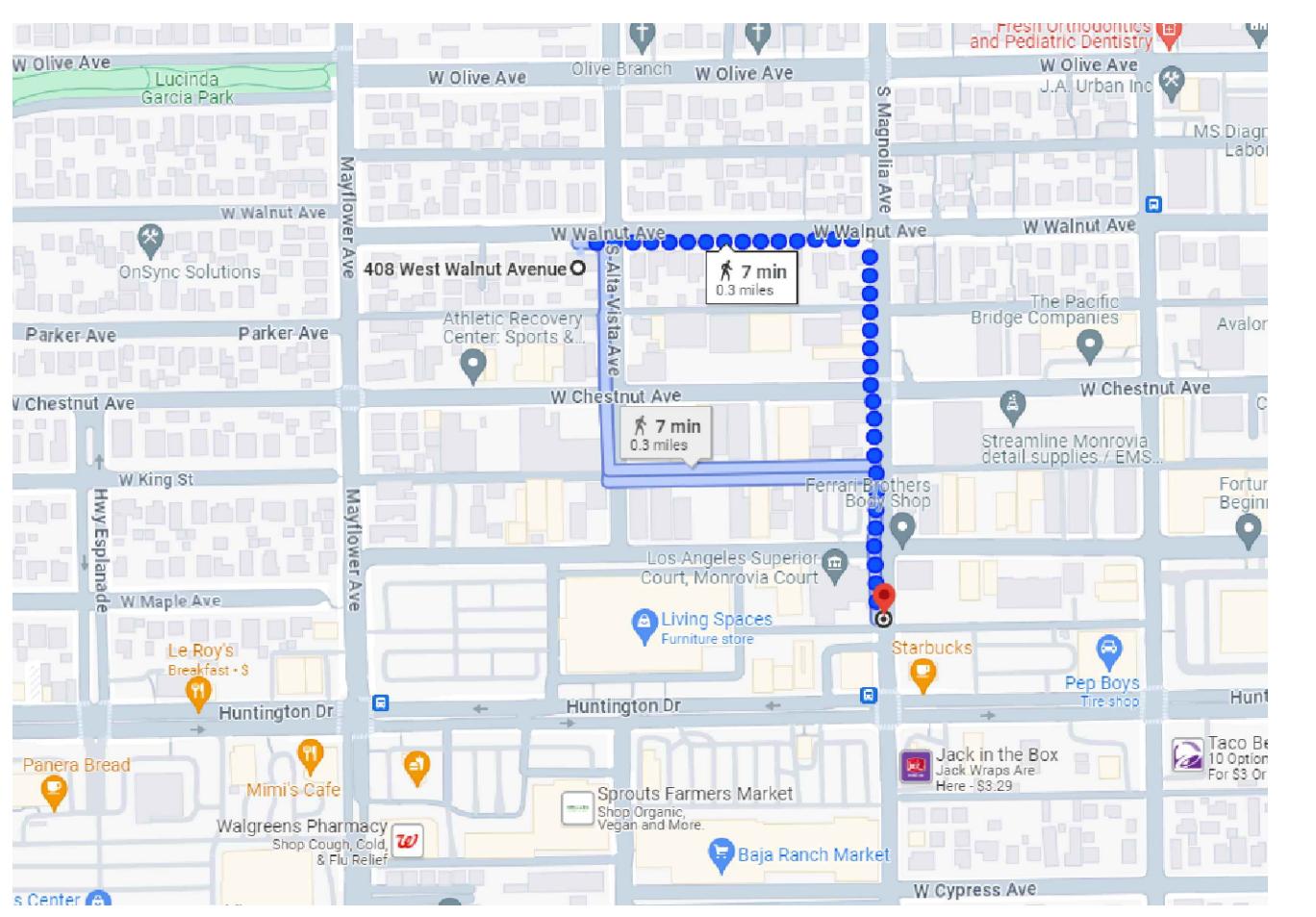
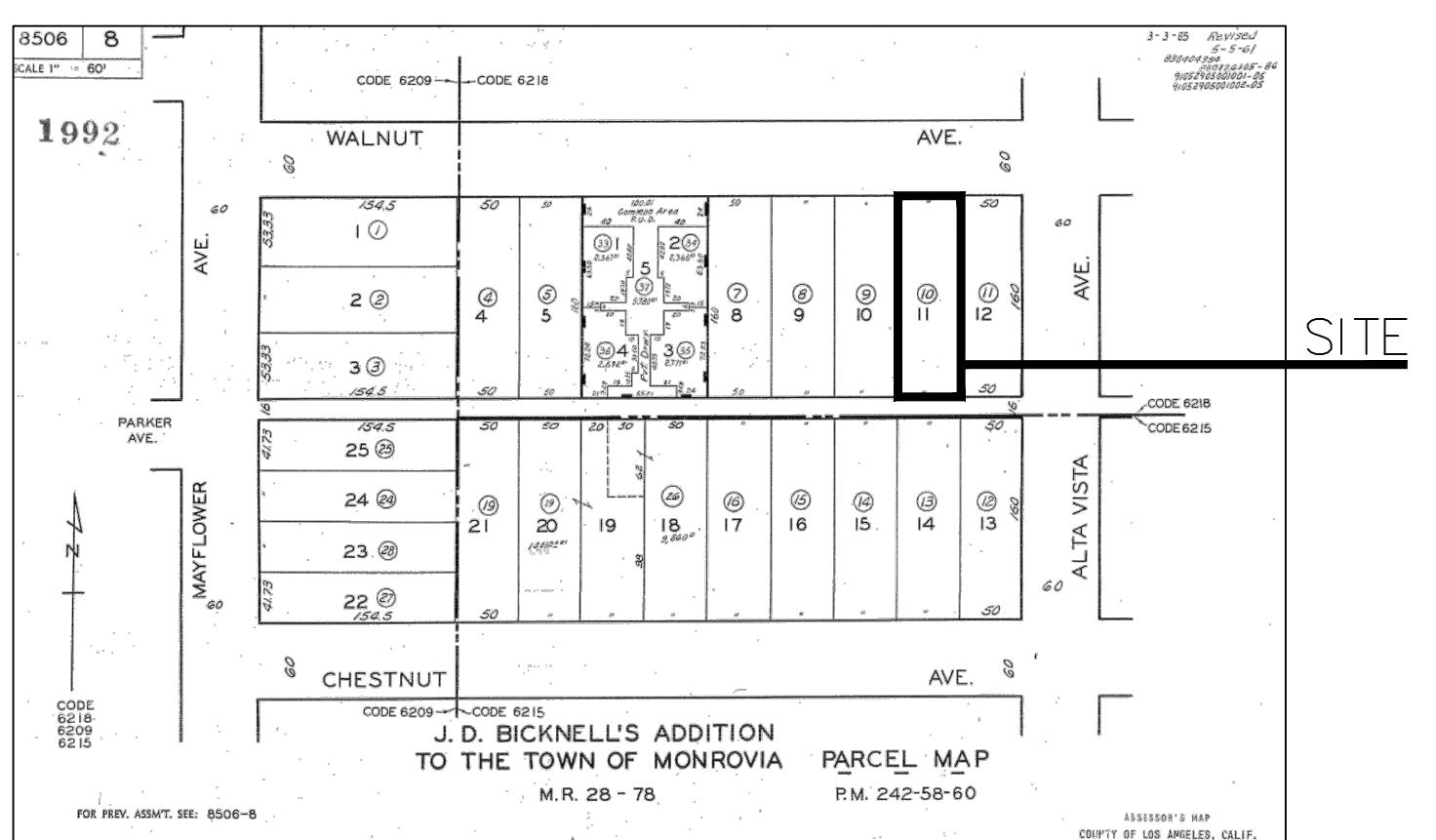


408 W WALNUT AVE MONROVIA CA 91016 DETACHED ADU



0.3 MILES FROM THE NEAREST BUS STOP

APPLICABLE CODES:
2022 CALIFORNIA BUILDING CODE, VOLUMES 1 & 2.
2022 CALIFORNIA RESIDENTIAL CODE (TITLE 24, PART 2.5)
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
2022 CALIFORNIA EXISTING BUILDING CODE

NOTE:
ADU SHALL HAVE A PHOTOVOLTAIC (PV) SYSTEM.
PV SYSTEM TO BE DEFERRED APPROVAL.

RESIDENTIAL PLAN GENERAL NOTES REQUIREMENTS

SECURITY REQUIREMENTS

1. EXTERIOR DOORS, DOORS BETWEEN A HOUSE AND A GARAGE, WINDOWS AND THEIR HARDWARE SHALL CONFORM TO THE SECURITY PROVISIONS OF CHAPTER 67 OF THE COUNTY OF LOS ANGELES BUILDING CODE:
A. SINGLE SWINGING DOORS, ACTIVE LEAF OF A PAIR OF DOORS, AND THE BOTTOM LEAF OF DUTCH DOORS SHALL BE EQUIPPED WITH A LATCH AND A DEADBOLT; IF THE LATCH HAS A KEY-LOCKING FEATURE, A DEAD LATCH SHALL BE USED. THE DEADBOLT LOCK SHALL BE KEY OPERATED FROM THE EXTERIOR SIDE OF THE DOOR, AND OPERATED FROM THE INTERIOR SIDE OF THE DOOR BY A THROWN KEY, TOOL, OR EXCESSIVE FORCE. DEADBOLTS SHALL HAVE A HARDENED INSERT WITH 1" MINIMUM THROW AND 5/8" MINIMUM EMBEDMENT INTO THE JAMB. (BC 6709.2)
B. INACTIVE LEAF OF A PAIR OF DOORS AND THE UPPER LEAF OF DUTCH DOORS SHALL HAVE A DEADBOLT AS PER PARAGRAPH "A", UNLESS IT IS KEY OPERATED FROM THE EXTERIOR, OR HAS A HARDENED DEADBOLT AT TOP AND BOTTOM WITH 7/8" EMBEDMENT. (BC 6709.3)
C. SWINGING WOOD DOORS SHALL BE SOLID CORE NOT LESS THAN 1-1/8" THICK. (BC 6709.1)
D. PANELS OF WOOD DOORS SHALL BE 9/16" THICK AND NOT MORE THAN 300 SQ. INCHES. STILES AND RAILS TO BE 1-3/8" THICK AND 3" MINIMUM WIDTH. (BC 6709.1.2)
E. DOOR HINGE PINS ACCESSIBLE FROM THE OUTSIDE SHALL BE NON-REMOVABLE. (BC 6709.5)
F. DOOR STOPS OF WOOD JAMBS OF IN-SWINGING DOORS SHALL BE ONE PIECE CONSTRUCTION OR JOINED BY A RABBET. (BC 6709.4)
G. WINDOWS AND DOOR LIGHTS WITHIN 40" OF THE LOCKING DEVICE OF THE DOOR SHALL BE FULLY TEMPERED/APPROVED BURGLARY RESISTANT/PROTECTED BY BARS, SCREENS OR GRILLS. (BC 6714)
H. OVERHEAD AND SLIDING GARAGE DOORS SHALL BE SECURED WITH A CYLINDER LOCK, A PADLOCK WITH A HARDEDGE STEEL SHACKLE, OR EQUIVALENT WHEN NOT OTHERWISE LOCKED BY ELECTRIC POWER OPERATION. JAMB LOCKS SHALL BE ON BOTH JAMBS FOR DOORS EXCEEDING 9 FEET IN WIDTH (BC 6711)
I. SLIDING GLASS DOORS AND SLIDING GLASS WINDOWS SHALL BE CAPABLE OF WITHSTANDING THE TESTS SET FORTH IN SECTION 6706 AND 6707 OF THE LOS ANGELES COUNTY BUILDING CODE AND SHALL BEAR A LABEL INDICATING COMPLIANCE WITH THESE TESTS. LOCAL DEVICES ON SLIDING GLASS DOORS COMPATIBLE WITH SECTION 1010 AND 1030, AND EMERGENCY EGRESS WINDOWS COMPLYING WITH SECTION 1030, SHALL BE RELEASEABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, OR EXCESSIVE FORCE. (BC 6710, 6715)

CONSTRUCTION REQUIREMENTS

2. NOTCHING OF STUDS IN EXTERIOR OR BEARING WALLS SHALL NOT EXCEED 25% OF ITS WIDTH; NOTCHING OF STUDS IN NONBEARING WALLS SHALL NOT EXCEED 60% OF ITS WIDTH, SHALL NOT BE CLOSER THAN 5/8" TO THE EDGE OF THE STUD, AND SHALL NOT BE LOCATED IN THE SAME SECTION AS A CUT OR NOTCH STUDS LOCATED IN EXTERIOR OR BEARING WALLS SHALL BE DOUBLED IF BORED OVER 40% AND UP TO 60% OF ITS WIDTH. (R 602.6)
3. WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200, AND ASMOKE-DEVELOPED INDEX NOT GREATER THAN 450. INSULATION MATERIALS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25, AND A SMOKE-DEVELOPED INDEX NOT TO EXCEED 450.

4. PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF COMBUSTIBLE WOOD PARTITIONS, PARTITIONS INCLUDING FURRED SPACES, AT THE CEILUM AND FLOOR LEVEL AT 10'-0" INTERVALS BOTH VERTICAL AND HORIZONTAL, AND BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM. (R 302.11)
5. DUCTS INSTALLED UNDER A FLOOR IN A CRAWL SPACE SHALL NOT PREVENT ACCESS TO AN AREA OF THE CRAWL SPACE. WHERE IT IS REQUIRED TO UNDER DUCTS FOR ACCESS TO AREAS OF THE CRAWL SPACE, A VERTICAL CLEARANCE OF 18" MINIMUM SHALL BE PROVIDED. (MC 603.1)
6. WHERE FLASHING IS OF METAL, THE METAL SHALL BE CORROSION RESISTANT WITH A THICKNESS OF NOT LESS THAN .019 INCH (NO. 26 GALVANIZED SHEET). (R 903.1)
7. ROOF DIAPHRAGM NAILIN TO BE INSPECTED BEFORE COVERING. WOOD STRUCTURAL PANEL SHEATHING SHALL COMPLY WITH SECTION R803.2. (R 803)
8. END JOINTS IN LUMBER USED AS SUBFLOORING SHALL OCCUR OVER SUPPORTS, UNLESS END-MATCHED LUMBER IS USED, IN WHICH CASE EACH PIECE SHALL BEAR ON NOT LESS THAN TWO JOISTS. WOOD STRUCTURAL PANEL SHEATHING USED FOR STRUCTURAL PURPOSES SHALL COMPLY WITH SECTION R503.2. (R 503)

9. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS REQUIRING SAFETY GLAZING PER SECTION R308:
A. GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BI-FOLD DOORS.
B. GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE AND IT MEETS EITHER OF THE FOLLOWING CONDITIONS:
1. WHERE THE GLAZING IS WITHIN 24 INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION.
2. WHERE THE GLAZING IS ON A WAIL PERPENDICULAR TO THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE HINGE SIDE ON AN IN-SWINGING DOOR.
C. WINDOW GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
1. THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET.
2. THE BOTTOM EDGE IS LESS THAN 18 INCHES ABOVE THE FLOOR.
3. THE TOP EDGE IS MORE THAN 36 INCHES ABOVE THE FLOOR.
4. ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, FROM THE GLAZING.
D. GLAZING IN GUARDS, BALCONIES, STRUCTURAL BALUSTER PANELS, AND INSTRUMENTAL IN-FILL PANELS, REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE.
E. GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAunas, STEAM ROOMS, BATHROOMS, SHOWERS, AND INDOOR OR OUTDOOR SWIMMING POOLS, WHERE ALL OF THE FOLLOWING CONDITIONS ARE PRESENT:
1. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE ANY STANDING OR WALKING SURFACE.
2. THE GLAZING IS WITHIN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, FROM THE WATER'S EDGE OF A HOT TUB, SPA, WHIRLPOOL, BATHTUB, OR SWIMMING POOL, OR FROM THE EDGE OF A SHOWER, SAUNA OR STEAM ROOM.
F. GLAZING ADJACENT TO STAIRS AND RAMPS WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS, AND RAMPS, UNLESS THE GLAZING IS 36 INCHES OR MORE MEASURED HORIZONTALLY FROM THE WALKING SURFACE, OR A RAIL IS DESIGNED PER SECTION R308.4.6.
G. GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN A 60-INCH HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING, UNLESS THE GLAZING IS MORE THAN 18 INCHES FROM A PROTECTIVE GUARD PER SECTION R312.

10. DWELLING SHALL BE PROVIDED WITH COMFORT HEATING FACILITIES CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF 68 DEGREES F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS. (R303.9)
11. THE FOLLOWING ARE REQUIRED FOR CENTRAL HEATING FURNACES AND LOW-PRESSURE BOILERS IN A COMPARTMENT:
A. LISTED APPLIANCES SHALL BE INSTALLED WITH CLEARANCES IN ACCORDANCE WITH THE TERMS OF THEIR LISTINGS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
MC 904.2(1)
B. UNLISTED APPLIANCES SHALL MEET BOTH THE CLEARANCES IN SECTION 904.2, AND THE CLEARANCES ALLOWED BY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
MC 904.2(2)
C. WHEN COMBUSTION AIR IS TAKEN FROM INSIDE, THE FREE AREA OF COMBUSTION AIR OPENINGS SHALL BE 1 SQ. INCH PER 1,000 BTU (100 SQ. INCH MINIMUM) PER OPENING.
D. OPENING SHALL BE TRAPPED TO THE WALL IN TWO PLACES, ONE ON THE UPPER 1/3 OF THE TANK, AND ONE ON THE LOWER 1/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4 INCHES ABOVE THE CONTROLS. (PC 507.2)

12. FLUSH VOLUMES OF PLUMBING FIXTURES AND FLOW RATES OF PLUMBING FITTINGS SHALL COMPLY WITH SECTION 4.303 OF THE MECHANICAL/PLUMBING/ELECTRICAL CODE REQUIREMENTS
13. APPLIANCES (WATER HEATER, FURNACE, ETC.) LOCATED IN THE GARAGE SHALL BE INSTALLED SO THAT BURNERS AND BURNERIGATION DEVICES ARE LOCATED NOT LESS THAN 18 INCHES ABOVE THE FLOOR, UNLESS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. (MC 305.1)
14. DUCTS SHALL BE SIZED PER CHAPTER 6 OF THE MECHANICAL CODE.
15. APPLIANCES (WATER HEATER, FURNACE, ETC.) LOCATED IN THE GARAGE SHALL BE INSTALLED SO THAT BURNERS AND BURNERIGATION DEVICES ARE LOCATED NOT LESS THAN 18 INCHES ABOVE THE FLOOR, UNLESS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. (MC 305.1)
16. DUCTS SHALL BE SIZED PER CHAPTER 6 OF THE MECHANICAL CODE.
17. FLUSH VOLUMES OF PLUMBING FIXTURES AND FLOW RATES OF PLUMBING FITTINGS SHALL COMPLY WITH SECTION 4.303 OF THE MECHANICAL/PLUMBING/ELECTRICAL CODE REQUIREMENTS
18. ABS AND PVC DWV PIPE INSTALLATIONS ARE LIMITED TO NOT MORE THAN TWO STORES OF AREAS. (PC 701.2(2))
19. ALL SHOWERS AND TUB-SHOERS SHALL HAVE A PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING TYPE VALVE. (PC 409.3)
20. ALL NEW, REPLACEMENT AND EXISTING WATER HEATERS SHALL BE STRAPPED TO THE WALL IN TWO PLACES, ONE ON THE UPPER 1/3 OF THE TANK, AND ONE ON THE LOWER 1/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4 INCHES ABOVE THE CONTROLS. (PC 507.2)

21. PLUMBING CHECK AND APPROVAL IS REQUIRED FOR TUBE INCH AND LARGER WATER LINES, 2 INCH AND LARGER GAS LINES, OR ANY GAS LINE WITH A PRESSURE OF 2PSI AND HIGHER.

22. SEPARATE DUCTS SHALL BE USED FOR UPPER AND LOWER COMBUSTION AIR OPENINGS, AND MAINTAINED TO THE SOURCE OF COMBUSTION AIR. (MC 701.114))

23. THE FOLLOWING ARE REQUIRED FOR APPLIANCES INSTALLED IN AN ATTIC:

A. AN OPENING AND PASSAGEWAY SHALL NOT BE LESS THAN 22 INCHES BY 30 INCHES, AND NOT LESS THAN THE SIZE OF THE LARGEST COMPONENT OF THE APPLIANCE.

MC 304.4

B. WHERE THE PASSAGEWAY HEIGHT IS LESS THAN 6 FEET, THE DISTANCE FROM ACCESS TO THE APPLIANCE SHALL NOT EXCEED 20 FEET, AS MEASURED ALONG THE CENTERLINE.

MC 304.4(1)

C. PASSAGEWAY SHALL BE UNOBSTRUCTED AND SHALL HAVE SOLID FLOORING NOT LESS THAN 24 INCHES WIDE FROM ENTRANCE TO APPLIANCE. (MC 304.4(2))

D. A LEVEL WORKING PLATFORM NOT LESS THAN 30 INCHES BY 30 INCHES IS REQUIRED IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE. (MC 304.4(3))

E. 1.01-2017 PAGE 1 OF 3

2. THE DISTANCE FROM ACCESS TO THE APPLIANCE SHALL NOT EXCEED 20 FEET, AS MEASURED ALONG THE CENTERLINE.

MC 304.4(2)

F. 1. THE PERMANENT 120V RECEPTACLE OUTLET AND A LIGHT FIXTURE SHALL BE INSTALLED NEAR THE APPLIANCE. LIGHT SWITCH SHALL BE LOCATED AT THE ENTRANCE TO THE PASSAGEWAY. (MC 304.4(2))

G. A TYPE B, OR J, GAS VENT SHALL TERMINATE NOT LESS THAN 3 FEET ABOVE THE HIGHEST CONNECTED APPLIANCE FLUE COLAR OR DRAFT HOOD. (MC 802.6.2(1))

H. APPLIANCE INSTALLATION SHALL MEET ALL LISTED CLEARANCES. (MC 303.1)

I. 13. CLOTHES DRYER EXHAUST DUCT SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING IN ACCORDANCE WITH SECTION 502.2.1 AND SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER. SCREENS SHALL NOT BE INSTALLED AT THE DUCT 23. TERMINATION. (MC 504.4)

J. 14. CLOTHES DRYER PROTECTOR DUCT SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING IN ACCORDANCE WITH SECTION 502.2.1 AND SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER. SCREENS SHALL NOT BE INSTALLED AT THE DUCT 23. TERMINATION. (MC 504.4)

K. 15. 15- AND 20-AMPERE RECEPTACLES SHALL BE INSTALLED TAMPER-RESISTANT RECEPACLES. (EC 406.12)

L. 16. WHERE NM CABLE (ROMEX) IS RUN ACROSS THE TOP OF JOISTS AND/OR WHERE THE ATTIC IS NOT ACCESSIBLE BY PERMANENT STAIRS OR LADDERS, PROTECTION WITHIN 6 FEET OF THE NEAREST EDGE OF THE SOUTLE OR ATTIC ENTRANCE SHALL BE PROVIDED. (EC 334.23, 320.23(A))



REVISIONS:

SHEET TITLE:

GENERAL NOTE

SHEET NUMBER:

A-1

SHEET INDEX:

- A-1 GENERAL NOTES
- A-2 EXISTING SITE PLAN & PROPOSED SITE PLAN
- A-3 PROPOSED FLOOR PLAN
- A-4 PROPOSED ELECTRICAL PLAN & ROOF PLAN
- A-5 ELEVATION & SECTION
- A-6 GREEN STANDARD CODE
- A-7 GREEN STANDARD CODE

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MONROVIA CA 91016

OWNER:



STAMP:

SHEET TITLE:

GENERAL NOTE

SHEET NUMBER:

A-1

PROPERTY INFORMATION:

A.P.N. 8506-008-010
J D BICKNELL'S ADD LOT 11 BLK F

ZONE:

R3500

USE TYPE:

RESIDENTIAL

CONSTRUCTION TYPE:

V-B

OCCUPANCY GROUP:

R3

SCOPE OF WORK:

PROPOSE NEW DETACHED ADU 826 SQ FT

OTHER PROJECT INFO

OAK TREE:

NO

EASEMENT:

NO

ANY SLOPE 3:1

NO

EXISTING FIRE SPRINKLER IN MAIN HOUSE:

NO

SWIMMING POOL:

NO

NEW LANDSCAPE 500 SQ FT OR LARGER:

NO

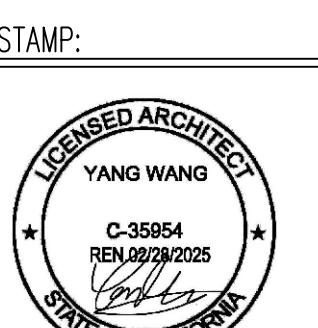
AT TIME OF PERMIT ISSUANCE, CONTRACTOR SHALL SHOW THEIR VALID WORKER'S COMPENSATION INSURANCE CERTIFICATE.
ALL WORK SHALL CONFORM TO ALL REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24 REGARDLESS OF THE INFORMATION INDICATED ON THESE PLANS. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL SUPERVISING THE CONSTRUCTION TO ENSURE THAT THE WORK IS DONE IN ACCORDANCE WITH CODE REQUIREMENTS PRIOR TO REQUESTING INSPECTION. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED AS SOLID WASTE.
SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND, WATER, TRASH AND CONSTRUCTION RELATED SOLID WASTE MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERAL BY WIND.
FUELS, OIL, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) SHALL BE NOTIFIED IN ACCORDANCE WITH CALIFORNIA STATE LAW PRIOR TO START OF ANY DEMOLITION

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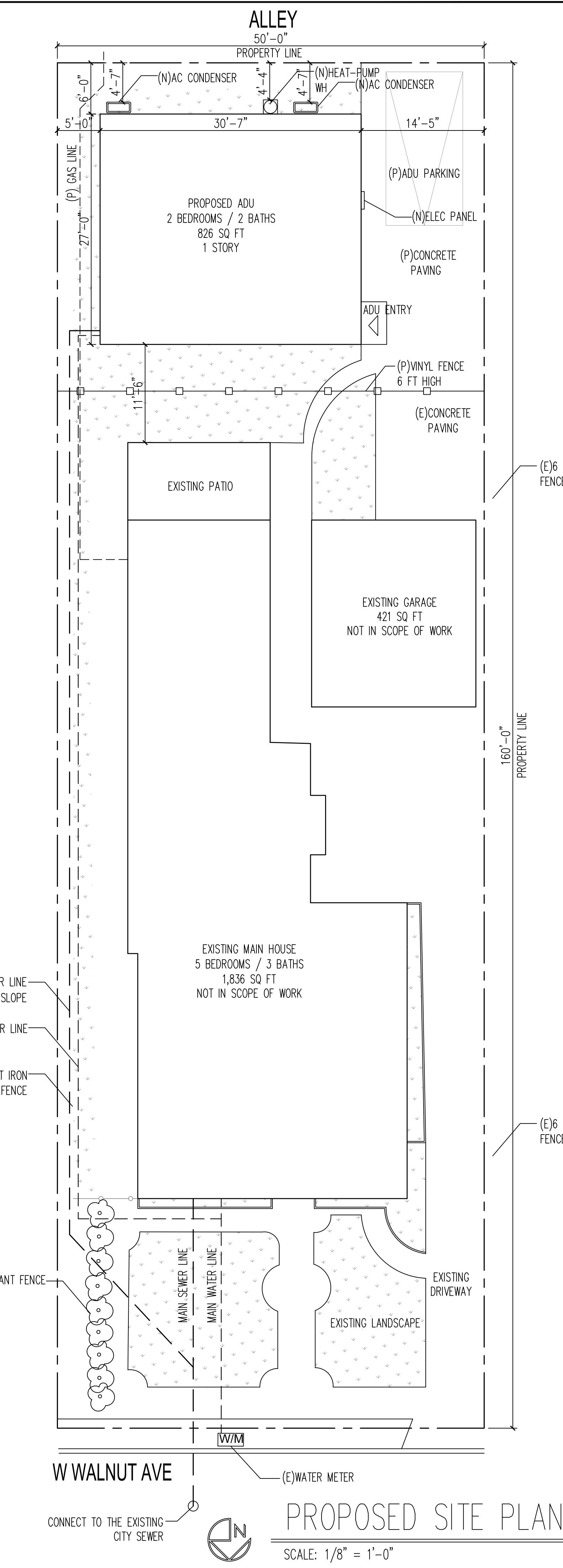
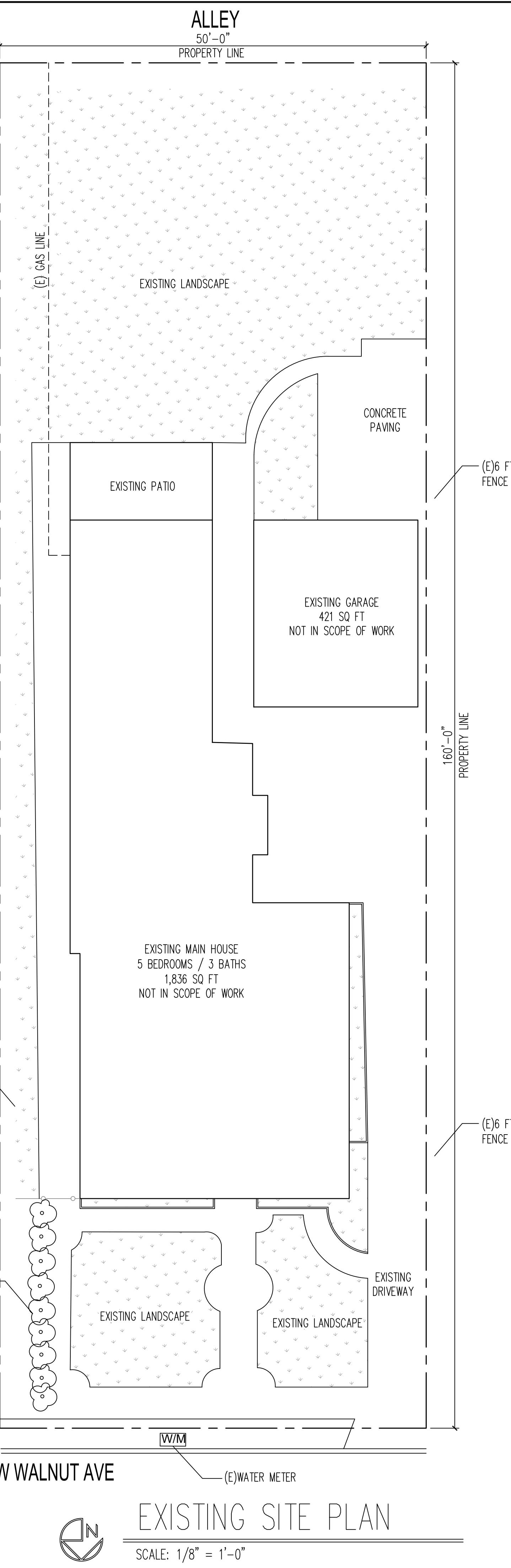


REVISIONS:

SHEET TITLE:
EXISTING SITE PLAN
PROPOSED SITE PLAN

SHEET NUMBER:

A-2



FLOOR PLAN NOTES:

FINISH MATERIALS INCLUDING ADHESIVES, SEALANTS, CAULK, PAINTS & COATINGS, CARPET SYSTEMS, ETC. SHALL MEET THE (VOC) EMISSION LIMITS PER LACGBSC CHAPTER 4.

WALL COVERING IN THE BATHROOMS SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 72" ABOVE THE DRAIN INLET AT SHOWERS OR TUB WITH SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT.

AT ALL SLEEPING ROOMS PROVIDE AT LEAST ONE OPENABLE ESCAPE WINDOW OR DOOR MEETING ALL THE FOLLOWING.

AN OPENABLE AREA OF NOT LESS THAN 5.7 SQ FT (5 SQ FT AT GRADE LEVEL) A MINIMUM CLEAR 24 INCH HEIGHT AND 20 INCH WIDTH, AND A SILL HEIGHT NOT OVER 44 INCHES ABOVE THE FLOOR.

EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION 1205.2 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL.

LIGHT AND VENTILATION CALCULATION

PROPOSED KITCHEN = 96 SQ FT

LIGHT
96 SQ FT x .08 = 7.68 SQ FT NEEDED
10.5 SQ FT > 7.68 SQ FT (OK)

VENTILATION
96 SQ FT x .04 = 3.84 SQ FT NEEDED
5.25 SQ FT > 3.84 SQ FT (OK)

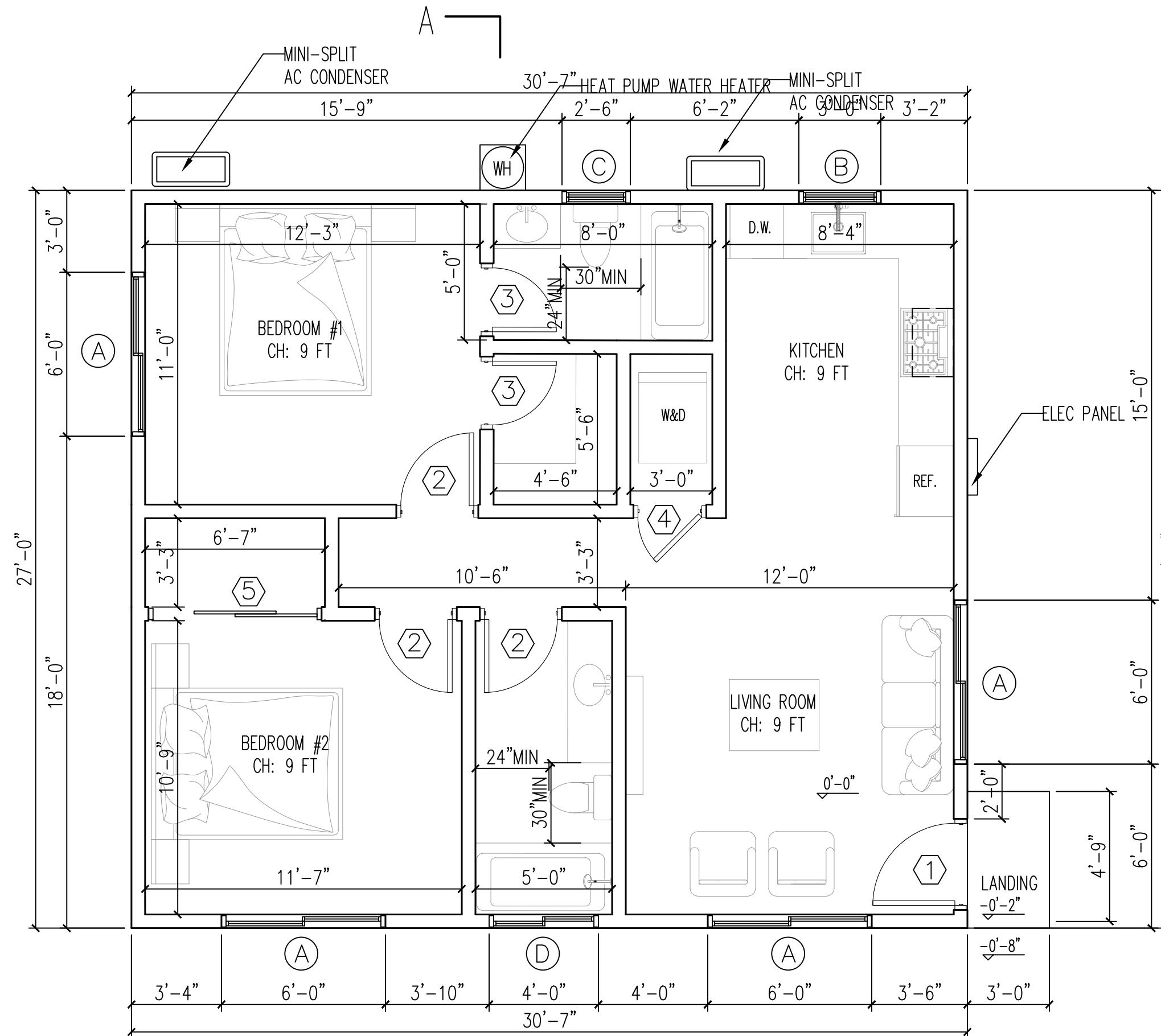
DOOR SCHEDULE:

NO.	SIZE	MATERIAL	TYPE	REMARKS
1	3'-0" x 7'-0"	FIBERGLASS/STEEL/WOOD	SOLID @ EXTERIOR 1 ³ / ₄ "	
2	2'-8" x 7'-0"	WOOD	HOLLOW CORE 1 ³ / ₄ "	
3	2'-4" x 7'-0"	WOOD	HOLLOW CORE 1 ³ / ₄ "	
4	2'-4" x 7'-0"	WOOD	HOLLOW CORE 1 ³ / ₄ "	50% LOUVER
5	5'-0" x 7'-0"	WOOD	CLOSET SLIDING DOOR	

WINDOW SCHEDULE:

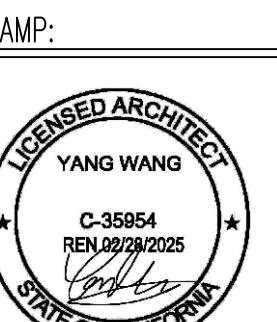
NO.	SIZE	SILL HEIGHT	U-FACTOR	SHGC	MATERIAL	TYPE	REMARKS
A	6'-0" x 4'-0"	3'-0"	0.3	0.23	VINYL	SLIDING	EMERGENCY ESCAPE/RESCUE WINDOW
B	3'-0" x 3'-6"	3'-6"	0.3	0.23	VINYL	SINGLE HUNG	
C	2'-6" x 3'-0"	4'-0"	0.3	0.23	VINYL	SINGLE HUNG	TEMPERED GLASS
D	4'-0" x 1'-6"	5'-6"	0.3	0.23	VINYL	SLIDING	TEMPERED GLASS

THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED



PROPOSED GROUND FLOOR PLAN

SCALE: 1/4" = 1'-0"



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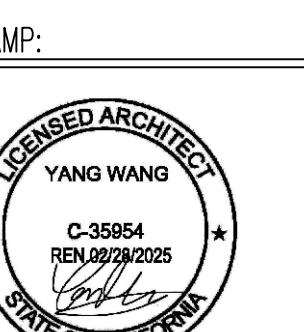
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REVISIONS:

SHEET TITLE:
ELECTRICAL PLAN
ROOF PLAN

SHEET NUMBER:

A-4

- ∅ ELECTRICAL DUPLEX OUTLET, A.F.C.I.
- ∅WP ELECTRICAL DUPLEX WATERPROOF OUTLET
- \$ WALL SWITCH
- \$3 3 WAY WALL SWITCH
- \$0 DIMMER WALL SWITCH
- \$vs FIRST SWITCH TO BE ON VACANCY SENSOR
- ∅ RECESSED DOWN LIGHT FIXTURE
- ∅ CEILING MOUNTED LIGHT FIXTURE
- ∅ BATHROOM WALL MOUNTED LIGHT FIXTURE (MOTION DETECTOR IS REQUIRED)
- ∅ EXTERIOR WALL MOUNTED LIGHT FIXTURE (MOTION DETECTOR IS REQUIRED, PHOTO CONTROLLED MOTION SENSOR OR AUTOMATIC TIME SWITCH)

EXHAUST FAN "ENERGY STAR"
MINIMUM 50 CFM INTERMITTENT (DIRECTLY VENTED TO OUTSIDE)
EQUIPPED WITH READILY ACCESSIBLE HUMIDISTAT 4" ALUMINUM DUCT
MOISTURE EXHAUST DUCTS SHALL BE OF METAL AND HAVE A
SMOOTH INTERIOR SURFACE
NO SCREWS INTO AIRFLOW CMC 504.3.1

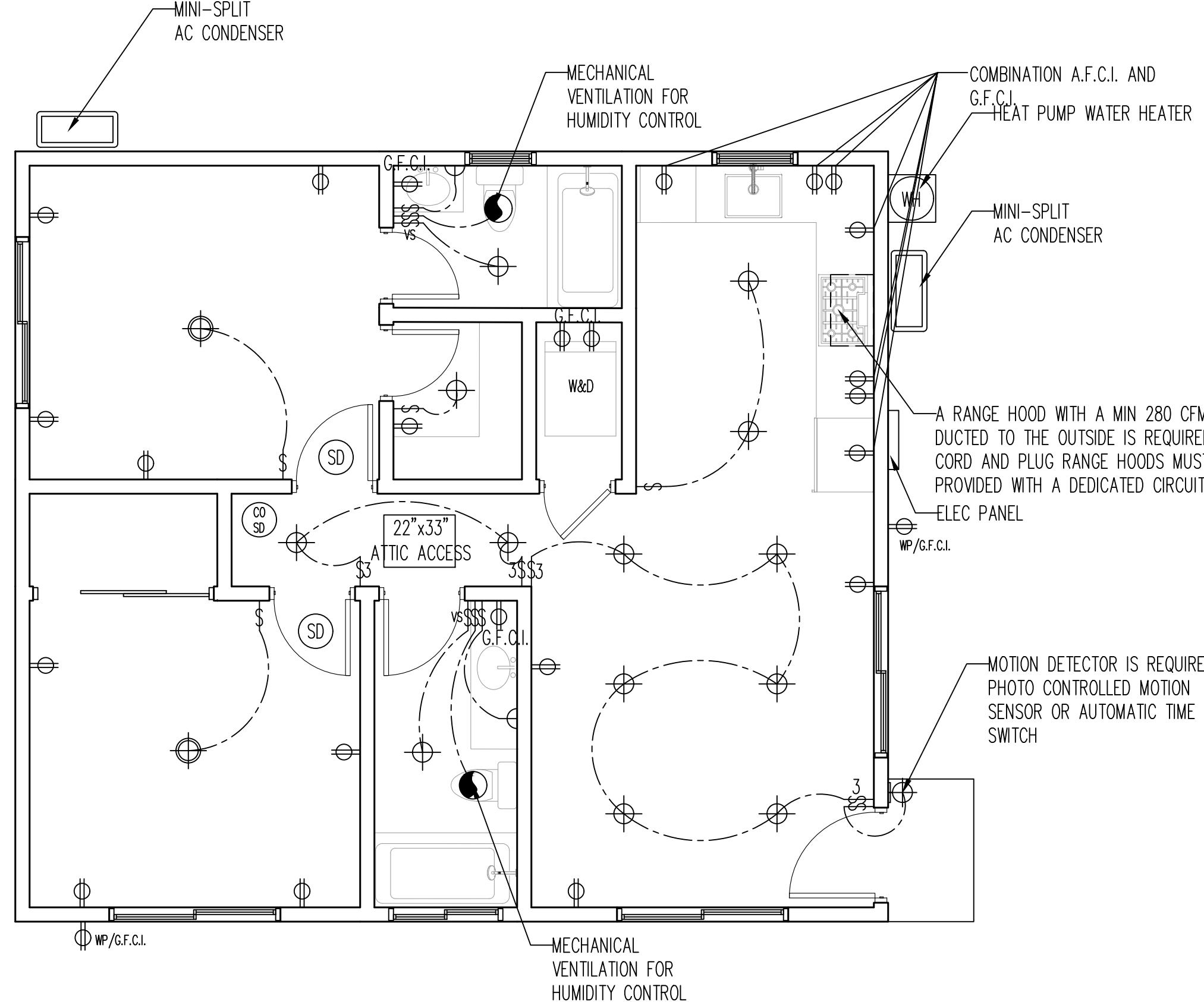
SD INTERCONNECTED HARD WIRED SMOKE DETECTOR WITH BATTERY BACKUP (A.F.C.I.)

SD INTERCONNECTED HARD WIRED SMOKE / CARBON MONOXIDE DETECTOR COMBO WITH BATTERY BACKUP (A.F.C.I.)
THE EXISTING HOUSE IS EQUIPPED WITH SMOKE AND CARBON MONOXIDE ALARMS.

MINIMUM 3 FT CLEARANCE REQUIRED FROM HVAC SUPPLIES, RETURN, BATHROOMS WITH TUBS OR SHOWERS AND CEILING FANS.
MINIMUM 10 FT CLEAR FROM STOVES AND RANGES REQUIRED.

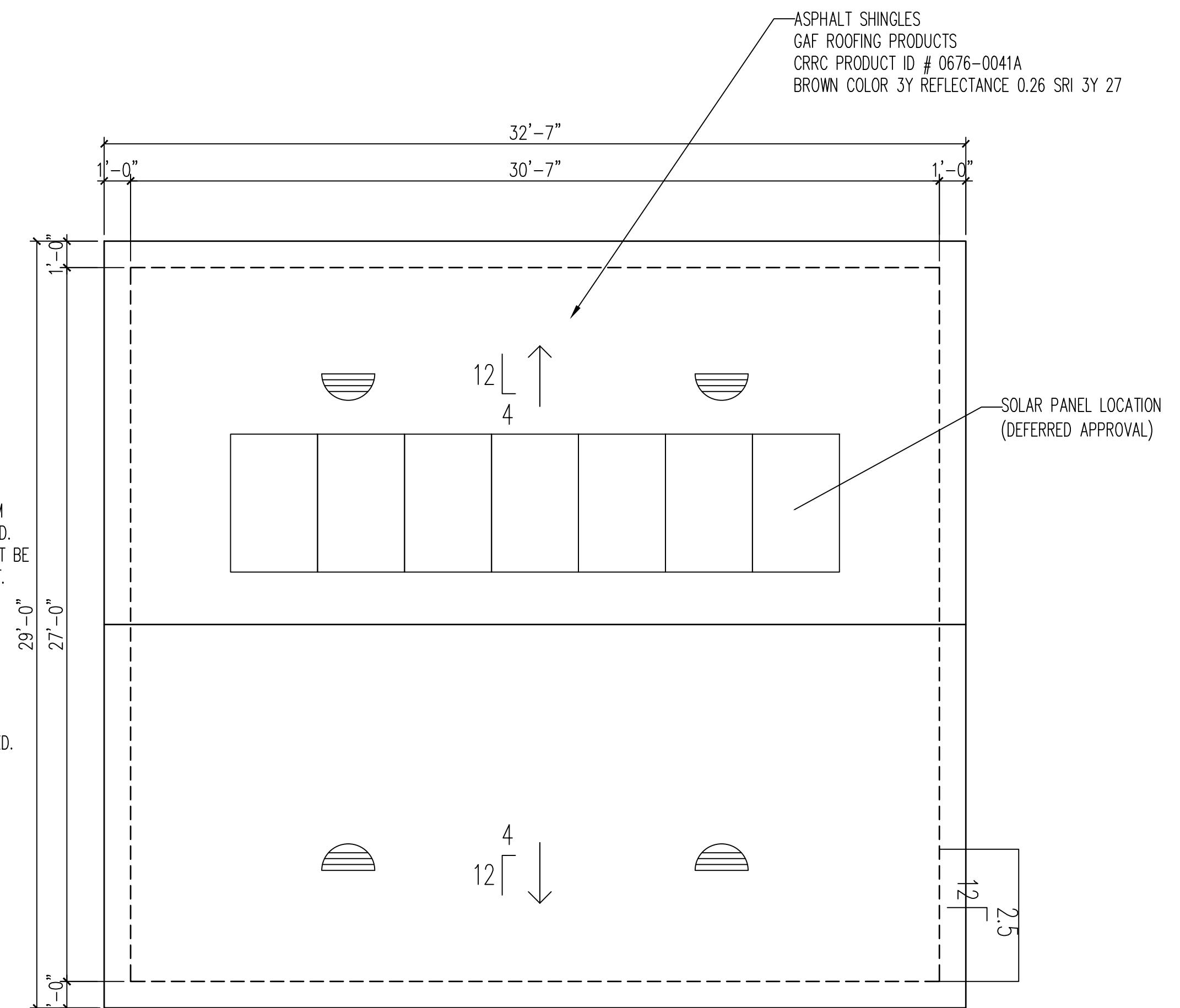
NOTE:

1. KITCHEN MUST BE SUPPLIED WITH 20 AMP SMALL APPLIANCE CIRCUITS.
2. ALL RECEPTACLE OUTLETS SHOULD BE AT LEAST AFCI.
3. A MINIMUM OF ONE 20-AMP CIRCUIT IS REQUIRED FOR THE RECEPTACLES IN THE BATHROOMS. THIS CIRCUIT CAN HAVE NO OTHER OUTLETS, INCLUDING LIGHTS. IF A 20-AMP CIRCUIT SERVES ONLY ONE BATHROOM, LIGHTS AND FANS CAN BE ON THE SAME CIRCUIT WITH THE RECEPTACLES IN THAT BATHROOM.
4. PROVIDE A MINIMUM 100 CFM RANGE HOOD FOR KITCHEN. INDIVIDUAL BRACH CIRCUIT REQUIRED WHERE CORD AND PLUG CONNECTED.
5. ALL LIGHTING NEEDS TO BE ENERGY CODE COMPLIANT. ALL LUMINARIES SHALL EITHER BE HIGH EFFICACY OR SHALL BE CONTROLLED BY A VACANCY SENSOR.
6. ALL EXTERIOR DOORS HAVE A SWITCH-CONTROLLED EXTERIOR LIGHT AND THAT THE SWITCHES HAVE A PHOTO CONTROLLED MOTION SENSOR OR AUTOMATIC TIME SWITCH.
7. ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES SHALL BE PROTECTED BY COMBINATION TYPE AN ARC-FAULT CIRCUIT INTERRUPTERS. THIS REQUIREMENT IS FOR ENTIRE CIRCUIT, NOT JUST THE OUTLETS.
8. THE LAUNDRY MUST HAVE A DEDICATED 20-AMP OUTLET.
9. OUTDOOR RECEPTACLE OUTLETS MUST BE GFCI PROTECTED AND PROVIDE WITH A WEATHERPROOF COVER.
10. KITCHEN COUNTER-TOP, BATHROOM AND LAUNDRY RECEPTACLE OUTLETS ARE REQUIRED TO BE BOTH GFCI AND AFCI PROTECTED.



PROPOSED ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"

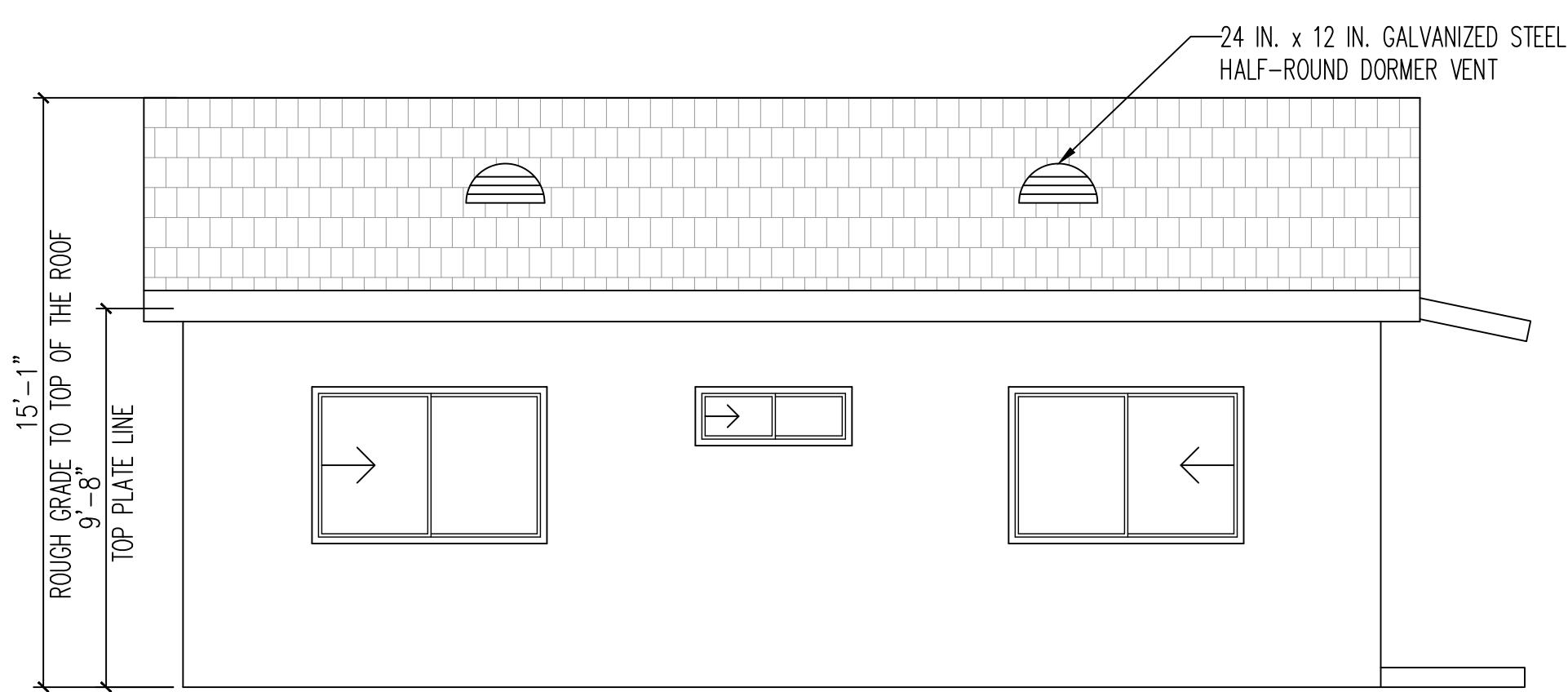
ROOF VENTILATION CALCULATION

PROPOSED ATTIC SPACE = 826 SQ FT
REQUIRED NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/300 OF THE ATTIC SPACE
REQUIRED ROOF VENTILATION = $826 \times 1/300 = 2.75$ SQ FT = 396 SQ IN
(4) 24 IN. x 12 IN. GALVANIZED STEEL HALF-ROUND DORMER VENT: (NET VENTING 100 SQ IN EACH) = 400 SQ IN
TOTAL PROPOSED VENTILATION: 400 SQ IN > 396 SQ IN (OK)

SHEET NUMBER:
ELECTRICAL PLAN
ROOF PLAN

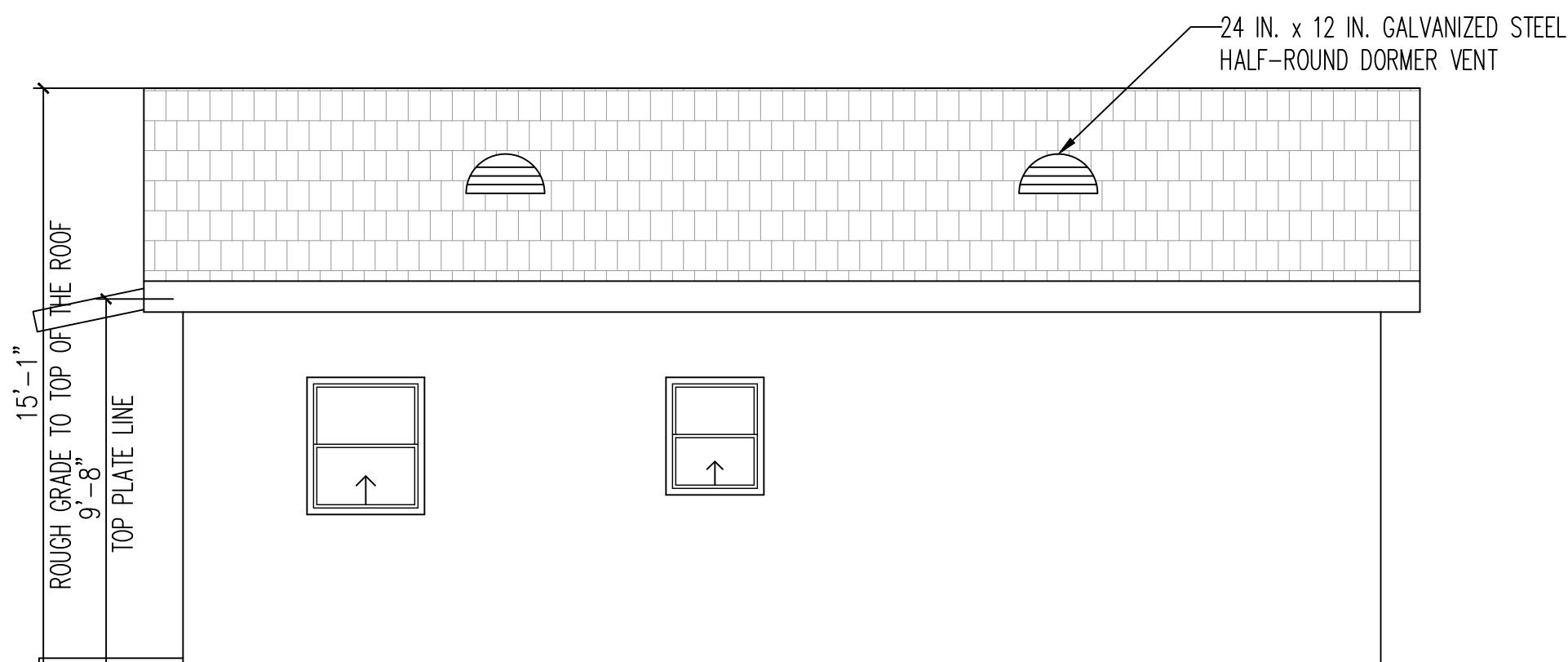
SHEET NUMBER:

A-4



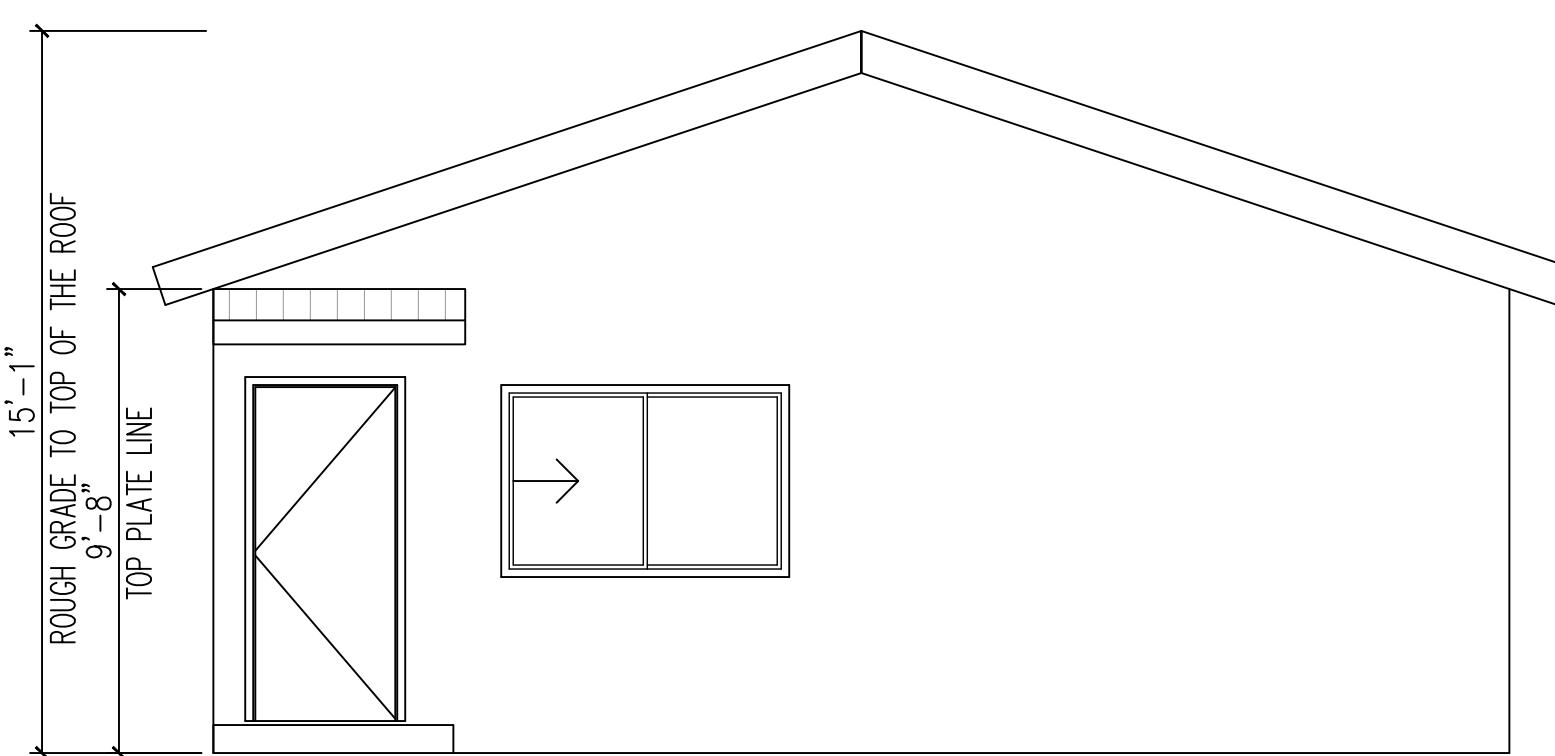
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



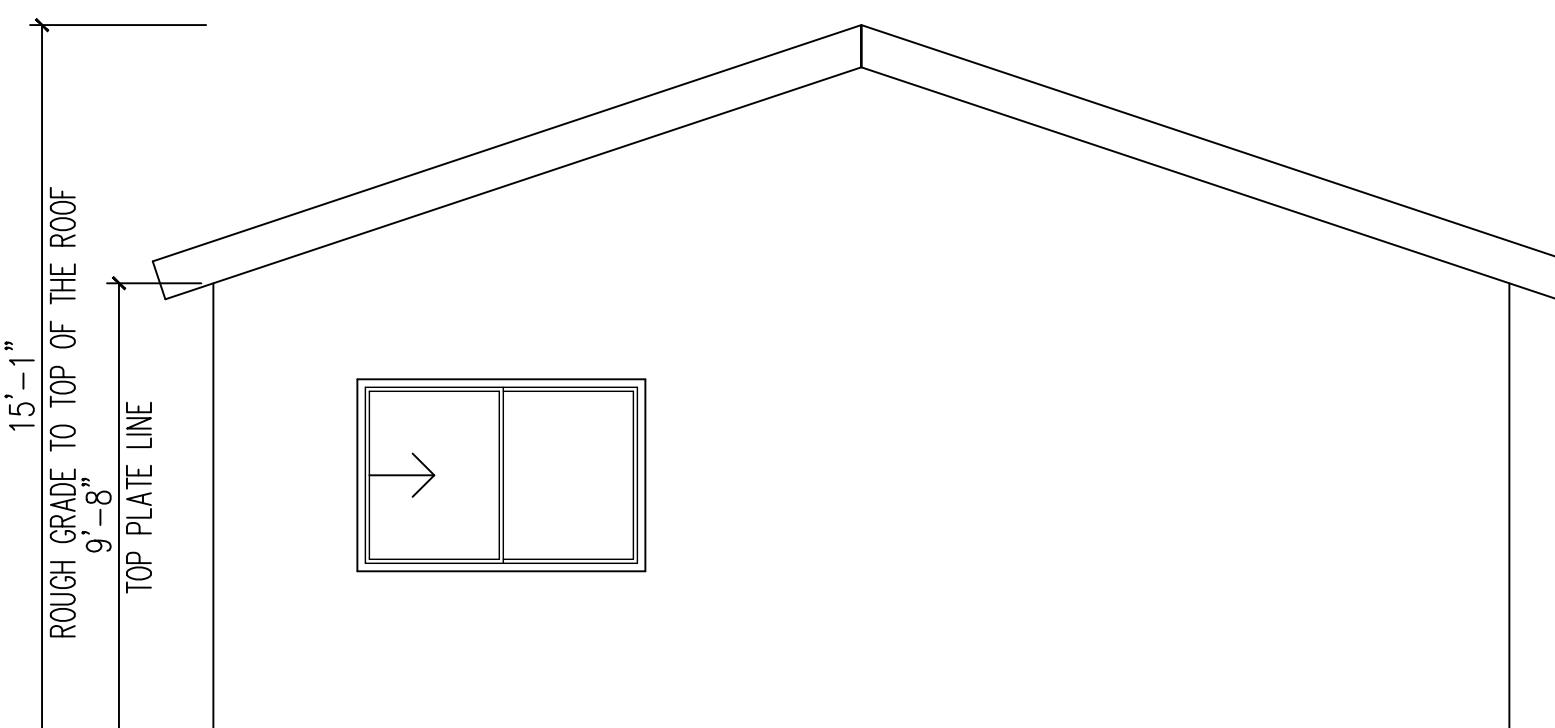
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



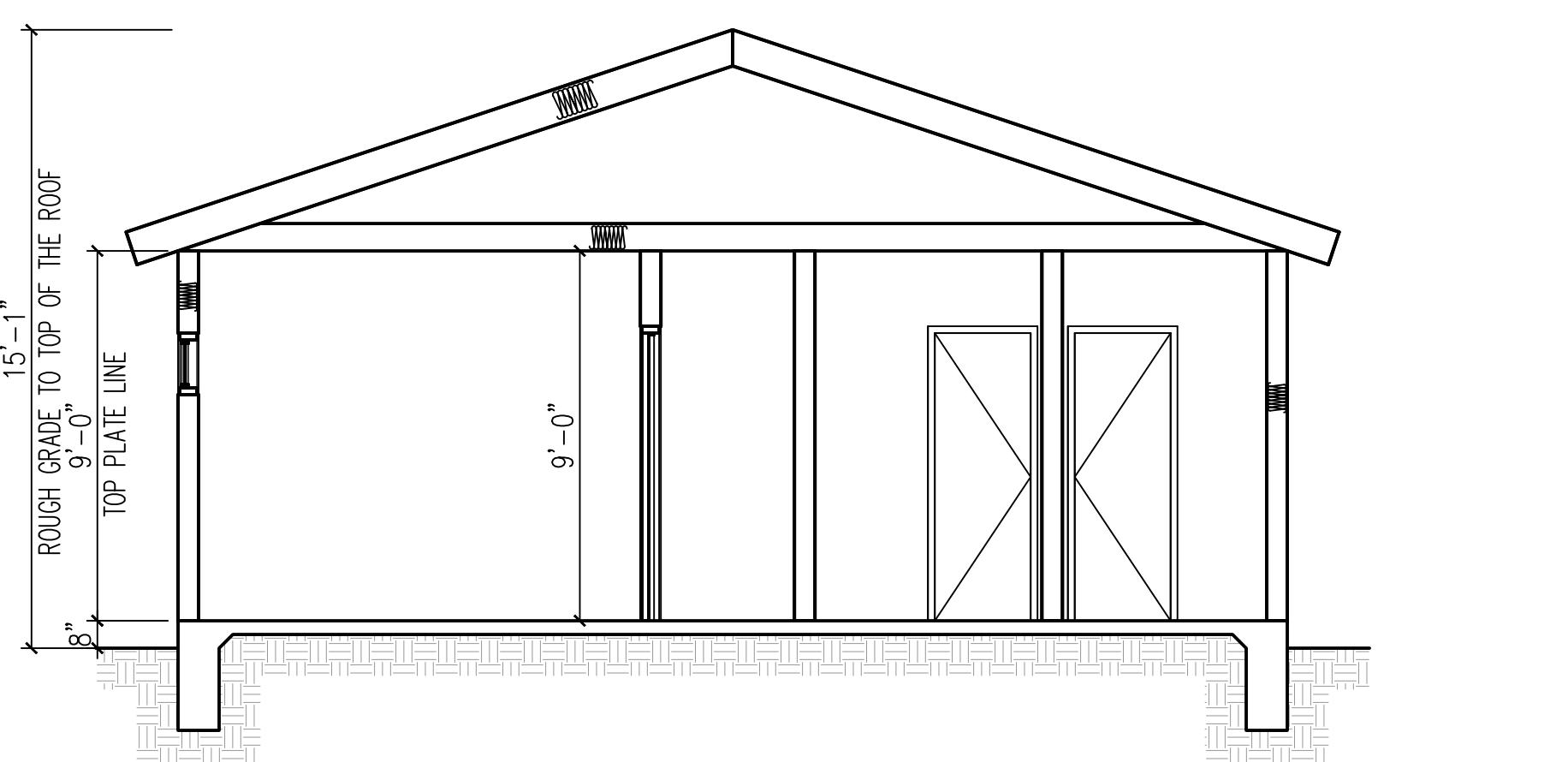
WEST ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"



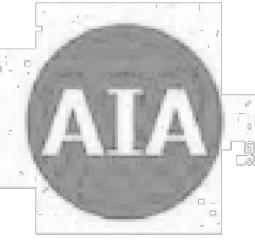
SECTION A-A

SCALE: 1/4" = 1'-0"

NOTE:

EXTERIOR COLORS AND MATERIALS OF THE PROPOSED ADU, INCLUDING WALLS,
ROOF, AND WINDOWS MUST MATCH THE EXISTING MAIN HOUSE.

EXTERIOR STUCCO COLOR IS GRAY COLOR.
WINDOW COLOR IS WHITE VINYL.
WINDOW TRIM AND SILL COLOR IS WHITE.
FASCIA BOARD COLOR IS WHITE.
ADU ROOFING MATERIAL IS ASPHALT SHINGLES.
SHINGLE COLOR IS BROWN OR SIMILAR.



California

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

YANG
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JOB ADDRESS:

408 W WALNUT AVE
MONROVIA CA 91016

<p>CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL</p> <p>301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.</p> <p>301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.</p> <p>The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application.</p> <p>Note: Repairs, including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.</p> <p>Notes: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.</p> <p>301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings/high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.</p> <p>SECTION 302 MIXED OCCUPANCY BUILDINGS</p> <p>302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.</p> <p>Exceptions:</p> <ul style="list-style-type: none"> 1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable. 2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable. <p>DIVISION 4.1 PLANNING AND DESIGN</p> <p>ABBREVIATION DEFINITIONS:</p> <ul style="list-style-type: none"> HCD California Green Building Standards Code BDC California Building Standards Commission DSA-SS Division of the State Architect, Structural Safety OSHPD Office of Statewide Health Planning and Development LR Low Rise HR High Rise AA Additions and Alterations N New <p>CHAPTER 4 RESIDENTIAL MANDATORY MEASURES</p> <p>SECTION 4.102 DEFINITIONS</p> <p>4.102.1 Definitions The following terms are defined in Chapter 2 (and are included here for reference)</p> <p>FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.</p> <p>WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.</p> <p>4.106.1 SITE DEVELOPMENT</p> <p>4.106.1.1 General. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.</p> <p>4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.</p> <ul style="list-style-type: none"> 1. Retention basins of sufficient size shall be utilized to retain storm water on the site. 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency. 3. Compliance with a lawfully enacted storm water management ordinance. <p>Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.</p> <p>(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)</p> <p>4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:</p> <ul style="list-style-type: none"> 1. Swales 2. Water collection and disposal systems 3. French drains 4. Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater recharge. <p>Exception: Additions and alterations not altering the drainage path.</p> <p>4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625.</p> <p>Exceptions:</p> <ul style="list-style-type: none"> 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: <ul style="list-style-type: none"> 1.1 Where there is no utility power supply or the local utility is unable to supply adequate power to the site. 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities. <p>4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and places. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.</p> <p>Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the California Electrical Code.</p> <p>4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".</p>	<p>4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details.</p> <p>4.106.4.2.1 Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.</p> <p>1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.</p> <p>The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.</p> <p>Exceptions:</p> <ul style="list-style-type: none"> 1. When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces. 2. When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed. <p>Notes:</p> <ul style="list-style-type: none"> a. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use. <p>2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.</p> <p>Exception: Areas of parking facilities served by parking lifts.</p> <p>4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.</p> <p>1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.</p> <p>The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.</p> <p>Exceptions:</p> <ul style="list-style-type: none"> 1. When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the five (5) percent required. <p>Notes:</p> <ul style="list-style-type: none"> a. Construction documents shall show locations of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use. <p>2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.</p> <p>Exception: Areas of parking facilities served by parking lifts.</p> <p>3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests.</p> <p>When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, any automatic branch circuit protection system (ALMS) may be used to reduce the minimum required electrical capacity to each space served in the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.5 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EV capable spaces.</p> <p>4.106.4.2.2.1 Electric vehicle charging stations (EVCS). Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1.</p> <p>Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable requirements.</p> <p>4.106.4.2.2.1 Location. EVCS shall comply with at least one of the following options:</p> <ul style="list-style-type: none"> 1.The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. 2.The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building. <p>Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable requirements.</p> <p>4.106.4.2.2.1.1 Location. EVCS shall comply with at least one of the following options:</p> <ul style="list-style-type: none"> 1.The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. 2.The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building. <p>Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1 and Section 4.106.4.2.2.1.3.</p> <p>4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions. The charging spaces shall be designed to comply with the following:</p> <ul style="list-style-type: none"> 1.The minimum length of each EV space shall be 18 feet (5486 mm). 2.The minimum width of each EV space shall be 9 feet (2743 mm). 3.One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm). 4.Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction. <p>4.106.4.2.2.1.3 Accessible EV spaces. In addition to the requirements in Sections 4.106.4.2.2.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section 1109A.</p> <p>4.106.4.2.3 EV space requirements. 1.Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and places. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.</p> <p>Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the California Electrical Code.</p> <p>4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".</p> <p>2.Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.</p>	<p>Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code.</p> <p>4.106.4.2.4 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.</p> <p>4.106.4.2.5 Electric Vehicle Ready Space Signage. Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).</p> <p>4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings. When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE.</p> <p>Notes:</p> <p>1.Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.</p> <p>2.There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.</p> <p>DIVISION 4.2 ENERGY EFFICIENCY</p> <p>4.201 GENERAL</p> <p>4.201.1 Scope. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.</p> <p>DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION</p> <p>4.303 INDOOR WATER USE</p> <p>4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.1.4.</p> <p>Notes:</p> <p>1.Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.</p> <p>2.There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.</p> <p>DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY</p> <p>4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE</p> <p>4.406.1 ROOF PROOFING. Amulst spaces around pipes, electric cables, conduits or other openings in roof decks, soffit, joist, plate or exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.</p> <p>4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING</p> <p>4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.</p> <p>Exceptions:</p> <ul style="list-style-type: none"> 1. Excavated soil and land-clearing debris. 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycling facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite. 3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility. <p>4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.</p> <ul style="list-style-type: none"> 1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale. 2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream). 3. Identify diversion facilities where the construction and demolition waste material collected will be taken. 4. Identify construction methods employed to reduce the amount of construction and demolition waste generated. 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both. <p>4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.</p> <p>Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.</p> <p>4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.</p> <p>4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.</p> <p>4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4.</p> <p>Notes:</p> <ul style="list-style-type: none"> 1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section. 2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle). <p>DIVISION 4.10 BUILDING MAINTENANCE AND OPERATION</p> <p>4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:</p> <ol style="list-style-type: none"> 1. Directories for all occupants that the manual shall remain with the building throughout the life cycle of the structure. 2. Operation and maintenance instructions for the following: <ul style="list-style-type: none"> a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment. b. Roof and yard drainage, including gutters and downspouts. c. Space heating systems, including condensers and air filters. d. Landscape irrigation systems. e. Water reuse systems. 3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations. 4. Public transportation and/or carpool options available in the area. 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range. 6. Information about water-conserving landscape and irrigation design and controllers which conserve water. 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation. 8. Information on energy efficiency measures, including, but not limited to, caulking, sealing, grouting, painting around the building, etc. 9. Information about state solar energy and incentive programs available. 10. A copy of all special inspections verifications required by the enforcing agency or this code. 11. Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures. 12. Information and/or drawings identifying the location of grab bar reinforcements. <p>4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serve all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.</p> <p>Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 4269.82 (e)(2)(A) et seq. are not required to comply with the organic waste portion of this section.</p> <p>DIVISION 4.5 ENVIRONMENTAL QUALITY</p> <p>SECTION 4.501 GENERAL</p> <p>4.501.1 Scope. The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well-being of a building's installers, occupants and neighbors.</p> <p>SECTION 4.502 DEFIN</p>
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2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

Y
N/A
RESPON.
PARTY

YES
NOT APPLICABLE
RESPONSIBLE PARTY (IN: ARCHITECT, ENGINEER,
OWNER, CONTRACTOR, INSPECTOR ETC.)

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JOB ADDRESS:

408 W WALNUT AVE
MONROVIA CA 91016

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "base" Reactive Organic Gases (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (or 0.01g ROG). Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.

MOISTURE CONTENT. The weight of water in wood expressed in percentage of the weight of the oven-dry wood.

PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).

Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.

VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

4.503 FIREPLACES
4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL
4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulk used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulk shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.2 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2 below.
2. Aerosol adhesives, and sealant and sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with section 94507, commencing with section 94507.

4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limit for ROC in Section 9452(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone-depleting substances, in Sections 9452(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

1. Manufacturer's product specification.
2. Field verification of on-site product containers.

TABLE 4.504.1 - ADHESIVE VOC LIMIT_{1,2}

(Less Water and Less Exempt Compounds in Grams per Liter)

ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

TABLE 4.504.2 - SEALANT VOC LIMIT	
(Less Water and Less Exempt Compounds in Grams per Liter)	
SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.5 - FORMALDEHYDE LIMITS	
MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION	
PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD ₂	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.
2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS _{3,4}	
GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS	
COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NON-FLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS ₅	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACCS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS
2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.
3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

1. State certified apprenticeship programs.
2. Public utility training programs.
3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
4. Programs sponsored by manufacturing organizations.
5. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

1. Certification by a national or regional green building program or standard program.
2. Certification by a statewide energy consulting or verification organization, such as HERs raters, building performance contractors, and home energy auditors.
3. Successful completion of a third party apprentice training program in the appropriate trade.
4. Other programs acceptable to the enforcing agency.

NOTES:

1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
2. HERs raters, special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

(BSC) When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Notes: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction plans, product specifications, plans, drawings, or other documents or information necessary to the enforcement agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance shall be specified in the appropriate section or identified applicable checklist.

REVISIONS:

705 INTERIOR MOISTURE CONTROL
4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code.
4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential