

TENANT DEMISING PLAN

3/32" = 1'-0"



SUBMITTALS/ REVISIONS

Brian Church Architecture 330 South Cedros Ave. Solana Beach, CA 92075 (858) 793-3437

Collective

BRIAN CHURCH

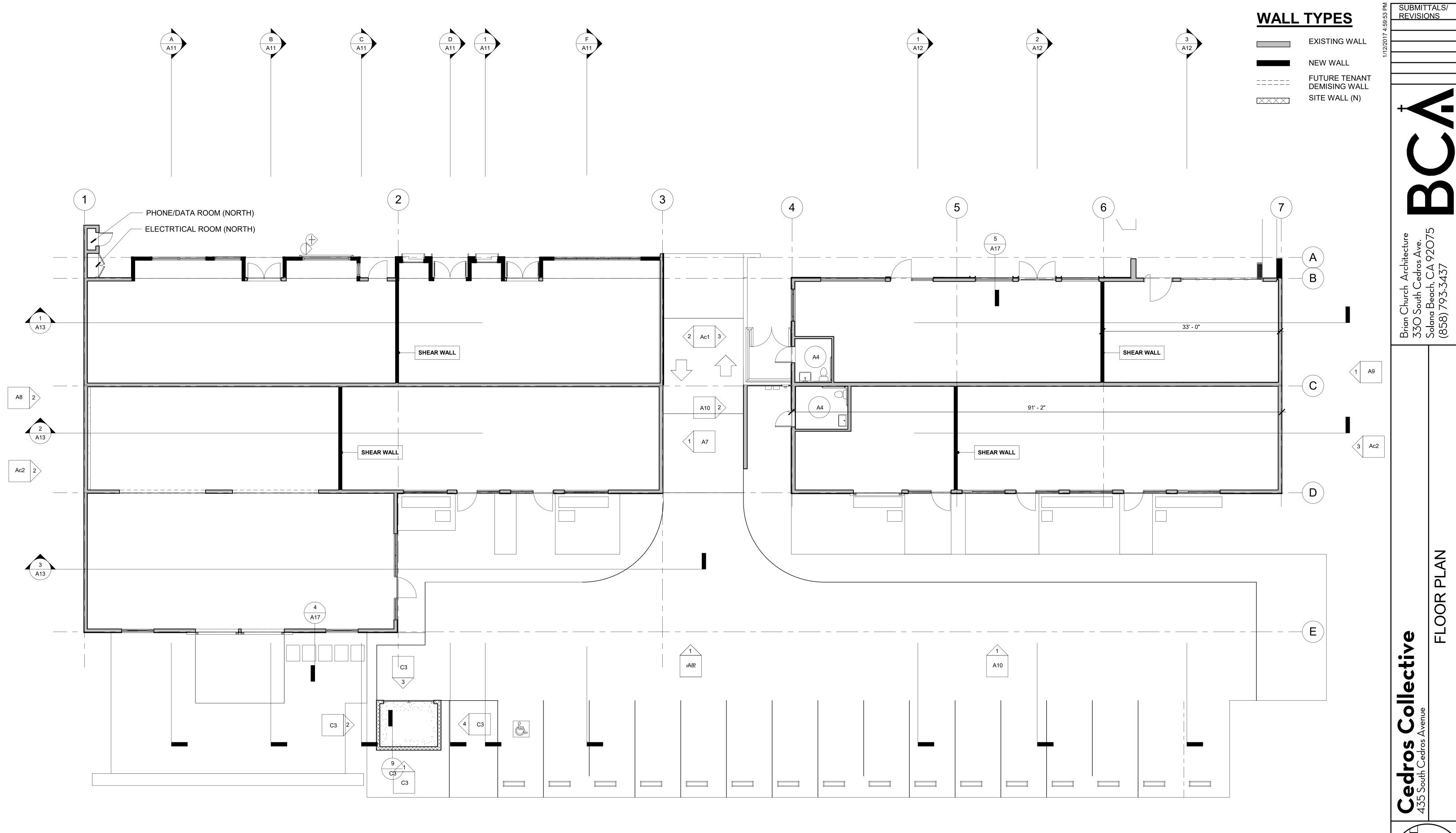
SCALE: As indicated

LEASE PLAN NOTES

- 1. DEMISING WALLS ARE PROJECTED. TENANT IMPROVEMENTS SHALL BE SUBMITTED UNDER SEPARATE PERMIT
- TENANT SIGNAGE SHOWN FOR REFERENCE ONLY. ACTUAL TENANT SIGNAGE WILL BE SUBNMITTED SEPAARATELY.
- 3. ALL TENANT AREAS ARE MEASURE TO OUTSIDE OF EXTERIOR WALLS AND TO CENTERLINE OF SHARED INTERIOR WALLS.

SUITE	LEVEL	BLDG	USE	AREA	% OF TOTAL	CORE	AREA (LOADED)	OUTDOOR AREA	TOTAL
101	STREET	NORTH	RETAIL	800	8%	15	815		815
102	STREET	NORTH	RETAIL	500	5%	9	509		509
103	STREET	NORTH	RETAIL	440	5%	8	448		448
104	STREET	NORTH	RETAIL	670	7%	13	683		683
201	STREET	SOUTH	RETAIL	490	5%	9	499		499
202	STREET	SOUTH	RETAIL	592	6%	11	603		603
204	STREET	SOUTH	CAFÉ	663	7%	12	675	600	1,275
301	PARKING	NORTH	OFFICE	614	6%	11	625	228	853
302	PARKING	NORTH	OFFICE	600	6%	11	611	243	854
304	PARKING	NORTH	OFFICE	2,492	26%	47	2,539	1,480	4,019
401	PARKING	SOUTH	OFFICE	534	6%	10	544	349	893
402	PARKING	SOUTH	OFFICE	607	6%	11	618	338	956
403	PARKING	SOUTH	OFFICE	618	6%	12	630	345	975
				9,620	100%	180	9,800	3,583	13,383
	ELECTRICAL DOOM	152							
١	ELECTRICAL ROOM	152							
s,C	RESTROOMS	28 180							





FLOOR PLAN

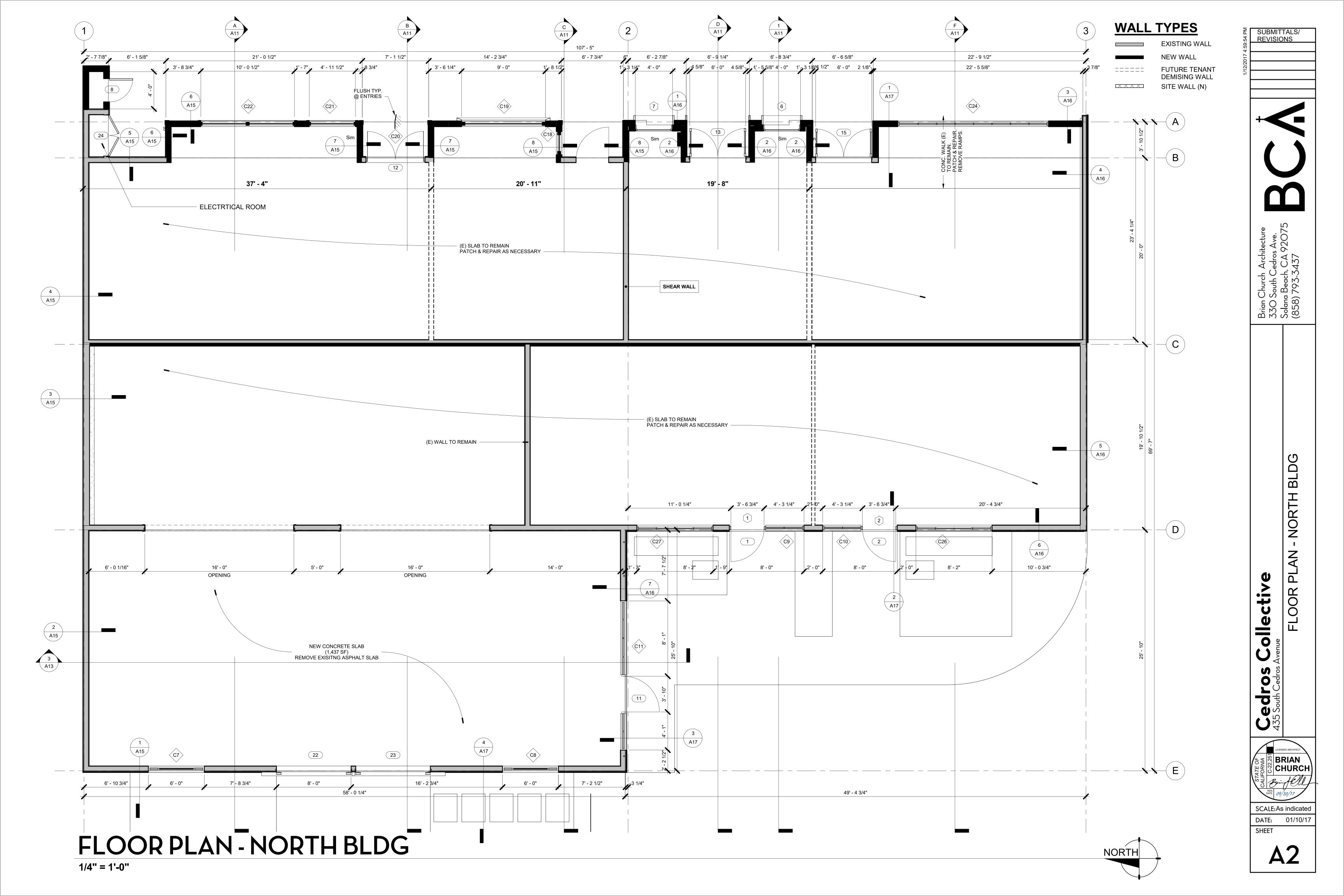
1/8" = 1'-0"

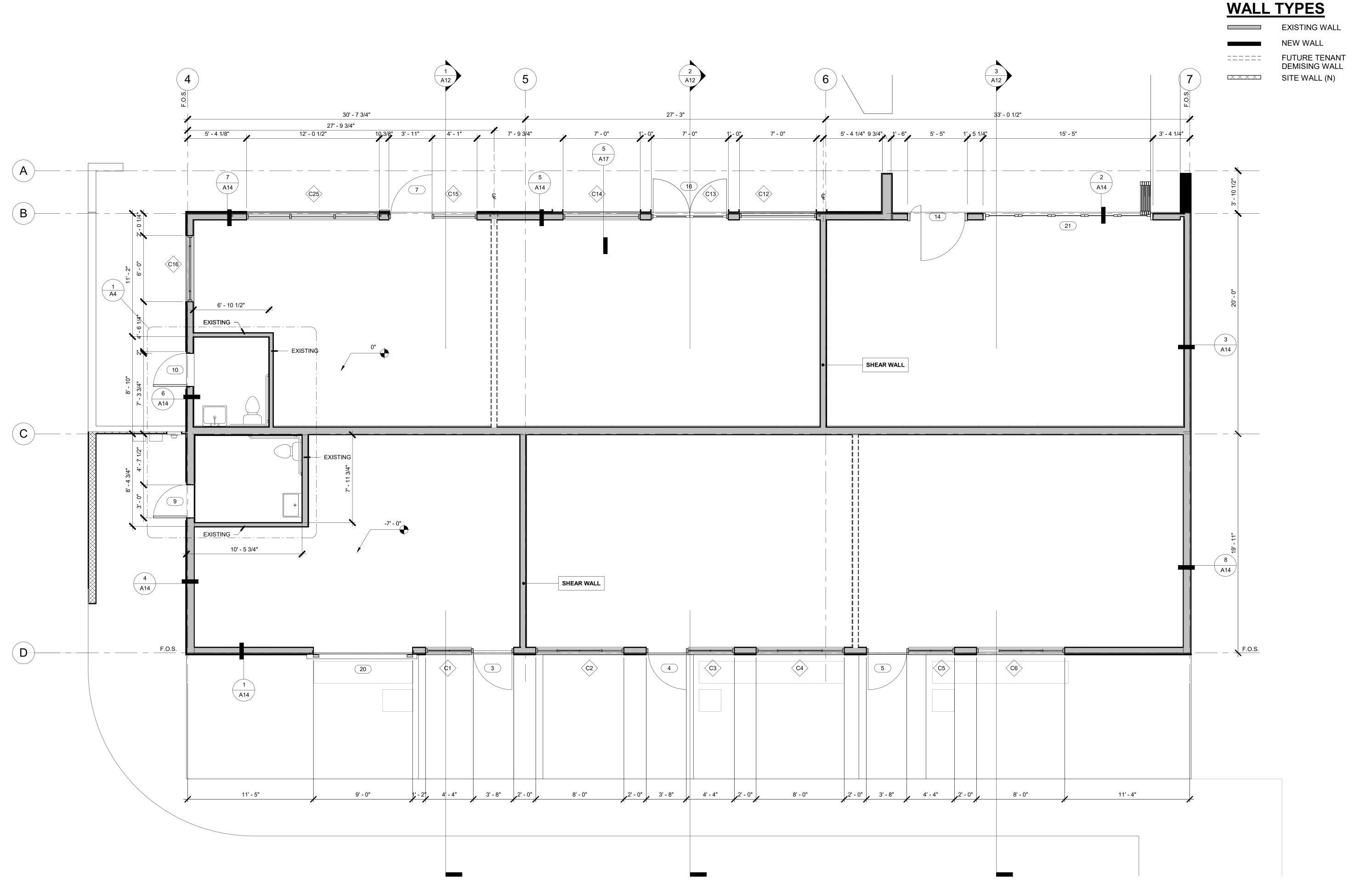
STATE OF CALIFORNIA C-22,251

SCALE: 1/8" = 1

DATE: 01/10

Al





FLOOR PLAN - SOUTH BLDG

1/4" = 1'-0"



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FIONS - COLOR

Sedros Avenue

LICENSED ARCHITECT

BRIAN

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CHURCH

Brian

CHURCH

O9/30/17

SCALE: 1/8" = 1'-0"

DATE: 01/10/17

SHEET

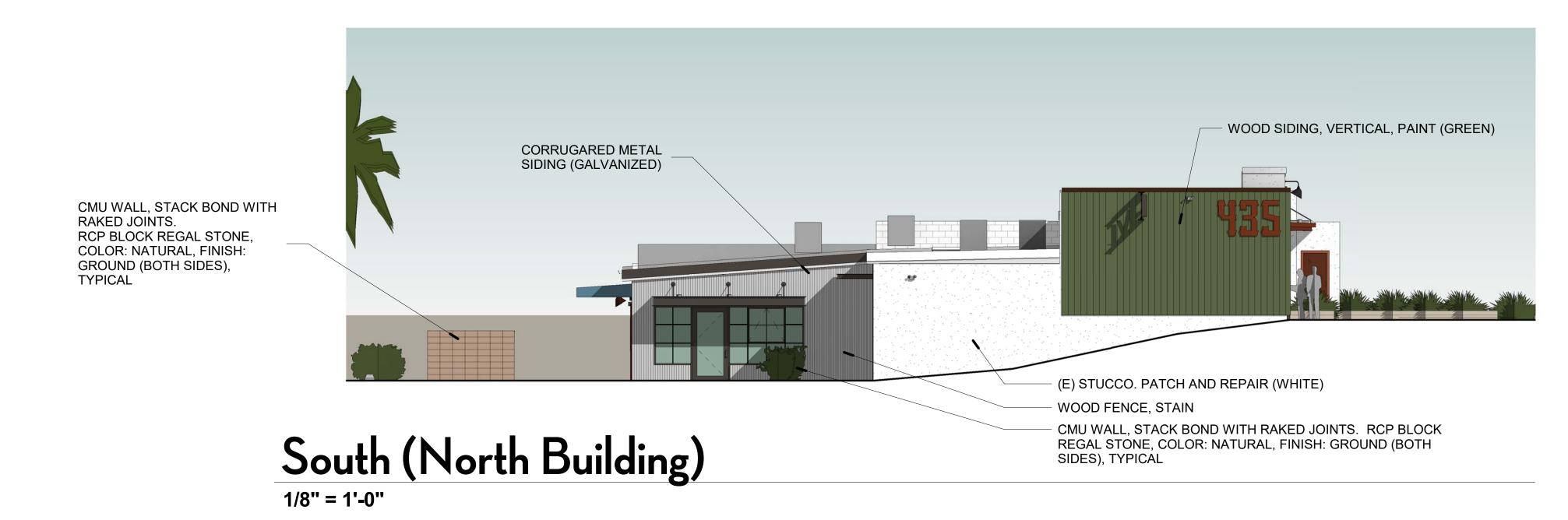
Acl

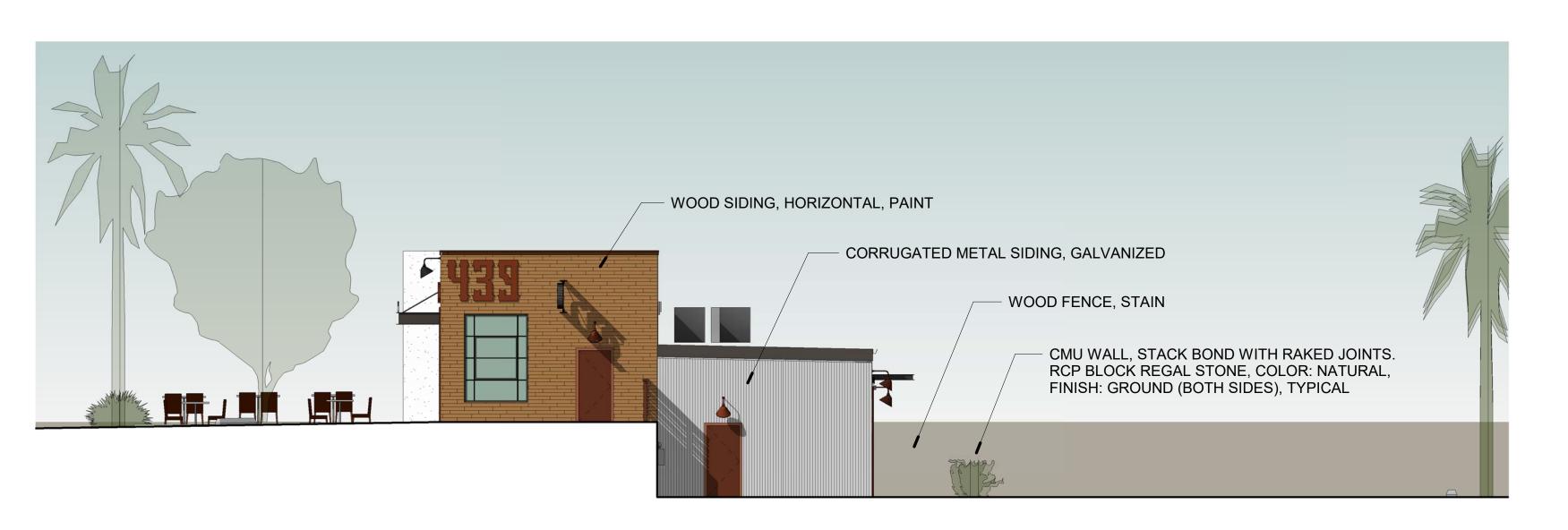
WOOD SIDING - VERTICAL (STAIN) STUCCO, SMOOTH, WHITE WOOD SIDING, HORIZONTAL, PAINT (BLUE GRAY) CORRUGATED - WOOD SIDING, VERTICAL, PAINT (GREEN) WOOD SIDING, HORIZONTAL, PAINT METAL SIDING -GALVANIZED STUCCO, SMOOTH , WHITE STUCCO, SMOOTH, WHITE CAFE SURF WEAR HOUSE Estrella GREEN THUMB COTTAGE INDUSTRY

Eas

1/8" = 1'-0"

NOTE: ALL SIGNAGE SHOWN FOR REFERENCE ONLY. A COMPREHENSIVE SIGN PLAN WILL BE SUBMITTED ALONG WITH PROJECT APPLICATION



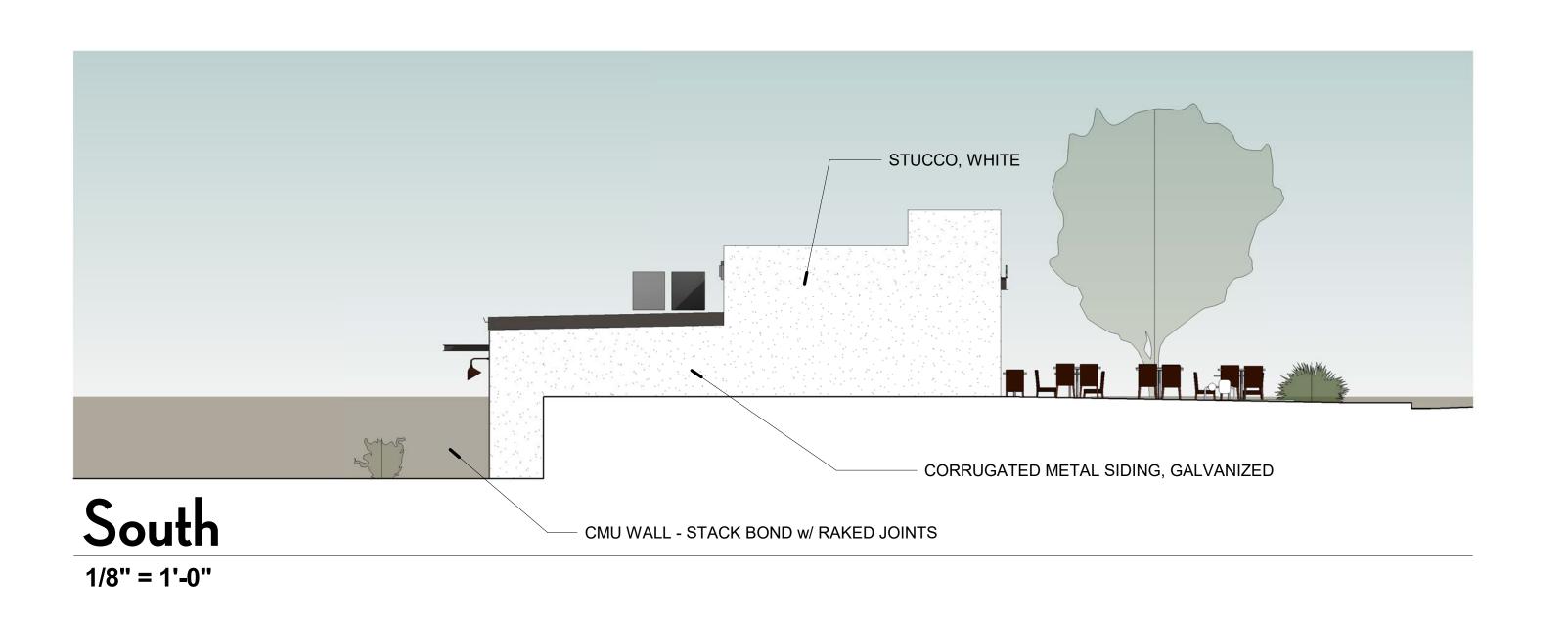


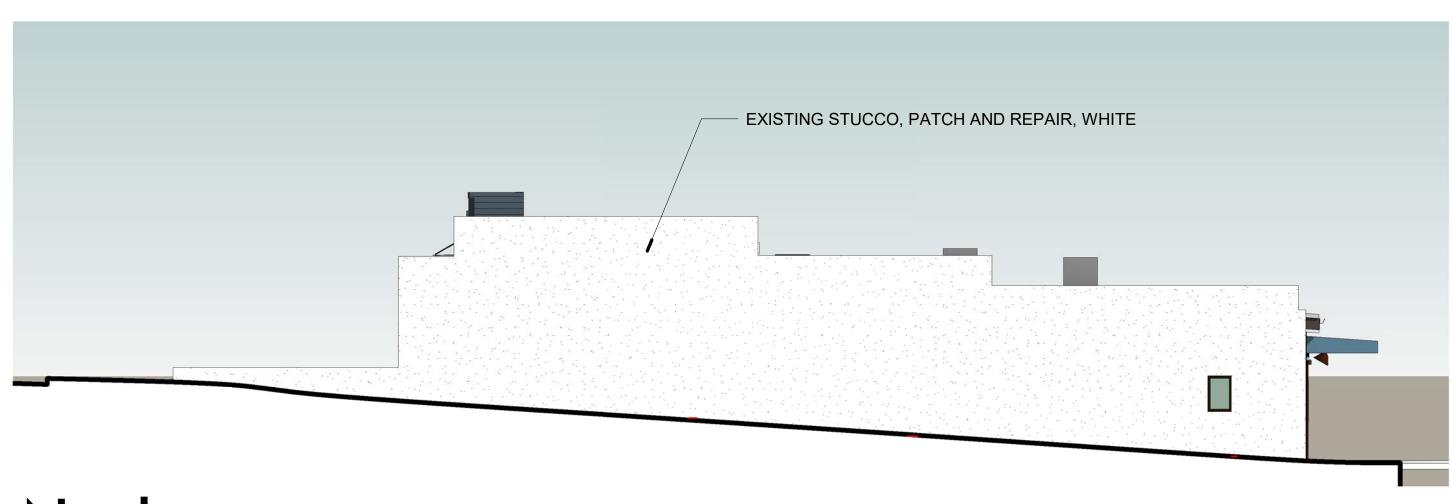
North (South Building)

1/8" = 1'-0"

West

1/8" = 1'-0"





North 1/8" = 1'-0"

Collective Cedros 435 South Cedros 4 LICENSED ARCHITECT

V. 127

BRIAN

CHURCH)

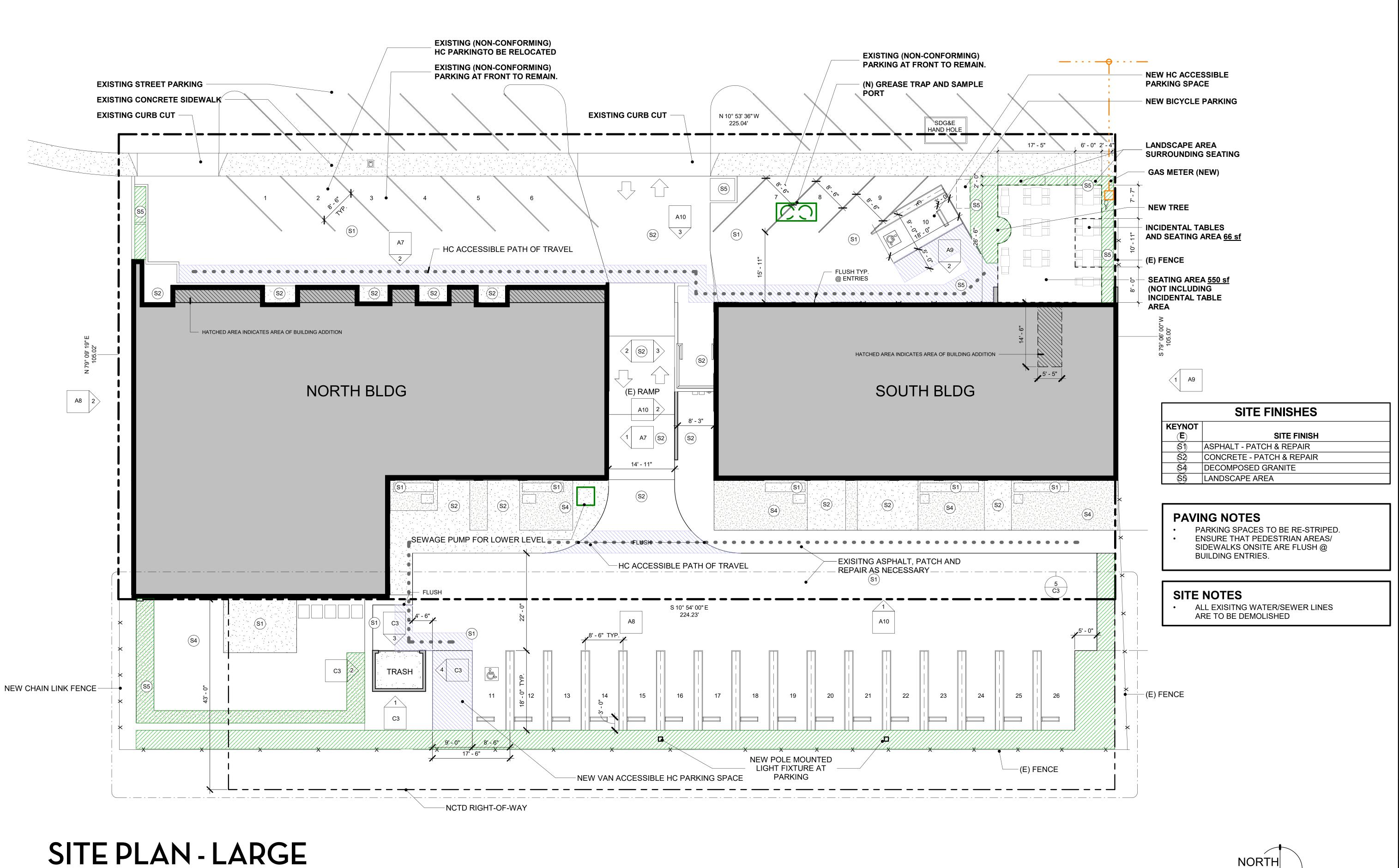
COLOR

ELEVATIONS

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SCALE: 1/8" = 1'-0" DATE: 01/10/17 SHEET

Ac2



1" = 10'-0"

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SCALE: 1" = 10'-0" DATE: 01/10/17 SHEET