

# Addition to 409 Aspen Ln

409 Aspen Ln  
Covington, LA 70433

general	
q001	Cover

architectural demolition	
ad050	Existing Site Plan
ad100	Demolition Notes
ad101	First Floor Demolition Plan
ad102	Second Floor Demo Plan
ad103	ELEVATION PLANS
ad104	ELEVATION PLANS

architectural	
a050	Site Plan
a101	First Floor Proposed Plan
a102	Second Floor Proposed Plan
a111	Reflected Ceiling Plan
a121	Roof Plan
a150	Schedules
a201	Exterior Elevations
a202	Exterior Elevations
a301	Building Sections

these plans have been prepared by me or under my direct supervision. This project will not be built under my supervision.



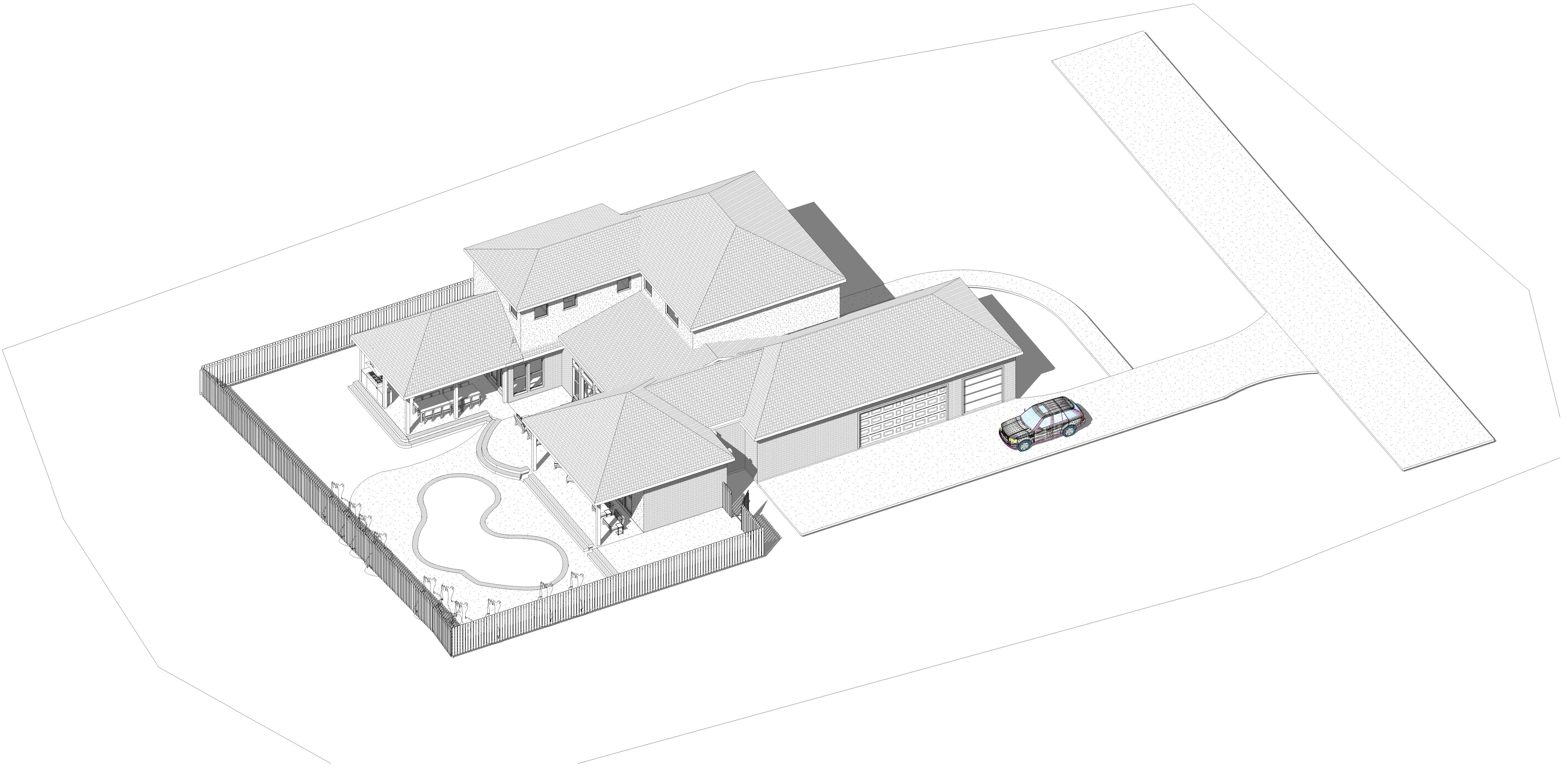
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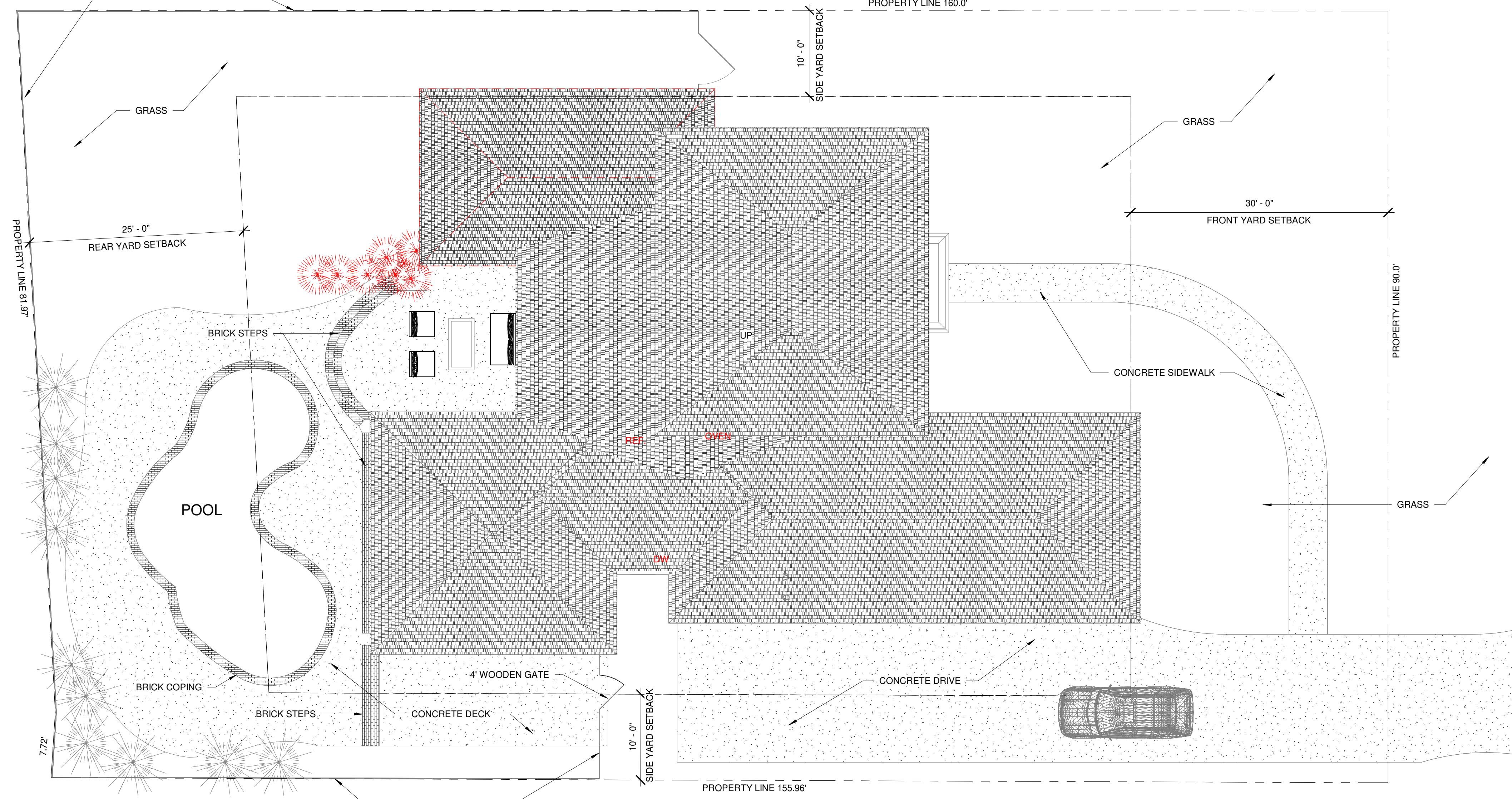
# Addition to 409 Aspen Ln

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# Cover

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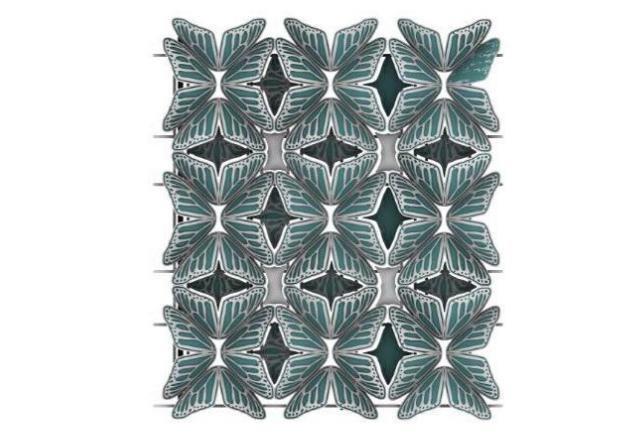




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**1 EXISTING SITE PLAN**

ad050



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# Addition to 409 Aspen Ln

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## Existing Site Plan

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## general notes:

design criteria - international residential building code [irc] 2009 edition  
design wind speed - 130 mph exposure category 'b'  
[framing and fasteners shall comply with american forest and paper association [af & pa ]  
wood frame construction manual for one and tow family dwellings [wfcm]

## general framing notes:

- all wood framing, fabrication and erection shall conform to the national design specification for wood construction wfcm / sstd-10 the plywood design specification by the apa and meet the requirements below. unless otherwise noted, all wood connections shall be in accordance with the 2009 residential building code for 130 mph wind speed.
  - all lumber in contact with concrete or masonry shall be treated.
  - all framing lumber shall be southern yellow pine, s4s no.2 maximum moisture content 15%, stud walls and partitions shall be sized as follows:
    - exterior wall 2x4 studs @ 16" o.c.  
first floor partitions 2x4 studs @ 16" o.c.  
second floor partitions 2x4 studs @ 16" o.c.  
wet walls 2x6 studs @ 16" o.c.
  - block all studs at mid-height
  - floor, attic, and roof framing shall be of sizes as indicated on framing plans. provide wood cross bridging where indicated on drawings or when joist spans exceed eight [8] feet. located [3] 2x12 beams below bearing walls of floor above and/or as indicated on framing plans. beams shall bear on entire width of bearing top plates. locate three [3] studs at beam bearing points below double top plate or as shown on plans [ see framing note #14] provide wood collar braces at 48" o.c. roof rafters 24" below crown of roof.
  - plywood sub-floor apa rated 48/24, 3/4" thick tongue and groove. glued and nailed to floor joists with 8d nails spaced at 6" o.c. at panel edges and 12" o.c. at intermediate supports. [typical for 2 story home only.]
  - plywood roofing - apa 24/0, 5/8" thick nail with 8d nail spaced at 6" o.c. at panel edges and 12" o.c. at intermediate supported. provide ply clips at unsupported edges between roof joist. nail shingles with 6 nails per shingle.
  - wind bracing - provide apa rated 1/2" stormguard o.s.b. by norbord. nail edges with 8d nail at 4" o.c. at panel edges and 12" o.c. at intermediate supports. provide solid blocking at all panels.
  - coordinate framing with hvac, electrical, and plumbing requirements.
  - ceiling heights:  
first floor see arch drawings  
second floor see arch drawings
  - joist hangers shall be 16 gauge type 'u' as manufactured by simpson strong tie co. install joist hangers in strict accordance with the manufacturer's specifications. use joist hangers for beams and joists which frame to beams at the same elevation. joist hangers shall be the same size as member supported.
  - opening header schedule:  
first floor 2 2x12's  
second floor (2) 2x10 @ 3'-0" to 6'-0" openings  
(2) 2x6's @ openings less than 3'-0"
  - bore holes 2" clear from top to bottom edge of joist, not larger than 1 1/4" in dia and not in middle of span.
  - strap all plates cut away for plumbing with 1 1/2" wide no. 24 gauge galv. straps 18" long, both sides of wall - spiked to plates.
  - provide stud posts made up of multiple studs beneath end bearing of beams as shown on framing plan. nail each stud to adjacent stud in post with 16d nails at 12 in o.c. [on stud center line] and within 3" of each end. cut studs carefully to insure full and complete bearing top to bottom.
  - brick lintels above openings shall be 5"x3 1/2" x 1/4" galv. steel angles with 8" min. bearing each side unless noted or detailed otherwise on the drawings.
  - all windows and glazed openings shall be provided with anchorable pre-cut, numbered, 5/8" plywood storm covers and attachment hardware.
  - provide hurricane straps between wall framing and base plate and between wall framing top plate and roof framing for continuous load path connection.
  - provide simpson column caps to connect exterior columns to roof beams and simpson post bases [or approved equal] to connect exterior columns to foundation.

## scope of work

1. remove existing carport and laundry room including foundation.
  2. construct new 2 car garage, new master suite, expanded living room, and new covered rear porch. all on new foundation and tie-in new addition to existing roof



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## demolition notes:

1. perform demolition work in accordance with applicable rules, regulations, codes, and ordinances of local, state, and federal authorities, and in accordance with the requirements of public utility corporations having jurisdiction over the work.
  2. ANSI A10.6. 'safety requirements for demolition' shall govern except as otherwise specified herein. where the requirements specified herein or contained in the ANSI standard differ form the applicable rules, regulations, and codes, the more stringent requirements shall govern the work under this contract.
  3. the owner assumes no responsibility for the condition of the structures to be demolished. examine the existing conditions prior to commencement of the work, as far as it is practical.
  4. provide and maintain temporary protection of existing structures designated to remain, where demolition, removal, and new work is being done, materials handled or being moved.
  5. provide warning signs and all other items as required for the proper protection of workmen engaged in demolition operations, the public and adjacent construction.
  6. provide adequate fire protection in accordance with the local fire department requirements.
  7. do not close or obstruct streets or sidewalks without the proper permits. conduct operations with the minimum traffic interference.
  8. make such explorations and probes as are necessary to ascertain any required protective measures before proceeding with demolition and removal work. give particular attention to shoring and bracing requirements so as to prevent any damage to existing conditions.
  9. do not close or obstruct walkways, passageways or stairways without the authorization of the owner. do not store or place materials in passageways, stairs or other means of egress.
  10. in general, demolish masonry in small sections. where necessary to prevent the collapse of any construction, install temporary shores, struts, and bracing.
  11. DEMOLITION AND REMOVAL WORK SHALL BE AS SHOWN ON THE DRAWINGS AND AS REQUIRED TO MAKE WAY FOR NEW CONSTRUCTION. DO ALL SUCH WORK REQUIRED IN CONNECTION WITH THIS PROJECT WITH DUE CARE, INCLUDING SHORING, BRACING, ETC. BE RESPONSIBLE FOR SUCH DAMAGE WHICH MAY BE CAUSED BY SUCH WORK OR PARTS OF THE EXISTING STRUCTURE AND BUILDING SERVICES.
  12. MATERIALS AND/OR ITEMS DESIGNATED ON DRAWINGS ARE TO REMAIN THE PROPERTY OF THE OWNER AND SHALL BE REMOVED WITH CARE AND STORED ON THE SITE DESIGNATED BY THE OWNER.
  13. MATERIALS AND/OR ITEMS DEMOLISHED AND NOT DESIGNATED TO BECOME THE PROPERTY OF THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE OWNER'S PROPERTY.
  14. TAKE PRECAUTIONS TO GUARD AGAINST MOVEMENT OR COLLAPSE OF ANY DESIGNATED CONSTRUCTION OR EQUIPMENT DESIGNATED TO REMAIN, AND BE LIABLE FOR SUCH MOVEMENT OR COLLAPSE.
  15. UPON COMPLETION OF ALL WORK UNDER THIS SECTION, REMOVE ALL TOOLS, MATERIALS, PLANT APPARATUS AND RUBBISH OF ANY SORT. THE PREMISES SHALL BE LEFT BROOM CLEAN.

- THE GENERAL CONTRACTOR SHALL DO ALL CUTTING, FITTING,  
PATCHING WORK THAT MAY BE REQUIRED TO MAKE ALL  
TS COME TOGETHER PROPERLY, AND FIT TO RECEIVE OR BE  
EIVED BY WORK OF OTHER CONTRACTORS, AS SHOWN UPON  
EASONABLY IMPLIED BY THE DRAWINGS AND NOTES.

THE GENERAL CONTRACTOR SHALL PROVIDE ALL FLOOR  
OUTS AND PATCHING REQUIRED FOR THE INSTALLATION OF  
WORK.

THE GENERAL CONTRACTOR SHALL SURVEY ALL EXISTING  
HED SURFACES INCLUDING CORNER BEADS, STOPS, ETC., FOR  
S, CRACKS, HOLES, DAMAGED SURFACES, WHEREVER DOOR  
KS HAVE BEEN REMOVED, AND ANY OTHER DEFECTS CAUSING  
PPEARANCE DIFFERENT FROM A NEW FIRST CLASS FINISHED  
ALLATION. THESE DEFECTIVE SURFACES SHALL BE REPAIRED,  
BEYOND REPAIRING, THEN THE GENERAL CONTRACTOR  
LL REMOVE ALL EXISTING AND INSTALL NEW SURFACES TO THE  
SFACTION OF THE ARCHITECT.

LL OTHER DAMAGED SURFACES (FINISHED FLOOR, CEILING,  
SHALL BE REPAIRED TO THE SATISFACTION OF THE  
HITECT.

LL DAMAGED EXISTING AREAS TO REMAIN AND EXISTING  
AS AFFECTION BY DEMOLITION OR NEW CONSTRUCTION WORK  
WN ON DRAWINGS SHALL BE PATCHED AS REQUIRED TO  
CH IMMEDIATE EXISTING ADJACENT AREAS IN MATERIALS, FIRE  
NG, FINISH, AND COLOR, UNLESS OTHERWISE NOTED.

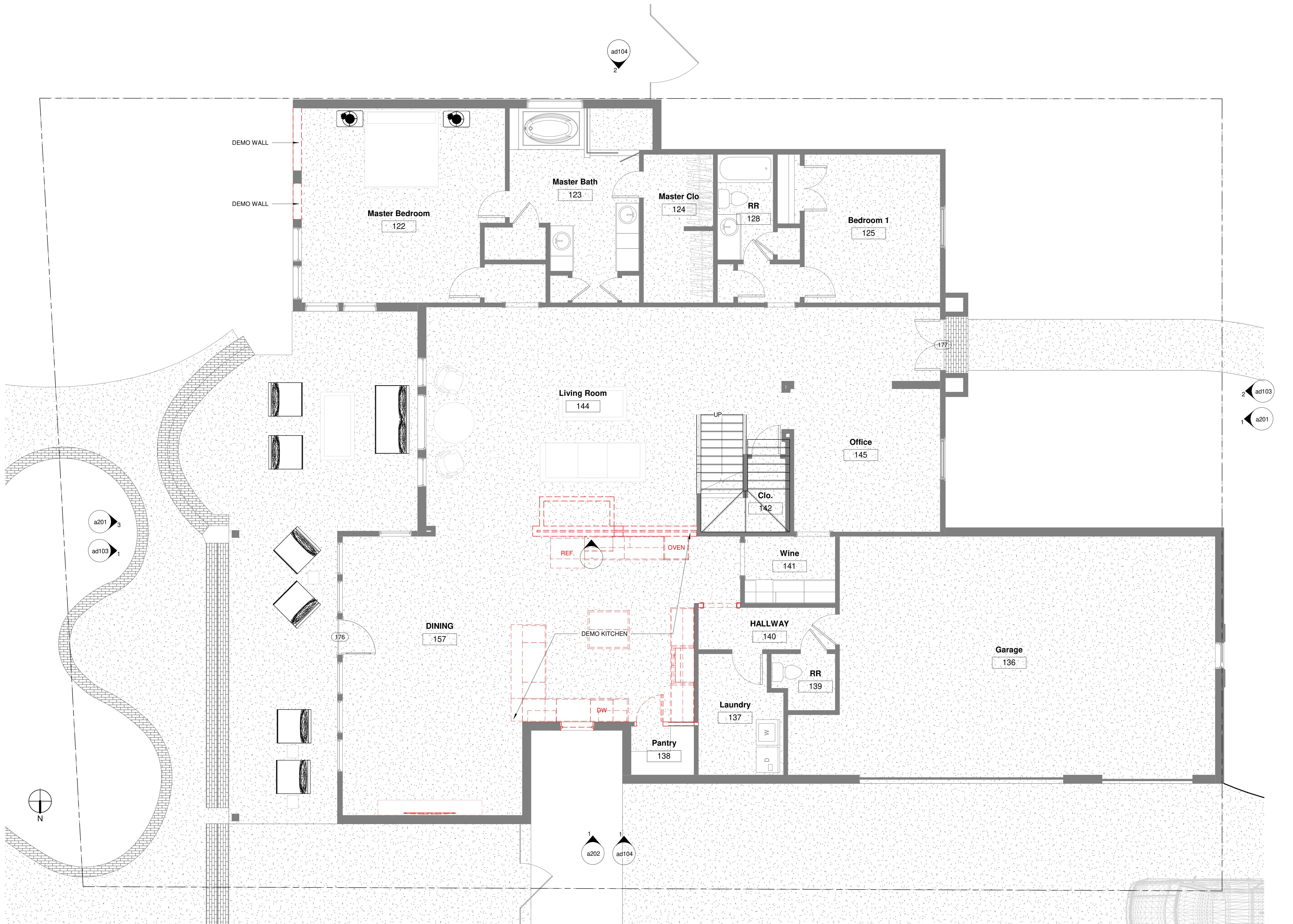
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# Demolition Notes

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**1 FIRST FLOOR DEMOLITION PLAN**

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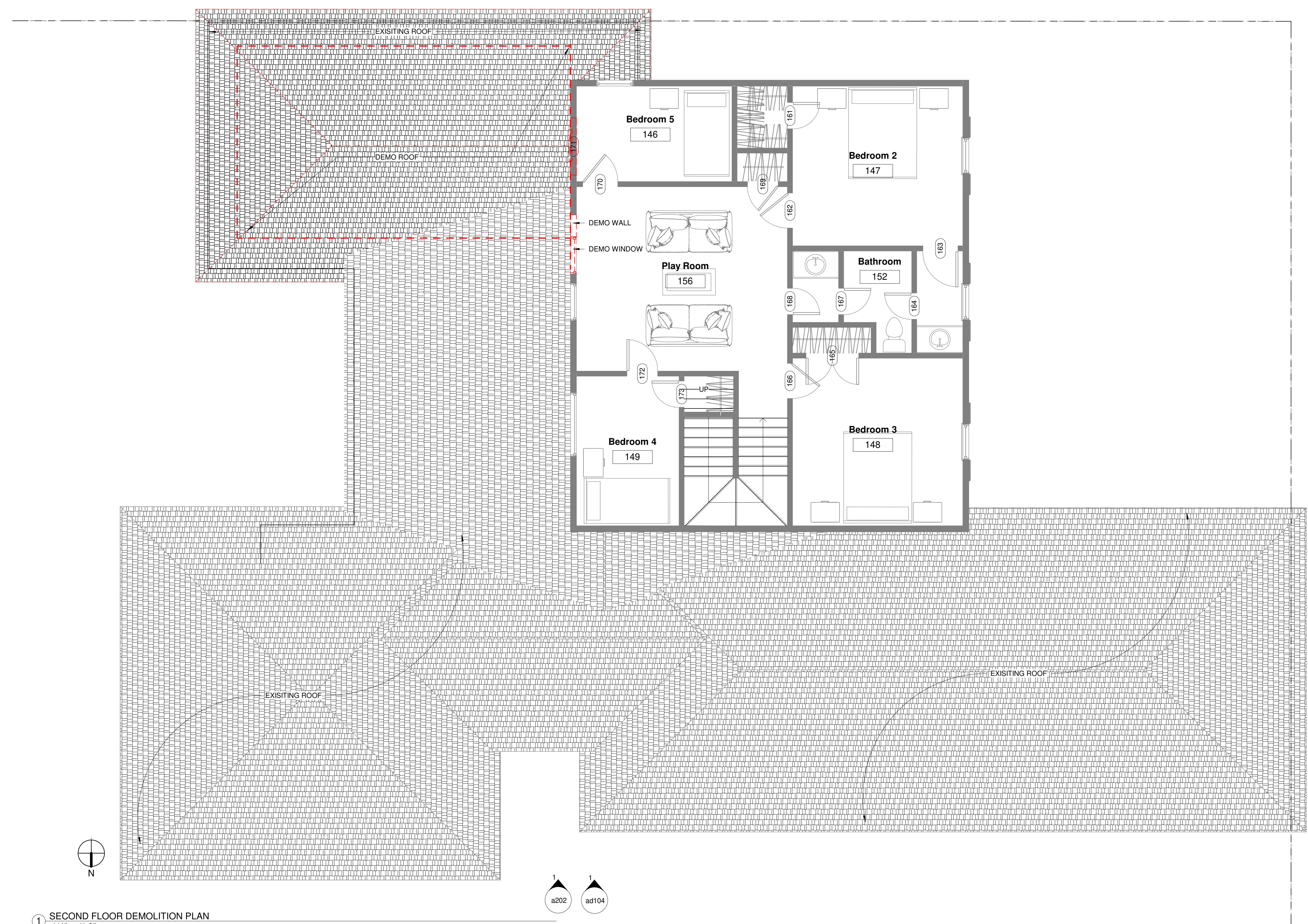
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# First Floor Demolition Plan

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**1** SECOND FLOOR DEMOLITION PLAN  
1/4" = 1'-0"

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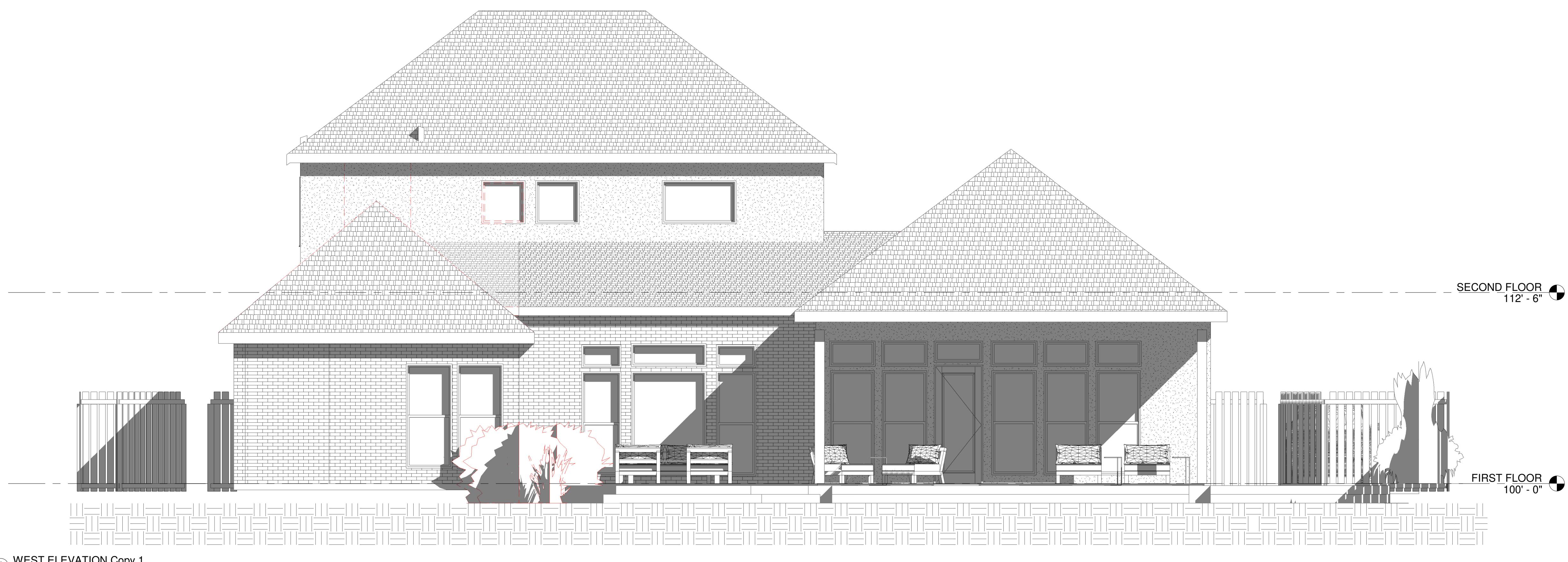
# Second Floor Demo Plan

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# ad1 02



**EAST ELEVATION Copy 1**



1 WEST ELEVATION Copy 1  
1/4" = 1'-0"

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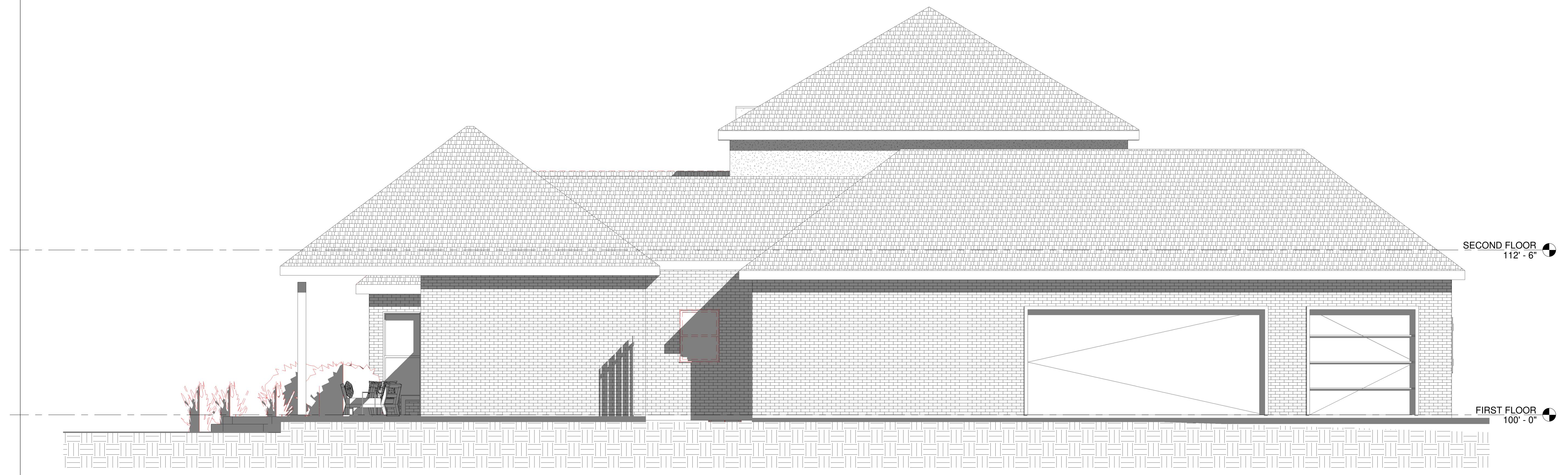
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# ELEVATION PLANS

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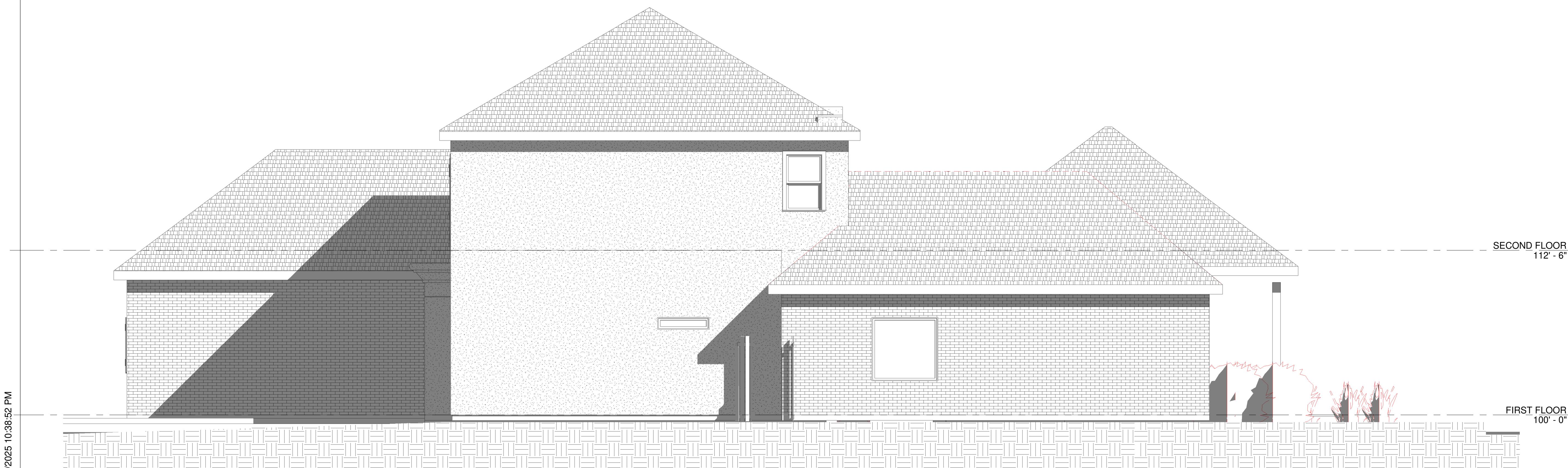
1 NORTH ELEVATION Copy 1  
1/4" = 1'-0"

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# ELEVATION PLANS

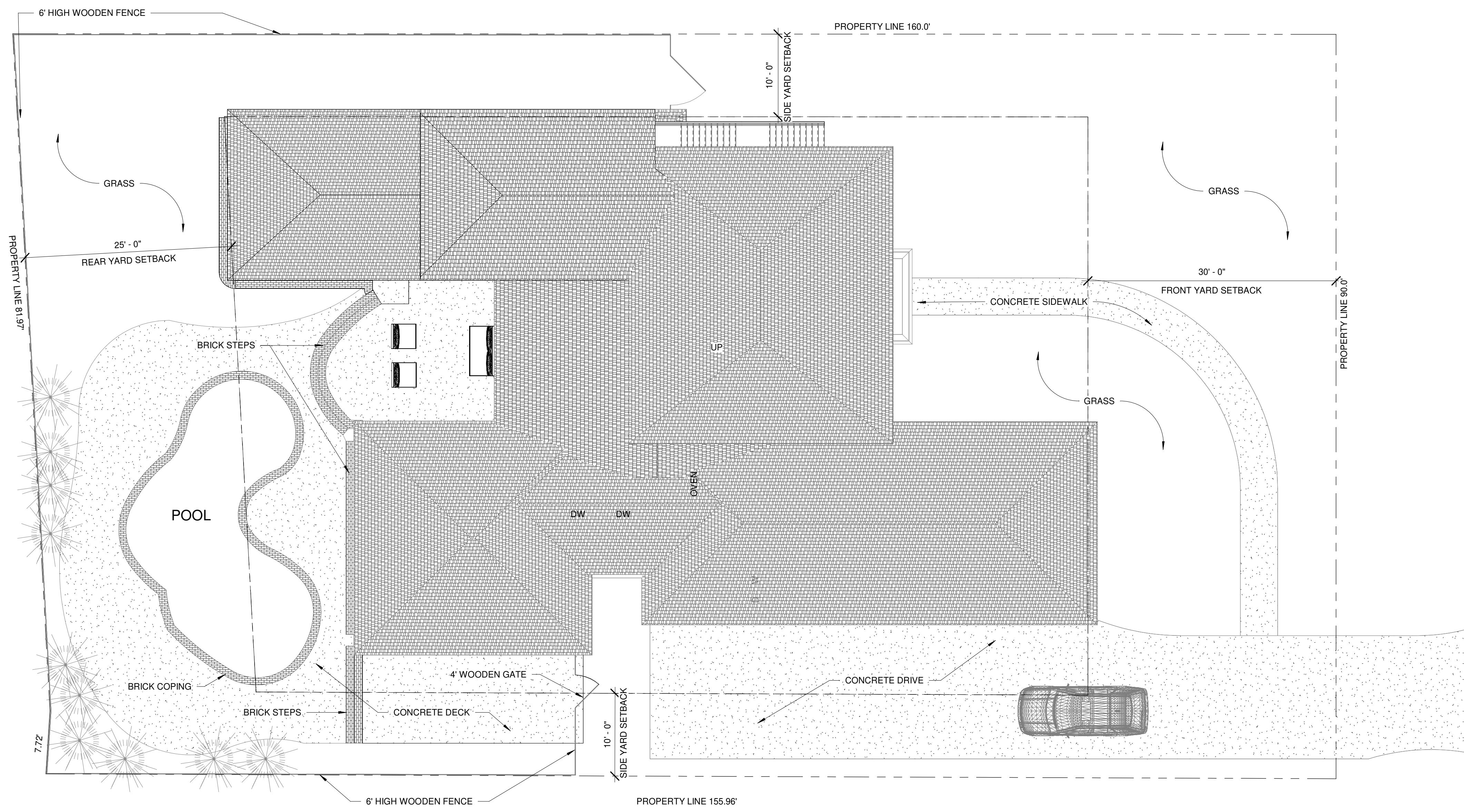


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**2** SOUTH ELEVATION Copy 1  
1/4" = 1'-0"

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**1 EXISTING SITE PLAN**

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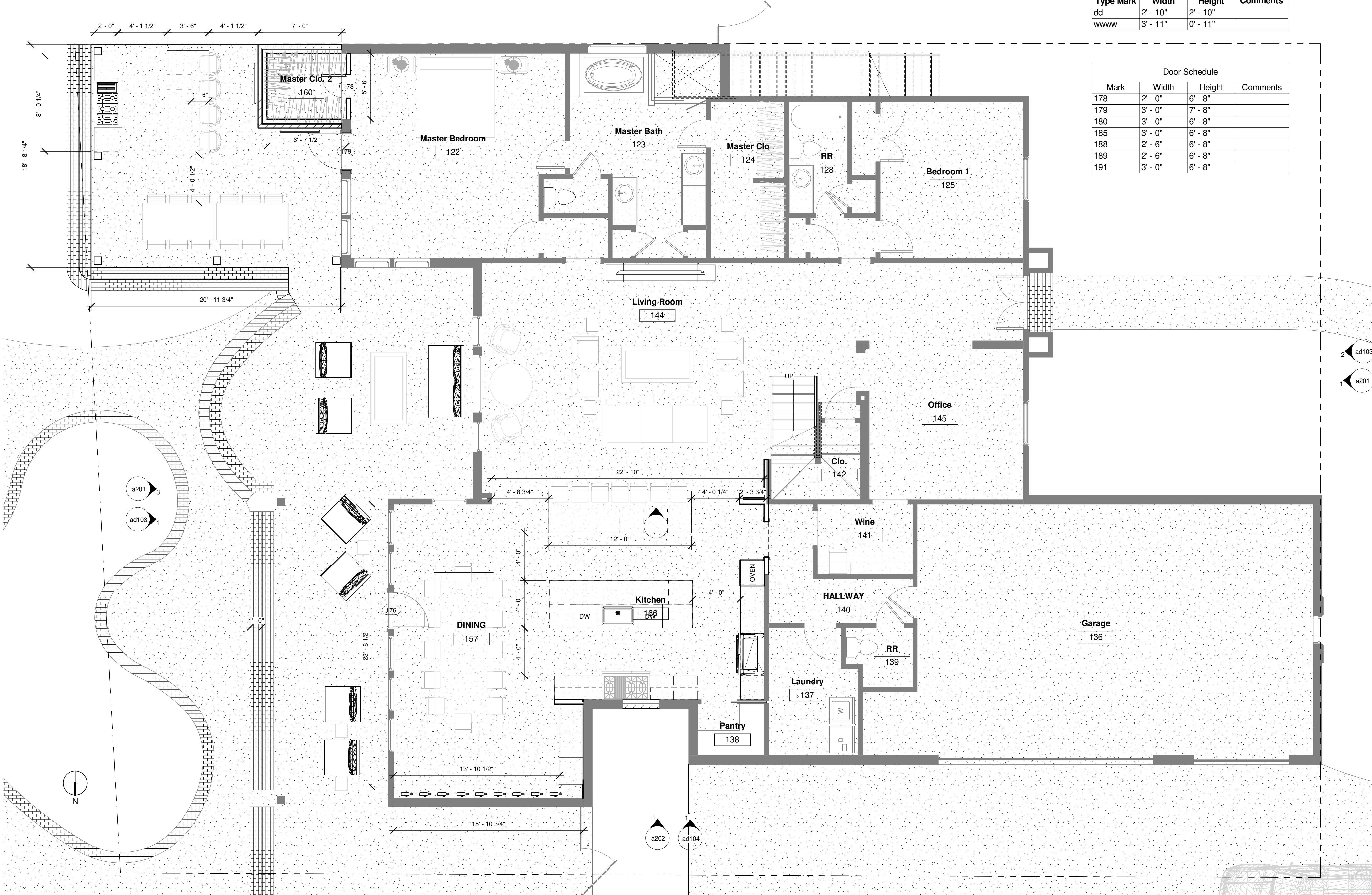
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# Site Plan

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# First Floor Proposed Plan

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**1** SECOND FLOOR PROPOSED PLAN

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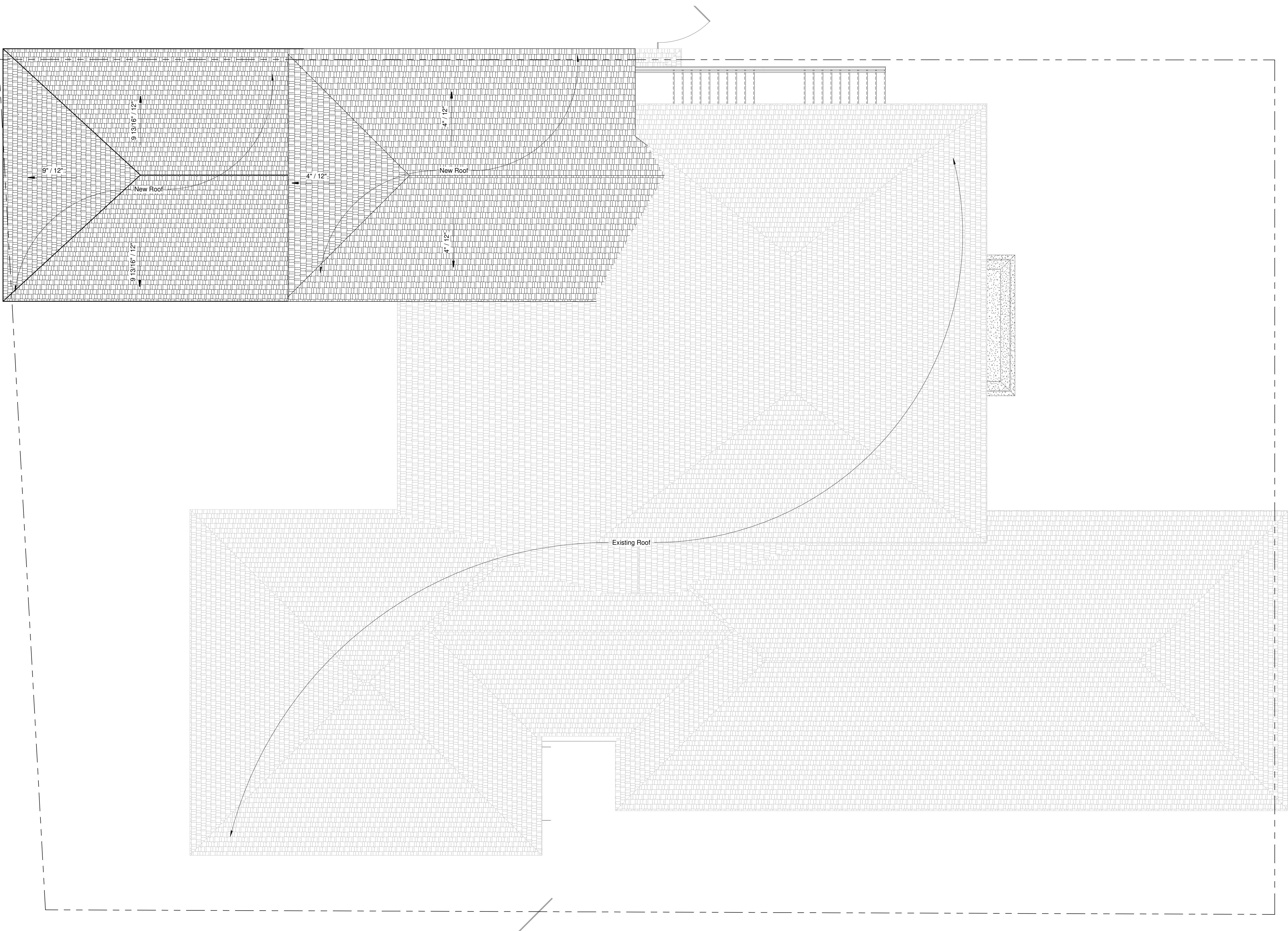
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# Second Floor Proposed Plan

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**1** roof  
1/4" = 1'-0"

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# Roof Plan

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**EAST ELEVATION**

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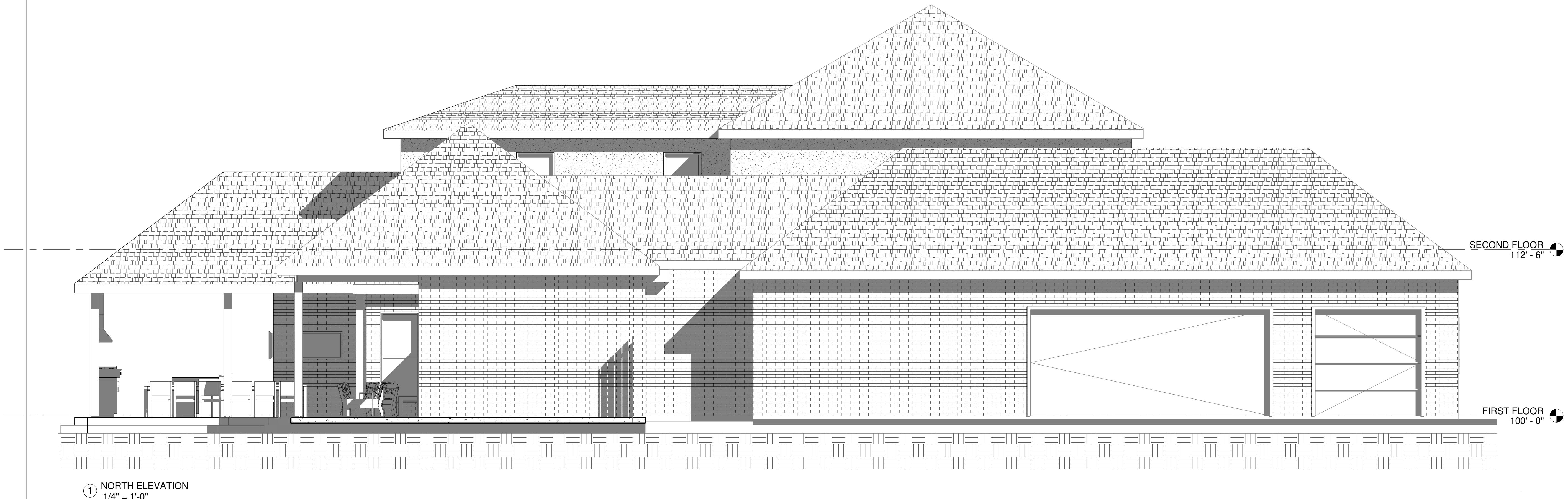
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# Exterior Elevations

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**1** NORTH ELEVATION  
1/4" = 1'-0"

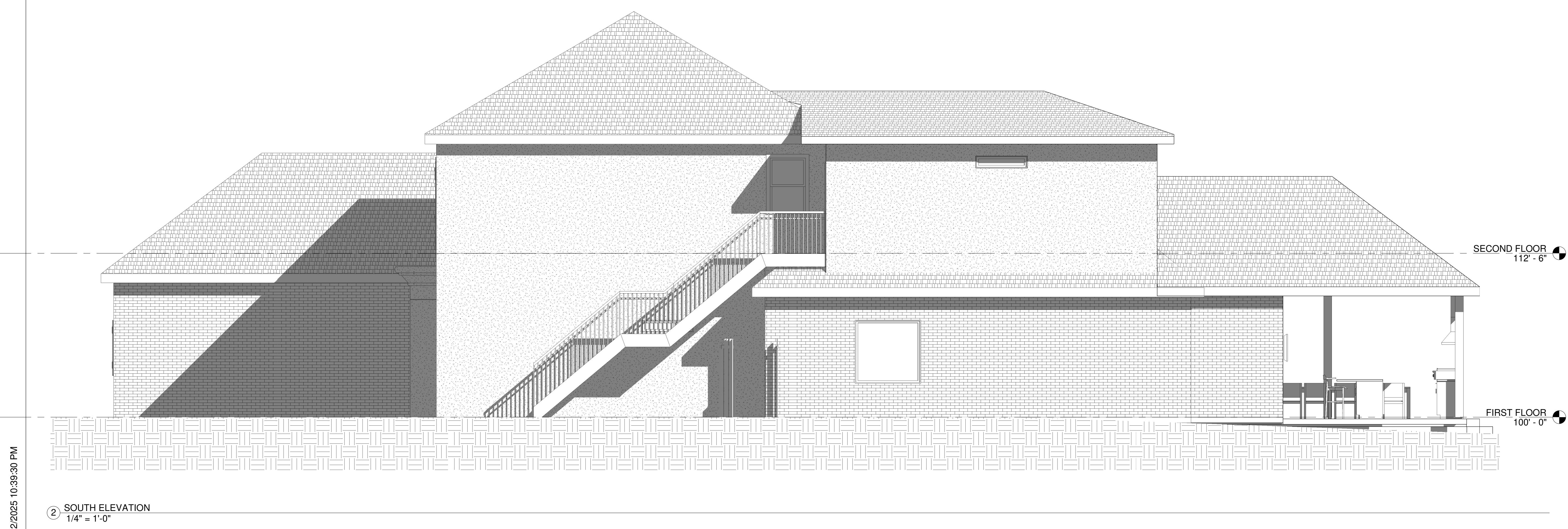
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# Exterior Elevations

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**SOUTH ELEVATION**

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