

## GENERAL NOTES

Do not scale drawing. Use written dimensions only. All dimensions in millimetres unless noted otherwise.

The Owner/ Builder/ Subcontractor/ and Surveyor shall be responsible for verifying all dimensions, levels, set-backs & specifications prior commencing any works.

Any discrepancies must be reported to Prestigious Millennium Design P/L for clarification. The approval by this office of a design variation and/or substitute material, work practice, variation or the like is not an authorisation for it's use or a contract variation. Any said variations must be accepted by all parties to the agreement and where applicable the relevant Building Surveyor, prior to implementing the said variation.

These drawings are to be read in conjunction with all relevant Engineers' details and all other consultants drawings/ details/ reports and with any other written instructions issued in the course of the contract. Report any discrepancies to this office for clarification before commencement of any works.

The Owner/ Builder/ Subcontractor/ and Surveyor shall be responsible for ensuring that all building works, materials and work practices conform to current Building Code of Australia, Australian Standard, Building Regulations, local by-law, Town Planning requirements, Energy Rating report, and any other relevant permits & regulations.

Several important Australian Standard that are relevant to Residential works and materials are:

1. AS/NZS 1700: Structural design actions
2. AS/NZS 2200: Plywood - structural
3. AS 1288: Acoustics - Rating of sound installation in buildings and of building elements
4. AS 1288: Glass in buildings - Selection and Installation
5. AS 1397: Steel sheet and strip Hot-dipped zinc-coated or aluminium/zinc-coated
6. AS 1562: Design and installation of sheet roof and wall cladding
7. AS 1562: Design of stairs, stairs, stairways and ladders - Design, construction and installation
8. AS/NZS 1668: Aluminium structures
9. AS 1668: The use of mechanical ventilation and air-conditioning in buildings
10. AS/NZS 1680: Interior lighting
11. AS 1725: Residential timber-framed construction
12. AS 1725: Timber frames
13. AS 1926: Swimming pool safety
14. AS 2047: Windows in buildings - Selection and installation
15. AS 2049: Roof tiles
16. AS 2159: Protection of roof tiles
17. AS 2159: Piling - Design and installation
18. AS/NZS 2179: Specification for rainwater goods, accessories and fasteners
19. AS/NZS 2269: Plywood - structural
20. AS/NZS 2269: Plywood - exterior
21. AS/NZS 2699: Built in components for masonry construction
22. AS 2870: Residential slabs and footings - Construction
23. AS/NZS 2904: Damp-proof courses and flashings
24. AS/NZS 2904: Cellulose products
25. AS/NZS 3500.1: Domestic solid fuel burning appliances - Installation
26. AS/NZS 3500.3: Storm Water Drainage
27. AS 3600: Concrete structures
28. AS 3660: Termite management
29. AS 3705: Party wall structures
30. AS 3705: Waterproofing of wet areas in residential buildings
31. AS 3786: Smoke alarms
32. AS 3959: Construction of buildings in bushfire-prone areas
33. AS 4055: Wind loadings housing
34. AS 4100: Fire resistance requirements for the protection of openings in fire-resistant separating elements.
35. AS 4100: Steel structures
36. AS/NZS 4200: Pliable building membranes and underlays
37. AS 4254: Ductwork for air-handling systems in buildings
38. AS 4254: Ductwork for air-handling systems in cladding material
39. AS/NZS 4600: Cold-formed steel structures
40. AS/NZS 4858: Wet area membranes
41. AS/NZS 4858: Materials for the thermal insulation of buildings

Where required, treat area beneath floor against termite infestation in accordance with relevant standard. Contact the relevant municipal council to determine if this is mandatory.

Safety glass to be used in the following cases:

- i) All windows - Within 500mm vertical of the floor.
- ii) Bathrooms - Within 200mm horizontal from all doors.
- iii) Laundry - Within 1200mm vertical from floor and/or within 300mm horizontal from all doors.
- iv) Doorway - Within 300mm horizontal from doors.

Shower screens shall be GRADE A safety glass

Stormwater shall be taken to legal point of discharge by the municipal drainage engineer. Builder to contact the council if unsure of point of discharge.

Sewer or septic system shall be in accordance with the relevant authorities requirements.

Feelings not to encroach title boundaries and easement lines. Owner and builder to ensure this does not occur.

For buildings in close proximity to bushland that all steel work, brick cavity ties and steel lintels, ETC, that are imbedded or fixed into masonry be protected in accordance with BCA part 3.4.4.

All wet areas to comply with AS 3740. Wall finishes shall be impervious to a height of 1800mm above floor level to shower enclosures and 300mm above baths, basins and troughs if within 75mm of the wall. Refer to code for all requirements.

Provide wall ties to brickwork at maximum 60mm centres in each direction and within 300mm of articulation joints.

Sub floor vents are to provide a rate of 750mm SQ clear ventilation per 100mm run of external wall and 2200 SQ clear ventilation per 1000mm run of internal dwarf walls. (Located below rear).

Provide clearance from underside of bearers to finished ground level of 150mm for floor with strip flooring or 200mm for floors with particleboard flooring and 400mm in a terrace declared area.

Dwelling additions provide thermal insulation in accordance with BCA energy efficiency requirements.

New dwellings, to comply with energy rating report

The Builder shall take all steps necessary to ensure the stability of new and existing structures during all works.

The Builder shall ensure for general watertightness of all new and existing works.

Where building is within a designated bushfire prone area compliance with AS 3959 - is required to a level of attack as nominated in the building permit documentation.

## GENERAL NOTES FOR DEMOLITION WORKS

The Owner/ Builder/ Subcontractor/ and Surveyor must take precautions before and during demolition in accordance with relevant Australian Standard, Building Regulations, local by-law, and other relevant permits & regulations.

The demolition must not be commenced until the precautionary measures have been inspected and approved by the relevant Building Surveyor and authorities.

Any asbestos found on site shall be removed by asbestos removal specialist.

During the progress of the demolition the works shall be under the continuous supervision of an experienced Demolisher / Foreman.

Any swimming pools, pond or the like, either on the demolition site or on the neighbouring allotments where the like be demolished shall be adequately fenced and made safe, so as to comply with AS 1926.1 prior to commencement of any demolition works.

The Demolisher shall be responsible to cut and seal any storm water, sewer pipes, water services, gas services and the like.

The position of capped sewer and storm water drains, sealed-off water supply lines, gas supply lines and the like must be clearly marked on the site.

Make good ground condition after removal of underground services prior to foundation works.

Protect all trees not being demolished from soil compaction around drip-line and all trunks and canopies from damage. If any trees require canopy reduction to allow access, the architects must be advised.

Protect all on existing site pits that are to remain and underground services from damage.

## STAIRCASE NOTE:

Stair requirements:

Riser - 190mm Maximum, - 115mm minimum

Going/Tread - 355mm maximum - 240mm minimum (Domestic Only)

Riser and treads to be constant in size throughout flight. Provide non-slip finish suitable for skid slip edge of nosing to BCA table 3.4.1.1 requirements.

Provide continuous vertical 1000mm minimum height to balconies and decks which are 1000mm or more above ground level.

865mm minimum height handrail above stair nosing and landings.

Maximum openings between balusters not to exceed 125mm and maximum gap to open treads not to exceed 125mm.

Tread & landings to achieve the minimum non slip resistance classification of P3 or R10 (internal) and P4 & R11 (external).

All Stairways to have a handrail to one side.

For wire balustrade see BCA volume 2 requirements.

## STUMPS NOTE:

Stumps exceeding 120mm above ground to be braced concrete stumps

- 100mm SQ up to 1400mm Long (1 No. HD. WIRE)

- 100mm SQ 1400mm TO 1800mm Long (2 No. HD. WIRES)

- 125mm SQ 1800mm to 3000mm LONG (2 No. HD. WIRES)

## SMOKE DETECTOR / ALARM NOTE:

Smoke alarms to be provided and installed in accordance with AS 3736. New dwellings and additions with sleeping

accommodation to be hard wired with battery back up. New

alarms must be interlinked.

## WC NOTE:

W.C. Doors. To toilet pans located within 1.2m of the door jamb, lift off hinges must be fitted, otherwise the door must swing outwards.

## TERMITIC PROTECTION

A physical Barrier (Blue Sheets & "Homeguard") or other management system need to be installed to underside of building. Perimeter and any penetrations where the building (excluding a detached class 10) is located in a termite prone area to comply with 3660.1

## WATER TANK

Water tank to be connected to all toilets for flushing purposes, where possible, minimum 2000L.

## EXHAUST FAN

Exhaust fan to discharge directly to the outside, otherwise a vent (eg. whirly bird) is required if the roof has sarking and the exhaust fans discharge into roof space.

## WINDOW NOTE:

Windows on first floor bedrooms openable below 1.7m to have a maximum opening of 125mm only.

## WEPP HOLE

Weep-holes to brickwork must be provided in the course immediately above any damp proof course or flashing at centres not exceeding 1.2m.

All Weep hole are to comply with part 3.3.5.9 of the current NCC (2018)

## ARTICULATION JOINTS

Provide articulation joint in masonry veneer walls in accord with part 3.3.5.13 of the current NCC (2018)

## STRUCTURAL WORKS

**ALL STRUCTURAL WORKS IS INDICATIVE ONLY ON THE ARCHITECTURAL PLANS. BUILDER MUST REFER TO ACTUAL STRUCTURAL & CIVIL DOCUMENTATION FOR SIZES AND LOCATION PRIOR TO ORDER / CONSTRUCTION. DISCREPANCY MUST BE NOTIFIED IMMEDIATELY BACK TO STRUCTURAL / CIVIL ENGINEER**

## 6 STAR REQUIREMENT:

Raft slab. Inslab insulation (fibolite or similar) 25mm thickness with a value of R0.79, R 6.0 to elevated floor areas to first floor. Wall insulation R2.5 batts to house with isolation paper, including part walls between garage and house. Ceiling insulation R 6.0 batts to house + sarking. Roof colour medium.

Thermal broken double glazed UPVC windows and doors with low e-throughput. U-value 2.2, SHGC 0.28. All exhaust fans are self closing. All gaps around external doors, windows & down lights are sealed. Weather strips/seals to entry & garage P/A door.

Builder to provide appropriate tanking / waterproofing as required to all walls near the new structure.

Appropriate ag drains are to be installed and connected to the legal point of discharge as required

Where existing structure is only single brick, please contact engineer / building designer for solution(s)

All wet areas to comply with the b.c.a part 3.8.1 & as3740-2010 wall finishes shall be impervious to a height of 1800mm above floor level to shower enclosures and 300mm above baths, basins and troughs if within 75mm of the wall. Refer to code for all requirements.

Bathroom base/wall junction detail. Scale 1:2

**WATER PROOFING NOTE**

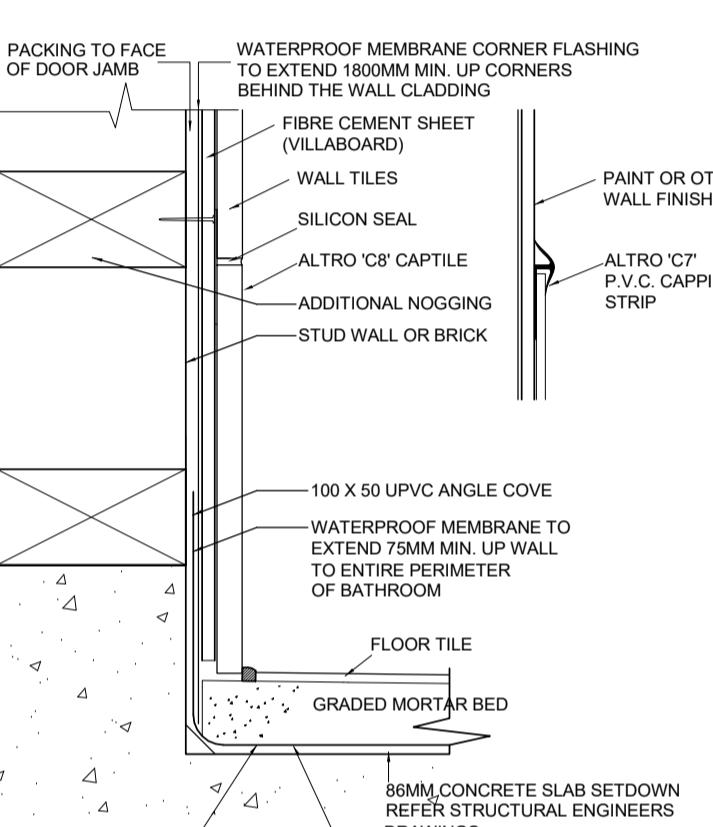
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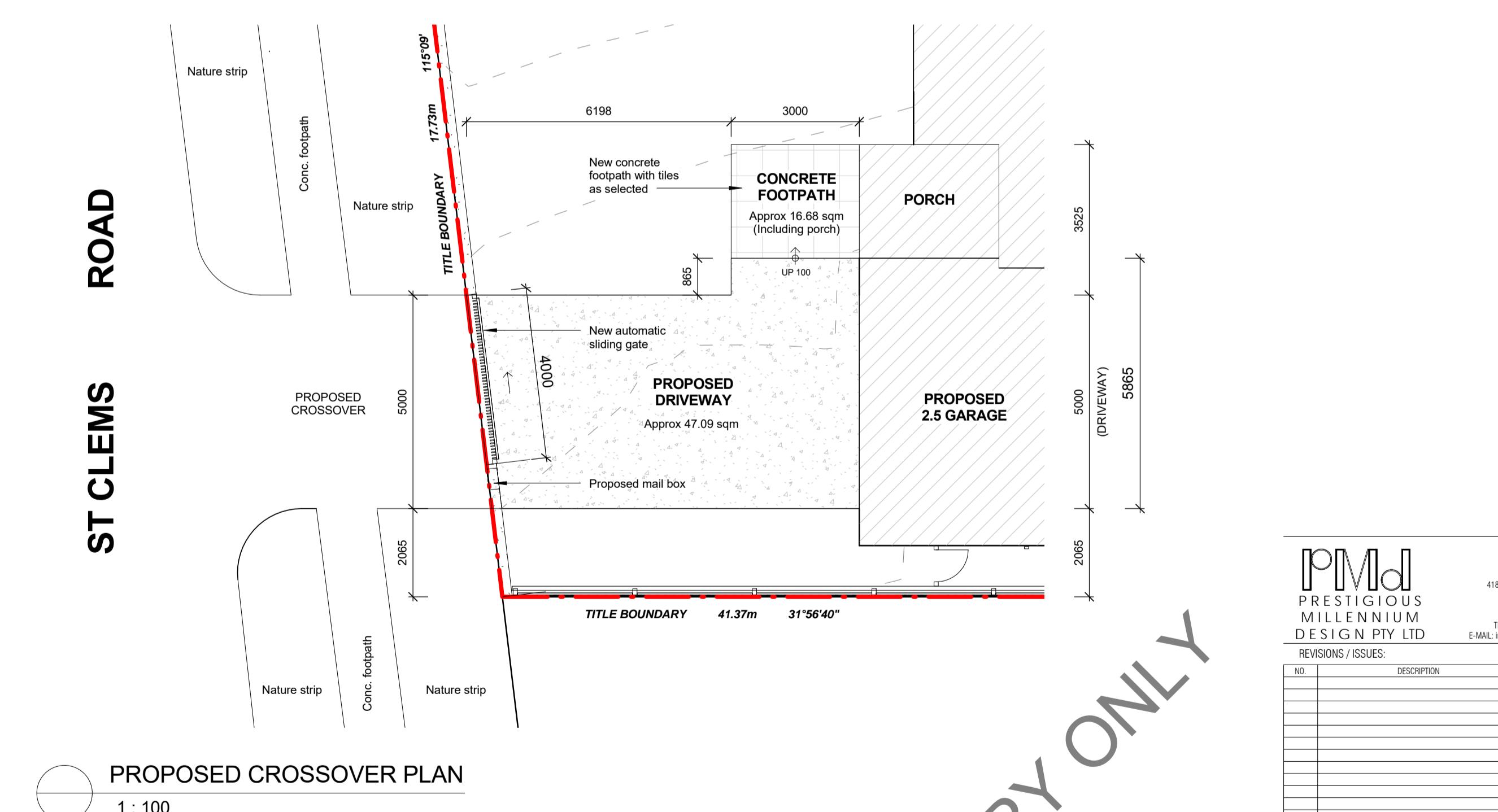
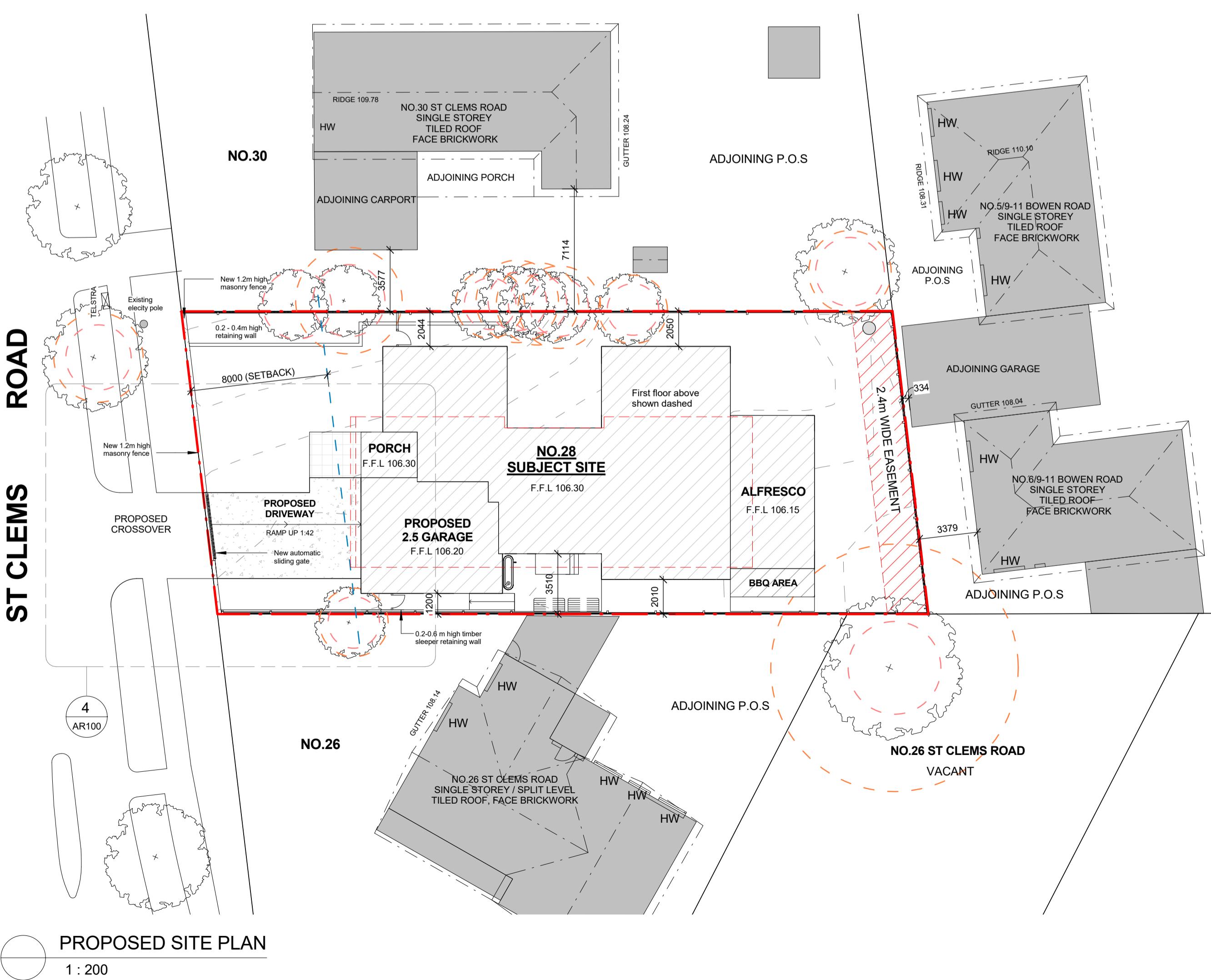
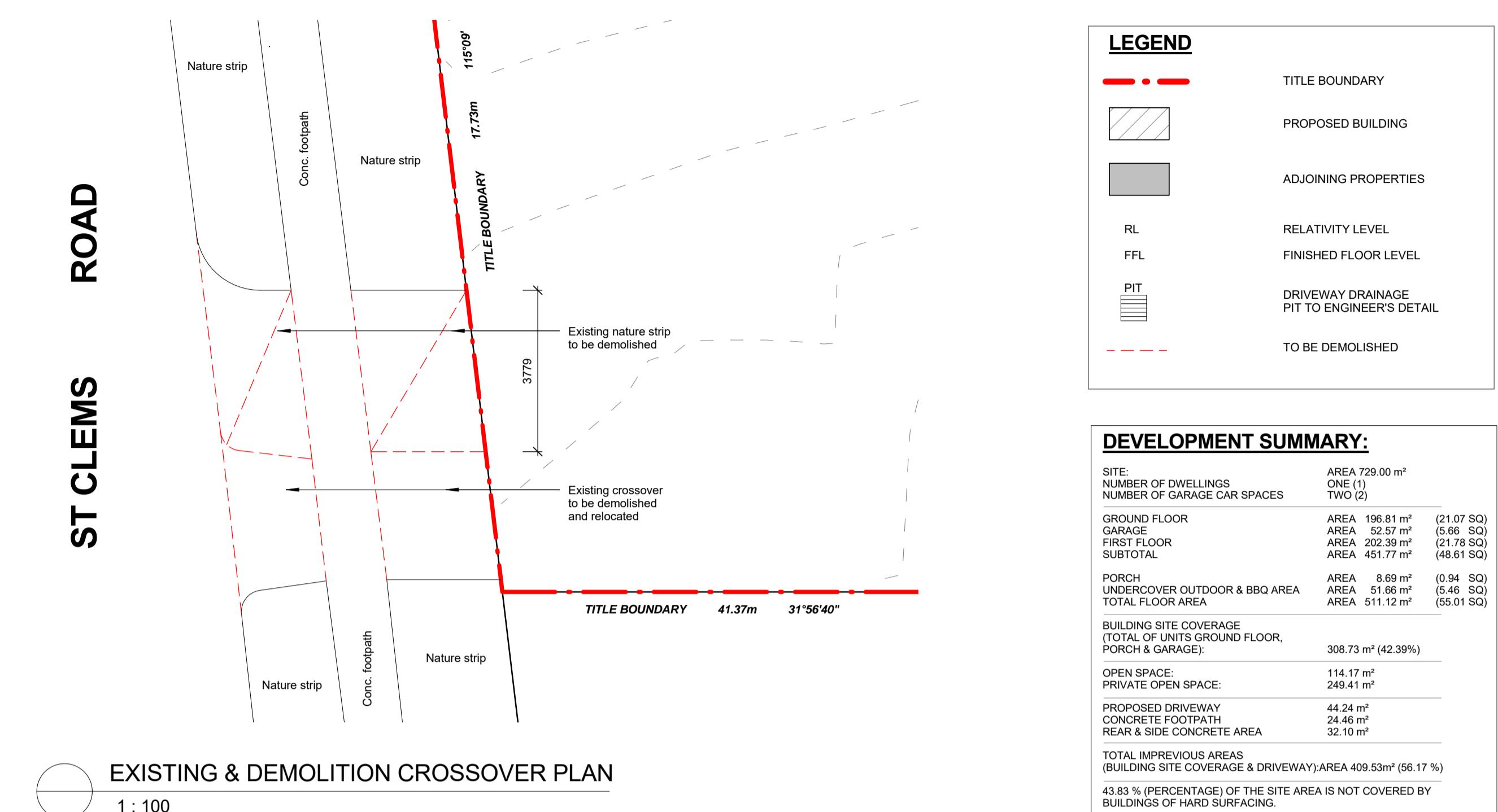
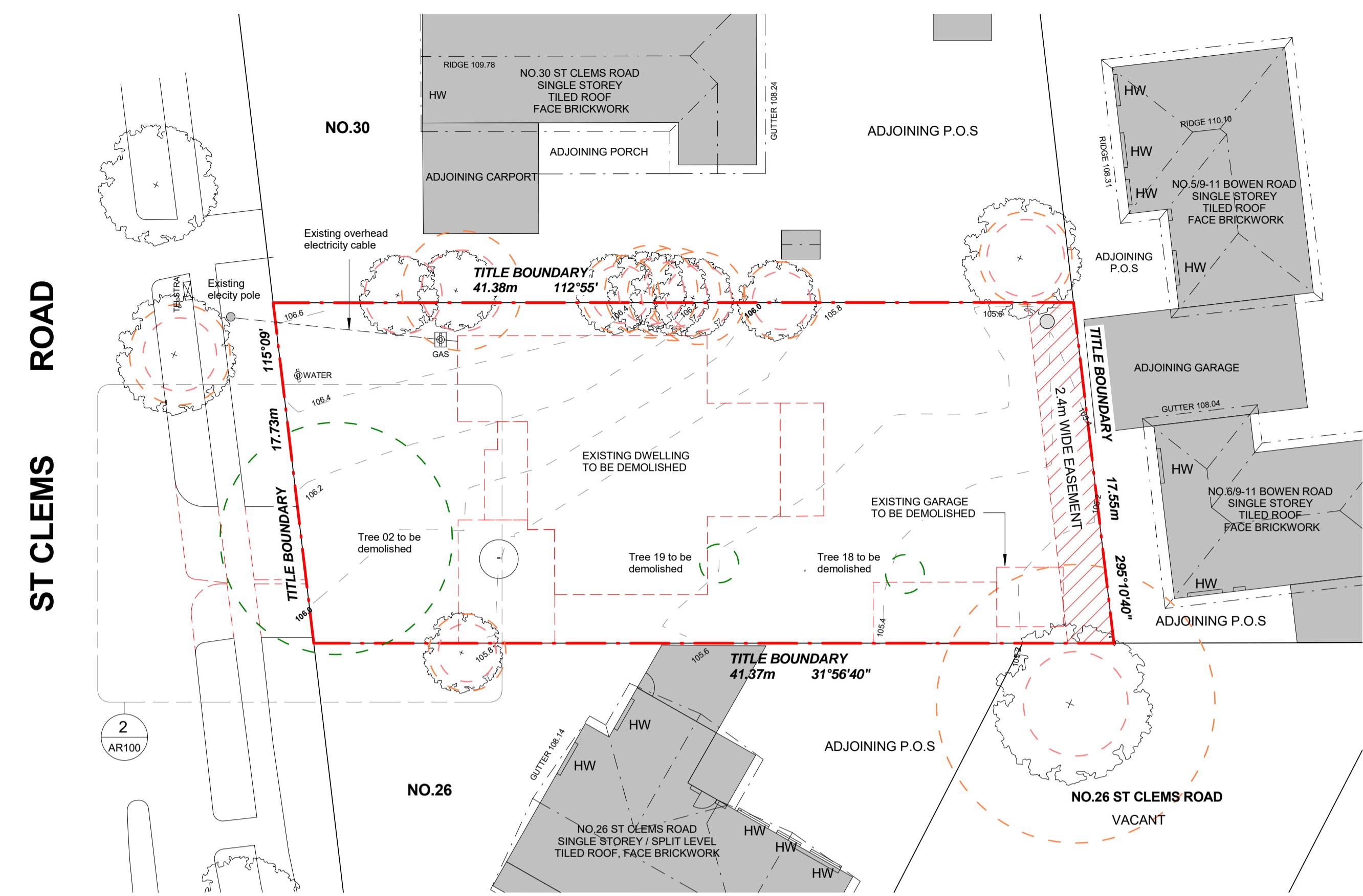
Appropriate ag drains are to be installed and connected to the legal point of discharge as required

Where existing structure is only single brick, please contact engineer / building designer for solution(s)

WALL TYPES	
Internal stud work = 90mm	
<b>WALL TYPE A</b>	
Face brick veneer wall 110 Brickwork / 40 Cavity / 90 stud = 240mm	
<b>WALL TYPE B</b>	
Face brick double brick wall 110 Brickwork / 40 Cavity / 110 brickwork = 230mm	
<b>WALL TYPE C</b>	
polystyrene Foam wall 90 stud / 100mm foam = 190mm	
<b>WALL TYPE D</b>	
Single brick wall - 110mm brickwork	



Sheet List	
Sheet Number	Sheet Name
AR001	Cover Sheet
AR100	Existing & Proposed Site Plan
AR200	Proposed Ground Floor Plan
AR230	Proposed Electrical Plan
AR240	Proposed Ceiling & Security Plan
AR250	Proposed Roof Plan
AR300	Proposed Elevations
AR350	Section 01 & 02
AR500	Window Schedule 01
AR600	Staircase Plan & Section 01
AR800	Floor Finishes Plan
AR710	Shadow Diagrams 01
AR711	Shadow Diagrams 02
AR201	Proposed First Floor Plan
AR231	Proposed Lighting Plan
AR351	Section 03 & 04
AR352	Section 05 & 06
AR210	Slab & Retaining Wall Plan
AR700	Fence Plan
AR202	Floor Plans Dimension Plans
AR501	Door Schedule 01
AR601	Staircase Section 02 & 03
AR810	Study Plan & Elevations
AR812	Bath 01 Plan & Elevations
AR813	Butler Plan & Elevations
AR814	Kitchen Plan & Elevations
AR815	Kitchen Elevations
AR817	Living & Garage Plan & Elevations
AR820	Master Bedroom & W.I.R Plan & Elevations
AR822	Master Ensuite Plan & Elev



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REVISIONS / ISSUES:

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CLIENT:  
MR. MATT CHAN & SOFIA CHAN

PROJECT ADDRESS:  
NO.28 ST CLEMS ROAD, DONCASTER EAST, VIC, 3109

DRAWING TITLE:  
Existing & Proposed Site Plan

JOB NUMBER: 21022

DATE: 09/02/21

CHEKED: Checker

PRELIMINARY

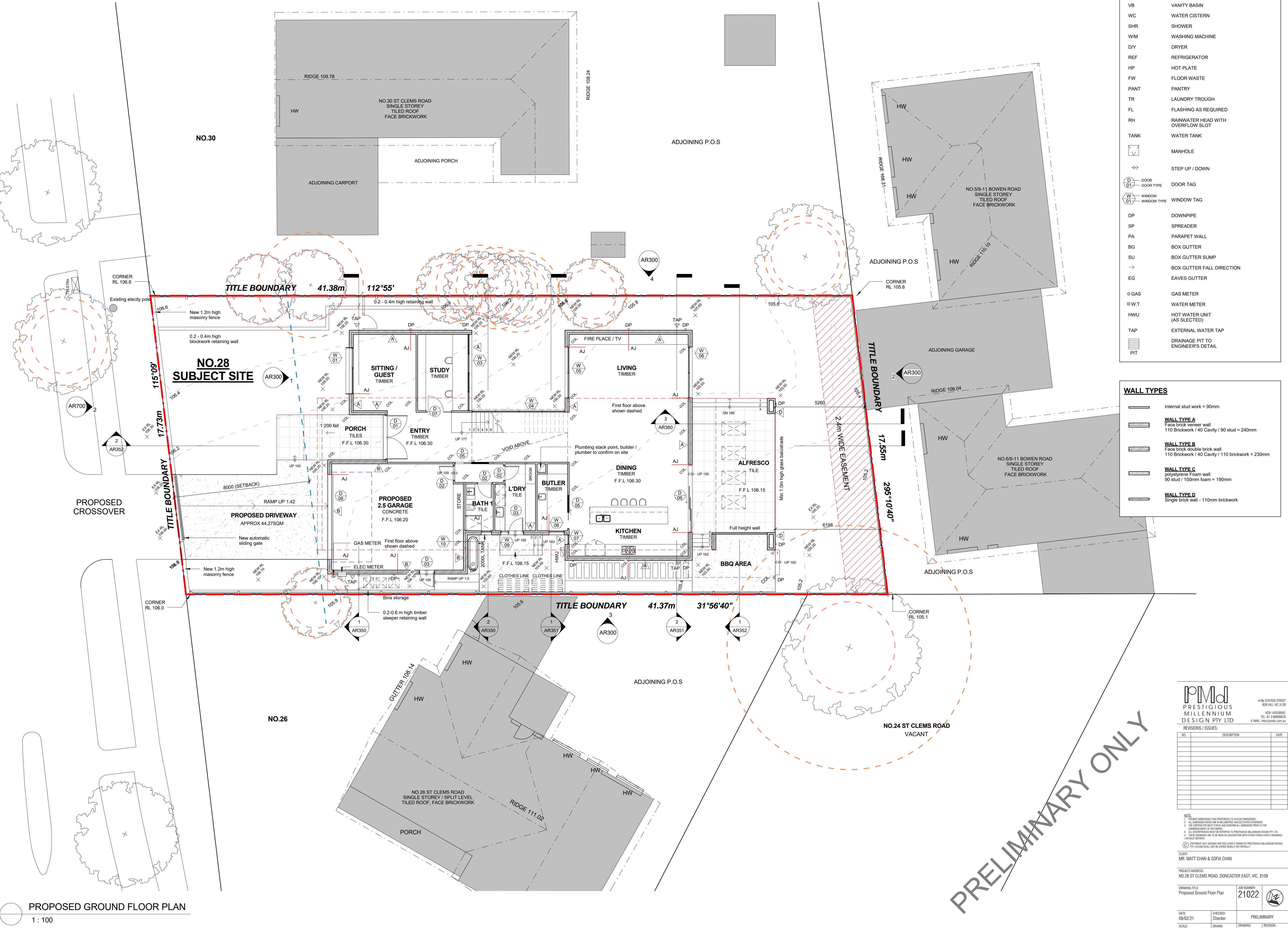
SCALE: As indicated @ A1

DRAWN: Author

DRAWING: AR100

REVISION: AR100

# ST CLEMS ROAD



# ST CLEMS ROAD



S ROAD

PRELIMINARY ONLY

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PROJECT/ADDRESS:  
NO. 28 ST CLEMS ROAD, DONCASTER EAST, VIC. 3109

DRAWING TITLE:  
Proposed First Floor Plan

JOB NUMBER:  
**21022**



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SCALE: DRAWN: DRAWING: REVISION:  
1:100 @ A1 Author AR201

F.100 @ AT Author AR201

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<b><u>FLOOR PLAN LEGEND</u></b>	
COL	COLUMN TO ENGINEER'S DETAIL
F.F.L	FINISHED FLOOR LEVEL
VB	VANITY BASIN
WC	WATER CISTERN
SHR	SHOWER
W/M	WASHING MACHINE
D/Y	DRYER
REF	REFRIGERATOR
HP	HOT PLATE
FW	FLOOR WASTE
PANT	PANTRY
TR	LAUNDRY TROUGH
FL	FLASHING AS REQUIRED
RH	RAINWATER HEAD WITH OVERFLOW SLOT
TANK	WATER TANK
	MANHOLE
→	STEP UP / DOWN
 01	DOOR DOOR TYPE
 01	WINDOW WINDOW TYPE
DP	DOWNPipe
SP	SPREADER
PA	PARAPET WALL
BG	BOX GUTTER
SU	BOX GUTTER SUMP
→	BOX GUTTER FALL DIRECTION
EG	EAVES GUTTER
● GAS	GAS METER
□ W.T	WATER METER
HWU	HOT WATER UNIT (AS SELECTED)
TAP	EXTERNAL WATER TAP
 PIT	DRAINAGE PIT TO ENGINEER'S DETAIL

<b>WALL TYPES</b>	
	Internal stud work = 90mm
	<b>WALL TYPE A</b> Face brick veneer wall 110 Brickwork / 40 Cavity / 90 stud = 240mm
	<b>WALL TYPE B</b> Face brick double brick wall 110 Brickwork / 40 Cavity / 110 brickwork = 230mm
	<b>WALL TYPE C</b> polystyrene Foam wall 90 stud / 100mm foam = 190mm
	<b>WALL TYPE D</b> Single brick wall - 110mm brickwork

**NOTE**

- Install sound check plaster to bedroom 2, 3 & master study
- Install Sound proof insulation to Living / dining, master bedroom, master study, bed 2 & 3

7  
ot wire under tile floor heating to be provided to  
aster ensuite & bathroom 02, refer to  
anufacturer's detail

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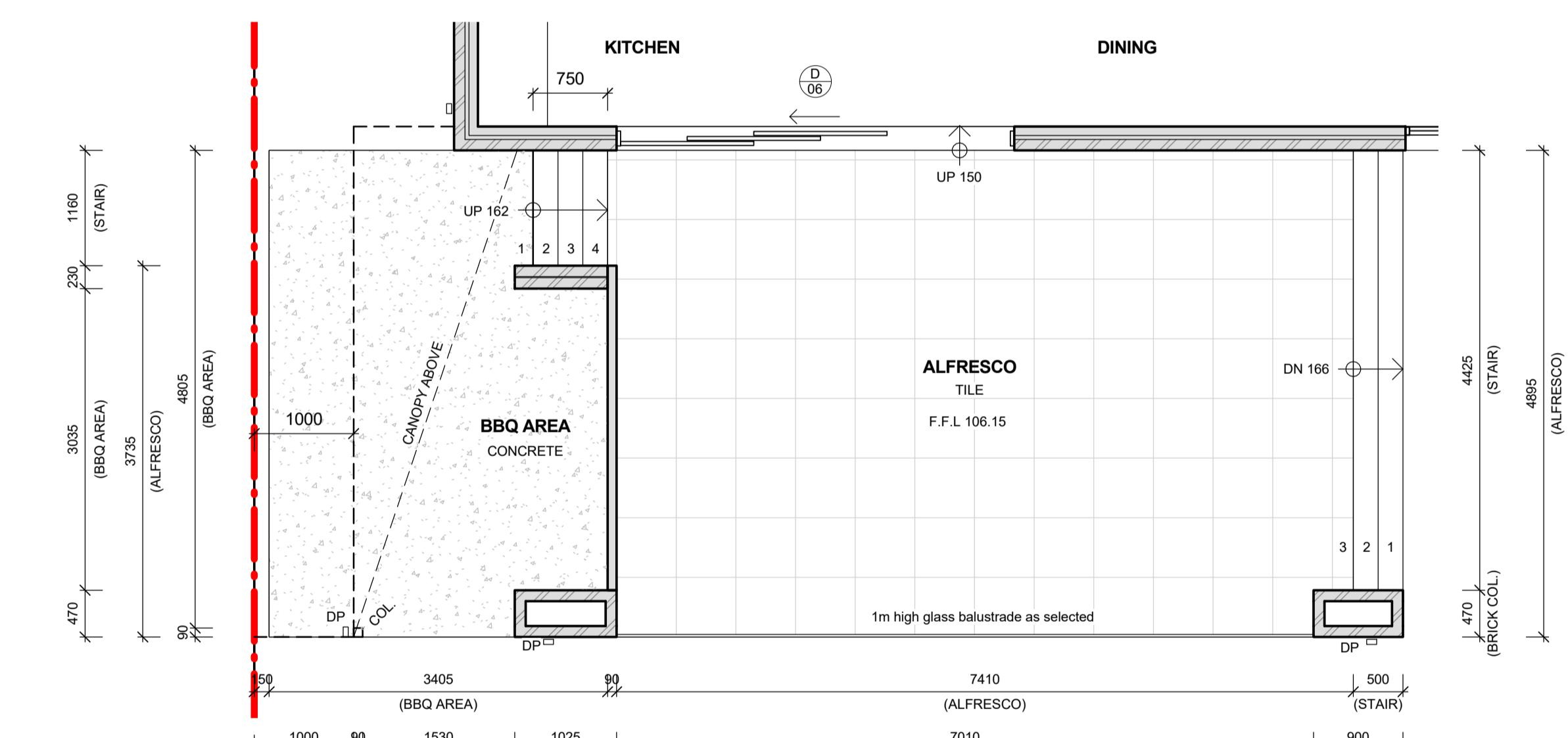
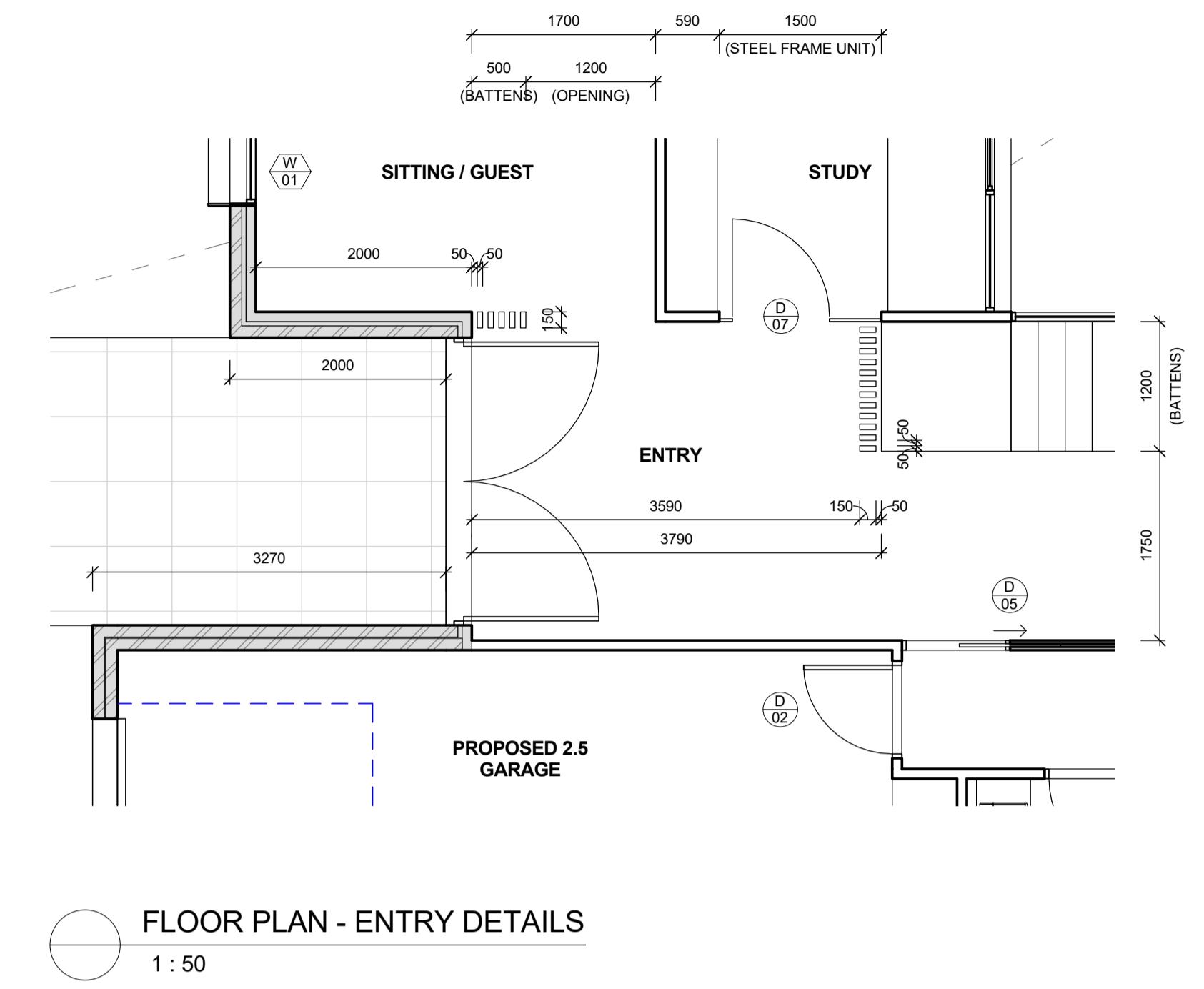
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Proposed First Floor Plan 21022

DATE: 09/05/21	CHECKED: Checker	PRELIMINARY	
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P. 100 @ AT Author ARZU1



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PROJECT ADDRESS:  
NO.28 ST CLEMS ROAD, DONCASTER EAST, VIC, 3109

DRAWING TITLE:  
Floor Plans Dimension Plans

JOB NUMBER:  
21022

DATE:  
09/14/21

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Author

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SCALE:  
As indicated @ A1

DRAWN:  
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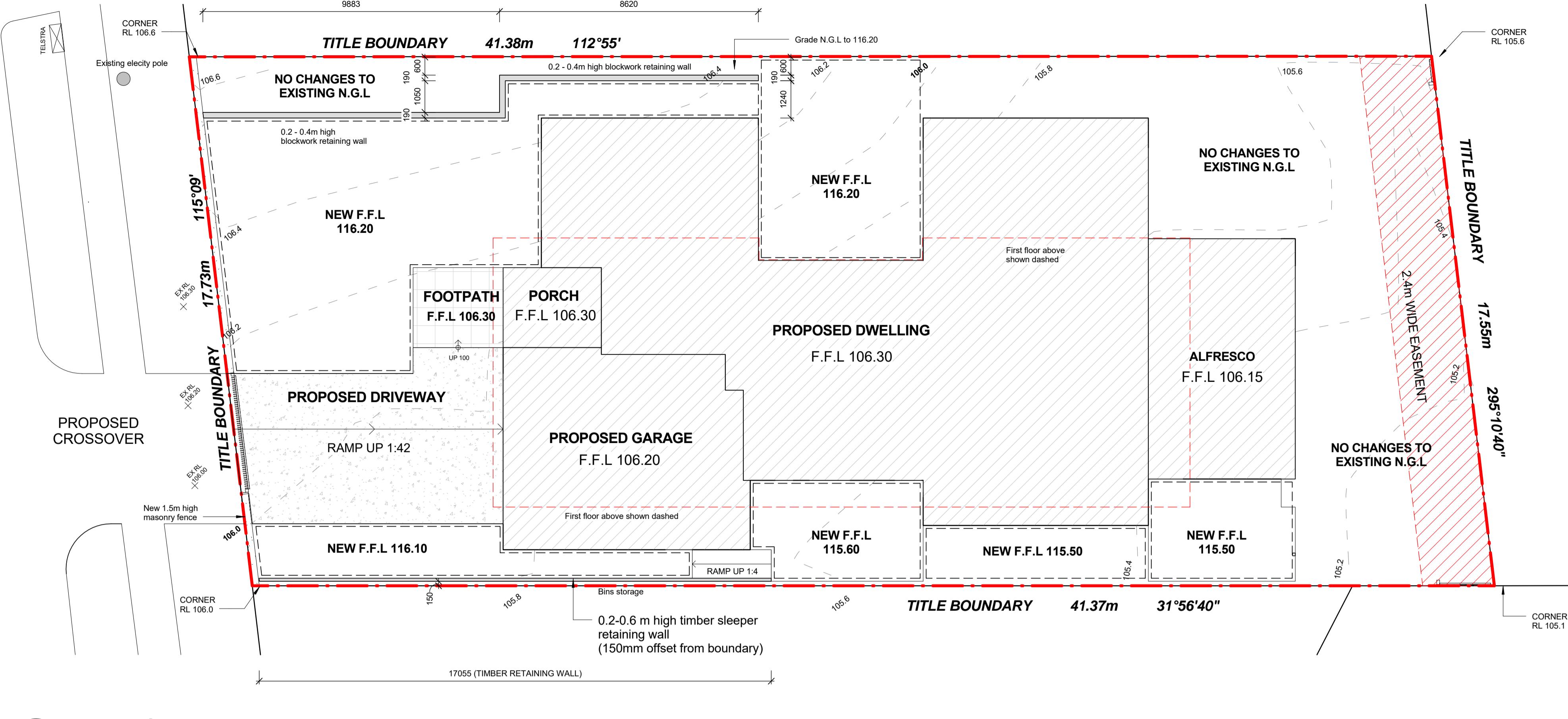
DRAWING:  
AR202

ST CLEMS

# ROAD

# ST CLEMS

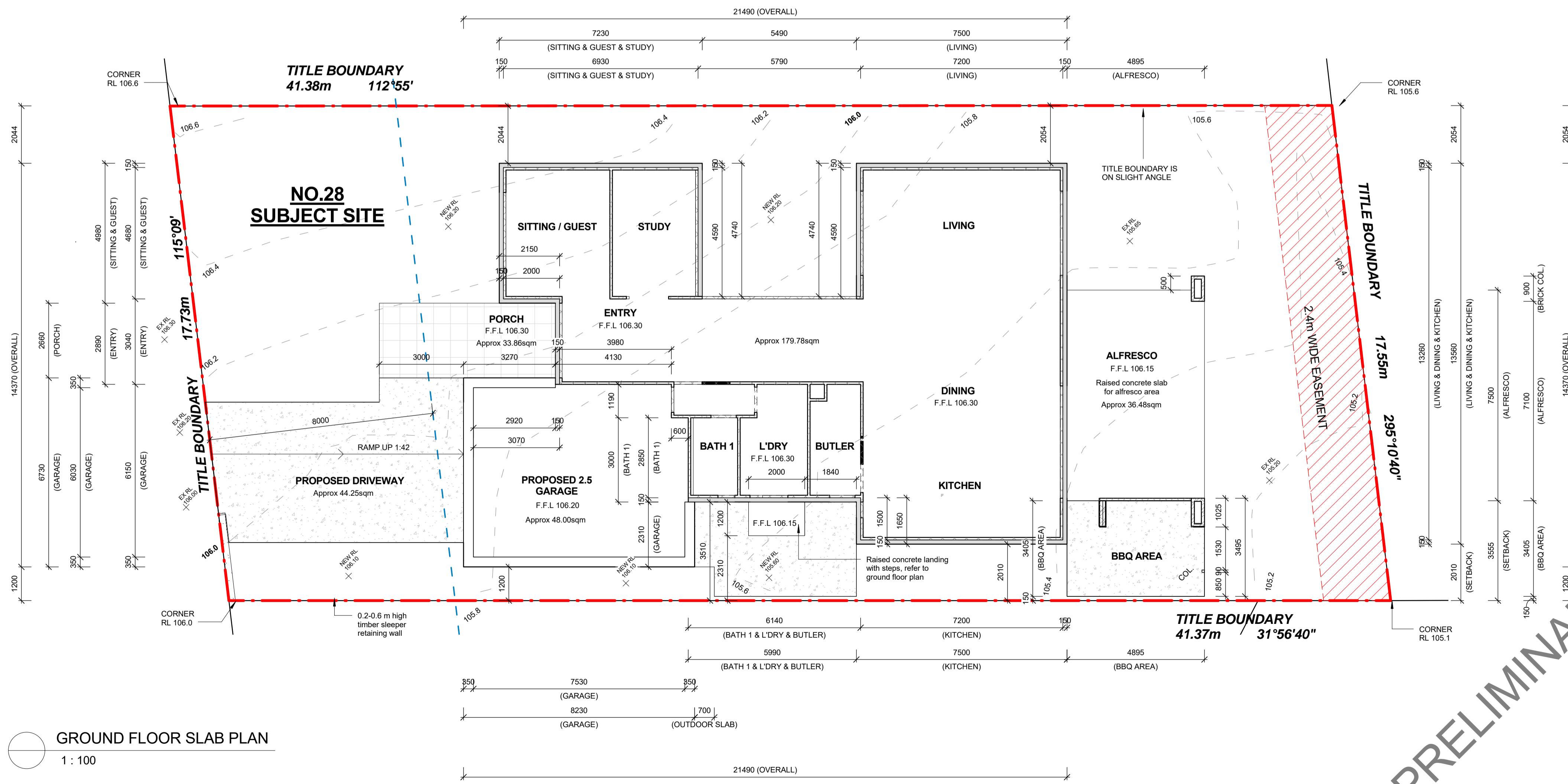
# ROAD





# RETAINING WALL PLAN

1 : 100



A site plan diagram showing a corner property line. The plan includes a north arrow, a property line with red hatching, and several dimension lines with callouts. A large, diagonal watermark reading "PRELIMINARY ONLY" is overlaid across the entire image.

Dimensions shown:

- Top edge: 10' 40"
- Left edge: 150
- Horizontal distance from property line to corner: 2010 (SETBACK)
- Horizontal distance from property line to corner: 3555 (SETBACK)
- Horizontal distance from property line to corner: 3405 (BBQ AREA)
- Horizontal distance from property line to corner: 1200

Callout text: CORNER RL 105.1

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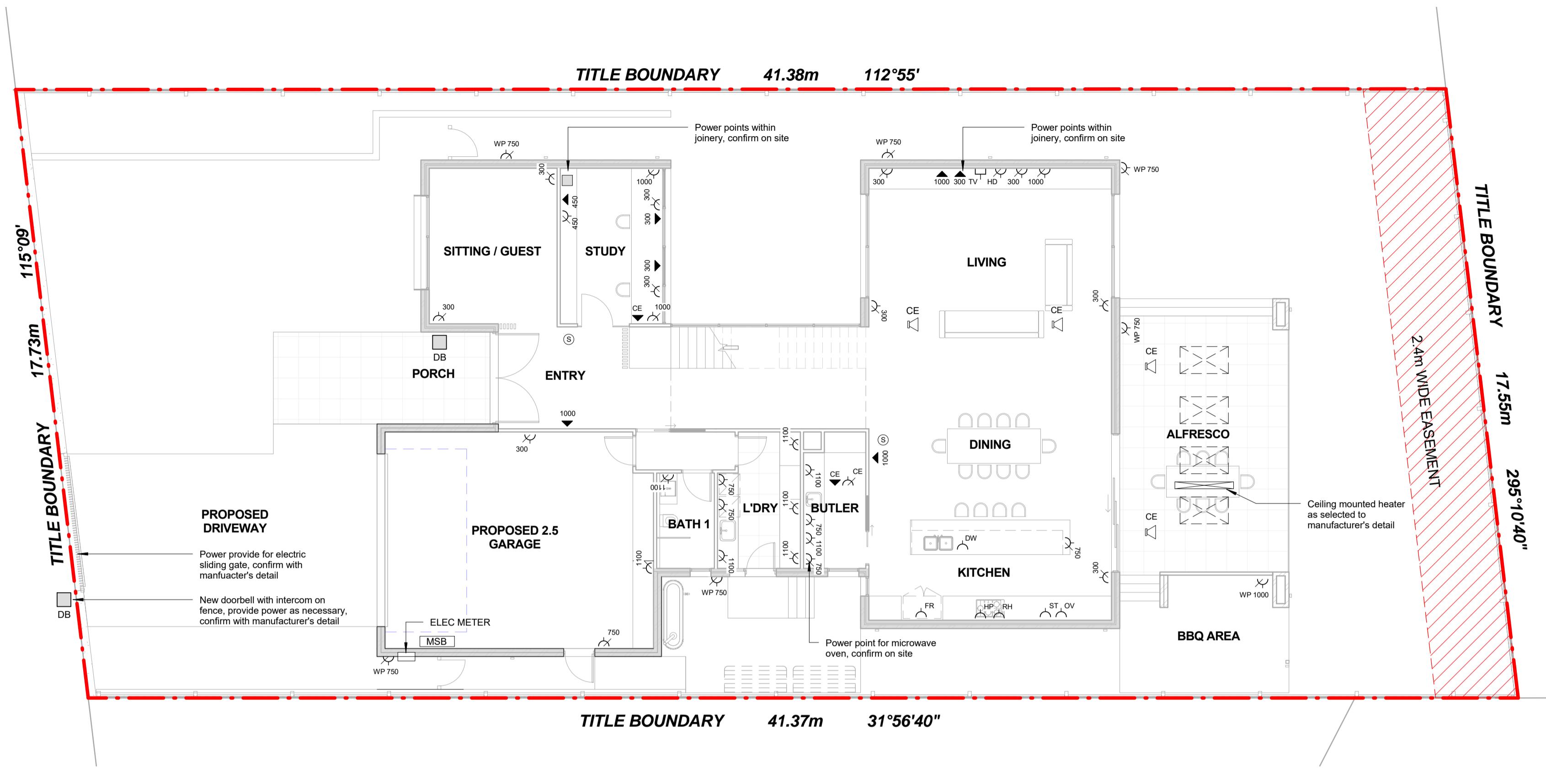
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DRAWING TITLE: Slab & Retaining Wall Plan JOB NUMBER: 21022

ZT022

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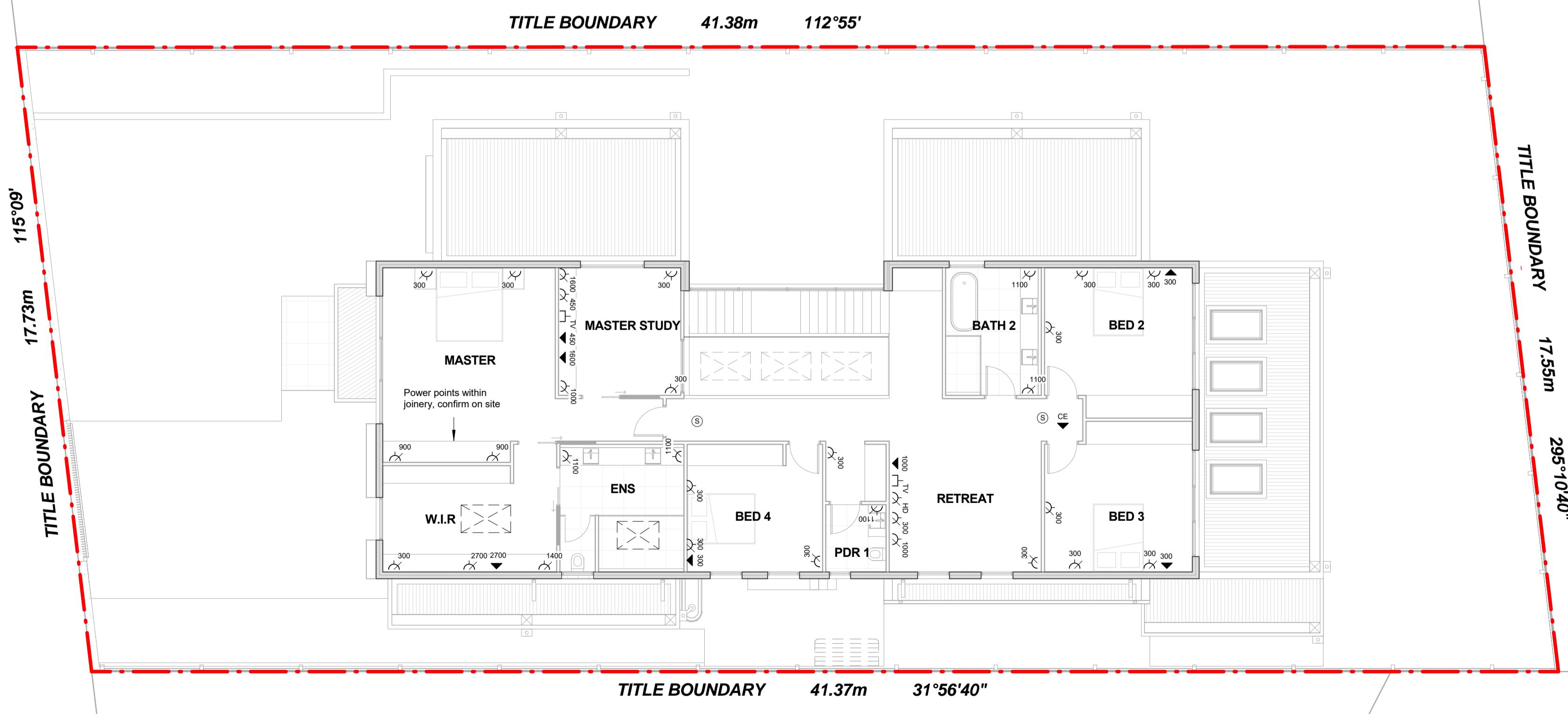


### ELECTRICAL AND LIGHTING LEGEND

TV	TV POINT 1000mm off F.F.L	E	EXHAUST FAN
DW	GPO FOR DISHWASHER	S	SMOKE DETECTOR
FR	GPO FOR FRIDGE	MSB	MAIN SWITCH BOARD
RH	GPO FOR RANGEHOOD	LED	LED DOWNLIGHT (CEILING MOUNTED)
OV	GPO FOR OVEN	SF	SURFACE MOUNTED LED DOWNLIGHT
HP	GPO FOR COOKTOP	WA	ADJUSTABLE SPOT DOWNLIGHT (WALL MOUNTED, STYLE TO BE CONFIRMED WITH OWNER / CLIENT)
ST	GPO FOR STEAMER OVEN	UP	ON GROUND UPLIGHT
300	HEIGHT FROM F.F.L POWER POINT		
	DOUBLE GPO (STYLE AS SELECTED)		
UB	DOUBLE GPO (UNDERBENCH)		
HD	HDMI WALL SOCKET 300 & 1000mm off F.F.L		
WP	HEIGHT FROM F.F.L (WEATHERPROOF) POWER POINT		
	DOUBLE GPO (WEATHERPROOF) 300mm off F.F.L		
300	HEIGHT FROM F.F.L NETWORK POINT		
	COMMUNICATION / NETWORK POINT 1 x TELEPHONE POINT 1 x NETWORK POINT		
CE	COMMUNICATION POINT 1 x TELEPHONE POINT 1 x NETWORK POINT (CEILING MOUNTED)	LED	LED LIGHT STRIP
		SW	1 WAY LIGHT SWITCH
		DI	1 WAY LIGHT SWITCH WITH DIMMER
CE	CEILING MOUNTED SPEAKERS AS SELECTED	SW	2 WAY LIGHT SWITCH
DB	DOORBELL WITH INTERCOM AS SELECTED	DI	2 WAY LIGHT SWITCH WITH DIMMER

### NOTE

Refer to internal plans and elevations for more details on power points within joinery.



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DRAWING TITLE:  
Proposed Electrical Plan

JOB NUMBER:  
21022

DATE:  
09/02/21

CHECKED:  
Checker

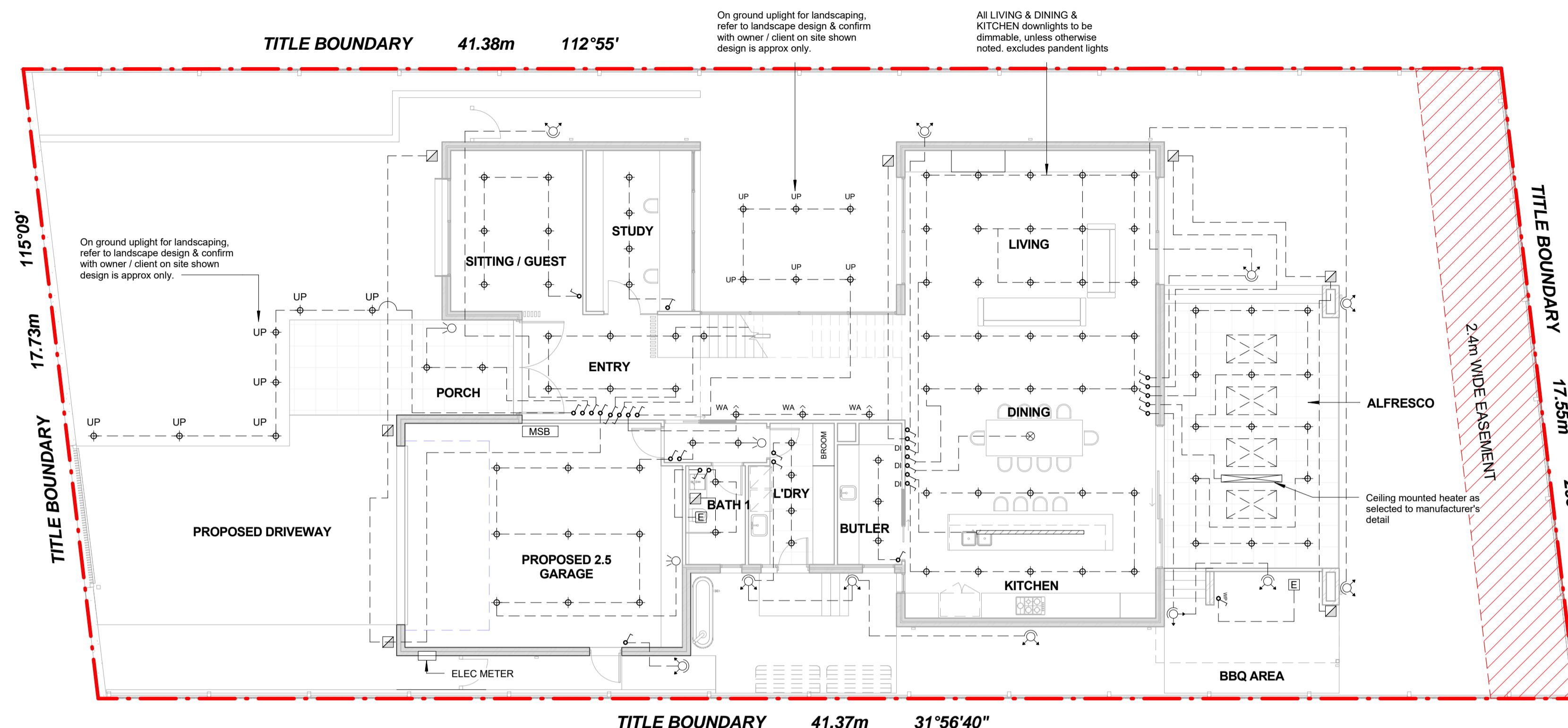
PRELIMINARY

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DRAWN:  
Author

DRAWING:  
AR230

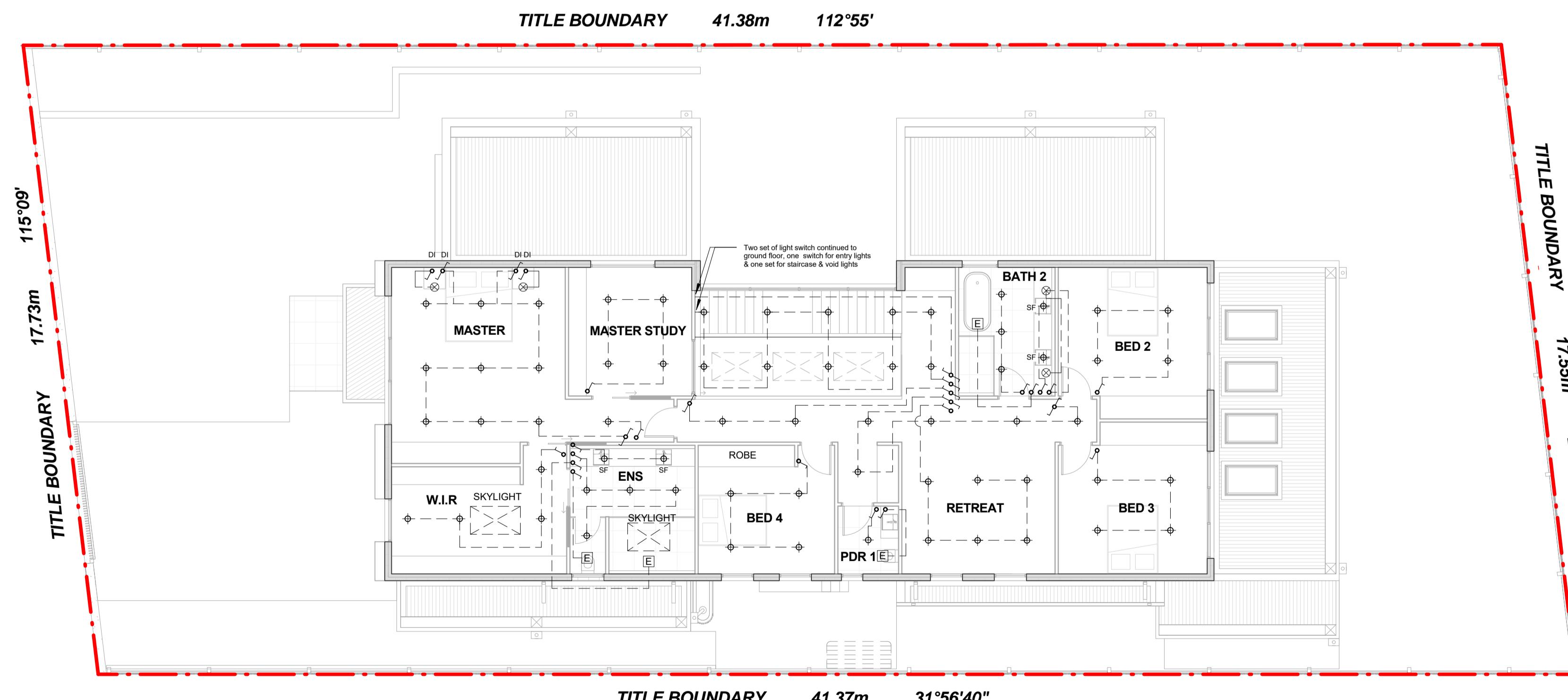
REVISION:  
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# GROUND FLOOR LIGHTING PLAN

1 : 100





# FIRST FLOOR LIGHTING PLAN

1 : 100

## **ELECTRICAL AND LIGHTING LEGEND**

	TV POINT 1000mm off F.F.L		EXHAUST FAN
	GPO FOR DISHWASHER		SMOKE DETECTOR
	GPO FOR FRIDGE		MAIN SWITCH BOARD
	GPO FOR RANGEHOOD		LED DOWNLIGHT (CEILING MOUNTED)
	GPO FOR OVEN		SURFACE MOUNTED LED DOWNLIGHT
	GPO FOR COOKTOP		ADJUSTABLE SPOT DOWNLIGHT (WALL MOUNTED, STYLE TO BE CONFIRMED WITH OWNER / CLIENT)
	GPO FOR STEAMER OVEN		ON GROUND UPLIGHT
	HEIGHT FROM F.F.L POWER POINT		PENDANT LIGHT (AS SELECTED)
	DOUBLE GPO (UNDERBENCH)		PENDANT LIGHT LED STRIP (AS SELECTED)
	HDMI WALL SOCKET 300 & 1000mm off F.F.L		MOTION SENSOR TO TURN LIGHT ON (PROVIDE INDIVIDUAL ON/OFF SWITCH)
	HEIGHT FROM F.F.L (WEATHERPROOF) POWER POINT		EXTERIOR FLOOD LIGHT
	DOUBLE GPO (WEATHERPROOF) 300mm off F.F.L		EXTERIOR FLOOD LIGHT (WITH SENSOR)
	HEIGHT FROM F.F.L NETWORK POINT		WALL LIGHT (AS SELECTED)
	COMMUNICATION / NETWORK POINT 1 x TELEPHONE POINT 1 x NETWORK POINT		LED LIGHT STRIP
	COMMUNICATION POINT 1 x TELEPHONE POINT 1 x NETWORK POINT (CEILING MOUNTED)		1 WAY LIGHT SWITCH
	NBN CONNECTION POINT		1 WAY LIGHT SWITCH WITH DIMMER
	CEILING MOUNTED SPEAKERS AS SELECTED		2 WAY LIGHT SWITCH
	DOORBELL WITH INTERCOM AS SELECTED		2 WAY LIGHT SWITCH WITH DIMMER

NOT

Refer to internal plans and elevations for more details on power points within joinery

# WATTS CALCULATOR

GROUND FLOOR	AREA    192.85 m <sup>2</sup>
FIRST FLOOR	AREA    201.10 m <sup>2</sup>
<b>TOTAL FLOOR AREA</b>	<b>AREA    397.95 m<sup>2</sup></b>
Maximum watts allowable for dwelling is <b>1989.75 Watts</b>	
Nominated watts for dwelling is approx <b>1320 watts</b> , based on 132 lights at 10 watts each.	
GARAGE	<b>AREA    52.57 m<sup>2</sup></b>
Maximum watts allowable for garage is <b>157.71 Watts</b>	
Nominated watts for dwelling is approx <b>90 watts</b> , based on 9 lights at 10 watts each.	
PORCH	<b>AREA    8.69 m<sup>2</sup></b>
Maximum watts allowable for porch is <b>34.76 Watts</b>	
Nominated watts for porch is <b>10 watts</b> based on 1 light at 10 watts each.	
ALFRESCO & BBQ	<b>AREA    51.91 m<sup>2</sup></b>
Maximum watts allowable for porch is <b>207.64 Watts</b>	
Nominated watts for porch is <b>150 watts</b> based on 15 light at 10 watts each.	

NOTE:

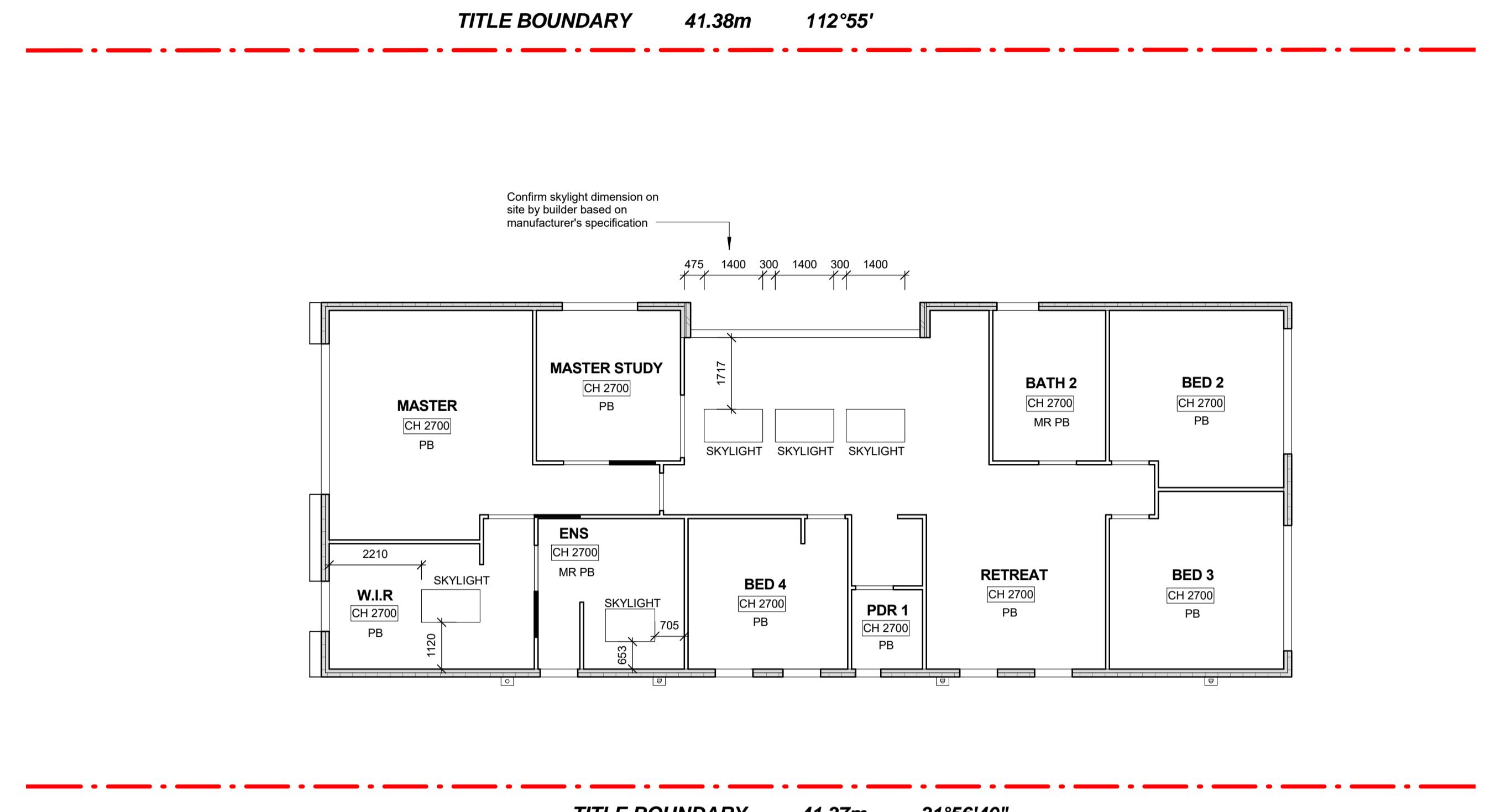
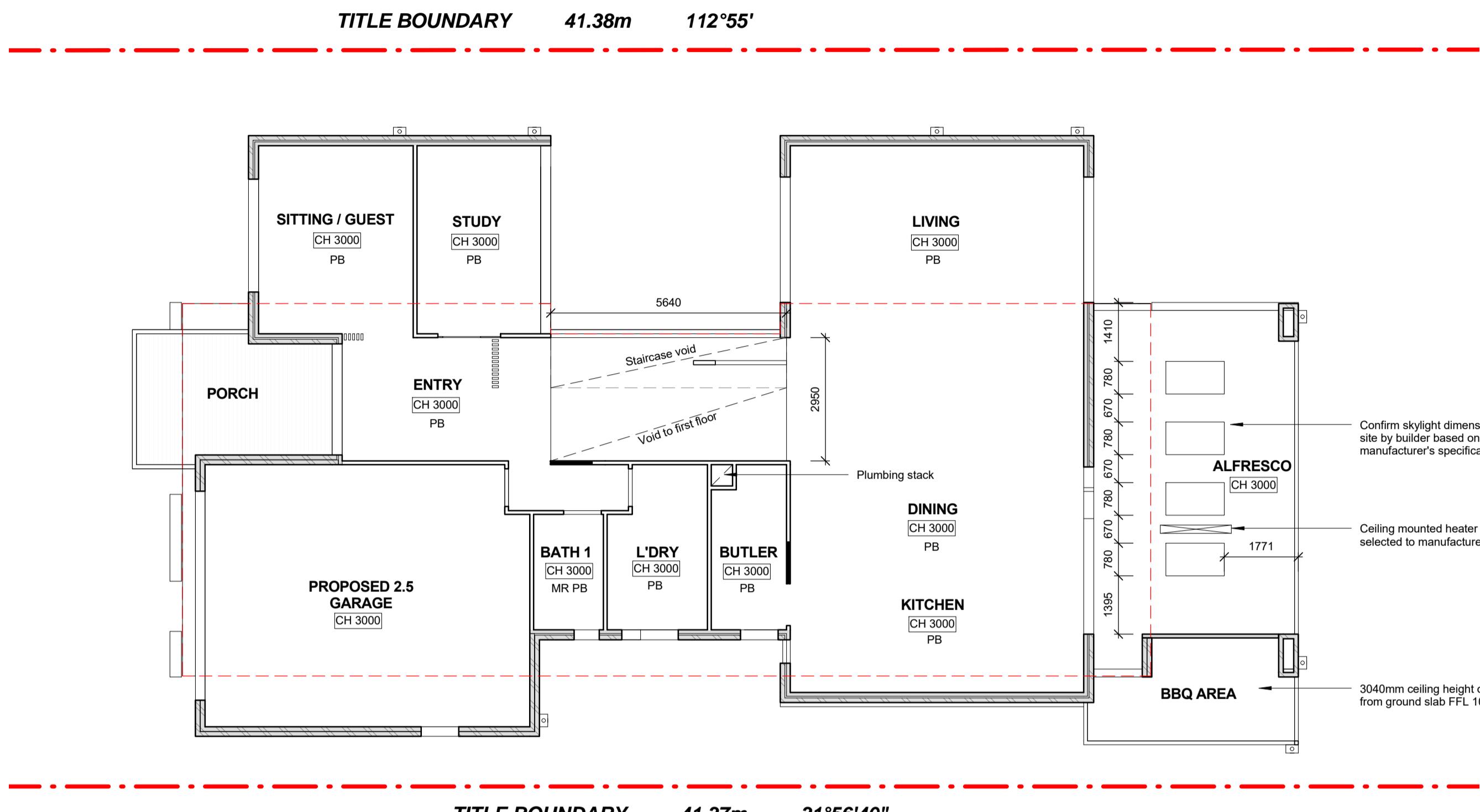
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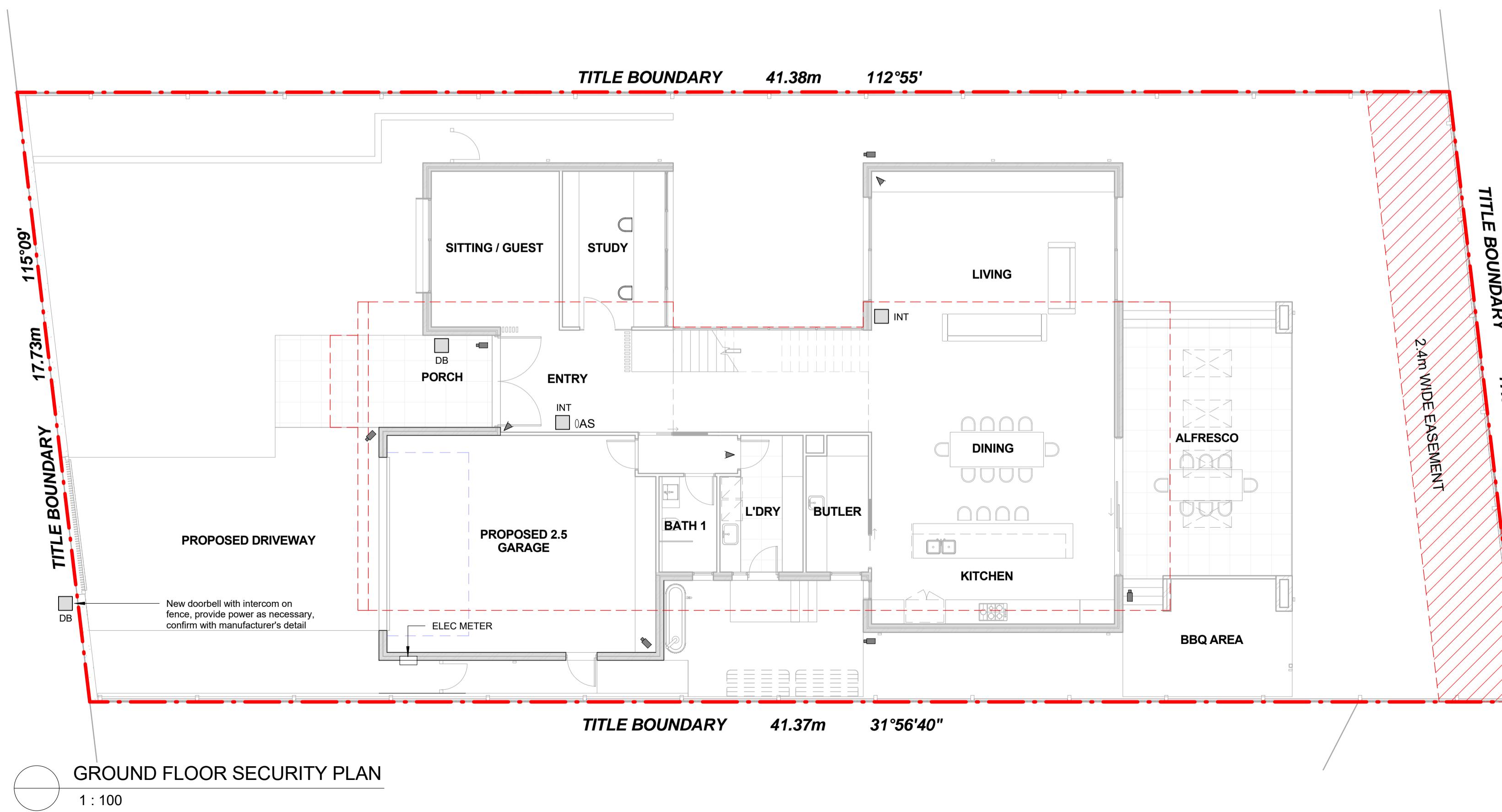
JOB NUMBER: <b>21022</b>		
DRAWING TITLE: Proposed Lighting Plan		PRELIMINARY
DATE: 05/21	CHECKED: Checker	REVISION: AP221
E: 100	DRAWING: Author	REVISION: AP221

CEILING PLAN LEGEND	
PB	CEILING PLASTERBOARD
MR PB	MOISTURE RESISTANCE PLASTERBOARD
EX PB	EXTERNAL CEILING LINING
EG	EAVES GUTTER
DP	DOWNPipe
RH	RAINWATER HEAD
CH0000	CEILING HEIGHT (FROM F.F.L)



GROUND FLOOR CEILING PLAN  
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FIRST FLOOR CEILING PLAN  
1 : 100



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DRAWING TITLE:  
Proposed Ceiling & Security Plan

JOB NUMBER:  
21022

DATE:  
09/02/21

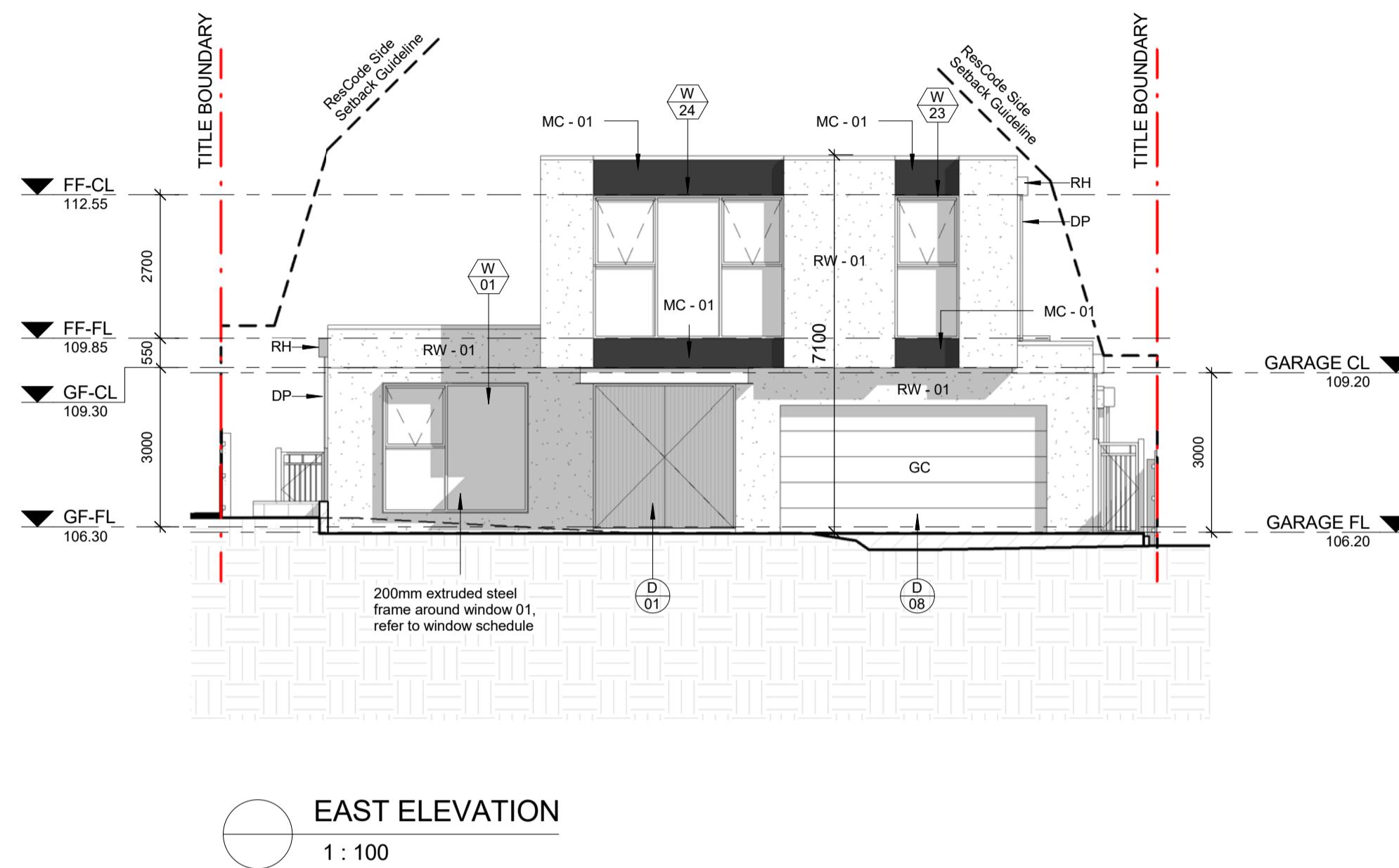
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DRAWN:  
Author

DRAFTER:  
AR240

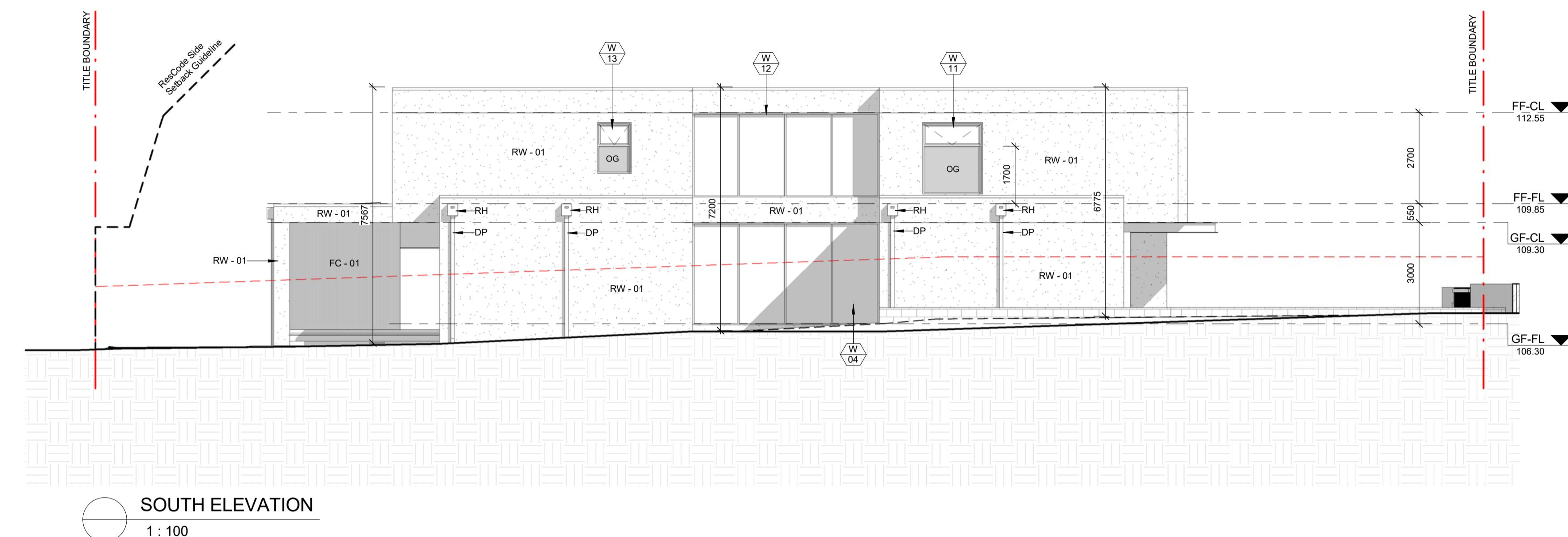
PRELIMINARY





## EAST ELEVATION

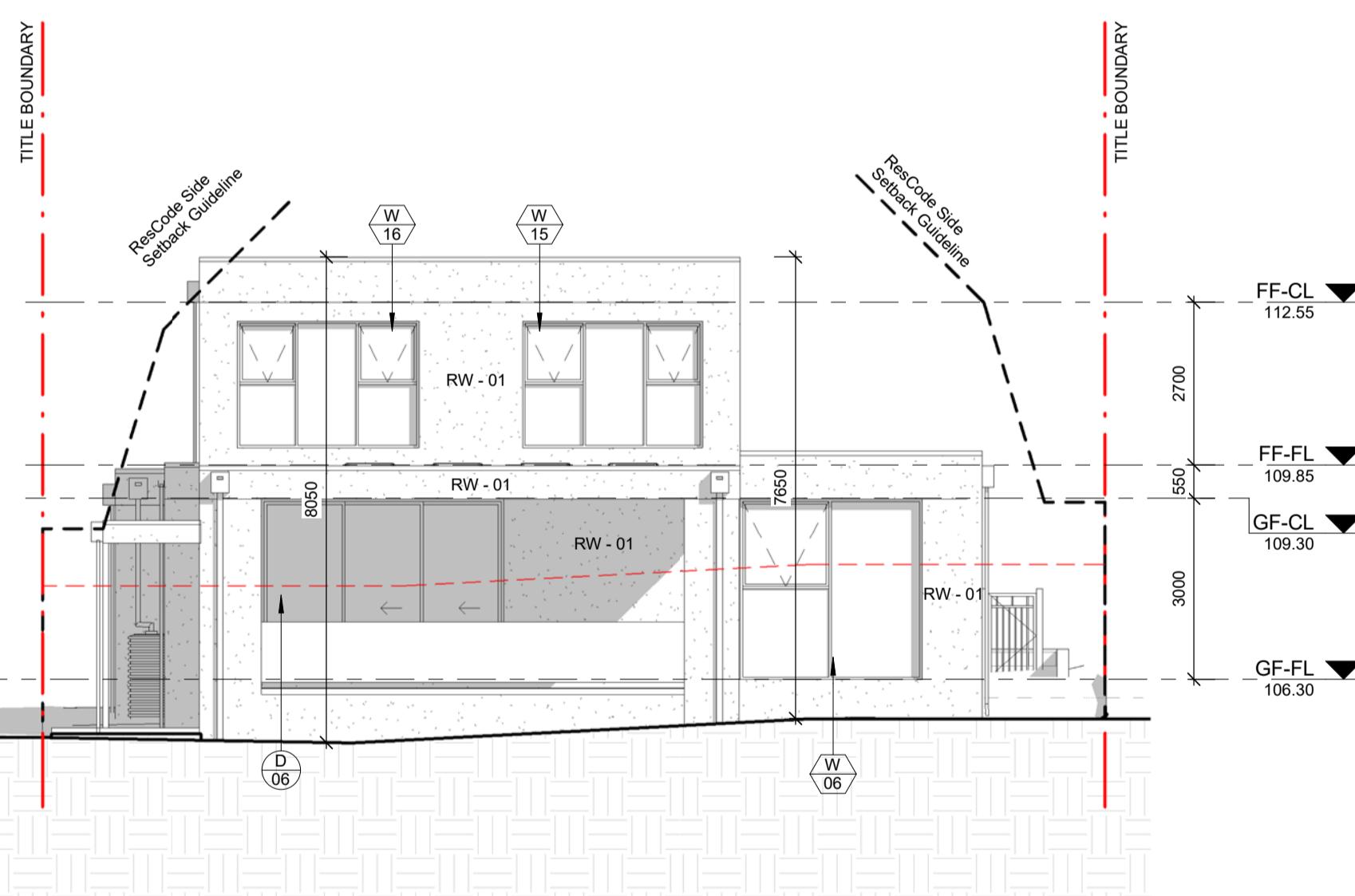
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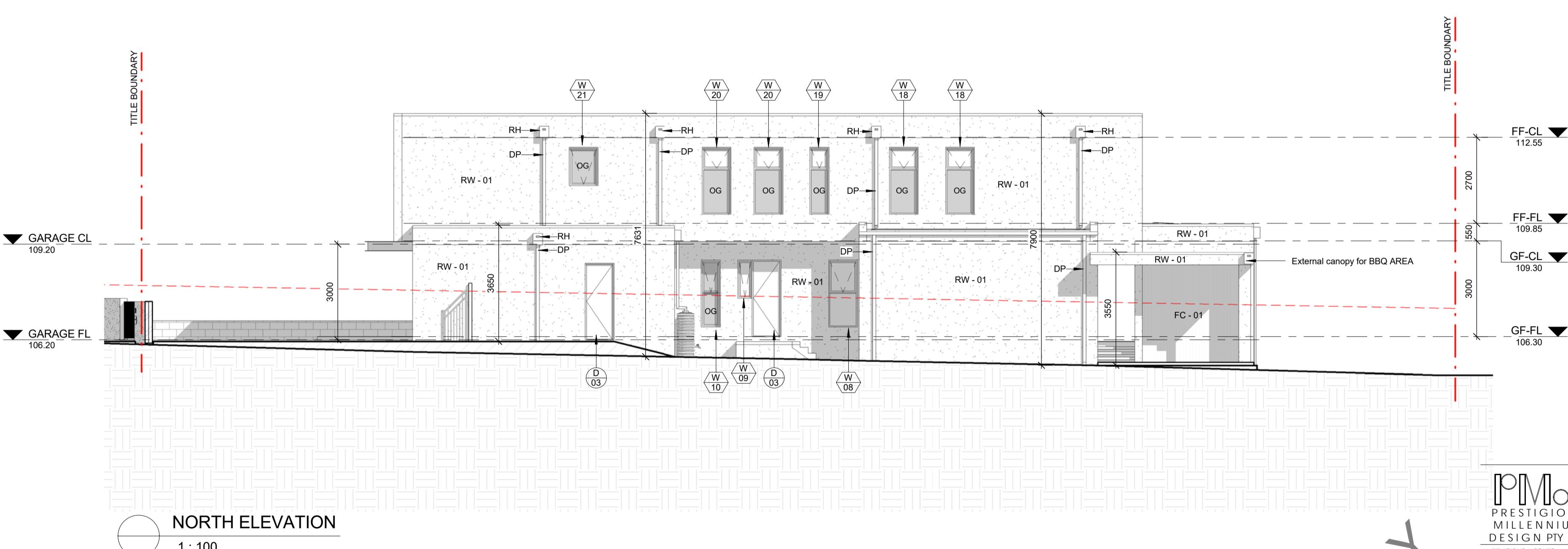
## SOUTH ELEVATION

1 :



### WEST ELEVATION

1 : 100



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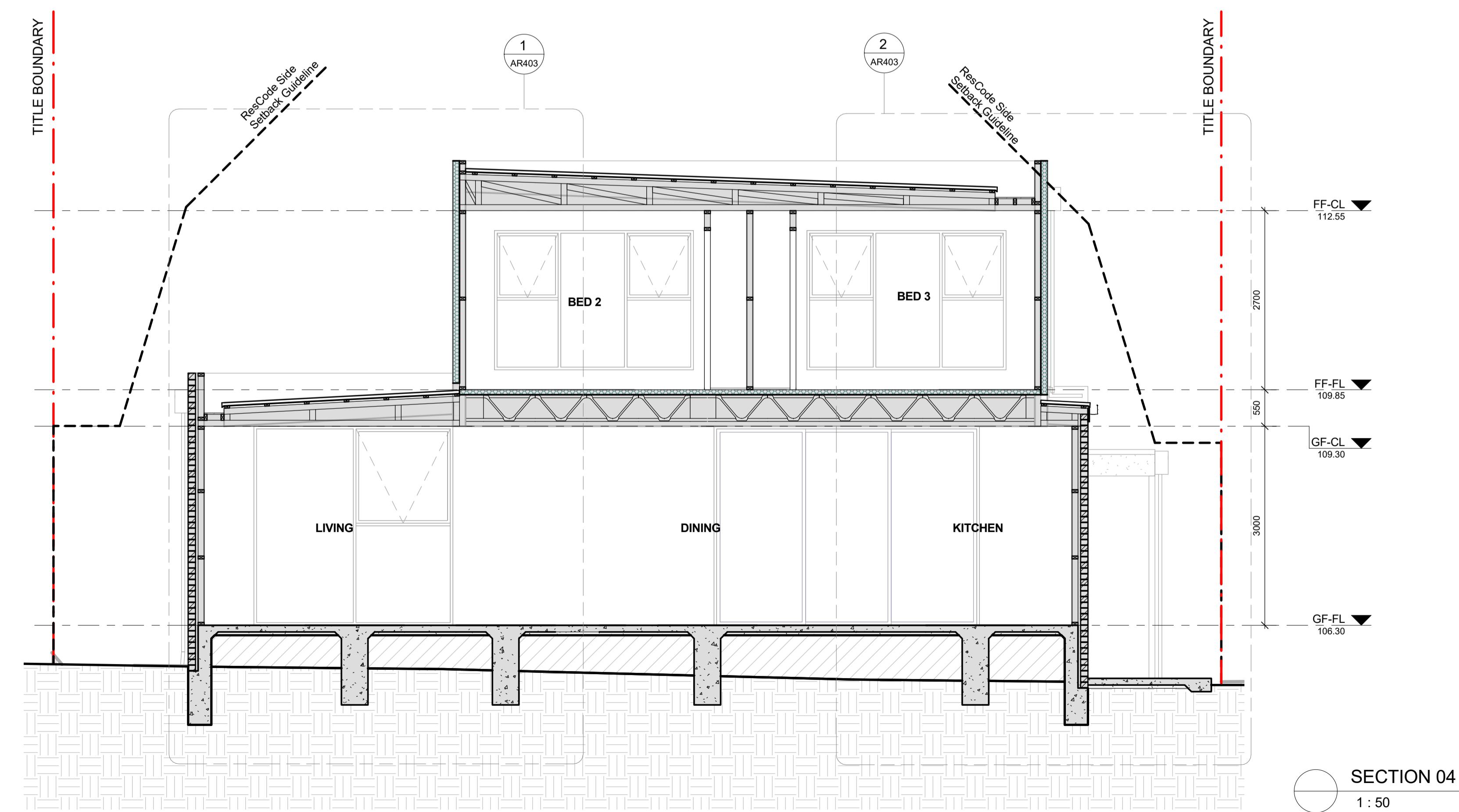
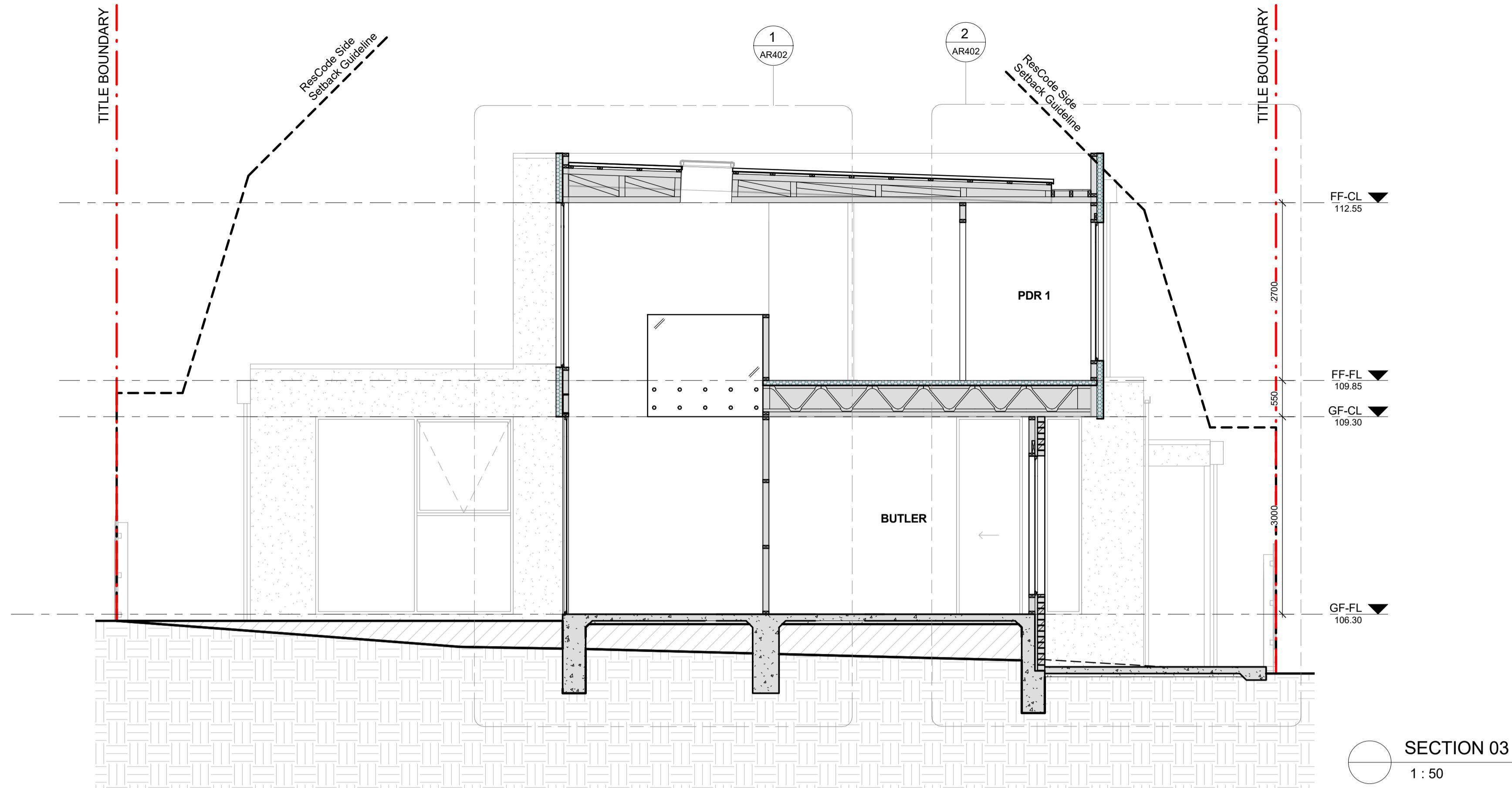
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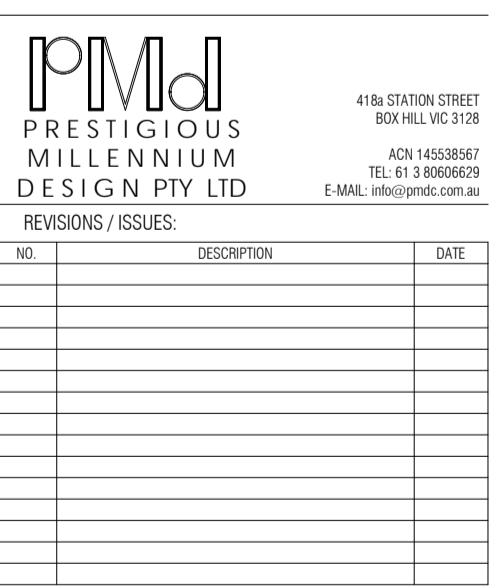
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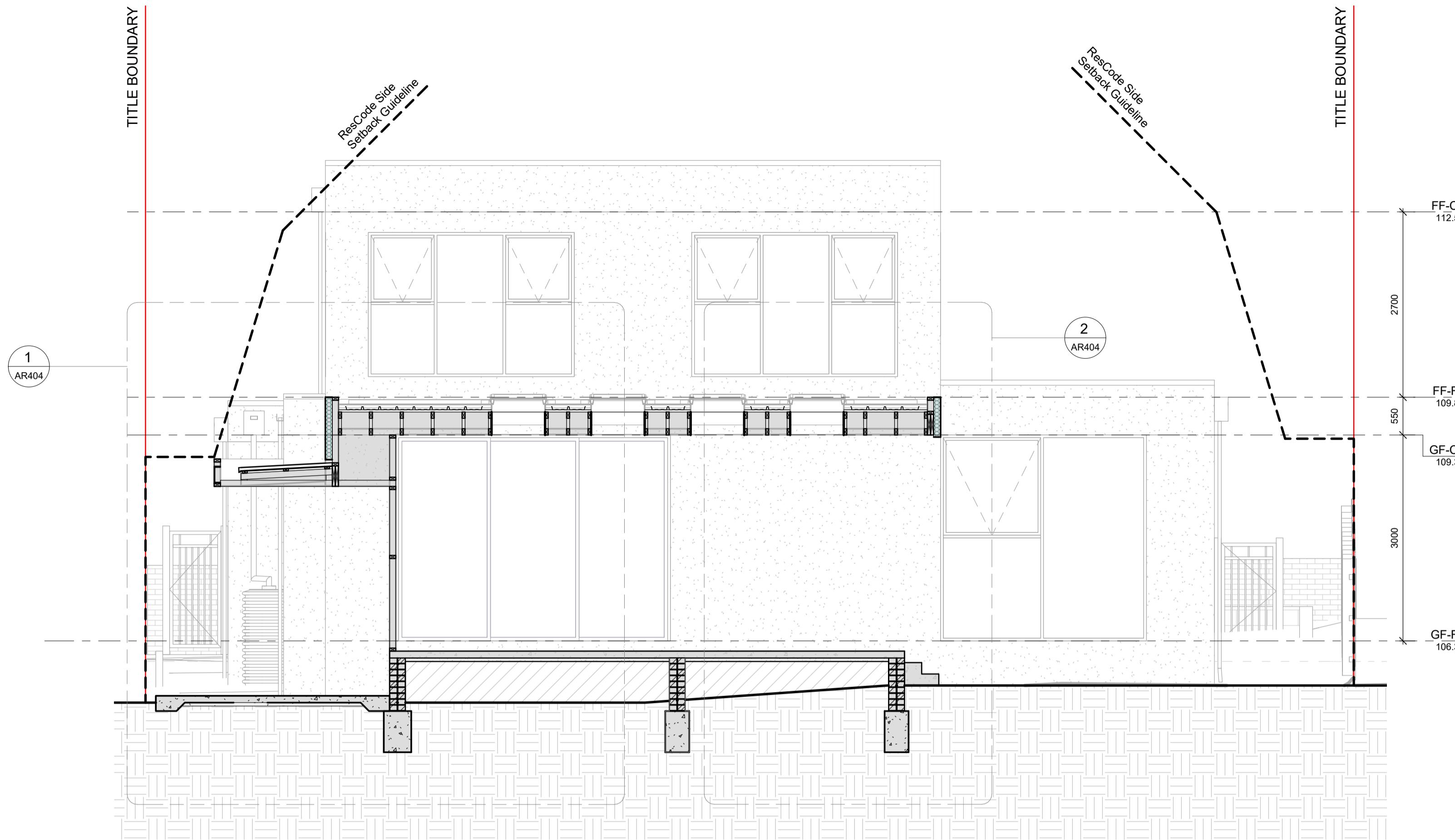
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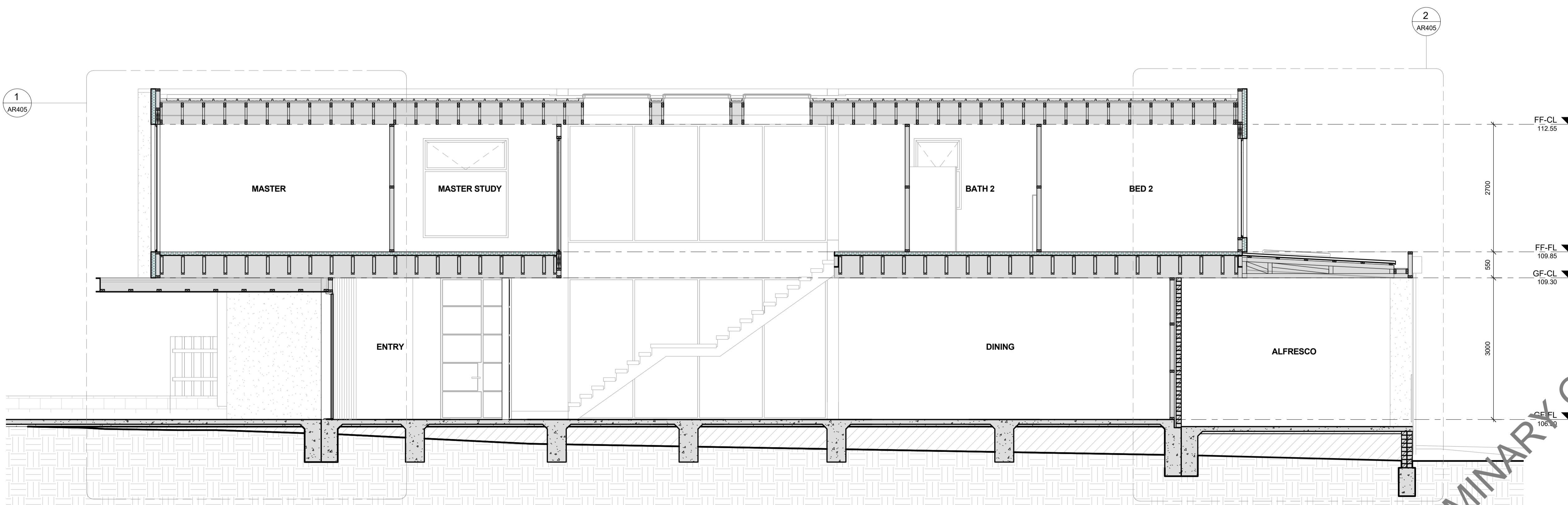
03 & 04 | 21022

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SECTION 05  
1 : 50



SECTION 06  
1 : 50

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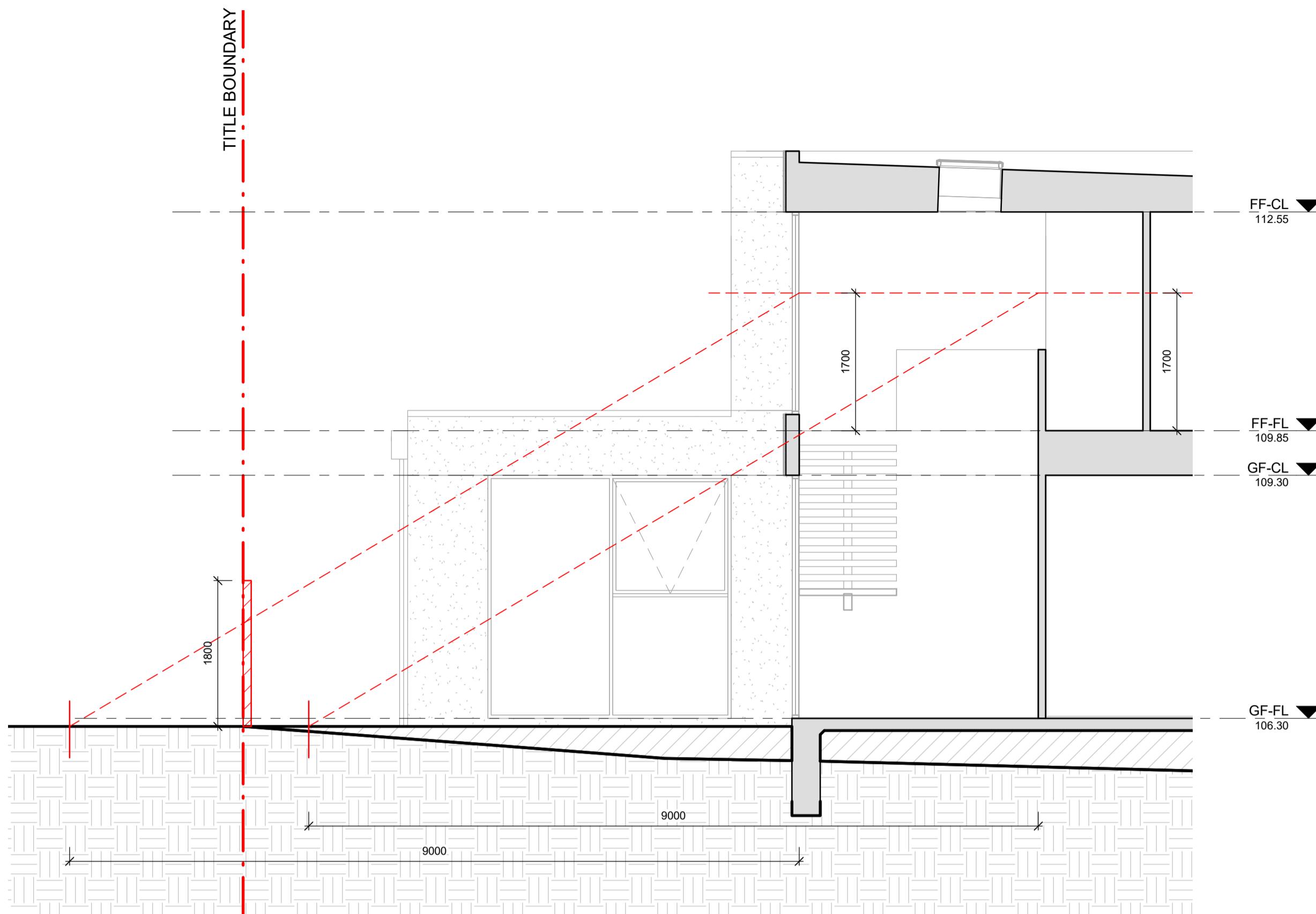
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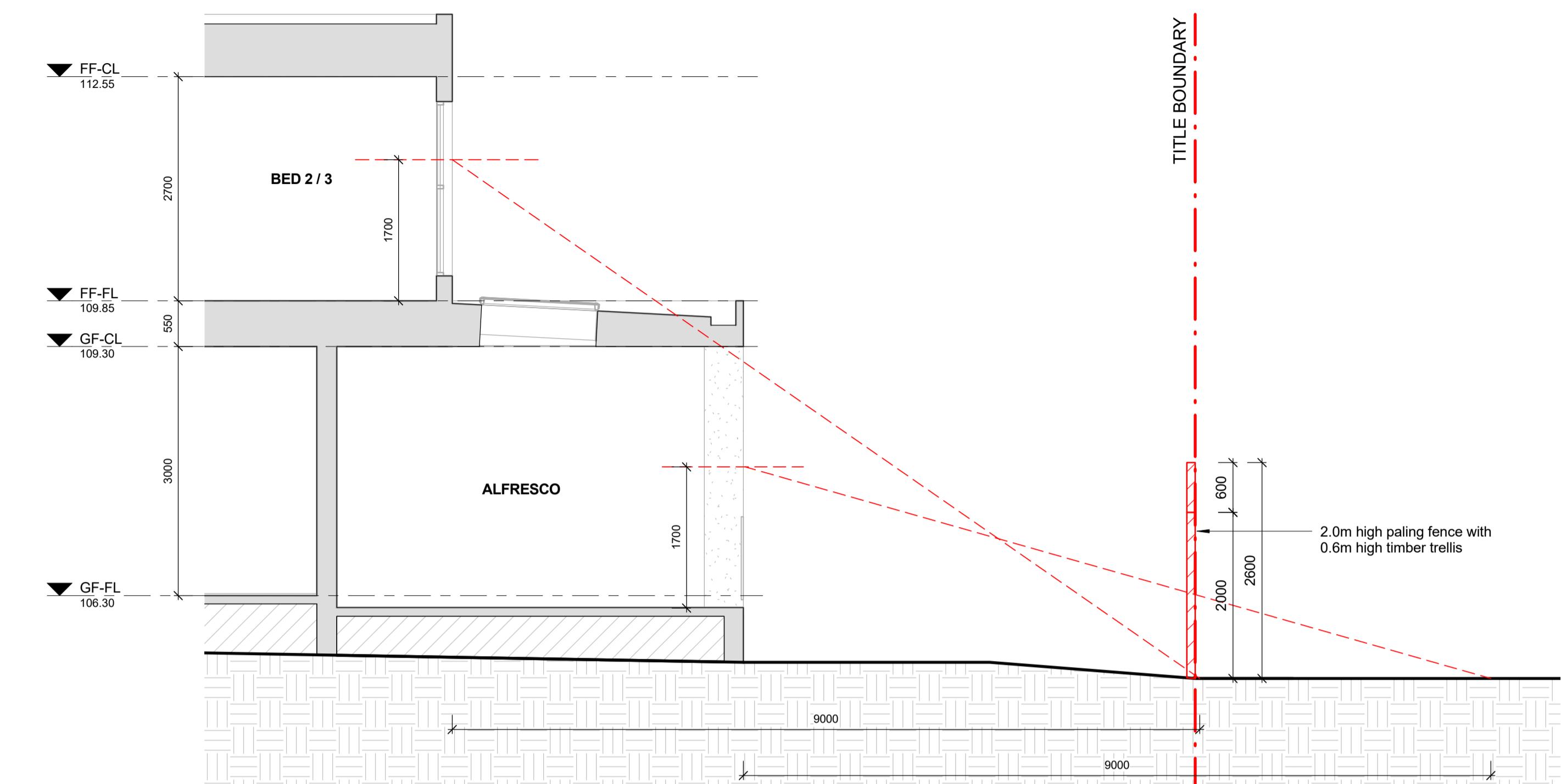
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JOB NUMBER:  
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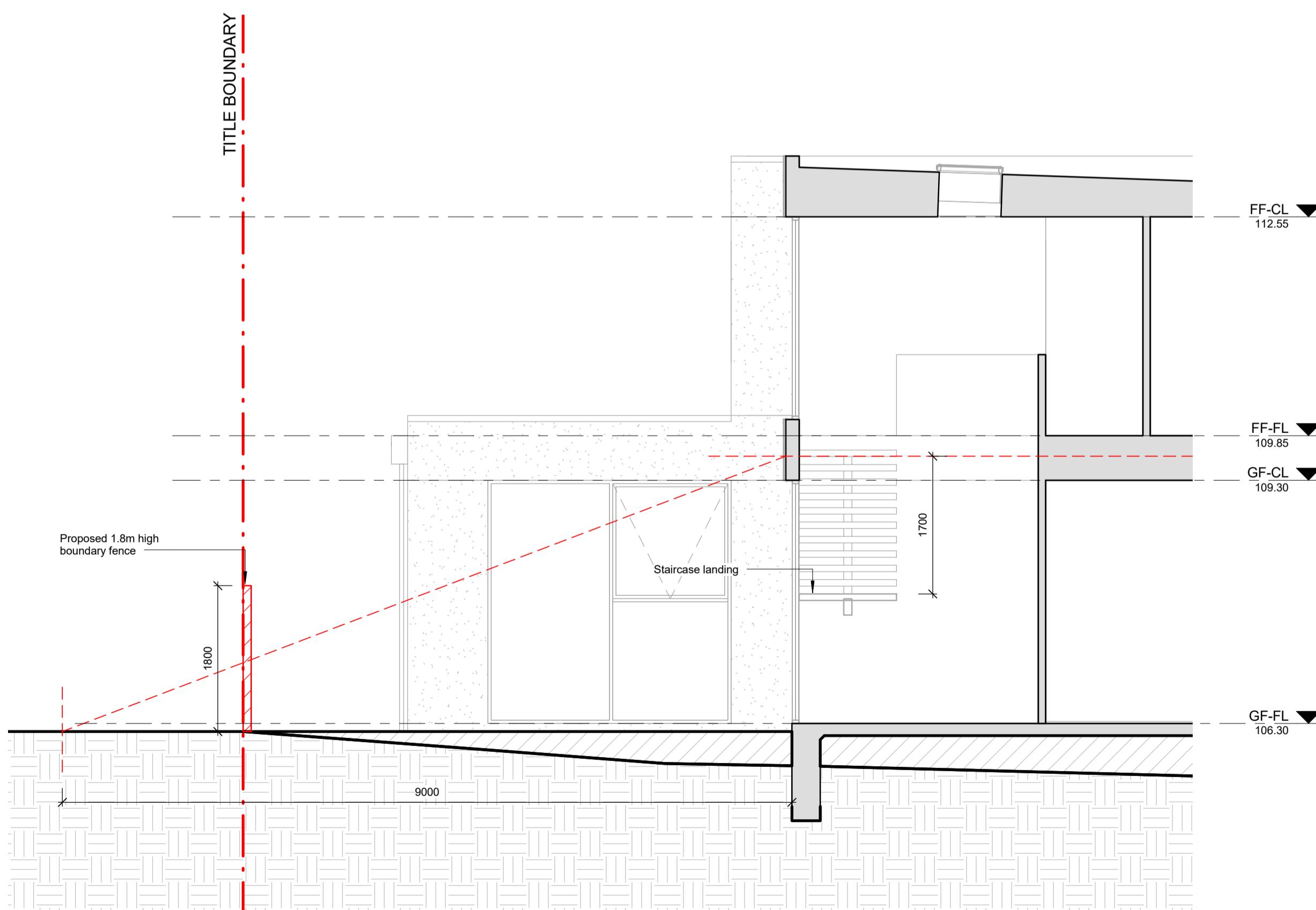
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REVISION:		



VOID & STAIRCASE OVERLOOKING SECTION 01  
1 : 50



OVERLOOKING SECTION  
1 : 50



VOID & STAIRCASE OVERLOOKING SECTION 02  
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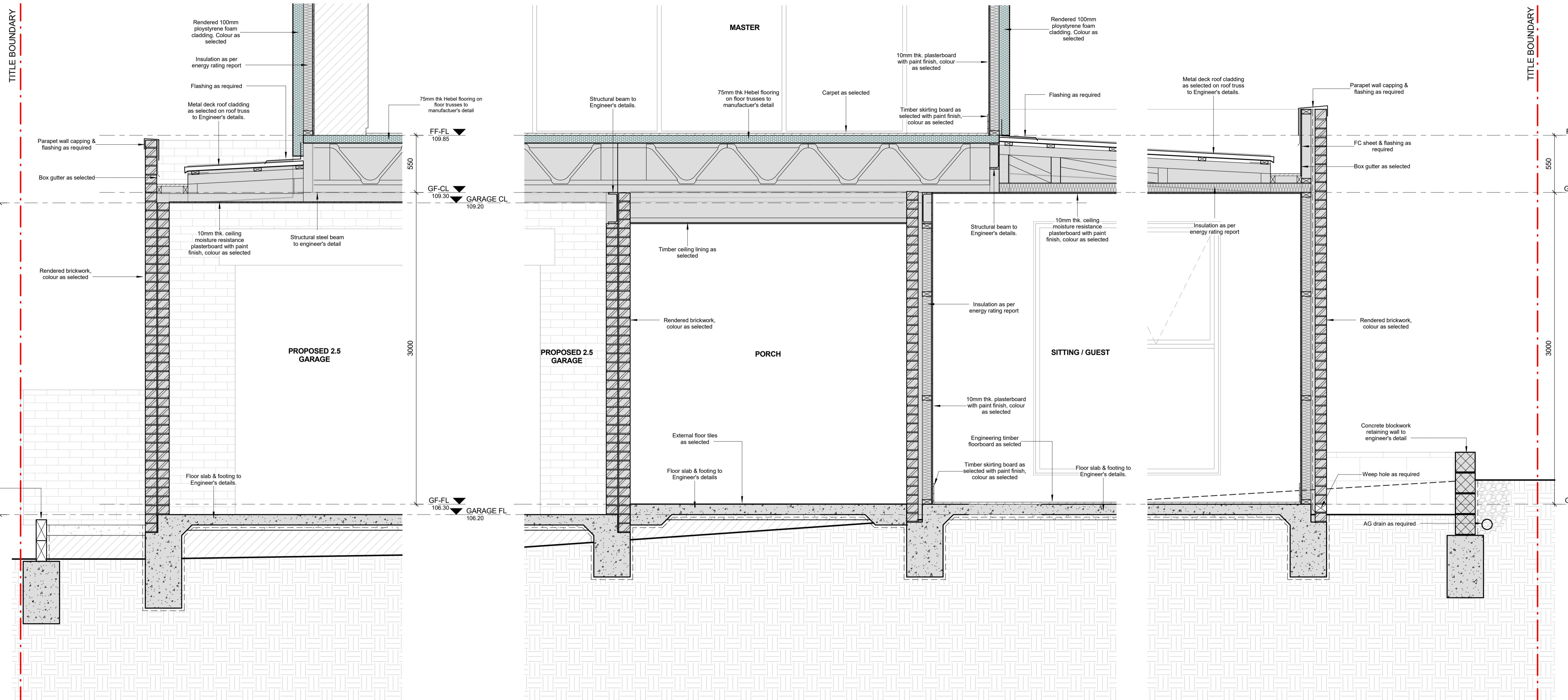
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Overlooking Sections  
JOB NUMBER:  
21022

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10/02/21  
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1:50  
DRAWN:  
Author

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AR360  
REVISION:



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DATE: 12/02/21

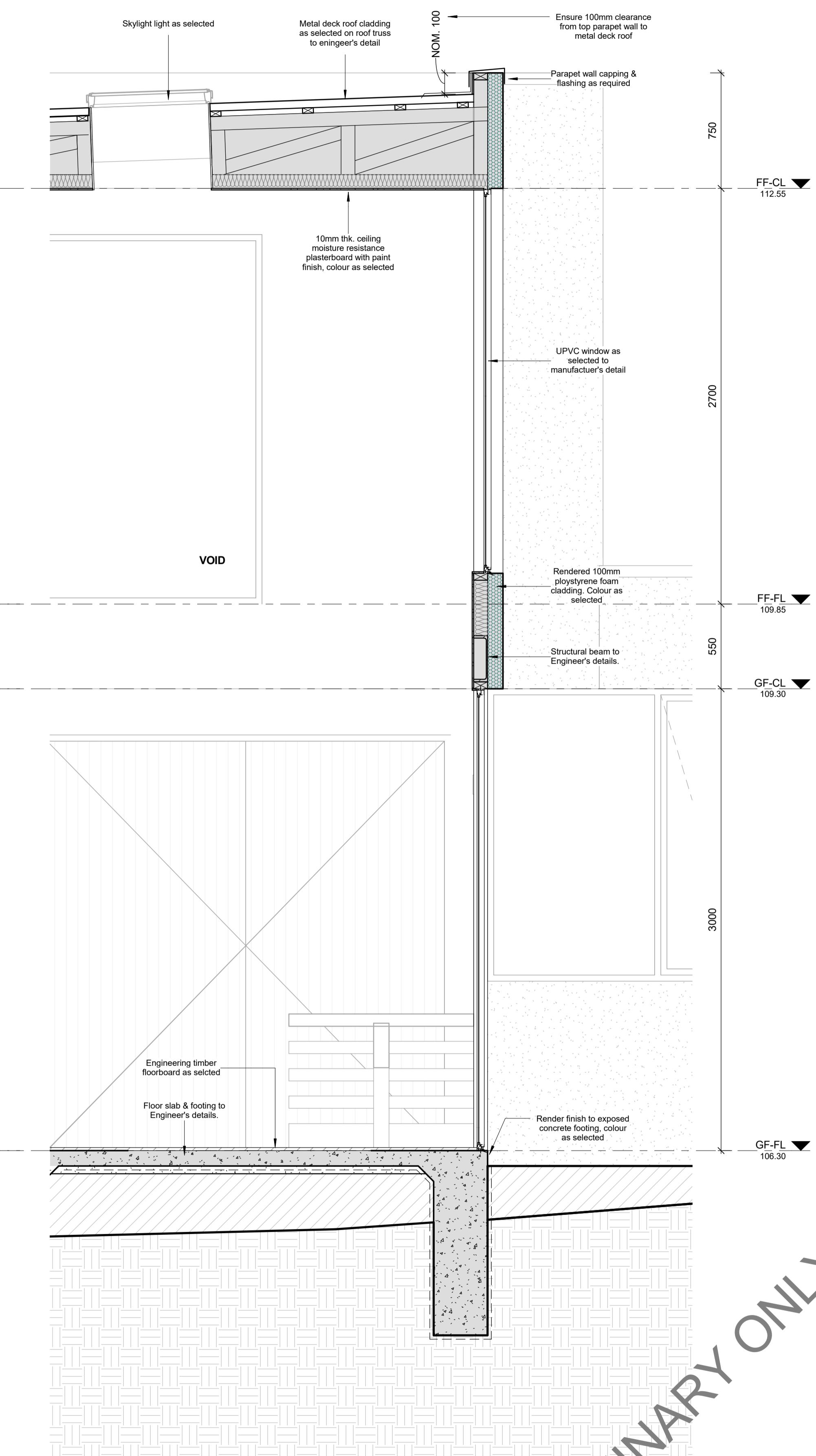
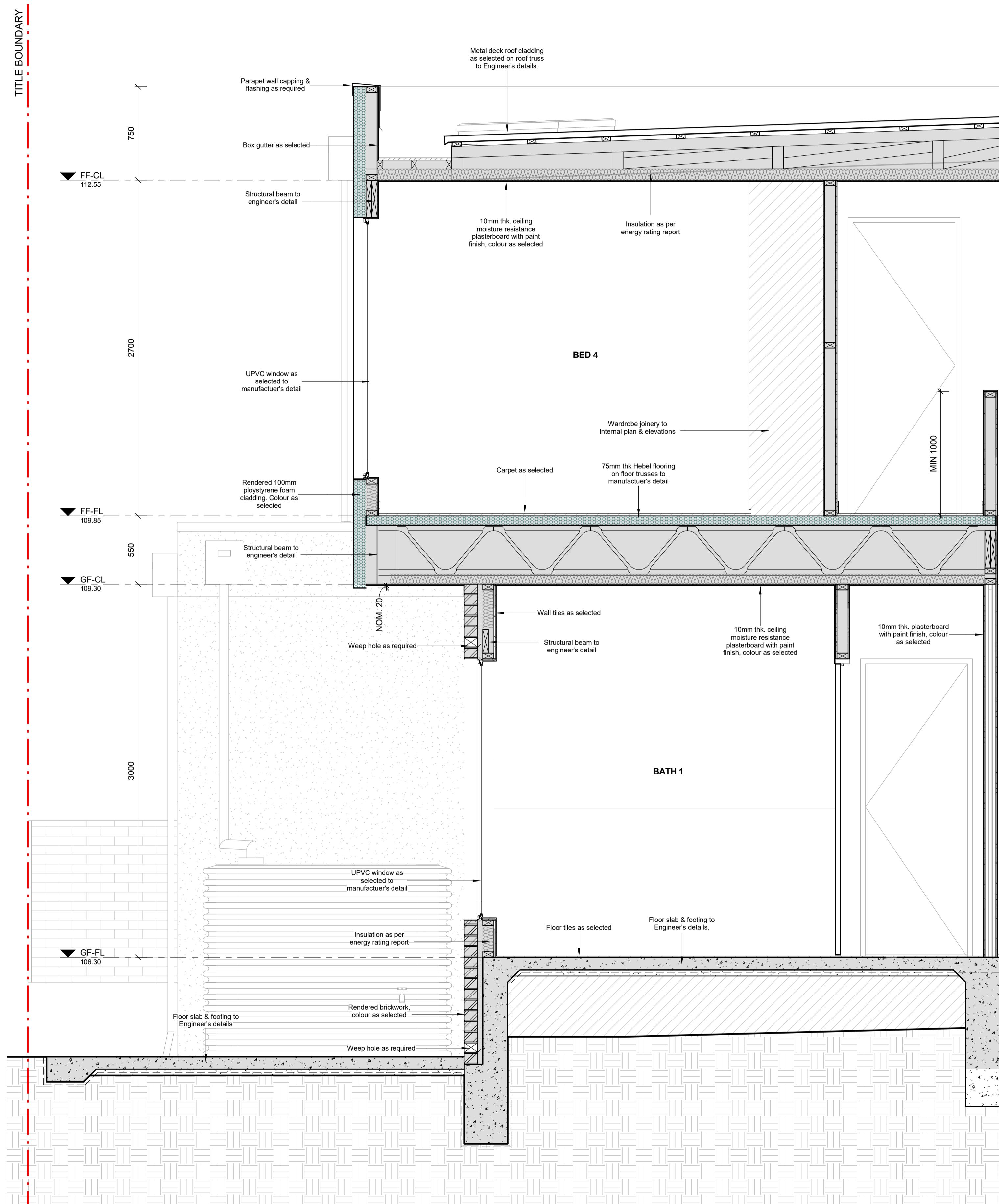
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DRAWING: AR400

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Section Detail 03 & 04

JOB NUMBER:  
21022

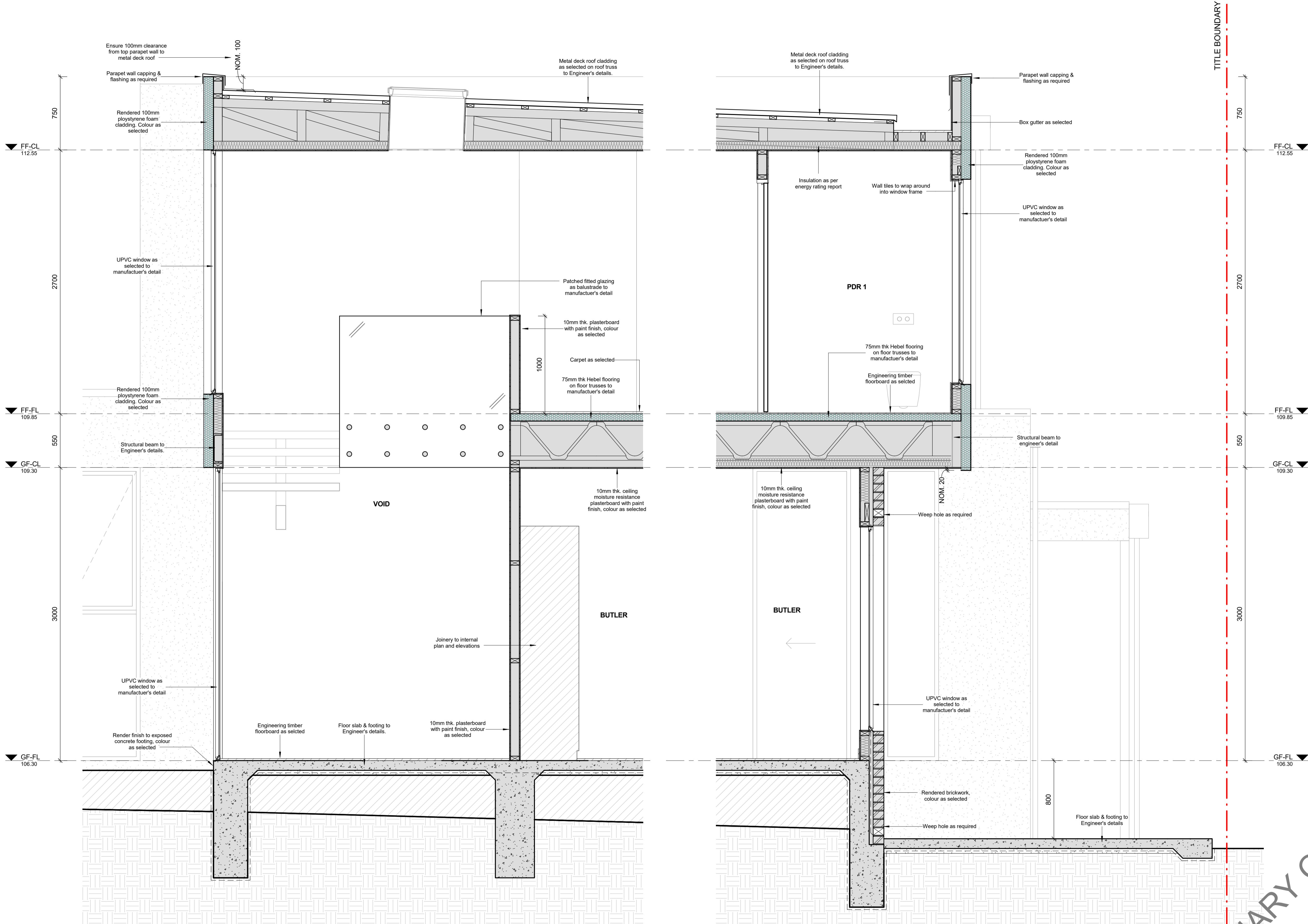
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12/6/21

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AR401

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PRELIMINARY



The image shows a technical cross-sectional drawing of a concrete structure. It features a rectangular concrete base with a textured surface. A horizontal steel beam is embedded in the concrete, supported by a vertical column. A red dashed line runs vertically through the center of the structure. The words "PRELIMINARY ONLY" are printed in large, bold, dark gray letters, slanted diagonally from the bottom-left towards the top-right of the image.



## SECTION DETAIL 05

1 : 20

 SECTION DETAIL 06  
1 : 20

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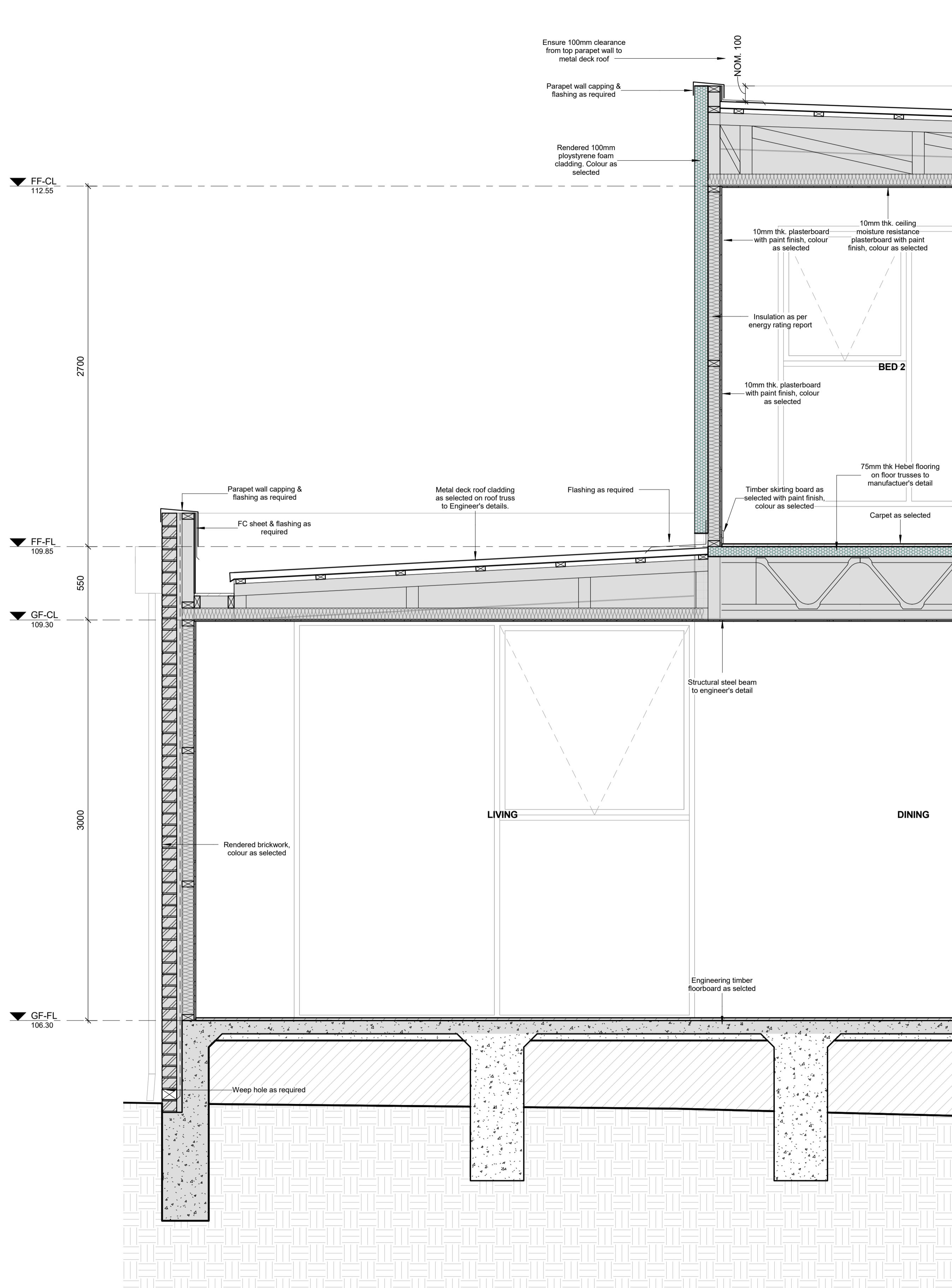
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TITLE: Detail 05 & 06	JOB NUMBER: <b>21022</b>	
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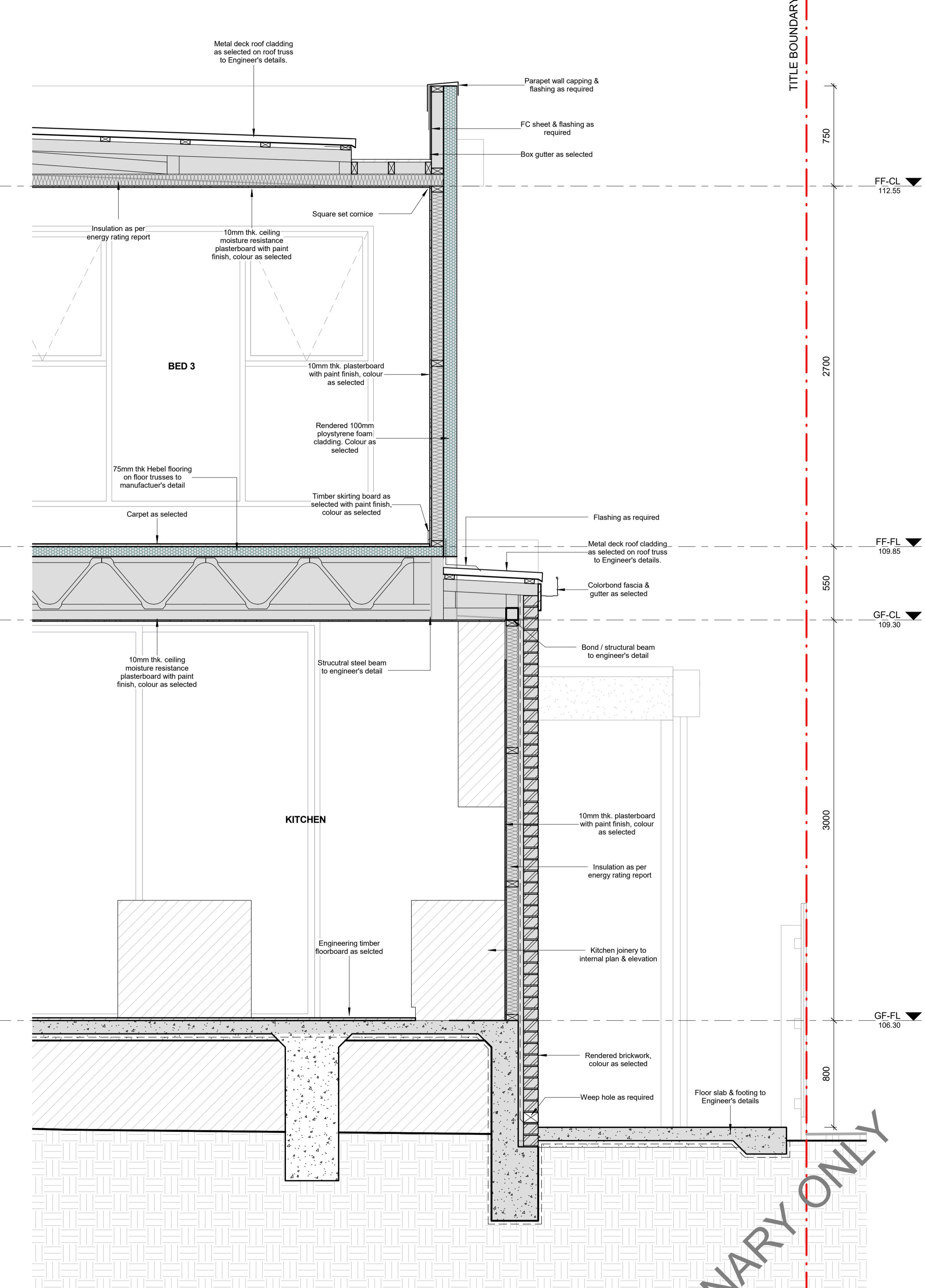
1 | CHECKED:  
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@ A1	DRAWN: Author	DRAWING: <b>AR402</b>	REVISION:
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 SECTION DETAIL 07  
1 : 20

1 : 20



SECTION DETAIL 08  
1 : 20

1

This image shows a technical architectural or engineering drawing of a foundation system. The drawing includes a concrete cap with a textured surface, a reinforcement grid below it, and a vertical column on the right. A horizontal line with arrows at both ends spans the width of the foundation. Above this line, the text 'veeep hole as required' is written. To the right of the line, an arrow points down to the text 'Engineer's details'. A large, diagonal watermark-like text 'PRELIMINARY ONLY' is overlaid across the entire drawing. A red dashed vertical line runs through the center of the foundation.

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TITLE: JOB NUMBER:  
Details 07 & 08 21022

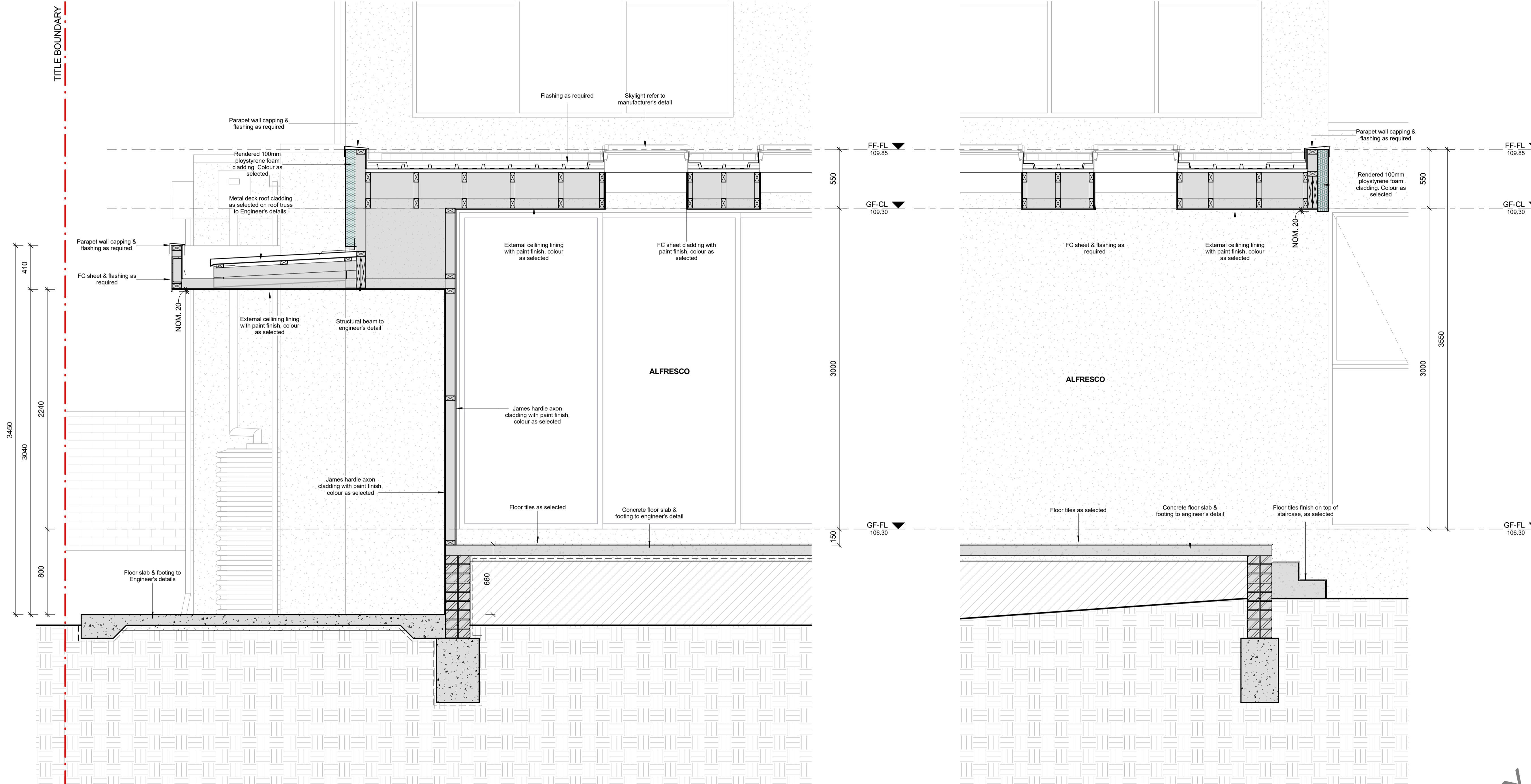
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@ A1 DRAWN: Author DRAWMG. AR403 REVISION.

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 SECTION DETAIL 09  
1 : 20

A circular icon divided horizontally, representing a section detail.

SECTION DETAIL 10  
1 : 20

A large, faint watermark is positioned diagonally across the page. It consists of the words "PRELIMINARY" and "ONLY" stacked vertically. The text is in a bold, sans-serif font. The watermark is light gray, making it less prominent against the white background.

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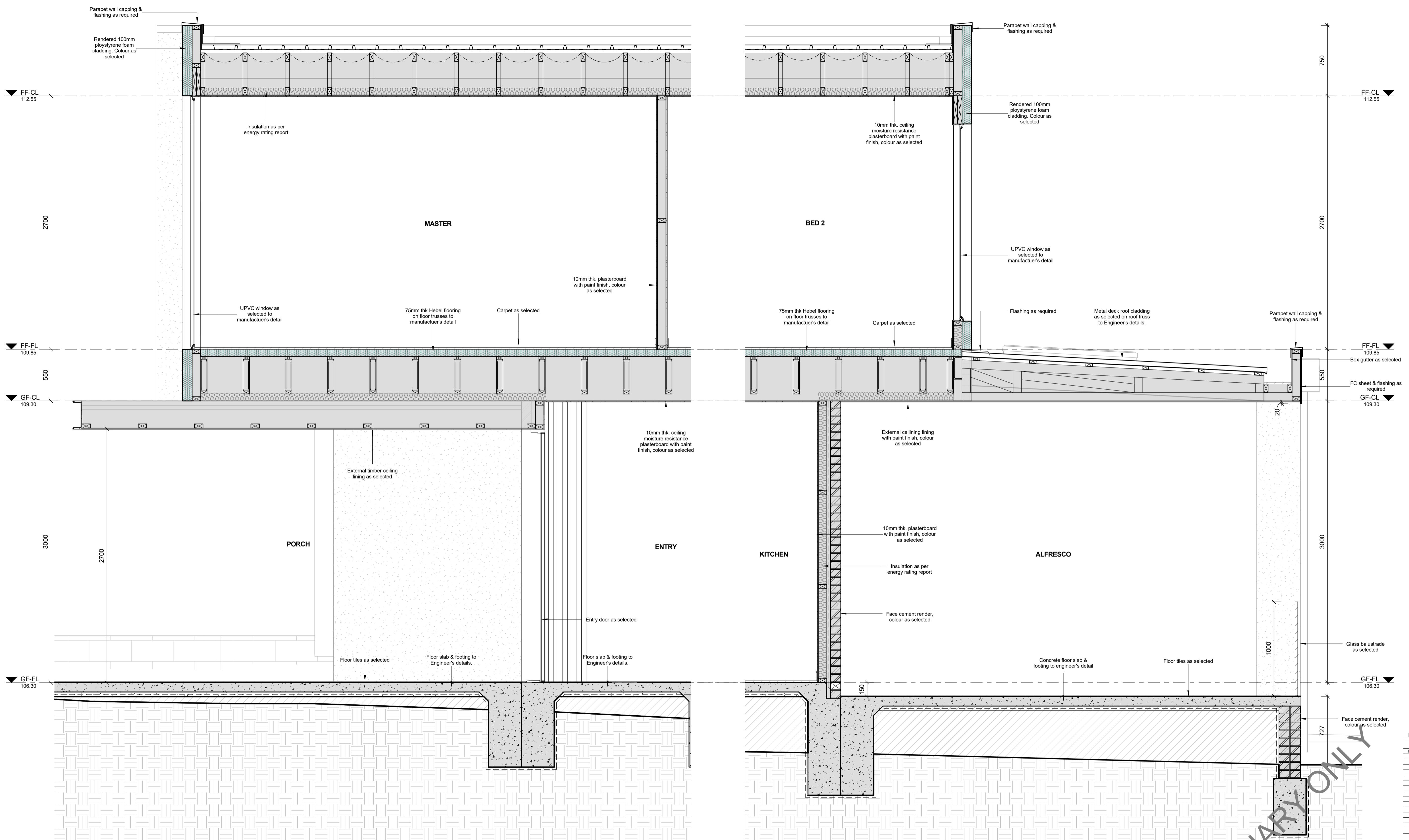
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MR. MATT CHAN & SOFIA CHAN

NO.28 ST CLEMS ROAD, DONCASTER EAST, VIC, 3109

SECTION DETAIL 11 & 12

1 : 20

12/6/21

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1 : 20

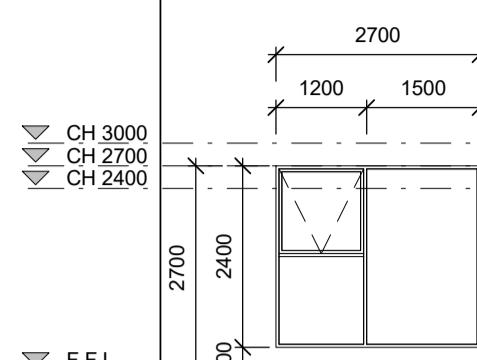
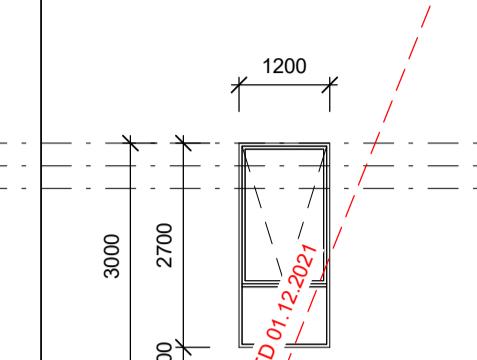
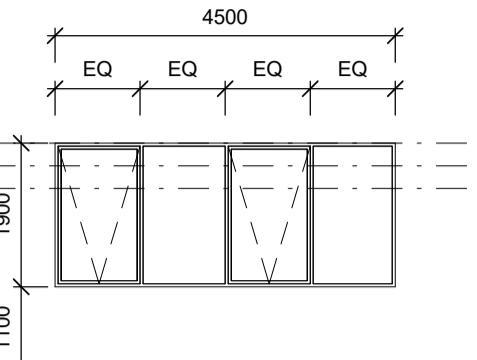
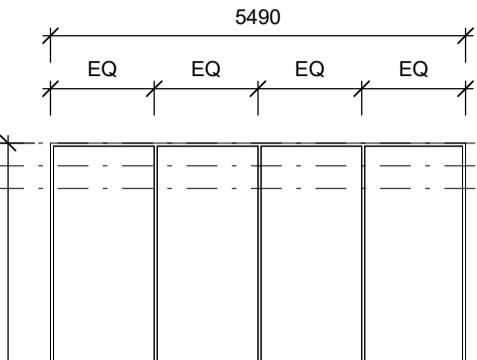
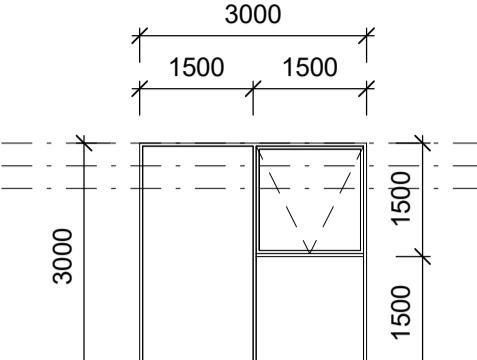
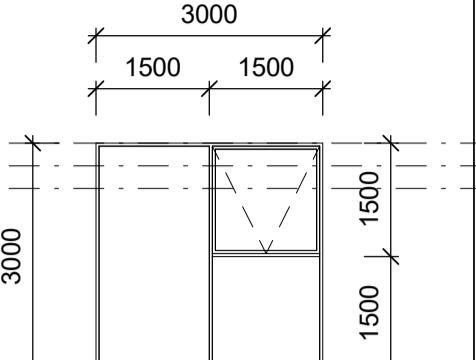
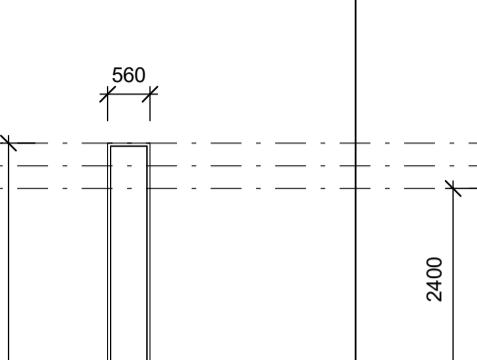
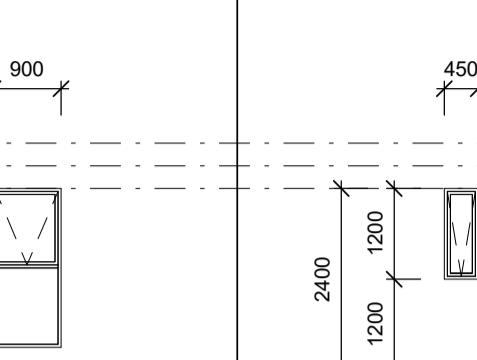
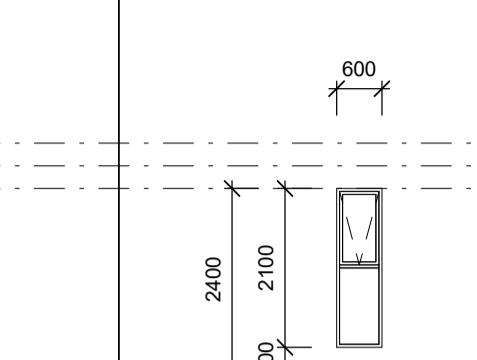
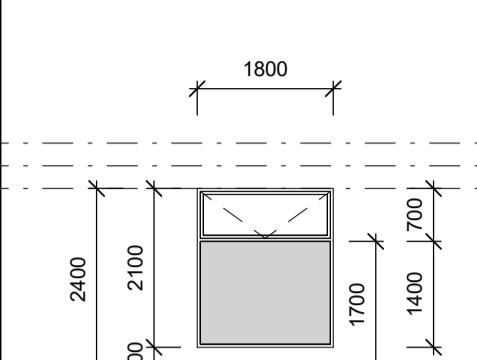
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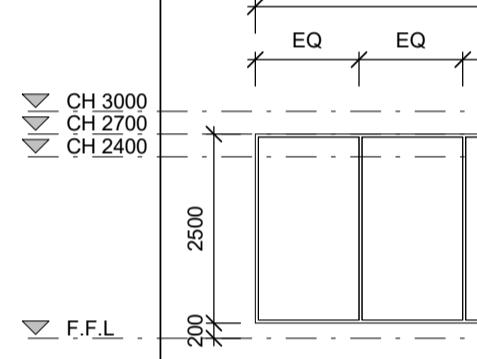
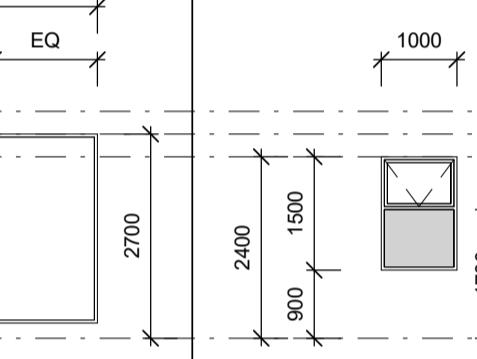
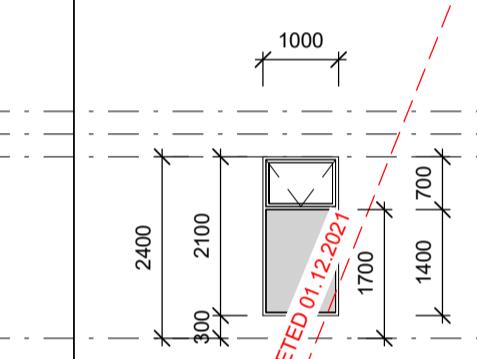
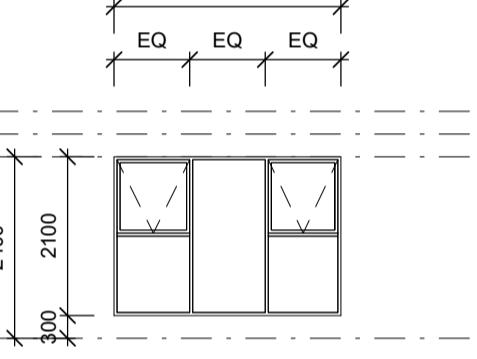
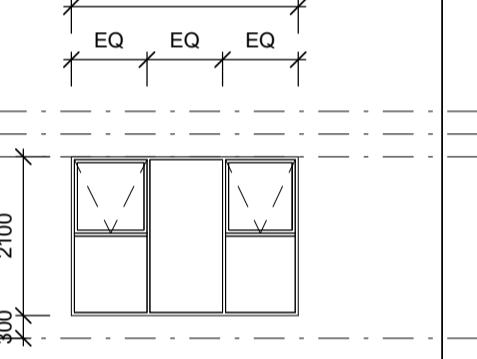
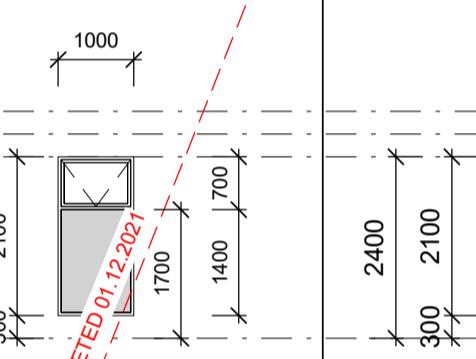
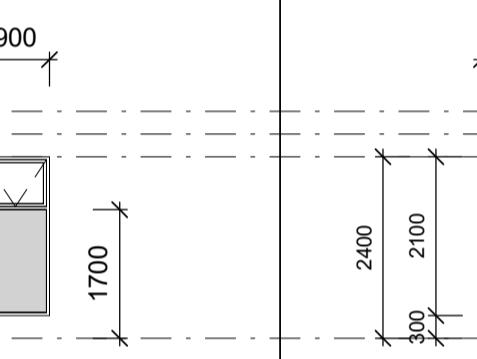
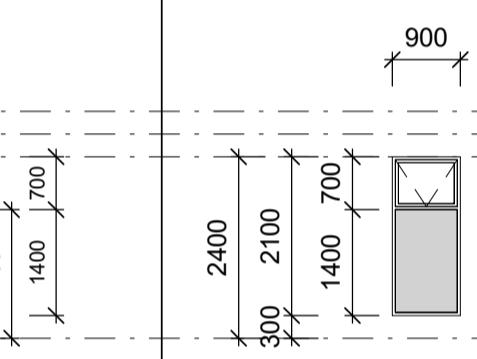
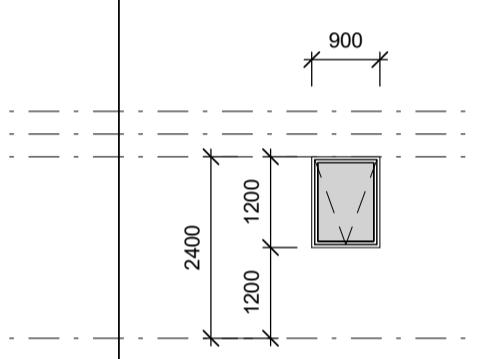
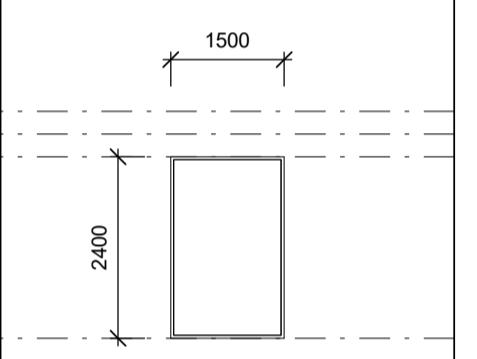
Author

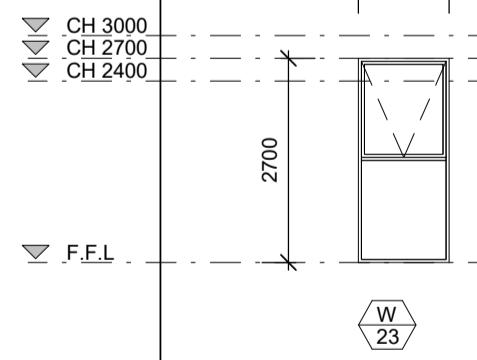
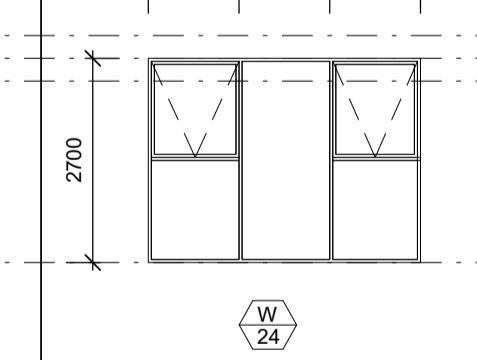
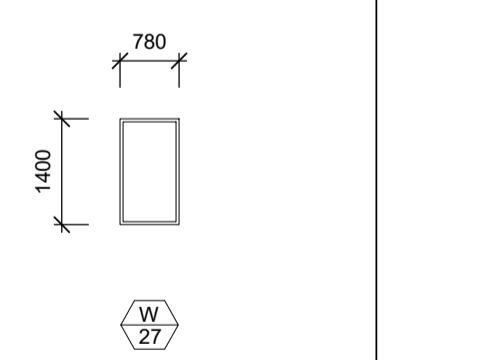
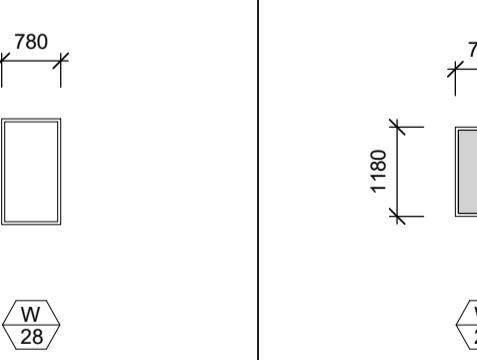
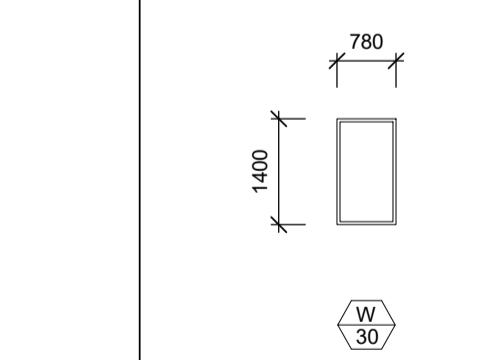
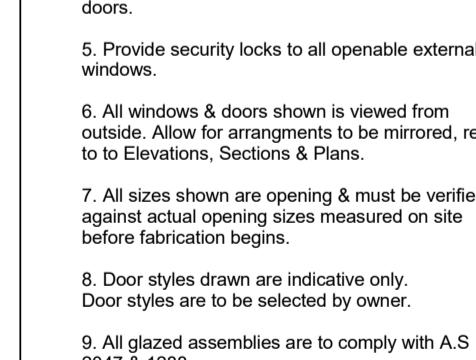
DRAWING

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REVISION

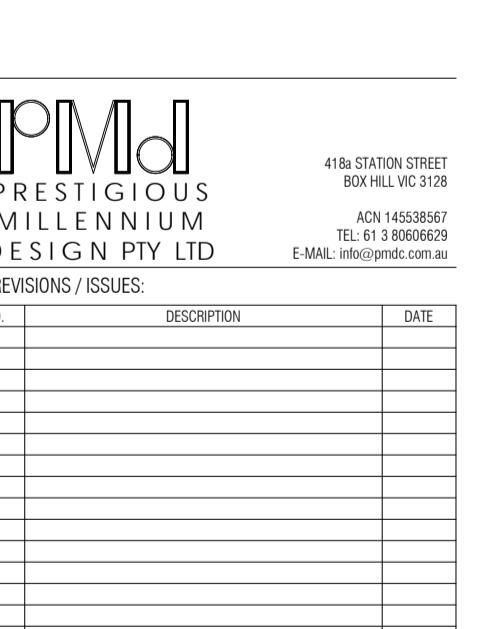
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<b>SIZE</b>	2700 W x 2400 H	1200 W x 2700 H	4500 W x 1900 H	5490 W x 3000 H	3000 W x 3000 H	3000 W x 3000 H	560 W x 3000 H	900 W x 2100 H	450 W x 1200 H	600 W x 2100 H	1800 W x 2100 H
<b>MATERIAL</b>	UPVC framed	UPVC framed	UPVC framed	UPVC framed	UPVC framed	UPVC framed	UPVC framed	UPVC framed	UPVC framed	UPVC framed	UPVC framed
<b>STYLE</b>	Fixed / Awning	Double Hung	Fixed / Awning	Fixed	Fixed / Awning	Fixed / Awning	Fixed	Fixed / Awning	Awning	Fixed / Awning	Fixed / Awning
<b>GLAZING</b>	As per energy rating report	As per energy rating report	As per energy rating report	As per energy rating report	As per energy rating report	As per energy rating report	As per energy rating report	As per energy rating report	As per energy rating report	As per energy rating report	As per energy rating report
<b>NOTES</b>	No architraves Dimension excludes reveal 200mm extruded steel frame in colorbond "Monument" colour or similar	No architraves Dimension excludes reveal	No architraves Obscured glazing up to 1.7m from F.F.L. Maximum opening 125mm only								

	WINDOW TYPE 12	WINDOW TYPE 13	WINDOW TYPE 14	WINDOW TYPE 15	WINDOW TYPE 16	WINDOW TYPE 17	WINDOW TYPE 18	WINDOW TYPE 19	WINDOW TYPE 20	WINDOW TYPE 21	WINDOW TYPE 22
											
<b>SIZE</b>	5490 W x 2500 H	1000 W x 1500 H	1000 W x 2100 H	3000 W x 2100 H	3000 W x 2100 H	1000 W x 2100 H	900 W x 2100 H	600 W x 2100 H	900 W x 2100 H	900 W x 1200 H	1500 W x 2400 H
<b>MATERIAL</b>	UPVC framed	UPVC framed	UPVC framed	UPVC framed	UPVC framed	UPVC framed	UPVC framed	UPVC framed	UPVC framed	UPVC framed	UPVC framed
<b>STYLE</b>	Fixed	Fixed / Awning	Fixed / Awning	Fixed / Awning	Fixed / Awning	Fixed / Awning	Fixed / Awning	Fixed / Awning	Fixed / Awning	Awning	Fixed
<b>GLAZING</b>	As per energy rating report	As per energy rating report	As per energy rating report	As per energy rating report	As per energy rating report	As per energy rating report	As per energy rating report	As per energy rating report	As per energy rating report	Double Glazed	As per energy rating report
<b>NOTES</b>	No architraves Dimension excludes reveal	No architraves Dimension excludes reveal Obscured glazing up to 1.7m from F.F.L. Maximum opening 125mm only	No architraves Dimension excludes reveal Obscured glazing up to 1.7m from F.F.L.	No architraves Dimension excludes reveal Maximum opening 125mm only	No architraves Dimension excludes reveal Obscured glazing up to 1.7m from F.F.L. Maximum opening 125mm only	No architraves Dimension excludes reveal Obscured glazing up to 1.7m from F.F.L. Maximum opening 125mm only	No architraves Dimension excludes reveal Obscured glazing up to 1.7m from F.F.L. Maximum opening 125mm only	No architraves Dimension excludes reveal Obscured glazing up to 1.7m from F.F.L. Maximum opening 125mm only	No architraves Dimension excludes reveal Obscured glazing up to 1.7m from F.F.L. Fully obscured glazed Maximum opening 125mm only	No architraves Dimension excludes reveal	No architraves Dimension excludes reveal

	WINDOW TYPE 23	WINDOW TYPE 24	WINDOW TYPE 27	WINDOW TYPE 28	WINDOW TYPE 42	WINDOW TYPE 43
						
<b>SIZE</b>	1200 W x 2700 H	3600 W x 2700 H	780 W x 1400 H	780 W x 1400 H	780 W x 1180 H	780 W x 1400 H
<b>MATERIAL</b>	UPVC framed	UPVC framed	UPVC framed	UPVC framed	UPVC framed	UPVC framed
<b>STYLE</b>	Fixed / Awning	Fixed / Awning	Fixed	Fixed	Fixed	Fixed
<b>GLAZING</b>	As per energy rating report	As per energy rating report	As per energy rating report	As per energy rating report	As per energy rating report	As per energy rating report
<b>NOTES</b>	No architraves Dimension excludes reveal Maximum opening 125mm only	No architraves Dimension excludes reveal Maximum opening 125mm only	Skylight above alfresco Dimension excludes reveal	Skylight above Master W.I.R Dimension excludes reveal	Skylight above void Obscured glazing	Dimension excludes reveal

**NOTE:**

- All external windows are aluminium framed and opening type as shown.
- All doors are timber framed at selected style.
- Provide privacy locks to all Bathroom, WC except for Ensuite.
- Provide security dead locks to all external doors.
- Provide security locks to all operable external windows.
- All windows & doors shown as viewed from outside. Allow for arrangements to be mirrored, refer to Elevation, Sections & Plans.
- All sizes shown are opening & must be verified against actual opening sizes measured on site before fabrication begins.
- Door styles drawn are indicative only. Door styles are to be selected by owner.
- All glazed assemblies are to comply with A.S 2047 & 1288.
- Brick courses dimension are approximate only.
- Thickness of glass shall be determined in accordance with requirements of A.S 1288.
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PROJECT ADDRESS: NO.29 ST CLEMS ROAD, DONCASTER EAST, VIC, 3109

DRAWING TITLE: Window Schedule 01

JOB NUMBER: 21022

DATE: 09/02/21

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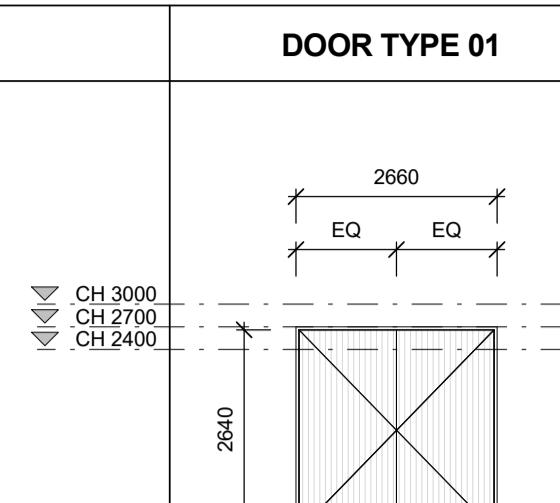
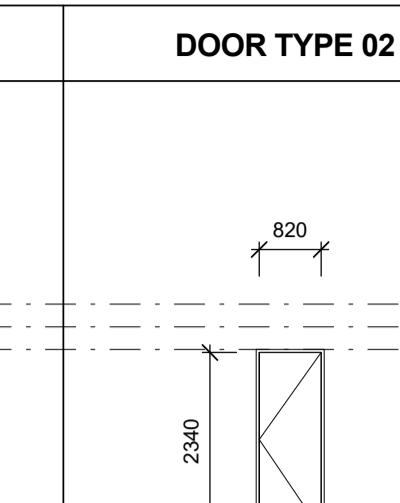
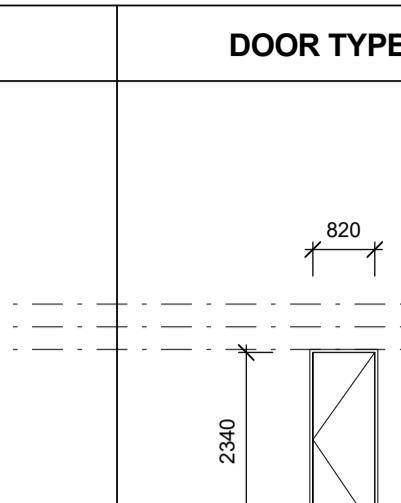
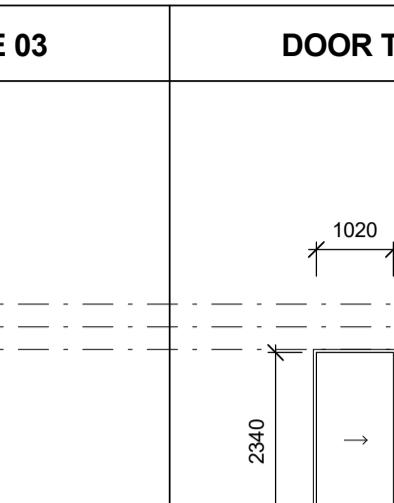
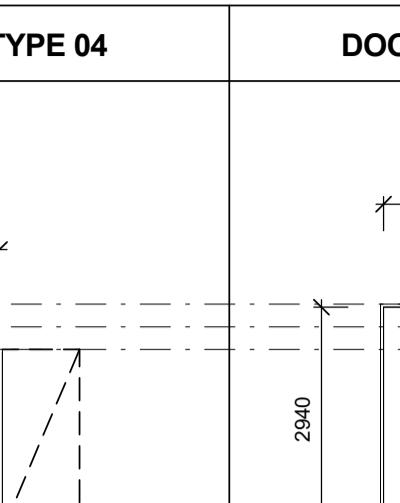
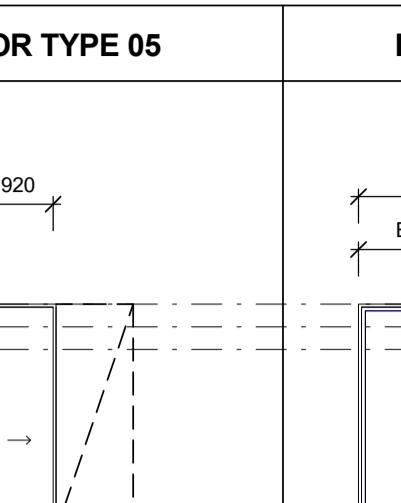
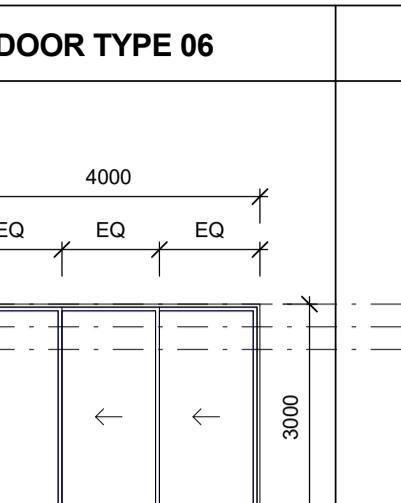
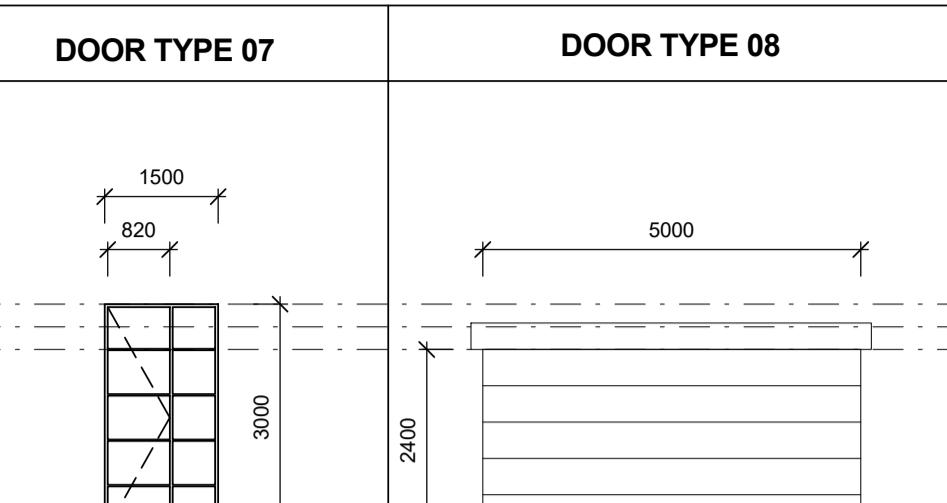
DRAWN: @ A1 Author

DRAWING: AR500

REVISION: PRELIMINARY

REVISION: PRELIMINARY

PRELIMINARY ONLY

	DOOR TYPE 01	DOOR TYPE 02	DOOR TYPE 03	DOOR TYPE 04	DOOR TYPE 05	DOOR TYPE 06	DOOR TYPE 07	DOOR TYPE 08
	 <span>D 01</span>	 <span>D 02</span>	 <span>D 03</span>	 <span>D 04</span>	 <span>D 04</span>	 <span>D 06</span>	 <span>D 07</span>	 <span>D 08</span>
SIZE	2660 W x 2640 H	820 W x 2340 H	820 W x 2340 H	1020 W x 2340 H	920 W x 2940 H	4000 W x 3000 H	1500 W x 2400 H	5000 W x 2400 H
MATERIAL	Timber solid core with selected finish	Timber hollow core with selected paint finish	Timber hollow core with selected paint finish	Timber hollow core with selected paint finish	Timber hollow core with selected paint finish	Aluminium framed, powder coated	Steel frame glass door	Aluminium panel with selected finish
STYLE	Hinged Swing door	Hinged swing door	Hinged swing door	Cavity sliding	Cavity sliding	Panel sliding	Hinged	Panel Lift
GLAZING	As selected	As selected	As selected	As selected	As selected	Double glazing	As selected	As selected
NOTES	<b>External</b> No architraves, flush finish  Entry double door  Dimension are for door leaf only excludes door frames & reveal  Overall height including frame to be 2700mm high	<b>Internal</b> No architraves, flush finish  Dimension are for door leaf only excludes door frames & reveal  Overall height including frame to be 2400mm high	<b>External</b> No architraves, flush finish  Dimension are for door leaf only excludes door frames & reveal  Overall height including frame to be 2400mm high	<b>Internal</b> No architraves, flush finish  Dimension are for door leaf only Confirm sliding direction on floor plan  Overall height including frame to be 2400mm high	<b>Internal</b> No architraves, flush finish  Dimension are for door leaf only Confirm sliding direction on floor plan  Overall height including frame to be 3000mm high	<b>External</b> No architraves, flush finish  Dimension excludes reveal, confirm sliding direction on floor plan  Retractable fly screen as required	<b>Internal</b> Steel frame glass door unit	<b>External</b> Finish as selected



# DOOR SCHEDULE 01

1 : 100

1 : 100

PRELIMINARY ONLY

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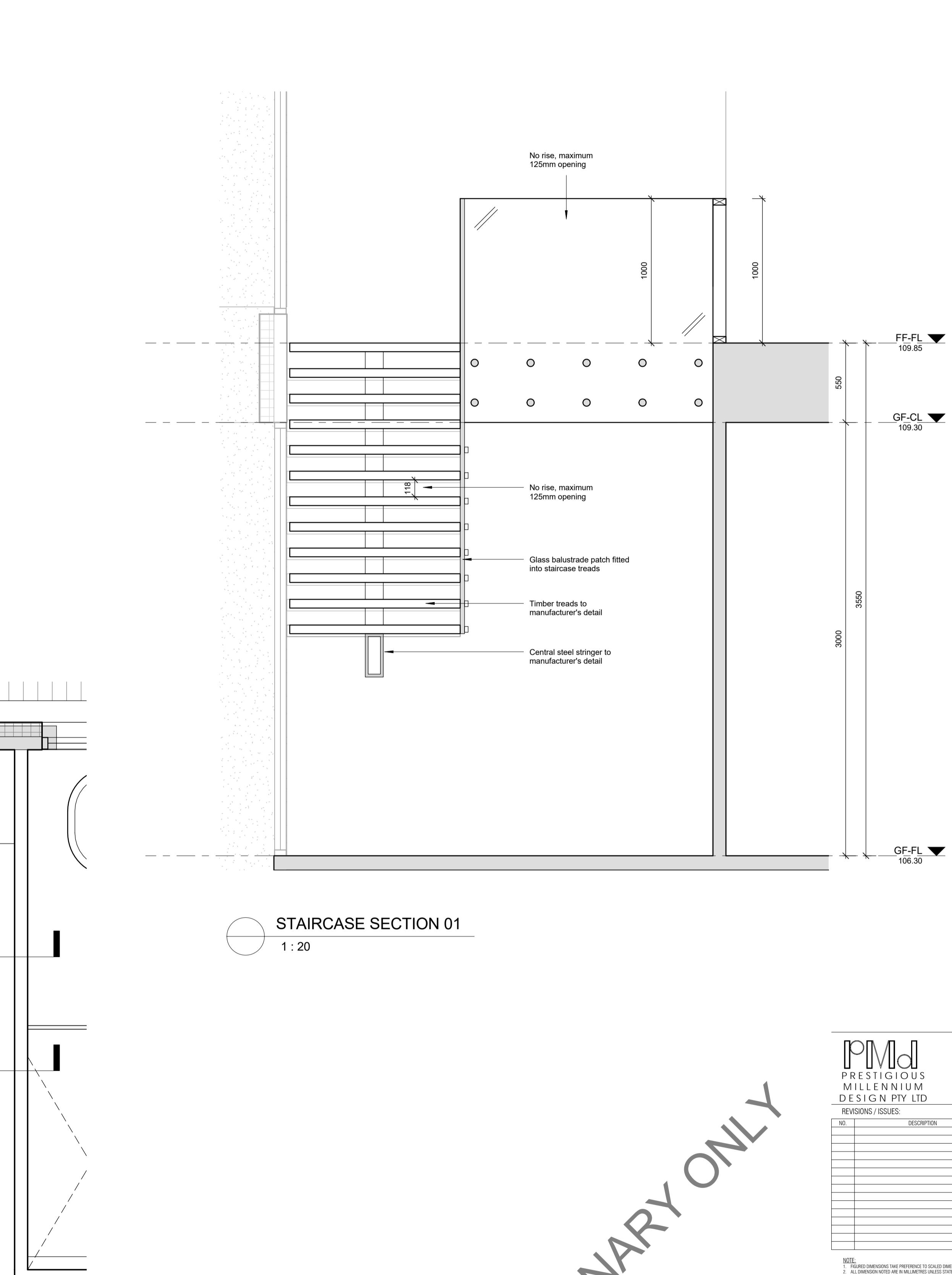
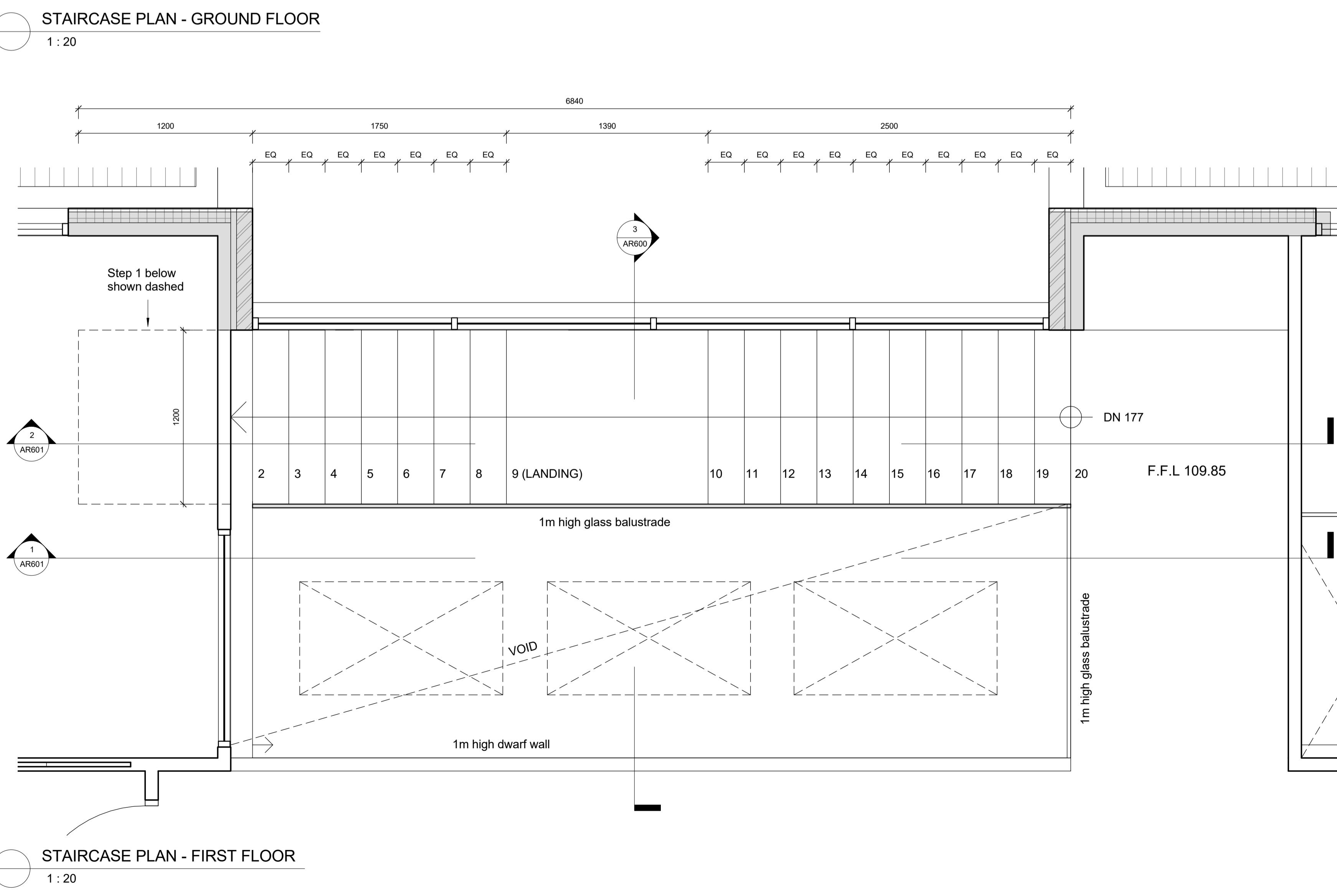
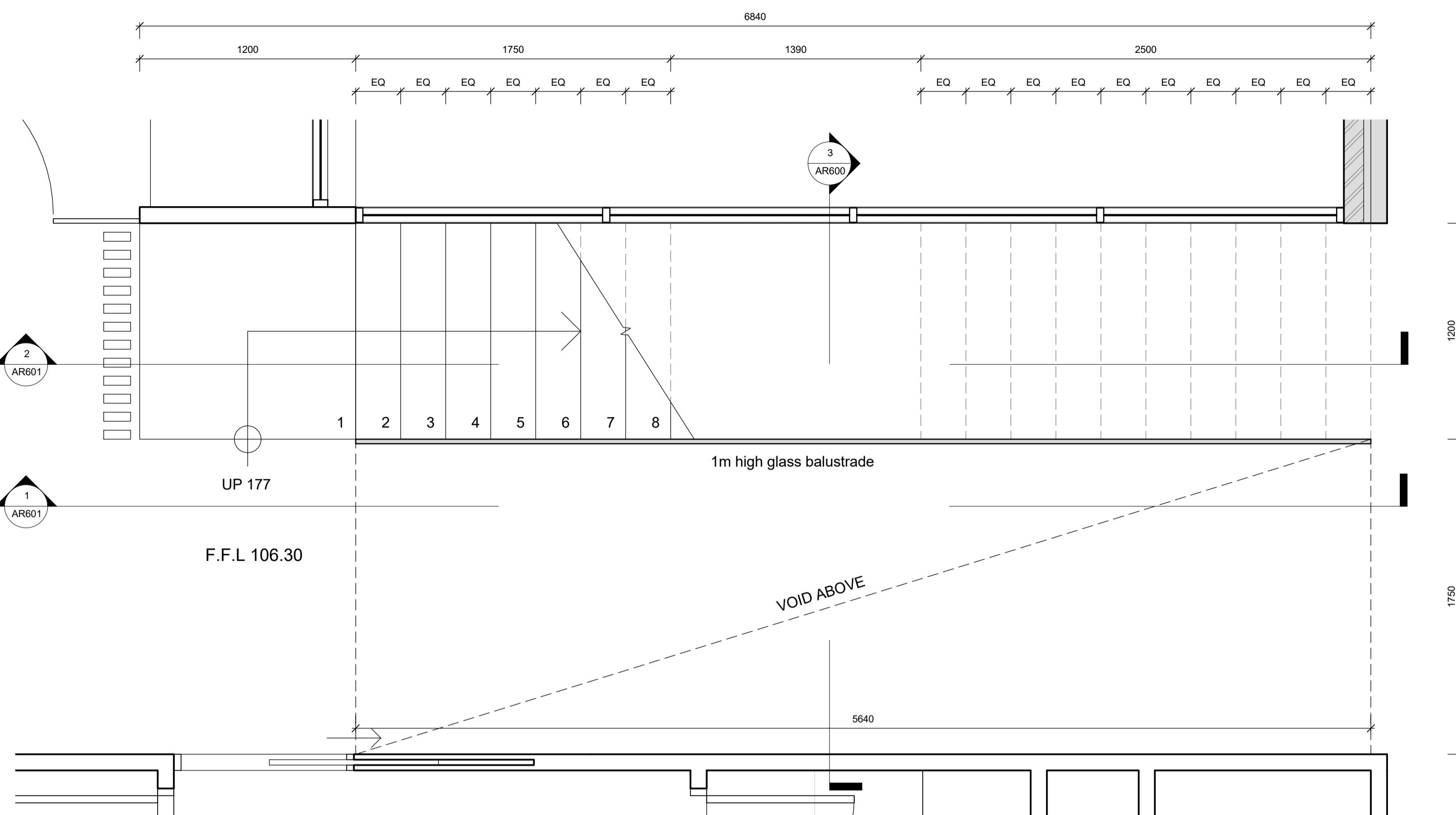
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ADDRESS:  
10 CLEMS ROAD, DONCASTER EAST, VIC, 3109

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TITLE: chedule 01	JOB NUMBER: 21022
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1  ② A1	DRAWN: Author	DRAWING: <b>APE01</b>	REVISION:



PRELIMINARY ONLY

**PMd**  
PRESTIGIOUS  
MILLENNIUM  
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418a STATION STREET  
BONDI VIC 3169  
TEL: 03 3890629  
E-MAIL: info@pmdc.com.au

REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE

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CLIENT:  
MR. MATT CHAN & SOFIA CHAN

PROJECT ADDRESS:  
NO.28 ST CLEMS ROAD, DONCASTER EAST, VIC, 3109

DRAWING TITLE:  
Staircase Plan & Section 01

JOB NUMBER:  
21022

DATE:  
09/02/21

CHECKED:  
Checker

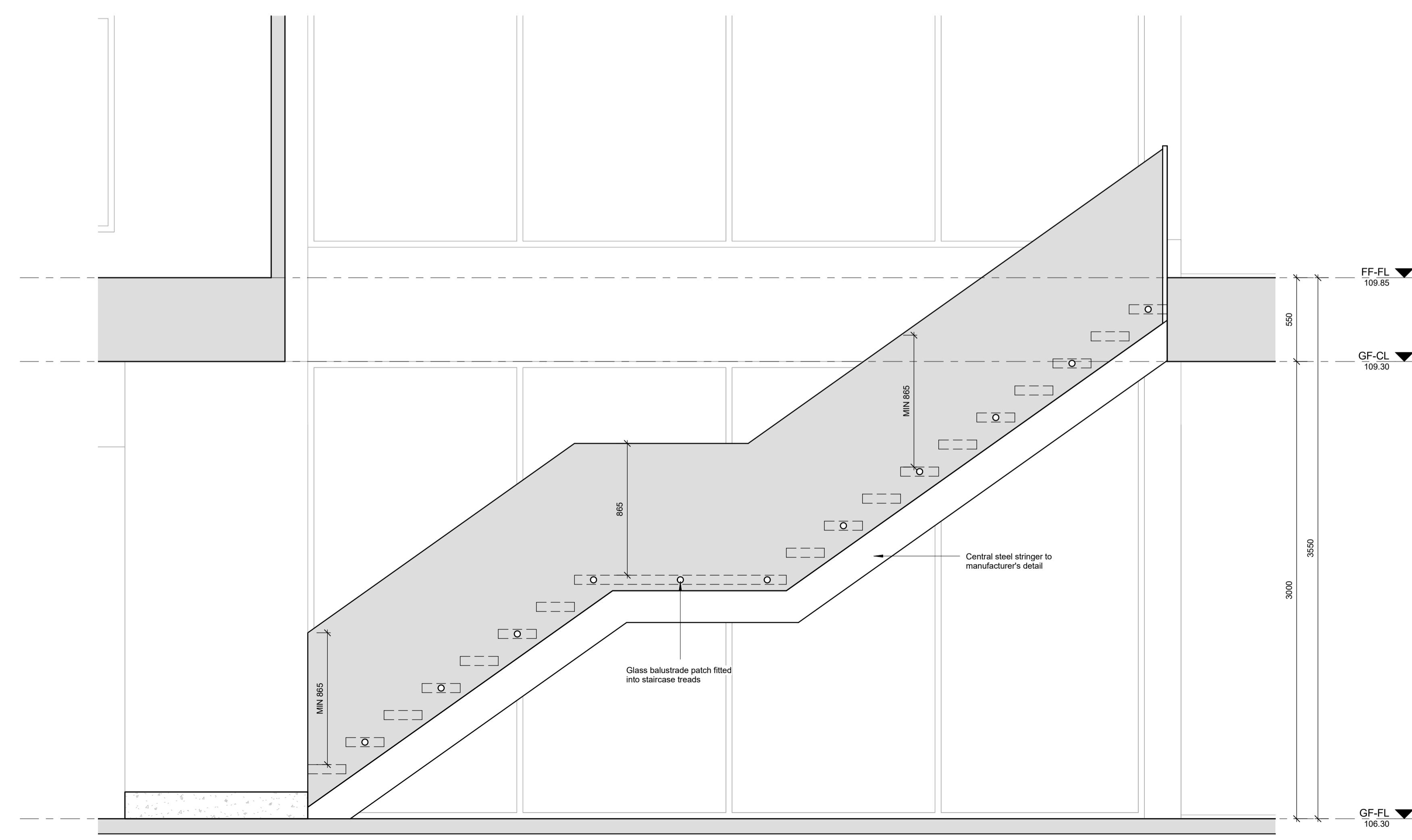
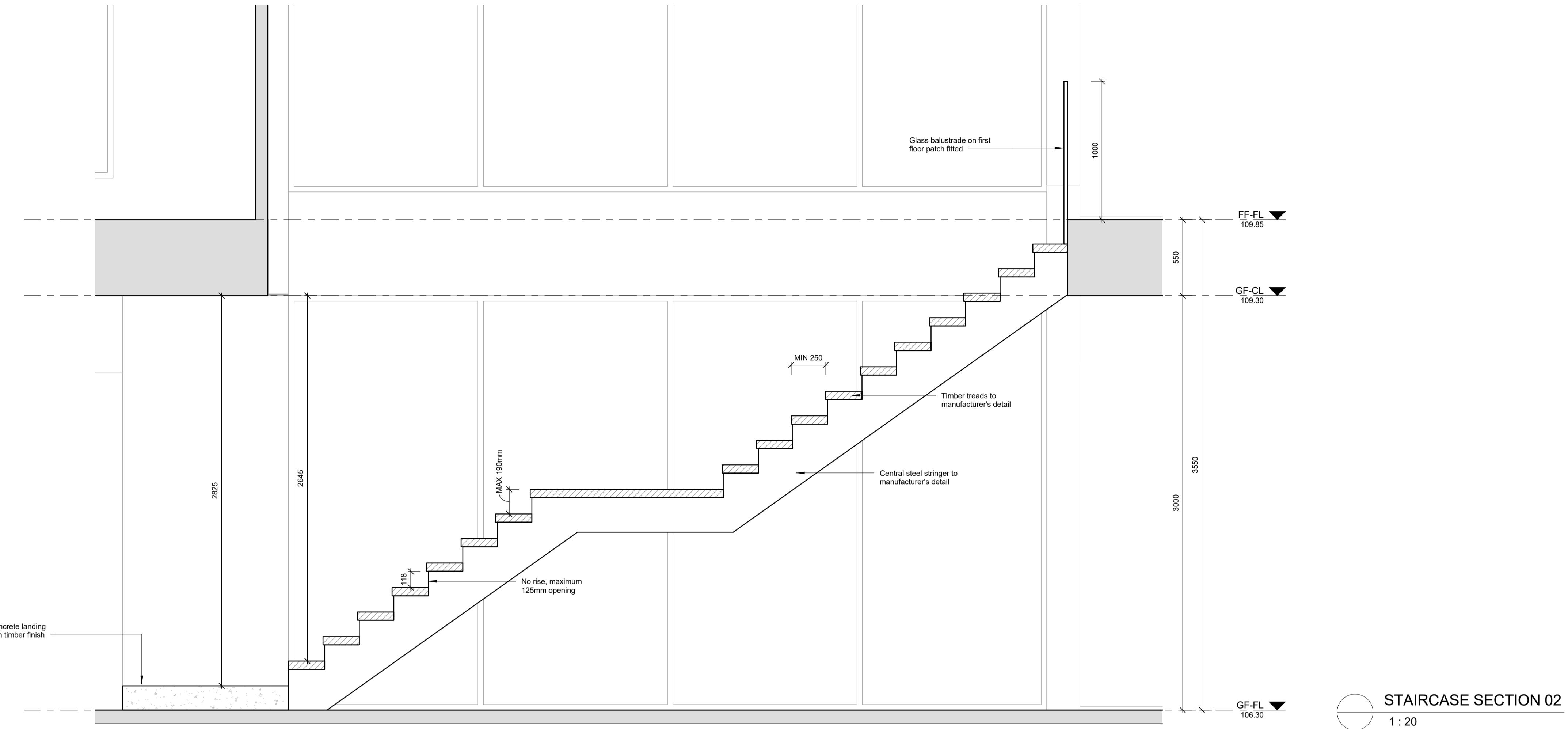
PRELIMINARY

SCALE:  
1:20

DRAWN:  
Author

DRAWING:  
AR600

REVISION:



An architectural drawing of a staircase section, labeled "STAIRCASE SECTION 03" at the bottom. A large, diagonal watermark reading "PRELIMINARY ONLY" is overlaid across the entire drawing.

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PROJECT/ADDRESS:  
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NO.26 ST CLEMS ROAD, DUNCASTER EAST, VIC, 3109

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DRAWING TITLE: Staircase Section 02 & 03 JOB NUMBER: 21022

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DATE: CHECKED: PRELIMINARY

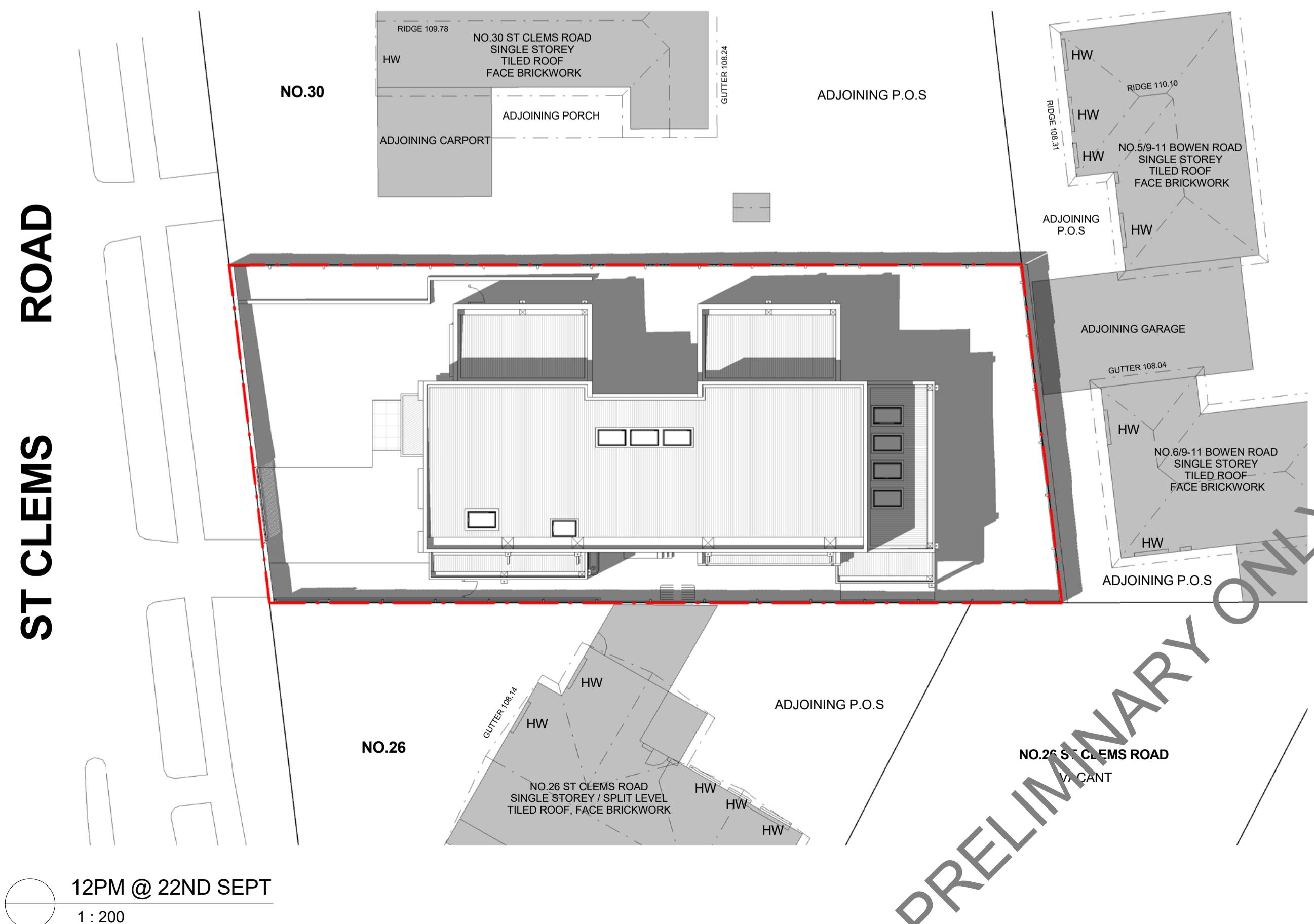
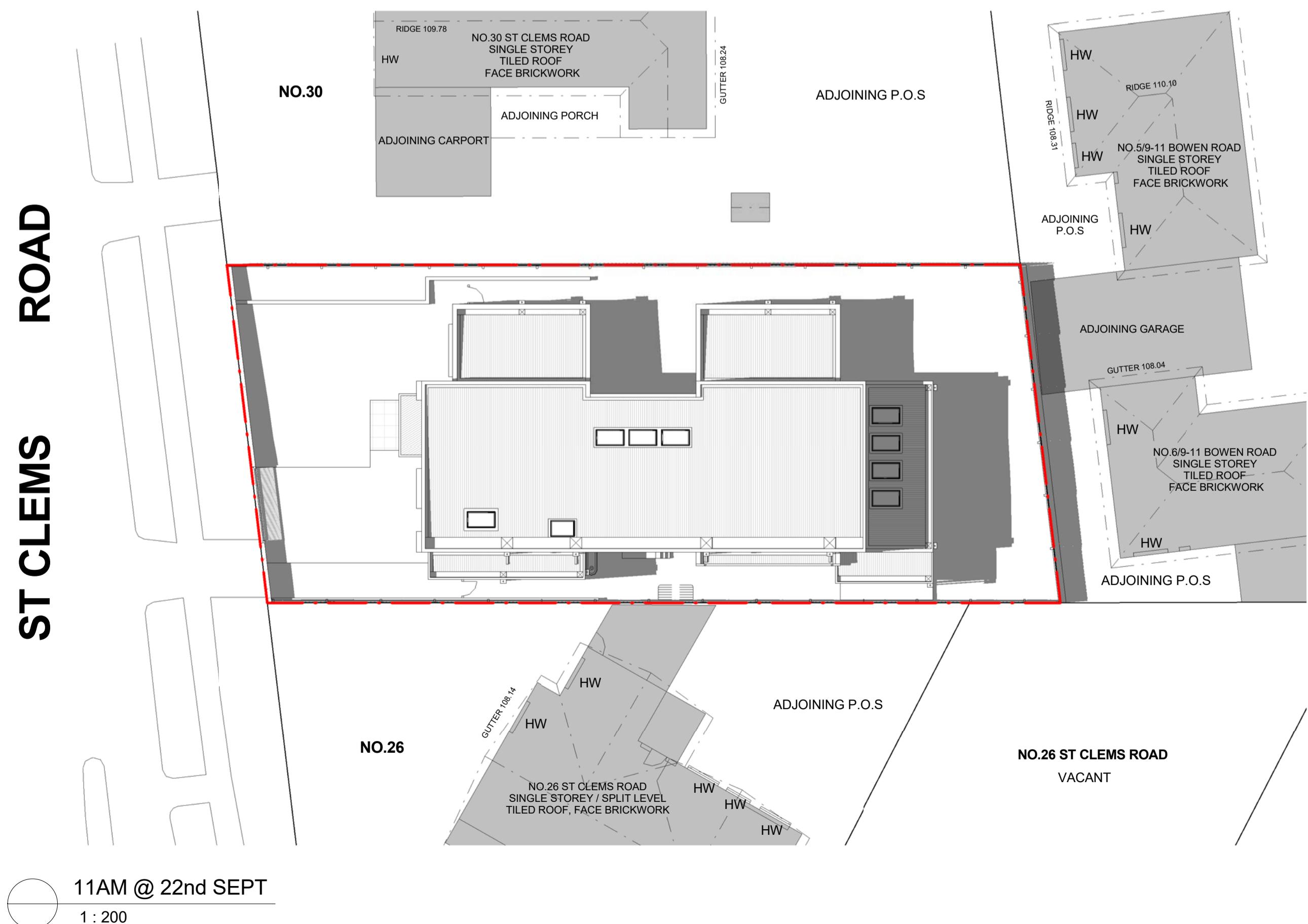
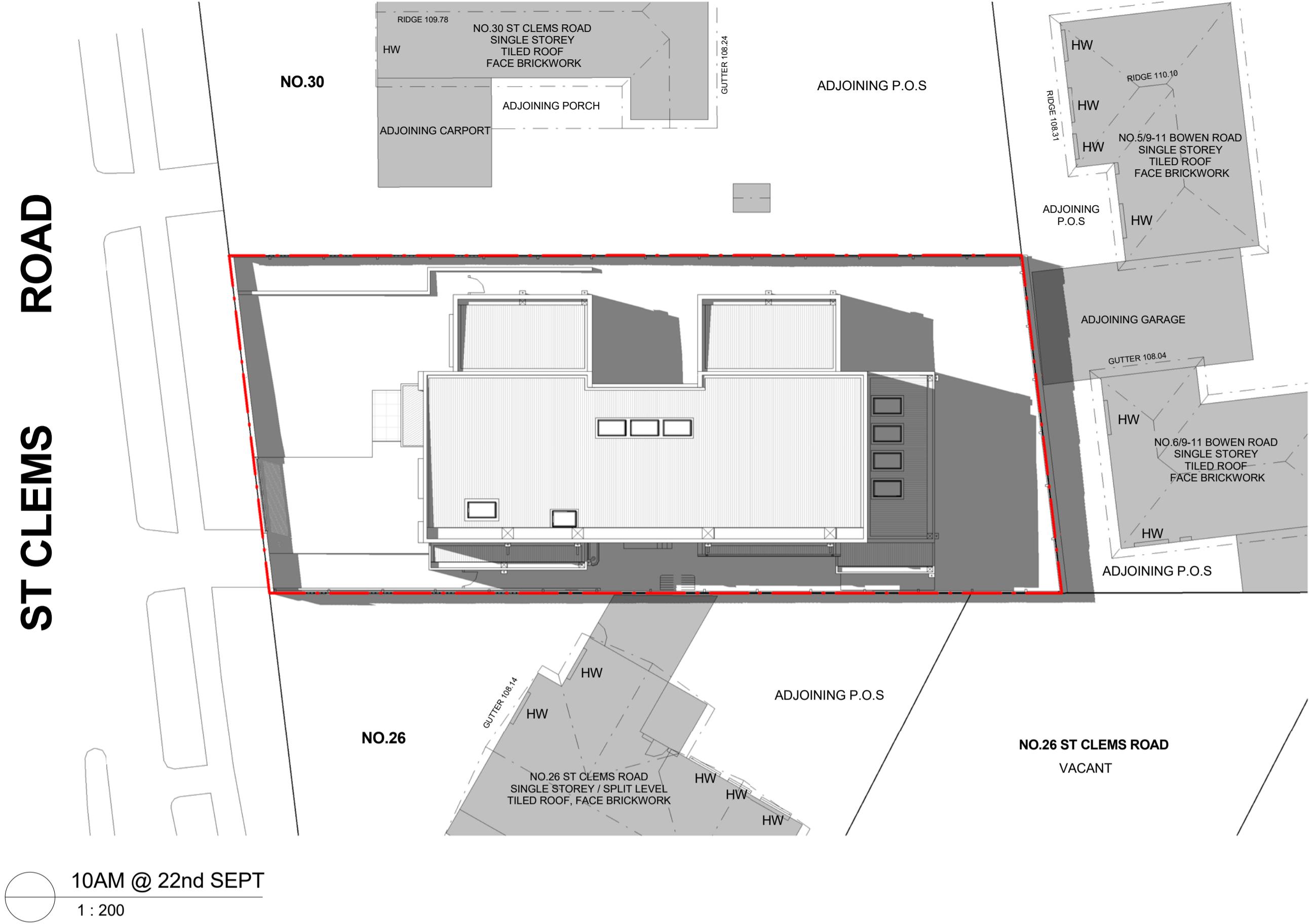
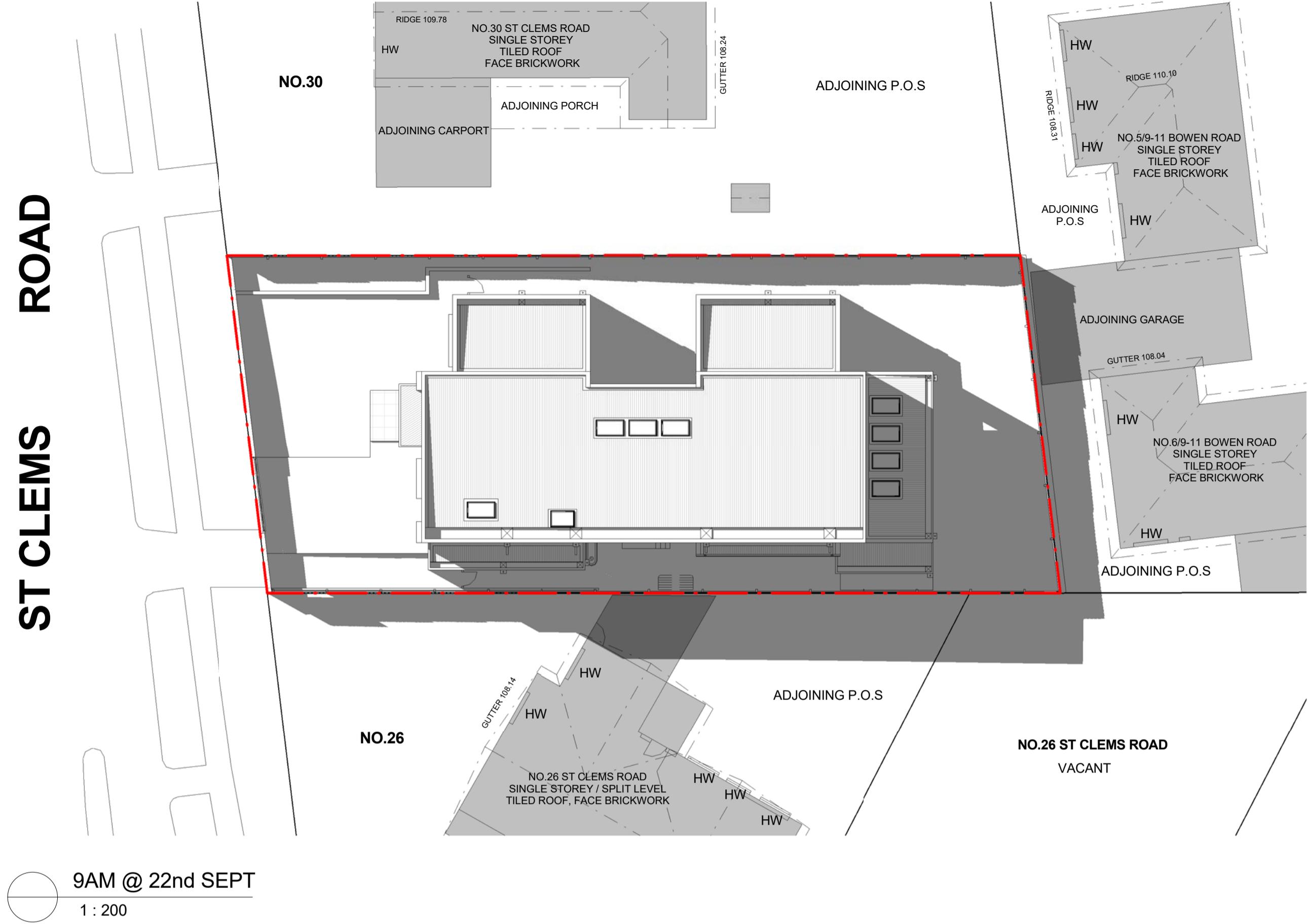
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1 : 20 Author AR601

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The diagram shows a detailed architectural elevation of a building's exterior. The building features a grey brick wall at the bottom, transitioning to a light-colored facade above. A dark grey vertical panel is positioned on the left side. The roof is grey with a tiled pattern. Labels include 'TILED ROOF FACE BRICKWORK' at the top right, 'HW' near the eaves, 'ADJOINING P.O.S' below it, and 'O.S' on the far left. A large, diagonal watermark reading 'PRELIMINARY ONLY' is overlaid across the entire drawing. Below the building, text reads 'NO.26 ST CLEMS ROAD' and 'VACANT'.

O.S

TILED ROOF  
FACE BRICKWORK

HW

ADJOINING P.O.S

PRELIMINARY ONLY

NO.26 ST CLEMS ROAD

VACANT

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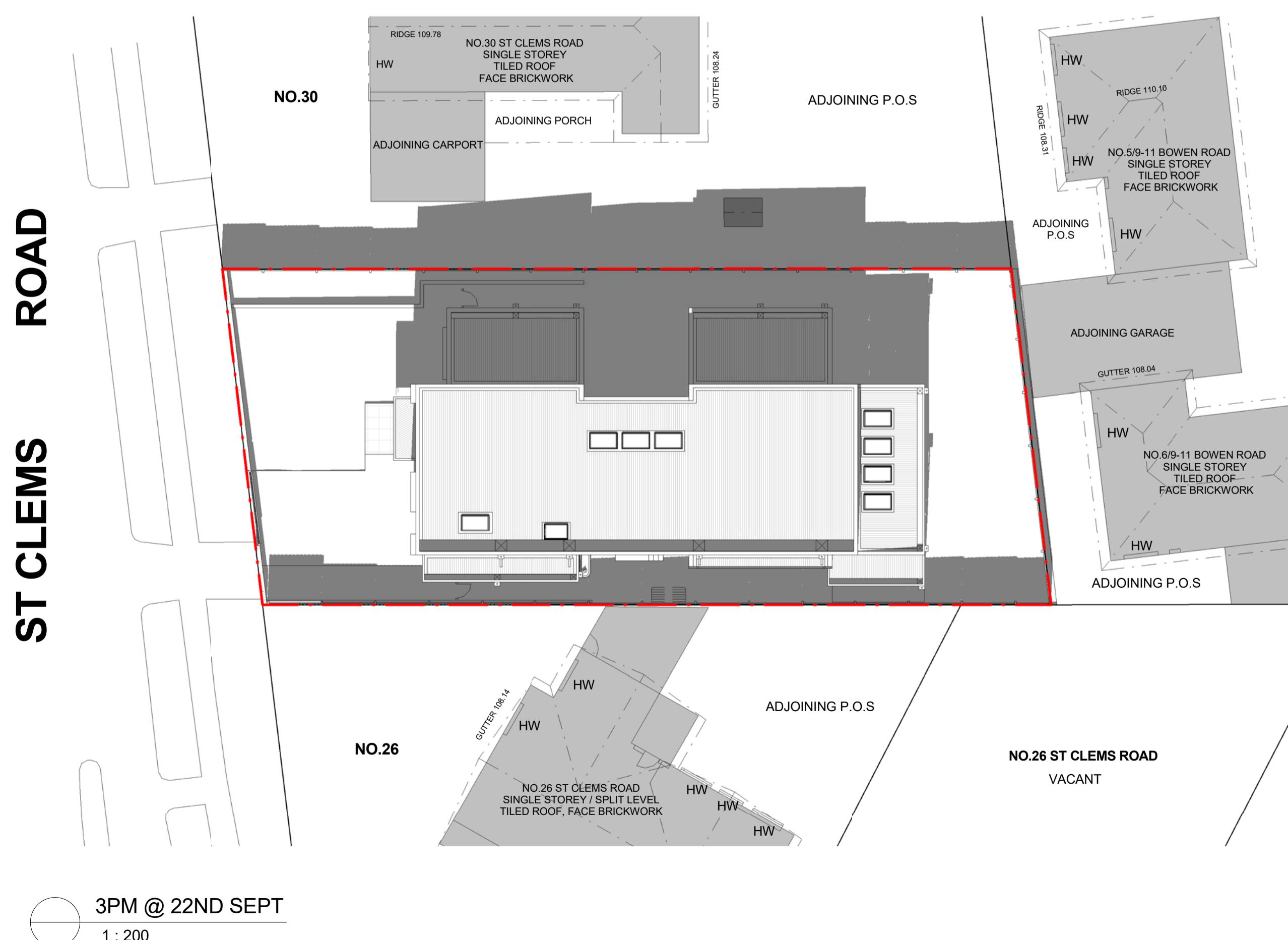
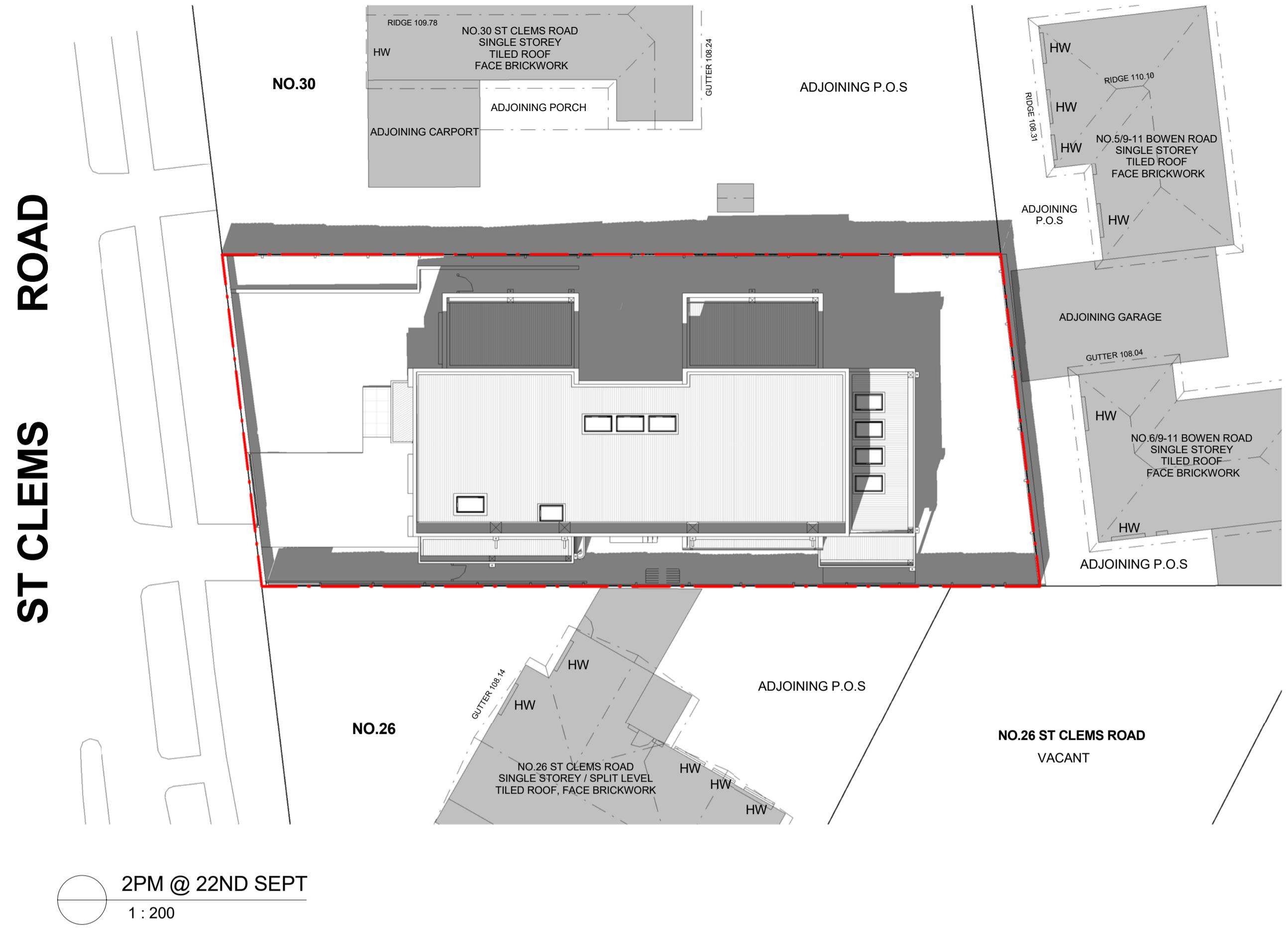
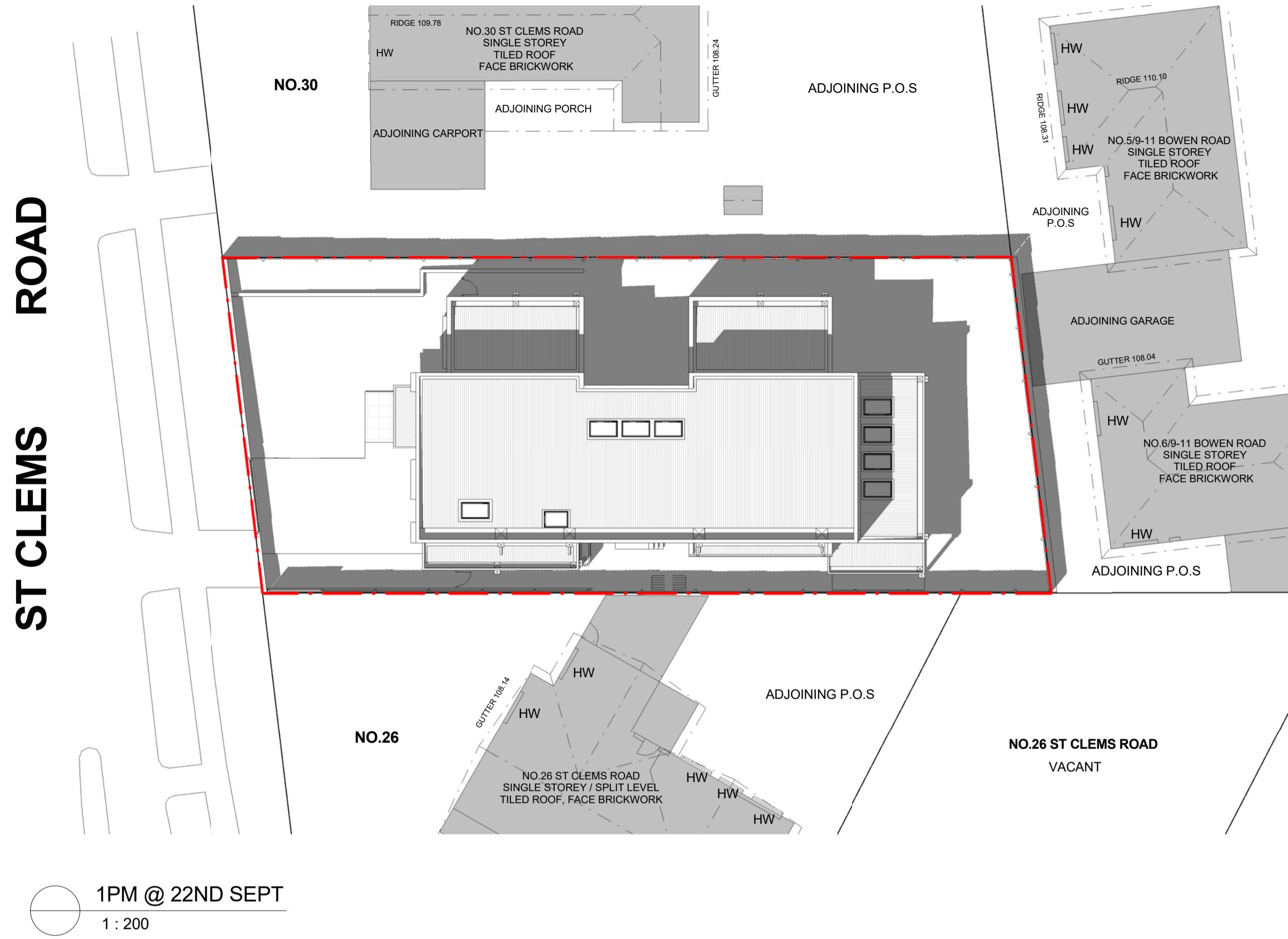
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TITLE: \_\_\_\_\_ | JOB NUMBER: \_\_\_\_\_ | 

Diagrams 01 | 21022 | 



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CHAN & SOFIA CHAN

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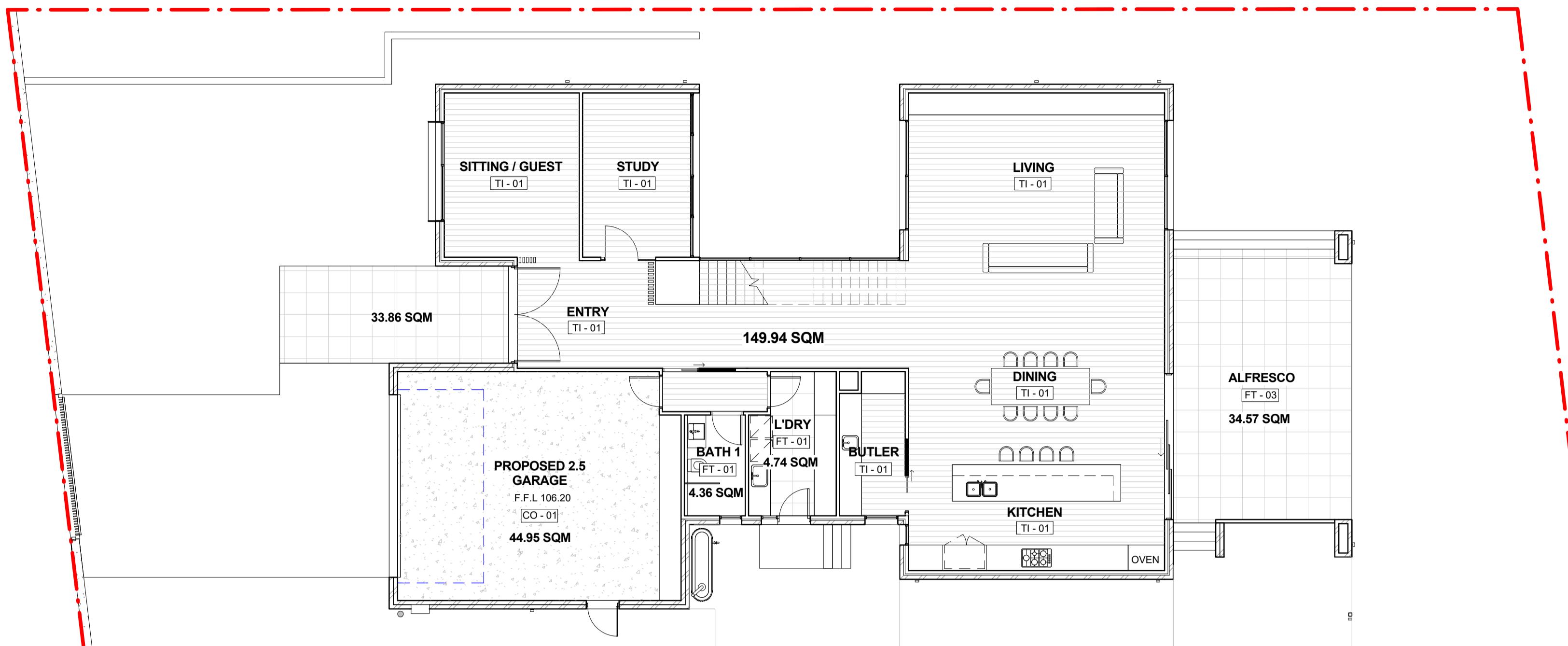
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RESS:  
CLEMS ROAD, DONCASTER EAST, VIC, 3109

E: \_\_\_\_\_ JOB NUMBER: \_\_\_\_\_

grams 02 | 21022 | 





# PROPOSED GROUND FLOOR FINISHES PLAN

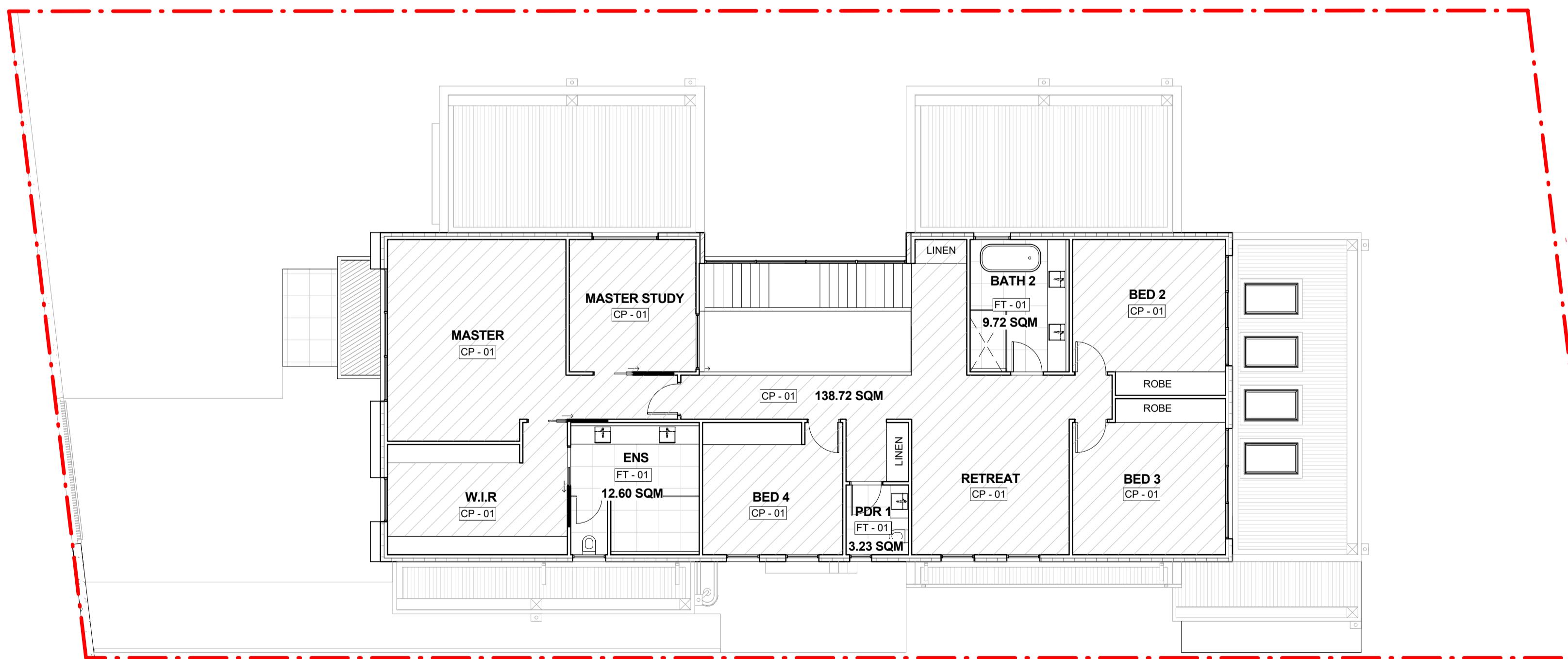
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## **FLOOR FINISHES LEGEND & SCHEDULE**

FT	FLOOR TILES FINISH AS SELECTED
CO	CONCRETE FLOOR FINISH AS SELECTED
TI	TIMBER FLOOR FINISH AS SELECTED
CP	CARPET FLOOR FINISH AS SELECTED

## **SUMMARY**

TI - 01	149.94 SQM
FT - 01	34.65 SQM
CP - 01	138.72 SQM



# PROPOSED FIRST FLOOR FINISHES PLAN

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1 : 100

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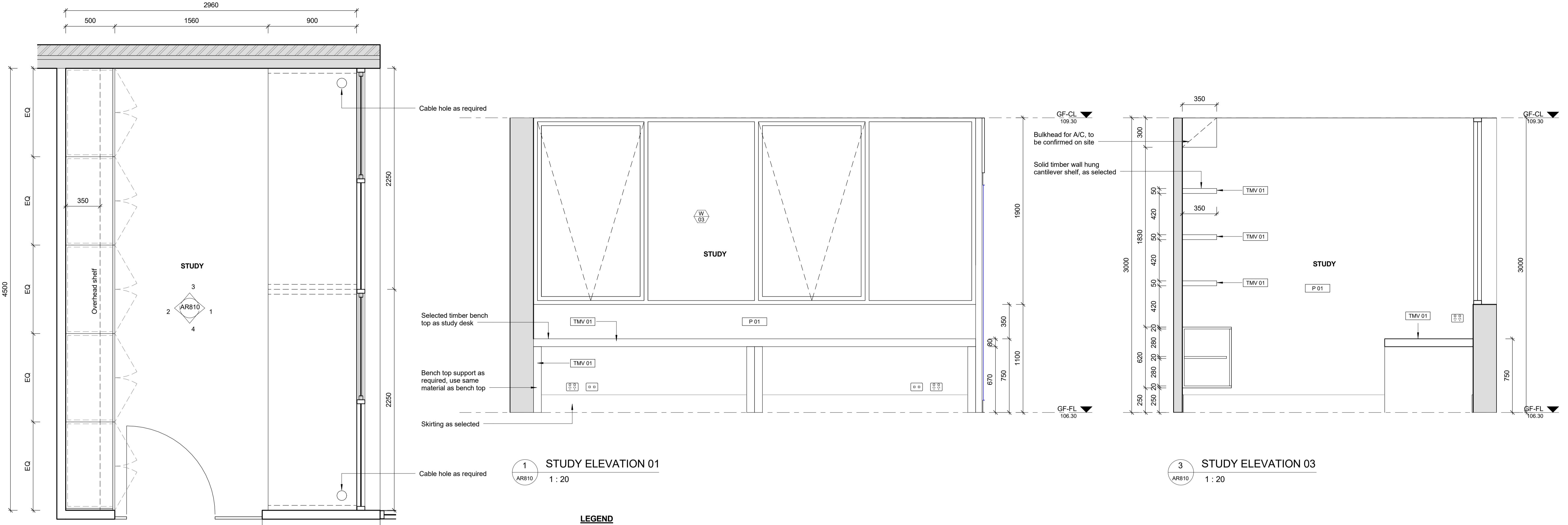
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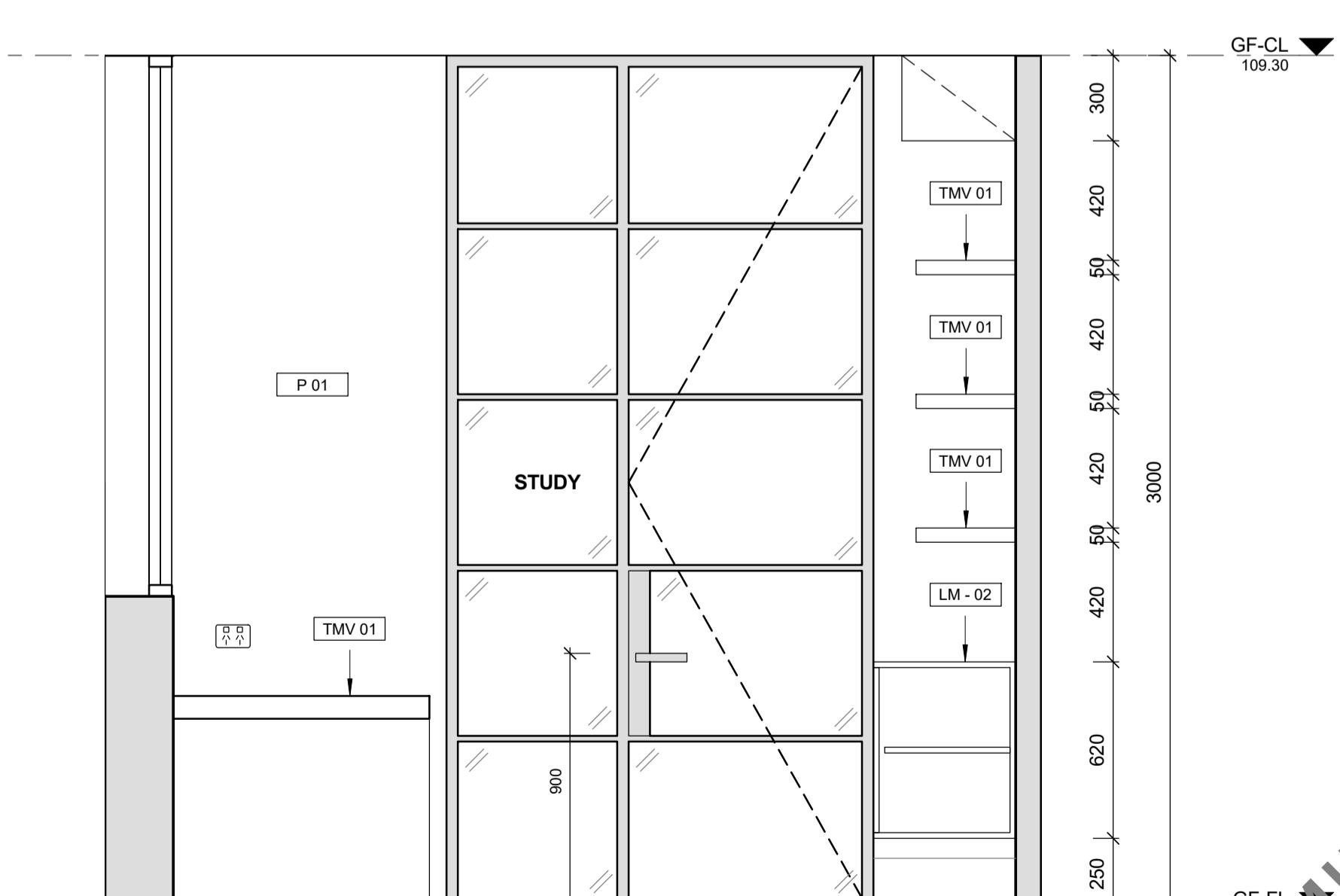
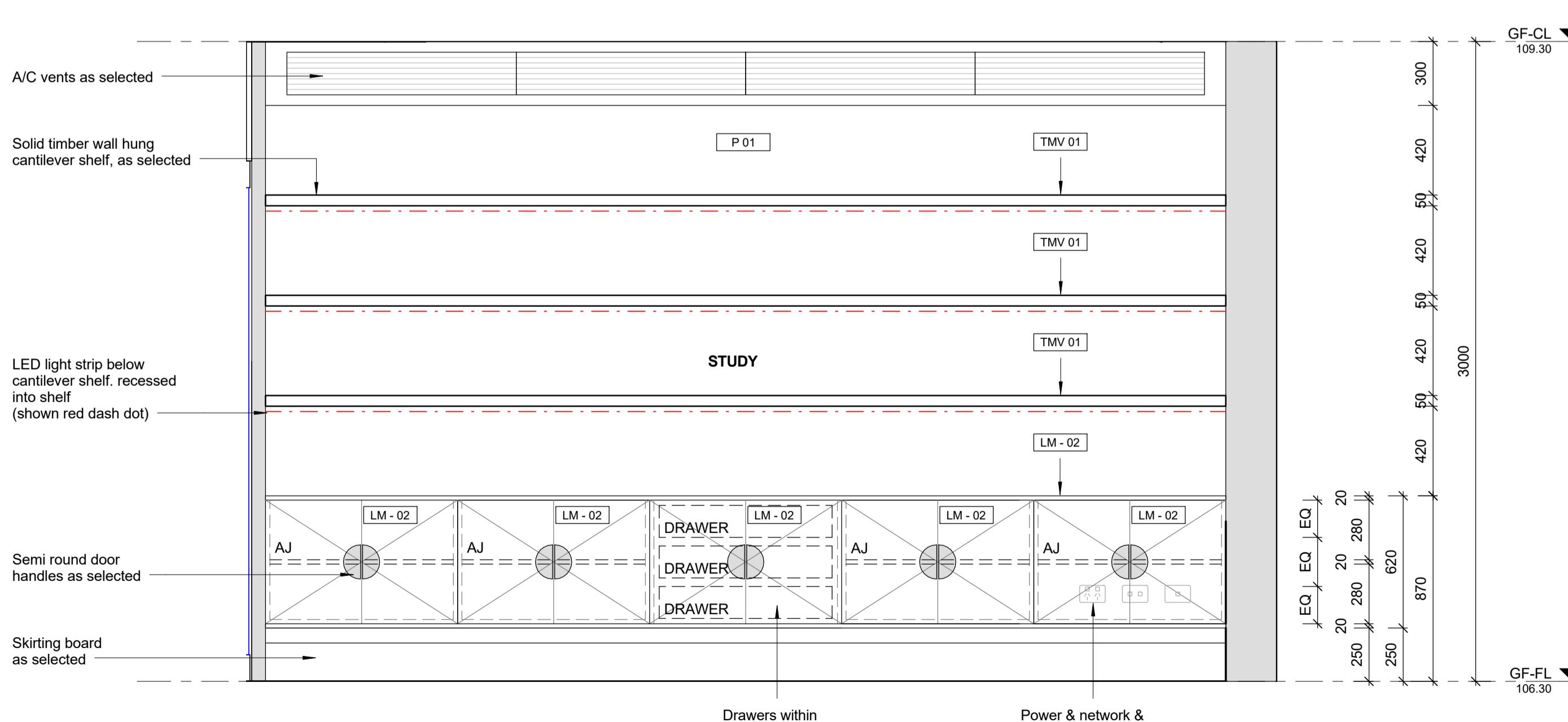
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Floor Finishes Plan 21022

DATE: 09/02/21	CHECKED: Checker	PRELIMINARY	
SCALE: 1 : 100	DRAWN: Author ② A1	DRAWING: A8900	REVISION:



**STUDY PLAN**  
1 : 20



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**PMd**  
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DESIGN PTY LTD  
418a STATION STREET  
BONNYRIDGE VIC 3109  
TEL: 03 95966292  
E-MAIL: info@pmnd.com.au

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DRAWING TITLE:  
Study Plan & Elevations

JOB NUMBER:  
21022

DATE:  
09/30/21

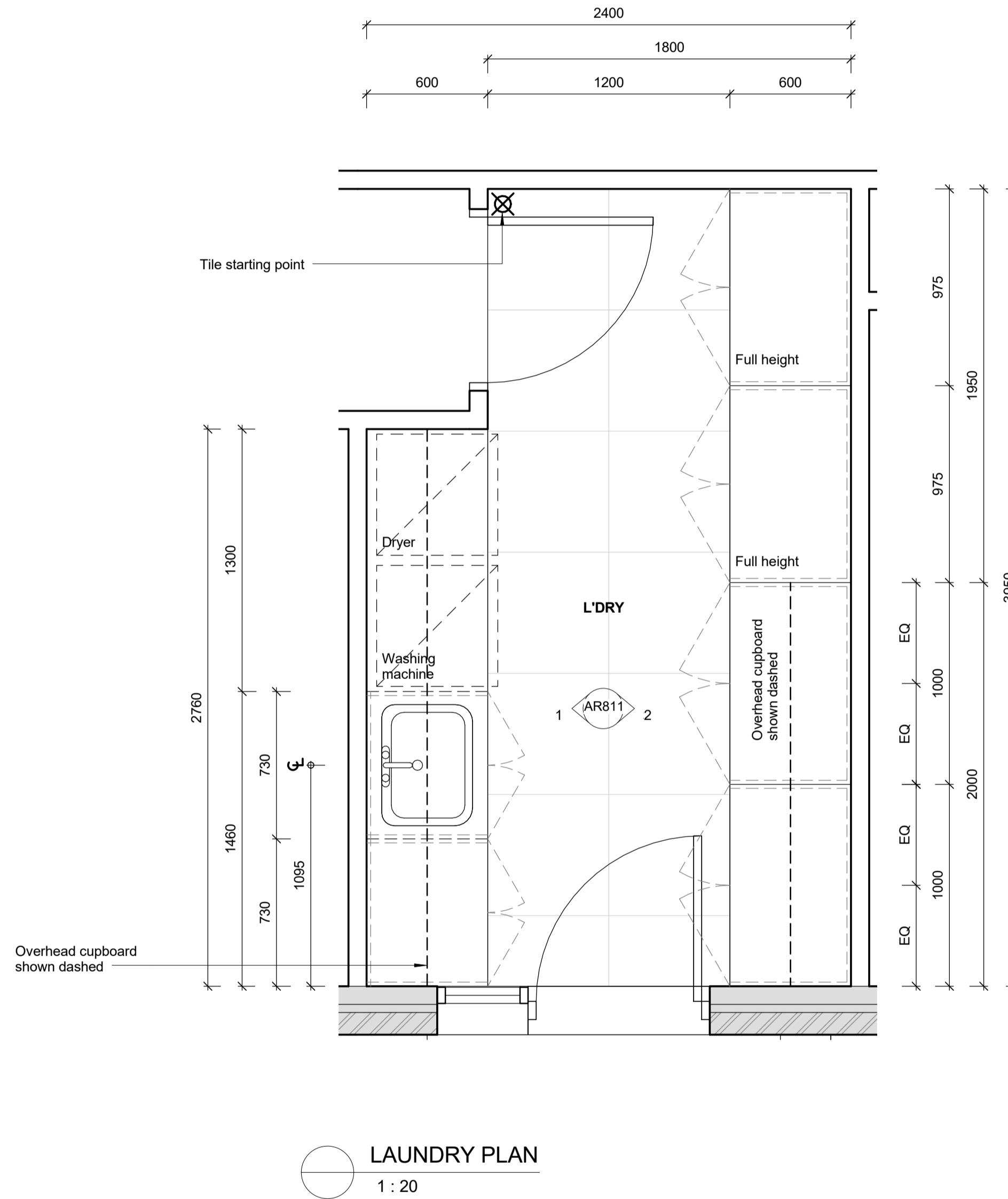
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Author

DRAWING:  
AR810



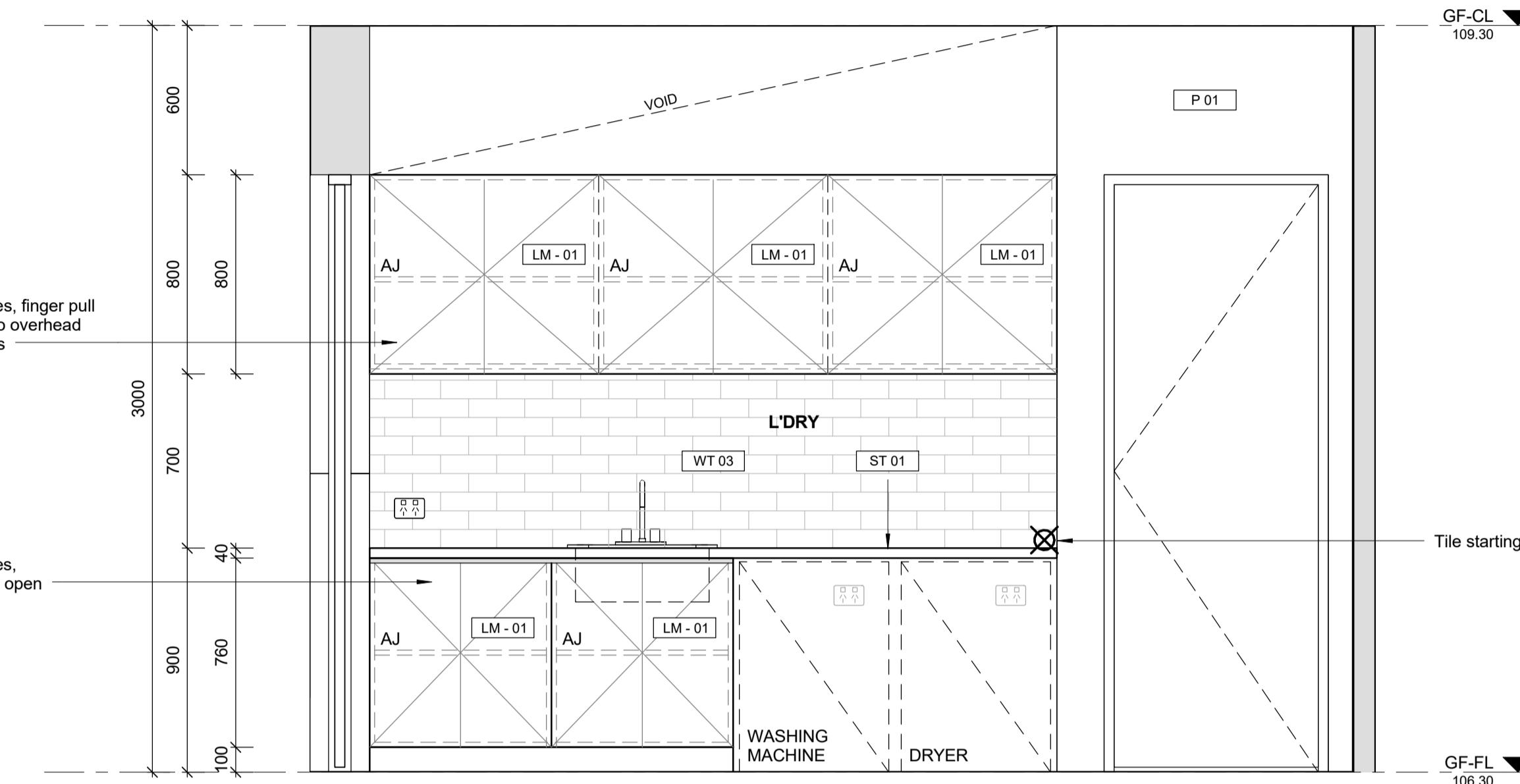


# LAUNDRY PLAN

1 : 20

<u>LEGEND</u>					
PH	TOILET PAPER HOLDER	ST 01	NATURAL STONE	WT 01	PORCELAIN TILES - LIGHT GREY (300 x 600)
TH	TOWEL RAIL				
SM	SHOWER MIXER	P 01	PAINT COLOUR - MATTE WHITE	WT 02	PORCELAIN TILES - LIGHT GREY (FINGER STACKED PATTERN)
SH	SHOWER HEAD				
TG	TILE INSERT GRATE DRAIN	TMV 01	TIMBER VNEEER - AMERICAN OAK	WT 03	PORCELAIN TILES - WHITE MATTE (SUBWAY PATTERN)
		TMV 02	TIMBER VNEEER - LIGHT TIMBER COLOUR		
AJ	ADJUSTABLE SHELF	PW 01	PANEL LINING BOARD - BLACK		
		MA 01	MELAMINE BOARD - WHITE	WT 04	PORCELAIN TILES - WHITE MATTE (HERRINGBONE PATTERN)
		LM 01	LAMINATE - WHITE MATTE		
		LM 02	LAMINATE - BLACK	WT 05	PORCELAIN TILES - LIGHT GREY (600 x 600)

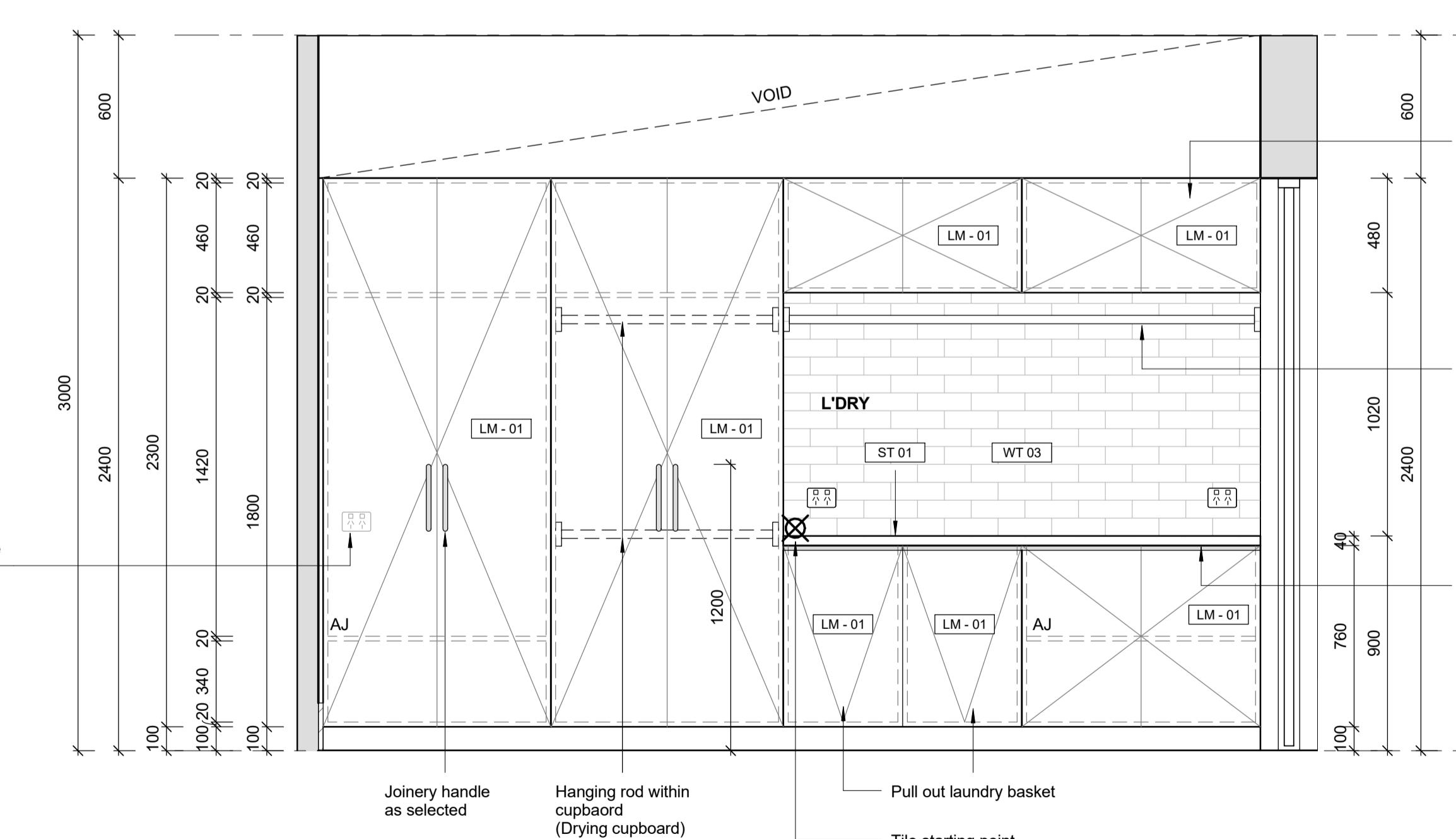
**NOTE**





# LAUNDRY ELEVATION 0

1 : 20





LAUNDRY ELEVATION 0  
1 : 20

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JOB NUMBER:  
**21022**

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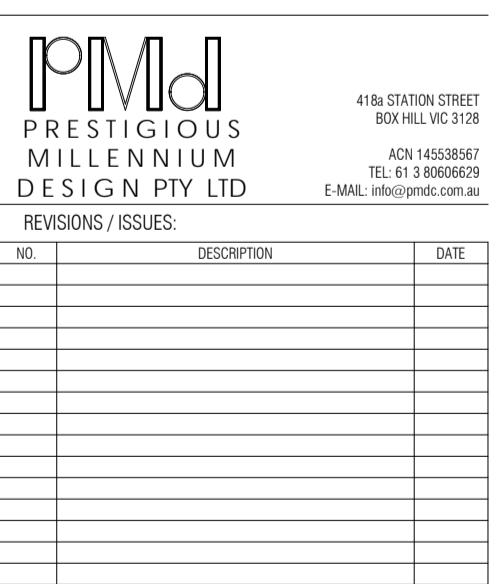
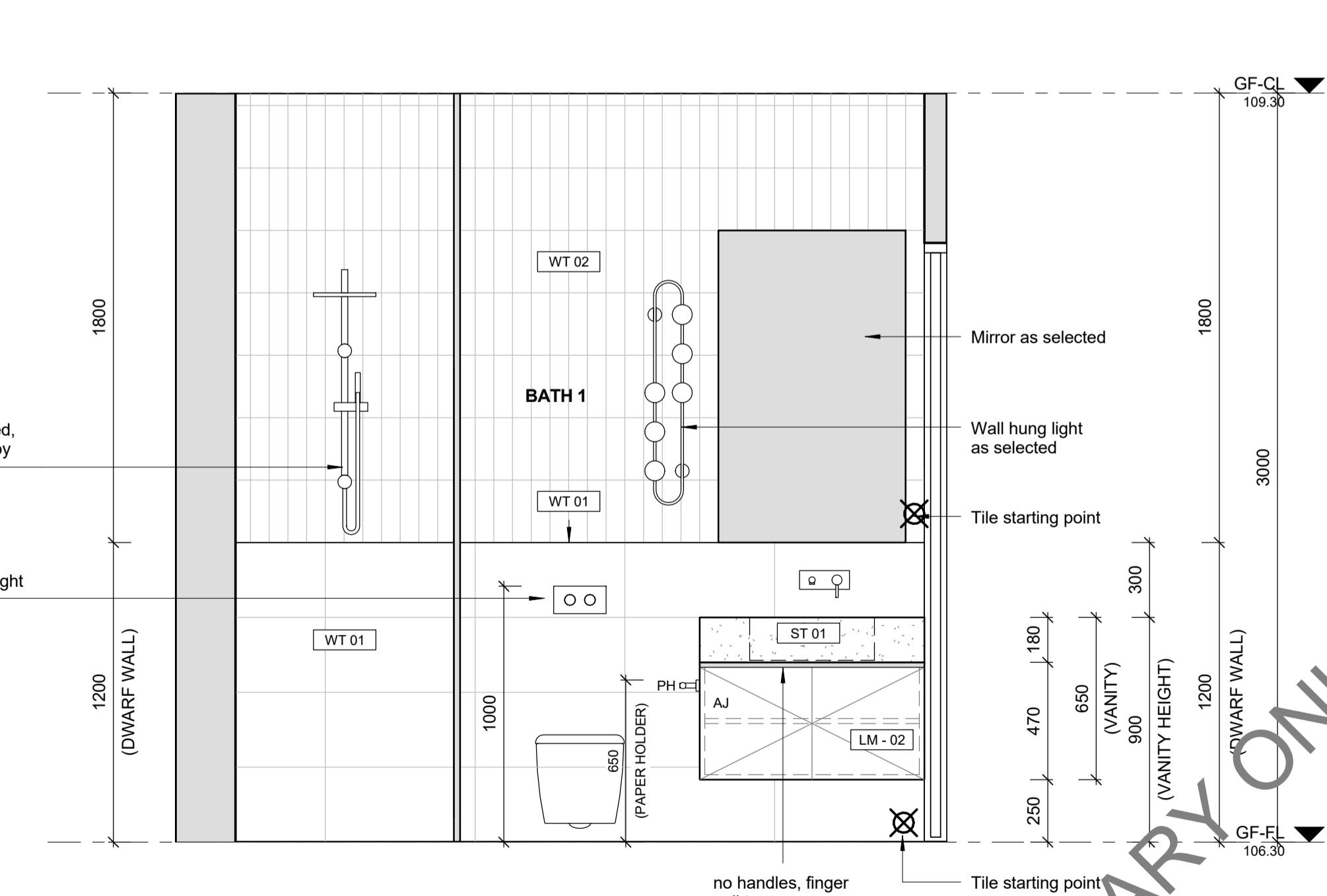
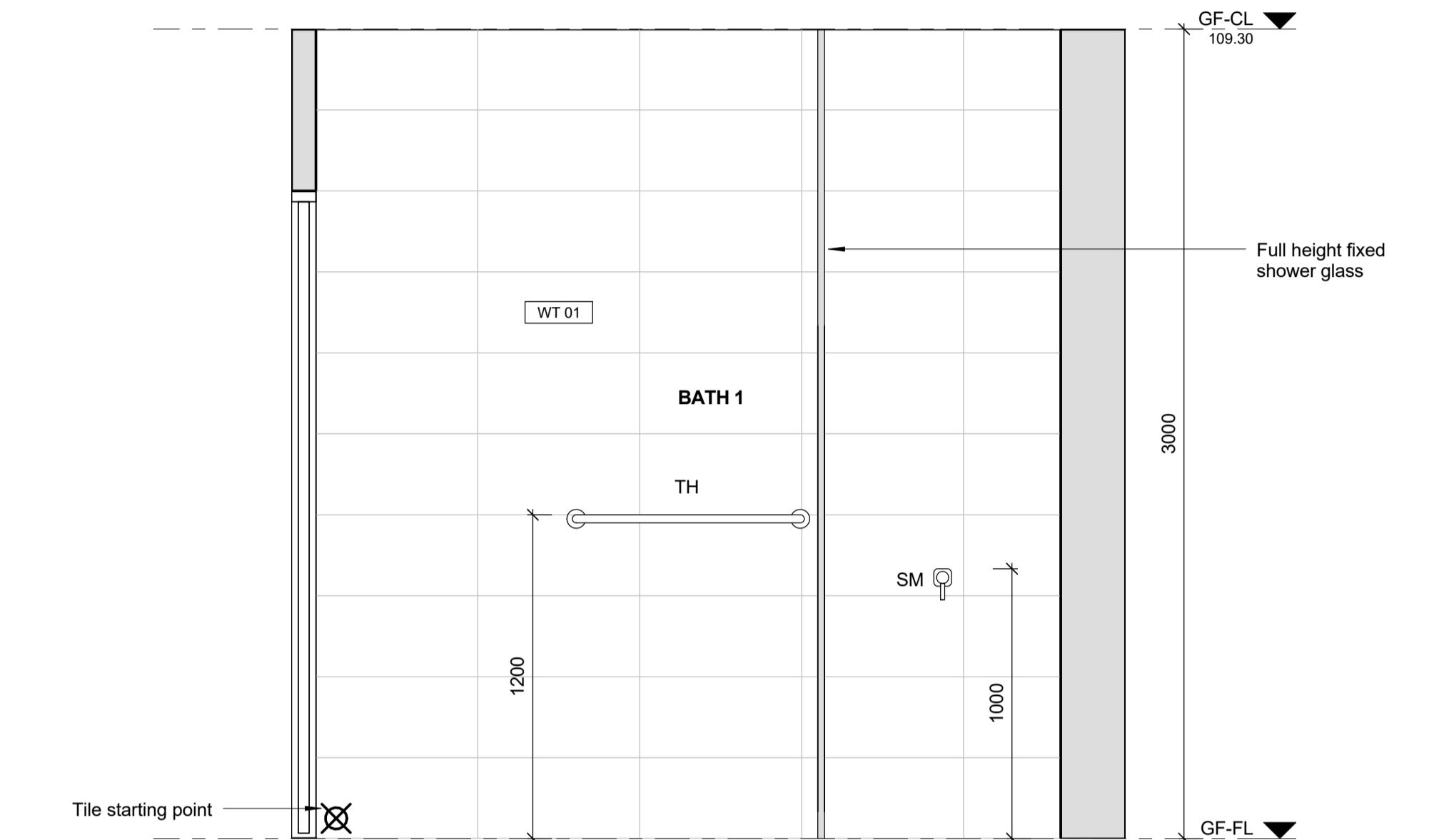
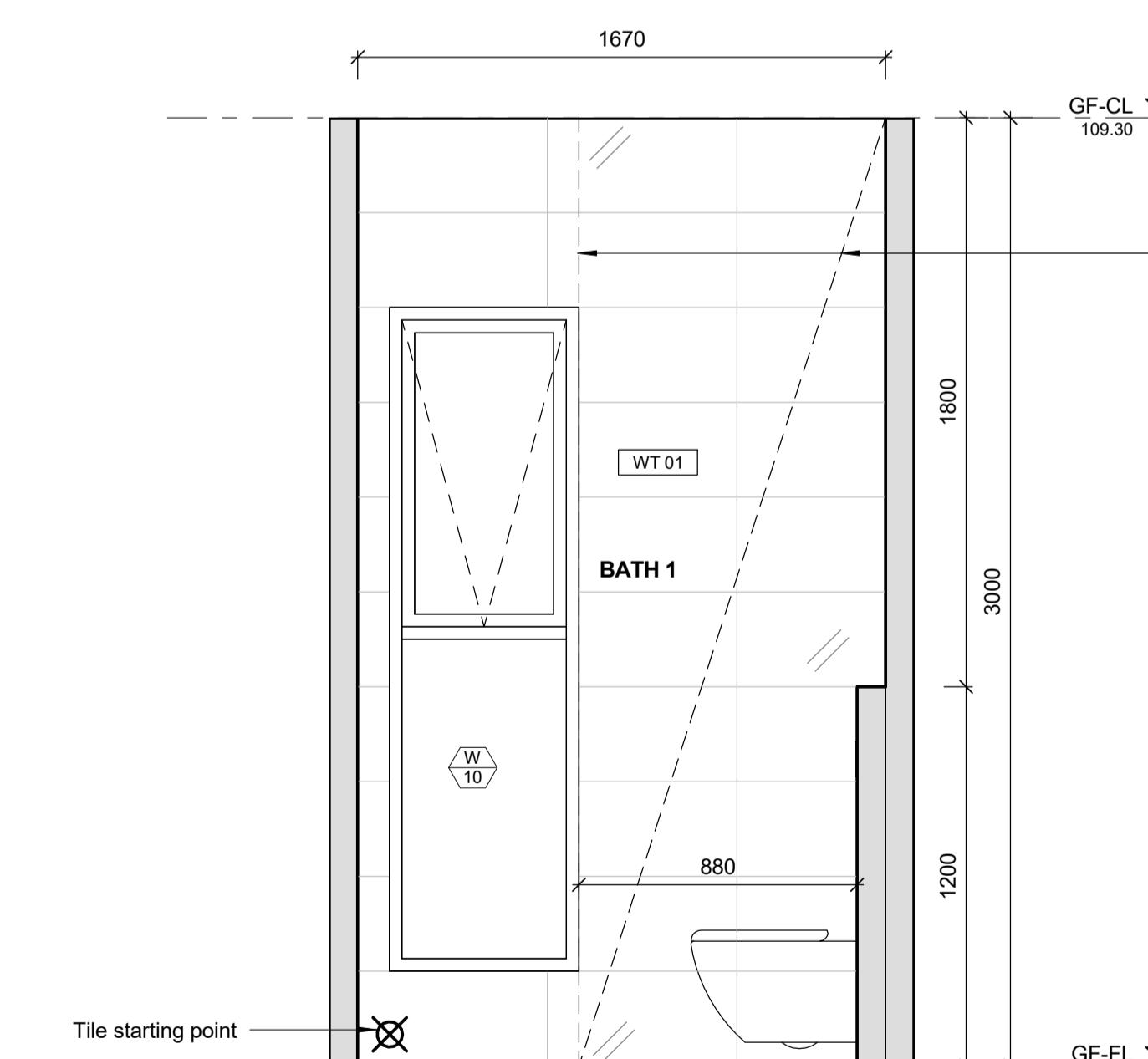
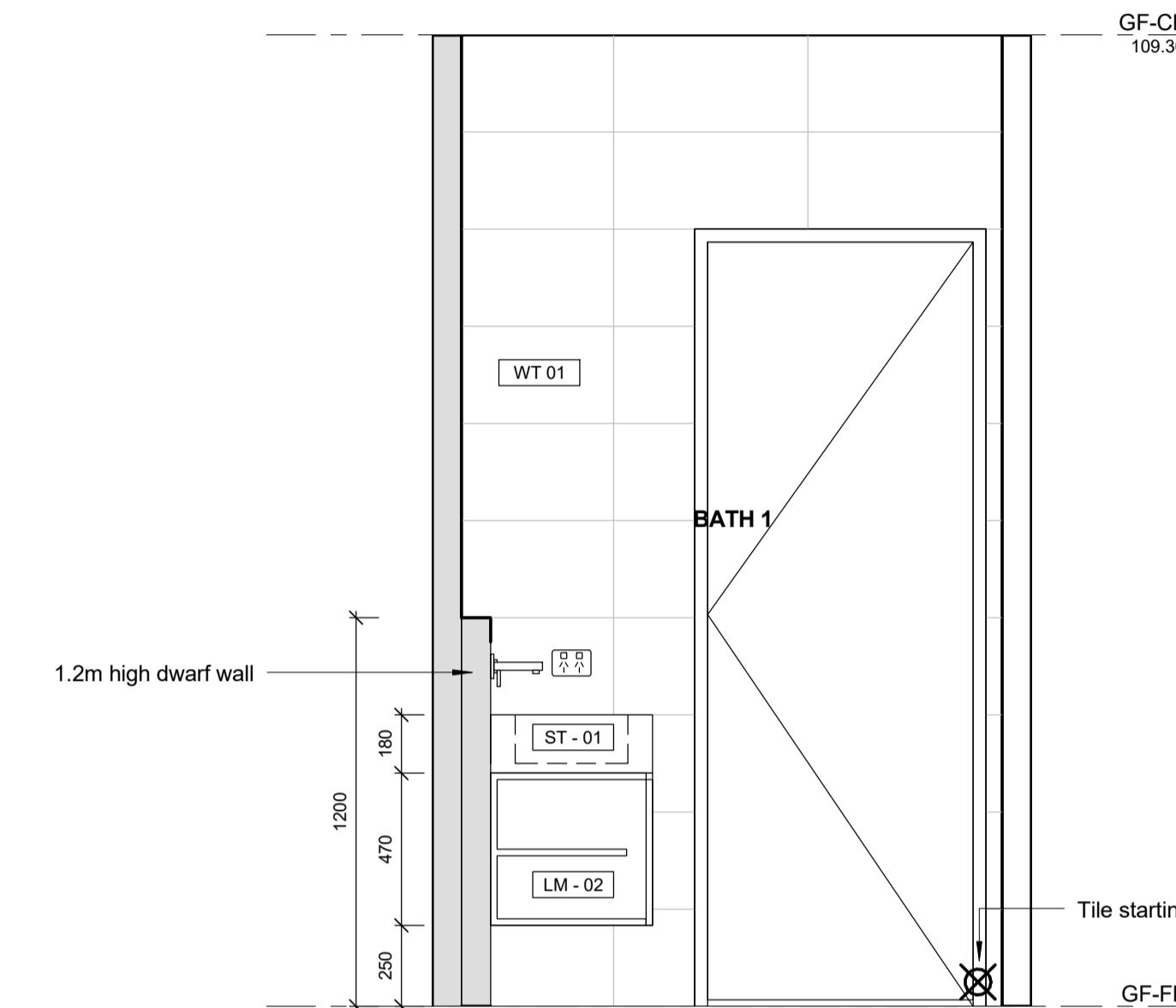
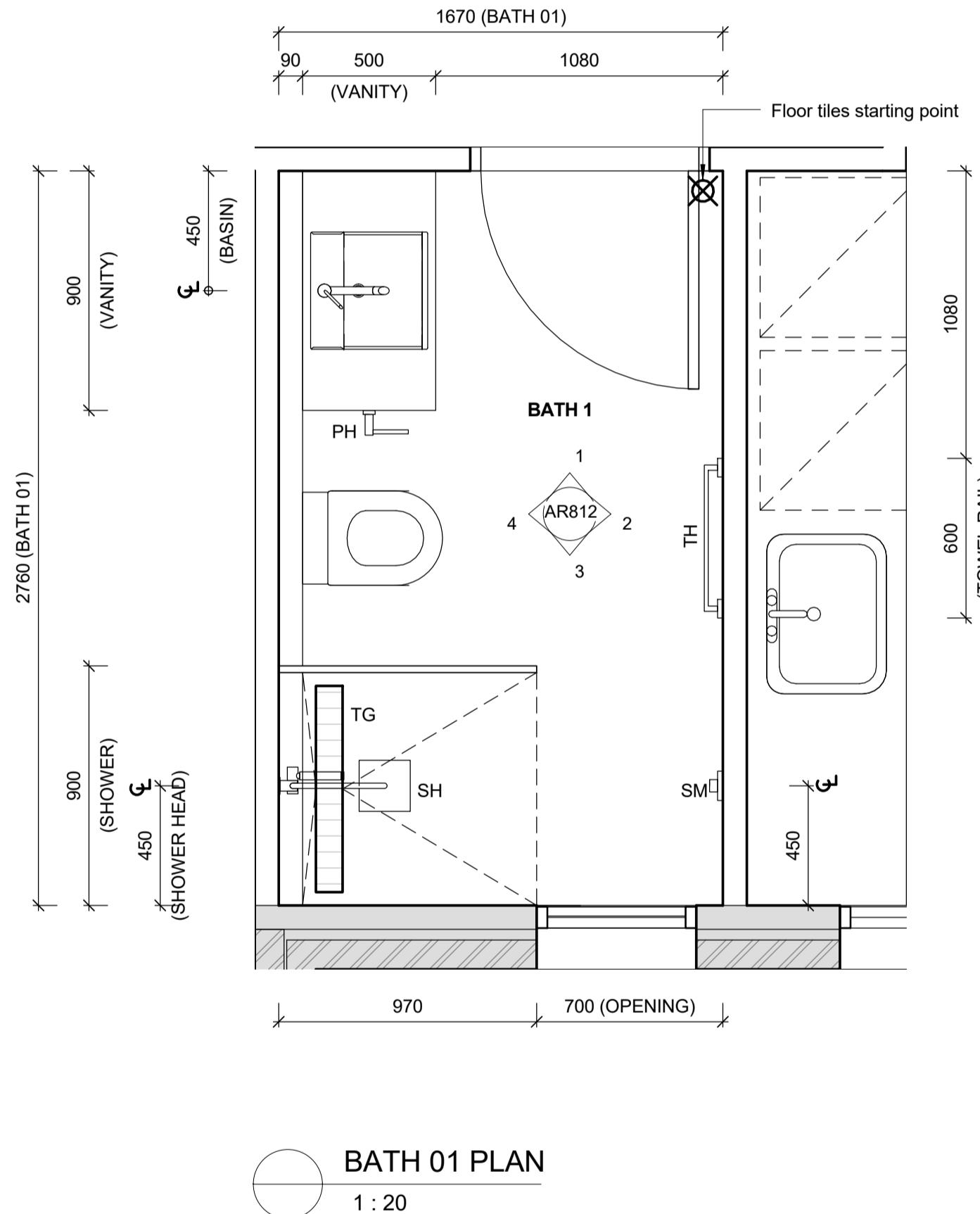
llicated @ A1	DRAWN: Author	DRAWING: <b>AR811</b>	REVISION:
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**LEGEND**

PH	TOILET PAPER HOLDER	ST 01	NATURAL STONE	WT 01	PORCELAIN TILES - LIGHT GREY (300 x 600)
TH	TOWEL RAIL	P 01	PAINT COLOUR - MATTE WHITE	WT 02	PORCELAIN TILES - LIGHT GREY (FINGER STACKED PATTERN)
SM	SHOWER MIXER	TMV 01	TIMBER VNEER - AMERICAN OAK	WT 03	PORCELAIN TILES - WHITE MATTE (SUBWAY PATTERN)
SH	SHOWER HEAD	TMV 02	TIMBER VNEER - LIGHT TIMBER COLOUR	WT 04	PORCELAIN TILES - WHITE MATTE (HERRINGBONE PATTERN)
TG	TILE INSERT GRATE DRAIN	PW 01	PANEL LINING BOARD - BLACK	WT 05	PORCELAIN TILES - LIGHT GREY (600 x 600)
AJ	ADJUSTABLE SHELF	MA 01	MELAMINE BOARD - WHITE		
		LM 01	LAMINATE - WHITE MATTE		
		LM 02	LAMINATE - BLACK		

**NOTE**

Internal carcass to be finish with white melamine, unless otherwise noted



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DRAWING TITLE: Bath 01 Plan & Elevations

JOB NUMBER: 21022

DATE: 09/02/21 CHECKED: Checker PRELIMINARY

SCALE: As indicated @ A1 DRAWN: Author DRAWING: AR812

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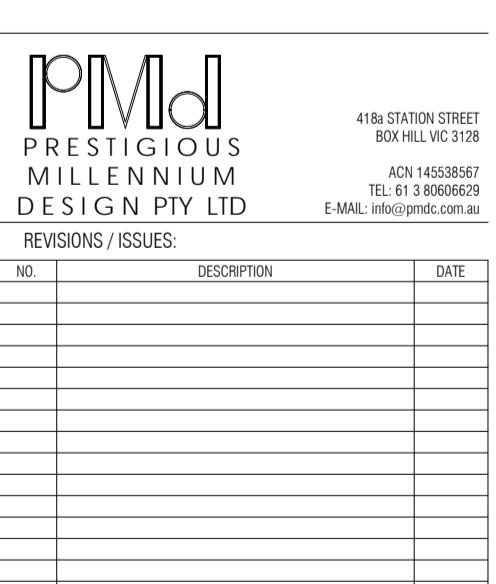
This is an architectural floor plan section. On the left, there is a room containing a double door. A vertical dimension line is positioned to the right of this room, indicating a height of 106.30 units from the base line to the top of the door frame. The text "02" is located in the top-left corner of the room. A large, diagonal watermark reading "PRELIMINARY ONLY" is overlaid across the entire image. In the bottom-left corner, the words "our storage" are partially visible.

## LEGEND

PH	TOILET PAPER HOLDER
TH	TOWEL RAIL
SM	SHOWER MIXER
SH	SHOWER HEAD
TG	TILE INSERT GRATE DRAIN
AJ	ADJUSTABLE SHELF
ST 01	NATURAL STONE
P 01	PAINT COLOUR - MATTE WHITE
TMV 01	TIMBER VNEEER - AMERICAN OAK
TMV 02	TIMBER VNEEER - LIGHT TIMBER COLOUR
2PAC 01	2PAC PAINT - MATTE WHITE
PW 01	PANEL LINING BOARD - BLACK
LM 01	LAMINATE - WHITE MATTE
LM 02	LAMINATE - BLACK
MA 01	MELAMINE BOARD - WHITE
WT 01	PORCELAIN TILES - LIGHT GREY
WT 02	PORCELAIN TILES - LIGHT GREY (FINGER STACKED PATTERN)
WT 03	PORCELAIN TILES (SUBWAY PATTERN)
WT 04	PORCELAIN TILES (HERRINGBONE PATTERN)
WT 05	PORCELAIN TILES - LIGHT GREY

## **NOTE**

Internal carcass to be finish with white melamine,  
unless otherwise noted



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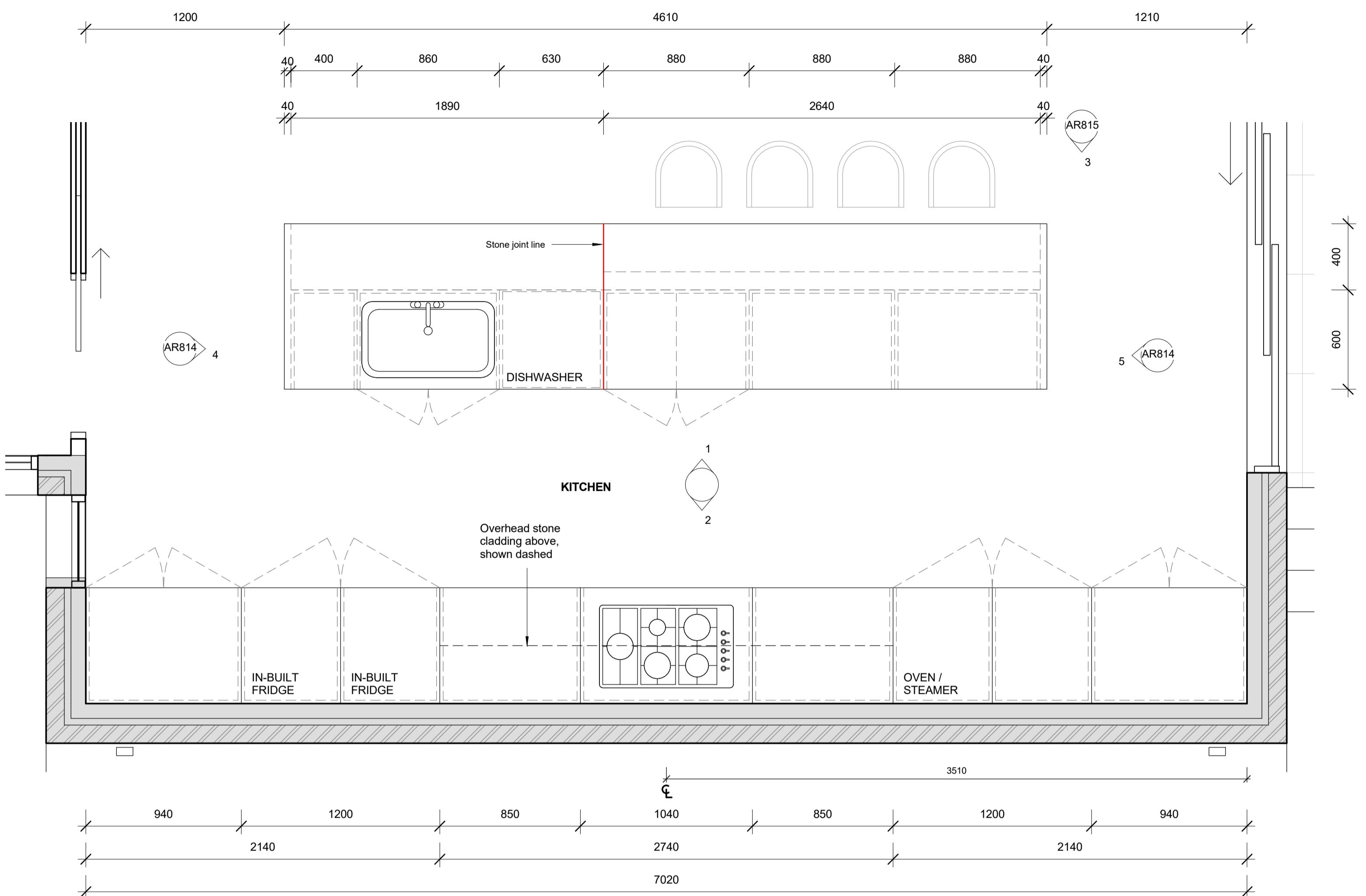
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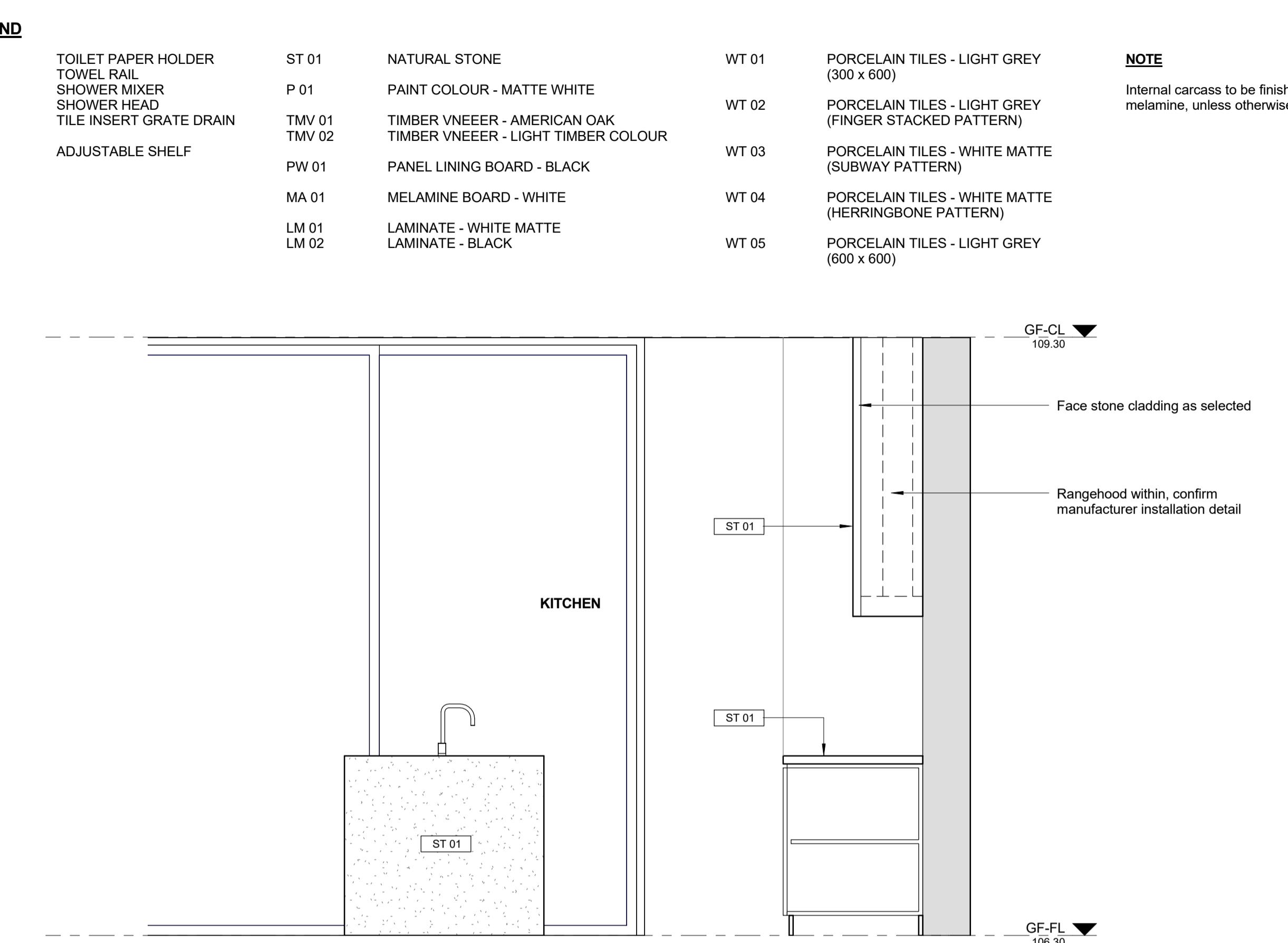
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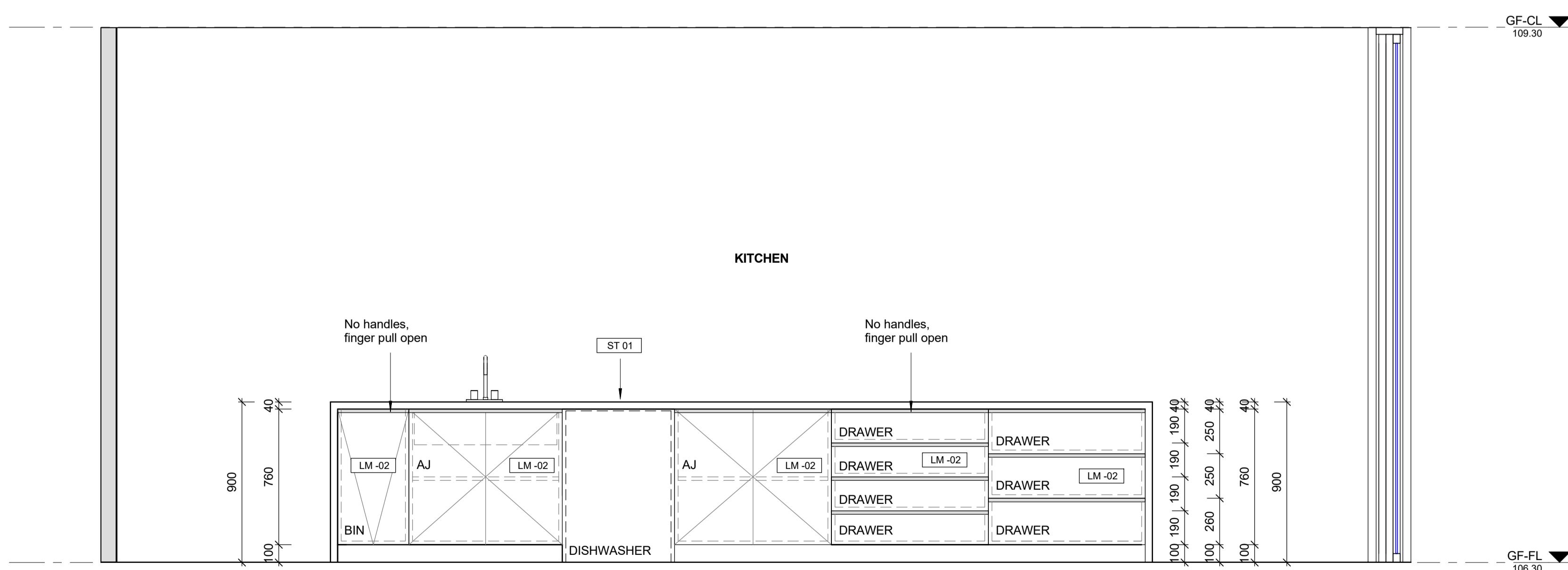


# KITCHEN PLAN

1 : 20

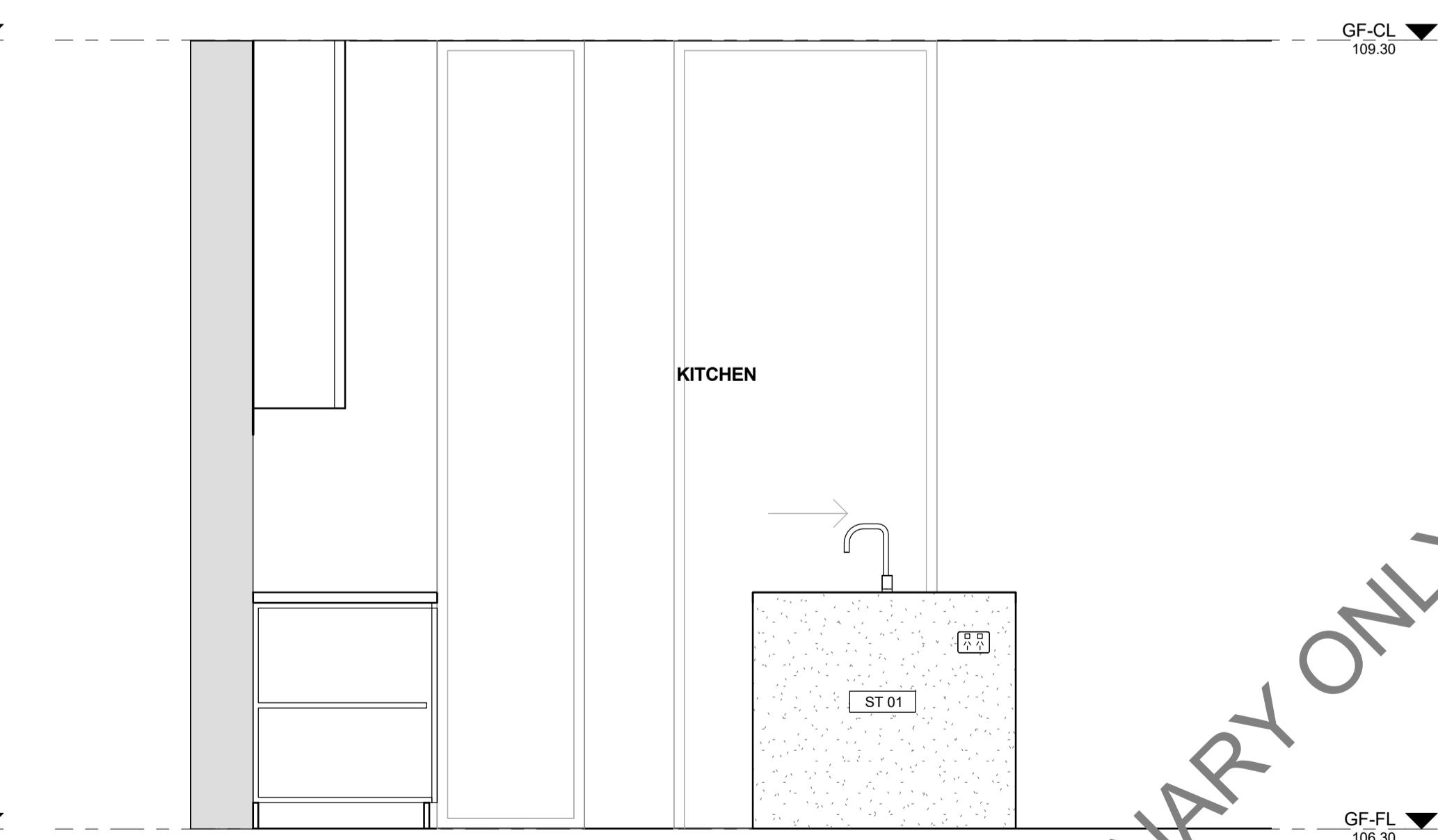


KITCHEN ELEVATION 04



KITCHEN ELEVATION 01

1 : 20



KITCHEN ELEVATION 05

A detailed architectural floor plan section showing a rectangular room. On the left wall, there is a sink fixture with a curved faucet and a power outlet below it. A small rectangular label "ST 01" is positioned near the bottom left corner of the room. A vertical pipe runs along the top edge of the room. A horizontal dimension line spans the width of the room, indicating a total width of 106.30 units. A large, diagonal watermark reading "PRELIMINARY ONLY" is overlaid across the entire section. In the bottom right corner, there is a vertical callout with the text "GF-FL" and the value "106.30" below it.



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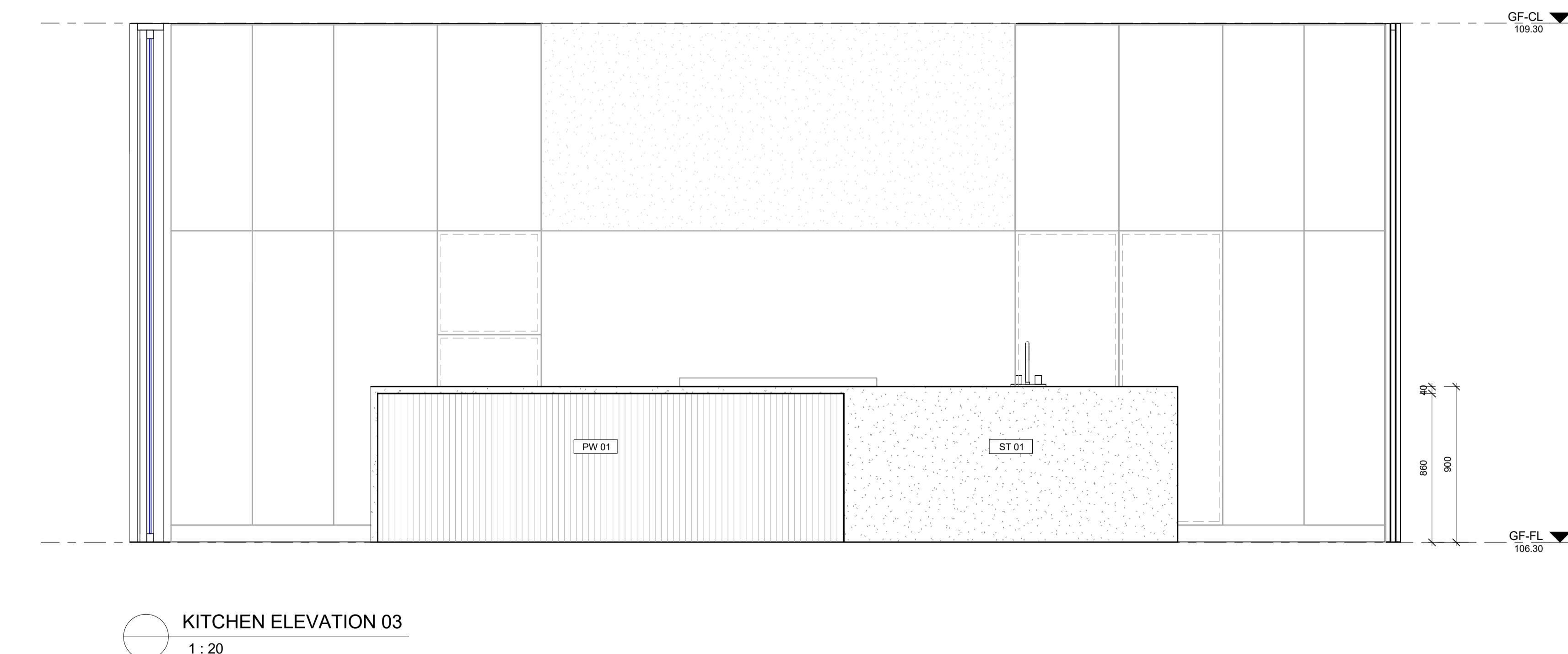
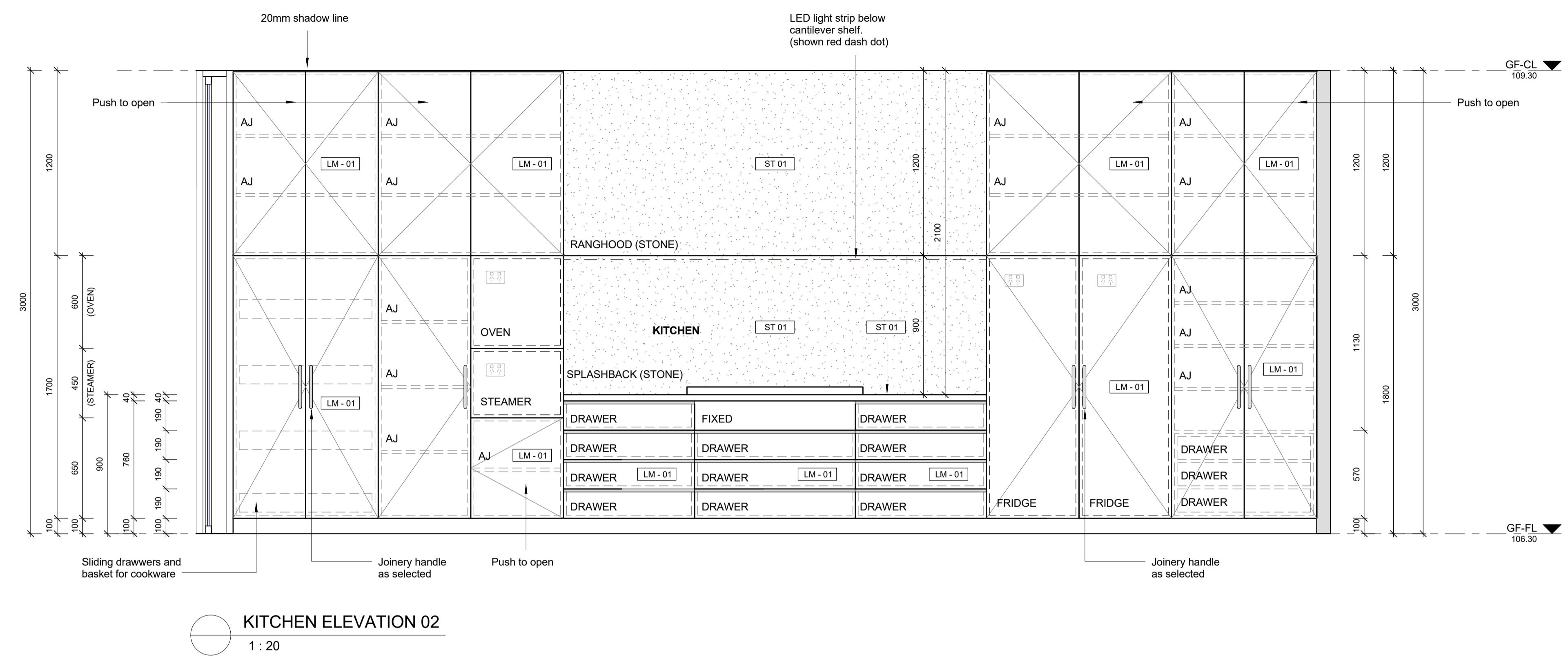
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Kitchen Plan & Elevations | 21022

\_\_\_\_\_



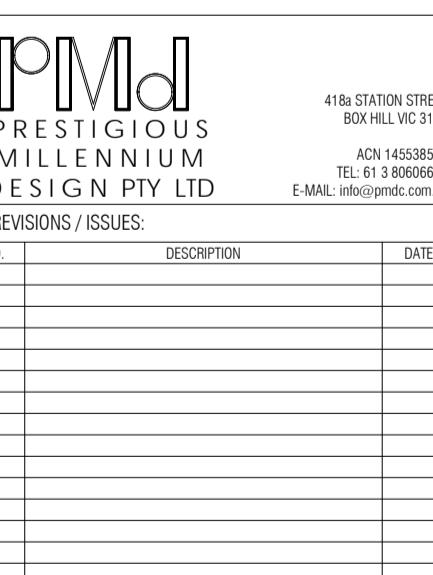
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## LEGEND

PH	TOILET PAPER HOLDER
TH	TOWEL RAIL
SM	SHOWER MIXER
SH	SHOWER HEAD
TG	TILE INSERT GRATE DRAIN
AJ	ADJUSTABLE SHELF
ST 01	NATURAL STONE
P 01	PAINT COLOUR - MATTE WHITE
TMV 01	TIMBER VNEEER - AMERICAN OAK
TMV 02	TIMBER VNEEER - LIGHT TIMBER COLOUR
2PAC 01	2PAC PAINT - MATTE WHITE
PW 01	PANEL LINING BOARD - BLACK
LM 01	LAMINATE - WHITE MATTE
LM 02	LAMINATE - BLACK
MA 01	MELAMINE BOARD - WHITE
WT 01	PORCELAIN TILES - LIGHT GREY
WT 02	PORCELAIN TILES - LIGHT GREY (FINGER STACKED PATTERN)
WT 03	PORCELAIN TILES (SUBWAY PATTERN)
WT 04	PORCELAIN TILES (HERRINGBONE PATTERN)
WT 05	PORCELAIN TILES - LIGHT GREY

## **NOTE**

Internal carcass to be finish with white melamine,  
unless otherwise noted



**NOTE:**

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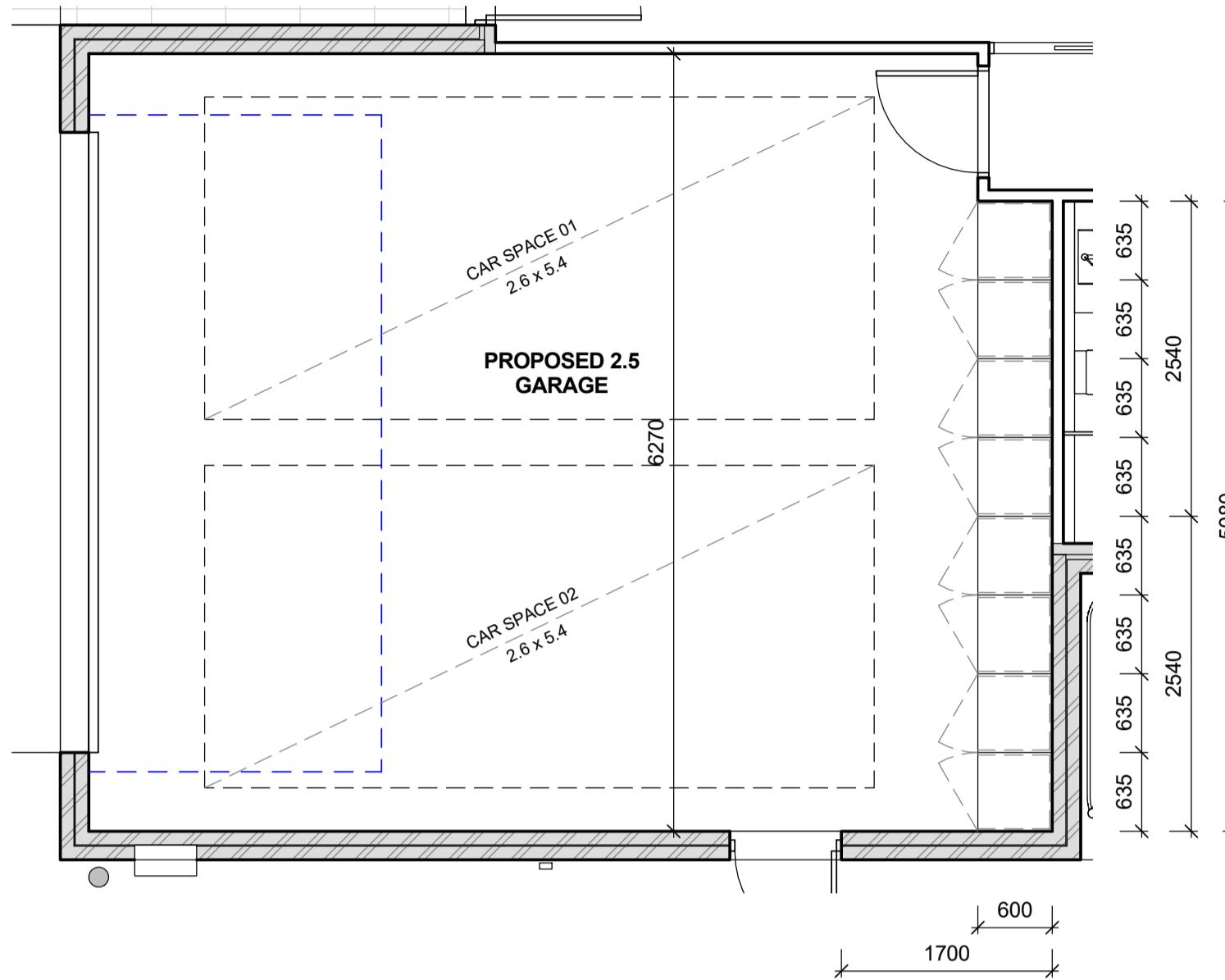
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ING TITLE:  
hen Elevations

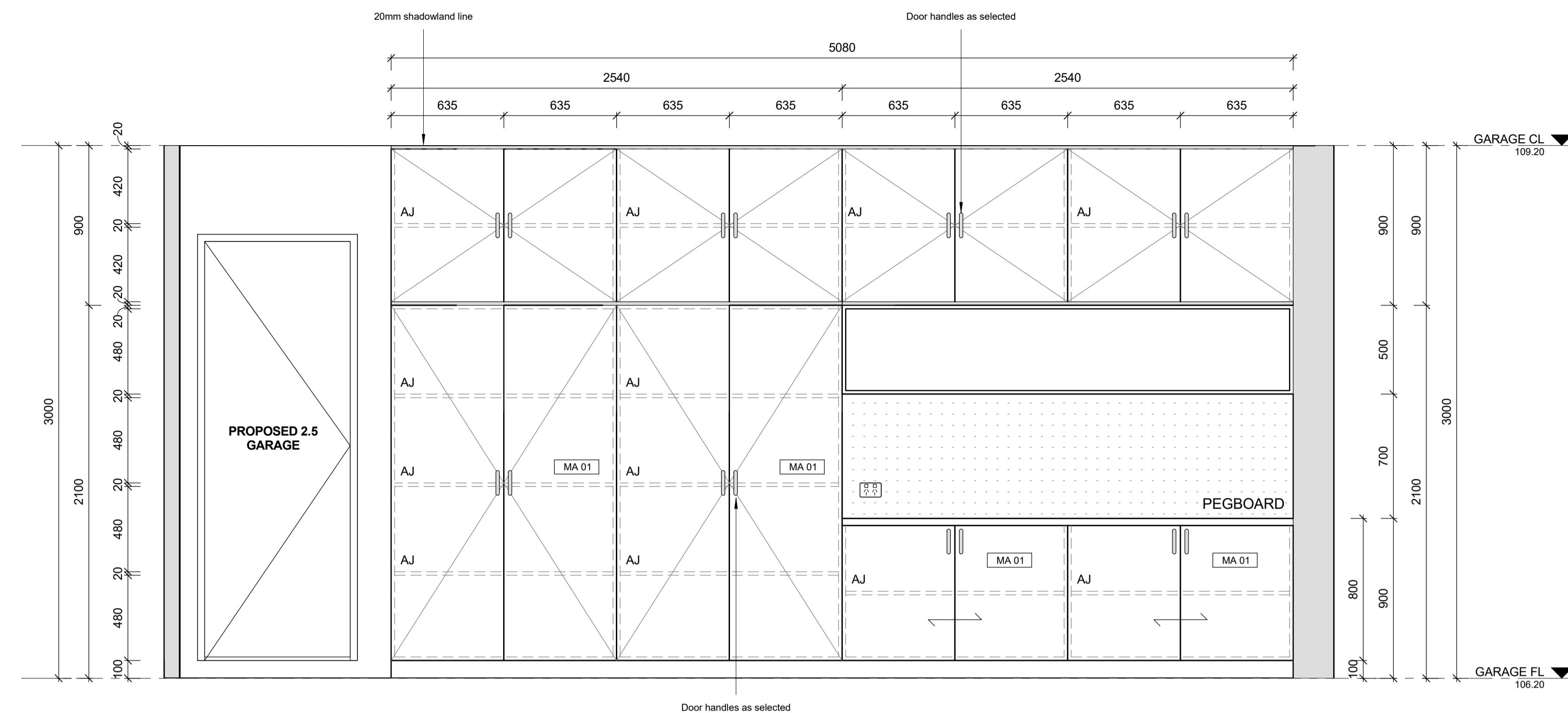
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30/21      CHECKED:  
                Checker      PRELIMINARY

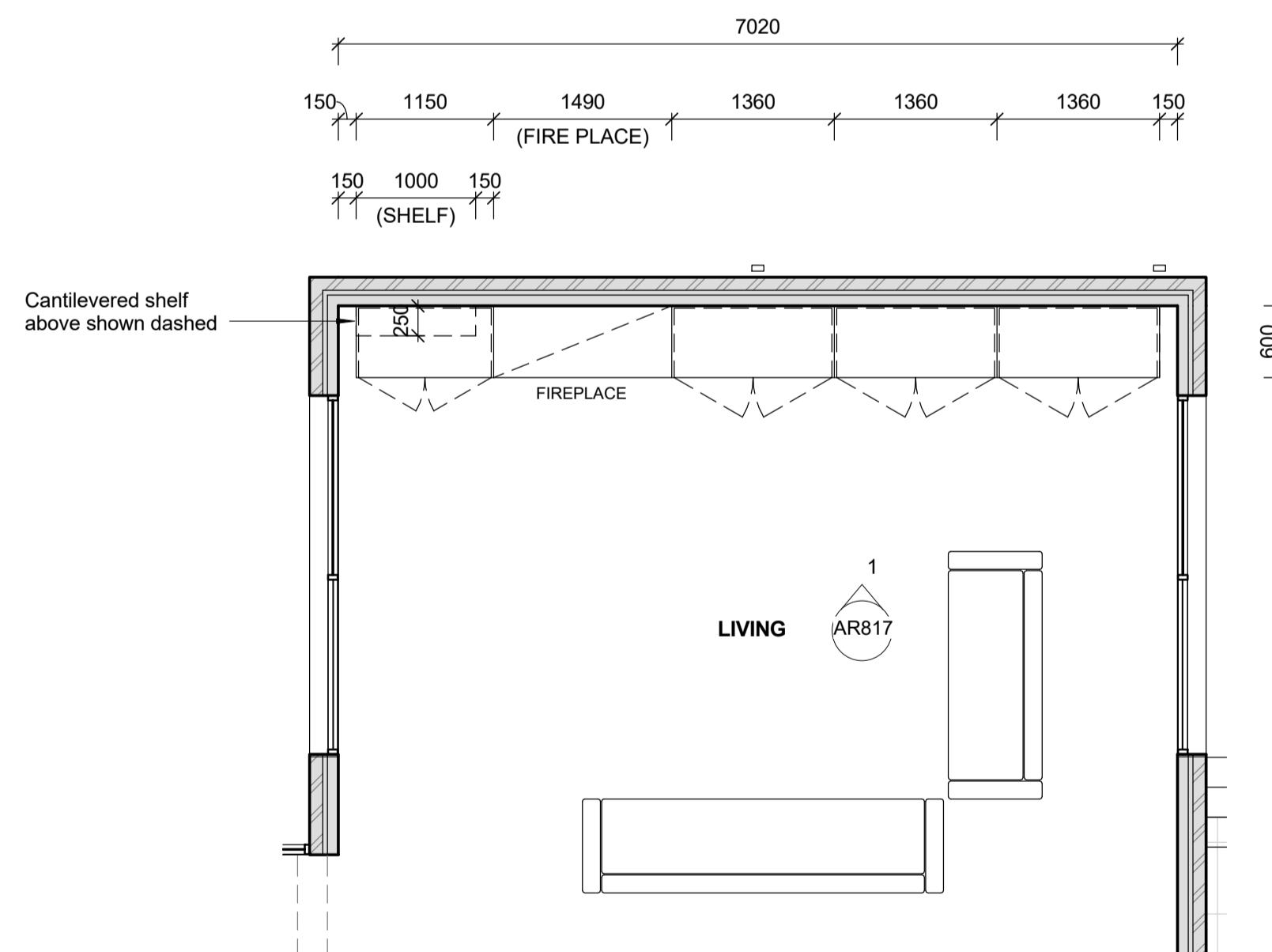
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Author DRAWING:  
**AR815** REVISION:



 GARAGE PLAN  
1 : 50



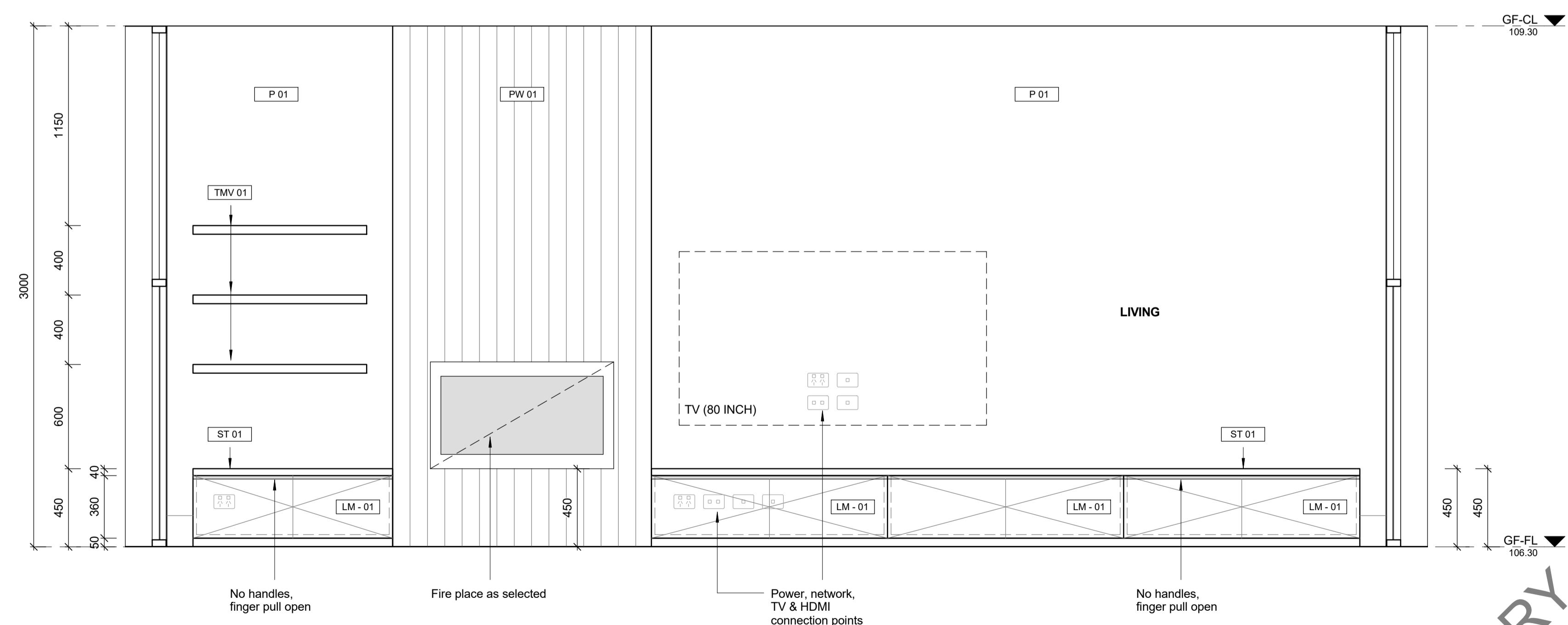
 GARAGE ELEVATION 01  
1 : 20





# LIVING ROOM PLAN

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LIVING ELEVATION 0  
1 : 20

The diagram shows a detailed architectural floor plan. In the top left corner, there is a rectangular room labeled 'T 01'. Inside this room, a smaller rectangular area is labeled 'LM - 01'. A dashed line forms a triangle from the bottom-left corner of the room to the top-right corner of the LM-01 area. To the right of the room, there is a vertical wall section with two horizontal segments extending downwards, each labeled '450' with dimension lines. Below these segments, the text 'GF-FL' is followed by the value '106.30' and a downward-pointing arrow. A large, semi-transparent watermark reading 'PRELIMINARY ONLY' is diagonally oriented across the entire image.

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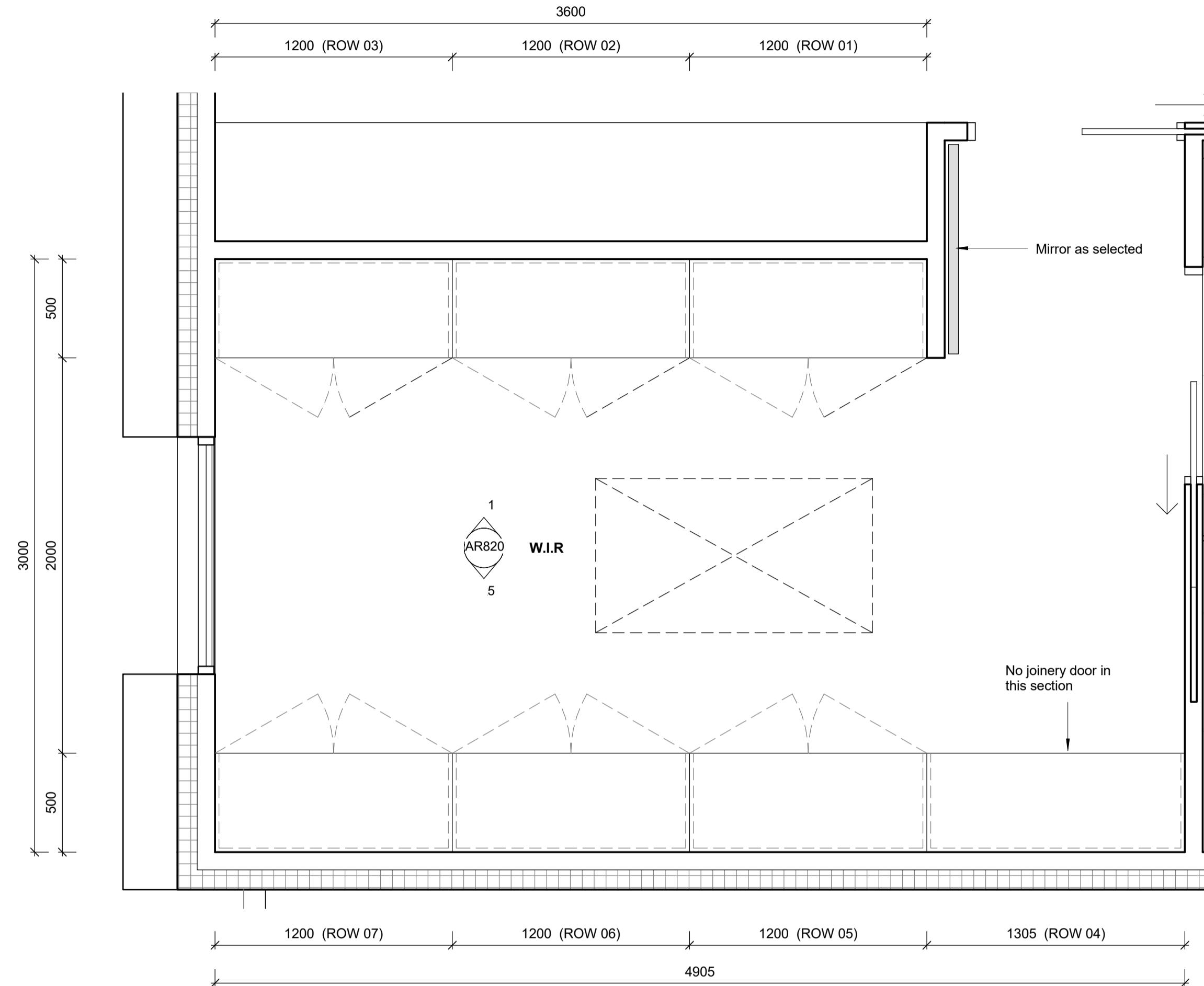
JETT CHAN & SOFIA CHAN

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17 CLEMS ROAD, DONCASTER EAST, VIC. 3100

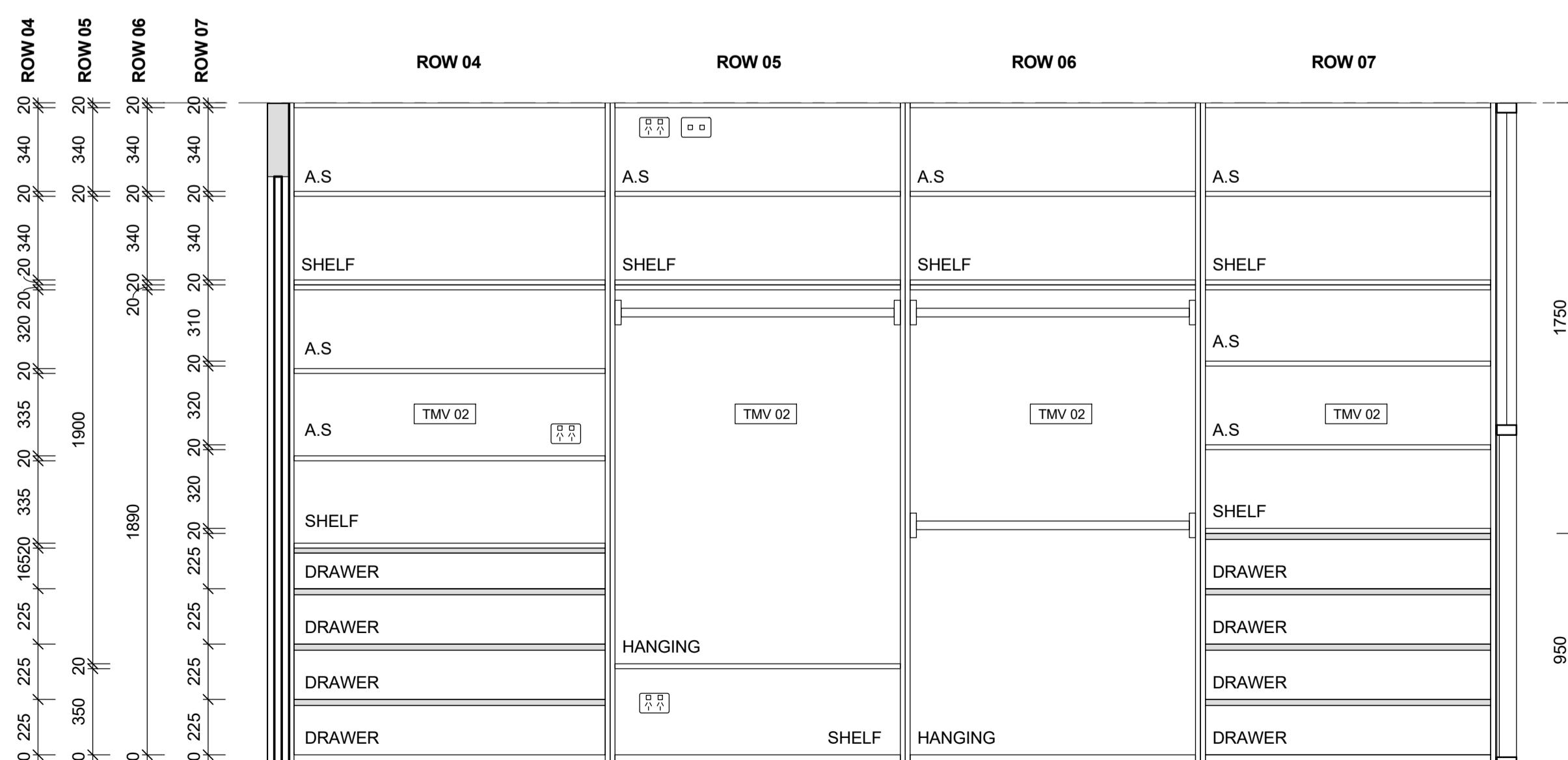
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TITLE: JOB NUMBER:  
Garage Plan & 21022

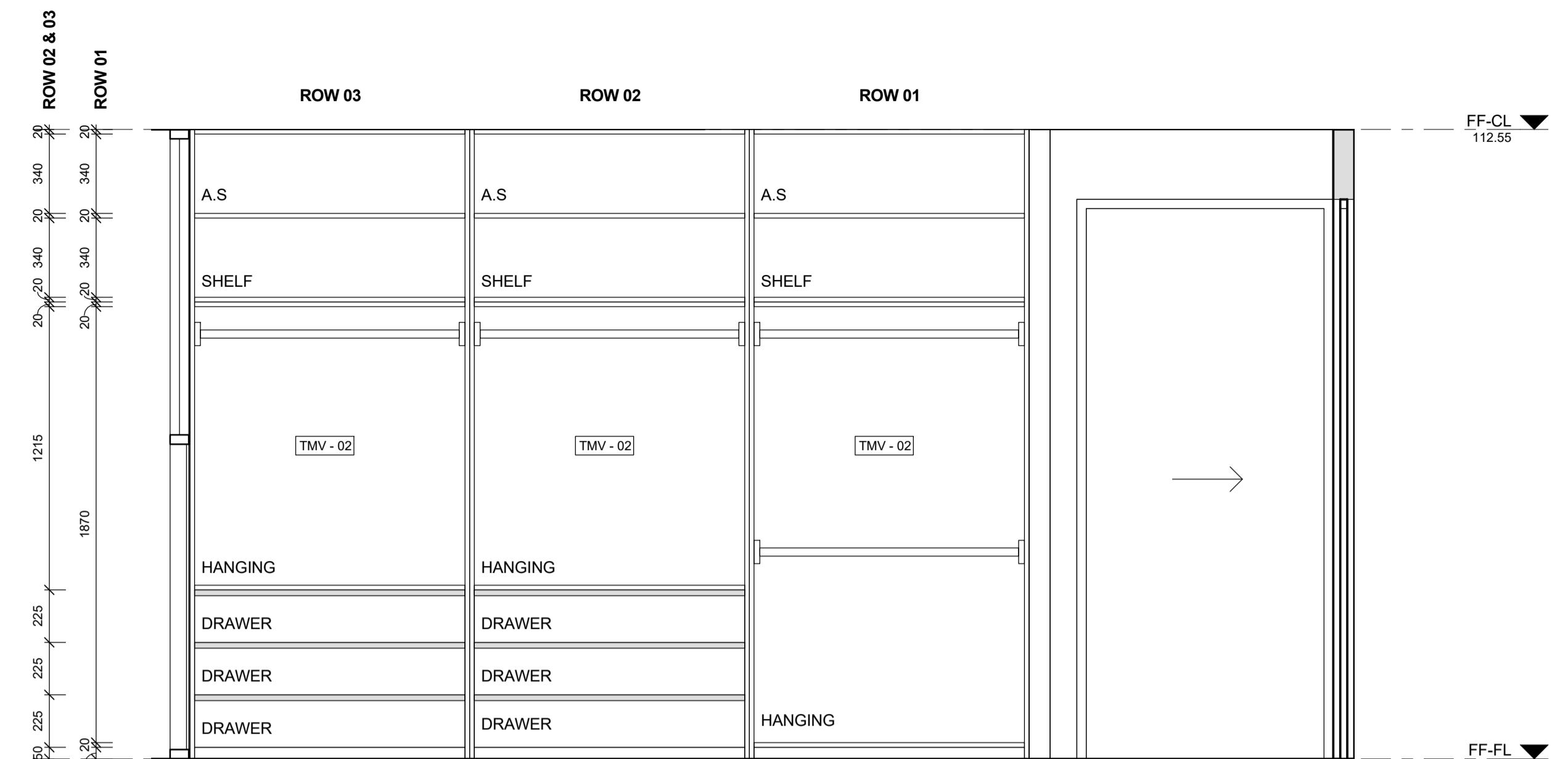
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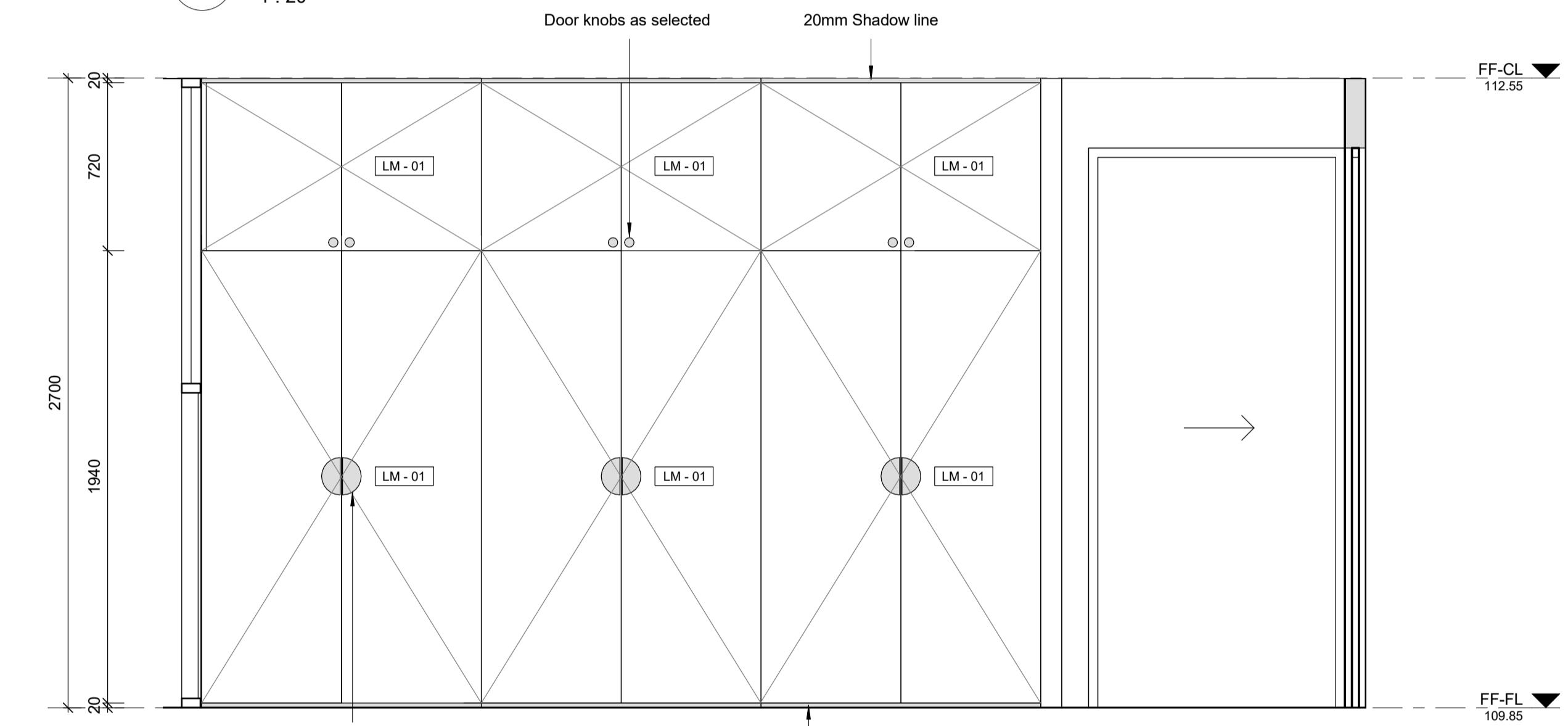
MASTER W.I.R. PLAN  
1 : 20



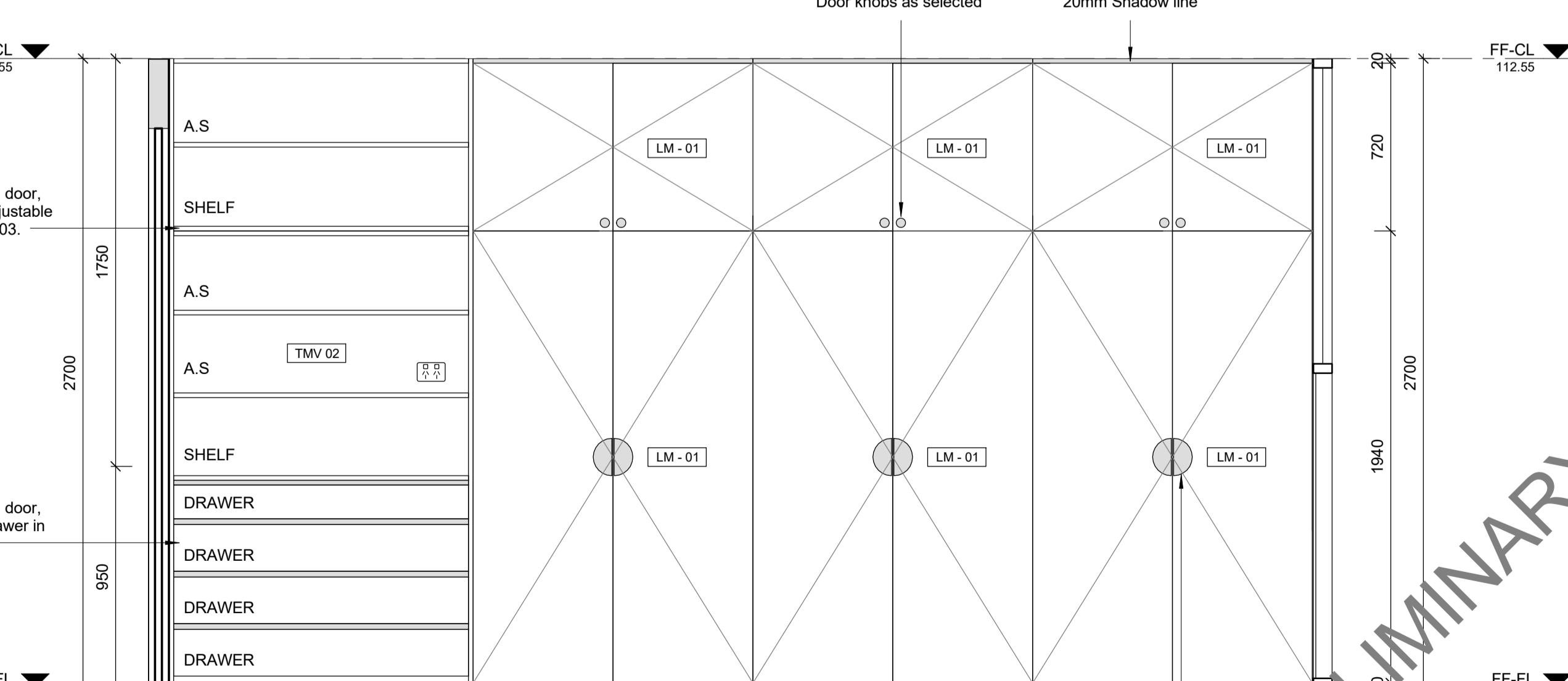
W.I.R ELEVATION 02  
1 : 20



W.I.R ELEVATION 01  
1 : 20



W.I.R ELEVATION 01 (WARDROBE DOOR)  
1 : 20



W.I.R ELEVATION 02 (WARDROBE DOOR)  
1 : 20

LEGEND	
PH	TOILET PAPER HOLDER
TH	TOWEL RAIL
SM	SHOWER MIXER
SH	SHOWER HEAD
TG	TILE INSERT GRATE DRAIN
AJ	ADJUSTABLE SHELF
ST 01	NATURAL STONE
P 01	PAINT COLOUR - MATTE WHITE
TMV 01	TIMBER VNEER - AMERICAN OAK
TMV 02	TIMBER VNEER - LIGHT TIMBER COLOUR
2PAC 01	2PAC PAINT - MATTE WHITE
PW 01	PANEL LINING BOARD - BLACK
LM 01	LAMINATE - WHITE MATTE
LM 02	LAMINATE - BLACK
MA 01	MELAMINE BOARD - WHITE
WT 01	PORCELAIN TILES - LIGHT GREY
WT 02	PORCELAIN TILES - LIGHT GREY (FINGER STACKED PATTERN)
WT 03	PORCELAIN TILES (SUBWAY PATTERN)
WT 04	PORCELAIN TILES (HERRINGBONE PATTERN)
WT 05	PORCELAIN TILES - LIGHT GREY

NOTE

Internal carcass to be finish with white melamine, unless otherwise noted

PRELIMINARY ONLY

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BONDI VIC 3106  
TEL: 03 8596629  
E-MAIL: info@pmnd.com.au

REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE
1	Initial Release	09/03/21

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CLIENT:  
MR. MATT CHAN & SOFIA CHAN

PROJECT ADDRESS:  
NO.25 ST CLEMS ROAD, DONCASTER EAST, VIC, 3109

DRAWING TITLE:  
Master Bedroom & W.I.R Plan &  
Elevations

JOB NUMBER:  
21022

DATE:  
09/03/21

CHECKED:  
Checker

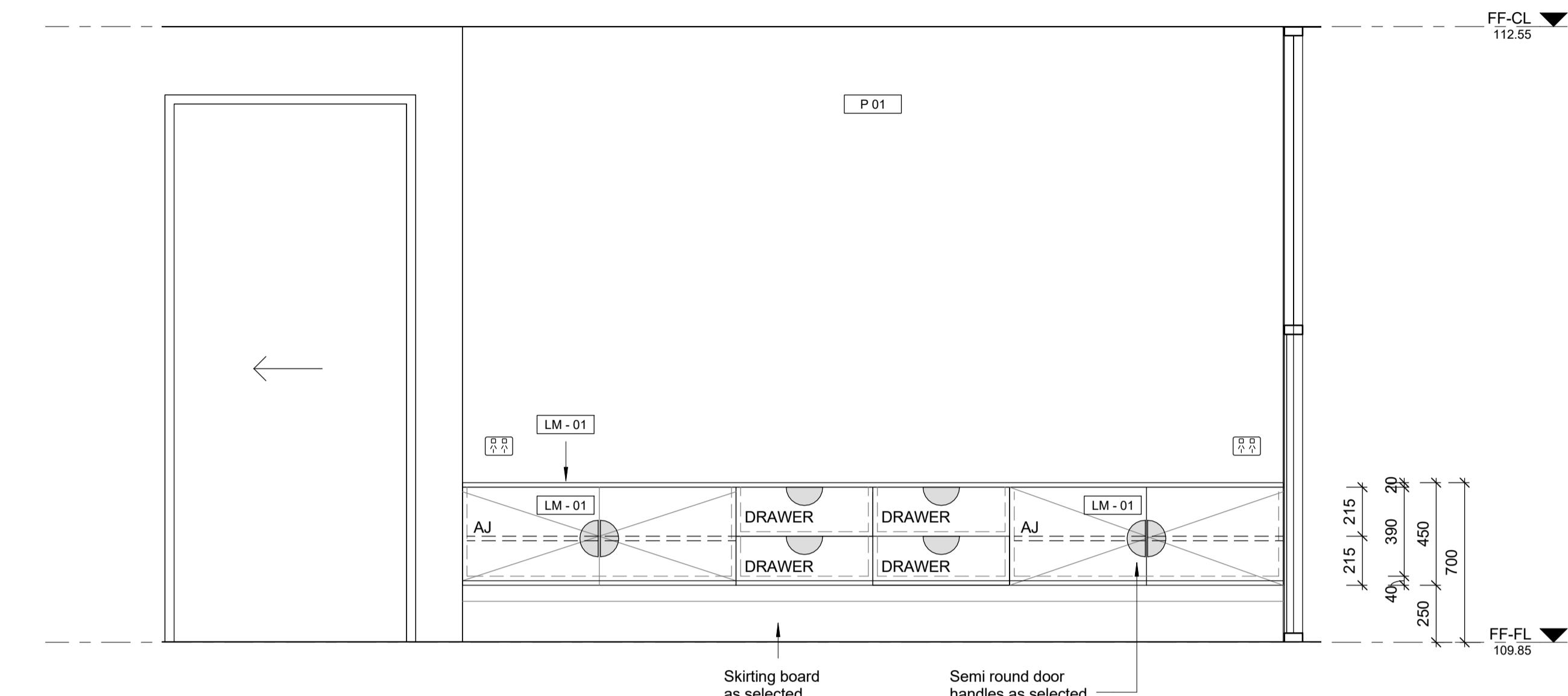
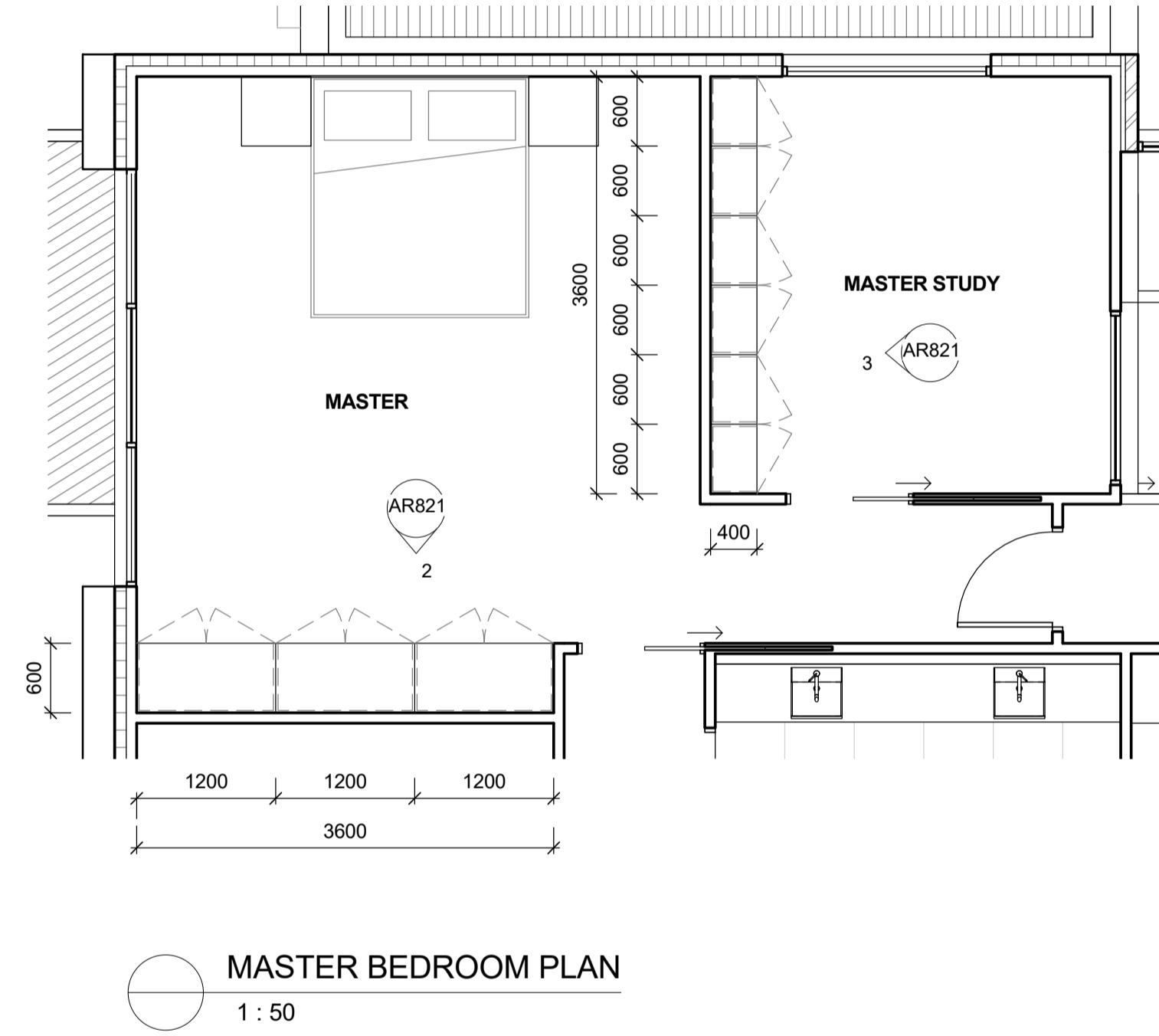
PRELIMINARY

SCALE:  
As indicated @ A1

DRAWN:  
Author

DRAWING:  
AR820

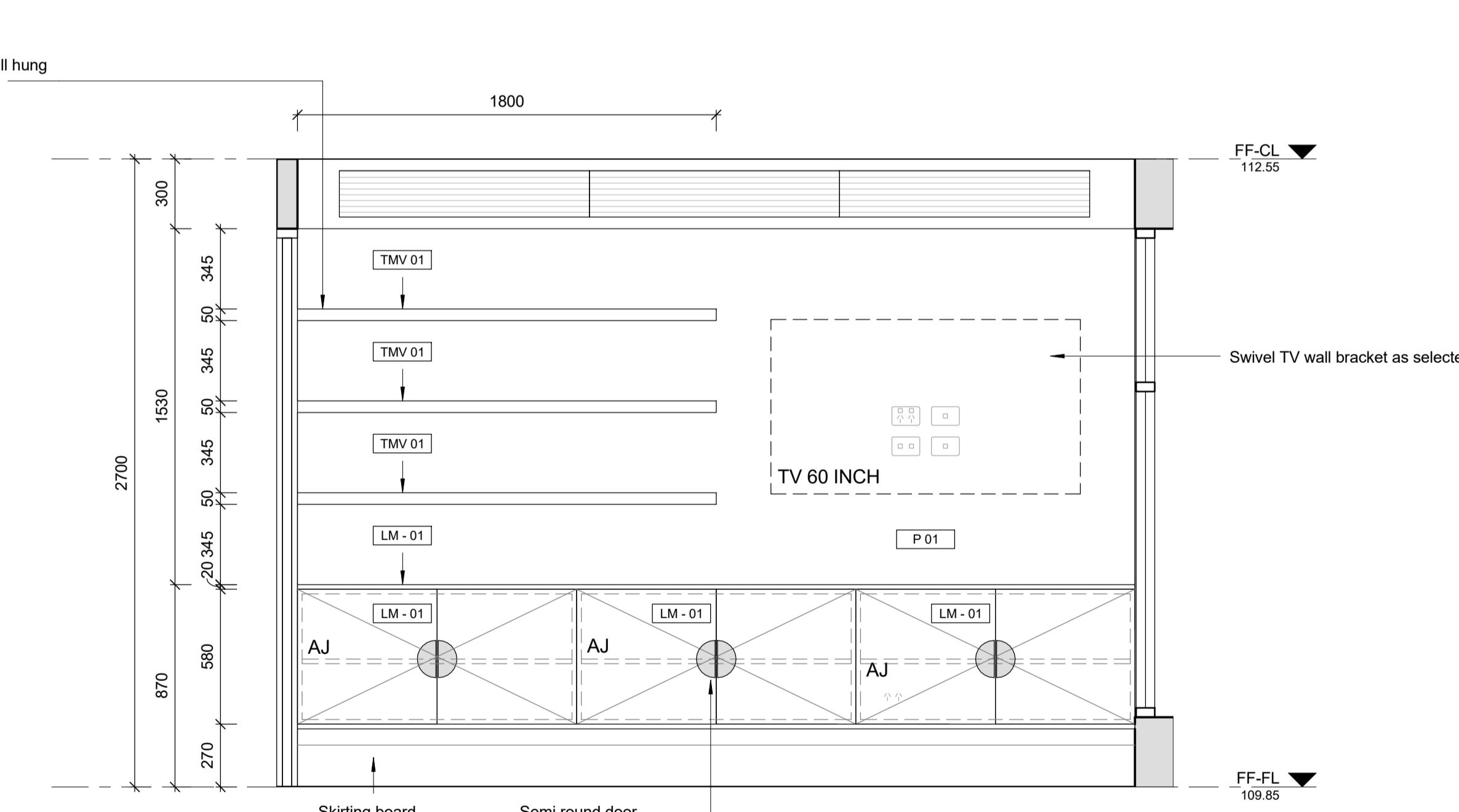
REVISION:  
1





# MASTER ELEVATION 01

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MASTER STUDY ELEVATION 01  
1 : 20

<b><u>LEGEND</u></b>	
PH	TOILET PAPER HOLDER
TH	TOWEL RAIL
SM	SHOWER MIXER
SH	SHOWER HEAD
TG	TILE INSERT GRATE DRAIN
AJ	ADJUSTABLE SHELF
ST 01	NATURAL STONE
P 01	PAINT COLOUR - MATTE WHITE
TMV 01	TIMBER VNEEER - AMERICAN OAK
TMV 02	TIMBER VNEEER - LIGHT TIMBER COLOUR
2PAC 01	2PAC PAINT - MATTE WHITE
PW 01	PANEL LINING BOARD - BLACK
LM 01	LAMINATE - WHITE MATTE
LM 02	LAMINATE - BLACK
MA 01	MELAMINE BOARD - WHITE
WT 01	PORCELAIN TILES - LIGHT GREY
WT 02	PORCELAIN TILES - LIGHT GREY (FINGER STACKED PATTERN)
WT 03	PORCELAIN TILES (SUBWAY PATTERN)
WT 04	PORCELAIN TILES (HERRINGBONE PATTERN)
WT 05	PORCELAIN TILES - LIGHT GREY

Internal carcass to be finish with white melamine,  
unless otherwise noted

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28 ST CLEMS ROAD, DONCASTER EAST, VIC, 3109

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		Z102Z	
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7/21	Checker	PRELIMINARY	
E: ndicated @ A1	DRAWN: Author	DRAWING: <b>AR821</b>	REVISION:

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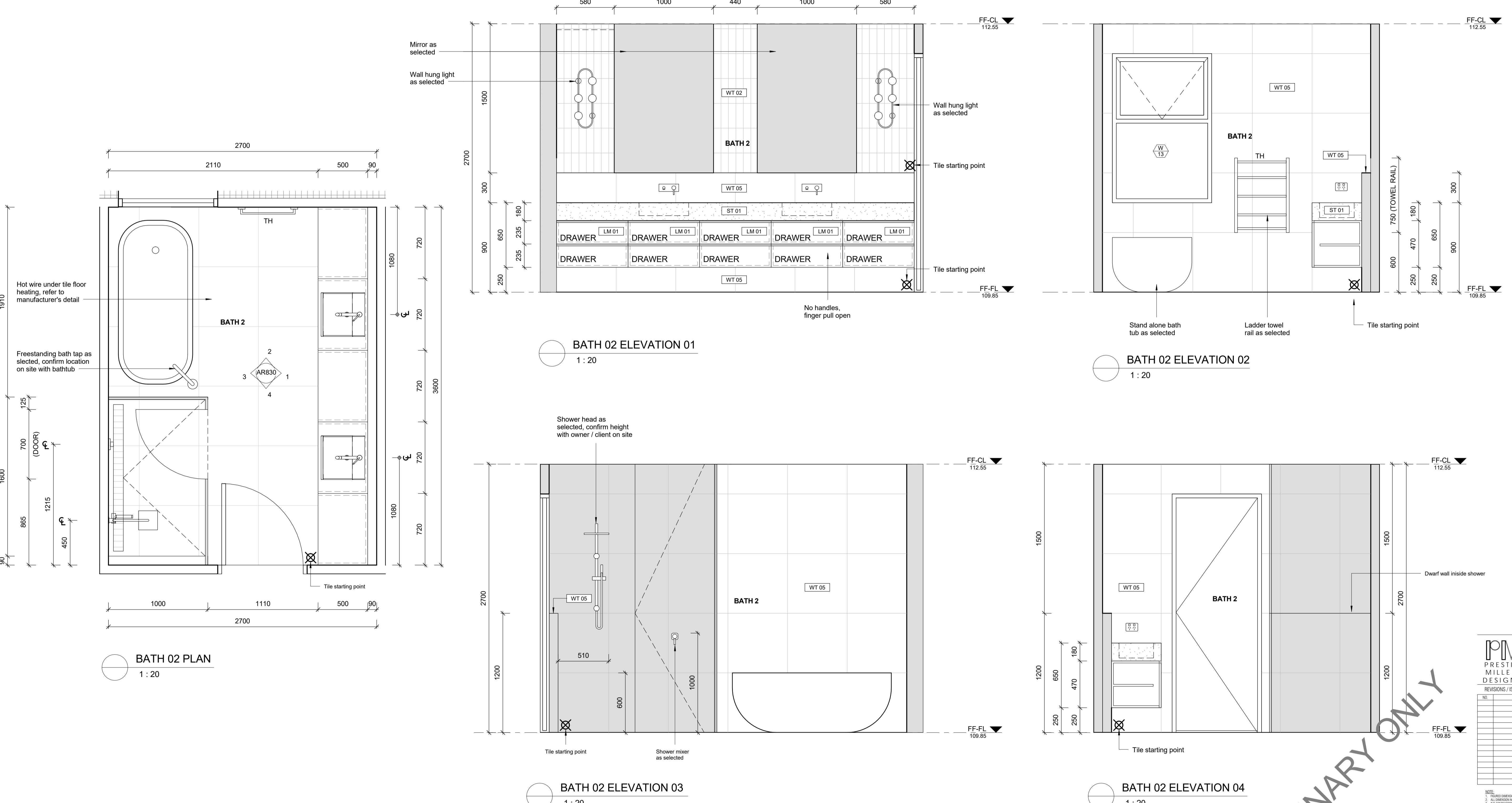
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**LEGEND**

PH	TOILET PAPER HOLDER	ST 01	NATURAL STONE	WT 01	PORCELAIN TILES - LIGHT GREY (300 x 600)
TH	TOWEL RAIL	P 01	PAINT COLOUR - MATTE WHITE	WT 02	PORCELAIN TILES - LIGHT GREY (FINGER STACKED PATTERN)
SM	SHOWER MIXER	TMV 01	TIMBER VNEER - AMERICAN OAK	WT 03	PORCELAIN TILES - WHITE MATTE (SUBWAY PATTERN)
SH	SHOWER HEAD	TMV 02	TIMBER VNEER - LIGHT TIMBER COLOUR	WT 04	PORCELAIN TILES - WHITE MATTE (HERRINGBONE PATTERN)
TG	TILE INSERT GRATE DRAIN	PW 01	PANEL LINING BOARD - BLACK	WT 05	PORCELAIN TILES - LIGHT GREY (600 x 600)
AJ	ADJUSTABLE SHELF	MA 01	MELAMINE BOARD - WHITE		
		LM 01	LAMINATE - WHITE MATTE		
		LM 02	LAMINATE - BLACK		

**NOTE**  
Internal carcass to be finish with white melamine, unless otherwise noted



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BONDI VIC 3166  
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E-MAIL: info@pmnd.com.au

REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE

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CLIENT:  
MR. MATT CHAN & SOFIA CHAN

PROJECT ADDRESS:  
NO.28 ST CLEMS ROAD, DONCASTER EAST, VIC, 3109

DRAWING TITLE:  
Bath 02 Plan & Elevations

JOB NUMBER:  
21022

DATE:  
09/30/21

CHECKED:  
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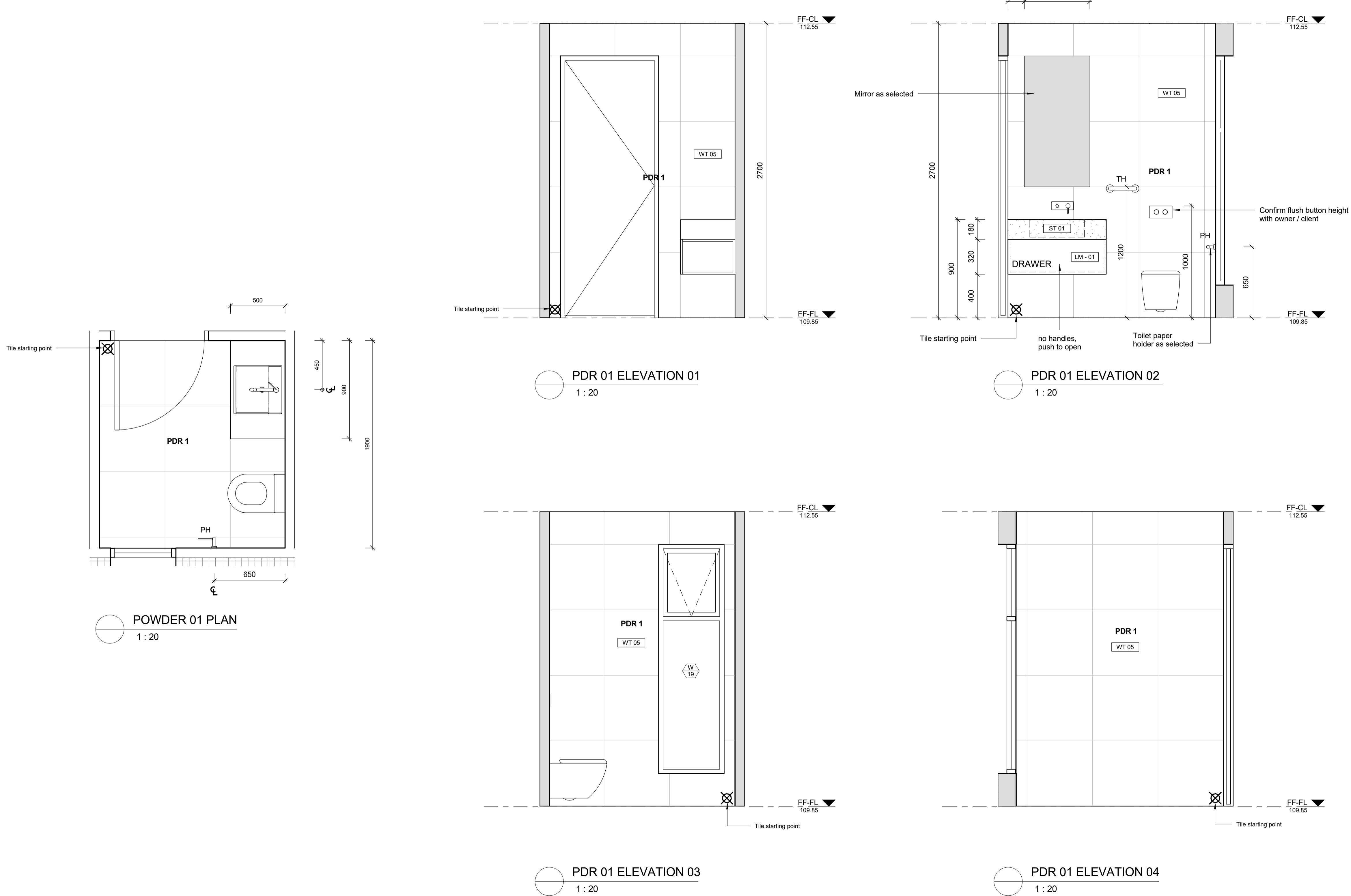
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SCALE:  
As indicated @ A1

DRAWN:  
Author

DRAWING:  
AR830

REVISION:  
AR830



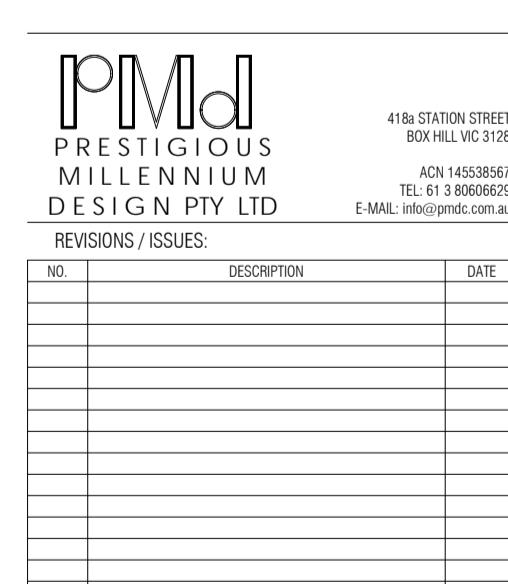
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109.85

## LEGEND

PH	TOILET PAPER HOLDER
TH	TOWEL RAIL
SM	SHOWER MIXER
SH	SHOWER HEAD
TG	TILE INSERT GRATE DRAIN
AJ	ADJUSTABLE SHELF
ST 01	NATURAL STONE
P 01	PAINT COLOUR - MATTE WHITE
TMV 01	TIMBER VNEEER - AMERICAN OAK
TMV 02	TIMBER VNEEER - LIGHT TIMBER COLOUR
2PAC 01	2PAC PAINT - MATTE WHITE
PW 01	PANEL LINING BOARD - BLACK
LM 01	LAMINATE - WHITE MATTE
LM 02	LAMINATE - BLACK
MA 01	MELAMINE BOARD - WHITE
WT 01	PORCELAIN TILES - LIGHT GREY
WT 02	PORCELAIN TILES - LIGHT GREY (FINGER STACKED PATTERN)
WT 03	PORCELAIN TILES (SUBWAY PATTERN)
WT 04	PORCELAIN TILES (HERRINGBONE PATTERN)
WT 05	PORCELAIN TILES - LIGHT GREY

NOTE

**Internal carcass to be finish with white melamine,  
unless otherwise noted**



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1 CLEMS ROAD, DUNCASTER EAST, VIC, 3109

TITLE: JOB NUMBER:  
01 Plan & Elevations 21022

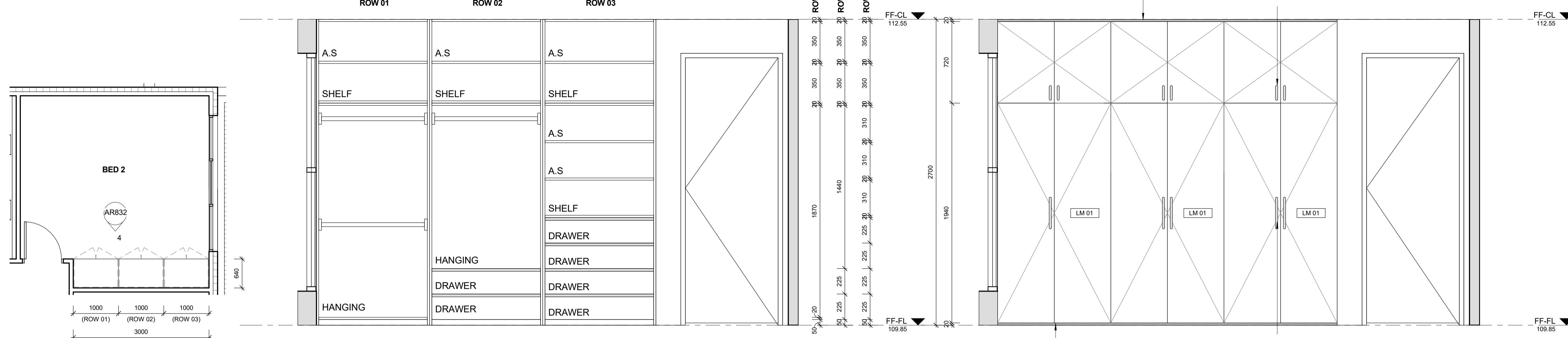
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dated @ A1	DRAWN:	DRAWING:	REVISION:
	Author	AR831	

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## BEDROOM 02 PLAN

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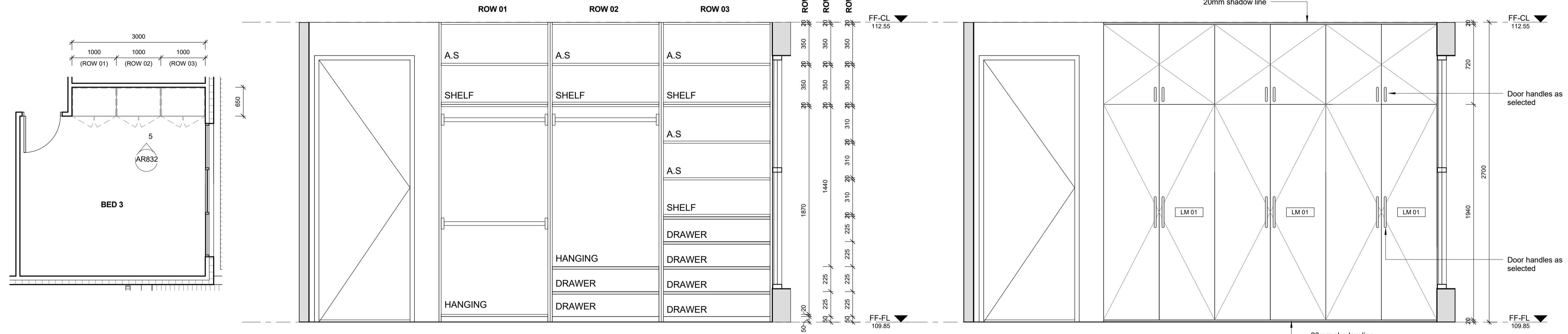


# BEDROOM 02 ELEVATION 01

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BEDROOM 02 ELEVATION 01 (WARDROBE DOOR)  
1 : 20

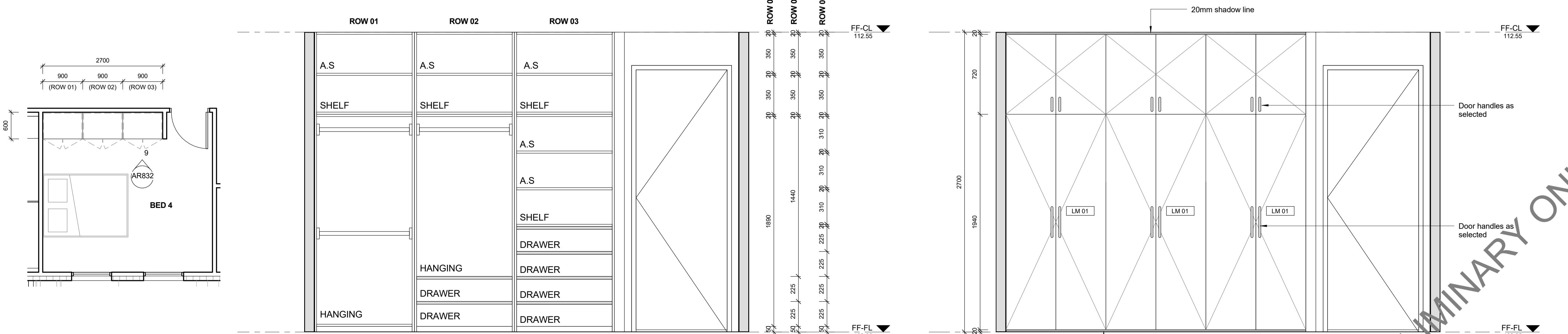
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unless otherwise noted



BEDROOM 03 PLAN  
1 : 50

 BED 03 ELEVATION 01  
1 : 20

BED 03 ELEVATION 01 (WARDROBE DOOR)  
1 : 20





**BEDROOM 04 PLAN**

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1 : 50

BED 04 ELEVATION 01

 BED 04 ELEVATION 01 (WARDROBE DOOR)  
1 : 20

A technical architectural floor plan showing a room boundary. A vertical line on the right side represents a wall, with two small black rectangles near the bottom representing door handles. The text "Door handles as selected" is positioned above the wall line. A dimension line below the wall indicates a distance of "FF-FL 109.85". A large, diagonal watermark reading "PRELIMINARY ONLY" is overlaid across the entire image.

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NT:  
**MATT CHAN & SOFIA CHAN**

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ECT/ADDRESS:  
28 ST CLEMS ROAD, DONCASTER EAST, VIC, 3109

ING TITLE:  
2 & 3 & 4 Wardrobe

JOB NUMBER:  
**21022**

:  
05/21      CHECKED:  
                Checker      PRELIMINARY

E: ndicated @ A1	DRAWN: Author	DRAWING: <b>AR832</b>	REVISION:
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