

DUPLEX RESIDENCE

2979 EAST 7TH AVENUE

VANCOUVER, BC

V5M 1V2

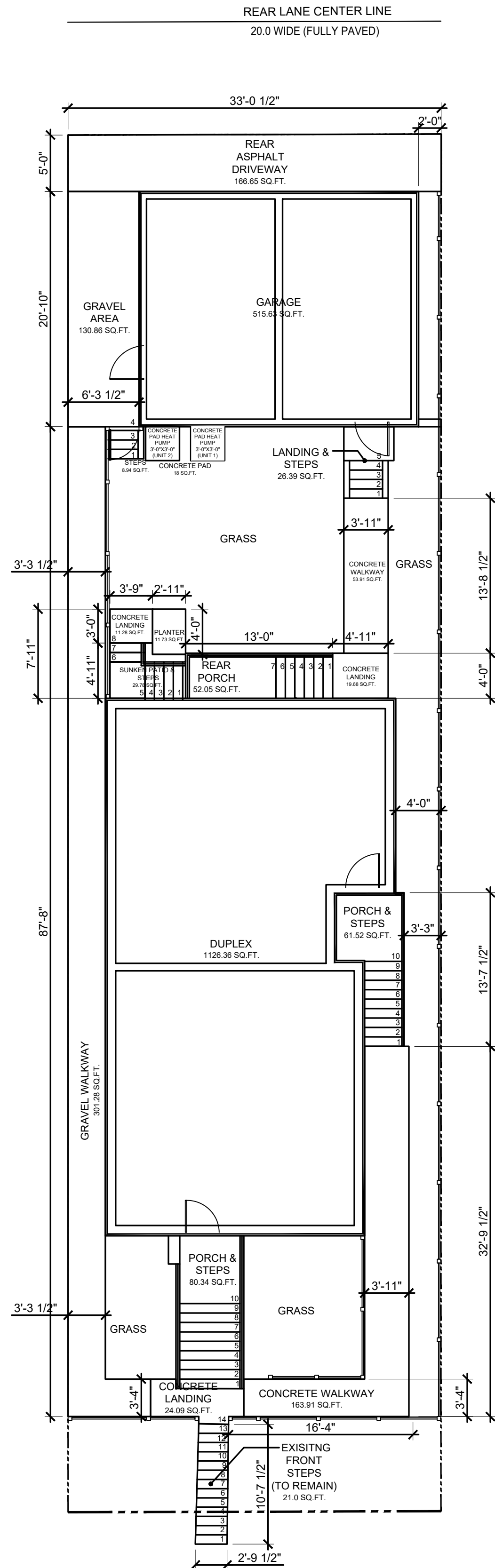
PROJECT:	2020-100
2020.05.20	CRAWL SPACE FLOORING
2020.09.29	COV DEFICIENCY

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Do not scale the drawings.

TITLE:	IMPERMEABLE PLAN & GENERAL NOTES
DATE:	MAY 14, 2020
SCALE:	AS STATED
DRAWN:	D KWAN/ S CALIMLIM
REVISION:	
ISSUED FOR PERMIT:	
ISSUED FOR TENDER:	
ISSUED FOR CONSTRUCTION:	

DWG. NO.:

A 1.0



EAST 7TH AVENUE

IMPERMEABLE PLAN

SCALE: 1/8" = 1'-0"

IMPERMEABLE SUMMARY:

LOT AREA:	4028.09 SQ.FT.
ALLOWABLE IMPERMEABLE AREA:	2416.85 SQ.FT. (60%)
PROPOSED IMPERMEABLE AREA:	
HOUSE:	1126.36 SQ.FT.
GARAGE:	515.63 SQ.FT.
EXISTING FRONT STEPS:	21.00 SQFT.
FRONT YARD LANDING:	24.09 SQFT.
CONCRETE WALKWAY:	217.82 SQFT.
UNIT 1& 2 PORCH AND STEPS:	141.86 SQFT.
CONCRETE LANDING:	55.05 SQFT.
REAR PORCH:	52.05 SQFT.
SUNKEN PATIO AND STEPS:	29.78 SQFT.
CONCRETE PLANTER:	11.73 SQFT.
STAIRS TO GARAGE:	26.39 SQFT.
STEPS:	8.94 SQFT.
CONCRETE PAD (HEAT PUMP):	18.00 SQFT.
REAR ASPHALT:	166.65 SQFT.
TOTAL PROPOSED:	2,415.35 SQ.FT. (59.9%)

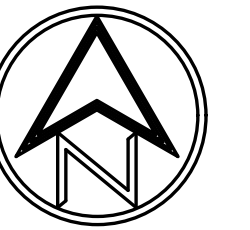
ENERGY UTILIZATION SUMMARY:

TOTAL BUILDING SQUARE FOOTAGE	2875.45 SQ.FT.
10% ALLOWABLE GLASS OPENING AREA:	287.54 SQ.FT.

PERMITTED HEAT LOSS (0.32X287.54X56): 8,373.16 BTU/HR

PROPOSE GLASS OPENING AREA:	
SOUTH (FRONT) ELEVATION:	102.54 SQ.FT.
EAST (SIDE ENTRY) ELEVATION:	87.79 SQ.FT.
NORTH (REAR) ELEVATION:	158.00 SQ.FT.
WEST (SIDE) ELEVATION:	108.66 SQ.FT.
PROPOSED TOTAL:	456.99 SQ.FT.

HEAT LOSS W/ LOW 'E' GLASS (0.32X456.99X56) 8,189.26 BTU/HR



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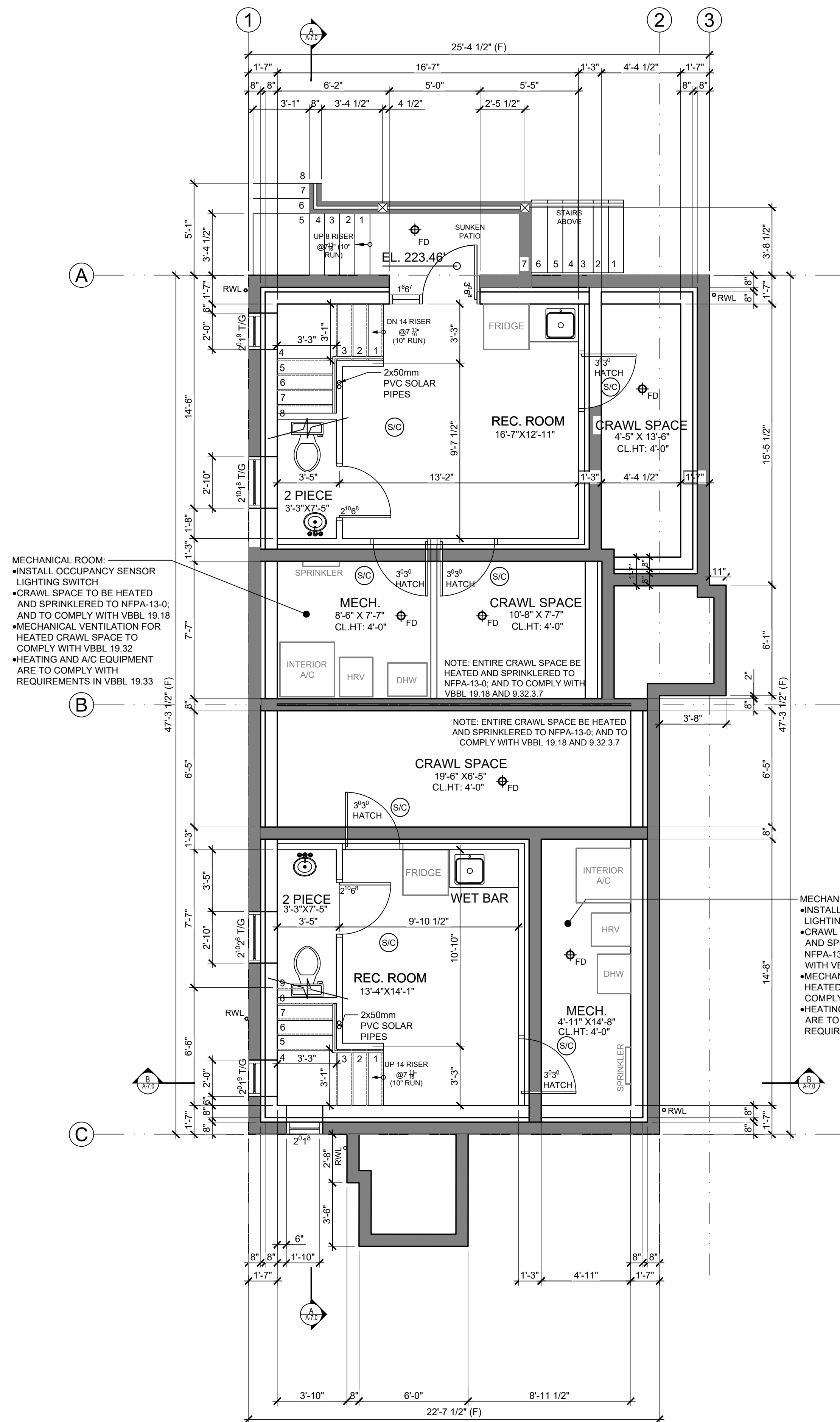
PROJECT: 2020-100
2020.05.20 CRAWL SPACE FLOORING
2020.09.29 COV DEFICIENCY

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TITLE:	CRAWL SPACE AND MAIN FLOOR PLANS
DATE:	MAY 14, 2020
SCALE:	1/4"=1'-0"
DRAWN:	D KWAN/ S CALIMLIM
REVISION:	
ISSUED FOR PERMIT:	
ISSUED FOR TENDER:	
ISSUED FOR CONSTRUCTION:	

DWG. NO.:

A 2.0

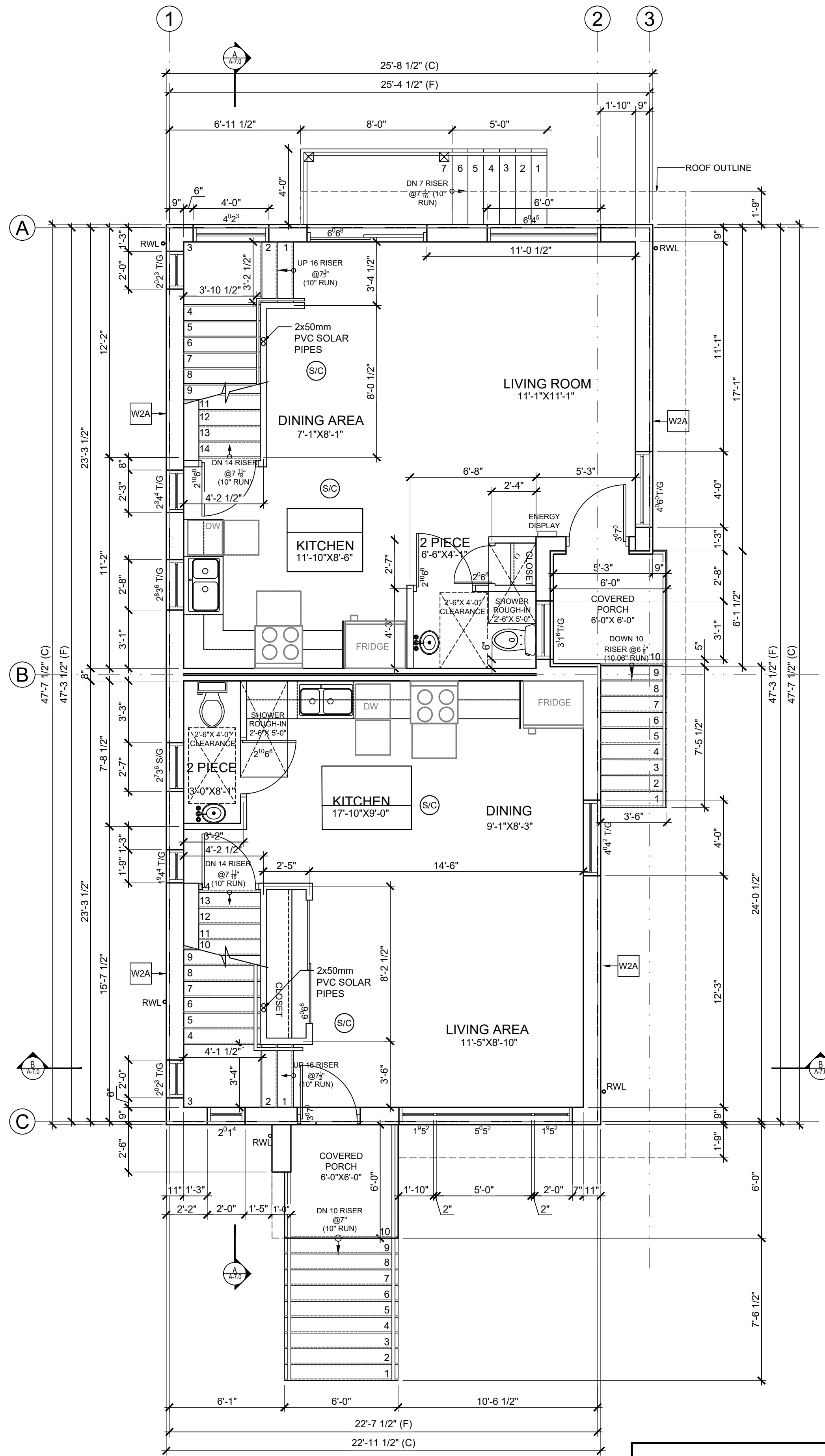


BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"

BASEMENT FLOOR:

TOTAL BASEMENT FLOOR:	525.37 SQ. FT.
UNIT 1:	246.91 SQ. FT.
UNIT 2:	278.46 SQ. FT.
TOTAL CRAWLSPACES:	593.43 SQ. FT.
CEILING HEIGHT:	8'-0"
CRAWLSPACE HEIGHT:	4'-0"

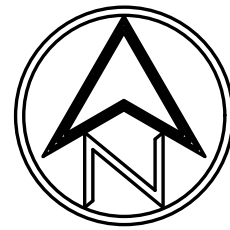


MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

MAIN FLOOR:

TOTAL MAIN FLOOR:	1126.36 SQ. FT.
UNIT 1:	547.91 SQ. FT.
UNIT 2:	578.44 SQ. FT.
FRONT PORCH:	31.00 SQ. FT.
SIDE PORCH:	30.57 SQ. FT.
REAR PORCH:	32.00 SQ. FT.
CEILING HEIGHT:	9'-0"



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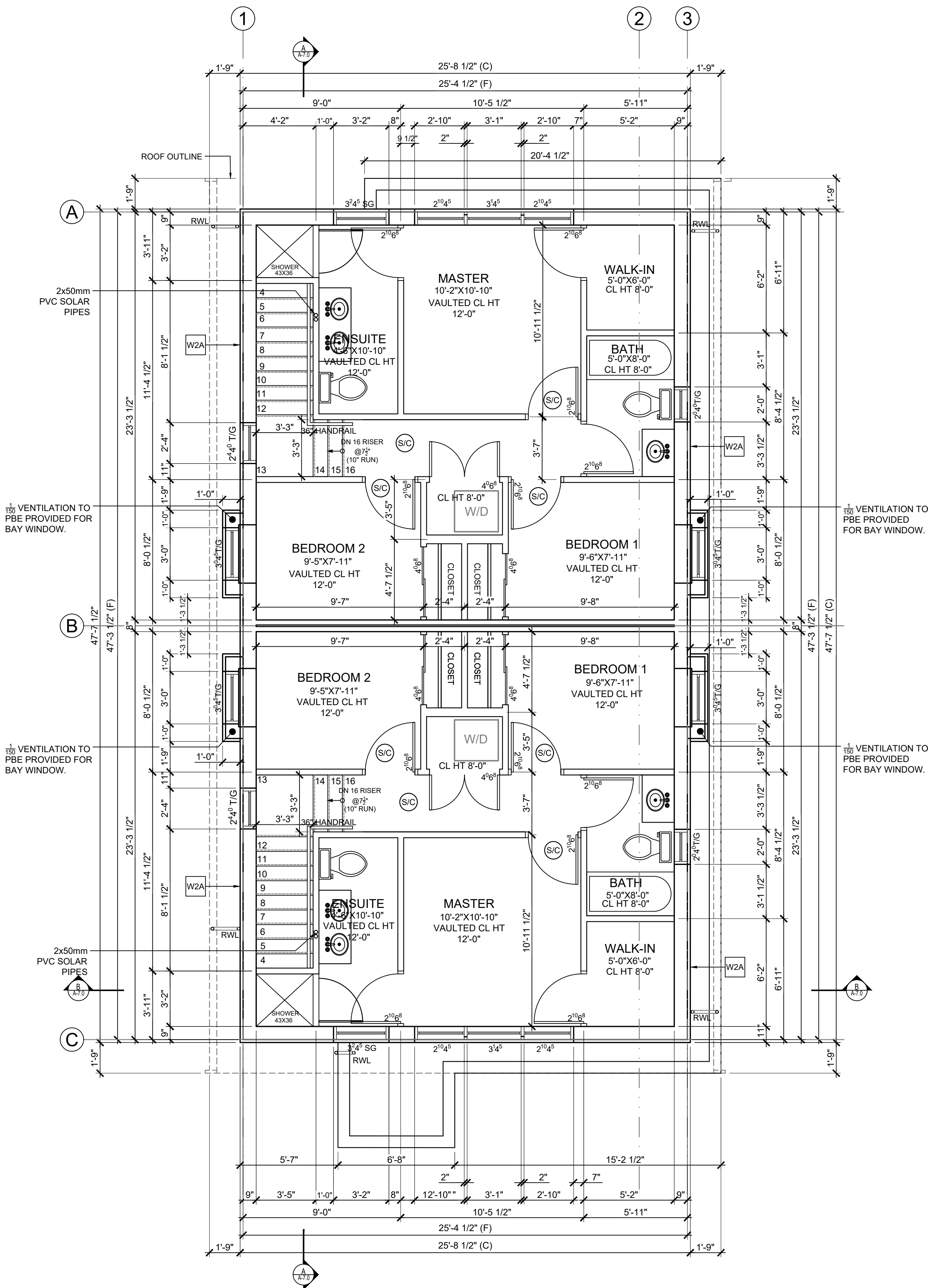
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TITLE:	2ND FLOOR AND ROOF PLANS
DATE:	MAY 14, 2020
SCALE:	1/4"=1'-0"
DRAWN:	D KWAN/ S CALIMLIM
REVISION:	
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ISSUED FOR CONSTRUCTION:	

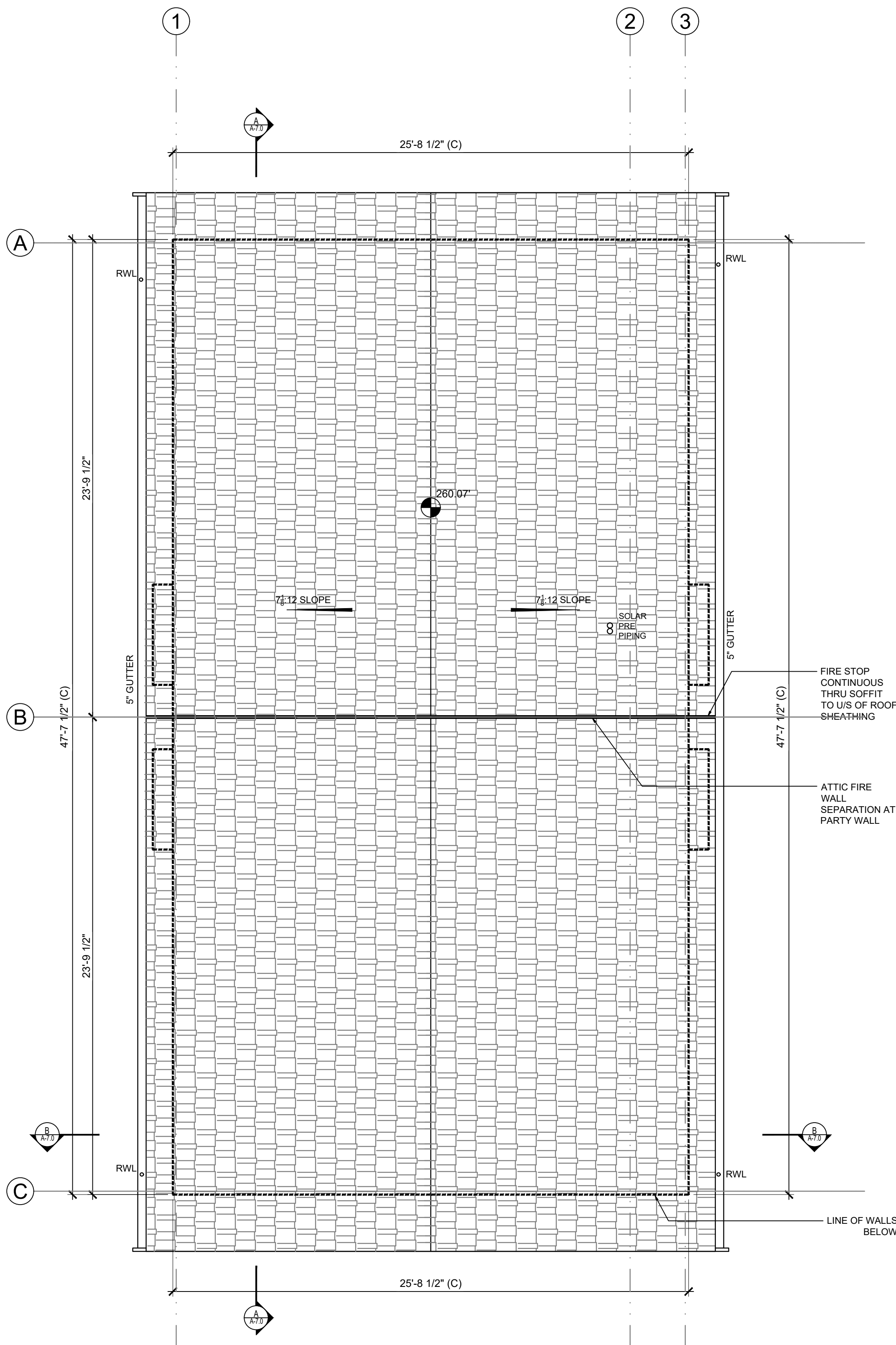
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SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

SECONDARY FLOOR:

TOTAL SECONDARY FLOOR: 1223.82 SQ. FT.
UNIT 1: 611.91 SQ.FT.
UNIT 2: 611.91 SQ.FT.
CEILING HEIGHT: 9'-0" + VAULTED



ROOF PLAN
SCALE: 1/4" = 1'-0"

TRUSS SPACE VENTILATION:

AS PER VBBL 9.19.1
- VENTING AREA TO BE MIN. $\frac{1}{300}$ OF INSULATION CEILING AREA
- MIN. 50% TO BE ROOF TOP VENTED (GOOSENECK/RIDGE VENT)

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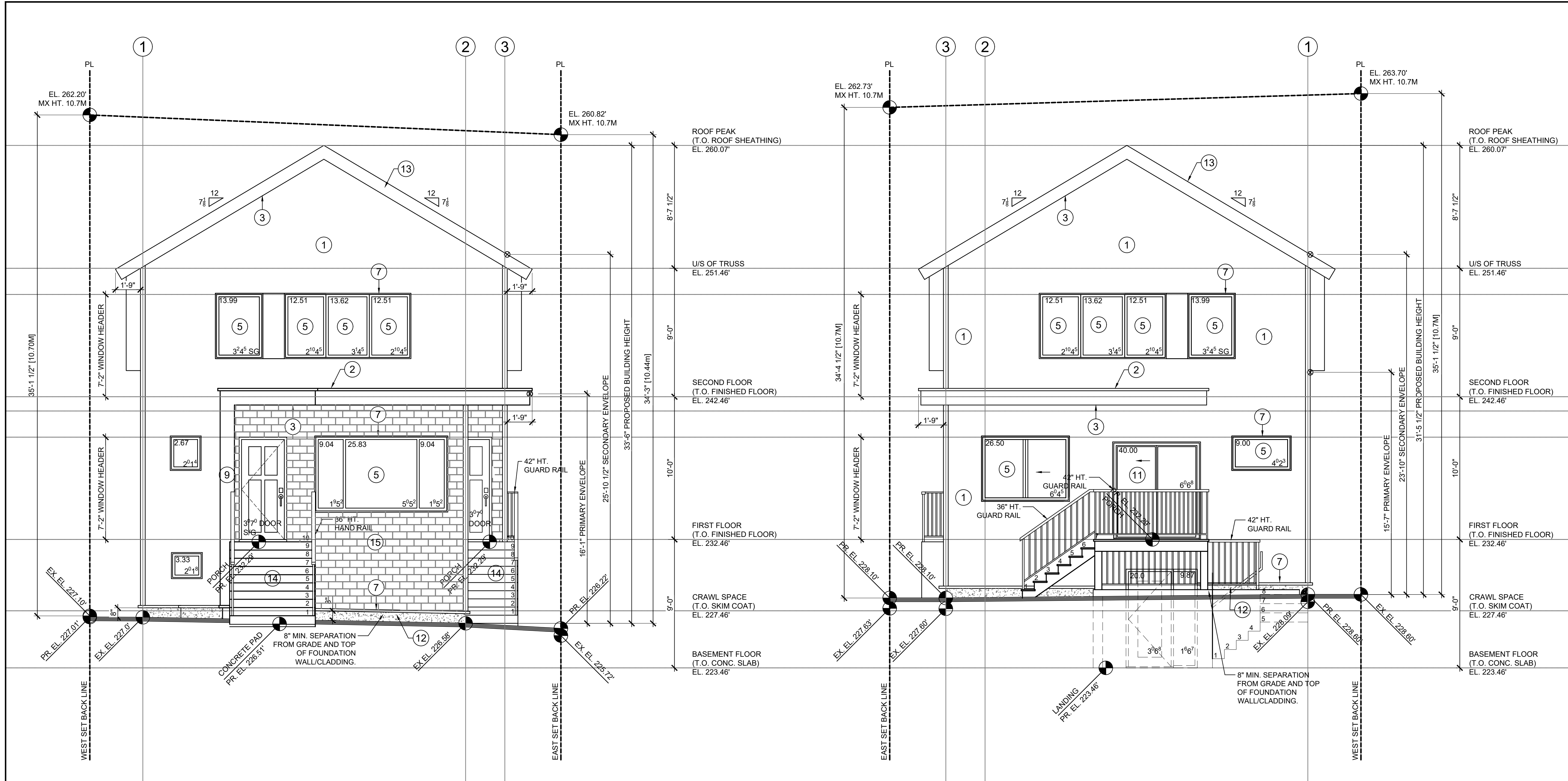
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TITLE:	SOUTH AND NORTH ELEVATIONS
DATE:	MAY 14, 2020
SCALE:	1/4"=1'-0"
DRAWN:	D KWAN/ S CALIMLIM
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SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

SPATIAL SEPARATION SUMMARY:

SOUTH (FRONT) FACE:

DISTANCE TO STREET PL:	24'-4½" (7.43m)
MAX OPENING:	100%
EXPOSED BUILDING FACE:	716.74 SQ.FT.
PROPOSED AREA OF UNPROTECTED OPENINGS:	102.54 SQ.FT.

NORTH ELEVATION

SCALE: 1/4" = 1'-0"

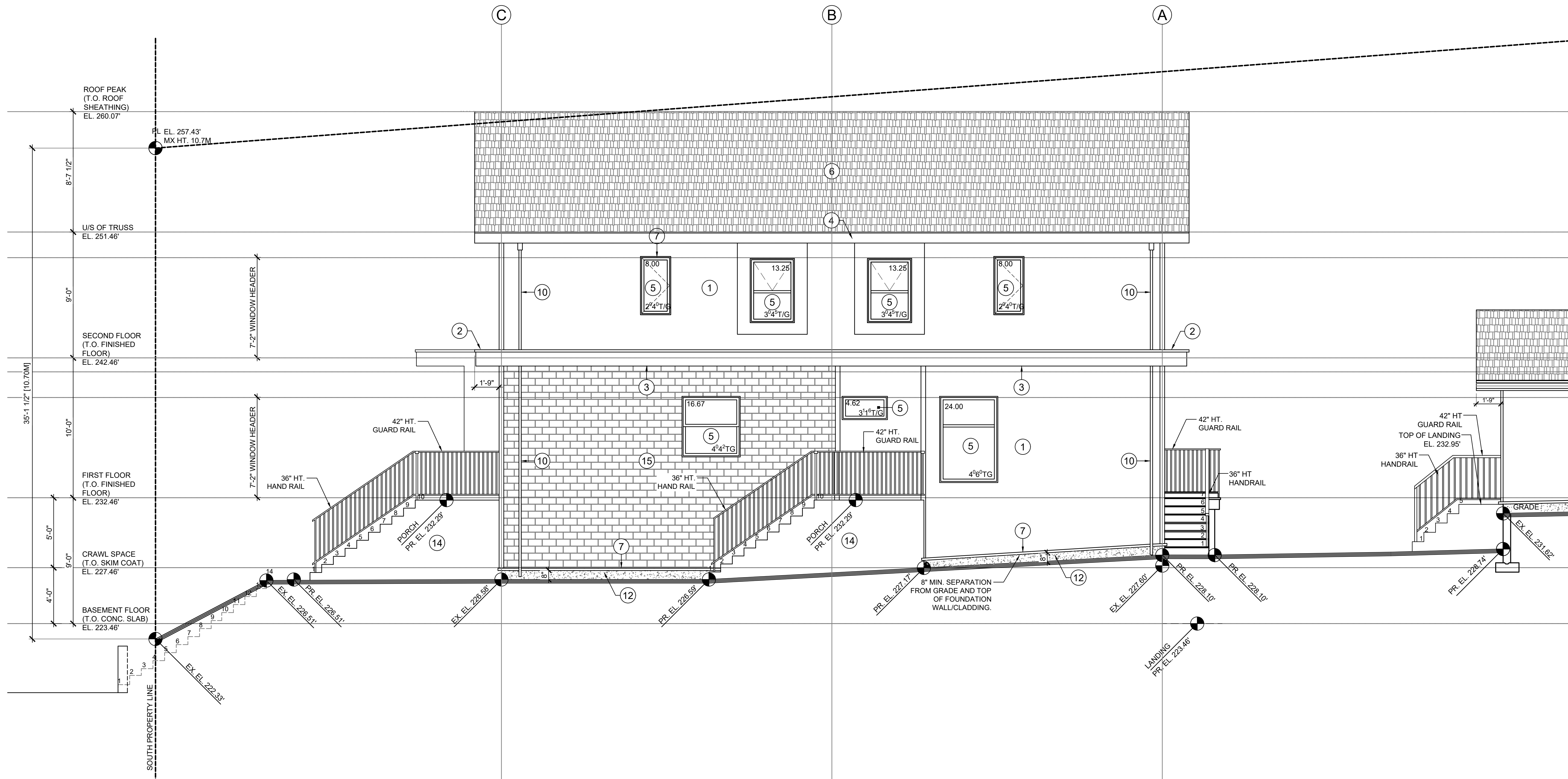
SPATIAL SEPARATION SUMMARY:

NORTH (REAR) FACE:

DISTANCE TO CL OF LANE:	50'-0" + 10'-0" = 60'-0" (18.29m)
MAX. OPENING:	100%
EXPOSED BUILDING FACE:	688.85 SQ.FT.
PROPOSED AREA OF UNPROTECTED OPENINGS:	158.00 SQ.FT.

TYPICAL MATERIALS LEGEND

- 1 HARDIE BOARD PANELS
- 2 METAL PANEL CLAD FASCIA, WRAPPED CAP & BASE
- 3 CLEAR SEALED T&G HEMLOCK FINELINE & SOFFITS
- 4 CONTINUOUS MINIMAL GUTTERS ON PAINTED 2X8 FASCIA
- 5 CASCADIA UNIVERSAL SERIES WINDOWS
- 6 ASPHALT SHINGLES ROOFING
- 7 METAL TRIMS, CORNERS BREAKSHAPES, CAP & BASE FLASHING
- 8 GUARDRAILS - ALUMINUM RAILING
- 9 CLEAR STAINED VG FIR FRONT DOOR, MULTI-POINT HARDWARE
- 10 3" ROUND METAL DOWNSPOUT - POWDER COATED
- 11 HIGH PERFORMANCE SLIDING OR FRENCH DOORS
- 12 CONCRETE WALLS - PARGE AND PAINTED AS REQUIRED
- 13 2X10 PAINTED BARGE BOARDS
- 14 CAST IN PLACE CONCRETE TREADS AND RISERS
- 15 LEDGESTONE OR STONE VENEER SIDING



EAST ELEVATION

SCALE: 1/4" = 1'-0"

SPATIAL SEPARATION SUMMARY:

EAST (SIDE) FACE:

DISTANCE TO PL: 4'-0" (1.22m)

EXPOSED BUILDING FACE: 1,116.97 SQ.FT.

ALLOWABLE PERCENTAGE
OF UNPROTECTED OPENINGS: 111.70 SQ.FT. (10% ALLOWABLE)
AS PER VBBL9.10.15.4.(7)

PROPOSED AREA OF
UNPROTECTED OPENINGS: 87.79 SQ.FT.

NOTES:

- CLADDING: NON-COMBUSTIBLE AS PER VBBL9.10.15.5.(13)
- WALL FIRE RATING: 1 HOUR WITH ROCKWOOL INSULATION AS PER VBBL9.10.15.5.(13)
- ROOF SOFFITS: NO OPENINGS ALLOWED UP TO 1.2M FROM P/L AS PER VBBL9.10.15.5.(10)
- WINDOWS: ALL TO BE GLAZED WITH TEMPERED GLASS AS PER VBBL9.10.15.4.(7)

TYPICAL MATERIALS LEGEND

- HARDIE BOARD PANELS
- METAL PANEL CLAD FASCIA, WRAPPED CAP & BASE
- CLEAR SEALED T&G HEMLOCK FINELINE & SOFFITS
- CONTINUOUS MINIMAL GUTTERS ON PAINTED 2X8 FASCIA
- CASCADIA UNIVERSAL SERIES WINDOWS
- ASPHALT SHINGLES ROOFING
- METAL TRIMS, CORNERS BREAKSHAPES, CAP & BASE FLASHING
- GUARDRAILS - ALUMINUM RAILING
- CLEAR STAINED VG FIR FRONT DOOR, MULTI-POINT HARDWARE
- 3" ROUND METAL DOWNSPOUT - POWDER COATED
- HIGH PERFORMANCE SLIDING OR FRENCH DOORS
- CONCRETE WALLS - PARGE AND PAINTED AS REQUIRED
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TITLE: EAST ELEVATION

DATE: MAY 14, 2020

SCALE: 1/4"=1'-0"

DRAWN: D KWAN/ S CALIMLIM

REVISION:

ISSUED FOR PERMIT:

ISSUED FOR TENDER:

ISSUED FOR CONSTRUCTION:

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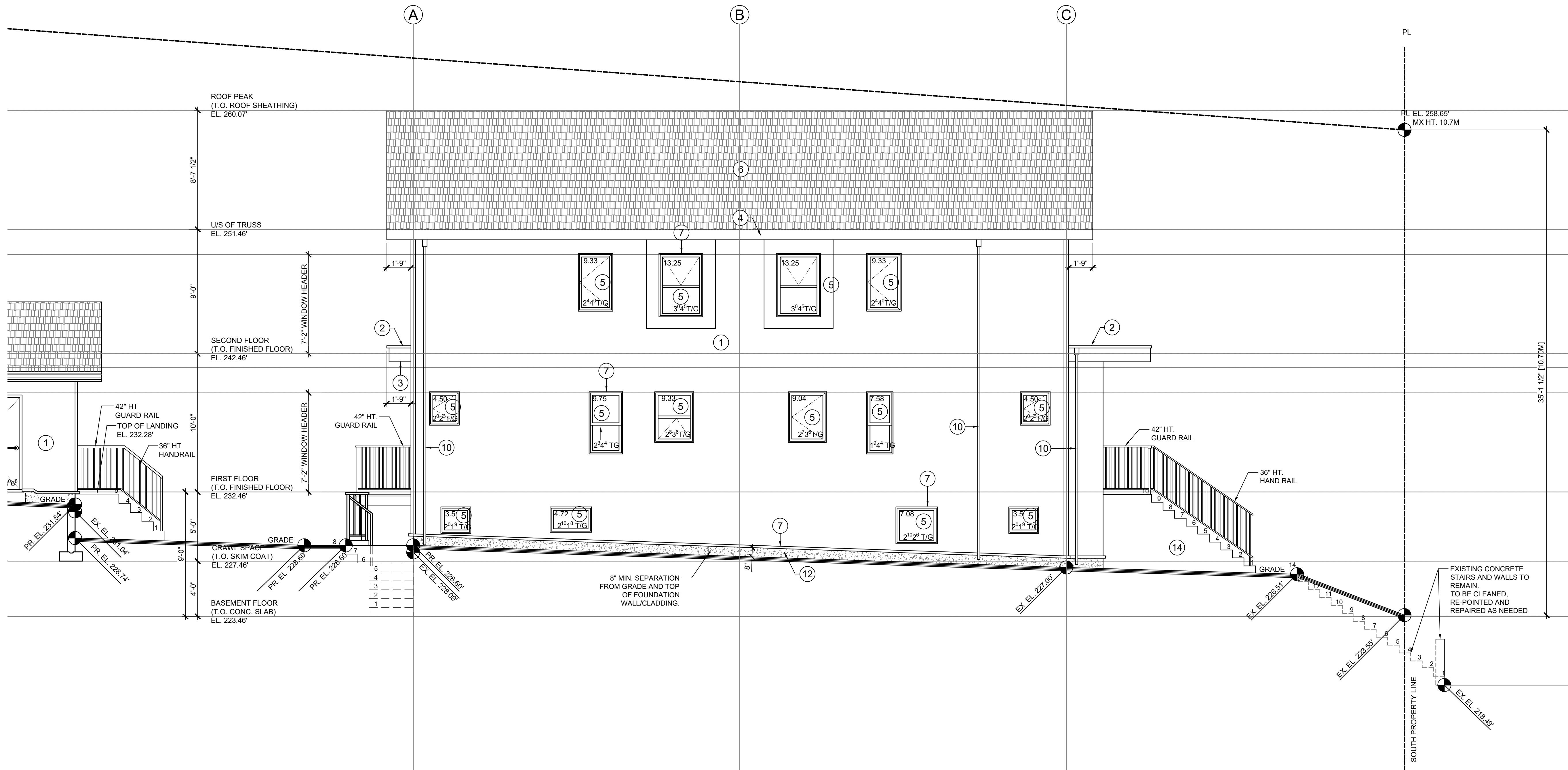
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TITLE:	WEST ELEVATION
DATE:	MAY 14, 2020
SCALE:	1/4"=1'-0"
DRAWN:	D KWAN/ S CALIMLIM
REVISION:	
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ISSUED FOR CONSTRUCTION:	

DWG. NO.:

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WEST ELEVATION

SCALE: 1/4" = 1'-0"

SPATIAL SEPARATION SUMMARY:

WEST (SIDE) FACE:

DISTANCE TO PL: 3'-3½" (1.00m)

EXPOSED BUILDING FACE: 1,090.84 SQ.FT.

ALLOWABLE PERCENTAGE
OF UNPROTECTED OPENINGS: 109.08 SQ.FT. (10% ALLOWABLE)
AS PER VBBL9.10.15.4.(7)

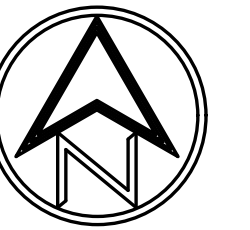
PROPOSED AREA OF
UNPROTECTED OPENINGS: 108.66 SQ.FT.

NOTES:

- CLADDING: NON-COMBUSTIBLE AS PER VBBL9.10.15.5.(13)
- WALL FIRE RATING: 1 HOUR WITH ROCKWOOL INSULATION AS PER VBBL9.10.15.5.(13)
- ROOF SOFFITS: NO OPENINGS ALLOWED UP TO 1.2M FROM P/L AS PER VBBL9.10.15.5.(10)
- WINDOWS: ALL TO BE GLAZED WITH TEMPERED GLASS AS PER VBBL9.10.15.4.(7)

TYPICAL MATERIALS LEGEND

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- METAL PANEL CLAD FASCIA, WRAPPED CAP & BASE
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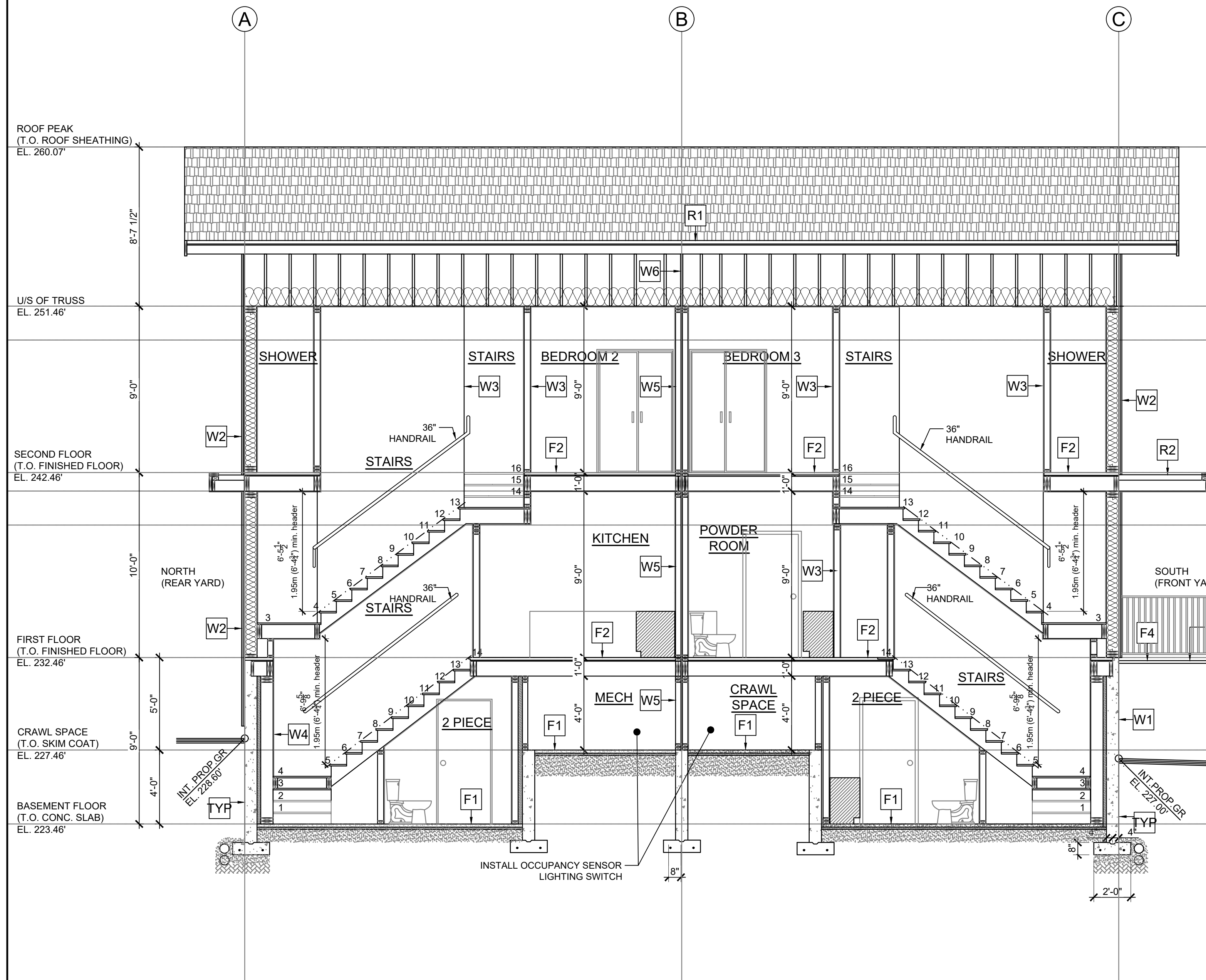
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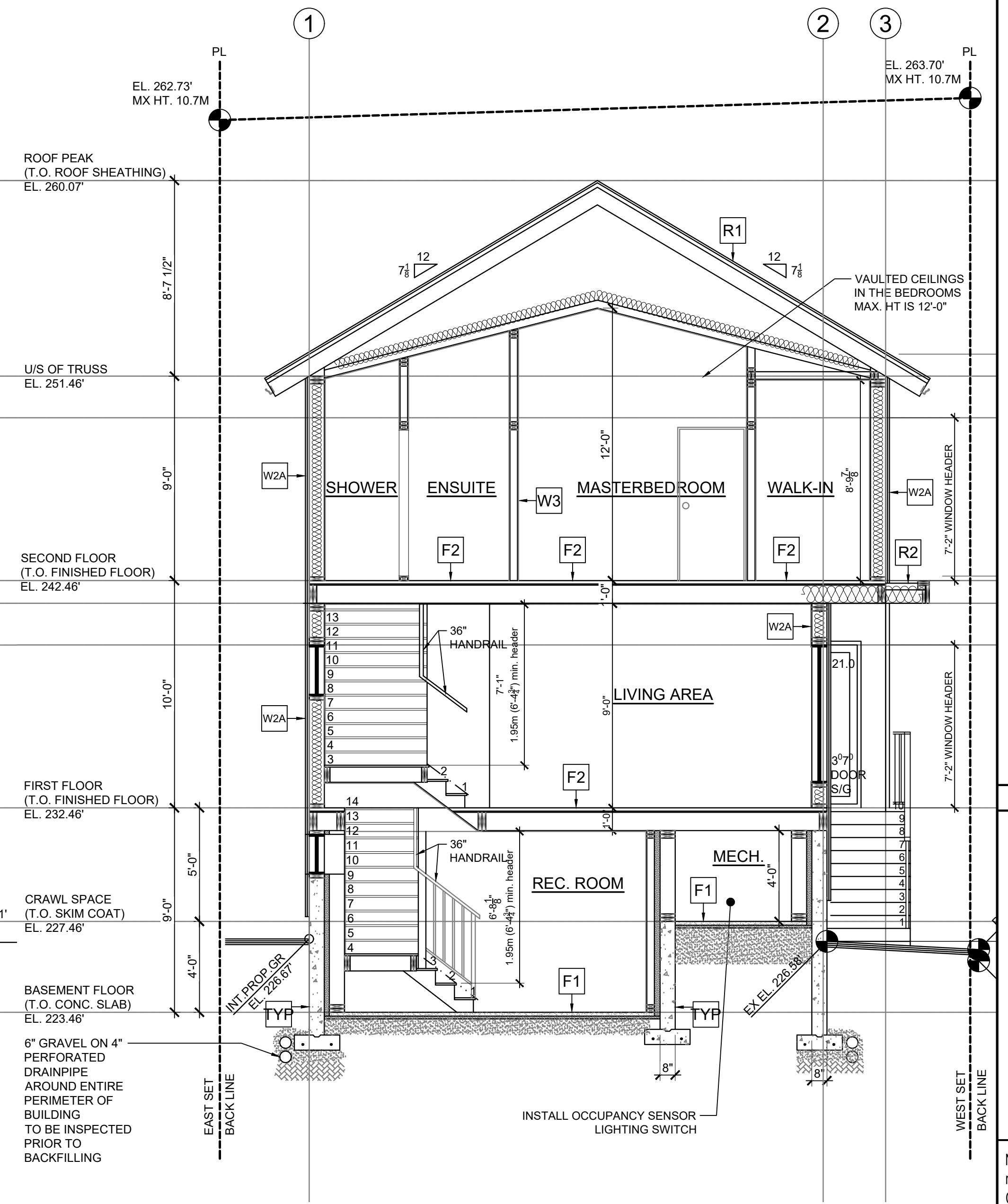
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TITLE:	DUPLEX SECTIONS
DATE:	MAY 14, 2020
SCALE:	1/4"=1'-0"
DRAWN:	D KWAN/ S CALIMLIM
REVISION:	
ISSUED FOR PERMIT:	
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ISSUED FOR CONSTRUCTION:	

DWG. NO.: A 7.0



DUPLEX SECTION A
SCALE: 1/4" = 1'-0"



DUPLEX SECTION B
SCALE: 1/4" = 1'-0"