

SNo.CC/PL/2017/1372

03-Jun-2017

To

Mrs. Neelam Sharma

R/o - Suruchi CGHS Ltd, Flat No.85, Plot No.31,
Sector-10,Dwarka,New Delhi-110075

Subject: Letter of physical possession of flat at "CHERRY COUNTY"

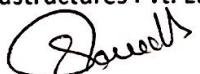
POSSESSION CERTIFICATE

Dear Madam/Sir,

We are pleased to inform you that on the fulfillment of the terms and conditions of the Agreement to Sell executed with you and on receiving full and final payment in respect of the flat purchased by you, we are hereby handing over to you the satisfactory physical possession of the flat, description of which are given hereunder:

Flat No. : '203
Tower No. : A-1
Floor : 2nd
Area : 1206 Sq. Ft.

For County Infrastructures Pvt. Ltd.



Authorised Signatory

ACKNOWLEDGEMENT

I/We Mrs. Neelam Sharma, W/o Shri Mahesh Kumar Gautam R/o Suruchi CGHS Ltd,Flat No.85, Plot No.31,Sector-10,Dwarka,New Delhi-110075,do hereby declare that I/we have received satisfactory physical possession of the Flat No. '203 Tower No. A-1 in "CHERRY COUNTY" on 2nd Floor at GH-5B, Techzone-IV, Greater Noida (West) Uttar Pradesh from M/s County Infrastructures Pvt. Ltd. We do hereby further declare that we have no claim of any nature whatsoever in respect of the said flat from M/s County Infrastructures Pvt. Ltd.

(Applicant/s) Neelam Sharma

COUNTY INFRASTRUCTURES PVT. LTD.

Corp. Office

A-39, Sector-63, Noida - 201301 | Tel.: +91-120-4237000

Regd. Office

36, Pushpanjali Enclave, Vikas Marg, Delhi-110092

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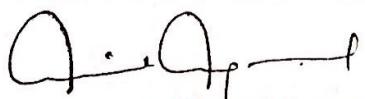
उत्तर प्रदेश UTTAR PRADESH

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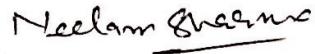
ALLOTMENT LETTER

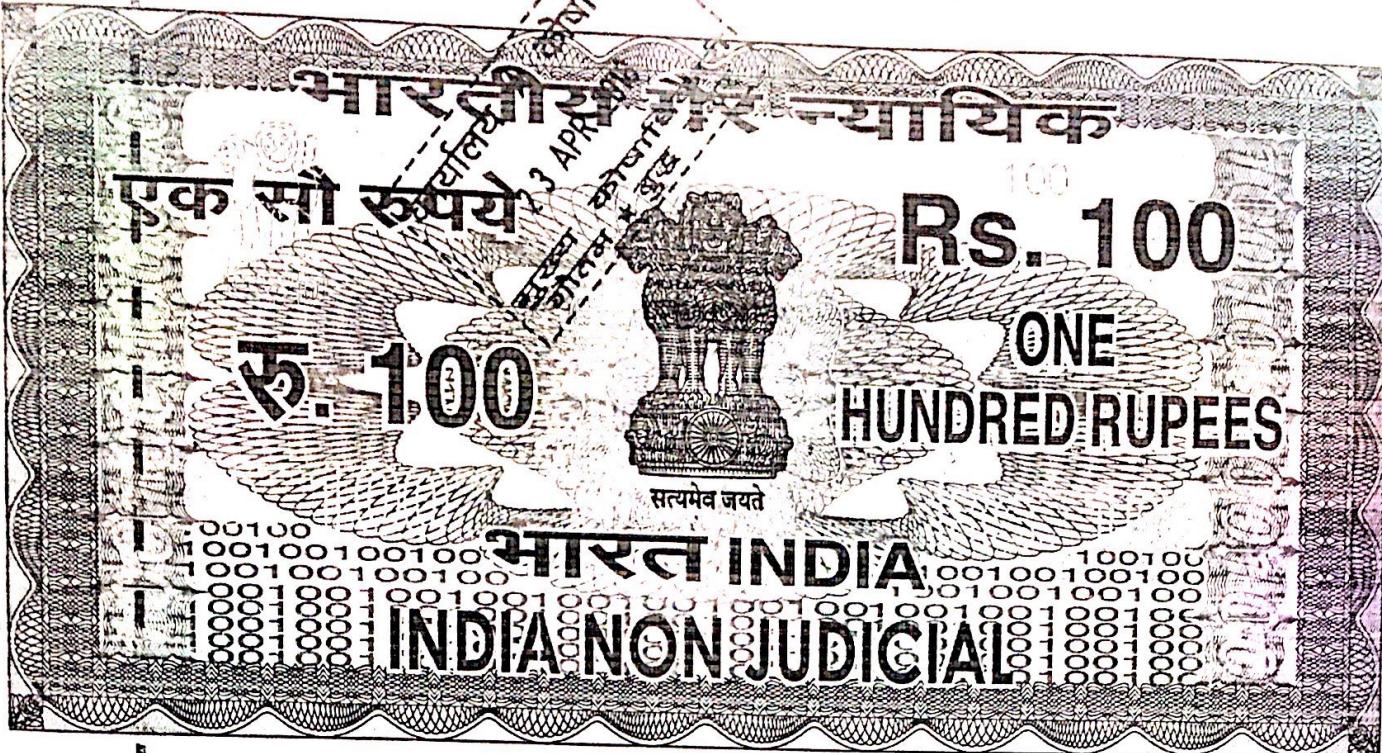
This allotment held on 22nd day of March'2011 by M/s. County Infrastructures Pvt. Ltd, a company incorporated under the provisions of the Companies Act, 1956, having its registered office at 36, Pushpanjali Enclave, Vikas Marg, Delhi-110092 (First Party) and to Mrs. Neelam Sharma W/o Shri Mahesh Kumar Gautam R/o: C-111/4, Solanki Chowk, Sadh Nagar-II, Palam Colony, New Delhi 110045 (Second Party) for Flat No: 203 Block No.A-01 on 2nd Floor in the project CHERRY COUNTY, GH-5B, Techzone-IV, Greater Noida (UP).

For County Infrastructures Pvt. Ltd.


Authorised Signatory

COMPANY


Neelam Sharma
ALLOTEE/S



उत्तर प्रदेश UTTAR PRADESH

EE 628412

AGREEMENT TO SELL

This agreement to sell made and signed at Greater Noida West on 27/04/2018
Between

Mrs. Neelam Sharma & Mr. Mahesh Kumar Gautam R/O – Suruchi CGHS Ltd ,Flat No 85 , Plot No 31 , Sector 10 , Dwarka , New Delhi 110075 the first party herein after called the VENDOR.

AND

Mr. Ravi Chand S/o Mr. Nain Chand & Mrs Dixa Chand W/o Mr. Ravi Chand R/o – Bilheeri (Chakarpur) , Udhampur Singh Nagar , Uttarakhand 262308 of the second party, Herein after called the VENDEE.(This expression and word of the vendor and vendee shall mean and include their legal heirs, successors, assigns, nominees, executors, administrators and legal representatives, respectively)

WHEREAS the VENDOR is lawful OWNER OF Tower No – A1, Flat No 203 on 2 nd floor in the Project Cherry County, G H-5B, Teach Zone-4, Greater Noida (West) hereinafter called the PROPERTY.

Neelam Sharma

Ravi Chand
Xxx

रोम स ४० स्टाम्प विक्रय का सिल 26/04/18

स्टाम्प क्रय करने का प्रयोजन

स्टाम्प क्रेता का नाम व पूरा प्रता

स्टाम्प की धन राशि

मनोज·कुमार खन्ना स्टाम्प विक्रेता

लो ० नं० ६१ लाल अवधि ३१-०३-२०१९

संपन्निवाधक कार्यालय मस्सर ग्रेटर नोर्ड

रक्षितन्त्र ५/० नं० ८०६

ला. ६१ ३००१२१८१५

WHEREAS the Vendor has agreed to sell the property Tower No - A1, Flat No 203
on 2nd floor in the Project Cherry County G H-5B, Teach Zone-4, Greater Noida
(West) and measuring 1206 sqft (approx.) in favour of the Vendee and Vendee has
agreed to purchase the same property.

NOW THIS AGREEMENT TO SELL WITNESSED AS UNDER :-

1. That the total sale consideration of the said residential flat has been settled at **Rs. 51,81,000/- (Rupees Fifty One Lakh Eighty One Thousand Only)** between both parties.
2. That the Vendor aforesaid has received a sum of **Rs 6,41,000/- (Rupees Six Lacs Fourty One Thousand Only)**
 - a. Amount -**1,00,000/- Cheque No -217695, Drawn on ICICI Bank, Dated 22/04/2018**
 - b. Amount -**5,00,000/- Cheque/RTGS No ICICR 12018042700473282, Drawn on ICICI Bank , Dated 27/04/2018**
 - c. Amount -**20,000/-, Cheque/RTGS/IMPS No -811621314706 , Drawn on ICICI, Dated 26/04/2018**
 - d. Amount -**21,000/- Cash** from the Vendee as earnest money, the receipt of which the Vendor hereby acknowledges.
3. That the remaining balance amount of **Rs 45,40,000/- (Rupees Fourty Five Lacs Fourty Thousand Only)** will be paid by Vendee to the Vendor within 50 days.
4. That the Vendor has assured the Vendee that the said property is free from all sorts of encumbrances such as sale, gift, mortgage, lien, pledge, dispute, injunction, litigation and decree of any Court of Law, and if proved otherwise, the Vendor shall be liable and responsible for the same and Vendee shall have the right to recover the entire amount with cost and expenses from the movable and immovable properties of the Vendor.
5. That the Vendor shall be liable to pay all outstanding dues and demands in respect of the said property till the date of handing over actual, physical and vacant possession of the said property and thereafter all future dues shall be payable by the Vendee.

Neelam Sharma

Ram Singh
SVA

6. That the Vendor shall handover the vacant, actual and peaceful possession of said property along with all the original documents to the Vendee at the time of execution of Builder transfer/ Sale Deed/Transfer Deed/ Sub -Lease Deed.

7. The Vendor shall execute and register the Sub Lease Deed /Transfer deed /Sale Deed & NOC from the builder in favor of the Vendee or their nominee as the Vendee may require, on receipt of the balance sale consideration.

8. That the expenses for the cost of stamp duty for execution of sublease deed /transfer deed, registration fee and other legal Expenses (transfer memorandum) shall be borne by the vendee.

9. That the vendee shall have the right to get the sub lease deed / transfer deed /sale deed of said property executed in his/her favour or their nominee(s) for which the vendor has got no objection.

10. That in case the Vendor violates the terms and conditions of this agreement to sell, then the Vendee can get the said transaction enforced through court of law by specific performance after depositing the balance amount at the risk, cost and expenses of the Vendor.

11. That in case the vendee violates the terms & conditions of this agreement to sell and not willing to get the Builder Transfer executed in his/her/ their name, execute sublease deed /transfer deed/ sale deed within stipulated time as stated above from the date of this agreement, the Vendor will forfeit amount of the earnest money and this agreement will stand as cancelled.

12. If the Vendor fails to get the Builder Transfer / sale deed executed of said property in name of vendee or his/her/ their nominee, or execute sublease deed /transfer deed/ sale deed, the Vendor shall be bound to pay the 10 % amount of the earnest money to vendee.

13. Each party have agreed to pay 1% Service charges (commission) of the total sales consideration value to Nexus Homz.

IN WITNESS WHEREOF, Both the parties have signed this AGREEMENT TO SELL, AT Greater Noida West on the 27 April 2018 above mentioned in the presence of the following witnesses.

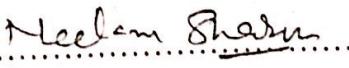
WITNESS

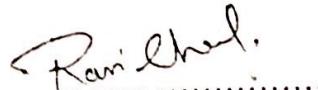
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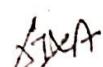

NEXUS HOMES
Cherry County (N. Extn.)
Greater Noida (West)
201301

Vendor

Vendee


Neelam Sharma


Rani Chaudhary


Sita

विद्या | अग्रिम विमान | २०१४-१५

"भारतपुरी"

दिनांक - २५/०४/२०१४

श्रीमती नीति म शर्मा

C.I.I./4

ओष्ठे नगर क, पालस

नयी दिल्ली - ११००४५

विषय - आपके आवासीय गृहण विद्या अंडेय। ७७८४४६७९४३ के अंदेय
प्रमाण पत्र के विषय में।

उपरोक्त विषयान्तर्गत लेखन है कि विद्या भारतपुरी ने आपको दिनांक
२६/४/२०१३ को १५,००,०००/- की शर्ही का आवासीय गृहण करवाया
किया था। यह गृहण दिनांक को आपके हाथ परिक्रमा किंतु ०५/०४/२०१४
ले Discharge कर दिया गया है। उपरोक्त गृहण में कोई राशि
देय नहीं है।



पता :

Address :

दूरभाष :

Tel. Nos. :

ई मेल :

e mail :

फैक्स :

Fax :

To,

M/s County Infrastructure Pvt. Ltd.
A-39, Sec- 63, Noida
U.P.

SUBJECT: - NOC FOR RESALE OF FLAT NO Tower No -A1, Flat No 203 IN PROJECT CHERRY COUNTY

Sir,
Kindly Provide the NOC of resale / transfer of Unit No 203 , Tower A1 , (1206 sqft) in project Cherry County Situated at GH-5B, Techzone-4, Greater Noida(west) UP. Sublease Deed executed dated
The transferees agree and undertake to abide all the terms and conditions of the agreement executed/understanding made between transferor and M/s County Infrastructure Pvt Ltd.

SELLER'S	BUYER'S
APPLICANT : Mrs. Neelam Sharma	APPLICANT : Mr. Ravi Chand
W/o Mr. Mahesh Kumar Gautam	S/o Mr. Nain Chand
PAN No. AY0PS 6883H	PAN No. ALTPC3382M
ADDRESS : Suruchi CGHS ltd ,Flat No 85 , Plot No 31 , Sector 10 , Dwarka , New Delhi 110075	ADDRESS : Bilheeri (Chakarpur) , Udhampur Nagar , Uttarakhand 262308
PHONE NO : 9212503361	PHONE NO : 9654761192
MOBILE NO : 9013851561	MOBILE NO :
Signature: <u>Neelam Sharma</u>	Signature: <u>Ravi Chand</u>
Co-APPLICANT:	Co-APPLICANT: Mrs Dixa Chand
S/o,W/o,D/o	W/o : Mr. Ravi Chand
PAN No.	PAN No. CB0PP 8433R
ADDRESS :	ADDRESS : Bilheeri (Chakarpur) , Udhampur Nagar , Uttarakhand 262308
PHONE NO.:	PHONE NO.:
MOBILE NO.:	MOBILE NO.:
Signature:	Signature: