINE OF FOUNDATION/GRADE BEAM ABOVE, PER STRUCTURAL PLANS
3	CONCRETE SLAB, PER STRUCTURAL PLANS
4	LINE OF FRAMING ABOVE
5	WALL FURRING W/ INSULATION
6	FURNACE, COORDINATE W/ MECHANICAL
7	WATER HEATER, COORDINATE W/ MECHANICAL
8	SUMP PIT & ELECTRIC PUMP, VERIFY W/ SITE SUPERINTENDENT
9	FLOOR DRAIN
10	RADON MITIGATION SYSTEM, BY OTHER
11	<varies>
12	UNDER-STAIR PROTECTION PER IRC - R302.7
13	WATER CLOSET ROUGH IN
14	LAVATORY/SINK ROUGH IN, PER BUILDER SPEC.
15	SHOWER/TUB COMBO ROUGH-IN, PER BUILDER SPEC.
16	30"X30" CRAWL SPACE ACCESS PANEL, PER BUILDER SPEC
17	10 MIL VAPOR BARRIER
18	RAISED FOUNDATION WALL AT PORCH AND PATIO, SEE DETAIL



**BAREFOOT LAKES**

BROOKFIELD RESIDENTIAL

PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET

TOWN OF FIRESTONE, CO

DRAWN BY: JK, JM  
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PROJECT NO: 2024023.20  
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STANDARD  
BASEMENT PLAN

SHEET  
NUMBER:

A100C

PLAN NOTES

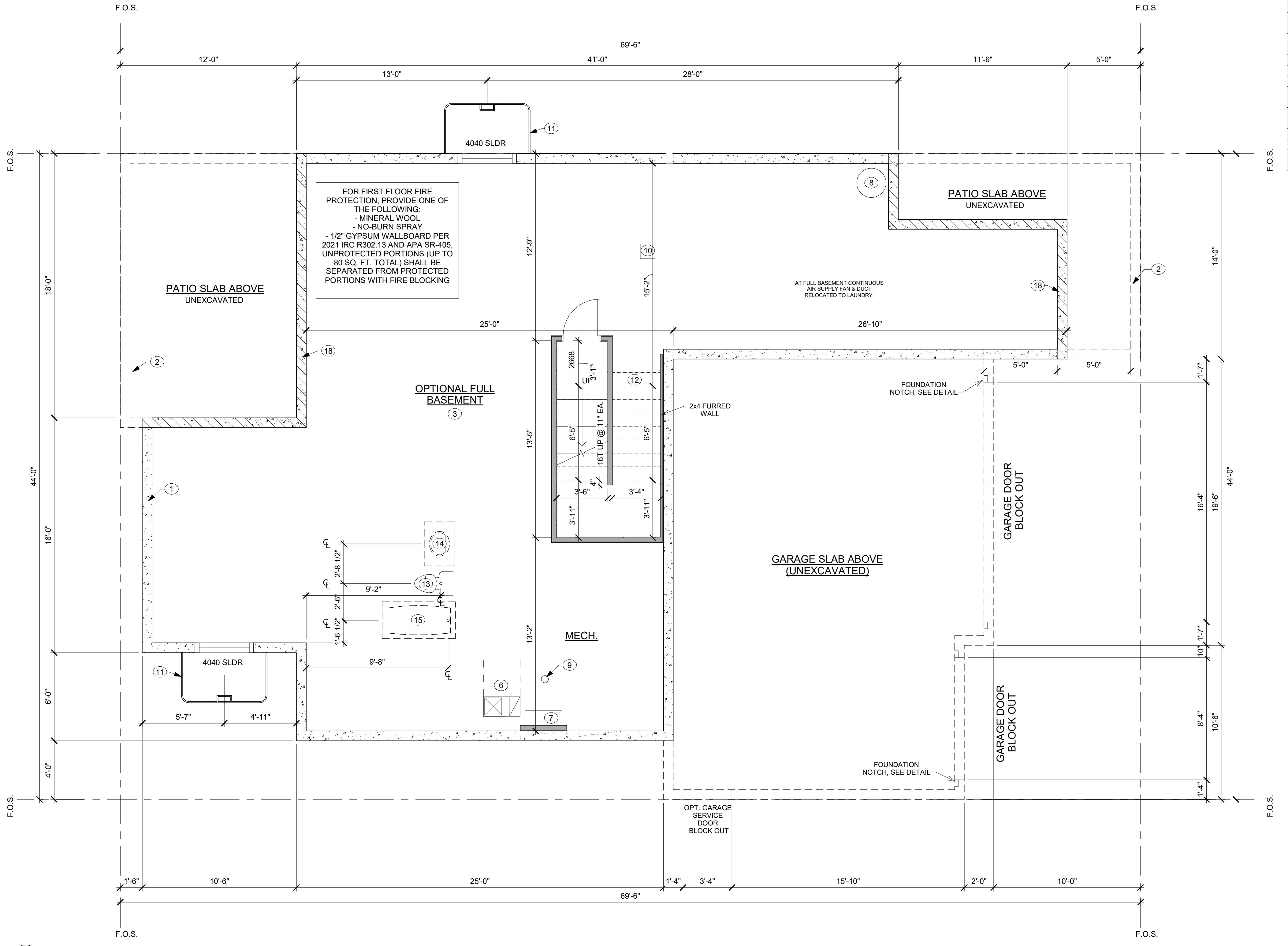
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17	10 MIL VAPOR BARRIER
18	RAISED FOUNDATION WALL AT PORCH AND PATIO, SEE DETAIL

**BAREFOOT LAKES**  
BROOKFIELD RESIDENTIAL

PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET  
TOWN OF FIRESTONE, CO



DRAWN BY: JK, JM  
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ISSUE DATE: 10/28/2024  
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OPTIONAL FULL  
BASEMENT PLAN

SHEET  
NUMBER:

A101C

## BAREFOOT LAKES

BROOKFIELD RESIDENTIAL

PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET

TOWN OF FIRESTONE, CO

### PLAN NOTES

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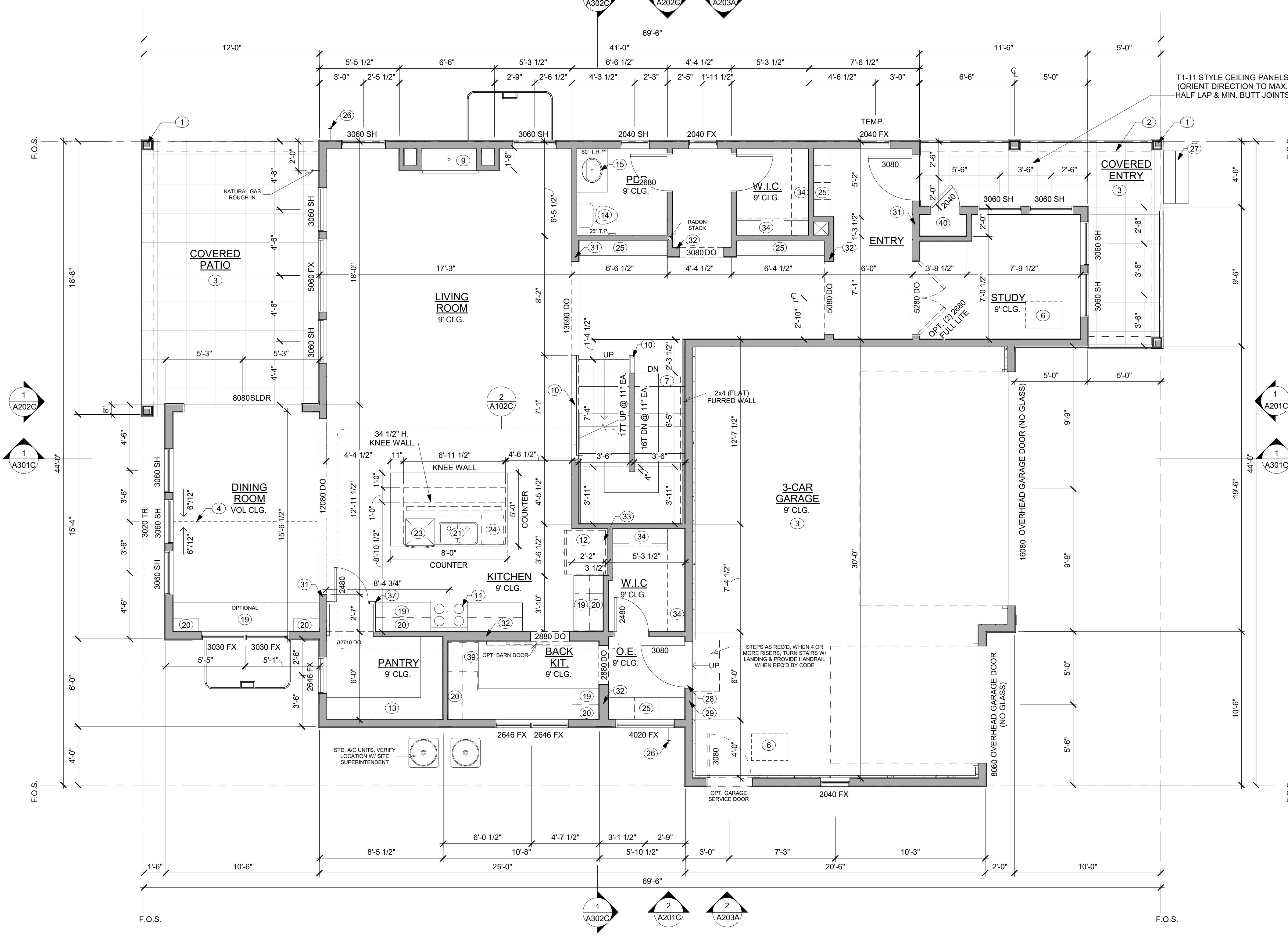
### PLAN KEYNOTES

- COLUMN, PER STRUCTURAL PLANS
- LINE OF FUX BEAMS ABOVE, PER BUILDING SPEC.
- CONCRETE SLAB, PER STRUCTURAL PLANS
- SOFFIT OR LINE OF CEILING PLAN CHANGE ABOVE
- LINE OF WALL ABOVE
- ATTIC ACCESS HATCH ABOVE, MECH PLenum
- UNDER-STAIR PROTECTION PER IRC - R302.7
- FURNACE, COORDINATE W/ MECHANICAL
- GAS FIREPLACE, PER BUILDER SPEC.
- RAILING, PER BUILDER SPEC.
- 30" RANGE W/ MICRO ABOVE, PER BUILDER SPEC
- REFRIGERATOR, PER BUILDING SPEC
- 5 SHELVES U.N.O., 16" DEPTH @ 16", 29", 43", 55" & 68" HEIGHT, VERIFY IN FIELD
- WATER CLOSET, PER BUILDER SPEC.
- LAVATORY/SINK, PER BUILDER SPEC.
- 30"X60" TUB, PER BUILDER SPEC
- 36"X66" FREE STANDING TUB, PER BUILDER SPEC
- SHOWER W/ TEMPERED GLASS ENCLOSURE, PER BUILDER SPEC. W/ SEAT 18" DEEP AND 18" HIGH
- COUNTER & BASE CABINETS, PER BUILDER SPEC
- UPPER CABINETS, PROVIDE WALL BLOCKING, PER BUILDER SPEC
- DOUBLE BASIN SINK
- OPTIONAL 18" UTILITY SINK
- 24" DISHWASHER
- 18" PULL OUT TRASH, COORD. W/ CABINET MANUFACTURERS
- OPT. BUILT-IN CASEWORK, PER BUILDER SPEC.
- HOSE BIBS, VERIFY LOCATION W/ BUILDER
- STEPS MAY VERY PER GRADE, FIELD VERIFY
- DWELLING/GARAGE OPENING PROTECTION PER IRC-302.5.1 SEALED, 20 MIN FIRE RATED DOOR, SELF CLOSING
- DWELLING/GARAGE FIRE SEPARATION PER IRC-302.6
- CABINET END PANEL
- 2X6 WALL
- DOUBLE 2X4 WALL
- PROVIDE FRAMING ABOVE FRIDGE NICHE TO INSTALL UPPER CABINETS +72"
- 1 ROD AND 1 SHELF, PER BUILDER SPEC.
- 2 ROD AND 2 SHELF, PER BUILDER SPEC.
- HALF WALL W/CAP AT STAIRS, OPTIONAL RAILING
- CABINETRY (HIDDEN PANTRY DOOR)
- 18"X12" SHOWER SHAMPOO NICHE
- 24" UNDERCOUNTERTOP CLEAR SPACE
- PACKAGE DROP-OFF WALL INSERT, PER BUILDING SPEC.
- FLOOR DRAIN
- NOTE: DRYER ALWAYS TO THE RIGHT OF WASHER

### OPTIONAL GOURMET KITCHEN

SCALE: 1/4" = 1'-0"

F.O.S.



### FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

A102C

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CHECKED BY: OL  
PROJECT NO: 2024023.20  
ISSUE DATE: 10/28/2024  
REVISIONS:

FIRST FLOOR PLAN

SHEET NUMBER:

A102C

## BAREFOOT LAKES

BROOKFIELD RESIDENTIAL

PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET

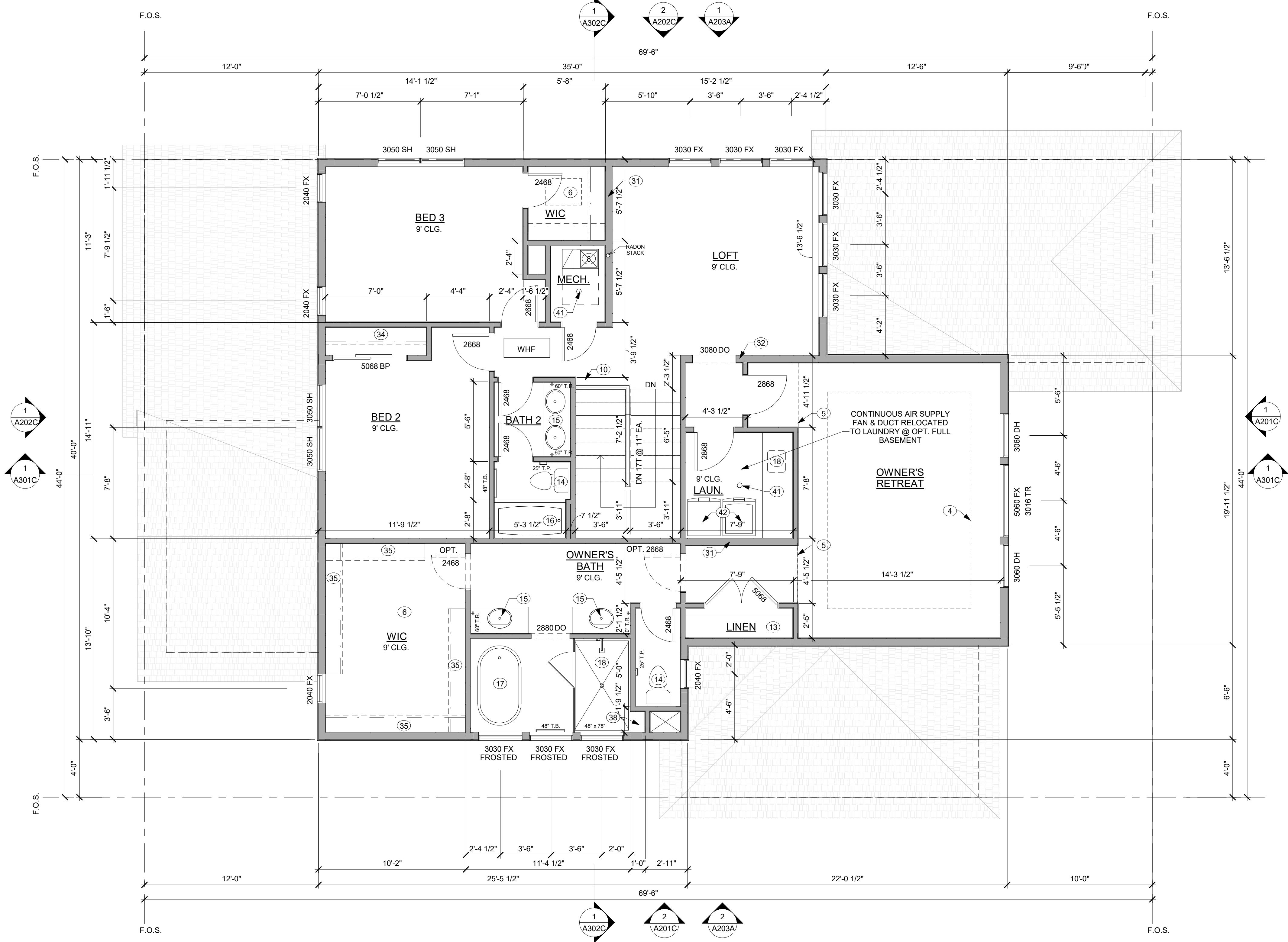
TOWN OF FIRESTONE, CO

### PLAN NOTES

- ALL DIMENSIONS INDICATED ARE TO FACE OF FRAMING OR STRUCTURE, UNO.
- REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION AND CONCRETE SLAB SPECIFICATIONS.
- EXTENTS OF CONCRETE FOUNDATION WALLS WILL VARY PER INDIVIDUAL SITE GRADING. REFER TO SITE SPECIFIC FOUNDATION PLANS.
- ALL WINDOW DIMENSIONS ARE SHOWN TO CENTERLINE OF ROUGH OPENING.
- ALL INTERIOR PARTITIONS TO BE 2X4, UNO.
- ALL EXTERIOR WALLS TO BE 2X6, UNO.

### PLAN KEYNOTES

1	COLUMN, PER STRUCTURAL PLANS
2	LINE OF FLOOR BEAMS ABOVE, PER BUILDING SPEC.
3	CONCRETE SLAB, PER STRUCTURAL PLANS
4	SOFFIT OR LINE OF CEILING PLAN CHANGE ABOVE
5	LINE OF WALL ABOVE
6	ATTIC ACCESS HATCH ABOVE, MECH PLenum
7	UNDER-STAIR PROTECTION PER IRC - R302.7
8	FURNACE, COORDINATE W/ MECHANICAL
9	GAS FIREPLACE, PER BUILDER SPEC.
10	RAILING, PER BUILDER SPEC.
11	30" RANGE W/ MICRO ABOVE, PER BUILDER SPEC
12	REFRIGERATOR, PER BUILDING SPEC
13	5 SHELVES U.N.O., 16" DEPTH @ 16", 29", 43", 55" & 68" HEIGHT, VERIFY IN FIELD
14	WATER CLOSET, PER BUILDER SPEC.
15	LAVATORY/SINK, PER BUILDER SPEC.
16	30"X60" TUB, PER BUILDER SPEC
17	36"X66" FREE STANDING TUB, PER BUILDER SPEC.
18	SHOWER W/ TEMPERED GLASS ENCLOSURE, PER BUILDER SPEC. W/ SEAT 18" DEEP AND 18" HIGH
19	COUNTER & BASE CABINETS, PER BUILDER SPEC.
20	UPPER CABINETS, PROVIDE WALL BLOCKING, PER BUILDER SPEC
21	DOUBLE BASIN SINK
22	OPTIONAL 18" UTILITY SINK
23	24" DISHWASHER
24	18" PULL OUT TRASH, COORD. W/ CABINET MANUFACTURERS
25	OPT. BUILT-IN CASEWORK, PER BUILDER SPEC.
26	HOSE BIB, VERIFY LOCATION W/ BUILDER
27	STEPS MAY VERY PER GRADE, FIELD VERIFY
28	DWELLING/GARAGE OPENING PROTECTION PER IRC-302.5.1 SEALED, 20 MIN FIRE RATED DOOR, SELF CLOSING
29	DWELLING/GARAGE FIRE SEPARATION PER IRC-302.6
30	CABINET END PANEL
31	2X6 WALL
32	DOUBLE 2X4 WALL
33	PROVIDE FRAMING ABOVE FRIDGE NICHE TO INSTALL UPPER CABINETS +7"
34	1 ROD AND 1 SHELF, PER BUILDER SPEC.
35	2 ROD AND 2 SHELF, PER BUILDER SPEC.
36	HALF WALL W/CAP AT STAIRS, OPTIONAL RAILING
37	CABINETRY (HIDDEN PANTRY DOOR)
38	18"X12" SHOWER SHAMPOO NICHE
39	24" UNDERCOUNTER TOP CLEAR SPACE
40	PACKAGE DROP-OFF WALL INSERT, PER BUILDING SPEC.
41	FLOOR DRAIN
42	NOTE: DRYER ALWAYS TO THE RIGHT OF WASHER



SECOND FLOOR PLAN  
A103C

SCALE: 1/4" = 1'-0"

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PROJECT NO: 2024023.20  
ISSUE DATE: 10/28/2024  
REVISIONS:

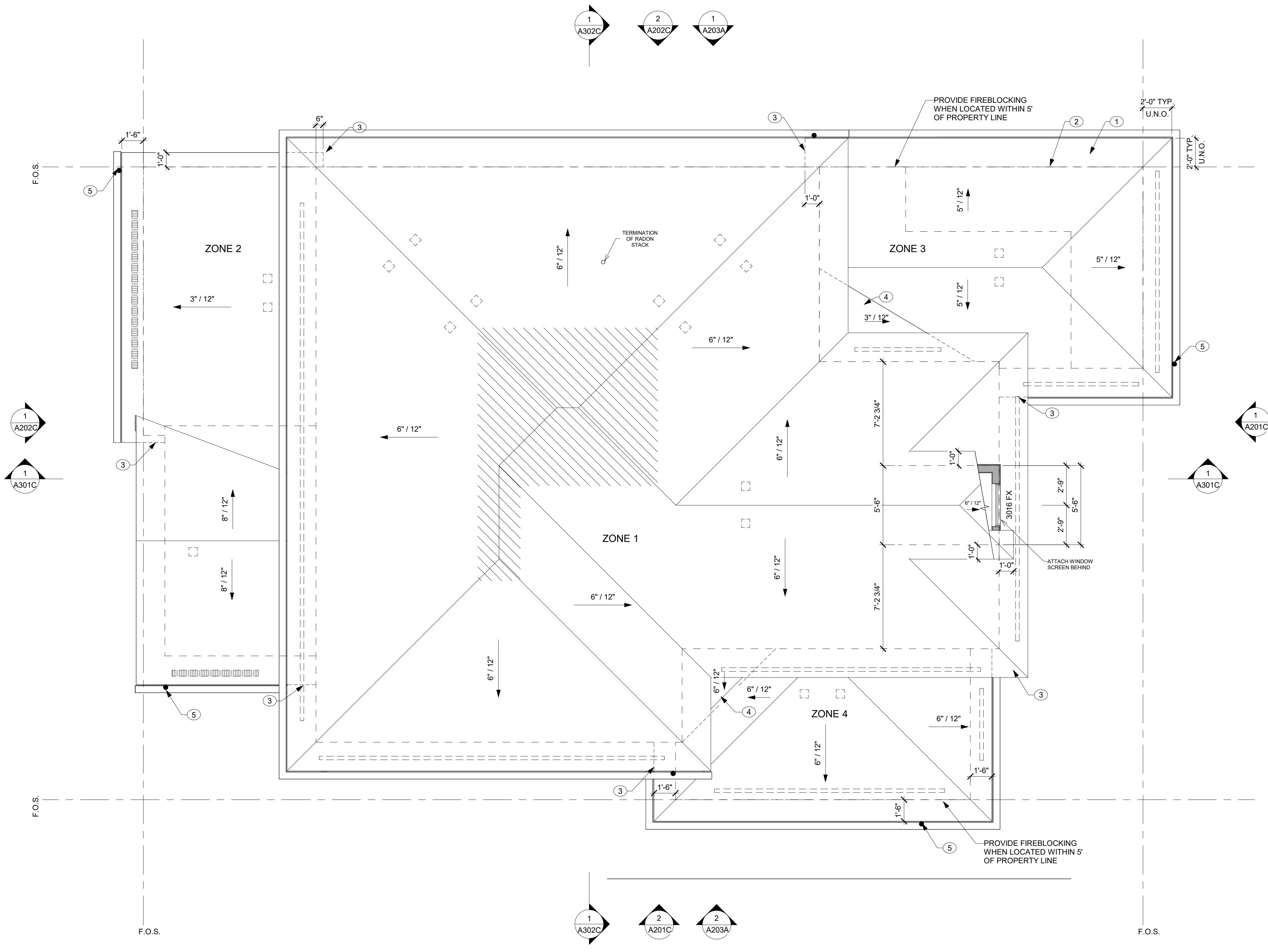
SECOND FLOOR  
PLAN

SHEET  
NUMBER:

A103C

**BAREFOOT LAKES**  
BROOKFIELD RESIDENTIAL  
TOWN OF FIRESTONE, CO

PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET



1 A104C  
ROOF PLAN

SCALE: 1/4" = 1'-0"

ROOF NOTES

- ALL DIMENSIONS INDICATED ARE TO FACE OF FRAMING OR STRUCTURE, UNO.
- ELEVATION DRAWINGS DEPICT DESIGN INTENT ONLY. SEE STRUCTURAL DRAWINGS FOR ROOF FRAMING PLANS AND TRUSS INFORMATION.
- GRADE LINES INDICATED ARE APPROXIMATE. BUILDER TO COORDINATE SITE SPECIFIC GRADING AT EACH LOT. PROVIDE POSITIVE SLOPE GRADING AWAY FROM STRUCTURE.
- PROVIDE SELF-ADHERING WATERPROOF MEMBRANE UNDERLayment AT ROOF PERIMETER AND EXTEND 5'-0" FROM THE EAVE EDGE.
- ALL ROOF PENETRATIONS SHALL BE FLASHED AND SEALED PER MFR'S RECOMMENDATIONS.
- VERIFY ALL GUTTER AND DOWNSPOUT LOCATIONS IN THE FIELD WITH BUILDER. DOWNSPOUTS SHOULD BE PROVIDED EVERY 25'-30 FEET MAX. AND AT LEAST (1) PER SIDE OF GUTTER. OUTLET TO SPLASH BLOCKS OR CONNECT TO SOLID SUBSURFACE PIPING.
- AT SLOPES LESS THAN 4:12, PROVIDE UNDERLayment PER MFR'S LOW SLOPE SPECIFICATIONS.
- IF SOLAR IS TO BE IMPLEMENTED, ENSURE THAT ALL SUPPORT PENETRATIONS ARE PROPERLY FLASHED INTO THE ROOF UNDERLayment AND SHINGLE LAYERS. HOLD THEM AWAY FROM THE EDGE FOR SAFE MAINTENANCE ACCESS.
- PROTECT LOWER ROOF AT DOWNSPOUT OUTLET WITH A SPLASH PAN.
- PROVIDE FIRE RATED PROTECTION AT RAKES & EAVES WHERE REQUIRED BY CODE.
- 12 INCH HEEL TYPICAL AT LOWEST SLOPED ROOF. TRUSS DESIGNER TO ADJUST ADJACENT HEEL HEIGHTS (AT STEEPER PITCHED ROOFS) TO ALIGN TOP OF FASCIA BOARD.

BUILDING HEIGHT COMPLIANCE

	ROOF AREA OVER 28', AND BELOW 38' (30% MAX.)
5.3%	157 SF 2935 SF (TOTAL ROOF AREA)

ROOF VENT CALCS

ZONE	AREA	MIN. NFVA (1/300)	PROPOSED HIGH (LF) / NFVA	PROPOSED LOW (LF) / NFVA
ZONE 1	1953 SF	937 in <sup>2</sup>	(10) 500 in <sup>2</sup>	(10) 505 in <sup>2</sup>
ZONE 2	483 SF	231 in <sup>2</sup>	(3) 150 in <sup>2</sup>	(17) 153 in <sup>2</sup>
ZONE 3	413 SF	198 in <sup>2</sup>	(2) 100 in <sup>2</sup>	(22) 110 in <sup>2</sup>
ZONE 4	303 SF	145 in <sup>2</sup>	(2) 100 in <sup>2</sup>	(21) 105 in <sup>2</sup>

HIGH - HAT VENTS NFVA = 50 in<sup>2</sup>  
 NOTE: INSTALL PER MANUFACTURER SPECIFICATION.  
 LOW - VENTED SOFFIT BOARD, NFVA = 5 in<sup>2</sup>  
 NOTE: INSTALL PER MANUFACTURER SPECIFICATION.  
 \* LOW - LINEAR SHINGLE VENT, NFVA = 9 in<sup>2</sup>  
 NOTE: INSTALL PER MANUFACTURER SPECIFICATION.  
 NOTE: \*ROOFING CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION AREA OF THE VENT PRODUCTS INSTALLED AGAINST THOSE NOTES ABOVE AND THE VENTILATION REQUIRED BY CODE SHALL BE MAINTAINED.  
 \*UNLESS NOTES OTHERWISE IN THE STRUCTURAL OR TRUSS DRAWINGS, OPENINGS SHALL BE PROVIDED IN THE ROOF SHEATHING BETWEEN OVERFRAMED ROOF AREAS TO ALLOW AIR PASSAGE AND ACCESS BETWEEN THE ATTIC SPACES

ROOF KEYNOTES

- ASPHALT SHINGLES
- LINE OF WALL/BEAM BELOW
- ROOF BELOW
- ROOF CRICKET
- GUTTER WITH DOWNSPOUT
- EDGE OF TRUSS

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ROOF PLAN

SHEET NUMBER:

A104C



## BAREFOOT LAKES

BROOKFIELD RESIDENTIAL

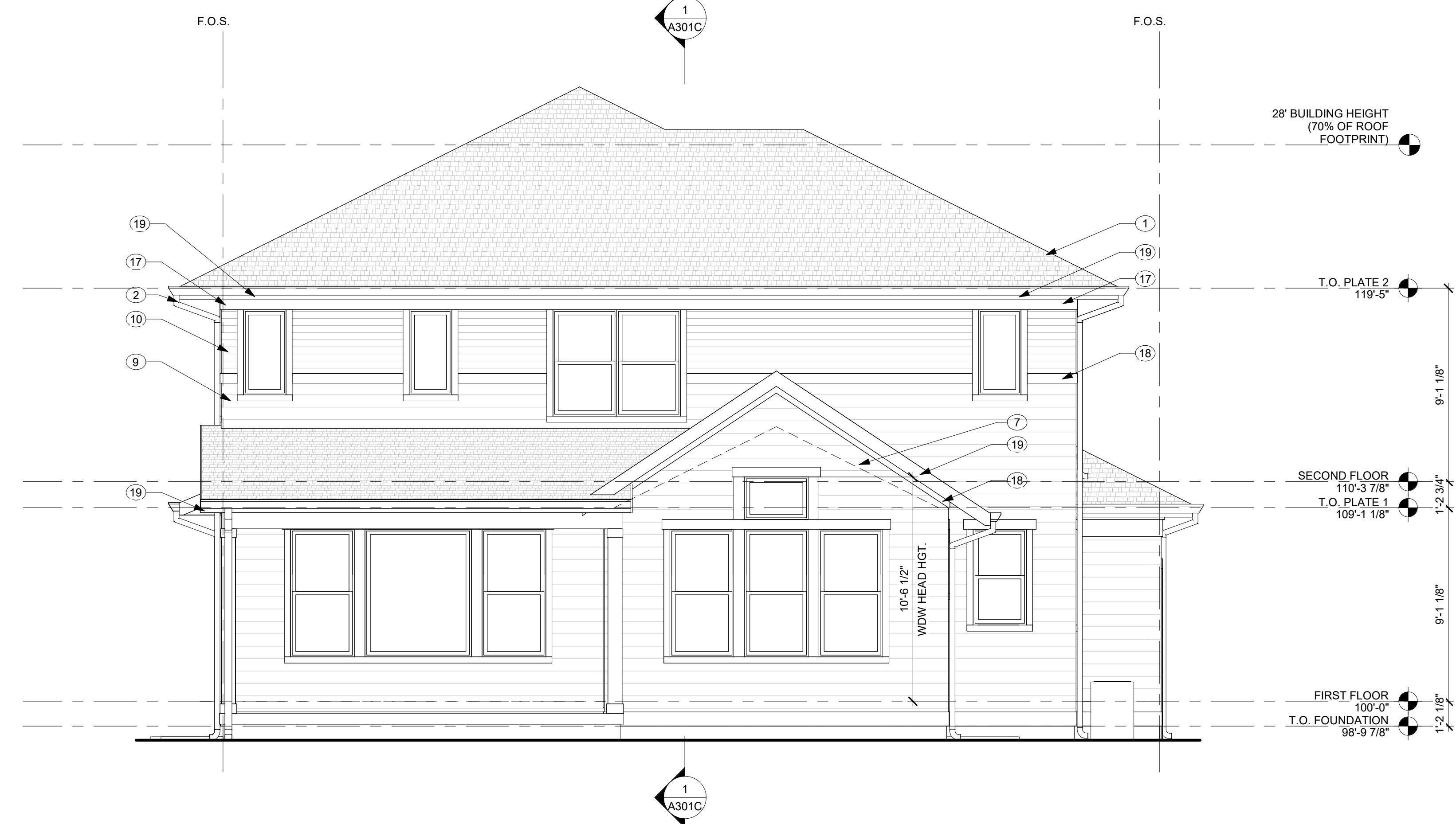
PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET  
TOWN OF FIRESTONE, CO



ELEVATION NOTES	
1	ELEVATION DRAWINGS DEPICT DESIGN INTENT ONLY. SEE STRUCTURAL DRAWINGS FOR FOUNDATION AND FRAMING SPECIFICATIONS.
2	GRADE LINES INDICATED ARE APPROXIMATE. BUILDER TO COORDINATE SITE SPECIFIC GRADING AT EACH LOT. PROVIDE SLOPE GRADING AWAY FROM STRUCTURE AT EACH LOT.
3	REFER TO ROOF PLANS FOR ROOFING MATERIAL, SLOPE AND BEARING INFO.
4	TYPICAL WINDOW HEAD HEIGHT TO BE AS FOLLOWS, REFER TO ELEVATIONS FOR NON-TYPICAL CONDITIONS: BASEMENT: 7'-1" A.F.F. FIRST FLOOR: 8'-1" A.F.F. SECOND FLOOR: 7'-1" A.F.F.
5	ALL MANUFACTURED TRIM AND SIDING MATERIALS SHALL BE PAINTED.
6	ALL EXPOSED WOOD POSTS, BEAMS, AND TRIM SHALL BE PAINTED PER FINISH SPECIFICATIONS.
7	GUTTERS AND DOWNSPOUTS SHALL BE INSTALLED AT ALL ROOF DRAINAGE CONDITIONS. COORDINATE LOCATIONS w/ BUILDER.

ELEVATION KEYNOTES	
1	ASPHALT SHINGLES
2	GUTTER WITH DOWNSPOUT
3	8'-0" ENTRY DOOR PER SPEC.
4	GARAGE DOOR PER SPEC.
5	EXTERIOR COACH LIGHTING PER BUILDER SPEC.
6	PAINTED TRIM, SMOOTH FINISH
7	LINE OF VAULTED CEILING BEYOND
8	BOARD AND BATTEN SIDING
9	LAP SIDING W/ 6" REVEAL
10	LAP SIDING W/ 4" REVEAL
11	SMOOTH PANEL SIDING
12	SHAKE SIDING
13	WOOD COMPOSITE SIDING, PER BUILDER SPEC.
14	BRACKET PER BUILDER SPEC.
15	5/4x4 PAINTED CORNER BOARD, SMOOTH FINISH
16	5/4x6 PAINTED CORNER BOARD, SMOOTH FINISH
17	3 3/8" BORAL CROWN OVER 5/4x8 HELD TIGHT TO SOFFIT, TYP.
18	5/4x6 TRIM BOARD
19	5/4x8 FASCIA BOARD
20	ADDRESS PLATE PER BUILDER SPEC.
21	PACKAGE DROP-OFF, PER BUILDER SPEC.

RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



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BUILDING ELEVATIONS

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A202C

## BAREFOOT LAKES

BROOKFIELD RESIDENTIAL

PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET

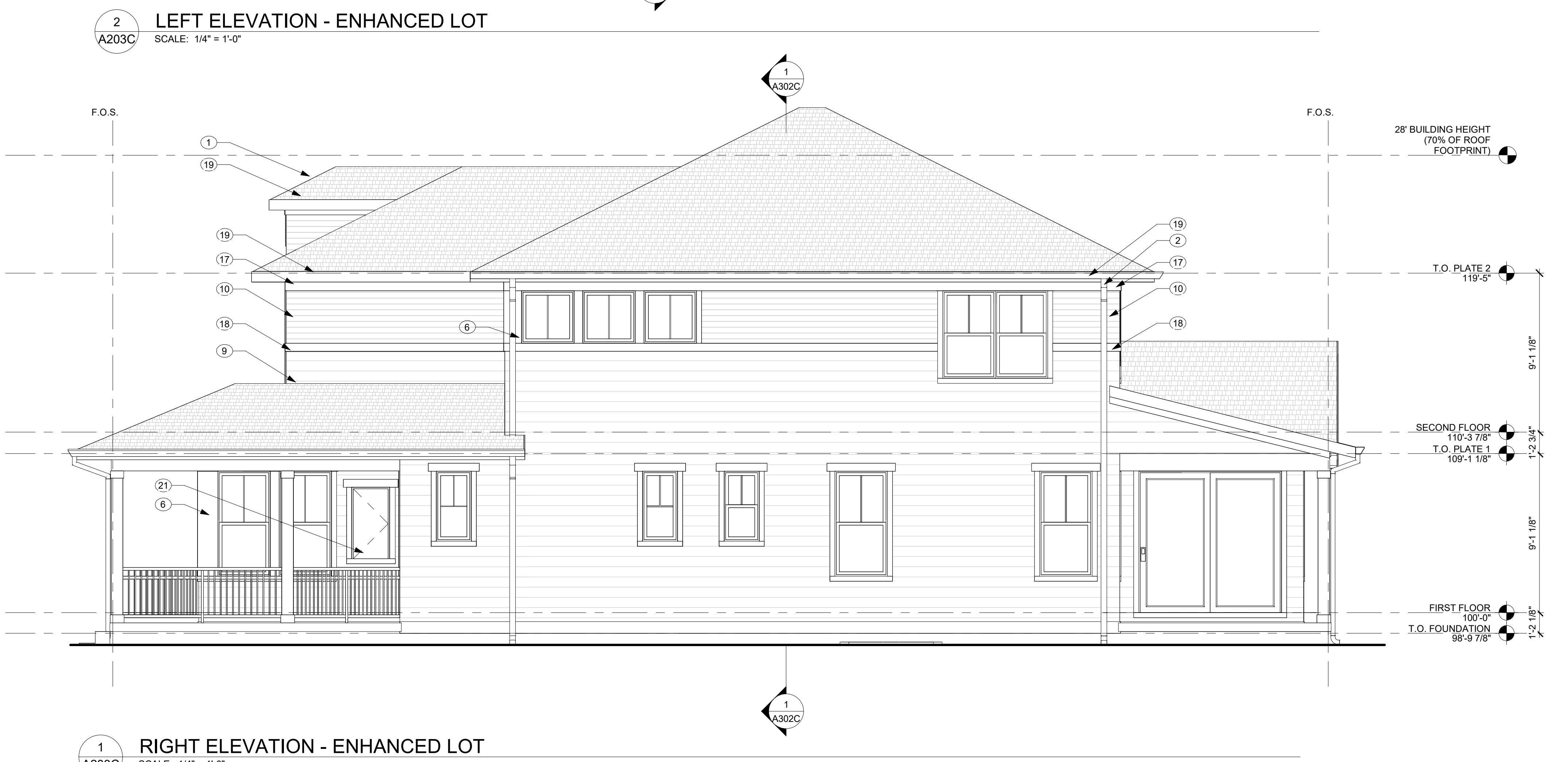
TOWN OF FIRESTONE, CO



ELEVATION NOTES	
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3	REFER TO ROOF PLANS FOR ROOFING MATERIAL, SLOPE AND BEARING INFO.
4	TYPICAL WINDOW HEAD HEIGHT TO BE AS FOLLOWS, REFER TO ELEVATIONS FOR NON-TYPICAL CONDITIONS: BASEMENT: 7'-1" A.F.F. FIRST FLOOR: 8'-1" A.F.F. SECOND FLOOR: 7'-1" A.F.F.
5	ALL MANUFACTURED TRIM AND SIDING MATERIALS SHALL BE PAINTED.
6	ALL EXPOSED WOOD POSTS, BEAMS, AND TRIM SHALL BE PAINTED PER FINISH SPECIFICATIONS.
7	GUTTERS AND DOWNSPOUTS SHALL BE INSTALLED AT ALL ROOF DRAINAGE CONDITIONS. COORDINATE LOCATIONS w/ BUILDER.

ELEVATION KEYNOTES	
1	ASPHALT SHINGLES
2	GUTTER WITH DOWNSPOUT
3	8'-0" ENTRY DOOR PER SPEC.
4	GARAGE DOOR PER SPEC.
5	EXTERIOR COACH LIGHTING PER BUILDER SPEC.
6	PAINTED TRIM, SMOOTH FINISH
7	LINE OF VAULTED CEILING BEYOND
8	BOARD AND BATTEN SIDING
9	LAP SIDING W/ 6" REVEAL
10	LAP SIDING W/ 4" REVEAL
11	SMOOTH PANEL SIDING
12	SHAKE SIDING
13	WOOD COMPOSITE SIDING, PER BUILDER SPEC.
14	BRACKET PER BUILDER SPEC.
15	5/4x4 PAINTED CORNER BOARD, SMOOTH FINISH
16	5/4x6 PAINTED CORNER BOARD, SMOOTH FINISH
17	3 3/8" BORAL CROWN OVER 5/4x8 HELD TIGHT TO SOFFIT, TYP.
18	5/4x6 TRIM BOARD
19	5/4x8 FASCIA BOARD
20	ADDRESS PLATE PER BUILDER SPEC.
21	PACKAGE DROP-OFF, PER BUILDER SPEC.

ENHANCED ELEVATION REQUIREMENTS					
PER FIRESTONE CODE: AN ELEVATION THAT FACES THE STREET, PARK, TRAIL, CORRIDOR, OR OPEN SPACE AREA SHALL PROVIDE AN ENHANCED ELEVATION WITH 3 OR MORE OF THE FOLLOWING DESIGN ENHANCEMENTS:					
PLAINS STYLE	ADDITION OF (1) WINDOW OR DOOR	CHANGE IN WALL PLANE	COVERED PORCH OR DECK	ADDITIONAL DESIGN DETAILS	USE OF A MIN. OF (2) EXTERIOR CLADDING MATERIALS
LEFT ELEVATION (4 TOTAL)	(1) ADDITIONAL DOOR	(4) CHANGE IN WALL PLANES	(N/A)	WINDOW LITES	HARDIE 4" SIDING AND HARDE 7" SIDING
RIGHT ELEVATION (4 TOTAL)	N/A	(3) CHANGE IN WALL PLANES	FRONT AND REAR COVERED PORCH	WINDOW LITES	HARDIE 4" SIDING AND HARDE 7" SIDING



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BUILDING ENHANCED ELEVATIONS

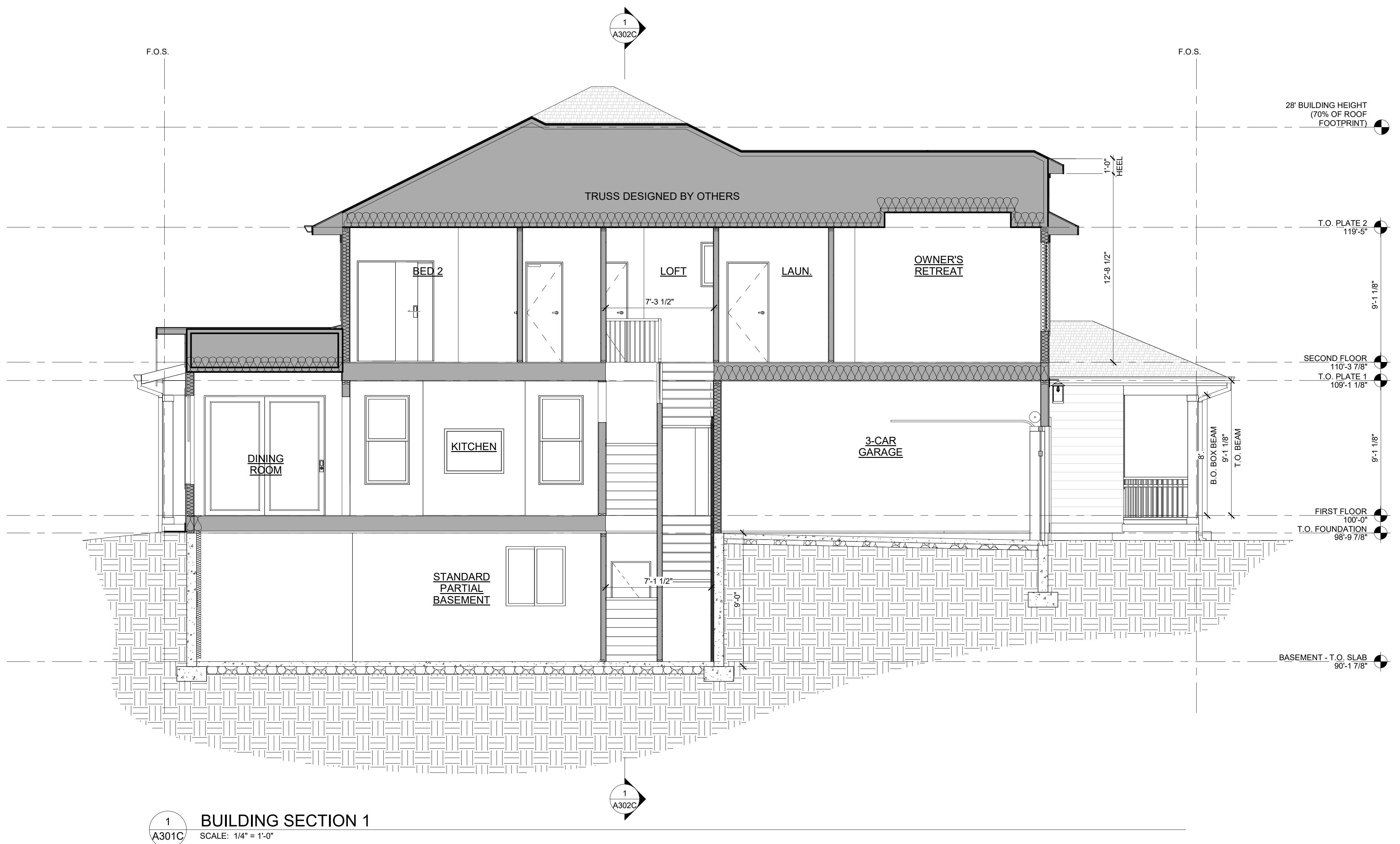
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A203C

## BAREFOOT LAKES

BROOKFIELD RESIDENTIAL

PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET  
TOWN OF FIRESTONE, CO



ELEVATION NOTES	
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2	GRADE LINES INDICATED ARE APPROXIMATE. BUILDER TO COORDINATE SITE SPECIFIC GRADING AT EACH LOT. PROVIDE POSITIVE SLOPE GRADING AWAY FROM STRUCTURE AT EACH LOT.
3	REFER TO ROOF PLANS FOR ROOFING MATERIAL, SLOPE AND BEARING INFO.
4	TYPICAL WINDOW HEAD HEIGHT TO BE AS FOLLOWS, REFER TO ELEVATIONS FOR NON-TYPICAL CONDITIONS: BASEMENT: 7'-1" A.F.F. FIRST FLOOR: 8'-1" A.F.F. SECOND FLOOR: 7'-1" A.F.F.
5	ALL MANUFACTURED TRIM AND SIDING MATERIALS SHALL BE PAINTED.
6	ALL EXPOSED WOOD POSTS, BEAMS, AND TRIM SHALL BE PAINTED PER FINISH SPECIFICATIONS.
7	GUTTERS AND DOWNSPOUTS SHALL BE INSTALLED AT ALL ROOF DRAINAGE CONDITIONS. COORDINATE LOCATIONS w/ BUILDER.

ELEVATION KEYNOTES	
1	ASPHALT SHINGLES
2	GUTTER WITH DOWNSPOUT
3	8'-0" ENTRY DOOR PER SPEC.
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6	PAINTED TRIM, SMOOTH FINISH
7	LINE OF VAULTED CEILING BEYOND
8	BOARD AND BATTEN SIDING
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10	LAP SIDING W/ 4" REVEAL
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12	SHAKE SIDING
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15	5/4x4 PAINTED CORNER BOARD, SMOOTH FINISH
16	5/4x6 PAINTED CORNER BOARD, SMOOTH FINISH
17	3 3/8" BORAL CROWN OVER 5/4x8 HELD TIGHT TO SOFFIT, TYP.
18	5/4x6 TRIM BOARD
19	5/4x8 FASCIA BOARD
20	ADDRESS PLATE PER BUILDER SPEC.
21	PACKAGE DROP-OFF, PER BUILDER SPEC.

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ISSUE DATE: 10/28/2024  
REVISIONS:

BUILDING SECTIONS

SHEET NUMBER:

A301C

## BAREFOOT LAKES

BROOKFIELD RESIDENTIAL

PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET

BUILDING SECTIONS

SHEET  
NUMBER:

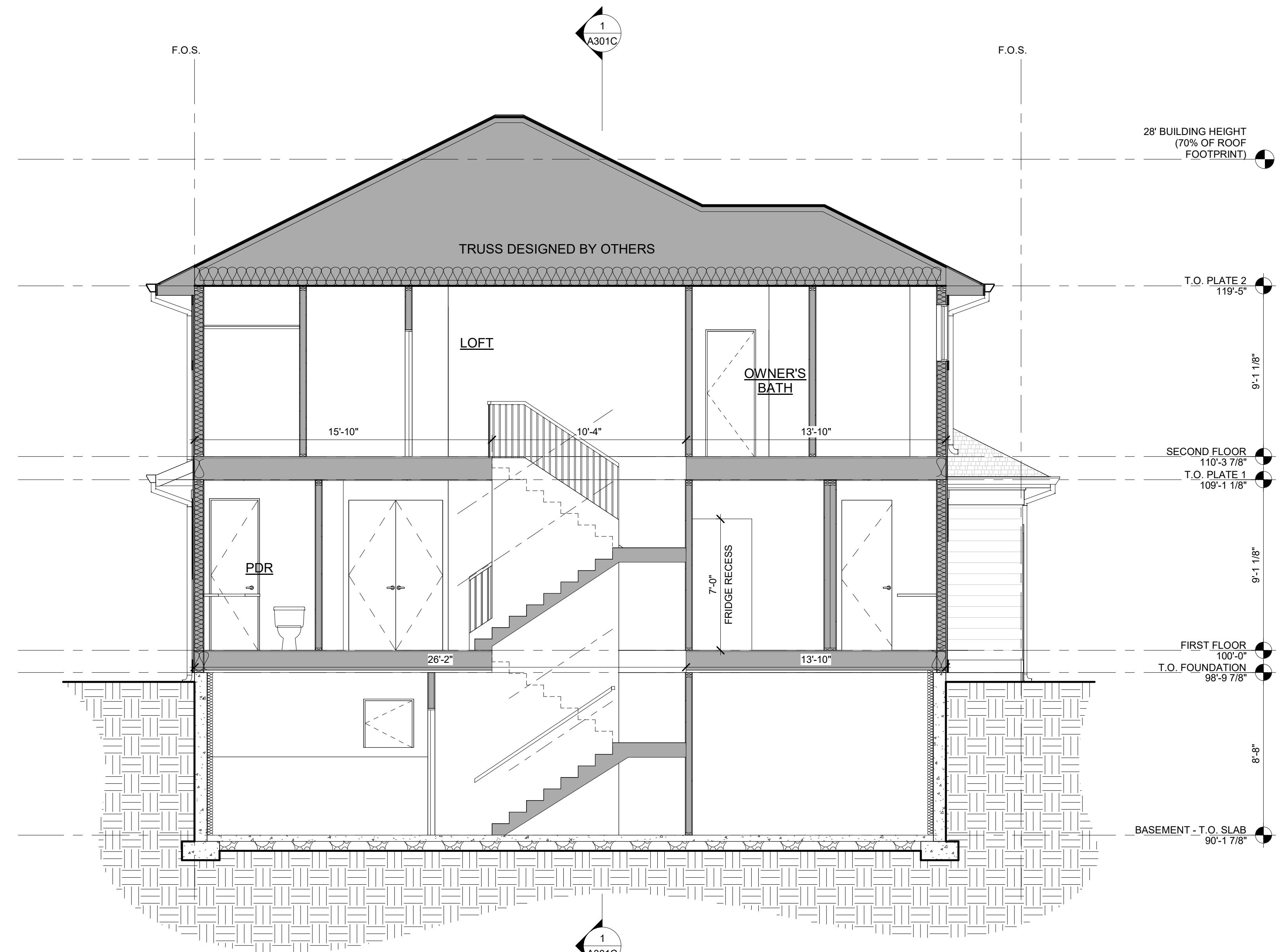
A302C

### ELEVATION NOTES

- ELEVATION DRAWINGS DEPICT DESIGN INTENT ONLY. SEE STRUCTURAL DRAWINGS FOR FOUNDATION AND FRAMING SPECIFICATIONS.
- GRADE LINES INDICATED ARE APPROXIMATE. BUILDER TO COORDINATE SITE SPECIFIC GRADING AT EACH LOT. PROVIDE SLOPE GRADING AWAY FROM STRUCTURE AT EACH LOT.
- REFER TO ROOF PLANS FOR ROOFING MATERIAL, SLOPE AND BEARING INFO.
- TYPICAL WINDOW HEAD HEIGHT TO BE AS FOLLOWS, REFER TO ELEVATIONS FOR NON-TYPICAL CONDITIONS:  
BASEMENT: 7'-1" A.F.F.  
FIRST FLOOR: 8'-1" A.F.F.  
SECOND FLOOR: 7'-1" A.F.F.
- ALL MANUFACTURED TRIM AND SIDING MATERIALS SHALL BE PAINTED.
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- GUTTERS AND DOWNSPOUTS SHALL BE INSTALLED AT ALL ROOF DRAINAGE CONDITIONS. COORDINATE LOCATIONS w/ BUILDER.

### ELEVATION KEYNOTES

- ASPHALT SHINGLES
- GUTTER WITH DOWNSPOUT
- 8'-0" ENTRY DOOR PER SPEC.
- GARAGE DOOR PER SPEC.
- EXTERIOR COACH LIGHTING PER BUILDER SPEC.
- PAINTED TRIM, SMOOTH FINISH
- LINE OF VAULTED CEILING BEYOND
- BOARD AND BATTEN SIDING
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- LAP SIDING W/ 4" REVEAL
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- SHAKE SIDING
- WOOD COMPOSITE SIDING, PER BUILDER SPEC.
- BRACKET PER BUILDER SPEC.
- 5/4x4 PAINTED CORNER BOARD, SMOOTH FINISH
- 5/4x6 PAINTED CORNER BOARD, SMOOTH FINISH
- 3 3/8" BORAL CROWN OVER 5/4x8 HELD TIGHT TO SOFFIT, TYP.
- 5/4x6 TRIM BOARD
- 5/4x8 FASCIA BOARD
- ADDRESS PLATE PER BUILDER SPEC.
- PACKAGE DROP-OFF, PER BUILDER SPEC.



1  
A302C      BUILDING SECTION 2

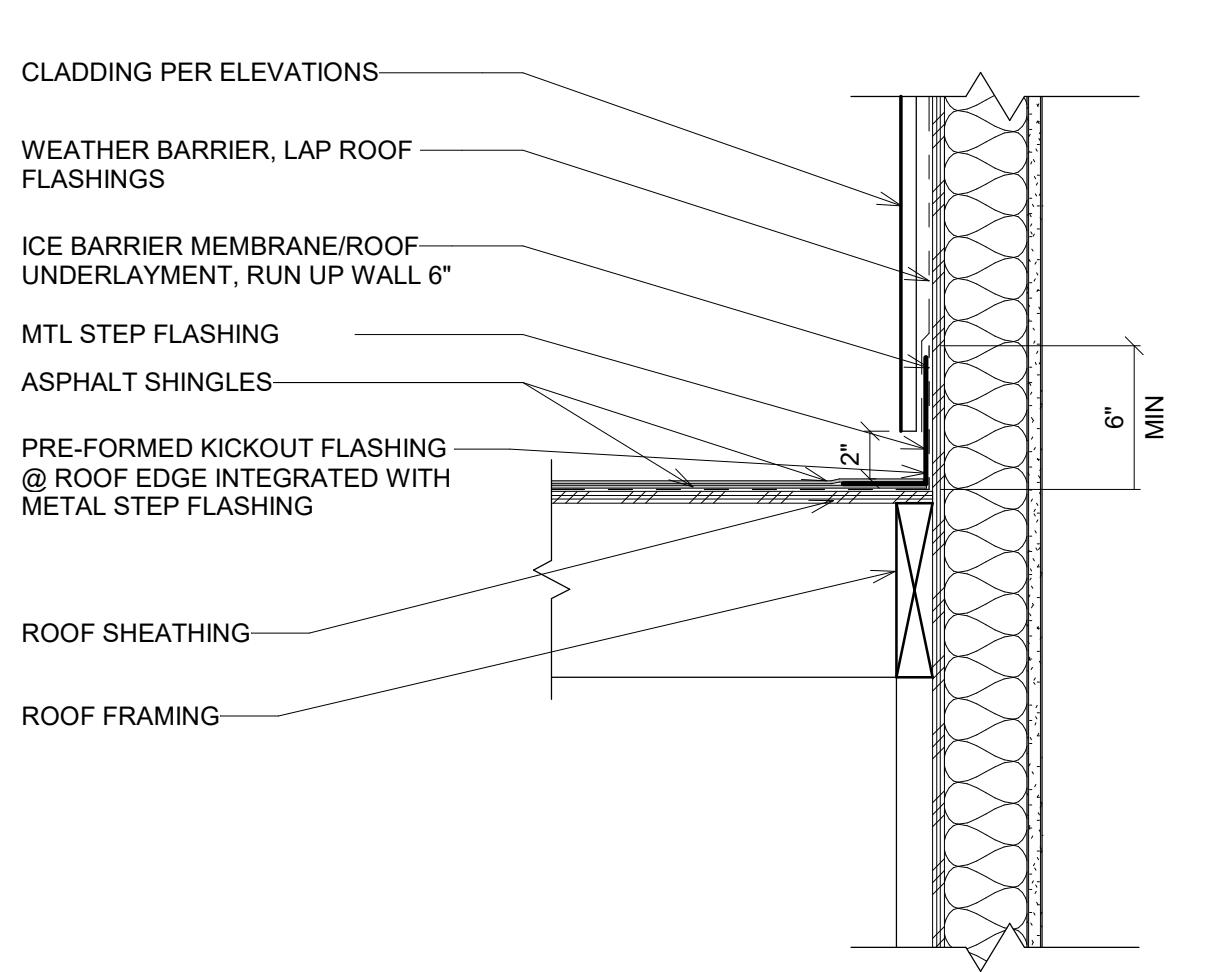
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PROJECT NO: 2024023.20  
ISSUE DATE: 10/28/2024  
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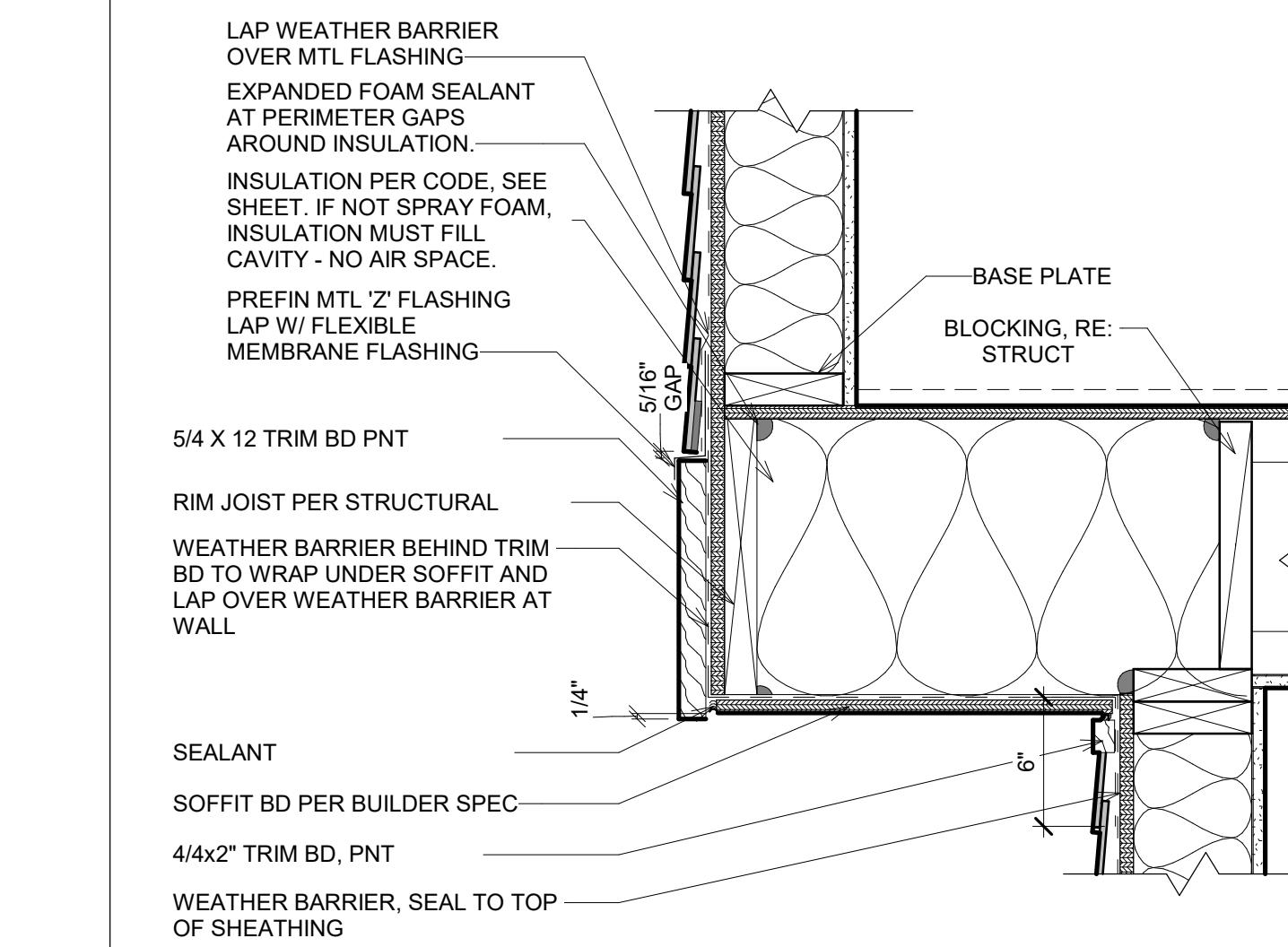
## BAREFOOT LAKES

DETAILS - BUILDER'S PLAN SET

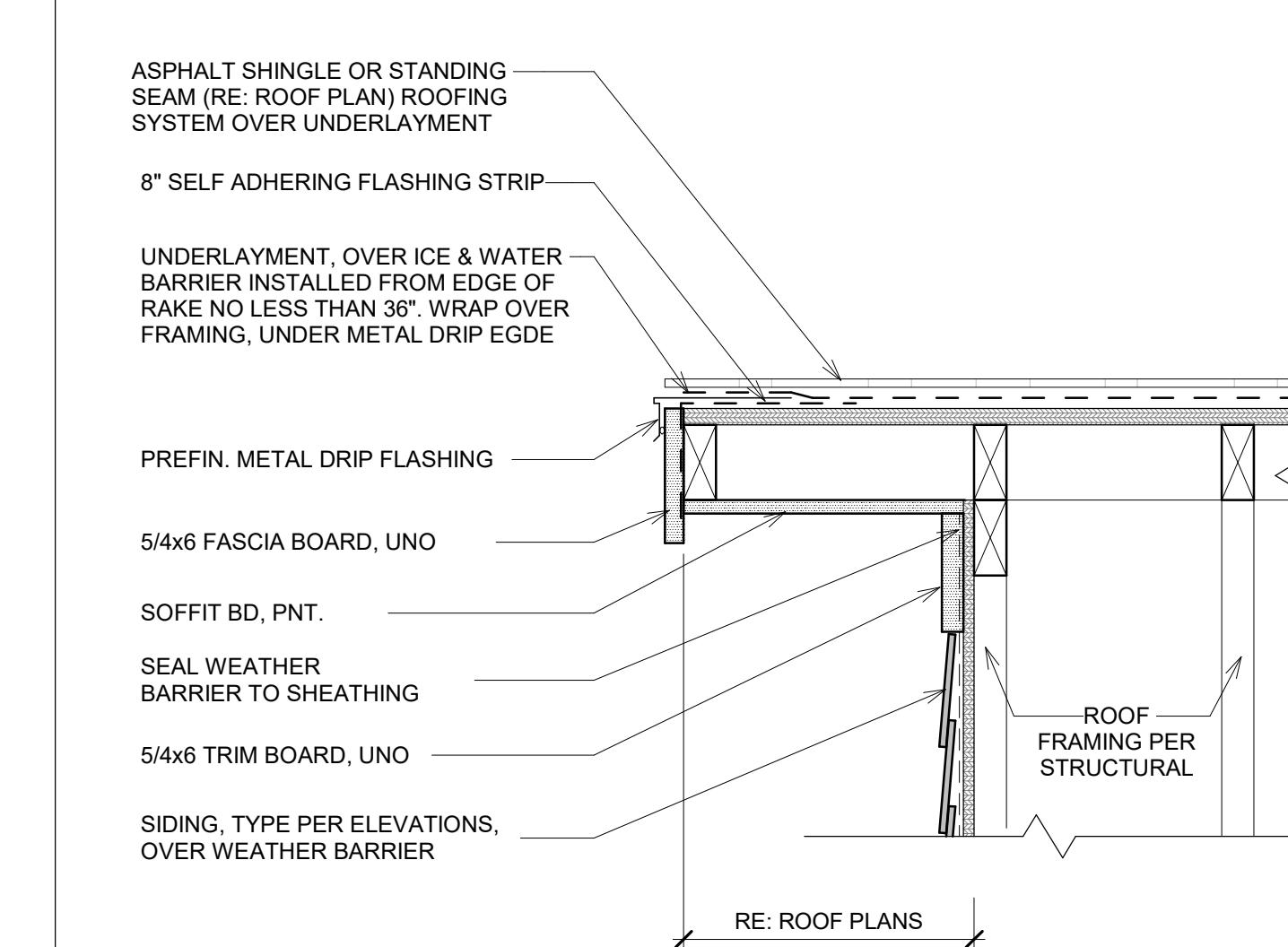
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TOWN OF FIRESTONE, CO



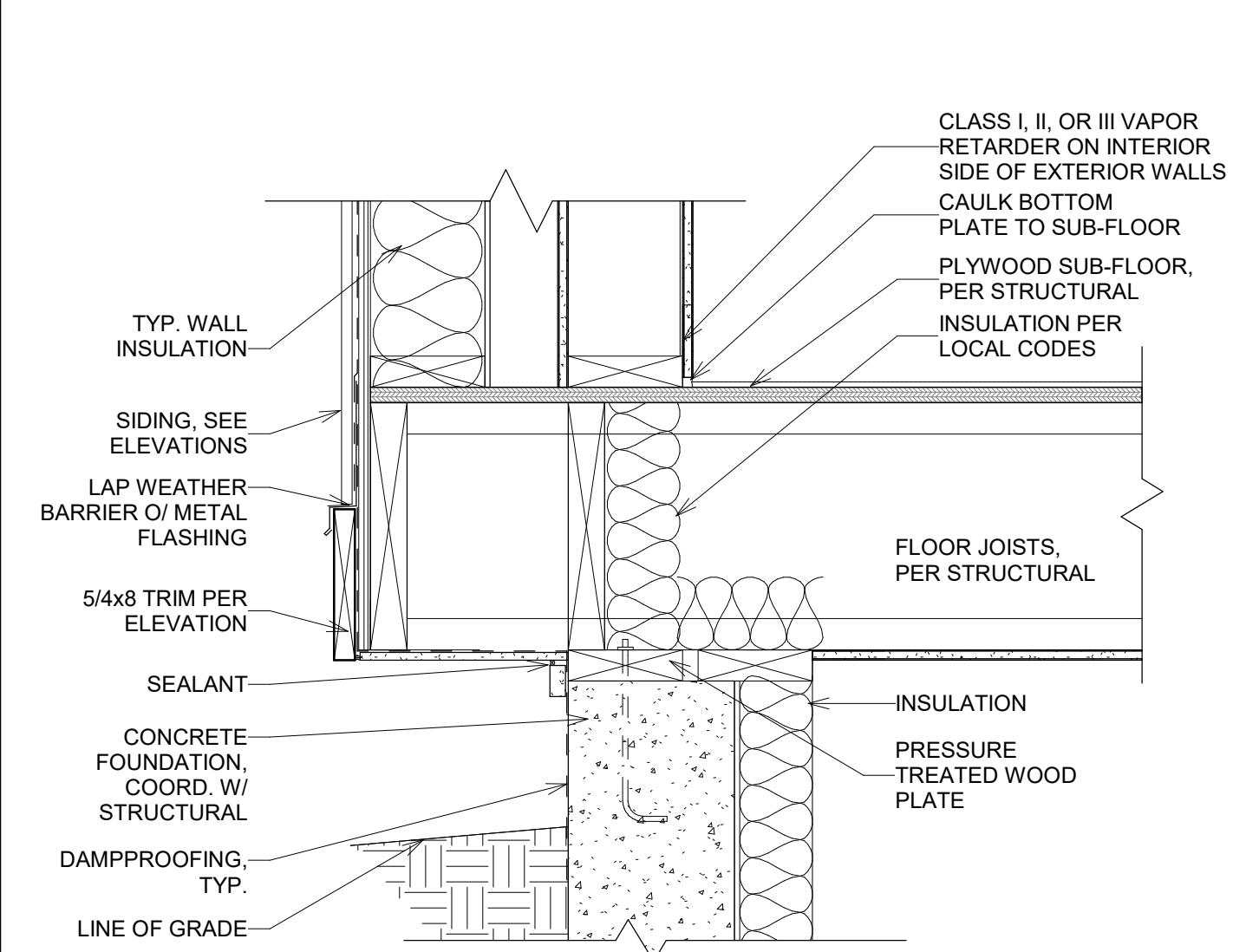
12  
A900  
TYPICAL FLASHING - SIDE WALL  
SCALE: 1 1/2" = 1'-0"



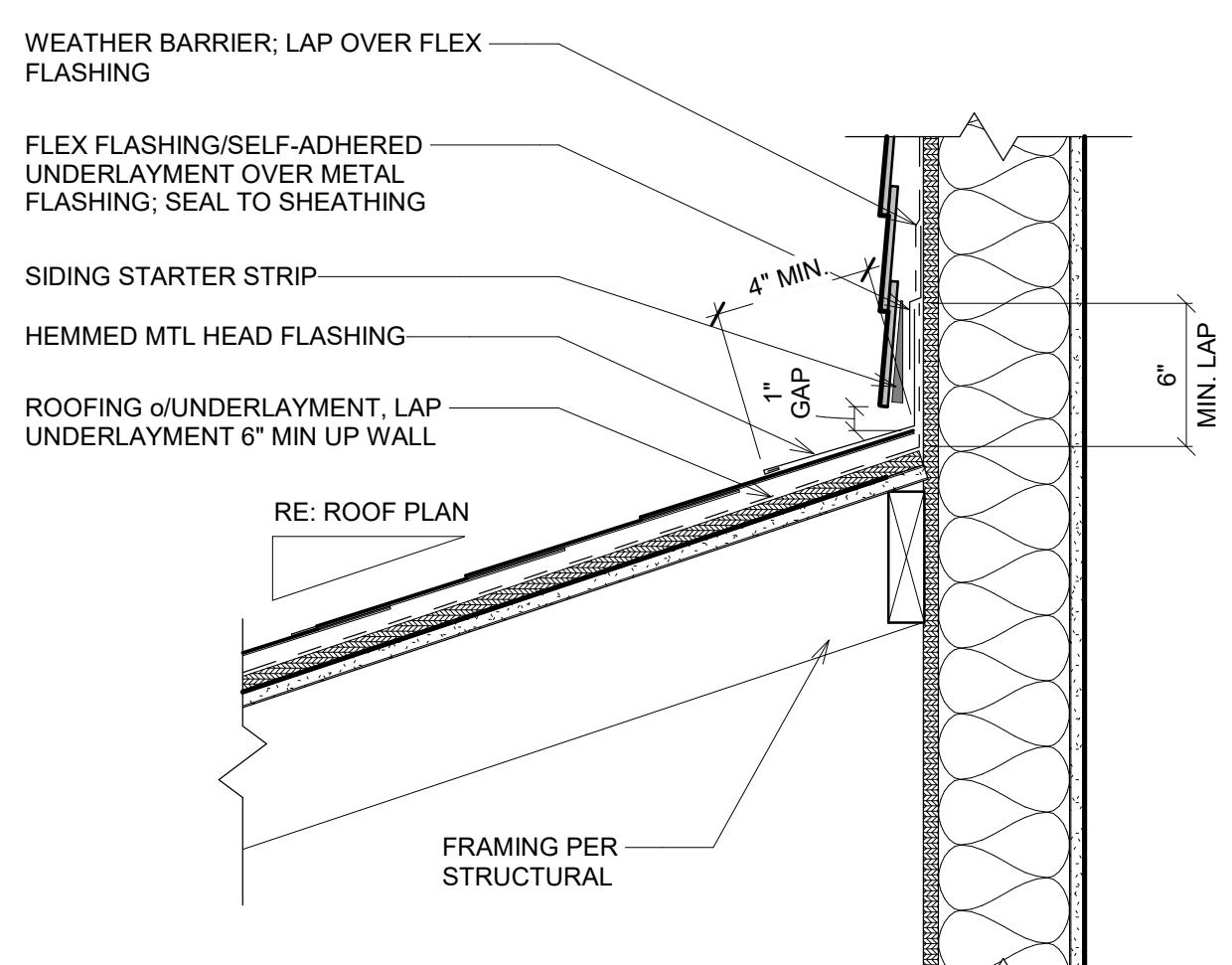
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TYPICAL CANTILEVER  
SCALE: 1 1/2" = 1'-0"



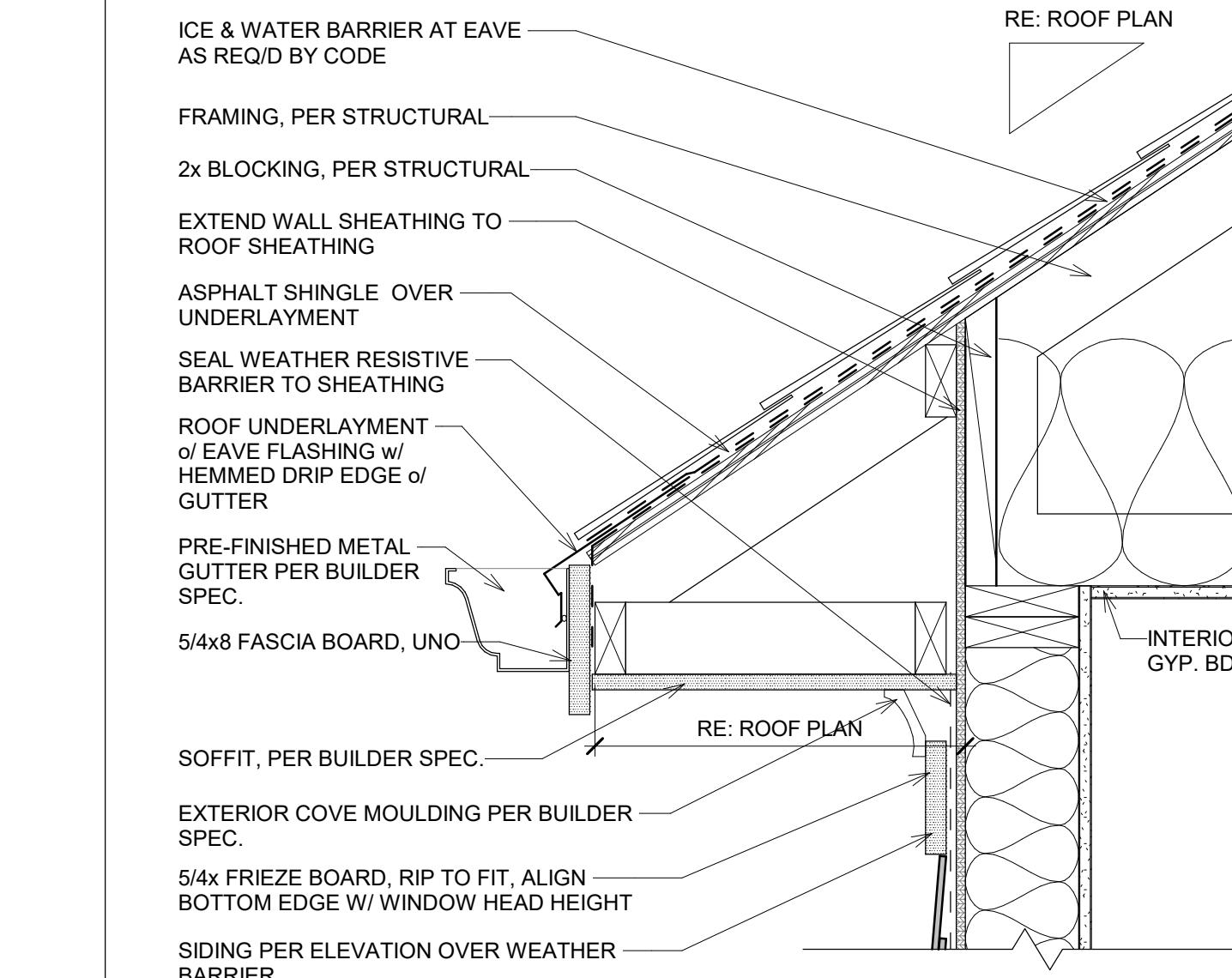
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TYPICAL RAKE  
SCALE: 1 1/2" = 1'-0"



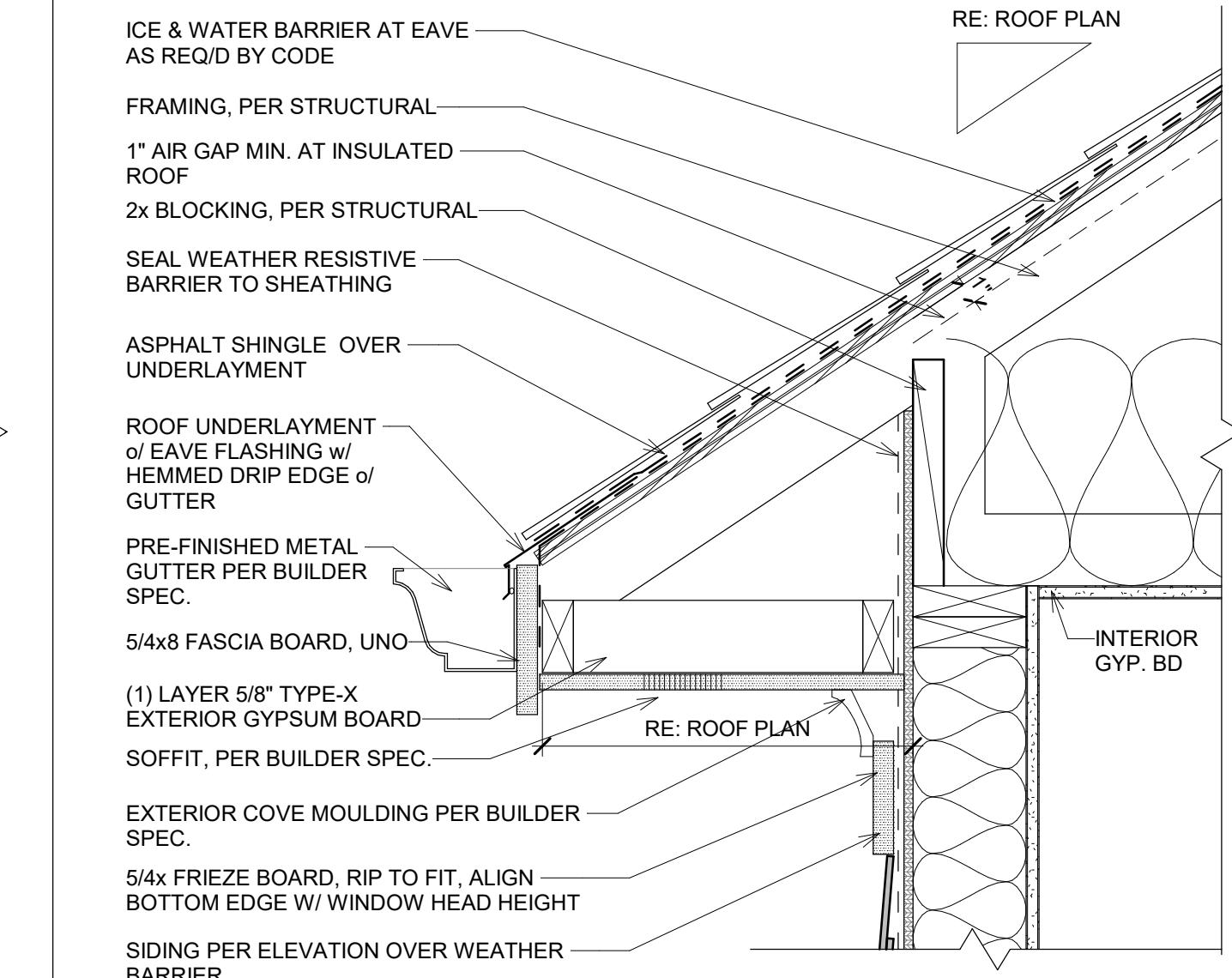
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FOUNDATION - CANTILEVER @ GRADE  
SCALE: 1 1/2" = 1'-0"



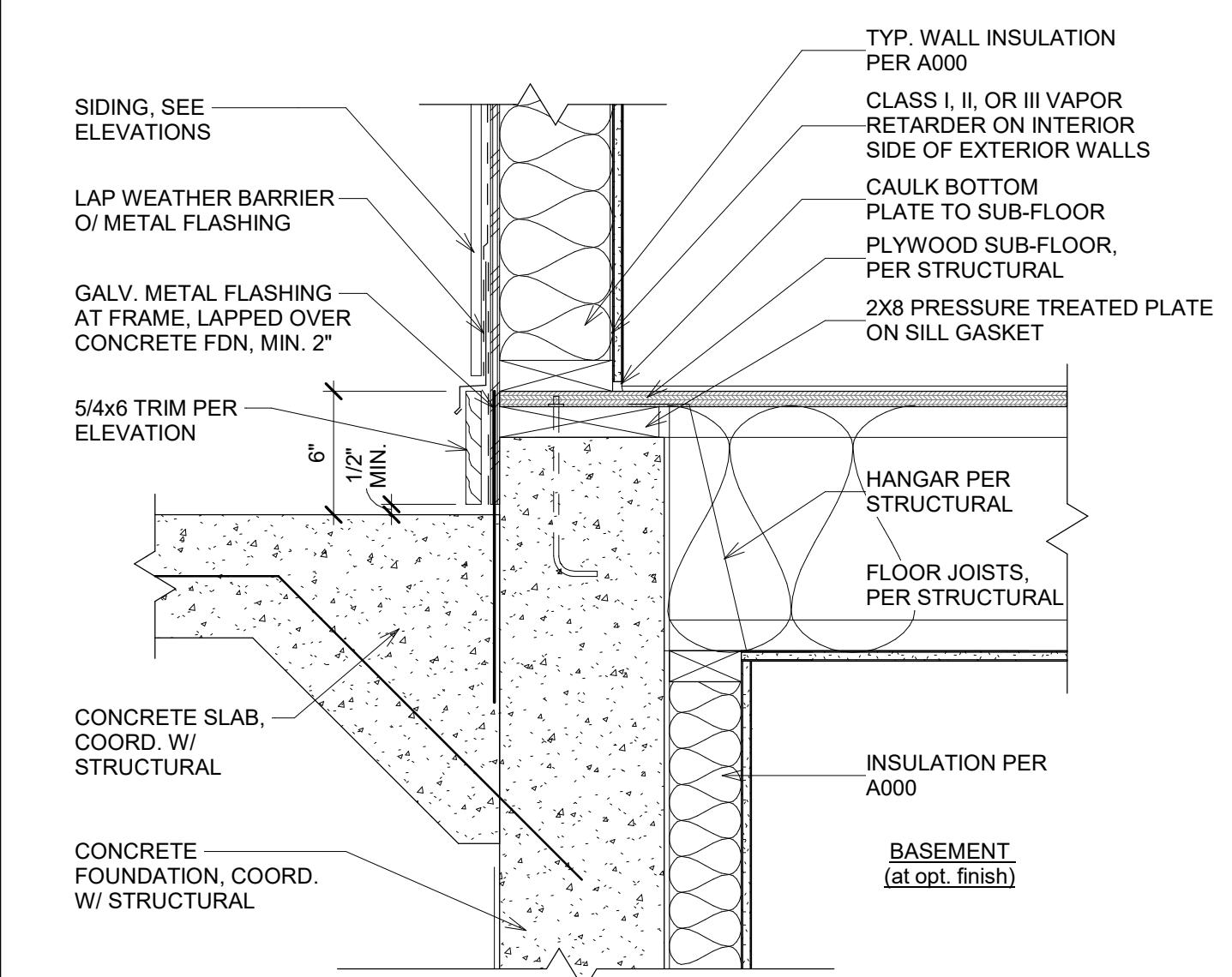
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A900  
TYPICAL FLASHING - AT WALL  
SCALE: 1 1/2" = 1'-0"



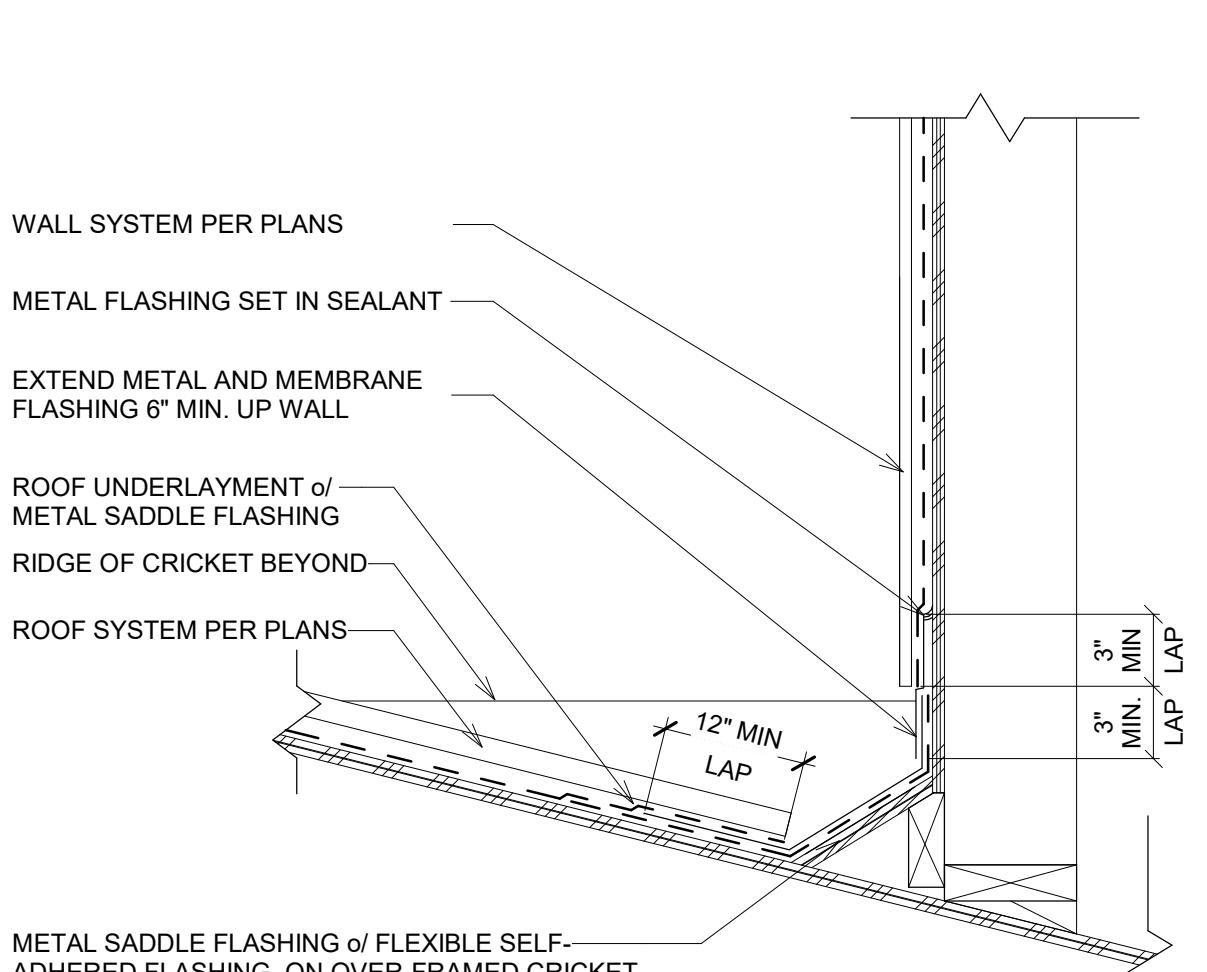
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RATED EAVE - HIP  
SCALE: 1 1/2" = 1'-0"



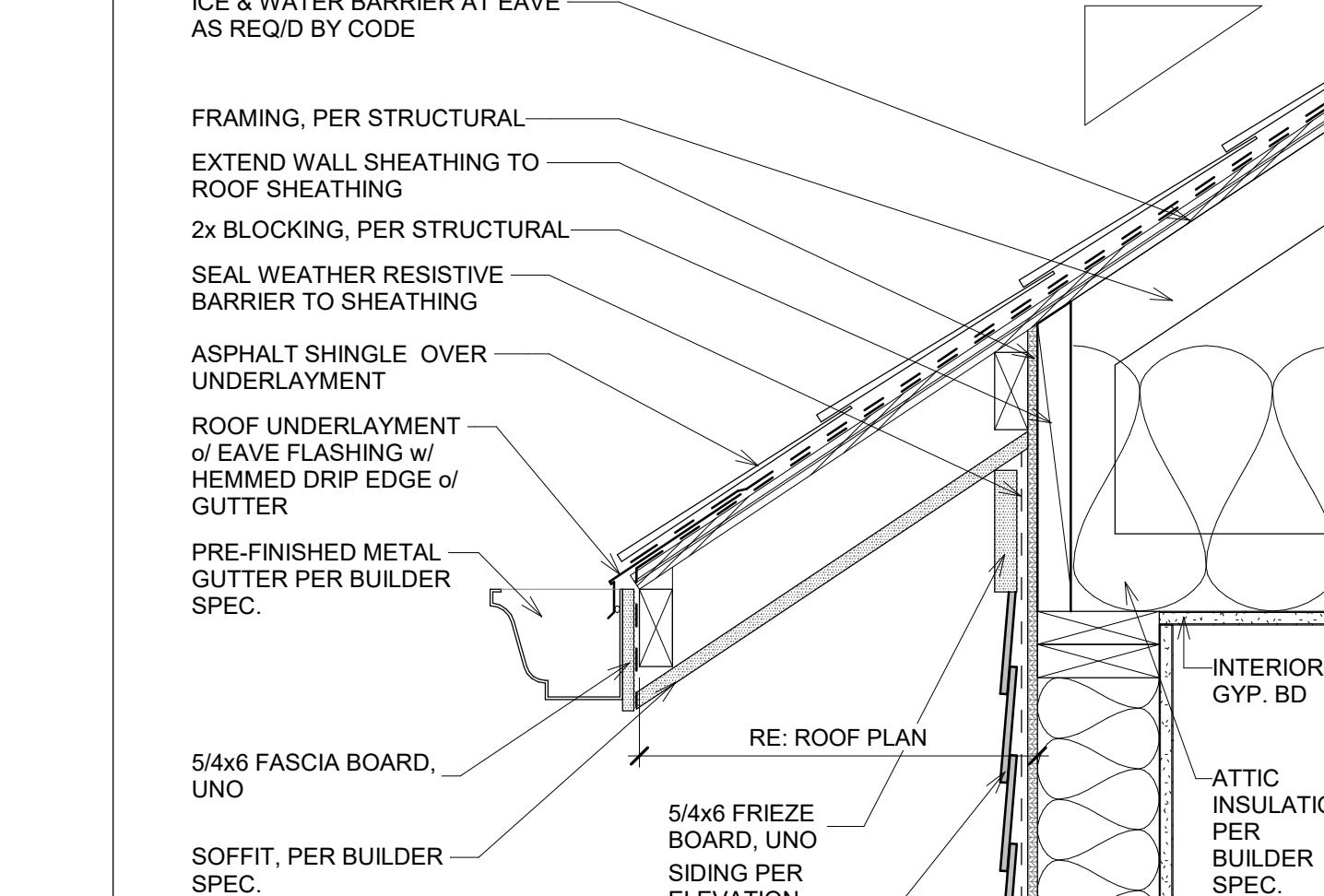
5  
A900  
TYPICAL EAVE - HIP  
SCALE: 1 1/2" = 1'-0"



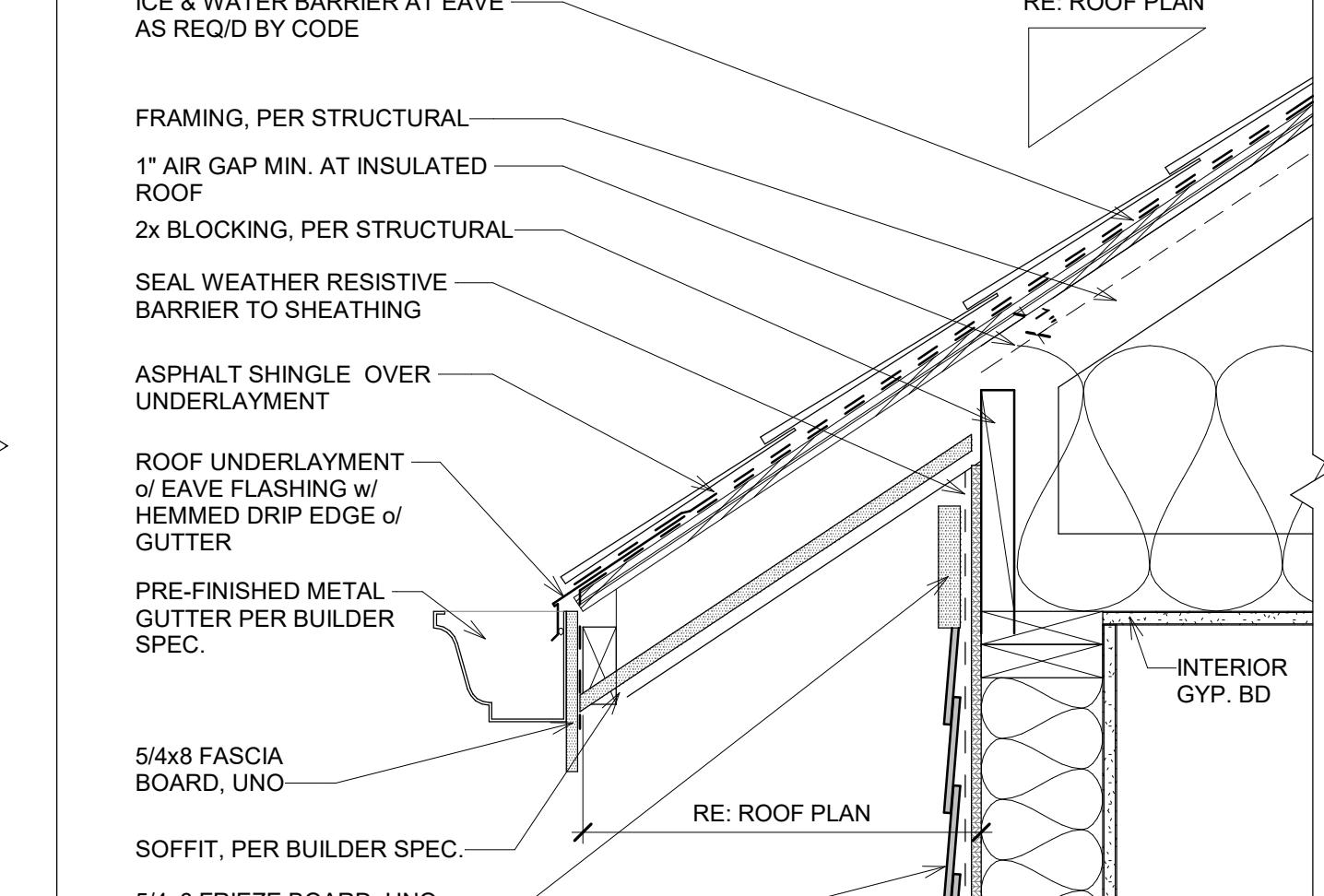
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A900  
FOUNDATION - PORCH SLAB  
SCALE: 1 1/2" = 1'-0"



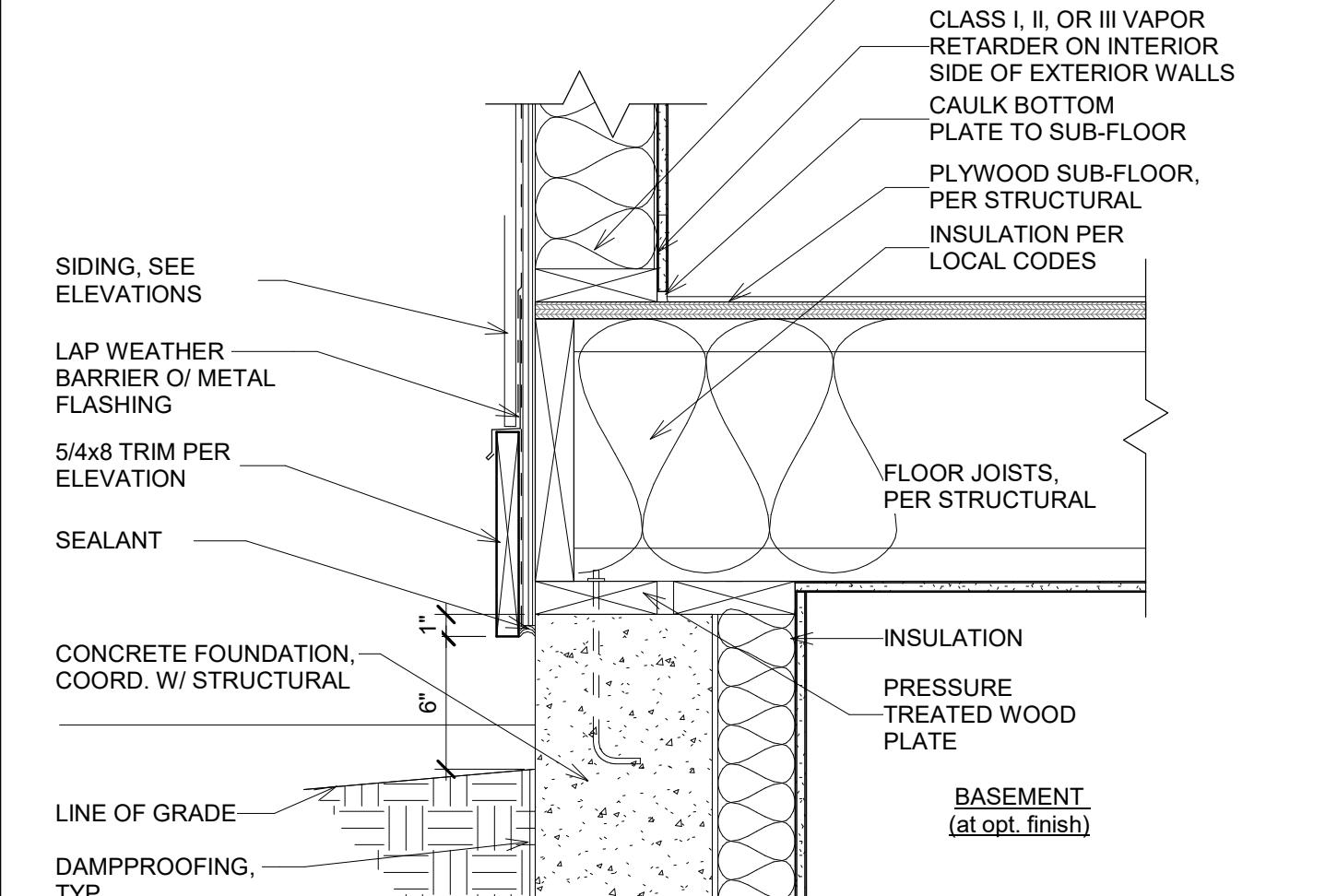
10  
A900  
TYPICAL FLASHING - CRICKET SADDLE  
SCALE: 1 1/2" = 1'-0"



6  
A900  
RATED EAVE  
SCALE: 1 1/2" = 1'-0"



4  
A900  
TYPICAL EAVE  
SCALE: 1 1/2" = 1'-0"



1  
A900  
FOUNDATION - SIDING  
SCALE: 1 1/2" = 1'-0"

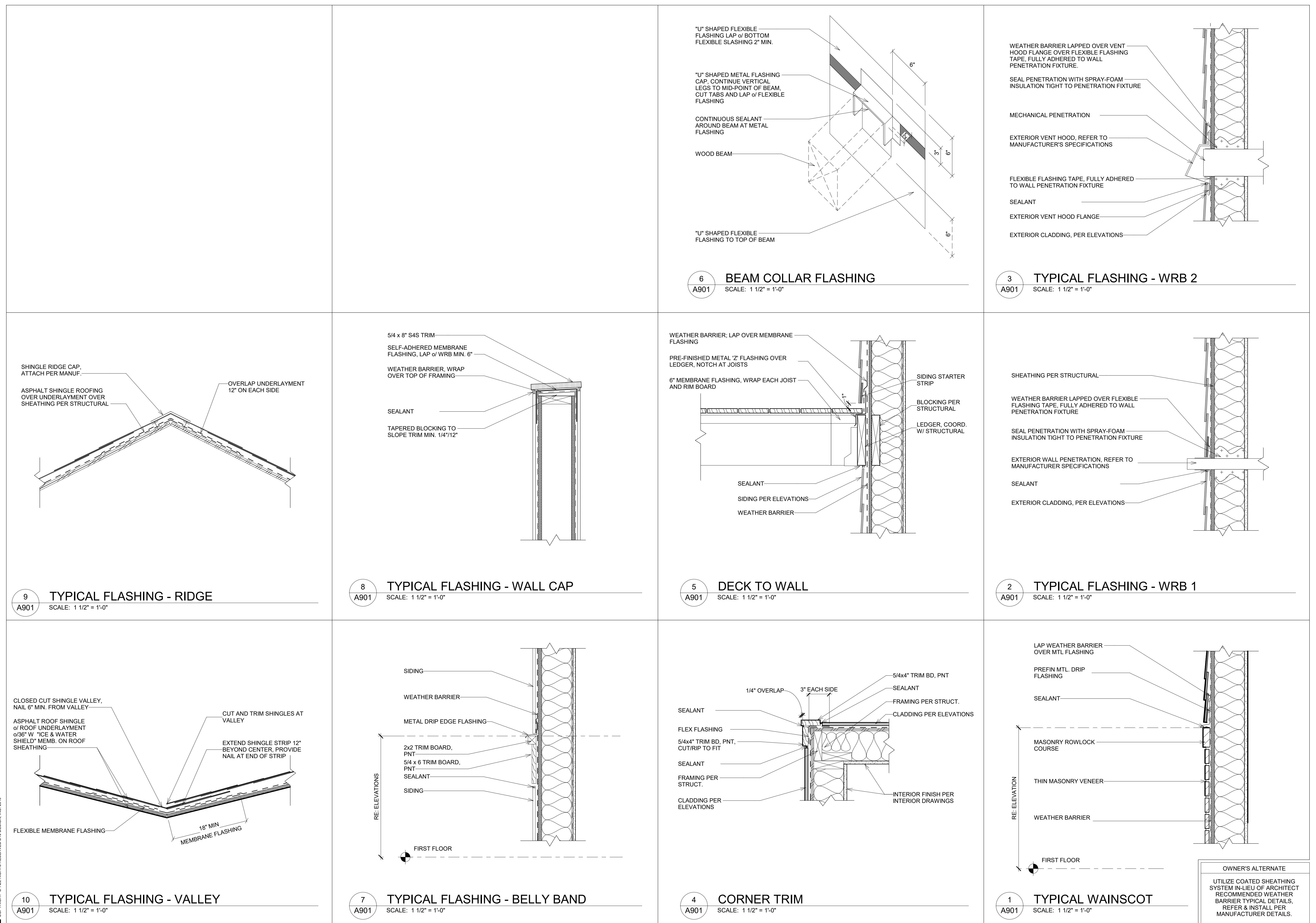
DRAWN BY: JM  
CHECKED BY: OL  
PROJECT NO: 2024023.20  
ISSUE DATE: 10/28/2024  
REVISIONS:

DETAILS

OWNER'S ALTERNATE  
UTILIZE COATED SHEATHING SYSTEM IN-LIEU OF ARCHITECT RECOMMENDED WEATHER BARRIER TYPICAL DETAILS, REFER & INSTALL PER MANUFACTURER DETAILS.  
SHEET NUMBER: A900

**BAREFOOT LAKES**  
DETAILS - BUILDER'S PLAN SET

BROOKFIELD RESIDENTIAL  
TOWN OF FIRESTONE, CO



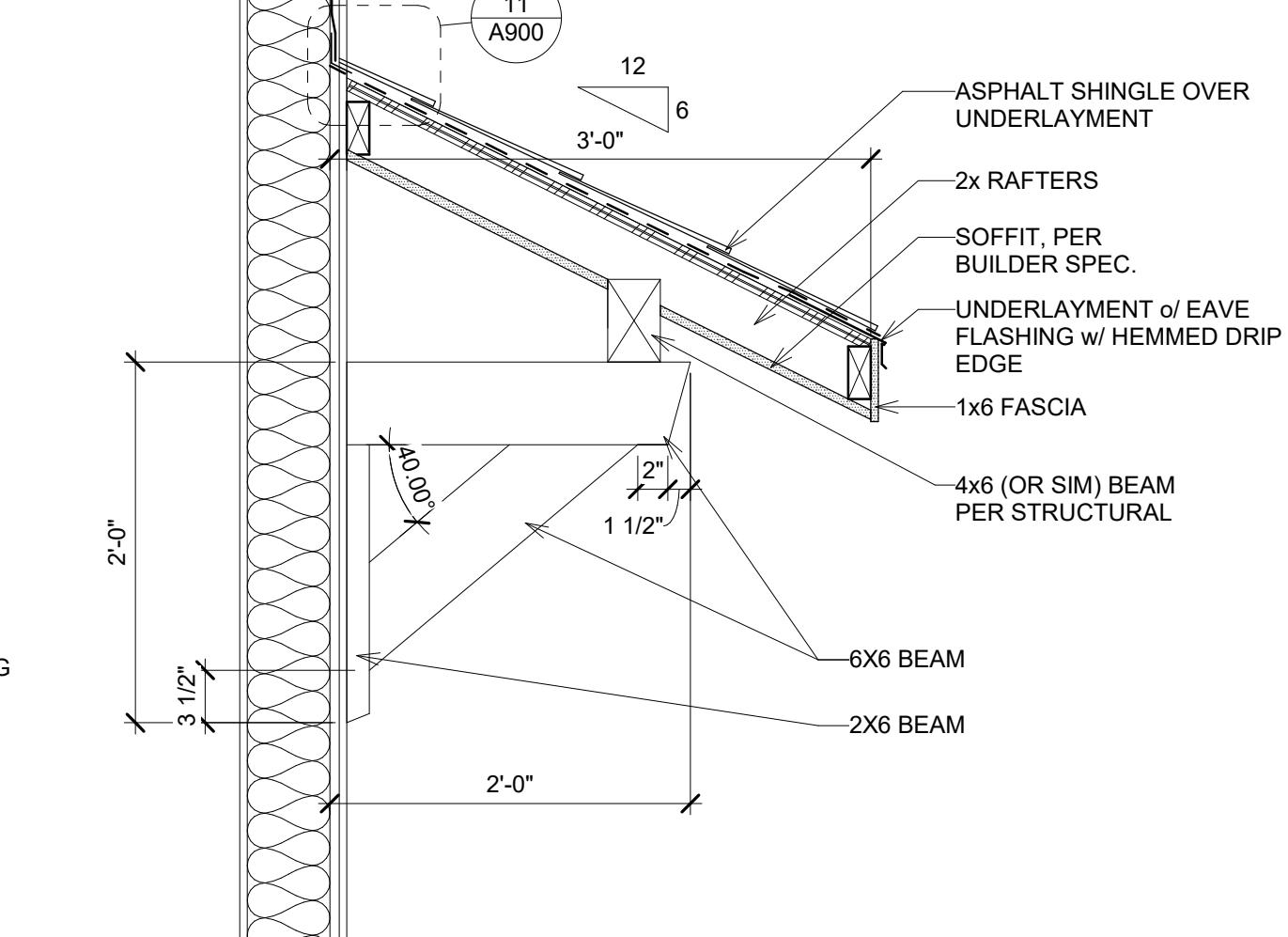
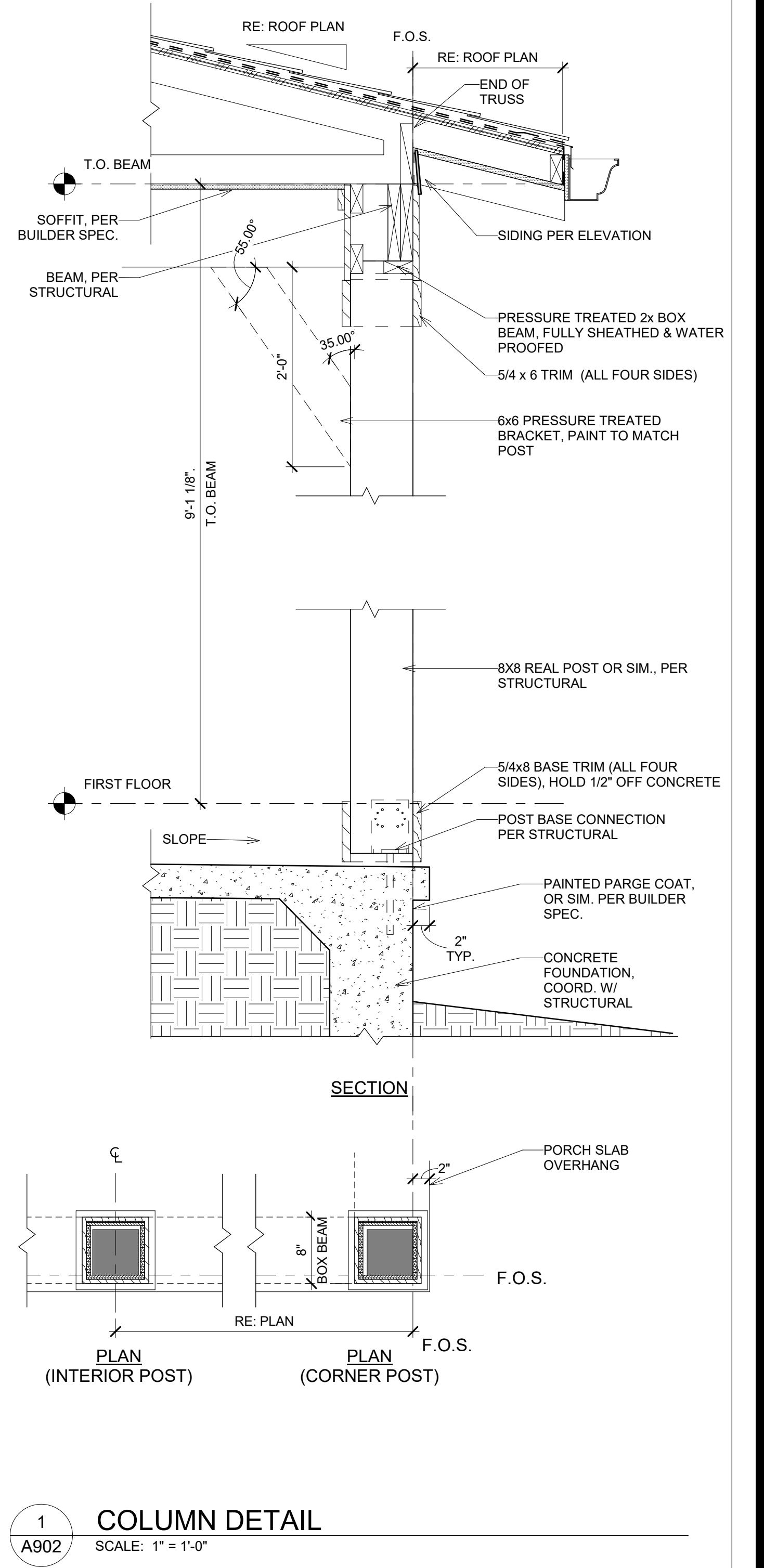
# BAREFOOT LAKES

## DETAILS - BUILDER'S PLAN SET

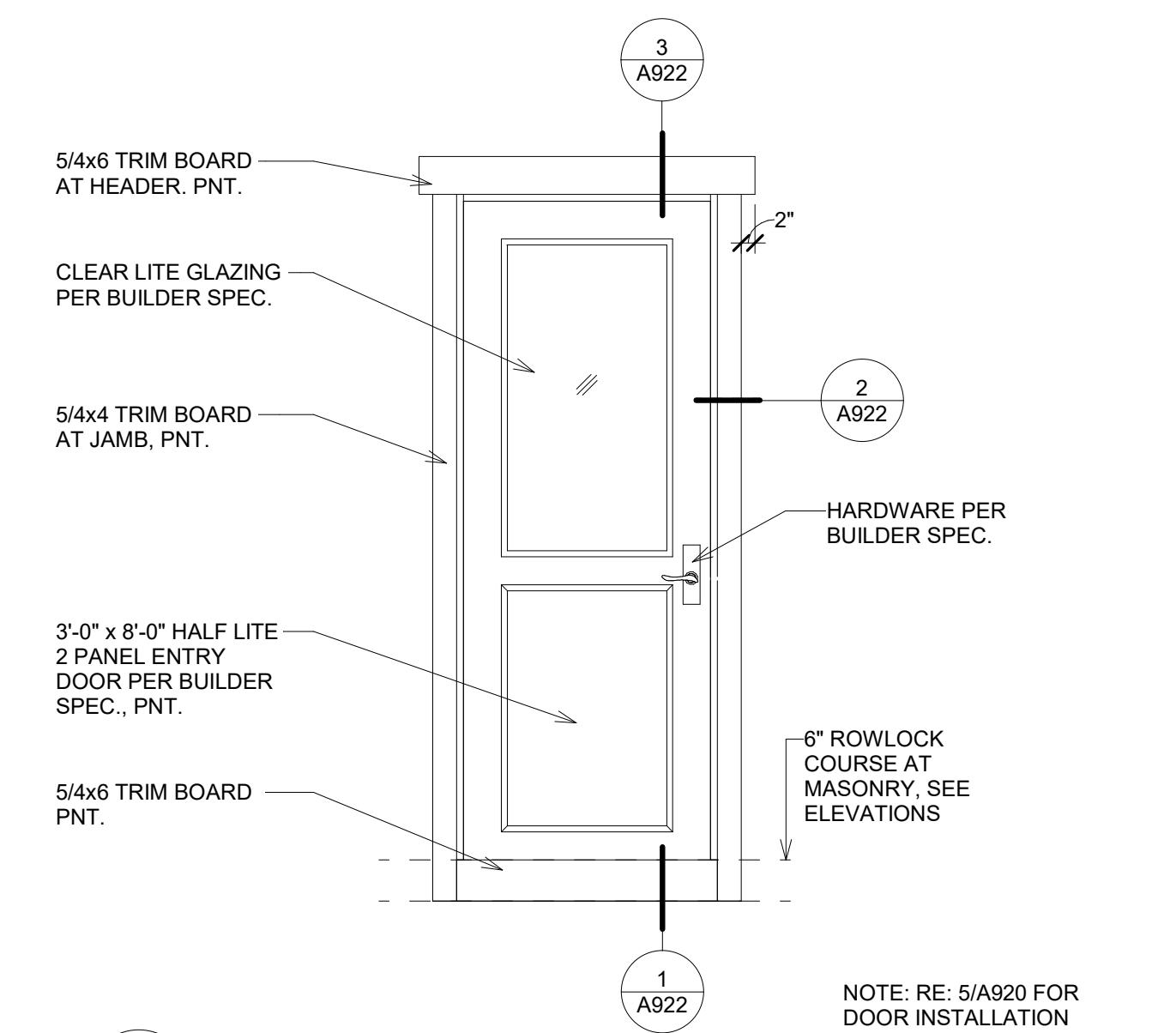
# BAREFOOT LAKES

## DETAILS - BUILDER'S PLAN SET

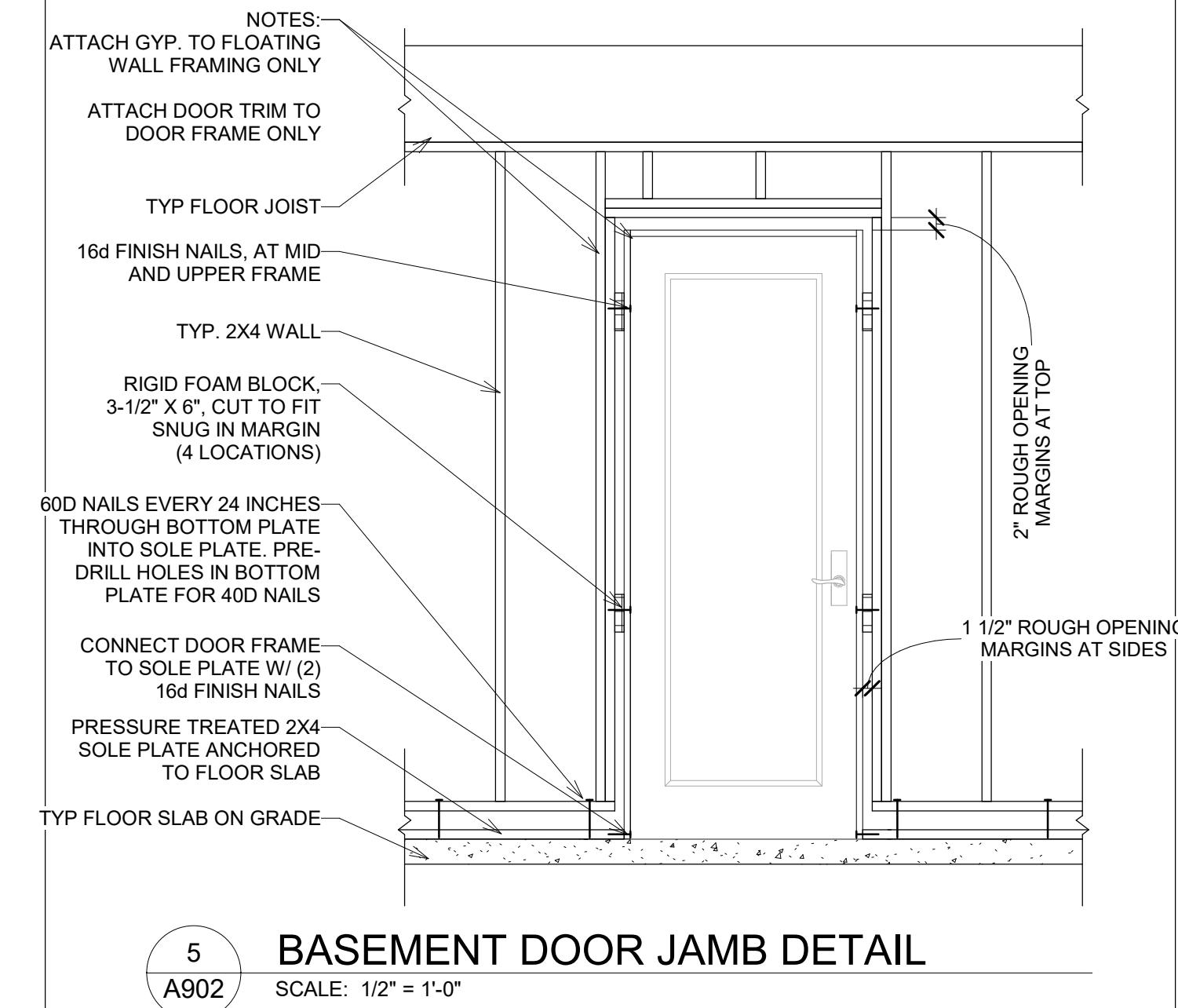
# BROOKFIELD RESIDENTIAL TOWN OF FIRESTONE, CO



**3** A902 **AWNNG**  
SCALE: 1" = 1'-0"



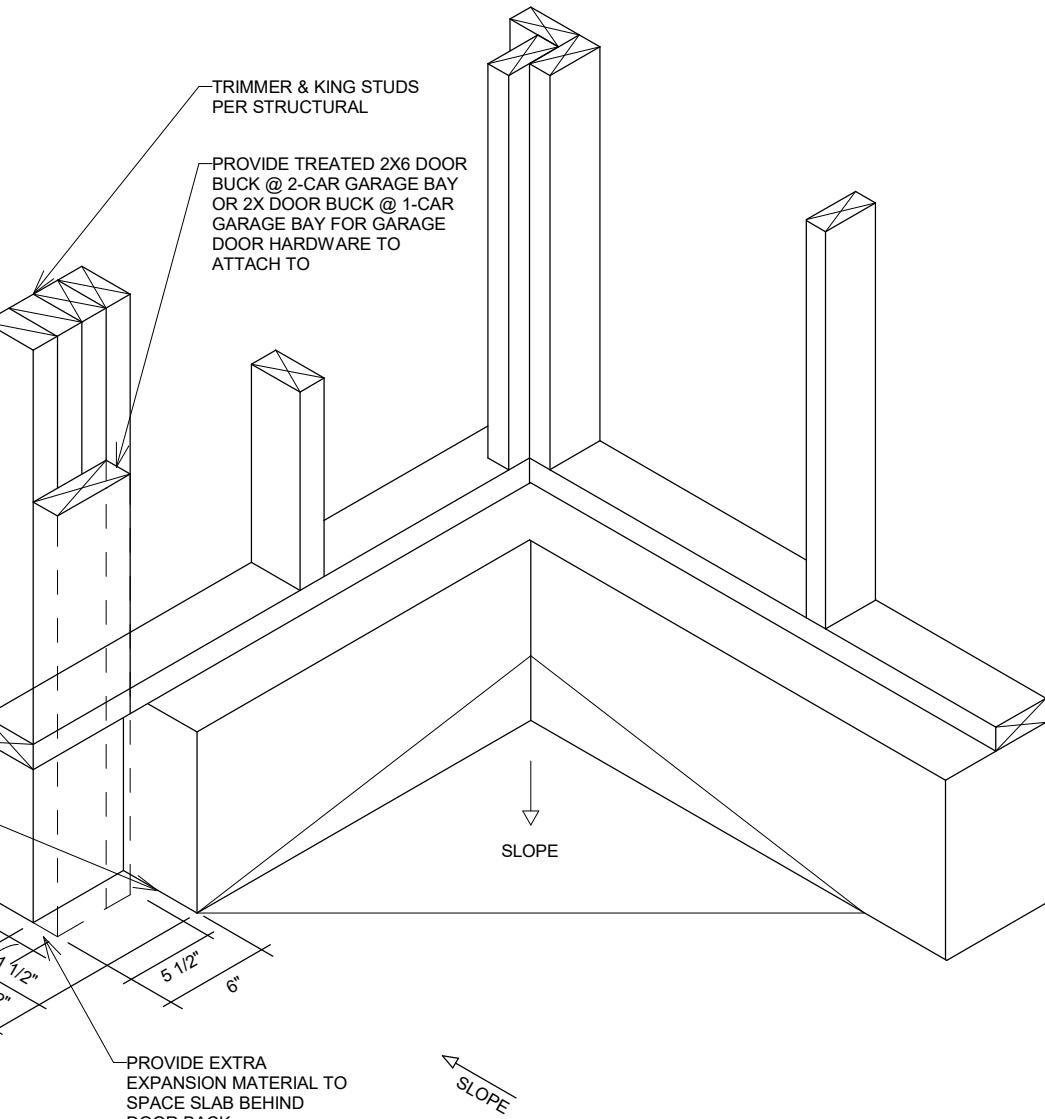
**ENTRY DOOR**



5  
A902

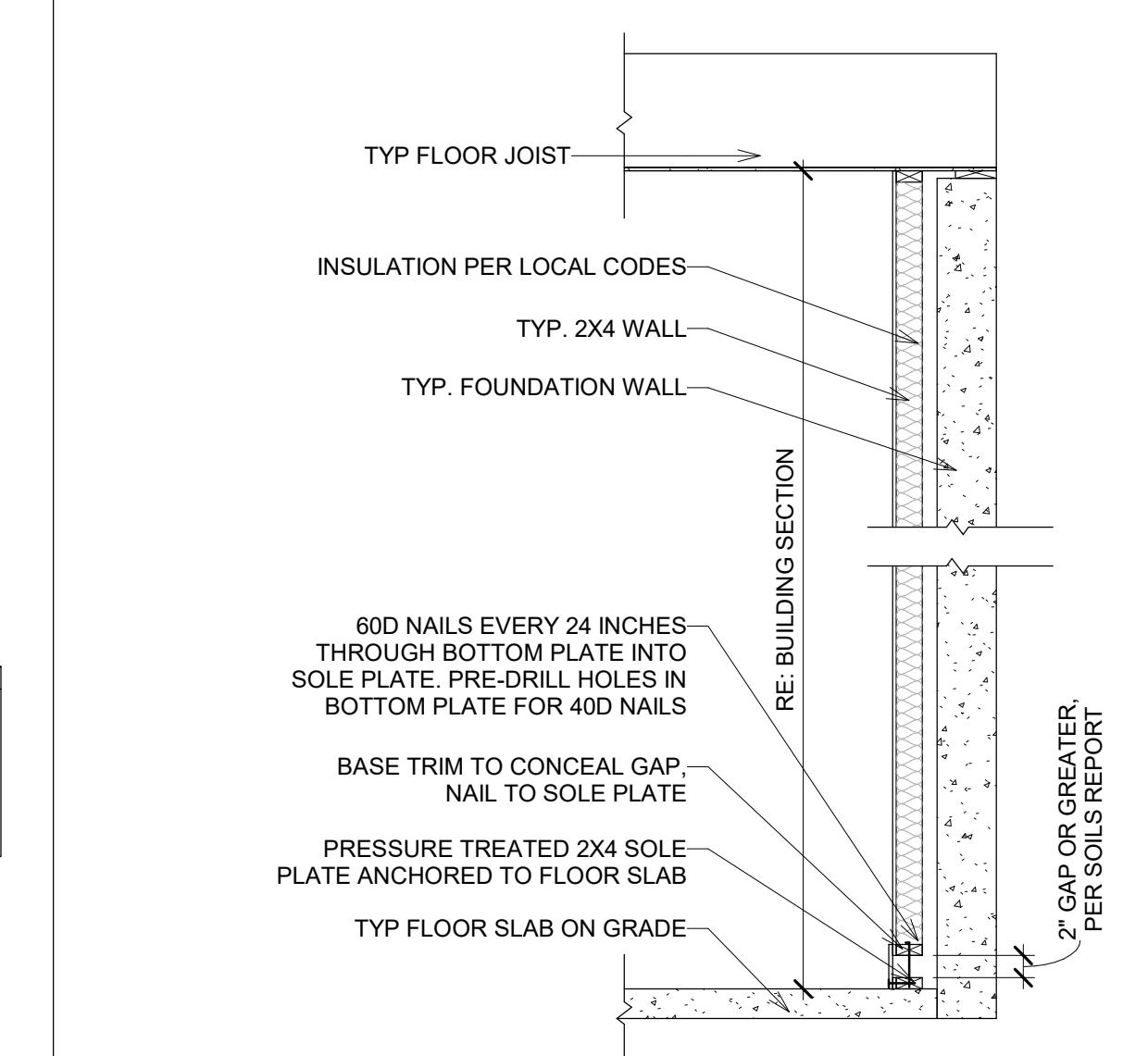
# BASEMENT DOOR JAMB DETAIL

SCALE: 1/2" = 1'-0"



# GARAGE SLAB CRICKET

SCALE: 1" = 1'-0"



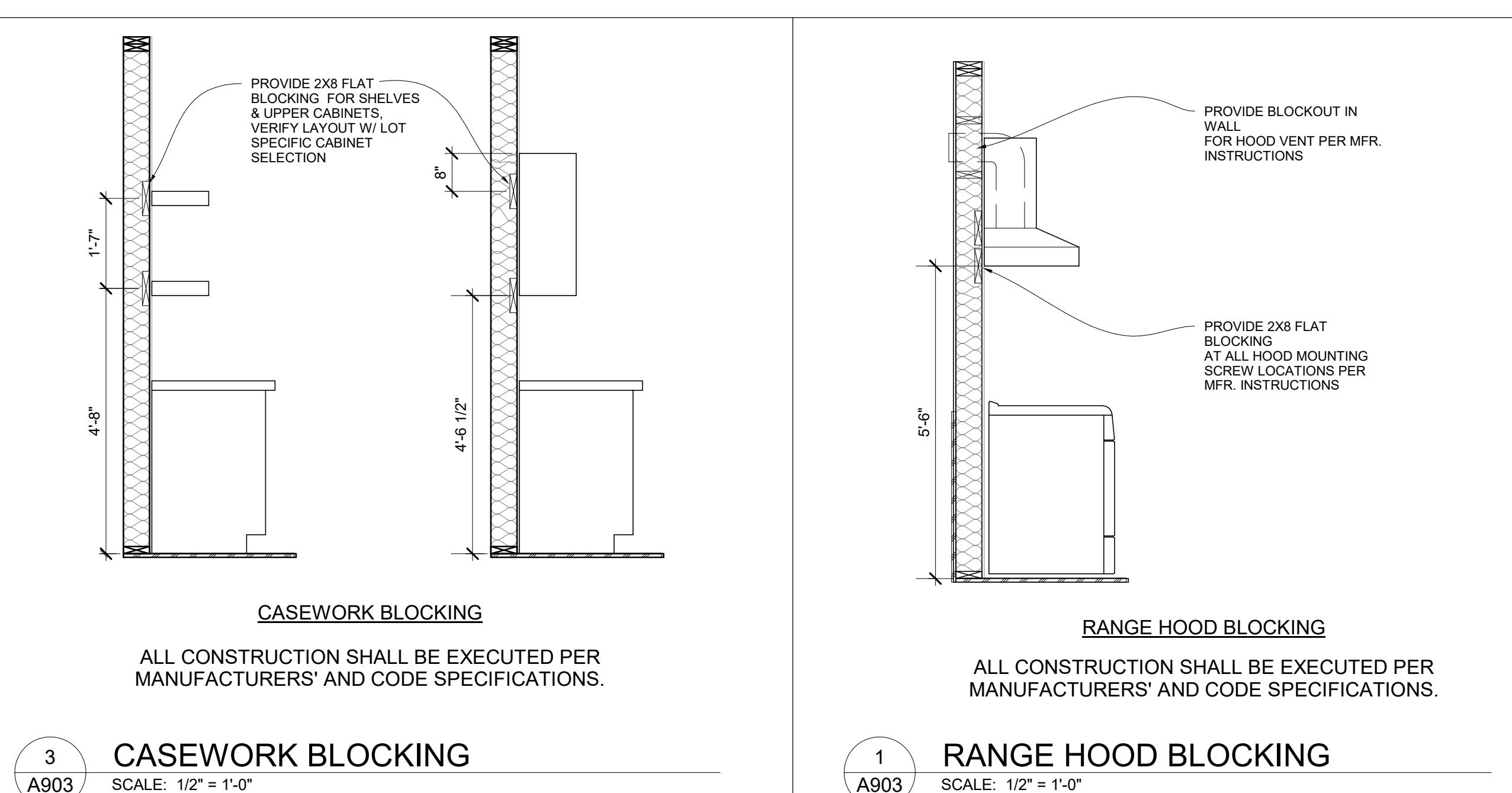
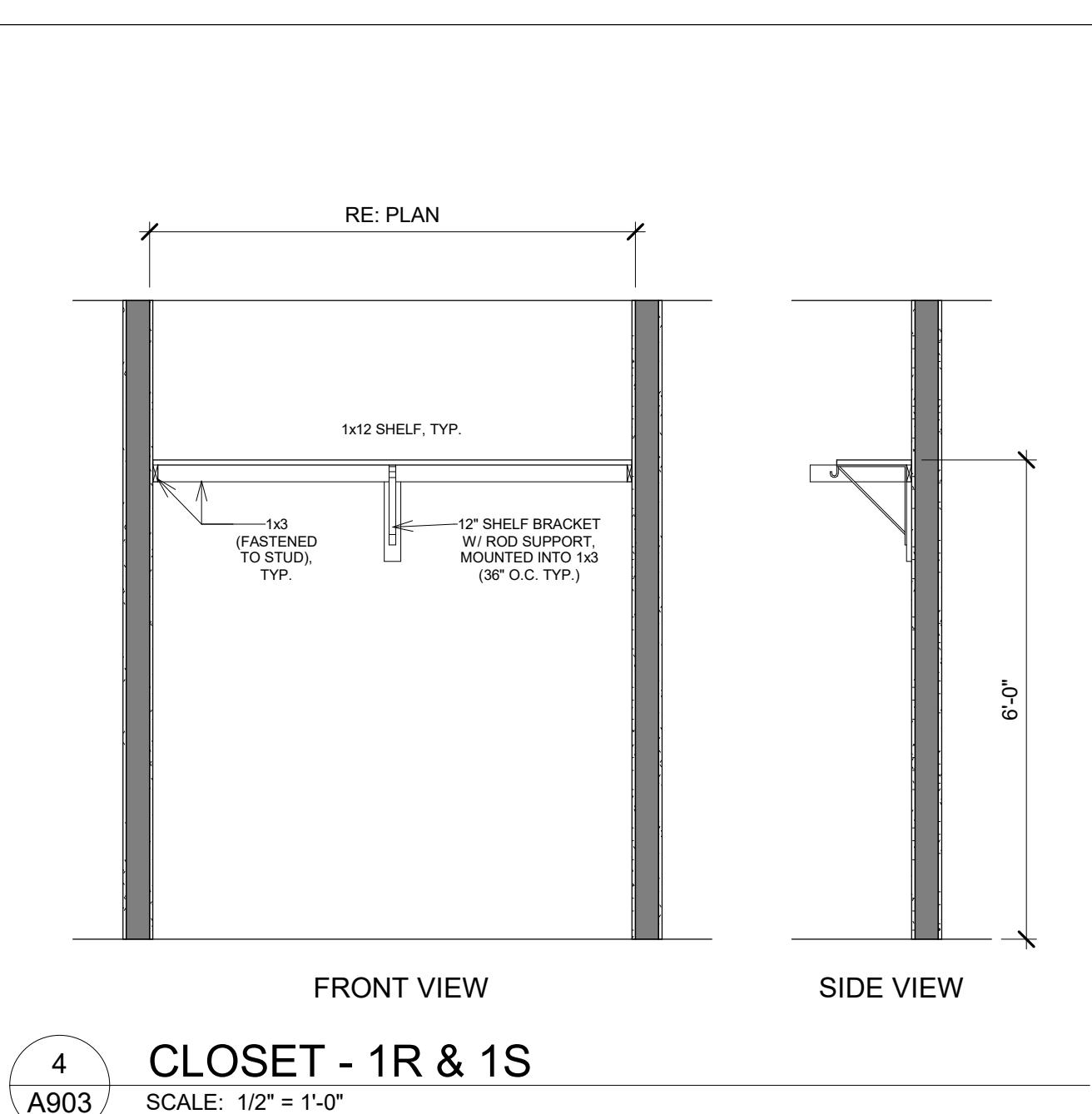
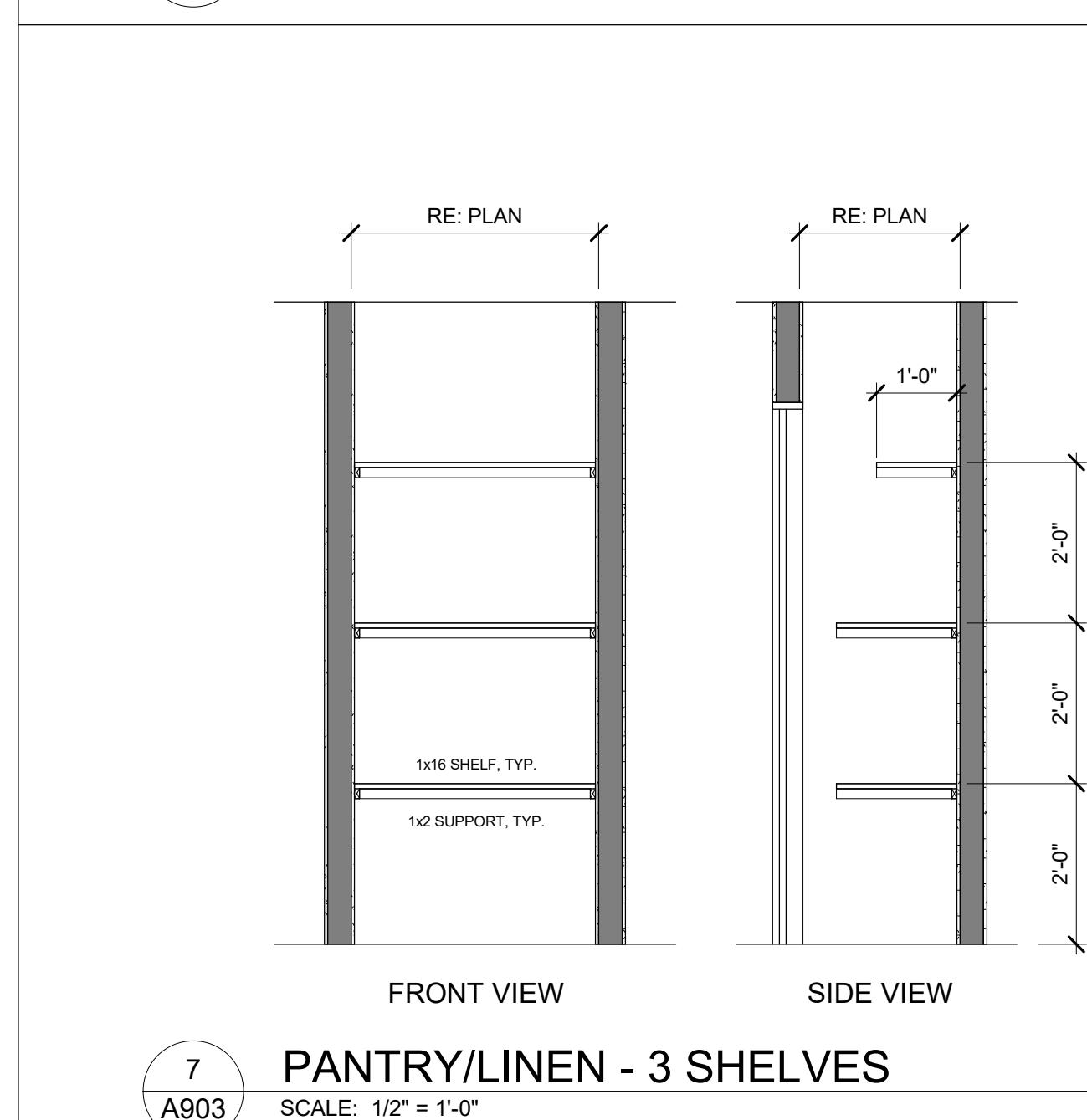
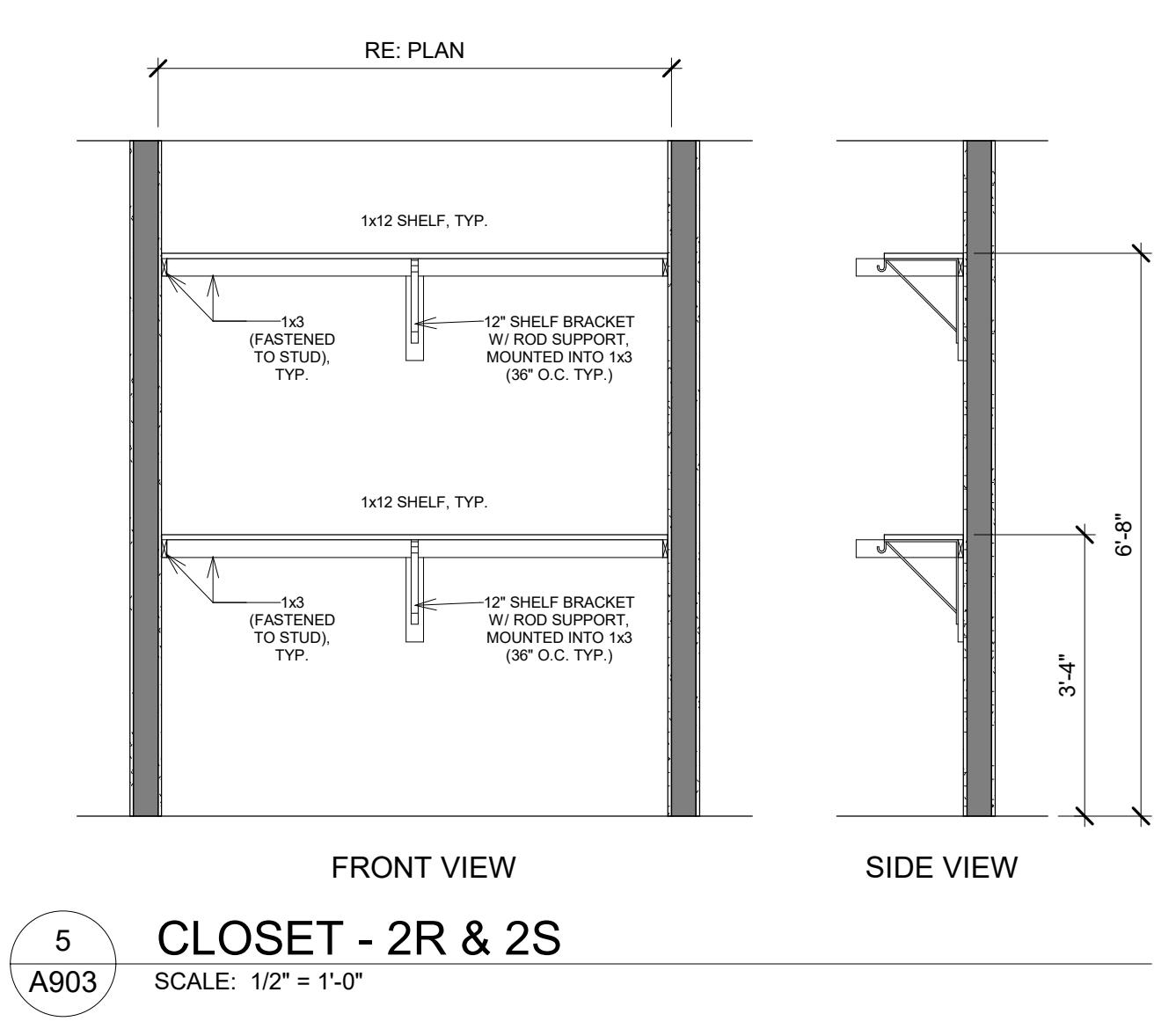
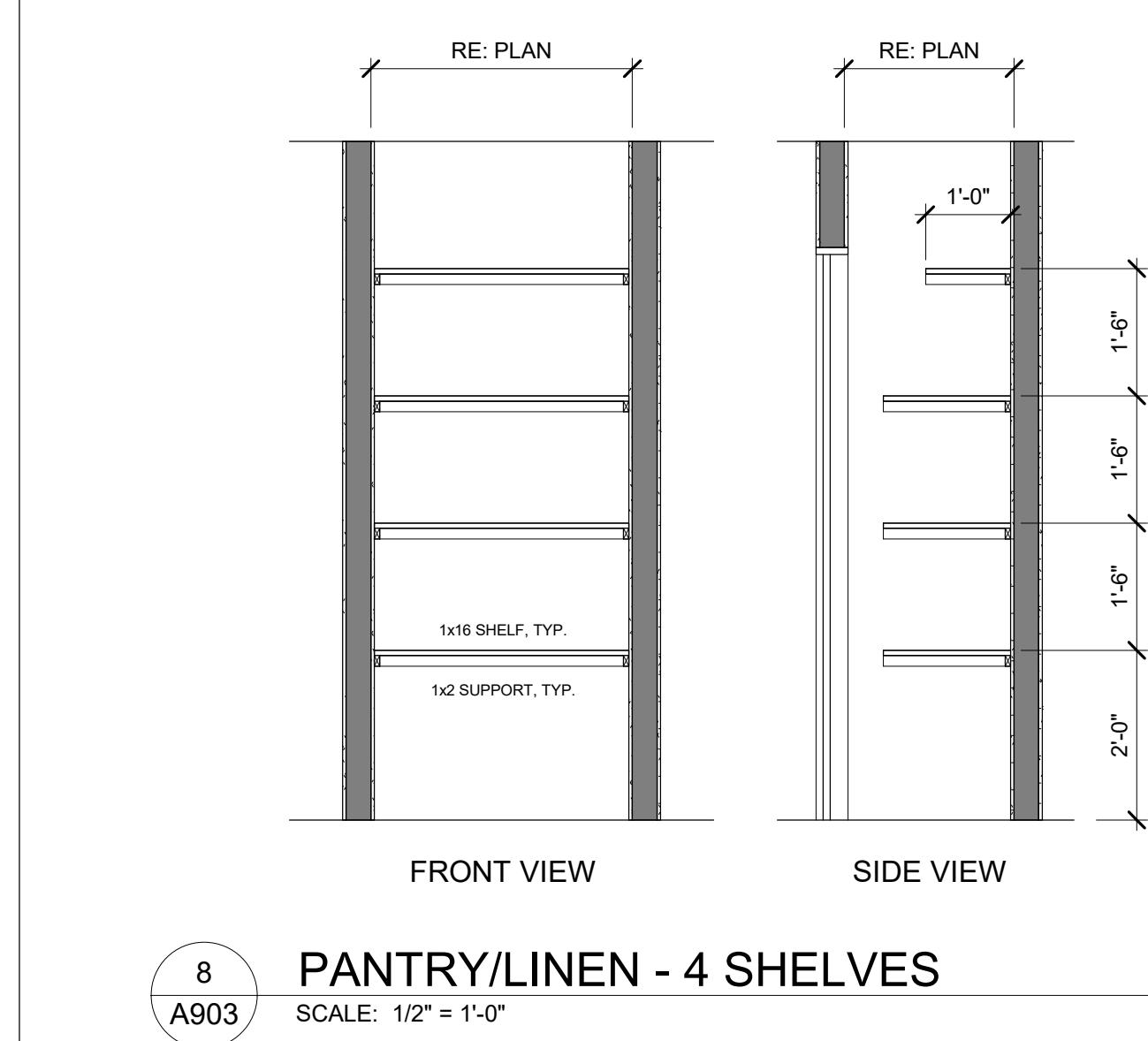
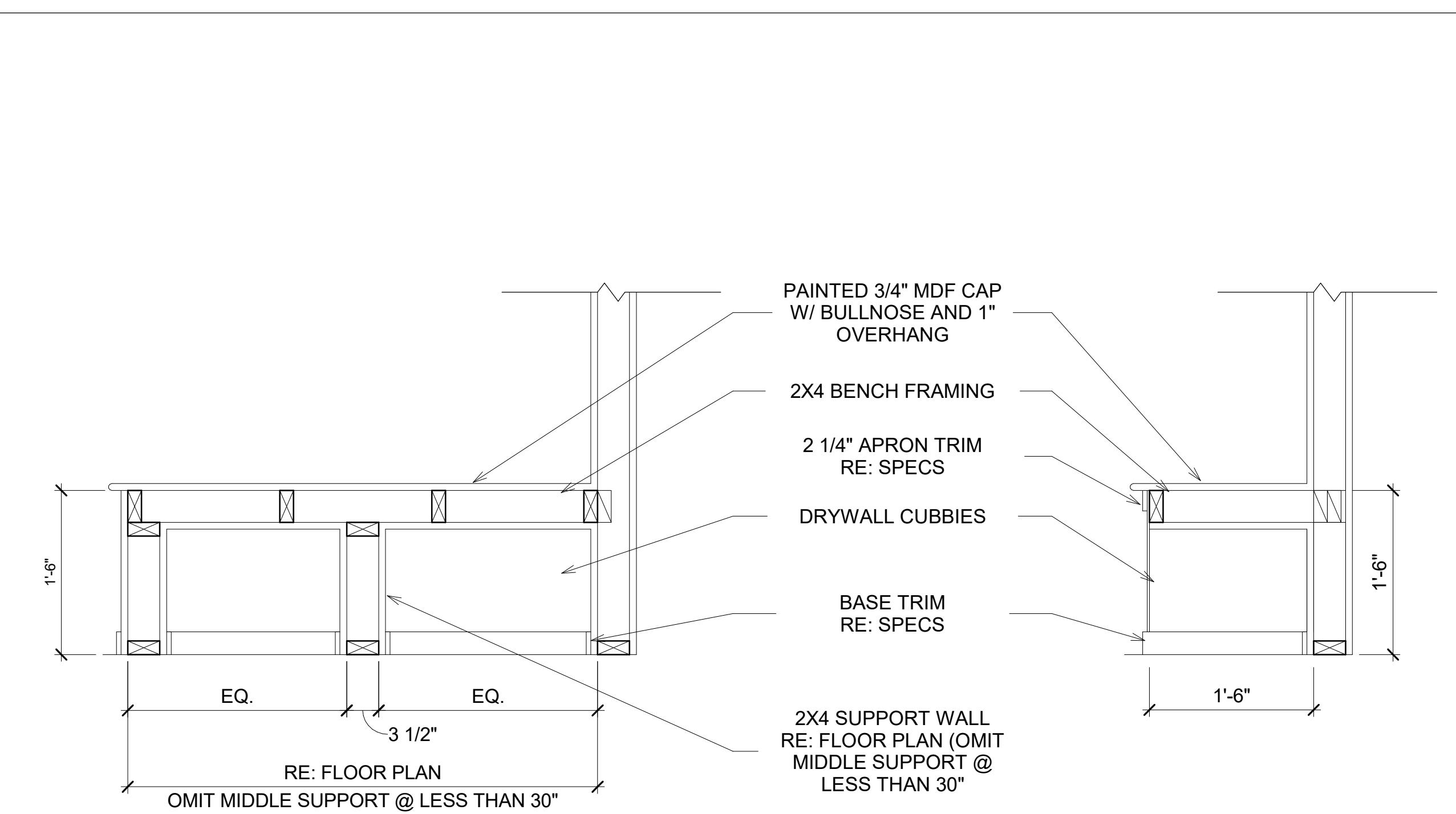
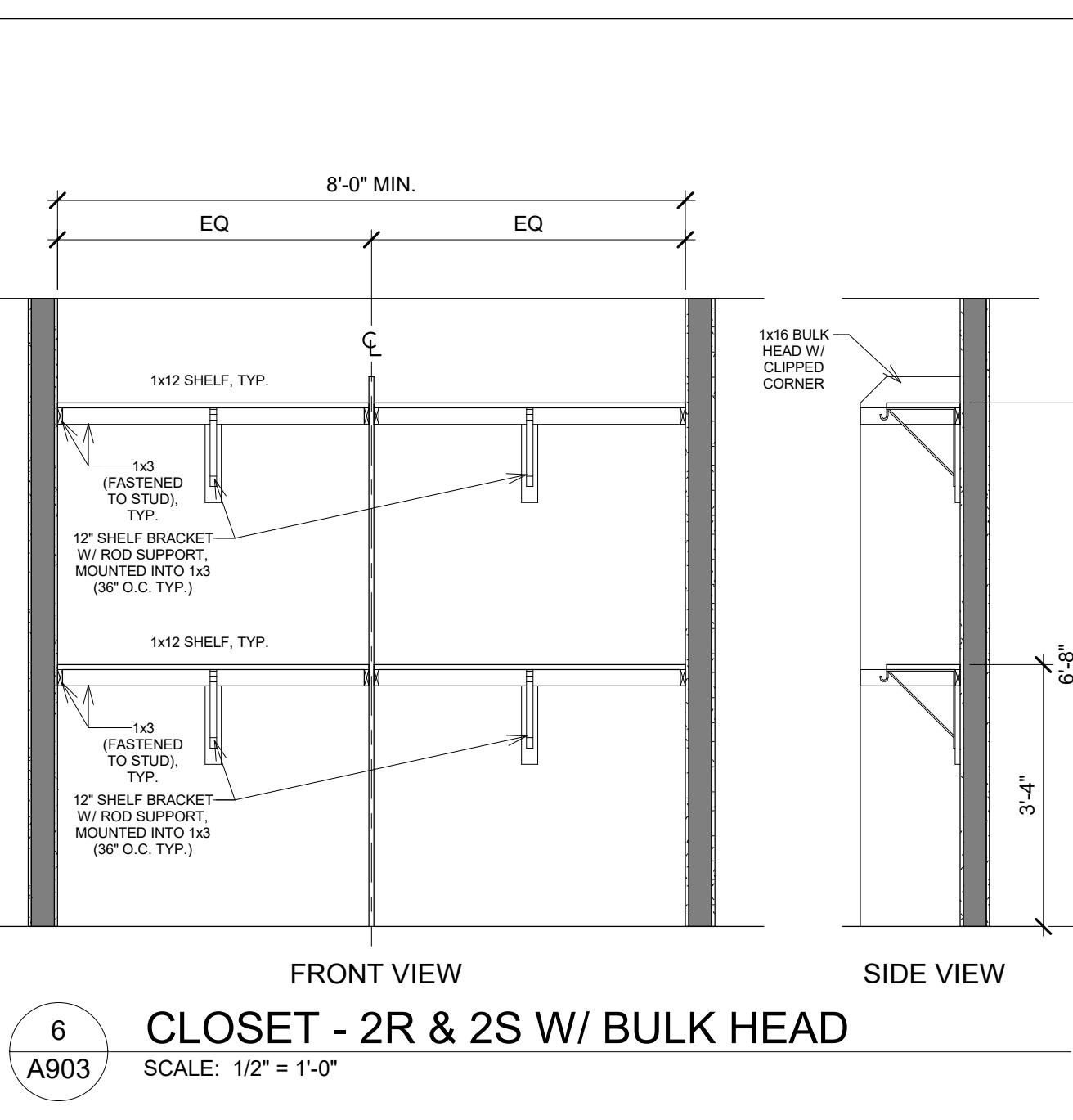
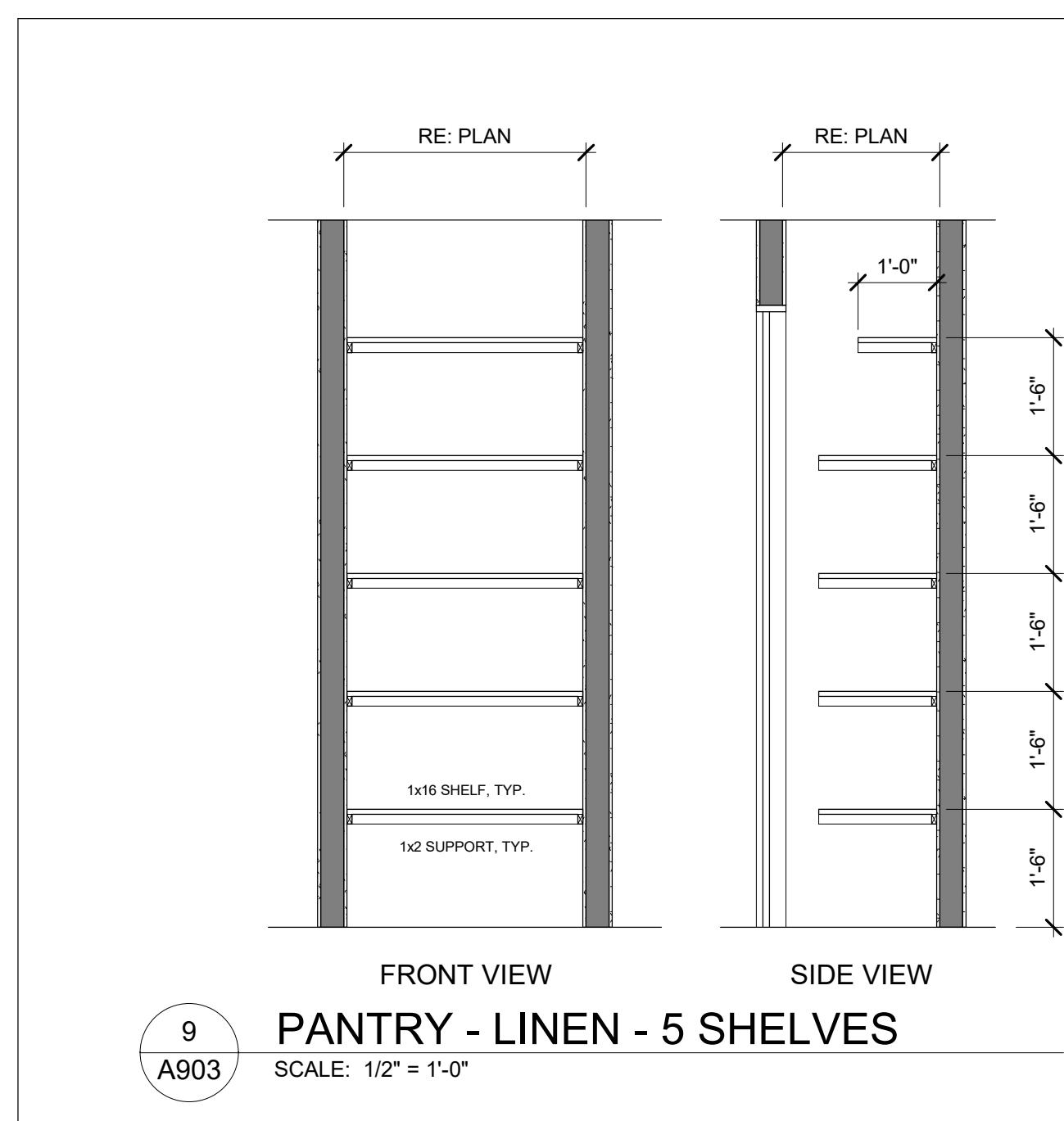
4  
A902 SLAB ON GRAD  
SCALE: 1/2" = 1'-0"



## BAREFOOT LAKES

DETAILS - BUILDER'S PLAN SET

BROOKFIELD RESIDENTIAL  
TOWN OF FIRESTONE, CO



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ISSUE DATE: 10/28/2024  
REVISIONS:

DETAILS

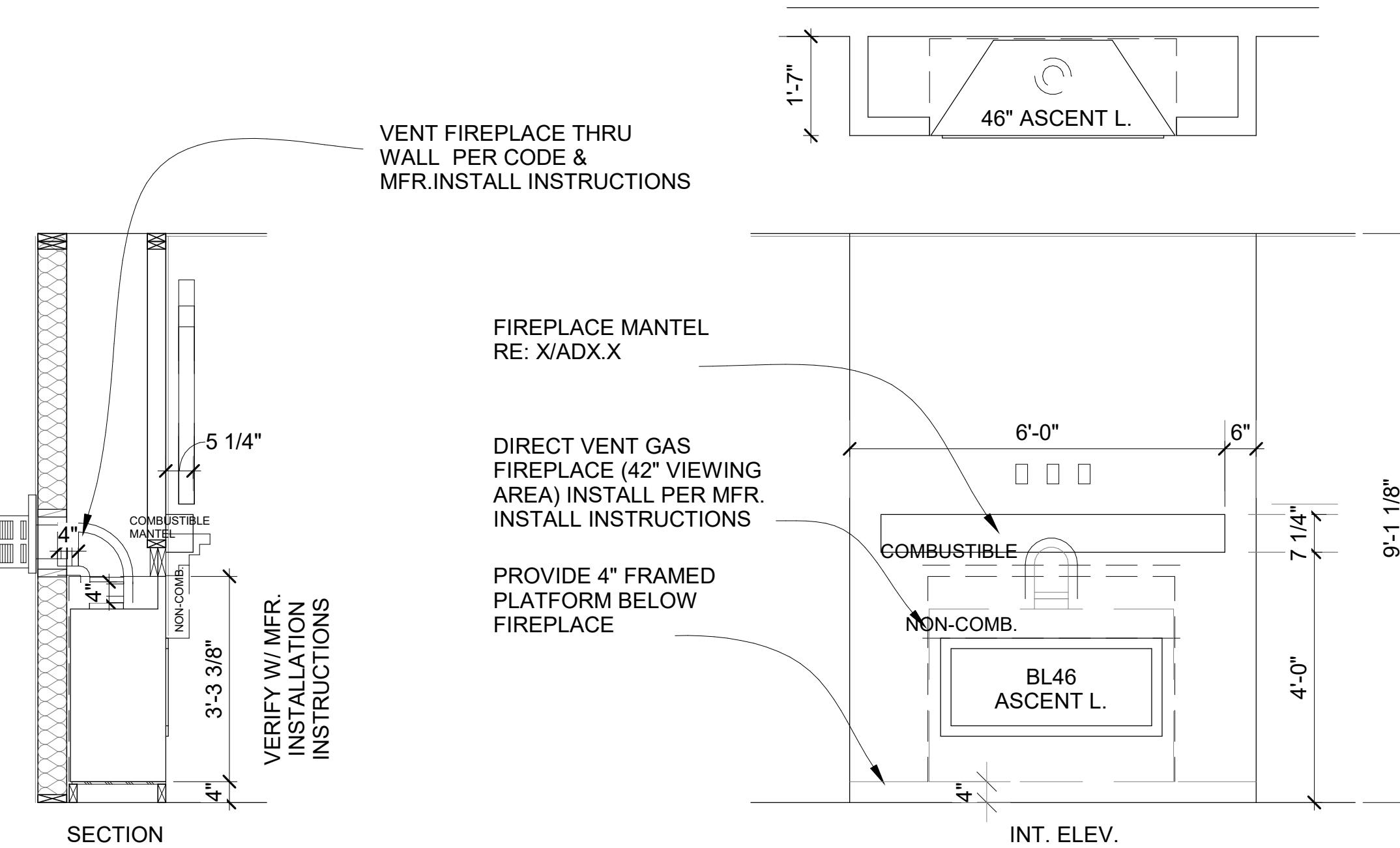
SHEET NUMBER:

A903

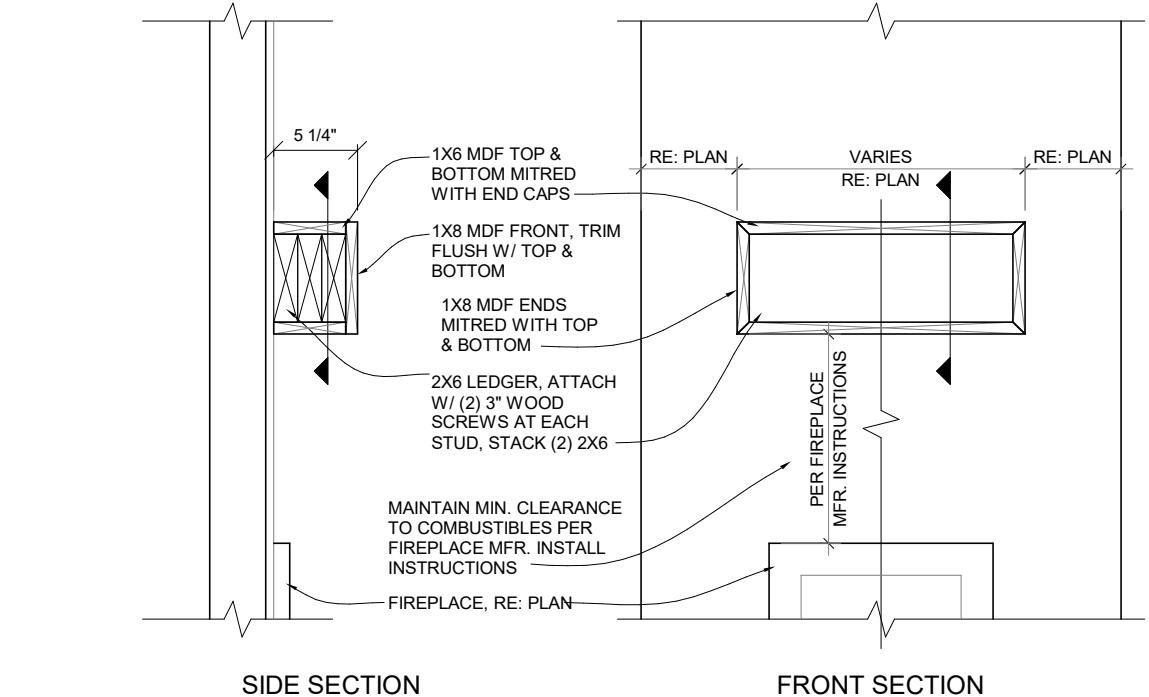
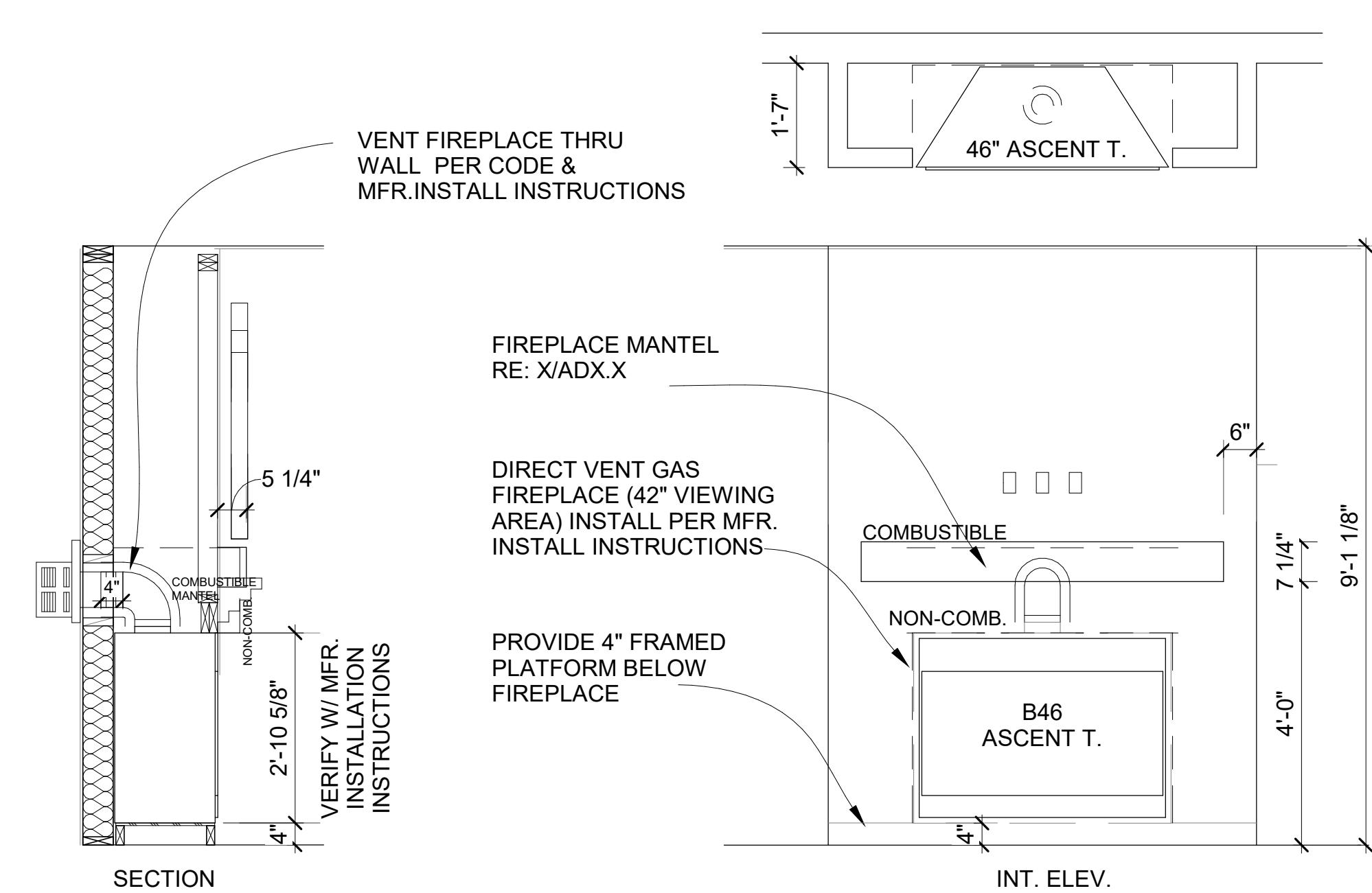
**BAREFOOT LAKES**  
DETAILS - BUILDER'S PLAN SET

BROOKFIELD RESIDENTIAL  
TOWN OF FIRESTONE, CO

**ASCENT LINEAR (9' PLATE)**



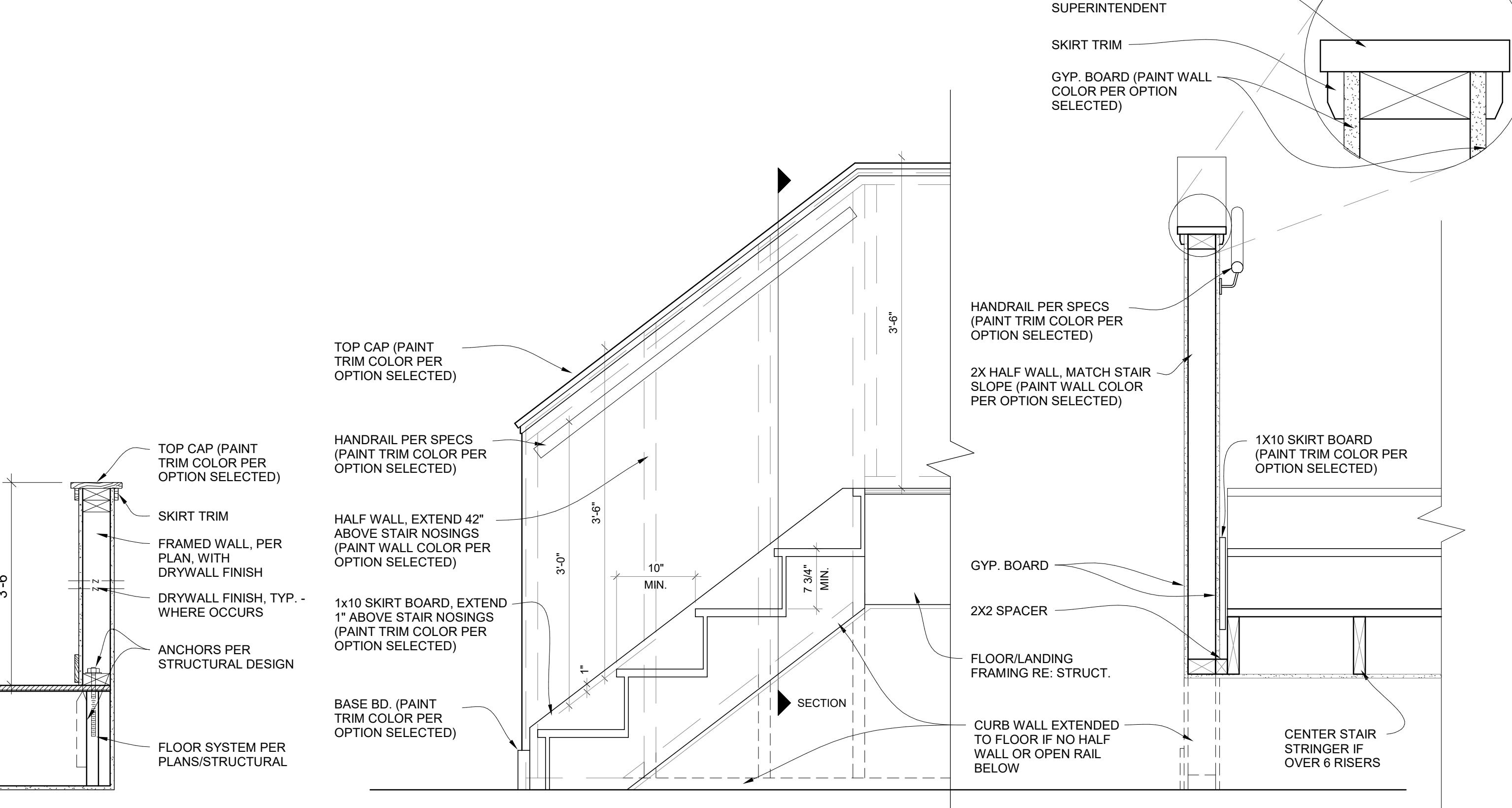
**ASCENT TRADITIONAL (9' PLATE)**



**FIREPLACE BOX  
MANTLE DETAIL**

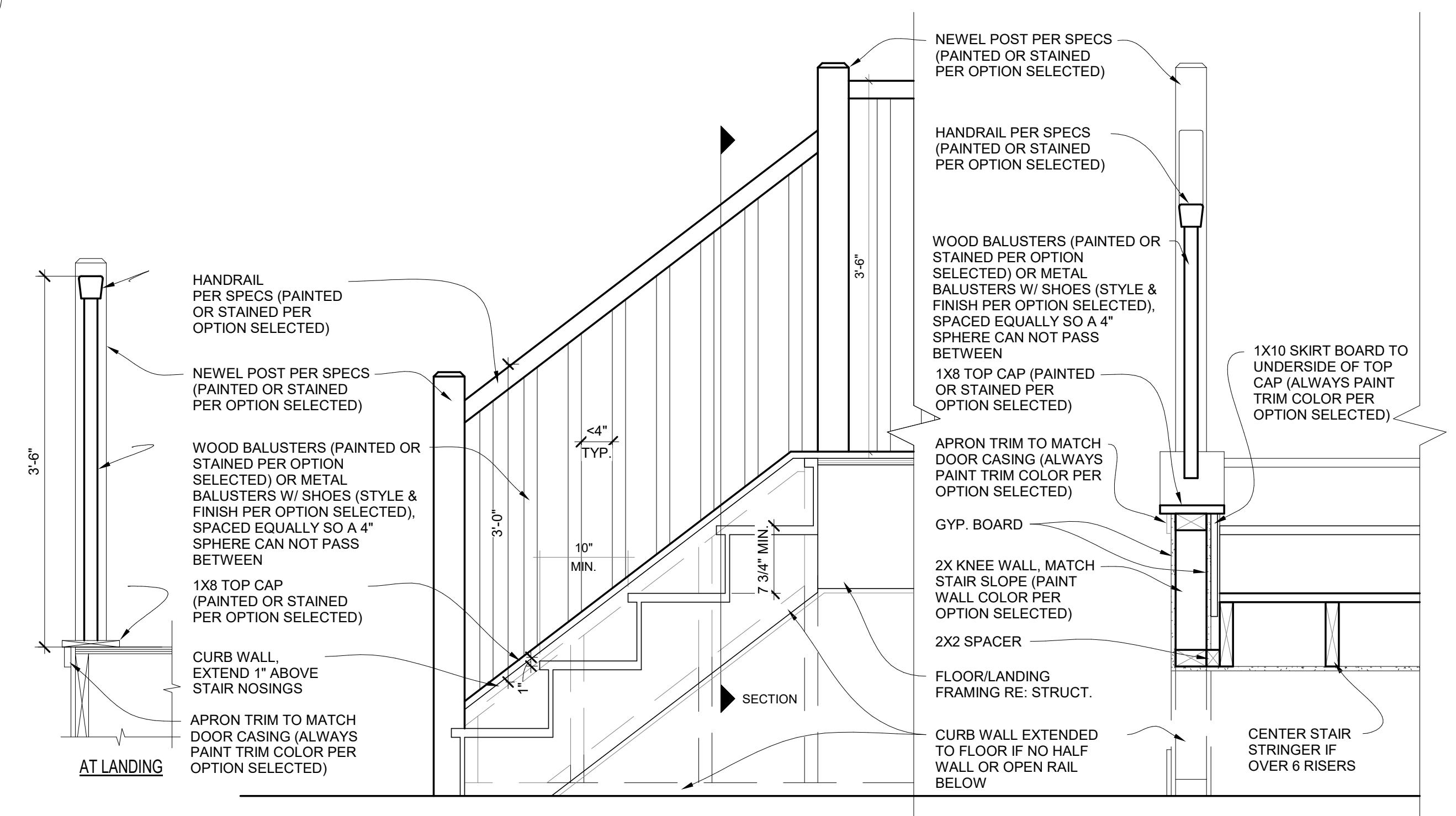
**ASCENT FIREPLACE**

SCALE: 1/2" = 1'-0"



**FIREPLACE MANTLE**

SCALE: 1" = 1'-0"



**STD. HALF WALL AT STAIRS**

ALL CONSTRUCTION SHALL BE EXECUTED PER MANUFACTURERS' AND CODE SPECIFICATIONS.

**STD. HALF WALL AT STAIRS**

SCALE: 1" = 1'-0"

**OPT. OPEN RAIL AT STAIRS**

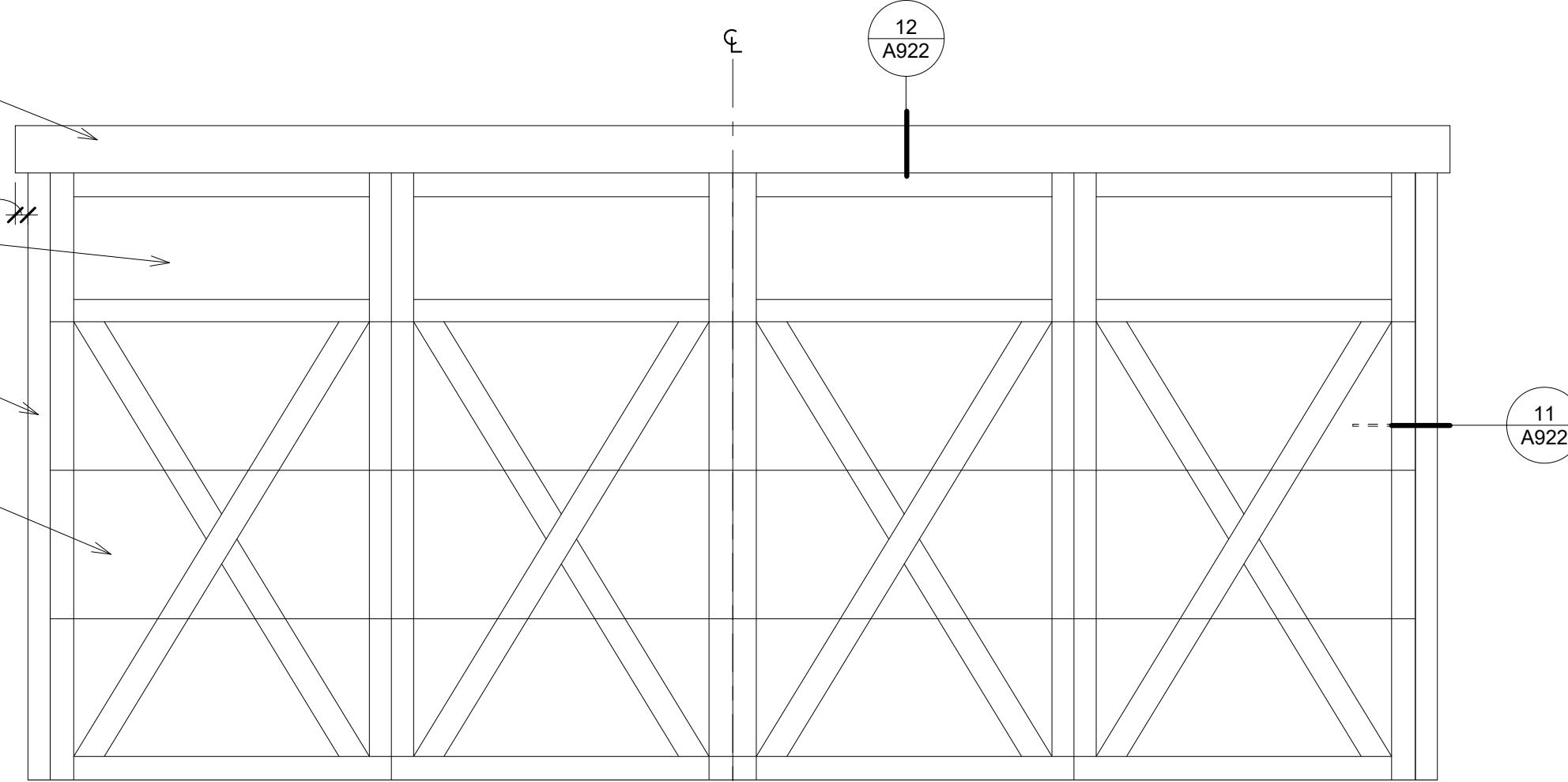
ALL CONSTRUCTION SHALL BE EXECUTED PER MANUFACTURERS' AND CODE SPECIFICATIONS.

**OPT. OPEN RAIL AT STAIRS**

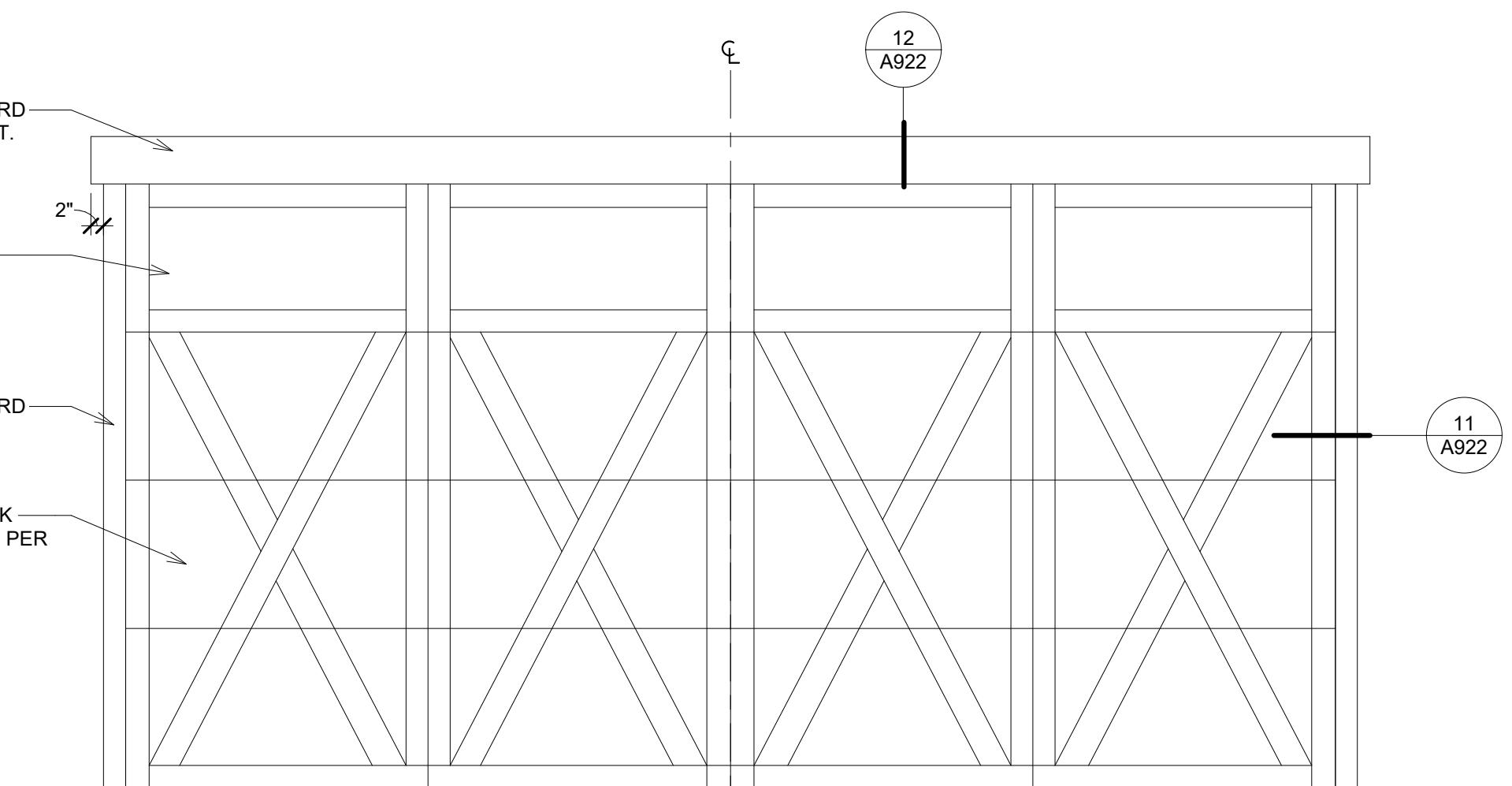
SCALE: 1" = 1'-0"

**BAREFOOT LAKES**  
DETAILS - BUILDER'S PLAN SET

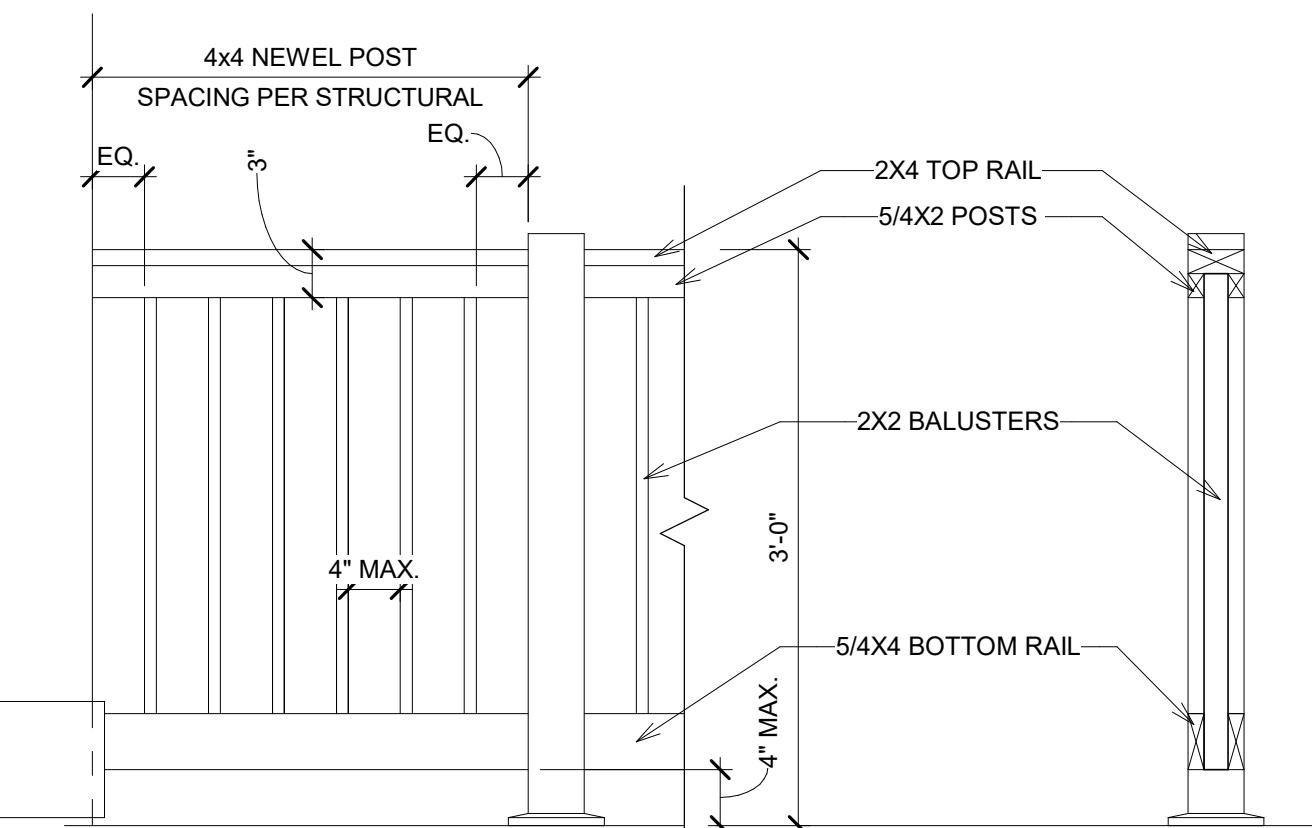
BROOKFIELD RESIDENTIAL  
TOWN OF FIRESTONE, CO



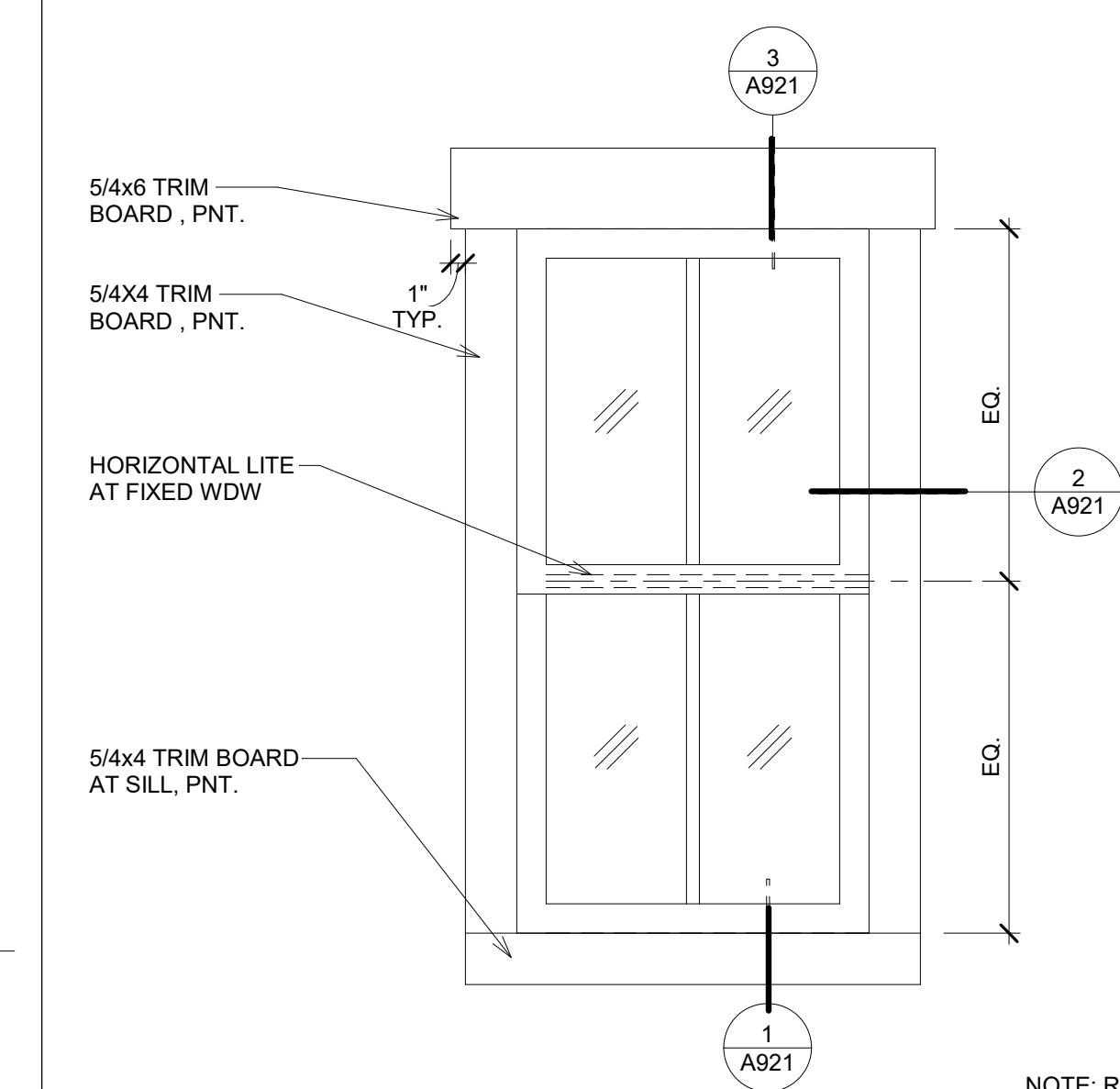
2 18' GARAGE DOOR - FOLK  
A905A SCALE: 1/2" = 1'-0"



6 16' GARAGE DOOR - FOLK  
A905A SCALE: 1/2" = 1'-0"



3 RAILING - FARMHOUSE  
A905A SCALE: 1" = 1'-0"



5 WINDOW - FOLK  
A905A SCALE: 1" = 1'-0"

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CHECKED BY: OL  
PROJECT NO: 2024023.20  
ISSUE DATE: 10/28/2024  
REVISIONS:

FOLK DETAILS

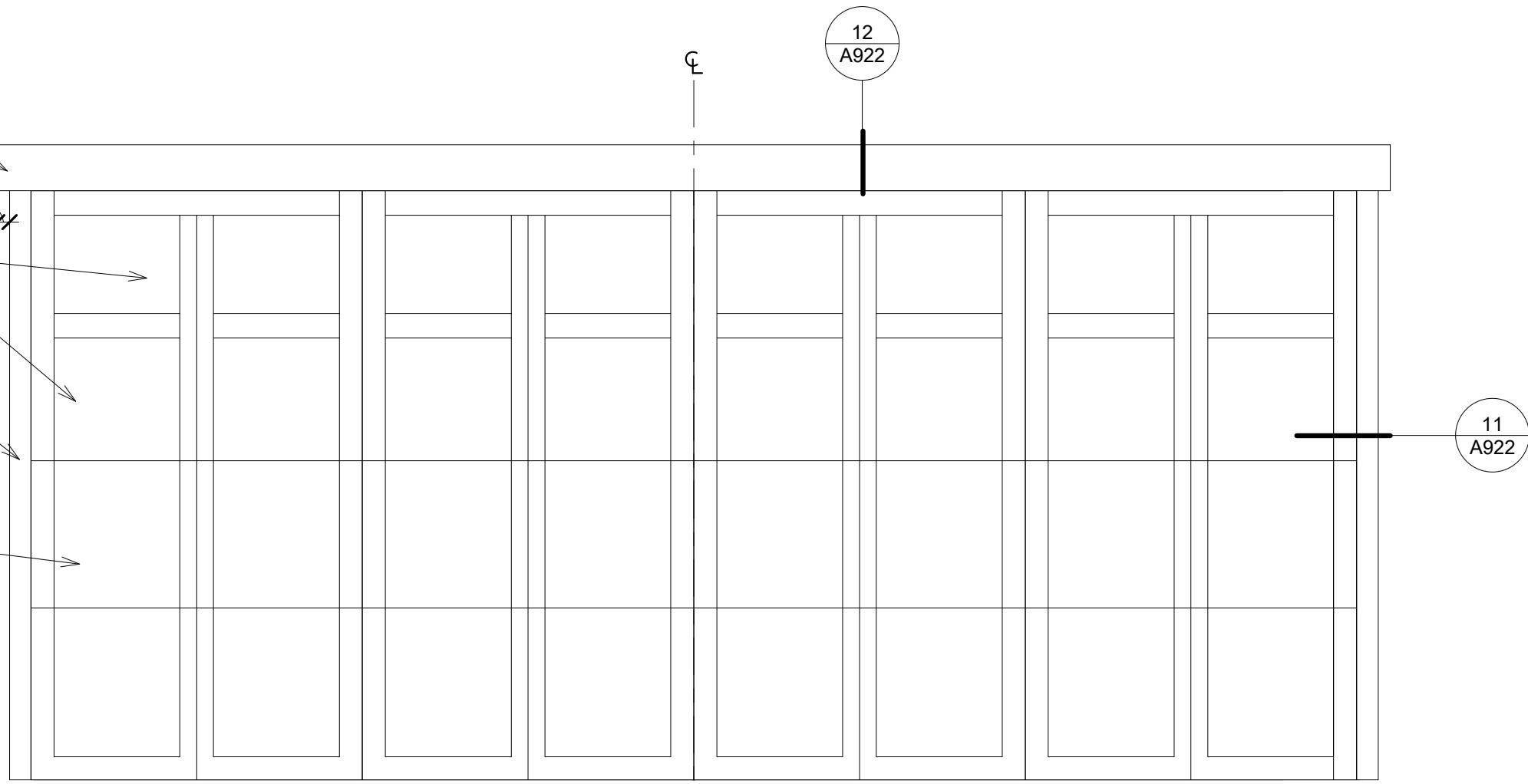
SHEET  
NUMBER:

A905A

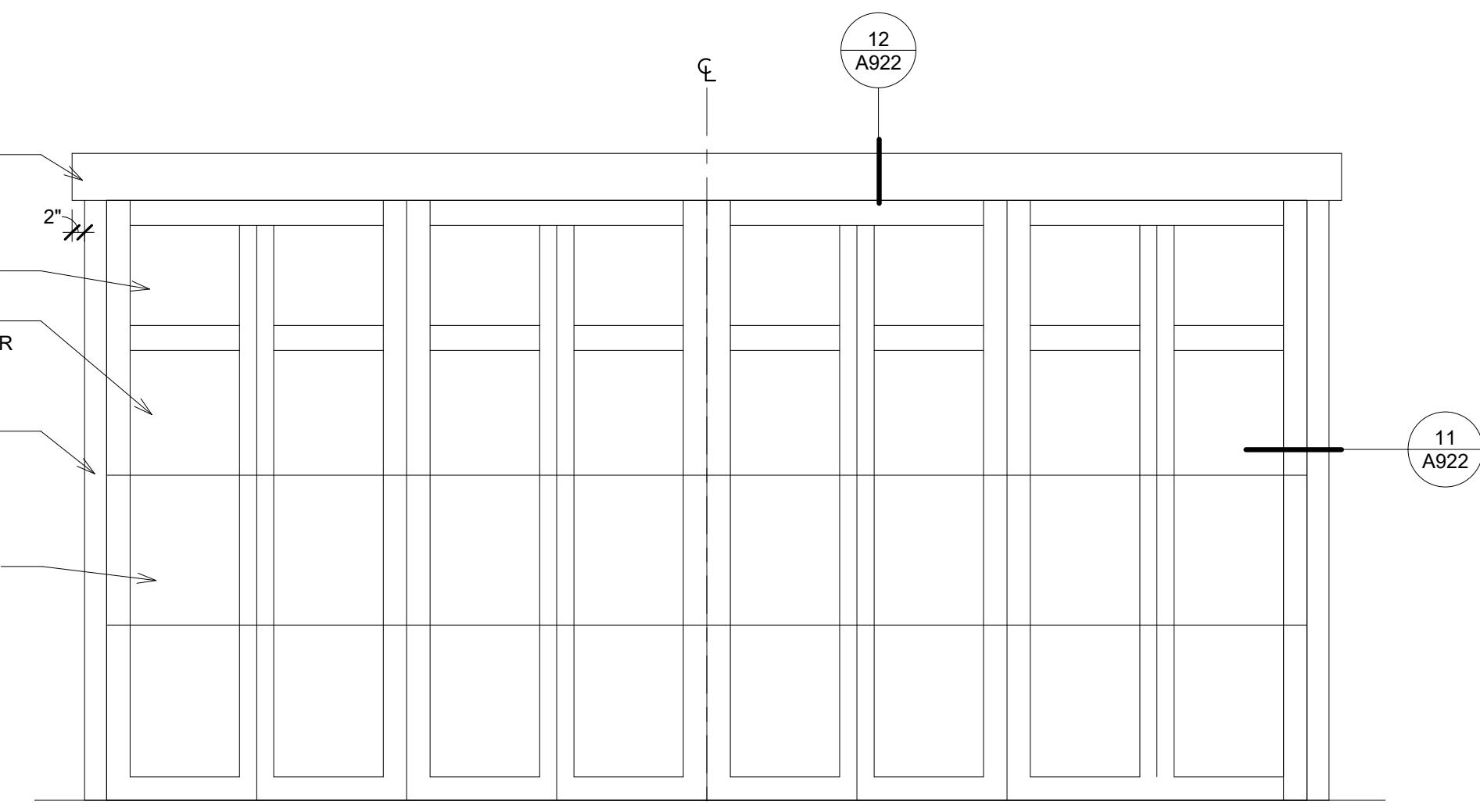
**BAREFOOT LAKES**

DETAILS - BUILDER'S PLAN SET

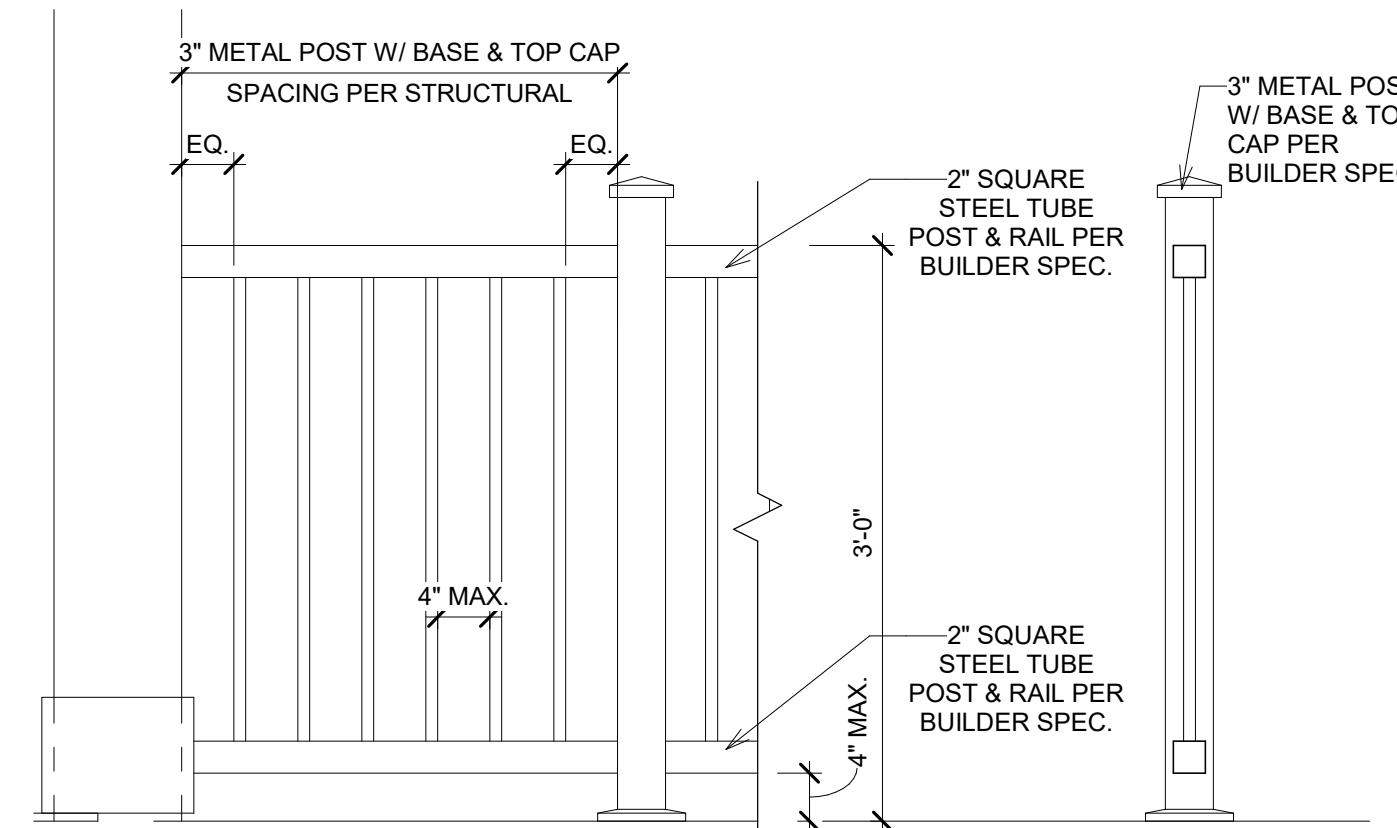
BROOKFIELD RESIDENTIAL  
TOWN OF FIRESTONE, CO



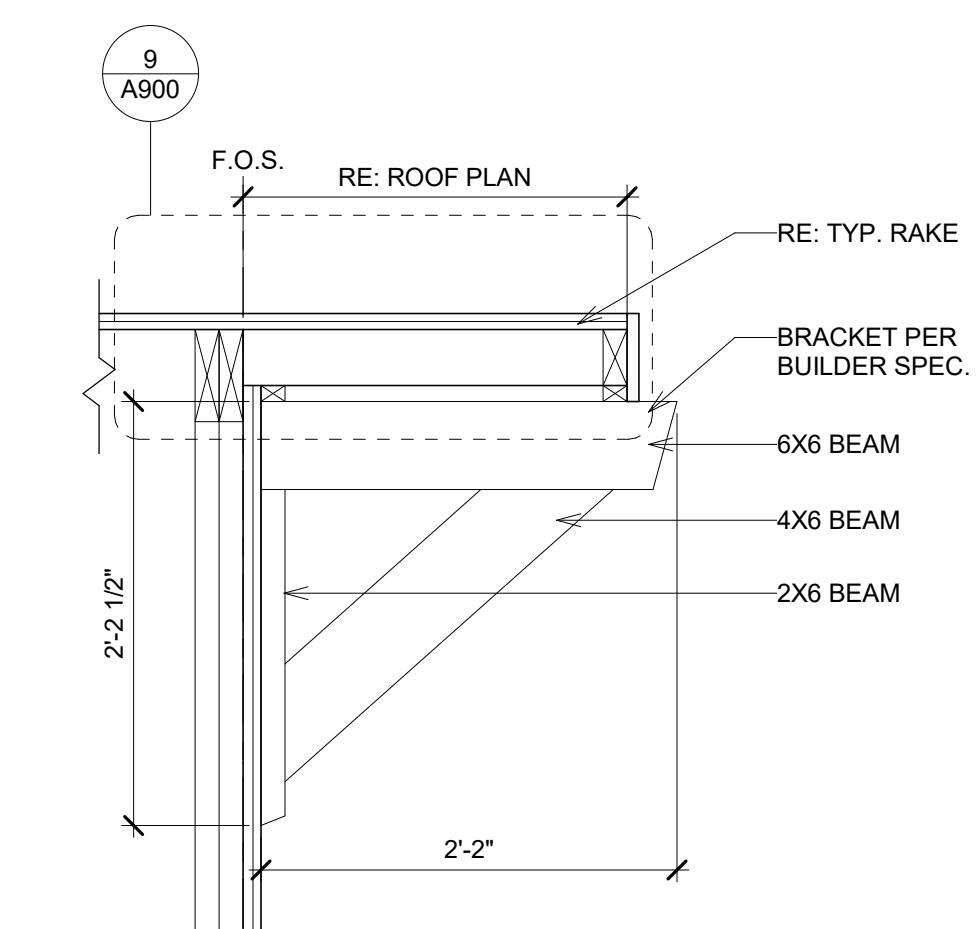
2 18' GARAGE DOOR - GABLE  
A905B SCALE: 1/2" = 1'-0"



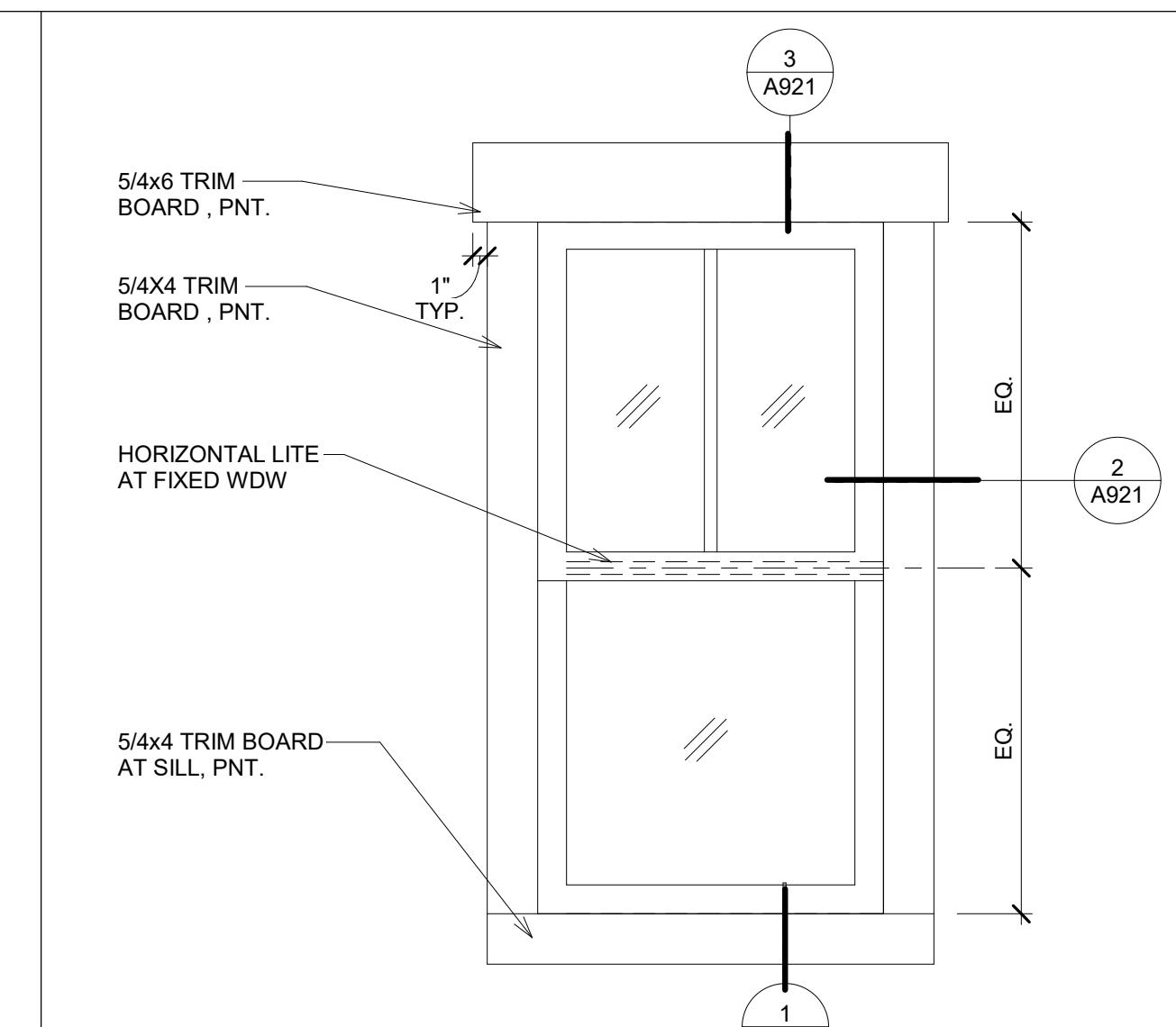
6 16' GARAGE DOOR - GABLE  
A905B SCALE: 1/2" = 1'-0"



3 RAILING - GABLE  
A905B SCALE: 1" = 1'-0"



1 DECORATIVE BRACKET - GABLE  
A905B SCALE: 1" = 1'-0"



5 WINDOW - GABLE  
A905B SCALE: 1" = 1'-0"  
NOTE: RE: 4/A920 FOR WINDOW INSTALLATION

DRAWN BY: JM  
CHECKED BY: OL  
PROJECT NO: 2024023.20  
ISSUE DATE: 10/28/2024  
REVISIONS:

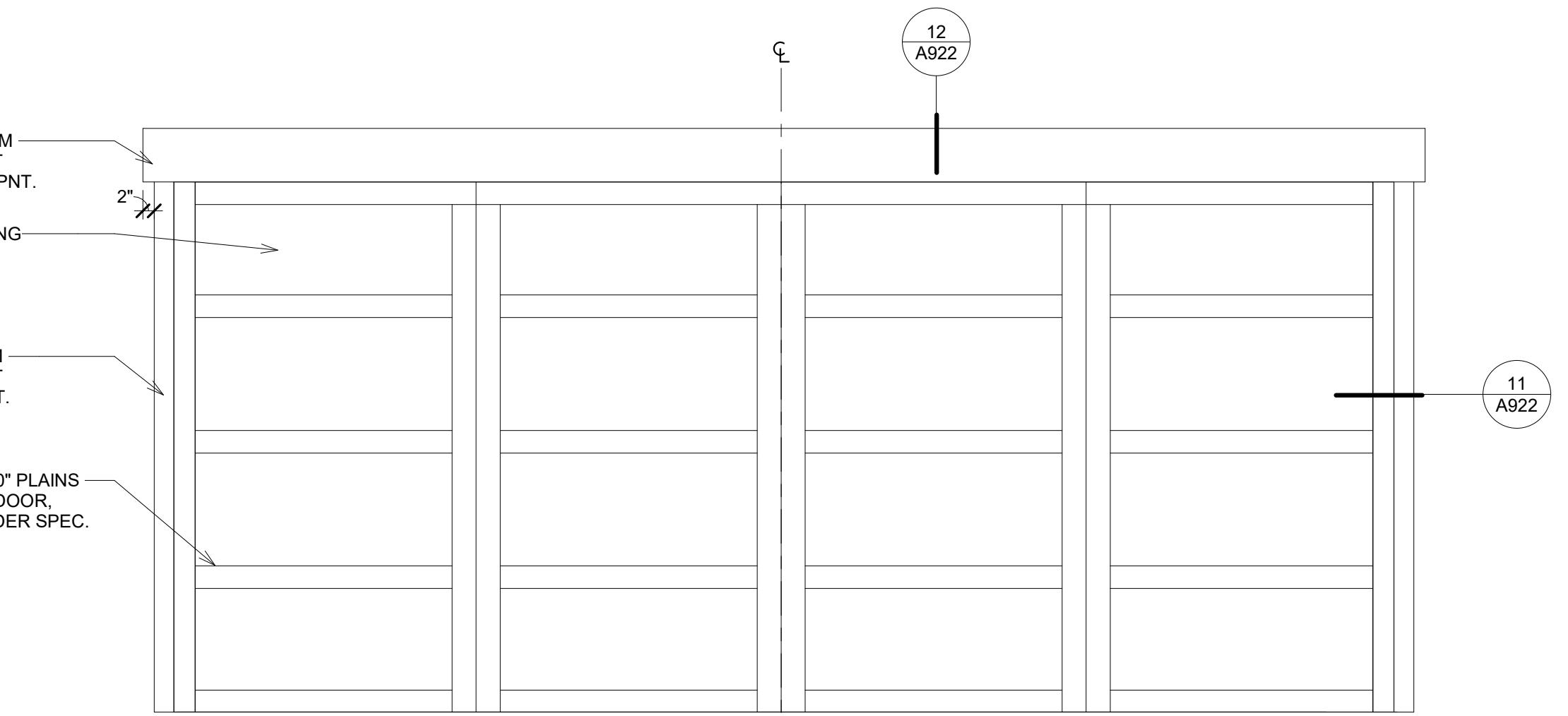
GABLE DETAILS

SHEET NUMBER:

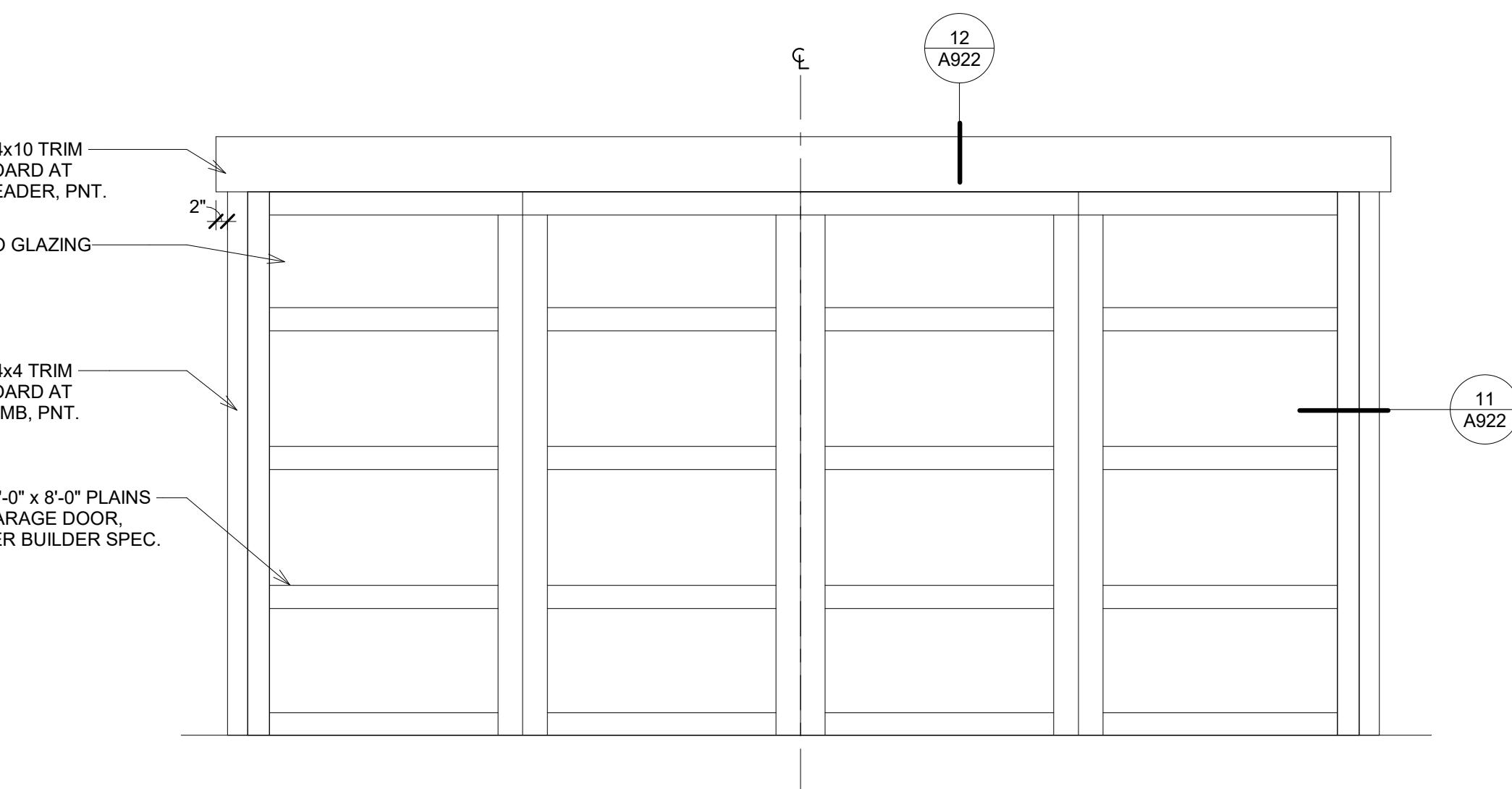
A905B

**BAREFOOT LAKES**  
DETAILS - BUILDER'S PLAN SET

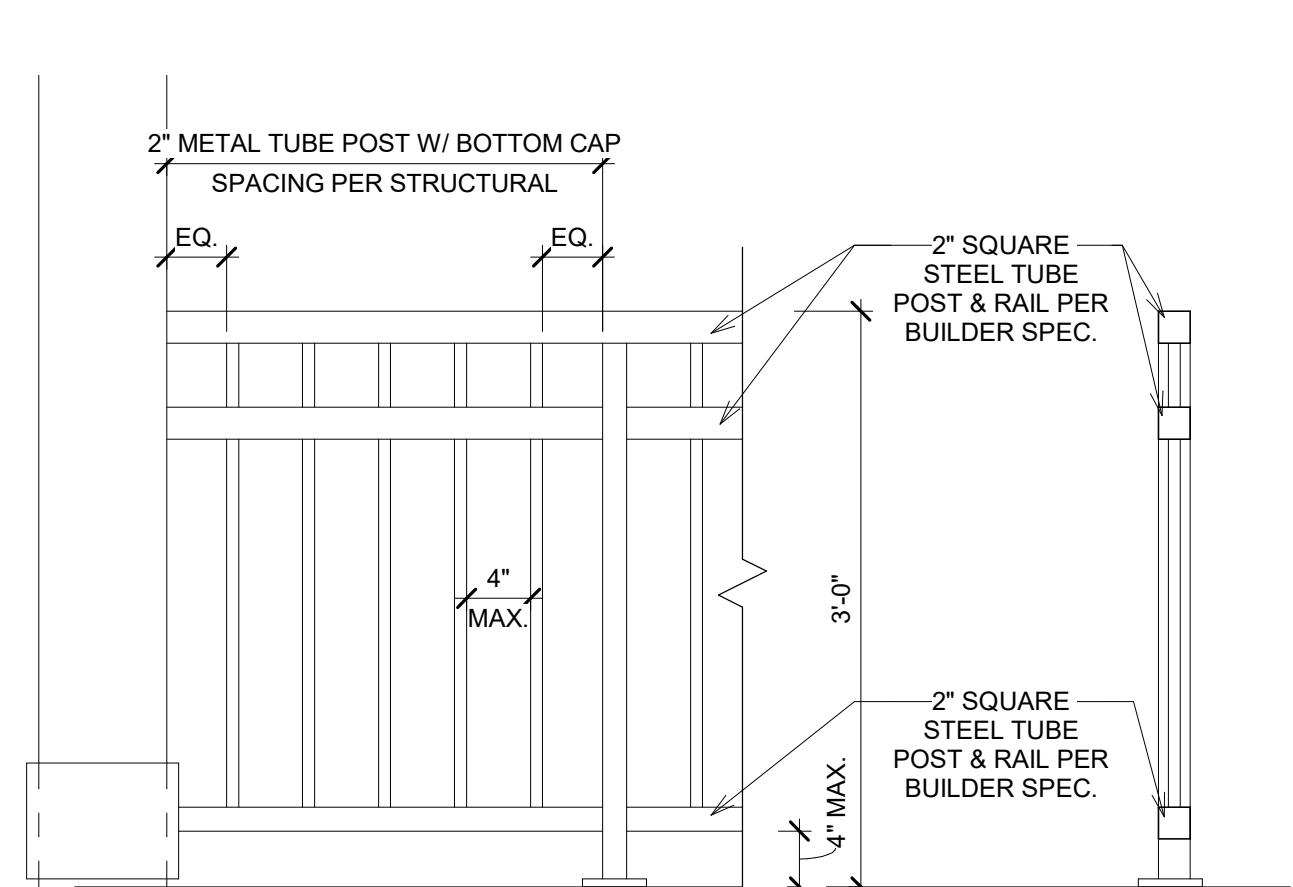
BROOKFIELD RESIDENTIAL  
TOWN OF FIRESTONE, CO



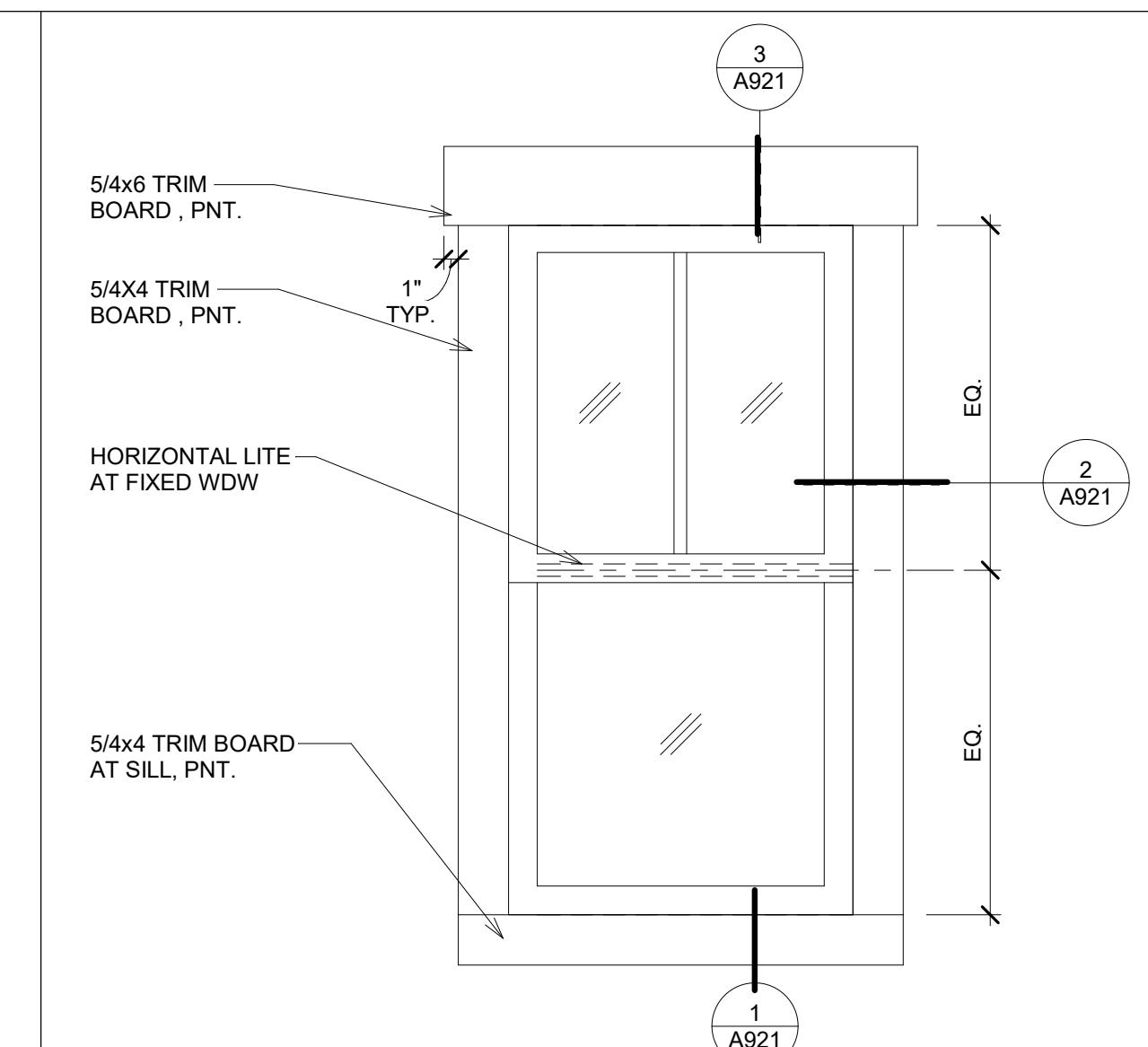
1 18' GARAGE DOOR - PLAINS  
A905C SCALE: 1/2" = 1'-0"



6 16' GARAGE DOOR - PLAINS  
A905C SCALE: 1/2" = 1'-0"



2 RAILING - PLAINS  
A905C SCALE: 1" = 1'-0"



5 WINDOW - PLAINS  
A905C SCALE: 1" = 1'-0"

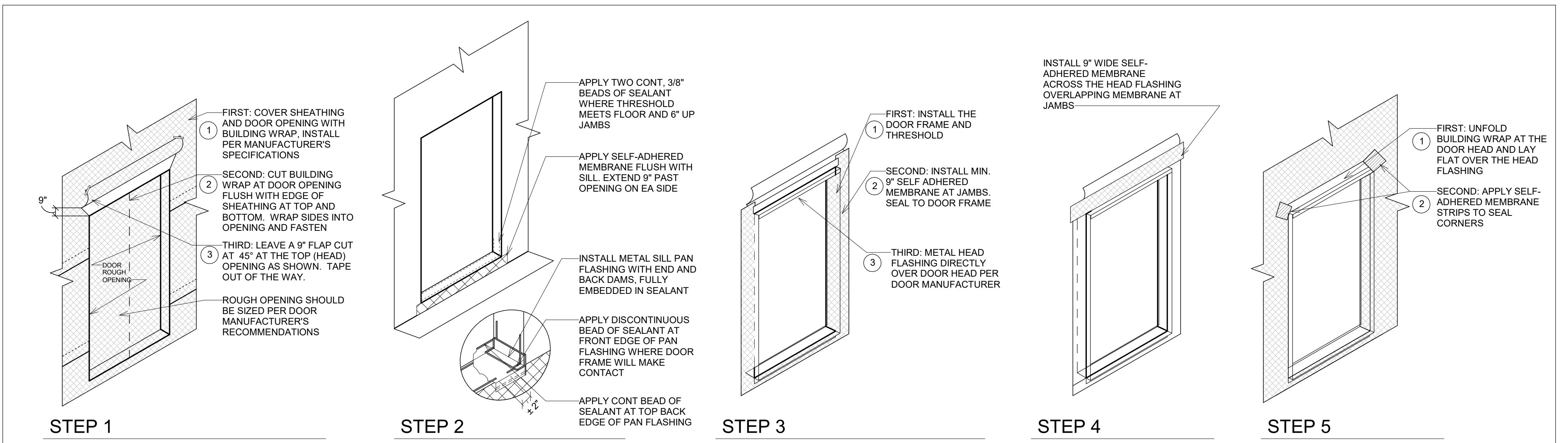
NOTE: RE: 4/A920 FOR  
WINDOW INSTALLATION

DRAWN BY: JM  
CHECKED BY: OL  
PROJECT NO: 2024023.20  
ISSUE DATE: 10/28/2024  
REVISIONS:

PLAINS DETAILS

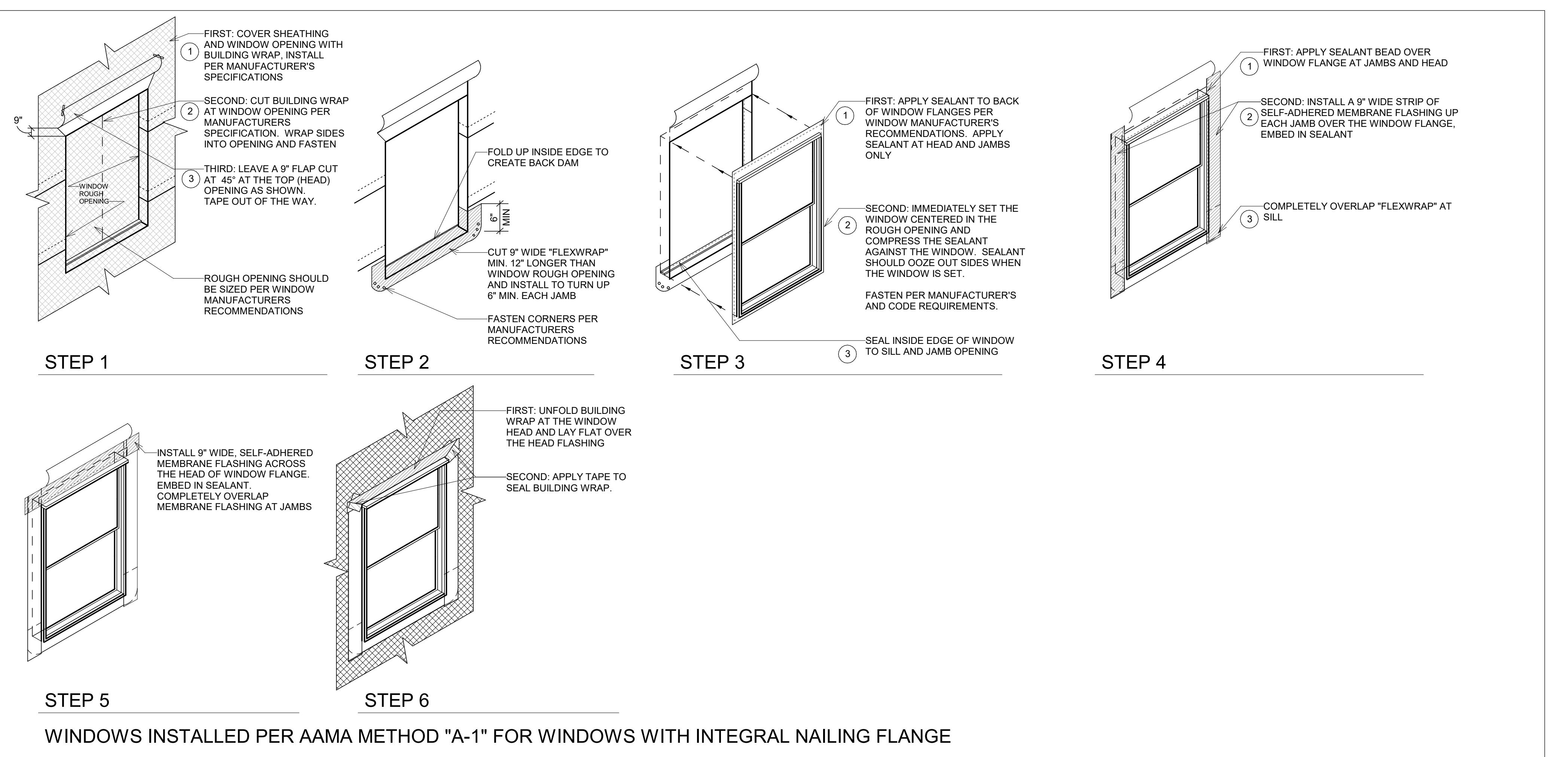
SHEET NUMBER:

A905C



5 A920 DOOR INSTALLATION/FLASHING DETAIL

SCALE: 1" = 1'-0"

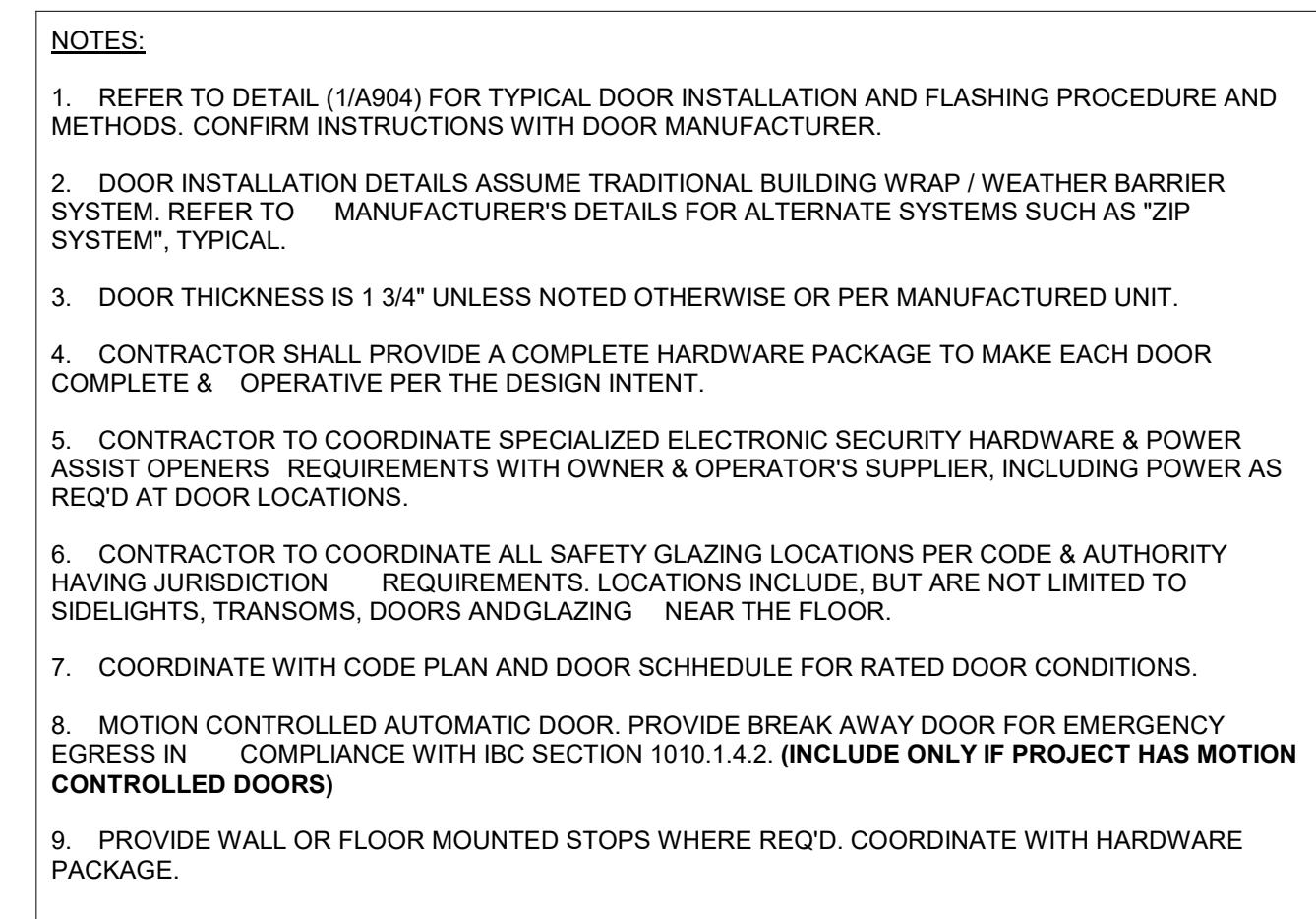


4 A920 WINDOW INSTALLATION/FLASHING DETAIL

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Sheet: 4 of 4  
Last Printed: 4/11/2024 4:11:15 PM  
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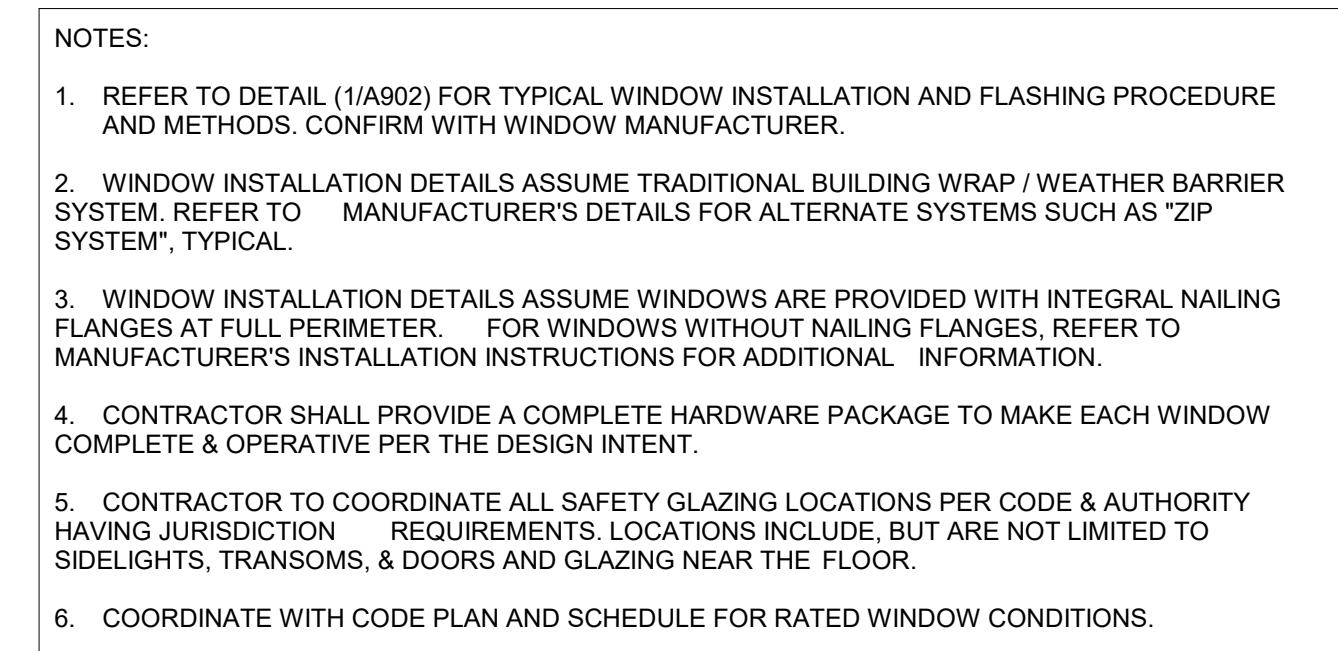
4 A920 WINDOW INSTALLATION/FLASHING DETAIL

SCALE: 1" = 1'-0"



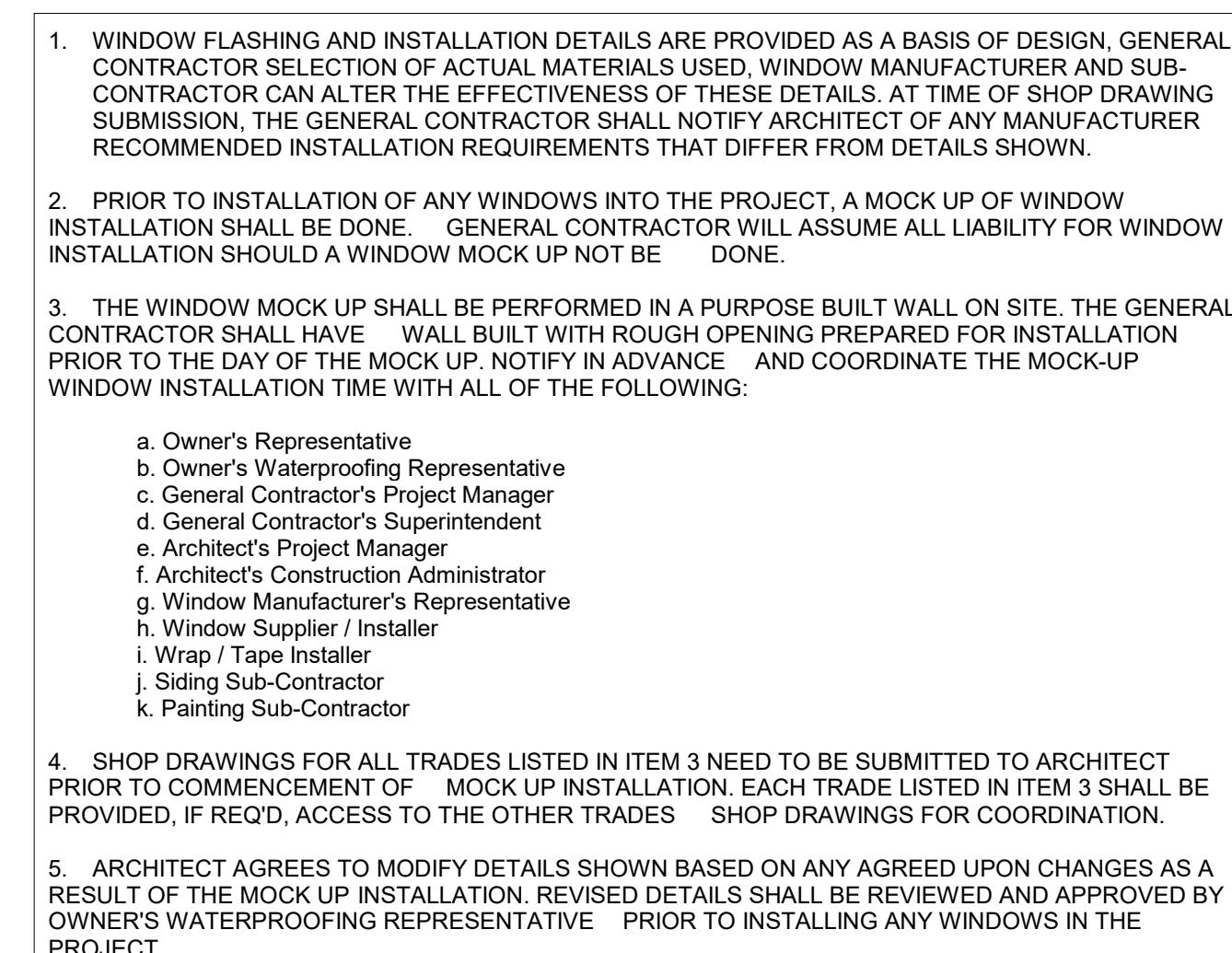
3 A920 DOOR GENERAL NOTES

SCALE: 1" = 1'-0"



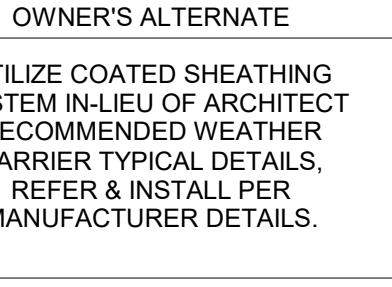
2 A920 WINDOW GENERAL NOTES

SCALE: 1" = 1'-0"



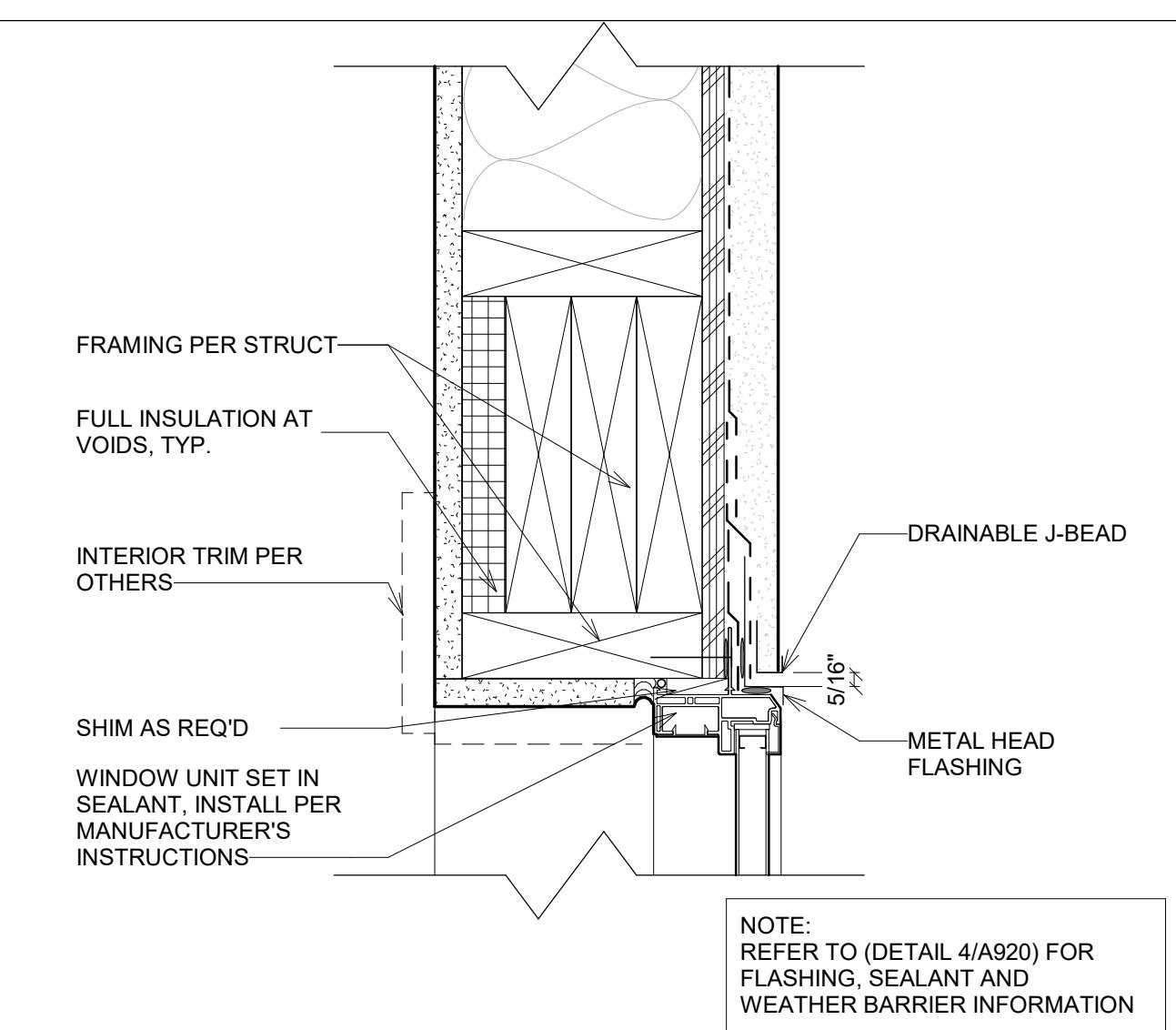
1 A920 TYPICAL WINDOW FLASHING NOTES

SCALE: 1" = 1'-0"

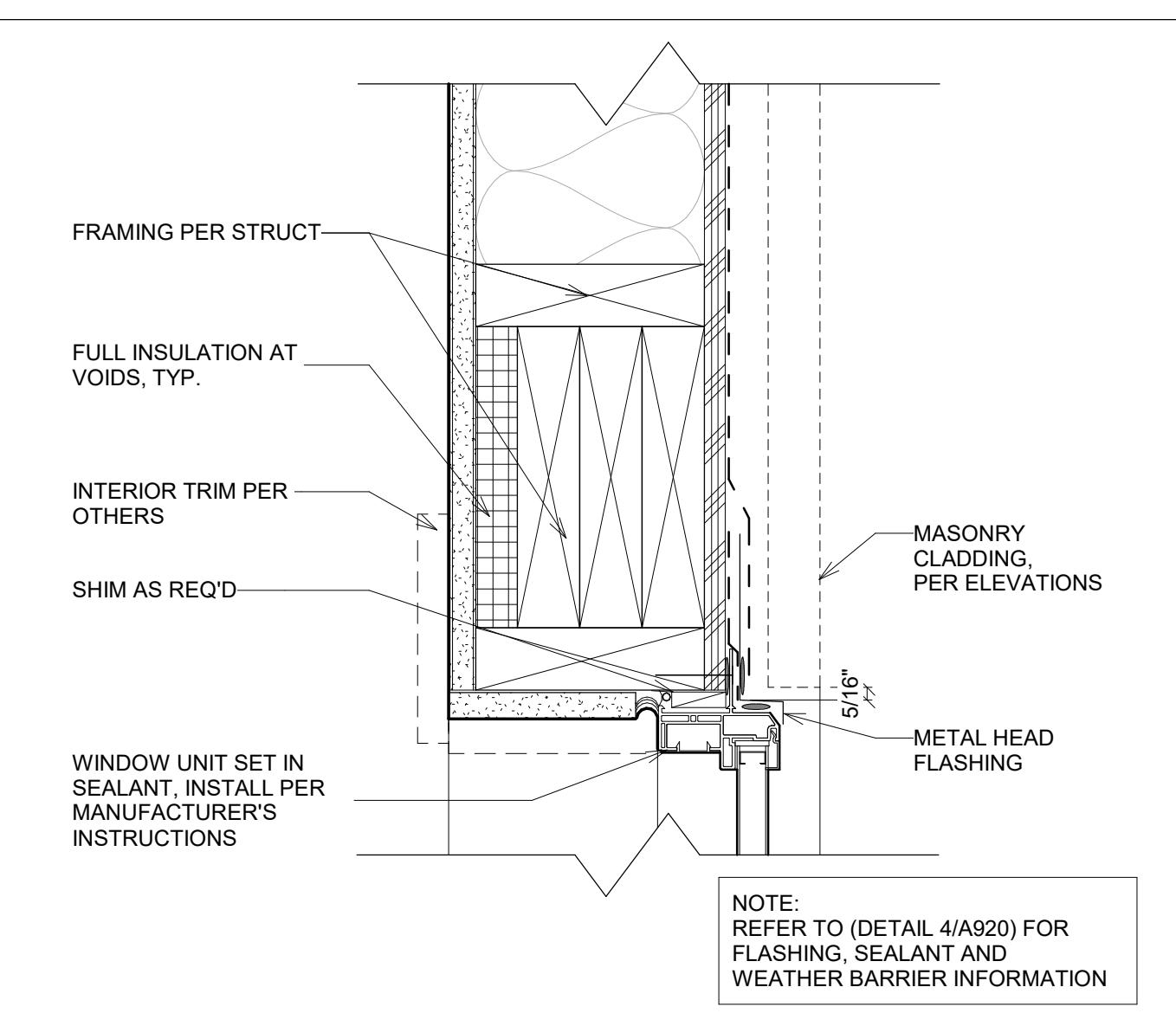


**BAREFOOT LAKES**  
DETAILS - BUILDER'S PLAN SET

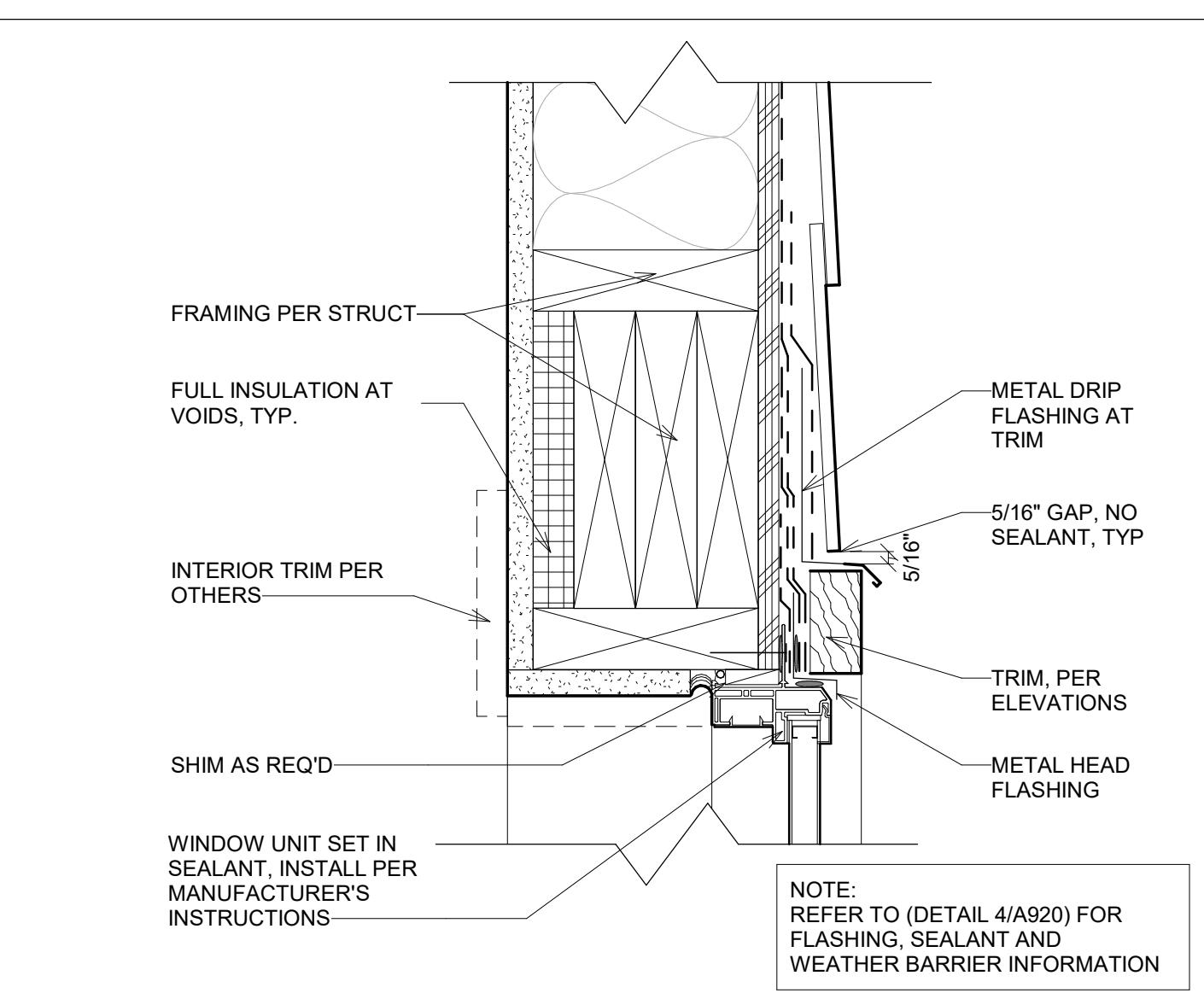
BROOKFIELD RESIDENTIAL  
TOWN OF FIRESTONE, CO



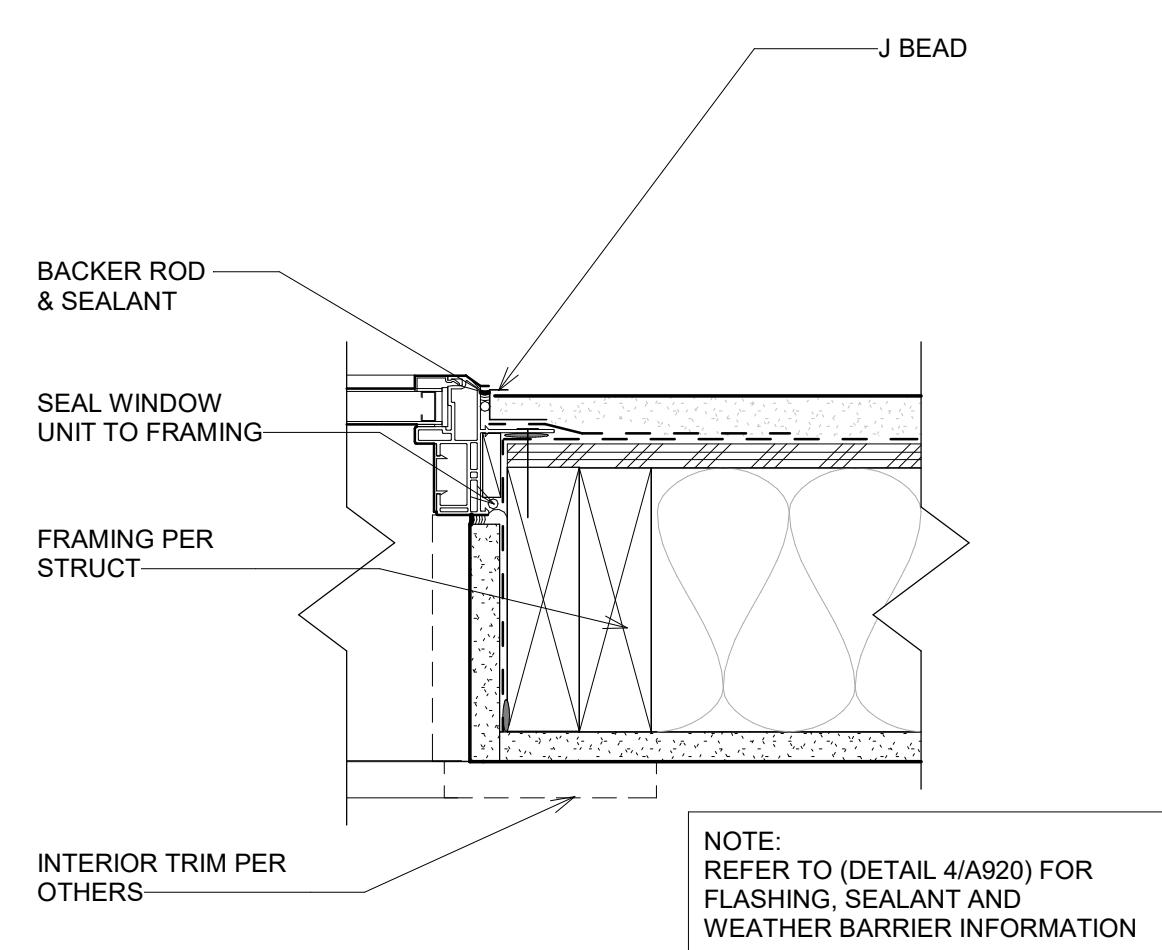
9  
A921  
WINDOW HEAD AT STUCCO  
SCALE: 3" = 1'-0"



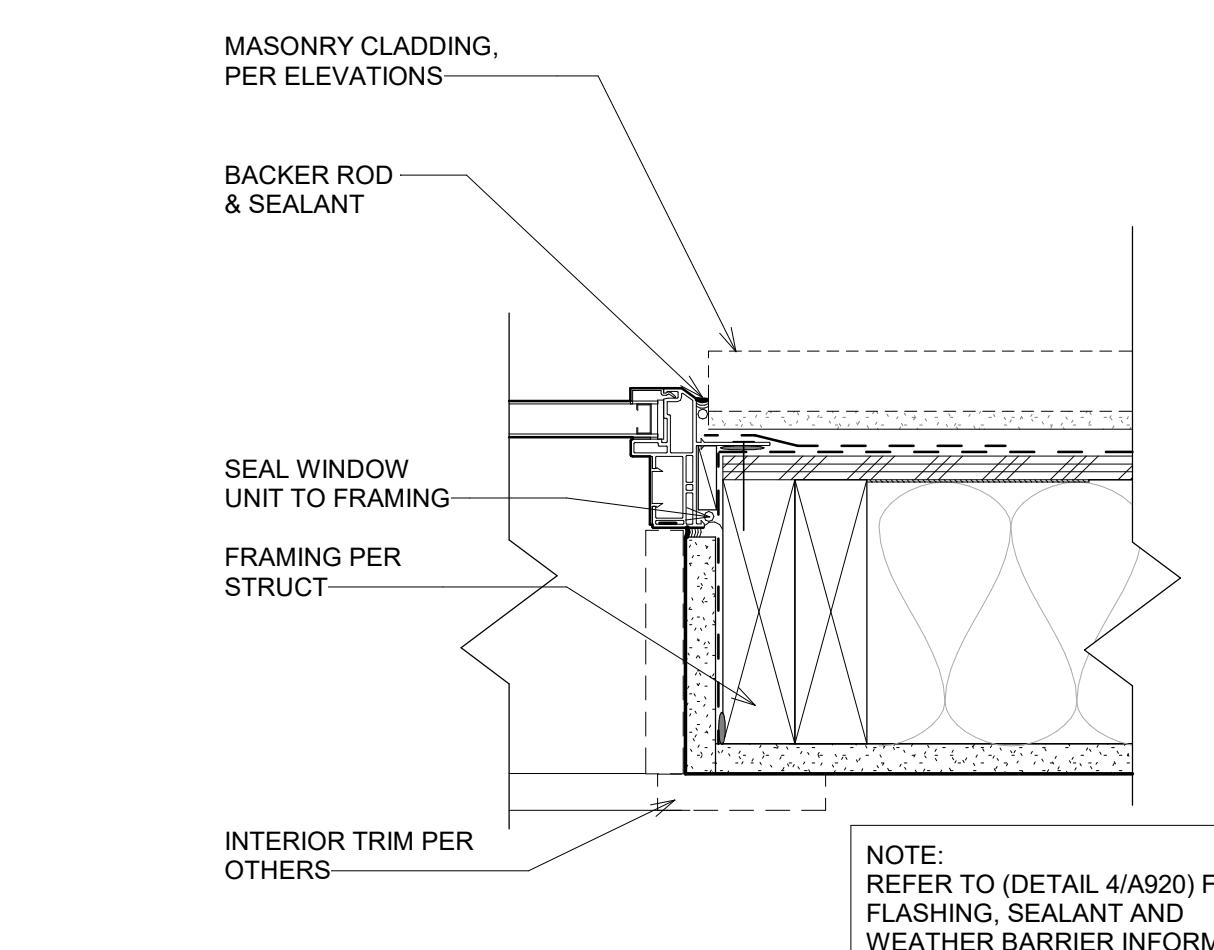
6  
A921  
WINDOW HEAD AT THIN MASONRY VENEER  
SCALE: 3" = 1'-0"



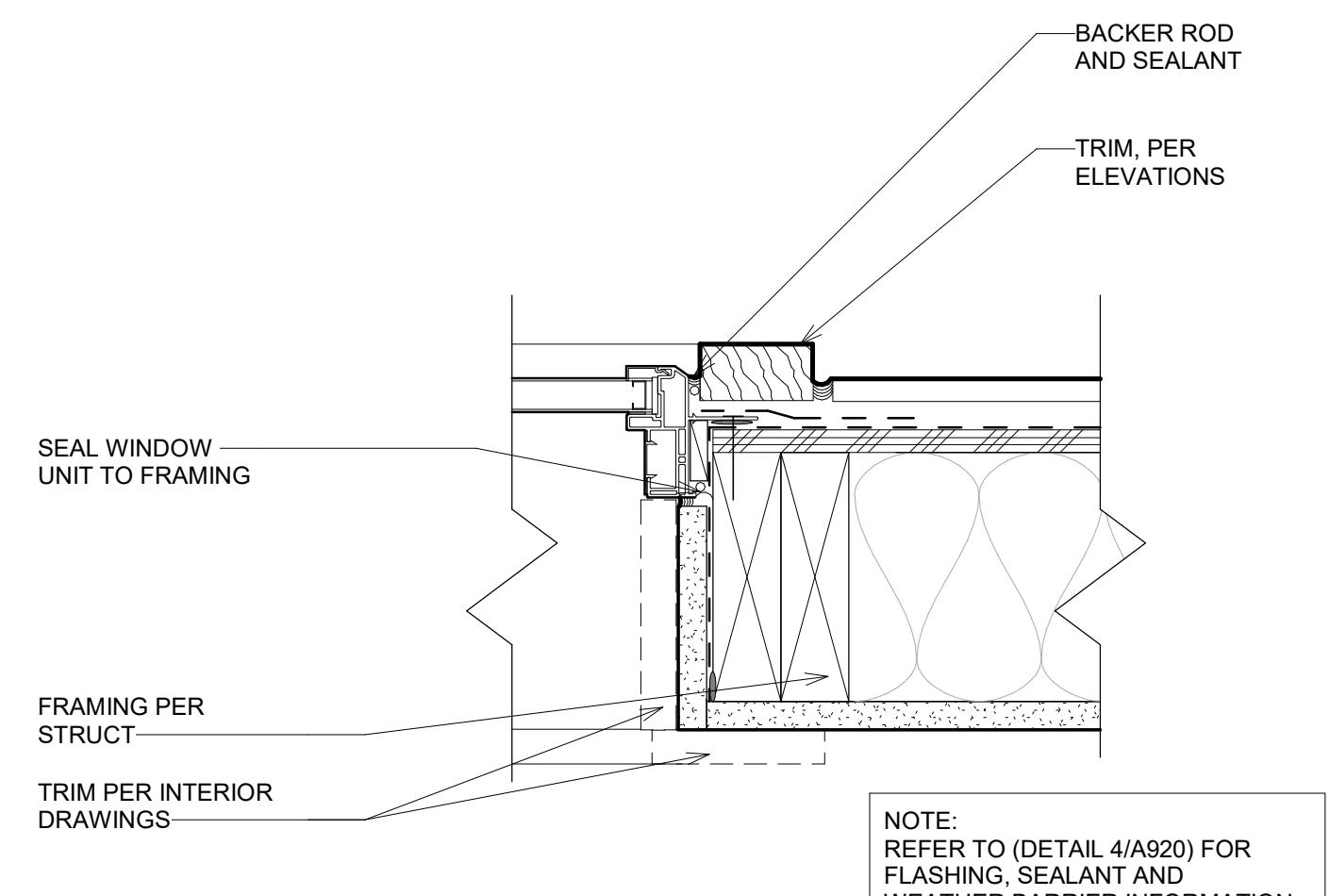
3  
A921  
WINDOW HEAD AT SIDING  
SCALE: 3" = 1'-0"



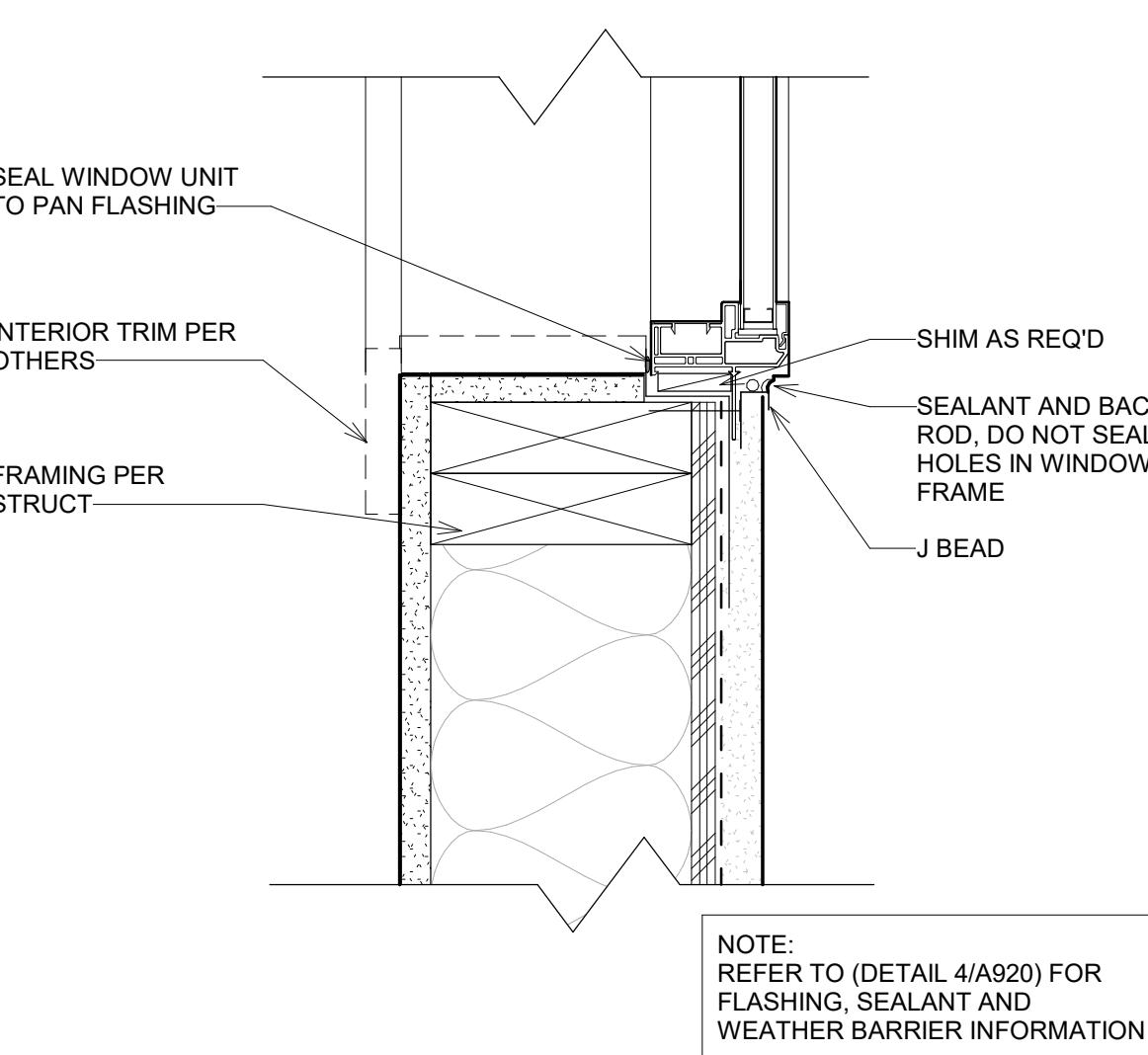
8  
A921  
WINDOW JAMB AT STUCCO  
SCALE: 3" = 1'-0"



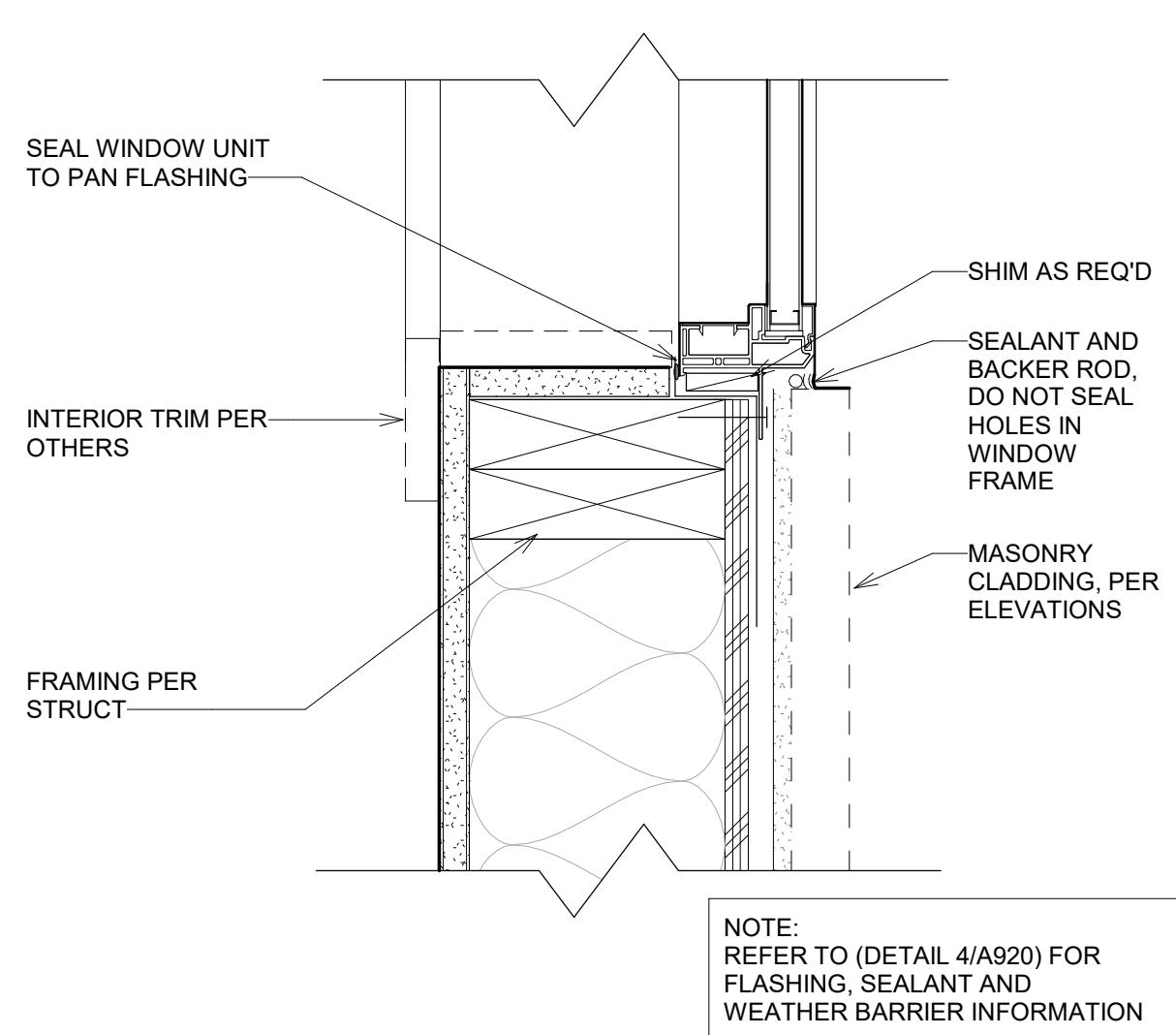
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A921  
WINDOW JAMB AT THIN MASONRY VENEER  
SCALE: 3" = 1'-0"



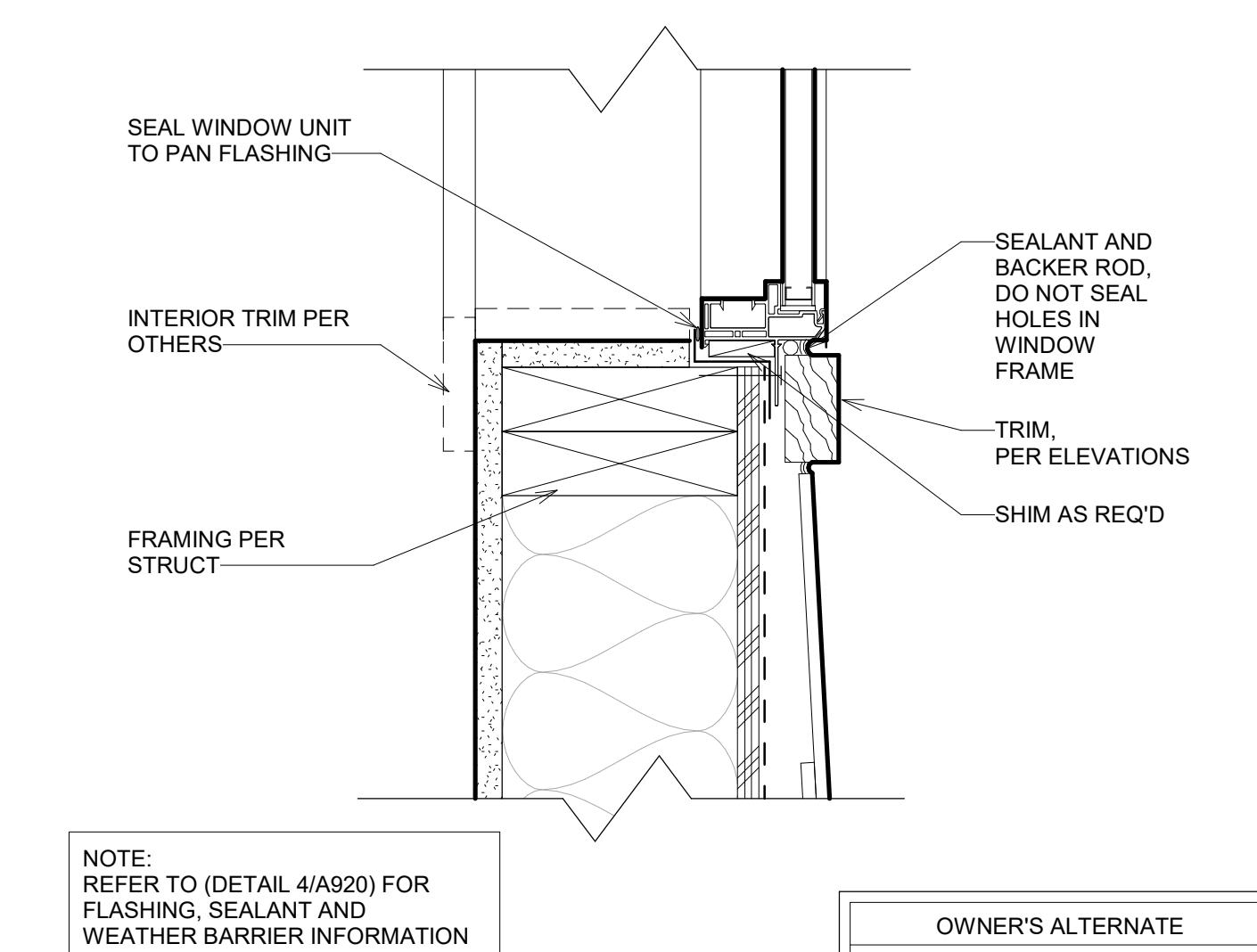
2  
A921  
WINDOW JAMB AT SIDING  
SCALE: 3" = 1'-0"



7  
A921  
WINDOW SILL AT STUCCO  
SCALE: 3" = 1'-0"



4  
A921  
WINDOW SILL AT THIN MASONRY VENEER  
SCALE: 3" = 1'-0"



1  
A921  
WINDOW SILL AT SIDING  
SCALE: 3" = 1'-0"

DRAWN BY: JM  
CHECKED BY: OL  
PROJECT NO: 2024023.20  
ISSUE DATE: 10/28/2024  
REVISIONS:

WINDOW DETAILS

OWNER'S ALTERNATE  
UTILIZE COATED SHEATHING SYSTEM IN-LIEU OF ARCHITECT RECOMMENDED WEATHER BARRIER TYPICAL DETAILS, REFER & INSTALL PER MANUFACTURER DETAILS.

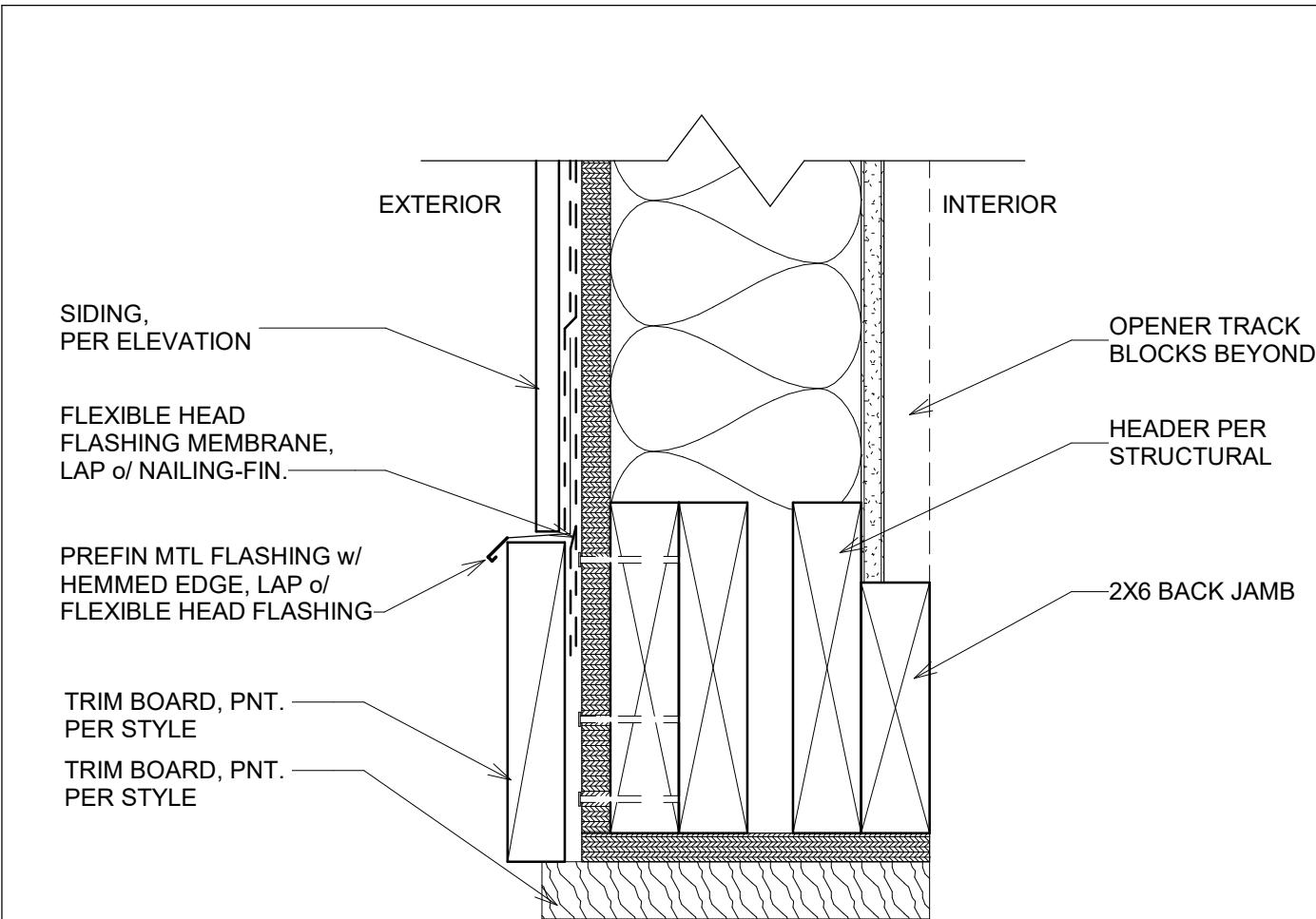
SHEET NUMBER:

A921

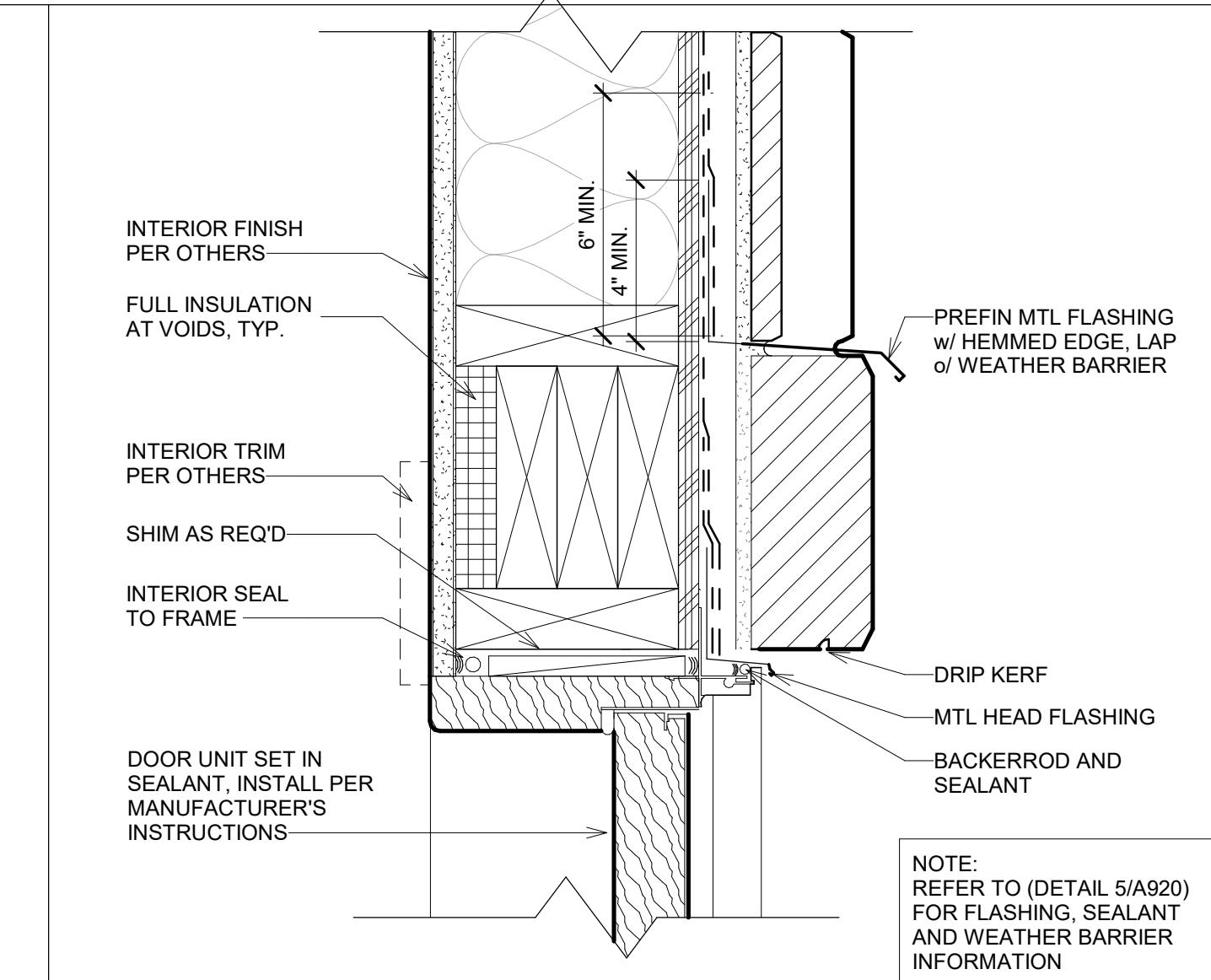
## BAREFOOT LAKES

DETAILS - BUILDER'S PLAN SET

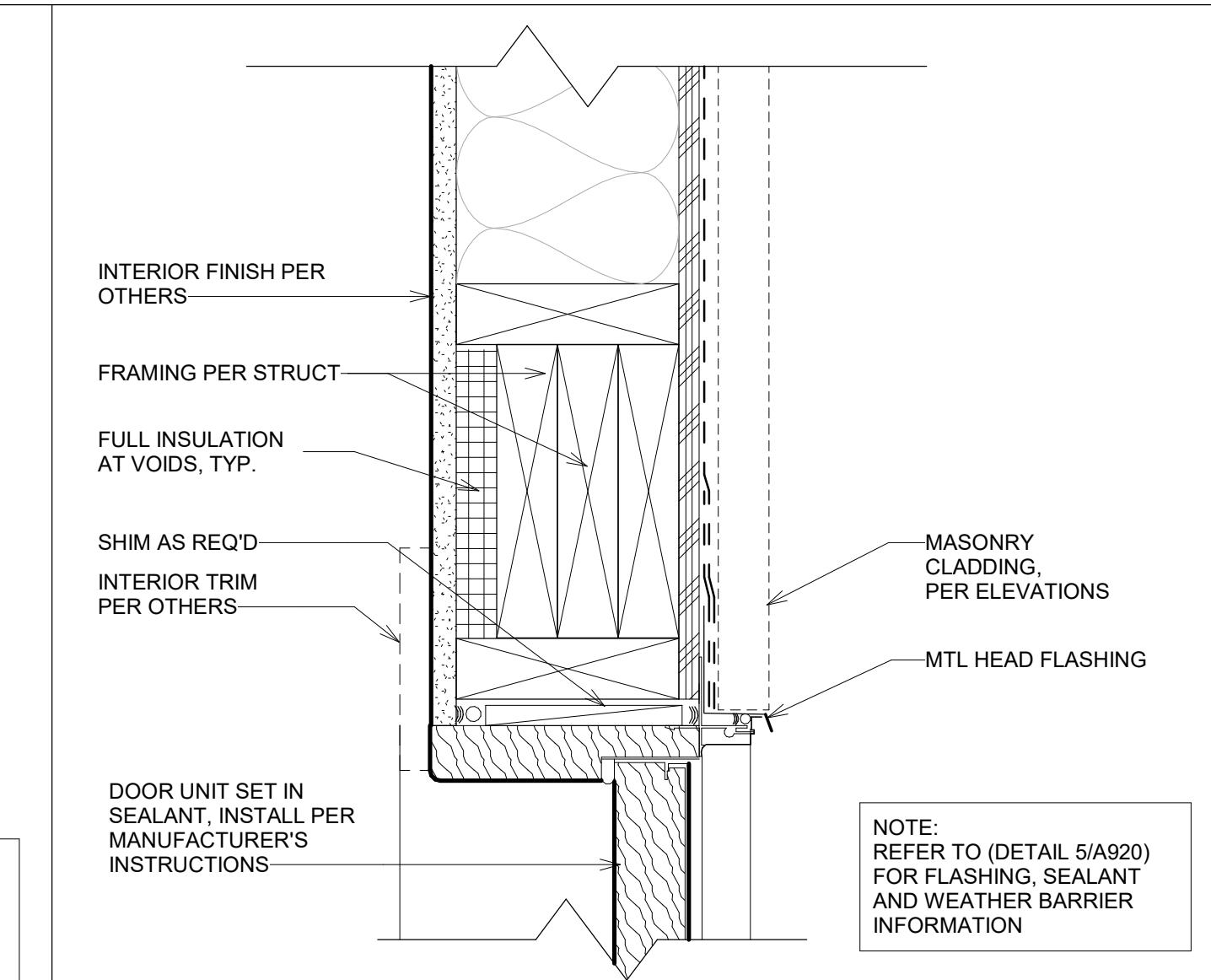
BROOKFIELD RESIDENTIAL  
TOWN OF FIRESTONE, CO



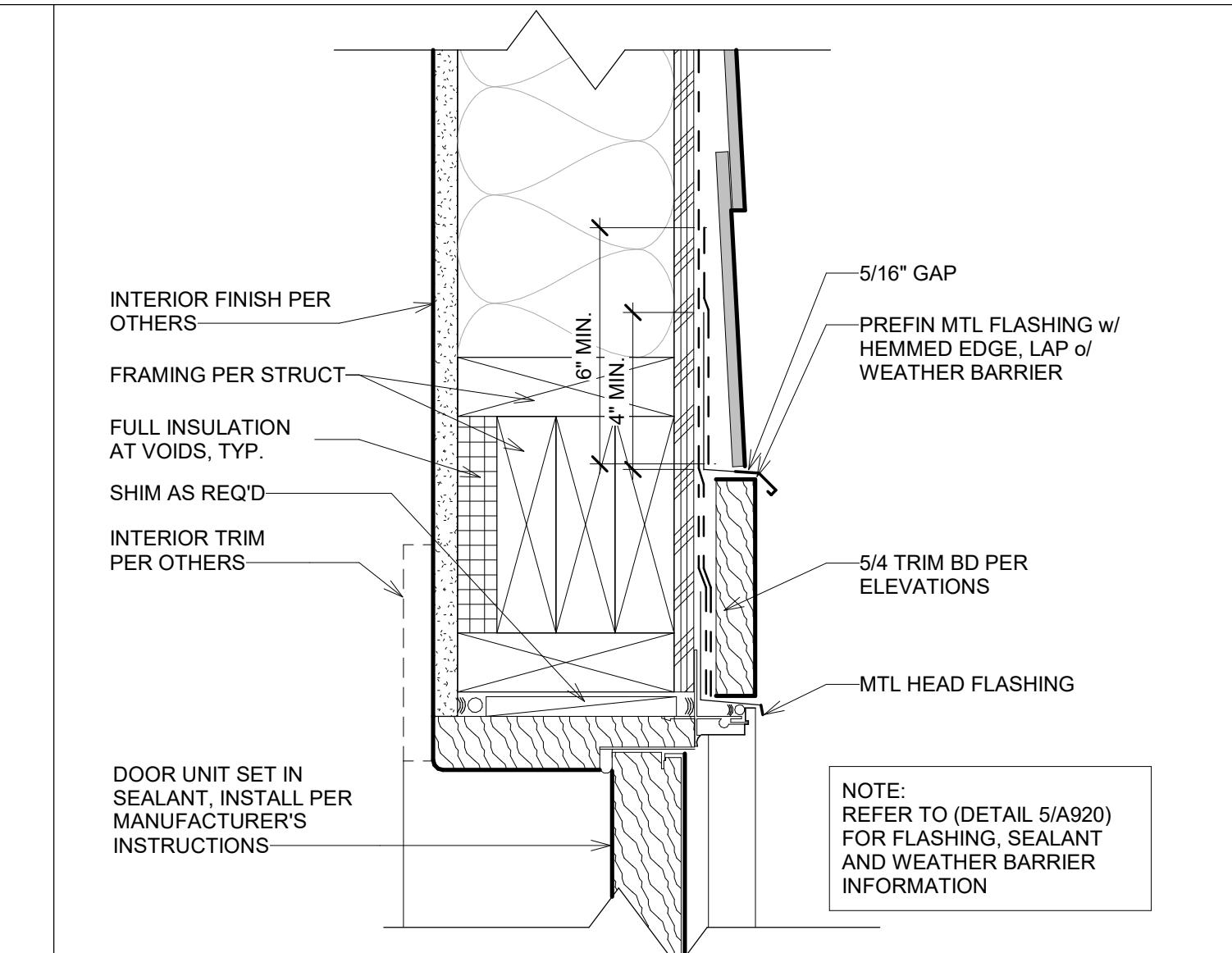
12 DOOR HEAD AT FULL MASONRY  
A922 SCALE: 3" = 1'-0"



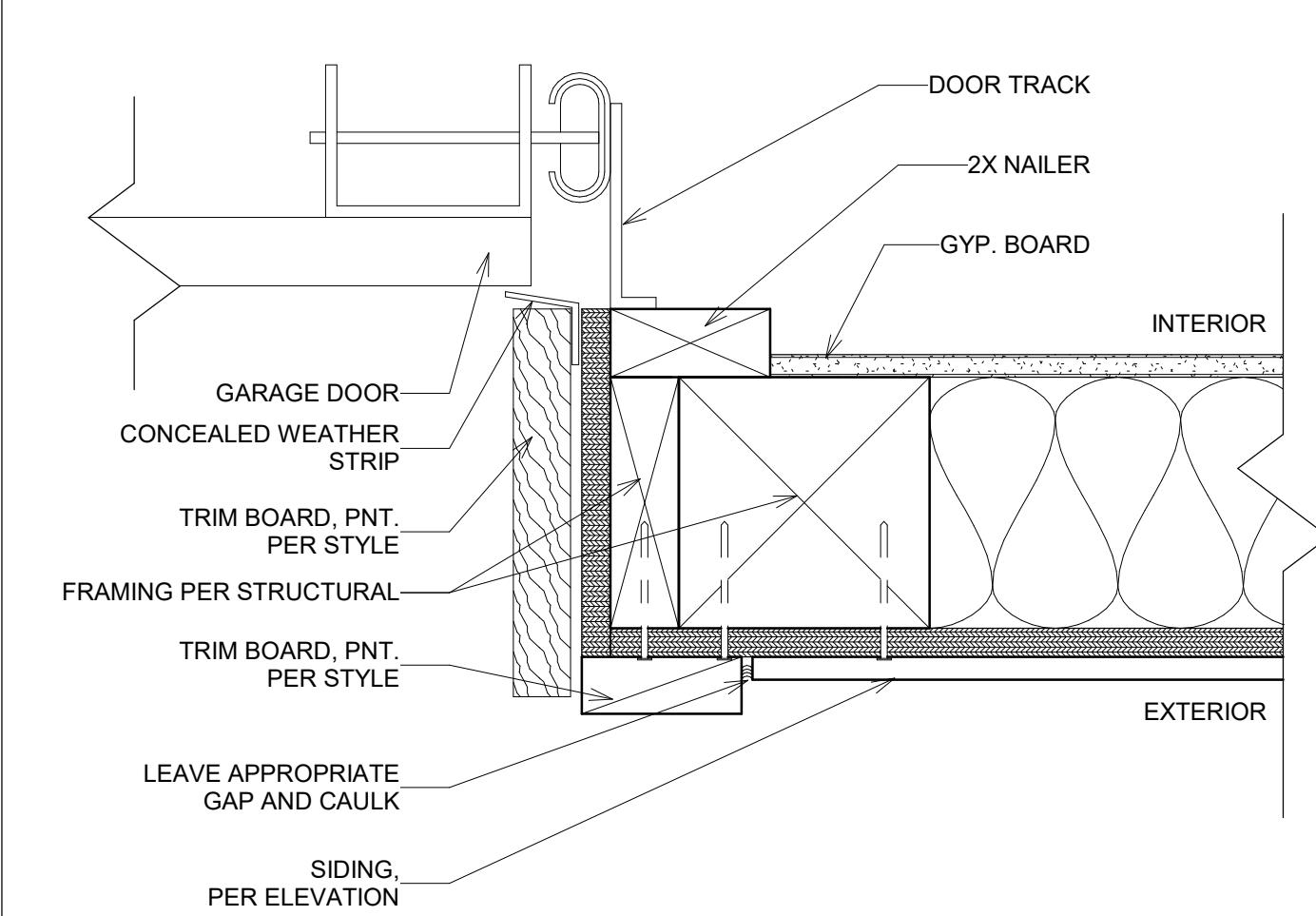
9 DOOR HEAD AT FULL MASONRY  
A922 SCALE: 3" = 1'-0"



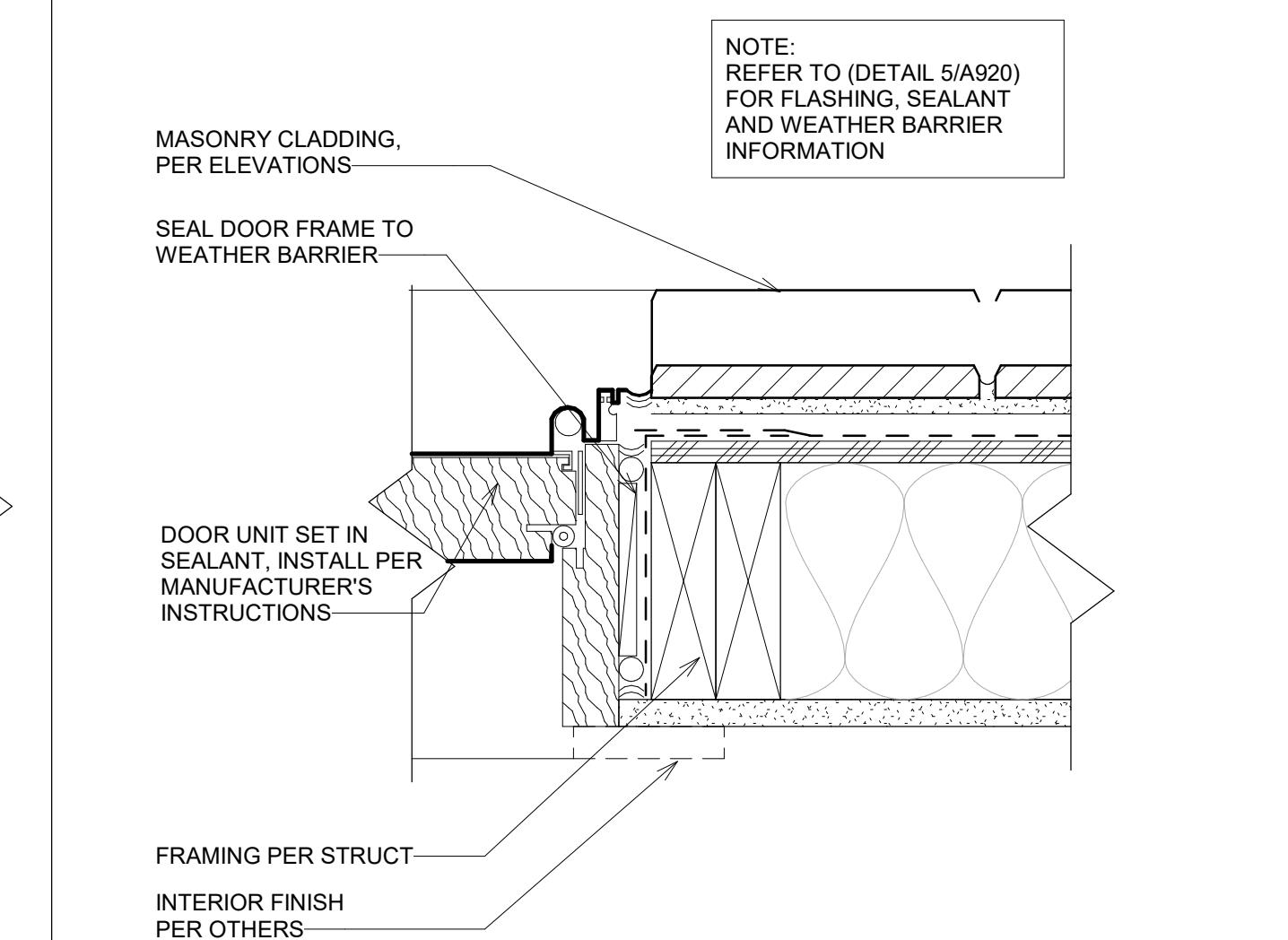
6 DOOR HEAD AT THIN MASONRY VENEER  
A922 SCALE: 3" = 1'-0"



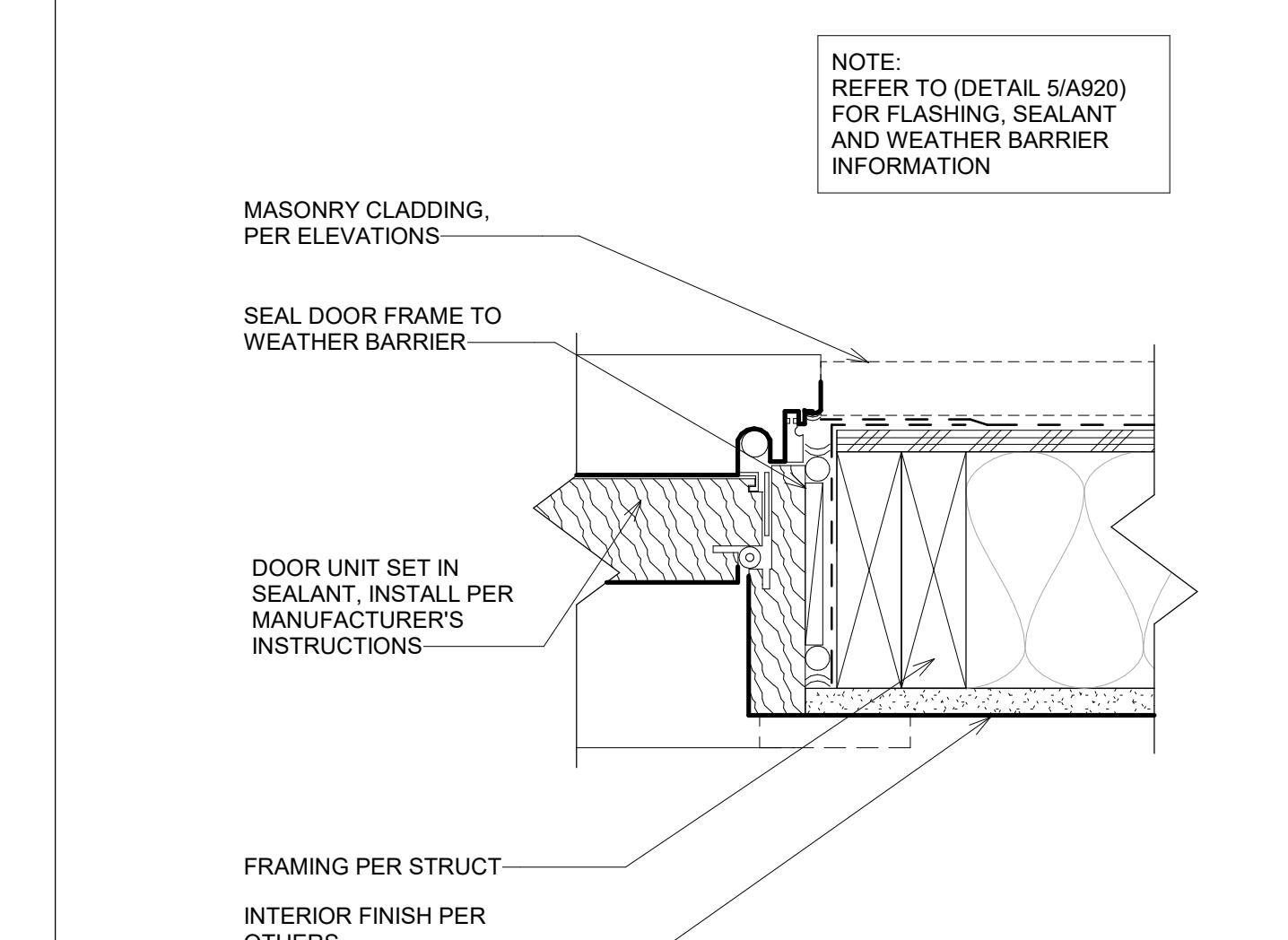
3 DOOR HEAD AT SIDING  
A922 SCALE: 3" = 1'-0"



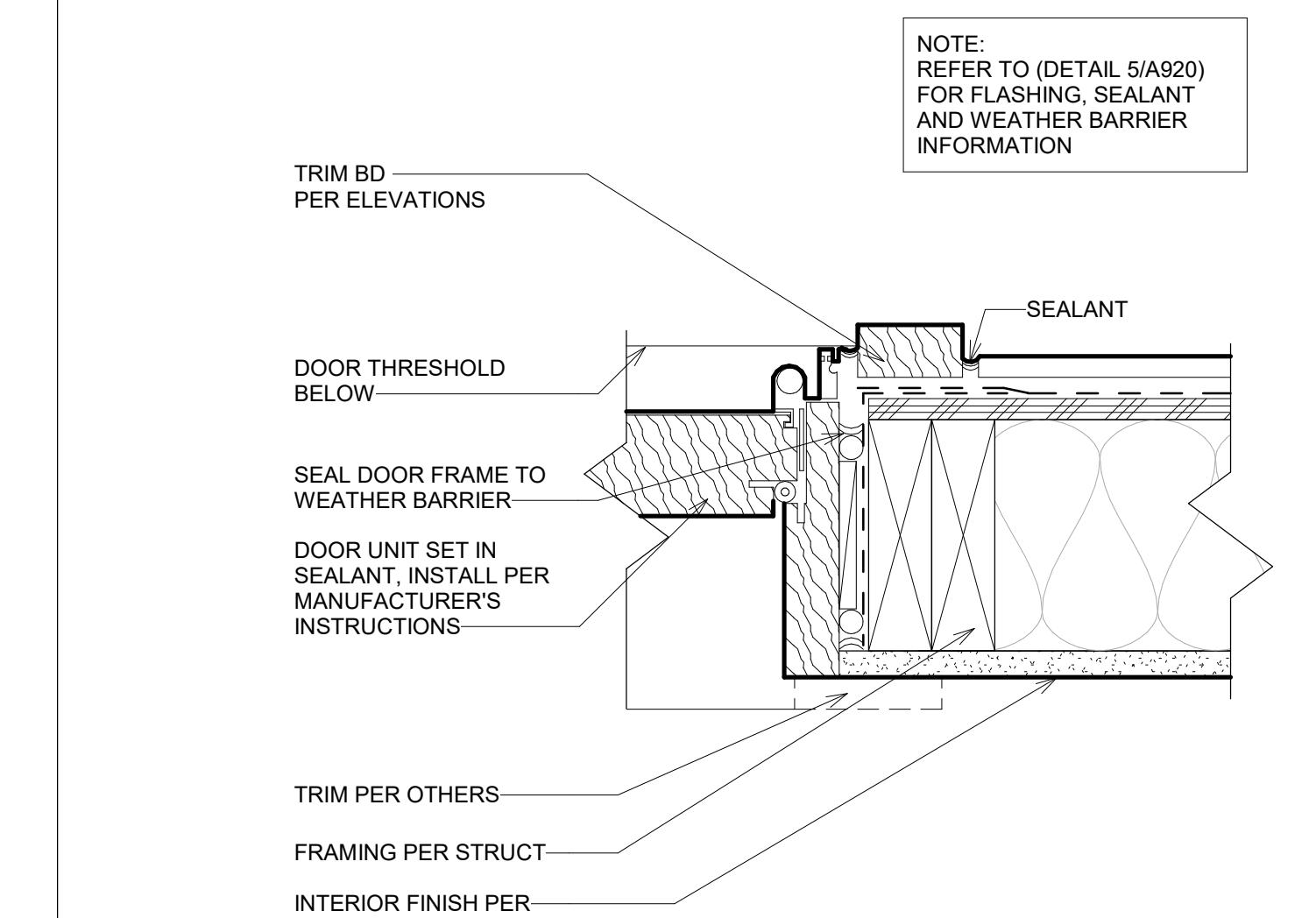
11 DOOR HEAD AT FULL MASONRY  
A922 SCALE: 3" = 1'-0"



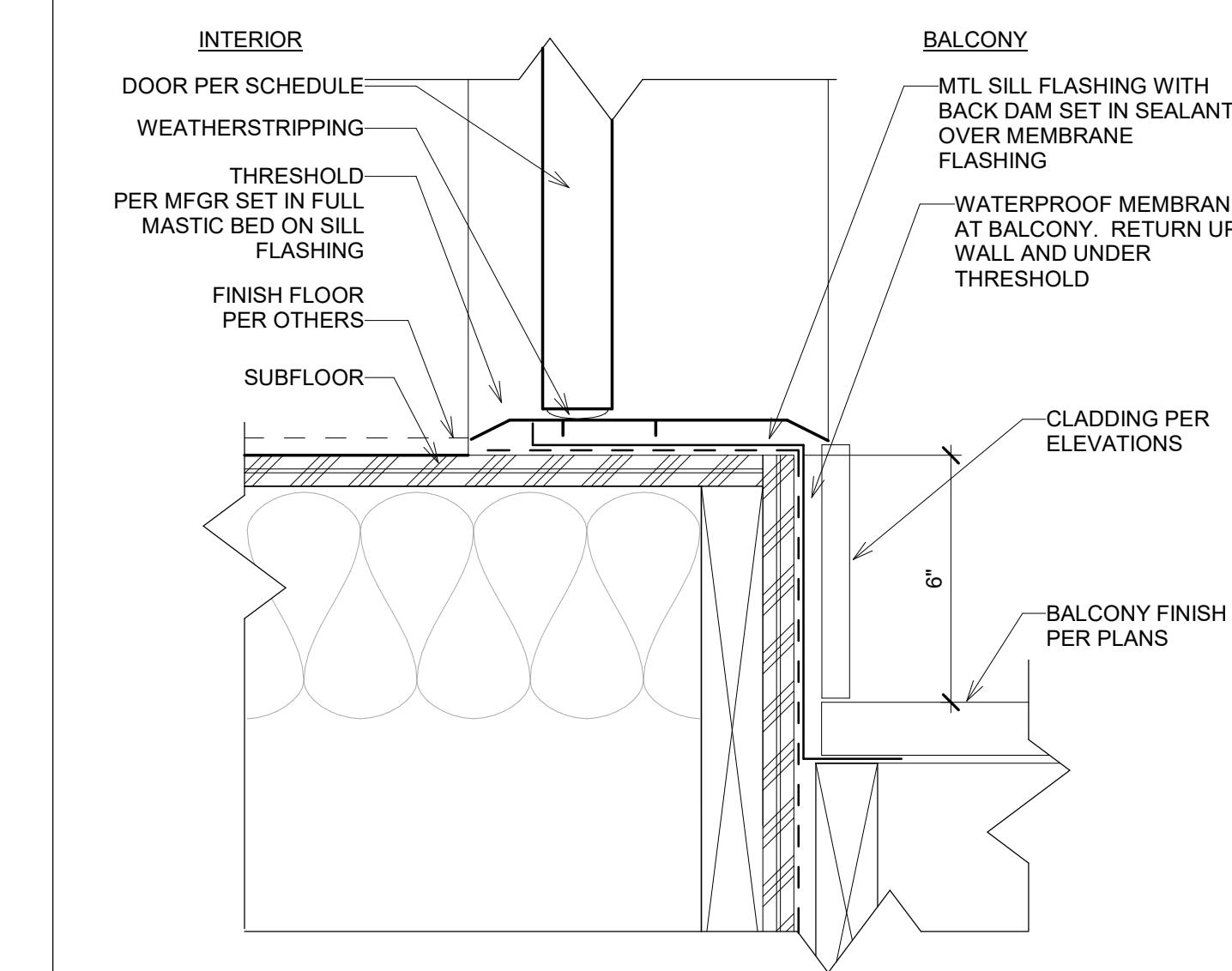
8 DOOR JAMB AT FULL MASONRY  
A922 SCALE: 3" = 1'-0"



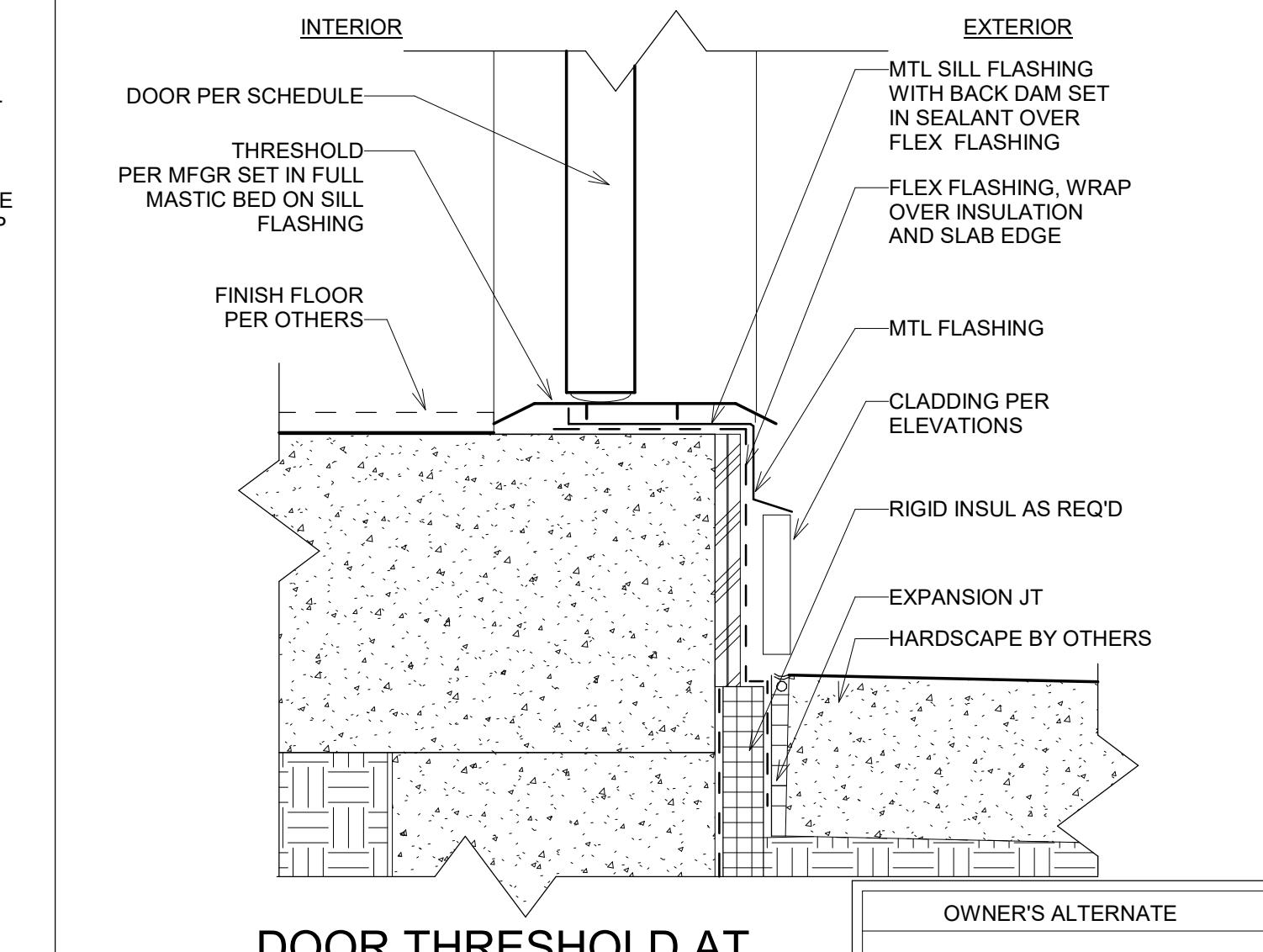
5 DOOR JAMB AT THIN MASONRY VENEER  
A922 SCALE: 3" = 1'-0"



2 DOOR JAMB AT SIDING  
A922 SCALE: 3" = 1'-0"



7 DOOR THRESHOLD AT BALCONY  
A922 SCALE: 3" = 1'-0"



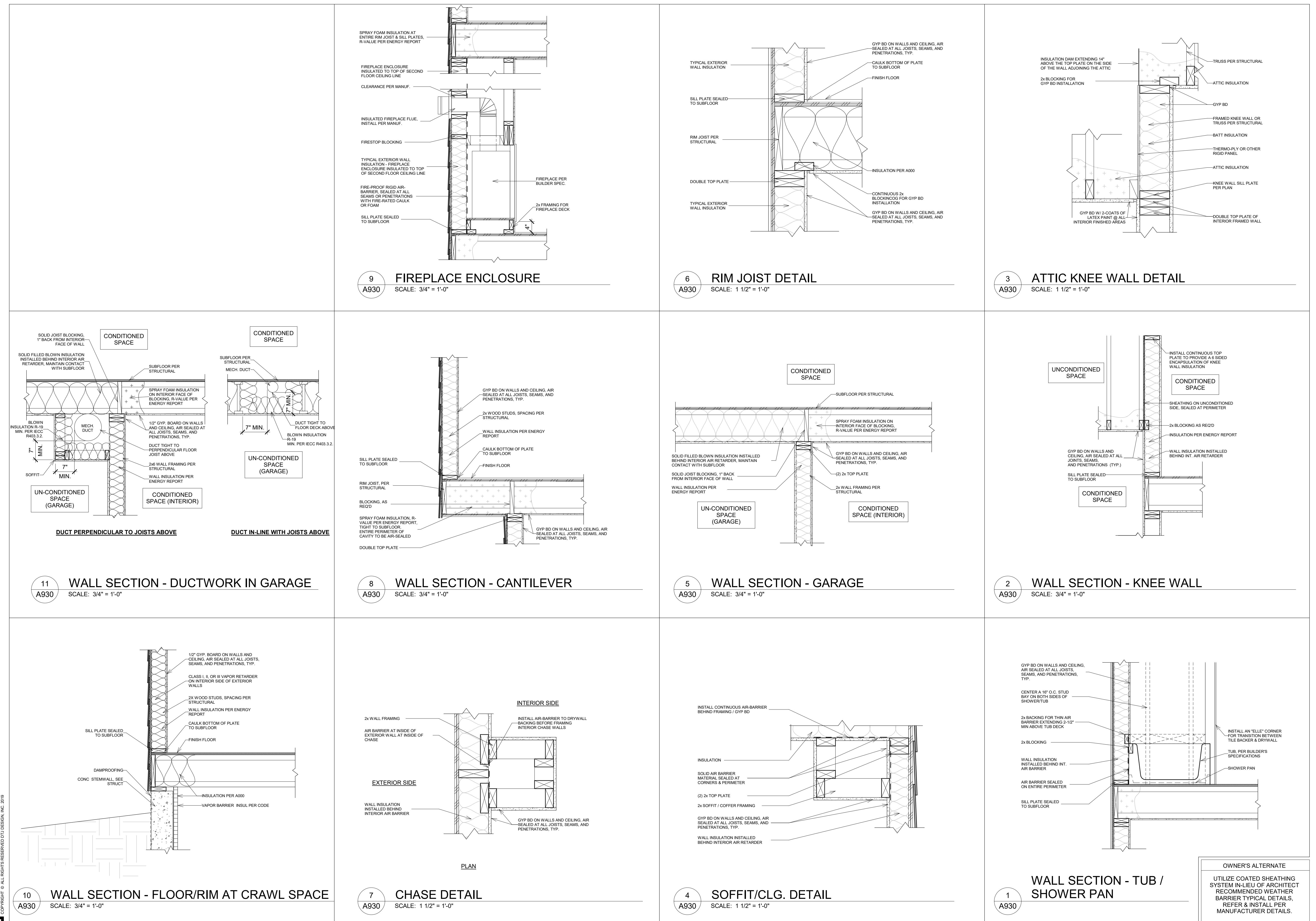
1 DOOR THRESHOLD AT CONCRETE PATIO  
A922 SCALE: 3" = 1'-0"

DRAWN BY: JM  
CHECKED BY: OL  
PROJECT NO: 2024023.20  
ISSUE DATE: 10/28/2024  
REVISIONS:

DOOR DETAILS  
A922  
Sheet Number:  
OWNER'S ALTERNATE  
UTILIZE COATED SHEATHING SYSTEM IN-LIEU OF ARCHITECT RECOMMENDED WEATHER BARRIER TYPICAL DETAILS, REFER & INSTALL PER MANUFACTURER DETAILS.

**BAREFOOT LAKES**  
DETAILS - BUILDER'S PLAN SET

BROOKFIELD RESIDENTIAL  
TOWN OF FIRESTONE, CO



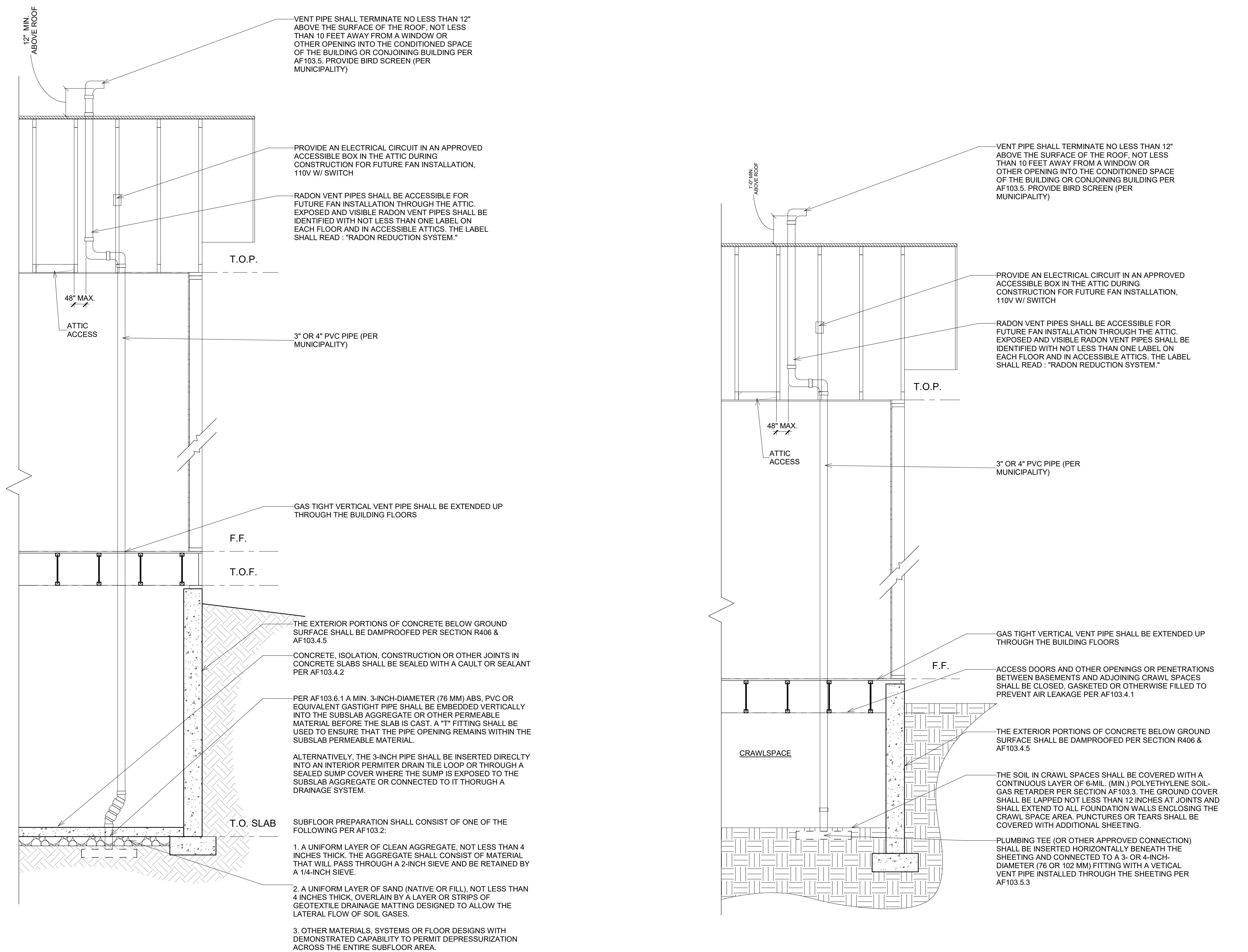
DRAWN BY: JM  
CHECKED BY: OL  
PROJECT NO: 2024023.20  
ISSUE DATE: 10/28/2024  
REVISIONS:

ENERGY CODE  
COMPLIANCE  
DETAILS

SHEET NUMBER:  
A930

**BAREFOOT LAKES**  
DETAILS - BUILDER'S PLAN SET

BROOKFIELD RESIDENTIAL  
TOWN OF FIRESTONE, CO



DRAWN BY: JM  
CHECKED BY: OL  
PROJECT NO: 2024023.20  
ISSUE DATE: 10/28/2024  
REVISIONS:

SOIL GAS  
MITIGATION DETAILS

OWNER'S ALTERNATE
UTILIZE COATED SHEATHING SYSTEM IN-LIEU OF ARCHITECT RECOMMENDED WEATHER BARRIER TYPICAL DETAILS, REFER & INSTALL PER MANUFACTURER DETAILS.

SHEET  
NUMBER:

A940

ELECTRICAL NOTES

- DRAWINGS SHOW GENERAL LOCATIONS & TYPES OF ELECTRICAL COMPONENTS. CIRCUIT LOADS AND WIRING DIAGRAMS TO BE PROVIDED BY AN ELECTRICAL ENGINEER.
- ALL SMOKE DETECTORS MUST BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS, AND PER 2018 IRC SECTION R314.3.1
- UNLESS OTHERWISE INDICATED, INSTALL SWITCHES, RECEPTACLES, ETC. AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:  
OUTLETS ..... 14"  
OUTLETS ABOV. COUNTER TOPS ..... 48"  
SWITCHES ..... 46"
- FIELD VERIFY LOCATION OF FIXTURES, WHERE INDICATED.
- ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER, PER 2018IRC SECTION E3902.12
- SWITCHED LIGHT AND OUTLET AT RADON VENT STACK FOR FUTURE FAN

ELECTRICAL LEGEND

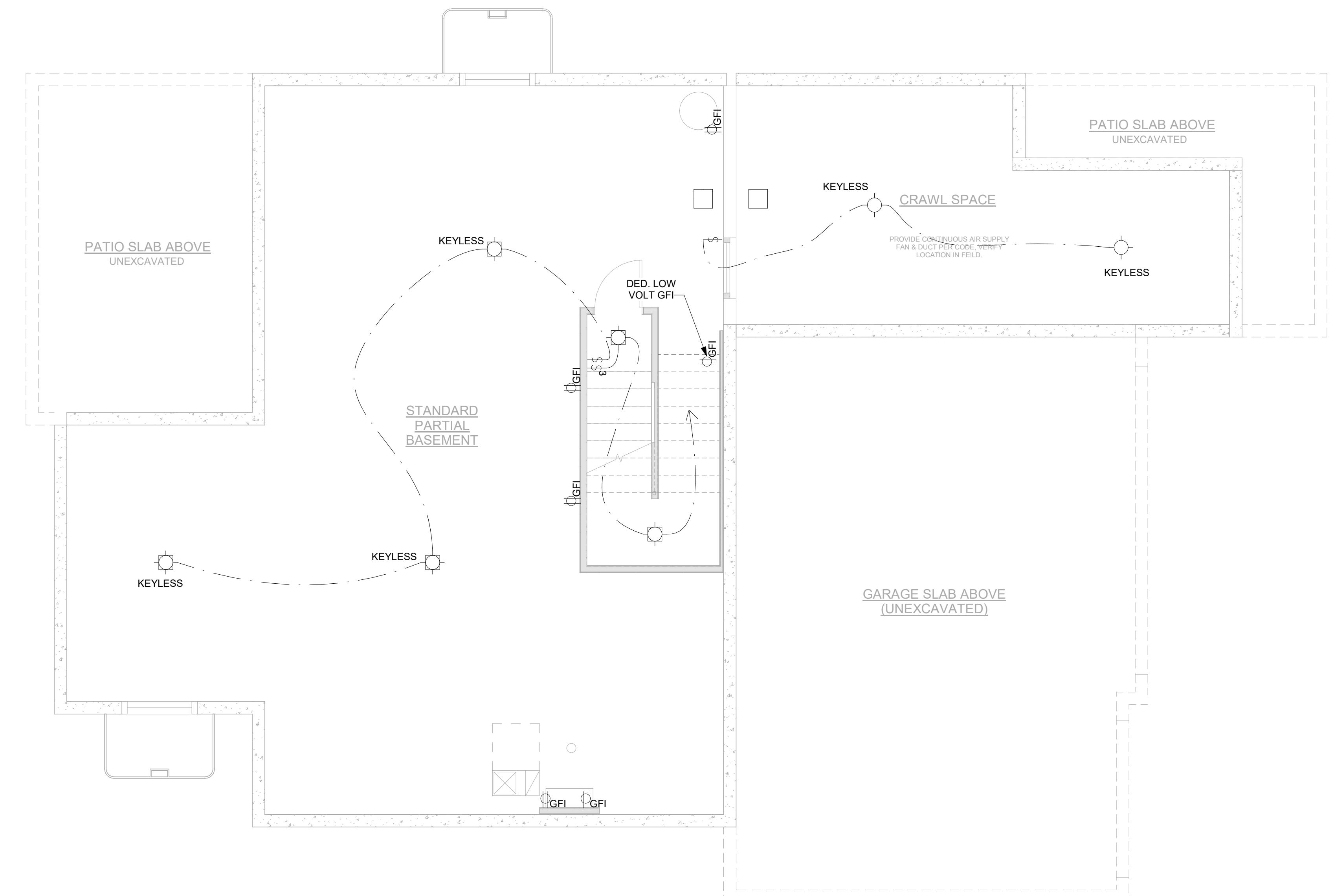
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	SINGLE POLE SWITCH W/ DIMMER
	THREE WAY SWITCH W/ DIMMER
	OCCUPANT SENSOR SWITCH
	RHEOSTAT SWITCH
	DUPLEX OUTLET
	QUAD OUTLET
	SWITCHED OUTLET
	GND FAULT INTERRUPTER
	ARC FAULT INTERRUPTER
	ABOVE COUNTER DUPLEX OUTLET
	ABOVE COUNTER GND FAULT INTERRUPTER
	FLOOR OUTLET
	220 VOLT OUTLET
	OVERHEAD (SOFFIT MOUNTED) OUTLET
	GDO OVERHEAD GARAGE DOOR OUTLET
	CEILING MOUNTED LIGHT FIXTURE
	CEILING MOUNTED LIGHT FIXTURE W/ PULL CHAIN
	PENDANT LIGHT FIXTURE
	MINI PENDANT LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE - WATER PROOFED
	RECESSED FLUORESCENT LIGHT FIXTURE - WATER PROOFED
	RECESSED "EYEBALL" LIGHT FIXTURE
	EXHAUST FAN
	EXHAUST FAN & LIGHT FIXTURE COMBO
	TRACK LIGHT FIXTURE
	4' FLUORESCENT LIGHT FIXTURE
	2' X 4' FLUORESCENT LIGHT FIXTURE
	CEILING FAN
	CEILING FAN W/ LIGHT FIXTURE
	SMOKE DETECTOR
	CEILING MOUNTED REINFORCED JUNCTION BOX
	DOORBELL

DRAWN BY: JK, JM  
CHECKED BY: OL  
PROJECT NO: 2024023.20  
ISSUE DATE: 10/28/2024  
REVISIONS:

STANDARD  
BASEMENT -  
ELECTRICAL PLAN

SHEET  
NUMBER:

**E100**



1  
E100

STANDARD PARTIAL BASEMENT ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

ELECTRICAL NOTES

- DRAWINGS SHOW GENERAL LOCATIONS & TYPES OF ELECTRICAL COMPONENTS. CIRCUIT LOADS AND WIRING DIAGRAMS TO BE PROVIDED BY AN ELECTRICAL ENGINEER.
- ALL SMOKE DETECTORS MUST BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS, AND PER 2018 IRC SECTION R314.3.1
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OUTLETS ..... 14"  
OUTLETS ABV. COUNTER TOPS ..... 48"  
SWITCHES ..... 46"
- FIELD VERIFY LOCATION OF FIXTURES, WHERE INDICATED.
- ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER, PER 2018IRC SECTION E3902.12
- SWITCHED LIGHT AND OUTLET AT RADON VENT STACK FOR FUTURE FAN

ELECTRICAL LEGEND

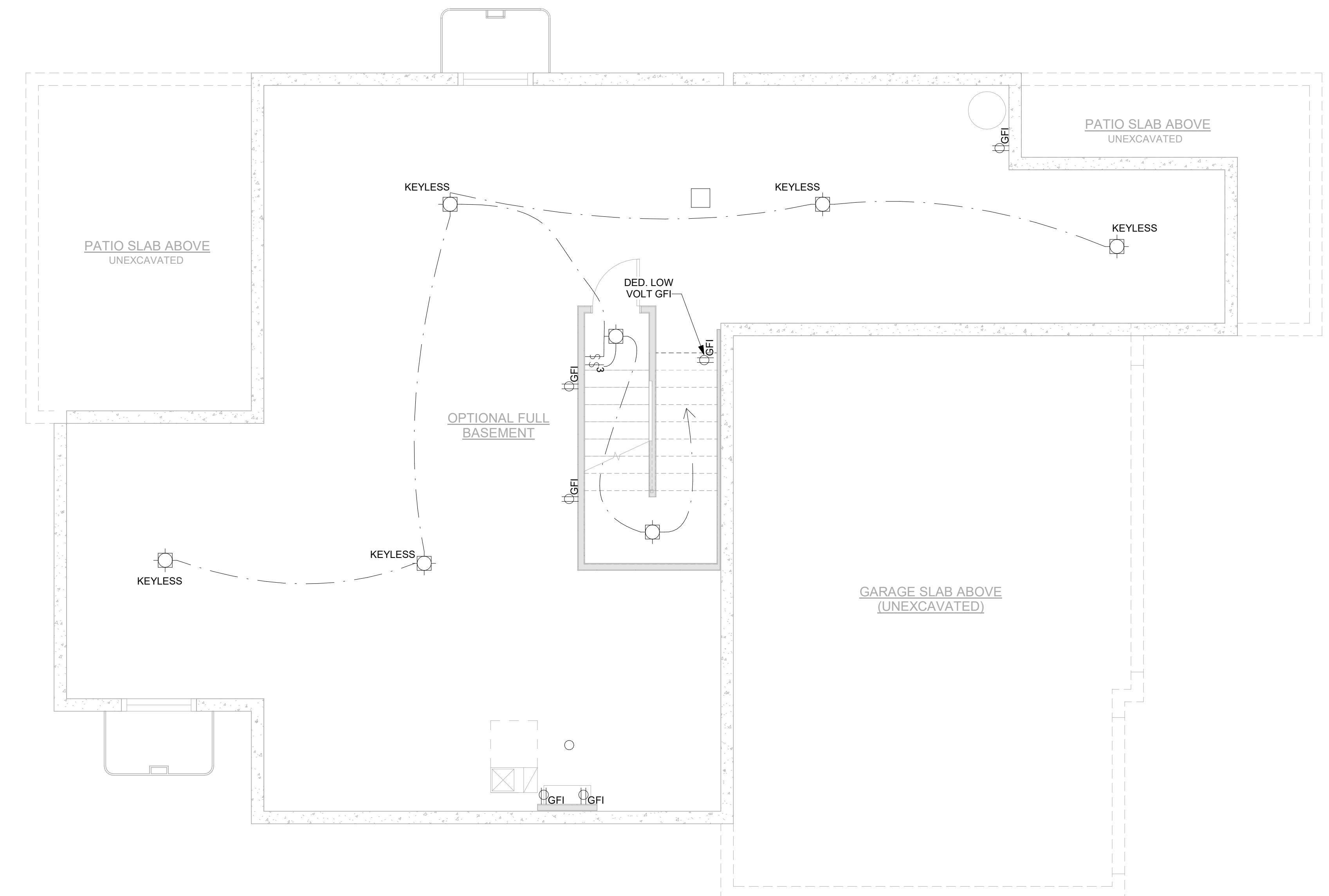
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	SINGLE POLE SWITCH W/ DIMMER
	THREE WAY SWITCH W/ DIMMER
	OCCUPANT SENSOR SWITCH
	RHEOSTAT SWITCH
	DUPLEX OUTLET
	QUAD OUTLET
	SWITCHED OUTLET
	GND FAULT INTERRUPTER
	ARC FAULT INTERRUPTER
	ABOVE COUNTER DUPLEX OUTLET
	ABOVE COUNTER GND FAULT INTERRUPTER
	FLOOR OUTLET
	220 VOLT OUTLET
	OVERHEAD (SOFFIT MOUNTED) OUTLET
	GDO OVERHEAD GARAGE DOOR OUTLET
	CEILING MOUNTED LIGHT FIXTURE
	CEILING MOUNTED LIGHT FIXTURE W/ PULL CHAIN
	PENDANT LIGHT FIXTURE
	MINI PENDANT LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE - WATER PROOFED
	RECESSED FLUORESCENT LIGHT FIXTURE - WATER PROOFED
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	EXHAUST FAN
	EXHAUST FAN & LIGHT FIXTURE COMBO
	TRACK LIGHT FIXTURE
	4' FLUORESCENT LIGHT FIXTURE
	2' X 4' FLUORESCENT LIGHT FIXTURE
	CEILING FAN
	CEILING FAN W/ LIGHT FIXTURE
	SMOKE DETECTOR
	CEILING MOUNTED REINFORCED JUNCTION BOX
	DOORBELL

DRAWN BY: JK, JM  
CHECKED BY: OL  
PROJECT NO: 2024023.20  
ISSUE DATE: 10/28/2024  
REVISIONS:

FULL UNFINISHED  
BASEMENT -  
ELECTRICAL PLAN

SHEET  
NUMBER:

**E101**



OPTIONAL FULL BASEMENT ELECTRICAL PLAN

1  
E101

SCALE: 1/4" = 1'-0"

**BAREFOOT LAKES**  
BROOKFIELD RESIDENTIAL

PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET

TOWN OF FIRESTONE, CO

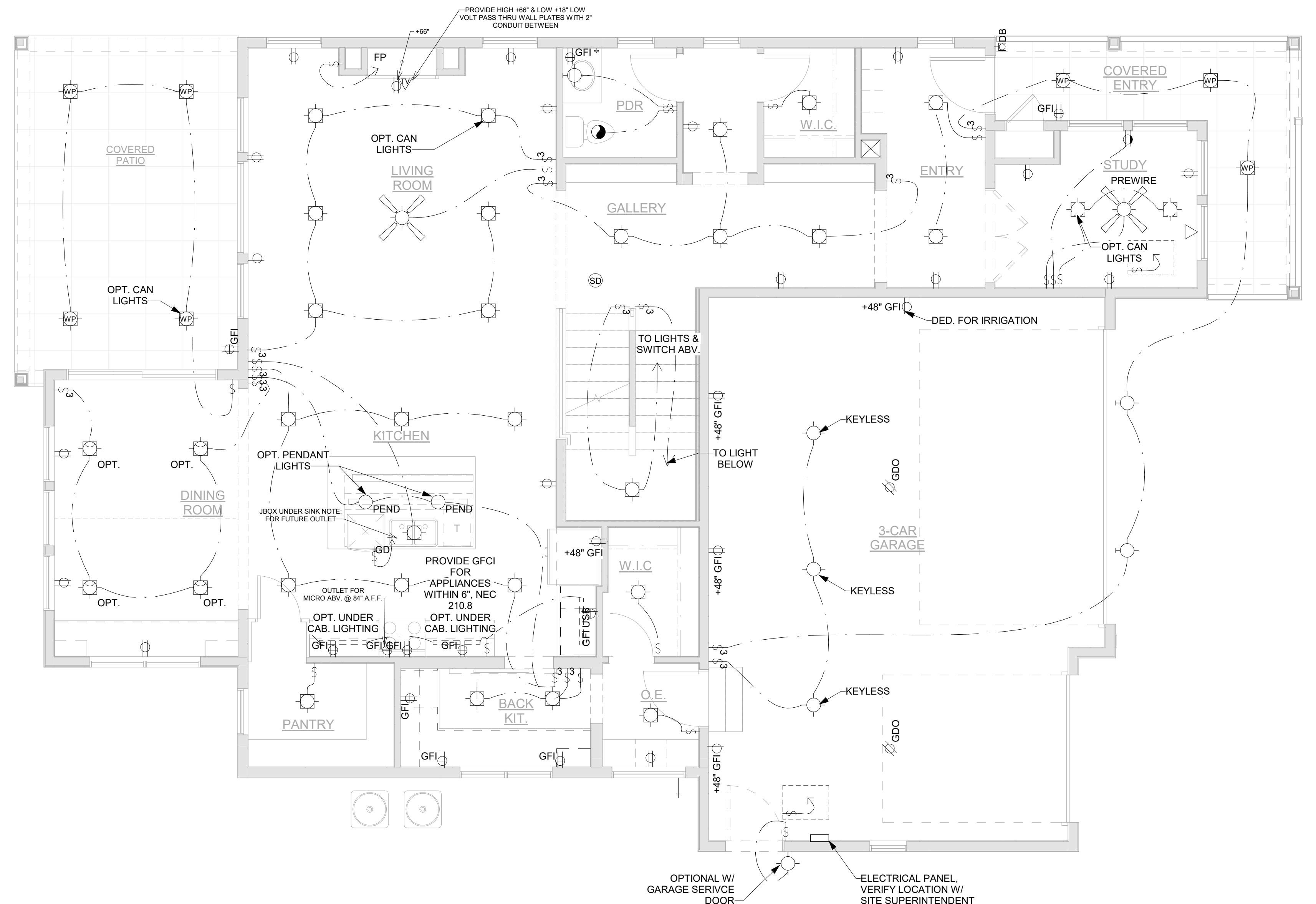
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6. SWITCHED LIGHT AND OUTLET AT RADON VENT STACK FOR FUTURE FAN

ELECTRICAL LEGEND

	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	SINGLE POLE SWITCH W/ DIMMER
	THREE WAY SWITCH W/ DIMMER
	OCCUPANT SENSOR SWITCH
	RHEOSTAT SWITCH
	DUPLEX OUTLET
	QUAD OUTLET
	SWITCHED OUTLET
	GROUND FAULT INTERRUPTER
	ARC FAULT INTERRUPTER
	ABOVE COUNTER DUPLEX OUTLET
	ABOVE COUNTER GROUND FAULT INTERRUPTER
	FLOOR OUTLET
	OVERHEAD (SOFFIT MOUNTED) OUTLET
	OVERHEAD GARAGE DOOR OUTLET
	CEILING MOUNTED LIGHT FIXTURE
	CEILING MOUNTED LIGHT FIXTURE W/ PULL CHAIN
	PENDANT LIGHT FIXTURE
	MINI PENDANT LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE - WATER PROOFED
	RECESSED FLUORESCENT LIGHT FIXTURE - WATER PROOFED
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	EXHAUST FAN
	EXHAUST FAN & LIGHT FIXTURE COMBO
	TRACK LIGHT FIXTURE
	4' FLUORESCENT LIGHT FIXTURE
	2' X 4' FLUORESCENT LIGHT FIXTURE
	CEILING FAN
	CEILING FAN W/ LIGHT FIXTURE
	SMOKE DETECTOR
	CEILING MOUNTED REINFORCED JUNCTION BOX
	DOORBELL

DRAWN BY: JK, JM  
CHECKED BY: OL  
PROJECT NO: 2024023.20  
ISSUE DATE: 10/28/2024  
REVISIONS:



FIRST FLOOR ELECTRICAL PLAN

E102A

SCALE: 1/4" = 1'-0"

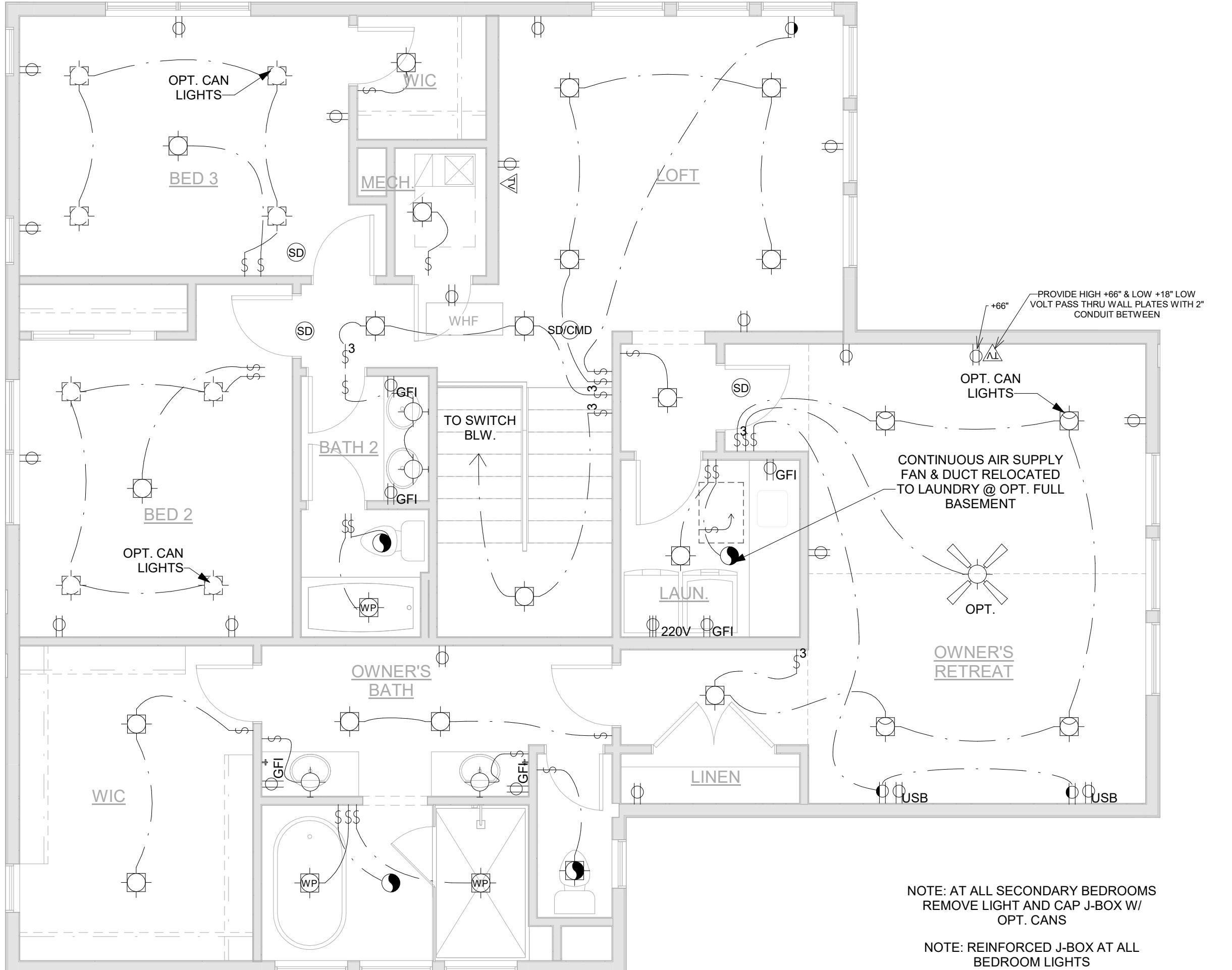
**BAREFOOT LAKES**  
BROOKFIELD RESIDENTIAL

PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET  
TOWN OF FIRESTONE, CO

ELECTRICAL NOTES	
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6. SWITCHED LIGHT AND OUTLET AT RADON VENT STACK FOR FUTURE FAN	

ELECTRICAL LEGEND	
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	SINGLE POLE SWITCH W/ DIMMER
	THREE WAY SWITCH W/ DIMMER
	OCCUPANT SENSOR SWITCH
	RHEOSTAT SWITCH
	DUPLEX OUTLET
	QUAD OUTLET
	SWITCHED OUTLET
	GROUND FAULT INTERRUPTER
	ARC FAULT INTERRUPTER
	ABOVE COUNTER DUPLEX OUTLET
	ABOVE COUNTER GROUND FAULT INTERRUPTER
	FLOOR OUTLET
	220 VOLT OUTLET
	OVERHEAD (SOFFIT MOUNTED) OUTLET
	OVERHEAD GARAGE DOOR OUTLET
	CEILING MOUNTED LIGHT FIXTURE
	CEILING MOUNTED LIGHT FIXTURE W/ PULL CHAIN
	PENDANT LIGHT FIXTURE
	MINI PENDANT LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE - WATER PROOFED
	RECESSED FLUORESCENT LIGHT FIXTURE - WATER PROOFED
	RECESSED "EYEBALL" LIGHT FIXTURE
	EXHAUST FAN
	EXHAUST FAN & LIGHT FIXTURE COMBO
	TRACK LIGHT FIXTURE
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	2' X 4' FLUORESCENT LIGHT FIXTURE
	CEILING FAN
	CEILING FAN W/ LIGHT FIXTURE
	SMOKE DETECTOR
	CEILING MOUNTED REINFORCED JUNCTION BOX
	DOORBELL

DRAWN BY:	JK, JM
CHECKED BY:	OL
PROJECT NO:	2024023.20
ISSUE DATE:	10/28/2024
REVISIONS:	(Blank lines)



SECOND FLOOR ELECTRICAL PLAN  
E103A  
SCALE: 1/4" = 1'-0"

**BAREFOOT LAKES**  
BROOKFIELD RESIDENTIAL

PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET  
TOWN OF FIRESTONE, CO

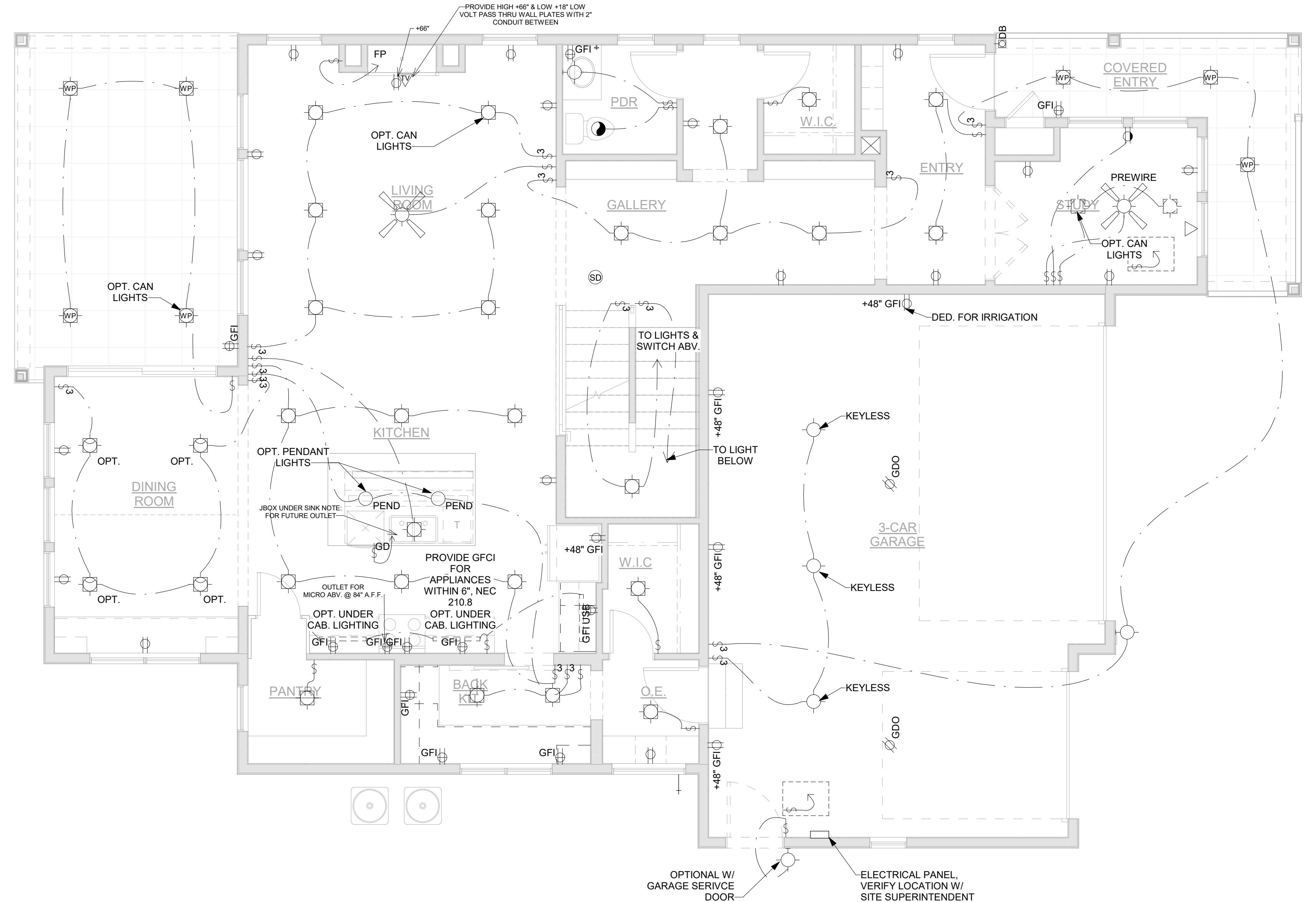
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6. SWITCHED LIGHT AND OUTLET AT RADON VENT STACK FOR FUTURE FAN

ELECTRICAL LEGEND

	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	SINGLE POLE SWITCH W/ DIMMER
	THREE WAY SWITCH W/ DIMMER
	OCCUPANT SENSOR SWITCH
	RHEOSTAT SWITCH
	DUPLEX OUTLET
	QUAD OUTLET
	SWITCHED OUTLET
	GROUND FAULT INTERRUPTER
	ARC FAULT INTERRUPTER
	ABOVE COUNTER DUPLEX OUTLET
	ABOVE COUNTER GROUND FAULT INTERRUPTER
	FLOOR OUTLET
	OVERHEAD (SOFFIT MOUNTED) OUTLET
	OVERHEAD GARAGE DOOR OUTLET
	CEILING MOUNTED LIGHT FIXTURE
	CEILING MOUNTED LIGHT FIXTURE W/ PULL CHAIN
	PENDANT LIGHT FIXTURE
	MINI PENDANT LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE - WATER PROOFED
	RECESSED FLUORESCENT LIGHT FIXTURE - WATER PROOFED
	RECESSED "EYEBALL" LIGHT FIXTURE
	EXHAUST FAN
	EXHAUST FAN & LIGHT FIXTURE COMBO
	TRACK LIGHT FIXTURE
	4' FLUORESCENT LIGHT FIXTURE
	2' X 4' FLUORESCENT LIGHT FIXTURE
	CEILING FAN
	CEILING FAN W/ LIGHT FIXTURE
	SMOKE DETECTOR
	CEILING MOUNTED REINFORCED JUNCTION BOX
	DOORBELL

DRAWN BY: JK, JM  
CHECKED BY: OL  
PROJECT NO: 2024023.20  
ISSUE DATE: 10/28/2024  
REVISIONS:



FIRST FLOOR ELECTRICAL PLAN

1  
E102B  
SCALE: 1/4" = 1'-0"

ELECTRICAL NOTES

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ELECTRICAL LEGEND

	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	SINGLE POLE SWITCH W/ DIMMER
	THREE WAY SWITCH W/ DIMMER
	OCCUPANT SENSOR SWITCH
	RHEOSTAT SWITCH
	DUPLEX OUTLET
	QUAD OUTLET
	SWITCHED OUTLET
	GFI
	AFI
	ABOVE COUNTER DUPLEX OUTLET
	ABOVE COUNTER GROUND FAULT INTERRUPTER
	FLOOR OUTLET
	220 VOLT OUTLET
	OVERHEAD (SOFFIT MOUNTED) OUTLET
	OVERHEAD GARAGE DOOR OUTLET
	CEILING MOUNTED LIGHT FIXTURE
	CEILING MOUNTED LIGHT FIXTURE W/ PULL CHAIN
	PENDANT LIGHT FIXTURE
	MINI PENDANT LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE - WATER PROOFED
	RECESSED FLUORESCENT LIGHT FIXTURE - WATER PROOFED
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	2' X 4' FLUORESCENT LIGHT FIXTURE
	CEILING FAN
	CEILING FAN W/ LIGHT FIXTURE
	SMOKE DETECTOR
	CEILING MOUNTED REINFORCED JUNCTION BOX
	DOORBELL

DRAWN BY: JK, JM  
CHECKED BY: OL  
PROJECT NO: 2024023.20  
ISSUE DATE: 10/28/2024  
REVISIONS:

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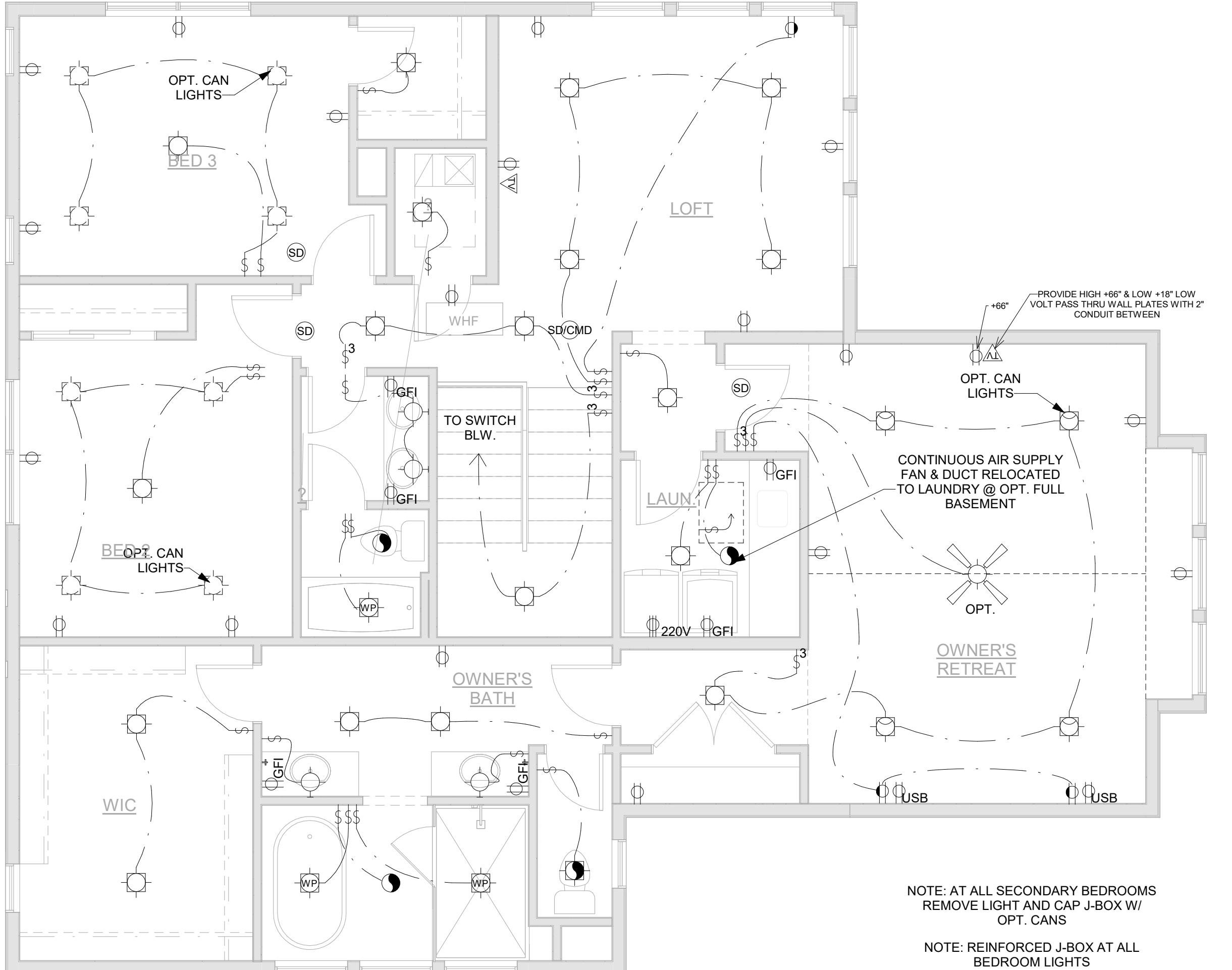
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NOTE: AT ALL SECONDARY BEDROOMS  
REMOVE LIGHT AND CAP J-BOX W/  
OPT. CANS  
NOTE: REINFORCED J-BOX AT ALL  
BEDROOM LIGHTS

SECOND FLOOR ELECTRICAL PLAN  
1 E103B SCALE: 1/4" = 1'-0"

## ELECTRICAL NOTES

- WINGS SHOW GENERAL LOCATIONS & TYPES OF ELECTRICAL  
COMPONENTS. CIRCUIT LOADS AND WIRING DIAGRAMS TO BE PROVIDED BY  
ELECTRICAL ENGINEER.

SMOKE DETECTORS MUST BE INSTALLED PER MANUFACTURER'S  
SPECIFICATIONS, AND PER 2018 IRC SECTION R314.3.1

LESS OTHERWISE INDICATED, INSTALL SWITCHES, RECEPTACLES,  
AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:

LETS .....	14"
LETS ABV. COUNTER TOPS .....	48"
CHES .....	46"

VERIFY LOCATION OF FIXTURES, WHERE INDICATED.

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ROOMS, CLOSETS, HALLWAYS, AND SIMILAR ROOMS OR AREAS SHALL BE  
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2018 IRC SECTION E3902.12

SHED LIGHT AND OUTLET AT RADON VENT STACK FOR FUTURE FAN

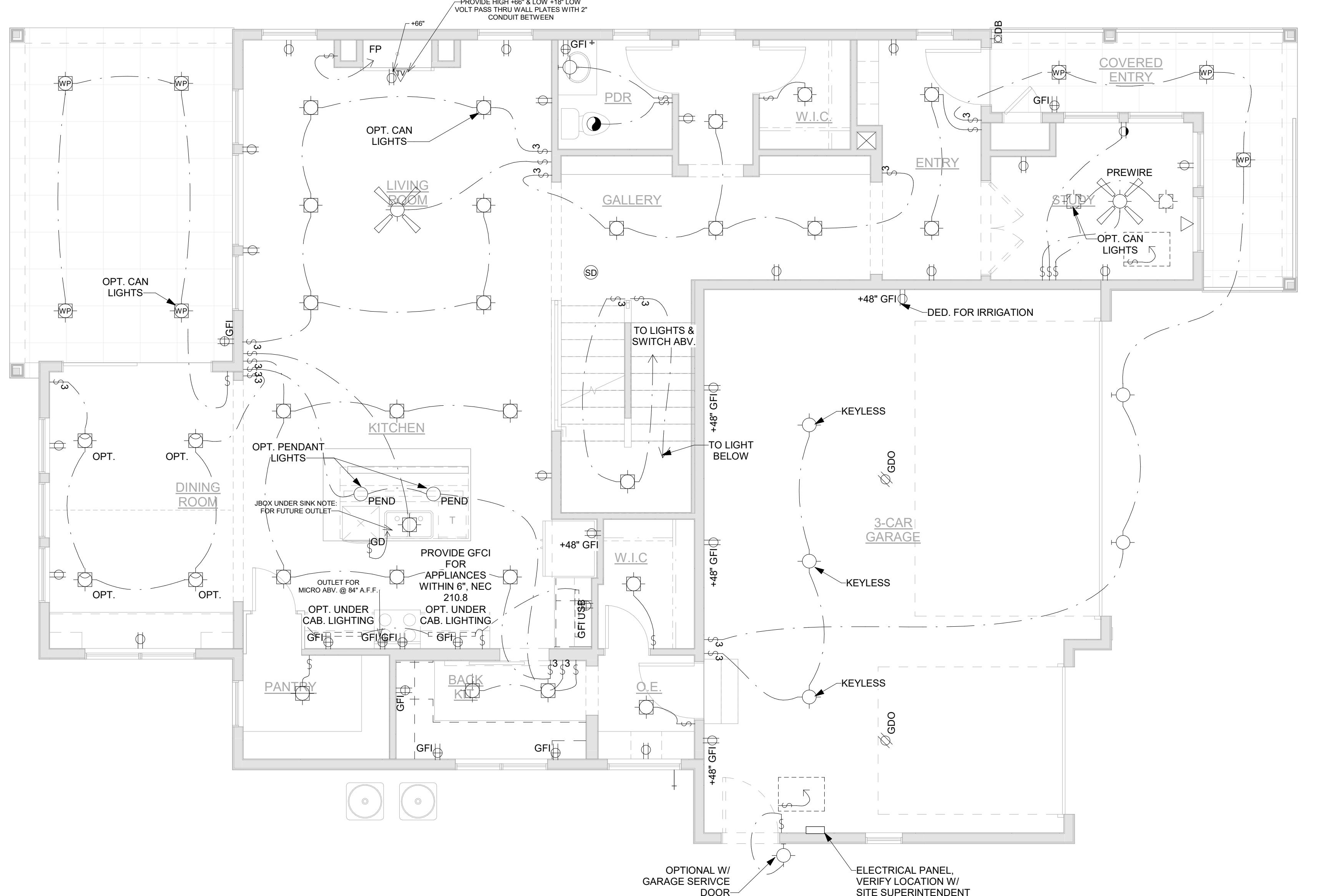
ARCHITECTURE  
PLANNING  
LANDSCAPE  
ARCHITECTURE

**DTJ DESIGN, INC**  
3101 Iris Ave, Suite 130  
Boulder, Colorado 80303  
T 303.443.7533

[www.dtjdesign.com](http://www.dtjdesign.com)

## ELCTRICAL LEGEND

ELECTRICAL LEGEND	
\$	SINGLE POLE SWITCH
\$ <sup>3</sup>	THREE WAY SWITCH
\$ <sup>4</sup>	FOUR WAY SWITCH
\$ <sup>D</sup>	SINGLE POLE SWITCH W/ DIMMER
\$ <sup>3D</sup>	THREE WAY SWITCH W/ DIMMER
\$ <sup>OS</sup>	OCCUPANT SENSOR SWITCH
\$ <sup>R</sup>	RHEOSTAT SWITCH
○	DUPLEX OUTLET
○○	QUAD OUTLET
○○	SWITCHED OUTLET
○GFI	GROUND FAULT INTERRUPTER
○AFI	ARC FAULT INTERRUPTER
○○	ABOVE COUNTER DUPLEX OUTLET
○GFI	ABOVE COUNTER GROUND FAULT INTERRUPTER
○○	FLOOR OUTLET
○220V	220 VOLT OUTLET
○D	OVERHEAD (SOFFIT MOUNTED) OUTLET
○GDO	OVERHEAD GARAGE DOOR OUTLET
○○	CEILING MOUNTED LIGHT FIXTURE
○PC	CEILING MOUNTED LIGHT FIXTURE W/ PULL CHAIN
○PEND	PENDANT LIGHT FIXTURE
MINI-PENDANT	MINI PENDANT LIGHT FIXTURE
○○	WALL MOUNTED LIGHT FIXTURE
○○	RECESSED LIGHT FIXTURE
○WP	RECESSED LIGHT FIXTURE - WATER PROOFED
○WP	RECESSED FLUORESCENT LIGHT FIXTURE - WATER PROOFED
○○	RECESSED "EYEBALL" LIGHT FIXTURE
○○	EXHAUST FAN
○○	EXHAUST FAN & LIGHT FIXTURE COMBO
○○	TRACK LIGHT FIXTURE
○○	4' FLUORESCENT LIGHT FIXTURE
○○	2' X 4' FLUORESCENT LIGHT FIXTURE
○○	CEILING FAN
○○	CEILING FAN W/ LIGHT FIXTURE
○SD	SMOKE DETECTOR
○JB	CEILING MOUNTED REINFORCED JUNCTION BOX
○DB	DOORBELL



# BAREFOOT LAKES

## BROOKFIELD RESIDENTIAL

**PLAN 4456 BIG SKY SIX - BUILDER'S PLAN SET  
TOWN OF FIRESTONE, CO**

JK, JM  
O

## FIRST FLOOR - ELECTRICAL PLAN

**1**      **FIRST FLOOR ELECTRICAL PLAN**

E102C      SCALE: 1/4" = 1'-0"

Drawing: C:\Users\Jmiller\Documents\2024023\_20\_Plan 1\_R24\_jmillerCMY4.jwt  
Layout: #####  
Last Saved: 10/28/2024 4:05:18 PM  
Last Plotted: ---  
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ELECTRICAL NOTES

- DRAWINGS SHOW GENERAL LOCATIONS & TYPES OF ELECTRICAL COMPONENTS. CIRCUIT LOADS AND WIRING DIAGRAMS TO BE PROVIDED BY AN ELECTRICAL ENGINEER.
- ALL SMOKE DETECTORS MUST BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS, AND PER 2018 IRC SECTION R314.3.1
- UNLESS OTHERWISE INDICATED, INSTALL SWITCHES, RECEPTACLES, ETC. AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:  
OUTLETS ..... 14"  
OUTLETS ABV. COUNTER TOPS ..... 48"  
SWITCHES ..... 46"
- FIELD VERIFY LOCATION OF FIXTURES, WHERE INDICATED.
- ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATIONS ROOMS, CLOSETS, HALLWAYS, AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER, PER 2018IRC SECTION E3902.12
- SWITCHED LIGHT AND OUTLET AT RADON VENT STACK FOR FUTURE FAN

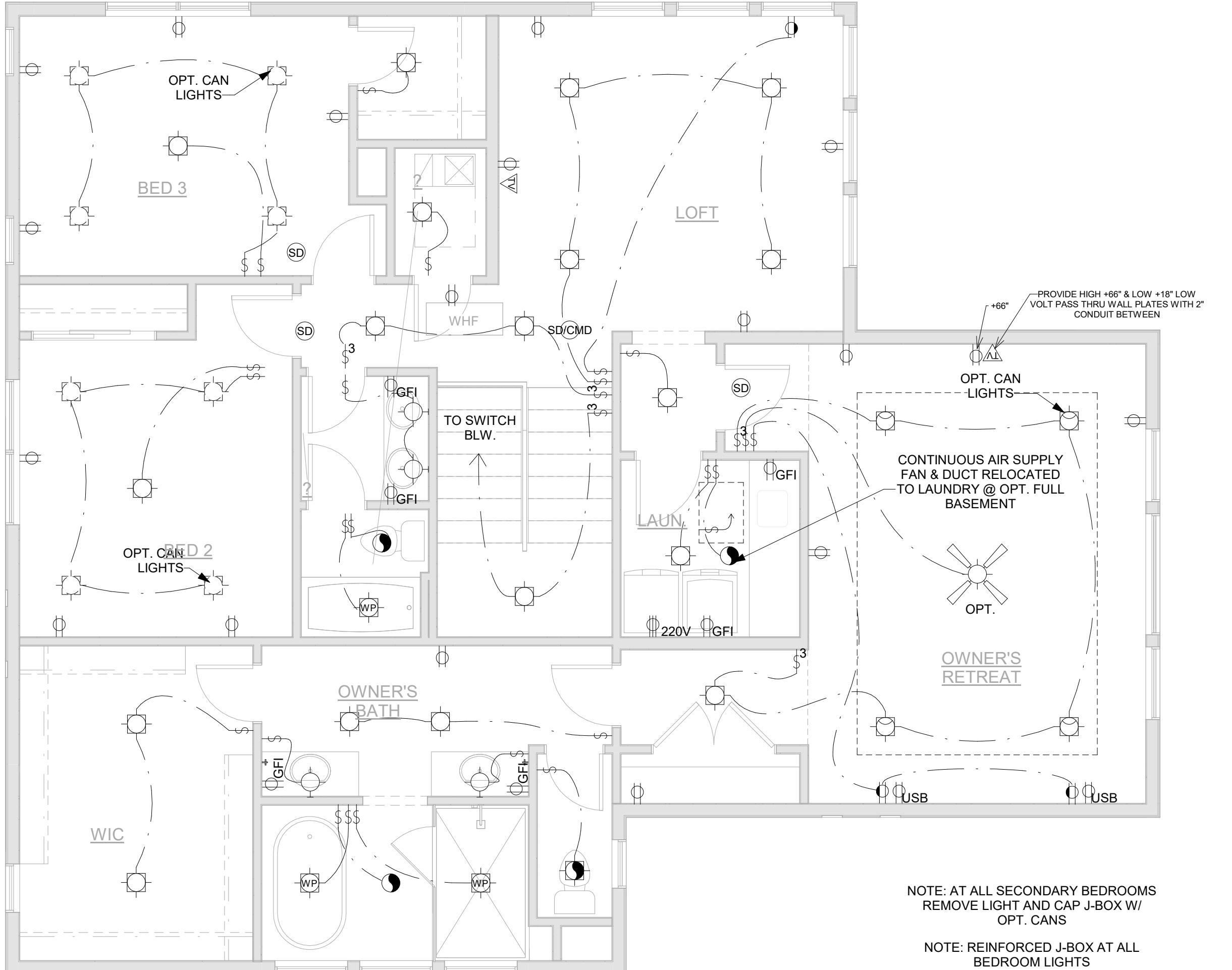
ELECTRICAL LEGEND

	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	SINGLE POLE SWITCH W/ DIMMER
	THREE WAY SWITCH W/ DIMMER
	OCCUPANT SENSOR SWITCH
	RHEOSTAT SWITCH
	DUPLEX OUTLET
	QUAD OUTLET
	SWITCHED OUTLET
	GFI
	AFI
	ABOVE COUNTER DUPLEX OUTLET
	ABOVE COUNTER GROUND FAULT INTERRUPTER
	FLOOR OUTLET
	220 VOLT OUTLET
	OVERHEAD (SOFFIT MOUNTED) OUTLET
	OVERHEAD GARAGE DOOR OUTLET
	CEILING MOUNTED LIGHT FIXTURE
	CEILING MOUNTED LIGHT FIXTURE W/ PULL CHAIN
	PENDANT LIGHT FIXTURE
	MINI PENDANT LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE - WATER PROOFED
	RECESSED FLUORESCENT LIGHT FIXTURE - WATER PROOFED
	RECESSED "EYEBALL" LIGHT FIXTURE
	EXHAUST FAN
	EXHAUST FAN & LIGHT FIXTURE COMBO
	TRACK LIGHT FIXTURE
	4' FLUORESCENT LIGHT FIXTURE
	2' X 4' FLUORESCENT LIGHT FIXTURE
	CEILING FAN
	CEILING FAN W/ LIGHT FIXTURE
	SMOKE DETECTOR
	CEILING MOUNTED REINFORCED JUNCTION BOX
	DOORBELL

SECOND FLOOR -  
ELECTRICAL PLAN

SHEET  
NUMBER:

E103C



NOTE: AT ALL SECONDARY BEDROOMS  
REMOVE LIGHT AND CAP J-BOX W/  
OPT. CANS  
NOTE: REINFORCED J-BOX AT ALL  
BEDROOM LIGHTS

1  
E103C SECOND FLOOR ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"