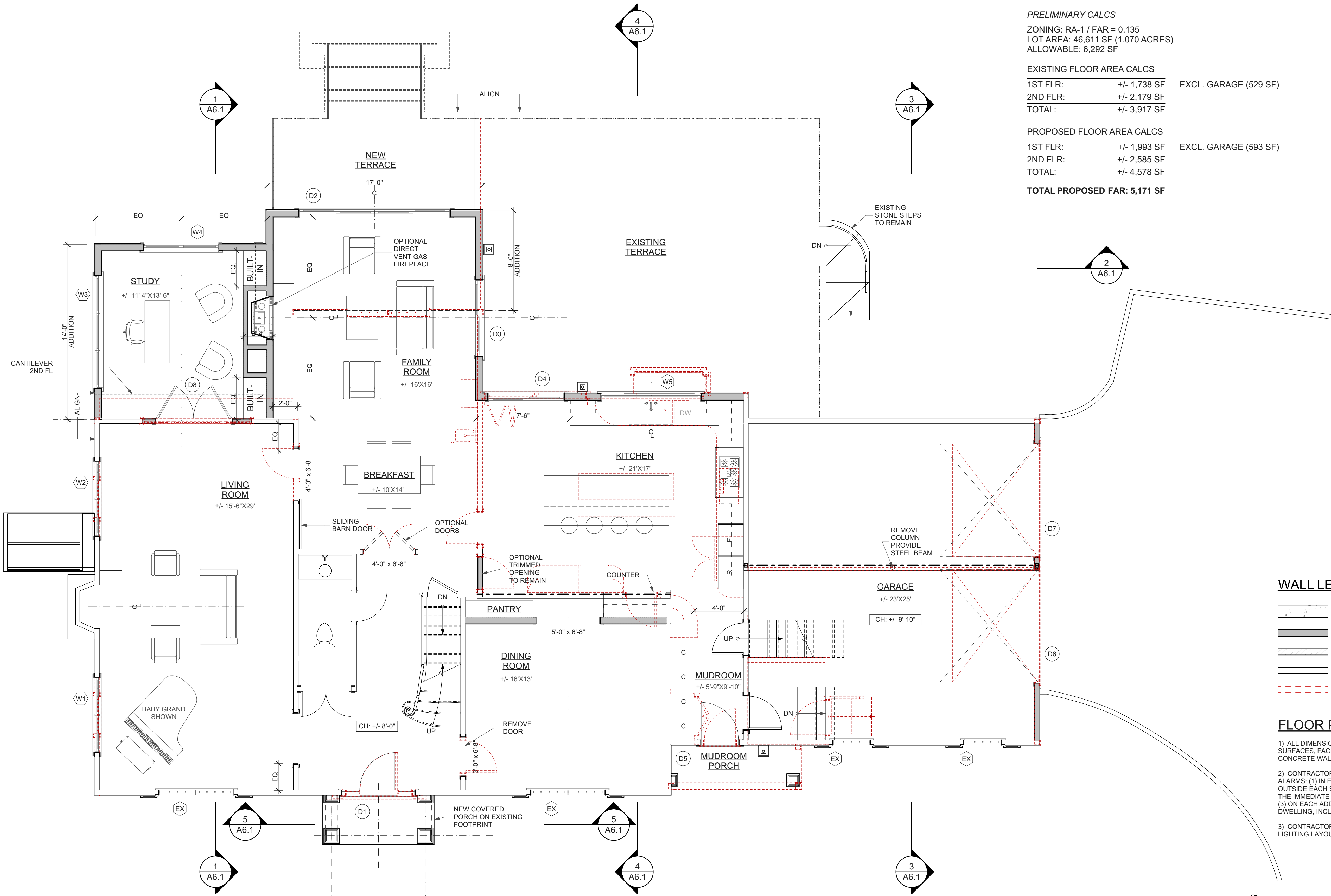


PRELIMINARY CALCS
ZONING: RA-1 / FAR = 0.135
LOT AREA: 46,611 SF (1.070 ACRES)
ALLOWABLE: 6,292 SF

EXISTING FLOOR AREA CALCS		
1ST FLR:	+/- 1,738 SF	EXCL. GARAGE (529 SF)
2ND FLR:	+/- 2,179 SF	
TOTAL:	+/- 3,917 SF	

PROPOSED FLOOR AREA CALCS		
1ST FLR:	+/- 1,993 SF	EXCL. GARAGE (593 SF)
2ND FLR:	+/- 2,585 SF	
TOTAL:	+/- 4,578 SF	

TOTAL PROPOSED FAR: 5,171 SF



WALL LEGEND

- POURED CONCRETE FOUNDATION WALL
- 2X STUD WALL, FULL HEIGHT
- MASONRY WALL
- EXISTING
- DEMOLITION

FLOOR PLAN NOTES

- ALL DIMENSIONS ARE GIVEN TO ROUGH SURFACES, FACE OF STUDS, BLOCK OR CONCRETE WALLS U.N.O.
- CONTRACTOR TO PROVIDE SMOKE ALARMS: (1) IN EACH SLEEPING ROOM. (2) OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. (3) ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS.
- CONTRACTOR TO VERIFY HVAC AND LIGHTING LAYOUT WITH FRAMING PLAN.



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JOB# 2507

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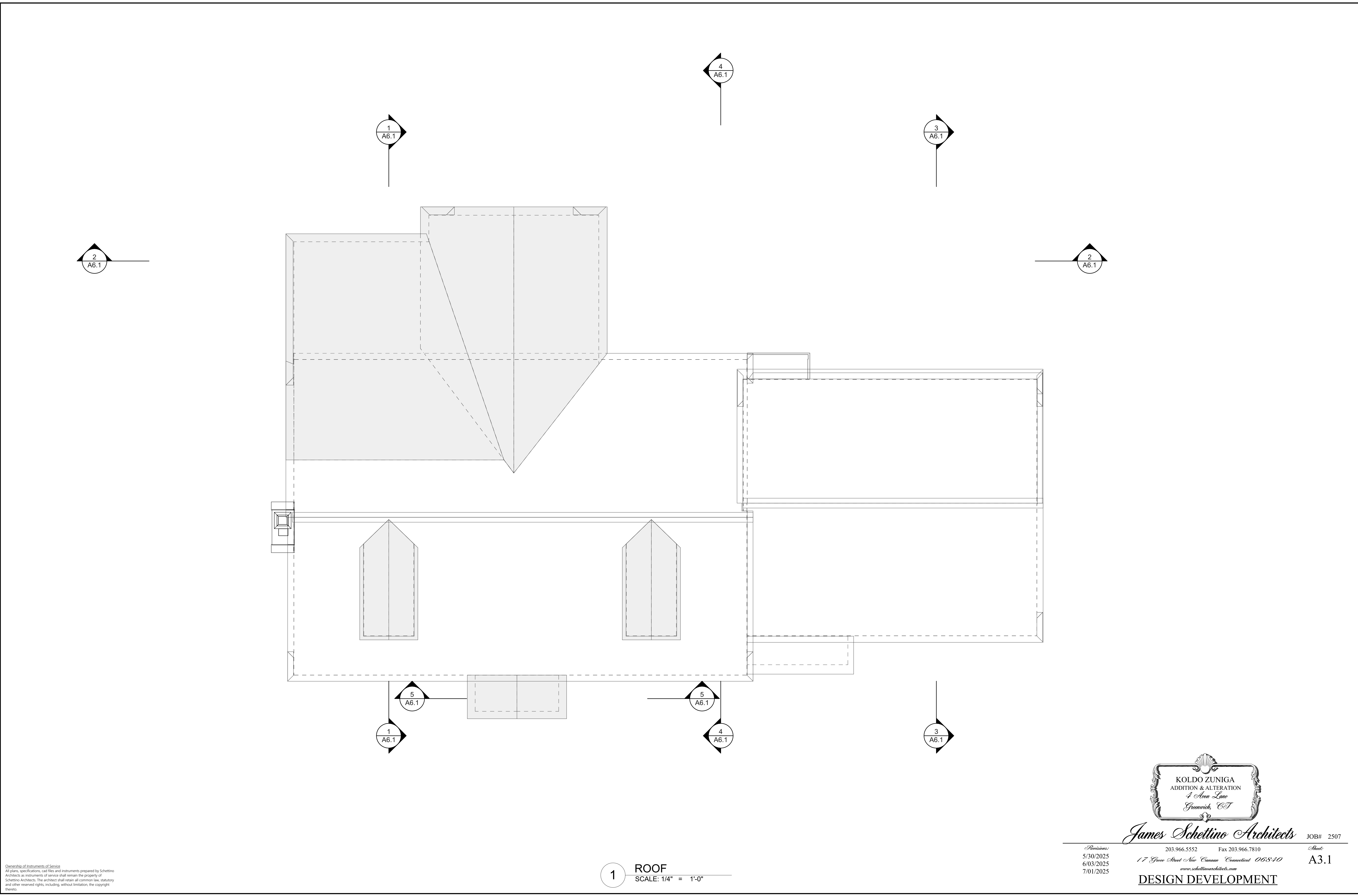
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DESIGN DEVELOPMENT

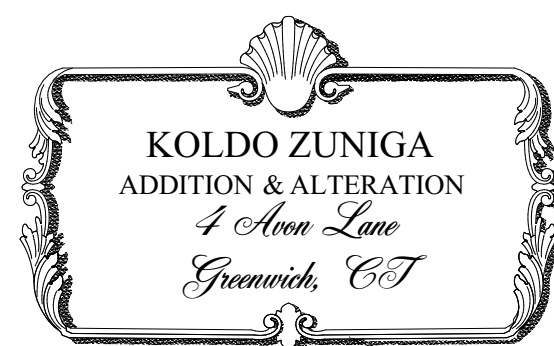
1 FIRST FLOOR
SCALE: 1/4" = 1'-0"

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1 ROOF
SCALE: 1/4" = 1'-0"



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DESIGN DEVELOPMENT

GENERAL NOTES

- ALL WORK TO COMPLY WITH APPLICABLE STATE AND LOCAL CODES.
- ALL DIMENSIONS ARE GIVEN TO ROUGH SURFACES, FACE OF STUDS, BLOCK OR CONCRETE WALLS, OR TOP OF SUB-FLOOR.
- DO NOT SCALE DRAWINGS.
- DOUBLE JOISTS UNDER WHIRLPOOL TUBS.
- ALL HEADERS OVER OPENINGS IN INTERIOR AND EXTERIOR BEARING WALLS TO BE 2- 2X12'S UNLESS NOTED OTHERWISE ON DRAWINGS.
- DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO FLOOR JOIST.
- ALL TWO STORY WALLS TO BE ENGINEERED LUMBER.
- BLOCK SOLID TO BEARING UNDER ALL HEADERS, BEAMS, AND GIRDERS.
- ALL CONVENTIONAL LUMBER JOISTS SHALL BE BRIDGED AT 8' O.C. MAXIMUM.
- DOUBLE FRAME AROUND ALL ROOF AND FLOOR OPENINGS, UNLESS NOTED OTHERWISE ON DRAWINGS.
- PROVIDE DOUBLE JACK STUDS FOR OPENINGS OVER 6'-0".
- SOIL BEARING CAPACITY ASSUMED AT 3,000 POUNDS PER SQUARE FOOT.
- ALL FOOTINGS TO BEAR ON VIRGIN SOIL.
- FOOTINGS SHALL EXTEND A MINIMUM OF 3'-6" BELOW GRADE OR BELOW LOCAL FROST LINE.
- CHIMNEY FOOTINGS SHALL BE 12" THICK AND WITH A MINIMUM PROJECTION OF 6".
- PROVIDE SMOKE DETECTORS ON ALL FLOORS WIRED IN SERIES (UL LISTED WITH BATTERY BACK-UP) - ALL BEDROOMS TO HAVE SMOKE ALARMS.
- ANY ATTIC AREA HAVING A CLEAR HEIGHT OF 30" OR MORE SHALL BE ACCESSIBLE BY AN OPENING OF 22"x30", AND A 2 FOOT WIDE WALKWAY TO LOUVERS OR WINDOWS AT GABLE ENDS.
- ALL INTERIOR BATHS AND POWDER ROOMS TO HAVE AN EXHAUST FAN VENTED TO EXTERIOR, DO NOT VENT IN SOFFIT.
- PROVIDE TEMPERED GLASS 3'-0" FROM TUB AND SHOWERS, AND ON STAIR LANDINGS.
- ALL WINDOWS WITH GLASS LESS THAN 18" ABOVE FINISH FLOOR TO BE TEMPERED GLASS.
- TEMPERED GLASS SHALL BE USED FOR ALL SLIDING, SWING, STORM, AND SHOWER DOORS, AND TUB ENCLOSURES. GLAZING ADJACENT TO STAIRS WITHIN 36" HORIZONTALLY & 60" VERTICALLY & GLAZING WITHIN 60" HORIZONTALLY & VERTICALLY OF THE BOTTOM OF A STAIRWAY SHALL BE TEMPERED.
- HANDRAILS TO BE NO LESS THAN 34" AND NOT GREATER THAN 38" ABOVE STAIR NOSING. WHEN 30" ABOVE A FLOOR OR GRADE, HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAY OF 4 OR MORE RISERS.
- ALL GUARDRAILS TO BE NOT LESS THAN 36" HIGH.
- BALUSTERS TO BE 4" MAXIMUM SPACING.
- THE MAXIMUM HORIZONTAL CROSS-SECTION DIMENSION OF THE HANDRAIL SHALL NOT EXCEED 2 1/4".
- PROVIDE A MINIMUM OF 6'-8" HEAD ROOM ON STAIR.
- ALL BEDROOMS TO HAVE AT LEAST ONE EGRESS TYPE WINDOW TO MEET THE FOLLOWING REQUIREMENTS: WINDOWS SHALL HAVE A CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH AND 24" IN HEIGHT AND 5.7 SQUARE FEET IN AREA, WITH A SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR, CLEARANCES TO BE THROUGH NORMAL OPERATION, REMOVABLE SASH OR HARDWARE WILL NO LONGER BE ALLOWED.
- FLASH ALL CHIMNEYS THROUGH TO THE FLUE.
- PLUMBING VENTS TO BE COPPER, VENT TO BACK OF ROOF.
- ALL PLUMBING WALLS TO BE 2X6.
- ALL VALLEYS TO HAVE COPPER FLASHING.
- PROVIDE ICE AND WATER SHIELD ON ALL EAVES AND VALLEYS.
- PROVIDE 3" ROCKWOOL SOUND INSULATION IN ALL WALLS, FLOORS AND AROUND BATHROOMS, POWDER RMS., LAVS, LAUNDRY, & KITCHEN.
- ALL DETAILS TO BE CONSIDERED TYPICAL UNLESS OTHERWISE NOTED ON DRAWINGS.
- ALL DOORS BETWEEN GARAGE & A DWELLING TO BE 1/HR. RATED WITH SELF CLOSER.
- ALL FLAT ROOFS TO HAVE A MIN. PITCH OF 1/8" PER FOOT.
- ALL LAUNDRY ROOMS TO HAVE FLOOR DRAINS.
- PROVIDE 2" CLEARANCE BETWEEN FRONT FACES AND SIDES OF MASONRY FIREPLACE AND WOOD FRAME. PROVIDE 4" CLEARANCE BETWEEN BACK FACES OF MASONRY FIREPLACE AND WOOD FRAME. ALL FIREPLACE SURROUNDS TO BE A MIN. OF 12" NONCOMBUSTIBLE MATERIAL.
- ALL SIDE LITES TO BE TEMPERED GLASS.
- REDUCE DEPTH OF FLOOR'S JOISTS 1 1/2" TO ACCOMMODATE MUD JOIST THICKNESS.
- DIRECTION OF WOOD FLOORING TO RUN PERPENDICULAR TO FLOOR JOIST UNLESS OTHERWISE SPECIFIED.
- DOUBLE RAFTERS AT EACH SIDE OF COLLAR TIES.
- ALL PLYWOOD TO BE GLUED AND SCREWED TO FLOOR JOISTS.
- ALL PLYWOOD SUB-FLOOR JOINTS TO BE STAGGERED.
- ALL PLUMBING DROPS TO BE NO HUB CAST IRON.
- ALL T.J.'S TO HAVE MICRO LAMS FOR TRIMMERS AND HEADERS @ OPENINGS.
- ALL FIREPLACES TO HAVE OUTSIDE AIR INTAKE. PROVIDE 1/4" MESH OVER EXTERIOR AIR INTAKE. LOCATE ON SIDE WALLS OF FIREBOX.
- CONTRACTOR TO TEST FOR RADON, AND PROVIDE PVC PIPING AS REQUIRED.
- VENT RANGE HOOD TO THE EXTERIOR.
- PROVIDE NUMBER 14 S.E.E.R. COOLING EQUIPMENT.
- DISCHARGE ALL DRYER VENTS TO THE EXTERIOR.
- MINIMUM BATHROOM CEILING HEIGHT OVER FIXTURES AND AT SHOWER HEAD SHALL BE 6'-8".
- HURRICANE CLIPS TO BE TO BE USED AT EACH RAFTER.
- VERTICAL PLYWOOD TO BE USED AT ALL EXTERIOR CORNERS.
- FIREPLACE MASONRY TO BE A MINIMUM OF 1" OFF EXTERIOR PLYWOOD.
- HANDRAILS REQUIRED FOR 4 OR MORE RISERS.
- PROVIDE OUTSIDE AIR IN ALL MECHANICAL SPACES ADJACENT TO BOILER.
- PROVIDE 1 EACH CARBON MONOXIDE ALARM PER FLOOR.
- PROVIDE CLEANOUT UNDER FURNACE FLUE.
- ROUGH FRAME FOR RECESS MIRROR BEHIND ALL SINKS. DO NOT INSTALL VENTS/ELECTRICAL.
- PROVIDE COPPER PAN UNDER ALL WINDOWS AND EXTERIOR DOORS.
- NO PLUMBING OF WATER PIPES ON EXTERIOR WALLS OR AREAS VULNERABLE TO FREEZING.
- CONTRACTOR TO DO ELECTRICAL WALK THRU WITH OWNER AND ELECTRICIAN FOR FINAL ELECTRICAL LAYOUT.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL WINDOWS AND DOORS FOR ARCHITECTS REVIEW.
- ALL EXTERIOR TRIM TO BE MAHOGANY UNLESS NOTED OTHERWISE.
- ALL BASEMENTS TO HAVE EMERGENCY EGRESS PROVIDED.
- PROVIDE GROUND BLOCKING FOR ALL INTERIOR TRIM.
- CARBON MONOXIDE DETECTOR ON EACH FLOOR.
- THE LOWEST PART OF THE CLEAR OPENING OF A WINDOW LOCATED MORE THAN 72" ABOVE THE FINISH GRADE OF SURFACE BELOW SHALL BE A MIN OF 24" A.F.F. OPERABLE PORTIONS OF THE WINDOW SHALL NOT ALLOW PASSAGE OF A 4" DIAMETER SPHERE WHERE SUCH OPENINGS ARE LOCATED WITHIN 24" OF THE FINISHED FLOOR.
- PROVIDE MAKE UP AIR WHEN USING SPRAY INSULATION.
- PROVIDE ENGINEERED LUMBER FOR ALL 2-STORY WALL HEIGHT, BATHROOMS, LAUNDRY AND KITCHEN AREAS.
- CONTRACTOR TO SUPPLY MAKE-UP AIR FOR ALL FIREPLACES.
- PROVIDE (2) TEST BORINGS FOR NEW CONSTRUCTION.

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DOOR SCHEDULE									
ID	LOCATION	NOMINAL WIDTH	NOMINAL HEIGHT	TYPE	LEAF THICKNESS	MATERIAL	RATING	HARDWARE SET	REMARKS
D1	FIRST FLOOR	3'-0"	6'-8"	EXT. FRONT ENTRY	2 1/4"	WOOD/CLAD			W/ 1'-0"W SIDELIGHTS
D2	FIRST FLOOR	12'-0"	6'-8"	EXT. SLIDER (4)	1 3/4"	WOOD/CLAD			
D3	FIRST FLOOR	6'-0"	6'-8"	EXT. SLIDER (2)	1 3/4"	WOOD/CLAD			
D4	FIRST FLOOR	6'-0"	6'-8"	EXT. SLIDER (2)	1 3/4"	WOOD/CLAD			
D5	FIRST FLOOR	3'-0"	6'-8"	EXT. INSWING FRENCH (1)	1 3/4"	WOOD/CLAD			
D6	FIRST FLOOR	9'-0"	8'-0"	OVERHEAD SECTIONAL	1 3/4"	WOOD			
D7	FIRST FLOOR	9'-0"	8'-0"	OVERHEAD SECTIONAL	1 3/4"	WOOD			
D8	FIRST FLOOR	6'-0"	6'-8"	INT. SWING (2)	1 3/4"	WOOD			FRENCH DOOR
D9	SECOND FLOOR	2'-4"	6'-8"	INT. SWING (1)	1 3/4"	WOOD			
D10	SECOND FLOOR	2'-4"	6'-8"	INT. SWING (1)	1 3/4"	WOOD			
D11	SECOND FLOOR	2'-8"	6'-8"	INT. SWING (1)	1 3/4"	WOOD			
D12	SECOND FLOOR	3'-0"	6'-8"	INT. SWING (1)	1 3/4"	WOOD			
D13	SECOND FLOOR	2'-0"	6'-8"	INT. SWING (1)	1 3/4"	WOOD			
D14	SECOND FLOOR	2'-8"	6'-8"	INT. SWING (1)	1 3/4"	WOOD			
D15	SECOND FLOOR	2'-6"	6'-8"	INT. SWING (1)	1 3/4"	WOOD			
D16	SECOND FLOOR	2'-6"	6'-8"	INT. SWING (1)	1 3/4"	WOOD			
D17	SECOND FLOOR	2'-6"	6'-8"	INT. POCKET (1)	1 3/4"	WOOD			
D18	SECOND FLOOR	2'-4"	6'-8"	INT. SWING (1)	1 3/4"	WOOD			
D19	SECOND FLOOR	2'-4"	6'-8"	INT. SWING (1)	1 3/4"	WOOD			
D20	FOUNDATION	5'-0"	3'-2"		1 3/4"				

WINDOW SCHEDULE								
ID	LOCATION	WIDOW SIZE		TYPE	MATERIAL	PANES	TEMPERED	REMARKS
		NOMINAL WIDTH	NOMINAL HEIGHT					
W1	FIRST FLOOR	6'-0"	4'-4"	DOUBLE HUNG (2)	WOOD/CLAD	DBL PANE		HT. TO MATCH EXISTING LIVING ROOM WINDOWS
W2	FIRST FLOOR	6'-0"	4'-4"	DOUBLE HUNG (2)	WOOD/CLAD	DBL PANE		HT. TO MATCH EXISTING LIVING ROOM WINDOWS
W3	FIRST FLOOR	9'-0"	6'-0"	CASEMENT (3)	WOOD/CLAD	DBL PANE	YES	
W4	FIRST FLOOR	6'-0"	6'-0"	CASEMENT (2)	WOOD/CLAD	DBL PANE	YES	
W5	FIRST FLOOR	8'-0"	3'-6"	FIXED / PICTURE (1)	WOOD/CLAD	DBL PANE		
W6	SECOND FLOOR	3'-0"	4'-4"	DOUBLE HUNG (1)	WOOD/CLAD	DBL PANE		
W7	SECOND FLOOR	3'-0"	4'-4"	DOUBLE HUNG (1)	WOOD/CLAD	DBL PANE		
W8	SECOND FLOOR	6'-0"	5'-0"	DOUBLE HUNG (2)	WOOD/CLAD	DBL PANE		
W9	SECOND FLOOR	9'-0"	5'-0"	DOUBLE HUNG (3)	WOOD/CLAD	DBL PANE	YES	
W10	ATTIC	2'-0"	4'-0"	DOUBLE HUNG (1)	WOOD/CLAD	DBL PANE		
W11	ATTIC	2'-0"	4'-0"	DOUBLE HUNG (1)	WOOD/CLAD	DBL PANE		
W12	ATTIC	1'-8"	2'-0"	FIXED	WOOD/CLAD	DBL PANE		

WINDOW SPEC.

EXTERIOR FINISH: ALUMINUM CLAD / STONE WHITE
INTERIOR FINISH: PRIMED PINE
GLASS TYPE: LOW E II ARGON, TEMPERED GLASS AS NOTED IN SCHEDULE AND AS REQUIRED BY CT IRC
DIVIDED LITE OPTIONS: 7/8" SDL WITH LIGHT BRONZE SPACER BAR AND PERIMETER
CASING/SILL PROFILES: FIELD APPLIED CELLULAR PVC SURROUNDS AS DETAILED
SCREEN OPTIONS: HIGH TRANSPARENCY FIBERGLASS MESH
HARDWARE OPTIONS: TBD
JAMB EXTENSIONS: 6-9/16"
JAMB HARDWARE: WHITE

WINDOW & DOOR NOTES

- WINDOWS TO BE MARVIN ALUMINUM CLAD.
- PROVIDE SCREENS FOR ALL DOORS AND WINDOWS
- INTERIOR DOOR HARDWARE TO BE BALDWIN ESTATE & IMAGES SERIES.
- ALL CASEMENT WINDOWS TO BE PUSH OUT TYPE.
- INTERIOR DOOR HARDWARE TO BE BALDWIN ESTATE & IMAGES SERIES.
- ALL BEDROOMS TO HAVE EGRESS WINDOWS.

****CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW PRIOR TO ORDERING ALL WINDOWS AND DOORS****



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Sheet:

A4.1

DESIGN DEVELOPMENT



1 PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED LEFT ELEVATION
SCALE: 1/4" = 1'-0"



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A5.1

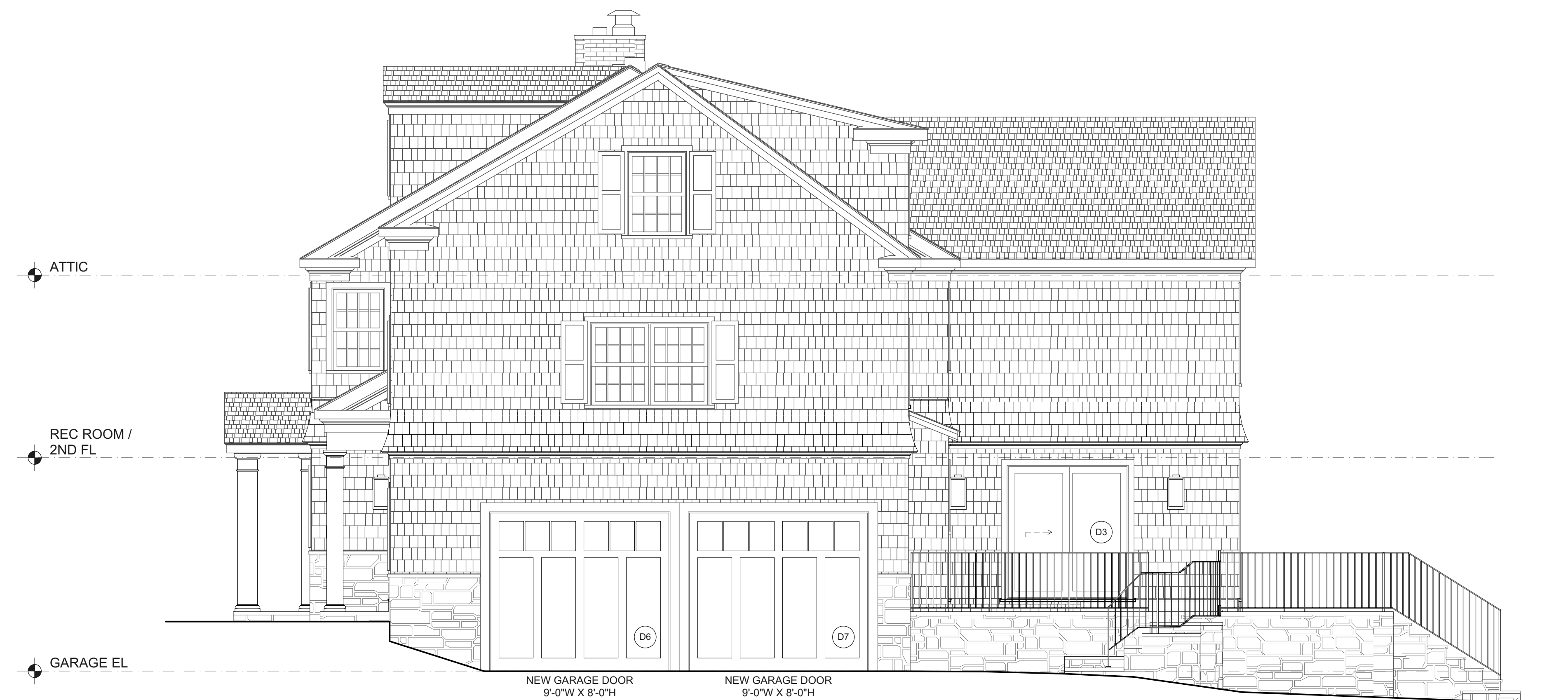
DESIGN DEVELOPMENT



1

PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"



2

PROPOSED RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



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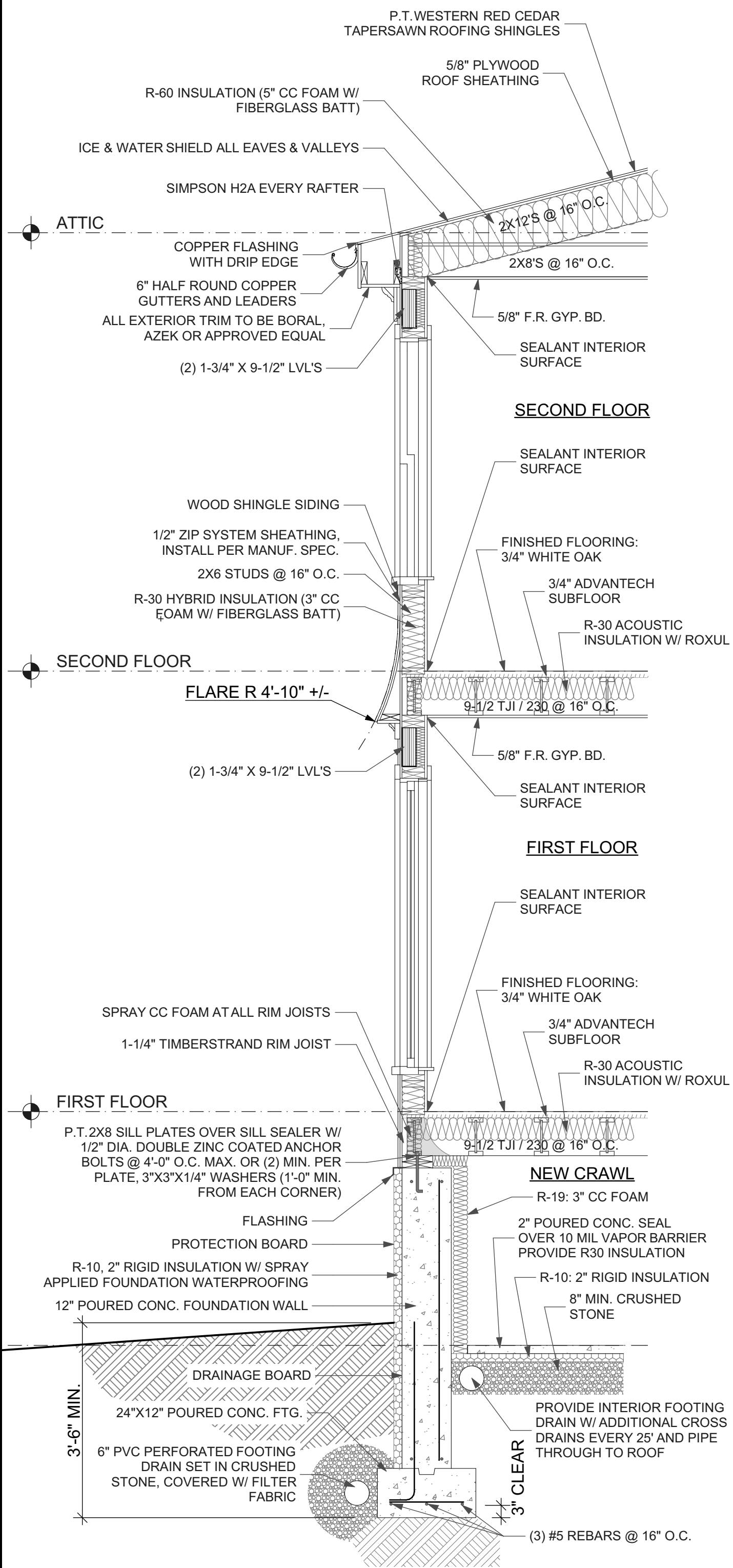
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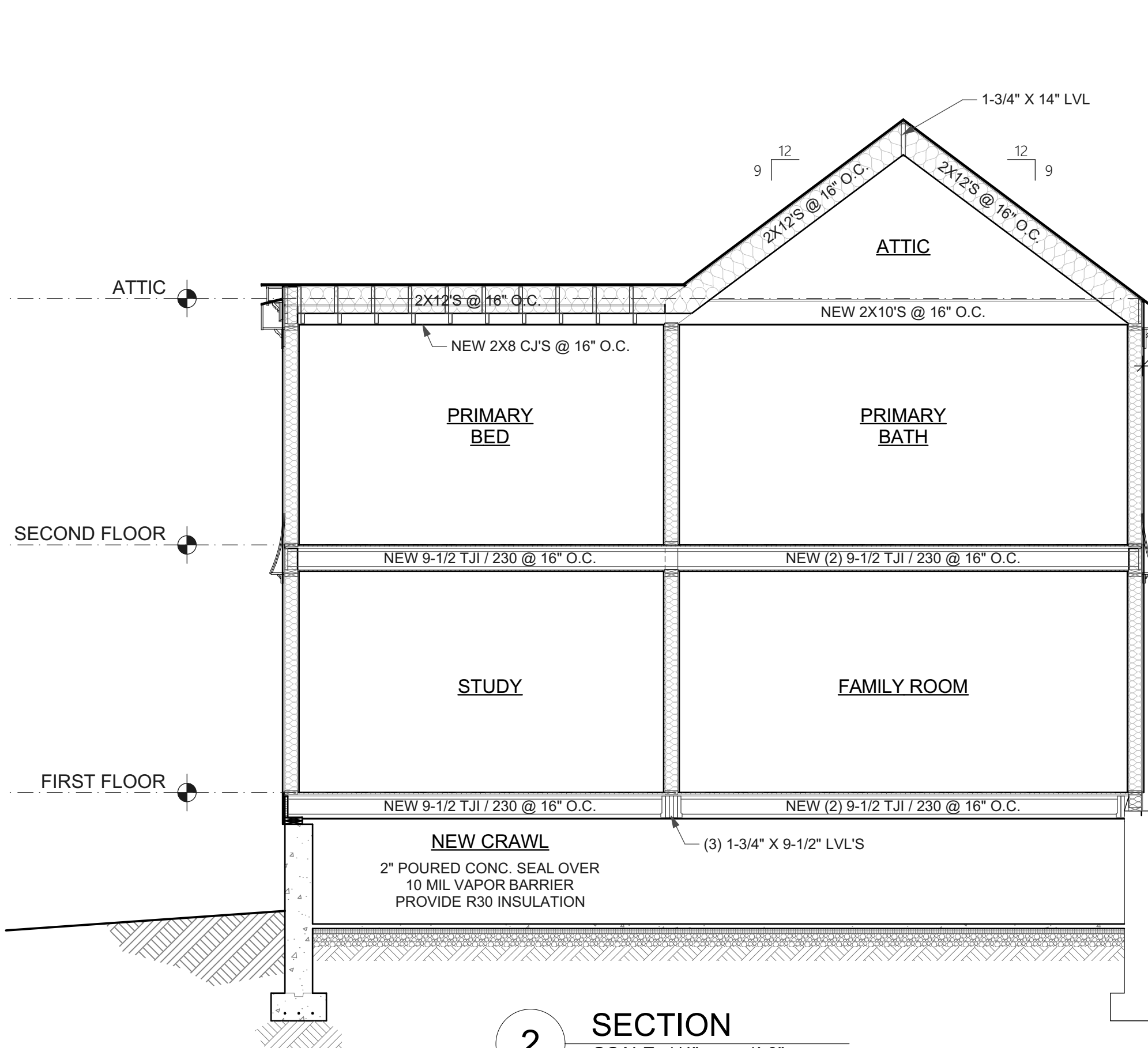
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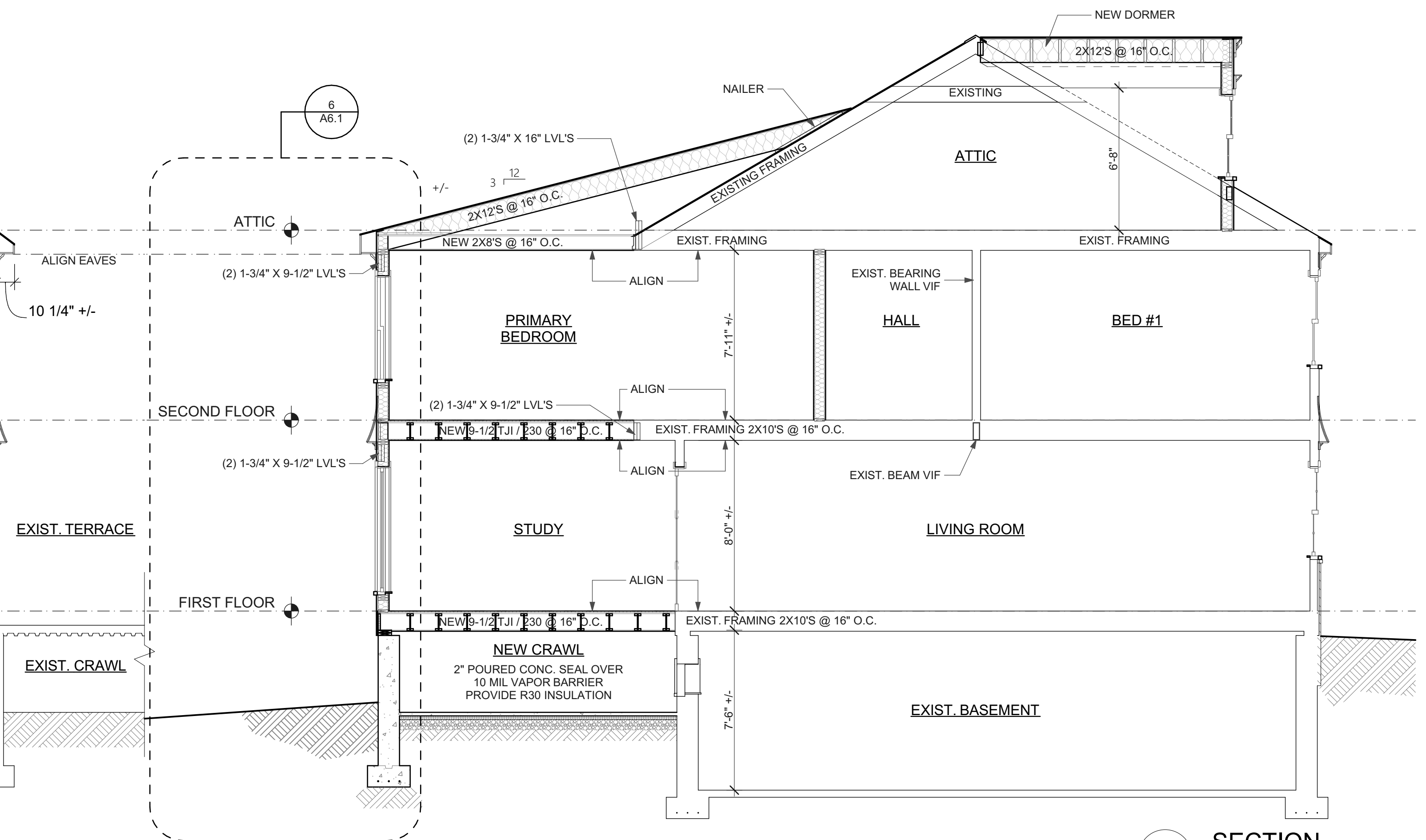
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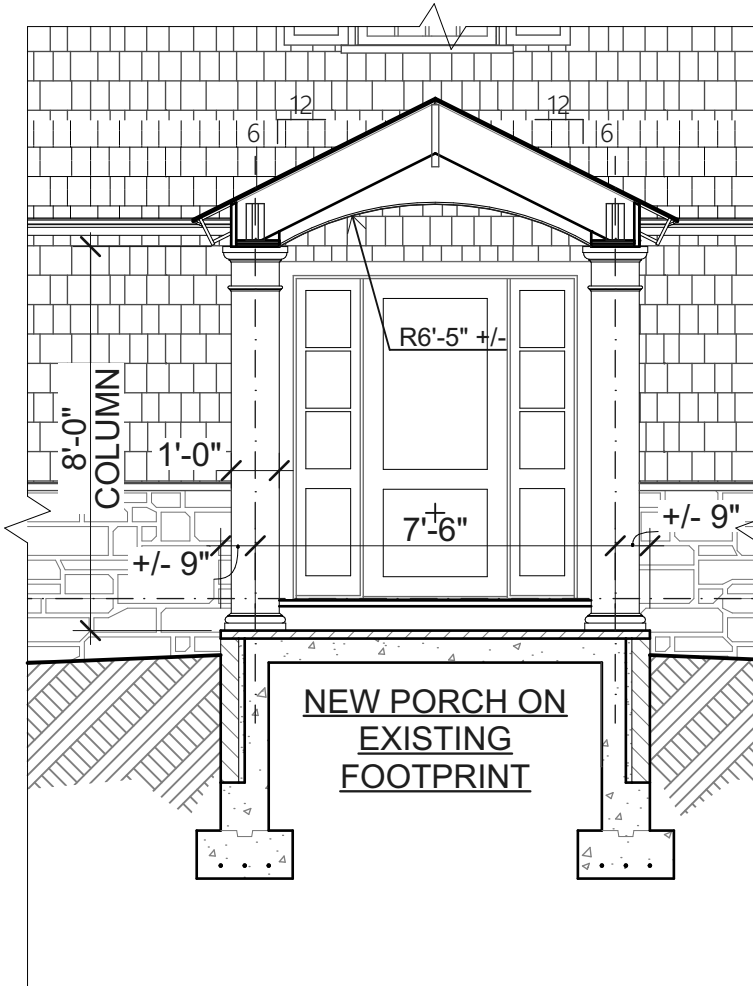
6 WALL SECTION
SCALE: 1/2" = 1'-0"



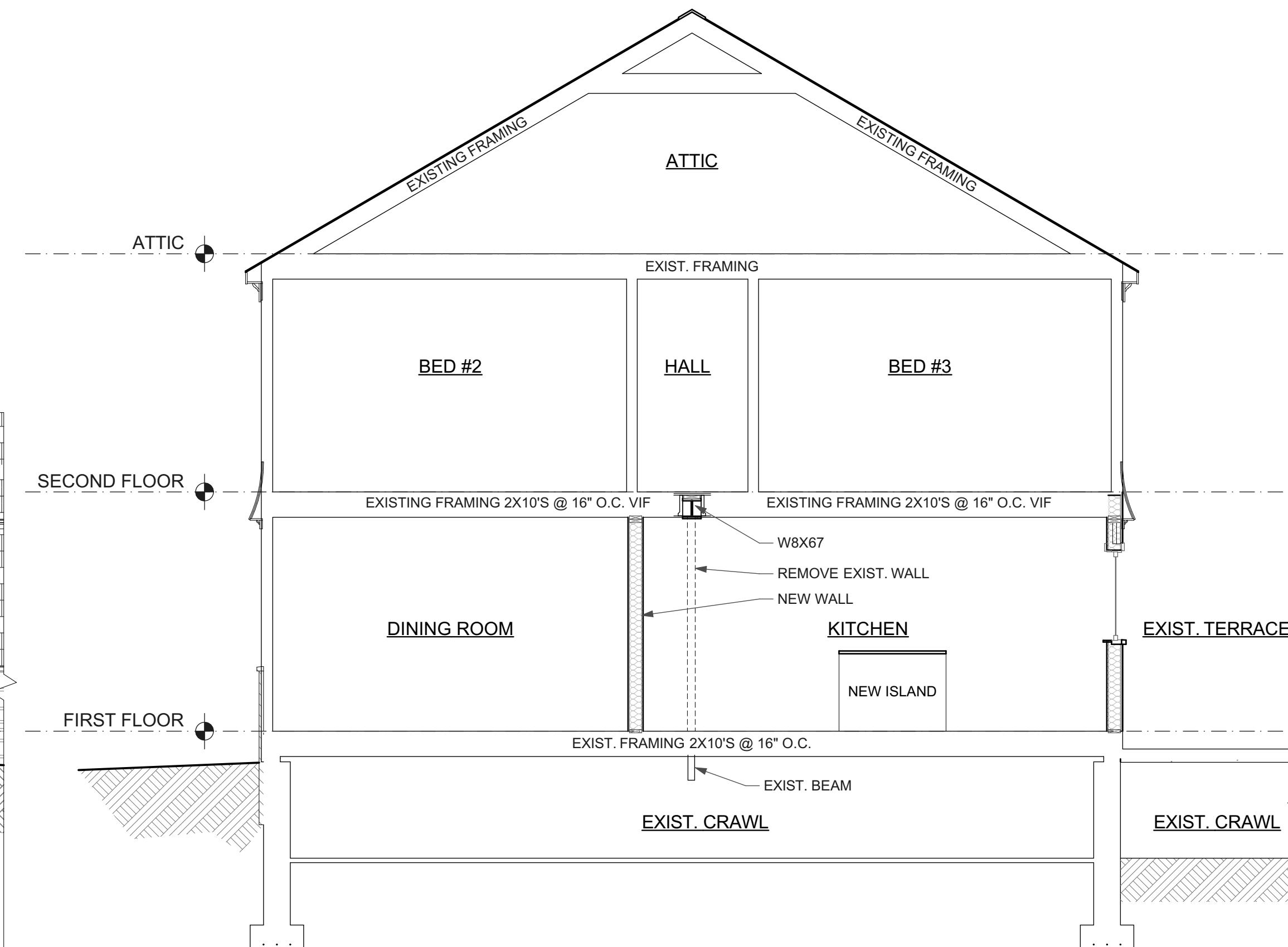
2 SECTION
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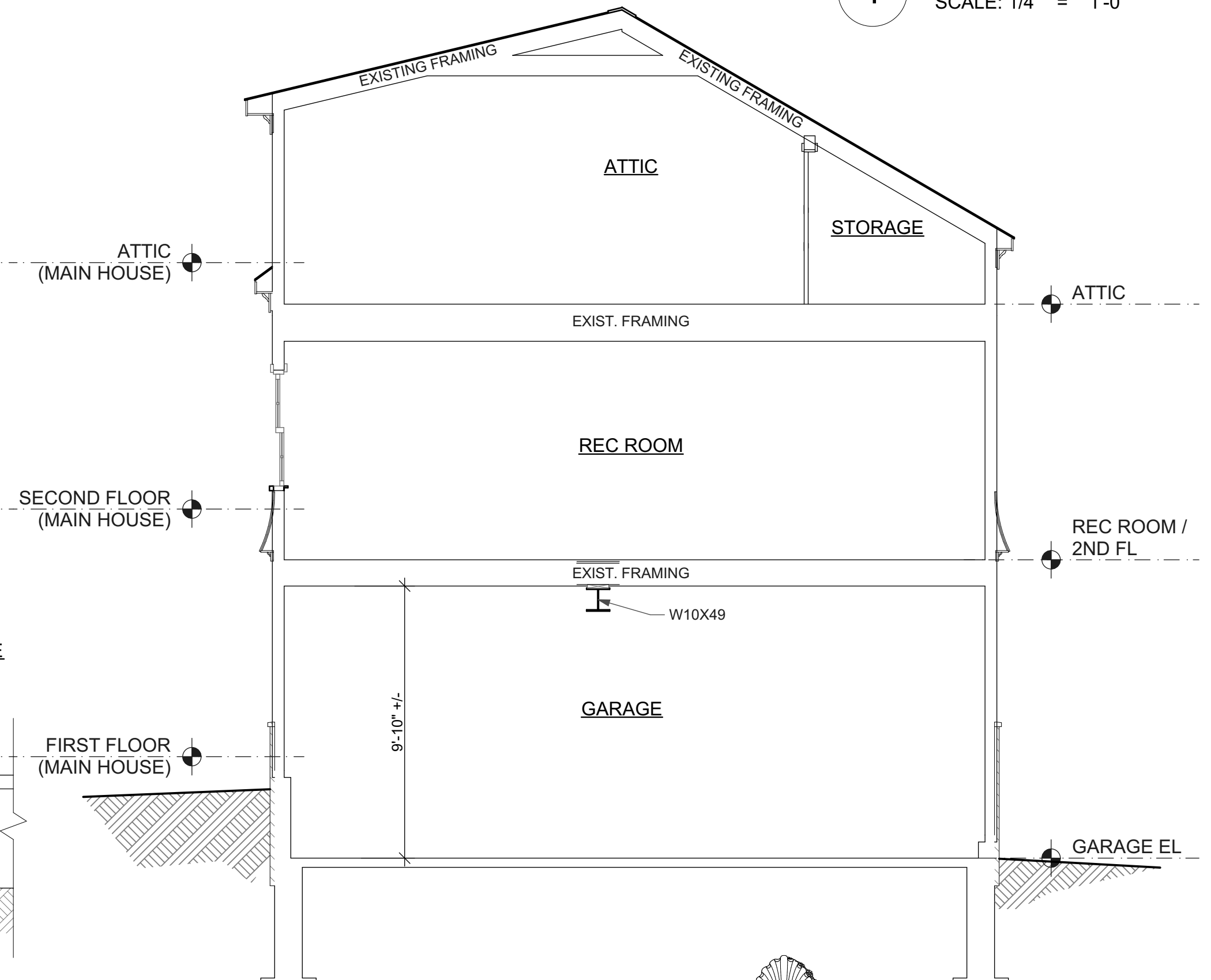
1 SECTION
SCALE: 1/4" = 1'-0"



5 SECTION
SCALE: 1/4" = 1'-0"



4 SECTION
SCALE: 1/4" = 1'-0"



3 SECTION
SCALE: 1/4" = 1'-0"



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