GENERAL NOTES:

ALL SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS, REPORT

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES CONTACT THIS OFFICE

THE APPROVAL BY THIS OFFICE OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ANY SAID VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE BY THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING THE VARIATION.

ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT ARE NOT

2019; AND ALL CURRENT, RELEVANT AUSTRALIAN STANDARDS (AS AMENDED) THEY REFER TO.

THE RELEVANT SUBCONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO ENSURE THE STRUCTURAL STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANT(S) DRAWINGS/DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE

SITE PLAN MEASUREMENTS ARE IN METRES - ALL OTHER MEASUREMENTS ARE IN MILLIMETRES (U.N.O.)

ALL MATERIALS SHALL BE INSTALLED TO MANUFACTURER'S GUIDELINES & SPECIFICATIONS INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS & CURRENT, RELEVANT AUSTRALIAN STANDARDS

SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES -

- (i) ALL ROOMS WITHIN 500mm VERTICAL OF FLOOR LEVEL
- BATHROOMS ALL GLAZING LESS THAN 2M HIGH
- (iii) LAUNDRY WITHIN 1200mm VERTICAL FROM FLOOR LEVEL AND/OR WITHIN 300mm VERTICAL OF TROUGH
- (iv) DOORWAY WITHIN 300mm HORIZONTAL FROM ALL DOORS

AS FOR (ii)

ALL GLAZING TO COMPLY WITH A.S. 1288-2006 GLASS IN BUILDINGS & WITH A.S. 4055-2012 FOR WINDLOADING

ALL PLIABLE MEMBRANES TO COMPLY WITH AND BE INSTALLED IN ACCORDANCE WITH NCC 3.8.7.2 & AS/NZS 4200.1 & AS 4200.2

ALL EXTERNAL WATERPROOFING & FLASHING TO COMPLY WITH AS 4654 & NCC.

WATERPROOFING OF ALL 'WET' AREAS TO BE PROVIDED IN ACCORDANCE WITH AS 3740-2010: WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL

PROVIDE AN IMPERVIOUS SUBSTRATE AND SELECTED SURFACE FINISH TO FLOORS WITHIN 1500mm OF AN UNENCLOSED SHOWER AND SAME TO WALLS AT 1800mm ABOVE FLOORS AND 150mm ABOVE BATH, SINKS, BASINS AND TROUGH SPLASH BACKS AND THE LIKE.

TEMPORARY DOWN PIPES TO BE USED DURING CONSTRUCTION

WHERE THE BUILDING IS LOCATED IN A TERMITE PRONE AREA. THE AREA TO THE UNDERSIDE OF THE BUILDING AND PERIMETER IS TO BE TREATED AGAINST TERMITE ATTACK INCLUDE COLLARS TO PENETRATIONS AND CHEMICAL TREATMENT TO PERIMETER OF SLAB AS PER N.C.C. 3.1.3. 'TERMITE RISK

FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES AND EASEMENT LINES.

PROVIDE MASONRY CONTROL JOINTS LOCATED IN ACCORDANCE WITH ENGINEER'S SPECIFICATIONS AND AT A MAXIMUM 5M SPACING IN STRICT ACCORDANCE WITH TECHNICAL NOTE TN61 OF CEMENT & CONC. ASSOC OF

STEEL LINTELS TO EACH 110 BRICK SKIN OVER ALL OPENINGS NOT OTHERWISE SPECIFIED (ALL EXTERNAL LINTELS TO BE HOT DIP GALVANIZED)

ALL BRICKWORK IS TO COMPLY WITH AS 4773-2015 : MASONRY IN BUILDINGS AND AS/NZ 2904-1995: DAMP PROOF COURSES AND FLASHINGS. USE BRICKS AS SELECTED AND M3 (1:1:6) MORTAR. USE FACE FIXING CAVITY TIES TO AVOID HOLES IN FOIL INSULATION MATERIAL. PROVIDE WALL TIES TO BRICKWORK AT MAXIMUM 600mm CTRS IN EACH DIRECTION AND WITHIN 300mm OF ARTICULATION JOINTS

BUILDINGS IN MARINE OR OTHER EXPOSURE ENVIRONMENTS SHALL HAVE MASONRY UNITS . MORTAR AND ALL BUILT IN COMPONENTS AND THE LIKE COMPLYING WITH THE DURABILITY REQUIREMENTS OF TABLE 4.1 OF AS 4773.1-2010: MASONRY STRUCTURES.

BALCONY CONSTRUCTION TO COMPLY WITH AS 4564.1 & 2

STEP SIZES (OTHER THAN FOR SPIRAL STAIRS) TO BE RISERS (R) 190mm MAXIMUM AND 115mm MINIMUM GOING (G) 355mm MAXIMUM AND 240mm MINIMUM 2R + 1G = 700mm MAXIMUM AND 550mm MINIMUM 125mm MAXIMUM GAP TO OPEN TREADS

ALL TREADS, LANDINGS AND THE LIKE TO HAVE NON SLIP FINISH OR SUITABLE NON-SKID STRIP NEAR EDGE OF NOSING AS PER NCC 2019 (CLAUSE 3.9.1.4 &

INTERNAL TREADS TO HAVE A MINIMUM SLIP RATING OF P3 OR R10 INTERNAL LANDINGS & NOSING EDGE STRIPS TO HAVE A MINIMUM SLIP RATING

EXTERNAL TREADS TO HAVE A MINIMUM SLIP RATING OF P4 OR R11 THE BUILDING REGULATIONS 2018: THE NATIONAL CONSTRUCTION CODE & NCC EXTERNAL LANDINGS & NOSING EDGE STRIPS TO HAVE A MINIMUM SLIP RATING

EXTERNAL RAMPS NOT STEEPER THAN 1:8 TO HAVE A MINIMUM SLIP RATING OF

PROVIDE BALUSTRADES AS SHOWN

TO COMPLY WITH NCC 3.9.1.

- BALUSTRADES (OTHER THAN TENSIONED WIRE BALUSTRADES) TO BE-
 - 1000mm MIN. ABOVE FINISHED SURFACE LEVEL OF BALCONIES, LANDINGS OR THE LIKE AND
- 865mm MIN. ABOVE FINISHED SURFACE LEVEL OF STAIR NOSING OR RAMP.
- VERTICAL WITH A 125mm MAXIMUM GAP BETWEEN, AND ANY HORIZONTAL ELEMENT WITHIN THE BALUSTRADE BETWEEN 150mm AND 760mm ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING WHERE
- CHANGES IN LEVEL EXCEEDS 4000mm ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS. PROVIDE ALONG AT LEAST ONE SIDE OF STAIR FLIGHT OR RAMP WITH NO
- BREAK OR OBSTRUCTION EXCEPT FOR NEWEL POST, OR AS SHOWN

WIRE BALUSTRADE CONSTRUCTION TO COMPLY WITH NCC 2019 VOLUME 2 PART 3.9.2.3 FOR CLASS 1 AND 10 BUILDINGS AND NCC VOLUME 1 PART D2.16 FOR OTHER CLASSES OF BUILDINGS.

HAND RAILS TO BE 865mm MINIMUM ABOVE STAIR NOSING AND LANDINGS AND PROVIDED TO ONE SIDE OF STAIR WHERE CHANGE OF LEVEL EXCEEDS 1000mm, PROVIDED ALONG AT LEAST ONE SIDE OF THE FLIGHT OR RAMP WITH NO BREAK OR OBSTRUCTION EXCEPT FOR NEWEL POSTS.

CEILING HEIGHTS MUST NOT BE LESS THAN

- (i) IN A HABITABLE ROOM EXCLUDING A KITCHEN 2.4M, AND
- (ii) IN A KITCHEN 2.1M. AND
- (iii) IN A CORRIDOR, PASSAGEWAY OR THE LIKE 2.1M, AND
- (iv) IN A BATHROOM, SHOWER ROOM, LAUNDRY. SANITARY COMPARTMENT AIRLOCK, PANTRY, STOREROOM, GARAGE, CAR PARKING AREA OR THE LIKE -2 1M AND
- (v) IN AN ATTIC ROOM, ROOM WITH A SLOPING CEILING OR PROJECTION BELOW CEILING LINE OR A NON-HABITABLE ROOM OR SIMILAR SPACE REFER TO N.C.C. PART 3.8.2.1.
- (vi) IN A STAIRWAY 2.0m MEASURED VERTICALLY ABOVE THE NOSING LINE

DENOTES LOCATION OF SMOKE ALARMS. TO BE INSTALLED IN ACCORDANCE WITH AS3786-2014. UNLESS INSTALLED IN AN EXISTING PART OF A CLASS 1, 2 OR 3 BUILDING OR A CLASS 4 PART OF A BUILDING , THE SMOKE ALARM IS TO BE HARD WIRED WITH BATTERY BACK-UP AND BE INTERCONNECTED WHERE THERE IS MORE THAN ONE SMOKE ALARM

BUILDING TIE-DOWNS TO BE PROVIDED IN ACCORDANCE WITH AS 1684-2010 FOR AN ASSUMED DESIGN GUST WIND SPEED / WIND CLASSIFICATION AS ADVISED BY RELEVANT LOCAL AUTHORITY (SUBJECT TO CONFIRMATION ON SITE BY RELEVANT BUILDING SURVEYOR AT FIRST INSPECTION.) REFER TO AS 1684-2010 FOR CONSTRUCTION REQUIREMENTS

CARPORT OR GARAGE ROOF TO BE TIED DOWN WITH HOOP IRON STRAPS AS

IF THE THRESHOLD SILL OF A DOORWAY IS GREATER THAN 570mm ABOVE THE FINISHED SURFACE OF THE GROUND TO WHICH THE DOORWAY OPENS, A LANDING SHALL BE PROVIDED NO LESS THAN THE WIDTH OF THE DOOR LEAF.

THE DOOR TO A FULLY ENCLOSED SANITARY COMPARTMENT MUST OPEN OUTWARDS, SLIDE, OR BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT IN ACCORDANCE WITH N.C.C. 3.8.3.3. 'CONSTRUCTION OF SANITARY COMPARTMENTS'.

UNLESS PERMITTED OTHERWISE, 6 STAR ENERGY EFFICIENT DESIGNS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AS PROVIDED BY THE ACCREDITED ENERGY RATER WITHOUT ALTERATIONS AND SHALL BE GENERALLY RATED TO COMPLY WITH THE FOLLOWING OPTIONS AS PER THE NATIONAL CONSTRUCTION CODE.

ALL EXHAUST FANS TO COMPLY WITH NCC 3.8.7.3

AS PER CLAUSE 3.8.7.3 OF NCC2019 EXHAUST FROM BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY TO BE DISCHARGED DIRECTLY VIA A SHAFT OR DUCT TO OUTDOOR AIR; OR TO A ROOF SPACE THAT IS VENTILATED IN

SERVICES IN SEPARATING WALLS TO COMPLY WITH BCA 3.7.3.3

DESIGNATED BUSHFIRE ZONE **BAL RATING 12.5**

WALLS

- * 4.5mm thick (nom) fibre cement sheet infills above side and rear elevation windows and doors
- * All lightweight clad areas (where included) to be minimum 4.5mm thick Fibre Cement based product.
- * Standard weatherwrap to walls to remain.

VENTS & WEEPHOLES

* Provide Weepa high performance bushfire weephole screened with mesh made of corrosion resistant steel, bronze or aluminium to all vents and weepholes.

*All joints in the external surface material of walls shall be covered sealed, overlapped, backed or butt-jointed to prevent gaps greater

WINDOWS

* Provide a minimum of 4mm toughened glass to windows and sidelights within 400mm of a horizontal surface. Note: External pane of double glazed windows to be a minimum of 4mm toughened. Note: Laminated glass does not comply.

Provide aluminium framed screens with aluminium mesh to all openable windows (openable section only). Note: This item includes aluminium framed screens to openable timber windows (where applicable).

* All window and door hardware to be made of metal. Note: No plastic rollers to windows or double hung windows.

* Provide a minimum of 4mm toughened glass to glazed bi-fold doors and sliding doors. Note: Laminated glass does not comply

* Weatherstrips to the bottom of external hinged doors (this only applies to doors that do not have a fully sealed frame).

GARAGE DOORS

* Provide ember seals to Colorbond sectional doors and roller doors (where included). Note: Timber Garage doors and/or window panels do not comply *WHERE SCREENS ARE PROVIDED TO SLIDING DOORS THEY ARE TO HAVE a maximum aperture of 2mm, madeof corrosion-resistant steel, bronze or aluminium.

ROOFING

- Provide roof sarking to entire roof area including the ridge
- and extend into gutters and valleys.
 * Provide Colorbond Whirly Bird with ember guards to roof.
- * Provide anti-ponding boards to perimetre of roof area.
- Note: This item applies to tiled roofs only.
- Verandahs separated from the main roof space (where included) by an external wall must have a metal roof. *The roof/wall junction shall be sealed, to prevent openings

GARAGE DOORS

* Provide ember seals to Colorbond sectional doors and roller doors (where included). Note: Timber Garage doors and/or window panels do not comply. *WHERE SCREENS ARE PROVIDED TO SLIDING DOORS THEY ARE TO HAVE a maximum aperture of 2mm, madeof corrosion-resistant steel, bronze or

- * Provide roof sarking to entire roof area including the ridge and extend into gutters and valleys.
- Provide Colorbond Whirly Bird with ember guards to roof. * Provide anti-ponding boards to perimetre of roof area. Note: This item applies to tiled roofs only.
- * Verandahs separated from the main roof space (where included) by an external wall must have a metal roof.
- *The roof/wall junction shall be sealed, to prevent openings greater than 3mm.

PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS.3660.1. ALL TIMBER FRAMING INCLUDING ROOF TRUSSES TO BE STRESS GRADED TREATED PINE.

FFFR BAL 12.5 NOTES

BAL RATING: 12.5

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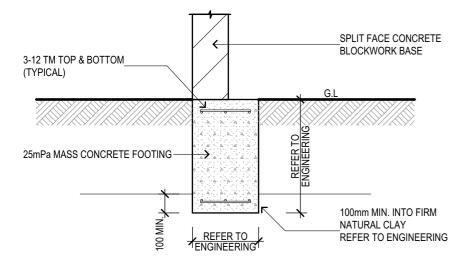
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01	NOTES	
02	Proposed Site Plan	
03	Proposed Slab & Footing Plan	
04	Proposed Sub-floor Plan	
05	Proposed Floor Plan	
06	Proposed Electrical Plan	
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08	Section	
09	Proposed Floor Covering	
10	Internal Elevations - Kitchen	
11	Internal Elevations - Laundry & Powder	
12	Internal Elevations - Bathroom & W.I.R.	
13	Shading Details	
14	Carport Parti-wall Details	



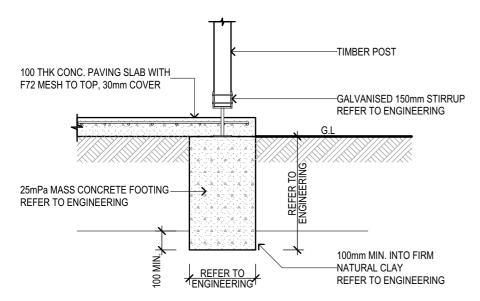
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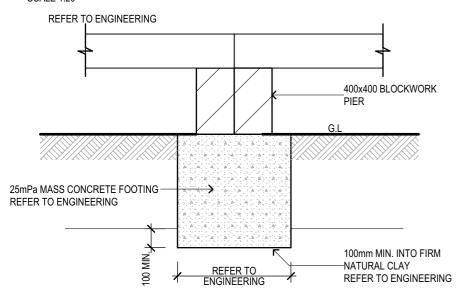
STRIP FOOTING DETAIL (SF)

SCALE 1:



PAD FOOTING DETAIL (PF)

SCALE 1:20

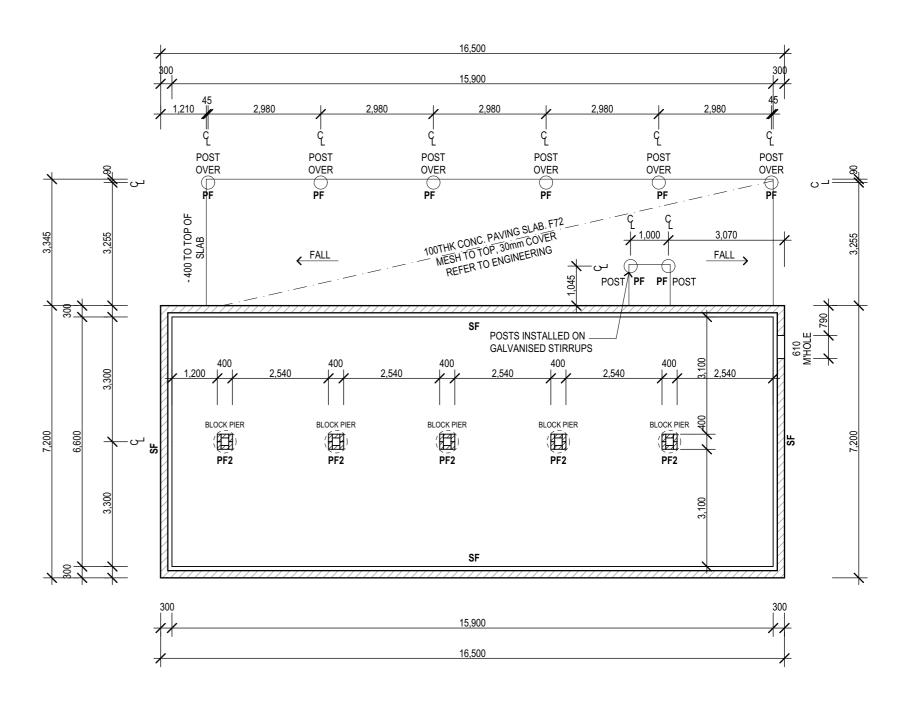


PAD FOOTING DETAIL (PF2)

SCALE 1:20



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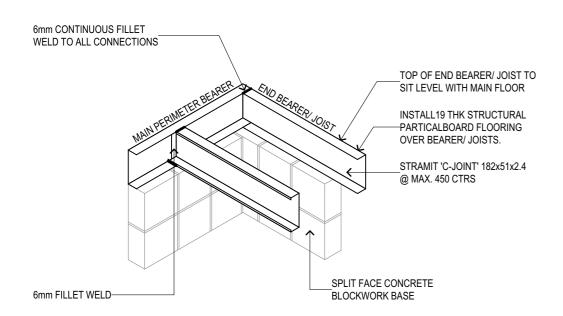
FOOTIN	G SCHEDULE - ALL SIZ	ING IS A GUIDE ONLY - REFER TO ENGINEERING
SF	STRIP FOOTING	300 WIDE X 600 DEEP. 3-12TM TOP & BOTTOM
PF	PAD FOOTING	600 DIA X 600 DEEP. MASS CONCRETE
PF2	PAD FOOTING 2	600 DIA X 600 DEEP. MASS CONCRETE
POST	POST	90x90 H3 TREATED PINE

NOTE: BLINDING CONCRETE IS TO BE USED BENEATH FOOTINGS TO ACHIEVE THE MINIMUM DEPTHS NOMINATED WITHIN THE RELEVANT SOIL REPORT

PROPOSED SLAB & FOOTING PLAN

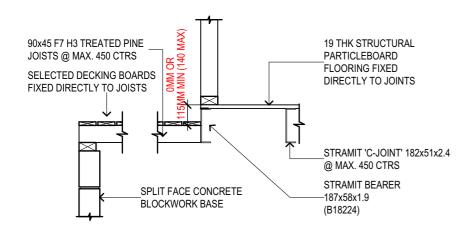
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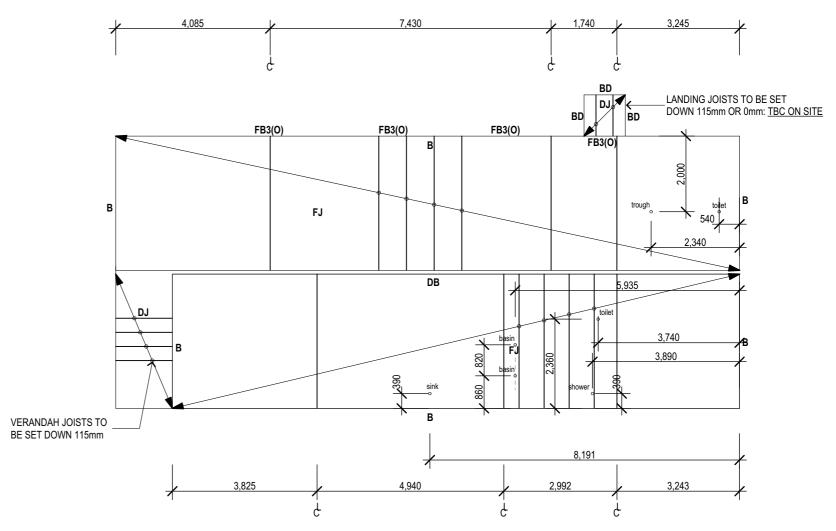
Bearer & Joist Connection Detail

SCALE 1:20



Patio deck to main floor connection detail

SCALE 1:20



MEMBE	MEMBER SCHEDULE (SUB-FLOOR) - GUIDE ONLY - REFER TO ENGINEERING												
В	FLOOR BEARER	STRAMIT BEARER (BI8224)											
DB	DOUBLE FLOOR BEARER	STRAMIT DOUBLE BEARER											
FJ	FLOOR JOIST	STRAMIT 'C-JOINT' @ MAX. 450 CTRS											
DJ	DECK JOIST	90x45 F7 TREATED PINE @ MAX 450 CTRS											
BD FB2	DECK BEARER	190x45 F7 H3											
FB2	FLOOR BEAM	240x45 F7 SEAS. PINE											
FB3	FLOOR BEAM	190x45 MGP10											

NOTE: ALL TIMBER FRAMING TO BE STRESS GRADE TREATED PINE TO AS.3660.1

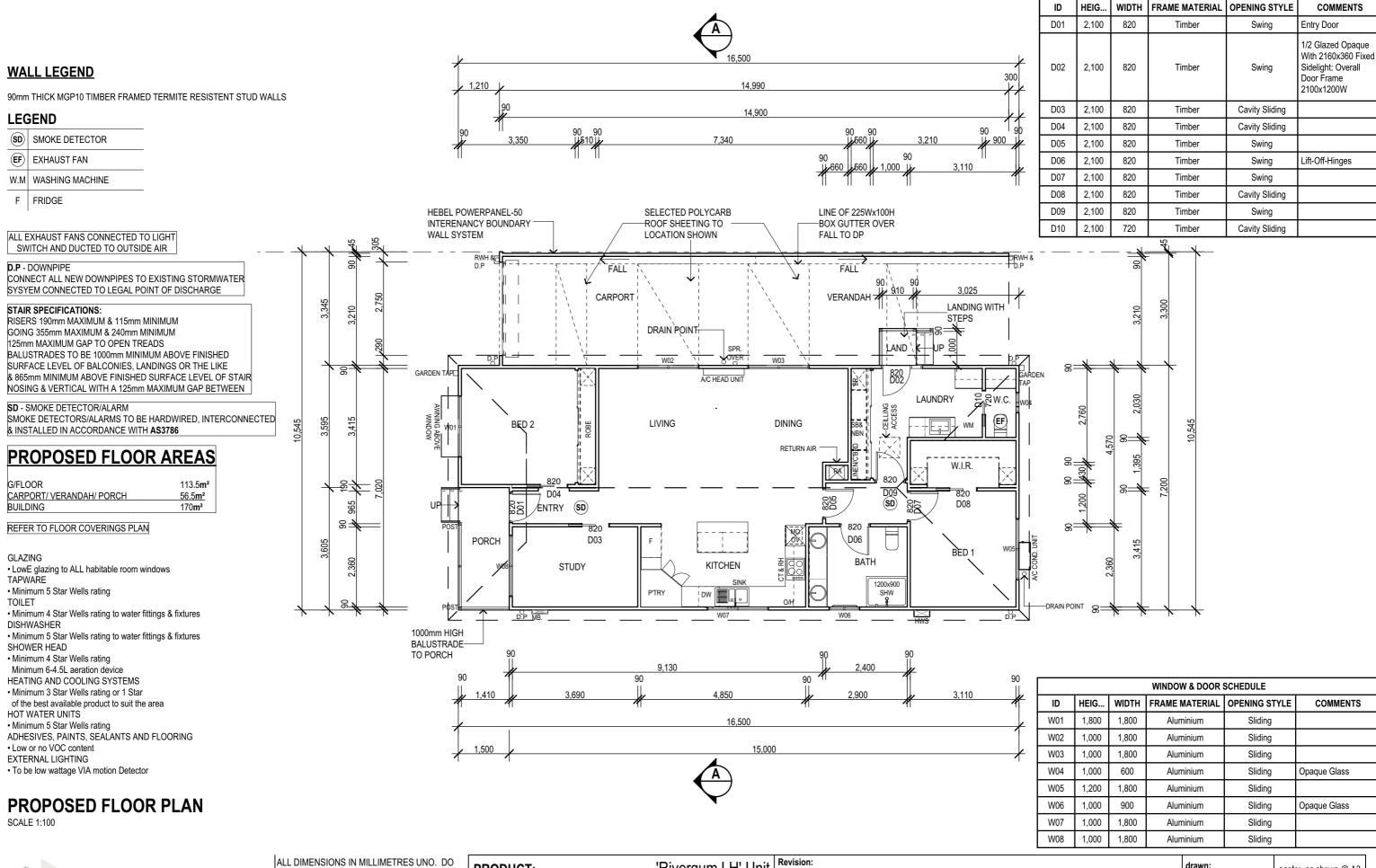
PROPOSED SUB-FLOOR PLAN

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WINDOW & DOOR SCHEDULE

ELECTRICAL LEGEND

- CEILING LIGHT (10W D/L)
- LED LINEAR LIGHT (##W -TBC)
 - DOUBLE G.P.O (1100 ABOVE F.F.L. UNLESS OTHERWISE NOTED)
 - ▼ SINGLE G.P.O. (2700mm ABOVE F.F.L.)
 - △ SINGLE G.P.O (1400, 1600, 1700 OR 2000 ABOVE F.F.L.) REFER TO INTERNAL ELEVATIONS
 - ▲ DOUBLE G.P.O (300mm ABOVE F.F.L. UNLESS OTHERWISE NOTED)
 - ▼ SINGLE G.P.O. (300mm ABOVE F.F.L. UNLESS OTHERWISE NOTED)
 - ▲ EXTERNAL DOUBLE G.P.O (500mm ABOVE F.F.L. UNLESS OTHERWISE NOTED)
 - ▼ EXTERNAL SINGLE G.P.O. (500mm ABOVE F.F.L. UNLESS OTHERWISE NOTED)
 - ☑ DIRECT WIRE
 - @ 2 LAMP IXL TASTIC WITH SEALED EXHAUST FAN
 - (EF) EXHAUST FAN VENTED THROUGH ROOF DIRECT TO EXTERNAL AIR
 - (SD) SMOKE DETECTOR
 - SWITCH, LIGHT POINT & GPO FOR HEATING UNIT IN ROOF SPACE (10W)
 - TV TELEVISION POINT
 - PHONE POINT
 - FLOOD LIGHT: SINGLE
 - 2♥ FLOOD LIGHT: DOUBLE
 - RA RETURN AIR
- SWB INTERNAL SWITCH BOARD
- NBN NTD INTERNAL OPTICAL FIBRE BOX
- CEILING FAN WITH LIGHT SUPPLIED BY CLIENT
- ☐ GARDEN TAP

ELECTRICAL NOTES

POWER TO BE PROVIDED FOR:

- REVERSE CYCLE HEATING & COOLONG UNIT
- HOT WATER SERVICE
- RANGEHOOD, DISHWASHER
- -DIRECT WIRE OVEN AND COOKTOPS

MECHANICAL LEGEND

DUCTED HEATING CEILING OUTLET

7.5 kW SPLIT SYSTEM. (OR APPROVED SIMILAR) 2200mm ABOVE F.F.L.

MECHANICAL NOTES

ALL SYSTEMS TO BE INSTALLED TO MEET THE REQUIREMENTS OF A.S. 1868 PART 1 & 2 AND THE NCC 2017

PROVIDE CIRCUIT BREAKERS IN SWITCHBOARD FOR EACH NEW AIR CONDITIONING SYSTEM.

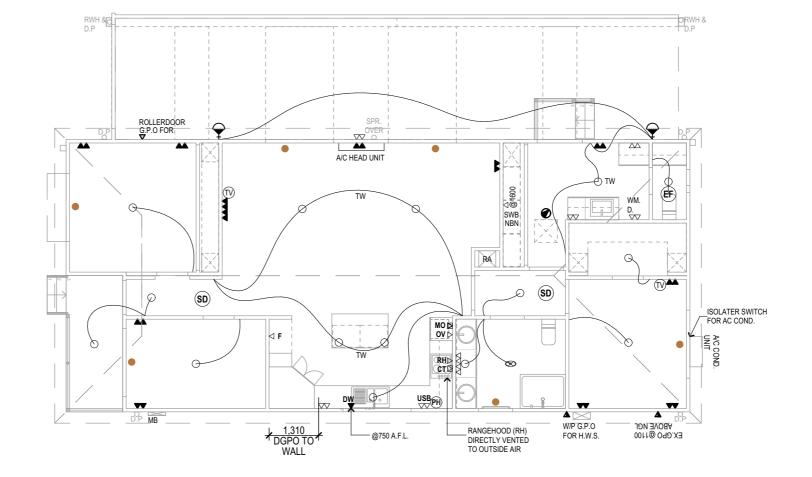
EACH WALL HUNG TYPE A/C UNIT SHALL BE CONTROLLED FROM OWN INDIVIDUAL HAND-HELD TYPE MOUNTED REMOTE CONTROL. (FINAL LOCATION TO BE CONFIRMED ONSITE).

LIGHTING NOTES

ALL EXTERNAL LIGHTING TO BE MOTION ACTIVATED INTERNAL LIGHTS TO BE LED MEETING 4W/m²

PROPOSED ELECTRICAL PLAN

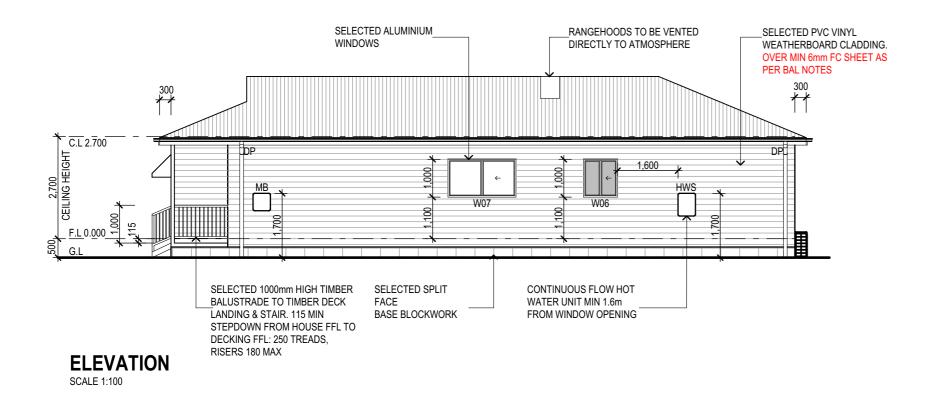
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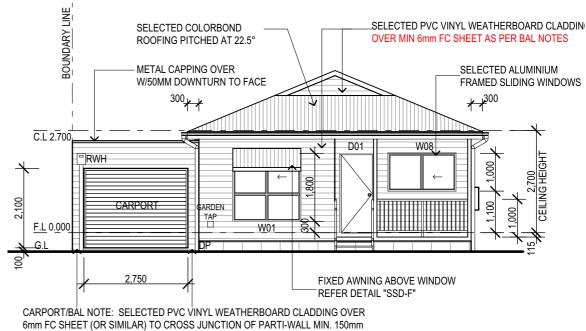




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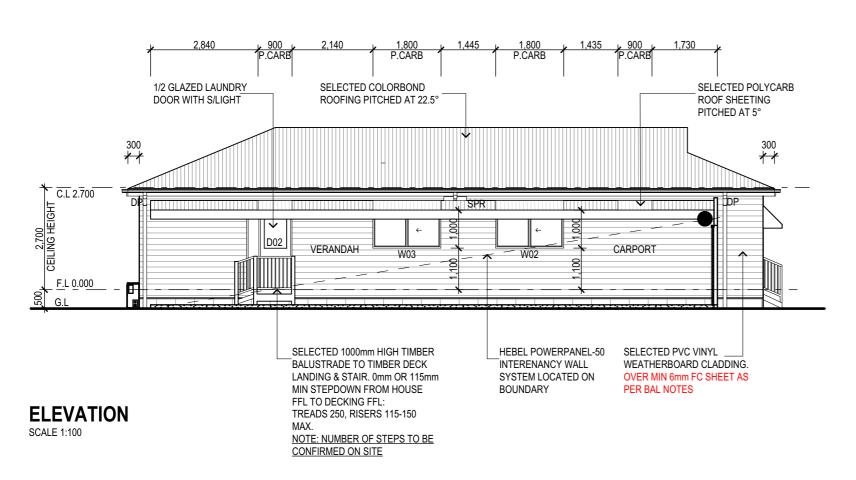


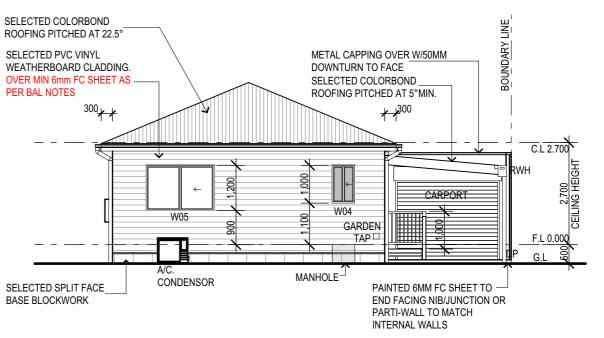


ELEVATION

EITHER SIDE; AND WITHIN 400mm OF GROUND.

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ELEVATION

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Energy Rating Notes

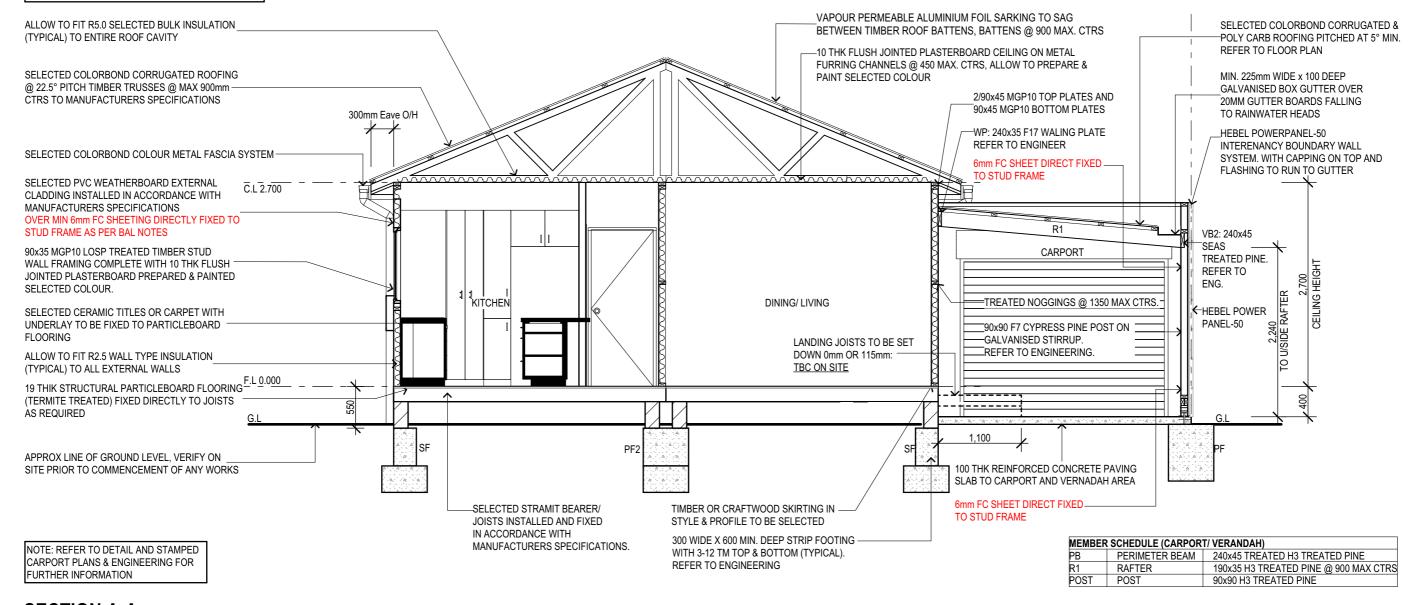
REFER TO THERMAL PERFORMANCE ASSESSMENT REPORT PREPARED BY DOMAIN ENERGY RATINGS

- Timber suspended floor with Foilboard Super 15 insulation (between joists & under floor)
- R 2.5 bulk insulation to all external walls
- R 2.5 bulk insulation to internal walls adjoining utilities (bath/laundry/WC)
- R 5.0 bulk insulation to external roofs/ceilings with reflective foil sarking
- Aluminium framed (noted as low-e) windows UV:5.40 SHGC:0.58 Entry/Living/Dining 1200x1800 sliding windows x3
- Aluminium framed window and sliding doors UV:6.70 SHGC:0.70 remaining sliding and fixed windows
- Timber framed glass doors UV: 5.40 SHGC: 0.56
- All new exhaust fans to be sefl-sealing
- All external windows and doors to be weathersealed

NOTES:

PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS .3660.1. ALL TIMBER FRAMING INCLUDING ROOF TRUSSES TO BE STRESS GRADED TREATED PINE.

These drawings are to be read in conjunction with engineering structural computations and sketches



SECTION A-A

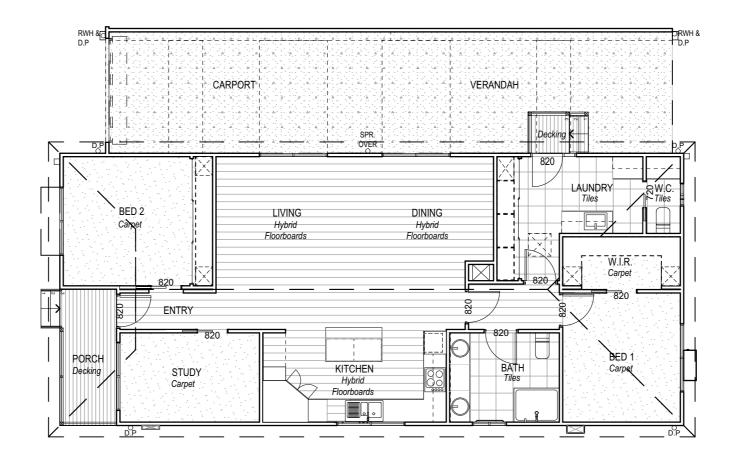
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Stage 8, 31 Furness St.	Lifestyle Estate , 8, 31 Furness St. Lot No. #					published:	17/04/2024	Sneet	0 UF 14	+

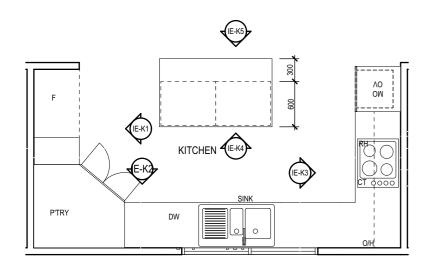
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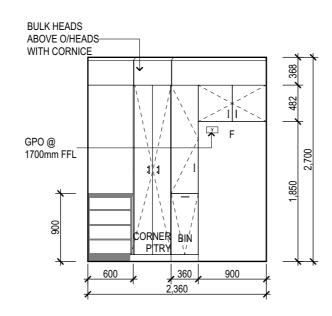
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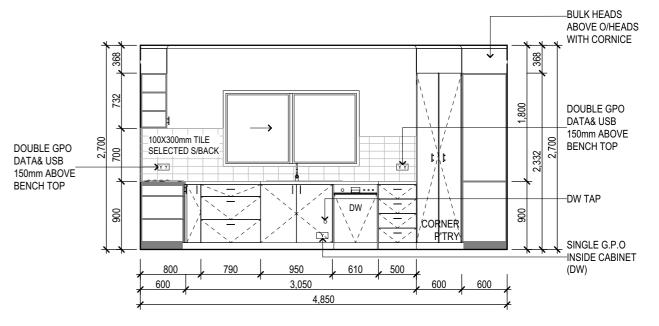
KITCHEN - ENLARGED FLOOR PLAN

SCALE 1:50



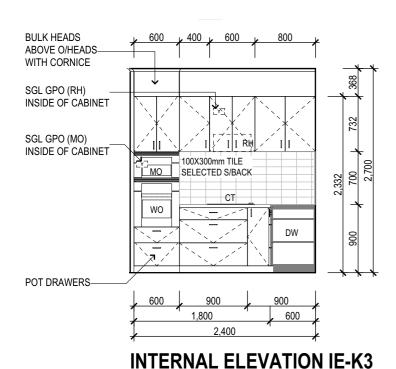
INTERNAL ELEVATION IE-K1

SCALE 1:50



INTERNAL ELEVATION IE-K2

SCALE 1:50



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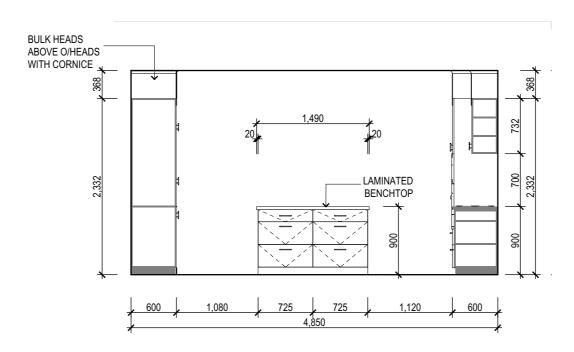
ALL JOINERY SHALL BE LAMINATED AS THE STANDARD UNLESS
OTHERWISE SPECIFIED

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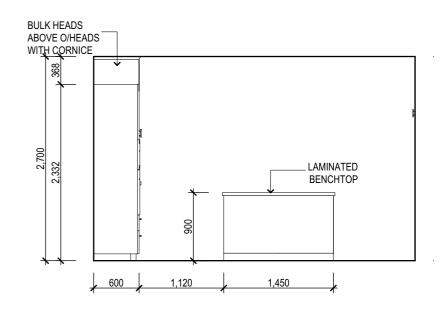
SCALE 1:50

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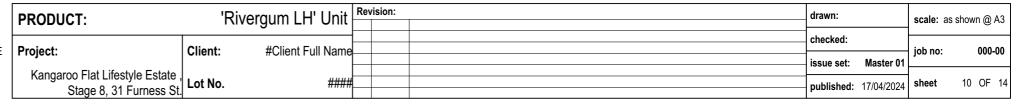
INTERNAL ELEVATION IE-K4

SCALE 1:50



INTERNAL ELEVATION IE-K5

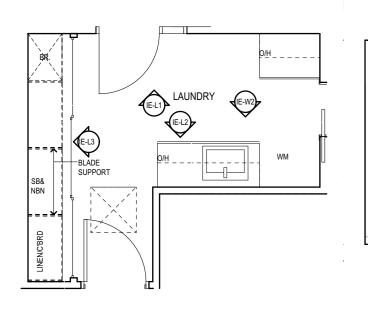
SCALE 1:50

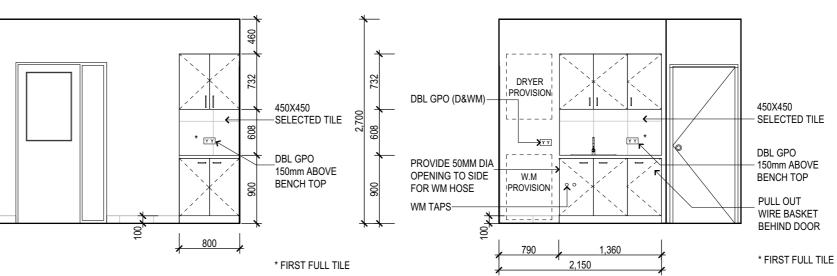


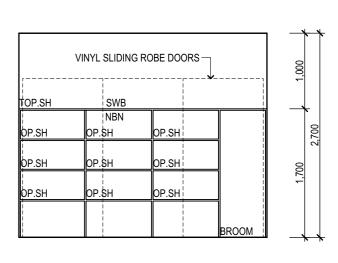


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LAUNDRY - FLOOR PLAN

SCALE 1:50

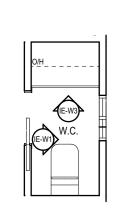
INTERNAL ELEVATION IE-L1

INTERNAL ELEVATION IE-L2

SCALE 1:50

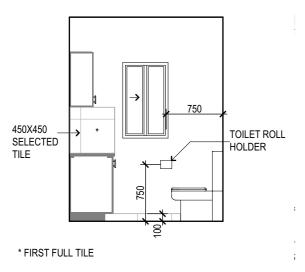
INTERNAL ELEVATION IE-L3

SCALE 1:50

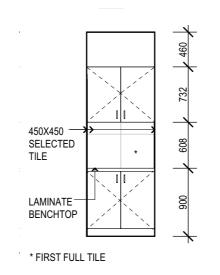


WC - FLOOR PLAN

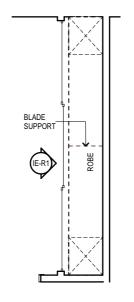
SCALE 1:50



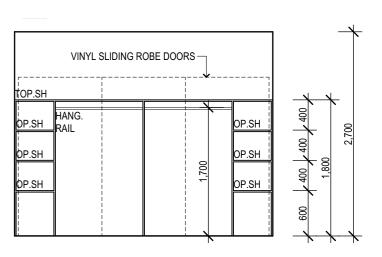








ROBE - FLOOR PLAN
SCALE 1:50



INTERNAL ELEVATION IE-R1

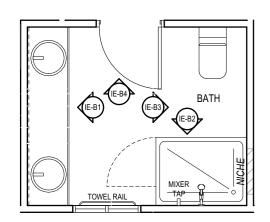
SCALE 1:50

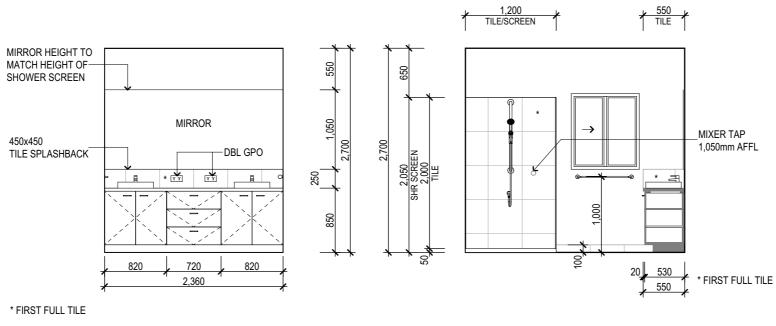
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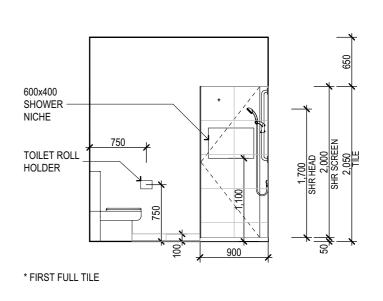


Level 16/390 St Kilda Rd, MelbourneVIC, 3004

PRODUCT: 'Rivergum LH' Unit			Revision:			drawn:		scale: as shown @ A3	
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Kangaroo Flat Lifestyle Estate , Stage 8, 31 Furness St.	Lot No.	####				published:	17/04/2024	sheet	11 OF 14







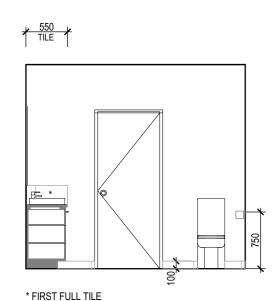
BATHROOM - FLOOR PLAN

SCALE 1:50

INTERNAL ELEVATION IE-B1

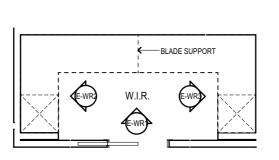
INTERNAL ELEVATION IE-B2 SCALE 1:50

INTERNAL ELEVATION IE-B3 SCALE 1:50



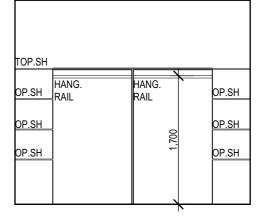


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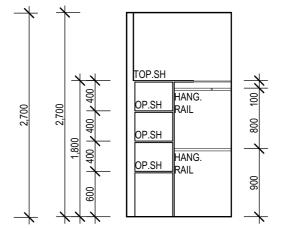


W.I.R. - FLOOR PLAN SCALE 1:50

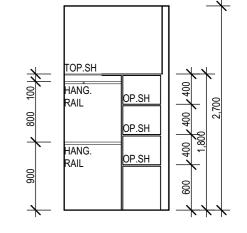
SCALE 1:50



INTERNAL ELEVATION IE-WR1 SCALE 1:50



INTERNAL **ELEVATION IE-WR2** SCALE 1:50



INTERNAL ELEVATION IE-WR3

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PRODUCT: 'Rivergum LH' Unit		Revision: d			drawn:		scale: as shown @ A3			
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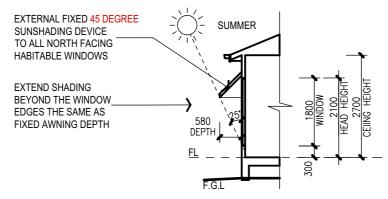
NORTH WINDOW EAVE DESIGN:

- A DEPTH OF 25% OF THE HEIGHT OF THE WINDOW. - AN OFFSET FROM THE TOP OF THE WINDOW TO THE UNDERSIDE OF THE EAVE EQIVALENT TO HALF THE DEPTH OF THE EAVE.
- TO AVOID THE TRIANGLES OF SUN ENTRY, IN SUMMER THE EAVE SHOULD EXTEND BEYOND THE SIDES OF THE WINDOW BY AT LEAST THE DEPTH PF THE EAVE ITSELF.
- ADDITIONAL SHADE FOR HOT DAYS IN SPRING & AUTUMN IS EFFECTIVELY PROVIDED WITH ADJUSTABLE SHADING DEVICES SUCH AS EXTERNAL BLINDS OR SHUTTERS. OR REMOVABLE SHADING OVER PERGOLAS. THESE ALLOW FULL WINTER SUN ACCESS, IN ADDITION TO FULL SUMMER SUN PROTECTION. - IF SHADE IS PROVIDED BY SHADE BATTENS ON A PERGOLA
- BATTENS SHOULDL BE SPACED SO THAT THE DISTANCE BETWEEN THEM IS NO MORE THAN THE HEIGHT OF THE BATTEN TO ENSURE COMPLETE SUN SHADE IN SUMMER.
- IF YOU USE DECIDUOUS VINES ON A PERGOLA TO PROVIDE EXTRA SHADE FOR NORTH WINDOWS IN SUMMER, MAKE SURE YOU TRIM THEM BACK AT THE END OF DAYLIGHT SAVING OR THEY WILL CAST TOO MUCH SHADE IN SPRING & AUTUMN.
- FIXED. ANGLED LOUVERS ON PERGOLAS HAVE ALSO BEEN PROMOTED BY PASSIVE SOLAR GUIDELINES IN THE PAST, BY SETTING THE ANGLE OF THE LOUVER TO THE WINTER MIDDAY SUN ANGLE THE LOUVERS WILL CAST MINIMAL SHADE IN THE MIDDLE OF THE DAY, HOWEVER, AS SOON AS THE SUN IS LOWER IN THE SKY E.D IN THE MORNING OR AFTERNOON IN WINTER OR IN SPRING & AUTUMN, THEY DO CAST SIGNIFICANT SHADE. EVEN IF THE ANGLE OF THE LOUVERS ARE ADJUSTABLE YOU NEED TO ADJUST THE ANGLE EVERY FEW HOURS TO MAXIMISE SUN INPUT IN COOL WEATHER.

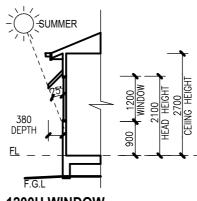
EAST & WEST WINDOWS:

- USE ADJUSTABLE EXTERNAL SHADING. FOR HORIZONTAL SHADING TO BE EFFECTIVE AT BLOCKING LOW ANGLED MORNING & AFTERNOON SUMMER SUN, IT NEEDS O HAVE A DEPTH OF AROUND TWICE THE WINDOW HEIGHT. THIS WILL SIGNIFICANTLY REDUCE SOLAR GAIN & DAYLIGHT IN WINTER.

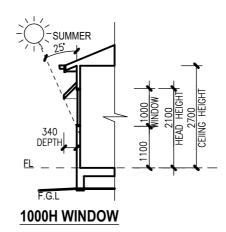
- WINDOWS THAT FACE NORTH-EAST OR NORTH-WEST ARE ALSO BEST SHADED BY ADJUESTABLE VERTICAL EXTERNAL SHADING DEVICES SUCH AS AWNINGS OR BLINDS.



1800H WINDOW



1200H WINDOW

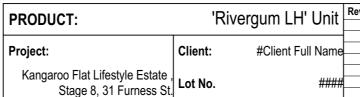


SHADING DEVICE LENGTH: TOP OF SILL TO U/S OF EAVE/SHADING **DEVICE X 45%** AS PER YOURHOME.GOV.AU

DETAIL 'SSD-F' - FIXED EXTERNAL SHADING DEVICE

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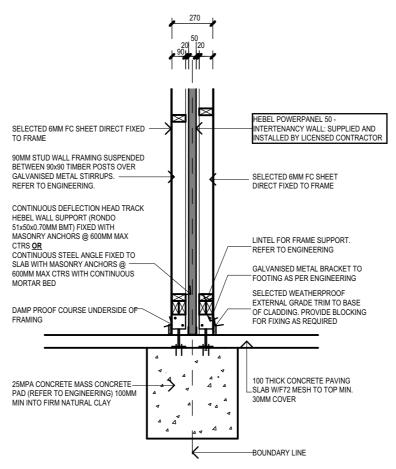
PICTURE 'SSD-A' - ADJUSTABLE **EXTERNAL SHADING DEVICE**

PRODUCT: 'Rivergum LH' Unit			Revision:			drawn:		scale: as shown @ A3		
Project:	Client:	#Client Full Name				checked:		job no:	000-00	
Kangaroo Flat Lifestyle Estate , Stage 8, 31 Furness St.	Lot No.	####				published:	Master 01 17/04/2024		13 OF 14	

BOUNDARY LINE BRADFORD FIRESEAL PARTI-WALL SEALER WITH 10% COMPRESSION TO COMPLETELY FILL ALL GAPS - WALL BRACKETS - BOTH SIDES SELECTED COLORBOND CORRUGATED ROOFING @ 5° PITCH OVER 70x35 TIMBER BATTENS @ MAX. 600MM SPACING OVER RAFTERS (R1) 190x45 @ MAX 600MM SPACING & MAX 50MM 225W x 100H GALVANISED BOX GUTTER - OVER 20MM GUTTER BOARDS. WALL TO RAINWATER HEADS WAI ING PLATE & VERANDA REAM (R1) 90MM STUD WALL FRAMING SUSPENDED BETWEEN 90x90 TIMBER POSTS OVER - GALVANISED METAL STIRRUPS. REFER TO ENGINEERING. INTERTENANCY WALL: SUPPLIED AND INSTALLED BY LICENSED CONTRACTOR

60/60/60 CARPORT FIRE SEPERATION PARAPET / WALL

SCALE 1:20



TERMITE NOTE: ALL TIMBER FRAMING TO BE STRESS **GRADED TREATED PINE TO AS 3660.1** NON-COMBUSTIBLE CONSTRUCTION REQUIREMENTS FOR EXTERNAL WALL WITHIN 400MM PROXIMITY TO CARPORT ROOF WALL PLATE TO ENGINEER'S DESIGN EXTERNAL CLADDING TO SEPARATE ATTACHED CARPORT FROM WALL OF UNIT **CARPORT ROOF TO**

DWELLING WALL DETAIL

- BAL 12.5 AS3959-2018

IMPORTANT NOTE:

DETAILS ARE STANDARD. GENERIC & INDICATIVE ONLY.

(REFER TO MANUFACTURER'S DETAILS & SPECIFICATIONS FOR FURTHER INFORMATION)



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60/60/60 CARPORT FIRE SEPERATION

WALL TO FOOTINGS **SCALE 1:25**

PRODUCT: 'Rivergum LH' Unit			Revision:				drawn:		scale: as shown @ A3	
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