

NEW CONSTRUCTION

Burdette St

GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION.
 2. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE AIA GENERAL CONDITIONS FOR CONSTRUCTION.
 3. SHOULD THE GENERAL CONTRACTOR (G.C.) DISCOVER ANY DISCREPANCIES OR AMBIGUITIES OF DATA THAT CAUSE DOUBT AS TO THE MEANING OF ANY DRAWINGS OR SPECIFICATIONS, THE G.C. SHALL NOTIFY THE ARCHITECT, AND REQUEST CLARIFICATION PRIOR TO PROCEEDING.
 4. ALL WORKMAN EMPLOYED BY THE G.C. OR ANY SUBCONTRACTORS SHALL BE SKILLED AT THE WORK TO WHICH HE IS ASSIGNED. ALL TRADES MUST PROVIDE EVIDENCE OF WORKMAN'S COMPENSATIONS AND LIABILITY INSURANCE IN FORCE.
 5. ALL MATERIAL STORED ON THE SITE SHALL BE ADEQUATELY PROTECTED AGAINST DAMAGE FROM OTHER WORK IN PROGRESS. REPAIR OF COMPLETED WORK DAMAGED IN THE COURSE OF THE PROJECT WILL BE THE G.C.'S RESPONSIBILITY AT NO COST TO
 6. AFTER MAKING REMOVALS, RELOCATIONS, ADDITIONS, ETC., TO EXISTING ELEMENTS, SURFACES AND FINISHES THAT DESTROY THOSE SURFACES AND FINISHES, PATCH SUCH ELEMENTS, AND MATCH SUCH FINISHES TO PREEXISTING ADJACENT CONDITIONS. THIS PATCHING WORK IS CONSIDERED PART OF THE PROJECT.
 7. THE PROJECT SITE IS TO BE KEPT REASONABLY CLEAN AT ALL TIMES. LOOSE TRASH IS TO BE CONTAINED AND EMPTIED OFF THE SITE WHEN FULL. PAINT SPOTS AND EXCESS CAULKING ARE TO BE REMOVED.
 8. UPON COMPLETION OF THE WORK, THE G.C. IS RESPONSIBLE FOR THE FINAL ADJUSTMENTS OF WINDOWS, DOORS, HARDWARE, DEVICES, AND THOSE ITEMS DEEMED BY THE ARCHITECT TO MAKE THE PROJECT HABITABLE.
 9. THOSE ITEMS NOT NOTED, BUT IMPLIED AS NECESSARY FOR THE COMPLETION OF THE WORK ARE TO BE PART THEREOF. THE G.C. SHALL VERIFY ALL DIMENSIONS, QUANTITIES, AND
 10. APPROVAL OF MINOR CHANGES OR CLARIFICATION TO PLANS MAY BE ACCOMPLISHED BY ISSUANCE OF REVISED PLANS, PARTIAL SKETCH, OR INITIALING AND DATING OF CHANGE BY THE ARCHITECT ON THE EXISTING PLANS.
 11. UNLESS OTHERWISE NOTED, ALL EXPOSED NEW AND EXISTING ELECTRICAL, MECHANICAL, PLUMBING, AND COMMUNICATIONS LINES, DUCTS, PIPES, UNITS AND DEVICES ARE TO PRIMED AND PAINTED THE SAME COLOR AS THE WALL AND/OR CEILING SURFACE ON WHICH THEY RUN, OR ARE TO BE LOCATED ON, IN ORDER TO BLEND IN.
 12. ALL WORK MUST BE LEVEL AND/OR PARALLEL TO EXISTING ELEMENTS AS SHOWN ON DRAWINGS.
 13. THE ARCHITECT AND/OR DESIGNER HAS NO RESPONSIBILITY FOR ANY ACTIONS OR OMISSIONS OF THE G.C., OR HIS SUBCONTRACTORS, OR THE FAILURE OF THEM TO PERFORM WORK ACCORDING TO THE CONTRACT DOCUMENTS.
 14. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LABOR AND MATERIALS AND MAKE GOOD ANY DEFECTS THEREIN WHICH ARE DISCOVERED OR OCCUR WITHIN ONE YEAR AFTER THE COMPLETION OF THE PROJECT. HE SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY MATERIAL OR EQUIPMENT CONSIDERED PART OF THE CONTRACT AND UNDER GUARANTEE PERIODS SPECIFICALLY NOTED BY THE MANUFACTURER THEREOF.
 15. THE CONTRACTOR'S COST IS TO INCLUDE THE REMOVAL, TEMPORARY DISCONNECTION, RELOCATION, AND/OR REROUTING OF ALL EXPOSED ELECTRICAL, MECHANICAL, PLUMBING, AND COMMUNICATION LINES, DUCTS, PIPES, UNITS, AND DEVICES, WHETHER SPECIFICALLY NOTED OR NOT IN THE CONTRACT DOCUMENTS, IN ORDER TO INSTALL, INSERT, OR PASS BY A SPECIFIED NEW OR RELOCATED EXISTING LINE, DUCT, CIRCUIT, PIPE, AND/OR DEVICE AS REQUIRED BY THE CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXPOSED EXISTING STRUCTURAL, ELECTRICAL, MECHANICAL, AND PLUMBING CONDITIONS AND AND INTERFERENCES PRIOR TO BIDDING, AND INCLUDE IT AS PART OF THE COST OF THE NEW WORK.
 16. ALL JOINT SURFACES SHALL BE FREE OF ANY SUBSTANCE OR MATERIAL THAT WOULD PREVENT THE PROPER ADHESION OF THE CAULKING UPON APPLICATION OR WOULD CAUSE FAILURE OF THE CONNECTION BETWEEN THE CAULKING AND THE WALL JOINT. ALL CAULKING LINES ARE TO BE EVEN, SMOOTH, AND STRAIGHT.
 17. ALL NOTES ON ALL DRAWINGS OF THE ARCHITECT, ENGINEER, AND DESIGNER'S DRAWINGS AND PLANS ARE TO BE CONSIDERED PART OF THE CONTRACT DOCUMENTS.
 18. ALL BUILDING AREAS ARE TO BE BROOM SWEPT EACH NIGHT BEFORE THE AUTHORIZED CONTRACTORS LEAVE. THE PREMISES IS TO BE KEPT CLEAN DURING ALL TIMES CONSTRUCTION IS UNDERWAY.
 19. NO EQUIPMENT OR MATERIALS ARE TO BE LEFT OR STORED IN ANY PUBLIC OR COMMON AREAS OF THE BUILDING.
 20. NO CUTTING OR CHANNELING OF BUILDING STRUCTURE SHOULD BE PERMITTED FOR ANY WORK OF ALTERATION INCLUDING FOR RUNS OF PIPING OR ELECTRICAL CONDUIT.
 21. PLUMBING AND ELECTRICAL WORK SHOULD BE PERFORMED BY LICENSED

Key to Symbols

	Interior Elevation	structural
	Detail	s101 GRADE BEAM PLAN
	Sheet Location	s102 PEIR PLANS
		s103 SILL PLANS
		s104 SKID PLANS
		s105 FIRST FLOOR FRAMING PLANS

 Match Line

ROOM
NAME _____ ROOM NAME
 RM # _____ ROOM #

===== EXIST. WALL TO REMAIN

==== EXIST. WALL TO BE REMOVED

 # WALL TYPES

 x100b EXISTING DOOR TO BE MODIFIED

 100b NEW DOOR

 SD HARD WIRED SMOKE DETECTOR

 EXHAUST FAN ABOVE

 EMERGENCY LIGHT ABOVE

 EXIT SIGN

 FD FLOOR DRAIN

 1 HR FIRE RATED

Abbreviations

Acoust Tile	Acoustical Ceiling Tile	LAV	Lavatory
ADJ	Adjacent	MFT/MFGR	Manufacturer (ed)
ADJUST	Adjustable	MTL	Material
AFF	Above Finish Floor Slab	MAX	Maximum
BD	Board	MECH	Mechanical
BLDG.	Building	MET	Metal
BLK	Block	MIN	Minimum
BOT	Bottom	MISC	Miscellaneous
CAB	Cabinet	MT/MTD	Mount (ed) (ing)
CLG	Ceiling	NAT	Natural
CLR	Clear(ance)	NOM	Nominal
CONT	Continuous	NIC	Not in Contract
COL	Column	NTS	Not to Scale
DEM	Demolish	OC	On Center
DET	Detail	OPG	Opening
DIA	Diameter	PAN	Panel (s)
DIM	Dimension	PLAS LAM	Plastic Laminate
DWG	Drawing	PLYWD	Plywood
ELECT	Electric	PTD	Paint (s)
ELEV	Elevation	PR	Pair
EQ	Equal	R	Riser
EQUIP	Equipment	R/RAD	Radius
EXIST	Existing	RE	Reference
FD	Field Dimension	REFRIG	Refrigerator
FF	Factory Finish	RESIL	Resilient
FIN	Finish (ed)	REV	Revised (Revision)
FL	Floor	RM	Room
FLOOR	Fluorescent	SEC	Section
FPSC	Fireproof Self Closing	SHT	Sheet
GA	Gage	SIM	Similar
GL	Glass	SPEC	Specification
GYP BD	Gypsum Board	S.S.	Stainless Steel
HWD	Hardware	STOR	Storage
HARDWD	Hardwood	T	Tread
HM	Hollow Metal	TEL	Telephone
HT/HGT	Height	THK	Thickness
HOR	Horizontal	TYP	Typical
INCL	Include (d) (ing)	VEN	Veneer
INS	Insulate (d) (ion)	VERT	Vertical
INT	Interior	VIN	Vinyl
INTM	Intermediate	VAT	Vinyl Asbestos Tile
JT	Joint	W/	With
LBL	Label	WD	Wood
LAM	Laminate		



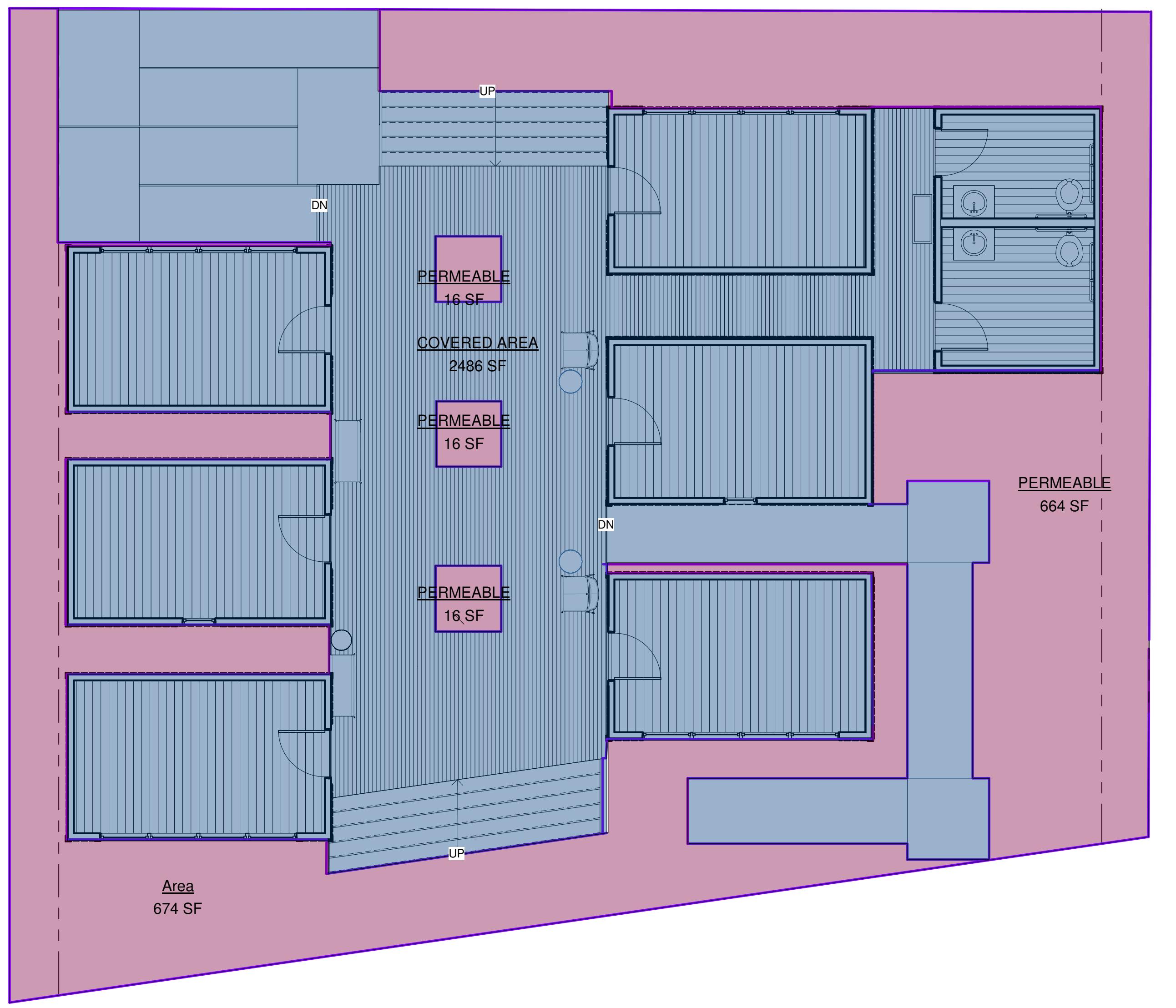
3D View 25

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NEW CONSTRUCTION

Burdette St

COVER



PERMEABLE AREA	
Name	Area
COVERED AREA	2486 SF
PERMEABLE	664 SF
PERMEABLE	16 SF
PERMEABLE	16 SF
PERMEABLE	16 SF
ea	674 SF
TOTAL AREA: 6074 SF	

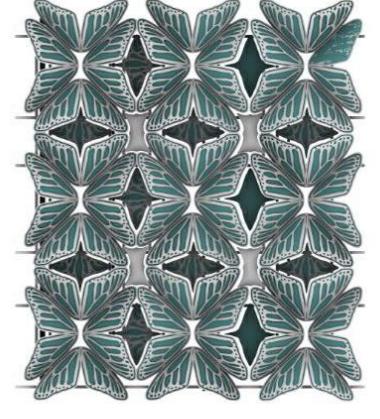
TOTAL AREA x 10% = PERMEABLE AREA MINIMUM
72(10)=720 SF

TOTAL COVERED AREA: 2486 SF

TOTAL PERMEABLE AREA: 1386SF

INFLAMMABLE AREA IS GREATER THAN NORM.

.4< 1,386 SF



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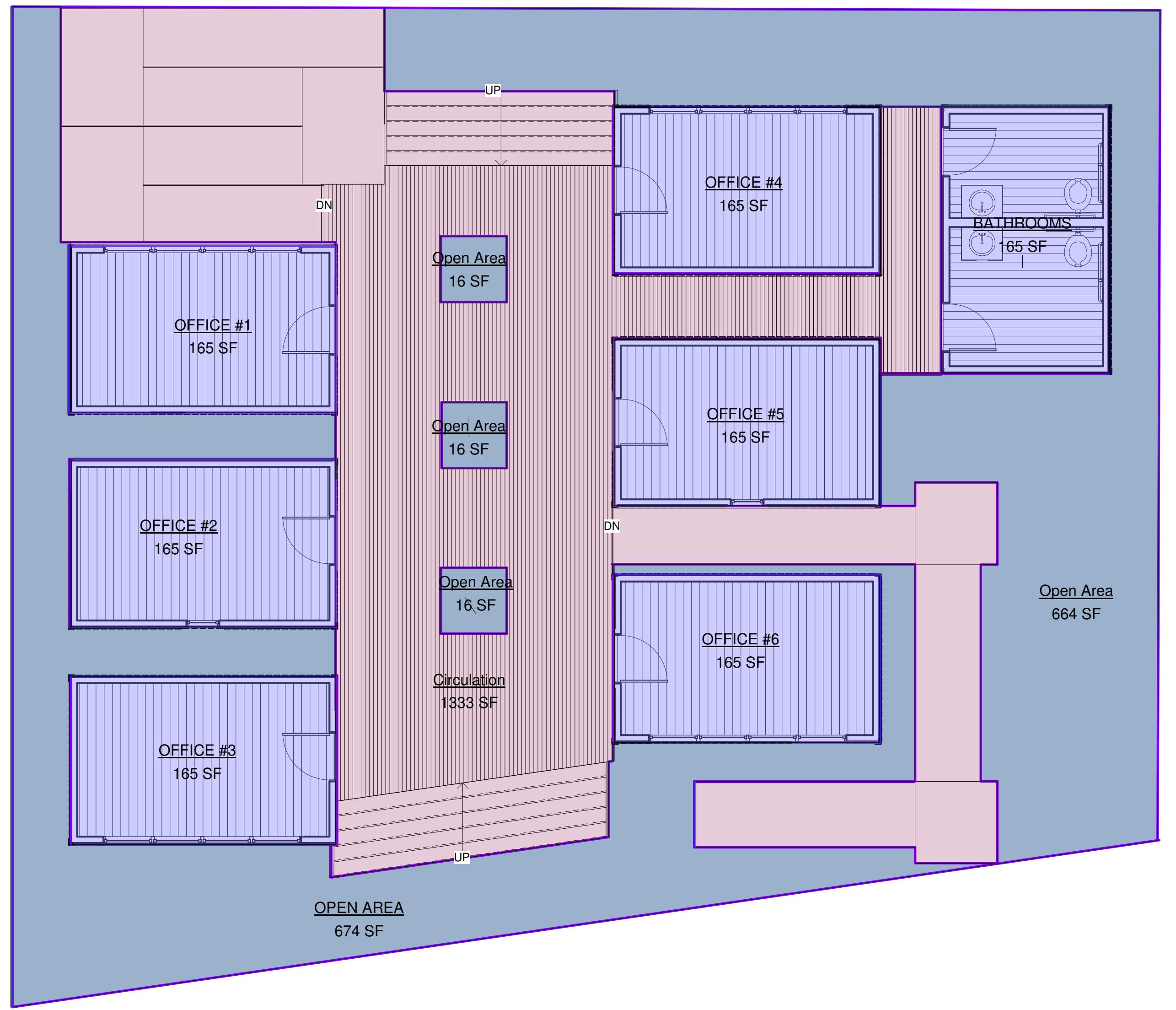
NEW CONSTRUCTION

Burdette St

PERMEABLE DIAGRAMS

2023.41

G004



AREA PLANS

Area	Name
------	------

165 SF	BATHROOMS
1333 SF	Circulation
165 SF	OFFICE #1
165 SF	OFFICE #2
165 SF	OFFICE #3
165 SF	OFFICE #4
165 SF	OFFICE #5
165 SF	OFFICE #6
TOTAL SF GFA	2,488 SF

AREA PLANS

Area	Name
------	------

674 SF	OPEN AREA
664 SF	Open Area
16 SF	Open Area
16 SF	Open Area
16 SF	Open Area

TOTAL SF GFA / 500 SF = REQUIRED PARKING

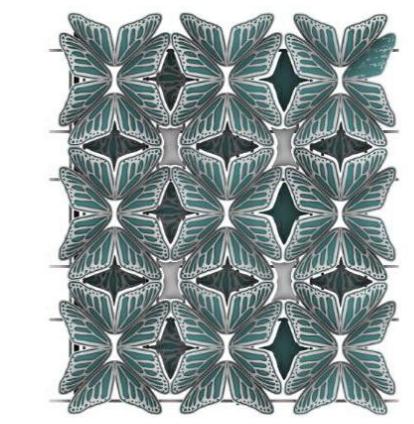
2,488SF GFA/ 500 SF GFA= 4.9 Parking Space

(5) PARKING SPACES REQUIRED

(5) PROVIDED ON STREET PARKING VIA TABLE 22.4C EXEMPTIONS

ZONING DISTRICT: HU-MU

ZONING DESCRIPTION: Historic Urban Neighborhood Mixed-Use District



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No.	Description	Date
1	CLIENT MEETING 01	2024.09.19
2	PERMITTING	2024.10.07
3	CM 02	2024.11.08
4	Permitting Updates	2024.11.20

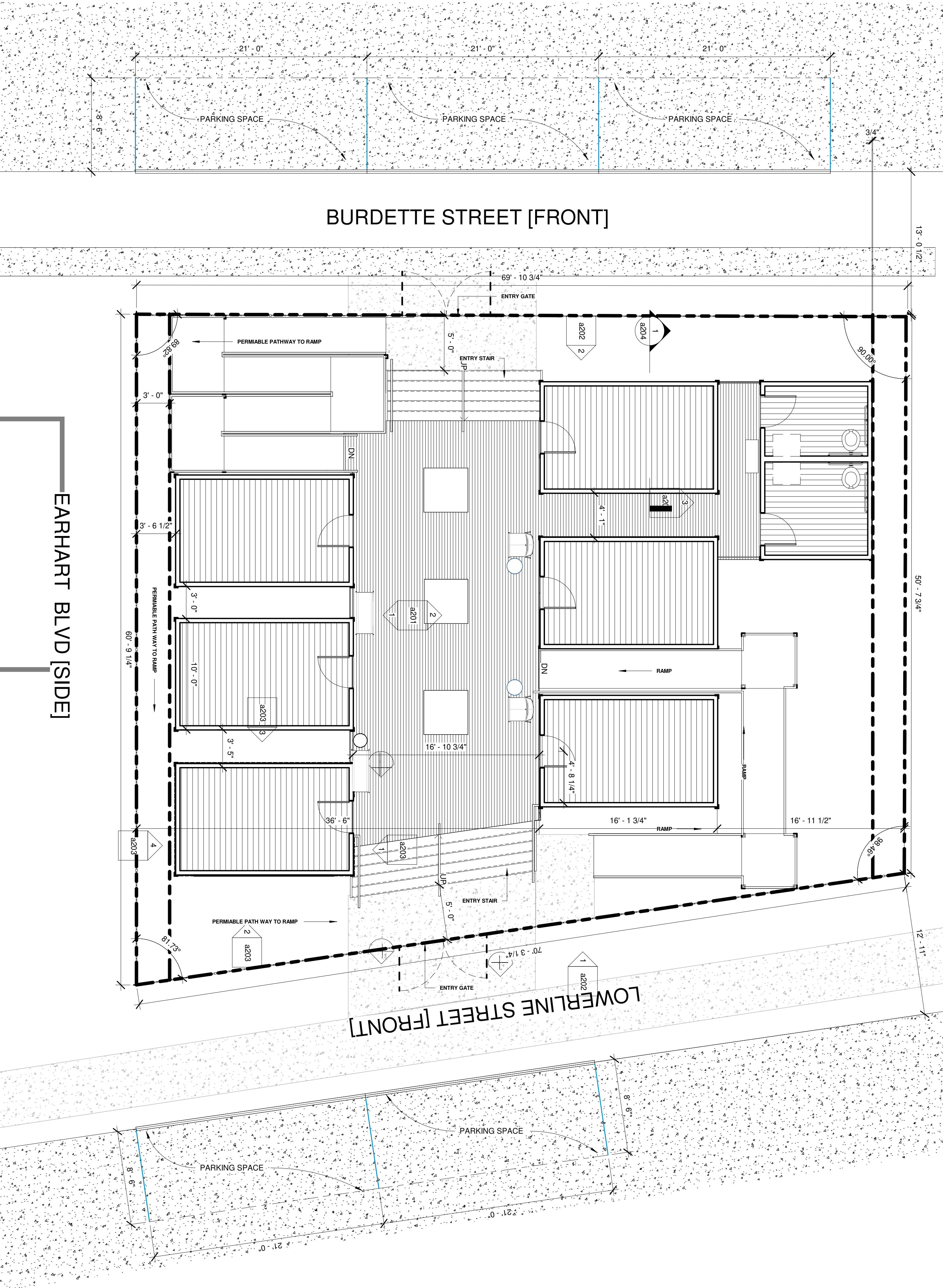
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Burdette St

AREA PLANS

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G005



PROPOSED _ SITE PLAN / GRADE 1

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EARHART BLVD [SIDE]

NEW CONSTRUCTION

Burdette St

FIRST FLOOR 100' - 0"

NAVD 99' - 9"

GRADE 96' - 3"

12' - 0"

OFFICE #6
121
143 SF

OFFICE #5
118
143 SF

OFFICE #4
117
143 SF

1 a204

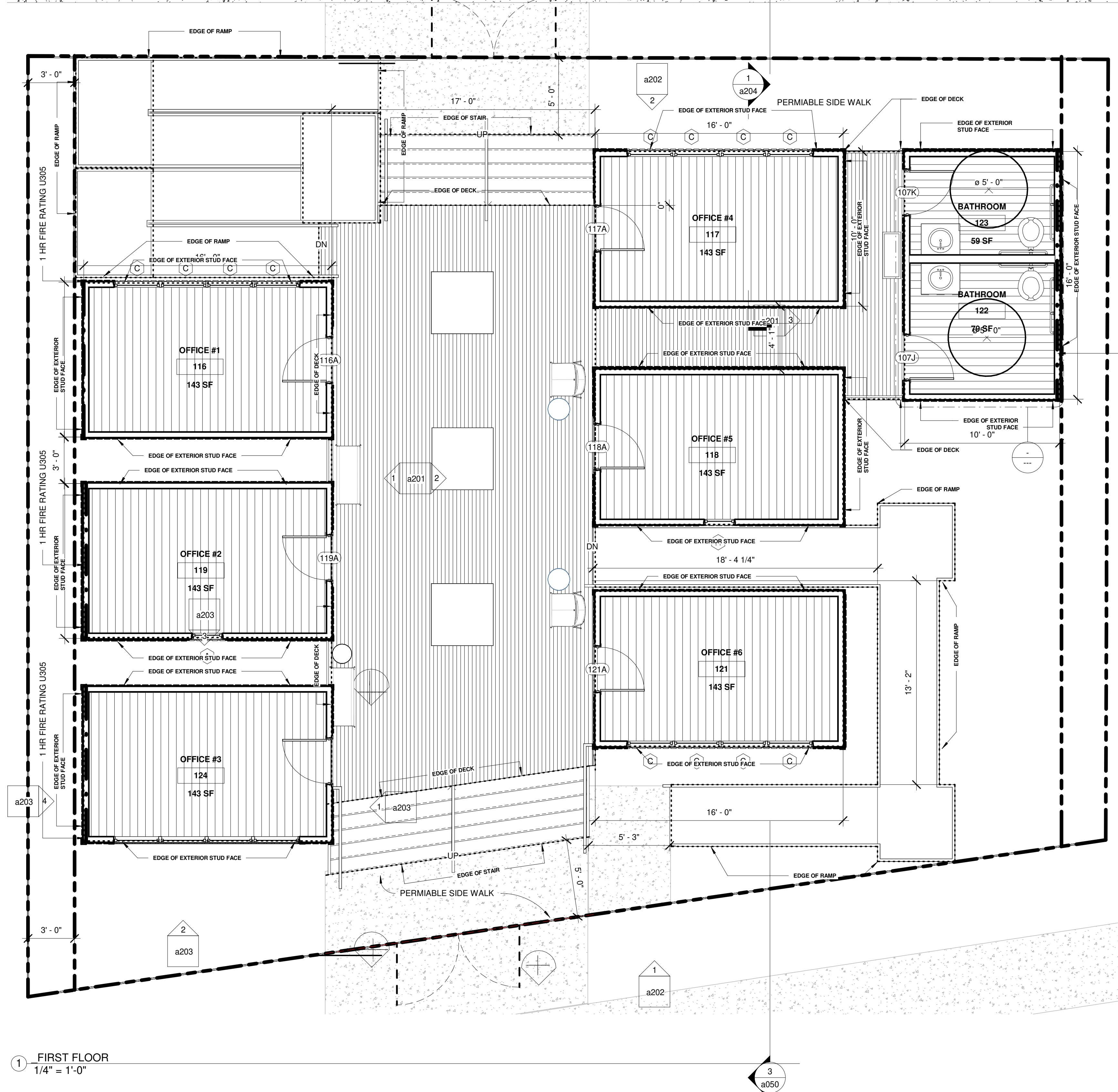
3' - 6"

3' 4"

3 1/16" = 1'-0"

Section 2

a050



Door Schedule			
Mark	Width	Height	Comments
107J	2' - 10"	8' - 0"	EXTERIOR SWING DOOR
107K	2' - 10"	8' - 0"	EXTERIOR SWING DOOR
116A	2' - 10"	8' - 0"	EXTERIOR SWING DOOR
116C	2' - 10"	8' - 0"	EXTERIOR SWING DOOR
117A	2' - 10"	8' - 0"	EXTERIOR SWING DOOR
118A	2' - 10"	8' - 0"	EXTERIOR SWING DOOR
119A	2' - 10"	8' - 0"	EXTERIOR SWING DOOR
121A	2' - 10"	8' - 0"	EXTERIOR SWING DOOR

Window Schedule				
Type Mark	Width	Height	Type Comments	Count
A	2' - 0"	3' - 0"	DOUBLE HUNG	2
C	3' - 0"	8' - 0"	FIXED WINDOW	20

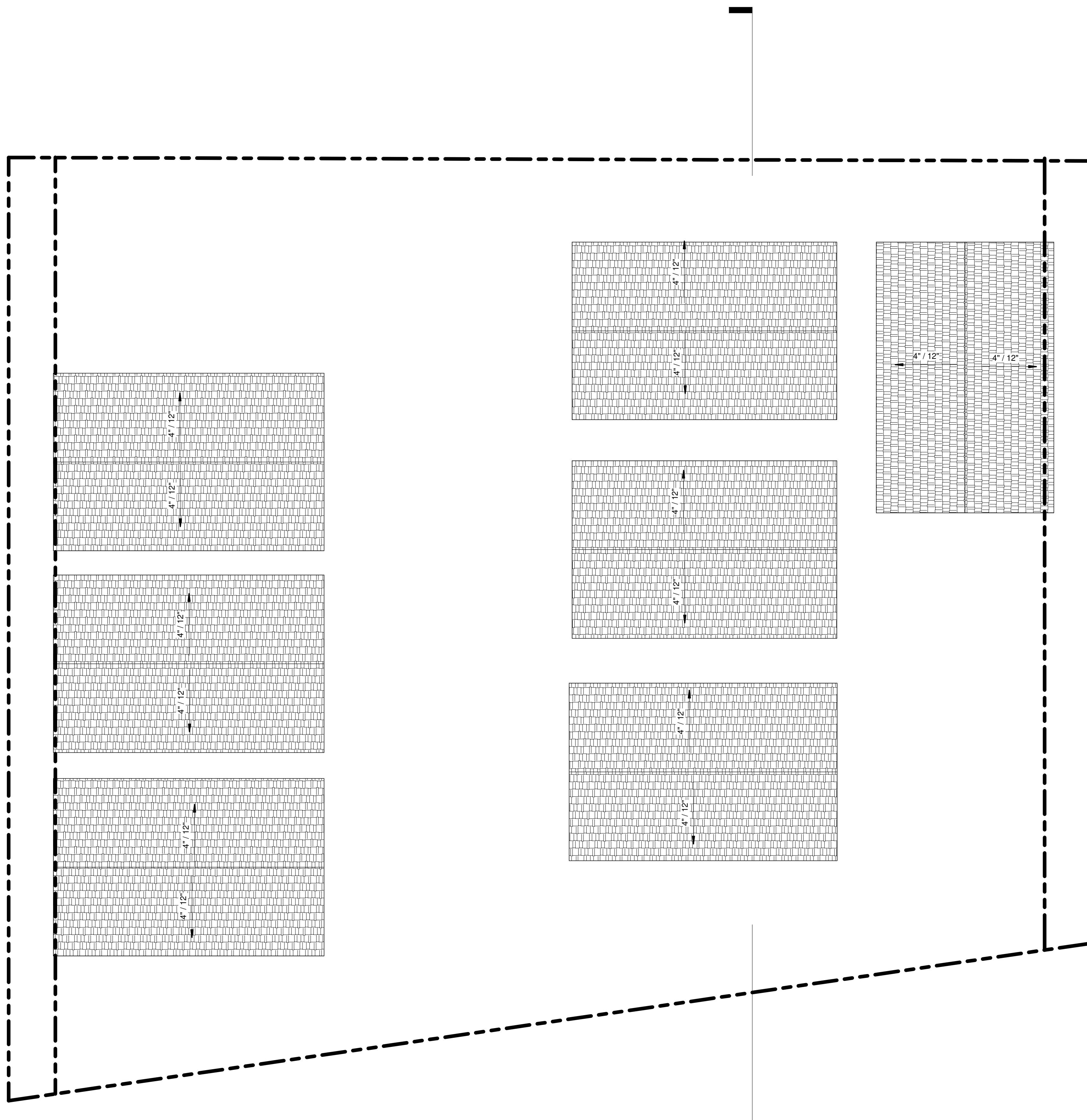


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FIRST FLOOR PLAN



1 ROOF PLAN

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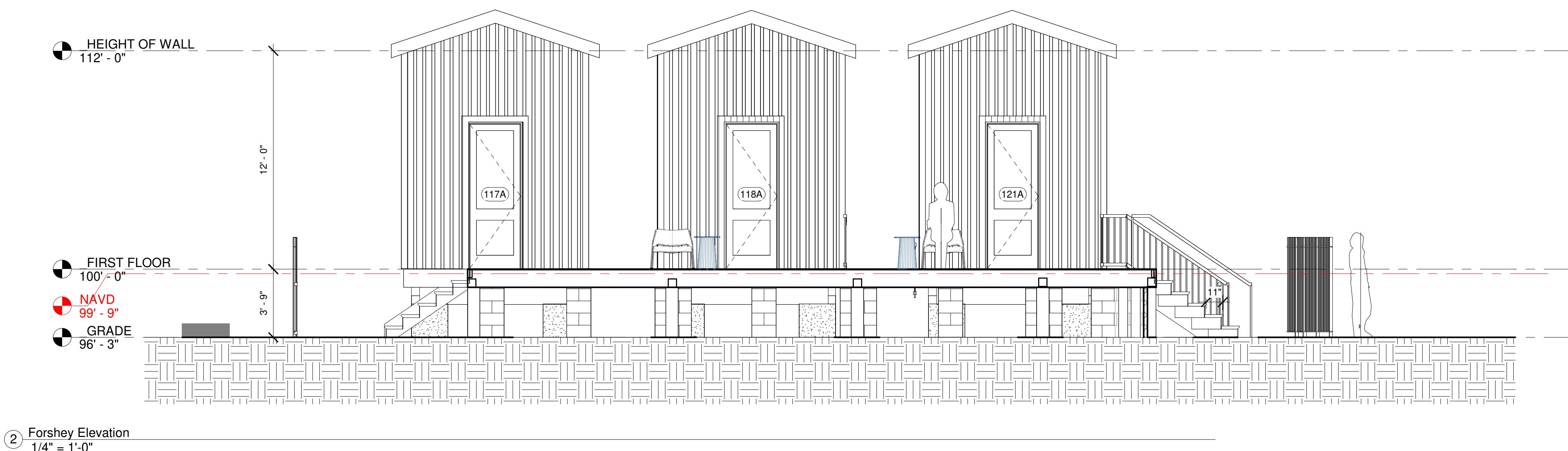
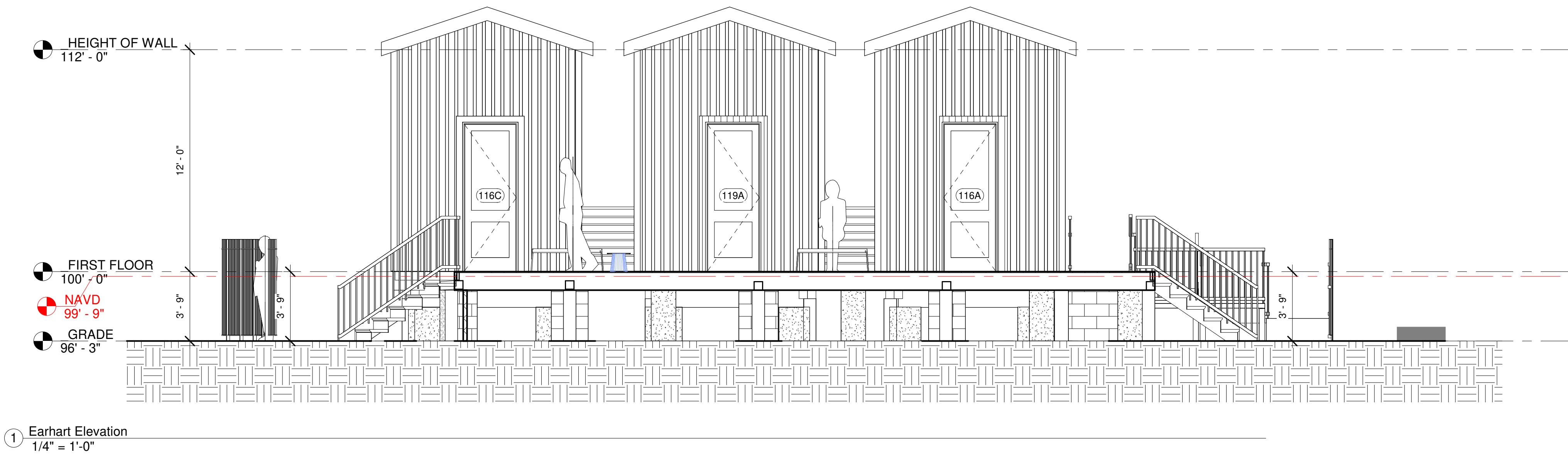
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ROOF PLAN

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a121



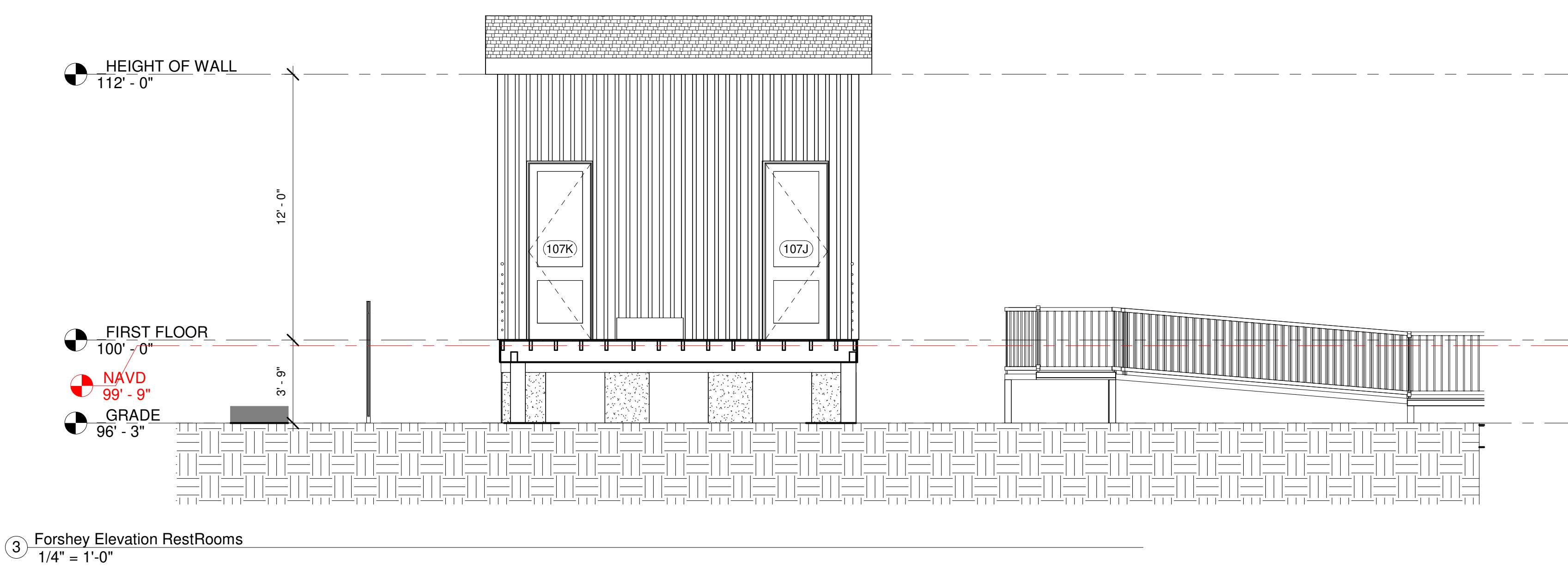
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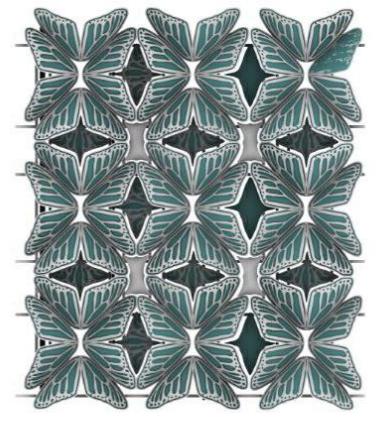
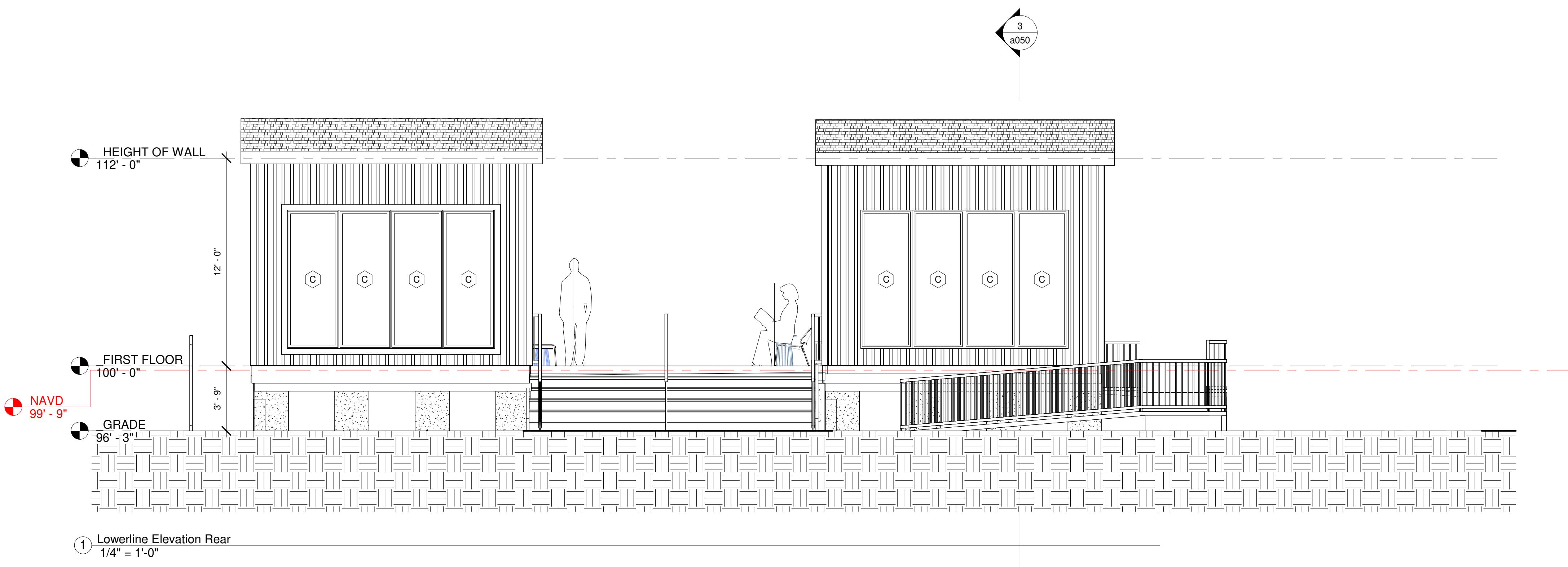
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Burdette St

EXTERIOR ELEVATIONS

2023.4.1





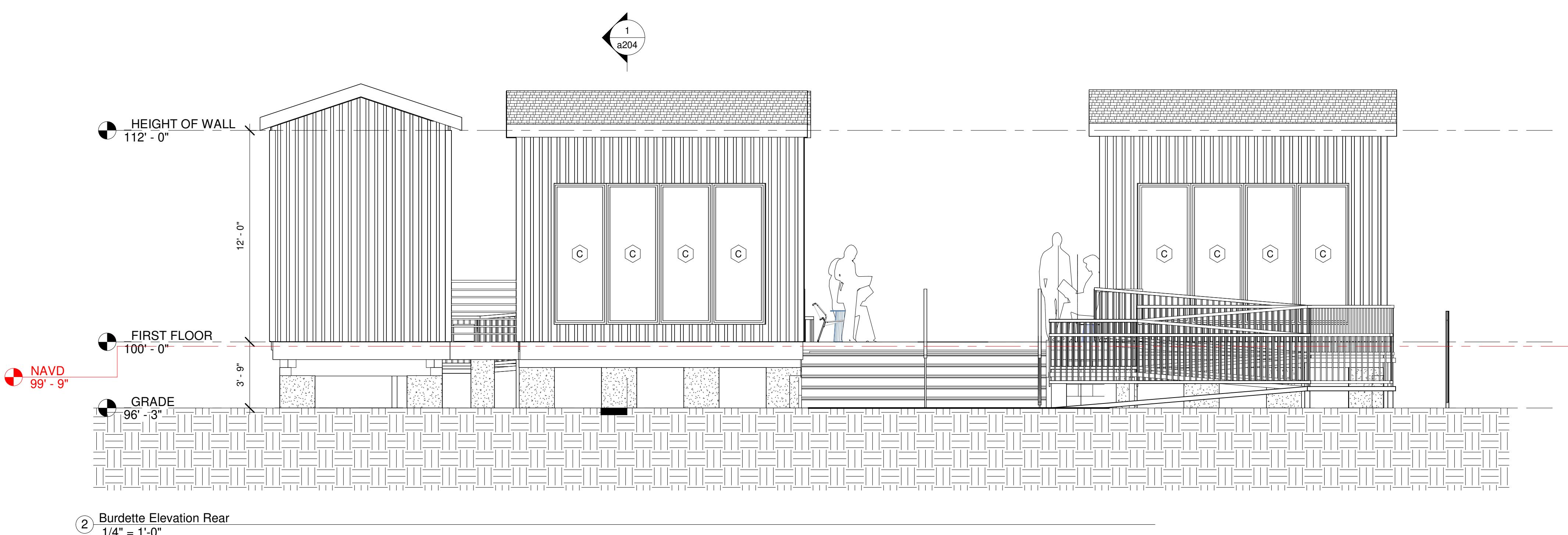
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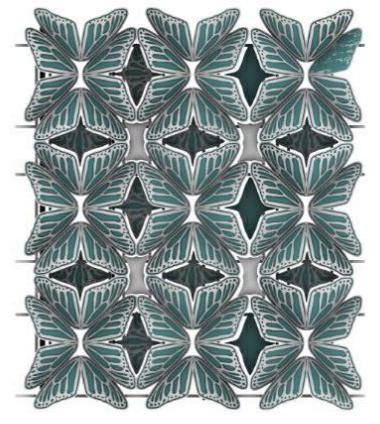
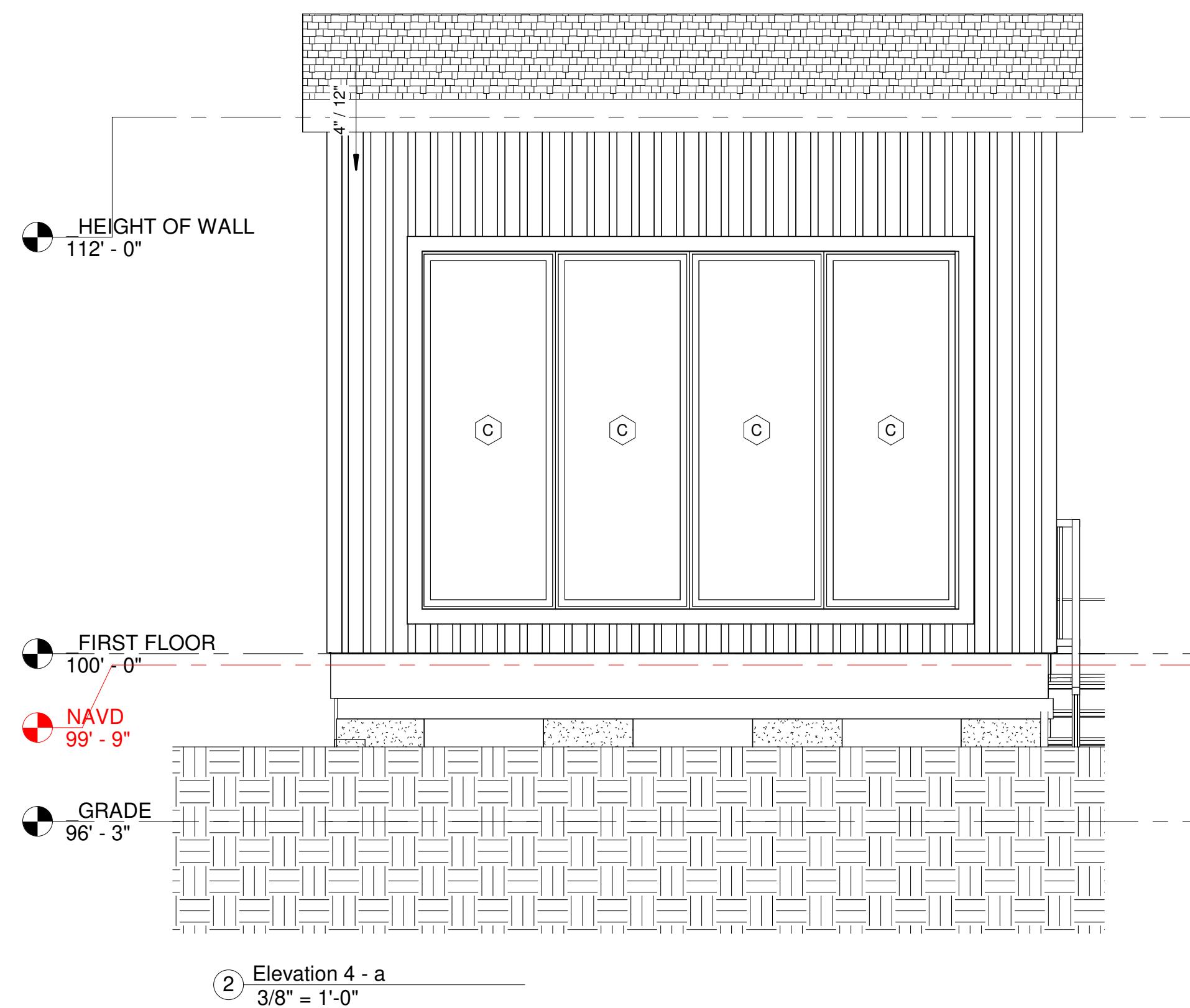
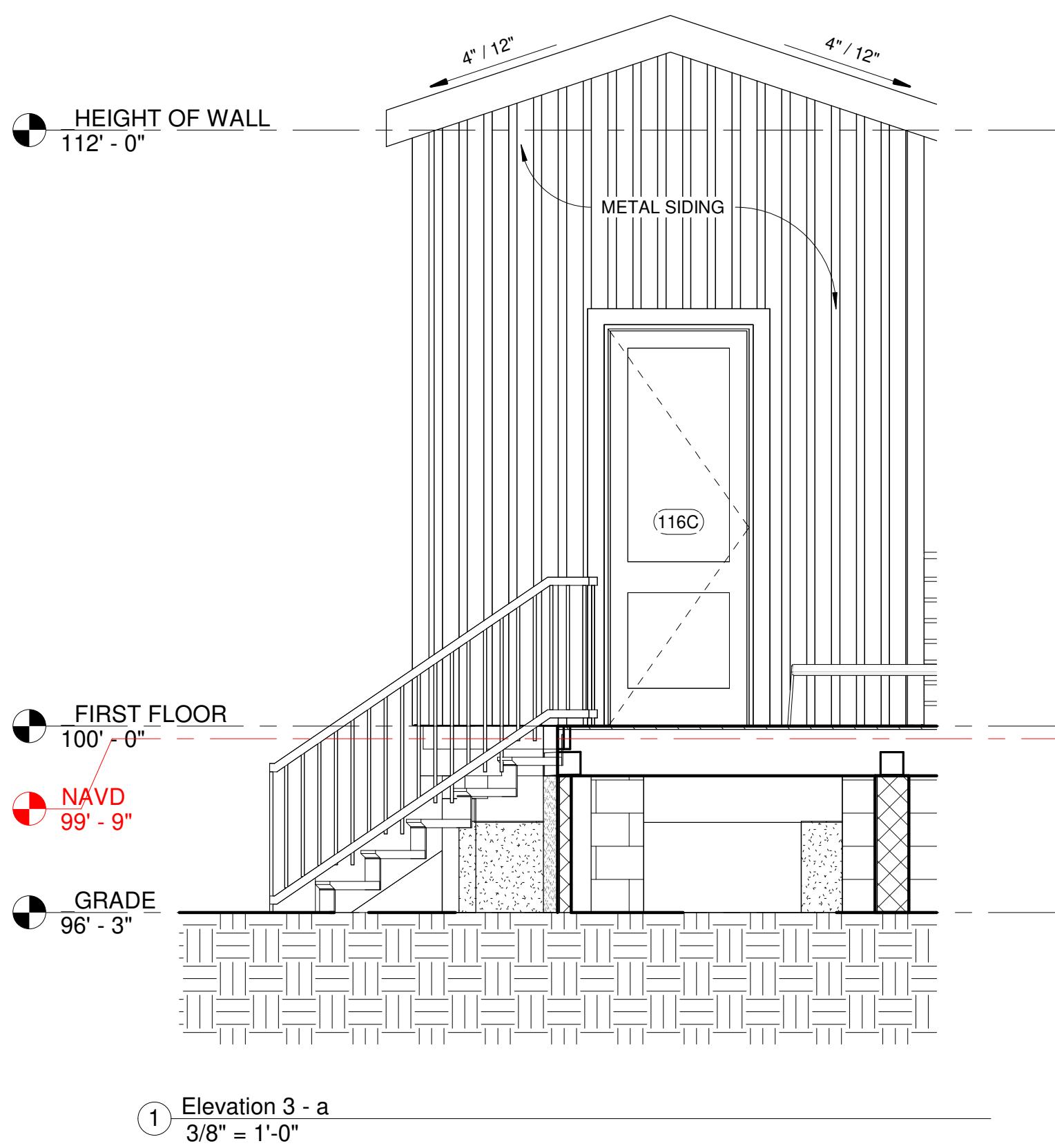
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EXTERIOR ELEVATIONS 2

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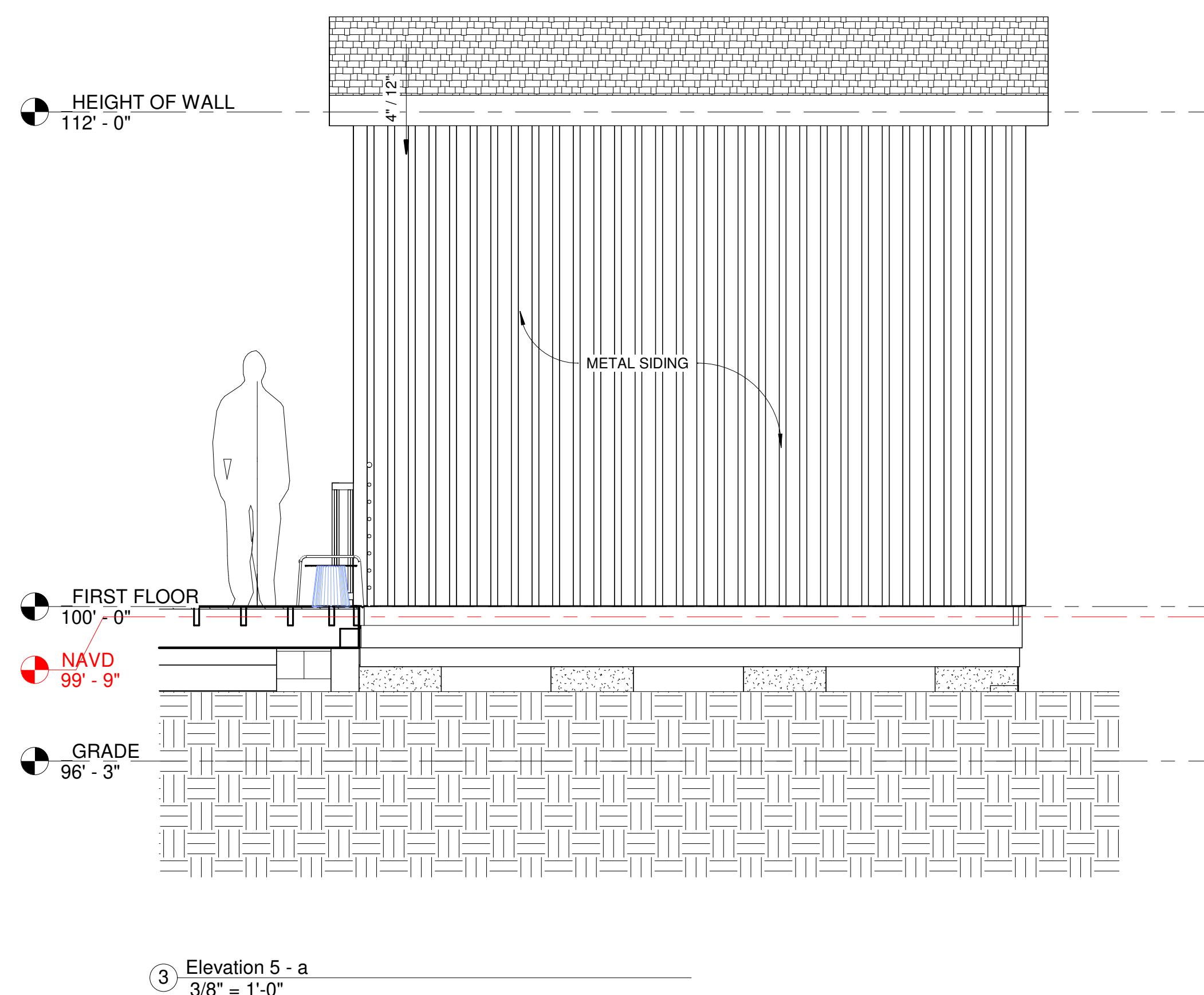
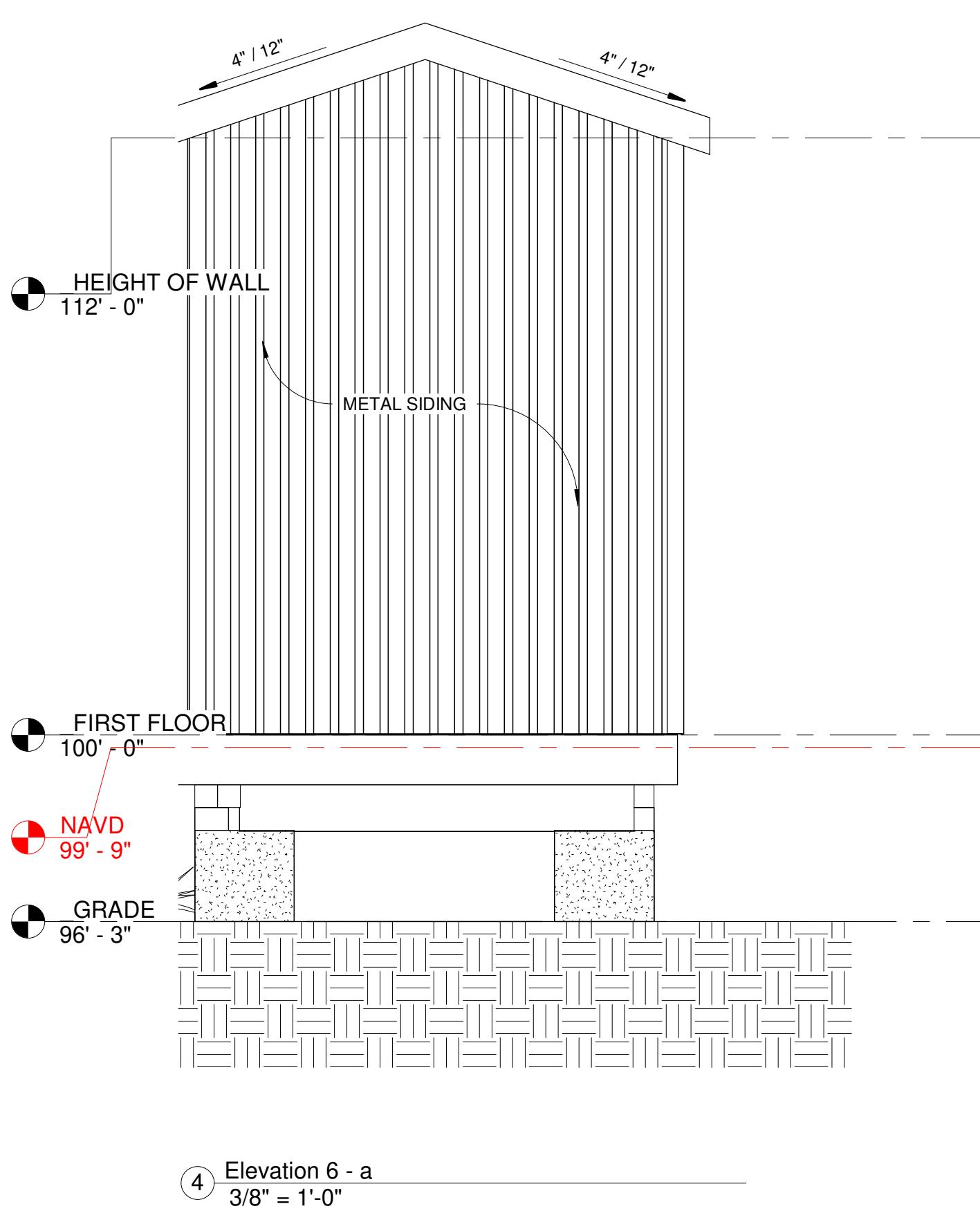


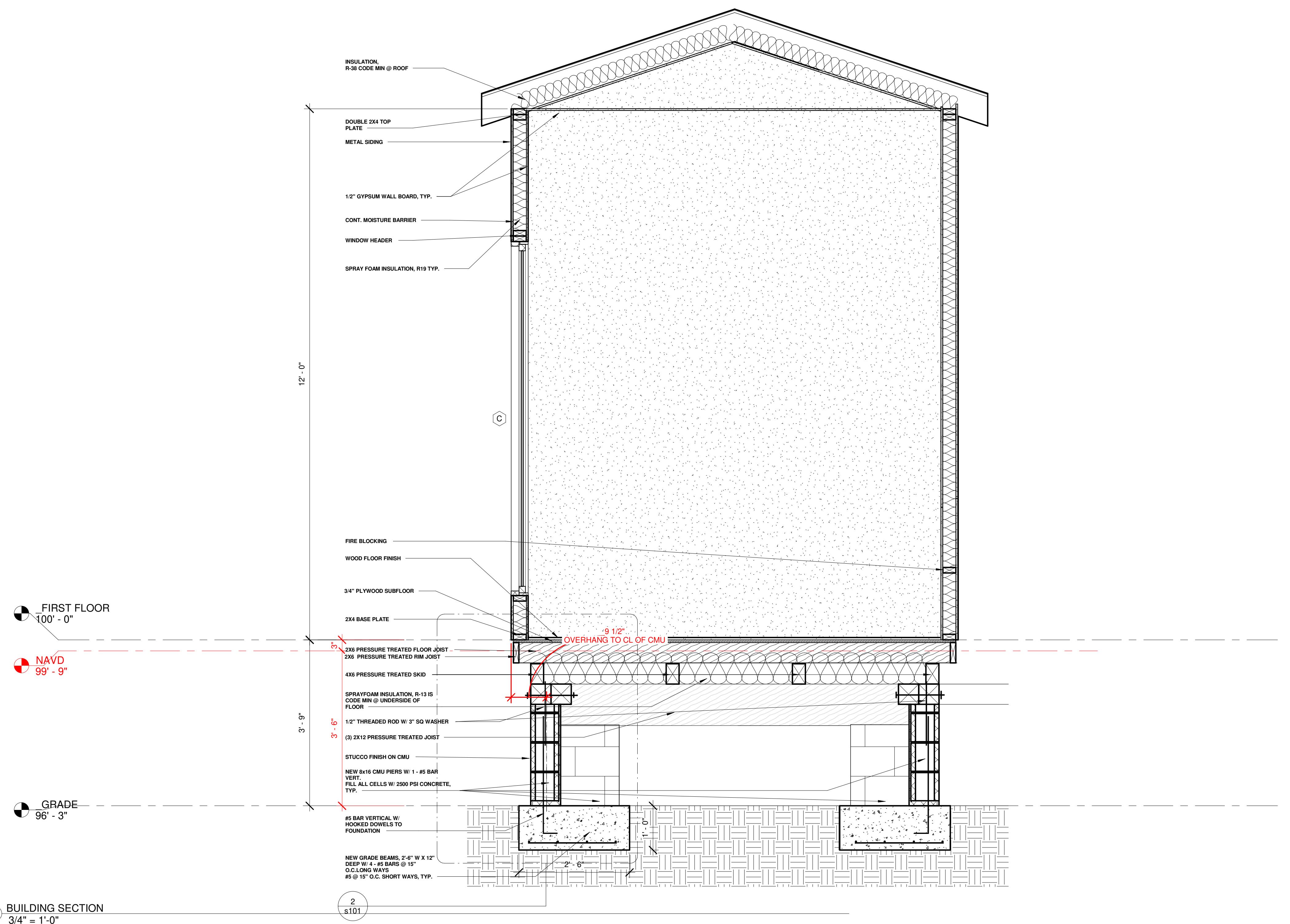
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NEW CONSTRUCTION

Burdette St

SINGLE BUILDING





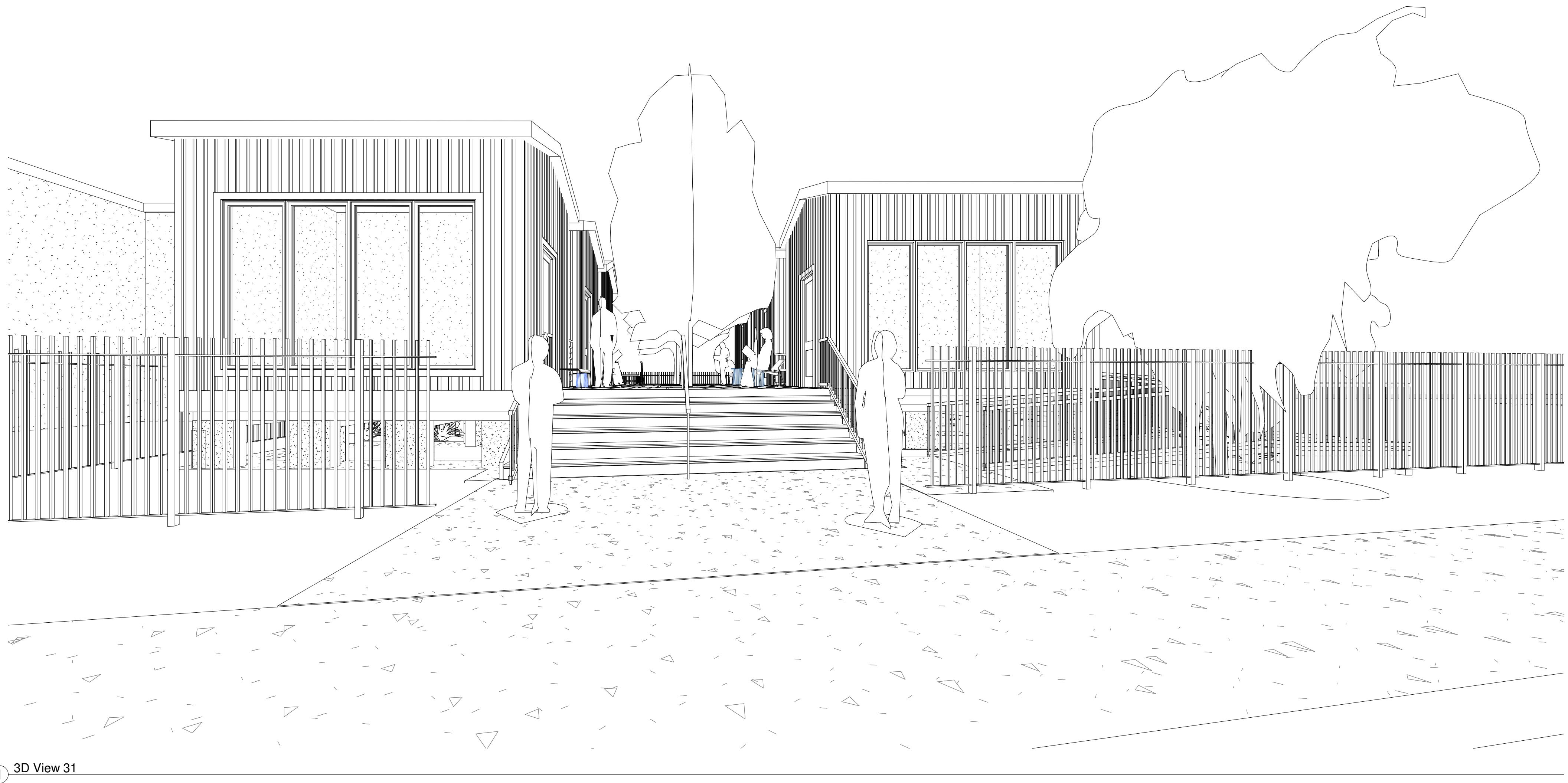
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NEW CONSTRUCTION

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SINGLE BUILDING SECTION

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1 3D View 31

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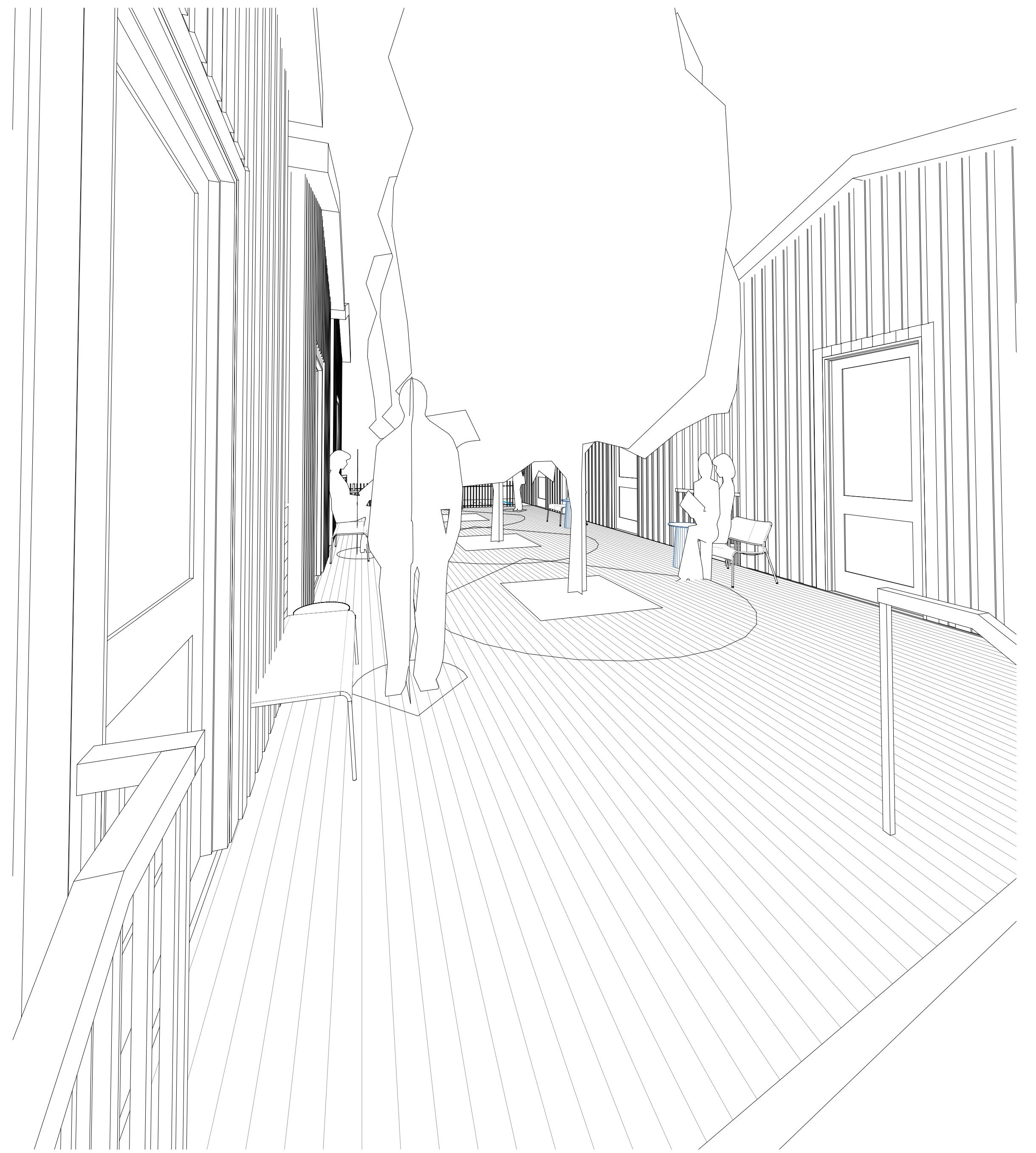
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3D Views

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a802



1 3D View 11

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3D Views

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a803



1 3D View 22

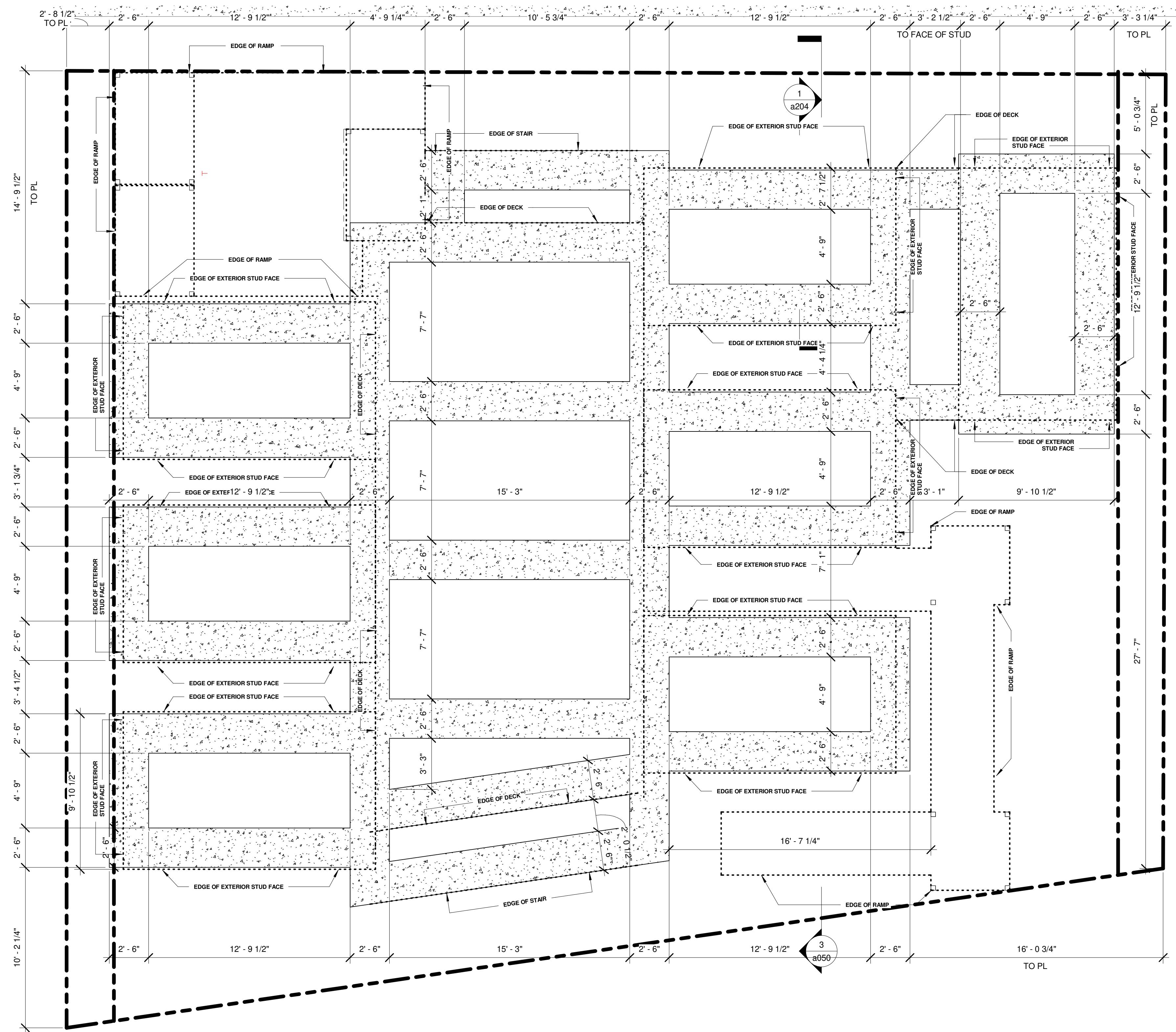
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NEW CONSTRUCTION

Burdette St

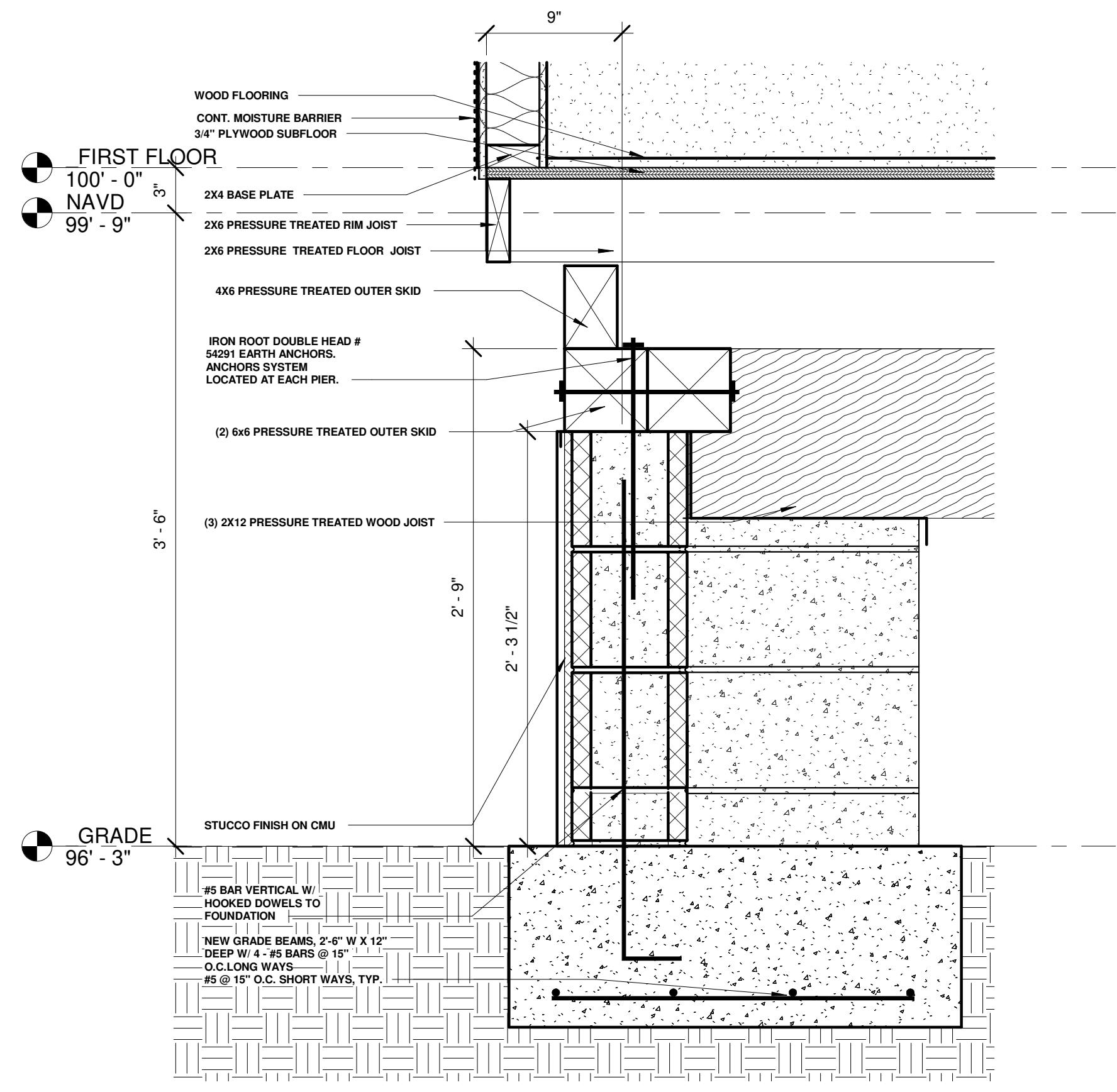
3D Views

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1 GRADE BEAM AND PILE PLAN
1/4" = 1'-0"

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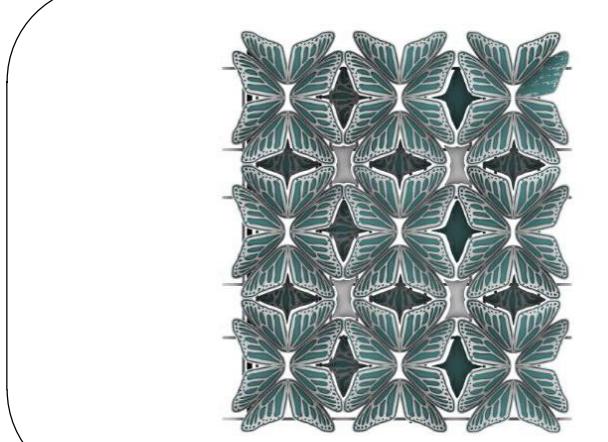


2 BUILDING SECTION - Callout 1
1 1/2" = 1'-0"

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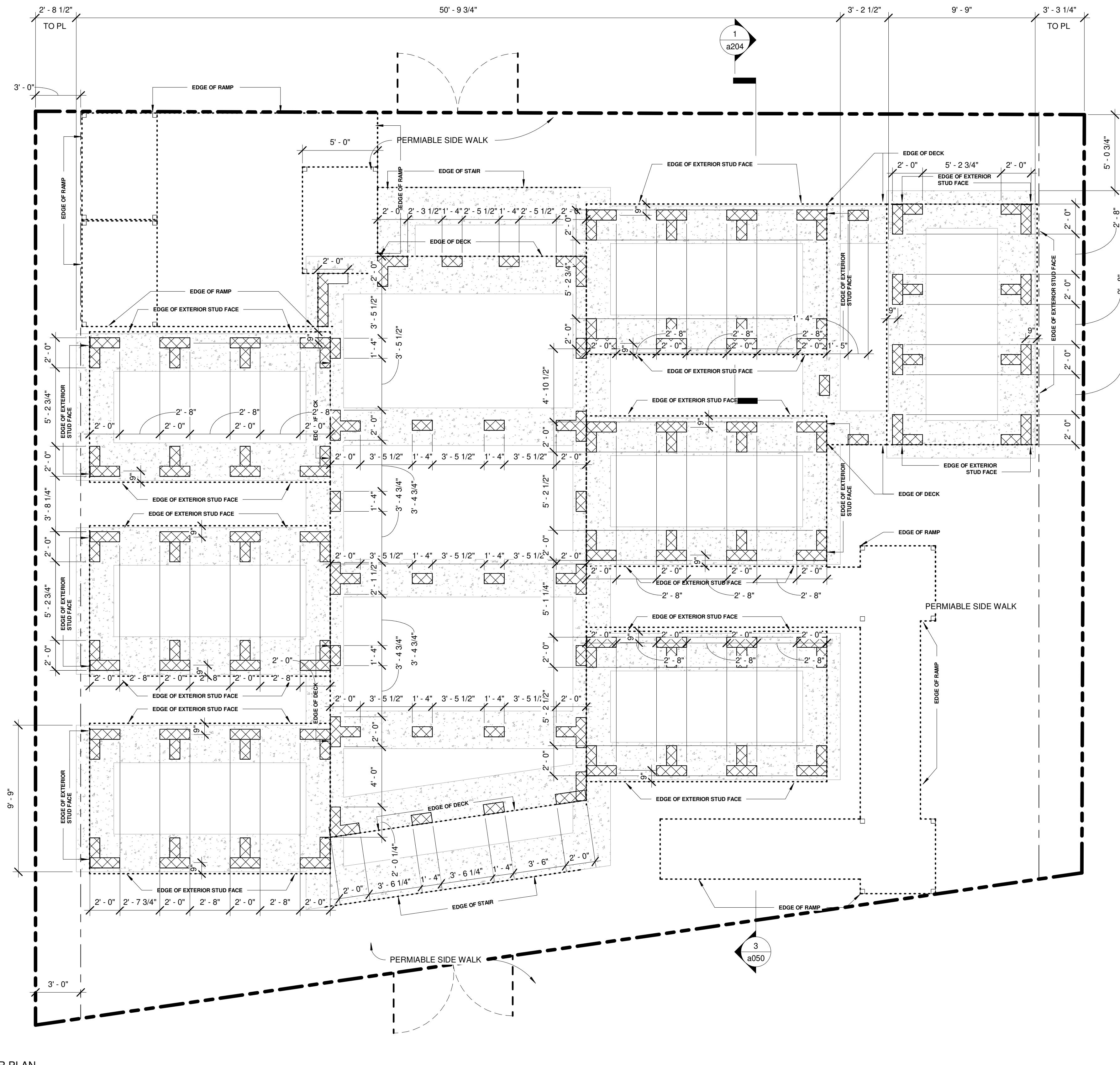
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GRADE BEAM PLAN



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s101



PIER PLAN
1/4" = 1'-0"

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wind load connectors

<u>location</u>	<u>type</u>	<u>loads</u>		
rafters to top plate [2nd flr ceiling]	simpson h-1 each rafter	required allowable	482# 490#	
top plate to studs	1/2" windstorm o.s.b. w/ 2-rows 8d nails @ 5" o.c. staggered	allowable	required 312 plf	241 plf
studs to band joist [@ 1st floor clg]	1/2" windstorm o.s.b. 2 rows w/ 8d nails @ 5" o.c.	allowable	required 312 plf	241 plf
band joist to first floor story studs	1/2" windstorm o.s.b. w/ 2 rows 8d nailes @ 6" o.c.	allowable	required 260 plf	181 plf
1st story studs to 6x6 sill	1/2" windstorm o.s.b. w/ 2 rows 8d nailes @ 6" o.c.	required	181 plf	
6x6 sill to foundation piers	1/2" threaded rod w/ 3" sq washer	allowable	required 2,520#	1,086 #
roof beam to 6x6 col @ porch	simpson ac6 post cap	allowable	required 2,500 #	1,448 #
6x6 column @ porch to cmu	simpson ABU 66 each column	allowable	required 2,300 #	1,448 #

note

1. provide double joists under walls parallel to span.
 2. provide solid blocking below bearing walls perpendicular to joist span.
 3. provide rows of bridging @ 8'0" o.c. [max] for joists spans over 10'-0"
 4. install trim-joist as per manufacturer's recommendations including blocking, bracing, bridging, etc.
 5. provide solid blocking below columns.

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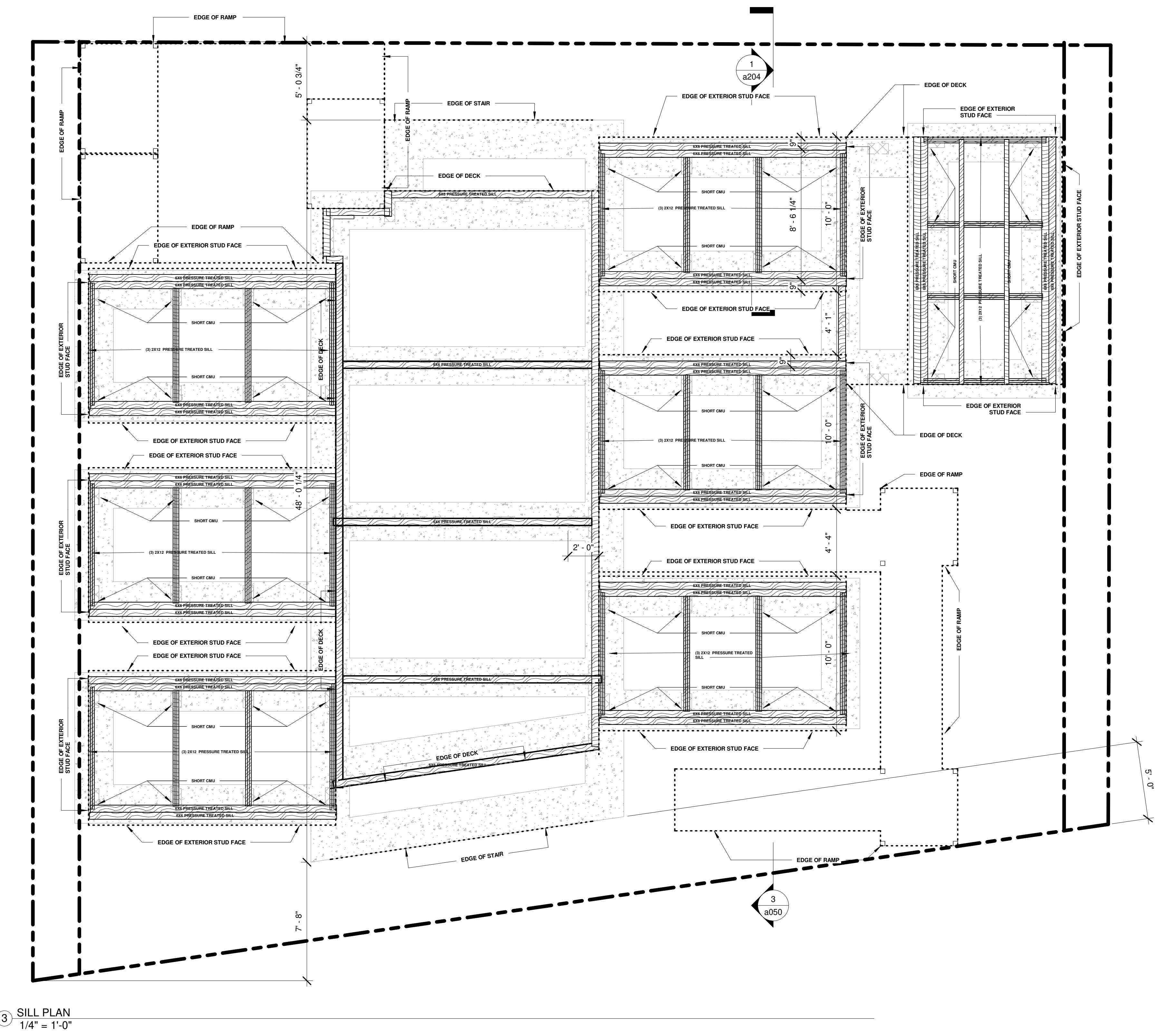
The image shows a vertical column of six identical butterfly motifs arranged in a grid-like fashion. Each butterfly has its wings spread wide, displaying a symmetrical pattern. The main body of the butterfly is a dark teal color, while the veins and the tips of the wings are black. The background is plain white.

NEW CONSTRUCTION

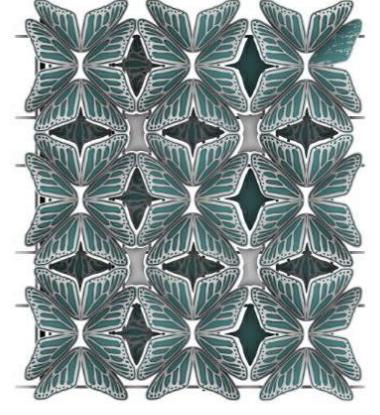
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PEIR PLANS

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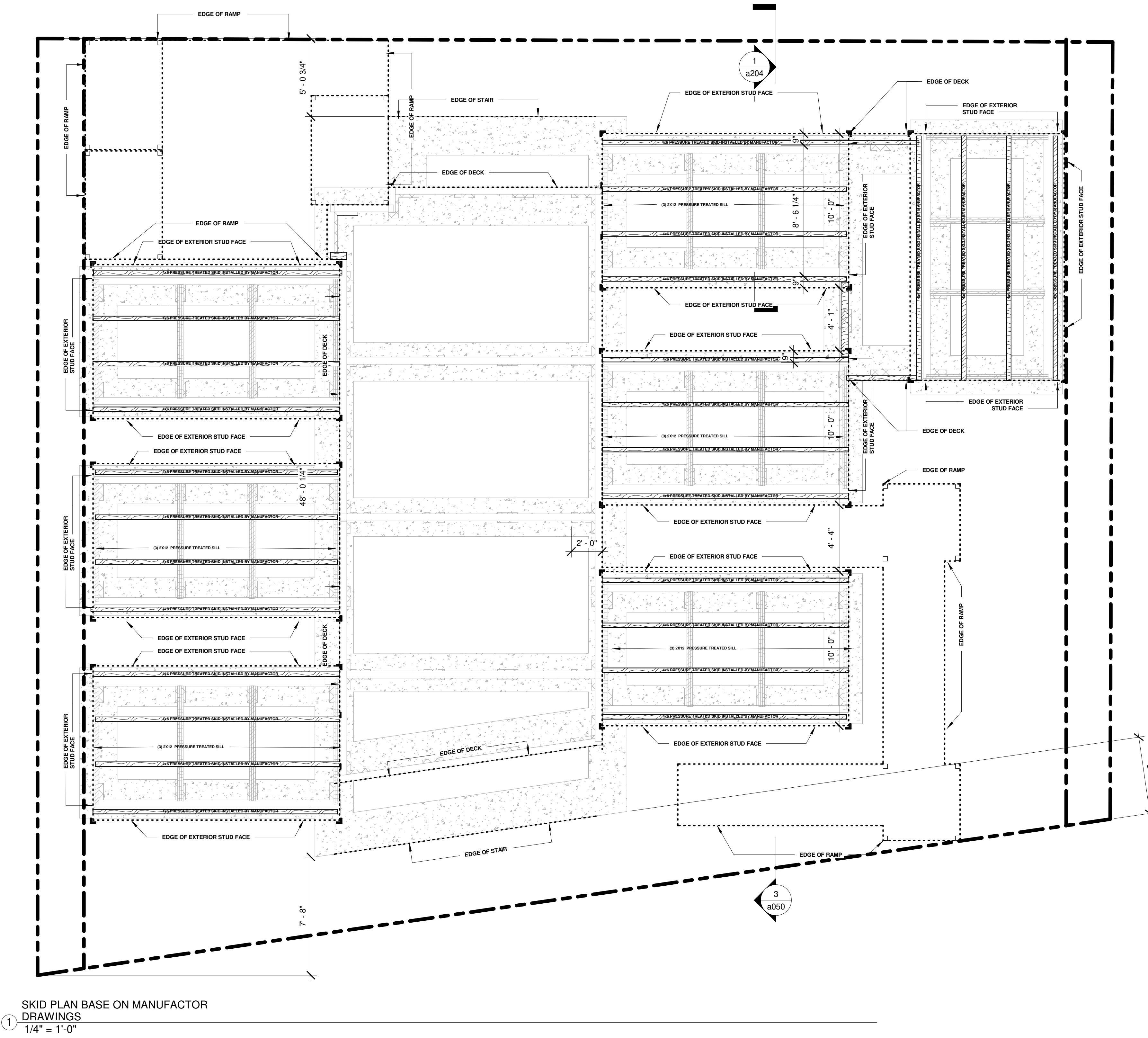
NEW CONSTRUCTION

Burdette St

SILL PLANS

2023.41

s103



SKID PLAN BASE ON MANUFACTOR DRAWINGS

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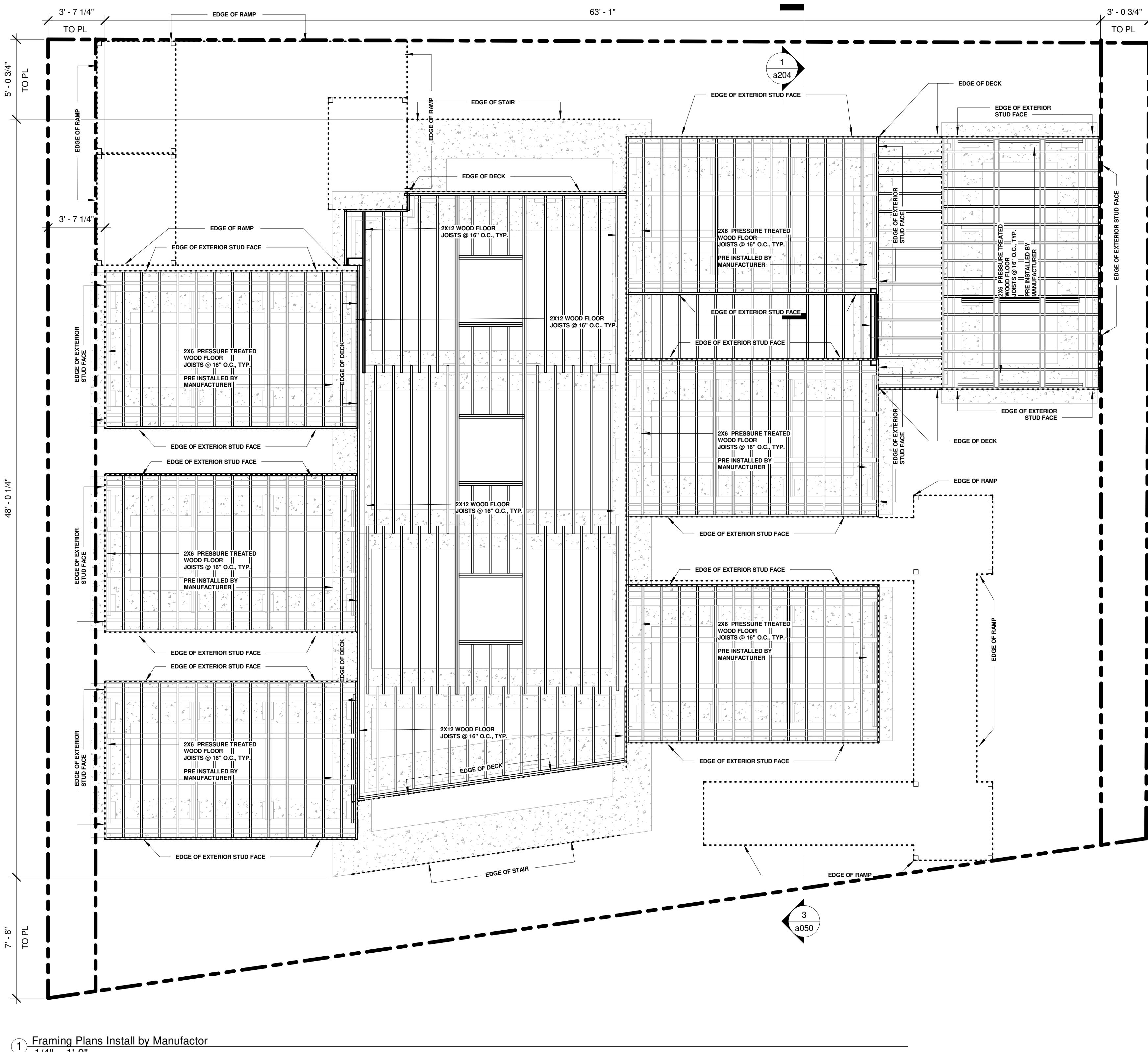
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NEW CONSTRUCTION

Burdette St

SKID PLANS

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1 Framing Plans Install by Manufacturer 1/4" = 1'-0"

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NEW CONSTRUCTION

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FIRST FLOOR FRAMING PLANS

2023.41

s105