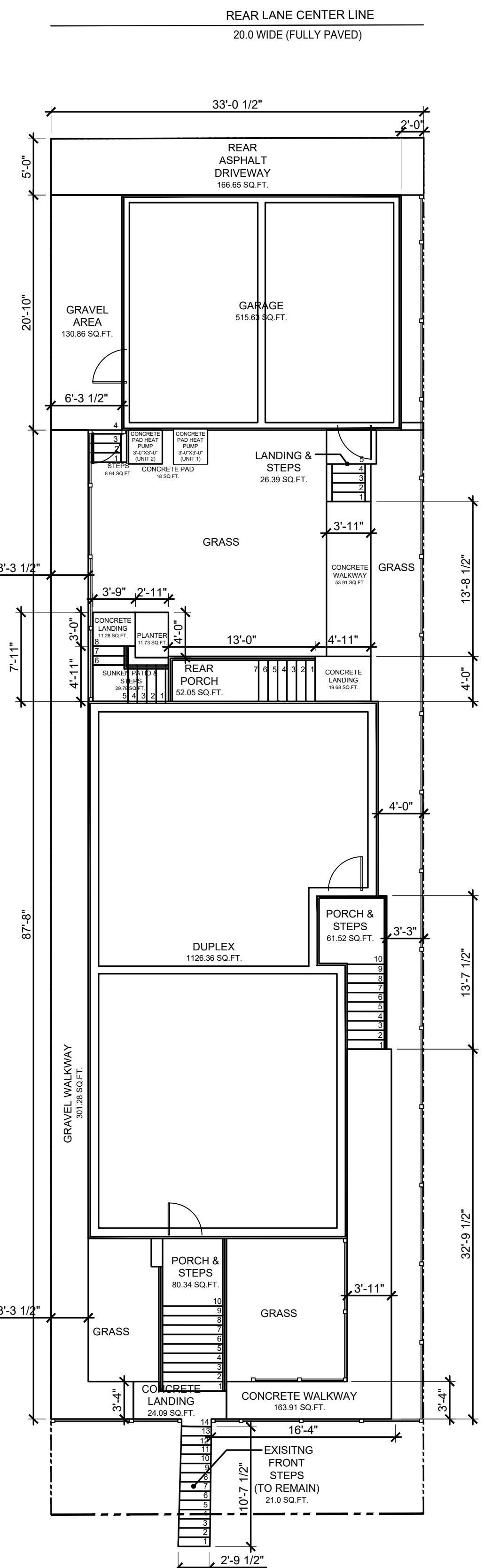


DUPLEX RESIDENCE 2979 EAST 7TH AVENUE VANCOUVER, BC V5M 1V2

PROJECT: 2020-100
2020.05.20 CRAWL SPACE FLOORING
2020.09.29 COV DEFICIENCY

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EAST 7TH AVENUE

IMPERMEABLE PLAN

SCALE: 1/8" = 1'-0"

IMPERMEABLE SUMMARY:

LOT AREA:	4028.09 SQ.FT.
ALLOWABLE IMPERMEABLE AREA:	2416.85 SQ.FT. (60%)
PROPOSED IMPERMEABLE AREA:	
HOUSE:	1126.36 SQ.FT.
GARAGE:	515.63 SQ.FT.
EXISTING FRONT STEPS:	21.00 SQFT.
FRONT YARD LANDING:	24.09 SQFT.
CONCRETE WALKWAY:	217.82 SQFT.
UNIT 1&2 PORCH AND STEPS:	141.86 SQFT.
CONCRETE LANDING:	55.05 SQFT.
REAR PORCH:	52.05 SQFT.
SUNKEN PATIO AND STEPS:	29.78 SQFT.
CONCRETE PLANTER:	11.73 SQFT.
STAIRS TO GARAGE:	26.39 SQFT.
STEPS:	8.94 SQFT.
CONCRETE PAD (HEAT PUMP):	18.00 SQFT.
REAR ASPHALT:	166.65 SQFT.
TOTAL PROPOSED:	2,415.35 SQ.FT. (59.9%)

ENERGY UTILIZATION SUMMARY:

TOTAL BUILDING SQUARE FOOTAGE 2875.45 SQ.FT.
10% ALLOWABLE GLASS OPENING AREA: 287.54 SQ.FT.

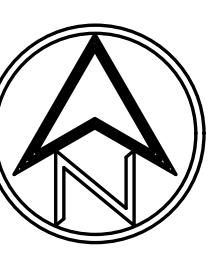
PERMITTED HEAT LOSS (0.52X287.54X56): 8,373.16 BTU/HR

PROPOSED GLASS OPENING AREA:	
SOUTH (FRONT) ELEVATION:	102.54 SQ.FT.
EAST (SIDE ENTRY) ELEVATION:	87.79 SQ.FT.
NORTH (REAR) ELEVATION:	158.00 SQ.FT.
WEST (SIDE) ELEVATION:	108.66 SQ.FT.
PROPOSED TOTAL:	456.99 SQ.FT.

HEAT LOSS W/ LOW 'E' GLASS (0.32X456.99X56) 8,189.26 BTU/HR

TITLE:	IMPERMEABLE PLAN & GENERAL NOTES
DATE:	MAY 14, 2020
SCALE:	AS STATED
DRAWN:	D KWAN / S CALIMLIM
REVISION:	
ISSUED FOR PERMIT:	
ISSUED FOR TENDER:	
ISSUED FOR CONSTRUCTION:	

DWG. NO.: A 1.0

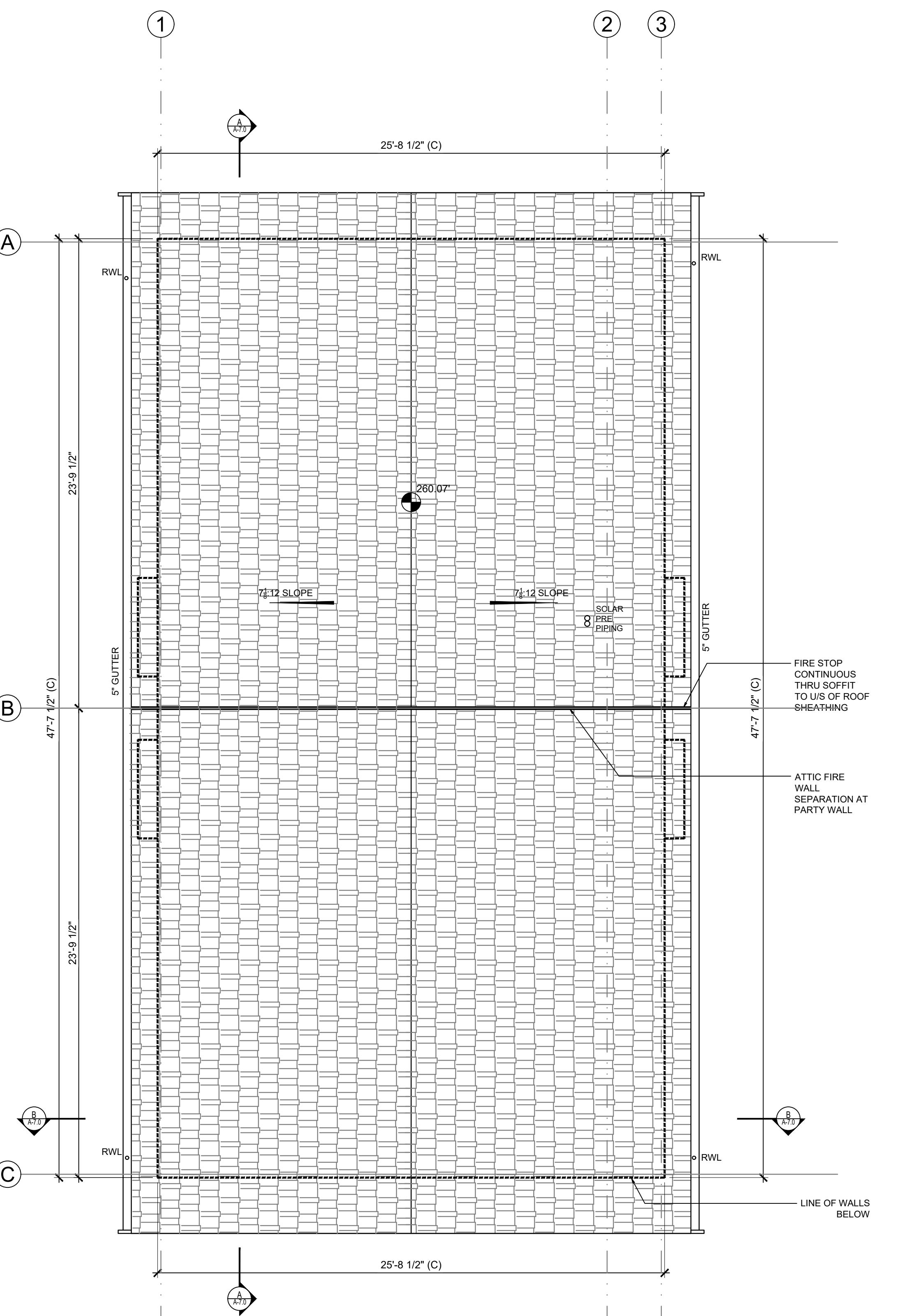
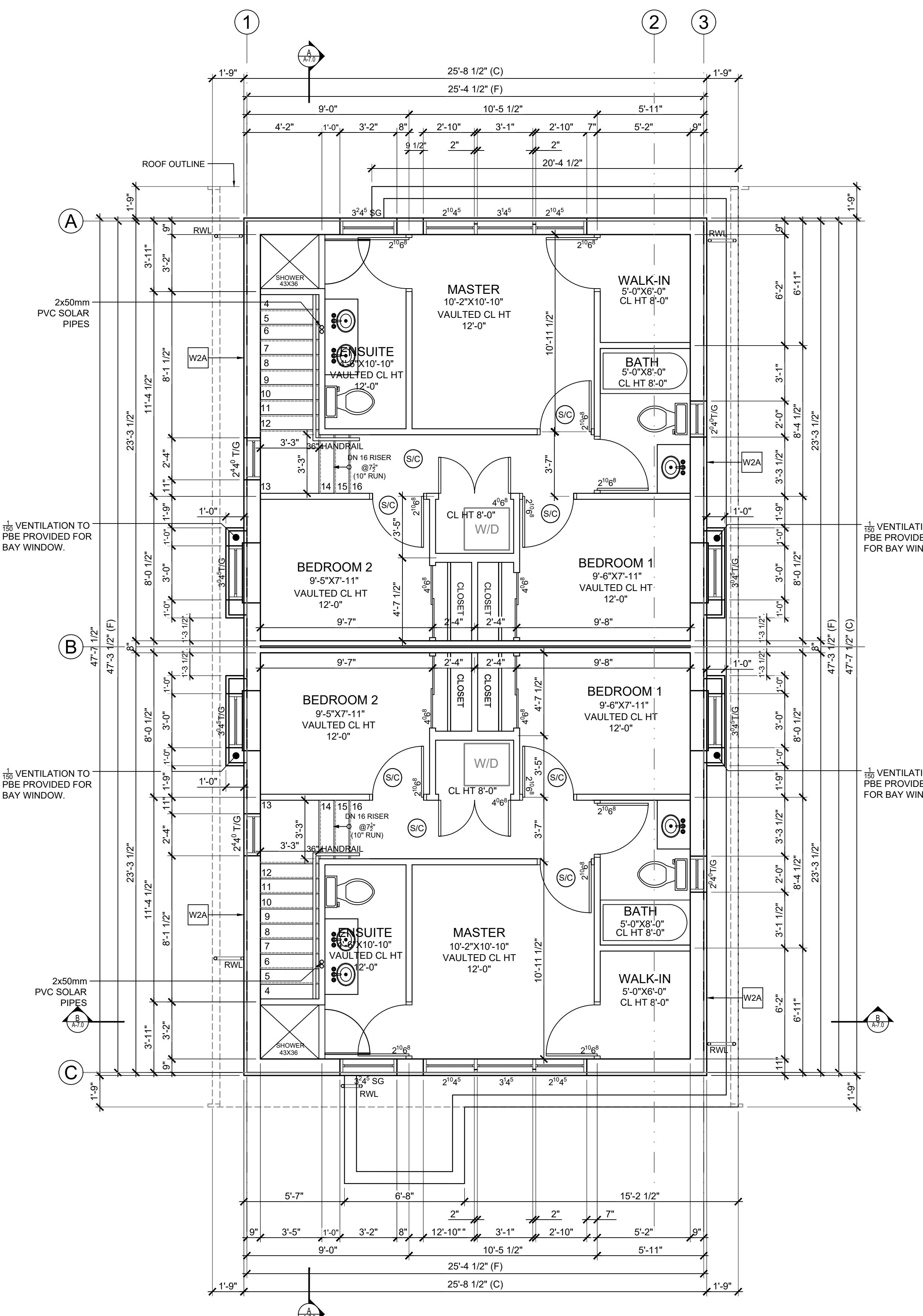


DUPLEX RESIDENCE

2979 EAST 7TH AVENUE

VANCOUVER, BC

V5M 1V2



PROJECT:	2020-100
DATE:	2020.05.20
	CRAWL SPACE FLOORING
	2020.09.29
COV DEFICIENCY	
TITLE:	2ND FLOOR AND ROOF PLANS
DATE:	MAY 14, 2020
SCALE:	1/4"=1'-0"
DRAWN:	D KWAN / S CALIMLIM
REVISION:	
ISSUED FOR PERMIT:	
ISSUED FOR TENDER:	
ISSUED FOR CONSTRUCTION:	
DWG. NO.:	A 3.0

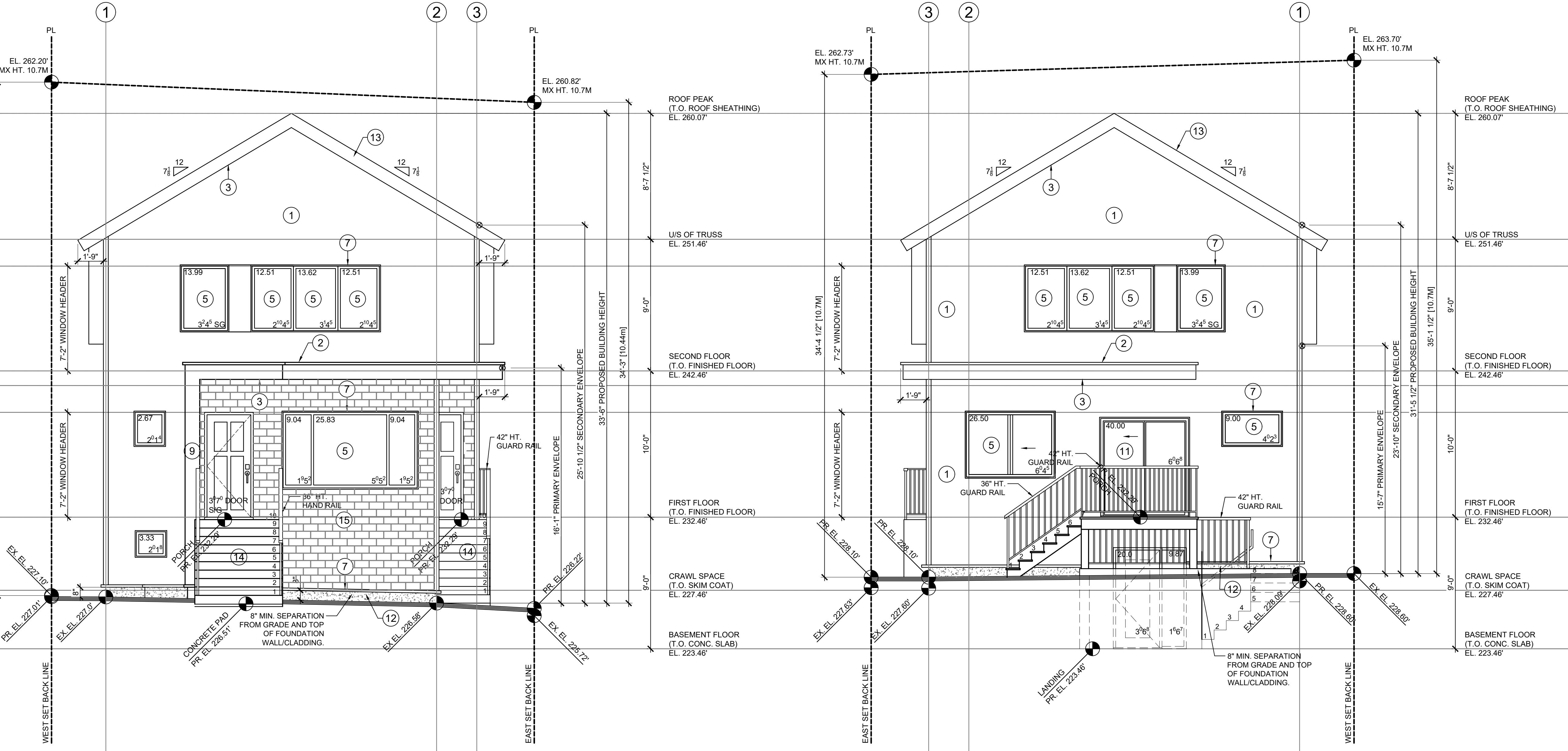
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A 3.0

DUPLEX RESIDENCE 2979 EAST 7TH AVENUE VANCOUVER, BC V5M 1V2

PROJECT: 2020-100
2020.05.20 CRAWL SPACE FLOORING
2020.09.29 COV DEFICIENCY

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SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

SPATIAL SEPARATION SUMMARY:	
SOUTH (FRONT) FACE:	
DISTANCE TO STREET PL:	24'-4 ¹ / ₂ " (7.43m)
MAX OPENING:	100%
EXPOSED BUILDING FACE:	716.74 SQ.FT.
PROPOSED AREA OF UNPROTECTED OPENINGS:	102.54 SQ.FT.

NORTH ELEVATION

SCALE: 1/4" = 1'-0"

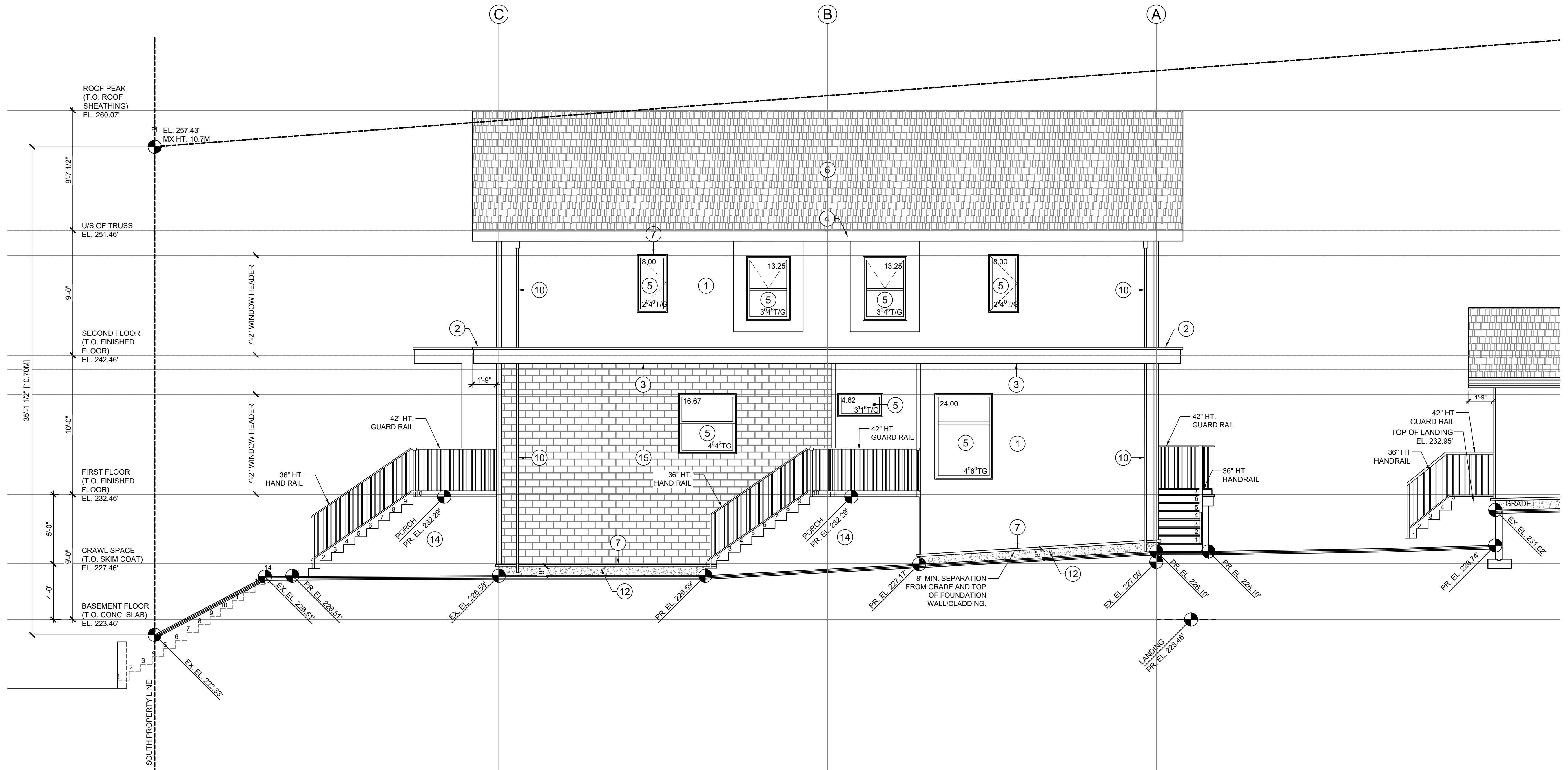
SPATIAL SEPARATION SUMMARY:	
NORTH (REAR) FACE:	
DISTANCE TO CL OF LANE:	50'-0" + 10'-0" = 60'-0" (18.29m)
MAX. OPENING:	100%
EXPOSED BUILDING FACE:	688.85 SQ.FT.
PROPOSED AREA OF UNPROTECTED OPENINGS:	158.00 SQ.FT.

TYPICAL MATERIALS LEGEND

- (1) HARDIE BOARD PANELS
- (2) METAL PANEL CLAD FASCIA, WRAPPED CAP & BASE
- (3) CLEAR SEALED T&G HEMLOCK FINELINE & SOFFITS
- (4) CONTINUOUS MINIMAL GUTTERS ON PAINTED 2X8 FASCIA
- (5) CASCADIA UNIVERSAL SERIES WINDOWS
- (6) ASPHALT SHINGLES ROOFING
- (7) METAL TRIMS, CORNERS BREAKSHAPES, CAP & BASE FLASHING
- (8) GUARDRAILS - ALUMINUM RAILING
- (9) CLEAR STAINED VG FIR FRONT DOOR, MULTI-POINT HARDWARE
- (10) 3" ROUND METAL DOWNSPOUT - POWDER COATED
- (11) HIGH PERFORMANCE SLIDING OR FRENCH DOORS
- (12) CONCRETE WALLS - PARGE AND PAINTED AS REQUIRED
- (13) 2X10 PAINTED BARGE BOARDS
- (14) CAST IN PLACE CONCRETE TREADS AND RISERS
- (15) LEDGESTONE OR STONE VENEER SIDING

TITLE:	SOUTH AND NORTH ELEVATIONS
DATE:	MAY 14, 2020
SCALE:	1/4"=1'-0"
DRAWN:	D KWAN / S CALIMLIM
REVISION:	
ISSUED FOR PERMIT:	
ISSUED FOR TENDER:	
ISSUED FOR CONSTRUCTION:	

DWG. NO.: A 4.0



EAST ELEVATION

SCALE: 1/4" = 1'-0"

SPATIAL SEPARATION SUMMARY:

EAST (SIDE) FACE:
DISTANCE TO PL: 4'-0" (1.22m)

EXPOSED BUILDING FACE: 1,116.97 SQ.FT.

ALLOWABLE PERCENTAGE
OF UNPROTECTED OPENINGS: 111.70 SQ.FT. (10% ALLOWABLE)
AS PER VBBL9.10.15.4.(7)

PROPOSED AREA OF

NOTE9

- CLADDING: NON-COMBUSTIBLE AS PER VBBL9.10.15.5.(13)
WALL FIRE RATING: 1 HOUR WITH ROCKWOOL INSULATION AS PER
VBBL9.10.15.5.(13)
ROOF SOFFITS: NO OPENINGS ALLOWED UP TO 1.2M FROM P/L AS PER
VBBL9.10.15.5.(10)
WINDOWS: ALL TO BE GLAZED WITH TEMPERED GLASS AS PER
VBBL9.10.15.4 (7)

TYPICAL MATERIALS LEGEND

- (1) HARDIE BOARD PANELS
 - (2) METAL PANEL CLAD FASCIA, WRAPPED CAP & BASE
 - (3) CLEAR SEALED T&G HEMLOCK FINELINE & SOFFITS
 - (4) CONTINUOUS MINIMAL GUTTERS ON PAINTED 2X8 FASCIA
 - (5) CASCADIA UNIVERSAL SERIES WINDOWS
 - (6) ASPHALT SHINGLES ROOFING
 - (7) METAL TRIMS, CORNERS BREAKSHAPES, CAP & BASE FLASHING
 - (8) GUARDRAILS - ALUMINUM RAILING
 - (9) CLEAR STAINED VG FIR FRONT DOOR, MULTI-POINT HARDWARE
 - (10) 3" ROUND METAL DOWNSPOUT - POWDER COATED
 - (11) HIGH PERFORMANCE SLIDING OR FRENCH DOORS
 - (12) CONCRETE WALLS - PARGE AND PAINTED AS REQUIRED
 - (13) 2X10 PAINTED BARGE BOARDS
 - (14) CAST IN PLACE CONCRETE TREADS AND RISERS
 - (15) LEDGESTONE OR STONE VENEER SIDING

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Not to scale the drawings.

LE:	EAST ELEVATION
TE:	MAY 14, 2020
ALE:	1/4"=1'-0"
AWN:	D KWAN/ S CALIMLIM
VISION:	
ED PERMIT:	
ED TENDER:	
ED CONSTRUCTION:	
C. NO.:	

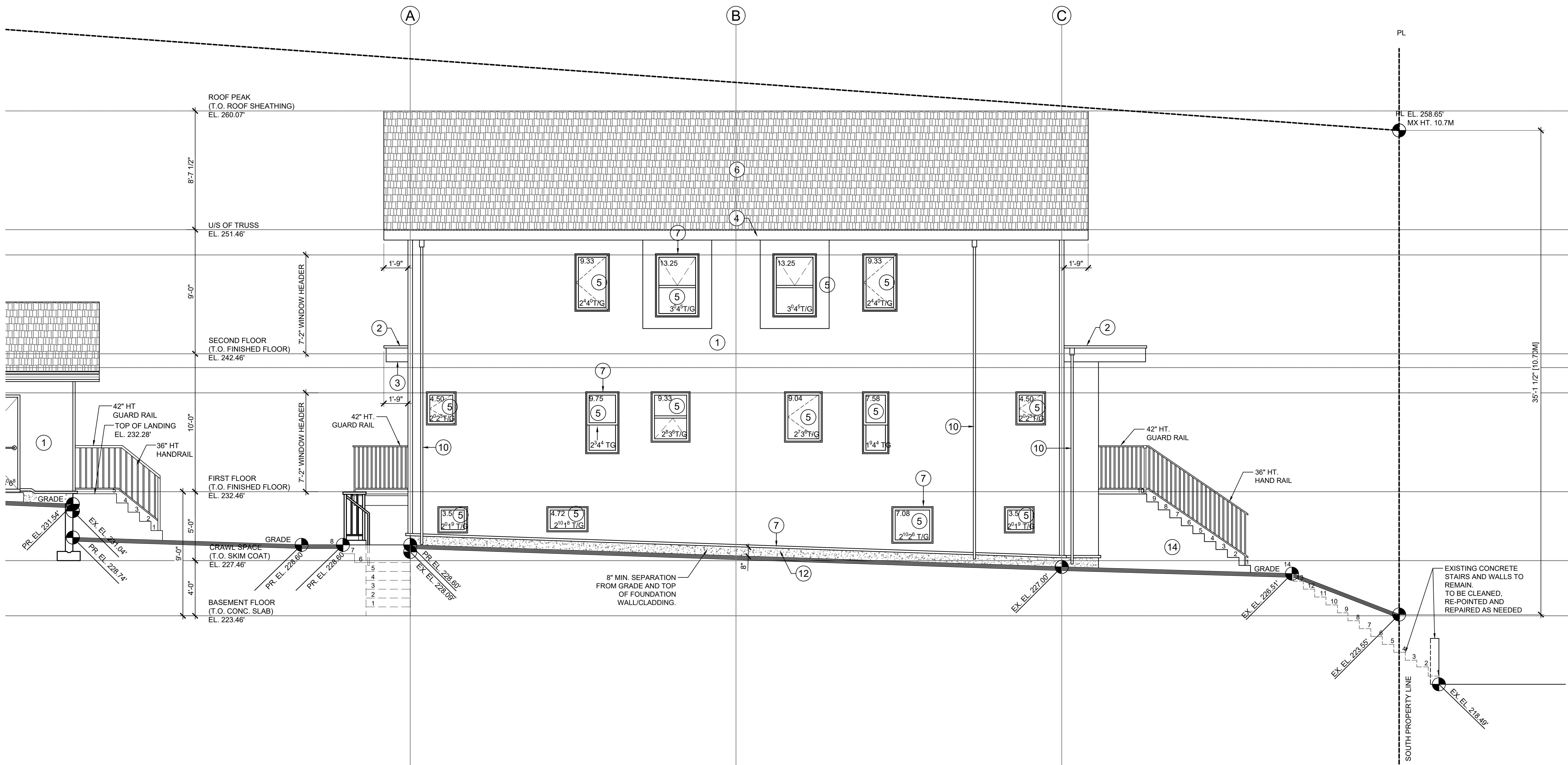
G. NO.: A 5 0

DUPLEX RESIDENCE 2979 EAST 7TH AVENUE VANCOUVER, BC V5M 1V2

PROJECT: 2020-100
2020.05.20 CRAWL SPACE FLOORING
2020.09.29 COV DEFICIENCY

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TITLE:	WEST ELEVATION
DATE:	MAY 14, 2020
SCALE:	1/4"=1'-0"
DRAWN:	D KWAN / S CALIMLIM
REVISION:	
ISSUED FOR PERMIT:	
ISSUED FOR TENDER:	
ISSUED FOR CONSTRUCTION:	
DWG. NO.:	A 6.0



WEST ELEVATION

SCALE: 1/4" = 1'-0"

SPATIAL SEPARATION SUMMARY:

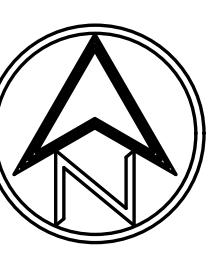
WEST (SIDE) FACE:
DISTANCE TO PL: 3'-3 $\frac{1}{2}$ " (1.00m)
EXPOSED BUILDING FACE: 1,090.84 SQ.FT.
ALLOWABLE PERCENTAGE OF UNPROTECTED OPENINGS: 109.08 SQ.FT. (10% ALLOWABLE)
AS PER VBBL9.10.15.4.(7)
PROPOSED AREA OF UNPROTECTED OPENINGS: 108.66 SQ.FT.

NOTES:
 1. CLADDING: NON-COMBUSTIBLE AS PER VBBL9.10.15.5.(13)
 2. WALL FIRE RATING: 1 HOUR WITH ROCKWOOL INSULATION AS PER VBBL9.10.15.5.(13)
 3. ROOF SOFFITS: NO OPENINGS ALLOWED UP TO 1.2M FROM P/L AS PER VBBL9.10.15.5.(10)
 4. WINDOWS: ALL TO BE GLAZED WITH TEMPERED GLASS AS PER VBBL9.10.15.4.(7)

TYPICAL MATERIALS LEGEND

- (1) HARDIE BOARD PANELS
- (2) METAL PANEL CLAD FASCIA, WRAPPED CAP & BASE
- (3) CLEAR SEALED T&G HEMLOCK FINELINE & SOFFITS
- (4) CONTINUOUS MINIMAL GUTTERS ON PAINTED 2x8 FASCIA
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A 6.0



DUPLEX RESIDENCE

2979 EAST 7TH AVENUE

VANCOUVER, BC

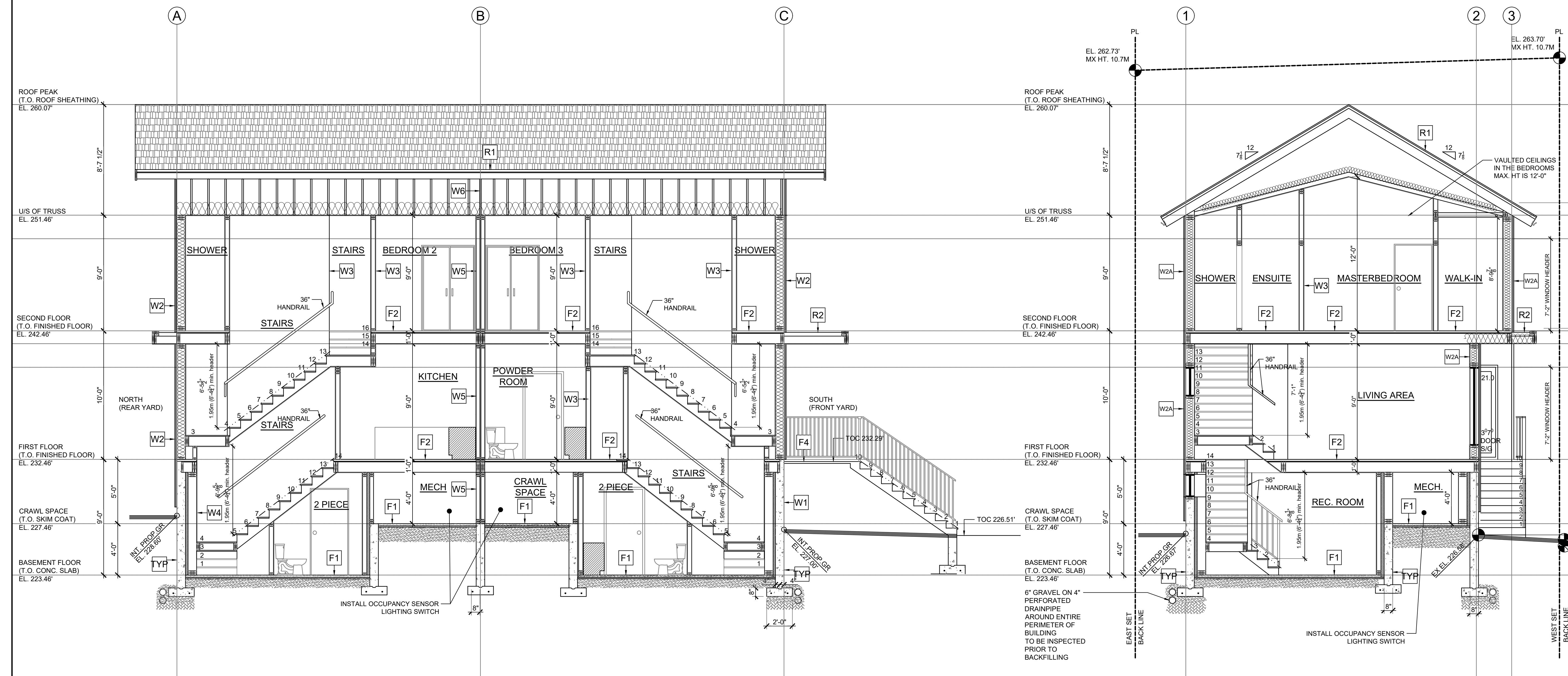
V5M 1V2

PROJECT: 2020-100
2020.05.20 2020.09.29
CRAWL SPACE FLOORING COV DEFICIENCY

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TITLE:	DUPLEX SECTIONS
DATE:	MAY 14, 2020
SCALE:	1/4"=1'-0"
DRAWN:	D KWAN / S CALIMLIM
REVISION:	
ISSUED FOR PERMIT:	
ISSUED FOR TENDER:	
ISSUED FOR CONSTRUCTION:	

DWG. NO.: A 7.0



6' GRAVEL ON 4" PERFORATED DRAINPIPE AROUND ENTIRE PERIMETER OF BUILDING TO BE INSPECTED PRIOR TO BACKFILLING