

# PROPOSED RESIDENCE

## 17 CAPELLA STREET BALWYN NORTH

### GENERAL NOTES (NCC 2022 BCA VOL 2)

- 0.1 THIS DOCUMENT HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT OF AXIOM PLUS (THE DESIGNER), FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE DESIGNER'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.
- 0.2 THESE DRAWINGS SHALL NOT BE COPIED OR REPRODUCED IN ANY FORM WITHOUT THE PRIOR WRITTEN CONSENT OF AXIOM PLUS. ALL DRAWINGS REMAIN THE PROPERTY OF AXIOM PLUS.
- 0.3 THIS DOCUMENT IS TO BE READ IN CONJUNCTION WITH ALL DRAWINGS, DETAILS AND INFORMATION PROVIDED BY THE CONSULTANTS NAMED HEREIN, AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.
- 0.4 A BUILDING PERMIT IS REQUIRED PRIOR TO THE COMMENCEMENT OF THESE WORKS. THE RELEASE OF THIS DOCUMENT IS CONDITIONAL ON THE CLIENT OBTAINING THE REQUIRED BUILDING PERMIT.
- 0.5 BUILDING WORKS MUST COMPLY WITH BUILDING REGULATIONS, LOCAL BY-LAWS AND TOWN PLANNING REQUIREMENTS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION IN WRITING.
- 0.6 ALL MATERIALS, CONSTRUCTION AND WORK PRACTICES SHALL COMPLY WITH BUT NOT BE LIMITED TO THE CURRENT ISSUE OF BUILDING REGULATIONS 2018, NATIONAL CONSTRUCTION CODE BUILDING CODE OF AUSTRALIA VOL 2 2022 (HEREAFTER REFERRED TO AS BCA), AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS REFERRED TO THEREIN.
- 0.7 WORK AND SITE MANAGEMENT PRACTICES SHALL COMPLY WITH ALL RELEVANT LAWS AND BY-LAWS.
- 0.8 IF ANY PERFORMANCE SOLUTION IS PROPOSED, IT SHALL BE ASSESSED AND APPROVED BY THE (RELEVANT BUILDING SURVEYOR/BUILDING CERTIFIER) AS MEETING BCA PERFORMANCE REQUIREMENTS PRIOR TO IMPLEMENTATION OR INSTALLATION.
- 0.9 INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY'S REQUIREMENTS.
- 0.10 SHOULD ANY CONFLICT ARISE BETWEEN THESE PLANS AND BCA, AUSTRALIAN STANDARDS OR A MANUFACTURER'S INSTRUCTIONS, THIS DISCREPANCY SHALL BE REPORTED IMMEDIATELY TO THE DESIGNER, BEFORE ANY OTHER ACTION IS TAKEN.
- 0.11 THE CLIENT AND/OR THE CLIENT'S BUILDER SHALL NOT MODIFY OR AMEND THE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF THE DESIGNER, EXCEPT WHERE THE RELEVANT BUILDING SURVEYOR MAKES MINOR NECESSARY CHANGES TO FACILITATE THE BUILDING PERMIT APPLICATION, AND WHERE SUCH CHANGES ARE REPORTED BACK TO THE DESIGNER WITHIN 48 HOURS OF THEIR MAKING.
- 0.12 THE APPROVAL BY THE DESIGNER OF A SUBSTITUTE MATERIAL, WORK PRACTICE OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ANY VARIATIONS AND/OR SUBSTITUTIONS TO MATERIALS OR WORK PRACTICES SHALL BE ACCEPTED BY ALL PARTIES TO THE BUILDING CONTRACT AND, WHERE APPLICABLE, THE RELEVANT BUILDING SURVEYOR, PRIOR TO IMPLEMENTATION.
- 0.13 FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- 0.14 TITLE BOUNDARY MEASUREMENTS ARE SHOWN IN METRES. ALL OTHER MEASUREMENTS ARE IN MILLIMETRES, UNLESS NOTED OTHERWISE.
- 0.15 UNLESS NOTED OTHERWISE, DIMENSIONS ON FLOOR PLANS, SECTIONS AND EXTERNAL ELEVATIONS REPRESENT TIMBER FRAME AND STRUCTURAL MEMBERS, NOT FINISHED LININGS/CLADDINGS.
- 0.16 WINDOW SIZES ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER.
- 0.17 THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS, SPECIFICATIONS, AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THE DESIGNER FOR CLARIFICATION.
- 0.18 PROTECTIVE OUTRIGGERS, FENCES, AWNINGS, HOARDING, BARRICADES AND THE LIKE SHALL BE INSTALLED WHERE NECESSARY TO GUARD AGAINST DANGER TO LIFE OR PROPERTY OR WHEN REQUIRED BY THE RELEVANT BUILDING SURVEYOR AND/OR COUNCIL.
- 0.19 WHERE REQUIRED BY COUNCIL, THE BUILDER SHALL CONSTRUCT A TEMPORARY CROSSING PLACE OVER THE FOOTPATH.
- 0.20 ALL PRACTICABLE MEASURES SHALL BE IMPLEMENTED TO MINIMISE WASTE TO LANDFILL. THE BUILDER MAY USE A CONSTRUCTION WASTE RECOVERY SERVICE, OR SORT AND TRANSPORT RECYCLABLE MATERIALS TO THE APPROPRIATE REGISTERED RECYCLER. MATERIALS SHALL NOT BE BURNED ON SITE.
- 0.21 A SITE MANAGEMENT PLAN SHALL BE IMPLEMENTED FROM THE COMMENCEMENT OF WORKS, TO CONTROL SEDIMENT RUN-OFF IN ACCORDANCE WITH RELEVANT STATE/COUNCIL GUIDELINES. SILT FENCES SHALL BE PROVIDED TO THE LOW SIDE OF THE ALLOTMENT AND AROUND ALL SOIL STOCKPILES AND STORM WATER INLET PITS/SUMPS AND SILT STOP FILTER BAGS OR EQUIVALENT SHALL BE PLACED OVER ALL STORM WATER ENTRY PITS. EROSION CONTROL FABRIC SHALL BE PLACED OVER GARDEN BEDS TO PREVENT SURFACE EROSION.
- 0.22 DUST-CREATING MATERIAL SHALL BE KEPT SPRAYED WITH WATER TO PREVENT ANY NUISANCE FROM DUST.
- 0.23 WASTE MATERIALS SHALL NOT BE PLACED IN ANY STREET, ROAD OR RIGHT OF WAY.
- 0.24 EARTHWORKS (UNRETAINED) SHALL NOT EXCEED 2M
- 0.25 CUT AND FILL BATTERS SHALL COMPLY WITH BCA TABLE 3.2.1
- 0.26 INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS. LOCATIONS OF WATER AND GAS METERS TO BE CONFIRMED ON SITE BY PLUMBER PRIOR TO CONSTRUCTION.

### PROTECTION OF THE BUILDING FABRIC

- 1.1 THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.
- 1.2 WINDOWS, DOORS AND SERVICE PENETRATIONS SHALL BE FLASHED ALL AROUND.
- 1.3 ALL PLIABLE MEMBRANES SHALL BE INSTALLED TO COMPLY AND BE IN ACCORDANCE WITH PART 10.8.1 OF THE ABCS HOUSING PROVISIONS STANDARD 2022.
- 1.4 GUTTERS AND DRAINAGE SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH AS3500.3.
- 1.5 TEMPORARY DOWNPipes ARE TO BE USED DURING CONSTRUCTION TO DIVERT WATER AWAY FROM THE FOOTINGS.
- 1.6 ANTI-PONDING DEVICES/BOARDS SHALL BE INSTALLED ACCORDING TO BCA 7.3.5.
- 1.7 DAMPCOURSES WITH WEEPHOLES AND CAVITY FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH AS4773.2.
- 1.8 SURFACES AROUND THE PERIMETER OF A RESIDENTIAL SLAB SHALL FALL AWAY FROM THAT SLAB BY NOT LESS THAN 50MM OVER THE FIRST 1M, WHERE NOT STIPULATED IN THE GEOTECHNICAL REPORT, FREEBOARD SHALL BE NOT LESS THAN 50MM FROM AN IMPERMEABLE SURFACE OR 150MM FROM A PERMEABLE SURFACE.
- 1.9 SURFLOOR VENTS SHALL BE LOCATED >600MM FROM CORNERS AND BE INSTALLED BELOW REARERS. SUCH VENTS SHALL PROVIDE A RATE PER 1000MM RUN OF EXTERNAL OR INTERNAL CROSS WALLS OF:
- 7.500MM<sup>2</sup> CLEAR VENTILATION WHERE PARTICLE BOARD FLOORING IS USED; OR
  - 6.000MM<sup>2</sup> FOR OTHER SUBLLOOR TYPES.
- 1.10 WHERE A BUILDING OTHER THAN DETACHED CLASS 10 IS LOCATED IN A TERMITE-PRONE AREA, THE BUILDING SHALL BE PROVIDED WITH A TERMITE MANAGEMENT SYSTEM COMPLIANT WITH AS3660.1 OR AS3660.2.
- 1.11 IN SALINE OR INDUSTRIAL ENVIRONMENTS, MASONRY UNITS, MORTAR, AND ALL BUILT-IN COMPONENTS SHALL COMPLY WITH THE DURABILITY REQUIREMENTS OF TABLE 4.1 OF AS4773.1, PART 1: DESIGN.
- 1.12 BUILDING TIE-DOWNS SHALL BE APPROPRIATE FOR THE SITE WIND CLASSIFICATION AND PROVIDED IN ACCORDANCE WITH BCA 5.6.6.
- 1.13 CORROSION PROTECTION SHALL BE SUITED TO THE SITE CONTEXT AND PROVIDED FOR BUILT-IN STRUCTURAL STEEL MEMBERS SUCH AS STEEL LINTELS, SHELF ANGLES, CONNECTORS, ACCESSORIES (OTHER THAN WALL TIES) IN ACCORDANCE WITH TABLE 4.1 OF AS4773.1 MASONRY IN SMALL BUILDINGS, PART 1: DESIGN.
- 1.14 SHEET ROOFING SHALL BE PROTECTED FROM CORROSION IN A MANNER APPROPRIATE TO THE SITE CONTEXT, IN ACCORDANCE WITH BCA TABLE 7.2.2A.
- 1.15 SINGLE LEAF MASONRY WALLS SHALL BE WEATHERPROOFED PER BCA 5.7.6.
- 1.16 [IN CLIMATE ZONES 6, 7 AND 8] UNLESS EXCLUDED BY BCA 10.8.3(2) ROOFS SHALL BE PROVIDED WITH VENTILATION OPENINGS PER BCA 10.8.3.
- 1.17 EXTERNAL WATERPROOFING FOR FLAT ROOFS, ROOF TERRACES, BALCONIES AND TERRACES AND OTHER SIMILAR HORIZONTAL SURFACES LOCATED ABOVE INTERNAL SPACES OF A BUILDING SHALL COMPLY WITH BCA H20.
- 1.18 WATERPROOFING OF WET AREAS - BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE - SHALL BE PROVIDED IN ACCORDANCE WITH BCA 10.2.
- 1.19 BALCONY WATERPROOFING SHALL BE INSTALLED IN ACCORDANCE WITH AS4654.1 & AS4654.2

### FOOTINGS

- 2.1 FOOTINGS SHALL NOT, UNDER ANY CIRCUMSTANCE, ENCROACH OVER TITLE BOUNDARIES OR EASEMENT LINES.
- 2.2 ALL CONCRETE FOOTINGS SHALL BE FOUNDED AT A DEPTH TO A MINIMUM REQUIRED BEARING CAPACITY AND/OR IN ACCORDANCE WITH RECOMMENDATIONS CONTAINED IN SOIL REPORT (OR OTHERWISE AT ENGINEER'S DISCRETION).

### SERVICES

- 3.1 ANY LOCATIONS OF SOLAR COLLECTOR PANELS SHOWN ON THE PLANS ARE INDICATIVE ONLY. LOCATION AND SIZE ARE DEPENDENT ON MANUFACTURER'S/INSTALLER'S RECOMMENDATION.
- 3.2 DUCTWORK FOR HEATING AND COOLING SYSTEMS SHALL COMPLY WITH AS4254 & AS/NZS 4859.1 IN ACCORDANCE WITH CLIMATE ZONE REQUIREMENTS SET DOWN IN BCA TABLE 3.

### STORMWATER

- 4.1 ALL STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT SUPPLIES APPROVAL.
- 4.2 UNLESS OTHERWISE STATED WITHIN DRAINAGE PLANS, THE STORMWATER LINE IS TO BE LAID TO A MINIMUM GRADE OF 1:100 AND CONNECTED TO THE LEGAL POINT OF STORMWATER DISCHARGE. PROVIDE INSPECTION OPENINGS AT 9000MM C/C AND AT EACH CHANGE OF DIRECTION.
- 4.3 THE COVER TO UNDERGROUND STORMWATER DRAINS SHALL BE NOT LESS THAN 100MM - UNDER SOIL.
- 50MM - UNDER PAVED OR CONCRETE AREAS
  - 100MM - UNDER UNREINFORCED CONCRETE OR PAVED DRIVEWAYS
  - 75MM - UNDER REINFORCED CONCRETE DRIVEWAYS
- 4.4 THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL AND/OR CIVIL ENGINEERING COMPUTATIONS & DRAWINGS.
- 4.5 DOWNPipes ARE TO BE SPACED AT MAXIMUM 12m CENTERS.
- 4.6 LOCATIONS OF DOWNPipes SHOWN ON PLANS ARE INDICATIVE ONLY AND ARE TO BE CONFIRMED BY THE PLUMBER ON SITE. CONNECT NEW DOWNPipes FROM ROOF INTO STORMWATER DRAINS INTO LEGAL POINT OF DISCHARGE CONFIRM ON SITE.

### SAFETY OF BUILDING USERS

- 5.1 WHERE STAIRS, RAMPS AND BALUSTRADES ARE TO BE CONSTRUCTED, THESE SHALL COMPLY WITH ALL PROVISIONS OF BCA 11.2.
- 5.2 OTHER THAN SPIRAL STAIRS:
- RISERS SHALL BE 190MM MAX AND 115MM MIN
  - GOINGS SHALL BE 355MM MAX AND 240MM MIN
  - 2R+G SHALL BE 700MM MAX AND 550MM MIN
- 5.3 THERE SHALL BE LESS THAN 125MM GAP BETWEEN OPEN TREADS.
- 5.4 ALL TREADS, LANDINGS AND THE LIKE SHALL HAVE A SLIP RESISTANCE CLASSIFICATION OF P3 OR R10 FOR DRY SURFACE CONDITIONS AND P4 OR R11 FOR WET SURFACE CONDITIONS, OR A NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION OF P3 FOR DRY SURFACE CONDITIONS AND P4 FOR WET SURFACE CONDITIONS.
- 5.5 BARRIERS SHALL BE PROVIDED WHERE IT IS POSSIBLE TO FALL 1M OR MORE FROM THE LEVEL OF THE TRAFFICABLE SURFACE TO THE SURFACE BEHIND. SUCH BARRIERS (OTHER THAN TENSIONED WIRE BARRIERS) SHALL BE:
- 1000MM MIN ABOVE FINISHED STAIR LEVEL (FSL) OF BALCONIES, LANDINGS ETC; AND
  - 865MM MIN ABOVE FSL OF STAIR NOSING OR RAMP; AND
  - VERTICAL, WITH GAPS OF NO MORE THAN 125MM.
- 5.6 WHERE THE FLOOR BELOW A BEDROOM WINDOW IS 2M OR MORE ABOVE THE SURFACE BEHIND, THE WINDOW SHALL COMPLY WITH BCA CLAUSE 11.3.7.
- 5.7 WHERE THE FLOOR BELOW A WINDOW OTHER THAN IN A BEDROOM IS 4M OR MORE ABOVE THE SURFACE BEHIND, THE WINDOW SHALL COMPLY WITH BCA CLAUSE 11.3.8.
- 5.8 WHERE A BEDROOM WINDOW IS 2M OR MORE ABOVE THE SURFACE BEHIND, OR IT IS POSSIBLE TO FALL 4M OR MORE FROM THE LEVEL OF ANY TRAFFICABLE SURFACE TO THE SURFACE BEHIND, ANY HORIZONTAL ELEMENT WITHIN 150MM AND 760MM ABOVE THE FLOOR SHALL NOT FACILITATE CLIMBING.
- 5.9 HANDRAILS SHALL BE CONTINUOUS, WITH TOPS SET >865MM VERTICALLY ABOVE STAIR NOSING AND FLOR SURFACE OF RAMPS.
- 5.10 WIRE BARRIERS SHALL COMPLY WITH BCA 11.3.4 AND 11.3.6.
- 5.11 A GLASS BARRIER OR WINDOW SERVING AS A BARRIER SHALL COMPLY WITH BCA H1D8.
- 5.12 CLASS 1 BUILDINGS WITH AIR PERMEABILITY OF NOT MORE THAN 5 MS<sup>3</sup>/HR.M<sup>2</sup> AT 50 PA SHALL BE PROVIDED WITH A MECHANICAL VENTILATION SYSTEM COMPLYING WITH H6V3 INWARD-OPENING SWING DOORS TO FULLY ENCLOSED SANITARY COMPARTMENTS SHALL COMPLY WITH BCA CLAUSE 10.4.2.
- 5.13 ALL SHOWER WALLS AND WALLS ADJACENT TO TOILET SHALL BE BRACED WITH 12MM PLY FOR FUTURE GRAB RAILS OR SUPPLY NOGGINGS WITH A THICKNESS OF AT LEAST 25MM IN ACCORDANCE WITH RECOMMENDATIONS OF LIVELINE HOUSING DESIGN GUIDELINES.
- 5.14 FLOORING IN WET AREAS, LAUNDRY AND KITCHEN SHALL BE SLIP RESISTANT.
- 5.15 DOOR HARDWARE SHALL BE INSTALLED 900MM - 1100MM ABOVE THE FINISHED FLOOR.
- 5.16 THERE SHALL BE A LEVEL TRANSITION BETWEEN ABUTTING INTERNAL SURFACES (A MAXIMUM VERTICAL TOLERANCE OF 5MM BETWEEN ABUTTING SURFACES IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELLED).

### TIMBER FRAMING

- 6.1 STANDARD TIMBER ROOFING AND WALL FRAMING SHALL BE PROVIDED IN ACCORDANCE WITH AS1684 (RESIDENTIAL TIMBER-FRAMED CONSTRUCTION) AND ALL RELEVANT SUPPLEMENTS.

### GLAZING

- 7.1 GLAZED UNITS SHALL BE INSTALLED IN ACCORDANCE WITH BCA 8.3.2.
- 7.2 FULLY FRAMED GLAZING INSTALLED IN THE PERIMETER OF BUILDINGS SHALL COMPLY WITH BCA 8.3.3.
- 7.3 GLASS - INCLUDING, BUT NOT LIMITED TO, WINDOWS, DOORS, SCREENS, PANELS, SPLASHBACKS AND BARRIERS - SHALL COMPLY WITH BCA 3.3.3.
- 7.4 GLAZING SUBJECT TO HUMAN IMPACT SHALL COMPLY WITH BCA 8.4.

### WATERPROOFING

- 8.1 PROVIDE AN IMPERVIOUS SUBSTRATE WITH WATER STOP AND SELECT SURFACE FINISH TO FLOORS WITHIN MIN 150MM OF AN UNENCLOSED SHOWER AND IMPERVIOUS SUBSTRATE WITH SELECT SURFACE FINISH TO WALLS AT 1800MM ABOVE FLOORS AND 150MM ABOVE BATH, SINKS, BASINS AND TROUGHS SPLASH BACKS AND THE LIKE. THE ENTIRE BATHROOM & ENSUITE FLOOR MUST BE MADE WATERPROOF. THE ENTIRE LAUNDRY & WC FLOORS MUST BE MADE WATER RESISTANT.
- 8.2 WATERPROOFING AND WATER RESISTANCE OF WET AREAS, BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3740-2010: WATERPROOFING OF DOMESTIC WET AREAS.
- 8.3 ALL WET AREAS TO COMPLY WITH B.C.A PART 3.8.1 AND A.S.3740. WALL FINISHES SHALL BE IMPERVIOUS TO A HEIGHT OF 1800MM ABOVE FLOOR LEVEL TO SHOWER ENCLOSURES & 150MM ABOVE BATHS, BASINS, SINKS AND TROUGHS IF WITHIN 75MM OF THE WALL.

ALL WORKS SHALL COMPLY WITH THE FOLLOWING AUSTRALIAN STANDARDS [CURRENT EDITIONS] BUT NOT LIMITED TO:

- AS 1288 GLASS IN BUILDING - SELECTION & INSTALLATION  
 AS 1562 DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING METAL  
 AS 1684 NATIONAL TIMBER FRAMING CODE  
 AS 1860 INSTALLATION OF PARTICLE BOARD FLOORING  
 AS 2047 WINDOWS IN BUILDINGS  
 AS 2049 ROOF TILES  
 AS 2050 FIXING OF ROOF TILES  
 AS 2070 RESIDENTIAL SLABS & FOOTINGS CONSTRUCTION  
 AS 2904 DAMP-PROOF COURSES & FLASHING  
 AS 3600 CONCRETE STRUCTURES  
 AS 3660.1 PROTECTION OF BUILDING AGAINST SUBTERRANEAN TERMITES  
 AS 3700 MASONRY IN BUILDINGS  
 AS 3786 SMOKE ALARMS  
 AS 4055 WIND LOADING FOR HOUSING  
 AS 4100 STEEL STRUCTURES  
 AS 4200.1 PLIABLE BUILDING MEMBRANES AND UNDERLAYS  
 AS 4200.2 MEMBRANE INSTALLATION

- AS 1288 GLASS IN BUILDING - SELECTION & INSTALLATION  
 AS 1562 DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING METAL  
 AS 1684 NATIONAL TIMBER FRAMING CODE  
 AS 1860 INSTALLATION OF PARTICLE BOARD FLOORING  
 AS 2047 WINDOWS IN BUILDINGS  
 AS 2049 ROOF TILES  
 AS 2050 FIXING OF ROOF TILES  
 AS 2070 RESIDENTIAL SLABS & FOOTINGS CONSTRUCTION  
 AS 2904 DAMP-PROOF COURSES & FLASHING  
 AS 3600 CONCRETE STRUCTURES  
 AS 3660.1 PROTECTION OF BUILDING AGAINST SUBTERRANEAN TERMITES  
 AS 3700 MASONRY IN BUILDINGS  
 AS 3786 SMOKE ALARMS  
 AS 4055 WIND LOADING FOR HOUSING  
 AS 4100 STEEL STRUCTURES  
 AS 4200.1 PLIABLE BUILDING MEMBRANES AND UNDERLAYS  
 AS 4200.2 MEMBRANE INSTALLATION

### BUILDING THERMAL PERFORMANCE

- T1 THE NATHERS ENERGY RATING CONTAINS INBUILT ASSUMPTIONS ABOUT THE INTEGRITY OF THE BUILDING FABRIC WITH REGARDS INSULATION, DRAUGHTPROOFING AND GLAZING. WORKS SHALL COMPLY WITH THE FOLLOWING MEASURES, TO ENSURE THAT THE AS-BUILT PERFORMANCE CORRESPONDS TO THAT MODELLED IN THE ENERGY RATING.

- T2 INSULATION SHALL BE INSTALLED TIGHT AND CONTINUOUS, WITHOUT GAPS AND CRACKS, HARD UP AGAINST INTERNAL LININGS (INCLUDING SUBFLOOR). THERE SHALL BE NO AIR GAP BETWEEN AN INTERNAL LINING AND INSULATION. JUNCTIONS BETWEEN INTERNAL AND EXTERNAL WALLS SHALL BE INSULATED.

- T3 INSULATION SHALL NOT BE CRUSHED OR COMPRESSED.

- T4 BOX GUTTERS AND MANHOLE COVERS SHALL BE INSULATED TO THE SAME R-VALUE AS THE ROOF, USING INSULATION BATT OR BLANKET OR CLOSED-CELL FOAM.

- T5 DOWNLIGHTS SHALL BE STAMPED AS IC4 RATED, AIRTIGHT AND COVERED BY INSULATION.

- T6 [IN CLIMATE ZONES 6, 7 AND 8] A VAPOUR PERMEABLE LAYER SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS IN ALL NEW EXTERNAL WALLS. THE MATERIAL SHALL BE OVERLAPPED AND FULLY TAPE ON THE INTERNAL SIDE TO ENSURE A TIGHT SEAL. ALL PENETRATIONS IN THE MEMBRANE SHALL BE SEALED, ENSURING THAT THE MATERIAL COVERS GAPS BETWEEN STUDS AND DOORS AND WINDOW FRAMES. ANY FLASHING AROUND WINDOWS SHALL BE TAPE OVER THE BUILDING WRAP.

- T7 WHERE A FOIL-BACKED MEMBRANE IS USED, TIMBER BATTENS SHALL BE USED TO MINIMISE THERMAL CONDUCTION.

- T8 ALL TRADES SHALL BE INSTRUCTED TO REPLACE ANY INSULATION THEY HAVE REMOVED IN THE COURSE OF THEIR WORK AND TO TAPE ANY CUTS/PENETRATIONS IN BUILDING WRAP. ALL PENETRATIONS SHALL BE CAULKED USING A FIT-FOR-PURPOSE FLEXIBLE SEALANT.

- T9 ALL REDUNDANT OPENINGS SUCH AS DECOMMISSIONED CHIMNEYS AND WALL VENTS SHALL BE SEALED OFF AT TOP AND BOTTOM, UNLESS AN UNFLUED GAS HEATER IS PRESENT.

- T10 CAULKING PRODUCTS SHALL BE APPROPRIATE FOR THE INTENDED APPLICATION.

- T11 BEFORE INSTALLING MOULDINGS, A FIT-FOR-PURPOSE, LONG-LASTING PROPRIETARY TAPE OR FLEXIBLE CAULKING PRODUCT SHALL BE USED TO SEAL JUNCTIONS OF:
- PLASTERBOARD AND FLOOR
  - PLASTERBOARD AND TOP PLATE (FOR SQUARE SET CORNICES)
  - VERTICAL AND HORIZONTAL PLASTERBOARD
  - TOPS, BOTTOMS AND SIDES OF ARCHITRAVES AND PLASTERBOARD.

- T12 ALL EXHAUST FANS AND DUCTS, INCLUDING RANGEHOODS, SHALL BE FITTED WITH SELF-CLOSING MECHANISMS.

- T13 EXTERNAL DOORS AND WINDOWS SHALL BE DRAUGHTPROOFED PER BCA 13.4.4 USING A DURABLE, FIT-FOR-PURPOSE SEAL.

- T14 CAVITY SLIDER POCKETS SHALL BE SEALED BEFORE INSTALLATION, EITHER BY WRAPPING WITH VAPOUR PERMEABLE MEMBRANE, OR BY SCREWING PLASTER SECURELY TO THE FRAME AND APPLYING A SILICON BEAD.

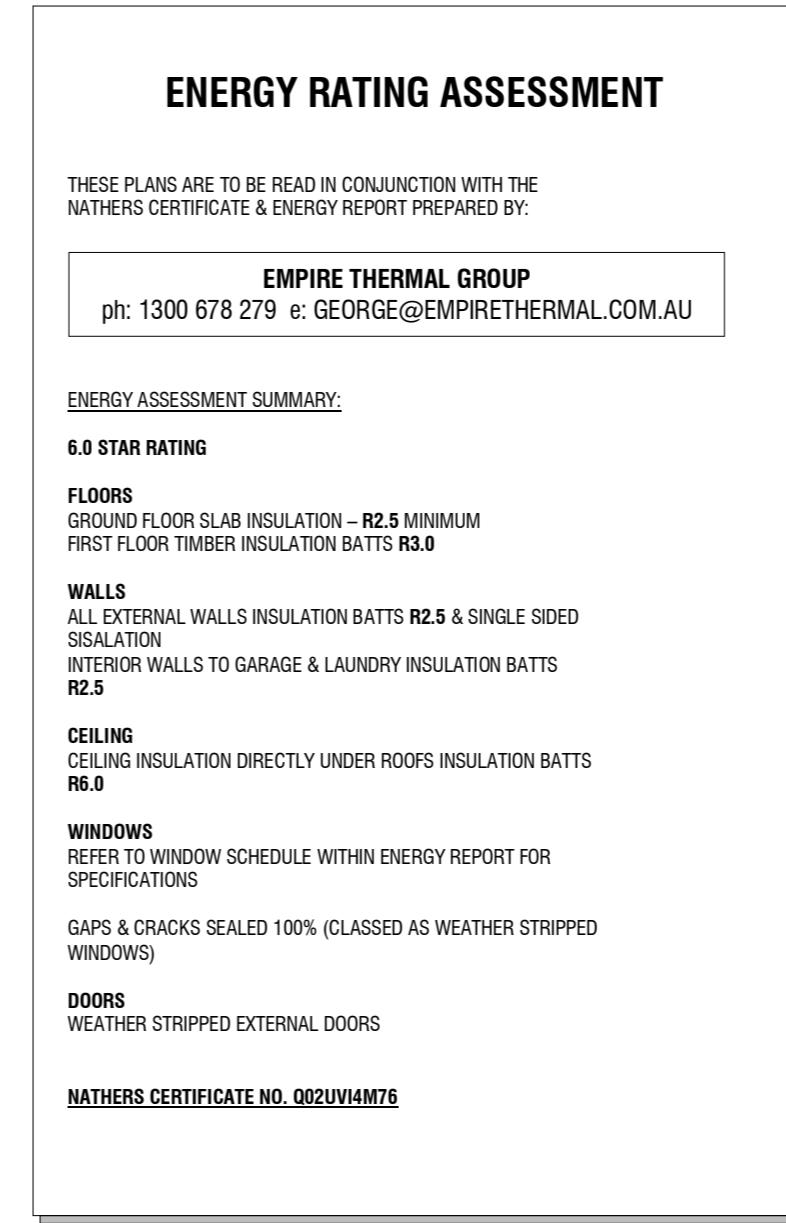
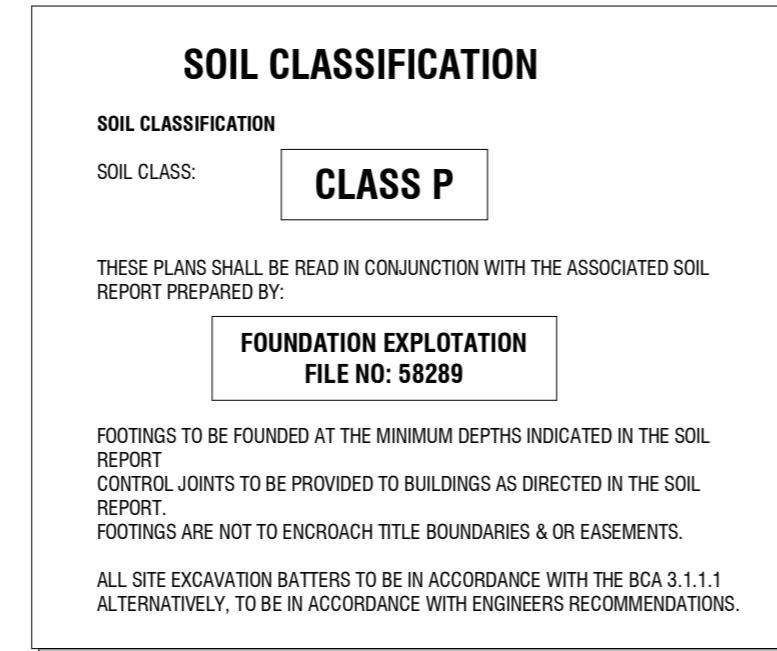
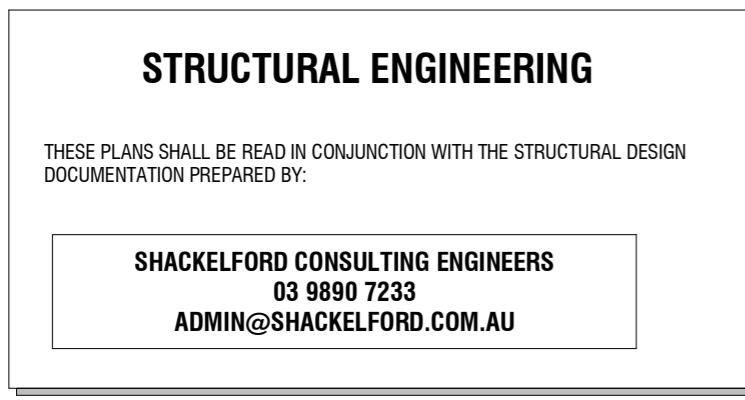
- T15 CONDITIONED CLASS 1 AND UNCONDITIONED CLASS 10A SPACES SHALL BE SEPARATED BY INSULATION. ANY OPENINGS BETWEEN SUCH SPACES SHALL BE WEATHER-STRIPPED. DOORS BETWEEN THEM ARE TO BE FITTED WITH A PERIMETER BULB SEAL.

- T16 GLAZED DOORS AND WINDOWS SHALL BE APPROPRIATELY WIND RATED, DOUBLE-GLAZED, WEATHER-STRIPPED AND FLASHED ALL AROUND.

### DRAWING INDEX

A0.01	DRAWING NOTES

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DOOR SCHEDULE			
TAG	HEIGHT	WIDTH	TYPE
D.1	2700	1800	FEATURE DOUBLE SWING
D.2	2950	820	SWING
D.3	2750	820	GLAZED SWING
D.4	2700	820	GLAZED SWING
D.5	2950	820	CAVITY SLIDING
D.6	2950	820	CAVITY SLIDING
D.7	2980	1200	CAVITY SLIDING
D.8	2960	1720	GLAZED PIVOT
D.9	2950	820	SWING
D.10	2950	820	SWING
D.11	2900	1600	FRAMELESS GLAZED DOUBLE SWING
D.12	2950	1440	DOUBLE SWING
D.13	2950	820	SWING
D.14	2950	820	CAVITY SLIDING
D.15	2950	820	CAVITY SLIDING
D.16	2910	1760	GLAZED DOUBLE SWING
D.17	2700	820	SWING
D.18	2700	820	SWING
D.19	2340	1090	DOUBLE CAVITY SLIDING
D.20	2340	720	SWING
D.21	2470	820	SWING
D.22	2950	820	SWING
D.23	2340	720	SWING
D.24	2340	720	SWING
D.25	2340	1240	DOUBLE SWING
D.26	2340	1240	DOUBLE SWING
D.27	2340	1200	SWING
D.28	2700	820	CAVITY SLIDING

NOTE: ALL DOOR JAMBS TO BE EUROJAMB SHADOWLINE

EXTERNAL MATERIAL SCHEDULE	
	BRICKWORK: PGH LANG MURSTON 'UTZON'
	ROOF TILES: MONIER 'HORIZON' COLOUR: 'BARRAMUNDI'
	RENDER FINISH COLOUR: 'EVENING HAZE'
	RENDER FINISH COLOUR: 'SURFMIST'
	GUTTERS, DOWNPipes & FASCIA COLORBOND 'MONUMENT'
	WINDOW FRAMES COLORBOND 'MONUMENT'
	ALUMINIUM BATTENS KNOTWOOD 100x50 'WHITE ASH'
	PANEL LIFT DOOR KNOTWOOD 'WHITE ASH'
	EXTERNAL CONCRETE PAVING: VIC MIX 'ALPINE ICE IVORY HALF WHITE'
	EXTERNAL TILING: TBC

C	17.02.25	ISSUE FOR TENDER
B	24.01.25	PRELIMINARY ISSUE
A	19.11.24	CONSULTANT COORDINATION ISSUE

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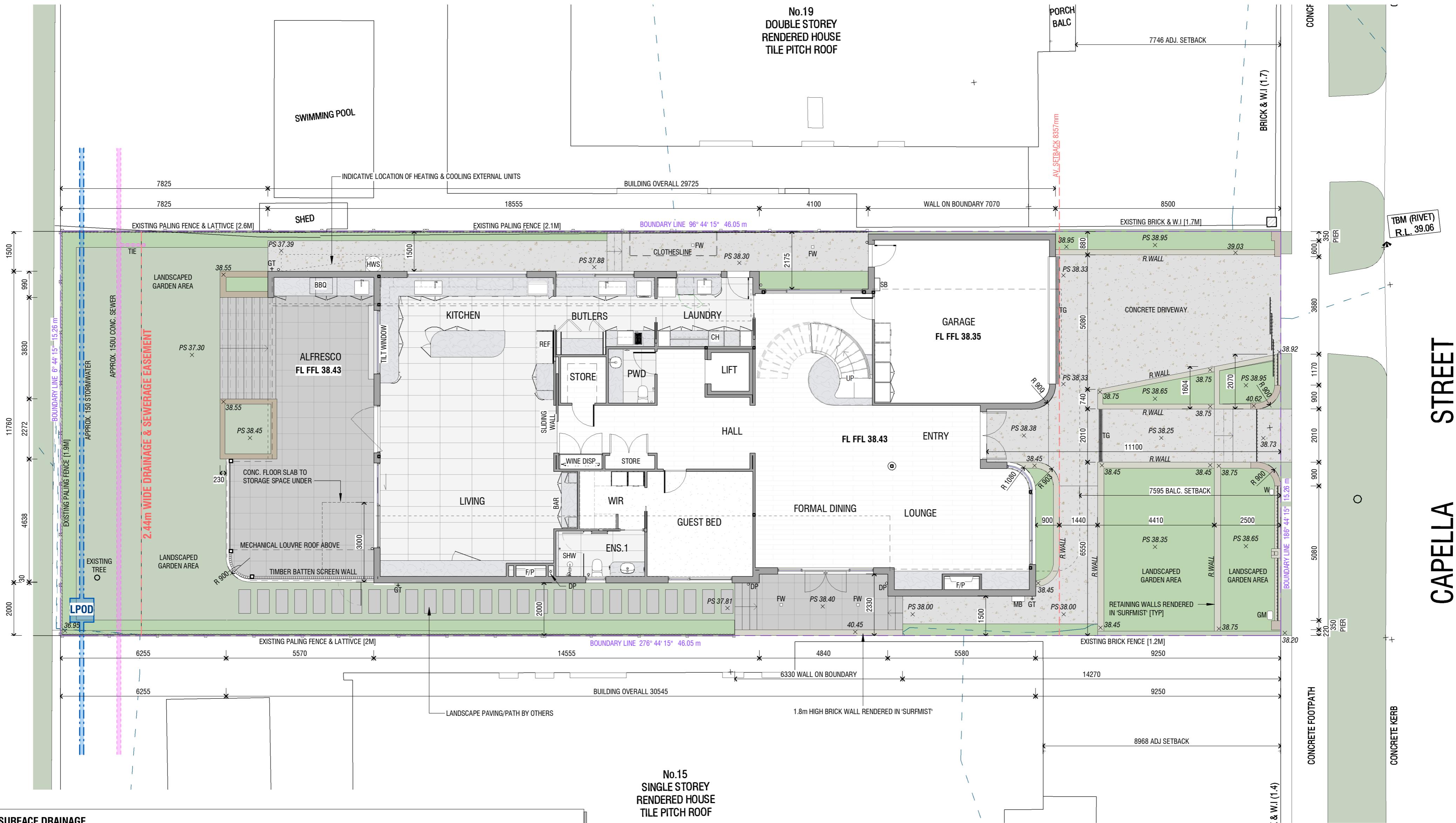
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PROJECT	PROPOSED RESIDENCE		
ADDRESS	17 CAPELLA STREET BALWYN NORTH	SHEET	A0.02

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W: WWW.AXIOMPLUS.COM.AU

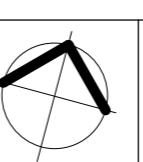
# CAPELLA STREET



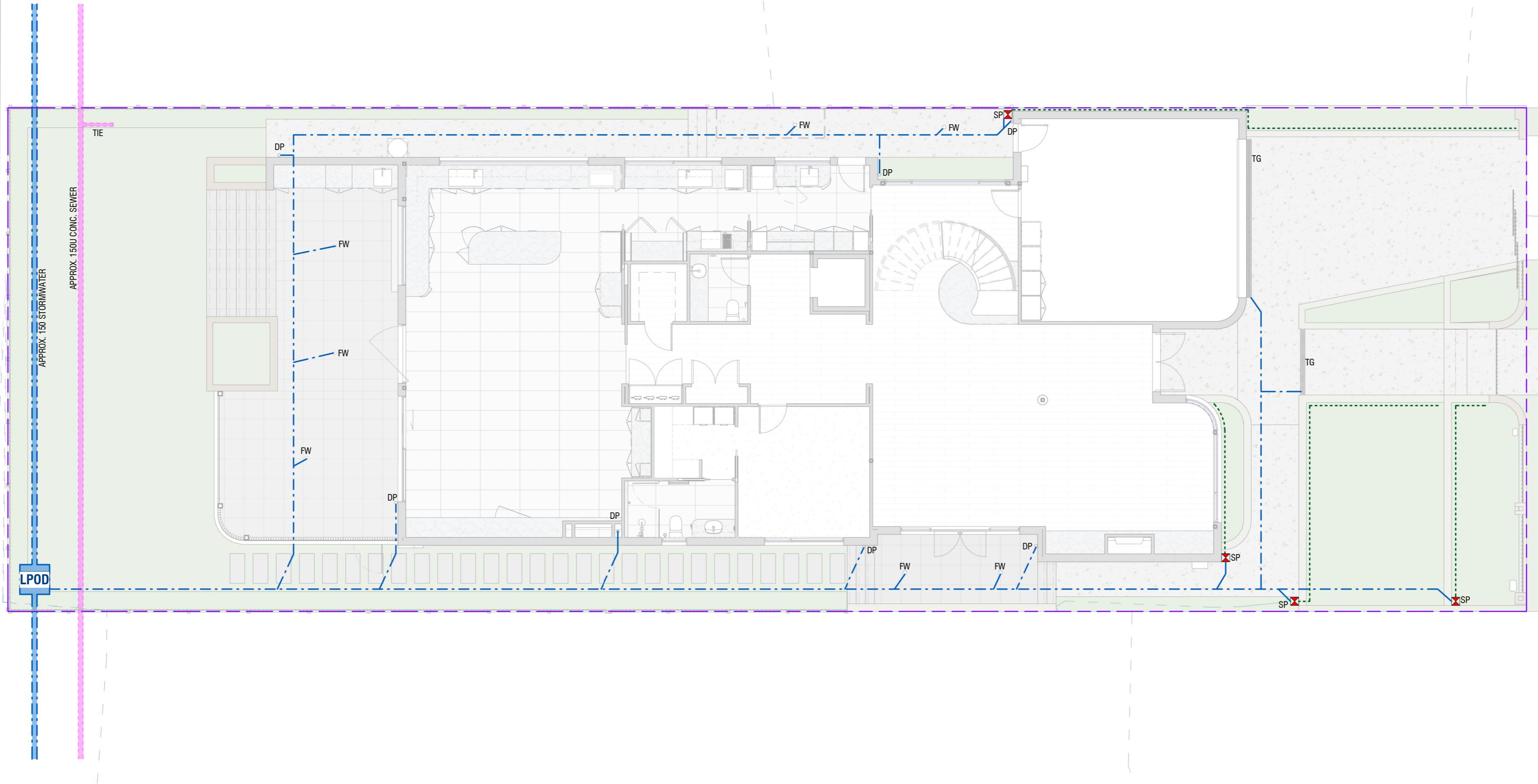
ISSUE DATE	DESCRIPTION
C 17.02.25	ISSUE FOR TENDER
B 24.01.25	PRELIMINARY ISSUE
A 19.11.24	CONSULTANT COORDINATION ISSUE

**LEGEND**

- FW FLOOR WASTE
- MB METERBOARD
- GM GAS METER
- SB SWITCHBOARD
- GT GARDEN TAP
- TG TRENCH GRATE
- HWS HOT WATER SYSTEM
- W WATER METER



TITLE	SITE PLAN	JOB No.
PROJECT	PROPOSED RESIDENCE	1 : 100
ADDRESS	17 CAPELLA STREET BALWYN NORTH	A1.01



**DRAINAGE WORKS**

ALL INTERNAL DRAINAGE WORKS MUST BE IN ACCORDANCE WITH AS/AZ 3500.3: 2003 STORMWATER DRAINAGE.

ALLOW TO GRADE ALL FINISH SURFACES AWAY FROM THE PERIMETER OF THE BUILDING TO COMPLY WITH NCC REQUIREMENTS,

ALL INTERNAL DRAINAGE STORMWATER RUN SHALL BE CONTAINED AND CONTROLLED WITHIN THE PROPERTY AND SHALL NOT CAUSE OR CREATE A NUISANCE TO ABUTTING PROPERTIES AS A RESULT OR PROPOSED WORKS.

LEAGAL POINT OF DISCHARGE

**CONNECT TO STORMWATER PIT WITHIN THE REA  
EASEMENT TO COUNCIL'S STANDARDS AND  
SATISFACTION**

PROVIDE MINIMUM FREEDOM  
CONCRETE SLABS

SITE GRAD

GRADE FINISHED GROUND SURFACES AWAY FROM BUILDING PERIMETER AT MIN 1:20 GRADIENT

PROVIDE MIN 150mm FREEBOARD

SEWER

TIE LOCATION: APPROX. 0.46m FROM NORTHERN  
BOUNDARY AT REAR OF SITE BRANCH

LENGTH: 0.910m  
DEPTH: AV. 3.53M

DEPTH: AV. 3.53M  
SIZE: 150mm DIA

MATERIAL: CONC.

Page 1 of 1

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SITE EXCAVATION BATTE

ALL SITE EXCAVATION BATTERS TO BE IN ACCORDANCE WITH NCC/BCA 2019 3.1.1 OR AS PER ENGINEERS RECOMMENDATION

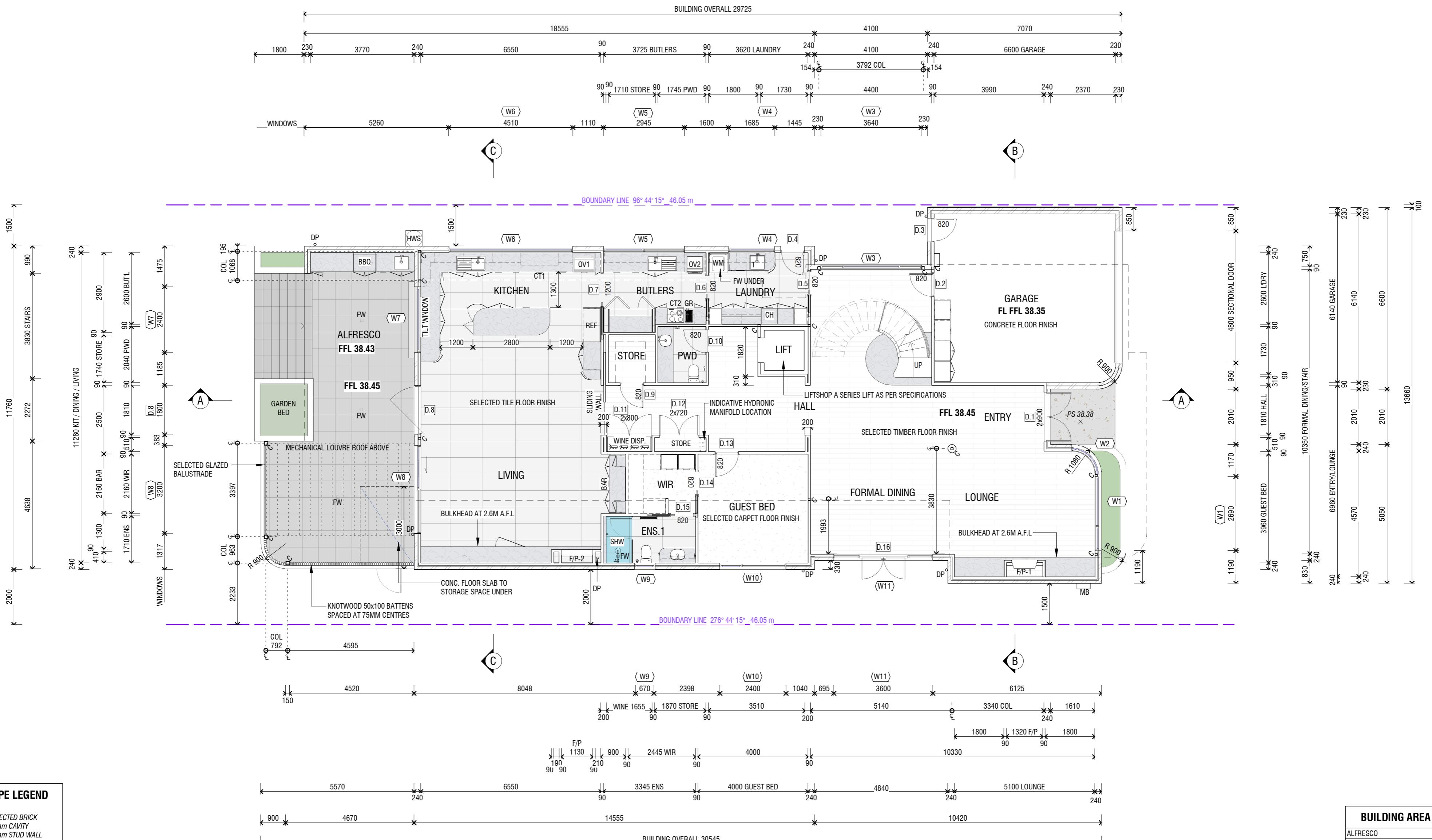
C	17.02.25	ISSUE FOR TENDER
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**SP** SILT PIT      **DP** DOWNPIPE  
----- AGRICULTURAL DRAIN      **FW** FLOOR WASTE  
----- **TC** TRENCH CLOSURE



<u>TITLE</u>	DRAINAGE PLAN	JOB No.	17CSB24
<u>PROJECT</u>	PROPOSED RESIDENCE	SCALE	1 : 100
<u>ADDRESS</u>	17 CAPELLA STREET BALWYN NORTH	SHEET	A1.02

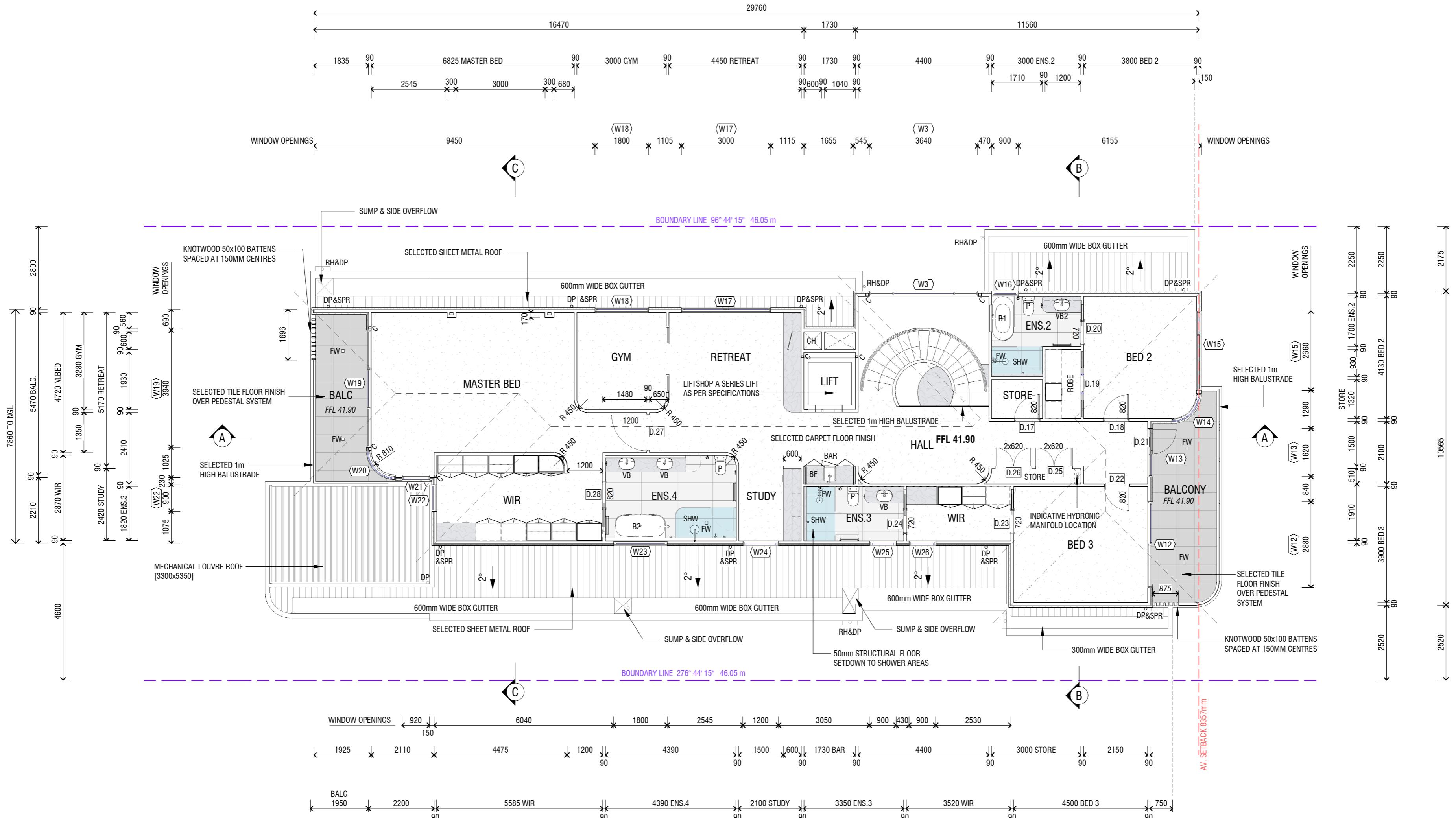


ISSUE DATE	DESCRIPTION
C 17.02.25	ISSUE FOR TENDER
B 24.01.25	PRELIMINARY ISSUE
A 19.11.24	CONSULTANT COORDINATION ISSUE

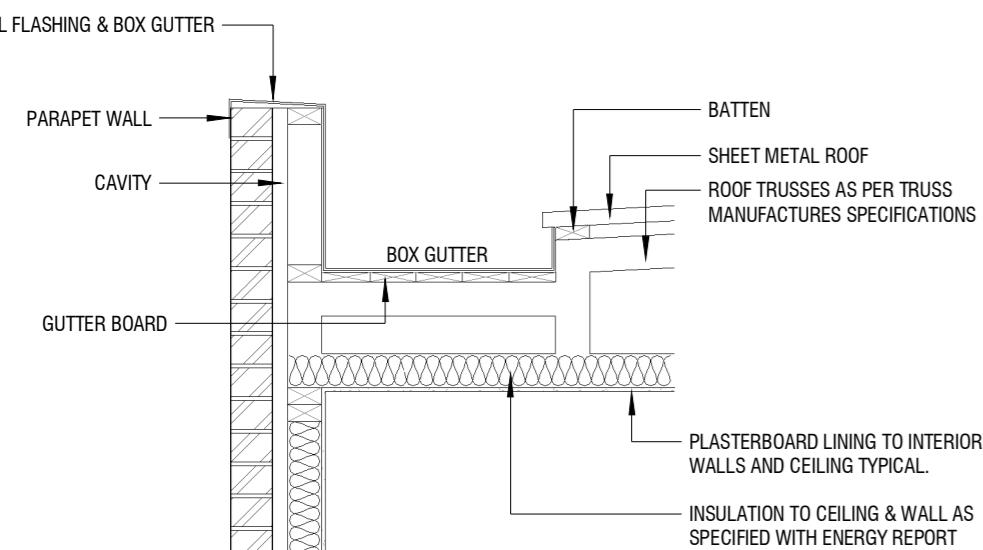
LEGEND	C COLUMN	F/P-2 SELECTED FIREPLACE	OV1 OVEN
	CT1 COOKTOP	FW FLOOR WASTE	OV2 OVEN
	CT2 COOKTOP	GR GRILL	REF FRIDGE SPACE
	DP DOWNPIPE	HWS HOT WATER SYSTEM	T TROUGH
	F/P-1 SELECTED FIREPLACE	MB METERBOARD	WM WASHING MACHINE



TITLE GROUND FLOOR PLAN JOB No. 17CSB24  
 PROJECT PROPOSED RESIDENCE SCALE 1 : 100  
 ADDRESS 17 CAPELLA STREET BALWYN NORTH SHEET A2.01  
 E: DESIGN@AXIOMPLUS.COM.AU I W: WWW.AXIOMPLUS.COM.AU

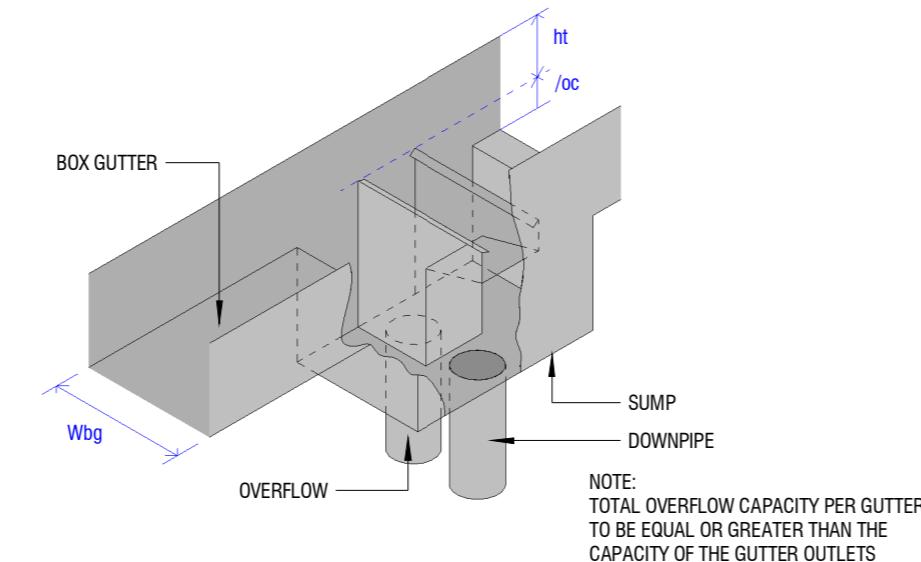


FIRST FLOOR PLAN		JOB No.
PROJECT	PROPOSED RESIDENCE	SCALE 1 : 100
ADDRESS	17 CAPELLA STREET BALWYN NORTH	SHEET A2.02



## **BOX GUTTER [TYP]**

SCALE 1:20



**NOTE:**  
TOTAL OVERFLOW CAPACITY PER GUTTER  
TO BE EQUAL OR GREATER THAN THE  
CAPACITY OF THE GUTTER OUTLETS

## GUTTERING

YSAGHT 'SHORELINE' PROFILE EAVES GUTTERS IN COLORBOND 'MONUMENT' FINISH AS PER SPECIFICATION

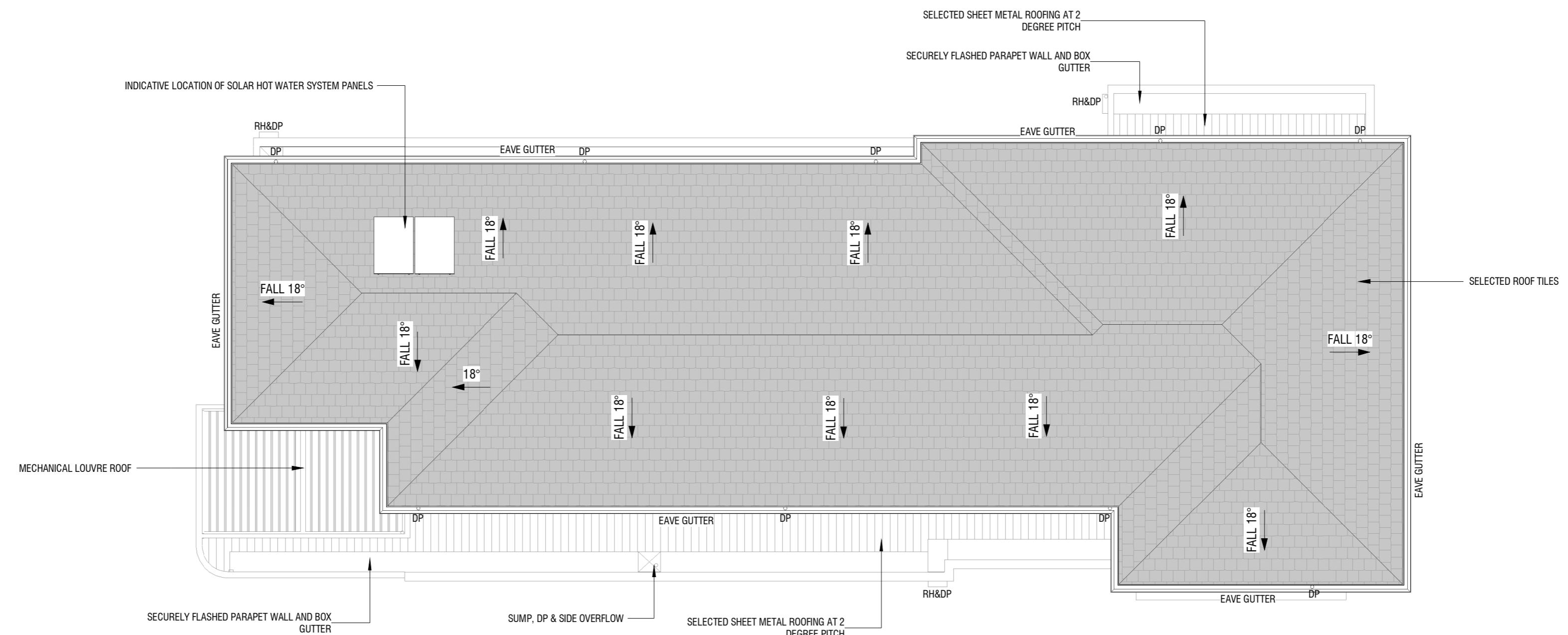
DOWNPIPES

00x50 RECTANGULAR DOWNPipes AND BRACKETS IN COLORBOND 'MONUMENT' FINISH AS PER SPECIFICATION

OWNPIPES MUST NOT SERVE MORE THAN 12m OF  
UTTER LENGTH FOR EACH DOWNPipe & BE LOCATED  
S CLOSE AS POSSIBLE TO VALLEY GUTTERS IN  
CCORDANCE WITH NCC/BCA 2019 - PART 3.5.3.5

## **TYPICAL SUMP/HIGH CAPACITY OVERFLOW DEVICE DETAILS**

[SEE CLAUSE 3.7.2.2(B)(ii) OF AS3500.3]



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LEGEND

**DP** DOWNPIPE  
**RH&D** RAINHEAD &  
DOWNPIPE

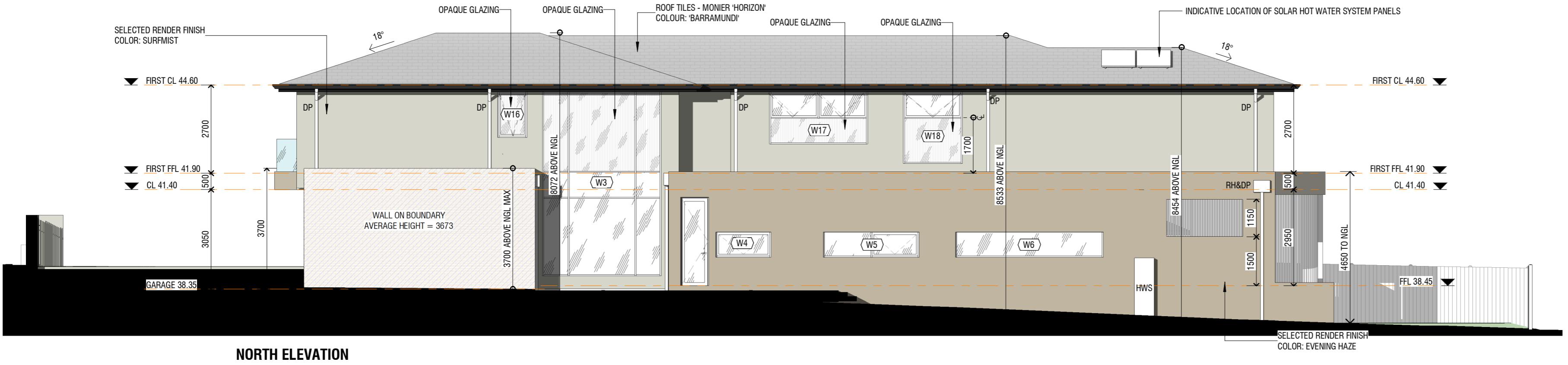
## P DOWNPIPE

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REPRODUCED IN AM



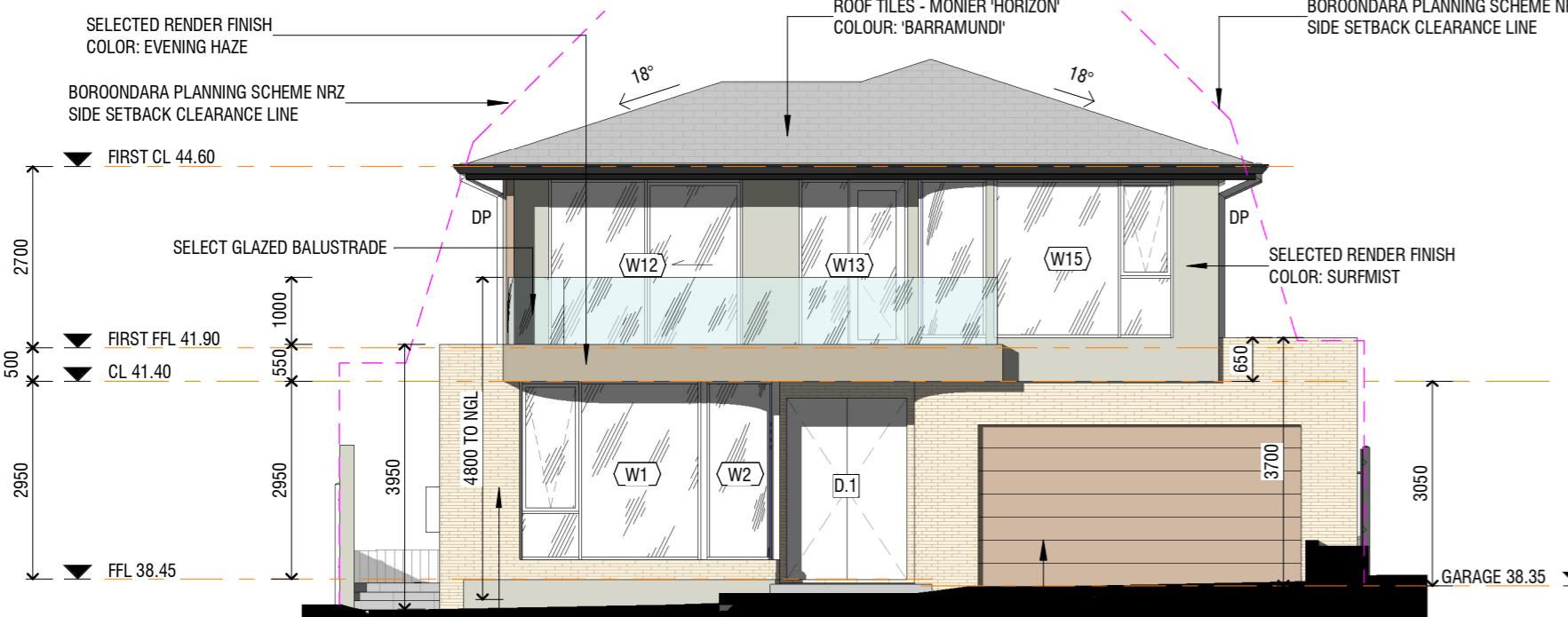
<u>TITLE</u>	ROOF PLAN	JOB No.	17CSB24
<u>PROJECT</u>	PROPOSED RESIDENCE		
<u>ADDRESS</u>	17 CAPELLA STREET BALWYN NORTH	SHEET	A2 03



## **NORTH ELEVATION**

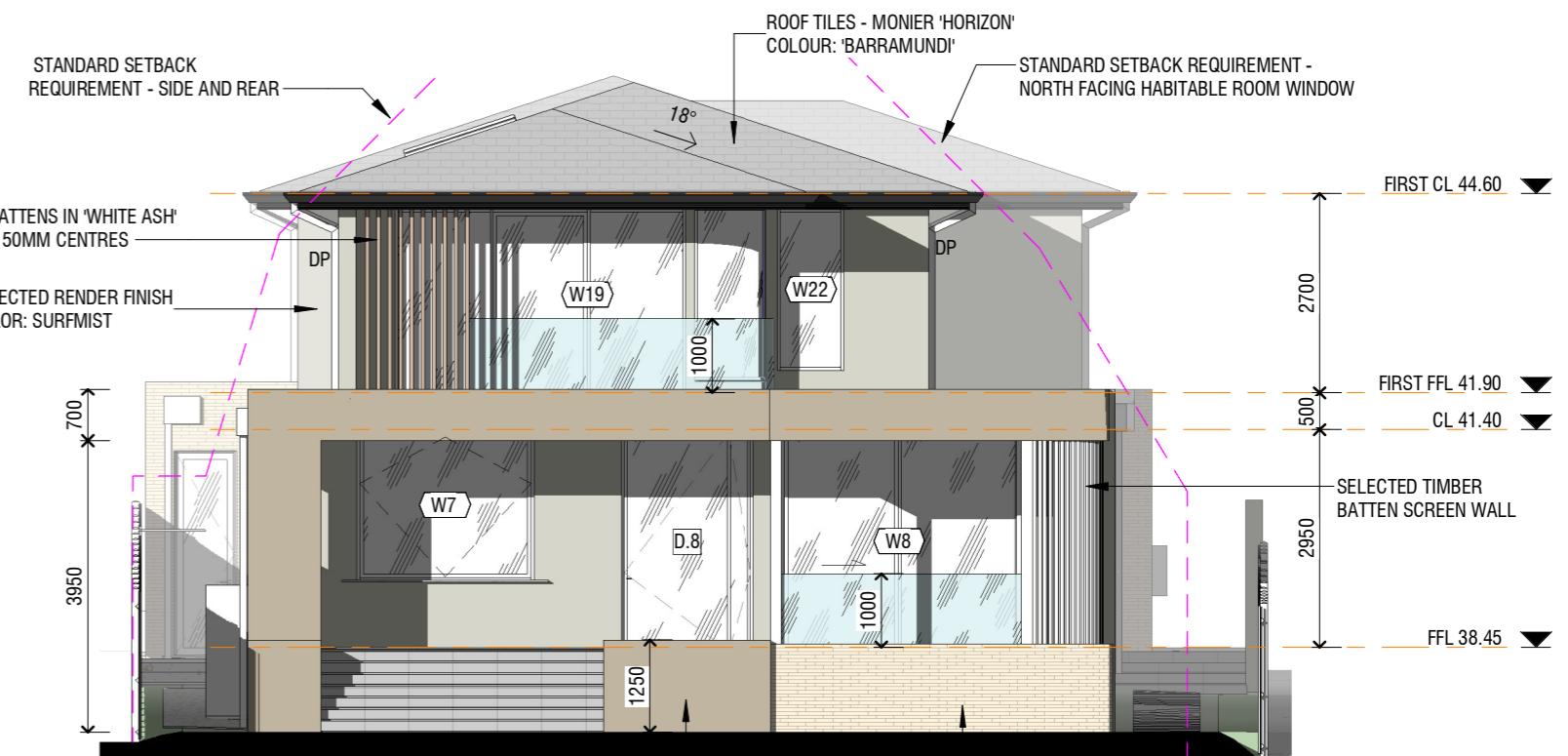
1 : 100

EXTERNAL MATERIAL SCHEDULE	
	BRICKWORK: PGH LANG MURSTON 'UTZON'
	ROOF TILES: MONIER 'HORIZON' COLOUR: 'BARRAMUNDI'
	RENDER FINISH COLOUR: 'EVENING HAZE'
	RENDER FINISH COLOUR: 'SURFMIST'
	GUTTERS, DOWNPipes & FASCIA COLORBOND 'MONUMENT'
	WINDOW FRAMES COLORBOND 'MONUMENT'
	ALUMINIUM BATTENS KNOTWOOD 100x50 'WHITE ASH'
	PANEL LIFT DOOR KNOTWOOD 'WHITE ASH'
	EXTERNAL CONCRETE PAVING: VIC MIX 'ALPINE ICE IVORY HALF WHITE'
	EXTERNAL TILING: <i>TBC</i>



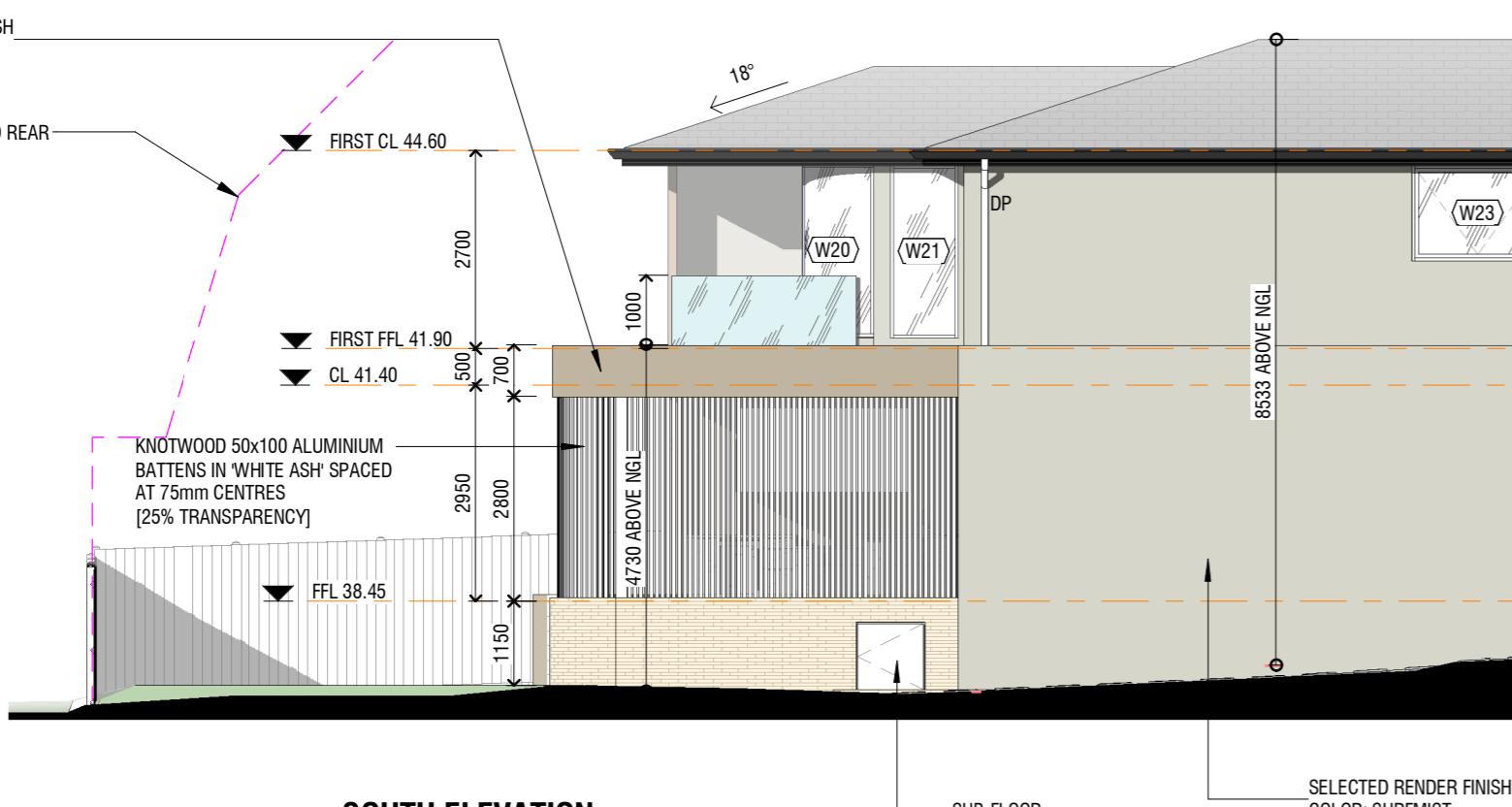
## **EAST ELEVATION**

1 : 100



## WEST ELEVATION

1:10



## SOUTH ELEVATION

1 / 10

C	17.02.25	ISSUE FOR TENDER
B	24.01.25	PRELIMINARY ISSUE
A	19.11.24	CONSULTANT COORDINATION ISSUE
GUE	DATE	DESCRIPTION

## LEGEND

**DP** DOWNPIPE  
**HWS** HOT WATER SYSTEM  
**MB** METERBOARD  
**OG** OPAQUE GLAZING  
**RH&DP** RAINHEAD & DOWNPIPE

SELECTED RENDER F  
COLOR: SUPERMIST

— SUB-FLOOR  
ACCESS HATCH COLOR: SURFMIST

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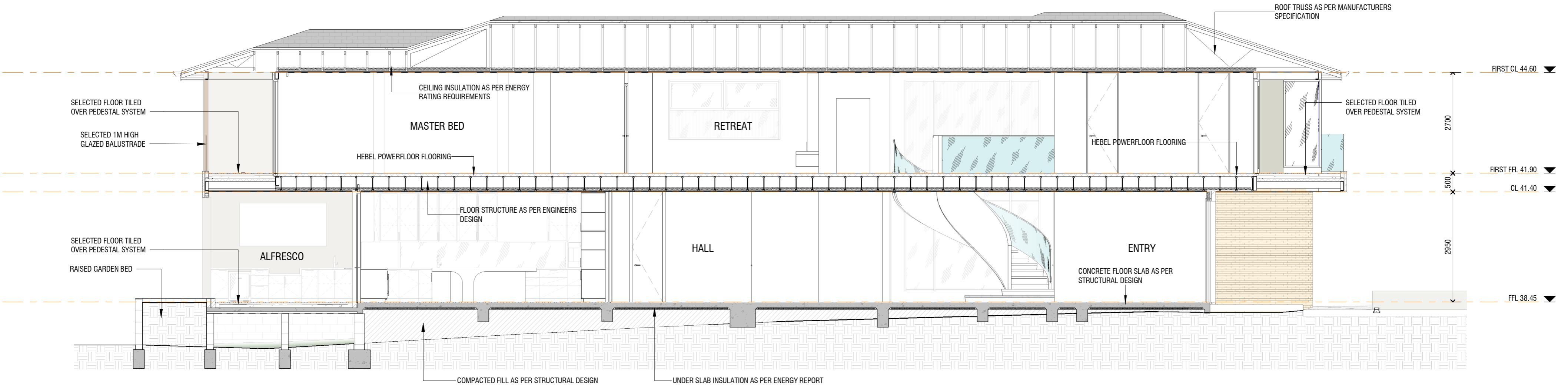


E ELEVATIONS | JOB No. 17CSR24

**ELEVATIONS**

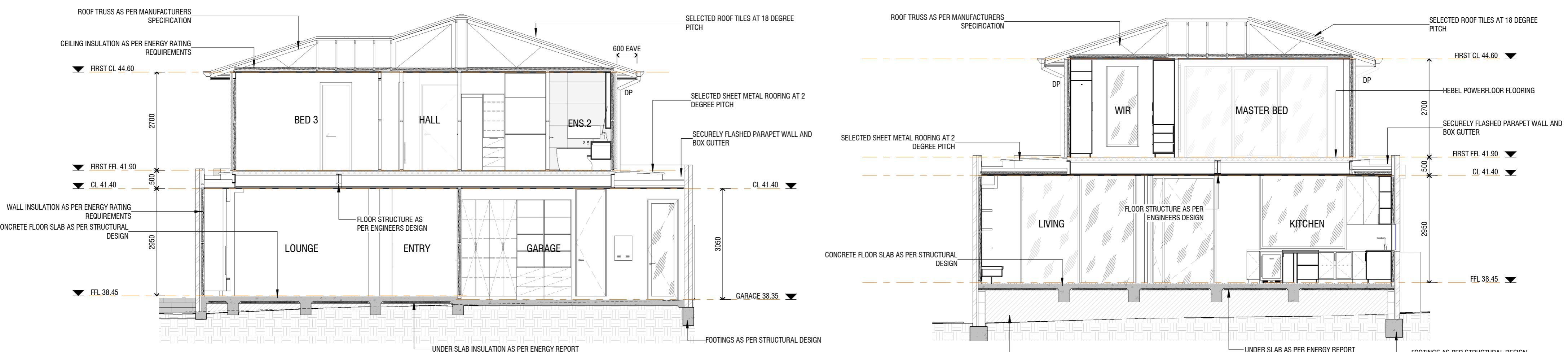
**PROPOSED RESIDENCE**      **SCALE**      **1. 100**

17 CAPELLA STREET BALWYN NORTH



**SECTION A**

1 : 75



**SECTION B**

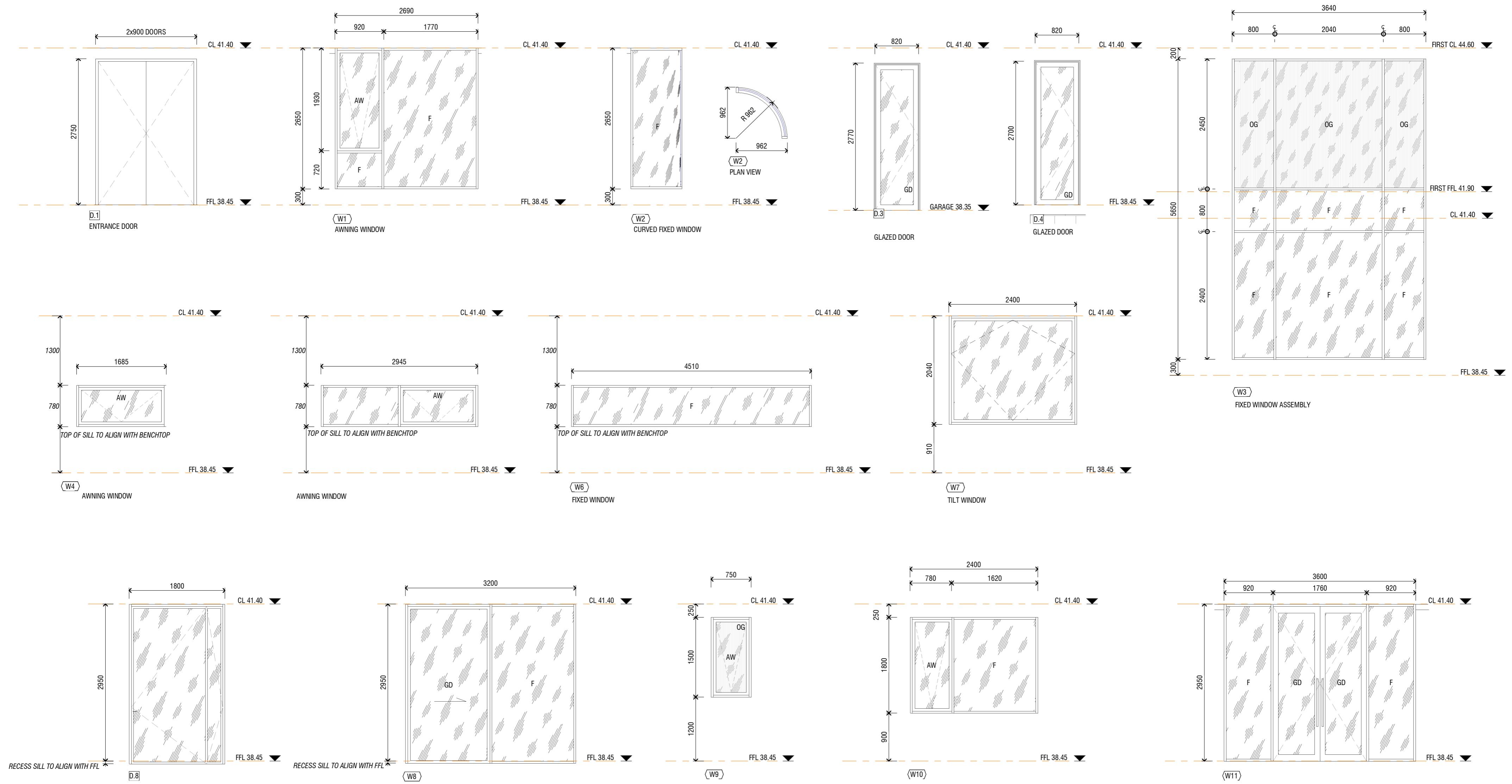
1 : 75

**SECTION C**

1 : 75

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A	19.11.24	CONSULTANT COORDINATION ISSUE

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#### GENERAL GLAZING NOTES

- GLAZING TO BE IN ACCORDANCE WITH AS 2047-2010 & AS 1288-2006
- OPERABLE WINDOWS ARE TO BE FITTED WITH ALUMINUM FLYSCREENS AS PER SPECIFICATION
- OPERABLE WINDOWS ARE TO BE KEYED Alike
- SLIDING DOORS ARE TO BE FITTED WITH ALUMINIUM SCREEN DOORS AS PER SPECIFICATION
- ALL MATERIALS AND CONSTRUCTION OF WINDOWS ARE TO MEET THE REQUIREMENTS OF THE ENERGY REPORT.
- ALL WINDOWS TO BE SEALED IN ACCORDANCE WITH AUSTRALIAN STANDARDS 2047.
- WINDOW SIZES MAY VARY DUE TO FINISHED CONSTRUCTED LEVELS.
- BUILDER/CONTRACTOR TO CONFIRM PRIOR TO MANUFACTURING.

#### SAFETY GLAZING

SAFETY GLAZING TO BE PROVIDED WHERE APPLICABLE IN ACCORDANCE THE REQUIREMENTS OF NCC/BCA 2019 VOL. 2, PART 3.6.

#### OPENING RESTRICTORS

WINDOWS WITH OPENINGS LOWER THAN 1.7m ABOVE FLOOR LEVEL WITHIN BEDROOMS THAT ARE 2M HIGHER OR MORE FROM THE SURFACE BELOW ARE TO BE FITTED WITH OPENING RESTRICTORS

#### OPAQUE BANDS

OPAQUE BANDS SHALL BE MARKED ON GLAZING IN ACCORDANCE WITH THE REQUIREMENTS OF AS 1288 - 2006 & NCC/BCA 2019 VOL. 2, PART 3.6.4.6

#### ENERGY EFFICIENCY

ALL OPENABLE WINDOWS & DOORS ARE TO HAVE WEATHER STRIPS BETWEEN FRAME AND SASH TO CREATE SEAL WHEN CLOSED. ALL GENERAL BUILDING GAPS AND CRACKS TO BE SEALED INCLUDING DOWNLIGHTS. ALL EXHAUST FANS TO BE SELF-SEALING WHEN NOT IN USE TO PROVIDE SEAL AGAINST UNWANTED VENTILATION.

ALL MATERIALS AND CONSTRUCTION OF WINDOWS ARE TO MEET THE REQUIREMENTS OF THE ENERGY REPORT. REFER TO ENERGY RATING REPORT FOR U-VALUE & SHGC. THESE DRAWINGS ARE TO READ IN CONJUNCTION WITH THE ASSOCIATED ENERGY RATING ASSESSMENT/REPORT.

#### REVEALS

ALL WINDOWS TO HAVE PLASTERED/TILED REVEALS TO MATCH THE SURROUNDING WALL FINISH

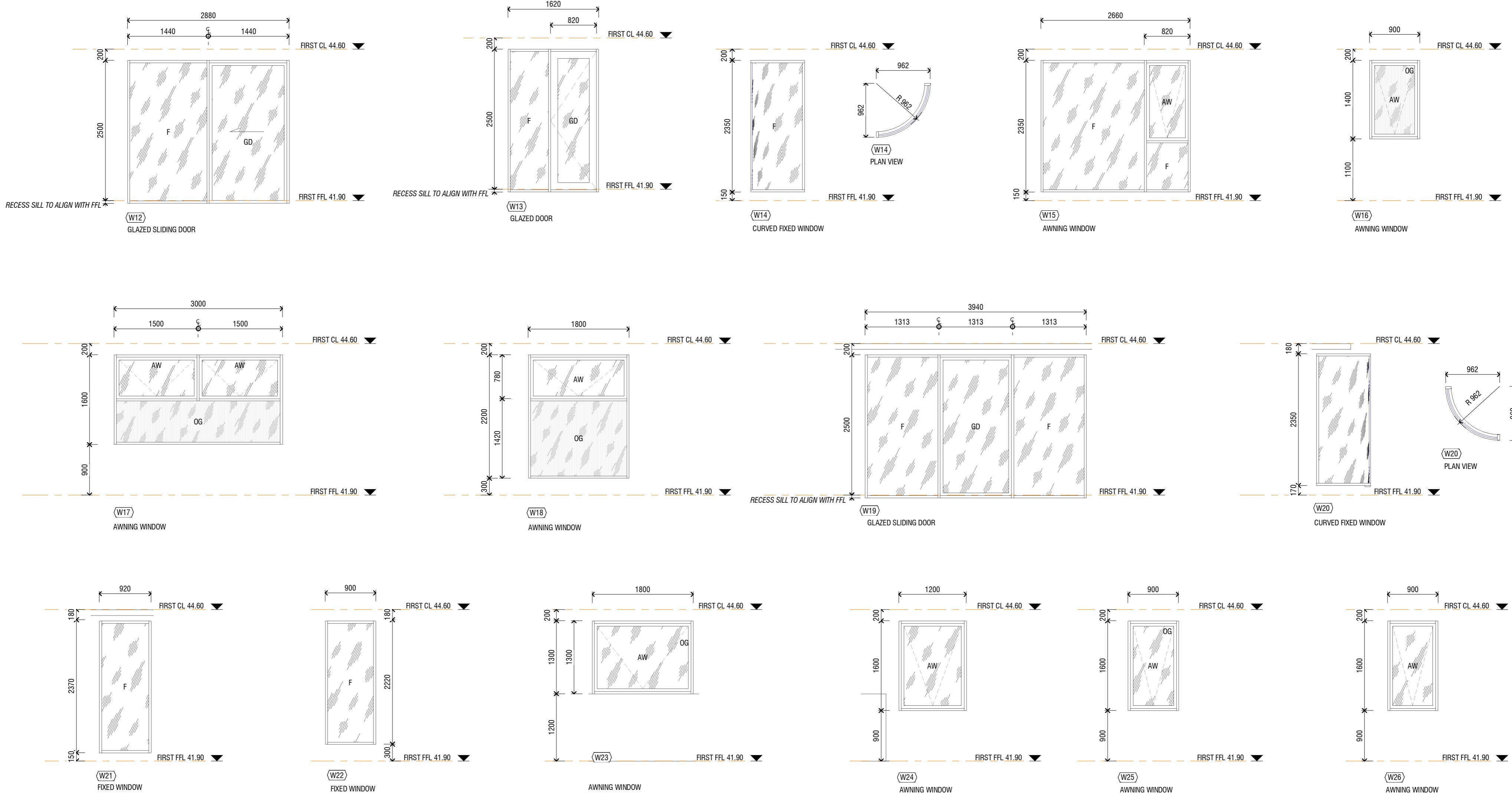
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LEGEND

AW	AWNING WINDOW
F	FIXED WINDOW
GD	GLAZED DOOR
OG	OPAQUE GLAZING



TITLE	WINDOW SCHEDULE	JOB No.
PROJECT	PROPOSED RESIDENCE	17CSB24
ADDRESS	17 CAPELLA STREET BALWYN NORTH	SCALE 1 : 50 SHEET A4.01



#### GENERAL GLAZING NOTES

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- OPERABLE WINDOWS ARE TO BE FITTED WITH ALUMINUM FLYSCREENS AS PER SPECIFICATION
- OPERABLE WINDOWS ARE TO BE KEYED Alike
- SLIDING DOORS ARE TO BE FITTED WITH ALUMINIUM SCREEN DOORS AS PER SPECIFICATION
- ALL MATERIALS AND CONSTRUCTION OF WINDOWS ARE TO MEET THE REQUIREMENTS OF THE ENERGY REPORT.
- ALL WINDOWS TO BE SEALED IN ACCORDANCE WITH AUSTRALIAN STANDARDS 2047.
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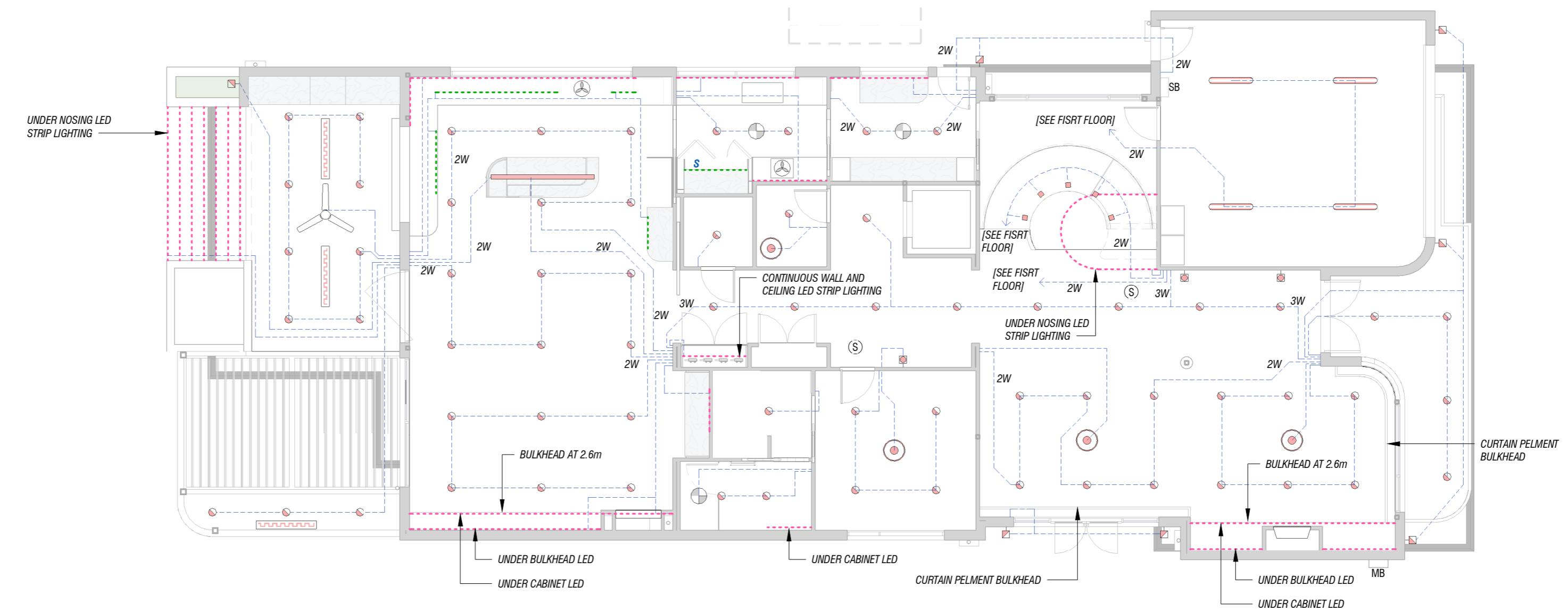
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B	24.01.25	PRELIMINARY ISSUE
A	19.11.24	CONSULTANT COORDINATION ISSUE

LEGEND	AW	AWNING WINDOW
	F	FIXED WINDOW
	GD	GLAZED DOOR
	OG	OPAQUE GLAZING



## **GROUND FLOOR REFLECTED CEILING PLATE**

1:10

This architectural floor plan illustrates the layout of a building across three stories. The plan includes various rooms, hallways, and external areas. Key features include:

- Cladding Labels:** Several sections of the building's exterior are labeled with "CL:2700".
- Smoke Detectors:** Red circular icons with a dot represent smoke detectors, located throughout the building.
- Walls:** Some walls are marked with "2W" or "3W" indicating wall thickness.
- Rooms:** Various rooms are shown, including a large room with a red dashed border labeled "S" and a smaller room with a red dashed border labeled "(S)".
- Exterior Areas:** The building has multiple levels of balconies and terraces.
- Annotations:** Dashed blue lines connect certain points, and arrows point to specific locations with the text "[SEE GRND FLOOR]".

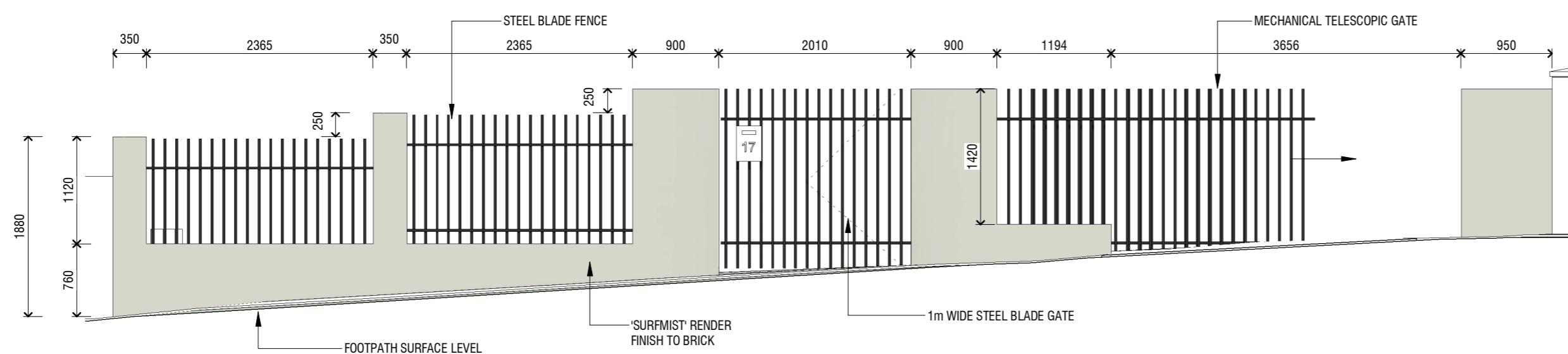
## FIRST FLOOR REFLECTED CEILING PLATE

1:10

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A	19.11.24	CONSULTANT COORDINATION ISSUE
ISSUE	DATE	DESCRIPTION

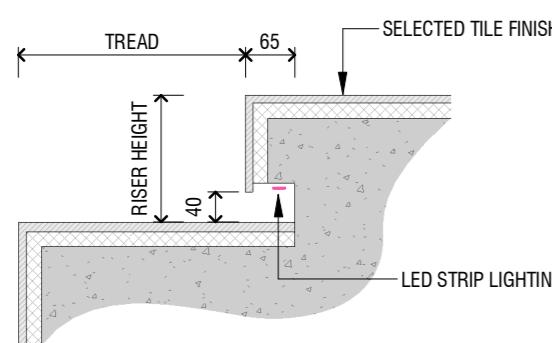


<u>TITLE</u>	REFLECTED CEILING / LIGHTING PLANS	JOB No.	17CSB24
<u>PROJECT</u>	PROPOSED RESIDENCE	SCALE	1 : 100
<u>ADDRESS</u>	17 CAPELLA STREET BALWYN NORTH	SHEET	A5.10



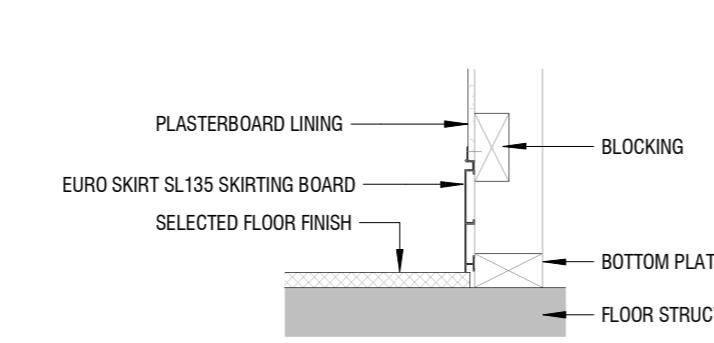
**FENCE ELEVATION**

1:50



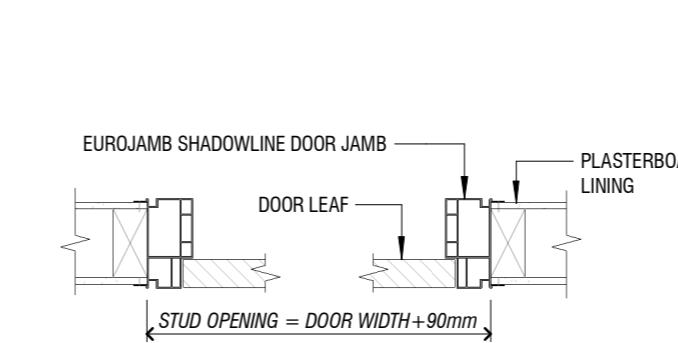
**STAIR LED STRIP LIGHTING SECTION DETAIL**

1:10



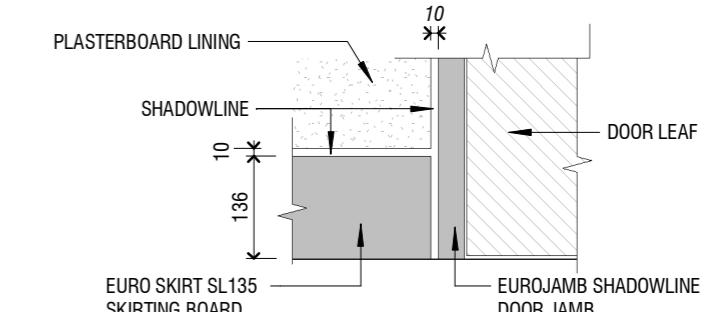
**SKIRTING SECTION DETAIL (TYP)**

1:10



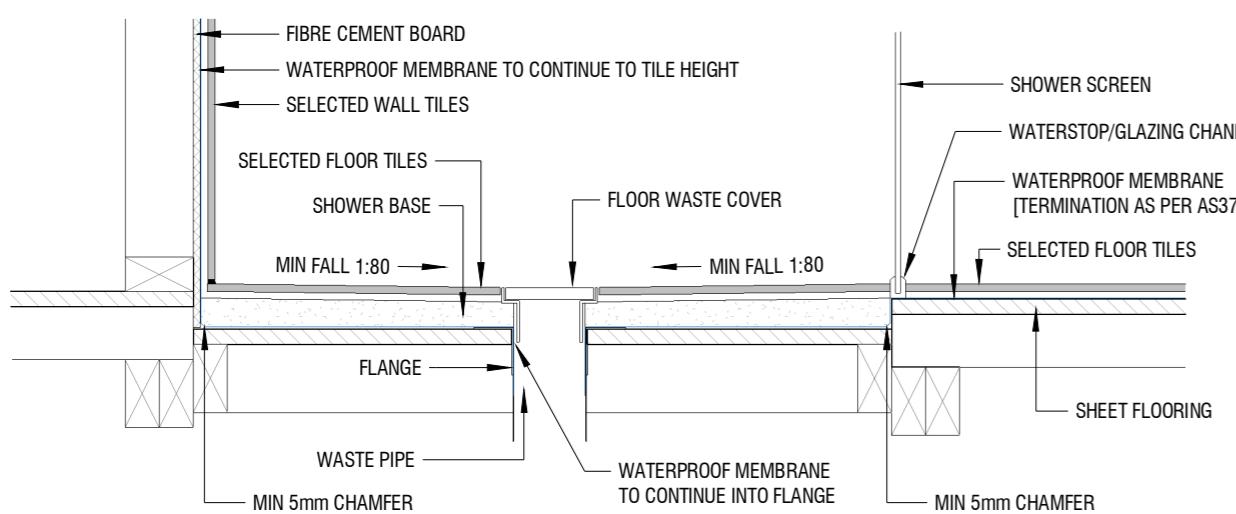
**DOOR JAMB DETAIL (TYP)**

1:10



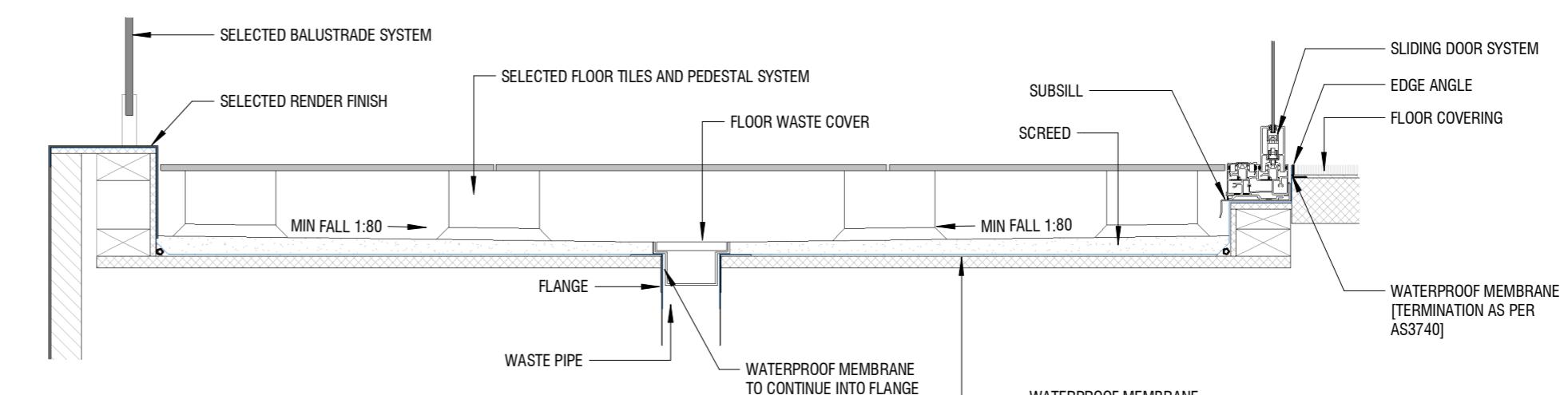
**DOOR JAMB & SKIRTING JUNCTION ELEVATION DETAIL**

1:10



**SHOWER WATERPROOFING DETAIL (TYP)**

1:10



**BALCONY WATERPROOFING DETAIL (TYP)**

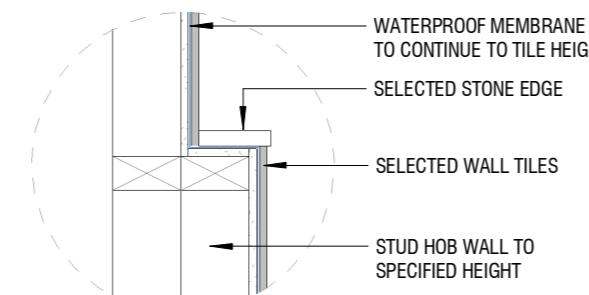
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ISSUE DATE DESCRIPTION

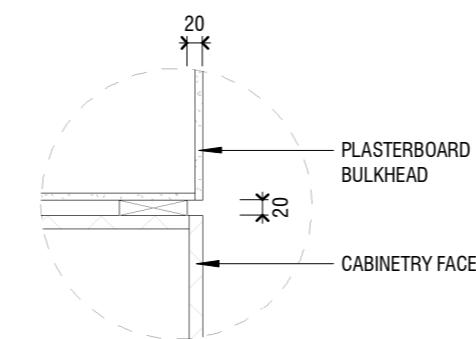


TITLE	ADDITIONAL DETAILS	JOB No.
PROJECT	PROPOSED RESIDENCE	17CSB24
ADDRESS	17 CAPELLA STREET BALWYN NORTH	As indicated
ISSUE DATE	E: DESIGN@AXIOMPLUS.COM.AU	SHEET A6.00



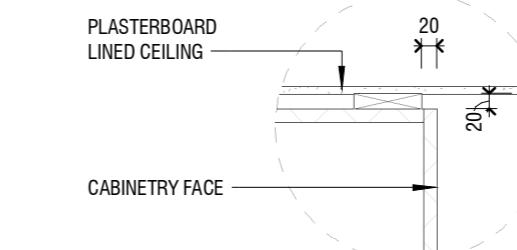
**STONE SHOWER SHELF DETAIL**

SCALE 1:10



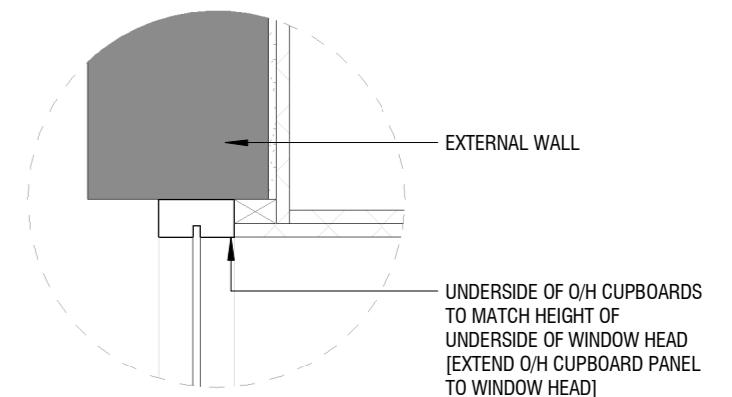
**OVERHEAD CUPBOARD & BULKHEAD JUNCTION DETAIL**

SCALE 1:10



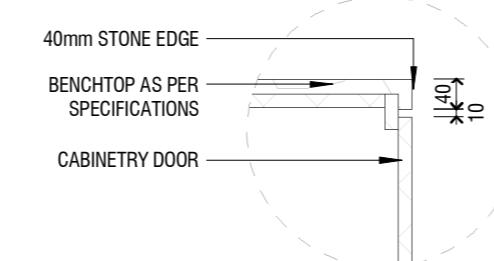
**OVERHEAD CUPBOARD & CEILING JUNCTION DETAIL**

SCALE 1:10



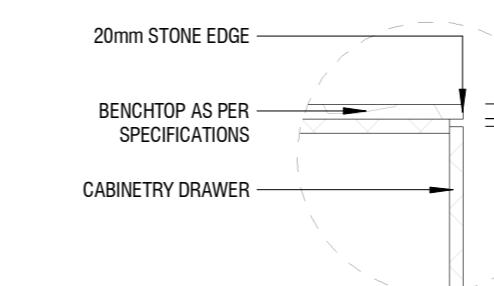
**OVERHEAD CUPBOARD & SPLASHBACK WINDOW JUNCTION DETAIL**

SCALE 1:10



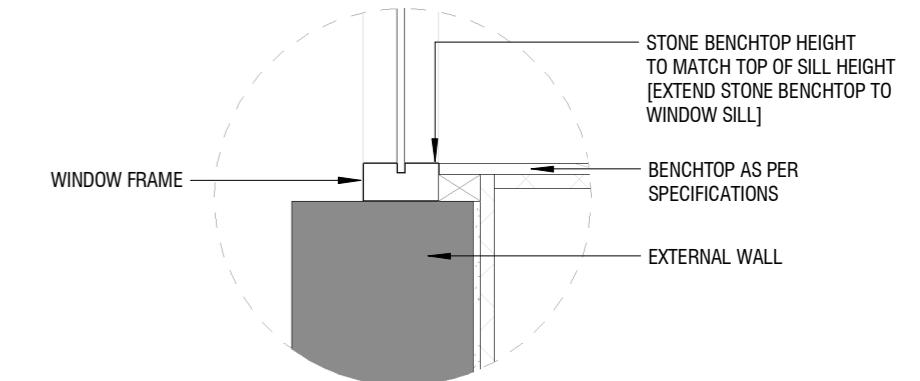
**BENCHTOP EDGE DETAIL (40mm)**

SCALE 1:10



**BENCHTOP EDGE DETAIL (20mm)**

SCALE 1:10

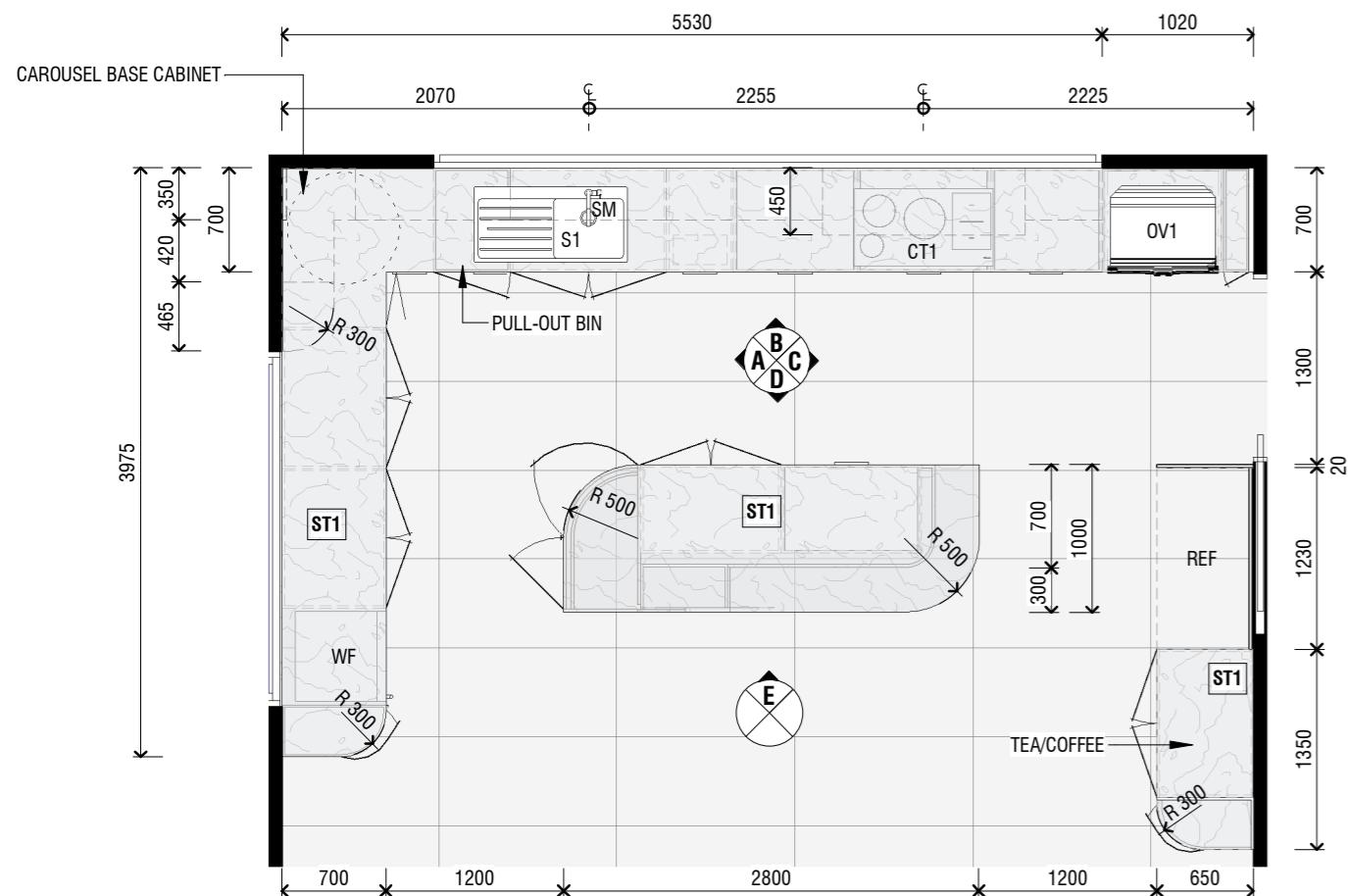


**BENCHTOP & SPLASHBACK WINDOW JUNCTION DETAIL**

SCALE 1:10

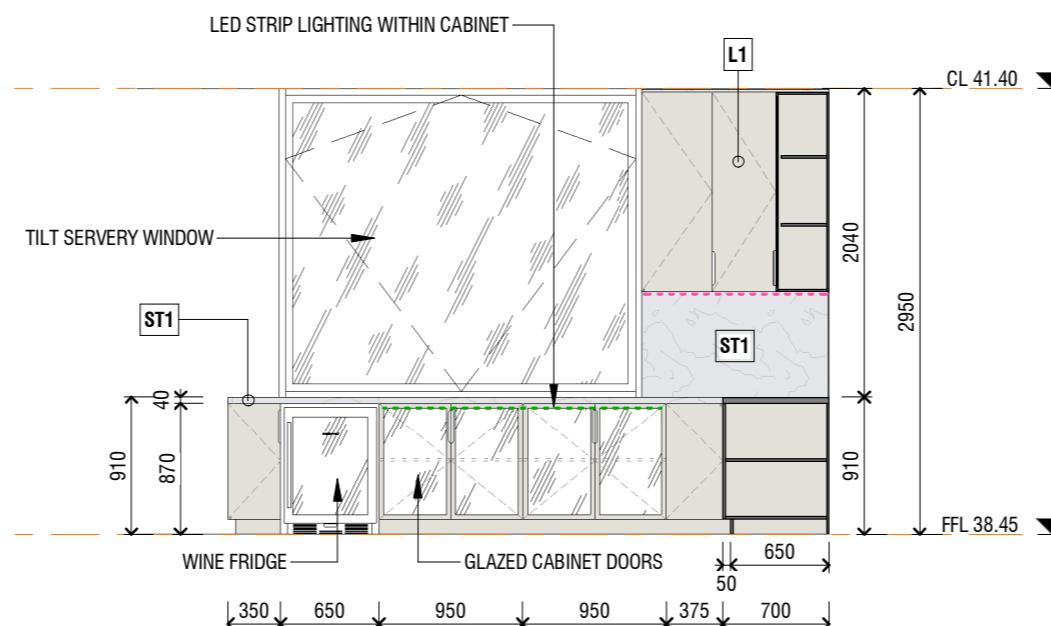
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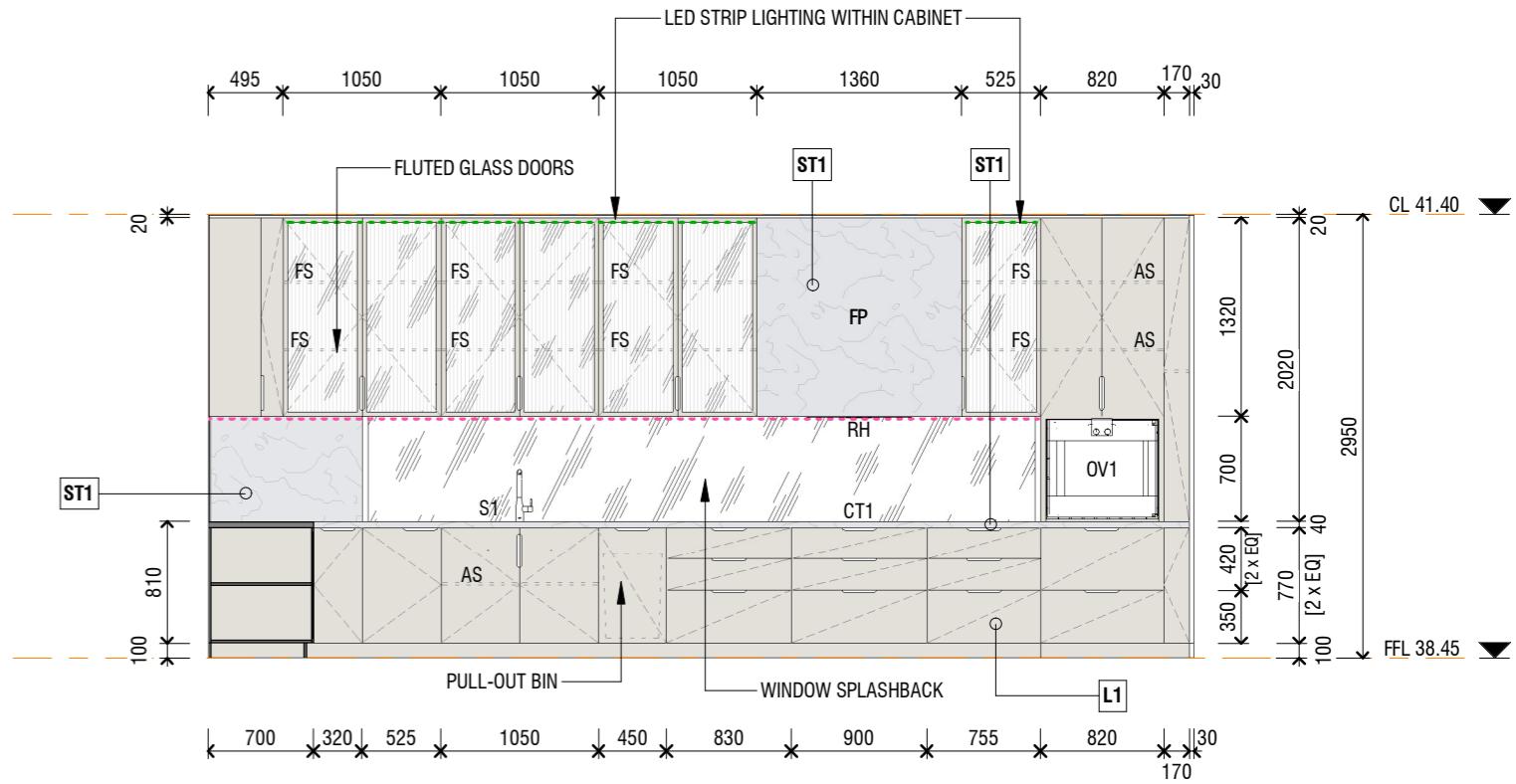


KITCHEN DETAIL PLAN

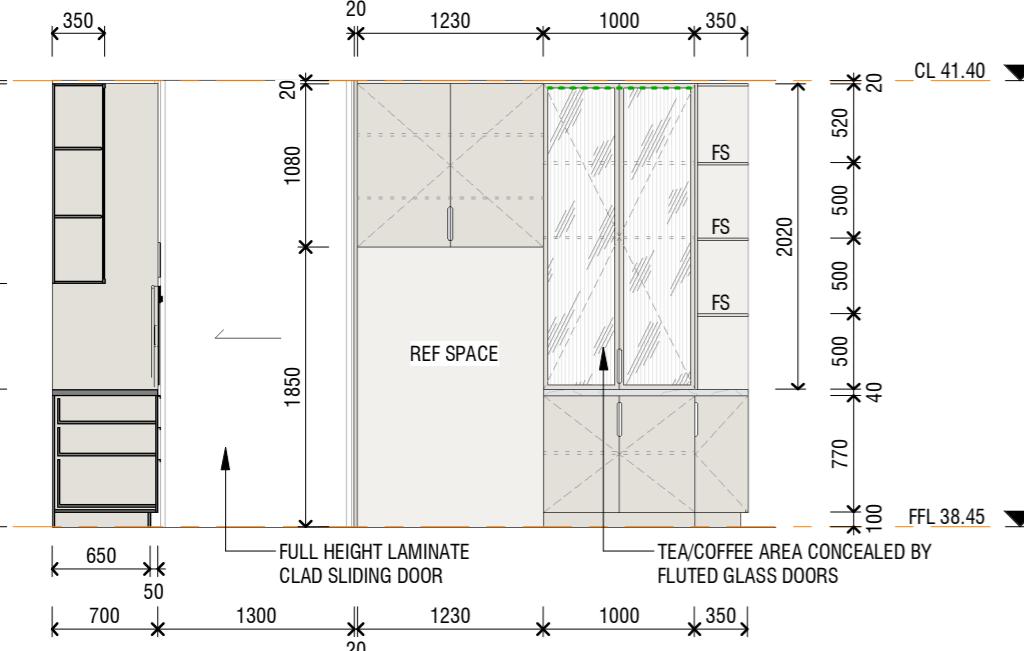
1:50



KITCHEN ELEVATION A

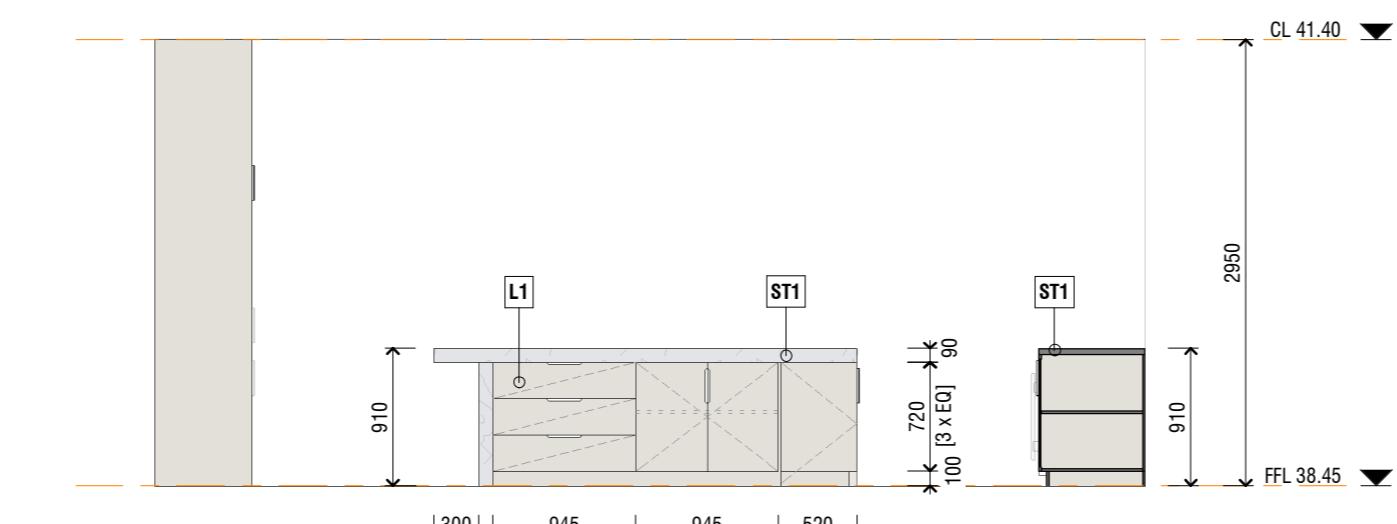


KITCHEN ELEVATION B

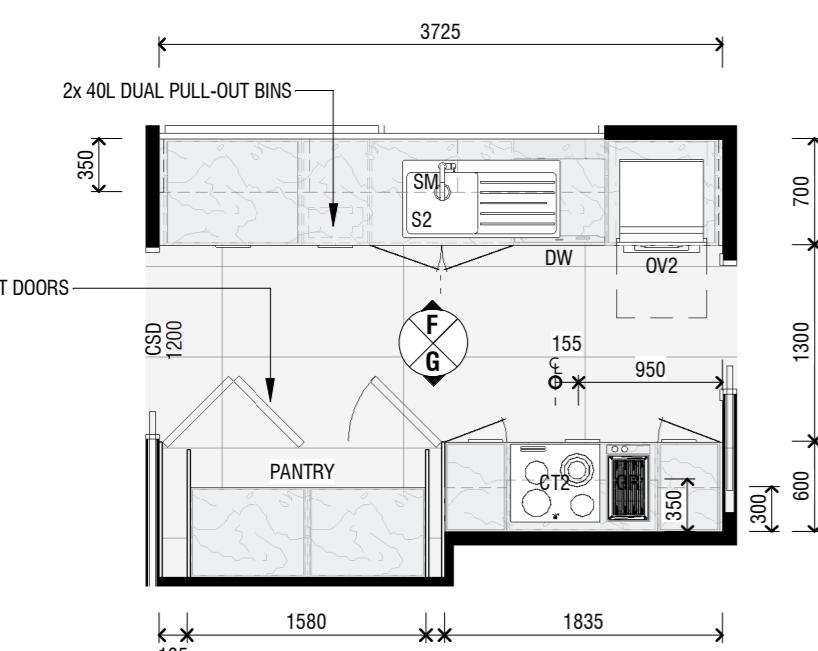


KITCHEN ELEVATION C

1:50

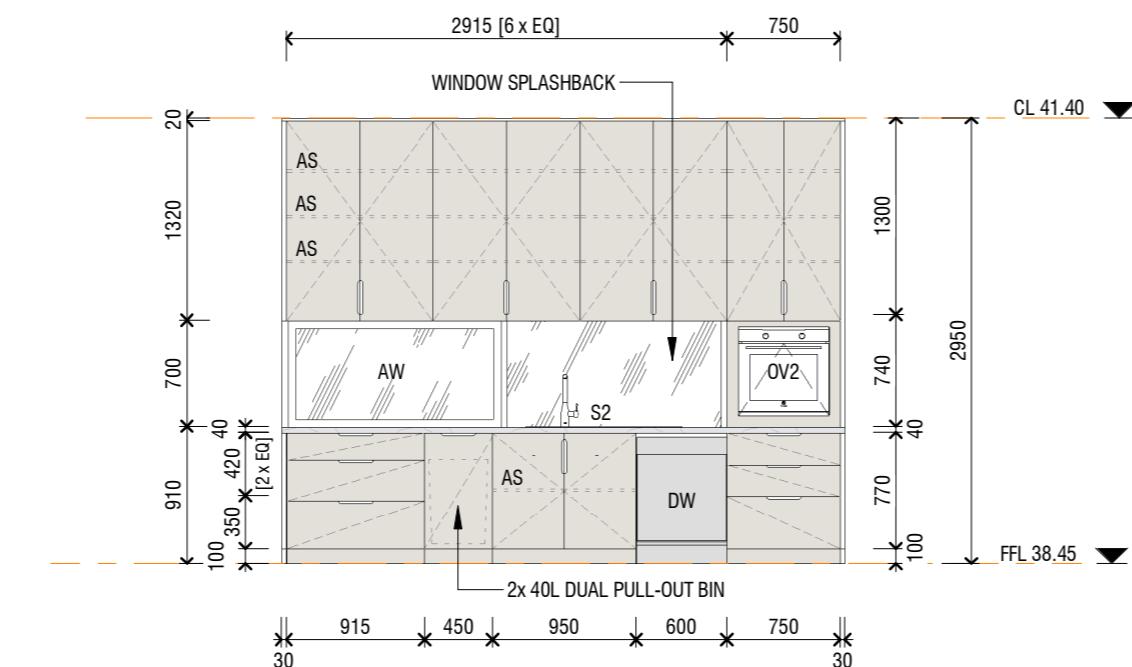


KITCHEN ELEVATION D



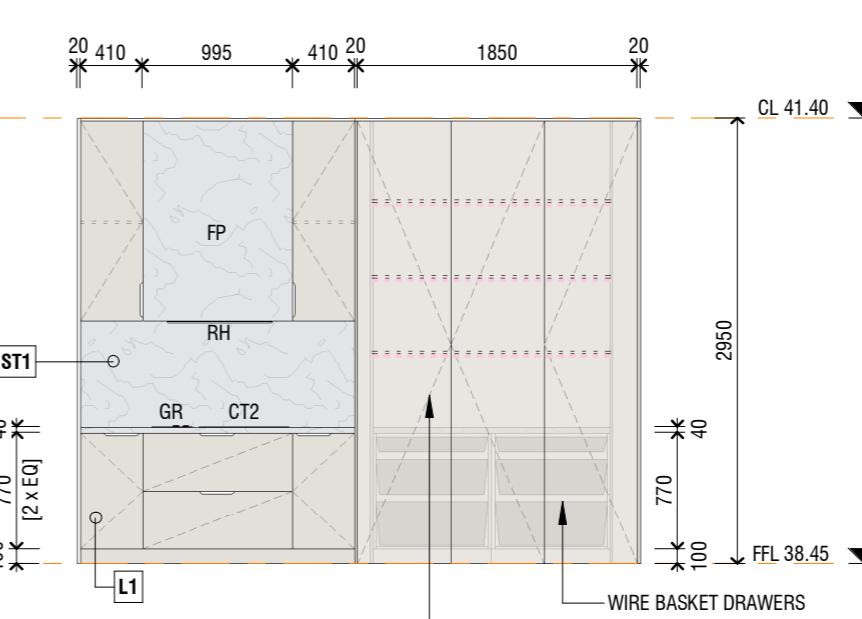
BUTLERS DETAIL PLAN

1:50



BUTLERS ELEVATION F

1:50



BUTLERS ELEVATION G

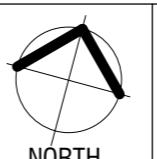
1:50

**NOTE:**  
ALL DRAWERS WITHIN KITCHEN & BUTLERS PANTRY ROOMS TO FEATURE INTERNAL LIGHTING

**NOTE:**  
- ALL APPLIANCES AND INTERNAL STORAGE SYSTEMS ARE TO BE INSTALLED AS PER MANUFACTURERS INSTRUCTIONS.  
- SERVICES ARE TO BE PROVIDED TO APPLIANCE LOCATIONS AS REQUIRED.

- INTEGRATED APPLIANCES TO BE INSTALLED AS PER MANUFACTURERS INSTRUCTIONS INCLUDING ANY ASSOCIATED KITS AS REQUIRED.  
- RANGEHOOD TO BE CONCEALED BEHIND JOINERY, REFER TO MANUFACTURERS SPECIFICATION FOR INSTALLATION REQUIREMENTS.

- ALL STONE BENCH TOPS AND RETURNS TO HAVE SEALED 2MM MITRE ARRIS EDGES BY STONEMASON.

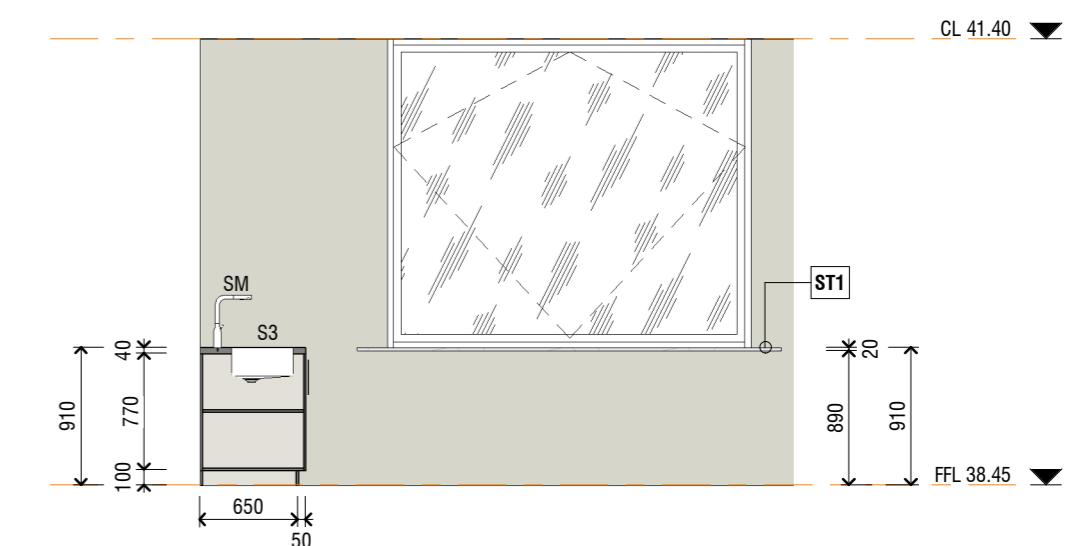
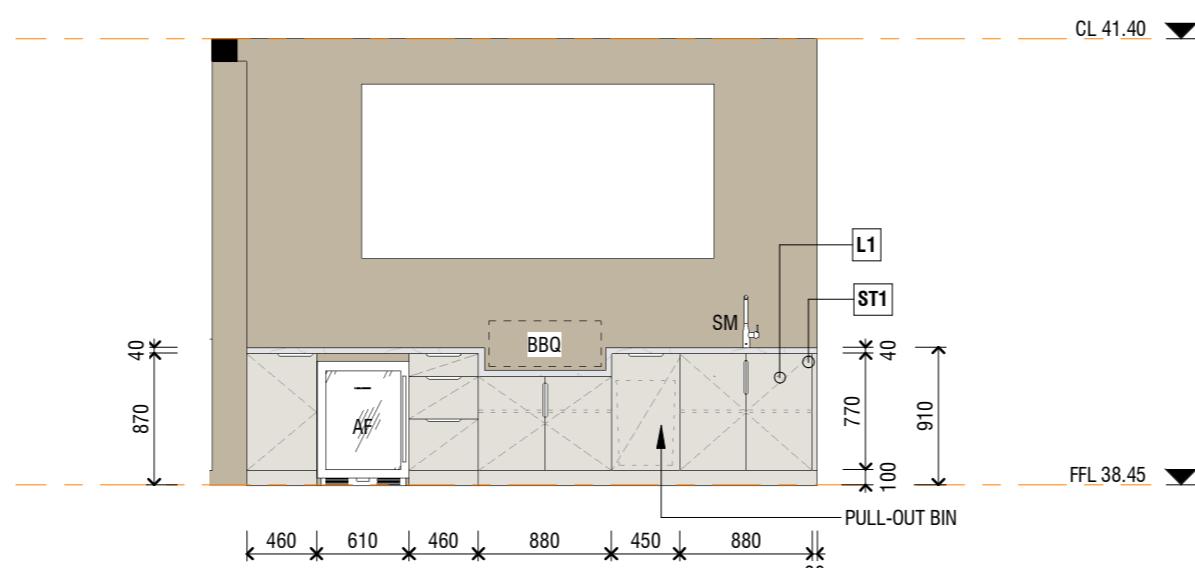
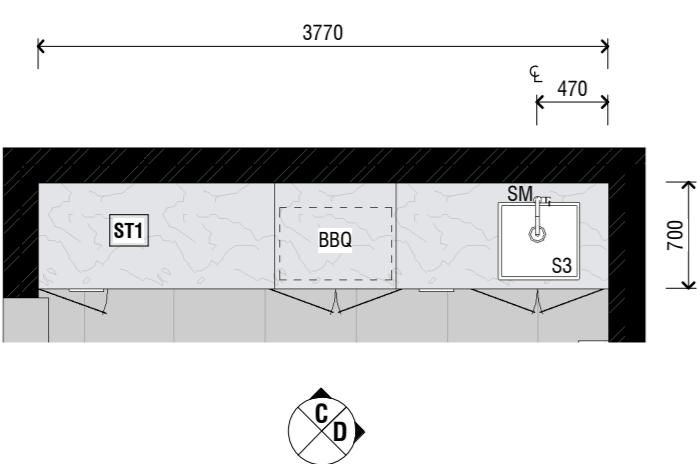
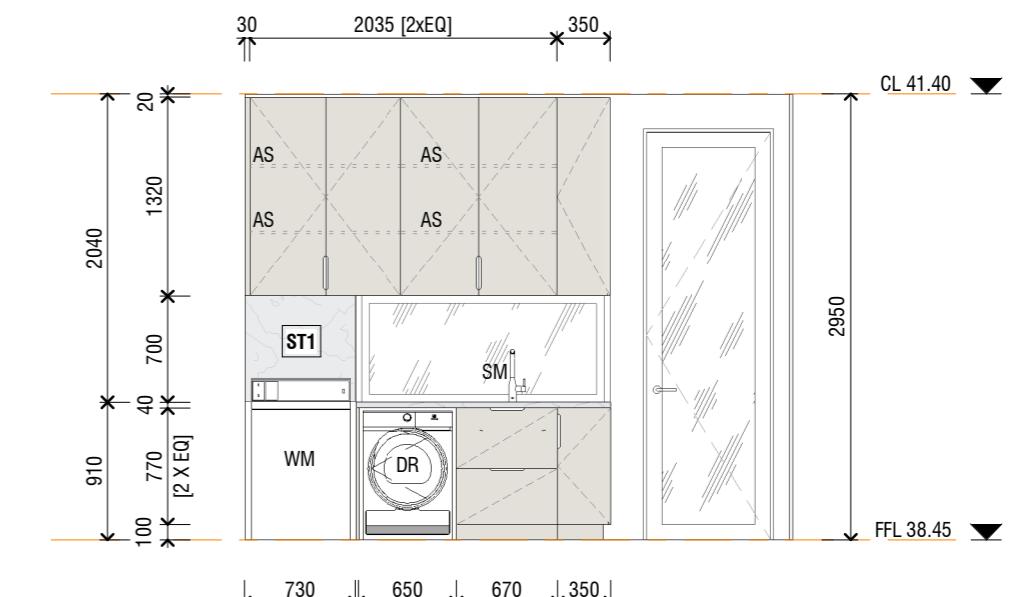
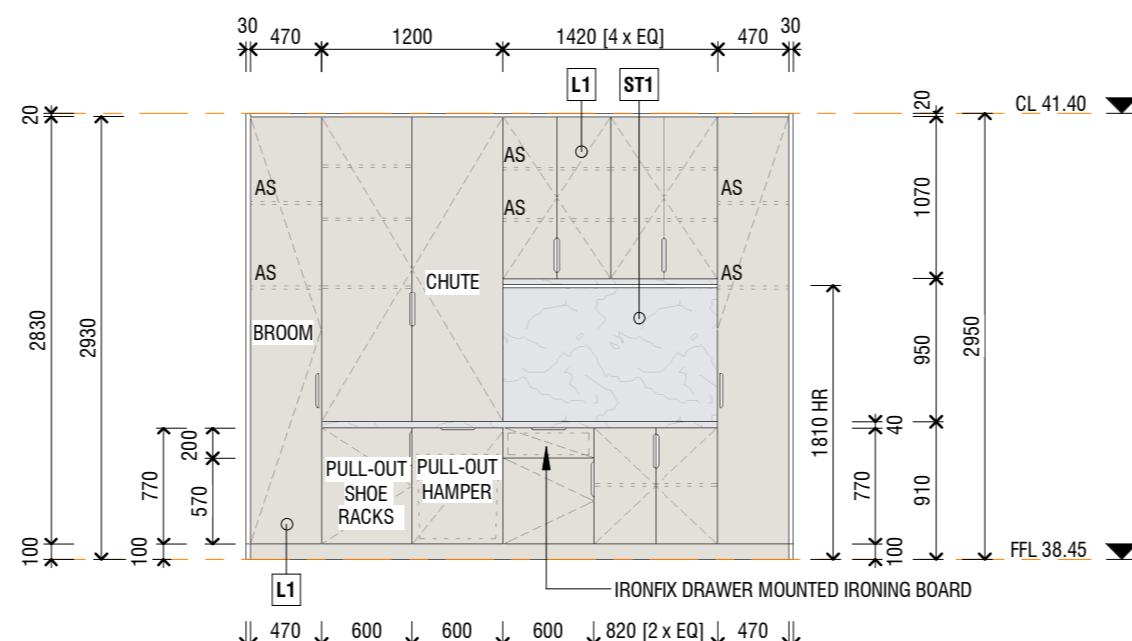
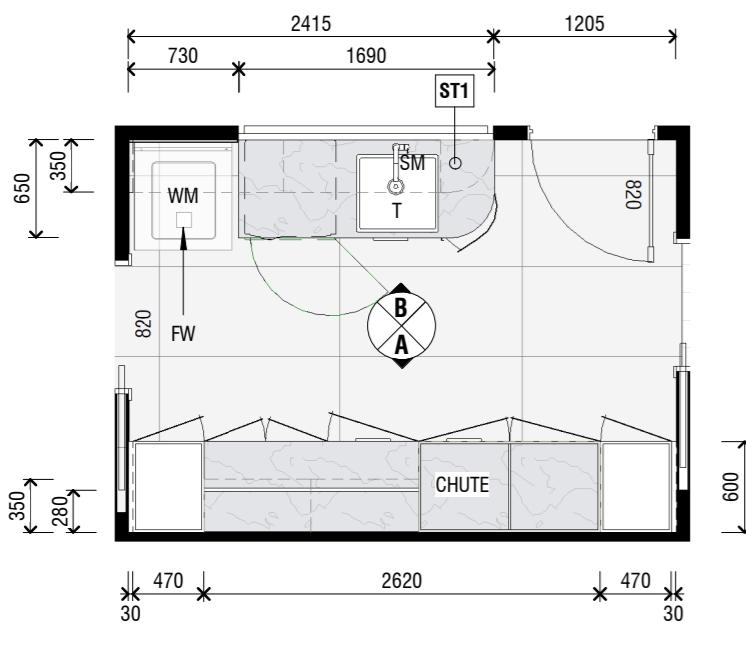


TITLE	KIT. & BUT'L DETAILS	JOB No.
PROJECT	PROPOSED RESIDENCE	SCALE
ADDRESS	17 CAPELLA STREET BALWYN NORTH	SHEET

A7.01

ISSUE DATE	DESCRIPTION
C 17.02.25	ISSUE FOR TENDER
B 24.01.25	PRELIMINARY ISSUE
A 19.11.24	CONSULTANT COORDINATION ISSUE

LEGEND	AS ADJUSTABLE SHELF	FS FIXED SHELF	RH RANGEHOOD
	AW AWNING WINDOW	GR GRILL	S1 SINK
	CT1 COOKTOP	L1 SELECTED LAMINATE FINISH 1	S2 SINK
	CT2 COOKTOP	OV1 OVEN	SM SINK MIXER TAP
	DW DISHWASHER	OV2 OVEN	ST1 SELECTED STONE FINISH 1
	FP FIXED PANEL	REF FRIDGE SPACE	WF WINE FRIDGE



**NOTE:**

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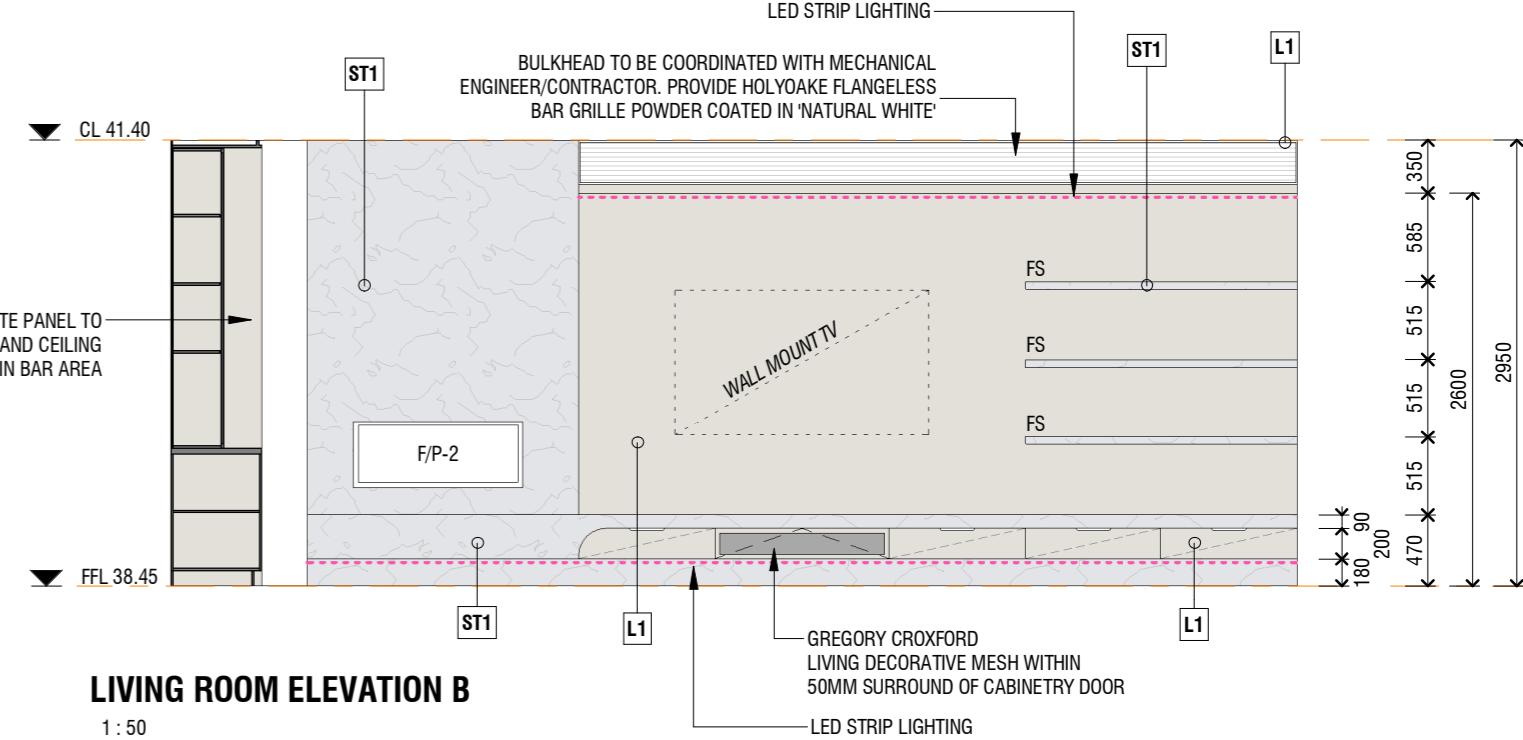
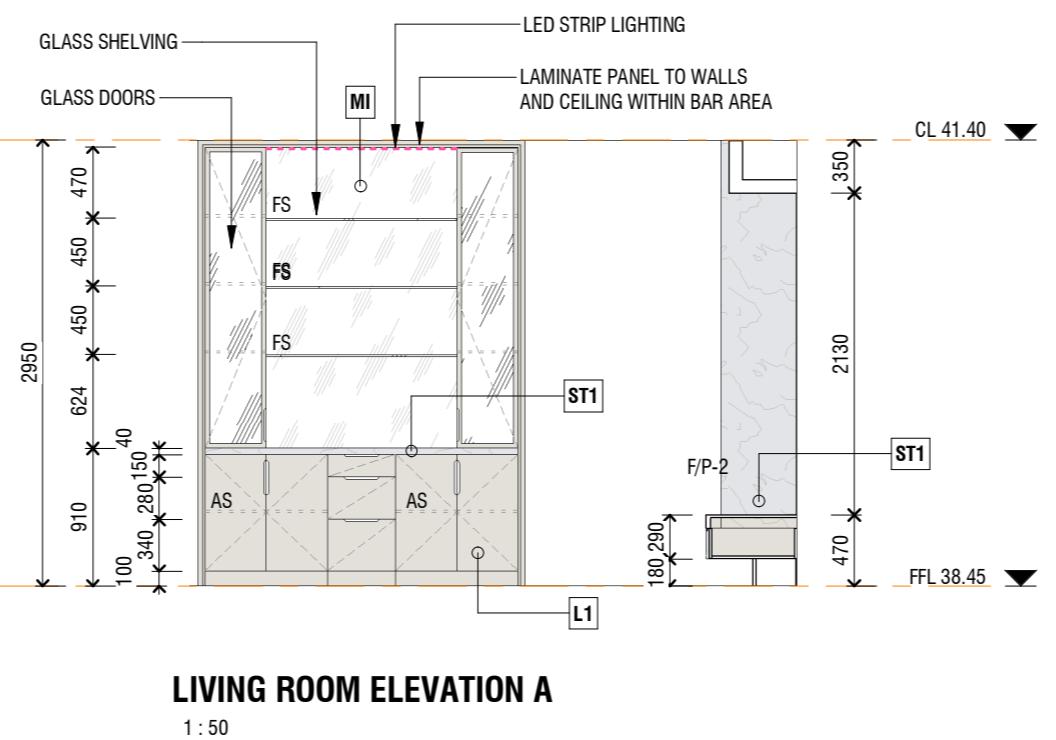
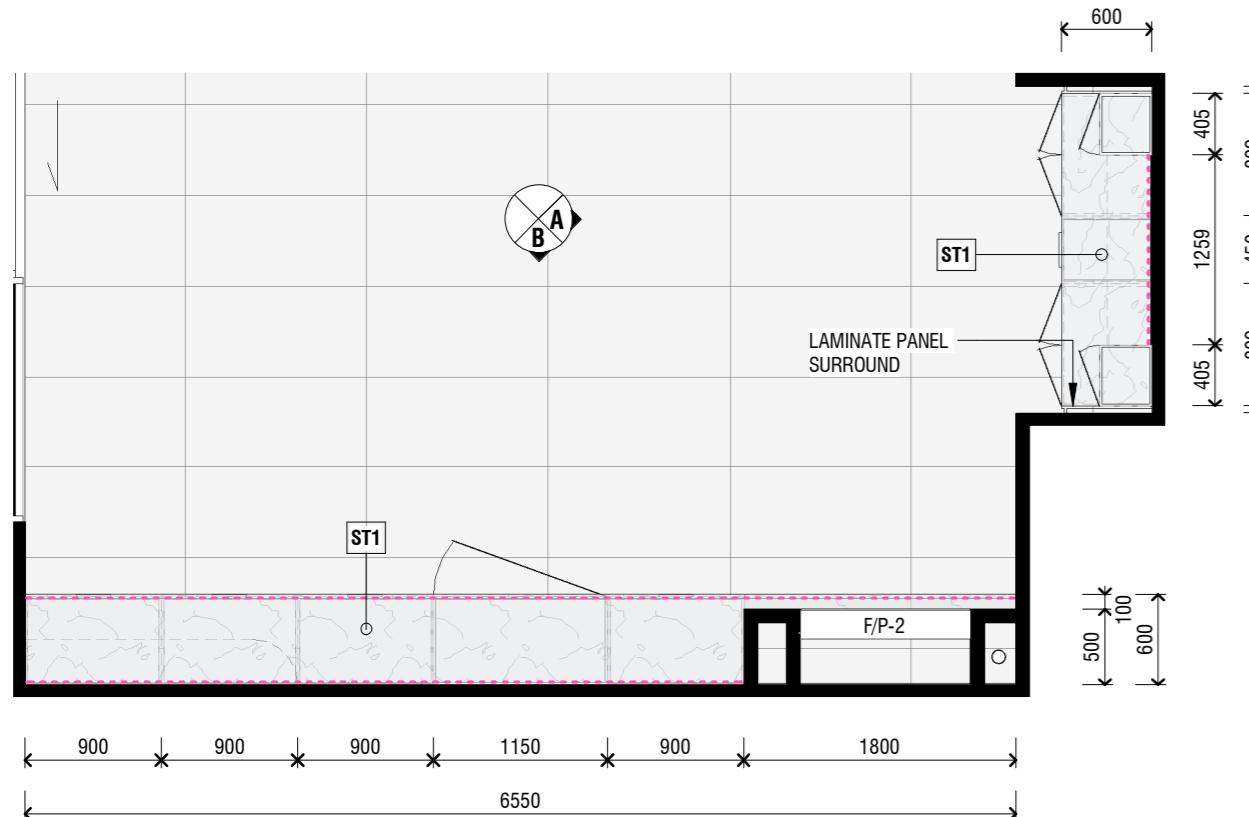
C	17.02.25	ISSUE FOR TENDER	SM SINK MIXER TAP
B	24.01.25	PRELIMINARY ISSUE	ST1 SELECTED STONE FINISH 1
A	19.11.24	CONSULTANT COORDINATION ISSUE	AF BAR FRIDGE

LEGEND

ISSUE DATE	DESCRIPTION	LEGEND	ITEM
C 17.02.25	ISSUE FOR TENDER	AF BAR FRIDGE	SM SINK MIXER TAP
B 24.01.25	PRELIMINARY ISSUE	AS ADJUSTABLE SHELF	ST1 SELECTED STONE FINISH 1
A 19.11.24	CONSULTANT COORDINATION ISSUE	DR DRYER	T TROUGH
		FW FLOOR WASTE	WM WASHING MACHINE
		L1 SELECTED LAMINATE FINISH 1	
		S3 SINK	

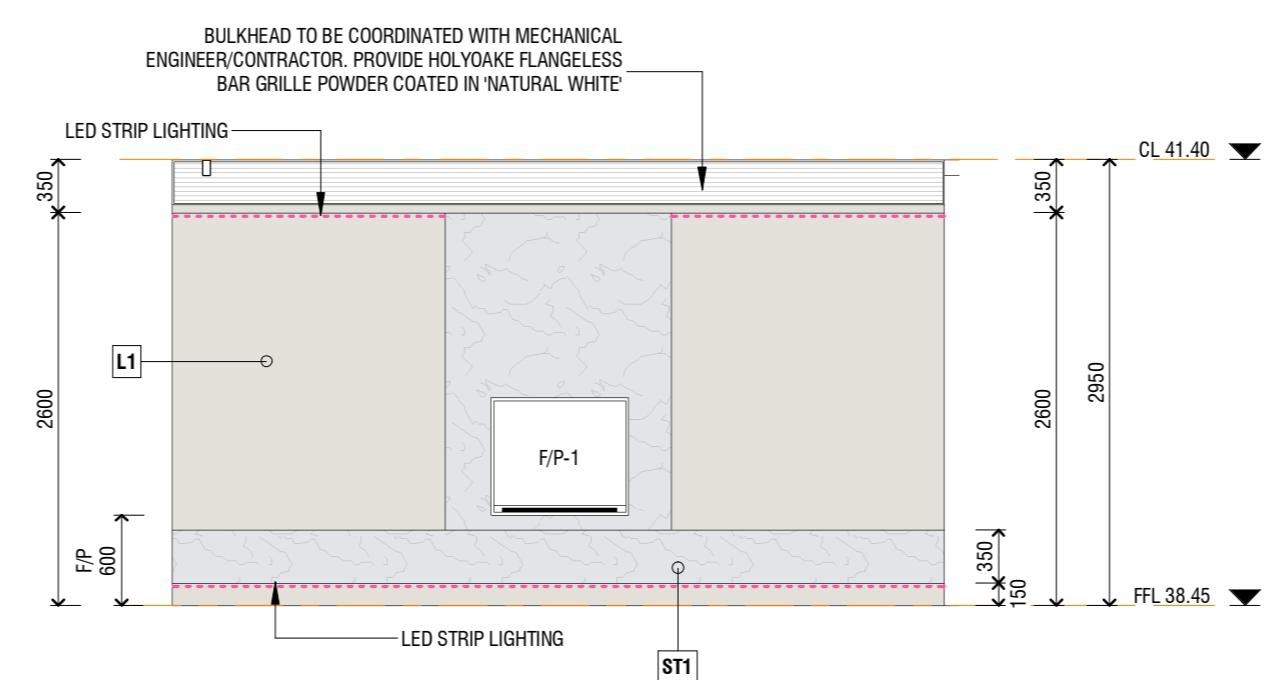
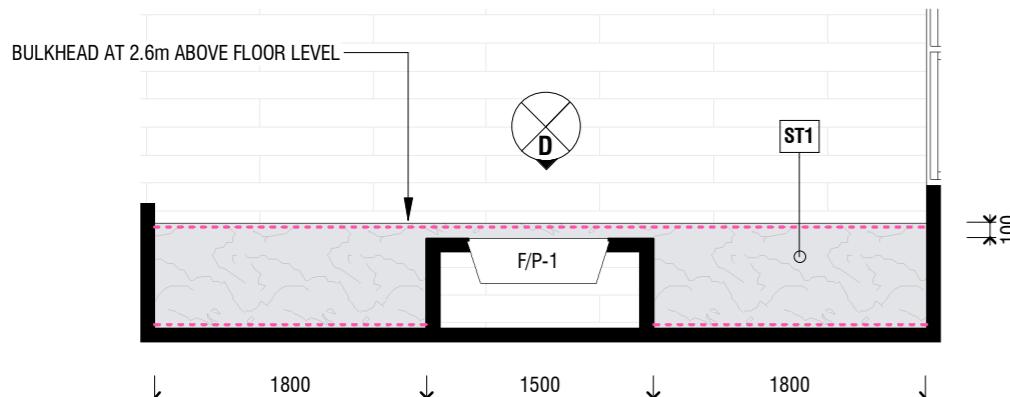
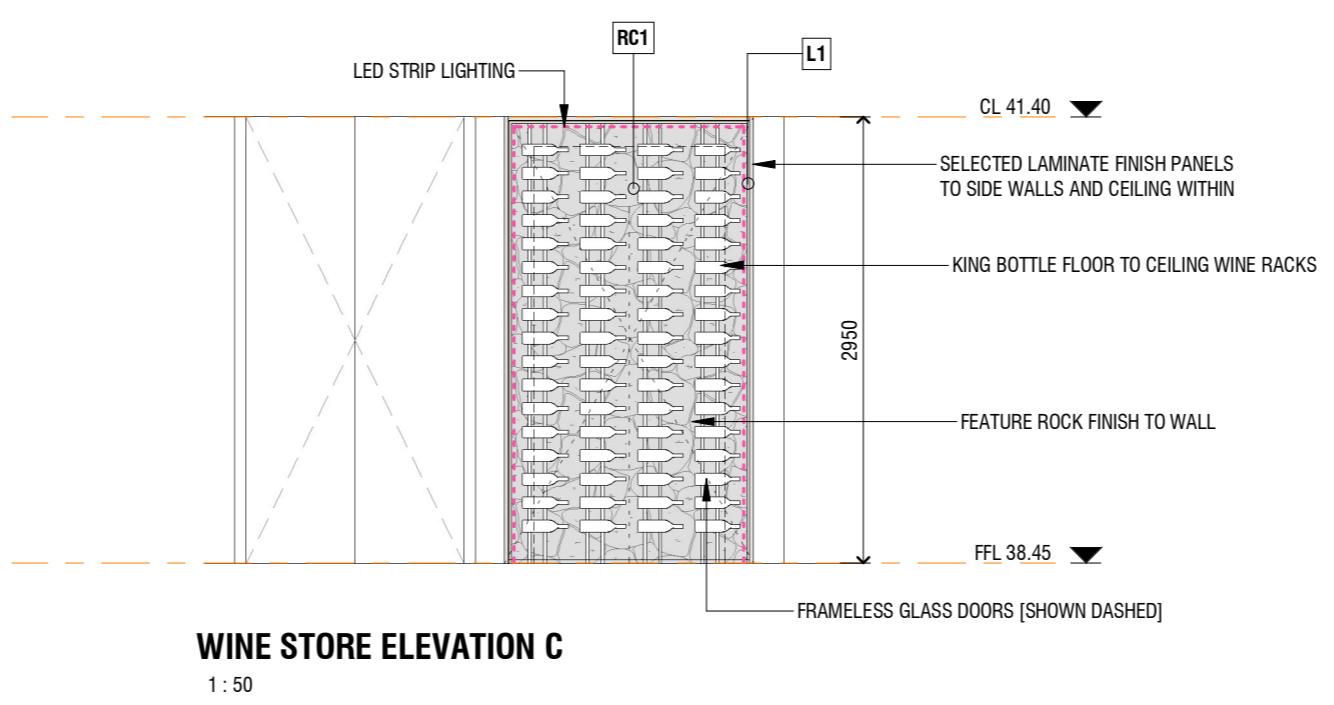
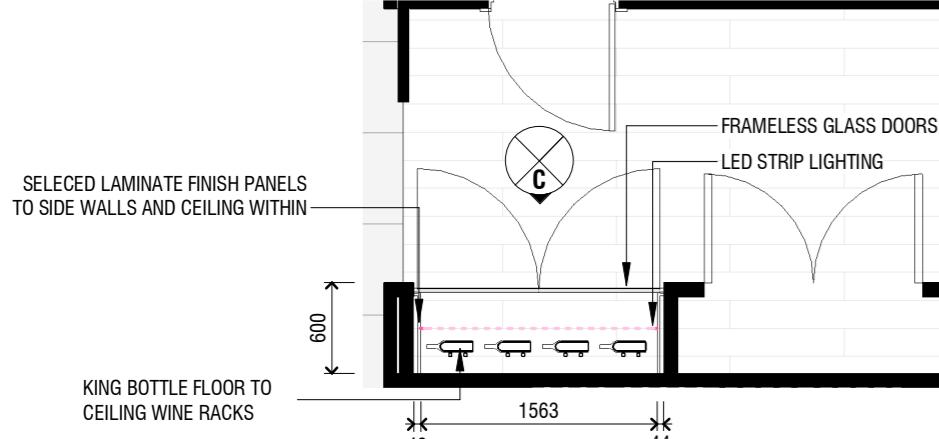


TITLE	LAUNDRY & ALFRESCO DETAILS	JOB No.	17CSB24
PROJECT	PROPOSED RESIDENCE	SCALE	1 : 50
ADDRESS	17 CAPELLA STREET BALWYN NORTH	HEET	A7.02



#### LIVING ROOM PLAN DETAIL

1:50

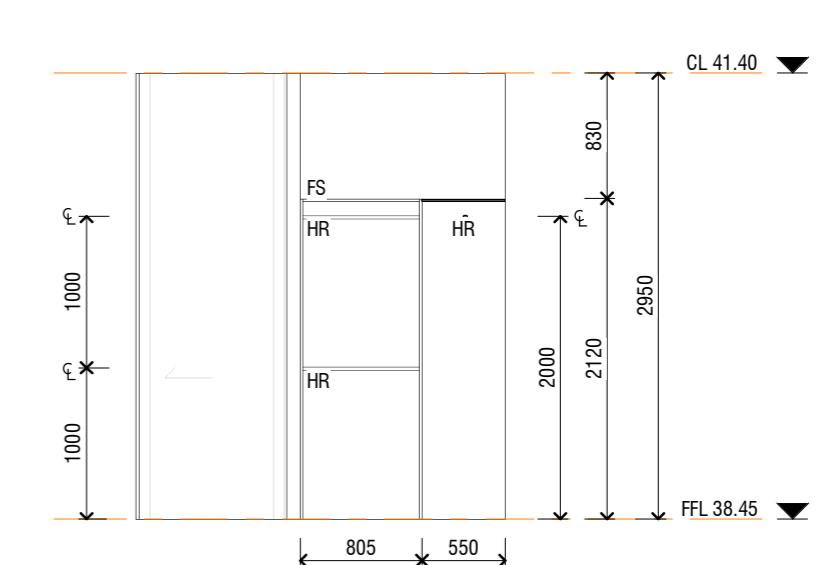
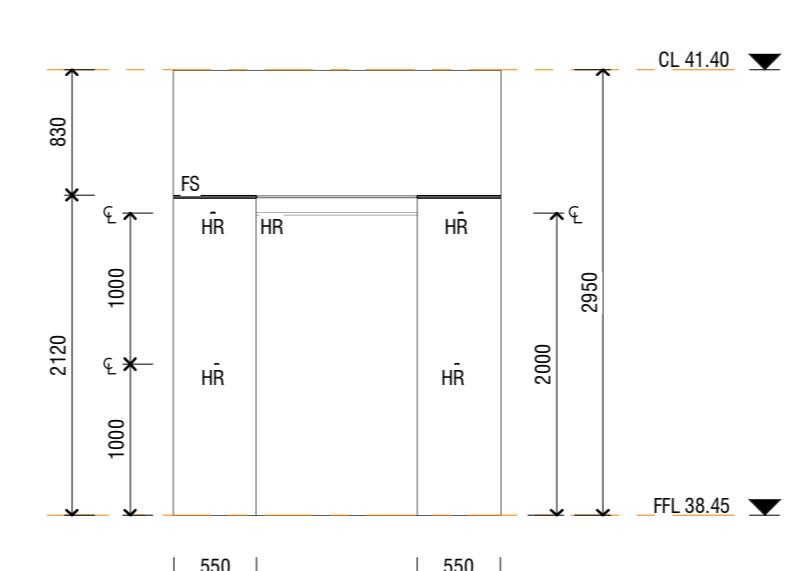
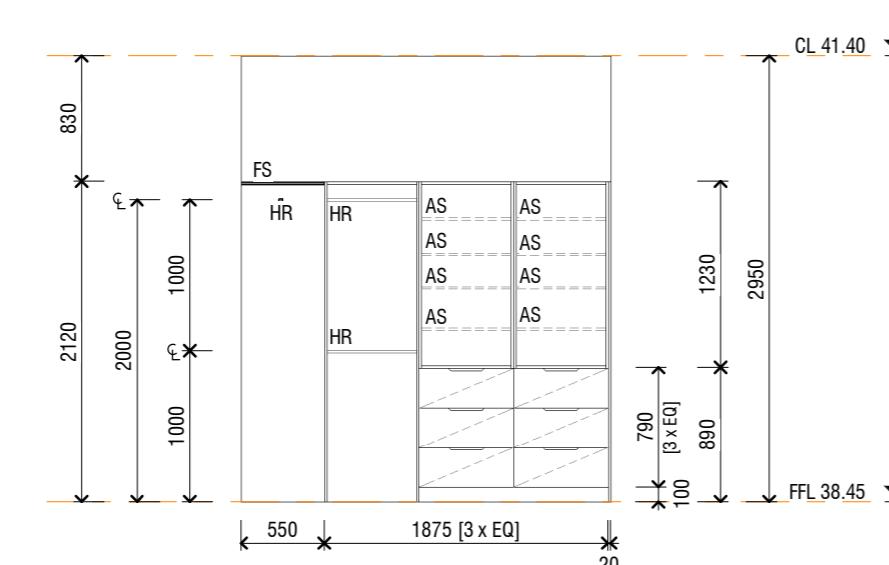
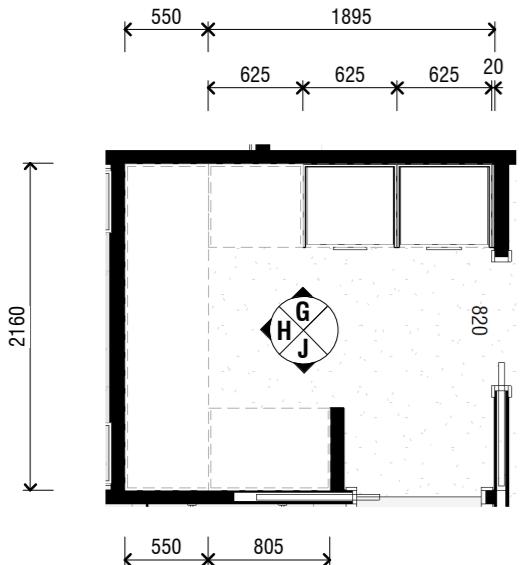
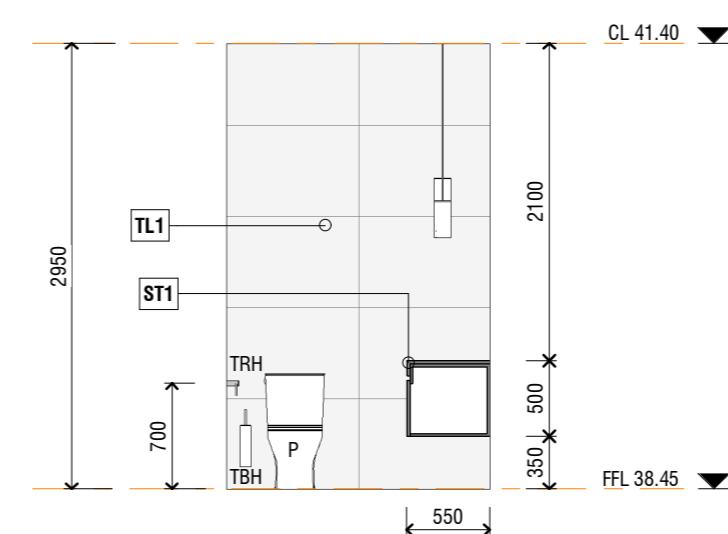
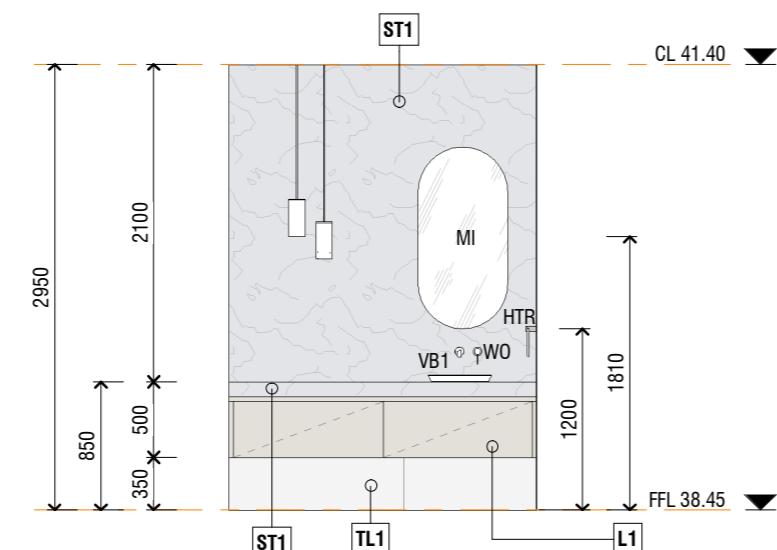
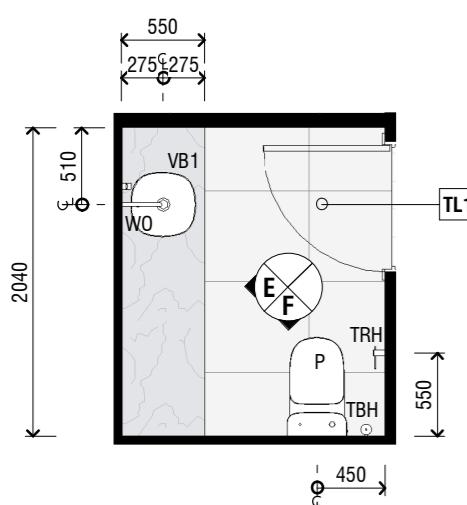
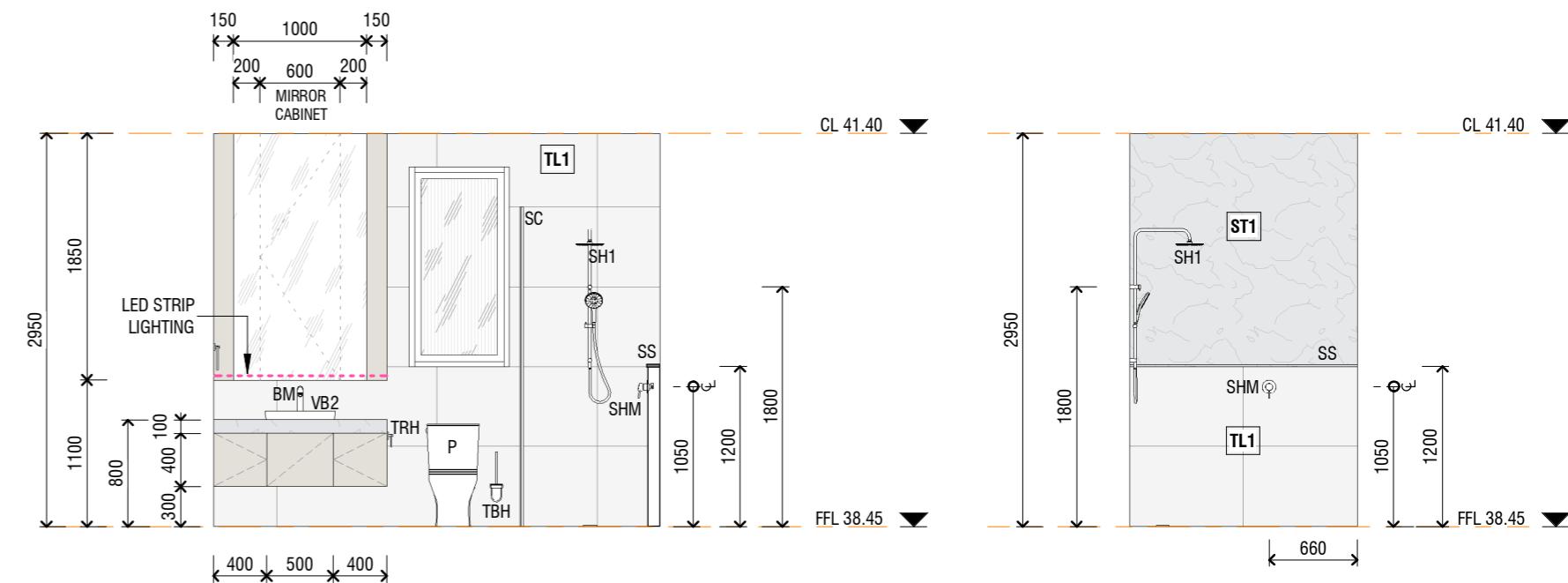
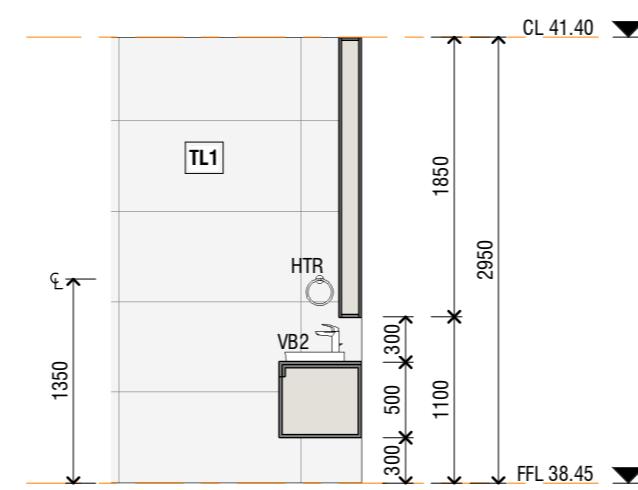
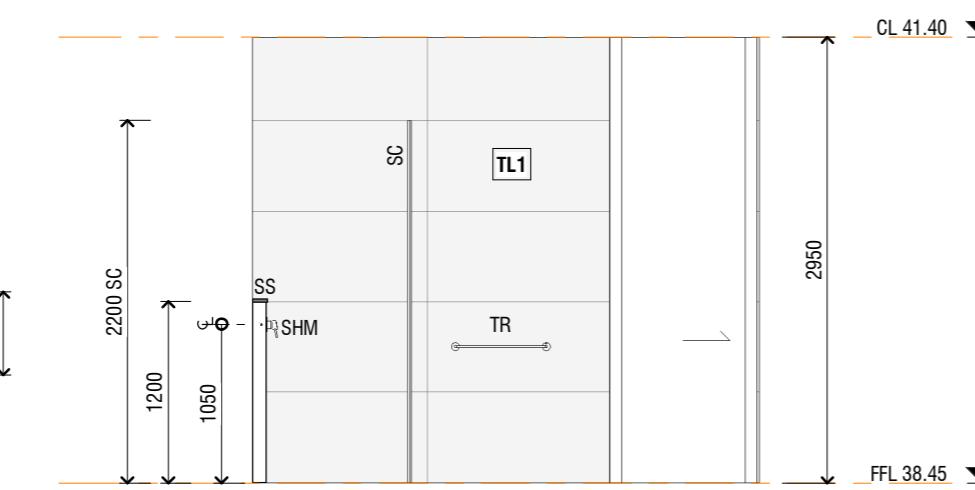
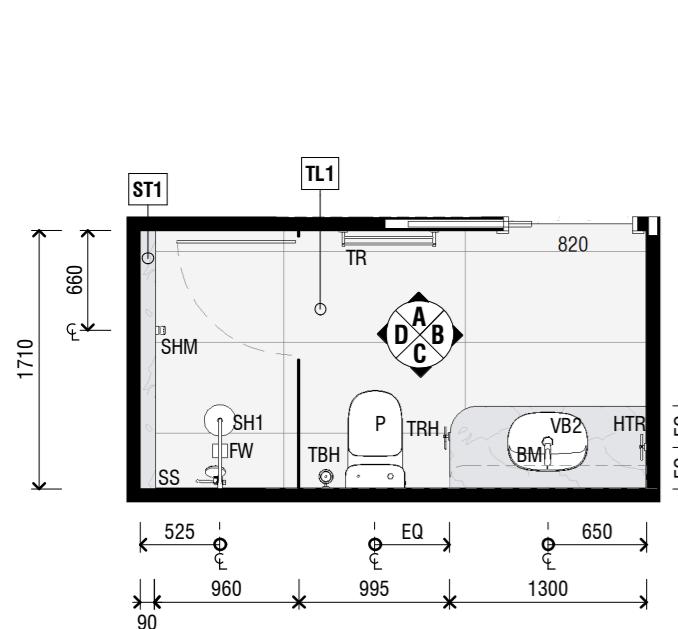


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C	17.02.25	ISSUE FOR TENDER
B	24.01.25	PRELIMINARY ISSUE
A	19.11.24	CONSULTANT COORDINATION ISSUE

LEGEND	AS ADJUSTABLE SHELF	RC1 SELECTED ROCK CLADDING
	F/P-1 SELECTED FIREPLACE	ST1 SELECTED STONE FINISH 1
	F/P-2 SELECTED FIREPLACE	
	FS FIXED SHELF	
	L1 SELECTED LAMINATE FINISH 1	
	MI MIRROR FINISH	





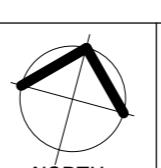
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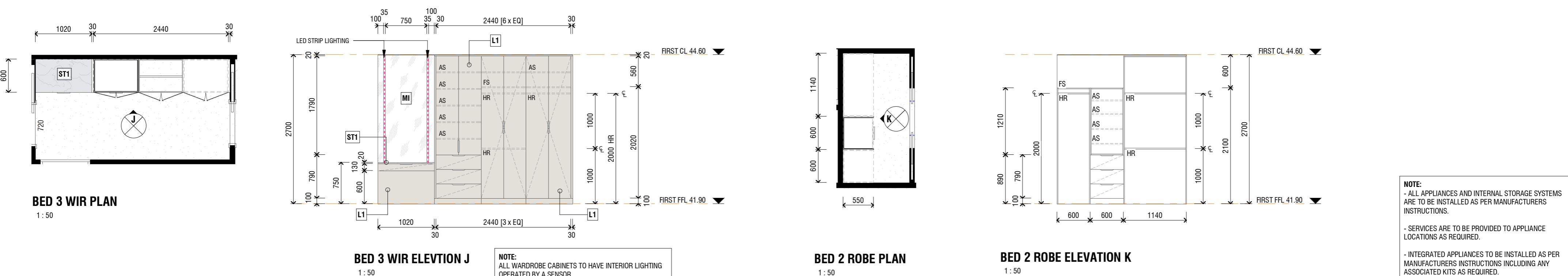
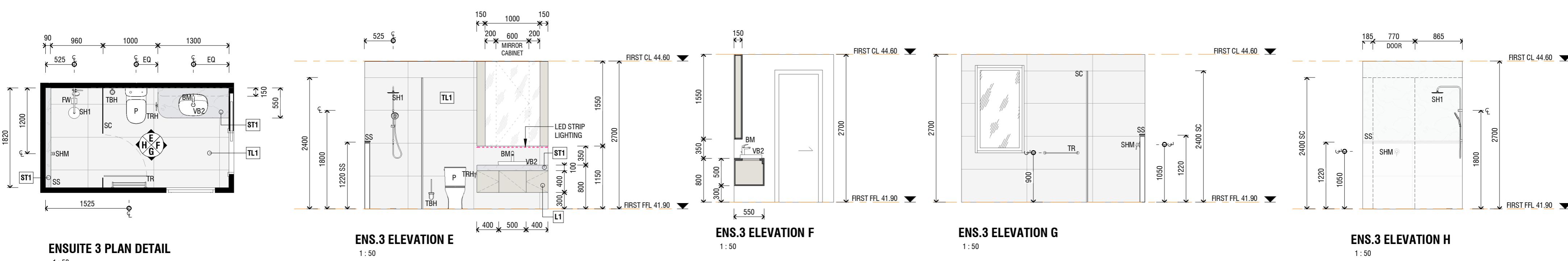
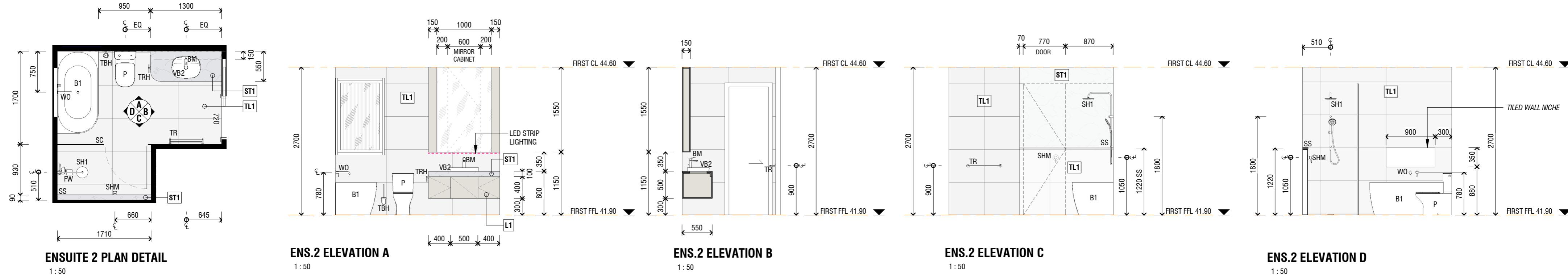
ISSUE DATE	DESCRIPTION
C 17.02.25	ISSUE FOR TENDER
B 24.01.25	PRELIMINARY ISSUE
A 19.11.24	CONSULTANT COORDINATION ISSUE

**LEGEND**

AS	ADJUSTABLE SHELF	MI	MIRROR FINISH	ST1	SELECTED STONE FINISH 1
BM	BASIN MIXER TAP	P	TOILET PAN	TL1	SELECTED TILES
FW	FLOOR WASTE	SC	CAPPED STORMWATER POINT	SH1	TOILET BRUSH HOLDER
HR	HANGING RAIL	TR	TOWEL RAIL	SHM	SHOWER HEAD
HTR	HAND TOWEL RING	TRH	TOILET ROLL HOLDER	VB1	SHOWER MIXER TAP
L1	SELECTED LAMINATE FINISH 1	SS	SHOWER SHELF	VB2	VANITY BASIN



TITLE	ENS 1, PWD & GUEST BED WIR DETAILS	JOB No.	17CSB24
PROJECT	PROPOSED RESIDENCE	SCALE	1 : 50
ADDRESS	17 CAPELLA STREET BALWYN NORTH	SHEET	A7.04



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C	17.02.25	ISSUE FOR TENDER
B	24.01.25	PRELIMINARY ISSUE
A	19.11.24	CONSULTANT COORDINATION ISSUE

ISSUE DATE

DESCRIPTION

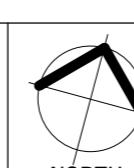
LEGEND

AS ADJUSTABLE SHELF  
B1 BATH  
BM BASIN MIXER TAP  
FW FLOOR WASTE  
L1 SELECTED LAMINATE FINISH 1  
MI MIRROR FINISH

P TOILET PAN  
SC CAPPED STORMWATER POINT  
SH1 SHOWER HEAD  
SHM SHOWER MIXER TAP  
SS SHOWER SHELF  
ST1 SELECTED STONE FINISH 1

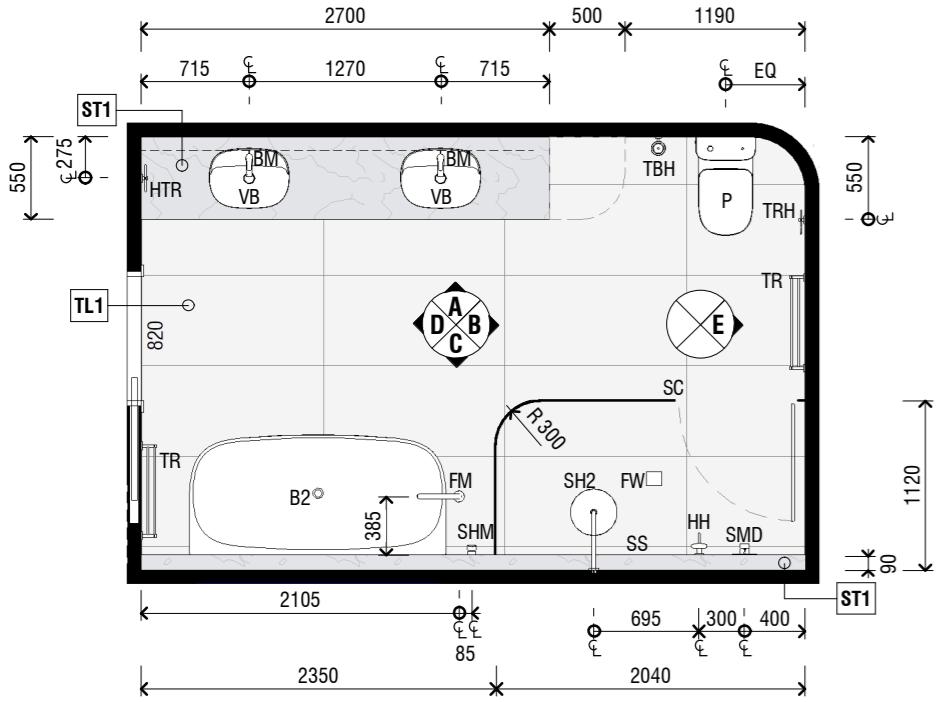
TBH TOILET BRUSH HOLDER  
TL1 SELECTED TILES  
TR TOWEL RAIL  
TRH TOILET ROLL HOLDER  
VB2 VANITY BASIN  
WO WALL MIXER

**NOTE:**  
ALL WARDROBE CABINETS TO HAVE INTERIOR LIGHTING OPERATED BY A SENSOR



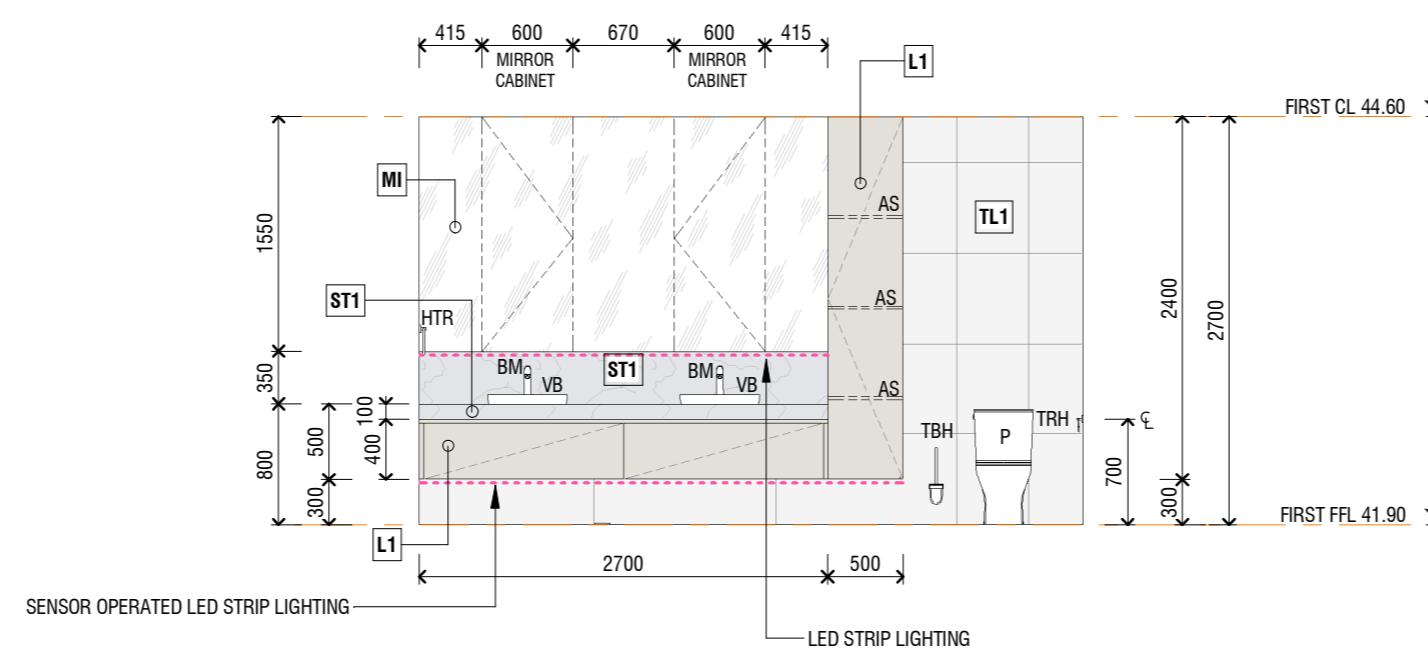
**axiomplus**  
ARCHITECTS

**TITLE** ENS 2, ENS 3 & BED 3 WIR DETAILS **JOB No.** 17CSB24  
**PROJECT** PROPOSED RESIDENCE **SCALE** 1 : 50  
**ADDRESS** 17 CAPELLA STREET BALWYN NORTH **SHEET** A7.06

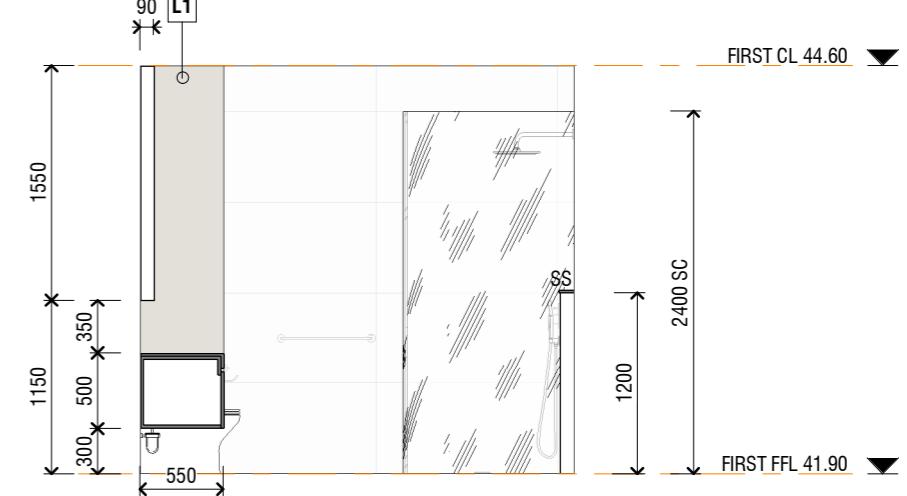


**ENSUITE 4 PLAN DETAIL**

1:50

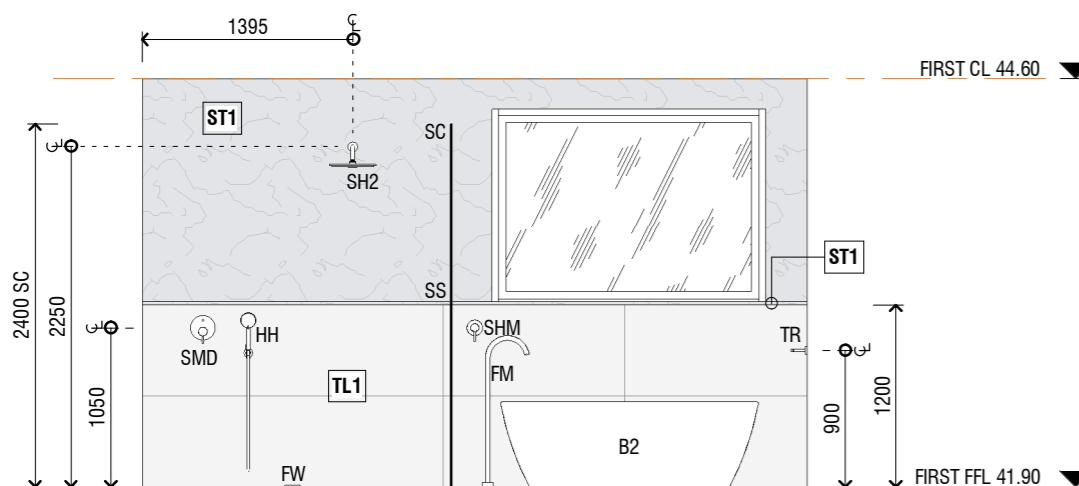


**ENS.4 ELEVATION A**



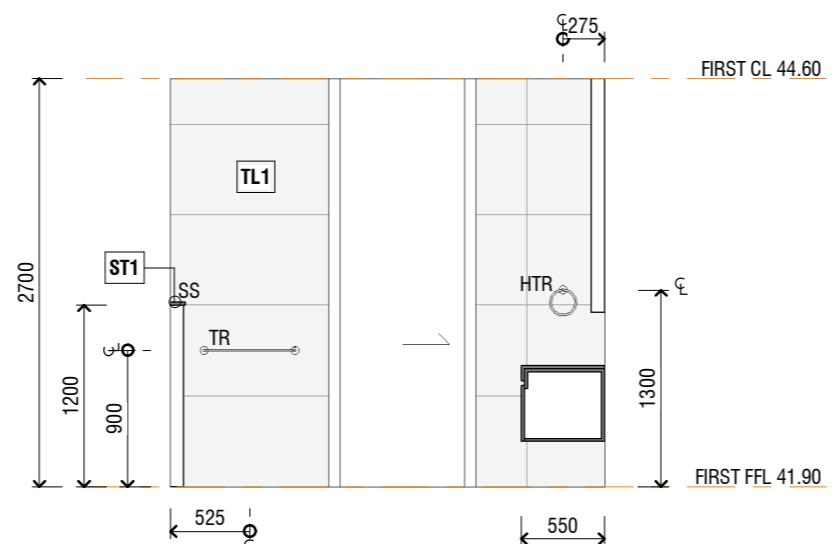
**ENS.4 ELEVATION B**

1:50



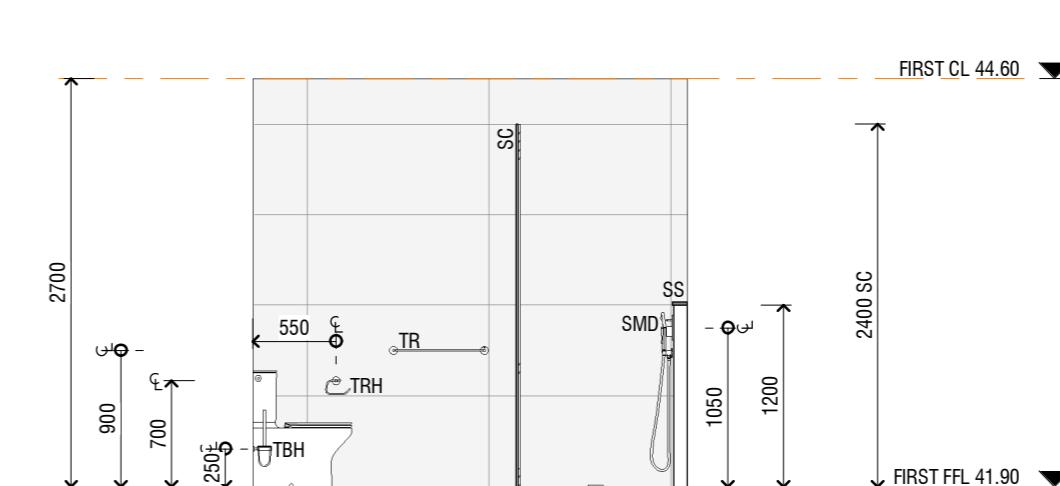
**ENS.4 ELEVATION C**

1:50



**ENS.4 ELEVATION D**

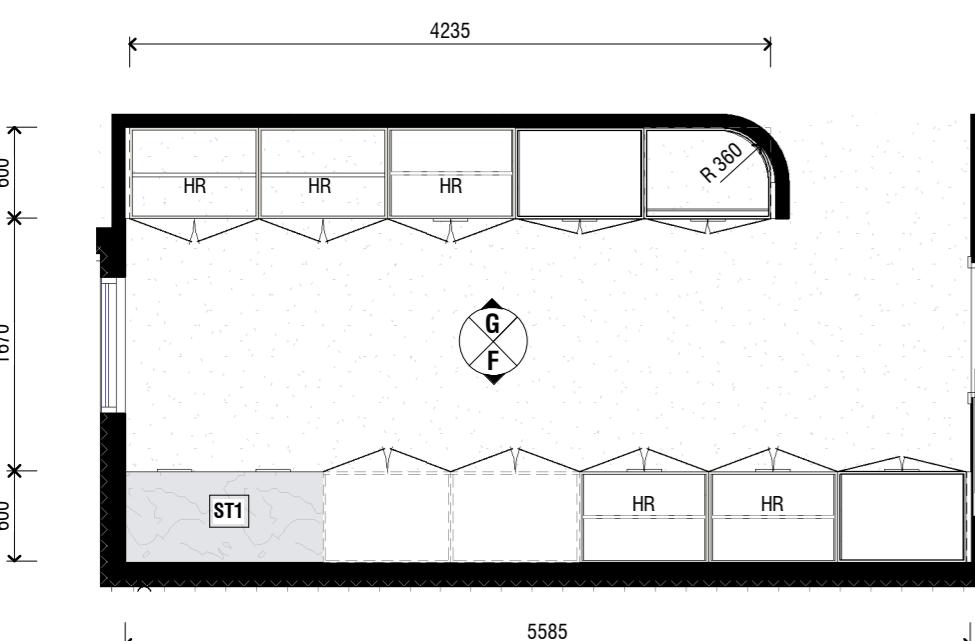
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**ENS.4 ELEVATION E**

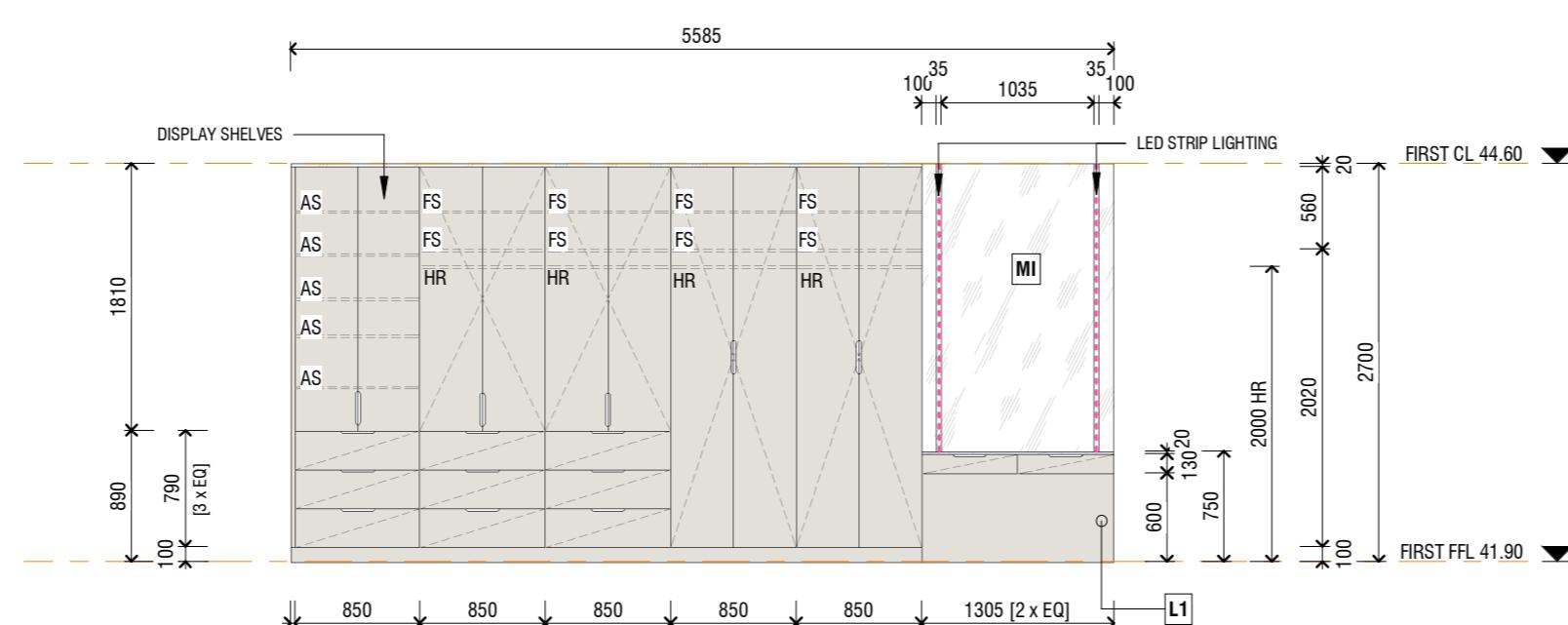
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**MASTER BED WIR PLAN**

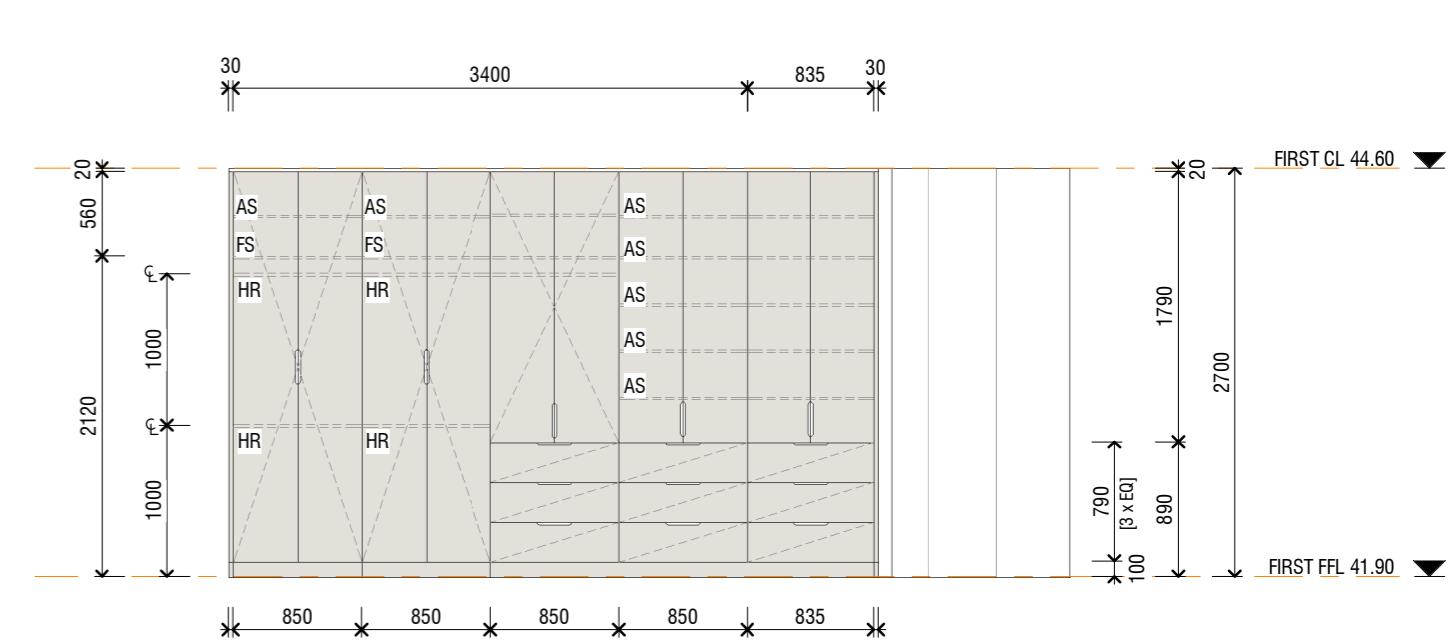
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**MASTER WIR ELEVATION F**

1:50

**NOTE:**  
 ALL WARDROBE CABINETS TO HAVE INTERIOR LIGHTING OPERATED BY A SENSOR



**MASTER WIR ELEVATION G**

1:50

**NOTE:**  
 ALL WARDROBE CABINETS TO HAVE INTERIOR LIGHTING OPERATED BY A SENSOR

ISSUE DATE	DESCRIPTION
C 17.02.25	ISSUE FOR TENDER
B 24.01.25	PRELIMINARY ISSUE
A 19.11.24	CONSULTANT COORDINATION ISSUE

**LEGEND**

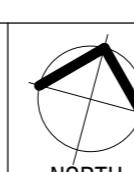
AS ADJUSTABLE SHELF  
 B2 BATH  
 BM BASIN MIXER TAP  
 FM FLOOR MOUNTED MIXER TAP  
 FW FLOOR WASTE  
 HH HANDHELD SHOWER HOSE

HR HANGING RAIL  
 HTR HAND TOWEL RING  
 L1 SELECTED LAMINATE FINISH 1  
 MI MIRROR FINISH  
 SS SHOWER SHELF  
 ST1 SELECTED STONE FINISH 1

SH2 SHOWER HEAD  
 SHM SHOWER MIXER TAP  
 SMD SHOWER MIXER & DIVERTER  
 P TOILET PAN  
 VB CAPPED STORMWATER POINT

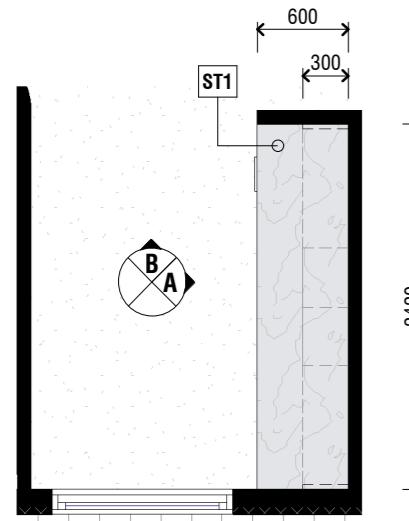
TBH TOILET BRUSH HOLDER  
 TL1 SELECTED TILES  
 TR TOWEL RAIL  
 TRH TOILET ROLL HOLDER

V8



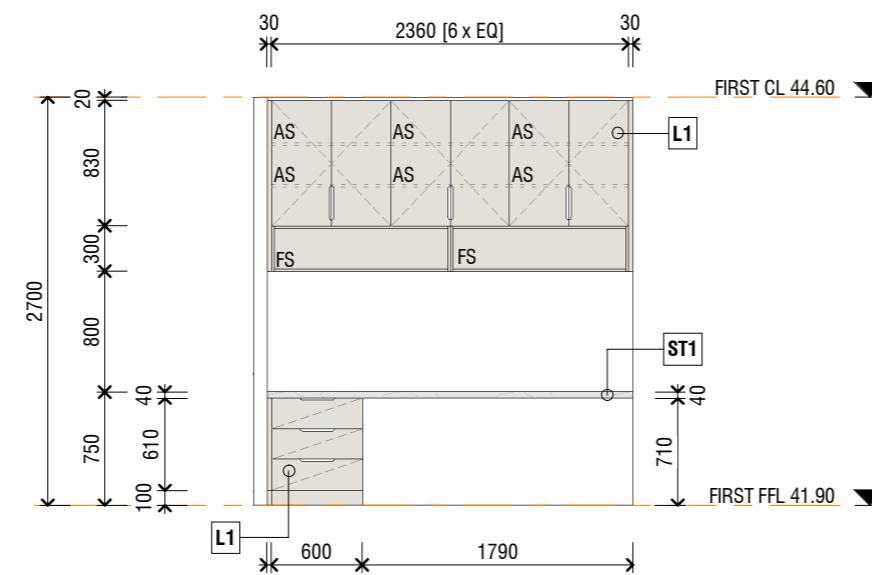
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 ARCHITECTS

**TITLE** ENS 4 & MASTER BED DETAILS **JOB No.** 17CSB24  
**PROJECT** PROPOSED RESIDENCE **SCALE** 1 : 50  
**ADDRESS** 17 CAPELLA STREET BALWYN NORTH **SHEET** A7.07

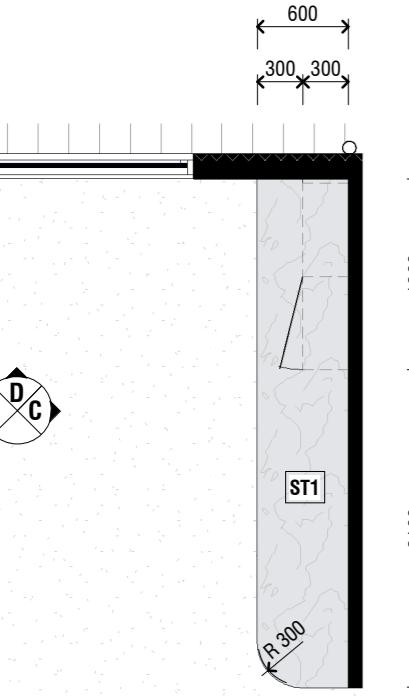


**STUDY PLAN DETAIL**

1 : 50

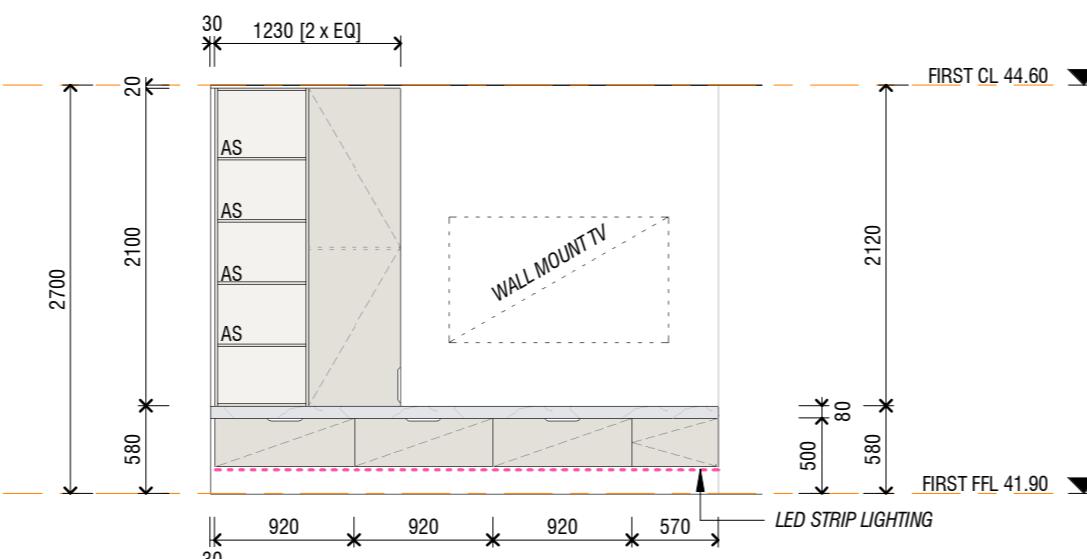


**STUDY ELEVATION A**



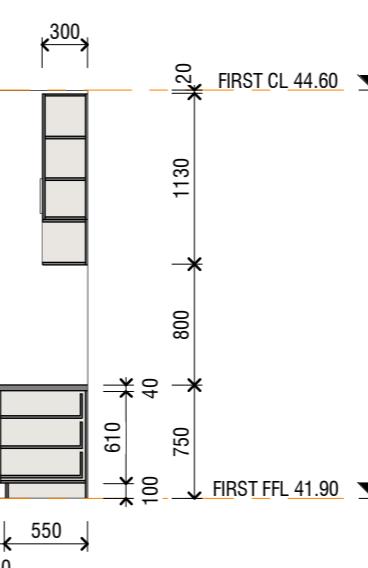
**RETREAT PLAN DETAIL**

1 : 50



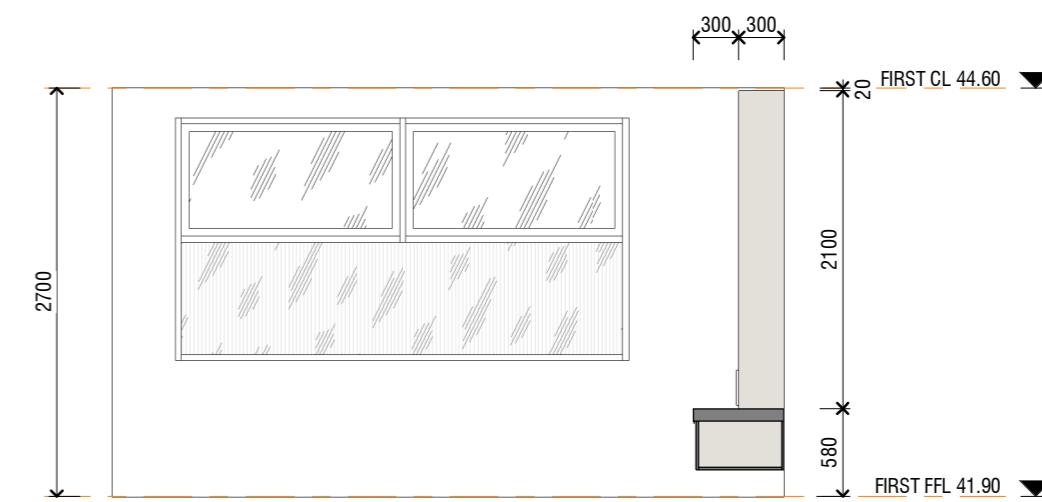
**RETREAT ELEVATION C**

1 : 50



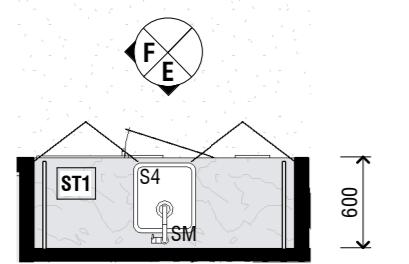
**STUDY ELEVATION B**

1 : 50



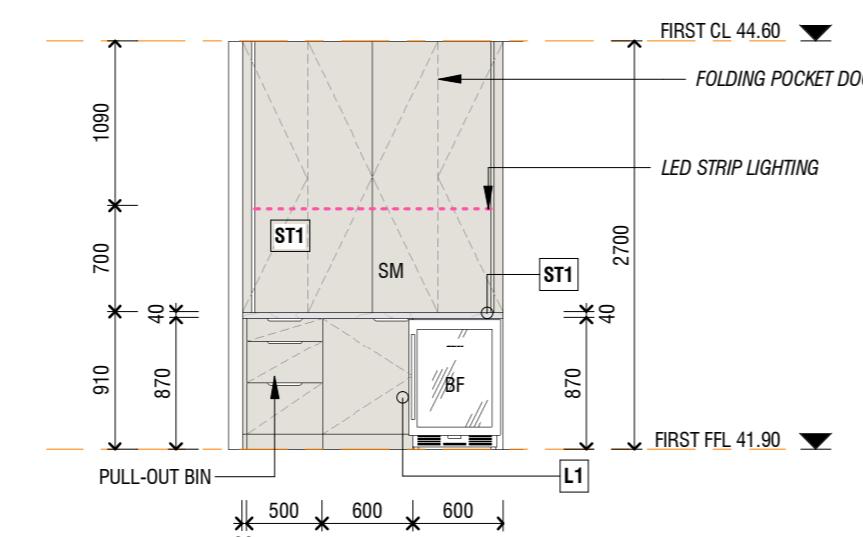
**RETREAT ELEVATION D**

1 : 50



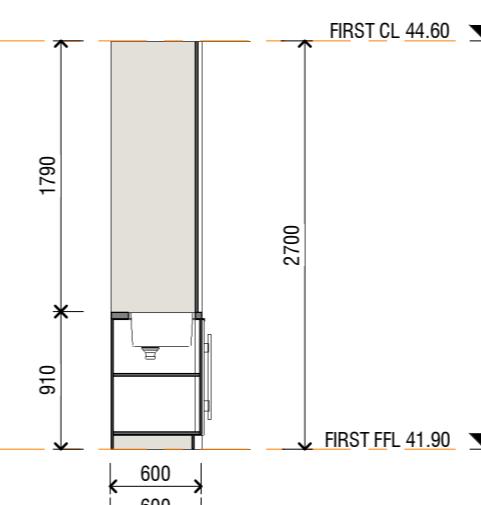
**BAR PLAN DETAIL**

1 : 50



**BAR ELEVATION E**

1 : 50



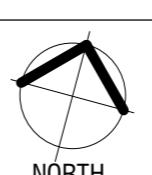
**BAR ELEVATION F**

1 : 50

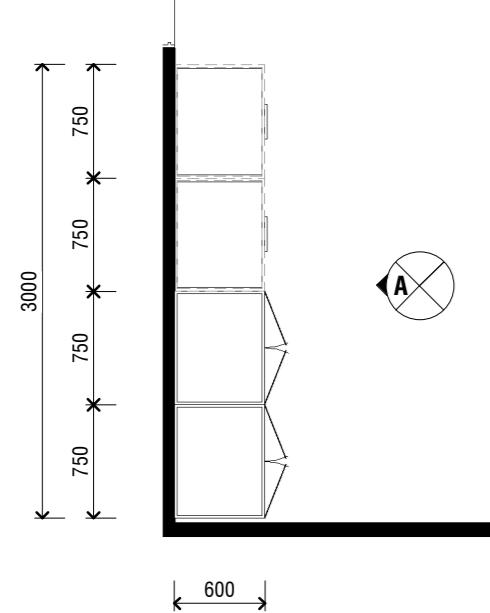
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C	17.02.25	ISSUE FOR TENDER	ST1 SELECTED STONE FINISH 1
B	24.01.25	PRELIMINARY ISSUE	
A	19.11.24	CONSULTANT COORDINATION ISSUE	

LEGEND	AS	ADJUSTABLE SHELF
	BF	BAR FRIDGE
	FS	FIXED SHELF
	L1	SELECTED LAMINATE FINISH 1
	S4	SINK
	SM	SINK MIXER TAP

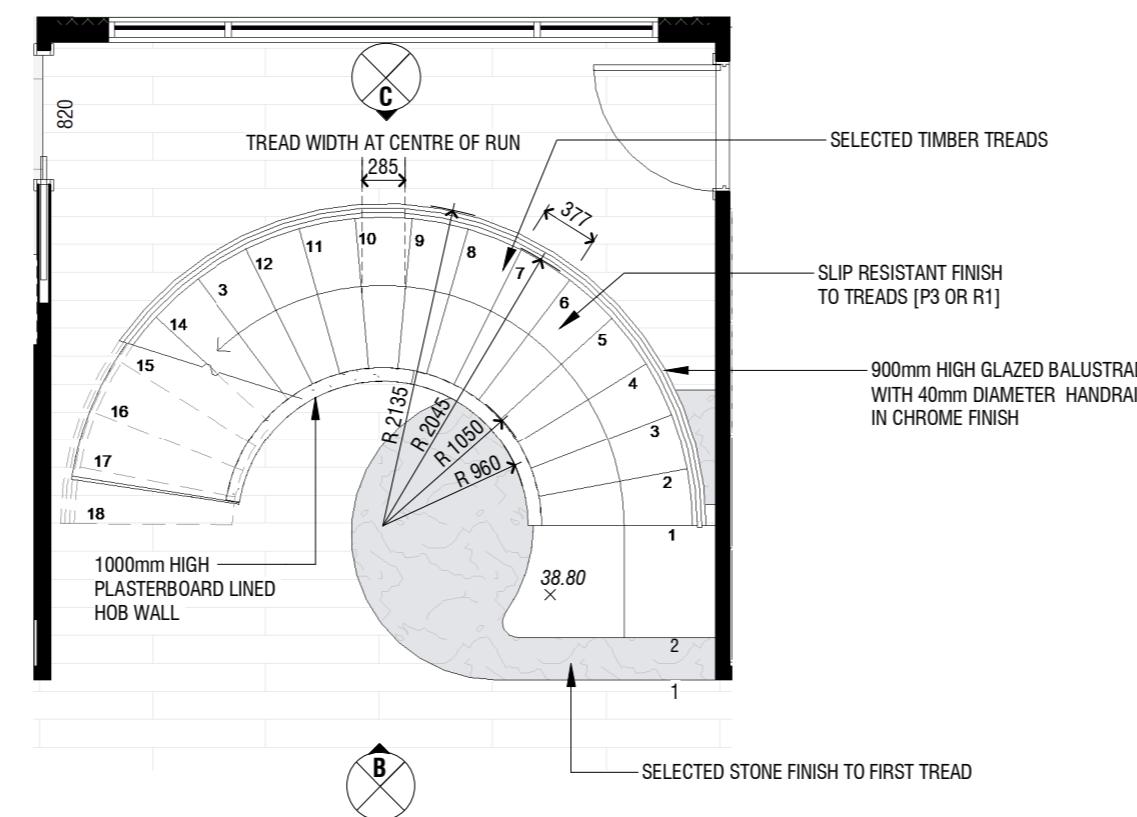


TITLE	STUDY, RETREAT & BAR DETAILS	JOB No.	17CSB24
PROJECT	PROPOSED RESIDENCE	SCALE	1 : 50
ADDRESS	17 CAPELLA STREET BALWYN NORTH	SHEET	A7.08



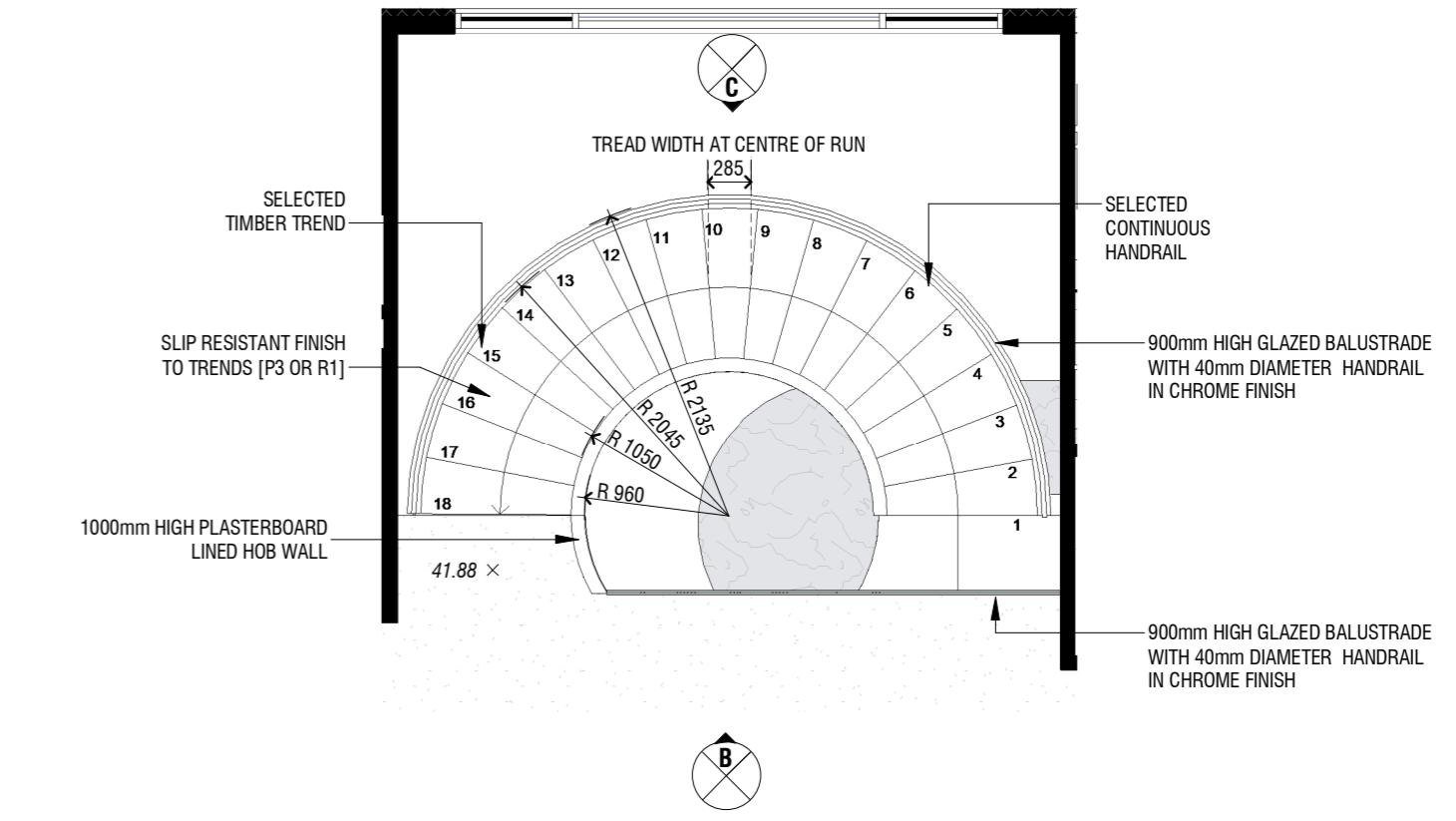
**GARAGE JOINERY DETAIL PLAN**

1:50



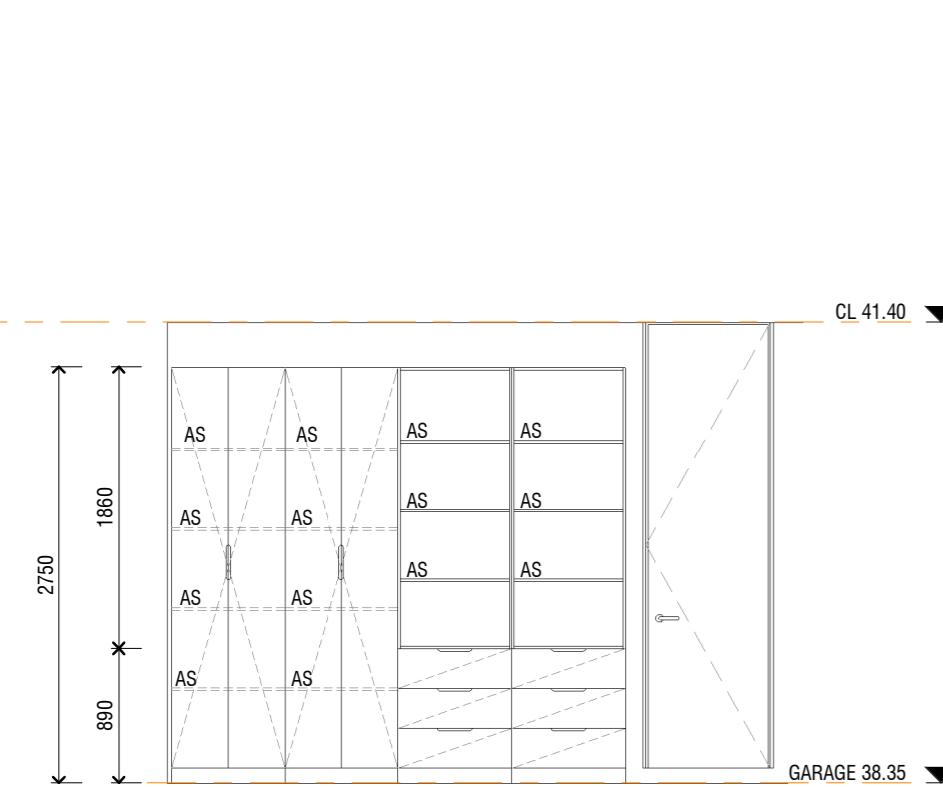
**GROUND FLOOR STAIR PLAN DETAIL**

1:50



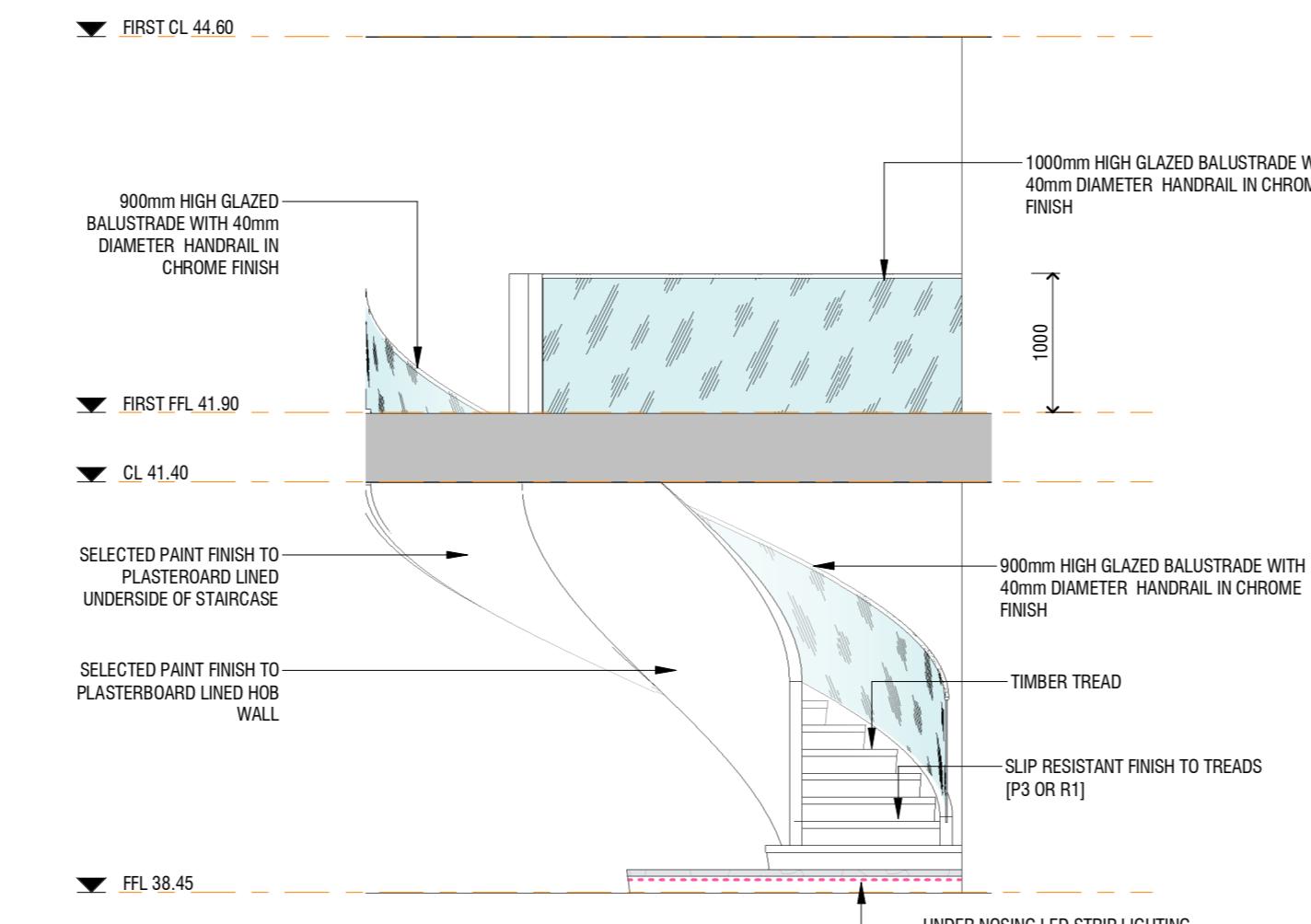
**FIRST FLOOR STAIR PLAN DETAIL**

1:50



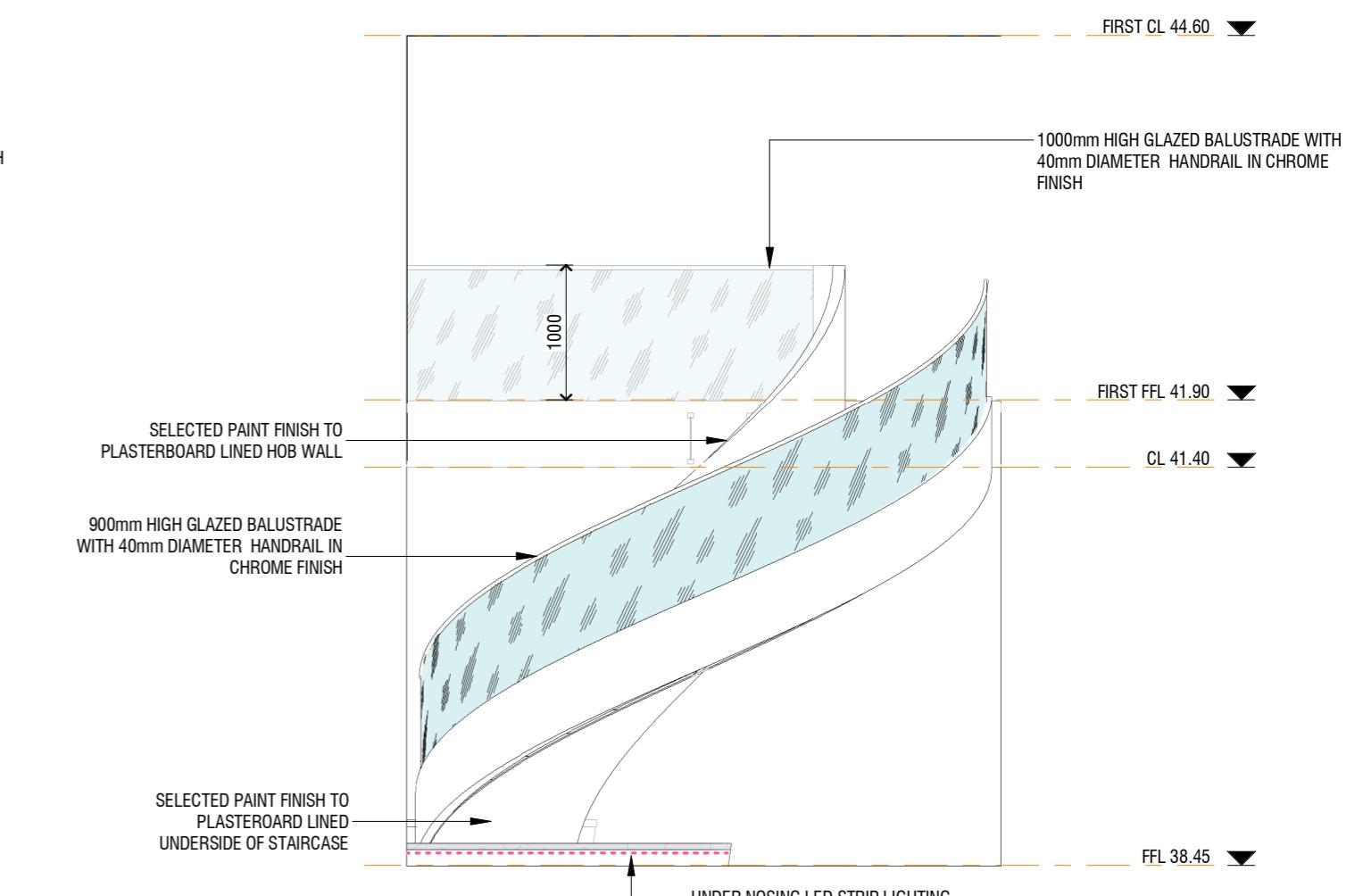
**GARAGE JOINERY - ELEVATION A**

1:50



**STAIR ELEVATION B**

1:50



**STAIR ELEVATION C**

1:50

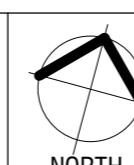
			AS ADJUSTABLE SHELF
C	17.02.25	ISSUE FOR TENDER	
B	24.01.25	PRELIMINARY ISSUE	
A	19.11.24	CONSULTANT COORDINATION ISSUE	

LEGEND

AS	ADJUSTABLE SHELF
B	PRELIMINARY ISSUE
A	CONSULTANT COORDINATION ISSUE

ISSUE DATE

DESCRIPTION



TITLE	GARAGE JOINERY & STAIR DETAILS	JOB No.	17CSB24
PROJECT	PROPOSED RESIDENCE	SCALE	1 : 50
ADDRESS	17 CAPELLA STREET BALWYN NORTH	SHEET	A7.09